



PLAN COMMISSION MEETING

Monday, July 08, 2024 at 5:30 PM

Council Chambers - City Hall, 3rd Floor
1717 E. Park Street, Two Rivers, WI 54241

AGENDA

1. CALL TO ORDER

2. ROLL CALL

Commission Members: Greg Buckley, Rick Inman, Kay Koach, Kristin Lee, Matt Heckenlaible, Adam Wachowski

3. ACTION ITEMS

- A.** Request for a Conditional Use Permit as a museum storage building use for Rogers St Fishing Village, located at 2010 Rogers Street, submitted by ACE Building Service (applicant) and Bonnie Timm (on behalf of owner, Rogers Street Fishing Village).
- B.** Review of Site and Architectural Plan for Rogers St Fishing Village, located at 2010 Rogers Street, submitted by ACE Building Service (applicant) and Bonnie Timm (on behalf of owner, Rogers Street Fishing Village).
- C.** Request for a Conditional Use Permit for a gas station located at 1706 – 16th Street, in the B-1 Business District, submitted by Quasius Construction, Inc (applicant) and Jalapa Marketing LLC (owner).
- D.** Review of Site and Architectural Plan for a restaurant addition to the gas station located at 1706 – 16th Street, submitted by Quasius Construction, Inc (applicant) and Jalapa Marketing LLC (owner).
- E.** Request for a Conditional Use Permit for a gas station located at 2205 Forest Ave, in the B-2 Business District, submitted by Quasius Construction (applicant) and De Pere Petroleum LLC (owner).
- F.** Review proposed amendment to a previously approved PUD plan located at 1609 – 16th Street, submitted by Brian Laurent, applicant and owner.

4. ADJOURNMENT

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Two Rivers will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance or reasonable accommodations in participating in this meeting or event due to a disability as defined under the ADA, please call the City Clerk's office at 920-793-5526 or email clerk@two-rivers.org at least 48 hours prior to the scheduled meeting or event to request an accommodation. For additional assistance, individuals with hearing or speech disabilities can call 711 and be connected to a telephone relay system.

It is possible that members of and possibly a quorum of governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no other action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.



LAND DEVELOPMENT APPLICATION

APPLICANT ACE Building Service Inc (Jeff Gordon) TELEPHONE 920-374-1538 (Jeff)

MAILING ADDRESS 3510 S 26th Street, Manitowoc, WI 54220
(Street) (City) (State) (Zip)

PROPERTY OWNER Rogers St Fishing Village (Bonnie Timm) TELEPHONE 920-793-2556 (Bonnie)

MAILING ADDRESS 2102 Jackson St, PO Box 33, Two Rivers, WI 54241
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Conditional Use
- Site/Architectural Plan Approval
- Annexation Request
- Subdivision Plat or CSM Review
- Variance/Board of Appeals
- Zoning District Change
- Other

STATUS OF APPLICANT: Owner Agent Buyer Other (General Contractor)

PROJECT LOCATION 2010 Rogers Street TYPE OF STRUCTURE Wood Framed

PRESENT ZONING WFB - Waterfront Business REQUESTED ZONING N/A

PROPOSED LAND USE no change in land use requested - new building to be used for storage

PARCEL # 152-002-040-4 ACREAGE _____

LEGAL DESCRIPTION RESUB OF ORIG BLKS 19 & 20 LOT 3, 4 & 5 BLK 2

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed Bonnie L Timm, Treasurer Date 6/27/24
(Property Owner)

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

Schedule

- Application Submittal Date _____
- Date Fee(s) Paid _____
- Plan(s) Submittal Date _____
- Plan Comm Appearance _____

\$ 350 TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____



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Signed Bonnie Timm Date 6/17/24
(Property Owner)

Fee Required

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\$ 200 TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____

Manitowoc County Parcel Viewer

Section 3, Item A.





PLAN COMMISSION

Action: Conditional Use Application & S&A Review
Location: 2010 Rogers Street
Current Zoning: Waterfront Business (WFB)
Date: July 8, 2024

The owner of this property is requesting a Conditional Use Permit for a museum storage building. Museums are listed as a conditional use in the WFB District.

Background

This site previously contained two storage buildings, which were used by Rogers Street Fishing Village Museum. The structures were dilapidated, so the owner demolished them both with a plan to construct a new storage building.

The storage building will be used for storing Museum materials. The building has a restroom, which will serve the existing marina. Below is an image of the site before the buildings were demolished.





June 14, 2024

City Building Inspections Office
1717 E Park Street
Two Rivers WI 54241

RE: Rogers Street Fishing Village
New storage building @ 2010 Rogers St

To Whom It May Concern:

The proposed storage building will replace (2) original decrepit buildings that were recently demolished. Metal wall and roof panels will be installed for the exterior finish, with colors that match the brown roofs and green walls of other existing buildings on this site. This project will result in a more aesthetically appealing south end of the Fishing Village property for the adjoining neighborhood.

This new building will be slightly less in area than the combined area of the (2) original buildings and will yield additional parking area along the water for the fishermen who rent the Fishing Village's docks. The site around the perimeter of the new building will remain gravel (matching existing), aside from (2) concrete driveways that will extend from the east overhead doors out to the gutter line of the street (no curb on Rogers Street). The project results in no change to the impervious area of the site, and no change to the drainage pattern of rainwater or melting snow.

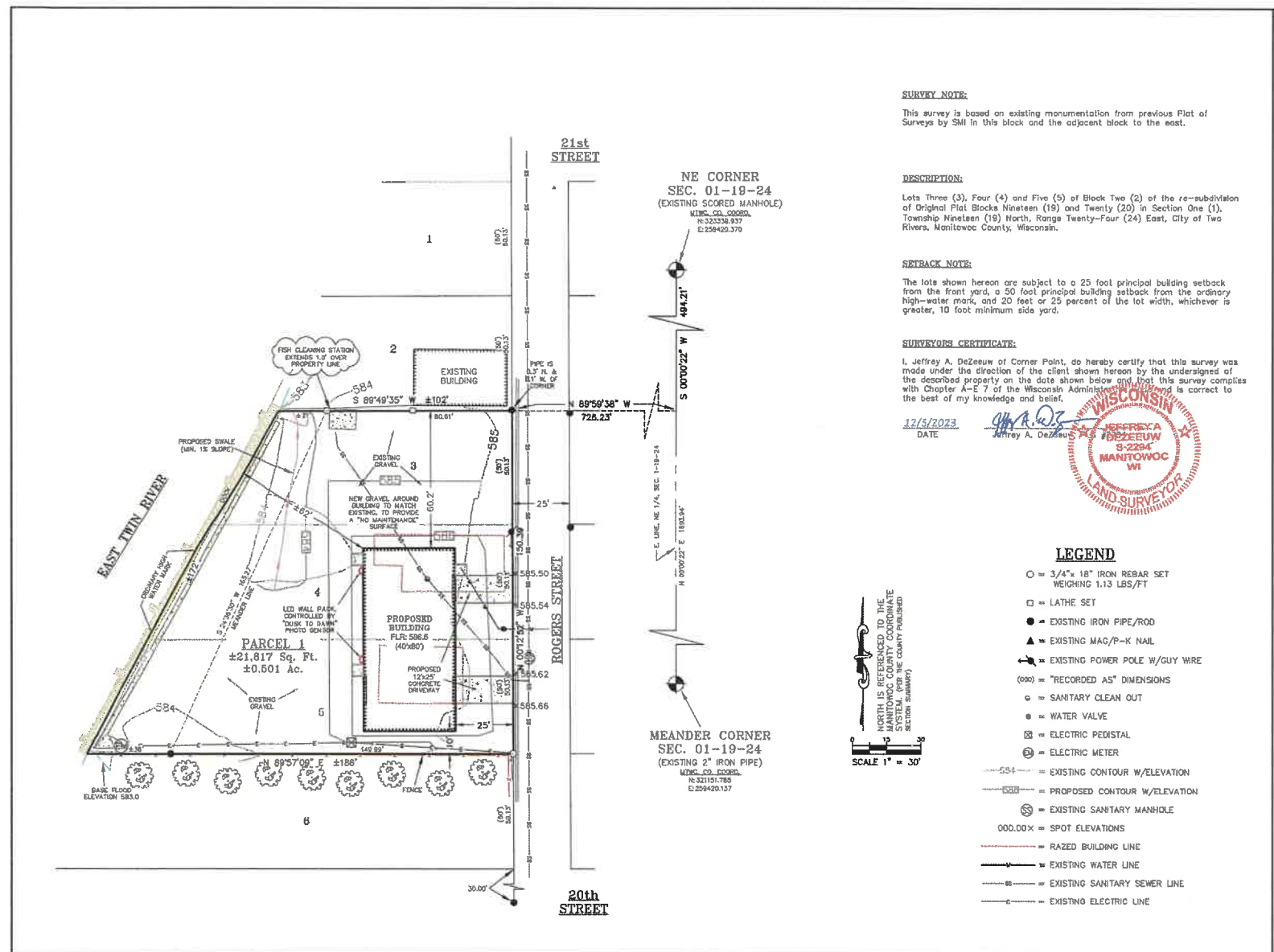
The building will be unoccupied. In the northwest corner of the building, a toilet room for utilization by the fishermen will be included with access directly from the exterior. As the building will not be heated, it will be uninsulated upon completion. (2) new LED wall-pack lights with photo sensors will be mounted on the west exterior wall facing the parking/docks.

Construction will begin mid-August and be completed before winter.

PROPOSED STORAGE FACILITY

ROGERS STREET FISHING VILLAGE





SURVEY NOTE:
This survey is based on existing monumentation from previous Plat of Survey by SMI in this block and the adjacent block to the east.

DESCRIPTION:
Lots Three (3), Four (4) and Five (5) of Block Two (2) of the re-subdivision of Original Plat Blocks Nineteen (19) and Twenty (20) in Section One (1), Township Nineteen (19) North, Range Twenty-Four (24) East, City of Two Rivers, Manitowoc County, Wisconsin.

SETBACK NOTE:
The lots shown hereon are subject to a 25 foot principal building setback from the front yard, a 50 foot principal building setback from the ordinary high-water mark, and 20 feet or 25 percent of the lot width, whichever is greater, 10 foot minimum side yard.

SURVEYORS CERTIFICATE:
I, Jeffrey A. DeZeeuw of Corner Point, do hereby certify that this survey was made under the direction of the client shown hereon by the undersigned of the described property on the date shown below and that this survey complies with Chapter A-7 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

12/15/2023
DATE
JEFFREY A. DEZEEUW
LAND SURVEYOR
MANITOWOC, WI

- LEGEND**
- = 3/4" x 18" IRON REBAR SET WEIGHING 1.13 LBS/FT
 - = LATHE SET
 - = EXISTING IRON PIPE/ROD
 - ▲ = EXISTING MAG/P-K NAIL
 - ⚡ = EXISTING POWER POLE W/GUY WIRE
 - (000) = "RECORDED AS" DIMENSIONS
 - = SANITARY CLEAN OUT
 - = WATER VALVE
 - ⊗ = ELECTRIC PEDISTAL
 - ⊕ = ELECTRIC METER
 - 534--- = EXISTING CONTOUR W/ELEVATION
 - 000--- = PROPOSED CONTOUR W/ELEVATION
 - ⊙ = EXISTING SANITARY MANHOLE
 - 000.00 X = SPOT ELEVATIONS
 - R--- = RAZED BUILDING LINE
 - W--- = EXISTING WATER LINE
 - S--- = EXISTING SANITARY SEWER LINE
 - E--- = EXISTING ELECTRIC LINE



PLAT OF SURVEY
LOTS 3, 4, AND 5 OF BLOCK 2 OF THE RESUBDIVISION OF ORIGINAL PLAT BLOCKS 19 AND 20, BEING LOCATED IN SECTION 1, TOWN 19 NORTH, RANGE 24 EAST, CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

Corner Point
SURVEYORS
3200 S. 2ND ST. SUITE 200
TWO RIVERS, WI 54241
PH: 920.662.6100

FIELD WORK COMPLETION DATE: 12/15/2023
DRAWN BY: JAD
JOB NO.: 578E023
CAD FILE: DWG\TWO RIVERS STREET\WRO23
SCALE: 1" = 30'

DESIGN LOADS

SNOW LOADS	Ground Snow Load, P _g = 35 psf Exposure Factor, C _e = 1.0 Thermal Factor, C _t = 1.2 (unheated) Importance Factor, I = 1.0 Slope Factor, C _s = 1.0 Balanced Snow Roof Load = P _f = 0.7 * C _e * C _t * C _s * P _g = 29.4 psf — USE 30 PSF MIN. * Unbalanced Snow Loading per Truss Manufacturer Analysis	WIND LOADS	V _{3s} = 89 MPH (Asd), 115 MPH (Ult) Exposure = C MAX HORIZ PRESSURE ON WALL = 23 PSF MAX UPLIFT PRESSURE ON ROOF = 20 PSF
SEISMIC CONDITIONS	Use Group = I Importance Factor, I _e = 1.0 Site Class = D Seismic Design Category = A	DEAD LOADS	10 PSF TOP CHORD + 10 PSF BOTTOM CHORD
		SOIL CONDITIONS	2,000 PSF PRESUMED (SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, CLAYEY GRAVEL) IF ACTUAL CONDITIONS DIFFER FROM ABOVE, CONTACT ENGINEER.

MATERIALS

CONCRETE	GRADE BEAM PERIMETER FOUNDATION & FLOOR 4000 PSI MIN. IN 28 DAYS EXTERIOR SLABS -- 4000 PSI MIN IN 28 DAYS, AIR ENTRAINED 5-7% GRADE 60 REBAR
LUMBER	SPRUCE-PINE-FIR #2 OR BTR UNLESS NOTED OTHERWISE LUMBER TO BE PRESSURE TREATED IF IN CONTACT W/CONC OR MOISTURE LVL MATERIAL TO BE 2.0E
SHEATHING	WALL -- 5/8" APA RATED W/BLOCKED EDGES, USE 10s NAILS 4" O.C. EDGES & 12" O.C IN-PLANE WALLING, LENGTH OF SHEATHING REQ'D FROM EA CORNER AS SHOWN ON FLOOR PLAN

HEADER SCHEDULE

MARK	HEADER SIZE	HEADER MTRL	NOTES
H-1	2-PLY 1-3/4" x 14"	2.0 E LVL	3 JACK STUDS **
H-2	2-PLY 2x10	SYP NO.1 OR BTR	2 JACK STUDS

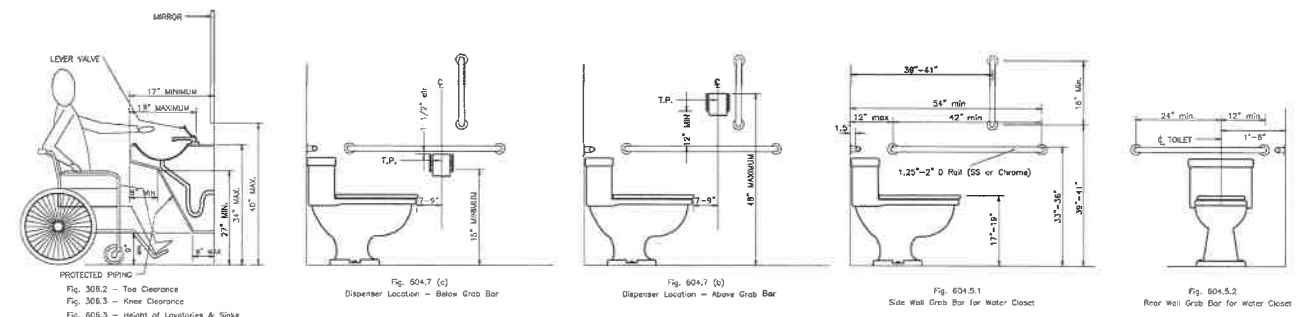
** AT EACH OH DOOR JAMB:
- USE SIMPSON LSTA12 STRAP AT HEADER-TO-JACK STUD CONNECTION
- USE SIMPSON HDU2-SDS2.5 HOLDDOWN AT JACK STUD BEARING & FOUNDATION,
EPOXY 5/8" DIA A36 ROD, 6" MIN EMBEDMENT

- ROOF FRAMING NOTES**
- ROOF TRUSSES DESIGNED WITH 30-10-10 LOADING
 - UNBALANCED SNOW LOADS TO BE ANALYZED BY TRUSS DESIGNER
 - ROOF TRUSSES TO HAVE 5/12 ROOF PITCH & 24" NOMINAL OVER-HANG THROUGHOUT
 - GABLE END TRUSS TOP CHORDS DROPPED DOWN 5 1/2" FOR OUTLOOKER BEARING
 - SIMPSON H10A UPLIFT FASTENERS AT HEEL TO WALL TOP PLATE CONNECTION
 - ROOF TRUSS MANUF. IS RESPONSIBLE FOR TRUSS LATERAL BRACING DESIGN
 - ENGINEER OF RECORD TO BE SUPPLIED WITH TRUSS SHEETS AND TRUSS PLANS TO REVIEW PRIOR TO FABRICATION
 - UPON APPROVAL, ENGINEER OF RECORD TO BE SUPPLIED WITH FINAL STAMPED TRUSS CALCULATIONS AND TRUSS PLANS
 - TRUSS ERECTION, INCLUDING LATERAL BRACE INSTALLATION, PER TRUSS MANUF. REQ'MNTS

- GENERAL PROJECT NOTES**
1. ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES
 2. CLASS OF CONSTRUCTION -- TYPE VB -- COMBUSTIBLE CONSTRUCTION
 3. BUILDING OCCUPANCY -- S1--MODERATE HAZARD STORAGE, NO VEHICLES
 4. BUILDING AREA & VOLUME
40' X 80' = 3,200 SQ FT
3,200 SQ FT X 17'± = 54,400 CU FT ±
 5. BUILDING IS NOT OCCUPIED, HEATED, INSULATED OR SPRINKLERED.
- The Toilet Room is Seasonal for Use by Fishermen Renting Dock Slips
 6. ALL EXIT DOORS TO BE EQUIPPED WITH:
 - A. PROPER EXIT HARDWARE
- LEVER HANDLES THAT DO NOT REQUIRE TWISTING OF THE WRIST
 - B. THRESHOLDS THAT DO NOT EXCEED 1/2"
 - C. EXIT LIGHTS
- Exit signs shall not exceed 5 Watts per side installed wattage.
- Means of Egress Illumination Level shall not be less than 1 Foot Candle at Walking Surface
- Emergency Power for Means of Egress shall provide power for 90 Min and consist of storage batteries, unit equipment, or on-site generator.
 7. FIRE EXTINGUISHERS AS REQUIRED BY FIRE CODE

INDEX OF SHEETS

PLOT PLAN	SHEET TS
PROJECT NOTES	SHEET TS
DESIGN LOADS AND MATERIAL NOTES	SHEET TS
FLOOR/FOUNDATION PLAN	SHEET A1.1
BUILDING SECTION	SHEET A1.1
FRAMING DETAILS	SHEET A1.1
BUILDING ELEVATIONS	SHEET A1.2



ADA TOILETROOM DETAILS

- TOILET ROOM NOTES:**
- 60" x 80" CLEAR FLOOR SPACE AT WATER CLOSET
 - 30" x 48" CLEAR FLOOR SPACE AT LAVATORY
 - 60" DIAMETER TURNING SPACE
 - TOWEL DISPENSER TO BE MOUNTED 48" MAX. A.F.F. TO THE POINT WHERE THE TOWELS ARE DISPENSED

ACCE BUILDING SERVICE
Our reputation is our foundation
3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54220
PHONE: 920-662-6105 • WWW.ACCEBUILDINGSERVICE.COM

SMI
SUPERVISING PROFESSIONAL
Contact: Jeff Gordon, PE

Civil & Structural
A DIVISION OF ACCE BUILDING SERVICE

Proposed Storage Building for ROGERS STREET FISHING VILLAGE
2102 JACKSON STREET
TWO RIVERS WI 54241

SHEET INFORMATION

A.C.E. JOB NO.	303/23
DATE:	02/16/24
DRAWN BY:	JTG
SCALE:	AS SHOWN
SHEET	

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

REV. BY	
DATE	
REVISION DESCRIPTION	
3/18/2017	PROPOSAL PRESENTATION SET
3/18/2017	REMOVE LP SHARPLINDING
6/17/2017	SUBMITTAL SET TO CITY TR

Section 3, Item A.

ACE BUILDING SERVICE

Our reputation is our foundation
 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54220
 PHONE: 920-882-6105 • WWW.ACEBUILDINGSERVICE.COM

Civil & Structural
 A DIVISION OF ACE BUILDING SERVICE

SUPERVISING PROFESSIONAL: **SMT**

CONTACT: Jeff Gordon, PE

PROJECT INFORMATION:

Proposed Storage Building for ROGERS STREET FISHING VILLAGE
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 TWO RIVERS WI 54241

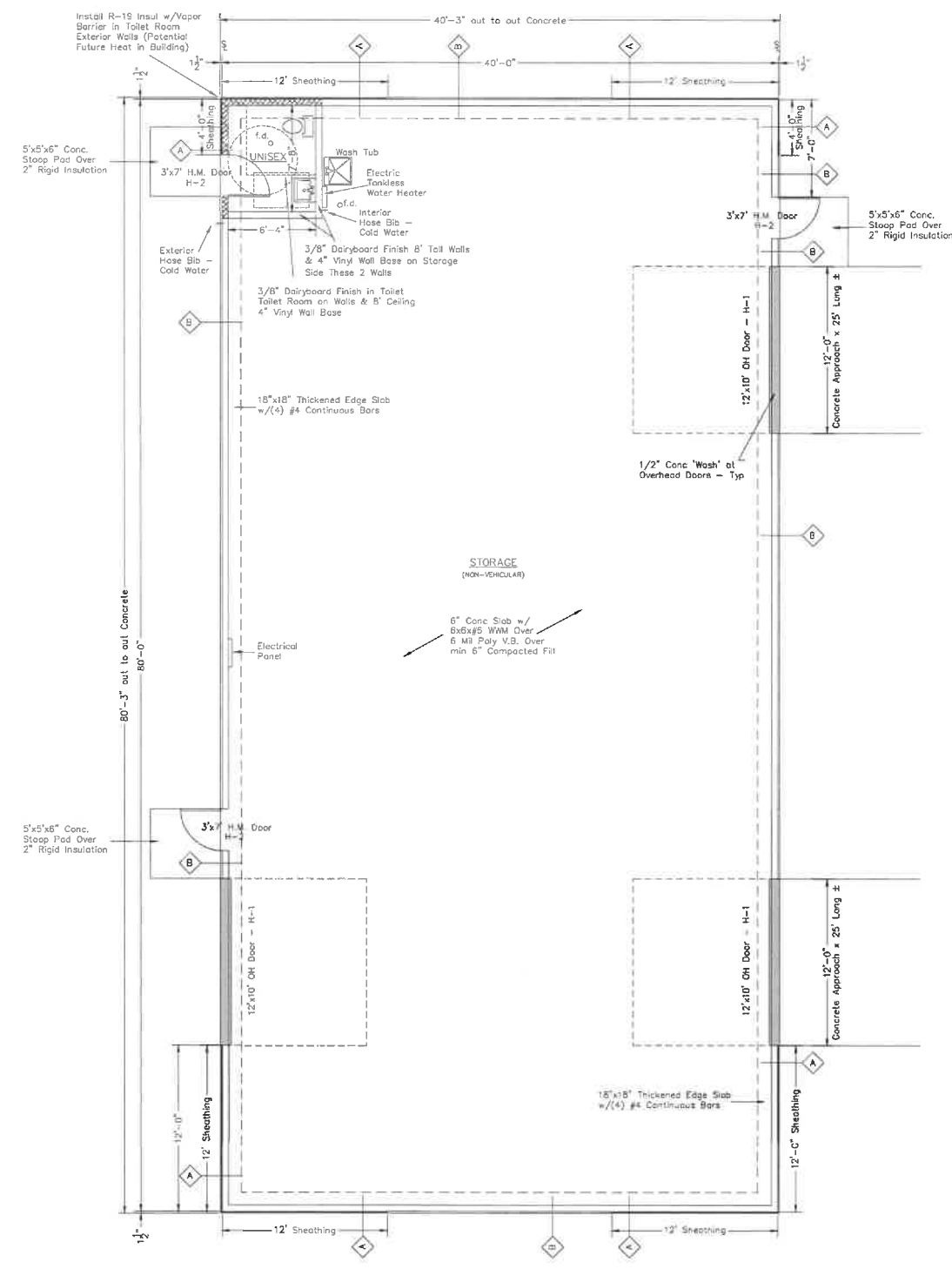
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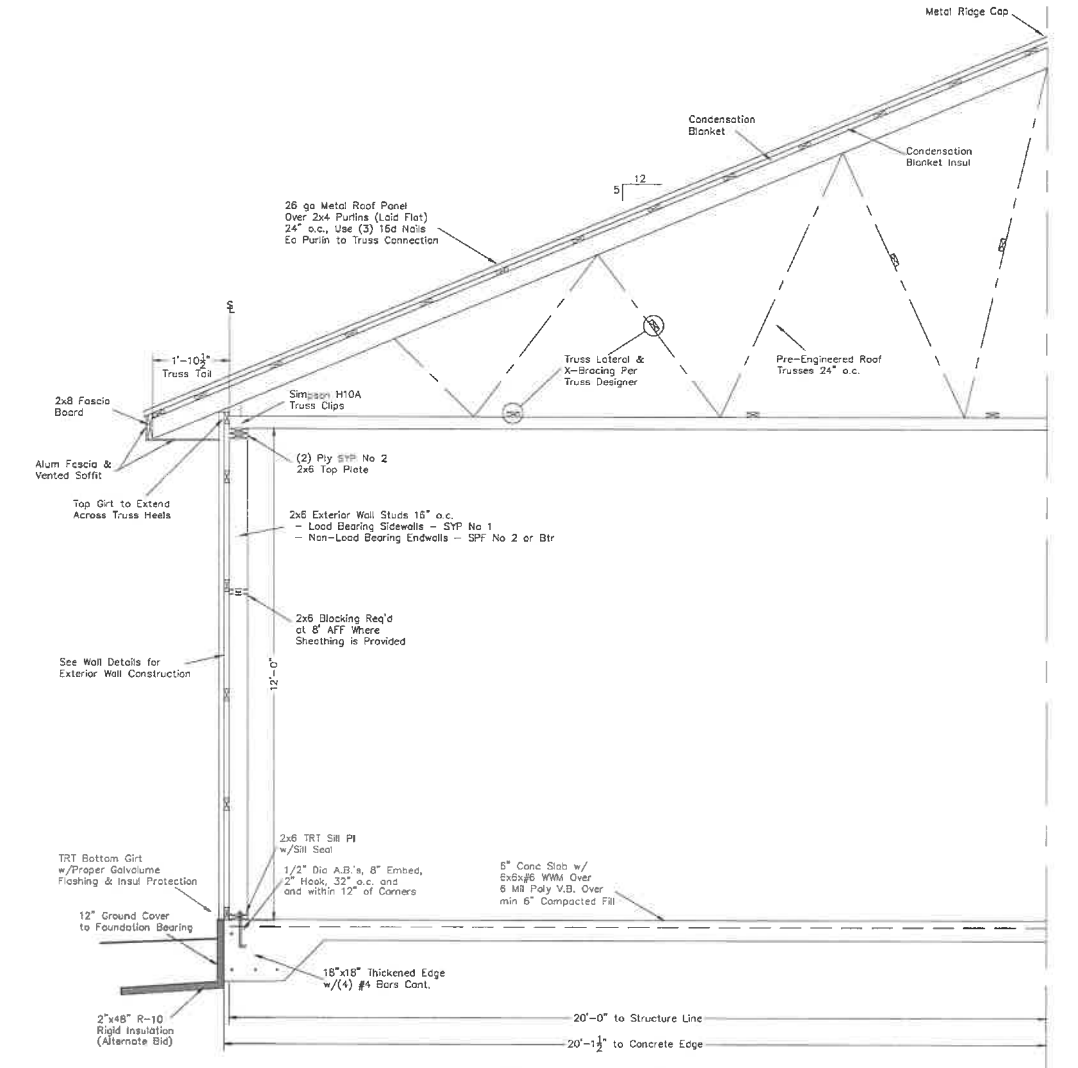
A.C.E. JOB NO.	303/23
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DRAWN BY:	JTG
SCALE:	AS SHOWN

