



**TWO  
RIVERS**  
WISCONSIN

# PLAN COMMISSION

March 11, 2024 at 5:30 PM

City Hall, 1717 E. Park Street,  
Two Rivers, WI 54241

2<sup>nd</sup>  
Floor  
City  
Hall

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## AGENDA

### 1. CALL TO ORDER

### 2. ROLL CALL

Commission Members: Greg Buckley, Rick Inman, Kay Koach, Kristin Lee, Matt Heckenlaible, Eric Pangburn, Adam Wachowski

### 3. ACTION ITEMS

- A. Review of Extraterritorial Certified Survey Map completed by Bruce Robley, Licensed Surveyor, Parcel 018-134-015-006.00 & 018-134-015-007.00, address 2622 E STH 310.
- B. Review of Site and Architectural Plan for Braun Building Center Truss Shop, located at Parcel 053-204-101-021.03, submitted by applicant Athens Development LLC, and Owner Braun Family.
- C. Request for, and possible Amendment to, a Conditional Use Permit for a truck and trailer rental operation (U Haul) at 2521 Jackson Street, submitted by applicant and owner Marty and Kelly Pasek.
- D. Review of a Right-of-Way Privilege Agreement for Grease Interceptor work, Riverside Foods, 2520 Wilson Street, submitted by applicant and owner Riverside Seafood Inc.
- E. Review and possible action regarding Section 10-1-15, Height and Area Exceptions, related to the placement of new garages.
- F. Review and possible action on Zoning Ordinance Amendment related to zoning districts containing self-storage as a conditional use.
- G. Discussion of refinements to the Short-Term Rental ordinance.
- H. Discussion of light nuisance ordinance changes.

### 4. ADJOURNMENT

*Please note, upon reasonable notice, efforts will be made to accommodate the needs to disabled individuals through appropriate aids and services. For additional information or to request this service, please contact the Office of the City Manager by calling 793-5532.*

*It is possible that members of and possibly a quorum of governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no other action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.*



**TWO RIVERS**  
WISCONSIN

**LAND DEVELOPMENT APPLICATION**

APPLICANT BRUCE ROBLEY TELEPHONE 920-682-9779

MAILING ADDRESS 1533 N. UDEN RD MTWC WI 54220  
(Street) (City) (State) (Zip)

PROPERTY OWNER JOE EGGELBRECHT TELEPHONE 920-323-6068  
JOE SON

MAILING ADDRESS 911 Koppel Lane, Manitowoc WI 54220  
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT:  Owner  Agent  Buyer  Other

PROJECT LOCATION SW-SE SEC 34 TO OF TWO RIVERS TYPE OF STRUCTURE \_\_\_\_\_

PRESENT ZONING RR REQUESTED ZONING \_\_\_\_\_

PROPOSED LAND USE RESIDENTIAL

PARCEL # 018-134-015-006.00 + 018-134-015-007.00 ACREAGE 9.4

LEGAL DESCRIPTION \_\_\_\_\_

**NOTE: Attach a one-page written description of your proposal or request.**

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed Scott J. Eggelbrecht Date 2-9-2024  
(Property Owner)

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ 1/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ 1/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ 1/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ 1/b/d Other

Schedule

- Application Submittal Date \_\_\_\_\_
- Date Fee(s) Paid 2-7-24
- Plan(s) Submittal Date \_\_\_\_\_
- Plan Comm Appearance \_\_\_\_\_

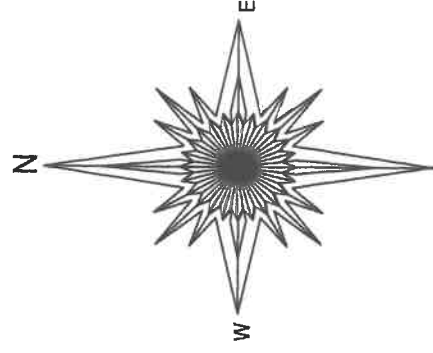
\$ 30 TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY \_\_\_\_\_

**A CERTIFIED SURVEY MAP BEING A RESURVEY OF TRACT 1 OF CERTIFIED SURVEY MAP RECORDED IN VOLUME 14 PAGE 347 AND ADDITIONAL LAND, ALL IN THE SW 1/4 OF THE SE 1/4 OF SECTION 34, T. 20 N., R. 24 E., TOWN OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN**

**SURVEY BY :**  
**ROBLEY LAND SURVEYING, LLC**  
 1533 N. UNION ROAD  
 MANITOWOC, WISCONSIN 54220  
 920-682-9779

**SURVEY FOR :**  
**SCOTT J. AND LORI S. ENGELBRECHT**

**CENTER SECTION 34**  
 T. 20 N., R. 24 E.  
 EXISTING MAG NAIL  
 N 325915.081  
 E 246230.450



**SCALE 1" = 80'**

BEARINGS REFERENCED TO THE  
 MANITOWOC COUNTY COORDINATE SYSTEM

**LEGEND**

- 1" X 18" IRON PIPE SET WEIGHING A MINIMUM OF 1.13 LBS PER LINEAL FOOT
- △ PK NAIL SET
- EXISTING IRON PIPE OR ROD FOUND
- ▲ EXISTING PK OR MAG NAIL

(000.00') RECORDED AS BEARING OR DISTANCE

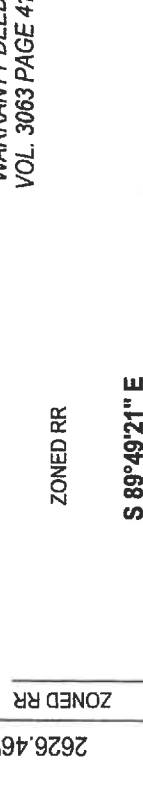
**BUILDING SETBACKS**

THE SIDE AND REAR SETBACKS ARE 25 FEET FOR PRINCIPAL AND 10 FEET FOR SECONDARY BUILDINGS.  
 THE FRONT SETBACK IS 110 FEET FROM THE CENTERLINE OF E. STH "310" OR 50 FEET FROM THE RIGHT OF WAY OF E. STH "310" WHICHEVER IS GREATER.



**THE SW 1/4 OF THE SE 1/4 OF SECTION 34**

TO ENGELBRECHT  
 WARRANTY DEED  
 VOL. 3063 PAGE 41



**LOT 1**

2.19 ACRES TO THE SECTION LINE  
 95,378 SQUARE FEET TO THE SECTION LINE  
 2.00 ACRES OUTSIDE OF THE ROAD RW  
 87,120 SQUARE FEET OUTSIDE OF THE ROAD RW  
 0.19 ACRE IN THE ROAD RW  
 8,258 SQUARE FEET IN THE ROAD RW

ADDITION  
 1.00 ACRE  
 43,531 SQUARE FEET

**TRACT 1**  
**CSM 14-347**  
 1.00 ACRE  
 43,588 SQUARE FEET

TO ENGELBRECHT  
 WARRANTY DEED  
 VOL. 3063 PAGE 40

CONVEYANCE OF LAND FOR HIGHWAY PURPOSES  
 VOLUME 264 PAGE 471

**SE CORNER SECTION 34**  
 T. 20 N., R. 24 E.  
 EXISTING COUNTY SPIKE  
 N 323280.492  
 E 248859.859

**N. 1/4 CORNER SECTION 3**  
 T. 19 N., R. 24 E.  
 EXISTING COUNTY SPIKE  
 N 323288.633  
 E 246231.781

**S. 1/4 CORNER SECTION 34**  
 T. 20 N., R. 24 E.  
 EXISTING COUNTY SPIKE  
 MTWC. CO. COORDINATES  
 N 323288.694  
 E 246210.542

**A CERTIFIED SURVEY MAP BEING A RESURVEY OF TRACT 1 OF CERTIFIED SURVEY MAP RECORDED IN VOLUME 14 PAGE 347 AND ADDITIONAL LAND, ALL IN THE SW 1/4 OF THE SE 1/4 OF SECTION 34, T. 20 N., R. 24 E., TOWN OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN**

**SURVEYOR'S CERTIFICATE**

I, Bruce E. Robley, Professional Land Surveyor with Robley Land Surveying LLC, do hereby certify that I have surveyed and mapped the following described tract of land.

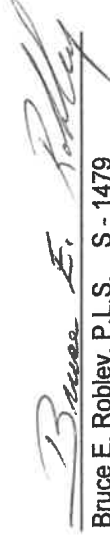
A tract of land being a resurvey of Tract 1 of Certified Survey Map recorded in Volume 14, Page 347 and additional land, all in the SW 1/4 of the SE 1/4 of Section 34, T. 20 N., R. 24 E., Town of Two Rivers, Manitowoc County, Wisconsin, and described as follows:

Commencing at the S. 1/4 Corner of said Section 34; thence S. 89° 49' 21" E. a distance of 16.50 feet, along the section line, to the point of real beginning; thence N. 00° 26' 03" E. a distance of 462.00 feet, partly along the westerly line of said Tract 1 of Certified Survey Map recorded in Volume 14 Page 347; thence S. 89° 49' 21" E. a distance of 206.45 feet; thence S. 00° 26' 03" W. a distance of 462.00 feet; thence N. 89° 49' 21" W. a distance of 206.45 feet, along the section line and centerline of E. STH "310" to the point of real beginning.

The above described tract of land contains 2.19 acres or 95,378 square feet of land, to the section line and the centerline of E. STH "310".

I further certify that this survey was done under the direction of Scott J. Engelbrecht and that the adjoining map is a true representation of said property and correctly shows the exterior boundary lines and correct measurements thereof. Also that I have fully complied with the requirements of Chapter 236.34 of Wisconsin Statutes and Section 12.07 of the Manitowoc County Subdivision Regulations.

Dated 1-30-2024



Bruce E. Robley, P.L.S. S - 1479

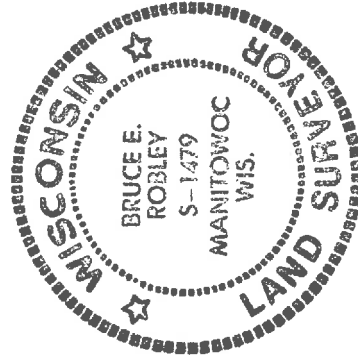
**OWNER'S CERTIFICATE**

As owner's, we hereby certify that we have caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map.

Dated \_\_\_\_\_

Scott J. Engelbrecht, owner

Lori S. Engelbrecht, owner







**TWO RIVERS**  
WISCONSIN

**LAND DEVELOPMENT APPLICATION**

APPLICANT Athen Development LLC TELEPHONE (920) 901-1520

MAILING ADDRESS 1330 Bentwood Ln Manitowoc WI 54220  
(Street) (City) (State) (Zip)

PROPERTY OWNER Paul J, Dana L, Benjamin J Braun TELEPHONE (920)901-1520

MAILING ADDRESS same  
(Street) (City) (State) (Zip)

REQUEST FOR:

- |                                     |                                  |                          |                           |
|-------------------------------------|----------------------------------|--------------------------|---------------------------|
| <input type="checkbox"/>            | Comprehensive Plan Amendment     | <input type="checkbox"/> | Conditional Use           |
| <input checked="" type="checkbox"/> | Site/Architectural Plan Approval | <input type="checkbox"/> | Annexation Request        |
| <input type="checkbox"/>            | Subdivision Plat or CSM Review   | <input type="checkbox"/> | Variance/Board of Appeals |
| <input type="checkbox"/>            | Zoning District Change           | <input type="checkbox"/> | Other                     |

STATUS OF APPLICANT:  Owner  Agent  Buyer  Other

PROJECT LOCATION Browns Drive TYPE OF STRUCTURE Wood & Steel

PRESENT ZONING I-2 REQUESTED ZONING I-2

PROPOSED LAND USE Manufacturing

PARCEL # \_\_\_\_\_ ACREAGE 9.684

LEGAL DESCRIPTION Lot 1 Part of tract 3 volume 19, pag 25, doc # 848244 Ne1/4 of NE 1/4 of sect 4 township 19No. tange 24 East Two Rivers

**NOTE: Attach a one-page written description of your proposal or request.**

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed  Date 2.29.24  
(Property Owner)

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 tot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
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- Plan Comm Appearance \_\_\_\_\_

\$ \_\_\_\_\_ TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY \_\_\_\_\_



- Site Plan Sheet A201
  - To prevent tracking of gravel onto Woodland Drive and potentially creating a hazard, it would be desired to have that entrance paved. Provide details as to width of entrance at the road right-of-way and at the edge of the road pavement.
  - The proposed drive entrance to Browns Drive will need to match City standards, concrete apron with flares, and a proposed sidewalk section. As discussed with the Owners, the City will extend curb and gutter to the end of the existing Browns Drive road pavement in the summer of 2024.
  - General information regarding City sidewalk and drive apron can be found in the City's website at the following link: [https://www.two-rivers.org/sites/default/files/fileattachments/public\\_works/page/2387/sidewalk\\_standards\\_itr-specs.pdf](https://www.two-rivers.org/sites/default/files/fileattachments/public_works/page/2387/sidewalk_standards_itr-specs.pdf)
  - It is noted that the percent impervious surface will be 77.45%. The stormwater facility that is located just to the north of this proposed site development was designed at a 70% impervious and 30% green space standard. Can a 7% reduction in impervious surface be obtained?
- Grading Sheet A203 – please label the contours south of the building to Commerce Drive. Initial review of the plans was interpreted as a rise, berm when looking at the Utility Plan Sheet, it is a depression with a proposed inlet being installed within it.
- Sheet 205 Erosion Control Plan:
  - Contractor will be required to apply for a construction site erosion control permits from both the City of Two Rivers and WDNR.
  - Prepare an acceptable erosion control narrative along with supporting calculations / documentation showing that what is shown on Sheet 205 will keep sediment runoff to below 5 ton / year.
  - Plan is not showing where or how temporary stockpiles will be managed.
  - Plan does not show construction site access and temporary tracking pad(s) – off of Browns Drive, Woodland Drive or both?
  - Showing that slopes greater than 4:1 will receive erosion mat, how will the remainder of the site be restored that is not impervious?

#### **4. Access and Parking**

There are two access points onto the site.

- The front of the building faces Browns Drive. There is an access point.
- Surface parking lot accessed via Browns Drive and Sheet A202 shows 13 parking spaces on the north and west sides of the proposed building.
- There is also an access point on Woodland Drive.





**TWO  
RIVERS**  
WISCONSIN

**COMMUNITY DEVELOPMENT**

1717 E. Park Street  
P.O. BOX 87  
Two Rivers, WI 54241-0087



#### **5. Fire Department**

- Is the building going to be sprinklered?

#### **6. Trash Collection**

- How will onsite trash collection be addressed? If there will be a dumpster, the location is to be shown on the site plan with an enclosure.
- Coordination of the trash collection from the site is the owner's responsibility.

#### **7. Landscaping plan**

- The landscaping plan is to be provided before a building permit is issued.

#### **8. Lighting Plan**

- The lighting plan is to be provided before a building permit is issued.

#### **Recommended Action:**

This proposed development supports the Comprehensive Plan goals to develop the Woodland industrial Park and support industrial growth overall. Staff recommends the approval of these plans with the **conditions** below.

1. The plans are to be reviewed by the Business Industrial Development Committee for compliance with the Woodland Industrial plan covenants. Staff will arrange for this process to occur, tentatively on March 26, 2024.
2. Any additional requirements identified by city engineering, electric, and/or water department director(s): Driveway / apron design standards to be met.
3. An erosion control plan is to be submitted to city engineering for review and approve prior to construction.
4. A lighting plan and a landscaping plan shall be submitted prior to the issuance of a building permit.
5. An updated plan sheet showing the location of a dumpster with enclosure is to be submitted.
6. Any signs for the development require a separate sign permit and approval, in accord with the city's sign code.
7. Any additional requirements from the state of Wisconsin.
8. All required permits are obtained prior to construction.



[www.two-rivers.org](http://www.two-rivers.org)



920.793.5564



920.793.5512





**PLAN COMMISSION**

**Action:** Site and Architectural Plan Review of Braun Building Center - Truss Shop  
**Location:** Browns Drive, Woodland Industrial Park  
**Current Zoning:** Industrial (I-2)  
**Date:** March 11, 2024

**1. Background**

The Braun family purchased 9.6 acres in the Woodland Industrial Park in December 2023. The project is a new 28,153 square foot building for the operation of a truss shop. This new facility will expand capacity to the Braun Building’s existing operations for building trusses. They currently serve residential, commercial, and agricultural building markets. This new Truss Shop will provide the opportunity to build trusses up to 90 feet in length. Currently they are limited to 66 feet. Additionally, floor trusses can be built in this new building. They currently outsource the floor trusses in their current operations.

In the Woodland Industrial Park there is the Industrial Zoning that applies and the Industrial Park Covenants. The Plan Commission will be reviewing the plans for compliance with the City’s Site and Architectural Plan Sec. 11-1-11 and Industrial (I-2) standards.

A summary of the proposal is below.

- The project is located on a parcel is 9.6 acres. It is between Browns Drive and Woodland Drive, on the south side of STH 310.
- The building is a total of 28,153 square feet; the production area is 26,583 square feet. It will have a compressor room, break room, three offices and two restrooms.
- The anticipated timeline is to begin construction in the spring of 2024 and be complete by the late fall of 2024.

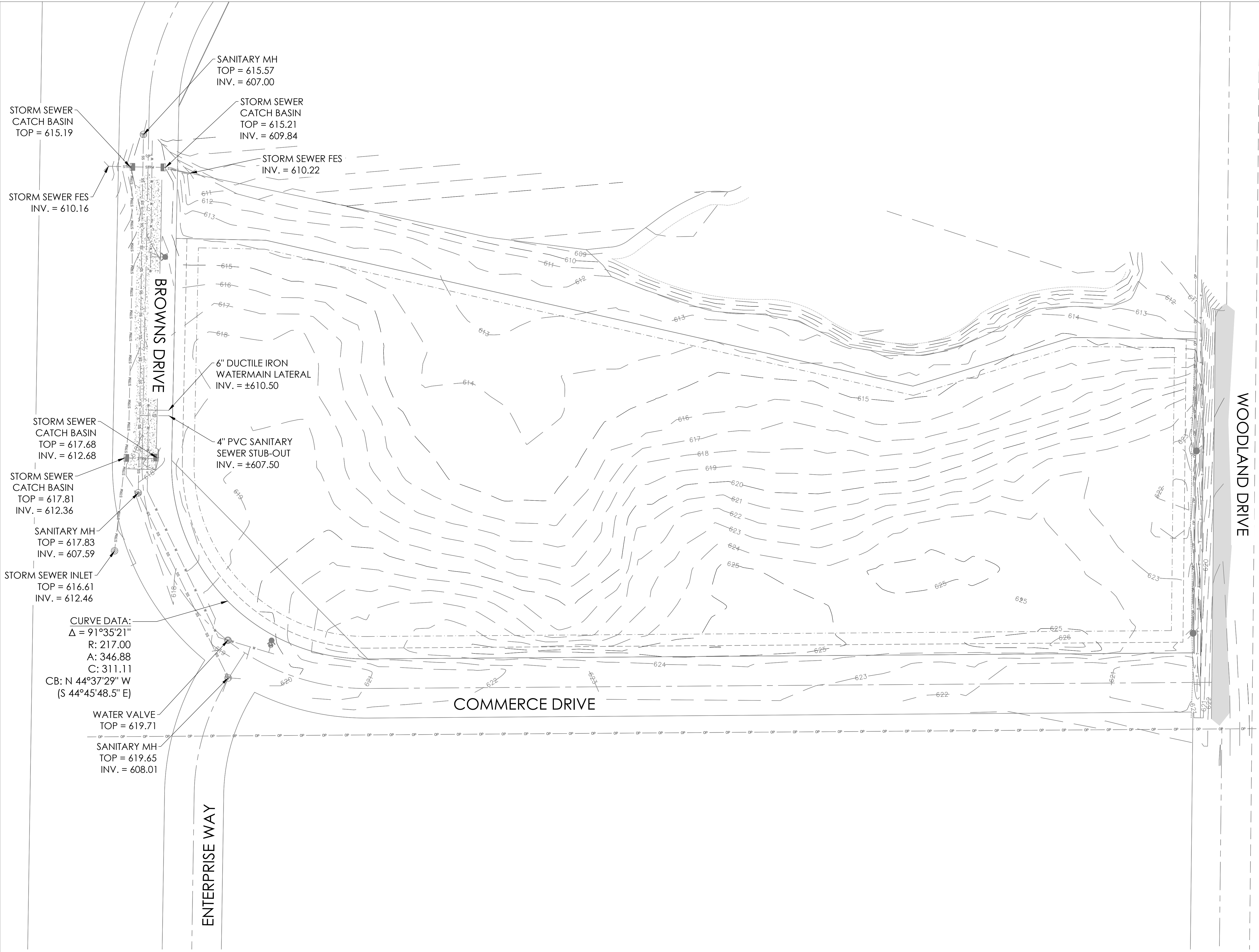
**2. Transportation, Utilities and Stormwater Management**

- Utility Plan Sheet A206 shows the connections on Browns Drive, to the west of the building for 4-inch sanitary sewer services (4 inch), an existing 6-inch water main services and an existing storm sewer catch basin.



February 29, 2024

F:\2023-CONTRACTS\2023-19 Braun Building Truss Plant\Phase - 2\Construction Documents\3\_Site\2023-19 - Base.dwg



STORM SEWER CATCH BASIN  
TOP = 615.19

SANITARY MH  
TOP = 615.57  
INV. = 607.00

STORM SEWER CATCH BASIN  
TOP = 615.21  
INV. = 609.84

STORM SEWER FES  
INV. = 610.22

STORM SEWER FES  
INV. = 610.16

BROWNS DRIVE

6" DUCTILE IRON WATERMAIN LATERAL  
INV. = ±610.50

4" PVC SANITARY SEWER STUB-OUT  
INV. = ±607.50

STORM SEWER CATCH BASIN  
TOP = 617.68  
INV. = 612.68

STORM SEWER CATCH BASIN  
TOP = 617.81  
INV. = 612.36

SANITARY MH  
TOP = 617.83  
INV. = 607.59

STORM SEWER INLET  
TOP = 616.61  
INV. = 612.46

CURVE DATA:  
Δ = 91°35'21"  
R: 217.00  
A: 346.88  
C: 311.11  
CB: N 44°37'29" W  
(S 44°45'48.5" E)

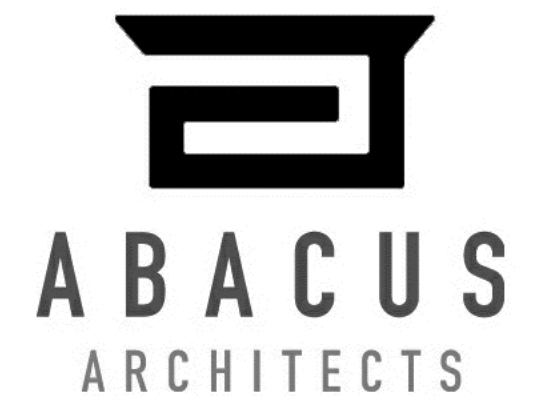
WATER VALVE  
TOP = 619.71

SANITARY MH  
TOP = 619.65  
INV. = 608.01

ENTERPRISE WAY

COMMERCE DRIVE

WOODLAND DRIVE



REVISIONS:

NOTICE TO BIDDERS  
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

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FEBRUARY 29, 2024

NEW CONSTRUCTION FOR:

BRAUN BUILDING CENTER - TRUSS SHOP

BROWNS DRIVE, TWO RIVERS, WI 54241

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE WI 53202 (414) 837-6450

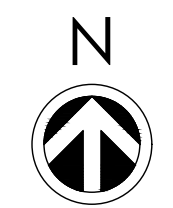
DRAWN BY: MBS

CHECKED BY: JRV

A  
200

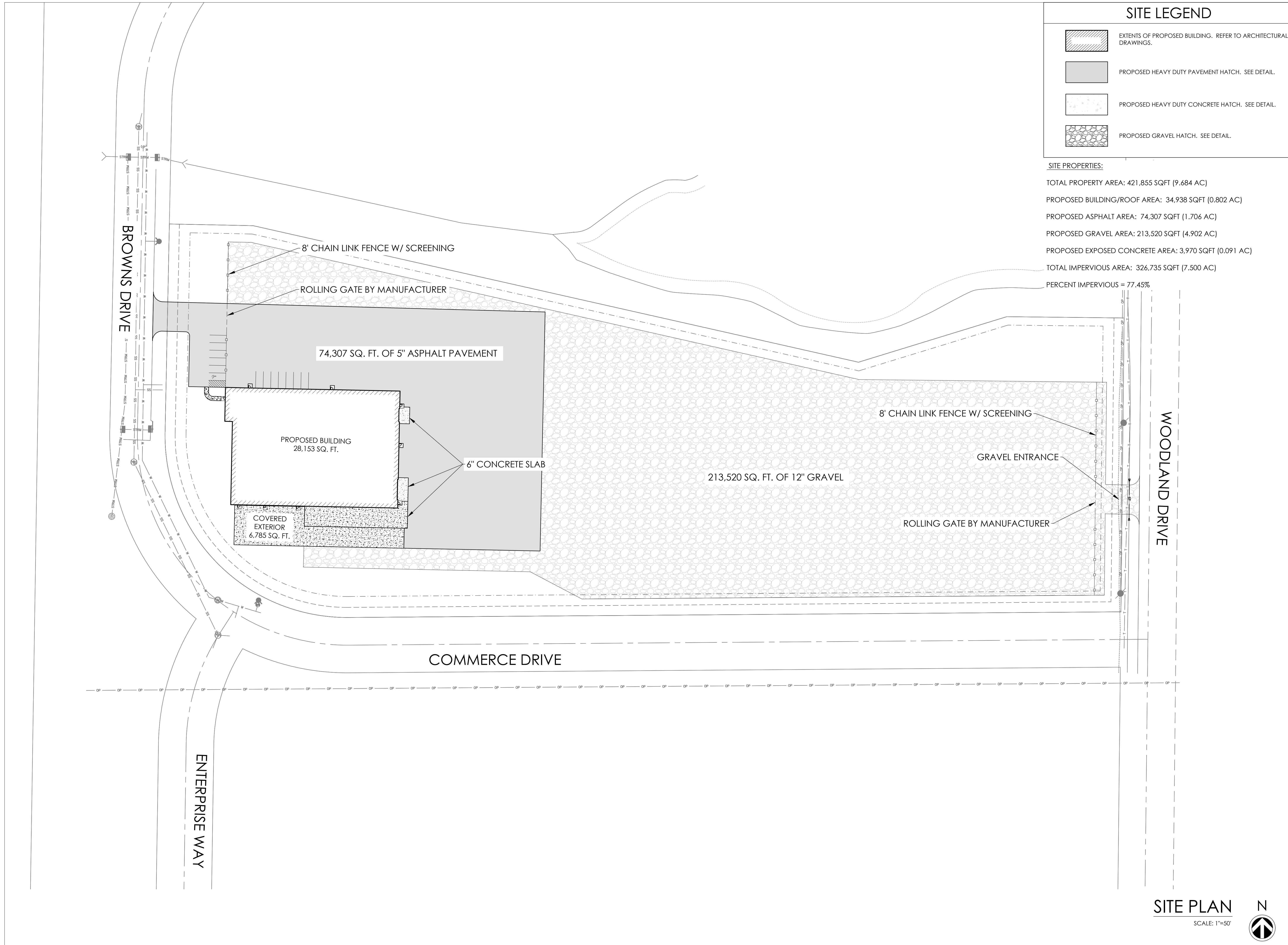
EXISTING CONDITIONS & DEMO PLAN

SCALE: 1"=50'




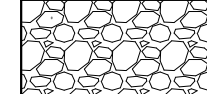


PROJ. NO. 2023-19

P:\2023-CONTRACTS\2023-19 Braun Building Truss Plant\Phase - 2\Construction Documents\3\_Site\2023-19 - Base.dwg  
February 29, 2024



### SITE LEGEND

-  EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
-  PROPOSED HEAVY DUTY PAVEMENT HATCH. SEE DETAIL.
-  PROPOSED HEAVY DUTY CONCRETE HATCH. SEE DETAIL.
-  PROPOSED GRAVEL HATCH. SEE DETAIL.

#### SITE PROPERTIES:

- TOTAL PROPERTY AREA: 421,855 SQFT (9.684 AC)
- PROPOSED BUILDING/ROOF AREA: 34,938 SQFT (0.802 AC)
- PROPOSED ASPHALT AREA: 74,307 SQFT (1.706 AC)
- PROPOSED GRAVEL AREA: 213,520 SQFT (4.902 AC)
- PROPOSED EXPOSED CONCRETE AREA: 3,970 SQFT (0.091 AC)
- TOTAL IMPERVIOUS AREA: 326,735 SQFT (7.500 AC)
- PERCENT IMPERVIOUS = 77.45%



#### REVISIONS:

NOTICE TO BIDDERS  
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

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FEBRUARY 29, 2024

NEW CONSTRUCTION FOR:

**BRAUN BUILDING CENTER - TRUSS SHOP**

BROWNS DRIVE, TWO RIVERS, WI 54241

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE WI 53202 (414) 837-6450

DRAWN BY: MBS

CHECKED BY: JRV

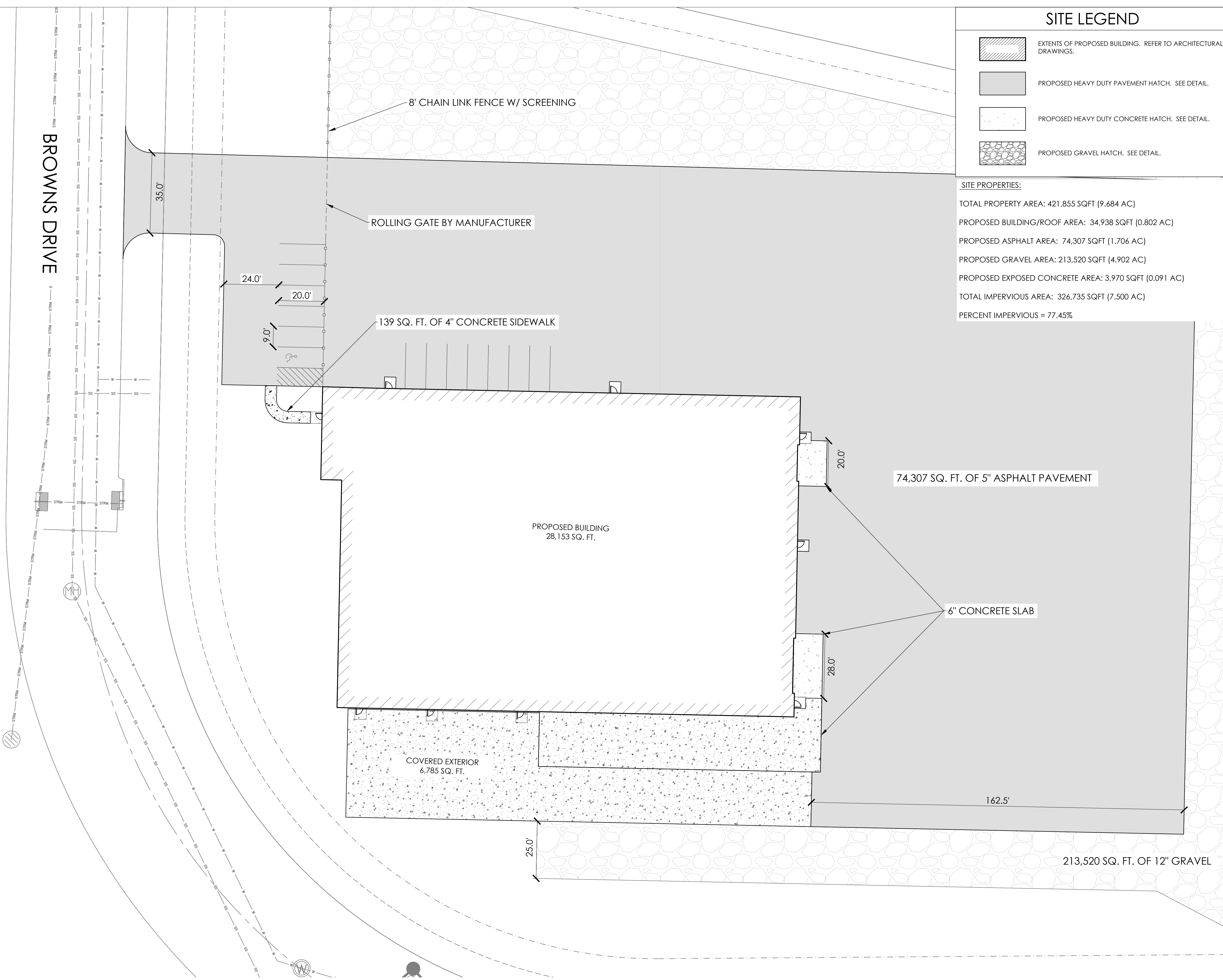
# A 201

PROJ. NO. 2023-19

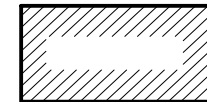


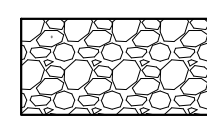
### SITE PLAN

SCALE: 1"=50'

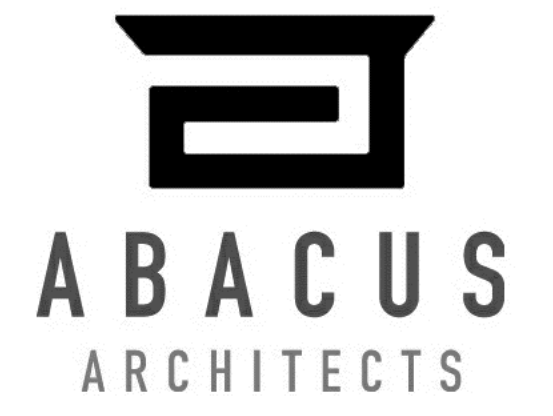




### SITE LEGEND

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© 2024 ABACUS ARCHITECTS, INC.

FEBRUARY 29, 2024  
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**BRAUN BUILDING CENTER - TRUSS SHOP**  
 BROWNS DRIVE, TWO RIVERS, WI 54241  
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE WI 53202 (414) 837-6450

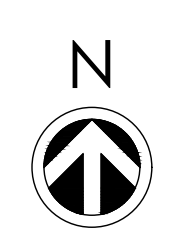
DRAWN BY: MBS

CHECKED BY: JRV

# A 202

## PARKING LOT SITE PLAN

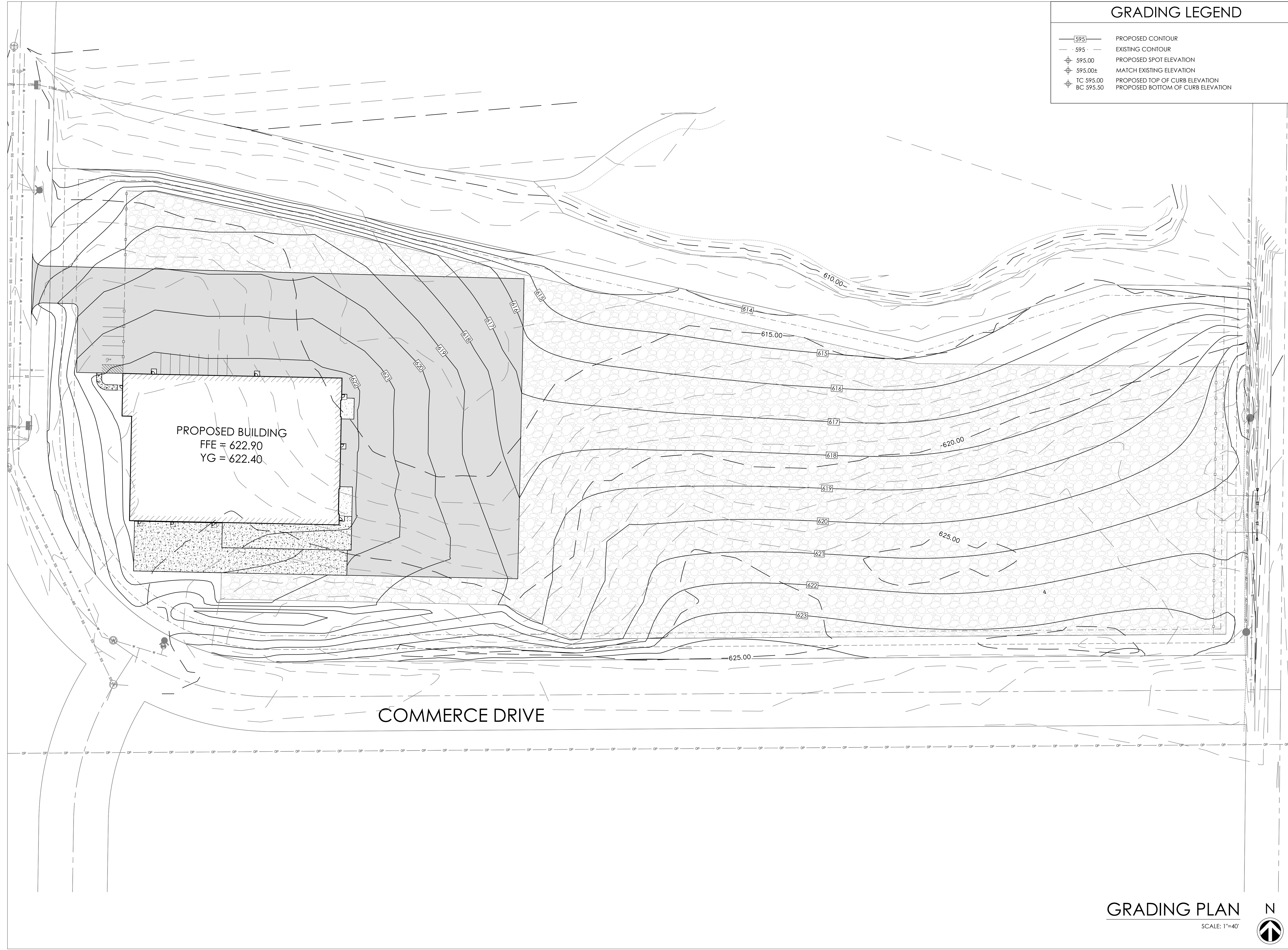
SCALE: 1"=20'



PROJ. NO. 2023-19

February 29, 2024

P:\2023-CONTRACTS\2023-19 Braun Building Truss Plant\Phase - 3 Site\2023-19 - Base.dwg



### GRADING LEGEND

- 595 — PROPOSED CONTOUR
- 595 - EXISTING CONTOUR
- ⊕ 595.00 PROPOSED SPOT ELEVATION
- ⊕ 595.00± MATCH EXISTING ELEVATION
- ⊕ TC 595.00 PROPOSED TOP OF CURB ELEVATION
- ⊕ BC 595.50 PROPOSED BOTTOM OF CURB ELEVATION



REVISIONS:

NOTICE TO BIDDERS  
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

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FEBRUARY 29, 2024

NEW CONSTRUCTION FOR:

## BRAUN BUILDING CENTER - TRUSS SHOP

BROWNS DRIVE, TWO RIVERS, WI 54241

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE WI 53202 (414) 837-6450

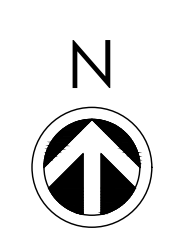
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CHECKED BY: JRV

# A 203

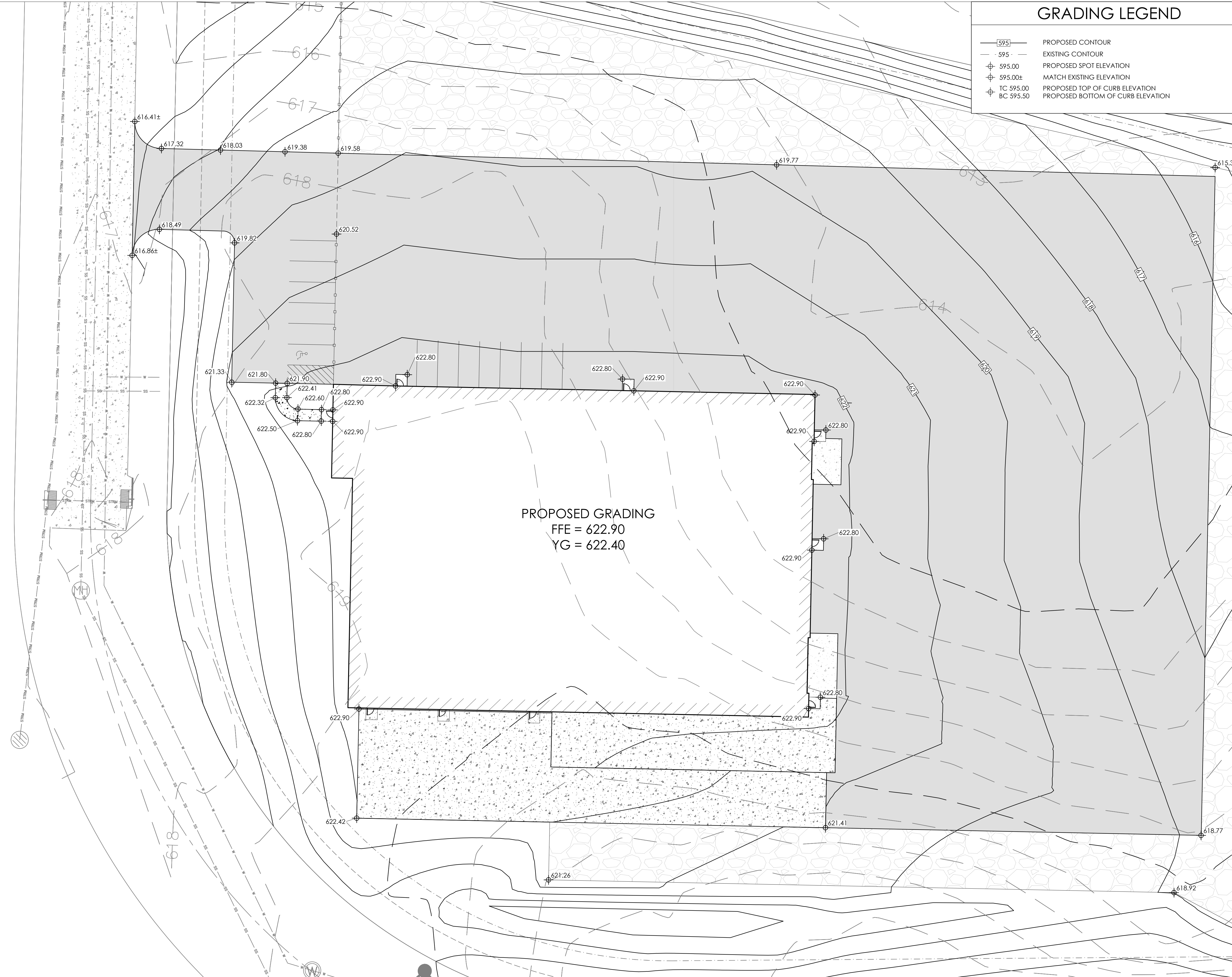
### GRADING PLAN

SCALE: 1"=40'



PROJ. NO. 2023-19

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February 29, 2024



GRADING LEGEND	
— 595 —	PROPOSED CONTOUR
- 595 -	EXISTING CONTOUR
⊕ 595.00	PROPOSED SPOT ELEVATION
⊕ 595.00±	MATCH EXISTING ELEVATION
⊕ TC 595.00	PROPOSED TOP OF CURB ELEVATION
⊕ BC 595.50	PROPOSED BOTTOM OF CURB ELEVATION



REVISIONS:

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FEBRUARY 29, 2024  
NEW CONSTRUCTION FOR:  
**BRAUN BUILDING CENTER - TRUSS SHOP**  
BROWNS DRIVE, TWO RIVERS, WI 54241  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE WI 53202 (414) 837-6450

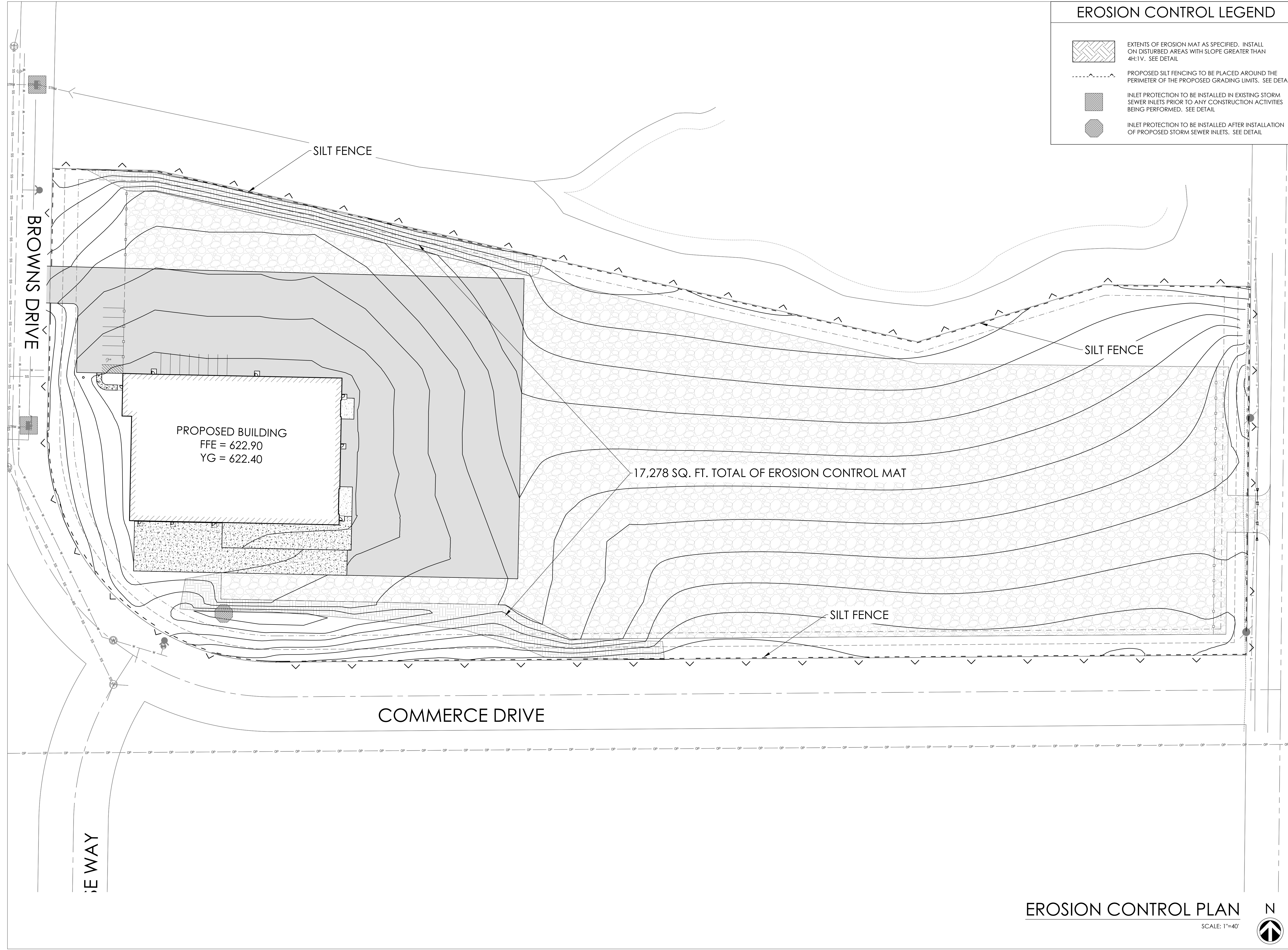
DRAWN BY: MBS  
CHECKED BY: JRV

**A**  
**204**

**PARKING LOT GRADING PLAN**  
SCALE: 1"=20'  
N

PROJ. NO. 2023-19

P:\2023-CONTRACTS\2023-19 Braun Building Truss Plant\Phase - 2\Construction Documents\3 Site\2023-19 - Base.dwg  
February 29, 2024



**EROSION CONTROL LEGEND**

- EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL
- PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL
- INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL
- INLET PROTECTION TO BE INSTALLED AFTER INSTALLATION OF PROPOSED STORM SEWER INLETS. SEE DETAIL

**ABACUS ARCHITECTS**

REVISIONS:

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PROPOSED BUILDING  
FFE = 622.90  
YG = 622.40

17,278 SQ. FT. TOTAL OF EROSION CONTROL MAT

SILT FENCE

SILT FENCE

SILT FENCE

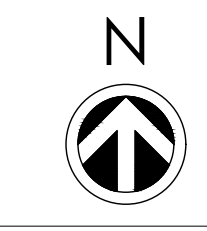
COMMERCE DRIVE

BROWNS DRIVE

ALLEYWAY

EROSION CONTROL PLAN

SCALE: 1"=40'



T A I N G A R C H I T E C T S

FEBRUARY 29, 2024

NEW CONSTRUCTION FOR:

**BRAUN BUILDING CENTER - TRUSS SHOP**

BROWNS DRIVE, TWO RIVERS, WI 54241

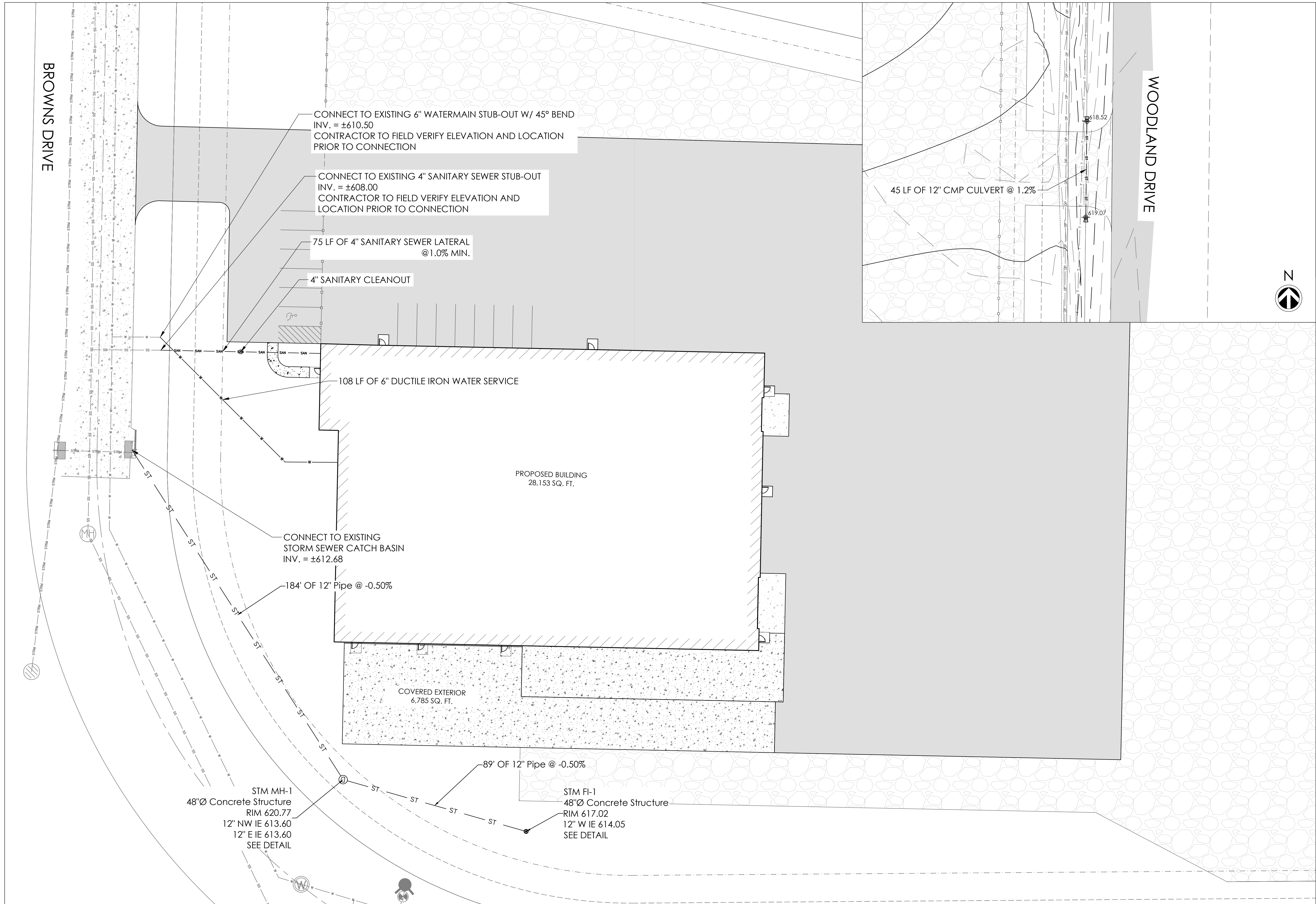
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53202 (414) 837-6450

