



**TWO
RIVERS**
WISCONSIN

ARCHITECTURAL CONTROL COMMITTEE

Wednesday, July 27, 2022 at 2:00 PM

Committee Room - City Hall, 3rd Floor 1717
E. Park Street, Two Rivers, WI 54241

AGENDA

1. CALL TO ORDER

2. ROLL CALL

3. ACTION ITEMS

- A. Review plans for the construction of a single-family dwelling on Lot 14, Block 2, Sandy Bay Highlands Subdivision No. 2, submitted by Mark and Diane Anderson (owners)

4. ADJOURNMENT

Please note, upon reasonable notice, efforts will be made to accommodate the needs to disabled individuals through appropriate aids and services. For additional information or to request this service, please contact the Office of the City Manager by calling 793-5532.

It is possible that members of and possibly a quorum of governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no other action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

**ARCHITECTURAL CONTROL COMMITTEE
SANDY BAY HIGHLANDS SUBDIVISION NO. 2**

PLAN REVIEW CHECKLIST

Legal Description Lot 14 Block 2

Date Plans Submitted 07/14/22 Date Plans Approved 07/27/22

Plans to include:

- ☒ Site Plan (to scale)
- ☒ Grading Plan (to scale)
- ☒ Elevations (4 elevations - color schematic)
- ☒ Floor Plan (including sq ft for each level of dwelling)

DWELLING SIZE

All Lots (single-family dwelling)

1774 1st floor (1-story = 1,500 sq ft min)
na 1st floor (1.5 or 2-story = 1,000 sq ft min)
na 2nd floor
na 1st & 2nd floor total (1,800 sq ft min)

Lot 8 Block 4 & Lot 1 Block 5 (two-family dwelling)

na 1st floor (1-story = 1,700 sq ft min)
na 1st floor (1.5 or 2-story = 1,000 sq ft min)
na 2nd floor
na 1st & 2nd floor total (2,000 sq ft min)
na Must be L-shaped, include 1-unit & a/garage, garages may not be abutting,
 1 driveway per street

DESIGN REQUIREMENTS☒ Yes ☐ NoVinyl & Stone2890☒ Yes ☐ No☐ Yes ☐ No☒ Yes ☐ No3+ stall2

Stories/height not to exceed 2.5 stories nor 35 feet

Exterior of dwelling: Wood, stone, brick, alum, vinyl or horizontal steel siding, other

25% of dwelling front to be brick or stone

6:12 min roof pitch over 50% of dwelling

Sump Pump must connect to public storm sewer
Will note on plan to connect to public storm sewer

Direct access to a/garage from dwelling

Size of a/garage (2-stall min)

Number of o/h doors (3 max facing street)
not facing the street**ACCESSORY BUILDINGS** - None shown on plan☐ Yes ☐ No

Shown on plan

☐ Yes ☐ No

Size not to exceed 288 sq ft

☐ Yes ☐ No

Located in rear yard (no exceptions)

☐ Yes ☐ No

Exterior to match dwelling

Other _____

Such actions by the committee shall be final and conclusive. The approval of the ACC as does not relieve any lot owner of the additional requirements imposed by the City or any subdivisions thereof or the State of Wisconsin or any subdivisions thereof. All lot owners must obtain any permits, approvals, licenses and related permissions from the City and ACC. All lots in this subdivision shall also be subject to all ordinances, zoning laws, and other restrictions of the City, Manitowoc County and the State of Wisconsin that may be applicable.

* owner will bring in samples or color rendering of exterior materials to ACC meeting.

Site Plan

Lot 14, Sandy Bay Highlands Subdivision No.2
City of Two Rivers, Manitowoc County, Wisconsin

SURVEYORS CERTIFICATE:

I, Steven E. Zeitler, Professional Land Surveyor, do hereby certify;
That I have surveyed the hereon described property and the map
hereon is a true representation thereof to the best of my
knowledge and belief.




