



PLANNING COMMISSION MEETING

January 26, 2023 at 7:00 PM

950 Senoia Road, Tyrone, GA 30290

David Nebergall, Chairman

Dia Hunter, Vice Chairman

Jeff Duncan, Commissioner

Phillip Trocquet, Town Planner

Carl Schouw, Commissioner

Scott Bousquet, Commissioner

Patrick Stough, Town Attorney

AGENDA

Social Distancing will be observed, and seating is limited. The meeting can be accessed live at www.tyrone.org/youtube. If you do not plan to attend, please send any agenda item questions or comments to Town Manager Brandon Perkins (bperkins@tyrone.org).

I. CALL TO ORDER

II. CALL TO ORDER

1. Consideration to select a Chairman to the Town of Tyrone Planning Commission for the 2023 Calendar Year. **Planning Commission**
2. Consideration to select a Vice-Chairman to the Town of Tyrone Planning Commission for the 2023 Calendar Year. **Planning Commission**

III. APPROVAL OF AGENDA

IV. APPROVAL OF MINUTES

- [3.](#) Approval of Minutes from December 8, 2022

V. PUBLIC HEARING

VI. NEW BUSINESS

- [4.](#) Consideration to approve a revised final plat from applicant Jason Walls to combine 1400 & 1420 Senoia Road. **Phillip Trocquet, Community Development**
- [5.](#) Consideration to approve a site plan from applicant Sharon Griffies on behalf of owner, DeBeers Granite, for 145 Mallory Court. **Phillip Trocquet, Community Development**

VII. STAFF COMMENTS

VIII. COMMISSION COMMENTS

IX. ADJOURNMENT

**Town of Tyrone
Planning Commission Meeting Minutes
December 8, 2022
7:00PM**

Present:

Chairman, David Nebergall
Vice-Chairman, Dia Hunter
Commission Member, Scot Bousquet
Commission Member, Jeff Duncan

Town Attorney, Patrick Stough
Town Planner, Phillip Trocquet

Absent:

Commission Member, Carl Schouw

Call to Order:

Commission Chair, Nebergall called the meeting to order at 7:00 pm.

Approval of Agenda:

Vice-Chairman Hunter made a motion to approve the agenda.
Commissioner Schouw seconded the motion. Motion was approved 4-0.

Approval of October 27, 2022 Minutes

Vice-Chairman Hunter made a motion to approve the October 27, 2022 minutes.
Commissioner Duncan seconded the motion. Motion carried 4-0.

Public Hearing:

1. *Consideration of a petition from Foster Holdings, LLC for the rezoning of parcel 073611002 at property address 160 Greencastle Road from Office Institutional (O-1) to Downtown Commercial (C-1). **Phillip Trocquet, Community Development***

Mr. Trocquet presented the item stating that Foster Holdings, LLC has submitted an application to rezone 160 Greencastle Rd. from Office Institutional (OI) to Downtown Commercial (C-1). The stated intent of this rezoning is to permit a greater variety of uses on the property than are otherwise permitted, namely an exercise studio/gym. Mr. Trocquet continued that it was staff's determination that the building placement on site would be illegal under C-1 setback standards, particularly along the southern property line where the

building would encroach on the 20' C-1 setback. Although C-1 zoning is permitted in the Commercial Gateway character area, Market Hill business park was developed for office-institutional structures and uses; subsequent buildings and sites are designed according to this configuration. Staff cannot recommend approval of the rezoning given the building placement according to C-1 setback standards. Given the applicant's stated reason for the request, a discussion regarding which uses are/are not appropriate within the O-I district may be relevant for future text amendments.

He continued that the petition could be interpreted as consistent with the Comp Plan and Future Development map as C-1 is listed as a permitted zoning classification in the Commercial Gateway character area. Local context and surrounding zoning also contributes to the compatibility of this request. All surrounding commercial properties are O-I with many buildings built to O-I development standards, including this property. That being the case many of the buildings and site configurations within the Market Hill business park would be unable to move to C-1 zoning due to the more restrictive setback standards designed to accommodate their higher intensity uses.

The zoning impact assessment was then read:

1. *Will Zoning permit suitable uses with surrounding properties?* C-1 zoning is still considered a lighter intensity commercial district; however, all surrounding properties are zoned O-I per the design of the business park. Use suitability would be inconsistent with the business park's original design and intention, but staff does believe C-1 is suitable for the overall Character Area. The current building placement does not make C-1 a suitable zoning given that it would create an illegal zoning situation.
2. *Will Zoning adversely affect adjacent properties?* Given the required 75' buffer along the rear of the property, it is staff's opinion that the residential properties would not be adversely affected. Given that OI setbacks are lower to reflect the lower intensity of uses, it is staff's opinion that if zoned to C-1, the encroachment of the current building on that setback would adversely affect the southern property owner with higher intensity uses located closer than what is otherwise permitted.
3. *Does the property have reasonable economic use as currently zoned?* It is staff's determination that the property does have reasonable economic use as currently zoned.
4. *Would the proposed zoning result in a use which will or could be excessively burdensome on existing infrastructure?* It is staff's determination that this zoning would not result in an excessive burden on existing infrastructure.

Chairman Nebergall opened the public hearing for those in favor of the petition.

A representative of Foster Holdings LLC stated that they were looking to provide flexible space in the basement suite of their building for an exercise or yoga studio that would not conflict or compete with any of the other tenants in the building.

Chairman Nebergall closed the public hearing for those in favor and opened the public hearing for those in opposition to the petition. No one spoke.

Chairman Nebergall closed the public hearing for those in opposition.

Commissioner Bousquet asked the applicant what the building layout was like. They responded with an outline of the suites and tenants in the building with approximately 1,500 s.f. of open basement space for their proposed use.

Vice-Chairman Hunter wished to make the point that an exercise studio is different than a gym and asked Mr. Trocquet what that threshold was. Mr. Trocquet stated that it was not clearly defined in the Town's ordinance what that threshold was, but that a definition could be created along with the addition of that use to the district.

Commissioner Bousquet asked what similar uses are currently in O-I. Mr. Trocquet responded that most of the O-I uses were medical or office in nature, so Physical Therapy or Occupational Therapy uses would likely be the closest. Gyms are usually considered a higher intensity use due to the non-appointment nature of patrons and use level.

Vice-Chairman Hunter voiced his concern with the setback conflict and noted that the solution to the applicant's problem would be best addressed with a text amendment application. The Planning Commission then directed staff to research a text amendment for O-I regarding exercise studios.

Chairman Nebergall requested that Mr. Trocquet display the zoning map to see where all O-I properties were located in the Town for the purposes of better understanding what a potential text amendment would look like contextually for the entire town. He voiced that Market Hill was designed and planned as an office park and was leery regarding rezoning anything to a higher intensity within the business park itself.

Vice-Chairman Hunter made a motion to deny the petition. Commissioner Duncan seconded the motion. Motion carried 4-0.

2. *Consideration of a rezoning petition from applicant Ivo Jansink for the rezoning of an approximately 5-acre tract at property address 555 Dogwood Trail from R-20 to C-1 (Downtown Commercial). **Phillip Trocquet, Community Development***

Mr. Trocquet presented the item stating that applicant Ivo Jansink has applied to rezone Tract 'B' of parcel 0728065 at property address 555 Dogwood Trail from R-20 to C-1. The stated intent of this rezoning is to establish a business on the western half of the previously single tract and a home on the eastern tract, Tract 'A'. He continued that it is staff's determination that this petition is consistent with the Town's Comp Plan and future Land Use strategy. Many properties around this one have been zoned C-1 in order to foster a light community commercial concentration at the intersection of Dogwood Trail and SR-74. This rezoning would also eliminate an existing nonconforming condition of the building at the Shops at Glendalough directly to the west. Under the current zoning of R-20, the adjoining C-1 commercial center (Shops at Glendalough) are required to maintain a 75' buffer from their property line. This buffer is currently not in place. With the rezoning of Tract '5', this buffer requirement reduces down to simply a setback requirement of 20' which would be maintained. Staff recommends approval of this petition.

This petition is consistent with the Town's Comp Plan and Future Development Strategy. The property is located in the Community Gateway Character area which encourages commercial development with high quality architectural and landscaping standards.

Although this property would incur a 75' buffer on its eastern property line, staff has determined that a significant buildable area would still be maintained on the property. This property would constitute the border between the Community Gateway character area and Estate Residential character area. With the property having been split and with large acreage, this provides an adequate transition between character areas.

1. *Will Zoning permit suitable uses with surrounding properties?* C-1 zoning is situated on most sides and would be suitable adjoining these properties.
2. *Will Zoning adversely affect adjacent properties?* Given that this rezoning would eliminate a non-conforming issue with the western property of the same zoning, it is staff's determination that this would not adversely affect this neighbor. Given the large 75' buffer between this property and the R-20 tract to the east as well as the large land area of both tracts, it is staff's opinion that this zoning will not adversely affect the adjoining R-20 property.
3. *Does the property have reasonable economic use as currently zoned?* Given the large amount of floodplain on the property and unusual topography, it is staff's opinion that residential zoning for this 5-acre tract would not be economically viable.
4. *Would the proposed zoning result in a use which will or could be excessively burdensome on existing infrastructure?* It is staff's determination that this zoning would not result in an excessive burden on existing infrastructure. Only a single business entity or small multi-tenant building would be able to be constructed given the property line locations, topography, flood plain location, and known soils.

Chairman Nebergall opened the public hearing for those in favor of the petition.

Chairman Nebergall closed the public hearing for those in favor and opened the public hearing for those in opposition to the petition. No one spoke.

Chairman Nebergall closed the public hearing for those in opposition.

Applicant Carolina Jansink explained that the commercial site would be for their business which offers nature retreat classes to consult with businesses. She further explained that they would incorporate trails throughout the property including to the adjacent residential tract where they hope to construct a home. Mr. Ivo Jansink then spoke and stated that he was in favor of the rezoning considering that the floodplain occupied a large part of the property. He said that the floodplain area would constitute a large portion of the nature area aspect of their business.

Chairman Nebergall asked if there was any development on these properties. Mr. Trocquet responded that they were vacant. Mr. Duncan asked who would be living in the home; Mr. Jansink stated that it would be their primary residence on tract A.

Commissioner Duncan made a motion to approve the rezoning. Commissioner Bousquet seconded the motion. Motion passed 4-0.

3. *Consideration of a text amendment to section 113-191 of Article V of the Zoning Ordinance regarding the Quality Growth Development District Special Requirements. **Phillip Trocquet, Community Development***

Mr. Trocquet presented the item stating that one of the major text amendments called for in the Comprehensive Plan was to bolster the SR-74 Quality Growth District Overlay. This overlay calls for higher architectural and landscaping standards but was found to be missing elements called for by citizens and Council. He continued that although higher architectural and landscaping requirements are part of the current overlay, there is not much specific direction on each. This amendment specifies landscaping requirements much more specifically and expands the buffer from 20' to 50'; planting requirements are specified by quantity and size as well as other specific requirements. Architectural standards have been slightly modified to accommodate more class A building materials as well as specified percentage ratios achievable by the type of developments the Town is seeking to attract. This also includes screening and exterior storage requirements. Traffic management has been one of the top requirements associated with the SR-74 corridor. In an effort to reduce the impact of any new economic development projects along SR-74, the overlay district is being modified with a special traffic management area requirement for all properties on the east side of SR-74. This required road connection will act as a service road for all business traffic as the area develops.

Commissioners discussed the benefits and drawbacks of many of the provisions with specific mention to the area designated for the overlay district as well as use allowances.

Commissioner Bousquet asked about the inclusion of multi-use paths as a requirement for developers. Mr. Trocquet confirmed that this would be included as a requirement consistent with the Town's master path plan. Vice-Chairman Hunter mentioned that a 'Keep Tyrone Beautiful' organization may also help in keeping up with the right aesthetic along SR-74.

Commissioner Duncan made a motion to table this item to the February 9th 2023 meeting. Commissioner Bousquet seconded the motion. Motion passed 4-0.

4. *Consideration of a text amendment to section 113 of Article V of the Zoning Ordinance regarding district regulations to create a Business Technology Park (BTP) zoning classification. **Phillip Trocquet, Community Development***

The Comprehensive Plan has made mention of attracting quality economic development projects to the Town of Tyrone, specifically on the northern portion of the SR-74 corridor. Subsequent Council retreats and public input sessions associated with the comprehensive plan update confirmed this desire and noted that the zoning ordinance should be modified to better accommodate this vision and desire. Mr. Trocquet continued that after performing research and coordinating with entities such as the Fayette County Development Authority, staff has formulated a Business Technology Park(BTP) zoning classification intended on accommodating quality economic development projects to Tyrone in an effort to bolster the local economy and job market. The difference between this district and the M-1 or M-2 district is that it more accurately reflects citizen desires for the northern corridor of SR-74 as well as the unincorporated county's future development strategy in hopes to ease the annexation process. Many of the uses intended for this district are light assembly, manufacturing, production, and fabrication as well as industries focused on medical,

technology, and research facility expansion. Ancillary support uses are allowed as well. Uses such as outdoor storage facilities, exclusive warehousing & distribution facilities, trucking establishments, heavy manufacturing not housed within a building, heavy material dealers and mining operations are not intended for this district. This district is meant to operate in tandem with the Town's Quality Growth Overlay district for SR-74 which helps guide architecture, landscaping, and transportation to a high standard.

Conversation on this item was had regarding the allowed percentage of warehouse space with a specific concern not to attract large warehousing and distribution facilities as constructed for Amazon Corporation along Interstate 85. There was further discussion regarding crafting the right ordinance that was flexible enough to attract the right kind of economic development while allowing warehousing as part of any businesses every day activities.

Commissioner Bousquet made a motion to table this item to the February 9th 2023 meeting. Vice-Chairman Hunter seconded the motion. Motion passed 4-0.

5. *Consideration of a text amendment to section 113-128 of Article V of the Zoning Ordinance regarding the Downtown Commercial (C-1) zoning district. **Phillip Trocquet, Community Development***

Mr. Trocquet presented the item. The Downtown Commercial zoning classification may have, at one point in time, been relegated to the downtown district exclusively, but over time has been used as a light commercial alternative between O-1 and C-2 (Highway Commercial) across all corners of the Town. Given our latest focus on the Town Center (Downtown) district, this has caused some confusion amongst citizens and rezoning applicants as well as business owners. In an effort to reduce confusion, staff recommends a minor update to this district that re-titles it to Community Commercial while retaining the C-1 shorthand classification. It is staff's opinion that this name better reflects the application of the zoning district as it has evolved across Town and reduces confusion when discussing zoning matters.

Vice-Chairman Hunter made a motion to table this item to the February 9th 2023 meeting. Commissioner Duncan seconded the motion. Motion passed 4-0.

New Business

Staff Comments

Commission Comments

Vice-Chairman Hunter asked the status of the DRI off of Valleywood Road. Mr. Trocquet responded that Pulte had pulled out of the land deal last he had heard and that the DRI was suspended. Mr. Hunter then asked about the status of the East Group project. Mr. Trocquet responded that they were working with GA EPD on a stream buffer variance request.

Commissioners also discussed status of other various developments across town such as the Red Door building, a car wash, and a Montessori school off Senoia Road.

Adjournment

Commissioner Duncan made a motion to adjourn. Motion carried 5-0.

The meeting adjourned at 8:52pm.

Chairman David Nebergall

Phillip Trocquet, Asst. Town Manager



PLANNING DATE 1/26/2023
COUNCIL DATE N/A

P&Z STAFF REPORT

Section VI, Item 4.

PREPARED BY:

Phillip Trocquet, Asst. Town Manager | Community Development
ptrocquet@tyrone.org | (770) 881-8322

DOCKET/APPLICATION #	APPLICANT	ADDRESS/PARCEL #
PC 01262023	74 South, LLC - Jason Walls	072604009, 072604010

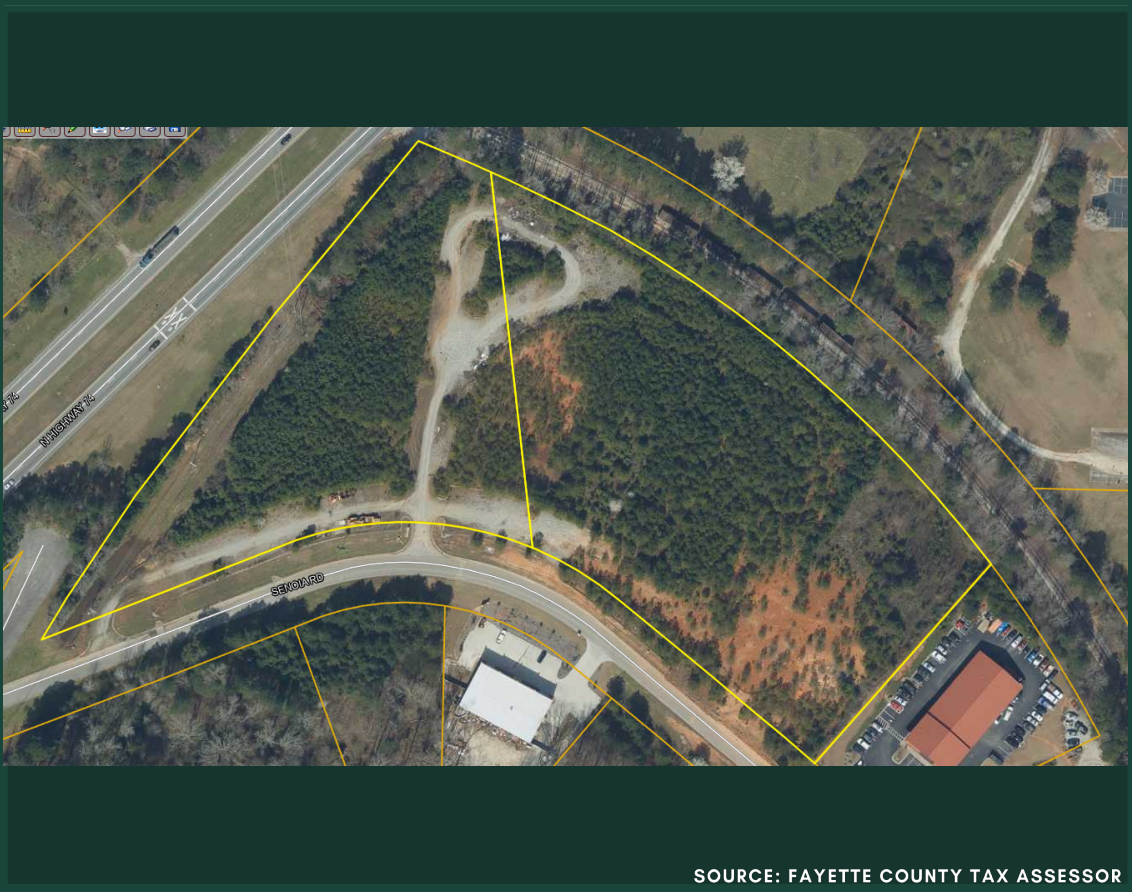
SUMMARY & HISTORY

Applicant Jason Walls. has submitted an application to replat the subject parcels on behalf of owner, 74 South, LLC.

This re-plat has been initiated for the purposes of consolidating the parcels into a single tract.

STAFF DETERMINATION

Staff determines that this final plat meets the minimum standards of the Town's ordinance and recommends approval.



