



**TWO  
RIVERS**  
WISCONSIN

# PLAN COMMISSION

December 11, 2023 at 5:30 PM

Council Chambers - City Hall, 3rd Floor  
1717 E. Park Street, Two Rivers, WI 54241

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## AGENDA

### 1. CALL TO ORDER

### 2. ROLL CALL

Commission Members: Greg Buckley, Rick Inman, Kay Koach, Kristin Lee, Matt Heckenlaible, Eric Pangburn, Adam Wachowski

### 3. ACTION ITEMS

- A. Review of Site and Architectural Plan for 1509 Washington Street, submitted by Adam Stein of Logic Design & Architecture, Inc.
- B. Review of additional materials submitted for Conditional Use Permit application for use of self-storage units on 15<sup>th</sup> Street, for parcel 053-000-076-015.03, submitted by Alliance Construction and Design and Eric Burrows (owner).
- C. Review of request to change the sign ordinance to permit signs placed onto sidewalks.

### 4. ADJOURNMENT

*Please note, upon reasonable notice, efforts will be made to accommodate the needs to disabled individuals through appropriate aids and services. For additional information or to request this service, please contact the Office of the City Manager by calling 793-5532.*

*It is possible that members of and possibly a quorum of governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no other action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.*



**LAND DEVELOPMENT APPLICATION**

APPLICANT \_\_\_\_\_ TELEPHONE \_\_\_\_\_

MAILING ADDRESS \_\_\_\_\_  
(Street) (City) (State) (Zip)

PROPERTY OWNER \_\_\_\_\_ TELEPHONE \_\_\_\_\_

MAILING ADDRESS \_\_\_\_\_  
(Street) (City) (State) (Zip)

REQUEST FOR:

- \_\_\_\_\_ Comprehensive Plan Amendment
- \_\_\_\_\_ Site/Architectural Plan Approval
- \_\_\_\_\_ Subdivision Plat or CSM Review
- \_\_\_\_\_ Zoning District Change
- \_\_\_\_\_ Conditional Use
- \_\_\_\_\_ Annexation Request
- \_\_\_\_\_ Variance/Board of Appeals
- \_\_\_\_\_ Other

STATUS OF APPLICANT: \_\_\_\_\_ Owner \_\_\_\_\_ Agent \_\_\_\_\_ Buyer \_\_\_\_\_ Other

PROJECT LOCATION \_\_\_\_\_ TYPE OF STRUCTURE \_\_\_\_\_

PRESENT ZONING \_\_\_\_\_ REQUESTED ZONING \_\_\_\_\_

PROPOSED LAND USE \_\_\_\_\_

PARCEL # \_\_\_\_\_ ACREAGE \_\_\_\_\_

LEGAL DESCRIPTION \_\_\_\_\_

**NOTE: Attach a one-page written description of your proposal or request.**

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed \_\_\_\_\_ Date \_\_\_\_\_  
(Property Owner)

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

Schedule

- Application Submittal Date \_\_\_\_\_
- Date Fee(s) Paid \_\_\_\_\_
- Plan(s) Submittal Date \_\_\_\_\_
- Plan Comm Appearance \_\_\_\_\_

\$ \_\_\_\_\_ TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY \_\_\_\_\_

11/20/2023

Letter of Intent  
Village of Two Rivers  
Inspections, Zoning & Planning  
1717 E. Park Street  
P.O. Box 87  
Two Rivers, WI 54241-0087

To whom it may concern,

It is our pleasure to submit this letter of intent to pursue land use and related approvals for the development of the vacant lot and removal of an existing building on a 0.64 acre property located at 1509 Washington Street. This submittal is for building shell only, Starbucks will submit interior buildout drawings, occupancy applications, signage approvals, etc. under separate covers.

The included proposal is for an approximate 2,448 square foot Starbucks café with drive thru and approximately +/-580 square foot outdoor patio area. The café will provide an indoor seating capacity of 55 patrons and outdoor seating capacity of 25 patrons. Proposed business hours will be daily from 5am-9pm (may vary on weekends). The café anticipates employing 25-30 persons.

Currently zoned B-1 Business District, we are requesting conditional approval for a coffee shop with drive-thru and outdoor patio use on the site. The site is bordered by Washington Street and 15<sup>th</sup> Street.

The building will be situated with the main entrance facing the parking area, an outdoor seating area to the East, and drive thru facing West. Driveway access will be along the south side of the parking coming from the 15th Street. Off-street parking will be provided for approximately 23 vehicles (2 ADA stalls). The trash enclosure will be located near the driveway access on the south east and will incorporate a brick enclosure and landscape screening.

As presented, this design is consistent with Starbuck's new prototype but also includes several upgrades (raised parapets, façade articulation, materials in contrasting yet complimentary colors and textures).

The project schedule anticipates construction start in late Spring 2023 with completion in Fall 2023.

Project Team:  
Architect: Logic Design & Architecture, Inc.  
Civil Engineer/Landscape Design: Pinnacle Engineering Group  
Structural Engineer: TBD  
Mechanical Engineer: TBD

We look forward to working with the city throughout the approval process to transform this site and believe that the proposed site layout, new building, parking, and landscaping all contribute to a better use, circulation, and substantial improvement to the overall aesthetic of the parcel and surrounding environment.

Warm regards,



Adam J. Stein  
Principal, Architect, NCARB



**PLAN COMMISSION**

**Action:** Site and Architectural Review, 1509 Washington Street, 0.643 acres

**Current Zoning:** (B-1) Business District

**1. Background**

The location of 1509 Washington Street previously operated as restaurant and bar.

The current owners submitted a Conditional Use Permit (CUP) for a drive-through operation in September 2023 which has been approved by the Two Rivers City Council. This Site Plan proposal is for an approximate 2,448 square foot Starbucks café and a 580 square foot outdoor patio.

**2. Demolition**

Demolition of the existing building will be done to clear the site. The city has a demolition permit with requirements outlined in **Section 11-1-30**.

Additional information related to the demolition is needed regarding:

- The demolition of the existing building and the structural stability of the 'party wall'.
- How will the demolition take place to ensure that the party wall for the adjoining building is structurally stable?
- The final exterior finishes the party wall. Is there any proposed 'finish' to be applied?
- The Erosion Control Plan shown on plan sheet C-5 depicts conditions post razing of the of the project. Provide an erosion control plan that addresses the demolition phase of the project.

**3. Access and Transportation**

*Pedestrian, Parking and Drive through Access via 15<sup>th</sup> Street*

The access to parking at the café and the drive through is from 15<sup>th</sup> Street. There is pedestrian access via the sidewalk on Washington and 15<sup>th</sup> Streets.

The proposed pedestrian ramp adjacent to the Washington Street public sidewalk is approximately 4-inches higher than the public sidewalk and the northerly portion of the ramp. Additional information is needed as to how this will be addressed - such as a railing to prevent individuals from traversing off the edge of the ramp to the public sidewalk or other solutions to prevent tripping over the edge.

The space along the south perimeter of the building and parking spaces appears to be very close for the clearance of wheelchairs or walking assistance devices. Confirmation that this space is ADA compliant is





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**COMMUNITY DEVELOPMENT**

1717 E. Park Street  
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needed. The elevations show bumpers at the parking stalls in this location which will assist with a separation of the parked cars and any encroachment into that space.

There is some concern about the potential of cars queuing for the drive-through and extending into 15<sup>th</sup> Street, but there is no recommendation to modify the plans as presented .

There is a question about the logistics of deliveries. The parking lot does not appear very large so more information is needed about the delivery process in this parking lot with possible drive-through queues that are lengthy.

### **Utilities and Drainage/Stormwater Management**

The details of the proposed work are to be coordinated with Public Works, Electric and Water Departments. The plan shows:

- Water proposed 2-inch service tapping onto the existing 6-inch service off of 15<sup>th</sup> Street;
- Sanitary sewer will be serviced as shown off the northwesterly portion of the proposed building; and
- Storm sewer plan shows connection to an existing catch basin. The connection is to be “cored and booted” in 15<sup>th</sup> Street.

### **Building**

The elevations show a 580 square foot outdoor patio space. Is this space going to be heated? If so, there may be additional building code questions.

The elevations show a ladder. The ladder itself is a concern. As shown, there does not appear to be any restriction of access to it and to the roof. The need for the ladder as a fixture on the building is a concern for safety reasons.

### **Fire Department**

The fire department has reviewed and does not have any significant concerns once the building is constructed and operational.

### **Trash Collection**

The plan shows an enclosure for a dumpster and is located to the east of the building in the parking lot.

### **Landscaping and Lighting Plan**

The landscaping plan as presented shows plantings within the five-foot perimeter and in the parking lot. The lighting plan meets the Site and Architectural Plan requirements.



[www.two-rivers.org](http://www.two-rivers.org)



920.793.5564



920.793.5512



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**COMMUNITY DEVELOPMENT**

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P.O. BOX 87  
Two Rivers, WI 54241-0087



**Recommended Action:**

This proposed development supports the Comprehensive Plan goals to support development and investment in downtown. Staff recommends the approval of this proposal with the **conditions** below.

1. Any additional requirements identified by city engineering, utility, and/or water department director(s).
2. Complete the demolition (wrecking) permit procedures prior to removal of building.
3. Provide an erosion control plan that addresses the demolition phase of the project and the construction process.
4. A separate sign permit(s) and approval, in accord with the city's sign code, is necessary.
5. Driveway access onto 15<sup>th</sup> Street is to be designed in accordance with Public Work Section 4-1-11 B.(2)
6. Any additional requirements from the state of Wisconsin.
7. All required permits are obtained prior to construction.



[www.two-rivers.org](http://www.two-rivers.org)



920.793.5564



920.793.5512

Signage shown as example only, final design/details submittal for AHJ approvals by tenants. Landscaping shown for reference only, refer to Landscape design drawings for final design & details



SW Corner



SE Corner



NE Corner



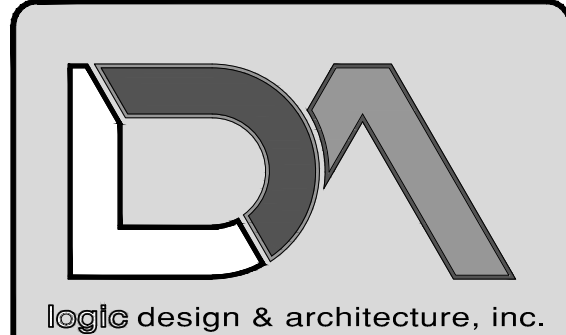
NW Corner

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# Proposed Outlot Building @ Washington St.

Two Rivers, WI | November 20th, 2023





LogicDA.com : 414.909.0080  
Project Manager: WBM  
Job Number: 23-042

Additional Info

Project Name

**New Building For: Starbucks**  
1509 Washington Street  
Two Rivers, WI 54241

Dates/Revisions

09.20.23  
PRELIM. 20% SET  
11.03.23  
PRELIM. 20% SET  
11.17.23  
PC SUBMITTAL

Drawing Title

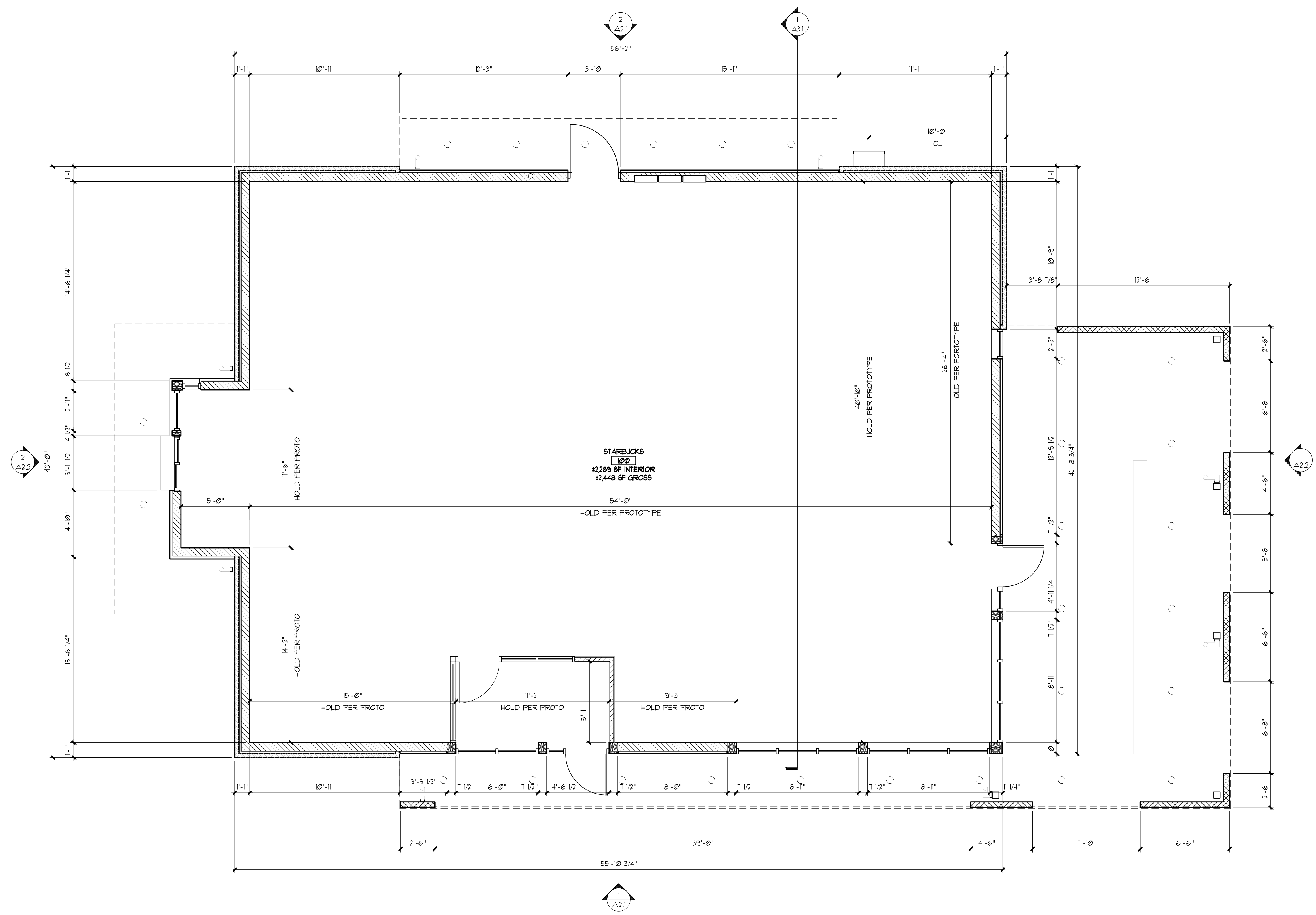
**PROPOSED  
FLOOR PLAN**

**A1.2**

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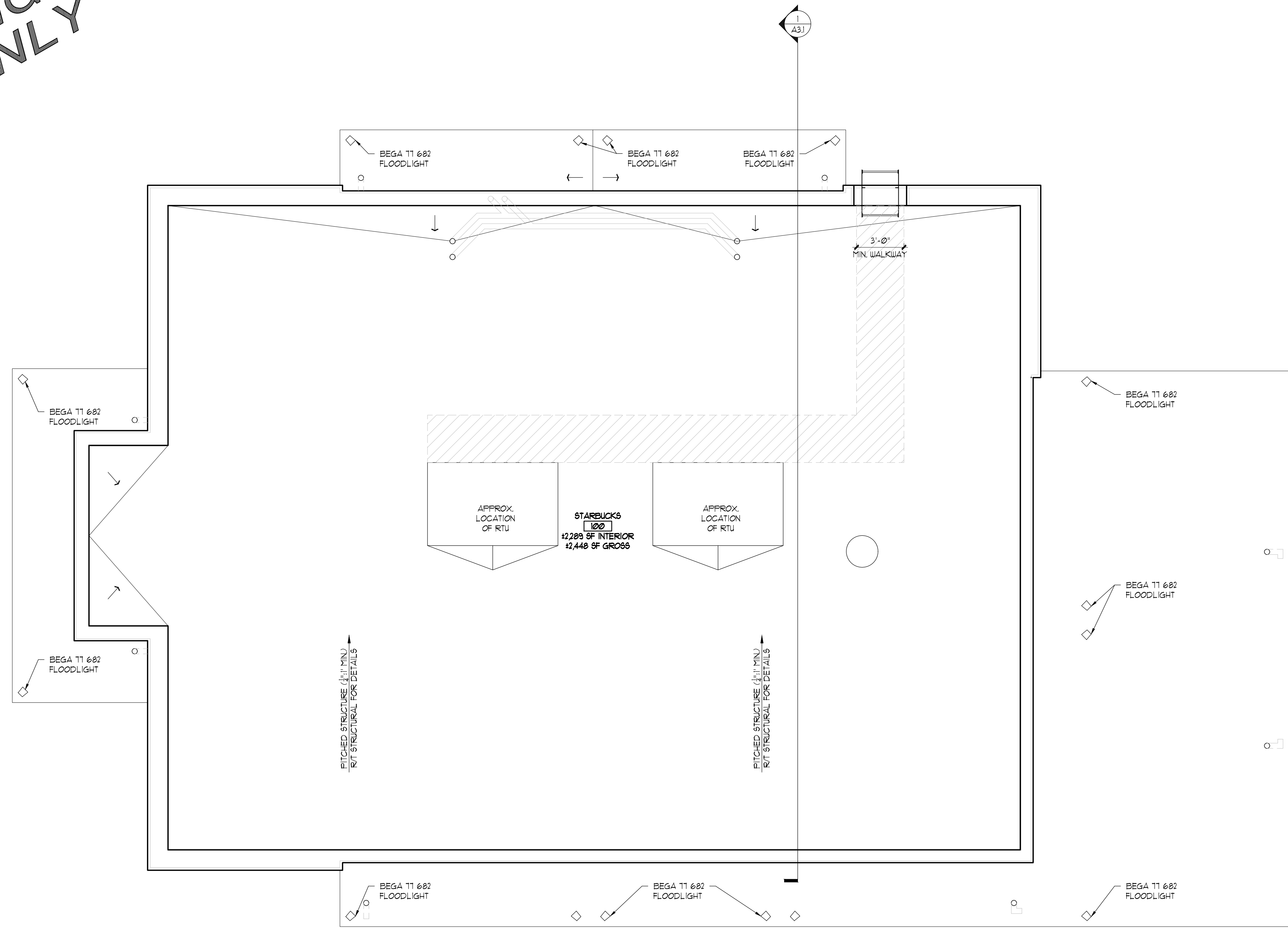


**FLOOR PLAN**  
1/4" = 1'-0"  
1



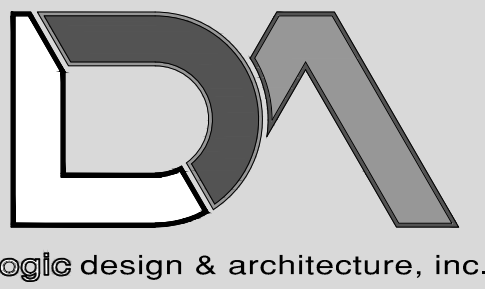


**- PRELIMINARY -  
FOR ESTIMATING  
AND REVIEW ONLY**



NOT USED 2

PLAN NORTH  
ROOF PLAN  
1/4" = 1'-0" 1



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Drawing Title

**PROPOSED  
ROOF PLAN**

**A1.4**

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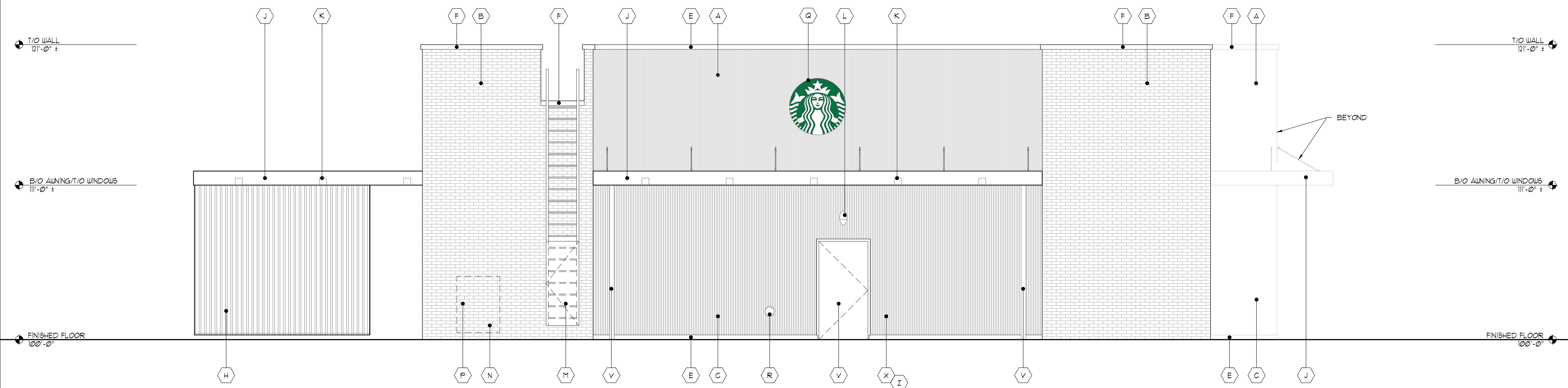
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Drawing Title  
**PROPOSED ELEVATIONS**