Steven E. Zeitler 6/18/22

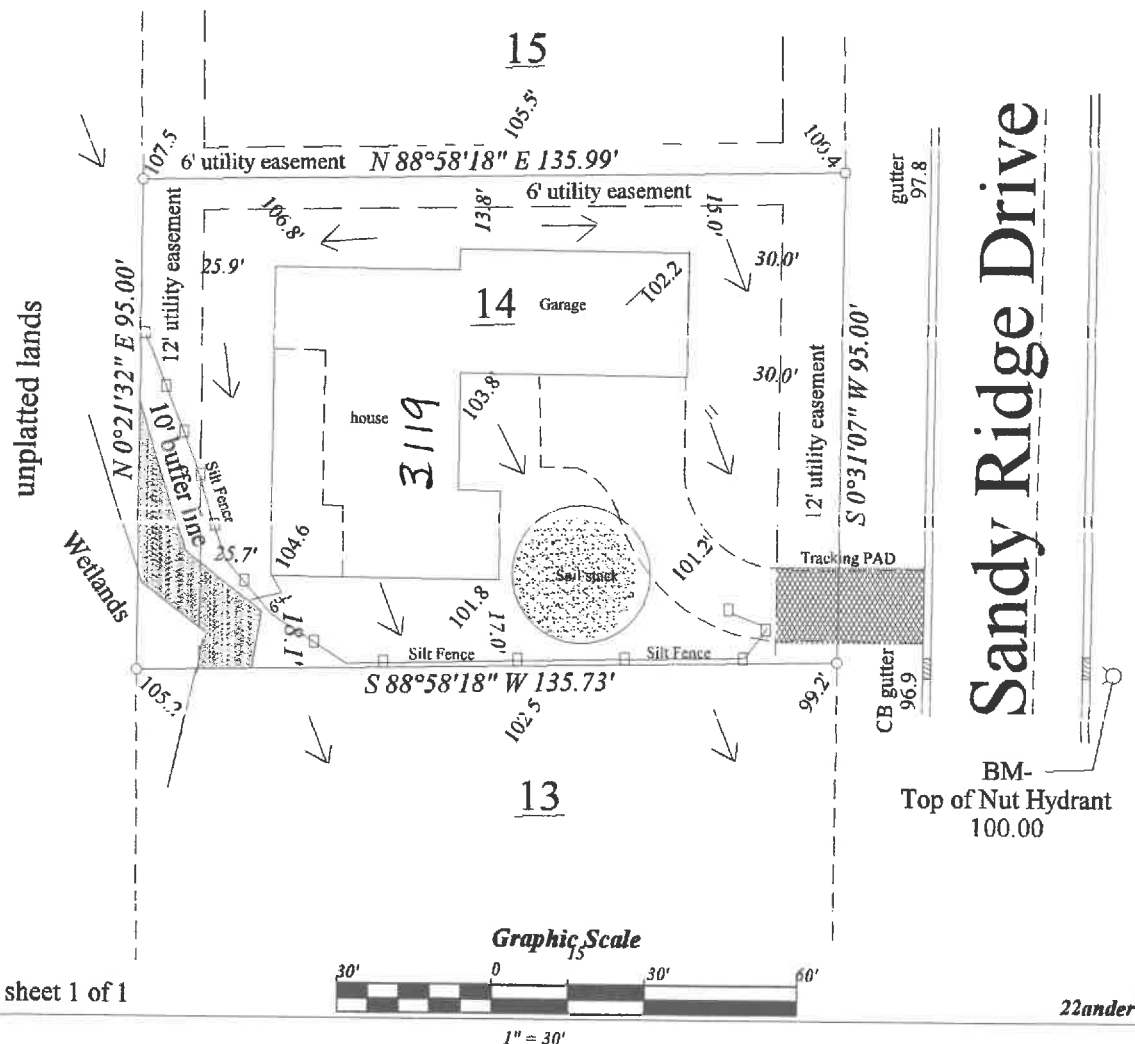
Steven E. Zeitler RLS # 1749 Date revised 6/21/22

For: Mark Anderson



Legend

-  elevations
-  1" iron pipe found
-  water flow
- Lot 14 consists of 12,903 sq. ft. of area



DRAWN BY

Section 3, Item A.