A1.1

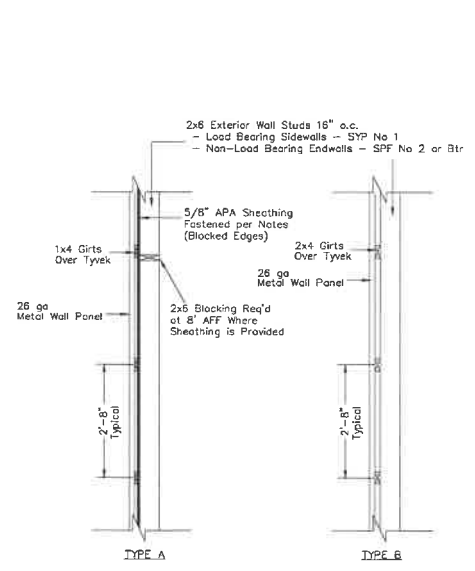
9



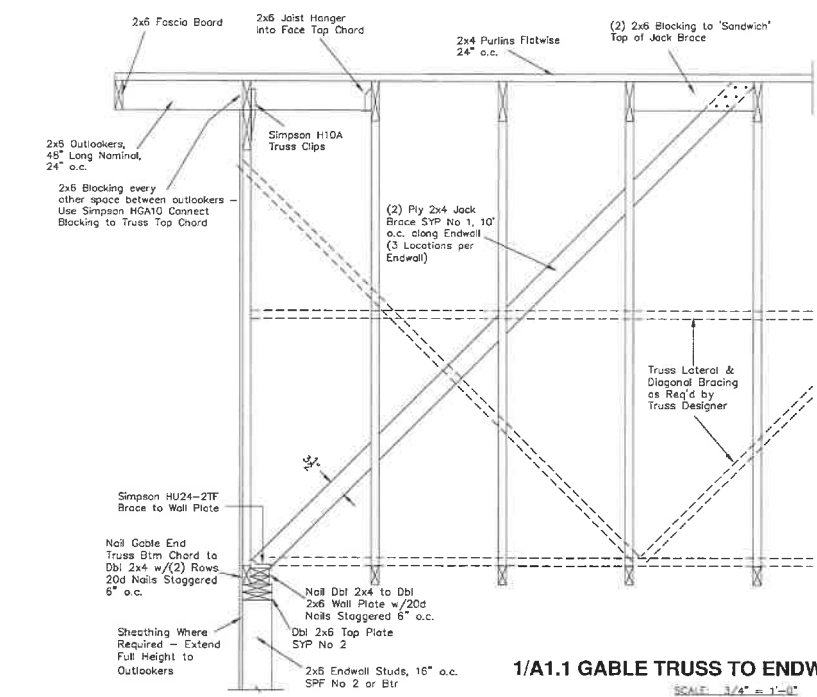
FLOOR/FOUNDATION PLAN
 SCALE: 3/16" = 1'-0"



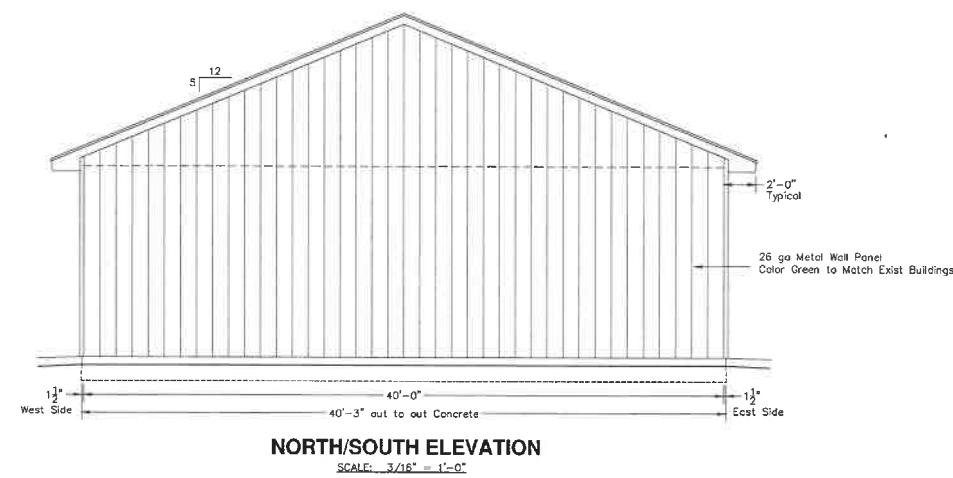
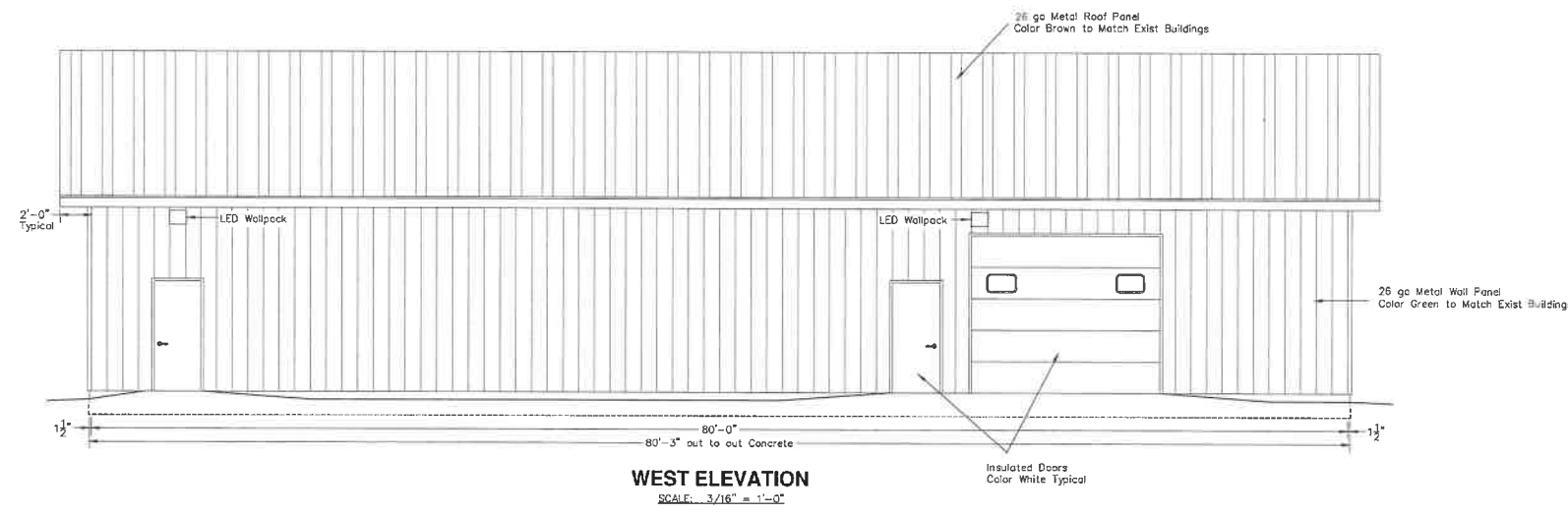
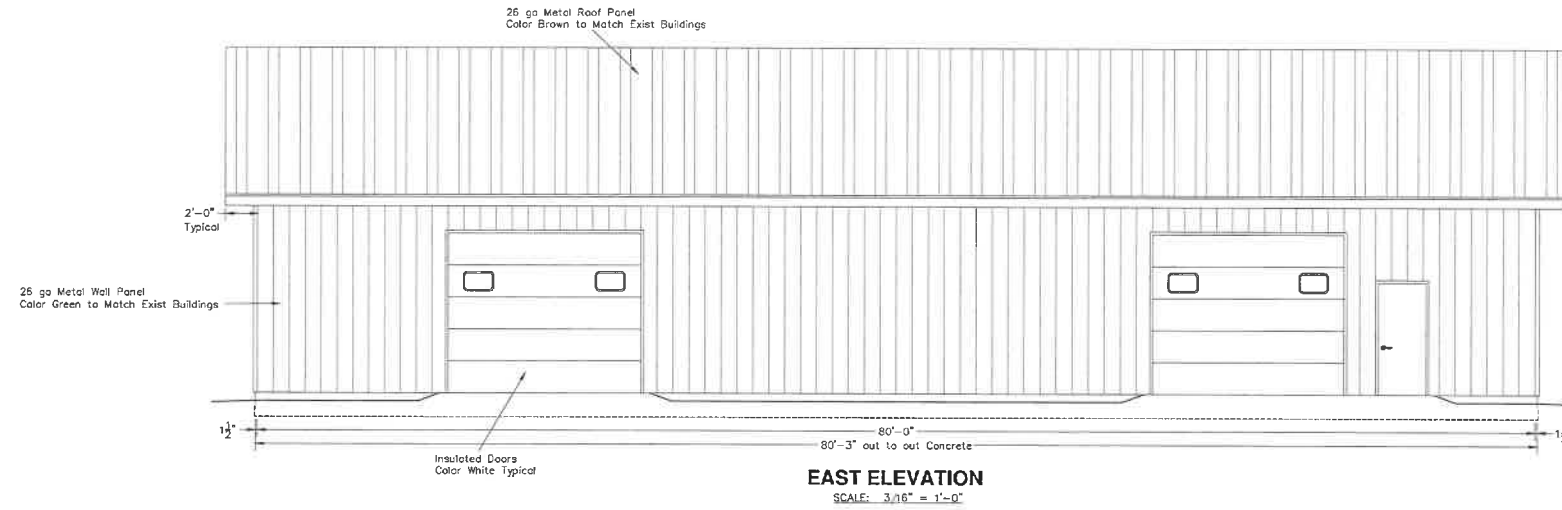
BUILDING SECTION VIEWING NORTH
 SCALE: 1/2" = 1'-0"



EXTERIOR WALL TYPES
 SCALE: 1/2" = 1'-0"



1/A1.1 GABLE TRUSS TO ENDWALL DETAIL
 SCALE: 1/4" = 1'-0"



REVISION DESCRIPTION	DATE	REV. BY
PROPOSAL PRESENTATION SET	3/18/17	
REMOVE LP SMARTSIDING	3/18/17	
SUBMITTAL SET TO CITY TR	6/17/17	

ACE BUILDING SERVICE
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 DATE: 02/16/24
 DRAWN BY: JTG
 SCALE: AS SHOWN
 SHEET



LAND DEVELOPMENT APPLICATION

APPLICANT Quasius Construction TELEPHONE 9206278056

MAILING ADDRESS 1202A North 8th Street Sheboygan Wisconsin 53082
(Street) (City) (State) (Zip)

PROPERTY OWNER JALAPA MARKETING LLC TELEPHONE (920) 457-8950

MAILING ADDRESS 916 Mulberry Lane Kohler Wisconsin 53044
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 1706 16th St, Two Rivers, WI 54241 TYPE OF STRUCTURE Gas Station

PRESENT ZONING B-1 REQUESTED ZONING _____

PROPOSED LAND USE Gas Station

PARCEL # 05300006310205 ACREAGE 0.38

LEGAL DESCRIPTION ORIG PLAT S 80' OF LOTS 9 & 10 BLK 63 EXC PT OF LOT 10 DESC V 277 P 218 ALSO S 80' OF LOT 10 METALWARE SUB & PT OF LOT 8 S OF A LINE 80' N OF N ROW LINE OF 16TH ST EXTENDED

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed [Signature] OWNER AGENT Date 6/24/2024
(Property Owner)

Fee Required

- \$ 350 Comprehensive Plan Amendment
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- Plan Comm Appearance _____

\$ _____ TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____

Manitowoc County Parcel Viewer

Section 3, Item C.



1608

Section 3, Item C.

Monroe St

Clark

UNI MART

bp

1705

W River St

W River St

16th St

13



PLAN COMMISSION

Action: Conditional Use Application & S&A Review
Location: 1706 – 16th Street
Current Zoning: Business (B-1)
Date: July 8, 2024

The owner of this property is requesting a Conditional Use Permit for a gas station, as well as Site & Architectural Review for a restaurant addition at 1706 – 16th Street. Gas stations are a conditional use in the B-1 District, while restaurants are a permitted use.

Background

This owner requested a re-zoning of this property at the May Plan Commission meeting, changing the zoning from Industrial (I-1) to Business (B-1). The existing gas station will require a conditional use permit.

Comments from the Director of Public Works:

- On the Land Development Application under Proposed Land Use, it just lists gas station and nothing about the proposed restaurant.
- Within the site narrative
 - Calls out the restaurant.
 - States that there is easy access to the site, which is true. Egress to intended destinations may be challenging as previously mentioned when we met in person. For those individuals wishing to leave the restaurant and go east towards downtown, they will need to go north around the block or south on Madison and go around the block.
 - The narrative states that noise and odors because of the filling station will be minimal and should not be considered a nuisance concern for the neighborhood. I agree, but there is no narrative pertaining to the potential odor coming from the restaurant.
 - Under outdoor storage it states that there will be a seating area for the restaurant customers as shown on the plan documents - not shown.
 - In the Summary page - it states that this small outdoor seating is an option - which is it?
 - Are both the restaurant and gas station to have the same hours of 5 am to 11 pm?





**TWO
RIVERS**
WISCONSIN

COMMUNITY DEVELOPMENT

Section 3, Item C.

1717 E. Park Street
P.O. BOX 87
Two Rivers, WI 54241-0087

- Floor plan shows a building egress in the northwest corner of the existing building. Looking at the site plan, it shows a concrete mechanical pad in close proximity to that door and then the garbage enclosure further obstructs any emergency egress out of that doorway. Does that comply with fire / emergency egress code requirements?
- In the final site plan submission, will need to address how fat, oil and grease are managed from the restaurant.
- Are there special firefighting requirements necessary due to the restaurant?
- Existing and proposed site utilities are not shown on the submitted plans and need to be addressed on the final site plan.
- Will need to submit an Erosion Control Plan / Permit application with the final site plan.



SITE NARRATIVE – Architectural Review and Conditional Use Application

June 24th, 2024

PROJECT NAME AND ADDRESS:

16th & Monroe St. BP Gas Station Addition, 1706 16th St, Two Rivers, WI 54241

ESTIMATED PROJECT COST: \$800,000 (Total Project)

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

- The parcel is defined as tax parcel 05300006310205
- It is defined as: ORIG PLAT S 80` OF LOTS 9 & 10 BLK 63 EXC PT OF LOT 10 DESC V 277 P 218 ALSO S 80` OF LOT 10 METALWARE SUB & PT OF LOT 8 S OF A LINE 80` N OF N ROW LINE OF 16TH ST EXTENDED
- The entire lot area 0.38 acres

ZONING CLASSIFICATION/ZONING REQUIREMENTS:

Business District B-1

EXISTING SITE CONDITIONS/LAND USE:

The site is currently a BP Gas Station with deteriorating conditions and no dumpster enclosure

PROPOSED LAND USE/LOT COVERAGE SITE DATA

- Property Size: .38 Acres
- New Building Addition Footprint: 1210 sq. ft
- Existing Building Footprint: 1900 sq. ft
- Addition to be added to existing convenience store space for a small restaurant space.

SITE SELECTION

- This property was selected for the development of this gas station/convenience store/restaurant location due to its appealing location along 16th Street corridor.
- This location aligns well with the City of Two Rivers Comprehensive plan for development.
- Constructing a Gas Station & Convenience Store/Small Restaurant in this area would be addressing a need for affordable restaurants options for residents of the Two Rivers Community. The restaurant will offer both dine in and carry out options for service.
- This new development would serve as a quick, easily accessible location for residents of the residential communities located to the North and South of the property to stop in for dine in food or carryout services.

LANDSCAPE REQUIREMENTS

- Landscaping plan will meet the City's Landscaping requirements.
- Small berm with foundation and shrubs near the existing monument sign

PERFORMANCE STANDARDS/POTENTIAL NUISANCES:

- All performance standards to comply with the City of Two Rivers Ordinances
- Noise and odors because of the filling stations will be minimal and should not be considered a nuisance concern for the neighborhood

OUTDOOR STORAGE:

- Only additional outdoor storage will be seating area for the restaurant customers as shown on plan documents.
- Outdoor storage on this site will be limited to Firewood, LP Storage & and Ice Storage. There will not be any vending machines or dispensers located on the exterior of the building.
- Firewood display: A small firewood rack will be displayed on the exterior of the building. Customers are to purchase firewood at the register and pick it up outside.
- LP & Ice Storage: A locked LP Storage cage & Ice box will be located outside of the building. Customers are to purchase LP & Ice products inside the convenience store and are to be assisted by a store employee to get access to the products.
- Air/Vacuum equipment will not be present on this site

SITE LIGHTING:

- All lighting to stay the same except for the addition of new wall pack on the exterior walls of the addition.
- No additional light pollution is caused by addition.

ARCHITECTURE:

- Building Addition to have prefinished LP SmartSide Horizontal Lap Siding on the upper portion of wall and LP SmartSide vertical panel wainscot metal panels on lower portion of wall as shown on architectural elevations. Roof to be a single slope rubber membrane.
- All mechanical equipment will be ground set on back of building near dumpster enclosure
- All new Aluminum storefront windows and doors to look visually appealing and bring natural light into the building. Aluminum storefront will have higher quality features to make space appealing. To have door openers and closers to help with energy efficiency and ADA compliance
- Existing Building to be repainted to match new siding on addition.
- Fuel stations remain as existing and canopy to remain in same location and style as current.
- Dumpster enclosure will be composed of visually pleasing building materials chain link fence with black privacy slats similar to project complete in Manitowoc on North Rapids Road. (See Attached Photo)

Number of Customers Expected	Currently 400 will grow to 550 to 600 a day
Number of Employees	10 to 12
Building Size	Existing 1,900/Proposed Addition 1,210
Hours of Operation	5am to 11pm
Air Emissions/Odors	Restaurant will have exhaust but nothing foul smelling
Light Emissions	No additional light pollution
Noise/Vibration	No change from current conditions
Fire/EMS/Police	Should be readily and easily accessible to any emergency services.
Parking	less than 15 spots
Pedestrian Safety	No change to pedestrian traffic routes
Traffic Impacts	No longer be through traffic on site. No left turn from 16 th street apron.
Electric/Gas	Existing Service
Sanitary Sewer	Existing Service
Stormwater	No change to stormwater systems
Water Service	Existing Service
Job Creation	10 to 12
Property Values	Investment of 800,000 dollars
School Capacity	N/A
Tax Base Growth	Will grow with continual investment
Blight Elimination	All space to be used appropriately
Indoor/Outdoor Use	Indoor Restaurant proposed with small outdoor seating option
View Obstruction	See Attached Plans

CONDITIONAL USE
PERMIT
City of Two Rivers

Document Number

Permit No. 7-1-2024

Before the City Council of the City of Two Rivers, Manitowoc County, Wisconsin, regarding the premises at 1706 - 16th Street in the City of Two Rivers, Manitowoc County, State of Wisconsin, further described as:

ORIG PLAT S 80` OF LOTS 9 & 10 BLK 63 EXC PT OF LOT 10 DESC V 277 P 218 ALSO S 80` OF LOT 10 METALWARE SUB & PT OF LOT 8 S OF A LINE 80` N OF N ROW LINE OF 16TH ST EXTENDED

Inspections Department
City of Two Rivers
PO Box 87
Two Rivers, WI 54241-0087

Parcel ID Number: 053-000-063-102.05

Zoning Classification of the Premises is: B-1 Business District/Conditional Use for a Gas Station including a Convenience Store.
Mailing Address of the Premises Operator: 916 Mulberry Lane, Kohler WI 53044

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statute, state that the premises may not be used for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the City Council of the City of Two Rivers having determined that by reason of the nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the operation of a gas station including a convenience store.

Permitted by action of the City Council of the City of Two Rivers on August 19, 2024.
Original filed in the office of the City Clerk of the City of Two Rivers, Wisconsin

The Conditions of this Permit are:

1. This Permit shall become effective upon the execution and recording by the Owner of the Premises as acceptance hereof.
2. This Permit is subject to the conditions herein and is subject to amendment and termination in accordance with the provisions of the Zoning Code of this Municipality.
3. The operation of the use permitted shall be in strict conformity to the approved conditions identified with this Petition for this Permit and such plans are incorporated herein by reference as if set forth in detail herein.
4. Any substantial change to the use or site as the conditions permitted by the issuance of this Permit would require approval by the Plan Commission and City Council as an amendment to this Permit.
5. This Permit is specifically issued to Jalapa Marketing LLC and shall lapse upon a change in ownership of the business, tenancy of the subject premises or if the land uses ceases operation for more than 12 months. This permit may be reissued only after a proper application is made to the City as if this permit were being newly issued.
6. Conditions of Operations:
 - a. Hours of operation: 24 hours per day, seven days per week.
 - b. Any outdoor display of merchandise shall be limited to on the fuel islands beneath the canopy not exceeding three feet in height; and, immediately adjacent to the front wall of the building not exceeding the height of the window base.
 - c. A separate Conditional Use Permit shall be required for any land use which would include a drive-thru component.
 - d. Light fixtures under the canopy shall not glare into public streets and shall not glare into adjacent properties. Diffusers shall be installed as necessary to minimize glare of canopy lights.
 - e. Signage in accord with the City's Sign Code.
 - f. All landscaping plantings shall be maintained and kept in good health or be replaced; and all landscaped areas shall be maintained in such a manner to be free of weeds.

