



## TUALATIN ARCHITECTURAL REVIEW BOARD MEETING

WEDNESDAY, FEBRUARY 22, 2023

TUALATIN CITY SERVICE CENTER  
10699 SW HERMAN ROAD  
TUALATIN, OR 97062

### Join Zoom Meeting

<https://us02web.zoom.us/j/89226647182?pwd=R3BrOU5MSnRPcVNUUytwU0pPbUZmQT09>

Meeting ID: 892 2664 7182

Passcode: 981326

Find your local number: <https://us02web.zoom.us/u/kCkj1M48B>

---

### CALL TO ORDER & ROLL CALL

### ANNOUNCEMENTS & COMMUNICATION

### COMMUNICATION FROM THE PUBLIC (NOT ON THE AGENDA)

### ACTION ITEMS

### COMMUNICATION FROM CITY STAFF

1. Consideration of an Architectural Review application (AR 22-0008) for 45 new attached townhome units in an existing multi-family development on a 16.7 acre site in the Medium High Density Residential (RMH) zone at 7800 SW Sagert Street and 20400 SW Martinazzi Avenue (Washington County Tax Lot: 2S125BA00100).

### FUTURE ACTION ITEMS

### ADJOURNMENT



**TO:** Architectural Review Board

**THROUGH:** Steve Koper, AICP, Assistant Community Development Director

**FROM:** Keith Leonard, AICP, Associate Planner

**DATE:** February 22, 2023

---

**SUBJECT:**

Consideration of an Architectural Review application (AR 22-0008) for 45 new attached townhome units in an existing multi-family development on a 16.7 acre site in the Medium High Density Residential (RMH) zone at 7800 SW Sagert Street and 20400 SW Martinazzi Avenue (Washington County Tax Lot: 2S125BA00100).

**RECOMMENDATION:**

Based on the analysis and findings, as well as the application materials demonstrating compliance with the applicable review criteria, staff respectfully recommends approval of the subject Architectural Review application (AR 22-0008), subject to the recommended conditions of approval in the attached Analysis and Findings.

**EXECUTIVE SUMMARY:**

- The subject proposal is a Type III land use case, subject to a quasi-judicial hearing before the Architectural Review Board.
- The subject site comprises 16.7 acres of land in the Medium High Density Residential zone, located south of SW Sagert Street, east of SW Martinazzi Avenue, north of SW Avery Street and west of I-5 exit to I-205. The land is currently occupied by 211 multiple family units in 26 buildings and abuts the Methodist Church of Tualatin campus along the western property line of the subject property. There are currently 361 parking spaces for the existing development.
- The applicant proposes to demolish two existing buildings and add an additional 12 buildings that will consist of multi-story townhomes. The proposed development will increase the total number of dwelling units to 240 within 36 buildings. The new units will be two and three bedrooms. The applicant is proposing to add 8 carports with 132 spaces for an overall total of 442 off-street parking spaces to serve the entire apartment community. An existing basketball court and other paved play area will be removed for the proposed construction. An existing swimming pool will remain. There will be 5 outdoor play areas to serve all the residents.
- The applicant has also proposing removal of 49 trees and have submitted a Tree Removal Permit in conjunction with this Architectural Review.
- There are existing City utilities that will adequately serve the site.
- Public comments - No public comments were received as off the date this staff report was drafted.

**OUTCOMES OF DECISION:**

Approval of AR 22-0008 will facilitate construction of the proposed development.

**ALTERNATIVES TO RECOMMENDATION:**

The Architectural Review Board may alternatively:

- Approve AR 22-0008 with conditions of approval and direct staff to provide updated Analysis and Findings;
  - Continue the hearing to a later date for further consideration; or
  - Deny AR 22-0008.
- 

**ATTACHMENTS:**

- Attachment A - Analysis and Findings
- Attachment B - Presentation
- Exhibit 1 - Narrative
- Exhibit 2 – Plan Set and Elevations
- Exhibit 3 – Tree Assessment Report
- Exhibit 4 – Transportation Impact Analysis
- Exhibit 5 – Preliminary Stormwater Report
- Exhibit 6 – Supporting Documents
- Exhibit A - Engineering Memo for AR22-0008 Revised
- Exhibit B – Public Noticing Requirements
- Exhibit C – Tualatin Valley Fire & Rescue Conditions
- Exhibit D – Clean Water Services Memorandum
- Exhibit E – ODOT Response
- Exhibit F – Figure 73-1 Parking Space Design Standards
- Exhibit G – Figure 73-2 Vision Clearance Area
- Exhibit H – Map 8-1 Tualatin Functional Classification Plan
- Exhibit I – Map 8-4 Tualatin Bicycle and Pedestrian Plan
- Exhibit J – Map 8-5 Tualatin Transit Plan
- Exhibit K – Applicant email with public improvement cost estimate