**A2.1**

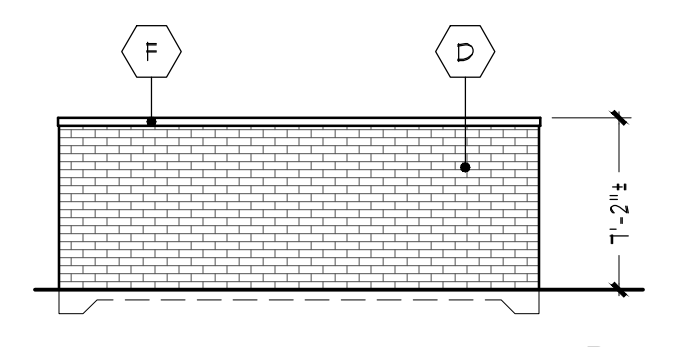
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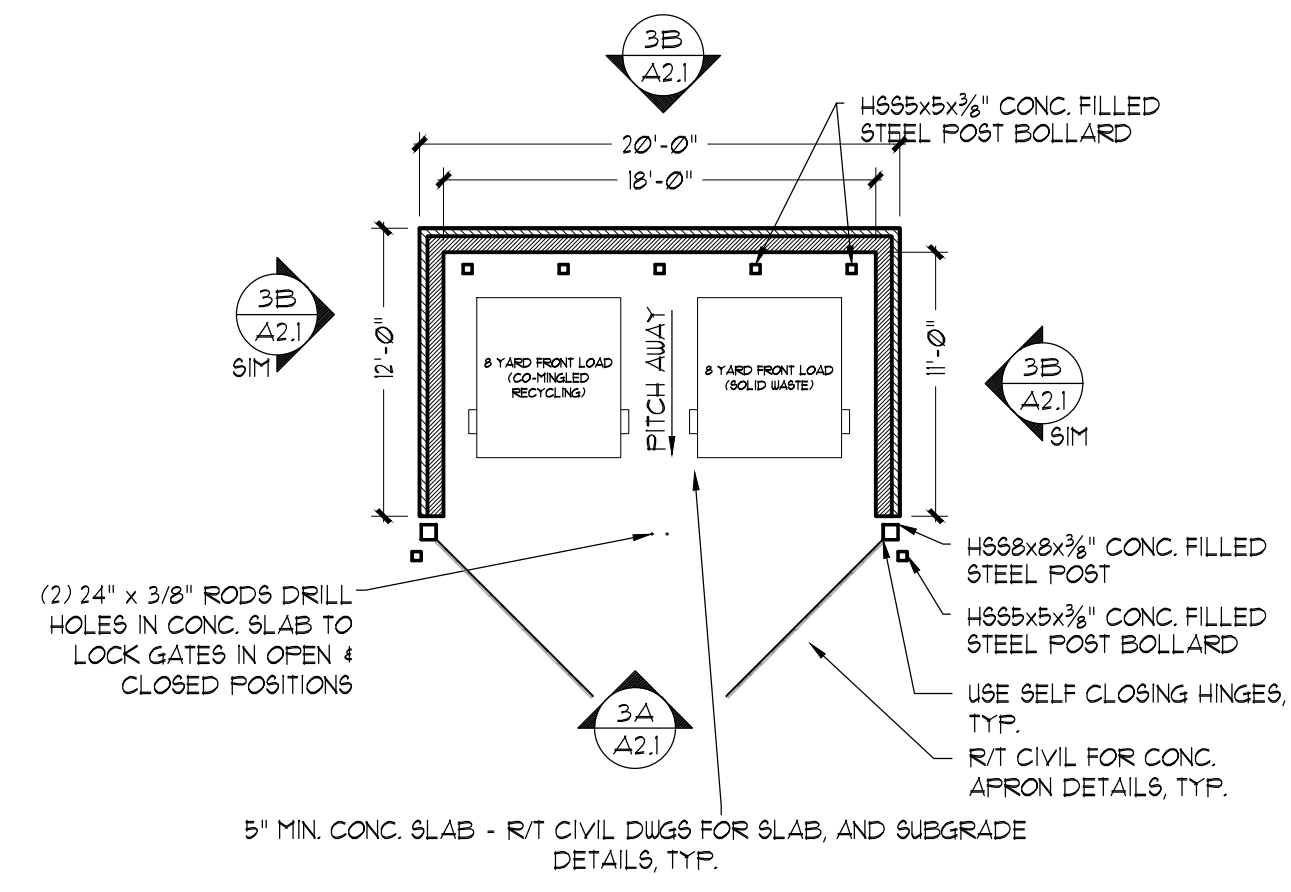
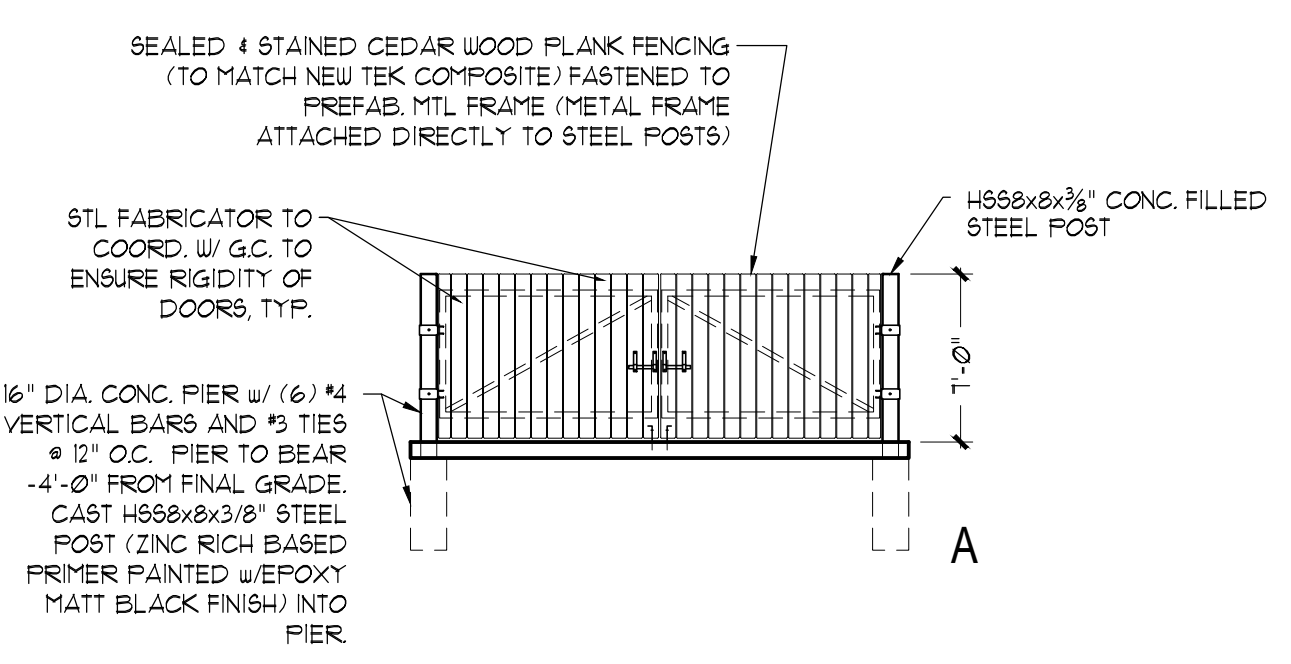
GLAZING: 5+ SPANDREL T+ TEMPERED --- SIGNAGE SHOWN FOR REFERENCE PURPOSES ONLY - FINAL LOCATIONS, TYPE, AND AHJ APPROVALS BY TENANT, TYPICAL.

NOT USED 4

**NORTH ELEVATION**  
1/4" = 1'-0" 2



R/T 3/1A23 MATERIAL SCHEDULE FOR TRASH ENCLOSURE MATERIALS



GC/OWNER TO CONFIRM DUMPSTER SIZES AND CONFIGURATION WITH LOCAL SERVICE PROVIDER, TYP.

**TRASH ENCLOSURE**  
1/8" = 1'-0" 3



GLAZING: 5+ SPANDREL T+ TEMPERED --- SIGNAGE SHOWN FOR REFERENCE PURPOSES ONLY - FINAL LOCATIONS, TYPE, AND AHJ APPROVALS BY TENANT, TYPICAL.

**SOUTH ELEVATION**  
1/4" = 1'-0" 1

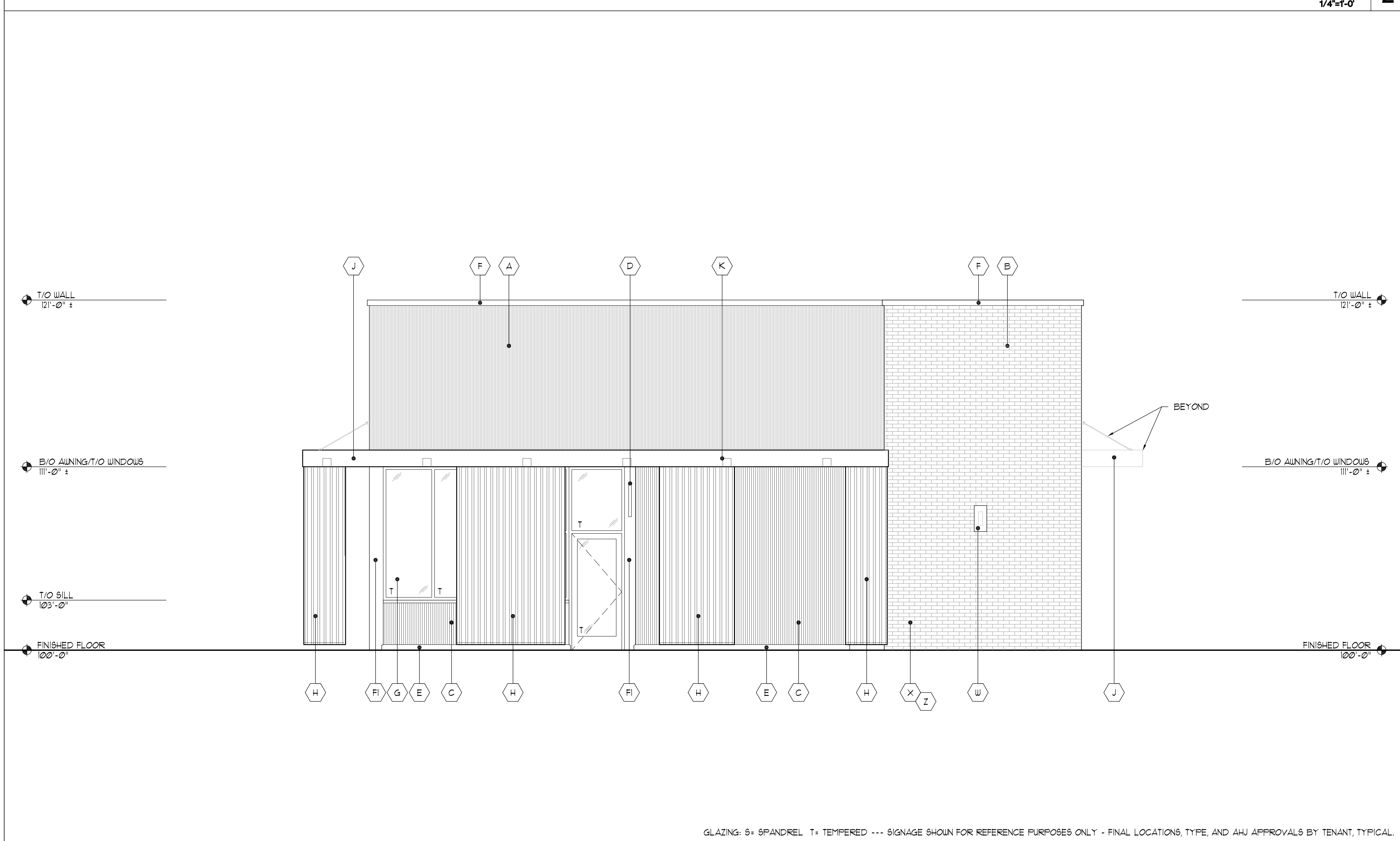
Exterior Material Schedule				
Key	Material	Color / Spec	Details / Add'l Info	Mfg. Info
A	EIFS Finish	Color: SW 9087 "Smokey Beige" Sandblasted	Drainage Type EIFS per mfg.   Install per mfg.   **GC to provide Architect large color sample for final approval**	Dryvit
B	Brick	Color: Saddlebrook	Running Bond   Modular Size   Mortar: Gray (SM100)   Apply penetrating sealer to brick & grout per Mfg recommendations	ACME Brick
C	Composite	Color: Brazilian Ipe	Install Vertical   Use only factory corners, H/I trim, & coping and color matched sealants - R/T Elevations & Details, typical.	NewTechWood
C1	Solid Surface	Color: To match Brick	Final color TBD	TBD
D	Blade Sign	TBD by tenant	Generic signage shown for reference - Tenants are responsible for actual signage design and AHJ approvals, typical. LL GC to coordinate w/ tenant for all sign locations, provide power & blocking as necessary.	TBD
E	Cast Stone / Precast Concrete	Color: Soft Gray Smooth Finish	Caps, bands, sills - refer to sections   Mortar: Gray (SM100)   Apply penetrating sealer per mfg.   Submit shop drawings for review and approval	Pac-Clad (Petersen)
F	Metal #1	Color: Stone White	coping, flashing, etc. - also see sections	Pac-Clad (Petersen)
F1	Metal #2	Color: Dark Bronze to match storefront	coping, flashing, etc. - also see sections	Pac-Clad (Petersen)
G	Aluminum Storefront System	Color: Dark Bronze	Wide Stile   Full lite doors w/ 1" insulated Low-E clear glazing (u.o.n.) w/ thermally broken frames - R/T elevations for tempered and spandrel locations.	Kawneer or approved equal
H	WPC Louver Screen System	Color: Brazil Ipe	R/T Starbucks Tenant Drawings for add'l info.	Nortwood
J	Metal Canopy	Color: Statuary Bronze	Finish all with exterior epoxy coating system or equal per Mfg. recommendations   Submit shop drawings for review and approval	Awnex
K	Recessed Lighting	Matte Black	Down   WF4-4" LED Module   GC to coordinate exact electrical for Starbucks w/ Tenant Drawings	Lithonia
L	Emergency Egress Lighting	Black Finish	TRL-EM-BR-EL   Wall mounted centered over door	Triton LED
M	Roof Access Ladder & Gate	Color: To match "Saddlebrook" Brick	Prefinished to match brick   Submit shop drawings for review and approval	TBD
N	Gas Meter	Prefinished	GC to coordinate location with local utility & AHJ. Protect with bollards and maintain clear floor requirements   Exterior piping not permitted - Run supply line from meter through wall, up interior wall and overhead to RTU's	TBD
P	Electric Service	Prefinished	GC to coordinate location with local utility & AHJ. Protect with bollards and maintain clear floor requirements	TBD
Q	Tenant Signage	TBD by tenant	Generic signage shown for reference - Tenants are responsible for actual signage design and AHJ approvals, typical. LL GC to coordinate w/ tenant for all sign locations, provide power & blocking as necessary.	TBD
R	Overflow Downspout Nozzle	Z199-Prefinished	Mount 20" AFF	TBD
S	Drive-Thru Window	To Match Storefront	275 Series - 47 -1/2" W x 43-1/2" H with Manual open/Electronic Release (M.O.E.R.) - R/T Tenant Specs	Ready Access
T	Drive-Thru Air Curtain	To Match Storefront	AA300 - 275 Pass-Thru Air Curtain System - R/T Tenant Specs	Ready Access
U	Open Face Downspout	Color: To match storefront	Prefinished to match storefront	TBD
V	HM Painted Door	Color: To match Storefront	Paint to match storefront	TBD
W	Sconce Lights	Color: Black Finish	Wall Sconces   Model #11251BK30   GC to coordinate exact electrical for Starbucks w/ Tenant Drawings	Kichler
X	Electrical Outlet	Prefinished	GC to coordinate w/ TI drawings for final locations	TBD
Z	Hose Bib	Prefinished	GC to coordinate w/ TI drawings for final locations	TBD

Notes: Refer to sections and wall A15-E26types for additional information. GC to install all products per industry standards and manufacturer's recommendations. Design/Build Contractors and GC to coordinate Knox Box, Security Camera, and all other AHJ required items not shown on elevations, typical.

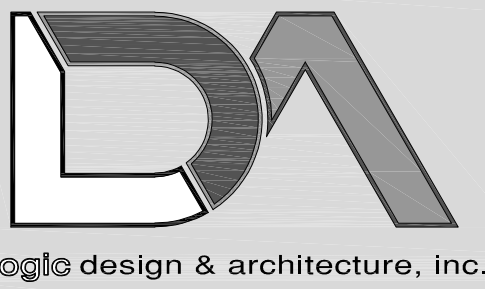
EXTERIOR MATERIAL SCHEDULE 3



WEST ELEVATION 1/4" = 1'-0" 2



EAST ELEVATION 1/4" = 1'-0" 1



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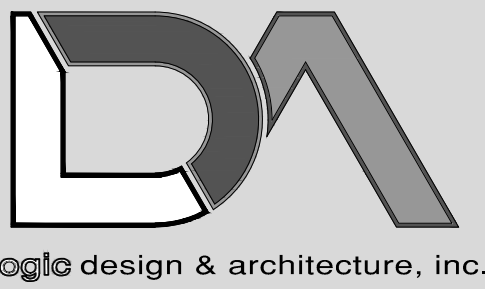
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Drawing Title  
**PROPOSED ELEVATIONS**

**A2.2**

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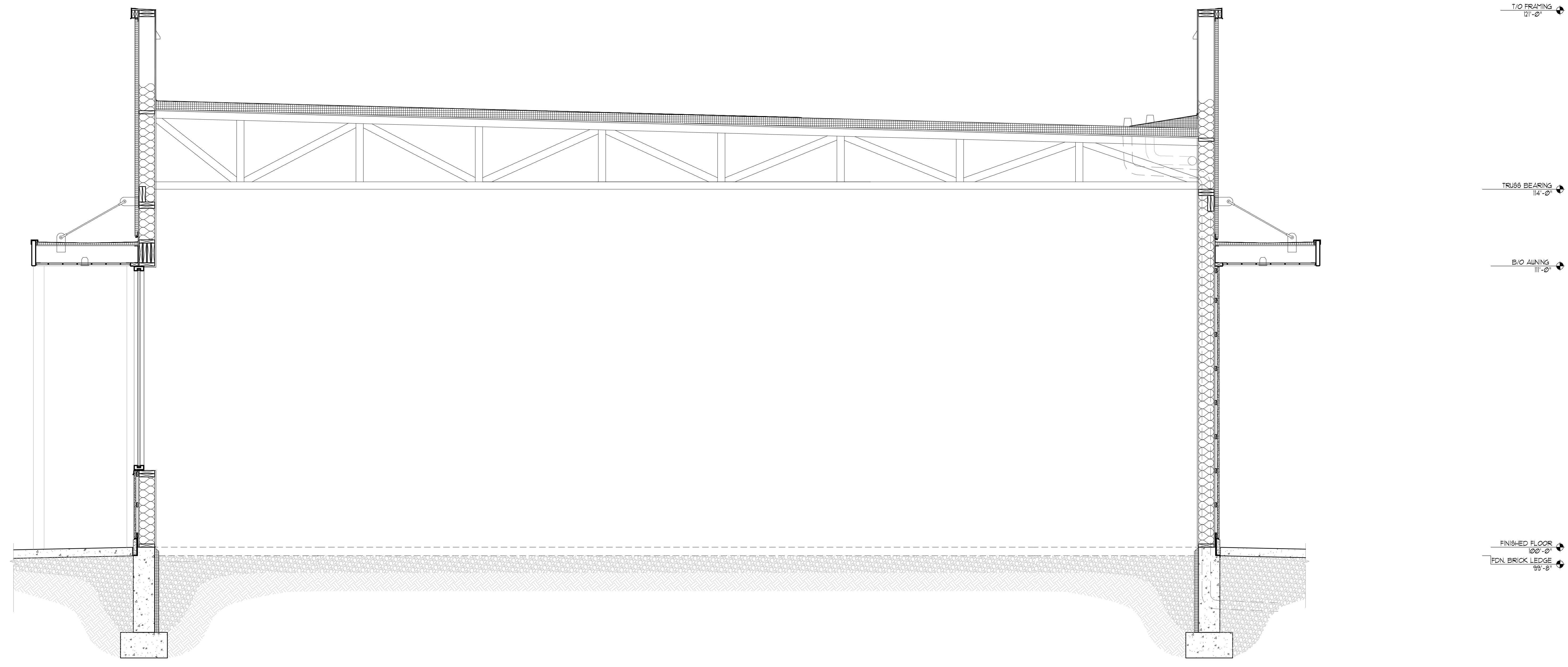
- 09.20.23 PRELIM. 20% SET
- 11.03.23 PRELIM. 20% SET
- 11.17.23 PC SUBMITTAL

Drawing Title

**PROPOSED SECTION**

**A3.1**

NOT USED 2



T/O FRAMING 121'-0"

TRUSS BEARING 114'-0"

B/O ALINING 111'-0"

FINISHED FLOOR 100'-0"

FDN. BRICK LEDGE 99'-0"

T/O FRAMING 121'-0"

TRUSS BEARING 114'-0"

B/O ALINING 111'-0"

FINISHED FLOOR 100'-0"

FDN. BRICK LEDGE 99'-0"

CROSS SECTION 1  
1/2" = 1'-0"

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FILE NAME: Z:\WORK\2023\SBX TWO RIVERS\WISCONSIN DIVISION SURVEY DISK\COVER SHEET.DWG