SIGNATURES OF PROPERTY OWNER(S) AND PERMITEE(S):

As Owner(s) of the Subject Property, I/we accept and understand the above-described conditions.

Printed Name: _____

Printed Name: _____

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this _____ day of _____, 2024, the above named _____ and to be the person(s) who executed the foregoing instrument and acknowledge the same.

Amanda Baryenbruch
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

SIGNATURES - CITY OF TWO RIVERS

Greg Buckley, City Manager

Amanda Baryenbruch, City Clerk

STATE OF WISCONSIN
MANITOWOC COUNTY

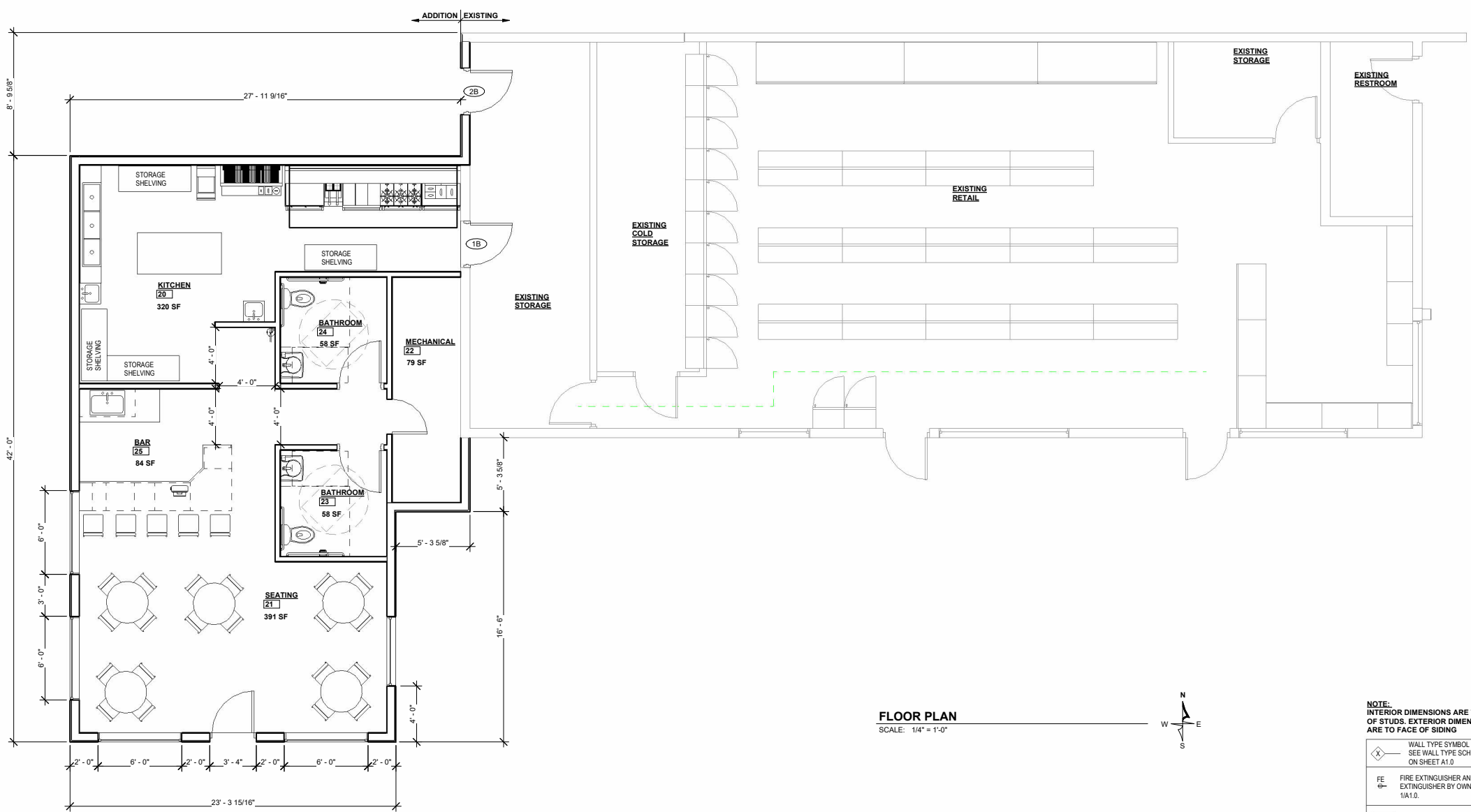
Personally, came before me this _____ day of _____ 2024, the above-named Greg Buckley and Amanda Baryenbruch known to be the person(s) who executed the foregoing instrument and acknowledge the same.

Printed Name: _____
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

THIS INSTRUMENT WAS DRAFTED BY:
Adam Taylor, Zoning Administrator

WALL TYPE SCHEDULE		
NO.	DESCRIPTION	WALL DIAGRAM
1	5/8" GYPSUM BOARD 2x4 WOOD STUDS AT 16" O.C. BATT INSULATION 5/8" GYPSUM BOARD HEIGHT: 9'-0"	
2	5/8" GYPSUM BOARD 2x6 WOOD STUDS AT 16" O.C. BATT INSULATION 5/8" GYPSUM BOARD HEIGHT: 9'-0"	

INTEGRITY
ENGINEERING & DESIGN, LLC
2637 Tulp Lane Green Bay, WI 54313
E-mail: Info@IntegrityEngineering.biz
www.integrityengineering.biz
Phone: (920) 469-9288
Fax: (920) 469-6809
COPYRIGHT INTEGRITY ENGINEERING & DESIGN, LLC



FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:
INTERIOR DIMENSIONS ARE TO FACE OF STUDS. EXTERIOR DIMENSIONS ARE TO FACE OF SIDING

	WALL TYPE SYMBOL SEE WALL TYPE SCHEDULE ON SHEET A1.0
	FIRE EXTINGUISHER AND BRACKET - EXTINGUISHER BY OWNER - SEE DETAIL 1/A1.0.
	NONCOMBUSTIBLE CONSTRUCTION

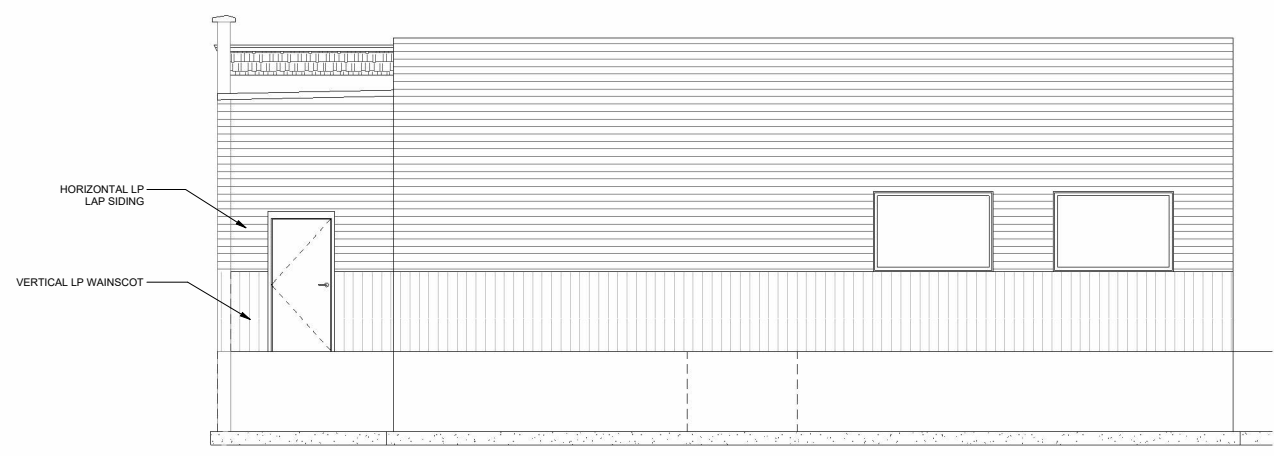
PROPOSED ADDITION FOR:
CLARK GAS STATION
1706 16TH STREET
TWO RIVERS
WISCONSIN 54241

IED JOB NUMBER: 23105
JOB NUMBER: 23105
IED PROJECT MANAGER: C. DUESCHER
DRAWN BY: GILLETTE G.
DATE: 08/28/2023

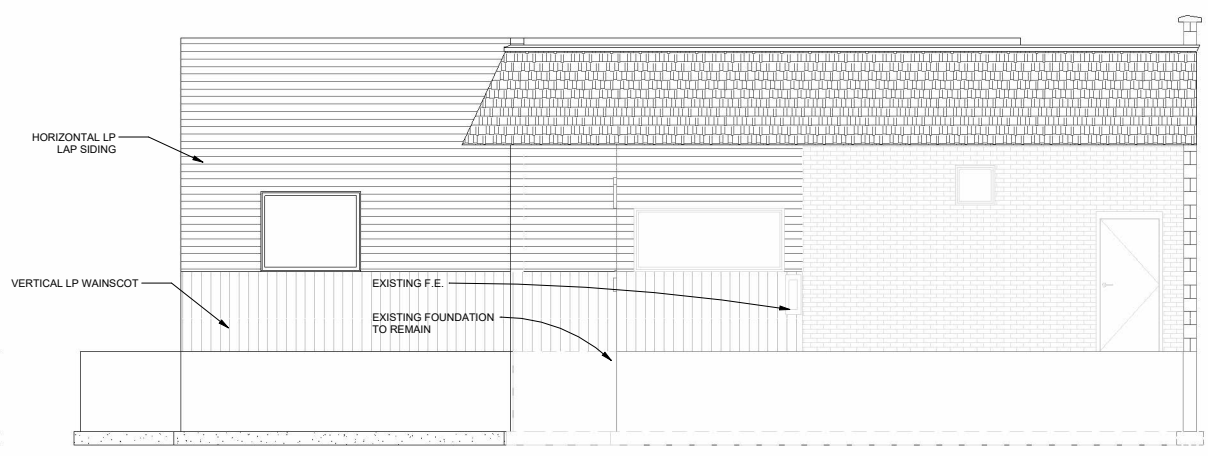
NO.	REVISIONS	DATE

ISSUED FOR:
 PRELIMINARY
 CONSTRUCTION
 DESIGN REVIEW

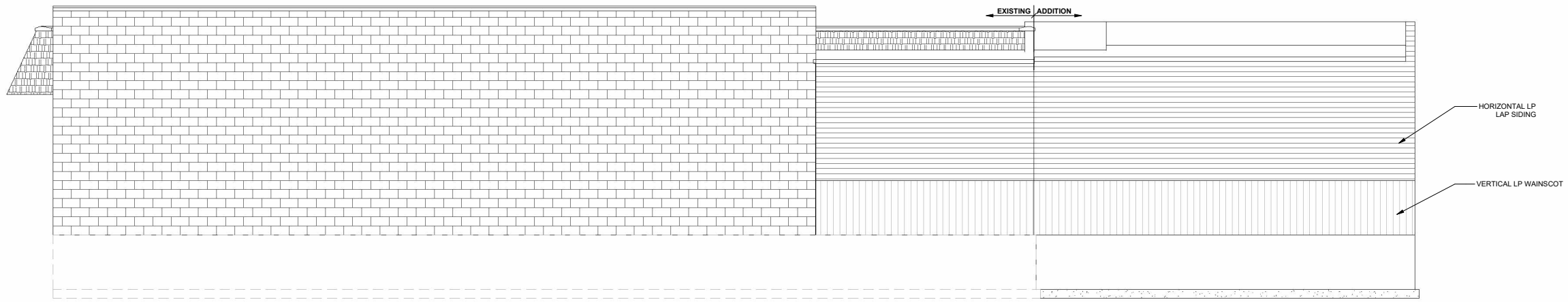
FLOOR PLAN
SHEET: **A1.0**



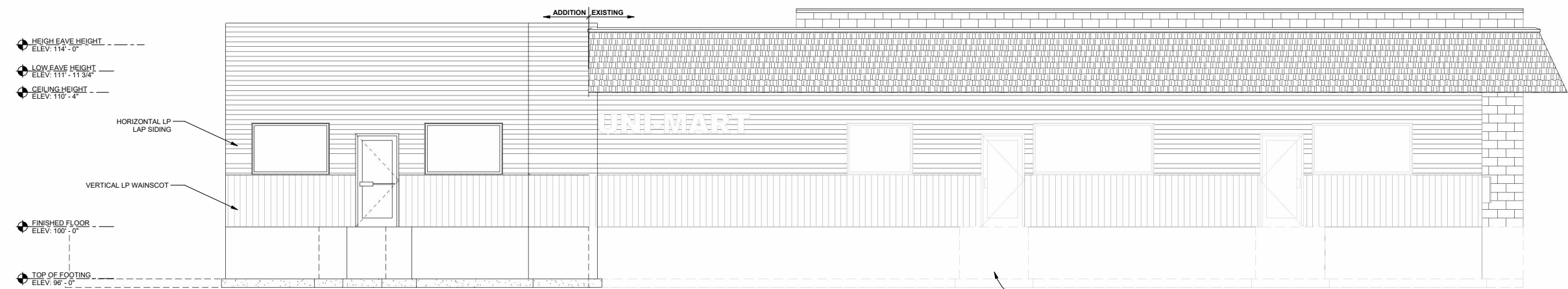
WEST ELEVATION
SCALE: 1/4" = 1'-0"
4
A2.0



EAST ELEVATION
SCALE: 1/4" = 1'-0"
1
A2.0



NORTH ELEVATION
SCALE: 1/4" = 1'-0"
2
A2.0



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
3
A2.0

INTEGRITY
ENGINEERING & DESIGN, LLC
2637 Tulp Lane Green Bay, WI 54313
E-mail: Info@IntegrityEngineering.biz
www.integrityengineering.biz
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© COPYRIGHT INTEGRITY ENGINEERING & DESIGN, LLC



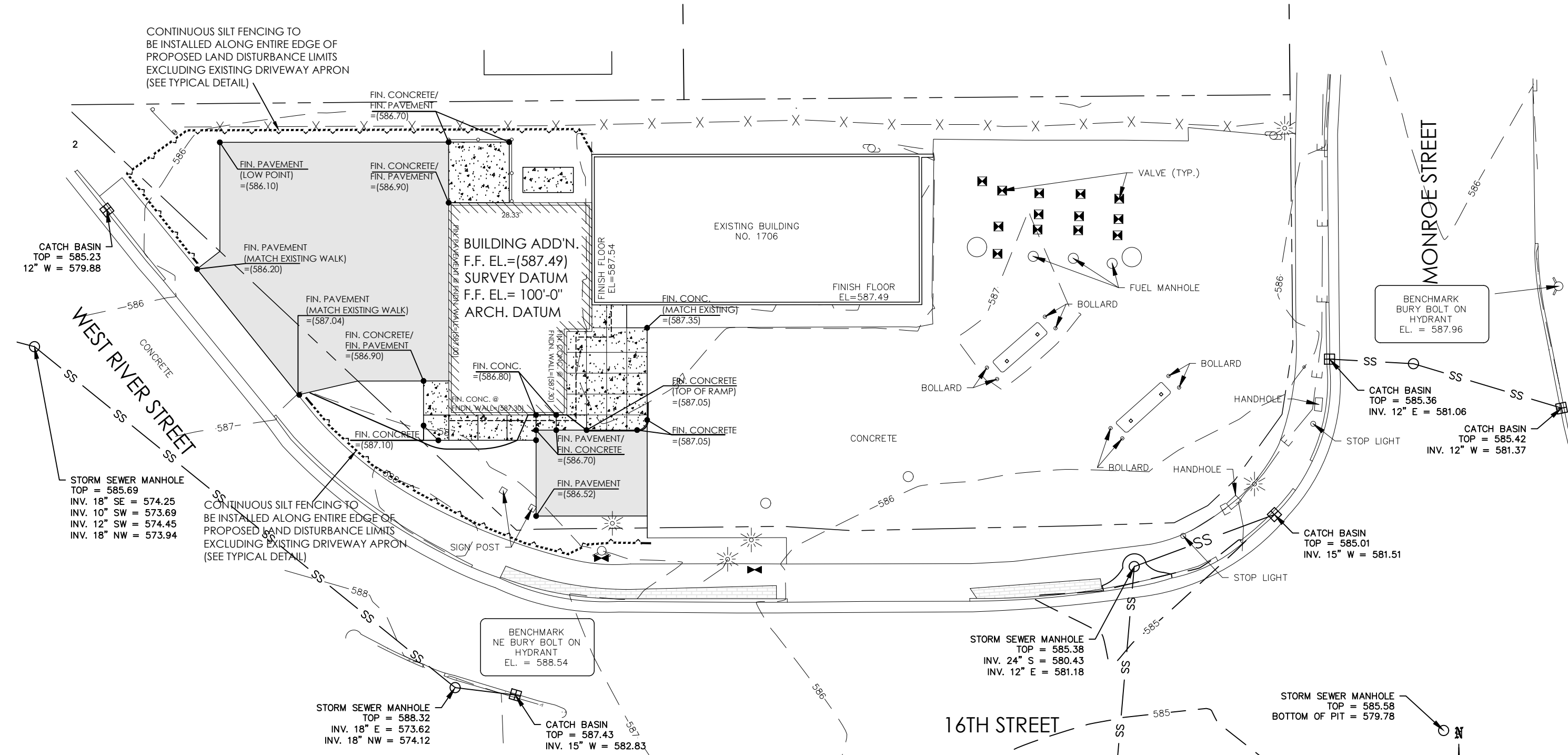
PROPOSED ADDITION FOR:
CLARK GAS STATION
1706 16TH STREET
TWO RIVERS
WISCONSIN 54241

PROPOSED ADDITION FOR CONSTRUCTION
JOB NUMBER: 23105
JOB NUMBER: 23105
PROJECT MANAGER: C. DUESCHER
DRAWN BY: GILLETTE G.
DATE: 08/28/2023

NO.	REVISIONS	DATE

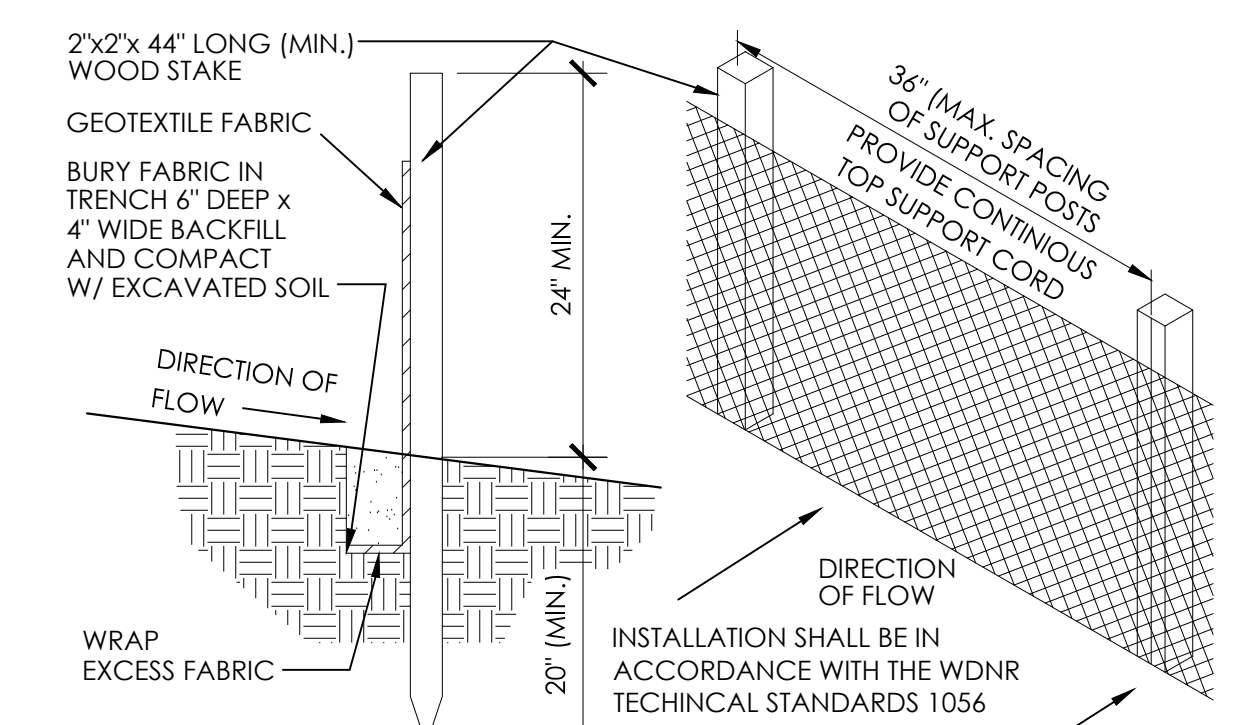
ISSUED FOR:
 PRELIMINARY
 CONSTRUCTION
 DESIGN REVIEW

ELEVATIONS
SHEET: **A2.0**

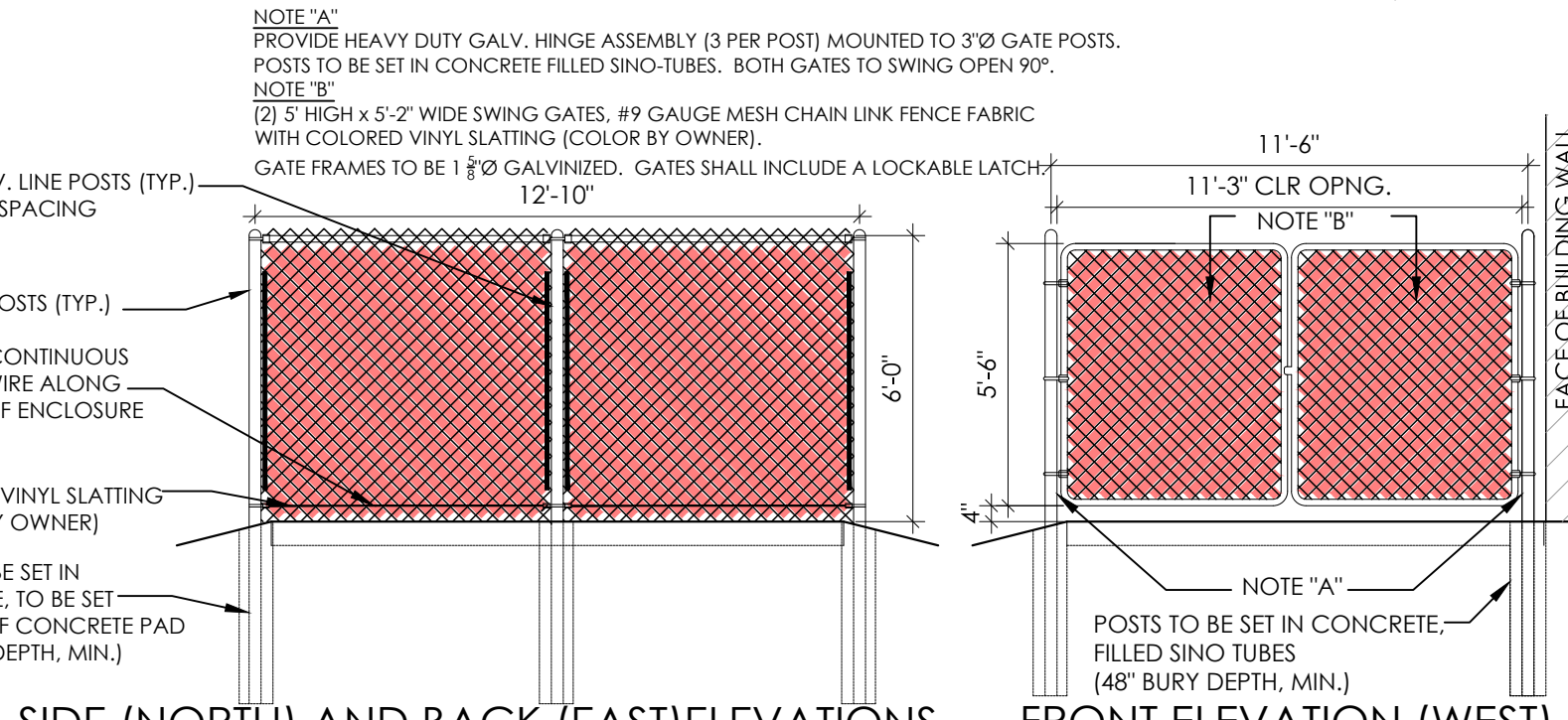


SITE GRADING AND EROSION CONTROL PLAN

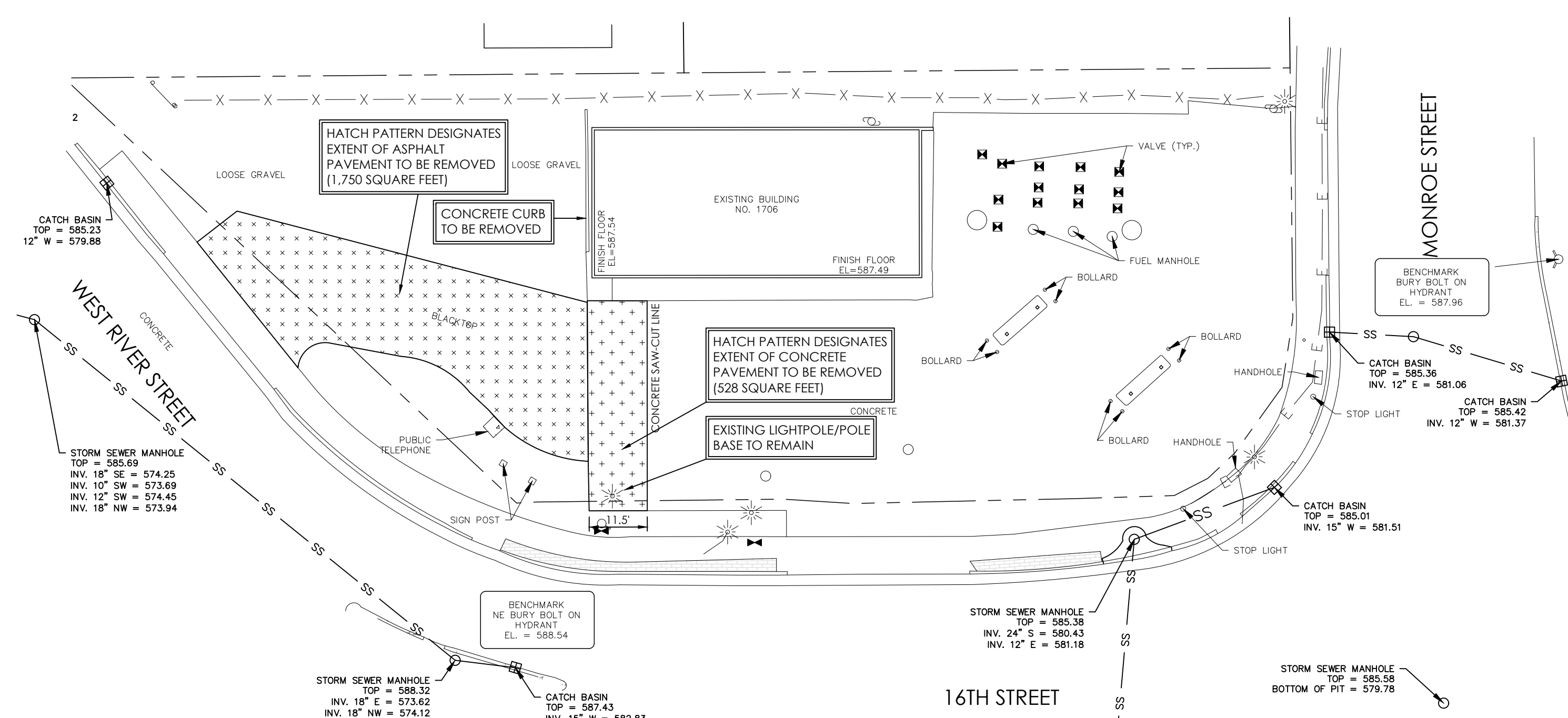
1"=20'



