



PLAN COMMISSION MEETING

Monday, September 09, 2024 at 5:30 PM

Council Chambers - City Hall, 3rd Floor
1717 E. Park Street, Two Rivers, WI 54241

AGENDA

1. CALL TO ORDER

2. ROLL CALL

Commission Members: Greg Buckley, Rick Inman, Kay Koach, Kristin Lee, Matt Heckenlaible, Eric Pangburn, Adam Wachowski

3. ACTION ITEMS

- A.** Request to rezone 1509 – 19th Street, Parcel 053-000-050-030-.09, from Business (B-1) to Residential (R-3) submitted by Joan Johnson (applicant and owner).
- B.** Request to rezone 2114 East River Street, Parcel 053-000-027-021.08, from Residential (R-3) to Residential (R-4) submitted by Steve Bacalzo on behalf of Lamplighter Rentals LLC (applicant and owner).
- C.** Review proposed amendment to a previously approved PUD plan located at 1609 – 16th Street, submitted by Brian Laurent, applicant and owner.
- D.** Request for a Conditional Use Permit for a gas station located at 1421 Washington St, in the B-1 Business District, submitted by ACE Building Service (applicant) and Thomas Christensen (owner).
- E.** Review of Site and Architectural Plan for Sauve’s Auto Service addition, located at 1421 Washington St, submitted by ACE Building Service (applicant) and Thomas Christensen (owner).
- F.** Review and recommend modifications to the driveway regulations.

4. ADJOURNMENT

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Two Rivers will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance or reasonable accommodations in participating in this meeting or event due to a disability as defined under the ADA, please call the City Clerk's office at 920-793-5526 or email clerk@two-rivers.org at least 48 hours prior to the scheduled meeting or event to request an accommodation. For additional assistance, individuals with hearing or speech disabilities can call 711 and be connected to a telephone relay system.

It is possible that members of and possibly a quorum of governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no other action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.



LAND DEVELOPMENT APPLICATION

APPLICANT Joan Marie Johnson TELEPHONE (920) 737-7157

MAILING ADDRESS P.O. Box 540, Two Rivers, WI, 54241
(Street) (City) (State) (Zip)

PROPERTY OWNER 1509 19th Street TELEPHONE _____

MAILING ADDRESS Joan M. Johnson Two Rivers, WI, 54241
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 1509 19th Street, Two Rivers, WI 54241 TYPE OF STRUCTURE Single Story Bldg.

PRESENT ZONING Commercial (B1) REQUESTED ZONING Residential (R-3)

PROPOSED LAND USE Duplex

PARCEL # 1955-Built/Parcel#0000-500-309. ACREAGE #6,752-Sq. Foot lot

LEGAL DESCRIPTION ORIG PLAT E 45' OF LOT 3 BLK 50.

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed Joan Marie Johnson (Property Owner) Date 7-31-2024

Fee Required

\$ 350	Comprehensive Plan Amendment
\$ t/b/d	Site/Architectural Plan Approval (Listed in Sec 1-2-1)
\$ t/b/d	CSM Review (\$10 lot/\$30 min)
	Subdivision Plat (fee to be determined)
\$ 350	Zoning District Change
\$ 350	Conditional Use
\$ t/b/d	Annexation Request (State Processing Fees Apply)
\$ 350	Variance/Board of Appeals
\$ t/b/d	Other

Schedule

Application Submittal Date	<u>7-31-2024</u>
Date Fee(s) Paid	<u>7-31-2024</u>
Plan(s) Submittal Date	_____
Plan Comm Appearance	<u>8-12-24</u>

\$ 350 TOTAL FEE PAID

APPLICATION, PLANS & FEE RECEIVED BY A Taylor

RE: Adam



PLAN COMMISSION

Action: Rezoning Request from Business (B-1) to Residential (R-3)
Location: 1509 – 19th Street
Current Zoning: Business B-1
Date: September 9, 2024

The owner of this property is requesting a rezoning of this property from Business (B-1) to Residential (R-3) to allow for residential use. The existing business zone allows for residential use to be only on the 2nd floor.

This property was previously a dental office use. Since closing, the current owner would like to change to a residential primary use.

The building is currently located within the front yard setback. The adjacent properties are also setback closer than the 25’ requirement, however they are setback farther than the building in question (see aerial view).

At the previous Plan Commission meeting, there were concerns regarding the green space requirement. This lot has 2 driveways that extend into the rear yard parking lot. There is a barrier/fence located between this lot and the Post Office lot. The lot currently has not green space, however the City’s ordinance does not have a requirement for green space or impervious areas. The code states regulations on the percentage a building can take up on a lot, which in turn allows for green space. Below is an example for detached structures in rear yards:

(c) In rear yards:

[1] Open fire escapes, open porches, decks, patios or terraces, including those with roofs but not walls, projecting six feet or less into the required rear yard.

[2] Overhanging eaves, bay windows and gutters projecting three feet or less into the required rear yard.

[3] Detached accessory buildings and structures such as storage buildings, garages, swimming pools, heating and air-conditioning equipment, wind and solar energy conversion equipment antenna structures, including those mounted on towers or masts or those employing parabolic or similar reflectors, provided such buildings, structures or equipment:

[a] In the aggregate shall not occupy more than 30 percent of any required rear yard nor more than 50 percent of non-required rear yard areas.



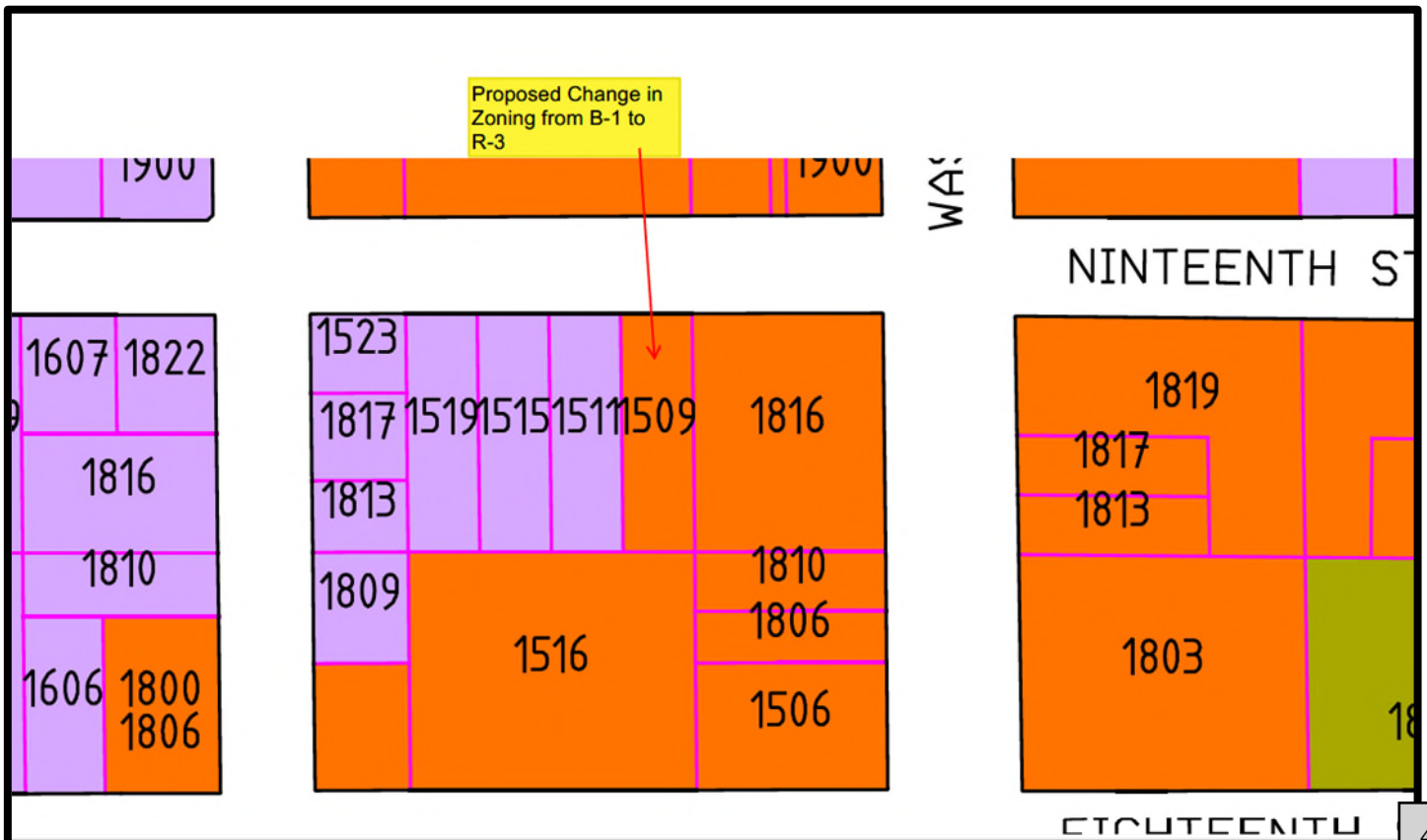
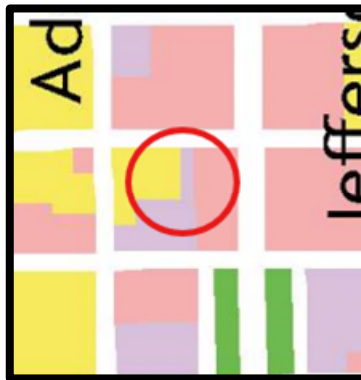


[b] Shall be located no closer than three feet from any part of any other building, structure or property line, except swimming pools as described in subsection H.

[c] Shall comply with all applicable municipal and state code provisions.

[d] Driveways not exceeding 35 percent of the lot width or 35 feet, whichever is less.

The comprehensive plan shows this lot as Government/Institutional/Utilities (purple) (see below map). Yellow color = Residential. Pink color = Business.





**TWO
RIVERS**
WISCONSIN

COMMUNITY DEVELOPMENT

Section 3, Item A.

1717 E. Park Street
P.O. BOX 87
Two Rivers, WI 54241-0087



www.two-rivers.org



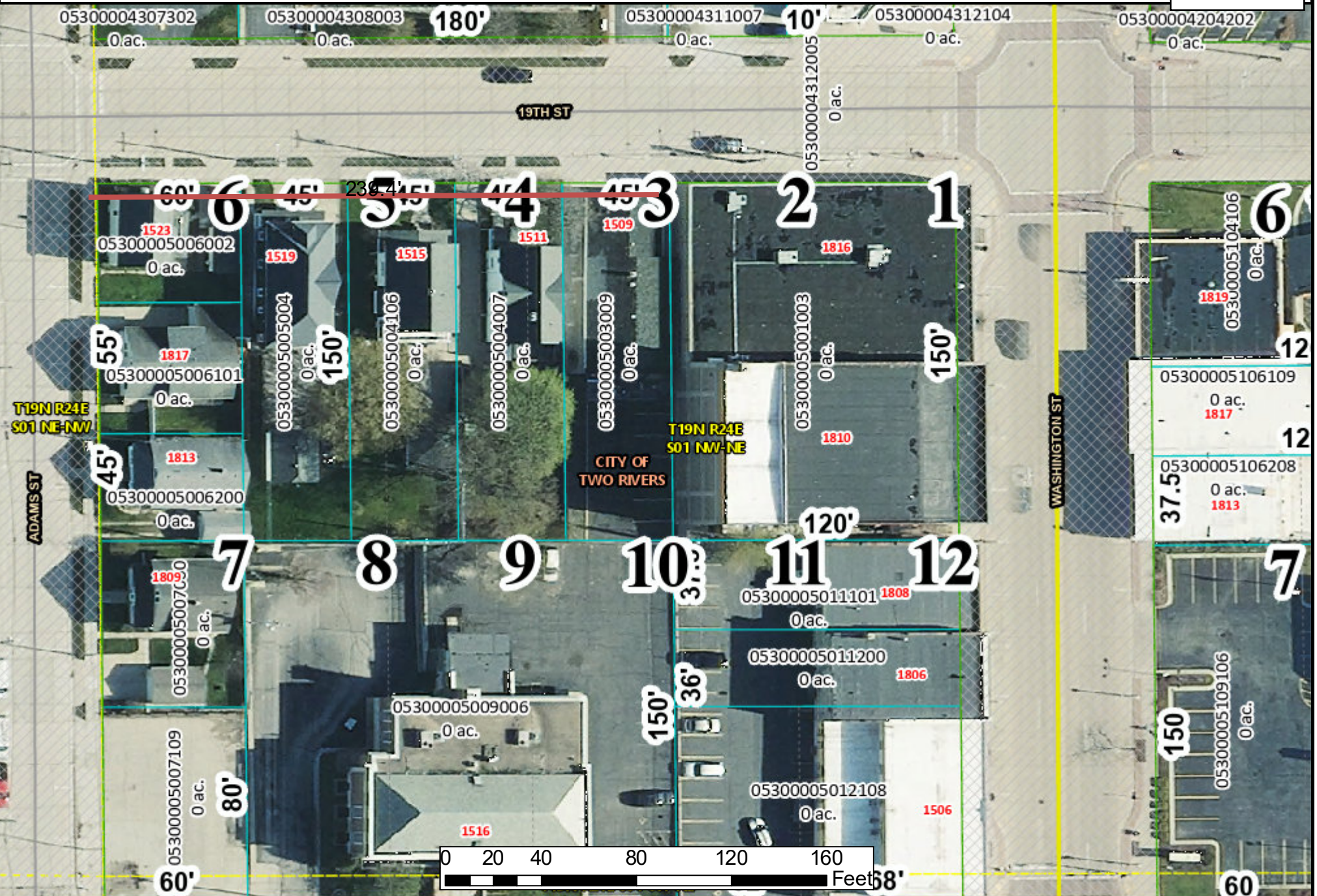
920.793.5564



920.793.5512

1509 19TH

Section 3, Item A.





**TWO
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COMMUNITY DEVELOPMENT

Section 3, Item A.



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Section 3, Item A.



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920.793.5512



LAND DEVELOPMENT APPLICATION

APPLICANT Steve Bacalzo for Lamp Lighter Rentals, LLC TELEPHONE 920-374-1059

MAILING ADDRESS 2418 Jefferson St. WI 54241 (Street) (City) (State) (Zip)

PROPERTY OWNER Lamp Lighter Rentals, LLC TELEPHONE 920-374-1059

MAILING ADDRESS Same (Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
Site/Architectural Plan Approval
Subdivision Plat or CSM Review
Zoning District Change
Conditional Use
Annexation Request
Variance/Board of Appeals
Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 2114 E. River TYPE OF STRUCTURE Multi-Family

PRESENT ZONING R3 REQUESTED ZONING R-4

PROPOSED LAND USE Multi-Family

PARCEL # 053-000-027-021-08 ACREAGE

LEGAL DESCRIPTION

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed [Signature] (Property Owner) Date 7/29/2024

Fee Required

- \$ 350 Comprehensive Plan Amendment
\$t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
\$t/b/d CSM Review (\$10 lot/\$30 min)
Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change -
\$ 350 Conditional Use
\$t/b/d Annexation Request (State Processing Fees Apply)
\$ 350 Variance/Board of Appeals
\$t/b/d Other

Schedule

- Application Submittal Date 7/29/24
Date Fee(s) Paid 7/29/24
Plan(s) Submittal Date
Plan Comm Appearance 8-12-24

\$ 350 TOTAL FEE PAID

APPLICATION, PLANS & FEE RECEIVED BY [Signature]



PLAN COMMISSION

Action: Rezoning Request from Residential (R-3) to Residential (R-4)
Location: 2114 East River Street
Current Zoning: Residential R-3
Date: September 9, 2024

The owner of this property is requesting a rezoning of this property from Residential (R-3) to Residential (R-4) to allow 3 families to live in the dwelling. The property is currently being used as a 3-family home, which is not allowed in this zoning district.

Zoning Information:

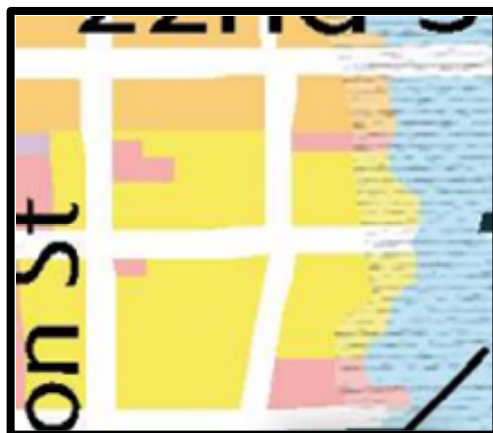
The R-3 zoning district allows for single and double family homes, which is why the owner would like to rezone to R-4. The current dwelling would not meet the setbacks for the R-4 district, which is a minimum of 25' of front yard and 15' of side yard.

The comprehensive plan shows this area as Residential use.

There is another lot zoned R-4 located at 2213 Washington St, which contains similar setbacks to make it nonconforming.

The adjacent lot at 2110 East River Street, and 2015 East River Street are also operating as multi-family homes. A zoning change may not need to take place; all of these lots seem like they have been in use as a multifamily for many years, which means they could potentially be classified as legal non-conforming.

Yellow = Residential



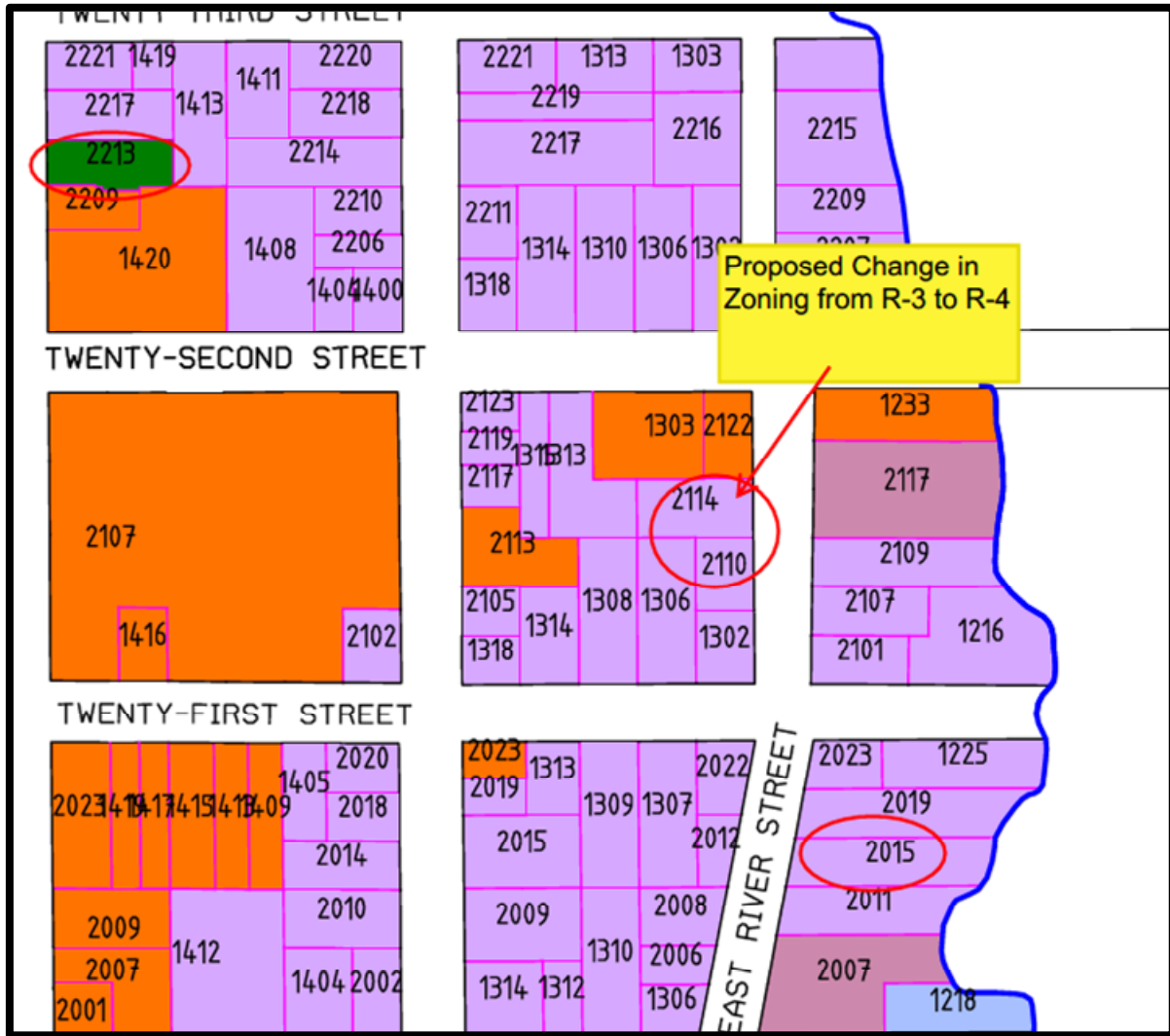


TWO RIVERS
WISCONSIN

COMMUNITY DEVELOPMENT

Section 3, Item B.

1717 E. Park Street
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Two Rivers, WI 54241-0087







**TWO
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Section 3, Item B.



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920.793.5512



TWO RIVERS
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LAND DEVELOPMENT APPLICATION

APPLICANT Brian Laurent TELEPHONE 920 901 6245

MAILING ADDRESS 3406 Mirro Drive Manitowoc WI 54220
(Street) (City) (State) (Zip)

PROPERTY OWNER Brian Laurent TELEPHONE 920 901 8245

MAILING ADDRESS 3406 Mirro Drive Manitowoc WI 54220
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 1609 16th TYPE OF STRUCTURE Garage 24' x 80'

PRESENT ZONING PUD REQUESTED ZONING _____

PROPOSED LAND USE _____

PARCEL # 053-000-073-010.05 ACREAGE _____

LEGAL DESCRIPTION _____

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed Brian Laurent (Property Owner) Date 3/12/2024

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- \$ t/b/d Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

Schedule

- Application Submittal Date _____
- Date Fee(s) Paid _____
- Plan(s) Submittal Date _____
- Plan Comm Appearance _____

\$ _____ TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____



PLAN COMMISSION

Action: Proposed amendment to PUD
Location: 1609 – 16th Street
Current Zoning: Planned Unit Development (PUD)
Date: July 8, 2024

The owner of this property is requesting a change to the previously approved PUD, to construct a garage, closer to the dwelling unit. Staff has raised questions about the location of the garage, in relation to existing easements presently impacting the site. The current site plan does not include the easements.

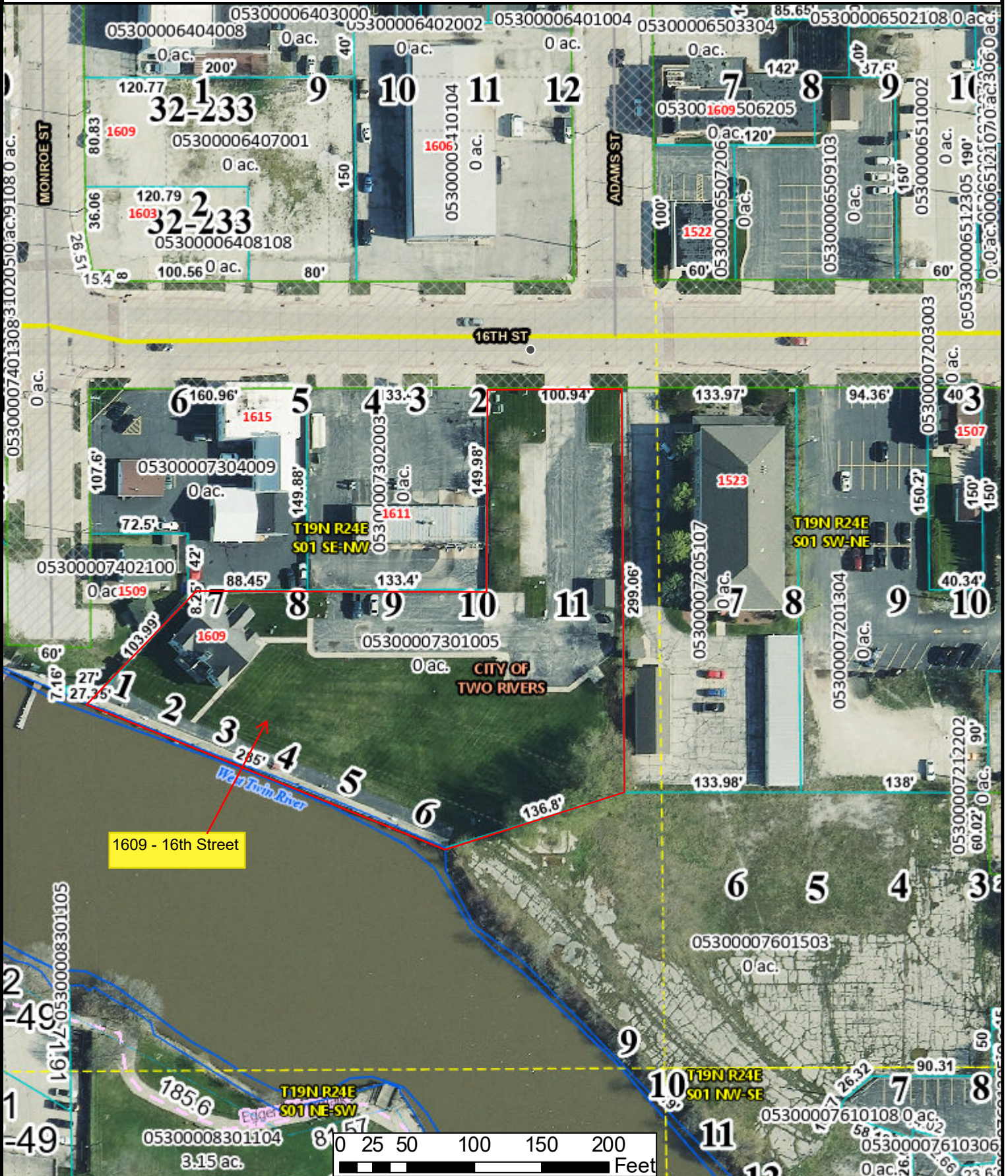
Section 10-1-41. - Subsequent change or addition to approved PUD plan.

Any subsequent change or addition to an approved plan shall first be submitted for recommendation to the plan commission. The plan commission shall make its recommendation to the city council. If in the city council's opinion, the change or addition is substantial, keeping in mind how substantial is defined below, the city council shall call for a public hearing on such proposed change or addition. Without limitation to the city council's right to determine any other substantial change, a change may be construed to be "substantial" if it results in any of the following:

- A. An increase in density.
- B. An increase in traffic congestion.
- C. Creation of service problems.
- D. Change in project design, architecture, or aesthetics.

Manitowoc County Parcel Viewer

Section 3, Item C.



1609 - 16th Street



Hello,

I own a property at 1609 16th Street. I would like to build a 26' X 80' garage for my 4 plex. Each tenant would have a 20' X 26' garage. The building code reads that I need to be 8 feet from the north property line. I would like to build it as close to the property line as you would allow. I have no problem building this garage with block . The reason being I don't want things stored behind the building and it will allow for more parking.

Thank you,

Brian Laurent

DESCRIPTION:

Tract 2 of a Certified Survey Map recorded in Volume 12, Page 163, located in Government Lot 1 of Section 1, Town 19 North, Range 24 East, City of Two Rivers, Manitowoc County, Wisconsin.
 Said parcel contains 70,588 Square Feet (1.620 Acres) of land.

SETBACK NOTE:

The lot shown herein is subject to an 8 foot building setback from the interior side yard and 35 feet from the ordinary high water mark.

SURVEY NOTE:

This survey is based on an existing monumentation that is believed to be original to the Certified Survey Map recorded in volume 12, page 163.

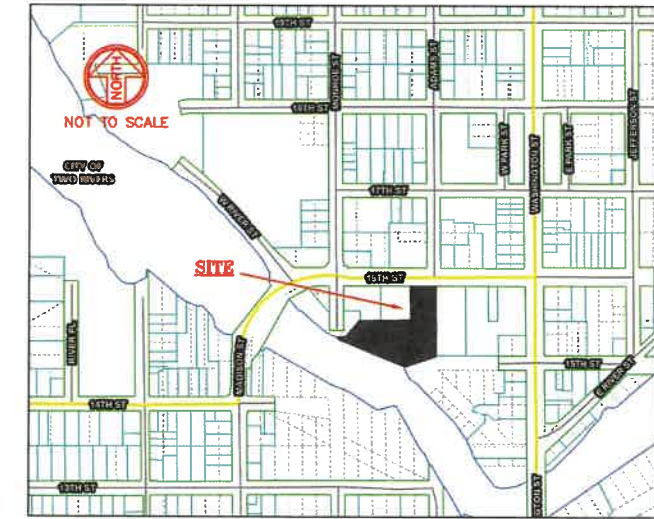
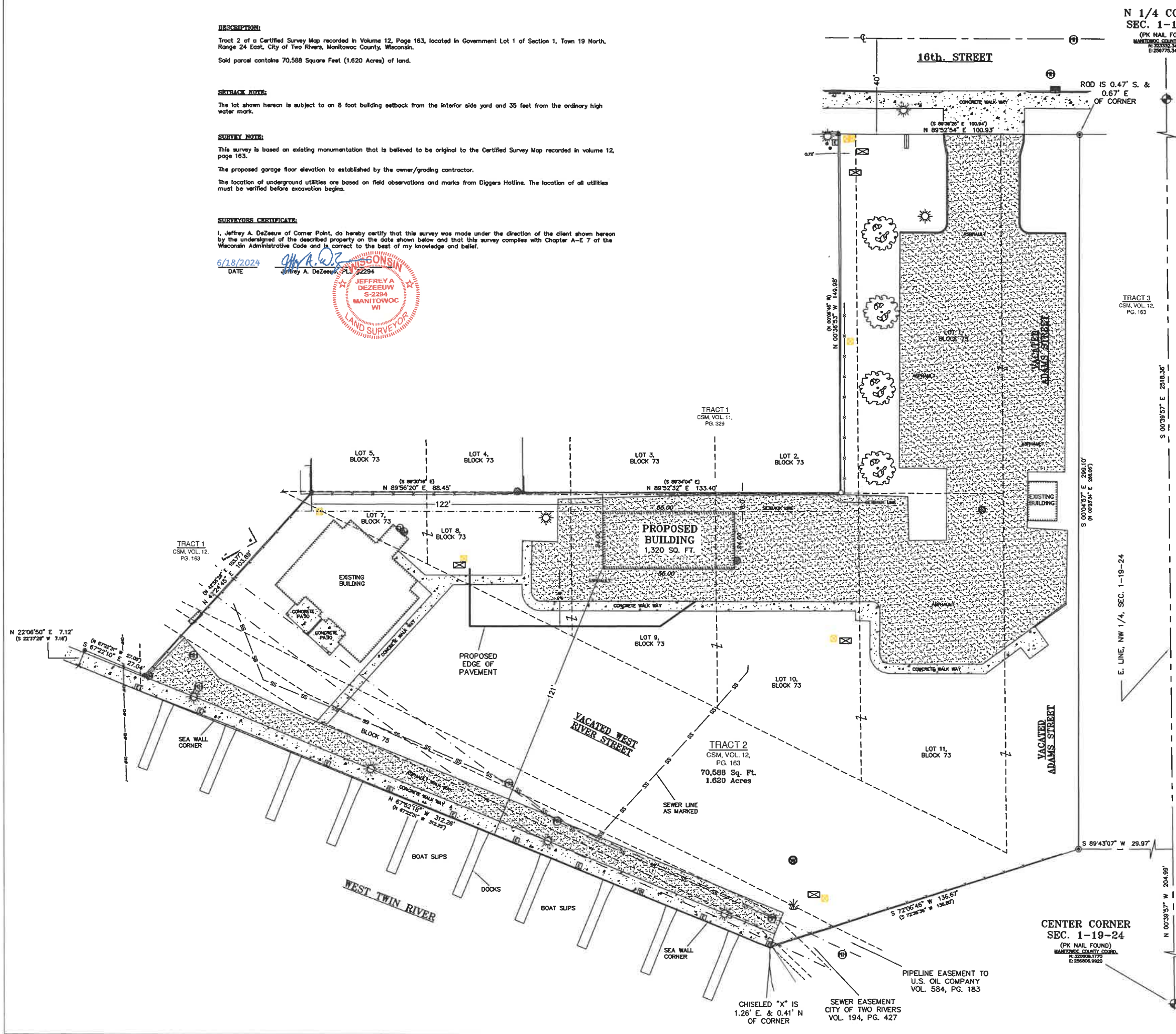
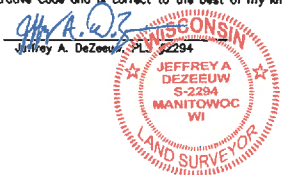
The proposed garage floor elevation to be established by the owner/grading contractor.

The location of underground utilities are based on field observations and marks from Diggers Hotline. The location of all utilities must be verified before excavation begins.

SURVEYORS CERTIFICATE:

I, Jeffrey A. DeZeeuw of Corner Point, do hereby certify that this survey was made under the direction of the client shown herein by the undersigned of the described property on the date shown below and that this survey complies with Chapter A-E 7 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

6/18/2024
 DATE



LEGEND

- = 3/4" x 18" IRON REBAR SET WEIGHING 1.13 LBS/FT
- = EXISTING 1" IRON PIPE
- ⊙ = EXISTING 1/2" ROD
- × = EXISTING CHISELED "X"
- ▲ = EXISTING MAG/P-K NAIL
- ∟ = COMBINED LOTS
- ▭ = EXISTING SIGN
- ⊕ = EXISTING STORM INLET
- ⊕ = EXISTING CATCH BASIN
- ⊕ = EXISTING TRANSFORMER
- ⊕ = EXISTING WATER SPOCKET
- ⊕ = EXISTING ELECTRIC METER
- ⊕ = EXISTING LIGHT POLE
- ⊕ = EXISTING GAS METER
- ⊕ = EXISTING TELEPHONE PEDESTAL
- ⊕ = EXISTING TRAFFIC SIGN
- (0000) = "RECORDED AS" DIMENSIONS
- ⊕ = MANHOLE
- ⊕ = EXISTING WELL
- ⊕ = EXISTING BOLLARD
- = FENCE
- = OVERHEAD POWER LINE
- - - = EASEMENT

SITE LAYOUT
 TRACT 2 OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 12, PAGE 163, LOCATED IN GOVERNMENT LOT 2 OF SECTION 1, TOWN 19 NORTH, RANGE 24 EAST, CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

KEITH LAURENT
 3812 MIRRO DR.
 MANITOWOC, WI. 54220

FIELD WORK COMPLETION DATE: 6/14/2024
 DRAFTER: JAD/RLB
 DRAWN BY: JAD/RLB
 CHECKED BY: JAD/RLB
 DISCLAIMER: CORNER POINT, LLC IS NOT RESPONSIBLE FOR UNAUTHORIZED CHANGES AND/OR ADDITIONS TO THE HEREON MAP/DOCUMENT.



TWO RIVERS
WISCONSIN

LAND DEVELOPMENT APPLICATION

APPLICANT A.C.E. Building Service Inc. (Derek Petska) TELEPHONE 920-682-6105

MAILING ADDRESS 3510 S. 26th Street Manitowoc WI 54220
(Street) (City) (State) (Zip)

PROPERTY OWNER Sauve's Auto (Thomas Christensen) TELEPHONE 920-973-2273

MAILING ADDRESS 1421 Washington St. Two Rivers WI 54241
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 1421 Washington St. TYPE OF STRUCTURE Wood & PEMB

PRESENT ZONING B-1 Business District REQUESTED ZONING N/A

PROPOSED LAND USE No change in land use requested - Addition to existing building

PARCEL # 05300007705007; 05300007704109; 05300007704000 ACREAGE 0.55

LEGAL DESCRIPTION Lots 4 and 5 Excepting Therefrom the South 20 Feet and All of Lot 3 of Block 77 of the Original Plat, All Located in Government Lot 4, Section 1, Town 19 North, Range 24 East, City of Two Rivers, Manitowoc County, Wisconsin.

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed [Signature] Date 08/23/2024
(Property Owner)

Fee Required

Schedule

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

- Application Submittal Date _____
- Date Fee(s) Paid _____
- Plan(s) Submittal Date _____
- Plan Comm Appearance _____

\$ 550.00 TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____

August 26, 2024

City Building Inspections Office
1717 E Park Street
Two Rivers WI 54241

RE: Sauve's Auto
Building Addition & Site Improvement @ 1421 Washington St.

To Whom It May Concern:

The proposed building addition and added parking spaces will replace the two-story residential building and garage on the north side of the property that are scheduled to be demolished. The proposed building expansion will be 3,620 square feet. Exterior finishes will complement the existing building, including metal & EPDM roofing, metal wall panel, aluminum fascia, soffit, gutter, and downspouts. All colors of exterior finishes to match complement the existing as depicted in the conceptual renderings.

The north and east sides of the expansion will consist of off-street asphalt parking. The north side of the expansion will also be landscaped with shrubs, and perennial plants and stone mulch. The project results in a net add of approximately 16,500 square feet of impervious area. The stormwater drainage pattern of the site will not change. The proposed building addition downspouts will be connected to the city of Two Rivers' storm sewer.

The following calculation was used to determine adequacy of off-street parking spaces per Sec. 10-1-13 "Off-street parking and loading" from the City of Two Rivers Municipal Code:

Total building area (including expansion): 6,600 s.f.

Per section 10-1-13: (1) for each vehicle connected with the business, (1) for each employee on duty when fully staffed, (1) for the owner or manager, plus (3) for each bay intended for service, repair or other use.

Included for this project: (4) vehicles connected with the business, (5) full time employees, (1) owner, (7) bays for service.

Shown per plan (18) off-street parking spaces are being provided.

(2) new LED wall-pack lights with photo sensors will be mounted on the exterior of the building located on the north wall and (2) on east exterior wall of the proposed expansion.

Construction is scheduled to begin mid-October and be completed in the spring of 2025.

**PROPOSED EXPANSION FOR
SAUVE'S AUTO SERVICE
1421 WASHINGTON STREET**





PLAN COMMISSION

Action: Conditional Use Application & S&A Review
Location: 1421 Washington Street (Sauve’s)
Current Zoning: Business (B-1)
Date: September 9, 2024

The owner of this property is requesting a Conditional Use Permit for an existing gas station/automobile service use, as well as Site & Architectural Review for an addition at 1421 Washington Street. Gas stations/Automobile Services are a conditional use in the B-1 District

Background

The owner recently combined the parcels to allow for the proposed addition. The addition will allow for more space to service vehicles as well as a bigger parking lot.

Questions and Discussion points from the Director of Public Works include the following:

- Green Space - removing paved terraces and replacing with turf grass
- Creating green buffers in unused parking island areas
- ADA parking
- Where are mechanicals going to be located and are they screened
- Outdoor tire storage adjacent to Kozlowski Tire - screened
- No stormwater management required
- Exterior dumpster? Screening?
- Not a planning item but where internal plumbing is going to discharge to, specifically the sinks and drains in the shop area



CONDITIONAL USE
PERMIT
City of Two Rivers

Document Number

Permit No. 9-1-2024

Before the City Council of the City of Two Rivers, Manitowoc County, Wisconsin, regarding the premises at 1421 Washington Street in the City of Two Rivers, Manitowoc County, State of Wisconsin, further described as:

FERD BOHTE'S ADD ALL EXC N 35` OF LOT 9 & ALL OF LOTS 10 & 11 BLK 1

Inspections Department
City of Two Rivers
PO Box 87
Two Rivers, WI 54241-0087

Parcel ID Number: 053-000-077-040.00

Zoning Classification of the Premises is: B-1 Business District/Conditional Use for a Gas Station / Automobile Service
Mailing Address of the Premises Operator: 1421 Washington Street, Two Rivers WI 54241

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statute, state that the premises may not be used for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the City Council of the City of Two Rivers having determined that by reason of the nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the operation of a Gas Station / Automobile Service

Permitted by action of the City Council of the City of Two Rivers on October 7, 2024.
Original filed in the office of the City Clerk of the City of Two Rivers, Wisconsin

The Conditions of this Permit are:

1. This Permit shall become effective upon the execution and recording by the Owner of the Premises as acceptance hereof.
2. This Permit is subject to the conditions herein and is subject to amendment and termination in accordance with the provisions of the Zoning Code of this Municipality.
3. The operation of the use permitted shall be in strict conformity to the approved conditions identified with this Petition for this Permit and such plans are incorporated herein by reference as if set forth in detail herein.
4. Any substantial change to the use or site as the conditions permitted by the issuance of this Permit would require approval by the Plan Commission and City Council as an amendment to this Permit.
5. This Permit is specifically issued to Lakeshore Commercial LLC and shall lapse upon a change in ownership of the business, tenancy of the subject premises or if the land uses ceases operation for more than 12 months. This permit may be reissued only after a proper application is made to the City as if this permit were being newly issued.
6. Conditions of Operations:
 - a. Hours of operation: 24 hours per day, seven days per week.
 - b. Any outdoor display of merchandise shall be limited to on the fuel islands beneath the canopy not exceeding three feet in height; and, immediately adjacent to the front wall of the building not exceeding the height of the window base.
 - c. A separate Conditional Use Permit shall be required for any land use which would include a drive-thru component.
 - d. Light fixtures under the canopy shall not glare into public streets and shall not glare into adjacent properties. Diffusers shall be installed as necessary to minimize glare of canopy lights.
 - e. Signage in accord with the City's Sign Code.
 - f. All landscaping plantings shall be maintained and kept in good health or be replaced; and all landscaped areas shall be maintained in such a manner to be free of weeds.

SIGNATURES OF PROPERTY OWNER(S) AND PERMITEE(S):

As Owner(s) of the Subject Property, I/we accept and understand the above-described conditions.

Printed Name: _____

Printed Name: _____

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this _____ day of _____, 2024, the above named _____ and to be the person(s) who executed the foregoing instrument and acknowledge the same.

Amanda Baryenbruch
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

SIGNATURES - CITY OF TWO RIVERS

Greg Buckley, City Manager

Amanda Baryenbruch, City Clerk

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally, came before me this _____ day of _____ 2024, the above-named Greg Buckley and Amanda Baryenbruch known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Printed Name: _____
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

THIS INSTRUMENT WAS DRAFTED BY:
Adam Taylor, Zoning Administrator

A NEW BUILDING ADDITION FOR: SAUVE'S AUTO TWO RIVERS, WISCONSIN

PROJECT DATA	
GOVERNING AUTHORITY - WISCONSIN DEPT. OF COMMERCE SAFETY AND BUILDINGS DIVISION	
REFERENCED CODE	INTERNATIONAL BUILDING CODE 2015
CLASS OF CONSTRUCTION	III-B
OCCUPANCY CLASSIFICATION	BUSINESS (B), STORAGE (S-1)
LOCAL ZONING AUTHORITY	CITY OF TWO RIVERS
BUILDING SPRINKLED	NO (NO CHANGE)
BUILDING AREA:	
FIRST FLOOR EXIST. BUILDING:	2,967 S.F.
FIRST FLOOR NEW ADDITION:	3,645 S.F.
PROJECT AREA:	4,110 S.F. (INCLUDING INTERIOR REMODEL @ EXIST. WAITING AREA)
TOTAL BUILDING SQ. FT.:	6,632 S.F.

IMPORTANT NOTES:
INFORMATION SHOWN ON THESE DRAWINGS (FOR PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION) IS FOR GENERAL DESIGN INTENT/BIDDING PURPOSES ONLY.

ALL CONTRACTORS TO COMPLY WITH ALL LOCAL/STATE CODES AND ORDINANCES.

ALL PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION CONTRACTORS ARE RESPONSIBLE FOR DESIGN, STATE SUBMITTAL AND ALL FEES/PERMITS ASSOCIATED WITH THESE TRADES FOR COMPLETION OF WORK OUTLINED.

IMPORTANT CONTRACTORS NOTES:
ALL CONTRACTORS TO SUBMIT DESIGN/BUILD (PLUMBING, HVAC, ELECTRICAL AND FIRE PROTECTION) DRAWINGS FOR OWNER REVIEW PRIOR TO STARTING WORK.

NOTE:
ALL TRADES SHALL CROSS REFERENCE ALL CONSTRUCTION DOCUMENTS FOR COORDINATION AND SCOPE OF WORK.

NOTE:
ALL PRODUCT SUBSTITUTIONS MUST BE SUBMITTED TO ARCHITECT PRIOR TO BIDDING.

MATERIAL INDEX-PLANS,SECTIONS

	EARTH		RIGID INSULATION		ROUGH LUMBER/ BLOCKING
	COMPACTED FILL		BATT INSULATION		PLYWOOD
	GRAVEL FILL		DRYWALL		FINISHED LUMBER
	POURED CONCRETE/ PRECAST		STEEL		EXISTING WALL TO BE REMOVED
	CONCRETE BLOCK		SPRAY FOAM INSULATION		EXISTING WALL TO REMAIN
	FACE BRICK		BITUMINOUS PAVING		CONSTRUCT NEW WALL

REFERENCE SYMBOLS

SECTION CUT SYMBOL (WALL SECTIONS)

SECTION DESIGNATION (NUMBER FOR CROSS SECTION & LETTER FOR WALL SECTION)
DRAWING NUMBER ON WHICH SECTION APPEARS

PLAN DETAIL / ENLARGED PLAN SYMBOL

DETAIL NUMBER
DRAWING NUMBER ON WHICH DETAIL APPEARS

DETAIL CUT SYMBOL

DETAIL NUMBER
DRAWING NUMBER ON WHICH DETAIL APPEARS

ELEVATION MARK - NEW
Name
Elevation

ELEVATION MARK - EXISTING
Name
Elevation

DRAWING SYMBOLS

DOOR TAG

REVISION NUMBER

GLAZING TAG

COLUMN LINE DESIGNATION- NEW

WALL TYPE

STAIRWAY DIRECTION INDICATION

KEYNOTE MARK - ACCESSORIES

KEYNOTE MARK - DEMOLITION NOTES

KEYNOTE MARK - PLAN NOTES

SPOT ELEVATION MARKER

PROJECT LOCATION

1421 WASHINGTON STREET
TWO RIVERS, WISCONSIN 54241



INDICATES PROJECT LOCATION
AERIAL PLAN
NO SCALE



INDICATES PROJECT LOCATION
VICINITY PLAN
NO SCALE

SHEET INDEX

GENERAL
C-S COVER SHEET

ARCHITECTURAL

- D-1.0 DEMOLITION PLAN
- A-1.1 OVERALL FLOOR PLAN
- A-2.1 ROOM FINISH SCHEDULE, INTERIOR WALL TYPES, & ENLARGED TOILET ROOMS
- A-3.1 OPENING SCHEDULE, DOOR & FRAME ELEVATIONS
- A-3.2 CASEWORK ELEVATIONS & DETAILS
- A-4.1 EXTERIOR ELEVATIONS
- A-4.2 EXTERIOR ELEVATIONS
- A-5.1 BUILDING SECTIONS
- A-6.1 WALL SECTIONS
- A-6.2 WALL SECTIONS
- A-6.3 WALL SECTIONS
- A-6.4 PIT SECTIONS
- A-7.1 DETAILS
- A-8.1 ROOF PLAN
- A-9.1 REFLECTED CEILING PLAN

STRUCTURAL

- S-0.0 GENERAL NOTES
- S-0.1 GENERAL NOTES & STRUCTURAL LOADS
- S-1.0 FOUNDATION PLAN
- S-2.0 ROOF FRAMIN PLAN
- S-4.0 FOUNDATION DETAILS & SCHEDULES
- S-4.1 FOUNDATION DETAILS
- S-4.2 GENERAL FRAMING NOTES & DETAILS
- S-4.3 FASTENING SCHEDULES & DETAILS
- S-4.4 MASONRY SCHEDULES & DETAILS



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PROJECT INFORMATION:
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TWO RIVERS, WISCONSIN

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A.C.E. JOB NO.
DATE: 08-19-2014
DRAWN BY: DAH
SCALE: As indicated

COVER SHEET

SHEET
C-S

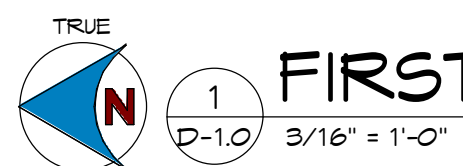
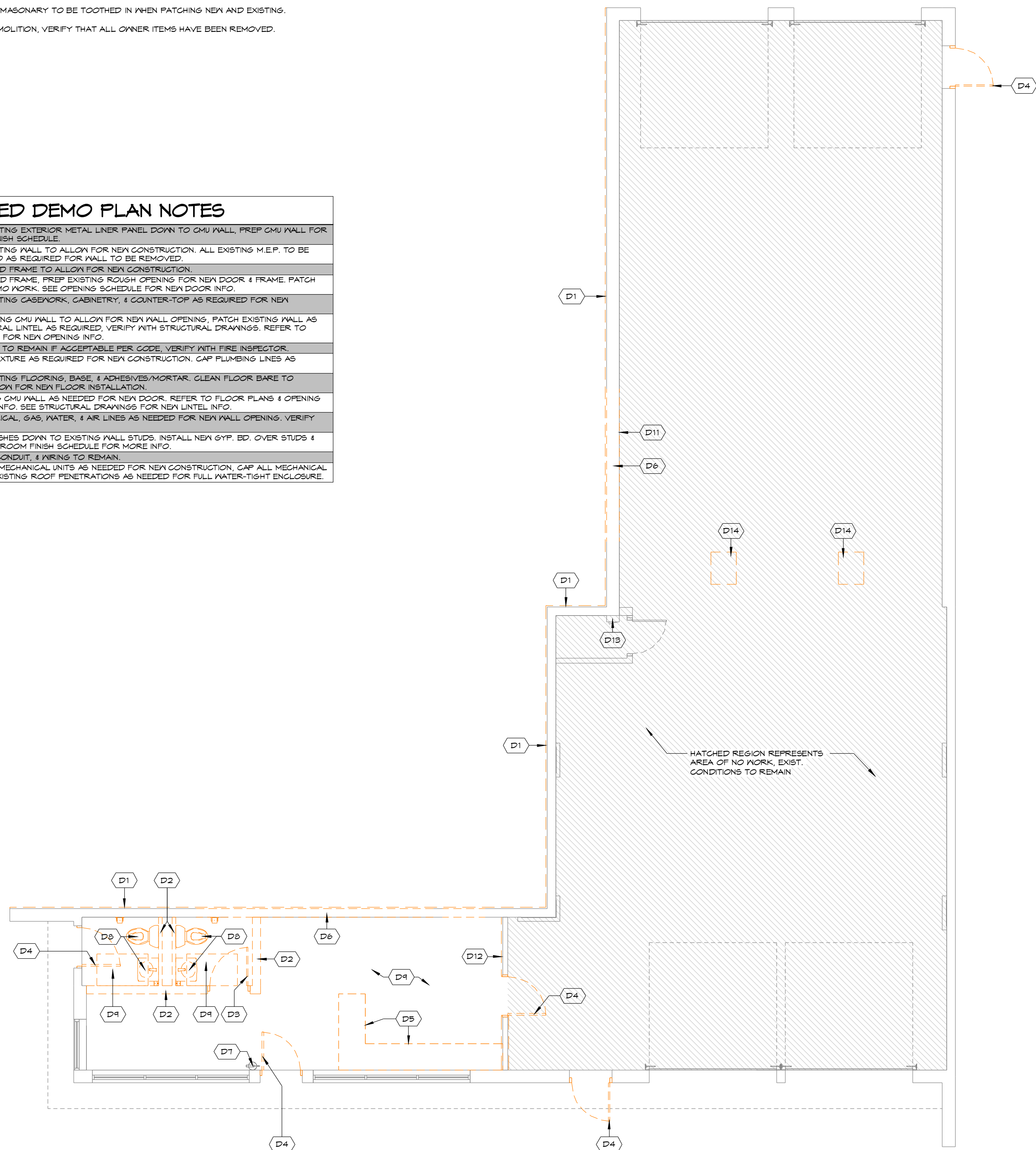
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GENERAL PLAN DEMOLITION NOTES:

- ALL CONTRACTORS SHALL VISIT THE SITE AND FIELD VERIFY THE LOCATION OF ALL WALLS, DOORS, LIGHTS, DUCTS, PLUMBING FIXTURES, ETC. TO BE REMOVED.
- ALL MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST BE REMOVED FROM THE SITE IN A TIMELY MANNER UNLESS NOTED OTHERWISE.
- REMOVE ALL EXISTING ROOM FINISHES AS REQUIRED TO ALLOW FOR APPLICATION OF NEW MATERIALS WHERE INDICATED ON THE ROOM FINISH SCHEDULE.
- PATCH OPENINGS IN FLOORS, WALLS, AND ROOF WHERE MECHANICAL EQUIPMENT, PLUMBING DUCTS, PIPES, CONDUITS, ETC. ARE REMOVED. MATCH ALL EXISTING FINISHES.
- PATCH ANY AREAS OF LAWN, PAVING, OR CONCRETE PAVING AND/OR CONCRETE CURBS DISTURBED BY CONSTRUCTION AND MATERIAL DELIVERY.
- ALL SITE UTILITIES MUST BE FIELD VERIFIED PRIOR TO DEMOLITION WORK.
- PROVIDE PROTECTION FOR ANY EXISTING CONSTRUCTION OPEN TO THE ELEMENTS DUE TO DEMOLITION.
- PATCHING OF MASONRY TO BE TOOTHED IN WHEN PATCHING NEW AND EXISTING.
- PRIOR TO DEMOLITION, VERIFY THAT ALL OWNER ITEMS HAVE BEEN REMOVED.

KEYED DEMO PLAN NOTES

D1	REMOVE & DISPOSE OF EXISTING EXTERIOR METAL LINER PANEL DOWN TO CMU WALL. PREP CMU WALL FOR NEW FINISHES. SEE ROOM FINISH SCHEDULE.
D2	REMOVE & DISPOSE OF EXISTING WALL TO ALLOW FOR NEW CONSTRUCTION. ALL EXISTING M.E.P. TO BE DISCONNECTED AND CAPPED AS REQUIRED FOR WALL TO BE REMOVED.
D3	REMOVE EXISTING DOOR AND FRAME TO ALLOW FOR NEW CONSTRUCTION.
D4	REMOVE EXISTING DOOR AND FRAME. PREP EXISTING ROUGH OPENING FOR NEW DOOR & FRAME. PATCH WALL AS NEEDED FROM DEMO WORK. SEE OPENING SCHEDULE FOR NEW DOOR INFO.
D5	REMOVE & DISPOSE OF EXISTING CASEWORK, CABINETRY, & COUNTER-TOP AS REQUIRED FOR NEW CONSTRUCTION.
D6	REMOVE PORTION OF EXISTING CMU WALL TO ALLOW FOR NEW WALL OPENING. PATCH EXISTING WALL AS NEEDED. PROVIDE STRUCTURAL LINTEL AS REQUIRED. VERIFY WITH STRUCTURAL DRAWINGS. REFER TO PLANS & OPENING SCHEDULE FOR NEW OPENING INFO.
D7	EXISTING FIRE EXTINGUISHER TO REMAIN IF ACCEPTABLE PER CODE. VERIFY WITH FIRE INSPECTOR.
D8	DEMO EXISTING PLUMBING FIXTURE AS REQUIRED FOR NEW CONSTRUCTION. CAP PLUMBING LINES AS NEEDED.
D9	REMOVE & DISPOSE OF EXISTING FLOORING, BASE, & ADHESIVES/MORTAR. CLEAN FLOOR BARE TO EXISTING CONCRETE TO ALLOW FOR NEW FLOOR INSTALLATION.
D10	DEMO PORTION OF EXISTING CMU WALL AS NEEDED FOR NEW DOOR. REFER TO FLOOR PLANS & OPENING SCHEDULE FOR NEW DOOR INFO. SEE STRUCTURAL DRAWINGS FOR NEW LINTEL INFO.
D11	RELOCATE EXISTING ELECTRICAL, GAS, WATER, & AIR LINES AS NEEDED FOR NEW WALL OPENING. VERIFY EXACT EXTENTS ON SITE.
D12	REMOVE EXISTING WALL FINISHES DOWN TO EXISTING WALL STUDS. INSTALL NEW GYP. BD. OVER STUDS & PROVIDE NEW FINISHES. SEE ROOM FINISH SCHEDULE FOR MORE INFO.
D13	EXISTING ELECTRIC PANEL, CONDUIT, & WIRING TO REMAIN.
D14	DEMO EXISTING OVERHEAD MECHANICAL UNITS AS NEEDED FOR NEW CONSTRUCTION. CAP ALL MECHANICAL LINES AS REQUIRED. SEAL EXISTING ROOF PENETRATIONS AS NEEDED FOR FULL WATER-TIGHT ENCLOSURE.



FIRST FLOOR DEMO PLAN

3/16" = 1'-0"

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DRAWN BY:	DAH
SCALE:	As indicated

FIRST FLOOR DEMO PLAN

SHEET
D-1.0

GENERAL FLOOR PLAN NOTES:

- CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS & FEES REQUIRED TO COMPLETE THE PROJECT.
- CONSTRUCTION & INSTALLATION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE & NATIONAL BUILDING CODES & THE AMERICANS WITH DISABILITY ACT.
- ALL NEW WALLS SHALL BE CONSTRUCTED AS PER THE WALL TYPE & SHALL BE CARRIED TO THE STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. PREPARE ALL SURFACES FOR FINISHES INDICATED.
- CONTRACTOR TO PROVIDE BLOCKING OR GROUTED CMU CORES FOR ALL WALL SUPPORTED CASEWORK, TOILET ACCESSORIES, HANDRAILS, EQUIPMENT, DOOR STOPS, SHELVING, ETC. AS REQUIRED.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH EQUIPMENT MANUFACTURERS TO ENSURE APPROPRIATE ROUGH IN CLEARANCE FOR EQUIPMENT INSTALLATION & USE.
- DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS AND INTERIOR WALL THICKNESSES ARE FROM THE FINISHED FACE OF WALL TO FINISHED FACE OF WALL, UNLESS NOTED OTHERWISE.
- ALL FURNITURE AND EQUIPMENT NOT SPECIFICALLY NOTED ON PLANS SHALL BE SUPPLIED AND INSTALLED BY OWNER. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL & DATA OUTLETS, ETC. IN FINAL FURNITURE LAYOUT DRAWINGS.
- ALL DOOR OFFSETS (HINGE SIDE) TO BE A MINIMUM OF 4", UNLESS NOTED OTHERWISE.
- ALL GYP. BOARD SHALL RETURN TO ALL WINDOW/DOOR FRAMES AT JAMBS & HEAD, TYPICAL, UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO COORDINATE WHETHER ANY CMU CORES NEED GROUTED FOR WALL-MOUNTED EQUIPMENT.
- REFER TO SITE PLAN SHEET FOR CONCRETE WALK LAYOUT.
- BULL-NOSE CMU REQUIRED AT CORNERS- REFER TO INTERIOR WALL TYPES FOR ADD'L. INFORMATION.

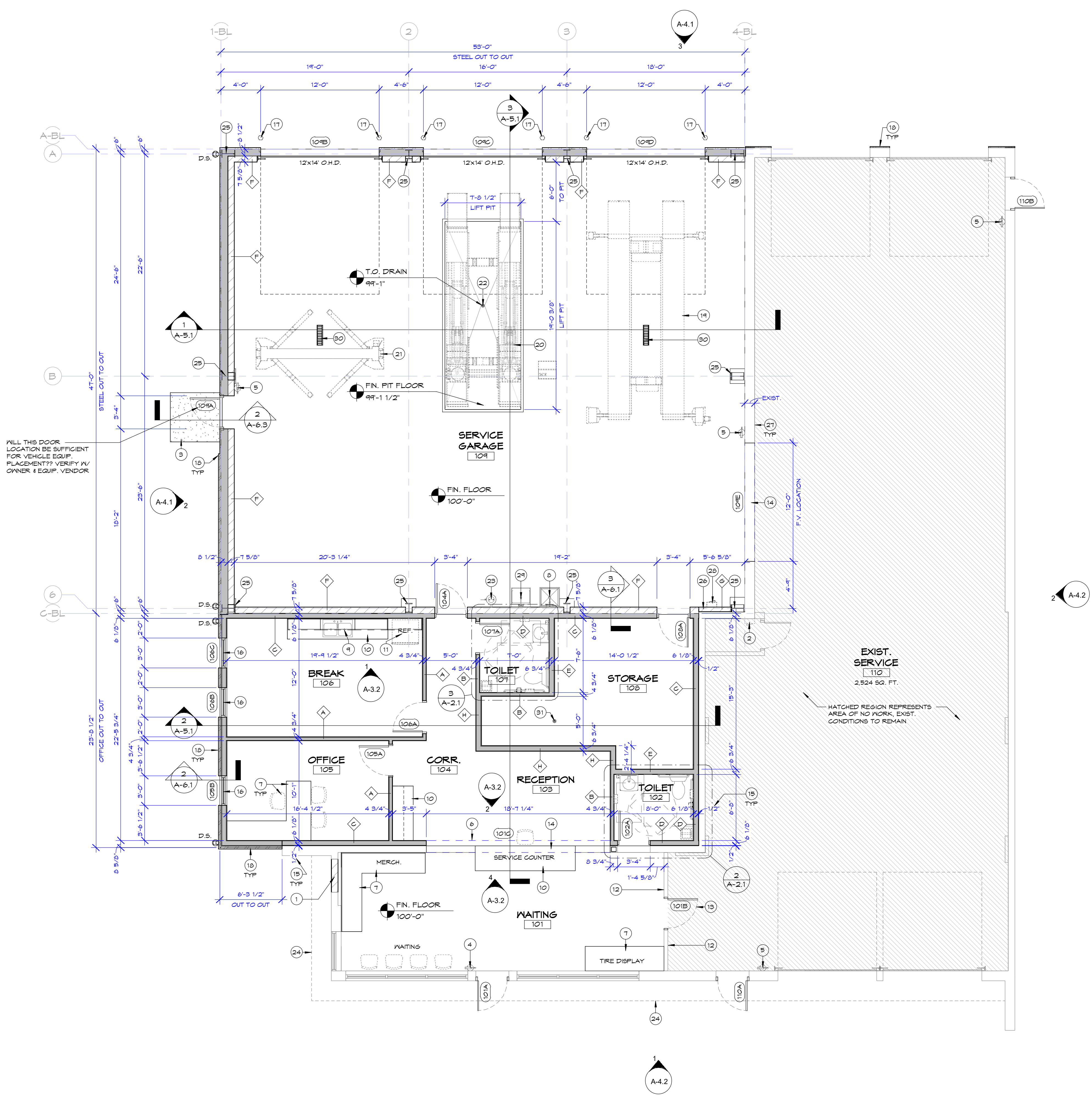
STANDARD FLOOR PLAN NOTATION:

- INDICATES EXIT LIGHTS (SEE LIFE-SAFETY PLAN SHEET, REFL. CLG. PLANS AND ELECTRICAL PLANS FOR LOCATIONS)
- INDICATES SEMI-RECESSED FIRE EXTINGUISHER CABINET
- INDICATES FIRE EXTINGUISHER - MIN. 10# "A-B-C" (UNLESS NOTED OTHERWISE) OR OTHER AS REQ'D. BY STATE AND/OR LOCAL CODE. SEE SPECIFICATIONS. (MOUNT AT 4'-0" A.F.F. MAX. TO TOP/EXTINGUISHER.)
- FLOOR DRAIN
- CATCH BASIN
- INDICATES WALL TYPES, REFER TO INT. WALL TYPES FOR INFORMATION.
- DOWN-SPOUT

KEYED PLAN NOTES

1	DEMO EXISTING DOOR & INFILL WITH NEW WALL. NEW WALL TO MATCH EXISTING WALL CONSTRUCTION.
2	EXISTING ELECTRIC PANEL, CONDUIT, & WIRING TO REMAIN.
3	CONCRETE SToop SLAB WITH FIRST WALL FOUNDATION. 2" RIGID INSULATION INSTALLED UNDER SToop SLAB. REFER TO SECTIONS & STRUCTURAL DRAWINGS, TYP.
4	EXISTING FIRE EXTINGUISHER TO REMAIN IF ACCEPTABLE PER CODE. VERIFY WITH FIRE INSPECTOR.
5	NEW WALL MOUNTED FIRE EXTINGUISHER. REFER TO LIFE SAFETY PLANS FOR MORE INFO.
6	DASHED LINE REPRESENTS CEILING/SOFFIT OVERHEAD. REFER TO REFLECTED CEILING PLANS FOR MORE INFO.
7	FURNITURE/EQUIPMENT BY OWNER.
8	NEW MOP SINK W/ MOP HOLDER.
9	SINK BY PLUMBING CONTRACTOR.
10	CASEWORK BY CABINETRY PROVIDER. PROVIDE GROMMETS AS NEEDED.
11	REFRIGERATOR BY OWNER. PROVIDE WATER LINE AS NEEDED. VERIFY WITH PLUMBING CONTRACTOR.
12	PROVIDE NEW GYP. BD. & PLASTER @ EXISTING WALL. (WAITING ROOM SIDE ONLY).
13	NEW DOOR IN EXISTING ROUGH OPENING. PATCH WALL AS REQUIRED FROM DEMO WORK. SEE OPENING SCHEDULE FOR NEW DOOR INFO.
14	NEW WALL OPENING IN EXISTING CMU WALL. PROVIDE NEW LINTEL AS NEEDED. REFER TO STRUCTURAL DRAWINGS.
15	NEW 2x6 WOOD STUD FURRING WALL TO BE HELD 1/2" OFF OF EXISTING CMU WALL. TYP.
16	PROVIDE NEW SOLID SURFACE SILL WITH DRYWALL RETURNS AT HEAD & JAMBS OF NEW WINDOW.
17	6" DIAMETER STEEL PIPE BOLLARD (COORDINATE EXACT LOCATION WITH OVERHEAD DOOR SUPPLIER). FILLED SOLID W/ CONC. PRIME. PROVIDE PLASTIC SLEEVE COVER (COLOR: T.B.D.). REFER TO TYPICAL BOLLARD DETAILS FOR MORE INFO.
18	HORIZONTAL METAL ACCENT PANEL INSTALLED OVER METAL LINER PANEL.
19	ROTARY ALIGNMENT FOUR POST VEHICLE LIFT. PROVIDED & INSTALLED BY OWNER & OWNER'S VENDOR. COORDINATE ANY NECESSARY M.E.P. ITEMS WITH PERTINENT CONTRACTOR(S).
20	HUNTER RX-12 SCISSOR LIFT. WITH FLOOR PIT. PROVIDED & INSTALLED BY OWNER & OWNER'S VENDOR (CENTERED ON MIDDLE SERVICE BAY). CONTRACTOR SHALL INSTALL A PVC CONDUIT TO LIFT CONTROL BOX. VERIFY PLACEMENT AND CONDUIT SIZE WITH VENDOR & OWNER. ELECTRICAL CONTRACTOR TO PROVIDE ELEG. CONNECTION AND DROP DOWN DUPLEX OUTLET W/ REEL TO LIFT. VERIFY LOCATION WITH OWNER. SEE FLOOR PIT SECTIONS FOR MORE INFO.
21	ROTARY SP016/20 TWO POST LIFT. PROVIDED & INSTALLED BY OWNER & OWNER'S VENDOR. COORDINATE ANY NECESSARY M.E.P. ITEMS WITH PERTINENT CONTRACTOR(S).
22	FLOOR DRAIN. BY PLUMBING CONTRACTOR. (PITCH SLAB TO DRAIN). REFER TO PIT SECTIONS & PLUMBING DRAWINGS FOR MORE INFO.
23	EMERGENCY EYE WASH. BY PLUMBING CONTRACTOR.
24	DASHED LINE REPRESENTS EXISTING SOFFIT ABOVE.
25	COLUMN PER PEMB SUPPLIER.
26	PROVIDE 6" CMU WALL. HERE AS NEEDED FOR EXISTING WALL JOG. CAN USE 8" CMU IF THERE'S ENOUGH CLEARANCE. VERIFY IN FIELD.
27	RELOCATE EXISTING ELECTRICAL, GAS, WATER, & AIR LINES AS NEEDED FOR NEW WALL OPENING. VERIFY EXACT EXTENTS ON SITE.
28	NEW ELECTRICAL PANEL. PROVIDED BY ELECTRICAL CONTRACTOR.
29	NEW UTILITY SINK. BY PLUMBING CONTRACTOR.
30	2'-0" LONG X 6" WIDE AGO TRENCH DRAIN. VERIFY EXACT LOCATION WITH VEHICLE LIFT PROVIDER & PLUMBER (CENTER ON GARAGE BAY).
31	FLOOR DRAIN. BY PLUMBING CONTRACTOR.

GENERAL NOTE:
ONLY NEW DOORS & WINDOWS ARE TAGGED ON FLOOR PLAN. ALL EXISTING DOORS & WINDOWS ARE UNTAGGED & SHALL REMAIN AS-IS, UNLESS OTHERWISE NOTED.



TRUE
N
1
A-1.1
3/16" = 1'-0"
FIRST FLOOR PLAN

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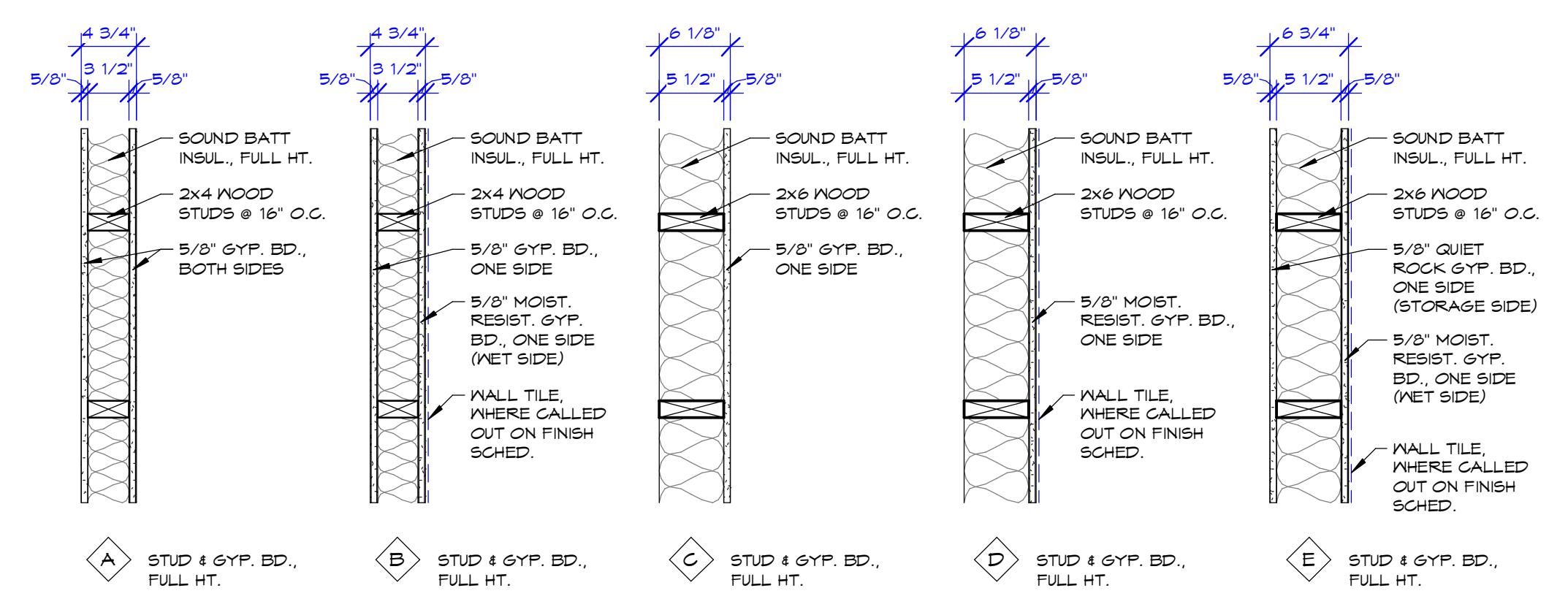
SHEET
A-1.1

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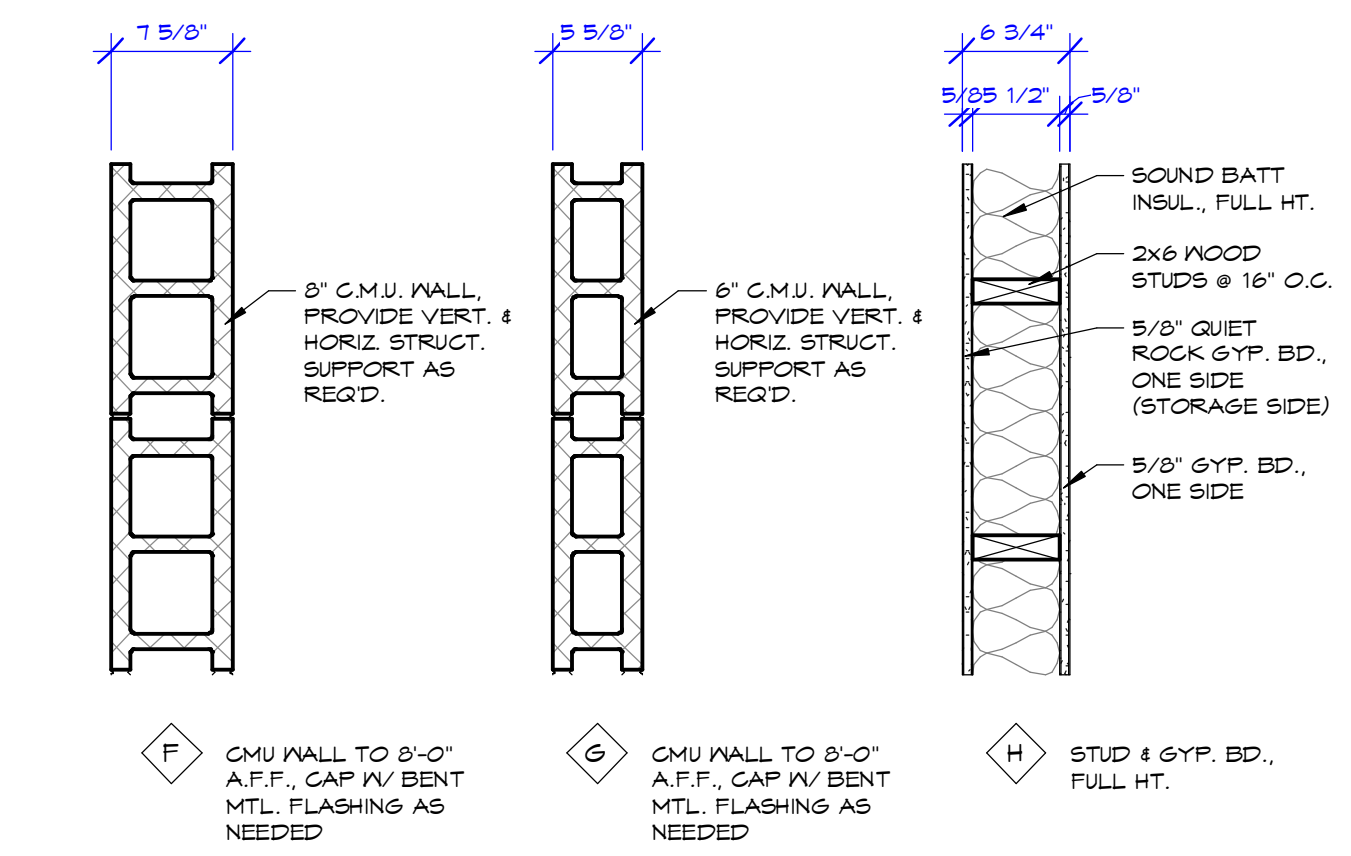
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GYPSUM BOARD CONTROL (EXPANSION) JOINT NOTE:
INSTALL CONTROL (EXPANSION) JOINTS ACCORDING TO ASTM C480 AND IN SPECIFIC LOCATIONS APPROVED BY ARCHITECT FOR VISUAL EFFECT.

- CONTROL (EXPANSION) JOINTS SHALL BE INSTALLED IN CEILINGS EXCEEDING 2,500 S.F. IN AREA. THE DISTANCE SHALL NOT BE MORE THAN 50 FEET BETWEEN CEILING CONTROL (EXPANSION) JOINTS IN EITHER DIRECTION (WITH PERIMETER RELIEF, 30 FEET IN EITHER DIRECTION WITHOUT PERIMETER RELIEF).
- CONTROL (EXPANSION) JOINTS SHALL BE INSTALLED IN PARTITION WALL AND WALL FURRING RUNS EXCEEDING NOT MORE THAN 30 FEET. A CONTROL (EXPANSION) JOINT SHALL BE INSTALLED WHERE A CONTROL (EXPANSION) JOINT OCCURS IN THE BASE EXTERIOR WALL.
- CONTROL (EXPANSION) JOINTS ARE NOT REQUIRED FOR WALL LENGTHS LESS THAN 30 FEET.
- EXTEND CONTROL (EXPANSION) JOINTS THE FULL HEIGHT OF THE WALL OR LENGTH OF SOFFIT/CEILING MEMBRANE.
- LOCATE CONTROL (EXPANSION) JOINTS AT BOTH JAMBES OF OPENINGS IF GYPSUM BOARD IS NOT "YOKED" (CENTERED ON HEAD OPENING). USE ONE SYSTEM THROUGHOUT.
- WHERE VERTICAL AND HORIZONTAL CONTROL (EXPANSION) JOINTS INTERSECT, VERTICAL CONTROL (EXPANSION) JOINT SHALL BE CONTINUOUS; HORIZONTAL CONTROL (EXPANSION) JOINT SHALL ABUT IT.



NOTE: ALL GYP. BOARD SHALL EXTEND TO FULL HEIGHT OF STUD WALL, OR TO BOT. OF GYP. BD. CLG. (REFER TO REFL., CLG. PLANS). ALL GYP. BD. SHALL EXTEND 6" ABOVE HIGHEST ADJACENT CEILING, UNLESS NOTED OTHERWISE. ALL STUDS SHALL BE ADEQUATELY SUPPORTED AS TO MAINTAIN A RIGID WALL ASSEMBLY.

NOTE: ALL EXPOSED C.M.U. OUTSIDE CORNERS @ WALLS, OPENING JAMBS & UNFINISHED SILL SHALL HAVE SQUARE CORNERS, TYP.

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CLG HGT	REMARKS
				NORTH	SOUTH	EAST	WEST			
FIRST FLOOR										
101	WAITING	EPXY-1	VB-1	P-1	P-1	P-1	P-1	ACT-1	9'-0"	
102	TOILET	EPXY-1	CTB-1	CNT-1/P-2	P-2	P-2	P-2	CNT-1/P-2	VCG-1	9'-0" 1
103	RECEPTION	EPXY-1	KB-1	P-1	P-1	P-1	P-1	ACT-1	9'-0"	
104	CORR.	EPXY-1	VB-1	P-1	P-1	P-1	P-1	ACT-1	9'-0"	
105	OFFICE	LVT-1	KB-1	P-1	P-1	P-1	P-1	ACT-1	9'-0"	
106	BREAK	EPXY-1	VB-1	P-1	P-1	P-1	P-1	ACT-1	9'-0"	
107	TOILET	EPXY-1	CTB-1	CNT-1/P-2	P-2	P-2	P-2	CNT-1/P-2	VCG-1	9'-0" 1
108	STORAGE	SC-1	VB-1	P-1	P-1	P-1	P-1	EXPOSED	--	2,3
109	SERVICE GARAGE	SC-1	--	P-3/EXPOSED	P-3/MLP-1/EXPOSED	P-1	P-3	P-3/EXPOSED	EXPOSED	2,4,5,6,7
110	EXIST. SERVICE	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	3

ROOM SCHED. NOTE:
WALL DIRECTIONS ARE BASED ON "PLAN NORTH" BEING "UE" ON THE PLAN SHEETS (NOT "TRUE" NORTH).

GENERAL ROOM FINISH NOTES:

- ALL GYP. BOARD SURFACES SHALL BE TAPED, MUDDERED, PRIMED, AND FINISHED WITH TWO (2) COATS OF PAINT.
- PROVIDE TRANSITION STRIPS BETWEEN CONCRETE FLOORS AND FINISHED FLOORS TYPICAL.
- REFER TO REFLECTED CEILING PLAN FOR GYPSUM WALL BOARD SOFFITS.
- FLOOR FINISH MATERIALS SHALL TRANSITION AT THE CENTER OF THE COMMUNICATING DOOR.
- REFER TO REFLECTED CEILING PLAN FOR CEILING MATERIAL TRANSITIONS.
- ALL CEILING GRIDS SHALL BE CENTERED IN EACH ROOM UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL AND MECHANICAL FIXTURES TO BE INSTALLED WITHIN CEILING SHALL BE CENTERED ON CEILING TILE UNLESS NOTED OTHERWISE.
- GYPSUM BOARD IN THE RESTROOMS AND SURROUNDING THE UTILITY SINK SHALL BE MOISTURE RESISTANT.
- METAL EDGE STRIPS TO BE INSTALLED WHERE EXPOSED EDGE OF TILE MEETS CARPET, WOOD OR OTHER FLOORING.
- USE SCHLUTER RONDEC AT TOP OF TILE (WHERE APPLICABLE, OR NO-BULL-NOSE TRIM IS USED) @ OUTSIDE CORNERS.

ROOM FINISH SCHEDULE REMARKS:

- CNT-1 TO 5'-0" A.F.F., P-2 TO CEILING ABOVE. (SEE TYPICAL TILE ELEVATION FOR MORE INFO.)
- AREAS WITH SC-1, PROVIDE AN **ALTERNATE BID** FOR EPXY-1. PRICE EACH AREA SEPARATELY.
- EXISTING FINISHES TO REMAIN IN THIS ROOM, NO WORK.
- NO CEILING, EXPOSED TO STRUCTURE ABOVE.
- SERVICE BAY NORTH WEST WALLS: P-3 TO 8'-0" A.F.F., EXPOSED FEMB WALL ABOVE TO ROOF
- SERVICE BAY EAST WALL: P-3 ENTIRE WALL, FULL HEIGHT
- SERVICE BAY SOUTH WALL: P-3 TO 8'-0" A.F.F., MLP-1 ABOVE AT WOOD STUD WALL ONLY, EXPOSED FEMB WALL ABOVE MLP-1 TO ROOF.
- PAINTED GYPSUM BOARD CEILING ATTACHED TO 2x10 ROOF STRUCTURE ABOVE, COLOR T.B.D.

