



**TWO
RIVERS**
WISCONSIN

PLAN COMMISSION SPECIAL MEETING

Wednesday, January 22, 2025 at 5:30 PM

Council Chambers - City Hall, 3rd Floor
1717 E. Park Street, Two Rivers, WI 54241

AGENDA

1. CALL TO ORDER

2. ROLL CALL

Commission Members: Greg Buckley, Rick Inman, Kay Koach, Kristin Lee, Matt Heckenlaible, Adam Wachowski

3. ACTION ITEMS

- A.** Review of Site and Architectural Plan for the construction of a Taco Bell restaurant at 1803 Washington Street, submitted by Pacific Bells (applicant) and CEHOG I LLC (owner); Recommendation to City Council (Tabled from January 13, 2025 Meeting)

4. ADJOURNMENT

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Two Rivers will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance or reasonable accommodations in participating in this meeting or event due to a disability as defined under the ADA, please call the City Clerk's office at 920-793-5526 or email clerk@two-rivers.org at least 48 hours prior to the scheduled meeting or event to request an accommodation. For additional assistance, individuals with hearing or speech disabilities can call 711 and be connected to a telephone relay system.

It is possible that members of and possibly a quorum of governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no other action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.



LAND DEVELOPMENT APPLICATION

APPLICANT Pacific Bells (Contact: Kari Keller) TELEPHONE 714-724-9415

MAILING ADDRESS 111 W 39th Street Vancouver WA 98660
(Street) (City) (State) (Zip)

PROPERTY OWNER CEHOG I, LLC TELEPHONE 847-904-9201

MAILING ADDRESS 209 Powell Place Brentwood TN 37027
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 1803 Washington Street TYPE OF STRUCTURE Proposed 2,239 sf building

PRESENT ZONING B-1 Business REQUESTED ZONING B-1 Business

PROPOSED LAND USE Taco Bell restaurant with drive-thru

PARCEL # 05300005109106 ACREAGE 0.63

LEGAL DESCRIPTION Lots Seven (7), Eight (8), and Nine (9) of Block Fifty-one (51) of the ORIGINAL PLAT, in the City of Two Rivers, Manitowoc County, Wisconsin

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed *Kari Keller* Date 12/24/2024
(Property Owner)

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

Schedule

- Application Submittal Date _____
- Date Fee(s) Paid _____
- Plan(s) Submittal Date _____
- Plan Comm Appearance _____

\$ _____ TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____

December 26, 2024

Project Narrative

Project: Taco Bell
1803 Washington Street
Two Rivers, WI

Pacific Bells LLC is requesting site plan and conditional use review and approval for a new Taco Bell quick-serve restaurant with a drive-thru located at 1803 Washington Street in the City of Two Rivers. The property is zoned B-1 Business and the proposed use is permitted. The drive-thru use requires a conditional use permit. The 0.63 acre site currently contains a retail store that will be demolished for the proposed project.

The proposed Taco Bell will be single-story with a building footprint of 2,239 square feet with a single drive-thru lane around the north side of the building. A waste enclosure is proposed on the southeast corner of the site. Adequate parking will be provided with 16 spaces (including 1 handicap accessible stall). The existing access to the site from 18th Street will remain and the existing access from Washington St will be reconstructed in the same location.

Exterior materials are represented in the attached color elevations and waste enclosure detail. The building and site will blend in with and enhance the character of the area. The property will be transformed into a commercial development that is aesthetically pleasing with high-quality exterior materials on the building along with landscaping designed to ensure species resiliency and complimentary style. Site lighting will be provided in a fashion that provides appropriate foot candles for safety with cut-off fixtures for minimal light trespass and directed inward toward the development.



January 21, 2025
 City of Two Rivers
 Attn: Adam Taylor
 1717 E Park St
 Two Rivers, WI 54241

Re: Design Committee Review Comments
 Pacific Bells LLC - Taco Bell at 1803 Washington Street

Dear Adam,

Please accept the resubmittal addressing the review comments from the Design Committee Special Meeting on January 13, 2025 minutes.

- 1) Committee members expressed concerns regarding the proposed structure blocking the recently installed mural, but noted that the mural would provide a pleasant view for drive through customers. Is there another design that could be substituted? Could the location of the building be shifted or placed on a diagonal?
Excel Response: Shifted the building 10' east to allow the mural to be seen by a stopped northbound car at the intersection of Washington Street and 18th street. See vision triangle on C1.1.
- 2) The committee appreciates the plan to retain and rebrand the existing monument sign.
Excel Response: Noted.
- 3) The committee has concerns regarding the impact traffic exiting onto Washington Street may have on the goal of creating a pedestrian friendly downtown.
Excel Response: Noted. Existing driveway width decreased and driveway revised to exit only.
- 4) The committee had some concern regarding the height of the proposed light poles as they relate to existing light poles on Washington Street, but appreciates that they are IDA compliant.
Excel Response: The height of the poles are shown on the site photometric plan (C3.1) at 23'.
- 5) The committee had some concern as to hours of operation and potential introduction of trash to the downtown.
Excel Response: Addressed verbally by TM on 1-13-2025.
- 6) The committee approves of the building materials and likes the synergy of the Southwest Purple with the Two Rivers Raiders school colors.
Excel Response: Noted.

The submittal documents have been revised per the comments above. Please accept for review and approval. Please let me know if you have any comments, questions, or need additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "Eric Drazkowski".

Eric Drazkowski, P.E.
 Project Manager





OPEN

HOME INTERNET \$39.99

uscellular remove \$40

LET'S FIND US AGAIN.









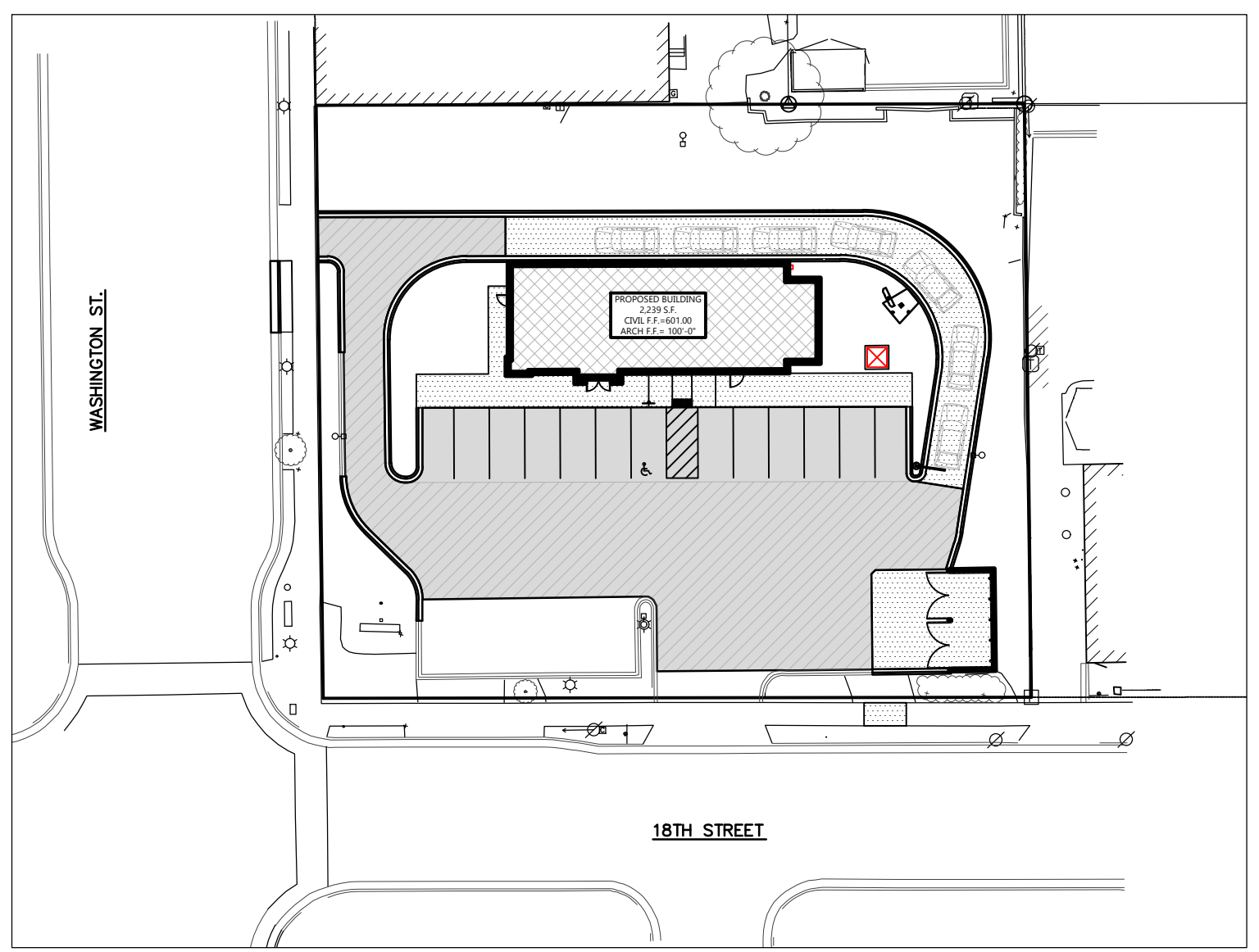
NEW BUILDING FOR: PACIFIC BELLS LLC

TWO RIVERS, WI

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE TELEFAX (414) 259-0947
TDD (FOR THE HEARING IMPAIRED)
1-800 542-2289
WISCONSIN STATUTE 182.0175 (1974)
REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

NOTE: PROPERTY LINES AND EASEMENTS SHOWN ON THIS SURVEY WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT NO. _____ BY _____ TITLE COMPANY, DATED _____, 20____. AN UPDATED PLAT OF SURVEY, CERTIFIED SURVEY MAP OR ALTA SURVEY HAS NOT BEEN AUTHORIZED.

NOTE: SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS PER TICKET NO. 20244618020 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THIS PLAN IS IN NO WAY A SUBSTITUTE FOR UTILITY LOCATING AT THE TIME OF EXCAVATION.



SITE PLAN OVERVIEW
SCALE: 1" = 40'
NORTH

PROJECT CONTACTS

OWNER INFORMATION:
Anchor Point Management
Kari Keller
111W. 39TH Street
Vancouver, WA 98660
Phone: (714) 724-9415
Email: KKeller@Anchorpointmg.com

CIVIL:
Eric Draskowski, P.E.
Phone: (920)322-1678
E-mail: eric.draskowski@excelengineer.com

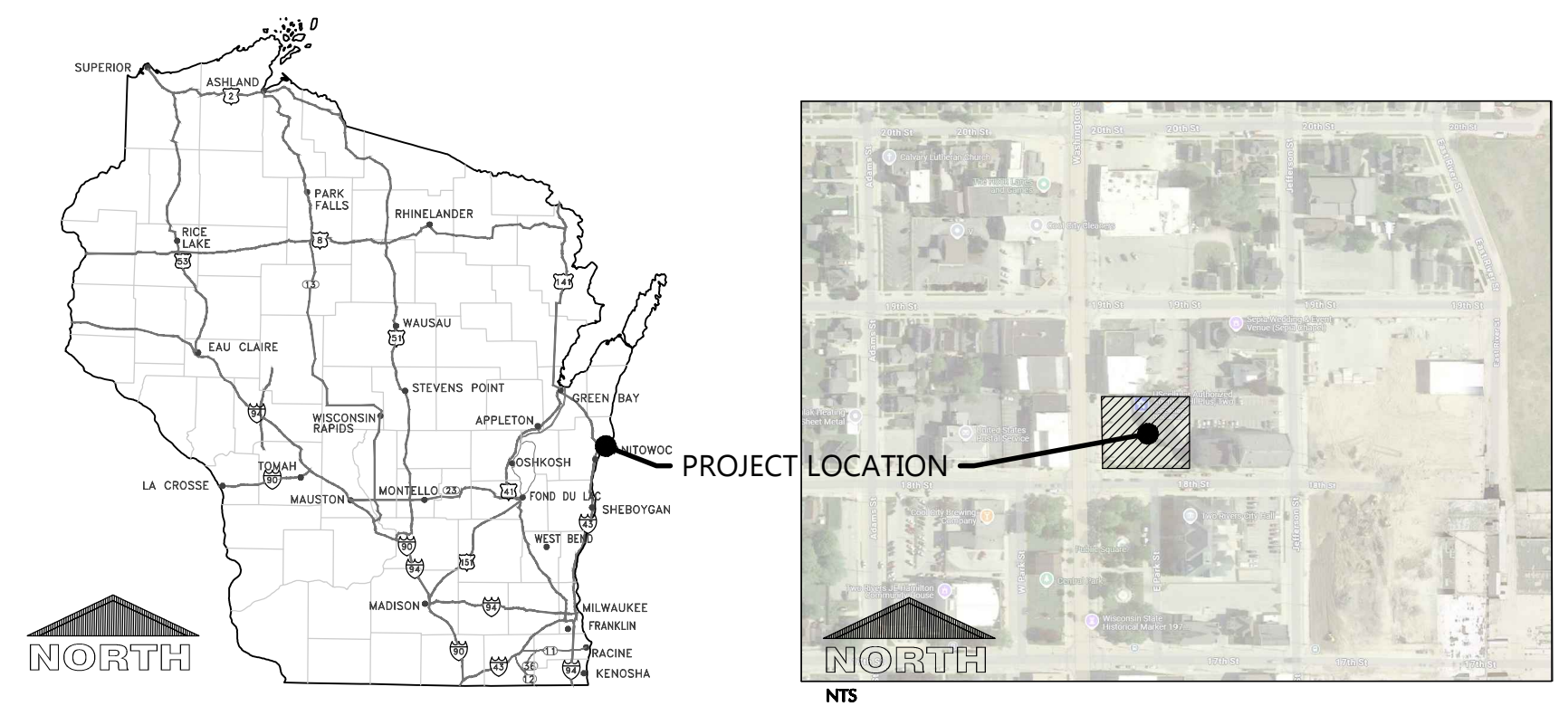
CITY PLANNER:
Elizabeth Runge
Phone: (920)793-5566
E-mail: erunge@two-rivers.org

CITY ENGINEER/DIRECTOR OF PUBLIC WORKS:
Matthew Heckenlaible
Phone: (920)793-5566
E-mail: mathe@two-rivers.org

CITY FIRE CHIEF:
Dave Murack
Phone: (920)793-5521

CITY BUILDING INSPECTOR:
Jane Drager
Phone: (920)793-5566
E-mail: jdrager@two-rivers.org

LOCATION MAP



PROJECT NOTES

- GENERAL PROJECT NOTES**
- ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.

CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

SHEET INDEX

SHEETS BELOW INTENDED TO BE PRINTED IN: **COLOR**. REFER TO DIGITAL FORMAT DRAWINGS IF PRINTED GRAYSCALE TO ENSURE SCOPE CLARITY.

NUMBER	SHEET NAME / DESCRIPTION
C0.1	CIVIL COVER SHEET
C0.2	CIVIL SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1	SITE PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C2.1	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS

LEGEND

NOTE: ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.

SYM.	IDENTIFICATION	SYM.	IDENTIFICATION
SPOT ELEVATIONS			
• 1000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	• 1000.00TC	PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE OF CURB)
• 1000.00EG	EXISTING GRADE SPOT ELEVATIONS	• 1000.00FL	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF CURB)
• 1000.00BG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL) BG-FINISHED SURFACE GRADE AT BACK OF WALL	• 1000.00TW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
• 1000.00FG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL) FG-FINISHED SURFACE GRADE AT FRONT OF WALL	• 1000.00BW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
EXISTING SITE SYMBOLS			
—	EXISTING SIGN	⊘	EXISTING UTILITY POLE
♿	EXISTING HANDICAP PARKING STALL	⊘→	EXISTING UTILITY POLE WITH GUY WIRE
⊗	EXISTING WATER VALVE IN BOX	⊘↔	EXISTING STREET LIGHT
⊗	EXISTING WATER VALVE IN MANHOLE	⊠	EXISTING TELEPHONE PEDESTAL
✕	EXISTING WATER SERVICE VALVE	⊠	EXISTING ELECTRIC PEDESTAL
⊗	EXISTING WELL	⊠	EXISTING ELECTRIC BOX
⊗	EXISTING STORM CATCH BASIN	⬅	EXISTING FLOOD LIGHT
⊠	EXISTING STORM CURB INLET	⊠	EXISTING TELEPHONE MANHOLE
⊠	EXISTING SQUARE CATCH BASIN	⊠	EXISTING CABLE TV PEDESTAL
☆	EXISTING LIGHT POLE	⊠	EXISTING GAS VALVE
■	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.	⊠	EXISTING HEDGE
●	3/4" REBAR SET WEIGHING 1.50 LB/FT.	⊠	EXISTING WOODED AREA
□	1-1/4" REBAR FOUND	⊠	EXISTING MARSH AREA
○	3/4" REBAR FOUND	⊠	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER
⊗	2" IRON PIPE FOUND	⊠	EXISTING CONIFEROUS TREE
▲	1" IRON PIPE FOUND	⊠	EXISTING SHRUB
⊠	SECTION CORNER	⊠	EXISTING STUMP
PROPOSED SITE SYMBOLS			
—	PROPOSED SIGN	⊠	PROPOSED STORM FIELD INLET - ST FI
♿	PROPOSED HANDICAP PARKING STALL	⊠	PROPOSED LIGHT POLE
⊗	PROPOSED WATER VALVE IN BOX	⊠	PROPOSED DRAINAGE FLOW
⊗	PROPOSED WATER VALVE IN MANHOLE	⊠	PROPOSED APRON END SECTION
✕	PROPOSED WATER SERVICE VALVE	⊠	SOIL BORING
⊗	PROPOSED WELL	⊠	CENTER LINE
⊗	PROPOSED STORM CATCH BASIN - ST CB	⊠	PROPOSED CLEANOUT
⊠	PROPOSED STORM CURB INLET - ST CI	⊠	PROPOSED DOWNSPOUT TO GRADE
		⊠	PROPOSED DOWNSPOUT TO RISER
EXISTING LINETYPES			
—	EXISTING CHAINLINK FENCE	—	EXISTING POLISH SEWER AND MANHOLE
—	EXISTING WOOD FENCE	—	EXISTING PROCESS SEWER AND MANHOLE
—	EXISTING BARBED WIRE FENCE	—	EXISTING CLEAR WATER LINE
—	EXISTING CURB AND GUTTER	—	EXISTING UNDERGROUND FIBER OPTIC LINE
—	EXISTING GUARD RAIL	—	EXISTING UNDERGROUND ELECTRIC CABLE
—	EXISTING GROUND CONTOUR	—	EXISTING UNDERGROUND TELEPHONE CABLE
—	EXISTING STORM SEWER AND MANHOLE	—	EXISTING UNDERGROUND GAS LINE
—	EXISTING SANITARY SEWER AND MANHOLE	—	EXISTING OVERHEAD UTILITY LINE
—	EXISTING WATER LINE AND HYDRANT	—	RAILROAD TRACKS
—	INTERIOR PROPERTY LINE	—	RIGHT-OF-WAY LINE
PROPOSED LINETYPES			
—	PROPOSED CHAINLINK FENCE	—	PROPOSED POLISH SEWER AND MANHOLE
—	PROPOSED WOOD FENCE	—	PROPOSED PROCESS SEWER AND MANHOLE
—	PROPOSED BARBED WIRE FENCE	—	PROPOSED CLEAR WATER LINE
—	PROPOSED CURB AND GUTTER	—	PROPOSED UNDERGROUND FIBER OPTIC LINE
—	PROPOSED GUARD RAIL	—	PROPOSED UNDERGROUND ELECTRIC CABLE
—	PROPOSED GROUND CONTOUR	—	PROPOSED UNDERGROUND TELEPHONE CABLE
—	PROPOSED STORM SEWER AND MANHOLE - ST MH	—	PROPOSED UNDERGROUND GAS LINE
—	PROPOSED SANITARY SEWER AND MANHOLE - SAN MH	—	PROPOSED OVERHEAD UTILITY LINE
—	PROPOSED WATER LINE AND HYDRANT	—	MATCHLINE
—	PROPOSED PROPERTY LINE	—	GRADING/SEEDING LIMITS

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 20, 2024
JAN. 22, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

240331100

SHEET NUMBER

C0.1



Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 20, 2024
JAN. 22, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

240331100

SHEET NUMBER

C0.2

CIVIL SPECIFICATIONS

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
B. CONTRACTOR SHALL TELEVIEW ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE AT TIME OF DEMOLITION. THE TELEVIEWING SHALL BE COMPLETED TO ENSURE THE EXISTING LATERAL(S) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION.
C. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING.
D. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT CONTRACTORS EXPENSE.