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CHECKED BY: JRV

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**205**

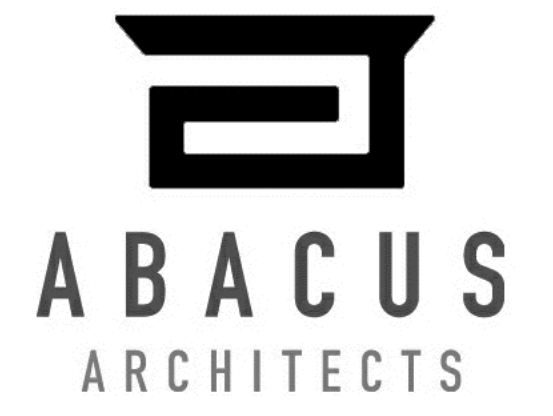
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BROWNS DRIVE

WOODLAND DRIVE



REVISIONS:

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FEBRUARY 29, 2024

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**BRAUN BUILDING CENTER - TRUSS SHOP**

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1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE WI 53202 (414) 837-6450

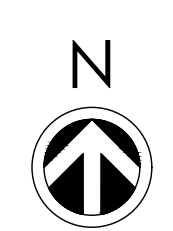
DRAWN BY: MBS

CHECKED BY: JRV

**A**  
**206**

UTILITY PLAN

SCALE: 1"=20'

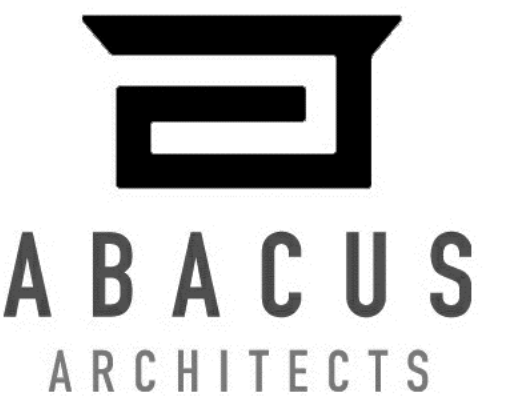


PROJ. NO. 2023-19



February 29, 2024

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REVISIONS:

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FEBRUARY 29, 2024

NEW CONSTRUCTION FOR:

**BRAUN BUILDING CENTER - TRUSS SHOP**

BROWNS DRIVE, TWO RIVERS, WI 54241

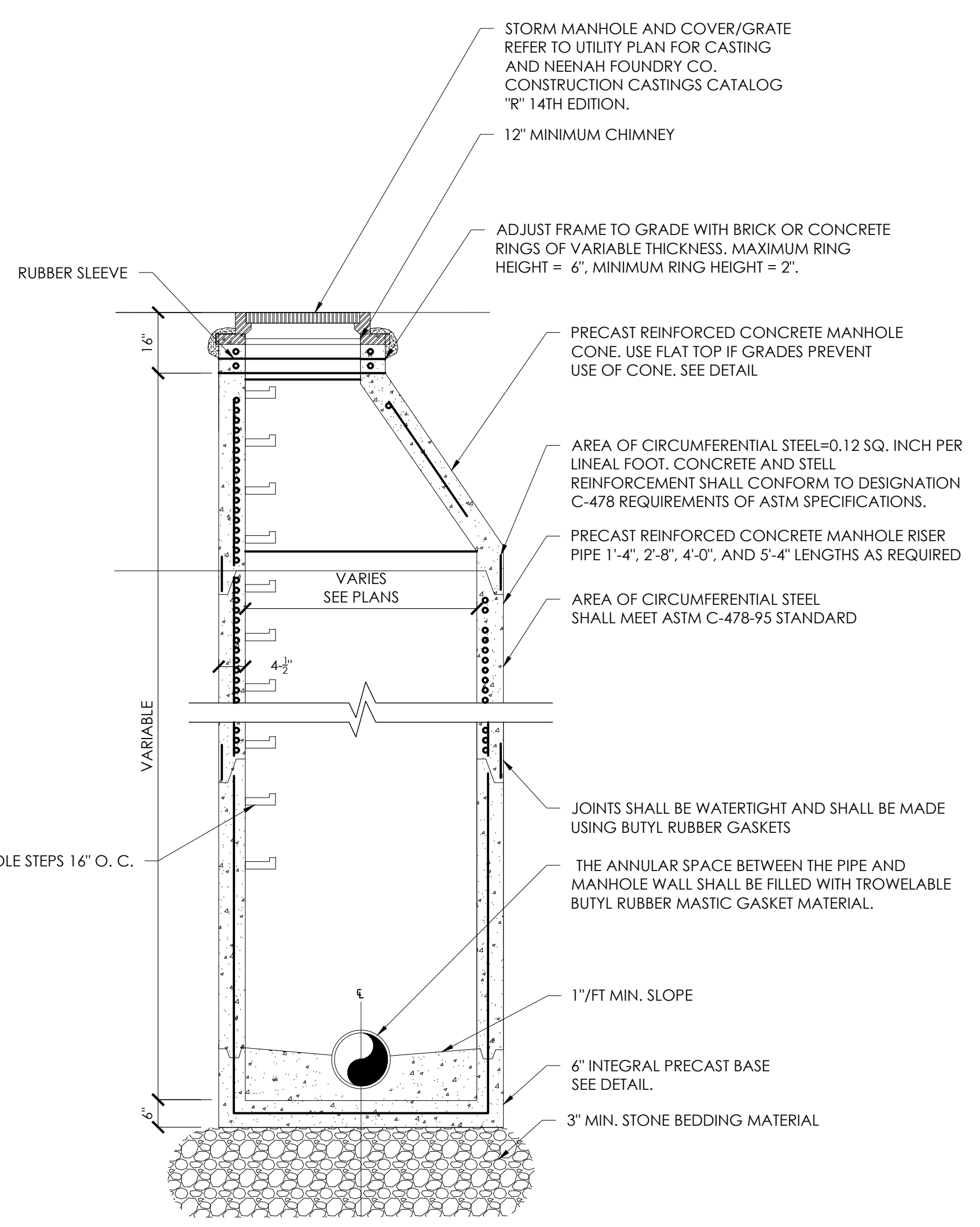
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE WI 53202 (414) 837-6450

DRAWN BY: MBS

CHECKED BY: JRV

**A**  
**207**

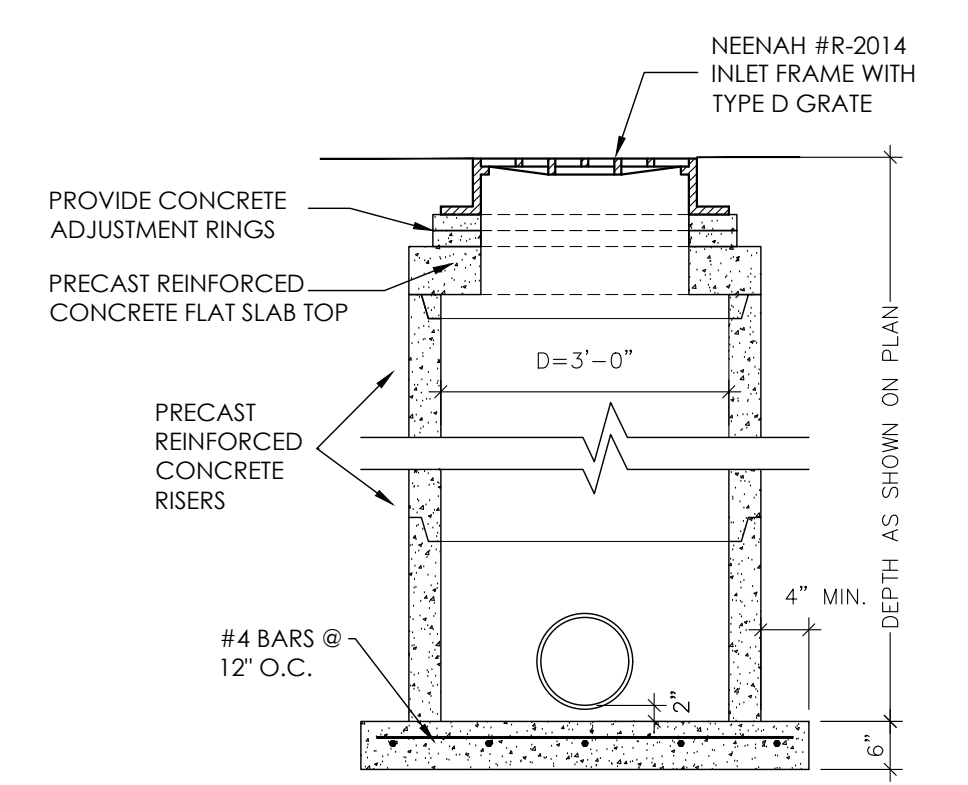
PROJ. NO. 2023-19



**STORM MANHOLE NOTES:**

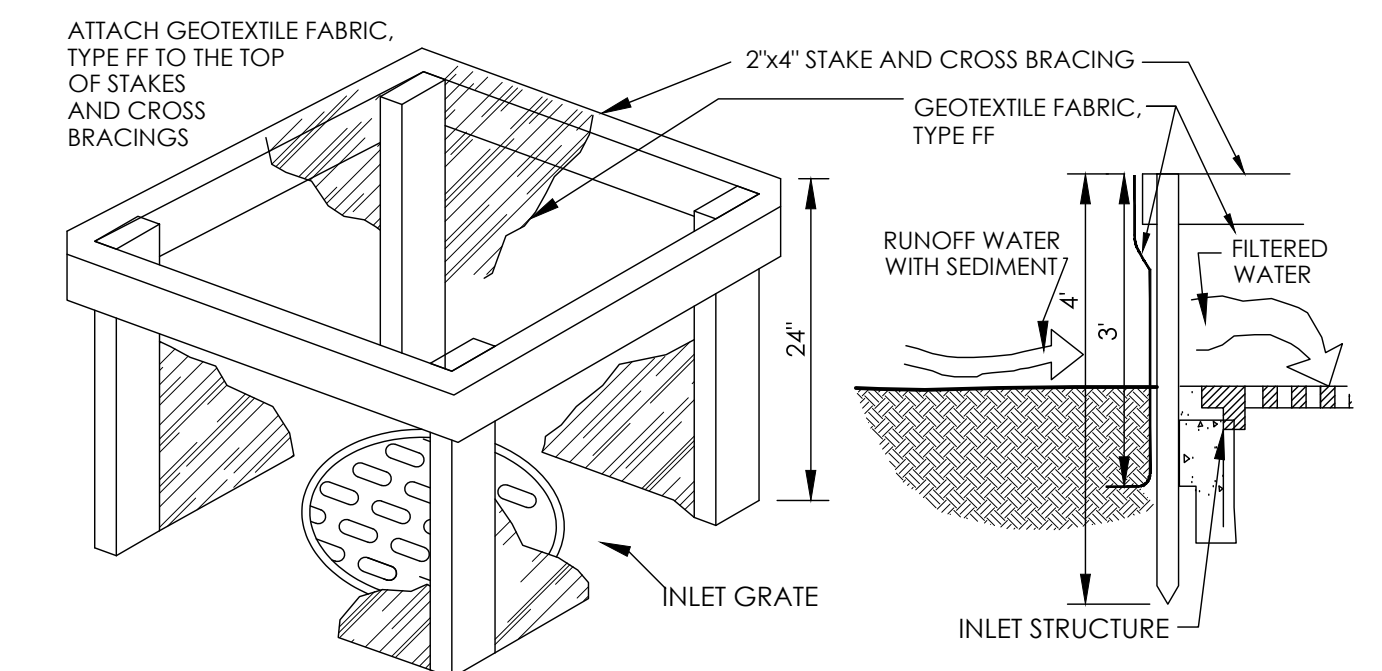
1. PRECAST ADJUSTING RINGS TO BE REINFORCED WITH ONE HOOP OF STEEL CENTERED WITH THE RING. WHERE NECESSARY, RINGS SHALL BE GROOVED TO RECEIVE STEP.
2. CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS.
3. 3" MIN. BEDDING MATERIAL REQUIRED UNDER MANHOLE BASE AND AND BACKFILLED STRUCTURE WITH GRANULAR BACKFILL MATERIAL.
4. SEE STANDARD SPECIFICATIONS, FILE NO. 12 FOR PRECAST MANHOLE AND FILE NO. 13 FOR MANHOLE INVERTS, INCLUDING INVERTS OF LATERAL SEWERS THAT CONNECT DIRECTLY TO MANHOLES.

**STORM MANHOLE DETAIL**



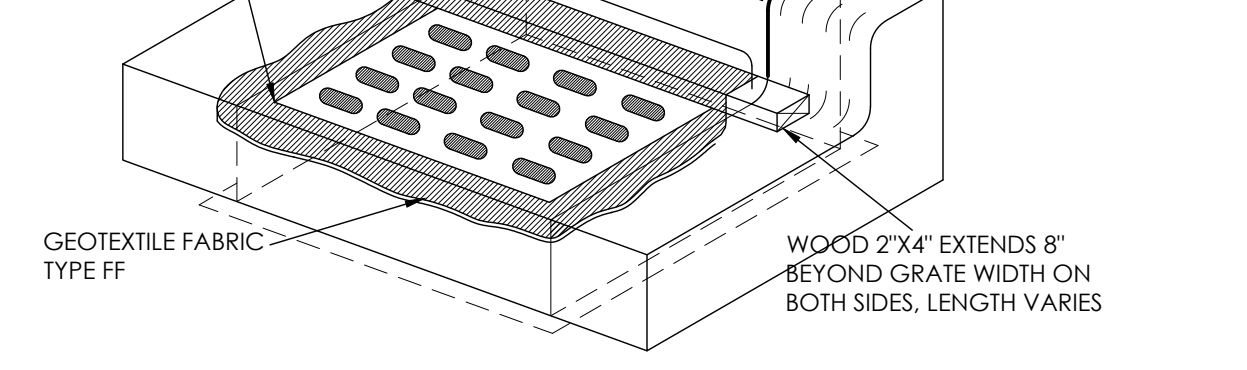
**PRECAST REINFORCED CONCRETE ACCEPTABLE STORM INLET SECTION**

FABRIC SHALL BE REPLACED AT THE ENGINEERS DISCRETION.  
 WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET, ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.



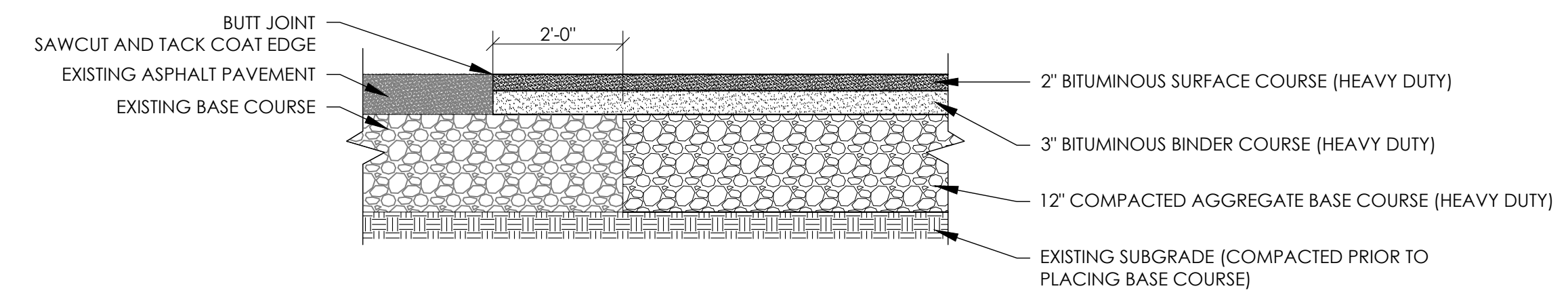
**INLET PROTECTION, TYPE 'A'**  
 INSTALLATION PURSUANT TO WDNR TECHNICAL STANDARD 1060

FABRIC SIZE SHALL BE 10\"/>

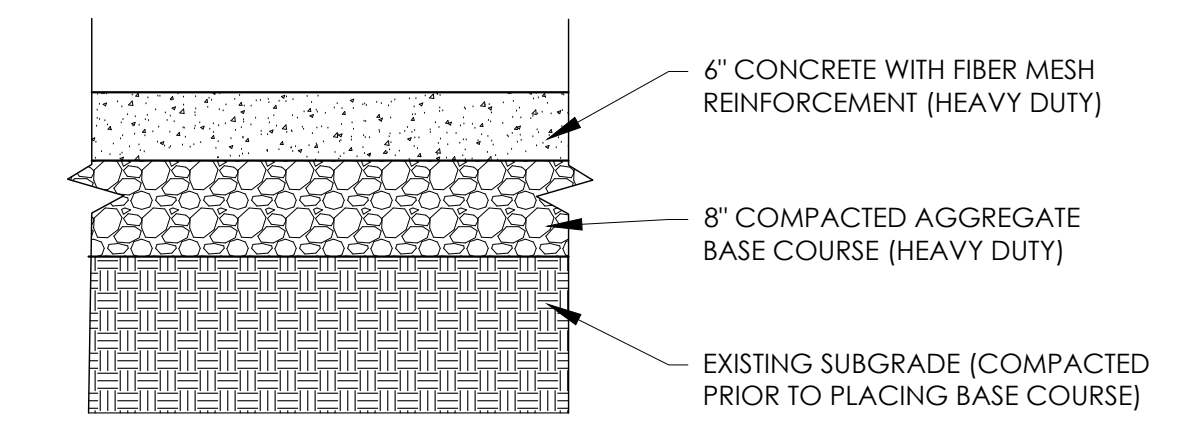


**INLET PROTECTION, TYPE 'C'**  
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3\"/>

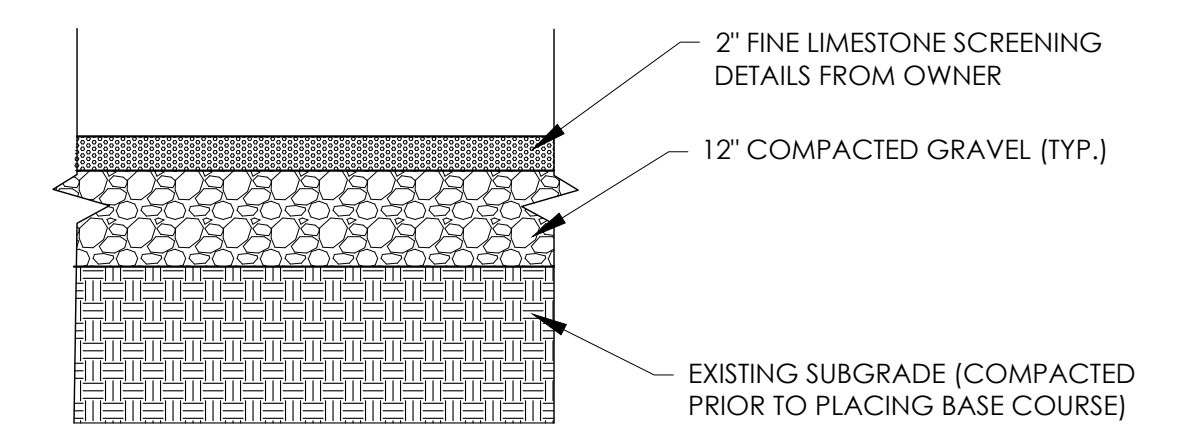
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.  
 TYPE 'C' INLET PROTECTION TO BE IMPLEMENTED UPON CONSTRUCTION OF CURB AND GUTTER. PRIOR TO CURB AND GUTTER CONSTRUCTION, TYPE 'A' INLET PROTECTION SHALL BE PROVIDED.



**ASPHALT PAVEMENT CROSS SECTION**



**CONCRETE SLAB CROSS SECTION**

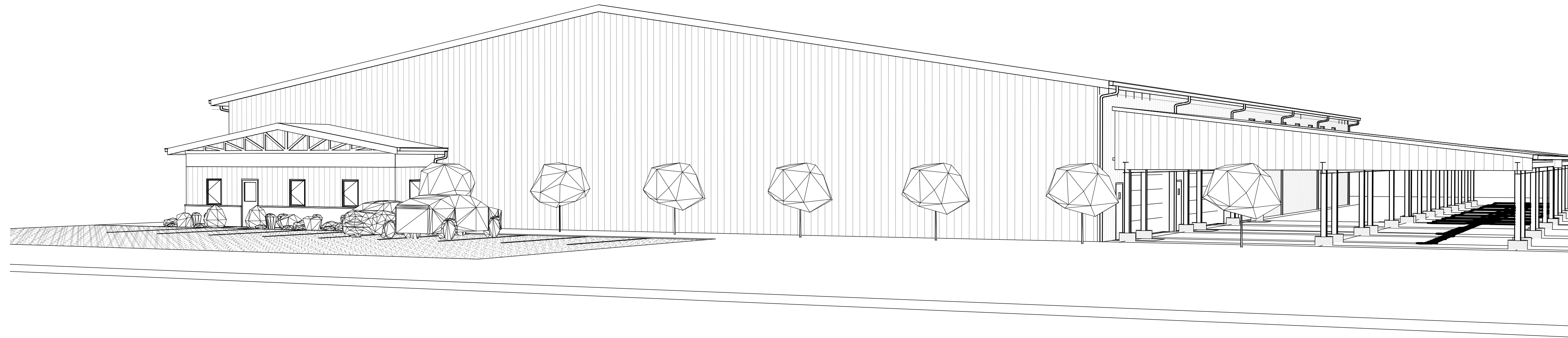


**GRAVEL AREA CROSS SECTION**

**DETAILS**

# BRAUN BUILDING CENTER - TRUSS SHOP

NEW CONSTRUCTION FOR:  
BROWNS DRIVE, TWO RIVERS, WI 54241



REVISIONS:

NOTICE TO BIDDERS  
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FEBRUARY 29th, 2024  
NEW CONSTRUCTION FOR:  
**BRAUN BUILDING CENTER - TRUSS SHOP**  
BROWNS DRIVE, TWO RIVERS, WI 54241  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

ARCHITECTURAL		STRUCTURAL	
ABACUS ARCHITECTS, INC. 1135A MICHIGAN AVENUE SHEBOYGAN, WISCONSIN 53081 P: 920-452-4444		PIERCE ENGINEERS 181 N. BROADWAY MILWAUKEE, WI 53202 PHONE: 414-278-6060	
A 101	TITLE SHEET	\$ 000	TBD
A 102	ABBREVIATIONS, SYMBOLS & WALL TYPES		
A 301	LIFE SAFETY PLAN		
A 302	FLOOR PLAN		
A 303	OFFICE PLAN, INTERIOR ELEVATIONS & REFL. CEILING PLAN		
A 304	CLERESTORY PLAN		
A 401	SCHEDULES & DOOR DETAILS		
A 402	WINDOW TYPES & DETAILS		
A 501	EXTERIOR ELEVATIONS		
A 601	WALL SECTIONS & DETAILS		
A 602	WALL SECTIONS & DETAILS		
A 701	ROOF PLAN		
A 702	WALL SECTION DETAILS		

PROJECT INFORMATION

PROJECT NOTES
<p><b>EXTENT OF WORK</b> THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.</p> <p><b>SITE VISIT</b> THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.</p> <p><b>NOTICE TO BIDDERS</b> BIDDERS SHALL REVIEW ALL DRAWINGS AND ALL SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.</p> <p><b>COPYRIGHT</b> ABACUS ARCHITECTS, INC. HOLDS ALL RIGHTS OF COPYRIGHT IN AND TO THESE PRINTS, DRAWINGS, AND DOCUMENTS. NO REPRODUCTION, COPYING, ALTERATION, MODIFICATION, USAGE, INCORPORATION, INTO OTHER DOCUMENTS, OR ASSIGNMENT OF THE SAME MAY OCCUR WITHOUT THE PRIOR WRITTEN PERMISSION OF ABACUS ARCHITECTS, INC. © 2021 ABACUS ARCHITECTS, INC.</p>

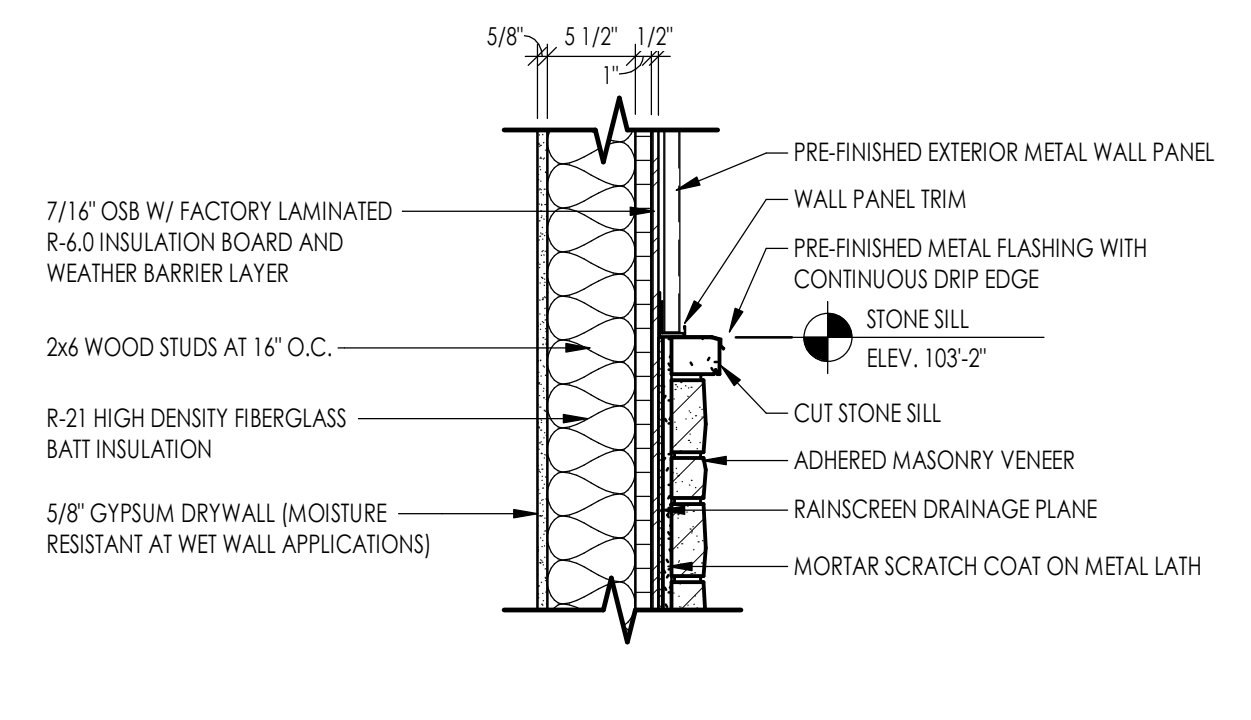
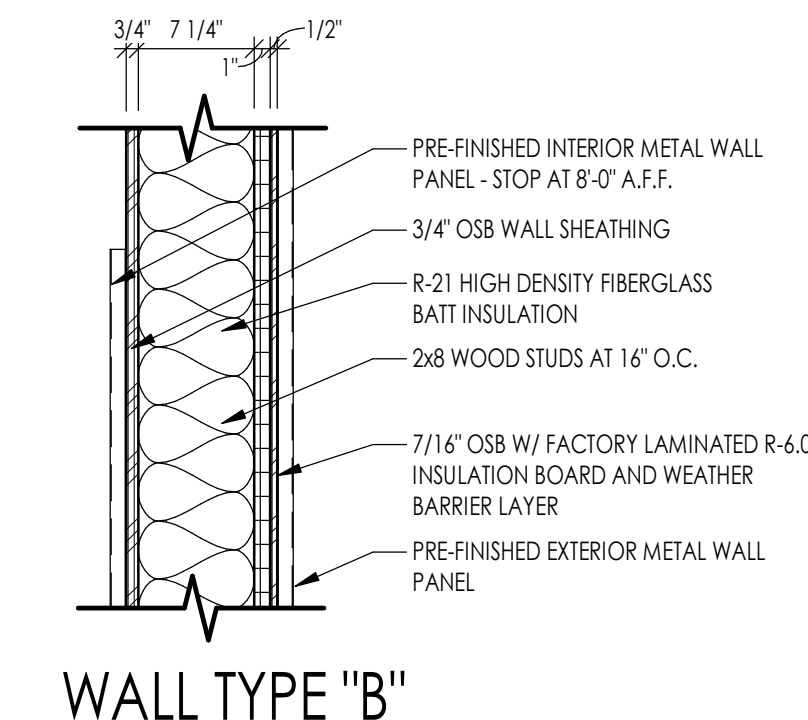
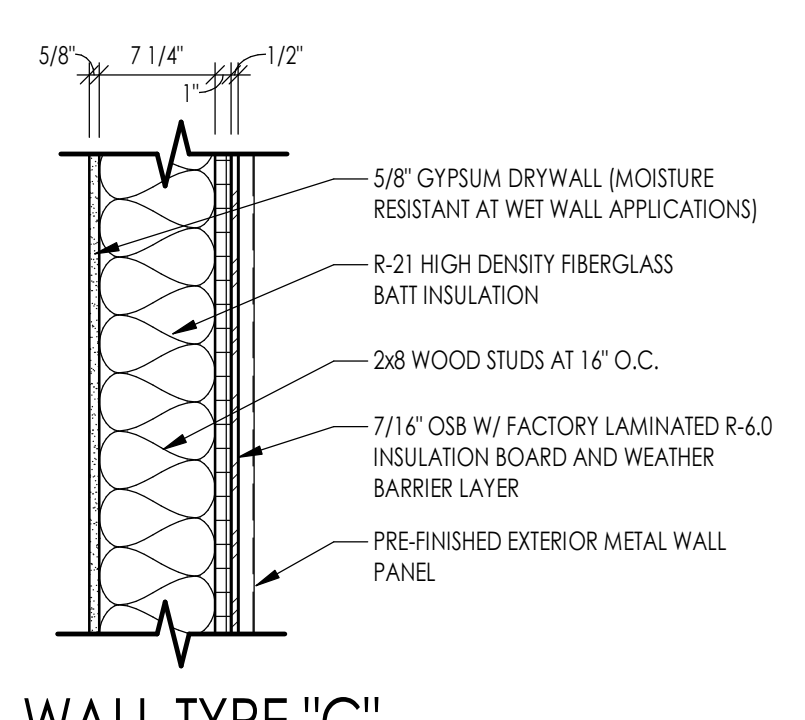
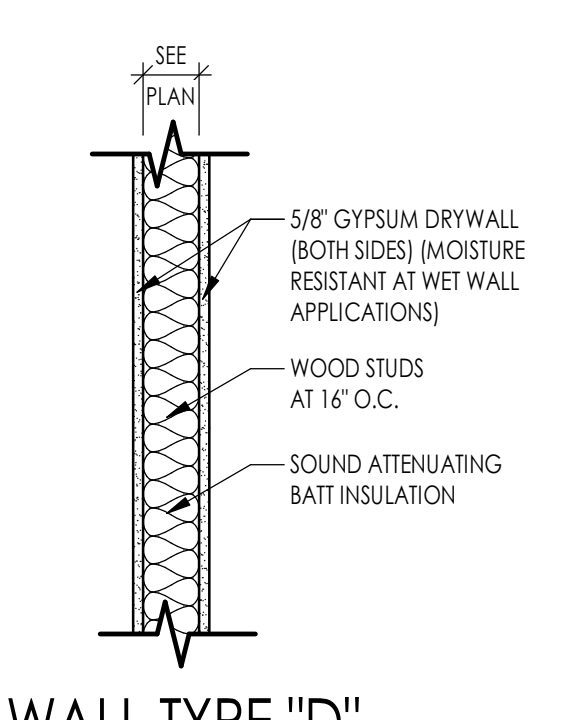
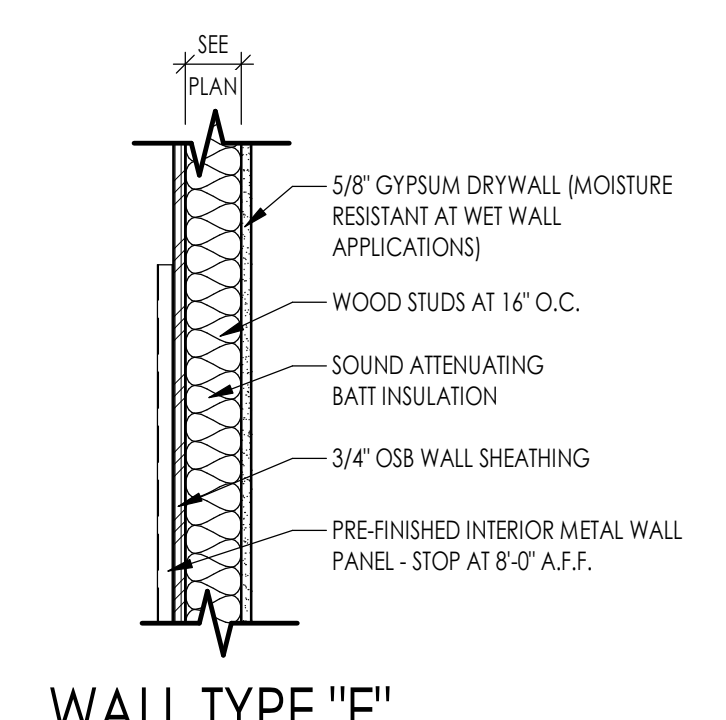
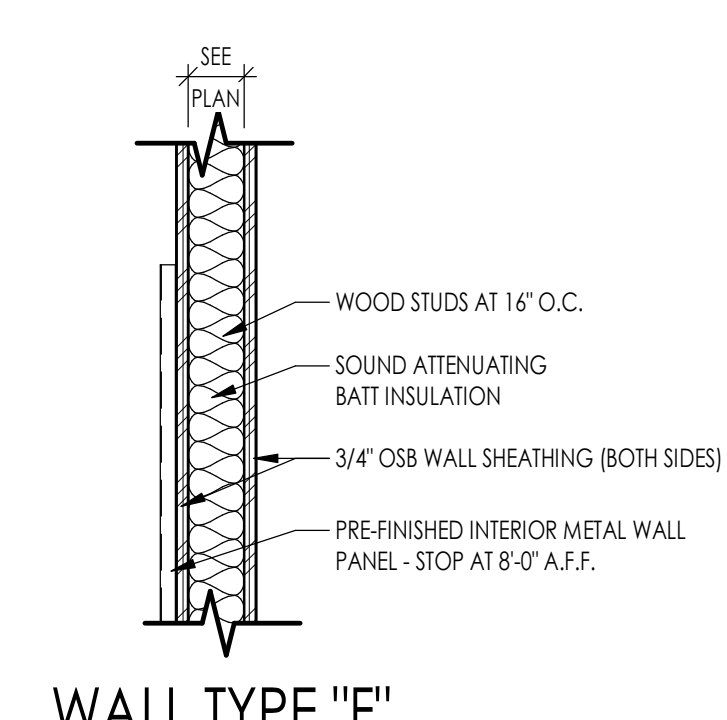
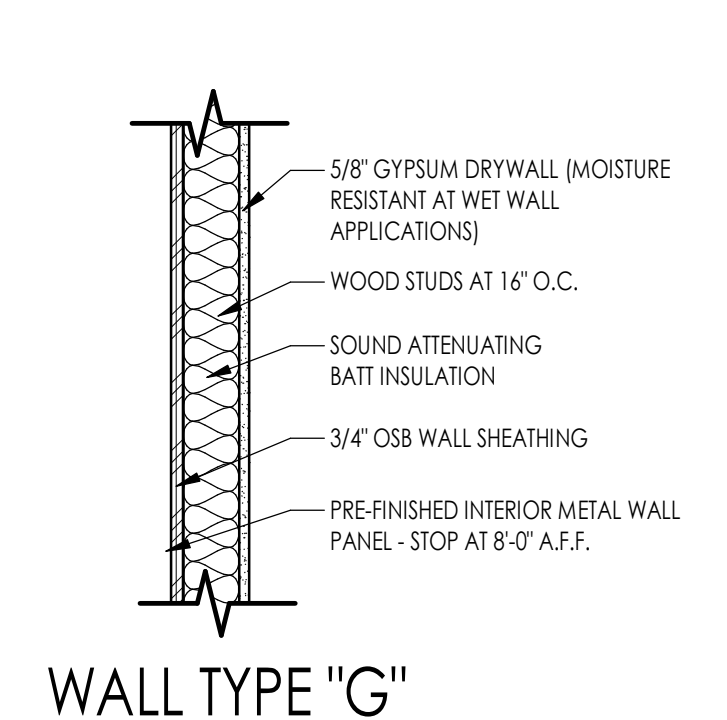
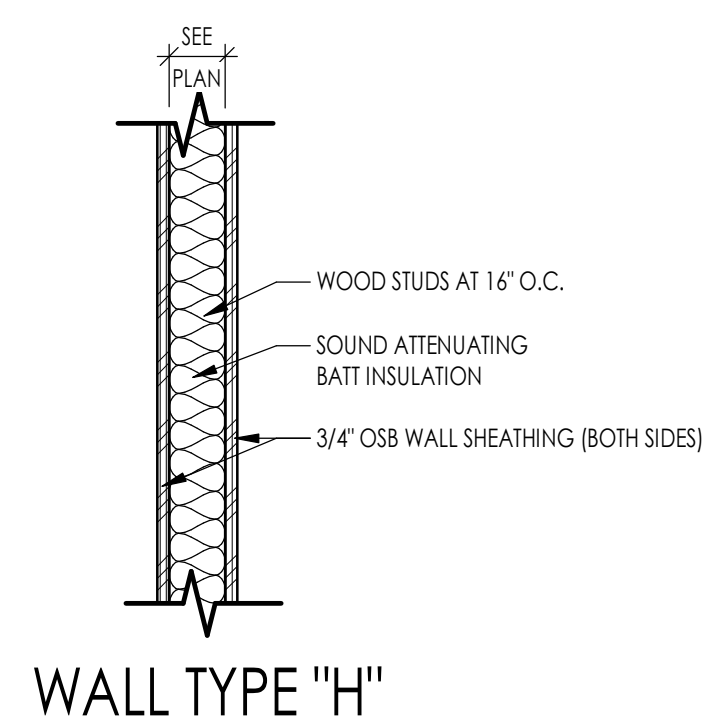
DRAWN BY: AJK  
CHECKED BY: PGM  
TITLE SHEET  
**A**  
**101**  
PROJ. NO. 2023-019

ABBREVIATIONS

A.B.	ANCHOR BOLT	CORR	CORRIDOR	FAB	FABRICATED	LL	LIVE LOAD	R.C.	ROOF CONDUCTOR	THK	THICK
A.D.A.	AMERICAN WITH DISABILITIES ACT	CPT	CORRUGATED	FDN	FOUNDATION	LAM	LAMINATED	R.D.	ROOF DRAIN	TOT	TOTAL
A.F.F.	ABOVE FINISHED FLOOR	D	DEPTH	FIN	FINISH	LAV	LAVATORY	R.H.	RIGHT HAND	TV	TELEVISION
A/C	AIR CONDITIONING	D.F.	DRINKING FOUNTAIN	FL	FLOOR	LB	POUND	R.O.	ROUGH OPENING	TYP	TYPICAL
ACOUS	ACOUSTICAL	D.L.	DEAD LOAD	FT	FOOT, FEET	LOUV	LOUVER	REF	REFERENCE	UNFN	UNFINISHED
ADD	ADDITION	D.M.	DOUBLE	FTG	FOOTING	M.B.	MARKER BOARD	REG	REGISTER	UTIL	UTILITIES
ADJ	ADJUSTABLE	DBL	DOUBLE	FURN	FURNITURE	N.O.	MASONRY OPENING	REIN	REINFORCING (MENT)	V	VINYL
ALT	ALTERNATE	DEG	DEGREE	FURR	FURRING	MACH	MACHINE	REQD	REQUIRED	V.B.	VINYL BASE
ALUM	ALUMINUM	DEPT	DEPARTMENT	G	GAS	MAINT	MAINTENANCE	RESL	RESILIENT	V.C.I.	VINYL COMPOSITION TILE
APPROX	APPROXIMATE	DET	DETAIL	G.B.	GRAB BAR	MATL	MATERIAL	REV	REVISION	VENT	VENTILATION
ARCH	ARCHITECTURAL	DIA	DIAMETER	G.C.	GENERAL CONTRACTOR	MAX	MAXIMUM	RM	ROOM	VERT	VERTICAL
ATTEN	ATTENUATION	DIAG	DIAGONAL	G.M.	GAS METER	MECH	MECHANICAL	S.C.	SOLID CORE	VEST	VESTIBULE
AUTOW	AUTOWATED	DM	DIMENSION	G.M.	GAS METER	MEMB	MEMBRANE	S.S.	STAINLESS STEEL	VOL	VOLUME
B.L.	BORROWED LINE	DISP	DISPENSER	GA	GAUGE	MEZZ	MEZZANINE	SAN	SANITARY SEWER	W	WIDTH, WATER
B.M.	BENCH MARK	DN	DOWN	GALV	GALVANIZED	MFR	MANUFACTURER	SECT	SECTION	W.C.O.	WATER CLOSET, WATER COOLER
B.O.	BRITISH THERMAL UNIT BOARD	DR	DOOR	GYP. BD.	GYP. BOARD	MH	MANHOLE	SECUR	SECURITY	W.D.	WATER CLEAN OUT
B.T.U.	BRITISH THERMAL UNIT BOARD	DR	DOOR	H.HGT	HEIGHT	MIN	MINIMUM	SERV	SERVICE	W.W.	WATER HEATER
BD	BOARD	DS	DOWNSPOUT	H.B.	HOSE BIB	MISC	MISCELLANEOUS	SHT	SHEET	W/W	WITH
BLDG	BUILDING	DW	DRYWALL	H.M.	HOLLOW METAL	MIL	METAL	SM	SIMILAR	W/W	WITH
BLKG	BLOCKING	EJ.F.S.	EXTERIOR INSULATION FINISH SYSTEM	H.V.A.C.	HEATING, VENTILATION AND AIR CONDITIONING	MULL	MULLION	SPLR	SPLIKER	W/O	WITHOUT
BOT	BOTTOM	E.I.	EXPANSION JOINT	H.W.	HOT WATER	N	NORTH	SQ	SQUARE	WD	WOOD
BRG	BEARING	E.W.C.	ELECTRIC WATER COOLER	HC	HANDICAPPED	N.I.C.	NOT IN CONTRACT	SI, STORE	STANDARD	WT	WEIGHT
C.B.	CATCH BASIN, CHALK BOARD	EA	EACH	HD	HEAD	N.I.S.	NOT TO SCALE NUMBER	STD	STANDARD	WWM	WEIDED WIRE MESH
C.F.	CUBIC FEET	E.A.	EACH	HDR	HEADER	N.M.	NOMINAL	STL	STEEL	YD	YARD
C.G.	CORNER GUARD	EL. ELEV	ELEVATION, ELEVATOR	HDR	HARDWARE	O.C., O/C	ON CENTER	STRM	STORM SEWER		
C.J.	CONTROL JOINT	ELEC	ELECTRIC	HDRZ	HORIZONTAL	O.D.	OUTSIDE DIAMETER	STRUC	STRUCTURAL		
C.L.	CENTER LINE	EMER	EMERGENCY	HR	HOUR	OH	OVERHEAD	SUSP	SUSPENDED		
C.M.P.	CORRUGATED METAL PLY	ENCL	ENCLOSED	HTR	HEATER	PLAM.	PLASTIC LAMINATE	T	TREAD		
C.O.	CLEAN OUT	ENG	ENGINEER(D)	ID.	INSIDE DIAMETER	PL	PLATE	T&B	TOP AND BOTTOM		
C.W.	COLD WATER	EQ	EQUAL	INSUL	INSULATION	PLAS	PLASTIC	T&G	TOUNGE AND GROOVE		
CAB	CABINET	EQ	EQUAL	INT	INTERIOR	PLBG	PLUMBING	T.B.	TACK BOARD		
CLG	CEILING	EXCAV	EXCAVATE	INV	INVERT	PLYWD	PLYWOOD	T.O.	TOP OF		
CLR	CLEAR	EXIST. (EX)	EXISTING	J.B.	JOIST BEARING	PR	PAIR	T.O.B.	TOP OF BEAM		
CMU	CONCRETE MASONRY UNIT	EXP	EXPOSED	JAN	JANITOR	PREFAB	PREFABRICATED	T.O.F.	TOP OF FOOTING		
COL	COLUMN	EXT	EXTERIOR	JST	JOIST	PSF	POUNDS PER SQUARE FOOT	T.O.M.	TOP OF MASONRY		
COMP	COMPOSITION, COMPACT	F.A.C.E.	FAMILY AND CONSUMER EDUCATION	JT	JOINT	PSI	POUNDS PER SQUARE INCH	T.O.P.	TOP OF PIER		
CONC	CONCRETE	F.C.O.	FLOOR CLEAN OUT	KP	KNOCK OUT	PT, P.T.	POINT, PORCELAIN TILE, PAINT, PRESSURE	T.O.S.	TOP OF STEEL		
CONT	CONTINUOUS	F.D.	FLOOR DRAIN	KP	KNOCK OUT	Q.T.	QUARTY TILE	T.S.	TUBE STEEL		
		F.F.	FINISHED FLOOR	L	LENGTH	R	RADIUS, RISER	T.W.	TELEPHONE		
				L.H.	LEFT HAND			TEMP	TEMPERED		
								TERR	TERRAZO		

MATERIALS AND SYMBOLS

	ROUGH LUMBER		ELEVATION NAME ELEV. XXX'-XX"	ELEVATION MARKER
	FINISH LUMBER		XXX XXX XXX	ELEVATION REFERENCE
	STRUCTURAL STEEL		XXX XXX	BUILDING SECTION REFERENCE
	BRICK		XXX XXX	WALL SECTION REFERENCE
	CONCRETE MASONRY UNIT		XXX XXX	PLAN / DETAIL REFERENCE
	POURED-IN-PLACE CONCRETE		XXX XXX A.F.F.	CEILING TAG
	METAL / WOOD STUD WALL		XXX	DOOR TAG
	GLAZING		XXX	WALL TYPE TAG
	SPRAYED FOAM INSULATION		XXX	WINDOW TAG
	BATT INSULATION		XXX	PLAN NOTE TAG
	RIGID INSULATION		XXX	DEMOLITION NOTE TAG
	PLYWOOD / PARTICLE BOARD		XXX	COLUMN GRID
	SAND / MORTAR / GYPSUM BOARD		XXX	REVISION TAG
	COMPACTED DRAINAGE FILL		VIEW NAME SCALE: X/X" = X'-XX"	VIEW / DETAIL IDENTIFICATION
	COMPACTED STRUCTURAL FILL			
	TOPSOIL			
	NON-STRUCTURAL FILL			
	EXISTING CONSTRUCTION / MATERIAL			
	CENTER LINE			
	PROPERTY LINE			
	NEW CONTOURS			
	EXISTING CONTOURS			



WALL TYPES  
SCALE: 1" = 1'-0"

FEBRUARY 29th, 2024  
NEW CONSTRUCTION FOR:  
**BRAUN BUILDING CENTER - TRUSS SHOP**  
BROWNS DRIVE, TWO RIVERS, WI 54241  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 3131 N. PLANKINGTON AVE SUITE 208, MILWAUKEE, WI 53203

DRAWN BY: AJK  
CHECKED BY: PGM

ABBREVIATIONS,  
SYMBOLS & WALL TYPES

A  
102

PROJ. NO. 2023-019

**LIFE SAFETY PLAN LEGEND**

100'-0" PATH OF TRAVEL / DISTANCE

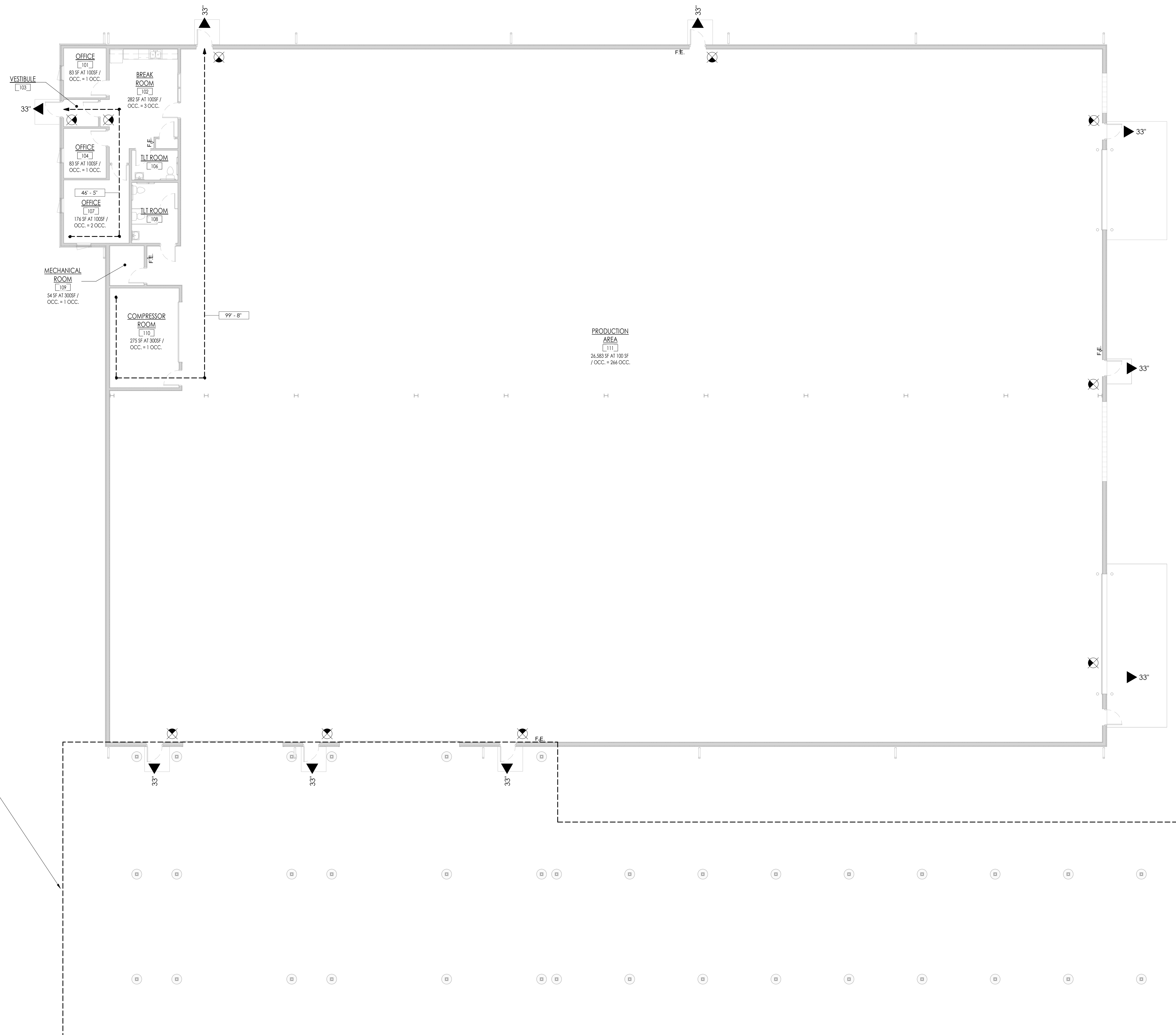
33" EXIT AND AVAILABLE EXIT INCHES

FEC-X & FE FIRE EXTINGUISHER

FE WALL MOUNTED W/ BRACKET  
 FEC-1 FULLY RECESSED CABINET  
 FEC-2 SEMI-RECESSED CABINET  
 FEC-3 SURFACE MOUNTED CABINET

**GENERAL PLAN NOTES**

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- OWNER TO PROVIDE ACCESS TO CLEAN DRINKING WATER.



