



PLAN COMMISSION MEETING

Monday, August 12, 2024 at 5:30 PM

Council Chambers - City Hall, 3rd Floor
1717 E. Park Street, Two Rivers, WI 54241

AGENDA

1. CALL TO ORDER

2. ROLL CALL

Commission Members: Greg Buckley, Rick Inman, Kay Koach, Kristin Lee, Matt Heckenlaible, Adam Wachowski

3. ACTION ITEMS

- A.** Request to rezone 1509 – 19th Street, Parcel 053-000-050-030-.09, from Business (B-1) to Residential (R-3) submitted by Joan Johnson (applicant and owner).
- B.** Request to rezone 2114 East River Street, Parcel 053-000-027-021.08, from Residential (R-3) to Residential (R-4) submitted by Steve Bacalzo on behalf of Lamplighter Rentals LLC (applicant and owner).
- C.** Request for an electronic changing message (ECM) sign to be located at the southwest entrance of the St. Peter the Fisherman Catholic Parish property at 3201 Mishicot Road.
- D.** Review of Certified Survey Map completed by Jeff DeZeeuw, Licensed Surveyor, Parcel 053-000-077-050.07, address 1421 Washington Street (Sauve's Auto Service).
- E.** Request for a Conditional Use Permit for a gas station located at 2205 Forest Ave, in the B-2 Business District, submitted by Quasius Construction (applicant) and De Pere Petroleum LLC (owner).
- F.** Request to amend Conditional Use Permit 2021-04 to operate a commercial kennel, located at 3310 – 45th Street, submitted by ACE Building Service (applicant) and Lucky Paws Pet Boutique (owner).
- G.** Review of Site and Architectural Plan for Lucky Paws Pet Boutique Addition, located at 3310 – 45th Street, submitted by ACE Building Service (applicant) and Lucky Paws Pet Boutique (owner).

4. ADJOURNMENT

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Two Rivers will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance or reasonable accommodations in participating in this meeting or event due to a disability as defined under the ADA, please call the City Clerk's office at 920-793-5526 or email clerk@two-rivers.org at least 48 hours prior to the scheduled meeting or event to request an accommodation. For additional assistance, individuals with hearing or speech disabilities can call 711 and be connected to a telephone relay system.

It is possible that members of and possibly a quorum of governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no other action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.



LAND DEVELOPMENT APPLICATION

APPLICANT Joan Marie Johnson TELEPHONE (920) 737-7157

MAILING ADDRESS P.O. Box 540, Two Rivers, WI, 54241
(Street) (City) (State) (Zip)

PROPERTY OWNER 1509 19th Street TELEPHONE _____

MAILING ADDRESS Joan M. Johnson Two Rivers, WI, 54241
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 1509 19th Street, Two Rivers, WI 54241 TYPE OF STRUCTURE Single Story Bldg.

PRESENT ZONING Commercial (B1) REQUESTED ZONING Residential (R-3)

PROPOSED LAND USE Duplex

PARCEL # 1955-Built / Parcel # 0000-500-309. ACREAGE #6,752 Sq. Foot lot

LEGAL DESCRIPTION ORIG PLAT E 45' OF LOT 3 BLK 50.

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed Joan Marie Johnson (Property Owner) Date 7-31-2024

Fee Required

\$ 350	Comprehensive Plan Amendment
\$ t/b/d	Site/Architectural Plan Approval (Listed in Sec 1-2-1)
\$ t/b/d	CSM Review (\$10 lot/\$30 min)
	Subdivision Plat (fee to be determined)
\$ 350	Zoning District Change
\$ 350	Conditional Use
\$ t/b/d	Annexation Request (State Processing Fees Apply)
\$ 350	Variance/Board of Appeals
\$ t/b/d	Other

Schedule

Application Submittal Date	<u>7-31-2024</u>
Date Fee(s) Paid	<u>7-31-2024</u>
Plan(s) Submittal Date	_____
Plan Comm Appearance	<u>8-12-24</u>

\$ 350 TOTAL FEE PAID

APPLICATION, PLANS & FEE RECEIVED BY A Taylor

RE: Adam



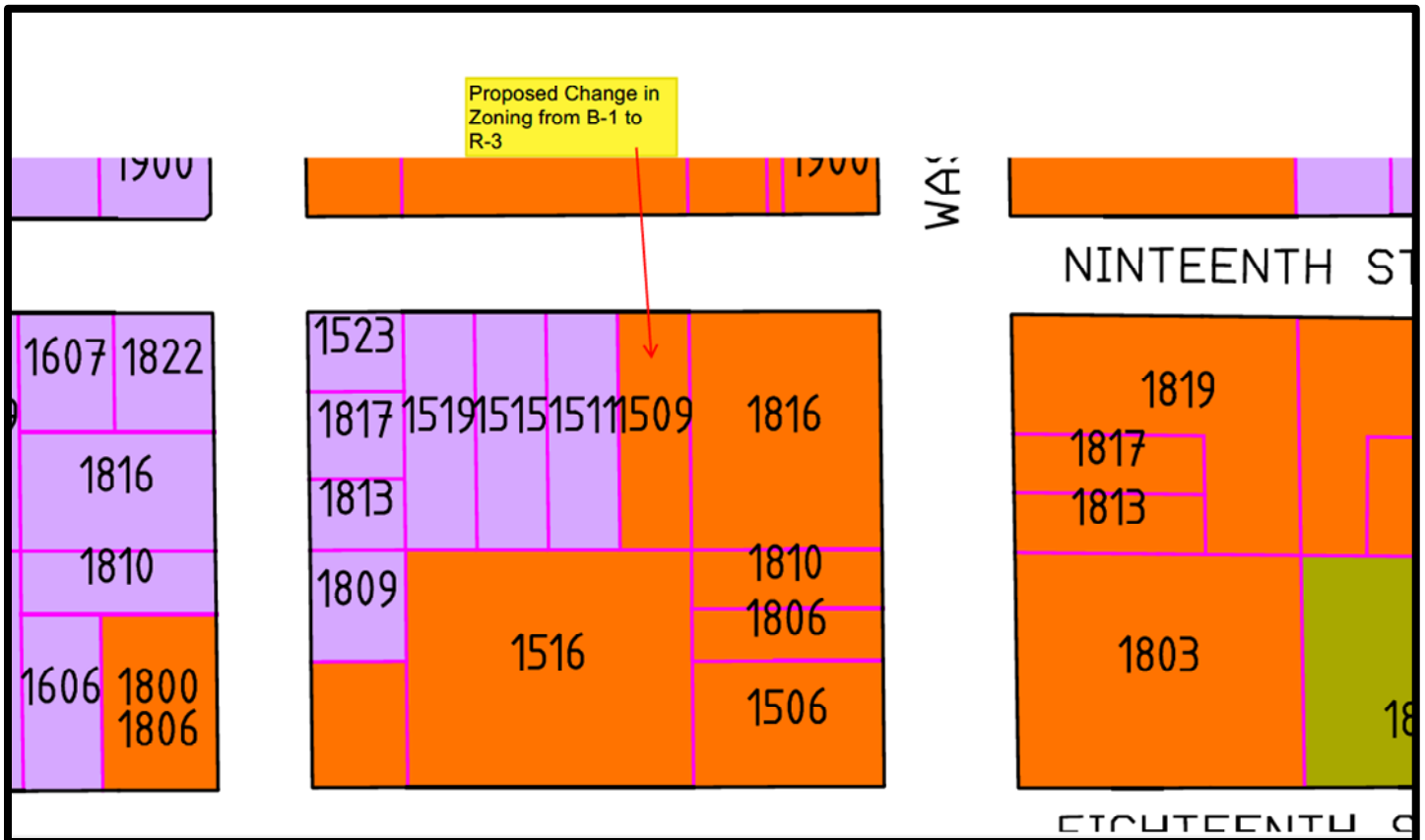
PLAN COMMISSION

Action: Rezoning Request from Business (B-1) to Residential (R-3)
Location: 1509 – 19th Street
Current Zoning: Business B-1
Date: August 12, 2024

The owner of this property is requesting a rezoning of this property from Business (B-1) to Residential (R-3) to allow for residential use. The existing business zone allows for residential use to be only on the 2nd floor.

Background:

This property was previously a dental office use. Since closing, the current owner would like to change to a residential primary use.





**TWO
RIVERS**
WISCONSIN

COMMUNITY DEVELOPMENT

Section 3, Item A.

1717 E. Park Street
P.O. BOX 87
Two Rivers, WI 54241-0087



www.two-rivers.org



920.793.5564



920.793.5512



LAND DEVELOPMENT APPLICATION

APPLICANT Steve Bacalzo for Lamp Lighter Rentals, LLC TELEPHONE 920-374-1059

MAILING ADDRESS 2418 Jefferson St. WI 54241 (Street) (City) (State) (Zip)

PROPERTY OWNER Lamp Lighter Rentals, LLC TELEPHONE 920-374-1059

MAILING ADDRESS Same (Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
Site/Architectural Plan Approval
Subdivision Plat or CSM Review
Zoning District Change
Conditional Use
Annexation Request
Variance/Board of Appeals
Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 2114 E. River TYPE OF STRUCTURE Multi-Family

PRESENT ZONING R3 REQUESTED ZONING R-4

PROPOSED LAND USE Multi-Family

PARCEL # 053-000-027-021-08 ACREAGE

LEGAL DESCRIPTION

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed [Signature] (Property Owner) Date 7/29/2024

Fee Required

- \$ 350 Comprehensive Plan Amendment
\$t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
\$t/b/d CSM Review (\$10 lot/\$30 min)
Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change -
\$ 350 Conditional Use
\$t/b/d Annexation Request (State Processing Fees Apply)
\$ 350 Variance/Board of Appeals
\$t/b/d Other

Schedule

- Application Submittal Date 7/29/24
Date Fee(s) Paid 7/29/24
Plan(s) Submittal Date
Plan Comm Appearance 8-12-24

\$ 350 TOTAL FEE PAID

APPLICATION, PLANS & FEE RECEIVED BY [Signature]



PLAN COMMISSION

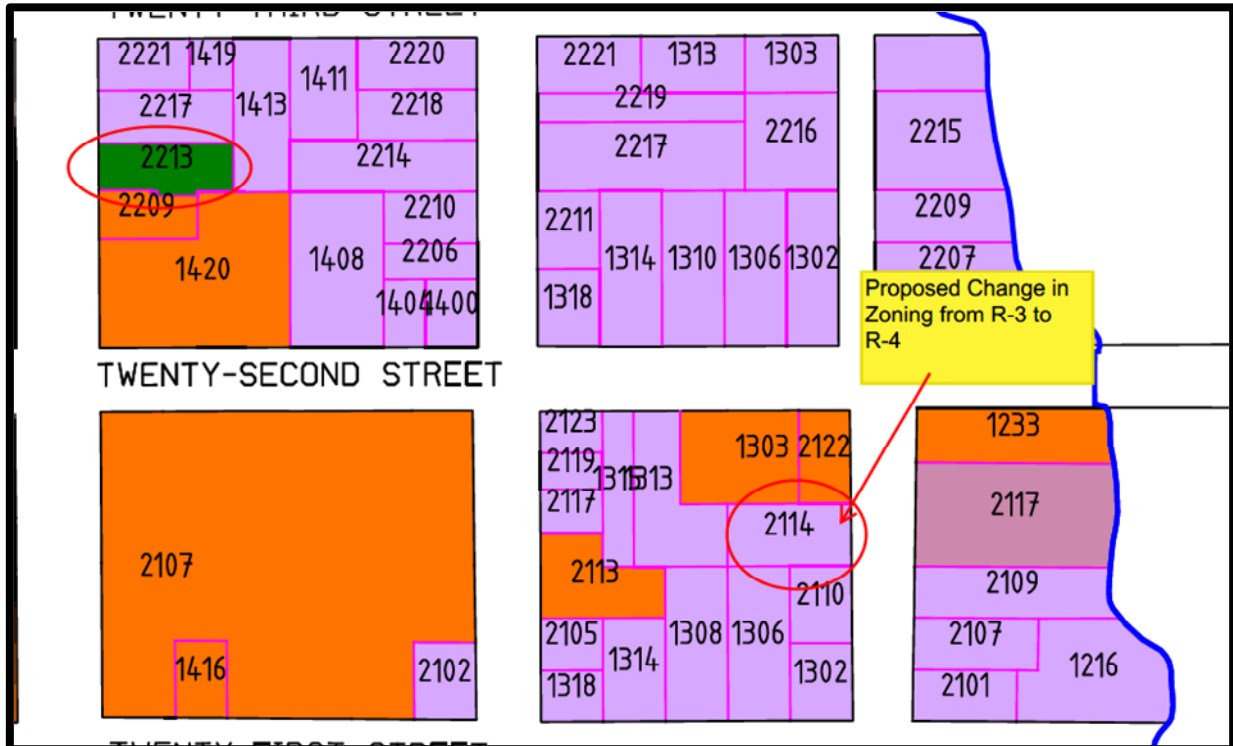
Action: Rezoning Request from Residential (R-3) to Residential (R-4)
Location: 2114 East River Street
Current Zoning: Residential R-3
Date: August 12, 2024

The owner of this property is requesting a rezoning of this property from Residential (R-3) to Residential (R-4) to allow 3 families to live in the dwelling. The property is currently being used as a 3-family home, which is not allowed in this zoning district.

Zoning Information:

The R-3 zoning district allows for single and double family homes, which is why the owner would like to rezone to R-4. The current dwelling would not meet the setbacks for the R-4 district, which is a minimum of 25' of front yard and 15' of side yard.

There is another lot zoned R-4 located at 2213 Washington St, which contains similar setbacks to make it nonconforming.





**TWO
RIVERS**
WISCONSIN

COMMUNITY DEVELOPMENT

Section 3, Item B.



1717 E. Park Street
P.O. BOX 87
Two Rivers, WI 54241-0087



www.two-rivers.org



920.793.5564



920.793.5512

City of Two Rivers
 1717 E Park Street
 Two Rivers, Wisconsin

Sign Permit Application

Phone (920) Section 3, Item C.
 Fax (920) 793-5512
 email: zoning@two-rivers.org

In compliance with Chapter 10-4 of the Municipal Code, we hereby apply for a permit to install an awning or advertising device in the City of Two Rivers, Wisconsin; such awning or advertising device being described as follows:

▶ Address of Sign Location: 3201 Mishicot Rd Two Rivers, WI 54241	
▶ Applicant: Magie Wildenberg	▶ Sign Contractor: Appleton Sign
▶ Mailing Address: 2400 Holly Rd Neenah WI 54956	▶ Contact: Magie Wildenberg
▶ Phone: 920.560.6820	▶ Phone:

TYPE OF DEVICE	FEATURES	SITE DATA (for office use only)
Awning/Canopy <input type="checkbox"/> Ground Sign <input checked="" type="checkbox"/> Movable Sign <input type="checkbox"/> Projecting Sign <input type="checkbox"/> Roof Sign <input type="checkbox"/> Wall Sign <input type="checkbox"/> Other Device <input type="checkbox"/>	Interior Light <input type="checkbox"/> Exterior Light <input type="checkbox"/> ECM <input checked="" type="checkbox"/> Reader Board <input type="checkbox"/>	Zoning District _____ Min setback _____ Min clearance _____ Property frontage _____ Lineal feet of bldg _____ Max height _____ Annual Renew _____

Other Device _____

Location on Property same location sign will not be moving

Legend _____

Dimensions 2'X5'

Construction Remove reader board and replace with EMC

Comments ECM will replace the reader board, sign size will stay the same

Attach the following:

- Site Plan indicating sign location and setbacks of the proposed sign or device. (drawn to scale)
- Detailed drawing of the proposed sign or device. (drawn to scale)
- Certificate of Liability Insurance – Sign Contractor (Unless current copy is on file)

Signed Magie Wildenberg Date 8.5.24

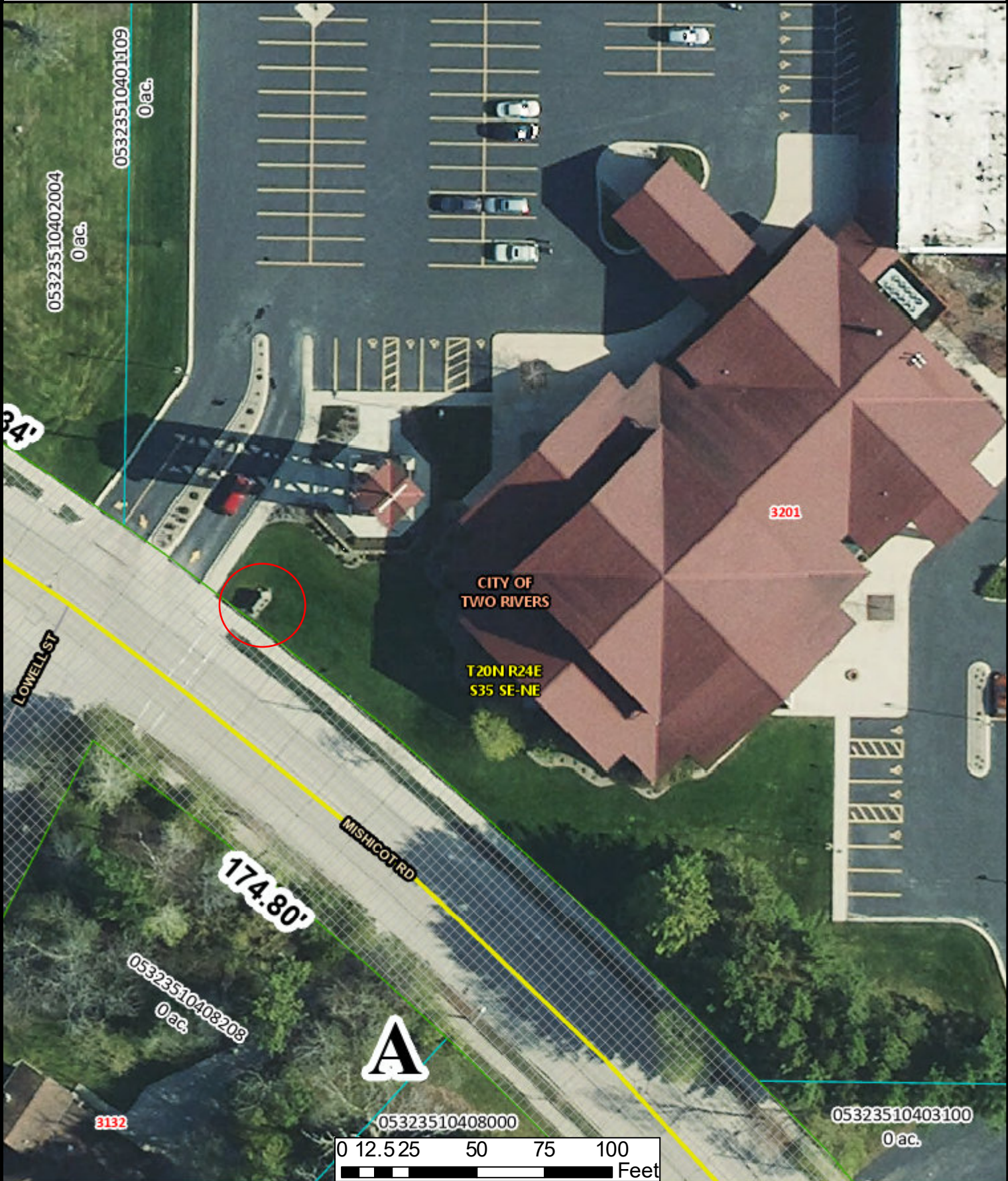
Project Cost (Sign Construction and Installation) 23,900.00

Sign Permit Fee is \$50.00 per sign.

01/01/21

Manitowoc County Parcel Viewer

Section 3, Item C.



