



HISTORIC PRESERVATION COMMISSION MEETING AGENDA

**Online via Zoom and In Person at
Tumwater Fire Department
Headquarters, Training Room, 311 Israel
Rd. SW, Tumwater, WA 98501**

**Thursday, June 16, 2022
6:30 PM**

1. Call to Order
2. Roll Call
3. Changes to Agenda
4. Approval of Minutes 04/21/2022 - Delayed
5. Public Comment
- [6.](#) Certificate of Appropriateness – Schmidt House
- [7.](#) Crosby House Projects Update
8. Next Meeting Date - 07/21/2022
9. Adjourn

Meeting Information

The public are welcome to attend in person, by telephone or online via Zoom.

Watch Online

<https://us02web.zoom.us/j/83168376015?pwd=VWwyT0VzSzRDT2FNaURieHhERDB0dz09>

Listen by Telephone

Call (253) 215-8782, listen for the prompts and enter the Webinar ID 831 6837 6015 and Passcode 467013.

Public Comment

The public may submit comments by sending an email to sklein@ci.tumwater.wa.us, no later than 4:00 p.m. the day of the meeting. Comments are submitted directly to the Commission members and will not be read individually into the record of the meeting.

Post Meeting

Audio of the meeting will be recorded and later available by request, please email CityClerk@ci.tumwater.wa.us

Accommodations

The City of Tumwater takes pride in ensuring that people with disabilities are able to take part in, and benefit from, the range of public programs, services, and activities offered by the City. To request an accommodation or alternate format of communication, please contact the City Clerk by calling (360)

252-5488 or email CityClerk@ci.tumwater.wa.us. For vision or hearing impaired services, please contact the Washington State Relay Services at 7-1-1 or 1-(800)-833-6384. To contact the City's ADA Coordinator directly, call (360) 754-4128 or email ADACoordinator@ci.tumwater.wa.us.

TO: Historic Preservation Commission
FROM: Chuck Denney, Parks and Recreation Director
DATE: June 16, 2022
SUBJECT: Certificate of Appropriateness – Schmidt House

1) Recommended Action:

Review and consider approval for a Certificate of Appropriateness for improvements to the Schmidt House.

2) Background:

The Olympia Tumwater Foundation is planning to make improvements to the Schmidt House in order to improve ADA access and protect the home and its contents. They have hired Swalling Walk Architects to assist them in planning and permitting these projects. Improvements to the house will include:

- Construction of a new restroom within the existing carport
- A new ADA platform off of the terrace
- Installation of ductless HVAC, fire suppression, and doors in the basement
- Replace existing sidewalk with new, wider walkway

3) Alternatives:

- A. Approve the Certificate of Appropriateness
- B. Approve with Changes
- C. Do not Approve

4) Attachments:

- A. Certificate of Appropriateness Application
- B. Schmidt House Project Plan Set
- C. COA Approval Form
- D. TMC 18.26.040 – Development regulations in the Historic Commercial District



CITY OF TUMWATER
555 ISRAEL RD. SW, TUMWATER, WA 98501
 (360) 754-4180 (360) 754-4126 (FAX)

Email: edd@ci.tumwater.wa.us

**CERTIFICATE OF
 APPROPRIATENESS
 Application**

TUM -	DATE STAMP
RCVD BY	

Application fee: \$110.00

APPLICANT (please print neatly)

NAME OF APPLICANT: Sheila Swalling, Swalling Walk Architects
 APPLICANT'S MAILING ADDRESS (COMPLETE): 525 Columbia St NW Suite 201, Olympia WA 98502
 APPLICANT'S TELEPHONE(S): 360 539-5175 APPLICANT'S E-MAIL: sheila@swallingwalk.com

PROPERTY OWNER

NAME OF PROPERTY OWNER: Olympia Tumwater Foundation
 OWNER'S MAILING ADDRESS (COMPLETE): P.O. Box 4098, Tumwater, WA 98501
 OWNER'S TELEPHONE(S): 360-943-2550 (John Freedman) OWNER'S E-MAIL: jfreedman@olytumfoundation.org

CONTACT PERSON

NAME OF CONTACT: Sheila Swalling, Swalling Walk Architects
 CONTACT'S MAILING ADDRESS (COMPLETE): 525 Columbia St NW Suite 201, Olympia WA 98502
 CONTACT'S TELEPHONE(S): 360-539-5175 CONTACT'S E-MAIL: sheila@swallingwalk.com

PROPERTY INFORMATION

PROPERTY ADDRESS (COMPLETE): 330 Schmidt Place, Tumwater WA 98501
 LOCATION OF PROPERTY (COMMONLY KNOWN AS...): near the historic brewery; referred to as The Schmidt House

ASSESSOR'S PARCEL NUMBER(S): 4570 100 0005
 SECTION / TOWNSHIP / RANGE: S26182W CURRENT ZONE CLASSIFICATION: HC COMPREHENSIVE PLAN DESIGNATION:

GENERAL DESCRIPTION OF PROPOSAL (ATTACH ADDITIONAL SHEETS AND DOCUMENTATION, AS NEEDED): ADA upgrades and minor basement Archives improvement:

1. New ADA restroom within existing carport footprint 2. New ADA platform lift off terrace
 3. Basement: new ductless HVAC, new fire suppression system, select new doors
 CURRENT LAND USE AND IMPROVEMENTS: Historic Schmidt House, new wider sidewalk to new lift

PAST LAND USE OR HISTORY: Schmidt House - residential

FULL LEGAL DESCRIPTION OF SUBJECT PROPERTY (ATTACH ADDITIONAL SHEET IF NECESSARY): East Tumwater PT of Block 10, 11 & 12 & vacated streets adjacent LY WLY of

Recognizing that Tumwater was the first American settlement on Puget Sound, and one of the industrial and commercial centers of Washington territory, the HC (Historic Commercial) zone is created to help re-establish and preserve the built environment of the Tumwater historic district as it once existed, thereby promoting the general welfare of the citizens of Tumwater and the economy of Tumwater by developing and maintaining the city's commerce and vacation-travel industry.

THIS APPLICATION MUST BE ACCOMPANIED BY THE FOLLOWING INFORMATION:

1. A complete list of all property owners and addresses as listed on records of the Thurston County Assessor within a 300-foot radius of the external boundaries of the subject property.
2. A vicinity sketch showing the location of the site and its relationship to surrounding areas, including existing streets, driveways, major physiographic features such as railroads, lakes, streams, shorelines, schools, parks, and other prominent features.

The Council, in passing upon the appropriateness of any said proposal, shall consider among other things, the extent to which the proposed building helps recreate the ambience and landscape of the historic district as it existed from 1845 to 1906, based on the following criteria:

3. A map or maps of the site at a scale not smaller than 1"=100' showing at least, but not limited to, the following items:
 - A. Site boundaries
 - B. Streets abutting the site
 - C. Proposed buildings, including dimensions, identification of types, and the number of dwelling units in each residential type
 - D. Location and dimension of all common open space
 - E. Location, dimension, and design of off-street parking facilities showing their size and locations of internal circulation and parking spaces, and points of ingress to and egress from the site
 - F. Existing buildings and indication of future use or disposition
 - G. Existing and proposed structures, indicating setback lines, including fences, culverts, bridges, roads and streets
 - H. All proposed and existing landscaping, clearly indicating type of vegetation, location of plantings, rate of growth and height maturity
 - I. All existing and proposed easements
 - J. Existing and proposed storm water drainage systems
 - K. Proposed land use and densities
 - L. The location of all loading spaces including, but not limited to, loading platforms and loading docks where trucks will load or unload
4. A written statement for development setting out detailed information concerning the following subjects as they may be involved in the development, including, but not limited to, the following items:
 - A. Proposed ownership method
 - B. Proposed operations and maintenance of the development and landscaping, and
 - C. General timetable for development
5. A floor plan
6. Building elevations
7. Provide copies of historical photographs showing ambience and landscape of the Tumwater historic district as it relates to this specific application request

WE UNDERSTAND AND AGREE WITH THE ABOVE-EXPLAINED NEED FOR THE MAP CHANGE, AND ARE CURRENT OWNERS OF THE PROPERTY WITHIN THE CITY OF TUMWATER.

SIGNATURE

PRINTED NAME

ADDRESS (COMPLETE): _____

SIGNATURE

PRINTED NAME

ADDRESS (COMPLETE): _____

SIGNATURE

PRINTED NAME

ADDRESS (COMPLETE): _____

DATED THIS _____ DAY OF _____, 20_____.

ADJACENT PROPERTY OWNERS LIST

THURSTON COUNTY PROPERTIES ONLY: ADDRESSES ARE TO BE OBTAINED FROM OFFICE OF THURSTON COUNTY ASSESSORS, BUILDING II, FIRST FLOOR

CITY OF OLYMPIA PROPERTIES ONLY: ADJACENT PROPERTY OWNERS LIST SHALL BE PREPARED BY A TITLE COMPANY FOR PARCELS WITHIN THE CITY OF OLYMPIA

PLEASE INCLUDE A LIST OF ALL PROPERTY OWNERS WITHIN 300 FEET OF EXTERIOR BOUNDARY OF THE PROPERTY INVOLVED

JACK SMITH
123 NORTH LANE
TUMWATER WA 98501

SAMPLE

Schmidt House Heritage Grant Upgrades

Attachment B

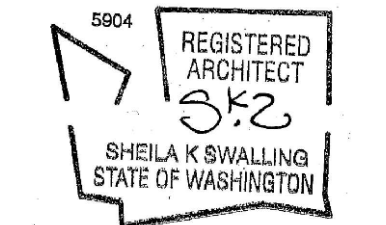
swalling
WALK
ARCHITECTS

525 Columbia St NW, Suite 201
Olympia, Washington 98501

360.539.5175

www.swallingwalk.com

Schmidt House
Heritage Grant Upgrades
330 Schmidt Place
Tumwater, WA 98501



PROJECT No.
22023.1
PARCEL No.

DATE
04-20-2022
REVISIONS

PERMIT
SET

TITLE SHEET,
CODE INFO.,
SITE PLAN &
CONTACTS

T1.0

GENERAL NOTES

1. Contractor shall obtain all permits required by local and state governing authorities.

2. All work shall meet the standards and specifications of the local and state governing authorities. Reference Codes and Standards and amendments shall be the edition most recently adopted or in use in the jurisdiction.

3. Contractor shall verify all dimensions in field and shall coordinate installation of all materials and/or equipment whose dimensions are fixed. In the event that existing conditions are found to vary from assumed conditions, notify Architect immediately for clarification.

4. Contractor shall coordinate the work of all trades required to perform the Work. Where installation and/or connection of equipment is not specified and where such connection and/or installation is required for a complete and operable facility, the Contractor shall be held responsible for such installation and/or connection.

5. All work required by these Contract Documents shall be furnished and installed complete and in operating condition. Contractor shall furnish and install any miscellaneous items that may not be covered in the plans, but are necessary to provide a complete and workable project.

6. Repetitive features not noted on the drawings shall be completely provided as if drawn in full. If certain features are not fully shown or called for on the drawings, their construction shall be of the same character as for similar conditions that are shown or called for.

7. Contractor shall be responsible for all bracing, shoring, and storm water control necessary for safety, environmental protection, and completion of the work.

8. If hazardous materials are found to exist on this project, the Contractor shall cease all work related to the hazardous materials and immediately notify the Owner in writing of the circumstances.

9. Dimensions shown are as follows:
 - To the face of stud at walls
 - To the face of concrete at foundation walls
 - To the center of columns and openings
 - To the top of slab or plywood subfloor (when building stairs, take into account thickness of finished floor material)Dimensions for door and window sizes are approximate. Contractor to verify all such dimensions, and rough openings with manufacturers.

10. Contractor to verify all elevations prior to starting work. Notify Architect of any variations from assumed conditions.
11. Contractor to verify size, location and material required for sanitary sewer, storm and water lines.

12. Verify and confirm all requirements of the Utility Companies unless noted otherwise.

13. Contractor shall be responsible for locating all existing utilities whether shown herein or not and to protect them from damage.

14. Contractor shall bear all expense of repair or replacement of utilities or other property damage by operations in conjunction with the execution of this work.

15. Drawings shall not be scaled.

16. Plans which appear as background on ceiling, plumbing, HVAC, electrical, and site improvement drawings are for the purpose only of illustrating general plan configurations. Such background shall not be used for portions of the work other than that pertaining to the title of each sheet. Refer to the appropriate sheet for each portion of the work.

17. All discrepancies found among drawings and notes shall be reported to the Architect for clarification. Architectural drawings are not intended to perfectly portray all work to be performed. In the event that drawings or notes do not accurately reflect the needs of the work, or the requirements of the Owner, or the requirements of code or jurisdictional authorities, notify the Architect immediately for clarification.

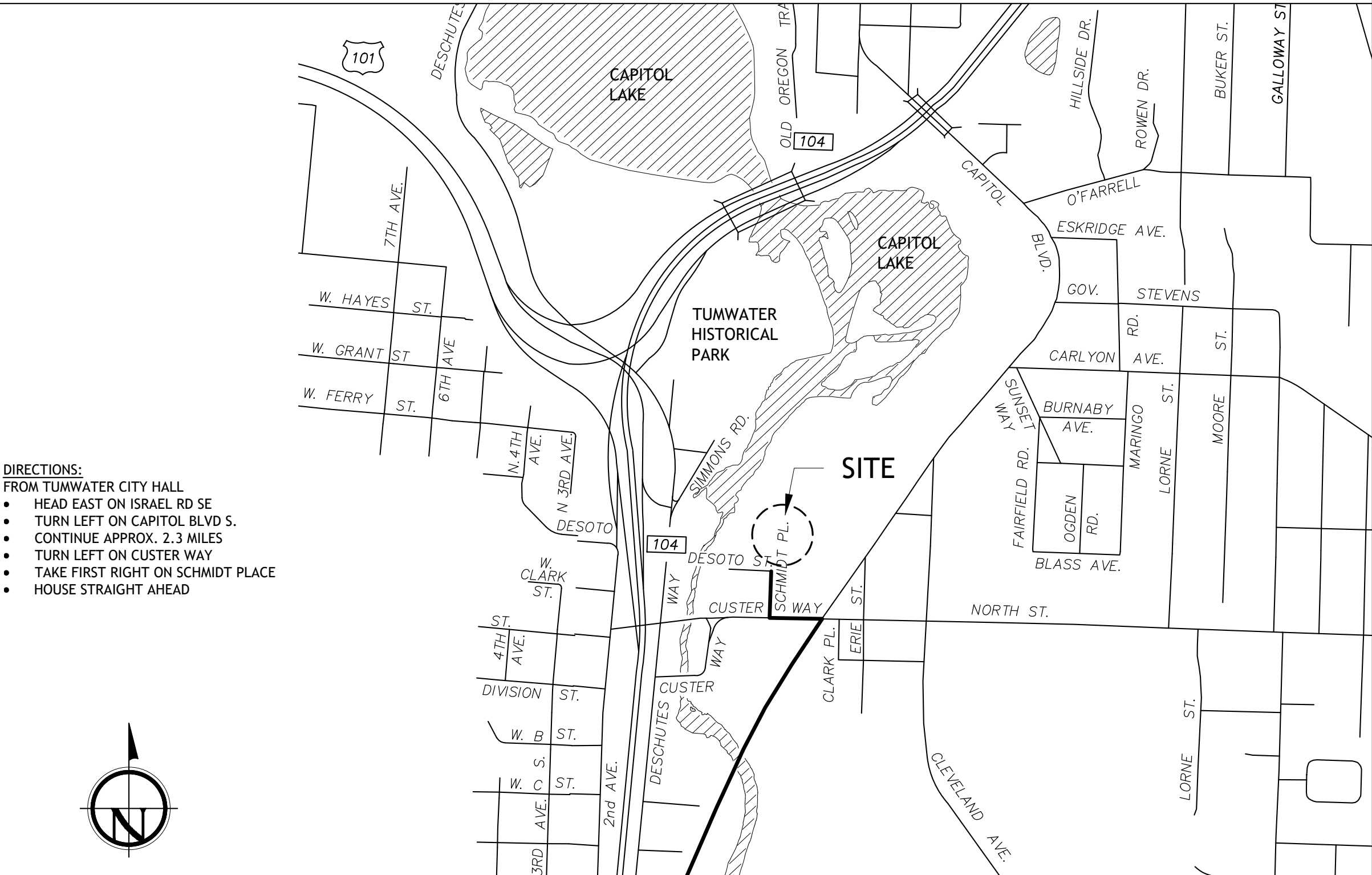
18. No portion of the work requiring a shop drawing or sample submission shall be commenced until the submission has been approved by the Owner's Representative. All such portions of the work shall be in accordance with approved shop drawings and sample. Owner's Representative shall determine which portions of the Work shall require shop drawing submittals.

19. All materials stored on or off the site shall be protected from weather to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.