**AR 22-0008**  
**Alden Apartments**  
**7800 SW Sagert Street and 20400**  
**SW Martinazzi Avenue**



**AR 22-0008**  
**Alden Apartments**

**ARCHITECTURAL REVIEW BOARD**  
**FEBRUARY 22, 2023**

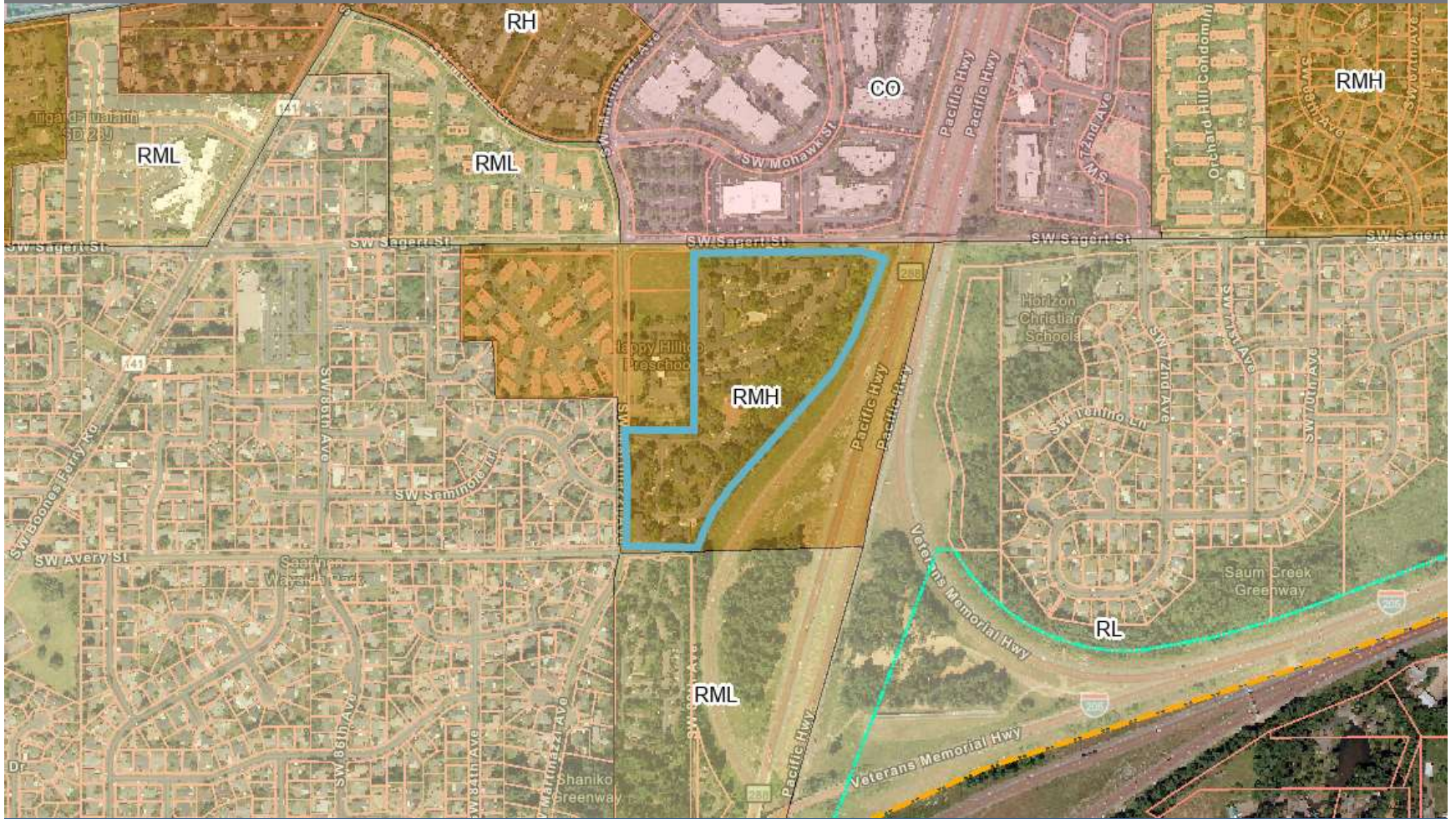


# Tonight's Presentation

1. Site Background
2. Project Overview
3. Applicable Criteria
4. Conclusion



# Site Background

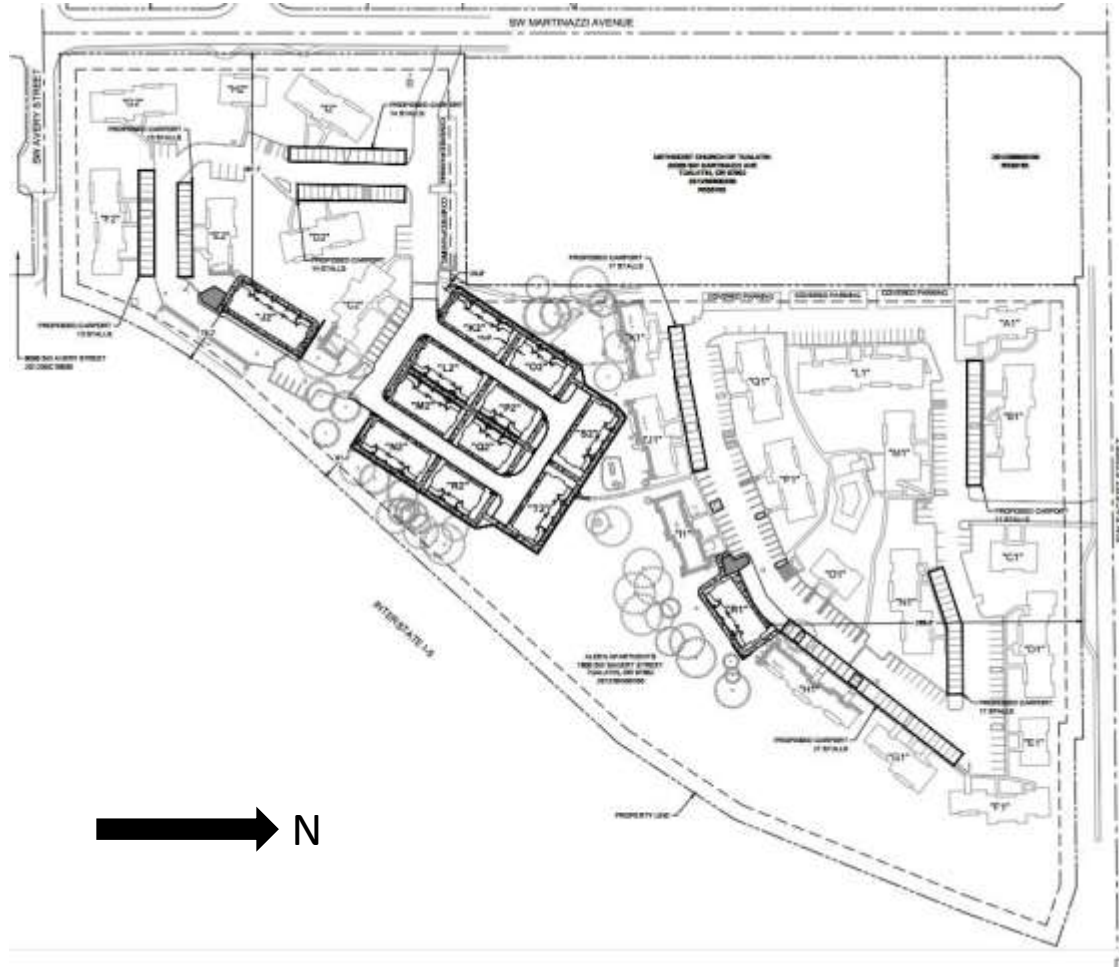


AR 22-0008  
Alden Apartments

ARCHITECTURAL REVIEW BOARD  
FEBRUARY 22, 2023



# Project Overview



AR 22-0008  
Alden Apartments

ARCHITECTURAL REVIEW BOARD  
FEBRUARY 22, 2023



# Procedures (TDC 32.230)

## **Type III Architectural Review:**

- Application 1<sup>st</sup> submitted – September 1, 2022
- Additional Information Submitted on September 27<sup>th</sup>, October 5<sup>th</sup> and October 10<sup>th</sup>
- Deemed complete – September 29, 2022
- Notice of Hearing sent – November 9, 2022
- Public Hearing – February 22, 2023
- Extension of Final Decision – April 25, 2023





# Architectural Review (TDC 33.020)

## **Architectural Review for Large Multi-family**

**Developments:** Approval criteria listed in Chapter 73A through 73G, including:

- Site Design Standards
- Landscaping Standards
- Parking Standards
- Waste & Recyclable Management Standards

**Conditions of Approval:** may implement identified public facilities and services needed to serve the proposed development through Chapters 74 and 75.

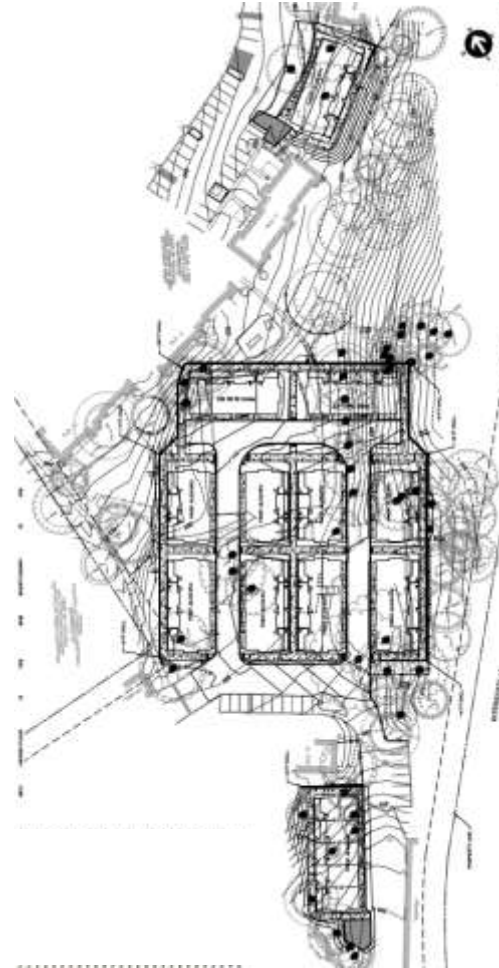


# Tree Removal (TDC 33.110)

**The application includes tree removal:**

Approval Criteria

- The tree is diseased;
- The tree is a hazard;
- Necessary to remove tree to construct proposed improvements





# RMH Zone (TDC 42)

## The proposal complies with zoning:

- Permitted uses
- Setbacks
- Building height

| USE CATEGORY                                | STATUS      |          |
|---|-------------|----------|
| Household Living:<br>Multi-family structure | Permitted   |          |
| STANDARD                                    | REQUIREMENT | PROPOSED |
| <i>Front (Sagert/Matinazzi) (Min.)</i>      | 35 ft       | 61.2 ft  |
| <i>Side/Rear (Min.)</i>                     | 12 ft       | 20 ft    |
| <i>Between Buildings (Min.)</i>             | 10 ft       | 15 ft    |
| <i>Parking Buffer (Min)</i>                 | 10 ft       | 20 ft    |
| <b>Building Height (Max):</b>               | 35 ft       | 35 ft    |

AR 22-0008  
Alden Apartments

ARCHITECTURAL REVIEW BOARD  
FEBRUARY 22, 2023



# Site Design (TDC 73A)

**The proposal complies with requirements for:**

- Private Outdoor Areas
- Entry Areas
- Shared Outdoor Areas
- Children's Play Areas
- Storage
- Walkways/Accessways
- Lighting
- Safety & Security
- Service, Delivery & Screening



AR 22-0008  
Alden Apartments

ARCHITECTURAL REVIEW BOARD  
FEBRUARY 22, 2023



# Proposed Building Design (TDC 73A)



AR 22-0008  
Alden Apartments

ARCHITECTURAL REVIEW BOARD  
FEBRUARY 22, 2023



# Building Design (TDC 73A)



Alden Apartment (existing front)



Alden Apartments (existing rear)

**AR 22-0008**  
**Alden Apartments**

**ARCHITECTURAL REVIEW BOARD**  
**FEBRUARY 22, 2023**



# Building Design (TDC 73A)



Martinazzi Village (south)



Office (north)

AR 22-0008  
Alden Apartments

ARCHITECTURAL REVIEW BOARD  
FEBRUARY 22, 2023



# Building Design (TDC 73A)



Tualatin Methodist Church (west)



Single Family Home (west)

AR 22-0008  
Alden Apartments

ARCHITECTURAL REVIEW BOARD  
FEBRUARY 22, 2023

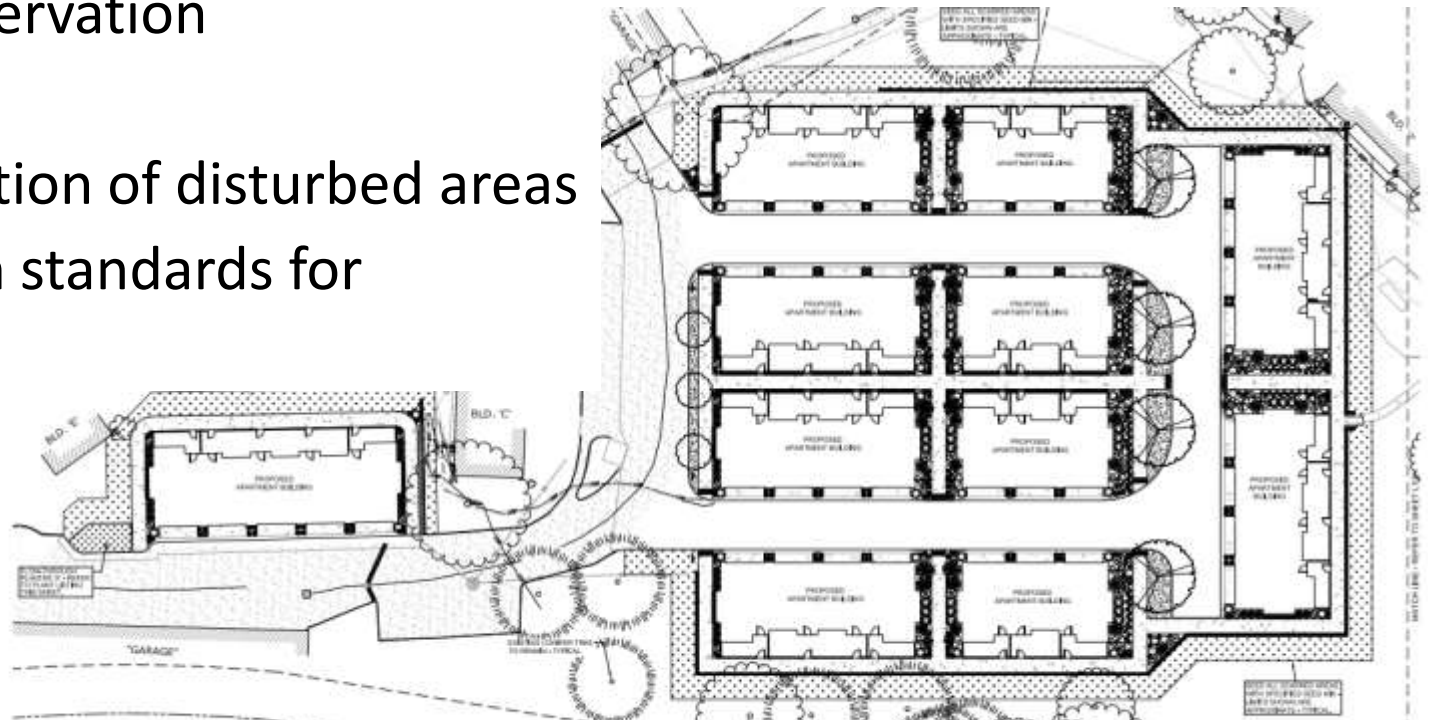




# Landscaping Standards (TDC 73B)

The application demonstrates the proposal complies with requirements for:

- Tree preservation
- Irrigation
- Revegetation of disturbed areas
- Minimum standards for plantings