EXISTING VIEW



LOCATION VIEW



A

DETAIL VIEW



SCALE: 1" = 1'-0"

FRAMELESS EMC UNIT
D/F WATCHFIRE EMC UNITS
FULL COLOR 10MM - RGB
SIZE: 60" X 24"
W/O: 60" X 24"
SIDES SHEETED W/ ALUMINUM - PAINTED TO MATCH SIGN CABINET
120V POWER SUPPLIES - SEPARATE CIRCUIT REQUIRED
MOUNTED IN PLACE OF EXISTING READER BOARD



LEXAN FACE REPLACEMENT
DUAL LAYER PRINTED GRAPHICS - FULL COVERAGE - SEE COLOR SCHEDULE
MATTE LAMINATION FOR PRINTED VINYL
INSTALLED IN PLACE OF EXISTING FACES
EXISTING RETAINER SIZE: X"

**REMOVE SIGN AND BRING BACK TO SHOP
TO SURVEY RETROFITTING OF NEW EMC
AND REPLACING EXISTING SIGN FACE**



2400 HOLLY ROAD • NEENAH, WI 54956
920.734.1001 AppletonSIGN

DESIGN • BUILD • INSTALL • SERVICE

CLIENT: ST PETER THE FISHERMAN CATHOLIC PARISH
ADDRESS: 3201 MISHICOT RD
CITY/STATE: TWO RIVERS, WI
DATE: 5/30/2024
SALES: JASON MENGERT
DESIGNER: DAVE SCRIMMACHER

PRODUCTION FILES REFERRED?

COLOR SCHEDULE

- PAINTED MATERIALS
- PRINTED MEDIA

- 1 PAINTED: TO MATCH EXISTING SIGN CABINET
- 2 PRINTED: VINYL DECAL

FIELD SIGNIFY REFERRED?

ELECTRICAL REQUIREMENTS

CLIENT APPROVAL

BY SIGNING THIS DOCUMENT, YOU ARE AGREEING TO ALL SPECIFICATIONS AND TO THE WORK DESCRIBED ON THIS DRAWING AND PROPOSAL. ANY CHANGES TO THIS DRAWING OR PROPOSAL WILL BE MADE BY A CHANGE ORDER. THIS DOCUMENT IS NOT VALID UNLESS SIGNED BY THE CLIENT AND THE SIGNER'S NAME IS LISTED IN THE SIGNATURE LINE. THIS DOCUMENT IS NOT VALID UNLESS SIGNED BY THE CLIENT AND THE SIGNER'S NAME IS LISTED IN THE SIGNATURE LINE. THIS DOCUMENT IS NOT VALID UNLESS SIGNED BY THE CLIENT AND THE SIGNER'S NAME IS LISTED IN THE SIGNATURE LINE.

X DATE:

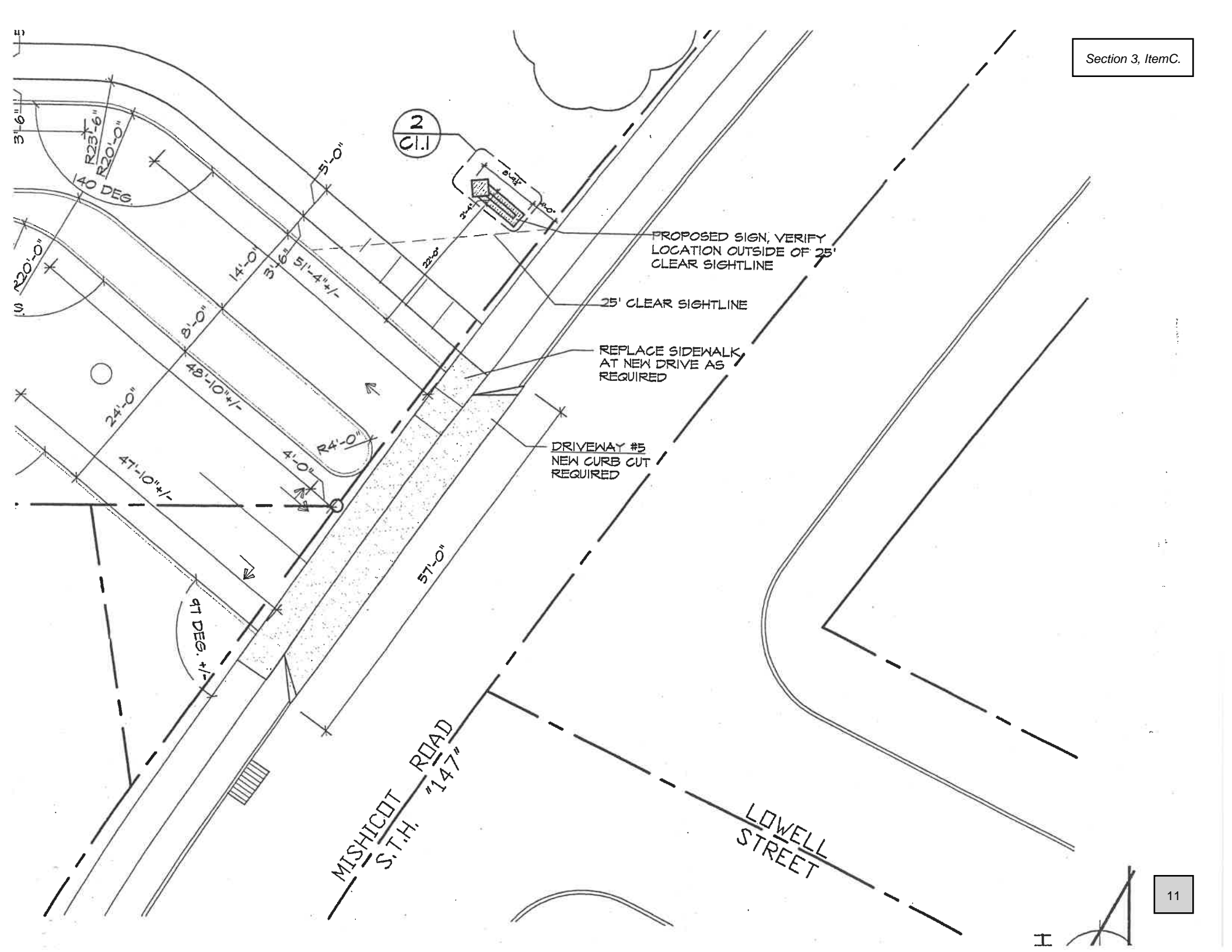
CALCULATED SQUARE FOOTAGE: NA 240435-02

PRODUCTION READY!

A OPT. 1 MANUFACTURE AND INSTALL THE FOLLOWING: A. REPLACE EXISTING D/F MONUMENT SIGN READER BOARD WITH AND EMC

DISCLAIMERS:

BY SIGNING THIS DOCUMENT, YOU ARE AGREEING TO ALL SPECIFICATIONS AND TO THE WORK DESCRIBED ON THIS DRAWING AND PROPOSAL. ANY CHANGES TO THIS DRAWING OR PROPOSAL WILL BE MADE BY A CHANGE ORDER. THIS DOCUMENT IS NOT VALID UNLESS SIGNED BY THE CLIENT AND THE SIGNER'S NAME IS LISTED IN THE SIGNATURE LINE. THIS DOCUMENT IS NOT VALID UNLESS SIGNED BY THE CLIENT AND THE SIGNER'S NAME IS LISTED IN THE SIGNATURE LINE. THIS DOCUMENT IS NOT VALID UNLESS SIGNED BY THE CLIENT AND THE SIGNER'S NAME IS LISTED IN THE SIGNATURE LINE.



Sec. 10-4-17. - Special signs.

- A. *Subdivision development signs.* The zoning administrator may issue a special permit for a temporary sign in any zone in connection with the marketing of lots or structures in a subdivision, subject to the following restrictions:
- (1) Such permits may be issued for a period of not more than one year and may be renewed for additional periods of up to one year upon written application at least 30 days prior to its expiration.
 - (2) Signs as used in this section refers to all types of signs, except those excepted or prohibited by this chapter.
 - (3) The sign must be located on the property being developed and must comply with all applicable building setback requirements.
 - (4) The sign may not exceed 80 square feet.
 - (5) One sign is allowed for each major street adjacent to the subdivision.
- B. *Changing signs.* The plan commission may approve a changing message sign, provided the following findings can be made by the commission:
- (1) The sign regulations applicable to the district would allow a static message sign of identical size and placement as the proposed changing sign.
 - (2) Proximity of the changing sign to nearby traffic signals would not adversely affect public safety by distracting or confusing motorists.
 - (3) Visibility of the changing sign from nearby residential properties would not create a nuisance for nearby residents.
 - (4) That "changing" does not mean flashing of the message.
 - (5) That the intensity of the changing message lights shall not create a nuisance.



PLAN COMMISSION

Action: Review certified survey map for Sauve’s Auto Service
Location: 1421 Washington Street
Current Zoning: Business B-1
Date: August 12, 2024

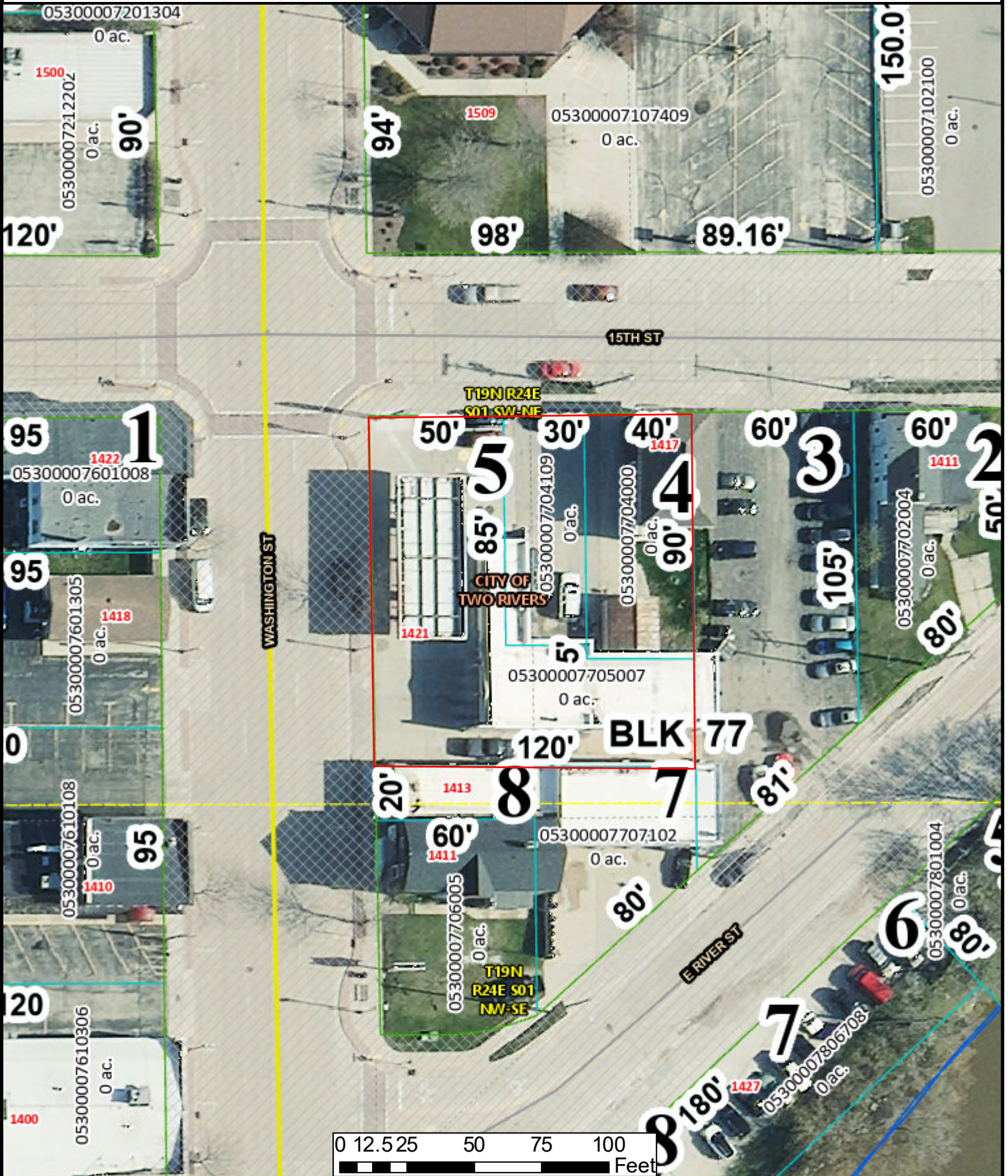
The owner of this property is requesting a land combination to combine three at Sauve’s Auto Service, owned by Lakeshore Commercial LLC. Sauve’s plans to expand the business onto the adjacent lots. There is an existing dwelling unit located at 1417 – 15th Street, in which they plan to demolish.

The CSM will be creating a lot, with 2 principal structures. Section 10-1-11 allows for one main building per lot, however the plan commission may approve more than one principal building on a lot. Staff recommends approval of the CSM with a contingency that the house be demolished.



Manitowoc County Parcel Viewer

Section 3, Item D.





LAND DEVELOPMENT APPLICATION

APPLICANT JEFF DEZEEUW TELEPHONE 920-323-5250

MAILING ADDRESS 3510 S. 26th STREET MANITOWOC WI 54220
(Street) (City) (State) (Zip)

PROPERTY OWNER THOMAS CHRISTENSEN TELEPHONE 920-973-2273

MAILING ADDRESS 1421 WASHINGTON ST TWO RIVERS WI 54241
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 1421 WASHINGTON ST TYPE OF STRUCTURE GAS STATION/AUTO REPAIR SHOP

PRESENT ZONING B-1 REQUESTED ZONING B-1

PROPOSED LAND USE GAS STATION/AUTO REPAIR SHOP

PARCEL # 05300007705007; 05300007704109; 05300007704000 ACREAGE 0.55

LEGAL DESCRIPTION ALL OF LOT 3; LOTS 4 & 5, EXCEPTING THE SOUTH 20 FEET, ALL IN BLOCK 77 OF THE ORIGINAL PLAT, CITY OF TWO RIVERS

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed [Signature] Date 8/8/24
(Property Owner)

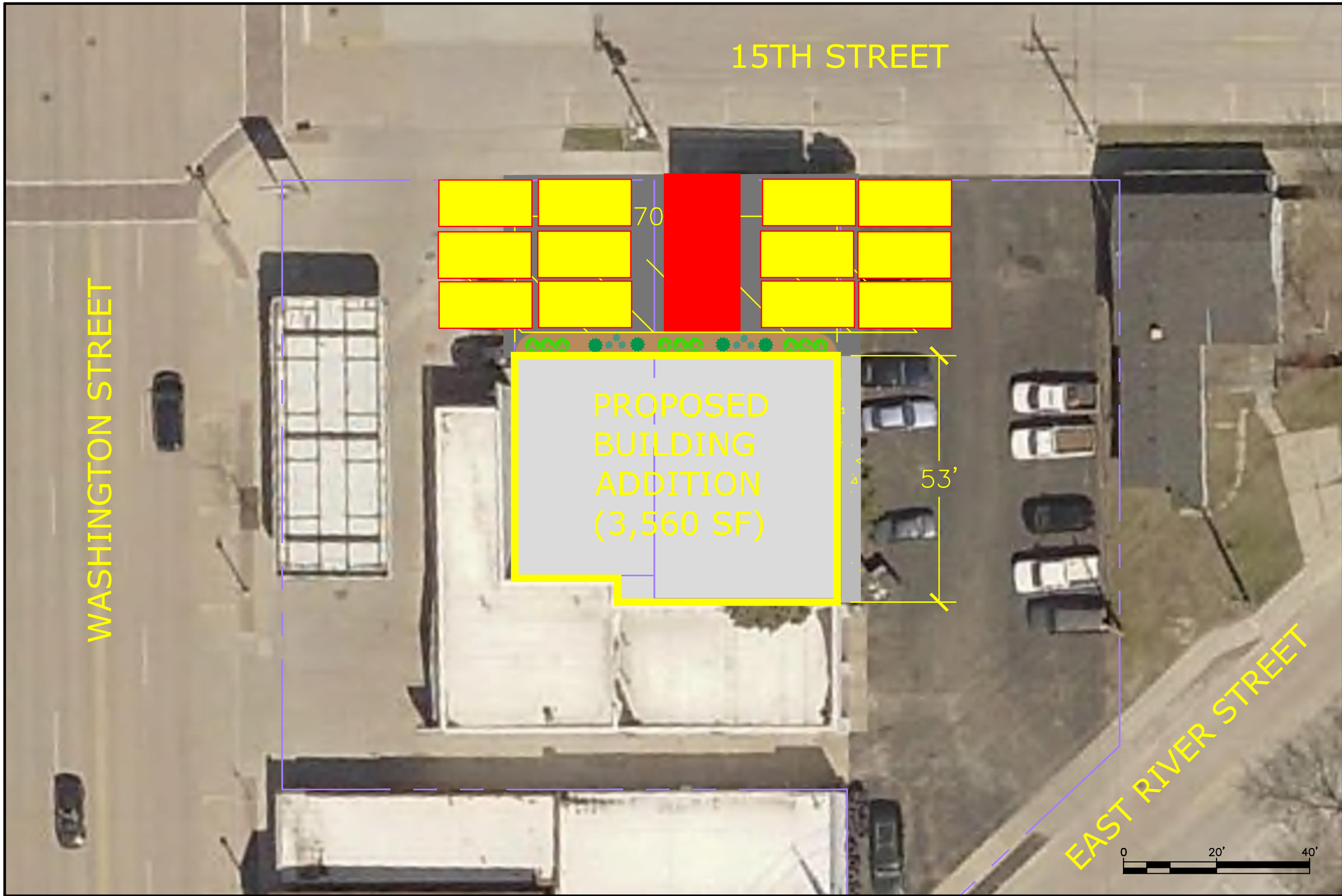
Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

Schedule

- Application Submittal Date _____
- Date Fee(s) Paid _____
- Plan(s) Submittal Date _____
- Plan Comm Appearance _____

\$ _____ TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____



WASHINGTON STREET

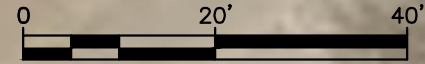
15TH STREET

PROPOSED
BUILDING
ADDITION
(3,560 SF)

53'

70

EAST RIVER STREET



PROJECT INFO: PROPOSED BUILDING ADDITION
SAUVE'S AUTO SERVICE
1421 WASHINGTON STREET
TWO RIVERS, WI 54241

REVISION DESCRIPTION	DATE	REV. BY

Section 3, Item D.