FLOOR FINISH CODES:

EPXY-1: EPOXY FLOORING:
FINISH: DECORATIVE FLAKE
COLOR: QUARTZ BROADCAST

LVT-1: LUXURY VINYL TILE (COMMERCIAL GRADE):
COLOR: T.B.D.
STYLE: T.B.D.
SIZE: T.B.D.

SC-1: SEALED EXPOSED CONCRETE:

BASE FINISH CODES:

VB-1: VINYL COVE WALL BASE:
MFR: T.B.D.
COLOR: T.B.D.
SIZE: 4" TALL

KB-2: WOOD WALL BASE:
SPECIES: MAPLE, IV EASED EDGE
SIZE: 3/4" THICK X 5" TALL

CTB-1: CERAMIC TILE BASE:
MFR: T.B.D.
COLOR: T.B.D.
FINISH: T.B.D.
SIZE: 6" TALL
GROUT: T.B.D.

WALL FINISH CODES:

P-1: GYPSUM BOARD - PAINTED
PAINT TYPE: INTERIOR GRADE LATEX
COLOR: T.B.D.
FINISH TYPE: LIGHT SKIP TROWEL

P-2: MOISTURE RESISTANT GYPSUM BOARD - PAINTED
PAINT TYPE: INTERIOR GRADE LATEX (MADE FOR HIGH MOISTURE)
COLOR: T.B.D.
FINISH TYPE: LIGHT SKIP TROWEL

P-3: CMU - PAINTED
PAINT TYPE: CMU GRADE PAINT IV BLOCK FILLER
COLOR: T.B.D.

CNT-1: MOISTURE RESISTANT GYP. BD. IV CERAMIC WALL TILE
HEIGHT: 5'-0" A.F.F.
TYPE/FINISH: T.B.D.
COLOR: T.B.D.

MLP-1: PRE-FINISHED METAL LINER PANEL (26 GAUGE)
COLOR: T.B.D.
LOCATION: INSTALLED AT EXPOSED WOOD STUD WALL IV FLAT GRIDS AS REQUIRED.

EXPOSED: EXPOSED FEMB STRUCTURE/INSULATION FABRIC

CEILING FINISH CODES:

ACT-1: ACOUSTICAL LAY-IN TILES:
MFR.: ARMSTRONG OR EQUAL
STYLE: ULTRA, BEVELED REGULAR
SIZE: 24"x24"
COLOR: WHITE
GRID: NARROW GRID, WHITE

VCG-1: VINYL COVERED GYPSUM BOARD, LAY-IN TILES:
MFR.: ARMSTRONG OR EQUAL
STYLE: T.B.D.
SIZE: 24"x24"
COLOR: WHITE
GRID: T.B.D.

EXPOSED: OPEN TO STRUCTURE/INSULATION ABOVE

INTERIOR WALL TYPES

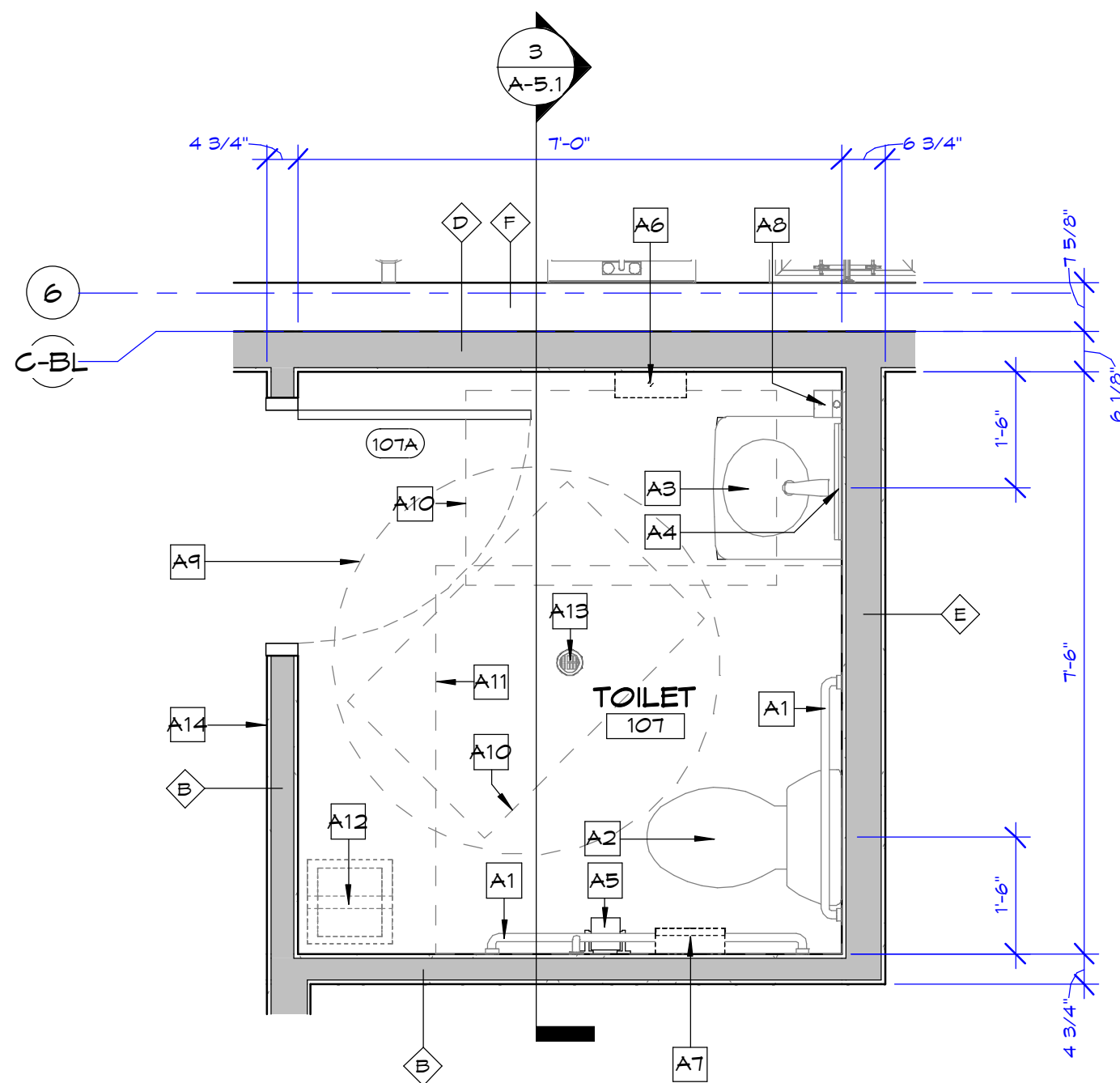
1" = 1'-0"

TOILET ROOM GENERAL NOTES:

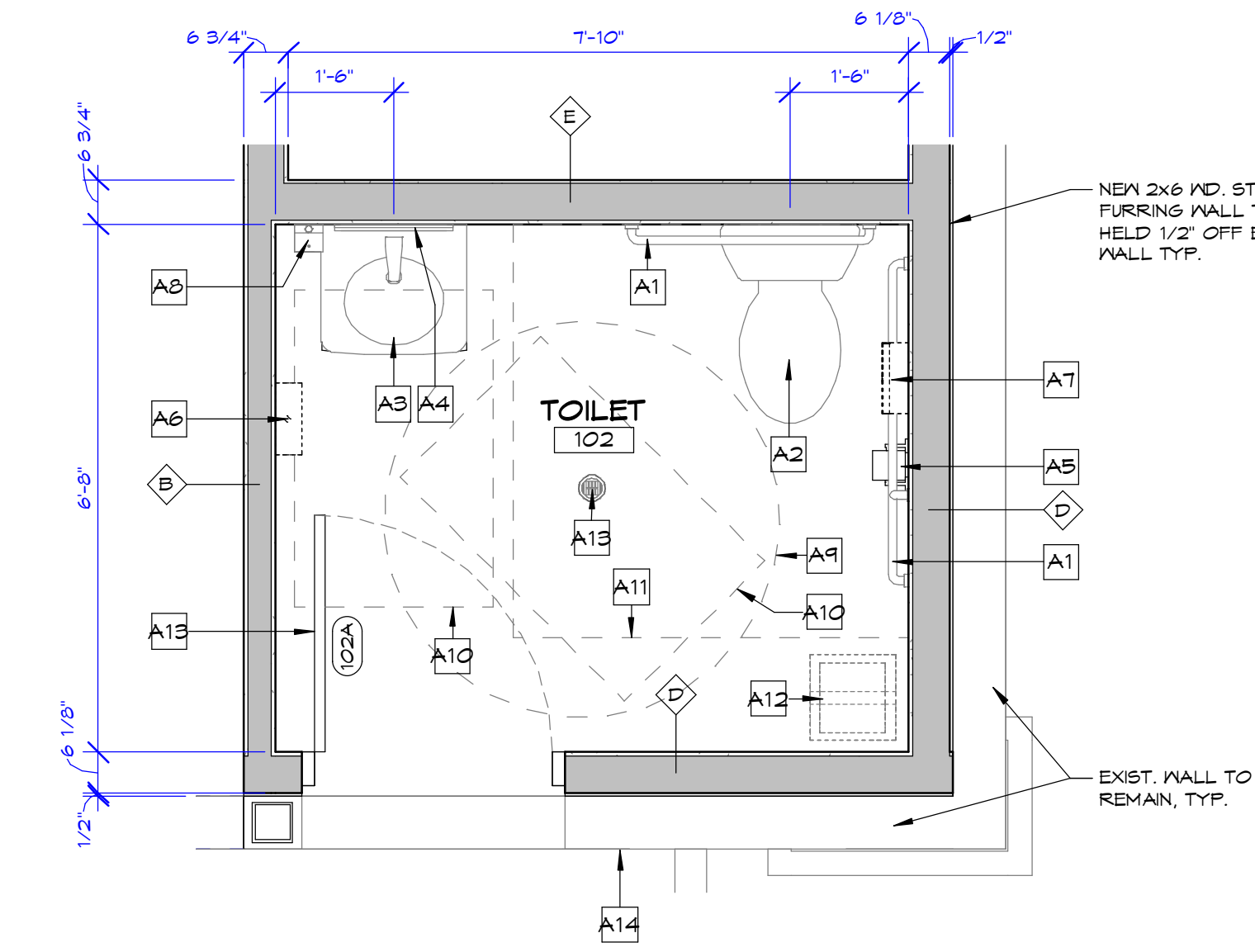
- ALL TOILET ROOM ACCESSORIES SHALL BE INSTALLED ACCORDING TO "ADA" GUIDELINES. SEE ADA GUIDELINE DETAILS FOR ADDITIONAL INFORMATION.
- ALL TOILET ROOM FLOOR FINISHES SHALL BE OF A SMOOTH, HARD, NON-ABSORBENT MATERIAL AND SHALL EXTEND A MIN. OF 4" UPWARD ONTO WALLS (i.e. CERAMIC BASE, VINYL COMPOSITION TILE IV 4" VINYL BASE, ETC.). COORDINATE FLOOR FINISHES IV ROOM FINISH SCHEDULE/OWNER.
- ALL TOILET ROOM WALLS SHALL BE FINISHED IV MIN. (2) COATS OF OL-BASED OR OTHER IMPERVIOUS MATERIAL, COORDINATE TEXTURE IV OWNER.
- GYPSUM BOARD IN THE RESTROOMS AND SURROUNDING THE UTILITY SINK SHALL BE MOISTURE RESISTANT.
- PROVIDE WOOD BLOCKING SUPPORT AS REQUIRED FOR MOUNTING ACCESSORIES.

TOILET ROOM ACCESSORIES

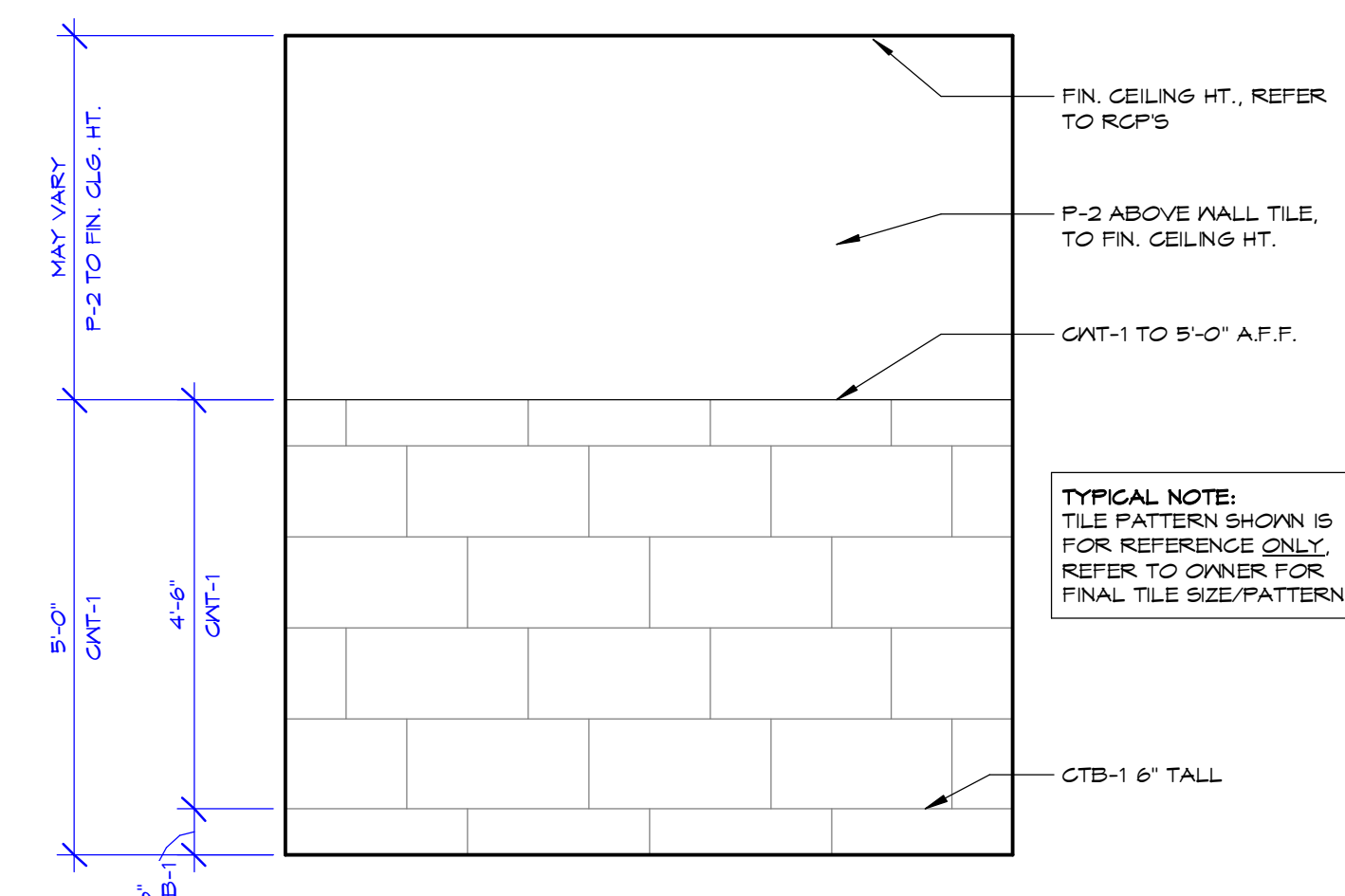
A1	PROVIDE AND INSTALL 36" x 42" HORIZONTAL & 18" VERTICAL GRAB BARS, BATIN FINISH STAINLESS STEEL OR EQUAL. REFER TO MOUNTING HEIGHT DETAILS.
A2	PROVIDE AND INSTALL ADA COMPLIANT WATER CLOSET, BY PLUMBING CONTRACTOR.
A3	PROVIDE & INSTALL ADA COMPLIANT WALL HUNG LAVATORY WITH MANUAL FAUCET & OFFSET GRID STRAINER, BY PLUMBING CONTRACTOR.
A4	24"x36" MIRROR OVER LAVATORY. REFER TO ACCESSIBILITY DETAILS FOR MOUNTING HEIGHT. INSTALLED BY GENERAL CONTRACTOR.
A5	TOILET PAPER DISPENSER, INSTALLED BY GENERAL CONTRACTOR.
A6	PAPER TOWEL DISPENSER, INSTALLED BY GENERAL CONTRACTOR.
A7	SANITARY NAPKIN DISPOSAL BY OWNER IF PROVIDED, INSTALLED BY GENERAL CONTRACTOR.
A8	WALL MOUNTED SOAP DISPENSER, SELECTED BY OWNER & INSTALLED BY GENERAL CONTRACTOR.
A9	REQUIRED 60" ADA TURNING CIRCLE.
A10	REQUIRED 30" x 48" ADA CLEAR FLOOR SPACE.
A11	REQUIRED 60"x60" ADA CLEAR SPACE AT WATER CLOSET.
A12	TRASH CAN, PROVIDED BY OWNER.
A13	FLOOR DRAIN, BY PLUMBING CONTRACTOR.
A14	ADA TOILET ROOM SIGNAGE IV BRAILLE - SIGN AND MOUNTING BY GENERAL CONTRACTOR, REFER TO MOUNTING DETAILS.



ENLRGD. TOILET PLAN (#107)
1/2" = 1'-0"



ENLRGD. TOILET PLAN (#102)
1/2" = 1'-0"



TYP. TILE ELEV. @ TOILET ROOM
1/2" = 1'-0"

PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

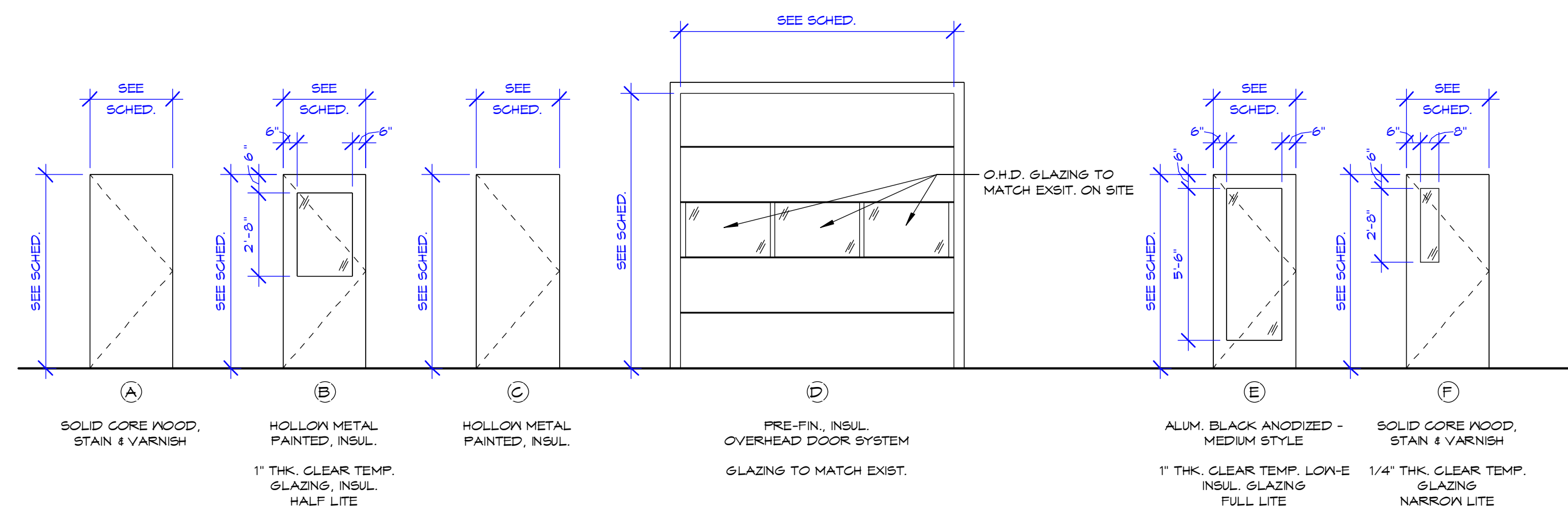
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SHEET INFORMATION

A.C.E. JOB NO.	
DATE:	08-19-204
DRAWN BY:	DAH
SCALE:	As indicated

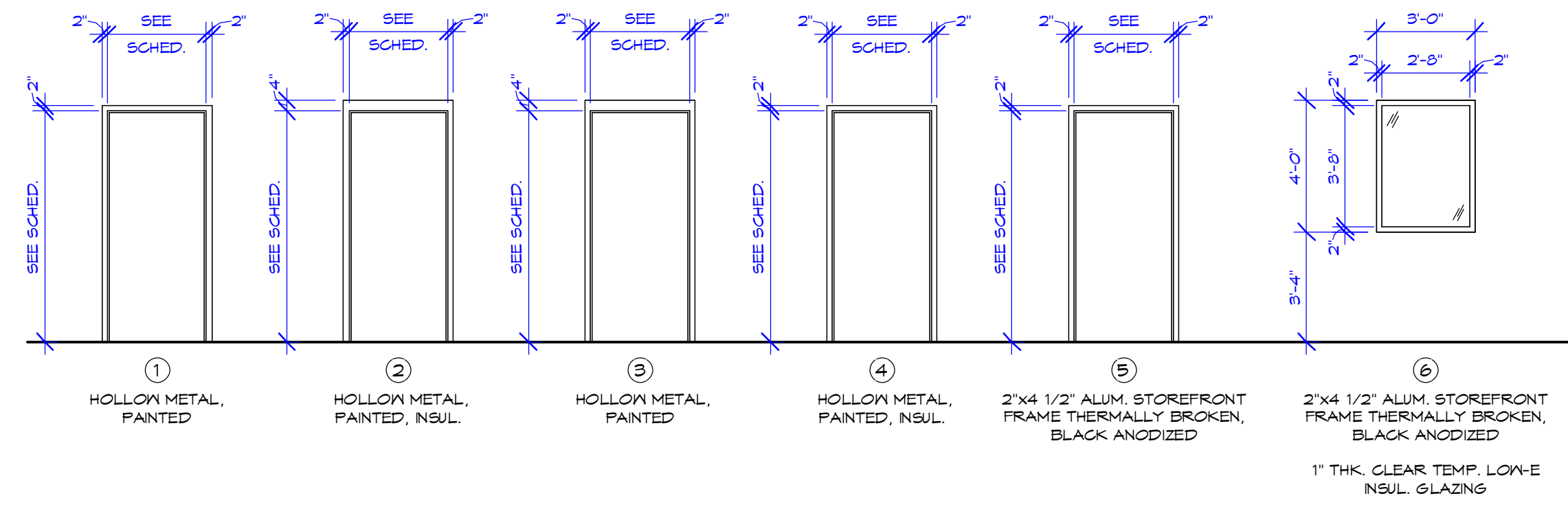
ROOM FINISH SCHED. & TOILET PLANS

SHEET
A-2.1



DOOR ELEVATIONS

1/4" = 1'-0"



FRAME ELEVATIONS

1/4" = 1'-0"

DOOR NO.	FROM	TO	HAND	DOOR					FRAME			HRD'W. GROUP	FIRE RATING	REMARKS
				OPENING		TYPE	MAT'L	FINISH	TYPE	MAT'L	FINISH			
				WIDTH	HEIGHT									
FIRST FLOOR														
101A	EXTERIOR	WAITING	LHR	3'-0"	7'-0"	E	ALUM.	ANOD.	5	ALUM.	ANOD.	1	--	1,6
101B	WAITING	EXIST. SERVICE	LH	3'-0"	7'-0"	B	H.M.	PAINT	4	H.M.	PAINT	2	--	1
101C	WAITING	RECEPTION	WALL OPNG.	18'-7 1/4"	8'-0"	--	--	--	--	--	--	--	--	2
102A	WAITING	TOILET	LH	3'-0"	7'-0"	A	WOOD	S 4 V	3	H.M.	PAINT	4	--	4
104A	CORRIDOR	SERVICE GARAGE	LH	3'-0"	7'-0"	B	H.M.	PAINT	2	H.M.	PAINT	2	--	5
105A	CORRIDOR	OFFICE	RH	3'-0"	7'-0"	F	WOOD	S 4 V	1	H.M.	PAINT	6	--	3
105B	EXTERIOR	OFFICE	WINDOW	3'-0"	4'-0"	--	--	--	6	ALUM.	ANOD.	--	--	3
106A	CORRIDOR	BREAK	LH	3'-0"	7'-0"	F	WOOD	S 4 V	1	H.M.	PAINT	5	--	3
106B	EXTERIOR	BREAK	WINDOW	3'-0"	4'-0"	--	--	--	6	ALUM.	ANOD.	--	--	3
106C	EXTERIOR	BREAK	WINDOW	3'-0"	4'-0"	--	--	--	6	ALUM.	ANOD.	--	--	3
107A	CORRIDOR	TOILET	LH	3'-0"	7'-0"	A	WOOD	S 4 V	1	H.M.	PAINT	4	--	4
108A	SERVICE GARAGE	STORAGE	LH	3'-0"	7'-0"	G	H.M.	PAINT	2	H.M.	PAINT	5	--	6
109A	EXTERIOR	SERVICE GARAGE	LHR	3'-0"	7'-0"	G	H.M.	PAINT	2	H.M.	PAINT	1	--	7
109B	EXTERIOR	SERVICE GARAGE	O.H.D.	12'-0"	14'-0"	D	BY MFR.	PRE-FIN.	--	--	--	7	--	7
109C	EXTERIOR	SERVICE GARAGE	O.H.D.	12'-0"	14'-0"	D	BY MFR.	PRE-FIN.	--	--	--	7	--	7
109D	EXTERIOR	SERVICE GARAGE	O.H.D.	12'-0"	14'-0"	D	BY MFR.	PRE-FIN.	--	--	--	7	--	7
109E	SERVICE GARAGE	EXIST. SERVICE	WALL OPNG.	12'-0"	10'-0"	--	--	--	--	--	--	--	--	2
110A	EXTERIOR	EXIST. SERVICE	RHR	3'-0"	7'-0"	B	H.M.	PAINT	2	H.M.	PAINT	1	--	1,6
110B	EXTERIOR	EXIST. SERVICE	LHR	3'-0"	7'-0"	C	H.M.	PAINT	2	H.M.	PAINT	1	--	1,6

OPENING SCHED. NOTE:
ONLY NEW DOORS/WINDOWS ARE LISTED ON THE OPENING SCHEDULE. ALL EXISTING DOORS ARE TO REMAIN AS-IS UNLESS NOTED OTHERWISE.

SCHEDULE NOTE:
OPENING SCHEDULE & HARDWARE TO BE REVIEWED WITH OWNER PRIOR TO ORDERING DOORS/WINDOWS.

GENERAL DOOR & WINDOW NOTES:

- VERIFY ALL OPENING DIMENSIONS PRIOR TO FABRICATION OR CONSTRUCTION OF ALL DOORS & FRAMES.
- ALL HARDWARE TO BE AMERICANS WITH DISABILITIES ACT (A.D.A.) COMPLIANT.
- PROPER EXIT HARDWARE IS REQUIRED ON ALL EXIT AND EXIT ACCESS DOORS. HARDWARE SHALL COMPLY WITH REQUIREMENTS OF IBC SECTION 1003.1.8 THRU 1003.1.9.
- ALL FRAMES TO BE FIELD VERIFIED PRIOR TO FABRICATION BY WINDOW SUPPLIER.
- ALL GLAZING IN HAZARDOUS IMPACT AREAS SHALL BE SAFETY GLAZING IN ACCORDANCE WITH SECTION 2406.
- ALL HOLLOW METAL DOORS/FRAMES SHALL BE WELDED. NO KNOCK DOWN FRAMES PERMITTED.
- ALL EXTERIOR HOLLOW METAL EXIT DOORS TO HAVE LATCH GUARDS AND CLOSERS.
- ALUMINUM ENTRANCE DOORS SHALL BE EQUIPPED WITH CYLINDER LOCK, INTERIOR TURN-LOCK, SURFACE MOUNTED SELF CLOSER AND DOOR STOP.
- STANDARD ROUND PUSH/PULLS UNLESS NOTED OTHERWISE. FINISH TO MATCH DOORS.
- ALL KEYING SHALL BE COORDINATED AND VERIFIED WITH OWNER AND/OR OWNER'S REPRESENTATIVE.
- ALL INTERIOR ALUMINUM FRAMES SHALL HAVE A MAXIMUM 1/8" CAULK JOINT AROUND PERIMETER.
- ALL ALUMINUM STOREFRONT TO BE CLASS I ANODIZED ALUMINUM.
- REFER TO EXTERIOR HOLLOW METAL DOORS AND/OR FRAMES TO BE GALVANIZED.
- REFER TO DETAILS 1/A-3.1, 2/A-3.1 AND 3/A-3.1 FOR TYPICAL HOLLOW METAL AND ALUMINUM REQUIREMENTS.

OPENING SCHEDULE REMARKS:

- NEW DOOR IN EXISTING ROUGH OPENING, PATCH WALL AS NEEDED FROM DEMO WORK.
- NEW WALL OPENING IN EXISTING CMU WALL, DEMO & PATCH WALL AS NEEDED. PROVIDE LINTEL AS REQUIRED, SEE STRUCTURAL DRAWINGS FOR MORE INFO.
- EXTERIOR WINDOW, REFER TO WINDOW/FRAME ELEVATIONS FOR MORE INFO.
- LIGHTLY BRUSHED, STAINLESS STEEL KICK PLATE, ONE SIDE OF DOOR (TOILET ROOM SIDE).
- LIGHTLY BRUSHED, STAINLESS STEEL KICK PLATES, BOTH SIDES OF DOOR.
- EXTERIOR DOOR TO HAVE HEAVY DUTY HINGES, HYDRAULIC CLOSER, WEATHER-STRIPPING, DOOR SWEEP, & ADA ALUMINUM THRESHOLD.
- OVERHEAD DOOR SYSTEM SUPPLIED BY MANUFACTURER.

DOOR HARDWARE GROUPS

- HARDWARE SET #1**
- HEAVY DUTY CLOSER
 - LATCH GUARD
 - THRESHOLD
 - SCHLAGE ND SERIES LEVER HANDLE ENTRANCE LOCKSET
 - WEATHER STRIPPING
 - EXTERIOR GRADE BALL BEARING BUTTS
- HARDWARE SET #2**
- MEDIUM DUTY CLOSER
 - PUSH/PULL
 - THRESHOLD
- HARDWARE SET #3**
- SCHLAGE ND SERIES LEVER HANDLE PASSAGE LATCH
 - MEDIUM DUTY CLOSER
 - BALL BEARING BUTTS
 - KICK-DOWN DOOR STOP
- HARDWARE SET #4**
- SCHLAGE ND SERIES LEVER HANDLE PRIVACY LOCK
 - MEDIUM DUTY CLOSER
 - BALL BEARING BUTTS
 - KICK-DOWN DOOR STOP
- HARDWARE SET #5**
- SCHLAGE ND SERIES LEVER HANDLE STOREROOM LOCK
 - BALL BEARING BUTTS
 - MEDIUM DUTY CLOSER
 - KICK-DOWN DOOR STOP
- HARDWARE SET #6**
- SCHLAGE ND SERIES HANDLE OFFICE LOCK
 - BALL BEARING BUTTS
 - WALL MOUNT DOOR STOP
- HARDWARE SET #7**
- HEAVY DUTY JACKSHAFT DOOR OPERATOR
 - PHOTO EYES
 - THREE-BUTTON CONTROL STATION
 - (2) 2-BUTTON PROGRAMMABLE REMOTES

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PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

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SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08-19-204
DRAWN BY:	DAH
SCALE:	As indicated
OPENING SCHEDULE	

SHEET
A-3.1

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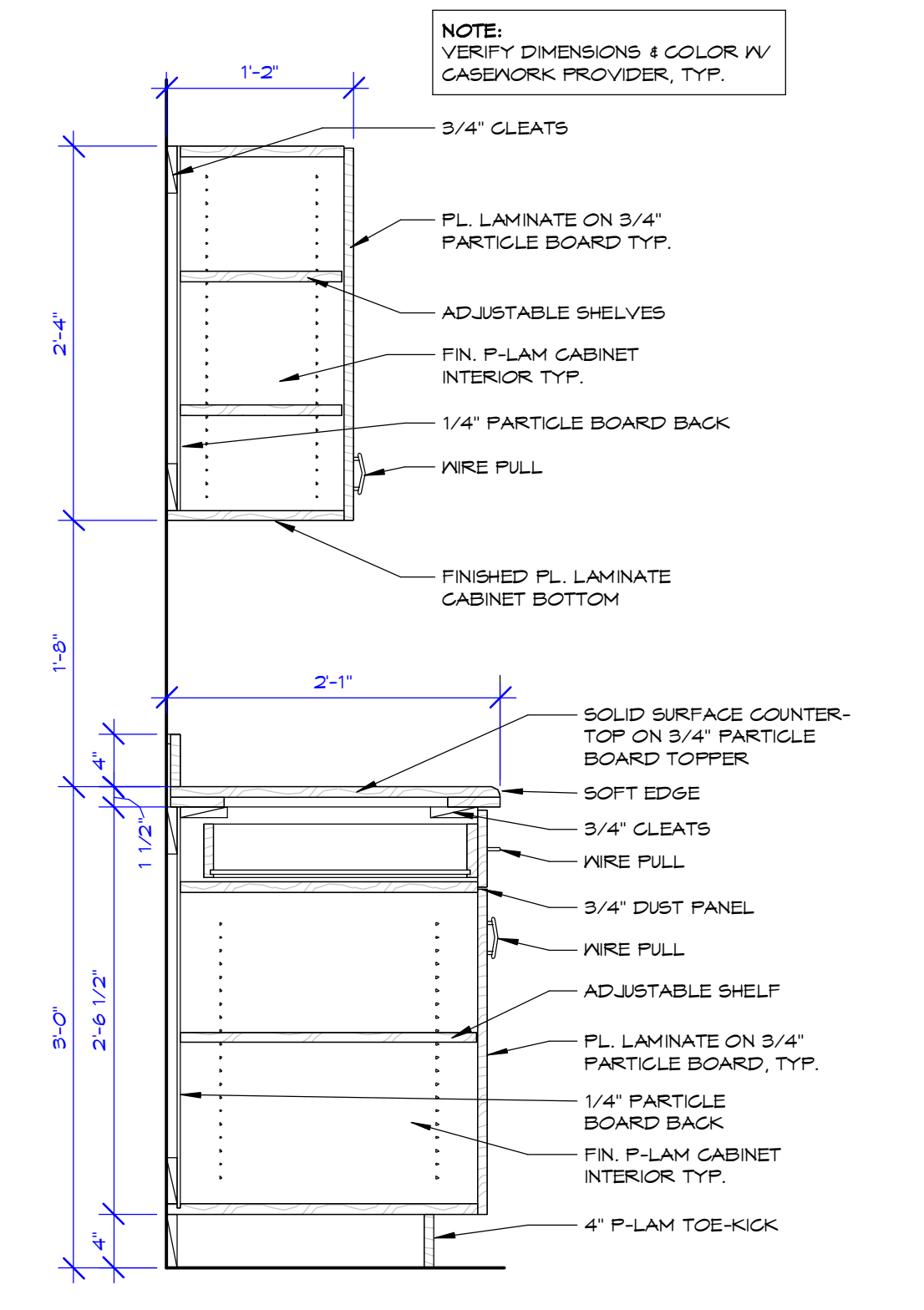
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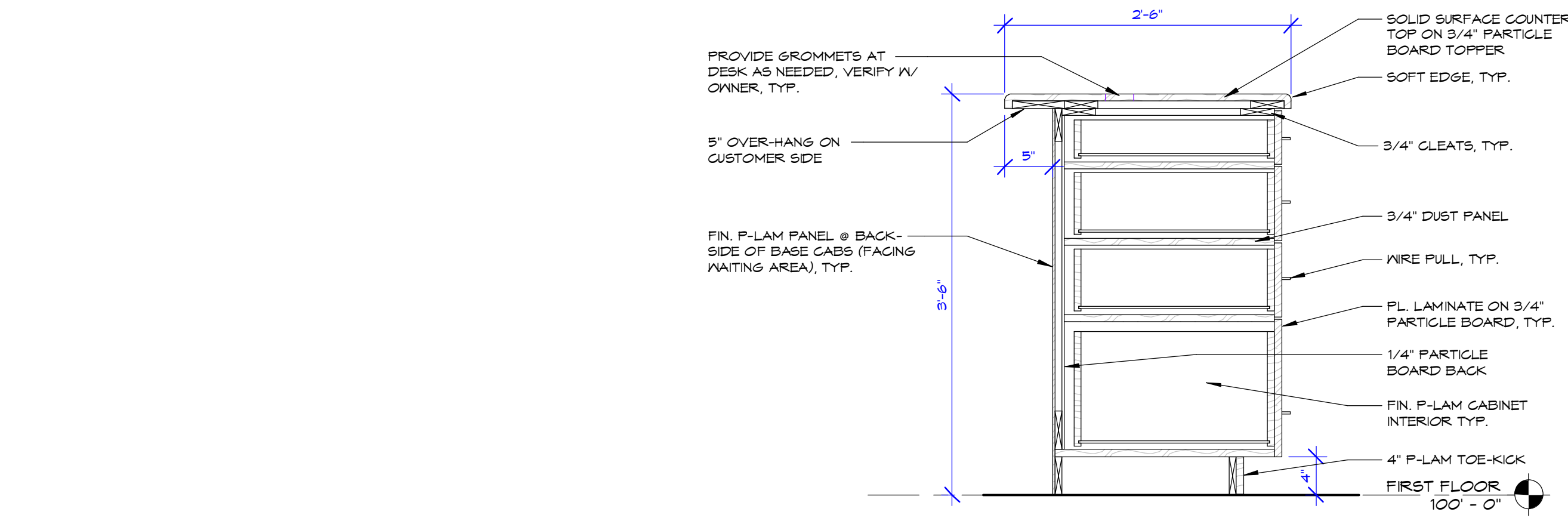
SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08-19-2014
DRAWN BY:	DAH
SCALE:	As indicated

CASEWORK
ELEVATIONS & DETAILS
SHEET

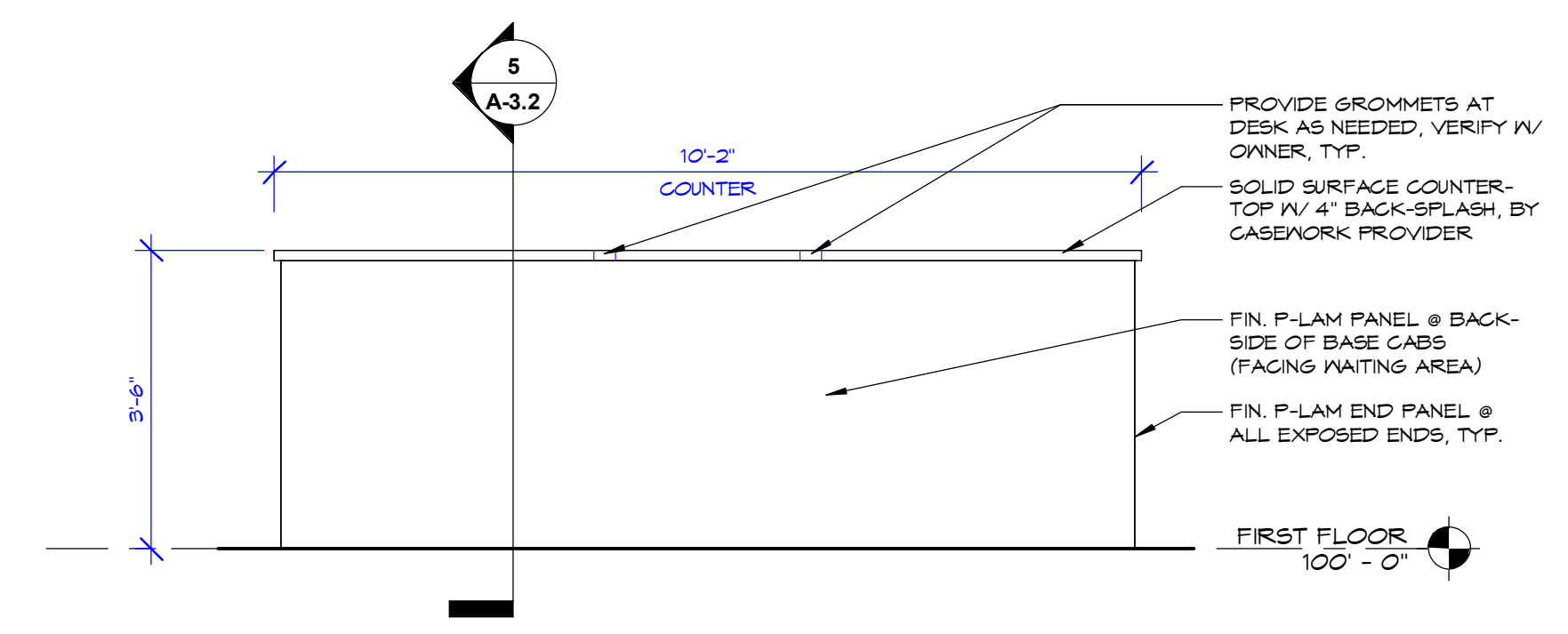
A-3.2



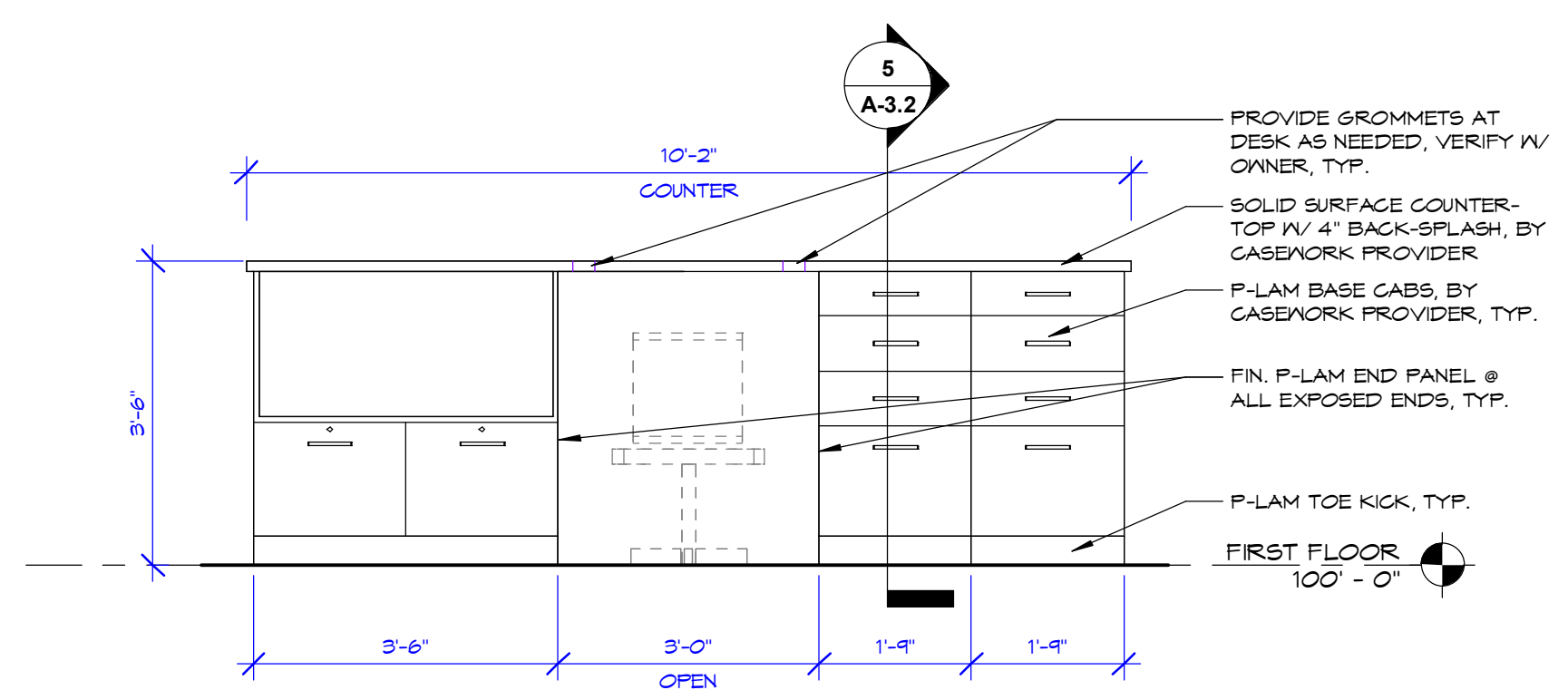
3 TYPICAL CABINET SECTION
1" = 1'-0"



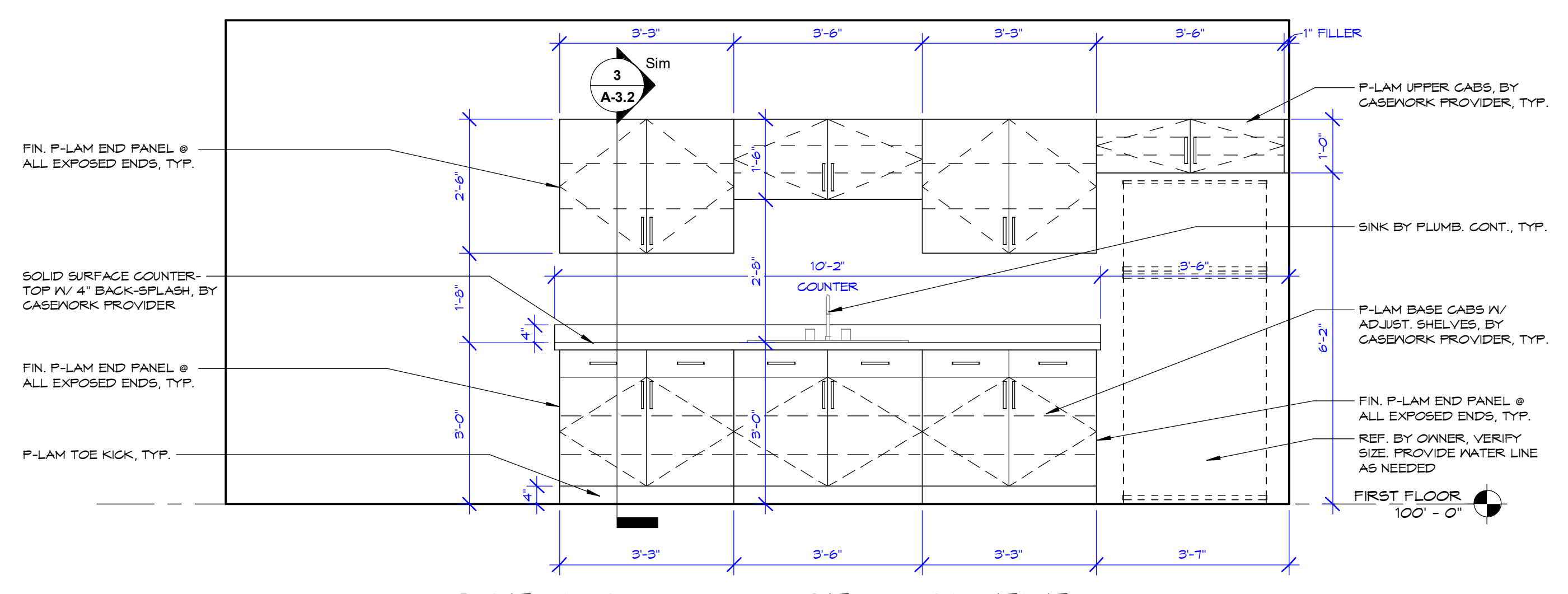
5 TYP. SECT. @ RECEPTION DESK
1" = 1'-0"



4 RECEPTION DESK ELEV. (CUSTOMER SIDE)
1/2" = 1'-0"



2 RECEPTION DESK ELEV. (WORKER SIDE)
1/2" = 1'-0"



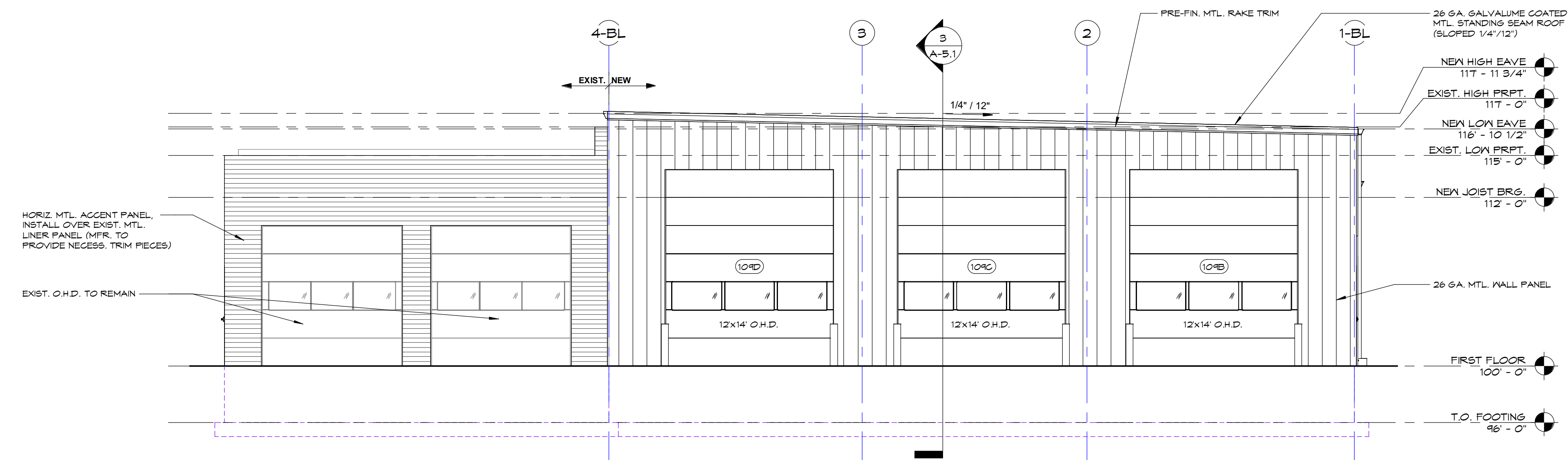
1 BREAKROOM CASEWORK ELEV.
1/2" = 1'-0"

NO.	REVISION DESCRIPTION	DATE	REV. BY

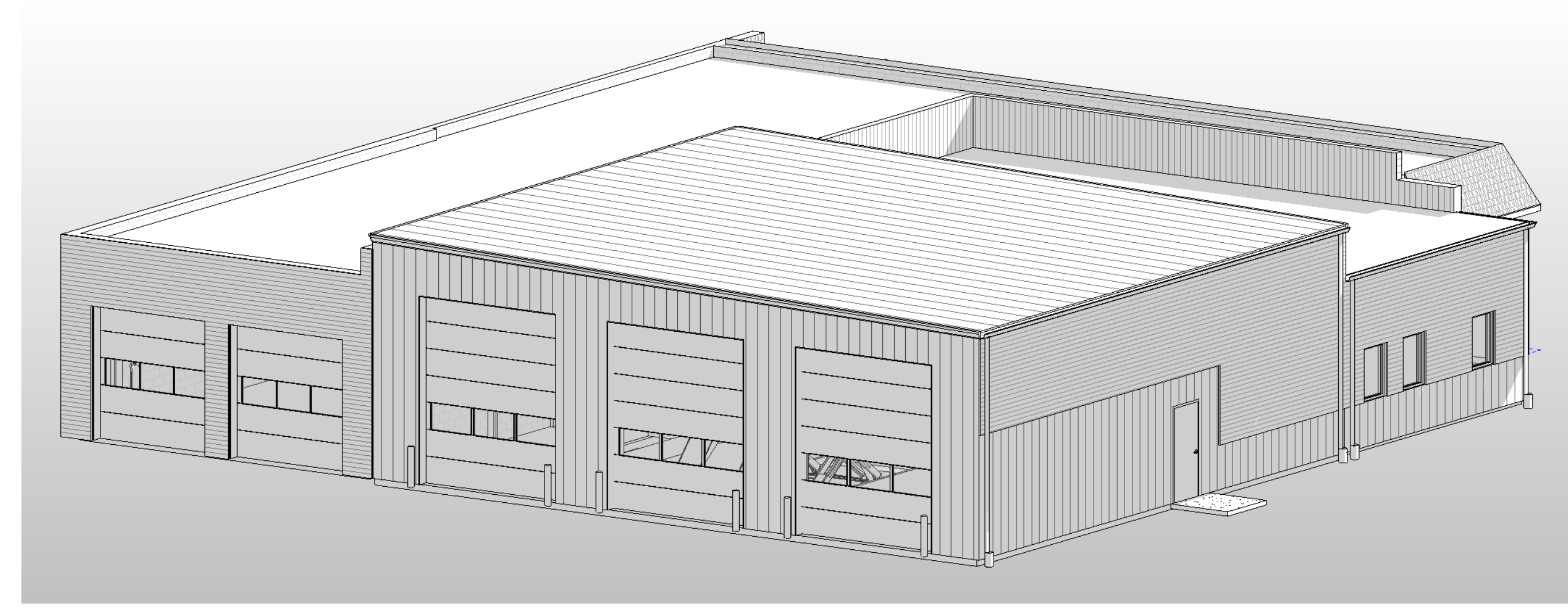
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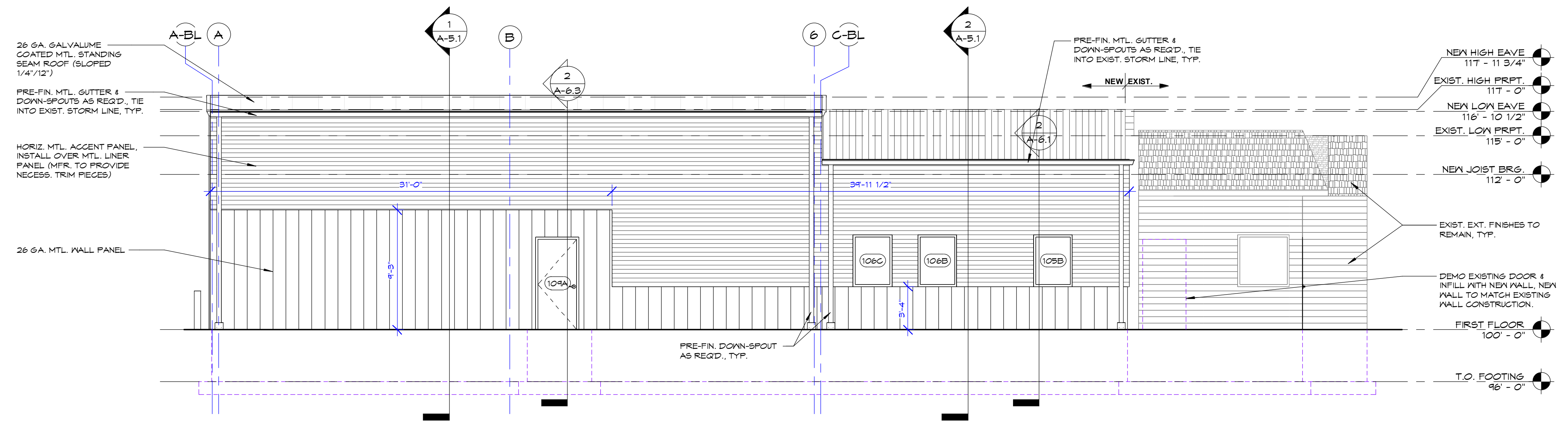
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3 BUILDING ELEVATION - EAST
A-4.1 3/16" = 1'-0"



1 3D - NORTHEAST PERSPECTIVE



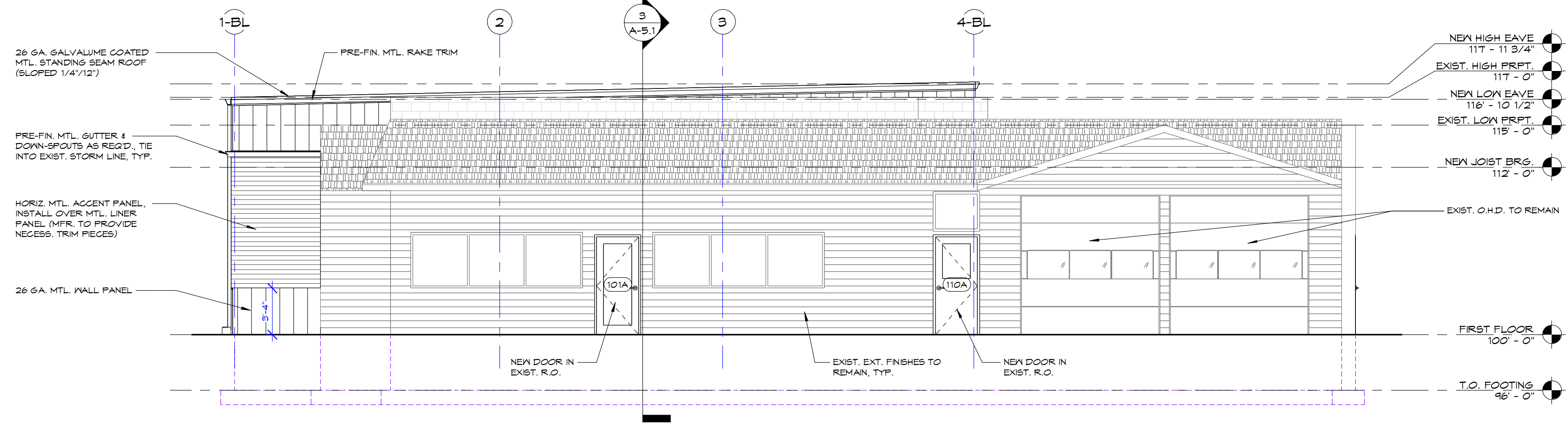
2 BUILDING ELEVATION - NORTH
A-4.1 3/16" = 1'-0"

PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

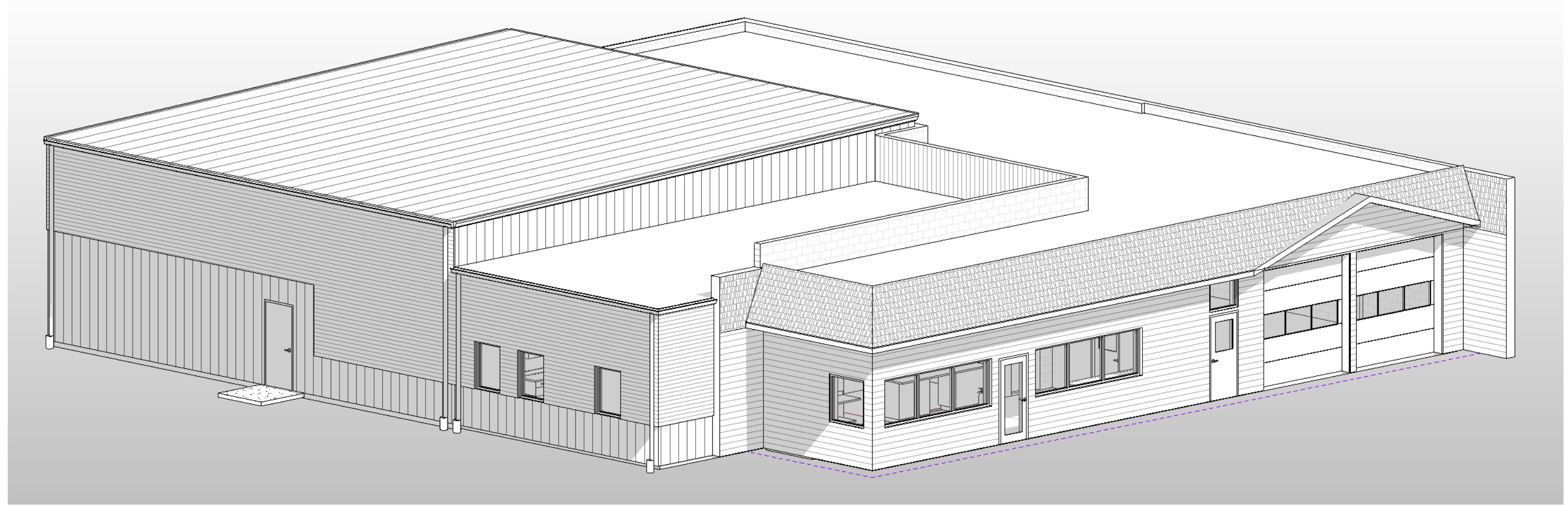
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DATE: 08-19-204
DRAWN BY: DAH
SCALE: 3/16" = 1'-0"
EXTERIOR ELEVATIONS

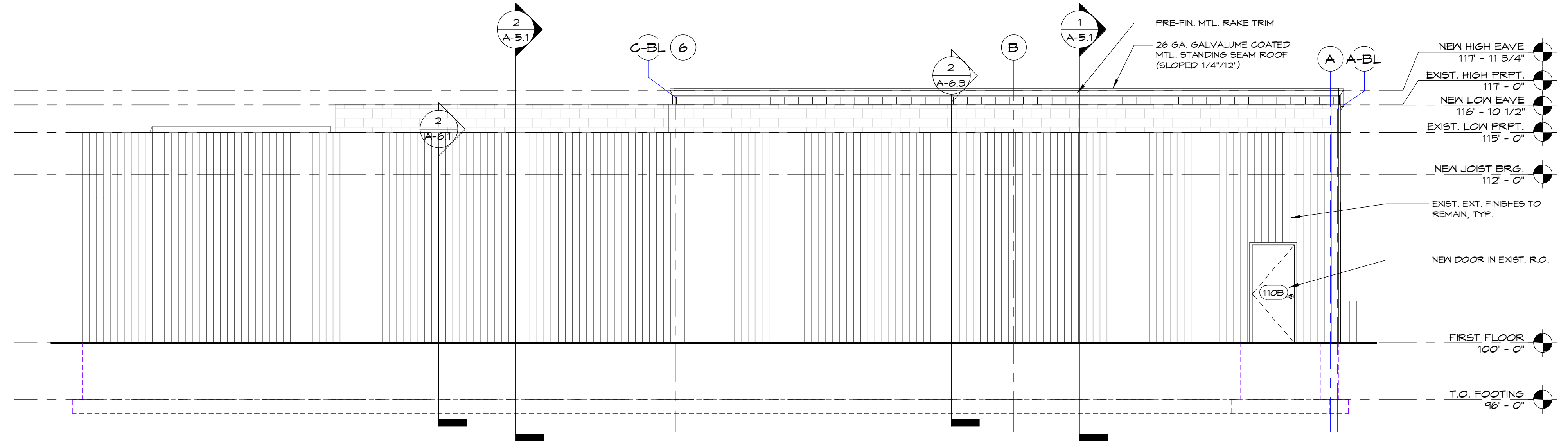
SHEET
A-4.1



1 BUILDING ELEVATION - WEST
 3/16" = 1'-0"



3 3D - NORTHWEST PERSPECTIVE



2 BUILDING ELEVATION - SOUTH
 3/16" = 1'-0"

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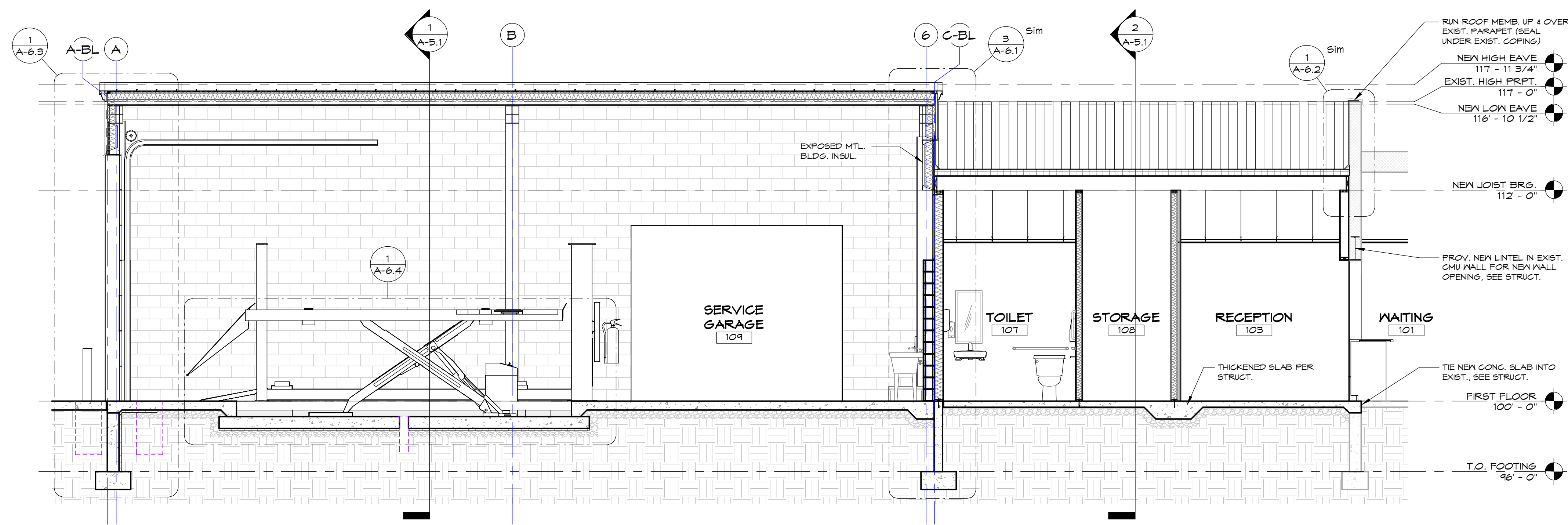
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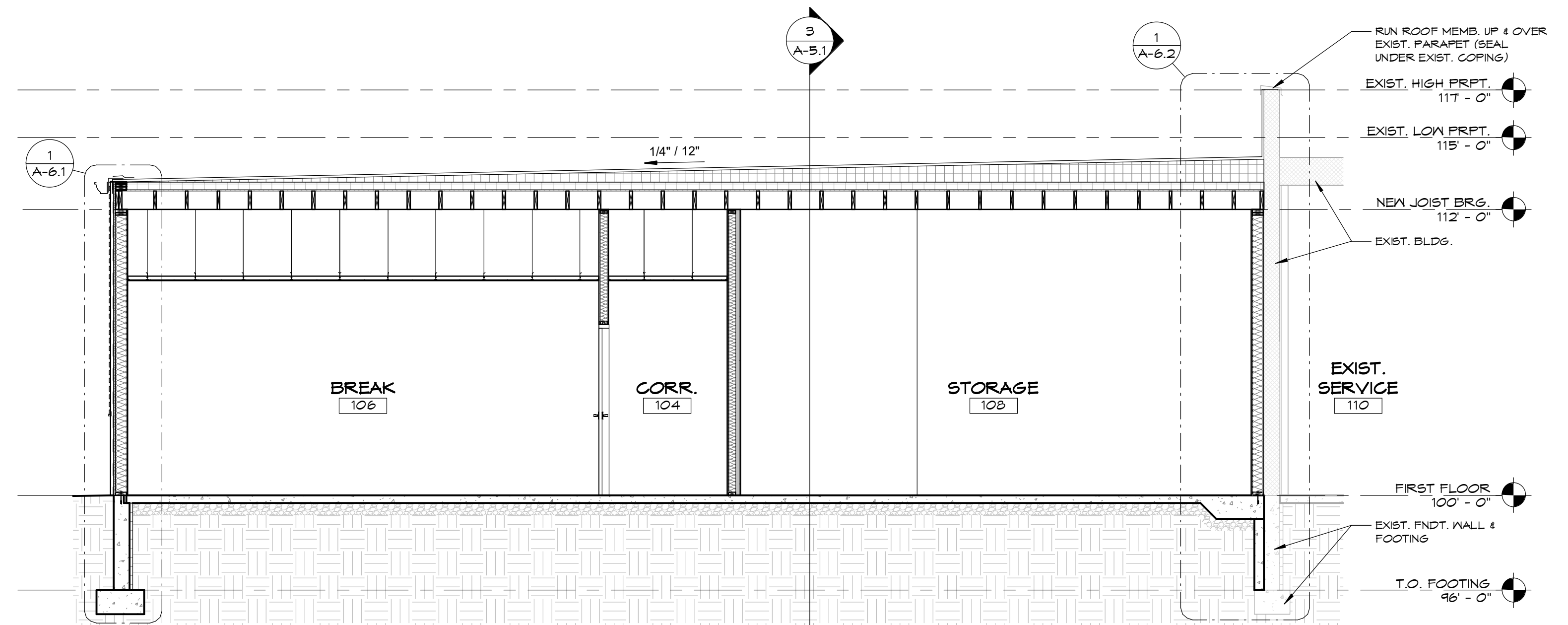
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 SCALE: 3/16" = 1'-0"
 EXTERIOR ELEVATIONS

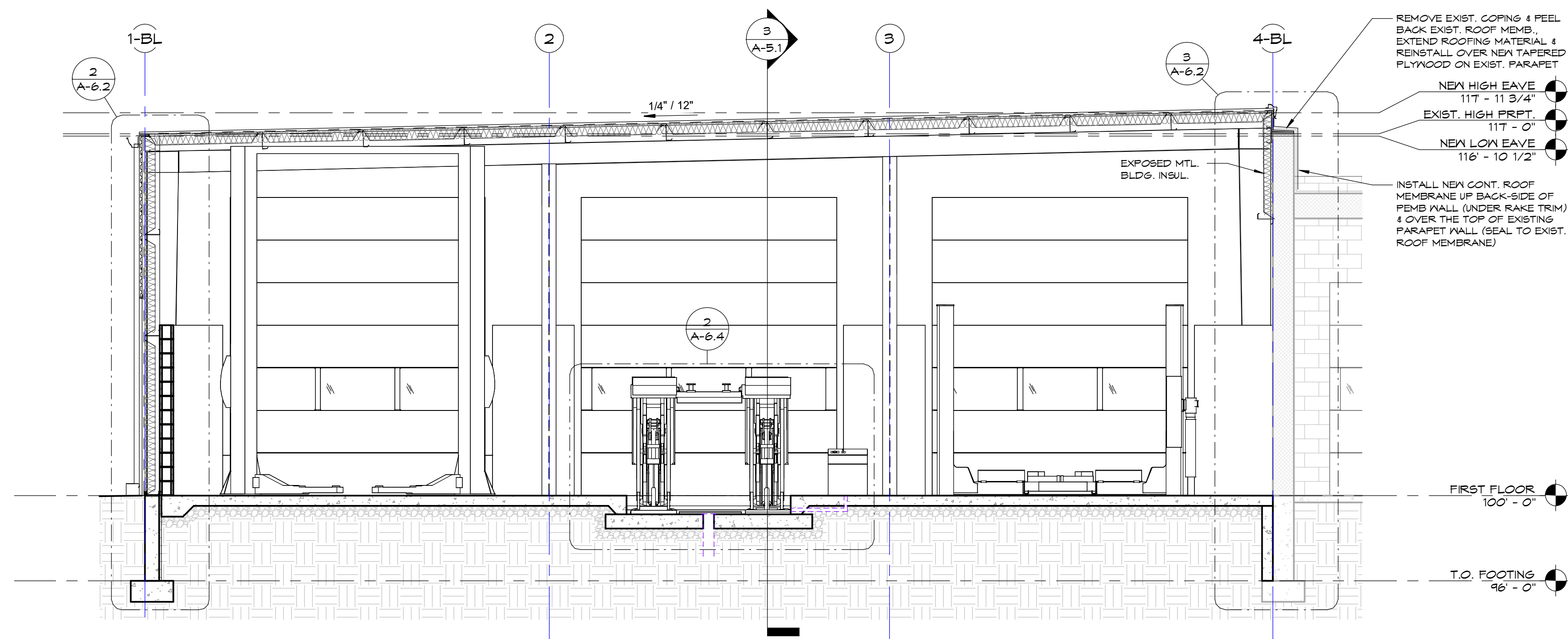
SHEET
A-4.2



3 BUILDING SECTION - OFFICE/SERVICE BAY
1/4" = 1'-0"



2 BUILDING SECTION @ OFFICE
1/4" = 1'-0"



1 BUILDING SECTION @ SERVICE GARAGE
1/4" = 1'-0"

NOTE: BUILDING SECTIONS FOR MASSING ONLY. REFER TO WALL SECTIONS & DETAILS FOR ADDTL. INFO.