AR 22-0008  
Alden Apartments

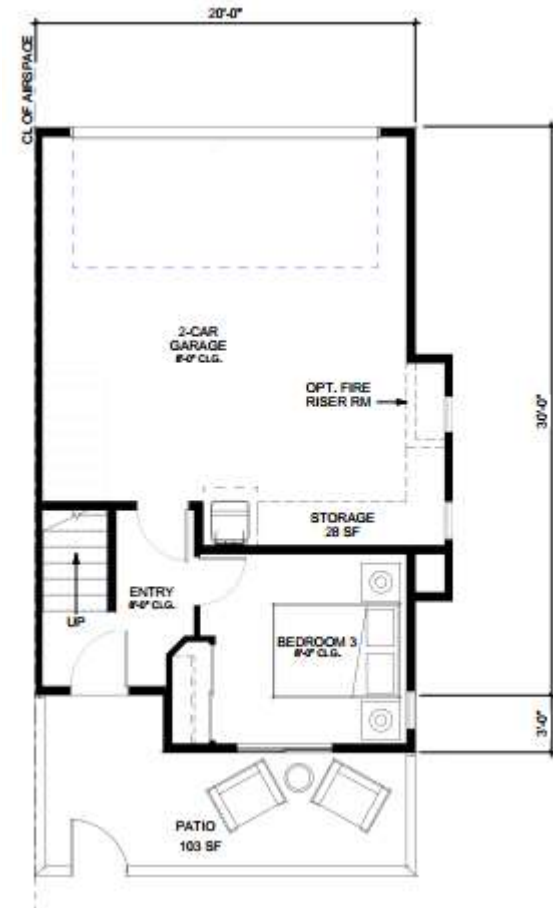
ARCHITECTURAL REVIEW BOARD  
FEBRUARY 22, 2023



# Parking Standards (TDC 73C)

The application demonstrates the proposal complies with requirements for:

- Minimum parking requirements (361 required\* & 442 provided)
- Bike parking (45 units, bicycle parking within each units garages)
- Parking / drive aisle standards
- Parking lot landscaping
- 8 carports are proposed for the existing parking lot

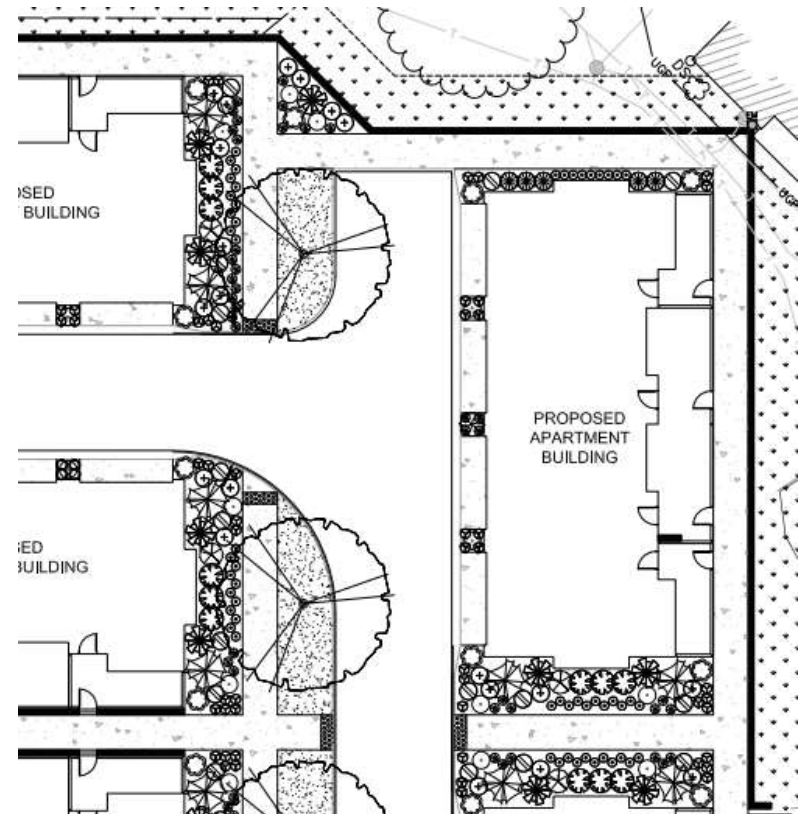




# Parking Standards (TDC 73C)

**With conditions, the proposal complies with TDC 73C.210(2):**

- Clear vision zone must be maintained at ends of on-site drive aisles and at driveway entrances, vertically between a maximum of 30 inches and a minimum of eight feet as measured from the ground level.





# Waste and Recyclables (TDC 73D)

**The application demonstrates the proposal complies with requirements for:**

- Minimum Storage Area
- Per Republic Services, Waste and Recyclables placed at the end of each units driveway for pickup



# Public Improvements (TDC 74) and Access Management (TDC 75)

**With conditions, the proposal complies with public improvement and access management standards.**

- Right-of-Way and easement dedications required
- Street improvements have been conditioned
- Public utility standards met by condition (Water, Sanitary Sewer, Storm Sewer)
- Grading and erosion control standards will apply through construction
- No access location modifications are proposed to SW Martinazzi Avenue or SW Sagert Street.
- Modifications to streets will be required to match existing cross-section



# Conclusion

- The findings demonstrate that the proposal meets the applicable criteria of the Tualatin Development Code with the recommended Conditions of Approval.
- Therefore, staff respectfully recommends approval of the subject Architectural Review application (AR 22-0008), as conditioned.
- Questions?



**ANALYSIS AND FINDINGS**  
**ALDEN APARTMENTS**

**ARB Hearing: February 22, 2022**

---

|                 |  |
|-----------------|--|
| Case #:         | AR 22-0008   |
| Project:        | Alden Apartments   |
| Location:       | 7800 SW Sagert Street and 20400 SW Martinazzi Avenue, Tax Map/Lot:<br>2S125BA00100 |
| Representative: | Heather Austin, AICP, 3j Consulting, Inc.  |
| Owner:          | CR Alden Communities, LLC  |

---

**TABLE OF CONTENTS**

|      |   |    |
|------|---|----|
| I.   | INTRODUCTION .....  | 2  |
| II.  | PLANNING FINDINGS.....  | 6  |
|      | Chapter 32: Procedures .....                                  | 6  |
|      | Chapter 33: Applications and Approval Criteria .....          | 16 |
|      | Chapter 42 – Medium High Density Residential (RMH) Zone.....  | 18 |
|      | Chapter 73A: Site Design .....                                | 21 |
|      | Chapter 73B: Landscaping Standards .....                      | 25 |
|      | Chapter 73C: Parking Standards .....                          | 29 |
|      | Chapter 73D: Waste and Recyclables Management Standards ..... | 35 |
|      | Chapter 74: Public Improvement Requirements .....             | 38 |
|      | Chapter 75 Access Management .....                            | 46 |
| III. | RECOMMENDATION.....   | 50 |

*Arrangements can be made to provide these materials in alternative formats such as large type or audio recording. Please contact the Planning Division at 503.691.3026 and allow as much lead time as possible.*

## I. INTRODUCTION

### A. Applicable Criteria

The following Chapters of the Tualatin Development Code (TDC) are applicable to the subject proposal:

- TDC 32: Procedures
- TDC 33.020: Architectural Review
- TDC 33.110: Tree Removal Permit/Review
- TDC 42: Medium High Density Residential (RH) Zone
- TDC 73A: Site Design Standards
- TDC 73B: Landscaping Standards
- TDC 73C: Parking Standards
- TDC 73D: Waste and Recyclables Management Standards
- TDC 74: Public Improvements
- TDC 75: Access

### B. Site Description

The subject site is a 16.7 acre property with the street addresses of 7800 SW Sagert Street and 20400 SW Martinazzi Avenue (Washington County Tax Lot: 2S125BA00100). As illustrated in Figure 1, the site is zoned Medium High Density Residential (RMH). Access is provided from SW Sagert Street and SW Martinazzi Avenue. SW Avery Street also abuts the site to the south but there is no ingress/egress access. The I-205 eastbound exit ramp from I-5 abuts the property to the east. Alden Apartments currently consists of 26 buildings with 211 dwelling units that are served by 372 off-street parking spaces. The land reaches a high point of 254 feet in elevation near the center of the property and has lower elevations around the perimeter of the property.



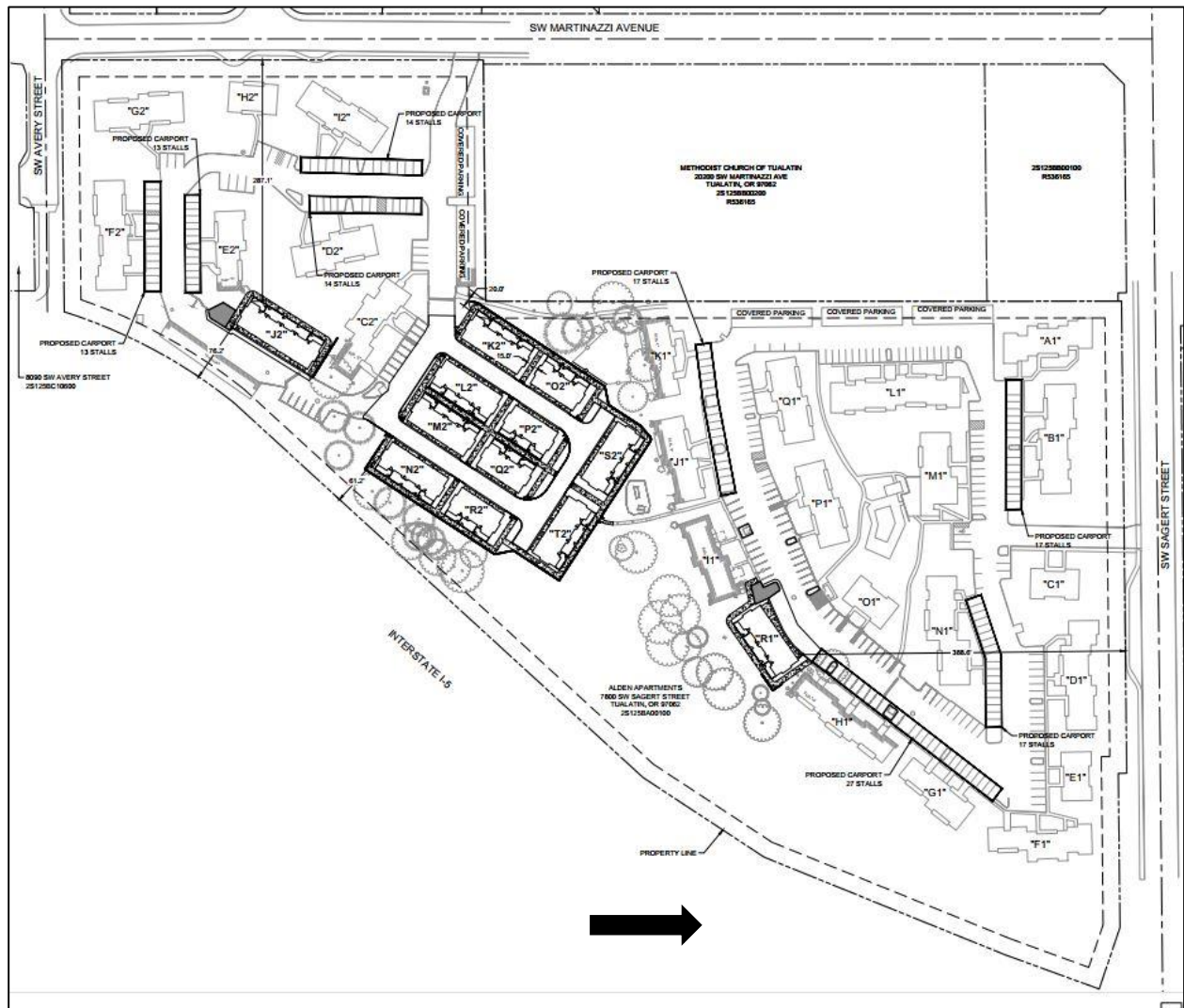
Figure 1: Aerial view of subject site (highlighted)