OUR REPUTATION IS OUR FOUNDATION
3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54220
PHONE: 920-682-6105 • WWW.ACEBUILDINGSERVICE.CO

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

SHEET INFORMATION

A.C.E. JOB NO. 302/23
DATE: 03/21/24
DRAWN BY: SJGJ
SCALE: 1" = 20'

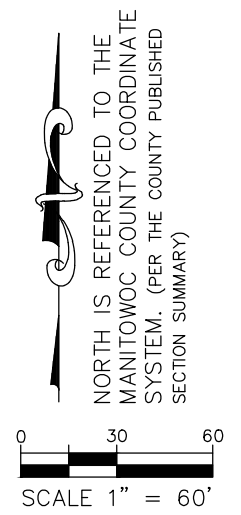
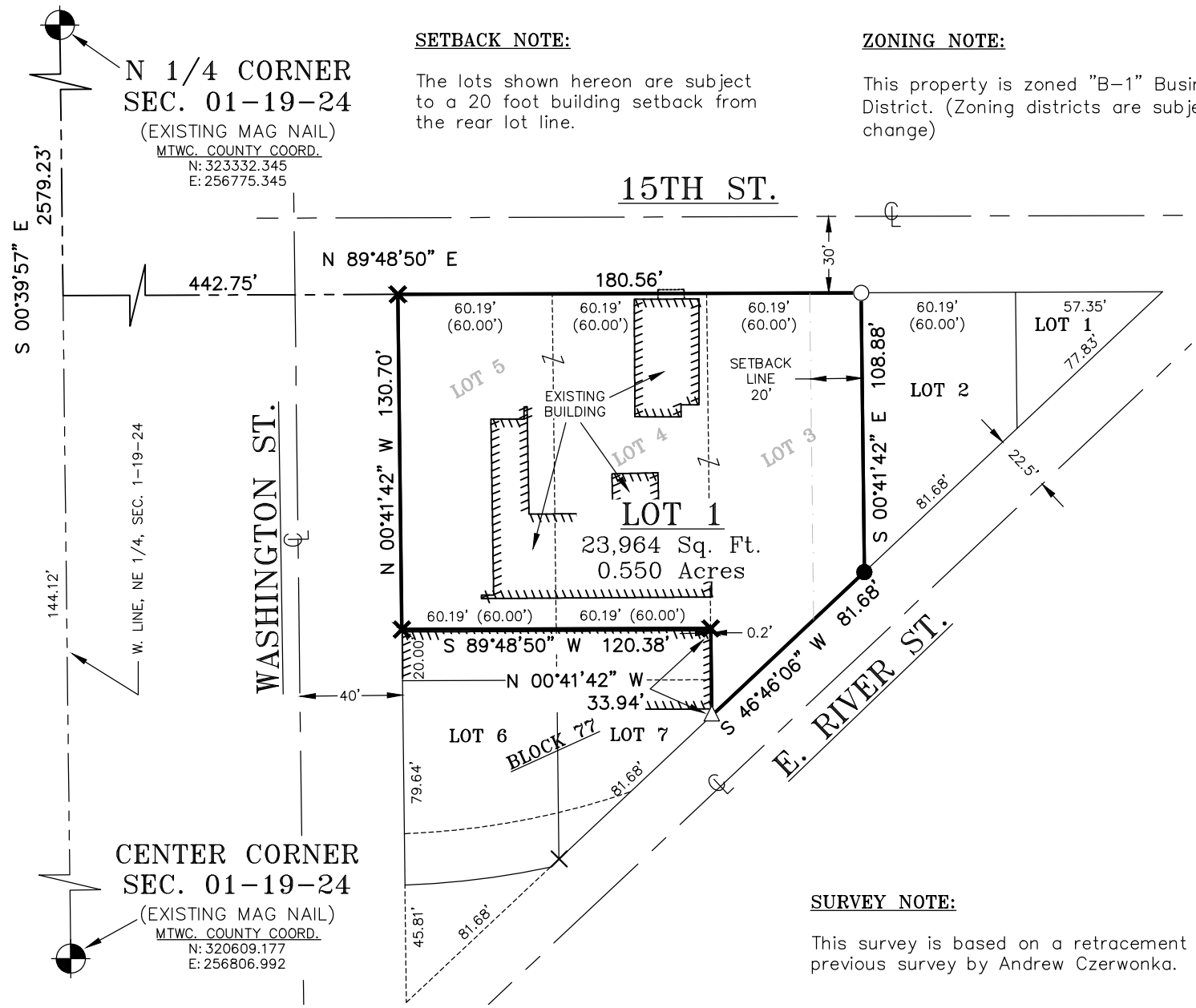
SHEET

FIGURE 1

CERTIFIED SURVEY MAP

LOTS 4 AND 5 EXCEPTING THEREFROM THE SOUTH 20 FEET AND ALL OF LOT 3 OF BLOCK 77 OF THE ORIGINAL PLAT, ALL LOCATED IN GOVERNMENT LOT 4, SECTION 1, TOWN 19 NORTH, RANGE 24 EAST, CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

Corner Point
 A DIVISION OF ACE BUILDING SERVICE
 3510 S. 26th Street
 Manitowoc, WI 54220
 Ph. 920.682.6105



TOTAL AREA:
 23,964 SQ. FT.
 0.550 ACRES

LEGEND

- = 3/4" x 18" IRON REBAR SET WEIGHING 1.13 LBS/FT
- △ = MAG NAIL SET
- = EXISTING 1" IRON PIPE
- ✕ = CHISELED "X" SET
- ✕ = EXISTING CHISELED "X"
- (000) = "RECORDED AS" DIMENSIONS

SURVEY NOTE:
 This survey is based on a retracement of a previous survey by Andrew Czerwonka.

CERTIFIED SURVEY MAP

LOTS 4 AND 5 EXCEPTING THEREFROM THE SOUTH 20 FEET AND ALL OF LOT 3 OF BLOCK 77 OF THE ORIGINAL PLAT, ALL LOCATED IN GOVERNMENT LOT 4, SECTION 1, TOWN 19 NORTH, RANGE 24 EAST, CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

SURVEYORS CERTIFICATE:

I, Jeffrey A. DeZeeuw, Professional Land Surveyor with Corner Point, do hereby certify that I have surveyed and mapped the following described parcel:

Lots Four (4) and Five (5) excepting therefrom the south 20 feet and all of Lot Three (3) of Block Seventy-seven (77) of the Original Plat, all located in Government Lot 4 of Section 1, Town 19 North, Range 24 East, City of Two Rivers, Manitowoc County, Wisconsin, described as follows:

Commencing at the N 1/4 Corner of said Section 1; Thence S 00°39'57"E, 2579.23 feet coincident with the west line of the NE 1/4 of said Section; Thence N 89°48'50" E, 442.75 feet to northwest corner of said Block 77, being the point of beginning; Thence continuing N 89°48'50" E, 180.56 feet coincident with the north line of said Block 77; Thence S 00°41'42" E, 108.88 feet coincident with the east line of said Lot 3; Thence S 46°46'06" W, 81.68 feet coincident with the southerly line of said Block 77; Thence N 00°41'42" W, 33.94 feet coincident with the west line of said Lot 3; Thence S 89°48'50" W, 120.38 feet; Thence N 00°41'42" W, 130.70 feet coincident with the west line of said Block 77 to the point of beginning.

Said parcel contains 23,9645 Square Feet (0.550 Acres) of land.

That I have made such survey, land division and map at the direction of Thomas Christensen.

I further certify that the map hereon is a correct representation of the exterior boundaries of the lands surveyed and the division thereof. Also that I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and Section 12.07 of the Manitowoc County Subdivision Regulations.

Dated_____

Jeffrey A. DeZeeuw
Professional Land Surveyor, S-2294

OWNER'S CERTIFICATE

As owners we hereby certify that we caused the land described on this map to be surveyed, mapped, divided and dedicated as represented on this map.

Dated_____

Thomas Christensen

CITY OF TWO RIVERS APPROVAL STAMP





LAND DEVELOPMENT APPLICATION

APPLICANT Quasius Construction TELEPHONE 9206278056

MAILING ADDRESS 1202A North 8th Street Sheboygan Wisconsin 53082
(Street) (City) (State) (Zip)

PROPERTY OWNER De Pere Petroleum LLC TELEPHONE (920) 457-8950

MAILING ADDRESS 916 Mulberry Lane Kohler Wisconsin 53044
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Conditional Use
- Site/Architectural Plan Approval
- Annexation Request
- Subdivision Plat or CSM Review
- Variance/Board of Appeals
- Zoning District Change
- Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 2205 Forest Ave, Two Rivers, WI 54241 TYPE OF STRUCTURE Commercial Store

PRESENT ZONING B2-Business District REQUESTED ZONING B2-Business District

PROPOSED LAND USE Gas Station

PARCEL # 05310600109101 ACREAGE 0.57

LEGAL DESCRIPTION FERD BOHTE'S ADD ALL EXC N 35' OF LOT 9 & ALL OF LOTS 10 & 11 BLK 1

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed [Signature] OWNER AGENT Date 8/5/2024
(Property Owner)

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

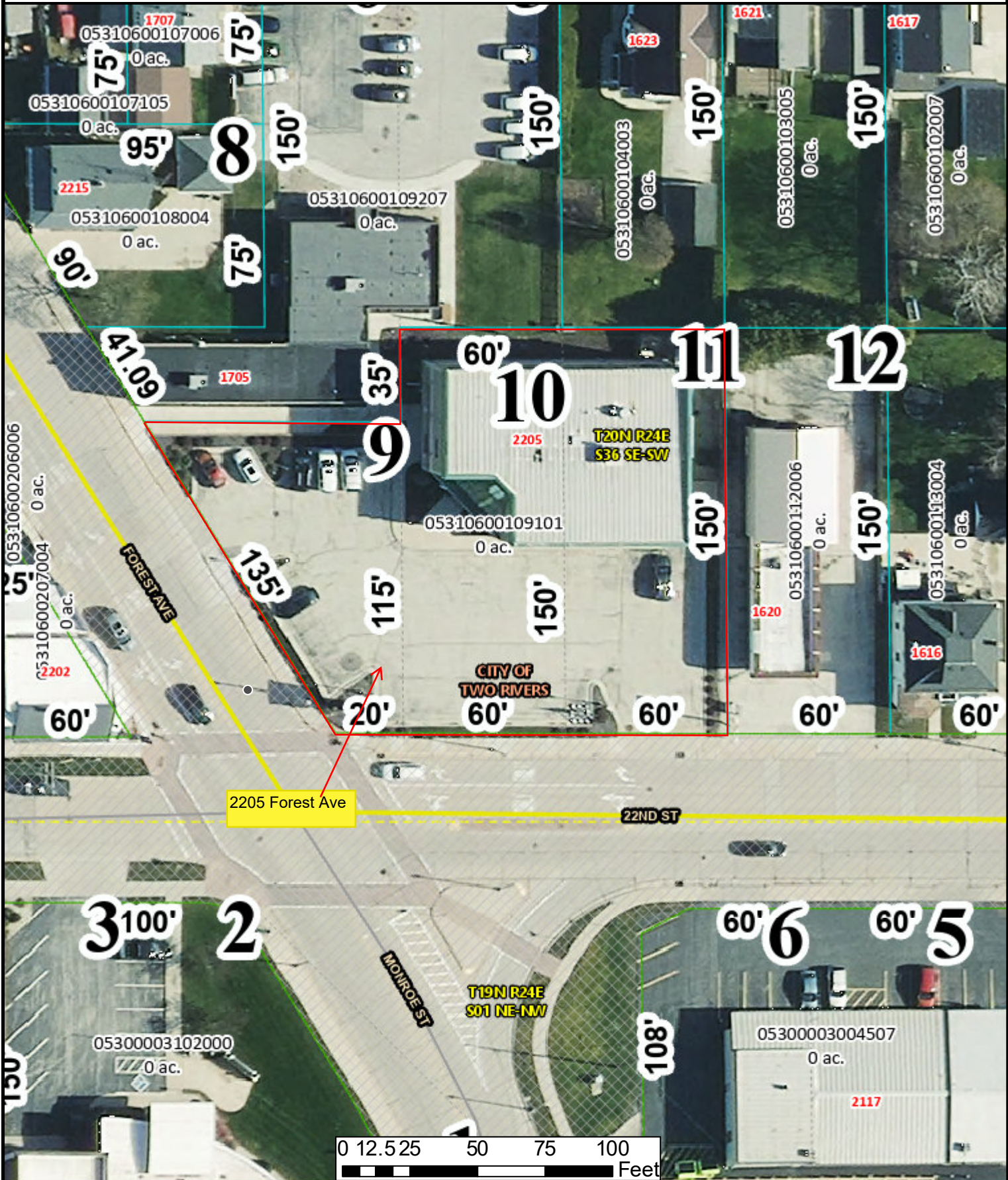
Schedule

- Application Submittal Date _____
- Date Fee(s) Paid _____
- Plan(s) Submittal Date _____
- Plan Comm Appearance _____

\$ _____ TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____

Manitowoc County Parcel Viewer

Section 3, Item E.



2205 Forest Ave

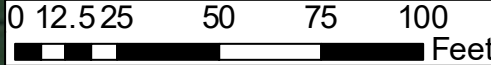
22ND ST

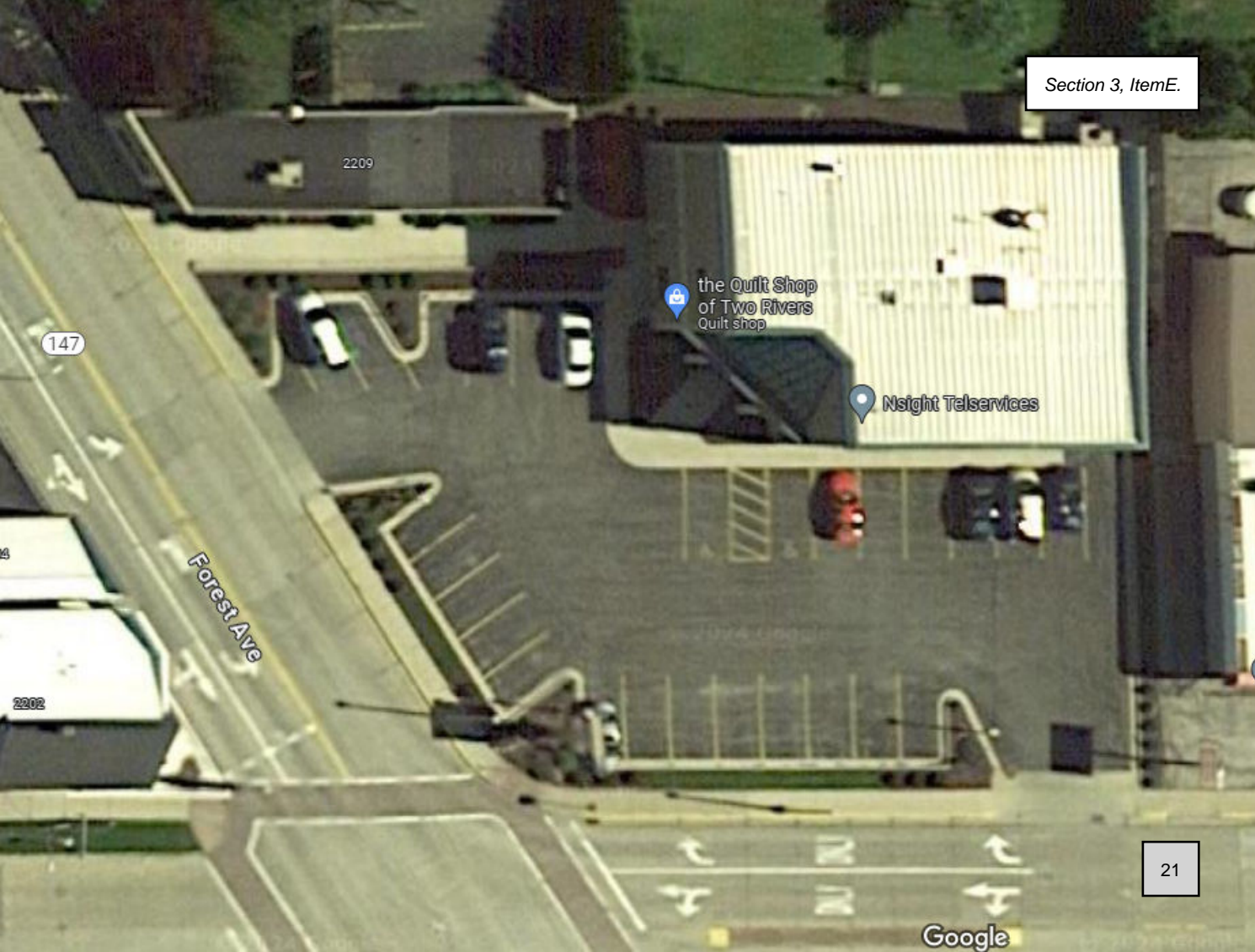
MONROE ST

CITY OF TWO RIVERS

T20N R24E S36 SE-SW

T19N R24E S01 NE-NW





2209

147

Forest Ave



the Quilt Shop
of Two Rivers
Quilt shop



Nsight Telservices

2202

CONDITIONAL USE
PERMIT
City of Two Rivers

Document Number

Permit No. 7-2-2024

Before the City Council of the City of Two Rivers, Manitowoc County, Wisconsin, regarding the premises at 2205 Forest Ave in the City of Two Rivers, Manitowoc County, State of Wisconsin, further described as:

FERD BOHTE'S ADD ALL EXC N 35` OF LOT 9 & ALL OF LOTS 10 & 11 BLK 1

Inspections Department
City of Two Rivers
PO Box 87
Two Rivers, WI 54241-0087

Parcel ID Number: 053-106-001-091.01

Zoning Classification of the Premises is: B-2 Business District/Conditional Use for a Gas Station including a Convenience Store.
Mailing Address of the Premises Operator: 450 Security Boulevard, Green Bay WI 54313

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statute, state that the premises may not be used for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the City Council of the City of Two Rivers having determined that by reason of the nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the operation of a gas station including a convenience store.

Permitted by action of the City Council of the City of Two Rivers on September 2, 2024.
Original filed in the office of the City Clerk of the City of Two Rivers, Wisconsin

The Conditions of this Permit are:

1. This Permit shall become effective upon the execution and recording by the Owner of the Premises as acceptance hereof.
2. This Permit is subject to the conditions herein and is subject to amendment and termination in accordance with the provisions of the Zoning Code of this Municipality.
3. The operation of the use permitted shall be in strict conformity to the approved conditions identified with this Petition for this Permit and such plans are incorporated herein by reference as if set forth in detail herein.
4. Any substantial change to the use or site as the conditions permitted by the issuance of this Permit would require approval by the Plan Commission and City Council as an amendment to this Permit.
5. This Permit is specifically issued to Lakefield Telephone CO LLC and shall lapse upon a change in ownership of the business, tenancy of the subject premises or if the land uses ceases operation for more than 12 months. This permit may be reissued only after a proper application is made to the City as if this permit were being newly issued.
6. Conditions of Operations:
 - a. Hours of operation: 24 hours per day, seven days per week.
 - b. Any outdoor display of merchandise shall be limited to on the fuel islands beneath the canopy not exceeding three feet in height; and, immediately adjacent to the front wall of the building not exceeding the height of the window base.
 - c. A separate Conditional Use Permit shall be required for any land use which would include a drive-thru component.
 - d. Light fixtures under the canopy shall not glare into public streets and shall not glare into adjacent properties. Diffusers shall be installed as necessary to minimize glare of canopy lights.
 - e. Signage in accord with the City's Sign Code.
 - f. All landscaping plantings shall be maintained and kept in good health or be replaced; and all landscaped areas shall be maintained in such a manner to be free of weeds.

SIGNATURES OF PROPERTY OWNER(S) AND PERMITEE(S):

As Owner(s) of the Subject Property, I/we accept and understand the above-described conditions.

Printed Name: _____

Printed Name: _____

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this _____ day of _____, 2024, the above named _____ and to be the person(s) who executed the foregoing instrument and acknowledge the same.

Amanda Baryenbruch
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

SIGNATURES - CITY OF TWO RIVERS

Greg Buckley, City Manager

Amanda Baryenbruch, City Clerk

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally, came before me this _____ day of _____ 2024, the above-named Greg Buckley and Amanda Baryenbruch known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Printed Name: _____
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

THIS INSTRUMENT WAS DRAFTED BY:
Adam Taylor, Zoning Administrator

SITE NARRATIVE – Architectural Review Application

June 24th, 2024

PROJECT NAME AND ADDRESS:

Cellcom Gas Station Addition/Remodel, 2205 Forest Ave, Two Rivers, WI 54241

ESTIMATED PROJECT COST: \$1,500,000 (Total Project)

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

- The parcel is defined as tax parcel 05310600109101
- It is defined as FERD BOHTE'S ADD ALL EXC N 35' OF LOT 9 & ALL OF LOTS 10 & 11 BLK 1
- The entire lot area 0.57 acres

ZONING CLASSIFICATION/ZONING REQUIREMENTS:

B2-Business District

EXISTING SITE CONDITIONS/LAND USE:

The site was formerly a two-story retail building with small shops located in the building. The shops are currently vacant, but the Cellcom tenant remains active in the building. The proposed site plan parking lot layout shows 18 new spots. There will be a widened 35' entrance/exit apron on 22nd Street and a 26' entrance/exit apron on Forest Ave.

PROPOSED LAND USE/LOT COVERAGE SITE DATA

- Property Size: .57 Acres
- Existing Building Footprint: 5314 sq. ft
- Proposed Restaurant Seating Area: 377 sq ft
- Proposed C-Store area: 1839 sq ft
- It is proposed to remodel the first story to turn into a C-Store, Restaurant and Petroleum fueling station.