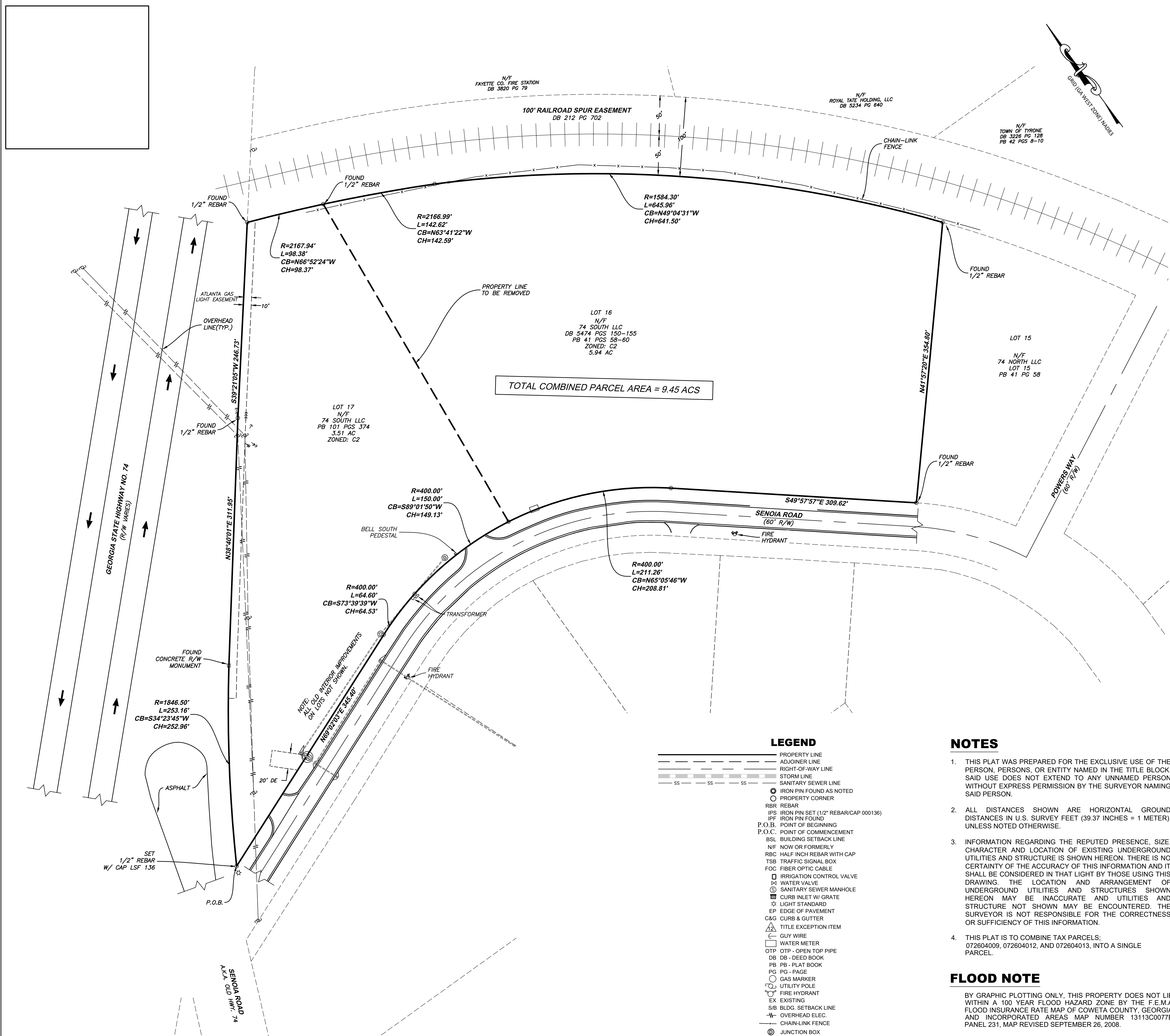
EXISTING ZONING	PROPOSED ZONING	EXISTING LAND USE	SURROUNDING ZONING	PROPERTY ACREAGE
O-I Office-Institutional	C-2 Highway Commercial	Vacant Office-Institutional	North: C-1 South: C-1 & C-2 East: C-2 West: M-2	072604009 - 3.5 Acres 072604010 - 6.3 Acres

COMPREHENSIVE PLAN & FUTURE DEVELOPMENT MAP COMPATABILITY

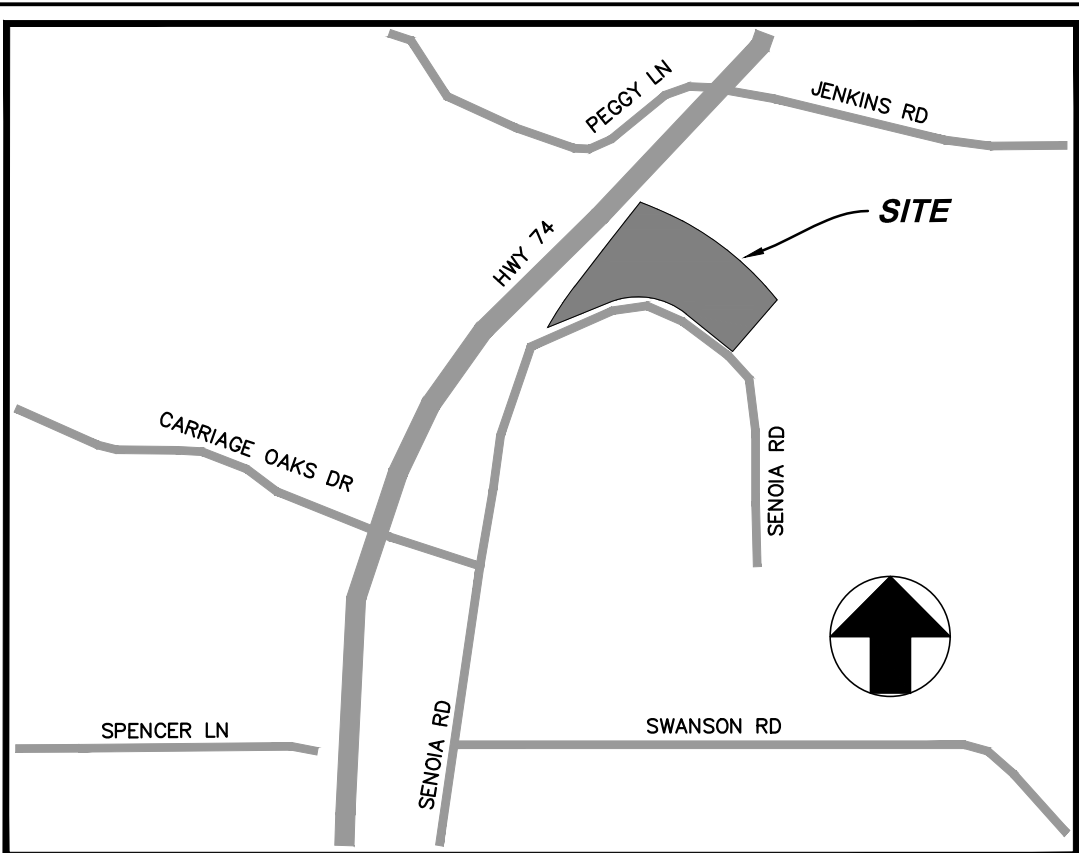
This petition is consistent with the Town's Comprehensive Plan and Future Development strategy. This property falls within the Commercial Corridor Character area which encourages high architectural and landscaping standards. Commercial areas should be screened from the right-of-way and pedestrian connectivity should be accommodated throughout the site and in accord with future path plans. This property lies within the SR-74 Quality Growth Overlay district which requires higher architectural and landscaping provisions for any portion of the site fronting or visible from SR-74.

ZONING ORDINANCE COMPATABILITY & IMPACT ASSESSMENT

This re-plat is compatible with the Town's ordinance for both O-I and C-2 zoning classifications.



NOTE:
SOME SYMBOLS MAY NOT BE PRESENT ON ALL DRAWINGS.



PROPERTY OWNER/ADDRESS

OWNER: 74 SOUTH LLC.
OWNER ADDRESS: 350 ALLISON DR. NE
ATLANTA, GA 30342
PROPERTY ADDRESS: 1400 SENOIA ROAD
TYRONE, GA
EXISTING ZONING: C2

SURVEY NOTES

- FIELD WORK PERFORMED: 12/06/21 DATE OF PLAT PREPARATION: 12/10/21, EQUIPMENT UTILIZED: LEICA TS12 P 3"
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 123,145 FEET, AND AN ANGULAR ERROR OF 5" PER ANGLE POINT, AND WAS ADJUSTED USING LEAST SQUARES.
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO EXCEED ONE FOOT IN 100,000 FEET.
- RECORD TITLE:
DB 5541 PGS 563-566
DB 5474 PGS 150-155
PB 42 PGS 8-10
PB 45 PGS 67-71
PB 101 PG 374

FINAL PLAT APPROVAL

THE TOWN OF TYRONE DOES NOT ACCEPT THE OWNERSHIP, MAINTENANCE OR RESPONSIBILITY FOR ANY DRAINAGE EASEMENT OR OVERALL DRAINAGE PLAN, OR THE LACK OF ONE, INDICATED BY THIS PLAT.

TOWN ENGINEER _____ DATE _____
MAYOR _____ DATE _____
(OWNER) _____ DATE _____
TOWN CLERK _____ DATE _____

SURVEYOR CERTIFICATION

As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intend use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67. INTEGRATED SCIENCE & ENGINEERING LSF000136, EXP. 6/30/2024

Larry J Seabolt 11/28/22
LARRY J SEABOLT, PLS GA 2135 DATE
INTEGRATED SCIENCE & ENGINEERING LSF000136



FINAL SURVEYORS CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACUTAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE" AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE CORRECTLY SHOWN: THIS PLAT CONFORMS TO ALL REQUIREMENTS OF GOERGIA PLAT ACT.

Larry J Seabolt 11/28/22
LARRY J SEABOLT, PLS GA 2135 DATE
INTEGRATED SCIENCE & ENGINEERING LSF000136 (EXP. 06/30/2024)



PLANNING DATE 1/26/2023
COUNCIL DATE N/A

P&Z STAFF REPORT

Section VI, Item 5.

PREPARED BY:

Phillip Trocquet, Asst. Town Manager | Community Development
ptrocquet@tyrone.org | (770) 881-8322

DOCKET/APPLICATION #	APPLICANT	ADDRESS/PARCEL #
PC 01262023	Sharon Griffies - Debeer Granite	145 Mallory Court

SUMMARY & HISTORY

Applicant Debeers Granite has submitted a site plan and landscape plan for the purposes of constructing a 24,000 s.f. structure to cover their current material yard.

The property currently has a 21,000 s.f. facility for DeBeer's current operations.

STAFF DETERMINATION

Staff has worked with the owner on specifically addressing stormwater and environmental management items to accommodate the new structure and existing site.

The landscape plan reflects adequate site density for tree coverage and staff is satisfied with DeBeers aiming to preserve existing landscaping as opposed to any modifications that would require uprooting of existing trees.



EXISTING ZONING	PROPOSED ZONING	EXISTING LAND USE	SURROUNDING ZONING	PROPERTY ACREAGE
O-I Office-Institutional	C-2 Highway Commercial	Vacant Office-Institutional	North: C-1 South: C-1 & C-2 East: C-2 West: M-2	072604009 - 3.5 Acres 072604010 - 6.3 Acres

COMPREHENSIVE PLAN & FUTURE DEVELOPMENT MAP COMPATABILITY

This petition is consistent with the Town's Comprehensive Plan and Future Development strategy. This property falls within the Production & Employment Character area which encourages industrial and manufacturing facilities with sensitivity to environmental concerns and economic development expansion.

ZONING ORDINANCE COMPATABILITY & IMPACT ASSESSMENT

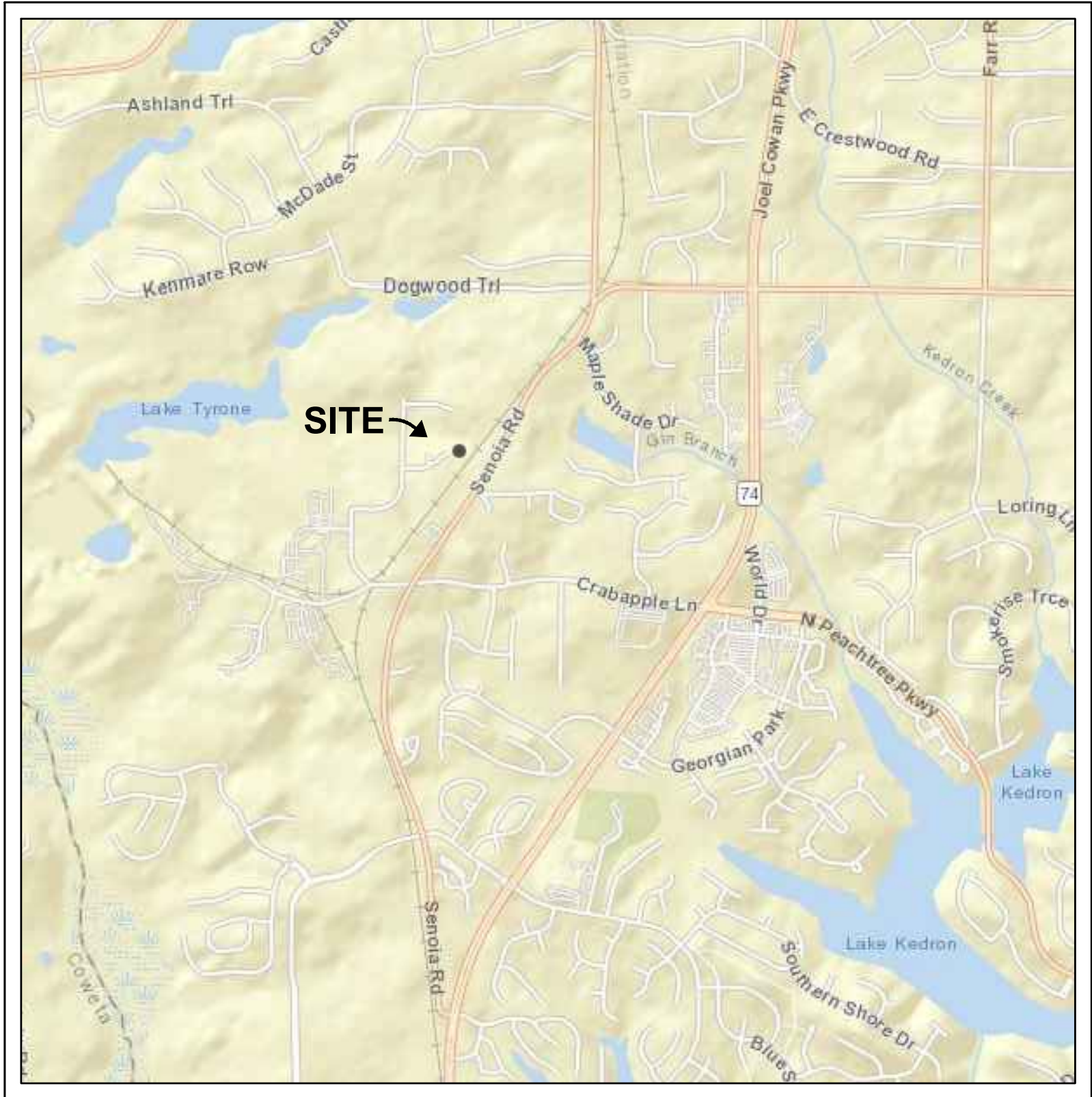
This site plan and landscape plan are both consistent with the town's M-2 Heavy Industrial requirements.

SITE DEVELOPMENT PLANS FOR DeBEER GRANITE

145 MALLORY COURT, TYRONE, GA.

NOTES:

1. ALL WORK SHALL COMPLY WITH TOWN OF TYRONE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
3. PROPERTY IS ZONED M-2 HEAVY INDUSTRIAL.
4. PROPOSED BUILDING TO BE: 25,250 SF SHED ROOF (NO SIDES).
5. TOTAL SITE AREA - LOT 9 & 10: 3.93 Acres.
6. TOTAL DISTURBED AREA- 0.82 Acres.
7. PROPOSED USE FOR FACILITY: SHED ROOF FOR OUTDOOR MATERIAL STORAGE.
8. CONTRACTOR WILL BE RESPONSIBLE TO CALL UTILITY PROTECTION CENTER PRIOR TO ANY EXCAVATION: 811.
9. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION AND EXISTENCE OF ALL UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION.
10. FILL MATERIAL IS TO BE PLACED IN 6" LIFTS AND COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DENSITY.
11. WATER SERVICE PROVIDED BY FAYETTE COUNTY WATER DEPT.
12. SEWER SERVICE PROVIDED BY AN ON-SITE SEPTIC AND DRAIN FIELD SYSTEM.
13. MAXIMUM CUT/FILL 2.0H:1V.
14. AREAS TO RECEIVE FILL SHALL BE CLEARED OF TOPSOIL, TREES, VEGETATION, AND ANY ORGANIC MATERIAL PRIOR TO FILLING.
15. "THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES."
16. "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."
17. TEMPORARY VEGETATION WILL BEGIN TWO WEEKS FROM THE INITIAL DISTURBANCE.
18. ANY AREAS ON SITE LEFT INACTIVE FOR MORE THAN TWO WEEKS MUST BE STABILIZED WITH GRASS.
19. BOUNDARY BY DELTA SURVEYING INC., PC. DATE: 05-03-2022 & TOPOGRAPHY BY DOUGLAS CONSULTING, LLC.
20. THERE ARE STATE WATERS LOCATED ON OR WITHIN 200' OF THE SITE.
21. THERE ARE NO WETLANDS LOCATED ON OR WITHIN 200' OF THIS SITE.
22. NO BURIAL PITTS WILL BE ALLOWED ON THIS SITE.
23. TAX MAP NO. 073618009.
24. SETBACKS: FRONT - 55' (MINOR RD), SIDE - 20', REAR - 30' (UNLESS OTHERWISE NOTED).
25. ALL RADII ARE MEASURED TO THE FACE OF CURB.
26. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
27. CONTRACTOR IS RESPONSIBLE FOR ALL TIE-INS TO THE BUILDINGS INCLUDING BUT NOT LIMITED TO DOWNSPOUTS, UNLESS OTHERWISE SPECIFIED.
28. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND CONSTRUCTING ALL UTILITY RELOCATIONS AS NECESSARY.
29. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WORK ALL APPLICABLE DRAWINGS AND APPROPRIATE SPECIFICATIONS AS A UNIT, ANY OMISSIONS, DELETIONS, OR CONFLICTS WITH ARISING AS A RESULT OF FAILURE TO INCORPORATE ALL DRAWINGS AND SPECIFICATIONS WHICH APPLY SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER AND/OR ENGINEER.
30. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND ELEVATIONS OF EXISTING AND PROPOSED STRUCTURES.
31. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR THE CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL APPLICABLE CODES, FIRE MARSHAL, AND HANDICAP REQUIREMENTS INCLUDING BUT NOT LIMITED TO THE FEDERAL FAIR HOUSING ACT, LOCAL AND STATE ACCESSIBILITY, DEPT. OF COMMUNITY AFFAIRS AND ALL LENDING INSTITUTION REQUIREMENTS, THE AMERICANS WITH DISABILITIES ACT AND ALL AMENDMENTS THERETO.
32. THIS PROJECT WILL BE PRIVATELY FUNDED.
33. THIS PROJECT IS LOCATED WITH A GROUNDWATER RECHARGE AREA.



Location Map N.T.S.

MUD AND SILT ARE STRICTLY PROHIBITED FROM
LEAVING THIS SITE.

OWNER/DEVELOPER:

24 HOUR CONTACT
PRIMARY PERMITTEE
DeBEER GRANITE
SHARON GRIFFIES
145 Mallory Ct.
Tyrone, GA. 30290
PH: 770-486-5687
E: sharon@debeergranite.com

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS
FURNISHED BY THE DEPT. OF HUD THROUGH THE FEMA IT IS MY OPINION THAT THE
PROPERTY SHOWN HEREON IS OUTSIDE OF ANY FLOOD HAZARD AREA.

COMMUNITY PANEL 13113C 0078E

DATED: SEPTEMBER 26, 2008

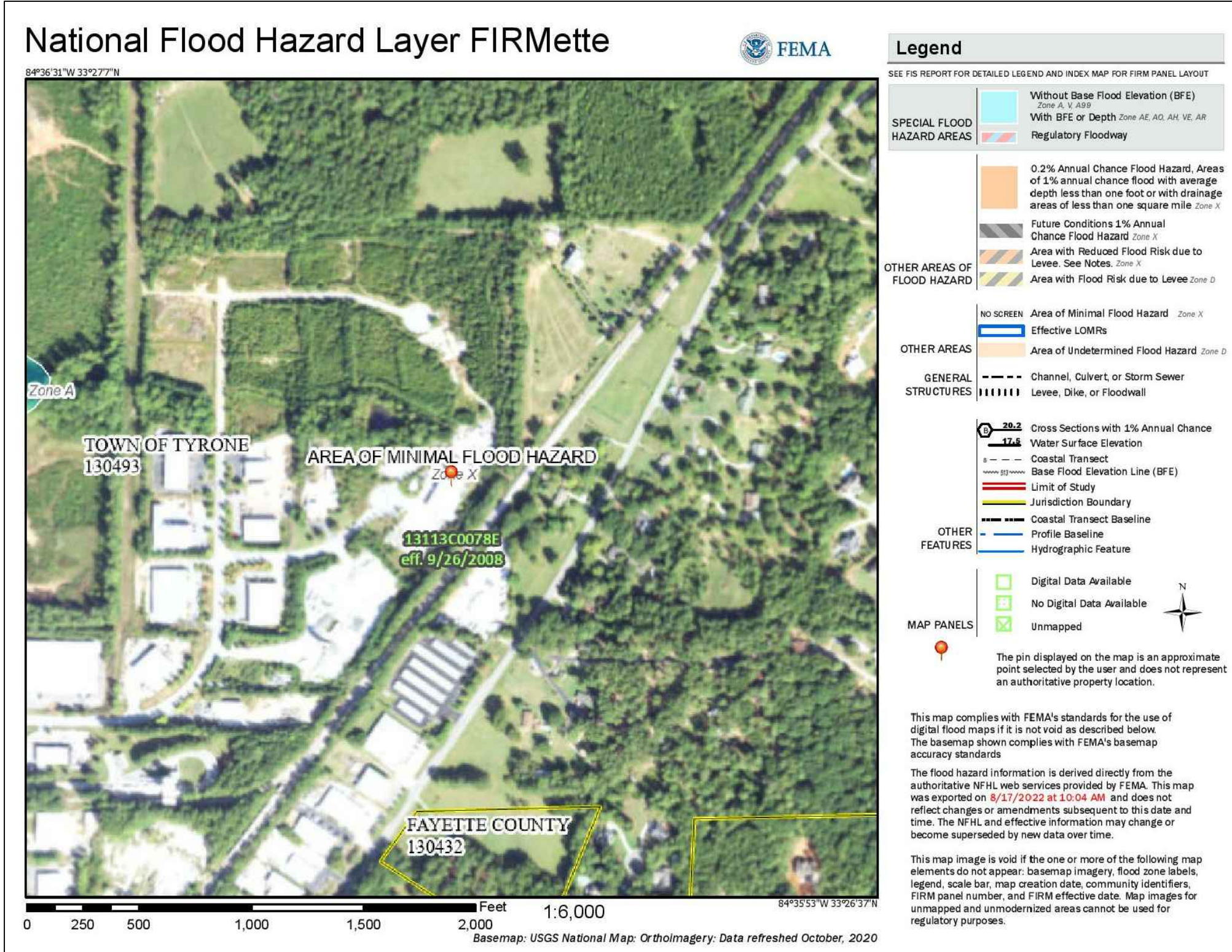


CAUTION

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S
CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT
SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO
RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE
THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE
LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK
ALL DAMAGE MADE TO EXISTING UTILITIES BY THE
CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE
CONTRACTOR.

INDEX

- C1. COVER SHEET.
- C2. EX. CONDITIONS/ DEMOLITIONPLAN.
- C3. SITE PLAN.
- C4. GRADING & DRAINAGE PLAN.
- C5. INITIAL PERIMETER ES&PC PLAN.
- C6. INTERMEDIATE ES&PC PLAN.
- C7. FINAL ES&PC PLAN.
- C8. EROSION CONTROL DETAILS.
- C9. DET. POND/INFILTRATION TRENCH PLAN
& DETAILS.
- C10. NPDES NOTES.



Section VI, Item 5.