LogicDA.com | 414.909.0080  
Project Manager: WBM  
Job Number: 23-042

### ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

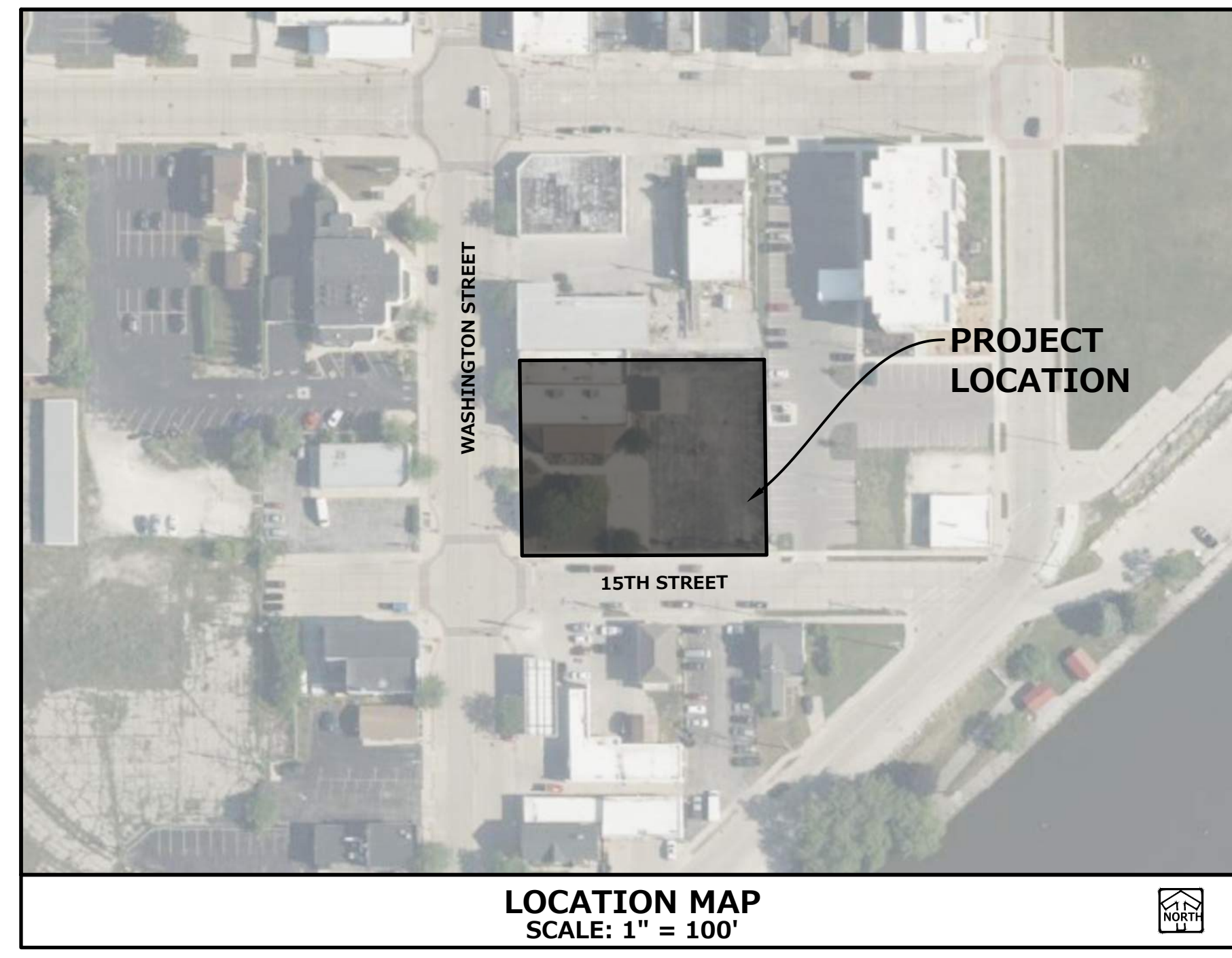
# FOR SBX TWO RIVERS

## 1509 WASHINGTON ST, CITY OF TWO RIVERS, WI

PLANS PREPARED  
FOR

### LOGIC DESING & ARCHITECTURE, INC.

LEGEND		
	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER AREA DRAIN	□	□
STORM SEWER INLET (ROUND CASTING)	○	○
STORM SEWER INLET (RECTANGULAR CASTING)	□	□
PRECAST FLARED END SECTION	∧	∧
CONCRETE HEADWALL	∧	∧
VALVE VAULT	⊕	⊕
VALVE BOX	⊕	⊕
FIRE HYDRANT	⊕	⊕
BUFFALO BOX	⊕	⊕
CLEANOUT	⊕	⊕
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
LIGHTING	—	—
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
CAUTION EXISTING UTILITIES NEARBY OR PEDESTAL	—	—
ELECTRICAL TRANSFORMER	—	—
POWER POLE	—	—
POWER POLE WITH LIGHT	—	—
STREET SIGN	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	—	—
SPOT ELEVATION	—	—
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
TREE WITH TRUNK SIZE	—	—
SOIL BORING	—	—
TOPSOIL PROBE	—	—
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—



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C-8	CONSTRUCTION DETAILS
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<b>APPLICANT/OWNER:</b> ADAM J. STEIN LOGIC DESIGN & ARCHITECTURE, INC. 10400 INNOVATION DRIVE, SUITE 300 MILWAUKEE, WI 53226 MAIN: (414) 500-0080 E-MAIL: astein@logicda.com	

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PINNACLE ENGINEERING GROUP, LLC  
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISHEARS, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT OF THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

ABBREVIATIONS			
BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INW	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	∆	INTERSECTION ANGLE
NTS	NOT TO SCALE		

**BENCHMARKS**

**VERTICAL DATUM: NAVD88**

**REF BM: Reference Benchmark: Bronze Wisconsin Division of Highways Survey Disk, PID=DQ9054, Stamped = 36 117 A 597.18 2018, Elevation = 597.22**

- ### GENERAL NOTES
- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNERS DIRECTION.
  - A GEOTECHNICAL REPORT DATED SEPTEMBER 27, 2023 HAS BEEN PREPARED FOR THE PROJECT SITE. THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
  - THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
  - THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
  - QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
  - PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
  - COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED, AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
  - SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE OR CONTINUE UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
  - THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT, OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
  - THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGERS HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
  - SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
  - CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
  - THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

Additional Info

Project Name

SBX TWO RIVERS  
1509 WASHINGTON ST, CITY OF TWO RIVERS, WI

Dates/Revisions

Drawing Title  
COVER SHEET

C-1

**PINNACLE ENGINEERING GROUP**  
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PEG JOB #: 5123-00-WI

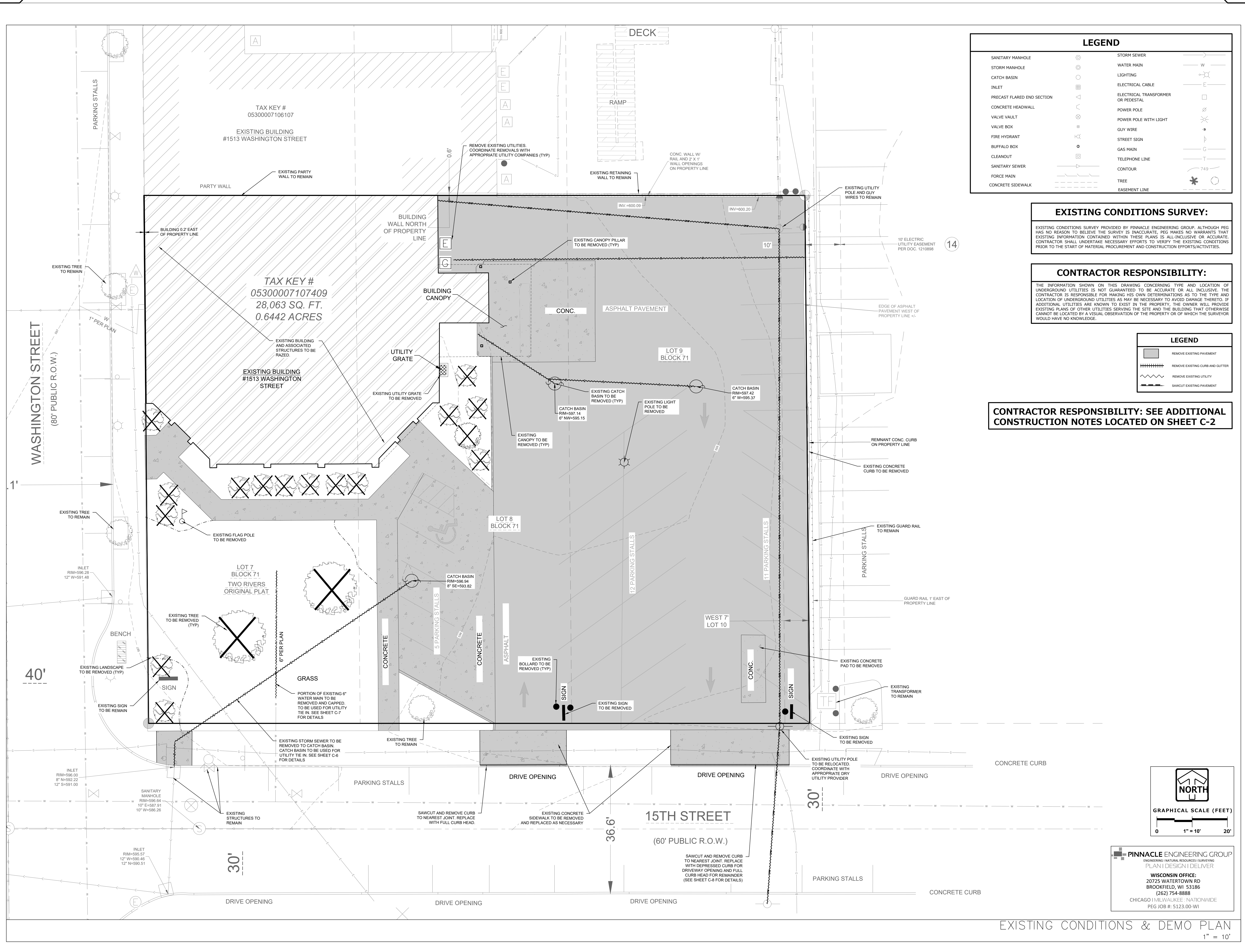
COVER SHEET  
N.T.S.

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FILE NAME: Z:\PROJECTS\2023\151310-WASHINGTON-SHEET-1513-10-01-EXISTING-CONDITIONS-&-DEMO-PLAN.DWG  
 PROJECT DATE: 11/16/2023



LEGEND	
SANITARY MANHOLE	STORM SEWER
STORM MANHOLE	WATER MAIN
CATCH BASIN	LIGHTING
INLET	ELECTRICAL CABLE
PRECAST FLARED END SECTION	ELECTRICAL TRANSFORMER OR PEDESTAL
CONCRETE HEADWALL	POWER POLE
VALVE VAULT	POWER POLE WITH LIGHT
VALVE BOX	GUY WIRE
FIRE HYDRANT	STREET SIGN
BUFFALO BOX	GAS MAIN
CLEANOUT	TELEPHONE LINE
SANITARY SEWER	CONTOUR
FORCE MAIN	TREE
CONCRETE SIDEWALK	EASEMENT LINE

**EXISTING CONDITIONS SURVEY:**

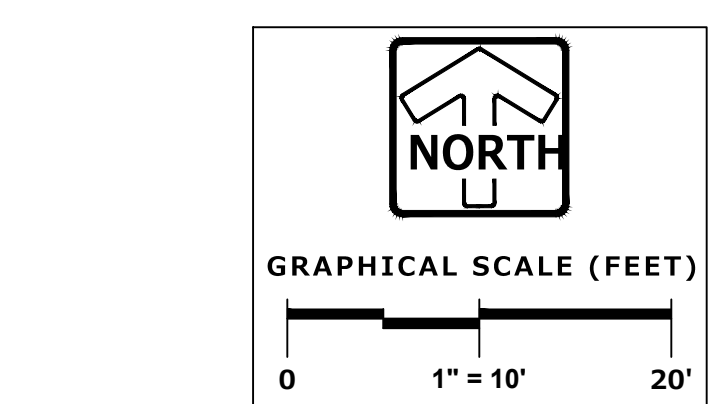
EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

**CONTRACTOR RESPONSIBILITY:**

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

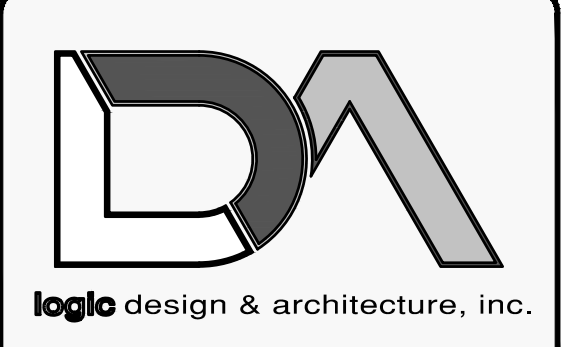
LEGEND	
	REMOVE EXISTING PAVEMENT
	REMOVE EXISTING CURB AND GUTTER
	REMOVE EXISTING UTILITY
	SAWCUT EXISTING PAVEMENT

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**



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EXISTING CONDITIONS & DEMO PLAN  
 1" = 10'



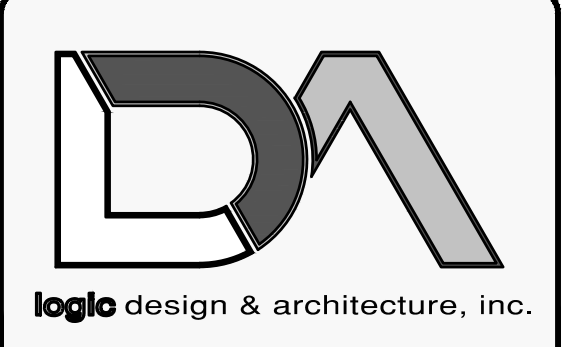
LogicDA.com | 414.909.0080  
 Project Manager: WBM  
 Job Number: 23-042

Additional Info	
Project Name	SBX TWO RIVERS 1509 WASHINGTON ST., CITY OF TWO RIVERS, WI
Dates/Revisions	
Drawing Title	EXISTING CONDITIONS & DEMO PLAN
Sheet Number	C-3

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 PLOT DATE: 11/16/2023



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 Project Manager: WBM  
 Job Number: 23-042

Additional Info	
Project Name	SBX TWO RIVERS 1509 WASHINGTON ST., CITY OF TWO RIVERS, WI
Dates/Revisions	
Drawing Title	SITE DIMENSIONAL & PAVING PLAN
Sheet Number	C-4

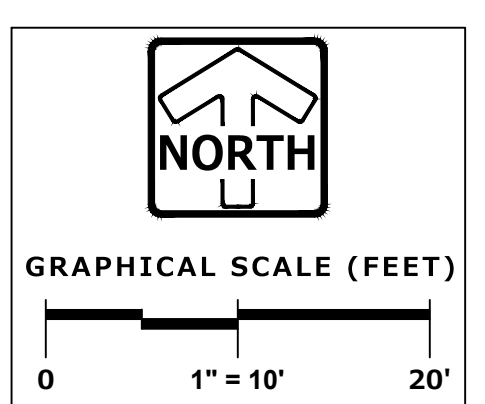
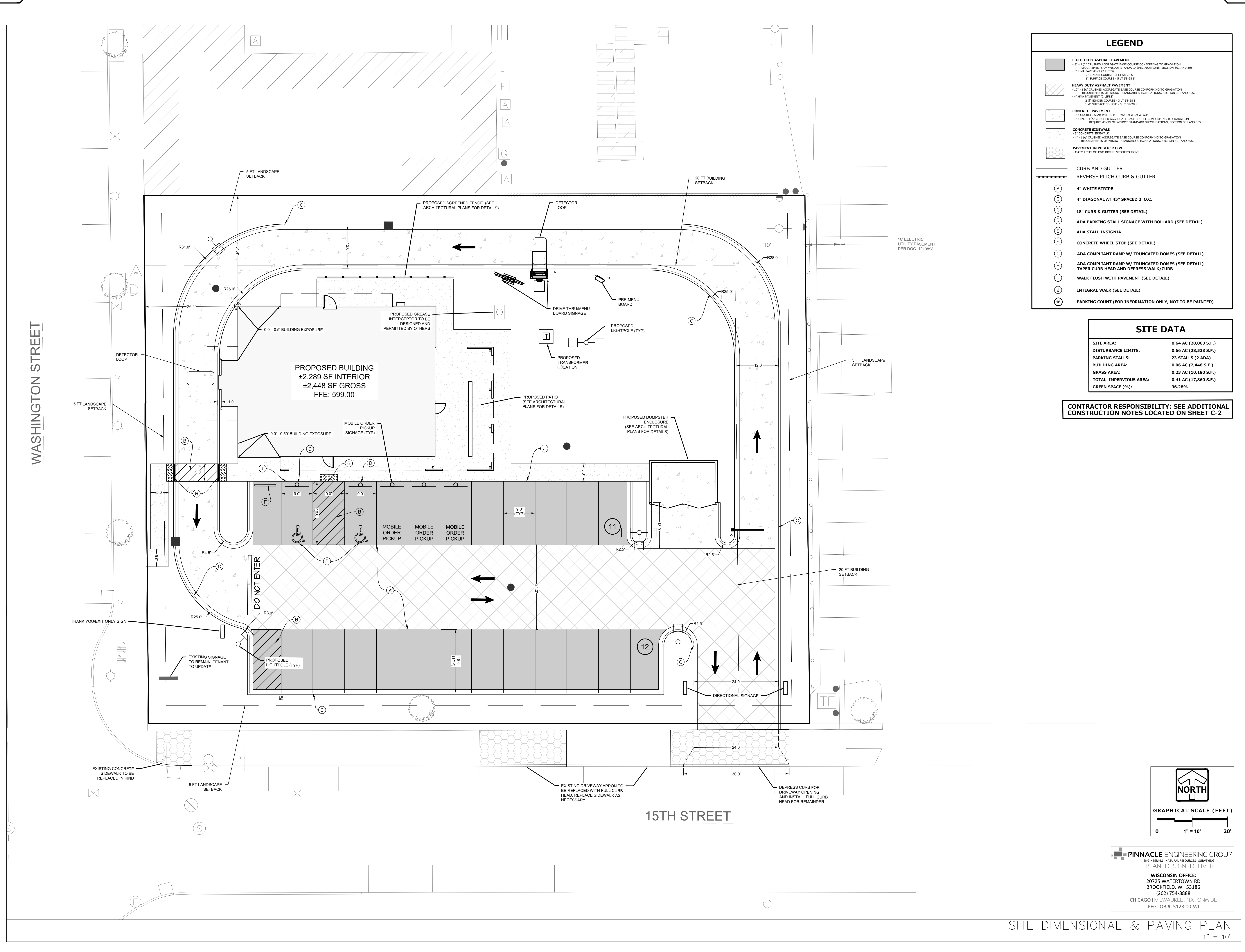
### LEGEND

	<b>LIGHT DUTY ASPHALT PAVEMENT</b> 6" 1/2 CRUSHED AGGREGATE BASE COURSE CONFORMING TO GRADATION REQUIREMENTS OF WISDOT STANDARD SPECIFICATIONS, SECTION 301 AND 305. 3" SMA PAVEMENT (2 LIFTS) 2" FINER COURSE - 3.1 LF 58-28.5 1" SURFACE COURSE - 3.1 LF 58-28.5
	<b>HEAVY DUTY ASPHALT PAVEMENT</b> 10" 1/2 CRUSHED AGGREGATE BASE COURSE CONFORMING TO GRADATION REQUIREMENTS OF WISDOT STANDARD SPECIFICATIONS, SECTION 301 AND 305. 4" SMA PAVEMENT (2 LIFTS) 2" FINER COURSE - 3.1 LF 58-28.5 1" SURFACE COURSE - 3.1 LF 58-28.5
	<b>CONCRETE PAVEMENT</b> 6" CONCRETE SLAB WITH 4" x 6" x 6" NO. 4 W x W M. 6" MIN. - 1 1/2" CRUSHED AGGREGATE BASE COURSE CONFORMING TO GRADATION REQUIREMENTS OF WISDOT STANDARD SPECIFICATIONS, SECTION 301 AND 305.
	<b>CONCRETE SIDEWALK</b> 5" CONCRETE SIDEWALK 4" 1/2" CRUSHED AGGREGATE BASE COURSE CONFORMING TO GRADATION REQUIREMENTS OF WISDOT STANDARD SPECIFICATIONS, SECTION 301 AND 305.
	<b>PAVEMENT IN PUBLIC R.O.W.</b> MATCH CITY OF TWO RIVERS SPECIFICATIONS
	<b>CURB AND GUTTER</b> REVERSE PITCH CURB & GUTTER
	4" WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2' O.C.
	18" CURB & GUTTER (SEE DETAIL)
	ADA PARKING STALL SIGNAGE WITH BOLLARD (SEE DETAIL)
	ADA STALL INSIGNIA
	CONCRETE WHEEL STOP (SEE DETAIL)
	ADA COMPLIANT RAMP W/ TRUNCATED DOMES (SEE DETAIL)
	ADA COMPLIANT RAMP W/ TRUNCATED DOMES (SEE DETAIL) TAPER CURB HEAD AND DEPRESS WALK/CURB
	WALK FLUSH WITH PAVEMENT (SEE DETAIL)
	INTEGRAL WALK (SEE DETAIL)
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

### SITE DATA

SITE AREA:	0.64 AC (28,063 S.F.)
DISTURBANCE LIMITS:	0.66 AC (28,533 S.F.)
PARKING STALLS:	23 STALLS (2 ADA)
BUILDING AREA:	0.06 AC (2,448 S.F.)
GRASS AREA:	0.23 AC (10,180 S.F.)
TOTAL IMPERVIOUS AREA:	0.41 AC (17,860 S.F.)
GREEN SPACE (%):	36.28%

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**



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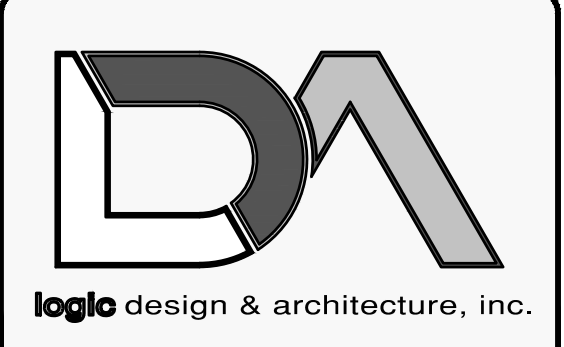
SITE DIMENSIONAL & PAVING PLAN  
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FILE NAME: Z:\PROJECTS\2023\5123-00-WL\CAD\SHETS\5123-00 GRADING & EROSION CONTROL PLAN.DWG