REVISION	BY
11-21-2021	JTP
12-14-2021	JTP
1-18-2022	JTP
4-21-2022	JTP
6-14-2022	JTP

DISTRIBUTION - FABRICATORS
5303 MENASHA AVENUE
MANTON, WI 54220
PHONE: 920-682-0884
FAX: 920-682-0884

BUILDING
CENTER

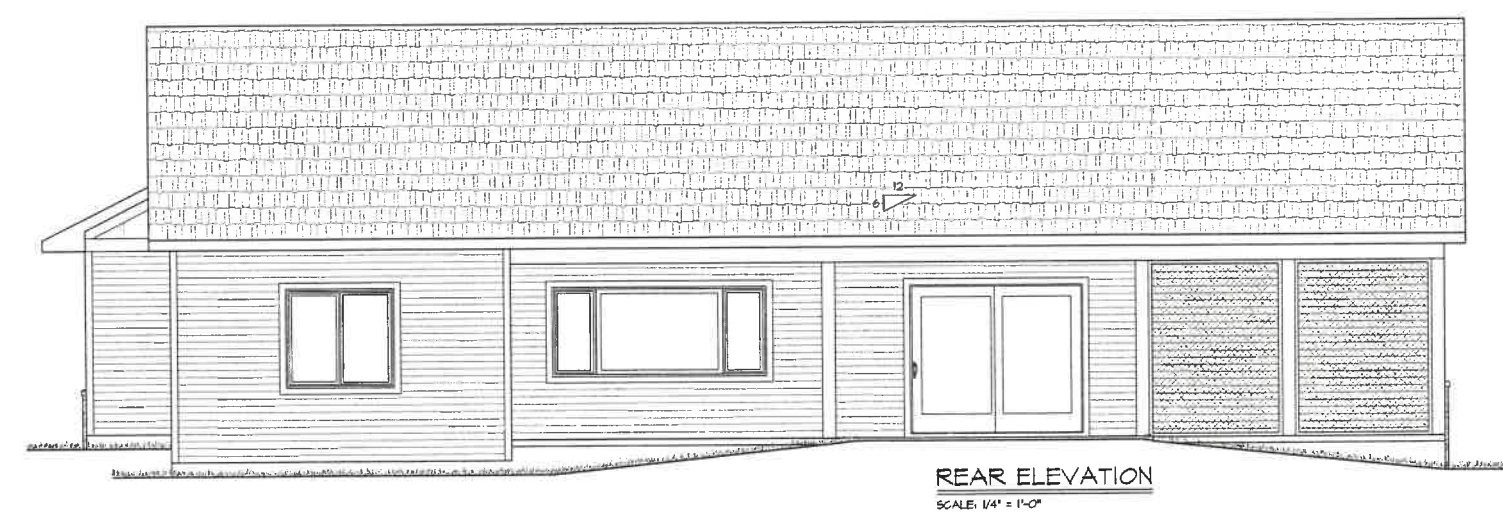
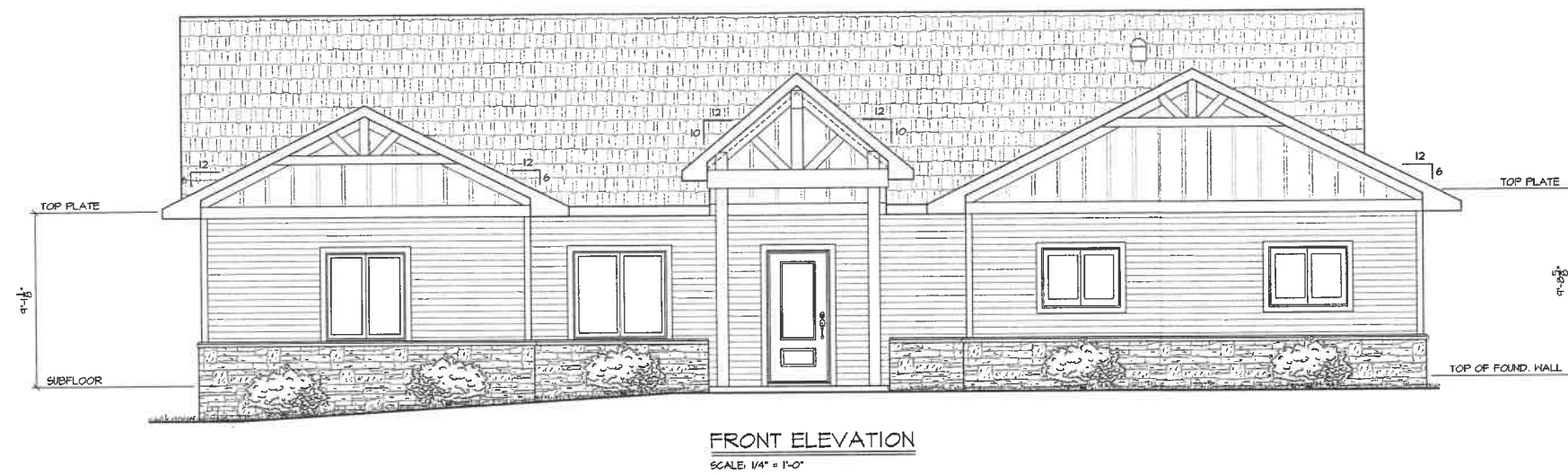
IBRAJUN