Paramount

ENGINEERING, LLC

11 E. BROAD ST.

NEWNAN, GA. 30263

PH: (770)-473-9576

george@paramountengineering.com

REGISTERED

ENGINEER

GEORGE P. HARPER III

01/06/23

GSWCC NO. 09374

REV.	DATE:	DESCRIPTION:
1	01-06-23	ADDRESSED CITY COMMENTS

DRAWING NO: 220513 - DEBEER GRANITE

PROJECT: DeBEER GRANITE

SHEET: COVER SHEET

LL 153

DATE: 08/22/22

TOWN OF TYRONE

7TH DISTRICT

DRAWN BY: GPH

SCALE: NTS

SHEET

C1

13

DATED: SEPTEMBER 26, 2008

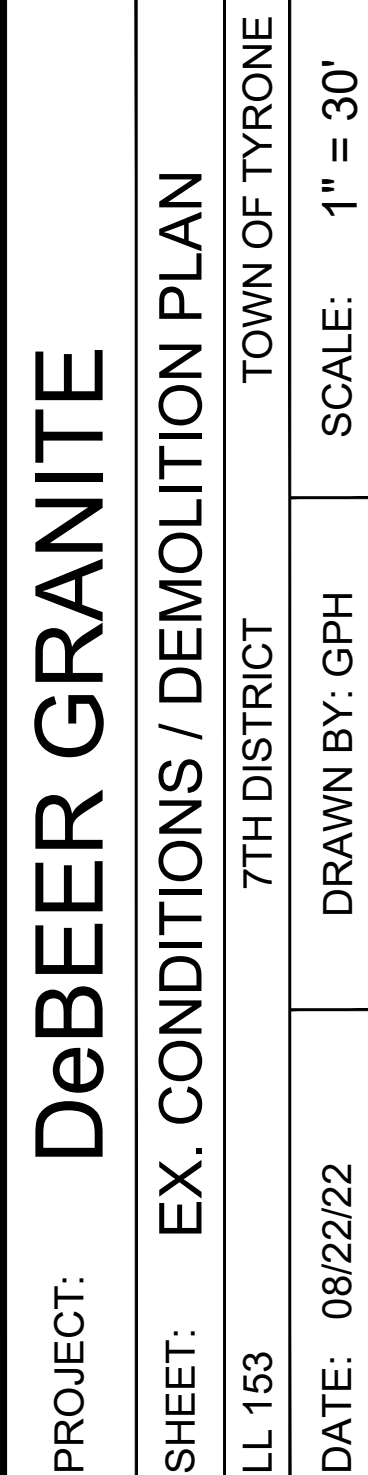
THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

1. CONTRACTOR SHALL OBTAIN PERMITS FROM THE TOWN OF TYRONE, UTILITY COMPANIES AND ALL OTHER ENTITIES AS REQUIRED BEFORE COMMENCING ANY WORK ON SITE.
2. NO WORK SHALL BE DONE IN RIGHT-OF-WAY WITHOUT OBTAINING PROPER PERMITS AND NOTIFYING THE APPROPRIATE DEPARTMENTS AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
3. PRIOR TO DISPOSAL OF WASTE MATERIALS OFF-SITE, ALL PERMITTING AND ANY AUTHORIZATIONS REQUIRED, SHALL BE IN PLACE.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES THE REMOVAL AND RELOCATION OF ANY EXISTING LINES, POLES, LIGHTS, ETC. (SHOWN OR NOT SHOWN ON PLANS).
5. NO BURNING OF MATERIAL ON-SITE SHALL BE PERFORMED WITHOUT OBTAINING PROPER PERMITS FROM LOCAL AND/OR STATE AUTHORITIES.
6. UTILITIES TO REMAIN ON-SITE SHALL BE SAFEGUARDED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. (NOT ALL UTILITIES MAY BE SHOWN ON PLANS).
7. THE CONTRACTOR SHALL TAKE PRECAUTIONS SO AS NOT TO DISTURB ADJOINING PROPERTIES DURING DEMOLITION AND CONSTRUCTION. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY FOR THE COST OF ANY DAMAGES TO EXISTING STRUCTURES, ASPHALT, BUILDINGS, ETC. ON THE ADJOINING PROPERTIES IF DAMAGED DURING CONSTRUCTION.
8. CONTRACTOR SHALL COORDINATE WITH OWNER REGARDING ALL UNDERGROUND UTILITIES WITHIN PROJECT AREA. CONTRACTOR SHALL REMOVE OR RELOCATED AS REQUIRED.

24 HOUR CONTACT
PRIMARY PERMITTEE
DeBEER GRANITE
SHARON GRIFFIES
145 Mallory Ct.
Tyrone, GA. 30290
PH: 770-486-5687
E: sharon@debeergranite.com

Scale 1" = 30'

11 E. BROAD ST.
NEWNAN, GA. 30263
PH: (770)-473-9576
george@paramountengineering.com

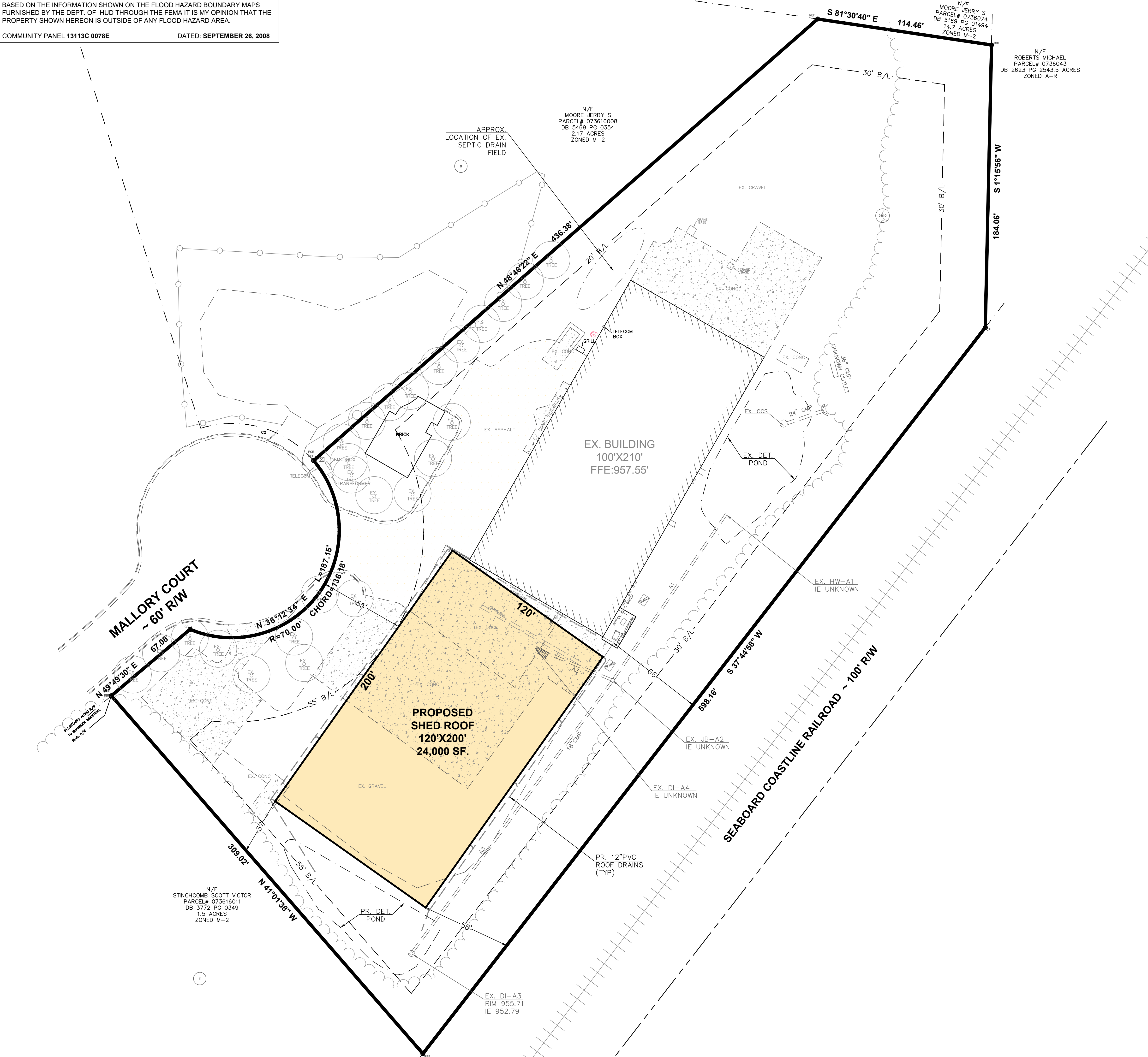


C2

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY THE DEPT. OF HUD THROUGH THE FEMA IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE OF ANY FLOOD HAZARD AREA.

COMMUNITY PANEL 13113C 0078E

DATED: SEPTEMBER 26, 2008



CAUTION

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL NOTES:

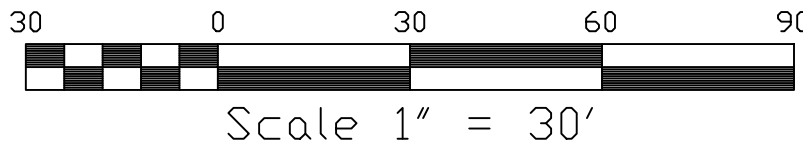
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND EXISTENCE OF ALL UTILITIES SHOWN AND NOT SHOWN PRIOR TO THE START OF ANY WORK.
2. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES. CONTRACTOR SHALL VERIFY CONFORMANCE.
3. AS-BUILT CERTIFICATION WILL BE REQUIRED BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
4. FILL MATERIAL SHALL BE FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL AND HAVE A MINIMUM DENSITY OF 100 PCF.
5. FILL MATERIAL SHALL BE PLACED IN 6" LIFTS (LOOSE) AND COMPACTED TO 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY.
6. FILL OPERATIONS SHOULD BE OBSERVED BY A SOILS ENGINEER AND IN-PLACE DENSITY TESTS SHOULD BE PERFORMED BY THE SOILS ENGINEER TO CHECK COMPACTION.
7. AREAS TO RECEIVE FILL SHALL BE CLEARED OF TOPSOIL, TREES, VEGETATION, AND ANY ORGANIC OR DELETERIOUS MATERIAL PRIOR TO FILLING OPERATIONS.
8. SUBGRADE CONDITIONS SHOULD BE INVESTIGATED BY A SOILS ENGINEER PRIOR TO CONSTRUCTION.
9. THE PROPERTY IS CURRENTLY GRADED WITH HEAVY GRASSED VEGETATION.
10. THIS PLAN TO COMPLY WITH ALL ZONING, VARIANCE, & DRI CONDITIONS.
11. ALL PAVEMENT MARKINGS, STRIPING & SIGNAGE TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF TOWN OF TYRONE AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
12. ALL HANDICAP PARKING SPACES REQUIRE HANDICAP PARKING SIGNS.
13. CONTRACTOR TO ENSURE THE HANDICAP PARKING SPACES HAVE A MAX. SLOPE OF 2% IN ALL DIRECTIONS.
14. SIGHT LIGHTING TO BE PREPARED BY OTHERS.
15. THIS PROJECT IS LOCATED WITHIN A GROUNDWATER RECHARGE AREA.

OWNER/DEVELOPER:

24 HOUR CONTACT
PRIMARY PERMITTEE
DeBEER GRANITE
SHARON GRIFFIES
145 Mallery Ct.
Tyrone, GA. 30290
PH: 770-486-5687
E: sharon@debeergranite.com

LEGEND

P.O.B.	POINT OF BEGINNING	EXISTING	EX.
P.O.R.	POINT OF REFERENCE	PROPOSED	PR.
O.T.P.	OPEN TOP PIPE	TREE PROTECTION FENCING	TPF
I.P.F.	IRON PIN FOUND	PR. FIRE HYDRANT	PR.
I.P.S.	IRON PIN SET	EX. FIRE HYDRANT	EX.
P.L.	PROPERTY LINE	EX. WATER VALVE	EX.
C.M.F.	CONCRETE MONUMENT FOUND	PR. WATER VALVE	PR.
L.L.L.	LAND LOT LINE	WATER METER	WM
B.O.C.	BACK OF CURB	ELECTRIC BOX	EB
E.O.P.	EDGE OF PAVEMENT	SANITARY SEWER MANHOLE - SA	SA
T.W.	TOP OF WALL	JUNCTION BOX (JB)	JB
B.W.	BOTTOM OF WALL	DOUBLE-WING CATCHBASIN (DWCB)	DWCB
D.E.	DRAINAGE EASEMENT	SINGLE-WING CATCHBASIN (SWCB)	SWCB
(S)	SANITARY SEWER MANHOLE - SA	DROP INLET (DI)	DI
(JB)	JUNCTION BOX (JB)	HEADWALL	HW
(DWCB)	DOUBLE-WING CATCHBASIN (DWCB)	DRAINAGE FLOW	DF
(SWCB)	SINGLE-WING CATCHBASIN (SWCB)	LIGHT POLE (LP)	LP
(DI)	DROP INLET (DI)	POWER POLE (PP)	PP
(JB)	JUNCTION BOX (JB)		
(DWCB)	DOUBLE-WING CATCHBASIN (DWCB)		
(SWCB)	SINGLE-WING CATCHBASIN (SWCB)		
(DI)	DROP INLET (DI)		
(HW)	HEADWALL		
(DF)	DRAINAGE FLOW		
(LP)	LIGHT POLE (LP)		
(PP)	POWER POLE (PP)		



Section VI, Item 5.

Paramount ENGINEERING, LLC

11 E. BROAD ST.
NEWNAN, GA. 30263

PH: (770)-473-9576
george@paramountengineering.com

PROJECT: DeBEER GRANITE

SHEET: SITE PLAN

LL 153

DATE: 08/22/22

DESCRIPTION:

1	01-06-23	ADDRESSED CITY COMMENTS
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TOWN OF TYRONE

7TH DISTRICT

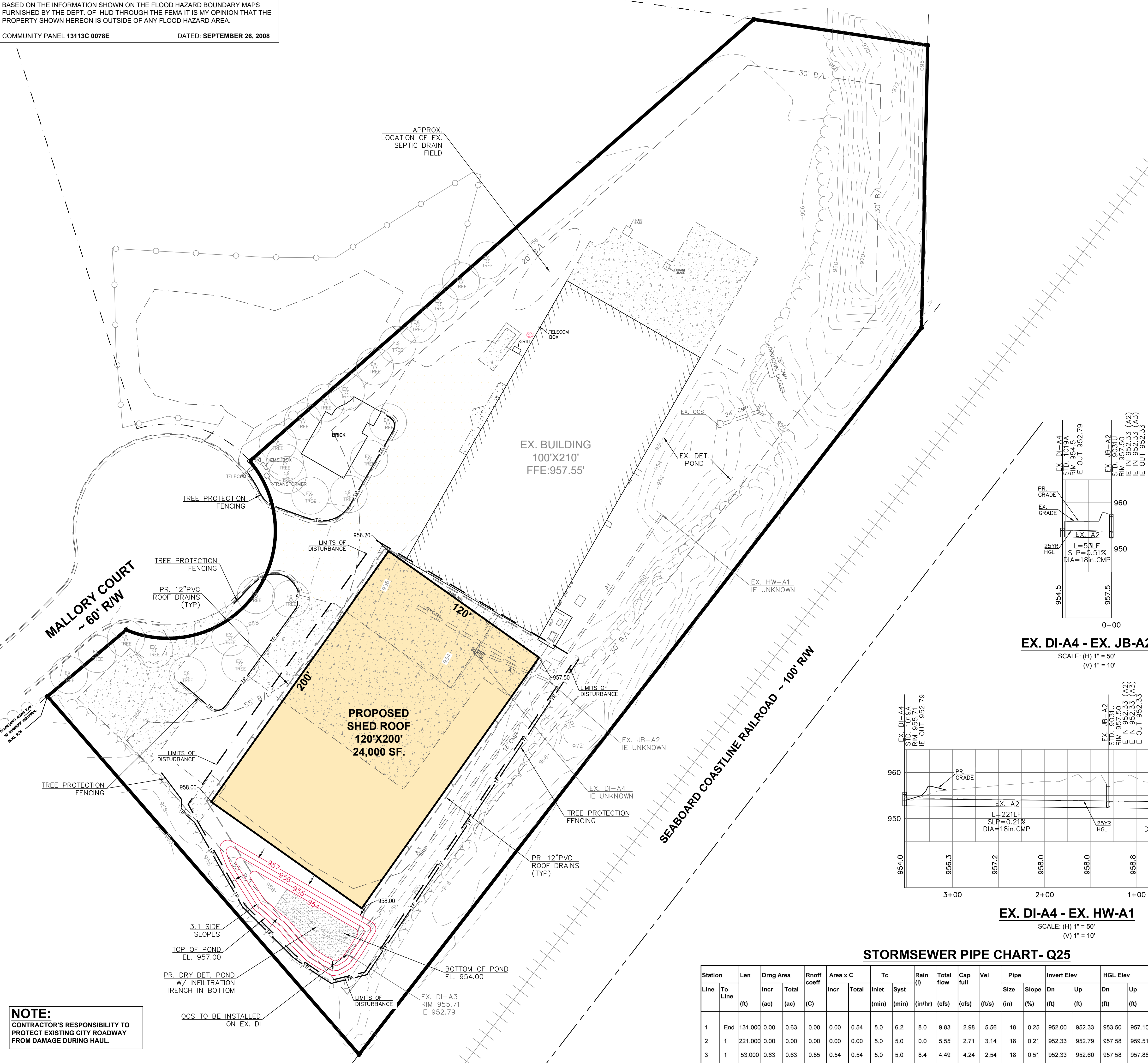
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SCALE: 1" = 30'

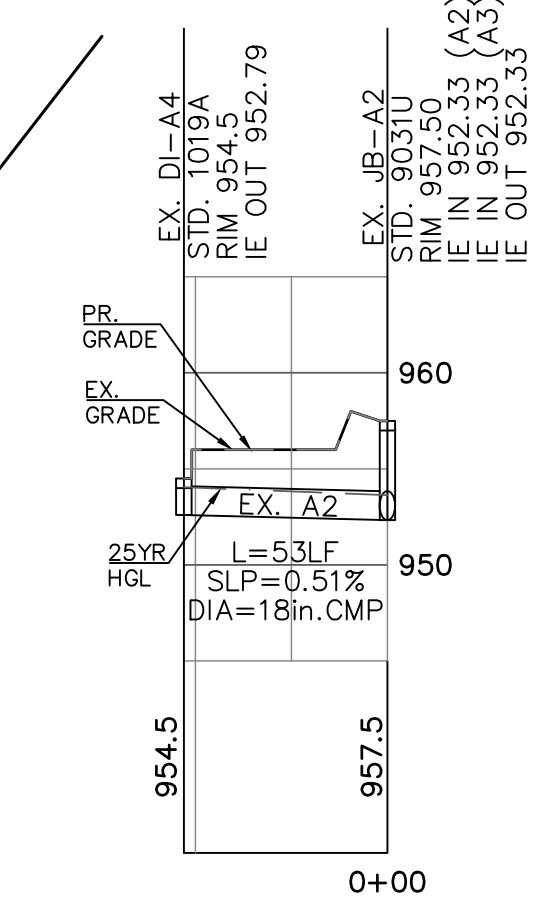
DRAWING NO: 220513 - DEBEER GRANITE

SHEET

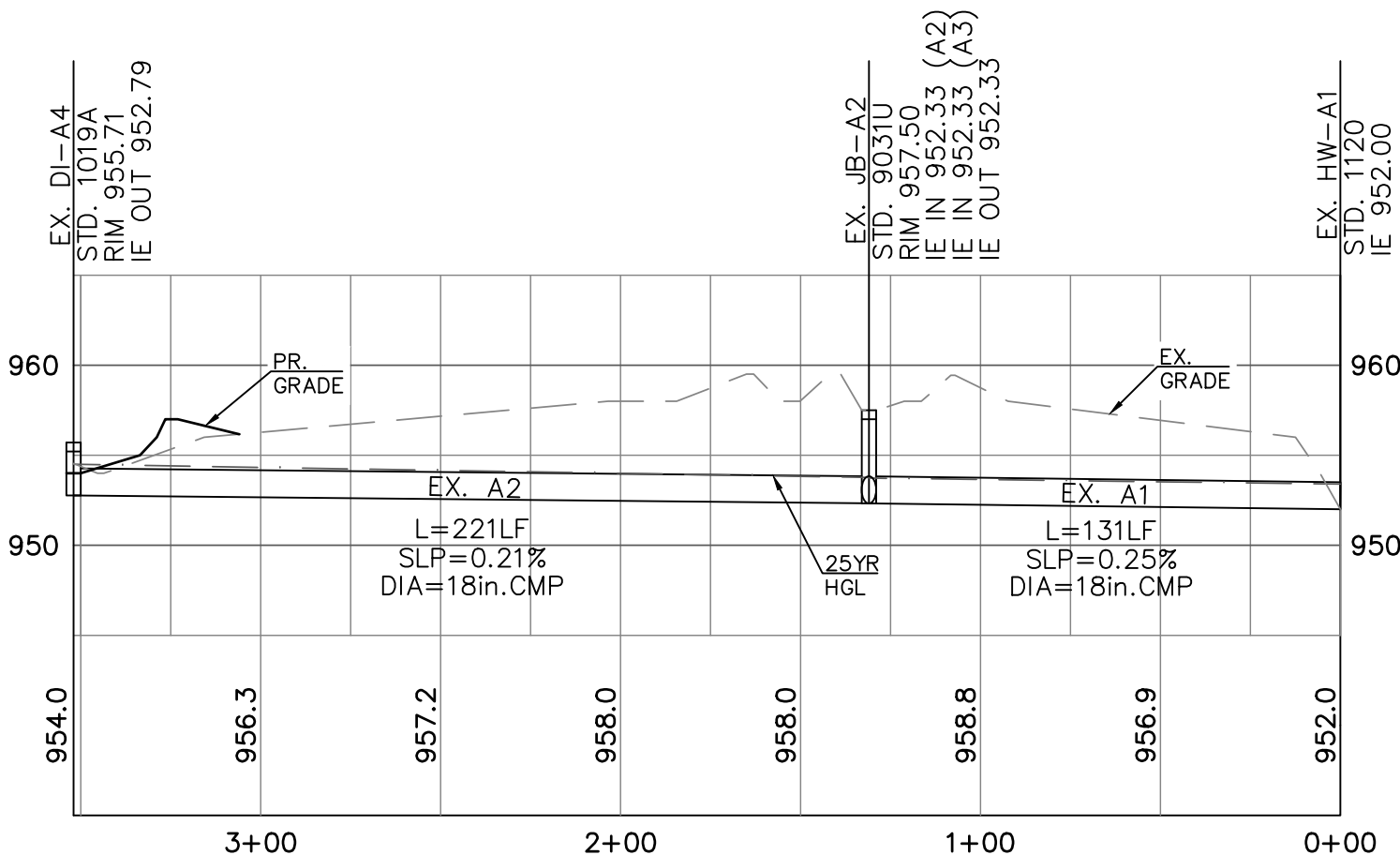
C3



NOTE:
CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING CITY ROADWAY FROM DAMAGE DURING HAUL.