REV. BY	DATE	REVISION DESCRIPTION

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SHEET INFORMATION
 A.C.E. JOB NO.
 DATE: 08-19-204
 DRAWN BY: DAH
 SCALE: 1/4" = 1'-0"
 BUILDING SECTIONS

SHEET
A-5.1

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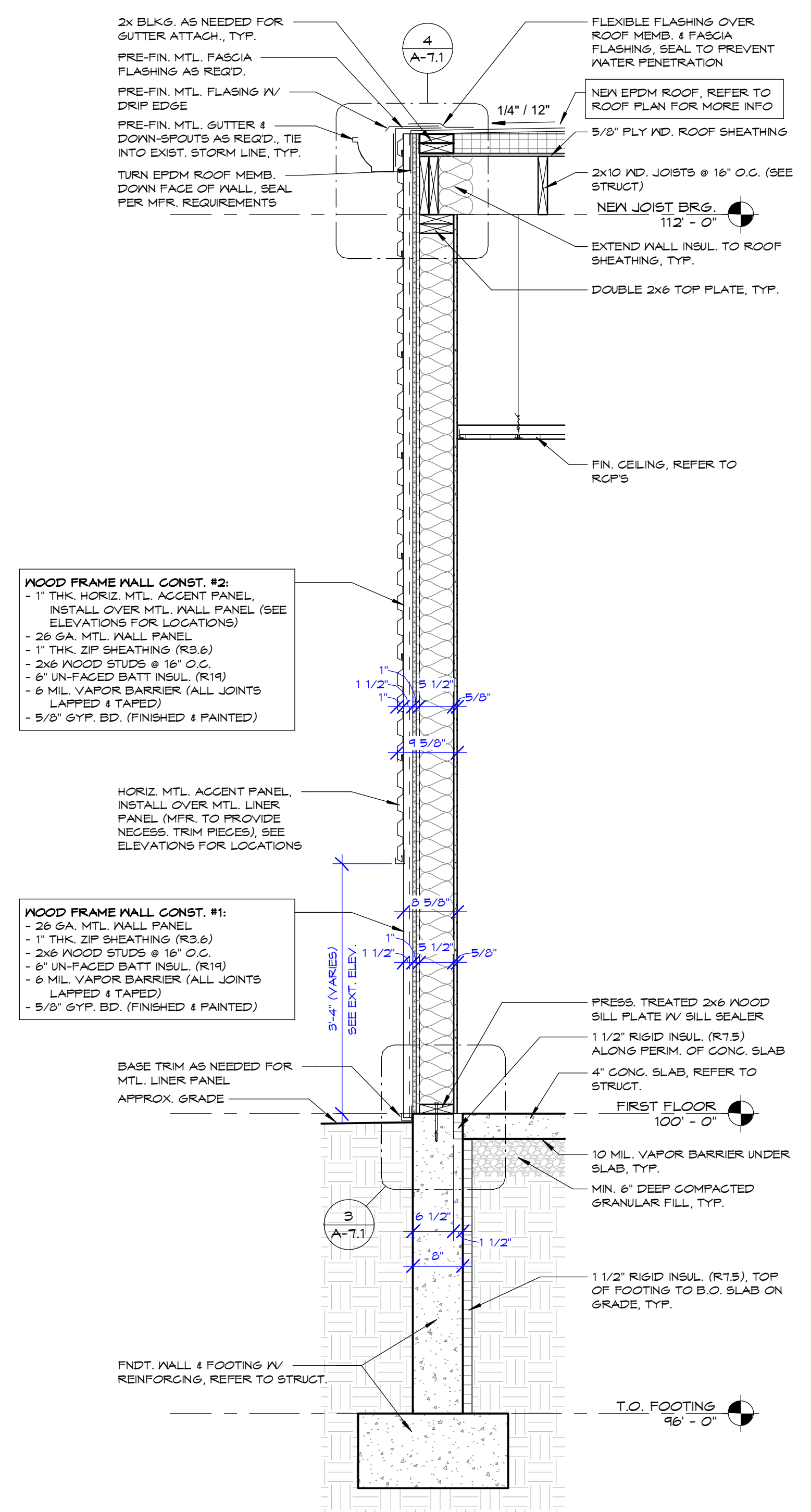
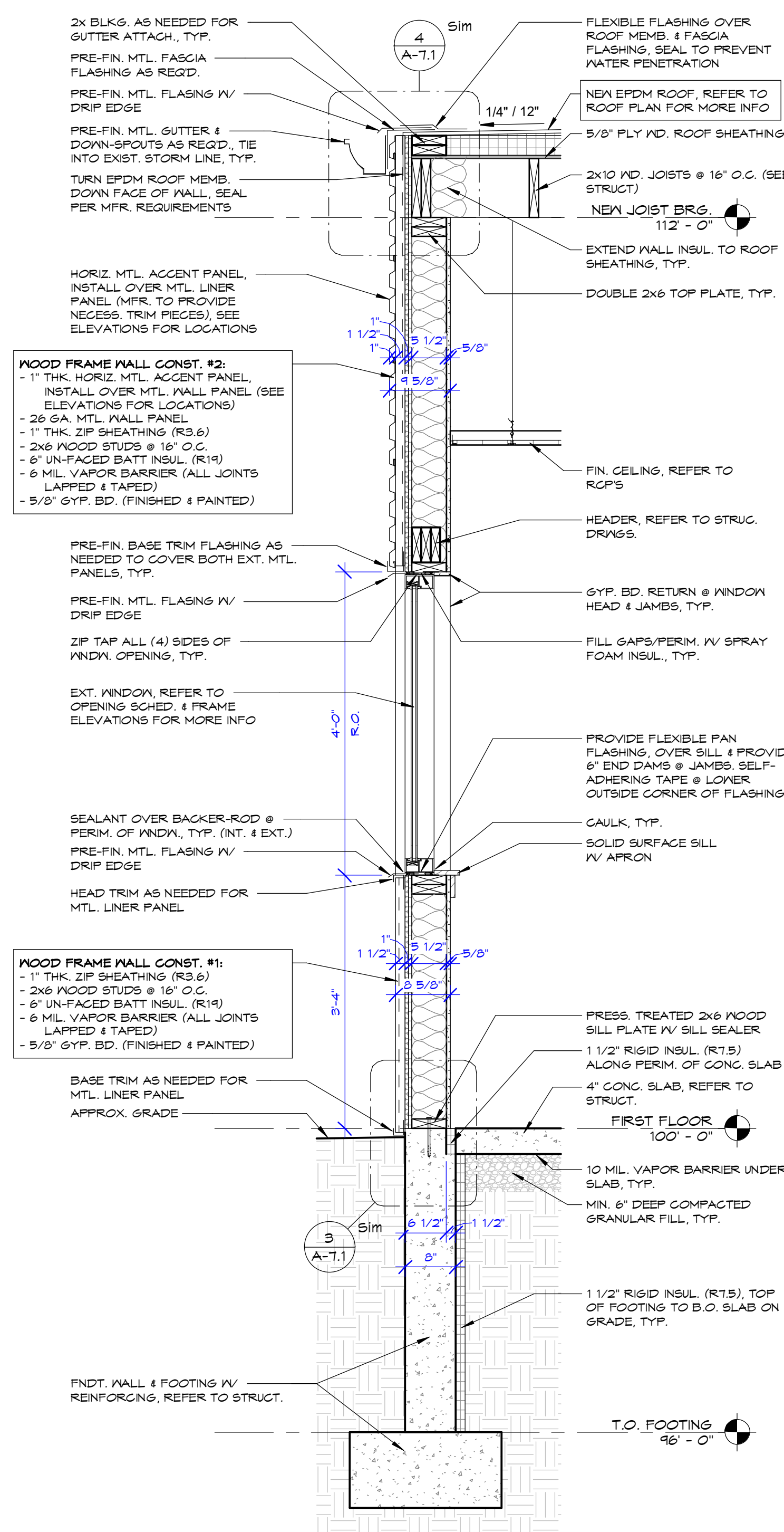
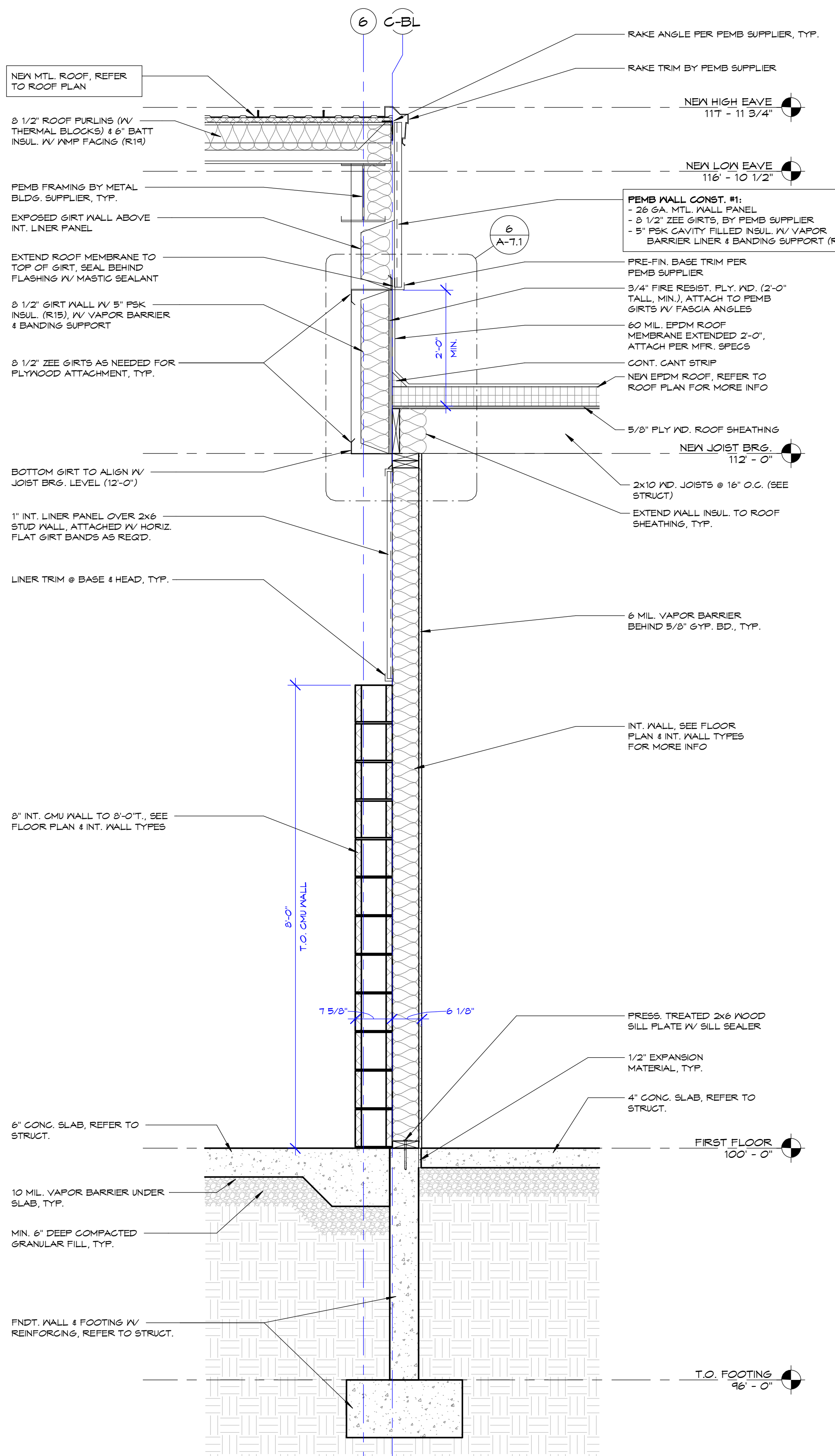
PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

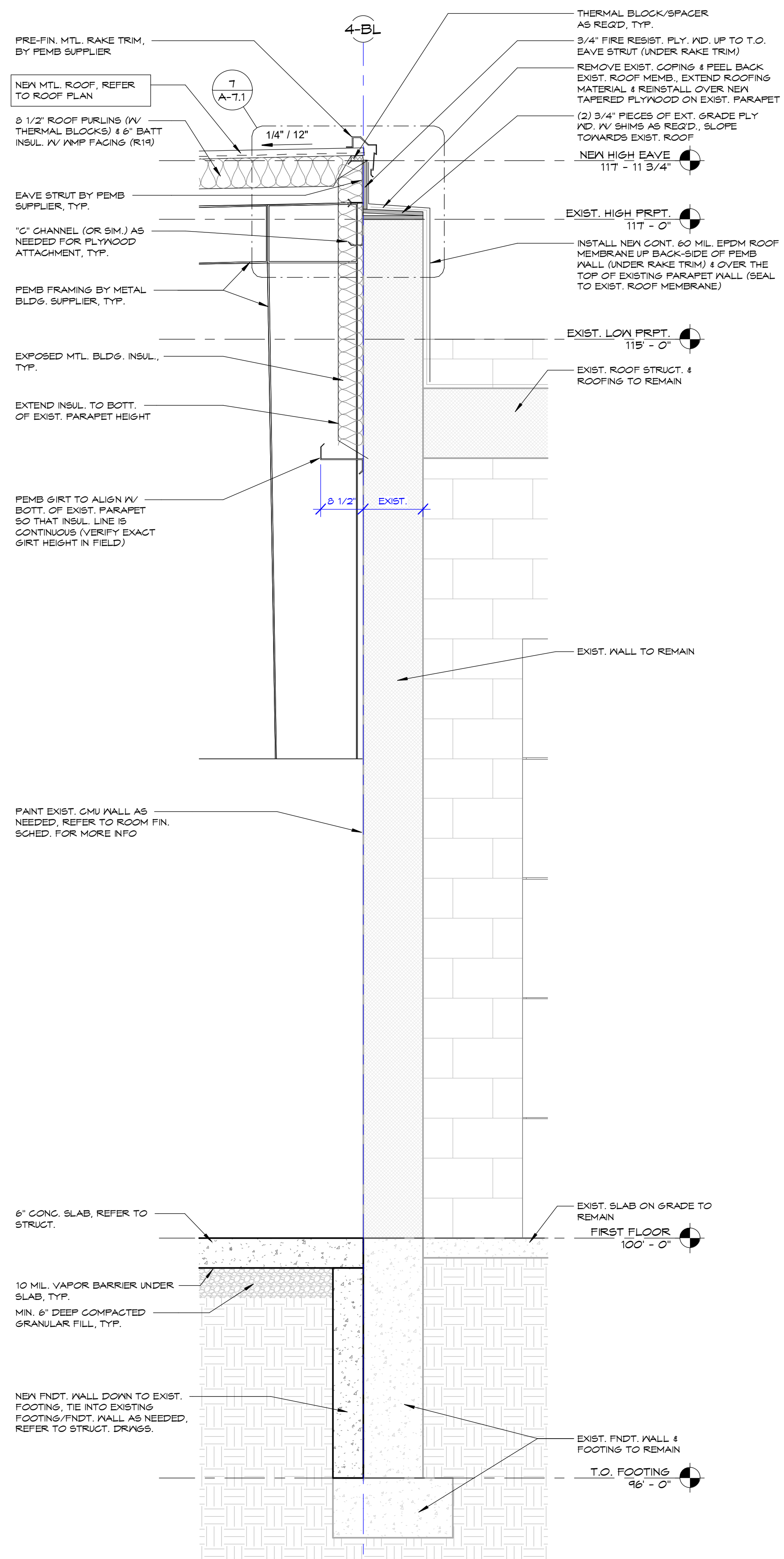
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SHEET INFORMATION	
A.C.E. JOB NO.	08-19-204
DATE:	08-19-204
DRAWN BY:	DAH
SCALE:	3/4" = 1'-0"

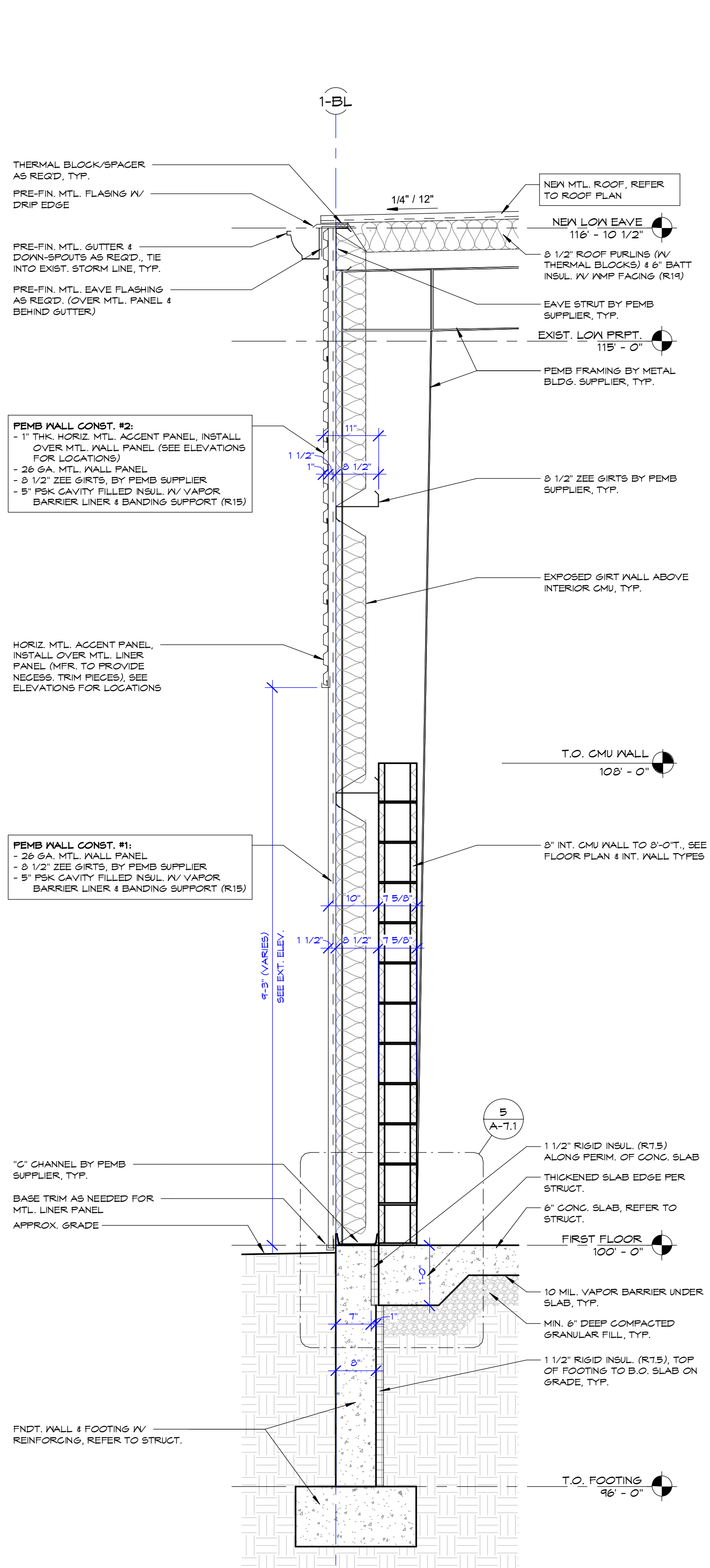
WALL SECTIONS
3 WALL SECT. @ SHOP/OFFICE
2 OFFICE WALL SECT. @ WINDOW
1 TYP. WALL SECT. @ OFFICE

SHEET
A-6.1

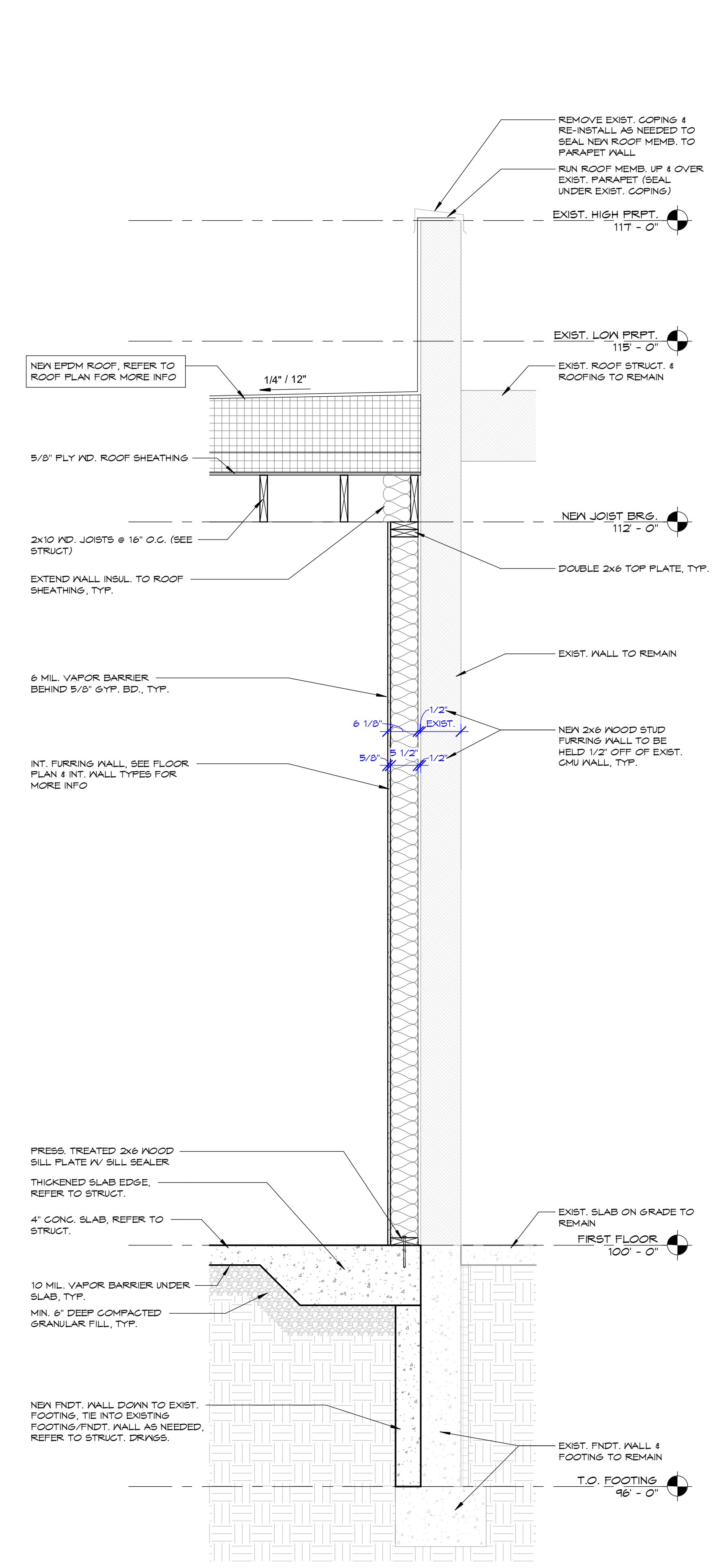




3 PEMB WALL SECT. @ PARAPET
A-6.2 3/4" = 1'-0"



2 TYP. WALL SECT. @ PEMB WALL
A-6.2 3/4" = 1'-0"



1 WALL SECT. @ OFFICE ROOF TO PARAPET
A-6.2 3/4" = 1'-0"

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PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

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WALL SECTIONS

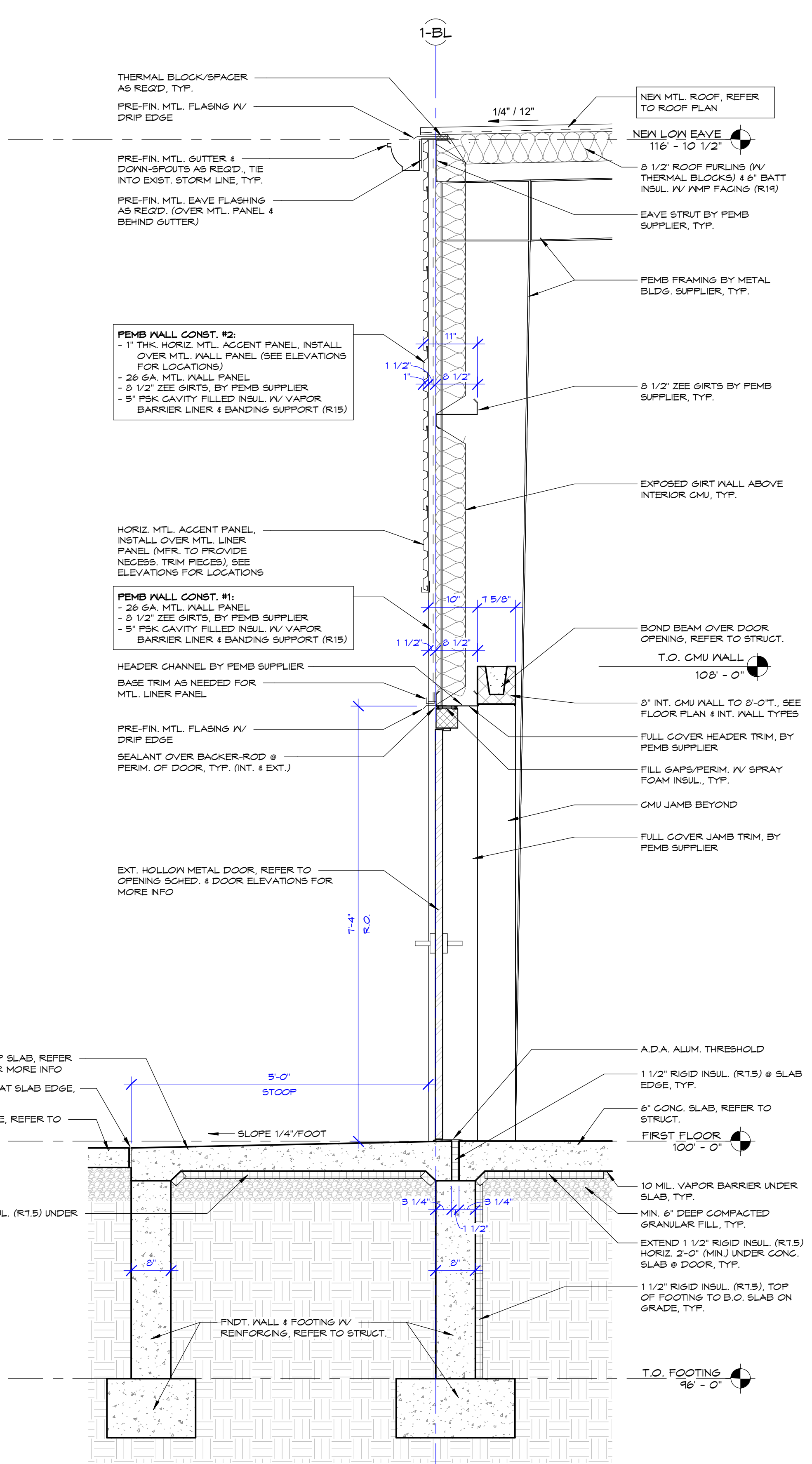
SHEET
A-6.2

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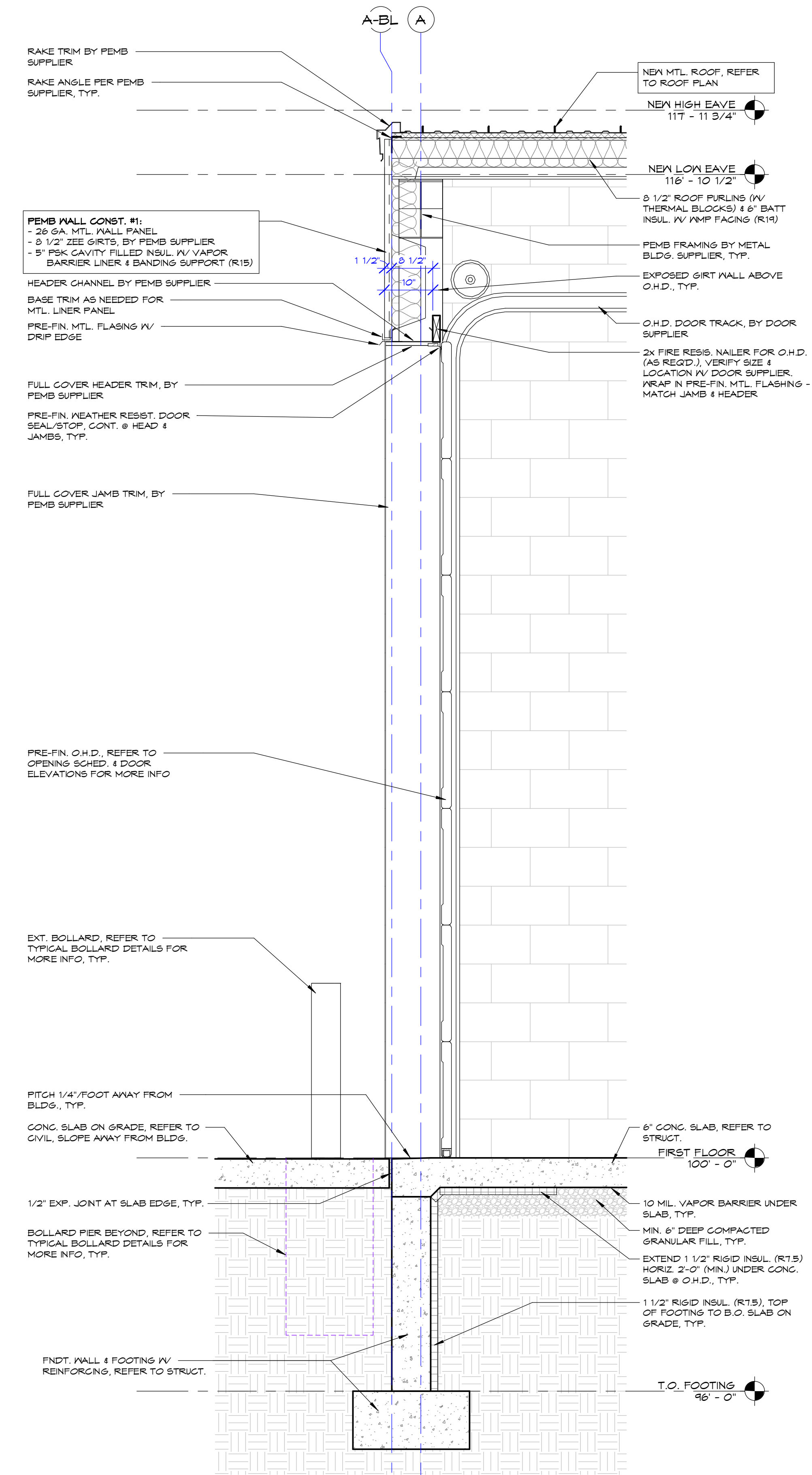
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2 WALL SECT. @ STOOP
 3/4" = 1'-0"



1 WALL SECT. @ O.H.D.
 3/4" = 1'-0"

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DATE:	DAH
DRAWN BY:	3/4" = 1'-0"
SCALE:	

WALL SECTIONS

SHEET

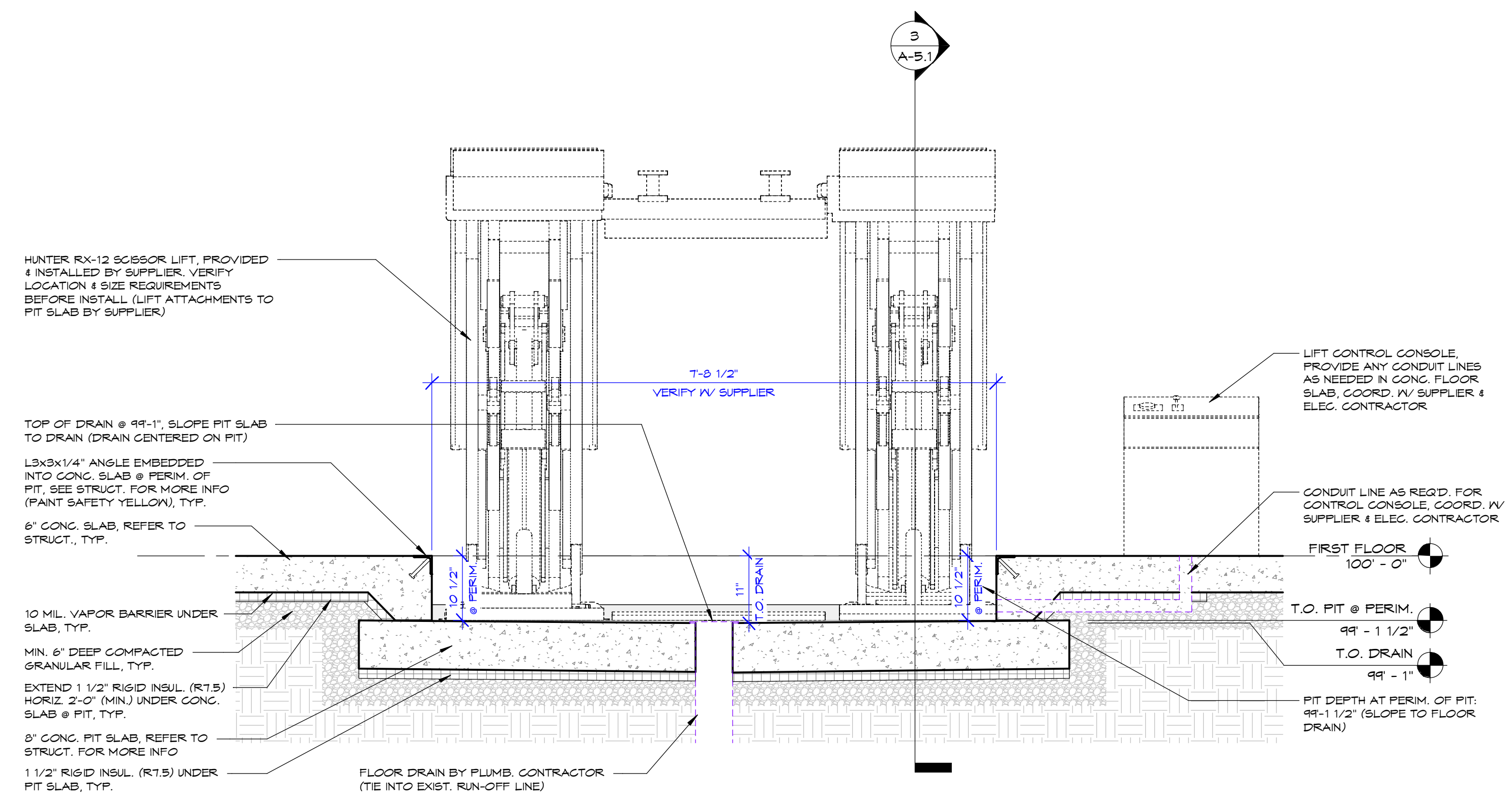
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No.	REVISION DESCRIPTION	DATE	REV. BY

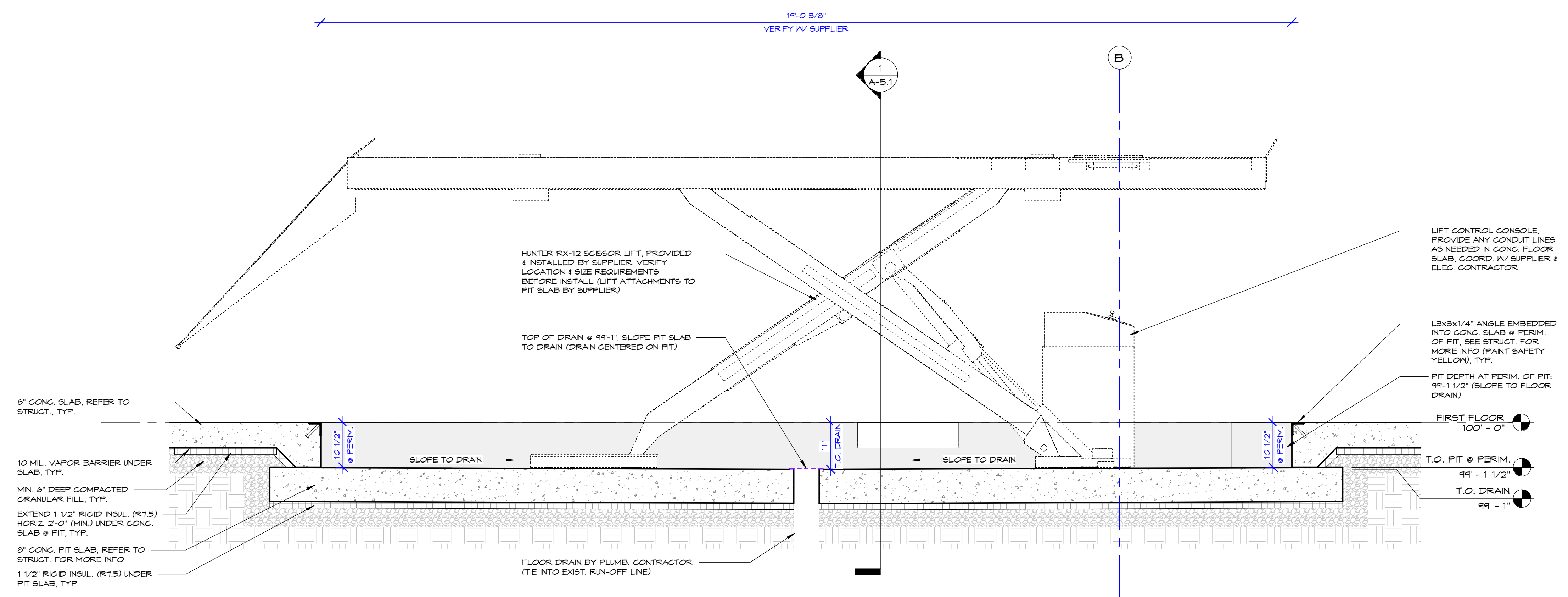
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2 SHORT SECTION @ PIT
A-6.4 3/4" = 1'-0"



1 LONG SECTION @ PIT
A-6.4 3/4" = 1'-0"

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SCALE: 3/4" = 1'-0"

PIT SECTIONS

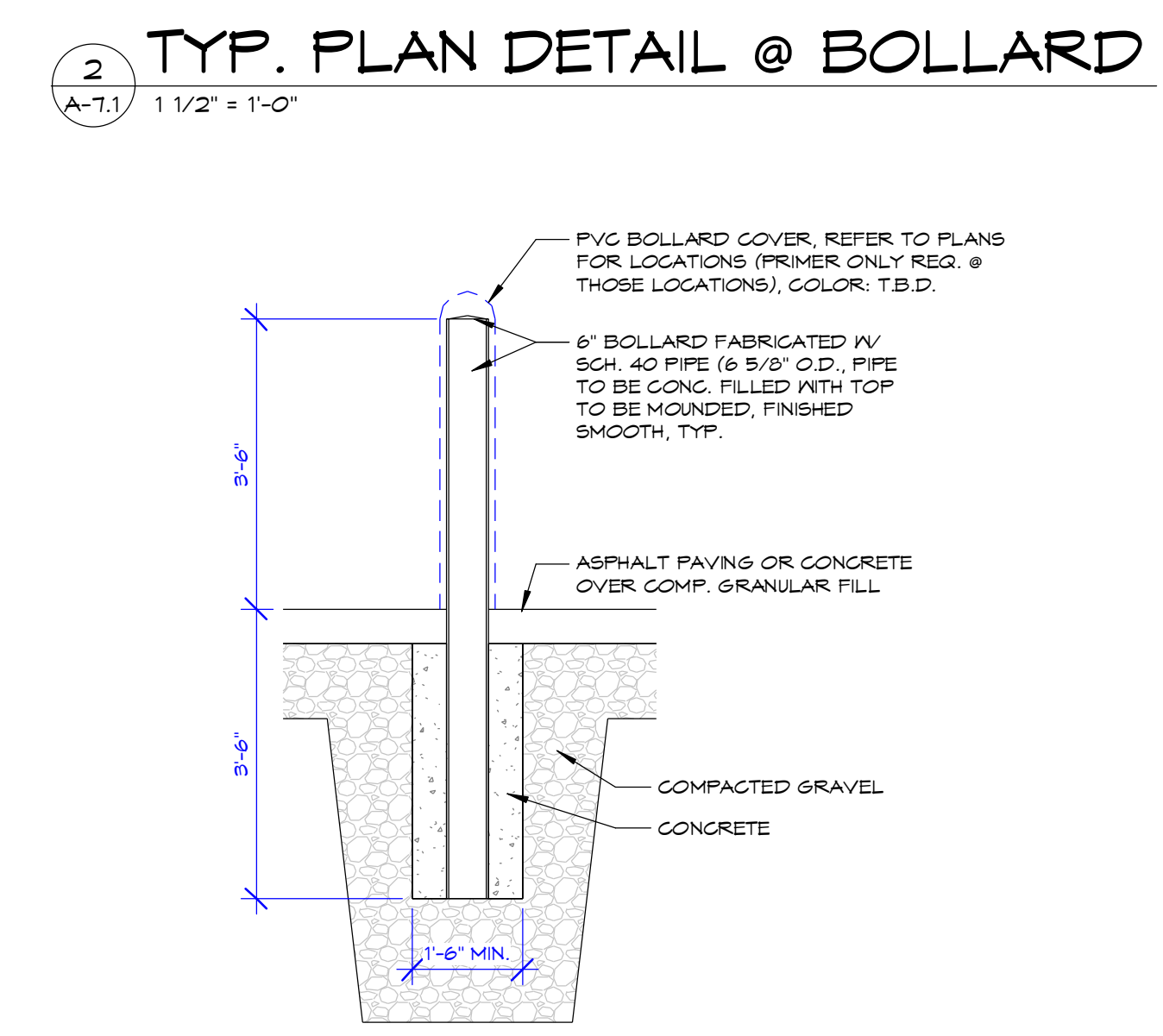
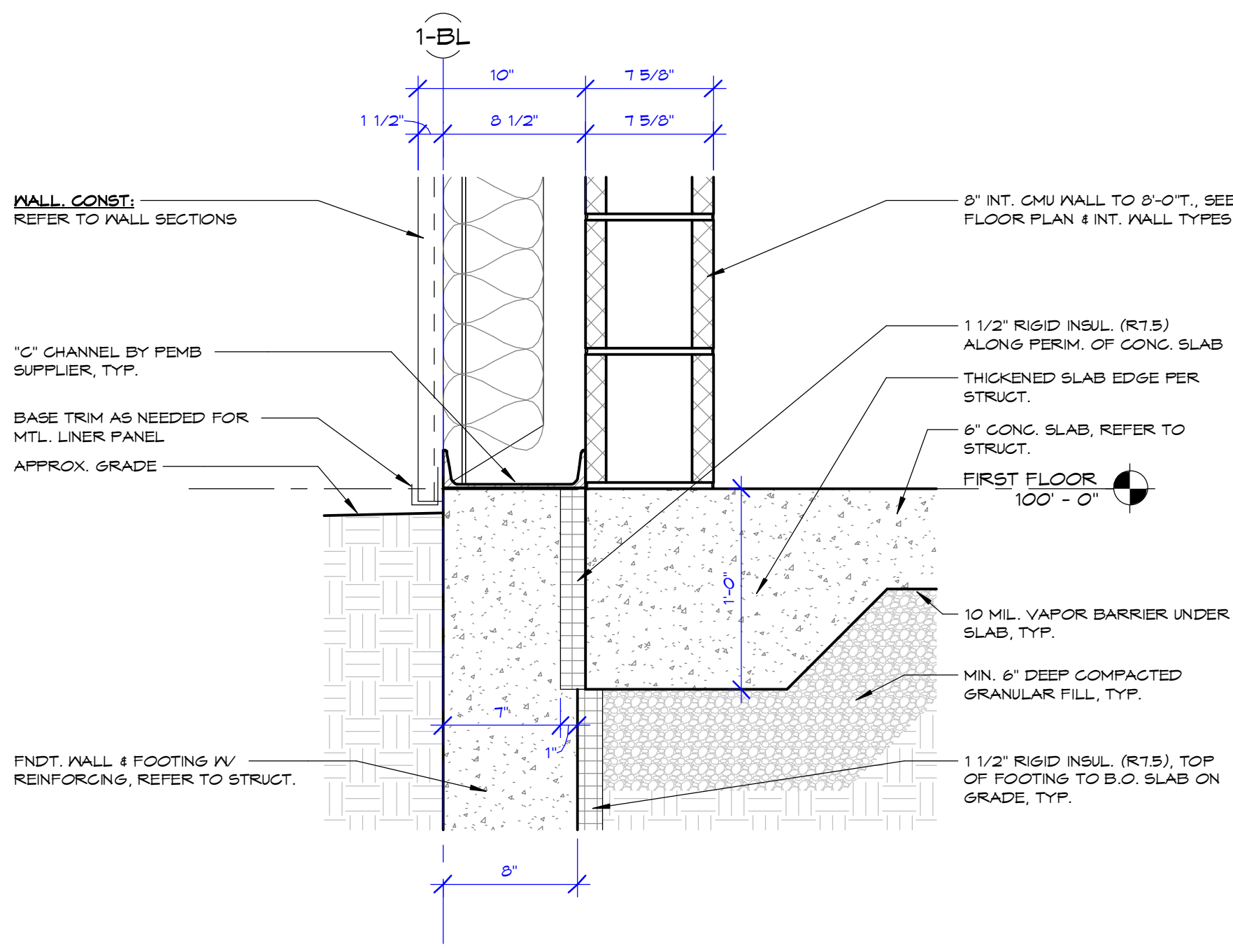
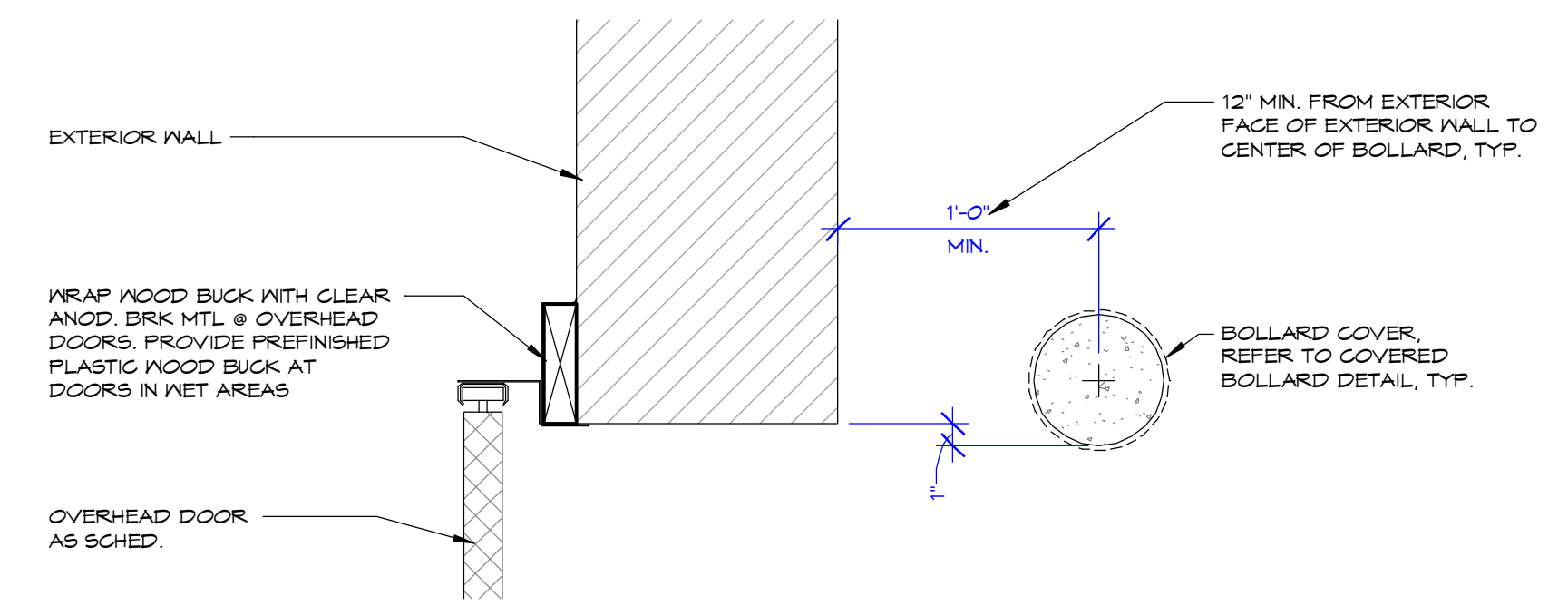
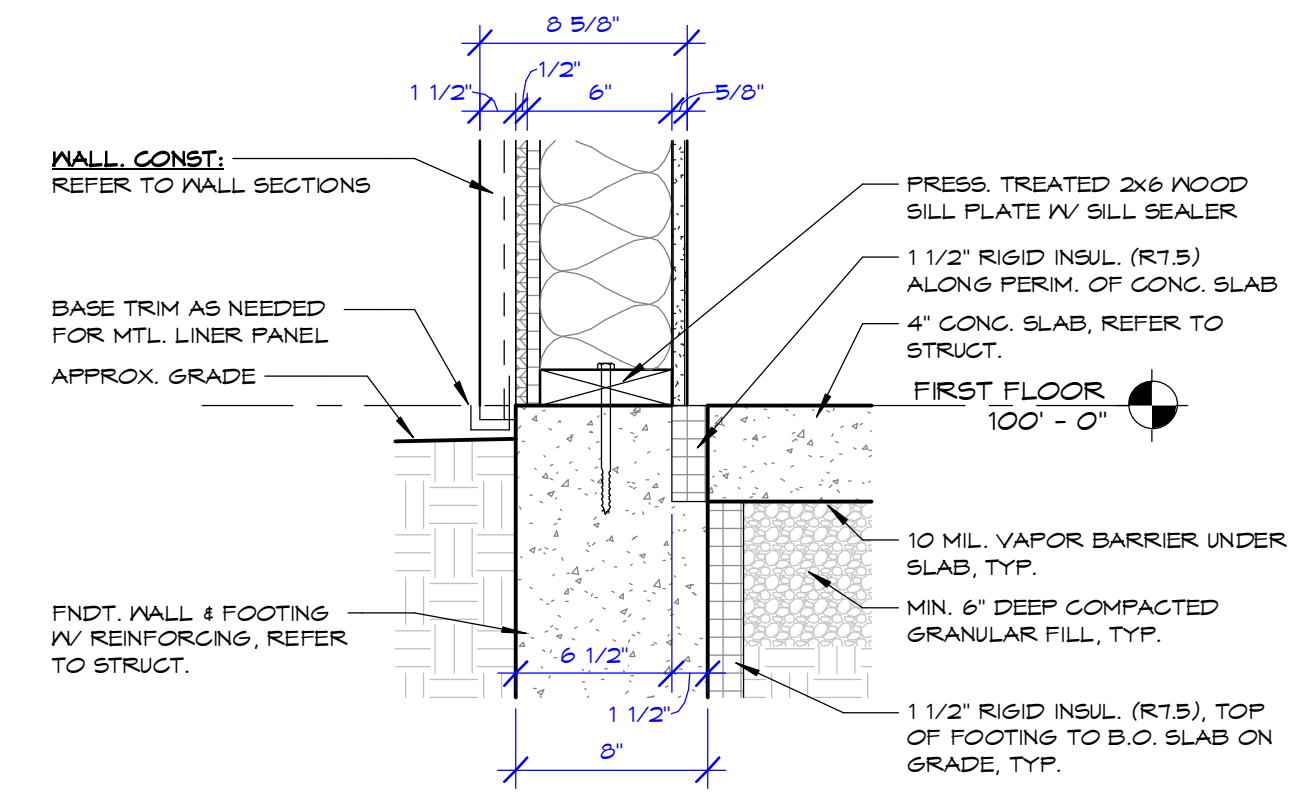
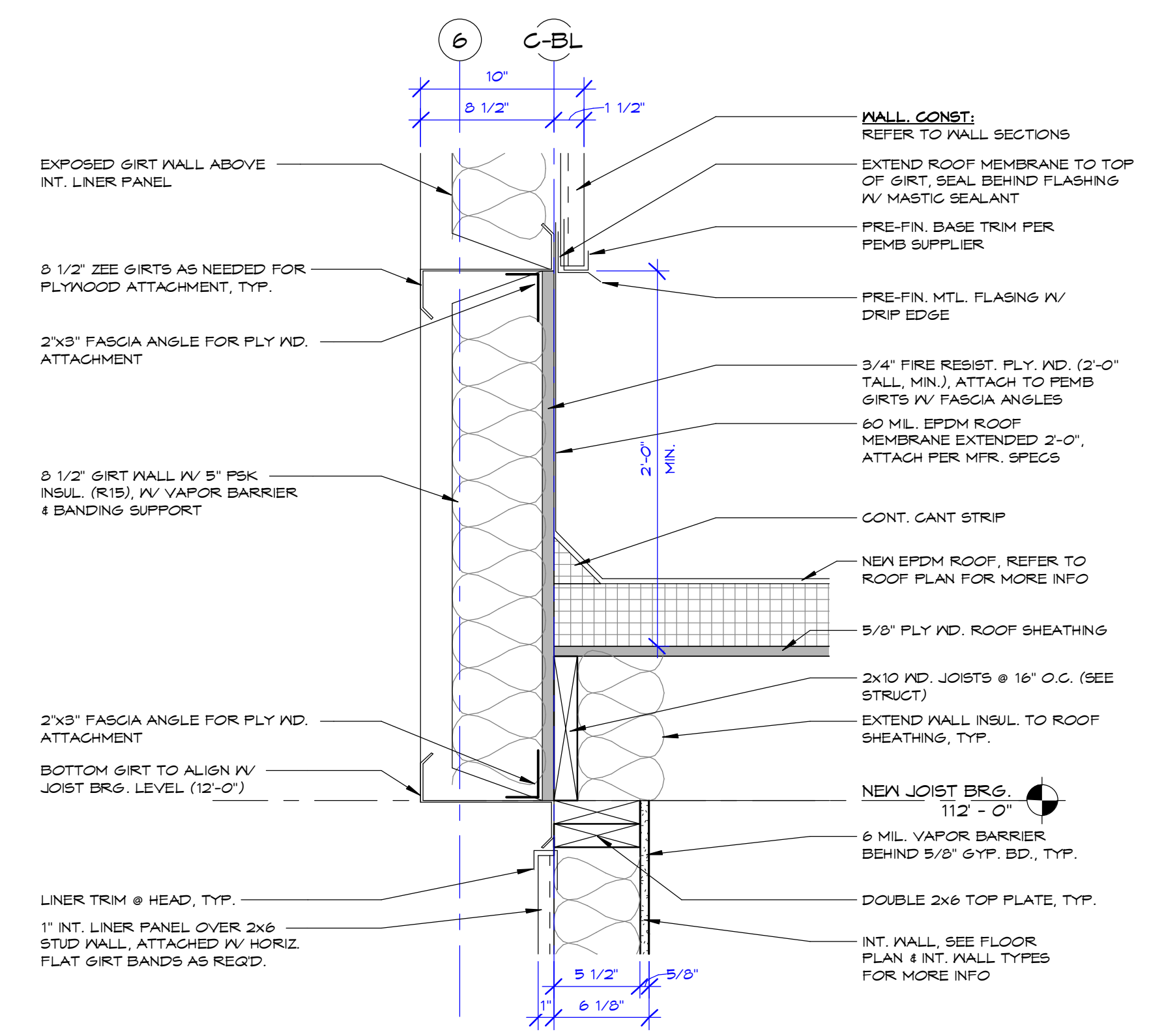
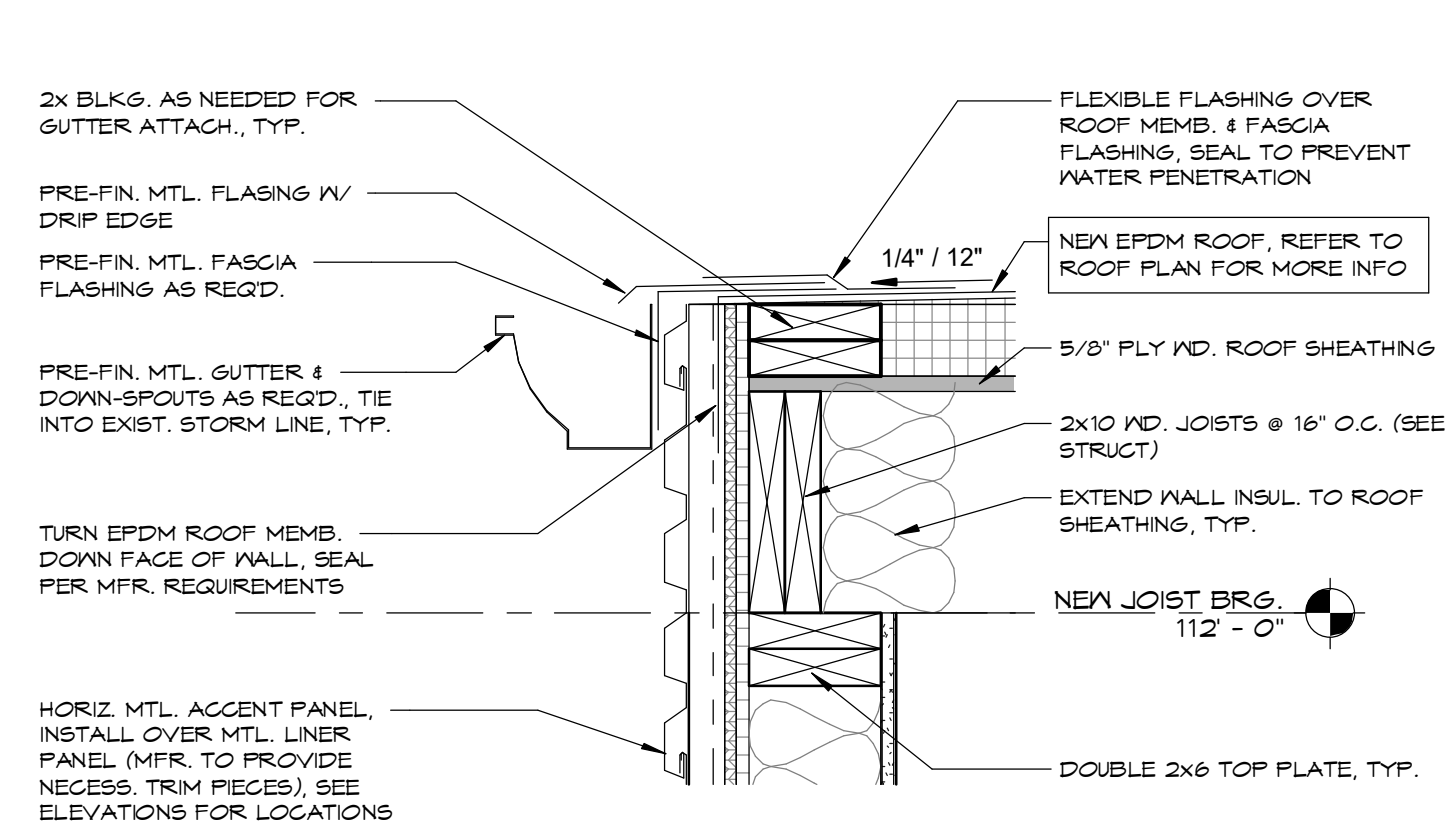
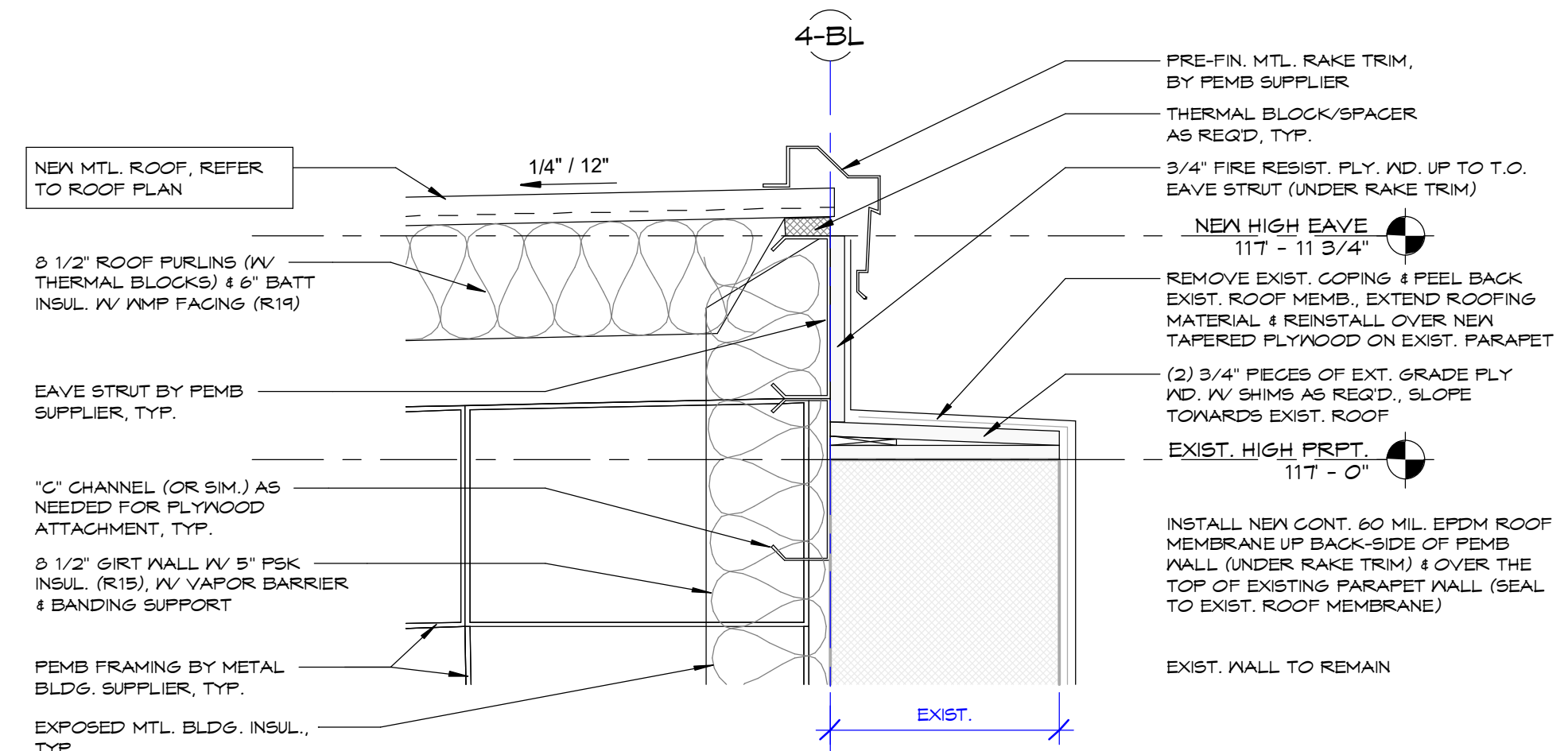
SHEET
A-6.4

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DETAILS

SHEET
A-7.1

GENERAL ROOF PLAN NOTES:

- REFER TO ROOF PLAN FOR SPECIFIC ROOF MEMBRANE AND ROOFING MATERIALS, TYP.
- INSTALL ROOF INSULATION UNDER AREA OF ROOFING MEMBRANE TO ACHIEVE REQUIRED THICKNESS. WHERE OVERALL INSULATION THICKNESS IS 3 INCHES OR GREATER, INSTALL TWO OR MORE LAYERS WITH JOINTS OF EACH SUGGESTED LAYER STAGGERED FROM JOINTS OF PREVIOUS LAYER A MINIMUM OF 6" IN EACH DIRECTION.
- TAPERED ROOF INSULATION PITCH IS MINIMUM 1/4" PER FOOT, TYPICAL.
- HVAC CONTRACTOR TO COORDINATE FINAL LOCATION & SIZES OF ALL ROOF TOP UNITS AND OPENINGS W/ STEEL SUPPLIER PRIOR TO WORK/JOIST FABRICATION. ALL R.T.U. LOADS TO STRUCTURE SHALL BE VERIFIED WITH STRUCTURAL ENGINEER.
- PROVIDE CURBING, BOOTING, AND TAPERED INSULATION AT ALL HVAC ROOF EQUIPMENT AND ROOF PENETRATIONS, TYP. ROOFING CONTRACTOR TO COORDINATE ALL LOCATIONS WITH GENERAL CONTRACTOR AND SUB-CONTRACTORS, TYP.
- REFER TO STRUCT. DRINGS. FOR TYPICAL ROOF DRAIN AND MISC. OPENINGS.
- ROOFING CONTRACTOR RESPONSIBLE FOR INSTALLING A WATER TIGHT ROOF SYSTEM.

NOTE:
HVAC UNITS ARE ONLY ESTIMATED QUANTITIES, WEIGHTS, LOCATIONS AND TYPE OF EQUIPMENT. FINAL EQUIPMENT SELECTIONS TO BE DETERMINED BY DESIGN/BUILD HVAC CONTRACTOR. FINAL WEIGHTS/LOCATIONS TO BE PROVIDED TO STRUCTURAL ENGINEER AND STEEL JOIST SUPPLIER PRIOR TO FABRICATION OF STEEL JOISTS.

NOTE:
INSTALL ROOF CRICKETS AT ALL ROOF PENETRATIONS, TYP.

NEW MTL. ROOF CONST.:
- 26 GA. STANDING SEAM GALVALUME ROOF PANELS
- 8 1/2" ZEE PURLINS W/ THERMAL SPACERS (BY FEMB SUPPLIER)
- 6" FIBERGLASS BATT INSUL. W/ VMP FACING (R19) (BY FEMB SUPPLIER)

NEW EPDM ROOF CONST.:
- 60 MIL. FULLY ADHERED EPDM ROOF MEMBRANE
- TAPERED POLY-ISO. INSUL. BOARD TO GUTTER (SLOPED 1/4"/12")
- (2) LAYERS OF 1 1/2" RIGID POLY-ISO. INSUL. BOARD (R18)
- 6 MIL. VAPOR BARRIER (INCLD. W/ EPDM)
- 5/8" PLYWOOD SHEATHING (SEE STRUCT.)
- 2X10 WD. JOISTS @ 16' O.C. (SEE STRUCT.)

EXIST. ROOF:
- EXIST. EPDM ROOF TO REMAIN, ANY MODIFICATIONS WILL BE COORDINATED W/ GENERAL CONTRACTOR

PRE-FIN. MTL. GUTTER & DOWN-SPOUTS AS REQ'D, TIE INTO EXIST. STORM LINE, TYP.

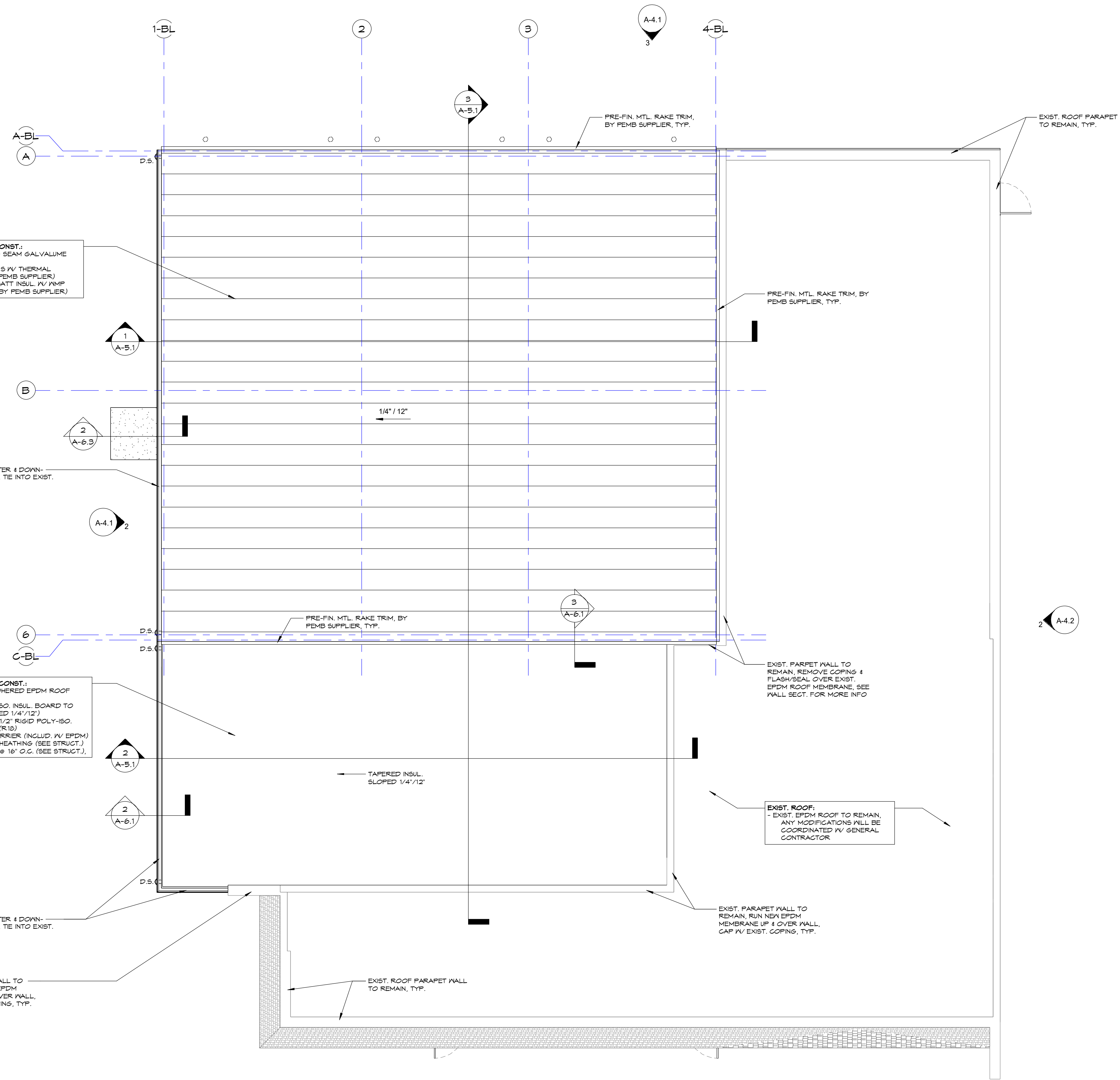
EXIST. PARAPET WALL TO REMAIN, RUN NEW EPDM MEMBRANE UP & OVER WALL, CAP W/ EXIST. COPING, TYP.

EXIST. PARAPET WALL TO REMAIN, RUN NEW EPDM MEMBRANE UP & OVER WALL, CAP W/ EXIST. COPING, TYP.

EXIST. PARAPET WALL TO REMAIN, RUN NEW EPDM MEMBRANE UP & OVER WALL, CAP W/ EXIST. COPING, TYP.

EXIST. PARAPET WALL TO REMAIN, RUN NEW EPDM MEMBRANE UP & OVER WALL, CAP W/ EXIST. COPING, TYP.

EXIST. PARAPET WALL TO REMAIN, RUN NEW EPDM MEMBRANE UP & OVER WALL, CAP W/ EXIST. COPING, TYP.



TRUE
N
1
A-8.1
3/16" = 1'-0"
ROOF PLAN

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ROOF PLAN
SHEET
A-8.1

REFLECTED CEILING PLAN NOTES:

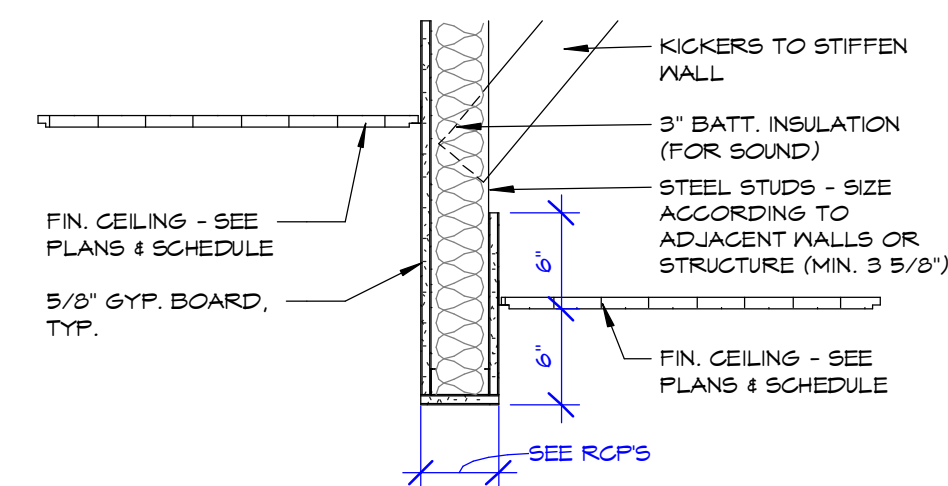
- GRID LAYOUT SHOWN FOR DESIGN INTENT ONLY. CONTRACTOR SHALL VERIFY FINAL LAYOUT WITH FIELD CONDITIONS AND OBTAIN OWNER AND ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- ALL CONSTRUCTION TO CONFORM TO THE 2015 INTERNATIONAL BUILDING CODE.
- ALL INTERIOR FINISHES TO COMPLY WITH STATE/ LOCAL CODES AND ORDINANCES.
- COORDINATE FINAL LAYOUT W/ OWNER, ELEG. CONTRACTOR SHALL COORDINATE ANY CODE REQUIREMENTS.
- ALL EXPOSED ELECTRICAL CONDUIT SHALL BE INSTALLED IN A NEAT AND ORDERLY FASHION.
- ALL EXPOSED CONDUIT SHALL BE PAINTED TO MATCH ADJACENT FINISHES.
- ALL CONDUIT SHALL BE BURIED IN WALLS WHERE POSSIBLE.
- LIGHTING AND HVAC SHOWN ON THIS PLAN IS FOR LAYOUT ONLY. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION PLANS FOR MORE INFORMATION.
- SEE ROOM FINISH SCHEDULE FOR CEILING FINISHES.
- PROVIDE HOLD DOWN CLIPS AT SUSPENDED CEILING ASSEMBLIES AT EXTERIOR DOORS AS RECOMMENDED BY CEILING MANUFACTURER.
- REFER TO ELECTRICAL PLANS FOR EXIT LIGHT LOCATIONS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CORRECT PLACEMENT OF ALL EXIT LIGHTS AND MEANS OF EGRESS LIGHTING.
- CONTRACTOR(S) TO COORDINATE FINAL FIXTURE AND EQUIPMENT HEIGHTS TO AVOID INTERFERENCES AND PROVIDE MINIMUM SEPARATION DISTANCE REQUIREMENTS.

REFLECTED CEILING PLAN LEGEND:

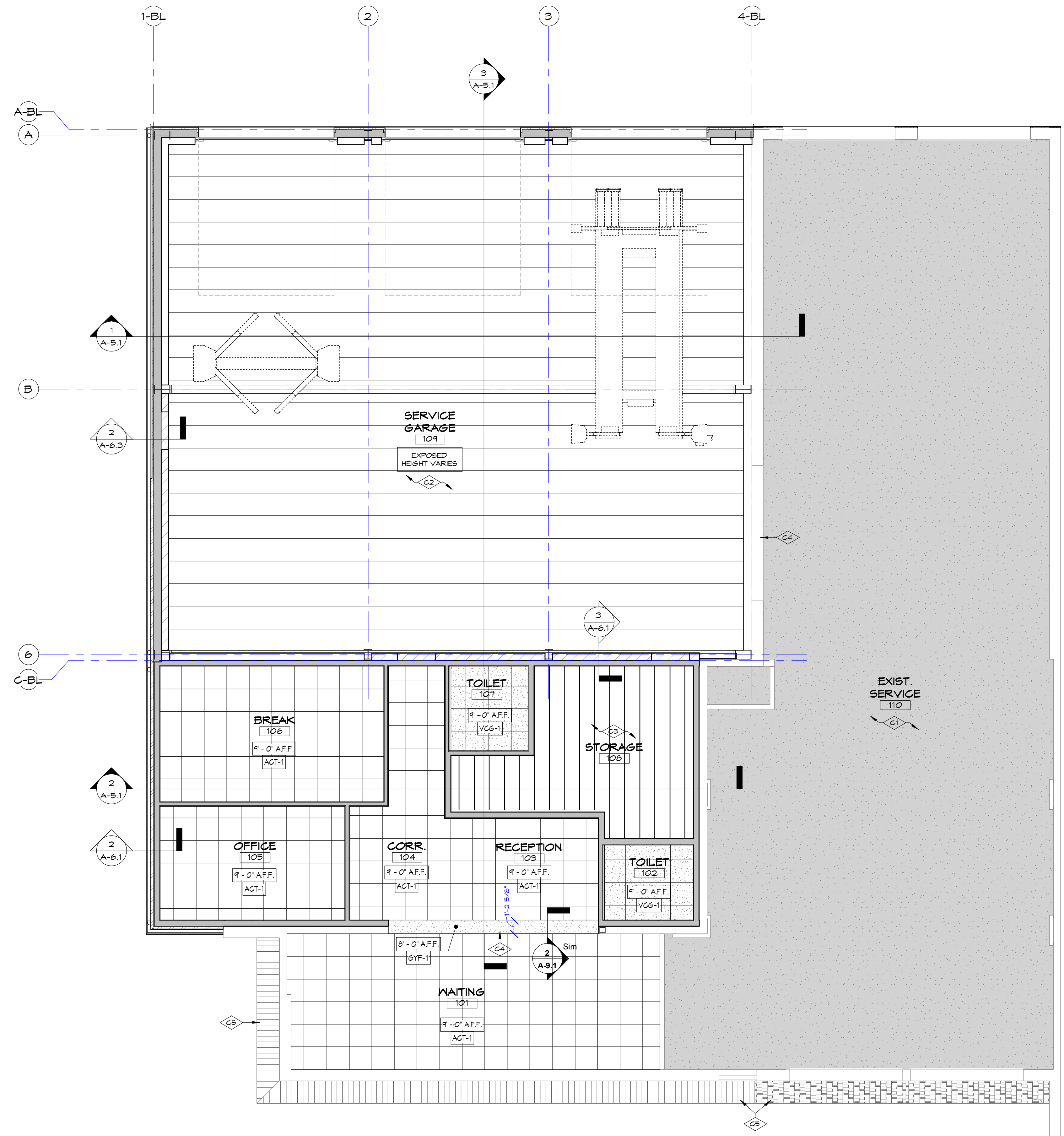
- 2 X 2' CEILING GRID SYSTEM W/ TEGULAR TILES. REFER TO ROOM FINISH SCHEDULE
- DRYWALL - AT BULKHEADS/ INT. SOFFITS REFER TO ROOM FINISH SCHEDULE FOR FINISH
- EXISTING PRECAST PLANK TO REMAIN
- 2 X 2' CEILING GRID SYSTEM W/ VINYL COVERED GYP TILES. REFER TO ROOM FINISH SCHEDULE
- EXISTING SOFFIT TO REMAIN
- EXISTING SHINGLE ROOF TO REMAIN
- EXPOSED METAL BUILDING ROOF SYSTEM

KEYED CEILING PLAN NOTES

C1	EXISTING CEILING/ROOF STRUCTURE TO REMAIN IN SERVICE AREA.
C2	NO CEILING, EXPOSED TO NEW METAL BUILDING ROOF STRUCTURE ABOVE.
C3	NO CEILING, EXPOSED TO BOTTOM OF NEW 2X10 ROOF JOISTS.
C4	NEW WALL OPENING IN EXISTING CMU WALL. SEE STRUCTURAL DRAWINGS FOR NEW LINTEL REQUIREMENTS.
C5	EXISTING ROOF SOFFIT ABOVE TO REMAIN.



2 BULKHEAD DETAIL
A-9.1 1" = 1'-0"



1 FIRST FLOOR REFLECTED CEILING PLAN
A-9.1 3/16" = 1'-0"

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		Section 3, Item D.

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REFLECTED CEILING PLAN

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A-9.1

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GENERAL NOTES:

- ALL MATERIALS, CONSTRUCTION, AND DETAILS SHALL CONFORM WITH THE FOLLOWING: PLANS AND SPECIFICATIONS CODE AS SPECIFIED IN DESIGN DATA
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE FAMILIAR WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS (INCLUDING BUT NOT LIMITED TO: ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL, RFIs, SUBMITTALS, ETC.) IN ORDER TO PROVIDE ALL CONSTRUCTION AND MATERIALS FOR THIS PROJECT.
- THE CONTRACTOR SHALL REFER TO OTHER DRAWINGS CONTAINED IN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL SPECIFIED MEMBERS, DIMENSIONS, ELEVATIONS, DETAILS, OPENINGS, INSERTS, SLEEVES, DEPRESSIONS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS, REQUIRED TO CONSTRUCT THIS PROJECT.
- DETAILS SHOWN ON STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PORTIONS OF THE CONTRACT DOCUMENTS UNLESS NOTED OTHERWISE.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
- DO NOT SCALE PLANS.
- IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND PROVIDE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED TO COMPLETE THE STRUCTURE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS INCLUDES, BUT IS NOT LIMITED TO, SHORING, UNDERPINNING, TEMPORARY BRACING, ETC. SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK AS REQUIRED TO ENSURE THE SAFETY OF THE BUILDING AND WORKMEN ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE BASE BUILDING PRIMARY STRUCTURAL FRAME IS DESIGNED FOR THE FINAL COMPLETED CONDITION AS INDICATED HEREIN. LOADS IMPOSED ON THE BUILDING STRUCTURE DURING THE COURSE OF CONSTRUCTION SHALL BE CONFIRMED BY THE CONTRACTOR AND THE CONTRACTOR'S ENGINEER AS PART OF THE MEANS AND METHODS OF CONSTRUCTION. CARE SHALL BE GIVEN BY THE CONTRACTOR AND THE CONTRACTOR'S ENGINEER TO CONSIDER THE PRESENT STATE OF THE STRUCTURE AT THE TIME OF LOADING, INCLUDING AGE-DEPENDENT STRENGTH OF THE STRUCTURAL ELEMENTS AND THE NATURE OF ALL LOADS IMPOSED.
- CONSTRUCTION DOCUMENTS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS (COLUMN CENTERLINES, OUTSIDE FACE OF WALLS, TOP OF FRAMING MEMBERS, ETC.) MATERIAL SUPPLIERS AND DESIGNERS ARE RESPONSIBLE FOR ALL OTHER INFORMATION IN ORDER TO DETAIL/FABRICATE THEIR WORK. CONTACT THE ARCHITECT WITH ANY DISCREPANCIES.
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE STRUCTURAL DRAWINGS AND ANY OTHER PLANS, THE CONTRACTOR SHALL BRING THE DISCREPANCY TO THE ARCHITECT'S ATTENTION IMMEDIATELY, IN WRITING.
- NO PROVISIONS HAVE BEEN MADE IN THE DESIGN OF THIS STRUCTURE FOR FUTURE EXPANSION, UNLESS SPECIFICALLY NOTED ON PLAN.
- ALL EXISTING STRUCTURES, INCLUDING EXISTING FOUNDATION SYSTEMS AND UNDERGROUND ELEMENTS, SHALL BE COMPLETELY REMOVED. EXISTING SUBSURFACE ELEMENTS MAY REMAIN IF APPROVED BY THE GEOTECHNICAL ENGINEER IN CONSULTATION WITH THE STRUCTURAL ENGINEER AND THE EXISTING MATERIALS ARE PREPARED AS DIRECTED BY THE GEOTECHNICAL ENGINEER TO ACHIEVE THE PERFORMANCE CHARACTERISTICS INDICATED IN THE GEOTECHNICAL REPORT.

FOUNDATION AND EARTHWORK:

- REFER TO DESIGN DATA FOR SOIL CONDITION ASSUMPTIONS AND DESIGN VALUES.
- THE CONTRACTOR AND THE OWNER'S TESTING AGENT SHALL CONFIRM INSTALLATION AND CONSTRUCTION OF FOUNDATIONS IS COMPLETED IN CONFORMANCE WITH THE SOIL CONDITION ASSUMPTIONS AND DESIGN VALUES.
- CENTER PIERS AND FOUNDATIONS UNDER COLUMN / WALL CENTERLINES UNLESS NOTED OTHERWISE.
- BACKFILL SIMULTANEOUSLY ON BOTH SIDE OF FOUNDATION AND STEM WALLS.
- EARTH RETENTION AND UNDERPINNING SYSTEMS, TEMPORARY OR PERMANENT, SHALL BE PROVIDED BY THE CONTRACTOR AND THE CONTRACTOR'S ENGINEER AS AN ELEMENT OF THE MEANS AND METHODS OF CONSTRUCTION.
- SUBGRADES SHALL BE PREPARED AS REQUIRED TO ACHIEVE THE DESIGN VALUES INDICATED ON THESE CONSTRUCTION DOCUMENTS. TOP OF FOOTING ELEVATIONS SHOWN ON THESE CONSTRUCTION DOCUMENTS REPRESENT MINIMUM FOOTING DEPTHS FOR FROST PROTECTION. THE CONTRACTOR SHALL ENSURE FOUNDATION AND SLAB-ON-GROUND SYSTEMS ARE FOUNDED ON COMPETENT MATERIAL TO ACHIEVE THE DESIGN VALUES INDICATED ON THESE CONSTRUCTION DOCUMENTS. UNDERCUTTING OR OTHER ADDITIONAL EXCAVATION OR SUBGRADE PREPARATIONS MAY BE REQUIRED BELOW BOTTOM OF FOOTING ELEVATIONS TO EXTEND TO COMPETENT MATERIALS IF UNSUITABLE MATERIALS ARE PRESENT AT SPECIFIED BOTTOM OF FOOTING ELEVATION.
- ALL EXTERIOR FOUNDATIONS SHALL BE CAST AT LEAST FROST DEPTH BELOW ADJACENT FINISH EXTERIOR GRADE. FOOTINGS SHALL BE CAST AT LEAST MINIMUM BEARING DEPTH BELOW ADJACENT FINAL GRADE OR FINISHED FLOOR ELEVATION. REFER TO SOIL DESIGN VALUES.
- IF CONTAMINATED SOILS ARE FOUND ON SITE, CONTRACTOR OR OWNER SHALL CONSULT WITH A GEOTECHNICAL ENGINEER FOR REQUIRED REMEDIATION.
- ENGINEERED FILL MATERIALS OR LEAN CONCRETE SHALL BE PROVIDED AND INSTALLED PER THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS.
- WHERE NEW FOOTINGS ABUT EXISTING FOOTINGS, STEP OR THICKEN THE NEW FOOTING AS REQUIRED TO HAVE NEW BOTTOM OF FOOTING ELEVATION MATCH EXISTING BOTTOM OF FOOTING ELEVATION. CONTRACTOR SHALL FIELD VERIFY EXISTING BOTTOM OF FOOTING ELEVATION.
- FOUNDATIONS SHALL NOT BE INSTALLED ON FROZEN SUBGRADE.

CAST IN PLACE REINFORCED CONCRETE:

- CONCRETE WORK SHALL CONFORM TO REFERENCED EDITION OF ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" AND ACI 302 "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION".
- CONTRACTOR SHALL ELECTRONICALLY SUBMIT STEEL REBAR SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
- REFER TO REINFORCING DEVELOPMENT AND LAP SPlice SCHEDULE FOR LAP SPICES (Ld) AND DEVELOPMENT LENGTH (Ld) IN REINFORCING STEEL.
- ALL LAPS IN REINFORCING STEEL SHALL BE CLASS "B" LAP SPICES UNLESS OTHERWISE NOTED. AT CONSTRUCTION JOINTS, CONTINUOUS BARS SHALL BE LAP SPICED WITH A CLASS "B" LAP. ALL OTHER BARS EXTENDING THRU THE JOINT SHALL BE FULLY DEVELOPED (Ld OR Ldh AS ILLUSTRATED OR NOTED) EACH SIDE OF JOINT, UNO.
- ALL HOOKS IN REINFORCING STEEL SHALL BE STANDARD HOOKS, UNO.
- PROVIDE THE FOLLOWING CLEAR COVER DISTANCES FOR REINFORCEMENT IN CONCRETE UNLESS NOTED OTHERWISE:

CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH:	3"
CONCRETE EXPOSED TO EARTH OR WEATHER:	2"
NO. 6 THROUGH NO. 18 BARS	1 1/2"
NO. 5 BAR AND SMALLER	1"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:	1"
WALLS, JOISTS, NO. 11 BAR AND SMALLER	1 1/2"
BEAMS AND COLUMNS	

- CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE ARE NOT PERMITTED IN ANY CONCRETE MIX.
- CONTRACTOR SHALL USE SMOOTH FORMS FOR EXPOSED CONCRETE SURFACES. ANY CONCRETE SURFACE REPAIRS SHALL BE PERFORMED BY THE CONTRACTOR AS REQUIRED. REPAIR AND PATCH DEFECTIVE AREAS WITH PROPRIETARY PATCHING COMPOUND IMMEDIATELY AFTER REMOVAL OF FORMS.
- PROVIDE A 3/4" CHAMFER ON EXPOSED CORNERS OF CONCRETE UNLESS NOTED OTHERWISE. TOP SURFACE OF WALLS SHALL BE FINISHED SMOOTH, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE SUITABLE WIRE SPACERS, CHAIRS, TIES, ETC FOR SUPPORTING REINFORCING STEEL IN THE PROPER POSITION WHILE PLACING CONCRETE.

CAST IN PLACE REINFORCED CONCRETE (CONT.):

- PROVIDE 1/2" EXPANSION JOINT MATERIAL AT INTERIOR LOCATIONS WHERE SLABS ABUT WALLS, COLUMNS, AND OTHER VERTICAL SURFACES UNLESS NOTED OTHERWISE.
- TIME BETWEEN CONCRETE BATCHING AND PLACEMENT SHALL BE IN ACCORDANCE WITH ASTM C94.
- ADDITION OF JOBSITE WATER TO CONCRETE SHALL BE PER ASTM C94.
- ALL CONCRETE SLABS SHALL BE CURED PER ACI 308.1 RECOMMENDATIONS.
- CONTROL JOINTS SHALL BE PLACED IN CONVENTIONAL SLAB ON GROUND WITHIN 24 HOURS OF INITIAL POUR. REFER TO PLAN NOTES FOR ADDITIONAL INFO.
- OWNER SHALL HIRE A MATERIALS TESTING LABORATORY TO CAST AND TEST CONCRETE CYLINDERS. ALL TESTING SHALL BE IN ACCORDANCE WITH ACI 318. RESULTS OF CYLINDER TESTS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER. CONCRETE TEST REPORTS SHALL STATE THE FOLLOWING INFORMATION:
 - LOCATION ON PROJECT WHERE THE CONCRETE IS USED
 - 7 DAY COMPRESSIVE STRENGTH
 - 28 DAY COMPRESSIVE STRENGTH
 - AIR CONTENT
 - SUMP
 - AMOUNT OF WATER ADDED ON JOB SITE
 - MIX USED
- CONCRETE TEST REPORTS SHALL DIRECTLY STATE WHETHER OR NOT THE TEST RESULT COMPLIES WITH THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY IRRREGULARITIES OR DEFECTS IN CONCRETE SLABS (CRACKS, BLUMPS, FLOOR CURLING, ETC.) BEFORE ANY FLOOR FINISHES ARE APPLIED.
- CONFORM TO ACI 117 FOR CONCRETE TOLERANCES.
- CONFORM TO ACI 306.1 FOR COLD WEATHER CONCRETE PLACEMENT.
- CONFORM TO ACI 305.1 FOR HOT WEATHER CONCRETE PLACEMENT.
- WELDING OF REINFORCING STEEL SHALL NOT BE PERMITTED FOR NONWELDABLE REBAR NOR WITHOUT THE CONSENT OF THE STRUCTURAL ENGINEER.
- DOVELS FOR SUCCESSIVE WORK SHALL BE SECURELY FASTENED IN CORRECT POSITION BEFORE PLACING CONCRETE. THE STICKING OF DOVELS AFTER PLACING CONCRETE SHALL NOT BE PERMITTED.