31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED.
D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY.
E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.

31 30 00 EROSION CONTROL

- A. THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES NR 216 NOTICE OF INTENT REQUIREMENTS.
B. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 15.11. THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS.
C. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS.
D. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

- A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
B. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
C. CONTRACTOR TO PROVIDE 4" WIDE YELLOW PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS.
D. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.

32 20 00 CONCRETE AND AGGREGATE BASE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
B. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 308-08 & ACI 318-08.
C. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR FIELD TEST RESULTS.
D. STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
E. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT.
F. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH CONTRACTOR REQUIRING PAD.
G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADIES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.

32 30 00 LANDSCAPING AND SITE STABILIZATION

- A. TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS.
B. SEEDS/LAWNS:
1. PERMANENT LAWN AREAS SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS./1,000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS./1,000 S.F.).
C. SEEDS/LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION.
D. EROSION MATTING:
1. CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN 5150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER.
E. SODDED LAWNS: PROVIDE SOD CONSISTING OF THE FOLLOWING GRASS SPECIES - 65% KENTUCKY BLUEGRASS, 20% PERENNIAL RYEGRASS, 15% FINE FESCUE.
F. SODDED LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE FOR ALL SODDED AREAS FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION.
G. TREES AND SHRUBS: FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING.
H. TREE AND SHRUB MAINTENANCE/WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION.

Table A: Allowable Pipe Material Schedule

Table with 7 columns: Utility, Material, Pipe Code, Fitting Code, Joint Code, Comments. Rows include Water Lateral, Sanitary Sewer, and Storm Sewer.

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES AGAINST THE PLAN (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION.
B. CONTRACTOR TO FIELD TELEVIEW ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE.
C. ALL SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE. ALL SANITARY PIPE BELOW PROPOSED AND FUTURE BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A.
D. CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY & STORM SERVICES AT LOCATIONS INDICATED ON THE UTILITY PLAN.
E. ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A.
F. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A.
G. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.

SHOP DRAWING SUBMITTALS

MATERIAL / INFORMATION

- 31.10.00 - TELEVIEWING REPORTS OF EXISTING LATERALS
• STORM
• SANITARY
32.10.00 (A) - AGGREGATE BASE & ASPHALT PAVEMENT
• HOT MIX ASPHALT SPECIFICATIONS
• AGGREGATE BASE
• PAVEMENT MARKINGS
32.20.00-CONCRETE AND AGGREGATE BASE
• DESIGN MIX
• AGGREGATE BASE
• COMPRESSION TEST RESULTS
• DETECTABLE WARNING PLATES
33.10.00 - SITE UTILITIES
• SANITARY & STORM MANHOLES
• SANITARY PIPING MATERIALS
• GREASE INTERCEPTOR SHOP DRAWINGS
• WATER PIPING MATERIALS
• WATER FITTINGS & APPURTENANCES
• STORM PIPING MATERIALS
7. MISCELLANEOUS ITEMS
• SITE LIGHTING



Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 20, 2024
JAN. 22, 2025

NOT FOR CONSTRUCTION

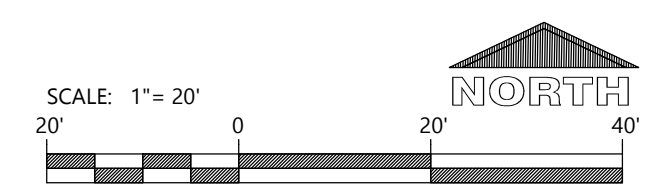
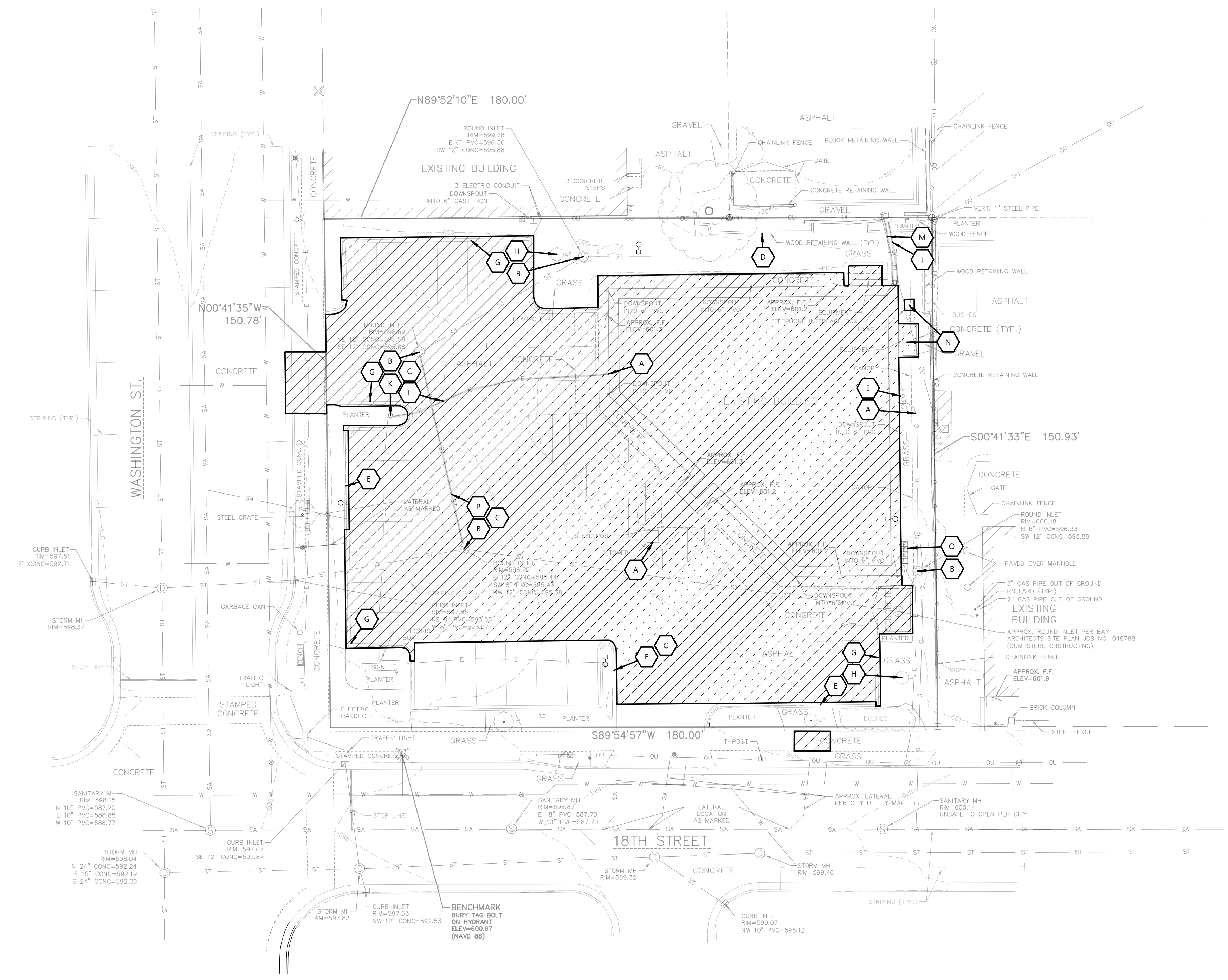
JOB NUMBER

240331100

SHEET NUMBER

C1.0

KEYNOTES	
A	REMOVE BUILDING, UTILITY SERVICES, AND ASSOCIATED SITE IMPROVEMENTS
B	PROTECT RIM
C	SAWCUT (AS NECESSARY) AND REMOVE PAVEMENT
D	PROTECT
E	PROTECT CURB
G	REMOVE CURB, SAWCUT (AS NECESSARY)
H	REMOVE TREE
I	REMOVE AND RELOCATE GAS METER
J	CONTRACTOR TO COORDINATE REMOVAL OF TV LINE WITH LOCAL UTILITY
K	REMOVE LIGHT POLE
L	CONTRACTOR TO COORDINATE REMOVAL OF ELECTRIC LINE WITH LOCAL UTILITY
M	CONTRACTOR TO COORDINATE REMOVAL OF TELEPHONE LINE WITH LOCAL UTILITY
N	REMOVE MECHANICAL EQUIPMENT
O	CONTRACTOR TO COORDINATE REMOVAL OF ELECTRICAL EQUIPMENT WITH LOCAL UTILITY
P	CONTRACTOR TO REMOVE 57' OF STORM LINE



CIVIL EXISTING SITE AND DEMOLITION PLAN



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 9, 2024
DEC. 20, 2024
JAN. 22, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

240331100

SHEET NUMBER

C1.1

GENERAL NOTES:

- CONTRACTOR TO PROVIDE ENGINEER WITH FINAL JOINTING PLAN PRIOR TO CONSTRUCTION.

SITE INFORMATION:

PROPERTY AREA: 27,152 S.F. (0.63 ACRES).
EXISTING ZONING: B-1 BUSINESS
PROPOSED ZONING: B-1 BUSINESS
PROPOSED USE: RESTAURANT WITH DRIVE-THRU
AREA OF SITE DISTURBANCE: 19,946 S.F. (0.45 ACRES)

SETBACKS:
BUILDING: FRONT (WEST) = 0'
SIDE (NORTH) = 0'
REAR (EAST) = 20'
STREET (SOUTH) = 0'

BUFFER YARD:
STREET FRONTAGE (S/W) = 5'
INTERIOR LOT LINE (N/E) = 5'

(MAX. HEIGHT ALLOWED: 75')

PARKING REQUIRED: 1 SPACE PER EACH VEHICLE CONNECTED WITH THE BUSINESS, 1 SPACE FOR OWNER OR MANAGER, 1 SPACE FOR EACH 2 EMPLOYEES ON DUTY WHEN FULLY STAFFED (5 SPACES FOR EMPLOYEES/MANAGER PLUS 13 FOR CUSTOMERS=18 REQ.)
PARKING PROVIDED: 19 SPACES (1 H.C. ACCESSIBLE)
HANDICAP STALLS REQUIRED: 1, **HANDICAP STALLS PROVIDED:** 1

KEYNOTES

1	CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
2	RAISED WALK (SEE DETAIL)
6	ADA CURB RAMP (SEE DETAIL)
7	18" CURB & GUTTER (SEE DETAIL)
10	CURB CUT (SEE DETAIL)
11	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
12	HANDICAP SIGN PER STATE CODE (SEE DETAIL)
13	HANDICAP STALL & STRIPING PER STATE CODES
15	REBRAND EXISTING MONUMENT SIGN (DETAILS, FINAL LOCATION, & APPROVAL BY SIGN VENDOR)
16	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
21	DETECTABLE WARNING PLATE PER STATE CODE
22	TRAFFIC FLOW ARROWS (TYP). COLOR TO MATCH PARKING STALL STRIPING
24	MENU BOARD AND CANOPY. DETAIL BY SUPPLIER.
26	12'X 30' LOADING ZONE
27	SIGHT VISION TRIANGLE OF EXISTING MURAL FROM INTERSECTION OF WASHINGTON AND 18TH
28	EXISTING MURAL
29	CLEARANCE BAR AND BOLLARD WITH DRIVE-THRU SIGN

EXISTING SITE DATA

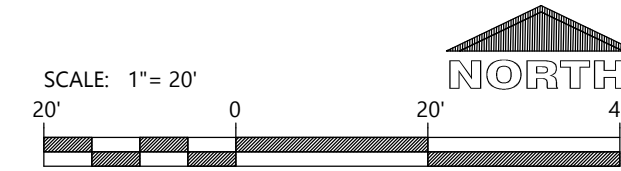
	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.14	5,972	22.0%
PAVEMENT (ASP. & CONC.)	0.45	19,486	71.8%
TOTAL IMPERVIOUS	0.58	25,458	93.8%
LANDSCAPE/ OPEN SPACE	0.04	1,694	6.2%
PROJECT SITE	0.62	27,152	100.0%

PROPOSED SITE DATA

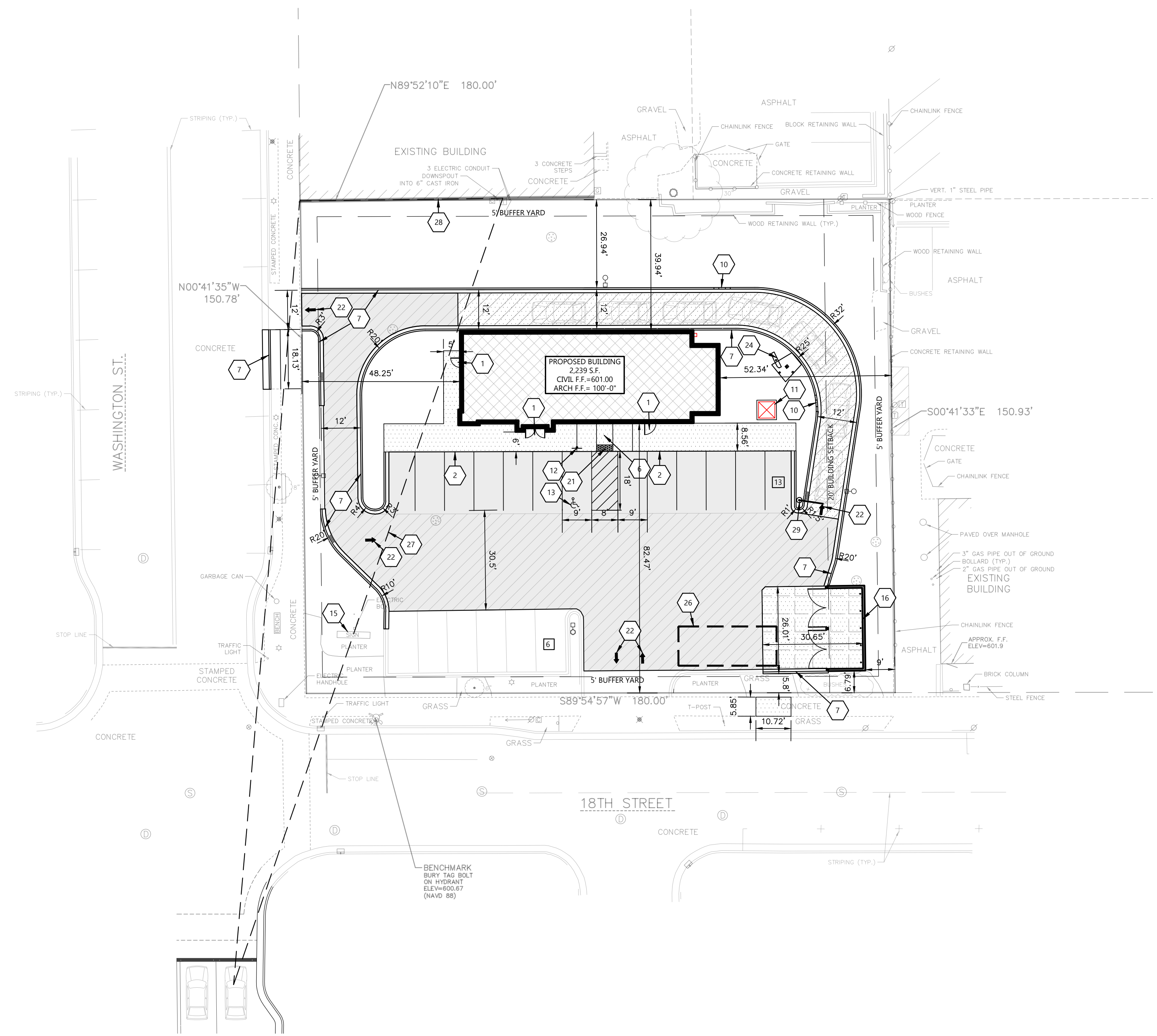
	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.05	2,239	8.2%
PAVEMENT (ASP. & CONC.)	0.33	14,471	53.3%
TOTAL IMPERVIOUS	0.38	16,710	61.5%
LANDSCAPE/ OPEN SPACE	0.24	10,442	38.5%
PROJECT SITE	0.62	27,152	100.0%

LEGEND:

HATCH	PAVEMENT SECTION
[Hatch Pattern]	STANDARD ASPHALT
[Hatch Pattern]	HEAVY DUTY ASPHALT
[Hatch Pattern]	SIDEWALK CONCRETE
[Hatch Pattern]	HEAVY DUTY CONCRETE
[Hatch Pattern]	DUMPSTER PAD CONCRETE



CIVIL SITE PLAN





Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

GENERAL NOTES:

- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
- ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.
- CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

KEYNOTES

EC 1	SILT FENCE
EC 2	DITCH CHECK
EC 3	STABILIZED CONSTRUCTION ENTRANCE
EC 4	INLET PROTECTION
EC 5	SEDIMENT LOG

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 20, 2024
JAN. 22, 2025

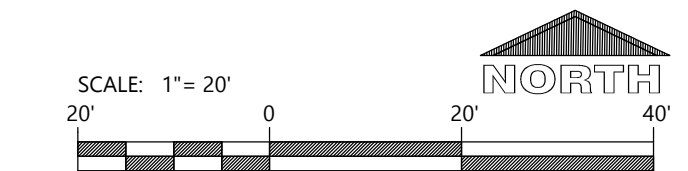
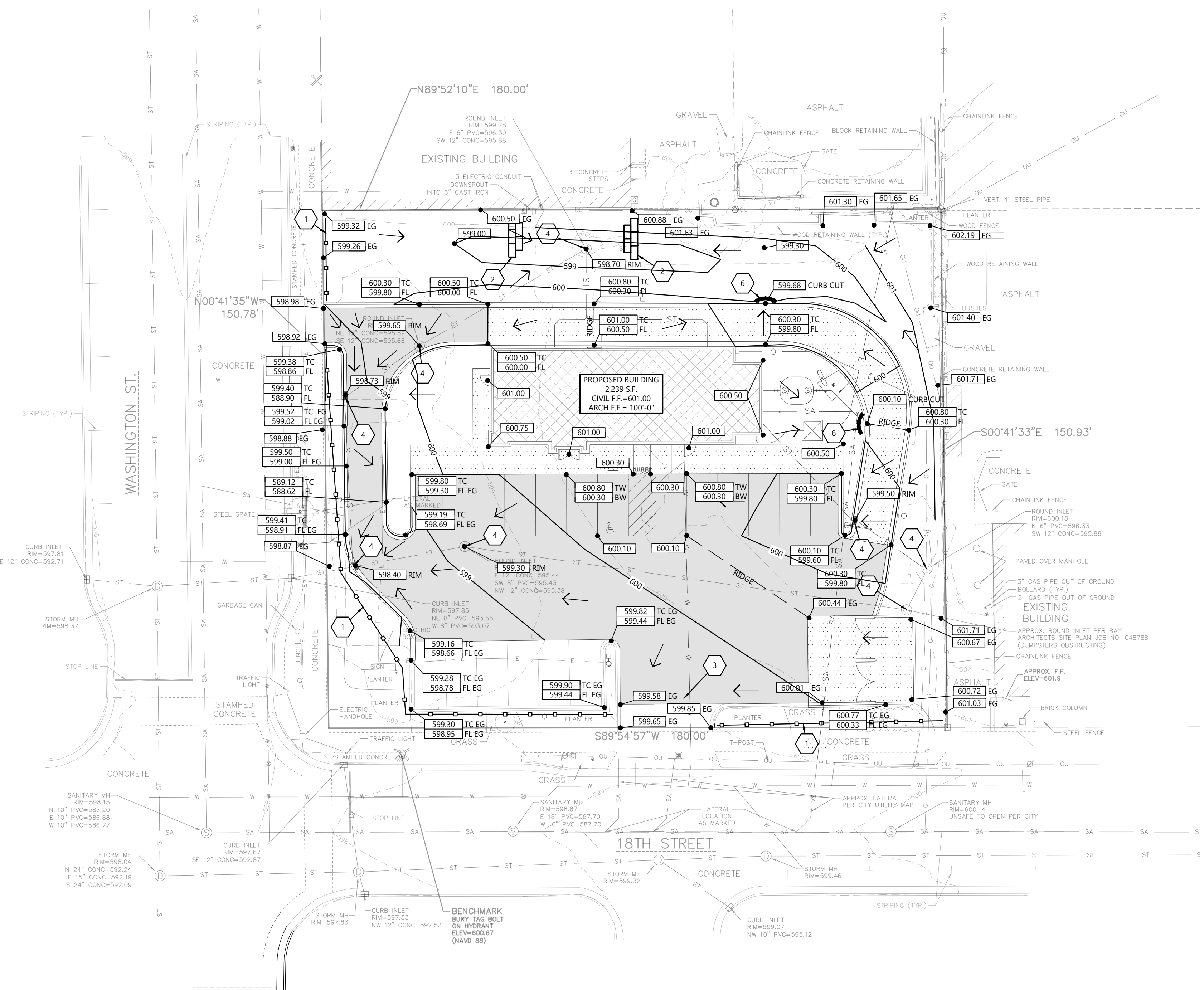
NOT FOR CONSTRUCTION