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Project Manager: WBM  
Job Number: 23-042

Additional Info
Project Name
SBX TWO RIVERS 1509 WASHINGTON ST., CITY OF TWO RIVERS, WI
Dates/Revisions
Drawing Title GRADING & EROSION CONTROL PLAN
C-5

### LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM STORM CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- PROPOSED CONTOUR
- + 750.0 PROPOSED SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- SILT FENCE
- WISDOT TYPE D INLET PROTECTION
- ▨ CONSTRUCTION ENTRANCE
- HYDROSEED
- ▨ TURF REINFORCED MATTING (N.A.G. S758N OR EQUIVALENT)

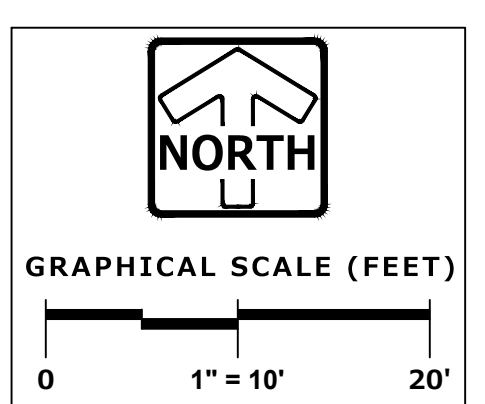
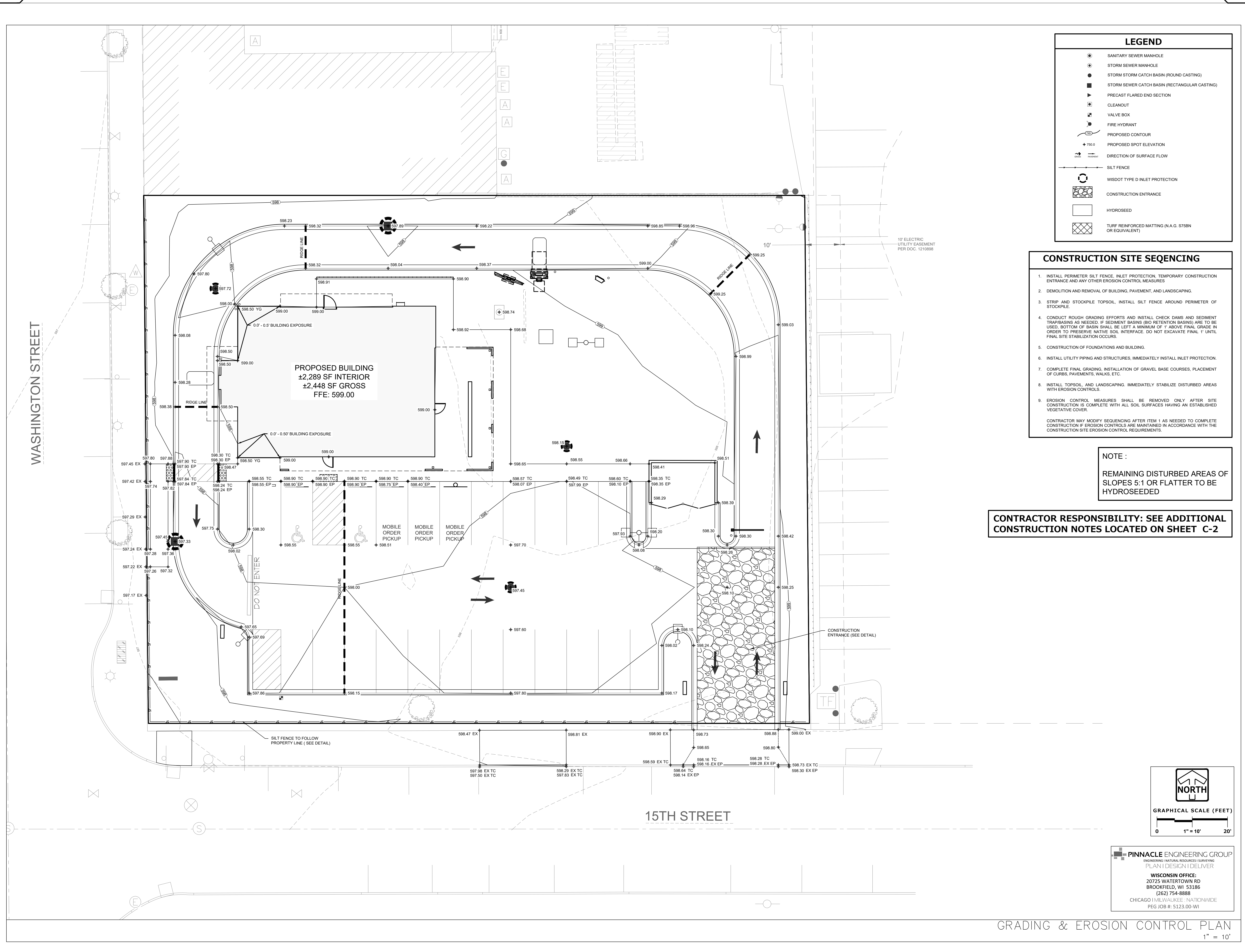
### CONSTRUCTION SITE SEQCING

- INSTALL PERIMETER SILT FENCE, INLET PROTECTION, TEMPORARY CONSTRUCTION ENTRANCE AND ANY OTHER EROSION CONTROL MEASURES.
- DEMOLITION AND REMOVAL OF BUILDING, PAVEMENT, AND LANDSCAPING.
- STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAP BASINS AS NEEDED. IF SEDIMENT BASINS (BO RETENTION BASINS) ARE TO BE USED, BOTTOM OF BASIN SHALL BE LEFT A MINIMUM OF 1' ABOVE FINAL GRADE IN ORDER TO PRESERVE NATIVE SOIL INTERFACE. DO NOT EXCAVATE FINAL 1' UNTIL FINAL SITE STABILIZATION OCCURS.
- CONSTRUCTION OF FOUNDATIONS AND BUILDING.
- INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- INSTALL TOPSOIL AND LANDSCAPING. IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

**NOTE :**  
REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEED

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

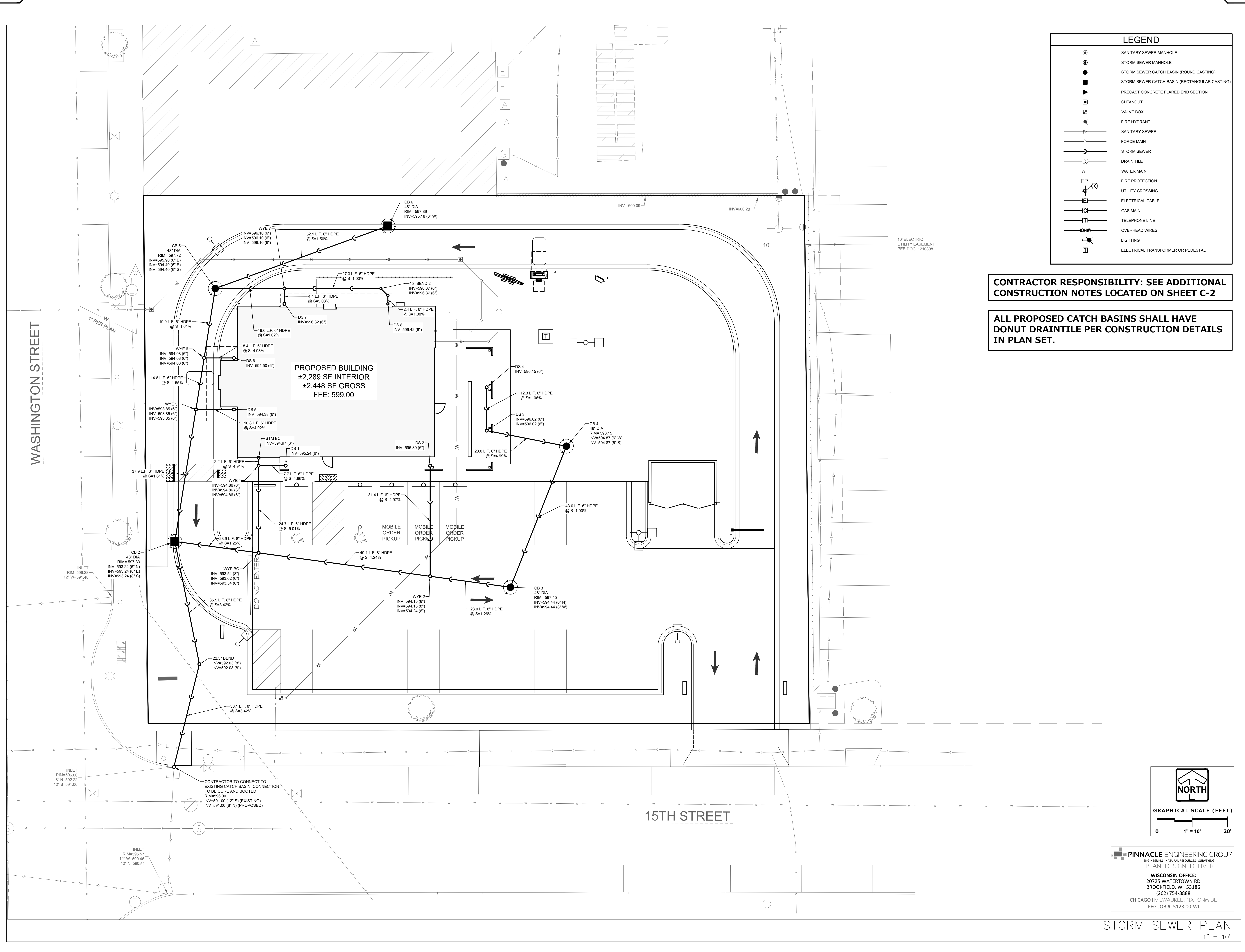


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GRADING & EROSION CONTROL PLAN  
1" = 10'

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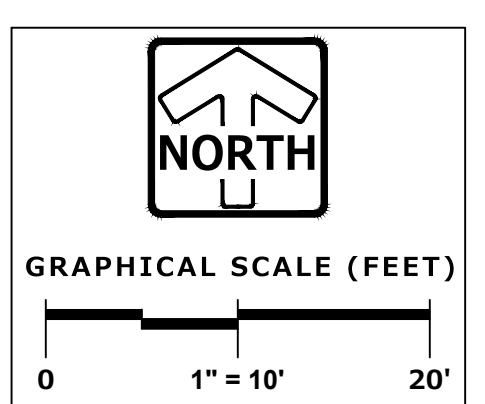
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 PLOT DATE: 11/16/2023



LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	SANITARY SEWER
	FORCE MAIN
	STORM SEWER
	DRAIN TILE
	WATER MAIN
	FIRE PROTECTION
	UTILITY CROSSING
	ELECTRICAL CABLE
	GAS MAIN
	TELEPHONE LINE
	OVERHEAD WIRES
	LIGHTING
	ELECTRICAL TRANSFORMER OR PEDESTAL

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**ALL PROPOSED CATCH BASINS SHALL HAVE DONUT DRAINTILE PER CONSTRUCTION DETAILS IN PLAN SET.**



**PINNACLE ENGINEERING GROUP**  
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**STORM SEWER PLAN**  
 1" = 10'

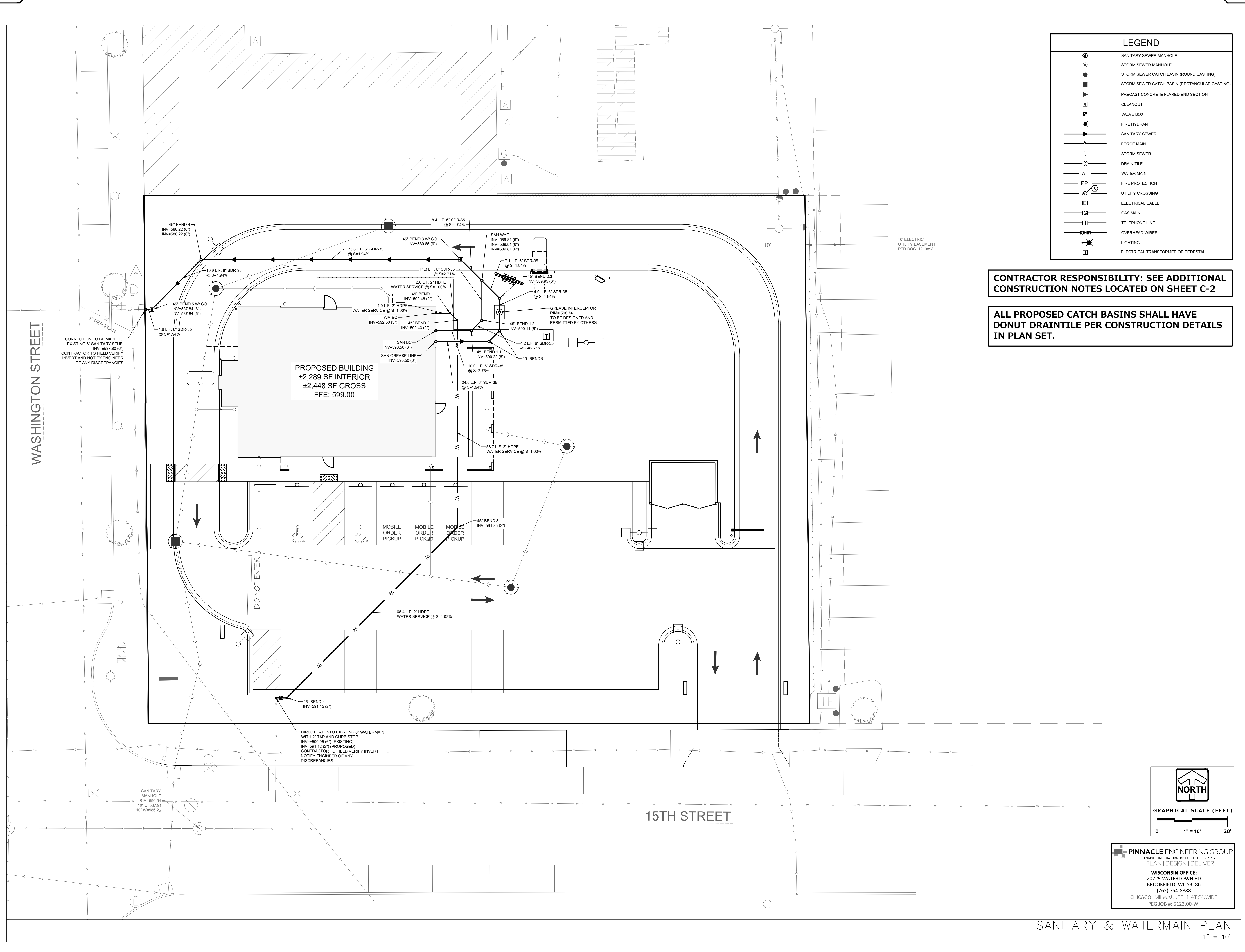
LogicDA.com | 414.909.0080  
 Project Manager: WBM  
 Job Number: 23-042

Additional Info	
Project Name	SBX TWO RIVERS 1509 WASHINGTON ST., CITY OF TWO RIVERS, WI
Dates/Revisions	
Drawing Title	STORM SEWER PLAN
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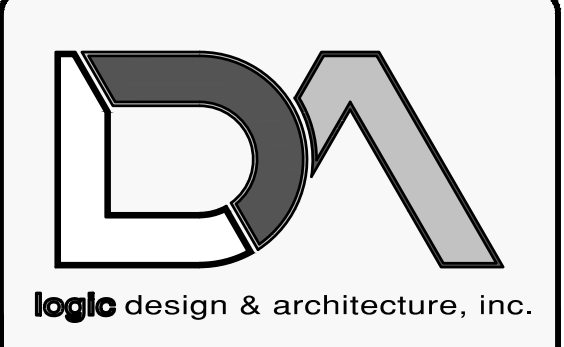
PROJ. DATE: 11/16/2023



LEGEND	
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	SANITARY SEWER
	FORCE MAIN
	STORM SEWER
	DRAIN TILE
	WATER MAIN
	FIRE PROTECTION
	UTILITY CROSSING
	ELECTRICAL CABLE
	GAS MAIN
	TELEPHONE LINE
	OVERHEAD WIRES
	LIGHTING
	ELECTRICAL TRANSFORMER OR PEDESTAL

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**ALL PROPOSED CATCH BASINS SHALL HAVE DONUT DRAINTILE PER CONSTRUCTION DETAILS IN PLAN SET.**



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Project Manager: WBM  
Job Number: 23-042

Additional Info

Project Name

SBX TWO RIVERS  
1509 WASHINGTON ST. CITY OF TWO RIVERS, WI

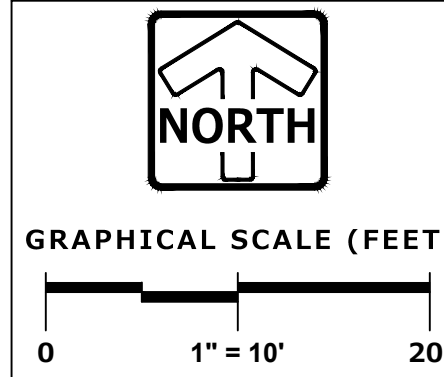
Dates/Revisions

Drawing Title

SANITARY & WATERMAIN PLAN

C-7

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**PINNACLE ENGINEERING GROUP**  
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PLAN | DESIGN | DELIVER  
WISCONSIN OFFICE:  
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(262) 754-8888  
CHICAGO | MILWAUKEE | NATIONWIDE  
PEG JOB #: 5123.00-WI

SANITARY & WATERMAIN PLAN  
1" = 10'

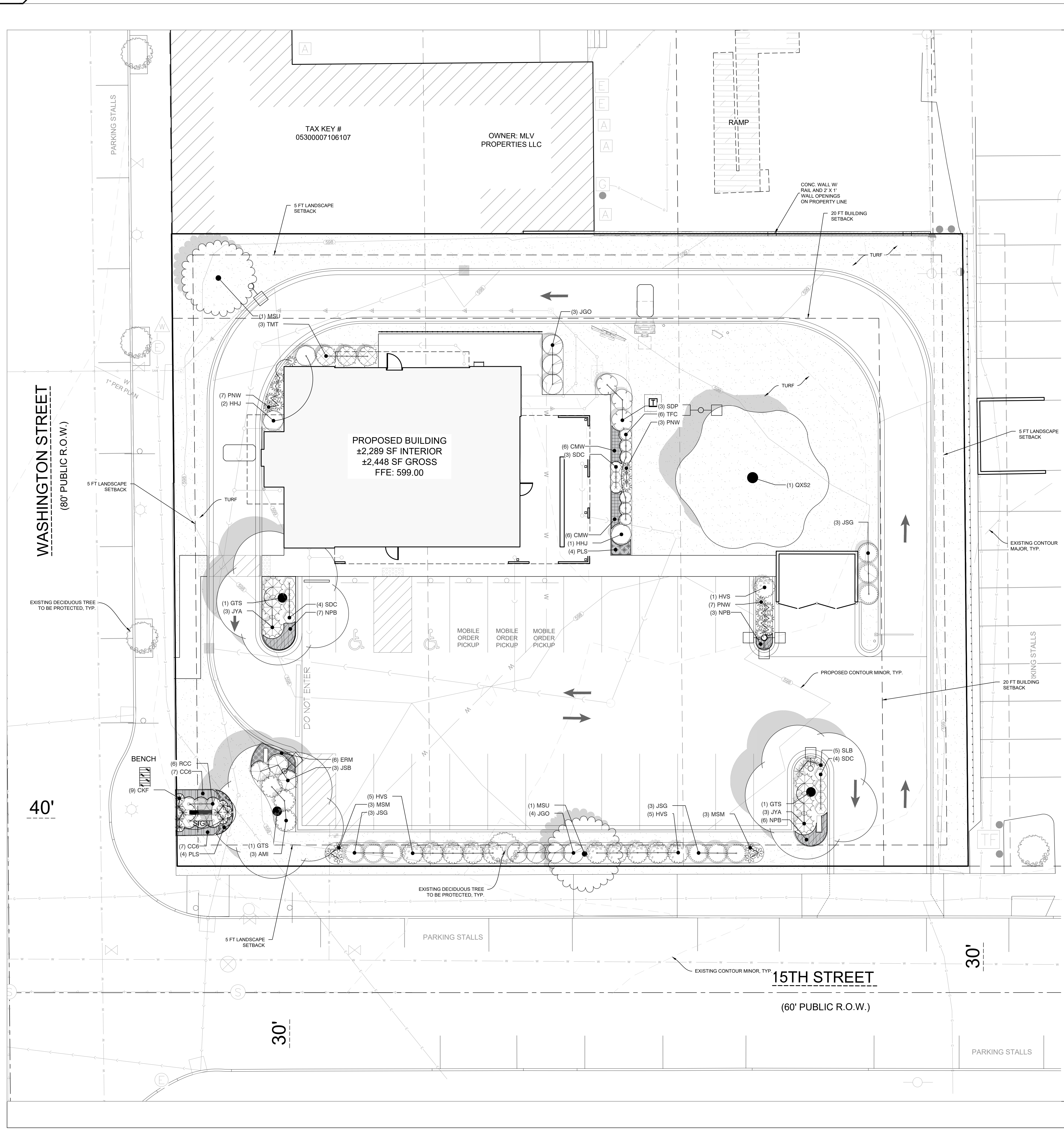
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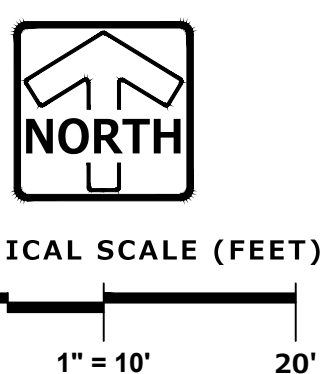
FILE NAME: Z:\PROJECTS\2023\1509 WASHINGTON ST - WISCONSIN\1509 WASHINGTON ST - LANDSCAPE PLAN.DWG  
 PLOT DATE: 11/16/2023