POST-INSTALLED ANCHORS TO CONCRETE AND MASONRY:

- POST INSTALLED ANCHORS SHALL BE: EXPANSION, ADHESIVE, OR SCREW ANCHORS AS SPECIFIED, UNLESS NOTED OTHERWISE.
 - EXPANSION ANCHORS (SEE NOTES BELOW FOR SUBSTITUTIONS):
 - FOR CONCRETE:
 - SIMPSON STRONG-BOLT Z
 - FOR GROUDED FILLED CONCRETE MASONRY:
 - SIMPSON STRONG-BOLT Z
 - ADHESIVE ANCHORS (SEE NOTES BELOW FOR SUBSTITUTIONS):
 - FOR CONCRETE:
 - SIMPSON SET-3G EPOXY ADHESIVE ANCHOR SYSTEM WITH THREADED ROD OR REBAR WHERE SPECIFIED.
 - SIMPSON ET-3G EPOXY ADHESIVE ANCHOR SYSTEM WITH THREADED ROD OR REBAR WHERE SPECIFIED.
 - SOLID GROUDED CONCRETE MASONRY:
 - SIMPSON SET-3G EPOXY ADHESIVE ANCHOR SYSTEM WITH THREADED ROD OR REBAR WHERE SPECIFIED.
 - SIMPSON ET-3G EPOXY ADHESIVE ANCHOR SYSTEM WITH THREADED ROD OR REBAR WHERE SPECIFIED.
 - HOLLOW OR MULTI-TYPIE MASONRY:
 - SIMPSON SET-3G EPOXY ADHESIVE ANCHOR SYSTEM WITH THREADED ROD WITH SCREEN TUBES.
 - SIMPSON ET-3G EPOXY ADHESIVE ANCHOR SYSTEM WITH THREADED ROD WITH SCREEN TUBES.
 - SCREW ANCHORS (SEE NOTES BELOW FOR SUBSTITUTIONS):
 - FOR CONCRETE:
 - SIMPSON TITEN HD
 - SOLID GROUDED CONCRETE MASONRY:
 - SIMPSON TITEN HD
- WHEN INSTALLING POST INSTALLED ANCHORS:
 - THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS AND CURRENT ICC-ES REPORT SHALL BE FOLLOWED.
 - DO NOT DAMAGE EXISTING REINFORCING, POST TENSIONED CABLES OR OTHER EMBEDDED ITEMS.
 - WHEN INSTALLING IN CONCRETE:
 - THE MINIMUM CONCRETE DESIGN COMPRESSIVE STRENGTH SHALL MATCH THE COMPRESSIVE STRENGTHS NOTED IN THE CONCRETE NOTES SECTION.
 - FOR POST INSTALLED ADHESIVE ANCHORS, THE CONCRETE SHALL HAVE A MINIMUM AGE OF 21 DAYS AT THE TIME OF INSTALLATION. ANCHORS INSTALLED IN CONCRETE LESS THAN 21 DAYS OLD SHALL BE TESTED IN ACCORDANCE WITH ACI 308.4 TO VERIFY PERFORMANCE.
 - FOR POST INSTALLED ADHESIVE ANCHORS, THE CONCRETE TEMPERATURE AT THE TIME OF INSTALLATION SHALL BE AT LEAST 50-DEGREES FAHRENHEIT.
 - ADHESIVE USED IN AN ADHESIVE ANCHOR SYSTEM SHALL BE STORED AT THE SERVICE TEMPERATURE RANGE RECOMMENDED BY THE MANUFACTURER.
 - ANCHORS TO BE INSTALLED IN ADHESIVE SHALL BE CLEAN, OIL FREE AND FREE OF RUST, PAINT OR OTHER COATINGS.
 - ADHESIVE ANCHORS SHALL BE SECURELY PLACED TO PREVENT DISPLACEMENT OR DISTURBANCE WHILE THE ADHESIVE CURES. IF AN ANCHOR IS DISPLACED OR DISTURBED BEFORE A FULL ADHESIVE CURE IT SHALL BE CONSIDERED DAMAGED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
 - UNLESS NOTED OTHERWISE, ANCHORS SHALL BE INSTALLED PERPENDICULAR TO THE SUPPORTING SURFACE.
 - INSTALL ANCHORS TO ACCOMMODATE THE STANDARD HOLE SIZE IN THE SUPPORTED STEEL MEMBER. THE HOLE DIAMETER THROUGH THE SUPPORTED STEEL MEMBER SHALL BE 1/16" LARGER THAN THE ANCHOR UNLESS NOTED OTHERWISE. USE PLATE WASHERS WITH A STANDARD SIZE HOLE WELDED TO STEEL MEMBERS WHERE OVERSIZED HOLES MUST BE USED THROUGH THE STEEL MEMBER, UNO.
 - HOLES SHALL BE DRILLED AND INSTALLED PER THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS AS OUTLINED IN THE ICC-ES REPORT. WHERE APPLICABLE, INSTALLATION SHALL ALSO FOLLOW PROPER CLEANING PROCEDURE AS INDICATED IN THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTION AS OUTLINED IN THE ICC-ES REPORT. HOLES SHALL BE DRILLED WITH A ROTARY IMPACT HAMMER DRILL OR ROCK DRILL. DO NOT CORE DRILL HOLES.

- ALL PERSONNEL INSTALLING ANCHORS SHALL BE TRAINED AND CERTIFIED BY THE ANCHORING SYSTEM MANUFACTURER. CONTRACTOR SHALL SUBMIT VALID CERTIFICATION FROM THE MANUFACTURER ON ALL PERSONNEL. ALL PERSONNEL INSTALLING ADHESIVE ANCHORS IN A HORIZONTAL, OVERHEAD OR UPWARDLY INCLINED CONDITION SHALL BE TRAINED AND CERTIFIED BY THE ADVICRS ADHESIVE ANCHOR INSTALLER CERTIFICATION PROGRAM FOR SUCH APPLICATIONS.
- POST INSTALLED ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE DRAWINGS. CONTRACTOR SHALL OBTAIN APPROVAL FROM STRUCTURAL ENGINEER OF RECORD PRIOR TO USING POST INSTALLED ANCHORS FOR MISSING OR MISPLACED CAST IN PLACE ANCHORS. ONLY USE SPECIFIC TYPE OF ANCHOR (EXPANSION, ADHESIVE, SCREW) WHERE INDICATED. DO NOT SUBSTITUTE ANCHOR TYPES WITHOUT WRITTEN APPROVAL FROM SEOR.
- SUBSTITUTION REQUESTS FOR PRODUCTS OTHER THAN THOSE LISTED ABOVE SHALL BE SUBMITTED TO THE ENGINEER WITH CALCULATIONS THAT ARE PREPARED AND SEALED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED (PER THE DELEGATED DESIGN NOTES) SHOWING THAT THE SUBSTITUTED PRODUCT WILL ACHIEVE AN EQUIVALENT CAPACITY USING THE APPROPRIATE DESIGN PROCEDURE REQUIRED BY THE BUILDING CODE. PRODUCT ICC-ES CODE REPORTS SHALL BE INCLUDED WITH THE SUBMITTAL PACKAGE. THE PROPOSED SUBSTITUTION(S) SHALL MEET THE MOST RECENTLY PUBLISHED ACI 308.2 OR ACI 308.4.

CONCRETE MASONRY UNIT (CMU):

- MASONRY CONSTRUCTION TO CONFORM TO ACI 530/530.1 BUILDING CODE REQUIREMENTS AND SPECS FOR MASONRY STRUCTURES (AND RELATED COMMENTARIES).
- ONLY LOAD BEARING MASONRY IS SHOWN ON THE STRUCTURAL PLANS. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR LOCATIONS OF NON-LOAD BEARING MASONRY. REFER TO SCHEDULES AND DETAILS FOR NON-LOAD BEARING MASONRY INFORMATION.
- CONTRACTOR SHALL ELECTRONICALLY SUBMIT STEEL REBAR SHOP DRAWINGS WITH ELEVATIONS OF REINFORCED WALLS FOR APPROVAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
- ALL MASONRY WALLS SHALL BE CONSTRUCTED IN A RUNNING BOND PATTERN AS DESCRIBED BY ACI 530 UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS.
- REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF ALL VERTICAL CONTROL JOINTS IN EXTERIOR FACADE.
- FOR LOAD BEARING WALLS. PROVIDE CONTROL JOINTS AS INDICATED ON PLAN. FOR ALL LOAD BEARING WALL CONTROL JOINTS NOT SPECIFIED AND AT ALL NON-LOAD BEARING WALLS, PROVIDE VERTICAL WALL CONTROL JOINTS IN MASONRY WALLS AS FOLLOWS:
 - 10'-0" MAXIMUM FROM CORNERS OF WALLS
 - 24'-0" o/c MAXIMUM
 - AT CHANGES IN WALL HEIGHT AND THICKNESS
 - AT WALLS ABUTTING COLUMNS
 - DO NOT PROVIDE CONTROL JOINTS IN ELEVATOR AND STAIR SHAFT WALLS
 - DO NOT PROVIDE CONTROL JOINTS NEXT TO OPENINGS UNLESS NOTED OTHERWISE.
- PROVIDE (1) VERTICAL BAR AT CORNERS AND ON EACH SIDE OF CONTROL JOINTS. MATCH SIZE OF SPECIFIED REINFORCEMENT. PROVIDE #5 IF NOT SPECIFIED.
- LAP VERTICAL WALL REINFORCEMENT PER SCHEDULE.
- LAP HORIZONTAL WALL REINFORCING PER SCHEDULE. STAGGER BOND BEAM LAP LOCATIONS MINIMUM 5'-0".
- HORIZONTAL BOND BEAM REINFORCING AT CORNERS AND INTERSECTIONS SHALL BE LAPPED PER TYPICAL DETAILS.
- PROVIDE STANDARD (W1.7) HORIZONTAL JOINT REINFORCING AT 16" o/c VERTICALLY (8" o/c IN PARAPET WALLS) UNLESS NOTED OTHERWISE. REINFORCING TO BE HOT-DIPPED GALVANIZED IN EXTERIOR WALLS AND MILL-GALVANIZED FOR INTERIOR WALLS. JOINT REINFORCING SHALL BE LADDER TYPE CONFORMING TO ASTM A951, WITH PREFABRICATED CORNER AND TEE UNITS AT CORNERS AND INTERSECTIONS. LAP JOINT REINFORCING 6" MINIMUM.
- FACE SHELLS AND WEBS SHALL BE FULL-BEDDED IN ALL COURSES OF PIERS, AND THE STARTING COURSE OF ALL WALLS.
- ALL VERTICAL MASONRY WALL REINFORCEMENT SHALL RUN CONTINUOUS THROUGH BOND BEAMS AND EXTEND FULL HEIGHT OF THE WALL. GROUT CORES SOLID AT ALL VERTICAL REINFORCING.
- COURSE AGGREGATE IN MASONRY GROUT SHALL BE PEA GRAVEL.
- DO NOT PLACE GROUT UNTIL ENTIRE HEIGHT OF MASONRY TO BE GROUDED HAS ATTAINED ENOUGH STRENGTH TO RESIST GROUT PRESSURE. COMPLY WITH REQUIREMENTS IN TMS 602/ACI 530.1/ASCE 6 FOR CLEANOUTS AND FOR GROUT PLACEMENT, INCLUDING MINIMUM GROUT SPACE AND MAXIMUM POUR HEIGHT.
- GALVANIZE ALL STEEL OUTSIDE OF BUILDING VAPOR BARRIER INCLUDING THE EXTERIOR LINTELS AND VENEER SUPPORT ANGLES AND ASSOCIATED ANCHORS, UNLESS NOTED OTHERWISE. WHERE ARCH DRAWINGS CALL OUT PAINTED LINTELS, COORDINATE PREP AND CLEAN LINTEL FOR PAINTING AFTER GALVANIZING WITH ARCHITECT AND PAINTING CONTRACTOR.
- ALL PARTIAL HEIGHT BLOCKS LESS THAN 4" HIGH SHALL BE GROUDED SOLID IN LOAD BEARING WALLS.
- SOLID OR SOLID-GROUDED CMU SHALL BE PROVIDED IN COURSES IMMEDIATELY ABOVE AND BELOW ANY CHANGES IN WYTHE THICKNESS.
- SOLID GROUT ALL MASONRY BELOW GRADE.
- CONTRACTOR SHALL GROUT MASONRY SOLID AT ALL POST-INSTALLED ANCHOR (EXPANSION, EPOXY, DRILLED) LOCATIONS. GROUT ON ALL SIDES OF EACH ANCHOR AT LEAST 4" OR THE SPECIFIED ANCHOR EMBEDMENT, WHICH EVER IS GREATER.
- PROVIDE 8" HIGH BOND BEAM w/ (2) #5 x CONT AT TOP OF WALLS AND AT FLOOR LINES FOR MULTI-STORY WALLS. REFER TO TYPICAL DETAILS FOR TOP AND BOTTOM OF WALL DETAILS.
- AT BEAM BEARING LOCATIONS, GROUT CMU SOLID A MINIMUM OF 16" WIDE x 3 COURSES DEEP UNLESS NOTED OTHERWISE.
- MASONRY FIREWALL CONSTRUCTION ASSUMES MASONRY BLOCKS COMPRISED OF LIMESTONE.
- ALL CMU BLOCK TO BE NORMAL WEIGHT (135 PCF) UNLESS NOTED OTHERWISE.

- PROVIDE A MINIMUM OF 1/2" CLEAR BETWEEN INTERIOR BLOCK FACE SHELL AND FACE OF REINFORCING BAR. PROVIDE THE FOLLOWING CLEAR COVER DISTANCES FOR REINFORCING BARS AND TIES, UNLESS NOTED OTHERWISE:

MASONRY NOT EXPOSED TO EARTH OR WEATHER:	1 1/2"
MASONRY EXPOSED TO EARTH OR WEATHER:	2"
NO. 6 THROUGH NO. 9 BARS	1 1/2"
NO. 5 BARS AND SMALLER	

STRUCTURAL STEEL:

- DESIGN, FABRICATION, AND ERECTION SHALL CONFORM TO AISI (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) "STEEL CONSTRUCTION MANUAL", EDITION AS SPECIFIED BY AISI CODE.
- REFER TO STRUCTURAL STEEL CONNECTION NOTES ON SMT FOR INFORMATION ON STRUCTURAL STEEL CONNECTIONS.
- STRUCTURAL STEEL AND CONNECTIONS EXPOSED TO WEATHER OR CORROSIIVE ENVIRONMENTS SHALL BE GALVANIZED OR COATED PER THE REQUIREMENTS OF AISI 360.
- WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS HOLDING CURRENT AWS CERTIFICATES IN THE TYPES OF WELDING SPECIFIED ON THE CONSTRUCTION DOCUMENTS.
 - USE PREQUALIFIED WELDED JOINTS IN ACCORDANCE WITH AISI AND AWS D1.1. NON-PREQUALIFIED JOINTS SHALL BE QUALIFIED PRIOR TO FABRICATION.
- PROVIDE 3/16" CAP PLATE AT THE ENDS OF ALL EXPOSED TUBE AND PIPE MEMBERS, UNLESS NOTED OTHERWISE.
- PROVIDE STIFFENER PLATES ON BOTH SIDES OF BEAM WEBS AT ALL CONCENTRATED LOADS ABOVE AND BELOW A BEAM. UNLESS NOTED OTHERWISE, FRAME THE LARGEST BEAM OVER COLUMNS AT BEAM TO BEAM INTERSECTIONS.
- SPICES SHALL BE ALLOWED ONLY AT LOCATIONS INDICATED ON THE STRUCTURAL DRAWINGS, UNLESS APPROVED BY THE STRUCTURAL ENGINEER. UNLESS NOTED OTHERWISE, FRAME THE LARGEST BEAM OVER COLUMNS AT BEAM TO BEAM INTERSECTIONS.
- CONTRACTOR SHALL ELECTRONICALLY SUBMIT STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
- THE STRUCTURE IS STABLE ONLY IN ITS COMPLETED FORM. CONTRACTOR SHALL DETERMINE, FURNISH AND INSTALL ANY TEMPORARY BRACING OR GUYS REQUIRED TO ERECT STEEL MEMBERS. TEMPORARY BRACING SHALL BE LEFT IN PLACE UNTIL THE PERMANENT STRUCTURE IS IN PLACE AND SECURE.
- STRUCTURAL STEEL FRAMING SHALL BE TRUE AND PLUMB BEFORE CONNECTIONS ARE FINALLY BOLTED OR WELDED.
- ANY HOLES, CUTS, OR COPING FIELD CUT INTO STEEL MUST BE VERIFIED WITH THE STRUCTURAL ENGINEER PRIOR TO WORK. CONTRACTOR SHALL COORDINATE ALL HOLES REQUIRED BY OTHERS WITH THE STRUCTURAL ENGINEER.
- THE STEEL SUPPLIER SHALL COORDINATE THEIR WORK WITH OTHER DELEGATED DESIGN COMPONENTS (i.e. STEEL JOISTS, PRECAST CONCRETE, STEEL STAIR COMPONENTS, ETC.).
- ALL BEAMS TO BE PLACED WITH POSITIVE CAMBER (INCLUDING NATURAL BEAM CAMBER) UPWARD. STRUCTURAL ENGINEER RECOMMENDS CONTRACTOR PERFORM A PRE-POUR SURVEY OF THE FRAMING TO ENSURE CAMBERS ARE WITHIN TOLERANCE. COORDINATE ALL INFORMATION PRIOR TO CONCRETE POUR WITH STRUCTURAL ENGINEER.

STRUCTURAL STEEL CONNECTION NOTES:

- STEEL DETAILING AND CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF AISI 360 "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AND AISI 341 "SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS EDITION AS SPECIFIED BY CODE. LOAD RESISTANCE FACTORED DESIGN.
- BEAM AND GIRDER CONNECTIONS SHALL BE DETAILED AS NOTED ON PLANS AND DETAILS.
- BOLTS SHALL BE 3/4" DIAMETER, UNLESS NOTED OTHERWISE. PROVIDE BOLT DIAMETERS IN 1/4" INCREMENTS AND PROVIDE ALL BOLTS OF A SINGLE DIAMETER AT THE SAME MATERIAL GRADE.
- SUBSTITUTION REQUESTS FOR CONNECTIONS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER WITH CALCULATIONS THAT ARE PREPARED AND SEALED BY A REGISTERED STRUCTURAL ENGINEER SHOWING THAT THE SUBSTITUTED CONNECTION WILL ACHIEVE AN EQUIVALENT CAPACITY USING THE APPROPRIATE DESIGN PROCEDURE REQUIRED BY THE BUILDING CODE.

WOOD FRAMING:

- DESIGN, FABRICATION, AND CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION UNDER THE APPLICABLE CODE OF "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", AMERICAN WOOD COUNCIL.
- DESIGN, FABRICATION, AND CONSTRUCTION OF ALL PLYWOOD FRAMING SHALL CONFORM TO THE CURRENT EDITION UNDER THE APPLICABLE CODE OF "PANEL DESIGN SPECIFICATIONS", AMERICAN PLYWOOD ASSOCIATION.
- WOOD SHEATHING SHALL CONFORM TO THE CURRENT EDITIONS OF EITHER OF THE FOLLOWING STANDARDS, AND BEAR THE "APA - THE ENGINEERED WOOD ASSOCIATION" GRADE STAMP:
 - PS-1, "STRUCTURAL PLYWOOD" FOR SOFTWOOD PLYWOOD
 - PS-2, "PERFORMANCE STANDARD FOR WOOD-BASED STRUCTURAL-USE PANELS" FOR OSB PANELS
- WOOD SHEATHING SHALL BE ATTACHED TO WOOD FRAMING WITH THE LONG DIMENSION OF THE SHEATHING LAP PERPENDICULAR TO THE SUPPORTS. STAGGER ALL JOINTS UNLESS NOTED OTHERWISE
- WOOD SHEATHING PANEL EDGES SHALL BEAR ON THE FRAMING SUPPORT MEMBERS AND BUTT ALONG THEIR CENTER LINES. NAILS SHALL BE PLACED NOT LESS THAN 3/8" IN FROM THE PANEL EDGE.
- WOOD SILL PLATES, WOOD SHEATHING, AND OTHER WOOD MEMBERS DIRECTLY EXPOSED TO MOISTURE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVE TREATED. WHERE WOOD MEMBERS ARE REQUIRED TO BE FIRE-RETARDANT TREATED AND ARE DIRECTLY EXPOSED TO MOISTURE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY, MEMBERS SHALL BE TREATED WITH AN EXTERIOR RATED FIRE-RETARDANT CHEMICAL/PROCESS.
- MAXIMUM MOISTURE CONTENT IN ANY WOOD MEMBER SHALL NOT EXCEED 19%.
- 2x WOOD JOISTS SHALL HAVE 1x3 SPF NO.2 CROSS BRIDGING AT 8'-0" o/c MAXIMUM.
- DO NOT EMBED WOOD MEMBERS IN CONCRETE.
- FASTENERS (WOOD-TO-WOOD, STEEL-TO-WOOD CONNECTIONS):
 - BOLTS SHALL CONFORM TO ASTM A307, UNLESS NOTED OTHERWISE
 - LAG SCREWS SHALL CONFORM TO ASTM A307, UNLESS NOTED OTHERWISE
 - USE STEEL WASHERS BETWEEN HEAD OF BOLT OR LAG SCREW AND WOOD.
 - USE STEEL WASHERS BETWEEN NUT AND WOOD.
 - ALL FASTENERS ATTACHING PRESERVATIVE TREATED WOOD MEMBERS TO CONCRETE OR MASONRY SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL
 - ALL NAILS SPECIFIED ARE TO BE COMMON NAILS. REFER TO GUN NAIL CONVERSION TABLE FOR GUN NAIL EQUIVALENTS.
 - INSTALL ALL HANGERS OR OTHER MANUFACTURED CLIPS, ETC WITH THE MANUFACTURER'S SPECIFIED FASTENERS, U.N.O.
 - ALL EXTERIOR FASTENERS, OR OTHER FASTENERS EXPOSED TO WET OR HIGH-HUMIDITY CONDITIONS SHALL BE GALVANIZED OR HAVE OTHER APPROVED EXTERIOR-RATED PROTECTION.
 - ALL HANGERS OR OTHER MANUFACTURED CLIPS, ETC IN EXTERIOR CONDITIONS OR OTHERWISE EXPOSED TO WET OR HIGH-HUMIDITY CONDITIONS SHALL BE GALVANIZED OR HAVE OTHER APPROVED EXTERIOR-RATED PROTECTION.
- MAKE NO SUBSTITUTIONS OF ANY PRODUCTS SPECIFIED ON ANY FRAMING PLANS WITHOUT THE DIRECT WRITTEN PERMISSION OF THE STRUCTURAL ENGINEER AND ARCHITECT.
- TEMPORARY BRACING SHALL BE PROVIDED AND REMAIN IN PLACE UNTIL THE STRUCTURE IS COMPLETELY STABILIZED, TO RESIST BUCKLING OF LOAD BEARING STUDS. USE A CONTINUOUS 2x FRAMING MEMBER ATTACHED TO THE STUD WALL AT MID-HEIGHT. USE TEMPORARY X-BRACING TO RESIST LATERAL WIND AND SEISMIC LOADS. PROVIDE ANY OTHER TEMPORARY BRACING DEEMED NECESSARY DURING CONSTRUCTION. BRACING MAY BE REMOVED ONCE THE SHEATHING IS APPLIED TO AT LEAST ONE SIDE OF THE STUDS. TEMPORARY BRACING IS THE RESPONSIBILITY OF THE WOOD FRAMER.
- ARCHITECT AND CONTRACTOR SHALL DETAIL AND CONSTRUCT BUILDING FINISHES TO ACCOMMODATE AN EXPECTED BUILDING SHRINKAGE OF APPROXIMATELY 3/16" TO 3/8" PER FLOOR OF WOOD CONSTRUCTION. PROPER CARE SHALL BE TAKEN TO PROTECT STORED AND INSTALLED LUMBER FROM THE ELEMENTS. DO NOT ALLOW LUMBER TO REST IN STANDING WATER.

EXISTING CONSTRUCTION CONDITIONS:

- ALL EXISTING FRAMING SHOWN ON THESE DRAWINGS IS BASED ON AVAILABLE DOCUMENTATION AND FIELD OBSERVATION TO DATE. CONTRACTOR SHALL FIELD VERIFY ALL SIZES, DIMENSIONS, ELEVATIONS, AND CONFIGURATIONS OF EXISTING STRUCTURAL ELEMENTS (COLUMNS, BEAMS, WALLS, ETC.) AS NECESSARY TO PROPERLY INSTALL ALL NEW STRUCTURAL ELEMENTS AS SHOWN. CONTRACTOR SHALL NOTIFY SEOR OF DISCREPANCIES AND COORDINATE DIFFERENCES BETWEEN FIELD CONDITIONS AND STRUCTURAL DRAWINGS PRIOR TO PROCEEDING WITH WORK, AND PROCUREMENT/FABRICATION OF MATERIALS.
- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY CONFLICTS WITH CONSTRUCTION DOCUMENTS.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND CONSTRUCTION SEQUENCE IN ORDER TO ENSURE THE SAFETY OF THE BUILDING AND WORKERS DURING CONSTRUCTION (MEANS AND METHODS OF CONSTRUCTION). THIS INCLUDES, BUT IS NOT LIMITED TO, SHORING, UNDERPINNING, TEMPORARY BRACING, ETC. CONTRACTOR SHALL DESIGN AND PROVIDE ALL SHORING REQUIRED TO SUPPORT EXISTING CONSTRUCTION AND NEW CONSTRUCTION AS REQUIRED TO BUILD THIS PROJECT.

METAL BUILDING:

- THE ENTIRE DESIGN OF THE METAL BUILDING SUPERSTRUCTURE SHALL BE THE RESPONSIBILITY OF THE METAL BUILDING SUPPLIER. SHOP DRAWINGS AND STRUCTURAL CALCULATIONS SHALL BE STAMPED BY THE PROFESSIONAL ENGINEER IN RESPONSIBLE CHARGE, FOR THE STATE IN WHICH THE PROJECT IS LOCATED.
- THE CONTRACTOR SHALL COORDINATE WITH THE METAL BUILDING SUPPLIER ANCHOR BOLT SIZES, TYPE, AND LOCATIONS.
- METAL BUILDING SHOP DRAWINGS SHALL CONTAIN THE FOLLOWING INFORMATION:
 - THE NAME, ADDRESS, AND PHONE NUMBER OF THE SUPPLIER
 - ALL DESIGN LOADS
 - FRAMING PLANS SPECIFYING ALL MEMBER SIZES AND LOCATIONS
 - ANCHOR BOLT SIZES, LENGTHS, AND ELEVATIONS
 - ALL COLUMN FRAME VERTICAL AND HORIZONTAL REACTIONS TRANSMITTED TO THE FOUNDATION
- CONTRACTOR SHALL REVIEW AND COORDINATE WITH THE METAL BUILDING SUPPLIER ALL BUILDING DIMENSIONS AND ELEVATIONS FOR THE METAL BUILDING TO ENSURE THAT THE METAL BUILDING STRUCTURE WILL SUFFICIENTLY BEAR ON THE FOUNDATION PRIOR TO THE METAL BUILDING FABRICATION.

PROJECT INFORMATION:

SAUVE'S AUTO
TWO RIVERS, WISCONSIN

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

SHEET INFORMATION
A.C.E. JOB NO. _____
DATE: 08-19-2024
DRAWN BY: PE
SCALE: 12" = 1'-0"

GENERAL NOTES

SHEET
S-0.0



MATERIAL STRENGTHS:
UNLESS NOTED OTHERWISE, THE FOLLOWING MATERIALS SHALL BE USED. REFER TO MATERIAL NOTES AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

CONCRETE MATERIALS SCHEDULE table with columns: TYPE OF CONSTRUCTION, COMPRESSIVE STRENGTH, EQUIL. DENSITY, EXPOSURE CATEGORIES, MAXIMUM w/cm, AIR CONTENT

- CONCRETE MATERIALS SCHEDULE NOTES:
1. CORROSION EXPOSURE SHALL BE F0, S0, W0, AND C0 UNLESS NOTED OTHERWISE IN THE EXPOSURE CATEGORIES COLUMN.
2. MAXIMUM AGGREGATE SIZE FOR ALL MIXES TO BE 3/4 INCHES. FOOTINGS MAY BE 1 1/2 INCHES.
3. PROVIDE 5% AIR CONTENT AT ALL EXPOSED CONDITIONS NOT EXPLICITLY INDICATED ABOVE. TOLERANCE OF AIR CONTENT AS DELIVERED SHALL BE +/- 1.5%.

MACROSYNTHETIC FIBERS ENGINEERED AND DESIGNED FOR USE IN CONCRETE SLABS COMPLYING WITH ASTM C 1116, TYPE III, 1 1/2" TO 2 1/2" LONG

METAL / STEEL: UNLESS NOTED OTHERWISE, THE FOLLOWING MATERIALS SHALL BE PROVIDED:

Table listing materials for REINFORCING STEEL, STRUCTURAL STEEL, STRUCTURAL CONNECTORS, ANCHOR RODS, NUTS, WASHERS, STEEL HEADED STUD ANCHORS, RODS, WELDING ELECTRODES, CONCRETE MASONRY, GROUT, WOOD FRAMING, DIMENSIONAL LUMBER, EXTERIOR LUMBER, LAMINATED VENEER LUMBER (LVL).

DESIGN DATA:
APPLICABLE CODES / STANDARDS:
WISCONSIN COMMERCIAL BUILDING CODE - 2015 IBC AS MODIFIED BY CHAPTERS SP6 361-366, ADOPTED APRIL 1, 2018
INTERNATIONAL EXISTING BUILDING CODE - 2015
ASCE 7-10 MIN DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE/SEI

STRUCTURAL DESIGN STANDARDS (DESIGN SHALL CONFORM TO THE CURRENT EDITION UNDER THE APPLICABLE CODE)
ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY
ACI 530.3(S) BUILDING CODE REQUIREMENTS AND SPECS FOR MASONRY STRUCTURES (AND RELATED COMMENTARIES)
ANSI/AISC 360 SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS
AWS D1.1D1.1M STRUCTURAL WELDING CODE - STEEL
NDS-NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION ASD/LRFD
NDS-NATIONAL DESIGN SPECIFICATION SUPPLEMENT, DESIGN VALUES FOR WOOD CONSTRUCTION

BUILDING DESIGN LOADS / CRITERIA:
RISK CATEGORY: II

DESIGN DEAD LOADS:
WOOD ROOF: 20 PSF

DESIGN LIVE LOADS:
RETAIL, OFFICE, RESTAURANT, RECREATIONAL: 100 PSF
LIGHT STORAGE: 125 PSF
PUBLIC GARAGES (PASSENGER VEHICLES): 40 PSF
HEAVY VEHICLE GARAGES: 50 PSF (MIN)

HANDRAIL ASSEMBLIES AND GUARDS:
200 LB LOAD OR 50 psf LOAD APPLIED IN ANY DIRECTION AT TOP OF HANDRAIL ASSEMBLY OR GUARD AND TO TRANSFER THIS LOAD THROUGH SUPPORTS TO THE STRUCTURE

ROOF SNOW LOADS AND DESIGN DATA:
DESIGN ROOF SNOW LOAD: 25 PSF (BALANCED SNOW LOAD)
FLAT ROOF SNOW LOAD (P) = (0.7 x Ce x Ct x Is x Pg)
SNOW EXPOSURE (Ce): 1.0
SNOW LOAD IMPORTANCE FACTOR (Is): 1.0
ROOF THERMAL FACTOR (Ct): 1.0
GROUND SNOW (Pg): 35 PSF
RAIN ON SNOW SURCHARGE: 0.0 PSF
SLOPED ROOF FACTOR (Cs): 1.0

WIND DESIGN DATA:
ULTIMATE WIND SPEED (3 SECOND GUST): 115 MPH
NOMINAL WIND SPEED: 89.1 MPH
WIND DIRECTIONALITY FACTOR (Kd): 0.85
MEAN ROOF HEIGHT: 18 FT
WIND EXPOSURE CATEGORY: C
WIND EXPOSURE CLASSIFICATION: ENCLOSED
INTERNAL PRESSURE COEFFICIENT: +0.18
BUILDING LENGTH (L): 84.3 FT
LEAST WIDTH (B): 84.3 FT
VELOCITY PRESSURE EXPOSURE COEFFICIENT K1 (CASE 1): 0.882
VELOCITY PRESSURE EXPOSURE COEFFICIENT K2 (CASE 2): 0.882
TOPOGRAPHIC FACTOR (Kzt): 1.0
EDGE STRIP (a): 7.2 FT
EDGE ZONE (Za): 14.4 FT
DESIGN PROCEDURE: C

ULTIMATE WIND LOADS COMPONENTS & CLADDING:

Table for ROOF SURFACE PRESSURE with columns: AREA, 10 SF, 50 SF, 100 SF and values for NEGATIVE and POSITIVE zones.

Table for WALL SURFACE PRESSURE with columns: AREA, 10 SF, 100 SF, 500 SF and values for NEGATIVE and POSITIVE zones.

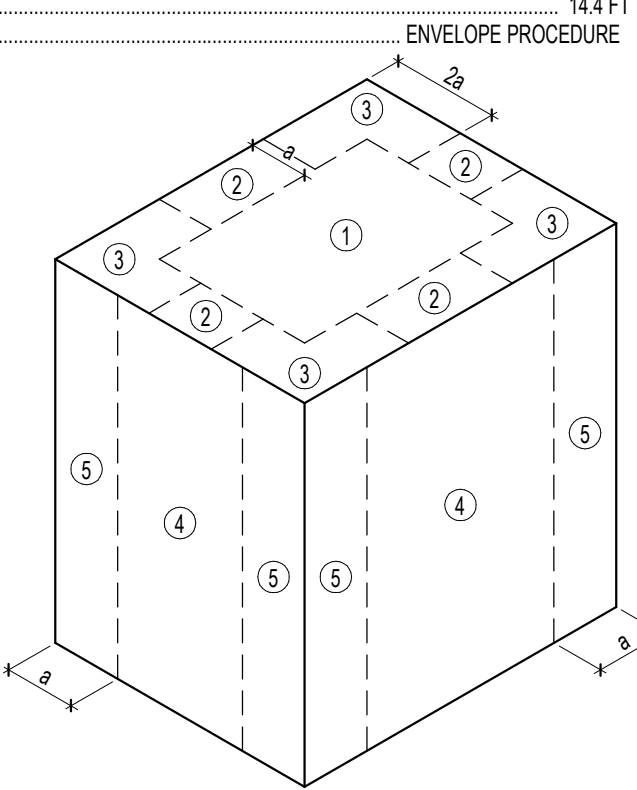


Table for PARAPET SURFACE PRESSURE with columns: CASE, SOLID PARAPET PRESSURE, 10 SF, 100 SF, 500 SF and values for CASE A and CASE B.

EARTHQUAKE DESIGN DATA:
SEISMIC IMPORTANCE FACTOR (Ie): 1.0
MAPPED SPECTRAL ACCELERATIONS AT SHORT PERIODS (Ss): 0.06
MAPPED SPECTRAL ACCELERATIONS AT (1) SECOND PERIODS (S1): 0.04
SITE CLASSIFICATION: D (UNCONFIRMED)
DESIGN SPECTRAL RESPONSE COEFFICIENT AT SHORT PERIODS (Sds): 0.61
DESIGN SPECTRAL RESPONSE COEFFICIENT AT (1) SECOND PERIODS (Sd1): 0.658
SEISMIC DESIGN CATEGORY: A
BASIC SEISMIC-FORCE-RESISTING SYSTEM: STRUCTURAL STEEL SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE
DESIGN BASE SHEAR: 0.020M KIPS
SEISMIC RESPONSE COEFFICIENT (Cs): 0.020
RESPONSE MODIFICATION COEFFICIENT (R): 3.0
ANALYSIS PROCEDURE FOR SEISMIC DESIGN: EQUIVALENT LATERAL-FORCE ANALYSIS

SOIL DESIGN VALUES:
THE DESIGN VALUES BELOW HAVE BEEN USED AS THE BASIS OF THE FOUNDATION DESIGN. THESE VALUES SHALL BE CONFIRMED BY THE FOUNDATION CONTRACTOR AND THE GEOTECHNICAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION. NOTIFY THE SEOR IF THE FINAL DESIGN OR INSTALLED VALUES DIFFER FROM THE VALUES NOTED BELOW.
SOIL UNIT WEIGHT: 115 PCF (UNCONFIRMED)
COEFFICIENT OF SLIDING FRICTION: 0.30 (UNCONFIRMED)
SUBGRADE MODULUS: 150 PSI (UNCONFIRMED)
FROST DEPTH: 48" BELOW EXTERIOR FINISH GRADE (UNCONFIRMED)
ALLOWABLE SOIL BEARING PRESSURE: 2000 PSF (UNCONFIRMED)

DELEGATED DESIGN NOTES:

- 1. ENGINEERING DESIGN, DETAILING, AND COORDINATION OF DELEGATED DESIGN ITEMS ARE DELEGATED TO THE CONTRACTOR PER THE SPECIFICATIONS AND CRITERIA INDICATED ON THE DRAWINGS. THE PRIMARY BASE BUILDING STRUCTURE HAS BEEN DESIGNED AS INDICATED HEREIN TO ACCEPT THE DELEGATED DESIGN ITEMS. THE CONTRACTOR SHALL COORDINATE THE WORK OF THE DELEGATED DESIGNERS WITH EACH OTHER AND THE PRIMARY BASE BUILDING STRUCTURE. IT IS SUGGESTED THAT DESIGN CRITERIA, LOAD PATHS, AND ATTACHMENT SCHEMES PROPOSED BY THE DELEGATED DESIGNER BE SUBMITTED FOR REVIEW BY THE ARCHITECT FOR COMPATIBILITY OF THE BASE BUILDING DESIGN PRIOR TO FINAL DESIGN AND DETAILING OF THE DELEGATED DESIGN PACKAGE.
2. STRUCTURAL SYSTEMS SHALL BE DESIGNED FOR THE DELEGATED DESIGN PERFORMANCE CRITERIA DEFLECTION LIMITS NOTED ON THIS SHEET AND TO LIMIT BUILDING MOVEMENTS TO LESS THAN THE VALUES INDICATED IN THE COORDINATION WITH OTHER TRADES AND BUILDING SYSTEMS NOTES ON S-1.
3. DOCUMENTS FOR DELEGATED DESIGN ITEMS SHALL BE STAMPED BY A QUALIFIED, PROFESSIONAL ENGINEER LICENSED IN THE STATE IN WHICH THE PROJECT IS LOCATED. THE CONTRACTOR SHALL FORWARD THE REVIEWED DOCUMENTS TO THE ARCHITECT AND/OR ENGINEER OF RECORD WITH A NOTATION INDICATING THAT THE DELEGATED DESIGN DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.
4. DELEGATED DESIGN ITEMS INCLUDE ANY ITEMS NOT EXPLICITLY NOTED ON THE STRUCTURAL DRAWINGS, INCLUDING BUT NOT LIMITED TO:

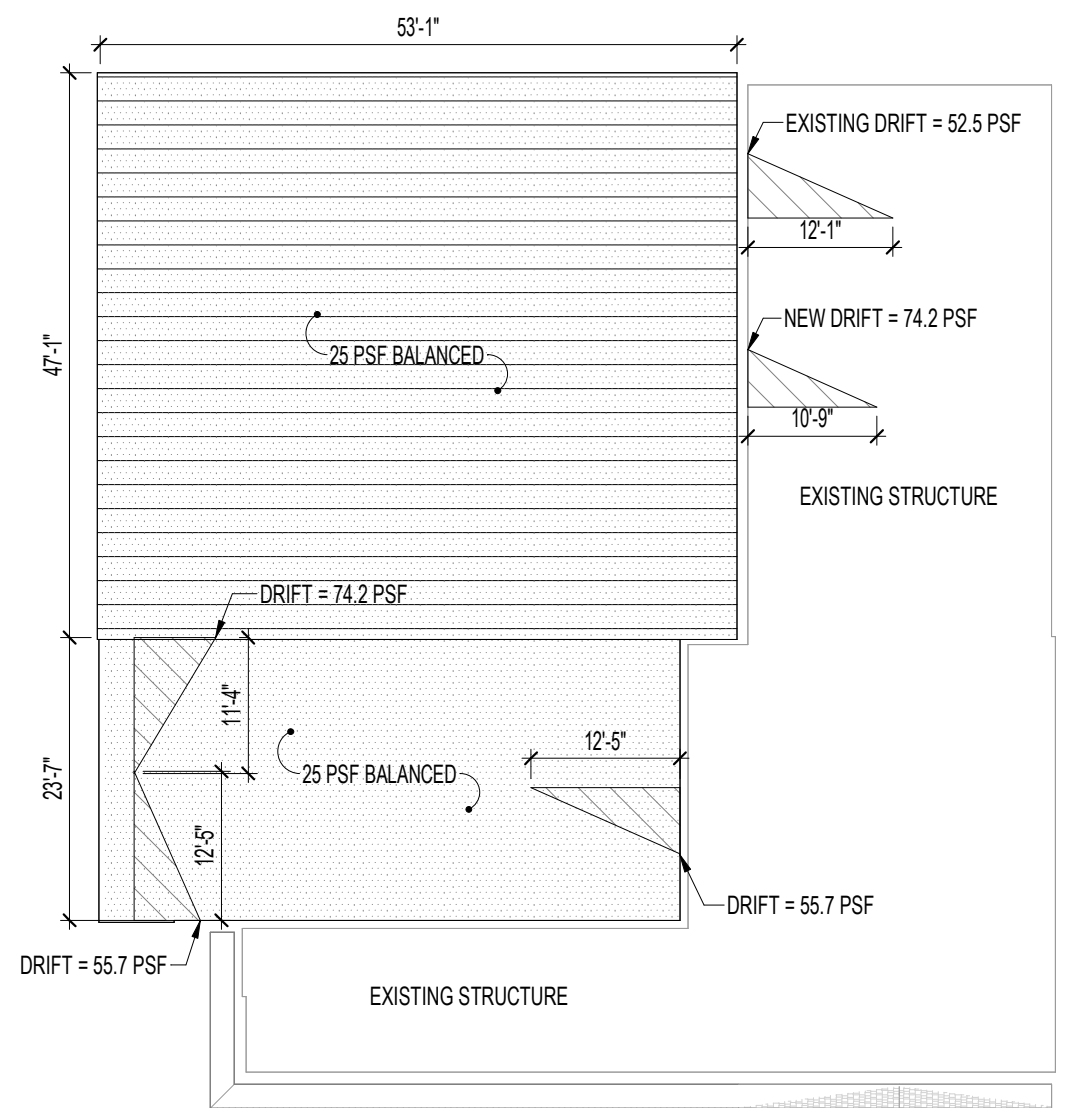
- PRIMARY BASE BUILDING STRUCTURAL ELEMENTS
- PRE-ENGINEERED METAL BUILDING
- SHORING AND/OR UNDERPINNING OF EXISTING STRUCTURES
OTHER ITEMS SUPPORTED BY PRIMARY STRUCTURE (SECONDARY MEMBERS)
- CLADDING SYSTEMS AND COMPONENTS, INCLUDING SUPPLEMENTAL SUPPORT, WHERE REQUIRED
- FURNITURE, FIXTURES, AND OTHER MISCELLANEOUS ARCHITECTURAL FABRICATIONS
- SUPPORTS, BRACING, ATTACHMENTS, AND SUBFRAMING FOR SUPPORT OF OTHER TRADES AND BUILDING COMPONENTS. REFER TO MODIFICATIONS FOR COORDINATION WITH OTHER TRADES NOTES.

- 5. DELEGATED DESIGN SUBMITTALS PERTAINING TO FOUNDATIONS AND OTHER GEOTECHNICAL ELEMENTS SHALL BE REVIEWED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. ENGINEERING AND SYSTEMS REQUIRED BY THE CONTRACTOR TO SUPPORT CONSTRUCTION REMAIN THE PREROGATIVE AND RESPONSIBILITY OF THE CONTRACTOR. REFER TO GENERAL NOTES.

COORDINATION WITH OTHER TRADES:

- 1. SUPPORT, SUBFRAMING, BRACING, AND ATTACHMENTS TO PRIMARY BASE BUILDING STRUCTURE FOR ALL NONSTRUCTURAL BUILDING COMPONENTS, INCLUDING ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ELEMENTS SHALL BE DESIGNED AND DETAILED BY THE MANUFACTURER, SUPPLIER, OR CONTRACTOR FURNISHING THOSE COMPONENTS. CONNECTIONS AND SUPPORTED LOADS TO STRUCTURAL MEMBERS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. RESPONSIBILITY FOR THE PERFORMANCE OF THE SUPPLIED SYSTEM AND ASSOCIATED CONNECTIONS SHALL REMAIN THAT OF THE PARTY FURNISHING THE DESIGN AND DETAILING.
2. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES CONNECTING TO, REQUESTING OPENINGS IN PENETRATIONS THROUGH, OR ITEMS EMBEDDED WITHIN STRUCTURAL ELEMENTS, OR OTHERWISE IMPACTING THE BASE BUILDING STRUCTURE. UPON COMPLETION OF COORDINATION AND DESIGN, FULLY COORDINATED PLANS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO FABRICATION AND INSTALLATION. THIS INCLUDES BUT IS NOT LIMITED TO SLEEVES, CONDUITS, CABLES, PIPES, ELECTRICAL BOXES, CAST-IN ATTACHMENTS, POST-INSTALLED ANCHORS, ETC. REFER TO TYPICAL DETAILS CONTAINED HEREIN FOR REINFORCEMENT REQUIRED TO ACCOMMODATE REQUESTED MODIFICATIONS TO THE PRIMARY BASE BUILDING STRUCTURE. UPON REVIEW, ADDITIONAL OR ALTERNATIVE MODIFICATIONS MAY BE REQUIRED AT THE DISCRETION AND DIRECTION OF THE STRUCTURAL ENGINEERING OF RECORD.
3. PENETRATIONS THROUGH, CONNECTIONS TO, AND ITEMS EMBEDDED WITHIN STRUCTURAL MEMBERS SHALL NOT NEGATIVELY IMPACT THE PERFORMANCE OF THE BASE BUILDING STRUCTURE.
4. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES, INCLUDING AS-BUILT CONDITIONS IMPACTING DESIGN AND COORDINATION. ADJACENCIES OF ITEMS PLANNED OR INSTALLED IN OR ON STRUCTURE SHALL BE IDENTIFIED AND CONSIDERED BY EACH TRADE FOR THE IMPACT OF SUCH ADJACENCIES TO THEIR SYSTEMS. VERIFY ALL MECHANICAL EQUIPMENT, WEIGHTS, SIZES, AND LOCATIONS PRIOR TO PREPARING SHOP DRAWINGS AND FABRICATING MATERIALS. COORDINATE ANY REQUIRED REVISIONS TO THE BASE BUILDING STRUCTURE WITH THE STRUCTURAL ENGINEER.
5. MISCELLANEOUS ELEMENTS SUCH AS SHELF ANGLES, LINTELS, SUPPORTS FOR CURTAIN WALLS OR MASONRY, AND EDGE ANGLES AT OPENINGS AND PERIMETER CONDITIONS ARE INTENDED TO SUPPORT AND BE COORDINATED WITH MATERIALS FURNISHED BY OTHER TRADES. THESE MATERIALS ARE INTENDED TO BE FIELD ATTACHED TO MEET THE TOLERANCES REQUIRED BY OTHER TRADES, WHICH MAY BE MORE STRINGENT THAN THE TOLERANCES SPECIFIED BY THE RELEVANT CODE OF STANDARD PRACTICE FOR THE SUPPORTING ELEMENTS. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND COORDINATE THE INSTALLATION OF SUPPORTING ELEMENTS TO COMPLY WITH THE TOLERANCE CRITERIA REQUIRED FOR INSTALLATION OF MATERIALS BY OTHER TRADES.

- 6. UNDERGROUND
A. THE INFLUENCE AREA OF A FOOTING OR MAT SHALL BE DEFINED AS THE FRUSTUM OF SOIL LOCATED BELOW THE FOOTING OR MAT HAVING A 2:1 (HORIZONTAL VERTICAL) SLOPE EMANATING FROM THE FOOTING OR MAT EDGE, OR AS DEFINED BY THE GEOTECHNICAL ENGINEER OF RECORD.
B. PIPES, CONDUITS, AND BURIED ITEMS SHALL NOT BE PLACED WITHIN THE INFLUENCE AREA OF ADJACENT FOOTINGS OR MATS.
C. ALL STRUCTURES (eg. TRAP BASINS, GREASE TRAPS, ETC.) SHALL NOT BE INSTALLED WITHIN THE INFLUENCE AREA OF ADJACENT FOOTINGS OR MATS UNLESS THE STRUCTURE IS DESIGNED BY THE MANUFACTURER FOR INCREASED SURCHARGE LOAD APPLIED BY THE ADJACENT FOUNDATION AND HAS BEEN REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER OF RECORD OR THE GEOTECHNICAL ENGINEER OF RECORD.
7. MASONRY ELEMENTS
A. CONDUIT AND PIPING MAY BE PLACED THROUGH OR WITHIN HOLLOW CORES BUT SHALL NOT PASS THROUGH OR WITHIN BOND BEAMS, BOTTOM BOTTOM BEARING, OR OTHER GROUTED OR REINFORCED MASONRY ELEMENTS.
B. NO ELEMENTS SHALL BE EMBEDDED THROUGH OR WITHIN SOLID OR SOLIDLY GROUTED MASONRY ELEMENTS.
C. ELEMENTS THROUGH OR WITHIN THE MASONRY SHOULD NOT BE ALUMINUM OR BE A MATERIAL THAT COULD RESULT IN DEGRADATION OF THE MASONRY.
D. FOR ADDITIONAL LIMITATIONS, REFER TO THE TMS 402 MASONRY CODE.
8. STEEL ELEMENTS
A. ALL PENETRATIONS INDICATED HEREIN SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH COORDINATION WITH THE SUBCONTRACTORS AND DELEGATED DESIGN ENGINEERS. SUBMIT ALL REQUIRED PENETRATIONS FOR REVIEW AND APPROVAL SUBSEQUENT TO FINAL COORDINATION OF BUILDING SYSTEMS.
B. FIELD-CUTTING SHALL NOT BE PERMITTED WITHOUT PRIOR APPROVAL BY THE STRUCTURAL ENGINEER OF RECORD.
9. MOVEMENT ACCOMMODATION BY BUILDING COMPONENTS
A. BUILDING COMPONENTS SUPPORTED ON THE BASE BUILDING STRUCTURE, SUCH AS CLADDING SYSTEMS, PARTITIONS WALLS, OPERABLE PARTITIONS, ETC., SHALL BE DESIGNED AND DETAILED TO ACCOMMODATE STRUCTURAL MOVEMENTS.



1 S-0.1 ROOF SNOW LOAD PLAN

Table titled 'DELEGATED DESIGN PERFORMANCE CRITERIA DEFLECTION LIMITS' with columns: MEMBERS, LIVE, SNOW OR WIND, DEAD + LIVE OR SNOW.

Table titled 'ABBREVIATIONS' listing various abbreviations and their meanings, such as ALT. ALTERNATE, ARCH. ARCHITECTURAL, BLDG. BUILDING, etc.

Revision table with columns: NO., REVISION DESCRIPTION, DATE, REV. BY.

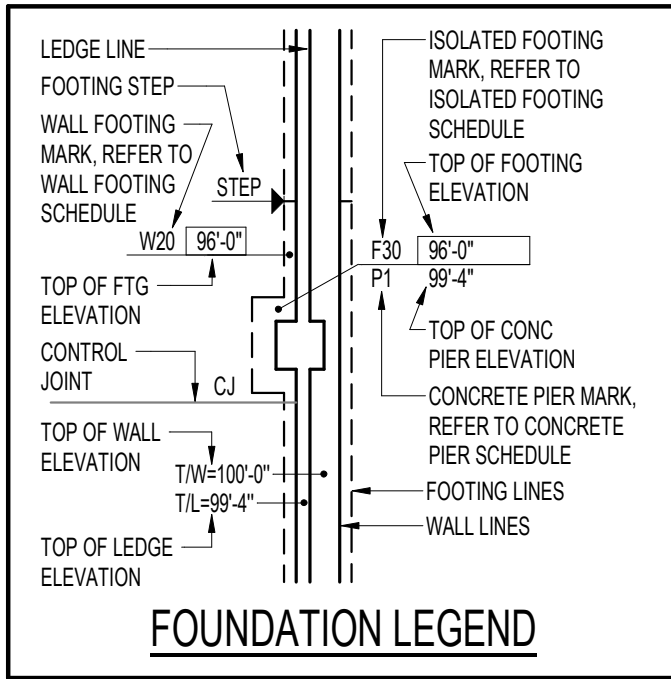
Professional seal and contact information for A.C.E. BUILDING SERVICE, CIVIL & STRUCTURAL ENGINEERS, SUPERVISING PROFESSIONAL. Includes address: 3610 SOUTH 26TH STREET | MANTOWOC, WISCONSIN 54220 and phone: 920-682-4105 | WWW.ACEBUILDINGSERVICE.COM.

PROJECT INFORMATION: SAUVE'S AUTO TWO RIVERS, WISCONSIN. SHEET INFORMATION: A.C.E. JOB NO., DATE: 08-19-2024, DRAWN BY: PE, SCALE: As indicated, DESIGN CRITERIA, SHEET S-0.1.

Logo for PIERCE ENGINEERS, INC. with address: 181 N. Broadway Ave, Milwaukee, WI 53202, 414.278.6060, www.pierceengineers.com, PE Project: 240407.

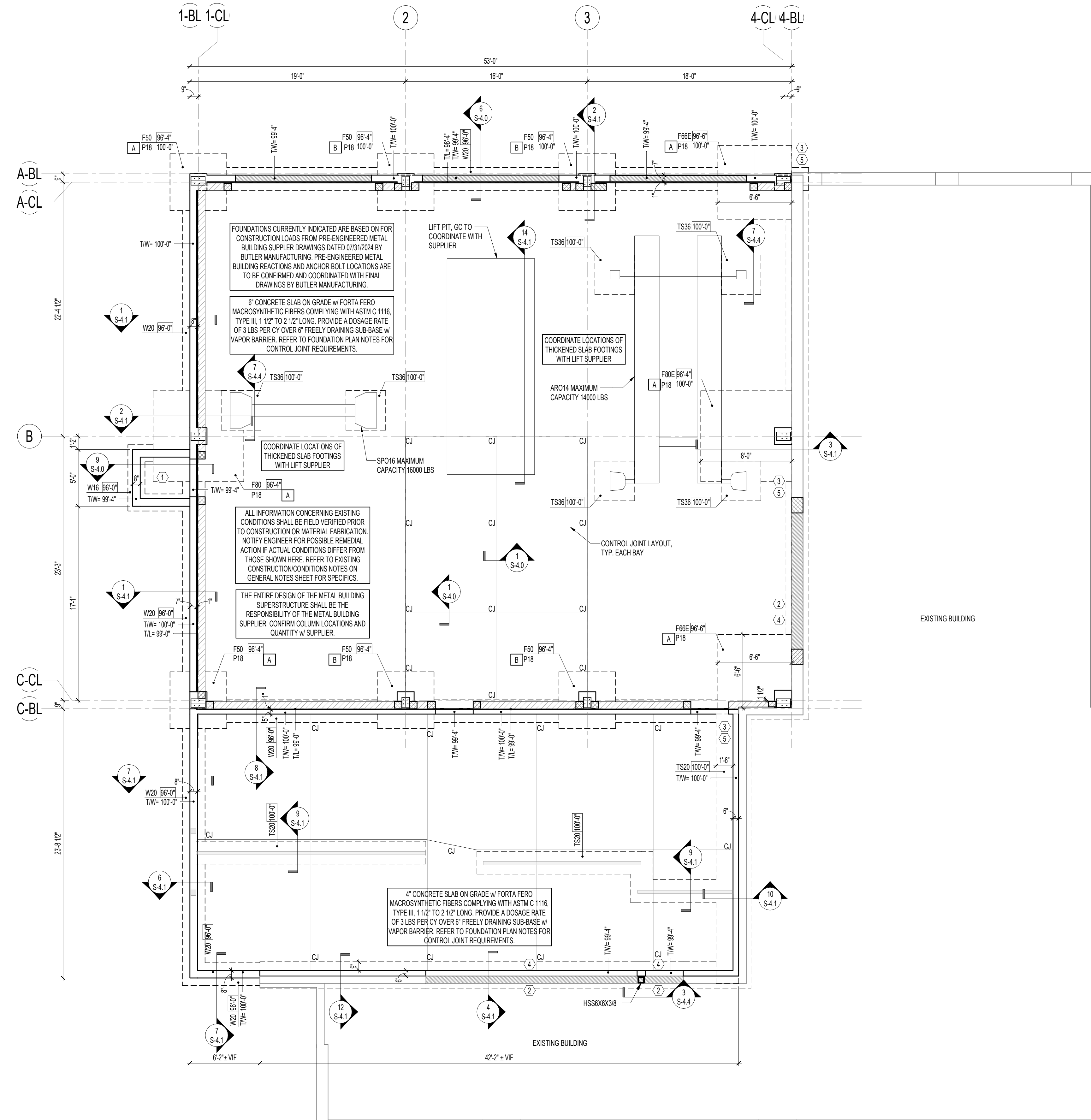
FOUNDATION PLAN NOTES:

- PLAN NOTES APPLY TO ALL FOUNDATION PLANS. INDIVIDUAL NOTES DO NOT NECESSARILY APPLY TO ALL SHEETS.
- REFER TO S-0.0 SERIES SHEETS FOR GENERAL NOTES AND SCHEDULES.
 - REFER TO SHEET S-4.0 AND S-4.1 FOR TYPICAL FOUNDATION DETAILS NOT CUT ON PLAN.
 - ELEVATION 100'-0" ON STRUCTURAL DRAWINGS CORRESPONDS TO FF ELEVATION SHOWN ON SITE PLAN. TYPICAL.
 - SLAB ON GROUND CONTROL JOINTS:** PROVIDE SAW CUT CONTROL JOINTS IN CONCRETE SLAB ON GROUND CONSTRUCTION WITHIN 24 HOURS OF INITIAL POUR. CONTROL JOINTS SHALL BE SPACED AT 36 TIMES THE SLAB THICKNESS, UP TO A MAXIMUM SPACING OF 18'-0". THE ASPECT RATIO OF SLAB PANELS SHALL BE A MAXIMUM OF 1.5 TO 1. CONTROL JOINTS SHALL BE PLACED ON COLUMN CENTERLINES, INTERIOR CORNERS, AND FLOOR DISCONTINUITIES (PITS, EQUIPMENT PADS, TRENCHES, DEPRESSED SLABS, ETC.). COORDINATE SLAB CONTROL JOINTS LAYOUT WITH ARCHITECT. SLAB ON GROUND CONSTRUCTION SHALL CONFORM TO ACI 302 "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION". REFER TO TYPICAL DETAILS FOR SLAB ON GROUND CONSTRUCTION.
 - SLAB DEPRESSIONS:** VERIFY ALL SLAB DEPRESSIONS (SIZE, DEPTH, LOCATION) w/ ARCHITECTURAL DRAWINGS.
 - GC TO COORDINATE FOOTING ELEVATIONS w/ ALL UNDERGROUND UTILITY WORK. NOTIFY SEOR OF ANY CONFLICTS.
 - AT ALL INTERIOR AND EXTERIOR WOOD BEARING WALLS, PROVIDE BOTTOM PLATE PER BEARING WALL SCHEDULE w/ 5/8" DIAMETER SIMPSON TITEN HD ANCHORS w/ 18" MINIMUM EMBED, AT 4'-0" o.c. UNLESS NOTED OTHERWISE. REFER TO WOOD SHEAR WALL SCHEDULE FOR PLATE ATTACHMENT AT WALLS DESIGNATED AS SHEAR WALLS ON PLAN.

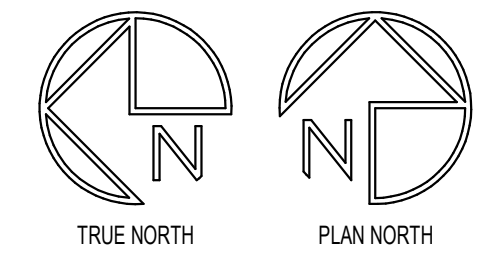


FOUNDATION PLAN KEYED NOTES:

- KEYED NOTES APPLY TO ALL FOUNDATION PLANS. ALL NOTES DO NOT NECESSARILY APPEAR ON ALL SHEETS.
- CONCRETE STOOP. REFER TO 9S-4.0.
 - CUT EXISTING FOUNDATION WALL DOWN TO ELEVATION 99'-4" FOR NEW SLAB OVERPOUR.
 - PROVIDE #4 DOWELS x 18" EPOXY INTO EXISTING MASONRY WALL AT 24" o.c. VERTICAL FULL HEIGHT OF NEW CONCRETE FOUNDATION WALL. EMBED 6" MINIMUM INTO EXISTING WALL.
 - PROVIDE #4 DOWELS x 18" FROM NEW SLAB ON GROUND ADHESIVE ANCHORED INTO EXISTING CONCRETE SLAB ON GROUND AT 24" o.c. LOCATE DOWELS IN MID-HEIGHT OF THINNEST SLAB ON GROUND. EMBED DWLS 6" MINIMUM INTO EXISTING SLAB.
 - STEP OR THICKEN FOOTING AS REQUIRED TO HAVE NEW BOTTOM OF FOOTING ELEVATION MATCH EXISTING BOTTOM OF FOOTING ELEVATION. CONTRACTOR SHALL FIELD VERIFY BOTTOM OF EXISTING FOOTING. REFER TO TYPICAL DETAILS.



1 FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



ALL INFORMATION CONCERNING EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OR MATERIAL FABRICATION. NOTIFY ENGINEER FOR POSSIBLE REMEDIAL ACTION IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN HERE. REFER TO EXISTING CONSTRUCTION/CONDITIONS NOTES ON GENERAL NOTES SHEET FOR SPECIFICS.

NO.	REVISION DESCRIPTION	DATE	REV. BY

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Civil & Structural
A DIVISION OF A.C.E. BUILDING SERVICE

SMT
SUPERVISING PROFESSIONAL

PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

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SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08-19-2024
DRAWN BY:	PE
SCALE:	As indicated

FOUNDATION PLAN
SHEET
S-1.0

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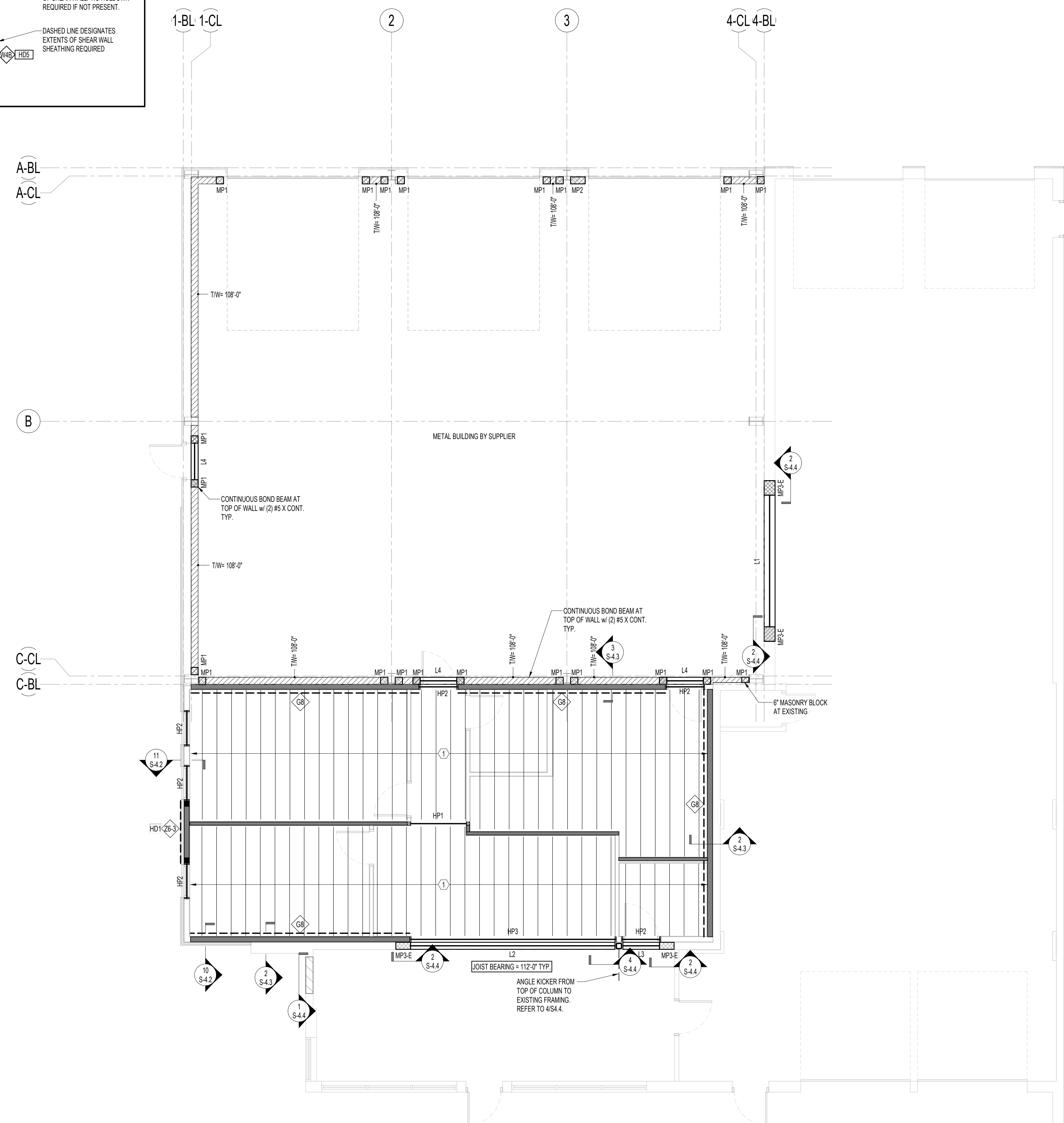
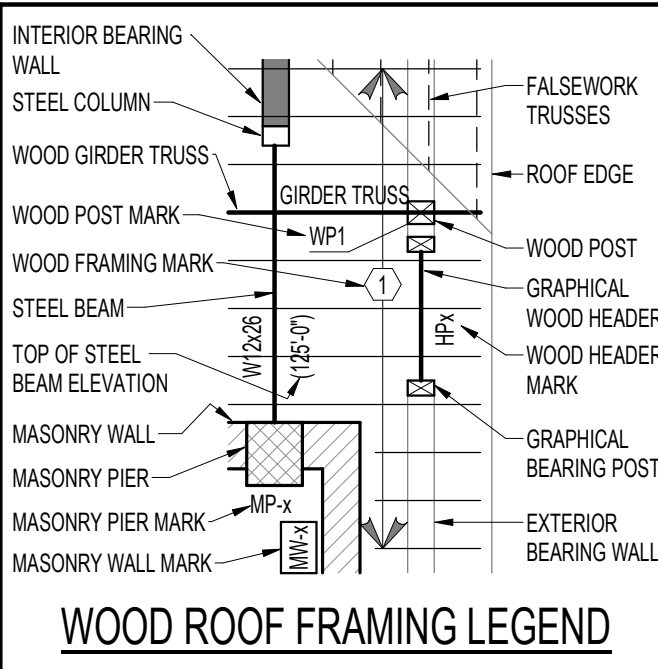
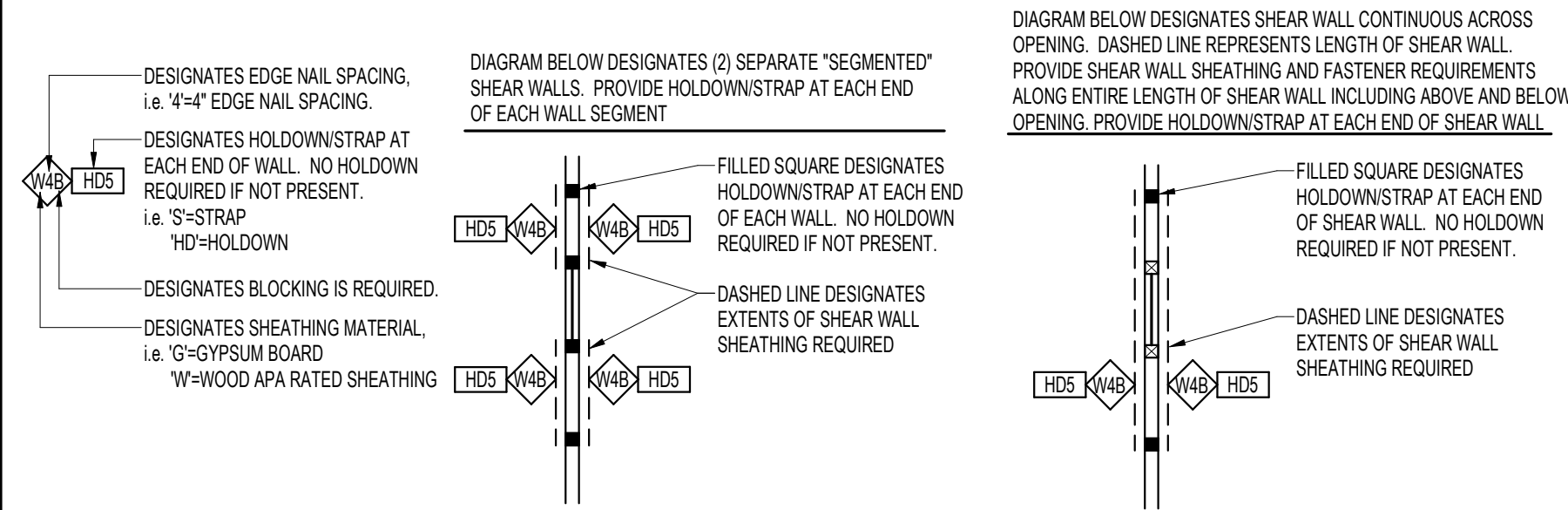
WOOD ROOF FRAMING PLAN NOTES:

- PLAN NOTES APPLY TO ALL WOOD ROOF FRAMING PLANS. INDIVIDUAL NOTES DO NOT NECESSARILY APPLY TO ALL SHEETS.
- REFER TO S-0.0 SERIES SHEETS FOR GENERAL STRUCTURAL NOTES, INCLUDING COMPONENT DESIGN CRITERIA.
 - REFER TO SHEETS S-4.2 AND S-4.3 FOR WOOD SCHEDULES AND RELATED DETAILS AND TYPICAL WOOD DETAILS, INCLUDING:
 - WOOD BEARING WALL SCHEDULE
 - WOOD HEADER/POST SCHEDULE
 - WOOD SHEAR WALL AND STRAP & HOLD-DOWNS SCHEDULE
 - GUN NAIL CONVERSION SCHEDULE
 - MINIMUM WOOD FASTENING SCHEDULE
 - ALLOWABLE HOLES AND NOTCHES IN STRUCTURAL MEMBERS
 - REFER TO SHEET S-4.3 FOR TYPICAL ROOF SHEATHING DETAIL.
 - REFER TO SHEETS S-4.4 FOR MASONRY SCHEDULES AND RELATED DETAILS, INCLUDING:
 - STEEL LINTEL BEARING DETAIL AND SCHEDULE
 - REFER TO SHEET S-0.1 FOR SNOW LOAD PLAN.
 - ROOF SHEATHING SHALL BE 1/2" APA RATED WOOD ROOF SHEATHING (PL WOOD OR OSB) w/ THE LONG DIMENSION OF THE SHEETS LAID PERPENDICULAR TO THE ROOF TRUSSES. ATTACH SHEATHING TO ROOF TRUSSES w/ 10d NAILS AT 6" o/c SPACING (EDGES/FIELD). MINIMUM DISTANCE FOR NAILS IS 3/8" FROM PANEL EDGE. PROVIDE WOOD SHEATHING CLIPS WHERE SHEATHING EDGES ABUT BETWEEN ROOF TRUSSES. STAGGER ALL ROOF SHEATHING JOINTS. NAILS TO HAVE A MINIMUM PENETRATION INTO FRAMING MEMBER OF 1-1/2".
 - ALL EXTERIOR WOOD STUD WALLS SHALL HAVE (1) LAYER OF 1" ZIP SHEATHING ON THE EXTERIOR WALL FACE. REFER TO STANDARD WOOD WALL DETAILS FOR TYPICAL BEARING WALL CONSTRUCTION AND SHEATHING ATTACHMENT. IF WALL IS NOT SPECIFICALLY DESIGNATED AS A SHEAR WALL, ATTACH SHEATHING TO WALL STUDS w/ 10d NAILS AT 6" o/c SPACING (EDGES/FIELD). NAILS TO HAVE A MINIMUM PENETRATION INTO FRAMING MEMBER OF 1-1/2".
 - FOR WALLS NOT SPECIFICALLY DESIGNATED AS SHEAR WALLS, ATTACH MINIMUM 1/2" GYPSUM WALL BOARD TO INTERIOR STUD WALLS w/ No. 8 x 1 1/4" TYPE S OR W DRYWALL SCREWS AT 12" o/c AT ALL STUDS AND TOP & BOTTOM PLATES. MINIMUM EDGE DISTANCE FOR FASTENERS IS 3/8" FROM PANEL EDGE.
 - UNO, AT GIRDER TRUSS BEARING, PROVIDE A WOOD POST w/ MULTIPLE 2x MEMBERS AS REQUIRED TO MATCH GIRDER TRUSS WIDTH.
 - AT INTERIOR BEARING WALLS WHERE ROOF TRUSSES BEAR ON WALL FROM EITHER SIDE, LAP TRUSSES AND BEAR EACH TRUSS FULL WIDTH OF WALL, UNLESS NOTED OTHERWISE.
 - VERIFY ALL MECHANICAL EQUIPMENT WEIGHTS, SIZES, & LOCATIONS PRIOR TO PREPARING SHOP DRAWINGS & FABRICATING MATERIALS. CONTRACTOR TO COORDINATE ANY CHANGES w/ JOIST SUPPLIER AND STRUCTURAL ENGINEER.
 - ALL MECHANICAL EQUIPMENT SHALL BEAR ON (2) JOISTS/TRUSSES MINIMUM.

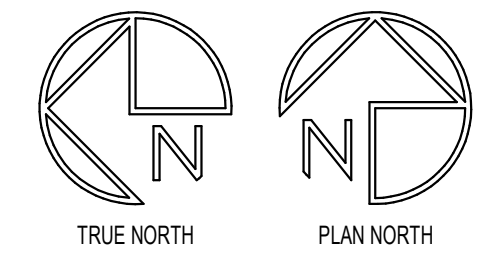
WOOD ROOF FRAMING PLAN KEYED NOTES:

- KEYED NOTES APPLY TO ALL WOOD ROOF FRAMING PLANS. ALL NOTES DO NOT NECESSARILY APPEAR ON ALL SHEETS.
- 2X10 SPF NO.1NO.2 OR BETTER JOISTS AT 16" o/c.

SHEAR WALL MARK/HOLD-DOWN/STRAP LEGEND:



1 ROOF FRAMING PLAN
SCALE: 3/16" = 1'-0"



ALL INFORMATION CONCERNING EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OR MATERIAL FABRICATION. NOTIFY ENGINEER FOR POSSIBLE REMEDIAL ACTION IF ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN HERE. REFER TO EXISTING CONSTRUCTION CONDITIONS NOTES ON GENERAL NOTES SHEET FOR SPECIFICS.