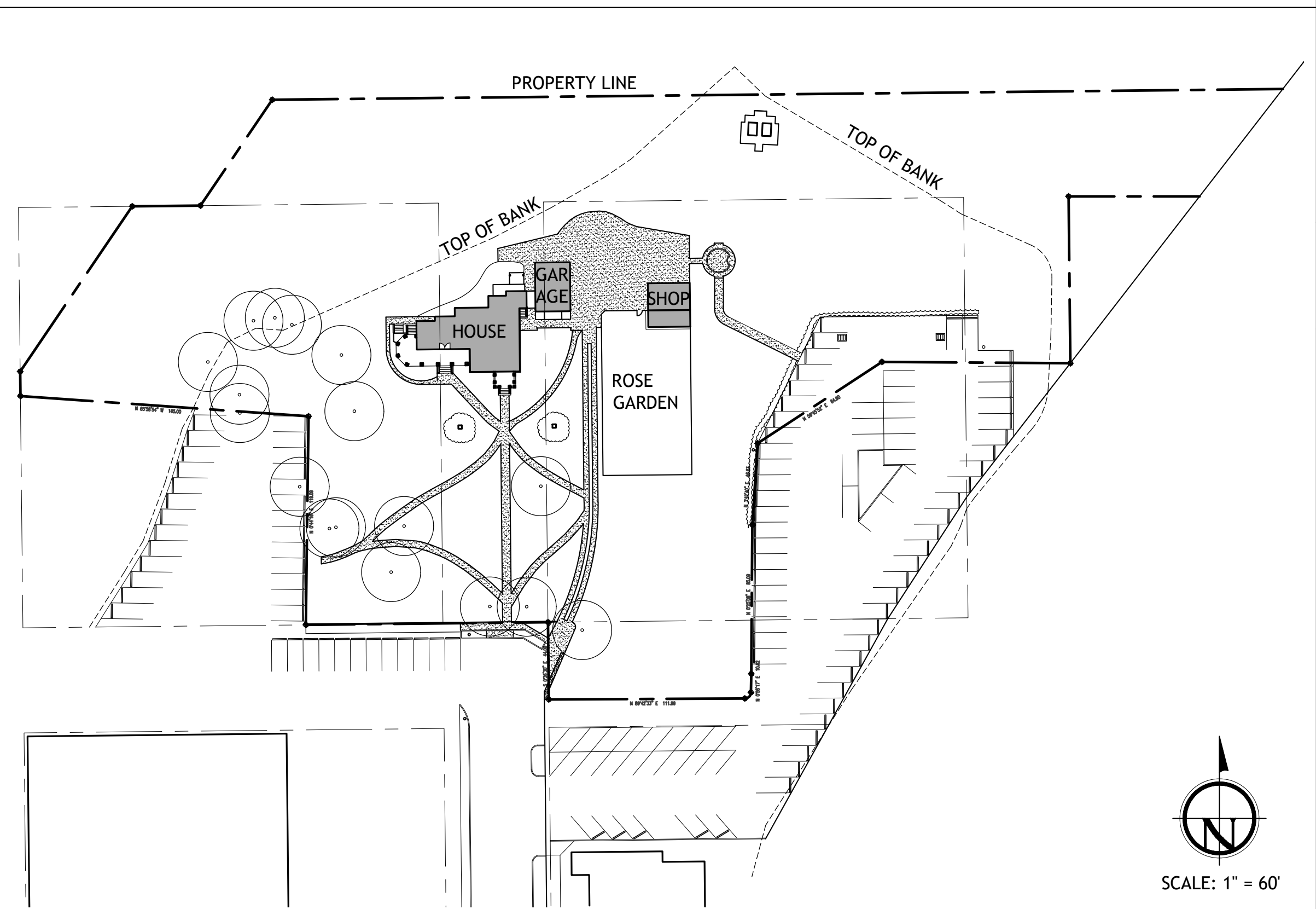
20. Project Modifications: The Architect is not responsible for consequences arising directly or indirectly from the actions of others in connection with the project, including but not limited to changes made in plans, details, materials, or construction techniques made by the Owner, the Contractor, or any other party not working directly for the Architect.

21. Provide backing in wall for all wall mounted equipment / accessories. Provide seismic restraint for all free-standing shelving units.

VICINITY MAP



SITE PLAN



SHEET INDEX

- T1.0 TITLE SHEET, CODE INFO., VICINITY MAP & CONTACTS
- D2.0 BASEMENT DEMOLITION PLAN
- D2.1 FIRST FLOOR DEMOLITION PLAN
- A2.0 BASEMENT PLAN AND DOOR SCHEDULE
- A2.1 FIRST FLOOR PLAN
- A3.0 ADA RESTROOM SECTION, ENLARGED ADA PLAN, ELEVATIONS
- A4.0 DETAILS
- E1.1 LIGHTING PLAN - FIRST FLOOR
- M1.0 HVAC PLANS, MECHANICAL NOTES, EQUIPMENT SCHEDULES
- P1.0 PLUMBING PLANS, PLUMBING NOTES, PLUMBING SCHEDULE

CONTACTS

OWNER:
Olympia Tumwater Foundation
PO Box 4098
Tumwater, WA 98501
Office: 360.943.2550
Contact: John Freedman
jfreedman@olytumfoundation.org

HOUSE COMMITTEE:
Jill Crowson
John Freedman
Karen Johnson
Nic Crowson

FIRE SUPPRESSION:
Knight Fire Protection
9702 Lathrop Industrial Dr SW
Tumwater, WA 98512
Phone: 360.786.8606
Contact: Roger White
roger@knightfire.net

ARCHITECT:
Swalling Walk Architects
525 Columbia St. NW Suite 201
Olympia, WA 98501
Office: (360) 539-5175
Contact: Sheila Swalling or Kara Walk
sheila@swallingwalk.com

GENERAL CONTRACTOR:
FORMA Construction Company
PO Box 11489
Olympia, WA 98508
Contact: Michael Miltimore, Project Manager
Phone: 360.754.5788
Email: Michael.Miltimore@formacc.com
License # FORMACC8780R Exp: 9/19/2023

HVAC & PLUMBING:
Sunset Air
PO Box 8208
Lacey, WA 98509
Phone: 360.923.1244 x116
Contact: Joe Bettridge
JAB@sunsetair.com

BUILDING DEPT. INFO.

- PROJECT DESCRIPTION:**
- ADA restroom addition within existing garage
 - Exterior platform Lift added off terrace
 - Selected remodel at basement archives including:
 - New ductless HVAC
 - New fire suppression system
 - New doors

PROJECT ADDRESS:
330 Schmidt Place
Tumwater, WA 98501

PARCEL #: 4570 100 0005

ZONING: HC, Historic Commercial

EXISTING CONSTRUCTION TYPE:
Type V-B

OCCUPANCY TYPE: B

BUILDING CODE:
2018 International Existing Building Codes as amended by the State of Washington

PROJECT AREAS:

ADA Restroom	81
Platform Lift (exterior)	0
Basement Archives	900
Total Project Area	981 S.F.

EXISTING HOUSE AREAS:

Basement	2,401
1st Floor	1,816
2nd Floor	1,584
3rd Floor	696
Total	5,497 S.F.

Garage 560 S.F.

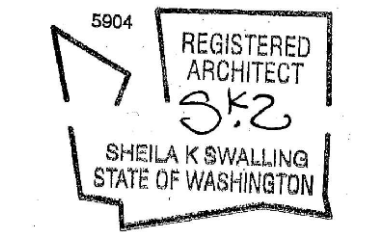
NUMBER OF STORIES:
Existing house: 3 plus basement

PARKING: Existing, no change

DEFERRED SUBMITTALS:
Fire Suppression System

ABBREVIATIONS

+/− PLUS OR MINUS	EJ EXPANSION JOINT	JT JOINT	SA SMOKE ALARM ABOVE
ADJ ADJUSTABLE	EP ELECTRICAL PANEL	LAV LAVATORY	SAF SELF ADHERED FLASHING
AFF ABOVE FINISH FLOOR	EQ EQUAL	LB POUND	SC SOLID CORE
BCT BABY CHANGING TABLE	EQUIP EQUIPMENT	LIN LINEN	SD SOAP DISPENSER
BLT-IN BUILT-IN	EXIST EXISTING	LT LIGHT	SG SAFETY GLAZING
BN BEAM	EXIST'G EXISTING	MC MEDICINE CABINET	SH SINGLE HUNG
BO BOTTOM OF	EXP EXPOSED	MDO MEDIUM DENSITY OVERLAY	SIM SIMILAR
BRM BROOM CLOSET	F FREEZER	MECH MECHANICAL	SF SQUARE FEET
B/W BETWEEN	FD FLOOR DRAIN	MFR MANUFACTURER OR	SN SHAMPOO NICHE
BU BUILT-UP	FE FIRE EXTINGUISHER	MANUFACTURED	SND SANITARY NAPKIN DISPOSAL
CB CUTTING BOARD	FF FACTORY FINISH	MIN MINIMUM	SQ FT SQUARE FEET
CH CEILING HEIGHT	FIO FURNISH & INSTALLED BY OWNER	MW MICROWAVE	SS STAINLESS STEEL
CJ CONTROL JOINT	FIN FINISH	NTS NOT IN CONTRACT	SSD SEE STRUCTURAL DRAWINGS
CM CARBON MONOXIDE ALARM ABOVE	FO FACE OF	NOT TO SCALE	SV SHEET VINYL
CMU CONCRETE MASONRY UNIT	FOIC FURNISHED BY OWNER & INSTALLED BY CONTRACTOR	OC ON CENTER	SYM SYMMETRICAL
CLO CLOSET	FT FOOT OR FEET	OD OVERFLOW DRAIN	T TREAD
COL CLEAN OUT	FV FIELD VERIFY	OH OPPOSITE HAND	TB TOWEL BAR
COLUMN	GA GAUGE	O/ OVER	TBG TONGUE & GROOVE
CJ CONTROL JOINT	GALV GALVANIZED	OPP OPPOSITE	TO TOP OF
CONC CONCRETE	GC GENERAL CONTRACTOR	PKT POCKET DOOR	TPD TOILET PAPER DISPENSER
CPT CARPET	GLB GLU-LAMINATED BEAM	POS POINT OF SALE	TS TUBE STEEL
CSMT CASEMENT	GS GAS STARTER	PR PAIR	TYP TYPICAL
CT CERAMIC TILE	GW GLASS WASHER	PT PRESERVATIVE TREATED	UC UNDER COUNTER
D DRYER OR DEEP	GWB GYPSUM WALLBOARD	PTD PAPER TOWEL DISPENSER	UNO UNLESS NOTED OTHERWISE
DH DOUBLE HUNG	HB HOSE BIB	R RADIUS OR RISER	VG VERTICAL GRAIN
DIM DIMENSION	ICF INSULATED CONCRETE FORM	RD ROOF DRAIN	WD WASHING MACHINE
DN DOWN	INSUL INSULATION	REF REFRIGERATOR	WOM WALK-OFF MAT
DS DOWNSPOUT		RL RAIN LEADER	WH WATER HEATER
DW DISHWASHER		WR WASTE RECEPTACLE	WSCT WAINSCOT



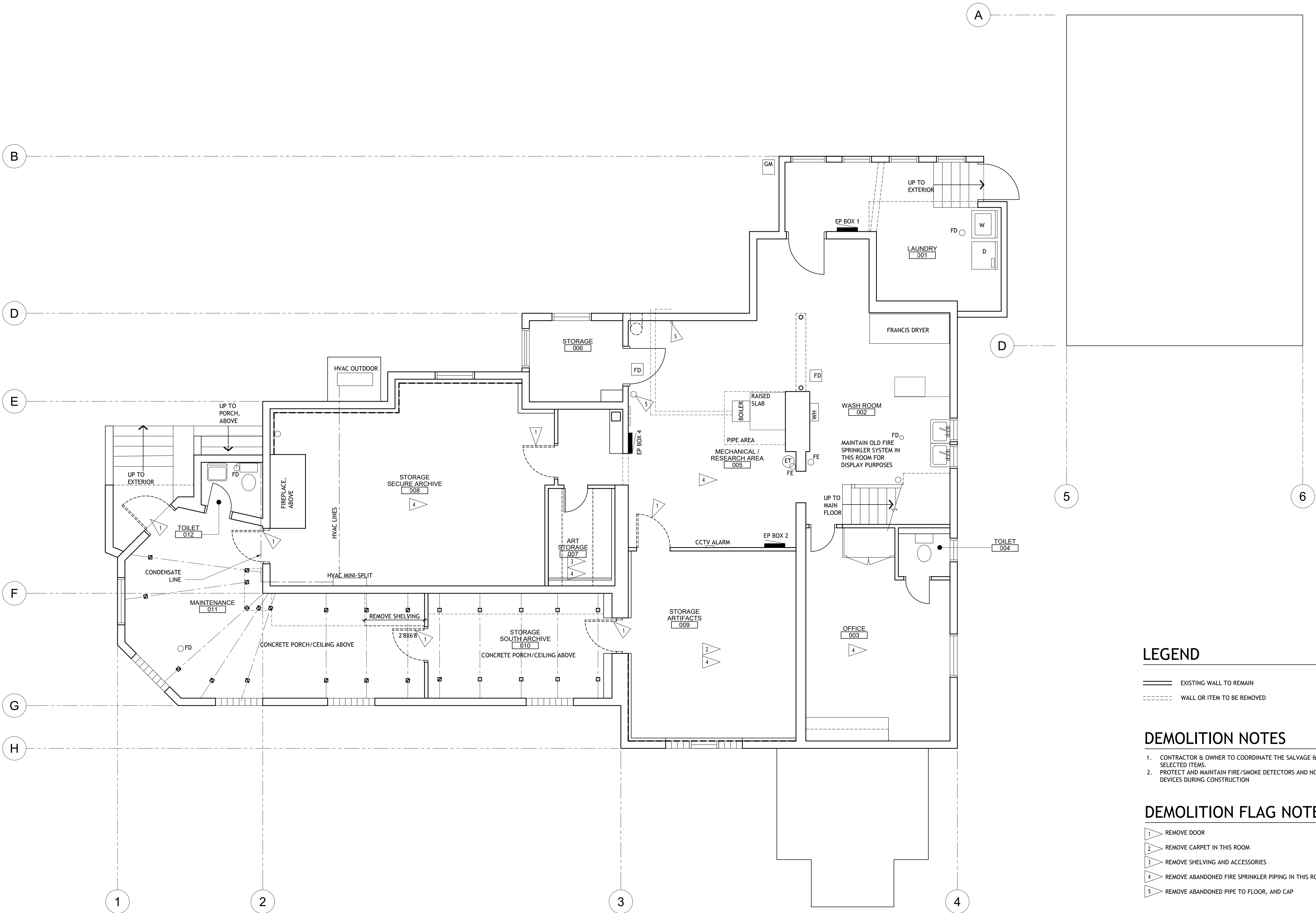
PROJECT No.
22023.1
PARCEL No.

DATE
04-20-2022
REVISIONS

PERMIT
SET

BASEMENT
DEMOLITION
PLAN

D2.0



LEGEND

- EXISTING WALL TO REMAIN
- WALL OR ITEM TO BE REMOVED

DEMOLITION NOTES

- CONTRACTOR & OWNER TO COORDINATE THE SALVAGE & REUSE OWNER SELECTED ITEMS.
- PROTECT AND MAINTAIN FIRE/SMOKE DETECTORS AND NOTIFICATION DEVICES DURING CONSTRUCTION

DEMOLITION FLAG NOTES

- 1 REMOVE DOOR
- 2 REMOVE CARPET IN THIS ROOM
- 3 REMOVE SHELVING AND ACCESSORIES
- 4 REMOVE ABANDONED FIRE SPRINKLER PIPING IN THIS ROOM
- 5 REMOVE ABANDONED PIPE TO FLOOR, AND CAP



BASEMENT DEMOLITION PLAN

1/4"=1'-0"

swalling
WALK
ARCHITECTS

525 Columbia St NW, Suite 201
Olympia, Washington 98501

360.539.5175

www.swallingwalk.com

Schmidt House
Heritage Grant Upgrades
330 Schmidt Place
Tumwater, WA 98501

5904
REGISTERED
ARCHITECT
SHEILA K SWALLING
STATE OF WASHINGTON

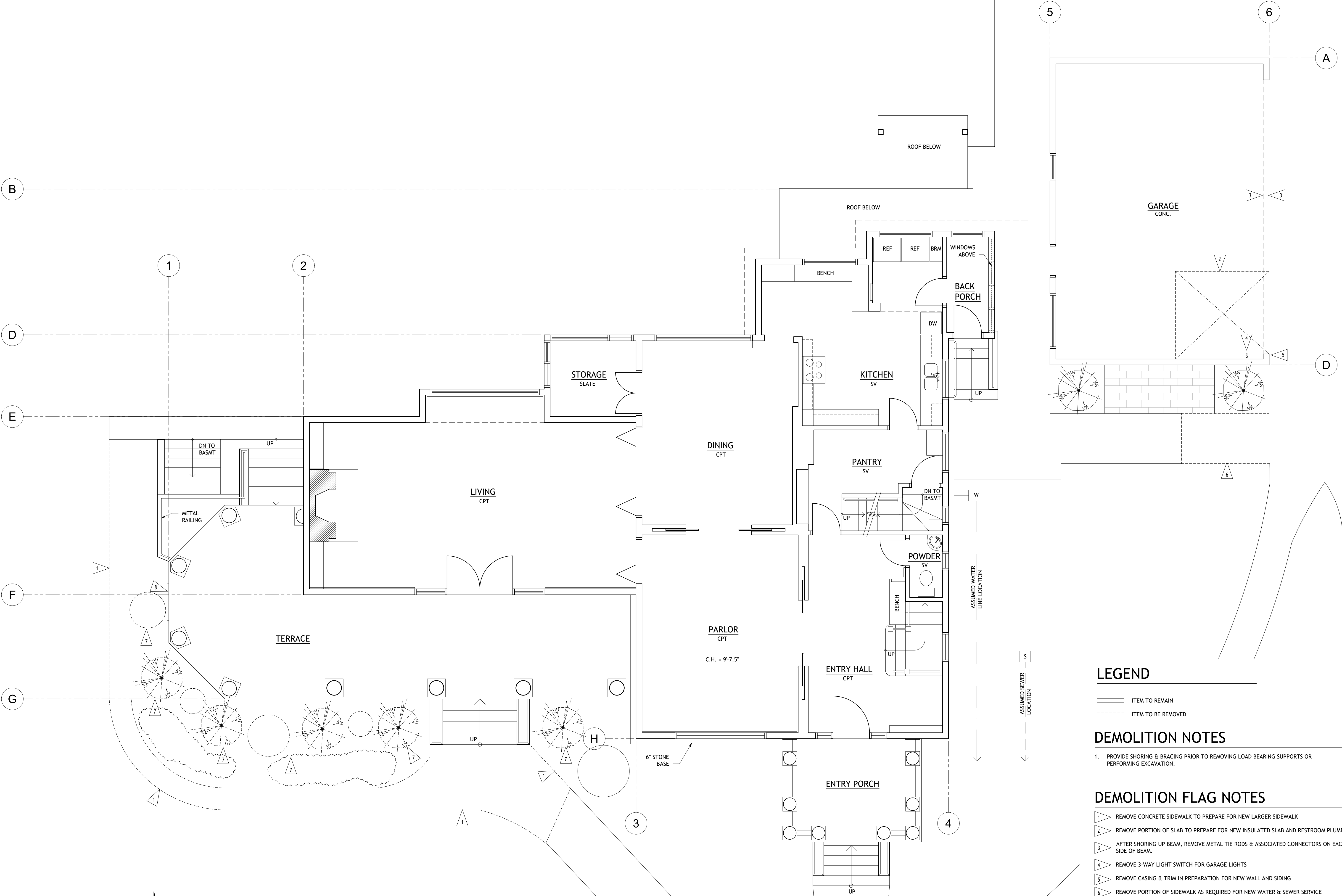
PROJECT No.
22023.1
PARCEL No.