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 Job Number: 23-042



CODE	QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS
<b>TREES</b>				
GTS	3	Gleditsia triacanthos inermis 'Shademaster'	2' Cal.	60' T x 50' W
MSU	2	Malus x Sugar Tyme' Sugar Tyme Crabapple	2' Cal.	25' T x 25' W
QXS2	1	Quercus x schuettii Swamp Bur Oak	2' Cal.	70' T x 65' W
<b>SHRUBS</b>				
AMI	3	Aronia melanocarpa 'Iroquois Beauty' Black Chokeberry	3 gal.	3' T x 5' W
HVS	11	Hydrangea p 'Vanilla Strawberry' Vanilla Strawberry Hydrangea	3 gal.	6' T x 5' W
HHJ	3	Hydrangea quercifolia PIHQ-F Jetstream Oakleaf Hydrangea	3 gal.	5' T x 5' W
RCC	6	Rosa x 'Coral Cove' Coral Cove Rose	2 gal.	3' T x 3' W
SDC	11	Spiraea japonica NCSX1' Double Play Candy Corn Spirea	2 gal.	2' T x 2.5' W
SDP	3	Syringa x 'SMSJSPF' Blooming Dark Purple Lilac	2 gal.	4' T x 5' W
<b>EVERGREEN SHRUBS</b>				
JSG	9	Juniperus chinensis 'Sea Green' Sea Green Juniper	3 gal.	5' T x 5' W
JYA	6	Juniperus horizontalis 'Youngstown' Andorra Juniper	3 gal.	10' T x 60' W
JSB	3	Juniperus sabinia 'Buffalo' Buffalo Juniper	3 gal.	1' T x 6' W
JGO	7	Juniperus virginiana 'Grey Owl' Grey Owl Juniper	3 gal.	3' T x 5' W
TMT	3	Taxus x media 'Tauntonii' Tauntoni Yew	3 gal.	4' T x 5' W
TFC	6	Thuja occidentalis 'Congabe' Fire Chief Arborvitae	2 gal.	2' T x 3' W
<b>ORNAMENTAL GRASSES</b>				
CKF	9	Calamagrostis x a 'Karl Foerster' Karl Foerster Reed Grass	1 gal.	36" T x 24" W
MSM	6	Miscanthus sinensis 'Malepartus' Malepartus Miscanthus	1 gal.	48" T x 30" W
PNW	17	Panicum virgatum 'Northwind' Northwind Switch Grass	1 gal.	42" T x 28" W
SLB	5	Schizachyrium scoparium 'Blue Heaven' Blue Heaven Little Bluestem Grass	1 gal.	30" T x 28" W
<b>PERENNIALS</b>				
CMW	12	Calamintha nepeta 'Montrose White' Montrose White Calamint	4.5" cont.	18" T x 18" W
CC6	14	Coreopsis verticillata 'Route 66' Route 66 Threadleaf Tickseed	4.5" cont.	20" T x 20" W
ERM	6	Echinacea purpurea 'Rainbow' Butterfly Rainbow Marcella Coneflower	4.5" cont.	15" T x 24" W
NPB	15	Nepeta x faassenii 'Purrsian Blue' Purrsian Blue Catmint	4.5" cont.	14" T x 24" W
PLS	8	Perovskia atriplicifolia 'Little Spire' Little Spire Russian Sage	4.5" cont.	24" T x 24" W
<b>SYMBOL</b>				
TURF	8,678 sf	Turf Hydroseed Reinders - Cadet 70/30 Fescue/Blue Mix		



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 CHICAGO ILL. WISCONSIN NATIONWIDE  
 PEG JOB #: 5123.00-WI

**LANDSCAPE PLAN**  
 1" = 10'

Additional Info

Project Name

SBX TWO RIVERS  
 1509 WASHINGTON ST, CITY OF TWO RIVERS, WI

Dates/Revisions

Drawing Title

LANDSCAPE PLAN

L-1

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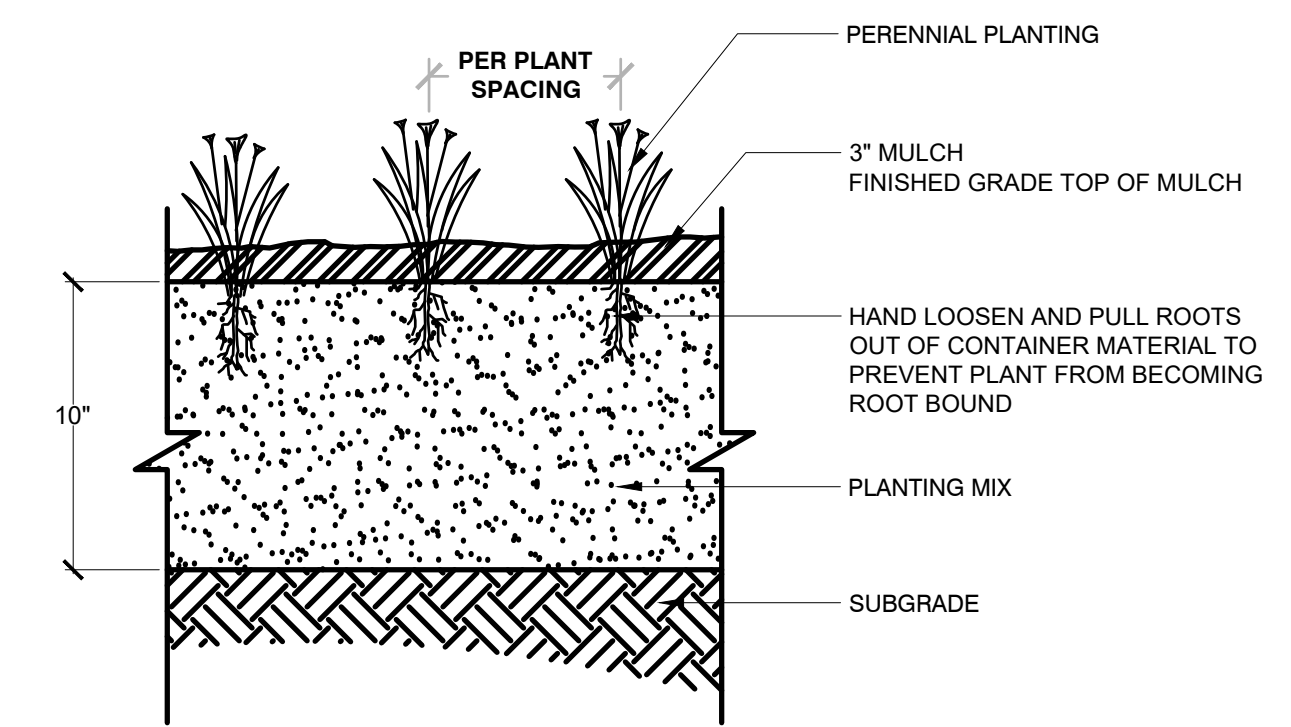
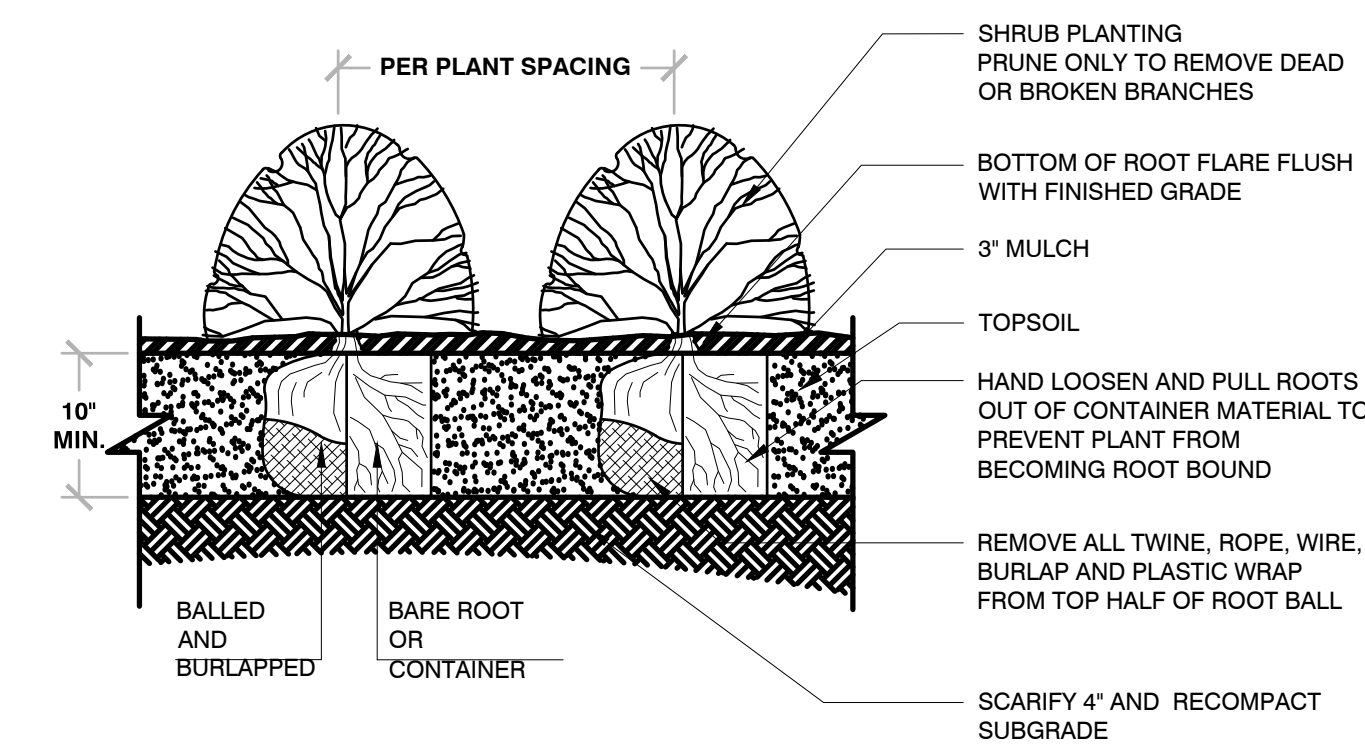
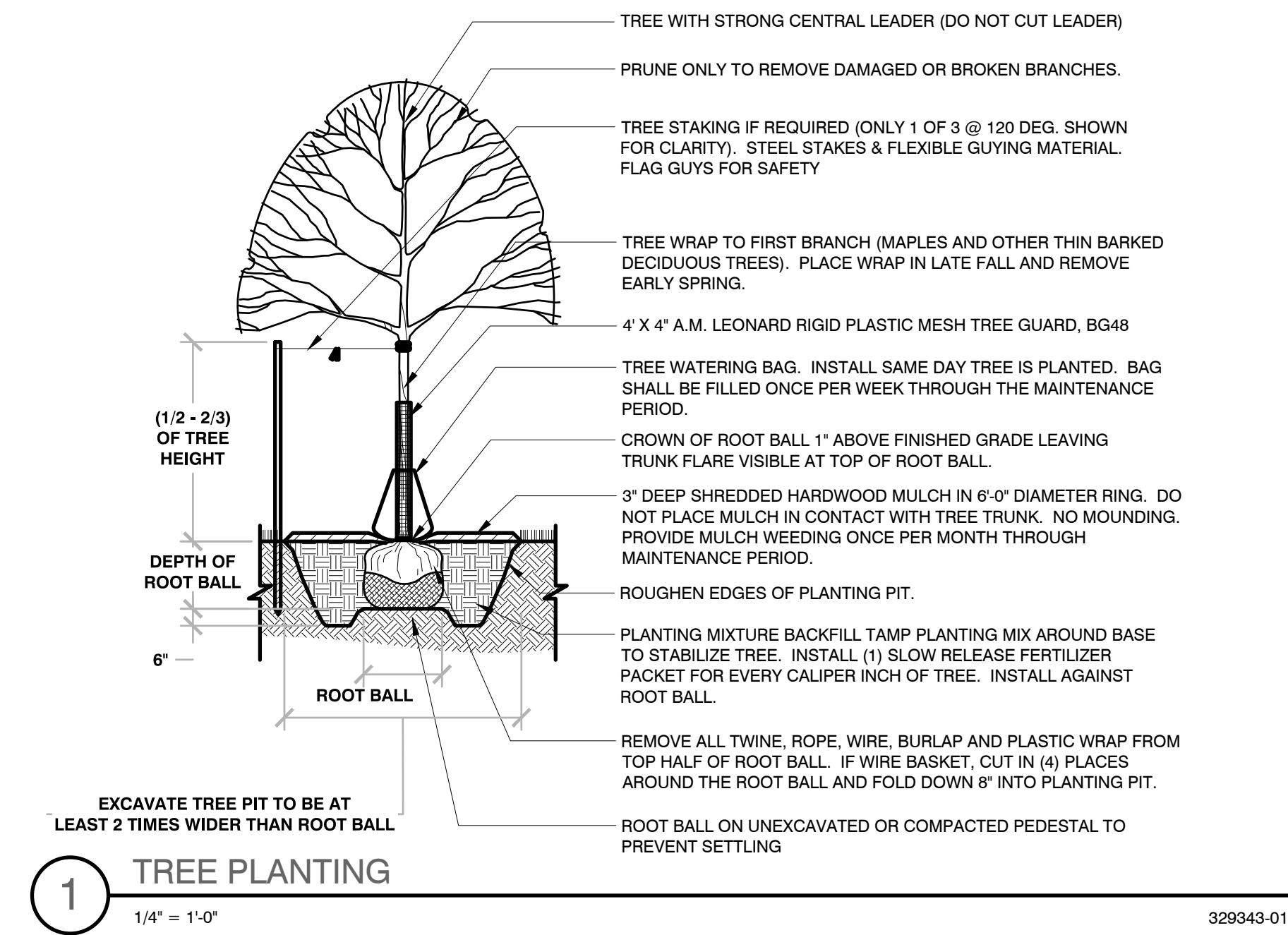
PROJECT DATE: 11/16/2023  
FILE NAME: Z:\PROJECTS\2023\23-00-WALKER\23-00-WALKER-GENERAL NOTES & DETAILS - LANDSCAPE PLANTING

**GENERAL PLANTING NOTES**

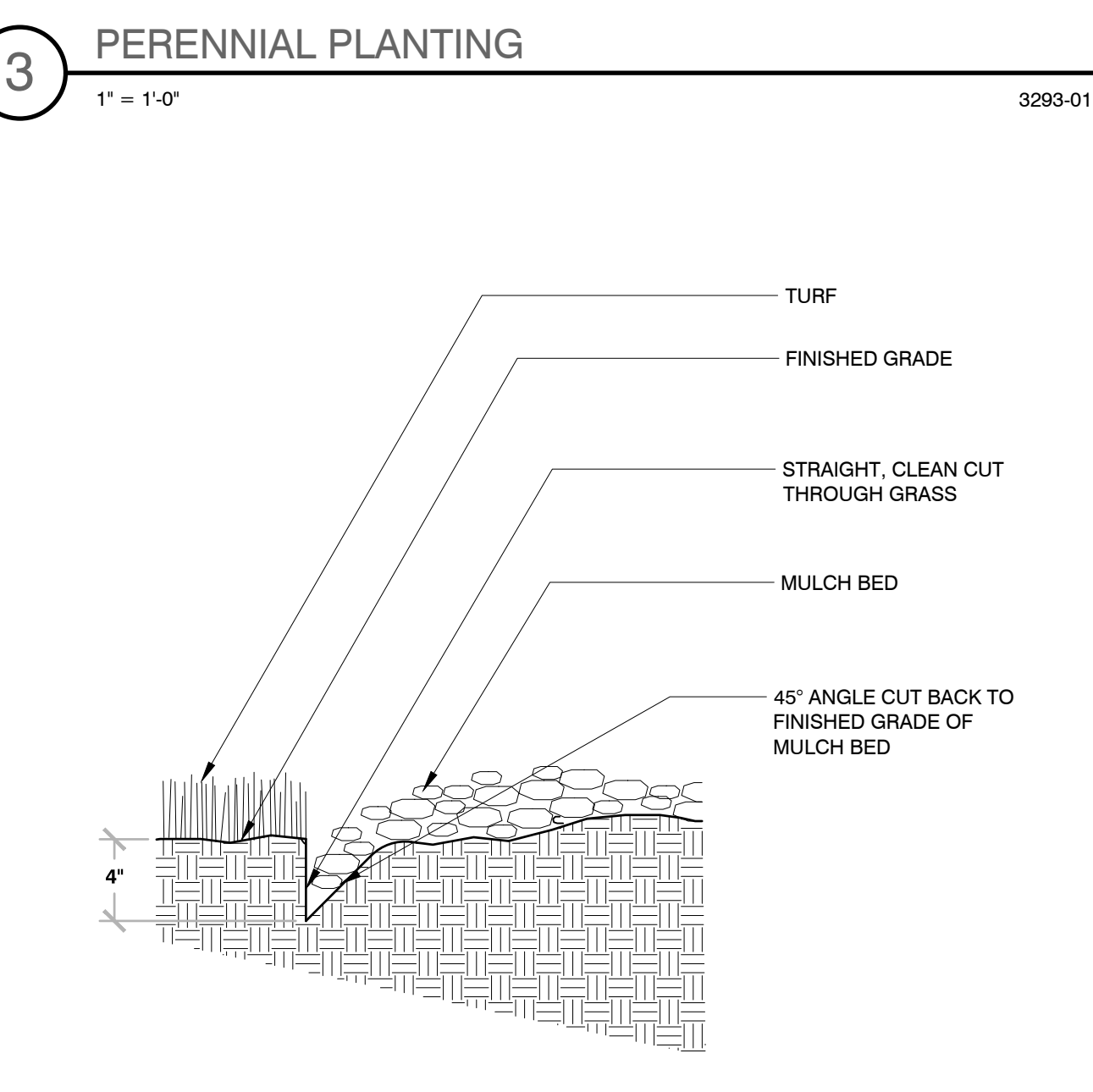
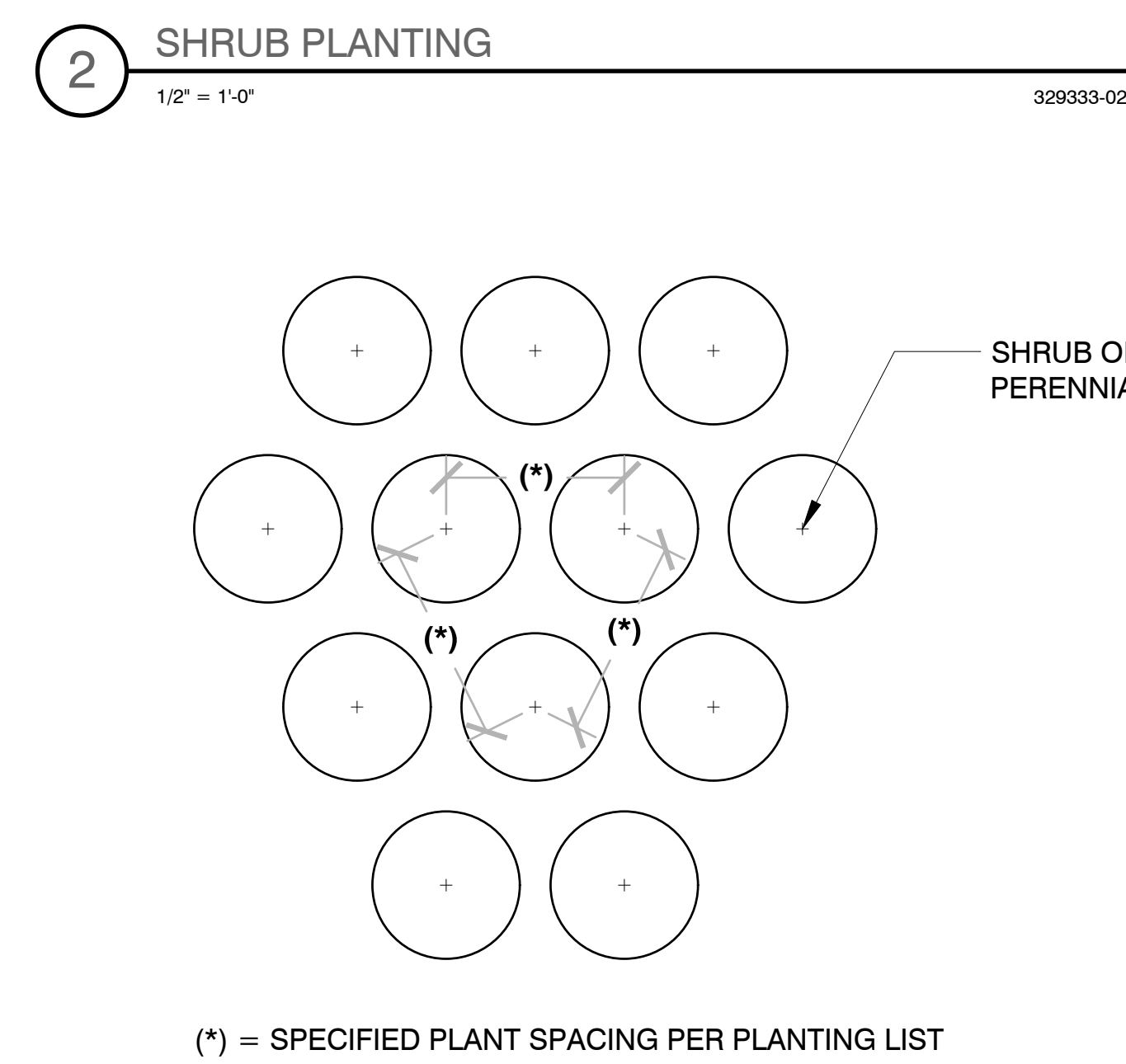
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL) THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL 2/3 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
  - 10 FEET FROM ANY FIRE HYDRANT
  - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

**SOIL PLACEMENT NOTES**


- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENEED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED, WORK INTO TOP OF LOOSENEED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



- BAREROOT PLANTING NOTES:**
- SOAK ROOTS IN WATER FOR AT LEAST ONE HOUR BUT NOT MORE THAN 24 HOURS PRIOR TO PLANTING.
  - SCARIFY SIDES AND BOTTOMS OF HOLE.
  - PROCEED WITH CORRECTIVE PRUNING OF THE TOP AND BOTTOM ROOTS.
  - TRANSFER PLANT DIRECTLY FROM WATER TO HOLE. SET PLANT SO THE ROOT FLARE IS APPROXIMATELY AT THE FINISHED SOIL ELEVATION. SPREAD ROOTS OUT EVENLY. PLUMB AND IMMEDIATELY BACKFILL WITH PLANTING SOIL MIX.
  - WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
  - BACKFILL VOIDS AND WATER SECOND TIME.
  - PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.