SITE SELECTION

- This property was selected for the development of this gas station/convenience store/restaurant location due to its appealing location along 22nd Street corridor.
- This location aligns well with the City of Two Rivers Comprehensive plan for development.
- Constructing a Gas Station & Convenience Store/Small Restaurant in this area would be addressing a need for the residents of the 22nd Street Corridor.
- This new development would serve as a quick, easily accessible location for residents of the nearby residential communities to stop and grab food, drinks, and other convenience items while fueling their vehicles.

OFFICE: 920-457-5585

quasius.com

LANDSCAPE REQUIREMENTS

- Landscaping plan will meet the City's Landscaping requirements.

PERFORMANCE STANDARDS/POTENTIAL NUISANCES:

- All performance standards to comply with the City of Two Rivers Ordinances
- Noise and odors because of the filling stations will be minimal and should not be considered a nuisance concern for the neighborhood

OUTDOOR STORAGE:

- Outdoor storage on this site will be limited to Firewood, LP Storage & and Ice Storage. There will not be any vending machines or dispensers located on the exterior of the building.
- Firewood display: A small firewood rack will be displayed on the exterior of the building. Customers are to purchase firewood at the register and pick it up outside.
- LP & Ice Storage: A locked LP Storage cage & Ice box will be located outside of the building. Customers are to purchase LP & Ice products inside the convenience store and are to be assisted by a store employee to get access to the products.
- Air/Vacuum equipment will not be present on this site

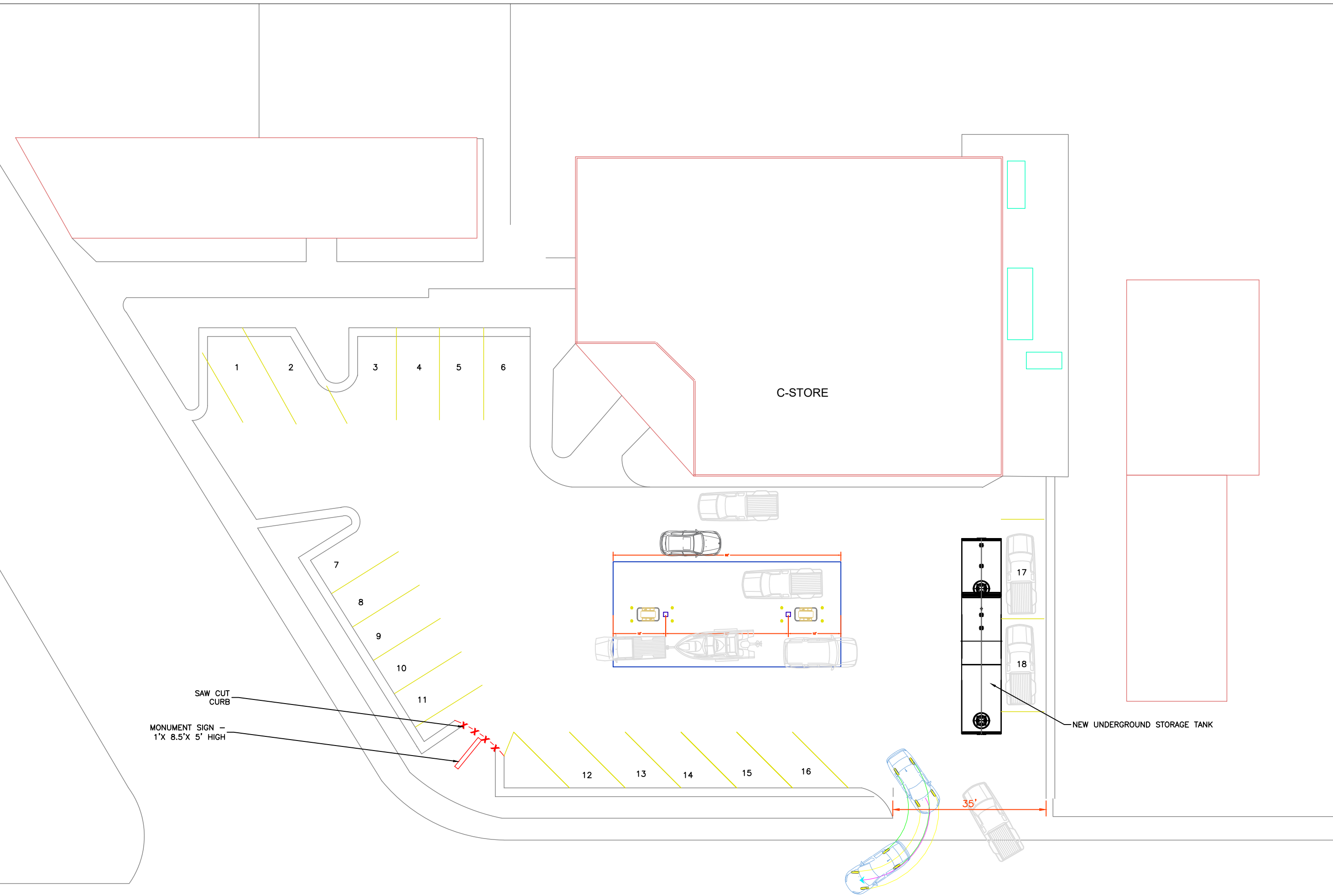
SITE LIGHTING:

- Only additional light to be on the canopy over the fuel stations

ARCHITECTURE:

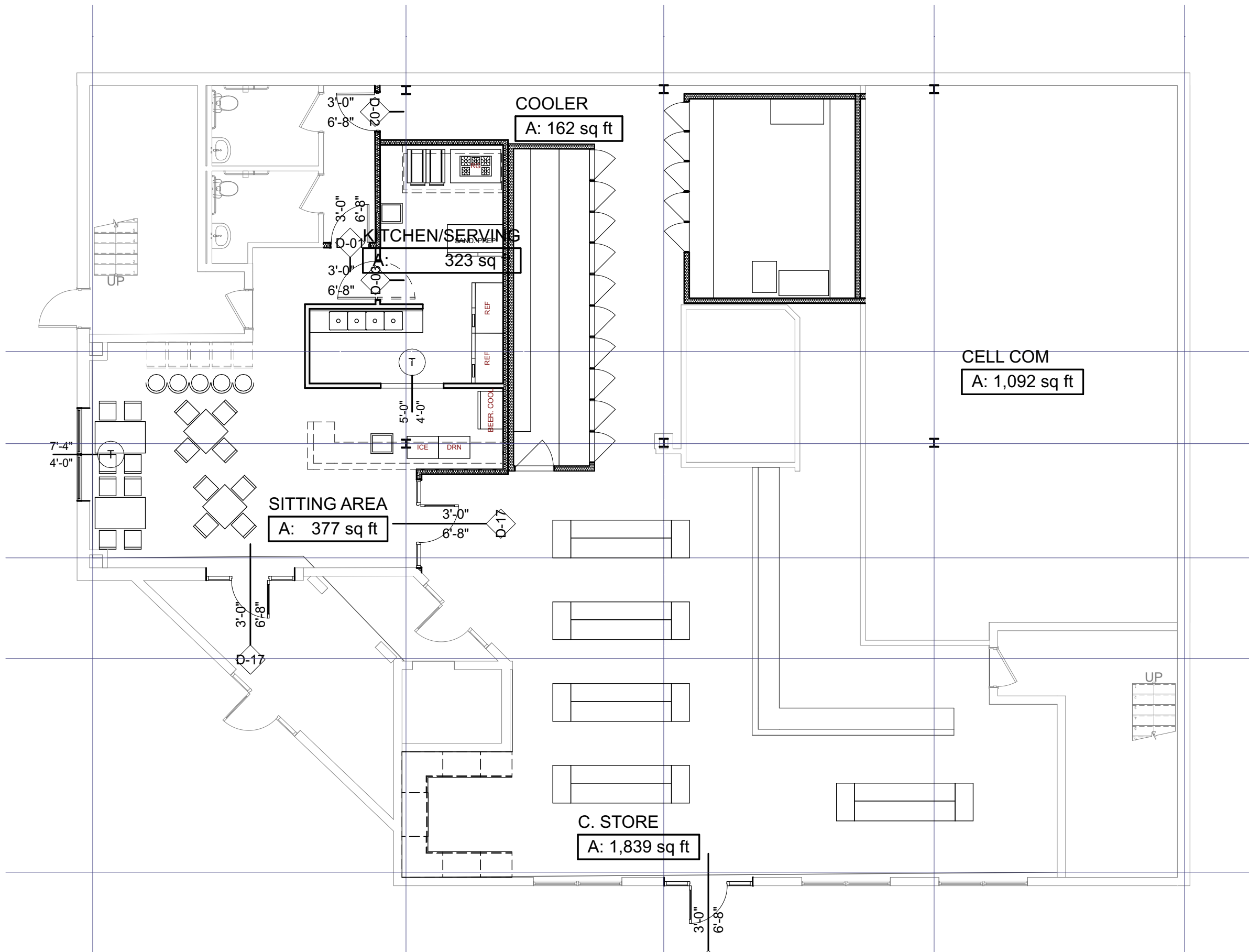
- The exterior of the building will not change besides future signage that will be coordinated by the owner
- The fuel stations will be placed per the plans
- The canopy to be placed per the plans
- Curbs to be cut to widen the entry and exits of lot
- Parking stalls to be reorganized but will still maintain 18 spots in the lot (Not including the 4 spots at the fuel island)

Number of Customers Expected	500 customers a day
Number of Employees	10 to 15
Building Size	5314 sqft
Hours of Operation	5AM to 12PM
Air Emissions/Odors	Restaurant will have exhaust but nothing foul smelling
Light Emissions	See Attached Documents
Noise/Vibration	No change from current conditions
Fire/EMS/Police	Should be readily and easily accessible to any emergency services.
Parking	18 parking spots with 4 customer parking stalls at fuel canopy
Pedestrian Safety	No change to pedestrian traffic routes
Traffic Impacts	35' apron on Southeast side of lot to maintain traffic flow when fuel trucks are site filling tanks. Shown on prints
Electric/Gas	Existing Service
Sanitary Sewer	Existing Service
Stormwater	No change to stormwater systems
Water Service	Existing Service
Job Creation	10 to 15 jobs
Property Values	An additional 1.5 million will be invested in that location
School Capacity	N/A
Tax Base Growth	will grow with the additional investment
Blight Elimination	All space to be used appropriately
Indoor/Outdoor Use	Indoor Restaurant proposed
View Obstruction	See Attached Plans

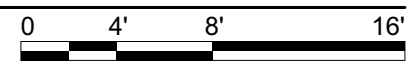


2205 Forest Ave, Two Rivers

Drawn By :
Project number :
Date: 06/06/2024
Revisions :



1 First Floor Plan
 Scale: 1/8" = 1'-0"



OPTION # 1

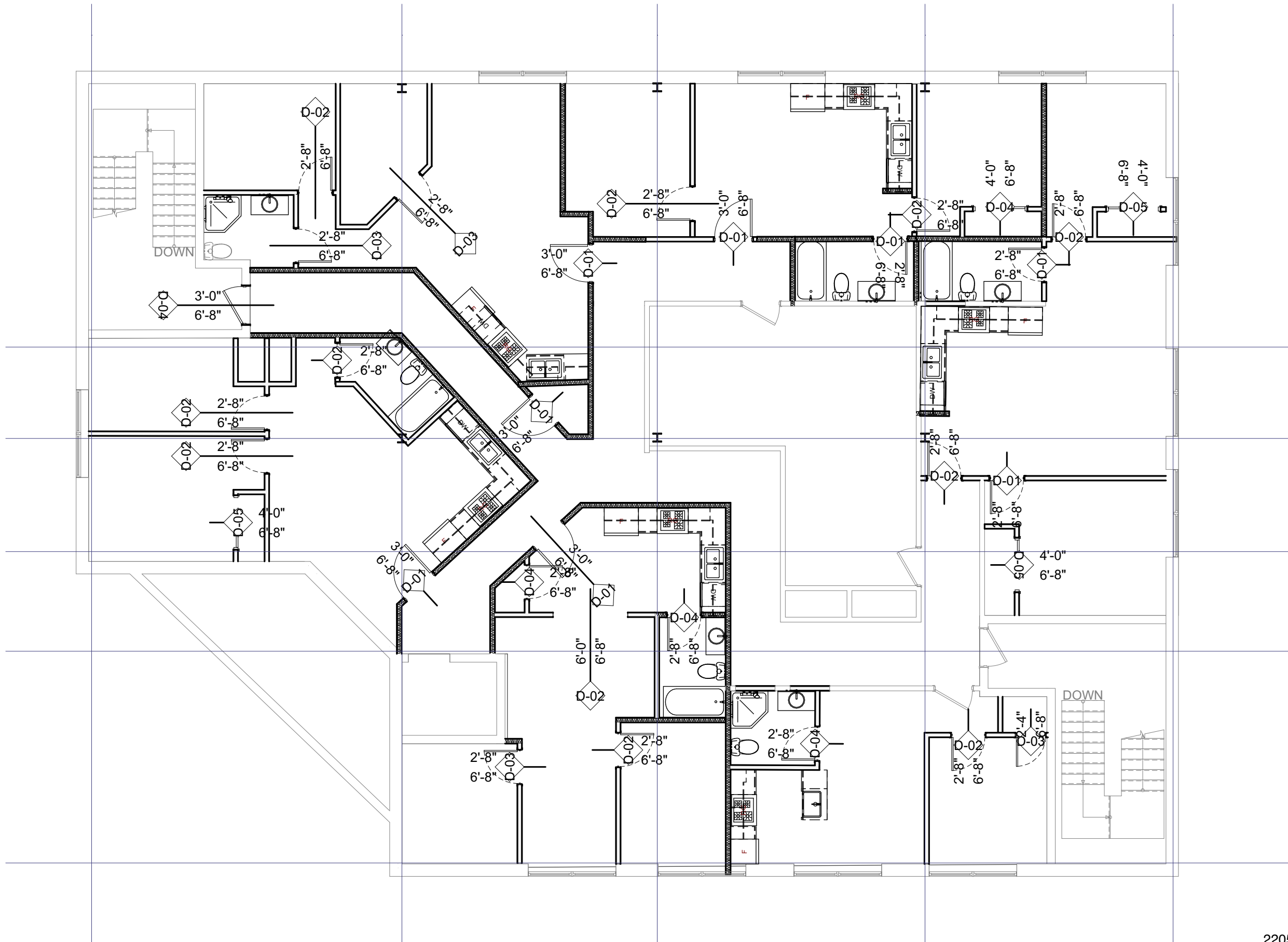
ASPIRE
 ARCHITECTURE
 & DESIGN

ALTERATIONS TO: for:
JMART TWO RIVERS

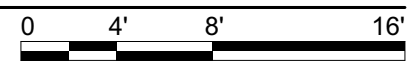
2205 Forest Ave Two Rivers WI 54241

ASPIRE ARCHITECTURE & DESIGN, LLC
 1416 N. 5th St. Sheboygan, WI. 53081
 920-457-4884
 scott@aspirearchitects.com
 www.aspirearchitects.com

issue 7.30.24
 rev. #Date of
 Revision 16-004 28
 A 2



1 Second Floor Plan
 Scale: 1/8" = 1'-0"



OPTION # 1

ASPIRE
 ARCHITECTURE
 & DESIGN

ALTERATIONS TO: for:
JMART TWO RIVERS

2205 Forest Ave Two Rivers WI 54241

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issue 7.30.24
 rev. #Date of
 Revision 16-004 29
 ^ ^

July 29, 2024

City Building Inspections Office
1717 E Park Street
Two Rivers WI 54241

RE: Lucky Paws Pet Boutique
Building Expansion @ 3310 45th Street

To Whom It May Concern:

The proposed building expansion will be 4,000 square feet. Exterior finishes will match the existing building, including asphalt shingle roofing, vinyl siding wall cladding, and aluminum fascia, soffit, gutter, and downspouts. All colors of exterior finishes to match existing.

The west, north, and east sides of the expansion will be lawn areas. The south side of the expansion will be landscaped with shrubs and perennial plants and stone mulch to match that of existing. The project results in a net add of 3,838 square feet of impervious area. The rainwater drainage pattern of the site will not change. Building downspouts will drain to grade at the north and west sides of the expansion. No additional parking will be added to the site. The following calculation was used to determine adequacy of off-street parking spaces per Sec. 10-1-13 "Off-street parking and loading" from the City of Two Rivers Municipal Code:

Total building area (including expansion): 8,428 s.f.
Less area excluded from usable floor area per Sec. 10-1-13-F Definitions: 1,450 s.f.
Total usable floor area: 8,428 – 1,450 = 6,978 s.f.
1 for every 300 square feet of usable floor space per table
 $6,978 / 300 = 23.26$, round up to 24
Per site plan, 25 parking spaces are provided

(2) new LED wall-pack lights with photo sensors will be mounted on the exterior of the building located at the west and east exterior walls of the expansion.

Construction will begin early September and be completed during winter.



LAND DEVELOPMENT APPLICATION

APPLICANT A.C.E. BUILDING SERVICE, INC. TELEPHONE 920-682-6105

MAILING ADDRESS 3510 S. 26TH STREET, MANITOWOC, WI, 54220
(Street) (City) (State) (Zip)

PROPERTY OWNER LUCKY PAWS PET BOUTIQUE TELEPHONE 920-553-2200

MAILING ADDRESS 3310 45TH STREET, TWO RIVERS, WI, 54241
(Street) (City) (State) (Zip)

REQUEST FOR:
 Comprehensive Plan Amendment Conditional Use
 Site/Architectural Plan Approval Annexation Request
 Subdivision Plat or CSM Review Variance/Board of Appeals
 Zoning District Change Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 3310 45TH STREET TYPE OF STRUCTURE WOOD FRAMED

PRESENT ZONING B-2 BUSINESS REQUESTED ZONING N/A

PROPOSED LAND USE NO CHANGE IN LAND USE REQUESTED

PARCEL # _____ ACREAGE _____
LEGAL DESCRIPTION TRACT 1 OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 14, PAGE 99 BEING LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 26, TOWN 20 NORTH, RANGE 24 EAST, CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed [Signature] Date 7/29/2024
(Property Owner)

<u>Fee Required</u>	<u>Schedule</u>
\$ 350 Comprehensive Plan Amendment	Application Submittal Date _____
\$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)	Date Fee(s) Paid _____
\$ t/b/d CSM Review (\$10 lot/\$30 min)	Plan(s) Submittal Date _____
Subdivision Plat (fee to be determined)	Plan Comm Appearance _____
\$ 350 Zoning District Change	
\$ 350 Conditional Use	
\$ t/b/d Annexation Request (State Processing Fees Apply)	
\$ 350 Variance/Board of Appeals	
\$ t/b/d Other	

\$ 350 TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____



LAND DEVELOPMENT APPLICATION

APPLICANT A.C.E. BUILDING SERVICE, INC. TELEPHONE 920-682-6105

MAILING ADDRESS 3510 S. 26TH STREET, MANITOWOC, WI, 54220
(Street) (City) (State) (Zip)

PROPERTY OWNER LUCKY PAWS PET BOUTIQUE TELEPHONE 920-553-2200

MAILING ADDRESS 3310 45TH STREET, TWO RIVERS, WI, 54241
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 3310 45TH STREET TYPE OF STRUCTURE WOOD FRAMED

PRESENT ZONING B-2 BUSINESS REQUESTED ZONING N/A

PROPOSED LAND USE NO CHANGE IN LAND USE REQUESTED

PARCEL # _____ ACREAGE _____

LEGAL DESCRIPTION TRACT 1 OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 14, PAGE 99 BEING LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 26, TOWN 20 NORTH, RANGE 24 EAST, CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

NOTE: Attach a one-page written description of your proposal or request.