DATE
04-20-2022
REVISIONS

PERMIT
SET



FIRST FLOOR
DEMOLITION
PLAN

D2.1



 **FIRST FLOOR DEMOLITION PLAN**
1/4"=1'-0"

LEGEND

-  ITEM TO REMAIN
-  ITEM TO BE REMOVED

DEMOLITION NOTES

1. PROVIDE SHORING & BRACING PRIOR TO REMOVING LOAD BEARING SUPPORTS OR PERFORMING EXCAVATION.

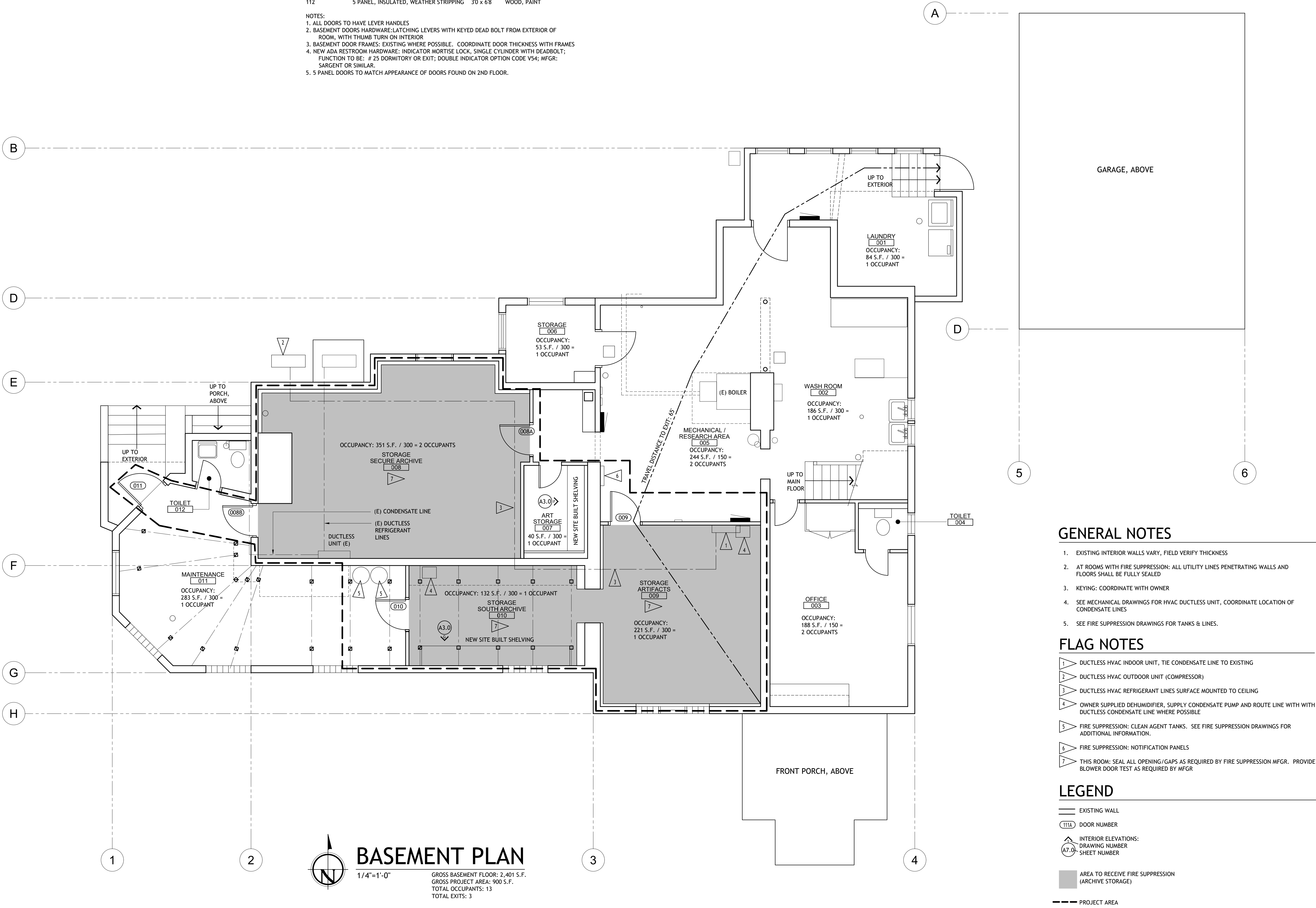
DEMOLITION FLAG NOTES

1. REMOVE CONCRETE SIDEWALK TO PREPARE FOR NEW LARGER SIDEWALK
2. REMOVE PORTION OF SLAB TO PREPARE FOR NEW INSULATED SLAB AND RESTROOM PLUMBING
3. AFTER SHORING UP BEAM, REMOVE METAL TIE RODS & ASSOCIATED CONNECTORS ON EACH SIDE OF BEAM.
4. REMOVE 3-WAY LIGHT SWITCH FOR GARAGE LIGHTS
5. REMOVE CASING & TRIM IN PREPARATION FOR NEW WALL AND SIDING
6. REMOVE PORTION OF SIDEWALK AS REQUIRED FOR NEW WATER & SEWER SERVICE
7. REMOVE ARBORVITAE. REMOVE SMALLER SHRUBS INCLUDING AZALEAS AND RHODODENDRONS AND RETAIN FOR REPLANTING
8. REMOVE PORTION OF CONCRETE SILL BELOW, FLUSH WITH BASEMENT WALL, IN PREPARATION FOR NEW LIFT

DOOR SCHEDULE

DOOR NUMBER	TYPE	SIZE	MATERIAL/FINISH
008A	5 PANEL, WEATHER STRIPING	30 x 68	WOOD, PAINT
008B	5 PANEL, WEATHER STRIPING	30 x 68	WOOD, PAINT
009	5 PANEL, WEATHER STRIPING	30 x 68	WOOD, PAINT
010	5 PANEL, WEATHER STRIPING	30 x 68	WOOD, PAINT
011	FLUSH, INSULATED, WEATHER STRIPING	30 x 68	METAL, PAINT
112	5 PANEL, INSULATED, WEATHER STRIPPING	30 x 68	WOOD, PAINT

- NOTES:
- ALL DOORS TO HAVE LEVER HANDLES
 - BASEMENT DOORS HARDWARE: LATCHING LEVERS WITH KEYED DEAD BOLT FROM EXTERIOR OF ROOM, WITH THUMB TURN ON INTERIOR
 - BASEMENT DOOR FRAMES: EXISTING WHERE POSSIBLE. COORDINATE DOOR THICKNESS WITH FRAMES
 - NEW ADA RESTROOM HARDWARE: INDICATOR MORTISE LOCK, SINGLE CYLINDER WITH DEADBOLT; FUNCTION TO BE: # 25 DORMITORY OR EXIT; DOUBLE INDICATOR OPTION CODE V54; MFG: SARGENT OR SIMILAR.
 - 5 PANEL DOORS TO MATCH APPEARANCE OF DOORS FOUND ON 2ND FLOOR.



swalling
WALK
ARCHITECTS

525 Columbia St NW, Suite 201
Olympia, Washington 98501

360.539.5175

www.swallingwalk.com

Schmidt House
Heritage Grant Upgrades
330 Schmidt Place
Tumwater, WA 98501

5904
REGISTERED
ARCHITECT
SHEILA K SWALLING
STATE OF WASHINGTON

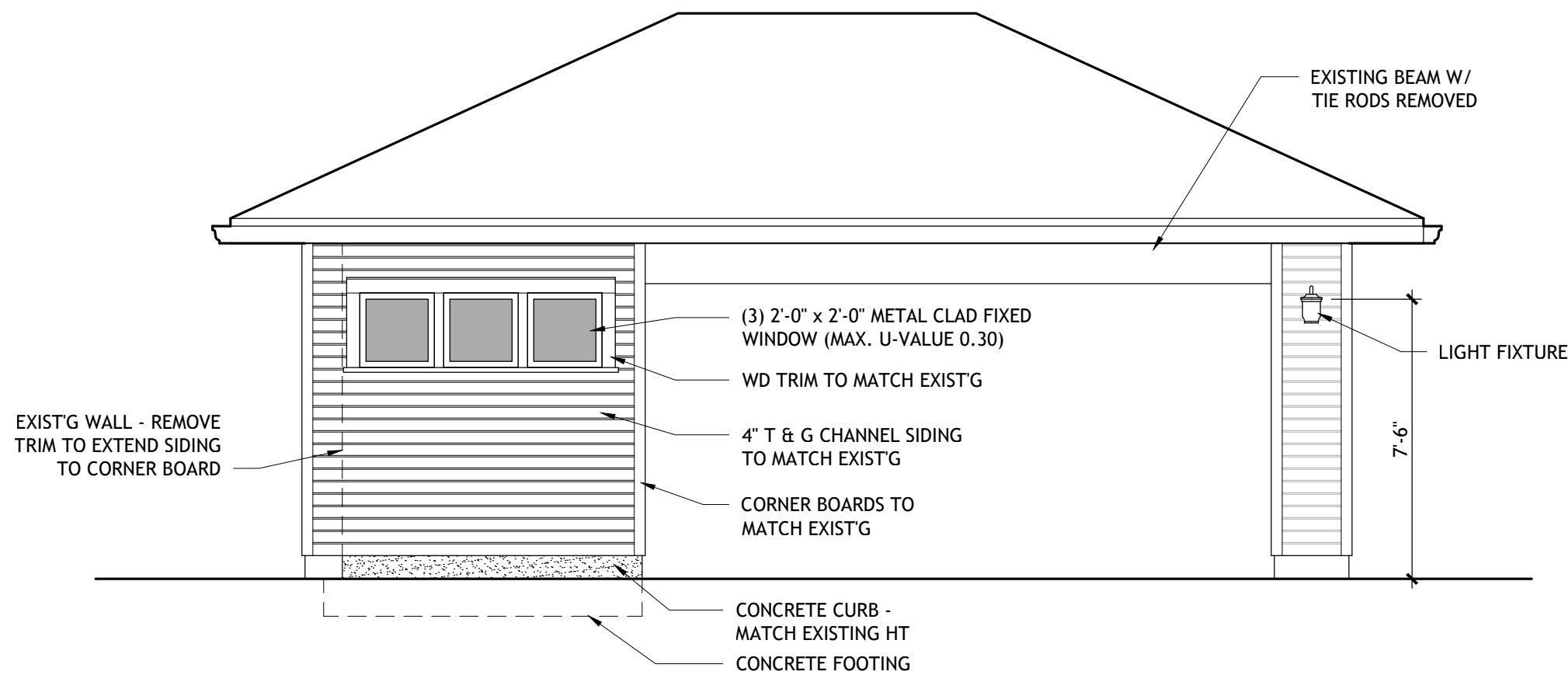
PROJECT No.
22023.1
PARCEL No.

DATE
04-20-2022
REVISIONS

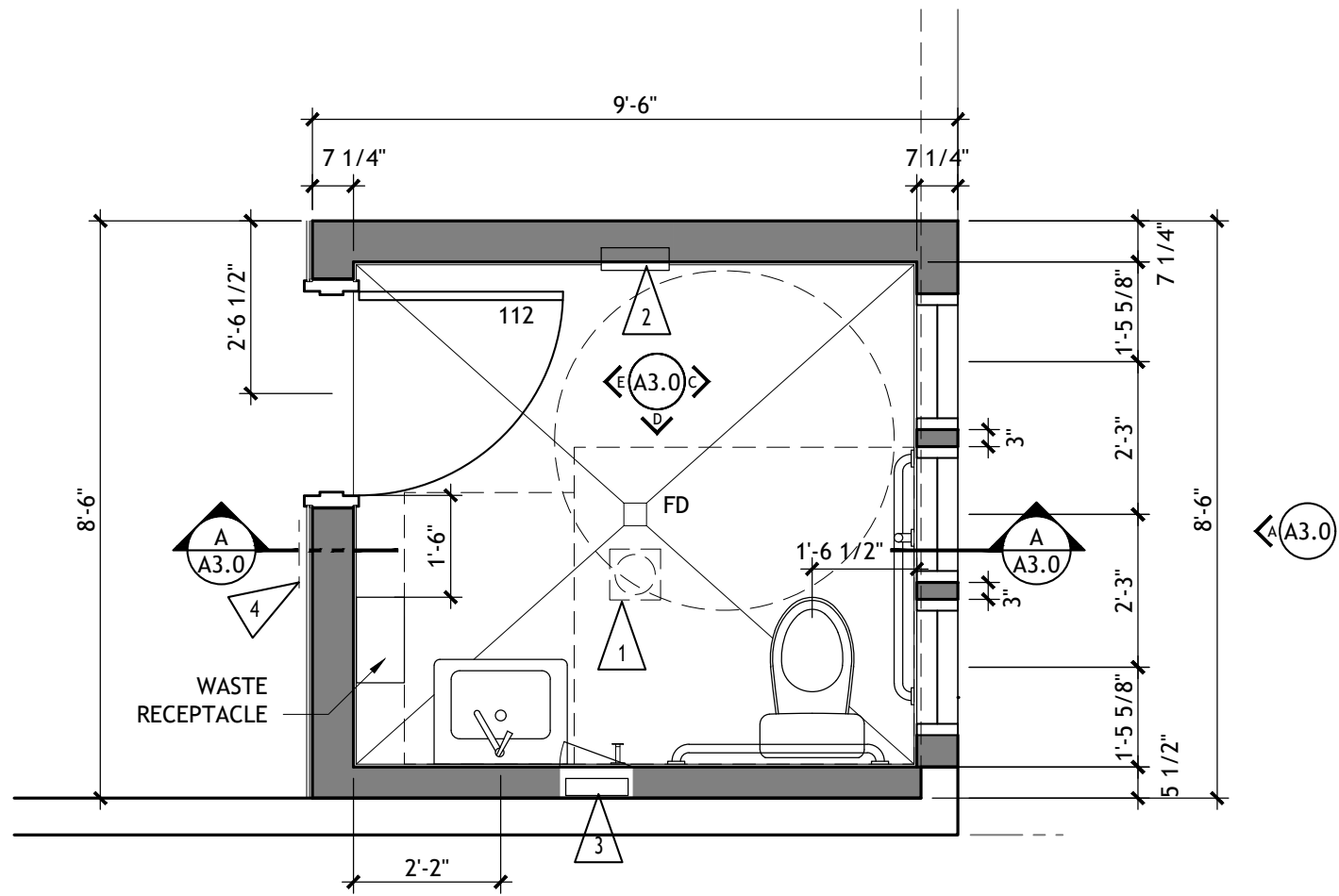
PERMIT
SET

BASEMENT
PLAN

A2.0



A EAST ELEVATION @ GARAGE
1/4" = 1'-0"



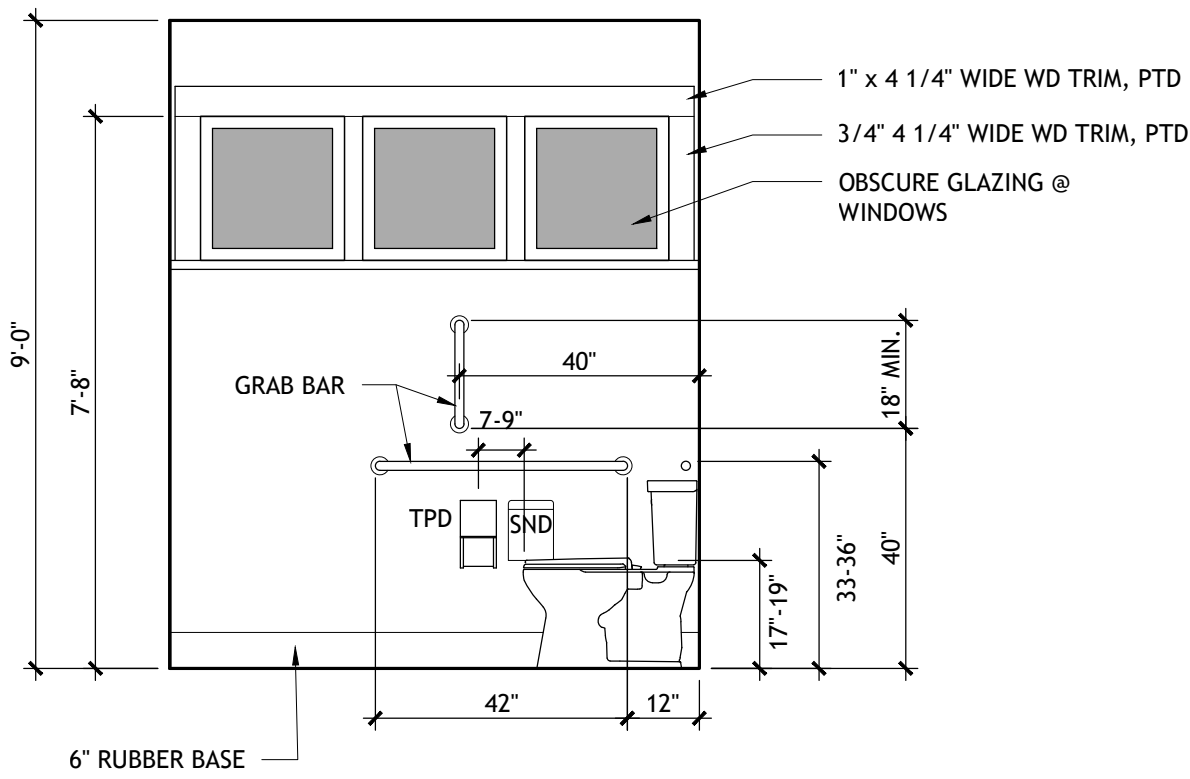
B ENLARGED ADA RESTROOM
3/8" = 1'-0"