ALTERNATE BID



REVISIONS:

NOTICE TO BIDDERS  
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FEBRUARY 29th, 2024  
 NEW CONSTRUCTION FOR:  
**BRAUN BUILDING CENTER - TRUSS SHOP**  
 BROWNS DRIVE, TWO RIVERS, WI 54241  
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE. SUITE 208, MILWAUKEE, WI 53203

DRAWN BY: AJK  
 CHECKED BY: PGM

LIFE SAFETY PLAN

**A**  
**301**

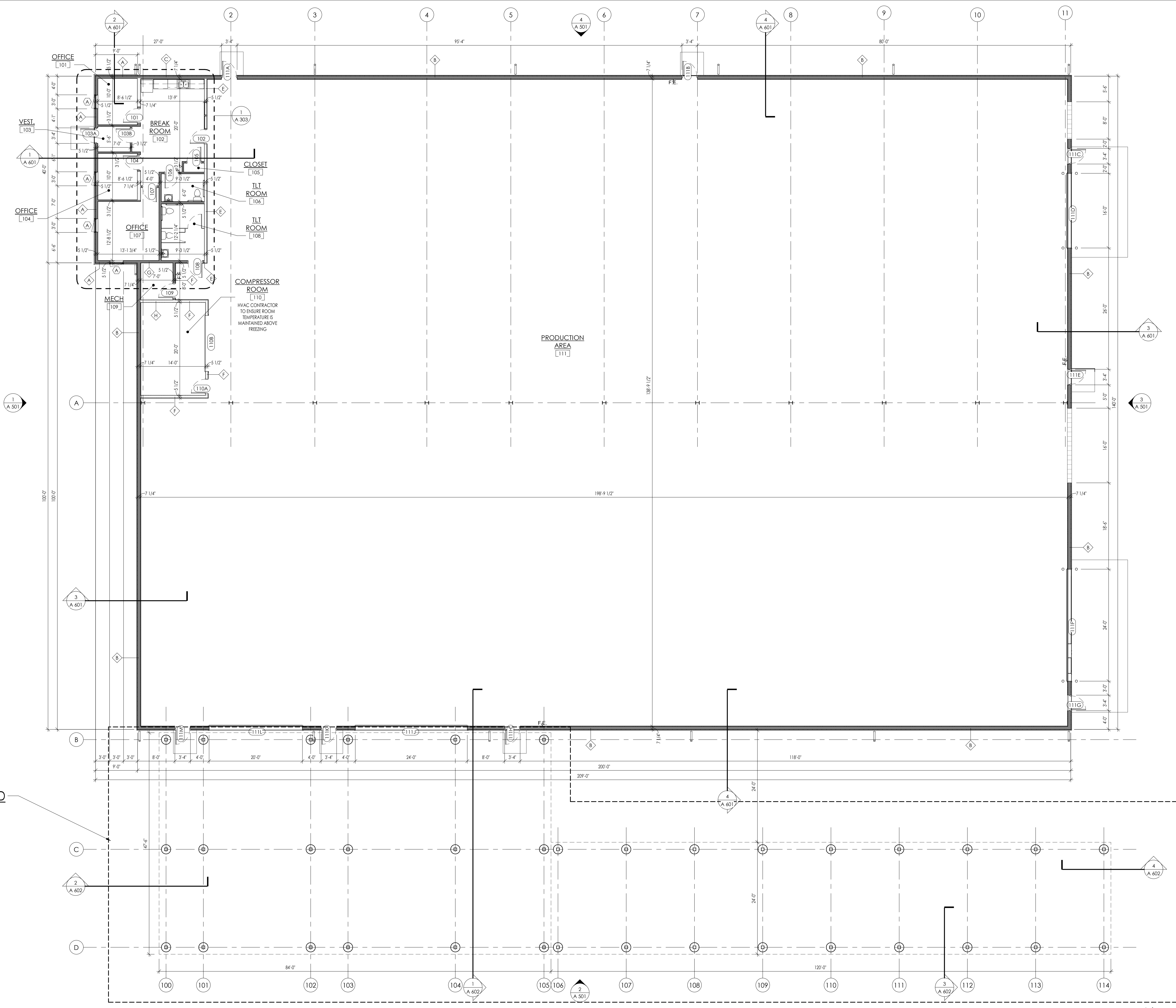
PROJ. NO. 2023-019

FIRST FLOOR LIFE SAFETY PLAN  
 SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

**GENERAL PLAN NOTES**

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 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE. SUITE 208, MILWAUKEE, WI 53203

DRAWN BY: AJK  
 CHECKED BY: PGM  
 FLOOR PLAN  
**A**  
**302**  
 PROJ. NO. 2023-019

**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 N  
 W E  
 S

ALTERNATE BID

REVISIONS:

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 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: AJK

CHECKED BY: PGM

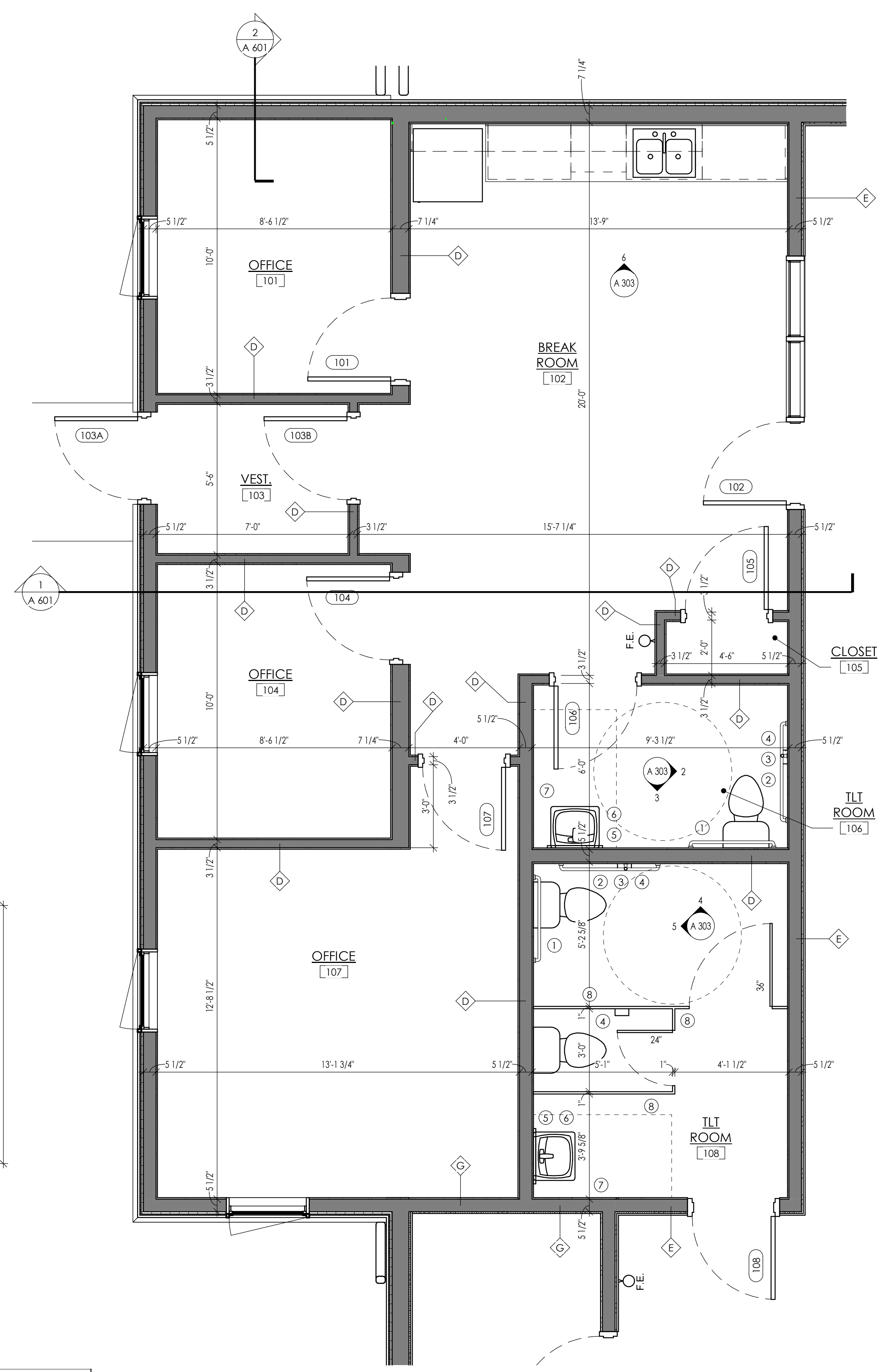
OFFICE PLAN, INTERIOR ELEVATIONS & REFL. CEILING PLAN

**A  
303**

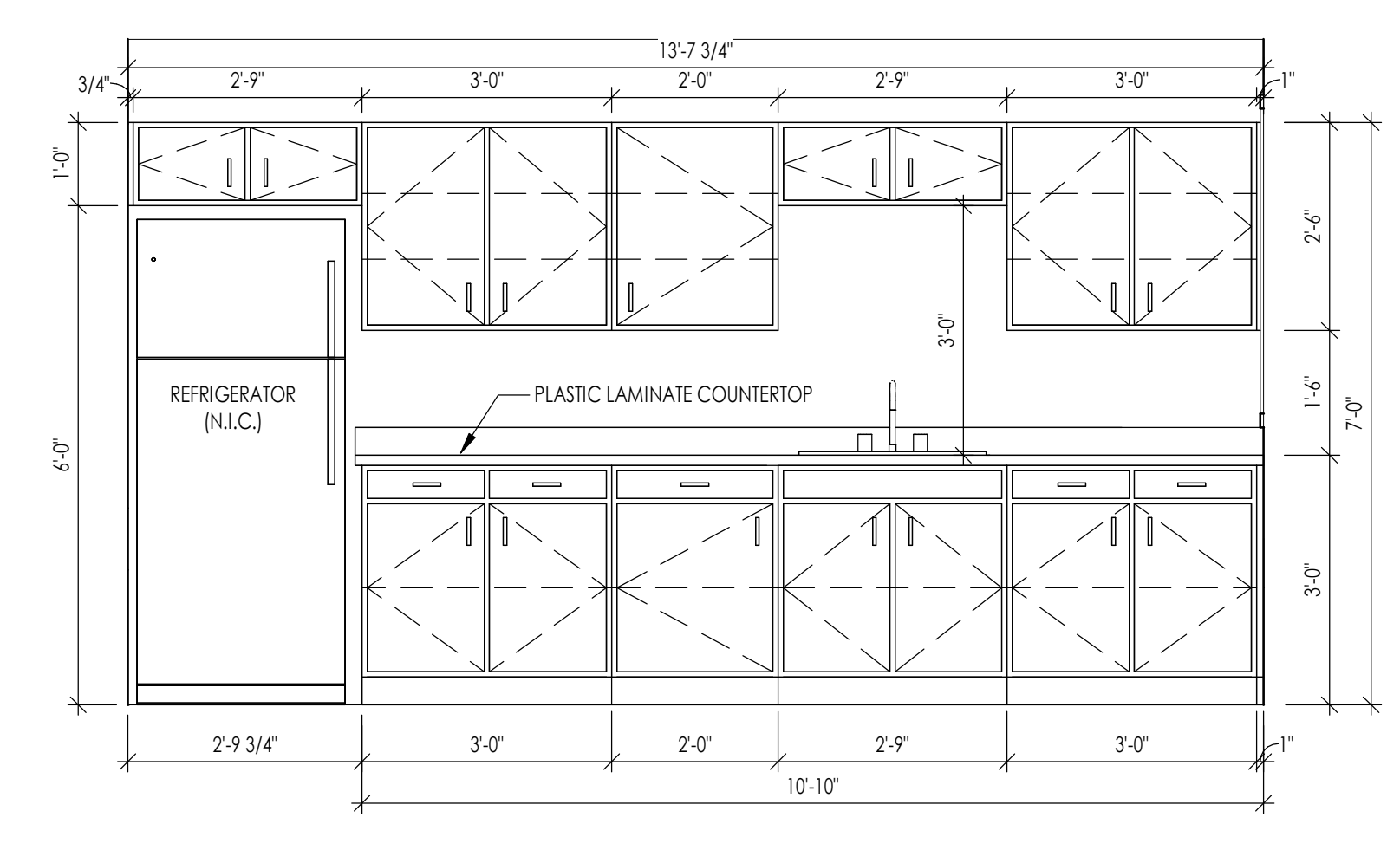
PROJ. NO. 2023-019

**GENERAL PLAN NOTES**

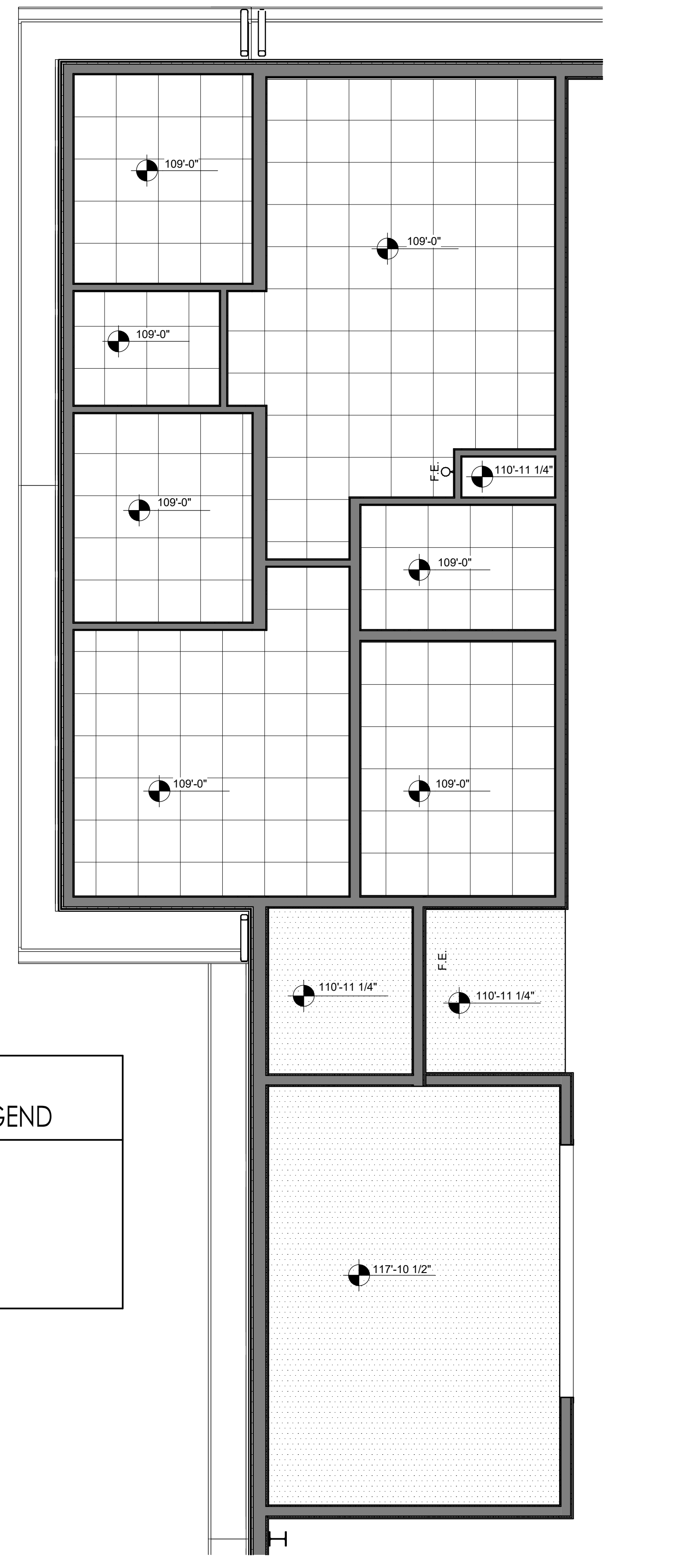
- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
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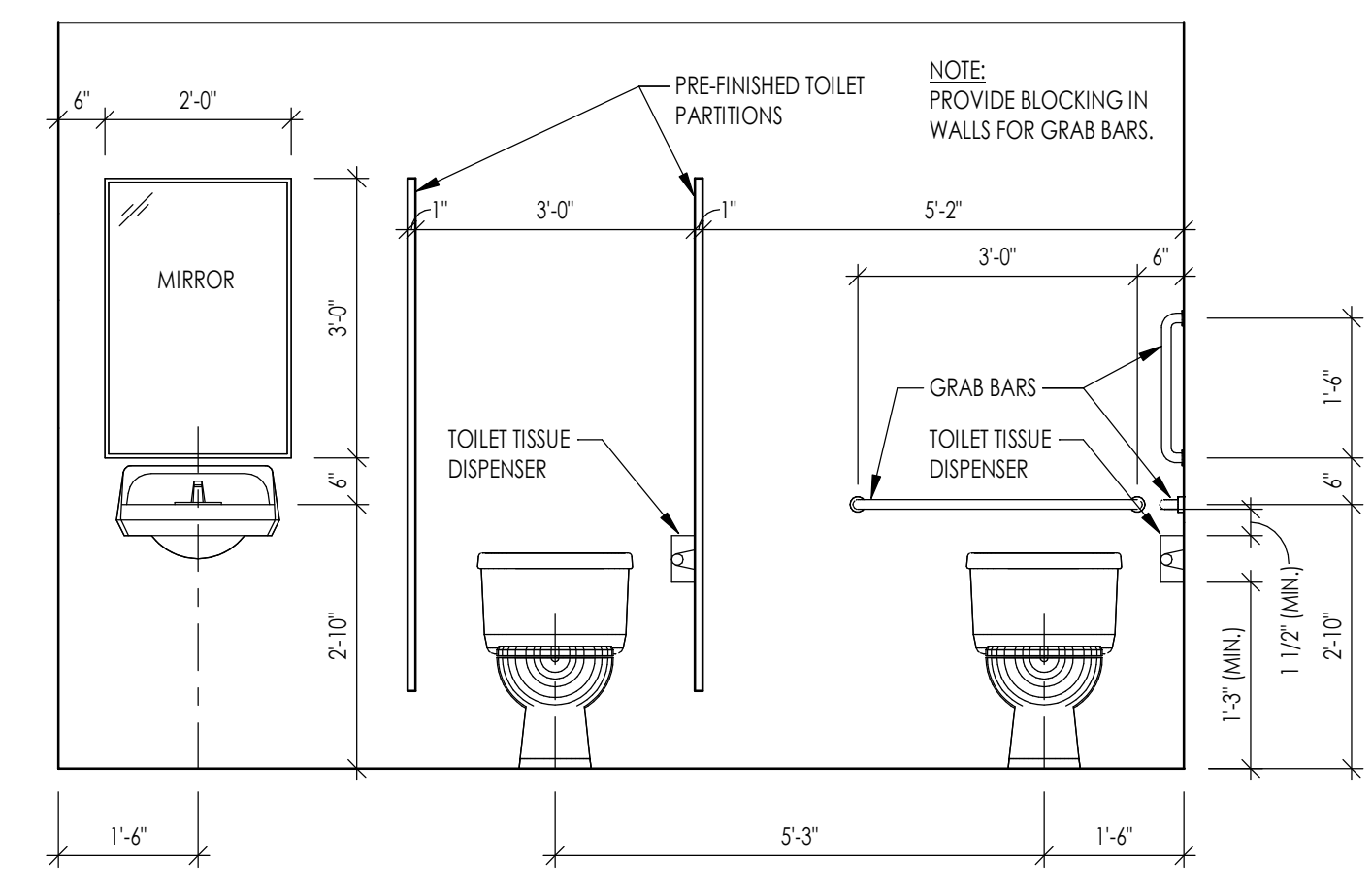
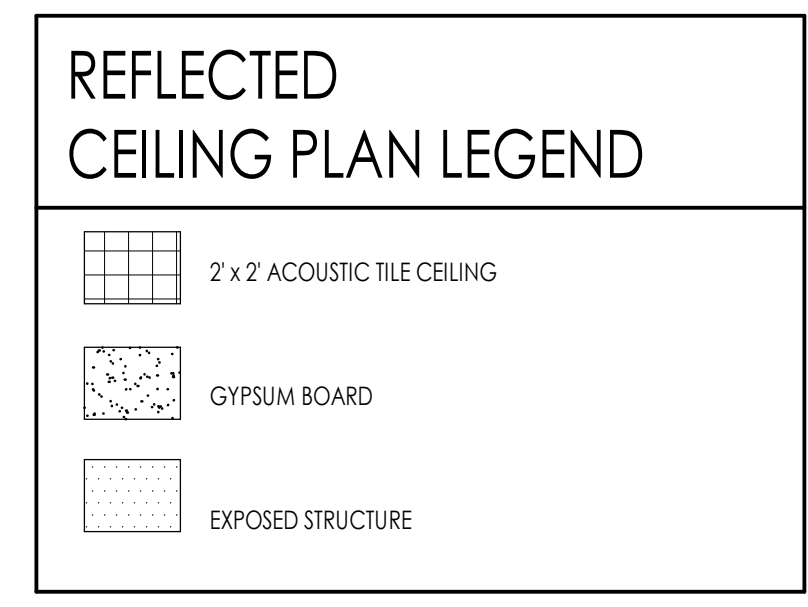
**ENLARGED OFFICE PLAN**  
 SCALE: 3/8" = 1'-0"  
 A 303



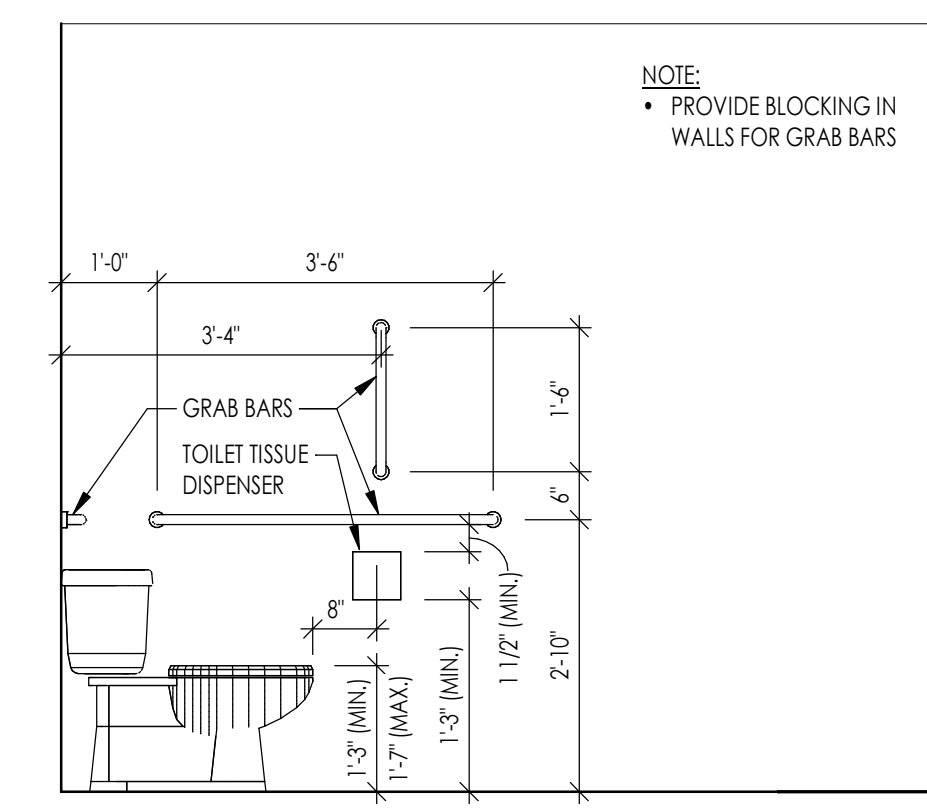
**BREAKROOM CASEWORK ELEVATION**  
 SCALE: 1/2" = 1'-0"  
 A 303



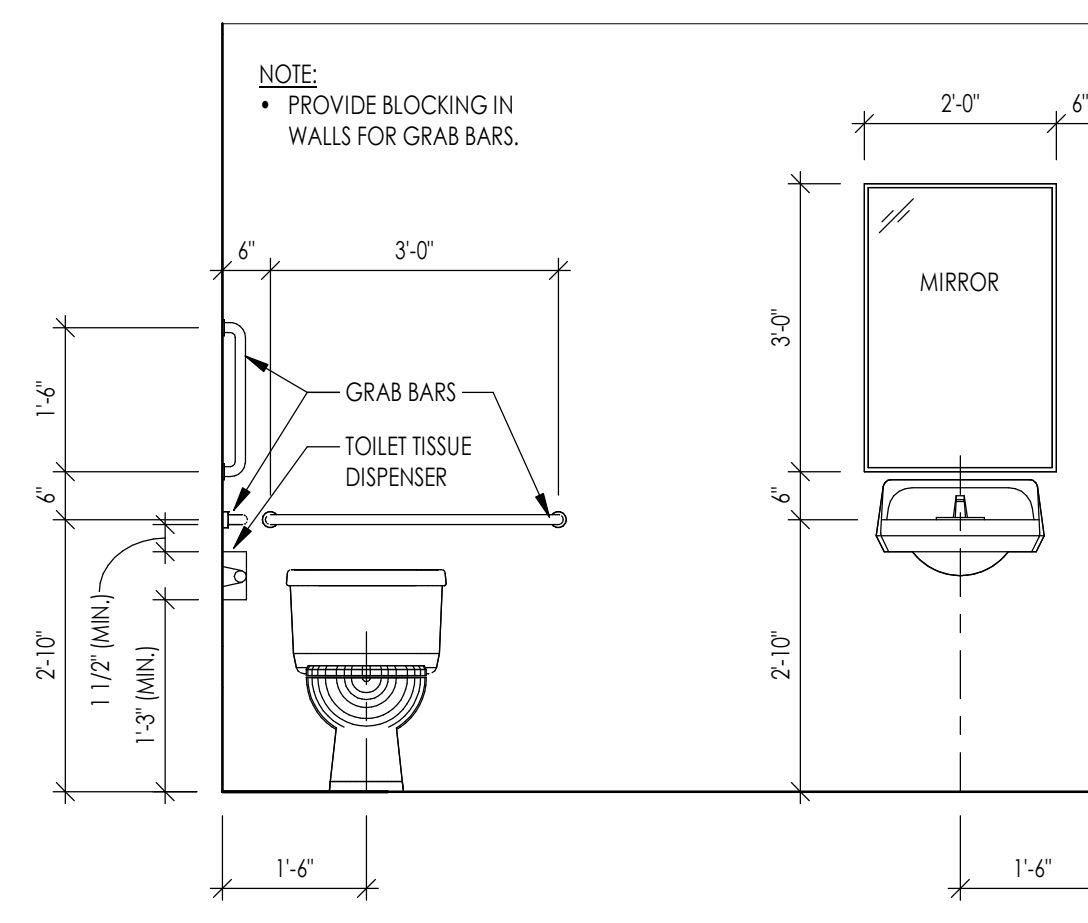
**FIRST FLOOR REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0"  
 W N S



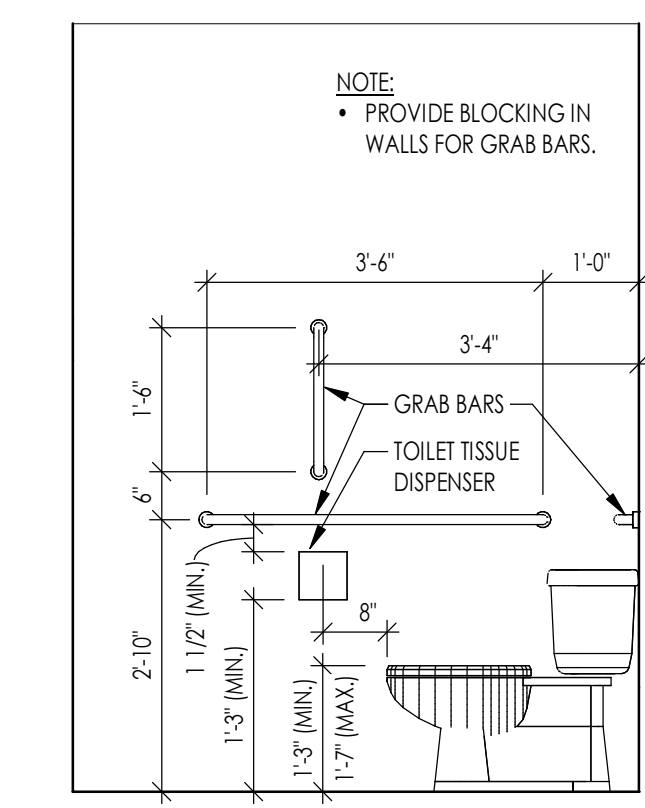
**108 TOILET ROOM - WEST**  
 SCALE: 1/2" = 1'-0"  
 A 303



**108 TOILET ROOM - NORTH**  
 SCALE: 1/2" = 1'-0"  
 A 303



**106 TOILET ROOM - SOUTH**  
 SCALE: 1/2" = 1'-0"  
 A 303



**106 TOILET ROOM - EAST**  
 SCALE: 1/2" = 1'-0"  
 A 303

**TOILET ROOM KEYNOTES**

NO.	DESCRIPTION
1	36" HORIZONTAL GRAB BAR
2	42" HORIZONTAL GRAB BAR
3	18" VERTICAL GRAB BAR
4	TOILET TISSUE DISPENSER (N.I.C.)
5	24" x 36" WALL MOUNTED MIRROR WITH STAINLESS STEEL CHANNEL TRIM
6	SOAP DISPENSER (N.I.C.)
7	PAPER TOWEL DISPENSER (N.I.C.)
8	PRE-FINISHED TOILET PARTITIONS

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BROWNS DRIVE, TWO RIVERS, WI 54241

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE. SUITE 208, MILWAUKEE, WI 53203

**PRELIMINARY - NOT FOR CONSTRUCTION**

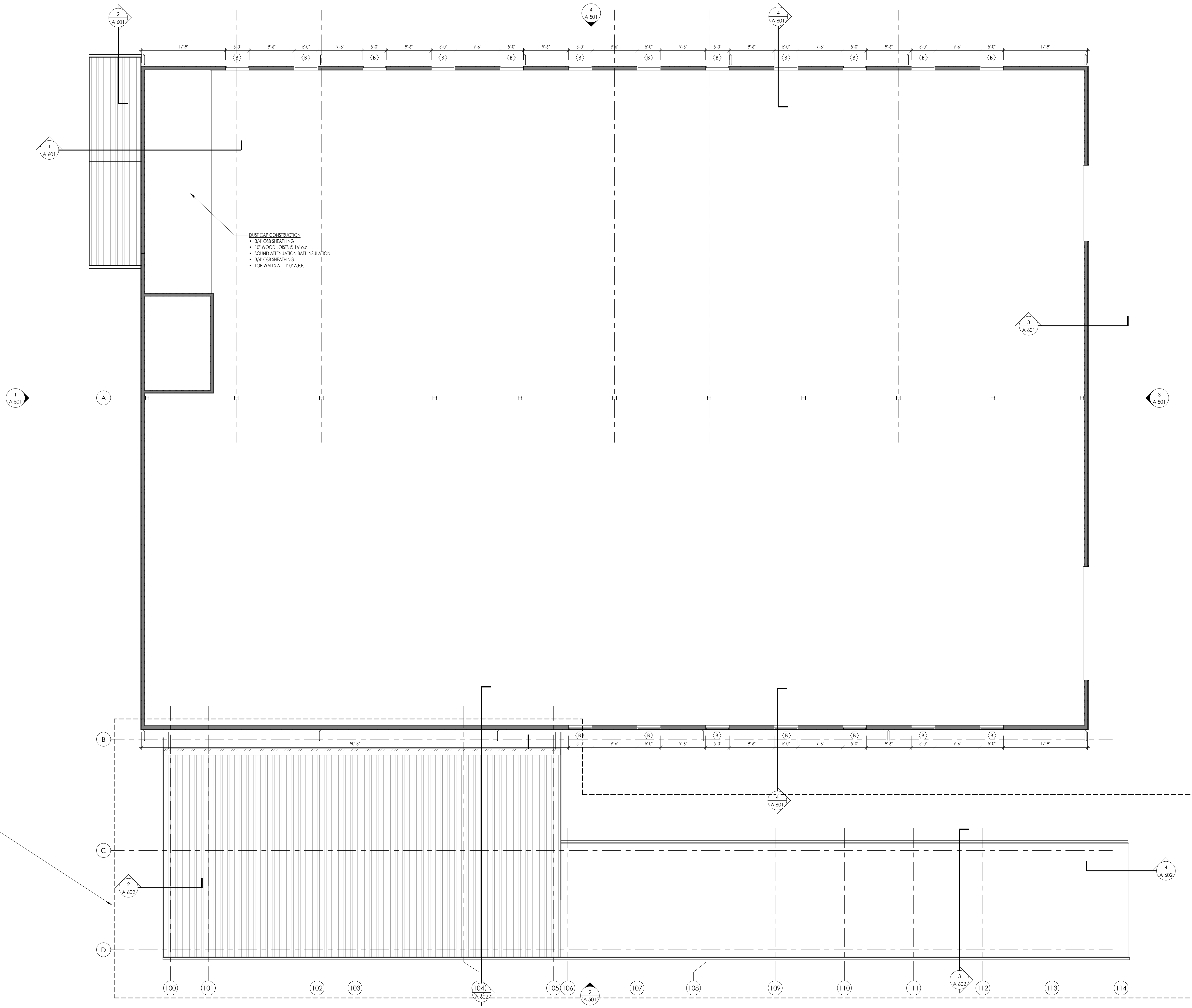
DRAWN BY: AJK

CHECKED BY: PGM

CLERESTORY PLAN

**A**  
**304**

PROJ. NO. 2023-019



ALTERNATE BID

**FIRST FLOOR CLERESTORY PLAN**  
SCALE: 1/8" = 1'-0"



ROOM FINISH SCHEDULE

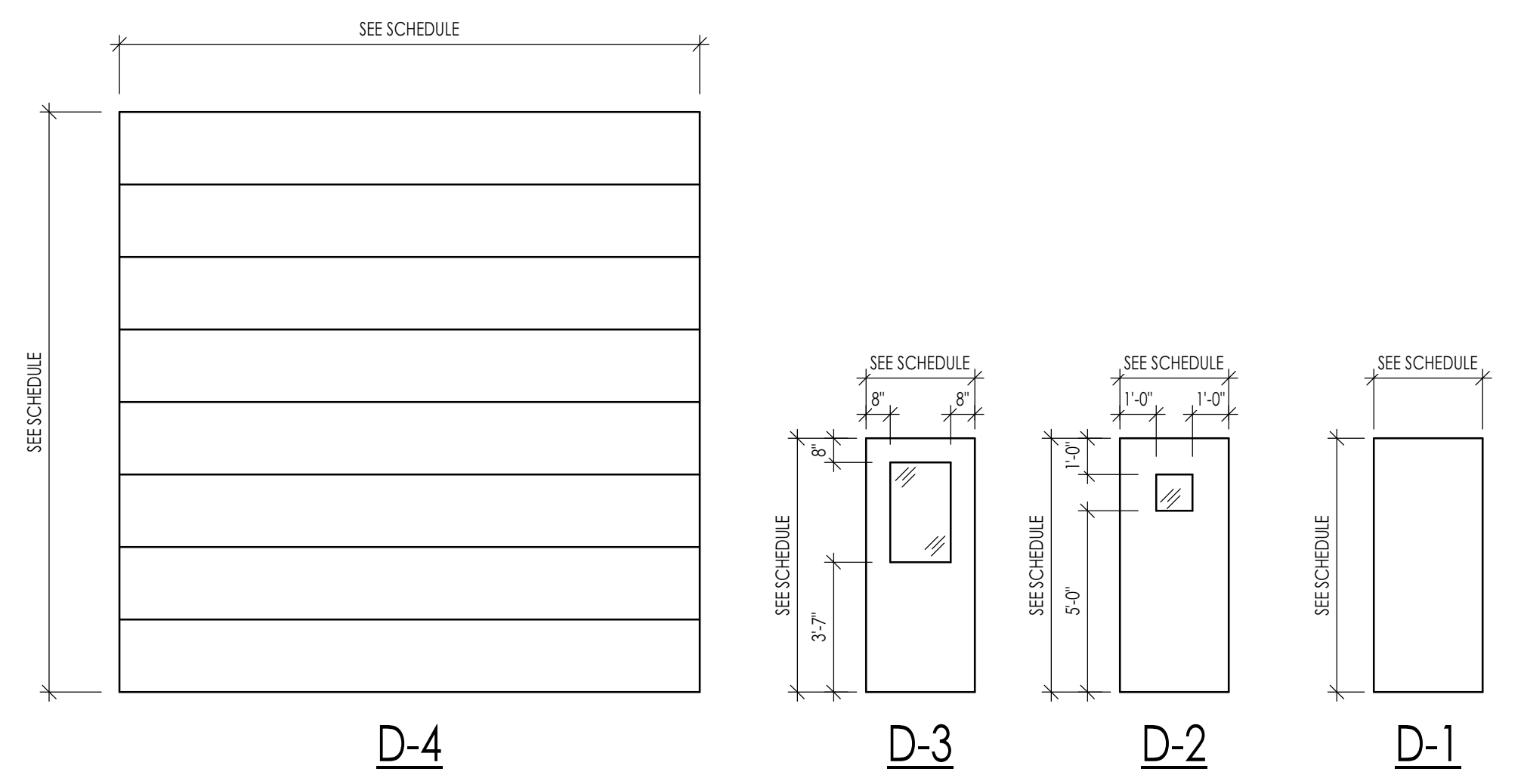
NO.	ROOM	FLOOR	BASE	WALL FINISH / MATERIAL				CEILING	CEILING HEIGHT	FEROUS METALS	WOOD TRIM	REMARKS
				NORTH	EAST	SOUTH	WEST					
101	OFFICE	CPT	VB	GYP/P-3	GYP/P-3	GYP/P-3	GYP/P-3	ACT-1	9'-0"	P-1	-	
102	BREAK ROOM	CPT	VB	GYP/P-3	GYP/P-3	GYP/P-3	GYP/P-3	ACT-1	9'-0"	P-1	-	
103	VESTIBULE	CPT	VB	GYP/P-3	GYP/P-3	GYP/P-3	GYP/P-3	ACT-1	9'-0"	P-1	-	
104	OFFICE	CPT	VB	GYP/P-3	GYP/P-3	GYP/P-3	GYP/P-3	ACT-1	9'-0"	P-1	-	
105	CLOSET	CPT	VB	GYP/P-3	GYP/P-3	GYP/P-3	GYP/P-3	ES	110'-11 1/4"	P-1	-	
106	TLT ROOM	PT	PTB	GYP/P-3	GYP/P-3	GYP/P-3	GYP/P-3	ACT-1	9'-0"	P-1	-	
107	OFFICE	CPT	VB	GYP/P-3	GYP/P-3	GYP/P-3	GYP/P-3	ACT-1	9'-0"	P-1	-	
108	TLT ROOM	SC	VB	GYP/P-3	GYP/P-3	GYP/P-3	GYP/P-3	ACT-1	9'-0"	P-1	-	
109	MECHANICAL ROOM	SC	-	-	-	-	-	ES	110'-11 1/4"	P-1	-	
110	COMPRESSOR ROOM	SC	-	-	-	-	-	ES	117'-10 1/2"	P-1	-	
111	PRODUCTION AREA	SC	-	-	-	-	-	ES	117'-10 1/2"	P-1	-	

ROOM FINISH LEGEND

KEY	DESCRIPTION
ACT-1	ACOUSTIC CEILING TILE - 24" x 24"
ACT-2	VINYL FACED GYPSUM BOARD - 24" x 24"
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CPT	CARPET
ES	EXPOSED STRUCTURE
EX	EXISTING FINISH
GYP	GYPSUM BOARD
HM	HOLLOW METAL
P-1	PAINT FINISH - ACRYLIC SEMI-GLOSS ENAMEL
P-3	PAINT FINISH - ACRYLIC LATEX ENAMEL (EGG SHELL FINISH)
PT	PORCELAIN TILE
PTB	PORCELAIN TILE BASE
SC	SEALED CONCRETE
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
WD	WOOD

DOOR SCHEDULE

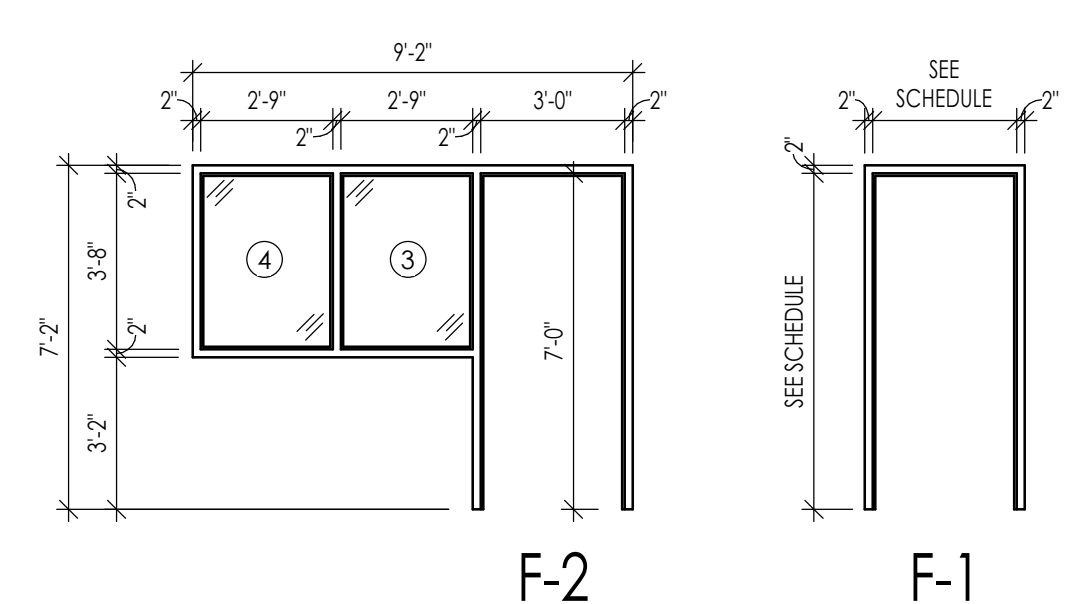
DOOR NO.	DOOR				FRAME				FIRE RATING	REMARKS
	SIZE	ELEV.	MATL	GLASS TYPE	ELEV.	MATL	DEPTH	HEAD		
101	3'-0" x 7'-0"	D-1	HM	-	F-1	HM	5 3/4"	8/A401	8/A401	
102	3'-0" x 7'-0"	D-3	HM	3	F-2	HM	7 3/4"	8/A401	8/A401	
103A	3'-0" x 7'-0"	D-3	HM	1	F-1	HM	5 3/4"	4/A401	2/A401, 3/A401	
103B	3'-0" x 7'-0"	D-3	HM	3	F-1	HM	5 3/4"	8/A401	8/A401	
104	3'-0" x 7'-0"	D-1	HM	-	F-1	HM	5 3/4"	8/A401	8/A401	
105	3'-0" x 7'-0"	D-1	HM	-	F-1	HM	5 3/4"	8/A401	8/A401	
106	3'-0" x 7'-0"	D-1	HM	-	F-1	HM	5 3/4"	8/A401	8/A401	
107	3'-0" x 7'-0"	D-1	HM	-	F-1	HM	5 3/4"	8/A401	8/A401	
108	3'-0" x 7'-0"	D-1	HM	-	F-1	HM	7 3/4"	8/A401	8/A401	
109	3'-0" x 7'-0"	D-1	HM	-	F-1	HM	7 3/4"	8/A401	8/A401	
110A	3'-0" x 7'-0"	D-1	HM	-	F-1	HM	7 3/4"	8/A401	8/A401	
110B	12'-0" x 10'-0"	D-4	STL	-	-	-	-	12/A401	11/A401	
111A	3'-0" x 7'-0"	D-2	HM	1	F-1	HM	5 3/4"	7/A401	6/A401	
111B	3'-0" x 7'-0"	D-2	HM	1	F-1	HM	5 3/4"	7/A401	6/A401	
111C	3'-0" x 7'-0"	D-2	HM	-	F-1	HM	5 3/4"	7/A401	6/A401	
111D	16'-0" x 16'-0"	D-4	STL	-	-	-	-	10/A401	9/A401	
111E	3'-0" x 7'-0"	D-2	HM	1	F-1	HM	5 3/4"	7/A401	6/A401	
111F	24'-0" x 16'-0"	D-4	STL	-	-	-	-	10/A401	9/A401	
111G	3'-0" x 7'-0"	D-2	HM	1	F-1	HM	5 3/4"	7/A401	6/A401	
111H	3'-0" x 7'-0"	D-2	HM	1	F-1	HM	5 3/4"	7/A401	6/A401	
111J	24'-0" x 12'-0"	D-4	STL	-	-	-	-	10/A401	9/A401	
111K	3'-0" x 7'-0"	D-2	HM	1	F-1	HM	5 3/4"	7/A401	6/A401	
111L	20'-0" x 12'-0"	D-4	STL	-	-	-	-	10/A401	9/A401	
111M	3'-0" x 7'-0"	D-2	HM	1	F-1	HM	5 3/4"	7/A401	6/A401	



DOOR TYPES

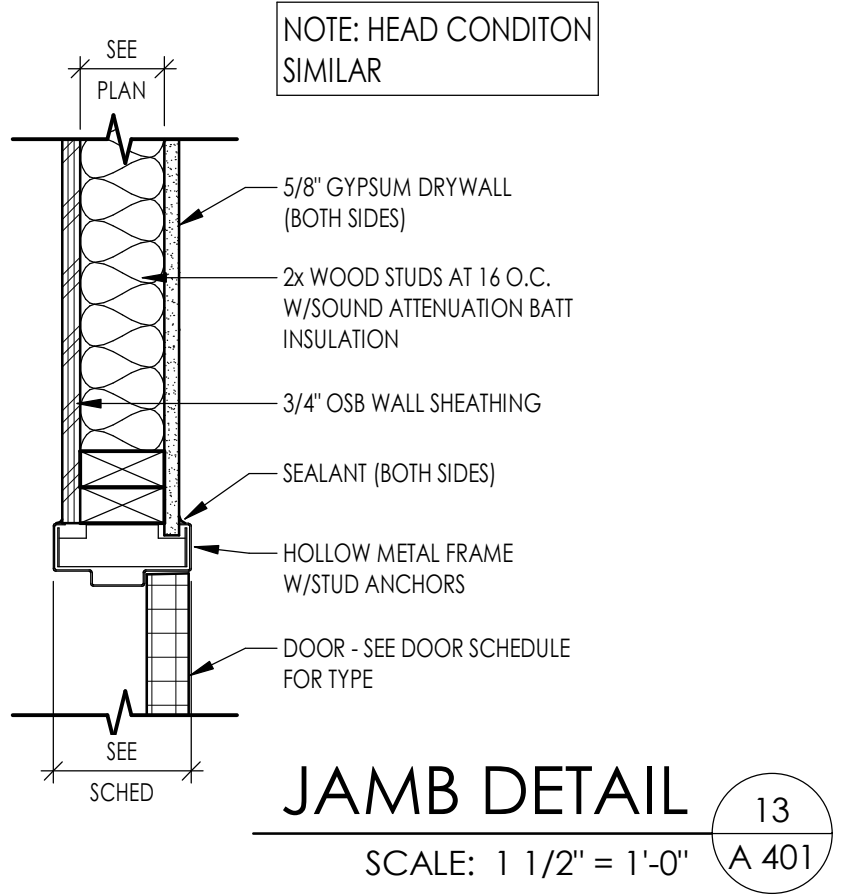
SCALE: 1/4" = 1'-0"

GLASS TYPES	
1	1" TEMPERED INSULATED LOW-E GLASS
2	1" INSULATED LOW-E GLASS
3	1/4" TEMPERED GLASS
4	1/4" FLOAT GLASS
5	FIRE RATED SAFETY GLASS