MARK & DIANE ANDERSON
RESIDENCE

-NOTE-
ALTHOUGH EVERY EFFORT HAS BEEN
MADE TO ACCURATELY REPRESENT
THE DESIGN, THE ARCHITECT, THE
ENGINEER, AND THE FABRICATOR
SHALL NOT BE RESPONSIBLE FOR
THE SAME.

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NUMBER
1

RECEIVED
JUL 14 2022



REVISION	BY
11-22-2021	JTB
12-14-2021	JTB
1-18-2022	JTB
4-21-2022	JTB
6-14-2022	JTB

DISTRIBUTION - FABRICATORS
SECS DESIGN & CONSTRUCTION
1000 W. 10TH ST.
MILWAUKEE, WI 53210
PH: 414-220-0113
FAX: 414-220-0354

BUILDING
CENTER

IBRAUN

MARK & DIANE ANDERSON
RESIDENCE

-NOTE-
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE AND THE NATIONAL BUILDING CODE. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND THE FABRICATOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION.

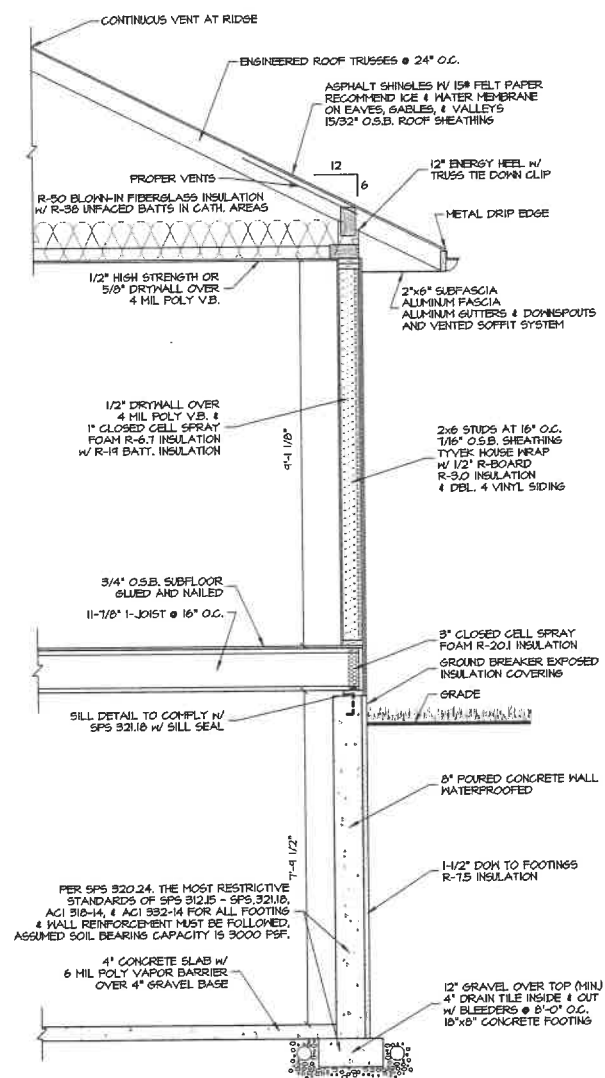
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NUMBER
2