### C. Proposed Project

As described in the applicant’s narrative and illustrated on their plan set (Exhibit A1 and A2), CR Alden Communities, LLC. proposes to demolish 2 existing buildings and construct 12 new buildings consisting 45 townhouses. There will be four 3-unit buildings, seven 4-unit buildings and one 5-unit building. There are currently 211 dwelling units spread throughout 26 buildings. The proposed development would increase the total number of dwelling units to 240 within 36 buildings (Figure 2). Eight new carports will be constructed within the existing parking lots. A total of 442 parking spaces will be provided for all units within Alden Apartments. An existing basketball court and other paved play areas will be removed for the proposed construction. There will be 5 outdoor play areas to serve the entire development. The existing swimming pool will also remain.

Figure 2: Site Plan (overview)



In conjunction with this Architectural Review application, the applicant has submitted a Tree Removal Permit application. The Arborists’ Tree Assessment Report (Exhibit A3) surveyed 88 trees and recommends the preservation of 37 on-site trees that are over 8” in diameter. There will be a total of 49 trees removed with two other non-regulated trees proposed for removal.

#### **D. Previous Land Use Actions**

- ANN69-01 Property Annexed into Tualatin
- AR78-03 Phase I Maricopa Hills
- AR78-24 Phase II Maricopa Hills

#### **E. Surrounding Uses**

Adjacent land uses and zoning includes:

North: Office Commercial Zone (CO)

- Office
- SW Sagert Street

East: Medium High Density Residential Zone (RMH)

- I-205 On Ramp to I-5

South: Medium Low Density Residential Zone (RML)

- Multi-Family Residential
- SW Avery Street

West: Medium High Density Residential Zone (RMH) and Low Density Residential Zone (RL)

- Single Family Residential Property
- Duplex and Triplex Residential Development
- Tualatin United Methodist Church Campus
- Vacant
- SW Martinazzi Avenue

#### **F. Exhibit List**

Exhibit 1 - Narrative

Exhibit 2 – Plan Set and Elevations

Exhibit 3 – Tree Assessment Report

Exhibit 4 – Transportation Impact Analysis

Exhibit 5 – Preliminary Stormwater Report

Exhibit 6 – Supporting Documents

Exhibit A – Engineering Memo for AR22-0008 Revised

Exhibit B – Public Noticing Requirements

Exhibit C – Tualatin Valley Fire & Rescue Conditions

Exhibit D – Clean Water Services Memorandum

Exhibit E – ODOT Response

Exhibit F – Figure 73-1 Parking Space Design Standards

Exhibit G – Figure 73-2 Vision Clearance Area

Exhibit H – Map 8-1 Tualatin Functional Classification Plan

Exhibit I – Map 8-4 Tualatin Bicycle and Pedestrian Plan

Exhibit J – Map 8-5 Tualatin Transit Plan

Exhibit K – Applicant email with public improvement cost estimate



## II. PLANNING FINDINGS

*These findings reference the Tualatin Development Code (TDC), unless otherwise noted.*

### Chapter 32: Procedures

#### Section 32.010 – Purpose and Applicability.

[...]

**(2) Applicability of Review Procedures.** All land use and development permit applications and decisions, will be made by using the procedures contained in this Chapter. The procedure “type” assigned to each application governs the decision-making process for that permit or application. There are five types of permit/application procedures as described in subsections (a) through (e) below. Table 32-1 lists the City’s land use and development applications and corresponding review procedure(s).

[...]

**(c) Type III Procedure (Quasi-Judicial Review – Public Hearing).** Type III procedure is used when the standards and criteria require discretion, interpretation, or policy or legal judgment. Quasi-Judicial decisions involve discretion but implement established policy. Type III decisions are made by the Planning Commission or Architectural Review Board and require public notice and a public hearing, with an opportunity for appeal to the City Council.

[...]

**(3) Determination of Review Type.** Unless specified in Table 32-1, the City Manager will determine whether a permit or application is processed as Type I, II, III, IV-A or IV-B based on the descriptions above. Questions regarding the appropriate procedure will be resolved in favor of the review type providing the widest notice and opportunity to participate. An applicant may choose to elevate a Type I or II application to a higher numbered review type, provided the applicant pays the appropriate fee for the selected review type.

**Table 32-1 – Applications Types and Review Procedures**

| Application / Action  | Type | Decision Body* | Appeal Body* | Pre-Application Conference Required | Neighborhood /Developer Mtg Required | Applicable Code Chapter |
|---|------|----------------|--------------|-------------------------------------|--------------------------------------|-------------------------|
| <b>Architectural Review</b>   |      |                |              |                                     |                                      |                         |
| Multifamily Housing Projects 100 units and above (or any number of units abutting a single family district)<br>•as requested by the CM            | III  | ARB            | CC           | Yes                                 | Yes                                  | TDC 33.020              |
| [...]   |      |                |              |                                     |                                      |                         |
| * City Council (CC); Planning Commission (PC); Architectural Review Board (ARB); City Manager or designee (CM); Land Use Board of Appeals (LUBA). |      |                |              |                                     |                                      |                         |

#### **Finding:**

*Alden Apartments currently has 211 dwelling units. The proposal is requesting an increase of 29 units for a total of 240 units. Additionally, the subject property abuts RL and RML zoned properties. Therefore the proposed project will require a Type III Review according to Table 32-1. The application has been processed according to the applicable code for Type III procedures. This standard is met.*

**Section 32.030 – Time to Process Applications.**

**(1) Time Limit - 120-day Rule.** The City must take final action on all Type II, Type III, and Type IV-A land use applications, as provided by ORS 227.178, including resolution of all local appeals, within 120 days after the application has been deemed complete under TDC 32.160, unless the applicant provides written request or consent to an extension in compliance with ORS 227.178. (Note: The 120-day rule does not apply to Type IV-B (Legislative Land Use) decisions.)

[...]

**Finding:**

*The application was deemed complete on September 29, 2022, while the hearing for AR 22-0008 is scheduled for November 30, 2022. The applicant requested an extension in writing from March 28, 2023 until April 25, 2023. Final action will take place by April 25, 2023 in compliance with ORS 227.178. This standard is met.*

**Section 32.110 – Pre-Application Conference.**

**(1) Purpose of Pre-Application Conferences.** Pre-application conferences are intended to familiarize applicants with the requirements of the TDC; to provide applicants with an opportunity discuss proposed projects in detail with City staff; and to identify approval criteria, standards, and procedures prior to filing a land use application. The pre-application conference is intended to be a tool to assist applicants in navigating the land use process, but is not intended to be an exhaustive review that identifies or resolves all potential issues, and does not bind or preclude the City from enforcing any applicable regulations or from applying regulations in a manner differently than may have been indicated at the time of the pre-application conference.

**(2) When Mandatory.** Pre-application conferences are mandatory for all land use actions identified as requiring a pre-application conference in Table 32-1. An applicant may voluntarily request a pre-application conference for any land use action even if it is not required.

**(3) Timing of Pre-Application Conference.** A pre-application conference must be held with City staff before an applicant submits an application and before an applicant conducts a Neighborhood/Developer meeting.

**(4) Application Requirements for Pre-Application Conference.**

**(a) Application Form.** Pre-application conference requests must be made on forms provided by the City Manager.

**(b) Submittal Requirements.** Pre-application conference requests must include:

**(i)** A completed application form;

**(ii)** Payment of the application fee;

**(iii)** The information required, if any, for the specific pre-application conference sought; and

**(iv)** Any additional information the applicant deems necessary to demonstrate the nature and scope of the proposal in sufficient detail to allow City staff to review and comment.

**(5) Scheduling of Pre-Application Conference.** Upon receipt of a complete application, the City Manager will schedule the pre-application conference. The City Manager will coordinate the involvement of city departments, as appropriate, in the pre-application conference. Pre-application conferences are not open to the general public.