NO.	REVISION DESCRIPTION	DATE	REV. BY

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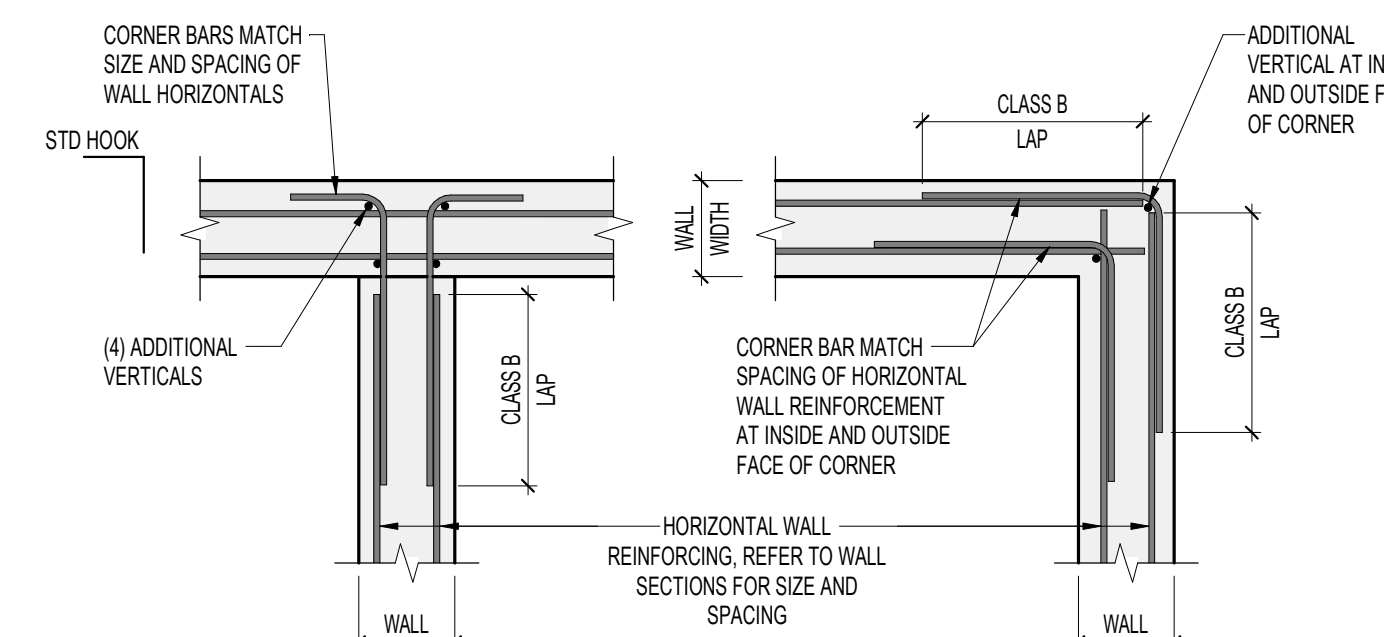
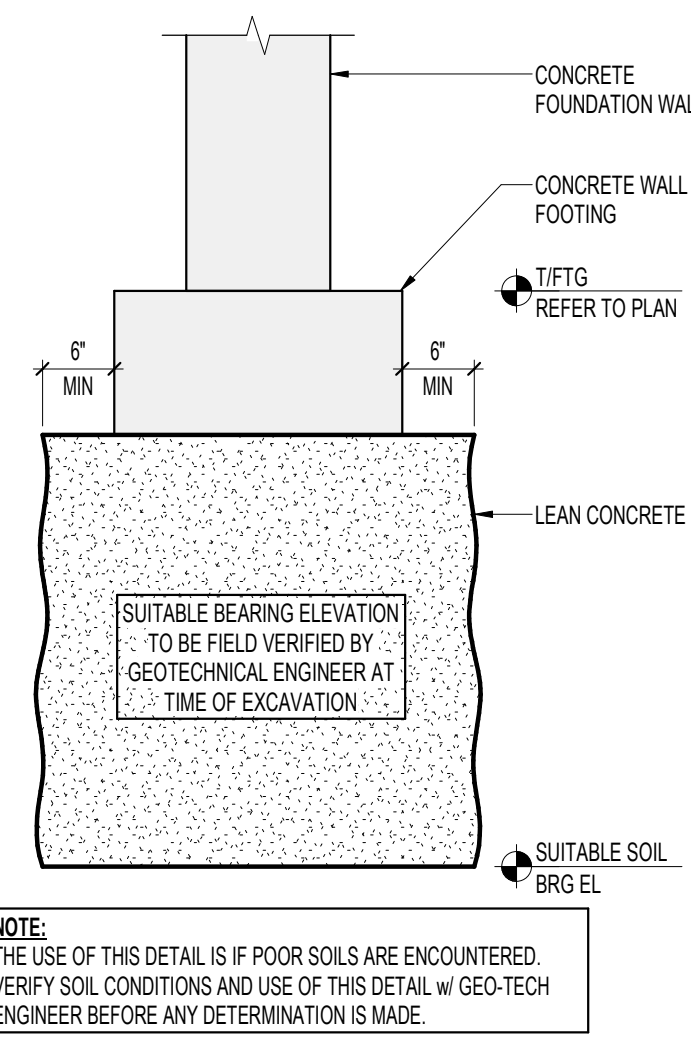
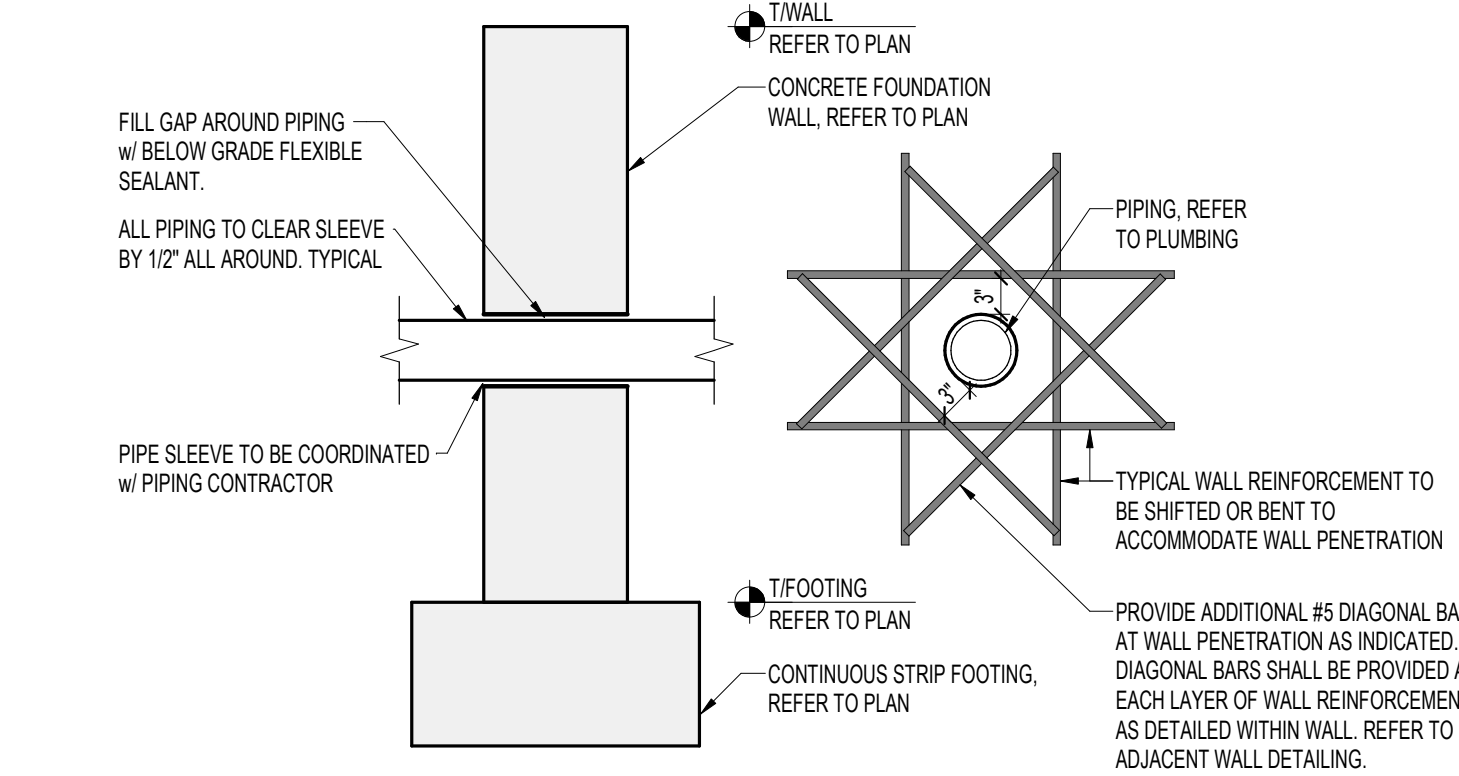
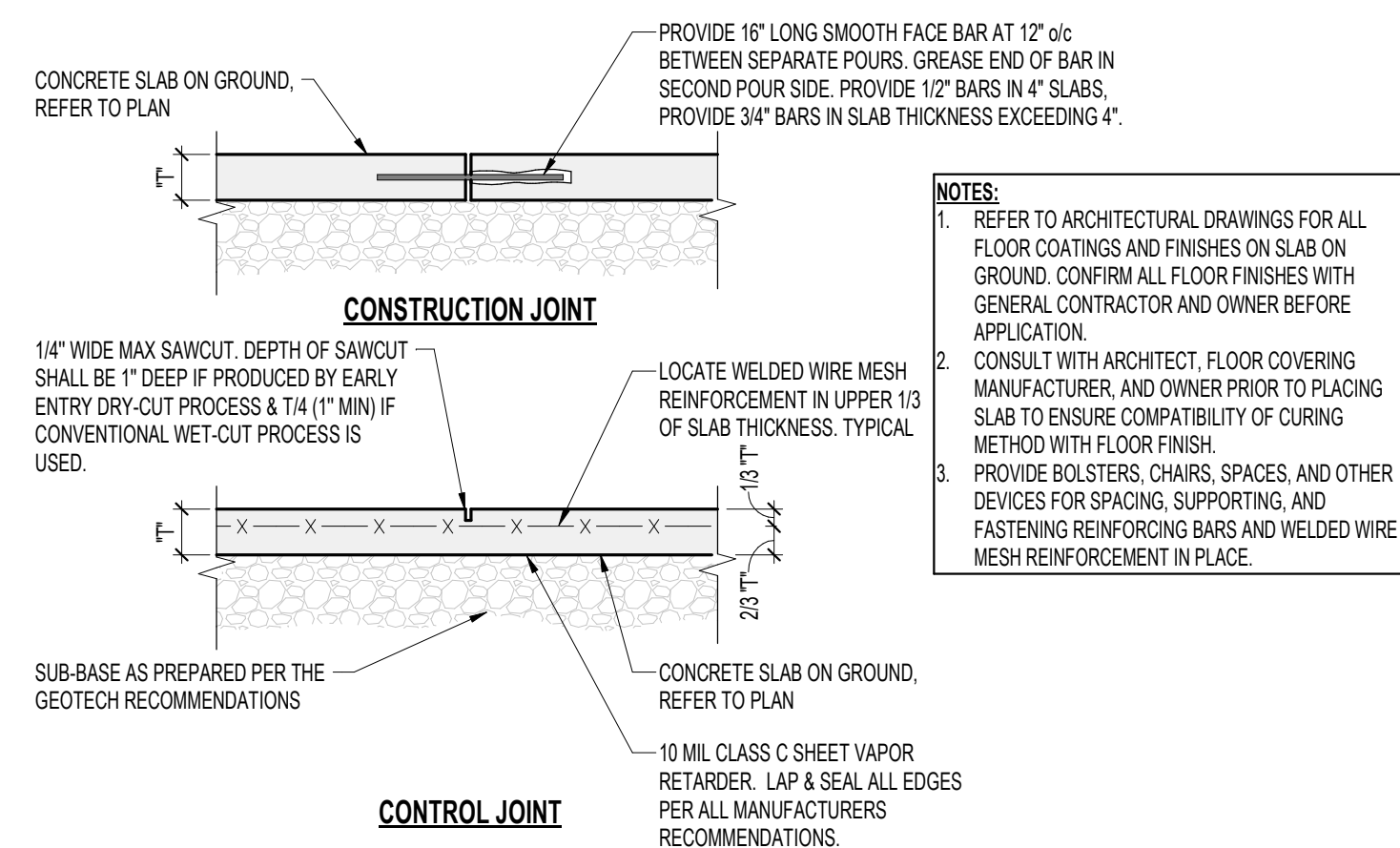
PROJECT INFORMATION:
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SHEET INFORMATION
A.C.E. JOB NO. 08-19-2024
DRAWN BY: PE
SCALE: As indicated
ROOF FRAMING PLAN

SHEET
S-2.0
49

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PE Project: 240407

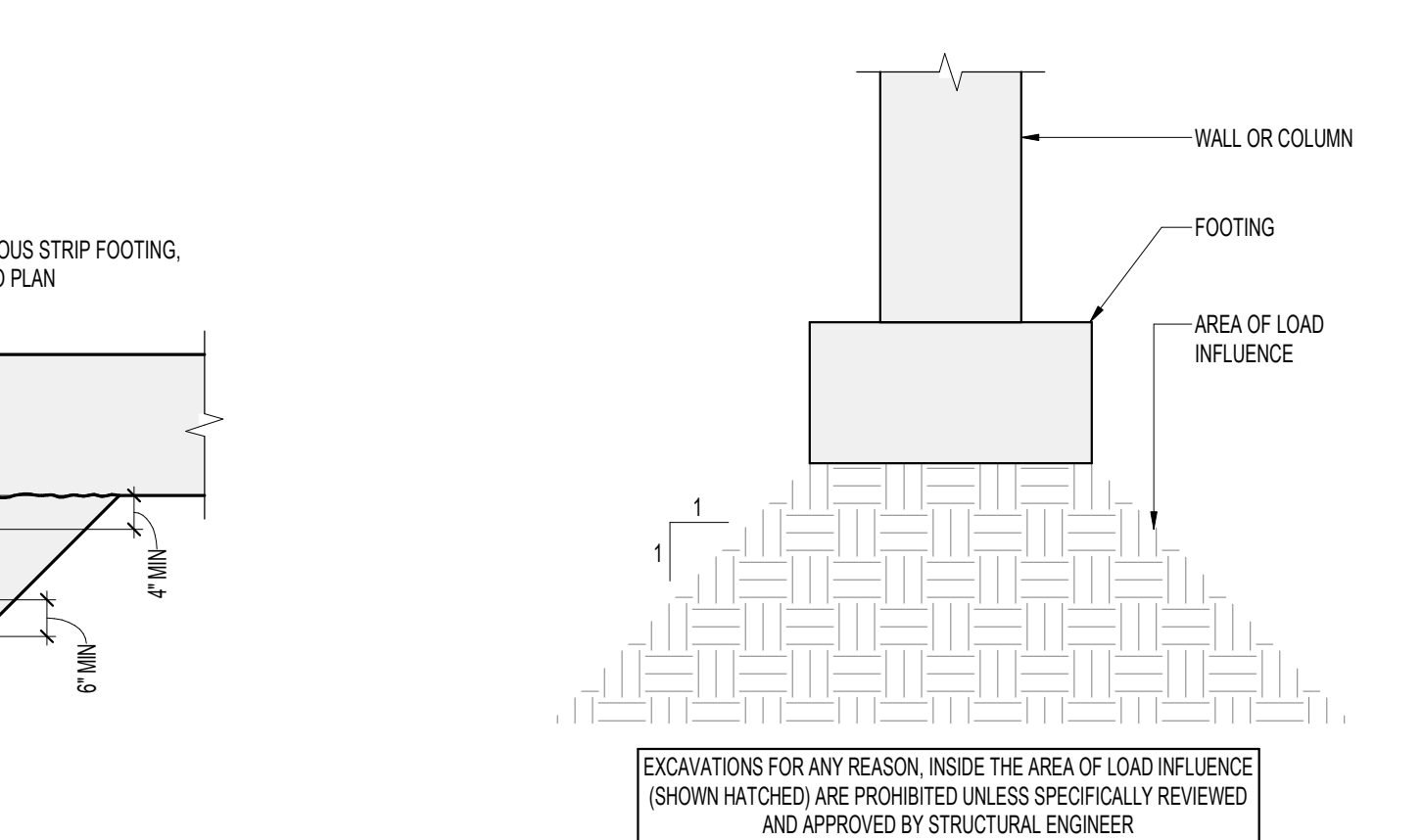
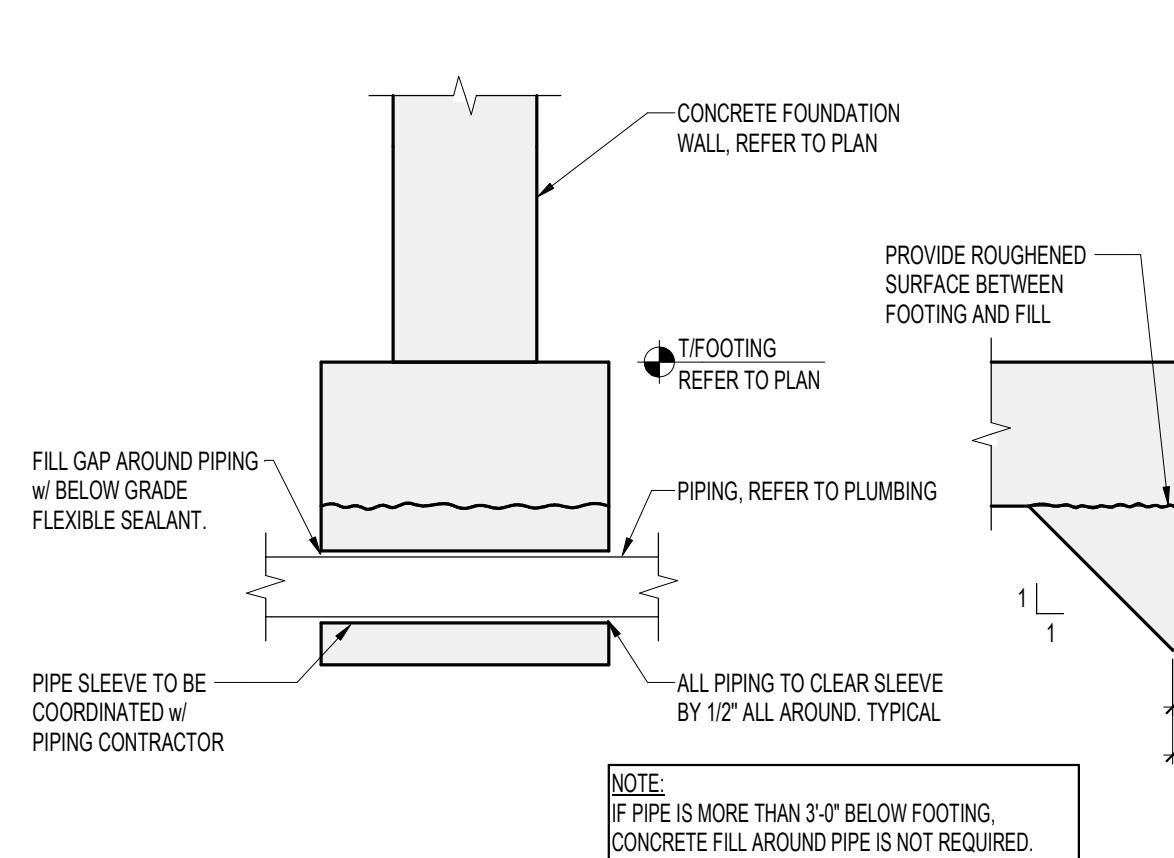
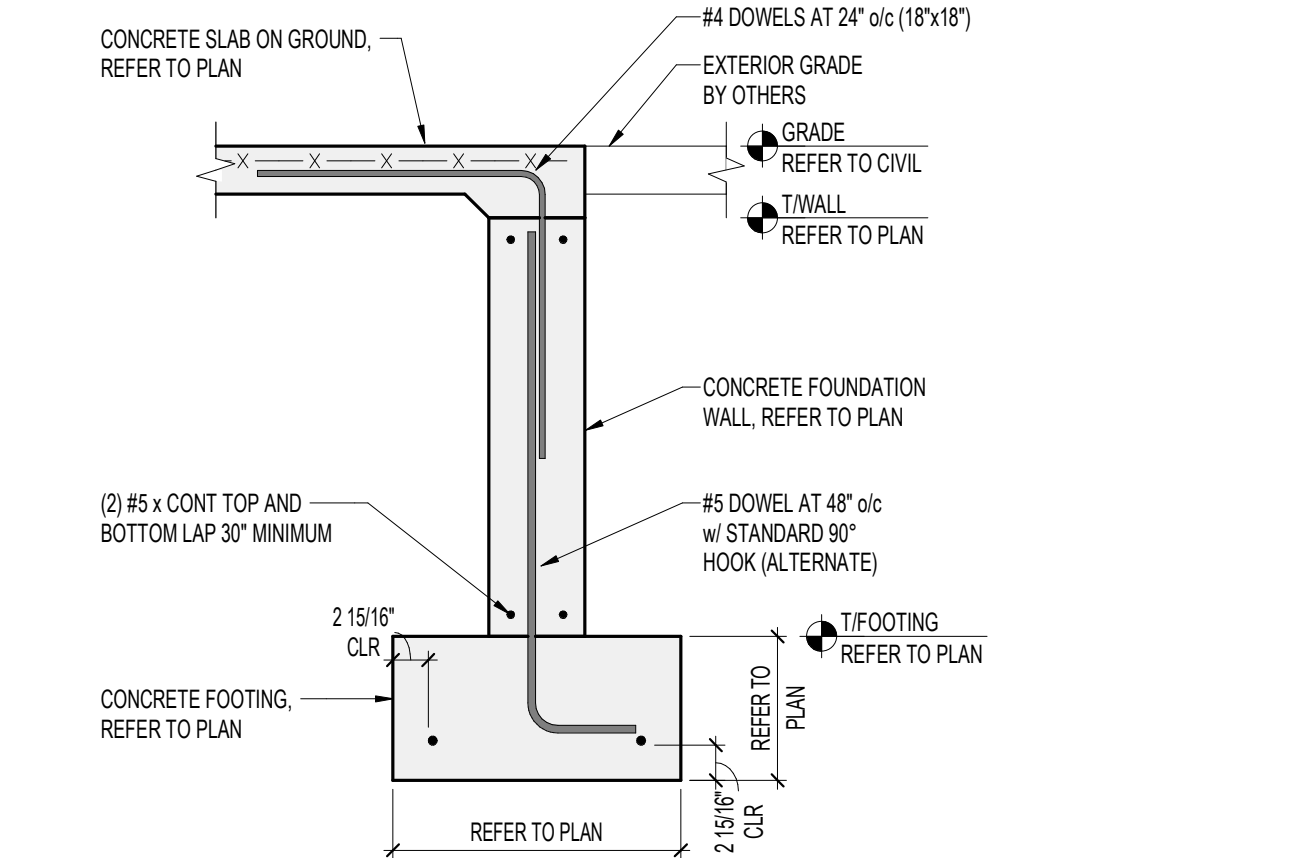
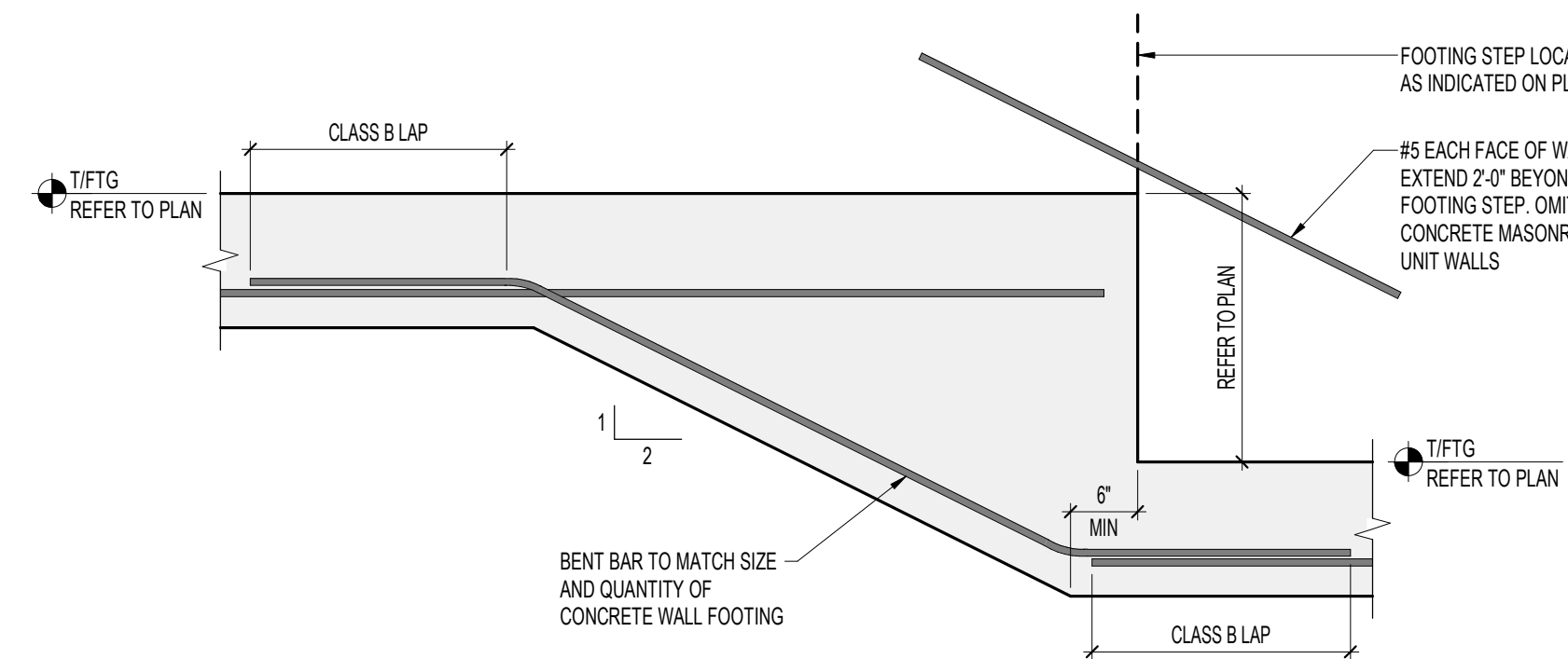


1 S-4.0 SLAB ON GRADE CONSTRUCTION DETAILS

2 S-4.0 PIPE PENETRATION AT FOUNDATION WALL

3 S-4.0 TYPICAL OVER-EXCAVATION DETAIL

4 S-4.0 CORNER AND WALL INTERSECTION REINFORCING

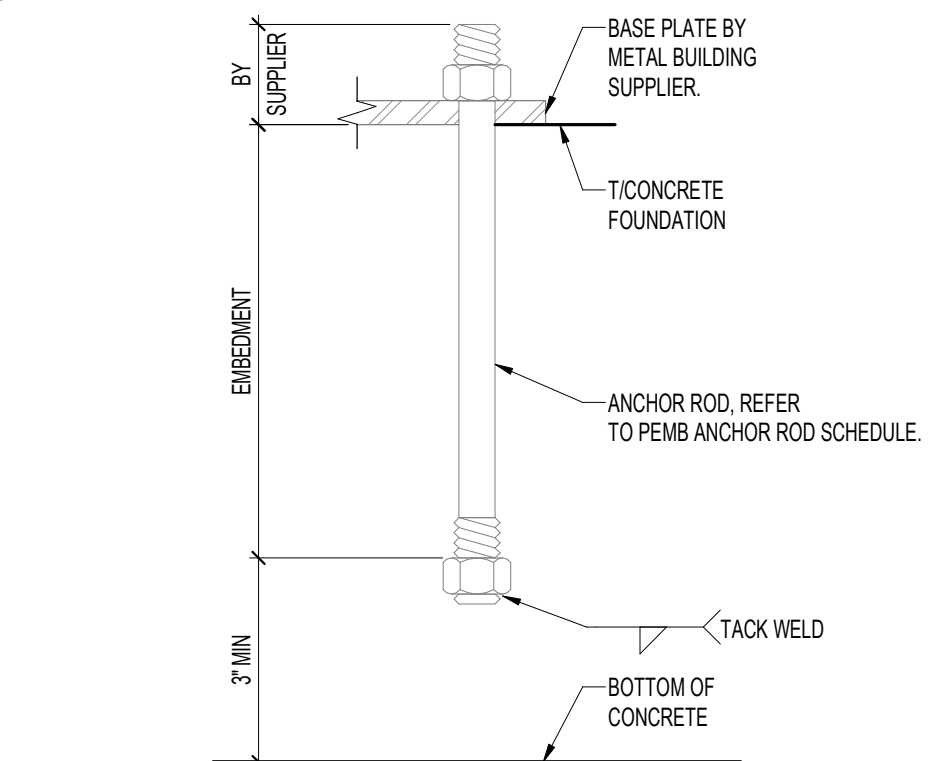
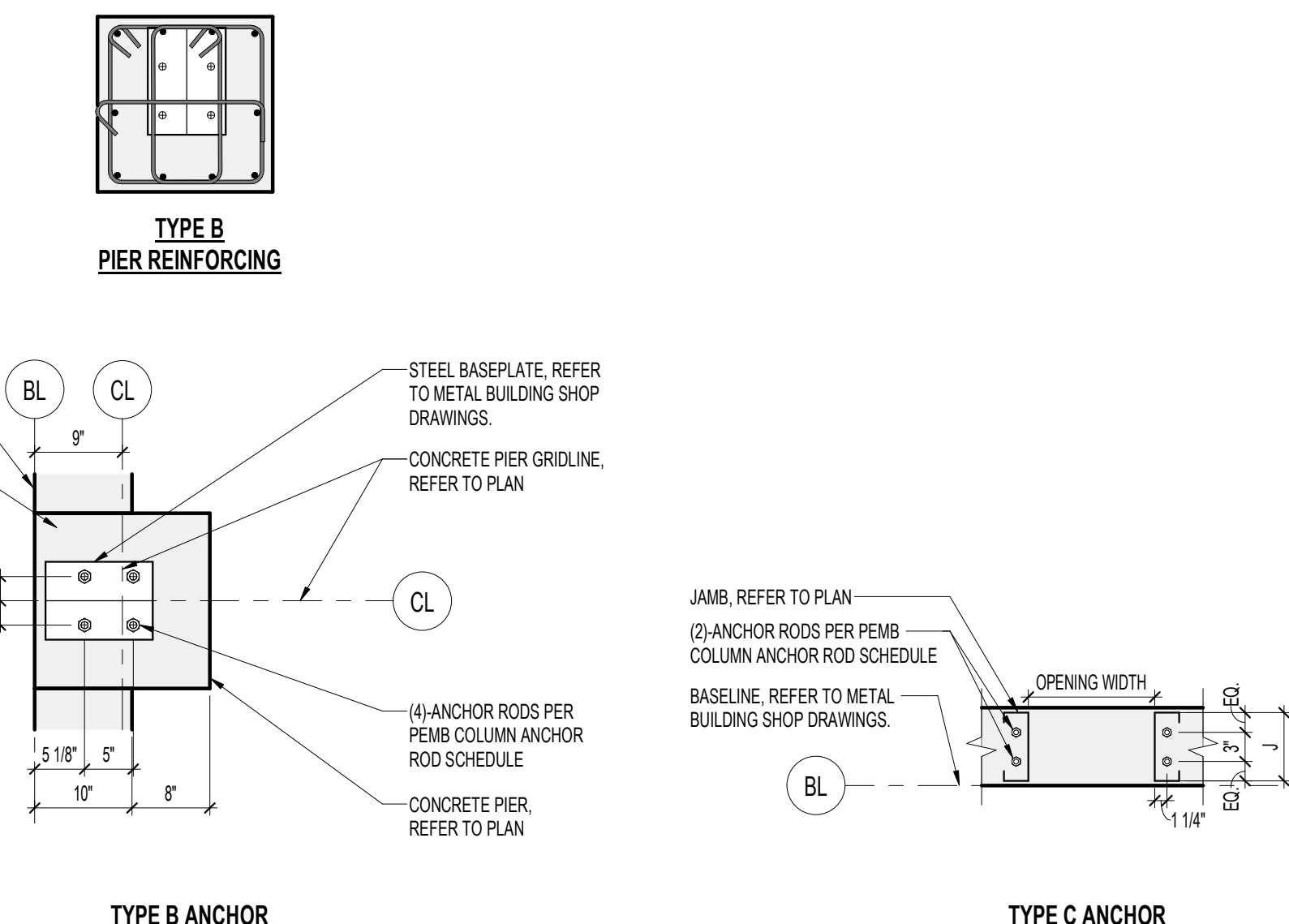
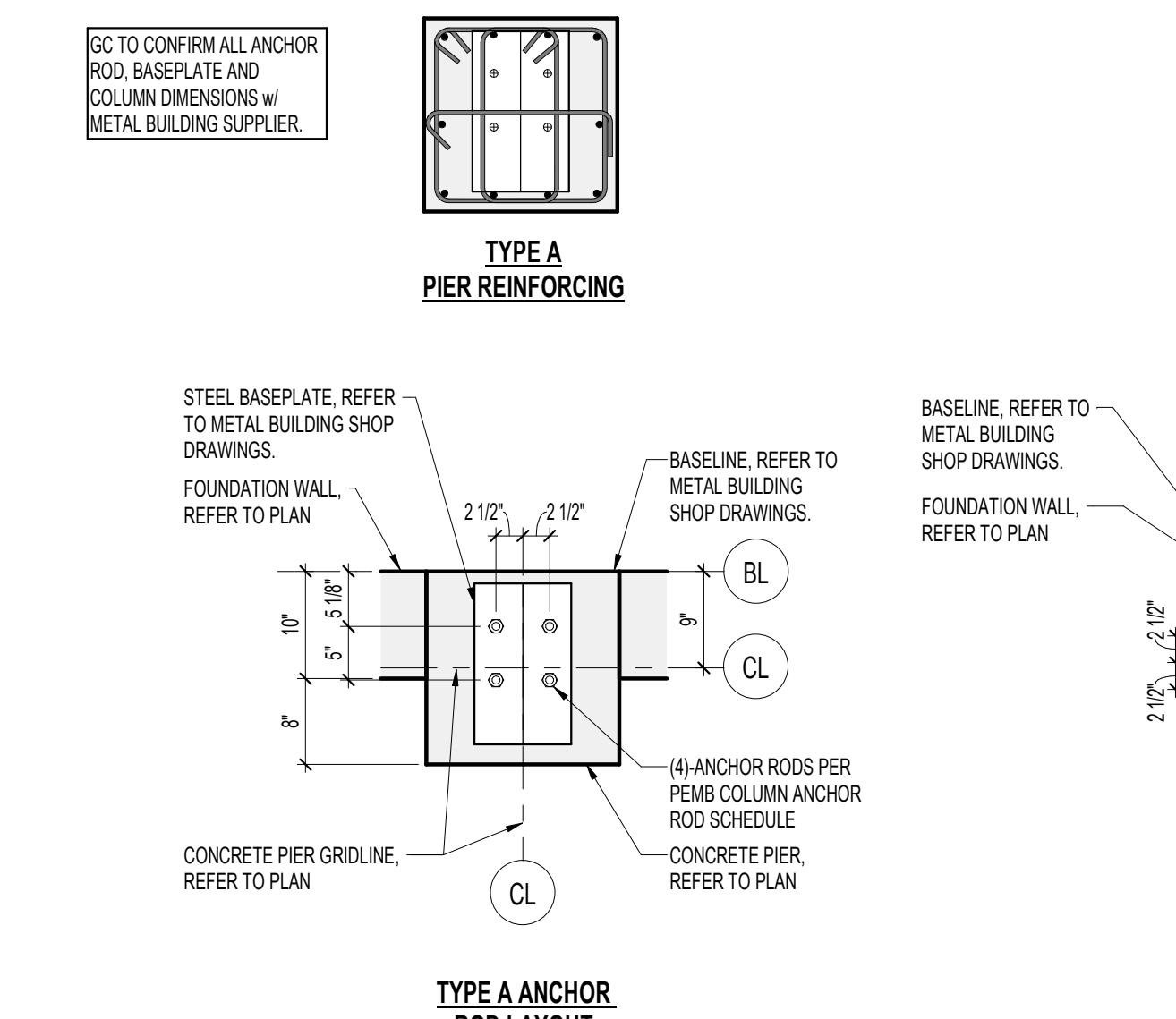
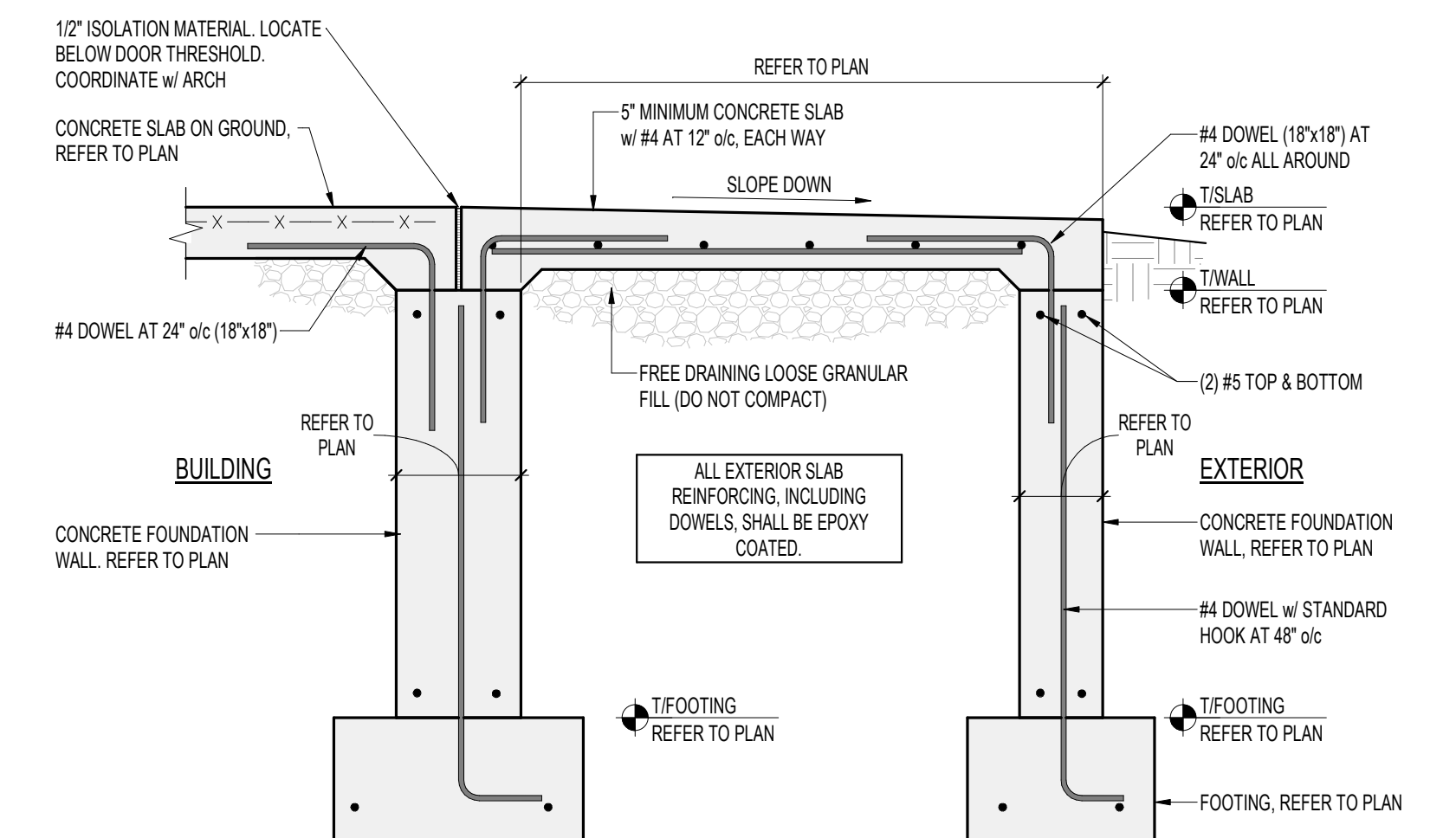


5 S-4.0 FOOTING STEP DETAIL

6 S-4.0 SLAB OVERPOUR AT GARAGE DOOR

7 S-4.0 PIPE PENETRATION UNDER STRIP FOOTING

8 S-4.0 TYPICAL PROHIBITED EXCAVATIONS AT FOUNDATIONS



PEMB COLUMN ANCHOR ROD SCHEDULE				
TYPE MARK	ANCHOR ROD DIAMETER	ANCHOR ROD EMBEDMENT	PLATE WASHER	REMARKS
A	3/4"	18"		
B	3/4"	18"		
C	1/2"	18"		

NOTES:
 1. ANCHOR RODS DESIGNED BY METAL BUILDING SUPPLIER, INSTALLED BY GENERAL CONTRACTOR.
 2. GC TO CONFIRM ANCHOR ROD GRADE, LOCATIONS, QUANTITY, AND DIAMETER, w/ METAL BUILDING SUPPLIER DRAWINGS.
 3. GC CONFIRM BASEPLATE DIMENSIONS w/ METAL BUILDING SUPPLIER.

9 S-4.0 REINFORCED CONCRETE STOOP

10 S-4.0 CONCRETE PIER TYPES AND ANCHOR ROD LAYOUT

11 S-4.0 ANCHOR ROD DETAIL AT METAL BUILDING

CONCRETE PIER SCHEDULE							
MARK	DIMENSIONS		VERTICAL REINFORCEMENT	PIER TIES	TIE TYPE	DOWELS	REMARKS
	WIDTH	LENGTH					
P18	18"	18"	(12) #5	#3 AT 8" o/c			

CONCRETE PIER SCHEDULE NOTES:
 1. REFER TO PLAN FOR TOP OF CONCRETE PIER ELEVATION.
 2. PROVIDE (3) #3 TIES OR (2) #4 DISTRIBUTED WITHIN THE TOP 5' OF THE CONCRETE PIER.
 3. WHERE NO DOWELS ARE SHOWN FROM THE CONCRETE PIER TO THE CONCRETE FOOTING, EMBED VERTICAL PIER REINFORCEMENT TO BOTTOM OF FOOTING w/ 3" CONCRETE COVER AND PROVIDE A STANDARD 90 DEGREE HOOK.
 4. CENTER CONCRETE PIER BELOW COLUMN ABOVE, UNLESS DETAILED OTHERWISE.
 5. LAP VERTICAL REINFORCEMENT 30 BAR DIAMETERS OR 24", WHICHEVER IS GREATER.

CLASS 'B' TENSION LAP SPICE LENGTHS (INCHES)										
BAR SIZE	f'c = 3,000 psi		f'c = 4,000 psi		f'c = 5,000 psi		f'c = 6,000 psi		f'c = 8,000 psi	
	BOT	TOP	BOT	TOP	BOT	TOP	BOT	TOP	BOT	TOP
#3	22	28	19	24	17	22	16	20	13	17
#4	29	37	25	32	22	29	21	27	18	23
#5	36	47	31	40	28	36	26	33	22	29
#6	43	56	37	48	33	43	31	40	26	34
#7	63	81	54	70	49	63	45	58	38	50
#8	72	93	62	80	55	72	51	66	44	57
#9	81	105	70	91	63	81	57	74	49	64
#10	91	118	79	102	70	91	64	84	56	72
#11	101	131	87	113	78	101	71	93	62	80

NOTES (dL = BAR DIAMETER, C-C = CENTER TO CENTER):
 1. THIS SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND IS NOT INTENDED TO COVER ALL SITUATIONS. SHOP DRAWINGS SHALL CLEARLY INDICATE ALL REQUIRED LAP LENGTHS.
 2. SCHEDULE BASED ON NORMAL WEIGHT CONCRETE AND CLEAR COVER > 1 1/4" AND C-C > 2dL.
 3. TENSION DEVELOPMENT LENGTHS AND TENSION LAP SPICE LENGTHS ARE CALCULATED PER CURRENT EDITION OF ACI-308.
 4. TOP BARS ARE DEFINED AS HORIZONTAL BARS HAVING 12" OR MORE OF CONCRETE CAST BELOW THE BARS.
 5. VALUES IN THIS SCHEDULE ARE BASED ON NON-EPOXY COATED BARS. FOR EPOXY COATED BARS, MULTIPLY VALUES IN THIS TABLE BY 1.5.
 6. THESE LAPS ARE TO BE USED UNLESS ALTERNATIVE LENGTH LAPS SPECIFICALLY INDICATED ON PLANS OR IN DETAILS.

ISOLATED FOOTING SCHEDULE								
MARK	DIMENSIONS			BOTTOM REINFORCING				REMARKS
	WIDTH	LENGTH	THICKNESS	LONG	SHORT	LONG	SHORT	
F50	5'-0"	5'-0"	1'-4"	(6) #5	(6) #5	(6) #5	(6) #5	
F66	6'-6"	6'-6"	1'-6"	(6) #5	(6) #5	(6) #5	(6) #5	
F80	8'-0"	8'-0"	1'-4"	(9) #5	(9) #5	(9) #5	(9) #5	
F86	8'-0"	8'-0"	1'-4"	(12) #5	(12) #5	(12) #5	(12) #5	

ISOLATED FOOTING SCHEDULE NOTES:
 1. REFER TO STRUCTURAL NOTES SHEET FOR MINIMUM COVER REQUIREMENTS.
 2. REFER TO FOUNDATION PLAN FOR TOP OF FOOTING ELEVATIONS.
 3. REFER TO FOUNDATION AND EARTHWORK GENERAL NOTES AND DESIGN CRITERIA FOR ADDITIONAL REQUIREMENTS.
 4. ALL LAPS IN STEEL REINFORCING SHALL BE CLASS 'B' LAP SPLICES UNLESS NOTED OTHERWISE.

THICKENED SLAB SCHEDULE					
MARK	DIMENSIONS		REINFORCEMENT		REMARKS
	WIDTH (xCONT)	THICKNESS	LONGITUDINAL	TRANSVERSE	
TS20	2'-0"	1'-0"	(2) #5	(4) #5	
TS36	3'-0"	1'-0"	(4) #5	(4) #5	

CONTINUOUS FOOTING SCHEDULE					
MARK	DIMENSIONS		REINFORCEMENT		REMARKS
	WIDTH (xCONT)	THICKNESS	LONGITUDINAL	TRANSVERSE	
W16	1'-6"	1'-0"	(2) #5		
W20	2'-0"	1'-0"	(2) #5		

CONTINUOUS FOOTING SCHEDULE NOTES:
 1. REFER TO STRUCTURAL NOTES SHEET FOR MINIMUM COVER REQUIREMENTS.
 2. REFER TO FOUNDATION PLAN FOR TOP OF FOOTING ELEVATIONS.
 3. REFER TO FOUNDATION AND EARTHWORK GENERAL NOTES AND DESIGN CRITERIA FOR ADDITIONAL REQUIREMENTS.
 4. ALL LAPS IN STEEL REINFORCING SHALL BE CLASS 'B' LAP SPLICES UNLESS NOTED OTHERWISE.

PROJECT INFORMATION:

SAUVE'S AUTO
TWO RIVERS, WISCONSIN

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SHEET INFORMATION
 A.C.E. JOB NO.
 DATE: 08-19-2024
 DRAWN BY: PE
 SCALE: As indicated
 STRUCTURAL DETAILS

SHEET
S-4.0
 60



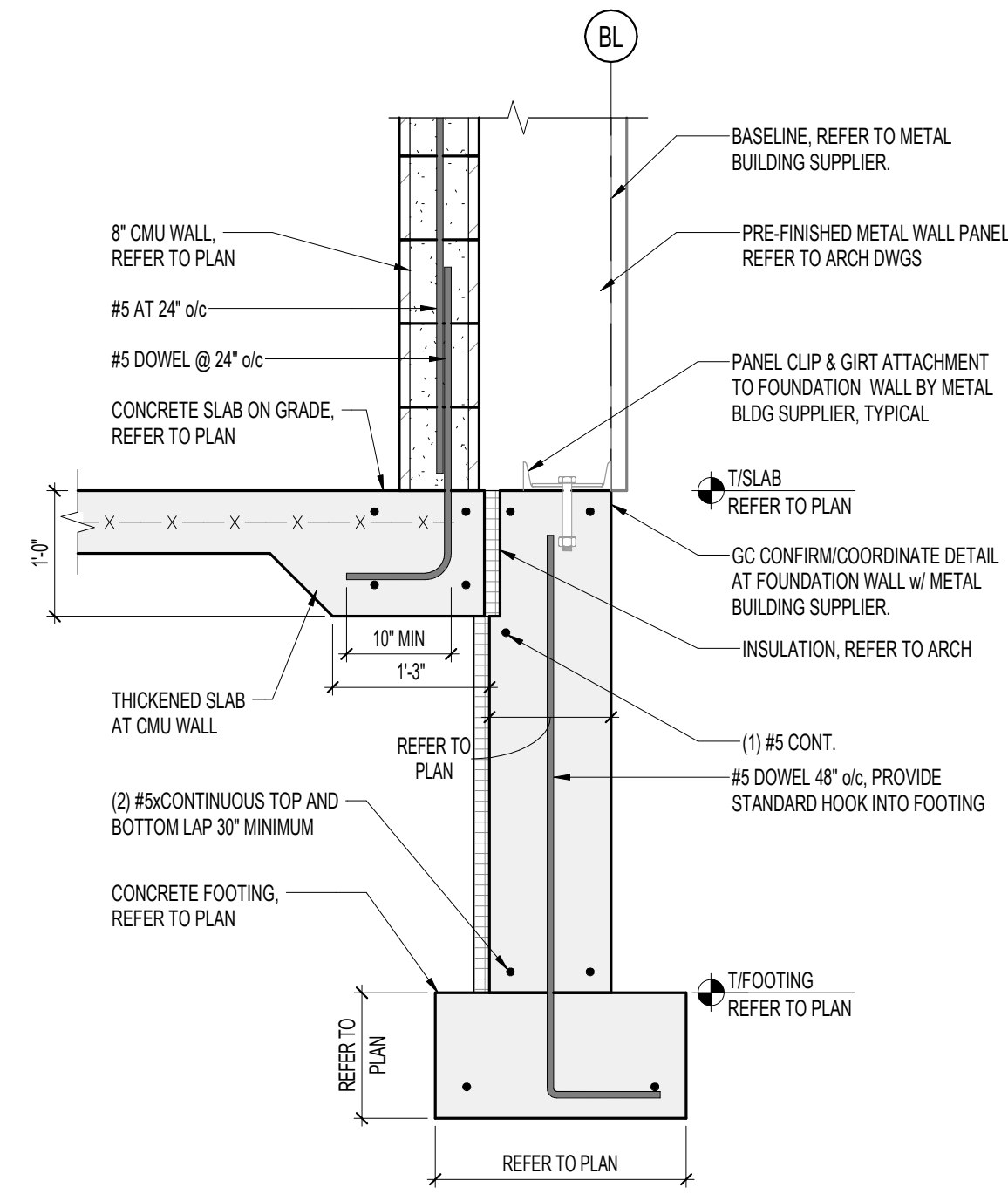
Section 3, Item D.

REV. BY
 DATE
 NO.
 REVISION DESCRIPTION

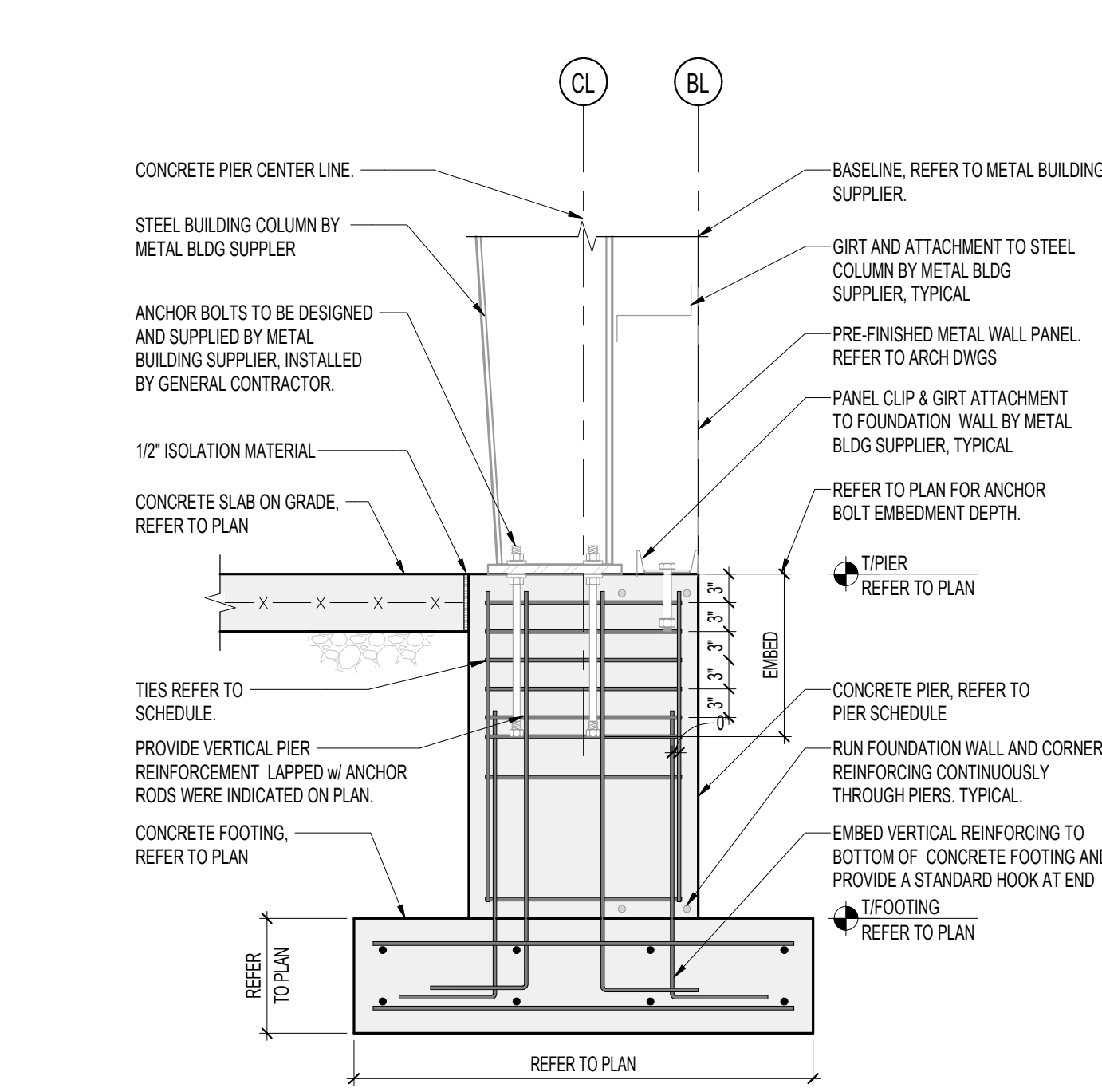
A.C.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
3810 SOUTH 26TH STREET | MANTOWOC, WISCONSIN 54220
PHONE 920-882-8105 | WWW.ACEBUILDINGSERVICE.COM

Civil & Structural
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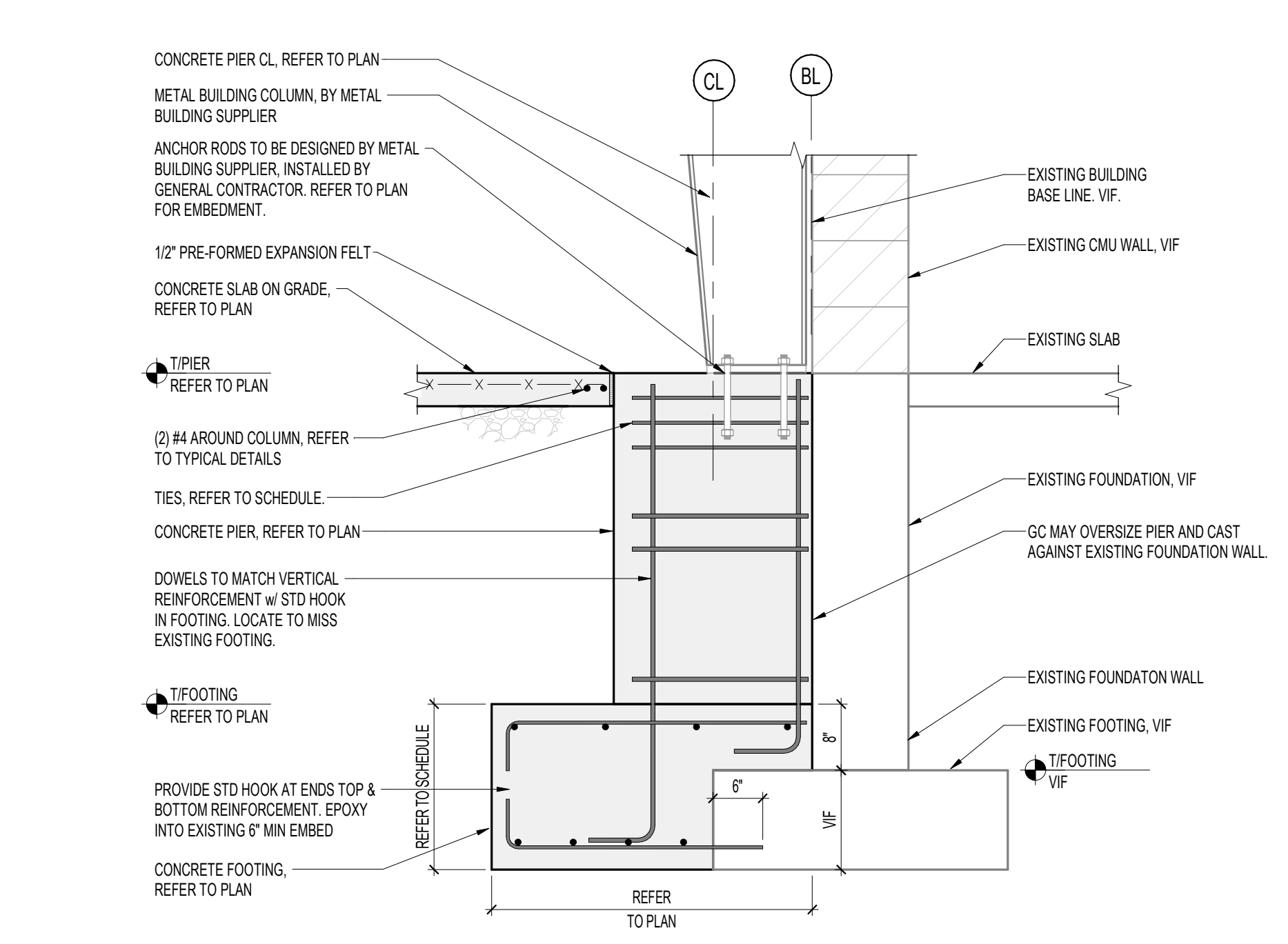
SMT
SUPERVISING PROFESSIONAL



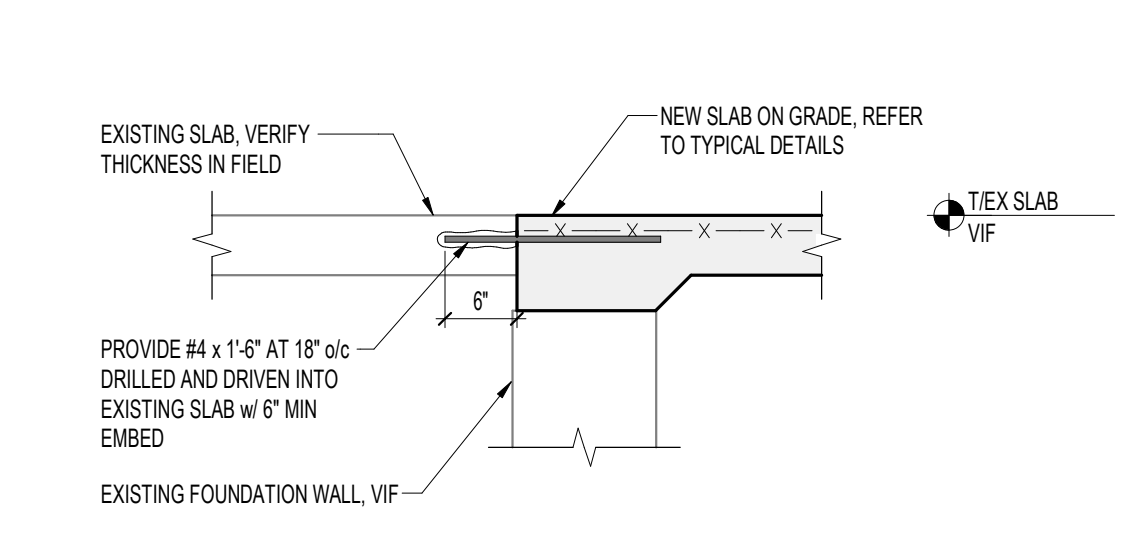
1 S-4.1 TYPICAL METAL BUILDING EXTERIOR CONCRETE FOUNDATION WALL



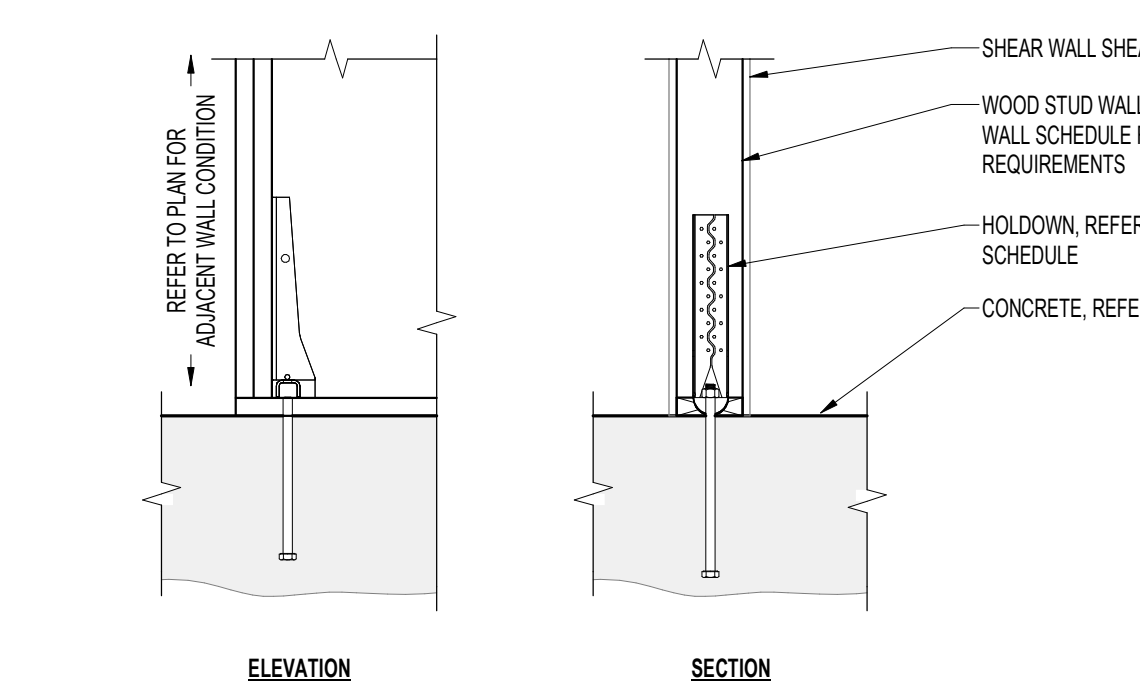
2 S-4.1 SECTION AT METAL BUILDING PIER



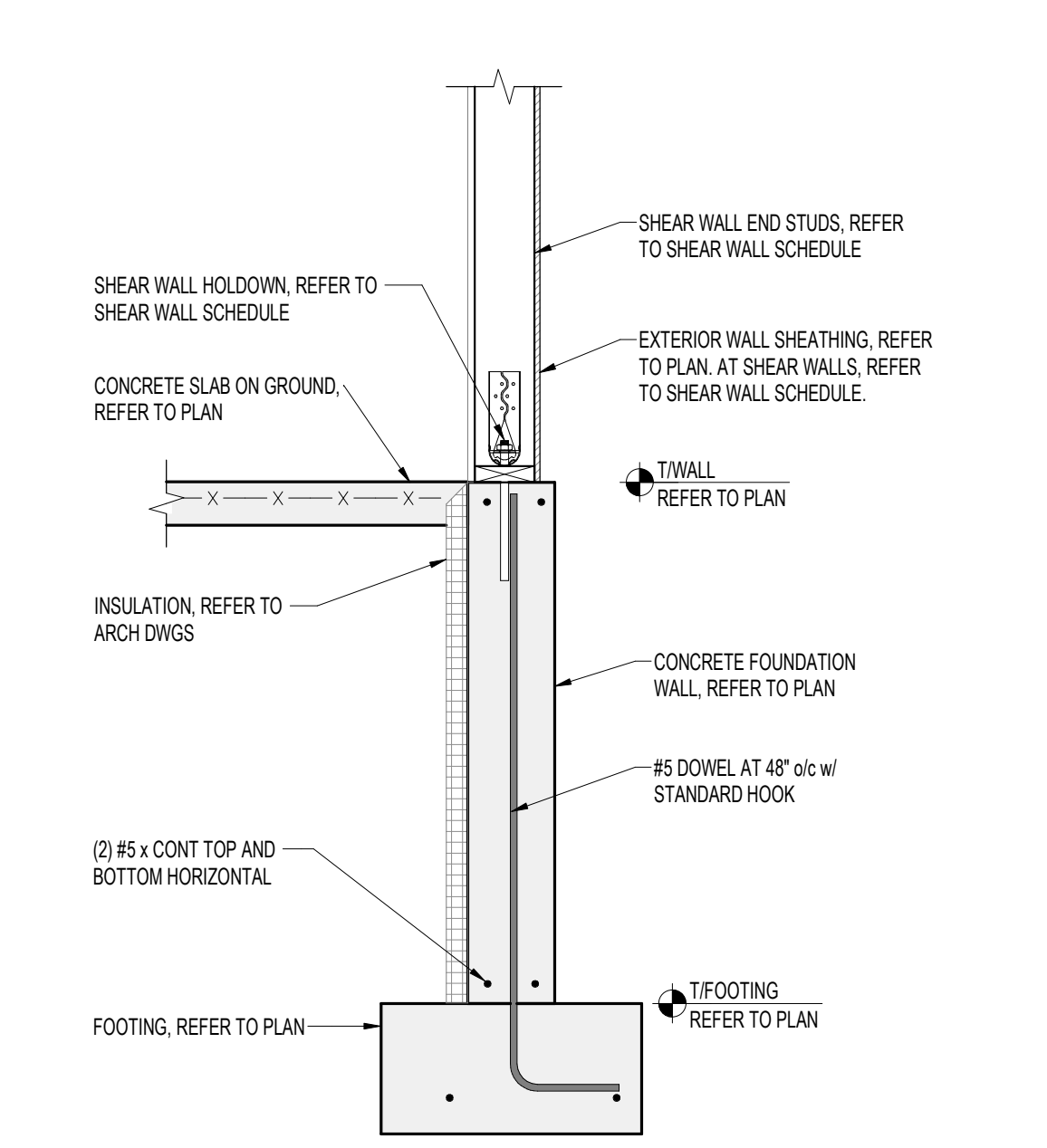
3 S-4.1 NEW PIER CONNECTED DETAILS TO EXISTING FOUNDATION WALL



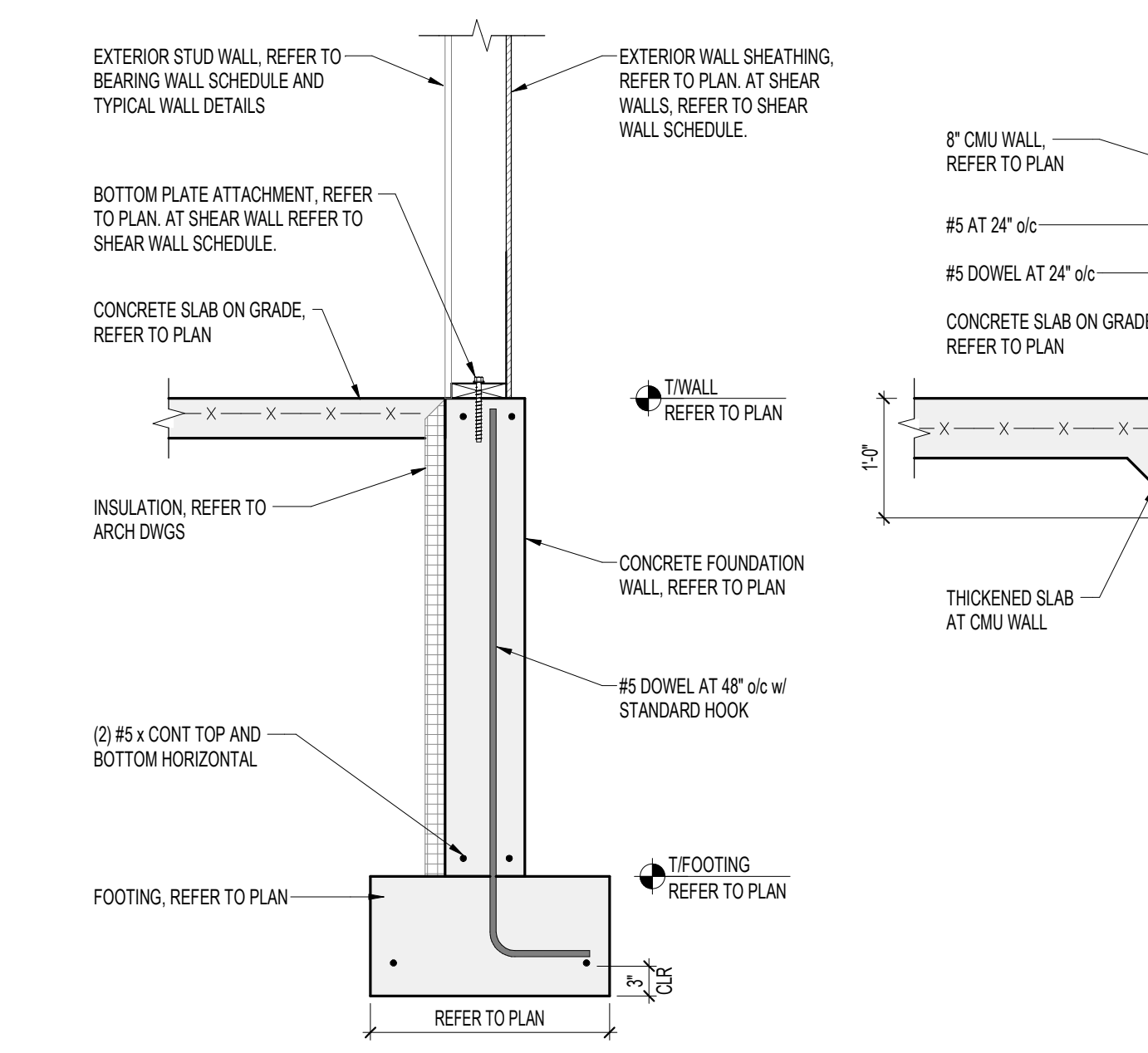
4 S-4.1 CONNECTION TO EXISTING SOG



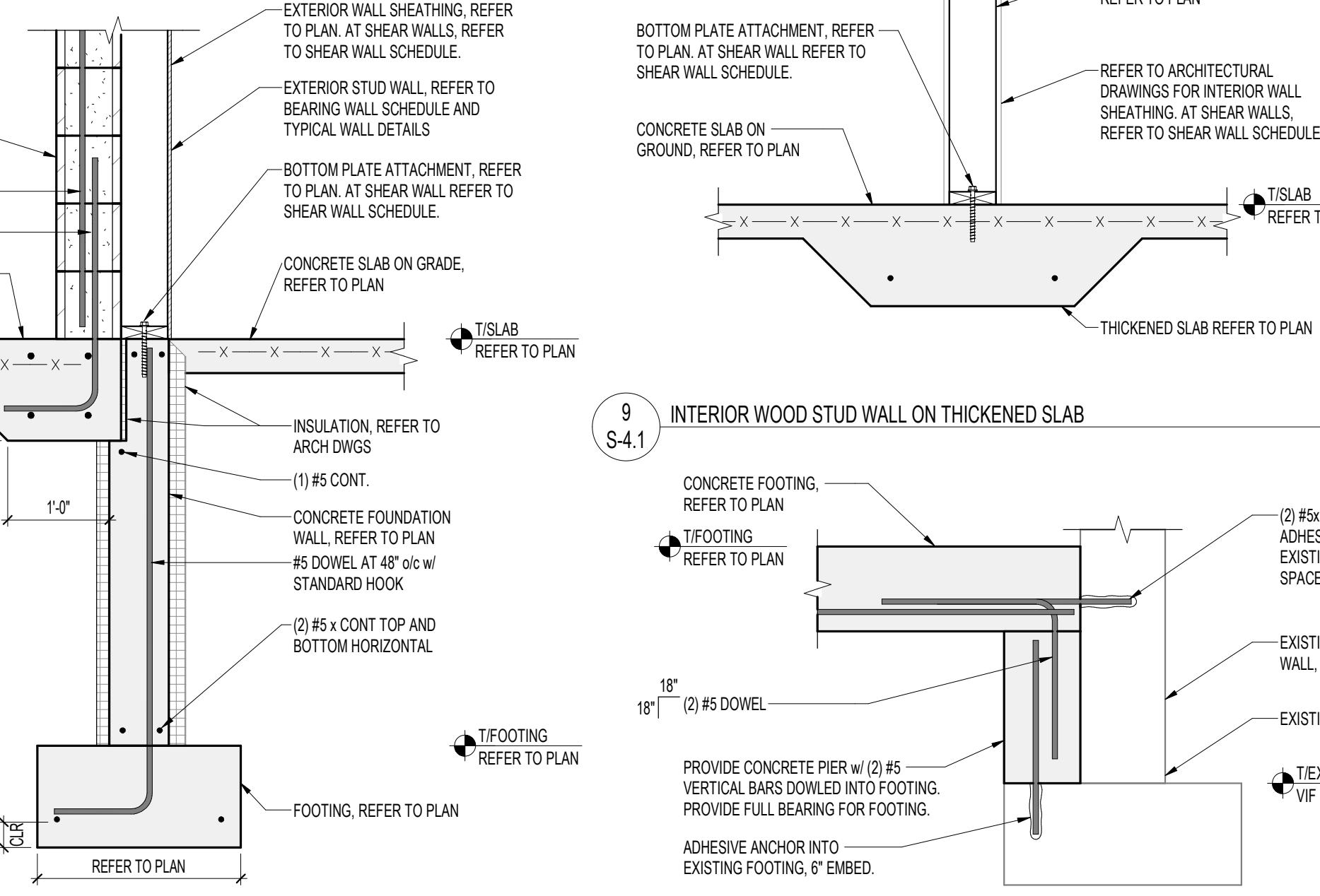
5 S-4.1 SHEARWALL HOLDDOWN ATTACHMENT



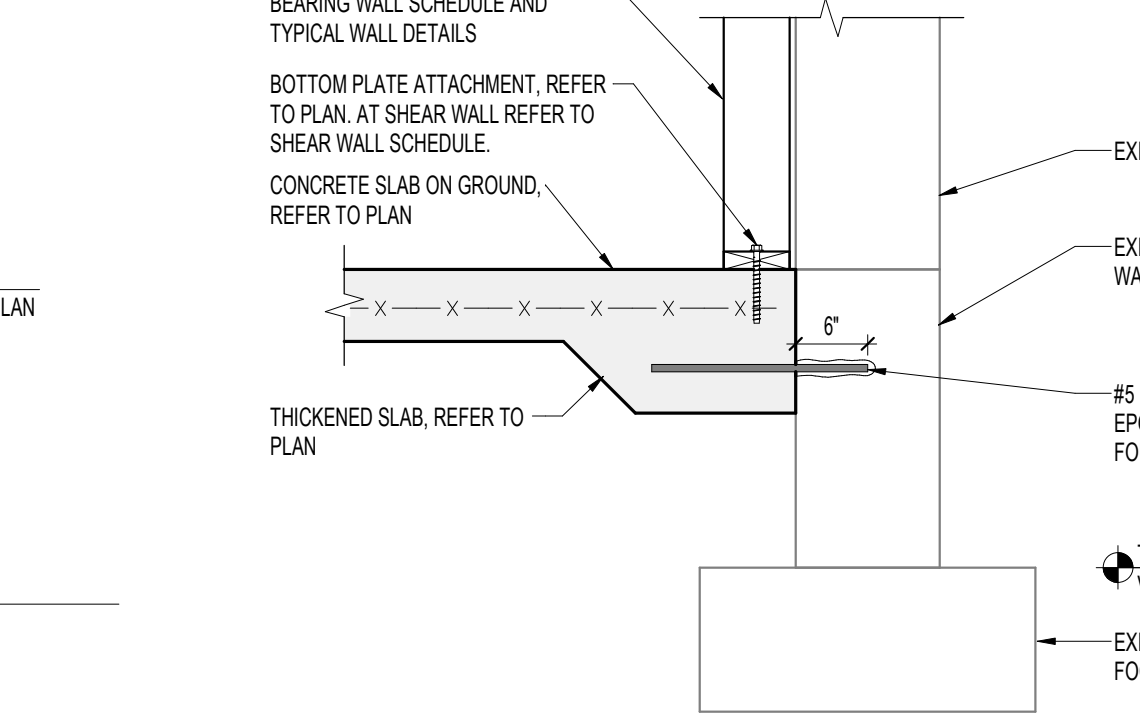
6 S-4.1 SHEAR WALL HOLDDOWN ATTACHMENT AT FROST WALL



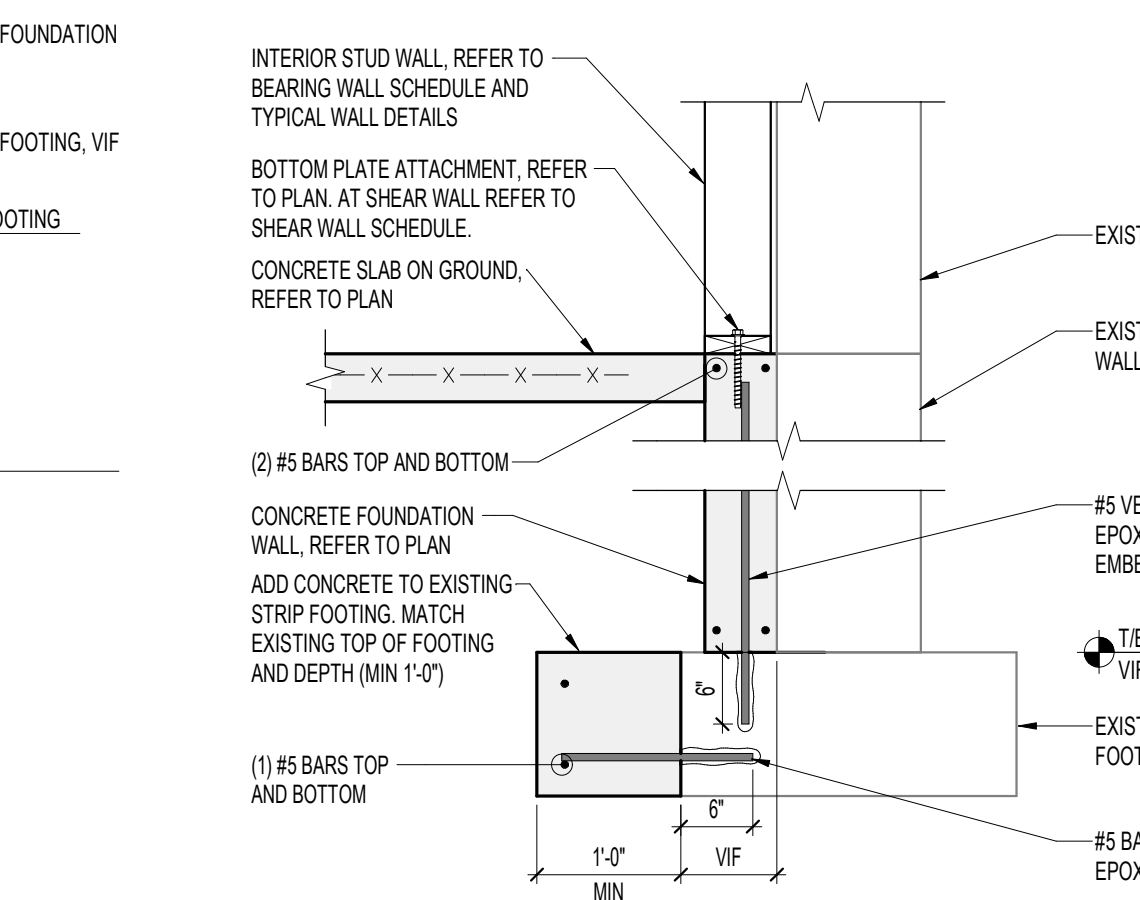
7 S-4.1 TYPICAL EXTERIOR CONCRETE FOUNDATION WALL



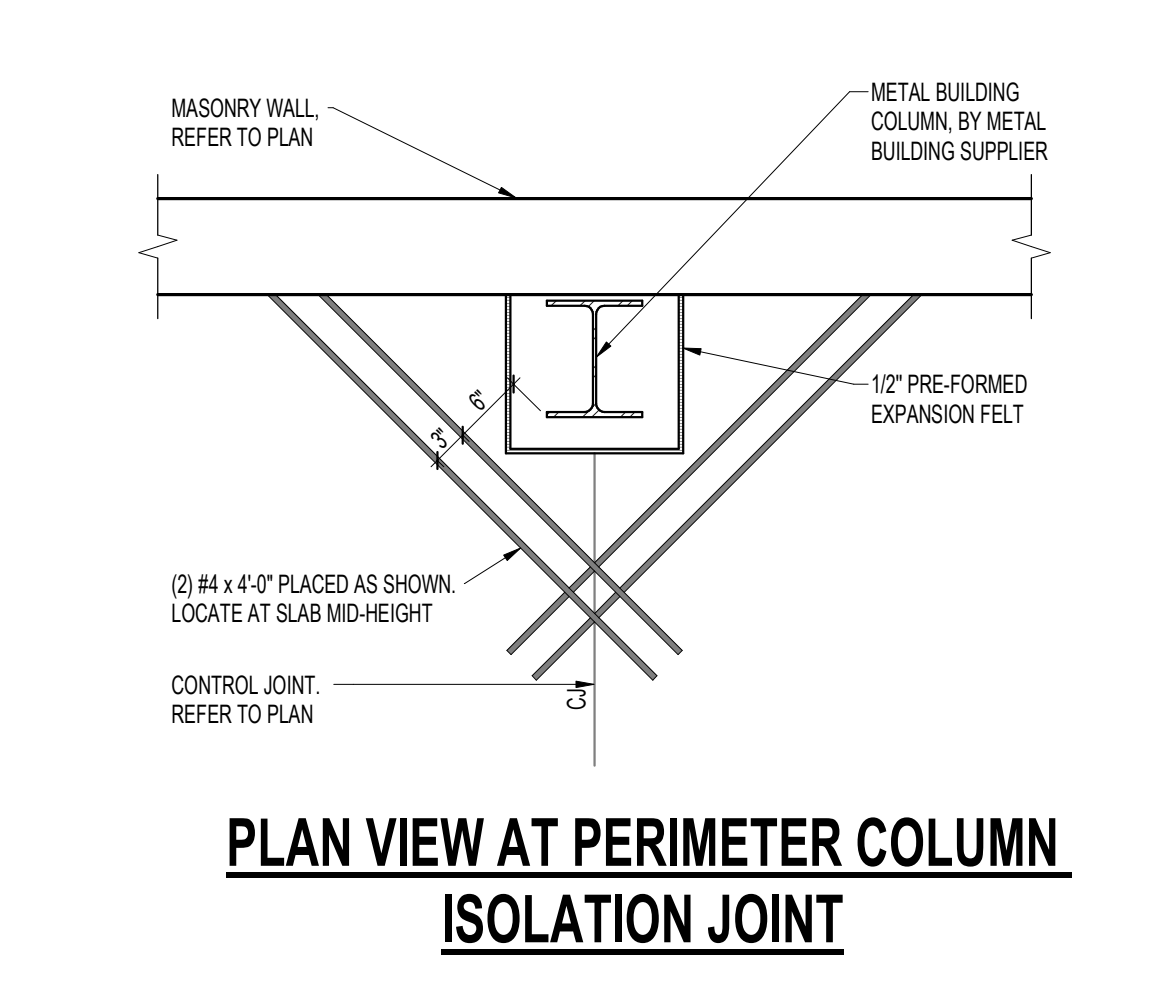
8 S-4.1 SECTION



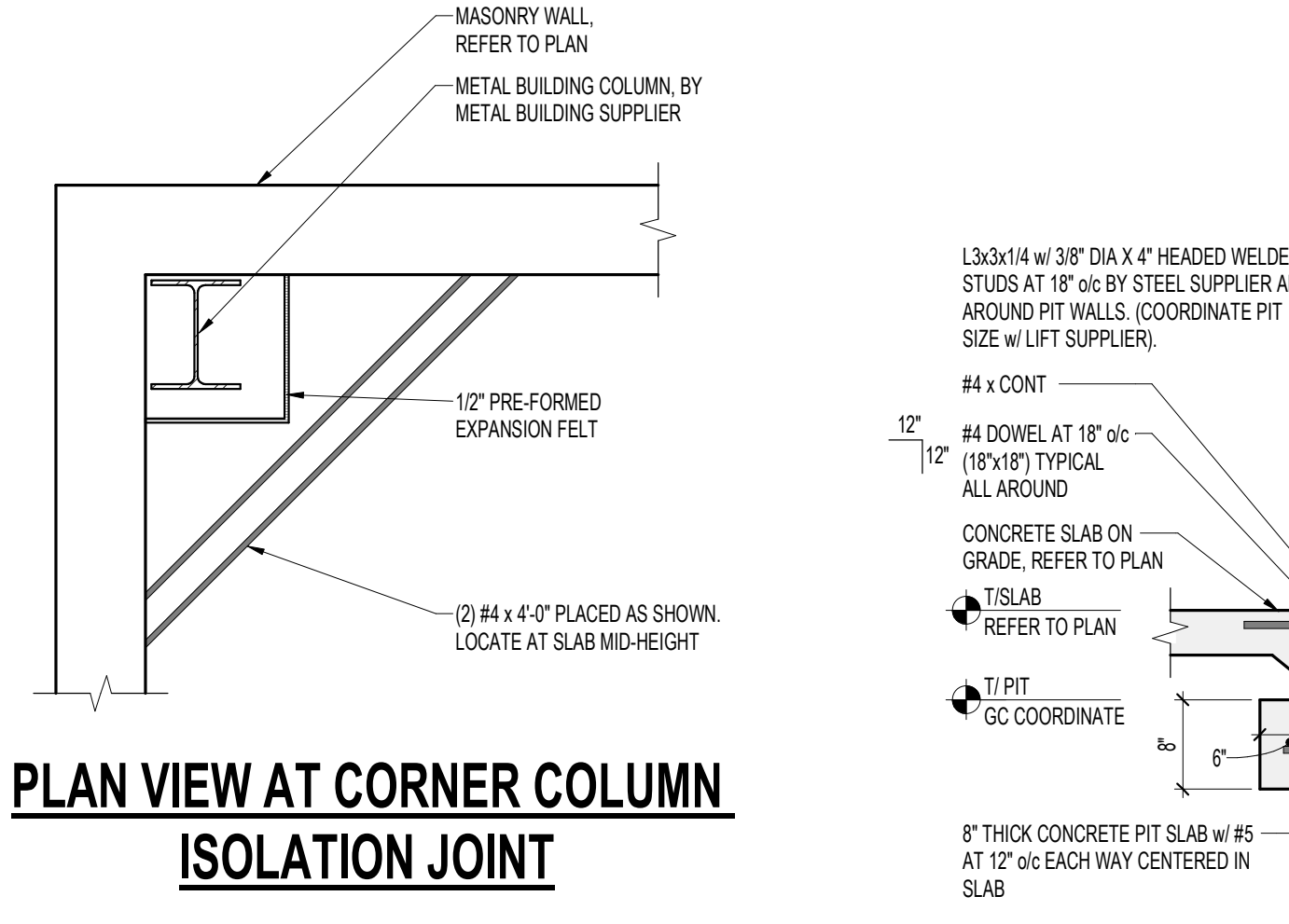
9 S-4.1 INTERIOR WOOD STUD WALL ON THICKENED SLAB