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING SECTION
SCALE: 1/2" = 1'-0"

REVISION	BY
11-13-2021	TT
12-14-2021	TT
1-18-2022	TT
4-21-2022	TT
5-14-2022	TT

DISTRIBUTION - FABRICATORS
5303 MIDCASH AVE.
PH: 420-682-0143
FAX: 420-682-0884

BUILDING
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IBRAIM

MARK & DIANE ANDERSON
RESIDENCE

-NOTE-
ALL DIMENSIONS ARE
MADE IN PREPARING THESE PLANS AND
CHECKING THEM FOR ACCURACY. THE
DRAWING ENGINEER AND ARCHITECT
AND DIMENSIONS BE RESPONSIBLE FOR
THE SAME.

DRAWING
NUMBER

3

FIGURE 321.25-C
LOCATION OF BRACED WALL PANELS ALONG A BUILDING SIDE
(NOTE: CONTINUOUS SHEATHING SHALL BE APPLIED TO ALL SURFACES OF THE WALL, INCLUDING
AREAS BETWEEN BRACE PANELS AND ABOVE AND BELOW WALL OPENINGS)

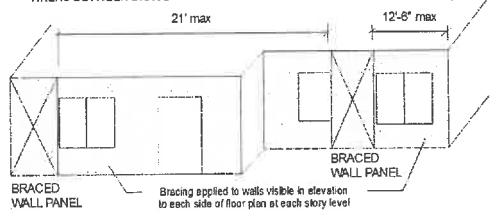
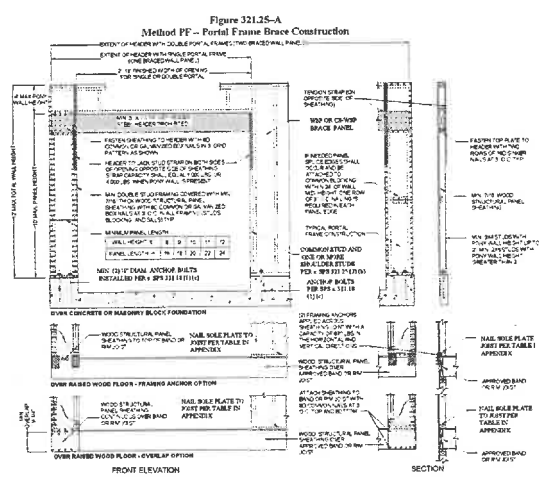


Table 321.25-H
MINIMUM WIDTHS OF METHOD CS-WSP AND CS-SFB BRACED WALL PANELS

Maximum Opening Height Adjacent to Braced Wall Panel	8' tall wall	9' tall wall	10' tall wall	12' tall wall
Up to 5' - 4"	24	27	30	36
Up to 6' - 8"	32	36	38	36
Up to 8'	48	41	38	36
Up to 9'	-	54	46	41
Up to 10'	-	-	60	48
Up to 12'	-	-	-	72