EX. DI-A4 - EX. JB-A2
SCALE: (H) 1" = 50'
(V) 1" = 10'



EX. DI-A4 - EX. HW-A1
SCALE: (H) 1" = 50'
(V) 1" = 10'

STORMSEWER PIPE CHART-Q25

Station	Len	Drng Area	Rnoff	Area x C	Tc	Rain	Total	Cap	Vel	Pipe	Invert Elev	HGL Elev	Grnd / Rim Elev	Line ID								
Line	To Line	(ft)	Incr (ac)	Total (ac)	Rnoff coeff (C)	Incr	Total	Inlet (min)	Syst (min)	(l) (in/hr)	Total (cfs)	Cap full (cfs)	Vel (ft/s)	Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
1	End	131.000	0.00	0.63	0.00	0.00	0.54	5.0	6.2	8.0	9.83	2.98	5.56	18	0.25	952.00	952.33	953.50	957.10	954.00	957.50	A1
2	1	221.000	0.00	0.00	0.00	0.00	0.00	5.0	5.0	0.0	5.55	2.71	3.14	18	0.21	952.33	952.79	957.58	959.51	957.50	955.71	A2
3	1	53.000	0.63	0.63	0.85	0.54	0.54	5.0	5.0	0.0	4.49	4.24	2.54	18	0.51	952.33	952.60	957.58	957.88	957.50	954.50	A3



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GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND EXISTENCE OF ALL UTILITIES SHOWN AND NOT SHOWN PRIOR TO THE START OF ANY WORK.
2. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES. CONTRACTOR SHALL VERIFY CONFORMANCE.
3. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION SUPERVISION OR INSPECTION OF THE PROPOSED IMPROVEMENTS.
4. FILL MATERIAL SHALL BE FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL AND HAVE A MINIMUM DENSITY OF 100 PCF.
5. FILL MATERIAL SHALL BE PLACED IN 6" LIFTS (LOOSE) AND COMPACTED TO 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY.
6. FILL OPERATIONS SHOULD BE OBSERVED BY A SOILS ENGINEER AND IN-PLACE DENSITY TESTS SHOULD BE PERFORMED BY THE SOILS ENGINEER TO CHECK COMPACTION.
7. AREAS TO RECEIVE FILL SHALL BE CLEARED OF TOPSOIL, TREES, VEGETATION, AND ANY ORGANIC OR DELETERIOUS MATERIAL PRIOR TO FILLING OPERATIONS.
8. SUBGRADE CONDITIONS SHOULD BE INVESTIGATED BY A SOILS ENGINEER PRIOR TO CONSTRUCTION.
9. THE PROPERTY IS CURRENTLY WOODED WITH MOSTLY SMALL SCRUB TREES.
10. THIS PLAN TO COMPLY WITH ALL ZONING, VARIANCE, & DRI CONDITIONS.
11. ALL PAVEMENT MARKINGS, STRIPING & SIGNAGE TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF TOWN OF TYRONE AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
12. ALL HANDICAP PARKING SPACES REQUIRE HANDICAP PARKING SIGNS.
13. CONTRACTOR TO ENSURE THE HANDICAP PARKING SPACES HAVE A MAX. SLOPE OF 2% IN ALL DIRECTIONS.
14. SIGHT LIGHTING TO BE PREPARED BY OTHERS.
15. THIS PROJECT IS LOCATED WITHIN A GROUNDWATER RECHARGE AREA.

TOWN OF TYRONE DRAINAGE NOTES:

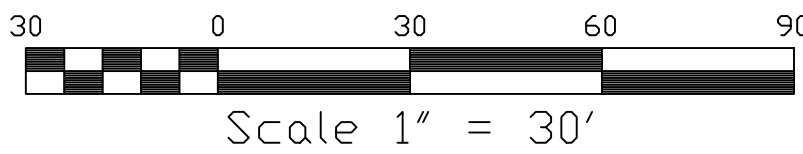
1. CMP STORM DRAINAGE PIPES, WHERE REQUIRED, SHALL BE ASPHALT COATED.
2. MINIMUM COVER ON ALL STORM DRAINAGE PIPE IS PER GA. D.O.T. STD. 1030D, UNLESS OTHERWISE NOTED.
3. ALL STORM DRAINAGE PIPES WILL BE CENTERED WITHIN A 20' DRAINAGE EASEMENT UNLESS IT IS LOCATED WITHIN A ROAD RIGHT-OF-WAY.
4. DRAINAGE SWALES AND DITCHES ARE TO BE WITHIN A 20' DRAINAGE EASEMENT, UNLESS OTHERWISE NOTED.
5. ALL GRADING & DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH GA. D.O.T. CONSTRUCTION STANDARDS.
6. ALL STORM DRAINAGE PIPE SHALL BE IN ACCORDANCE WITH GA. D.O.T. STD.1030D, UNLESS OTHERWISE NOTED.
7. CATCH BASINS (C.B.) SHALL BE AS PER GA. D.O.T. STD. 1033D ON GRADE & 1034D IN SAG.
8. JUNCTION BOXES (J.B.) SHALL BE AS PER GA. D.O.T. STD. 9031U.
9. DROP INLETS (D.I.) SHALL BE AS PER GA. D.O.T. STD. 1019A.
10. HEADWALLS (H.W.) SHALL BE AS PER GA. D.O.T. STD. 1125.
11. CMP WHERE REQUIRED, SHALL BE INSTALLED IN LENGTHS TO PREVENT JOINTS UNDER THE PAVEMENT.

OWNER/DEVELOPER:

24 HOUR CONTACT
PRIMARY PERMITTEE
DeBEER GRANITE
SHARON GRIFFIES
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LEGEND

P.O.B.	POINT OF BEGINNING	EXISTING	EX.
P.O.R.	POINT OF REFERENCE	PROPOSED	PR.
O.T.P.	OPEN TOP PIPE	TREE PROTECTION FENCING	TPF
I.P.F.	IRON PIN FOUND	PR. FIRE HYDRANT	PR.
I.P.S.	IRON PIN SET	EX. FIRE HYDRANT	EX.
P.L.	PROPERTY LINE	PR. WATER VALVE	PR.
C.M.F.	CONCRETE MONUMENT FOUND	EX. WATER VALVE	EX.
L.L.L.	LAND LOT LINE	PR. WATER VALVE	PR.
B.O.C.	BACK OF CURB	WATER METER	WM
E.O.P.	EDGE OF PAVEMENT	ELECTRIC BOX	EB
T.W.	TOP OF WALL	SANITARY SEWER MANHOLE - SA	SM
B.W.	BOTTOM OF WALL	JUNCTION BOX (JB)	JB
D.E.	DRAINAGE EASEMENT	DOUBLE-WING CATCHBASIN (DWCB)	DWCB
S	SANITARY SEWER MANHOLE - SA	SINGLE-WING CATCHBASIN (SWCB)	SWCB
J.B.	JUNCTION BOX (JB)	FLARED END SECTION	FES
D.W.C.B.	DOUBLE-WING CATCHBASIN (DWCB)	SANITARY SEWER LINE	SS
S.W.C.B.	SINGLE-WING CATCHBASIN (SWCB)	WATER LINE	W
D.I.	DROP INLET (DI)	SIGN	S
H.W.	HEADWALL	FENCE	F
D.F.	DRAINAGE FLOW	LT-DUTY ASPHALT PAVING	LAP
L.P.	LIGHT POLE (LP)	HEAVY-DUTY ASPHALT PAVING	HAP
P.P.	POWER POLE (PP)		



Section VI, Item 5.

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NEWNAN, GA. 30263

PH: (770)-473-9576
george@paramountengineering.com

REGISTERED PROFESSIONAL ENGINEER

GEORGE P. HARPER III

01/26/23

GSWCC NO. 09374

PROJECT: **DeBEER GRANITE**

SHEET: **GRADING & DRAINAGE PLAN**

LL 153

DATE: 08/22/22

DRAWN BY: GPH

SCALE: 1" = 30'

TOWN OF TYRONE

7TH DISTRICT

DRAWING NO: 220513 - DEBEER GRANITE

SHEET

C4

ACTIVITY SCHEDULE	MONTH	1	2	3	4
1. Installation of Erosion Control Measures					
2. Clearing & Grading Operations					
3. Shed Construction					
4. Grassing-Mulching, Temp. & Perm. Vegetation					
5. Maintenance of Erosion Control Measures					
6. Installation of Water Quality Device					
7. Final landscaping & grassing					

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY THE DEPT. OF HUD THROUGH THE FEMA IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE OF ANY FLOOD HAZARD AREA.

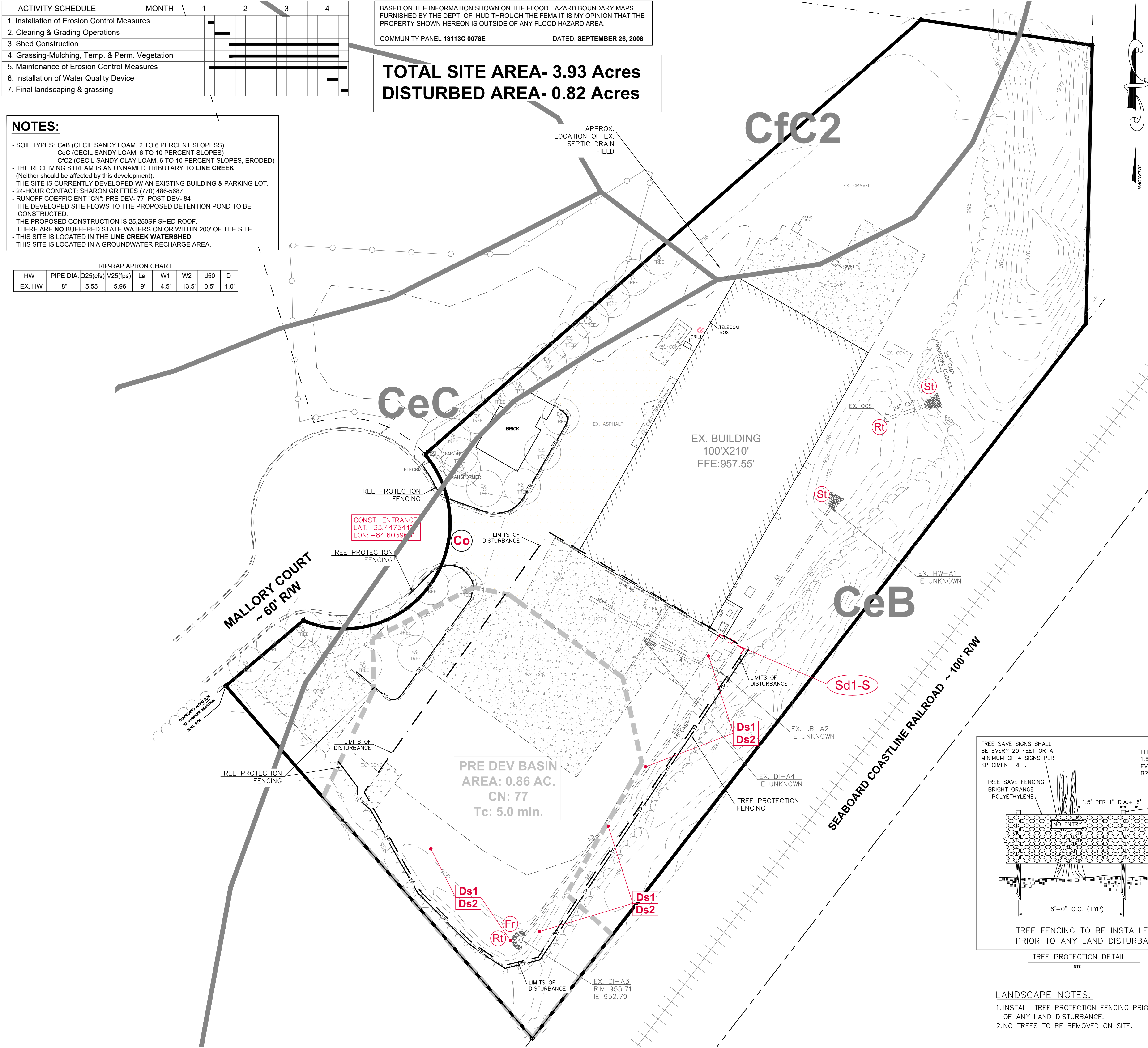
COMMUNITY PANEL 13113C 0078E DATED: SEPTEMBER 26, 2008

TOTAL SITE AREA- 3.93 Acres
DISTURBED AREA- 0.82 Acres

NOTES:

- SOIL TYPES: CeB (CECIL SANDY LOAM, 2 TO 6 PERCENT SLOPES)
CeC (CECIL SANDY LOAM, 6 TO 10 PERCENT SLOPES)
CIC2 (CECIL SANDY CLAY LOAM, 6 TO 10 PERCENT SLOPES, ERODED)
- THE RECEIVING STREAM IS AN UNNAMED TRIBUTARY TO LINE CREEK.
(Neither should be affected by this development).
- THE SITE IS CURRENTLY DEVELOPED W/ AN EXISTING BUILDING & PARKING LOT.
- 24-HOUR CONTACT: SHARON GRIFFIES (770) 486-5687
- RUNOFF COEFFICIENT "CN": PRE DEV- 77, POST DEV- 84
- THE DEVELOPED SITE FLOWS TO THE PROPOSED DETENTION POND TO BE CONSTRUCTED.
- THE PROPOSED CONSTRUCTION IS 25,250SF SHED ROOF.
- THERE ARE NO BUFFERED STATE WATERS ON OR WITHIN 200' OF THE SITE.
- THIS SITE IS LOCATED IN THE LINE CREEK WATERSHED.
- THIS SITE IS LOCATED IN A GROUNDWATER RECHARGE AREA.

RIP-RAP APRON CHART								
HW	PIPE DIA.	Q25(cfs)	V25(fps)	La	W1	W2	d50	D
EX. HW	18"	5.55	5.96	9'	4.5'	13.5'	0.5'	1.0'



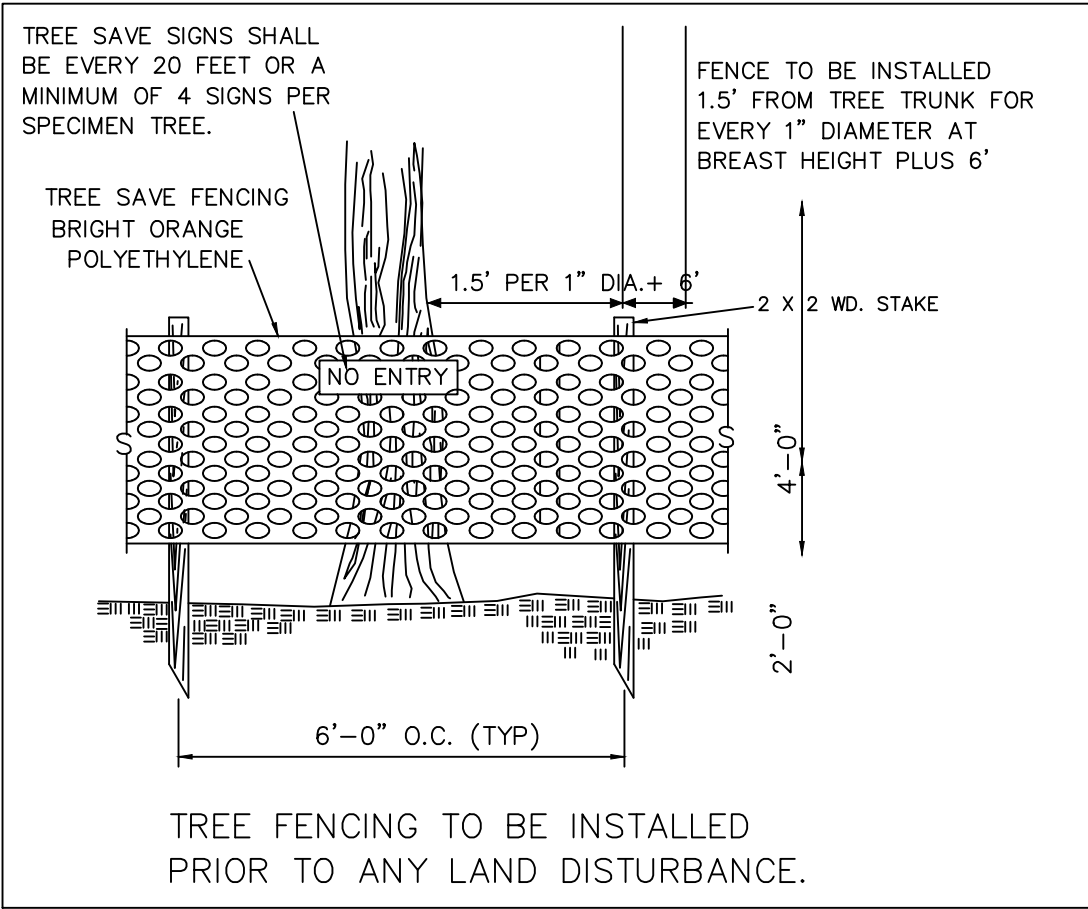
EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
2. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
3. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
4. CUT AND FILL SLOPES SHALL NOT EXCEED 2H:1V ON ALL SLOPES.
5. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
6. AMENDMENTS/ REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
7. INSPECTIONS BY CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR. 100001.
8. WASTE MATERIALS SHALL NOT BE DISCHARGED INTO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
9. IT IS THE RESPONSIBILITY OF THE PRIMARY PERMITTEE TO PREPARE THE NOI.
10. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES & PERMITS.
11. THIS ES&PC PLAN IS IN COMPLIANCE WITH WASTE DISPOSAL & SANITARY SEWER REGULATIONS DURING AND AFTER CONSTRUCTION.
12. THIS PROJECT DOES NOT DISCHARGE STORMWATER INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED, AS ANY PORTION OF A BIOTA IMPAIRED STREAM SEGMENT.
13. 67 CY/AC. SEDIMENT STORAGE SUBSTANTIALLY HANDLED BY SILT FENCE PLACED ALONG THE TOE OF SLOPES AND A RETROFIT ON THE EXISTING POND OCS.
14. SEDIMENT STORAGE VOLUME MUST BE IN PLACE PRIOR TO, AND DURING ALL LAND DISTURBANCE ACTIVITIES UNTIL FINAL STABILIZATION OF THE SITE HAS BEEN ACHIEVED.
15. CONTRACTOR MUST HAUL OFF ALL SOLID WASTE TO AN APPROVED LANDFILL. SOLID WASTE BURNING ON SITE IS PROHIBITED.
16. THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7 DAYS AFTER INSTALLATION.
17. CONTRACTOR MUST ADHERE TO CITY OF TYRONE EROSION AND SEDIMENT CONTROL REGULATIONS AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".
18. SEDIMENT / EROSION CONTROL FACILITIES AND STORM DRAINAGE FACILITIES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
19. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A FAST- GROWING COVER AND/OR MULCH.
20. OWNER/ DEVELOPER AND CONTRACTOR SHALL BE RESPONSIBLE DURING CONSTRUCTION FOR THE CONTINUOUS MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES AS CALLED FOR ON DRAWINGS AND SPECIFICATIONS.
21. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
22. SILT FENCE SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROPERTY LIMITS.
23. SILT FENCE SHALL BE CLEANED OR REPLACED WHEN SILT HAS ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE BARRIER.
24. BUILDING MATERIALS AND PRODUCTS STORED ON SITE TO BE COVERED BY A TARPULIN.
25. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
26. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES AND THE INSPECTIONS AND REPAIRS WILL BE MADE BY:

24 HOUR CONTACT
DEBEER GRANITE
SHARON GRIFFIES
145 MALLORY CT.
TYRONE, GA. 30290
PH: 770-486-5687
E: SHARON@DEBEERGRANITE.COM

OWNER/DEVELOPER:

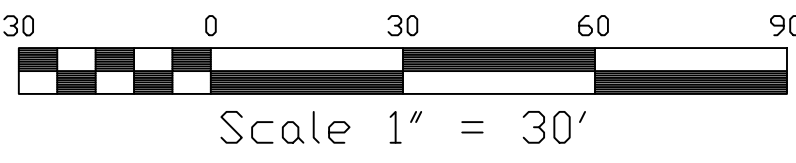
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145 Mallory Ct.
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LANDSCAPE NOTES:

1. INSTALL TREE PROTECTION FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
2. NO TREES TO BE REMOVED ON SITE.

LEGEND		
P.O.B. POINT OF BEGINNING	EXISTING	EX.
P.O.R. POINT OF REFERENCE	PROPOSED	PR.
O.T.P. OPEN TOP PIPE	TREE PROTECTION FENCING	TPF
I.P.F. IRON PIN FOUND	PR. FIRE HYDRANT	
I.P.S. IRON PIN SET	EX. FIRE HYDRANT	
P.L. PROPERTY LINE	PR. WATER VALVE	
C.M.F. CONCRETE MONUMENT FOUND	EX. WATER VALVE	
L.L.L. LAND LOT LINE	PR. WATER VALVE	
B.O.C. BACK OF CURB	WATER METER	
E.O.P. EDGE OF PAVEMENT	ELECTRIC BOX	
T.W. TOP OF WALL	FLARED END SECTION	
B.W. BOTTOM OF WALL	SANITARY SEWER LINE	SS
D.E. DRAINAGE EASEMENT	SINGLE-WING CATCHBASIN (SWCB)	
S. SANITARY SEWER MANHOLE - SA	WATER LINE	W
JUNCTION BOX (JB)	SIGN	
DOUBLE-WING CATCHBASIN (DWCB)	FENCE	
SINGLE-WING CATCHBASIN (SWCB)	LT-DUTY ASPHALT PAVING	
DROP INLET (DI)	HEAVY-DUTY ASPHALT PAVING	
HEADWALL		
DRAINAGE FLOW		
LIGHT POLE (LP)		
POWER POLE (PP)		



Section VI, Item 5.