**(6) Validity Period for Mandatory Pre-Application Conferences; Follow-Up Conferences.** A follow-up conference is required for those mandatory pre-application conferences that have previously been held when:

**(a)** An application relating to the proposed development that was the subject of the pre-application conference has not been submitted within six (6) months of the pre-application conference;

- (b) The proposed use, layout, and/or design of the proposal have significantly changed; or**
- (c) The owner and/or developer of a project changes after the pre-application conference and prior to application submittal.**

**Finding:**

*The subject land use action is identified as requiring a pre-application conference in Table 32-1. The applicant participated in a pre-application meeting on March 9, 2022, within the six month deadline for application submittal after the applicant and representative of the property owner attended a preapplication meeting. These standards are met.*

**Section 32.120 – Neighborhood/Developer Meetings.**

- (1) Purpose.** The purpose of this meeting is to provide a means for the applicant and surrounding property owners to meet to review a development proposal and identify issues regarding the proposal so they can be considered prior to the application submittal. The meeting is intended to allow the developer and neighbors to share information and concerns regarding the project. The applicant may consider whether to incorporate solutions to these issues prior to application submittal.
- (2) When Mandatory.** Neighborhood/developer meetings are mandatory for all land use actions identified in Table 32-1 as requiring a neighborhood/developer meeting. An applicant may voluntarily conduct a neighborhood/developer meeting even if it is not required and may conduct more than one neighborhood/developer meeting at their election.
- (3) Timing.** A neighborhood/developer meeting must be held after a pre-application meeting with City staff, but before submittal of an application.
- (4) Time and Location.** Required neighborhood/developer meetings must be held within the city limits of the City of Tualatin at the following times:
  - (a)** If scheduled on a weekday, the meeting must begin no earlier than 6:00 p.m.
  - (b)** If scheduled on a weekend, the meeting must begin between 10:00 a.m. and 6:00 p.m.
- (5) Notice Requirements.**
  - (a)** The applicant must provide notice of the meeting at least 14 calendar days and no more than 28 calendar days before the meeting. The notice must be by first class mail providing the date, time, and location of the meeting, as well as a brief description of the proposal and its location. The applicant must keep a copy of the notice to be submitted with their land use application.
  - (b)** The applicant must mail notice of a neighborhood/developer meeting to the following persons:
    - (i)** All property owners within 1,000 feet measured from the boundaries of the subject property;
    - (ii)** All property owners within a platted residential subdivision that is located within 1,000 feet of the boundaries of the subject property. The notice area includes the entire subdivision and not just those lots within 1,000 feet. If the residential subdivision is one of two or more individually platted phases sharing a single subdivision name, the notice area need not include the additional phases; and
    - (iii)** All designated representatives of recognized Citizen Involvement Organizations as established in TMC Chapter 11-9.
  - (c)** The City will provide the applicant with labels for mailing for a fee.
  - (d)** Failure of a property owner to receive notice does not invalidate the neighborhood/developer meeting proceedings.
- (6) Neighborhood/Developer Sign Posting Requirements.** The applicant must provide and post on the subject property, at least 14 calendar days before the meeting. The sign must conform to the design

and placement standards established by the City for signs notifying the public of land use actions in TDC 32.150.

**(7) Neighborhood/Developer Meeting Requirements.** The applicant must have a sign-in sheet for all attendees to provide their name, address, telephone number, and email address and keep a copy of the sign-in sheet to provide with their land use application. The applicant must prepare meeting notes identifying the persons attending, those commenting and the substance of the comments expressed, and the major points that were discussed. The applicant must keep a copy of the meeting notes for submittal with their land use application.

**Finding:**

*The applicant has provided evidence within Exhibit A6 that they held a Neighborhood/Developer meeting on August 10, 2022, a little over 5 months prior to application submittal. The applicant has provided documentation of sign posting and notification in compliance with this section, as well as a sign-in sheet and notes from the meeting. These standards are met.*

**Section 32.130 – Initiation of Applications.**

**(1) Type I, Type II, Type III, and Type IV-A Applications.** Type I, Type II, Type III, and Type IV-A applications may be submitted by one or more of the following persons:

- (a) The owner of the subject property;
- (b) The contract purchaser of the subject property, when the application is accompanied by proof of the purchaser's status as such and by the seller's written consent;
- (c) A lessee in possession of the property, when the application is accompanied by the owners' written consent; or
- (d) The agent of any of the foregoing, when the application is duly authorized in writing by a person authorized to submit an application by paragraphs (a), (b) or (c) of this subsection, and accompanied by proof of the agent's authority.

[...]

**Finding:**

*The application has been signed by Matthew Moiseve, a representative of Colrich California Construction, LLC., who is the owner of the subject property. Heather Austin of 3j Consulting, Inc. has signed as the applicant representing the property owner. This standard is met.*

**Section 32.140 – Application Submittal.**

**(1) Submittal Requirements.** Land use applications must be submitted on forms provided by the City. A land use application may not be accepted in partial submittals. All information supplied on the application form and accompanying the application must be complete and correct as to the applicable facts. Unless otherwise specified, all of the following must be submitted to initiate completeness review under TDC 32.160:

- (a) A completed application form. The application form must contain, at a minimum, the following information:
  - (i) The names and addresses of the applicant(s), the owner(s) of the subject property, and any authorized representative(s) thereof;
  - (ii) The address or location of the subject property and its assessor's map and tax lot number;
  - (iii) The size of the subject property;
  - (iv) The comprehensive plan designation and zoning of the subject property;
  - (v) The type of application(s);
  - (vi) A brief description of the proposal; and

- (vii) Signatures of the applicant(s), owner(s) of the subject property, and/or the duly authorized representative(s) thereof authorizing the filing of the application(s).
  - (b) A written statement addressing each applicable approval criterion and standard;
  - (c) Any additional information required under the TDC for the specific land use action sought;
  - (d) Payment of the applicable application fee(s) pursuant to the most recently adopted fee schedule;
  - (e) Recorded deed/land sales contract with legal description.
  - (f) A preliminary title report or other proof of ownership.
  - (g) For those applications requiring a neighborhood/developer meeting:
    - (i) The mailing list for the notice;
    - (ii) A copy of the notice;
    - (iii) An affidavit of the mailing and posting;
    - (iv) The original sign-in sheet of participants; and
    - (v) The meeting notes described in TDC 32.120(7).
  - (h) A statement as to whether any City-recognized Citizen Involvement Organizations (CIOs) whose boundaries include, or are adjacent to, the subject property were contacted in advance of filing the application and, if so, a summary of the contact. The summary must include the date when contact was made, the form of the contact and who it was with (e.g. phone conversation with neighborhood association chairperson, meeting with land use committee, presentation at neighborhood association meeting), and the result;
  - (i) Any additional information, as determined by the City Manager, that may be required by another provision, or for any other permit elsewhere, in the TDC, and any other information that may be required to adequately review and analyze the proposed development plan as to its conformance to the applicable criteria;
- (2) Application Intake. Each application, when received, must be date-stamped with the date the application was received by the City, and designated with a receipt number and a notation of the staff person who received the application.
- (3) Administrative Standards for Applications. The City Manager is authorized to establish administrative standards for application forms and submittals, including but not limited to plan details, information detail and specificity, number of copies, scale, and the form of submittal.

**Finding:**

*The applicant submitted the subject application on September 1, 2022. The applicant subsequently submitted additional information on September 27, 2022, October 5, 2022 and October 10, 2022. The application was deemed complete on September 29, 2022. The material submitted after the initial application submittal did not change the development plans that were submitted on September 1, 2022. The general land use submittal requirements were included with this application. These standards are met.*

**Section 32.150 - Sign Posting.**

- (1) When Signs Posted. Signs in conformance with these standards must be posted as follows:
  - (a) Signs providing notice of an upcoming neighborhood/developer meeting must be posted prior to a required neighborhood/developer meeting in accordance with Section 32.120(6); and
  - (b) Signs providing notice of a pending land use application must be posted after land use application has been submitted for Type II, III and IV-A applications.
- (2) Sign Design Requirements. The applicant must provide and post a sign(s) that conforms to the following standards:
  - (a) Waterproof sign materials;



- (b) Sign face must be no less than eighteen (18) inches by twenty-four (24) inches (18" x 24"); and
- (c) Sign text must be at least two (2) inch font.

(3) **On-site Placement.** The applicant must place one sign on their property along each public street frontage of the subject property. (Example: If a property adjoins four public streets, the applicant must place a sign at each of those public street frontages for a total of four signs). The applicant cannot place the sign within public right of way.

(4) **Removal.** If a sign providing notice of a pending land use application disappears prior to the final decision date of the subject land use application, the applicant must replace the sign within forty-eight (48) hours of discovery of the disappearance or of receipt of notice from the City of its disappearance, whichever occurs first. The applicant must remove the sign no later than fourteen (14) days after:

- (a) The meeting date, in the case of signs providing notice of an upcoming neighborhood/developer meeting; or
- (b) The City makes a final decision on the subject land use application, in the case of signs providing notice of a pending land use application.

**Finding:**

*The applicant provided certification within Exhibit A6 that signs were placed on site in accordance with this section. This standard is met.*

**Section 32.160 – Completeness Review.**

(1) **Duration.** Except as otherwise provided under ORS 227.178, the City Manager must review an application for completeness within 30 days of its receipt.

(2) **Considerations.** Determination of completeness will be based upon receipt of the information required under TDC 32.140 and will not be based on opinions as to quality or accuracy. Applications that do not respond to relevant code requirements or standards can be deemed incomplete. A determination that an application is complete indicates only that the application is ready for review on its merits, not that the City will make a favorable decision on the application.

(3) **Complete Applications.** If an application is determined to be complete, review of the application will commence.

(4) **Incomplete Applications.** If an application is determined to be incomplete, the City Manager must provide written notice to the applicant identifying the specific information that is missing and allowing the applicant the opportunity to submit the missing information. An application which has been determined to be incomplete must be deemed complete for purposes of this section upon receipt of:

- (a) All of the missing information;
- (b) Some of the missing information and written notice from the applicant that no other information will be provided; or
- (c) Written notice from the applicant that none of the missing information will be provided.

(5) **Vesting.** If an application was complete at the time it was first submitted, or if the applicant submits additional required information within 180 days of the date the application was first submitted, approval or denial of the application must be based upon the standards and criteria that were in effect at the time the application was first submitted.

(6) **Void Applications.** An application is void if the application has been on file with the City for more than 180 days and the applicant has not provided the missing information or otherwise responded, as provided in subsection (4) of this section.

**Finding:**

*The subject application was submitted on September 1, 2022. The application was deemed complete on September 29, 2022. These standards are met.*

**TDC 32.170. - Revised Applications.**

Revisions or alterations of an application may be made following the determination that an application is complete, provided such revisions or alterations do not render the application incomplete and do address applicable requirements. When revisions or alterations are desired by the applicant or required by the City, the applicant must provide fully revised application materials and clearly identifying those application materials which are revised.

**Finding:**

*The applicant submitted the subject application on September 1, 2022. The applicant submitted additional information on September 27, 2022, October 5, 2022 and October 10, 2022. The application was deemed complete on September 29, 2022. The material submitted after the initial application submittal did not change the development plans or render the application incomplete and do address applicable requirements. This standard is met.*

**Section 32.230 – Type III Procedure (Quasi-Judicial Review – Public Hearing).**

Type III decisions involve the use of discretion and judgment and are made by the Planning Commission or Architectural Review Board after a public hearing with an opportunity for appeal to the City Council. The decision body for each application type is specified in Table 32-1. A hearing under these procedures provides a forum to apply standards to a specific set of facts to determine whether the facts conform to the applicable criteria and the resulting determination will directly affect only a small number of identifiable persons.

**(1) Submittal Requirements.** Type III applications must include the submittal information required by TDC 32.140(1).

**(2) Determination of Completeness.** After receiving an application for filing, the City Manager will review the application will for completeness in accordance with TDC 32.160.