JOB NUMBER

240331100

SHEET NUMBER

C1.2



CIVIL GRADING AND EROSION CONTROL PLAN



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 20, 2024
JAN. 22, 2025

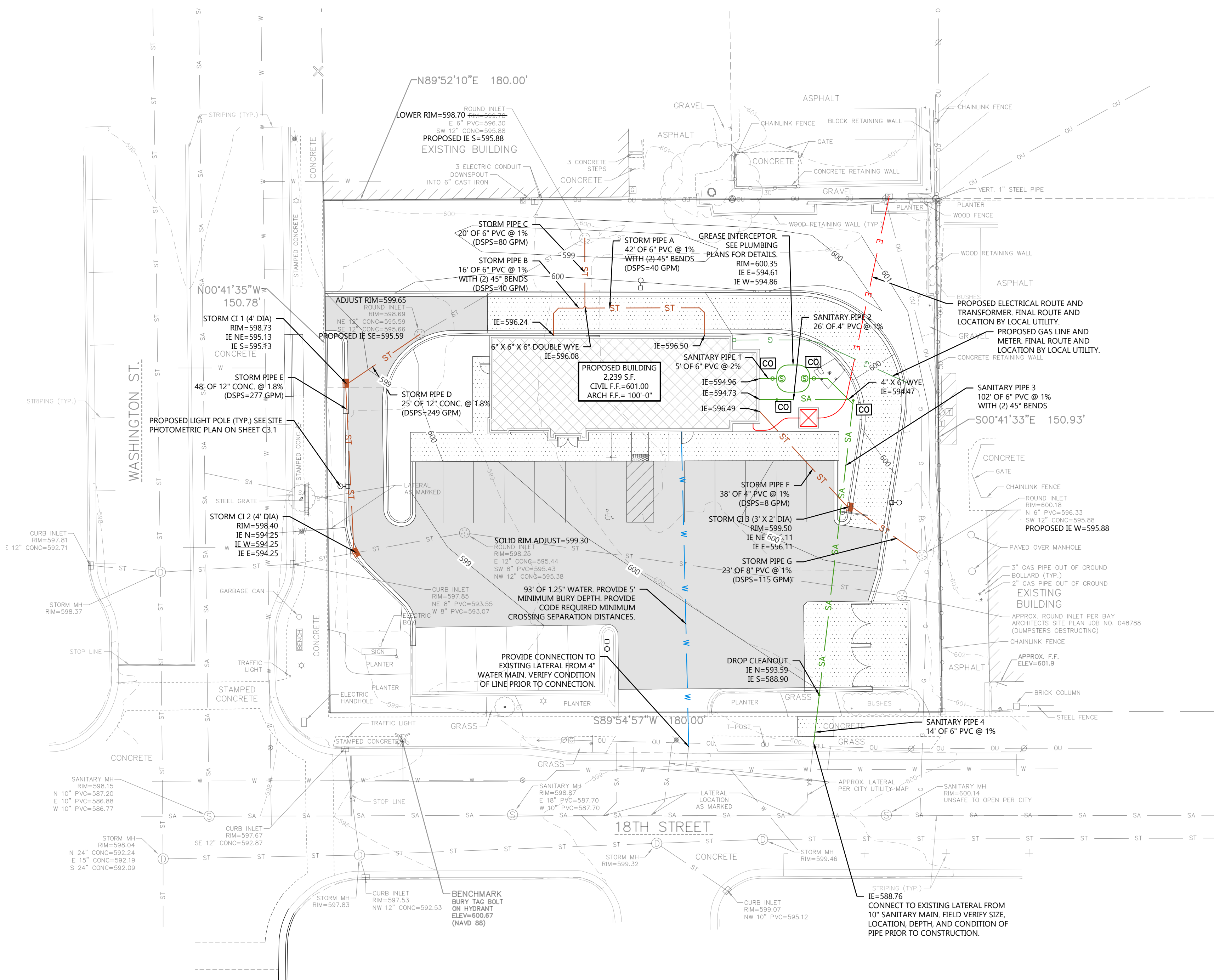
NOT FOR CONSTRUCTION

JOB NUMBER

240331100

SHEET NUMBER

C1.3



CIVIL UTILITY PLAN



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

JAN. 22, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

240331100

SHEET NUMBER

C1.4

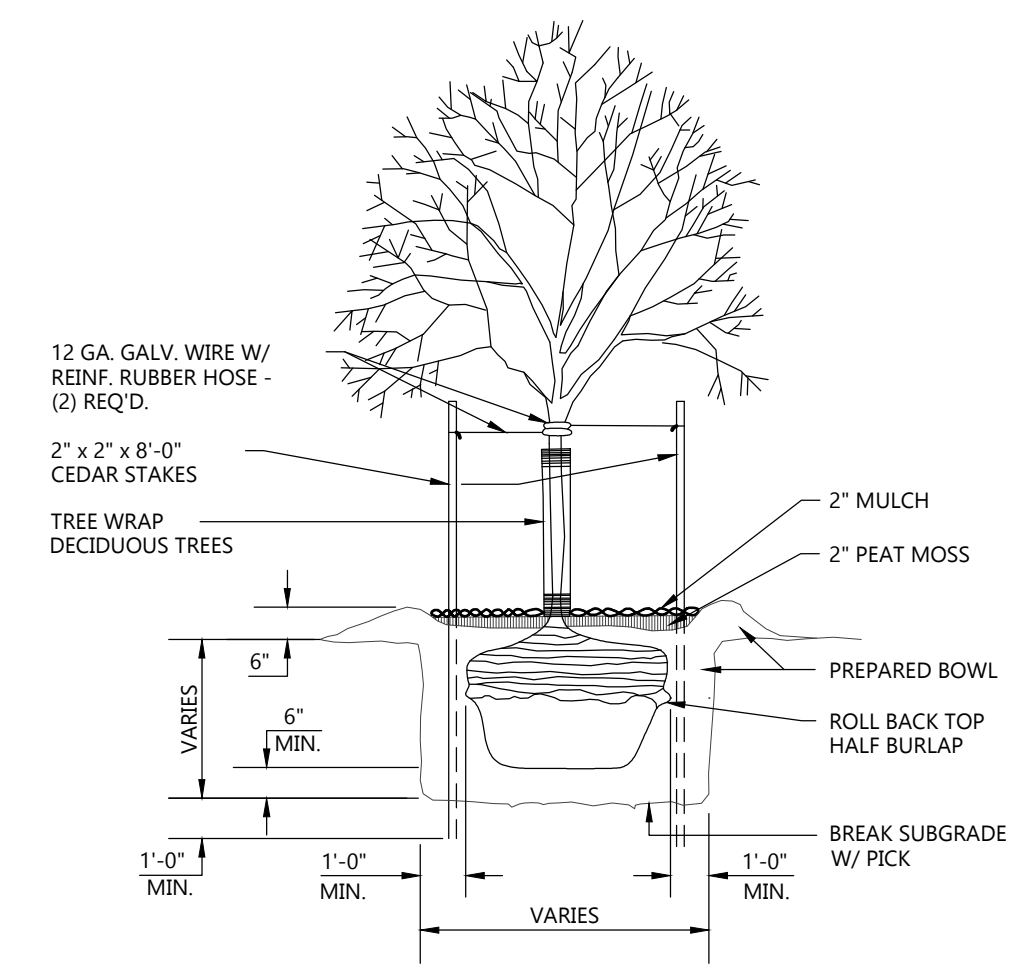
LANDSCAPING PLANTING SCHEDULE					
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	PLANTED SIZE	ROOT
DECIDUOUS TREES					
☉	Lancelot Crabapple	Malus 'Lanzam'	1	5 GAL.	CONT.
EVERGREEN TREES					
☉	Arborvitae - Nigra	Thuja occidentalis 'Nigra'	8	5 GAL.	CONT.
EXISTING SHRUBS					
○	Existing Vegetation to Remain	--	45	--	--
DECIDUOUS SHRUBS					
☉	Goldmound Spirea	Spiraea x bumalda 'Goldmound'	8	18" HT.	CONT.
PERENNIALS					
☼	Happy Returns Daylily	Hemerocallis 'Happy Returns'	14	1 GAL.	POT
☼	Garden Sage	Salvia officinalis	19	1 GAL.	POT
☼	Rosemary	Rosmarinus officinalis	14	1 GAL.	POT

LANDSCAPING CALCULATIONS		
ZONE	REQ. PLANTS	PLANTS PROVIDED
INTERIOR LANDSCAPING	8,808 SF OF PARKING AREA / 19 TOTAL SPACES - INTERIOR LANDSCAPING SHALL BE AT LEAST 4% OF THE TOTAL SURFACE PARKING AREA - 1 TREE PER 10 PARKING SPACES REQUIRED: 352 SF OF LANDSCAPING / 2 TREES	PROVIDED: 590 SF EXISTING / 51 SF PROPOSED = 641 SF 1 EXISTING / 1 PROPOSED TREE = 2 TREES

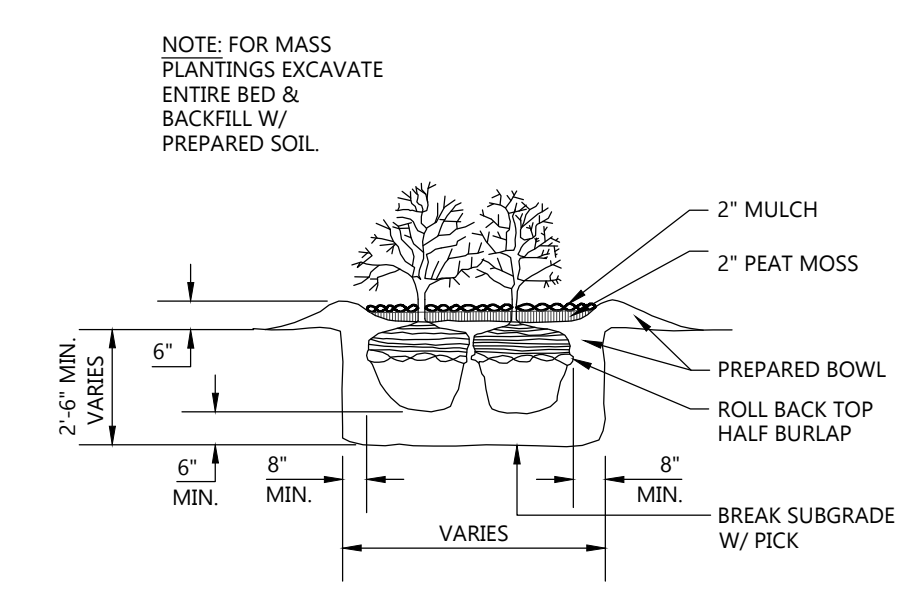
- GENERAL NOTES:**
- PROTECT ALL EXISTING VEGETATION TO REMAIN SHOWN ON PLAN AND REPLACE IN KIND IF DAMAGED OR REMOVED.
 - AREAS OF SOD SHOWN ALONG OUTER DRIVE AISLE ARE ESTIMATED BASED ON PROPOSED DEMOLITION AREAS. REPLACE DISTURBED LAWN AREA WITH SOD AS NEEDED.

HATCH KEY:

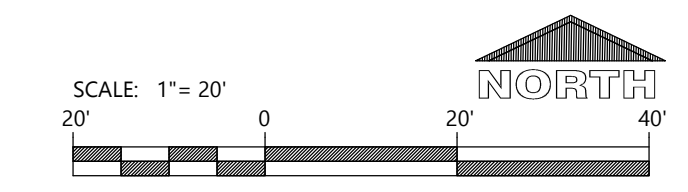
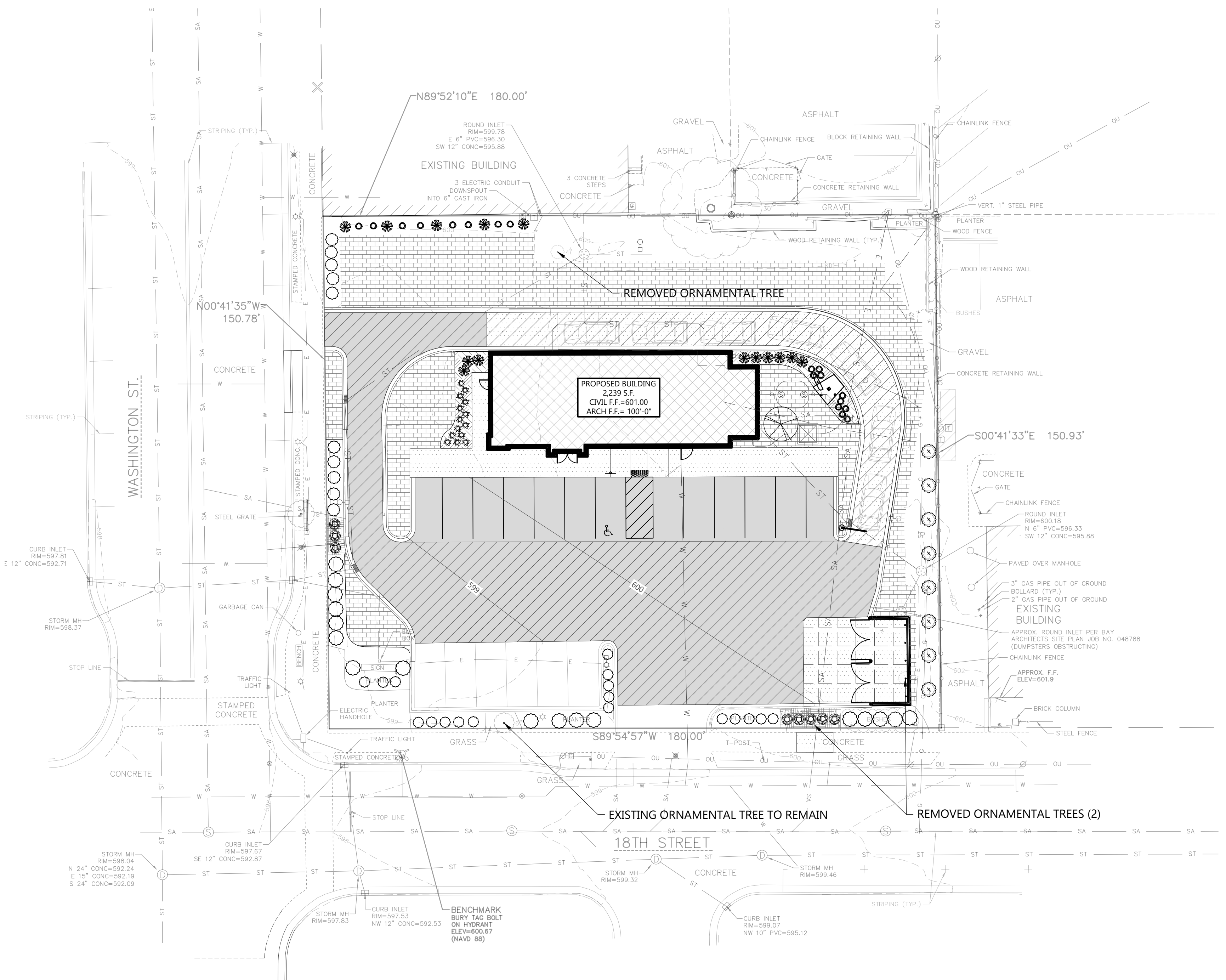
HATCH	LANDSCAPE MATERIAL
	MINERAL MULCH (RIVER GRAY ROCK)
	ORGANIC MULCH (TO MATCH EXISTING)
	SODDED LAWN (TO MATCH EXISTING LAWN)



TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE





Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 20, 2024
JAN. 22, 2025

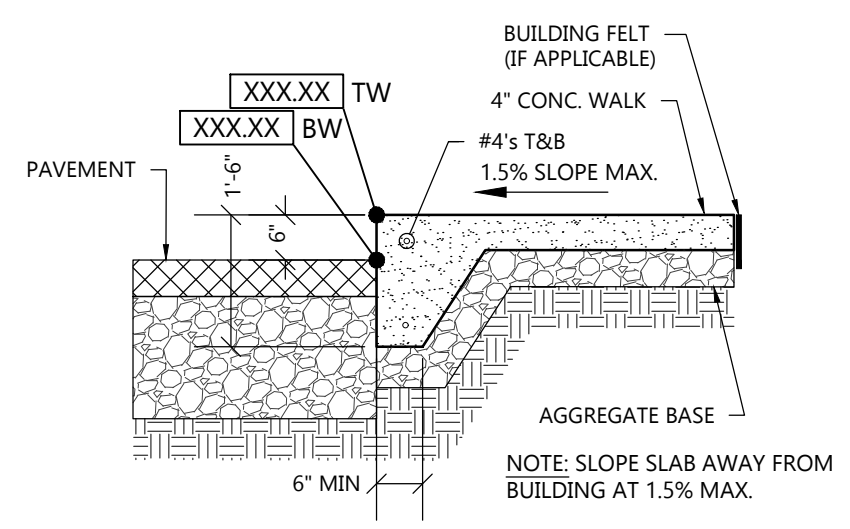
NOT FOR CONSTRUCTION

JOB NUMBER

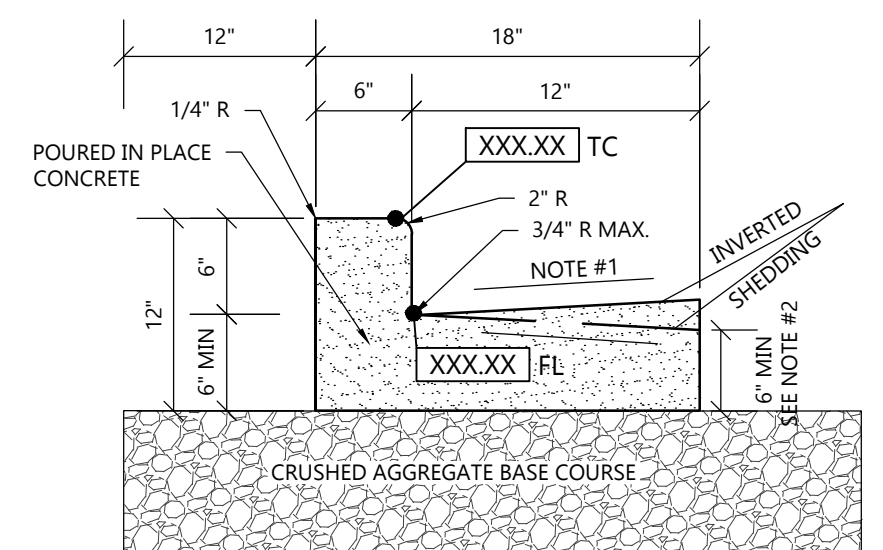
240331100

SHEET NUMBER

C2.0

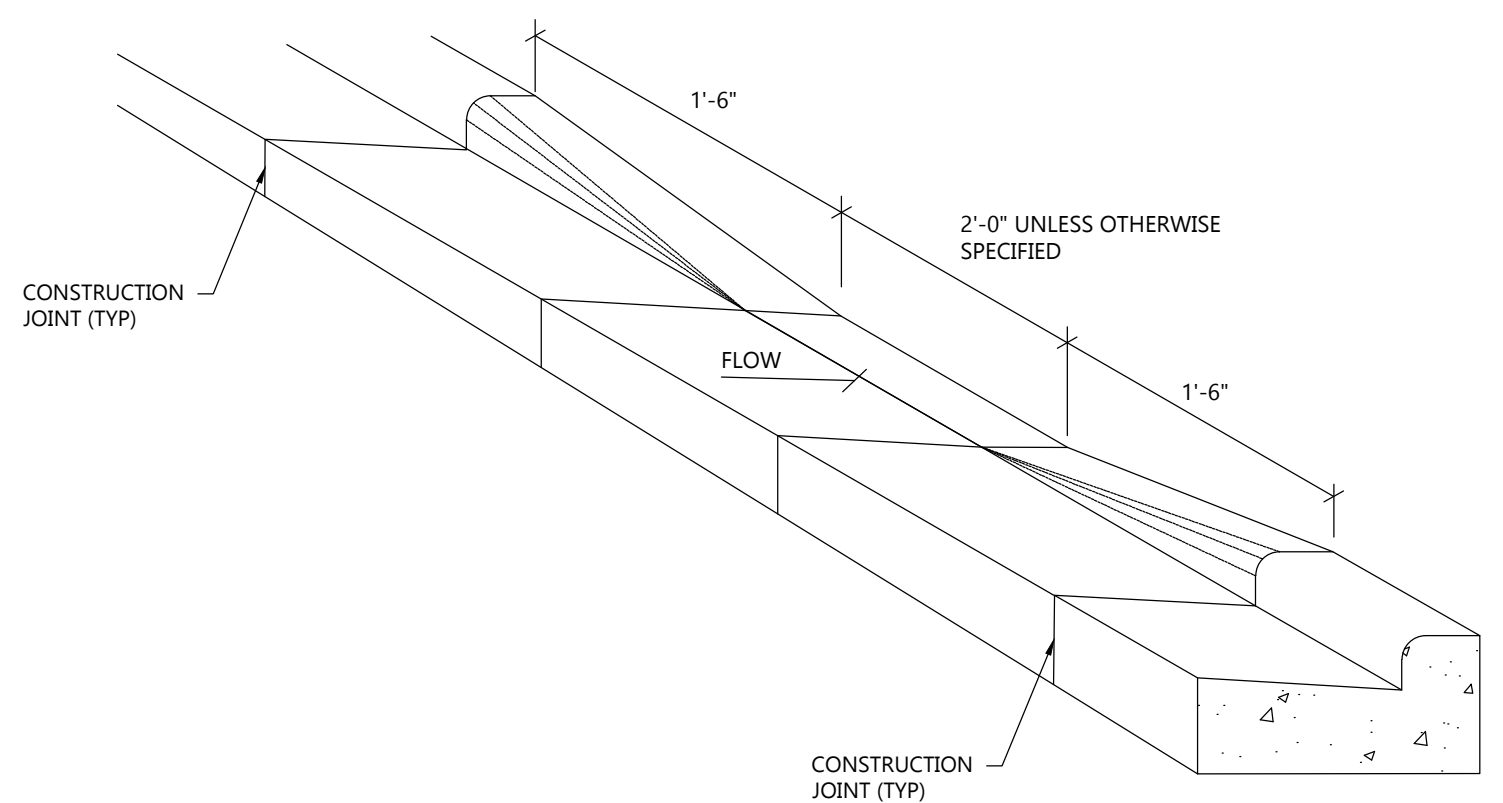


RAISED WALK DETAIL
NOT TO SCALE

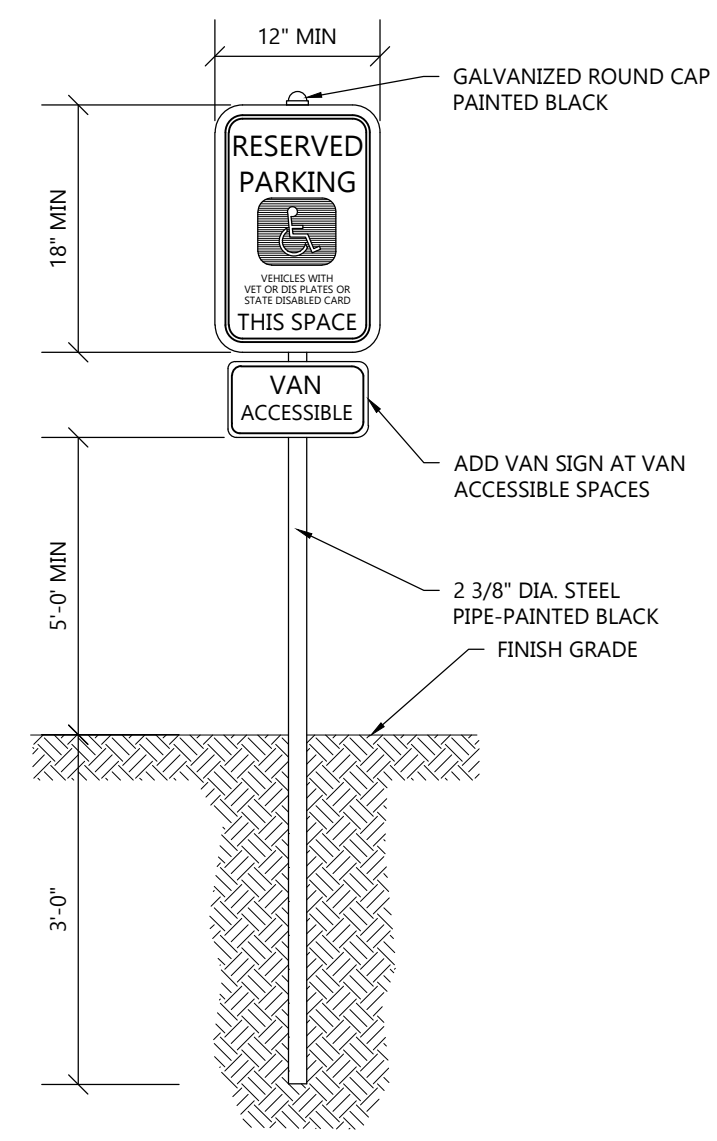


- NOTE:
- USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
 - THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6\"/>
 - SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS

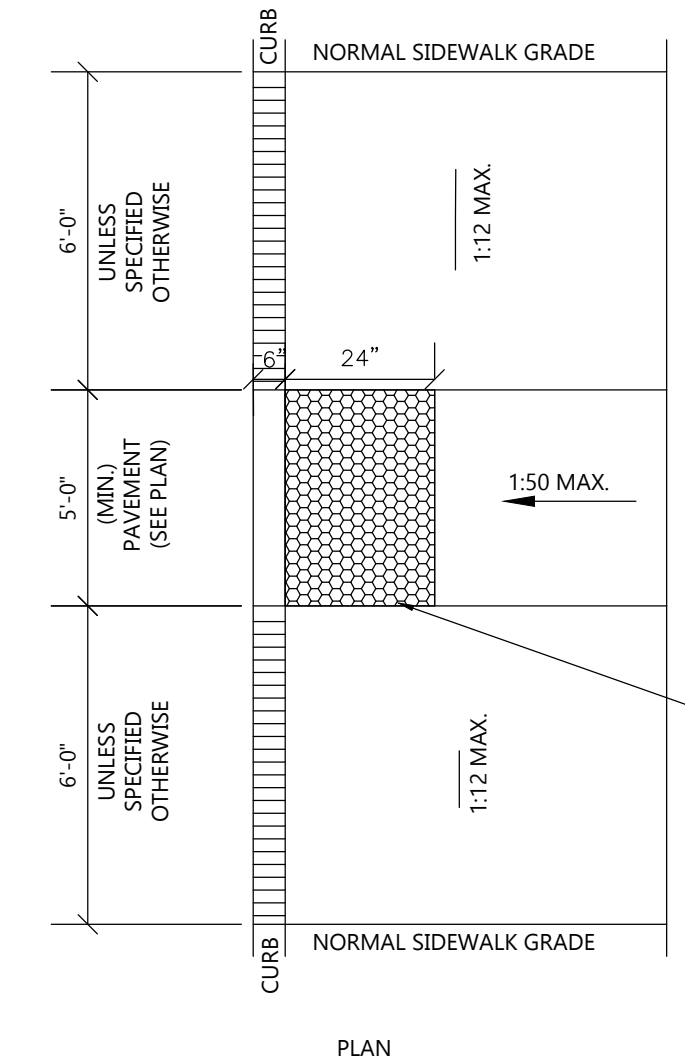
18\"/>



CURB CUT DETAIL
NOT TO SCALE



HANDICAP SIGNAGE WITHOUT CONCRETE BASE DETAIL
NOT TO SCALE



NOTE:
ADA CURB RAMP SHALL CONFORM TO THE CURRENT EDITION OF ADA STANDARDS FOR ACCESSIBLE DESIGN FOR ALL REQUIREMENTS.

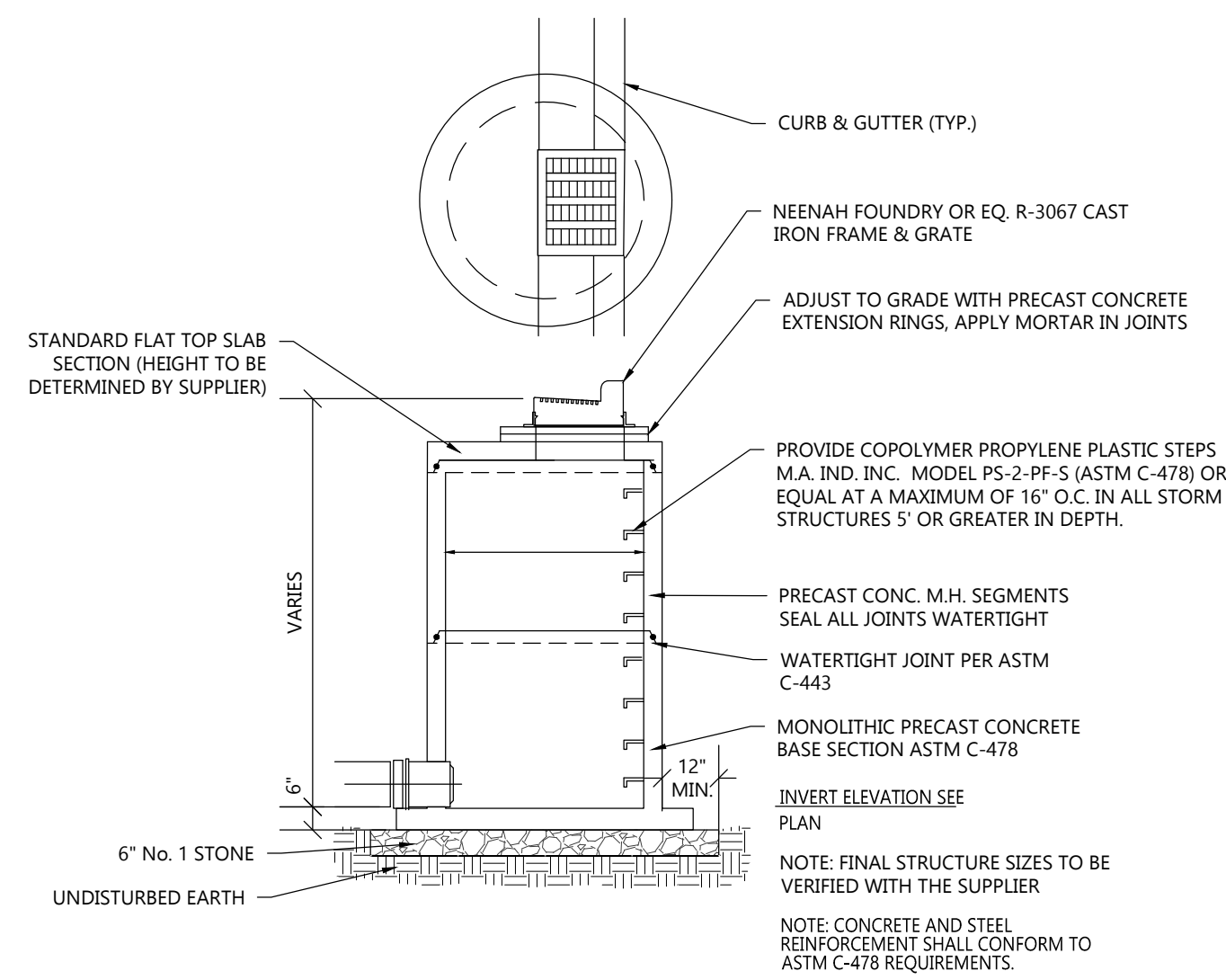
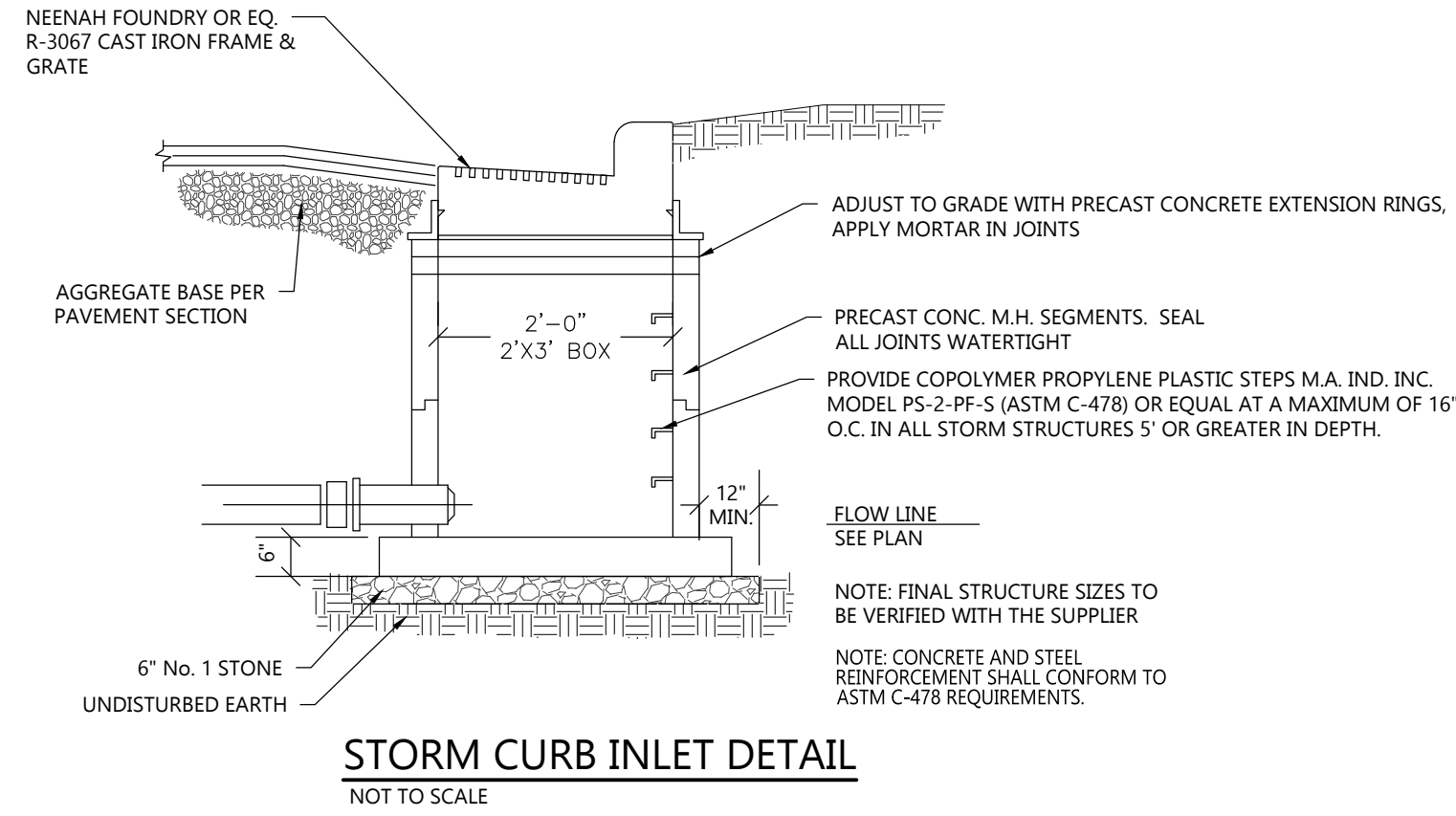
DETECTABLE WARNING SURFACE SURFACE TO BE TRUNCATED DOMES WITH A BASE DIAMETER OF 0.9\"/>