SILT FENCE SECTION & DETAIL

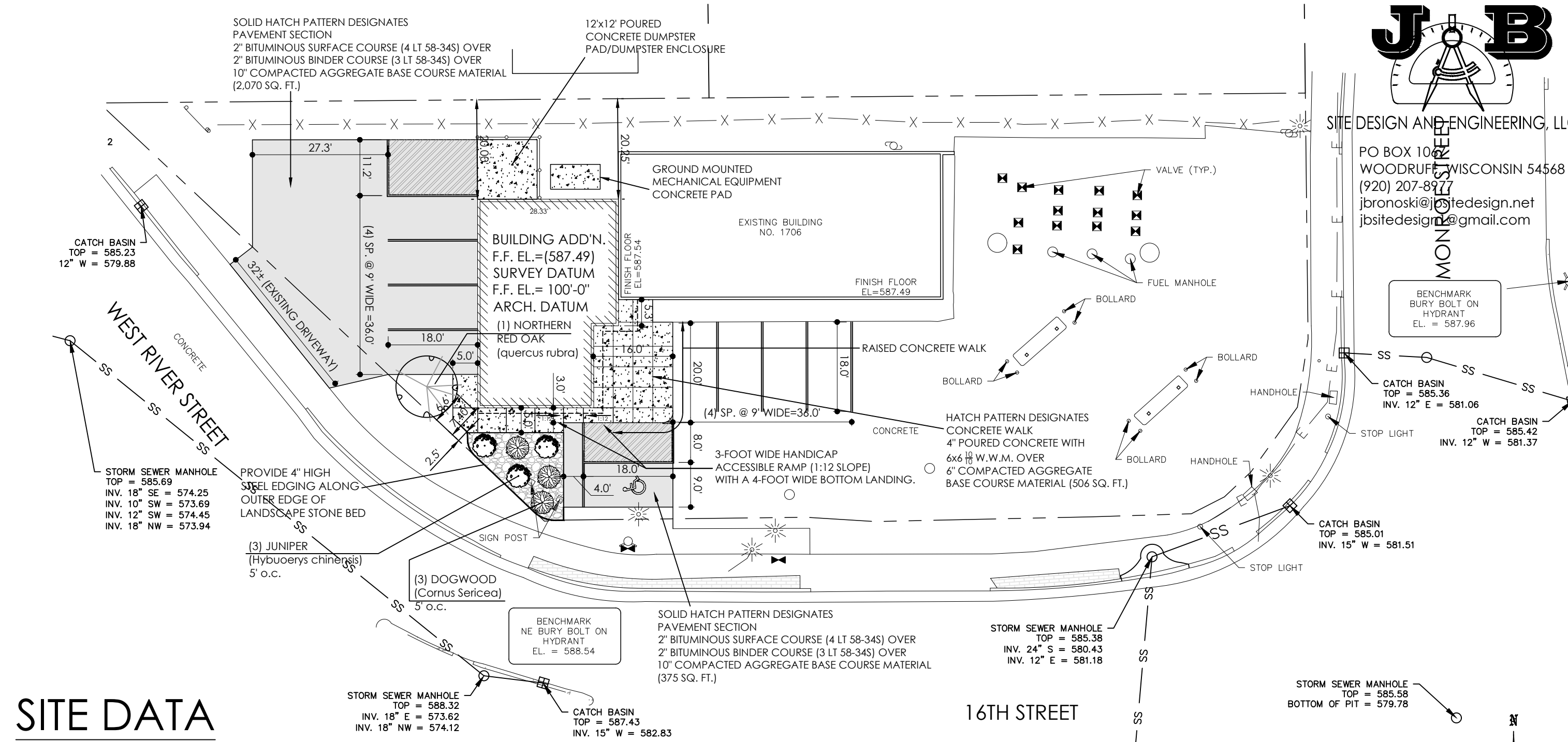


DUMPSTER ENCLOSURE



SITE DEMOLITION PLAN

1"=20'



SITE PLAN/LANDSCAPE PLAN

1"=20'

SITE DATA

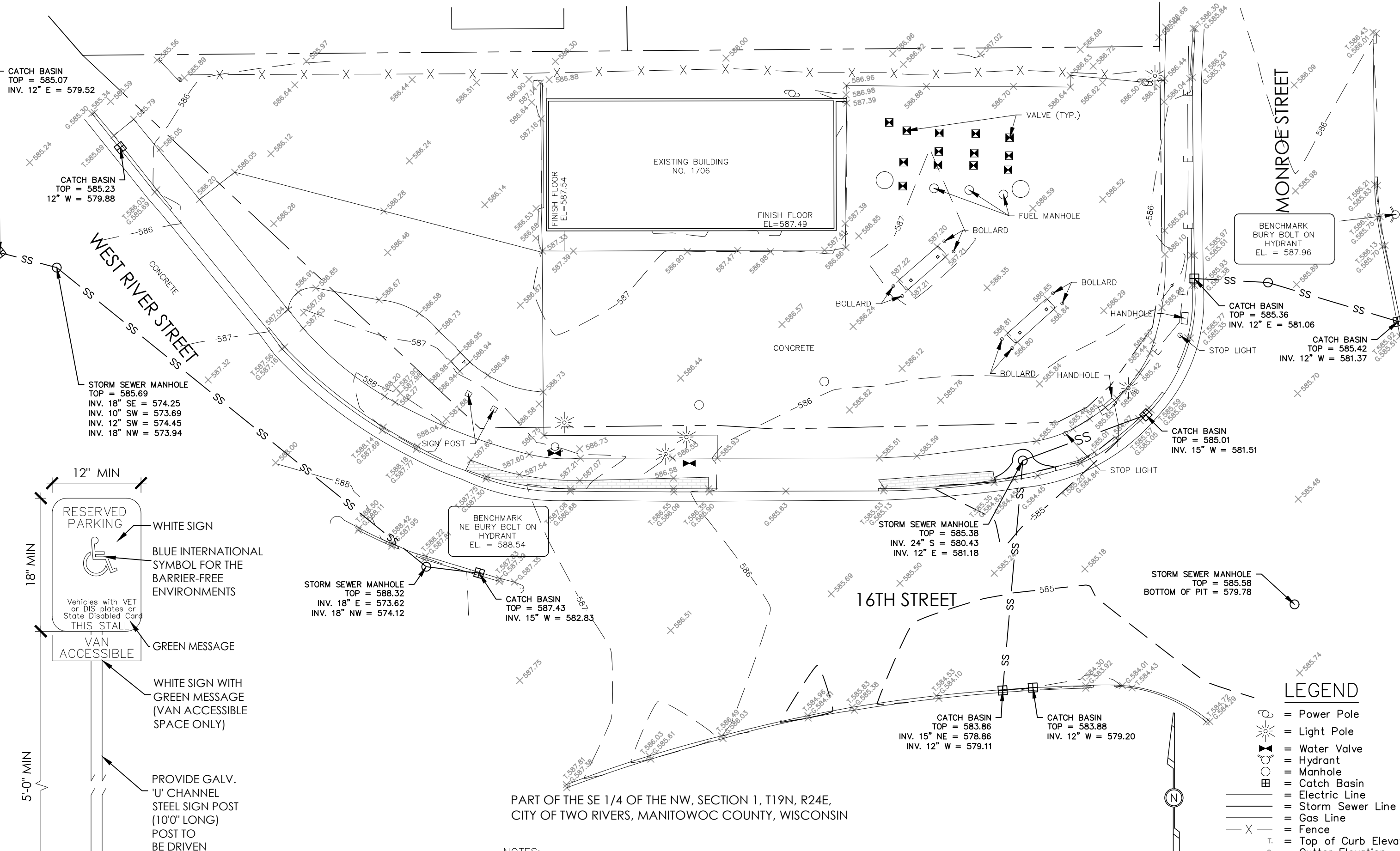
CURRENT PROPERTY: 14,588 SQUARE FEET (0.380 AC.)
 SITE ADDRESS: 1706 16TH STREET

EXISTING SITE CONDITIONS WITHIN PROPERTY LINE (PRE DEVELOPED)

BUILDING FOOTPRINT	1,946 SQUARE FEET
CONCRETE WALK	370 SQUARE FEET
CONCRETE PARKING/MANEUVERING	7,970 SQUARE FEET
ASPHALT PAVEMENT	1,750 SQUARE FEET
TOTAL IMPERVIOUS AREA	12,036 SQUARE FEET (72.6-PERCENT)

PROPOSED SITE CONDITIONS WITHIN PROPERTY LINE (POST DEVELOPED)

BUILDING FOOTPRINT	1,946 SQUARE FEET
PROPOSED BUILDING ADDITION	1,108 SQUARE FEET
CONCRETE WALK	335 SQUARE FEET
CONCRETE PARKING/MANEUVERING	7,442 SQUARE FEET
PROPOSED CONCRETE WALK	506 SQUARE FEET
PROPOSED DUMPSTER PAD/MECHANICAL EQUIPMENT PAD	194 SQUARE FEET
PROPOSED BITUMINOUS PAVEMENT	2,175 SQUARE FEET
TOTAL IMPERVIOUS AREA	13,706 SQUARE FEET (+1,670 SQ. FT. - 82.6-PERCENT)
TOTAL LAND DISTURBANCE	5,400 SQUARE FEET (0.12 AC.)



TOPOGRAPHIC SURVEY

1"=20'



HANDICAP SIGNAGE

J & B
 SITE DESIGN AND ENGINEERING, LLC
 PO BOX 1082
 WOODRUFF, WISCONSIN 54568
 (920) 207-8777
 jbronoski@jtedesign.net
 jbsitedesign@gmail.com

2637 Tulip Lane Green Bay, WI 54313
 E-mail: info@integrityengineering.biz
 www.integrityengineering.biz
 Phone: (920) 469-9288
 Fax: (920) 469-6809
 © COPYRIGHT INTEGRITY ENGINEERING & DESIGN, LLC

Quasius
 a construction services company

PROPOSED ADDITION FOR:
CLARK GAS STATION

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

JOB NUMBER:
 IED PROJECT MANAGER:
 DRAWN BY:
 DATE: 06/21/2024

NO.	REVISIONS	DATE

ISSUED FOR:

PRELIMINARY
 CONSTRUCTION
 DESIGN REVIEW

TOPOGRAPHIC SURVEY
 SITE DEMOLITION PLAN
 SITE PLAN
 SITE GRADING AND EROSION CONTROL PLAN

SHEET:

C 101

WISCONSIN 54241

1706 16TH STREET
 TWO RIVERS



LAND DEVELOPMENT APPLICATION

APPLICANT Quasius Construction TELEPHONE 9206278056

MAILING ADDRESS 1202A North 8th Street Sheboygan Wisconsin 53082
(Street) (City) (State) (Zip)

PROPERTY OWNER De Pere Petroleum LLC TELEPHONE (920) 457-8950

MAILING ADDRESS 916 Mulberry Lane Kohler Wisconsin 53044
(Street) (City) (State) (Zip)

REQUEST FOR:
 Comprehensive Plan Amendment Conditional Use
 Site/Architectural Plan Approval Annexation Request
 Subdivision Plat or CSM Review Variance/Board of Appeals
 Zoning District Change Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 2205 Forest Ave, Two Rivers, WI 54241 TYPE OF STRUCTURE Commercial Store

PRESENT ZONING Commercial REQUESTED ZONING Commercial

PROPOSED LAND USE Gas Station

PARCEL # 05310600109101 ACREAGE 0.57

LEGAL DESCRIPTION FERD BOHTE'S ADD ALL EXC N 35' OF LOT 9 & ALL OF LOTS 10 & 11 BLK 1

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

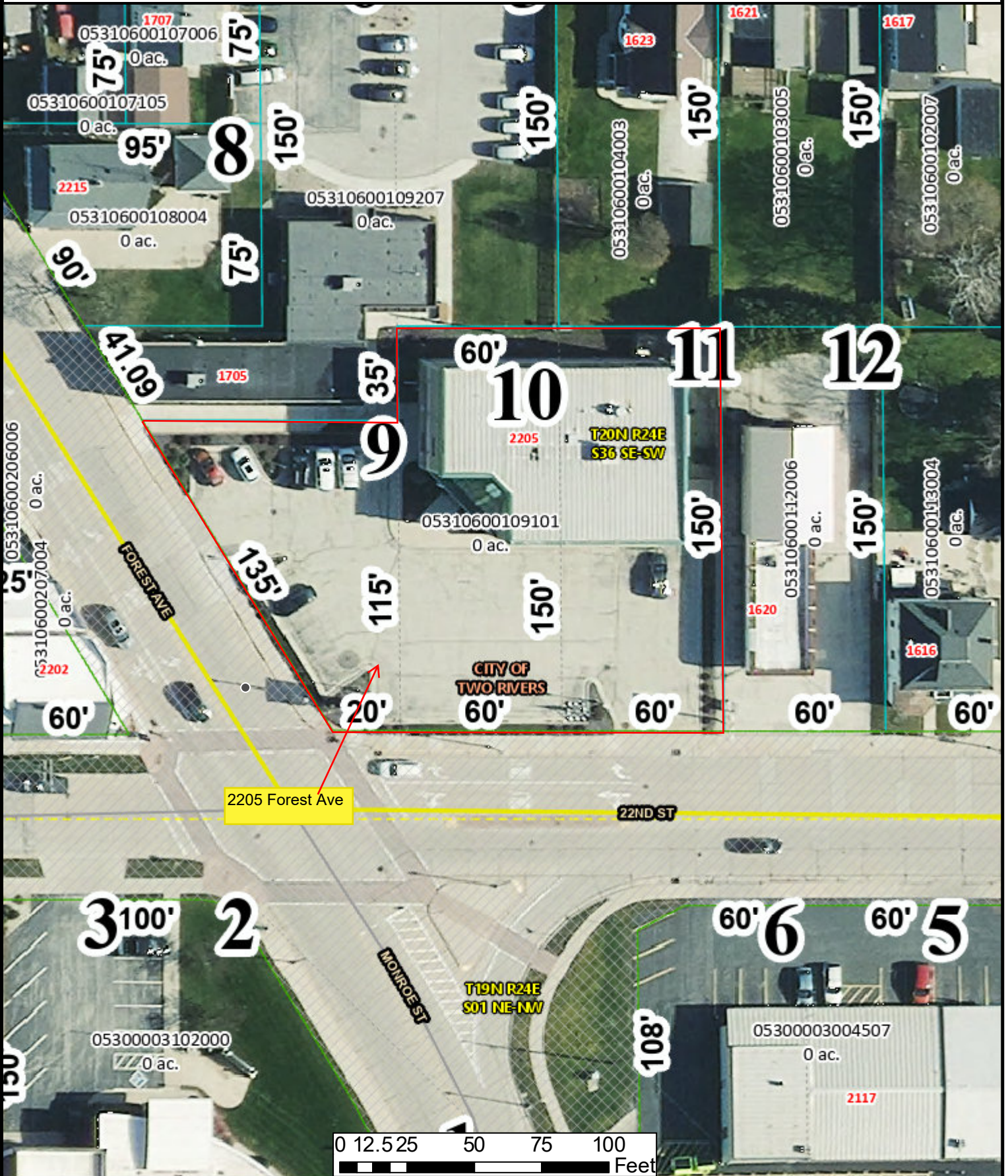
Signed [Signature] OWNER AGENT Date 6/24/2024
(Property Owner)

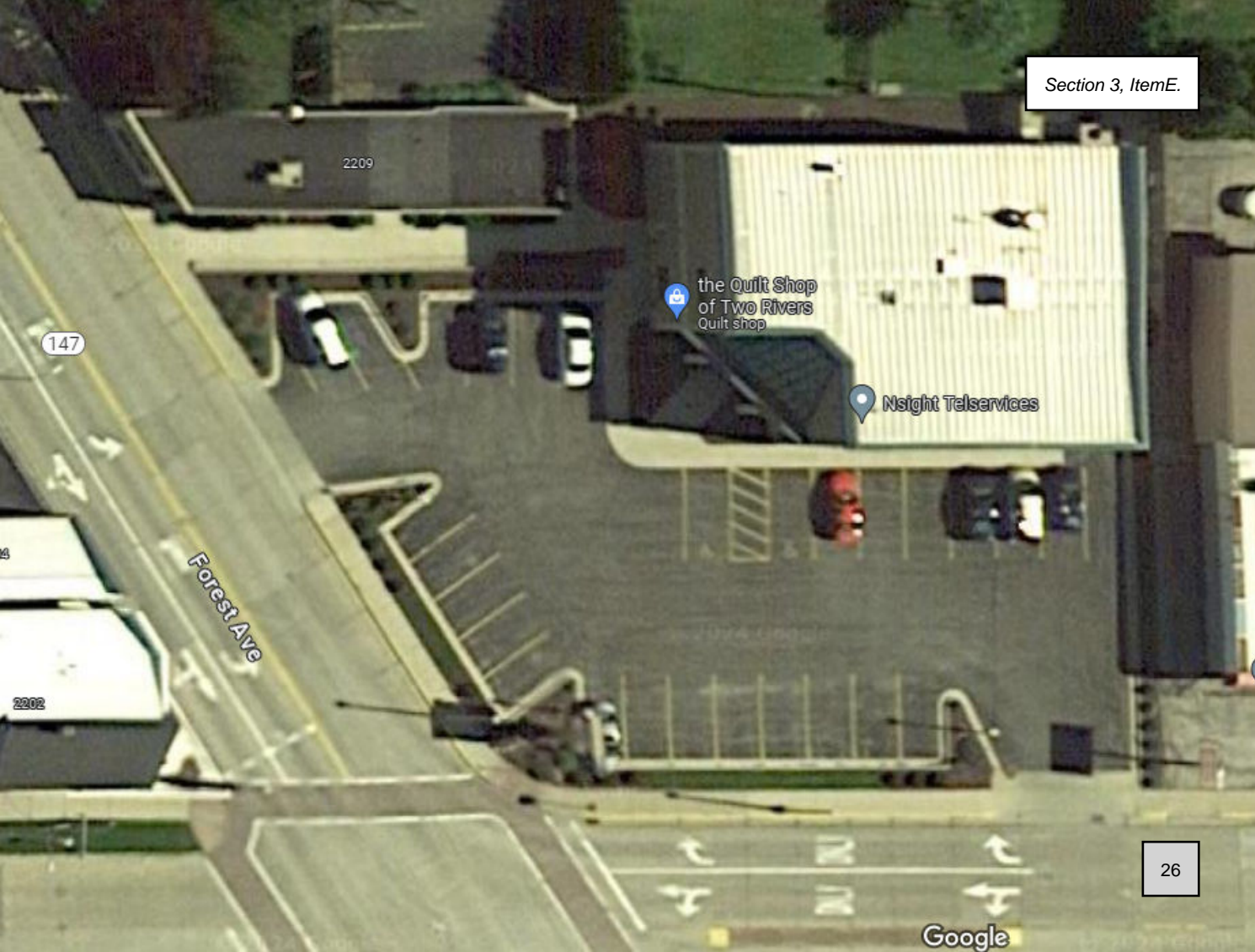
<u>Fee Required</u>	<u>Schedule</u>
\$ 350 Comprehensive Plan Amendment	Application Submittal Date _____
\$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)	Date Fee(s) Paid _____
\$ t/b/d CSM Review (\$10 lot/\$30 min)	Plan(s) Submittal Date _____
Subdivision Plat (fee to be determined)	Plan Comm Appearance _____
\$ 350 Zoning District Change	
\$ 350 Conditional Use	
\$ t/b/d Annexation Request (State Processing Fees Apply)	
\$ 350 Variance/Board of Appeals	
\$ t/b/d Other	

\$ _____ TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____

Manitowoc County Parcel Viewer

Section 3, Item E.





2209

147

Forest Ave



the Quilt Shop
of Two Rivers
Quilt shop



Nsight Telservices

2202



PLAN COMMISSION

Action: Conditional Use Application
Location: 2205 Forest Ave
Current Zoning: Business (B-2)
Date: July 8, 2024

The owner of this property is requesting a Conditional Use Permit for a gas station located at 2205 Forest Ave. Gas stations are listed as a conditional use in the Business (B-2) District.



Comments from the Director of Public Works:

- On the Land Development Application under Proposed Land Use it just lists gas station. It does not address the C-store, restaurant, the existing CellCom property use or what is to occur with the 2nd story of this property.
- Within the site narrative:
 - Under Zoning Classification - it's listed as SC - Suburban Commercial District, something that the City of Two Rivers does not have
 - States that there will be 28 parking spots - where? By their own site plan, it only shows 14 spots.
 - Questioning the building footprint that they have listed at 3837 SF. By scaling the building with the County's GIS, I arrived at over 5,600 SF. Using their floor





- plan, the identified areas arrive at 3837 SF but there are a lot of unidentified areas not accounted for.
- In the upper left corner of the floor plan, shows some stairs and a large white space - what is that space going to be used for?
 - Just to the left of the CellCom space there is some white space within the C-store footprint - what is that space going to be used for?
 - Just to the upper left of the CellCom space, there is a white and blue area shown - what is that space going to be used for and how is it accessed?
 - In the lower right corner of the floor plan there is a white space shown - what is that space going to be used for and how is it accessed?
 - Just below the main entrance there is a white space shown - what is that space going to be used for?
- States that the site will meet the City's Landscaping Requirements but there is nothing shown.
- Their summary sheet under Indoor/Outdoor Use only identifies a proposed indoor restaurant, nothing about the C-store or gas station, nor about the existing CellCom portion of the building or 2nd floor use.
 - Site Plan -
 - Refuse / Recycling enclosure not identified or shown
 - Existing / Proposed utilities not shown / identified
 - I believe that there will be a lot of internal traffic congestion within the property
 - Ingress / Egress for standard vehicles appears to be improved with the proposed widening of the 22nd Street entrance.
 - Property lines, right-of-way lines are not clearly shown or identified. Property dimensions are not shown.
 - Setbacks are not identified or shown.
 - Due to the restaurant - where, how is fat, oil and grease going to be managed? Needs to be addressed on final site plan submittal.
 - Are there special fire fighting items that need to be made to the building due to the inclusion of the restaurant?
 - Will need to submit an Erosion Control Plan / Permit Application with the final site plan.
 - Will need to address how petroleum impacted stormwater / snowmelt runoff will be managed prior to reaching the City's storm sewer system. (City and WDNR requirement). Will need to prepare and provide a modified spill prevention plan to the City to show that this has been thought about and addressed with the final site plan.