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Signed [Signature] Date 7/29/2024
(Property Owner)

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- \$ 350 Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

Schedule

- Application Submittal Date _____
- Date Fee(s) Paid _____
- Plan(s) Submittal Date _____
- Plan Comm Appearance _____

\$ \$200 TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____



CONDITIONAL USE PERMIT City of Two Rivers

Section 3, Item F.

DOC# 1240863

Permit No. 2021-04

STATE OF WI - MTWC CO KRISTI TUESBURG REG/DEEDS RECEIVED FOR RECORD 08/31/2021 3:16:26 PM

Before the City Council of the City of Two Rivers, Manitowoc County, Wisconsin, regarding the premises at 3310 - 45th Street in the City of Two Rivers, Manitowoc County, State of Wisconsin, further described as:

Tract 1 of Certified Survey Map located in the South 1/2 of the Northwest 1/4 of Section 26, Town 20 North, Range 24 East in the Town of Two Rivers, now in the City of Two Rivers, recorded in Volume 14, Page 99 of Certified Survey Maps, Manitowoc County, Wisconsin.

2chg

Inspections Department City of Two Rivers PO Box 87 Two Rivers, WI 54241-0087

Parcel ID Number: 053-226-203-001.07

Zoning Classification of the Premises is: B-2 Business District/Conditional Use to operate a commercial kennel. Mailing Address of the Premises is: 3310 - 45th Street, Two Rivers, WI 54241

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statute, state that the premises may not be used for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the City Council of the City of Two Rivers having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the operation of a commercial kennel.

Permitted by action of the City Council of the City of Two Rivers on August 2, 2021. Original filed in the office of the City Clerk of the City of Two Rivers, Wisconsin

The Conditions of this Permit are:

- 1. This Permit shall become effective upon the execution and recording by the Owner of the Premises as acceptance hereof.
2. This Permit shall be void unless proper application, pursuant to the Building and Zoning Codes of this Municipality, for appropriate Building and Zoning Use Permits in conformity to this Permit, is made within twelve (12) months of the date hereof.
3. This Permit is subject to amendment and termination in accordance with the provisions of the Zoning Code of this Municipality.
4. Construction and operation of the use permitted shall be in strict conformity to the approved Site and Architectural Plans filed in connection with the Petition for this Permit and such plans are incorporated herein by reference as if set forth in detail herein.
5. Any substantial change or expansion of the facilities permitted by the initial issuance of this Permit would require approval by the Plan Commission and City Council as an amendment to this Permit.
6. This Permit is specifically issued to Stephanie Mueller d/b/a Lucky Paws Pet Boutique and shall lapse upon a change in ownership or tenancy of the subject premises: or if the land uses ceases operation for more than 12 months.
7. Conditions of Operations:
a. Hours of Operation:
1. Boarding: 24 hours per day, Sunday - Saturday, not to exceed 15 dogs at any given time
2. Daycare: 8AM - 6PM, Monday - Saturday, not to exceed 15 dogs at any given time
3. Grooming salon and retail: 8AM -6PM, Monday - Saturday
4. Outdoor operations: 7AM - 8PM, Sunday - Saturday, dogs in the outdoor run shall be supervised at all times
b. The yard shall be maintained in a clean and odor free condition
c. Signage in accord with the City's Sign Code
d. Inspection by the TRFD prior to opening for business
e. All landscaping plantings shall be maintained and kept in good health or be replaced; and, all landscaped areas shall be maintained in such a manner to be free of weeds
f. The City reserves the right to require privacy fencing based on future development in the area or on a complaint basis
g. Fencing shall be maintained in good condition



SIGNATURES OF PROPERTY OWNER AND PERMITEE:

Section 3, Item F.

As Owner of the Subject Property, I accept and understand the above described conditions.

Steph Mueller

Printed Name: Lucky Paws Real Estate LLC, Stephanie Mueller (member)

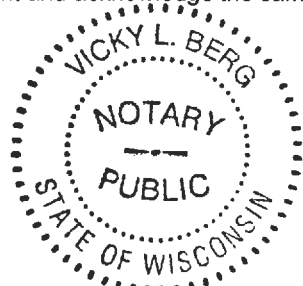
STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this 30th day of August, 2021, the above named Stephanie Mueller to me known to be the person who executed the foregoing instrument and acknowledge the same.

Vicky L Berg

Printed Name: Vicky L. Berg

Notary Public, Manitowoc County, Wisconsin
My commission expires: 05/25/2025



As Permittee of the Subject Property, I accept and understand the above described conditions:

Steph Mueller

Printed Name: Stephanie Mueller

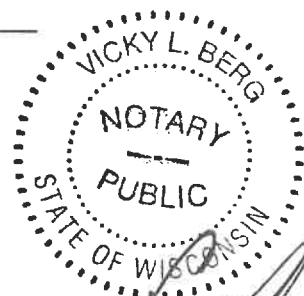
STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this 30th day of August, 2021, the above named Stephanie Mueller known to be the person who executed the foregoing instrument and acknowledge the same.

Vicky L Berg

Printed Name: Vicky L. Berg

Notary Public, Manitowoc County, Wisconsin
My commission expires: 05/08/2025



SIGNATURES - CITY OF TWO RIVERS

Jamie Jackson
Jamie Jackson, City Clerk

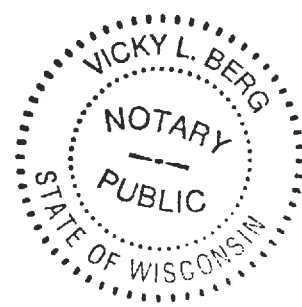
STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this 2nd day of August, 2021, the above named Jamie Jackson and Curt Andrews known to be the persons who executed the foregoing instrument and acknowledge the same.

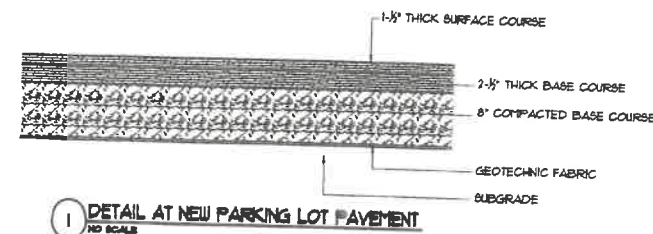
Vicky L. Berg
Vicky L. Berg

Notary Public, Manitowoc County, Wisconsin
My commission expires: 05/08/2025

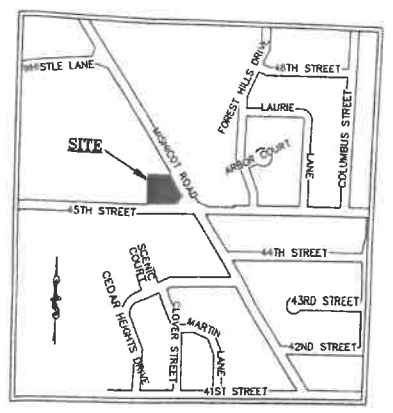
THIS INSTRUMENT WAS DRAFTED BY:
Vicky Berg, Zoning Administrator



Curt Andrews
Curt Andrews, Council President



SITE PLAN FOR LUCKY PAWS 3310 - 45TH STREET
PC REVIEW 07/12/2021



LOCATION SKETCH
SCALE 1" = 800'



LEGEND

- = 3/4" x 18" IRON ROD SET WEIGHING 1.13 LBS/FT
- = EXISTING IRON PIPE/ROD
- = EXISTING UTILITY POLE
- = EXISTING UTILITY POLE W/GUY
- = EXISTING LIGHT POLE
- = EXISTING TRANSFORMER
- ⊙ = EXISTING ELECTRIC METER
- ⊙ = EXISTING SATELLITE DISH
- ⊙ = EXISTING AIR-CONDITIONING UNIT
- ⊙ = EXISTING FIRE HYDRANT
- ⊙ = EXISTING WATER VALVE MANHOLE
- ⊙ = EXISTING STORM MANHOLE
- ⊙ = EXISTING STORM INLET
- ⊙ = EXISTING SANITARY MANHOLE
- ⊙ = EXISTING TELEPHONE PEDESTAL
- ⊙ = EXISTING SIGN
- ⊙ = PROPOSED ELEVATIONS
- ⊙ = EXISTING TREE

SITE NOTES:

Erosion control to be in accordance with the Wisconsin Construction Site Best Management Practice Handbook. All off-site sediment deposition occurring as a result of construction activities shall be cleaned up at the end of each work day and all off-site sediment deposition occurring as a result of a storm shall be cleaned up at the end of the next work day. Installation of a temporary driveway with tracking pad to 45th Street may be necessary to protect the existing parking area from sediment tracking (to be determined by contractor or owner).

The location of underground structures or facilities shown on the plans are based on available records at the time of preparation and are not guaranteed to be complete or correct. The Contractor is responsible for contacting all utilities (Diggers Hotline) 72 hours prior to construction to determine the exact location of all facilities and to provide adequate protection during the course of the work.

SITE STATISTICS:

BUILDING AREA: 4,446 SQ. FT. (10.2%)
PAVED AREA: 10,755 SQ. FT. (24.7%)
GREEN AREA: 28,356 SQ. FT. (65.1%)
TOTAL AREA: 43,557 SQ. FT. (100%)
1.000 Ac.

ZONING:

B-2, BUSINESS DISTRICT

PARCEL ID NO.: 2262030017

ADDRESS: 3310 45TH STREET

PARKING REQUIREMENTS:

1 SPACE FOR EVERY 200 SQ. FT. OF USABLE FLOOR SPACE.
REQUIRED:
4,446 SQ. FT. OF FLOOR SPACE / 200 = 22.23 PARKING SPACES
PROVIDED:
21 REGULAR PARKING SPACES
4 HANDICAP PARKING SPACES
25 TOTAL

LANDSCAPING:

LANDSCAPING PLAN TO BE PROVIDED BY OTHERS
DIVISION OF SURVEYING & LANDSCAPING

LIGHTING:

LIGHTING PLAN TO BE PROVIDED BY OTHERS.
SEE CORRESPONDENCE

BENCHMARKS:

31.12 - HYDRANT PUMPER NOZZLE NEAR NORTHEAST CORNER OF PARCEL (CITY DATUM)
28.27 - HYDRANT PUMPER NOZZLE NEAR SOUTHWEST CORNER OF PARCEL (CITY DATUM)

DESCRIPTION:

TRACT 1 OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 14, PAGE 99 BEING LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 26, TOWN 20 NORTH, RANGE 24 EAST, CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

INDEX TO DRAWINGS:

- C1.0 SITE PLAN - LOCATION SKETCH - NOTES - INDEX TO DRAWINGS
- A11 1ST FLOOR DEMOLITION PLAN - BASEMENT DEMOLITION PLAN - DETAILS
- A12 1ST FLOOR PLAN - DETAIL 6 - PLAN FOR ALTERNATE NO. 1
- A-21 ROOM SCHEDULE - DOOR SCHEDULE - WINDOW TYPES - GARMENT DETAILS
- A31 EXTERIOR ELEVATIONS
- A41 DETAILS
- A42 SECTIONS - DETAILS
- S11 FOUNDATION PLAN - DETAILS
- S12 ROOF FRAMING PLAN - TRUSS DATE - DETAILS
- P11 PLUMBING UNDERFLOOR PLAN - NOTES
- P12 PLUMBING ABOVE GROUND PLAN - SCHEDULES - DETAILS
- P31 PLUMBING ISOMETRICS FOR WATER AND SEWER
- H11 HVAC PLAN BASEMENT - NOTES - TABLE OF SYMBOLS
- H12 HVAC FIRST FLOOR PLAN - NOTES
- H31 HVAC SCHEDULES
- H41 HVAC DETAILS - SPECIFICATIONS
- E11 ELECTRIC DEMOLITION PLAN - BASEMENT PLAN - NOTES
- E12 ELECTRIC FIRST FLOOR PLAN - SCHEDULES

REVISIONS		
NO.	DATE	BY

STEINBRECHER & MENEAU, INC.
ENGINEERS & SURVEYORS
102 REVERE DRIVE
MANITOWOC, WI 54220-3147
PHONE 884-5583 FAX 884-5584

HOLY FAMILY MEMORIAL - LARSON CLINIC
3310 45TH STREET
TWO RIVERS, WI 54241
920-700-3900

ARCHITECT:
GENE MALONEY
834 N. 8TH ST.
MANITOWOC, WI 54220
920-684-8218

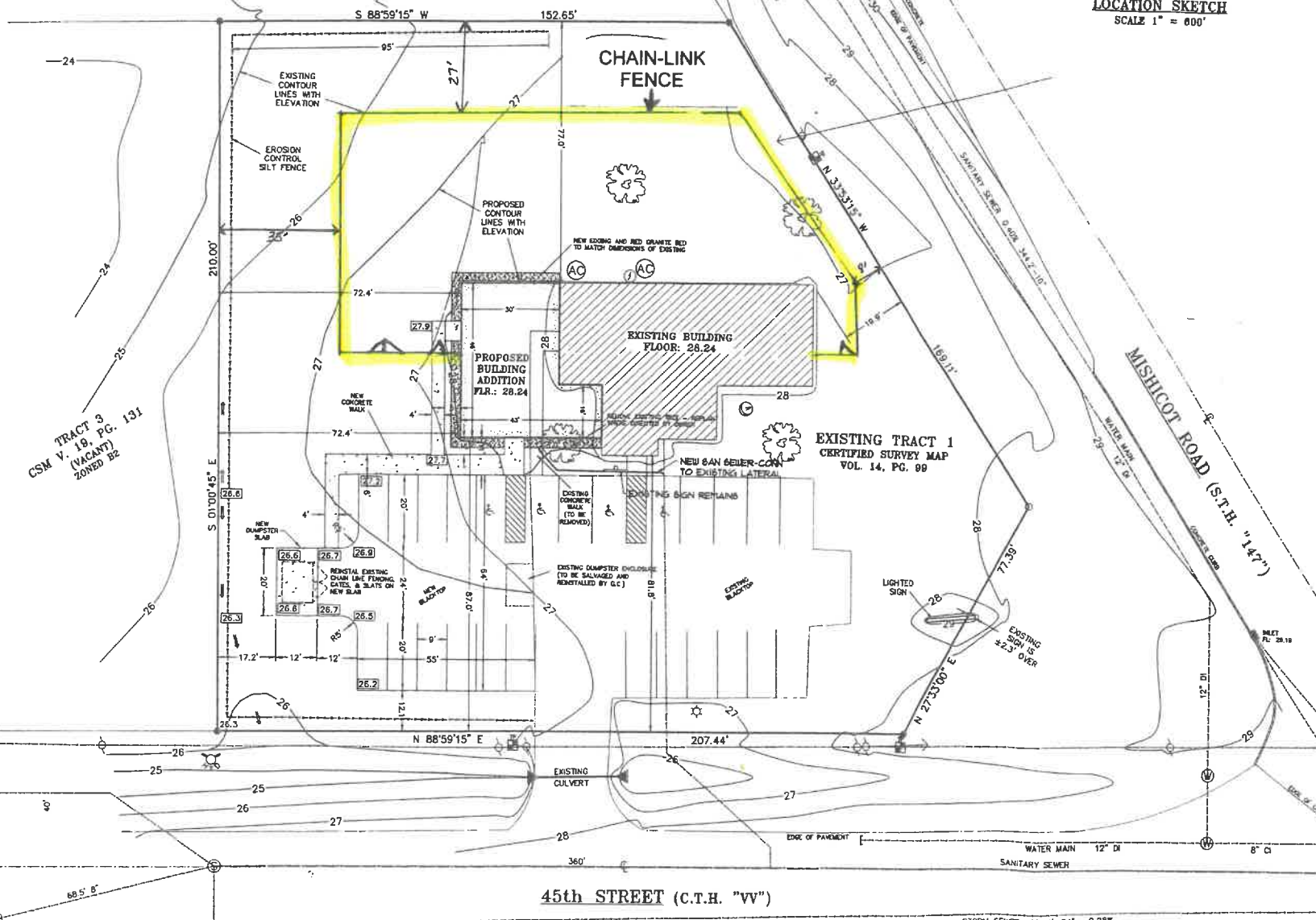
PROJECT NO.
28-2006
DATE
3-15-07

SHEET
C1.0

DATE: 3-5-07
DRAWN BY: JAD
APPROVED BY:
JOB NO.: 071555P
CAD FILE: DWG\CTY\TR071555P.dwg
SCALE: 1" = 20'
SHEET: 1 RECEIVED

TRACT 2-1
CSM V. 17, PG. 99
(HARMONY LIVING CENTER)
ZONED B2

TRACT 3
CSM V. 19, PG. 131
(VACANT)
ZONED B2



PLAN NOTES:

1. ALL PORTIONS OF THE SITE DISTURBED DURING CONSTRUCTION OF THE PROJECT THAT IS NOT OTHERWISE COVERED BY BUILDINGS, WALKS, OR PAVEMENTS SHALL BE RECONSTRUCTED TO BE FINISHED LAWN. SEE SPEC SECTION 072320.
2. ALL NEW CONCRETE WALKS SHALL BE 4" THICK WITH 6X6 #2 W/M AND JOINTS 5'-0" OC. NEW DUMPSTER SLAB SHALL BE 6" THICK W/ 6X6 #2 W/M AND BAIRED CONTROL JOINTS.