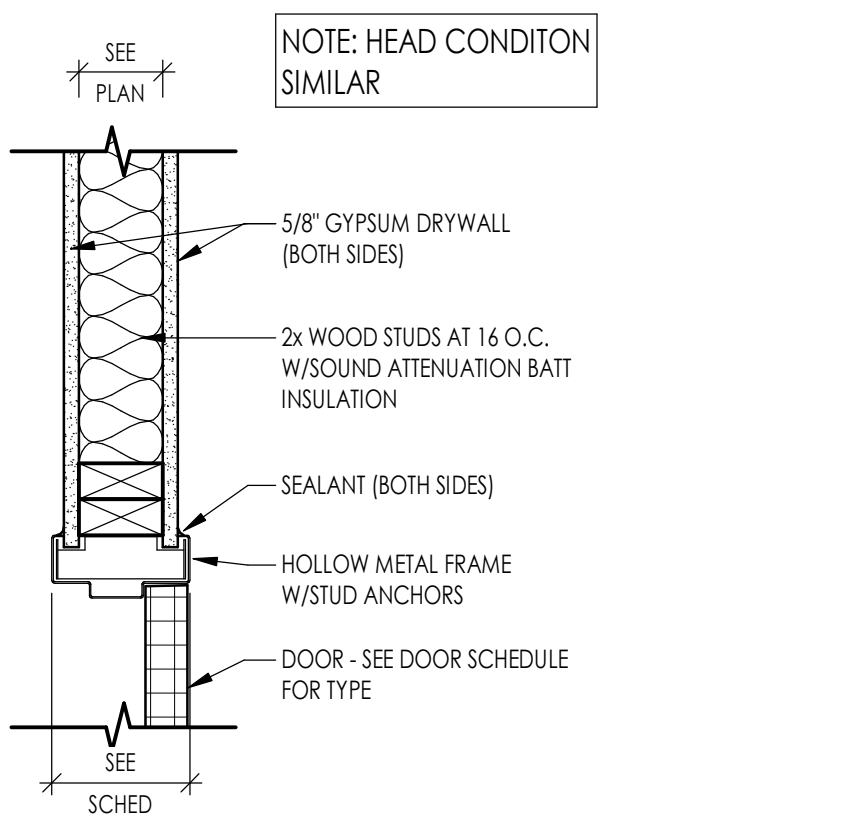


FRAME TYPES

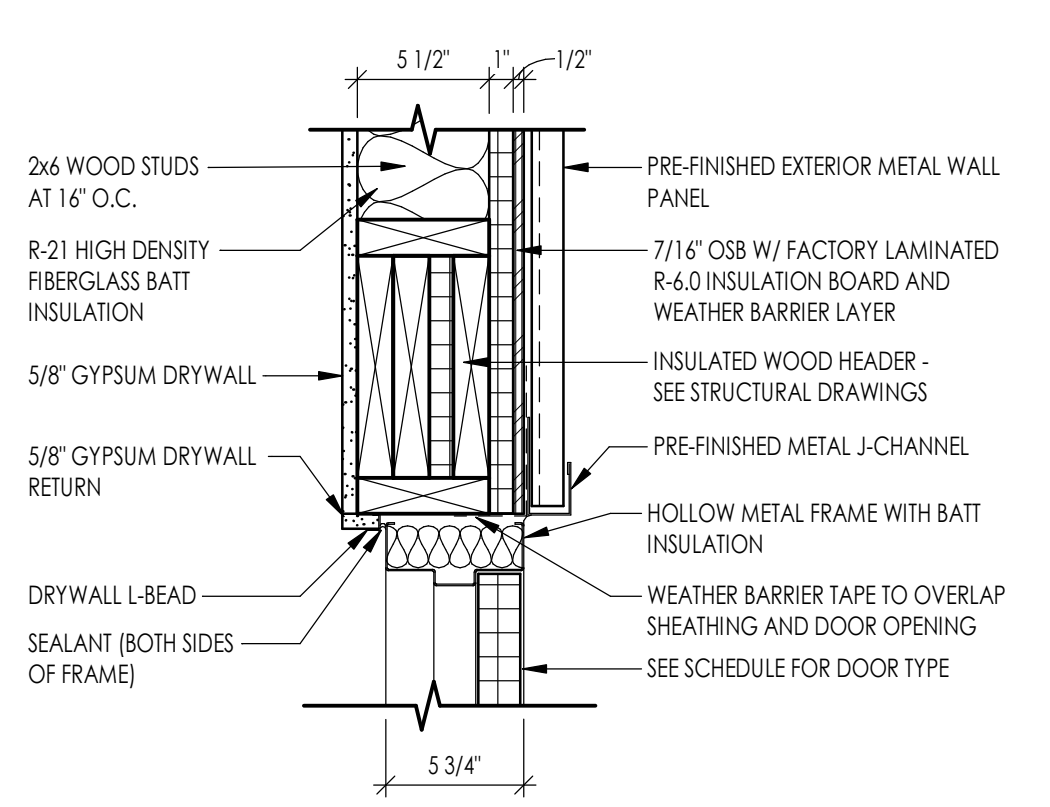
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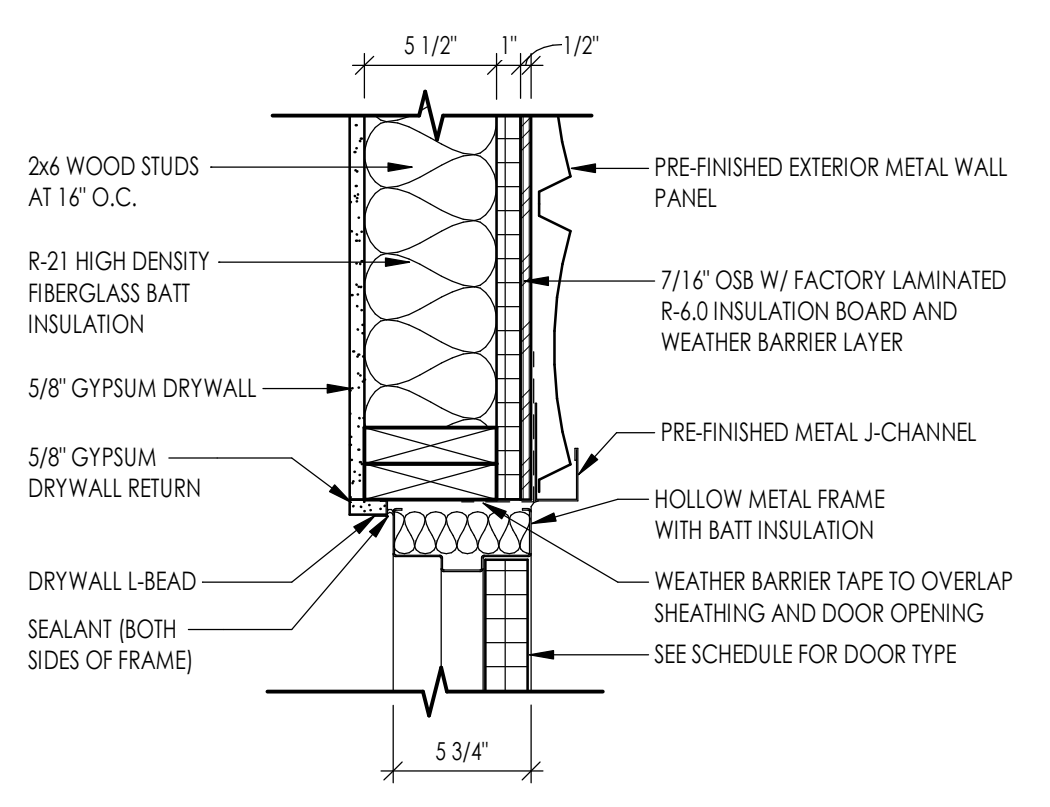
JAMB DETAIL 13  
SCALE: 1 1/2" = 1'-0" A 401



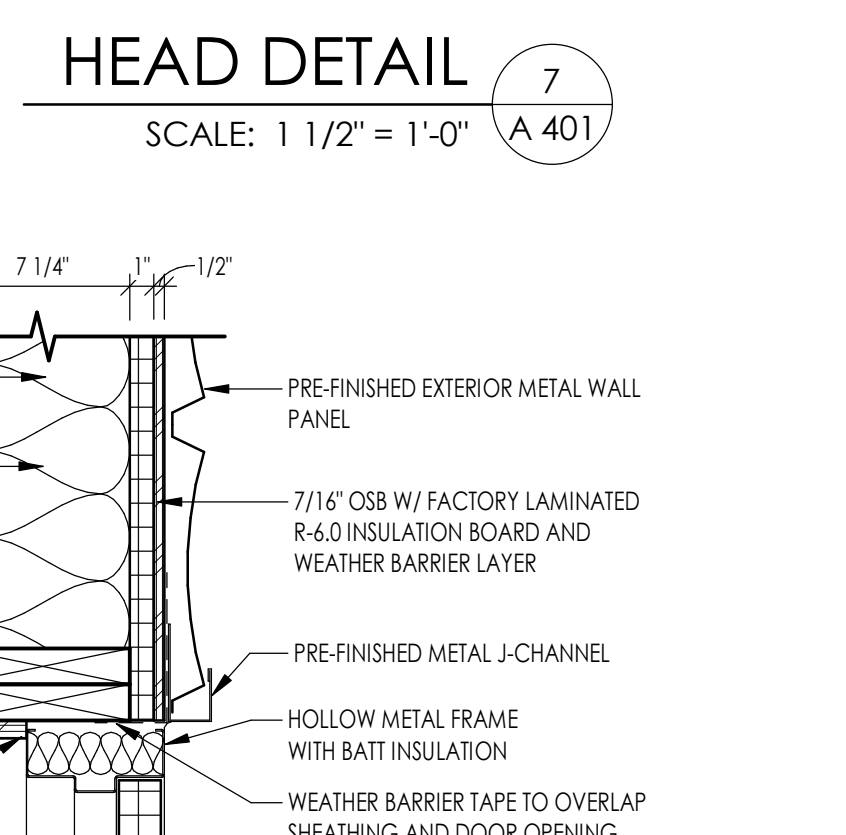
JAMB DETAIL 8  
SCALE: 1 1/2" = 1'-0" A 401



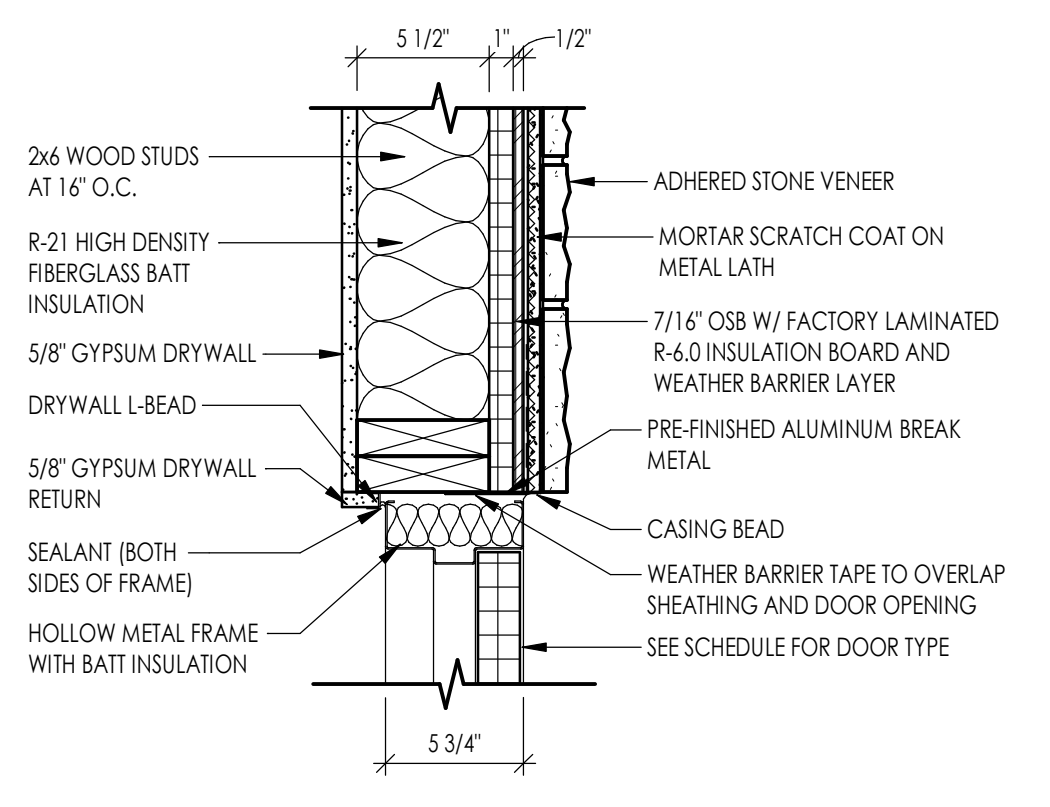
HEAD DETAIL 4  
SCALE: 1 1/2" = 1'-0" A 401



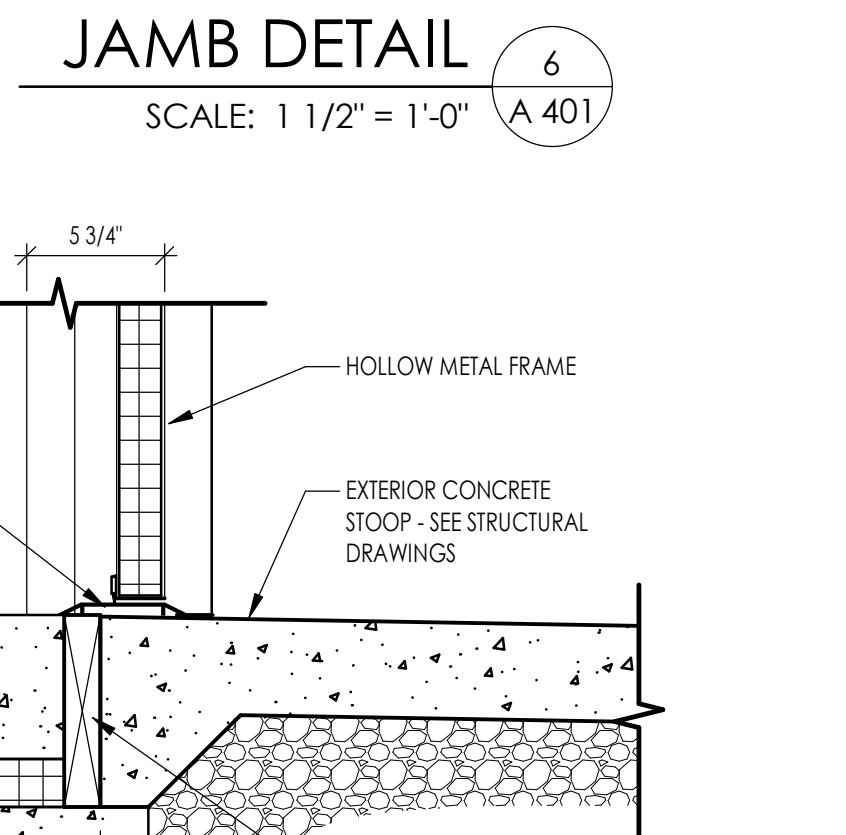
JAMB DETAIL 3  
SCALE: 1 1/2" = 1'-0" A 401



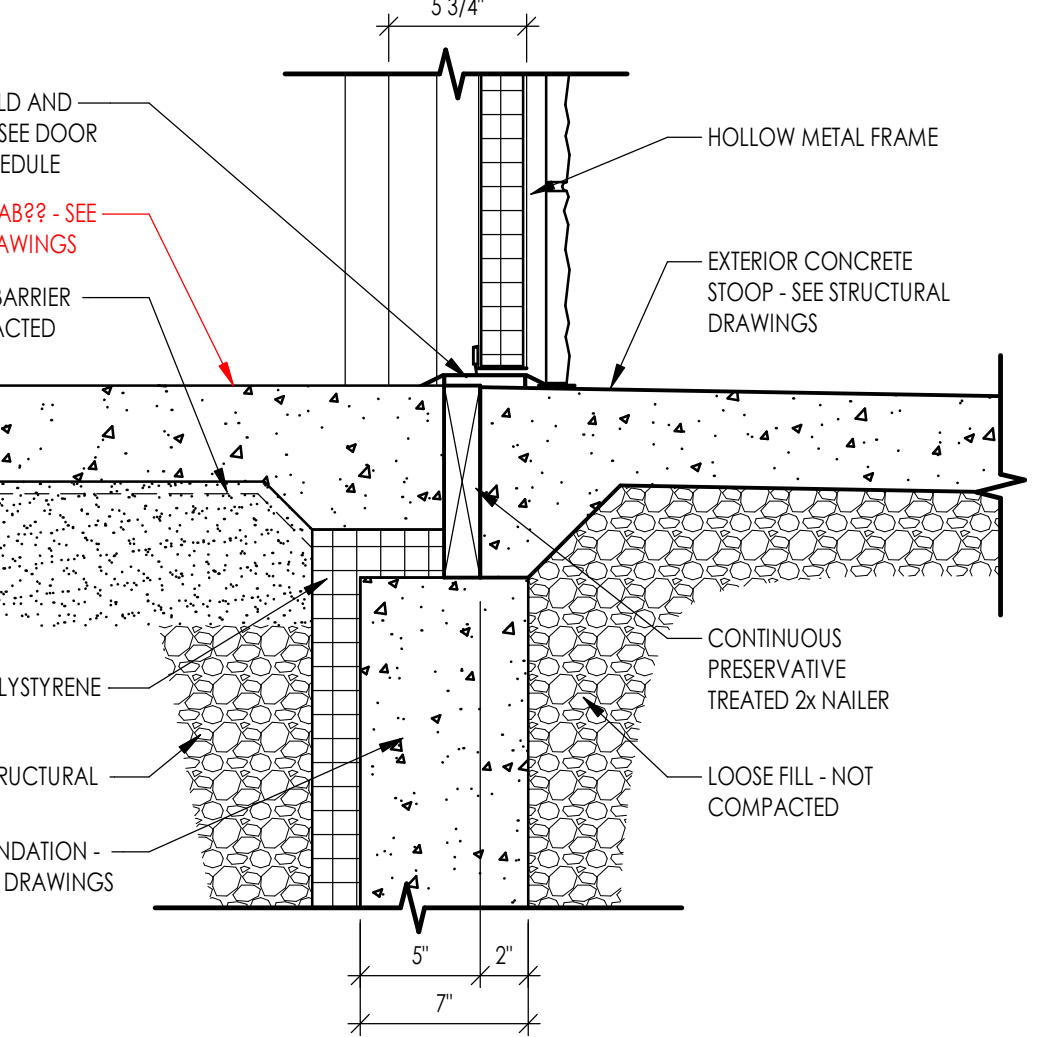
HEAD DETAIL 7  
SCALE: 1 1/2" = 1'-0" A 401



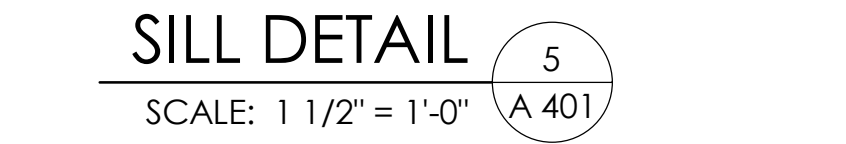
JAMB DETAIL 2  
SCALE: 1 1/2" = 1'-0" A 401



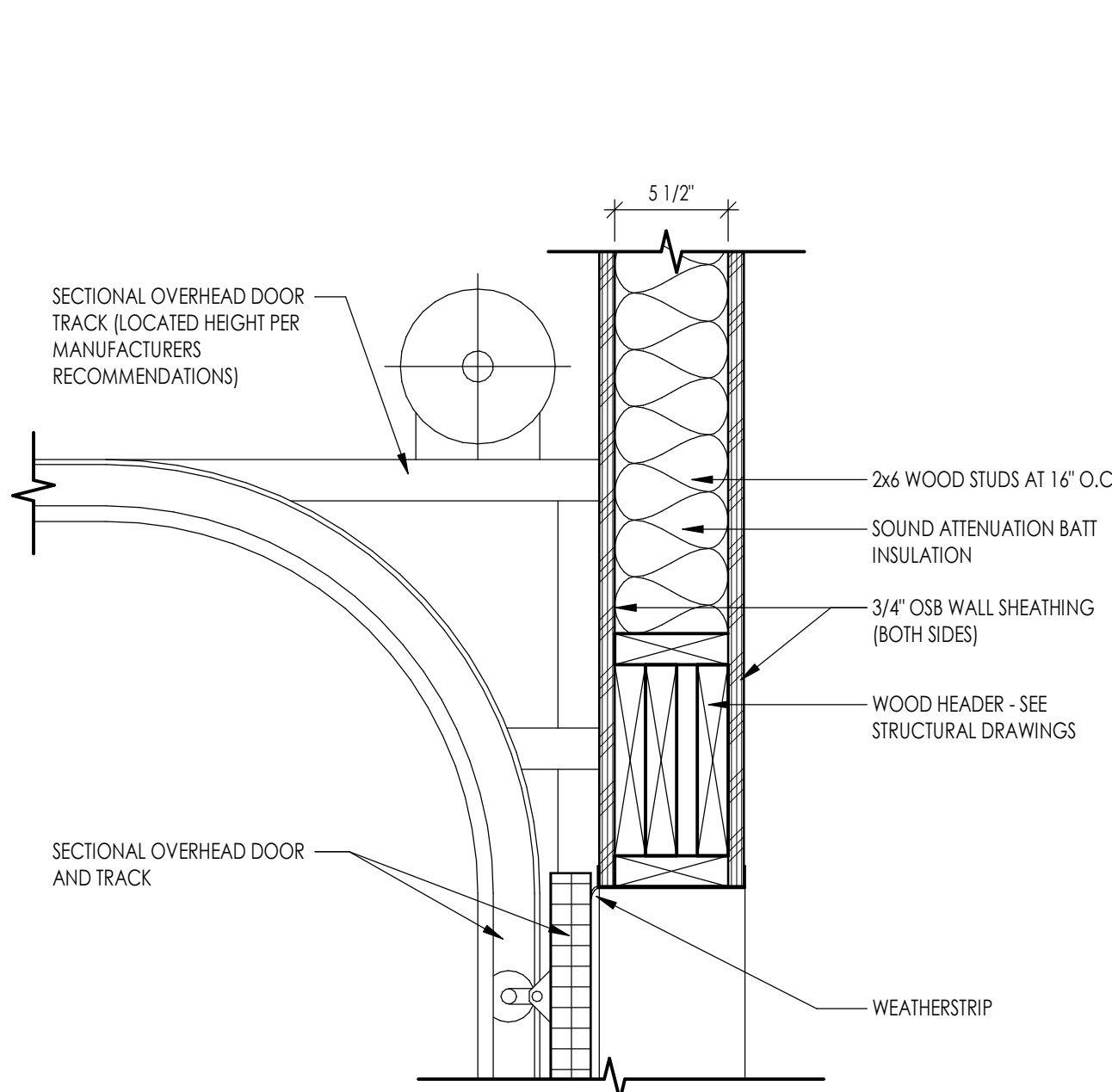
JAMB DETAIL 6  
SCALE: 1 1/2" = 1'-0" A 401



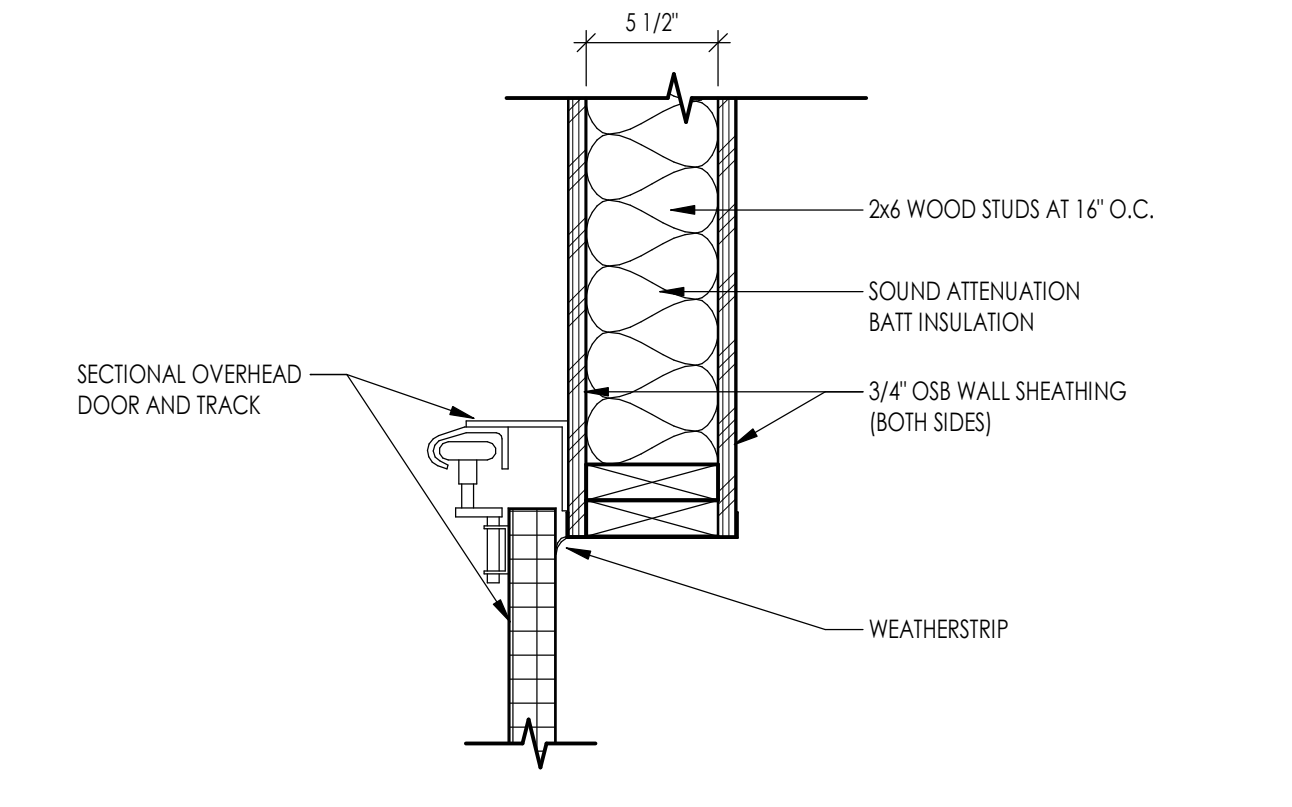
SILL DETAIL 1  
SCALE: 1 1/2" = 1'-0" A 401



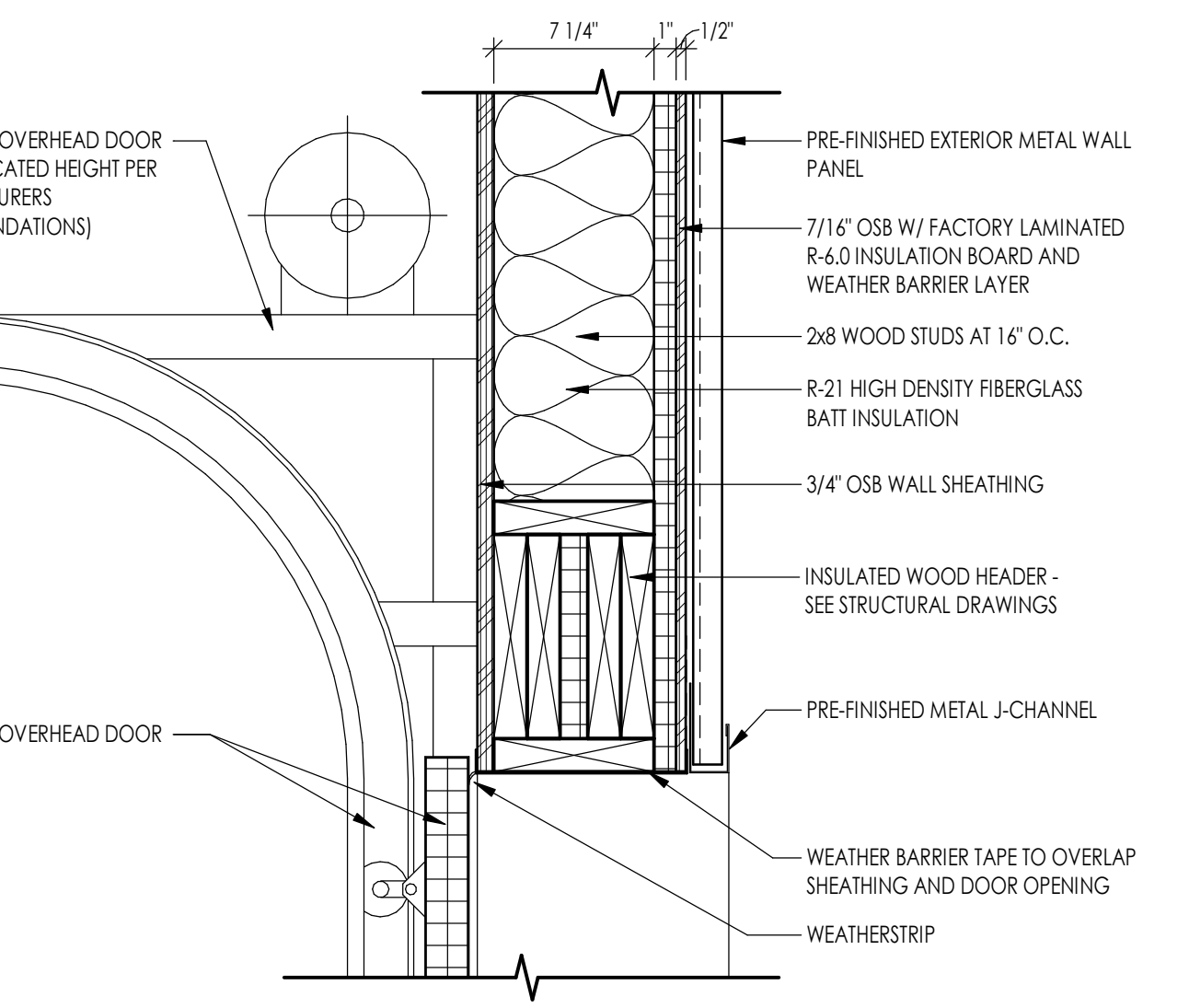
SILL DETAIL 5  
SCALE: 1 1/2" = 1'-0" A 401



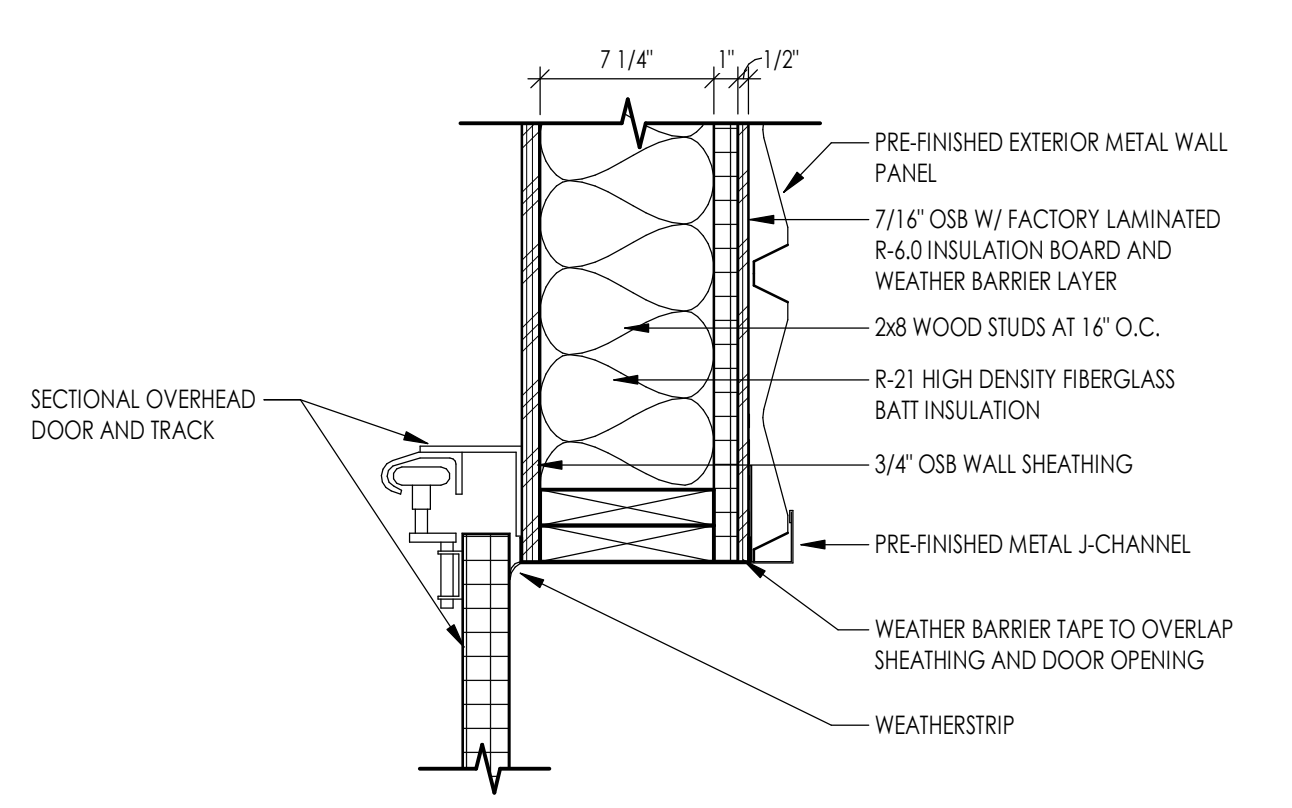
HEAD DETAIL 12  
SCALE: 1 1/2" = 1'-0" A 401



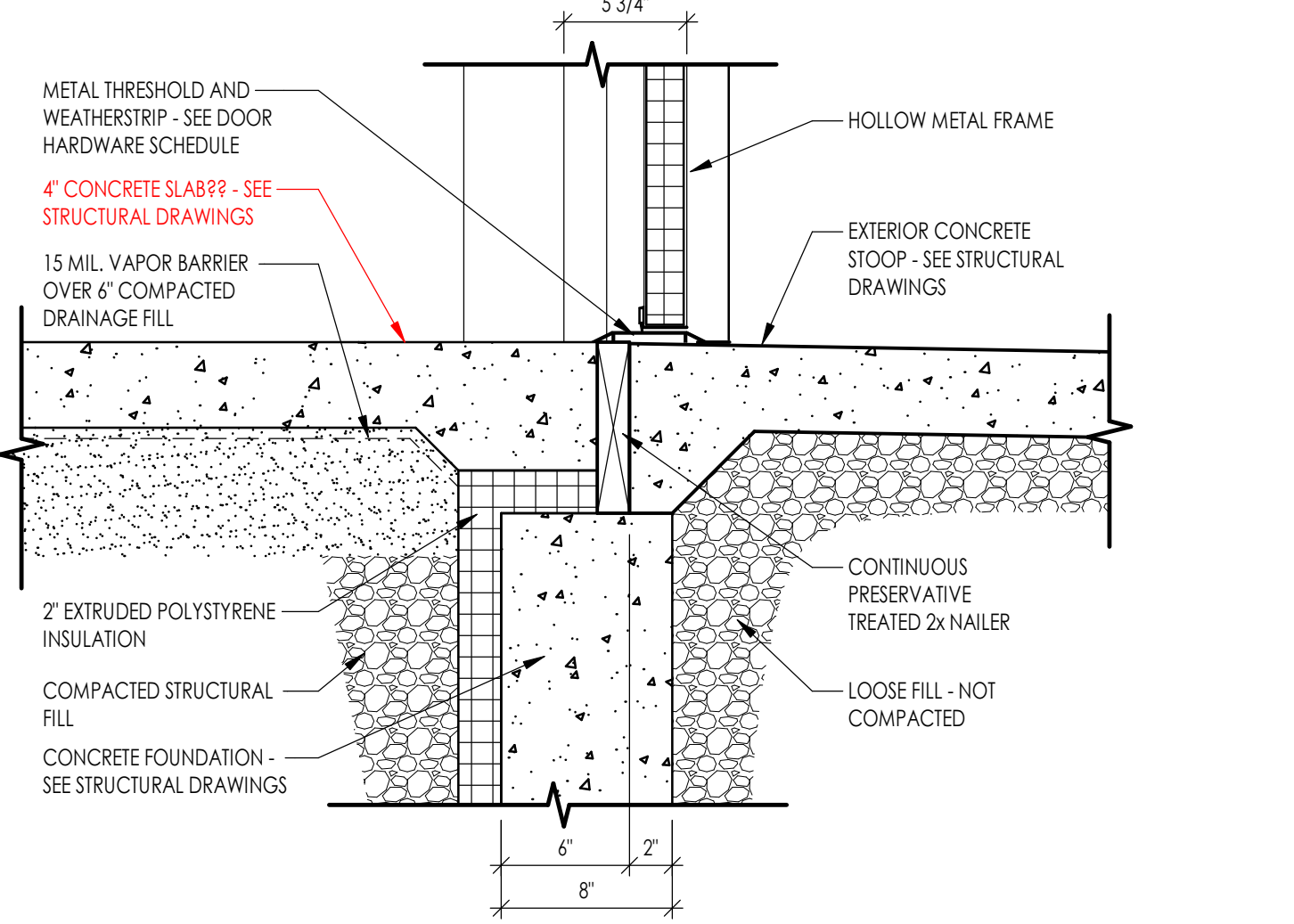
JAMB DETAIL 11  
SCALE: 1 1/2" = 1'-0" A 401



HEAD DETAIL 10  
SCALE: 1 1/2" = 1'-0" A 401



JAMB DETAIL 9  
SCALE: 1 1/2" = 1'-0" A 401

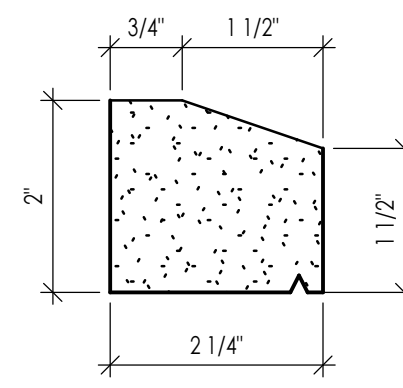
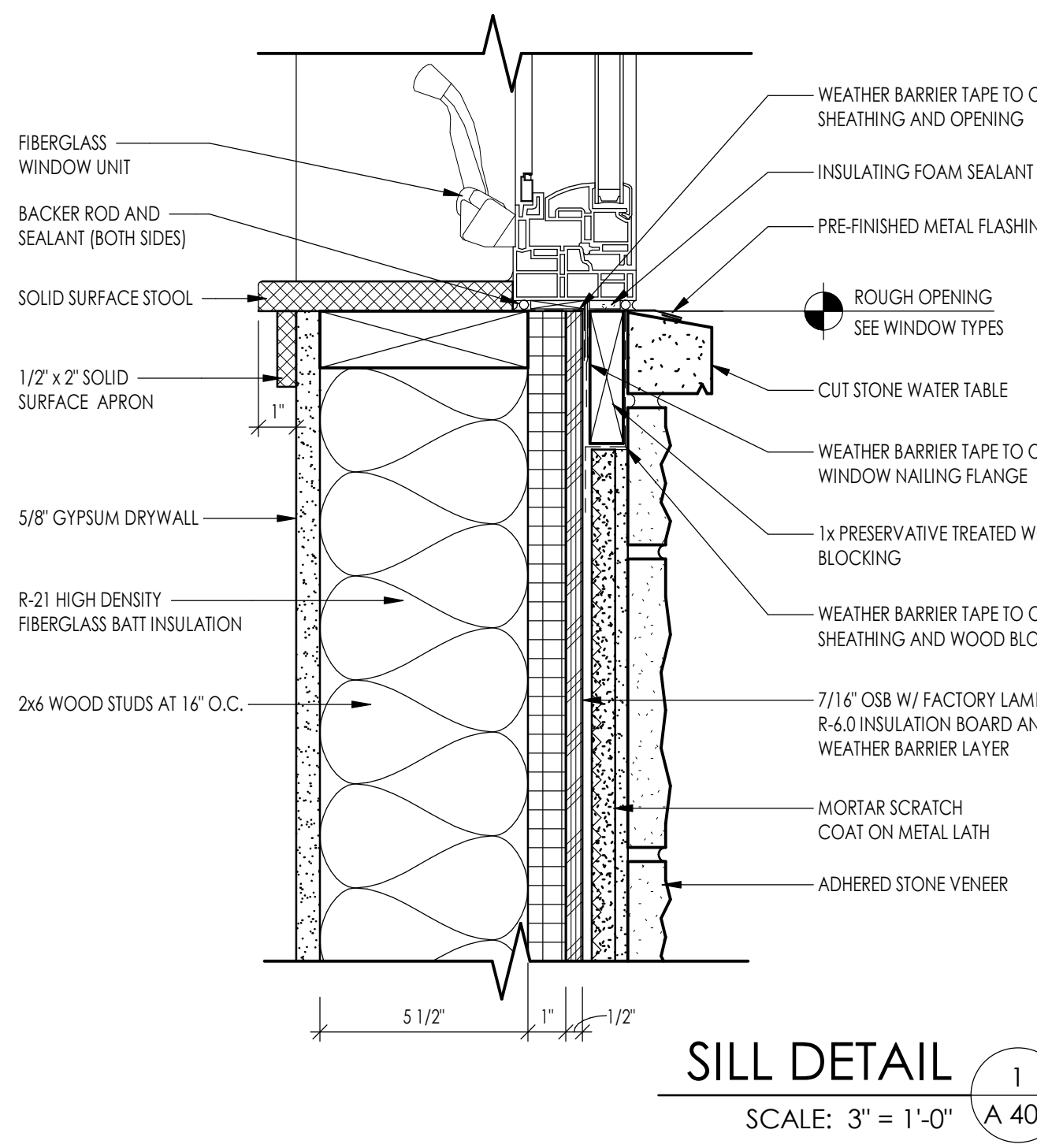
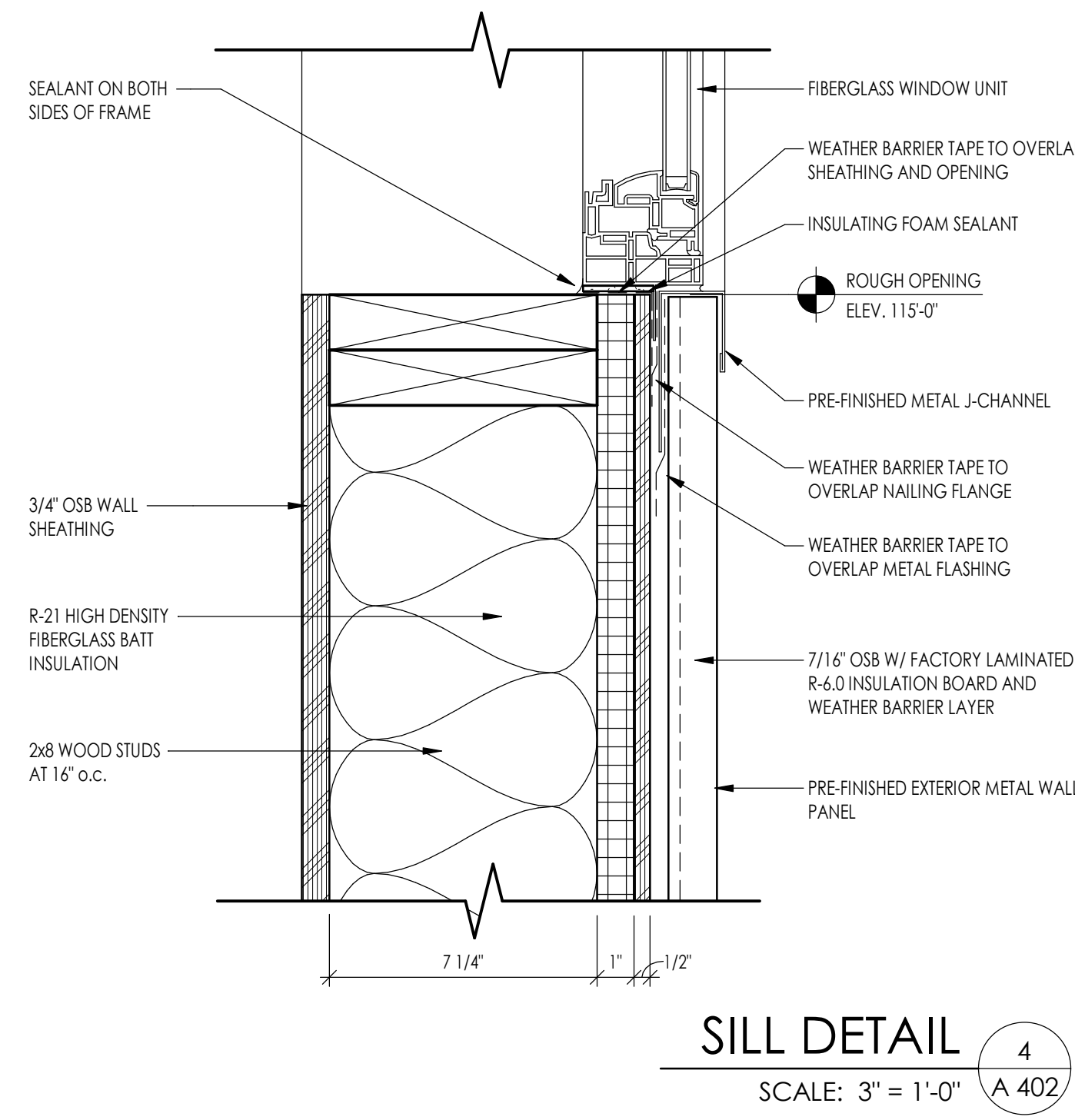
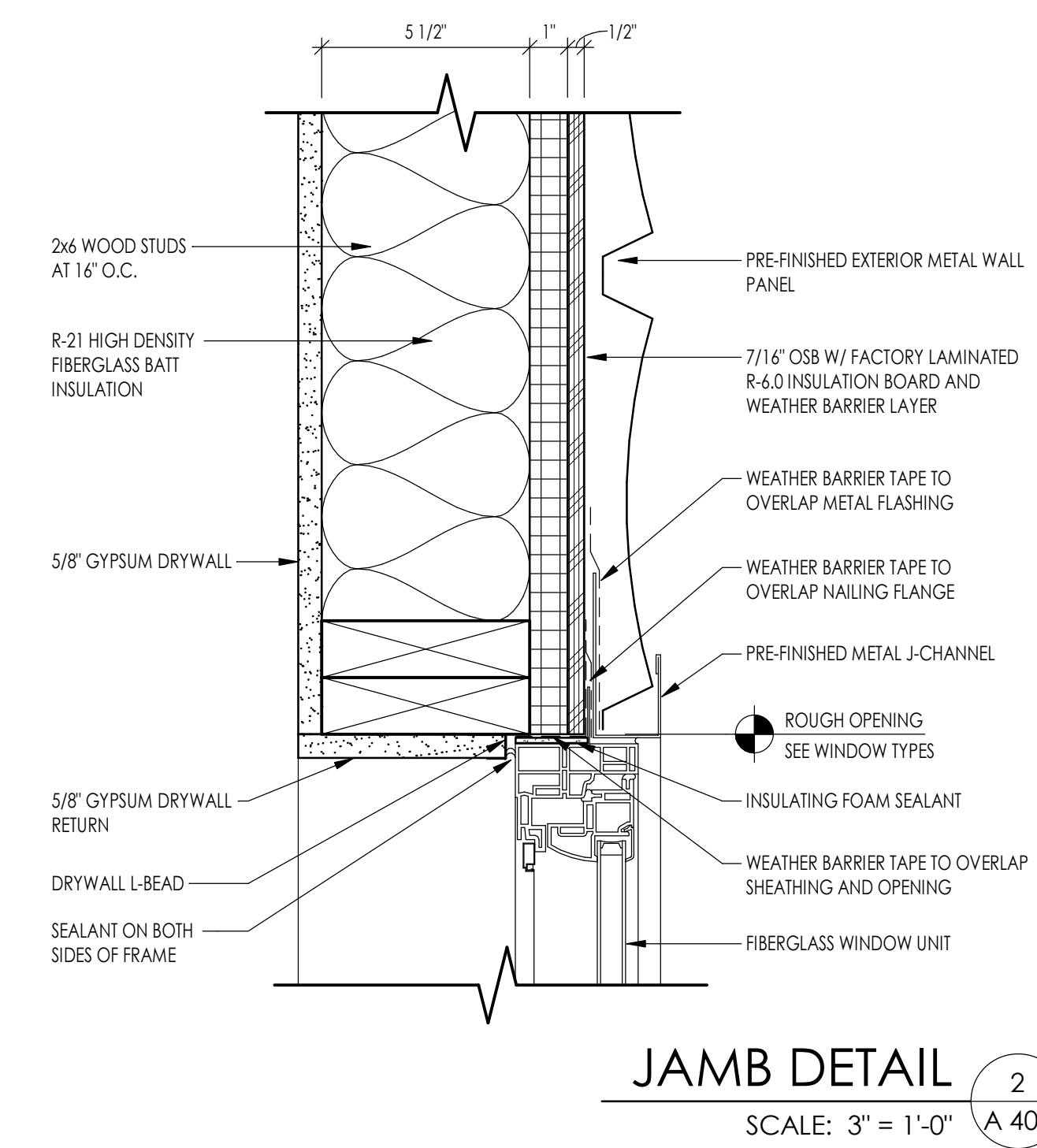
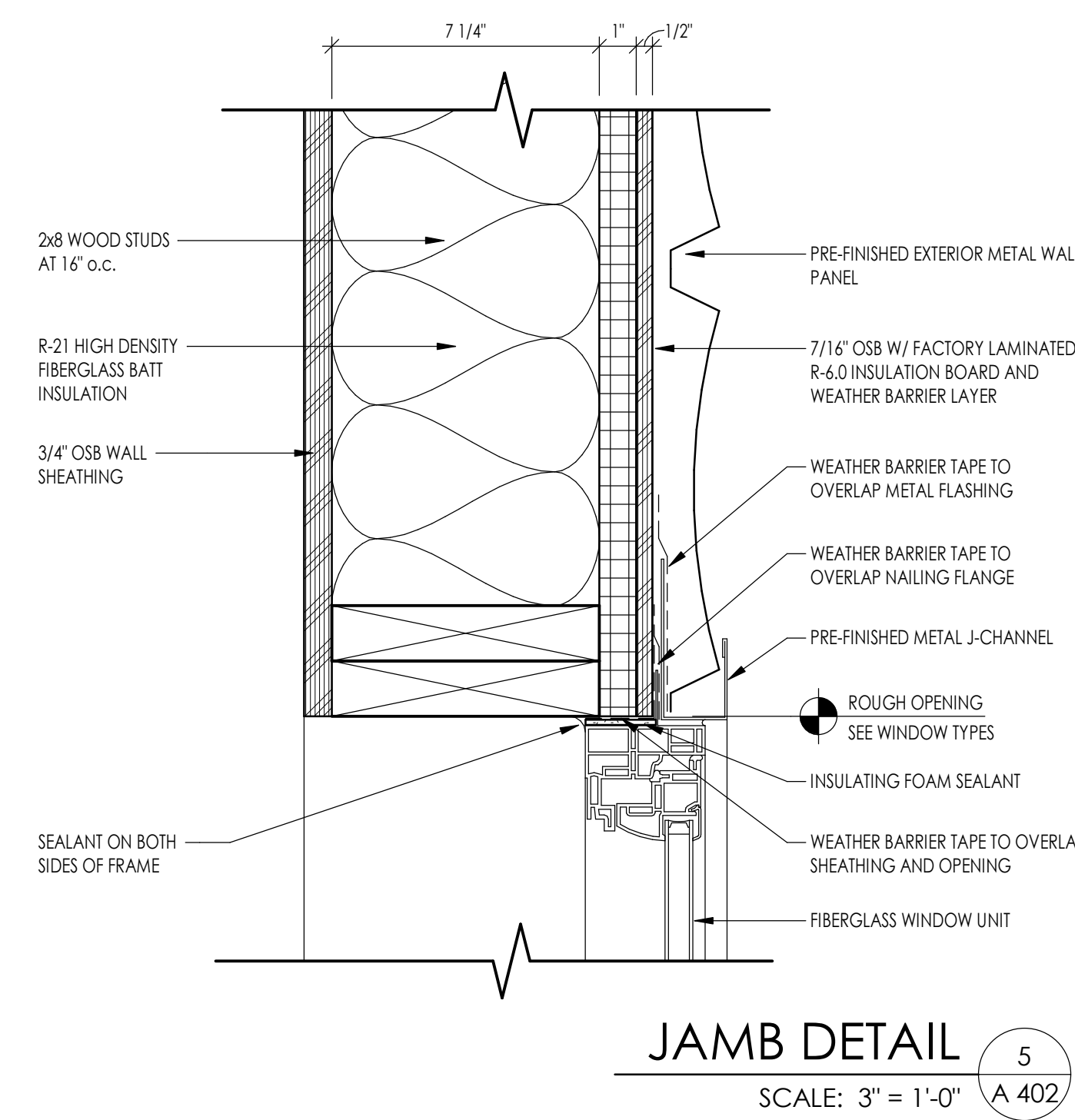
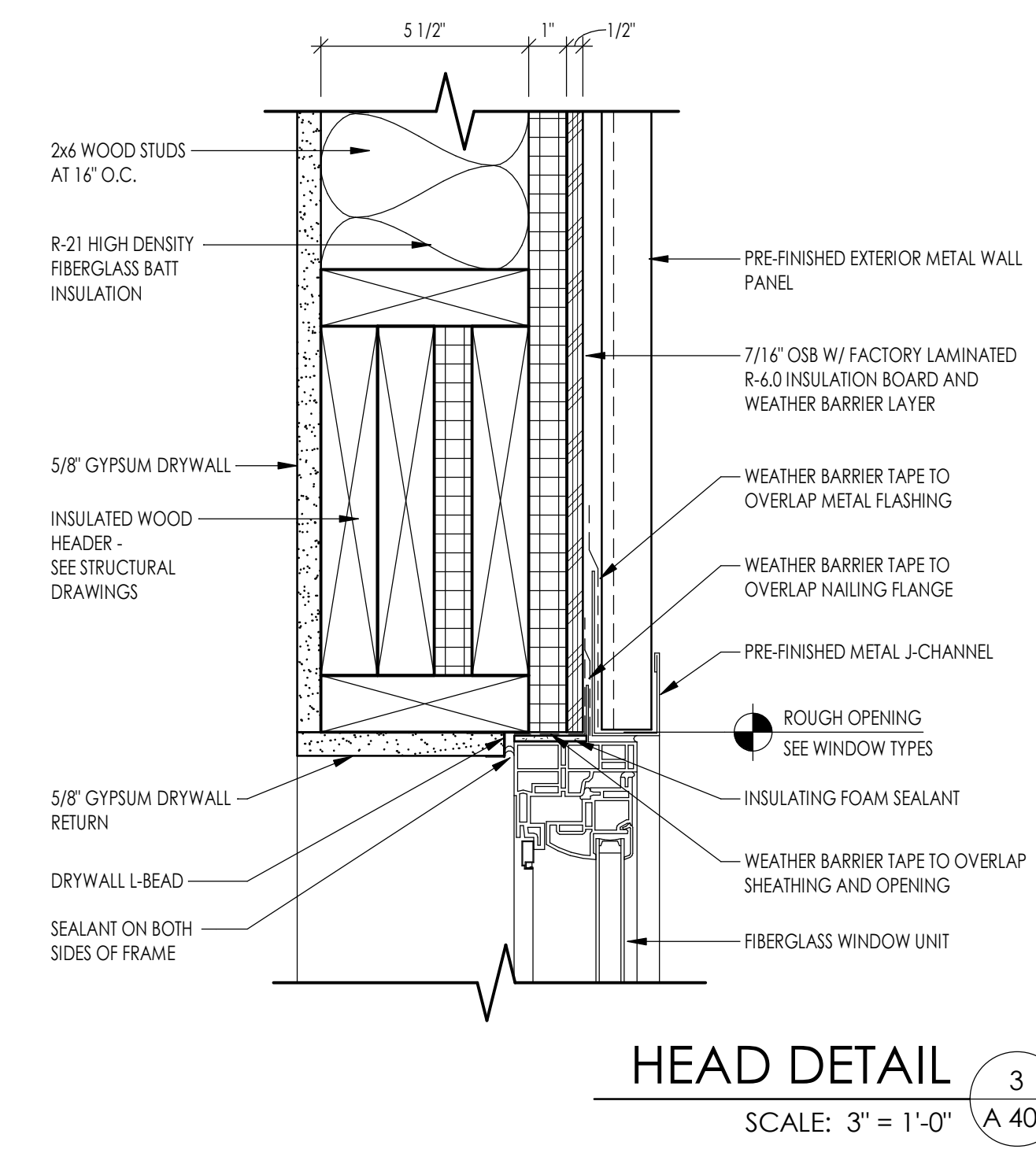
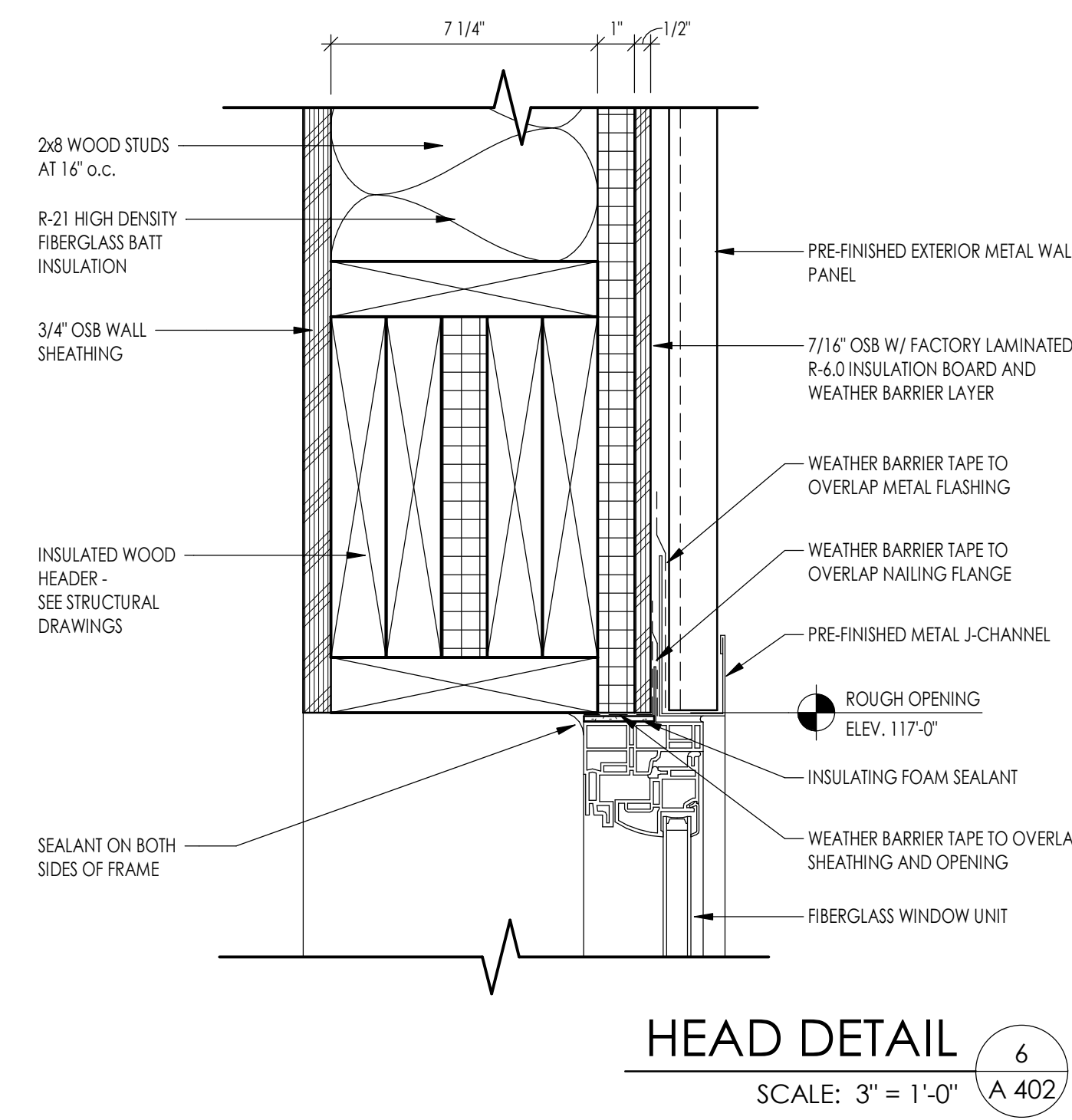