- BRACED WALL LEGEND**
- CS-WSP "CONTINUOUS SHEATHED WSP" 3/8" FOR MAXIMUM 16' O.C. STUD SPACING; 1/8" FOR MAXIMUM 24' O.C. STUD SPACING. FASTENED W/ MIN. 6d COMMON NAIL OR 6d BOX NAIL (2-1/2" LONG x 0.113" DIA.), FASTENERS SPACED 6" EDGES, 12" FIELD WIDTH, MIN. FASTENERS, 1 MAX. FASTENER SPACING
 - PF "PORTAL FRAME" 1/2" MAX. HT. REFER TO FIGURE 321.25 (A) FOR MINIMUM PANEL WIDTH, MIN. FASTENERS, 1 MAX. FASTENER SPACING
 - WSP "WOOD STRUCTURAL PANEL" 3/8" FOR MAXIMUM 16' O.C. STUD SPACING; 1/8" FOR MAXIMUM 24' O.C. STUD SPACING. FASTENED W/ MIN. 6d COMMON NAIL OR 6d BOX NAIL (2-1/2" LONG x 0.113" DIA.), FASTENERS SPACED 6" EDGES, 12" FIELD
 - GS "GYPSUM INSTALLED ON BOTH SIDES OF WALL" 1/2" FOR MAXIMUM 24' O.C. STUD SPACING; FASTENED W/ MIN. 5d COLLER NAILS OR NO SCREWS, FASTENERS SPACED 6" EDGES, 12" FIELD (INCLUDING TOP AND BOTTOM PLATES)
 - LFB "LET-IN BRACING" 1x4 WOOD BRACE (OR APPROVED METAL BRACE INSTALLED PER MANUFACTURER INSTRUCTIONS) 1/8" FOR MAXIMUM 24' O.C. STUD SPACING. FASTENED W/ MIN. 2x6 COMMON NAILS OR 3-6d BOX NAILS (2-1/2" LONG x 0.113" DIA.), FASTENERS SPACED PER STUD AND TOP AND BOTTOM PLATES
 - DWB "DIAGONAL WOOD BRACE" 3/4" (1" NOMINAL) FOR MAXIMUM 24' O.C. STUD SPACING. FASTENED W/ MIN. 2x6 BOX NAILS (2-1/2" LONG x 0.113" DIA.), FASTENERS SPACED PER STUD AND TOP AND BOTTOM PLATES
 - COMMON WALLS OF 0.5B, 4/8 GYPSUM WALLBOARD APPLIED TO BOTH SIDES, FOLLOW MINIMUM FASTENER TABLE OR MANUFACTURE SPEC.

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
IT74 FINISHED SQUARE FEET
9'-1 1/8" WALL HEIGHT
9'-8 5/8" GARAGE WALL HT.

ALL WINDOWS ARE DESIGNED AND SPECIFIED AS ANDERSON WINDOWS

THIS DRAWING IS THE PROPERTY OF BRAIN BUILDING CENTERS. REPRODUCTION OR USE OF THIS PLAN WITHOUT CONSENT IS PROHIBITED.