ADA SIDEWALK RAMP DETAIL
NOT TO SCALE

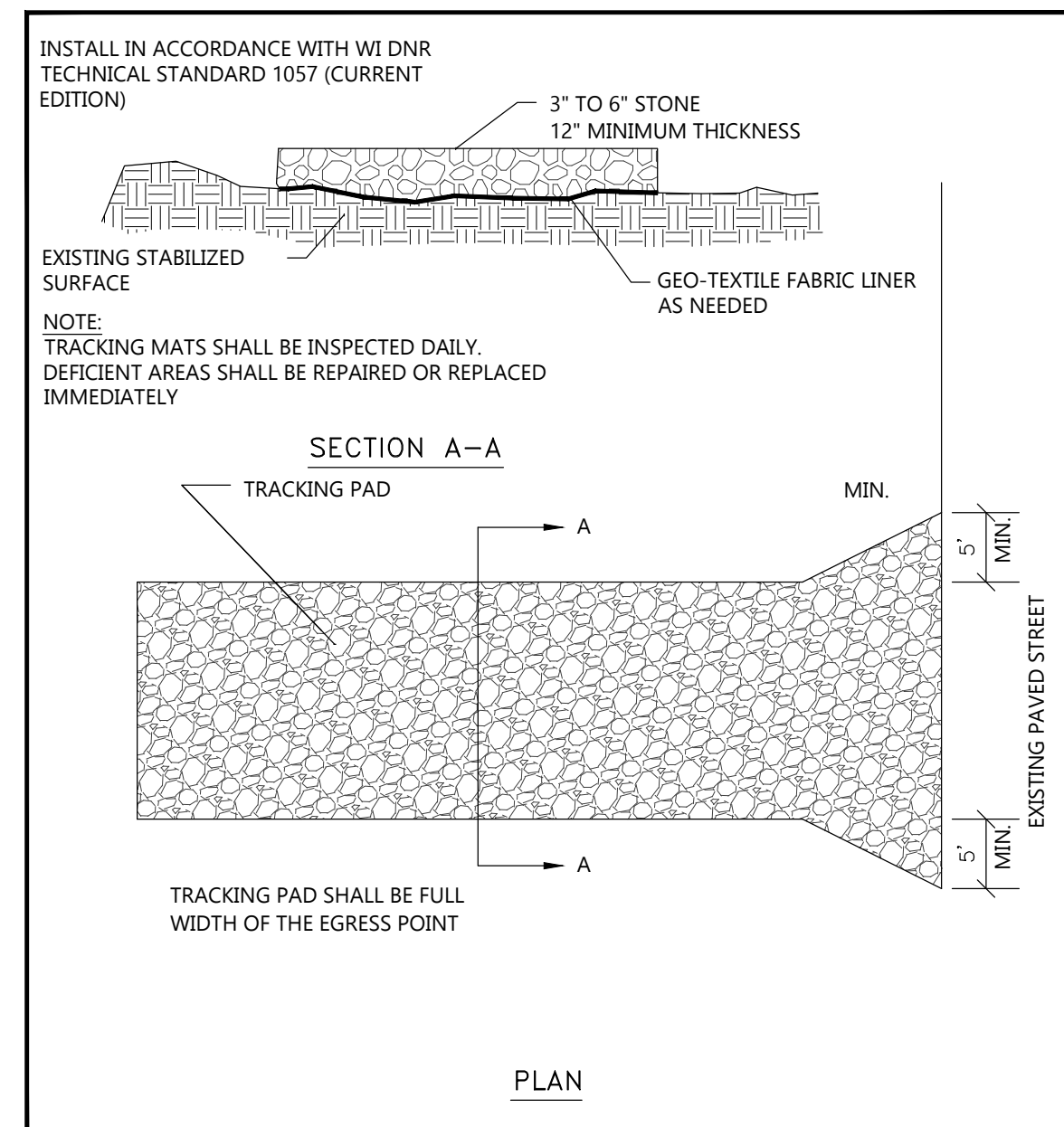
CIVIL DETAILS

PROJECT INFORMATION

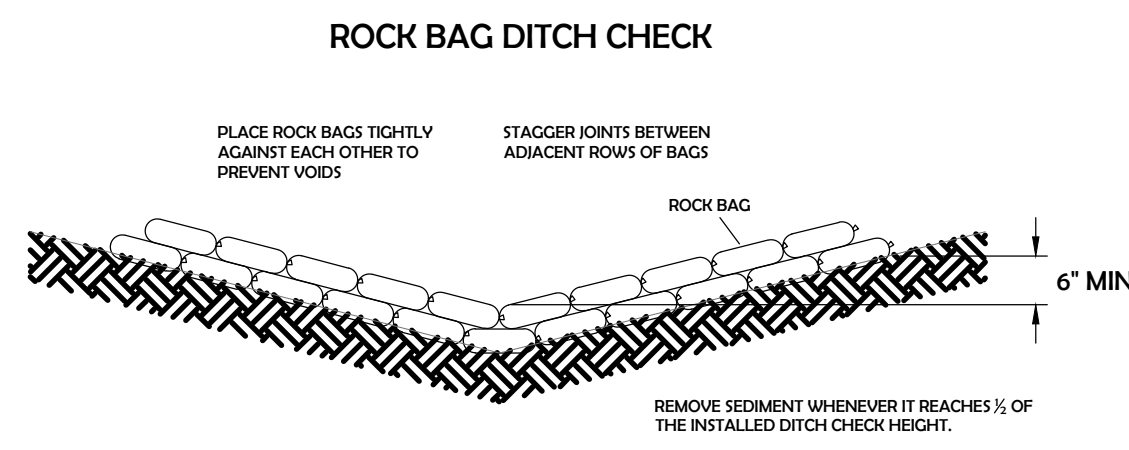
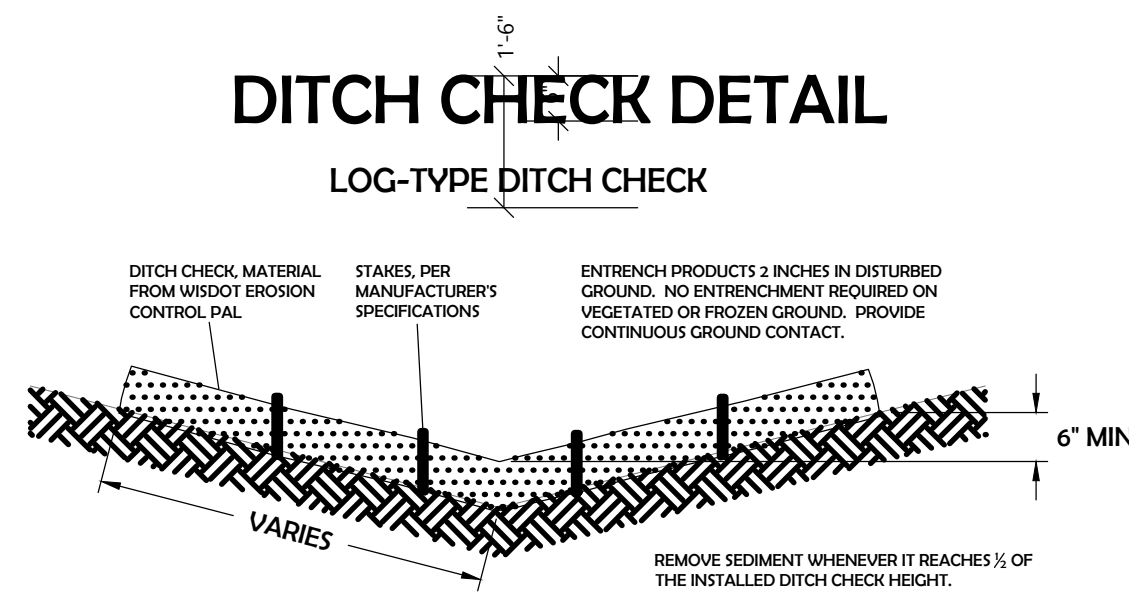
NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241



STORM CURB INLET W/ ROUND STRUCTURE DETAIL
NOT TO SCALE



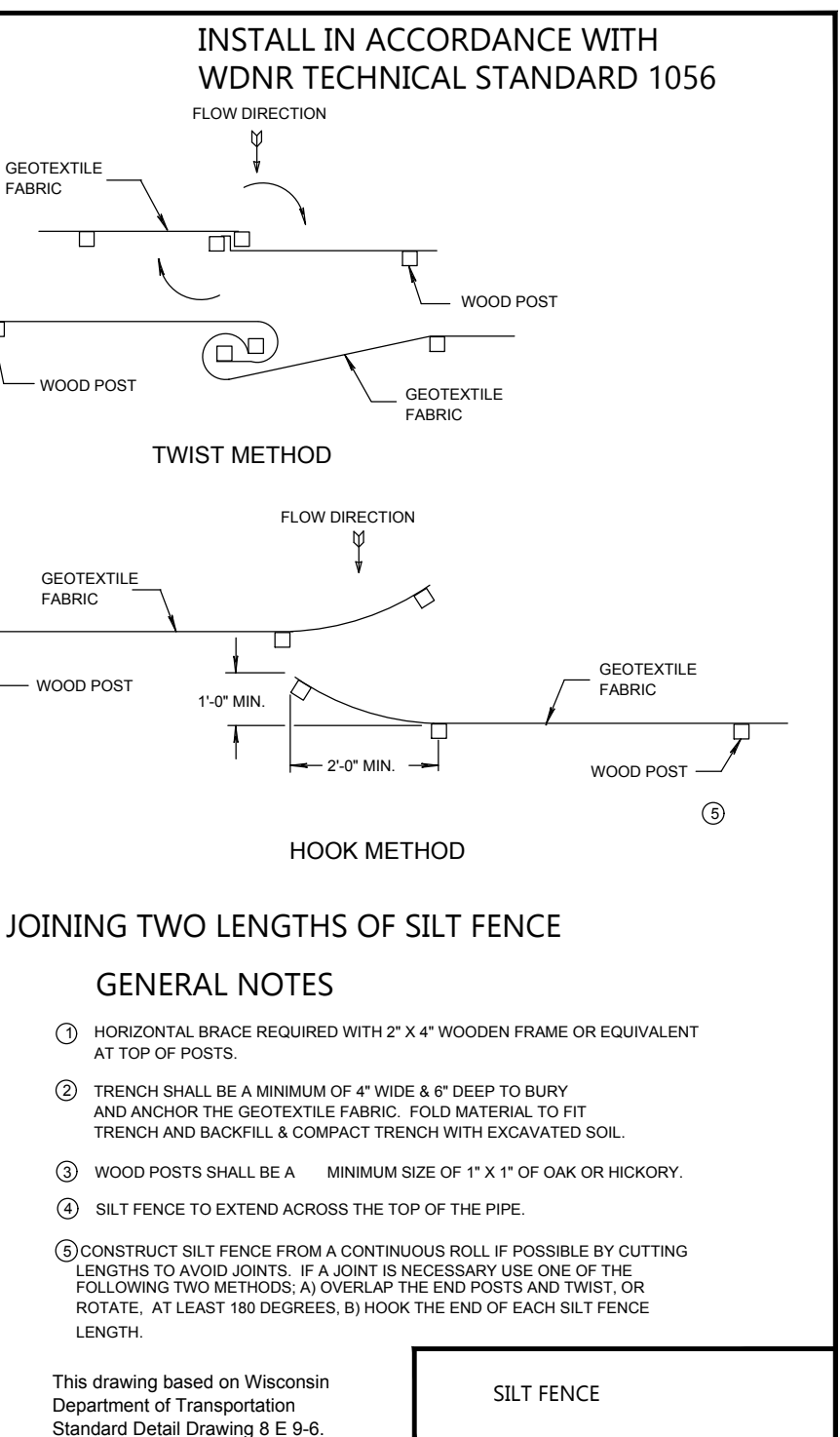
TRACKPAD DETAILS
NOT TO SCALE



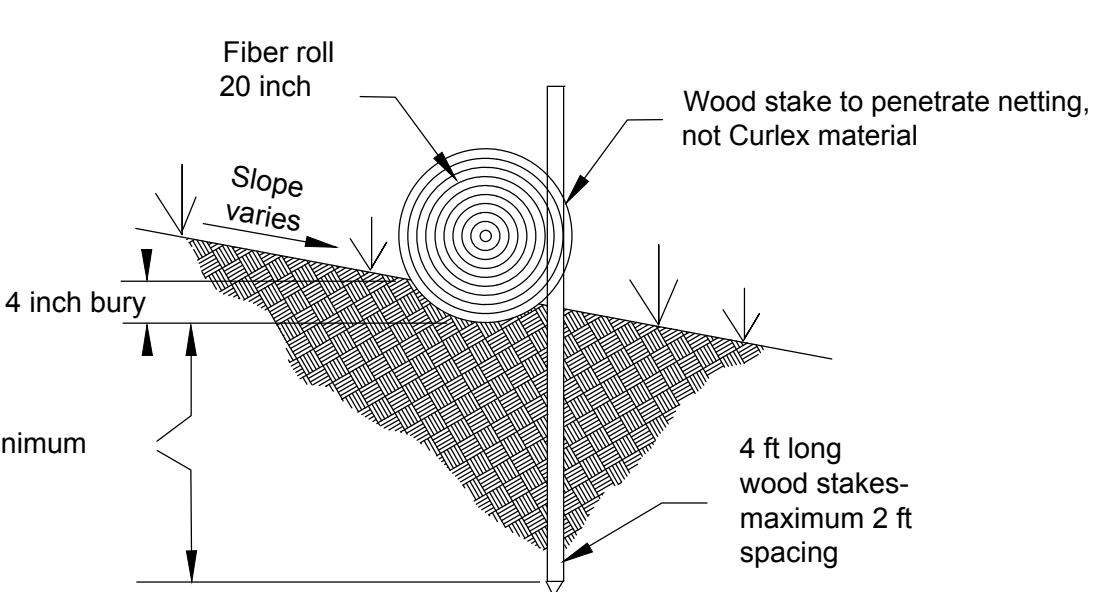
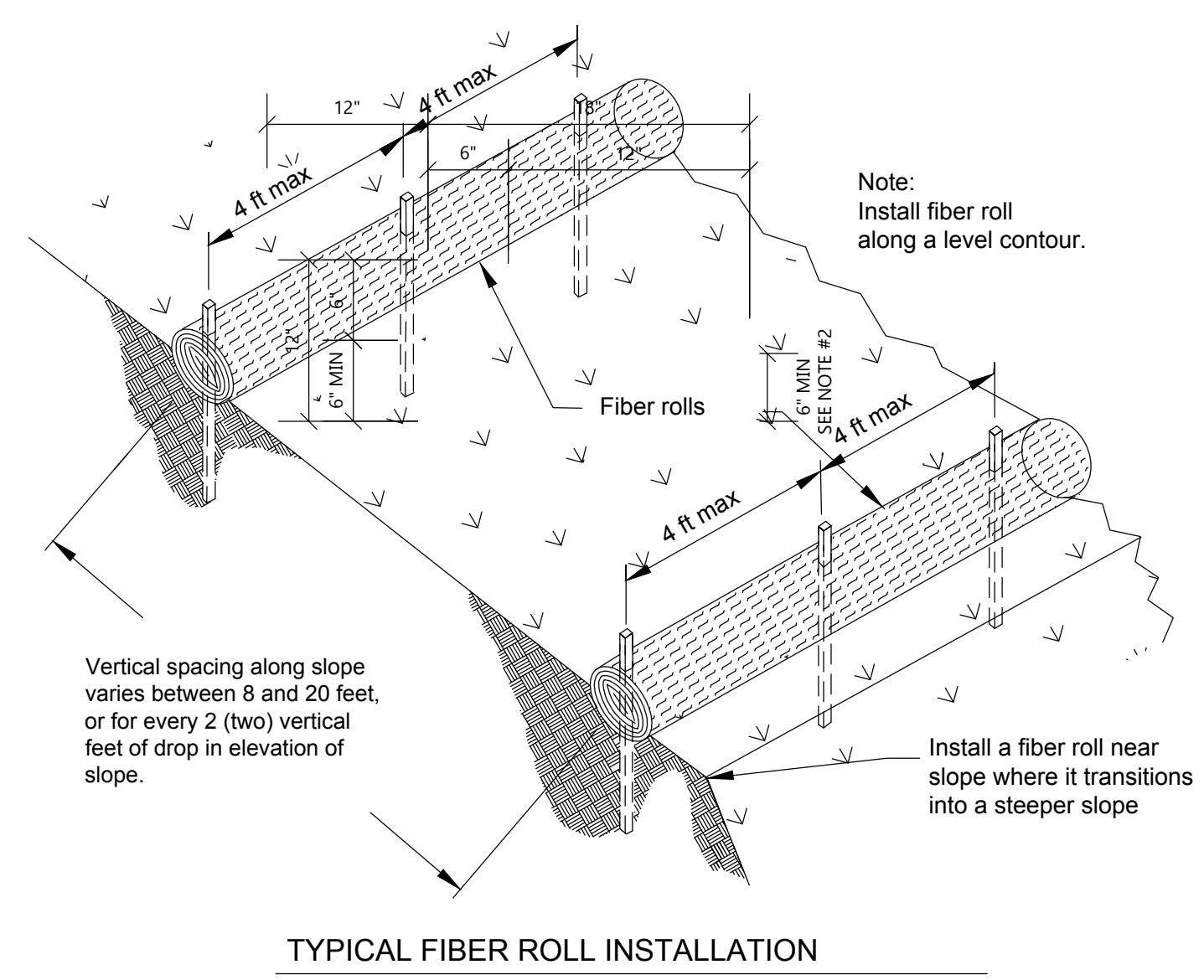
FILL BAGS WITH AGGREGATE CONFORMING TO THE FOLLOWING GRADATION (WISDOT NO. 1 COARSE AGGREGATE)

SIEVE	PERCENT PASSING BY WEIGHT
2-INCH	-
1 1/2-INCH	-
1-INCH	100
3/4-INCH	90-100
3/8-INCH	20-55
No. 4	0-10
No. 8	0-5

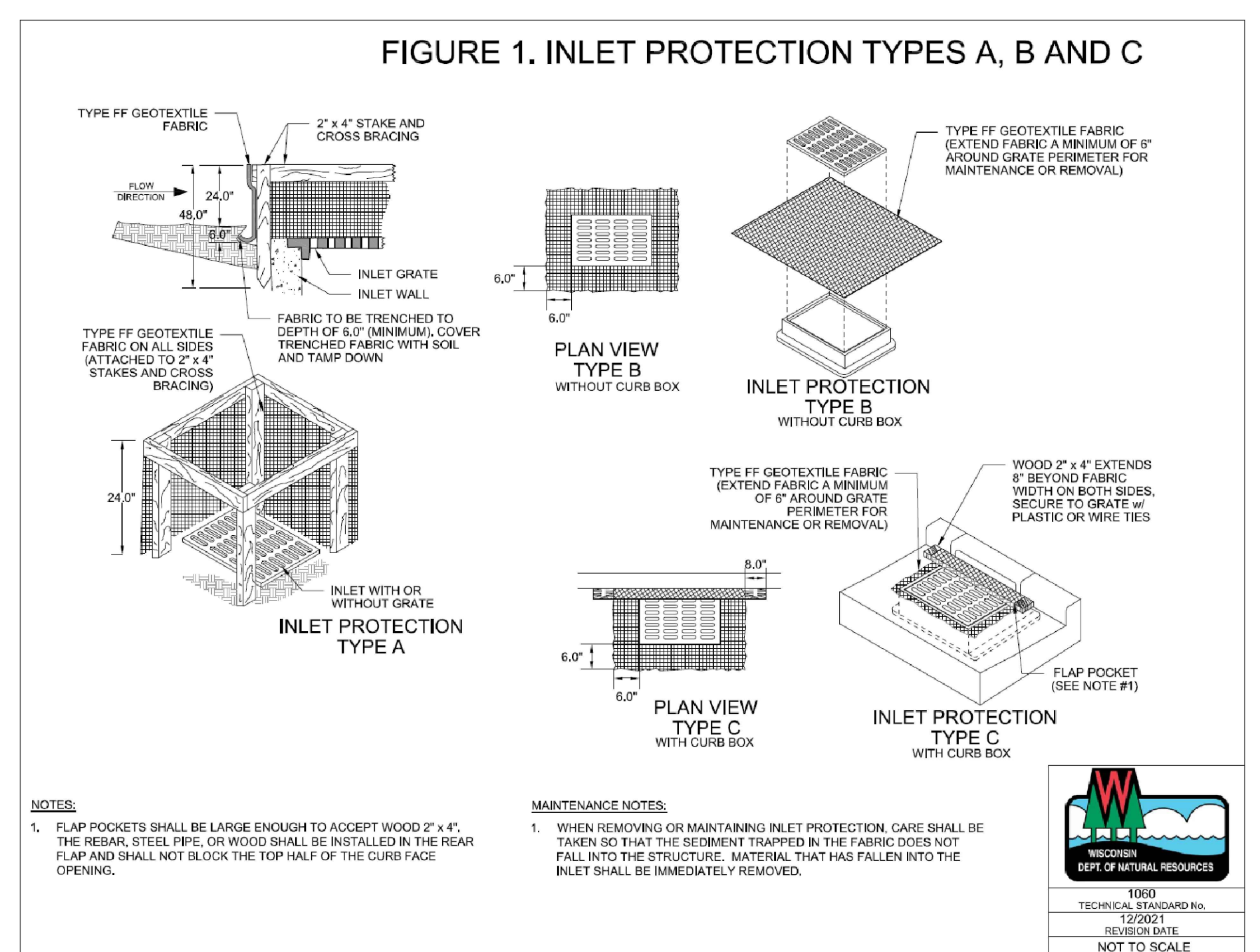
PROVIDE BAGS MADE OF HIGH-DENSITY POLYETHYLENE OR GEOTEXTILE FABRIC
BAGS SHALL HAVE A MINIMUM IN-PLACE FILLED SIZE OF 18 INCHES LONG BY 12 INCHES WIDE BY 6 INCHES HIGH