SILL DETAIL 5  
SCALE: 1 1/2" = 1'-0" A 401

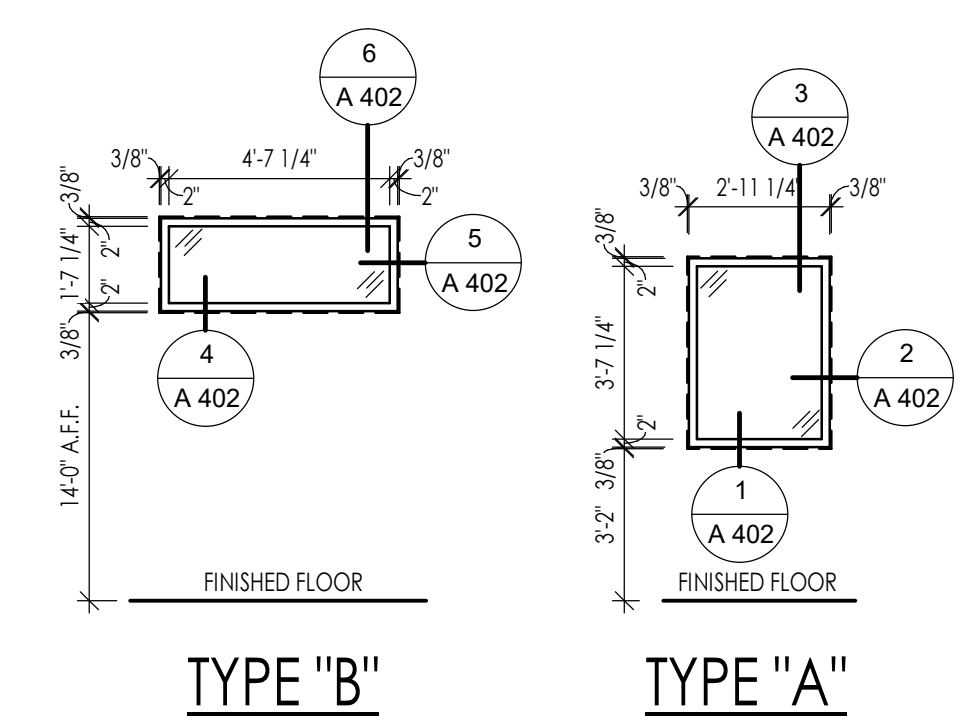


REVISIONS:

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**STONE WATER TABLE DETAIL**  
SCALE: 6" = 1'-0"



**WINDOW TYPES**  
SCALE: 1/4" = 1'-0"

FEBRUARY 29TH, 2024  
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**PRELIMINARY - NOT FOR CONSTRUCTION**

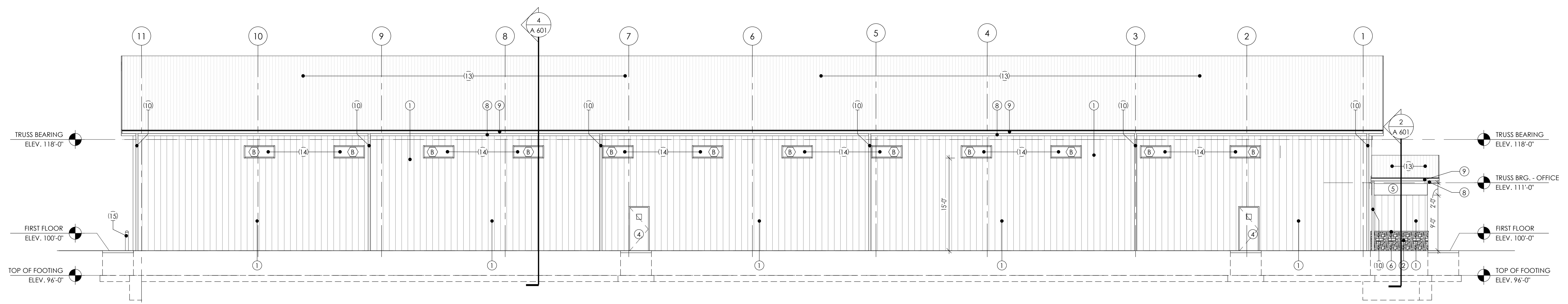
DRAWN BY: AJK  
CHECKED BY: PGM

WINDOW TYPES & DETAILS  
**A**  
**402**

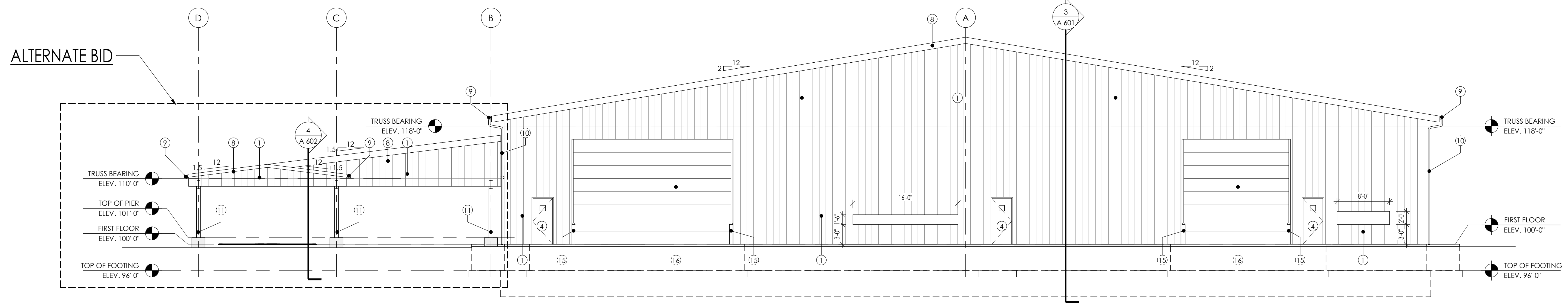
PROJ. NO. 2023-019

REVISIONS:

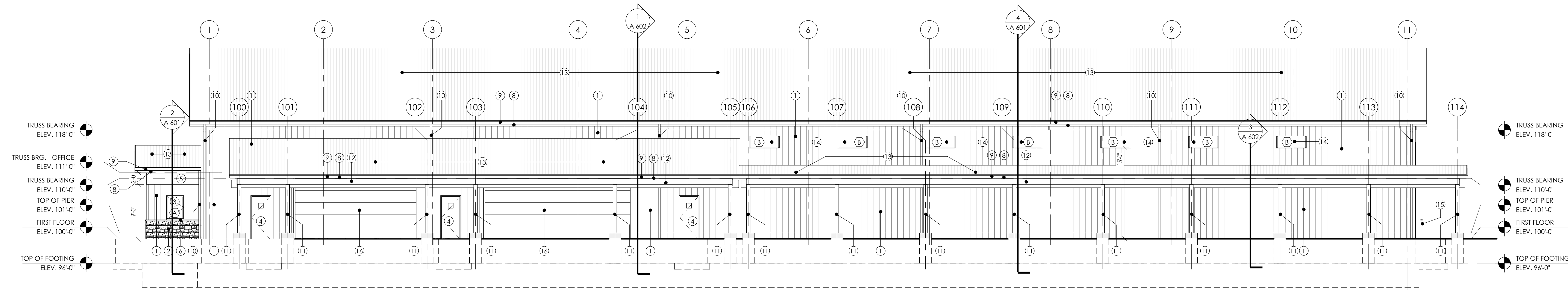
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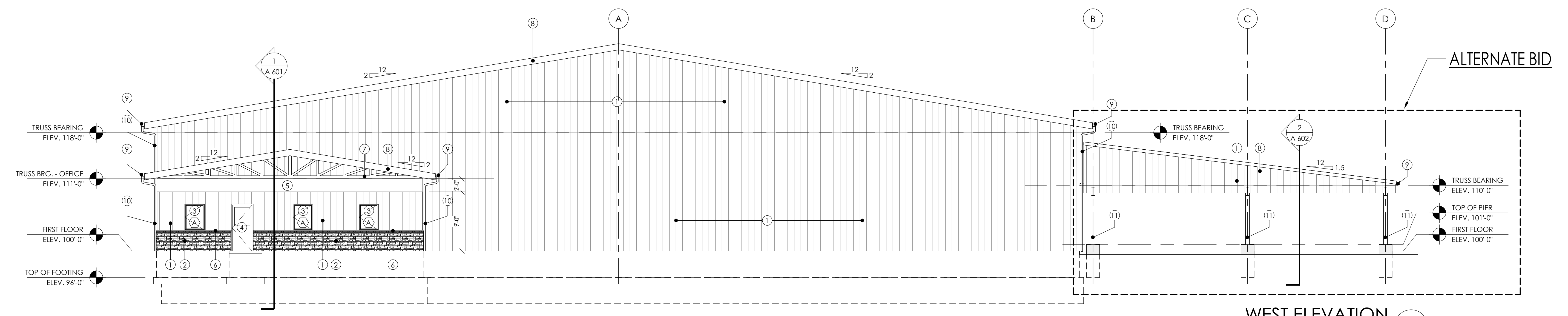
**NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 4 A 501



**EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 3 A 501



**SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 2 A 501



**WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"  
 1 A 501

ELEVATION KEYNOTES	
NO.	DESCRIPTION
1	PRE-FINISHED EXTERIOR VERTICAL METAL WALL PANEL
2	ADHEARED STONE VENEER
3	FIBERGLASS CASEMENT WINDOW UNIT
4	HOLLOW METAL ENTRANCE DOOR AND FRAME
5	PRE-FINISHED METAL ACCENT PANEL
6	STONE WATERTABLE
7	DECORATIVE WOODEN TRUSS
8	PRE-FINISHED METAL FASCIA
9	PRE-FINISHED METAL GUTTER
10	PRE-FINISHED METAL DOWNSPOUT
11	PRESERVATIVE TREATED WOOD COLUMN - REFER TO STRUCTURAL DRAWINGS
12	PRESERVATIVE TREATED WOOD BEAM - REFER TO STRUCTURAL DRAWINGS
13	PRE-FINISHED METAL STANDING SEAM ROOF PANELS
14	FIBERGLASS FIXED WINDOW UNIT
15	CONCRETE-FILLED METAL PIPE BOLLARD
16	PRE-FINISHED METAL OVERHEAD DOOR

FEBRUARY 29th, 2024  
 NEW CONSTRUCTION FOR:  
**BRAUN BUILDING CENTER - TRUSS SHOP**  
 BROWNS DRIVE, TWO RIVERS, WI 54241  
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

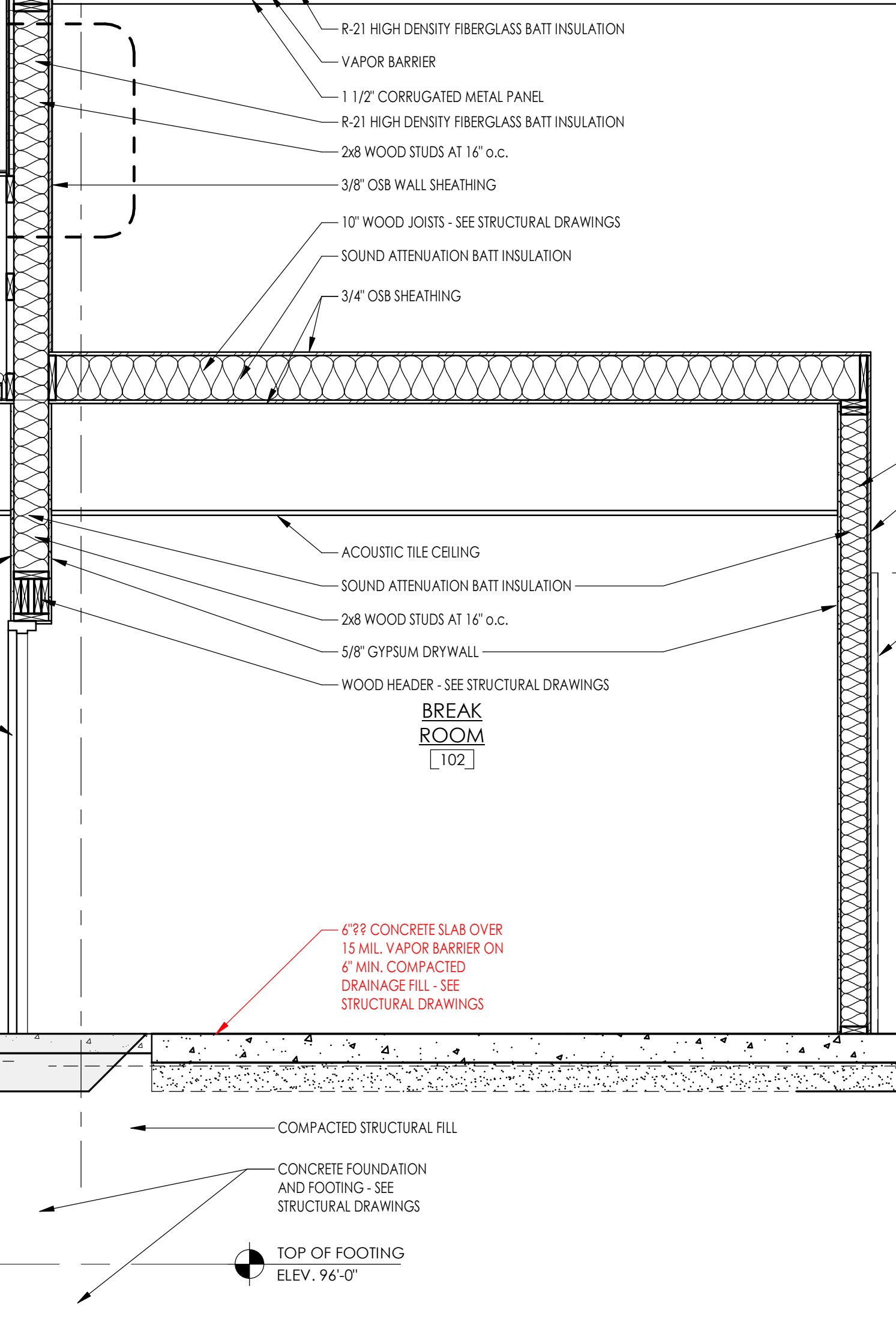
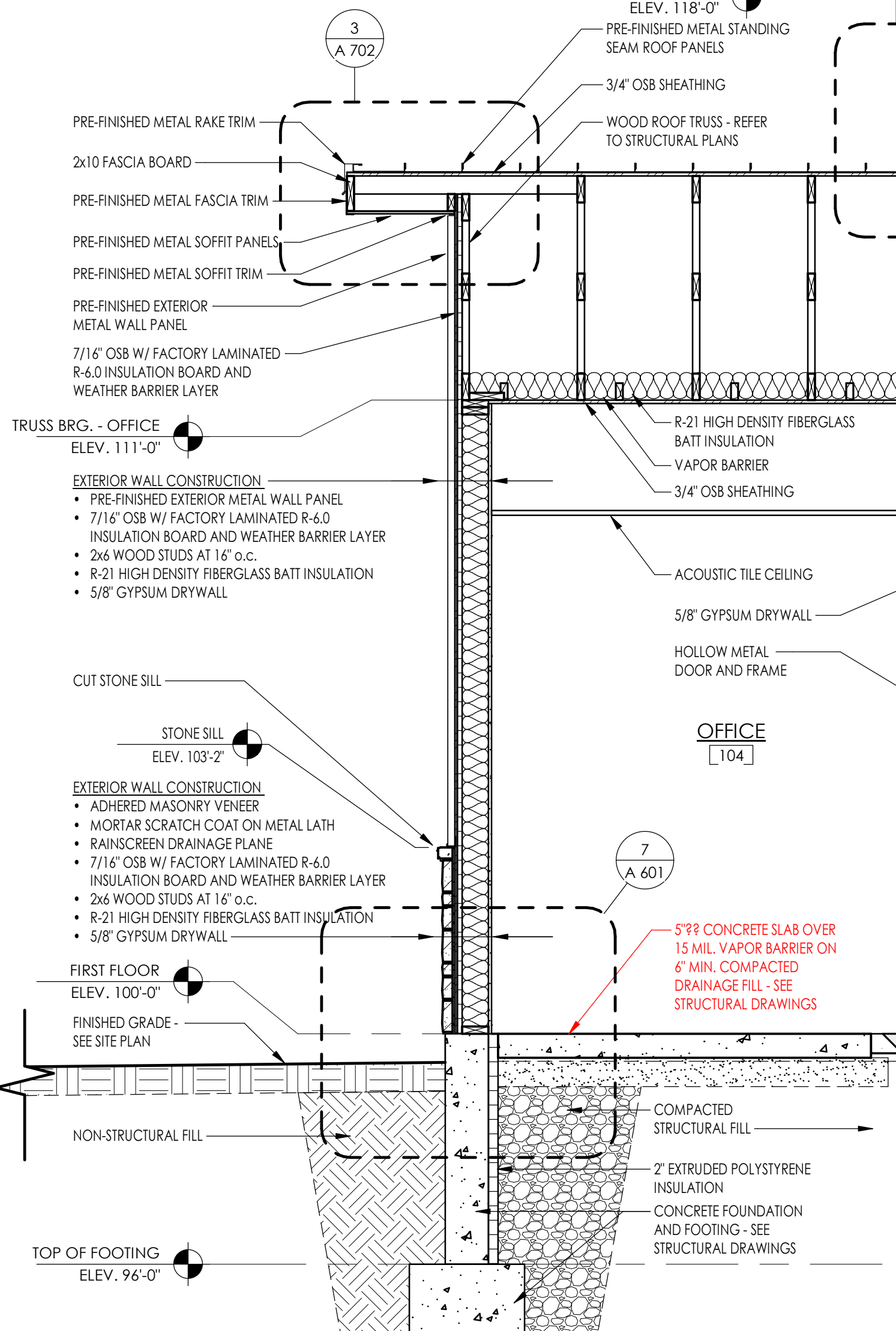
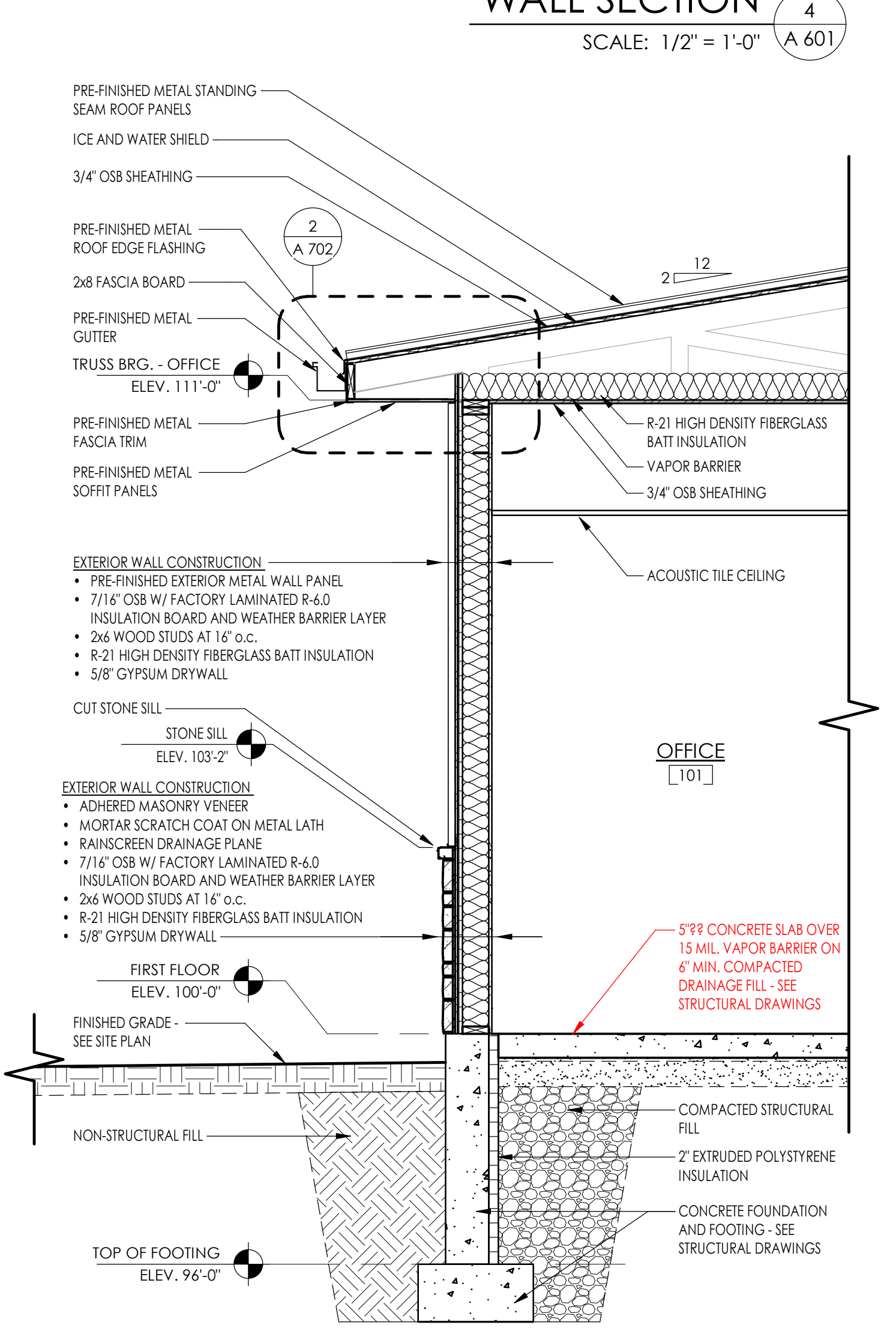
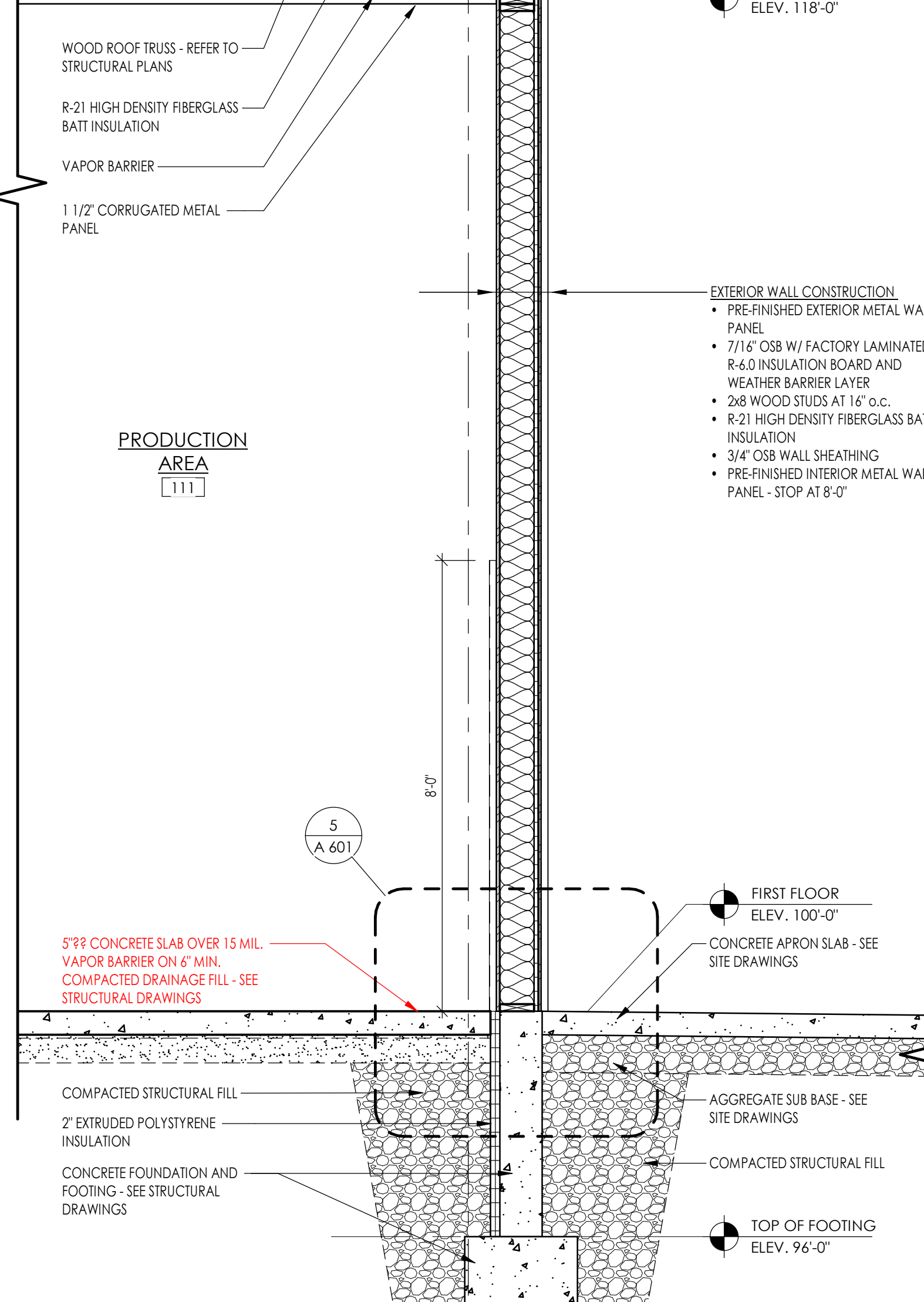
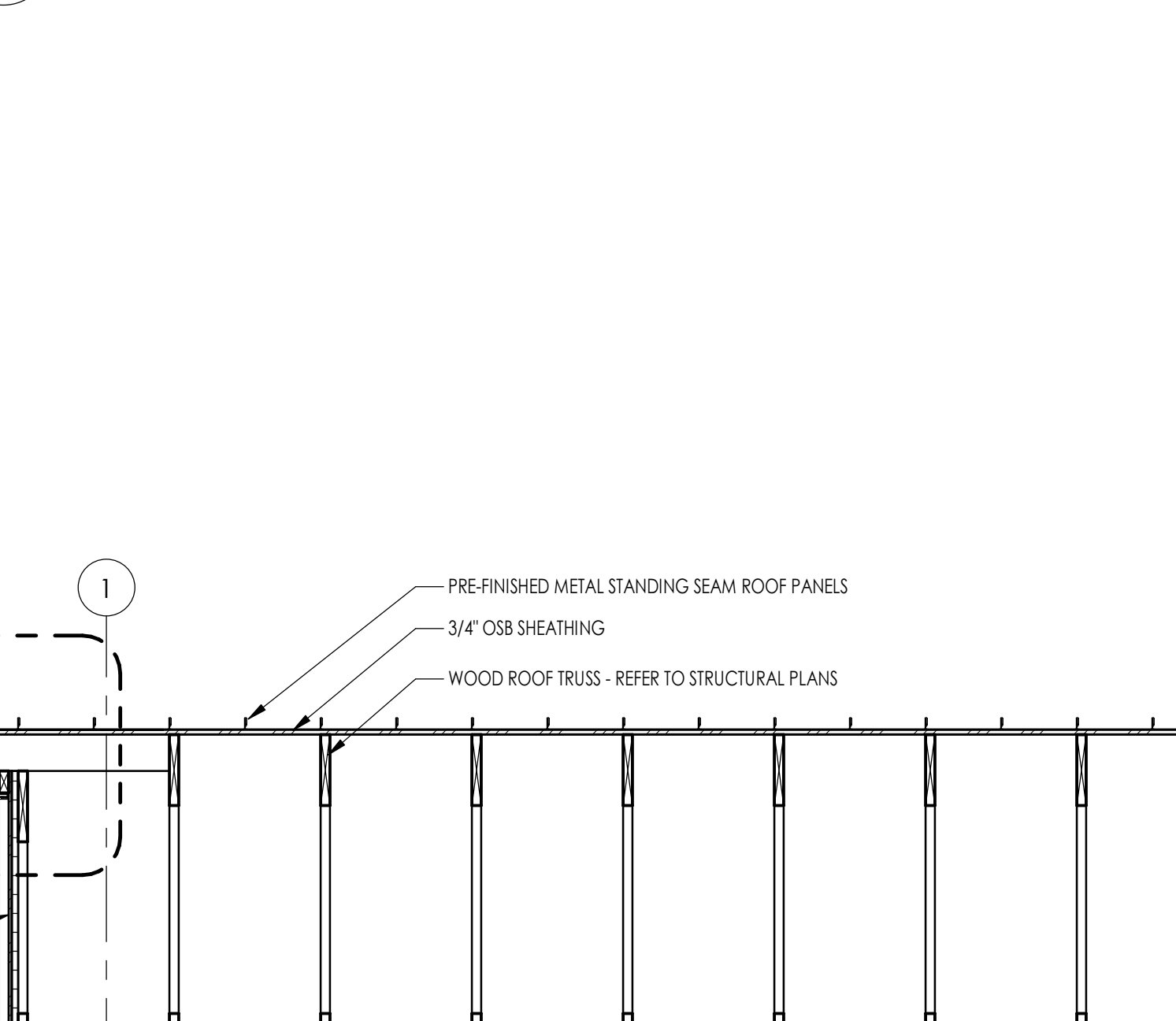
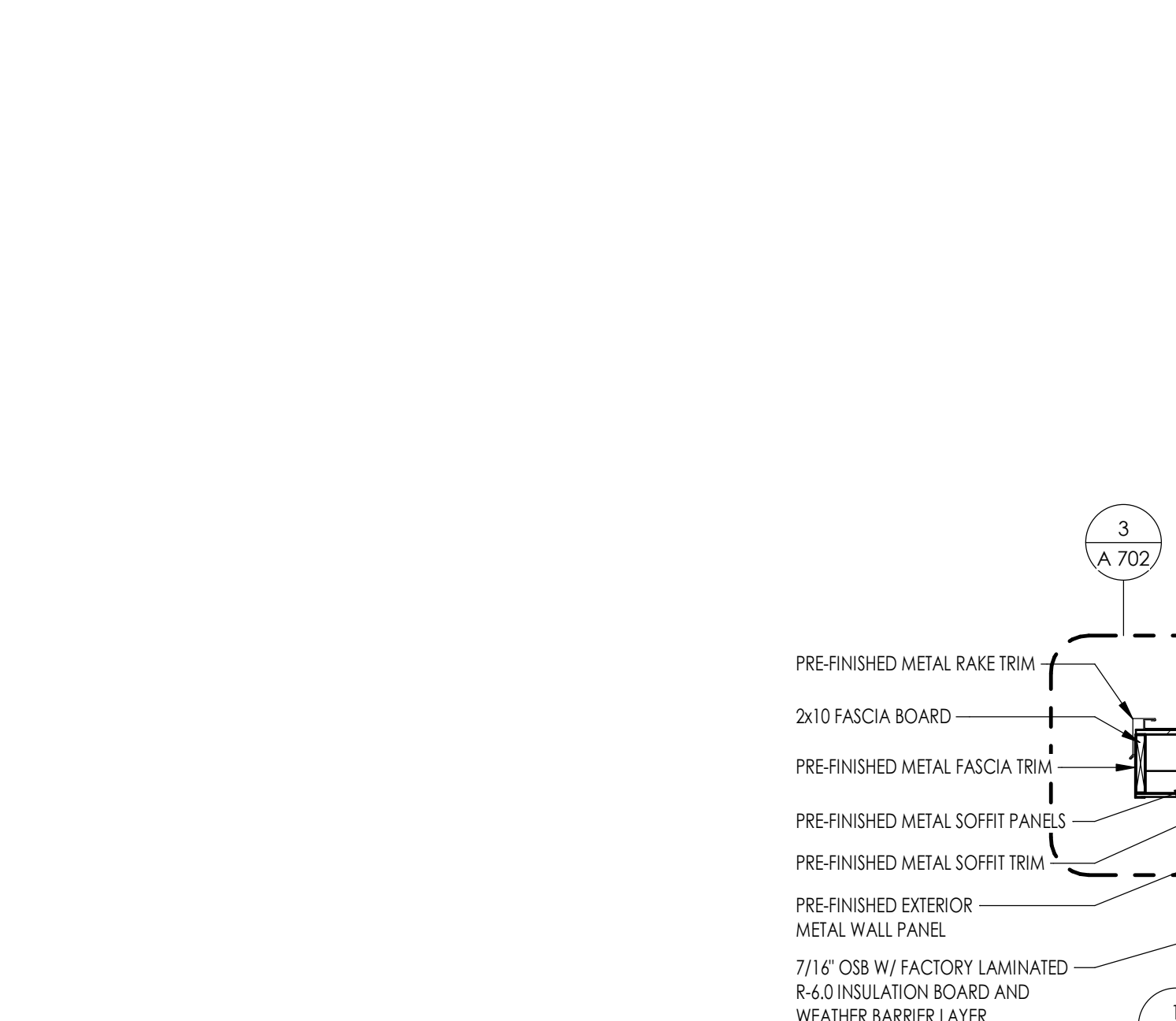
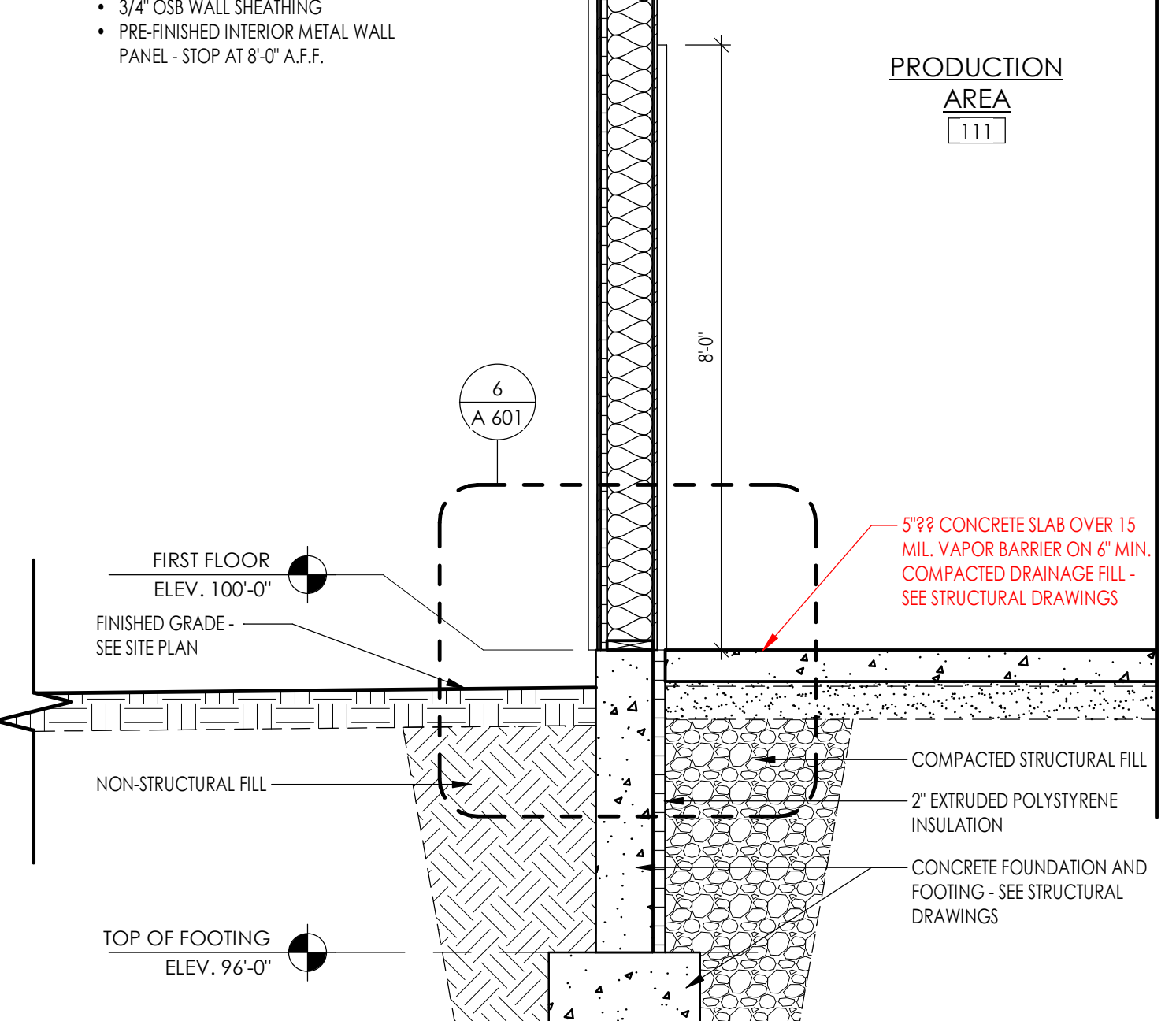
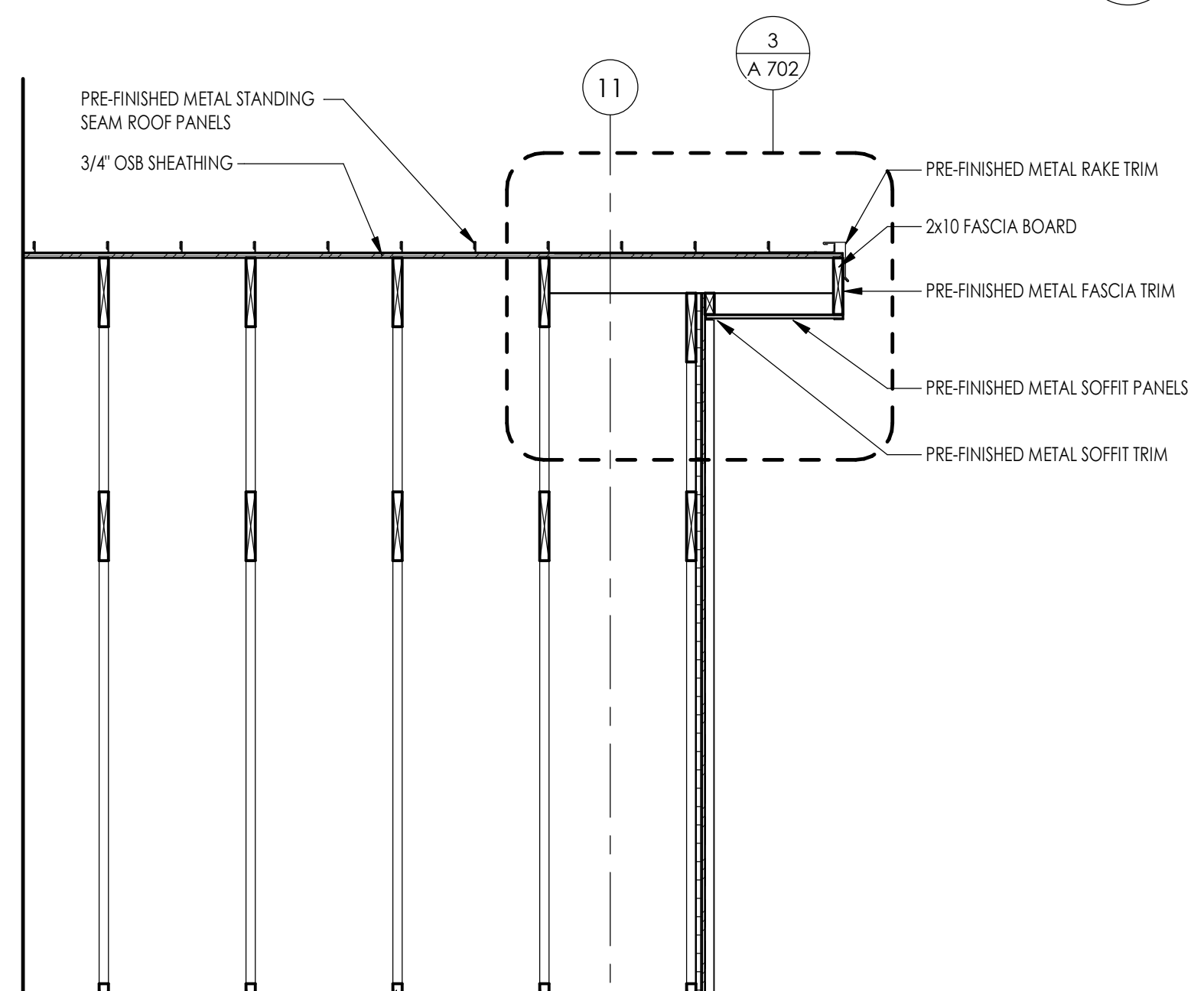
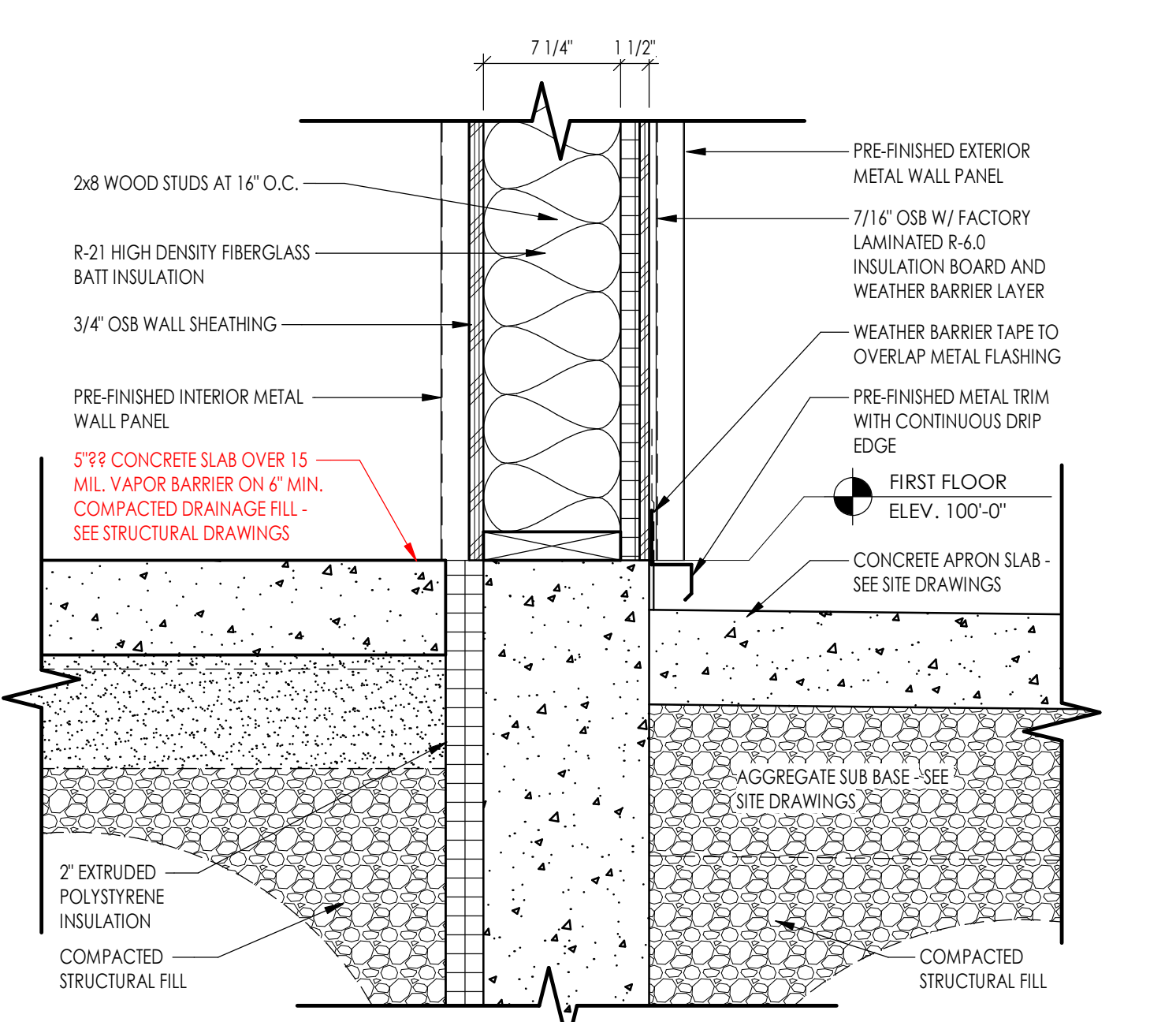
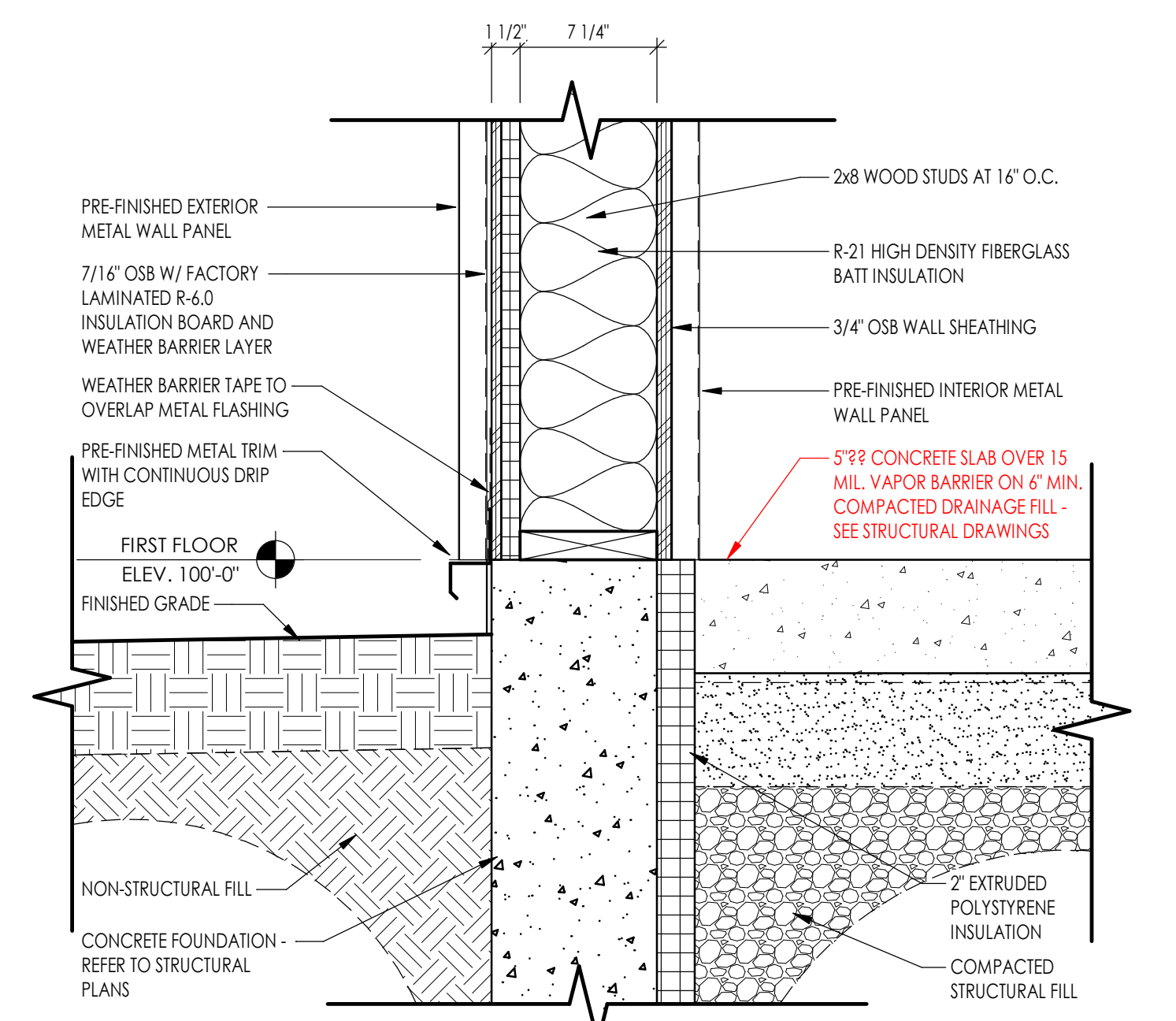
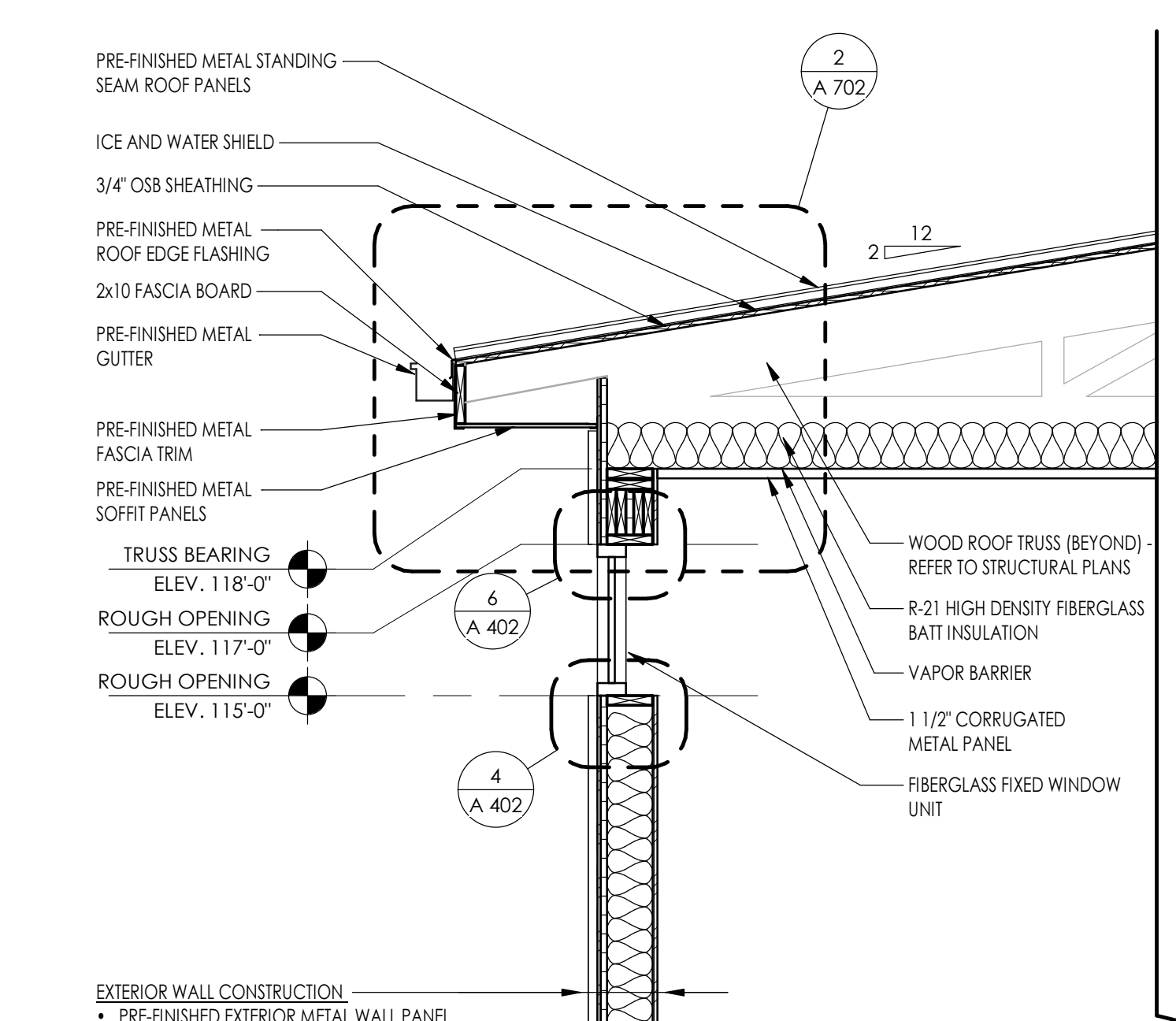
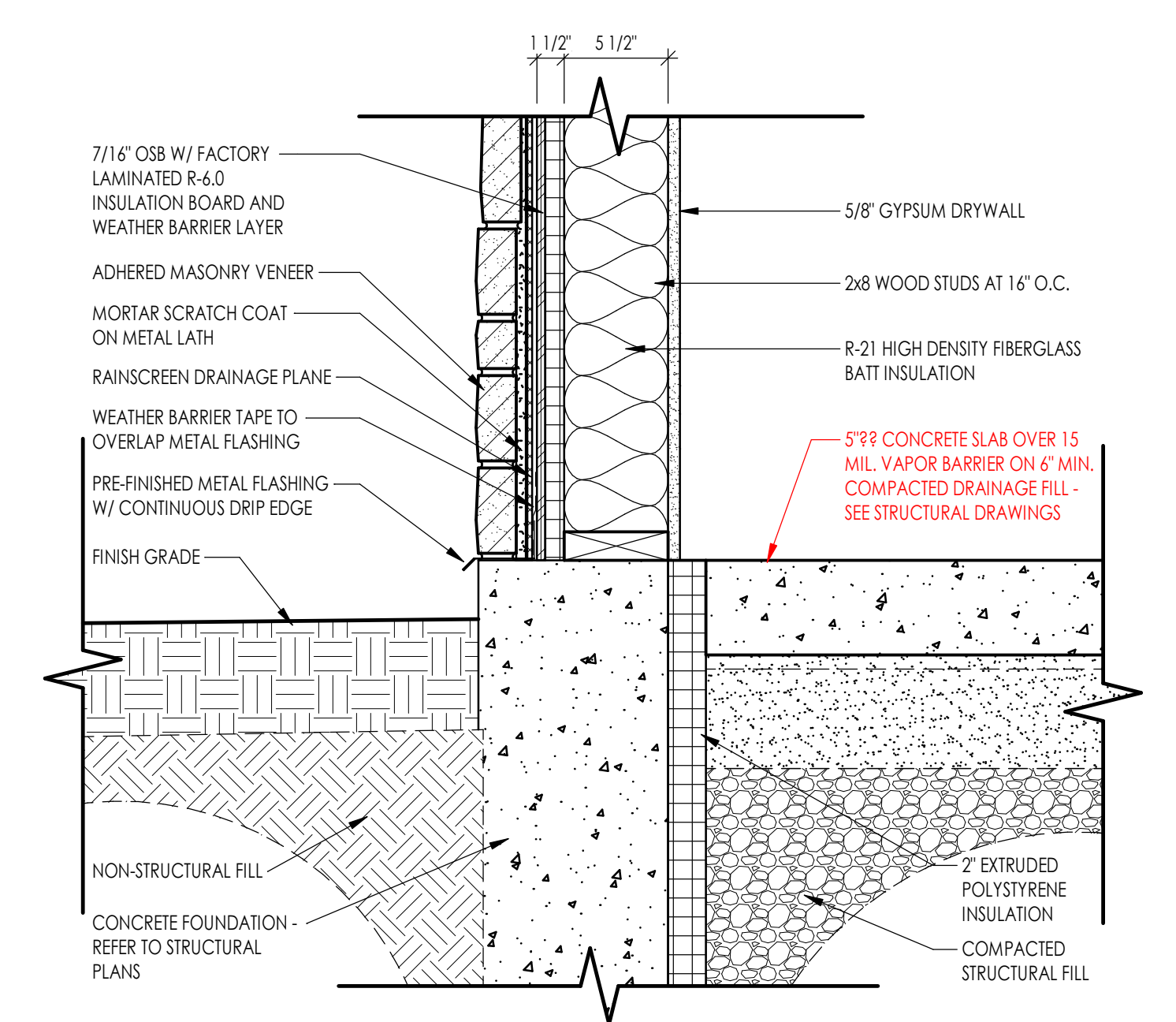
**PRELIMINARY - NOT FOR CONSTRUCTION**