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Project Manager: WBM  
Job Number: 23-042

Additional Info

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Project Name

**SBX TWO RIVERS**  
1509 WASHINGTON ST. CITY OF TWO RIVERS, WI

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Dates/Revisions

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Drawing Title

LANDSCAPE GENERAL NOTES & DETAILS

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L-2

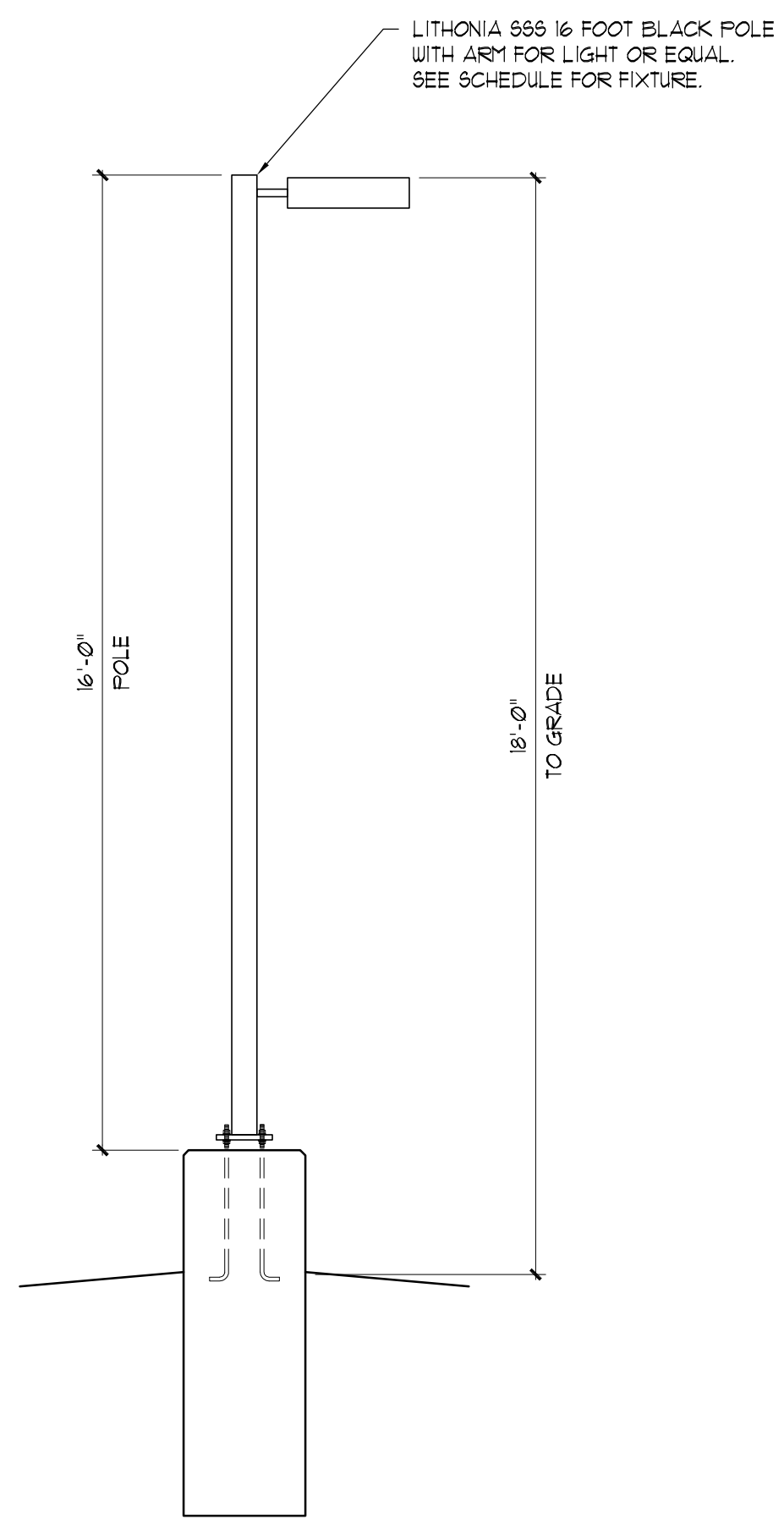
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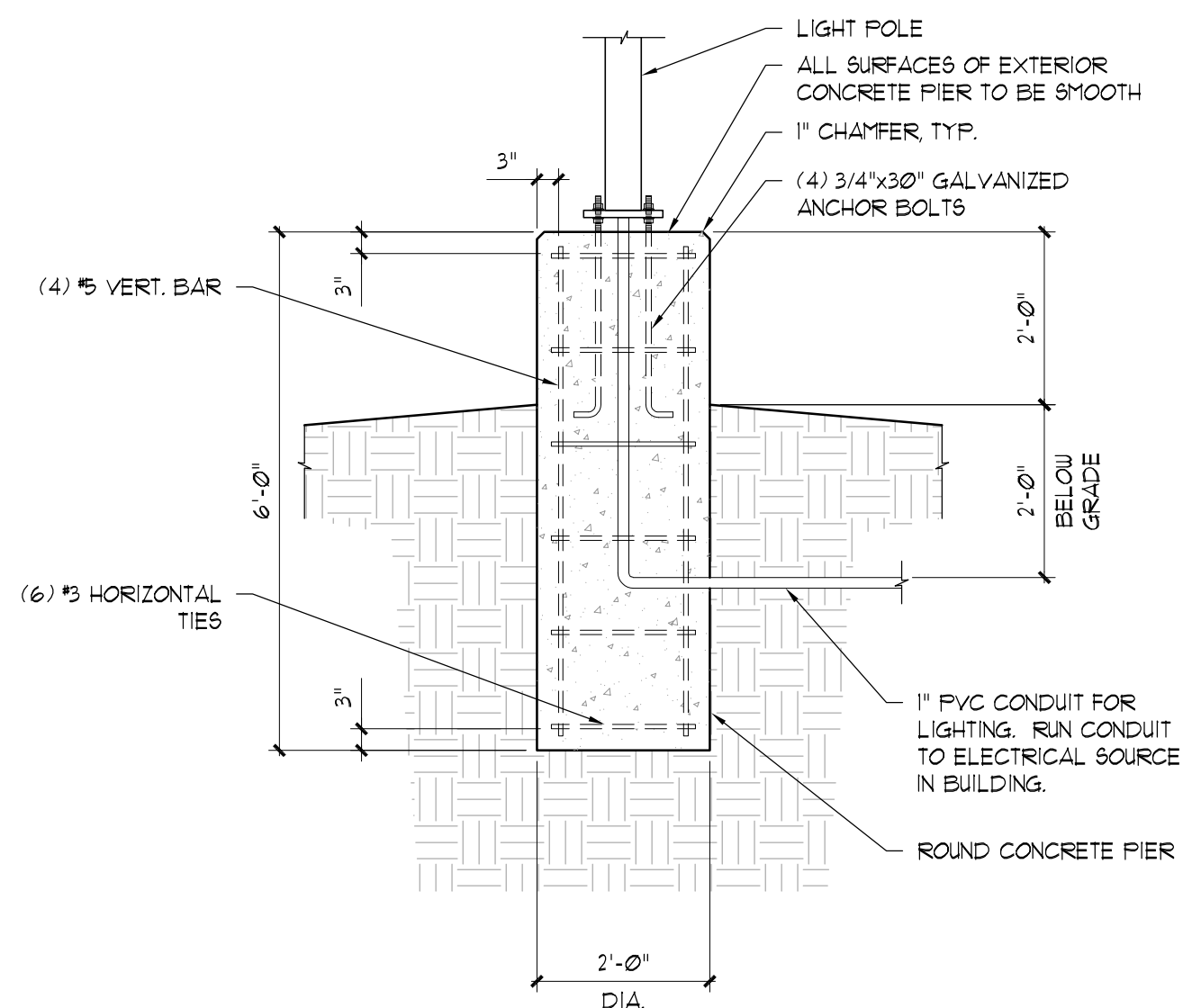
**LUMINAIRE SCHEDULE**

SYMBOL	LABEL	QTY	MANUFACTURER/MODEL	DESCRIPTION	LAMP	SYMBOL	LABEL	QTY	MANUFACTURER/MODEL	DESCRIPTION	LAMP	SYMBOL	LABEL	QTY	MANUFACTURER/MODEL	DESCRIPTION	LAMP
□	EX			EXISTING CITY LIGHTS		□	E		BEGA TT 646 FINISH STAINLESS STEEL	MOUNTED TO BE FLUSH WITH SIDEWALK	LED 40W 3000K	□	L	1	LITHONIA D6X1 LED P5 30K T5W MVOLT DBLXD	POLE MOUNTED ON CONCRETE BASE MOUNTED APPROX. 18' AFF	(120) LED 552W 4000K
○	A	15	KICHLER I251BKT30	WALL MOUNTED DOWNLIGHT MOUNTED APPROX. 1' AFF	LED 15W 3000K	□	F		BEGA TT 643 FINISH STAINLESS STEEL	MOUNTED TO BE FLUSH WITH SIDEWALK	LED 50.4W 3000K						
○	B	29	LITHONIA UF4 LED 30K 90CRI MB	RECESSED DOWNLIGHT MOUNTED APPROX. 11'-0" AFF	LED 10.5W 4000K	□	G	1	LITHONIA D6X1 LED P5 30K LCCO MVOLT DBLXD	POLE MOUNTED ON CONCRETE BASE MOUNTED APPROX. 18' AFF	(30) LED 130W 4000K						
△	C	15	BEGA TT 682 FINISH BLACK	MOUNTED ON GROUND	LED 13.5W 3000K	□	H	1	LITHONIA D6X1 LED P5 30K T4M MVOLT DBLXD	POLE MOUNTED ON CONCRETE BASE MOUNTED APPROX. 18' AFF	(30) LED 130W 4000K						
△	C'	4	BEGA TT 682 FINISH BLACK	MOUNTED ON CANOPY	LED 13.5W 3000K	□	J	1	LITHONIA D6X1 LED P5 30K T4M MVOLT DBLXD	POLE MOUNTED ON CONCRETE BASE MOUNTED APPROX. 18' AFF	(30) LED 216W 4000K						
□	D	3	BEGA TT 643 FINISH STAINLESS STEEL	MOUNTED TO BE FLUSH WITH SIDEWALK	LED 20W 3000K	□	K	1	LITHONIA D6X1 LED P5 30K T5W MVOLT DBLXD	POLE MOUNTED ON CONCRETE BASE MOUNTED APPROX. 18' AFF	(60) LED 216W 4000K						

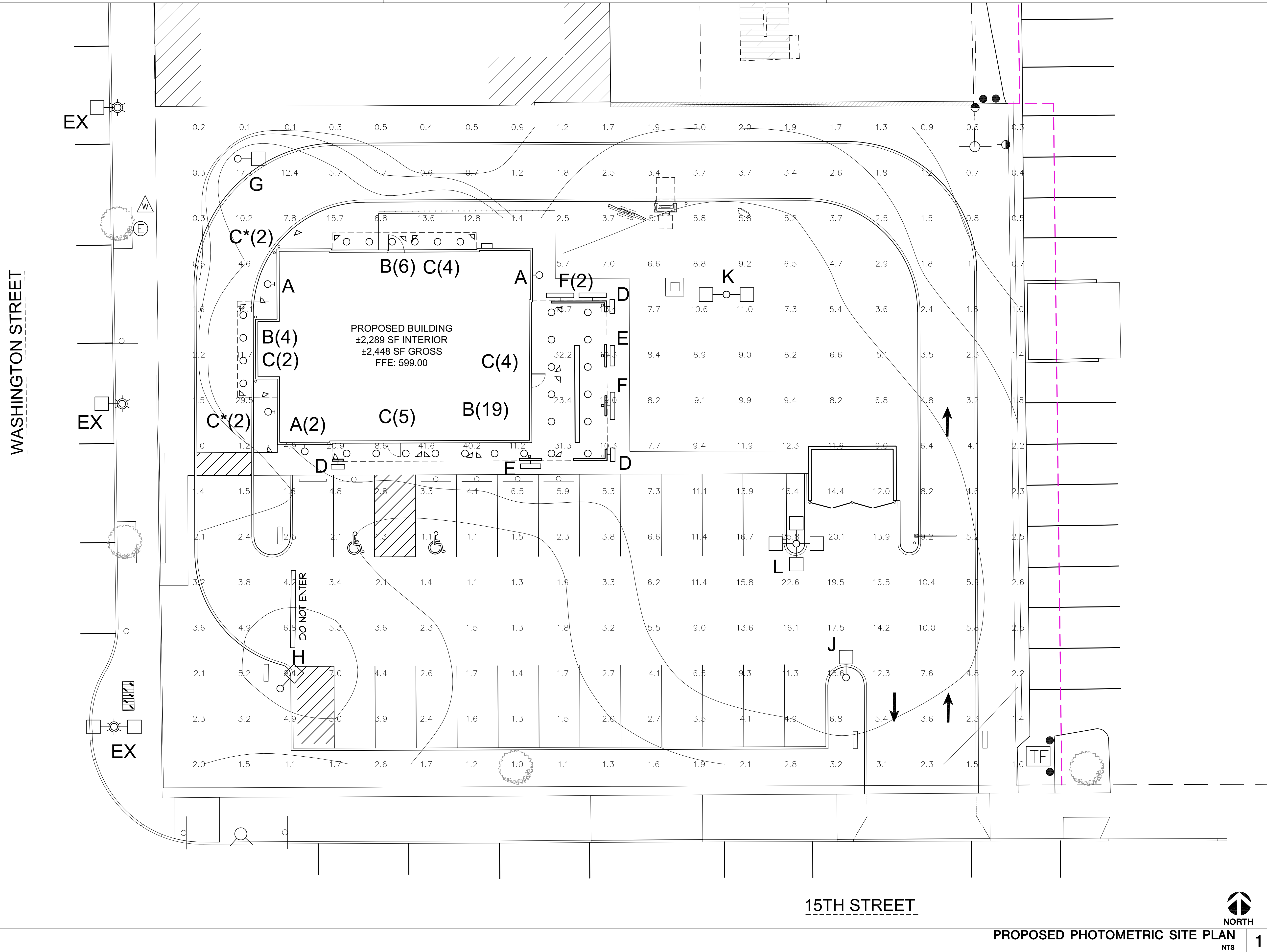
NOT USED 4



AREA LIGHT POLE N.T.S. 3



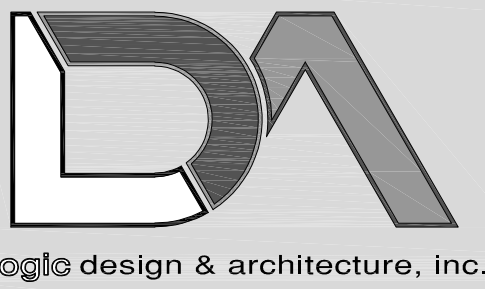
LIGHT POLE FOUNDATION 1/2"=1'-0" 2



15TH STREET



PROPOSED PHOTOMETRIC SITE PLAN N.T.S. 1



LogicDA.com : 414.909.0080  
Project Manager: WBM  
Job Number: 23-042

Additional Info

Project Name

Project Name

**New Building For: Starbucks**  
1509 Washington Street  
Two Rivers, WI 54241

Dates/Revisions

09.20.23  
PRELIM. 20% SET  
11.03.23  
PRELIM. 20% SET  
11.17.23  
PC SUBMITTAL

Drawing Title

PHOTOMETRIC SITE PLAN

PSP1.1

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- PRELIMINARY -  
NOT FOR CONSTRUCTION

December 1, 2023

RE: Review of Conditional Use Permit application for use of self-storage units on 15<sup>th</sup> street, for parcel 05300007601503

Alliance Construction & Design in conjunction with Eric Burrows with B&B Metals submit this written narrative to answer the questions and comments presented at the November 13, 2023, plan commission meeting. We have revised the site plan in response to the items in question and in need of clarification. Please see the revised site plan and supporting documents submitted with this narrative.

The supporting documents include renderings of the proposed development from the driveway of the site and from the river on pages 4 and 5, a survey of the existing site from Stantec on page 6, the revised site plan on page 7 (sheet A050), a site plan with fire truck turning and maneuvering on page 8 (sheet A052), the largest fire truck turning radius for the City of Two Rivers on page 9, a site plan with truck and trailer turning and maneuvering on page 10 (sheet A053), an area map that shows the proposed development site and neighboring sites with their uses and zoning on page 11, a “before and after” view of the existing property from the proposed driveway on page 12, and images of neighboring properties on the waterfront on pages 13 – 16.

The questions/ items for clarification include:

1. The proximity to the CN Trestle Bridge and the impact of this proximity to the ability of boats to maneuver within this area.
2. What type and size of boats this project is seeking to attract to use the ramp and to store.
3. The slope of the boat ramp itself and its condition.
4. The existence or status of a boat ramp permit with the WI DNR.
5. The preliminary plan layout does not appear to show enough area for vehicles with boats or trailers to turn or maneuver to access the storage units or to maneuver to access the boat ramp. This is also the case for fire trucks to access the site and boat launch area.
6. The site plan does not show the 25-foot setback requirement from the Planned Unit Development (PUD) zoned parcels to the north.
7. The number of storage units, and the proposal overall, will necessitate a stormwater management plan for review and approval by the City of Two Rivers and the state.
8. A grading plan will also be required for review and approval by the City of Two Rivers.
9. A vegetative screen specifically to screen Building 4 and the width of the waterfront frontage is a recommended condition. The vegetative screen is to be at least as tall as the eaves of Building 4. A landscaping plan is a requirement of the Site and Architectural review process, and this vegetative screening is a condition of the CUP review.



1. Due to the proximity of the CN Trestle Bridge, we are proposing to close and remove the existing boat ramp near the CN Trestle Bridge and open a new boat ramp to the north.
2. The boats that we are proposing be stored in units are small to large sized boats. The length can range from an 8'-0" Jon boat to a 30'-0" fishing boat. Although we have designed units large enough to house boats, the units are not limited to only boat storage. Similar in nature to other self-storage facilities, customers are able to store various personal items in the units.
3. Per our civil engineer, Christian Moring, PE, with Stantec, the targeted slope for the boat launch will be 12% - 15% per industry standard. Less than 12% risks bringing the vehicles axle into the water by the time the boat is far enough into the water. A slope steeper than 15% will be avoided as it can create a slip/ fall hazard for people. The ramp will be wide enough to accommodate 1 lane. The dock will have the ability to accommodate space for 1 boat loading or unloading with a space for 1 boat to wait.
4. Per Kathi Kramasz, Waterways Program staff for Manitowoc County with the WI DNR, a DNR individual permit will be needed for the new boat ramp. The boat ramp is proposed to be private and only to be used by those who are storing their boats in the self-storage units on site. All necessary permits will be obtained with the WI DNR, the City of Two Rivers, and any other applicable state permits. We will apply for permits after we have CUP approval to move forward with this development.
5. The site plan was altered to provide a 30'-0" drive aisle between buildings 1 and 2 due to the smaller size of the units that are off of that 30'-0" drive aisle. The 30'-0" is industry standard for aisles between storage unit buildings housing units with sizes of 12'x20' and smaller. This similar condition is proposed between buildings 2 and 5. 60'-0" of space is provided between buildings 2 and 3 for adequate maneuvering of vehicles with trailers. A minimum of 90.86' is provided in front of the 2 large, 12'x40' storage units in building 2. A minimum of 57.01' is provided in front of the 6 large, 12'x40' storage units in building 4. The truck with trailer turning and maneuvering on site is shown on sheet A053 in the documents included with this narrative. The fire truck turning and maneuvering on site is shown on sheet A052 in the documents included with this narrative. The fire truck turning radius is based off the largest truck the City of Two Rivers Fire Department has. The turning radius information was received from Chad Kakes, Assistant Chief of Fire Operations for the City of Two Rivers Fire Department, and is also included with the submitted documents.