CODE DATA:

BUILDING AREA:
EXISTING 1ST FLOOR • 2906 SF
ADDITION 1ST FLOOR • 1588 SF
TOTAL 1ST FLOOR • 4494 SF
BASEMENT FLOOR • 748 SF

EXISTING BUILDING CONSTRUCTED IN 1954
UNDER PLAN APPROVAL 794-26-1063B
FOR DR. KARE LARSON

AREA ALLOWED TABLE 503 • 10,000 SF

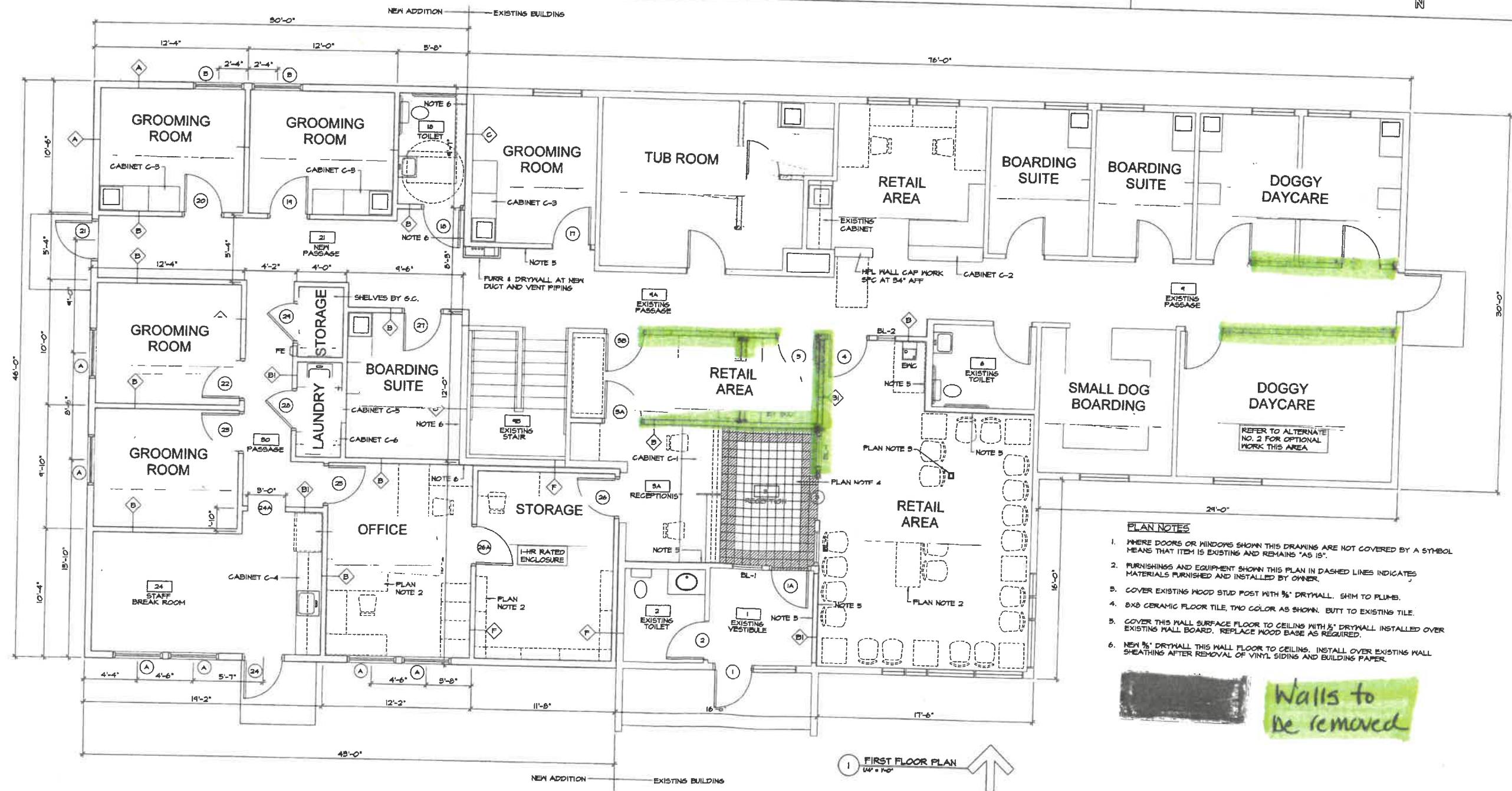
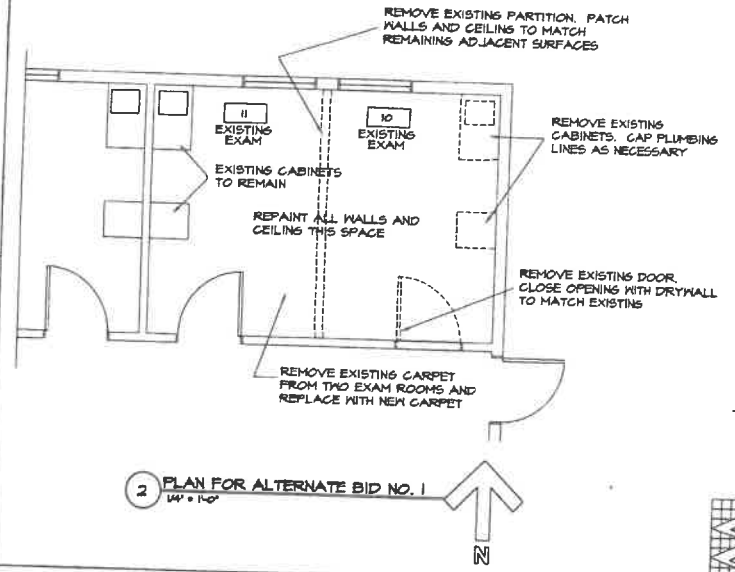
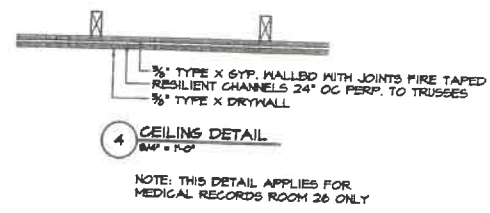
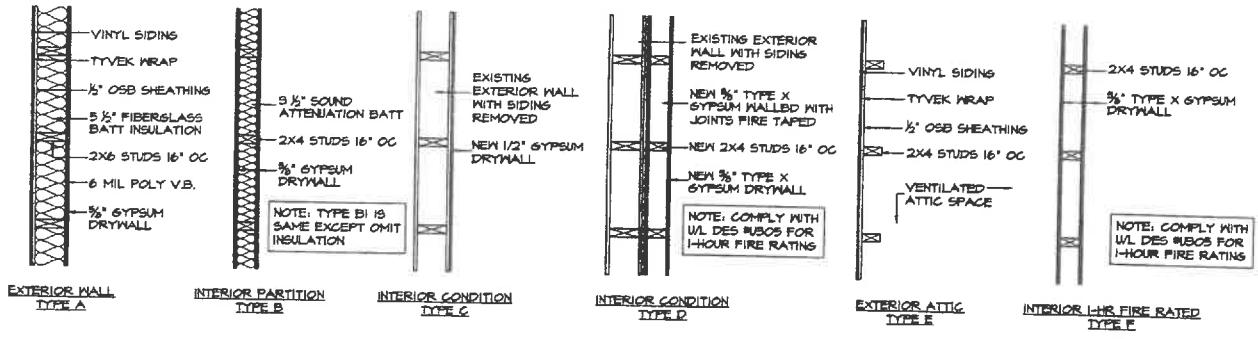
OCCUPANCY CLASS: BUSINESS
CLASS OF CONSTRUCTION: 5B
SPRINKLER SYSTEM: NONE



maloney associates, llc
architecture - planning
634 n. 8th st. manitowoc, wi 54220 920 684-9218

NEW ADDITION AND ALTERATIONS FOR
HOLY FAMILY MEMORIAL LARSON CLINIC
3310 45TH ST. - TWO RIVERS, WI

maloney associates, llc
architecture - planning
534 n. 8th st. monticello, wi 54220 920 684-9218



- PLAN NOTES**
- WHERE DOORS OR WINDOWS SHOWN THIS DRAWING ARE NOT COVERED BY A SYMBOL MEANS THAT ITEM IS EXISTING AND REMAINS "AS IS".
 - FURNISHINGS AND EQUIPMENT SHOWN THIS PLAN IN DASHED LINES INDICATES MATERIALS FURNISHED AND INSTALLED BY OWNER.
 - COVER EXISTING WOOD STUD POST WITH 5/8" DRYWALL. SHIM TO PLUMB.
 - 6X6 CERAMIC FLOOR TILE, TWO COLOR AS SHOWN. BUTT TO EXISTING TILE.
 - COVER THIS WALL SURFACE FLOOR TO CEILING WITH 5/8" DRYWALL INSTALLED OVER EXISTING WALL BOARD. REPLACE WOOD BASE AS REQUIRED.
 - NEW 5/8" DRYWALL THIS WALL FLOOR TO CEILING. INSTALL OVER EXISTING WALL SHEATHING AFTER REMOVAL OF VINYL SIDING AND BUILDING PAPER.

Walls to be removed

NEW ADDITION AND ALTERATIONS FOR
HOLY FAMILY MEMORIAL LARSON CLINIC
3310 45TH ST. - TWO RIVERS, WI

PROJECT NO.
28-2006
DATE
3-15-07

SHEET
A1.2

CONDITIONAL USE
PERMIT
City of Two Rivers

Document Number

Permit No. 8-1-2024

Before the City Council of the City of Two Rivers, Manitowoc County, Wisconsin, regarding the premises at 3310 – 45th Street in the City of Two Rivers, Manitowoc County, State of Wisconsin, further described as:

S 1/2 NW 1/4 S26 T20N R24E TRACT 1 OF CSM V 14 P 99

Inspections Department
City of Two Rivers
PO Box 87
Two Rivers, WI 54241-0087

Parcel ID Number: 053-226-203-001.07

Zoning Classification of the Premises is: B-2 Business District/Conditional Use to operate a commercial kennel.
Mailing Address of the Premises Operator: 7522 Sunset Drive, Two Rivers, WI 54241

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statute, state that the premises may not be used for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the City Council of the City of Two Rivers having determined that by reason of the nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the operation of a commercial kennel.

Permitted by action of the City Council of the City of Two Rivers on September 2, 2024.
Original filed in the office of the City Clerk of the City of Two Rivers, Wisconsin

The Conditions of this Permit are:

1. This Permit shall become effective upon the execution and recording by the Owner of the Premises as acceptance hereof.
2. This Permit is subject to the conditions herein and is subject to amendment and termination in accordance with the provisions of the Zoning Code of this Municipality.
3. The operation of the use permitted shall be in strict conformity to the approved conditions identified with this Petition for this Permit and such plans are incorporated herein by reference as if set forth in detail herein.
4. Any substantial change to the use or site as the conditions permitted by the issuance of this Permit would require approval by the Plan Commission and City Council as an amendment to this Permit.
5. This Permit is specifically issued to Lucky Paws Real Estate LLC and shall lapse upon a change in ownership of the business, tenancy of the subject premises or if the land use ceases operation for more than 12 months. This permit may be reissued only after a proper application is made to the City as if this permit were being newly issued.
8. Conditions of Operations:
 - a. Hours of operation:
 1. Boarding: 24 hours per day, Sunday - Saturday, not to exceed 15 dogs at any given time
 2. Daycare: 8AM - 6PM, Monday - Saturday, not to exceed 15 dogs at any given time
 3. Grooming salon and retail: 8AM -6PM, Monday - Saturday
 4. Outdoor operations: 7AM - 8PM, Sunday - Saturday, dogs in the outdoor run shall be supervised at all times
 - b. The yard shall be maintained in a clean and odor free condition
 - c. Signage in accord with the City's Sign Code.
 - d. Inspection by the TRFD prior to opening for business
 - e. All landscaping plantings shall be maintained and kept in good health or be replaced; and, all landscaped areas shall be maintained in such a manner to be free of weeds
 - f. The City reserves the right to require privacy fencing based on future development in the area or on a complaint basis
 - g. Fencing shall be maintained in good condition

SIGNATURES OF PROPERTY OWNER(S) AND PERMITEE(S):

As Owner(s) of the Subject Property, I/we accept and understand the above-described conditions.

Printed Name: _____

Printed Name: _____

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this _____ day of _____, 2024, the above named _____ and to be the person(s) who executed the foregoing instrument and acknowledge the same.

Amanda Baryenbruch
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

SIGNATURES - CITY OF TWO RIVERS

Greg Buckley, City Manager

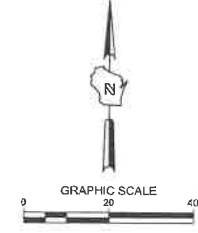
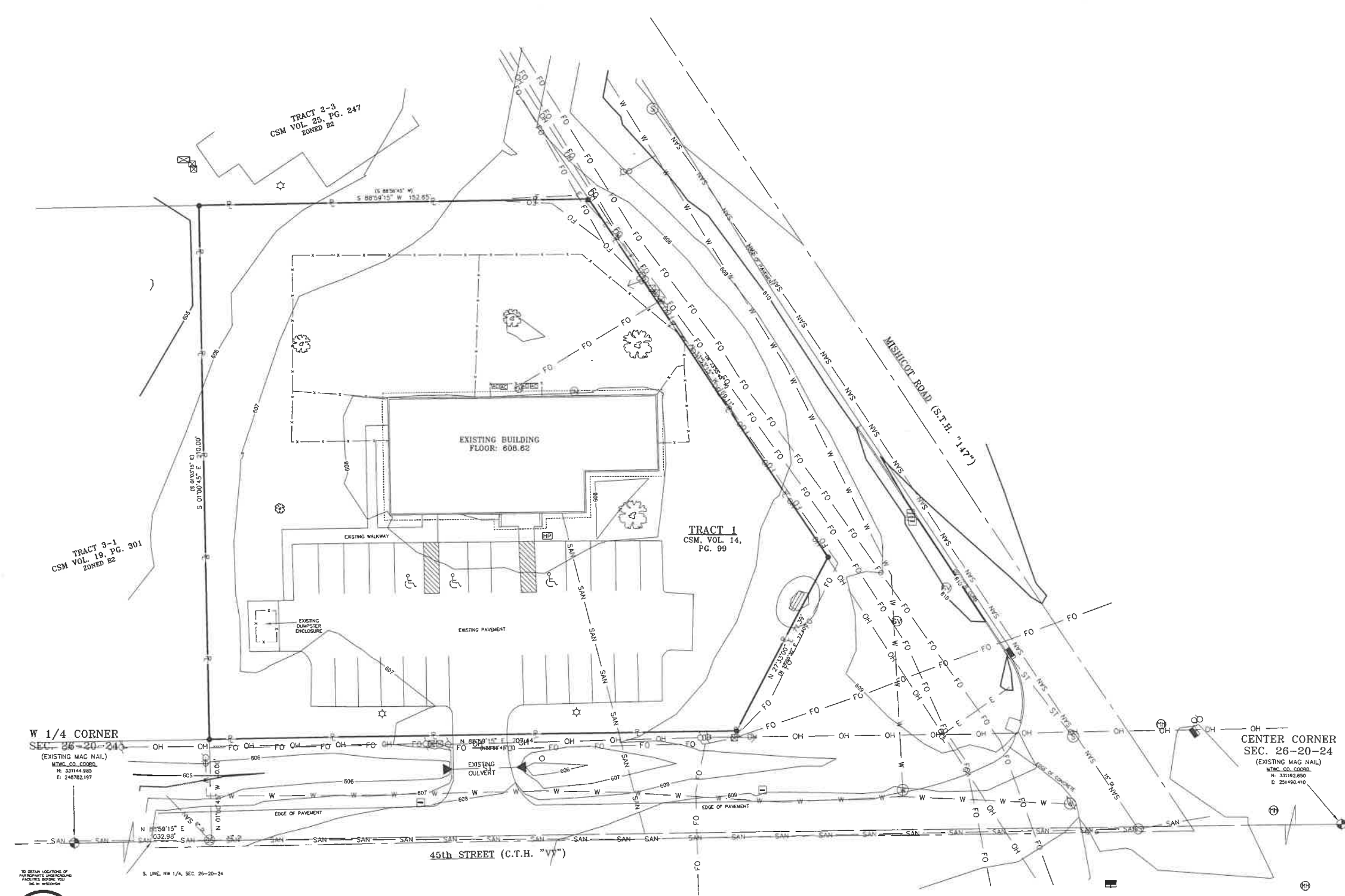
Amanda Baryenbruch, City Clerk

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally, came before me this _____ day of _____ 2024, the above-named Greg Buckley and Amanda Baryenbruch known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Printed Name: _____
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

THIS INSTRUMENT WAS DRAFTED BY:
Adam Taylor, Zoning Administrator



LEGEND

- = AIR CONDITION UNIT
- = EXISTING HYDRANT
- = EXISTING STORM INLET
- = EXISTING CATCH BASIN
- = EXISTING TRANSFORMER
- = EXISTING ELECTRIC METER
- = EXISTING LIGHT POLE
- = EXISTING GAS METER
- = EXISTING POWER POLE W/GUY WIRE
- = EXISTING TELEPHONE PEDESTAL
- = EXISTING SIGN
- = EXISTING FENCE
- = HANDICAP PARKING SIGN
- = FLAG POLE
- = EXISTING TRAFFIC SIGN
- = DECIDUOUS TREE
- = WATER VALVE
- = "RECORDED AS" DIMENSIONS
- = PROPOSED GRADES
- = HANDICAP PARKING STALL
- = EXISTING WATER VALVE MANHOLE
- = EXISTING SANITARY SEWER MANHOLE
- = EXISTING MAILBOX
- = GAS LINE
- = WATER LINE
- = SANITARY SEWER LINE
- = STORM SEWER
- = OVERHEAD LINE
- = ELECTRIC LINE
- = FIBER OPTIC
- = EXISTING CONTOUR LINE W/ ELEVATION
- = PROPERTY LINE

- GENERAL NOTES:
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CORNER POINT ON 08/03/2024.
 4. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WE STRIVE FOR EXCELLENCE
REGARDING THE QUALITY OF OUR SERVICE
AND YOUR SATISFACTION.

MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

REVISION DESCRIPTION

DATE

REV. BY

ACE BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 1626 • 3810 SOUTH 28TH STREET • MANITOWOC, WISCONSIN • 54221-1626
PHONE: 920-682-8105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

PROJECT INFORMATION:

LUCKY PAWS

3310 45TH ST
TWO RIVERS, WI 54241

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

SHEET INFORMATION

A.C.E. JOB NO.

DATE: ---

DRAWN BY: AKK

SCALE: 1"=20'

SHEET

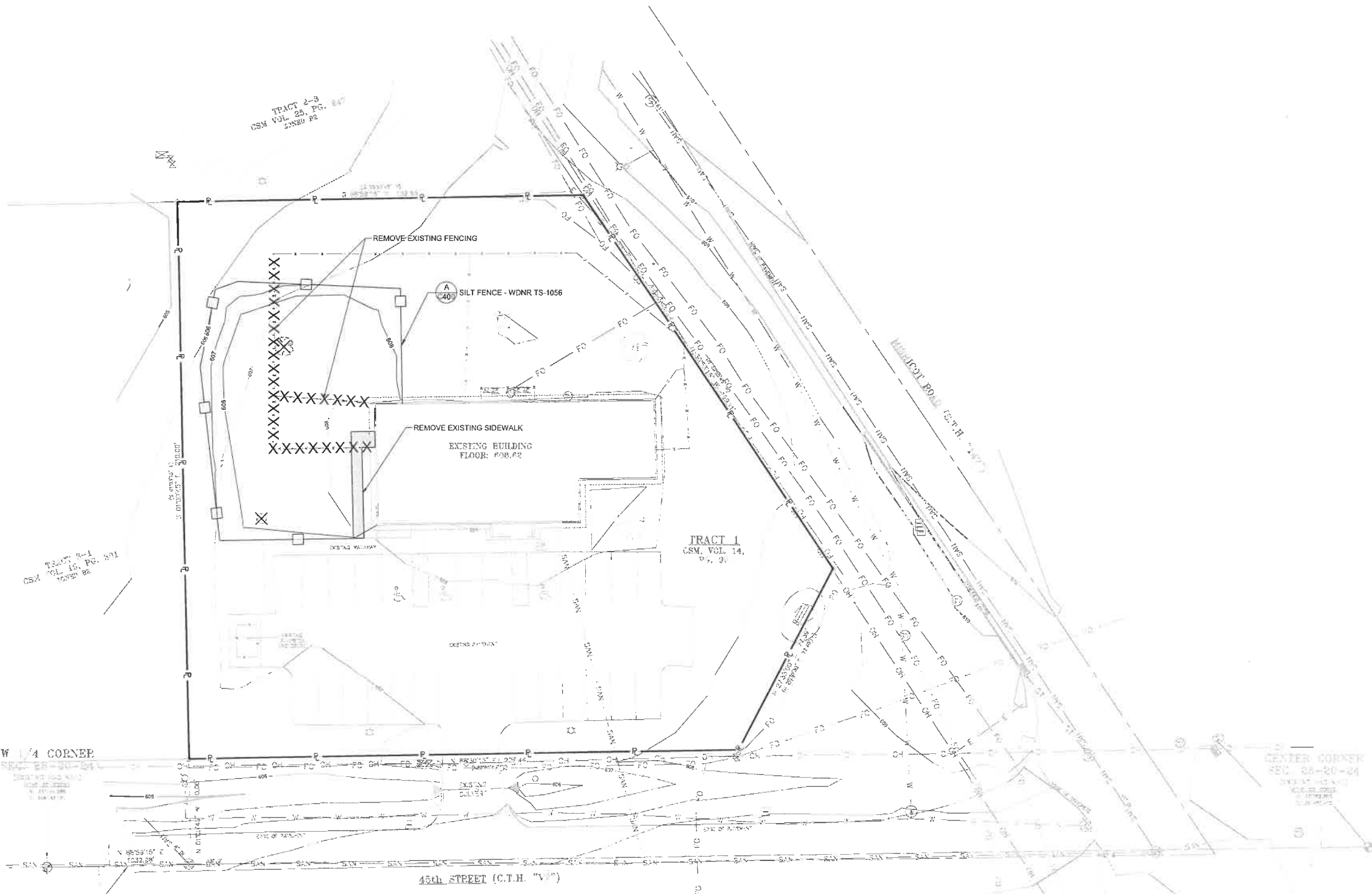
C001

SITE SURVEY

2024.07.15
ARJUEDAGUTIERNEZ
C002
23020

DRAFT

Section 3, Item F.



LEGEND:

- PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- PROPOSED TRACKING PAD
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FENCE REMOVAL
- STRUCTURE REMOVAL
- TREE REMOVAL
- PAVEMENT REMOVAL

- GENERAL NOTES:**
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 3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 5. SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
 6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

CALL DIGGERS HOTLINE
TOLL FREE
1-800-242-8511

TO OBTAIN LOCATIONS OF
FACILITIES UNDERGROUND
FURNISH SOURCE TO
BE A RECORD.