DRAWN BY: AJK  
 CHECKED BY: PGM

EXTERIOR ELEVATIONS

**A**  
**501**

PROJ. NO. 2023-019



**WALL SECTION 1**  
SCALE: 1/2" = 1'-0" A 601

**WALL SECTION 3**  
SCALE: 1/2" = 1'-0" A 601

**WALL SECTION 2**  
SCALE: 1/2" = 1'-0" A 601

REVISIONS:

NOTICE TO BIDDERS  
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK  
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FEBRUARY 29th, 2024  
NEW CONSTRUCTION FOR:

**BRAUN BUILDING CENTER - TRUSS SHOP**  
BROWNS DRIVE, TWO RIVERS, WI 54241

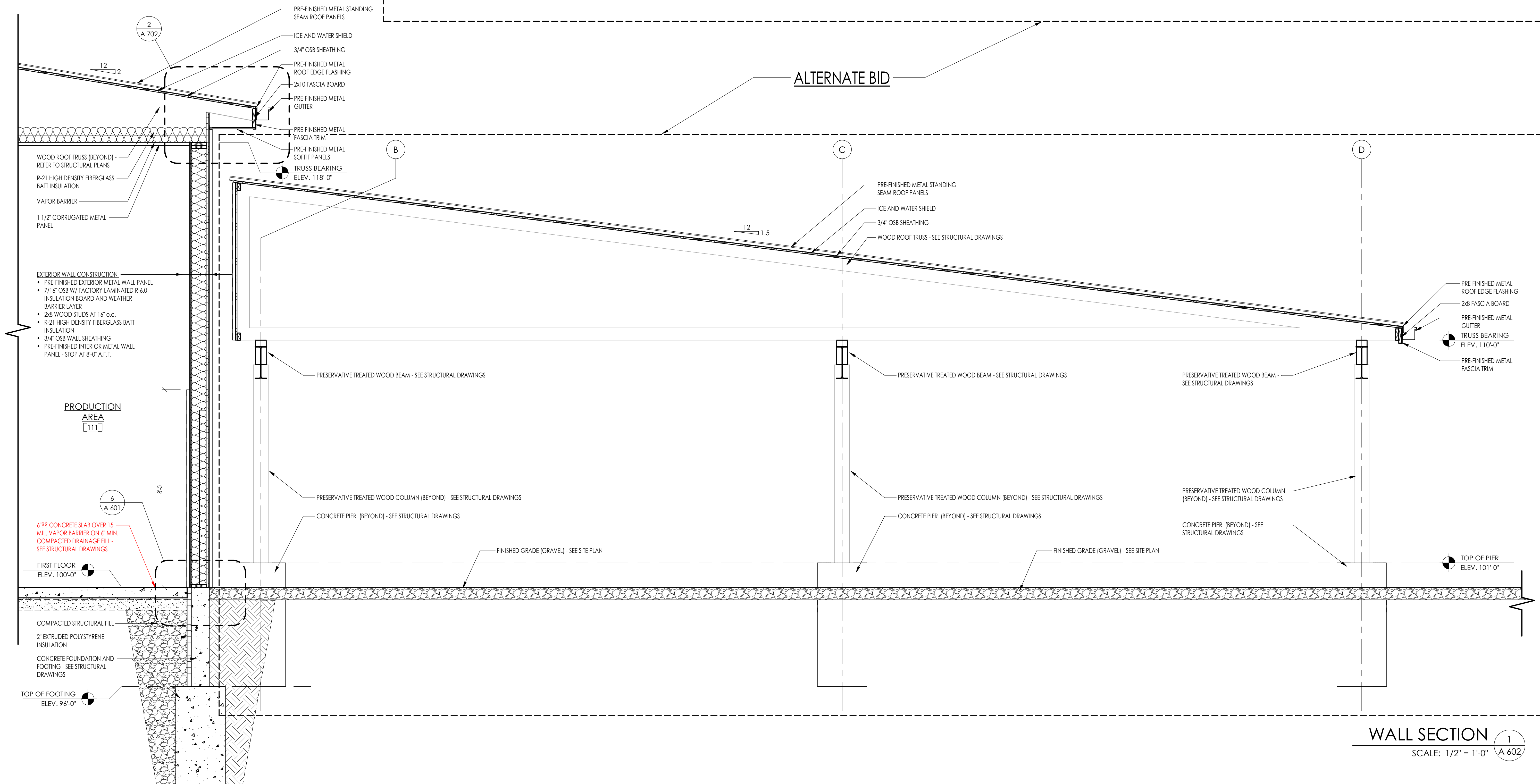
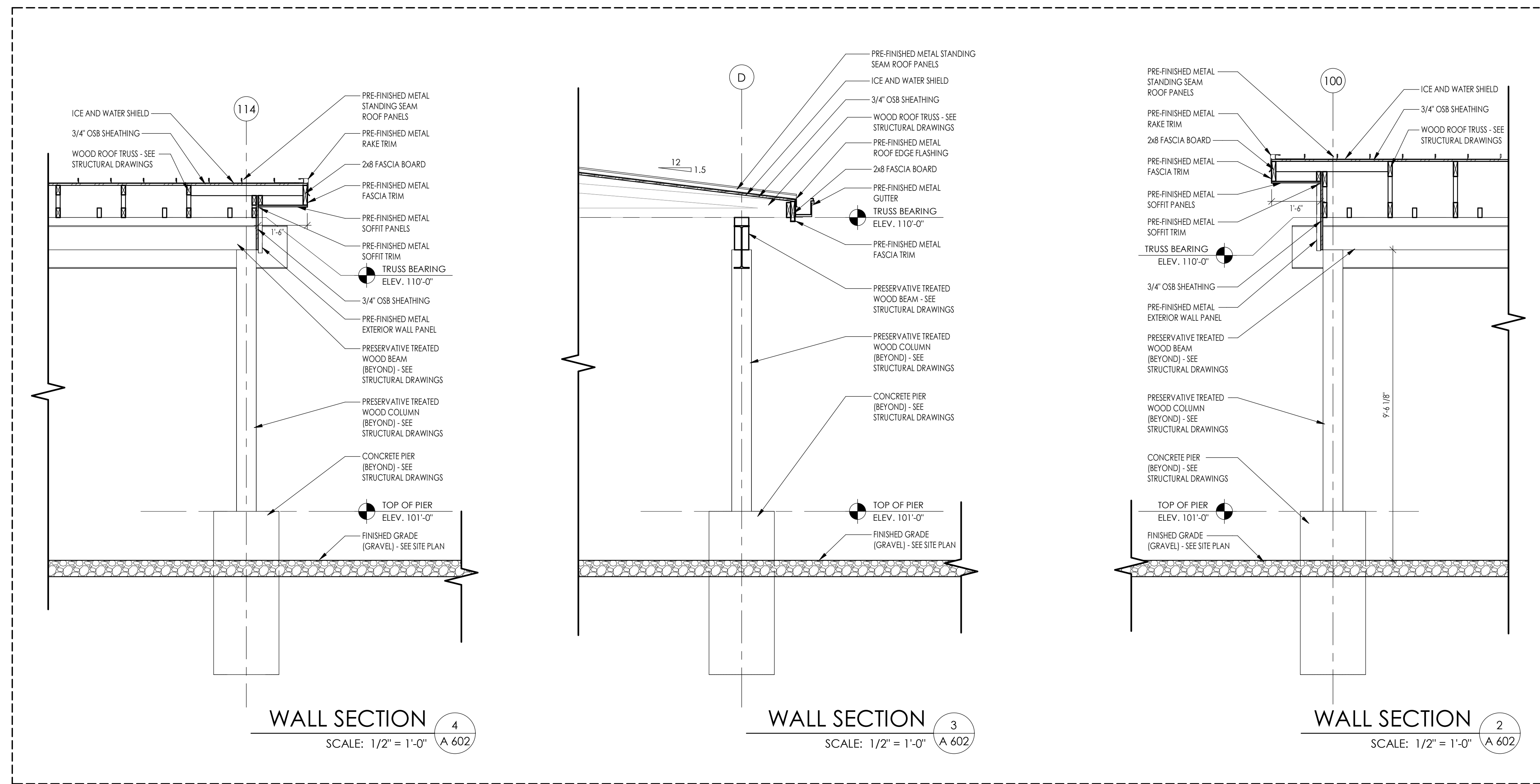
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE. SUITE 208, MILWAUKEE, WI 53203  
**PRELIMINARY - NOT FOR CONSTRUCTION**

DRAWN BY: AJK  
CHECKED BY: PGM

WALL SECTIONS & DETAILS

**A**  
**602**

PROJ. NO. 2023-019



**GENERAL ROOF NOTES**

- ROOF CONTRACTOR IS RESPONSIBLE FOR ROOF DRAINAGE. SEE STRUCTURAL PLANS AND COORDINATE WITH PLUMBING, HVAC AND ELECTRICAL CONTRACTORS FOR ROOF TOP PENETRATIONS. PROVIDE WATER TIGHT INTEGRITY AT ALL ROOF PENETRATIONS AND EQUIPMENT PER FR MANUFACTURERS REQUIREMENTS AND CURRENT NRCA STANDARDS.

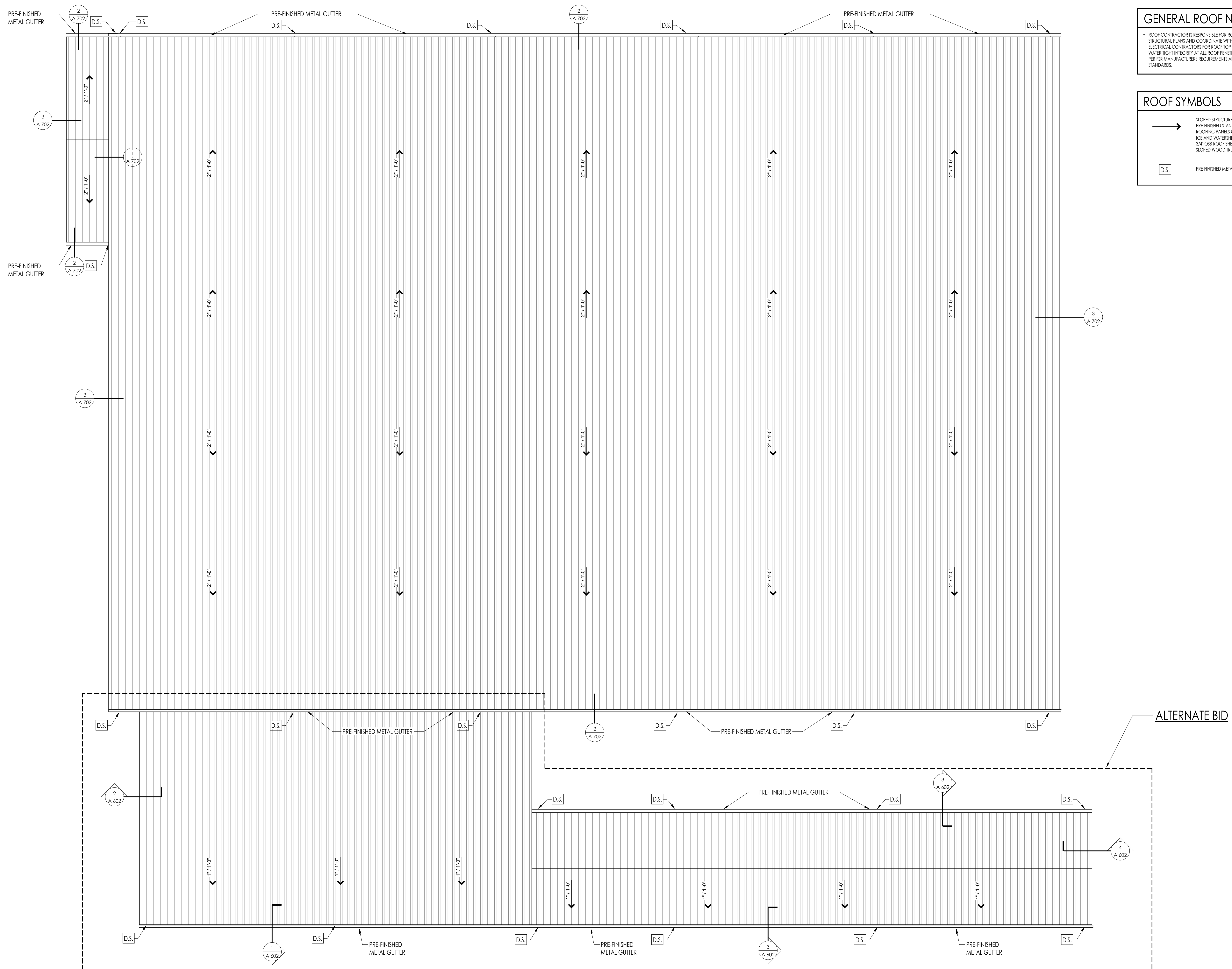
**ROOF SYMBOLS**

→ SLOPED STRUCTURE ROOF DRAINAGE  
 PRE-FINISHED STANDING SEAM METAL ROOFING PANELS OVER ICE AND WATERSHIELD OVER 3/4" OSB ROOF SHEATHING OVER SLOPED WOOD TRUSSES

D.S. PRE-FINISHED METAL DOWNSPOUT

**REVISIONS:**

NOTICE TO BIDDERS  
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK. ON THEIR OWN WORK  
 © 2023 ABACUS ARCHITECTS, INC.



**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"  
 N  
 W E  
 S

FEBRUARY 29th, 2024  
 NEW CONSTRUCTION FOR:  
**BRAUN BUILDING CENTER - TRUSS SHOP**  
 BROWNS DRIVE, TWO RIVERS, WI 54241  
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (708) 452-4444 | 313 N. PLANKINTON AVE. SUITE 208, MILWAUKEE, WI 53203

**PRELIMINARY - NOT FOR CONSTRUCTION**

DRAWN BY: AJK  
 CHECKED BY: PGM

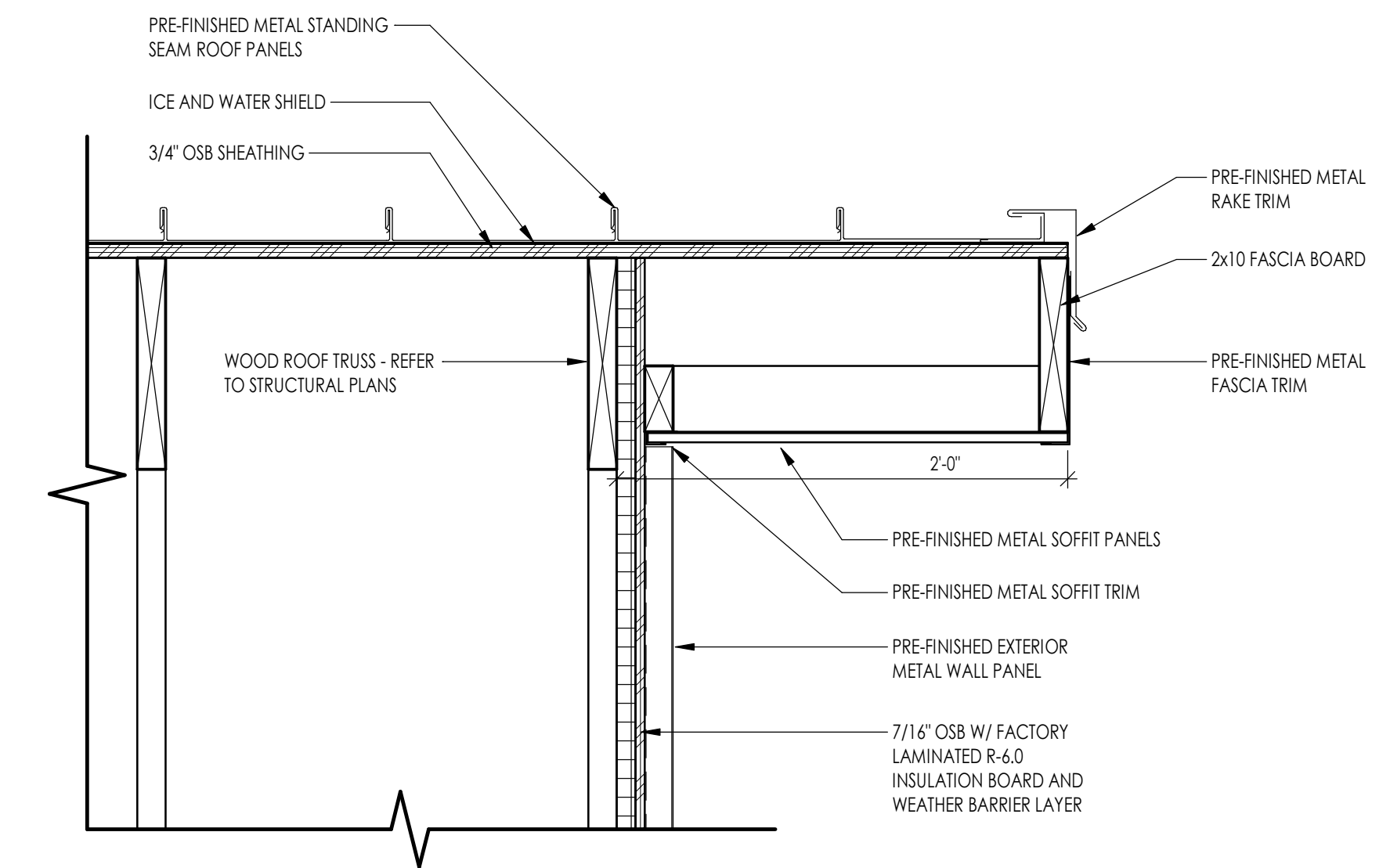
**ROOF PLAN**

**A  
701**

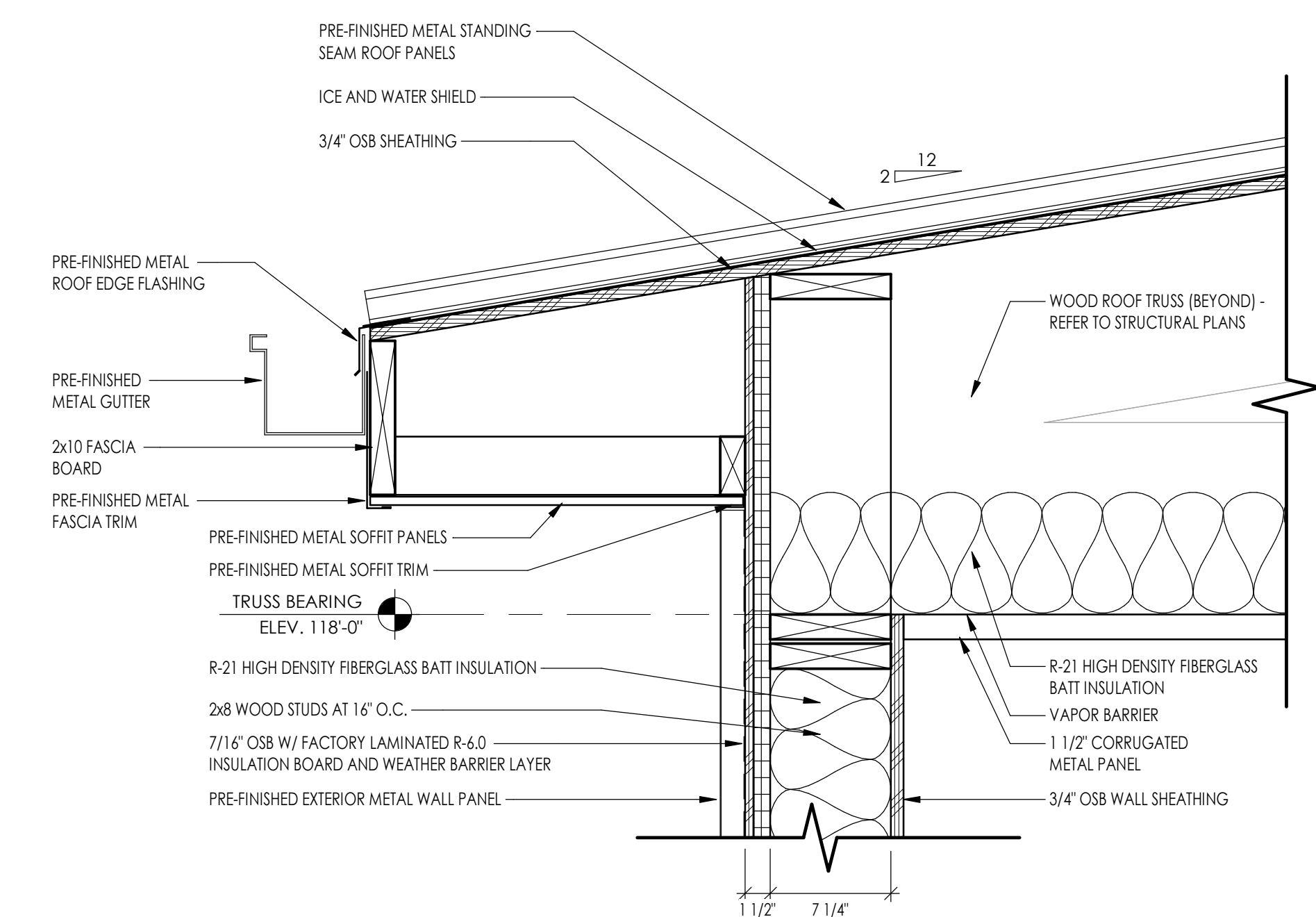
PROJ. NO. 2023-019

REVISIONS:

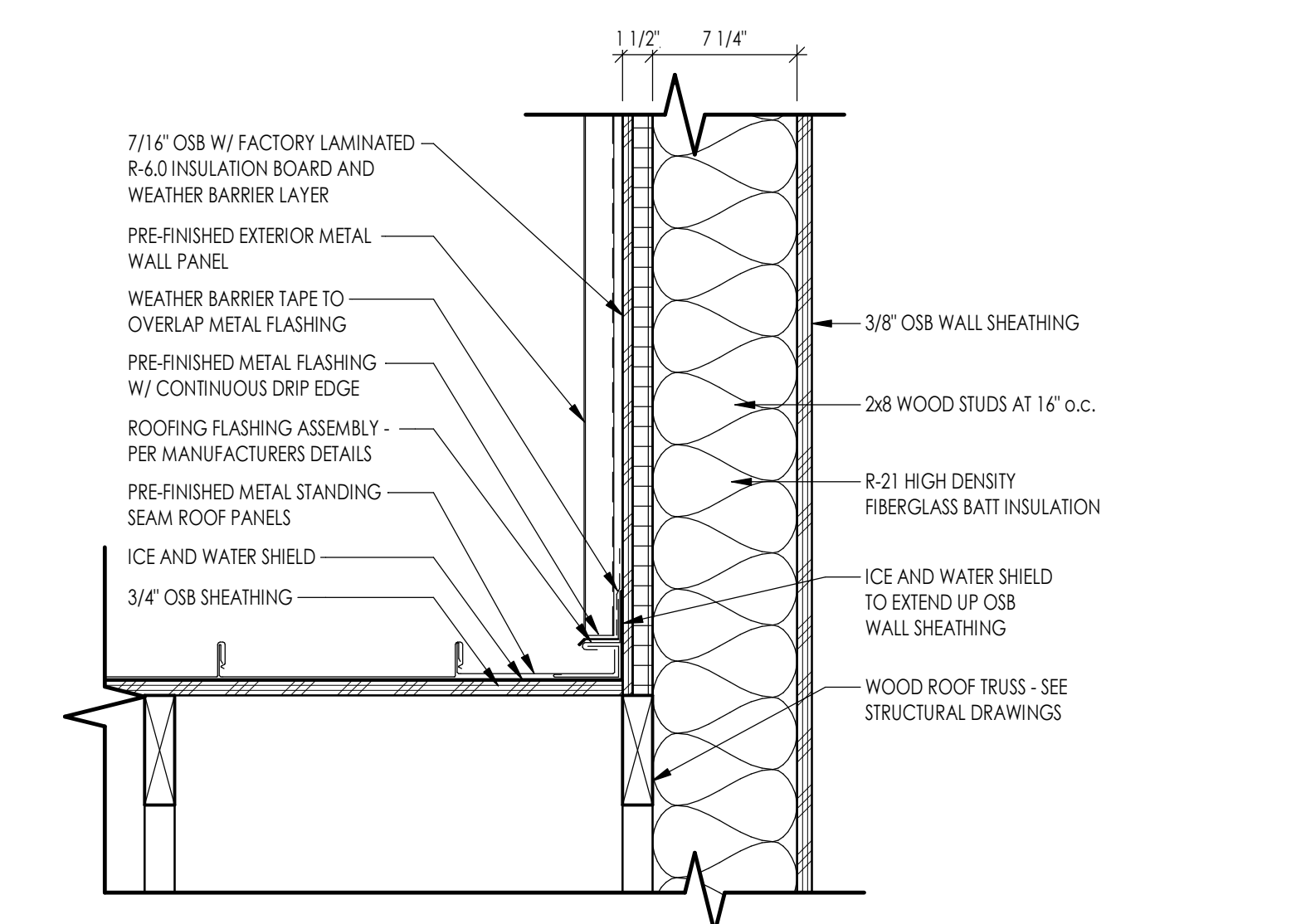
NOTICE TO BIDDERS  
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK. ON THEIR OWN WORK  
© 2023 ABACUS ARCHITECTS, INC.



**ROOF EDGE DETAIL 3**  
SCALE: 1 1/2" = 1'-0" A 702



**ROOF EDGE DETAIL 2**  
SCALE: 1 1/2" = 1'-0" A 702



**WALL FLASHING DETAIL 1**  
SCALE: 1 1/2" = 1'-0" A 702

FEBRUARY 29th, 2024  
NEW CONSTRUCTION FOR:  
**BRAUN BUILDING CENTER - TRUSS SHOP**  
BROWNS DRIVE, TWO RIVERS, WI 54241  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 3131 N. PLANKINTON AVE. SUITE 208, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: AJK  
CHECKED BY: PGM

WALL SECTION DETAILS

**A**  
**702**

PROJ. NO. 2023-019



**TWO RIVERS**  
WISCONSIN

**LAND DEVELOPMENT APPLICATION**

APPLICANT All Seasons Outdoor Power & Marine TELEPHONE 920-657-1700

MAILING ADDRESS 2521 Jackson Street Two Rivers WI 54241  
(Street) (City) (State) (Zip)

PROPERTY OWNER Marty & Kelly Pasek TELEPHONE 920-657-1700

MAILING ADDRESS 2521 Jackson Street Two Rivers WI 54241  
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT:  Owner  Agent  Buyer  Other

PROJECT LOCATION 2521 Jackson Street TYPE OF STRUCTURE Single Story Block

PRESENT ZONING B2 REQUESTED ZONING n/a

PROPOSED LAND USE Addition of truck and trailer rentals (UHaul)

PARCEL # 053-138-001-091.03 ACREAGE .344

LEGAL DESCRIPTION LE CLAIR'S ADD LOTS 9 & 10 BLK 1

**NOTE: Attach a one-page written description of your proposal or request.**

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed Kelly J. Pasek  
(Property Owner)

Date 12/20/2023 <sup>KP</sup> 2/14/24

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

Schedule

- Application Submittal Date \_\_\_\_\_
- Date Fee(s) Paid \_\_\_\_\_
- Plan(s) Submittal Date \_\_\_\_\_
- Plan Comm Appearance \_\_\_\_\_

\$ 350.00 TOTAL FEE PAID

APPLICATION, PLANS & FEE RECEIVED BY \_\_\_\_\_

### LIST OF FACTS AND INFORMATION TO BE PROVIDED WITH AN APPLICATION FOR A CONDITIONAL USE PERMIT (CUP) IN THE CITY OF TWO RIVERS

This list is intended to assist CUP applicants in providing information that relates to Wisconsin Act 67 which emphasizes that "Facts & Information" be considered in granting a CUP. This list is not intended to apply to each and every type of Conditional Use, but includes typical factors caused by most urban land uses. Each CUP will have its own unique type of facts & information which will also vary by location and site-specific considerations. It is the applicant's responsibility to determine the facts & information to be included with an application. The information provided should be "measurable" according to Wisconsin Act 67.

TYPES OF FACTS & INFORMATON	APPLICABLE TO THE REQUESTED CUP?		IS IT PROVIDED WITH THE APPLICATION?		IS IT MEASURABLE?	
	YES	NO	YES	NO	YES	NO
<b>INTENSITY OF USE(S)</b>						
Number of Customers	✓			✓		✓
Number of Employees		✓				✓
Building Size		✓				
Hours of Operation	✓			✓		✓
<b>PHYSICAL FACTORS</b>						
Air Emissions/Odors		✓				
Light Emissions		✓				
Noise/Vibration		✓				
<b>PUBLIC SAFETY</b>						
Fire/EMS/Police		✓				
Parking		✓				
Pedestrian Safety		✓				
Traffic Impacts		✓				
<b>UTILITIES</b>						
Electric/Gas		✓				
Sanitary Sewer		✓				
Stormwater		✓				
Water Service		✓				
<b>ECONOMIC IMPACTS</b>						
Job Creation		✓				
Property Values		✓				
School Capacity		✓				
Tax Base Growth		✓				
<b>AESTHETICS</b>						
Blight Elimination		✓				
Indoor/Outdoor Use	✓		✓			✓
View Obstruction		✓				



All Seasons Outdoor Power and Marine  
2521 Jackson Street  
Two Rivers, WI 54241  
920-657-1700

February 13, 2024

City of Two Rivers  
Zoning/Planning Departments  
1717 E Park Street  
Two Rivers, WI 54241

To Whom It May Concern:

We would appreciate your consideration for a Conditional Use Permit to operate a U-Haul site at 2521 Jackson Street. This would allow us to rent trucks, vans, trailers and/or other small equipment.

If granted, we would store several pieces of equipment as shown on the attachment. This would include a possible combination of 3 to 4 trucks/vans and 2 to 3 trailers.

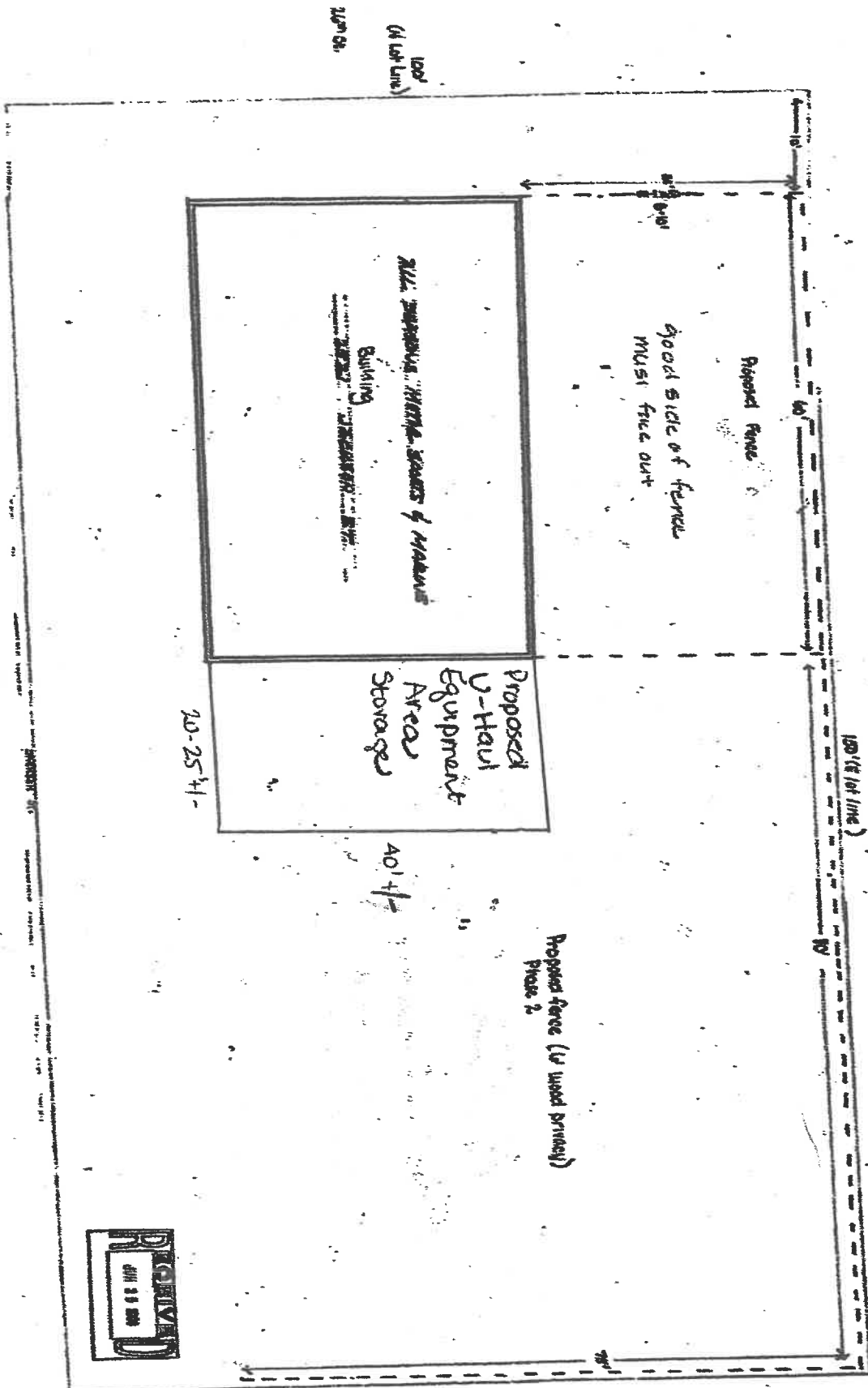
Also, at this time we would like to request a reconsideration of one of the stipulations in our conditional use permit granted in 2008. This stipulation required us to install a 6' privacy fence encompassing area that would be used for storage. This would include the north, east and south sides of our lot. We do store items that are in rotation of being repaired in the area between our shop and a neighboring lot to the south (this is not a residence – just a garage). With all due respect, we are questioning who would benefit from the privacy fence. There is only one residential property that is adjacent to our lot (1029 26<sup>th</sup> Street). When speaking to this neighbor he indicated both he and his mother, who owns the home, would be strongly opposed to putting up a fence.

Thank you for your time and consideration,

Handwritten signatures of Marty and Kelly Paek. The signature for Marty is written in black ink and is partially obscured by the signature for Kelly. The signature for Kelly is written in black ink and is clearly legible.

Marty & Kelly Paek

All Seasons Outdoor Power and Marine



Scale 1/8" = 1'-0"



CONDITIONAL USE  
PERMIT  
City of Two Rivers

Document Number

Permit No. 3-2-2024

Before the City Council of the City of Two Rivers, Manitowoc County, Wisconsin, regarding the premises at 15<sup>TH</sup> Street and Washington Street in the City of Two Rivers, Manitowoc County, State of Wisconsin, further described as:

LE CLAIR'S ADD LOTS 9 & 10 BLK 1

Inspections Department  
City of Two Rivers  
PO Box 87  
Two Rivers, WI 54241-0087

Parcel ID Number: 053-138-001-091.03

Zoning Classification of the Premises is: Industrial District (B-2)/Conditional Use: Utility trailer and truck rental

Mailing Address of the Premises Operator: 2524 Jackson Street, Two Rivers WI 54241

Land Owner: Marty and Kelly Pasek, 2521 Jackson Street, Two Rivers WI 54241

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statute, state that the premises may not be used for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the City Council of the City of Two Rivers having determined that by reason of the nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of a truck rental operation (U-Haul).

Permitted by action of the City Council of the City of Two Rivers on March 4, 2024.

Original filed in the office of the City Clerk of the City of Two Rivers, Wisconsin

The Conditions of this Permit are:

1. This Permit shall become effective upon the execution and recording by the Owner of the Premises as acceptance hereof.
2. This Permit shall be void unless proper application, pursuant to the Building and Zoning Codes of this Municipality, for appropriate Building and Zoning Use Permits in conformity to this Permit, is made within 12 months of the date hereof.
3. This Permit is also serving as an amendment to a previously issued CUP to the same Petitioners.
4. This Permit is subject to the conditions herein and is subject to amendment and termination in accordance with the provisions of the Zoning Code of this Municipality.
4. The operation of the use permitted shall be in strict conformity to the approved conditions identified with this Petition for this Permit and such plans are incorporated herein by reference as if set forth in detail herein.
5. Any substantial change to the site as the conditions permitted by the issuance of this Permit would require approval by the Plan Commission and City Council as an amendment to this Permit.
6. This permit is issued to Marty and Kelly Pasek with the following conditions  
Conditions/Conditions of Operations:
  - A. Hours of Operation: Current business hours with the addition of drop off hours for the rental equipment identified by the owners.
  - B. Amending previous CUP: Installation of landscaping meaning to install plantings, such as arborvitae, along the perimeter boundary to serve as screening between this business' outdoor storage and the residential uses adjacent to the east and to the south.

- C. The owner is to work with the Engineering Department to install a second driveway access onto Jackson Street to provide rental vehicles and trailers ingress and egress onto the property.
- D. Curb stops, and signs for the parking of rental vehicles are to be installed next to the All-Season Building. Bollards in are recommended but are not a required condition to protect the building.

**SIGNATURES OF PROPERTY OWNER(S) AND PERMITEE(S):**

**As Owner(s) of the Subject Property, I/we accept and understand the above-described conditions.**

\_\_\_\_\_  
 Printed Name: \_\_\_\_\_

\_\_\_\_\_  
 Printed Name: \_\_\_\_\_

STATE OF WISCONSIN  
 MANITOWOC COUNTY

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2024, the above named \_\_\_\_\_ and to be the person(s) who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
 Amanda Baryenbruch  
 Notary Public, Manitowoc County, Wisconsin  
 My commission expires: \_\_\_\_\_

**SIGNATURES - CITY OF TWO RIVERS**

\_\_\_\_\_  
 Greg Buckley, City Manager

\_\_\_\_\_  
 Amanda Baryenbruch, City Clerk

STATE OF WISCONSIN  
 MANITOWOC COUNTY

Personally, came before me this \_\_\_\_\_ day of \_\_\_\_\_ 2024, the above-named Greg Buckley and Amanda Baryenbruch known to be the person(s) who executed the foregoing instrument and acknowledge the same.

\_\_\_\_\_  
 Printed Name: \_\_\_\_\_  
 Notary Public, Manitowoc County, Wisconsin  
 My commission expires: \_\_\_\_\_

THIS INSTRUMENT WAS DRAFTED BY:  
 Elizabeth Runge, Community Development Director

All Seasons Outdoor Power and Marine



Jackson Street

Proposed  
Driveway

Google

All Seasons Outdoor Power and Marine

East View: Residential



Rear of Building and Yard: All Seasons



South of Business: Residential

← 26<sup>th</sup> Street →



**PLAN COMMISSION**

<b>Action:</b>	Grease Interceptor Line Work in Public Right-Of- Way for Riverside Foods
<b>Location:</b>	Wilson Street
<b>Current Zoning:</b>	Industrial (I-2)
<b>Date:</b>	March 11, 2024

Riverside Foods has been discharging waste into the sanitary sewer which has been having negative impacts on the sanitary sewer collection system along with at the wastewater treatment plant causing waste influent levels to be at or above acceptable WDNR limits. Riverside Foods has engaged engineering services to plan for the addition of a single grease interceptor (GI) at this time, with the ability to add a second GI in the future if necessary. Riverside Foods will need to separate their domestic and process waste streams and will have multiple private sanitary laterals below the sidewalk adjacent to their building along with sanitary laterals crossing underneath Wilson Street roadway itself to a proposed grease interceptor (GI) in the parking lot on the eastside of Wilson Street.

The engineering plans, and the impact onto the City's public infrastructure will be addressed by the Engineering Department. These plans, however, involve a Right-of Way Privilege agreement because the work proposed involves work modifying sanitary lines and other public infrastructure. A Right-of-Way Privilege agreement is reviewed and acted upon by the Plan Commission.