RESTROOM SPECIFICATIONS

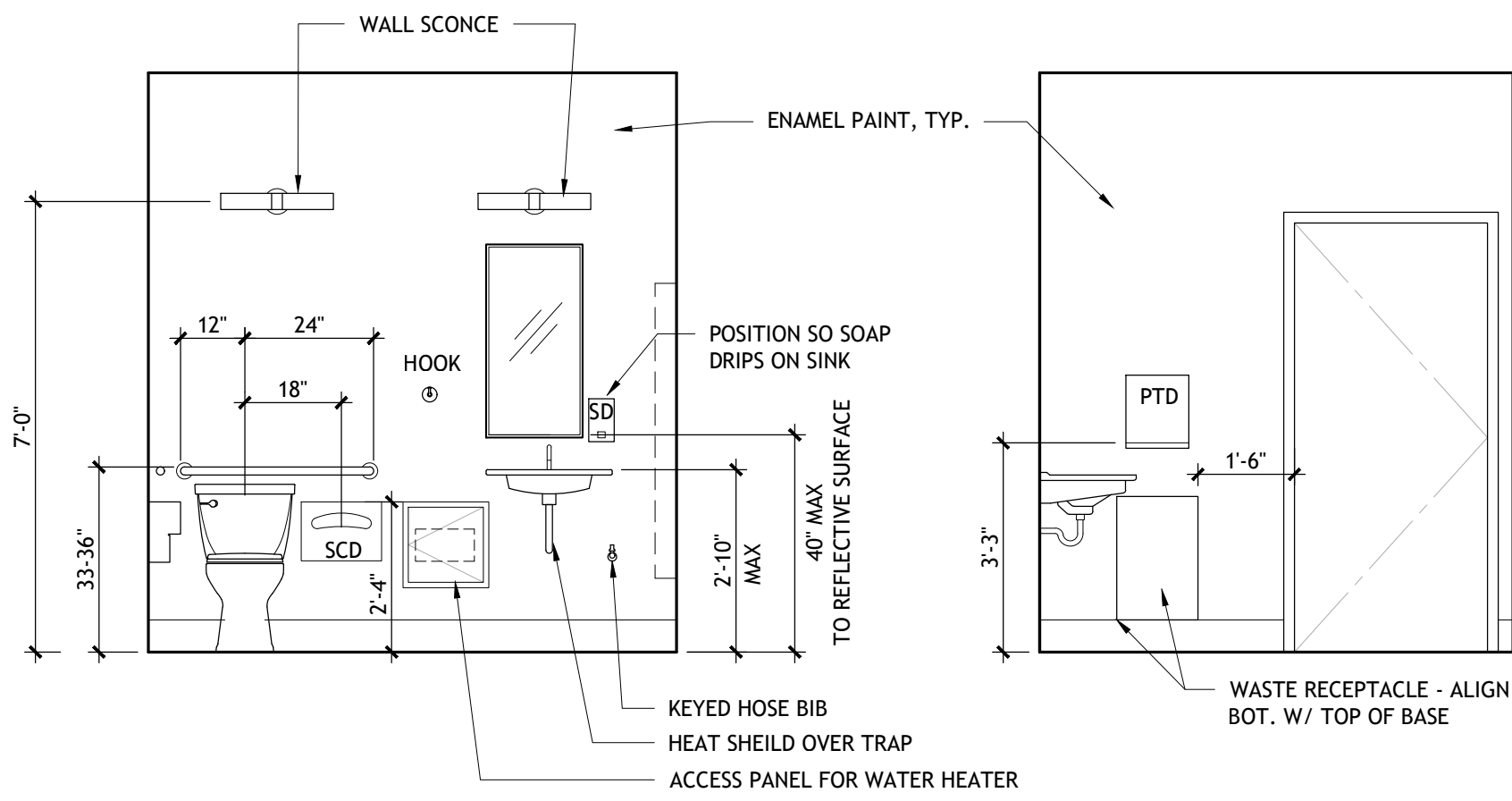
1. SEAT COVER DISPENSER (SCD) - BOBRICK MODEL B-4221, SURFACE-MOUNTED, TYPE 304, 20 GA STAINLESS STEEL
2. TOILET PAPER DISPENSER (TPD) - BOBRICK MODEL B4288, SURFACE-MOUNTED MULTI-ROLL DISPENSER, TYPE 304 STAINLESS STEEL
3. SANITARY NAPKIN DISPOSAL (SND) - BOBRICK MODEL B-270, SURFACE-MOUNTED, TYPE 304, 22 GA STAINLESS STEEL
4. PAPER TOWEL DISPENSER - BOBRICK MODEL B-9262, SURFACE-MOUNTED, TYPE 304, 18 GA STAINLESS STEEL, C-FOLD OR MULTIFOLD PAPER TOWELS
5. WASTE RECEPTACLE - BOBRICK MODEL B-277, SURFACE MOUNT, TYPE 304, 20 GAGE W/ LINER MATE
6. MIRROR - BOBRICK MODEL B-290 SERIES, 18" W x 36", GLASS MIRROR WITH STAINLESS STEEL ANGLE FRAME
7. COAT & PURSE HOOK - BOBRICK MODEL B-9542, 303 MACHINED SOLID STAINLESS STEEL IN SATIN FINISH
8. GRAB BARS - BOBRICK MODEL B-5806 SERIES, 1 1/4" DIA. STAINLESS STEEL GRAB BARS WITH SNAP FLANGE, SATIN FINISH, SIZES AS NOTED ON INTERIOR ELEVATIONS
9. TOILET - KOHLER MODEL K-31621 CIMARRON, COMFORT HEIGHT, COLOR - WHITE
10. SINK - NAMEEK'S MODEL CERASTYLE 04000-U, WHITE CERAMIC, SINGLE BOWL, SINGLE HOLE, WALL MOUNTED, ADA COMPLIANT
11. CONCRETE FLOOR - POLISHED & SEALED

RESTROOM FLAG NOTES

- 1 EXHAUST FAN ABOVE PER MECHANICAL, CONNECT TO LIGHT OCCUPANCY SENSOR
- 2 WALL HEATER PER MECHANICAL
- 3 WATER HEATER PER MECHANICAL, MOUNTED IN STUD CAVITY WITH ACCESS PANEL. SEE INTERIOR ELEV. BELOW
- 4 ADA RESTROOM SIGN PER CODE. MOUNT BOTTOM OF SIGN @ 48" ABOVE CONCRETE SLAB

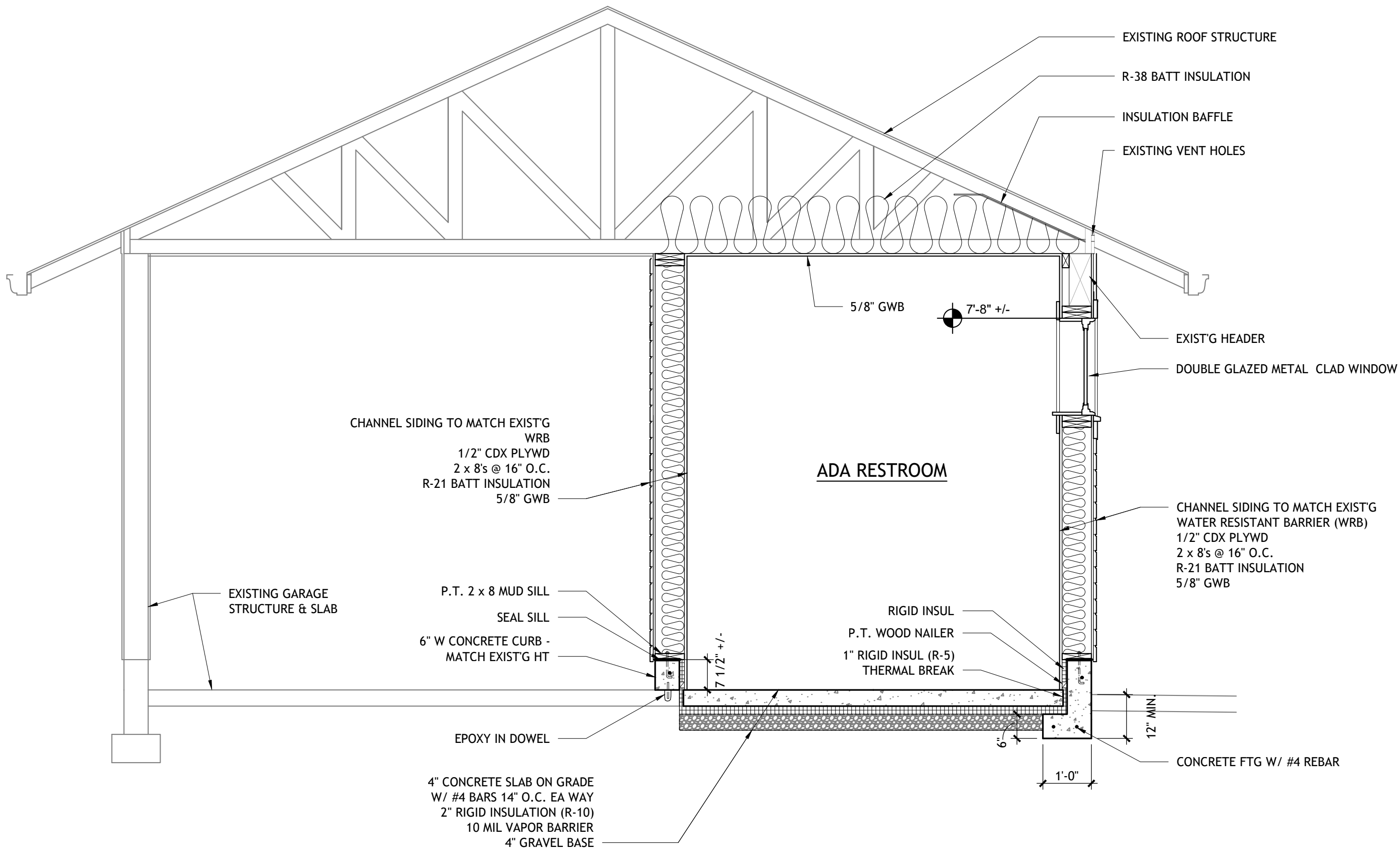


C ADA RESTROOM - East
3/8" = 1'-0"

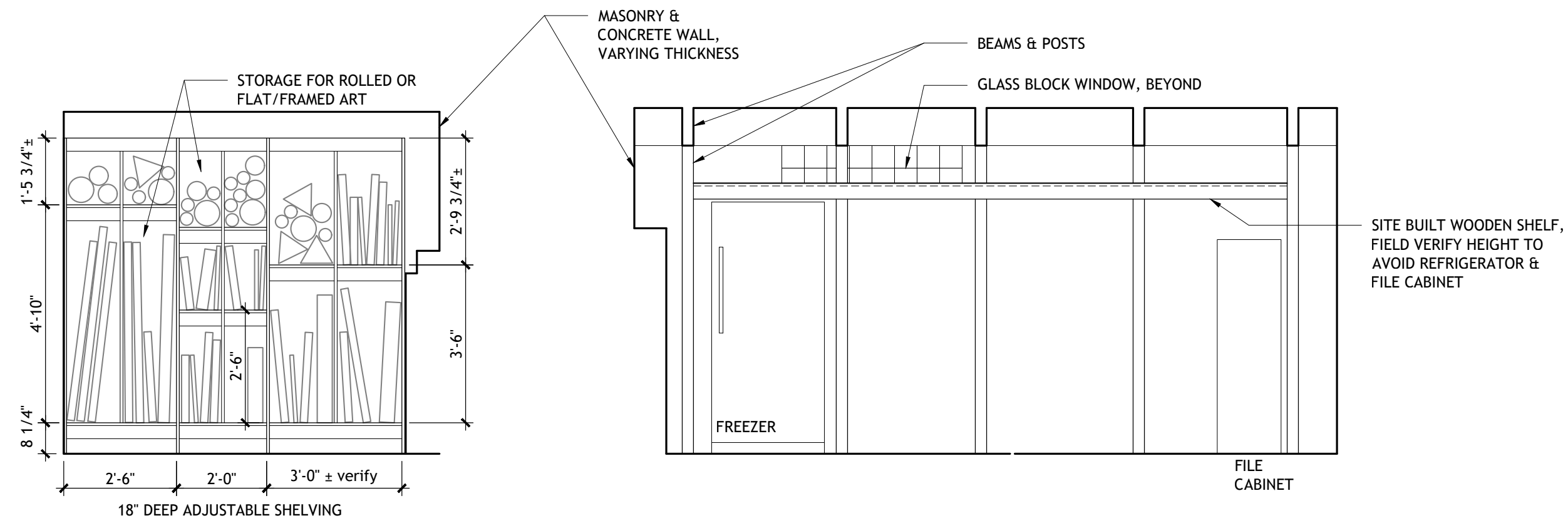


D ADA RESTROOM - South
3/8" = 1'-0"

E ADA RESTROOM - West
3/8" = 1'-0"



SECTION A-A THRU GARAGE
1/2"=1'-0"



F ART STORAGE - EAST
3/8" = 1'-0"

G SOUTH ARCHIVE - SOUTH
3/8" = 1'-0"

STRUCTURAL NOTES

STRUCTURAL CONCRETE

GENERAL
All concrete shall meet the requirements of ACI-301, "Specifications For Structural Concrete For Buildings." Proportioning of ingredients for each concrete mix shall be by Method 2 or the alternate procedure given in ACI-301, Chapter Seven. Place concrete per ACI-304 and conform to ACI-306R for cold weather placement and ACI-305R for hot weather placement. All concrete thicker or deeper than 4 inches shall be vibrated during placement. Use internal mechanical vibrators. Do not over-vibrate. Inserts, bolts, boxes, pipes, conduits, and other accessories shall be securely installed and inspected prior to placing concrete. Remove water, debris, wood, and loose concrete from space where concrete is to be placed.

Protect all concrete from premature drying, excessive hot or cold temperature. Curing should start immediately after the concrete has been finished and be continued for at least seven (7) days.

PROPERTIES

Footings, foundation walls and slab-on-grade:

- f'c : 2500 PSI minimum at 28 days, 5 ½ sack minimum mix
- Slump : 5 inches maximum
- 4 inches maximum at interior slab-on-grade
- water / cement : 0.45 maximum by weight
- air entrainment : 5% +/- 1%
- 3% +/- 1% at interior slab-on-grade
- ¾ inch maximum size aggregate

MATERIALS

Cement: ASTM C150, normal – Type I or I-II
Coarse and fine aggregate: ASTM C33
Water shall be clean and not detrimental to concrete.

ADMIXTURES

Water reducing admixture: ASTM C494, Type A. Admixtures shall be used in exact accordance with manufacturer's instructions.
Air entrainment: ASTM C260 and ASTM C494, except those containing chlorides may not be used.
No other admixture permitted unless approved by the Consulting Engineer. Do not use calcium chloride or related materials.

PLACEMENT

- A. **General:** Comply with requirements of ACI 304 and as follows:
1. Schedule continuous placement and consolidation to prevent formation of cold joints.
 2. Deposit concrete as close as possible to its final location, to avoid segregation.
 3. Thoroughly consolidate without displacing reinforcing using internal vibrators.
 4. Strike off and level concrete slab surfaces, using bull floats before bleed water can collect on surface. Do not work concrete further until finishing operations are commenced.

REINFORCING STEEL

Reinforcing steel shall conform to ASTM A615 Grade 60 new billet stock, deformed steel free of rust, scale or other bond-reducing coatings. Tie bars securely with #16 double annealed wire. Fabricate in accordance with ACI 315.

Provide support as indicated or recommended by ACI STD 315. Reinforcing shall be placed in accordance with "CRSI Recommended Practice For Placing Reinforcing Bars."

CONCRETE COVER

The following concrete cover shall be provided for reinforcement:

- Concrete cast against and permanently exposed to earth:
 - 3 inches for footings
 - 2 inches for interior slab-on-grade
- Concrete exposed to earth or weather:
 - 1½ inches for #5 bars and smaller and WWF

CONCRETE DOWELING ADHESIVE (CDA)

INTO CONCRETE

Adhesive anchors shall consist of a threaded anchor rod, nut, and washer and an injectable adhesive material. Manufacturer's instructions shall be followed for all installation steps including: material handling and storing, substrate drilling and cleaning, and adhesive installation. The injectable adhesive material shall be HIT HY 200 (A or R), as manufactured by Hilti, Inc or SET-PACK EZ, as manufactured by Simpson.