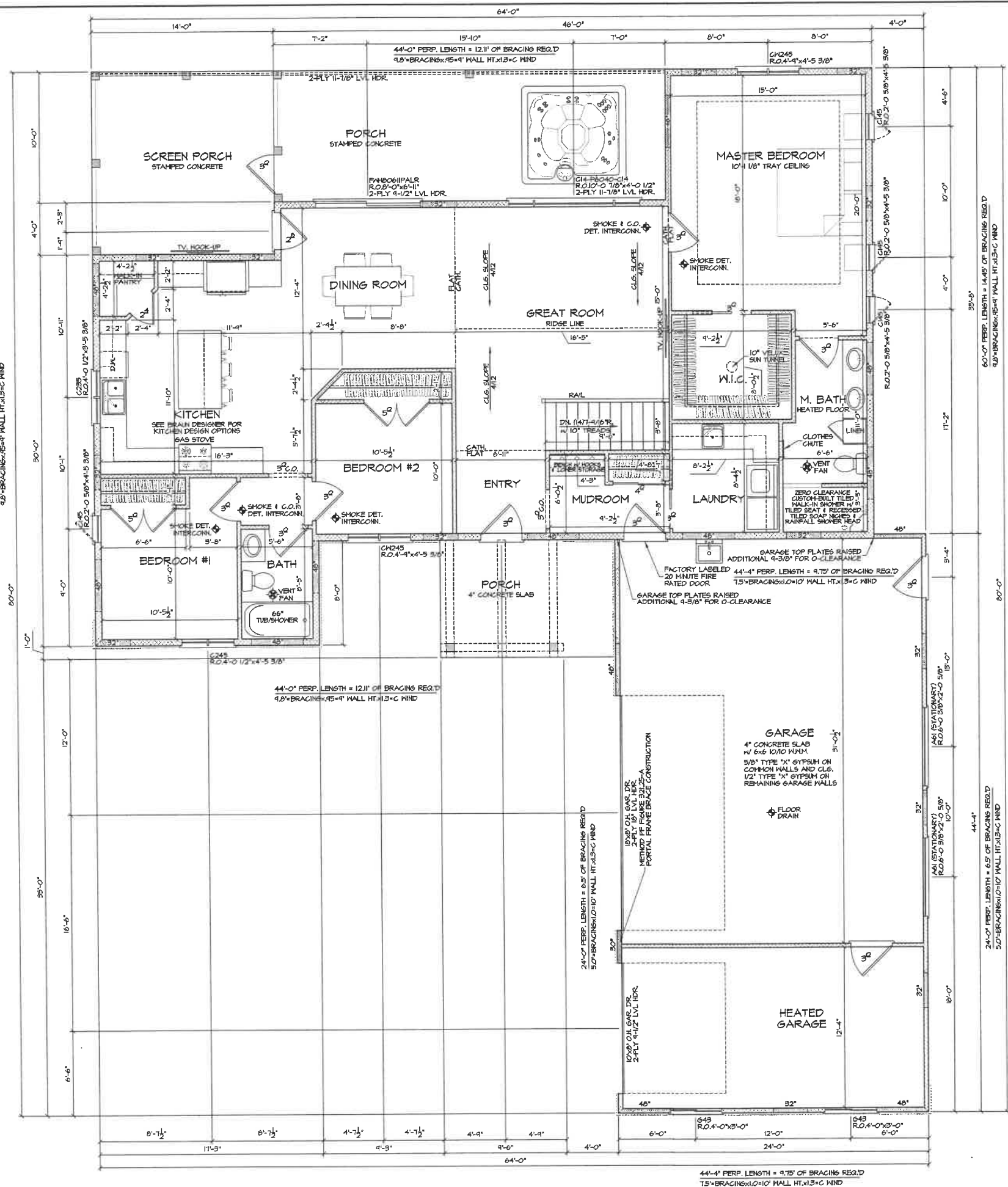
ALL LVL HEADERS AND I-JOISTS ARE DESIGNED AT MINIMUM AS TRUSS JOIST I.E. MICRO LAM LVL & TRUSS JOIST T.J. 210 I-JOISTS W/ 1600 MINIMUM LIVE LOAD DEFLECTION, UNLESS OTHERWISE SPECIFIED AS STRONGER ON ESTIMATE OR PLAN.

ROOF TRUSS SPEC.'s

ROOF LOAD DESIGNED FOR ZONE 2
LOADING: TCCL = 30#
TCCL = 7#
BCDL = 10#
SPACING: 24" O.C. (UNLESS NOTED ON TRUSS PLAN)
DURATION: 1.15 %
DEFLECTION: L/240 MINIMUM
ROOF PITCH: 6/12
HEEL HEIGHT: 14" ± 4-5/8"
CH'S (INCLUDING 2x6 FASCIA): 24" EAVE ± 12" GABLE