SITE NARRATIVE – Architectural Review Application

June 24th, 2024

PROJECT NAME AND ADDRESS:

Cellcom Gas Station Addition/Remodel, 2205 Forest Ave, Two Rivers, WI 54241

ESTIMATED PROJECT COST: \$1,500,000 (Total Project)

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

- The parcel is defined as tax parcel 05310600109101
- It is defined as FERD BOHTE'S ADD ALL EXC N 35` OF LOT 9 & ALL OF LOTS 10 & 11 BLK 1
- The entire lot area 0.57 acres

ZONING CLASSIFICATION/ZONING REQUIREMENTS:

SC – Suburban Commercial District

EXISTING SITE CONDITIONS/LAND USE:

The site is currently a two-story retail building with small shops located in the building including CellCom. It as a parking lot with 28 spots has a entrance/exit on two streets

PROPOSED LAND USE/LOT COVERAGE SITE DATA

- Property Size: .57 Acres
- Existing Building Footprint: 3837 sq. ft
- It is proposed to remodel the first story to turn into a Gas/Convenience store on one side of the building and remodel the other to have a restaurant space.

SITE SELECTION

- This property was selected for the development of this gas station/convenience store/restaurant location due to its appealing location along 22nd Street corridor.
- This location aligns well with the City of Two Rivers Comprehensive plan for development.
- Constructing a Gas Station & Convenience Store/Small Restaurant in this area would be addressing a need for the residents of the 22nd Street Corridor.
- This new development would serve as a quick, easily accessible location for residents of the residential communities located to the North and South of the property to stop and grab food, drinks, and other convenience items while fueling their vehicles.

LANDSCAPE REQUIREMENTS

- Landscaping plan will meet the City's Landscaping requirements.

OFFICE: 920-457-5585

quasius.com

PERFORMANCE STANDARDS/POTENTIAL NUISANCES:

- All performance standards to comply with the City of Two Rivers Ordinances
- Noise and odors because of the filling stations will be minimal and should not be considered a nuisance concern for the neighborhood

OUTDOOR STORAGE:

- Outdoor storage on this site will be limited to Firewood, LP Storage & and Ice Storage. There will not be any vending machines or dispensers located on the exterior of the building.
- Firewood display: A small firewood rack will be displayed on the exterior of the building. Customers are to purchase firewood at the register and pick it up outside.
- LP & Ice Storage: A locked LP Storage cage & Ice box will be located outside of the building. Customers are to purchase LP & Ice products inside the convenience store and are to be assisted by a store employee to get access to the products.
- Air/Vacuum equipment will not be present on this site

SITE LIGHTING:

- Only additional light to be on the canopy over the fuel stations

ARCHITECTURE:

- The exterior of the building will not change besides future signage that will be coordinated by the owner
- The fuel stations will be placed per the plans
- The canopy to be placed per the plans
- Curbs to be cut to widen the entry and exits of lot
- Parking stalls to be reorganized but will still maintain 14 spots in the lot

Number of Customers Expected	500 customers a day
Number of Employees	10 to 15
Building Size	3837sqft
Hours of Operation	5AM to 12PM
Air Emissions/Odors	Restaurant will have exhaust but nothing foul smelling
Light Emissions	See Attached Documents
Noise/Vibration	No change from current conditions
Fire/EMS/Police	Should be readily and easily accessible to any emergency services.
Parking	14 parking spots with 6 customer parking stalls at fuel canopy
Pedestrian Safety	No change to pedestrian traffic routes
Traffic Impacts	35' apron on Southeast side of lot to maintain traffic flow when fuel trucks are site filling tanks. Shown on prints
Electric/Gas	Existing Service
Sanitary Sewer	Existing Service
Stormwater	No change to stormwater systems
Water Service	Existing Service
Job Creation	10 to 15 jobs
Property Values	An additional 1.5 million will be invested in that location
School Capacity	N/A
Tax Base Growth	will grow with the additional investment
Blight Elimination	All space to be used appropriately
Indoor/Outdoor Use	Indoor Restaurant proposed
View Obstruction	See Attached Plans

CONDITIONAL USE
PERMIT
City of Two Rivers

Document Number

Permit No. 7-2-2024

Before the City Council of the City of Two Rivers, Manitowoc County, Wisconsin, regarding the premises at 2205 Forest Ave in the City of Two Rivers, Manitowoc County, State of Wisconsin, further described as:

FERD BOHTE'S ADD ALL EXC N 35` OF LOT 9 & ALL OF LOTS 10 & 11 BLK 1

Inspections Department
City of Two Rivers
PO Box 87
Two Rivers, WI 54241-0087

Parcel ID Number: 053-106-001-091.01

Zoning Classification of the Premises is: B-2 Business District/Conditional Use for a Gas Station including a Convenience Store.
Mailing Address of the Premises Operator: 450 Security Boulevard, Green Bay WI 54313

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statute, state that the premises may not be used for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the City Council of the City of Two Rivers having determined that by reason of the nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, permit of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, it is permitted, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of the operation of a gas station including a convenience store.

Permitted by action of the City Council of the City of Two Rivers on August 19, 2024.
Original filed in the office of the City Clerk of the City of Two Rivers, Wisconsin

The Conditions of this Permit are:

1. This Permit shall become effective upon the execution and recording by the Owner of the Premises as acceptance hereof.
2. This Permit is subject to the conditions herein and is subject to amendment and termination in accordance with the provisions of the Zoning Code of this Municipality.
3. The operation of the use permitted shall be in strict conformity to the approved conditions identified with this Petition for this Permit and such plans are incorporated herein by reference as if set forth in detail herein.
4. Any substantial change to the use or site as the conditions permitted by the issuance of this Permit would require approval by the Plan Commission and City Council as an amendment to this Permit.
5. This Permit is specifically issued to Jalapa Marketing LLC and shall lapse upon a change in ownership of the business, tenancy of the subject premises or if the land uses ceases operation for more than 12 months. This permit may be reissued only after a proper application is made to the City as if this permit were being newly issued.
6. Conditions of Operations:
 - a. Hours of operation: 24 hours per day, seven days per week.
 - b. Any outdoor display of merchandise shall be limited to on the fuel islands beneath the canopy not exceeding three feet in height; and, immediately adjacent to the front wall of the building not exceeding the height of the window base.
 - c. A separate Conditional Use Permit shall be required for any land use which would include a drive-thru component.
 - d. Light fixtures under the canopy shall not glare into public streets and shall not glare into adjacent properties. Diffusers shall be installed as necessary to minimize glare of canopy lights.
 - e. Signage in accord with the City's Sign Code.
 - f. All landscaping plantings shall be maintained and kept in good health or be replaced; and all landscaped areas shall be maintained in such a manner to be free of weeds.

SIGNATURES OF PROPERTY OWNER(S) AND PERMITEE(S):

As Owner(s) of the Subject Property, I/we accept and understand the above-described conditions.

Printed Name: _____

Printed Name: _____

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally came before me this _____ day of _____, 2024, the above named _____ and to be the person(s) who executed the foregoing instrument and acknowledge the same.

Amanda Baryenbruch
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

SIGNATURES - CITY OF TWO RIVERS

Greg Buckley, City Manager

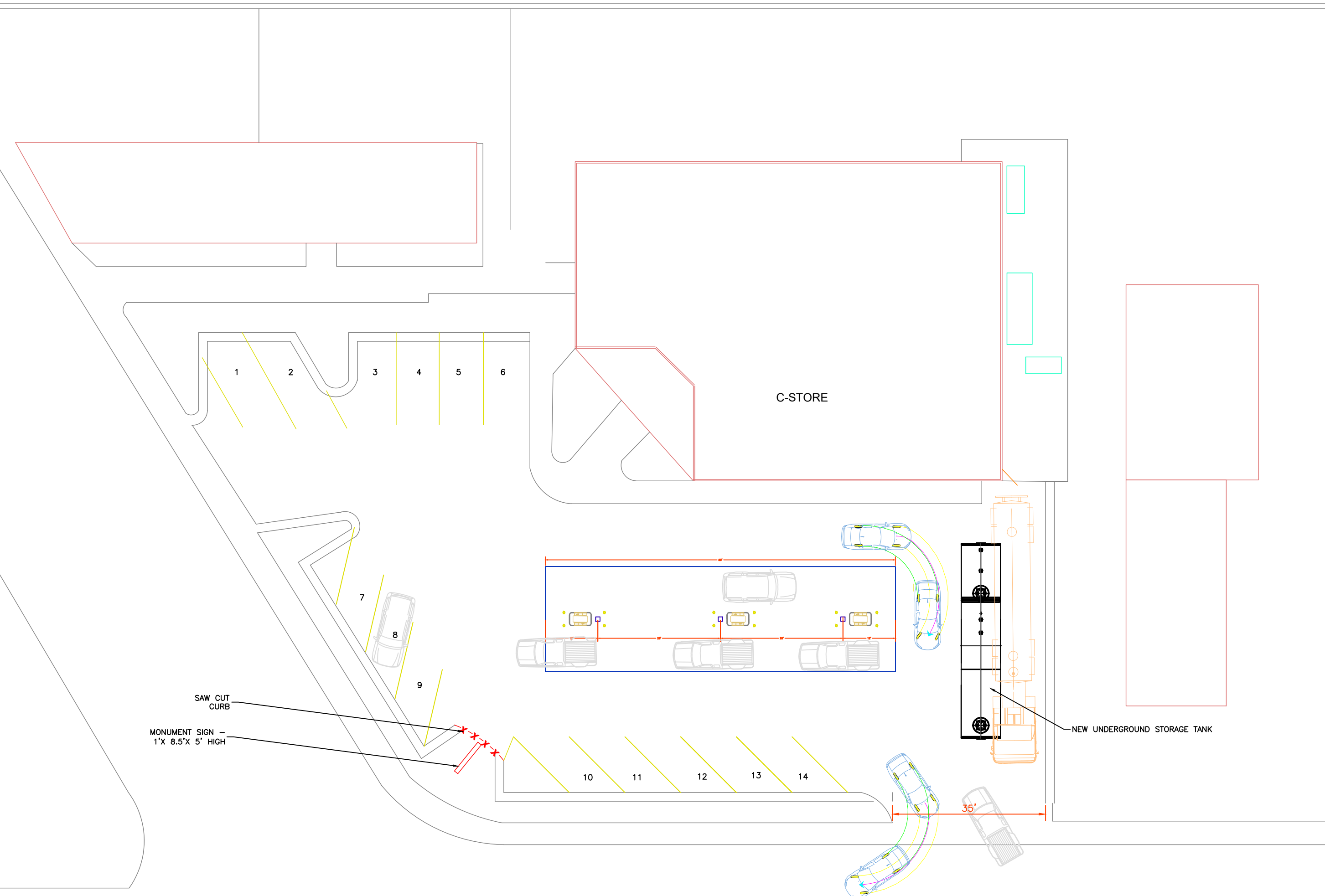
Amanda Baryenbruch, City Clerk

STATE OF WISCONSIN
MANITOWOC COUNTY

Personally, came before me this _____ day of _____ 2024, the above-named Greg Buckley and Amanda Baryenbruch known to be the person(s) who executed the foregoing instrument and acknowledge the same.

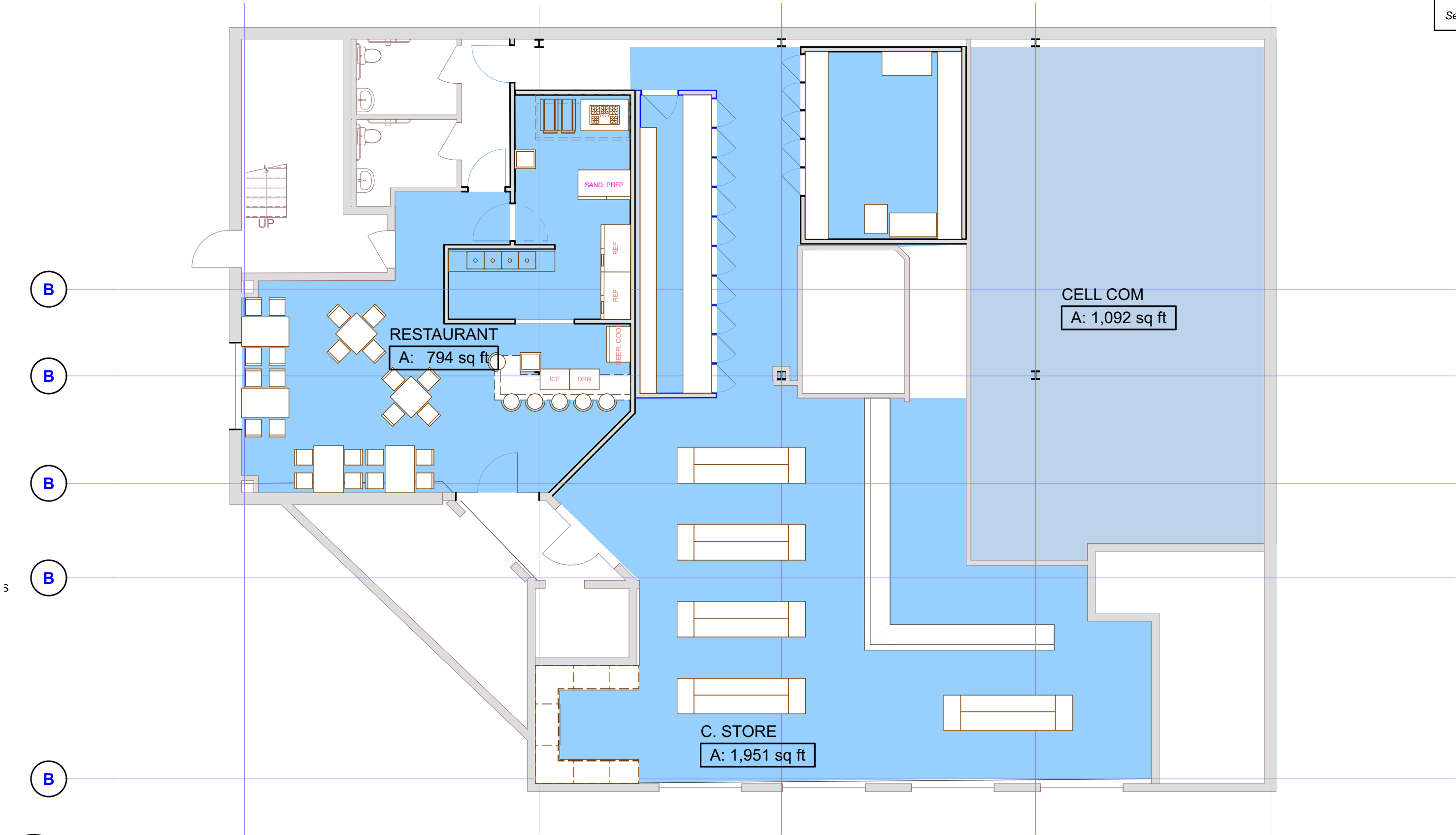
Printed Name: _____
Notary Public, Manitowoc County, Wisconsin
My commission expires: _____

THIS INSTRUMENT WAS DRAFTED BY:
Adam Taylor, Zoning Administrator



2205 Forest Ave, Two Rivers

Drawn By :
Project number :
Date: 06/06/2024
Revisions :



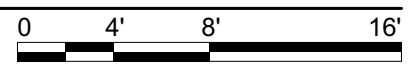
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1

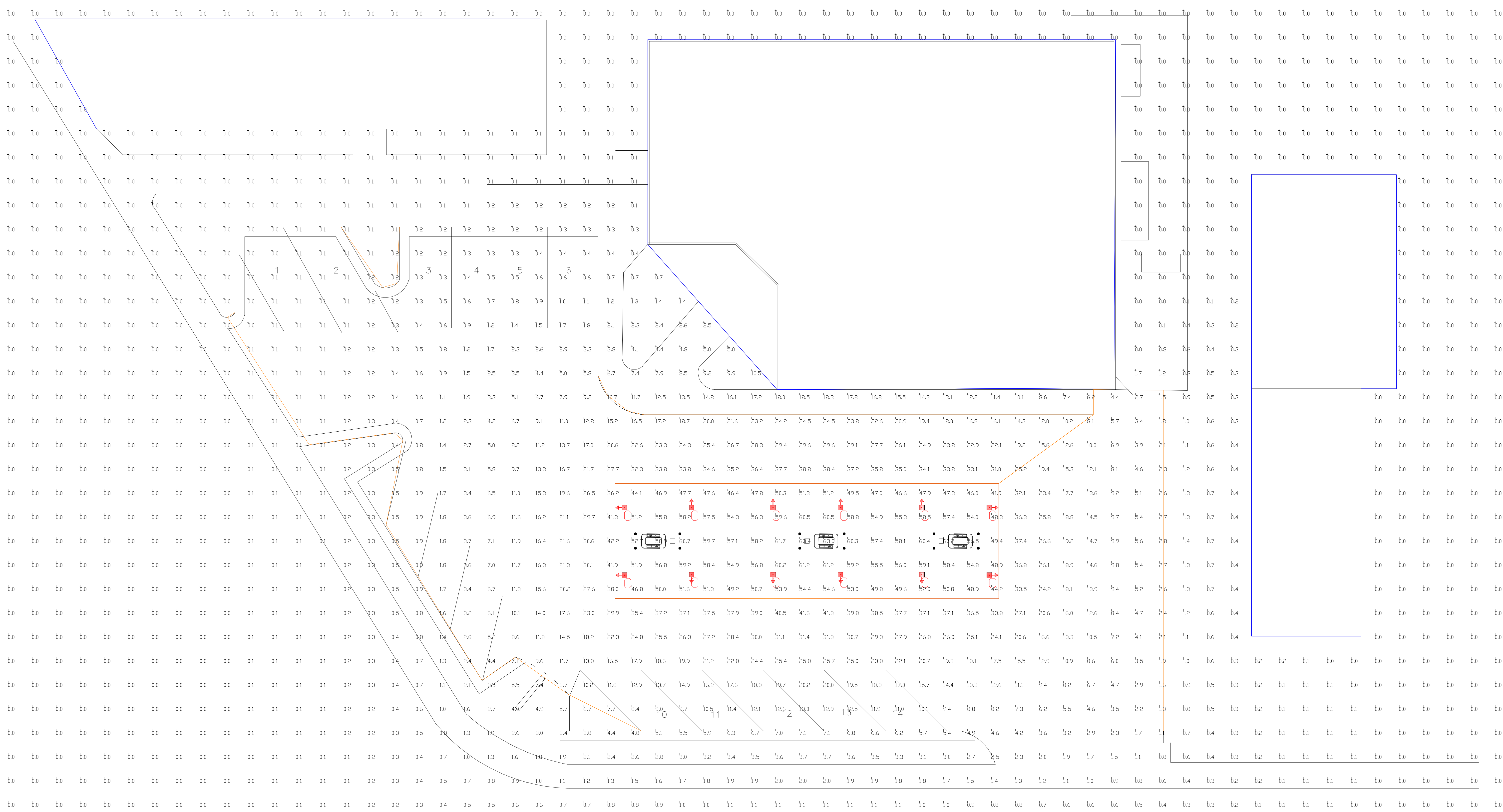
First Floor Plan

Scale: 1/8" = 1'-0"



TWO RIVERS for: NAME
ADDRESS CITY WI 53085

5.30.23
15-000
SC-2



PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS AT GROUND	Illuminance	Fc	6.30	63.4	0.0	N.A.	N.A.
CANDPY	Illuminance	Fc	54.02	63.4	41.9	1.29	1.51
INSIDE CURB	Illuminance	Fc	12.60	42.2	0.0	N.A.	N.A.

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts	
	12	C	Single	SCV-LED-23L-SCFT-50	15FT	1.000	1.000	23101	188	

DRAWING SCALED OR CONVERTED FROM
PDF FILE OR SCANNED / SUBMITTED
IMAGE. DIMENSIONS ARE APPROXIMATE.

For quotes, please contact
WALSH, LONG & CO
quotes@walshlong.com

Total Project Watts
Total Watts = 2296

WALSH, LONG & CO
2205 FOREST AVE
FVU RIVERS, VA

LIGHTING PROPOSAL LO-160440

DATE: 6/25/24 REV: SHEET 1 OF 1

SCALE: 1"=10' 0 10



TWO RIVERS
WISCONSIN

LAND DEVELOPMENT APPLICATION

APPLICANT Brian Laurent TELEPHONE 920 901 6245

MAILING ADDRESS 3406 Mirro Drive Manitowoc WI 54220
(Street) (City) (State) (Zip)

PROPERTY OWNER Brian Laurent TELEPHONE 920 901 8245

MAILING ADDRESS 3406 Mirro Drive Manitowoc WI 54220
(Street) (City) (State) (Zip)

REQUEST FOR:

- Comprehensive Plan Amendment
- Site/Architectural Plan Approval
- Subdivision Plat or CSM Review
- Zoning District Change
- Conditional Use
- Annexation Request
- Variance/Board of Appeals
- Other

STATUS OF APPLICANT: Owner Agent Buyer Other

PROJECT LOCATION 1609 16th TYPE OF STRUCTURE Garage 24' x 80'

PRESENT ZONING PUD REQUESTED ZONING _____

PROPOSED LAND USE _____

PARCEL # 053-000-073-010.05 ACREAGE _____

LEGAL DESCRIPTION _____

NOTE: Attach a one-page written description of your proposal or request.

The undersigned certifies that he/she has familiarized himself/herself with the state and local codes and procedures pertaining to this application. The undersigned further hereby certifies that the information contained in this application is true and correct.

Signed Brian Laurent (Property Owner) Date 3/12/2024

Fee Required

- \$ 350 Comprehensive Plan Amendment
- \$ t/b/d Site/Architectural Plan Approval (Listed in Sec 1-2-1)
- \$ t/b/d CSM Review (\$10 lot/\$30 min)
- \$ t/b/d Subdivision Plat (fee to be determined)
- \$ 350 Zoning District Change
- \$ 350 Conditional Use
- \$ t/b/d Annexation Request (State Processing Fees Apply)
- \$ 350 Variance/Board of Appeals
- \$ t/b/d Other

Schedule

- Application Submittal Date _____
- Date Fee(s) Paid _____
- Plan(s) Submittal Date _____
- Plan Comm Appearance _____

\$ _____ TOTAL FEE PAID APPLICATION, PLANS & FEE RECEIVED BY _____



PLAN COMMISSION

Action: Proposed amendment to PUD
Location: 1609 – 16th Street
Current Zoning: Planned Unit Development (PUD)
Date: July 8, 2024

The owner of this property is requesting a change to the previously approved PUD, to construct a garage, closer to the dwelling unit. Staff has raised questions about the location of the garage, in relation to existing easements presently impacting the site. The current site plan does not include the easements.

Section 10-1-41. - Subsequent change or addition to approved PUD plan.