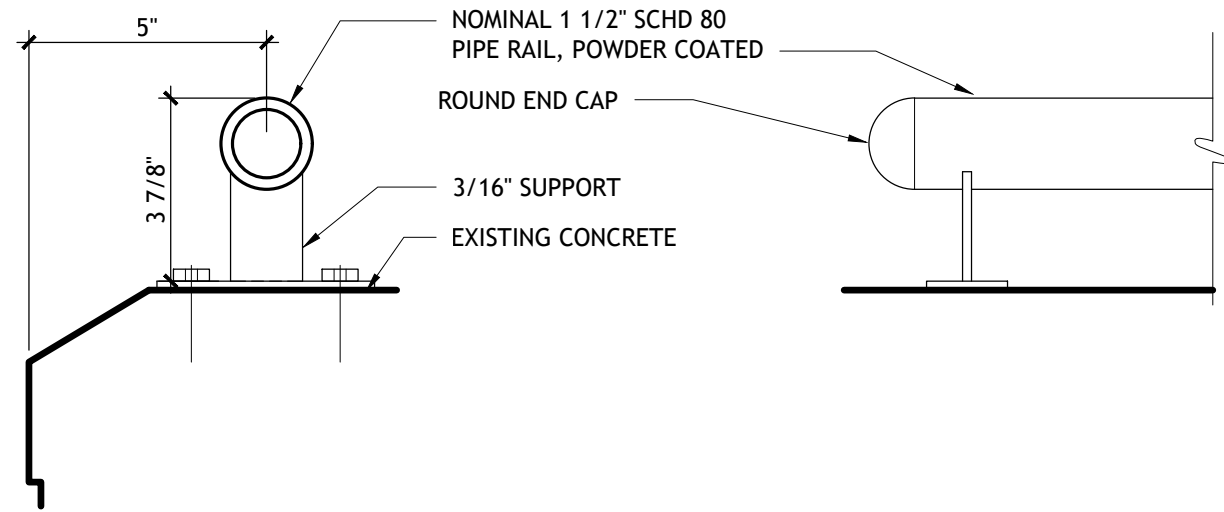
1. Only injection tools and static mixing nozzles recommended by the manufacturer shall be used.
2. Anchor rods shall be ASTM A36 furnished with two chamfered end so that either end will accept a nut and washer.

Epoxy Adhesive Installation Procedure:

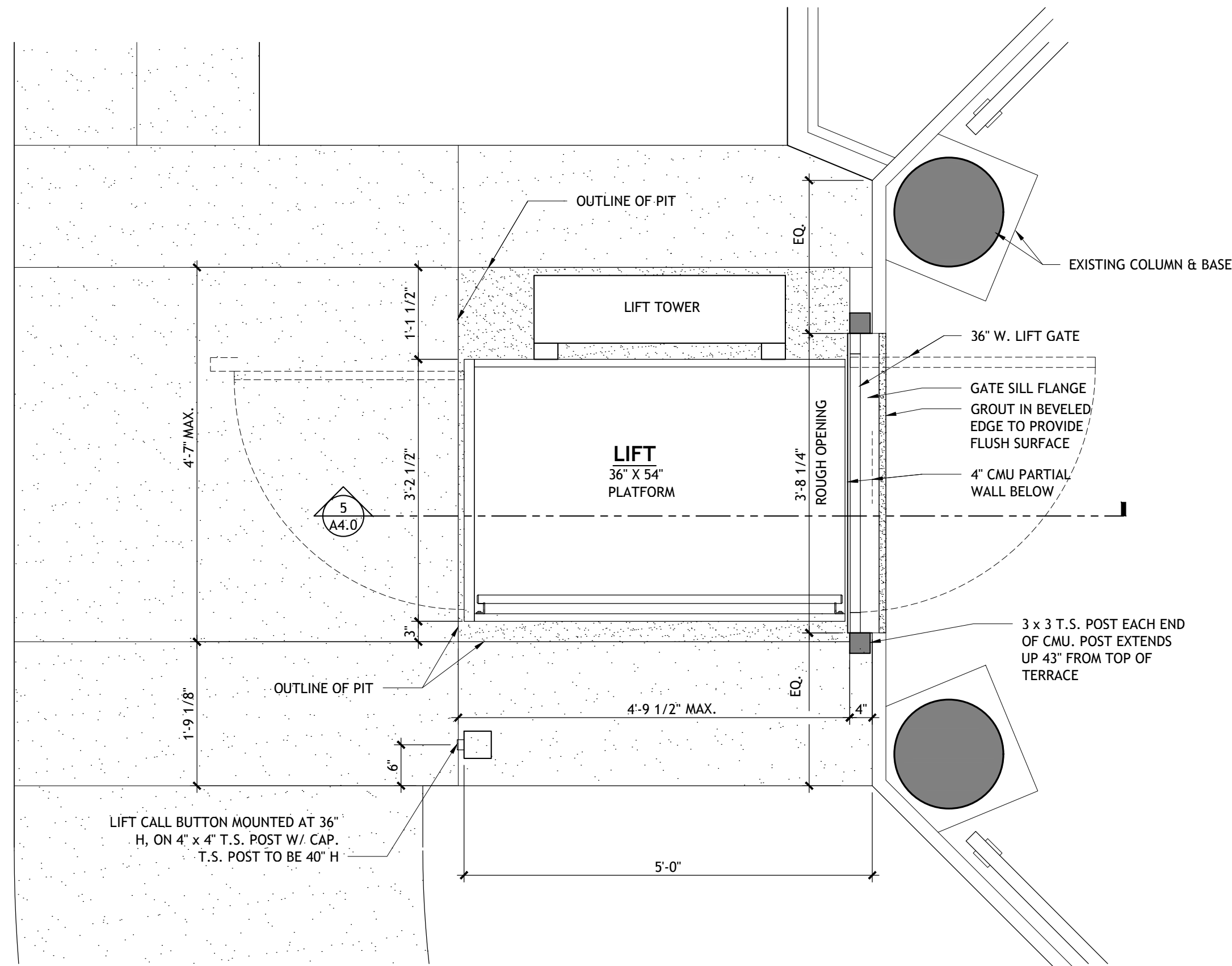
Procedure to install the epoxy anchors: Drill holes with a bit 1/8 inch larger than the rod diameter to the specified depth. The hole shall be brushed and blown with compressed air. The epoxy shall be injected on the ground until the gray and black are thoroughly mixed. The epoxy shall then be injected in the hole and the rod inserted and rotated. Record the Expiration Date of the adhesive and the Temperature at the time of the installation.

SECTIONS AND DETAILS

Sections and details showing reinforcing, bolts, framing members, and connections are intended to illustrate specific detail. No attempt has been made to show all elements passing through a specific section or detail. Exposed bolted beam connections may have to be furred by the Contractor to conceal connector. Construction details not specifically shown on the drawings shall follow similar details or sections of this project as approved by the Consulting Engineer.

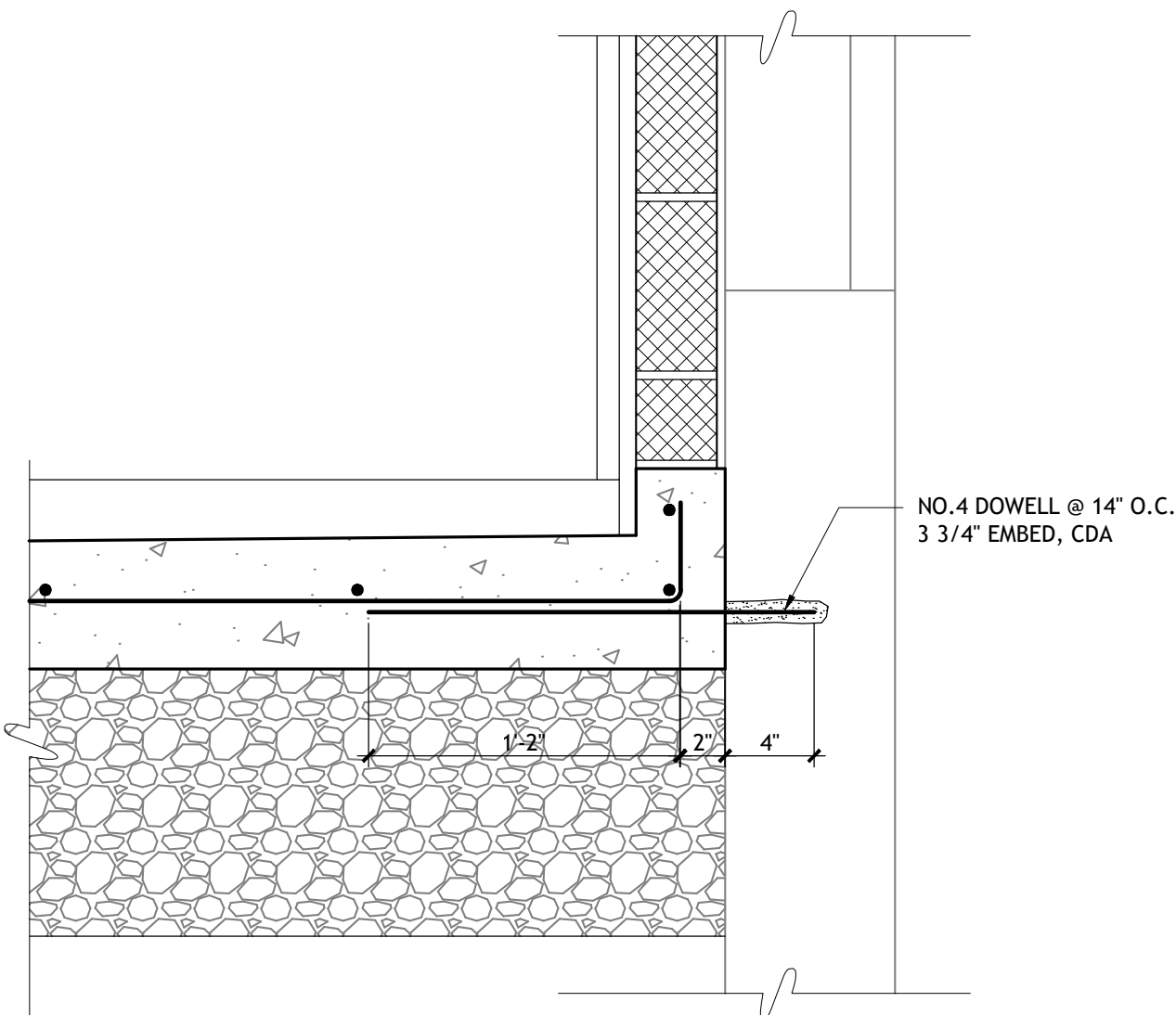


1 CURB DETAIL @ TERRACE
3" = 1'-0"

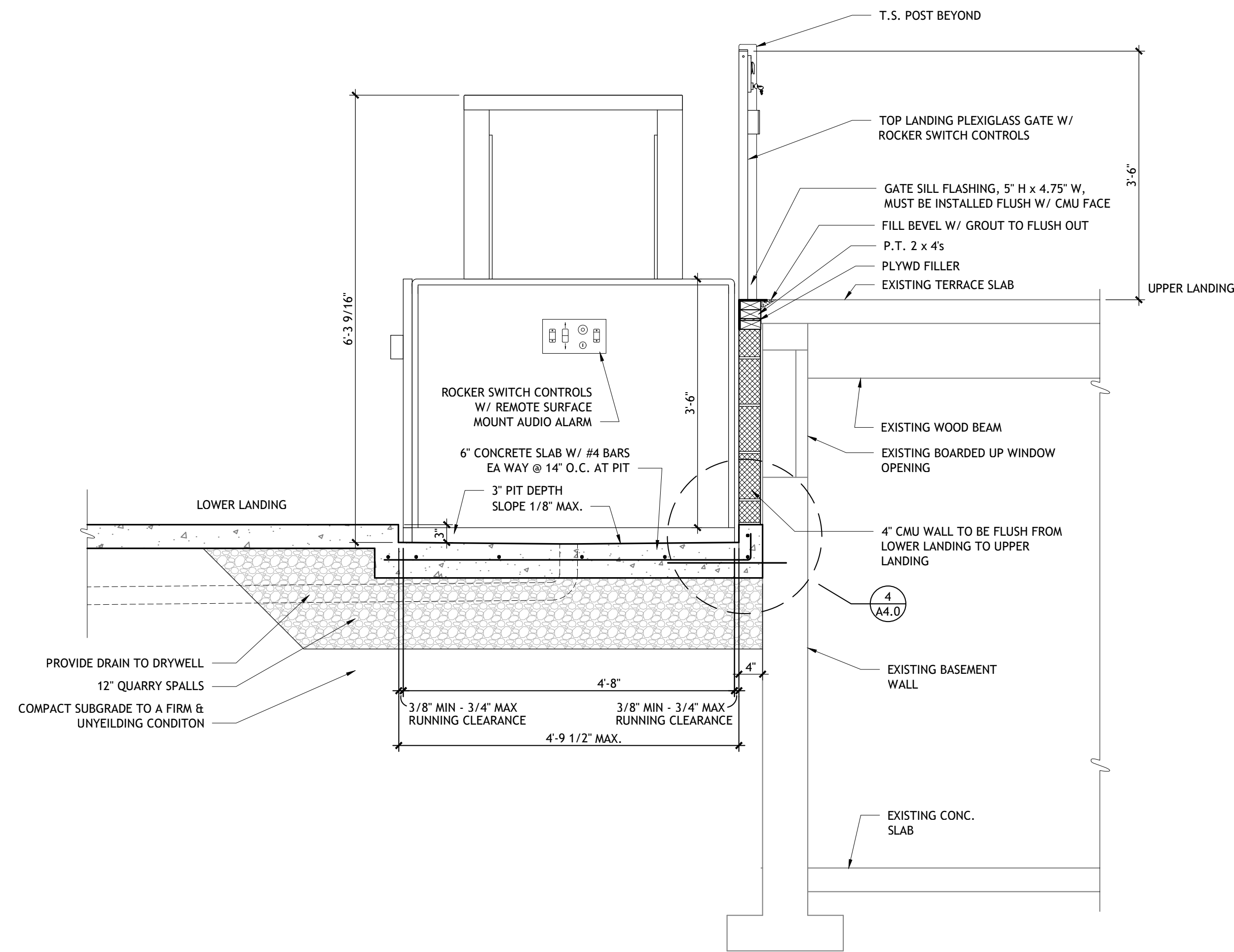


2 PLAN @ LIFT
3" = 1'-0"

3



4 REBAR @ LIFT SLAB
1 1/2" = 1'-0"



5 SECTION THRU LIFT
3/4" = 1'-0"

LIGHTING FLAG NOTES

- A

REPLACE EXISTING LIGHT FIXTURE WITH NEW: ELK NORWICH 66322-4 BOWL PENDANT IN AGED BRONZE WITH AMBER GLASS AND LED LAMPS
- B

TECH LIGHTING MONORAIL SYSTEM, FINISH - NICKEL
LAMPS: TECH LIGHTING, TELLUM HEAD, COLOR - WHITE
- C

MONOPOINT FIXTURE:
- D

REPLACE EXISTING SURFACE MOUNT LIGHT FIXTURE WITH NEW: SQAURE, LOW PROFILE LED BY RELIABLE
- E

SQUARE, CEILING MOUNTED, LOW PROFILE LED FIXTURE BY RELIABLE
- F

WALL SCONCE: GEORGE KOVACS, SABER II, MODEL P5042-077-L, FINISH - CHROME
- G

MONOPOINT FIXTURE MOUNTED TO SIDE OF BEAM
- H

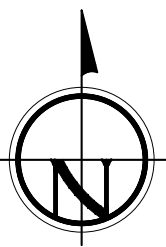
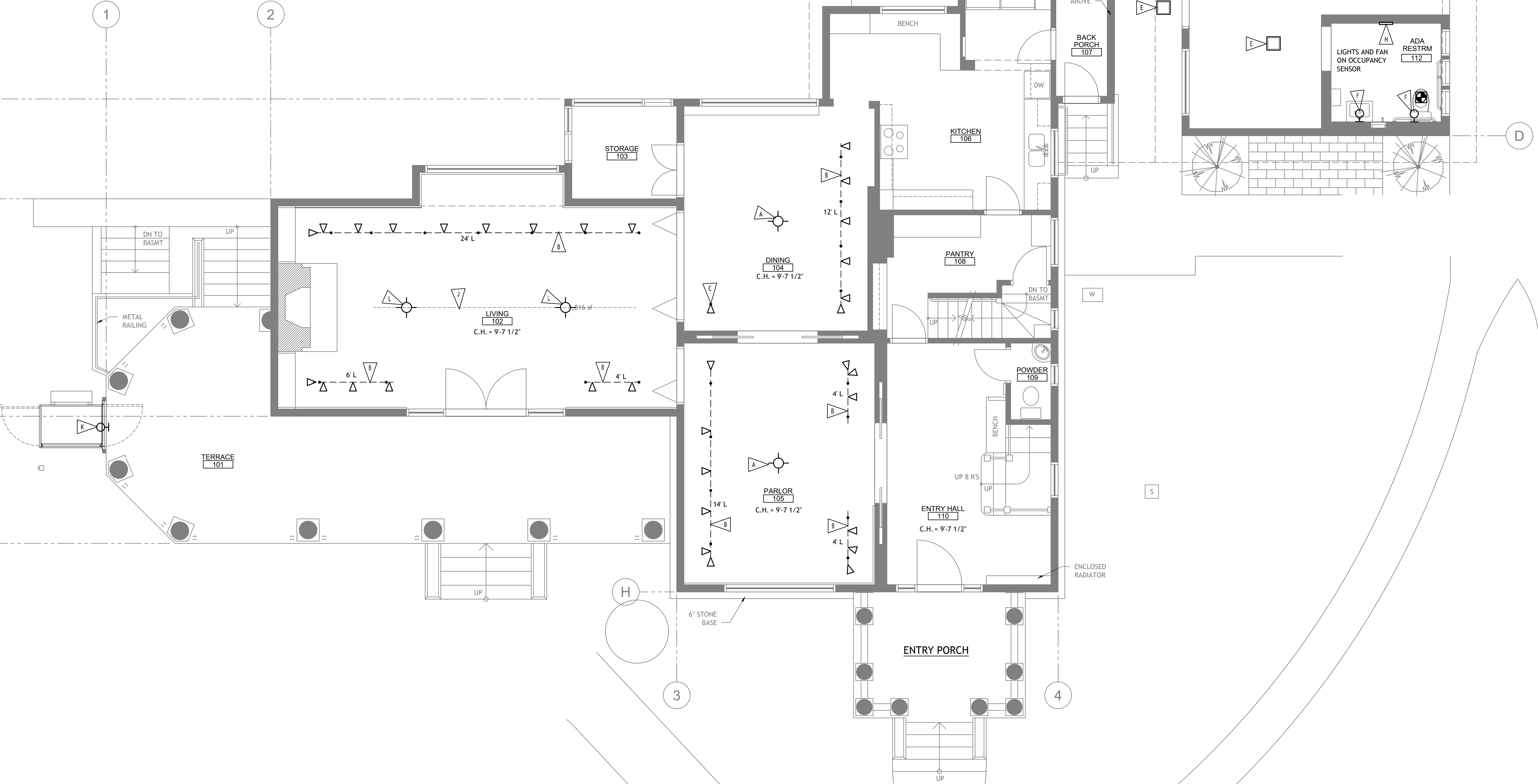
WALL HEATER PER MECHANICAL
- J

REMOVE EXISTING TRACK LIGHTING
- K

NEW DOWNLIGHT W/ PHOTO CELL, MOUNTED TO SIDE OF BEAM ABOVE FOR VISIBILITY AT LIFT:
WAC LIGHTING, WS-W65607-WT, WHITE, DARK SKY RATED
- L

REPLACE EXISTING LIGHT FIXTURE WITH NEW: ELK NORWICH 66197-5 FIVE LIGHT CHANDELIER IN OILED BRONZE AMBER GLASS AND LED LAMPS
- M

REPLACE EXISTING LIGHT FIXTURE WITH NEW: MERRIMACK - 1 LIGHT WALL MOUNT, 8761-66-L THE GREAT OUTDOORS, BLACK, 12 1/4" H, DARK SKY RATING. CENTER IN WALL PANEL AND MOUNT AT 7'-6" ABOVE CONCRETE.