**(3) Written Notice of Public Hearing – Type III.** Once the application has been deemed complete, the City must mail by regular first class mail Notice of a Public Hearing to the following individuals and agencies no fewer than 20 days before the hearing.

**(a) Recipients:**

- (i) The applicant and, the owners of the subject property;**
- (ii) All property owners within 1,000 feet measured from the boundaries of the subject property;**
- (iii) All property owners within a platted residential subdivision that is located within 1,000 feet of the boundaries of the subject property. The notice area includes the entire subdivision and not just those lots within 1,000 feet. If the residential subdivision is one of two or more individually platted phases sharing a single subdivision name, the notice area need not include the additional phases;**
- (iv) All recognized neighborhood associations within 1,000 feet from the boundaries of the subject property;**
- (v) All designated representatives of recognized Citizen Involvement Organizations as established in TMC Chapter 11-9;**
- (vi) Any person who submits a written request to receive a notice;**
- (vii) Any governmental agency that is entitled to notice under an intergovernmental agreement entered into with the City and any other affected agencies, including but not limited to: school districts; fire district; where the project either adjoins or directly affects a**

state highway, the Oregon Department of Transportation; and where the project site would access a County road or otherwise be subject to review by the County, then the County; and Clean Water Services; Tri Met; and, ODOT Rail Division and the railroad company if a railroad-highway grade crossing provides or will provide the only access to the subject property. The failure of another agency to respond with written comments on a pending application does not invalidate an action or permit approval made by the City under this Code;

(viii) Utility companies (as applicable); and,

(ix) Members of the decision body identified in Table 32-1.

(b) The Notice of a Public Hearing, at a minimum, must contain all of the following information:

(i) The names of the applicant(s), any representative(s) thereof, and the owner(s) of the subject property;

(ii) The street address if assigned, if no street address has been assigned then Township, Range, Section, Tax Lot or Tax Lot ID;

(iii) The type of application and a concise description of the nature of the land use action;

(iv) A list of the approval criteria by TDC section for the decision and other ordinances or regulations that apply to the application at issue;

(v) Brief summary of the local decision making process for the land use decision being made and a general explanation of the requirements for submission of testimony and the procedure for conduct of hearings;

(vi) The date, time and location of the hearing;

(vii) Disclosure statement indicating that if any person fails to address the relevant approval criteria with enough detail, he or she may not be able to appeal to the Land Use Board of Appeals on that issue, and that only comments on the relevant approval criteria are considered relevant evidence;

(viii) The name of a City representative to contact and the telephone number where additional information may be obtained; and

(ix) Statement that the application and all documents and evidence submitted to the City are in the public record and available for review, and that copies can be obtained at a reasonable cost from the City; and

(x) Statement that a copy of the staff report will be available for inspection at no cost at least seven days prior to the hearing and will be provided at reasonable cost.

(c) Failure of a person or agency to receive a notice, does not invalidate any proceeding in connection with the application, provided the City can demonstrate by affidavit that required notice was given.

**Finding:**

*After submittal and completeness review as required by this section, notice for the Type III hearing concerning AR 22-0008 was mailed by city staff on November 9, 2022 and a second notice was mailed on January 6, 2023 (Exhibit B), which contained the information required by this section. No public comments were received at the time the Analysis and Findings were drafted. Agency comments were received and are included in Exhibits C, D and E. These standards are met.*

**(4) Conduct of the Hearing - Type III.**

The person chairing the hearing must follow the order of proceedings set forth below. These procedures are intended to provide all interested persons a reasonable opportunity to participate in the hearing process and to provide for a full and impartial hearing on the application before the body. Questions concerning the propriety or the conduct of a hearing will be addressed to the chair with a request for a ruling. Rulings from the chair must, to the extent possible, carry out the stated intention of these procedures. A ruling given by the chair on such question may be modified or

reversed by a majority of those members of the decision body present and eligible to vote on the application before the body. The procedures to be followed by the chair in the conduct of the hearing are as follows:

- (a) At the commencement of the hearing, the person chairing the hearing must state to those in attendance all of the following information and instructions:**
  - (i) The applicable substantive criteria;**
  - (ii) That testimony, arguments and evidence must be directed toward the criteria described in paragraph (i) of this subsection or other criteria in the plan or land use regulation which the person believes to apply to the decision;**
  - (iii) That failure to raise an issue accompanied by statements or evidence sufficient to afford the decision maker and the parties an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals based on that issue;**
  - (iv) At the conclusion of the initial evidentiary hearing, the decision body must deliberate and make a decision based on the facts and arguments in the public record; and**
  - (v) Any participant may ask the decision body for an opportunity to present additional relevant evidence or testimony that is within the scope of the hearing; if the decision body grants the request, it will schedule a date to continue the hearing as provided in TDC 32.230(4)(e), or leave the record open for additional written evidence or testimony as provided TDC 32.230(4)(f).**
- (b) The public is entitled to an impartial decision body as free from potential conflicts of interest and pre-hearing ex parte (outside the hearing) contacts as reasonably possible. Where questions related to ex parte contact are concerned, members of the decision body must follow the guidance for disclosure of ex parte contacts contained in ORS 227.180. Where a real conflict of interest arises, that member or members of the decision body must not participate in the hearing, except where state law provides otherwise. Where the appearance of a conflict of interest is likely, that member or members of the decision body must individually disclose their relationship to the applicant in the public hearing and state whether they are capable of rendering a fair and impartial decision. If they are unable to render a fair and impartial decision, they must be excused from the proceedings.**
- (c) Presenting and receiving evidence.**
  - (i) The decision body may set reasonable time limits for oral presentations and may limit or exclude cumulative, repetitious, irrelevant, or personally derogatory testimony or evidence;**
  - (ii) No oral testimony will be accepted after the close of the public hearing. Written testimony may be received after the close of the public hearing only as provided by this section; and**
  - (iii) Members of the decision body may visit the property and the surrounding area, and may use information obtained during the site visit to support their decision, if the information relied upon is disclosed at the beginning of the hearing and an opportunity is provided to dispute the evidence.**
- (d) The decision body, in making its decision, must consider only facts and arguments in the public hearing record; except that it may take notice of facts not in the hearing record (e.g., local, state, or federal regulations; previous City decisions; case law; staff reports). Upon announcing its intention to take notice of such facts in its deliberations, it must allow persons who previously participated in the hearing to request the hearing record be reopened, as necessary, to present evidence concerning the newly presented facts.**
- (e) If the decision body decides to continue the hearing, the hearing must be continued to a date that is at least seven days after the date of the first evidentiary hearing (e.g., next regularly scheduled meeting). An opportunity must be provided at the continued hearing for persons to present and respond to new written evidence and oral testimony. If new written evidence is**

submitted at the continued hearing, any person may request, before the conclusion of the hearing, that the record be left open for at least seven days, so that he or she can submit additional written evidence or arguments in response to the new written evidence. In the interest of time, after the close of the hearing, the decision body may limit additional testimony to arguments and not accept additional evidence.

(f) If the decision body leaves the record open for additional written testimony, the record must be left open for at least seven days after the hearing. Any participant may ask the decision body in writing for an opportunity to respond to new evidence (i.e., information not disclosed during the public hearing) submitted when the record was left open. If such a request is filed, the decision body must reopen the record, as follows:

(i) When the record is reopened to admit new evidence or arguments (testimony), any person may raise new issues that relate to that new evidence or testimony;

(ii) An extension of the hearing or record granted pursuant to this section is subject to the limitations of TDC 32.030, unless the applicant waives his or her right to a final decision being made within the required timeframe; and

(iii) If requested by the applicant, the decision body must grant the applicant at least seven days after the record is closed to all other persons to submit final written arguments, but not evidence, provided the applicant may expressly waive this right.

**Finding:**

*The Architectural Review Board will follow the hearing requirements set forth by this section. These standards will be met.*

**(5) Notice of Adoption of a Type III Decision.**

Notice of Adoption must be provided to the property owner, applicant, and any person who provided testimony at the hearing or in writing. The Type III Notice of Adoption must contain all of the following information:

(a) A description of the applicant's proposal and the City's decision on the proposal, which may be a summary, provided it references the specifics of the proposal and conditions of approval in the public record;

(b) The address or other geographic description of the property proposed for development, including a map of the property in relation to the surrounding area;

(c) A statement that a copy of the decision and complete case file, including findings, conclusions, and conditions of approval, if any, is available for review and how copies can be obtained;

(d) The date the decision becomes final, unless a request for appeal is submitted; and

(e) The notice must include an explanation of rights to appeal the decision to the City Council in accordance with TDC 32.310.

**(6) Appeal of a Type III Decision.** Appeal of an Architectural Review Board or Planning Commission Type III Decision to the City Council may be made in accordance with TDC 32.310.

**(7) Effective Date of a Type III Decision.**

(a) The written order is the final decision on the application.

(b) The mailing date is the date of the order certifying its approval by the decision body.

(c) A decision of the Architectural Review Board or Planning Commission is final unless:

(i) a written appeal is received at the City offices within 14 calendar days of the date notice of the final decision is mailed; or

(ii) The City Manager or a member of the City Council requests a review of the decision within 14 calendar days of the date notice of the final decision is mailed.

**Finding:**

*A final decision and any appeal will follow the requirements of this section. These standards will be met.*

## **Chapter 33: Applications and Approval Criteria**

[...]

### **Section 33.020 Architectural Review**

[...]

#### **(5) Approval Criteria.**

**(c) Large Commercial, Industrial, and Multifamily Development. Applications for Large Commercial, Industrial, and Multifamily Development must comply with the applicable standards and objectives in TDC Chapter 73A through 73G.**

**Finding:**

*The subject application, which is for multi-family development, and must comply with the standards and objectives in TDC 73A through 73G. These standards are met with findings and conditions for the subject application.*

#### **(9) Permit Expiration.**

**Architectural Review decisions (including Minor Architectural Review decisions) expire two (2) years from the effective date unless the applicant has received a building, or grading permit submitted in conjunction with a building permit application, substantial construction has occurred pursuant to the building permit, and an inspection has been performed by a member of the Building Division.**

#### **(10) Extension of Permit Expiration.**

**(a) An Architectural Review approval may be extended if the applicant, or successor interest, submits a written request for an extension of time within two (2) years of the effective date.**

[...]