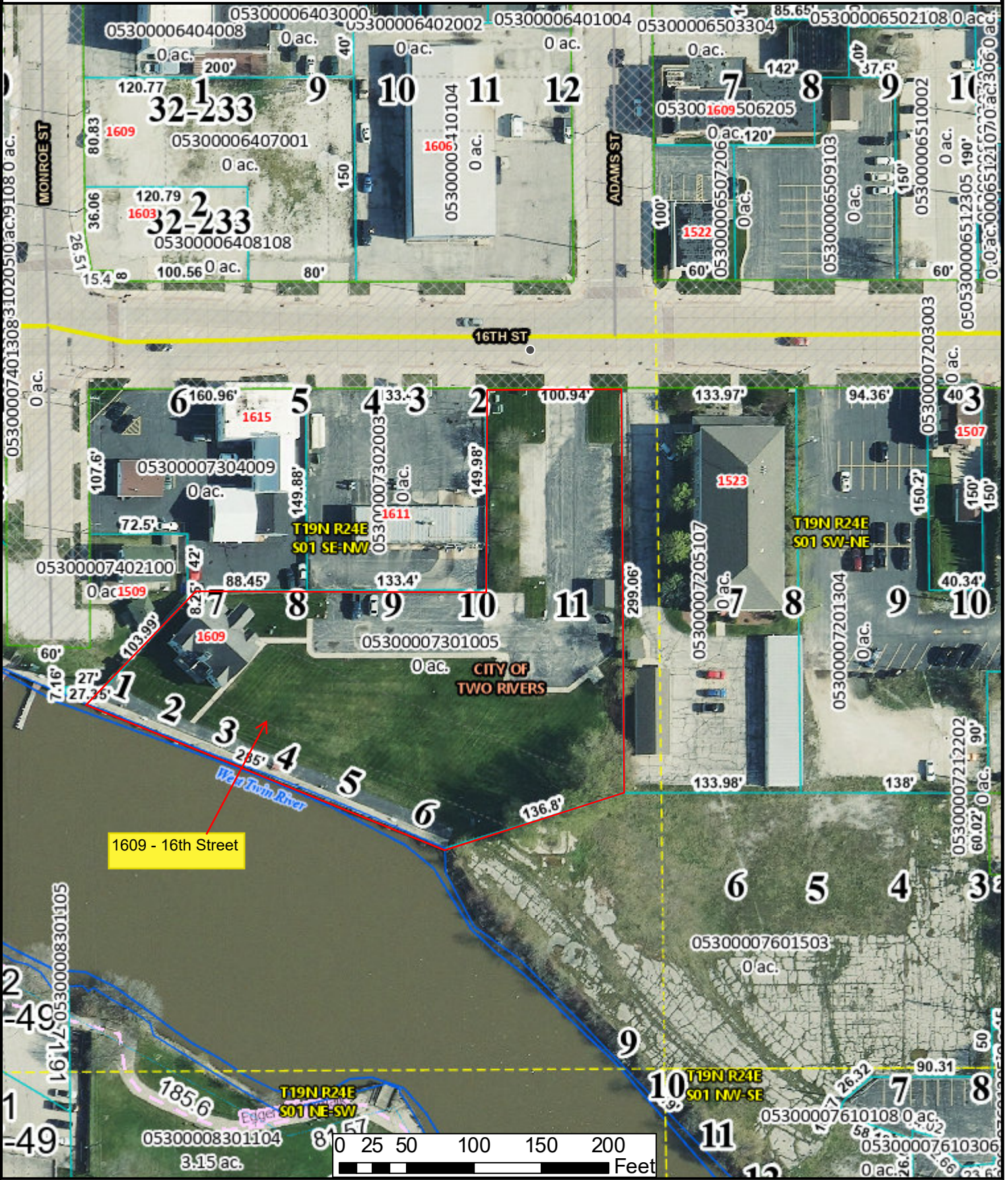
Any subsequent change or addition to an approved plan shall first be submitted for recommendation to the plan commission. The plan commission shall make its recommendation to the city council. If in the city council's opinion, the change or addition is substantial, keeping in mind how substantial is defined below, the city council shall call for a public hearing on such proposed change or addition. Without limitation to the city council's right to determine any other substantial change, a change may be construed to be "substantial" if it results in any of the following:

- A. An increase in density.
- B. An increase in traffic congestion.
- C. Creation of service problems.
- D. Change in project design, architecture, or aesthetics.



Manitowoc County Parcel Viewer

Section 3, Item F.



Hello,

I own a property at 1609 16th Street. I would like to build a 26' X 80' garage for my 4 plex. Each tenant would have a 20' X 26' garage. The building code reads that I need to be 8 feet from the north property line. I would like to build it as close to the property line as you would allow. I have no problem building this garage with block . The reason being I don't want things stored behind the building and it will allow for more parking.

Thank you,

Brian Laurent

DESCRIPTION:

Tract 2 of a Certified Survey Map recorded in Volume 12, Page 163, located in Government Lot 1 of Section 1, Town 19 North, Range 24 East, City of Two Rivers, Manitowoc County, Wisconsin.

Said parcel contains 70,588 Square Feet (1.620 Acres) of land.

SETBACK NOTES:

The lot shown hereon is subject to an 8 foot building setback from the interior side yard and 35 feet from the ordinary high water mark.

SURVEY NOTES:

This survey is based on existing monumentation that is believed to be original to the Certified Survey Map recorded in volume 12, page 163.

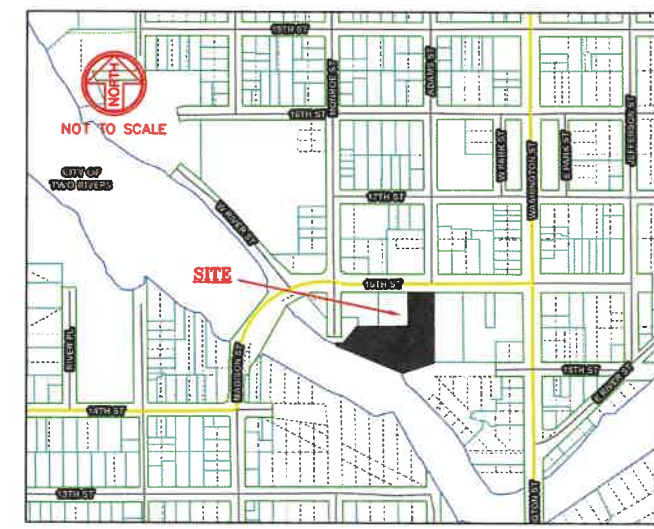
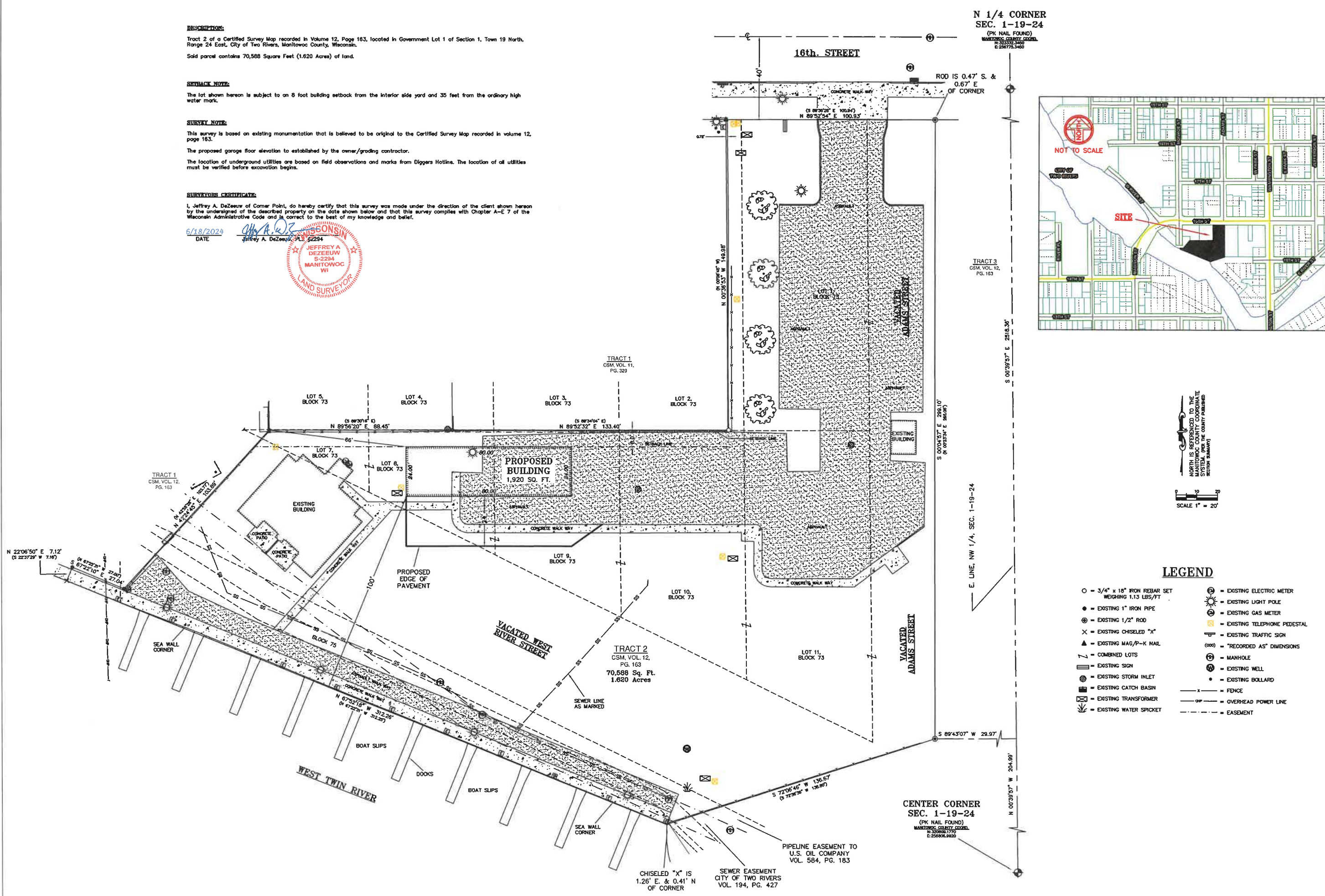
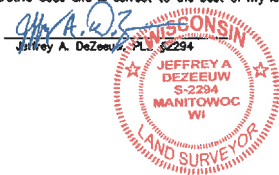
The proposed garage floor elevation to be established by the owner/grading contractor.

The location of underground utilities are based on field observations and marks from Diggers Hotline. The location of all utilities must be verified before excavation begins.

SURVEYORS CERTIFICATE:

I, Jeffrey A. DeZeeuw of Corner Point, do hereby certify that this survey was made under the direction of the client shown hereon by the undersigned of the described property on the date shown below and that this survey complies with Chapter A-7 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

6/18/2024
DATE



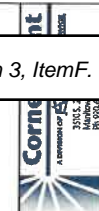
LEGEND

○ = 3/4" x 18" IRON REBAR SET WEIGHING 1.13 LBS/FT	⊕ = EXISTING ELECTRIC METER
● = EXISTING 1" IRON PIPE	☀ = EXISTING LIGHT POLE
⊙ = EXISTING 1/2" ROD	⊗ = EXISTING GAS METER
X = EXISTING CHISELED "X"	⊞ = EXISTING TELEPHONE PESTAL
▲ = EXISTING MAG/P-K NAIL	⊠ = EXISTING TRAFFIC SIGN
∟ = COMBINED LOTS	(0000) = "RECORDED AS" DIMENSIONS
▭ = EXISTING SIGN	⊕ = MANHOLE
⊙ = EXISTING STORM INLET	⊕ = EXISTING WELL
⊙ = EXISTING CATCH BASIN	● = EXISTING BOLLARD
⊞ = EXISTING TRANSFORMER	—X— = FENCE
⊙ = EXISTING WATER SPOCKET	—OP— = OVERHEAD POWER LINE
	- - - - - = EASEMENT

SITE LAYOUT
 TRACT 2 OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 12, PAGE 163, LOCATED IN GOVERNMENT LOT 2 OF SECTION 1, TOWN 19 NORTH, RANGE 24 EAST, CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

FIELD WORK COMPLETION DATE: 6/4/2024
 DRAWN BY: JAD/FILE
 DATE: 6/18/2024
 NOTARY LAURENT/SH18024
 SCALE: 1" = 20'
 PAGE NO. 41 OF 1

KEITH LAURENT
 3612 MIRRO DR.
 MANITOWOC, WI 54220



DESCRIPTION:

Tract 2 of a Certified Survey Map recorded in Volume 12, Page 163, located in Government Lot 1 of Section 1, Town 19 North, Range 24 East, City of Two Rivers, Manitowoc County, Wisconsin.
 Sold parcel contains 70,588 Square Feet (1.620 Acres) of land.

RETRACT NOTE:

The lot shown hereon is subject to an 8 foot building setback from the interior side yard and 35 feet from the ordinary high water mark.

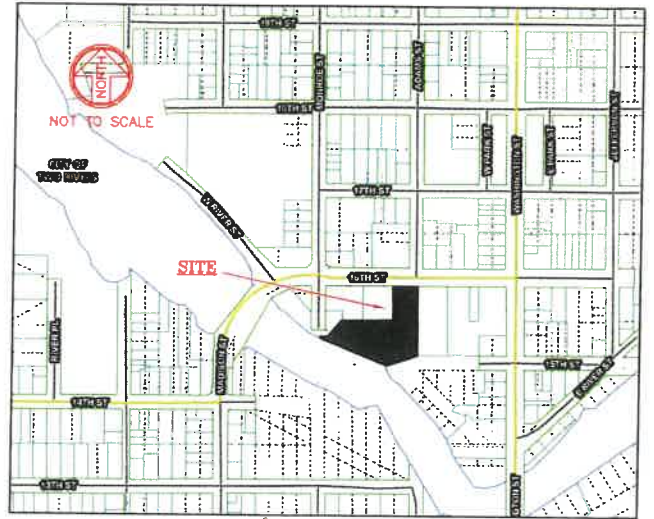
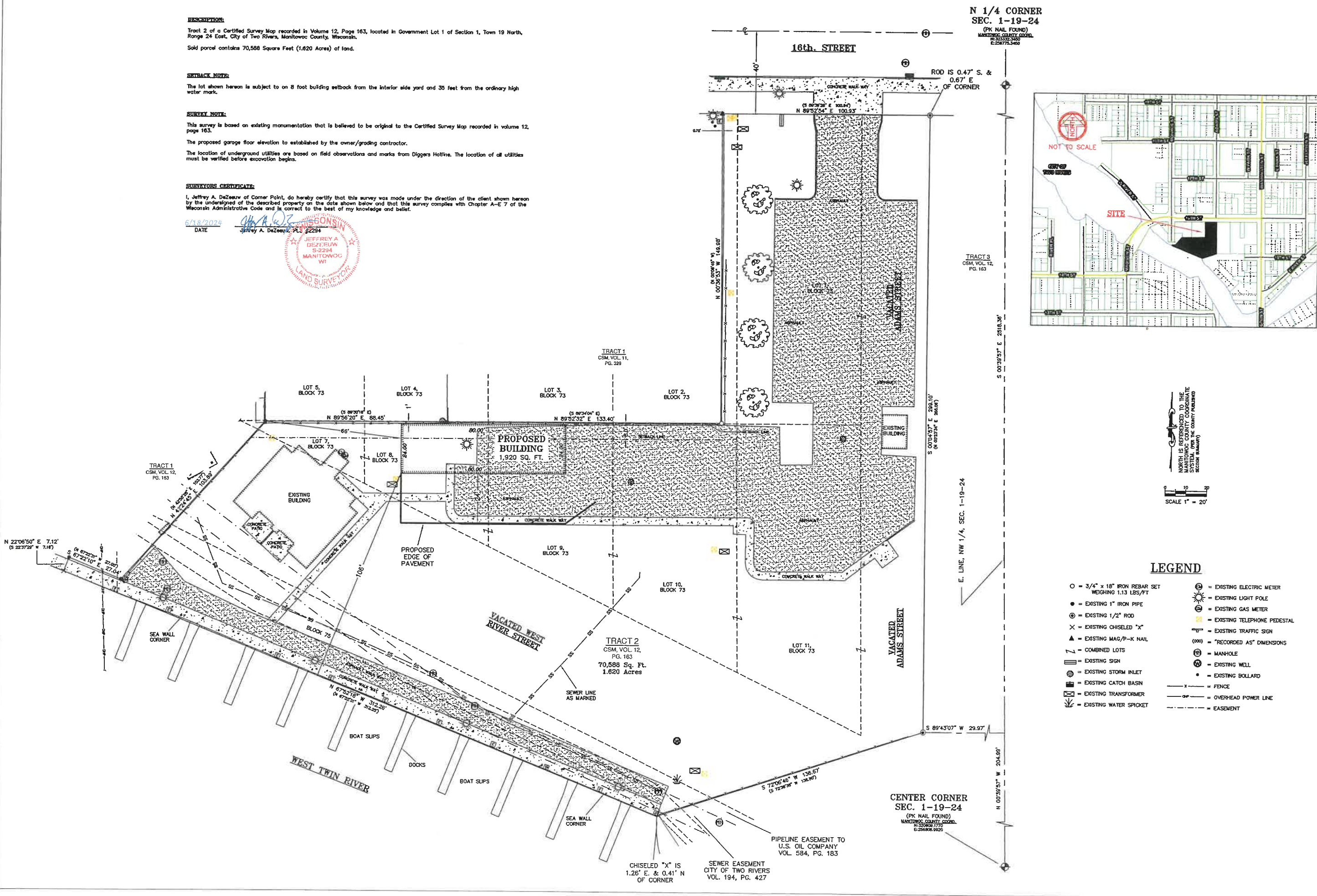
SURVEY NOTE:

This survey is based on existing monumentation that is believed to be original to the Certified Survey Map recorded in volume 12, page 163.
 The proposed garage floor elevation to be established by the owner/grading contractor.
 The location of underground utilities are based on field observations and marks from Diggers Hotline. The location of all utilities must be verified before excavation begins.

SURVEYORS CERTIFICATE:

I, Jeffrey A. DeZeeuw of Corner Point, do hereby certify that this survey was made under the direction of the client shown hereon by the undersigned of the described property on the date shown below and that this survey complies with Chapter A-E 7 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

6/18/2024
 DATE
 JEFFREY A. DEZEEUW
 S-2234
 MANITOWOC
 WI
 LAND SURVEYOR



LEGEND

- = 3/4" x 18" IRON REBAR SET WEIGHING 1.13 LBS/FT
- = EXISTING 1" IRON PIPE
- ⊙ = EXISTING 1/2" ROD
- × = EXISTING CHISELED "X"
- ▲ = EXISTING MAG/P-K NAIL
- ⌌ = COMBINED LOTS
- ▭ = EXISTING SIGN
- ⊕ = EXISTING STORM INLET
- ⊞ = EXISTING CATCH BASIN
- ⊠ = EXISTING TRANSFORMER
- ⊡ = EXISTING WATER SPOCKET
- ⊕ = EXISTING ELECTRIC METER
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- ⊞ = EXISTING TELEPHONE PEDESTAL
- ⊠ = EXISTING TRAFFIC SIGN
- (XXX) = "RECORDED AS" DIMENSIONS
- ⊕ = MANHOLE
- ⊕ = EXISTING WELL
- = EXISTING BOLLARD
- = FENCE
- = OVERHEAD POWER LINE
- - - = EASEMENT

TRACT 2 OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 12, PAGE 163, LOCATED IN GOVERNMENT LOT 2 OF SECTION 1, TOWN 19 NORTH, RANGE 24 EAST, CITY OF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN

FIELD WORK COMPLETION DATE: 6/4/2024
 DRAWN BY: JAD/JLB
 JOB NO.: S819024
 CAD FILE DWT/DTA/PLAURENT/S819024
 SCALE: 1" = 20'
 I OF 1

KEITH LAURENT
 3812 MIRRO DR.
 MANITOWOC, WI 54220

NOTICE OF PUBLIC HEARING

RE: AMEND DEVELOPMENT PLAN FOR NESHOTAH SHORES AT 1609 - 16TH STREET, TWO RIVERS

PLEASE TAKE NOTICE that the City Council of the City of Two Rivers will hold a public hearing at 6:00 PM, Tuesday, January 2, 2018, in the Council Chambers, City Hall, to hear all interested parties in the matter of amending the Development Plan for Neshotah Shores at 1609 - 16th Street.

The Development Plan for Neshotah Shores was originally approved in 1990 which consisted of five 4-unit residential buildings (20 units) and open off-street parking. One building has been constructed along with off-street parking and landscaping. The 1990 Development Plan was re-affirmed in November 2016 subject to any change in regulations since the 1990 Development Plan was approved.

The Developer has submitted a request to amend the approved Development Plan to construct four 4-unit residential buildings with attached garages and an 8-stall detached garage on the premises.

The proposed amended Development Plan is a positive upgrade from the previously approved 1990 Plan because the residential buildings include attached garages and the addition of the detached garage will provide indoor storage of vehicles and/or personal property for the residents of the development.

The subject property is zoned Planned Unit Development District and contains 1.62 acres of land, more or less. The location of the four proposed buildings and the detached garage is shown on the following sketch.

Additional information regarding this matter is available from the Inspections Department, City Hall.

Dated December 19, 2017

(signed) Kim M. Graves
City Clerk

(signed) Vicky L. Berg
Zoning Administrator

Published as a legal display ad
December 20th and 26th, 2017

**PUBLISHED BY AUTHORITY OF THE CITY COUNCIL
OF THE CITY OF TWO RIVERS, WISCONSIN**

RESOLUTION

To revise the approved Development Plan for Neshotah Shores Planned Unit Development (PUD), related to architectural changes to include attached garages and the addition of an 8-stall detached garage

WHEREAS, Southpier, LLC has requested that the Plan for Neshotah Shores located at 1609 - 16th Street be revised to allow for the construction of four 4-unit residential buildings with attached garages and an 8-stall detached garage; and

WHEREAS, the Plan Commission of the City of Two Rivers has recommended amending the approved Development Plan for Neshotah Shores, zoned Planned Unit Development District (PUD), to allow for implementation of this design alternative; and

WHEREAS, a public hearing was held on January 2, 2018 to hear and evaluate public comments on this proposed revision; and

WHEREAS, after review and consideration, the Council finds that said revision:

1. Continues this development’s conformity with the Purpose and General Development Controls for Residential PUD’s, as set forth in the Zoning Code;
2. Continues this PUD’s conformity with adopted policy plans and development guidelines for portion of the City where it is located;
3. Creates additional indoor storage of vehicles and/or personal property
4. Does not create traffic congestion or on-street parking problems;
5. Would not be contrary to the purpose and intent of the Municipal Code; and

NOW, THEREFORE, BE IT HEREBY RESOLVED that the Council of the City of Two Rivers does hereby approve the requested revision to the Development Plan for the Neshotah Shores Planned Unit Development, to allow for implementation of this design alternative; and.

BE IT RESOLVED FURTHER, that this Resolution shall take effect upon compliance with all specified conditions, approved plans and specifications.

Dated this 2nd day of January, 2018.

Councilmember

Gregory E. Buckley
City Manager



Tuesday, November 14, 2017

Subject: Neshotah Shores Condominium Narrative

The Neshotah shores condominium development is a planned unit development located on and was approved in 1990. Presently, only one building has been constructed. It is our intention to revive this project and we are requesting a couple modifications to the original approved plans. We are requesting to add attached garages to some of the units based on available land at each unit. The existing number of units remain the same at 20 and. We are also proposing to add a 8 car detached garage in lieu of outside parking. The number of attached garages varies based on each individual building. Please see the attached drawing for each specific size of garage.

This proposal will have 28 exterior parking stalls and 19 enclosed stalls for 47 total parking spaces. The existing site plan had 36,949sf of impervious surface and the proposed plan will have 41,485 sf of impervious surface. The original building footprint was 8,860sf and the proposed footprint would now be 11,939sf.

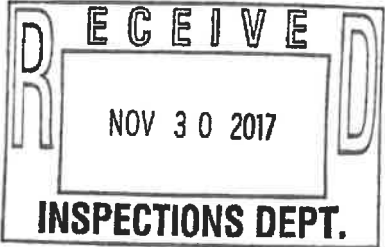
The originally proposed storage/yard building will no longer be constructed. The dumpster location will be moved to the new plans and will be a chainlink fence with privacy lats installed within the chain link.

These buildings will be built as apartments instead of condominiums. We understand that additional agreements will be required if they are turned into condominiums in the future. We are not proposing any addition lights for the parking. There will be a "pac lights" installed on the new garage.

Our first phase would be to build the detached garage building and then follow up with the housing buildings.