LIGHTING PLAN - 1ST FLOOR

1/4"=1'-0"

GENERAL MECHANICAL NOTES

1. ALL THERMOSTATS USED FOR BOTH HEATING AND COOLING SHALL PROVIDE A RANGE OR DEADBAND OF AT LEAST 5°F. WSEC SECTION C403.4.1.2
2. ALL THERMOSTATS ARE TO BE SEVEN DAY PROGRAMMABLE, MICRO-PROCESSOR BASED.
3. ALL HEATING AND COOLING SYSTEMS SHALL HAVE AUTOMATIC START CONTROLS FOR EACH HVAC SYSTEM WSEC SECTION C403.4.2.3
4. ALL DUCTWORK SHALL BE CONSTRUCTED AND SEALED PER SMACNA STANDARDS.
5. ALL DUCTWORK SHALL BE BRACED PER 2018 IMC. DUCT SUPPORT PER SECTION 603.10.
6. ALL REFRIGERANT USED SHALL BE PURON (R-410A).
7. ALL FLUES SHALL BE LOCATED A MINIMUM OF 10' FROM OUTDOOR AIR INTAKES.
8. ALL EXHAUST TERMINATIONS SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM, OR 3' ABOVE OUTDOOR INTAKES.
9. ALL AIR-ECONOMIZERS SHALL HAVE MODULATING OUTDOOR AIR AND RETURN AIR DAMPERS CAPABLE OF PROVIDING 100% OUTDOOR AIR FOR COOLING. WSEC SECTION C403.5.1
10. ALL AIR-ECONOMIZERS SHALL BE FULLY MODULATING AND CAPABLE OF PARTIAL COOLING (INTEGRATED OPERATION). WSEC SECTION C403.5.1
11. AIR HANDLERS WHICH SUPPLY IN EXCESS OF 2,000 CFM SHALL HAVE A RETURN MOUNTED SMOKE DUCT DETECTOR.
12. ALL ADDRESSABLE FUNCTIONS OF DUCT SMOKE DETECTORS, AND WIRING FOR SHUTDOWN, SHALL BE BY OTHERS.
13. ALL ROOF MOUNTED UNITS SHALL BE SECURED TO THEIR RESPECTIVE ROOF CURBS.
14. ALL EXPOSED EDGES OF INTERNAL DUCT LINER SHALL BE SEALED WITH A MASTIC COATING.
15. ALL COMPLETION REQUIREMENTS MUST COMPLY WITH WSEC SECTION C408.1
16. TO COMPLY WITH WSEC SECTION C408.1.1 & C403.13 SYSTEMS DOCUMENTATION, RECORD DOCUMENTS AND TRAINING WILL BE COMPLETED AND COORDINATED WITH OWNER.
17. TO COMPLY WITH WSEC SECTION C408.2 PRELIMINARY COMMISSIONING REPORT WILL BE SUBMITTED TO OWNER AFTER BEING CERTIFIED BY REGISTERED DESIGN PROFESSIONAL OR APPROVED AGENCY. EXCEPTION: MECHANICAL SYSTEMS COMMISSIONING NOT REQUIRED FOR BUILDINGS WITH TOTAL EQUIPMENT CAPACITY LESS THAN 240,000 BTU/H COOLING & 300,000 BTU/H HEATING
18. ALL THERMOSTATS TO BE MOUNTED SUCH THAT THE TOP OF THE DEVICE IS 48" ABOVE FINISHED FLOOR.
19. ALL GAS PIPING SHALL BE SIZED PER 2018 IFGC.
20. ALL HVAC SYSTEMS SHALL BE AIR BALANCED AND ADJUSTED TO DELIVER FINAL FLOW RATES WITHIN 10% OF DESIGN RATES.
21. OUTDOOR AIR SUPPLY AND EXHAUST DUCTS SHALL SHUT AUTOMATICALLY WHEN THE SYSTEM OR SPACES SERVED ARE NOT IN USE OR DURING BUILDING WARM-UP, COOLDOWN, AND SETBACK. WSEC SECTION C403.7.8
22. OUTDOOR AIR SUPPLY AND EXHAUST DUCTS SHALL BE EQUIPPED WITH MOTORIZED DAMPERS ACCORDING TO WSEC SECTION C403.7.8
23. EQUIPMENT SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENTS OF WSEC SECTION C403.3.2
24. SYSTEM SIZING TO COMPLY WITH WSEC SECTION C403.3.1
25. DAMPER LEAKAGE RATES SHALL COMPLY WITH WSEC SECTION C403.7.8
26. ALL GAS FIRED EQUIPMENT GREATER THAN 225,000 BTU/H SHALL HAVE AN INTERMITTENT IGNITION DEVICE.

DUCT INSULATION SCHEDULE

DUCT TYPE:	LOCATION	INSULATION R-TYPE	TYPE
SUPPLY/RETURN	OUTSIDE THE BUILDING (INCLUDES ATTICS ABOVE INSULATION, CRAWLSPACES, PARKING GARAGES)	R-8	2" WRAP OR LINER
SUPPLY/RETURN	UNCONDITIONED SPACE (ENCLOSED BUT NOT IN CONDITIONED ENVELOPE)	R-6	2" WRAP OR LINER
OSA	NOT WITHIN CONDITIONED SPACE	R-0	-
OSA (< 2800 CFM)	WITHIN CONDITIONED SPACE	R-7	2" WRAP OR LINER
OSA (≥ 2800 CFM)	WITHIN CONDITIONED SPACE, UPSTREAM OF MOTORIZED DAMPER	R-16	-
OSA (≥ 2800 CFM)	WITHIN CONDITIONED SPACE, DOWNSTREAM OF MOTORIZED DAMPER	R-8	2" WRAP OR LINER
SUPPLY (< 55 °F OR > 105 °F)	WITHIN CONDITIONED SPACE, NOT EXPOSED TO SPACE SERVED.	R-3.3	1" WRAP OR LINER
SUPPLY (< 55 °F OR > 105 °F)	WITHIN CONDITIONED SPACE, EXPOSED TO SPACE SERVED.	R-0	-
SUPPLY (≥ 55 °F OR ≤ 105 °F)	WITHIN CONDITIONED SPACE	R-0	-
RETURN	WITHIN CONDITIONED SPACE, OTHER THAN BELOW	R-0	-
EXHAUST	OTHER THAN BELOW	R-0	-
EXHAUST/RETURN	WITHIN CONDITIONED SPACE, DOWNSTREAM OF ERV & UPSTREAM OF MOTORIZED DAMPED	R-8	2" WRAP OR LINER
EXHAUST/RELIEF	WITHIN CONDITIONED SPACE, DOWNSTREAM OF MOTORIZED DAMPER	R-16	-

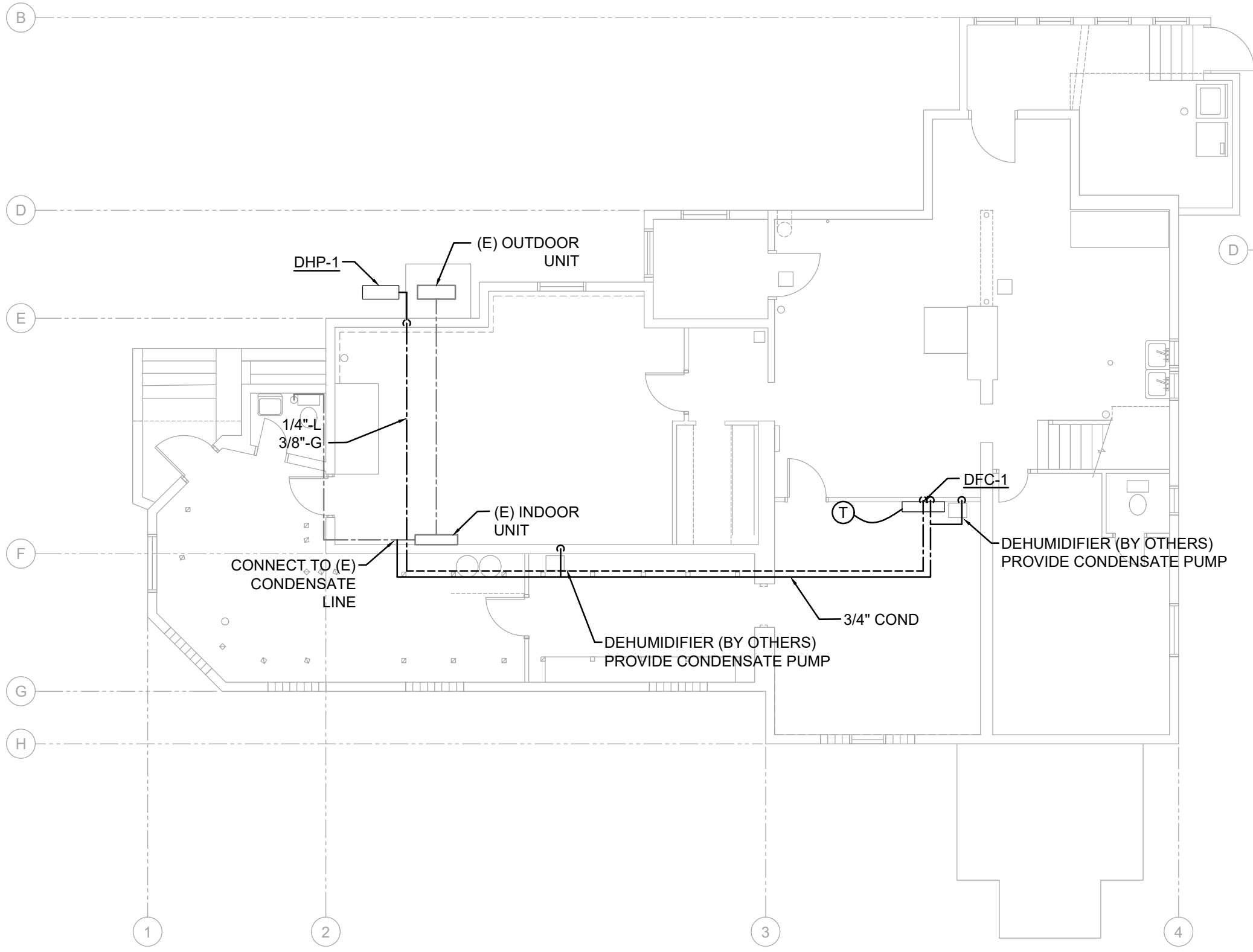
SEQUENCE OF OPERATIONS

DUCTLESS SPLIT SYSTEM SHALL BE CONTROLLED BY DAIKIN PROGRAMMABLE THERMOSTAT

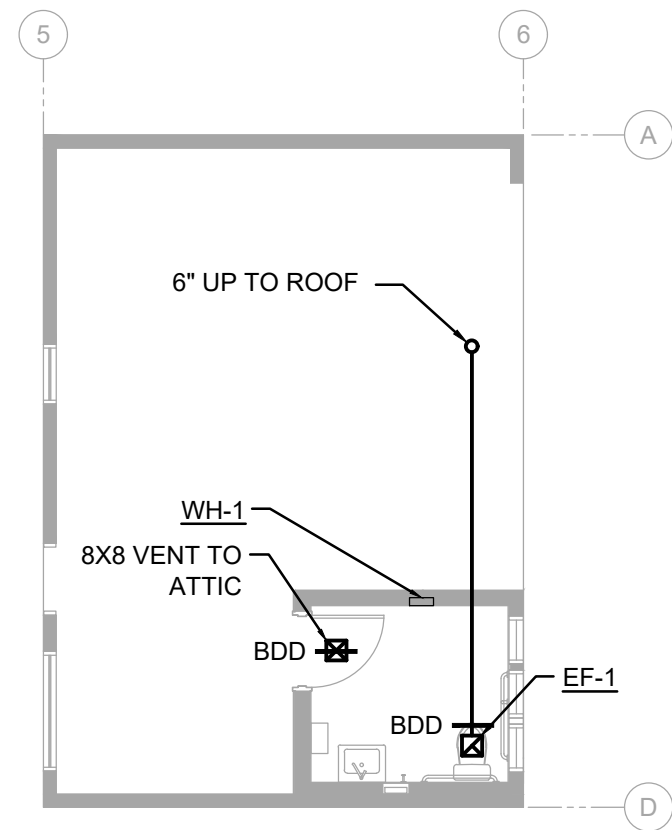
EXHAUST FAN SHALL CYCLE WITH OCCUPANCY SENSOR

MECHANICAL LEGEND

SYMBOL	DESCRIPTION
	SUPPLY - SUSPENDED CEILING
	SUPPLY - HARD CEILING
	RETURN - SUSPENDED CEILING
	RETURN - HARD CEILING
	SUPPLY - ROUND DIFFUSER
	SUPPLY - SIDE WALL
	RETURN - SIDE WALL
	CEILING EXHAUST FAN
	CO SENSOR
	MOTORIZED DAMPER
	FIRE DAMPER
	COMBINATION FIRE/SMOKE DAMPER
	DUCT SMOKE DETECTOR
	MOTORIZED ZONE DAMPER
	MANUAL VOLUME DAMPER
	THERMOSTAT
	TEMPERATURE SENSOR
	REFRIGERANT LEAK DETECTOR
	SUPPLY DUCT UP OR DOWN
	RETURN DUCT UP OR DOWN
	RECTANGULAR OR ROUND DUCT
	SOUNDLINED DUCT* *SIZES ARE CLEAR INSIDE DIMENSION
	RECTANGULAR DUCT CALLOUT
	ROUND DUCT CALLOUT
	RECTANGULAR OR ROUND TRANSITION
	SQUARE TO ROUND TRANSITION
	TRANSITION
	RECTANGULAR OR ROUND TAP
	WYE DUCT FITTING
	DUCT UP OR DOWN
	GAS LINE
	CAR DAMPER



BASEMENT HVAC PLAN
SCALE: 1/8" = 1' - 0"



1ST FLOOR HVAC PLAN
SCALE: 1/8" = 1' - 0"

WALL HEATER SCHEDULE

MARK	MAKE	MODEL	QUANTITY	WATTAGE	VOLTAGE	THERMOSTAT (INTEGRAL/REMOTE)
WH-1	KING	PAW1215	1	500	120	INTEGRAL

FAN SCHEDULE

MARK	MAKE	MODEL	QUANTITY	STYLE	FLOW (Constant VFD)	CFM	ESP (IN H2O)	BDD (Yes No)	MOTOR HP	BHP	FLA (Amps)	WATTS	Voltage (Volt - Phase)	WEIGHT (Lbs)	Comments
EF-1	PANASONIC	EV-0511VQ1	1	CEILING EXH	CONSTANT	80	0.250	YES	-	-	0.2	10.8	120-1	11	

DUCTLESS SPLIT SYSTEM SCHEDULES

MARK	QTY	MAKE	MODEL	SEER	HSPF	COOLING CAP. (BTU/h)	HEATING CAP. @ 47°F (BTU/h)	HEATING CAP. @ 17°F (BTU/h)	MAX LINE LENGTH	MAX LINE HEIGHT	COOLING TEMP RANGE	Refrigerant Line Size	MCA (Amps)	MOCP (Amps)	Voltage (Volt - Phase)	WT (lbs)	Comments
DFC-1 DHP-1	1	DAIKIN	FTXS09LVJU RXS09LVJU	25	12.5	9,000	12,000	7,700	65.6	49.2	50°F - 115°F	1/4"-L, 3/8"-G	8	15	208-230/60/1	20 75	INDOOR OUTDOOR

ALL DOCUMENTS, ELECTRONIC OR OTHERWISE, PREPARED BY SUNSET AIR ARE FOR USE SOLELY WITH RESPECT TO THE SUBJECT PROJECT. SUNSET AIR IS THE OWNER OF THE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVE RIGHTS, INCLUDING COPYRIGHTS, EXPRESSLY CONDITIONED UPON SUNSET AIR PERFORMING THE CONSTRUCTION ASSOCIATED WITH THE DOCUMENTS FOR THE PROJECT. SUNSET AIR GRANTS TO CLIENT A NON-EXCLUSIVE LICENSE TO REPRODUCE SUNSET AIR'S DOCUMENTS SOLELY FOR PURPOSES OF CONSTRUCTING, USING, AND MAINTAINING THE PROJECT, PROVIDED THAT CLIENT SHALL COMPLY WITH ALL OBLIGATIONS, INCLUDING PROMPT PAYMENT OF ALL BILLS WHEN DUE.