Paramount ENGINEERING, LLC

PH: (770)-473-9576
george@paramountengineering.com

11 E. BROAD ST.
NEWNAN, GA. 30263

GEORGIA REGISTERED PROFESSIONAL ENGINEER
No. 29474
GEORGE P. HARPER III
01/26/23
GSWCC NO. 09374

REV.	DATE:	DESCRIPTION:
1	01-06-23	ADDRESSED CITY COMMENTS

PROJECT: **DeBEER GRANITE**

SHEET: **INITIAL PERIMETER ES & PC PLAN**

LL 153

DATE: 08/22/22

TOWN OF TYRONE

7TH DISTRICT

DRAWN BY: GPH

SCALE: 1" = 30'

DRAWING NO: 220513 - DEBEER GRANITE

SHEET

C5

ACTIVITY SCHEDULE	MONTH	1	2	3	4
1. Installation of Erosion Control Measures					
2. Clearing & Grading Operations					
3. Shed Construction					
4. Grassing-Mulching, Temp. & Perm. Vegetation					
5. Maintenance of Erosion Control Measures					
6. Installation of Water Quality Device					
7. Final landscaping & grassing					

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY THE DEPT. OF HUD THROUGH THE FEMA IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE OF ANY FLOOD HAZARD AREA.

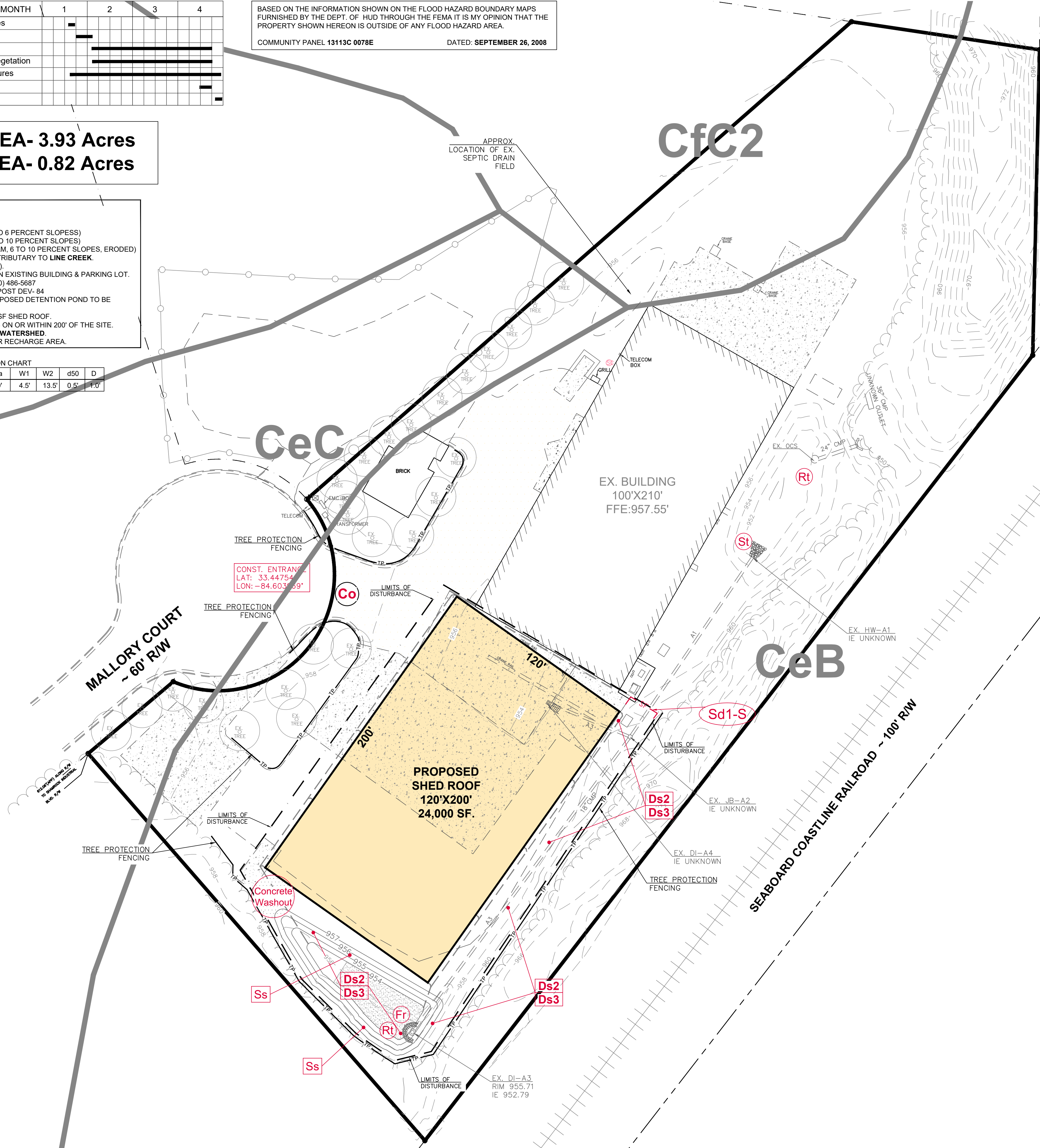
COMMUNITY PANEL 13113C 0078E DATED: SEPTEMBER 26, 2008

TOTAL SITE AREA- 3.93 Acres
DISTURBED AREA- 0.82 Acres

NOTES:

- SOIL TYPES: CcB (CECIL SANDY LOAM, 2 TO 6 PERCENT SLOPES)
CcC (CECIL SANDY LOAM, 6 TO 10 PERCENT SLOPES)
CfC2 (CECIL SANDY CLAY LOAM, 6 TO 10 PERCENT SLOPES, ERODED)
- THE RECEIVING STREAM IS AN UNNAMED TRIBUTARY TO **LINE CREEK**. (Neither should be affected by this development).
- THE SITE IS CURRENTLY DEVELOPED W/ AN EXISTING BUILDING & PARKING LOT.
- 24-HOUR CONTACT: SHARON GRIFFIES (770) 486-5687
- RUNOFF COEFFICIENT "CN": PRE DEV- 77, POST DEV- 84
- THE DEVELOPED SITE FLOWS TO THE PROPOSED DETENTION POND TO BE CONSTRUCTED
- THE PROPOSED CONSTRUCTION IS 25,250SF SHED ROOF.
- THERE ARE NO BUFFERED STATE WATERS ON OR WITHIN 200' OF THE SITE.
- THIS SITE IS LOCATED IN THE **LINE CREEK WATERSHED**.
- THIS SITE IS LOCATED IN A GROUNDWATER RECHARGE AREA.

RIP-RAP APRON CHART								
HW	PIPE DIA.	Q25(cfs)	V25(fps)	La	W1	W2	d50	D
EX. HW	18"	5.55	5.96	9'	4.5'	13.5'	0.5'	1.0'



EROSION CONTROL NOTES:

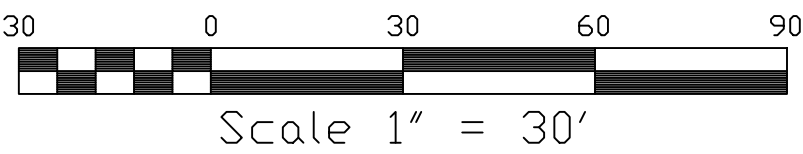
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2. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
3. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
4. CUT AND FILL SLOPES SHALL NOT EXCEED 2H:1V ON ALL SLOPES.
5. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
6. AMENDMENTS/ REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
7. INSPECTIONS BY CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR, 100001.
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10. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES & PERMITS.
11. THIS ES&PC PLAN IS IN COMPLIANCE WITH WASTE DISPOSAL & SANITARY SEWER REGULATIONS DURING AND AFTER CONSTRUCTION.
12. THIS PROJECT DOES NOT DISCHARGE STORMWATER INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED, AS ANY PORTION OF A BIOTA IMPAIRED STREAM SEGMENT.
13. 67 CY/ AC. SEDIMENT STORAGE SUBSTANTIALLY HANDLED BY SILT FENCE PLACED ALONG THE TOE OF SLOPES AND A RETROFIT ON THE EXISTING POND OCS.
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24 HOUR CONTACT
DEBEER GRANITE
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145 MALLORY CT.
TYRONE, GA. 30290
PH: 770-486-5687
E: SHARON@DEBEERGRANITE.COM

OWNER/DEVELOPER:

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E: sharon@debeergranite.com

LEGEND			
P.O.B.	POINT OF BEGINNING	EXISTING	EX.
P.O.R.	POINT OF REFERENCE	PROPOSED	PR.
O.T.P.	OPEN TOP PIPE	TREE PROTECTION FENCING	TPF
I.P.F.	IRON PIN FOUND	PR. FIRE HYDRANT	PR.
I.P.S.	IRON PIN SET	EX. FIRE HYDRANT	EX.
P.L.	PROPERTY LINE	EX. FIRE HYDRANT	EX.
C.M.F.	CONCRETE MONUMENT FOUND	EX. WATER VALVE	EX.
L.L.L.	LAND LOT LINE	PR. WATER VALVE	PR.
B.O.C.	BACK OF CURB	WATER METER	WM
E.O.P.	EDGE OF PAVEMENT	WATER METER	WM
T.W.	TOP OF WALL	ELECTRIC BOX	EB
B.W.	BOTTOM OF WALL	FLARED END SECTION	ES
D.E.	DRAINAGE EASEMENT	SANITARY SEWER LINE	SS
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J.B.	JUNCTION BOX (JB)	SIGN	S
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H.	HEADWALL		
D.F.	DRAINAGE FLOW		
L.P.	LIGHT POLE (LP)		
P.P.	POWER POLE (PP)		



CAUTION

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



Paramount ENGINEERING, LLC

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REV.	DATE	DESCRIPTION
1	01-06-23	ADDRESSED CITY COMMENTS

PROJECT:	DeBEER GRANITE
SHEET:	INTERMEDIATE ES & PC PLAN
LL 153	7TH DISTRICT
DATE:	08/22/22
DRAWN BY:	GPH
SCALE:	1" = 30'

SHEET

C6

ACTIVITY SCHEDULE	MONTH	1	2	3	4
1. Installation of Erosion Control Measures					
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3. Shed Construction					
4. Grassing-Mulching, Temp. & Perm. Vegetation					
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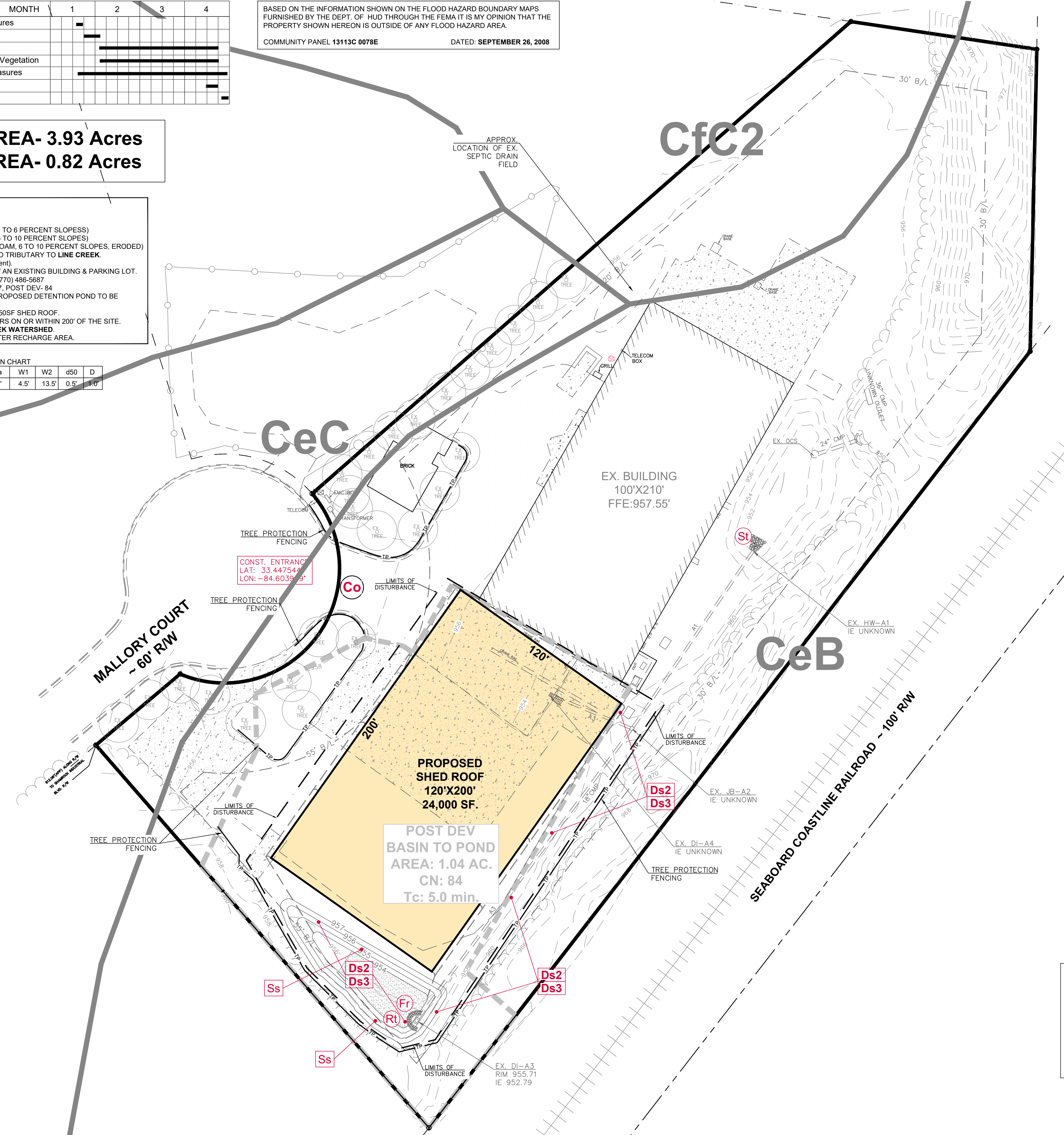
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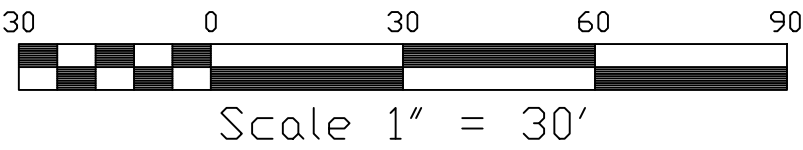
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LEGEND			
P.O.B.	POINT OF BEGINNING	EXISTING	EX.
P.O.R.	POINT OF REFERENCE	PROPOSED	PR.
O.T.P.	OPEN TOP PIPE	TREE PROTECTION FENCING	TPF
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T.W.	TOP OF WALL	SANITARY SEWER LINE	SS
B.W.	BOTTOM OF WALL	WATER LINE	W
D.E.	DRAINAGE EASEMENT	SIGN	S
S	SANITARY SEWER MANHOLE - SA	FENCE	F
J.B.	JUNCTION BOX (JB)	LT-DUTY ASPHALT PAVING	LAP
D.W.C.B.	DOUBLE-WING CATCHBASIN (DWCB)	HEAVY-DUTY ASPHALT PAVING	HAP
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Section VI, Item 5.

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REGISTERED PROFESSIONAL ENGINEER
No. 29474
GEORGE P. HARPER III
01/26/23
GSWCC NO. 09374

PROJECT:	DeBEER GRANITE	DATE:	01-06-23	DESCRIPTION:	ADDRESSED CITY COMMENTS
SHEET:	FINAL ES & PC PLAN	REV.	1		
LL 153	7TH DISTRICT	TOWN OF TYRONE			
DATE:	08/22/22	DRAWN BY:	GPH	SCALE:	1" = 30'

SHEET

C7

EROSION AND SEDIMENT CONTROL NOTES:

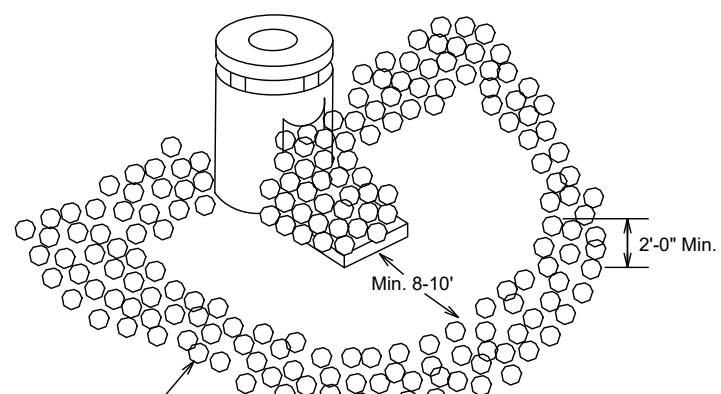
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- ALL OPEN DRAINAGE SWALES SHALL BE GRASSED & RIP RAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
- A MINIMUM OF 10 SQUARE YARDS OF 50 POUND STONE SHALL BE PLACED AT ALL DOWNSTREAM HEADWALLS, OR AS SHOWN.
- SILT FENCE SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT & EROSION FROM LEAVING PROPERTY LIMITS.
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NAME: SHARON GRIFFIES- DeBEER GRANITE
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Tyrone, GA. 30290
PHONE (24HR.): (770) 486-5687
EMAIL: sharon@debeergranite.com

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DUST CONTROL ON DISTURBED AREAS

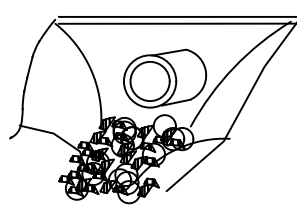
- MULCH DISTURBED AREAS AND TACKIFY WITH RESINS SUCH AS ASPHALT, CURASOL, OR TERRATACK ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT VEGETATION.
- IRRIGATE DISTURBED AREAS UNTIL SURFACE IS WET.
- COVER SURFACES WITH CRUSHED STONE OR GRAVEL.
- APPLY CALCIUM CHLORIDE AT A RATE TO KEEP SURFACES MOIST.



STONE FILTER RING

DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

MATERIAL	RATE	DEPTH
STRAW OR HAY	2.5 TON/ACRES	6"-10"
WOOD WASTE CHIPS, SAWDUST, BARK	6 TO 9 TON/AC	2'-3"
CUTBACK ASPHALT	1200 GAL/AC	---
POLYETHYLENE FILM	SEE MANUFACTURER'S RECOMMENDATION	---
GEOTEXTILE JUTE MATTING	SEE MANUFACTURER'S RECOMMENDATION	---



OUTLET PROTECTION

DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDINGS)

SPECIES	SEEDING RATE (LBS. PURE LIVE SEED)	PLANTING DATES
RYEGRASS (ANNUAL)	40 LBS/ACRE	AUGUST - APRIL
MILLET, PEARL	50 LBS/ACRE	APRIL - AUGUST
RYE	168 LBS/ACRE	AUGUST - DECEMBER

NOTES:

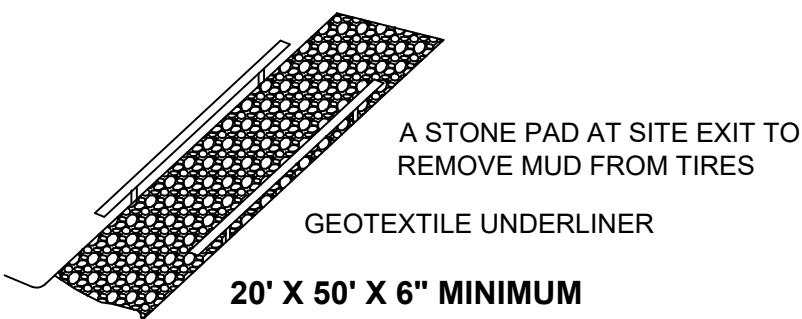
- OTHER SPECIES MAY BE USED AS RECOMMENDED BY THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".
- AGRICULTURAL LIME IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE. APPLY LIME AT A RATE DETERMINED BY SOIL TEST FOR pH.
- MULCHING SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER USING DRY STRAW OR HAY AT A RATE OF 2.5 TONS/ACRE.

DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

SPECIES	SEEDING RATE (LBS. PURE LIVE SEED)	PLANTING DATES
BERMUDA, COMMON (HULLED)	6-10 LBS/ACRE	MARCH - JUNE
BERMUDA, COMMON (UN-HULLED)	6-10 LBS/ACRE	OCTOBER - FEBRUARY
FESCUE, TALL	30 -50 LBS/ACRE	AUGUST - OCTOBER
LESPEDEZA	60 - 75 LBS/ACRE	MARCH - APRIL
		JANUARY - DECEMBER

NOTES:

- OTHER SPECIES MAY BE USED AS RECOMMENDED BY THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".
- MULCHING, LIME AND FERTILIZATION ARE REQUIRED. CONVENTIONAL PLANTING SHALL UTILIZE RECOMMENDED RATES DESCRIBED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".
- HYDRAULIC SEEDING MIXTURES SHALL CONSIST OF APPROPRIATE AMOUNTS OF SEED, MULCH AND FERTILIZER AS DIRECTED BY THE ENGINEER.
- SPECIES MAY BE MIXED TO OBTAIN OPTIMUM RESULTS.
- APPLY AGRICULTURAL LIME AS PRESCRIBED BY SOIL TESTS OR AT A RATE OF 1 TO 2 TONS PER ACRE.

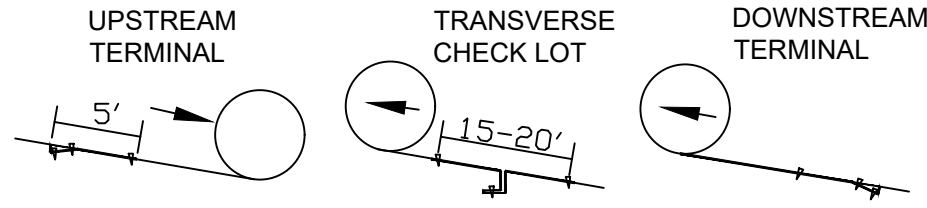


STONE SIZE: ASTM D448 SIZE #1 (1.5" TO 3.5" DIAMETER).