SILT FENCE - INSTALLATION DETAIL
NOT TO SCALE



SEDIMENT LOG INSTALLATION
NOT TO SCALE



INLET PROTECTION DETAIL
NOT TO SCALE

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 20, 2024
JAN. 22, 2025

JOB NUMBER

240331100

SHEET NUMBER

C2.1

NOT FOR CONSTRUCTION



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 20, 2024
JAN. 22, 2025

JOB NUMBER

240331100

SHEET NUMBER

C3.1

Catalog #: _____ Project: _____
Prepared By: _____ Date: _____ Type: _____

Mirada Medium (MRM)
Outdoor LED Area Light



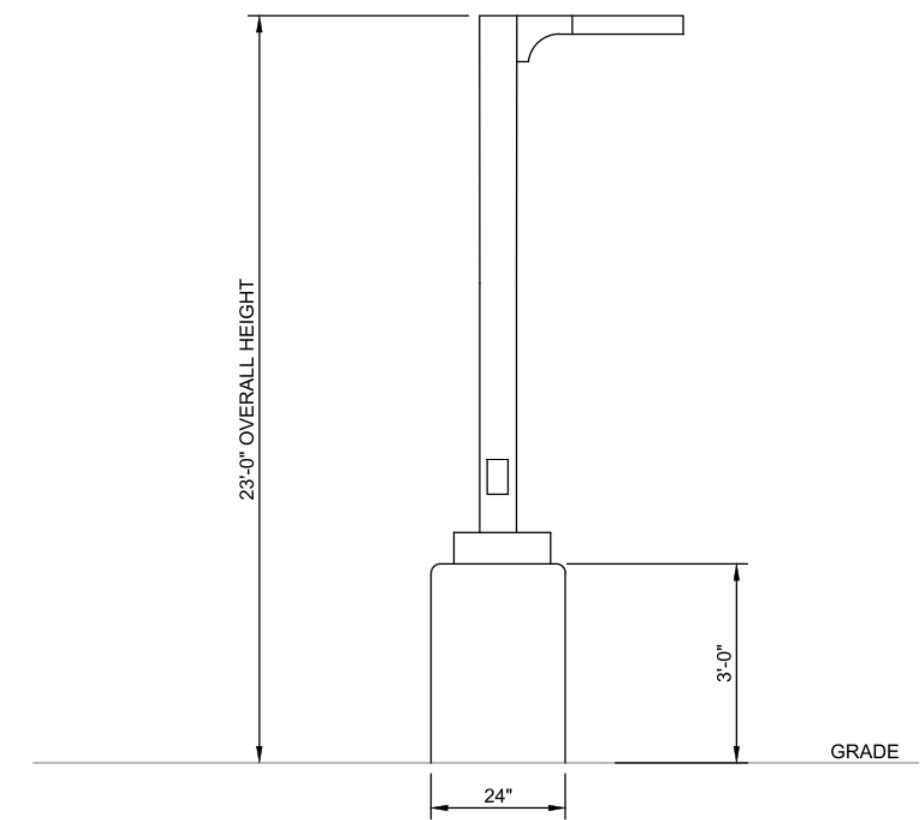
OVERVIEW	
Lumen Package	7000 - 48,000
Wattage Range	48 - 401
Efficacy Range (LPW)	117 - 160
Weight (lbs/kg)	30 (13.6)

QUICK LINKS	
Ordering Guide	Performance
Photometrics	Dimensions

FEATURES & SPECIFICATIONS

- | | | |
|--|--|---|
| <p>Construction</p> <ul style="list-style-type: none"> Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath. Designed to mount to square or round poles. Fixtures are finished with LSI's DuraGrip polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory. Shipping weight: 37 lbs in carton. <p>Optical System</p> <ul style="list-style-type: none"> State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component. Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FT& and AM. Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%. Zero uplight. Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak Intensity at 60nm. Minimum CRI of 70. Integral louver (L) and house-side shield (H) options available for improved backlight control without sacrificing street side performance. See page 9 for more details. | <p>Electrical</p> <ul style="list-style-type: none"> High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available. 0-10V dimming (0% - 100%) standard. Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac). LED Calculated Life: >100K Hours (See Lumen Maintenance on Page 5) Total harmonic distortion: <20% Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. Power factor: >90 Input power stays constant over life. Field replaceable MOV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C82.41.2). High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation Components are fully encased in potting material for moisture resistance. Driver and key electronic components can easily be accessed. <p>Controls</p> <ul style="list-style-type: none"> Optional integral passive infrared Bluetooth™ motion and photocell sensor (see page 9 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app. LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see page 9 for more details). | <p>Installation</p> <ul style="list-style-type: none"> Designed to mount to square or round poles. A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment. Included terminal block accepts up to 12 ga wire. Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9) <p>Warranty</p> <ul style="list-style-type: none"> LSI LED Fixtures carry a 5-year warranty. <p>Listings</p> <ul style="list-style-type: none"> Listed to UL 1598 and UL 8750. Meets Buy American Act requirements. IP66 compliant, with 3000K color temperature selection. Table 24 Compliant; see local ordinance for qualification information. Suitable for wet Locations. IP66 rated Luminaire per IEC 60598. 3G rated for ANSI C136.31 high vibration applications are qualified. DesignLights Consortium™ (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLC to confirm which versions are qualified. Patented Silicone Optics (US Patent NO. 10,896,852) IK08 rated luminaire per IEC 60626 mechanical impact code <p>Specifications and dimensions subject to change without notice.</p> |
|--|--|---|

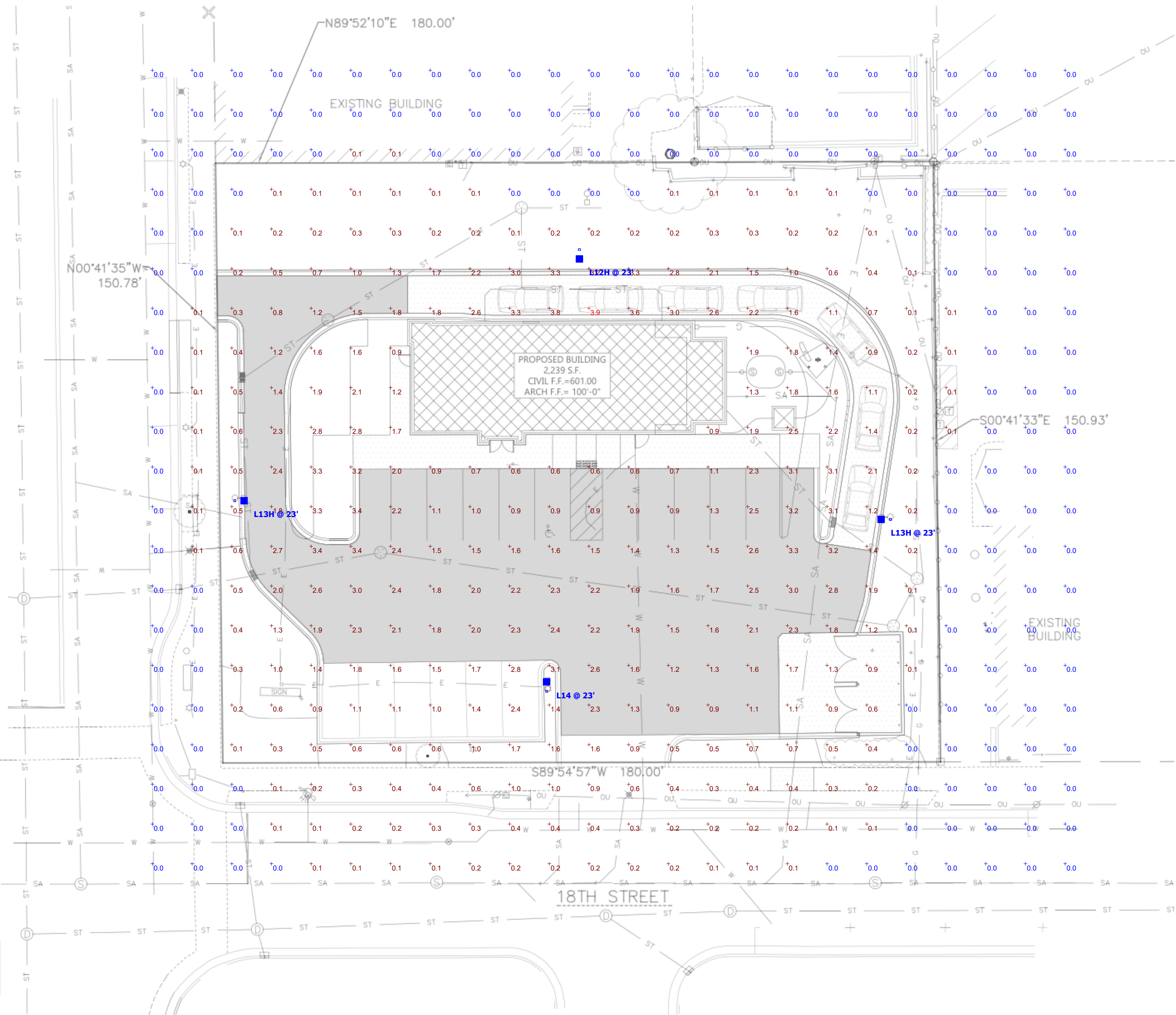
LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsicorp.com
Page 1/9 Rev. 09/08/21
SPEC. 348-A-1929



LIGHT POLE DETAIL
NO SCALE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	L14	1	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-FT-40-70CRI	1	13143	1	85
□	L13H	2	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-3-40-70CRI-IL	1	9143	1	85
□	L12H	1	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-2-30-70CRI-IL	1	7985	1	85

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.7 fc	3.9 fc	0.0 fc	N/A	N/A



CIVIL SITE PHOTOMETRIC PLAN & DETAILS



Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54935
 920-926-9800
 excelengineer.com

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
 1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

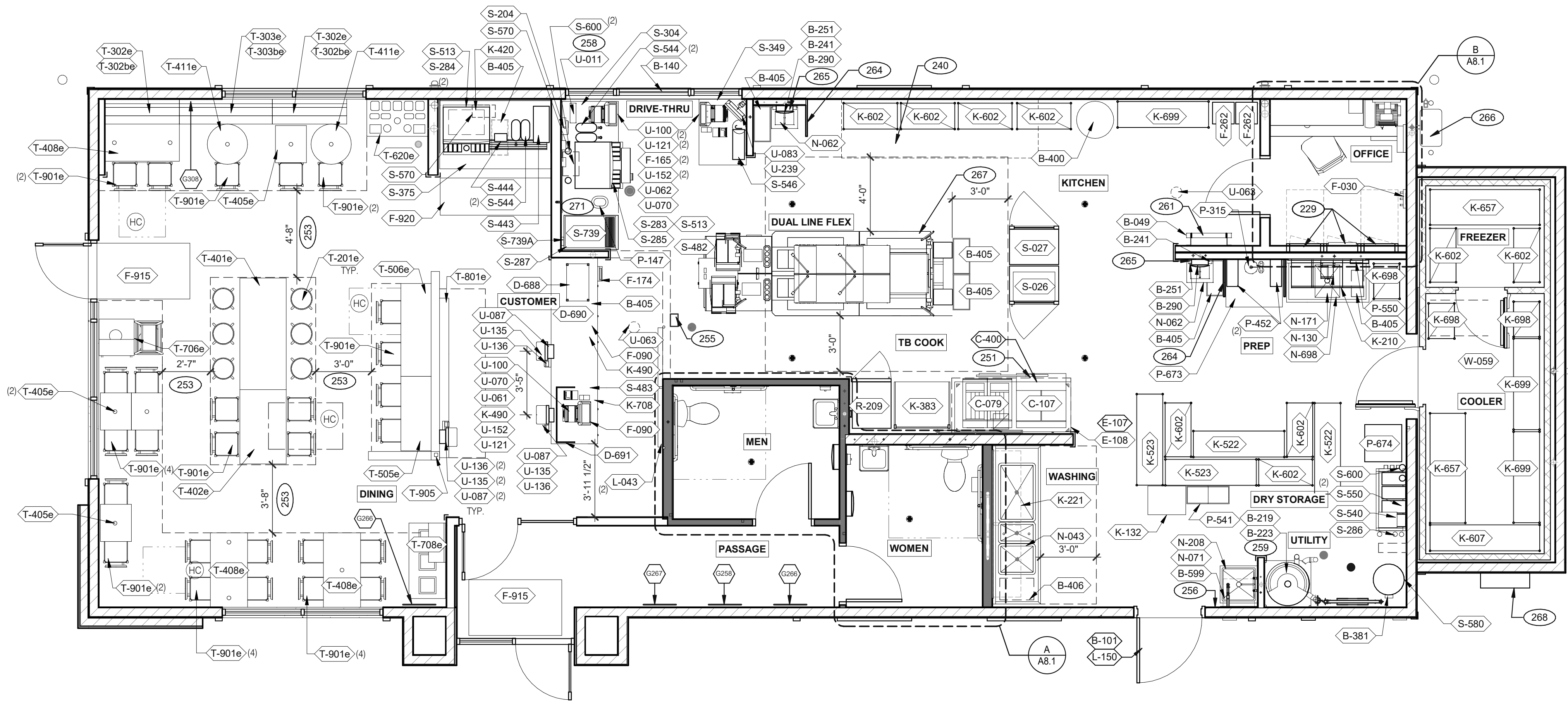
DEC. 20, 2024

JOB NUMBER
 240331100

SHEET NUMBER

A2.0

NOT FOR CONSTRUCTION



EQUIPMENT AND SEATING PLAN 1/4" = 1'-0" A

TAG	QTY	ITEM DESCRIPTION	TAG	QTY	ITEM DESCRIPTION
D-688	1	COUNTER MOUNT MOBILE SHELVING	T-706e	1	WASTE ENCLOSURE - SINGLE
D-690	1	SERVICE COUNTER	T-708e	1	WASTE ENCLOSURE - 3 STREAM
D-700	11	28.5" H CORE DRILL TABLE BASE	T-801e	1	KIOSK 1/2 TOWER
T-201e	6	BARREL BARSTOOL - 29 PURPLE WOOD SEAT	T-901e	27	CHAIR - LAMINATE SEAT
T-302be	2	BENCH BACK REST - 48"	T-905	1	POWER POLE
T-302e	2	BENCH SEAT - 48"			
T-303be	1	BENCH BACK REST - 60"			
T-303e	1	BENCH SEAT - 60"			
T-401e	1	HUB TABLE - 72" - HIGH TOP			
T-402e	1	HUB TABLE - 48" - ADA			
T-405e	4	LAMINATE TABLE - 24 X 20 X 30 - 2 TOP			
T-408e	3	LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP			
T-411e	2	SS TABLE - 24 DIA X 30 - 2 TOP			
T-505e	1	COUNTER TOP - 48" X 20" X 30"			
T-506e	1	COUNTER TOP - 60" X 20" X 30"			
T-620e	1	CONDIMENT COUNTER - RECTANGLE			

FURNITURE PACKAGE - BY FURNITURE VENDOR U.O.N. E

QTY.	NAME	FAMILY	FRAME OR MURAI	SIZE	LOCATION
1	CONCRETE GRAFFITI	C	M01	H6-4" x W17-6 1/2"	SEE A8.0
2	TACO TYPE	C	F01	28x40	SEE A8.0
1	TACO TYPE	C	F01	28x40	SEE A8.0
1	ANSWER IS TACOS	C	F01	28x40	SEE A8.0
2	CHALK BOARD GRAFFITI	C	M02	48x96	SEE A4.0 & A4.1
1	CHALK BOARD GRAFFITI	C	M02	48x96	SEE A4.0
1	CHALK BOARD GRAFFITI	C	M02	48x96	SEE A4.1

ARTWORK SCHEDULE D

STORAGE TYPE	LINEAR FT.
DRY STORAGE	46
COLD STORAGE	26
FROZEN STORAGE	12

SHELVING QUANTITIES C2

DECOR
 1. REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITY
 2. (HC) - SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

GENERAL NOTES	C1
229 ELECTRICAL PANELS.	
240 FUTURE I-LINE FLEX.	
251 HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).	
253 MAINTAIN 36" MIN. CLEAR ACCESSIBLE AISLE EGRESS PATHS TO EXIT DOORS, 32" AT DOORWAYS AND CASED OPENINGS. (42" AISLE REQUIRED WHEN AISLE SERVES MORE THAN 50 SEATS).	
255 ALERT LIGHT BOX FOR 3-COMP POWER SOAK.	
256 PULL STATION @ 3'-8" A.F.F.	
258 COORDINATE LOCATION OF HORIZONTAL PVC SYRUP CHASE THRU WALL TO COUNTER.	
259 6" HIGH WATER HEATER PLATFORM.	
261 ROOF LADDER WITH BILCO LADDER UP SAFETY POST.	
264 SPLASH GUARD.	
265 AUTOMATIC HAND SOAP AND SANITIZER DISPENSERS PROVIDED BY ECOLAB.	
266 GAS METER.	
267 FOR DUAL-FLEX LINE AND I-FLEX LINE SUB-EQUIPMENT SEE SHEET A8.3.	
268 ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS.	
271 WALL MOUNTED 32" MANAGER MONITOR. PROVIDE POWER AND DATA.	

KEY NOTES XXX B



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

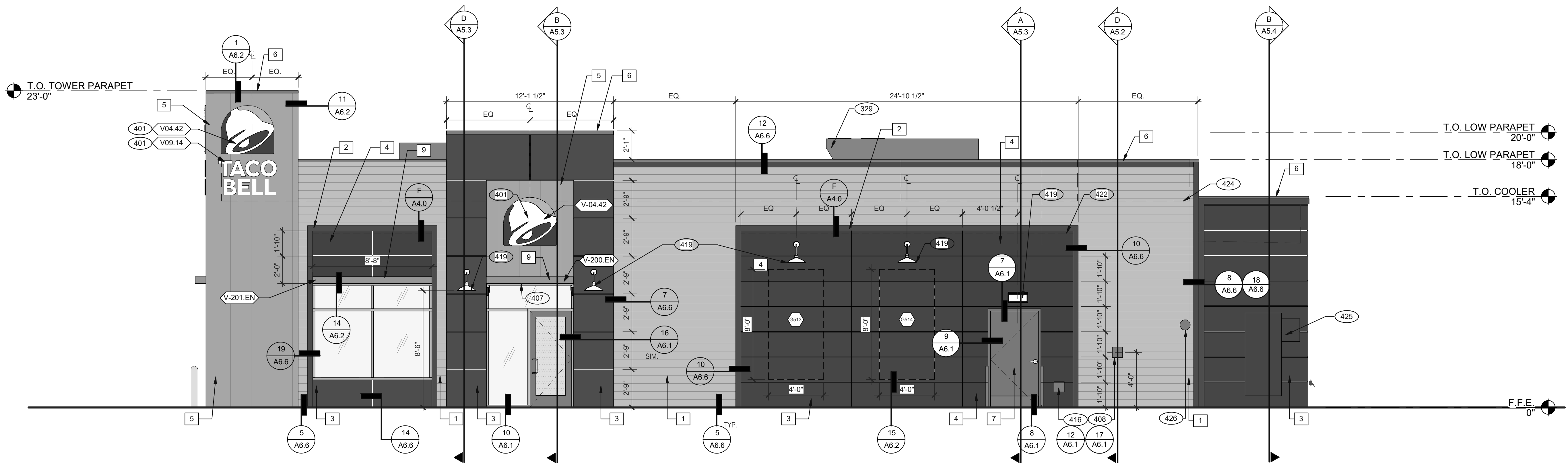
DEC. 20, 2024

JOB NUMBER

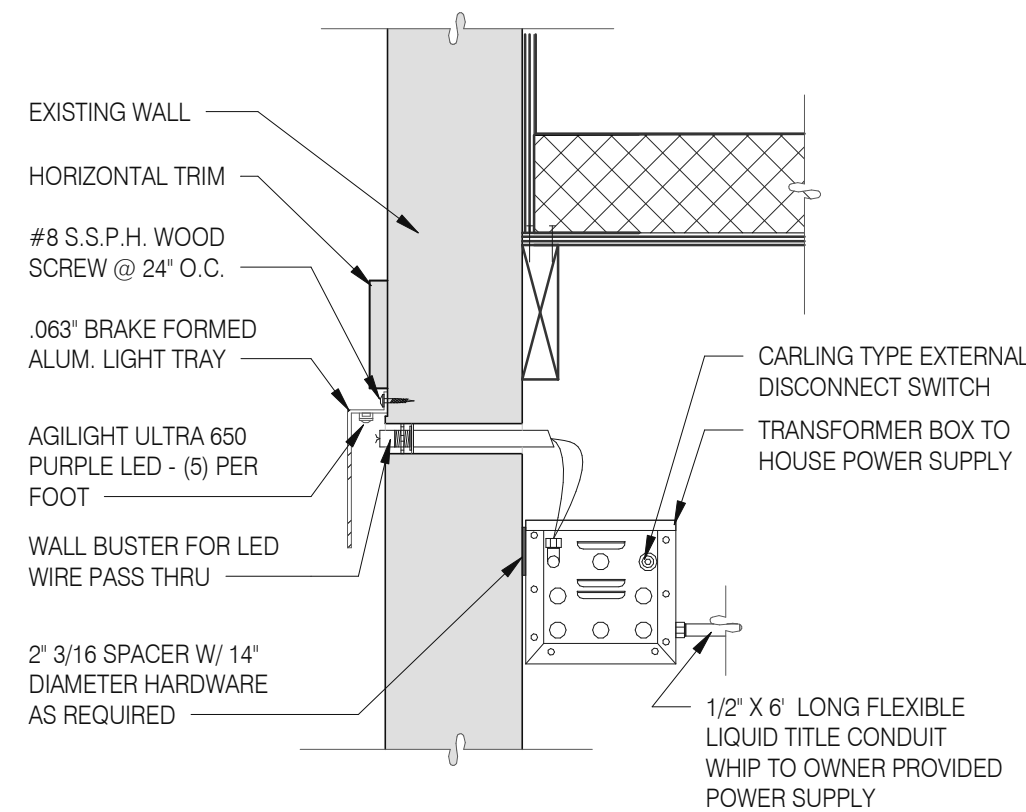
240331100

SHEET NUMBER

A4.0



WALK UP ELEVATION 1/4" = 1'-0" 1



LED WALL WASHER DETAIL F

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
TOWER			
V-09.14W	2	14" WHITE CHANNEL LETTERS VERTICAL	A4.1
V-04.42	2	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.1
SIDE ENTRY			
V-04.42	1	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.0
V-200.EN	1	SIDE ENTRY AWNING 6' 2" X 3' 0" BLACK	A4.0
DRIVE THRU			
V-101.DT	1	DT AWNING (OVER DT) 9' 6" X 4' 0" BLACK	A4.1
V-102.DT	1	DT AWNING (OVER DT) 6' 0" X 4' 0" BLACK	A4.1
EYEBROW AWNINGS			
V-202.EN	1	FRONT EYEBROW (WINDOW) 12'-10" X 6' H X 1' 4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7'-9" L X 6' H X 1' 4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 8'-8" L 6' H X 1' 4" D BLACK	A4.0

SIGNAGE E

MISCELLANEOUS
A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE FRANCHISEE WILL COORDINATE THE SIGN INSTALLATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING REQUIRED BLOCKING, PROPER DIMENSIONS, ELECTRICAL AND MUST PROVIDE ACCESS TO SITE AND BUILDING FOR FRANCHISEE'S SIGN INSTALLER.