SCHMIDT HOUSE

330 Schmidt Place
Turnwater, WA 98501

DESIGNED BY: JAB
DRAWN BY: ZDW
REVIEWED BY:

REVISIONS
0 04/20/22 PERMIT

HVAC PLANS, GENERAL
MECHANICAL NOTES &
EQUIPMENT SCHEDULES

SHEET NUMBER

M1.0

GENERAL PLUMBING NOTES

- ALL PIPING AND PLUMBING PER 2018 UPC.
- FIELD VERIFY ALL PLUMBING MATERIAL/EQUIPMENT LOCATIONS AND DIMENSIONS BEFORE PROCEEDING WITH ANY WORK AND REPORT ALL DISCREPANCIES TO THE GENERAL CONTRACTOR.
- THESE PLANS ARE SCHEMATIC AND DO NOT INDICATE EVERY OFFSET REQUIRED FOR ROUTING. IT SHALL BE THE P.C.'S RESPONSIBILITY TO COORDINATE PIPE ROUTING AND ELEVATIONS WITH OTHER AFFECTED TRADES BEFORE CONSTRUCTION. WHERE CONFLICTS OCCUR, REROUTING MAY BE NECESSARY.
- COORDINATE PLUMBING INSTALLATION WITH HVAC MECHANICAL, FIRE PROTECTION, AND THE ELECTRICAL CONTRACTOR.
- PLUMBING CONTRACTOR TO COORDINATE LINE VOLTAGE POWER CONNECTIONS WITH THE E.C. FOR EQUIPMENT WITHIN THE PLUMBING CONTRACTORS SCOPE.
- FIELD COORDINATE FOOTING, FLOOR AND WALL SLEEVES WHERE NECESSARY
- ALL PIPE SIZING NOTED ON THE DRAWINGS ARE MINIMUM.
- PROVIDE CLEANOUTS ON SANITARY SEWER SYSTEM AS REQUIRED BY 2018 UPC.
- ALL FIRE STOPPING OF THROUGH AND MEMBRANE PENETRATION AS REQUIRED BY THE UPC SHALL BE PROVIDED AND INSTALLED BY THE P.C.
- SLOPE 3" AND SMALLER WASTE PIPING AT 2% PER FOOT MINIMUM. SLOPE 4" AND LARGER WASTE PIPING AT 1% PER FOOT MINIMUM
- PIPE INSULATION TO BE PROVIDED ON ALL HOT WATER PIPING PER THE WSEC, AS INDICATED IN THE PIPE INSULATION SCHEDULE BELOW. METALLIC COLD WATER PIPING, AND PIPES SUBJECT TO SWEATING, SHALL BE INSULATED AT A MINIMUM OF 1/2" FOR CONDENSATION CONTROL. TRAPS AND FIXTURE PIPING BELOW ADA LAVATORIES SHALL BE ISOLATED WITH 1" INSULATION AND SHIELDS.
- HANGERS AND SUPPORTS SHALL BE PER MSS SP-88. PROVIDE LINE-SIZE HANGERS FOR ALL INSULATED SERVICES EXCEPT CHILLED WATER (LINE-SIZE HANGERS DO NOT REQUIRE SHIELDS OR RIGID INSERTS. THE INSULATION IS EXTENDED OVER THE HANGERS). CHILLED WATER SERVICE TO RECEIVE OVERSIZED HANGERS WITH SHIELDS AND RIGID INSERTS.
- G.C. TO PROVIDE AND INSTALL ACCESS PANELS WHERE NECESSARY FOR ACCESS TO ISOLATION VALVES, CLEANOUTS AND ELECTRONIC FIXTURE CONTROLLERS. P.C. TO COORDINATE LOCATIONS WITH G.C.
- P.C. TO PROVIDE ACCESSIBLE SHUTOFFS FOR ALL DOMESTIC HOT AND COLD WATER LINES SERVING FIXTURES.
- PROVIDE AND SIZE VENTS PER UPC. COMBINE VENTS AND COORDINATE ROOF PENETRATIONS WITH G.C. PRIOR TO INSTALLATION. ALL ROOF PENETRATIONS REQUIRE FLASHING.
- ALL FLOOR DRAINS REQUIRE TRAP PRIMERS UNLESS OTHERWISE NOTED. SIZE AND INSTALL PER INDUSTRY STANDARDS.
- P.C. SHALL PROVIDE MARKUP OF DEVIATIONS FROM CONTRACT DWGS FOR INCORPORATION IN AS-BUILT SET ON FULL SIZE DRAWINGS.
- P.C. SHALL PROVIDE FULL PLUMBING SUBMITTAL PACKAGE TO SUNSET AIR FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- LABEL ALL PIPING AND DIRECTION OF FLOW.
- P.C. SHALL INSTALL UNDERGROUND WASTE, WATER AND DRAINS TO A POINT 5-FEET PAST THE BUILDING FOUNDATION. CONNECTION TO SITE UNDERGROUND UTILITIES SHALL BE BY OTHERS.

PIPING	LOCATION	MATERIAL	JOINT
COLD WATER:	ALL	<=2" - PEX / >=2" COPPER	PROPEX CONNECTION/NO-LEAD SOLDER
HOT WATER:	ALL	<=2" - PEX / >=2" COPPER	PROPEX CONNECTION/NO-LEAD SOLDER
RAIN LEADERS:	ALL	PVC (CAST IRON IF IN PLENUM)	SOLVENT WELD CEMENT (HUBLESS)
WASTE:	ABOVE GROUND	PVC (CAST IRON IF IN PLENUM)	SOLVENT WELD CEMENT (HUBLESS)
WASTE:	BELOW GROUND	PVC	SOLVENT WELD CEMENT
INDIRECT WASTE:	ALL	PVC	SOLVENT WELD CEMENT
VENT:	ALL	PVC	SOLVENT WELD CEMENT
GAS:	ALL	SCHEDULE 40 BLACK IRON	MEGA-PRESS <= 2" (THRD JOINTS AT VALVES, EQPT. ETC.)

22.

PIPING INSULATION SCHEDULE:

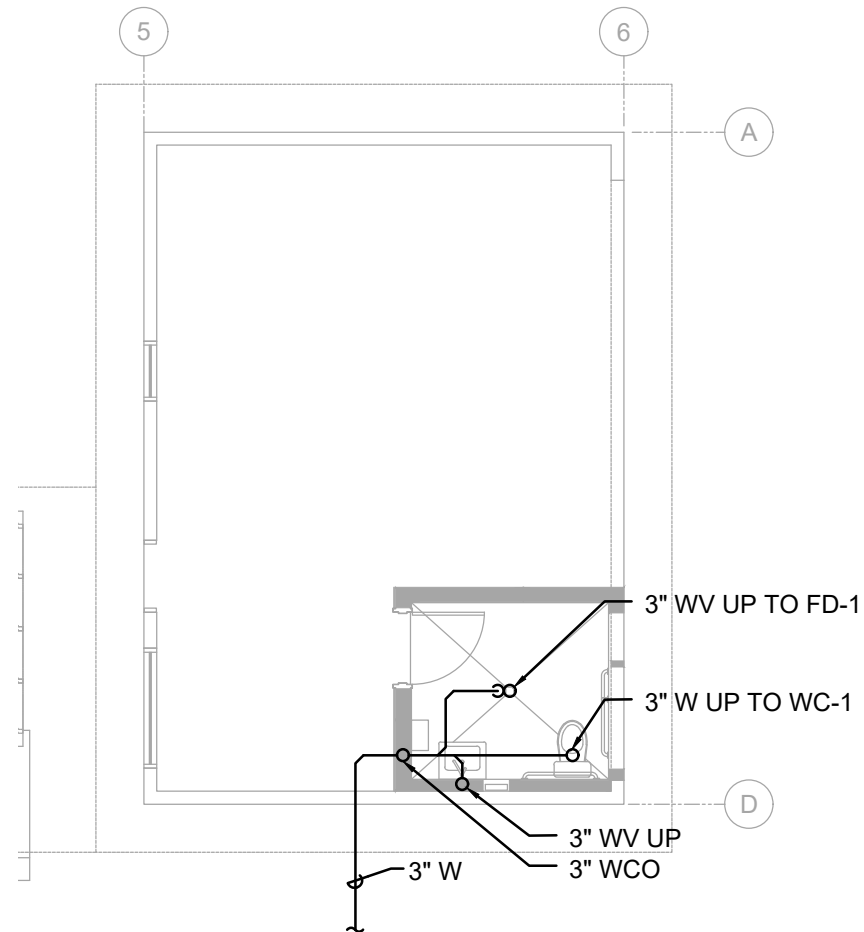
PIPING TYPE	PIPE SIZE	INSULATION TYPE	MATERIAL	INSULATION THICKNESS
UNDERSIDE OF ROOF DRAINS:	ALL	FIBERGLASS	ALL	1/2" MIN. (USE LINE SIZE HANGERS)
OVERHEAD RAIN LEADERS:	ALL	FIBERGLASS	ALL	1/2" MIN. (USE LINE SIZE HANGERS)
VERTICAL RAIN LEADERS:	ALL	NOT REQUIRED	ALL	--
OVERHEAD COLD WATER:	ALL	FIBERGLASS	ALL (EXCEPT PEX)	1/2" MIN. (USE LINE SIZE HANGERS)
HOT WATER	1/2" - 1-1/2"	FIBERGLASS	ALL	1" (USE LINE SIZE HANGERS)
	1-1/2" - 4"	FIBERGLASS	ALL	1-1/2" (USE LINE SIZE HANGERS)

PLUMBING LEGEND

SYMBOL	ABBREV.	DESCRIPTION
----	NG	GAS PIPE
----	DCW	DOMESTIC COLD WATER
----	DHW	DOMESTIC HOT WATER
----	DHWR	DOMESTIC HOT WATER CIRCULATING
----	W	DOMESTIC WASTE
-----	V	DOMESTIC VENT
----	CW	CONDENSATE WATER
----	HPW	HIGH PRESSURE WATER
		ISOLATING VALVE
		GLOBE VALVE
		GATE VALVE
		CHECK VALVE
		BUTTERFLY VALVE
		PRESSURE REDUCING VALVE
		BALL VALVE
		UNION
		BALANCING VALVE
		PETES PLUG
		STRAINER
		MOTORIZED VALVE
		REDUCED PRESSURE BACKFLOW PREVENTER
		PRESSURE REGULATOR VALVE (GAS)
		SOLENOID VALVE (GAS)
		RELIEF VALVE
	PDI-A'	WATER HAMMER ARRESTOR. LETTER INDICATES PLUMBING & DRAINAGE INSTITUTE SIZE.

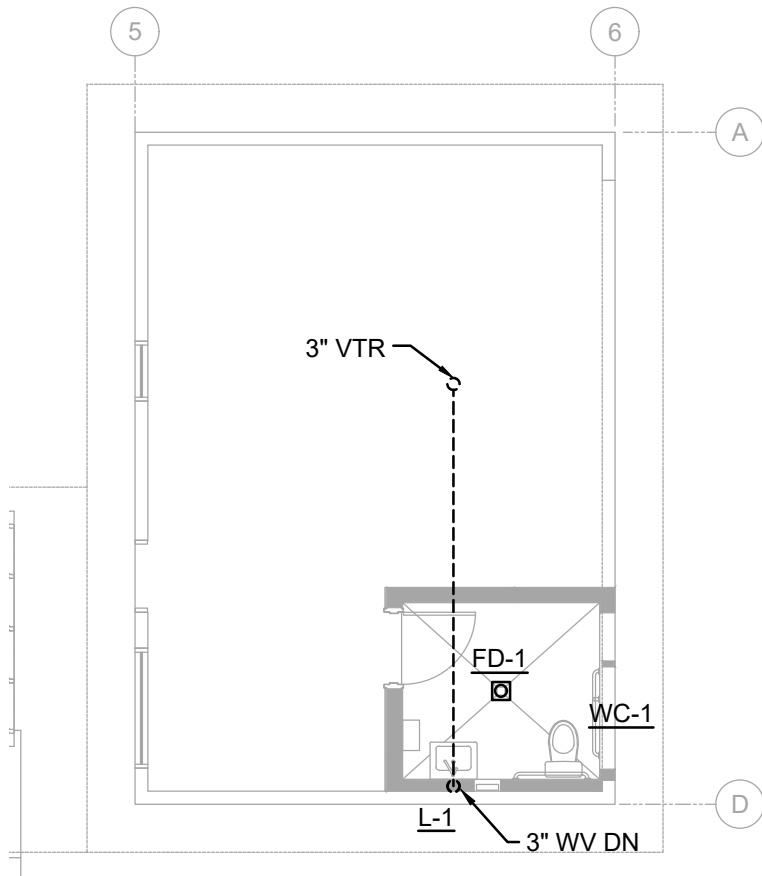
PLUMBING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION		MANUFACTURER & MODEL NUMBERS	W IN	V IN	CW IN	HW IN	GAS IN	ELEC.	REMARKS
WC-1	WATER CLOSET ADA FLOOR MOUNT	TOILET: SEAT: TANK:	PROFLO: PF1403TWH PROFLO: PFTSCOF2000WH PROFLO: PF5112WHM	3"	2"	1"	-	-	-	VERIFY HANDLE ORIENTATION
L-1	LAV WALL-HUNG SINGLE HANDLE	SINK: FAUCET:	NAMEEKS: 042000-U KOHLER: FAIRFAX K-12182-CP	1 1/2"	1 1/2"	1/2"	1/2"	-	-	ONE HOLE SINK
HB-1	HOSE BIB KEY HANDLE	UNIT:	WOODFORD: 65	-	-	3/4"	-	-	-	WITH INTEGRAL VACUUM BREAKER. COORDINATE MOUNTING HEIGHT WITH G.C.
FD-1	LIGHT DUTY FLOOR DRAIN	UNIT:	ZURN: EZ1 (2", 3", 4")	VARIES	-	-	-	-	-	PROVIDE PRECISION PLUMBING PRODUCTS #P-1 TRAP OR EQUAL WHEN REQUIRED
TP-1	TRAP PRIMER	UNIT:	PROFLO:P2500 FOR 1-2 DRAINS - PFPDUU FOR MULTIPLE	-	-	-	-	-	-	PIPE SIZE PER TRAP AND PRIMER INSTRUCTIONS
TWH-1	TANKLESS WATER HEATER	WATER HEATER:	EEMAX SPEX35	-	-	1/2"	1/2"	-	240V	



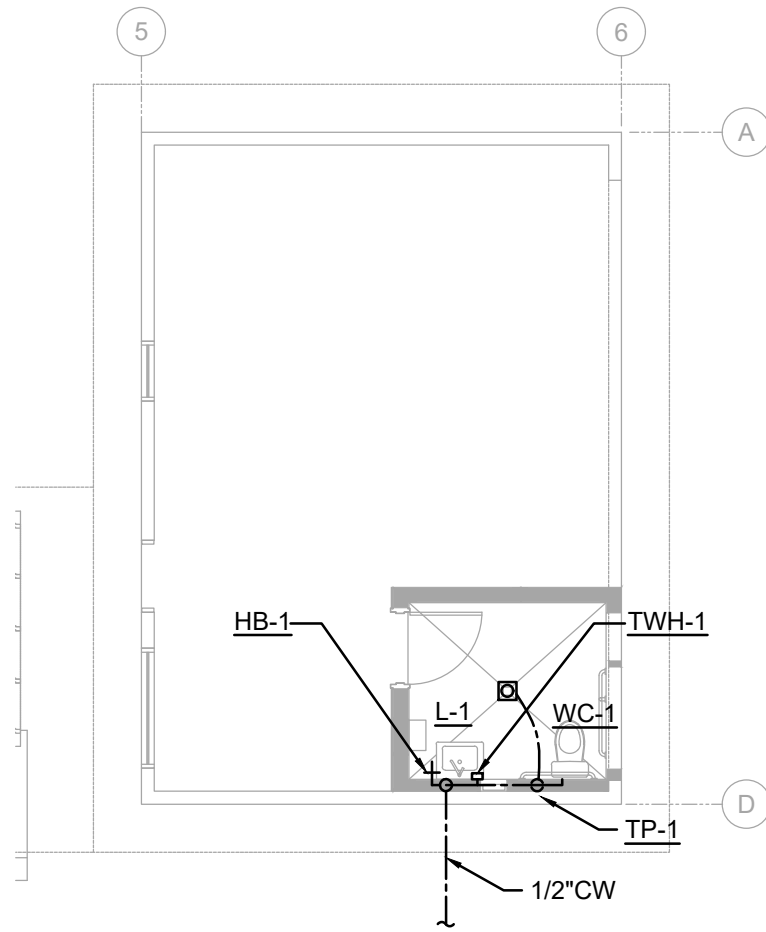
UNDERGROUND DWV PLAN

SCALE: 1/8" = 1' - 0"



1ST FLOOR DWV PLAN

SCALE: 1/8" = 1' - 0"

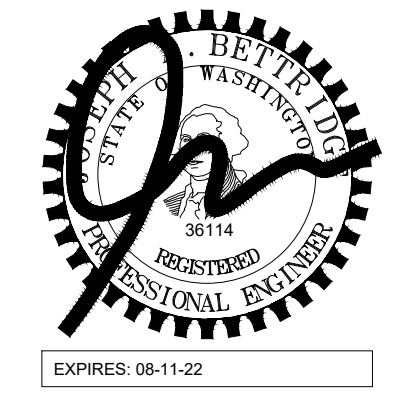


DWS PLAN

SCALE: 1/8" = 1' - 0"



ALL DOCUMENTS, ELECTRONIC OR OTHERWISE, PREPARED BY SUNSET AIR ARE FOR USE SOLELY WITH RESPECT TO THE SUBJECT PROJECT. SUNSET AIR IS THE OWNER OF THE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVE RIGHTS, INCLUDING COPYRIGHTS, EXPRESSLY CONDITIONED UPON SUNSET AIR PERFORMING THE CONSTRUCTION ASSOCIATED WITH THE DOCUMENTS FOR THE PROJECT. SUNSET AIR GRANTS TO CLIENT A NONEXCLUSIVE LICENSE TO REPRODUCE SUNSET AIR'S DOCUMENTS SOLELY FOR PURPOSES OF CONSTRUCTING, USING, AND MAINTAINING THE PROJECT, PROVIDED THAT CLIENT SHALL COMPLY WITH ALL OBLIGATIONS, INCLUDING PROMPT PAYMENT OF ALL SUMS WHEN DUE.