The exit shall be maintained in a condition which will prevent tracking or flow of mud onto public rights-of-way. This may require washing the pad periodically with water to remove trapped sediment and/or adding a top dressing of 1.5-3.5 inch stone, whatever conditions demand. All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways or into storm drains must be removed immediately.

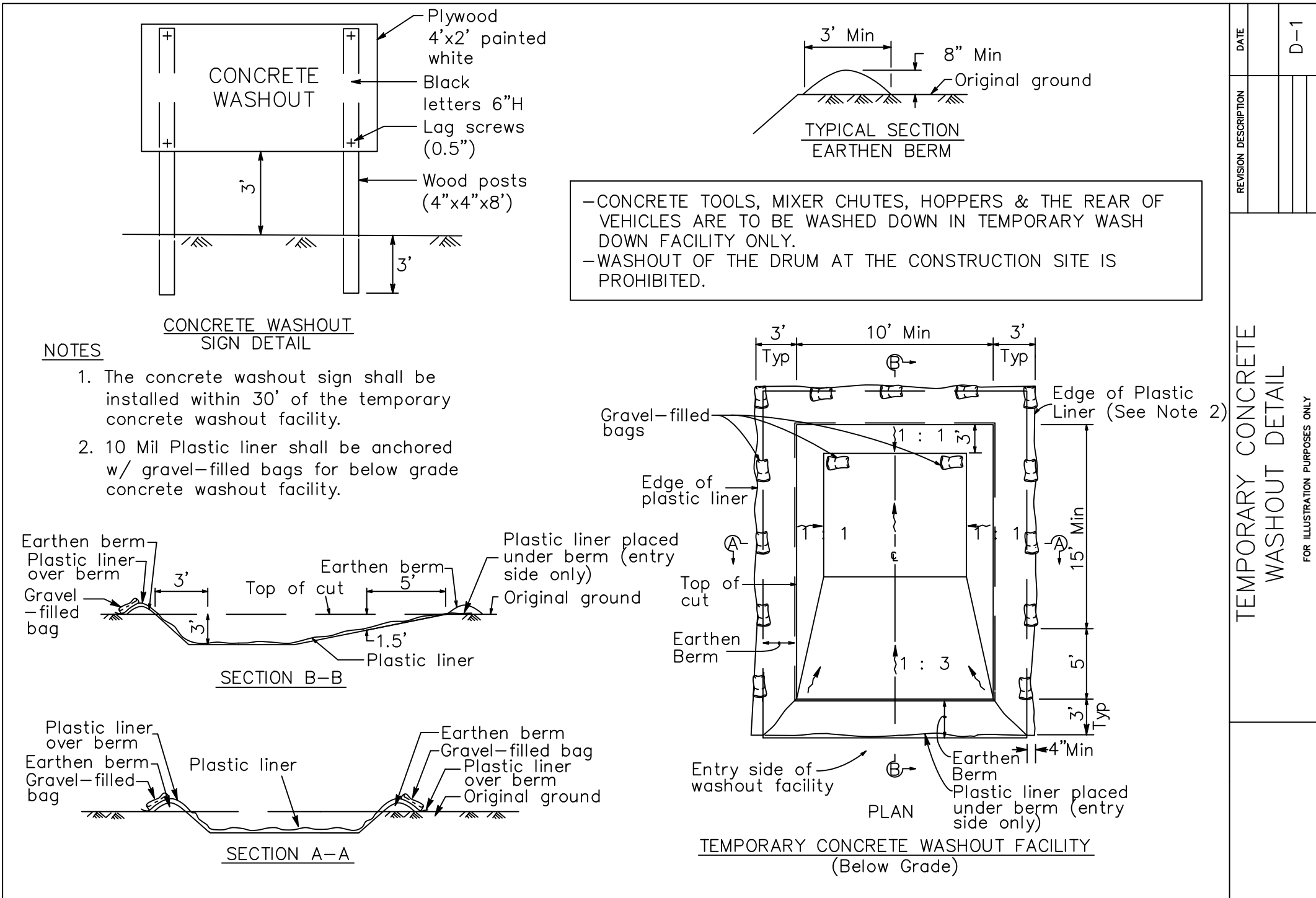
Co TEMP. CONSTRUCTION EXIT

A PROTECTIVE COVERING (BLANKETS) OR SOIL STABILIZATION MAT USE TO ESTABLISH PERMANENT VEGETATION ON STEEP SLOPES, CHANNELS, OR SHORELINES.



Ss -SLOPE STABILIZATION

SPECIES	RATES / SPACING		PLANTING DATES			YEARS TO APPLY FERTILIZER	FERTILIZER RATES - POUNDS PER ACRE			
	1000 S.F.	ACRES	MTS. - L'STONE	PIEDMONT	COASTAL		N	P	K	N TOP-DRESSING
MIDLAND OR COMMON BERMUDAGRASS	1 CU. FT.	25-40 CU. FT.	3/15 - 8/1	---	---	FIRST	60 - 90	120 - 180	120 - 180	50 - 100
SPRIG OR SOD PLUGS	3' X 3'	3' X 3'	3/15 - 8/1	---	---	SECOND	48	96	96	50 - 100
HULLED COMMON BERMUDAGRASS	0.25 LB.	8-10 LB.	4/10 - 6/15	4/1 - 6/15	2/15 - 6/15	FIRST	60 - 90	120 - 180	120 - 180	50 - 100
						SECOND	48	96	96	50 - 100
TALL FESCUEGRASS AND CLEAN COMBINE RUN VIRGATA OR SERICEA LESPEDEZA	1 LB.	30-40 LB.	8/1 - 10/15	9/1 - 11/1	9/15 - 11/15	FIRST	60 - 90	120 - 180	120 - 180	0-50 IN SPRING
	1.5 LB.	60-75 LB.				SECOND	0	70 - 100	70 - 100	---



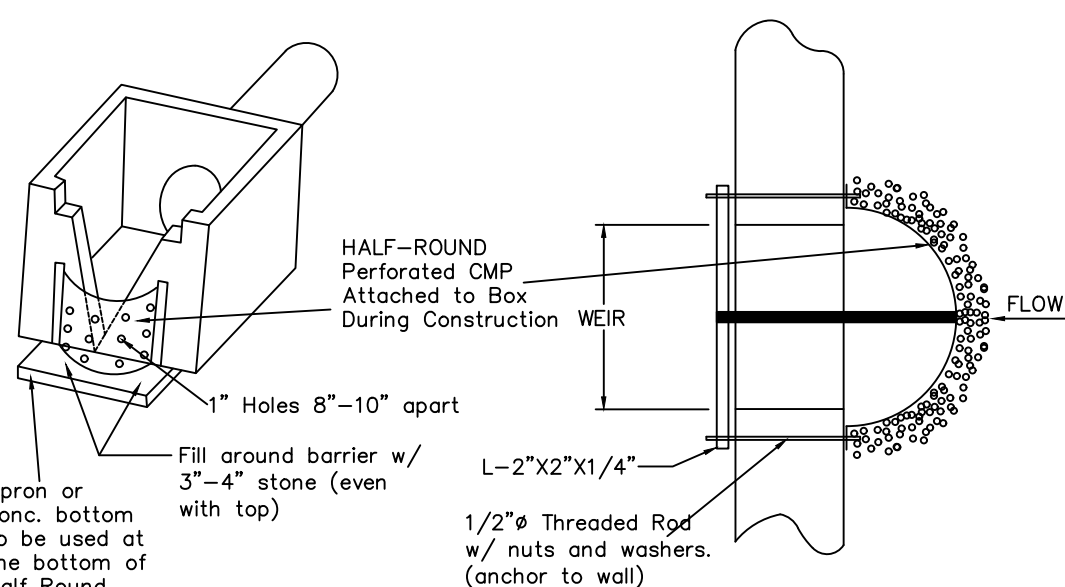
Rt- MAINTENANCE

Retrofit structures shall be kept clear of trash and debris. This will require continuous monitoring and maintenance, which includes sediment removal when one third of the sediment storage capacity has been lost. Structures are temporary and shall be removed when disturbed areas have been permanently stabilized.

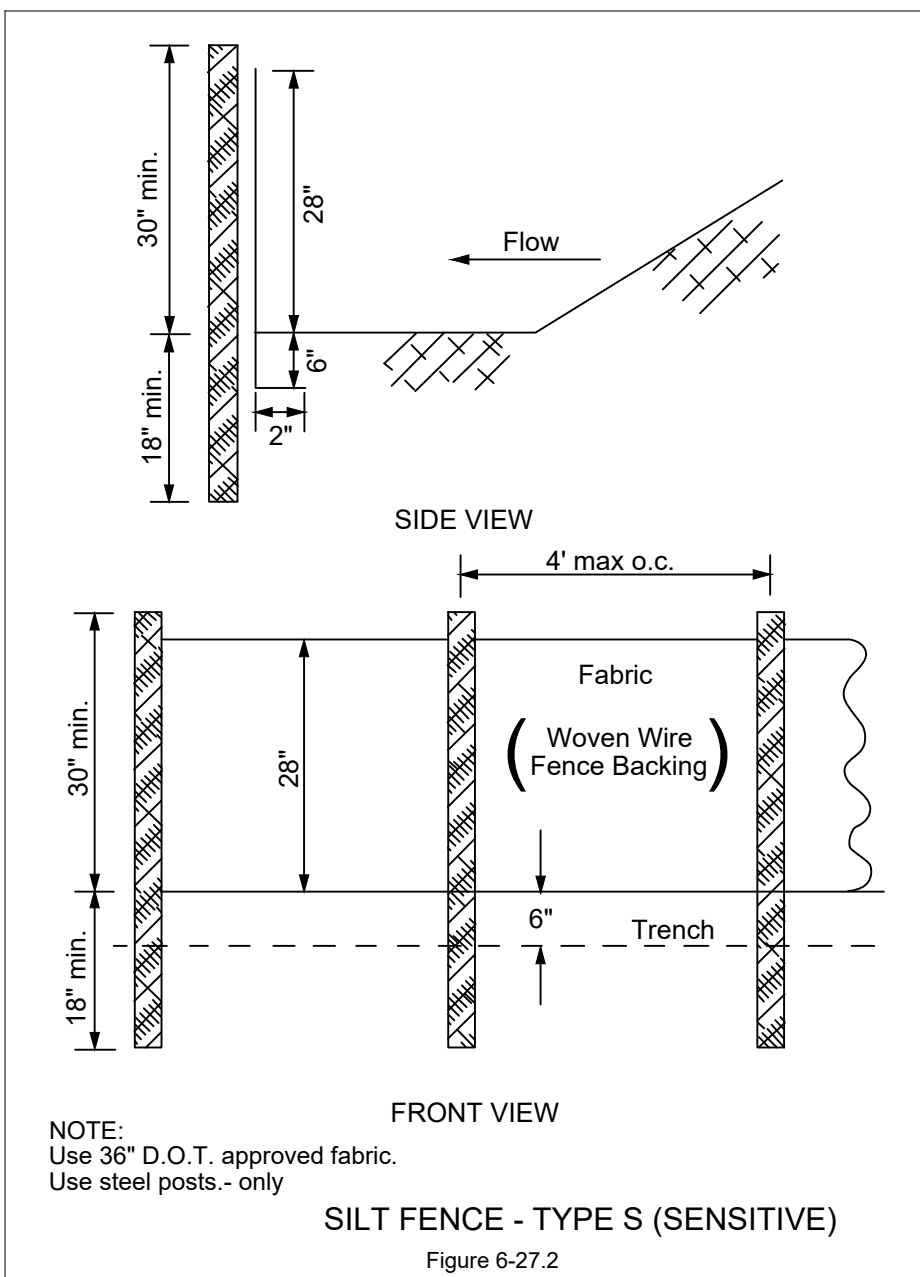
RETROFIT CALCULATIONS

TO BE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN
Rt- Storage Calculations

- Required stormwater storage = 169 cy (as determined by local ordinance)
 - Required sediment storage = 55 cy (67 cy/ac * 0.82 ac disturbed area)
 - Total required storage = (1) + (2) = cy
 - Available storage = 224 cy
 - Is the available storage (4) greater than the total required storage (3)?
X yes no
 - If "no", the sediment storage capacity of the pond must be increased. Choose the method to be used:
N/A Raise the invert of the outlet structure inches
Undercut the pond feet
Other _____
 - Clean-out elevation = 954.00 ft (Elevation corresponding to 22 cy/ac * 0.82 ac disturbed area)
 - Is the length-width ratio 2:1 or greater?
X yes no
 - If "no", the length of flow must be increased. Choose the method to be used:
Baffles (Type of baffle: _____)
Other _____
- Note the CMP diameter and height if a half-round CMP retrofit is to be used.
Diameter = 36 inches Height = 3 feet

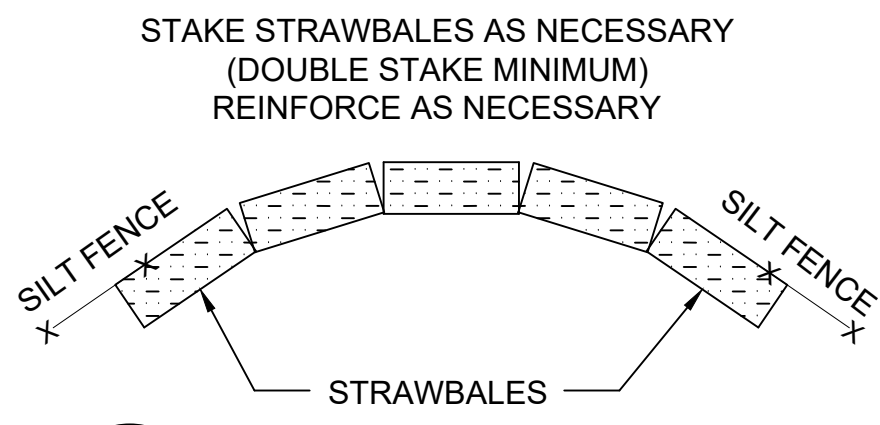


Rt-P RETROFIT



TEMPORARY SEDIMENT BARRIER

Sd1-S



Sd1 SEDIMENT BARRIER WITH STRAWBALES

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST

STANDARD ALONE CONSTRUCTION PROJECTS

SWCD: MOUNTAIN DISTRICT - ATLANTA SATELLITE
Project Name: DeBEER GRANITE Address: 145 MALLORY COURT
City/Country: CITY OF TYRONE Date on Plans: 8/22/2022
Name & email of person filling out checklist: George Harper george@paramountengineering.com

TO BE SHOWN ON ES&PC PLAN

- 1 The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted.
(The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed)
- 2 Level II certification number issued by the Commission, signature and seal of the certified design professional. (Signature, seal and level II number must be on each sheet pertaining to ES&PC plan or the Plan will not be reviewed)

- 3 Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the GAEPD District Office. If GAEPD approves the request to disturb 50 acres or more at any one time, the Plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist and the GAEPD approval letter. *
(A copy of the written approval by GAEPD must be attached to the plan for the Plan to be reviewed.)

- 4 The name and phone number of the 24-hour contact responsible for erosion, sedimentation and pollution controls.

- 5 Provide the name, address, email address, and phone number of primary permittee.

- 6 Note total and disturbed acreages of the project or phase under construction.

- 7 Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.

- 8 Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.

- 9 Description of the nature of construction activity and existing site conditions.

- 10 Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.

- 11 Identify the project receiving water and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected.

- 12 Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on **Part IV page 19** of the permit.

- 13 Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on **Part IV page 19** of the permit. *

- 14 Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation." in accordance with **Part IV A.5 page 25** of the permit. *

- 15 Clearly note the statement that "Non-survey activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wooded vegetation or within 25 feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits." *

- 16 Provide a description of any buffer encroachments and indicate whether a buffer variance is required.

- 17 Clearly note the statement that "Any encroachments to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional." *

- 18 Clearly note the statement that "Hazardous materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit." *

- 19 Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."

- 20 Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."

- 21 Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."

- 22 Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of a Block Impaired Stream Segment must comply with Part III, C. of the permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment. *

- 23 If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in Item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan. *

- 24 BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited. *

- 25 Provide BMPs for the remediation of all petroleum spills and leaks.

- 26 Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed. *

- 27 Description of practices to provide cover for building materials and building products on site. *

- 28 Description of the practices that will be used to reduce the pollutants in storm water discharges. *

- 29 Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization).

- 30 Provide complete requirements of Inspections and record keeping by the primary permittee. *

- 31 Provide complete requirements of Sampling Frequency and Reporting of sampling results. *

- 32 Provide complete details for Retention of Records as per Part IV F. of the permit. *

- 33 Description of analytical methods to be used to collect and analyze the samples from each location. *

- 34 Appendix B rationale for NTU values at all outlet sampling points where applicable. *

- 35 Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged.

- 36 A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the Plan may combine all of the BMPs into a single phase. *

- 37 Graphic scale and North arrow.

- 38 Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following:

Map Scale	Ground Slope	Contour Intervals, ft
1 inch = 100ft or larger scale	Flat 0 - 2% Rolling 2 - 8% Sloped 8% +	0.5 or 1 1 or 2 2.5 or 10

- 39 Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by GAEPD or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at www.gaswcc.org/georgia.gov.

- 40 Use of alternative BMP for application to the Equivalent BMP List. Please refer to Appendix A-2 of the Manual for Erosion & Sediment Control in Georgia 2016 Edition. *

- 41 Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact.

- 42 Delineation of on-site wetlands and all state waters located on and within 200 feet of the project site.

- 43 Delineation and acreage of contributing drainage basins on the project site.

- 44 Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions. *

- 45 An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed.

- 46 Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/Delineate all storm water discharge points.

- 47 Soil series for the project site and their delineation.

- 48 The limits of disturbance for each phase of construction.

- 49 Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated inlet sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities and final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the Plan for each common drainage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the Manual included for structural BMPs and all calculations used by the storage design professional to obtain the required sediment when using equivalent controls. When discharging from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the Plan.

- 50 Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion & Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend.

- 51 Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.

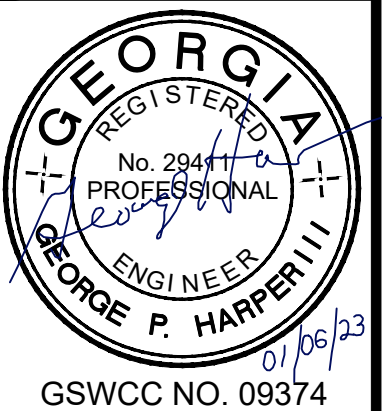
- 52 Provide vegetation plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seedling, fertilizer, time and mowing rates. Vegetative plan shall be site specific for appropriate time of the year that seeding will take place and for the appropriate geographic region of Georgia.

- * Using this checklist for a project that is less than 1 acre and not part of a common development but within 200 feet of a perennial stream, the "*" checklist item would be N/A.

Effective January 1, 2022

Section VI, Item 5.

Paramount
ENGINEERING, LLC
11 E. BROAD ST.
NEWNAN, GA. 30266
PH: (770)-473-9576
george@paramountengineering.com



GSWCC NO. 09374

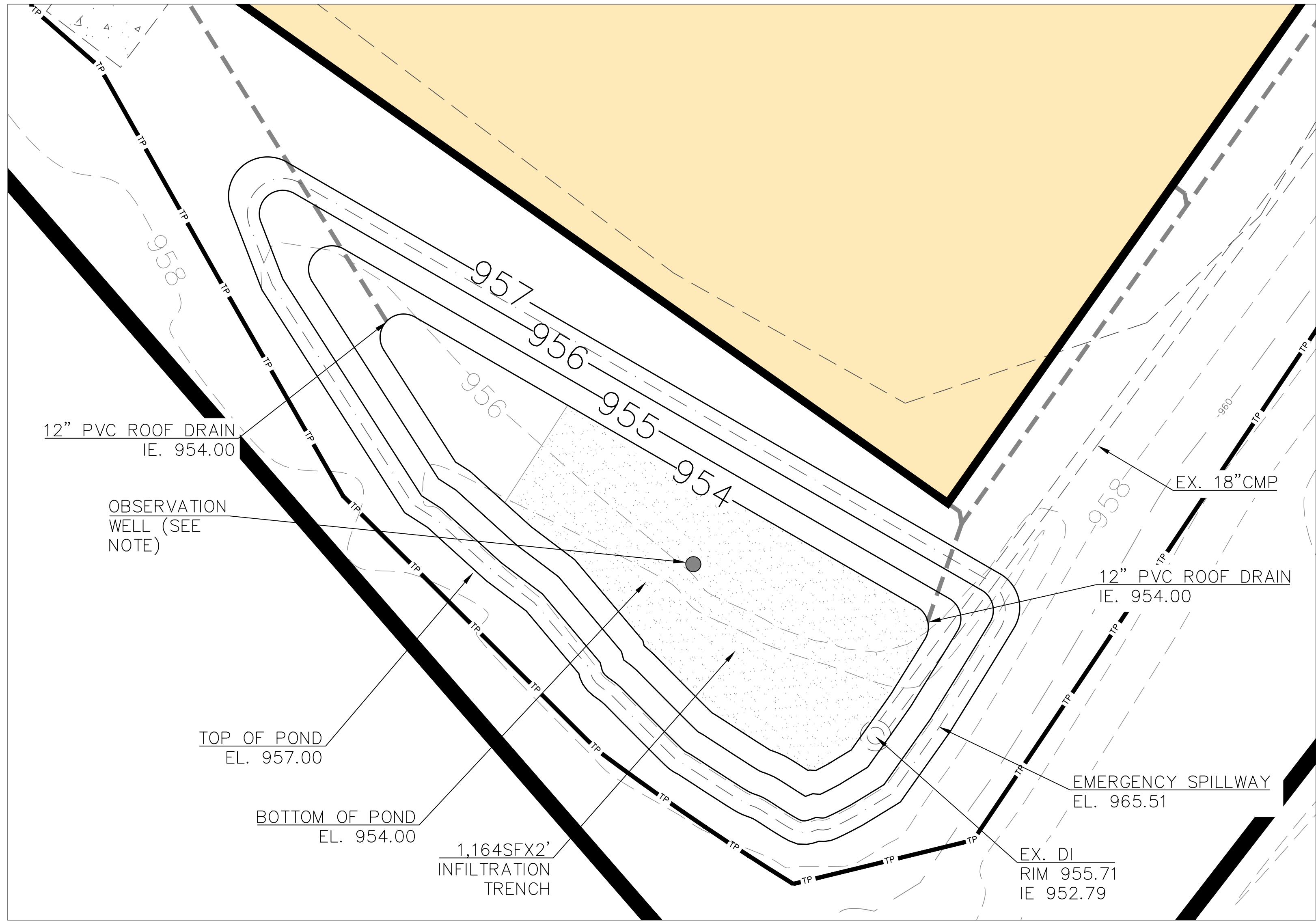
REV.	DATE:	DESCRIPTION:
1	01-06-23	ADDRESSED CITY COMMENTS