**(c) Upon receipt of a request for an extension of time, the City will process the extension request as follows:**

**(i) If the City Manager approved the Architectural Review, then the City Manager will decide the extension request under the Type II procedures in TDC 32.220.**

**(ii) If the Architectural Review Board (ARB) approved the Architectural Review, then the ARB will decide the extension request under the Type III quasi-judicial procedures in TDC 32.230.**

**(d) The City must provide notice of the extension request to past recipients of the Architectural Review notice of decision and the applicant must post a sign pursuant to TDC 32.150.**

**(e) The City Manager or Architectural Review Board, as applicable, may grant the extension of time upon finding the following:**

**(i) The applicant submitted a written extension request prior to the expiration date;**

**(ii) There have been no significant changes in any conditions, ordinances, regulations or standards of the City or applicable agencies that affect the previously approved project so as to warrant its resubmittal for Architectural Review;**

**(iii) If the previously approved application included a special study, the applicant provided a status report includes a letter from a recognized professional that states that conditions have not changed after the original approval and that no new study is warranted; and**

**(iv) If the site has been neglected so as to allow the site to become blighted, the deciding party must factor this into its decision.**

**(f) The City Manager or Architectural Review Board, as applicable, may grant or deny the extension request. The decision must be in writing and must be made within sixty (60) days of**

receipt of the request for extension. If the decision is to grant the extension, the extension can be no more than a single one-year extension.

(g) Upon making the decision, the City must provide notice of the extension decision as provided in TDC 32.220 for Type II decisions made by the City Manager and TDC 32.230 for Type III decisions made by the Architectural Review Board.

**Finding:**

*The proposed application is approved subject to compliance with the above criteria. With recommended Condition of Approval A1, these standards are met.*

**Section 33.110 Tree Removal Permit/Review**

(1) Purpose. To regulate the removal of trees within the City limits other than trees within the public right-of-way which are subject to TDC Chapter 74.

(2) Applicability. No person may remove a tree on private property within the City limits, unless the City grants a tree removal permit, consistent with the provisions of this Section.

[...]

(3) Procedure Type. Tree Removal Permit applications are subject to Type II Review in accordance with TDC Chapter 32. Tree Removal Permit applications submitted with an Architectural Review, Subdivision, or Partition application will be processed in conjunction with the Architectural Review, Subdivision, or Partition decision.

**Finding:**

*In conjunction with the Architectural Review, the applicant has submitted a Tree Removal Permit application. The criteria in TDC 33.110, addressed below, are the basis for approval or denial for tree removal as part of this Architectural Review. These standards are met.*

**Section 33.110 Tree Removal Permit/Review Approval Criteria**

**(5) Approval Criteria.**

(a) An applicant must satisfactorily demonstrate that at least one of the following criteria are met:

(i) The tree is diseased and:

(A) The disease threatens the structural integrity of the tree; or

(B) The disease permanently and severely diminishes the esthetic value of the tree; or

(C) The continued retention of the tree could result in other trees being infected with a disease that threatens either their structural integrity or esthetic value.

(ii) The tree represents a hazard which may include but not be limited to:

(A) The tree is in danger of falling; or

(B) Substantial portions of the tree are in danger of falling.

(iii) It is necessary to remove the tree to construct proposed improvements based on Architectural Review approval, building permit, or approval of a Subdivision or Partition Review.

(b) If none of the conditions in TDC 33.110(5)(a) are met, the certified arborist must evaluate the condition of each tree.

(i) Evergreen Trees. An evergreen tree which meets any of the following criteria as determined by a certified arborist will not be required to be retained:

(A) Trunk Condition - extensive decay and hollow; or

(B) Crown Development - unbalanced and lacking a full crown;

(ii) Deciduous Trees. A deciduous tree which meets any of the following criteria as determined by a certified arborist will not be required to be retained:

- (A) Trunk Condition - extensive decay and hollow;**
- (B) Crown Development - unbalanced and lacking a full crown; or**
- (C) Structure - Two or more dead limbs.**

**Finding:**

*The applicant's Arborists' Tree Assessment Report surveyed a total of 88 trees within site development area (Exhibits A2 and A3). Two of the trees planned to be removed had a diameter less than 8 inches. A total of 35 of 49 regulated trees would be removed in order to construct the project. The other 14 regulated trees planned for removal are all deciduous trees with poor crown development or poor structure including 13 invasive species and one 29-inch diameter silver maple. The report recommends the preservation of 37 on-site trees that are over 8" in diameter. There will be a total of 49 trees removed. Of the on-site trees proposed for removal, the majority are to be removed to construct the proposed improvements in accordance with criterion 33.110(5)(a)(iii). There are also eight trees that are either dead or in poor condition, meeting the criterion of 33.110(5)(a)(i).*

*The Arborists' Tree Assessment Report lists the following tree protection specifications.*

- 1. Preconstruction Conference.** *The project arborist shall be on site to discuss methods of tree removal and tree protection prior to any construction.*
- 2. Protection Fencing.** *All trees to be retained shall be protected by 5-foot-tall metal fencing secured to steel posts placed no further than 8-feet apart and shall be installed as depicted on the tree preservation plan. Trees located farther than 30-feet from construction activity do not require tree protection fencing.*
- 3. Tree Protection Zone Maintenance.** *The protection fencing shall not be moved, removed, or entered by equipment except under direction of the project arborist. The contractor shall not store materials or equipment within the TPZ.*
- 4. Erosion Control.** *Beneath the dripline of protected trees, erosion control fencing shall not be trenched in per manufacturer's specifications to avoid root impacts. Instead, alternative means of erosion control are required, such as wrapping the base of silt fencing around a straw wattle and staking the wattle into the ground or using compost socks or straw wattles staked into the ground in lieu of silt fencing.*
- 5. Crown Pruning.** *The project arborist can help identify where crown pruning is necessary to provide construction clearance and remove dead and defective branches for safety once trees planned for removal have been removed and the site is staked and prepared for construction. Pruning shall be performed by a Qualified Tree Service and conducted in accordance with ANSI A300 pruning standards and ISA Best Management Practices for pruning.*

*With recommended Condition of Approval A10.a., which requires the applicant to provide a tree preservation plan that corresponds to the submitted Tree Assessment Report, and recommended Condition of Approval A11 related to tree protection, these standards are met.*

## **CHAPTER 42 – Medium High Density Residential (RMH) Zone**

[...]

### **Section 42.200. - Use Categories.**

**(1) Use Categories.** Table 42-1 lists use categories Permitted Outright (P) or Conditionally Permitted (C) in the RMH zone. Use categories may also be designated as Limited (L) and subject to the limitations listed in Table 42-1 and restrictions identified in TDC 42.210. Limitations may restrict the specific type of use, location, size, or other characteristics of the use category. Use categories which are not listed are prohibited within the zone, except for uses which are found by the City Manager or



appointee to be of a similar character and to meet the purpose of this zone, as provided in TDC 31.070.

(2) **Overlay Zones.** Additional uses may be allowed in a particular overlay zone. See the overlay zone Chapters for additional uses.

**Table 42-1  
 Use Categories in the RMH Zone**

| USE CATEGORY                      | STATUS | LIMITATIONS AND CODE REFERENCES                |
|-----------------------------------|--------|--|
| <b>RESIDENTIAL USE CATEGORIES</b> |        |  |
| Household Living                  | P/C    | Permitted housing types subject to TDC 43.220. |
| [...]                             |        |  |

[...]

**Use Category from TDC 39.200:**

(1) **Characteristics.** Household Living is the residential occupancy of an owner-occupied or rented dwelling unit by a family or household. Dwelling units must be self-contained, with cooking, sleeping and bathroom facilities. Occupancy is long-term, 30 days or more, and non-transient.

[...]

**Finding:**

*The proposal would construct 45 self-contained multi-family dwelling units for long-term rental. Refer to housing type discussion below. This standard is met.*

**Section 42.220. - Housing Types.**

Table 42-2 lists Housing Types permitted in the RMH zone. Housing types may be Permitted Outright (P), Conditionally Permitted (C), or Not Permitted (N) in the RMH zone.

**Table 42-2  
 Housing Types in the RMH Zone**

| HOUSING TYPE           | STATUS | LIMITATIONS AND CODE REFERENCES |
|------------------------|--------|---------------------------------|
| [...]                  |        |                                 |
| Multi-Family Structure | P      | See TDC definition in 31.060.   |
| [...]                  |        |                                 |

**Definition from TDC 31.060:**

**Multi-Family Structure.** A structure containing five or more dwelling units on one lot. The land underneath the structure is not divided into separate lots. Multi-Family Structure includes, but is not limited to structures commonly called apartments, condominiums, and garden apartments.

**Finding:**

*The applicant proposes to demolish 2 existing buildings and construct 12 new buildings consisting 45 townhouses. There will be four 3-unit buildings, seven 4-unit buildings and one 5-unit building. There are currently 211 dwelling units spread throughout 26 buildings. The proposed development would increase the total number of dwelling units to 240 within 36 buildings.*

**Section 42.300 – Development Standards.**

Development standards in the RMH zone are listed in Table 42-3. Additional standards may apply to some uses and situations, see TDC 42.310.

**Table 42-3  
 Development Standards in the RH Zone**

|   | Requirement  | Minimum Proposed             |
|---|--|------------------------------|
| <b>MAXIMUM DENSITY</b>  |  |                              |
| Household Living Uses   | Maximum: 15 units per acre<br>Minimum: 11 units per acre | 14.4 dwelling units per acre |
| <b>MINIMUM SETBACKS</b>   |  |                              |
| Front (SW Sagert St. and SW Martinazzi Ave.)  | 35 feet  | 61.2 feet                    |
| Side  | 12 feet  | 20 feet                      |
| Rear  | 12 feet  | 20 feet                      |
| Between Buildings   | 10 feet  | 15 feet                      |
| Parking and Circulation Areas   | 10 feet  | 20 feet                      |
| <b>MAXIMUM STRUCTURE HEIGHT</b>   |  |                              |
| All uses  | 35 feet  | 35 feet                      |
| <b>MAXIMUM LOT COVERAGE</b>   |  |                              |
| All Other Permitted Uses  | 40%  | 12%                          |
| <i>Note: Calculations were based on data illustrated on the Applicant’s site plan sheets in Exhibit A2.</i> |  |                              |

[...]

**Finding:**

*Density, setbacks, parking and circulation areas, and building height are reflected in Exhibits A1 and A2. The applicant is proposing 3-story attached townhomes. The site plan, Sheet C600 of Exhibit A2, illustrates a portion of the patio and fence of building “K2” being located within the setback, which is permitted. No portion of the “K2” building is located within the required setback. As shown in the table above, these standards are met.*

**Section 42.310. - Projections into Required Yards.**

The following architectural features may project into a required front or rear yard setback area not more than three feet, and into a required side yard not more than two feet: cornices, eaves, canopies, decks, sun-shades, gutters, chimneys, flues, belt courses, leaders, sills, pilasters, lintels, ornamental features, and other similar architectural features.