FLOOR PLAN GENERAL NOTES

- EXTERIOR FRAMED WALLS ARE DRAWN AT 4" AND 8". "EXTERIOR DIMENSIONS INCLUDE 1/2" SHEATHING". INTERIOR FRAMED WALLS ARE DRAWN AT 3 1/2" & 5 1/2".
- A MINIMUM OF A SINGLE COMMON STUD AND DOUBLE SHOULDER STUDS MUST BE USED FOR ALL HEADERS GREATER THAN 6'-0" IN LENGTH.
- BOTTOM OF WINDOW AND DOOR HEADERS ARE 6'-10" ABOVE THE SUBFLOOR UNLESS OTHERWISE NOTED.
- ALL HEADERS ABOVE OPENINGS IN FRAMED WALLS ARE 2-PLY 2x10'S UNLESS OTHERWISE NOTED ON ESTIMATE.
- CONTRACTOR TO VERIFY ALL CATHEDRAL, COFFERED, VAULTED, RAISED HEIGHT, AND TRAY CEILINGS WITH OWNER PRIOR TO TRUSS CONSTRUCTION.
- BUILDER TO PROVIDE AN ATTIC SCUTTLE AS NEEDED



44'-4" PERP. LENGTH = 9.75' OF BRACING REQ'D
1.5" BRACING x 10' WALL HT. 1/3" C WIND

REVISION	BY
11-12-2011	TTP
12-14-2011	TTP
1-18-2012	TTP
4-21-2012	TTP
5-14-2012	TTP

DISTRIBUTION - FABRICATORS
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 WARTON, MO 64220
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 FAX: 920-682-0364

BUILDING
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IBRAUN

MARK & DIANE ANDERSON
RESIDENCE

NOTE-
 ALTHOUGH ENTRY EFFORT HAS BEEN
 MADE IN PREPARING THESE PLANS AND
 CONTRACTOR MUST CHECK ALL DETAILS
 FOR ACCURACY, THE CONTRACTOR IS RESPONSIBLE FOR
 THE SAME.

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4

- FOUNDATION GENERAL NOTES**
1. CONCRETE CONTRACTOR & BUILDER ARE RESPONSIBLE TO VERIFY SOIL CONDITIONS AND FOLLOW STANDARDS PER SPS 320.24. THE MOST RESTRICTIVE STANDARDS OF SPS 312.15, SPS 321.18, ACT 318.14, & ACT 332.14 FOR ALL FOOTING & WALL REINFORCEMENT, IF NEEDED, MUST BE FOLLOWED.
 2. ASSUMED SOIL BEARING CAPACITY IS 3000 PSF. FOOTING SIZES MUST BE ADJUSTED FOR VARYING SOIL CONDITIONS.
 3. EXTERIOR FRAMED WALLS ARE DRAWN AT 4" AND 6". "EXTERIOR DIMENSIONS INCLUDE 1/2" SHEATHING". INTERIOR FRAMED WALLS ARE DRAWN AT 3 1/2" & 5 1/2".
 4. ALL HEADERS ABOVE OPENINGS IN FRAMED WALLS ARE 2-PLY 2x10'S UNLESS OTHERWISE NOTED ON ESTIMATE.
 5. DIMENSIONS ON THE FOUNDATION PLAN INCLUDE ALL BRICK LEDGES AND CONCRETE SLAB BEARING LEDGES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOUNT FOR AND VERIFY ALL LEDGE AND DIMENSION LOCATIONS.
 6. THE FOLLOWING ITEMS ARE TO BE LOCATED IN THE FOUNDATION BY THE CONTRACTOR:
 FURNACE FLOOR DRAINS
 ELECTRICAL SERVICES WATER HEATER
 SUMP PIT & PUMP WATER TREATMENT EQUIP.
 7. BUILDER TO VERIFY BSMT. WINDOW LOCATION WITH OWNER PRIOR TO CONSTRUCTION, AND PROVIDE HEADERS AT BASEMENT WINDOWS WHERE NEEDED.
 8. POURED CONCRETE FOOTINGS TO BEAR ON UNDISTURBED SOIL BELOW THE FROST LINE.
 9. STRAIGHT FOUNDATION WALLS 40'-0" AND LONGER ARE TO HAVE PILASTERS. PILASTER SPACING VARIES WITH WALL LENGTH BUT CANNOT EXCEED 40'-0" ON CENTER.