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

ACE BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANTON, WI 53041 • 608.251.1626
PHONE: 920-682-0105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

LUCKY PAWS
3310 45TH ST
TWO RIVERS, WI 54241

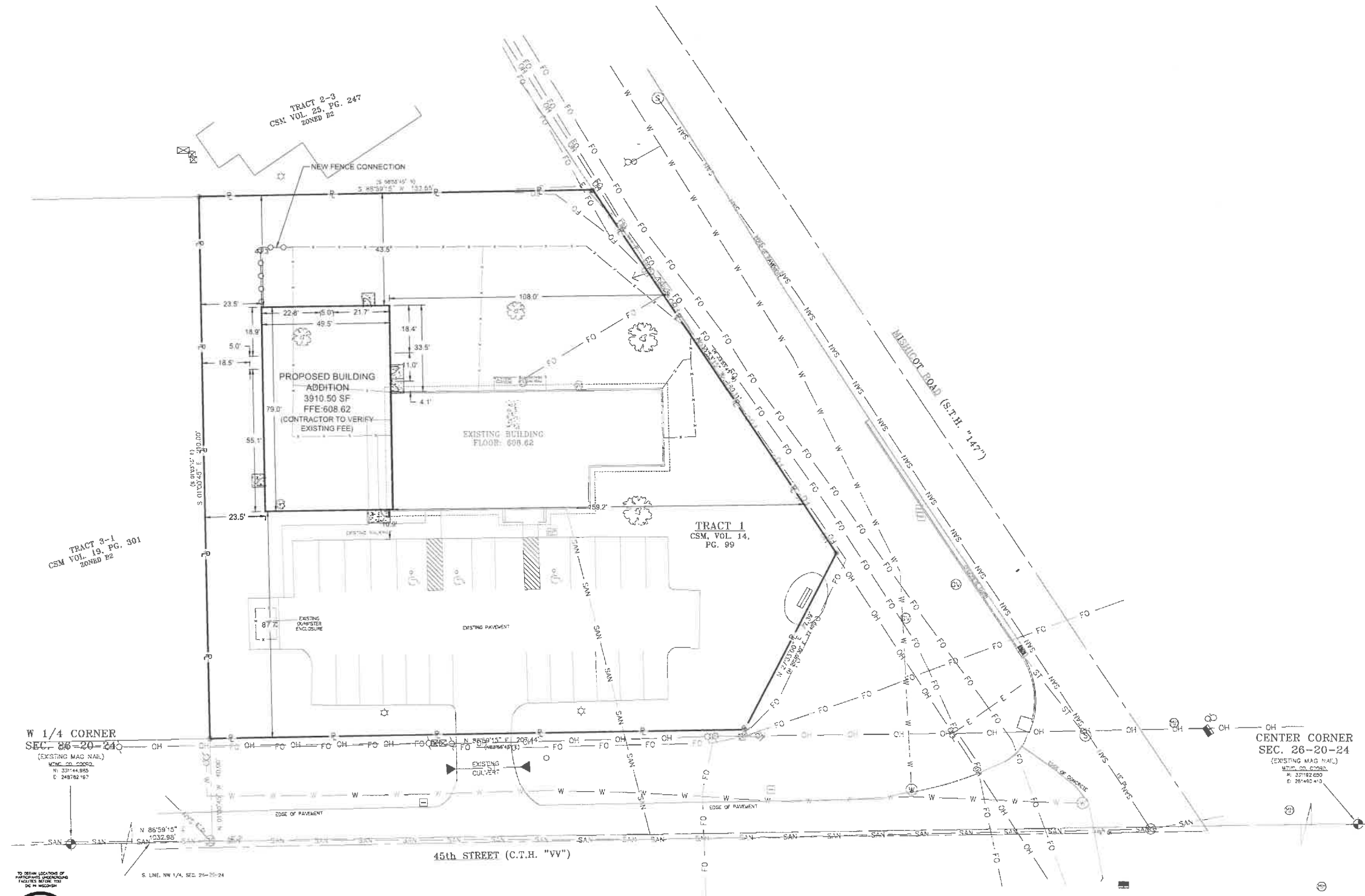
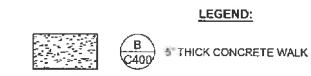
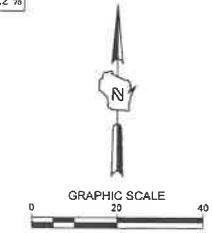
SHEET INFORMATION

A.C.E. JOB NO. _____
DATE: _____
DRAWN BY: AKK
SCALE: 1"=20'
SHEET

C002

SITE PREPARATION & EROSION CONTROL

SITE INFORMATION			
SITE AREA	43556	1.000 AC	
SITE DISTURBED AREA	6423	0.147 AC	
EXISTING IMPERVIOUS AREA	15832	0.363 AC	36.3 %
PROPOSED IMPERVIOUS AREA	19670	0.452 AC	45.2 %



- GENERAL NOTES:**
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 3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 5. DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
 6. WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
 7. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WE STRIKE 100 FEET DEEP
REQUIRES 10' MIN. DIAL
NOTICE BEFORE YOU DIG
MILW. AREA 259-1181

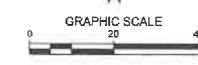
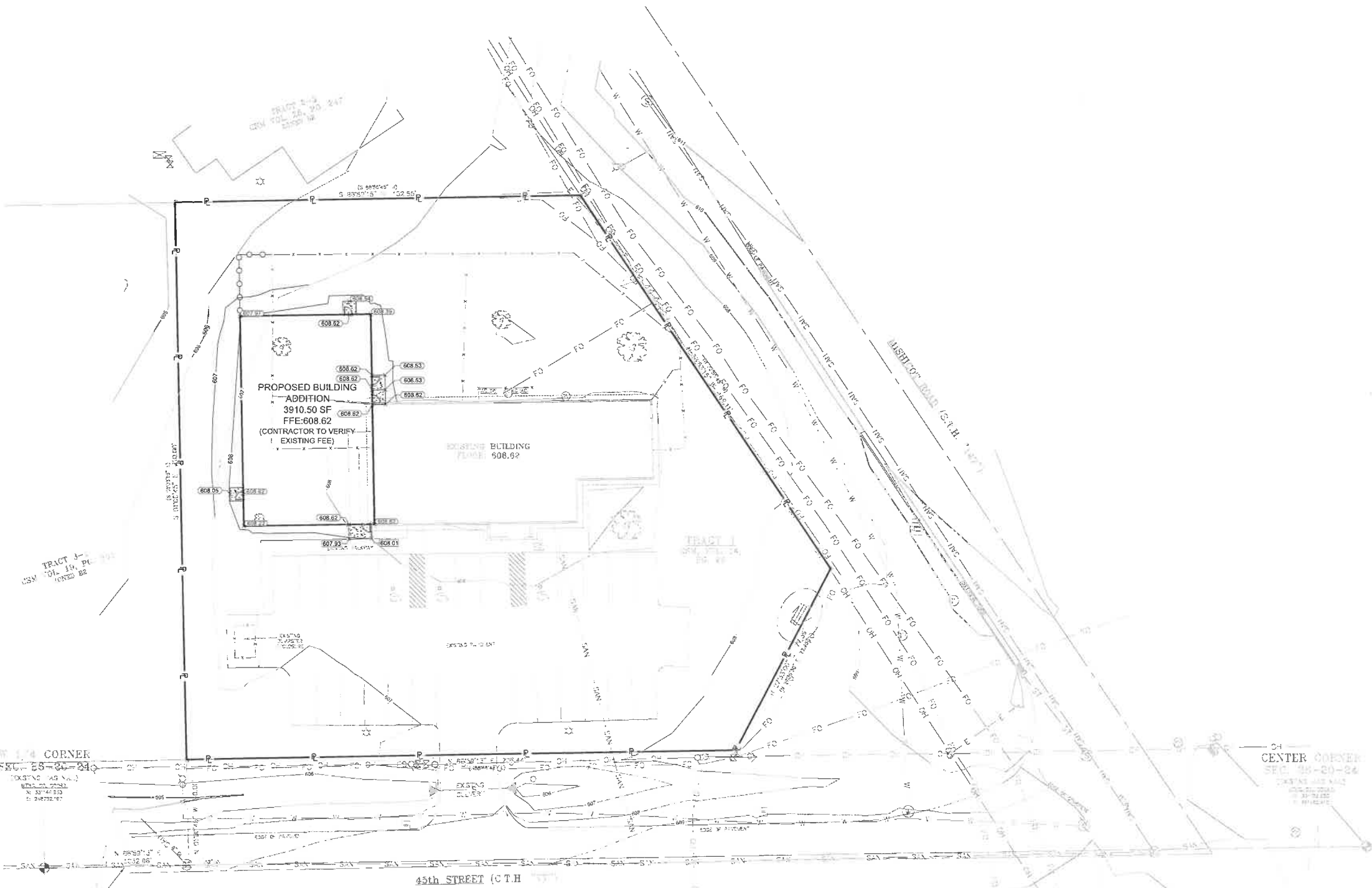
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REVISION DESCRIPTION	REV BY	DATE
<p>ACE BUILDING SERVICE OUR REPUTATION IS OUR FOUNDATION P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626 PHONE: 920-682-5105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM</p>		
<p>LUCKY PAWS 3310 45TH ST TWO RIVERS, WI 54241</p>		
<p>THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.</p>		
<p>SHEET INFORMATION</p> <p>A.C.E. JOB NO. _____</p> <p>DATE: ____</p> <p>DRAWN BY: AKK</p> <p>SCALE: 1"=20'</p> <p>SHEET</p>		
<p>C100</p>		

SITE PLAN

DRAFT

Section 3, Item F.



- LEGEND:**
- 5' THICK CONCRETE WALK
 - GRADE BREAK LINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED CURB & GUTTER SPOT GRADE
T/C: TOP OF CURB GRADE
F/L: FLOW LINE CURB GRADE
 - PROPOSED SURFACE SPOT GRADE
 - PROPOSED TOP OF WALL AT FINISHED GRADE
PROPOSED BOTTOM OF WALL AT FINISHED GRADE
 - EXISTING SURFACE SPOT GRADE (MATCH)

- GENERAL NOTES:**
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 5. DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
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 7. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

CALL DIGGERS HOTLINE
1-800-249-8511
TOLL FREE
WE STRIKE AND OPERATE
RELATES TO A WORK STOP
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

GRADING PLAN

REVISION DESCRIPTION	DATE	REV. BY

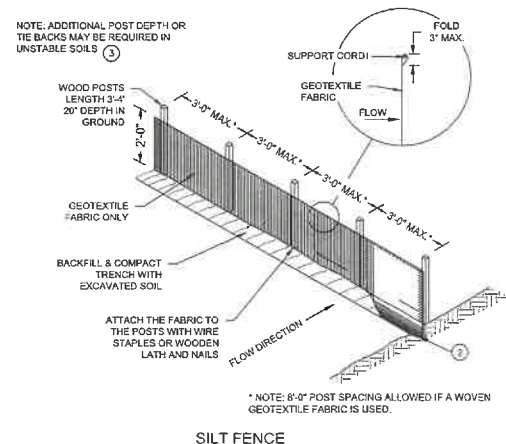
ACE BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

PROJECT INFORMATION:
LUCKY PAWS
3310 45TH STREET
TWO RIVERS, WI 54241

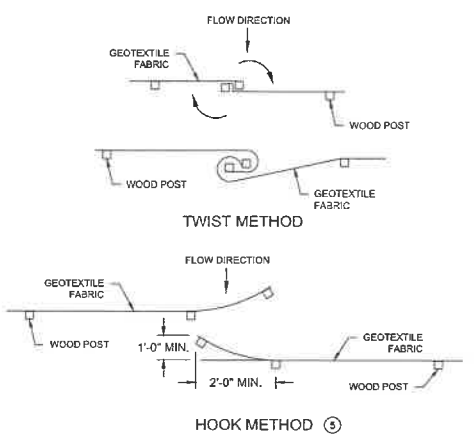
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SHEET INFORMATION
A.C.E. JOB NO.
DATE: 06/11/2024
DRAWN BY: AKK
SCALE:
SHEET

C200



SILT FENCE

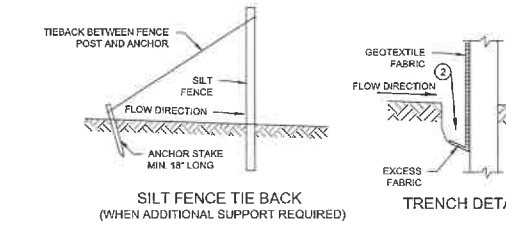


B CONCRETE SIDEWALK SECTION
SCALE: 1" = 1'



JOINING TWO LENGTHS OF SILT FENCE

- GENERAL NOTES
- HORIZONTAL BRACE REQUIRED WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/2" X 1-1/2" OF OAK OR HICKORY.
 - WHERE SILT FENCE CROSSES A CULVERT, SILT FENCE SHALL BE DIVERTED OVER THE CULVERT OVER THE CULVERT TO NOT RESTRICT FLOW.
 - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ON THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTHS.
 - SILT FENCE SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1056
 - THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 9-6



A SILT FENCE - WDNR TS-1056
SCALE: 1" = 1'

EROSION CONTROL NOTES:

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
- SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE MUNICIPALITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY MUNICIPALITY OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
- NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
- OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
- REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
- KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
- WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
- CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
- PERMANENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
- IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY.

CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCING AND INLET PROTECTION.
- INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
- STRIP TOPSOIL FROM STORM WATER BASIN LOCATION AND STOCKPILE.
- CONSTRUCT STORM WATER BASIN AND INSTALL TEMPORARY OUTLET AND EMERGENCY OVERFLOW. BASIN IS TO BE USED AS A SEDIMENTATION BASIN DURING THE COURSE OF CONSTRUCTION.
- CONSTRUCT DIVERSION SWALES. DIRECT RUNOFF TO STORM BASIN. INSTALL ASSOCIATED DITCH CHECKS.
- INSTALL RIP-RAP AT STORM WATER BASIN AS SHOWN ON THE PLANS.
- STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE.
- PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. USE EROSION MATTING WHERE CALLED FOR ON THE PLANS. PER WDNR TECHNICAL STANDARD 1059, AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
- PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING.
- INSTALL UTILITIES. INSTALL ANY ADDITIONAL INLET PROTECTION ON NEW STORM SEWER AND INSTALL RIP-RAP AT NEW STORM SEWER OUTFALLS.
- REMOVE TEMPORARY OUTLET CONTROL STRUCTURE ON BASIN AND INSTALL PAVEMENTS.
- STABILIZE AREAS REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
- REMOVE EXCESS SEDIMENT FROM STORMWATER BASINS AND RETURN BASINS TO THEIR DESIGN DIMENSIONS AND VOLUMES.
- REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

EROSION CONTROL DETAILS

DATE	REV. BY

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PHONE: 920-682-1105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

LUCKY PAWS
3310 45TH STREET
TWO RIVERS, WI 54241

SHEET INFORMATION	
A.C.E. JOB NO.	
DATE	06/11/2024
DRAWN BY	AKK
SCALE	
SHEET	C400

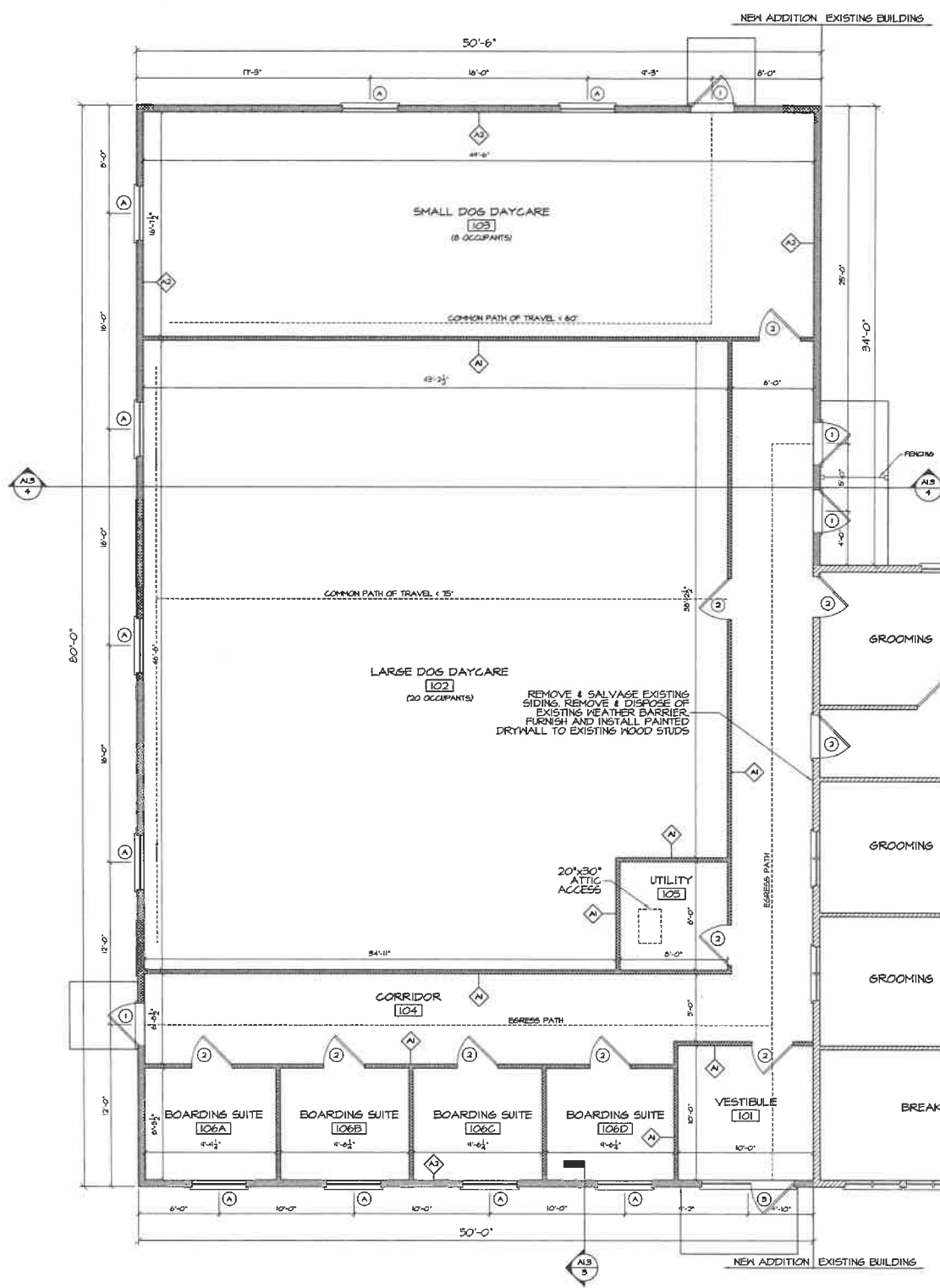
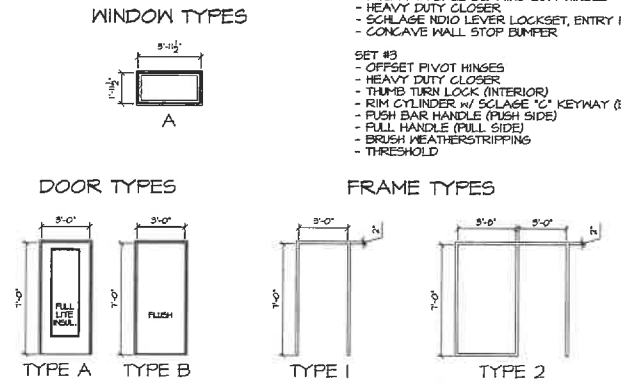
MARK	SIZE			MATL	EL	GLAZING	LOUVER		FRAME		FIRE RATING LABEL	HARDWARE		NOTES
	WD	HGT	THK				WD	HGT	MATL	EL		SET NO	KEYSIDE RM NO	
1	36"	84"	1-3/4"	HM	B	-	-	-	HM	1	-	1	-	-
2	36"	84"	1-3/4"	HM	B	-	-	-	HM	1	-	2	-	-
3	36"	84"	1-3/4"	ALUM	1	1" INSULATED LOW-E	-	-	ALUM	2	-	3	-	-