PROJECT:	DeBEER GRANITE	TOWN OF TYRONE
SHEET:	EROSION CONTROL DETAILS	7TH DISTRICT
LL 153		
DRAWN BY:	GPH	SCALE:
DATE:	08/22/22	NTS

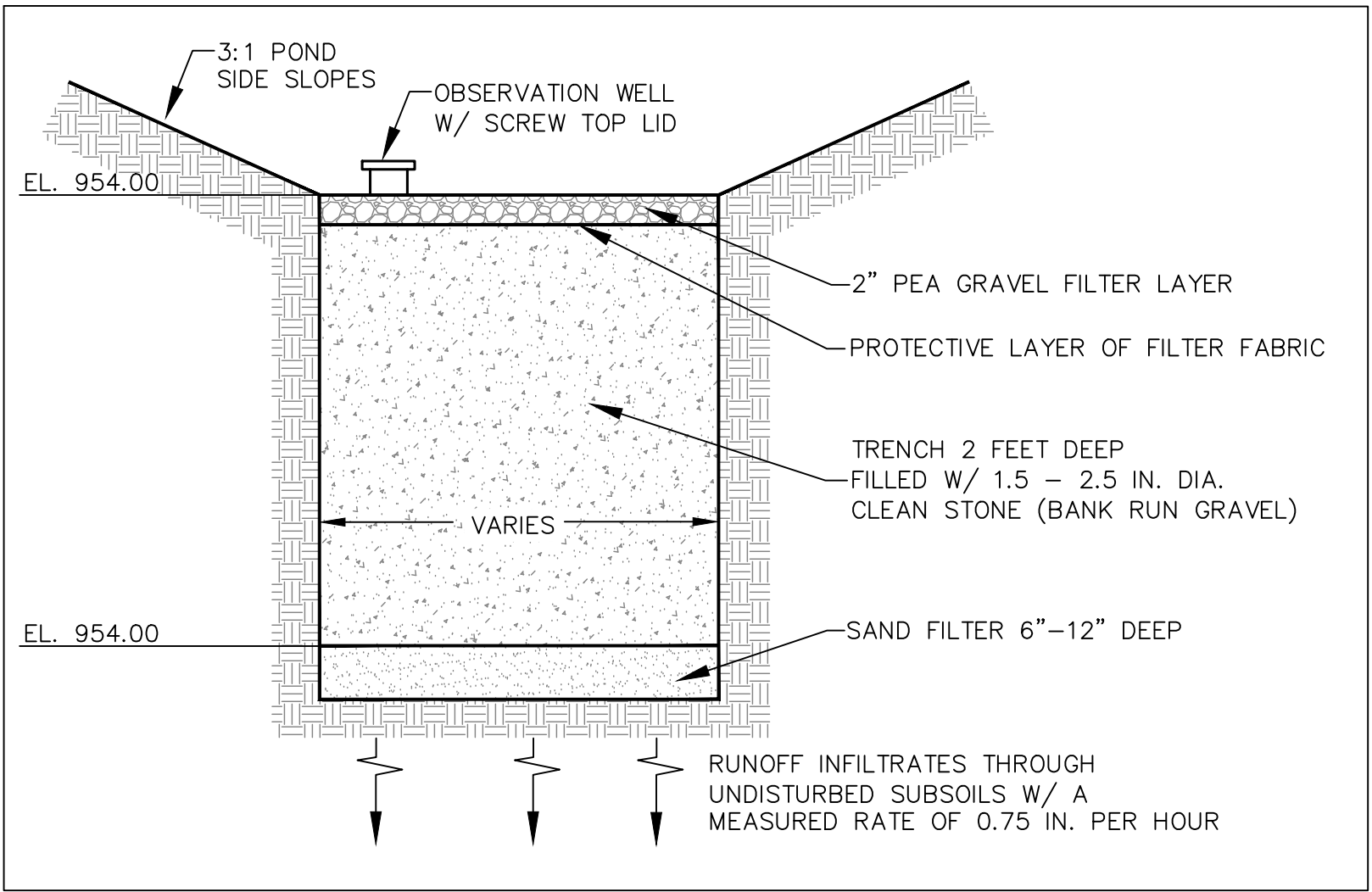
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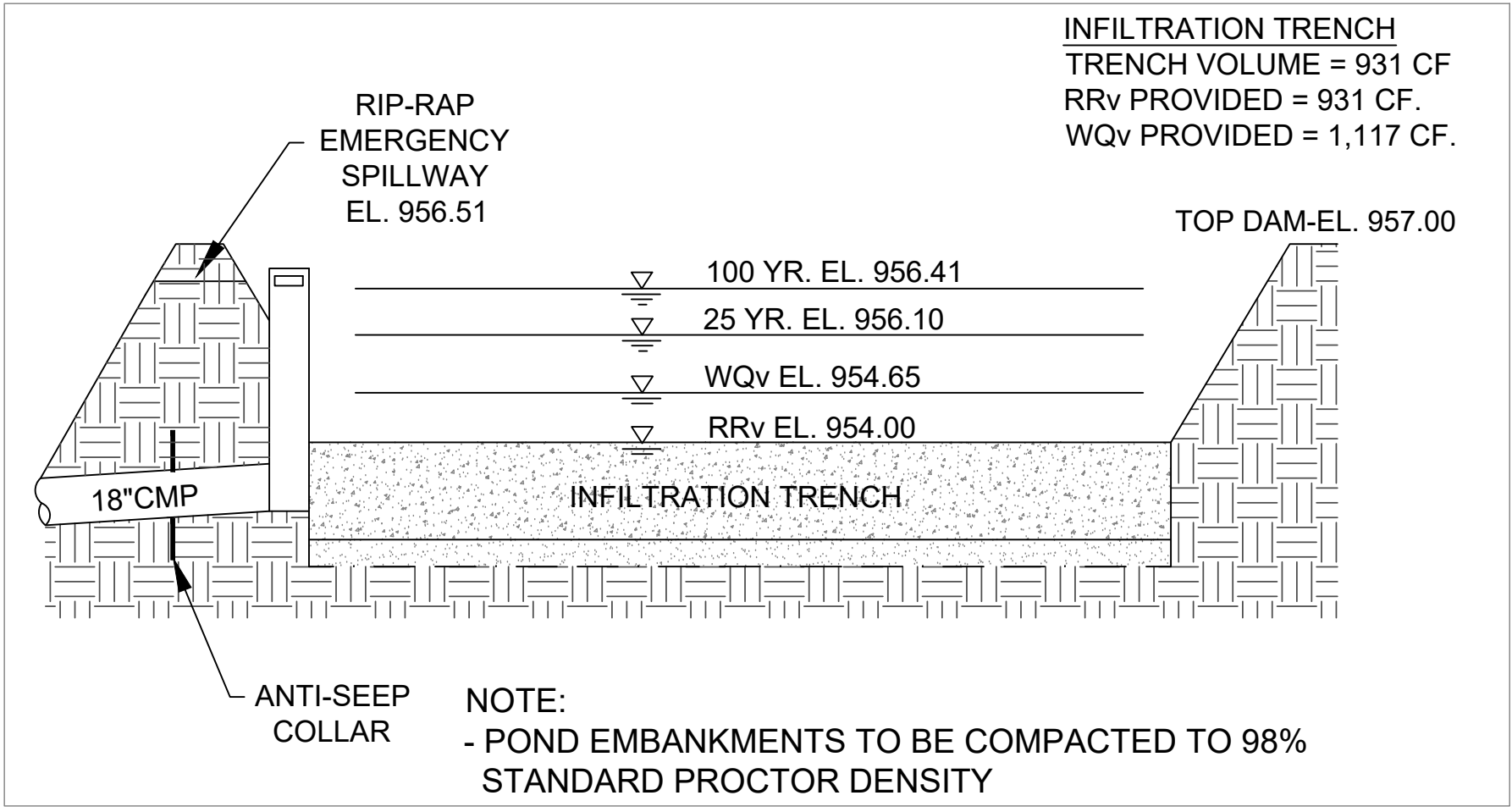
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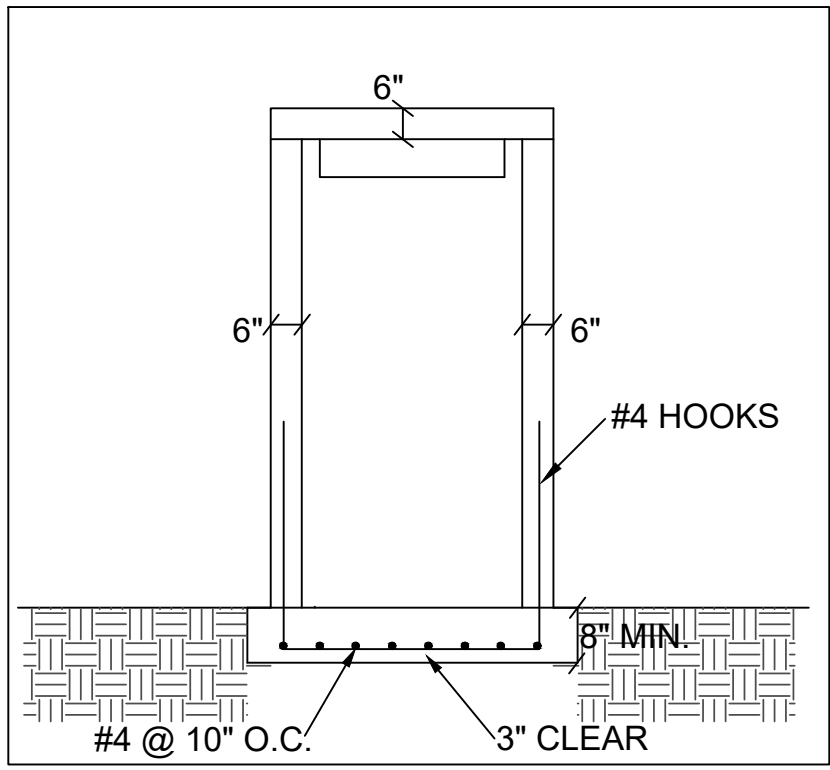
**DRY DETENTION POND W/
INFILTRATION TRENCH DETAIL**



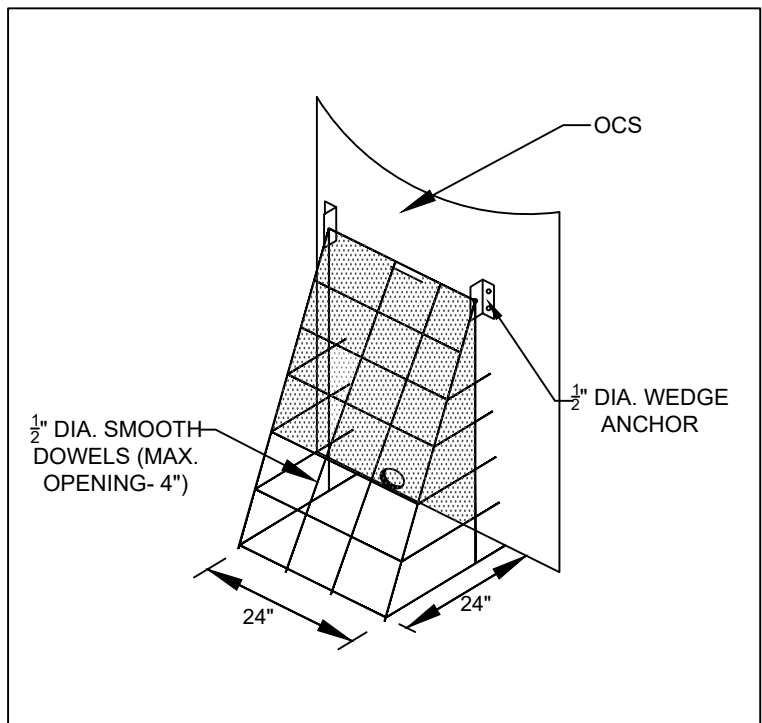
**INFILTRATION TRENCH CROSS SECTION
N.T.S.**



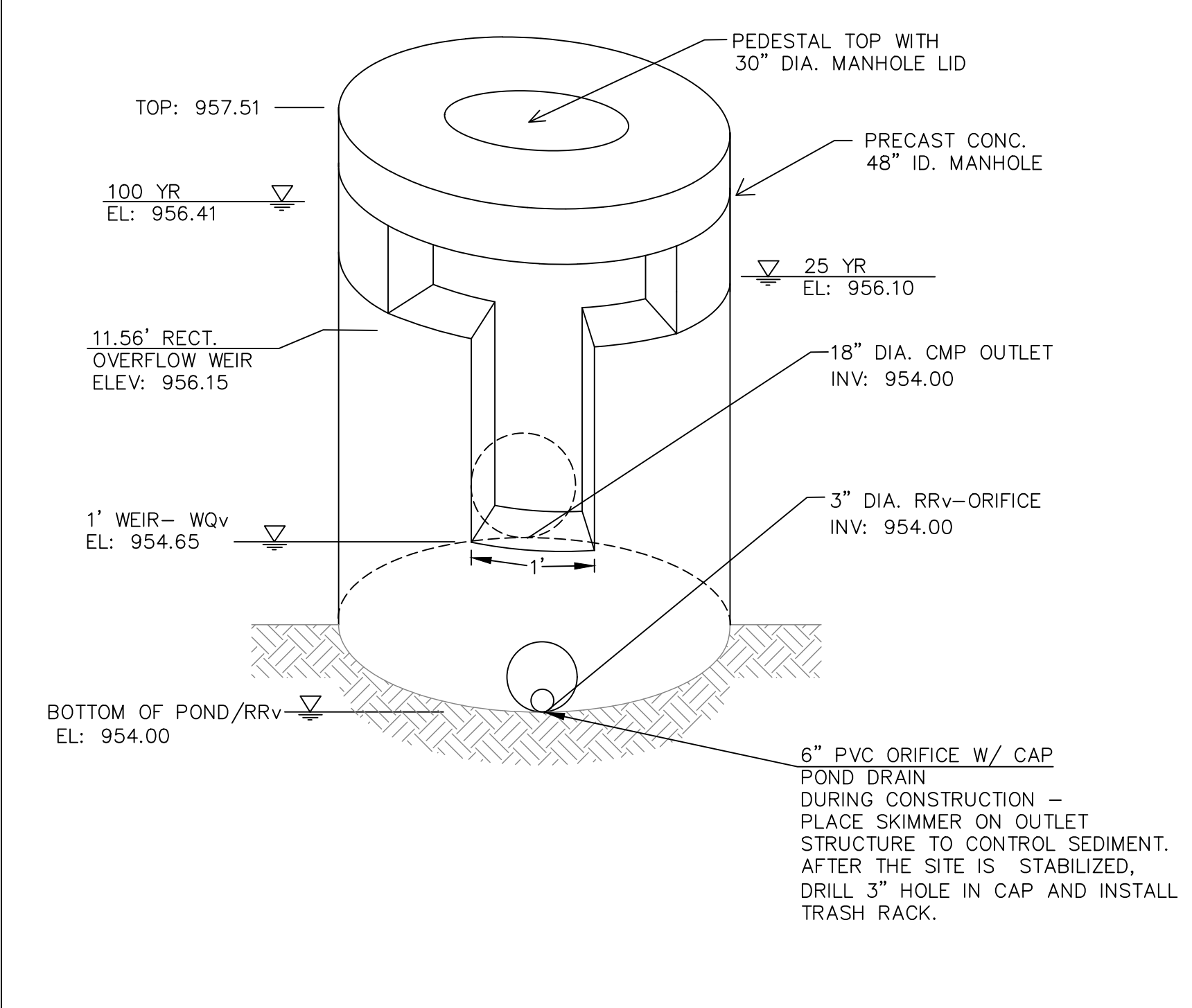
**POND SECTION
NO SCALE**



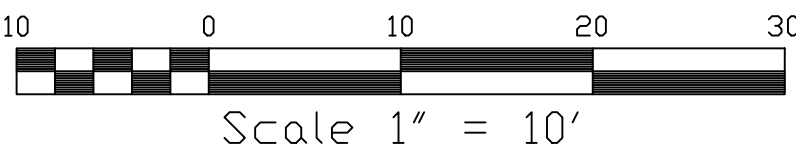
**TYPICAL OCS DETAIL
(N.T.S.)**



**PREFABRICATED TRASH RACK DETAIL
(N.T.S.)**



**DET. POND OUTLET STRUCTURE
N.T.S.**

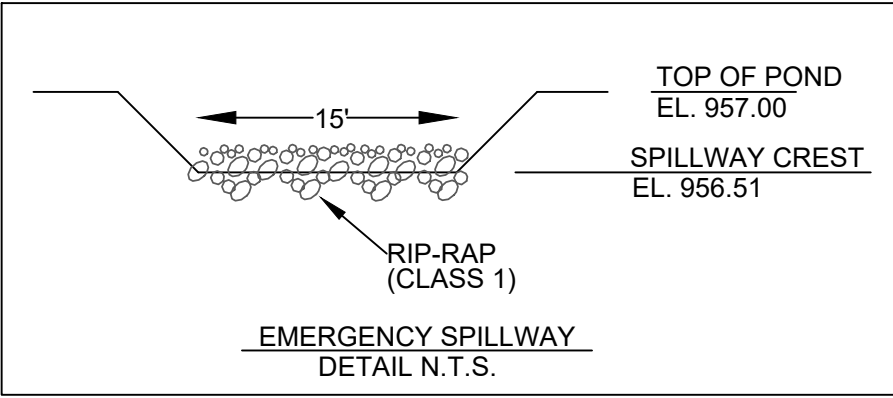


INFILTRATION TRENCH NOTE:
ALL DISTURBED AREAS THAT ARE CONTRIBUTING RUNOFF TO THE POND SHALL BE PERMANENTLY STABILIZED PRIOR TO INFILTRATION TRENCH INSTALLATION.

Typical Maintenance Activities for Stormwater Ponds	
Activity	Schedule
<ul style="list-style-type: none">Clean and remove debris from inlet and outlet structures.Mow side slopes and pond bottom.	Monthly
<ul style="list-style-type: none">Inspect for damage, paying particular attention to the control structure.Remove trash and debris accumulated in the inflow forebay.Check for signs of eutrophic conditions.Note signs of hydrocarbon build-up, and remove appropriately.Monitor for sediment accumulation in the facility and forebay.Examine to ensure that outlet device is free of debris and operational.Check all control gates, valves or other mechanical devices.	Annual Inspection
<ul style="list-style-type: none">Repair undercut or eroded areas.	As Needed
<ul style="list-style-type: none">Monitor sediment accumulations, and remove sediment when the pool volume has become reduced significantly, or the pond becomes eutrophic.	10 to 20 years or after 25% of the permanent pool volume has been lost

Typical Maintenance Activities for Infiltration Trench	
Maintenance Activity	Schedule
<ul style="list-style-type: none">Inspect to ensure that contributing drainage area and infiltration practice are clear of sediment, trash and debris. Remove any accumulated sediment and debris.Ensure that the contributing drainage area is stabilized. Plant replacement vegetation as needed.Check observation well to ensure that infiltration practice is properly dewatering after storm events.	Monthly
<ul style="list-style-type: none">Inspect pretreatment devices for sediment accumulation. Remove accumulated sediment, trash and debris.Inspect top layer of filter fabric and pea gravel or landscaping for sediment accumulation. Remove and replace if clogged.Inspect the practice for damage, paying particular attention to inlets, outlets and overflow spillways. Repair or replace any damaged components as needed.Inspect the practice following rainfall events (specifically large rainfall events). Check observation well to ensure that complete drawdown has occurred within 72 hours after the end of a rainfall event. Failure to drawdown within this timeframe may indicate infiltration practice failure.	(Semi-annually the first year & Annually thereafter)
<ul style="list-style-type: none">Remove aggregate and install clean, washed trench aggregateIt may be necessary to replace piping, filter fabric, etc.	Upon Failure
REFERENCE: Georgia Stormwater Management Manual 2016 Edition / Volume 2: Technical Handbook	P. 51 P. 52 P. 53-54
APPENDIX E: Best Management Practice Operations & Maintenance Infiltration Practice Typical Routine Maintenance Activities & Schedule Infiltration Trench Inspection Checklist	

NOTES:
- DURING CONSTRUCTION - LEAVE 6" ORIFICE OPEN AND USE A RETROFIT DEVICE IN FRONT OF THE OUTLET STRUCTURE TO CONTROL SEDIMENT. AFTER THE SITE IS STABILIZED, REMOVE SKIMMER.
- CONTRACTOR TO INSTALL A SEDIMENT CLEANOUT MARKER.
- OCS TRASH RACK TO BE INSTALLED AFTER THE SITE HAS BEEN STABILIZED AND THE SKIMMER HAS BEEN REMOVED.
- OBSERVATION WELL: SHALL CONSIST OF A 6" PERFORATED PVC (AASHTO M 252) THAT EXTENDS TO THE BOTTOM OF THE TRENCH. IT IS TO BE INSTALLED FLUSH WITH THE ELEVATION OF THE SURFACE OF THE INFILTRATION PRACTICE. A VISIBLE FLOATING MARKER SHOULD BE PROVIDED WITHIN THE WELL AND THE TOP OF THE WELL SHOULD BE CAPPED AND LOCKED.