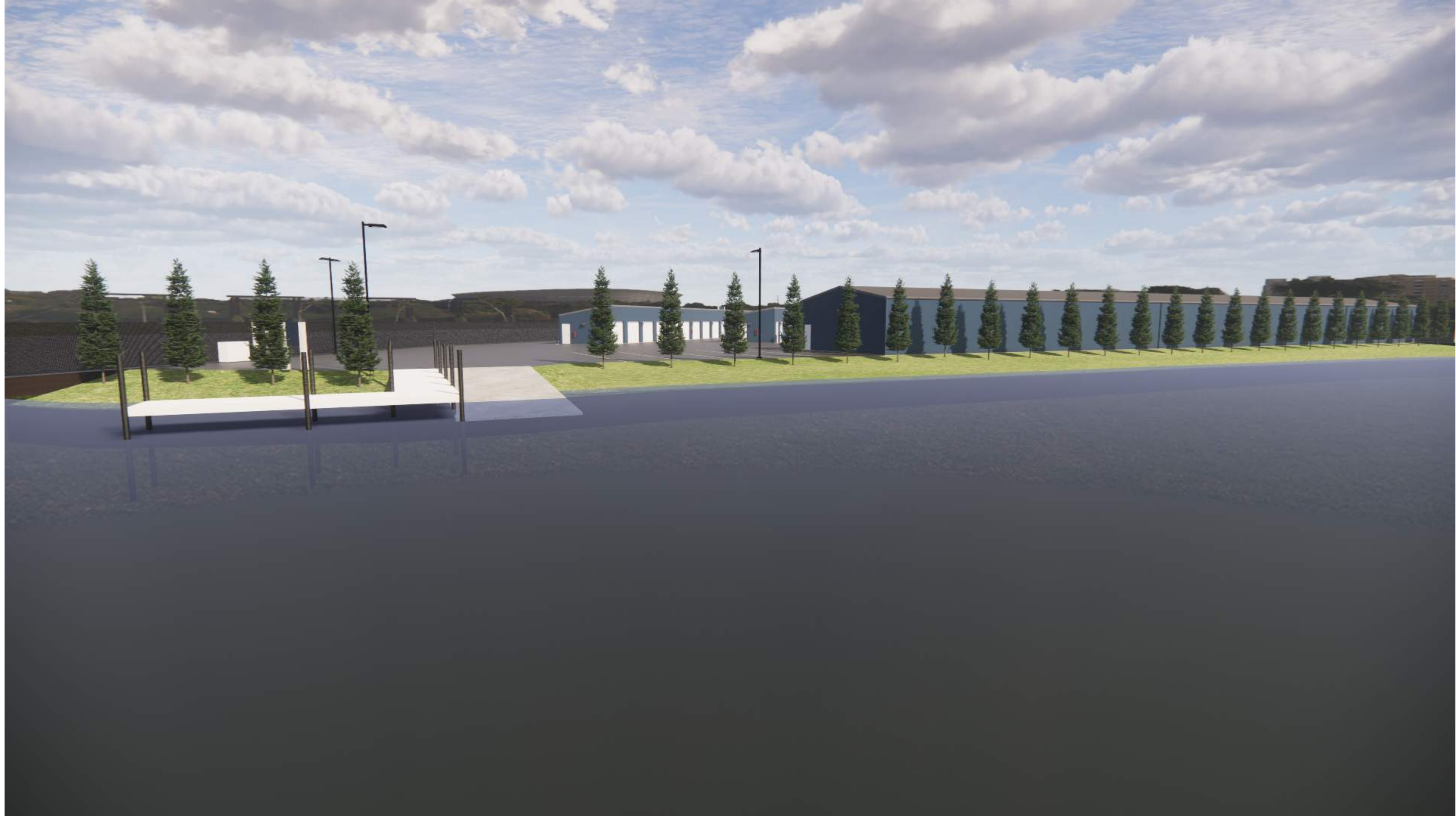
6. The site plan was revised to meet the 25'-0" building setbacks from the PUD zoned parcels to the north.
7. A stormwater management plan for review and approval by the City of Two Rivers and the state will be prepared by Christian Moring, PE, from Stantec for the site plan approval after we have CUP approval to move forward with this development.
8. A grading plan for review and approval by the City of Two Rivers and the state will be prepared by Christian Moring, PE, from Stantec for the site plan approval after we have CUP approval to move forward with this development.
9. The site plan was revised to show a vegetative screen at the waterfront. A site plan will be completed for the site and architectural review process after we have CUP approval to move forward with this development.

We feel that the proposed development is an improvement to the existing site conditions. It is a development that aligns with the City of Two Rivers zoning code. The parcel is zoned I-1 (industrial district) and a self-storage facility can be permitted as a conditional use per section 10-1-28.A(3) of the zoning code.

Included with this narrative, there is a map and images of the existing site and neighboring sites along the waterfront. There is also a rendering of what we are proposing. In comparison to some of the neighboring properties, we feel this development will be an improvement to this area. In completing the construction of the buildings as well as the sitework we will be making a positive impact on the waterfront in comparison to its existing state.



## B&B STORAGE TWO RIVERS

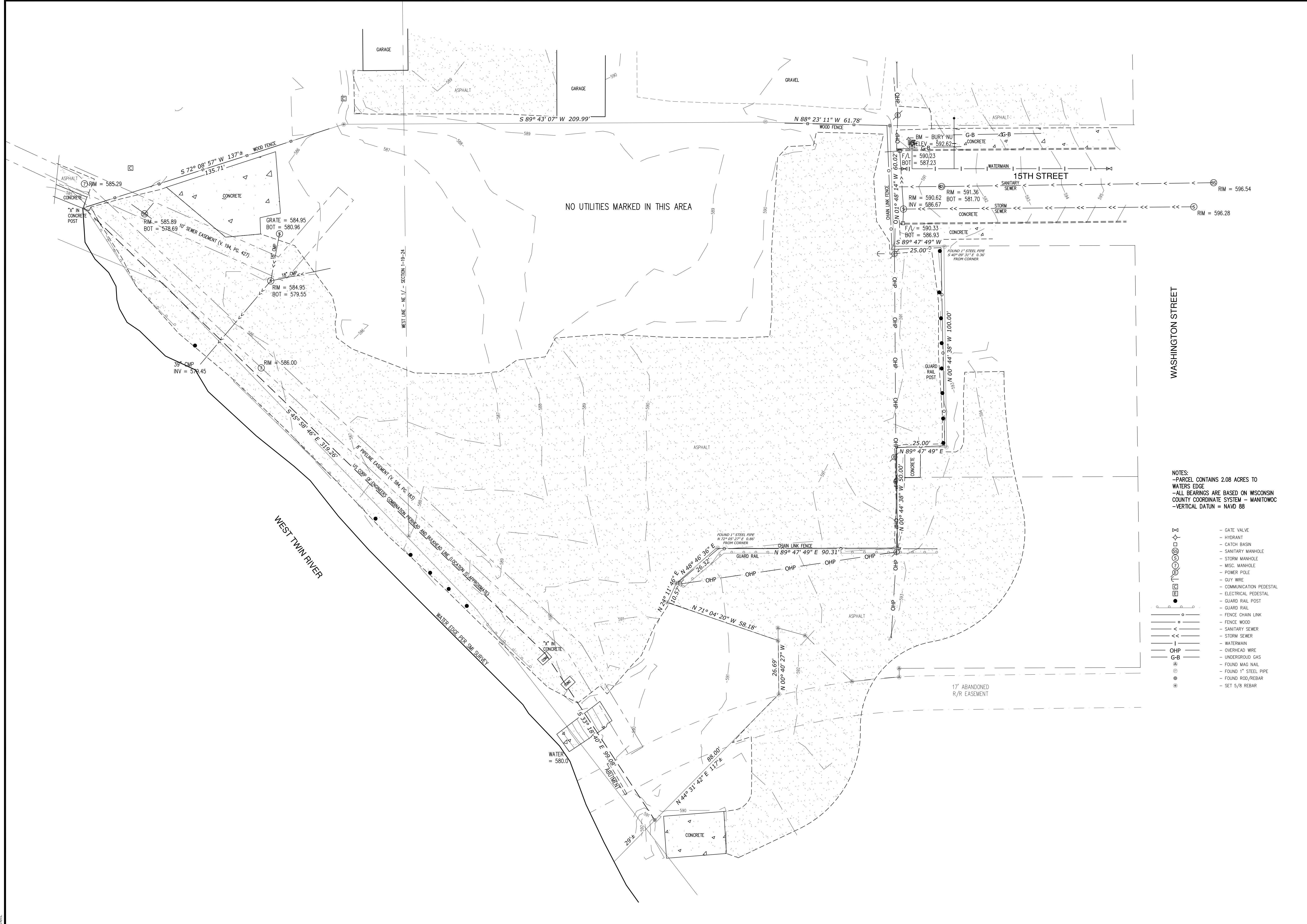


ALLIANCEBUILDS.COM  
PHONE: (920)-336-3400 | FAX: (920)-336-3401  
1850 BROADWAY ST., WRIGHTSTOWN, WI 54180

## B&B STORAGE TWO RIVERS

PROJECT NUMBER: 23-144  
STATUS: FOR CUP  
SHEET ISSUE DATE: 12/01/2023

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND LOCATIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND LOCATIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND LOCATIONS. DO NOT SCALE THE DRAWING.



NOTES:  
 - PARCEL CONTAINS 2.08 ACRES TO WATERS EDGE  
 - ALL BEARINGS ARE BASED ON WISCONSIN COUNTY COORDINATE SYSTEM - MANTOWOC  
 - VERTICAL DATUM = NAVD 88

- GATE VALVE
- HYDRANT
- CATCH BASIN
- SANITARY MANHOLE
- STORM MANHOLE
- MISC. MANHOLE
- POWER POLE
- GUY WIRE
- COMMUNICATION PEDESTAL
- ELECTRICAL PEDESTAL
- GUARD RAIL POST
- GUARD RAIL
- FENCE CHAIN LINK
- FENCE WOOD
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- OVERHEAD WIRE
- UNDERGROUND GAS
- FOUND MAG NAIL
- FOUND 1" STEEL PIPE
- FOUND ROD/REBAR
- SET 5/8 REBAR

DATE OF ISSUANCE	
10-23-23	
NO/REVISION	DATE
SURVEY	MIKE MCCARTY
DRAWN	
DESIGNED	
CHECKED	
APPROVED	
PROJ. NO.	193806609
SHEET NUMBER	

Plot Date: 10/24/2023 12:29pm  
 Drawing Name: Y:\1138\mccartym\sturgeon bay\CAD\193806609\Two Rivers Storage\193806609V101.dwg  
 User: m



# Alliance CONSTRUCTION & DESIGN

ALLIANCEBUILDS.COM  
PHONE: (920)-336-3400 | FAX: (920)-336-3401  
1050 BROADWAY ST., WRIGHTSTOWN, WI 54180

PROFESSIONAL SEAL:

DESIGN PROFESSIONAL

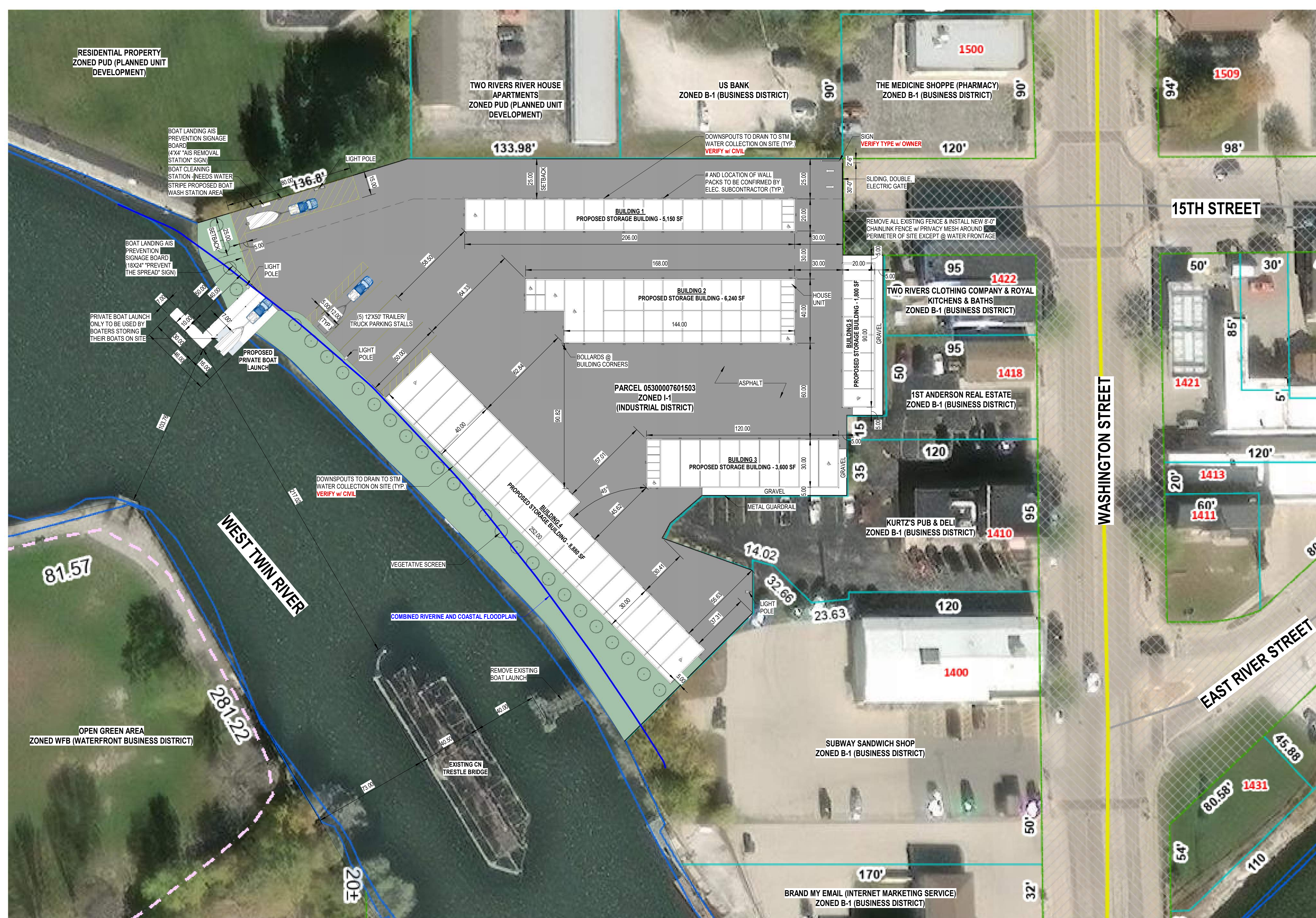
## LOCKER COUNT

1. BUILDING 1:
  - (16) 12'X20' LOCKERS - 1 IS ADA ACCESSIBLE
  - (4) 5'X8' LOCKERS - 1 IS ADA ACCESSIBLE
2. BUILDING 2:
  - (19) 12'X20' LOCKERS - 1 IS ADA ACCESSIBLE
  - (8) 5'X8' LOCKERS - 1 IS ADA ACCESSIBLE
  - (4) 5'-6"X9' LOCKERS - 1 IS ADA ACCESSIBLE
  - (2) 12'X40' LOCKERS - 1 IS ADA ACCESSIBLE
3. BUILDING 3:
  - (9) 12'X30' LOCKERS - 1 IS ADA ACCESSIBLE
  - (6) 5'X8' LOCKERS - 1 IS ADA ACCESSIBLE
4. BUILDING 4:
  - (11) 12'X40' LOCKERS - 1 IS ADA ACCESSIBLE
  - (10) 12'X30' LOCKERS - 1 IS ADA ACCESSIBLE
5. BUILDING 5:
  - (8) 11'X20' LOCKERS - 1 IS ADA ACCESSIBLE

TOTAL LOCKER COUNT: 97 LOCKERS

## GENERAL NOTES

1. COORDINATE ALL STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING DISCIPLINES AND ANY ADDITIONAL SUPPORTING DOCUMENTS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION.
2. DOWNSPOUTS TO DRAIN TO STORM WATER COLLECTION ON SITE. **VERIFY W/ CIVIL**
3. ALL UTILITY LOCATIONS AND SCOPE OF WORK SHALL BE COORDINATED PRIOR TO START OF CONSTRUCTION.
4. LANDSCAPING SHALL MEET LOCAL MUNICIPALITY REQUIREMENTS. **THIS IS AN ARCHITECTURAL SITE PLAN ONLY. FINAL SITE PLAN AND DETAILS BY CIVIL ENGINEER.**



**B&B STORAGE TWO RIVERS**  
 PROJECT NUMBER: 23-144  
 15TH STREET,  
 TWO RIVERS, WI 54241

**NOT FOR CONSTRUCTION**

### REVISIONS

NO.	DATE	DESCRIPTION

### STATUS:

FOR CUP

SHEET ISSUE DATE: 03/01/2023

CURRENT AS OF: 12/11/2023 8:50:20 AM

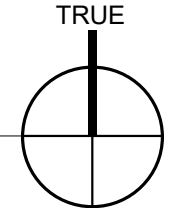
DRAWN BY: O.R.V.

SCALE: As indicated

ARCHITECTURAL SITE PLAN

# A050

1 SITE PLAN  
1" = 30'-0"



P:\23-144 Burrum Two Rivers Storage\07 Model\Site\02-144 B&B Storage\Revised Boat Launch.rvt



**Alliance**  
CONSTRUCTION & DESIGN

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1050 BROADWAY ST., WRIGHTSTOWN, WI 54180

PROFESSIONAL SEAL:

DESIGN PROFESSIONAL

**B&B STORAGE TWO  
RIVERS**

PROJECT NUMBER: 23-144

15TH STREET,  
TWO RIVERS, WI 54241

**NOT FOR  
CONSTRUCTION**

REVISIONS

NO.	DESCRIPTION

STATUS:

FOR CUP

SHEET ISSUE DATE: 11/28/23

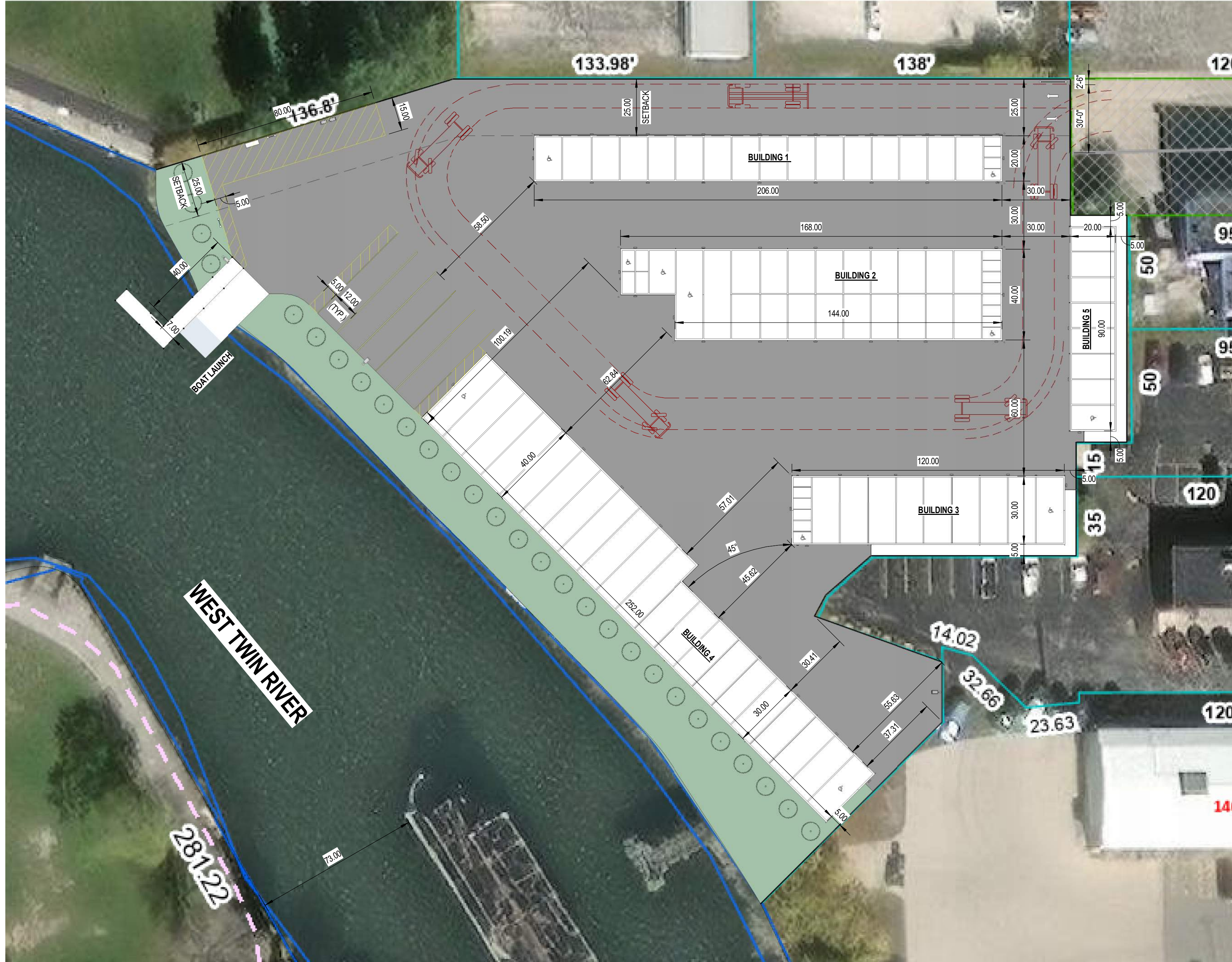
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DRAWN BY: O.R.V.