Sincerely,

Scott Matula, AIA
Aspire Architecture & Design, LLC



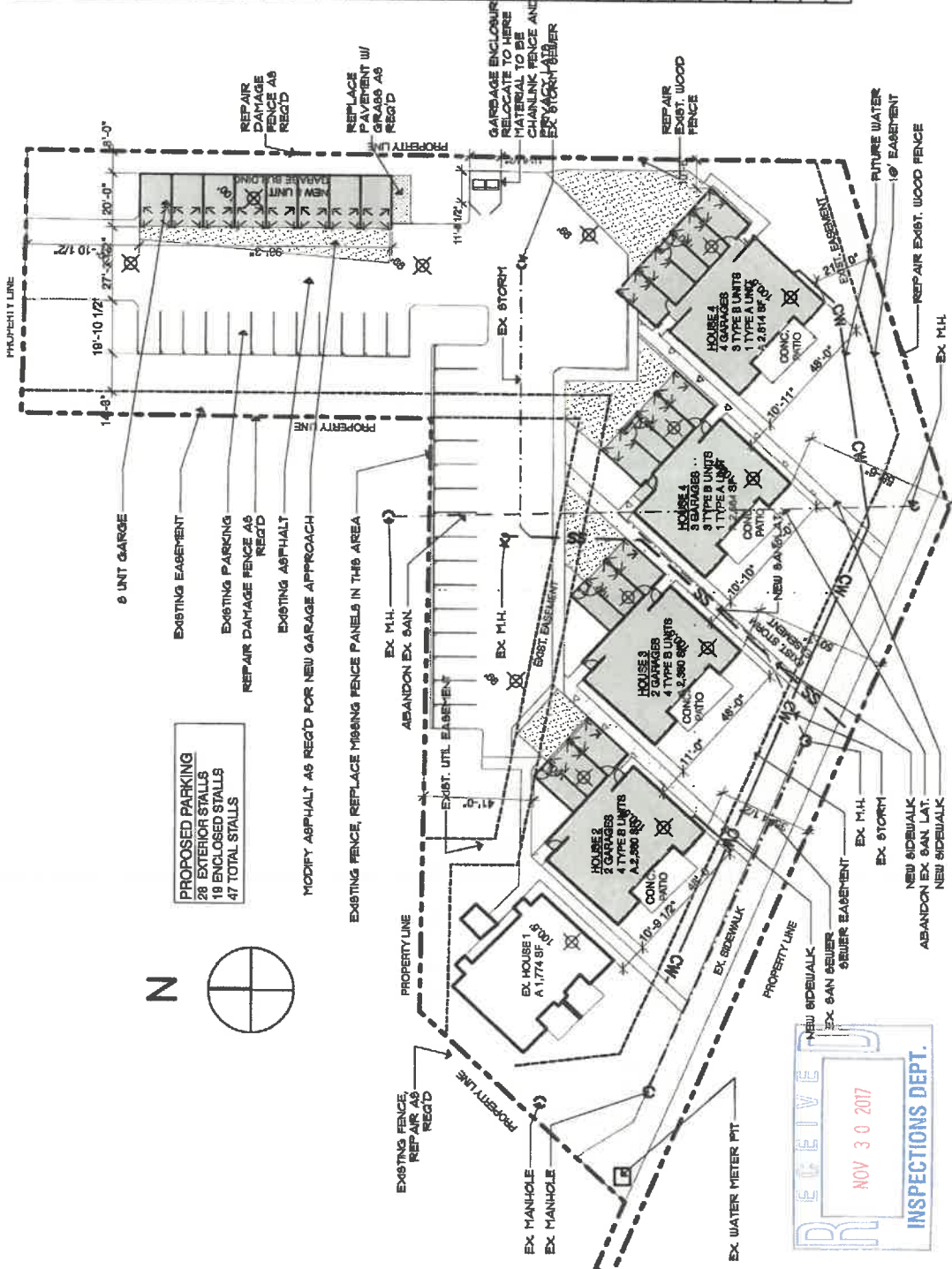


ISSUE 9
REV.
09-002
A1.1

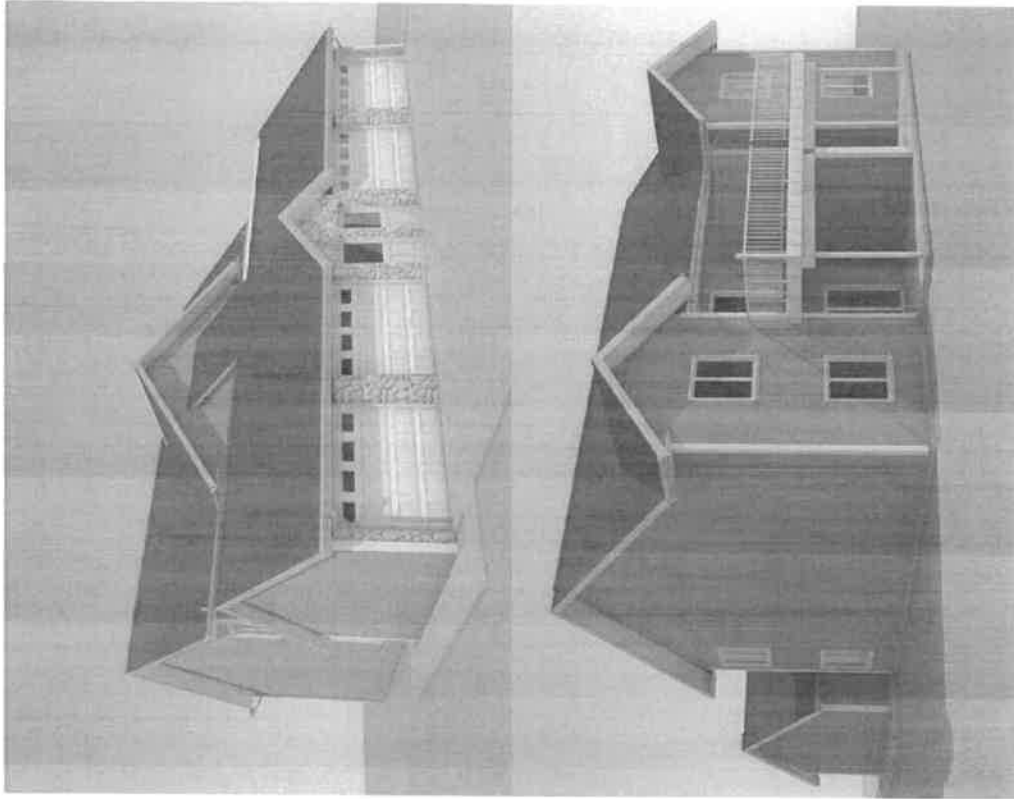
SITE PLAN MODIFICATION FOR:
NESHOTAH SHORES
SIXTEENTH ST. TWO RIVERS WI

ASPIRE ARCHITECTURE & DESIGN, LLC
1418 N. 5th St. Sheboygan, WI. 53081
920-457-4884
scott@aspirearchitects.com
www.aspirearchitects.com

MEANS - PROPOSED	Element ID	Commutational Surface Area of the Element
DRIVEWAY	DRIVEWAY	347.22
DRIVEWAY	DRIVEWAY	453.29
DRIVEWAY	NEW DRIVE	721.70
DRIVEWAY	NEW DRIVEWAY	1,162.57
EX HOUSE	HOUSE 1	2,684.78 sq ft
EX HOUSE	HOUSE 1	87.30
NEW HOUSE	HOUSE 2	1,771.82 sq ft
NEW HOUSE	HOUSE 3	2,576.80
NEW HOUSE	HOUSE 4	2,576.80
NEW HOUSE	HOUSE 5	2,599.00
NEW HOUSE	HOUSE 5	2,806.38
ROAD	EX ROAD	10,158.98 sq ft
ROAD	EX ROAD	18,900.93
ROAD	EX ROAD	18,900.93 sq ft
SIDEWALK	NEW ENTRY	40.57
SIDEWALK	EX ENTRY	100.02
SIDEWALK	NEW SIDEWALK	125.26
SIDEWALK	EX PATIO	256.19
SIDEWALK	EX PATIO	270.28
SIDEWALK	EX PATIO	270.28
SIDEWALK	EX PATIO	270.28
SIDEWALK	NEW PATIO	270.28
SIDEWALK	NEW SIDEWALK	542.61
SIDEWALK	NEW SIDEWALK	580.57
SIDEWALK	EX SIDEWALK	694.22
SIDEWALK	NEW SIDEWALK	701.42
SIDEWALK	EX SIDEWALK	721.14
SIDEWALK	EX SIDEWALK	3,126.93
SIDEWALK	EX SIDEWALK	7,970.05 sq ft
SIDEWALK	EX SIDEWALK	41,486.56 sq ft



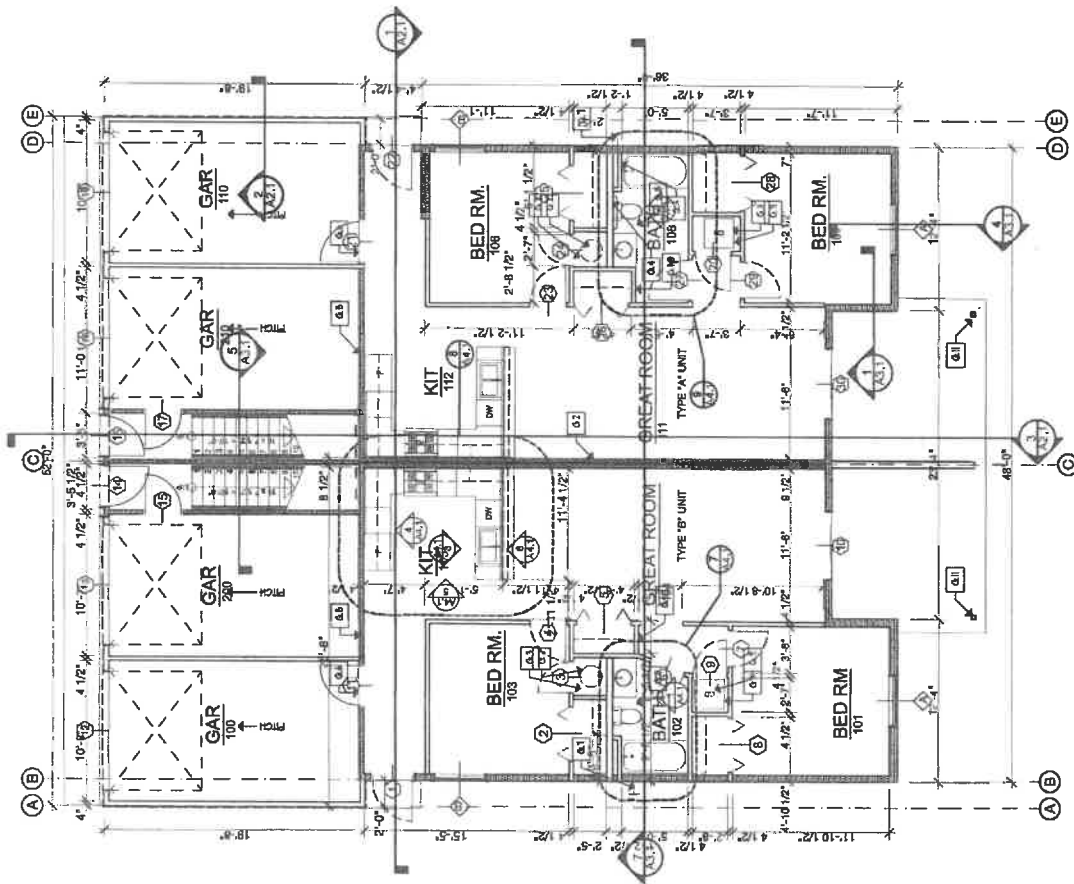
SITE PLAN
SCALE: 1" = 40'



ASPIRE
ARCHITECTURE & DESIGN, LLC

NEW BUILDING for:
NESHOTAH SHORES
TWO RIVERS WI

ASPIRE ARCHITECTURE & DESIGN, LLC Issue
1416 N. 6th St. Sheboygan, WI. 53081 11.15.17
920-467-4884 rev.
scott@aspirearchitects.com
www.aspirearchitects.com 09-002 1

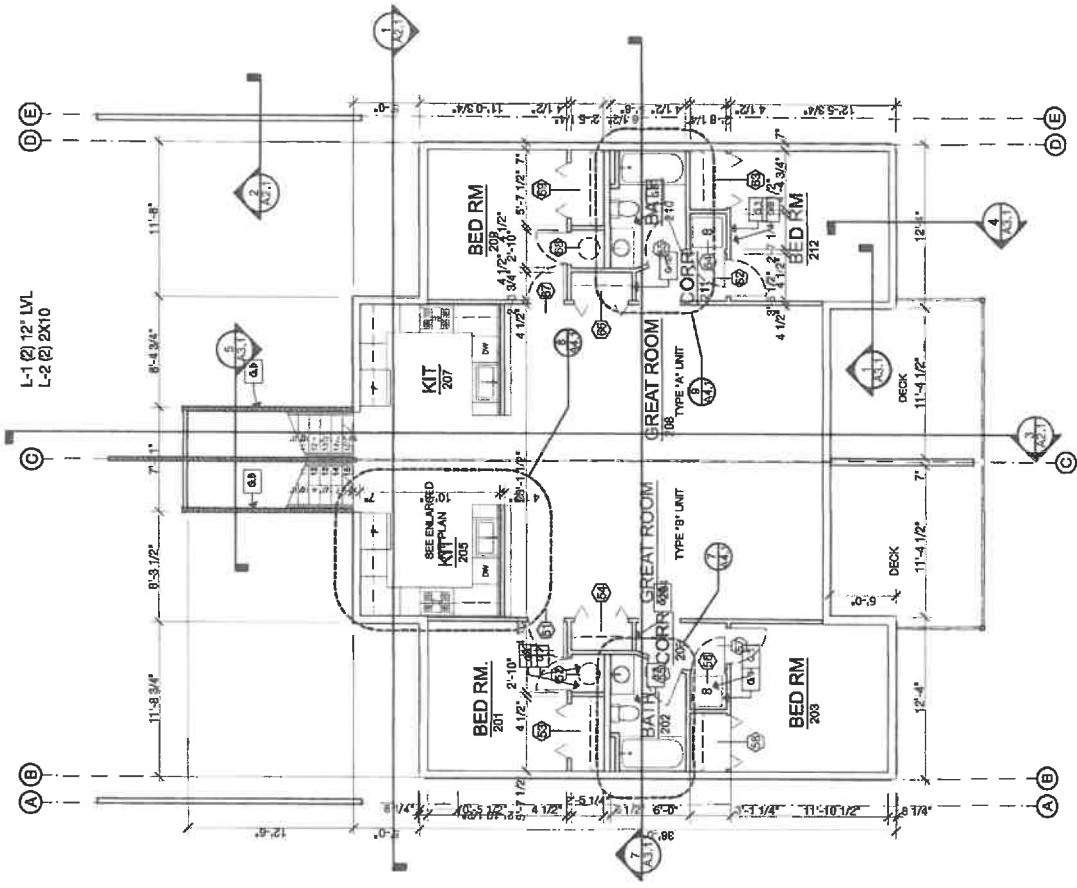


1st Floor Plan
SCALE: 1/8" = 1'-0"

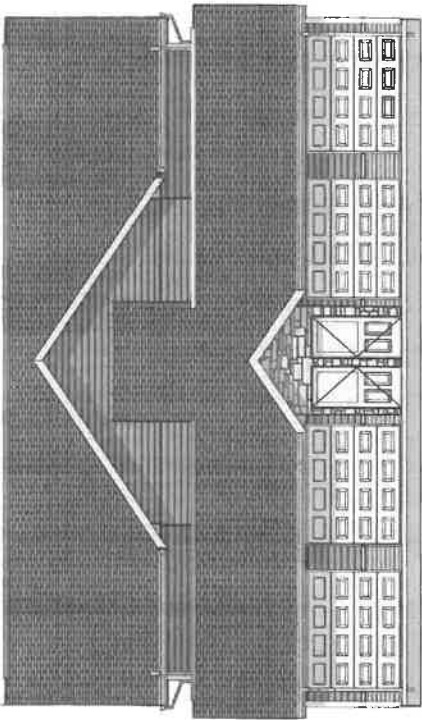
1

ASPIRE
ARCHITECTURE & DESIGN, LLC
NEW BUILDING for:
NESHOTAH SHORES
TWO RIVERS WI

ASPIRE ARCHITECTURE & DESIGN, LLC ISSUE
1416 N. 5th St. Sheboygan, WI 53081 11.15.17
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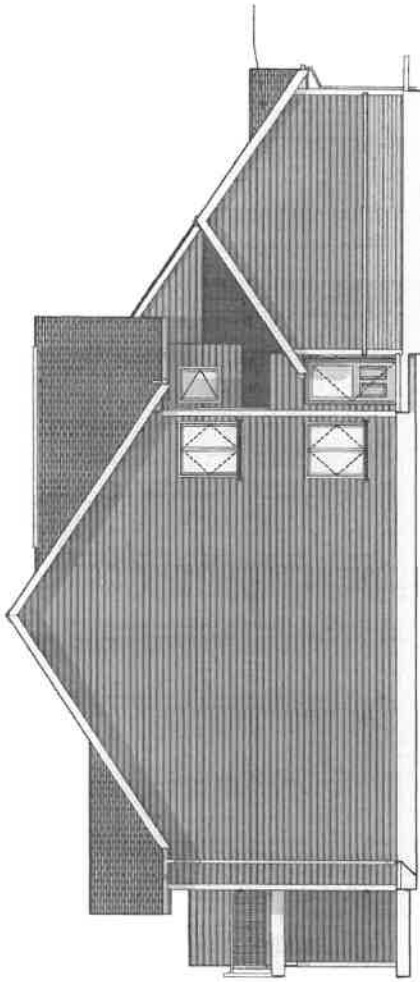
1 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 North Elevation-Presentation

SCALE: 1/8" = 1'-0"

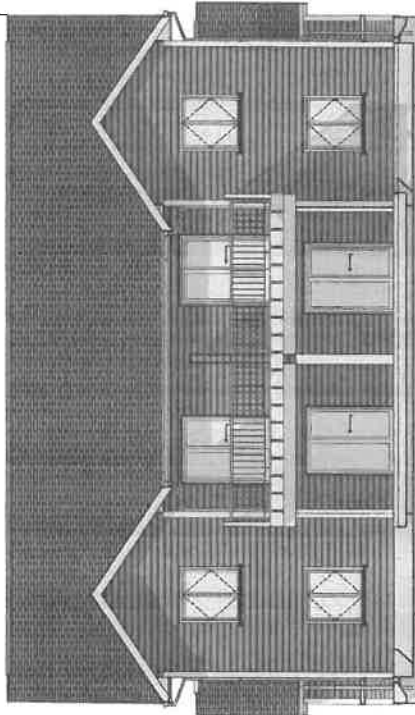
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3 East Elevation-Presentation

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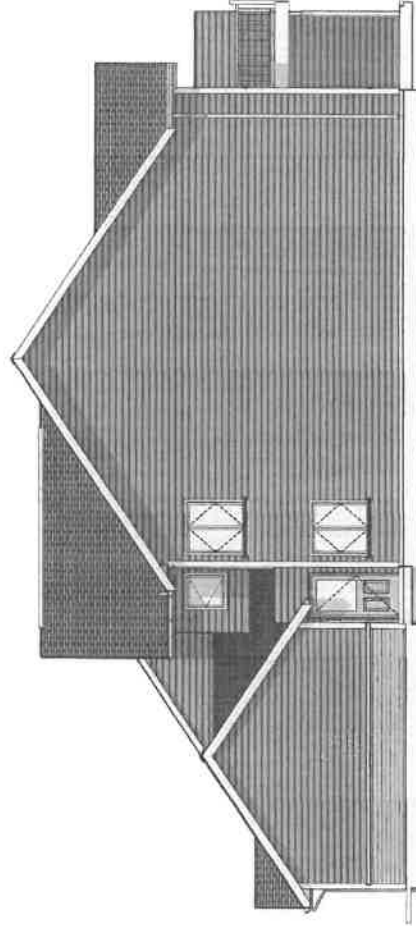
③



2 South Elevation-Presentation

SCALE: 1/8" = 1'-0"

②



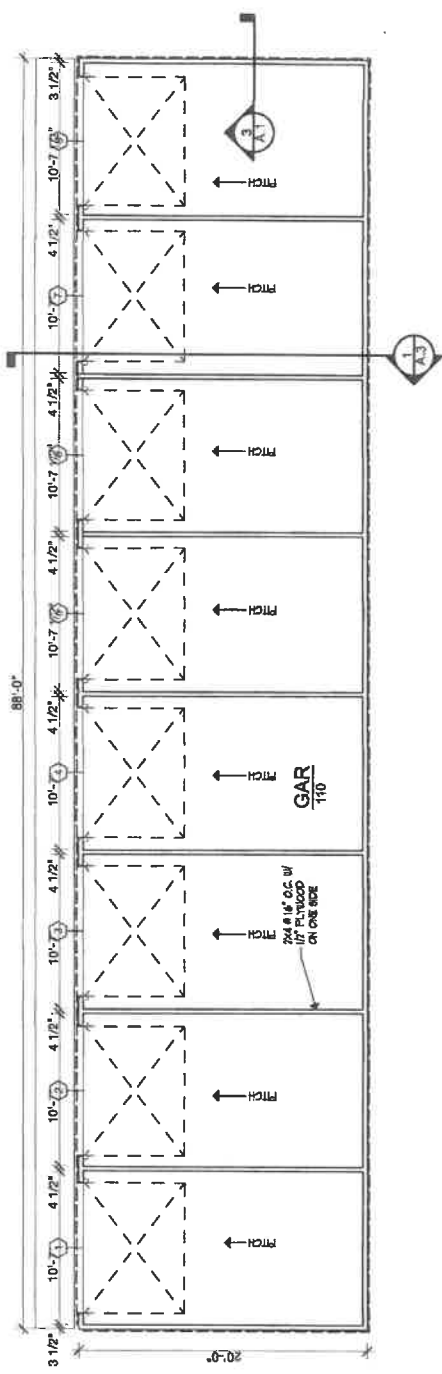
4 West Elevation-Presentation

SCALE: 1/8" = 1'-0"

④

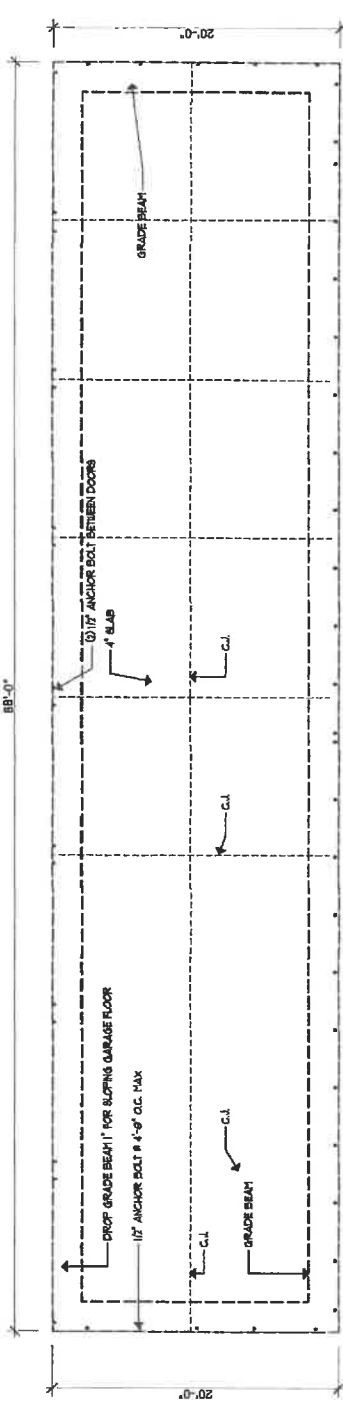
ASPIRE
ARCHITECTURE & DESIGN, LLC
NEW BUILDING for:
NESHOTAH SHORES
TWO RIVERS WI

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1416 N. 5th St. Sheboygan, WI, 53081 11.15.17
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scott@aspirearchitect.com rev.
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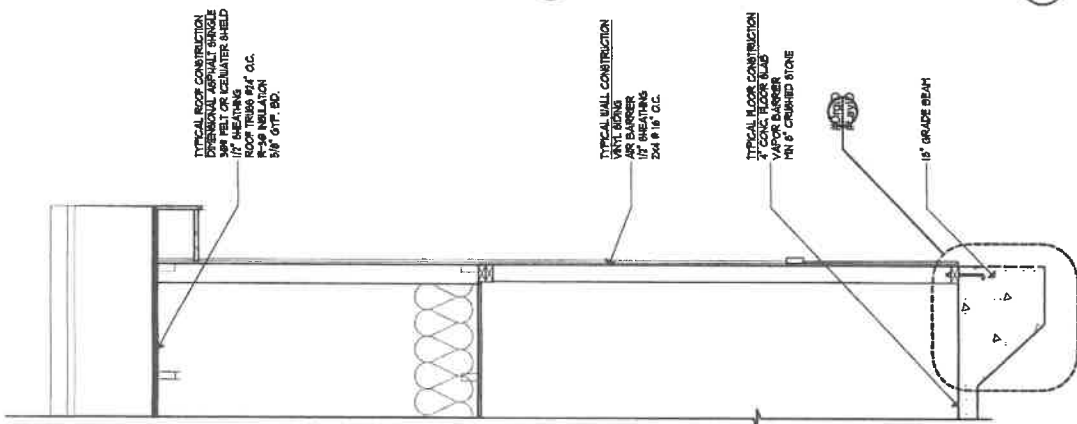
1 1st Floor Plan