**Recommended Action:**

The proposed infrastructure improvements support significant business within Two Rivers. Staff recommends the approval of the Right-of Way Privilege agreement with the **conditions** below.

1. Any additional requirements identified by city engineering, electric, and/or water department director(s).
2. Any additional requirements from the state of Wisconsin.
3. All required permits are obtained prior to construction.





**TWO RIVERS**  
WISCONSIN

**LAND DEVELOPMENT APPLICATION**

APPLICANT Riverside Foods (a subsidiary of Lakeside Foods, Inc.) TELEPHONE +1 800-678-4511

MAILING ADDRESS 2520 Wilson Street Two Rivers WI 54241  
(Street) (City) (State) (Zip)

PROPERTY OWNER Lakeside Foods Inc. TELEPHONE 920-684-3109

MAILING ADDRESS P.O. Box 1327 Manitowoc WI 54221-1327  
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT:  Owner  Agent  Buyer  Other

PROJECT LOCATION 2520 Wilson Street TYPE OF STRUCTURE Existing

PRESENT ZONING I-2 Industrial REQUESTED ZONING Existing

PROPOSED LAND USE Riverside Foods (a subsidiary of Lakeside Foods, Inc.)

PARCEL # 05313800302104/05313800205102 ACREAGE 0.52/2.07

LEGAL DESCRIPTION SW 1/4, S36, T20N, R24E

**NOTE: Attach a one-page written description of your proposal or request.**

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed *Mal C. Smith* Date 2/5/24  
(Property Owner)

**Fee Required**

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

**Schedule**

- Application Submittal Date \_\_\_\_\_
- Date Fee(s) Paid \_\_\_\_\_
- Plan(s) Submittal Date \_\_\_\_\_
- Plan Comm Appearance \_\_\_\_\_

\$ \_\_\_\_\_ TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY \_\_\_\_\_



**CITY OF TWO RIVERS  
RIGHT-OF-WAY PRIVILEGE AGREEMENT**

This Agreement made by and between the City of Two Rivers, Wisconsin, a municipal corporation hereinafter referred to as "City" and Riverside Seafood Inc (a subsidiary of Lakeside Foods, Inc.), hereinafter referred to as "Owner".

The parties hereto agree as follows:

1. Grant. Pursuant to Wis. Stats. §66.0425, the City hereby grants to Owner the privilege to use the following area of Wilson Street right-of-way:

The location and use of the private sanitary process sewers that encroaches within the Wilson Street public right-of-way lying approximately fifty (50) feet south of the 26<sup>th</sup> Street centerline to approximately one-hundred thirty (130) feet south of the 26<sup>th</sup> Street centerline for the entire width of the right-of-way to the extent depicted in the drawing attached hereto as **Exhibit A**.

Said private sanitary process sewers may be maintained and repaired at Owner's expense but may not be replaced or expanded. The private sanitary process sewers, if damaged by an act of nature, may not be reconstructed without the express written consent from the City.

The private property that is subject of the privilege is located at and adjacent to 2511 Wilson Street, and 2520 Wilson Street, and is further described as:

2511 Wilson Street – All of Block 2 of LeClair's Addition in the City of Two Rivers, Manitowoc County, Wisconsin. Tax Parcel Number 138-002-051-2.

2520 Wilson Street – Lots 1, 2 & 3, Block 3 of LeClair's Addition in the City of Two Rivers, Manitowoc County, Wisconsin. Tax Parcel Number 138-003-021-4.

This privilege is granted upon recommendation of the Plan Commission of the City of Two Rivers. Owner agrees that the existence of the private sanitary process sewers shall not and will not in the future create any interest in the right-of-way or a claim for adverse possession with respect to any portion of the right-of-way. The private sanitary process sewers shall be removed by Owner and Owner's expense at such time the City decides to further improve the right-of-way.

2. Liability. By acceptance of this grant, Owner agrees pursuant to Wis. Stats. §66.0425(2) to be primarily liable for any damages to person or property by reason of the granting of this privilege, and as consideration for this privilege, further agrees to obtain and maintain in effect for the duration of this grant liability insurance covering injuries to

persons or property with a limit of not less than \$100,000 per person, \$500,000 per occurrence to insure this obligation.

3. Termination. This Agreement shall terminate immediately should the Owner fail to maintain the property described in paragraph 1 for the purpose granted. In addition, the City shall have the right to terminate this Agreement upon ten (10) days written notice to the Owner. Such notice is to be delivered in the manner required by statute for the service of a summons or by certified mail at the option of the City.

Notice as provided for this Agreement if sent by certified mail, shall be sent to the Owner at 2520 Wilson Street, Two Rivers, WI 54241, unless they have notified the City of a different address by certified mail, return receipt requested, addressed to the City, c/o the City Manager at 1717 East Park Street, Two Rivers, WI 54241. Notice shall be deemed given upon mailing.

4. Removal. Owner agrees that Owner shall be obligated to remove [or abandon by slurry filling in the sewers] the improvements on the premises for which this Grant is made upon ten (10) [thirty (3)] days notice by the City. Owner agrees that Owner shall voluntarily remove or abandon said improvements if Owner will no longer own, occupy, use said improvements or properties for its intended use. Owner agrees that Owner shall be entitled to no damages for removal [or abandonment] of said improvements. If Owner fails to so remove [or abandon] such improvements upon due notice, the improvements shall be removed [or abandon] by the City at Owner's expense and if Owner fails to pay for such costs they shall be placed against the property as a special charge assessment.
5. Waiver. Owner specifically waives Owner's right to contest in any manner the validity of this Agreement under Wis. Stats. §66.0425, or the amount of compensation charged.
6. Parties. This Agreement shall be binding upon and inure to the benefit of the parties hereto as well as their successors and assigns. This Agreement shall also be deemed to be a covenant running with the land -of the above-described property owned by Owner which is immediately adjacent to the sidewalk or street right-of-way over which this privilege is granted.
7. Implementation. This Agreement shall not be effective until it has been executed by the authorized person for the City and Owner. Failure to properly execute this Agreement makes the Agreement null and void.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

CITY OF TWO RIVERS

\_\_\_\_\_  
Gregory Buckley, City Manager

\_\_\_\_\_  
Amanda Baryenbruch, City Clerk

STATE OF WISCONSIN    )  
  ) SS  
MANITOWOC COUNTY    )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2024, the above-named Gregory Buckley, City Manager and Amanda Baryenbruch, City Clerk, known to me to be the persons who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Lisa Kuehn  
Notary Public, State of Wisconsin  
My commission expires: \_\_\_\_\_

RIVERSIDE FOODS

\_\_\_\_\_  
Mark C Smith, CFO

STATE OF WISCONSIN    )  
  ) SS  
MANITOWOC COUNTY    )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2024, the above-named \_\_\_\_\_, known to me to be the persons who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_

Notary Public, State of Wisconsin  
My commission expires: \_\_\_\_\_

This Instrument was drafted by:

DRAFT



**SPECIFICATION NOTE:**  
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



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**PROJECT INFORMATION**

PROPOSED GREASE INTERCEPTOR DESIGN FOR:  
**LAKESIDE FOODS, RIVERSIDE**  
2520 WILSON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

**PRELIMINARY DATES**

DEC. 22, 2023  
JAN. 23, 2024

**NOT FOR CONSTRUCTION**

**JOB NUMBER**

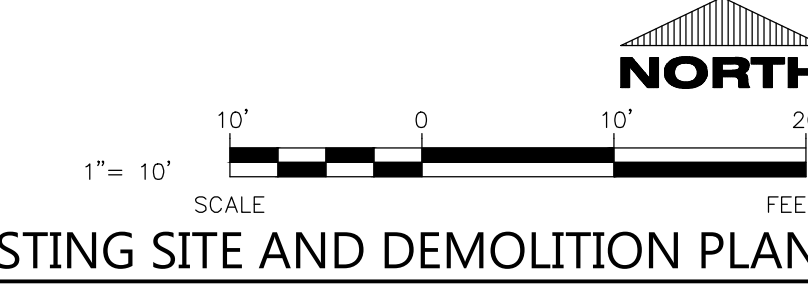
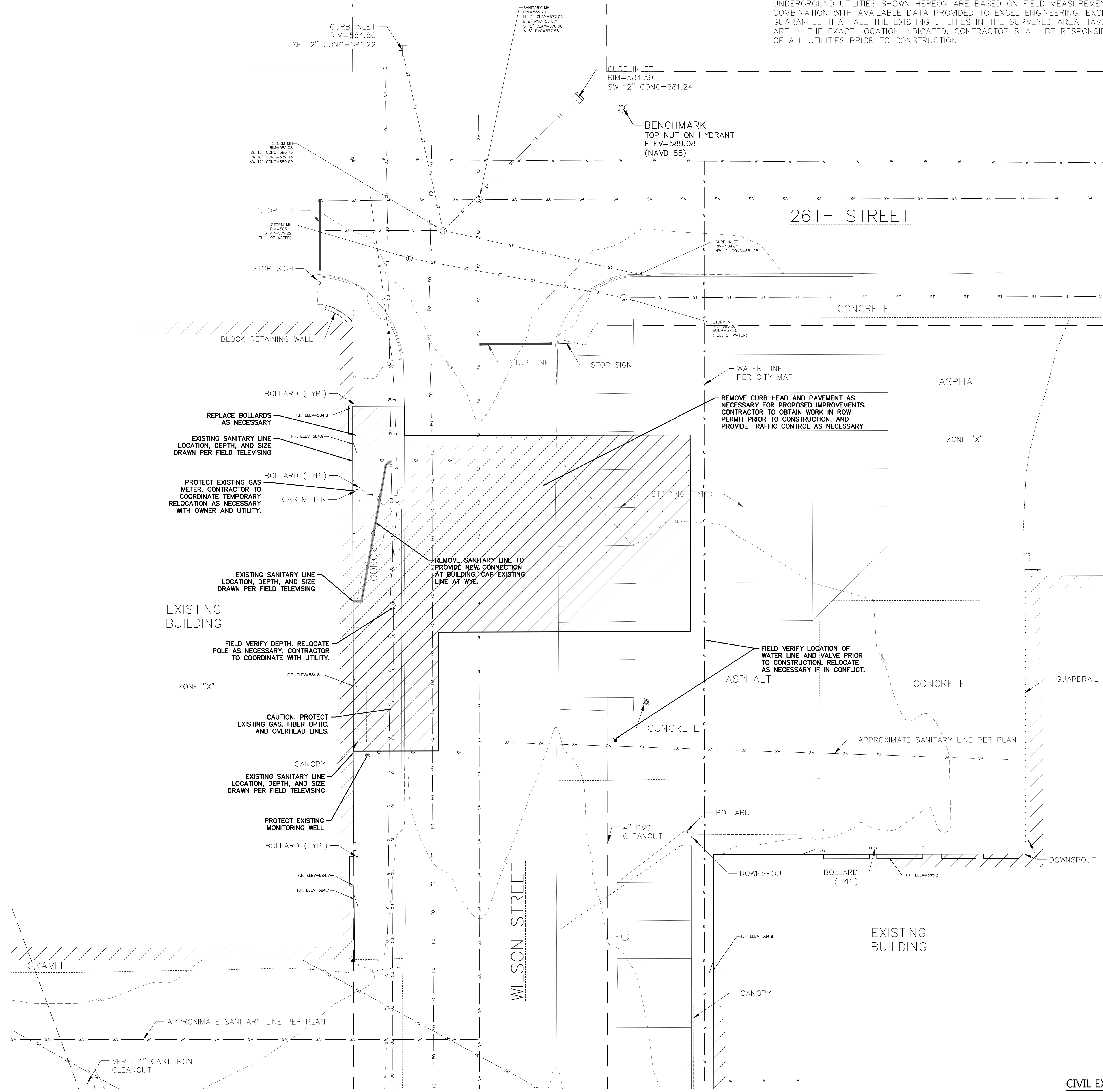
230276100

**SHEET NUMBER**

**C1.0**

NOTE: PROPERTY LINES AND EASEMENTS SHOWN ON THIS PLAN WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE REPORT LTI NO. 21348, BY BAY TITLE & ABSTRACT, INC., DATED DECEMBER 10, 2019. AN UPDATED PLAT OF SURVEY OR ALTA SURVEY HAS NOT BEEN AUTHORIZED AND THE PROPERTY LINES SHOWN ON THIS PLAN MAY BE INCOMPLETE OR IN ERROR.

NOTE: SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS PER TICKET NO. 20234907215, NO. 20234907220, NO. 20234907224, AND NO. 20234907445 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



CIVIL EXISTING SITE AND DEMOLITION PLAN

**SPECIFICATION NOTE:**  
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



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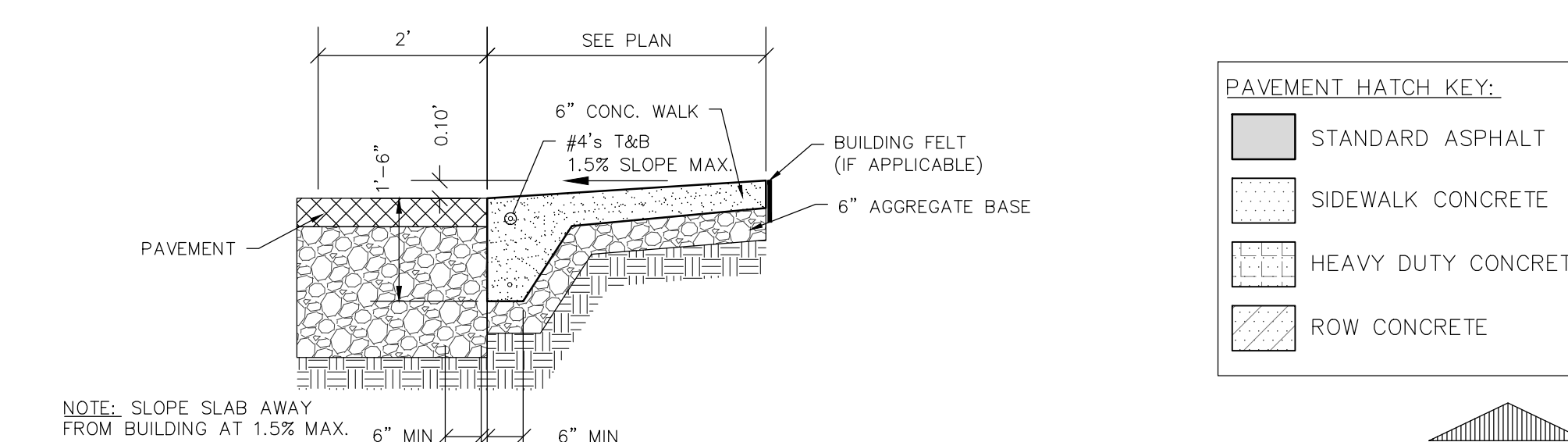
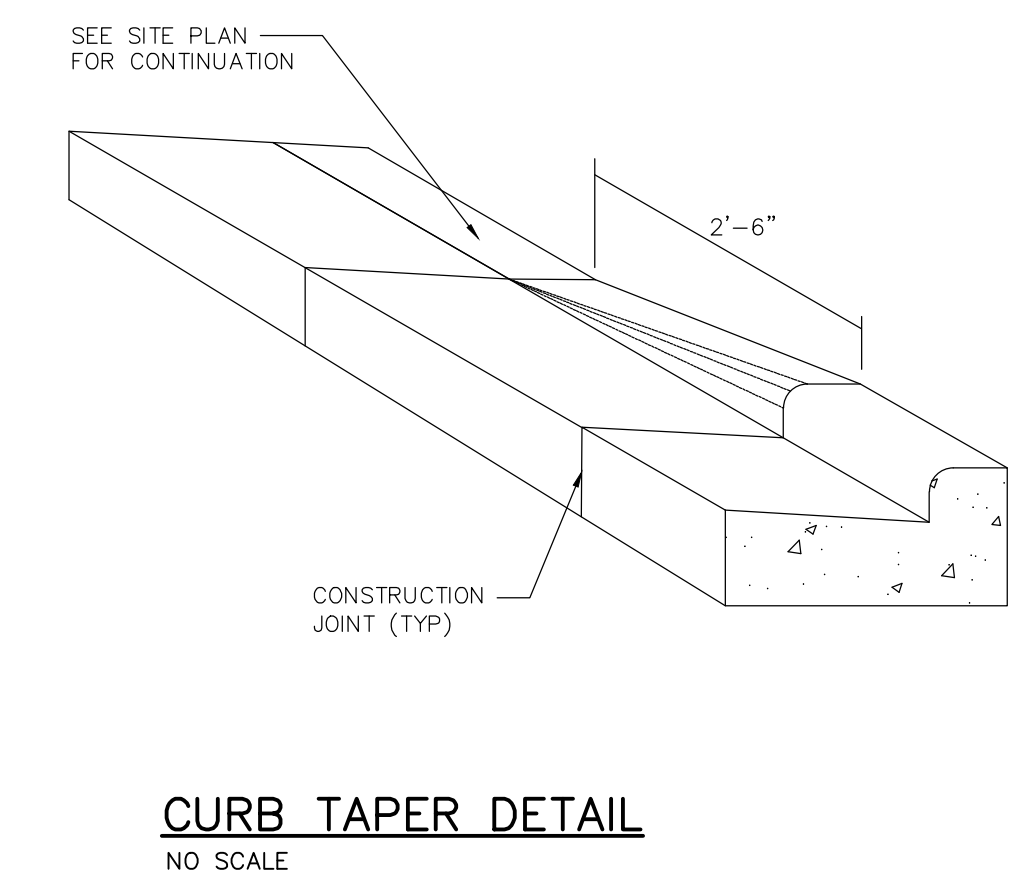
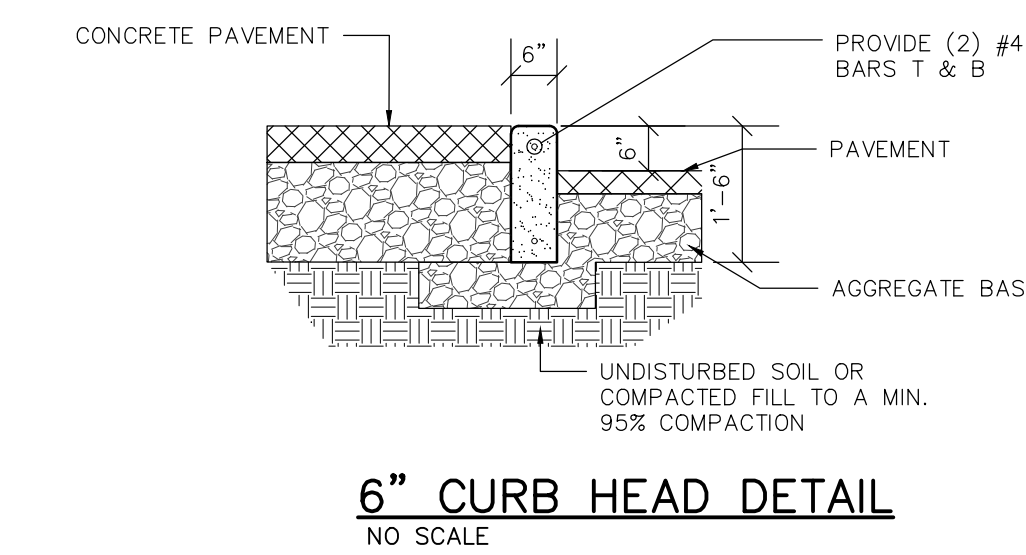
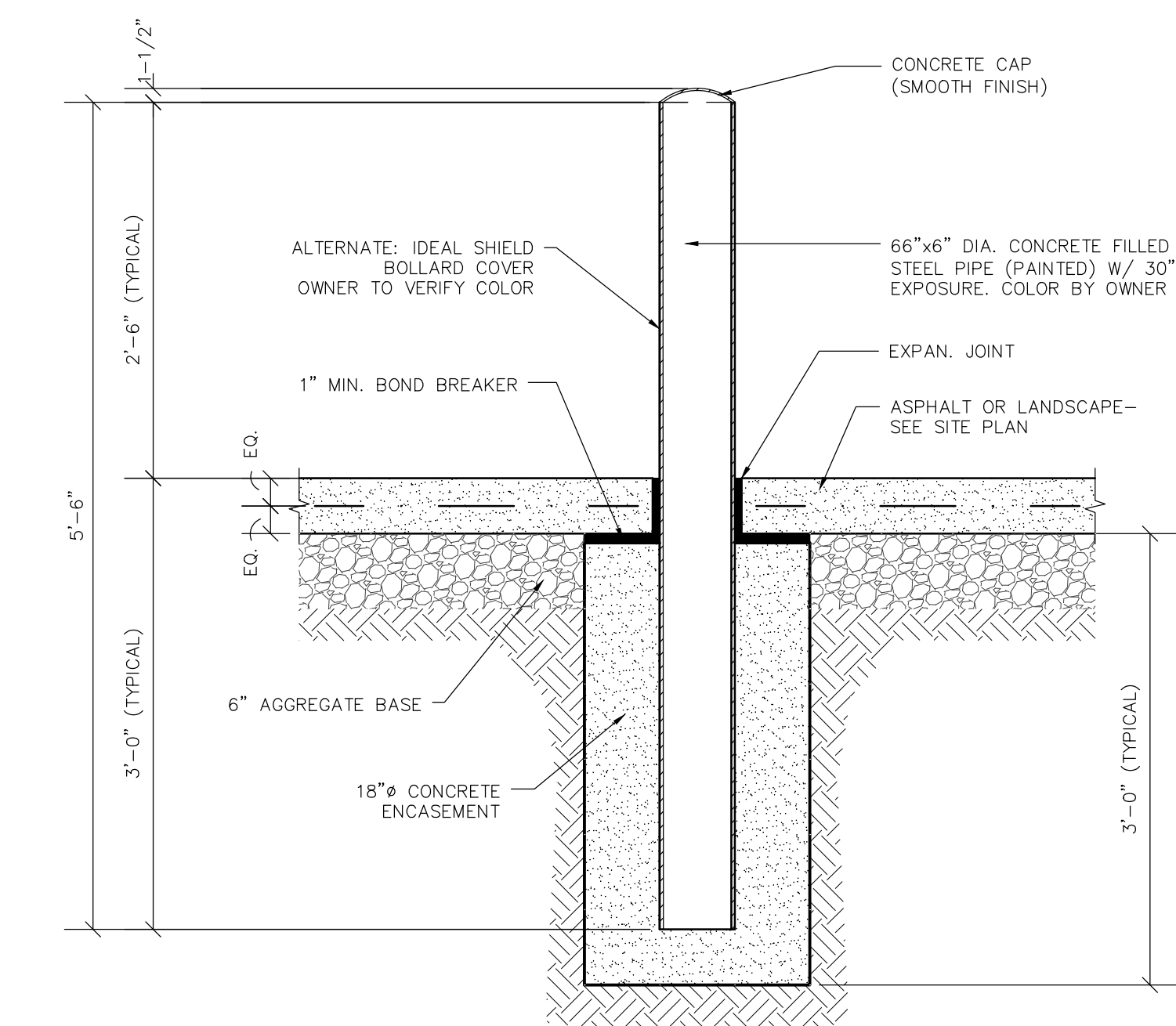
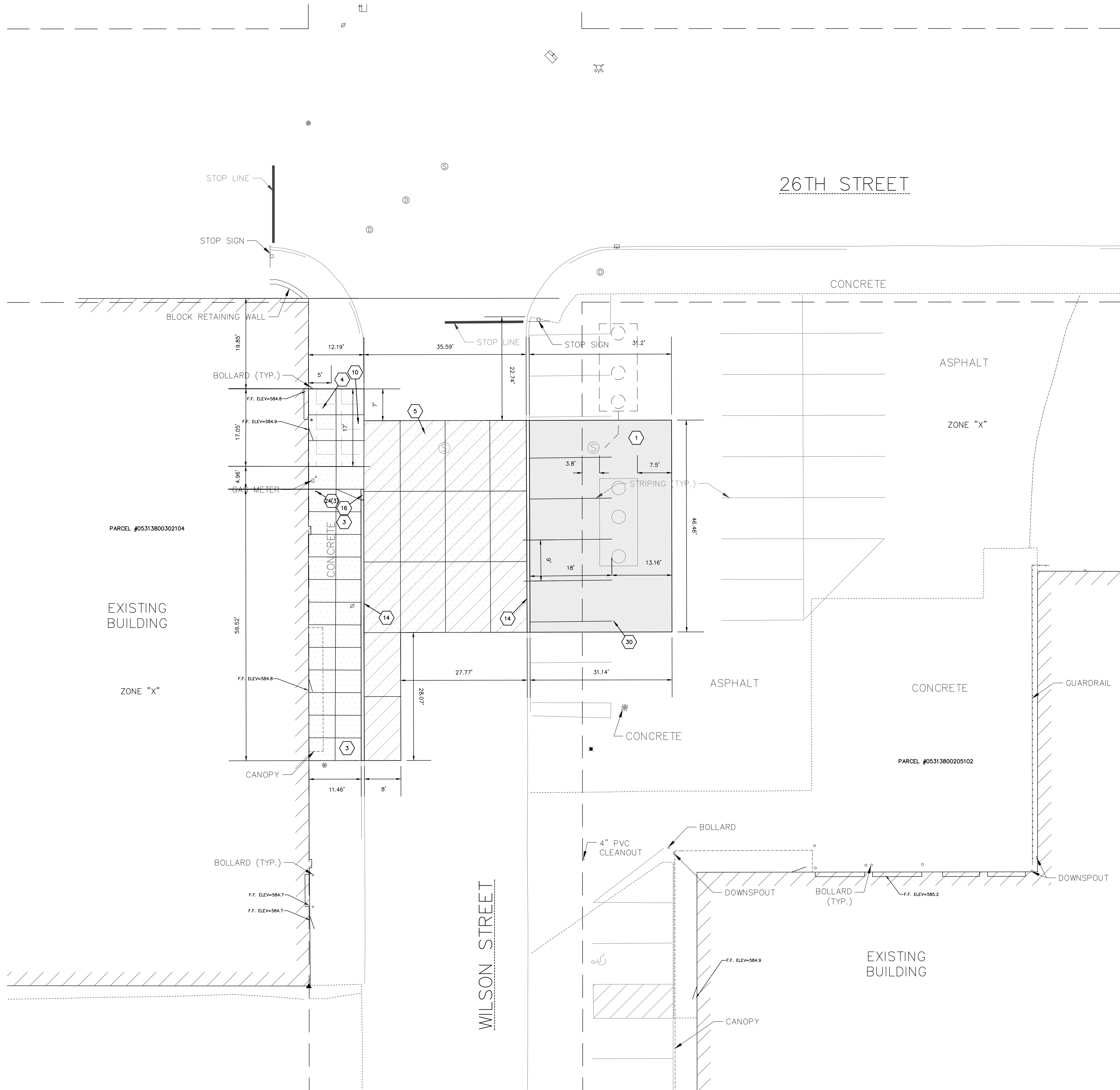
**SITE INFORMATION:**

PARCEL #05313800302104 AREA: 22,500 S.F. (0.52 ACRES)  
PARCEL #05313800205102 AREA: 90,000 S.F. (2.07 ACRES)  
EXISTING ZONING: I-2 INDUSTRIAL  
PROPOSED ZONING: I-2 INDUSTRIAL  
PROPOSED USE: LAKESIDE FOODS RIVERSIDE FACILITY (SAME AS EXISTING)  
AREA OF SITE DISTURBANCE: 4,352 S.F. (0.10 ACRES)

**PROJECT INFORMATION**

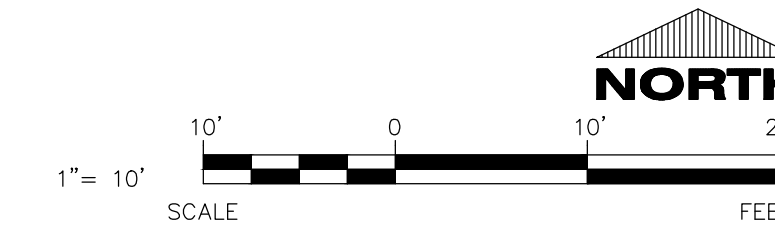
**SITE PLAN KEYNOTES**

- 1 STANDARD ASPHALT SECTION (TYP.)
- 3 CONCRETE SIDEWALK (TYP.)
- 4 HEAVY DUTY CONCRETE (TYP.)
- 5 ROW CONCRETE (MATCH EXISTING CROSS-SECTION AND VERIFY WITH CITY) JOINT TO MATCH EXISTING CONCRETE
- 10 FLUSH DRIVE (TYP.)
- 14 6" CURB HEAD (TYP.)
- 16 CURB TAPER (TYP.)
- 24 6" CONCRETE BOLLARDS
- 30 PAINT STRIPING TO MATCH EXISTING (TYP). COLOR TO MATCH PARKING STALL STRIPING.
- X(X) IDENTIFICATION: KEYNOTE ITEM(QUANTITY) - IF NO ( ) = QUANTITY IS 1



**PAVEMENT HATCH KEY:**

[Hatch Pattern]	STANDARD ASPHALT
[Hatch Pattern]	SIDEWALK CONCRETE
[Hatch Pattern]	HEAVY DUTY CONCRETE
[Hatch Pattern]	ROW CONCRETE



PROPOSED GREASE INTERCEPTOR DESIGN FOR:  
**LAKESIDE FOODS, RIVERSIDE**  
2520 WILSON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

**PRELIMINARY DATES**  
DEC. 22, 2023  
JAN. 23, 2024

**NOT FOR CONSTRUCTION**

**JOB NUMBER**  
230276100

**SHEET NUMBER**  
**C1.1**

**SPECIFICATION NOTE:**  
 SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

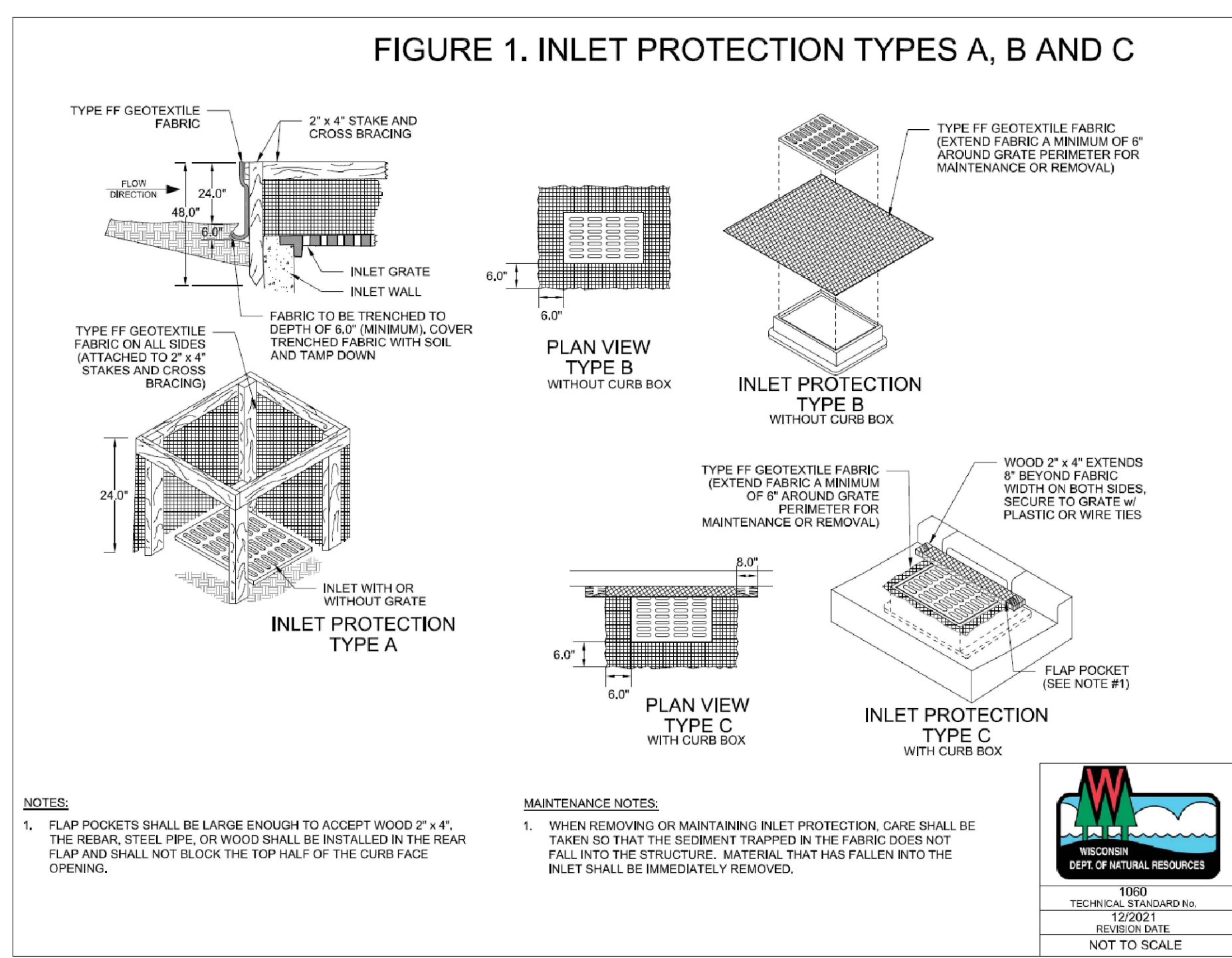
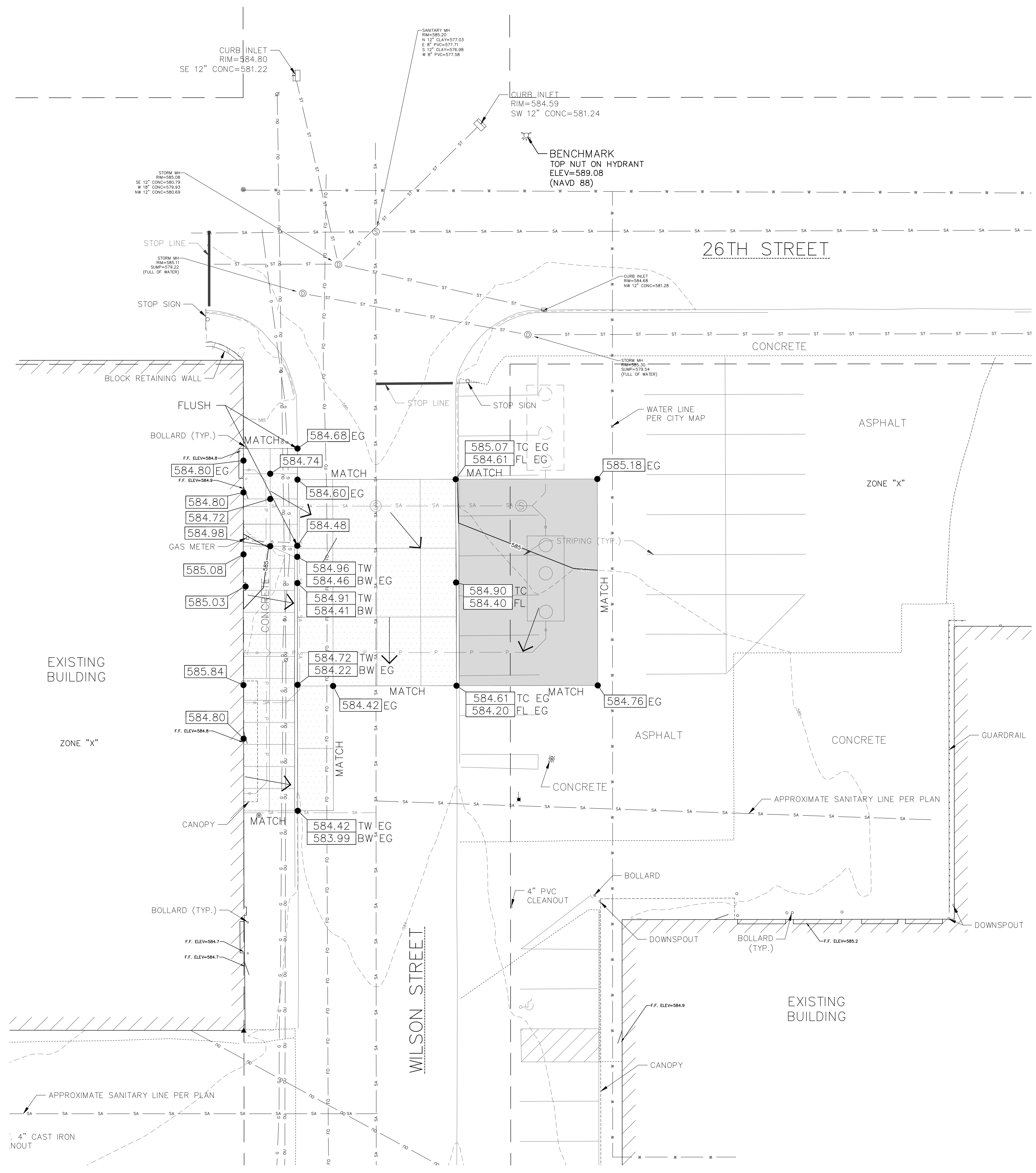
**NOTES:**  
 1. HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)  
 2. ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

**INLET PROTECTION NOTE:**  
 IP CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

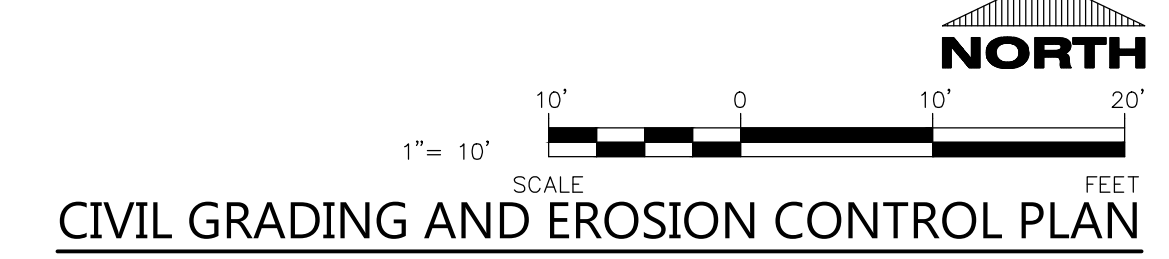
**CONCRETE WASHOUT NOTE:**  
 CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

**PROJECT INFORMATION**

PROPOSED GREASE INTERCEPTOR DESIGN FOR:  
**LAKESIDE FOODS, RIVERSIDE**  
 2520 WILSON STREET • TWO RIVERS, WI 54241



**INLET PROTECTION DETAIL**  
 NO SCALE



PROFESSIONAL SEAL

**PRELIMINARY DATES**  
 DEC. 22, 2023  
 JAN. 23, 2024

**NOT FOR CONSTRUCTION**

**JOB NUMBER**  
 230276100

**SHEET NUMBER**  
**C1.2**



**SPECIFICATION NOTE:**  
SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

**CLEANOUT NOTE:**  
[Symbol] = DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS, SEE CO.1 FOR SPECIFICATION.

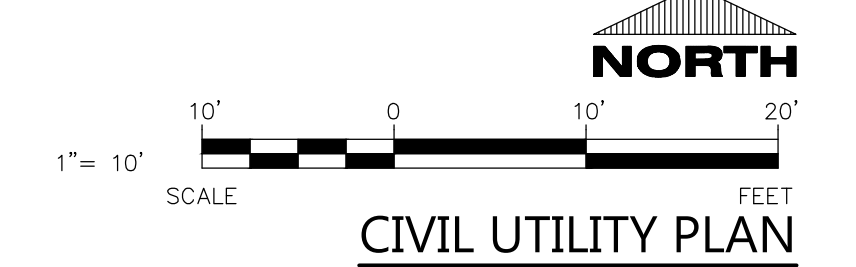
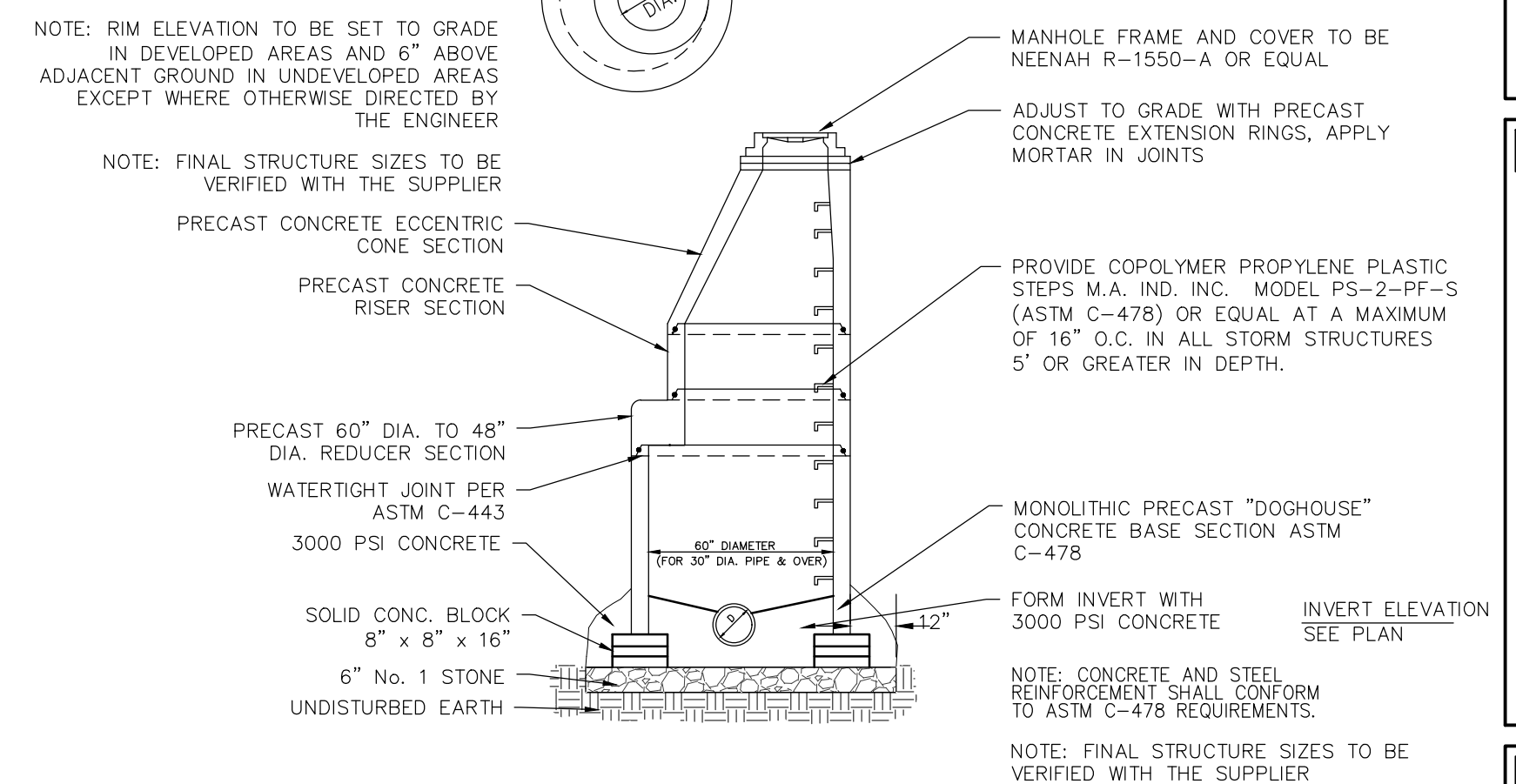
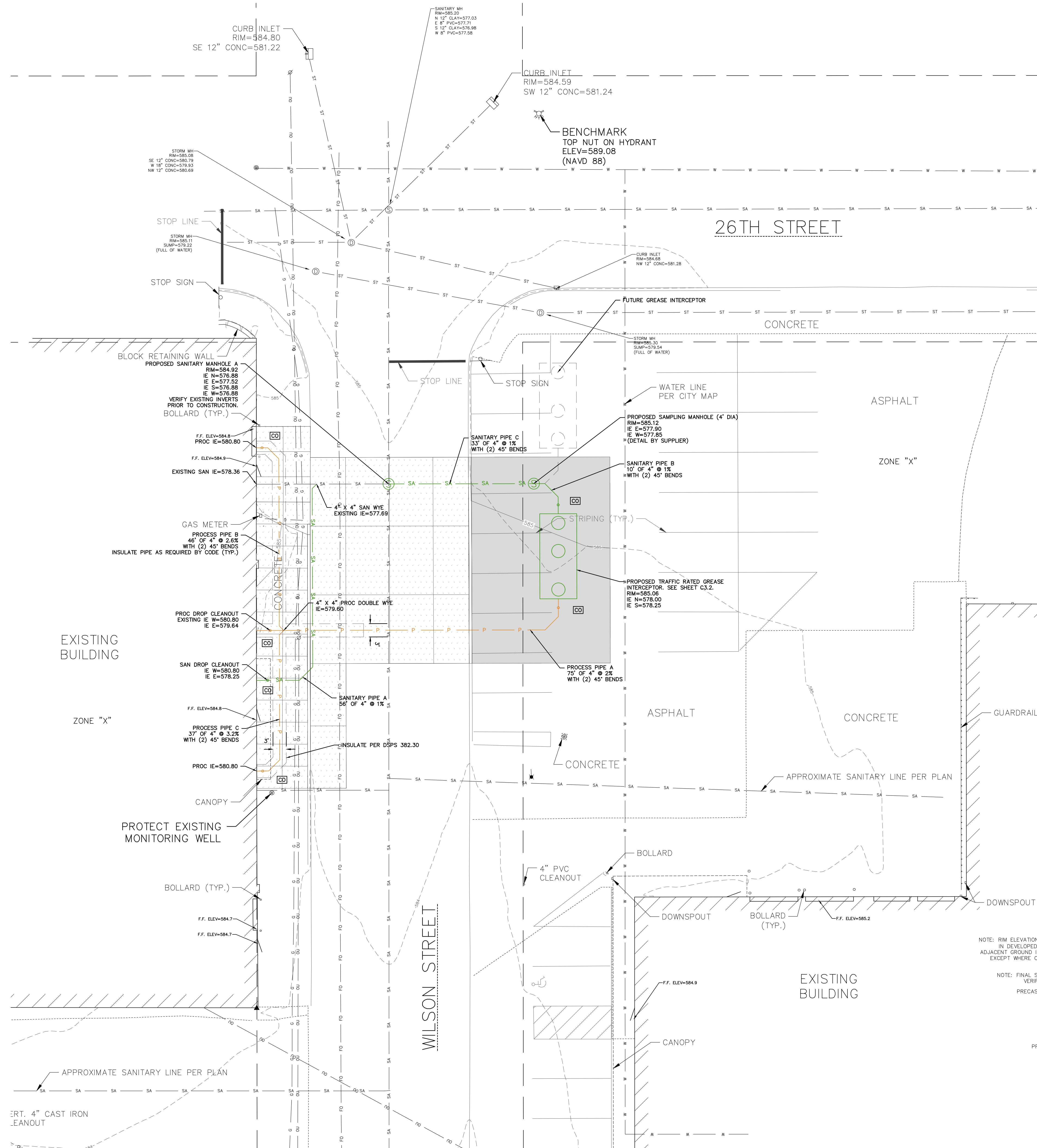
**EXISTING CONDITIONS NOTE:**  
FIELD VERIFY EXISTING INVERT ELEVATIONS AND COORDINATE INVERTS WITH PLUMBING CONTRACTOR PRIOR TO INSTALLATION.



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Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

**PROJECT INFORMATION**

PROPOSED GREASE INTERCEPTOR DESIGN FOR:  
**LAKESIDE FOODS, RIVERSIDE**  
2520 WILSON STREET • TWO RIVERS, WI 54241



PROFESSIONAL SEAL

**PRELIMINARY DATES**  
DEC. 22, 2023  
JAN. 12, 2024  
JAN. 23, 2024

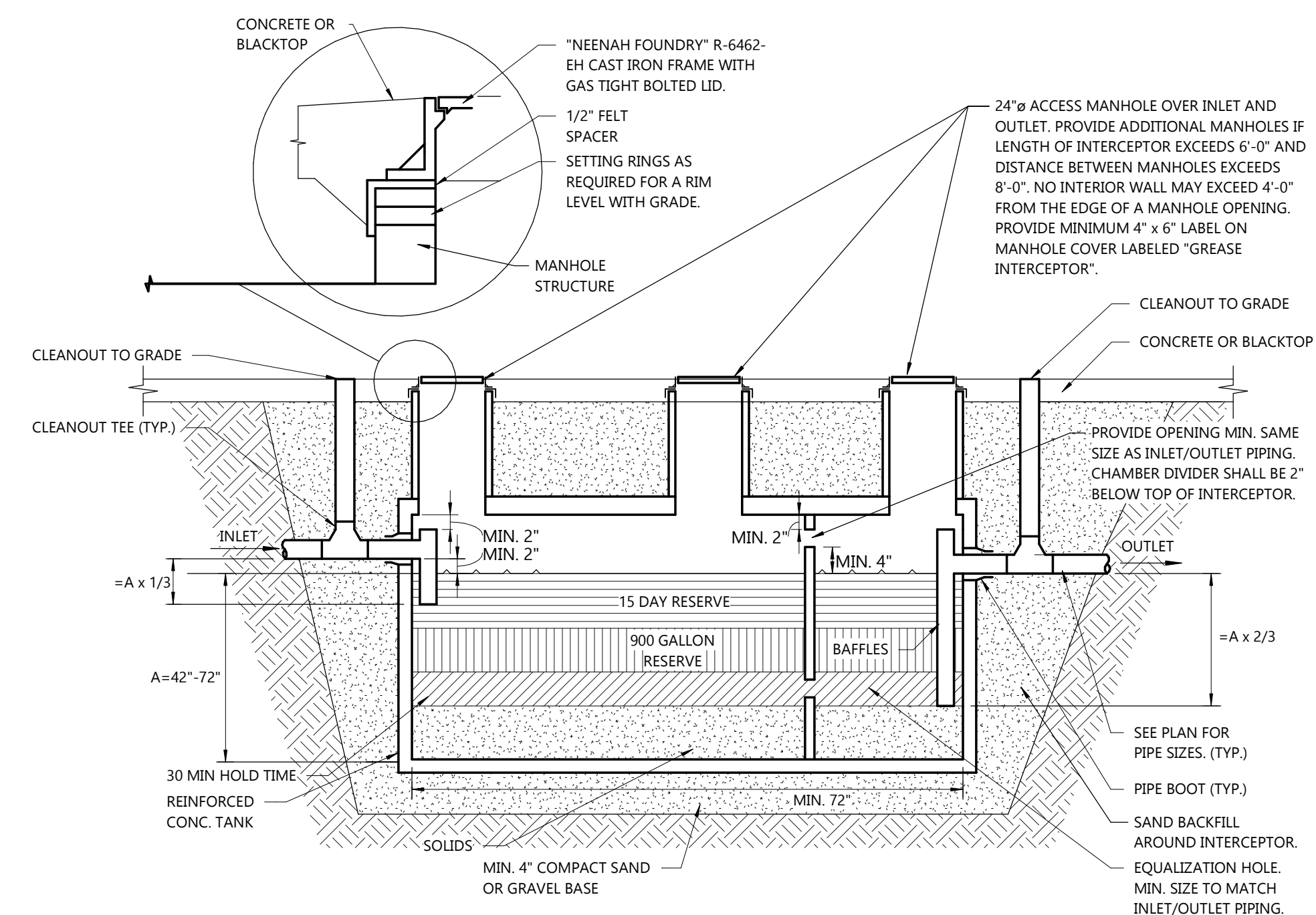
**JOB NUMBER**  
230276100

**SHEET NUMBER**  
**C1.3**

**NOT FOR CONSTRUCTION**

**PROJECT INFORMATION**

PROPOSED GREASE INTERCEPTOR DESIGN FOR:  
**LAKESIDE FOODS, RIVERSIDE**  
 2520 WILSON STREET • TWO RIVERS, WI 54241



**1 EXTERIOR GREASE INTERCEPTOR DETAIL**  
 C3.2 NOT TO SCALE

**EXTERIOR GREASE INTERCEPTOR SCHEDULE (GI)**

NO.	MAT'L	LENGTH (INCHES)	WIDTH (INCHES)	HEIGHT (INCHES)	LIQUID LEVEL (INCHES)	CAPACITY (GAL.)	INLET & OUTLET SIZE	MANHOLES	NUMBER CHAMBERS	APPROX. COVER TO GRADE	DEPTH WATER TABLE	MODEL	REMARKS
1	PRECAST	230	100	95	73	6000	4	3	DUAL	578.8'	-	6000	CREST (1)(2)(4)(5)

- ACCEPTABLE MANUFACTURERS: CREST, OLDCASTLE, WEISER OR EQUAL.  
 - UNLESS NOTED OTHERWISE STRUCTURE AND ACCESSWAY SHALL BE H-20 RATED.
- SEE EXTERIOR GREASE INTERCEPTOR DETAIL FOR ADDITIONAL INFORMATION.
  - PROVIDE "SHERWIN-WILLIAMS" MAGNALOX 7550 FF VINYL ESTER COATING ON INTERIOR OF TANK.
  - PROVIDE 4" VENT BETWEEN THE WATER LEVEL AND TOP OF INTERCEPTOR.
  - INSTALL INTERCEPTOR PER MANUFACTURER'S SPECIFICATIONS TO ALLOW VEHICLE TRAFFIC OVER STRUCTURE ONCE INSTALLED.