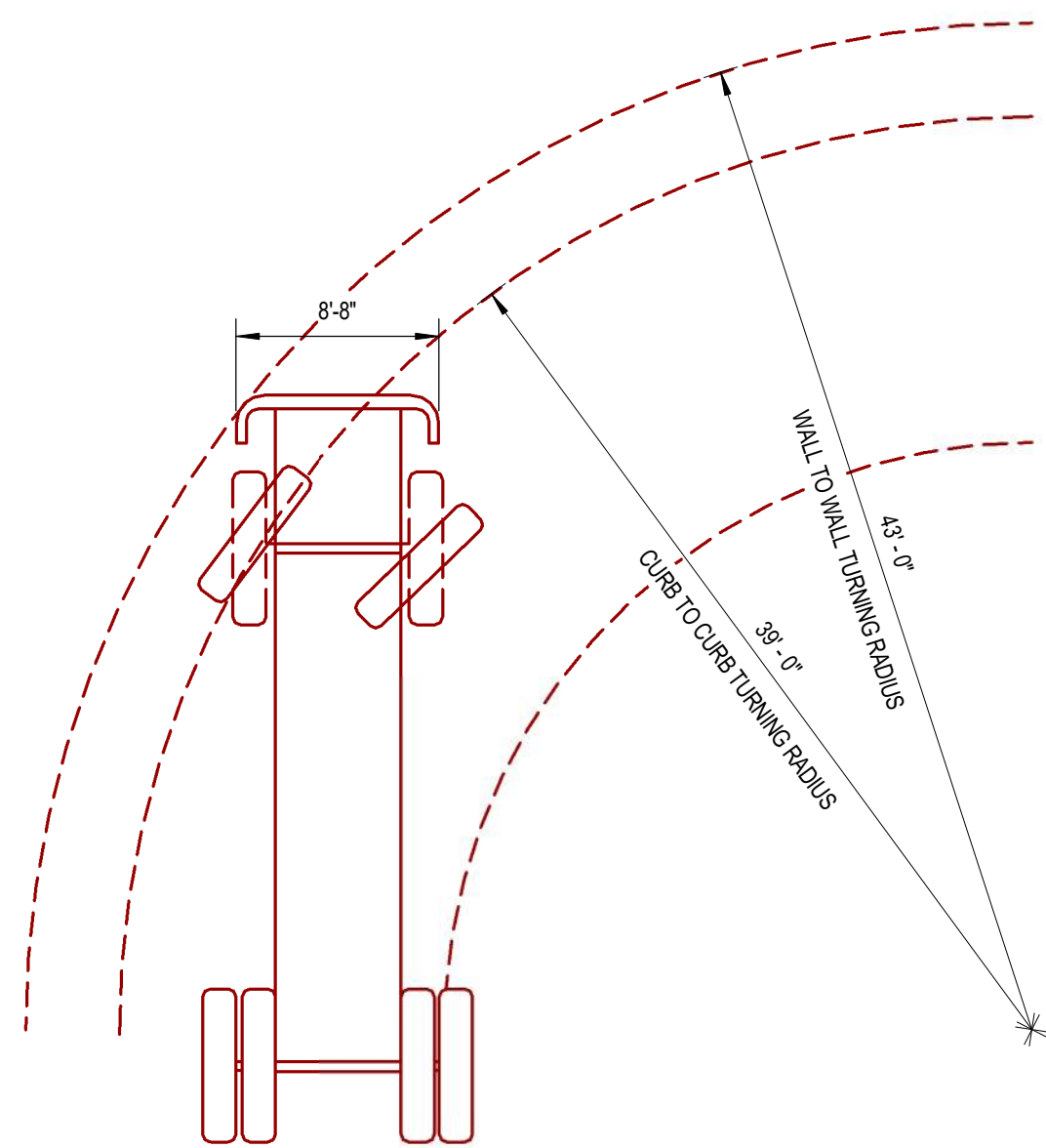
SCALE: As indicated

FIRE TRUCK TURNING

**A052**



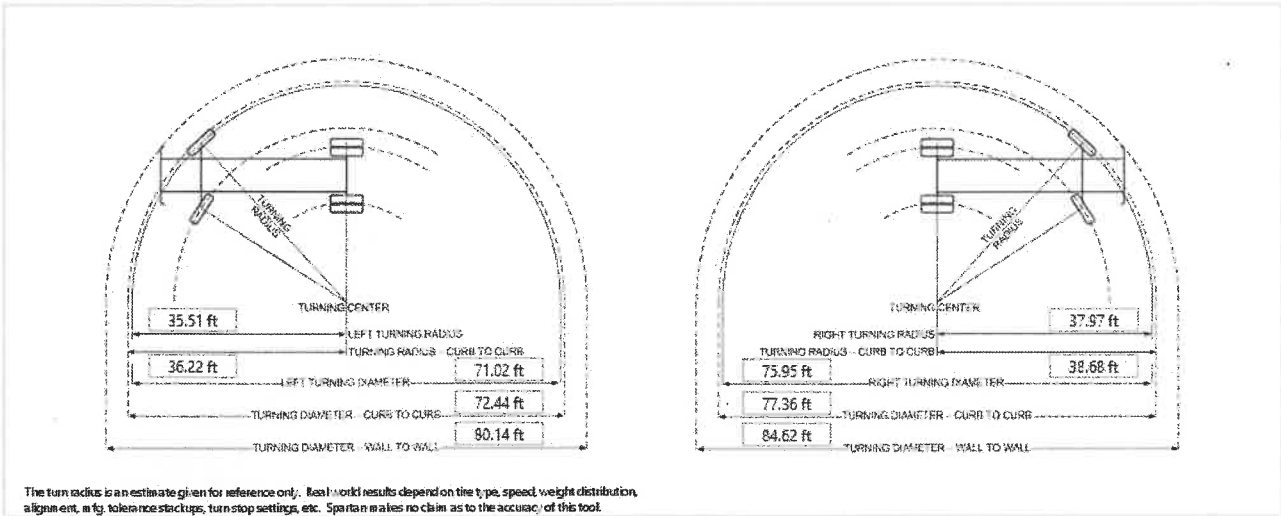
2 FIRE TRUCK TURNING  
1/8" = 1'-0"



1 FIRE TRUCK TURNING  
1" = 30'-0"

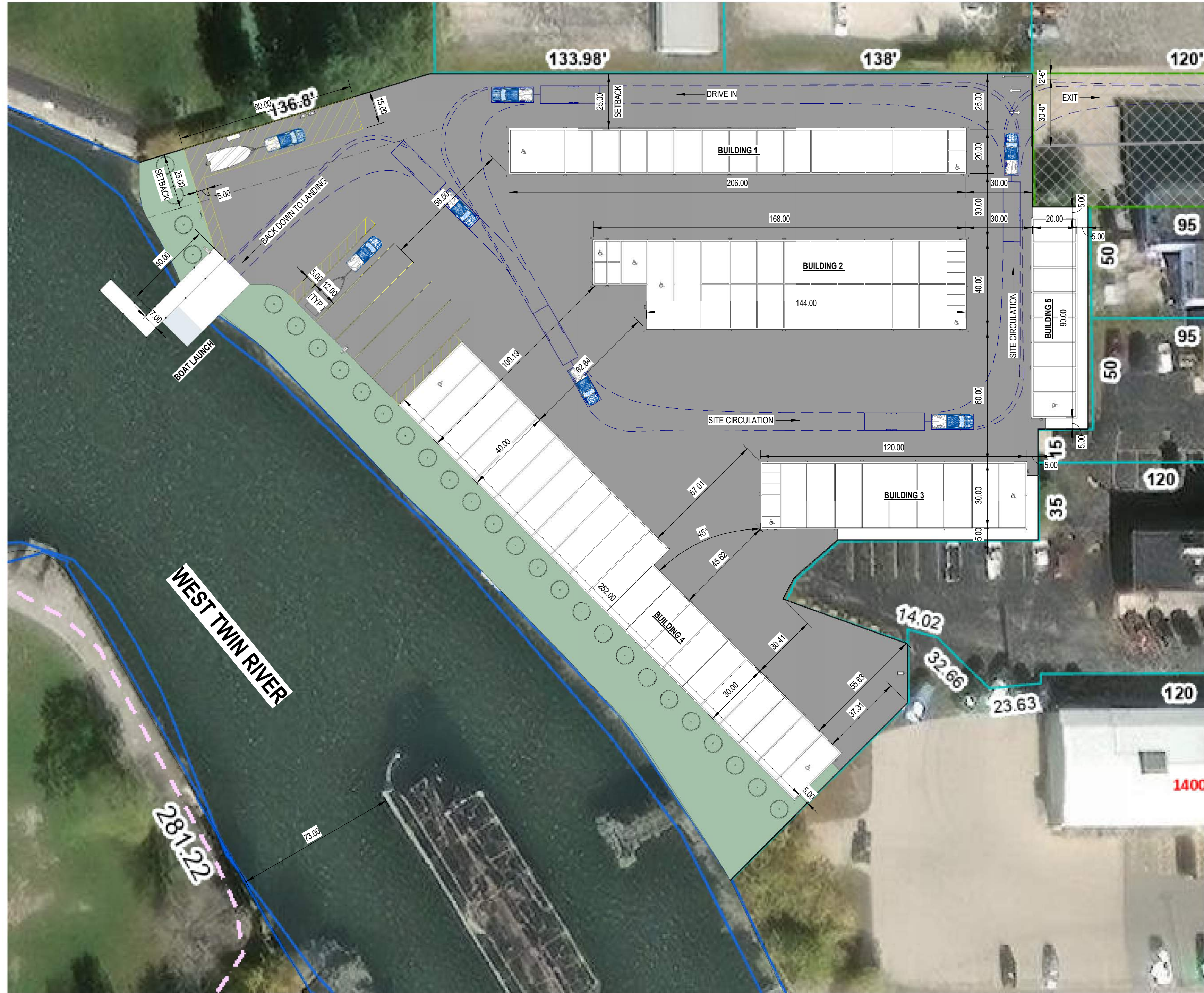
Largest fire truck turning radius per Chad Kakes  
 (Assistant Chief of Fire Operations) 11-28-2023

## Turning Radius

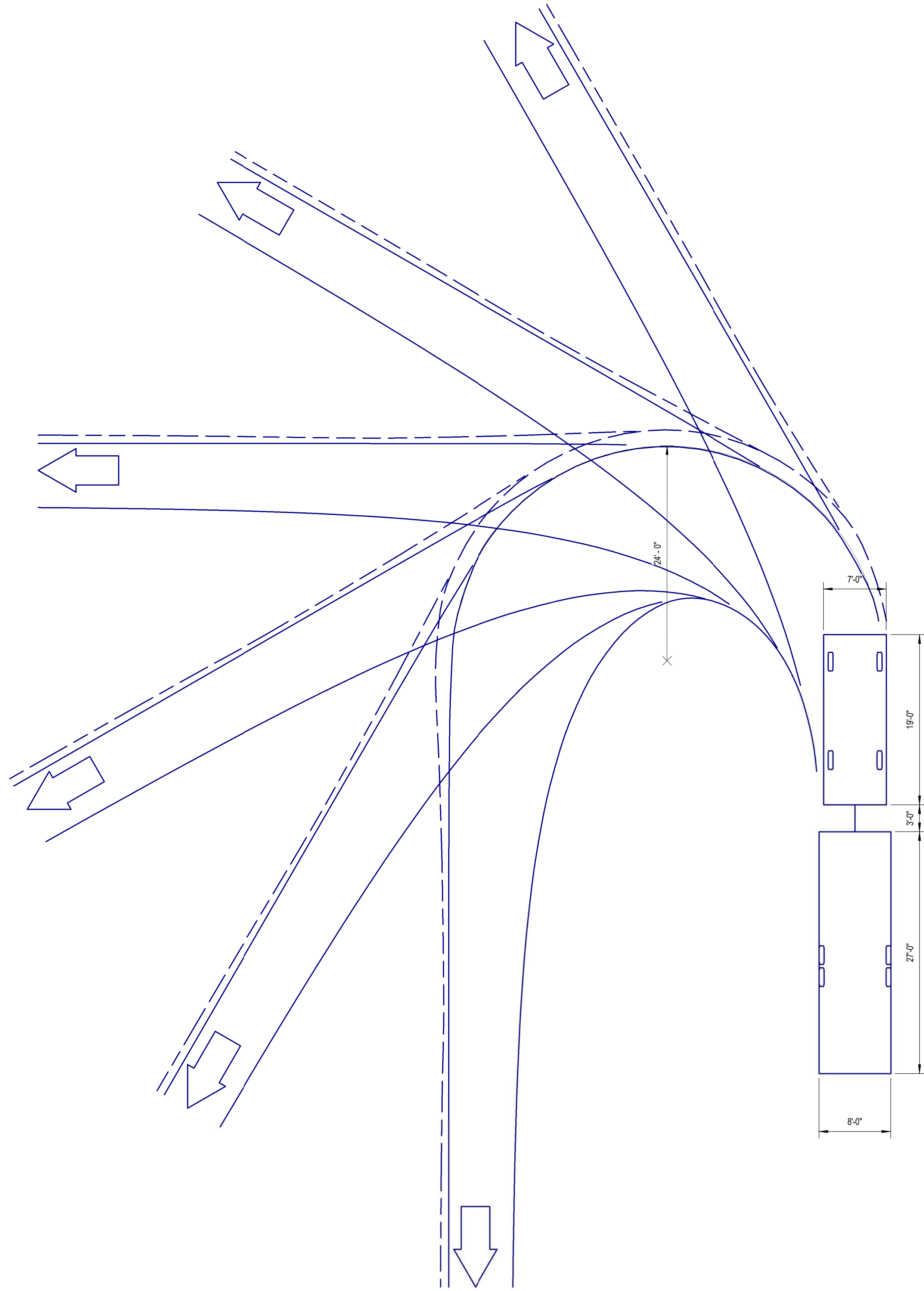


End User Name	
Chassis Model	0100-012 Gladiator
Wheelbase	250.00 in
Bumper Extension	6.00 in
Bumper Width	104.40 in
Left hand outside tire turn angle	33.50 deg
Right hand outside tire turn angle	31.00 deg
Left hand Curb-to-Curb turning radius	36.22 ft, 11.04 m
Right hand Curb-to-Curb turning radius	38.68 ft, 11.79 m
Left hand Wall-to-Wall turning radius	40.07 ft, 12.21 m
Right hand Wall-to-Wall turning radius	42.31 ft, 12.90 m





1 TRUCK WITH TRAILER TURNING (ENTERING, EXISTING, & MANEUVERING ON SITE)  
1" = 30'-0"



3 TRUCK WITH TRAILER TURNING  
1/8" = 1'-0"



**Alliance**  
CONSTRUCTION & DESIGN

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1050 BROADWAY ST., WRIGHTSTOWN, WI 54180

PROFESSIONAL SEAL:

DESIGN PROFESSIONAL

**B&B STORAGE TWO RIVERS**  
PROJECT NUMBER: 23-144  
15TH STREET,  
TWO RIVERS, WI 54241

**NOT FOR CONSTRUCTION**

REVISIONS

NO.	DATE	DESCRIPTION

STATUS:

FOR CUP

SHEET ISSUE DATE: 11/28/23

CURRENT AS OF: 12/11/2023 8:50:28 AM

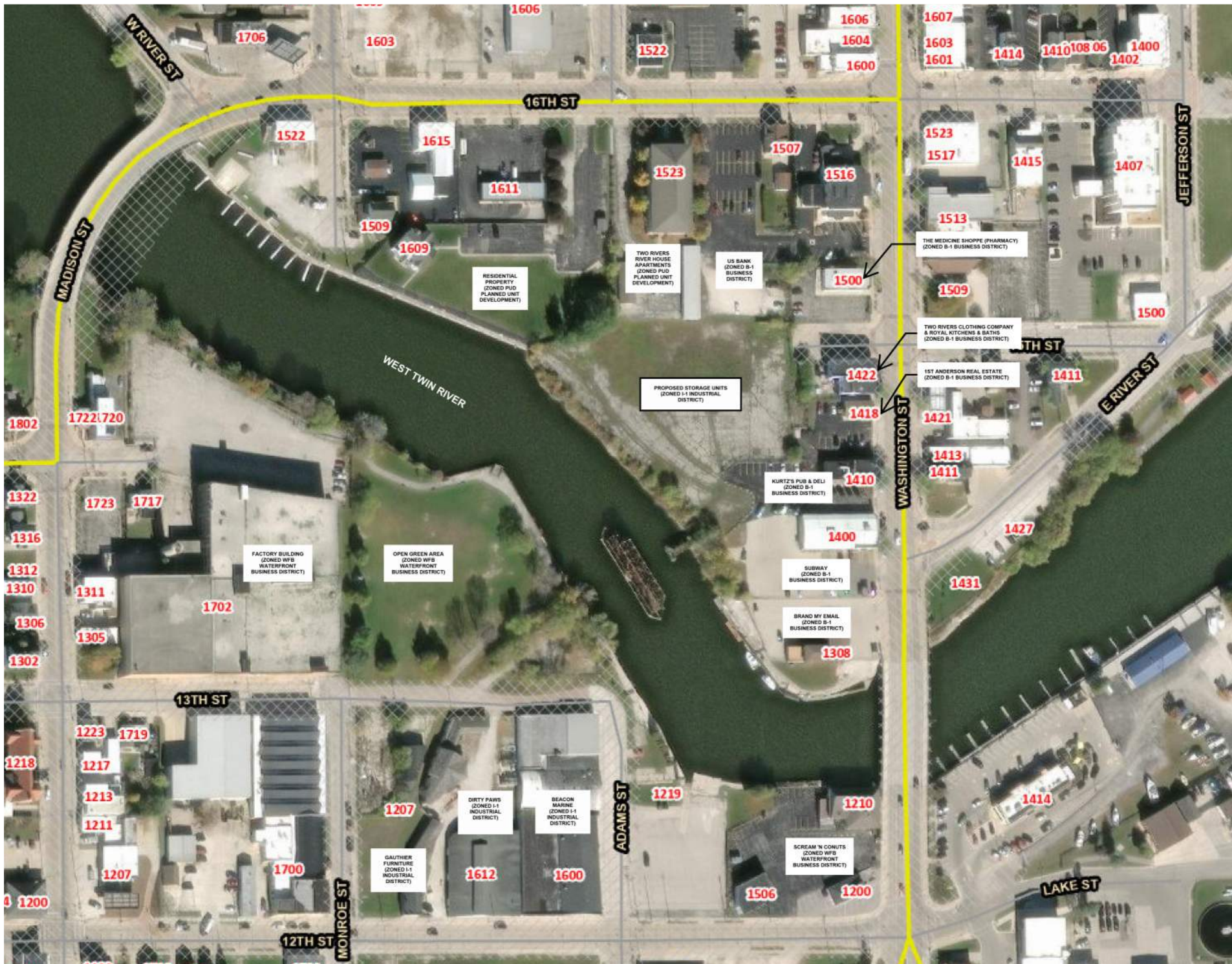
DRAWN BY: O.R.V.

SCALE: As indicated

TRUCK WITH TRAILER TURNING

**A053**

P:\23-144 Burrows Two Rivers Storage\07 Model\Rev\02-144 B&B Storage Released Best Land Use.dwg



16TH ST

MADISON ST

JEFFERSON ST

WASHINGTON ST

ADAMS ST

MONROE ST

13TH ST

12TH ST

LAKE ST

14TH ST

E RIVER ST

W RIVER ST

WEST TWIN RIVER

1706

1603

1606

1522

1606

1604

1600

1607

1603

1601

1414

1410

108 06

1400

1402

1522

1615

1611

1523

1507

1516

1523

1517

1415

1407

1513

1509

1609

1500

1509

1500

1802

1722/720

1322

1723

1717

1316

1312

1310

1306

1302

1311

1702

1218

1223

1719

1217

1213

1211

1200

1207

1700

1207

DIRTY PAWS  
(ZONED I-1 INDUSTRIAL DISTRICT)

SEACON MARINE  
(ZONED I-1 INDUSTRIAL DISTRICT)

1219

1210

1506

1200

KURTZ'S PUB & DELI  
(ZONED B-1 BUSINESS DISTRICT)

1400

SUBWAY  
(ZONED B-1 BUSINESS DISTRICT)

BRAND MY EMAIL  
(ZONED B-1 BUSINESS DISTRICT)

1308

THE MEDICINE SHOPPE (PHARMACY)  
(ZONED B-1 BUSINESS DISTRICT)

TWO RIVERS CLOTHING COMPANY & ROYAL KITCHENS & BATHS  
(ZONED B-1 BUSINESS DISTRICT)

1ST ANDERSON REAL ESTATE  
(ZONED B-1 BUSINESS DISTRICT)

PROPOSED STORAGE UNITS  
(ZONED I-1 INDUSTRIAL DISTRICT)

RESIDENTIAL PROPERTY  
(ZONED PUD PLANNED UNIT DEVELOPMENT)

TWO RIVERS RIVER HOUSE APARTMENTS  
(ZONED PUD PLANNED UNIT DEVELOPMENT)

US BANK  
(ZONED B-1 BUSINESS DISTRICT)

FACTORY BUILDING  
(ZONED WFB WATERFRONT BUSINESS DISTRICT)

OPEN GREEN AREA  
(ZONED WFB WATERFRONT BUSINESS DISTRICT)

SCREAM 'N CONUTS  
(ZONED WFB WATERFRONT BUSINESS DISTRICT)

1612

1600

1431

1427

1421

1413

1411

1411

1422

1418

1410

1400

1427

1431

1427

1414

1414

1414

1414

1414

1414

1414

1414



View of Existing Property from 15<sup>th</sup> Street



Rendering of Proposed Development

View 1 of the Existing Waterfront Properties from the Madison Street Bridge



View 2 of the Existing Waterfront Properties from the Madison Street Bridge



View of the Existing Waterfront Properties from the Washington Street Bridge



View of Property and Neighboring Properties from across the River





**PLAN COMMISSION**

**REQUEST:** A change to the sign ordinance to allow signage to be placed onto sidewalks for advertising purposes.

**From:** WEICHERT, Realtors CornerStone

**Overview**

Chapter 10-4-1 regulates signs and awnings. The purpose is “...to create the legal framework to administer and enforce outdoor sign and awning regulations within the City of Two Rivers. This chapter recognizes the need to protect the safety and welfare of the public; the need for well-maintained and attractive sign displays within the community, and the need for adequate business identification, advertising, and communication.”

Within this chapter, **Sec. 10-4-12**, prohibits the attachment of signs to public “appurtenance or sidewalk”:

**Prohibited signs.**

(e) Signs in the B-1 and waterfront business districts may:

[3] Not be attached by any means to a public appurtenance or sidewalk (signs must be portable).

**STAFF RECOMMENDATION:**

**A.** Staff does not recommend modifying the sign ordinance to expand additional locations to place signs for advertising.

1. The ordinance provides several options for sign placement that are permanent and temporary sign opportunities.

2. These options for businesses include building signs, window signs, multi-tenant signs, sandwich board signs and flag signs.

3. However, there is a right-of-way (ROW) privilege agreement that has been used in situations when a business needs to use a portion of a sidewalk or street ROW for the purpose of their business. The ROW privilege is granted upon a recommendation of the Plan Commission. These agreements include liability requirements, removal timelines, and other clauses.