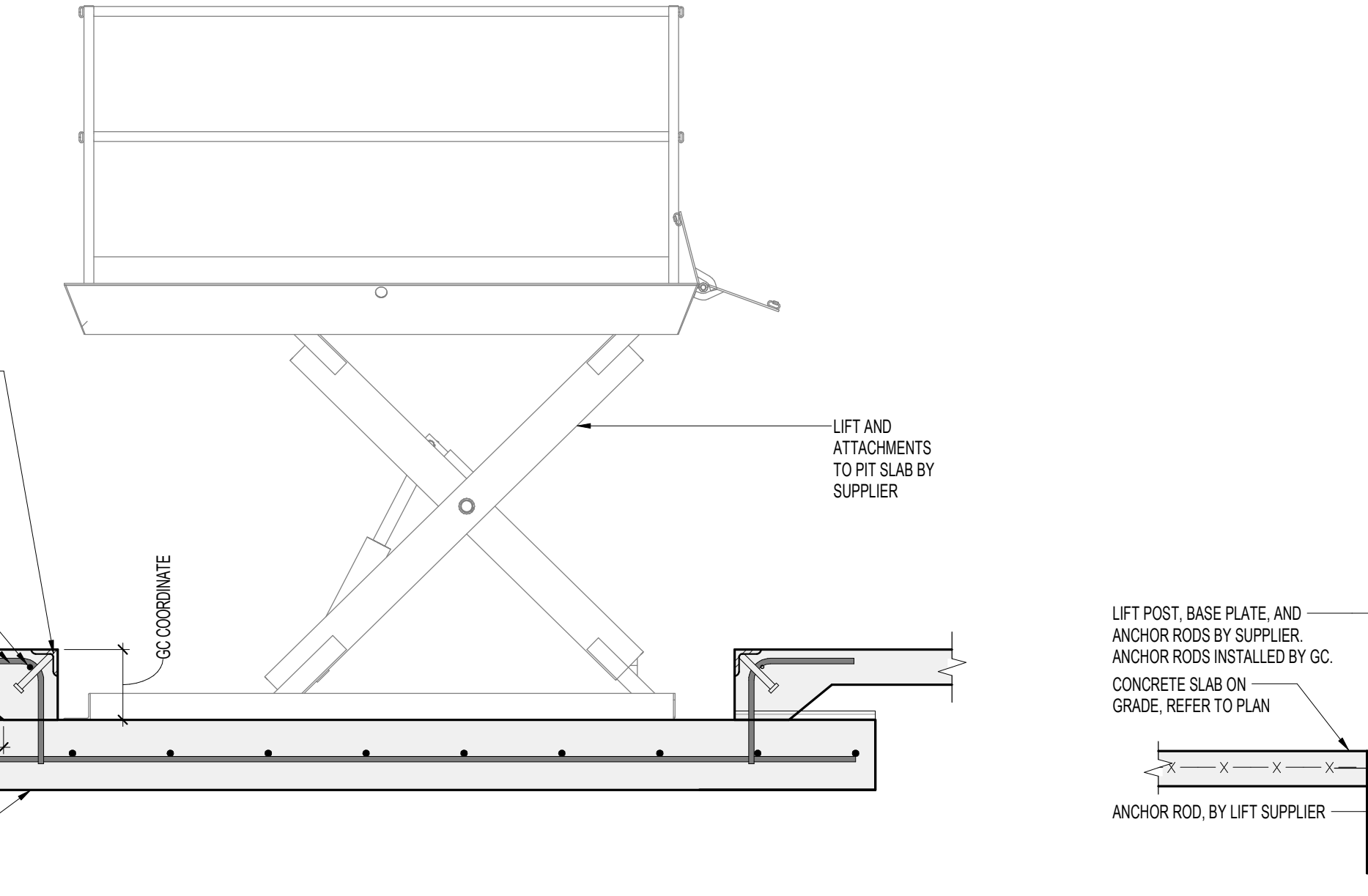
10 S-4.1 FOOTING STEP AT EXISTING



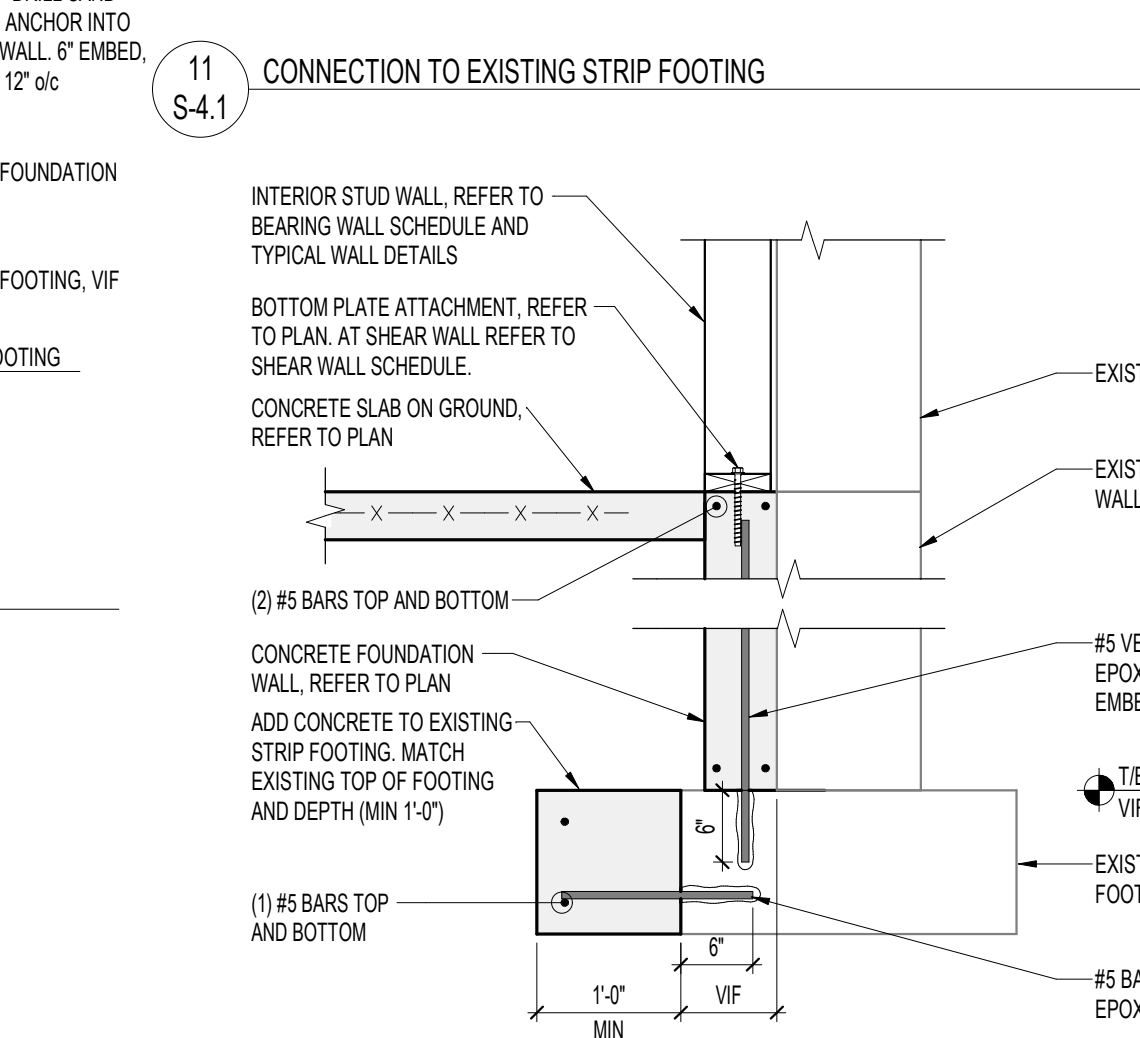
11 S-4.1 PLAN VIEW AT PERIMETER COLUMN ISOLATION JOINT



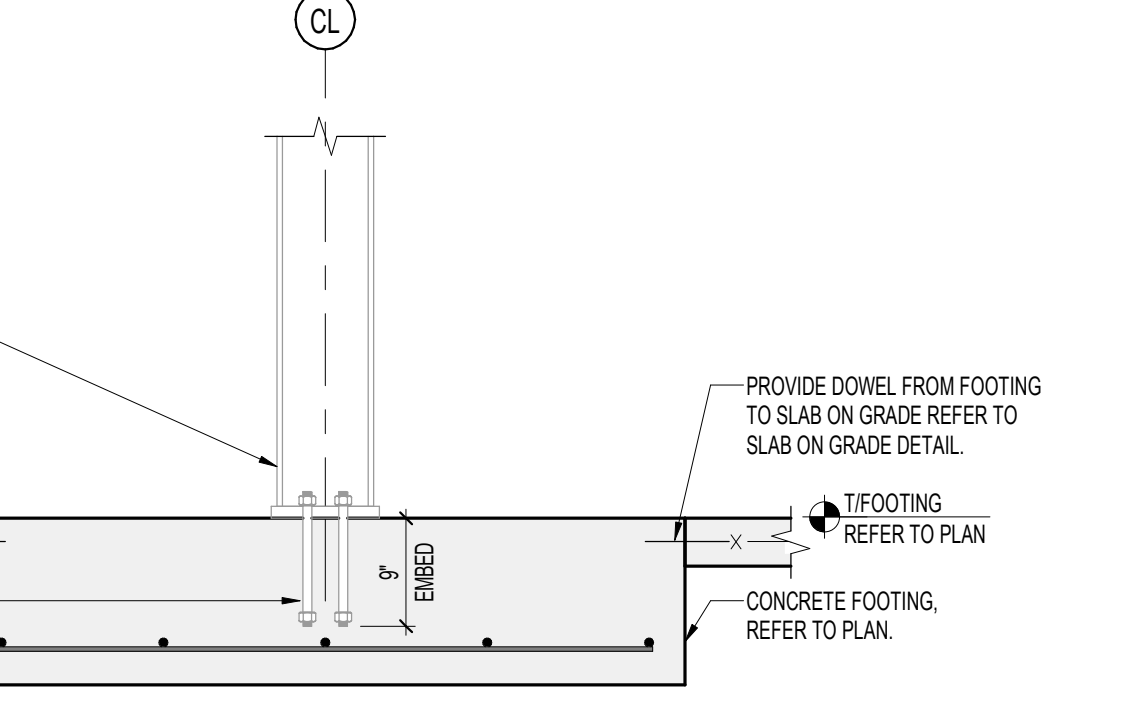
12 S-4.1 PLAN VIEW AT CORNER COLUMN ISOLATION JOINT



13 S-4.1 SECTION AT LIFT



14 S-4.1 CONNECTION TO EXISTING STRIP FOOTING



15 S-4.1 STEEL COLUMN SITTING ON INTERIOR CONCRETE FOOTING WITH BOX-OUT ISOLATION JOINT

NO.	REVISION DESCRIPTION	DATE	REV. BY

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PROJECT INFORMATION:
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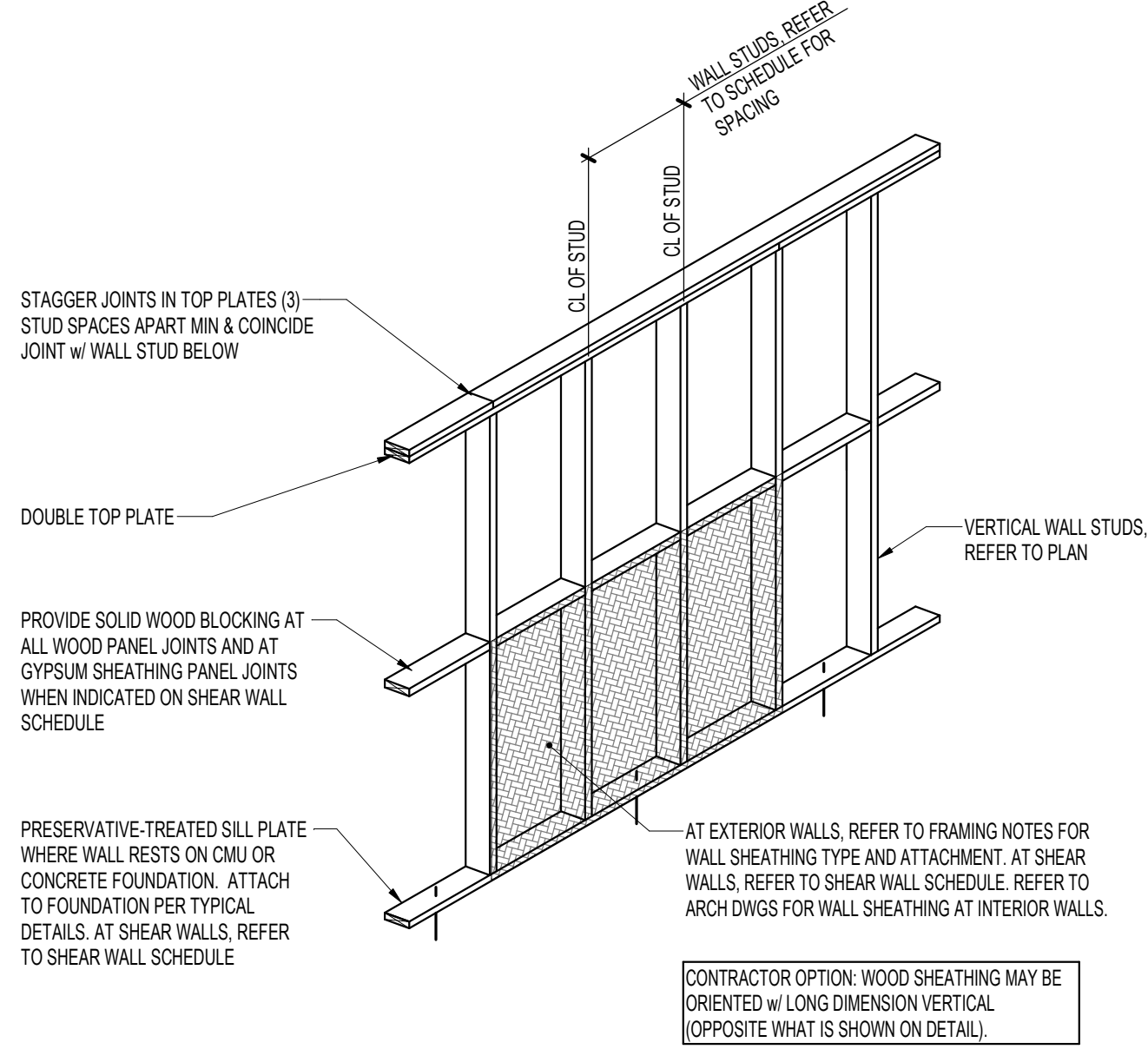
SHEET INFORMATION
A.C.E. JOB NO.
DATE: 08-19-2024
DRAWN BY: PE
SCALE: 3/4" = 1'-0"
STRUCTURAL DETAILS

PE
PERCE ENGINEERS, INC.
181 N. Broadway Ave
Milwaukee, WI 53202
414.278.6060
www.perceengineers.com
PE Project: 240407

SHEET
S-4.1

WOOD STUD BEARING WALL SCHEDULE		
	CORRIDOR, EXTERIOR, INTERIOR 2x6 WALLS	INTERIOR 2x4 WALLS
ROOF (WOOD)		
TOP PLATES:	(2) 2x6	(2) 2x4
STUDS:	2x6 AT 24" o/c	2x4 AT 12" o/c
LEVEL 1 (FND)		
BOTTOM PLATE:	(1) TREATED 2x6	(1) TREATED 2x4

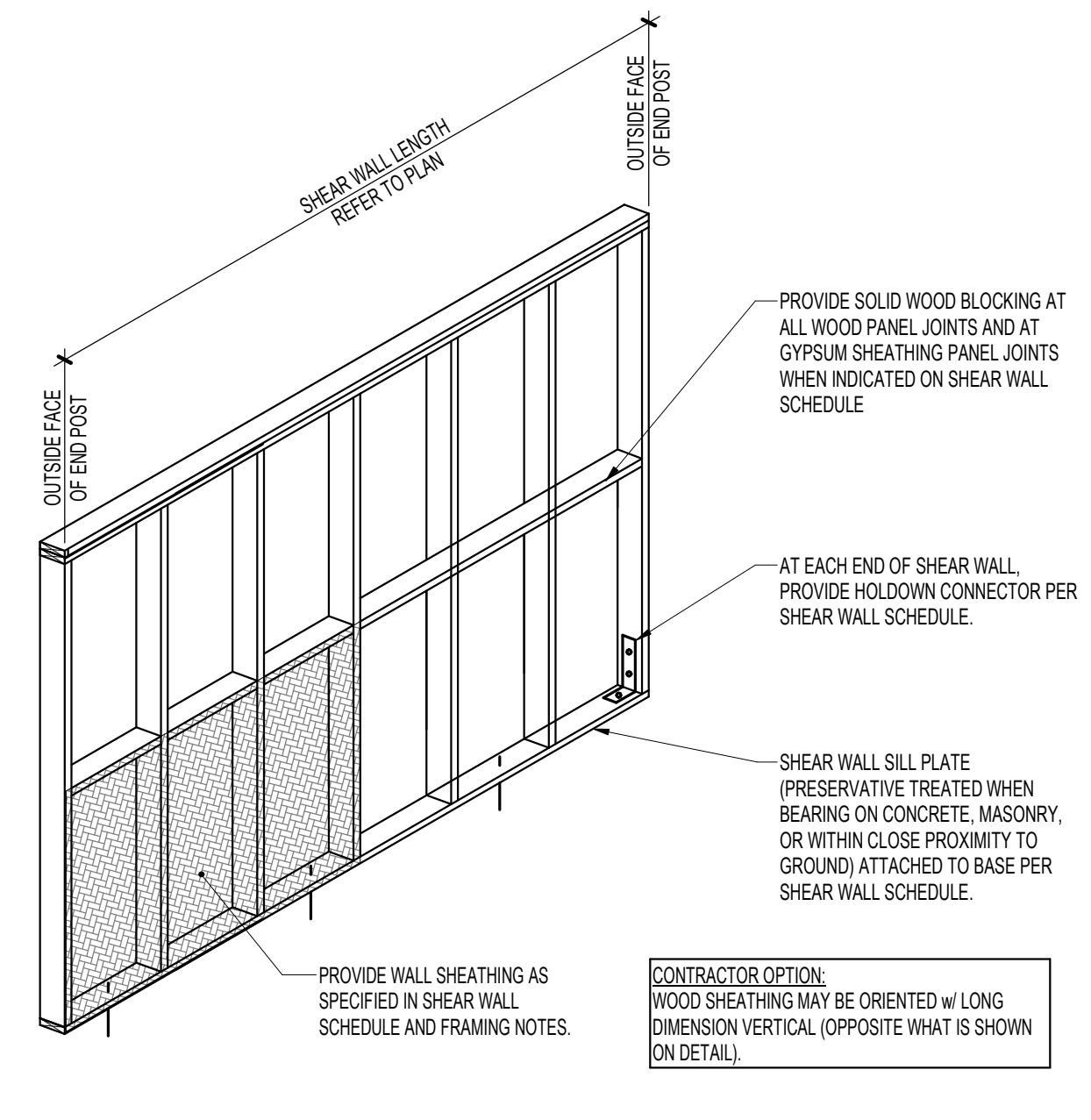
WOOD STUD BEARING WALL SCHEDULE NOTES:
1. ALL LUMBER IS SPRUCE-PINE-FIR (SPF) No.2 OR BETTER, UNO.



1 S-4.2 TYPICAL WOOD STUD BEARING WALL CONSTRUCTION

WOOD HEADER/POST SCHEDULE			
	HP1	HP2	HP3
ROOF (WOOD)			
HEADER:	(2) 2x8	(3) 2x4	(3) 2x6 OR 2x8 LVL 1 3/4" x 11 1/2"
LEVEL 1 (FND)			
BEARING STUDS/POST:	(1) 4x4	(1) 2x6	(4) 2x6

WOOD HEADER/POST SCHEDULE NOTES:
1. REFER TO MATERIAL STRENGTHS SECTION ON GENERAL NOTES SHEET FOR DIMENSIONAL LUMBER SPECIES AND GRADE, UNO.
2. WOOD MOISTURE CONTENT SHALL NOT EXCEED 19% MAXIMUM.
3. HEADER MEMBERS SHALL BE NAILED TOGETHER W/ 16d NAILS AT 12" o/c TOP & BOTTOM.
4. WHERE HEADER WIDTH IS LESS THAN WALL WIDTH, PROVIDE CONTINUOUS SOLID WOOD BLOCKING MATCHING HEADER DEPTH AS NEEDED TO MAKE OVERALL HEADER WIDTH EQUAL TO WALL WIDTH.
5. ALIGN WOOD POSTS ABOVE AND BELOW A FLOOR LINE.
6. WOOD POST CONSISTING OF MULTIPLE 2x MEMBERS SHALL BE NAILED TOGETHER W/ 16d NAILS AT 6" o/c STAGGERED.
7. WHERE GROSS TRUSS WIDTH EXCEEDS POST WIDTH, ADD ADDITIONAL 2x MEMBERS AS REQUIRED TO MATCH GROSS WIDTH.
8. ALL WOOD HEADERS SHOWN IN STUD WALLS ARE DROPPED HEADERS AND SHALL BE PLACED AT WALL OPENING HEIGHT UNLESS NOTED OTHERWISE. REFER TO ARCH DRAWINGS FOR OPENING HEIGHTS. ALL OTHER HEADERS SHALL BE FLUSH W/ BOTTOM OF FLOOR FRAMING, TYPICAL.
9. EXTERIOR WOOD POST SHALL BE PRESERVATIVE TREATED.
10. REFER TO TYPICAL WOOD WALL DETAILS FOR FRAMING AROUND OPENING THRU WOOD STUD BEARING WALL.
11. UNO, PROVIDE BEARING STUDS EQUAL TO THE PILES IN HEADER.
12. UNO, PROVIDE KING STUDS AT EXTERIOR OPENINGS PER THE FOLLOWING:
A. 0'-0" < OPENING < 5'-0" (1) STUD
B. 5'-0" < OPENING < 8'-0" (2) STUDS
C. 8'-0" < OPENING < 12'-0" (3) STUDS
D. 12'-0" < OPENING < 16'-0" (4) STUDS
13. UNO PROVIDE KING STUDS AT INTERIOR OPENINGS PER THE FOLLOWING:
A. 0'-0" < OPENING < 8'-0" (1) STUD
B. 8'-0" < OPENING < 16'-0" (2) STUDS
14. WINDOW SILL PLATE: MATCH TYPICAL STUD WIDTH.
A. 0'-0" < OPENING < 10'-0" (1) SILL PLATE
B. 10'-0" < OPENING < 16'-0" (2) SILL PLATES



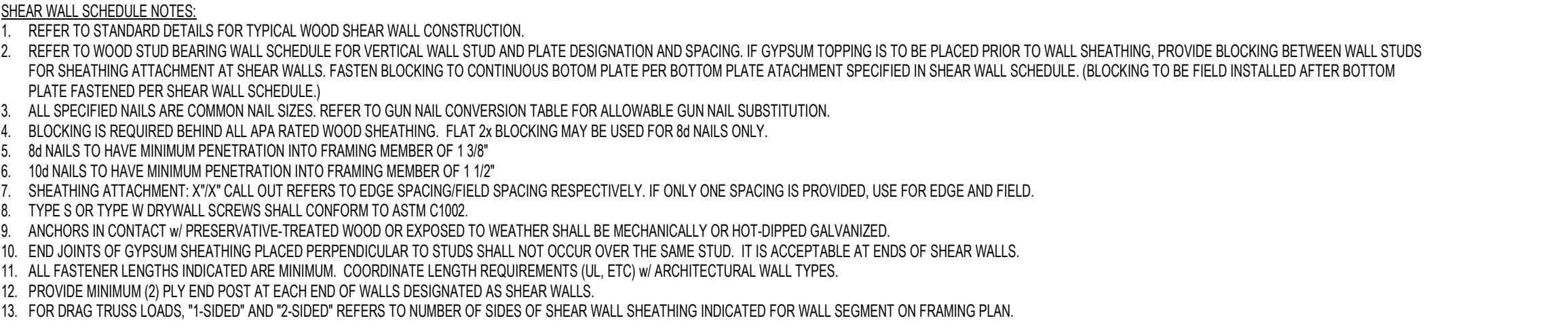
2 S-4.2 TYPICAL SINGLE-STORY WOOD SHEAR WALL CONSTRUCTION

HOLDOWN / STRAP SCHEDULE			
MARK	MODEL NO.	HOLDOWN/STRAP ATTACHMENT	MINIMUM END POST
HDI	HDS-SDS2.5	(20) SDS 1/4" x 2 1/2" SCREWS INTO END POST (1) 7/8" DIA. x 36" THREADED ROD (Ø 7 MIN EMBED) TO BASE.	(3) 2x

HOLDOWN / STRAP SCHEDULE NOTES:
1. HOLDOWN / STRAPS SPECIFIED ARE SIMPSON STRONG-TIE MODELS. USP EQUIVALENT IS ACCEPTABLE IN LIEU OF SIMPSON CONNECTOR.
2. ATTACH END STUDS TOGETHER W/ (2) ROWS 10d NAILS AT 8" o/c AT LOWEST LEVEL. (2) ROWS AT 12" o/c ELSEWHERE.
3. AT HOLDOWN CONNECTORS, THREADED ROD TO BE EPOXIED INTO THE FOUNDATION.

WOOD SHEAR WALL SCHEDULE								
MARK	SHEATHING	SHEATHING ATTACHMENT	BLOCKING	RIM BOARD ATTACHMENT TO TOP PLATES BELOW	BOTTOM PLATE ATTACHMENT TO RIM BOARD BELOW	BOTTOM PLATE ATTACHMENT TO TOP PLATES/TRUSS BELOW	BOTTOM PLATE ATTACHMENT TO TOP OF POUDUM	DRAG TRUSS LOAD 15
26-Z	ZIP SHEATHING R6 (1" INSULATION)	0 13/16" DIA NAILS (1 1/2" MIN. PENETRATION) AT 3/12" o/c	YES	10d TOE-NAILS AT 8" o/c	16d NAILS AT 8" o/c	(2) 16d NAILS AT 16" o/c	5/8" DIA SIMPSON TITEN HD AT 4'-0" o/c (4 1/8" EMBED), MIN (2) PER WALL	1-SIDED = 234 PLF
26-SB	5/8" GYPSUM BOARD	No. 6 x 1 1/4" TYPE S OR W DRYWALL SCREWS AT 8 1/2" o/c	NO	10d TOE-NAILS AT 8" o/c	16d NAILS AT 16" o/c	16d NAILS AT 16" o/c	5/8" DIA SIMPSON TITEN HD AT 4'-0" o/c (4 1/8" EMBED), MIN (2) PER WALL	1-SIDED = 70 PLF 2-SIDED = 140 PLF

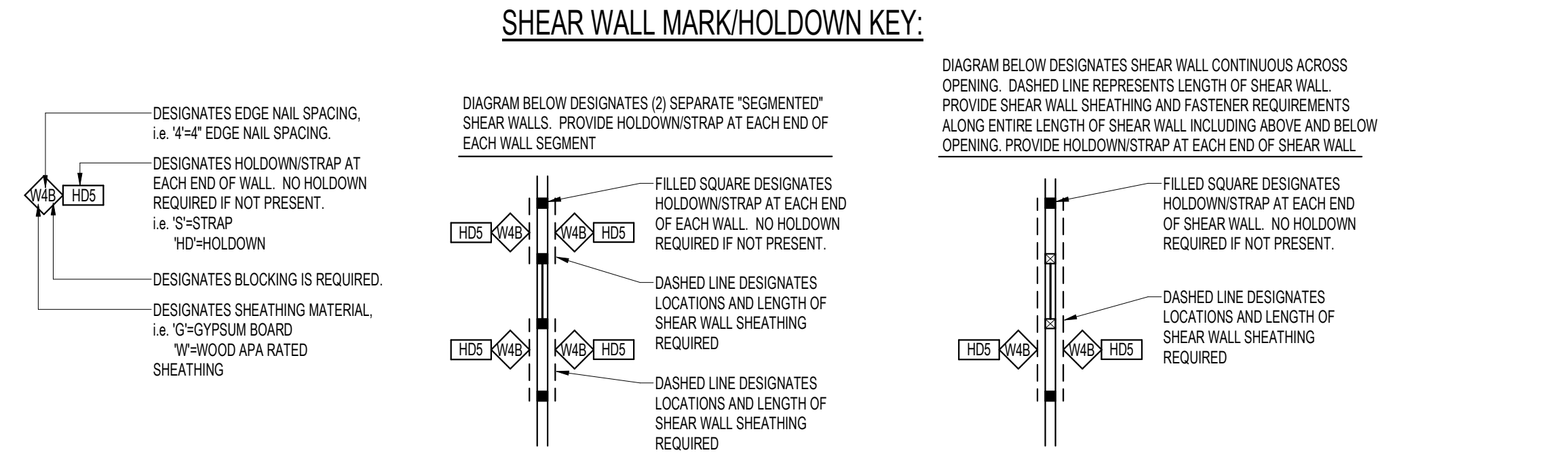
SHEAR WALL SCHEDULE NOTES:
1. REFER TO STANDARD DETAILS FOR TYPICAL WOOD SHEAR WALL CONSTRUCTION.
2. REFER TO WOOD STUD BEARING WALL SCHEDULE FOR VERTICAL WALL STUD AND PLATE DESIGNATION AND SPACING. IF GYPSUM TOPPING IS TO BE PLACED PRIOR TO WALL SHEATHING, PROVIDE BLOCKING BETWEEN WALL STUDS FOR SHEATHING ATTACHMENT AT SHEAR WALLS. FASTEN BLOCKING TO CONTINUOUS BOTTOM PLATE PER BOTTOM PLATE ATTACHMENT SPECIFIED IN SHEAR WALL SCHEDULE. (BLOCKING TO BE FIELD INSTALLED AFTER BOTTOM PLATE FASTENED PER SHEAR WALL SCHEDULE.)
3. ALL SPECIFIED NAILS ARE COMMON NAIL SIZES. REFER TO GUN NAIL CONVERSION TABLE FOR ALLOWABLE GUN NAIL SUBSTITUTION.
4. BLOCKING IS REQUIRED BEHIND ALL APA RATED WOOD SHEATHING. FLAT 2x BLOCKING MAY BE USED FOR 8d NAILS ONLY.
5. 8d NAILS TO HAVE MINIMUM PENETRATION INTO FRAMING MEMBER OF 1 3/8".
6. 10d NAILS TO HAVE MINIMUM PENETRATION INTO FRAMING MEMBER OF 1 1/2".
7. SHEATHING ATTACHMENT: "X" CALL OUT REFERS TO EDGE SPACING/FIELD SPACING RESPECTIVELY. IF ONLY ONE SPACING IS PROVIDED, USE FOR EDGE AND FIELD.
8. TYPE S OR TYPE W DRYWALL SCREWS SHALL CONFORM TO ASTM C1002.
9. ANCHORS IN CONTACT W/ PRESERVATIVE-TREATED WOOD OR EXPOSED TO WEATHER SHALL BE MECHANICALLY OR HOT-DIPPED GALVANIZED.
10. END JOINTS OF GYPSUM SHEATHING PLACED PERPENDICULAR TO STUDS SHALL NOT OCCUR OVER THE SAME STUD. IT IS ACCEPTABLE AT ENDS OF SHEAR WALLS.
11. ALL FASTENER LENGTHS INDICATED ARE MINIMUM. COORDINATE LENGTH REQUIREMENTS (LL, ETC) W/ ARCHITECTURAL WALL TYPES.
12. PROVIDE MINIMUM (2) PLY END POST AT EACH END OF WALLS DESIGNATED AS SHEAR WALLS.
13. FOR DRAG TRUSS LOADS, "1-SIDED" AND "2-SIDED" REFERS TO NUMBER OF SIDES OF SHEAR WALL SHEATHING INDICATED FOR WALL SEGMENT ON FRAMING PLAN.



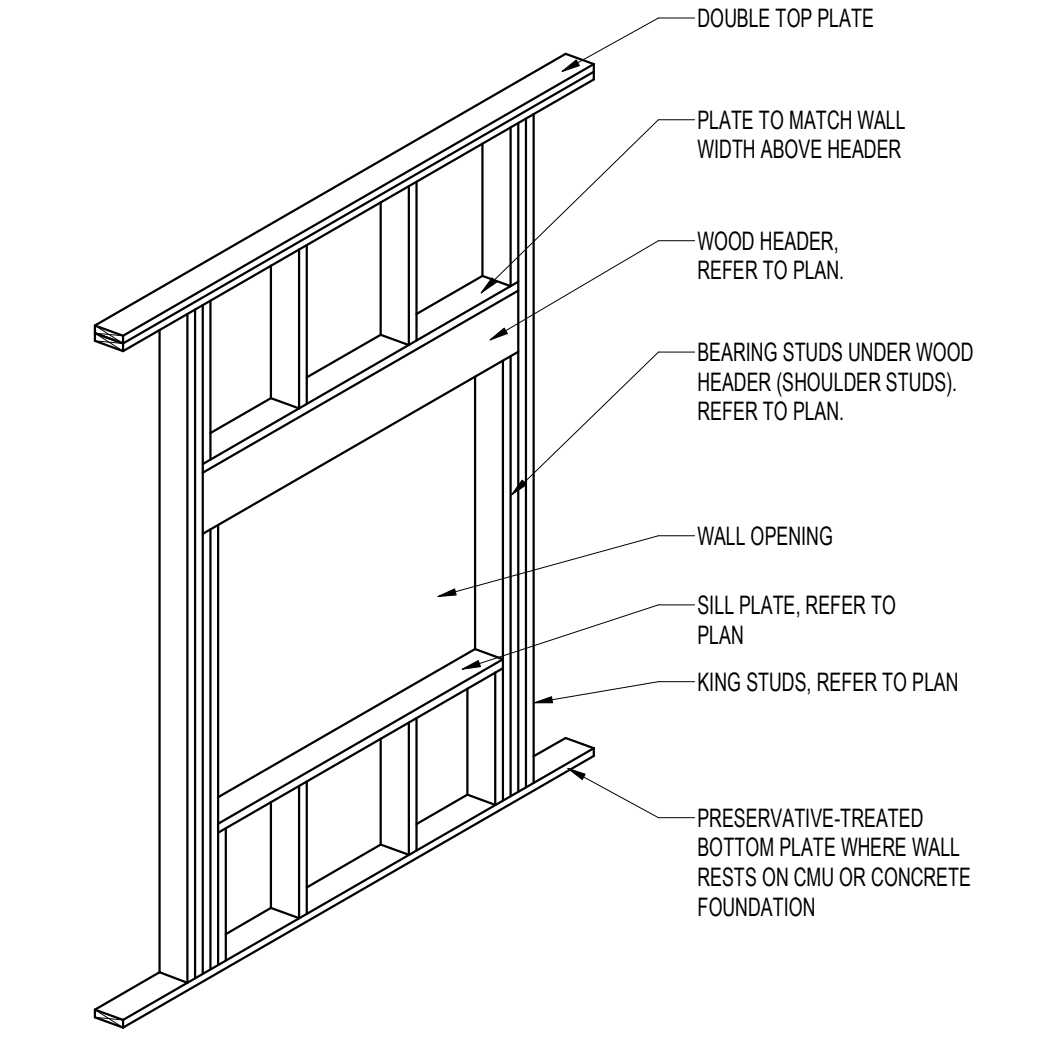
3 S-4.2 MAXIMUM ALLOWABLE PENETRATION WIDTHS IN STRUCTURAL WALLS - STUDS

MAXIMUM BORED HOLE DIAMETER / NOTCH DEPTH SCHEDULE			
STUD SIZE	WALL USAGE	MAX HOLE DIAMETER	MAX NOTCH DEPTH
2x4	INTERIOR STRUCTURAL WALLS (FRAMING PARALLEL TO WALL)	2 1/8"	1 3/8"
2x4	INTERIOR STRUCTURAL WALLS (FRAMING PERPENDICULAR TO WALL)	1 3/8"	7/8"
2x4	ALL EXTERIOR WALLS	1 3/8"	7/8"
2x6	INTERIOR STRUCTURAL WALLS (FRAMING PARALLEL TO WALL)	3 1/4"	2 3/16"
2x6	INTERIOR STRUCTURAL WALLS (FRAMING PERPENDICULAR TO WALL)	2 3/16"	1 3/8"
2x6	ALL EXTERIOR WALLS	2 3/16"	1 3/8"

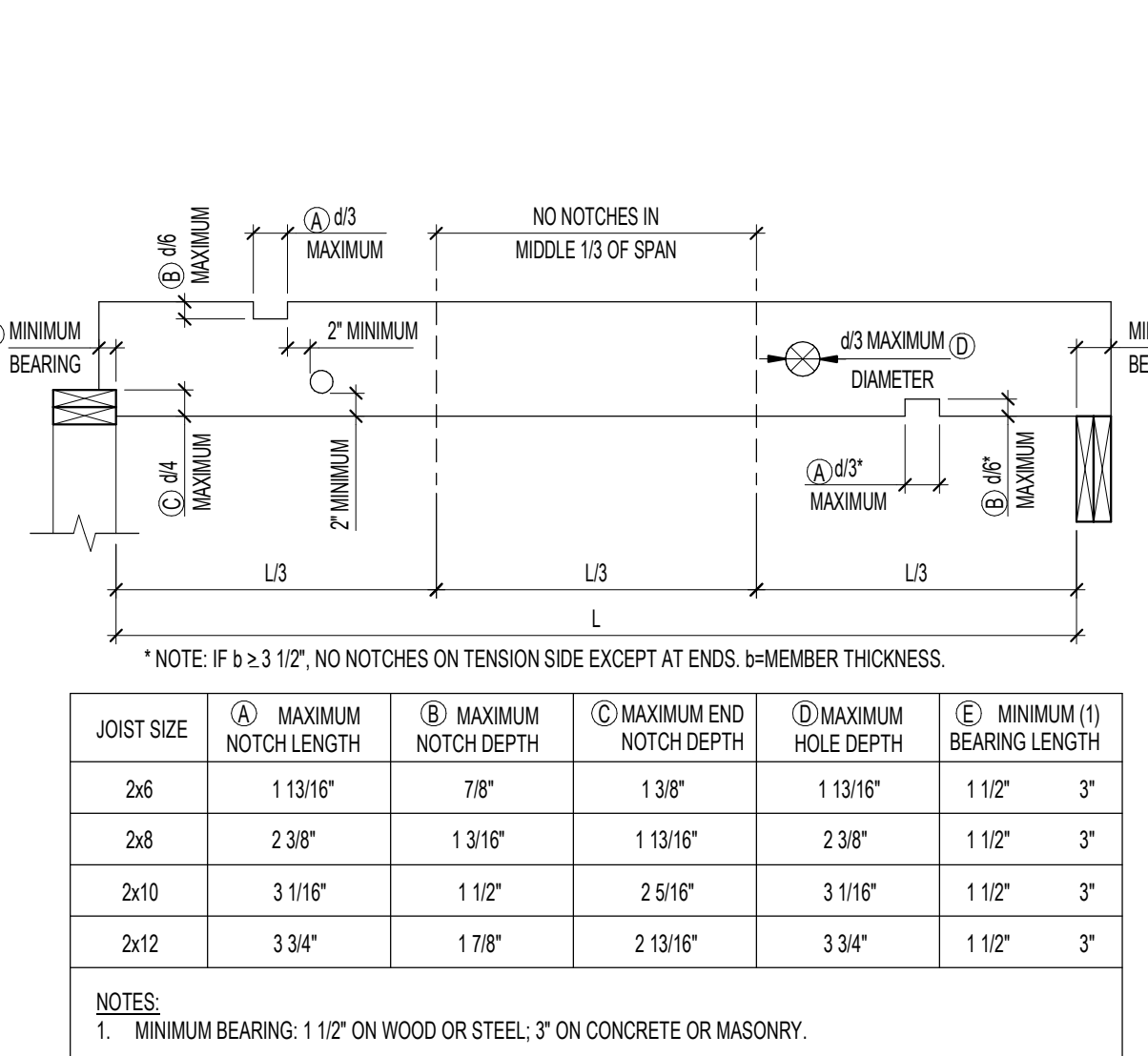
NOTES:
1. MAX HOLE SIZES PER IRC SECTIONS 2308.5.9 AND 2308.5.10.
2. EDGE OF HOLE SHALL NOT BE LESS THAN 5/8" FROM EDGE OF STUD.
3. STRUCTURAL WALLS INCLUDE EXTERIOR WALLS, INTERIOR SHEAR WALLS, INTERIOR CORRIDOR WALLS, AND ALL OTHER INTERIOR WALLS WITH FRAMING PERPENDICULAR TO WALL.
4. IF HOLES ARE REQUIRED LARGER THAN THESE MAXIMUM ALLOWABLE SIZES, CONTACT SEOR.



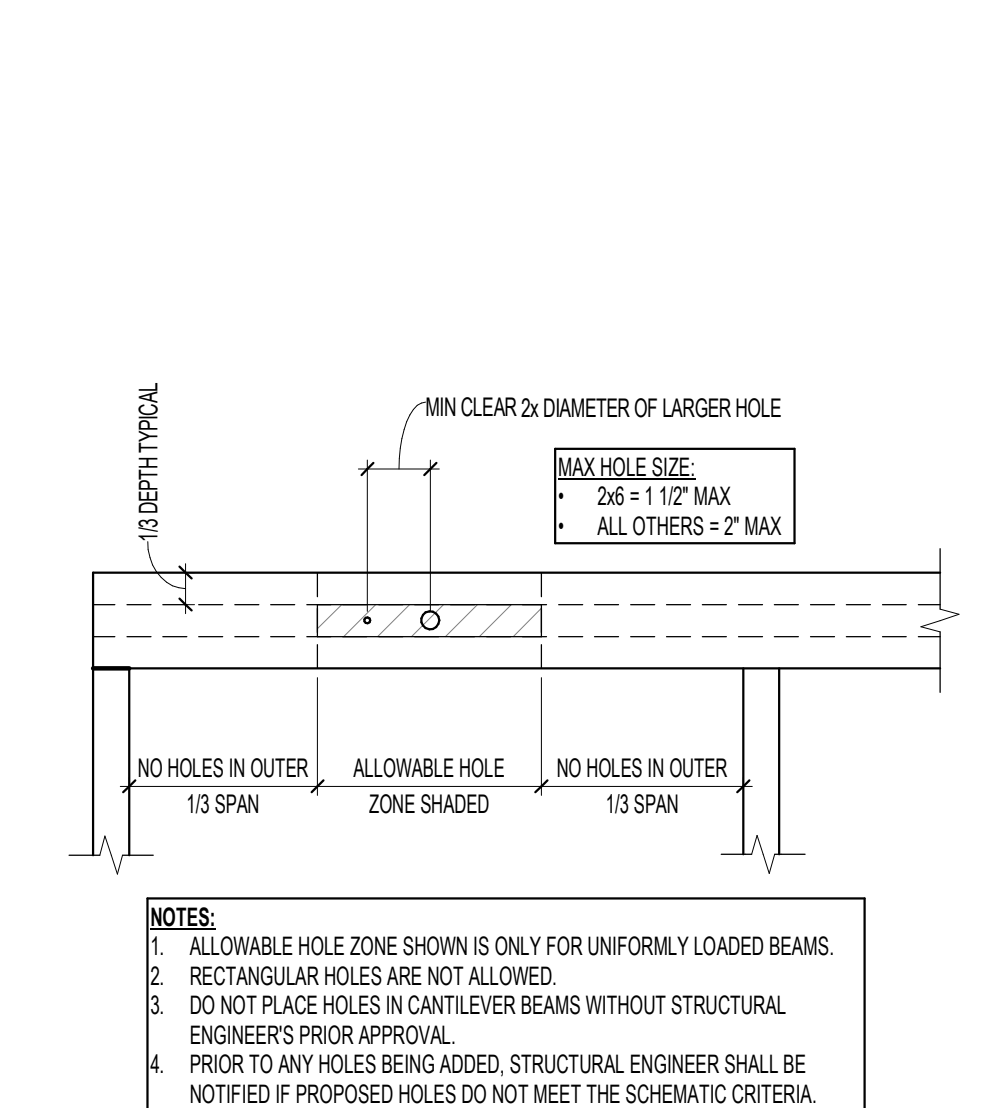
4 S-4.2 MAXIMUM ALLOWABLE PENETRATION WIDTHS IN STRUCTURAL WALLS - TOP AND BOTTOM PLATES



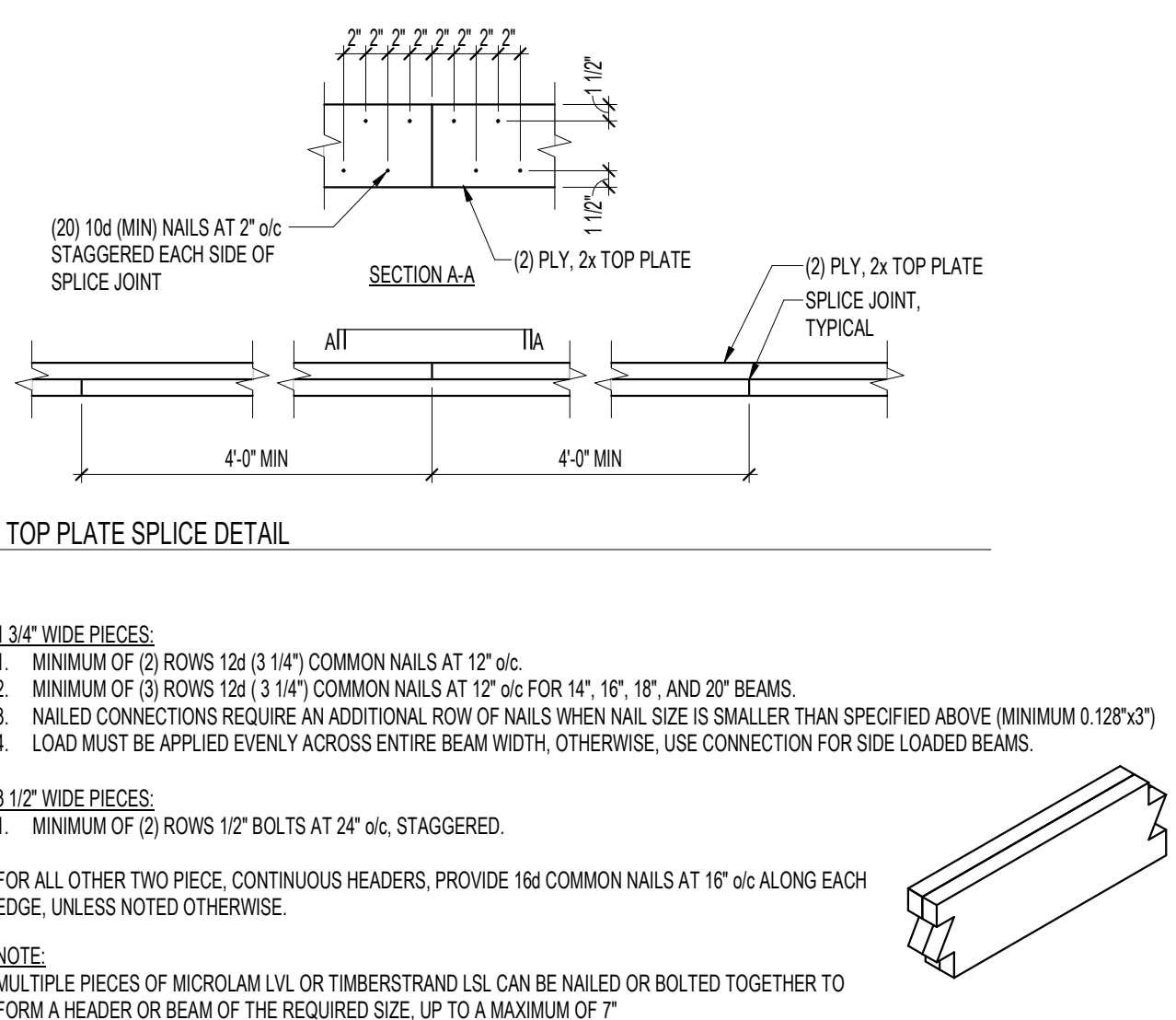
5 S-4.2 TYPICAL FRAMING AROUND AN OPENING IN A WOOD STUD BEARING WALL



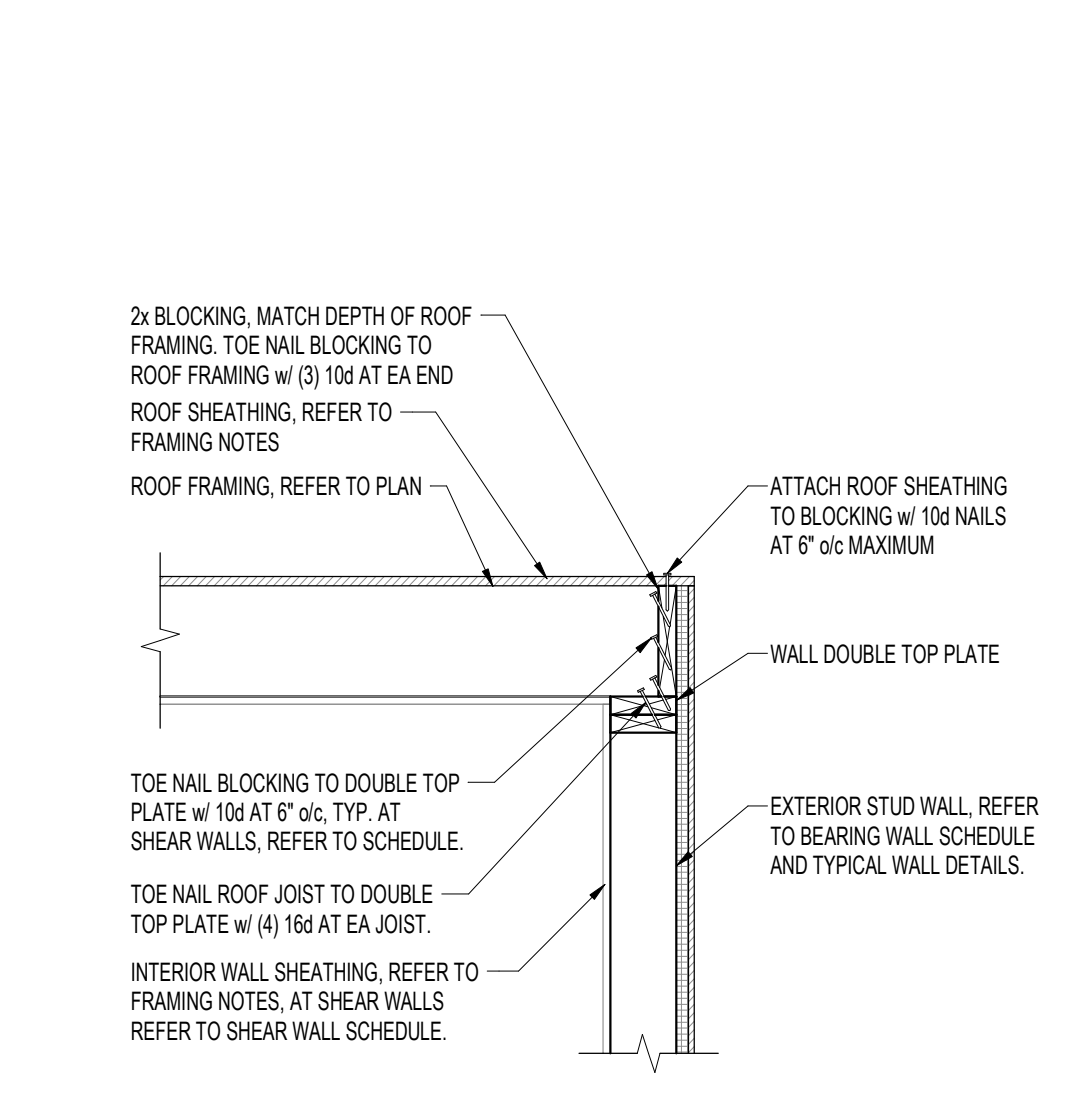
6 S-4.2 ALLOWABLE NOTCHES AND HOLES IN SAWN LUMBER JOISTS



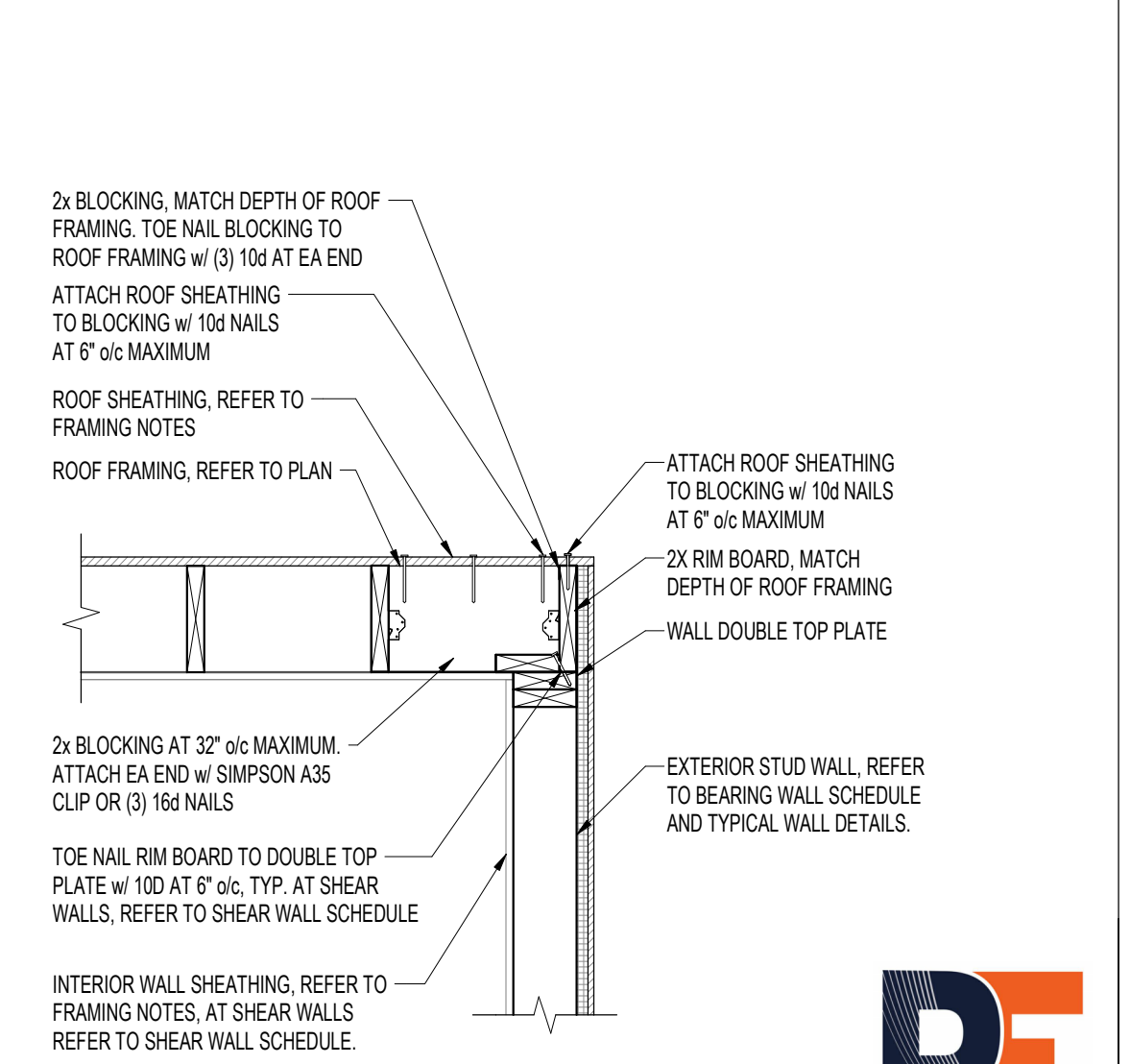
7 S-4.2 ALLOWABLE HOLES IN LVL/PSL BEAMS



8 S-4.2 MULTIPLE MEMBER CONNECTION (TOP LOAD BEAMS)



9 S-4.2 ROOF FRAMING AT EXTERIOR WALL



10 S-4.2 ROOF JOIST AT EXTERIOR WALLS

Section 3, Item D.

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PROJECT INFORMATION:
SAUVE'S AUTO
TWO RIVERS, WISCONSIN

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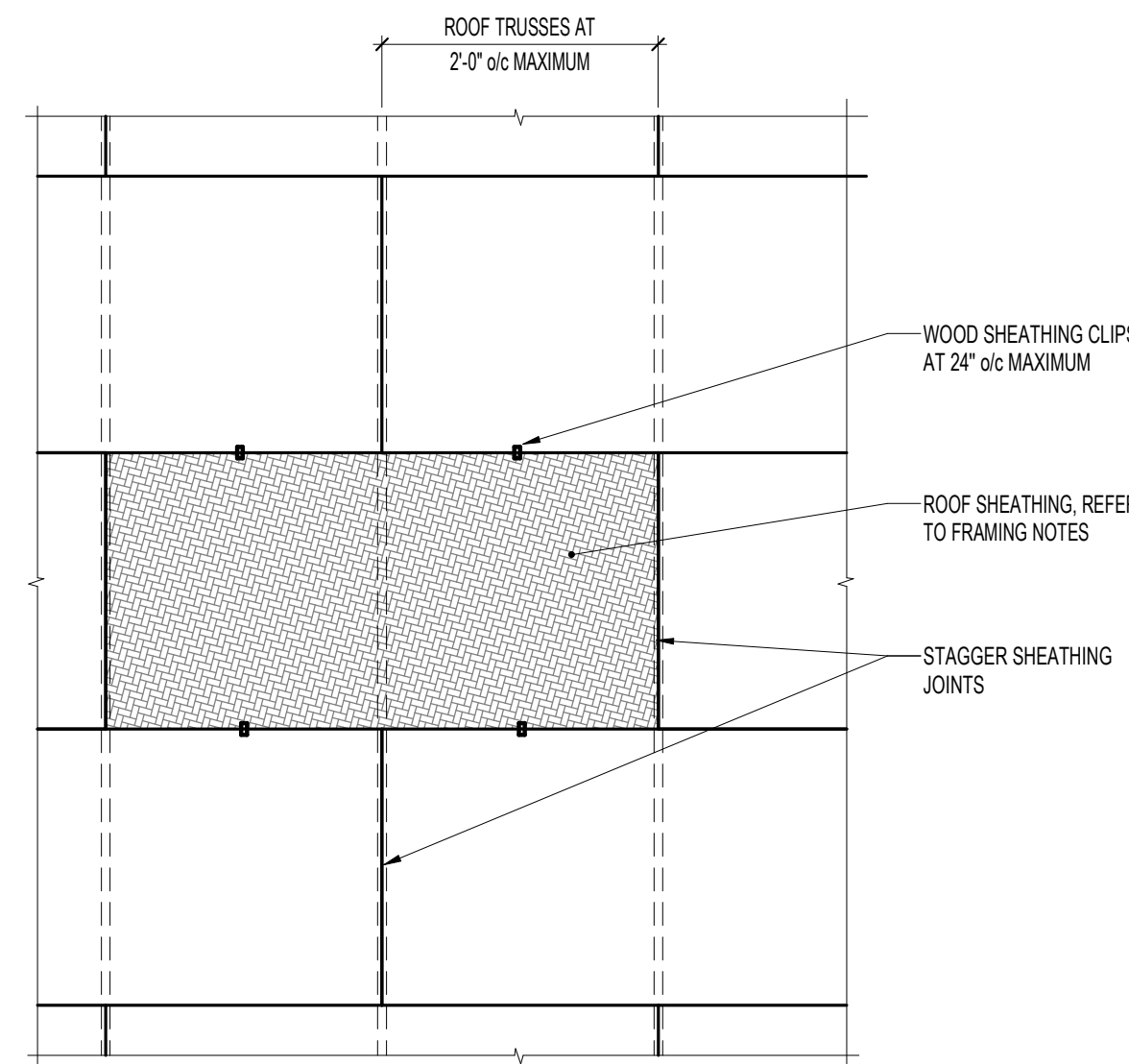
SHEET INFORMATION
A.C.E. JOB NO.
DATE: 08-19-2024
DRAWN BY: PE
SCALE: As indicated
STRUCTURAL DETAILS
SHEET
S-4.2

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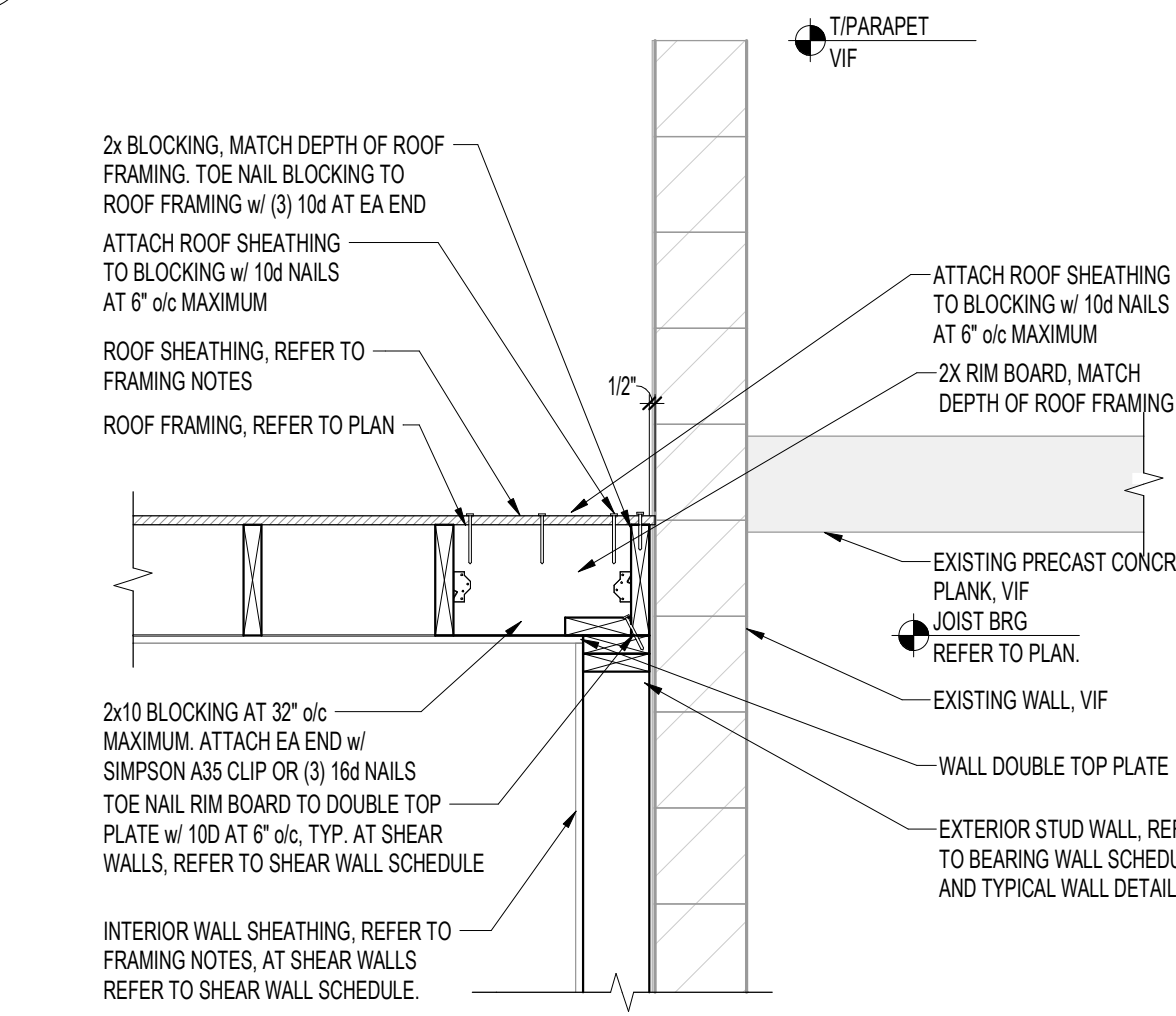
IBC 2015 TABLE 2304.10.1 MINIMUM FASTENING SCHEDULE, UNO		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
ROOF		
1. BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES TO TOP PLATE OR OTHER FRAMING BELOW	(3) 8d COMMON (2 1/2" x 0.131"); OR (3) 10d BOX (2" x 0.128"); OR (3) 3" x 0.131" NAILS, OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	EACH END, TOENAIL
BLOCKING BETWEEN RAFTERS OR TRUSS NOT AT THE WALL TOP PLATE, TO RAFTER OR TRUSS	(2) 8d COMMON (2 1/2" x 0.131") (2) 3" x 0.131" NAILS (2) 3" x 14 GAGE STAPLES	EACH END, TOENAIL
FLAT BLOCKING TO TRUSS AND WEB FILLER	(2) 16d COMMON (3 1/2" x 0.162") (3) 3" x 0.131" NAILS (3) 3" x 14 GAGE STAPLES	END NAIL
2. CEILING JOISTS TO TOP PLATE	(3) 8d COMMON (2 1/2" x 0.131"); OR (3) 10d BOX (2" x 0.128"); OR (3) 3" x 0.131" NAILS, OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	EACH JOIST, TOENAIL
3. CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS (NO THRUST). (SEE SECTION 2308.7.3.1, TABLE 2308.7.3.1)	(3) 16d COMMON (3 1/2" x 0.162"); OR (4) 10d BOX (2" x 0.128"); OR (4) 3" x 0.131" NAILS, OR (4) 3" x 14 GAGE STAPLES, 7/16" CROWN	FACE NAIL
4. CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) (SEE SECTION 2308.7.3.1, TABLE 2308.7.3.1)	PER TABLE 2308.7.3.1	FACE NAIL
5. COLLAR TIE TO RAFTER	(3) 10d COMMON (3" x 0.148"); OR (4) 10d BOX (2" x 0.128"); OR (4) 3" x 0.131" NAILS, OR (4) 3" x 14 GAGE STAPLES, 7/16" CROWN	FACE NAIL
6. RAFTER TO ROOF TRUSS TO TOP PLATE (SEE SECTION 2308.7.5, TABLE 2308.7.5)	(3) 10d COMMON (3" x 0.148"); OR (3) 10d BOX (3 1/2" x 0.135"); OR (4) 10d BOX (2" x 0.128"); OR (4) 3" x 0.131" NAILS, OR (4) 3" x 14 GAGE STAPLES, 7/16" CROWN	TOENAIL ⁽⁶⁾
7. ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTERS; OR ROOF RAFTER TO 2" INCH RIDGE BEAM	(2) 16d COMMON (3 1/2" x 0.162"); OR (3) 10d BOX (2" x 0.128"); OR (3) 3" x 0.131" NAILS, OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN (3) 10d COMMON (3 1/2" x 0.162"); OR (3) 10d BOX (3 1/2" x 0.135"); OR (4) 10d BOX (2" x 0.128"); OR (4) 3" x 0.131" NAILS, OR (4) 3" x 14 GAGE STAPLES, 7/16" CROWN	END NAIL TOENAIL
WALL		
8. STUD TO STUD (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" x 0.162") 10d BOX (2" x 0.128"); OR 3" x 0.131" NAILS, OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	24" o/c FACE NAIL 16" o/c FACE NAIL
9. STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d COMMON (3 1/2" x 0.162") 16d BOX (3 1/2" x 0.135") 3" x 0.131" NAILS, OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	16" o/c FACE NAIL 12" o/c FACE NAIL 12" o/c FACE NAIL
10. BUILT-UP HEADER (2" TO 2" HEADER)	16d COMMON (3 1/2" x 0.162") 16d BOX (3 1/2" x 0.135")	16" o/c EACH EDGE, FACE NAIL 12" o/c EACH EDGE, FACE NAIL
11. CONTINUOUS HEADER TO STUD	(4) 8d COMMON (2 1/2" x 0.131"); OR (4) 10d BOX (2" x 0.128")	TOENAIL
12. TOP PLATE TO TOP PLATE	16d COMMON (3 1/2" x 0.162") 10d BOX (2" x 0.128"); OR 3" x 0.131" NAILS, OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	16" o/c FACE NAIL 12" o/c FACE NAIL
13. TOP PLATE TO TOP PLATE, AT END JOINTS	(8) 16d COMMON (3 1/2" x 0.162"); OR (12) 10d BOX (2" x 0.128"); OR (12) 3" x 0.131" NAILS, OR (12) 3" x 14 GAGE STAPLES, 7/16" CROWN	EACH SIDE OF END JOINT, FACE NAIL, MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT
14. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" x 0.162") 16d BOX (3 1/2" x 0.135"); OR 3" x 0.131" NAILS, OR 3" x 14 GAGE STAPLES, 7/16" CROWN	16" o/c FACE NAIL 12" o/c FACE NAIL
15. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING AT BRACED WALL PANELS	(2) 16d COMMON (3 1/2" x 0.162"); OR (3) 10d BOX (2" x 0.128"); OR (3) 3" x 0.131" NAILS, OR (4) 3" x 14 GAGE STAPLES, 7/16" CROWN	16" o/c FACE NAIL
16. STUD TO TOP OR BOTTOM PLATE	(4) 8d COMMON (2 1/2" x 0.131"); OR (4) 10d BOX (2" x 0.128"); OR (4) 3" x 0.131" NAILS, OR (4) 3" x 14 GAGE STAPLES, 7/16" CROWN (2) 16d COMMON (3 1/2" x 0.162"); OR (3) 10d BOX (2" x 0.128"); OR (3) 3" x 0.131" NAILS, OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	TOENAIL END NAIL
17. TOP OR BOTTOM PLATE TO STUD	(2) 16d COMMON (3 1/2" x 0.162"); OR (3) 10d BOX (2" x 0.128"); OR (3) 3" x 0.131" NAILS, OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	END NAIL
18. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	(2) 16d COMMON (3 1/2" x 0.162"); OR (3) 10d BOX (2" x 0.128"); OR (3) 3" x 0.131" NAILS, OR (3) 3" x 14 GAGE STAPLES, 7/16" CROWN	FACE NAIL
19. 1" BRACE TO EACH STUD AND PLATE	(2) 8d COMMON (2 1/2" x 0.131"); OR (2) 10d BOX (2" x 0.128"); OR (2) 3" x 0.131" NAILS, OR (2) 3" x 14 GAGE STAPLES, 7/16" CROWN	FACE NAIL
20. 1" x 6" SHEATHING TO EACH BEARING	(2) 8d COMMON (2 1/2" x 0.131"); OR (2) 10d BOX (2" x 0.128")	FACE NAIL
21. 1" x 8" AND WIDER SHEATHING TO EACH BEARING	(3) 8d COMMON (2 1/2" x 0.131"); OR (3) 10d BOX (2" x 0.128")	FACE NAIL

IBC 2015 TABLE 2304.10.1 MINIMUM FASTENING SCHEDULE, UNO			
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	EDGE (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
31. 3/8" - 1/2"	6d COMMON OR DEFORMED (2" x 0.113") (SUBFLOOR AND WALL) 8d BOX OR DEFORMED (2 1/2" x 0.113") (ROOF) 2 3/8" x 0.113" NAIL (SUBFLOOR AND WALL) 1 3/4" x 16 GAGE STAPLES, 7/16" CROWN (SUBFLOOR AND WALL) 2 3/8" x 0.113" NAIL (ROOF) 1 3/4" x 16 GAGE STAPLES, 7/16" CROWN (ROOF)	6 6 6 4 4 3	12 12 12 8 8 6
32. 19/32" - 3/4"	8d COMMON (2 1/2" x 0.131"); OR 6d DEFORMED (2" x 0.113") 2 3/8" x 0.113" NAIL OR 2" x 16 GAGE STAPLES, 7/16" CROWN	6 4 6	12 12 8
33. 7/8" - 1 1/4"	10d COMMON (3" x 0.148"); OR 8d DEFORMED (2 1/2" x 0.131")	6	12
OTHER EXTERIOR WALL SHEATHING			
34. 1/2" FIBERBOARD SHEATHING ⁽⁶⁾	1 1/2" GALVANIZED ROOFING NAIL (7/16" DIAMETER HEAD); OR 1 1/4" x 16 GAGE STAPLES w/ 7/16" CROWN OR 1" CROWN	3	6
35. 25/32" FIBERBOARD SHEATHING ⁽⁶⁾	1 3/4" GALVANIZED ROOFING NAIL (7/16" DIAMETER HEAD); OR 1 1/2" x 16 GAGE STAPLES w/ 7/16" CROWN OR 1" CROWN	3	6
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
36. 3/4" AND LESS	8d COMMON (2 1/2" x 0.131"); OR 6d DEFORMED (2" x 0.113")	6	12
37. 7/8" - 1"	8d COMMON (2 1/2" x 0.131"); OR 6d DEFORMED (2 1/2" x 0.131")	6	12
38. 1 1/8" - 1 1/4"	10d COMMON (3" x 0.148"); OR 8d DEFORMED (2 1/2" x 0.131")	6	12
PANEL SIDING TO FRAMING			
39. 1/2" AND LESS	6d CORROSION-RESISTANT SIDING (1 7/8" x 0.106"); OR 6d CORROSION-RESISTANT CASING (2" x 0.099")	6	12
40. 5/8"	8d CORROSION-RESISTANT SIDING (2 3/8" x 0.128"); OR 8d CORROSION-RESISTANT CASING (2 1/2" x 0.113")	6	12
INTERIOR PANELING			
41. 1/4"	4d CASING (1 1/2" x 0.080"); OR 4d FINISH (1 1/2" x 0.072")	6	12
42. 3/8"	6d CASING (2" x 0.099"); OR 6d FINISH (PANEL SUPPORTS AT 24 INCHES)	6	12
MINIMUM FASTENER SCHEDULE NOTES:			
⁽⁶⁾ NAILS SPACED AT 6 INCHES AT INTERMEDIATE SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS. REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING.			
⁽⁶⁾ SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS FOR NONSTRUCTURAL APPLICATIONS. PANEL SUPPORTS AT 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).			
⁽⁶⁾ WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE AND THE CEILING JOIST IS FASTENED TO THE TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE, THE NUMBER OF TOENAILS IN THE RAFTER SHALL BE PERMITTED TO BE REDUCED BY ONE NAIL.			

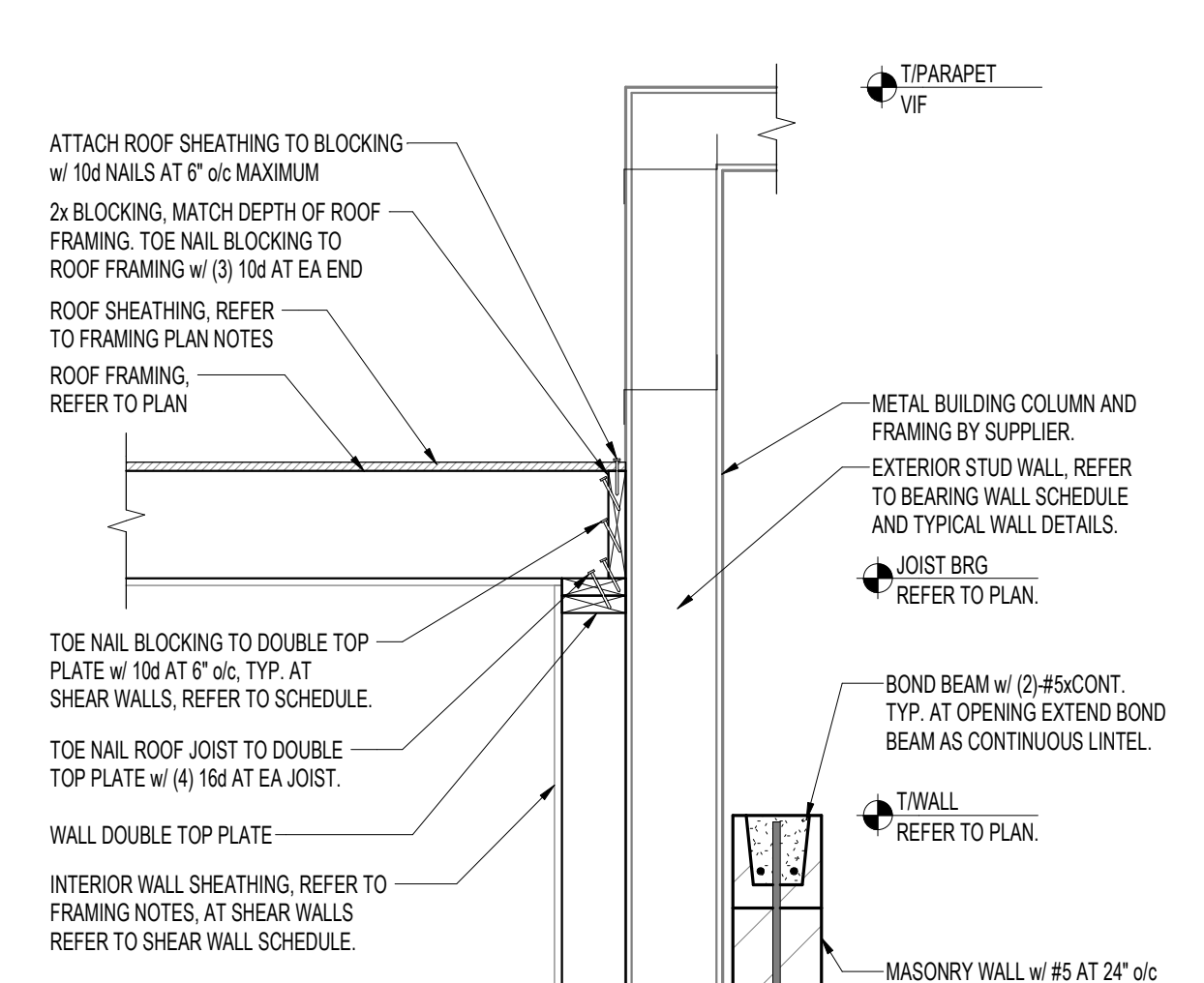
WOOD GUN NAIL CONVERSION		
USE	SPECIFIED COMMON NAILS	GUN NAIL EQUIVALENT
FLOOR & ROOF SHEATHING	10d AT 6" o/c	0.131"x3" AT 4" o/c
SHEAR WALLS, TYPE "W68"	10d AT 6" o/c	0.131"x3" AT 4" o/c
	8d AT 6" o/c	0.131"x3" AT 6" o/c
SHEAR WALLS, TYPE "W48"	10d AT 4" o/c	0.131"x3" AT 3" o/c
	8d AT 4" o/c	0.131"x3" AT 4" o/c
TYPICAL FASTENER CONDITIONS	(2) 10d OR (2) 16d	(3) 0.131"x3"
	(3) 10d OR (3) 16d	(4) 0.131"x3"
	(4) 10d OR (4) 16d	(6) 0.131"x3"
	10d AT 6" o/c	0.131"x3" AT 4" o/c
	16d AT 16" o/c	0.131"x3" AT 12" o/c
	16d AT 12" o/c	0.131"x3" AT 8" o/c
GUN NAIL CONVERSION SCHEDULE NOTES:		
1. REFER TO MINIMUM FASTENING SCHEDULE FOR ITEMS NOT COVERED HERE.		
2. MINIMUM PENETRATION INTO BASE WOOD MEMBER = 1 1/2".		
3. GUN NAILS SHALL HAVE FULL ROUND HEADS.		