OWNER/DEVELOPER:

24 HOUR CONTACT
PRIMARY PERMITTEE
DeBEER GRANITE
SHARON GRIFFIES
145 Mallory Ct.
Tyrone, GA. 30290
PH: 770-486-5687
E: sharon@debeergranite.com



CAUTION
THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

PROJECT: DeBEER GRANITE

SHEET: DET. POND/ INFIL. TRENCH PLAN & DETAILS

LL 153 7TH DISTRICT TOWN OF TYRONE

DATE: 08/22/22 DRAWN BY: GPH SCALE: 1" = 10'

SHEET

C9

REV. DATE: DESCRIPTION: 1 01-06-23 ADDRESSED CITY COMMENTS

DRAWING NO: 220513 - DEBEER GRANITE



Paramount
ENGINEERING, LLC

11 E. BROAD ST.
NEWNAN, GA. 30263
PH: (770)-473-9576
george@paramountengineering.com

Primary Permittee	Operator	Qualified Personnel
OWNER/DEVELOPER: DEBEER GRANITE SHARON GRIFFIES 145 MALLORY CT. TYRONE, GA. 30290 PH: 770-486-5687 E: SHARON@DEBEERGRANITE.COM	CONTRACTOR: 24 Hour Contact: SHARON GRIFFIES PH: 770-486-5687	CIVIL ENGINEER (NPDES): PARAMOUNT ENGINEERING, LLC. 11 E. BROAD ST. NEWNAN, GEORGIA 30263 (770)-473-9576
Description of Existing Land Use: Site Purpose and Construction Activity: INDUSTRIAL MANUFACTURING FACILITY Site Description and Location: LOCATION: LANDLOT 153, 7th DISTRICT, CITY OF TYRONE, FAYETTE COUNTY, GEORGIA SITE AREA: 3.93 ACRES TOTAL AREA OF DISTURBANCE: 0.82 ACRES SOIL TYPES: CeB (CECIL SANDY LOAM, 2 TO 6 PERCENT SLOPES) CcC (CECIL SANDY LOAM, 6 TO 10 PERCENT SLOPES) CcC2 (CECIL SANDY CLAY LOAM, 6 TO 10 PERCENT SLOPES, ERODED) Wetlands: THERE ARE NO WETLANDS ON OR WITHIN 200' OF THE SITE. Receiving Waters UNNAMED TRIBUTARY TO LINE CREEK. State Waters THERE ARE NO BUFFERED STATE WATERS ON OR WITHIN 200' OF THE SITE. Drainage Description Please refer to the grading plan, prepared by PARAMOUNT ENG. for more specific information concerning proposed drainage patterns & slopes, & stormwater discharge locations. Slopes After Grading Maximum Slope is 2:1 Erosion Control Measures Structural & nonstructural controls will be used onsite to prevent erosion during construction including temporary & permanent grassing, storm drain outlet protection, silt fencing, & a retrofit on the existing detention pond OCS. NTU Value An NTU value of 50 was selected from Appendix B based on the site size and the surface water drainage area.		

1. Site Description

The proposed site will be used for an shed roof over an outdoor storage area.

Approximately 0.82 acres of disturbed land will be utilized for this development. Silt fencing as well as a retrofit on the existing pond OCS will be the main component of erosion control measures. However numerous structural and nonstructural controls will be implemented throughout the site. Temporary vegetation as well as permanent vegetation will be strongly utilized and are essential for the development of this complex.

2. Controls

The following controls will be implemented at the construction site:

- Initial perimeter controls will include silt fencing, a retrofit on the existing pond OCS & a crushed stone pad to be used at the construction exit.
- Intermediate grading & drainage BMP's will include inlet & outlet protection, silt fencing, a retrofit on the OCS & temporary grassing.
- Final BMP's will include permanent grassing, & landscaping.
- Post Construction: A stormwater detention pond/ infiltration trench will be installed to control pollutants in storm water after construction operations have been completed. This facility will control runoff's to at or below pre developed rates. Also, the use of a rip-rap apron at the pond outfall will reduce velocities to non-erosive rates.

Stabilization measures will be initiated as soon as practical in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site that has temporarily or permanently ceased. Where the initiation of stabilization measures by the 14th day after construction activity temporarily or permanently ceases is precluded by snow cover or other adverse weather conditions, stabilization measures shall be initiated as soon as practical. Where construction activity will resume on a portion of the site within 21 days from when activities ceased, (i.e., the total time period that construction activity is temporarily ceased is less than 21 days) then stabilization measures do not have to be initiated on that portion of the site by the 14h day after construction activity temporarily ceased.

Other Controls

- Waste disposal. Solid materials, including building materials, will not be discharged to waters of the state, except as authorized by a Section 404 permit.
- Off-site vehicle tracking of dirt, solids, and sediments and the generation of dust will be minimized or eliminated to the maximum extent practical. A construction exit consisting of a crushed stone pad to minimize off-site vehicle tracking of dirt.

- The permittee may use any approved facility for waste disposal that he chooses.

- Petroleum Spills and Leaks

SPILL CLEANUP AND CONTROL PRACTICES

- Local, state and manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to site personnel.
- Materials and equipment necessary for spill cleanup shall be kept in material storage area onsite. (typical materials and equipment includes, but is not limited to, brooms, dustpans, mops, rags, gloves, goggles, cat litter, sand, sawdust and properly labeled plastic and metal waste containers).
- Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills.
- All spills shall be cleaned up immediately after discovery. spills of toxic or hazardous material shall be reported to the appropriate federal, state, or local government agency, regardless of the size.
- The spill prevention plan shall be adjusted to include measures to prevent spills from reoccurring and how to clean up the spill if there is another one. A description of the spill, what caused it, and the clean up measures shall also be included. The site superintendent responsible for the day-to-day operations shall be the spill prevention and cleanup coordinator.
- For spills that impact surface water (leave a sheen on surface water), the National Response Center (NRC) will be contacted within 24 hours at1-800-424-8802.
- For spills of an unknown amount, the National Response Center (NRC) will be contacted with 24 hours at 1-800-424-8802.
- For spills greater than 25 gallons and no surface water impacts, the Georgia EPD will be contacted within 24 hours.
- For spills less than 25 gallons and no surface water impacts, the spill will be cleaned up and local agencies will be contacted as required.

4. Inspections

a. Permittee requirements.

- Each day when any type of construction activity has taken place at a primary permittee's site, certified personnel provided by the primary permittee shall inspect: (a) all areas at the primary permittee's site where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; (b) all locations at the primary permittee's site where vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted.
- Measure and record rainfall within disturbed areas of the site that have not met final stabilization once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday. The data collected for the purpose of compliance with this permit shall be representative of the monitored activity. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.
- Certified personnel (provided by the primary permittee) shall inspect the following at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the primary permittee's construction site; (b) areas used by the primary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the primary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.a.(4). These inspections must be conducted until a Notice of Termination is submitted.
- Certified personnel (provided by the primary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is received by EPD) the areas of the site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s).
- Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following each inspection.
- A report of each inspection that includes the name(s) of personnel making each inspection, the date(s) of each inspection, major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.a.(4). A copy of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site or that portion of a construction project that has been phased has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall identify any incidents of non-compliance. Where the report does not identify any incidents of non-compliance, the report shall contain a certification that the construction site is in compliance with the Erosion, Sedimentation and Pollution Control Plan and this permit. The report shall be signed in accordance with Part V.G.2. of this permit.

5. Maintenance

- Inspections of erosion control measures will be performed and corrective action taken when needed as required by the plan.
- The permittee shall maintain all erosion control measures until permanent vegetation has been established.
- The permittee shall clean out all sediment ponds when required by the engineer.
- Accumulated silt shall be removed when the silt is two-thirds full. See sediment pond design for clean-out elevations of ponds.

6. Sampling Requirements

This permit requires the monitoring of nephelometric turbidity in receiving water(s) or outfalls in accordance with this permit. This paragraph shall not apply to any land disturbance associated with the construction of single-family homes which are not part of a subdivision or planned common development unless five (5) acres or more will be disturbed. The following procedures constitute EPD's guidelines for sampling turbidity.

a. Sampling Requirements shall include the following:

- A USGS topographic map, a topographic map or a drawing (referred to as a topographic map) that is a scale equal to or more detailed than a 1:24000 map showing the location of the site or the stand alone construction; (a) the location of all perennial and intermittent streams and other water bodies as shown on a USGS topographic map, and all other perennial and intermittent streams and other water bodies located during mandatory field verification, into which the storm water is discharged and (b) the receiving water and/or outfall sampling locations. When the permittee has chosen to use a USGS topographic map and the receiving water(s) is not shown on the USGS topographic map, the location of the receiving water(s) must be hand-drawn on the USGS topographic map from where the storm water(s) enters the receiving water(s) to the point where the receiving water(s) combines with the first blue line stream shown on the USGS topographic map;
- A written narrative of site specific analytical methods used to collect, handle and analyze the samples including quality control/quality assurance procedures. This narrative must include precise sampling methodology for each sampling location;
- When the permittee has determined that some or all outfalls will be sampled, a rationale must be included on the Plan for the NTU limit(s) selected from Appendix B. This rationale must include the size of the construction site, the calculation of the size of the surface water drainage area, and the type of receiving water(s) (i.e., trout stream or supporting warm water fisheries); and
- Any additional information EPD determines necessary to be part of the Plan. EPD will provide written notice to the permittee of the information necessary and the time line for submittal.

b. Sample Type. All sampling shall be collected by "grab samples" and the analysis of these samples must be conducted in accordance with methodology and test procedures established by 40 CFR Part 136 (unless other test procedures have been approved); the guidance document titled "NPDES Storm Water Sampling Guidance Document, EPA 833-B-92-001" and guidance documents that may be prepared by the EPD.

- Sample containers should be labeled prior to collecting the samples.
- Samples should be well mixed before transferring to a secondary container.
- Large mouth, well cleaned and rinsed glass or plastic jars should be used for collecting samples. The jars should be cleaned thoroughly to avoid contamination.
- Manual, automatic or rising stage sampling may be utilized. Samples required by this permit should be analyzed immediately, but in no case later than 48 hours after collection. However, samples from automatic samplers must be collected no later than the next business day after their accumulation, unless flow through automated analysis is utilized. If automatic sampling is utilized and the automatic sampler is not activated during the qualifying event, the permittee must utilize manual sampling or rising stage sampling during the next qualifying event. Dilution of samples is not required. Samples may be analyzed directly with a properly calibrated turbidimeter. Samples are not required to be cooled.
- Sampling and analysis of the receiving water(s) or outfalls beyond the minimum frequency stated in this permit must be reported to EPD as specified in Part IV.E.

c. Sampling Points.

(1). For construction activities the primary permittee must sample all receiving water(s), or all outfall(s), or a combination of receiving water(s) and outfall(s). Samples taken for the purpose of compliance with this permit shall be representative of the monitored activity and representative of the water quality of the receiving water(s) and/or the storm water outfalls using the following minimum guidelines:

- The upstream sample for each receiving water(s) must be taken immediately upstream of the confluence of the first storm water discharge from the permitted activity (i.e., the discharge farthest upstream at the site) but downstream of any other storm water discharges not associated with the permitted activity. Where appropriate, several upstream samples from across the receiving water(s) may need to be taken and the arithmetic average of the turbidity of these samples used for the upstream turbidity value.
- The downstream sample for each receiving water(s) must be taken downstream of the confluence of the last storm water discharge from the permitted activity (i.e., the discharge farthest downstream at the site) but upstream of any other storm water discharge not associated with the permitted activity. Where appropriate, several downstream samples from across the receiving water(s) may need to be taken and the arithmetic average of the turbidity of these samples used for the downstream turbidity value.
- Ideally the samples should be taken from the horizontal and vertical center of the receiving water(s) or the storm water outfall channel(s).
- Care should be taken to avoid stirring the bottom sediments in the receiving water(s) or in the outfall storm water channel.
- The sampling container should be held so that the opening faces upstream.
- The samples should be kept free from floating debris.
- Permittee's do not have to sample sheet-flow that flows onto undisturbed natural areas or areas stabilized by the project. For purposes of this section, stabilized shall mean, for unpaved areas and areas not covered by permanent structures and areas located outside the waste disposal limits of a landfill cell that has been certified by EPO for waste disposal, 100% of the soil surface is uniformly covered in permanent vegetation with a density of 70% or greater, or landscaped according to the Plan (uniformly covered with landscaping materials in planned landscaped areas), or equivalent permanent stabilization measures as defined in the Manual (excluding a crop of annual vegetation and a seeding of target crop perennials appropriate for the region) .
- All sampling pursuant to this permit must be done in such a way (including generally accepted sampling methods, locations, timing, and frequency) as to accurately reflect whether storm water runoff from the construction site is in compliance with the standard set forth in Parts 111.D.3. or 111.D.4 . . . , whichever is applicable.

d. Sampling Frequency.

- The primary permittee must sample in accordance with the Plan at least once for each rainfall event described below. For a qualifying event, the permittee shall sample at the beginning of any storm water discharge to a monitored receiving water and/or from a monitored outfall location within in forty-five (45) minutes or as soon as possible.
- However, where manual and automatic sampling are impossible (as defined in this permit), or are beyond the permittee's control, the permittee shall take samples as soon as possible, but in no case more than twelve (12) hours after the beginning of the storm water discharge.
- Sampling by the permittee shall occur for the following qualifying events:
 - For each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a storm water discharge that occurs during normal business hours as defined in this permit after all clearing and grubbing operations have been completed, but prior to completion of mass grading operations, in the drainage area of the location selected as the sampling location;
 - In addition to (a) above, for each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a storm water discharge that occurs during normal business hours as defined in this permit either 90 days after the first sampling event or after all mass grading operations have been completed, but prior to submittal of a NOT, in the drainage area of the location selected as the sampling location, whichever comes first;
 - At the time of sampling performed pursuant to (a) and (b) above, if BMP's in any area of the site that discharges to a receiving water or from an outfall are not properly designed, installed and maintained, corrective action shall be defined and implemented within two (2) business days, and turbidity samples shall be taken from discharges from that area of the site for each subsequent rain event that reaches or exceeds 0.5 inch during normal business hours* until the selected turbidity standard is attained, or until post-storm event inspections determine that BMP's are properly designed, installed and maintained;
 - Where sampling pursuant to (a), (b) or (c) above is required but not possible (or not required because there was no discharge), the permittee, in accordance with Part IV.D.4.a.(6), must include a written justification in the inspection report of why sampling was not performed. Providing this justification does not relieve the permittee of any subsequent sampling obligations under (a), (b) or (c) above; and
 - Existing construction activities, i.e., those that are occurring on or before the effective date of this permit, that have met the sampling required by (a) above shall sample in accordance with (b) . Those existing construction activities that have met the sampling required by (b) above shall not be required to conduct additional sampling other than as required by (c) above.*Note that the permittee may choose to meet the requirements of (a) and (b) above by collecting turbidity samples from any rain event that reaches or exceeds 0.5 inch and allows for sampling at any time of the day or week.

7. Non-storm water discharges

Except for flows from fire fighting activities, sources of non-storm water listed in Part 111.A.2. of this permit that are combined with storm water discharges associated with construction activity must be identified in the Plan. The Plan shall identify and ensure the implementation of appropriate pollution prevention measures for the non-storm water component(s) of the discharge.

E. Reporting

- The applicable permittee's are required to submit the sampling results to the EPD at the address shown in Part II.C. by the fifteenth day of the month following the reporting period. Reporting periods are months during which samples are taken in accordance with this permit. Sampling results shall be in a clearly legible format. Upon written notification, EPD may require the applicable permittee to submit the sampling results on a more frequent basis. Sampling and analysis of any storm water discharge(s) or the receiving water(s) beyond the minimum frequency stated in this permit must be reported in a similar manner to the EPD. The sampling reports must be signed in accordance with Part V.G.2. Sampling reports must be submitted to EPD until such time as a NOT is submitted in accordance with Part VI.
- All sampling reports shall include the following information:
 - The rainfall amount, date, exact place and time of sampling or measurements;
 - The name(s) of the certified personnel who performed the sampling and measurements;
 - The date(s) analyses were performed;
 - The time(s) analyses were initiated;
 - The name(s) of the certified personnel who performed the analyses;
 - References and written procedures, when available, for the analytical techniques or methods used;
 - The results of such analyses, including the bench sheets, instrument readouts, computer disks or tapes, etc., used to determine these results;
 - Results which exceed 1000 NTU shall be reported as "exceeds 1000 NTU;" and
 - Certification statement that sampling was conducted as per the Plan.
- All written correspondence required by this permit shall be submitted by return receipt certified mail (or similar service) to the appropriate District Office of the EPD according to the schedule in Appendix A of this permit. The permittee shall retain a copy of the proof of submittal at the construction site or the proof of submittal shall be readily available at a designated location from commencement of construction until such time as a NOT is submitted in accordance with Part VI. If an electronic submittal is provided by EPD then the written correspondence may be submitted electronically; if required, a paper copy must also be submitted by return receipt certified mail or similar service.

Submit sampling reports for this project to:

Address: Mountain District - Atlanta Satellite
Georgia Environmental Protection Division
4244 International Parkway, Suite 114
Atlanta, Georgia 30354-3906
(404) 362-2671

F. Retention of Records

- The primary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:
 - A copy of all Notices of Intent submitted to EPD;
 - A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
 - The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5 of this permit;
 - A copy of all sampling information, results, and reports required by this permit;
 - A copy of all inspection reports generated in accordance with Part IV.D.4.a. of this permit;
 - A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2 of this permit; and
 - Daily rainfall information collected in accordance with Part IV.D.4.a.(2). of this permit.
- Copies of all Notices of Intent, Notices of Termination , inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by the EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI. of this permit. These records must be maintained at the permittee's primary place of business or at a designated alternative location once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.

8. Plan Preparation and Compliance

IV.A(5) For stand alone projects that begin construction activity after the effective date of this permit, the primary permittee must retain the design professional who prepared the Erosion, Sedimentation and Pollution Control Plan, except when the primary permittee has requested in writing and EPD has agreed to an alternate design professional, to inspect the installation of the initial sediment storage requirements and perimeter control BMP's which the design professional designed within seven (7) days after installation. The design professional shall determine if these BMP's have been installed and are being maintained as designed. The design professional shall report the results of the inspection to the primary permittee within seven (7) days and the permittee must correct all deficiencies within two (2) business days of receipt of the inspection report from the design professional unless weather related site conditions are such that additional time is required.

Certification

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION."

George P. Harper, PE. 08/22/22
GEORGE P. HARPER, PE. DATE

Certification

"I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive system of best management practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment Control in Georgia" (Manual) published by the Georgia Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted, provides for the sampling of the receiving water(s) or the sampling of the storm water outfalls and that the designed system of best management practices and sampling methods is expected to meet the requirements contained in the General NPDES Permit No. GAR 100001."

George P. Harper 08/22/22
Georgia Licensed Professional Date

Certification

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that certified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Primary Permittee Date

Product Specific Practices

Petroleum Based Products -Containers for products such as fuels, lubricants, and tars will be inspected daily for leaks and spills. This includes onsite vehicles and machinery daily inspections and regular preventative maintenance of such equipment. Equipment maintenance areas will be located away from State Waters, natural drains, and storm water drainage inlets. In addition, temporary fueling tanks shall have a secondary containment liner to prevent/minimize site contamination. Discharge of oils, fuels, and lubricants is prohibited. Proper disposal methods will include collection in a suitable container and disposal as required by local and State regulations.

Paints/Finishes/Solvents -All products will be stored in tightly sealed original containers when not in use. Excess product will not be discharged to the storm water collection system. Excess product, materials used with these products, and product containers will be disposed of according to manufacturer's specifications and recommendations.

Concrete Truck Washing -NO concrete trucks will be allowed to wash out or discharge surplus concrete or drum wash water onsite.

Fertilizer/Herbicides -These products will be applied at rates that do not exceed the manufacturer's specifications or above the guidelines set forth in the crop establishment or in the GSWCC Manual for Erosion and Sediment Control in Georgia. Any storage of these materials will be under roof in sealed containers.

Building Materials -No building or construction materials will be buried or disposed of onsite. All such material will be disposed of in proper waste disposal procedures.

Hazardous Wastes

All hazardous waste materials will be disposed of in the manner specified by local, state, and/or federal regulations and by the manufacturer of such products. The job site superintendent, who will also be responsible for seeing that these practices are followed, will instruct site personnel in these practices. Material Safety Data Sheets (MSDS's) for each substance with hazardous properties that is used on the job site will be obtained and used for the proper management of potential wastes that may result from these products. An MSDS will be posted in the immediate area where such product is stored and/or used and another copy of each MSDS will be maintained in the ESPCP file at the job site construction trailer office. Each employee who must handle a substance with hazardous properties will be instructed on the use of MSDS sheets and the specific information in the applicable MSDS for the product he/she is using, particularly regarding spill control techniques.

The contractor will implement the Spill Prevention Control and Countermeasures (SPCC) Plan found within this ESPCP and will train all personnel in the proper cleanup and handling of spilled materials. No spilled hazardous materials or hazardous wastes will be allowed to come in contact with stormwater discharges. If such contact occurs, the stormwater discharge will be contained on site until appropriate measures in compliance with state and federal regulations are taken to dispose of such contaminated stormwater. It shall be the responsibility of the job site superintendent to properly train all personnel in the use of the SPCC plan.

Sanitary Wastes

A minimum of one portable sanitary unit will be provided for every ten (10) workers on the site. All sanitary waste will be collected from the portable units a minimum of one time per week by a licensed portable facility provider in complete compliance with local and state regulations.

All sanitary waste units will be located in one area where the likelihood of the unit contributing to storm water discharge is negligible. Additional containment BMP's must be implemented, such as gravel bags or specially designed plastic skid containers around the base to prevent wastes from contributing to storm water discharges. The location of sanitary waste units must be identified on the ES&PC Plan by the contractor once the locations have been determined.

Sanitary Sewer will be provided by Municipal Authority at the completion of this Project.

Storm Water Pollution

The main source of storm water pollution during construction will be sediment washing from the site. BMP's installed on site will provide control and treatment of the sediment. The main source of storm water pollution after construction will be oil & grease washing from the parking lot. Grassed areas (filter strips) will be the main source of treatment.

PROJECT: DeBEER GRANITE		REV. DATE: DESCRIPTION:		DRAWING NO: 220513 - DEBEER GRANITE	
SHEET: NPDES NOTES		1 01-06-23 ADDRESSED CITY COMMENTS		DRAWN BY: GPH	
LL 153		TOWN OF TYRONE		SCALE: NTS	
DATE: 08/22/22		7TH DISTRICT		DATE: 08/22/22	
SHEET					
C10					

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