SCHMIDT HOUSE

330 Schmidt Place
Turnwater, WA 98501

DESIGNED BY: JAB
DRAWN BY: ZDW
REVIEWED BY:

REVISIONS
0 04/20/22 PERMIT

PLUMBING PLANS,
GENERAL NOTES AND
SCHEDULES

SHEET NUMBER

P1.0

TUMWATER HISTORIC PRESERVATION COMMISSION CERTIFICATE OF APPROPRIATENESS FOR DESIGN REVIEW

Applicant: Sheila Swalling, Swalling Walk Architects

Name of Property: Schmidt House

Address: 330 Schmidt Place, Tumwater WA 98501

Short description of intended work:

- Construction of a new restroom within the existing carport
- A new ADA platform off of the terrace
- Installation of ductless HVAC, fire suppression and doors in the basement
- Replace existing sidewalk with new, wider walkway

The Tumwater Historic Preservation Commission considered this application and its findings at their meeting on June 16, 2022.

The Tumwater Historical Preservation Commission

- ☐ Awards
- ☐ Does not award
- ☐ Awards with conditions,

a Certificate of Appropriateness to the above applicant. This is for historic preservation concerns only. All other codes and requirements of the City of Tumwater must also be met.

The Conditions of Issuance are as follows: None

In addition, the Tumwater Historic Preservation Commission

- ☐ Recommends
- ☐ Does not recommend
- ☐ Recommends with conditions (as specified above),

that the City of Tumwater Community Development Department issue the appropriate permit(s). In recommending permit issuance, the Historic Preservation Commission believes that historic preservation concerns are adequately addressed. All other codes and requirements of the City of Tumwater must also be met.

David C. Shipley, Chair
Tumwater Historic Preservation Commission

Date Signed

18.26.040 Development regulations.

Development regulations in the HC district are as follows:

A. No building or structure shall be erected, reconstructed, altered, or restored within the Tumwater historic district unless the Tumwater historic preservation commission approves a certificate of appropriateness.

Development that does not require a certificate of appropriateness or review by the commission as listed in TMC [2.62.060](#)(B), as well as the exemptions listed in TMC [18.26.050](#), are exempt from review. An application fee shall be established by resolution of the city council.

B. No building or structure within the Tumwater historic district shall be demolished without first obtaining a waiver of a certificate of appropriateness approved by the commission in accordance with TMC [2.62.060](#)(C)(3). The commission shall be empowered to refuse such a permit for any building or structure of architectural or historic interest, the removal of which in the opinion of the commission would result in adverse impact to the environment and be otherwise detrimental to the general welfare of the city.

C. 1. The commission shall review all plans, elevations, and other information made available by the applicants that is deemed necessary by the commission to determine the appropriateness of any building or structure, including signs, proposed to be erected, reconstructed, altered or restored within the Tumwater historic district.

2. The commission, in passing upon the appropriateness of any such proposal, shall consider, among other things, the extent to which:

- a. The proposed building or structure helps recreate the ambience and landscape of the Tumwater historic district as it existed from 1845 to 1906; and
- b. The proposed building or structure is consistent with the 1993 City of Tumwater New Market Historic District Master Plan (and as amended).
- c. Accessory wireless communication antennas shall be limited to attached devices camouflaged into approved architectural features of an existing structure on the property such that the presence of the device is not detectable, unless otherwise determined to be appropriate pursuant to subsection (C)(3) of this section.*

3. The commission shall make this determination based on how the project addresses the Secretary of the Interior's Standards for the Treatment of Historic Properties (and as amended). Rehabilitation will be the default Secretary of Interior standard used, unless the applicant and the commission mutually agree

to use one of the other three types of Secretary of the Interior's standards: preservation, restoration, or reconstruction, as well as documentation found in the historic register designation report regarding:

- a. The approximate placement of structures, improvements, landscaping, or topological features;
- b. The general design, scale, gross volume, size and height of structures and improvements; and
- c. The exterior texture, color, and materials of construction of structures and improvements.
- d. Historical photographs in the possession of local or state historical repositories shall be the objective standard of what constitutes the ambience and landscape of the Tumwater historic district as it existed from 1845 to 1906.

D. Upon approval of the plans, the commission shall cause a certificate of appropriateness, dated and signed by the mayor, to be issued to the applicant.

E. The building official or director of community development shall stop any work attempted to be done without, or contrary to, a permit issued under this chapter, and shall prosecute any person responsible for such a violation of this chapter or engaged in such violation.

*Use may also be subject to applicable provisions of TMC Chapter [11.20](#), Communication Antennas and Towers. (Ord. O2017-015, Amended, 04/17/2018; Ord. O2010-017, Amended, 12/21/2010; Ord. O97-019, Amended, 06/17/1997; Ord. O96-022, Amended, 12/17/1996; Ord. O95-035, Amended, 12/19/1995; Ord. 1147, Amended, 12/15/1987; Ord. 883, Added, 05/06/1984)

18.26.050 Exemptions to development regulations.

The following types of development are exempt from the requirements of TMC [18.26.040](#), provided the development is consistent with the 1993 City of Tumwater New Market Historic District Master Plan (and as amended):

- A. Ordinary repair and maintenance of existing structures or improvements, including damage by accident, fire, or elements. "Ordinary maintenance" includes those usual acts to prevent a decline, lapse, or cessation from a lawfully established condition. "Ordinary repair" means to restore a development to a state comparable to its original condition after decay or partial destruction;
- B. Emergency construction necessary to protect property from damage by the elements. An "emergency" is an unanticipated and imminent threat to public health, safety, or the environment, which requires immediate action within a time too short to allow full compliance with TMC [18.26.040](#).

TO: Historic Preservation Commission
FROM: Stan Osborn, Parks and Facilities Manager
DATE: June 16, 2022
SUBJECT: Crosby House Projects Update

1) Recommended Action:

Information item to update the Commission.

2) Background:

During the April 21, 2022 meeting, the Commission asked for an update regarding regulations pertaining to the Crosby House roof, gutters, and foundation repairs.

3) Alternatives:

Discussion Item

4) Attachments:

- A. Rehabilitation Standards and Guidelines – National Park Service
- B. Rehabilitation and Illustrated Guidelines – The Secretary of the Interior
- C. Proposal for Crosby House Roof Restoration

Technical Preservation Services

National Park Service
U.S. Department of the Interior



[Home](#) > [The Standards](#) > Rehabilitation Standards and Guidelines

Rehabilitation Standards and Guidelines

The Secretary of the Interior's Standards for Rehabilitation, codified as 36 CFR 67, are regulatory for the [Historic Preservation Tax Incentives program](#). The Guidelines for Rehabilitating Historic Buildings and the Guidelines on Sustainability for Rehabilitating Historic Buildings, which assist in applying the Standards, are advisory.

[Applying the Standards for Rehabilitation](#)

[Guidelines for Rehabilitating Historic Buildings](#)

[Guidelines on Sustainability](#)

[Guidelines on Flood Adaptation for Rehabilitating Historic Buildings](#)

Other Standards and Guidelines:

[Four Treatment Standards: Preservation, Rehabilitation, Restoration, and Reconstruction](#)

[Guidelines for the Treatment of Historic Properties](#)

[History of the Standards](#)

Secretary's Standards for Rehabilitation

The following Standards for Rehabilitation are the criteria used to determine if a rehabilitation project qualifies as a certified rehabilitation. The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction. To be certified, a rehabilitation project must be determined by the Secretary to be consistent with the historic character of the structure(s) and, where applicable, the district in which it is located. The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Guidelines for Rehabilitating Historic Buildings

The [Guidelines](#) assist in applying the Standards to rehabilitation projects in general; consequently, they are not meant to give case-specific advice or address exceptions or rare instances. For example, they cannot tell a building owner which features of an historic building are important in defining the historic character and must be preserved or which features could be altered, if necessary, for the new use. Careful case-by-case decision-making is best accomplished by seeking assistance from qualified historic preservation professionals in the planning stage of the project. Such professionals include architects, architectural historians, historians, archeologists, and others who are skilled in the preservation, rehabilitation, and restoration of the historic properties. These Guidelines are also available in [PDF format](#).

The [Guidelines on Sustainability for Rehabilitating Historic Buildings](#) stress the inherent sustainability of historic buildings and offer specific guidance on “recommended” rehabilitation treatments and “not recommended” treatments, which could negatively impact a building’s historic character. These Guidelines are also available as an [interactive web feature](#).



Technical Preservation Services

Building Exterior **Roofs**

Identify | Protect | Repair | Replace | Missing Feature | Alterations/Additions

< HOME >

**Standards
Guidelines**

Masonry

Wood

Metals

Roofs

Windows

Entrances/Porches

Storefronts

Structural Systems

Spaces/Features/Finishes

Mechanical Systems

Site

Setting

Energy

New Additions

Accessibility

Health/Safety

The roof--with its shape; features such as cresting, dormers, cupolas, and chimneys; and the size, color, and patterning of the roofing material--is an important design element of many historic buildings.

In addition a weathertight roof is essential to the longterm preservation of the entire structure. Historic roofing reflects availability of materials, levels of construction technology, weather, and cost.

For example, throughout the country in all periods of history, **wood shingles** have been used--their size, shape, and detailing differing according to regional craft practices.

European settlers used **clay tile** for roofing as early as the mid-17th century. In some cities, such as New York and Boston, clay was popularly used as a precaution against fire. The Spanish influence in the use of clay tile is found in the southern, southwestern and western states. In the mid-19th century, tile roofs were often replaced by **sheet metal**, which is lighter and easier to maintain. Evidence of the use of **slate** for roofing dates from the mid-17th century. Slate has remained popular for its durability, fireproof qualities, and its decorative applications. The use of metals for roofing and roof features dates from the 18th century, and includes the use of **sheet iron, corrugated iron, galvanized metal, tin-plate, copper, lead and zinc**. Awareness of these and other traditions of roofing materials and their detailing will contribute to more sensitive treatment.



Slate and copper mansard roofs in an urban canyon.

Roofs

....Identify, retain, and preserve

recommended.....



Copper and wrought iron weathervane.

Identifying, retaining, and preserving roofs--and their functional and decorative features--that are important in defining the overall historic character of the building.

This includes the roof's shape, such as hipped, gambrel, and mansard; decorative features, such as cupolas, cresting chimneys, and weathervanes; and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.

not recommended.....

Radically changing, damaging, or destroying roofs which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the roof or roofing material that is repairable, then reconstructing it with new material in order to create a uniform, or "improved" appearance.

Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights so that the historic character is diminished.

Stripping the roof of sound historic material such as slate, clay tile, wood, and architectural metal.

Applying paint or other coatings to roofing material which has been historically uncoated.

Roofs

....Protect and Maintain



recommended.....

Protecting and maintaining a roof by cleaning the gutters and downspouts and replacing deteriorated flashing.

Roof sheathing should also be checked for proper venting to prevent moisture condensation and water penetration; and to insure that materials are free from insect infestation.

Providing adequate anchorage for roofing material to guard against wind damage and moisture penetration.



Gable and pent roof in excellent condition.

Protecting a leaking roof with plywood and building paper until it can be properly repaired.

not recommended.....

Failing to clean and maintain gutters and downspouts properly so that water and debris collect and cause damage to roof fasteners, sheathing, and the underlying structure.

Allowing roof fasteners, such as nails and clips to corrode so that roofing material is subject to accelerated deterioration.

Permitting a leaking roof to remain unprotected so that accelerated deterioration of historic building materials--masonry, wood, plaster, paint and structural members--occurs.

Roofs

....Repair



recommended.....

Repairing a roof by reinforcing the historic materials which comprise roof features.

Repairs will also generally include the limited replacement in kind--or with compatible substitute material--of those extensively deteriorated or missing parts of features when there are surviving prototypes such as cupola louvers, dentils, dormer roofing; or slates, tiles, or wood shingles on a main roof.



Repairing slate roof using traditional methods.

not recommended.....

Replacing an entire roof feature such as a cupola or dormer when repair of the historic materials and limited replacement of deteriorated or missing parts are appropriate.

Failing to reuse intact slate or tile when only the roofing substrate needs replacement.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the roof or that is physically or chemically incompatible.

Roofs**....Replace****recommended.....**

Replacing in kind an entire feature of the roof that is too deteriorated to repair--if the overall form and detailing are still evident--using the physical evidence as a model to reproduce the feature.



Replacement of damaged clay tile roof.

Examples can include a large section of roofing, or a dormer or chimney.

If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

not recommended.....

Removing a feature of the roof that is unrepairable, such as a chimney or dormer, and not replacing it; or replacing it with a new feature that does not convey the same visual appearance

Design for Missing Historic Features

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

recommended.....

Designing and constructing a new feature when the historic feature is completely missing, such as a chimney or cupola. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

not recommended.....

Creating a false historical appearance because the replaced feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new roof feature that is incompatible in size, scale, material and color.

Alterations/Additions for the New Use

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

recommended.....

Installing mechanical and service equipment on the roof, such as air conditioning, transformers, or solar collectors when required for the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

Designing additions to roofs such as residential, office, or storage spaces; elevator housing; decks and terraces; or dormers or skylights when required by the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.



Non-obtrusive skylights on rear of residence.

not recommended.....

Installing mechanical or service equipment so that it damages or obscures character-defining features; or is conspicuous from the public right-of-way.

Radically changing a character-defining roof shape or damaging or destroying character-defining roofing material as a result of incompatible design or improper installation techniques.



[Home](#) | [Next](#) | [Previous](#)



Garland/DBS, Inc.
3800 East 91st Street
Cleveland, OH 44105
Phone: (800) 762-8225
Fax: (216) 883-2055



ROOFING MATERIAL AND SERVICES PROPOSAL

Crosby House Roof Restoration
City of Tumwater
703 Deschutes Parkway
Tumwater, WA 98501

Date Submitted: 5/05/2022
Proposal #: 25-WA-220506
MICPA # PW1925

Washington General Contractor License #: UBI # 603-013-262 GARLAI*903K4

Purchase orders to be made out to: Garland/DBS, Inc.

Please Note: The following budget/estimate is being provided according to the pricing established under the Master Intergovernmental Cooperative Purchasing Agreement (MICPA) with Racine County, WI and OMNIA Partners, Public Sector (U.S. Communities). The line item pricing breakdown from Attachment C: Bid Form should be viewed as the maximum price an agency will be charged under the agreement. Garland/DBS, Inc. administered an informal competitive process for obtaining quotes for the project with the hopes of providing a lower market-adjusted price whenever possible.

Scope of Work:

1. Set-up job site safety and procure local roofing permit.
2. Tear-off existing wood shake roof.
3. Check all decking to ensure no rot.
4. Install full Ice and Water shield over roof.
5. Install 1/2" treated wood roofing shakes.
6. Clean up and repair all damaged landscaping.

Garland/DBS Price Based Upon Local Market Competition:

Olympic Roofing	\$	115,524
Torres & Torres Roofing and Sheetmetal	\$	177,636

Add Alternate 1: Provide and install 3/4" Wood Shakes vs. 1/2":	\$	6,840.00
Add Alternate 2: Provide and install 1/2" round copper gutter / downspouts:	\$	29,640.00

Potential issues that could arise during the construction phase of the project will be addressed via unit pricing for additional work beyond the scope of the specifications. This could range anywhere from wet insulation, to the replacement of deteriorated wood nailers.

Please Note – The construction industry is experiencing unprecedented global pricing and availability pressures for many key building components. Specifically, the roofing industry is currently experiencing long lead times and significant price increases with roofing insulation and roofing fasteners. Therefore, this proposal can only be held for 30 days. DBS greatly values your business, and we are working diligently with our long-term suppliers to minimize price increases and project delays which could effect your project. Thank you for your understanding and cooperation.

Clarifications/Exclusions:

1. Sales and use taxes are excluded. Please add applicable Washington State Taxes in addition to the final proposal price.
2. Permits are included.
3. Bonds are included.
4. Plumbing, Mechanical, Electrical work is excluded.
5. Masonry work is excluded.
6. Interior Temporary protection is excluded.
7. Any work not exclusively described in the above proposal scope of work is excluded.

If you have any questions regarding this proposal, please do not hesitate to call me at my number listed below.

Respectfully Submitted,

Joshua Perry

Joshua Perry
Garland/DBS, Inc.
(216) 430-3635