1 S-4.3 TYPICAL ROOF SHEATHING LAYOUT



2 S-4.3 AT EXISTING



3 S-4.3 AT EXISTING

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A.C.E. JOB NO. _____

DATE: 08-19-2024

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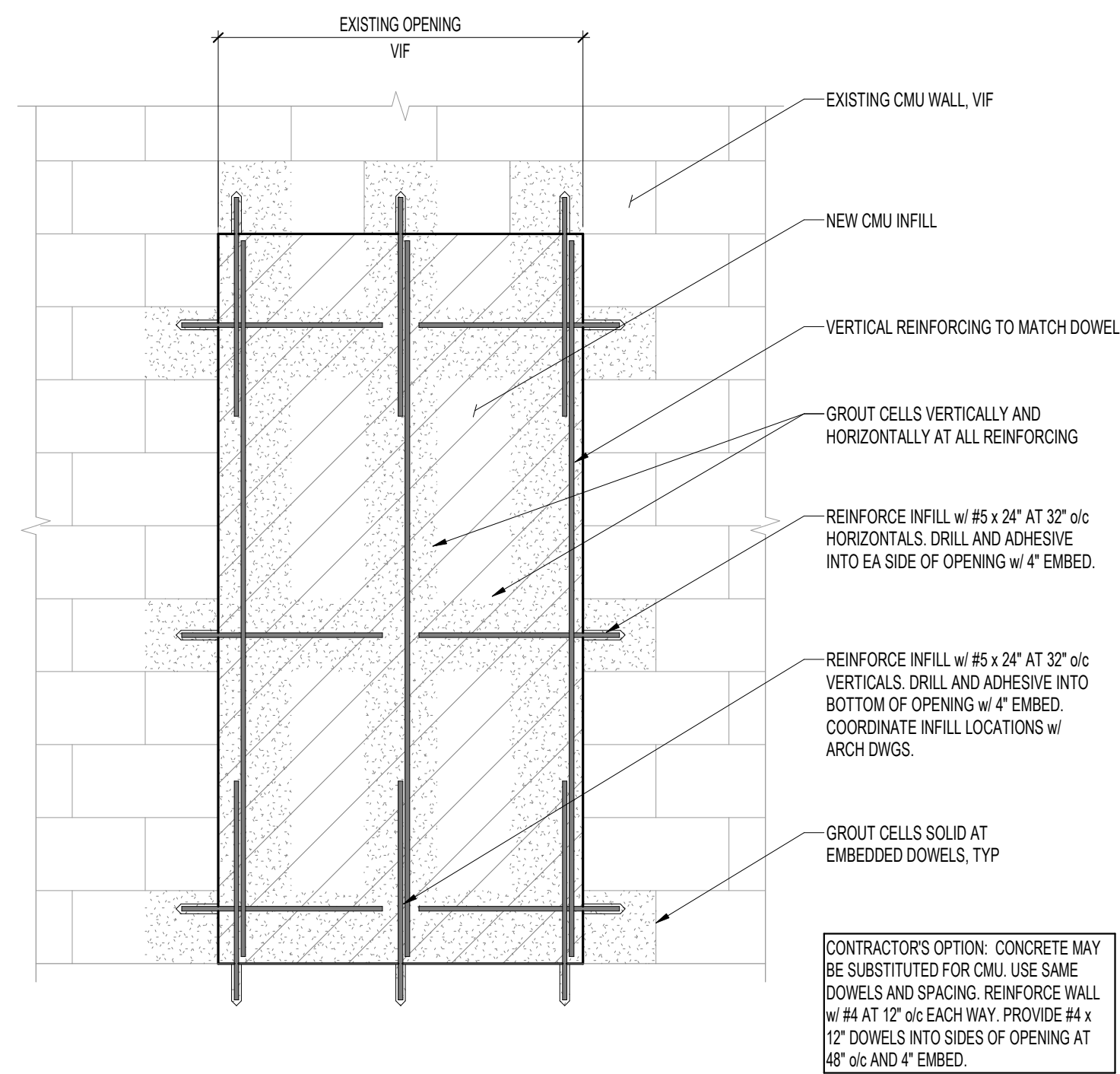
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STRUCTURAL DETAILS

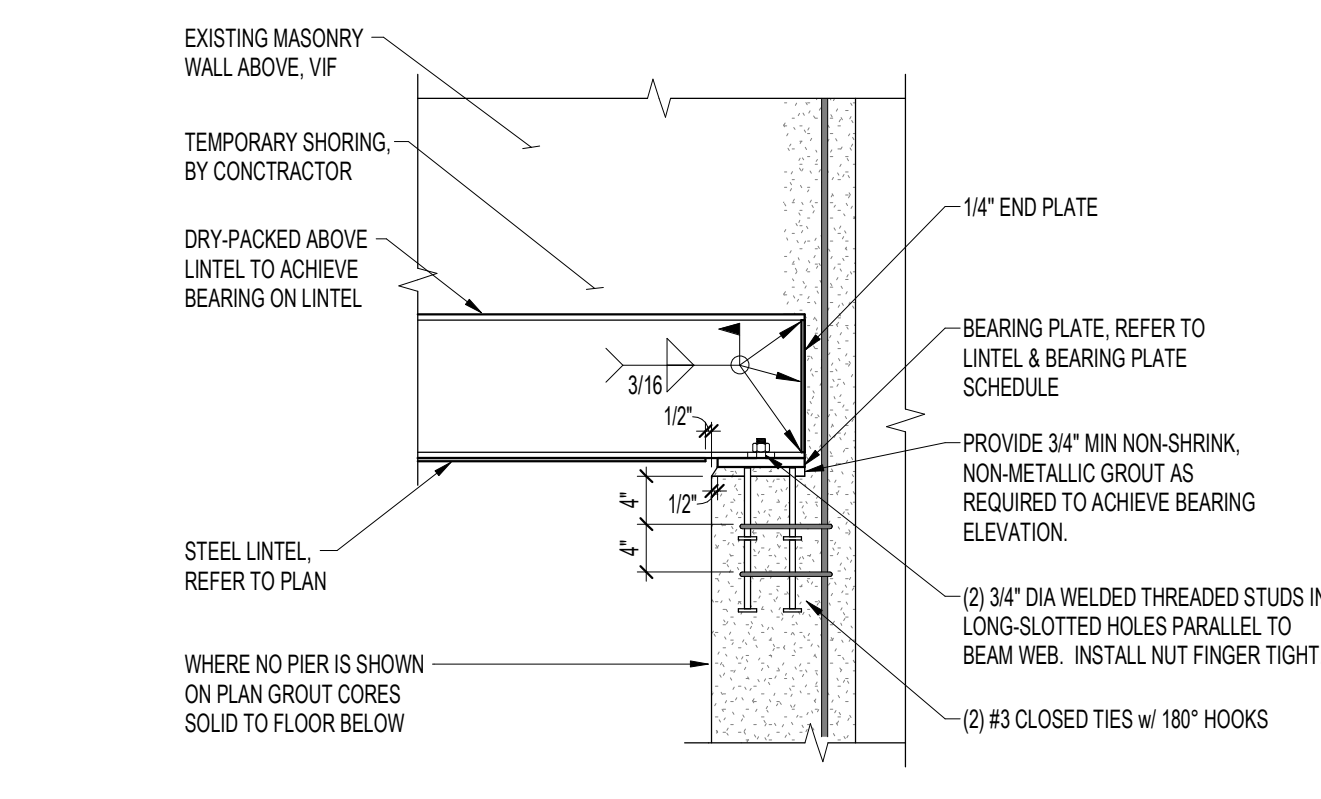
SHEET

S-4.3

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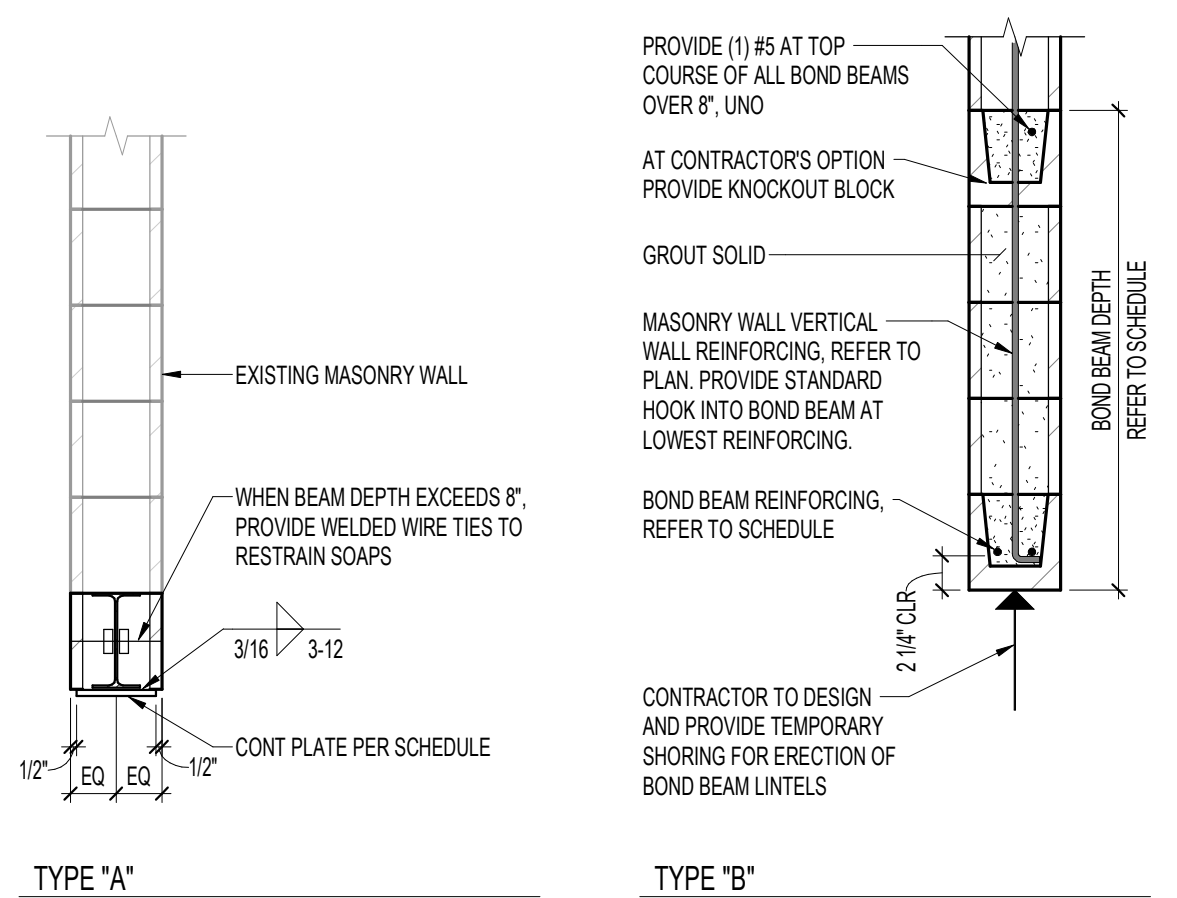
1 TYPICAL LOAD BEARING CMU WALL INFILL



2 STEEL LINTEL BEARING ON EXISTING MASONRY WALL

LOAD BEARING LINTEL SCHEDULE							
MARK	TYPE	BEAM SIZE OR BOND BEAM DEPTH	CONT PLATE THICKNESS	BOND BEAM BOTTOM REIN. UNO	STIRRUPS	BEARING PLATE SIZE	REMARKS
L1	A	W16x26	5/16"	--	--	3/8"x6'0" w/ (2) 1/2" DIA x 10' HEADED STUDS AT 5' GAGE	
L2	SEE PLAN	W16x31	--	--	--	--	
L3	SEE PLAN	W8x10	--	--	--	--	
L4	B	8"	--	(2) #5	--	--	

LOAD BEARING LINTEL SCHEDULE NOTES:
 1. UNLESS STEEL LINTEL BEAM CONNECTS TO A COLUMN, PROVIDE 8" BEARING AT EACH END OF LINTEL.
 2. EXTEND BOND BEAM REINFORCING 30" PAST OPENING EXTENTS. REINFORCING THAT CANNOT ACHIEVE 30" PAST OPENING SHALL TERMINATE IN A 180° HOOK AND EXTEND AT LEAST 18" PAST OPENING. NOTIFY ENGINEER IF THIS CANNOT BE ACHIEVED.
 3. DO NOT INSTALL CONTROL JOINT WITHIN BOND BEAM REINFORCING EXTENTS.
 4. EXTERIOR LINTELS TO BE HOT DIPPED GALVANIZED, UNLESS NOTED OTHERWISE. WHERE ARCH DRAWINGS CALL OUT PAINTED LINTELS, COORDINATE PREP AND CLEAN LINTEL FOR PAINTING AFTER GALVANIZING WITH ARCHITECT AND PAINTING CONTRACTOR.
 5. REFER TO ARCH DRAWINGS FOR OPENING LOCATIONS, ELEVATIONS, AND SIZES.
 6. REFER TO TYPICAL DETAILS FOR ADDITIONAL INFORMATION.
 7. GROUT CONCRETE MASONRY UNITS SOLID FULL HEIGHT AND LENGTH OF BOND BEAM LINTEL.



NON-LOAD BEARING INTERIOR MASONRY WALL REINFORCING SCHEDULE			
CLEAR HEIGHT	WALL THICKNESS	VERTICAL REINFORCEMENT & SPACING	REMARKS
H < 8'0"	8"	#5 AT 24" o/c MAX, CENTERED	

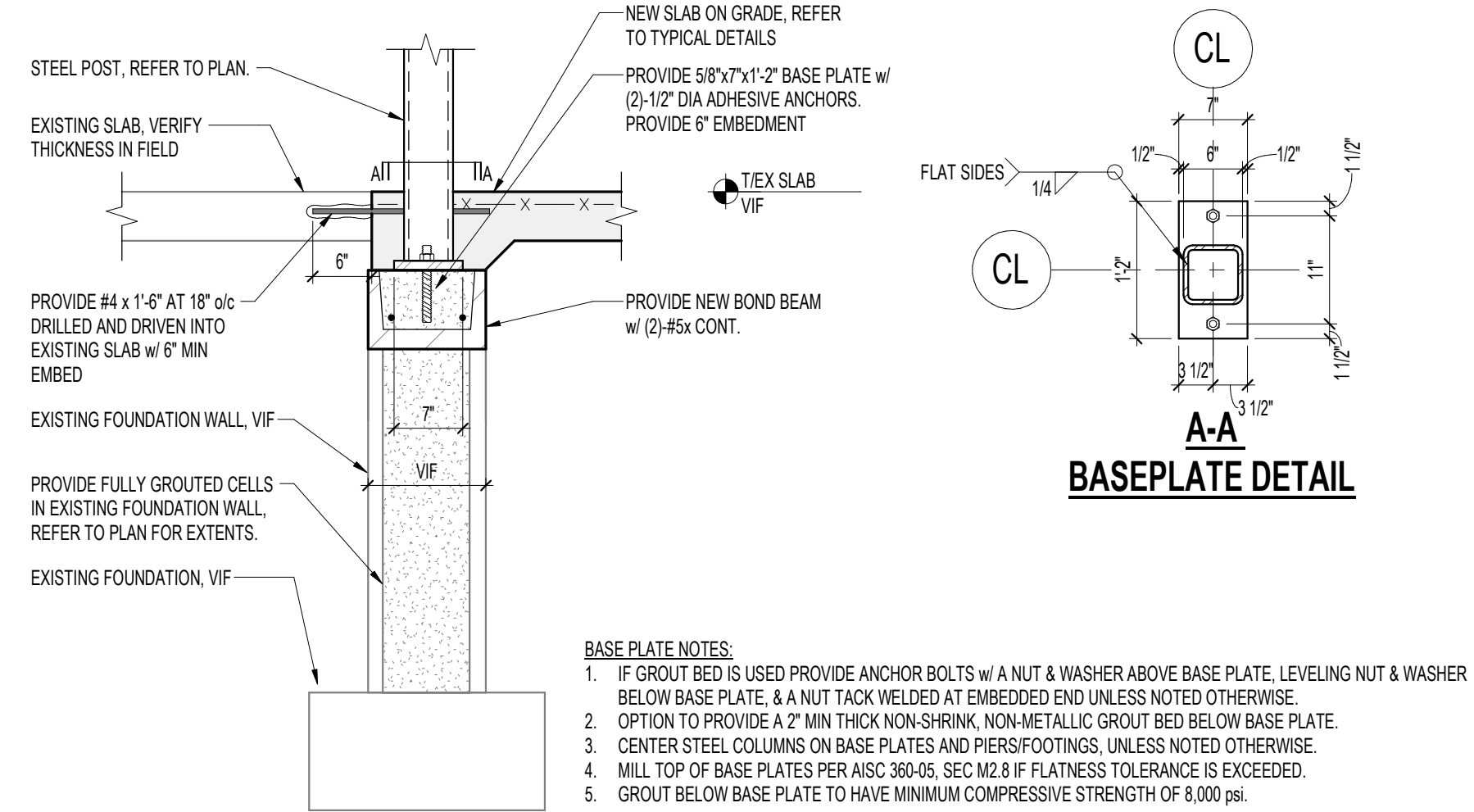
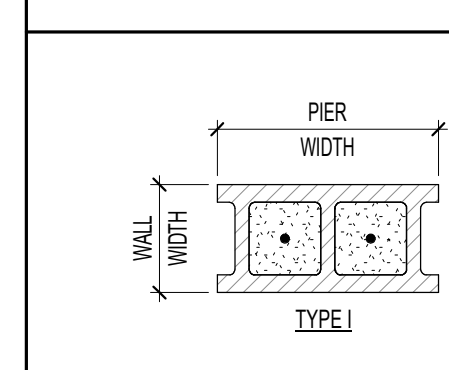
NON-LOAD BEARING INTERIOR MASONRY WALL REINFORCING SCHEDULE NOTES:
 1. WALLS THAT ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS ARE CONSIDERED NON-LOAD BEARING. REFER TO ARCHITECTURAL DRAWINGS FOR ALL WALL LOCATIONS AND DIMENSIONS.
 2. REFER TO ARCHITECTURAL DRAWINGS FOR OPENING LOCATIONS, ELEVATIONS, AND SIZES.
 3. GROUT CONCRETE MASONRY UNITS SOLID FULL HEIGHT OF BUILDING AT REINFORCEMENT LOCATIONS.
 4. UNLESS NOTED OTHERWISE, PROVIDE #4 x 16" LONG DOWELS WITH 3" ADHESIVE EMBED INTO LOWER CONCRETE SUPPORT. SPACING TO MATCH VERTICAL WALL REINFORCING.
 5. REFER TO DETAIL SHEETS FOR TOP OF WALL BRACING.
 6. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF SOLIDLY GROUTED WALLS.

MASONRY (CMU) REINFORCEMENT DEVELOPMENT AND LAP SPlice SCHEDULE							
BAR SIZE	CENTERED					CLEAR COVER - EACH FACE - ALL BLOCK - ASD	
	8" BLOCK	10" BLOCK	12" BLOCK	14" BLOCK	16" BLOCK	1 1/2"	2"
#3	12"	12"	12"	12"	12"	15"	12"
#4	16"	12"	12"	12"	12"	26"	20"
#5	25"	18"	14"	12"	12"	41"	31"
#6	47"	34"	26"	21"	18"	77"	58"
#7	---	47"	36"	29"	25"	104"	78"
#8	---	71"	55"	45"	38"	155"	117"
#9	---	---	70"	57"	46"	198"	149"

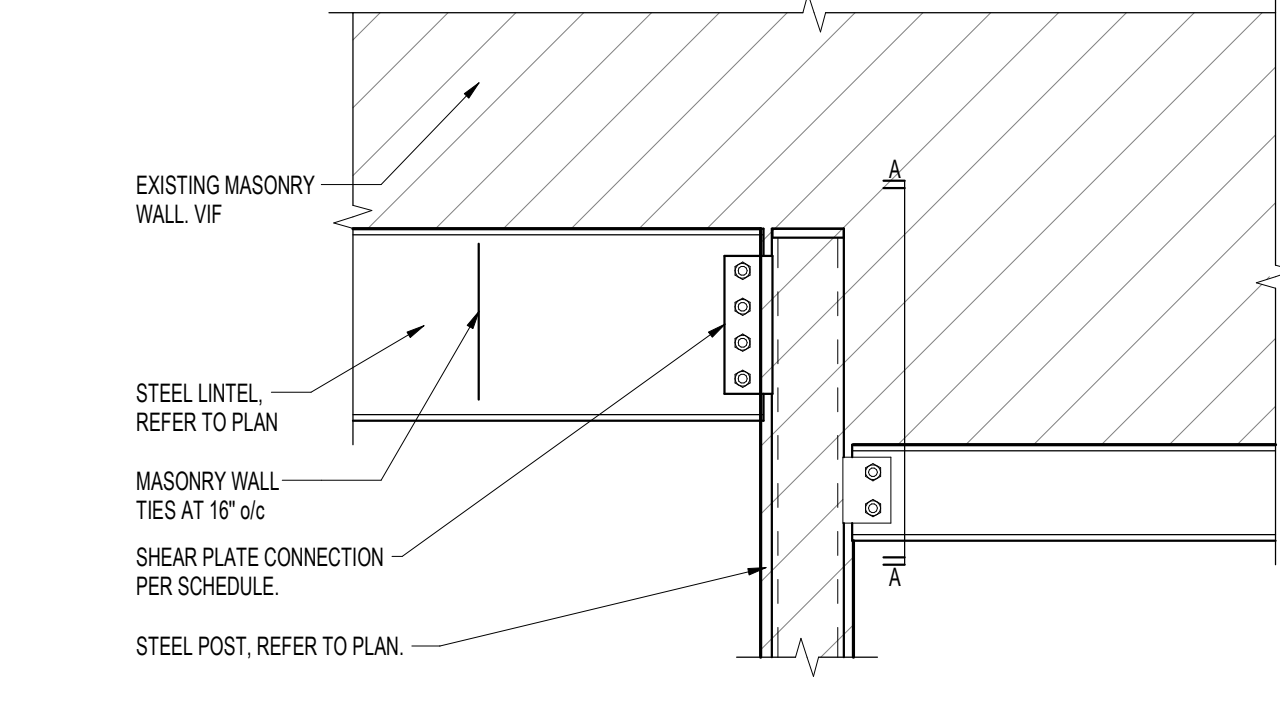
MASONRY (CMU) REINFORCEMENT DEVELOPMENT AND LAP SPlice SCHEDULE NOTES:
 1. THIS SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND IS NOT INTENDED TO COVER ALL SITUATIONS. SHOP DRAWINGS SHALL CLEARLY INDICATE ALL REQUIRED LAP LENGTHS.
 2. VALUES IN THIS SCHEDULE ARE BASED ON NORMAL WEIGHT MASONRY BLOCK, $f_m = 2,500$ psi.
 3. LOCATE BAR POSITIONERS AT SPLICES, TOP AND BOTTOM OF WALLS, AND AT INTERVALS NOT EXCEEDING 8'0".
 4. TENSION DEVELOPMENT LENGTHS AND TENSION LAP SPlice LENGTHS ARE CALCULATED PER CURRENT ADDITION OF TMS 402/ACI 530.

MASONRY PIER SCHEDULE					
MARK	SIZE	VERTICAL REINFORCEMENT	PIER TIES	TYPE MARK	REMARKS
MP1	8" WALL WIDTH	(1) #5	--	I	
MP2	16" WALL WIDTH	(2) #5	--	I	
MP3-E	16" WALL WIDTH	(1) #4	--	I	REFER TO DETAIL 2/S4.4

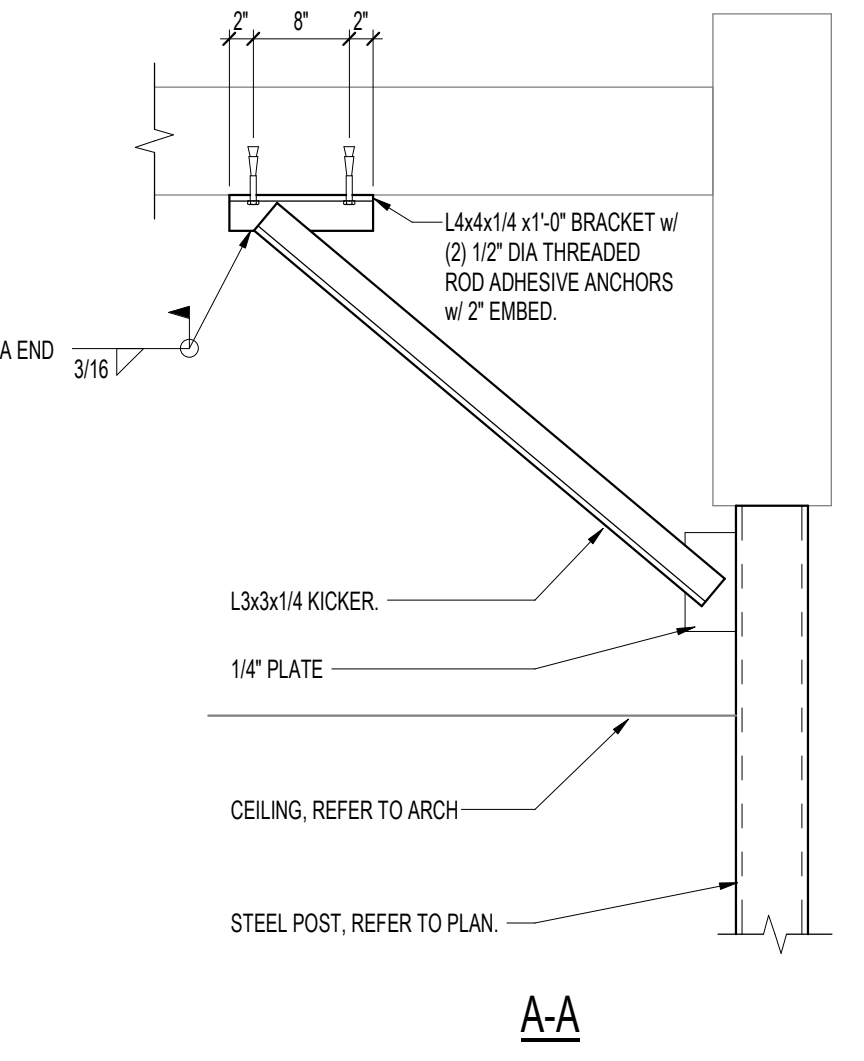
MASONRY PIER SCHEDULE NOTES:
 1. AT TOP OF MASONRY PIER SUPPORTING STEEL BEAM, PROVIDE (2) #3 CLOSED TIES w/ 180° HOOKS MINIMUM. PROVIDE FIRST TIE BELOW TOP OF WALL, PIER, BEAM BEARING, ROOF AND/OR FLOOR SLAB AT HALF THE REQUIRED TIE SPACING INDICATED.
 2. GROUT CONCRETE MASONRY UNITS SOLID FOR FULL HEIGHT AND CROSS SECTION OF PIERS.
 3. PROVIDE DOWELS INTO CONCRETE FOOTING TO MATCH VERTICAL MASONRY WALL REINFORCEMENT. DOWELS TO TERMINATE IN STANDARD 90° HOOK IN FOOTING.
 4. CENTER MASONRY PIER BELOW BEAM ABOVE UNLESS DETAILED OTHERWISE.
 5. PROVIDE FIRST TIE ABOVE TOP OF FOOTING AT HALF THE REQUIRED TIE SPACING INDICATED.
 6. TIES SHALL BE PLACED IN THE GROUT AND NOT THE MORTAR JOINT.
 7. CONTRACTORS OPTION TO USE PREFORMED COLUMN AND PILASTER SHAPES IN LIEU OF STANDARD BLOCK SHAPE COURSING INDICATED.
 8. REFER TO GENERAL NOTES FOR CLEAR COVER REQUIREMENTS.



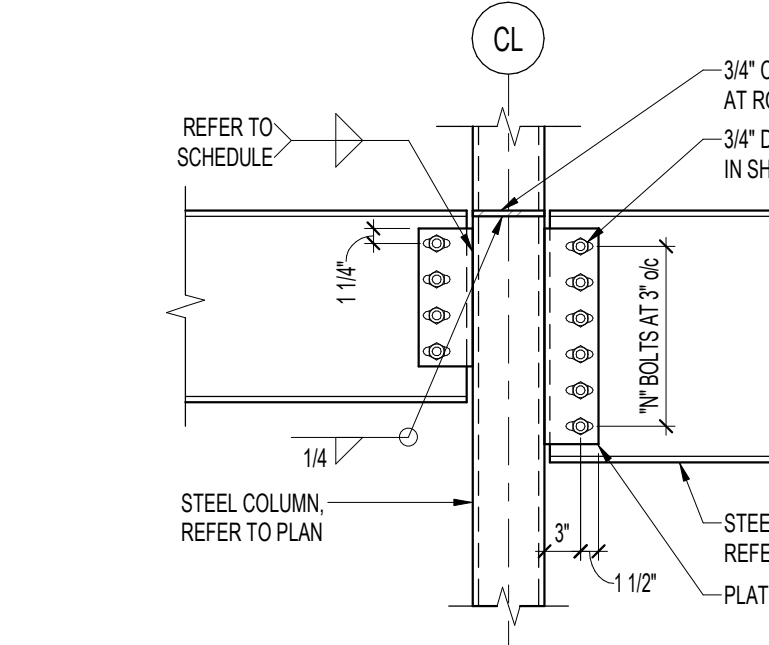
3 STEEL POST AT EXISTING



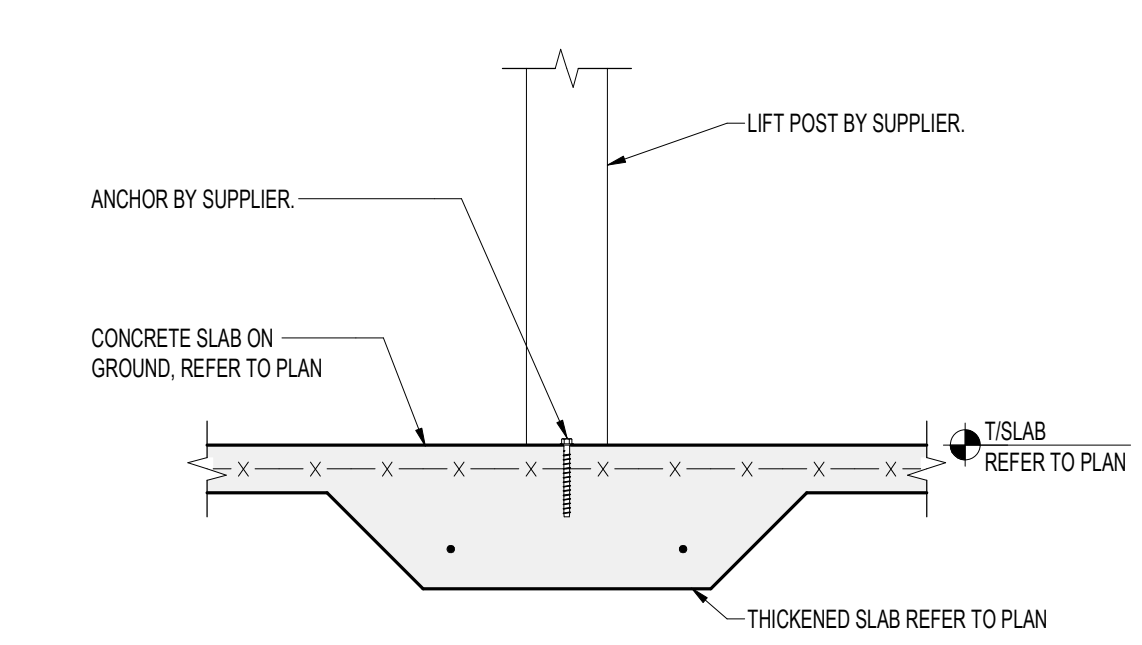
4 STEEL LINTEL w/ COLUMN



BEAM DEPTH	N	PLATE	WELD
W8, W10	2	5/16" x 4 1/2" x 0-5 1/2"	1/4"
W12, W14	3	5/16" x 4 1/2" x 0-8 1/2"	1/4"
W16	4	5/16" x 4 1/2" x 0-11 1/2"	1/4"
W18	5	5/16" x 4 1/2" x 1-2 1/2"	1/4"
W21	6	5/16" x 4 1/2" x 1-5 1/2"	1/4"
W24	7	5/16" x 4 1/2" x 1-8 1/2"	1/4"
W27	8	5/16" x 4 1/2" x 1-11 1/2"	1/4"
W30, W33	9	5/16" x 4 1/2" x 2-2 1/2"	1/4"



5 TYPICAL SHEAR PLATE CONNECTION



7 LIFT ON THICKENED SLAB

AC.E. BUILDING SERVICE
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 3810 SOUTH 26TH STREET | MANTOWOC, WISCONSIN 54220
 PHONE 920-682-8105 | WWW.ACEBUILDINGSERVICE.COM

Civil & Structural
 A DIVISION OF AC.E. BUILDING SERVICE

SMT
 SUPERVISING PROFESSIONAL

PROJECT INFORMATION:

SAUVE'S AUTO
 TWO RIVERS, WISCONSIN

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

SHEET INFORMATION

A.C.E. JOB NO.

DATE: 08-19-2024

DRAWN BY: PE

SCALE: As indicated

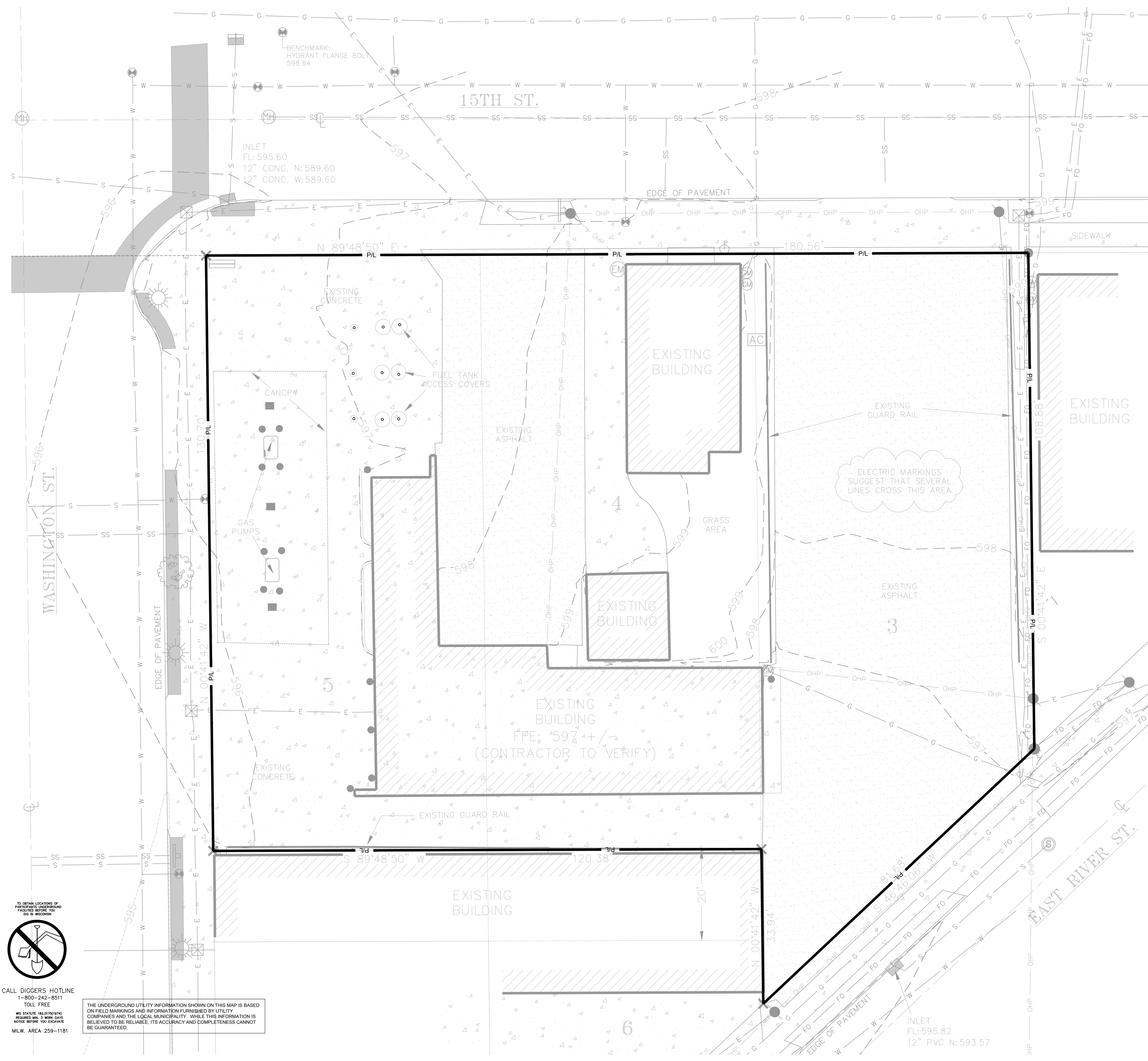
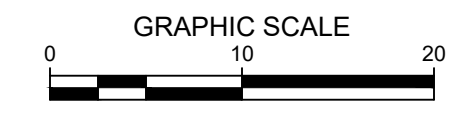
STRUCTURAL DETAILS

SHEET

S-4.4

PERCE ENGINEERS, INC.
 181 N. Broadway Ave
 Milwaukee, WI 53202
 414.278.6060
 www.perceengineers.com
 PE Project: 240407

DRAFT



- GENERAL NOTES:**
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CORNER POINTS ON 6/19/2024.
 4. DATUM FOR THE PROJECT SURVEY IS WGS 84. BENCHMARK FOR THE PROJECT SURVEY IS HYDRANT PUMPER NOZZLE, AT NORTHWEST CORNER OF 15TH STREET AND JEFFERSON STREET, AND HYDRANT FLANGE BOLT, AT NORTHWEST CORNER OF 15TH STREET AND WASHINGTON STREET.
 5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

LEGEND:

- | | |
|-------|--------------------------|
| --- | SECTION 1/4 SECTION LINE |
| --- | PROPERTY LINE |
| --- | EASEMENT |
| -X-X- | CHAIN LINK FENCE |
| -O-O- | GUARD RAIL |
| -□-□- | METAL FENCE |
| -□-□- | WOOD FENCE |
| ~ | TREE LINE |
| --- | OVERHEAD UTILITY LINE |
| EH | ELECTRIC |
| T | TELEPHONE |
| FO | FIBER OPTIC |
| CTV | CABLE TV |
| SAN | SANITARY SEWER |
| FS | FORCE MAIN |
| ST | STORM SEWER |
| W | WATER MAIN |
| G | GAS |
| 670 | EXISTING CONTOUR |
| WET | WETLAND |
| FP | FLOODPLAIN |
| ⊕ | UNKNOWN MANHOLE |
| ⊕ | SANITARY MANHOLE |
| ⊕ | STORM MANHOLE |
| ⊕ | ELECTRIC MANHOLE |
| ⊕ | MMSD MANHOLE |
| ⊕ | TELEPHONE MANHOLE |
| ⊕ | CLEANOUT |
| ⊕ | CATCH BASIN |
| ⊕ | CATCH BASIN (ROUND) |
| ⊕ | ROOF DRAIN |
| ⊕ | CULVERT END |
| ⊕ | HYDRANT |
| ⊕ | WATER VALVE |
| ⊕ | GAS VALVE |
| ⊕ | GAS METER |
| ⊕ | ELECTRIC METER |
| ⊕ | UTILITY PEDESTAL |
| ⊕ | HANDHOLE |
| ⊕ | VENT |
| ⊕ | MONITORING WELL |
| ⊕ | IRON PIPE FOUND/SET |
| ⊕ | REBAR FOUND/SET |
| ⊕ | CHISELED CROSS FOUND/SET |
| ⊕ | PK NAIL FOUND/SET |
| ⊕ | SPIKE/NAIL |
| ⊕ | MONUMENT |
| ⊕ | BENCHMARK |
| ⊕ | SIGN |
| ⊕ | PARKING METER |
| ⊕ | FLAG POLE |
| ⊕ | DECIDUOUS TREE |
| ⊕ | CONIFEROUS TREE |
| ⊕ | BUSH |
| ⊕ | POST |
| ⊕ | SOIL BORING |
| ⊕ | TRAFFIC SIGNAL |
| ⊕ | LIGHT POLE |
| ⊕ | UTILITY POLE |
| ⊕ | GUY WIRE |
| ⊕ | GUY POLE |



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

MS STATUTE 182.07(2)(b)
REQUIRES 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

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REV. BY	
DATE	
REVISION DESCRIPTION	

ACE BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 16296 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-16296
PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

PROJECT INFORMATION:

SAUVE'S AUTO SERVICE
1421 WASHINGTON ST.
TWO RIVERS, WI 54241

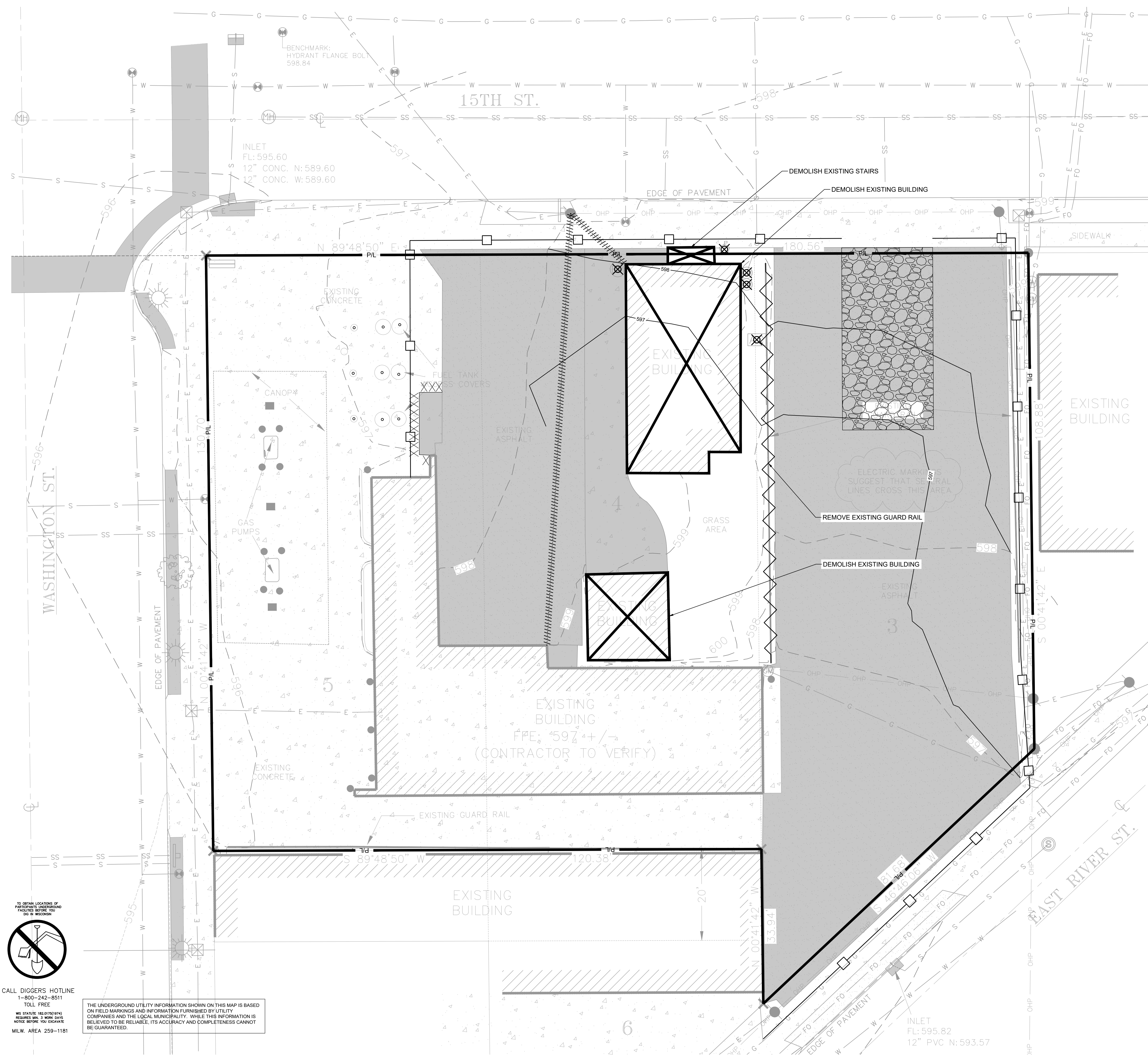
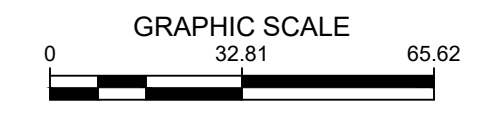
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SHEET INFORMATION	
A.C.E. JOB NO.	302/23
DATE:	8-15-24
DRAWN BY:	TLG
SCALE:	1" = 10'
SHEET	C000

SITE SURVEY

C000

DRAFT



GENERAL NOTES:

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3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

LEGEND:

- A C400 PROPOSED SEDIMENT LOG
- B C400 PROPOSED TRACKING PAD
- EXISTING CONTOUR
- PROPOSED CONTOUR
- UTILITY REMOVAL
- SAWCUT
- STRUCTURE REMOVAL
- REMOVE AND REPLACE EXISTING PAVEMENT

REV. BY	DATE	REVISION DESCRIPTION

ACE BUILDING SERVICE
 OUR REPUTATION IS OUR FOUNDATION
 P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

PROJECT INFORMATION:
SAUVE'S AUTO SERVICE
 1421 WASHINGTON ST.
 TWO RIVERS, WI 54241

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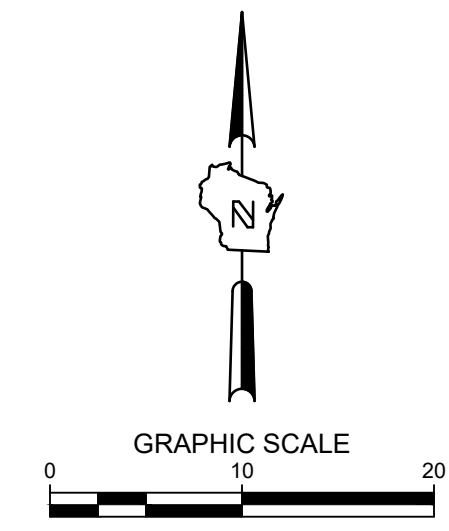
SHEET INFORMATION
 A.C.E. JOB NO. 302/23
 DATE: 8-15-24
 DRAWN BY: TLG
 SCALE: 1" = 10'
 SHEET **C100**



CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 WIS. STATUTE 182.07(2)(b) REQUIRES YOU TO MARK DATE NOTICE BEFORE YOU EXCAVATE MILW. AREA 259-1181

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SITE INFORMATION			
SITE AREA	23964	0.550 AC	
SITE DISTURBED AREA	14117	0.324 AC	
EXISTING IMPERVIOUS AREA	21896	0.503 AC	91.4 %
PROPOSED IMPERVIOUS AREA	23168	0.532 AC	96.7 %
TOTAL PARKING SPACES	18		
ADA PARKING SPACES	----		

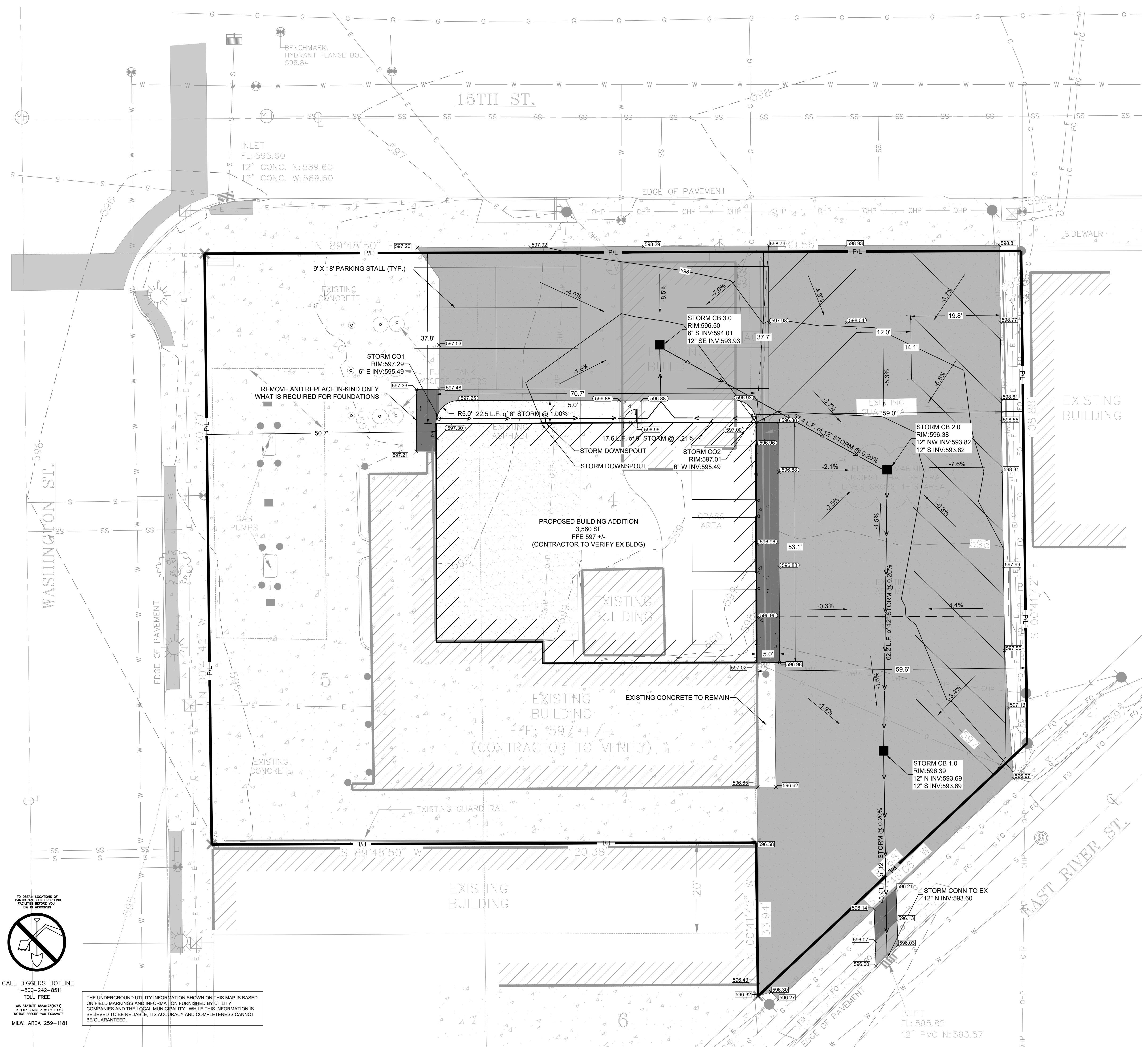


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3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
6. WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
7. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

LEGEND:

	C C400	5" THICK CONCRETE WALK
	D C400	CONCRETE PAVEMENT
	E C400	ASPHALT SURFACE
	- - -	EXISTING CONTOUR
	- - -	PROPOSED CONTOUR
	- - -	PROPOSED GRADE BREAK
	x	PROPOSED SURFACE SPOT GRADE
	x	EXISTING SURFACE SPOT GRADE (MATCH)
	- - -	PROPOSED STORM SEWER
	F C400	PROPOSED STORM INLET



TO OBTAIN LOCATIONS OF PAVEMENT UNDERGROUND FACILITIES BEFORE YOU DIG OR EXCAVATE

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

MS STATUTE 182.07(2)(b)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

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REV. BY	DATE	REVISION DESCRIPTION

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SHEET INFORMATION

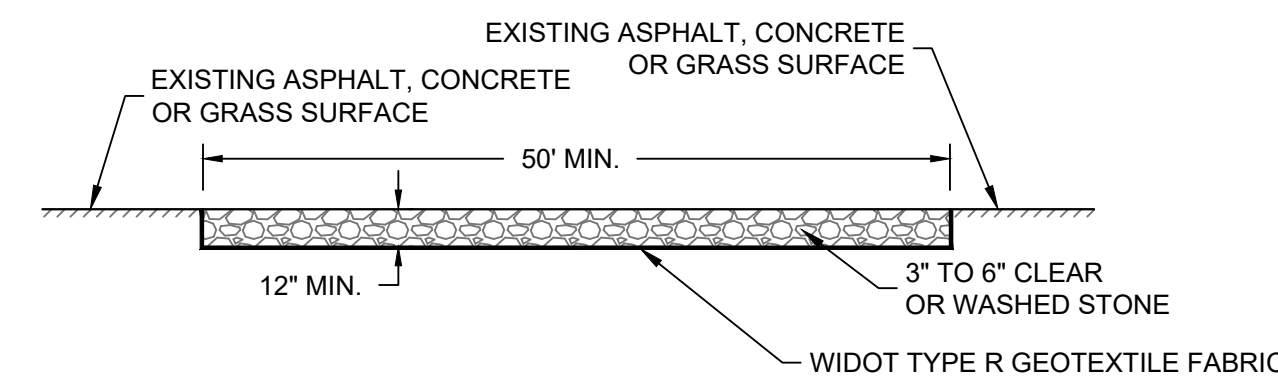
A.C.E. JOB NO.	302/23
DATE:	8-15-24
DRAWN BY:	TLG
SCALE:	1" = 10'

EROSION CONTROL NOTES:

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
- SITE DEWATERING, WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- TRACKING. EACH SITE SHALL HAVE GRAVELEDED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE MUNICIPALITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY MUNICIPALITY OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
- NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
- OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
- REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
- WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
- CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
- PERMANENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
- IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY.

CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCING.
- INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
- DEMOLISH EXISTING STRUCTURES AS NOTED ON PLAN.
- STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE.
- PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. PER WDNR TECHNICAL STANDARD 1059: AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
- PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING.
- INSTALL PAVEMENTS.
- STABILIZE REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
- REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

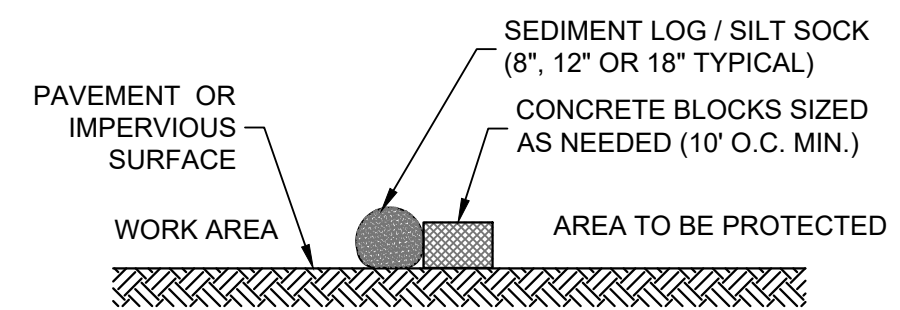


GENERAL NOTE:

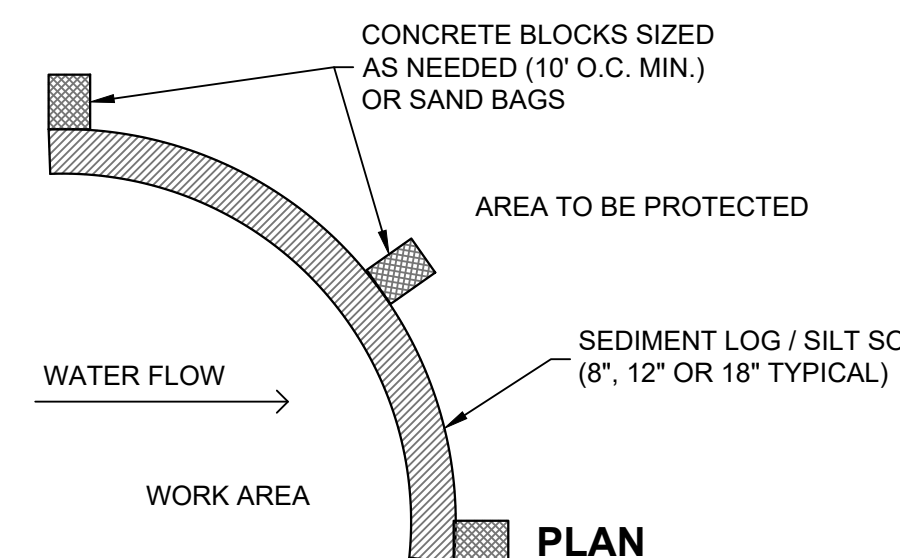
- STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057
- AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD

A CONSTRUCTION ENTRANCE - WDNR TS-1057

SCALE: NTS



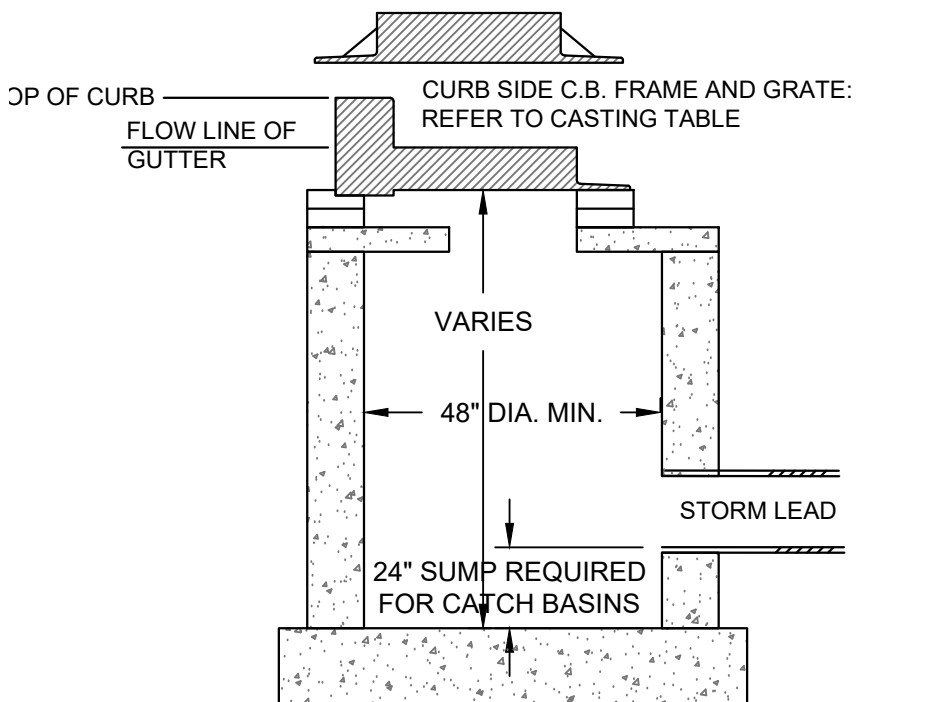
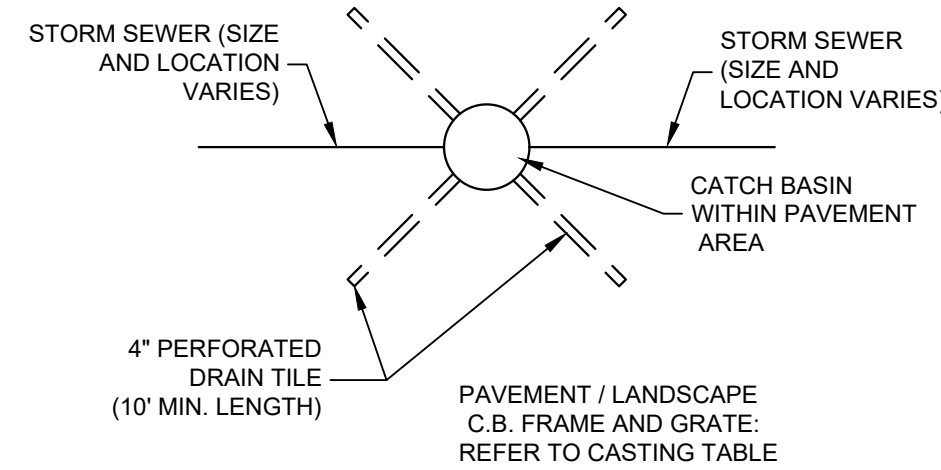
SECTION



B SEDIMENT LOG - SILT SOCK ON PAVEMENT

SCALE: NTS

CATCH BASIN WITHIN LOW POINT OF PAVEMENT AREA

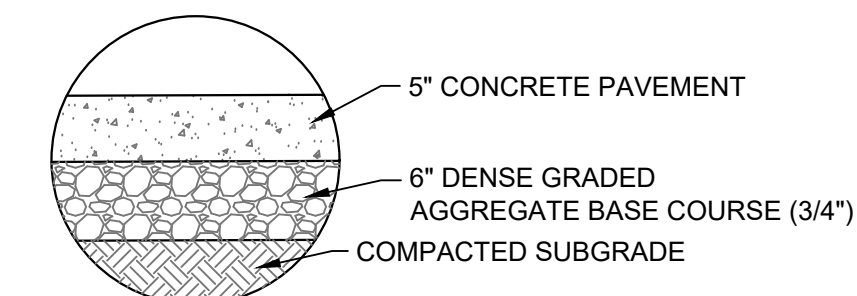


NOTES:

- ADJUST FRAME TO GRADE WITH CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT = 8". MINIMUM RING HEIGHT = 2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING.
- CONCRETE AND REINFORCEMENT STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION C-478.
- 3" MIN. BEDDING OF STONE UNDER BASE REQUIRED. ADDITIONAL BEDDING STONE MAY BE REQUIRED ON WET SUB-GRADE.
- UNLESS NOTED ON THE PLANS CONTRACTOR IS RESPONSIBLE FOR ALL CATCH BASIN SIZING AND SHALL PROVIDE A SHOP DRAWING TO THE SIGMA GROUP, INC. BEFORE THEY ARE RELEASED FOR PRODUCTION.

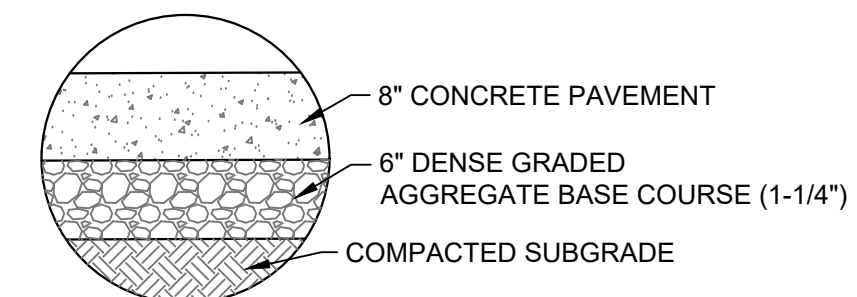
F INLET AND CATCH BASIN

SCALE: NTS



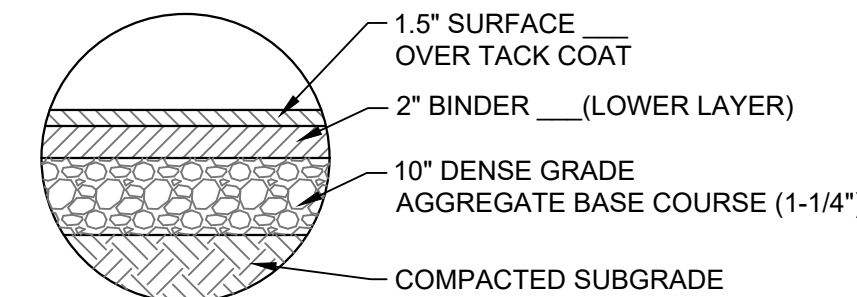
C CONCRETE SIDEWALK SECTION

SCALE: NTS



D CONCRETE PAVEMENT SECTION

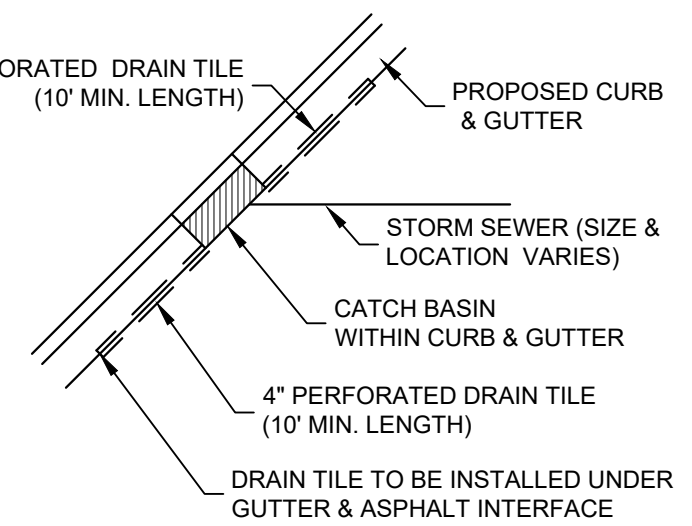
SCALE: NTS



E ASPHALT PAVEMENT SECTION

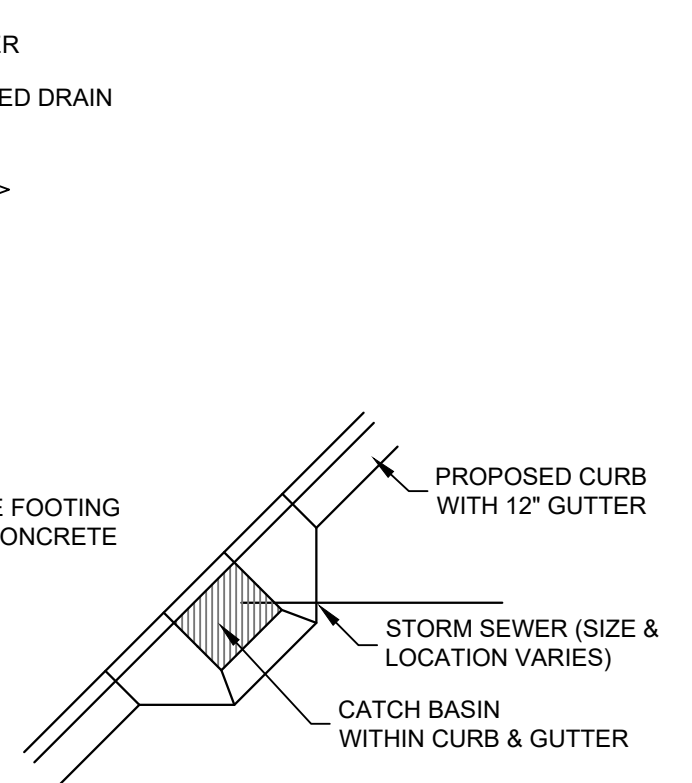
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NOTE:
DRAIN TILE SHALL HAVE TWO (2) SEGMENTS POSITIONED ALONG THE GUTTER & ASPHALT INTERFACE.

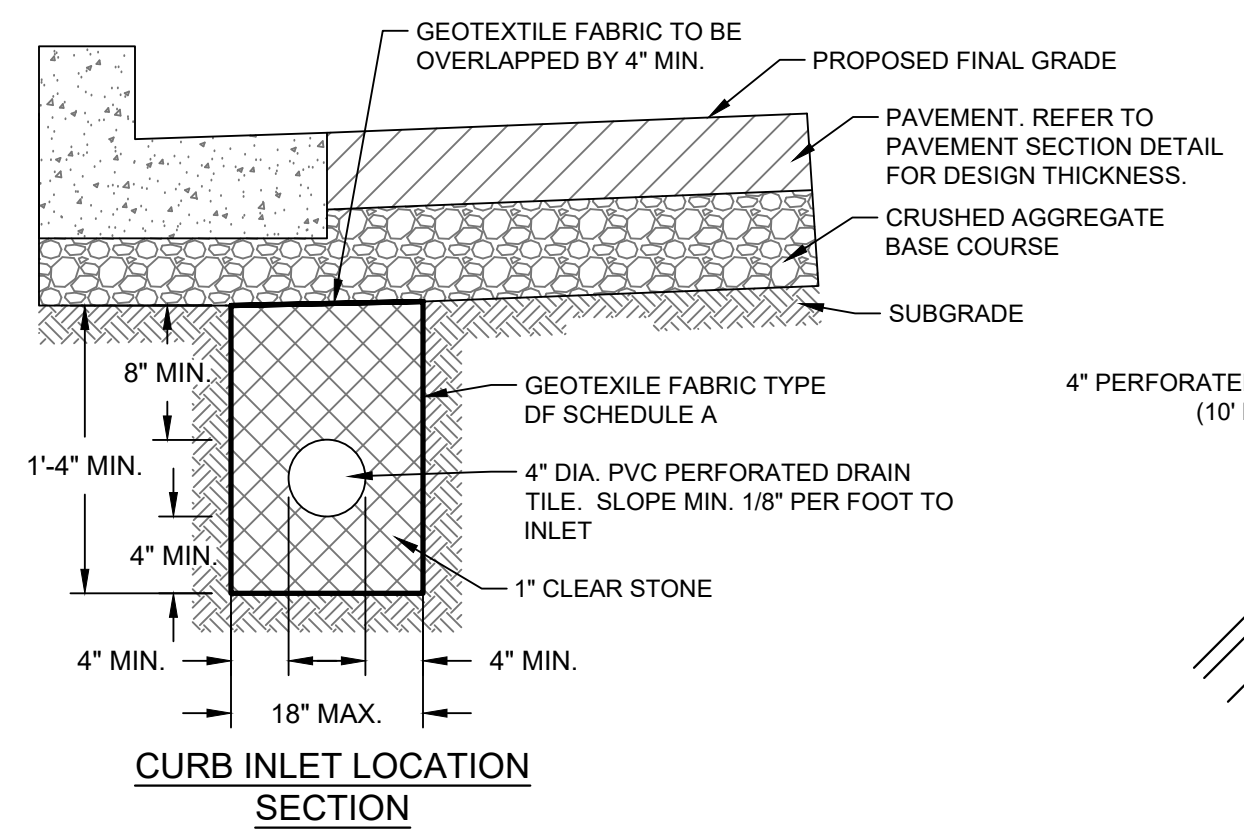


CURB INLET WITHIN CURB & GUTTER

PLAN

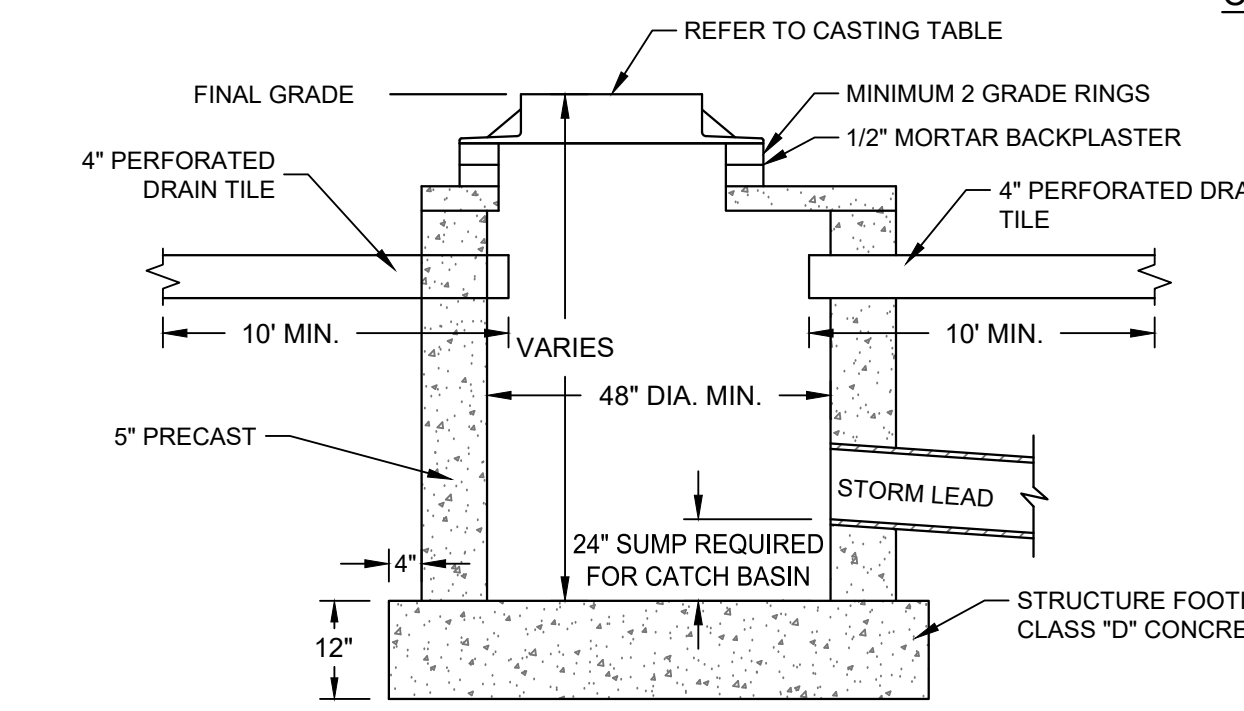


CONCRETE BUMP OUT TO BE APPLIED FOR 12\"/>



CURB INLET LOCATION

SECTION



CATCH BASIN / INLET CASTING TABLE

	IF 18" CURB & GUTTER		IF 24" CURB & GUTTER		IF 30" CURB AND GUTTER	
	CASTING	GRATE	CASTING	GRATE	CASTING	GRATE
CURB INLET	NEENAH R-3007	A	NEENAH R-3007	A	NEENAH R-3228H	C
AREA INLET	NEENAH R-2050	C				

Section 3, Item D.

ACE BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 16296 • 3510 SOUTH 26TH STREET • MANITOWIC, WISCONSIN • 54221-16296
PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

PROJECT INFORMATION:
SAUVE'S AUTO SERVICE
1421 WASHINGTON ST.
TWO RIVERS, WI 54241

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

SHEET INFORMATION
A.C.E. JOB NO. 302/23
DATE: 8-15-24
DRAWN BY: TLG
SCALE:
SHEET

C400

DRAFT

GENERAL:

- 1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS.
2. CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS.

SITE CLEARING:

- 1. EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY.
2. MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
3. SALVAGE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES.
4. UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE SITE CLEARING.
5. DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE.
6. PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION.
7. LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED.
8. PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
9. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED.
10. EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY THE OWNER.
11. FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL.
12. REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL.
13. STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL.
14. STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL.
15. REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
16. SAWCUT ALL PAVEMENTS FULL DEPTH PRIOR TO REMOVAL.
17. REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS.
18. SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS.

STORM DRAINAGE:

- 1. ALL PRIVATE STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
2. ALL PUBLIC STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
3. PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS.
4. REINFORCED CONCRETE PIPE: ASTM C76 WITH BELL AND SPIGOT ENDS AND GASKETED JOINTS WITH ASTM C443 RUBBER GASKETS.
5. HDPE PIPE: ADS N12 PIPE AS APPROVED ON THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCT REGISTER.
6. CATCH BASINS: STANDARD PRECAST CONCRETE CATCH BASINS CONFORMING TO CHAPTER 3.6.0 OF THE STANDARD SPECIFICATIONS.
7. FRAMES AND GRATES: AS INDICATED ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SPECIFIED FRAME/GRATE IS COMPATIBLE WITH STRUCTURE.
8. MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478.
9. MANHOLES AND CATCH BASINS DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.4.0 OF THE STANDARD SPECIFICATIONS.
10. SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS.
11. PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35.
12. CLASS B COMPACTED TRENCH SECTION (FILE NO. NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED.
13. TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF THE STANDARD SPECIFICATIONS.
14. MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS.
15. CATCH BASIN INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.6 OF THE STANDARD SPECIFICATIONS.
16. AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED.

EARTH MOVING:

- 1. ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
2. CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES.
3. CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES.
4. OLD BUILDING FOUNDATIONS, BUILDING REMNANTS OR UNSUITABLE BACKFILL MATERIAL SHALL BE COMPLETELY REMOVED.
5. FOUNDATIONS, FOUNDATION WALLS OR CONCRETE FLOOR SLABS SHALL BE REMOVED TO A MINIMUM OF TWO FEET BELOW PROPOSED SUBGRADE.
6. SATISFACTORY SOILS FOR FILL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM.
7. UNSATISFACTORY SOILS FOR FILL: SOIL CLASSIFICATION GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT.
8. AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE.
9. ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND.
10. BEDDING COURSE FOR SEWERS AND WATER SERVICE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND.
11. DRAINAGE COURSE BENEATH BUILDING SLABS: NARROWLY GRADED MIXTURE OF WASHED, CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL.
12. TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF THE STANDARD SPECIFICATIONS.
13. PIPE COVER MATERIAL: CONFORM TO SECTION 8.4.3.3 OF THE STANDARD SPECIFICATIONS.
14. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS.
15. SHORING, SHEETING AND BRACING: SHORE, BRACE OR SLOPE BANKS OF EXCAVATION TO PROTECT WORKMEN.
16. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS.
17. PROOF-ROLL SUBGRADE BELOW THE BUILDING SLABS AND PAVEMENTS WITH FULLY LOADED TANDEN AXLE DUMP TRUCK.
18. DUE TO CLAYEY SOILS, IF UNDERCUTS OCCUR WITHIN PAVEMENT AREAS AND THEY ARE BACKFILLED WITH GRANULAR SOILS.
19. CONVENTIONAL DISKING AND AERATION TECHNIQUES SHALL BE USED TO DRY SOILS BEFORE PROOF ROLLING.
20. ENGINEERED FILL SHALL BE PLACED IN MAXIMUM LIFTS OF EIGHT INCHES OF LOOSE MATERIAL.
21. EXISTING OLD FILL MATERIAL SHALL BE REMOVED BELOW FOOTINGS OR FOUNDATION SUPPORTING FILL.
22. WHERE UNSUITABLE BEARING SOILS ARE ENCOUNTERED IN A FOOTING EXCAVATION.
23. A MINIMUM OF FOUR INCHES OF DRAINAGE COURSE MAT SHALL BE PLACED BELOW BUILDING FLOOR SLABS.
24. UTILITY TRENCHES FOR SEWER AND WATER SHALL CONFORM TO CLASS B COMPACTED TRENCH SECTION IN ACCORDANCE WITH FILE NO. 4 OF THE STANDARD SPECIFICATIONS.
25. BACKFILL UTILITY TRENCHES IN 4 TO 6 INCH LOOSE LIFTS COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
26. UTILITY BEDDING PLACEMENT: CONFORM TO SECTION 3.2.6 OF THE STANDARD SPECIFICATIONS.
27. COMPACTION TESTING OF UTILITY TRENCHES SHALL BE PERFORMED ONE FOR EVERY 200 CUBIC YARDS OF BACKFILL.
28. AGGREGATE BASE COURSE BENEATH PAVEMENTS SHALL BE PLACED AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
29. GRADING GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE.
30. TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY.
31. FOOTING SUBGRADE TESTING: EACH ISOLATED FOOTING SHALL INCLUDE AT LEAST ONE TEST PROBE.
32. BUILDING SLAB AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER.
33. PAVEMENT AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER.
34. FOUNDATION WALL BACKFILL: AT EACH COMPACTED BACKFILL LAYER.
35. WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED.

CONCRETE PAVING:

- 1. THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, 601, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS.
2. CONTRACTOR LATEST PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER OF READY-MIXED CONCRETE PRODUCTS WHO COMPLIES WITH ASTM C 94/C 94M REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT.
4. CONCRETE GRADE: GRADE A, GRADE A-2, OR A-FA CONFORMING TO SECTION 501.3.1.3 OF THE WISDOT STANDARD SPECIFICATIONS.
5. AGGREGATES: CONFORM TO SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
6. WATER: ASTM C 94/C 94M AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
7. AIR-ENTRAINING ADMIXTURE: ASTM C 260 AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
8. CHEMICAL ADMIXTURES: PER SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
9. CURING MATERIALS IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
10. EXPANSION JOINT MATERIAL: CONFORM TO SECTION 415.2.3 OF THE WISDOT STANDARD SPECIFICATIONS.
11. MEASURE, BATCH, AND MIX CONCRETE MATERIALS AND CONCRETE IN ACCORDANCE WITH SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
12. GENERAL EXECUTION: CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS.
13. PROOFROLL SUBGRADE AND AGGREGATE BASE AS OUTLINED IN EARTH MOVING SPECIFICATION PRIOR TO PLACEMENT OF PAVEMENTS.
14. SET, BRACE, AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND ELEVATIONS.
15. CLEAN FORMS AFTER EACH USE AND COAT WITH FORM-RELEASE AGENT TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE.
16. JOINTS GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDGINGS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE.
17. CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVEMENT AND AT LOCATIONS WHERE PAVEMENT OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR.
18. ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALKS, OTHER FIXED OBJECTS, AND WHERE INDICATED.
19. CONTRACTION JOINTS: FORM WEAKENED-PLANE CONTRACTION JOINTS. SECTIONING CONCRETE INTO AREAS AS INDICATED.
20. EDGING: TOOL EDGES OF PAVEMENT, GUTTERS, CURBS, AND JOINTS IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL.
21. CURBING: COMPLY WITH SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS.
22. SIDEWALKS: COMPLY WITH SECTION 602 OF THE WISDOT STANDARD SPECIFICATIONS.
23. MOISTEN AGGREGATE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED.
24. FINISH CURBING IN ACCORDANCE WITH SECTION 601.3.5 OF THE WISDOT STANDARD SPECIFICATIONS.
25. FINISH SIDEWALK AND PATIO IN ACCORDANCE WITH SECTION 602.3.2.3 OF THE WISDOT STANDARD SPECIFICATIONS.
26. FINISH CONCRETE VEHICULAR PAVEMENTS AND PADS IN ACCORDANCE WITH SECTION 415.3.8 OF THE WISDOT STANDARD SPECIFICATIONS.
27. PROTECT AND CURE SIDEWALK IN ACCORDANCE WITH SECTION 602.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
28. PROTECT AND CURE CURBING IN ACCORDANCE WITH SECTION 601.3.7 OF THE WISDOT STANDARD SPECIFICATIONS.
29. PROTECT AND CURE VEHICULAR CONCRETE PAVING IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
30. REMOVE AND REPLACE CONCRETE PAVEMENT THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS IN THIS SECTION.
31. PROTECT CONCRETE FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST 7 DAYS AFTER PLACEMENT.
32. MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL.