GENERAL NOTES C

X	NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION
6513	CHALK BOARD GRAFFITI	C	M02	48x96	A4.0
6514	CHALK BOARD GRAFFITI	C	M02	48x96	A4.0
6515	CHALK BOARD GRAFFITI	C	M02	48x96	A4.1

PAINTING
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
PRIMER: 1 COAT SW A24WS300
FINISH: 2 COATS SW A82-100 SERIES. MATCH COLORS FROM MATERIAL SCHEDULE.
A-100 EXTERIOR LATEX SATIN.

PAINT NOTES A

*MUST SELECT ONE COMPLETE OPTION FOR #1 THROUGH #4 AND INCLUDE LETTER IN SYMBOL TAG F CHOOSING A OR B

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	ALT. MANUFACTURER SPEC 'A'	ALT. MATERIAL SPEC 'A'	ALT. MANUFACTURER SPEC 'B'	ALT. MATERIAL SPEC 'B'	COLOR	CONTACT INFO
1	SIDING - HORIZONTAL APPLICATION	JAMES HARDIE	ARTISAN V-GROOVE 144"L X 8.25"W, 7" EXPOSURE COMES PRIMED FOR PAINT	WESTLAKE ROYAL BUILDING PRODUCTS	TruExterior V-RUSTIC 192L x 7.5"W, 7" EXPOSURE; PRIMED FOR PAINT	NICHIHA	TruExterior V-RUSTIC 192L x 7.5"W, 7" EXPOSURE; PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	REFER TO EXTERIOR FINISH VENDOR CONTACTS ON A7.2 FOR TACO BELL NATIONAL ACCOUNT REPRESENTATIVES (DO NOT CALL MANUFACTURER 1-800 OR GENERAL CONTACT NUMBERS AS YOU WILL NOT RECEIVE CORRECT INFORMATION TO BRAND SPECIFIED PRODUCTS.
2	BUILDING TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH; 1"x5.5" PRIMED FOR PAINT	WESTLAKE ROYAL BUILDING PRODUCTS	TruExterior TRIM 5/4 x 6, 1" x 5.5" PRIMED FOR PAINT	NICHIHA	TruExterior TRIM 5/4 x 6, 1" x 5.5" PRIMED FOR PAINT	CYBERSPACE (SW7076), SEMI-GLOSS	
3	REVEAL PANEL **CONSULTANT TO REVISE REVEAL BREAKS FOR USING NICHIHA ILLUMINATION PANEL	JAMES HARDIE	HARDIE PANEL VERTICAL SIDING W/ ALUM TRIM FROM FRY REGLET AND/OR TAMLIN	N/A	USE HARDIE PANEL	NICHIHA	USE HARDIE PANEL	CYBERSPACE (SW7076), SEMI-GLOSS	
4	REVEAL PANEL **CONSULTANT TO REVISE REVEAL BREAKS FOR USING NICHIHA ILLUMINATION PANEL	JAMES HARDIE	HARDIE PANEL VERTICAL SIDING W/ ALUM TRIM FROM FRY REGLET AND/OR TAMLIN	N/A	USE HARDIE PANEL	NICHIHA	USE HARDIE PANEL	SW PURPLE (TB2603C), SEMI-GLOSS	
5	DRIVE THRU CORNER TOWER & ENTRY PORTAL RECESS	WESTERN STATES	T-GROOVE 24GA PAINTED 18" PANEL	---	---	---	---	WEATHERED RUSTIC	
6	METAL PARAPET CAP	---	24GA GALVANIZED	---	---	---	---	CYBERSPACE (SW7076) KYNAR 500 COATING	
7	HOLLOW METAL DOOR	---	---	---	---	---	---	SW PURPLE (TB2603C), SEMI-GLOSS	
8	NOT USED	---	---	---	---	---	---	---	
9	AWNINGS	BRAND APPROVED SIGNAGE VENDOR	---	---	---	---	---	BLACK (BY THE SIGNAGE VENDOR)	

EXTERIOR FINISH SCHEDULE D

- 329 MECHANICAL UNIT. SEE ROOF PLAN.
- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 408 CO2 FILLER VALVE & COVER.
- 416 HOSE BIB BOX AT 18" A.F.F.
- 419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 422 PURPLE LIGHT WALL WASHER, PROVIDED BY SIGNAGE VENDOR.
- 424 LINE OF ROOF BEYOND.
- 425 SWITCH GEAR. WALL SHALL BE FINISHED PRIOR TO INSTALLATION.
- 426 OIL RECLAMATION PORT.

KEY NOTES XXX B

EXTERIOR ELEVATIONS

NOT FOR CONSTRUCTION



Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

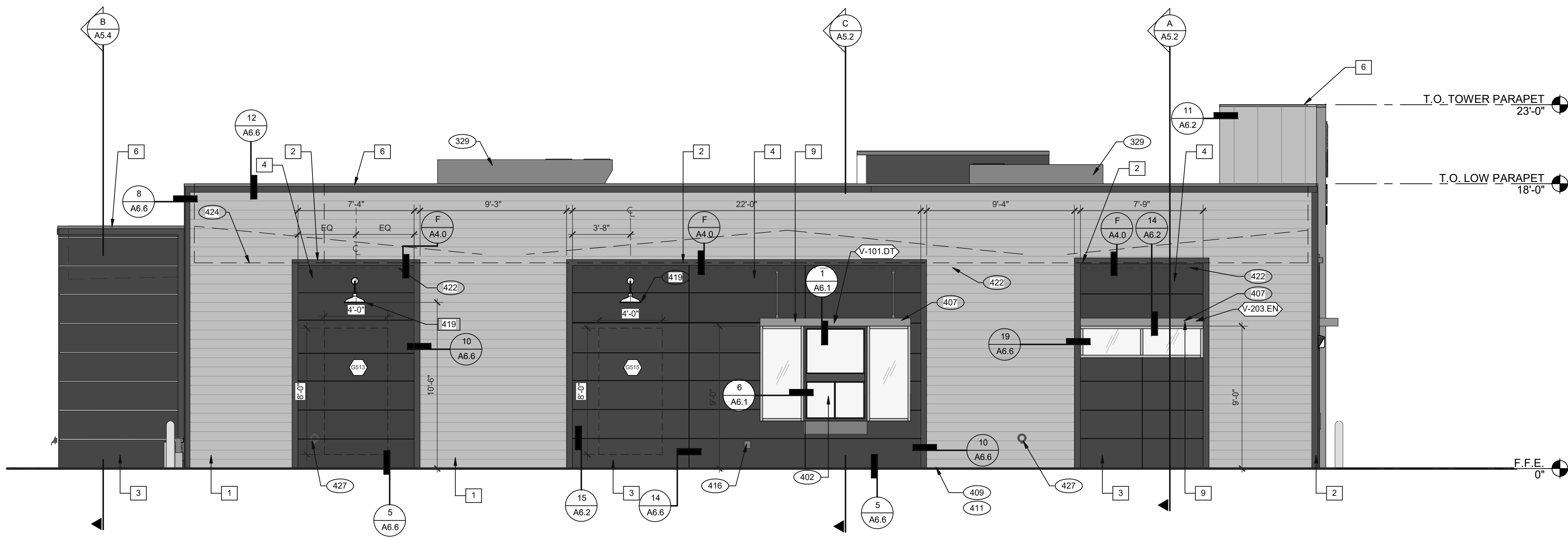
PROFESSIONAL SEAL

PRELIMINARY DATES
DEC. 20, 2024
NOT FOR CONSTRUCTION

JOB NUMBER
240331100

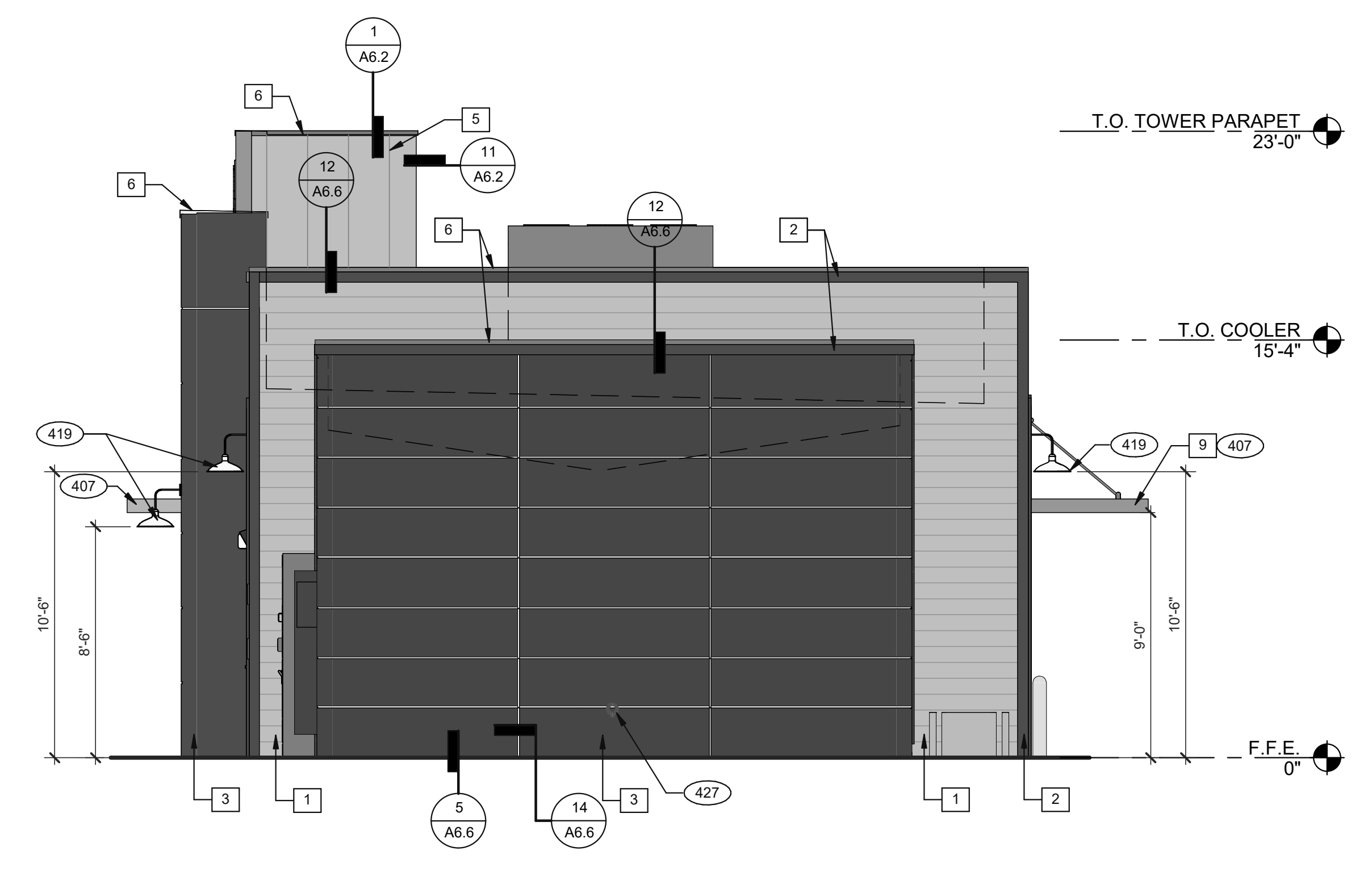
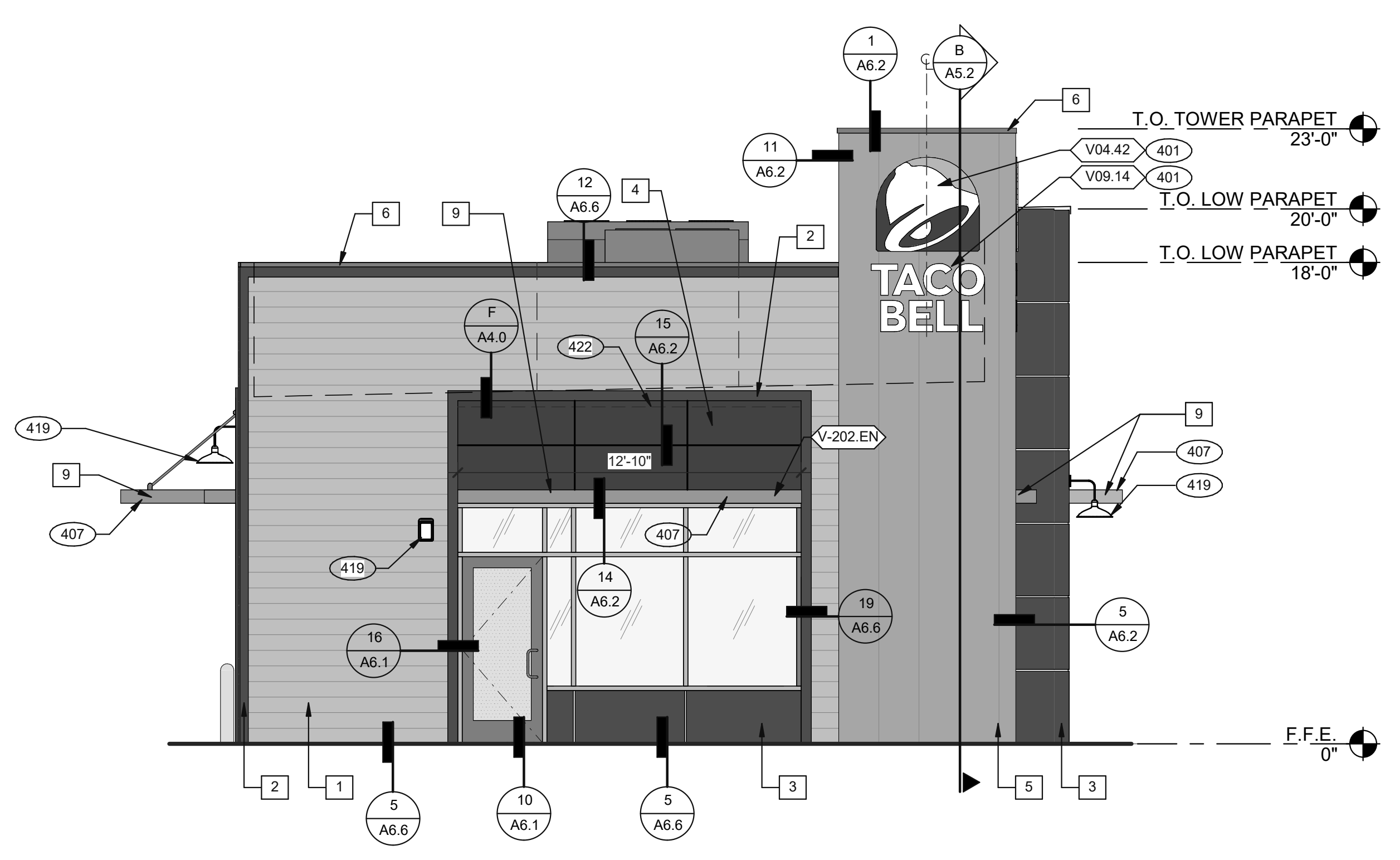
SHEET NUMBER

A4.1



- SEE SHEET A4.0 FOR FINISH, ARTWORK AND SIGNAGE SCHEDULE
- 329 MECHANICAL UNIT, SEE ROOF PLAN.
 - 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
 - 402 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
 - 407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
 - 409 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
 - 411 CONCRETE CURB.
 - 416 HOSE BIB BOX AT 18" A.F.F.
 - 419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
 - 422 PURPLE LIGHT WALL WASHER, PROVIDED BY SIGNAGE VENDOR.
 - 424 LINE OF ROOF BEYOND.
 - 427 ROOF OVERFLOW TO BE STUBBED INSIDE WALL DOWN TO 24" ABOVE DRIVE THRU LANE GRADE AND FINISHED WITH COWS TONGUE CAULKED TO EXTERIOR WALL SURFACE. SEE PLUMBING DRAWINGS.