**GREASE INTERCEPTOR CALCULATIONS**

FIXTURE	NUMBER OF	COMPARTMENT			VOLUME (CU. FT.)	VOLUME (GALLONS)	VOLUME (GPM)
		LENGTH (INCHES)	WIDTH (INCH)	DEPTH (INCHES)			
HOSE STATIONS	7	-	-	-	-	49	49
TOTAL (MINIMUM FLOW RATE)							49
MINIMUM GREASE HOLDING CAPACITY							98

PROFESSIONAL SEAL

**PRELIMINARY DATES**  
 DEC. 22, 2023

NOT FOR CONSTRUCTION

**JOB NUMBER**  
 230276100

**SHEET NUMBER**  
**C3.2**



**PLAN COMMISSION**

**Action:** Review and possible action regarding Section 10-1-15, Height and Area Exceptions, related to the placement of new garages.

**Date:** March 11, 2024

**Background**

The city has been approached by residents interested in adding a new garage onto their property. However, in some recent requests, the current ordinance, Section 10-1-15, Height and Area Exceptions, does not permit garage placement on the street side yard.

In summary, the ordinance permits garages to be located:

- In rear yards; and
- In interior side yards.

A garage location in a street side yard, where there is access to existing infrastructure is an addition to the ordinance to be considered. The same calculations in terms of garage size, and setbacks from the right of way, other properties, would apply in this street side yard location as they do in the other permitted scenarios.

The next page shows an example of a street side yard location.



# Manitowoc County Parcel Viewer



## Sec. 10-1-15. - Height and area exceptions.

The regulations contained herein relating to the height of buildings and the size of yards and other open spaces shall be subject to the following exceptions:

- A. *Public and quasi-public buildings.* Churches, schools, hospitals, medical clinics, sanatoriums and other public and quasi-public buildings may be erected to a height not exceeding 60 feet or five stories, provided the front, side and rear yards required in the district in which such building is to be located are each increased at least one foot for each foot of additional building height above the height limit otherwise established for the district in which such building is to be located.
- B. *Extraordinary structures.* Chimneys, cooling towers, elevator bulkheads, fire towers, monuments, parapet walls not exceeding two feet in height, penthouses, stacks, scenery lofts, tanks, water towers, ornamental towers, spires, wireless television or broadcasting towers, masts or aerials, telephone, telegraph and power poles and lines, microwave radio relay structures and necessary mechanical appurtenances are hereby excepted from the height regulations of this chapter and may be erected in accordance with other regulations or ordinances of the city.
- C. *Residences.* Residences in the residence districts may be increased in height by not more than ten feet when all yards and other required open spaces are increased by one foot for each foot which such building exceeds the height limit of the district in which it is located.
- D. *Through lots.* Buildings on through lots and extending from street to street may waive the requirements for a rear yard by furnishing an equivalent open space on the same lot in lieu of the required rear yard, provided that the setback requirements on both streets be complied with.
- E. *Nonconforming lots.* Where a lot has an area less than the minimum number of square feet per family required for the district in which it is located and was of record on September 8, 1953, such lot may be occupied by one family.
- F. *Accessory buildings and structures.*
  - (1) *Time of construction.* No accessory building or structure shall be constructed on any lot prior to the time of construction of the principal building to which it is accessory unless expressly permitted by the board of appeals.
  - (2) *Height.* In all residential districts the maximum height of any detached accessory building shall not exceed the height of the principal building but in no case be higher than 20 feet unless expressly permitted by the board of appeals.
- G. *Yards to be open upward.*
  - (1)

Except where otherwise specified in this chapter, every part of a required yard shall be open to the sky unobstructed.

- (2) *Location of required open space.* All yards, courts, usable open spaces and other open spaces allocated to a building or dwelling group shall be located on the same zoning lot as such building or dwelling group.
- (3) *Required yards for existing buildings.* No yards now or hereafter provided for a building existing on the effective date of this chapter shall subsequently be reduced below, or further reduced if already less than, the minimum required by this chapter for equivalent new construction.
- (4) *Permitted obstructions in required yards.* The following shall be considered permitted obstructions when located in the required yard specified. Any obstruction not expressly described is prohibited.

(a) In all yards:

- [1] Arbors and trellises, trees, shrubs and plantings.
- [2] Awnings.
- [3] Chimneys, flues, belt courses, leaders, sills, pilasters, lintels, ornamental features, antenna masts or towers, cornices, eaves, gutters and the like, projecting not more than 24 inches.
- [4] Fences, walls and hedges, subject to the provisions of this chapter.
- [5] Flagpoles and garden ornaments.
- [6] Open terraces not over three feet above the average level of the adjoining ground, but not including a permanent roofed-over terrace or porch unless otherwise specifically permitted.
- [7] Recreational accessory uses.
- [8] Steps not over three feet above the ground level which are necessary for access to a permitted building or for access to a zoning lot from a street or alley.
- [9] Walks and driveways.

(b) In front yards and street side yards:

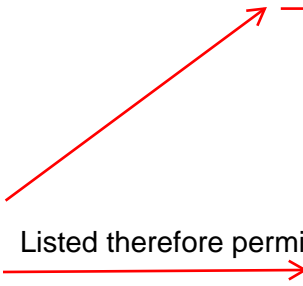
- [1] Open fire escapes, open porches, decks, patios or terraces, including those with roofs but not walls, extending not more than six feet into a required front yard or street side yard, provided that these projections do not encroach in any vision clearance triangle.
- [2] Overhanging eaves and gutters projecting three feet or less into the yard.
- [3] Open off-street vehicle parking spaces when approved by the plan commission in business, industrial, institutional and multifamily residence districts.

- [4] Open off-street vehicle parking on a paved or graveled driveway, provided no vehicle may be parked within five feet of a front property line or within three feet of a side lot line. The maximum width of driveways on private property shall not exceed 35 percent of the lot width or 35 feet, whichever is less. However, any lot may have a driveway up to 20 feet in width.
- [5] Garages in embankments. Where the mean natural grade of a front or street side yard is more than eight feet above the curb level, a private garage may be erected within said yard, provided as follows:
  - [a] That such private garage shall be located not less than five feet from the street lot line;
  - [b] That the floor level of such private garage shall be not more than one foot above the curb level; and
  - [c] That at least one-half the height of such private garage shall be below the mean grade of the yard.
- [6] Produce gardening in front yards existing prior to August 1, 2016. Such front yard produce gardens may not be expanded. New front yard produce gardens are prohibited, except as may be authorized by resolution of city council as part of a pilot program that may be put in effect in 2023 and shall expire not later than December 31, 2023. Participation by a property in said pilot program shall not create any vested right to continue such new gardens beyond December 31, 2023.
- [7] Produce gardening is permitted in street side yards. Such gardens shall not encroach into the minimum required street side yard.

(c) In rear yards:

- [1] Open fire escapes, open porches, decks, patios or terraces, including those with roofs but not walls, projecting six feet or less into the required rear yard.
- [2] Overhanging eaves, bay windows and gutters projecting three feet or less into the required rear yard.
- [3] Detached accessory buildings and structures such as storage buildings, garages, swimming pools, heating and air-conditioning equipment, wind and solar energy conversion equipment antenna structures, including those mounted on towers or masts or those employing parabolic or similar reflectors, provided such buildings, structures or equipment:
  - [a] In the aggregate shall not occupy more than 30 percent of any required rear yard nor more than 50 percent of non-required rear yard areas.
  - [b]

Listed therefore permitted



Shall be located no closer than three feet from any part of any other building, structure or property line, except swimming pools as described in subsection H.

[c] Shall comply with all applicable municipal and state code provisions.

[d] Driveways not exceeding 35 percent of the lot width or 35 feet, whichever is less.

[4] Storage canopies complying with the following:

[a] Storage canopies erected prior to June 7, 2021.

[i] Shall not exceed 240 square feet in area.

[ii] Shall not exceed 14 feet in height.

[iii] Shall have a frame made of metal, plastic, or combination thereof, having a roof but not walls and not attached to any structure, building, fence or anything permanently located on the ground. Corrugated metal or corrugated fiberglass roofing materials are not permitted.

[iv] Shall be limited to one storage canopy per parcel.

[v] Shall be located no closer than three feet from any property line.

[vi] Shall not be located on a vacant parcel.

[b] Storage canopies erected or altered on or after June 7, 2021, and prior to January 1, 2023.

[i] Shall not exceed 240 square feet in area.

[ii] Shall not exceed 14 feet in height.

[iii] Shall have a frame made of metal, plastic, or combination thereof, having a roof, with or without walls, and not attached to any structure, building, fence or anything permanently located on the ground. Metal, fiberglass, plastic, composite or any other rigid roof or wall materials are not permitted.

[iv] Shall be limited to one storage canopy per parcel.

[v] In aggregate, all accessory structures, including canopies, on the premises shall not occupy more than 30 percent of any required rear yard nor more than 50 percent of non-required rear yard.

[vi] Shall be located no closer than three feet from any property line.

[vii] Shall not be located on a vacant parcel.

[viii] Shall not be located on a parcel with a garage.

[ix] Shall be removed upon construction of a garage.

[x] Shall be removed prior to a change in ownership or tenancy.



[xi] Garbage and refuse shall not be stored in the canopy.

[xii] Shall be maintained in a reasonable state of repair.

[xiii] Shall require a permit prior to installation in accord with the fee schedule in section 1-2-1.

[xiv] Violation of any of the above listed provisions shall result in removal of the canopy.

[5] Open off-street vehicle parking spaces when approved by the plan commission in business, industrial, institutional and multifamily residence districts.

[6] Open off-street vehicle storage in single- and two-family residence districts shall be in accord with section 9-6-4.E.

[7] Laundry drying equipment.

[8] Outdoor kennels or exercise runs for household pets.

[9] Produce gardening.

(d) In interior side yards:

Listed as permitted

[1] Open fire escapes, open porches, decks, patios or terraces, including those with roofs but not walls, projecting three feet or less into the required side yard but in no case closer than six feet from a property line.

[2] Detached accessory buildings and structures such as storage buildings, garages, swimming pools, heating-air conditioning equipment, wind and solar energy conversion equipment, antenna structures, including those mounted on towers or masts or those employing parabolic or similar reflectors, provided that such buildings, structures or equipment:

[a] In the aggregate, shall not occupy more than 30 percent of any required interior side yard nor more than 50 percent of non-required rear yard areas.

[b] Shall be located no closer than three feet from any part of any other building, structure or property line, except swimming pools as described in subsection H.

[c] Shall comply with all applicable municipal and state code provisions.

[d] Driveways not exceeding 35 percent of the lot width or 35 feet, whichever is less.

[3] Storage canopies complying with the following:

[a] Storage canopies erected prior to June 7, 2021.

[i] Shall not exceed 240 square feet in area.

[ii] Shall not exceed 14 feet in height.

- [iii] Shall have a frame made of metal, plastic, or combination thereof, having a roof but not walls and not attached to any structure, building, fence or anything permanently located on the ground. Corrugated metal or corrugated fiberglass roofing materials are not permitted.
  - [iv] Shall be limited to one storage canopy per parcel.
  - [v] Shall be located no closer than three feet from any property line.
  - [vi] Shall not be located on a vacant parcel.
- [b] Storage canopies erected or altered on or after June 7, 2021, and prior to January 1, 2023.
- [i] Shall not exceed 240 square feet in area.
  - [ii] Shall not exceed 14 feet in height.
  - [iii] Shall have a frame made of metal, plastic, or combination thereof, having a roof, with or without walls, and not attached to any structure, building, fence or anything permanently located on the ground. Metal, fiberglass, plastic, composite or any other rigid roof or wall materials are not permitted.
  - [iv] Shall be limited to one storage canopy per parcel.
  - [v] In aggregate, all accessory structures, including canopies, on the premises shall not occupy more than 30 percent of any required interior side yard nor more than 50 percent of non-required interior side yard.
  - [vi] Shall be located no closer than three feet from any property line.
  - [vii] Shall not be located on a vacant parcel.
  - [viii] Shall not be located on a parcel with a garage.
  - [ix] Shall be removed upon construction of a garage.
  - [x] Shall be removed prior to a change in ownership or tenancy.
  - [xi] Garbage and refuse shall not be stored in the canopy.
  - [xii] Shall be maintained in a reasonable state of repair.
  - [xiii] Shall require a permit prior to installation in accord with the fee schedule in section 1-2-1.
  - [xiv] Violation of any of the above listed provisions shall result in removal of the canopy.
- [4] Open off-street vehicle parking spaces when approved by the plan commission in business, industrial, institutional and multifamily residence districts.

[5]

Open off-street vehicle storage in single- and two-family residence districts shall be in accord with section 9-6-4.E.

[6] Laundry drying equipment.

[7] Produce gardening with a setback of not less than three feet from a property line.

H. *Swimming pools.*

- (1) A "swimming pool," for the purposes of this section, shall mean a structure or basin, either temporarily or permanently installed upon or within the ground, containing an artificial body of water more than 40 square feet or greater than 24 inches in depth for swimming, diving or recreation that is constructed in such a manner that the pool cannot be disassembled for storage without the use of tools.
- (2) *Location.*
  - (a) Swimming pools constructed or installed in the R-1, R-2, R-3 and R-4 districts shall be located on the same lot and in either the rear or the side yard of a principal building. Swimming pools shall not be constructed in the front yard or in a required street yard in such districts. Swimming pools, either open or enclosed, shall be considered the same as accessory buildings for purposes of calculating the maximum area they may occupy on a lot. Swimming pools may not be located in any type of easement.
  - (b) Swimming pools constructed in the B-1, B-2, B-3 and Waterfront Business districts shall not occupy any portion of a required front, side, or rear yard. However, swimming pools may be located in yard areas other than such required yards. Swimming pools may not be located in any type of easement.
- (3) *Clearances.*
  - (a) Swimming pools shall not be located nearer than six feet from any property line of a building.
  - (b) Swimming pools shall be located in accordance with all federal, state and local codes including the National Electric Safety Code (NESC®) 234(e)1, 351(c)1, 351(c)2, Table 234-3, Figure 234-3, and Public Service Commission of Wisconsin (PSCW) Wisconsin State Electrical Code, § PSC 114.234(8), Wis. Adm. Code. These codes will be strictly enforced to ensure the safety of the general public. The proposed location of a swimming pool on a lot must be approved by the city's electric department prior to obtaining a permit to installing or placing the swimming pool on the property.
- (4) *Protection.*
  - (a) Swimming pools shall be protected so as to prevent unauthorized access by means of a fence, wall or other permanent barrier so designed, constructed and maintained as to completely surround the swimming pool extending to a height of not less than four

feet above actual grade. Such barrier shall prevent the passage of an object with a diameter larger than four inches. All gates provided in such barrier shall be equipped with hardware designed to automatically close and latch said gate.

- (b) No fence shall be required for swimming pools which are at least four feet in height above the ground, but all approaches shall require self-closing and latching gates or doors that are capable of being locked. Ladders must contain a mechanism to lock the ladder in an upright position for pools at least four feet in height or must be removed and stored in the principal or an accessory building when the swimming pool is not in use.
- (c) Protection is not required for "kiddie pools." A "kiddie pool" is defined as a portable pool with a maximum surface area of 40 square feet and 24 inches high.

I. *Screening and vision clearance.*

- (1) *Statement of purpose.* This subsection is established to recognize the public and private benefits accrued from functional and aesthetic screening between areas of incompatible land uses, the increasing demand for active and passive recreational areas, the desirability of providing visual screening of certain parking lots, business and manufacturing areas, and the necessity of providing adequate vehicular vision clearance.
- (2) *Off-street parking.* See section 10-1-13.
- (3) *Screening or fencing erected, placed, maintained or grown shall comply with the following provisions:*
  - (a) Screening in front yards shall not exceed a height greater than four feet above the curb level or its equivalent; provided, however, that, within ten feet from any driveway or alley crossing of a street lot line, any screening shall not exceed two feet in height unless it is at least 90 percent open for through vision.
  - (b) On a corner lot, screening in the street side yard may extend from the side street rear corner of the structure perpendicular to a distance four feet from the side street property line and continue along the side street to the rear property line. The height of any screening shall not exceed six feet; provided, however, that within ten feet from any driveway screening it shall not exceed two feet in height unless it is at least 90 percent open for through vision.
  - (c) Unless otherwise provided, a vision-barrier fence that is within four feet of the lot line shall not exceed six feet in height.
  - (d) Snow fences may be used temporarily, but in no case shall snow fences be left standing longer than six months during any calendar year.
  - (e)

It shall be unlawful for any person to construct or maintain any barbed wire or razor wire fence, except that any such fence above the height of six feet may be permitted for agricultural, industrial or commercial security reasons, with permission from the zoning administrator.

- (f) It shall be unlawful for any person to construct or maintain any aboveground electrical fence.
  - (g) Fences constructed in a manner in which a supporting framework or posts can be construed to represent a back side shall be installed so that the front side/good side faces the adjacent or abutting property.
  - (h) Screening or fencing shall be located in a manner that allows the owner to maintain the screening or fencing from his side of the property line.
- (4) *Vision clearance.*
- (a) On a corner lot in any residence district, no structure, screening, bush, tree branches or embankment shall be erected, placed, maintained or grown between the heights of three feet and ten feet above the curb level or its equivalent within the triangular space formed by two intersecting street right-of-way lines located a minimum of 25 feet from the intersection thereof in order to provide adequate vehicular vision clearance; provided, however, that a fence so designed, constructed and maintained as to be least 90 percent open for through vision may be constructed in such vision clearance area.
  - (b) On a corner lot in any business or industrial district, no structure, screening, bush, tree branches or embankment of any kind shall be erected, placed, maintained or grown between the heights of three feet and ten feet above the curb level or its equivalent within the triangular space formed by two intersecting street right-of-way lines or their projections and a line joining points on such street right-of-way lines located a minimum of ten feet from the intersection thereof in order to provide adequate vehicular vision clearance; provided, however, that a fence so designed, constructed and maintained as to be 90 percent open for through vision may be constructed in such vision clearance area.
- (5) *Exemptions.* The zoning administrator may modify the provisions for the requirement of screening when suitable screening exists on abutting property, or when he/she determines that such modifications for screening shall be in harmony with the general purpose and intent of this subsection. The zoning administrator may also modify the provisions for the requirement of vision clearance when he determines that such modifications shall be consistent with traffic safety and shall be in harmony with the general purpose and intent of this subsection.

(6)

*Existing screening fencing.* Any screening of fencing which exists at the time of the passage of this chapter (October 5, 2009), but does not conform with the provisions thereof, shall not be altered or enlarged without making the entire unit conform with the provisions of this subsection.

J. *Shipping containers and similar conveyances used for storage only in certain zoning districts.*

(1) *Purpose.* This subsection regulates the use of shipping containers and similar conveyances which may be permanently placed outdoors and used for storage purposes only in certain zoning districts in accord with the provisions described herein which are intended to protect the aesthetic qualities of the city.

(2) *Definitions.* As used in this section, the following terms shall have the meanings indicated:

*Shipping container.* A steel box used for intermodal shipping of products and materials between locations. Such containers are designed and constructed to standards established by the International Organization for Standards (ISO) and are typically 10 feet, 20 feet, 30 feet or 40 feet long.

(3) *Containers prohibited with exceptions.* Except as described herein, the following shall not be placed for storage or residential use in any zoning district in the city: shipping containers, semitrailers, truck bodies, mobile offices, storage containers or other similar conveyances either with or without wheels.

(4) *Exception for contractors' use.* In any zoning district, contractors may temporarily use the above-listed conveyances in conjunction with construction activities duly authorized by a permit issued by the city for a construction project, alteration project or demolition project.

(5) *Exception or household or commercial moving purposes.* In any zoning district, contractors may temporarily use the above-listed conveyances in conjunction with construction activities duly authorized by a permit issued by the city for a construction project, alteration project or demolition project.

(6) *Exception for the i-1, i-2 and i-3 industrial districts.* Shipping containers or similar conveyances may be permanently placed outdoors and used for storage in the districts noted above in accord with the following requirements:

(a) The use of this container, including its contents, shall be accessory to the principal building or use of the premises.

(b) A container shall not be permitted on vacant lots.

(c) A container shall be located in the rear yard only and shall be placed on a pad consisting of stone or gravel or concrete or asphalt or a combination of those materials.

(d)

The container location shall comply with setback requirements as if it were an accessory building. Where a residential use is immediately adjacent to the proposed location of a container, the minimum setback may be increased in combination with required screening or fencing as determined by the zoning administrator.

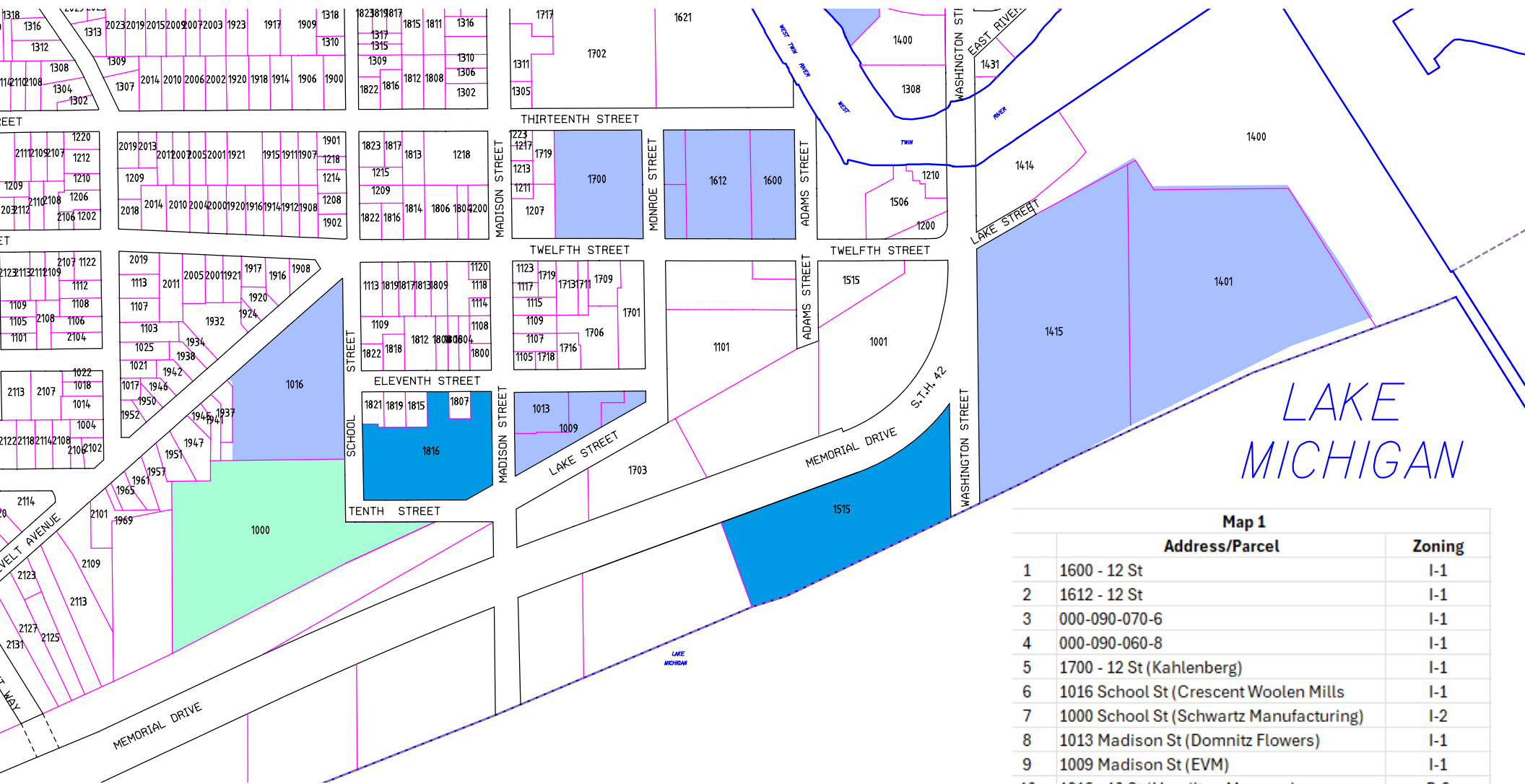
- (e) Additional requirements that may be determined by the zoning administrator include painting to match the color of the principal building, fencing, landscaping, lighting, architectural modifications, maintenance standards and site improvements to manage stormwater drainage.
- (f) The removal of a shipping container or similar conveyance may be ordered by the city due to lack of maintenance or if it becomes a public nuisance. The cost for such removal shall be paid by the property owner. If the property owner is negligent in paying for its removal, the city may charge the removal against the property.
- (g) Prior to replacement of any shipping container or similar conveyance, the zoning administrator shall issue a permit in accord with these requirements including the payment of the applicable permit fee.

(Amended 6-7-2021; Ord. No. 2023-043, § 1, 3-20-2023)

**Editor's note**— Amended at time of adoption of Code.

**State Law reference**— See title 1, general provisions, Ch. 1-1, Art. III.

# Map 1



Map 1		
	Address/Parcel	Zoning
1	1600 - 12 St	I-1
2	1612 - 12 St	I-1
3	000-090-070-6	I-1
4	000-090-060-8	I-1
5	1700 - 12 St (Kahlenberg)	I-1
6	1016 School St (Crescent Woolen Mills)	I-1
7	1000 School St (Schwartz Manufacturing)	I-2
8	1013 Madison St (Domnitz Flowers)	I-1
9	1009 Madison St (EVM)	I-1
10	1816 - 10 St (Hamilton Museum)	B-2
11	1515 Memorial Dr	B-2
12	1415 Lake St	I-1
13	1401 Lake St	I-1



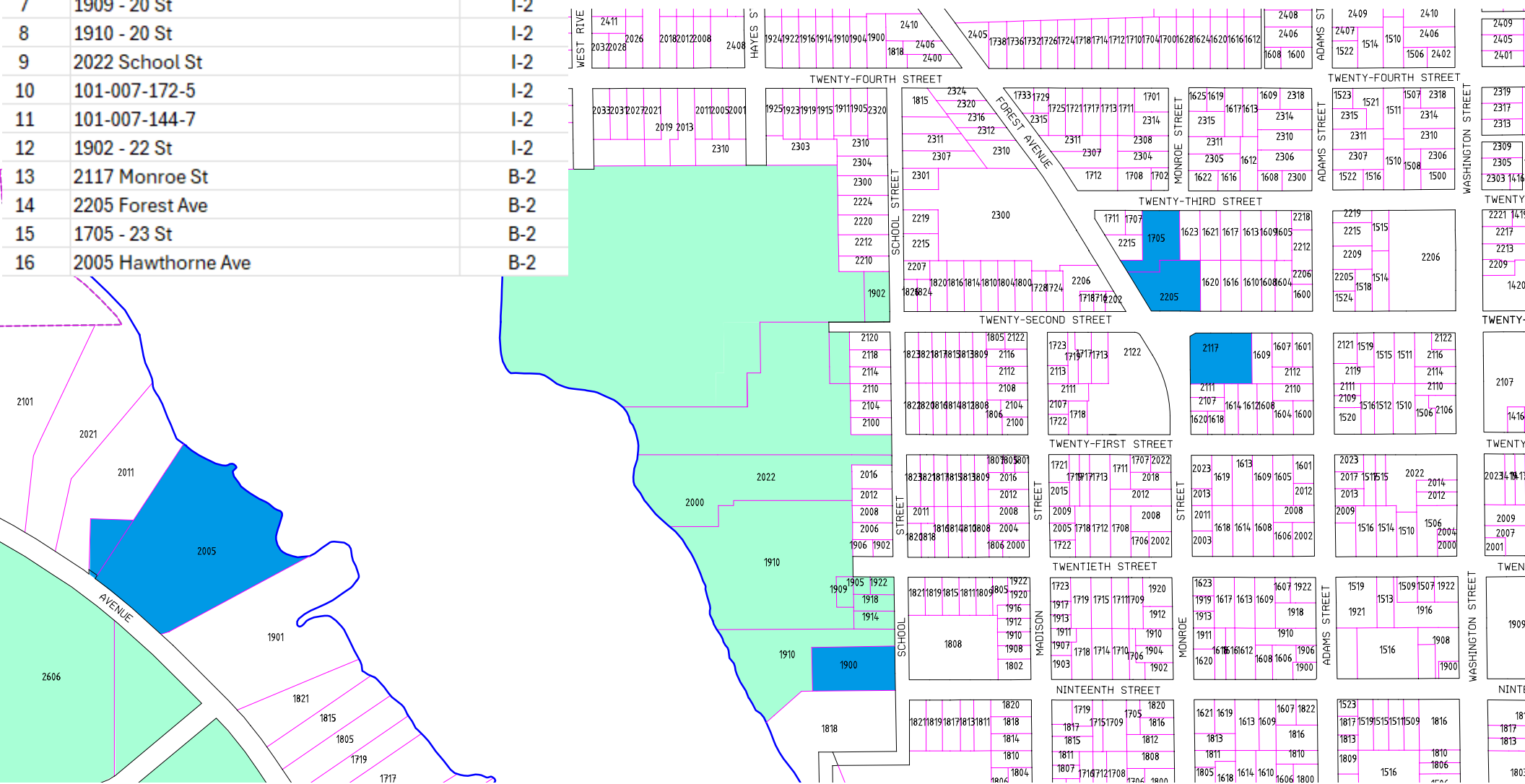
# Map 2

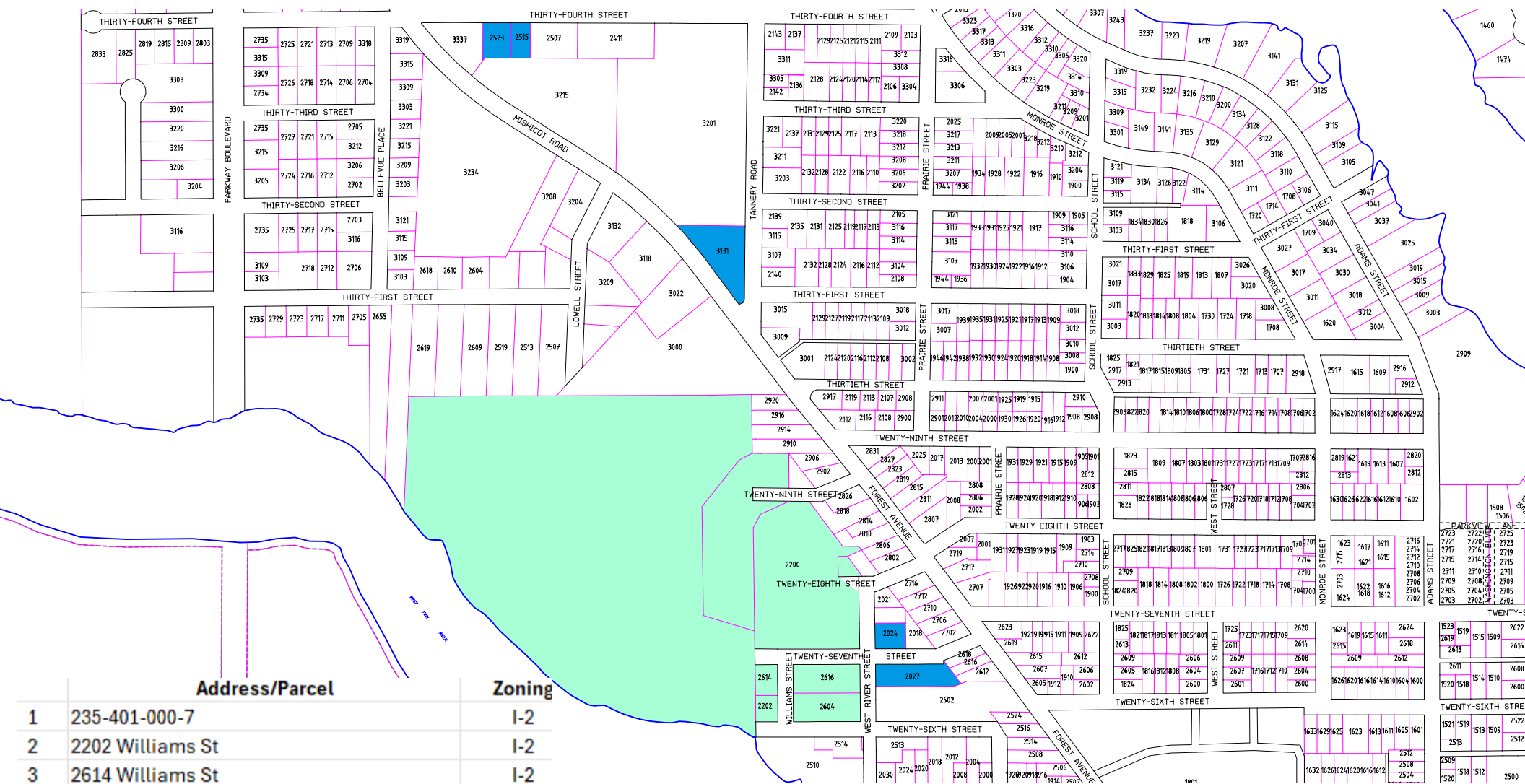


1	000-076-015-3	I-1
2	1706 - 16 St	I-1
3	1608 Monroe St	I-1
4	1612 Monroe St	I-1
5	000-063-021-3	I-1
6	142-000-090-0	I-1
7	1700 Monroe St (Metal Ware)	I-1
8	1623 - 17 St (Carron Net)	I-1
9	1611 - 16 St	B-2
10	1606 - 16 St	B-2
11	000-064-081-8	B-2
12	000-064-070-1	B-2
13	2002 - 14 St	I-2
14	2004/2006 - 14 St	I-2
15	1410 River Pl	I-2
16	1420 River Pl	I-2
17	1426 River Pl	I-2
18	1414 Wentker Ct	I-2
19	1426 Wentker Ct	I-2
20	1429 Wentker Ct	I-2
21	101-006-151-2	I-2
22	101-006-154-9	I-2
23	000-052-030-5 (Jefferson St)	I-1
24	1303 - 19 St	I-1
25	1218 - 20 St	I-1

Map 3

1	1900 School St	B-2
2	1910 School St	I-2
3	1914 School St	I-2
4	1918 School St	I-2
5	1922 School St	I-2
6	1905 - 20 St	I-2
7	1909 - 20 St	I-2
8	1910 - 20 St	I-2
9	2022 School St	I-2
10	101-007-172-5	I-2
11	101-007-144-7	I-2
12	1902 - 22 St	I-2
13	2117 Monroe St	B-2
14	2205 Forest Ave	B-2
15	1705 - 23 St	B-2
16	2005 Hawthorne Ave	B-2





	Address/Parcel	Zoning
1	235-401-000-7	I-2
2	2202 Williams St	I-2
3	2614 Williams St	I-2
4	2604 West River St	I-2
5	2616 West River St	I-2
6	2200 - 27 St	I-2
7	3131 Mishicot Rd	B-2
8	2523 - 34 St	B-2
9	2515 - 34 St	B-2

Address/Parcel	Zoning
1206 - 25 St	I-1
2520 Wilson St	I-1
1215 - 26 St	B-2
2511 Wilson St	I-2
2521 Jackson St	B-2
2200 Polk St	B-2



Map 6



	Address/Parcel	Zoning
1	1110 - 30 St	B-2
2	162-200-013-5	B-2
3	162-001-171-5	B-2
4	3116 Lincoln Ave	B-2
5	3114 Garfield St	B-2
6	3203 Lincoln Ave	B-2
7	3303 Lincoln Ave	B-2
8	807 - 34 St	B-2
9	3312 Lincoln Ave	B-2
10	162-408-200-7	B-2
11	162-408-190-9	B-2
12	162-408-180-1	B-2
13	1010 - 34 St	B-2
14	3501 Lincoln Ave	B-2
15	3515 Lincoln Ave	B-2
16	3601 Lincoln Ave	B-2
17	3615 Lincoln Ave	B-2
18	3612 Lincoln Ave	B-2
19	1006 - 35 St	B-2

### Self Storage Zoning (Downtown & Waterfront)

	Address/Parcel	Zoning
1	000-076-015-3	I-1
2	1600 - 12 St	I-1
3	1612 - 12 St	I-1
4	000-090-070-6	I-1
5	000-090-060-8	I-1
6	1700 - 12 St (Kahlenberg)	I-1
7	1016 School St (Crescent Woolen Mills)	I-1
8	1000 School St (Schwartz Manufacturing)	I-2
9	1013 Madison St (Domnitz Flowers)	I-1
10	1009 Madison St (EVM)	I-1
11	1816 - 10 St (Hamilton Museum)	B-2
12	1515 Memorial Dr	B-2
13	1415 Lake St	I-1
14	1401 Lake St	I-1
15	1706 - 16 St	I-1
16	1608 Monroe St	I-1
17	1612 Monroe St	I-1
18	000-063-021-3	I-1
19	142-000-090-0	I-1
20	1700 Monroe St (Metal Ware)	I-1
21	1623 - 17 St (Carron Net)	I-1
22	1611 - 16 St	B-2
23	1606 - 16 St	B-2
24	000-064-081-8	B-2
25	000-064-070-1	B-2
26	1900 School St	B-2
27	1910 School St	I-2
28	1914 School St	I-2
29	1918 School St	I-2
30	1922 School St	I-2
31	1905 - 20 St	I-2
32	1909 - 20 St	I-2
33	1910 - 20 St	I-2
34	2022 School St	I-2
35	101-007-172-5	I-2
36	101-007-144-7	I-2
37	1902 - 22 St	I-2
38	2117 Monroe St	B-2
39	2205 Forest Ave	B-2
40	1705 - 23 St	B-2
41	235-401-000-7	I-2
42	2202 Williams St	I-2
43	2614 Williams St	I-2
44	2604 West River St	I-2

45	2616 West River St	I-2
46	2200 - 27 St	I-2
47	3131 Mishicot Rd	B-2
48	2523 - 34 St	B-2
49	2515 - 34 St	B-2
50	2005 Hawthorne Ave	B-2
51	2002 - 14 St	I-2
52	2004/2006 - 14 St	I-2
53	1410 River Pl	I-2
54	1420 River Pl	I-2
55	1426 River Pl	I-2
56	1414 Wentker Ct	I-2
57	1426 Wentker Ct	I-2
58	1429 Wentker Ct	I-2
59	101-006-151-2	I-2
60	101-006-154-9	I-2
61	000-052-030-5 (Jefferson St)	I-1
62	1303 - 19 St	I-1
63	1218 - 20 St	I-1
64	1206 - 25 St	I-1
65	2520 Wilson St	I-1
66	1215 - 26 St	B-2
67	2511 Wilson St	I-2
68	2521 Jackson St	B-2
69	2200 Polk St	B-2
70	1110 - 30 St	B-2
71	162-200-013-5	B-2
72	162-001-171-5	B-2
73	3116 Lincoln Ave	B-2
74	3114 Garfield St	B-2
75	3203 Lincoln Ave	B-2
76	3303 Lincoln Ave	B-2
77	807 - 34 St	B-2
78	3312 Lincoln Ave	B-2
79	162-408-200-7	B-2
80	162-408-190-9	B-2
81	162-408-180-1	B-2
82	1010 - 34 St	B-2
83	3501 Lincoln Ave	B-2
84	3515 Lincoln Ave	B-2
85	3601 Lincoln Ave	B-2
86	3615 Lincoln Ave	B-2
87	3612 Lincoln Ave	B-2
88	1006 - 35 St	B-2

## **CHAPTER 6-13. LICENSING OF SHORT-TERM RENTALS**

### **Sec. 6-13-1. Definitions.**

A. The following definitions apply unless specifically modified:

*City clerk.* The city clerk of the City of Two Rivers or their designee.

*License.* The short-term rental license issued after an application for a license is submitted and approved following the process in section 6-13-2.

*Owner.* The person owning a short-term rental property.

*Person* shall include a corporation, firm, partnership, association, organization, limited liability company and any other group acting as a unit as well as individuals, including a personal representative, receiver or other representative appointed according to law. Whenever the word person is used in any section of this code prescribing a penalty or fine, as to partnerships, limited liability companies or associations, the word shall include the partners or members hereof, and as to corporations, shall include the officers, agents or shareholders thereof who are responsible for any violation of such section.

*Property manager.* An individual who is not the property owner and who is authorized to act as the agent of the property owner for the receipt of services, remedy of municipal ordinance violations, and for acceptance of service of process pursuant to this chapter.

*Residential dwelling unit.* Any building, structure, or part of a building or structure with living, cooking, sanitary, and bathroom facilities that is intended to be used as a home, residence or sleeping place by one or more persons related by blood, marriage or adoption or a group of not more than four persons who need not be related. Residential dwelling units include any residential dwelling, tourist rooming house licensed by Manitowoc County, seasonal employee housing and dormitory units.

*Short-term rental.* A residential dwelling unit that is offered for rent for a fee with a rental term of fewer than 30 consecutive days, as defined in Wis. Stats. § 66.0615(1)(dk).

*State.* The State of Wisconsin Department of Health or the Wisconsin Department of Agriculture, Trade and Consumer Protection or their designees.

( Ord. of 6-17-2022(1) , eff. 1-1-2023, § 1)

### **Sec. 6-13-2. Application for a short-term rental license.**

A. No person shall maintain, manage or operate a short-term rental more than ten nights a year without a license issued by the City of Two Rivers pursuant to this section.

B. Applications for a license shall follow the following procedures:

(1) All applications for a license shall be filed with the city clerk on forms provided. Applications must be signed by the property owner and, if applicable, the authorized property manager(s). The property owner's contact information including mailing address, physical address, email address and 24-hour phone number shall be provided. No license shall be issued unless the completed application is accompanied by payment of the required fee.

(2) Upon receipt of each application, the applicant shall undergo a criminal records inspection and background check by the chief of police or their designee and the chief of police shall make and



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complete an investigation of the statements made in such registration, and may refuse to approve the application if:

- (a) There are any material omission or materially inaccurate statements; or
  - (b) Repeated complaints of a material nature have been received against the applicant by authorities in the last cities, villages and towns in which the applicant or the property manager conducted similar business; or
  - (c) The applicant or designated property manager have criminal convictions that are materially related to the services being provided.
  - (d) The applicant failed to comply with any applicable provision of the application process as state herein.
- C. No license may be issued unless the completed application is accompanied by payment of the required fee. Fees shall be as set forth in section 1-2-1.
- D. The city clerk shall issue a license to applicants following payment of the required fee, satisfactory completion of the investigation by the chief of police, and receipt of all completed documentation and information requested in the application. If the city clerk shall determine if the application meets the requirements of this ordinance, the city clerk may approve the application. If the city clerk determines that the application does not meet the requirements of this section, the city clerk may deny the application.
- E. Licenses will only be issued if the applicant provides a copy of a completed Manitowoc County Tourist Rooming House License with a copy of the property inspection report dated within one year of the date of filing the application with the city clerk.

( Ord. of 6-17-2022(1) , eff. 1-1-2023, § 1; Ord. No. 2023-017 , § 7, 1-16-2023)

### **Sec. 6-13-3. Property manager.**

- A. *Property manager.* No person may act as a property manager for a short-term rental without authorization from the property owner and contact information on file in accordance with this section.
- B. *Property manager qualifications.* The property manager, as the authorized agent, shall be accessible 24 hours a day by phone or in person in the event of an emergency at the property the manager is responsible for.
- C. Each property manager shall be authorized by the property owner to act as the agent for the owner to provide or facilitate services to the short-term rental property, in the event of an emergency, for the receipt of notice of ordinance violation(s), accept service of process, and shall be authorized by the owner to allow city employees, officers, and their designees, to enter the owner's property for purposes of inspection and enforcement of this ordinance and/or any other city ordinance.

( Ord. of 6-17-2022(1) , eff. 1-1-2023, § 1)

### **Sec. 6-13-4. License renewal.**

- A. The license shall be effective for one year and may be renewed for additional one-year periods. The annual license term is from January 1 to December 31 of each year. A fully completed renewal application and renewal fee must be filed with the city clerk by December 1 of each year if the short-term rental will be continued. The renewal application shall contain any updated information since the filing of the original application. Licenses shall lapse upon a change in ownership.

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- B. No license shall be renewed if the applicant or property has outstanding fees, taxes or forfeitures owed to the city unless arrangements for payment have been approved by the city clerk. Also, the license shall not be renewed if the applicant or property is under an order issued by the building inspector or zoning administrator to bring the premises into compliance with city ordinances.
  - C. A license may be suspended, revoked, or not renewed following a due process hearing of the city council if the council determines that the licensee: (a) fails to comply with any of the requirements of this section; (b) owner(s) or renter(s) have been convicted of engaging in illegal activity while on the licensed premises on two or more separate occasions within the past 12 months; or (c) has outstanding fees, taxes, or forfeitures owed to the city.

( Ord. of 6-17-2022(1) , eff. 1-1-2023, § 1)

### **Sec. 6-13-5. Standards for short-term rentals.**

- A. Each short-term rental shall comply with all of the following:
  - (1) The noise levels shall comply section 9-2-5.
  - (2) Signage advertising the short-term rental is not permitted. Off-site advertising in media channels relating to the availability of the rental may take place only after the city and county licenses have been obtained.
  - (3) No recreational vehicles (RVs), campers, tents, or other temporary lodging arrangements shall be permitted on any residential dwelling unit site as a means of providing additional accommodations for paying guests or other invitees.
  - (4) Activities at the premises shall not become a public nuisance. All activities conducted shall comply with chapter 9-6.
  - (5) All short-term rentals shall be subject to payment of the City of Two Rivers room tax at the applicable rate. Property owners or property managers holding the license are responsible for complying with all room tax requirements as set forth in chapter 6-11.
  - (6) The provisions of title 9, article 9 of the city's ordinances, regarding sexual offender residency restrictions, including but not limited to sections 9-9-3.A. and 9-9-3.C., shall apply to all short-term rentals and compliance with those provisions is required.
  - (7) Compliance with all applicable state, county, and local codes, laws and regulations is required.
  - (8) All short-term rentals shall display proof of a current inspection by the Manitowoc County Health Department and contact information for the Two Rivers Police Department (non-emergency), fire department, property owner or property manager.
  - (9) Each short-term rental shall maintain a guest register for two years. The register shall contain the full name and current address of any person renting the property, the time of rental, and the monetary amount or consideration paid. A copy of the register shall be available if requested by the city. The required room tax payments shall be filed as required by chapter 6-11.
  - (10) Vehicle parking shall be on a paved or gravel surface in accord with chapter 8-2.
  - (11) Each short-term rental unit shall have a minimum of one, off-street parking space with the exception of the downtown area in accord with section 10-1-14.A.(2)(c) off-street parking and loading requirements.
  - (12) A safe, unobstructed means of egress from the dwelling leading to safe, open space at ground level shall be provided.

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- (13) Shall have functional smoke detectors and carbon monoxide detectors in accordance with the requirements of Chapter SPS 321 of the Wisconsin Administrative Code.
  - (14) Shall not have an accessible wood burning fireplace unless the property owner provides a certificate from a properly licensed inspector, dated no more than 30 days prior to submission of the license application or renewal, certifying that the fireplace and chimney have been inspected and comply with the National Fire Prevention Association Fire Code Chapter 211 Standard for Chimneys, Fireplaces, Vents, and Solid Fuel-Burning Appliances.
  - (15) Shall not have a hibachi, gas-fired grill, charcoal grill, or other similar devices used for cooking or any other purpose on any balcony, deck or under any overhanging structure or within ten feet of any structure.
  - (16) Outdoor cooking and heating devices shall be used in accordance with section 3-1-3.
  - (17) All property owners shall carry casualty and liability insurance issued by an insurance company authorized to do business in this state by the Wisconsin Office of the Commissioner of Insurance, with liability limits of not less than \$300,000.00 per individual occurrence and not less than \$1,000,000.00 in the aggregate.

( Ord. of 6-17-2022(1) , eff. 1-1-2023, § 1)

#### **Sec. 6-13-6. Appeals.**

- A. The denial of any license application or renewal under this section may be appealed by filing a written appeal request with the city clerk within ten days of the city's notice of denial. The appeal shall be heard by the city council. The city council shall consider the application or renewal and recommendations and may approve or deny the application or renewal.
- B. A license may be revoked by the city council for one or more of the following reasons:
  - (1) Failure to make payment on taxes or debt owed to the city.
  - (2) Failure to make payment on any City of Two Rivers room tax.
  - (3) Two or more calls in any 12-month period for police department services that relate to criminal or nuisance activities at the short-term rental, fire department services that relate to criminal or nuisance activities at the short-term rental, building code violations, nuisance activities or other ordinance violations as defined in chapter 9-6.
  - (4) Failure to comply with city building inspection requirements that may occur on an as needed basis.
  - (5) Failure to maintain all required local, county, and state licensing requirements.
  - (6) Failure to comply with any applicable zoning regulations as described in chapter 6-10.
  - (7) Any violation of local, county or state laws that harm or adversely impact the predominantly residential uses and nature of the property or of the surrounding neighborhood.

( Ord. of 6-17-2022(1) , eff. 1-1-2023, § 1)

#### **Sec. 6-13-7. Penalties.**

- A. Any person that violates any provisions of this section shall be subject to license revocation. Appeals shall be handled by the process identified per section 6-13-6.

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B. Any person who violates any provision of this chapter or any other order or regulation issued hereunder shall be subject to a penalty as provided in section 1-1-5 of this Code.

( Ord. of 6-17-2022(1) , eff. 1-1-2023, § 1)