ASPHALTIC PAVING:

- 1. THE COMPOSITION, PLACING AND CONSTRUCTION OF ASPHALTIC PAVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, 465, AND 475 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS.
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER SHALL BE REGISTERED WITH AND APPROVED BY THE DOT OF THE STATE IN WHICH PROJECT IS LOCATED.
4. ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF BASE COURSE IS WET OR EXCESSIVELY DAMP OR IF THE FOLLOWING CONDITIONS ARE NOT MET.
5. ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH CHAPTER 455 OF THE WISDOT STANDARD SPECIFICATIONS.
6. PAVEMENT MARKING PAINT: PROVIDE PAINT FROM THE WISCONSIN DEPARTMENT OF TRANSPORTATION'S APPROVED PRODUCTS LIST.
7. HOT-MIX ASPHALT: ASPHALTIC BINDER COURSE AND SURFACE COURSE SHALL BE MIXTURE LT FOR REGULAR DUTY PAVEMENT AND LT FOR HEAVY DUTY PAVEMENT.
8. AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE.
9. PAVEMENT PLACEMENT GENERAL: ASPHALT CONCRETE PAVING EQUIPMENT, WEATHER LIMITATIONS, JOB-MIX FORMULA, MIXING, CONSTRUCTION METHODS, COMPACTION, FINISHING, TOLERANCE AND PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE SECTIONS.
10. PREPARE AND PROOFROLL SUBGRADES AND AGGREGATE BASE COURSE AS OUTLINED IN EARTH MOVING SPECIFICATIONS.
11. SWEEP LOOSE GRANULAR PARTICLES FROM SURFACE OF AGGREGATE BASE COURSE PRIOR TO PAVEMENT PLACEMENT.
12. SPREAD AND FINISH ASPHALTIC MIXTURE IN ACCORDANCE WITH SECTION 450.3.2.5 OF THE WISDOT STANDARD SPECIFICATIONS.
13. PROMPTLY CORRECT SURFACE IRREGULARITIES IN PAVING COURSE BEHIND PAVER.
14. COMPACT ASPHALTIC PAVEMENT IN ACCORDANCE WITH SECTION 450.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
15. PROTECTION: AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED.
16. THICKNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4 INCH FOR BINDER COURSE AND PLUS 1/4 INCH FOR SURFACE COURSE.
17. SURFACE SMOOTHNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE A SURFACE SMOOTHNESS WITHIN THE FOLLOWING TOLERANCES.
18. DO NOT APPLY PAVEMENT-MARKING PAINT UNTIL LAYOUT, COLORS, AND PLACEMENT HAVE BEEN VERIFIED WITH ENGINEER.
19. APPLY MARKINGS TO A DRY SURFACE FREE FROM FROST. REMOVE DUST, DIRT, OIL, GREASE, GRAVEL, DEBRIS OR OTHER MATERIAL THAT MAY PREVENT BONDING TO THE PAVEMENT.
20. APPLY PAINT AS THE MANUFACTURER SPECIFIES WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS.
21. TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS AND TO PREPARE TEST REPORTS.

Table with 4 columns: REV, BY, DATE, DESCRIPTION. Includes revision history for the document.

ACE BUILDING SERVICE logo and contact information: P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWIC, WISCONSIN • 54221-1626. PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

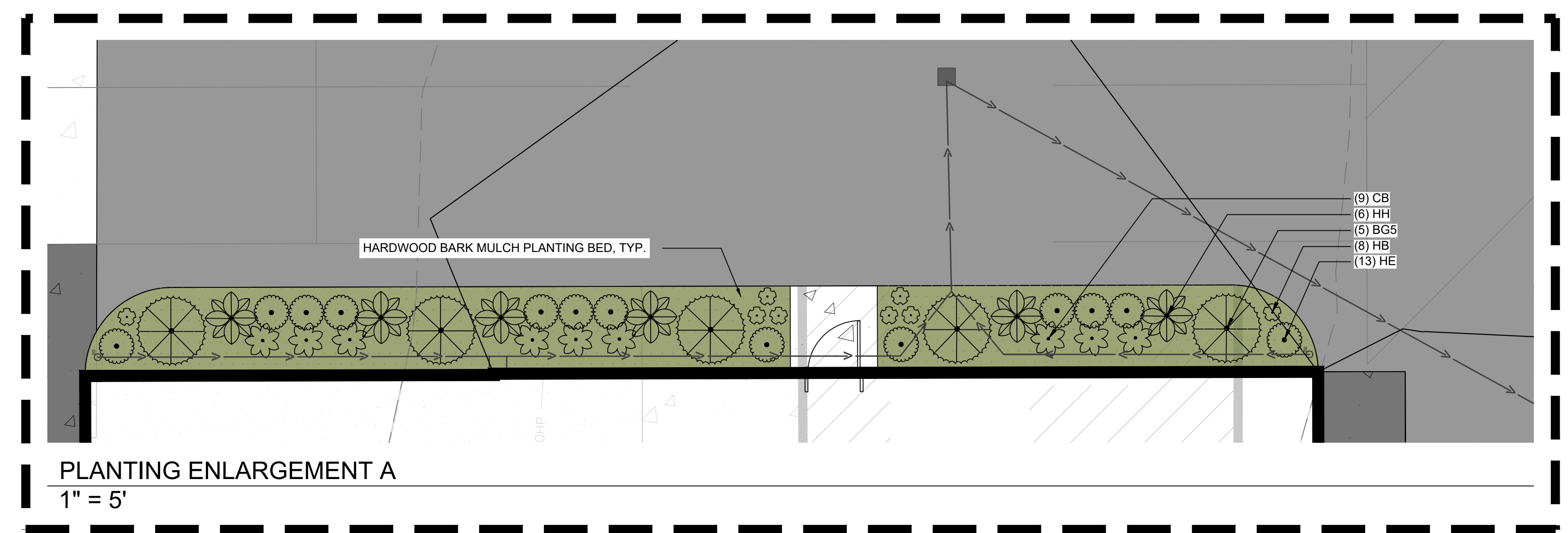
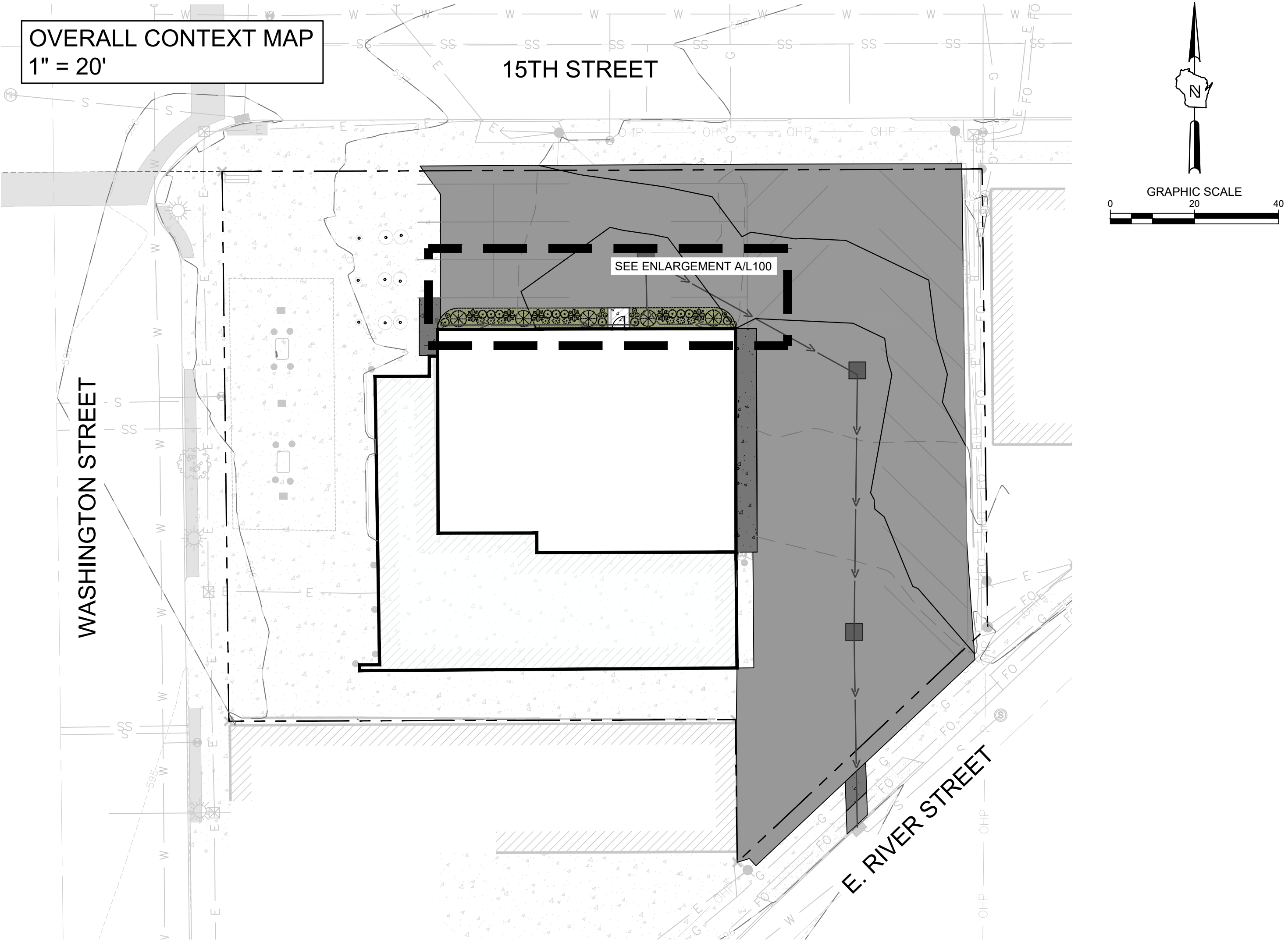
PROJECT INFORMATION: SAUVE'S AUTO SERVICE, 1421 WASHINGTON ST., TWO RIVERS, WI 54241

SHEET INFORMATION: A.C.E. JOB NO. 302/23, DATE: 8-15-24, DRAWN BY: TLG, SCALE: SHEET

C500 59

SPECIFICATIONS

23094 JRC:CHIC C500



LANDSCAPE LEGEND:

- HARDWOOD BARK MULCH PLANT BED
- PROPERTY LINE
- SHEET MATCHLINE

PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	
EVERGREEN SHRUBS						
	BG5	Buxus x 'Green Mountain' / Green Mountain Boxwood	3 gal.	Cont.	5	
ORNAMENTAL GRASSES						
	CB	Calamagrostis brachytricha / Korean Feather Reed Grass	1 gal.	Cont.	9	
PERENNIALS						
	HE	Heuchera x 'TNHEUFR' / Forever® Red Coral Bells	1 gal.	Cont.	13	
	HB	Hosta x 'Blue Mouse Ears' / Blue Mouse Ears Hosta	1 gal.	Cont.	8	
	HH	Hosta x 'Halcyon' / Halcyon Hosta	1 gal.	Cont.	6	

- LANDSCAPE GENERAL NOTES:**
- VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
 - INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
 - COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
 - RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
 - PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.

TO OBTAIN LOCATIONS OF FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WI STATUTE 102.07(1)(b) REQUIRES AN 8 WORK DAYS NOTICE BEFORE YOU DIG/DATE
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.


REVISION DESCRIPTION	DATE	REV. BY

ACE BUILDING SERVICE
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SAUVE'S AUTO SERVICE
1421 WASHINGTON ST.
TWO RIVERS, WI 54241

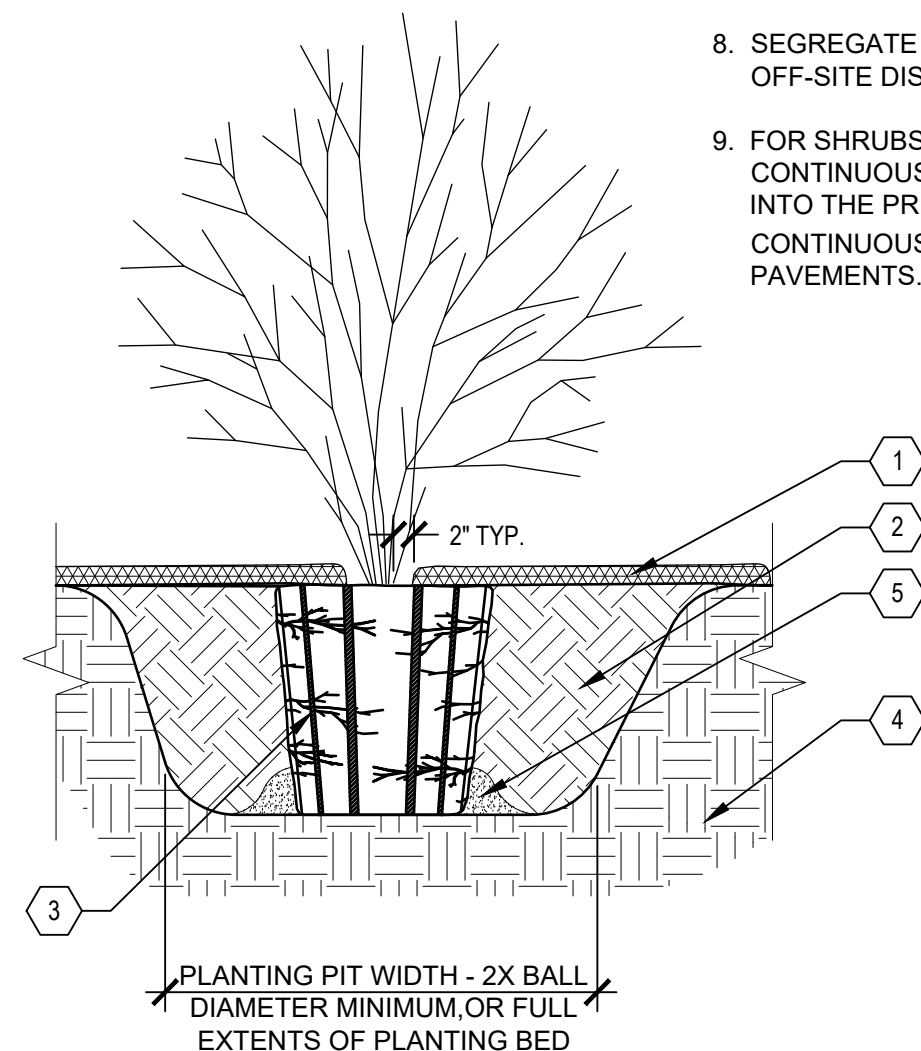
SHEET INFORMATION

A.C.E. JOB NO.	302/23
DATE:	8-26-24
DRAWN BY:	HLV
SCALE:	1" = 5'
SHEET	L100

REV. BY		Section 3, Item D.
DATE		
REVISION DESCRIPTION		
 OUR REPUTATION IS OUR FOUNDATION P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM		
PROJECT INFORMATION: SAUVE'S AUTO SERVICE 1421 WASHINGTON ST. TWO RIVERS, WI 54241		
THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.		
SHEET INFORMATION A.C.E. JOB NO. 302/23 DATE: 8-26-24 DRAWN BY: HLY SCALE: SHEET		
<h2>L200</h2>		

NOTES:

1. MAKE 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND THE CIRCUMFERENCE OF THE ROOT BALL BEFORE PLANTING TO LOOSEN POT-BOUND ROOTS.
2. PLANT EACH SHRUB SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
4. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
5. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
6. WATER ALL PLANTS WITHIN 2 HOURS OF INSTALLATION.
7. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY BRANCHES. DO NOT REMOVE MORE THAN 1/2 OF THE ORIGINAL PLANT MASS.
8. SEGREGATE ANY SOIL FROM BELOW WARNING LAYER EXCAVATED DURING PLANTING FOR OFF-SITE DISPOSAL. COORDINATE DISPOSAL WITH ENVIRONMENTAL CONSULTANT.
9. FOR SHRUBS PLANTED WITHIN PLANTING BEDS, CONTRACTOR SHALL PROVIDE PLANTING SOIL CONTINUOUSLY FOR THE ENTIRE PLANTING BED AND INDIVIDUAL SHRUBS SHALL BE PLANTED INTO THE PREPARED PLANTING SOIL. MULCH SURFACE FOR PLANTING BEDS SHALL ALSO BE CONTINUOUS ACROSS THE ENTIRE SURFACE AND HELD 1/2" MIN. TO 1" MAX. BELOW ADJACENT PAVEMENTS.



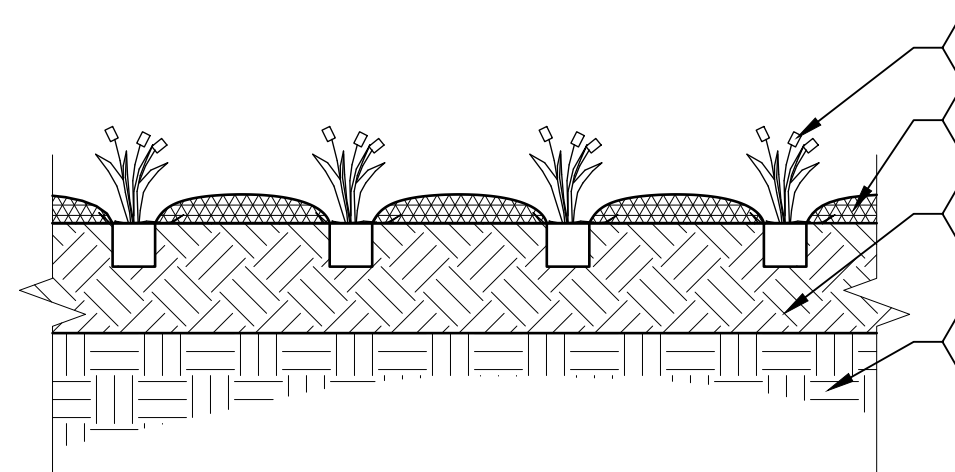
KEYED LEGEND

- 1 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED. KEEP 2" CLEAR OF STEMS
- 2 PLANTING SOIL AS SPECIFIED. PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
- 3 1" TO 2" DEEP VERTICAL CUTS EVERY 6" AROUND PERIMETER
- 4 PREPARED SUBGRADE
- 5 TAMP SOIL AROUND BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT BALL DOES NOT SHIFT

A TYPICAL SHRUB PLANTING
SCALE: N.T.S.

NOTES:

1. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. PLANTING HOLE MUST NOT BE DEEPER THAN THE HEIGHT OF THE ROOT BALL.
3. DO NOT PLACE MULCH IN CONTACT WITH STEMS.
4. WATER ALL PLANTS THOROUGHLY WITHIN 2 HOURS OF INSTALLATION.
5. PRUNE ONLY AS NECESSARY TO REMOVE UNHEALTHY OR DEAD PLANT PARTS. DO NOT REMOVE MORE THAN 1/2 OF THE ORIGINAL PLANT MASS.
6. FOR PLANTS PLANTED WITHIN PLANTING BEDS, CONTRACTOR SHALL PROVIDE PLANTING SOIL CONTINUOUSLY FOR THE ENTIRE PLANTING BED AND INDIVIDUAL SHRUBS SHALL BE PLANTED INTO THE PREPARED PLANTING SOIL. MULCH SURFACE FOR PLANTING BEDS SHALL ALSO BE CONTINUOUS ACROSS THE ENTIRE SURFACE AND HELD 1/2" MIN. TO 1" MAX. BELOW ADJACENT PAVEMENTS.



KEYED LEGEND

- 1 PERENNIAL, ORNAMENTAL GRASS, OR GROUNDCOVER PLUG, SEE LANDSCAPE PLAN SHEETS L100-L103
- 2 3" DEPTH TWICE-SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE INDICATED. KEEP 3" CLEAR OF STEMS
- 3 PLANTING SOIL. PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE ENTIRE AREA OF ANY GIVEN PLANT BED
- 4 PREPARED SUBGRADE

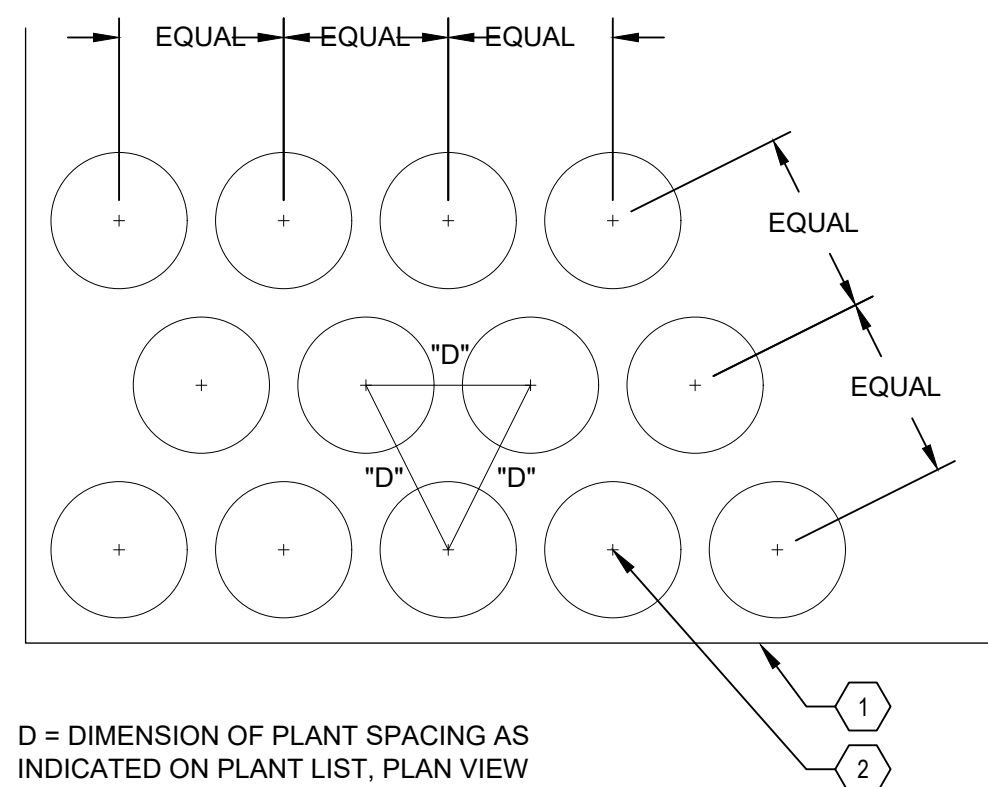
B TYPICAL PERENNIAL & ORNAMENTAL GRASS PLANTING
SCALE: N.T.S.

NOTES

1. SET FINISH GRADE OF PLANTING AREA 2" BELOW FINISH SURFACE OF PAVING, CURB, OR HEADER
2. SEE PLANTING SCHEDULE FOR SPACING OF ALL SHRUBS AND GROUNDCOVERS
3. ALL SHRUBS / GROUNDCOVER TO BE PLANTED AT EQUAL SPACING (TRIANGULAR) UNLESS OTHERWISE INDICATED ON PLANS.
4. TO DETERMINE APPROPRIATE PLANT QUANTITIES REFER TO THE PLANTING SCHEDULE OR PLAN.

KEYED LEGEND

- 1 EDGE OF ADJACENT PAVEMENT
- 2 SHRUB, PERENNIAL OR ORNAMENTAL GRASS PLANT CENTER LOCATION



D = DIMENSION OF PLANT SPACING AS INDICATED ON PLANT LIST, PLAN VIEW

C TYPICAL PLANT SPACING
SCALE: N.T.S.

PLANTING QUALITY ASSURANCE

1. PLANTS ARE TO BE INSPECTED UPON DELIVERY TO PROJECT SITE AND THE LANDSCAPE ARCHITECT OR OWNER'S PROJECT REPRESENTATIVE MAY REJECT ANY SPECIMENS NO LONGER MEETING THE SPECIFIED STANDARDS OR THAT HAVE BEEN DAMAGED IN TRANSIT.
2. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY/HYBRID/CULTIVAR SPECIFIED, AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE SITE LOCATION. SPECIMENS NURSERY-DUG TO BE REPLANTED SHALL HAVE BEEN FRESHLY DUG AND PROPERLY PREPARED FOR PLANTING.
3. TREES:
 - 3.1. SHALL BE TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY. TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED OTHERWISE, AND SHRUBS WITH DAMAGED OR CUT MAINSTEM(S), WILL BE REJECTED.
 - 3.2. WITH A DAMAGED, CUT OR CROOKED LEADER, ABRASION OF BARK, SUNSCALD, FROST CRACK, DISFIGURING KNOTS, INSECTS (INCLUDING EGGS AND LARVAE) OR INSECT DAMAGE, CANKERS/CANKEROUS LESIONS OR FUNGAL MATS, MOLD, PREMATURELY-OPENED BUDS, OR CUTS OF LIMBS OVER 1/4" DIAMETER THAT ARE NOT COMPLETELY CALLOSED WILL BE REJECTED.
 - 3.3. SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS, AND BE FREE FROM PHYSICAL DAMAGE OR OTHER HINDRANCES TO HEALTHY GROWTH.
 - 3.4. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF A DIAMETER NOT LESS THAN THAT RECOMMENDED BY THE AMERICAN STANDARDS FOR NURSERY STOCK, AND OF SUFFICIENT DEPTH TO INCLUDE BOTH FIBROUS AND FEEDING ROOTS. BALLS SHALL BE SECURELY WRAPPED WITH BURLAP, AND TIGHTLY BOUND WITH ROPE OR TWINE. NO PLANTS SHALL BE BOUND WITH ROPE OR WIRE IN SUCH A MANNER AS TO DAMAGE BARK OR BREAK BRANCHES. THE ROOT FLARE SHOULD BE WITHIN THE TOP 2" OF THE SOIL BALL. BALLED AND BURLAPPED PLANTS WILL NOT BE ACCEPTED IF THE BALL IS DRY, CRACKED, OR BROKEN BEFORE OR DURING PLANTING.
4. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED WITHIN THE PLANT SCHEDULE.

PLANTING PROJECT CONDITIONS:

1. VERIFY SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
2. INTERRUPTION OF EXISTING SERVICES OR UTILITIES; DO NOT INTERRUPT SERVICES OR UTILITIES UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY SERVICES OR UTILITIES ACCORDING TO REQUIREMENTS INDICATED:
 - 2.1. NOTIFY OWNER'S PROJECT REPRESENTATIVE NO FEWER THAN TWO DAYS IN ADVANCE OF PROPOSED INTERRUPTION OF EACH SERVICE OR UTILITY.
 - 2.2. DO NOT PROCEED WITH INTERRUPTION OF SERVICES OR UTILITIES WITHOUT REPRESENTATIVE'S WRITTEN PERMISSION.
3. PLANTING RESTRICTIONS: PLANTING SHALL OCCUR DURING THE FOLLOWING ACCEPTABLE INSTALLATION PERIODS:
 - 3.1. DECIDUOUS TREES AND SHRUBS - APRIL 15 TO OCTOBER 15.
 - 3.2. NATIVE SEEDING AND TURFGRASS: APRIL 15 - OCTOBER 15
4. WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED. APPLY PRODUCTS DURING FAVORABLE WEATHER CONDITIONS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND WARRANTY REQUIREMENTS.
5. CONTRACTOR SHALL PROTECT ALL EXISTING AND/OR NEWLY INSTALLED PLANTS, LAWNS, AND GRASS AREAS FROM DAMAGE AT ALL TIMES. DAMAGED PLANTS, LAWNS OR GRASS AREAS SHALL BE REPLACED OR TREATED AS REQUIRED TO CONFORM TO SPECIFICATIONS HEREIN FOR FRESH STOCK. WORK AREA SHALL BE KEPT CLEAN AND ORDERLY DURING THE INSTALLATION PERIOD. UNDER NO CONDITION SHALL DEBRIS FROM PLANTING ACTIVITIES RESULT IN A SAFETY HAZARD ON-SITE OR ADJACENT OFF-SITE PROPERTY. DAMAGE TO SITE IMPROVEMENTS OR ADJACENT LANDSCAPES INCURRED AS A RESULT OF PLANTING OR REPLACEMENT OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR THAT CAUSES THE DAMAGE AT NO COST TO THE OWNER.
6. EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
 - 6.1. VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, OR ACID HAS BEEN DEPOSITED IN SOIL WITHIN PLANTING AREAS.
 - 6.2. DO NOT MIX OR PLACE SOILS IN FROZEN, WET, OR MUDDY CONDITIONS.

PLANTING DELIVERY, STORAGE, & HANDLING:

1. BULK MATERIALS:
 - 1.1. DO NOT DUMP OR STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, WALKWAYS AND PAVEMENTS, OR ON EXISTING TURF AREAS OR PLANTS.
2. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING.
3. HANDLE PLANTING STOCK BY ROOT BALL.
4. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS AND TREES IN SHADED LOCATION, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
 - 4.1. SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE MATERIAL.
 - 4.2. WATER ROOT SYSTEMS OF PLANTS STORED ON-SITE DEEPLY AND THOROUGHLY WITH A FINE-MIST SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST, BUT NOT OVERLY WET CONDITION.

EXCAVATION FOR SHRUBS

1. EXCAVATE CIRCULAR PLANTING PITS AS INDICATED IN DRAWINGS. TRIM PERIMETER OF BOTTOM LEAVING CENTER AREA OF BOTTOM RAISED SLIGHTLY TO SUPPORT ROOT BALL AND ASSIST IN DRAINAGE AWAY FROM CENTER. DO NOT FURTHER DISTURB BASE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF PLANTING PIT SMOOED OR SMOOTHED DURING EXCAVATION.
 - 1.1. EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR BALLED AND BURLAPPED STOCK.
 - 1.2. DO NOT EXCAVATE DEEPER THAN DEPTH OF THE ROOT BALL, MEASURED FROM THE ROOT FLARE TO THE BOTTOM OF THE ROOT BALL.
 - 1.3. IF AREA UNDER THE PLANT WAS INITIALLY DUG TOO DEEP, ADD SOIL TO RAISE IT TO CORRECT LEVEL AND THOROUGHLY TAMP THE ADDED SOIL TO PREVENT SETTLING.
 - 1.4. MAINTAIN REQUIRED ANGLES OF REPOSE OF ADJACENT MATERIALS AS SHOWN IN DRAWINGS. DO NOT EXCAVATE SUBGRADES OF ADJACENT PAVING, STRUCTURES, HARDSCAPES, OR OTHER NEW OR EXISTING IMPROVEMENTS.
 - 1.5. MAINTAIN SUPERVISION OF EXCAVATIONS DURING WORKING HOURS.
 - 1.6. KEEP EXCAVATIONS COVERED OR OTHERWISE PROTECTED WHEN UNATTENDED BY INSTALLER'S PERSONNEL.
2. SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL IF THEY CONFORM TO THE REQUIREMENTS LISTED IN THESE SPECIFICATIONS.
3. NOTIFY OWNER'S PROJECT REPRESENTATIVE IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.
4. NOTIFY OWNER'S PROJECT REPRESENTATIVE IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS.

SHRUB PLANTING

1. BEFORE PLANTING VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL. IF ROOT FLARE IS NOT VISIBLE, REMOVE SOIL IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE TOP-MOST ROOT EMERGES FROM THE TRUNK. AFTER SOIL REMOVAL TO EXPOSE ROOT FLARE, VERIFY THAT ROOT BALL STILL MEETS SIZE REQUIREMENTS. PLANT MATERIAL WITHOUT ROOT FLARE VISIBLE OR PLANTED TOO LOW WILL BE RE-PLANTED AT THE REQUEST OF THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
2. PLANTS FOUND TO HAVE STEM GIRDLING ROOTS AND/OR KINKED ROOTS AT THE TIME OF PLANTING WILL BE REJECTED AND REPLACEMENTS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
3. REMOVE ALL TWINE, STRING, WIRE, AND ALL OTHER NON-BIODEGRADABLE MATERIAL ENTIRELY FROM ROOT BALL AREA.
4. REMOVE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE. DO CUT TREE LEADERS.
5. SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES.
 - 5.1. USE SOIL MATERIALS FROM EXCAVATION FOR BACKFILL.
 - 5.2. CAREFULLY CUT AND REMOVE BURLAP, ROPE, AND WIRE BASKETS FROM THE ENTIRE ROOT BALL. REMOVE PALLETS, IF ANY, BEFORE SETTING. DO NOT USE PLANTING STOCK IF ROOT BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.
 - 5.3. BACKFILL AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE SOIL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PLANTING PIT IS APPROXIMATELY ONE-HALF FILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED.
 - 5.4. CONTINUE BACKFILLING PROCESS. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF SOIL.

SHRUB MATERIAL:

1. GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN AND DRAWINGS; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - 1.1. COLLECTED STOCK: DO NOT USE PLANTS HARVESTED FROM THE WILD, FROM NATIVE STANDS, FROM AN ESTABLISHED LANDSCAPE PLANTING, OR NOT GROWN IN A STATE CERTIFIED NURSERY.
 - 1.2. PLANT MATERIAL SHALL BE PROVIDED IN THE CONTAINER TYPE INDICATED IN THE DRAWINGS (B&B, CONTAINER, BARE ROOT, ETC.), UNLESS THE CONTRACTOR RECEIVES WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT THAT SUBSTITUTION OF CONTAINER TYPE IS ACCEPTABLE.
2. FURNISH TREES WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
3. SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD.

PLANTING SOIL:

- PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE WIDTH OF LANDSCAPE AREAS, AND A MINIMUM OF 3X THE DIAMETER OF THE ROOT BALL LENGTHWISE
1. INSTALL PLANTING SOIL FOR PLANT BEDS IN 6" LIFTS, MINIMUM 8" DEPTH.
 2. DO NOT APPLY PLANTING SOIL TO SATURATED OR FROZEN SUBGRADES.
 3. PLANTING SOIL SHALL BE A MIX OF 6-PARTS TOPSOIL, 1-PART COMPOST (APPROVED FOR USE ON THE PROJECT), THOROUGHLY BLEND PLANTING SOIL OFF-SITE BEFORE SPREADING.
 - 3.1. THE PROJECT WILL ACCEPT ONLY CLEAN, SALVAGED OR IMPORTED TOPSOIL CAPABLE OF PASSING THE 1" SIEVE, FREE OF ROCKS, DEBRIS, AND OF NOXIOUS WEEDS.
 - 3.2. STRIPPED, SALVAGED, OR MINED TOPSOIL MUST BE TAKEN FROM THE TOP 6-INCHES OF THE A-HORIZON, HAVING A DARK BROWN TO BLACK COLOR WITH A GRANULAR STRUCTURE AND CLAY CONTENT OF LESS THAN 25%, VERIFIED WITH A RIBBON TEST THAT YIELDS NO MORE THAN 1-INCH.

BARK MULCH MATERIAL & INSTALLATION

1. TWICE-SHREDDED HARDWOOD BARK MULCH TO BE PROVIDED AS TOP-DRESSING FOR ALL AT-GRADE PLANTING BEDS IN LOCATIONS INDICATED ON PLANTING PLANS.
 - 1.1. SIZE RANGE: MAXIMUM 2.5" TO 3"
 - 1.2. COLOR: NATURAL, UN-DYED
 - 1.3. PROVIDE 3" DEPTH MULCH FOR ALL PLANTING BEDS INDICATED AS BARK MULCH PLANTING BED.
2. KEEP BARK MULCH 2" CLEAR OF ALL STEMS OF PLANT MATERIAL.

CLEAN-UP AND PROTECTION

1. DURING PLANTING, KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
2. PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.
3. AFTER INSTALLATION REMOVE ALL NURSERY TAGS, NURSERY STAKES, TIE TAPE, LABELS, WIRE, STRING, AND OTHER DEBRIS FROM PLANT MATERIAL, PLANTING AREAS, AND PROJECT SITE.

This is a proposed amendment to Zoning Code Provisions regarding off-street parking and driveways and excerpts from Title 4 of the Municipal Code (Public Works) regarding curb cuts and driveway approaches is included for reference and shown in BLUE.

Revised 9-06-2024

Sec. 10-1-13. Off-street parking and loading.

- A. *Purpose.* The purpose of this section is to prevent or alleviate the congestion of the public streets and promote the safety and welfare of the public by establishing minimum requirements for off-street parking and loading in accordance with the use to which the property is put.
- B. *Applicability:*
 - (1) In all zoning districts unless otherwise specifically provided, all newly established uses and all uses which are expanded shall provide off-street parking and loading space in accordance with the standards set forth in this section.
 - (2) Within that area lying between the West Twin River and 22nd Street and between Jefferson and Adams Streets, which area shall be deemed to include properties on both sides of Jefferson, Adams and 22nd Streets, the following special provisions shall apply:
 - (a) Newly established and/or expanded churches need provide only 50 percent of the specified off-street parking space.
 - (b) Newly established, converted or expanded theaters, arenas, auditoriums and similar places of public gathering as well as residences shall provide 100 percent of the off-street parking and loading space.
 - (c) Newly established, converted or expanded uses not specifically identified in subsection B.(2)(a) and (b) above are exempt from the requirements for off-street parking and loading space; however, the provisions of section 10-1-13.B.(6) will apply.
 - (3) Unless otherwise herein provided, in the event that within any five-year period an existing use is expanded to the extent of ten percent or more in floor area, off-street parking and loading space shall be provided based on the additional area in accordance with the standards set forth in this section. Any off-street parking spaces added since adoption of this chapter shall count toward the spaces needed to meet this requirement.
 - (4) Unless otherwise herein provided, in the event that within any five-year period an existing use is expanded to the extent of 50 percent or more in floor area, in addition to providing additional off-street parking and loading as provided in subsection B.(3) above, all existing off-street parking and loading space shall be brought into conformance with the standards set forth in this section.
 - (5) Off-street parking and loading facilities in existence on the effective date of this chapter and located on the same lot as the building or use served shall not hereafter be reduced below the requirements for a similar new building or use under the provisions of this section.
 - (6) Nothing in this section shall be deemed to prevent the voluntary establishment or expansion of off-street parking or loading facilities to serve any existing use, provided that all standards herein governing the location, design, and operation of such facilities are met.

- C. *Permit application.* Applications for off-street parking lot and driveway permits shall be submitted to the zoning administrator. Approval shall be required of any driveway apron or curb cut in accordance with section 4-1-11.
- D. *Construction drawings.* Construction drawings shall show the following information:
 - (1) Plot plan and property description.
 - (2) Drawings shall be engineer's scale of preferably one inch equals 20 feet.
 - (3) All buildings and utility lines shall be shown with their size and location.
 - (4) Paved areas shall be shown and dimensioned.
 - (5) The traffic pattern and parking layout shall be indicated.
 - (6) Drainage control shall be indicated by finish grade elevations or directional indications of slopes.
 - (7) The size and location of ingress and egress openings.
 - (8) The location, size and species of all landscape plantings.
 - (9) The location of all lighting systems.
- E. *Permit fees.* The parking lot or driveway permit fee shall be as set forth in section 1-2-1. A minimum penalty of \$100.00 shall be charged for failure to obtain the necessary permits prior to starting construction.
- F. *Definitions.* As used in this section, the following terms shall have the meanings indicated:

Floor area, usable. For purposes of computing parking requirements, in that area to be used for the sale of merchandise or services or for use to serve patrons, clients or customers, floor area shall be measured from the interior faces of the exterior walls. Area excluded from usable floor area includes areas principally used for storage or processing of merchandise, hallways, stairways, elevator shafts, areas for utilities or sanitary facilities, and mechanical areas.

Parking space. An area not in a street or alley and having dimensions of not less than nine feet by 18 feet, exclusive of driveways, permanently reserved for the temporary storage of one automobile and connected with a street or alley by a driveway which affords ingress and egress for an automobile without requiring another automobile to be moved.

- G. *Parking on lot.* All parking spaces required herein shall be located within 300 feet of the parcel with the building or use served. **Driveways and parking for one- or two-family residential R-1, R-2 and R-3 zoning districts parking** must be on the same lot with the building or use served, **see Section 10-1-13 N for additional requirements.**
- H. *Joint use of parking areas.* Up to 50 percent of the parking spaces required for theaters, public auditoriums, bowling alleys, or nightclubs, and up to 100 percent of the parking spaces required for churches or school auditoriums, may be provided and used jointly by banks, savings and loans, offices, service establishments and similar uses not normally open, used or operated during the same hours as those listed above; in such event an easement to which the city shall be a third party shall be recorded with the deeds.
- I. *Parking space for handicapped.* Parking spaces designed to accommodate the handicapped shall be provided in accordance with the State Building Code.
- J. *Variances.* Variances to this section may be granted in cases of hardship or practical difficulties by the board of appeals in accordance with the provisions of this section.
- K. *Design standards.*
 - (1) *Applicability.* These standards shall apply to parking areas containing five or more spaces.
 - (2) *Drainage.* On-site storm drainage shall be provided in accordance with the State Plumbing Code, Ch. SPS 383, Wis. Adm. Code, and the city plumbing code.

- (3) *Protection devices.* Barriers, curbing or wheel stops shall be installed and so located to prevent any portion of a vehicle from projecting beyond property lines. Such barriers, curbs, or wheel stops shall be so constructed and anchored to prevent their dislocation.
- (4) *Surface areas.* Surfacing of parking areas shall be either:
 - (a) Concrete: minimum four inches thick of at least five-bag mix over an adequate base; or
 - (b) Asphalt: minimum two-inch thickness over four-inch thickness of compacted granular base.
 - (c) Other materials: crushed stone, gravel or other suitable materials of type, thickness and grade, subject to prior approval by the zoning administrator, which shall be maintained in a dust-free condition.
- (5) *Lighting.* All parking lot lighting fixtures (whether required by code or not) shall be of a "full-cut-off" type to avoid light spill onto adjacent properties.
- (6) *Buffering.*
 - (a) When parking is located on property adjacent to a residential zoning district or residential use, the surfaced areas shall either:
 - [1] Be set back a minimum of five feet from side and rear property lines, and the setback area shall be devoted to landscaping which creates a screen to buffer the effect of noise, light or visual appearance on the adjacent residential property, or
 - [2] Shall provide on the lot line, a four-foot-high fence or wall which will provide at least 50 percent screening capability to separate and buffer the parking lot from the residential property.
 - (b) Also see section 11-1-11.D. for provisions for landscape buffer yards around parking areas in the central business district.
- (7) *Landscaping.* Landscaping materials shall be of a hardy variety common to the geographic area. Plants shall be of sufficient size as to provide at least 50 percent screening capability within five years when adjacent to a residential district or use. Evergreens or dense deciduous shrubs are suggested. Landscaping shall be maintained in a healthy and attractive manner.
- (8) *Planting areas.* A contiguous parking area of 50,000 square feet or greater shall provide planting areas, located in such a manner as to reduce the uninterrupted expanse of hard surface, for five percent of the surface area of the lot. Planting areas shall be in addition to any buffer required adjacent to residentially zoned or used property.

L. *Required space for specific uses.*

Residential	
1- or 2-family	2 per dwelling unit
Multiple-family	1.5 per dwelling unit
Housing for the elderly	1 for each 2 dwelling units; should units revert to general occupancy, additional spaces must be provided
Fraternity, sorority or similar group homes	2 plus 1 for every 6 beds
Institutional	
Museums	1 for each 500 square feet of usable floor area
Churches or temples	1 for each 8 seats (24-inch seats) in the main auditorium
Hospitals	1 for each 1 bed
Homes for aged, convalescent home, or similar use	1 for each 6 beds

College or senior high school	1 for each 8 seats in the main auditorium, or 3 spaces for each classroom, whichever is greater
Elementary or junior high school	1 for each 10 seats in the in the auditorium or main assembly room, or 1 space for each classroom, whichever is greater
Sports arena, stadium, gymnasium, auditorium or theater (except school)	1 for each 5 seats or seating spaces
Community center, dance halls, clubs, union halls, assembly hall or similar use	1 for each 100 square foot of usable floor area
Golf courses open to the general public, except miniature or "par-three" type	6 for each golf hole, plus any requirements of any restaurant or bar
Business	
Shopping centers or discount department stores containing at least 25,000 gross square feet	4 per 1,000 square feet of usable floor area
Furniture and appliance, household equipment, repair shops, showroom of tradesman, and similar uses	1 per each 1,000 square feet of usable floor area
Supermarket, self-service food or beverage shop, retail stores except as otherwise specified, personal services	1 per each 200 square feet of usable floor area
Restaurant, tavern, nightclub, or similar recreation or amusement establishment	1 per each 100 square feet of usable floor area
Laundromats and coin-operated dry cleaners	1 for each 2 washing machines
Drive-in car washes, automatic	15 standing spaces for each vehicle of capacity in the washing bay, plus 1 space for each 2 employees
Car washes, self-service	3 standing spaces for each washing bay
Drive-in banks	4 standing spaces for each drive-in window in addition to 1 space for each employee and 1 for manager
Drive-in restaurant or food product outlet	1 for each vehicle connected with the business, 1 for the owner or manager, 1 for each 2 employees on duty when fully staffed, plus spaces adequate in number, as determined by the plan commission, to serve the public
Filling station	1 for each vehicle connected with the business, 1 for each employee on duty when fully staffed, 1 for the owner or manager, plus 3 for each bay intended for service, repair or other use
Bowling alley	5 for each alley in addition to requirements for restaurants or bars or assembly rooms
Miniature or par-three golf courses	1 for each golf hole
Mortuary establishment	1 for each 50 square feet of usable floor space in public service area
Motels, hotels, or other commercial lodging establishment	1 for each 1 occupancy unit plus any requirements of restaurants, auditorium, or retail services located within the building
Offices	
Business, professional public offices, banks, savings and loans, or dental clinics	1 for every 300 square feet of usable floor space
Medical clinic or office involving patient care	1 for every 200 square feet of usable floor space
Industrial	

Manufacturing or industrial establishments, research or testing laboratory, creamery, bottling plant, warehouse or similar establishment	1 for every 2 employees in the largest shift, plus space to accommodate all trucks and other vehicles in connection therewith
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M. *Loading requirements.*

(1) There shall be provided at the time any building is erected or expanded off-street loading space in accordance with the requirements which follow. For the purpose of this section, a loading space shall be so designed and maintained as to accommodate the type of delivery vehicles contemplated, but shall not be less than 12 feet wide and 30 feet in length, shall be surfaced with a dustless all-weather material capable of bearing a live load of 200 pounds per square foot, shall be located on the same lot as the use served and shall be designed with appropriate means of vehicular access to a street or alley in a manner which will least interfere with traffic movement and shall be subject to approval by the zoning administrator.

(2) *Office buildings and hotels.*

(a) When located in the B-2 or B-3 district, one space for 5,000 square feet to 50,000 square feet of gross floor area; two spaces for 50,000 square feet to 200,000 square feet of gross floor area; one additional space for each 75,000 square feet of gross floor area in excess of 200,000 square feet.

(b) When located in the B-1, I or R district, one space for 20,000 square feet to 50,000 square feet of gross floor area; two spaces for 50,000 square feet to 200,000 square feet of gross floor area; one additional space for each 75,000 square feet of gross floor area in excess of 200,000 square feet.

(3) *Retail or service establishment or wholesale and business uses:*

(a) When located in the B-2 or B-3 district, one space for 2,000 square feet to 20,000 square feet of gross floor area; two spaces for 20,000 square feet to 100,000 square feet of gross floor area; one additional space for each 75,000 square feet of gross floor area in excess of 100,000 square feet.

(b) No building, or part thereof, in the B-2 district heretofore erected, which is used for any of the purposes specified above, shall hereafter be enlarged or extended unless off-street loading space is provided in accordance with the provisions of this section.

(c) When located in the B-1, R or I district, one space for 4,000 square feet to 20,000 square feet of gross floor area; two spaces for 20,000 square feet to 100,000 square feet of gross floor area; one additional space for each 75,000 square feet of gross floor area in excess of 100,000 square feet.

(d) No building or part thereof in the B-1, R or I district heretofore erected, which is used for any of the purposes specified above, shall hereafter be enlarged or extended to provide a gross floor area of 25,000 square feet or more unless off-street loading space is provided in accordance with the provisions of this section.

(4) Manufacturing or industrial use. When located in the B-1 or I district, one for 5,000 square feet to 25,000 square feet of gross floor area; one additional space for each 100,000 square feet of gross floor area in excess of 25,000 square feet.

(Amended 5-4-2020)

Editor's note(s)—Amended at time of adoption of Code.

State law reference(s)—See title 1, general provisions, Ch. 1-1, Art. III.

N. Single-family and two-family residential R-1, R-2 and R-3 zoning district parking and driveway requirements.

The following requirements are required for new, modified or reconstructed single-family and two-family residential R-1, R-2 and R-3 zoning district parking and driveway from the effective date of (October 1, 2024).

Driveways shall lead from the public right-of-way directly to a garage door opening or to a legal surface parking space. Driveways are regulated as follows:

- (1) *Number of driveways.* Single-family uses are permitted one driveway per lot unless otherwise regulated in this chapter, (Circular, through or alley) subject to the design regulations specified herein. Two-family uses are permitted two driveways per lot unless otherwise regulated in this chapter, subject to the design regulations specified herein.
- (2) *Minimum driveway setback from property lines.*
 - a. Driveways shall not be built within three (3) feet of the side property line. An exception can be granted with Plan Commission approval and a recorded easement or agreement between the owners of abutting properties.
 - b. *Detached garages.* Driveways leading to detached garages shall meet the applicable side or rear setbacks for accessory structures established in the district in which it is situated or shall meet the side setback of an existing detached garage, whichever is less.
 - c. *Attached garages.* Driveways leading to attached garages shall meet the applicable side or rear setbacks for principal structures established in the district in which it is situated or shall meet the side setback of the existing attached garage, whichever is less.
 - d. *Uncovered parking.* Driveways leading to uncovered parking areas shall meet the applicable side or rear setbacks established within the parking section or shall meet the side setback of the existing legal uncovered parking area, whichever is less.

Sec. 4-1-11. Curb cuts and driveway approaches. [FOR REFERENCE PURPOSES ONLY]

Curb cuts and driveway approaches constructed within the city right-of-way shall be constructed in accordance with the requirements of the department of public works as follows.

- A. Residential driveway approaches shall meet the following conditions:
 - (1) The maximum width shall be no greater than 30 percent of the lot width or 35 feet, whichever width is the smallest.
 - (2) The minimum width of a residential driveway approach shall be 12 feet.
 - (3) The driveway approach width shall be measured at the right-of-way line.
- B. Commercial driveway approaches shall meet the following conditions:
 - (1) The maximum width shall be 35 feet.
 - (2) The minimum width shall be 12 feet.
 - (3) A commercial driveway can have up to two entrances, provided there is a minimum separation of ten feet between driveways at the right-of-way line.
 - (4) The driveway approach width shall be measured at the right-of-way line.
- C. A residential or commercial driveway shall be located no closer than ten feet from the end of the radius of an intersection with the desirable distance to be a minimum of 20 feet.
- D. A corner residential lot can have two driveway approaches if it meets the following conditions:

- (1) The primary driveway approach shall be no greater than 30 percent of the lot width or 35 feet, whichever width is the smallest. The minimum width of a residential driveway approach shall be 12 feet.
- (2) Secondary driveway approach shall be no greater than 15 feet wide.
- E. A residential lot (use) that fronts only one street can have two driveway approaches if it meets the following requirements:
 - (1) The combined width of the primary driveway approach and secondary driveway approach shall be no greater than 45 percent of the lot width or 48 feet, whichever width is the smallest. The minimum width of a residential driveway approach shall be 12 feet.
 - (2) The primary driveway approach or secondary driveway approach shall be no greater than 30 percent of the lot width or 35 feet, whichever width is the smallest.
 - (3) The minimum separation of the primary driveway and the secondary driveway at the right-of-way line shall be ten feet.
- F. No driveway shall be built within three feet of the property line.

(3) *Driveway width.*

- a. Driveways shall be a minimum width of twelve (12) feet. Driveways leading to garages are limited to a maximum width as specified in section 4-1-11 at the property line and 2½ foot apron flares at the curb/pavement line, but within the property may increase to the “width of the garage” as hereinafter provided or to provide access to other legal parking spaces.

“Width of the garage” is defined as being 24 inches on either side of a single garage door or 24 inches on either side of the outermost garage doors, in the case of multiple doors on the same building face.

Provided, however, that in no instance shall a driveway width or cumulative driveway widths exceed 50 percent of the lot width.

The maximum driveway width may be further limited in certain other instances, as provided herein.

See Figure 3.A: Single-Family and Two-Family Drive Width and 3.B: Single-Family and Two-Family Drive Width-Enlarged with Taper.

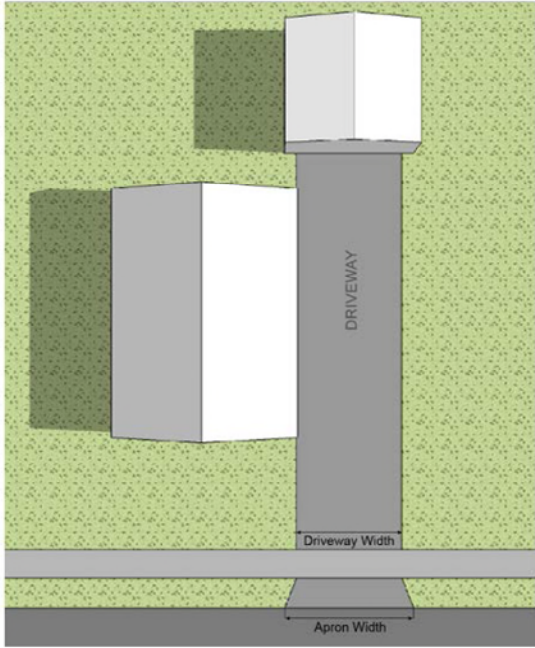


Fig. 3.A: Single & Two-Family Drive Width—Standard

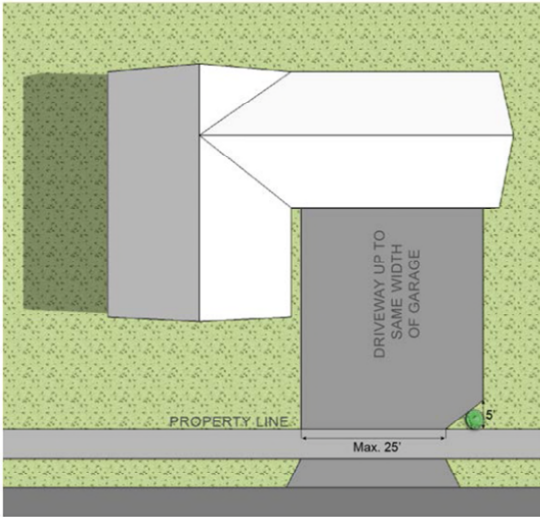


Fig. 3.B: Single & Two-Family Drive Width—Enlarged with Taper

- b. Where no garage exists, the maximum driveway width shall be 12 feet.
- c. Where the width of the driveway at the garage or other legal parking space exceeds the maximum width of the driveway at the property line, the driveway shall be tapered between the garage or the edge of a legal uncovered space and the property line starting a minimum of five feet inside the parcel. If said taper "triangle" is found to be driven over and in a deteriorated state, the City may require the installation of vegetation or other item designed to prohibit vehicular trespass. See Figure 3.C: Single-Family and Two-Family Drive Width-Taper Detail. When leading to a legal uncovered space, the driveway width shall comply with section 4-1-11.

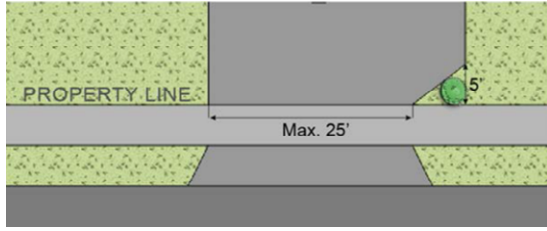


Fig. 3.C: Single & Two-Family Drive Width—Taper Detail

- d. Driveways for two-family dwellings with adjacent garages are limited to the 25 feet maximum width at the property line for each individual driveway. Each individual driveway may be separated by a minimum of a two-foot buffer area extending the full length from the property line to the garage/uncovered parking space. The separation area shall contain vegetation or other feature designed to limit vehicular trespass. See Figure 4: Two-Family Drive Separation.

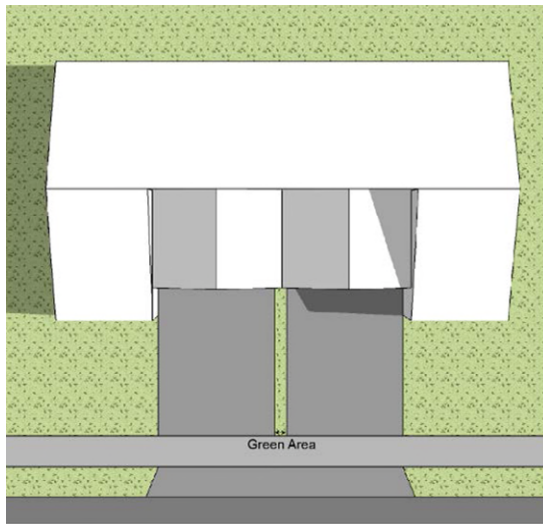


Fig. 4: Two-Family Drive Separation

- e. Side-loading drives. The maximum width of driveway leading to a side-loaded garage shall not exceed 12 feet, except for the area directly leading of the garage, where it can be increased to the width of the garage. See Figure 5.A: Alternative Single-Family and Two-Family Drives-Side Loading. The driveway shall not be located within the side yard setback.
- f. Circular drives. The maximum width of circular, horseshoe, and similar type driveways shall not exceed 12 feet, except for the area directly leading of the garage, where it can be increased to the width of the garage. See Figure 5.B: Alternative Single-Family and Two-Family Drives-Circular.
 1. The driveway shall not be located within the side yard setback.
 2. The inside edge of the arc of the driveway shall be at least 15 feet from the lot line.
 3. The interior area between the drive and the street must be landscaped.
 4. Must obtain Plan Commission approval.

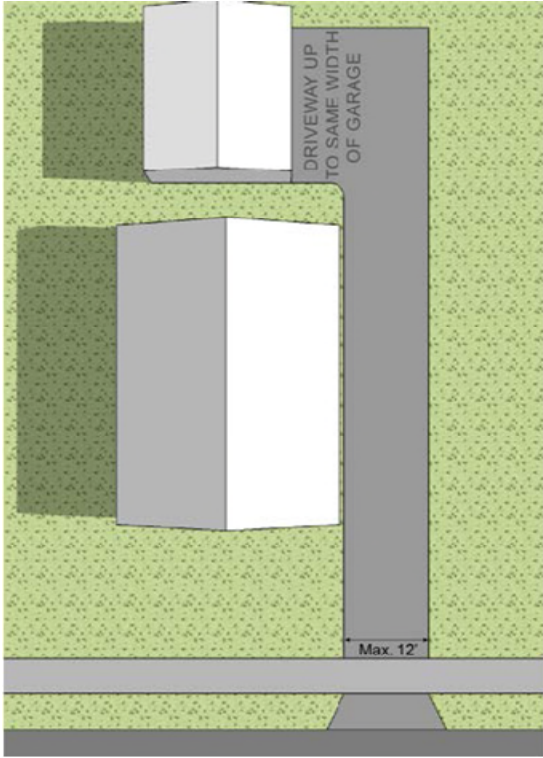


Fig. 5.A: Alternative Single & Two-Family Drives—Side Loading

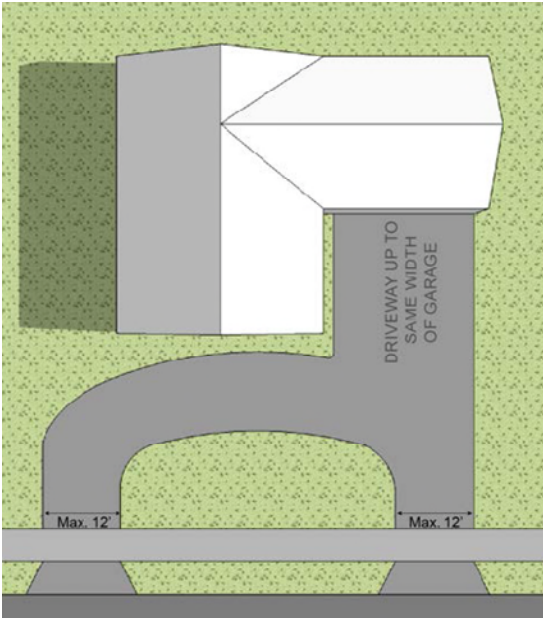


Fig. 5.B: Alternative Single & Two-Family Drives—Circular

- g. Alley drives. The driveway may extend to the garage opening or may extend into the lot for 30 feet in width and 40 feet in depth but shall not extend into the side yard setbacks. See Figure 5.C: Alternative Single-Family and Two-Family Drives-Alley.

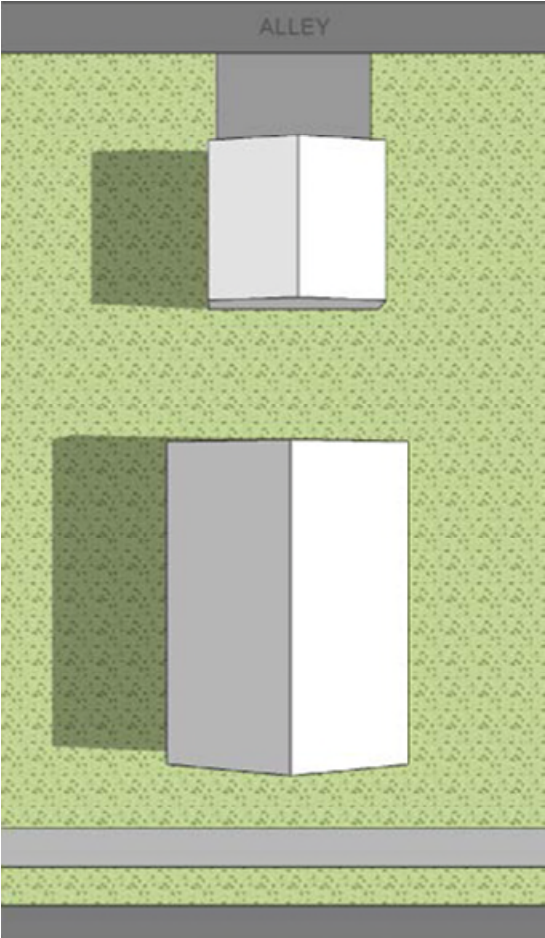


Fig. 5.C: Alternative Single & Two-Family Drives—Alleys

- h. In no case shall the maximum driveway width be cumulatively greater than 50 percent of the lot width.

Sec. 10-1-15. Height and area exceptions.

The regulations contained herein relating to the height of buildings and the size of yards and other open spaces shall be subject to the following exceptions:

- A. *Public and quasi-public buildings.* Churches, schools, hospitals, medical clinics, sanatoriums and other public and quasi-public buildings may be erected to a height not exceeding 60 feet or five stories, provided the front, side and rear yards required in the district in which such building is to be located are each increased at least one foot for each foot of additional building height above the height limit otherwise established for the district in which such building is to be located.
- B. *Extraordinary structures.* Chimneys, cooling towers, elevator bulkheads, fire towers, monuments, parapet walls not exceeding two feet in height, penthouses, stacks, scenery lofts, tanks, water towers, ornamental towers, spires, wireless television or broadcasting towers, masts or aerials, telephone, telegraph and power poles and lines, microwave radio relay structures and necessary mechanical appurtenances are hereby excepted from the height regulations of this chapter and may be erected in accordance with other regulations or ordinances of the city.

- C. *Residences.* Residences in the residence districts may be increased in height by not more than ten feet when all yards and other required open spaces are increased by one foot for each foot which such building exceeds the height limit of the district in which it is located.
- D. *Through lots.* Buildings on through lots and extending from street to street may waive the requirements for a rear yard by furnishing an equivalent open space on the same lot in lieu of the required rear yard, provided that the setback requirements on both streets be complied with.
- E. *Nonconforming lots.* Where a lot has an area less than the minimum number of square feet per family required for the district in which it is located and was of record on September 8, 1953, such lot may be occupied by one family.
- F. *Accessory buildings and structures.*
 - (1) *Time of construction.* No accessory building or structure shall be constructed on any lot prior to the time of construction of the principal building to which it is accessory unless expressly permitted by the board of appeals.
 - (2) *Height.* In all residential districts the maximum height of any detached accessory building shall not exceed the height of the principal building but in no case be higher than 20 feet unless expressly permitted by the board of appeals.
- G. *Yards to be open upward.*
 - (1) Except where otherwise specified in this chapter, every part of a required yard shall be open to the sky unobstructed.
 - (2) *Location of required open space.* All yards, courts, usable open spaces and other open spaces allocated to a building or dwelling group shall be located on the same zoning lot as such building or dwelling group.
 - (3) *Required yards for existing buildings.* No yards now or hereafter provided for a building existing on the effective date of this chapter shall subsequently be reduced below, or further reduced if already less than, the minimum required by this chapter for equivalent new construction.
 - (4) *Permitted obstructions in required yards.* The following shall be considered permitted obstructions when located in the required yard specified. Any obstruction not expressly described is prohibited.
 - (a) In all yards:
 - [1] Arbors and trellises, trees, shrubs and plantings.
 - [2] Awnings.
 - [3] Chimneys, flues, belt courses, leaders, sills, pilasters, lintels, ornamental features, antenna masts or towers, cornices, eaves, gutters and the like, projecting not more than 24 inches.
 - [4] Fences, walls and hedges, subject to the provisions of this chapter.
 - [5] Flagpoles and garden ornaments.
 - [6] Open terraces not over three feet above the average level of the adjoining ground, but not including a permanent roofed-over terrace or porch unless otherwise specifically permitted.
 - [7] Recreational accessory uses.
 - [8] Steps not over three feet above the ground level which are necessary for access to a permitted building or for access to a zoning lot from a street or alley.
 - [9] Walks and driveways.

- (b) In front yards and street side yards:
 - [1] Open fire escapes, open porches, decks, patios or terraces, including those with roofs but not walls, extending not more than six feet into a required front yard or street side yard, provided that these projections do not encroach in any vision clearance triangle.
 - [2] Overhanging eaves and gutters projecting three feet or less into the yard.
 - [3] Open off-street vehicle parking spaces when approved by the plan commission in business, industrial, institutional and multifamily residence districts.
 - [4] ~~Open off-street vehicle parking on a paved or graveled driveway, provided no vehicle may be parked within five feet of a front property line or within three feet of a side lot line. The maximum width of driveways on private property shall not exceed 35 percent of the lot width or 35 feet, whichever is less. However, any lot may have a driveway up to 20 feet in width.~~
Driveways as otherwise specified in section 10-1-13.
 - [5] Garages in embankments. Where the mean natural grade of a front or street side yard is more than eight feet above the curb level, a private garage may be erected within said yard, provided as follows:
 - [a] That such private garage shall be located not less than five feet from the street lot line;
 - [b] That the floor level of such private garage shall be not more than one foot above the curb level; and
 - [c] That at least one-half the height of such private garage shall be below the mean grade of the yard.
 - [6] Produce gardening in front yards existing prior to August 1, 2016. Such front yard produce gardens may not be expanded. New front yard produce gardens are prohibited, except as may be authorized by resolution of city council as part of a pilot program that was put in effect in 2023 and is hereby extended to December 31, 2024. Participation by a property in said pilot program shall not create any vested right to continue such new gardens beyond December 31, 2024.
 - [7] Produce gardening is permitted in street side yards. Such gardens shall not encroach into the minimum required street side yard.
 - [8] Garages in front yards.
 - [a] In the aggregate shall not occupy more than 30 percent of any required front yard and not more than 50 percent of non-required front yard areas;
 - [b] Shall be located on a lot being not less than five acres in size;
 - [c] The primary structure on the lot shall be located at least 500 feet from the street on which the property fronts;
 - [d] Garages shall reflect the same minimum setbacks allowed for a principal structure on the lot.
 - [e] Shall be located no closer than three feet from any part of any other building, or structure, except swimming pools as described in subsection H.
 - [f] Shall comply with all applicable municipal and state code provisions.
 - [9] Garages in street side yards.
 - [a] Shall be no closer than the required front yard setback;

- [b] Street side yard setback shall be 25 feet from the lot line;
 - [c] In the aggregate, shall not occupy more than 30 percent of any required street side yard nor more than 50 percent of non-required street side yard areas.
 - [d] Shall be located no closer than three feet from any part of any other building, or structure, except swimming pools as described in subsection H.
 - [e] Shall comply with all applicable municipal and state code provisions.
 - [f] Permitted only where there is a previously existing driveway.
- (c) In rear yards:
- [1] Open fire escapes, open porches, decks, patios or terraces, including those with roofs but not walls, projecting six feet or less into the required rear yard.
 - [2] Overhanging eaves, bay windows and gutters projecting three feet or less into the required rear yard.
 - [3] Detached accessory buildings and structures such as storage buildings, garages, swimming pools, heating and air-conditioning equipment, wind and solar energy conversion equipment antenna structures, including those mounted on towers or masts or those employing parabolic or similar reflectors, provided such buildings, structures or equipment:
 - [a] In the aggregate shall not occupy more than 30 percent of any required rear yard nor more than 50 percent of non-required rear yard areas.
 - [b] Shall be located no closer than three feet from any part of any other building, structure or property line, except swimming pools as described in subsection H.
 - [c] Shall comply with all applicable municipal and state code provisions.
 - [d] ~~Driveways not exceeding 35 percent of the lot width or 35 feet, whichever is less.~~
Driveways as otherwise specified in section 10-1-13.
 - [4] Storage canopies complying with the following:
 - [a] Storage canopies erected prior to June 7, 2021.
 - [i] Shall not exceed 240 square feet in area.
 - [ii] Shall not exceed 14 feet in height.
 - [iii] Shall have a frame made of metal, plastic, or combination thereof, having a roof but not walls and not attached to any structure, building, fence or anything permanently located on the ground. Corrugated metal or corrugated fiberglass roofing materials are not permitted.
 - [iv] Shall be limited to one storage canopy per parcel.
 - [v] Shall be located no closer than three feet from any property line.
 - [vi] Shall not be located on a vacant parcel.
 - [b] Storage canopies erected or altered on or after June 7, 2021, and prior to January 1, 2023.

- [i] Shall not exceed 240 square feet in area.
- [ii] Shall not exceed 14 feet in height.
- [iii] Shall have a frame made of metal, plastic, or combination thereof, having a roof, with or without walls, and not attached to any structure, building, fence or anything permanently located on the ground. Metal, fiberglass, plastic, composite or any other rigid roof or wall materials are not permitted.
- [iv] Shall be limited to one storage canopy per parcel.
- [v] In aggregate, all accessory structures, including canopies, on the premises shall not occupy more than 30 percent of any required rear yard nor more than 50 percent of non-required rear yard.
- [vi] Shall be located no closer than three feet from any property line.
- [vii] Shall not be located on a vacant parcel.
- [viii] Shall not be located on a parcel with a garage.
- [ix] Shall be removed upon construction of a garage.
- [x] Shall be removed prior to a change in ownership or tenancy.
- [xi] Garbage and refuse shall not be stored in the canopy.
- [xii] Shall be maintained in a reasonable state of repair.
- [xiii] Shall require a permit prior to installation in accord with the fee schedule in section 1-2-1.
- [xiv] Violation of any of the above listed provisions shall result in removal of the canopy.

- [5] Open off-street vehicle parking spaces when approved by the plan commission in business, industrial, institutional and multifamily residence districts.
- [6] Open off-street vehicle storage in single- and two-family residence districts shall be in accord with section 9-6-4.E.
- [7] Laundry drying equipment.
- [8] Outdoor kennels or exercise runs for household pets.
- [9] Produce gardening.
- [10] Driveways as otherwise specified in section 10-1-13.

(d) In interior side yards:

- [1] Open fire escapes, open porches, decks, patios or terraces, including those with roofs but not walls, projecting three feet or less into the required side yard but in no case closer than six feet from a property line.
- [2] Detached accessory buildings and structures such as storage buildings, garages, swimming pools, heating-air conditioning equipment, wind and solar energy conversion equipment, antenna structures, including those mounted on towers or masts or those employing parabolic or similar reflectors, provided that such buildings, structures or equipment:

- [a] In the aggregate, shall not occupy more than 30 percent of any required interior side yard nor more than 50 percent of non-required rear yard areas.
- [b] Shall be located no closer than three feet from any part of any other building, structure or property line, except swimming pools as described in subsection H.
- [c] Shall comply with all applicable municipal and state code provisions.
- [d] ~~Driveways not exceeding 35 percent of the lot width or 35 feet, whichever is less.~~

Driveways as otherwise specified in section 10-1-13.

- [3] Storage canopies complying with the following:
 - [a] Storage canopies erected prior to June 7, 2021.
 - [i] Shall not exceed 240 square feet in area.
 - [ii] Shall not exceed 14 feet in height.
 - [iii] Shall have a frame made of metal, plastic, or combination thereof, having a roof but not walls and not attached to any structure, building, fence or anything permanently located on the ground. Corrugated metal or corrugated fiberglass roofing materials are not permitted.
 - [iv] Shall be limited to one storage canopy per parcel.
 - [v] Shall be located no closer than three feet from any property line.
 - [vi] Shall not be located on a vacant parcel.
 - [b] Storage canopies erected or altered on or after June 7, 2021, and prior to January 1, 2023.
 - [i] Shall not exceed 240 square feet in area.
 - [ii] Shall not exceed 14 feet in height.
 - [iii] Shall have a frame made of metal, plastic, or combination thereof, having a roof, with or without walls, and not attached to any structure, building, fence or anything permanently located on the ground. Metal, fiberglass, plastic, composite or any other rigid roof or wall materials are not permitted.
 - [iv] Shall be limited to one storage canopy per parcel.
 - [v] In aggregate, all accessory structures, including canopies, on the premises shall not occupy more than 30 percent of any required interior side yard nor more than 50 percent of non-required interior side yard.
 - [vi] Shall be located no closer than three feet from any property line.
 - [vii] Shall not be located on a vacant parcel.
 - [viii] Shall not be located on a parcel with a garage.
 - [ix] Shall be removed upon construction of a garage.
 - [x] Shall be removed prior to a change in ownership or tenancy.

- [xi] Garbage and refuse shall not be stored in the canopy.
- [xii] Shall be maintained in a reasonable state of repair.
- [xiii] Shall require a permit prior to installation in accord with the fee schedule in section 1-2-1.
- [xiv] Violation of any of the above listed provisions shall result in removal of the canopy.

- [4] Open off-street vehicle parking spaces when approved by the plan commission in business, industrial, institutional and multifamily residence districts.
- [5] Open off-street vehicle storage in single- and two-family residence districts shall be in accord with section 9-6-4.E.
- [6] Laundry drying equipment.
- [7] Produce gardening with a setback of not less than three feet from a property line.
- [8] Driveways as otherwise specified in section 10-1-13.

H. *Swimming pools.*

- (1) A "swimming pool," for the purposes of this section, shall mean a structure or basin, either temporarily or permanently installed upon or within the ground, containing an artificial body of water more than 40 square feet or greater than 24 inches in depth for swimming, diving or recreation that is constructed in such a manner that the pool cannot be disassembled for storage without the use of tools.
- (2) *Location.*
 - (a) Swimming pools constructed or installed in the R-1, R-2, R-3 and R-4 districts shall be located on the same lot and in either the rear or the side yard of a principal building. Swimming pools shall not be constructed in the front yard or in a required street yard in such districts. Swimming pools, either open or enclosed, shall be considered the same as accessory buildings for purposes of calculating the maximum area they may occupy on a lot. Swimming pools may not be located in any type of easement.
 - (b) Swimming pools constructed in the B-1, B-2, B-3 and Waterfront Business districts shall not occupy any portion of a required front, side, or rear yard. However, swimming pools may be located in yard areas other than such required yards. Swimming pools may not be located in any type of easement.
- (3) *Clearances.*
 - (a) Swimming pools shall not be located nearer than six feet from any property line of a building.
 - (b) Swimming pools shall be located in accordance with all federal, state and local codes including the National Electric Safety Code (NESC®) 234(e)1, 351(c)1, 351(c)2, Table 234-3, Figure 234-3, and Public Service Commission of Wisconsin (PSCW) Wisconsin State Electrical Code, § PSC 114.234(8), Wis. Adm. Code. These codes will be strictly enforced to ensure the safety of the general public. The proposed location of a swimming pool on a lot must be approved by the city's electric department prior to obtaining a permit to installing or placing the swimming pool on the property.
- (4) *Protection.*
 - (a) Swimming pools shall be protected so as to prevent unauthorized access by means of a fence, wall or other permanent barrier so designed, constructed and maintained as to

completely surround the swimming pool extending to a height of not less than four feet above actual grade. Such barrier shall prevent the passage of an object with a diameter larger than four inches. All gates provided in such barrier shall be equipped with hardware designed to automatically close and latch said gate.

- (b) No fence shall be required for swimming pools which are at least four feet in height above the ground, but all approaches shall require self-closing and latching gates or doors that are capable of being locked. Ladders must contain a mechanism to lock the ladder in an upright position for pools at least four feet in height or must be removed and stored in the principal or an accessory building when the swimming pool is not in use.
- (c) Protection is not required for "kiddie pools." A "kiddie pool" is defined as a portable pool with a maximum surface area of 40 square feet and 24 inches high.

I. *Screening and vision clearance.*

- (1) *Statement of purpose.* This subsection is established to recognize the public and private benefits accrued from functional and aesthetic screening between areas of incompatible land uses, the increasing demand for active and passive recreational areas, the desirability of providing visual screening of certain parking lots, business and manufacturing areas, and the necessity of providing adequate vehicular vision clearance.
- (2) *Off-street parking.* See section 10-1-13.
- (3) *Screening or fencing erected, placed, maintained or grown shall comply with the following provisions:*
 - (a) Screening in front yards shall not exceed a height greater than four feet above the curb level or its equivalent; provided, however, that, within ten feet from any driveway or alley crossing of a street lot line, any screening shall not exceed two feet in height unless it is at least 90 percent open for through vision.
 - (b) On a corner lot, screening in the street side yard may extend from the side street rear corner of the structure perpendicular to a distance four feet from the side street property line and continue along the side street to the rear property line. The height of any screening shall not exceed six feet; provided, however, that within ten feet from any driveway screening it shall not exceed two feet in height unless it is at least 90 percent open for through vision.
 - (c) Unless otherwise provided, a vision-barrier fence that is within four feet of the lot line shall not exceed six feet in height.
 - (d) Snow fences may be used temporarily, but in no case shall snow fences be left standing longer than six months during any calendar year.
 - (e) It shall be unlawful for any person to construct or maintain any barbed wire or razor wire fence, except that any such fence above the height of six feet may be permitted for agricultural, industrial or commercial security reasons, with permission from the zoning administrator.
 - (f) It shall be unlawful for any person to construct or maintain any aboveground electrical fence.
 - (g) Fences constructed in a manner in which a supporting framework or posts can be construed to represent a back side shall be installed so that the front side/good side faces the adjacent or abutting property.
 - (h) Screening or fencing shall be located in a manner that allows the owner to maintain the screening or fencing from his side of the property line.

- (4) *Vision clearance.*
 - (a) On a corner lot in any residence district, no structure, screening, bush, tree branches or embankment shall be erected, placed, maintained or grown between the heights of three feet and ten feet above the curb level or its equivalent within the triangular space formed by two intersecting street right-of-way lines located a minimum of 25 feet from the intersection thereof in order to provide adequate vehicular vision clearance; provided, however, that a fence so designed, constructed and maintained as to be least 90 percent open for through vision may be constructed in such vision clearance area.
 - (b) On a corner lot in any business or industrial district, no structure, screening, bush, tree branches or embankment of any kind shall be erected, placed, maintained or grown between the heights of three feet and ten feet above the curb level or its equivalent within the triangular space formed by two intersecting street right-of-way lines or their projections and a line joining points on such street right-of-way lines located a minimum of ten feet from the intersection thereof in order to provide adequate vehicular vision clearance; provided, however, that a fence so designed, constructed and maintained as to be 90 percent open for through vision may be constructed in such vision clearance area.
- (5) *Exemptions.* The zoning administrator may modify the provisions for the requirement of screening when suitable screening exists on abutting property, or when he/she determines that such modifications for screening shall be in harmony with the general purpose and intent of this subsection. The zoning administrator may also modify the provisions for the requirement of vision clearance when he determines that such modifications shall be consistent with traffic safety and shall be in harmony with the general purpose and intent of this subsection.
- (6) *Existing screening fencing.* Any screening of fencing which exists at the time of the passage of this chapter (October 5, 2009), but does not conform with the provisions thereof, shall not be altered or enlarged without making the entire unit conform with the provisions of this subsection.

J. *Shipping containers and similar conveyances used for storage only in certain zoning districts.*

- (1) *Purpose.* This subsection regulates the use of shipping containers and similar conveyances which may be permanently placed outdoors and used for storage purposes only in certain zoning districts in accord with the provisions described herein which are intended to protect the aesthetic qualities of the city.
- (2) *Definitions.* As used in this section, the following terms shall have the meanings indicated:
 - Shipping container.* A steel box used for intermodal shipping of products and materials between locations. Such containers are designed and constructed to standards established by the International Organization for Standards (ISO) and are typically 10 feet, 20 feet, 30 feet or 40 feet long.
- (3) *Containers prohibited with exceptions.* Except as described herein, the following shall not be placed for storage or residential use in any zoning district in the city: shipping containers, semitrailers, truck bodies, mobile offices, storage containers or other similar conveyances either with or without wheels.
- (4) *Exception for contractors' use.* In any zoning district, contractors may temporarily use the above-listed conveyances in conjunction with construction activities duly authorized by a permit issued by the city for a construction project, alteration project or demolition project.
- (5) *Exception or household or commercial moving purposes.* In any zoning district, contractors may temporarily use the above-listed conveyances in conjunction with construction activities duly authorized by a permit issued by the city for a construction project, alteration project or demolition project.

- (6) *Exception for the i-1, i-2 and i-3 industrial districts.* Shipping containers or similar conveyances may be permanently placed outdoors and used for storage in the districts noted above in accord with the following requirements:
- (a) The use of this container, including its contents, shall be accessory to the principal building or use of the premises.
 - (b) A container shall not be permitted on vacant lots.
 - (c) A container shall be located in the rear yard only and shall be placed on a pad consisting of stone or gravel or concrete or asphalt or a combination of those materials.
 - (d) The container location shall comply with setback requirements as if it were an accessory building. Where a residential use is immediately adjacent to the proposed location of a container, the minimum setback may be increased in combination with required screening or fencing as determined by the zoning administrator.
 - (e) Additional requirements that may be determined by the zoning administrator include painting to match the color of the principal building, fencing, landscaping, lighting, architectural modifications, maintenance standards and site improvements to manage stormwater drainage.
 - (f) The removal of a shipping container or similar conveyance may be ordered by the city due to lack of maintenance or if it becomes a public nuisance. The cost for such removal shall be paid by the property owner. If the property owner is negligent in paying for its removal, the city may charge the removal against the property.
 - (g) Prior to replacement of any shipping container or similar conveyance, the zoning administrator shall issue a permit in accord with these requirements including the payment of the applicable permit fee.

(Amended 6-7-2021; Ord. No. 2023-043, § 1, 3-20-2023; Ord. No. 2023-207, § 1, 12-18-2023; Ord. No. 2024-077, § 1, 4-22-2024)

Editor's note(s)—Amended at time of adoption of Code.

State law reference(s)—See title 1, general provisions, Ch. 1-1, Art. III.