DRIVE THRU ELEVATION 1/4" = 1'-0" 1 **KEY NOTES** (XXX) **A**



FRONT ELEVATION 1/4" = 1'-0" 2 **REAR ELEVATION 1/4" = 1'-0" 3**

EXTERIOR ELEVATIONS

C:\client\240331\100_Arch_Central_B23_Arch\A4.1.dwg
12/20/2024 11:44:22 PM



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

NEW BUILDING FOR:
PACIFIC BELLS LLC
1803 WASHINGTON STREET • TWO RIVERS, WI 54241

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 20, 2024

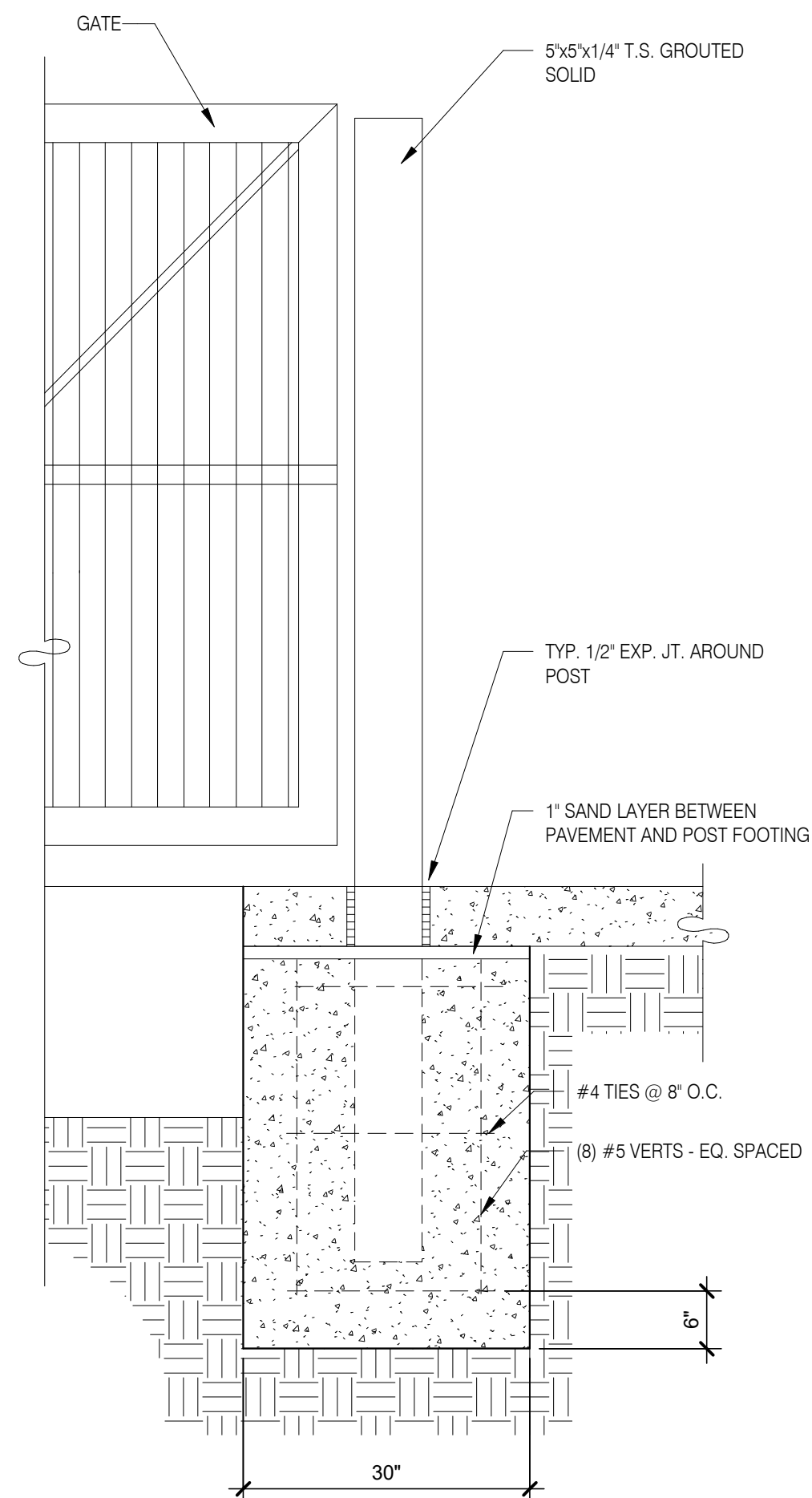
NOT FOR CONSTRUCTION

JOB NUMBER

240331100

SHEET NUMBER

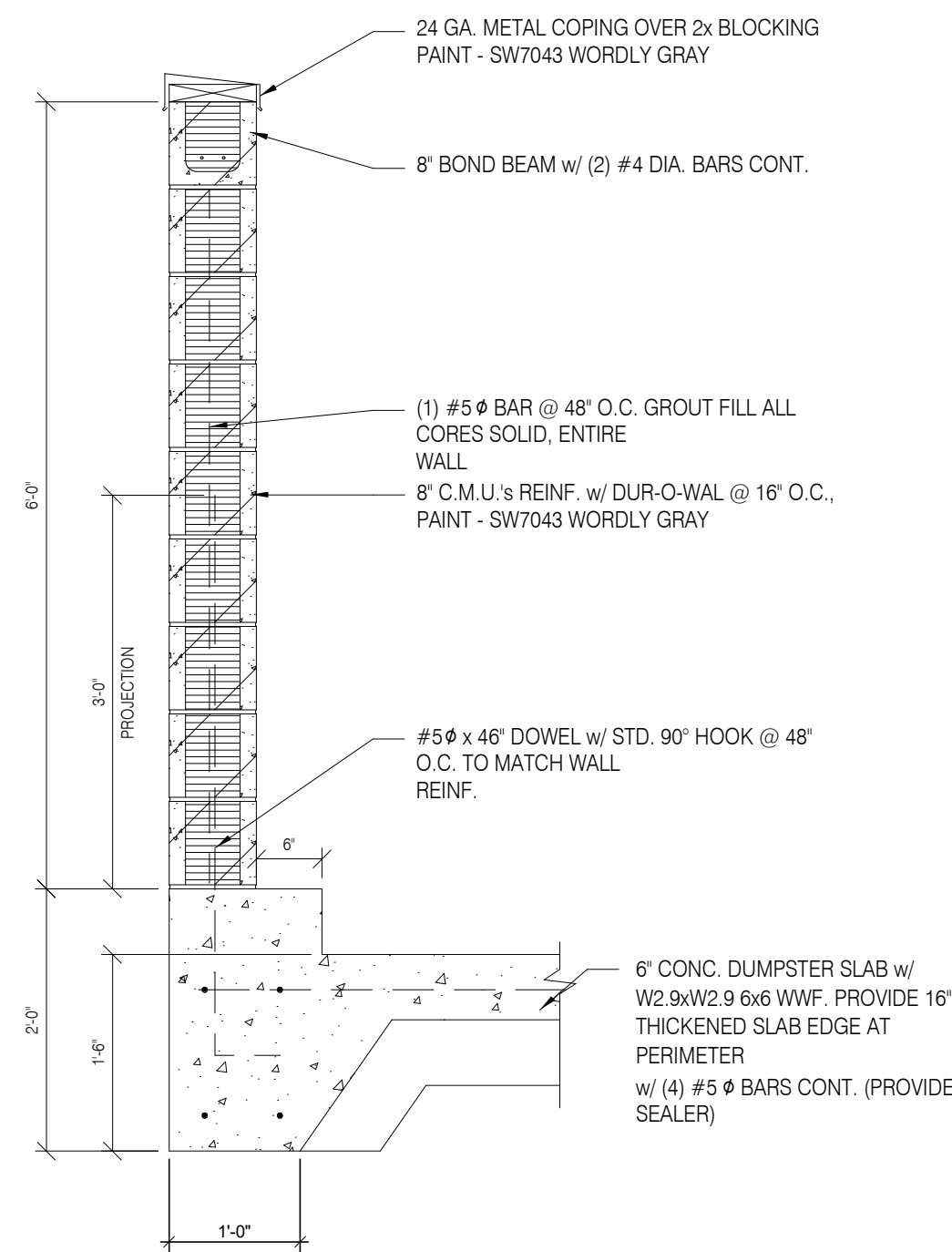
G2.0



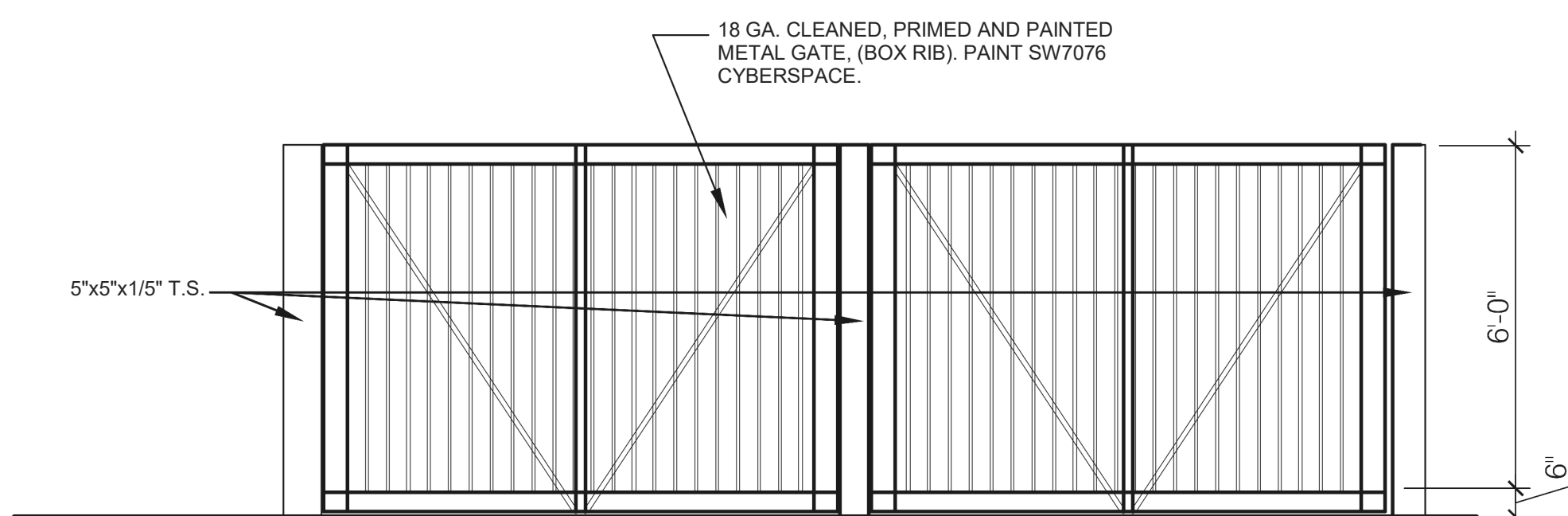
GATE POST FOOTING 3/4" = 1'-0" **H**

GATE HARDWARE: ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.
GATE STOP: MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.
GATE NOTES: (4) 6'-0" HIGH MTL. GATES, TYPE B 1 1/2" DECKING, 18GA. W/ 1" X .1875" BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT ALL STEEL COMPONENTS.

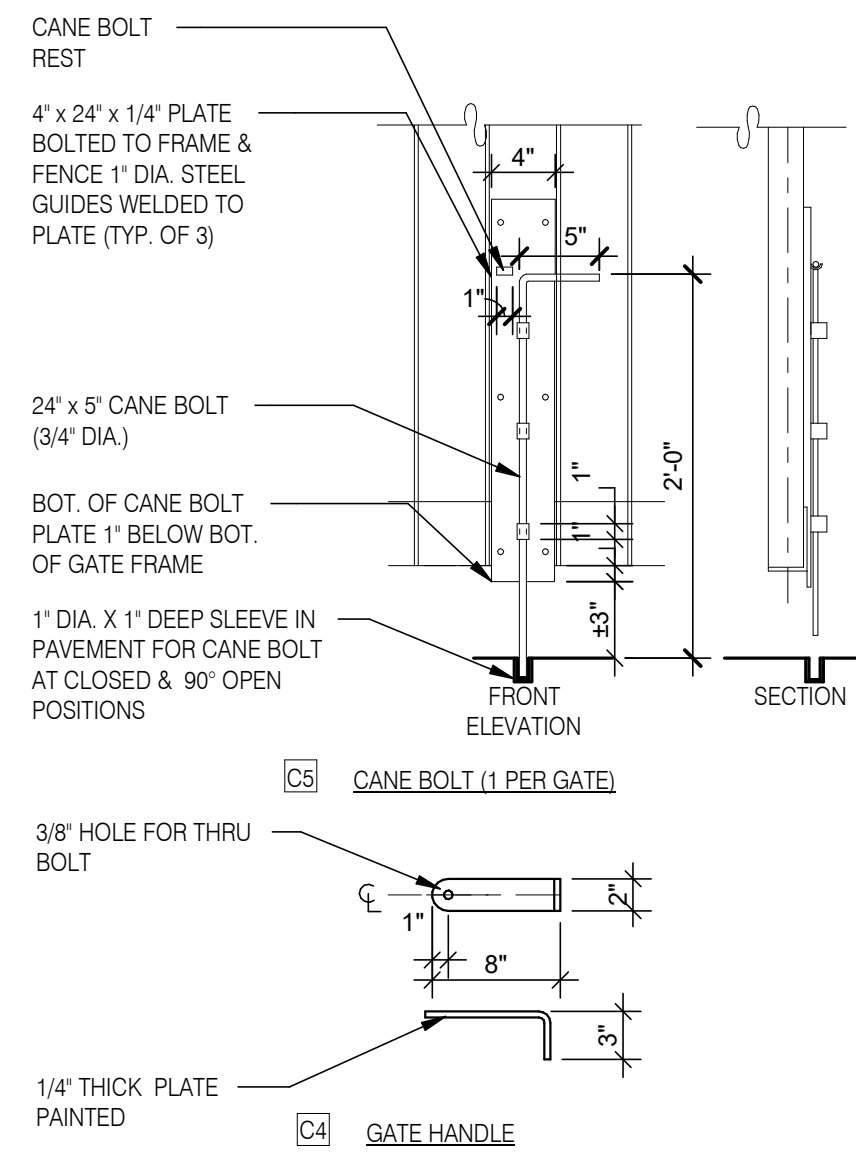
ENCLOSURE NOTES N.T.S. **G**



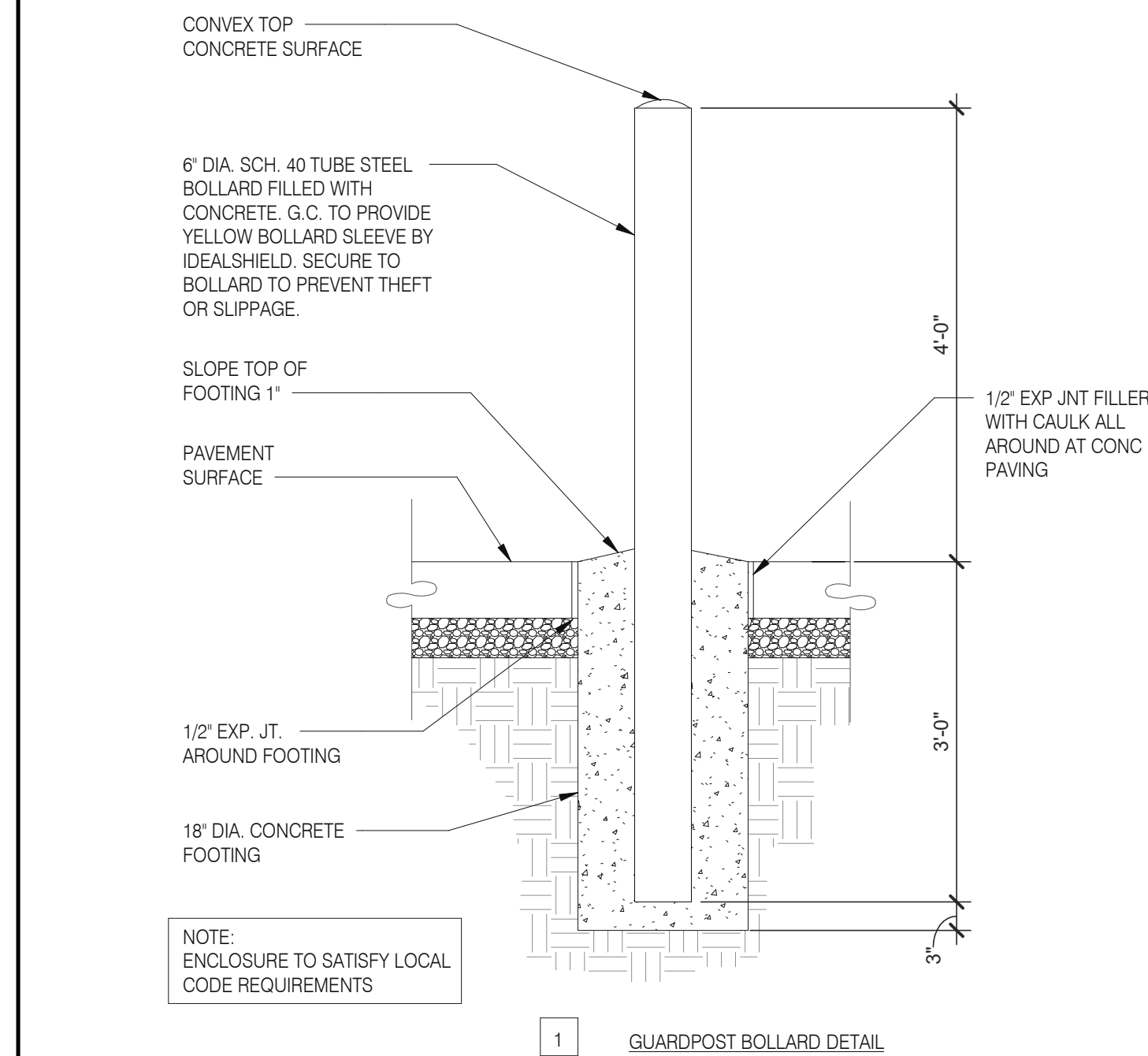
ENCLOSURE SECTION 3/4" = 1'-0" **F**



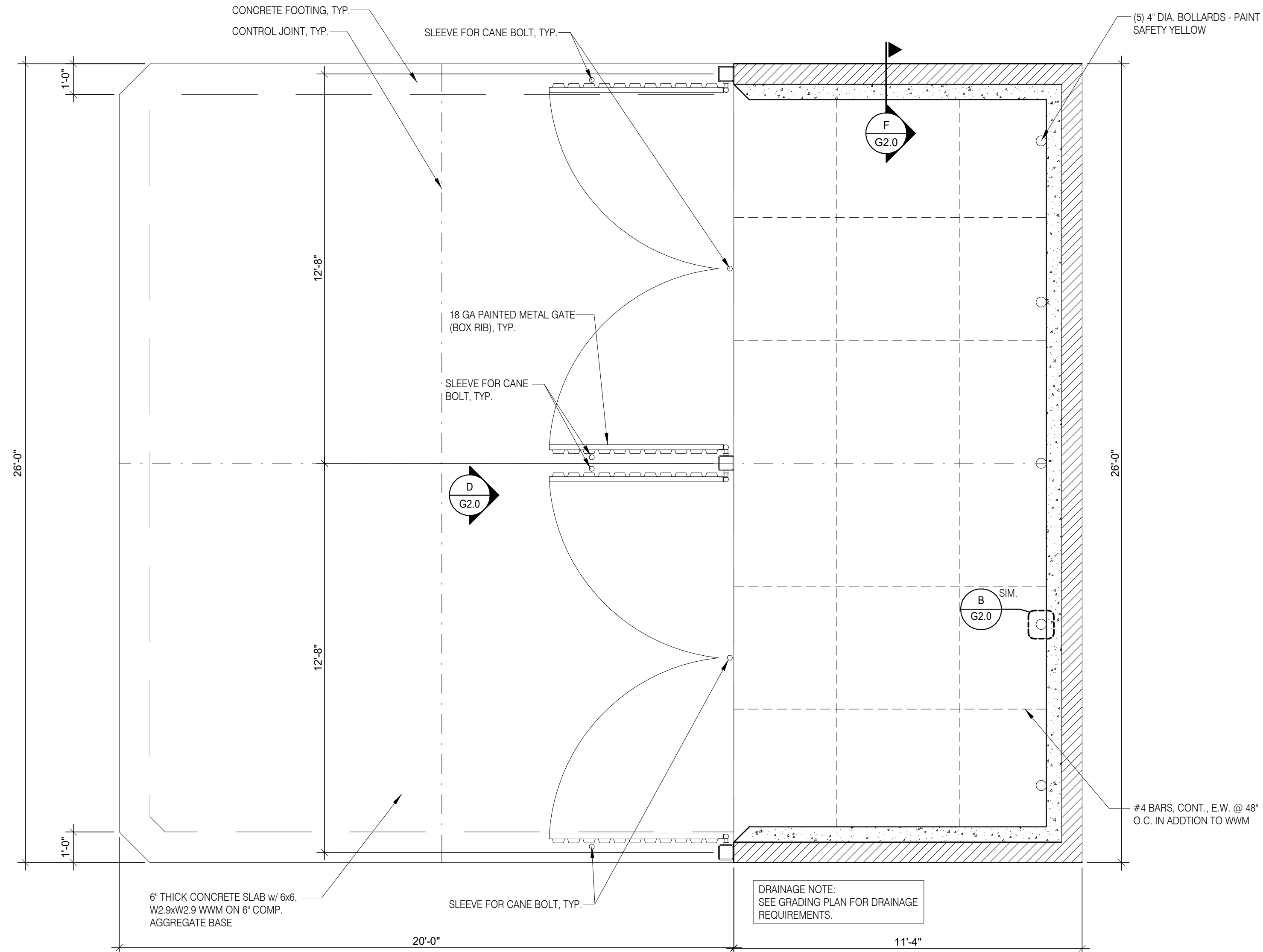
ENCLOSURE FRONT ELEVATION N.T.S. **D**



GATE DETAILS N.T.S. **C**



TRASH ENCLOSURE BOLLARD DETAILS 3/4" = 1'-0" **B**



DUMPSTER ENCLOSURE LAYOUT 3/8" = 1'-0" **A**

TRASH ENCLOSURE DETAILS