SCALE: 1/8" = 1'-0"



2 Foundation Plan

SCALE: 1/8" = 1'-0"



3 SECTION

SCALE: 1/2" = 1'-0"

NEW BUILDING for
ASPIRE
NESHOTAH SHORES
 TWO RIVERS WI

ASPIRE ARCHITECTURE & DESIGN, LLC
 1416 N. 5th St. Sheboygan, WI 53081
 920-467-4884
 scott@aspirearchitects.com
 www.aspirearchitects.com

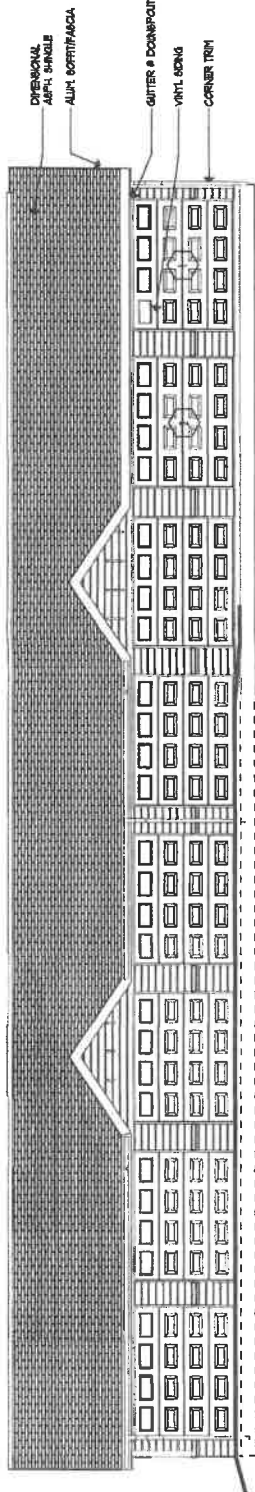
Issue 4.27.17
 rev. 09-002
A.1



NEW BUILDING for:
NESHOTA SHORES
TWO RIVERS WI

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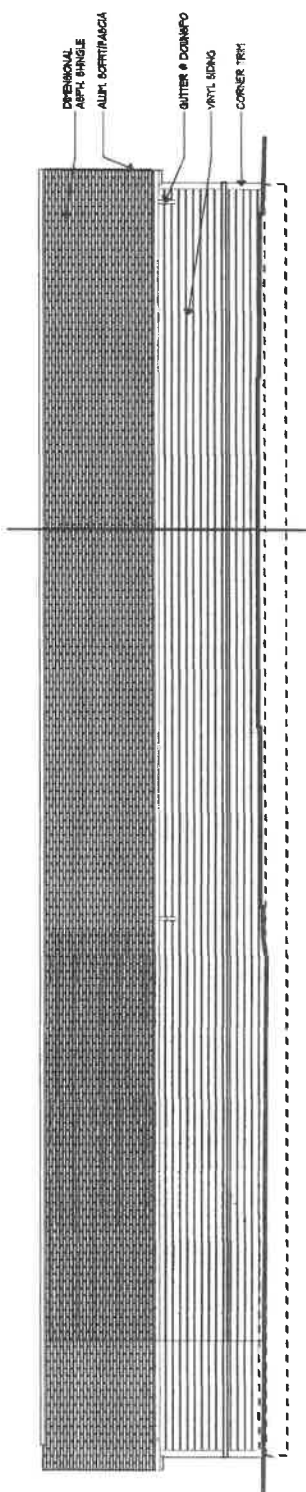
issue 4.27.17
rev. --
09-002
A.2



North Elevation

SCALE: 1/8" = 1'-0"

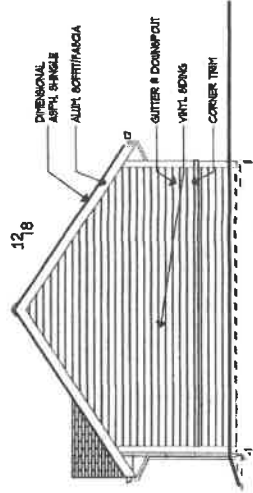
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South Elevation

SCALE: 1/8" = 1'-0"

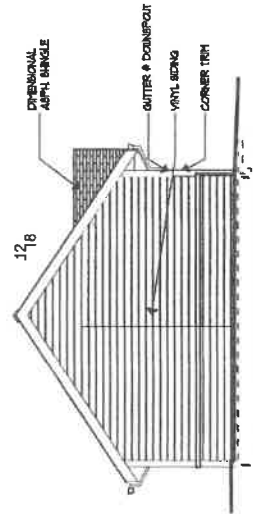
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West Elevation

SCALE: 1/8" = 1'-0"

4



East Elevation

SCALE: 1/8" = 1'-0"

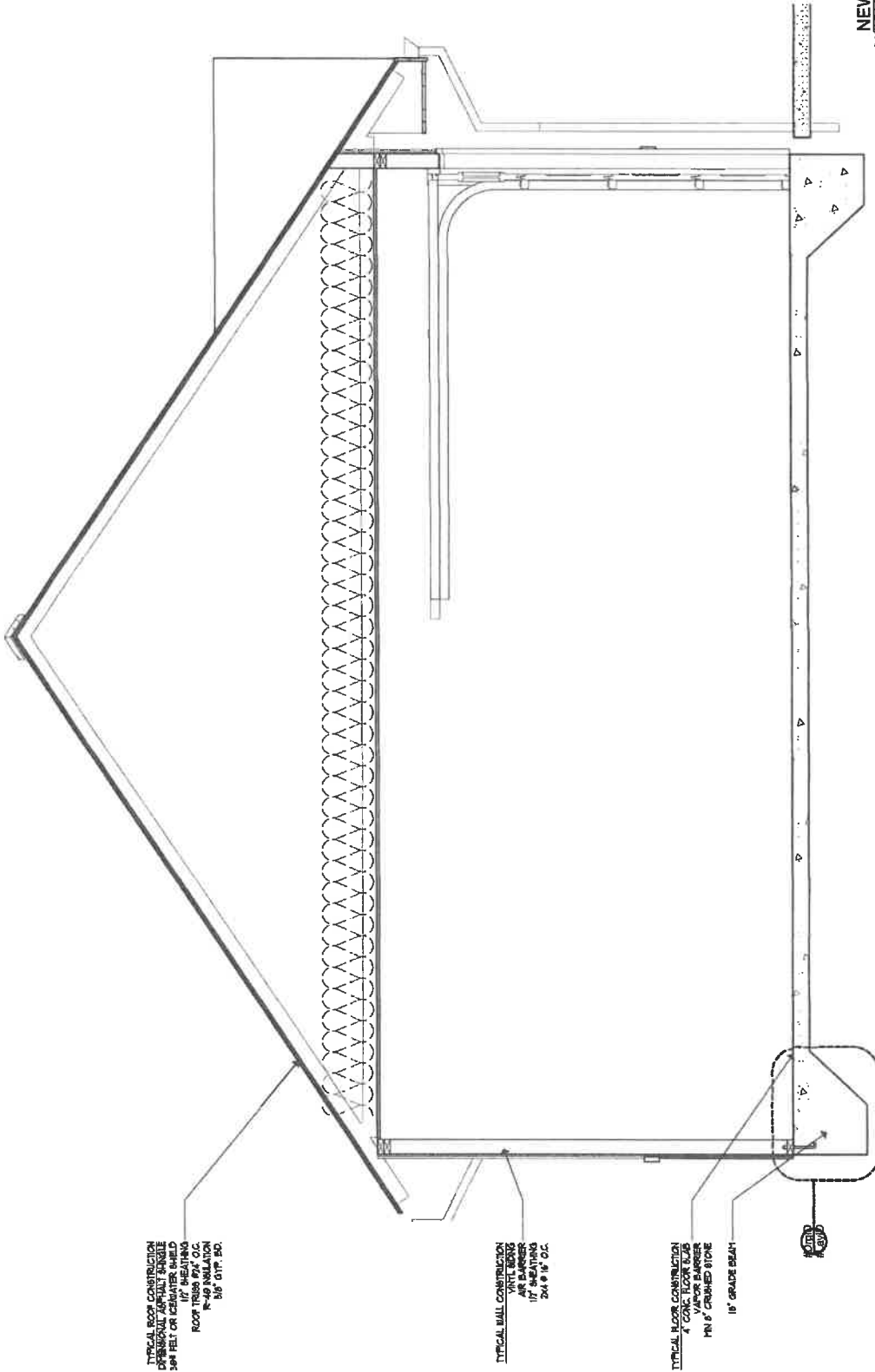
3



issue 4.27.17
rev. --
09-002
A.3

NEW BUILDING for:
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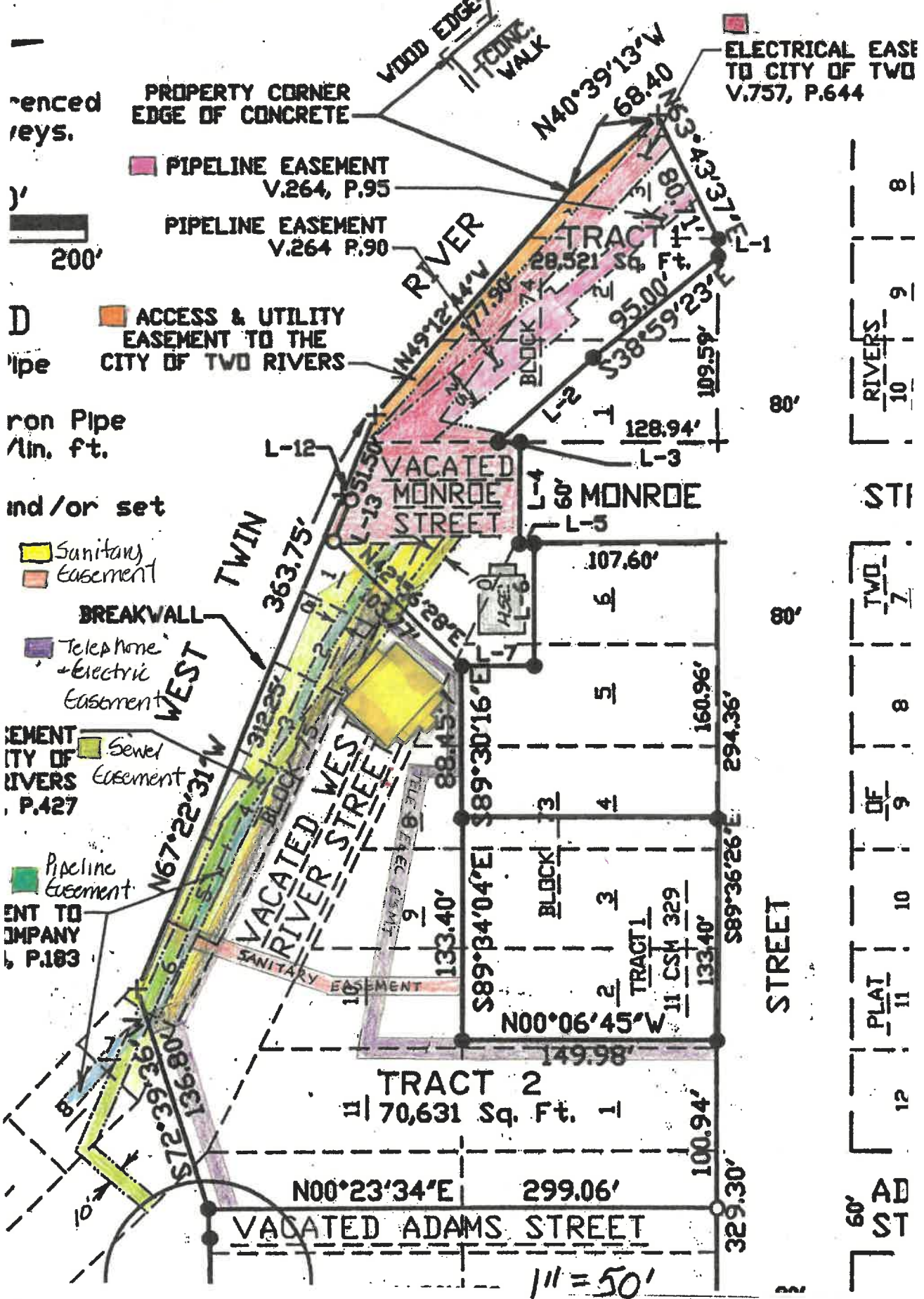
TYPICAL ROOF CONSTRUCTION
EXTERIOR ASPHALT SHINGLE
1" INSULATION
ROOF TRUSS RAY' OC
R-49 INSULATION
5/8" GYP. SD.

TYPICAL WALL CONSTRUCTION
VENT. BARGE
AIR BARRIER
1" INSULATION
2x4 @ 16" OC

TYPICAL FLOOR CONSTRUCTION
4" CONCRETE SLAB
1" INSULATION
PN 8" CRANKED STONE
15" GRADE BEAM

1 SECTION
SCALE: 1/2" = 1'-0"

MONROE STREET, ADAMS STREET, WEST RIVER STREET, ALL PART OF THE ORIGINAL PLAT OF TWO RIVERS IF TWO RIVERS, MANITOWOC COUNTY, WISCONSIN



ARTICLE D. - PLANNED UNIT DEVELOPMENTS

Sec. 10-1-36. - PUD purpose.

This article of the zoning ordinance of the City of Two Rivers is hereby adopted to facilitate the construction of planned unit developments. The planned unit development district and uses created herein are intended to provide opportunity for the construction of quality developments by providing flexible guidelines where strict adherence to zoning codes preclude the use of innovative but sound development principles.

Sec. 10-1-37. - PUD area of applicability.

A planned unit development shall be a separate residential district that is identifiable as a distinct neighborhood and may contain one-, two- or multi-family dwellings. A day-care facility may be a conditional use in accordance with section 10-1-12 of this chapter.

Sec. 10-1-38. - PUD development controls.

A. *Yards.*

- (1) A landscaped yard shall be provided and maintained along all streets and traveled rights-of-way. The yard shall be at least 25 feet in depth along all streets as measured from the street right-of-way. The yard shall extend along the entire frontage(s) of the lot except for driveways and shall be kept clear of all storage, structures and off-street parking.
- (2) *Exceptions.* Any landowner intending to propose a yard of less than the required 25-foot depth must first apply for and receive a variance to that requirement. The plan commission may approve the variance if, in its judgment, the alternative plan is in conformity with the intent and purpose of this section and reasonably related to the established pattern of the neighborhood. Before any such alternative plan shall be approved it shall contain as a minimum a buffer area on both sides of driveways and curb cuts a minimum of 25 feet in depth as measured from street right-of-way and not less than eight feet in width as measured parallel to the driveway.

- B. *Interior side yard.* An interior side yard shall be provided for those parcels in a planned unit development district which border upon other districts; such side yard shall abut the adjacent district and shall be not less than eight feet in width except that, for accessory buildings not exceeding 500 square feet in area, the minimum width of such interior side yard shall be three feet.

C. *Exterior storage.*

- (1) All materials, machinery and equipment shall be stored within a building or fully screened so as not to be visible from adjoining or adjacent lands, except for the following: laundry drying lines and recreational equipment; construction materials, machinery and equipment currently being used on the premises during the course of construction; landscaping equipment and machinery currently being used or intended for use on the premises.
- (2) Major recreational equipment, defined for the purposes of this section as travel trailers, pickup campers or coaches, motorized dwellings, tent trailers, boats and boat trailers, less than eight feet in height above the ground, may be stored in any rear yard except when such yard is adjacent to a street. In addition to the general eight-foot height permitted, minor portions of such equipment not exceeding four square feet in vertical cross-section as viewed from the adjacent lot line is permitted. No such equipment shall be stored out of doors unless it is in condition for safe and effective performance of the function for which it is intended or can be made so at a cost not exceeding the value of the equipment in its existing state; in no event shall any such equipment be so stored for a period of more than 60 days if not in condition for safe and efficient performance of its intended function.

- D. *Refuse.* In all areas all waste material, debris, refuse or garbage shall be kept in an enclosed building or properly contained in a closed container designed for such purposes. Trash and garbage receptacles must be screened from view from off the site and are prohibited in front yards and in the setback area of rear and side yards.
- E. *Landscaping.* Landscaping shall be provided and maintained for all yard areas except those utilized for driveways and off-street parking and shall consist of grass, shrubs and trees suitable for the climatic and soil conditions of the site area.
- F. *Off-street parking.* Off-street parking and loading facilities shall be provided with a site plan recommended by the plan commission and approved by the city council. Such facilities may vary from the requirements in Sec. 10-1-13.
- G. *Screening.* Screening shall be required where any off-street parking area contains more than four parking spaces. Such screening shall conform to the spirit of Sec. 10-1-13.
- H. *Traffic control.* The traffic generated by any use shall be channeled and controlled in a manner that will avoid congestion on the public streets, traffic hazards, and excessive traffic through residential areas, particularly truck traffic. Internal traffic shall be so regulated as to ensure a safe and orderly flow.
- I. *Screening of roof-mounted equipment.*

- (1)

Roof-mounted mechanical equipment installed on buildings constructed within the planned unit development district shall be screened from view. This requirement shall be deemed satisfied when all parts of the roof-mounted equipment are not visible from ground-level observation or at any point on the property, adjacent property, or from adjacent streets.

(2) *Screening required by this section shall comply with the following:*

- (a) The screening shall be permanently attached to the building and shall be capable of withstanding all load requirements as outlined in applicable codes.
- (b) The screening shall be constructed with materials that are architecturally compatible with the building. The use of wood, in whole or in part, as a screening material shall not be considered as being architecturally compatible unless the building is constructed with a wood exterior.
- (c) A parapet wall of sufficient height and as an integral part of the building shall be considered as approved screening.
- (d) All rooftop screening shall be kept in repair or in a proper state of preservation.
- (e) Existing screening which requires major alteration or replacement shall meet the requirements of this section.

Sec. 10-1-39. - PUD application review.

- A. *Review scope.* An application to construct a planned unit development must be reviewed in a manner which is consistent with the procedures set forth in this section and those procedures required by state statute.
- B. *Constitution of review authority.* Planned unit development applications shall be subject to review by the city council based on plan commission recommendations and a public hearing.
- C. *Preapplication conference.*
 - (1) A developer desiring to construct a planned unit development may request a preapplication conference with the plan commission prior to submitting an application.
 - (2) The purpose of this preapplication conference shall be to familiarize both the developer and the plan commission with each other's intentions with respect to the planned unit development. Although a preapplication conference shall not be required, this preliminary meeting between the plan commission and the developer is desirable since it should help clarify many procedural and policy issues.
 - (3)

The developer shall not be required to present any written or graphic materials at the preapplication conference. The plan commission shall approve a PUD at the preapplication conference.

D. *Development proposal.*

- (1) The written and graphic information specified in this section must be submitted for the entire proposed project. A copy of the development proposal shall remain open to the public during the application process and shall be located in the zoning administrator's office.
- (2) The purpose of the development proposal shall be to provide the plan commission with an opportunity for in-depth substantive review of the planned unit development before final designs are developed.
- (3) The development proposal shall include written and graphic materials.
 - (a) Written materials shall include, but not be limited to, the following:
 - [1] Legal description of the total development parcel proposed for development including exact location and a statement of present and proposed ownership.
 - [2] Statement of development concept, including the planning objectives and the character of the development to be achieved through the planned unit development.
 - [3] Development schedule indicating the appropriate date when construction of the planned unit development can be expected to begin and to be completed, including initiation and completion dates of separate stages of a phased development.
 - [4] Statement of intentions regarding the future selling or leasing of all or portions of the planned unit development, such as land area, dwelling units, and public facilities.
 - [5] The impact of the development on existing city services outside the development.
 - (b) Quantitative data, including:
 - [1] Parcel size.
 - [2] Proposed lot coverage of structures.
 - [3] Total amount of usable open space, both private and public.
 - [4] Total number and type of dwelling units by number of bedrooms.
 - [5] Approximate gross residential densities.

- [6] Number of parking spaces to be provided.
 - [7] Total length of streets to be conveyed to the city government.
 - [8] Total length of streets to be held as private ways within the development.
 - [9] Description of type of other public works to be conveyed to the city government.
 - [10] Number and types of public facilities.
- (c) Graphic materials shall include, but not be limited to, the following:
- [1] Map of existing site conditions, including contours, watercourses, floodplains, unique natural features, existing vegetation, existing buildings.
 - [2] Existing and proposed lot lines.
 - [3] Location and size of gross floor area of all existing and proposed buildings, structures, and other improvements including maximum heights and types of dwelling units.
 - [4] Location and size in square feet of all usable open space and areas to be conveyed, dedicated or reserved as common open spaces and recreation areas.
 - [5] The existing and proposed circulation, including off-street parking areas, service areas, loading areas, and all points of access to existing public rights-of-way.
 - [6] Proposed pedestrian circulation system.
 - [7] Existing and proposed utility systems, including sanitary sewers, storm sewers, water and gas lines, and utility easements.
 - [8] Landscape plan indicating the treatment of materials used for private and common open spaces.
 - [9] Location of trash and garbage receptacles and type of screening.
 - [10] Proposed treatment of the perimeter of the development, including materials and techniques used, such as screens, fences, and walls.
- (d) Approval of the development proposal shall be granted by the city council upon the recommendation of the plan commission and following a public hearing where the development proposal:
- [1] Conforms with the general development controls set forth in this section.
 - [2]

Conforms with adopted policy plans or development guidelines for the portion of the city in which the planned unit development is located.

[3] Provides benefits to the city which outweigh its adverse effects; in making this determination, the plan commission shall consider the following:

[a] Quality of site design, including integration of a variety of land uses; building types, and densities; preservation of natural features, compatibility with adjacent land uses, provision and type of open space, provision of other amenities designed to benefit the general public.

[b] Traffic flow and safety.

[c] Adequacy of utilities and other public works facilities.

Editor's note— Amended at time of adoption of Code.

State Law reference— See title 1, general provisions, Ch. 1-1, Art. III.

Sec. 10-1-40. - PUD final development plan.

- A. The final development plan shall be submitted to the zoning administrator. It shall include all of the previously specified data and, in addition, any changes approved by the city council.
- B. In lieu of completing all of the elements in the development proposal, the city manager may accept a bond in an amount equal to the estimated costs for completing the project.

Sec. 10-1-41. - Subsequent change or addition to approved PUD plan.

Any subsequent change or addition to an approved plan shall first be submitted for recommendation to the plan commission. The plan commission shall make its recommendation to the city council. If in the city council's opinion the change or addition is substantial, keeping in mind how substantial is defined below, the city council shall call for a public hearing on such proposed change or addition. Without limitation to the city council's right to determine any other substantial change, a change may be construed to be "substantial" if it results in any of the following:

- A. An increase in density.
- B. An increase in traffic congestion.

- C. Creation of service problems.
- D. Change in project design, architecture, or aesthetics.

Sec. 10-1-42. - Planned Development district (PDD).

A. *Intent.*

- (1) Planned development district regulations are intended to permit greater flexibility and, consequently, more creative and imaginative design for the development of a site than is possible under conventional zoning regulations. It is further intended to promote more economical and efficient use of land while providing a harmonious variety of housing choices, adequate buffering between adjacent uses, and preservation of the natural qualities of open spaces.
- (2) The procedure described herein is designed to give the developer general plan approval before completing all detailed design work while providing the city with assurances that the project will retain the character envisioned at the time of approval.

B. *General provisions.* The plan commission may recommend and the city council may, upon the request of the owners, establish planned development districts which will, over a period of time, tend to promote the maximum benefit from coordinated area site planning by permitting the diversified location of structures and mixed dwelling types and mixed compatible uses. Adequate buffering and preservation of open spaces shall also be provided in a PDD.

C. *Permitted uses.* Permitted and accessory uses in a planned development district shall be the same as those permitted in the underlying existing zoning district in which the PDD is located. If a developer desires uses different than those permitted by the existing zoning, the developer must simultaneously petition for rezoning of the underlying existing zoning to a zoning district which allows the desired use(s).

D. *Mixed uses.* A mix of different uses within a planned development district may be permitted if the plan commission and the city council determine that the mix of uses is compatible and necessary to achieve the objectives of the PDD.

E. *Number of buildings on a lot.* The PDD may allow more than one building on a lot.

F. *Density.* The PDD may permit the transfer of density (dwelling units) from one portion of the subject site to another and will permit the clustering of dwelling units in one or more locations within the total site. However, the density of use shall not exceed the density permitted in the underlying existing zoning district.

G. *Minimum area for a PDD.* Planned development districts are intended to provide flexibility to encourage more creative design for all sizes of sites than would be allowed under conventional zoning. To achieve this goal, there is no minimum area for a PDD.