- HARDWARE SETS:**
- SET #1:
 - 1-1/2 PAIR NRP HINGES
 - HEAVY DUTY LOCKSET CLOSER
 - SCHLAGE NIO LO LEVER LOCKSET, ENTRY FUNCTION
 - THRESHOLD
 - VINYL WEATHERSTRIPPING
 - VINYL SWEEP
 - STORM CHAIN CRASH STOP
- SET #2:
 - 1-1/2 PAIR BALL BEARING BUTT HINGES
 - HEAVY DUTY CLOSER
 - SCHLAGE NIO LO LEVER LOCKSET, ENTRY FUNCTION
 - CONCAVE WALL STOP BUMPER
- SET #3:
 - OFFSET PIVOT HINGES
 - HEAVY DUTY CLOSER
 - TRUMB TURN LOCK (INTERIOR)
 - RIM CYLINDER W/ SCHLAGE 1" KEYWAY (EXTERIOR)
 - PUSH BAR HANDLE (PUSH SIDE)
 - FULL HANDLE (PULL SIDE)
 - BRUSH WEATHERSTRIPPING
 - THRESHOLD

MARK	ROOM NAME	FLOOR	BASE	WALLS				CEILING		NOTES
				N	S	E	W	MATL	HEIGHT	
101	VESTIBULE	EPOXY	VINYL	PD	PD	PD	PD	PD	8'-0" ±	
102	LARGE DOG DAYCARE	EPOXY	VINYL	PD	PD	PD	PD	PD	8'-0" ±	
103	SMALL DOG DAYCARE	EPOXY	VINYL	PD	PD	PD	PD	PD	8'-0" ±	
104	CORRIDOR	EPOXY	VINYL	PD	PD	PD	PD	PD	8'-0" ±	
105	UTILITY	EPOXY	VINYL	PD	PD	PD	PD	PD	8'-0" ±	
106	BOARDING SUITE	EPOXY	VINYL	PD	PD	PD	PD	PD	8'-0" ±	

EPOXY - TROWEL EPOXY
 VINYL - VINYL BASE
 PD - PAINTED DRYWALL

MARK	UNIT SIZE		ROUGH OPENING		TYPE	MATERIAL	GLAZING	NOTES
	WIDTH	HEIGHT	WIDTH	HEIGHT				
A	47'-1/2"	23'-1/2"	48"	24"	AWNING	VINYL	DOUBLE PANE LOW-E	



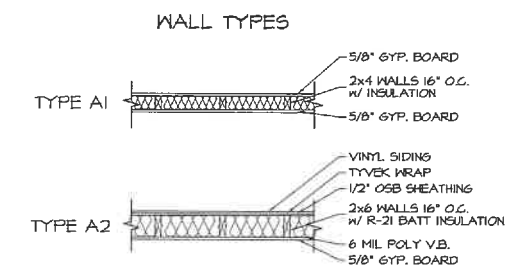
ADDITION GENERAL NOTES

AS WITH ALL ADDITIONS / REMODELING THE BUILDER MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. EXISTING PITCH, HEEL HEIGHT, AND O.H. LENGTH NEEDS TO BE VERIFIED BEFORE NEW ROOF TRUSSES ARE ORDERED TO ASSURE FASCIA HEIGHT & PEAKS MATCH.

FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 4000 ADDITIONAL SQUARE FEET
 ±8'-1 1/8" WALL HEIGHT

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BUILDER TO VERIFY THAT THESE PROPOSED BLUEPRINTS MEET THE WISCONSIN COMMERCIAL CODE PRIOR TO CONSTRUCTION.

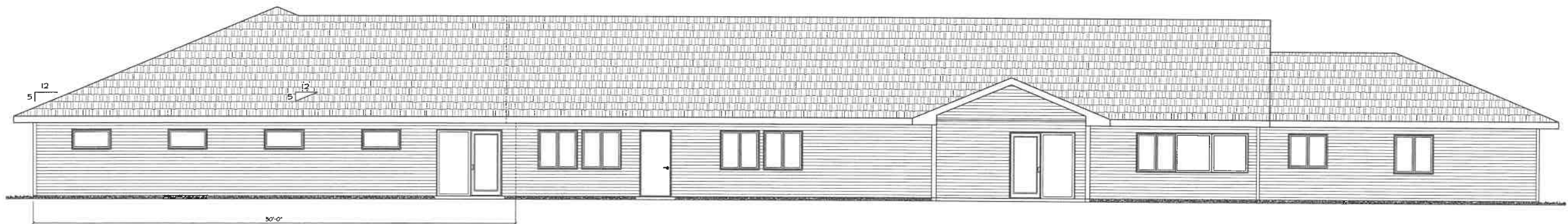


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 SUPERVISING PROFESSIONAL

PROPOSED EXPANSION & ALTERATION
 LUCKY PAWS PET BOUTIQUE
 3310 45TH ST
 TWO RIVERS, WI 54241

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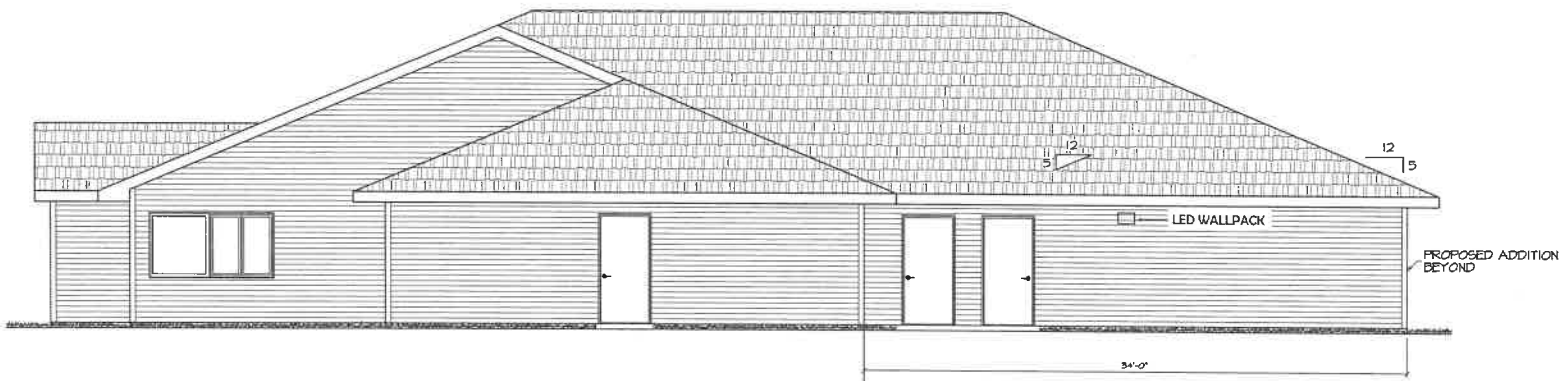
SHEET INFORMATION
 A.C.E. JOB NO. XXX/XX
 DATE: 7/10/24
 DRAWN BY: TMR
 SCALE: 3/16" = 1'-0"
 SHEET



NEW ADDITION | EXISTING BUILDING
SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



PROPOSED ADDITION
WEST ELEVATION
 SCALE: 3/16" = 1'-0"



EXISTING BUILDING | NEW ADDITION
EAST ELEVATION
 SCALE: 3/16" = 1'-0"



EXISTING BUILDING | NEW ADDITION
NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

REV. BY	DATE	DESCRIPTION
X.X.X.	X2/XX/XX	

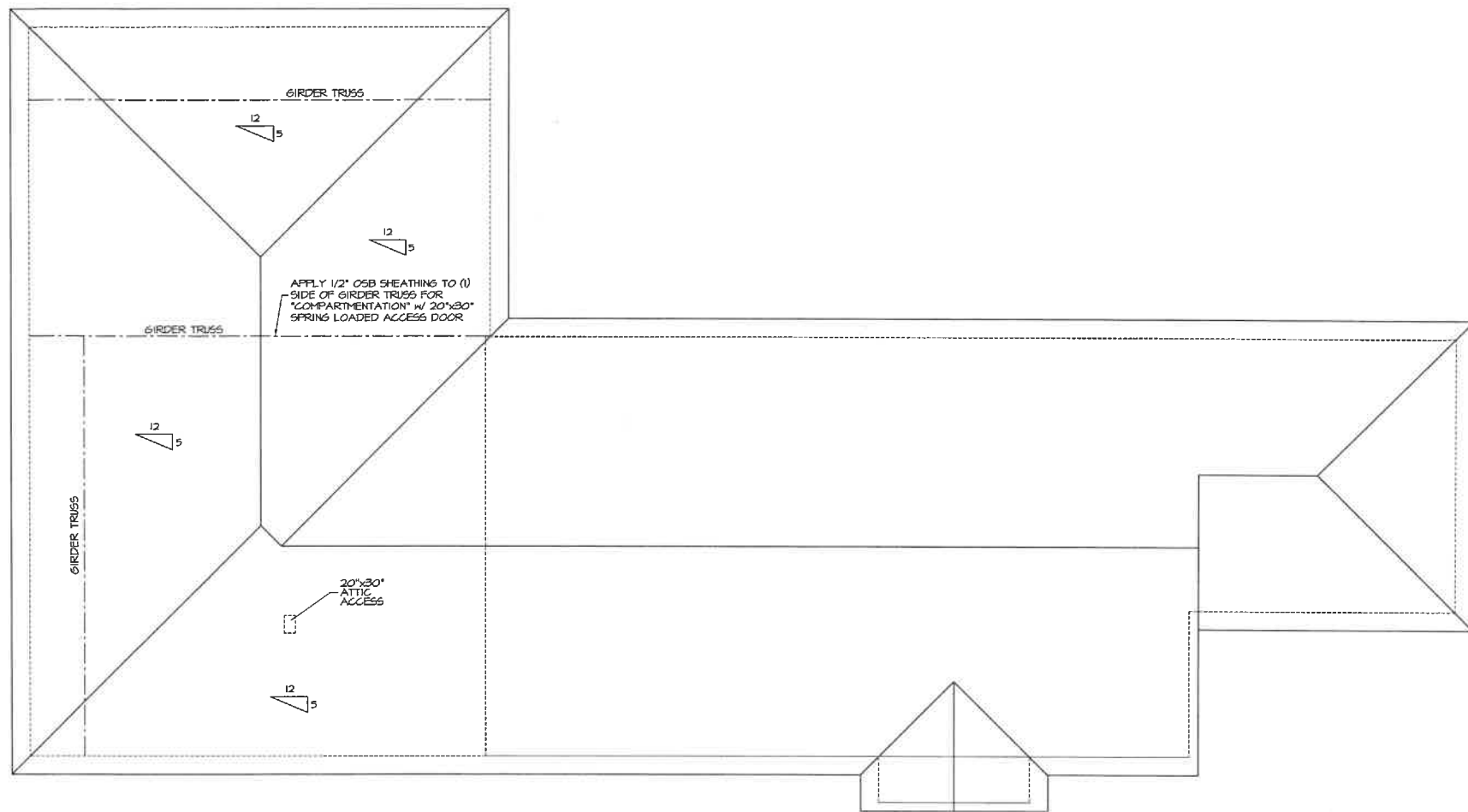
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PROPOSED EXPANSION & ALTERATION
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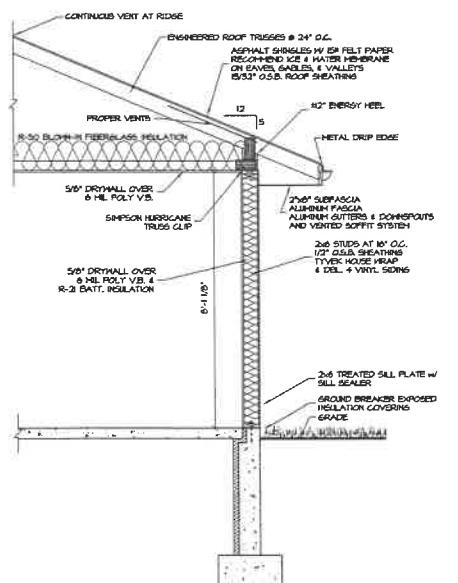
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SHEET INFORMATION	
A.C.E. JOB NO.	X00/XX
DATE:	7/10/24
DRAWN BY:	THR
SCALE:	3/16" = 1'-0"
SHEET	

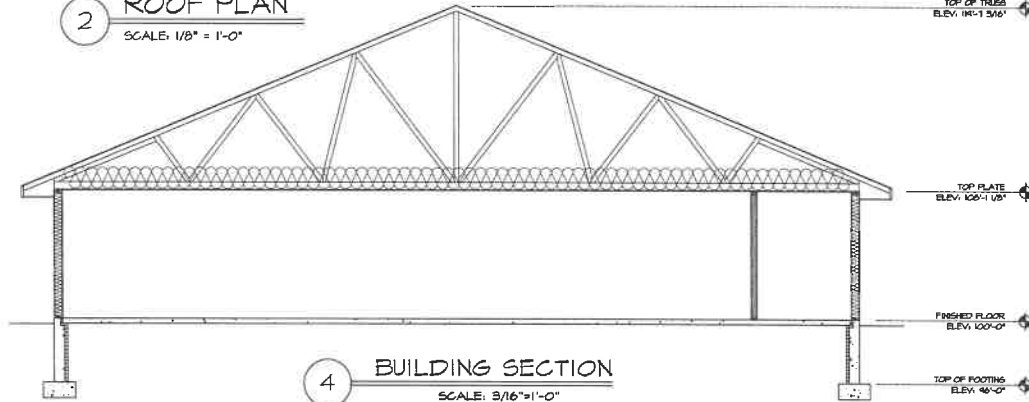
A1.2



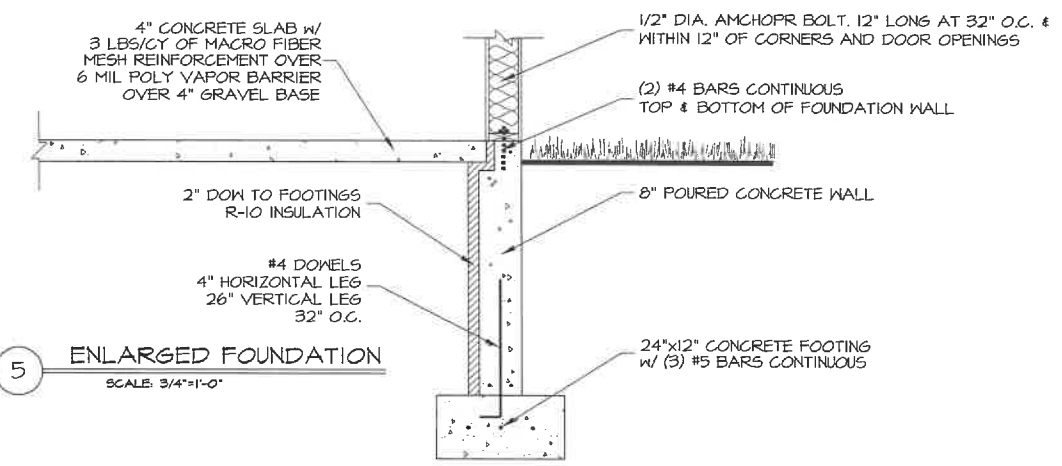
2 ROOF PLAN SCALE: 1/8" = 1'-0"



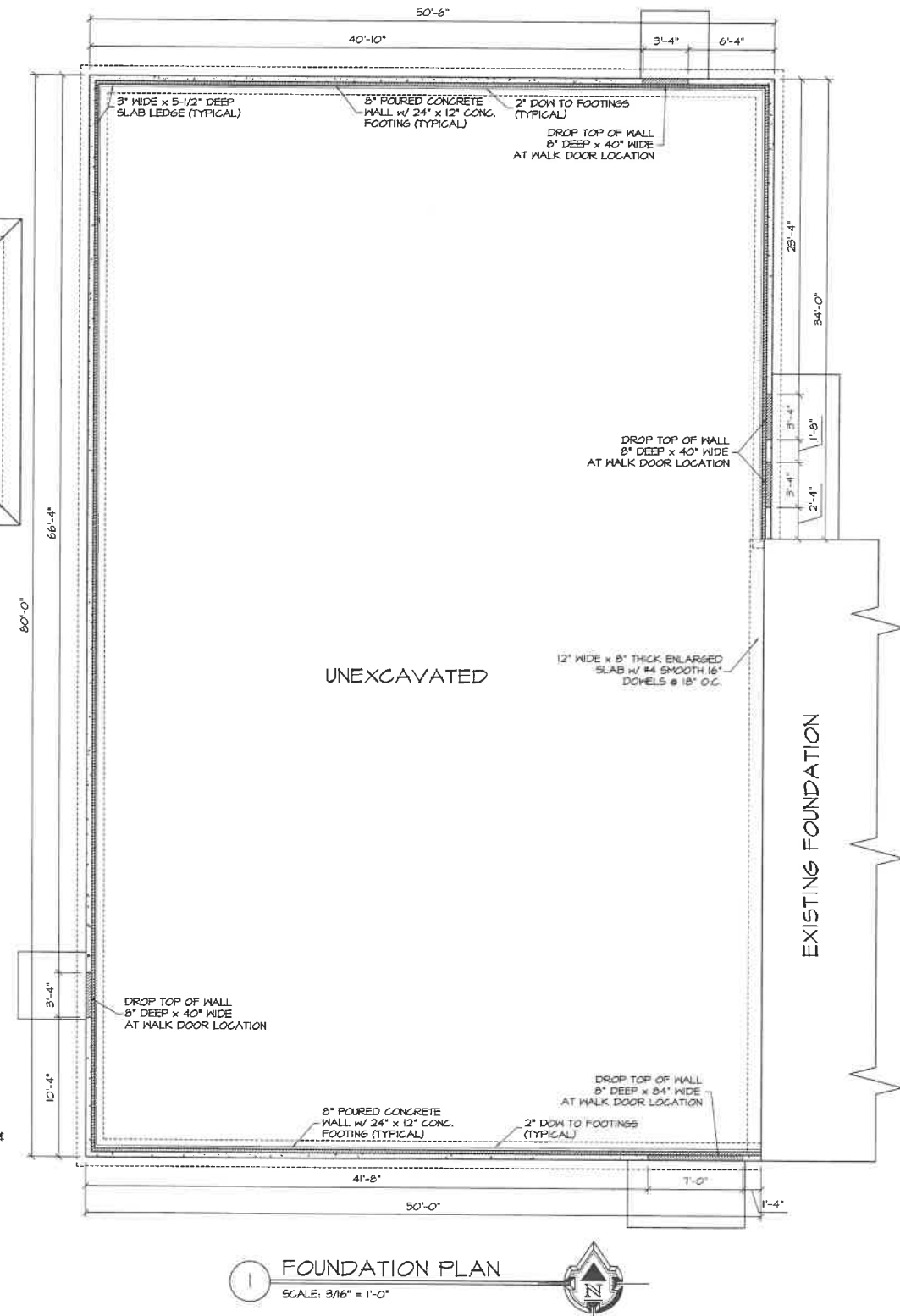
3 WALL SECTION SCALE: 3/8" = 1'-0"



4 BUILDING SECTION SCALE: 3/16" = 1'-0"



5 ENLARGED FOUNDATION SCALE: 3/4" = 1'-0"



1 FOUNDATION PLAN SCALE: 3/16" = 1'-0"

REVISION DESCRIPTION	DATE	REV. BY	X.X.X.

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PROJECT INFORMATION:
PROPOSED EXPANSION & ALTERATION
LUCKY PAWS PET BOUTIQUE
3310 45TH ST
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SHEET	

A1.3