**Finding:**

*No projections into required setbacks are proposed. This provision has not been utilized.*

**Section 42.320. - Density Bonus or Setback Reduction for Developments Adjacent to Greenways and Natural Areas.**

[...]

**Finding:**

*The proposal is not located adjacent to identified greenways or natural areas. This provision is not applicable.*

## **Chapter 73A: Site Design**

### **TDC 73A.010. - Site and Building Design Standards Purpose and Objectives.**

**(1) Purpose.** The purpose of the site and building design objectives and standards found in TDC 73A through TDC 73G is to promote functional, safe, innovative, and attractive sites and buildings that are compatible with the surrounding environment, including, but not limited to:

- (a) The building form, articulation of walls, roof design, materials, and placement of elements such as windows, doors, and identification features; and
- (b) The placement, design, and relationship of proposed site elements such as buildings, vehicular parking, circulation areas, bikeways and bike parking, accessways, walkways, buffer areas, and landscaping.

**(2) Objectives.** The objectives of site and building design standards in TDC 73A through TDC 73G are to:

- (a) Enhance Tualatin through the creation of attractively designed development and streetscapes;
- (b) Encourage originality, flexibility, and innovation in building design;
- (c) Create opportunities for, or areas of, visual and aesthetic interest for occupants and visitors to the site;
- (d) Provide a composition of building elements which responds to function, land form, identity and image, accessibility, orientation and climatic factors;
- (e) Conserve, protect, and restore fish and wildlife habitat areas, and maintain or create visual and physical corridors to adjacent fish and wildlife habitat areas;
- (f) Enhance energy efficiency through the use of landscape and architectural elements; and
- (g) Minimize disruption of natural site features such as topography, trees, and water features.

**Finding:**

*The Architectural Review Board may review the both building and site development designs for compliance with TDC 73A.010 (1) and (2). Additional Conditions of Approval may result after the ARB reviews the project for compliance with these Objectives.*

### **Section 73A.200 – Multi-Family Design Standards.**

The following standards are the minimum standards for all other residential development in all zones that does not meet the definition of single-family dwelling, duplex, townhouse, triplex, quadplex, or cottage cluster or is 5 or more dwelling units. These standards do not apply to development in the Central Design District and Mixed Use Commercial (MUC) zone, which have separate standards and may be less than the minimums provided below.

**(1) Private Outdoor Areas.** Multi-family uses must provide private outdoor area features as follows:

- (a) A separate outdoor area of not less than 80 square feet must be attached to each ground level dwelling unit; and
- (b) The private outdoor area must be separated from common outdoor areas with walls, fences or shrubs.

**Finding:**

*Private outdoor areas are proposed for all proposed units, as shown in Exhibit A2. Each of the two-bedroom townhome units have a ground-floor private open area of 157 square feet that includes the required 24 square foot entry area required by subsection (3), below. Each of the three-bedroom townhome units have a ground floor private open area of 103 square feet, including the required 24 square foot entry area required by subsection (3), below. With recommended Condition of Approval A10.b., these standards are met.*

**(2) Balconies, Terraces, and Loggias. Multi-family uses must provide balconies, terraces, and loggias features as follows:**

- (a) A separate outdoor area of not less than 48 square feet in the form of balconies, terraces, or loggias must be provided for each unit located above the ground level.**

**Finding:**

*There will be a total of 45 new townhome units with ground level access and a second story balcony. The two-bedroom units will have 64 square feet and the three-bedroom units will have 75 square feet of second-story balcony area (Exhibits A1 and A2). With recommended Condition of Approval A10.c., these standards are met.*

**(3) Entry Areas. Multi-family uses must provide entry area features as follows:**

- (a) A private main entry area must be provided as a private extension of each dwelling unit;**
- (b) The entry area must be separated from on-site parking areas and public streets with landscaping, change of grade, low fences, or walls;**
- (c) The entry area must be a minimum of 24 square feet in area for each dwelling unit; and**
- (d) The entry area may be combined to serve more than one unit as determined by the City.**

**Finding:**

*The applicant's narrative points to plan sheets A12 and A13 (see Exhibit A1 and A2) to illustrate the proposed floor plans for the two- and three-bedroom units. Although entry areas are illustrated on these drawings there are no specific dimensions provided. With recommended Condition of Approval A10.d., these standards will be met.*

**(4) Shared Outdoor Areas. Multi-family uses must provide shared outdoor area features as follows:**

- (a) Must provide year round shared outdoor areas for both active and passive recreation;**
- (b) The shared outdoor area must be a minimum of:**
  - (i) Three hundred square feet per dwelling unit; or**
  - [...]**
- (c) Gazebos and other covered spaces are encouraged to satisfy this requirement;**
- (d) The shared outdoor area must be separated from all entryway and parking areas with a landscaped transition area measuring a minimum of ten feet wide;**
- (e) The shared outdoor area must have controlled access from off-site as well as from on-site parking and entrance areas with a minimum 4-foot high fence, wall, or landscaping; and**
- (f) The shared outdoor area standard does not apply to any development with less than 12 dwelling units.**

**Finding:**

*The existing and proposed development will have a combined total of 240 total units, which requires 72,000 square feet of Shared Outdoor Area. As proposed, the project will provide a total of 83,776*

*square feet of Shared Outdoor Area (Exhibits A1 and A2). Design details of the Shared Outdoor Areas were not provided. With recommended Condition of Approval A10.e., these standards are met.*

**(5) Children's Play Areas. Multi-family uses must provide children's play area features as follows:**

- (a) The children's play area must be a minimum of 150 square feet per dwelling unit;**
  - (b) The children's play area must provide a separation from all entryway and parking areas with a landscaped transition area measuring a minimum of ten feet wide;**
  - (c) The children's play area must have controlled access to shared outdoor areas from off-site as well as from on-site parking and entrance areas with a minimum 4-foot high fence, wall, or landscaping; and**
  - (d) The children's play area must provide a usable floor surface (material such as lawn, decks, wood chips, sand and hard surface materials qualify); and**
- [...]

**Finding:**

*Once constructed there will be a total of 240 dwelling units, which requires 36,000 square feet of Children's Play Area. The applicants site plan (Exhibit A2) illustrates that a total of 36,000 square feet square feet of Children's Play Area will be provided in 5 separate locations spread throughout the site. An existing basketball court and another unidentified paved area is proposed for removal. An existing swimming pool would remain. The actual designs of the Children's Play Areas were not provided. Children's Play Areas are located interior to the site and are separated from vehicular circulation areas by building structures or by landscaped areas. With recommended Condition of Approval A10.f., these standards are met.*

**(6) Storage. Multi-family uses must provide storage features as follows:**

- (a) Enclosed storage areas are required for each unit.**
  - (i) Garages do not satisfy the storage requirements. An enclosed storage area may be located within the garage of the individual unit. Enclosed storage areas may also be located within commonly accessible shared garage.**
- (b) Each storage area must be a minimum of six feet in height and have a minimum floor area of:**
  - (i) 24 square feet for studio and one bedroom units;**
  - (ii) 36 square feet for two bedroom units; and**
  - (iii) 48 square feet for greater than two bedroom units.**

**Finding:**

*As described in Exhibit A1 and shown in Exhibit A2, storage areas for each of the proposed 45 units including 40 square feet for the 2-bedroom units and 49 square feet for the 3-bedroom units. Design details of the storage areas were not provided. With recommended Condition of Approval A10.g., these standards are met.*

**(7) Walkways. Multi-family uses must provide walkways as follows:**

[...]

- (b) All other multi-family development must have walkways of a minimum of six feet in width;**
- (c) Walkways must be constructed of asphalt, concrete, pervious concrete, pavers, or grasscrete. Gravel or bark chips are not acceptable; and**
- (d) The walkways must meet ADA standards applicable at time of construction or alteration.**

**Finding:**

*As shown in Exhibit A2, walkways are located throughout the site and are a minimum of 6-feet wide, constructed of concrete and ADA compliant. With recommended Condition of Approval A10.h., these standards are met.*

**(8) Accessways.**

**(a) When Required.** Accessways are required to be constructed when a multi-family development is adjacent to any of the following:

[...]

**(iv)** Collector or arterial streets where transit stops or bike lanes are provided or designated.

**(b) Design Standard.** Accessways must meet the following design standards:

**(i)** Accessways must be a minimum of eight feet in width;

**(ii)** Public accessways must be constructed in accordance with the Public Works Construction Code;

**(iii)** Private accessways must be constructed of asphalt, concrete, pavers or grasscrete. Gravel or bark chips are not acceptable;

**(iv)** Accessways must meet ADA standards applicable at time of construction or alteration;

**(v)** Accessways must be provided as a connection between the development's walkway and bikeway circulation system;

**(vi)** Accessways must not be gated to prevent pedestrian or bike access;

**(vii)** Outdoor Recreation Access Routes must be provided between the development's walkway and bikeway circulation system and parks, bikeways, and greenways where a bike or pedestrian path is designated; and

**(viii)** Must be constructed, owned and maintained by the property owner.

**(c) Exceptions.** The Accessway standard does not apply to the following:

[...]

**Finding:**

*There are existing bike lanes located along SW Martinazzi Avenue and SW Sagert Street frontages. SW Avery Street is classified as a Local Street, SW Sagert Street is a Minor Arterial and SW Martinazzi Avenue is a Minor Collector (Exhibit K). The SW Avery Street right-of-way east of the SW Martinazzi Avenue Intersection does not have an existing bike lane. Accessways are defined as "...non-vehicular, paved pathway designed for pedestrian and bicycle use and providing convenient linkages between a development and adjacent residential and commercial properties and areas intended for public use, which includes, but is not limited to, schools, parks, and adjacent collector and arterial streets where transit stops or bike lanes are provided or designated. An accessway is not a sidewalk." The narrative states that the existing development has established accessways that will continue to be utilized (Exhibit A1). All accessways must meet current TDC requirements including the design standards under TDC 73A.200.(8)(b) and ADA requirements. Comprehensive Plan Map 8.5 Tualatin Transit Plan and TriMet route maps illustrate the portion of SW Sagert Street that abuts the subject property being on the existing Fixed Route Bus Transit Service for Bus 76. SW Sagert Street along the frontage of the subject property is illustrated as a Potential Future Route Shuttle Service as Demand Grows. Bus 96 has a fixed route on SW Martinazzi Avenue. The applicant is not requesting an exceptions. With recommended Condition of Approval A10.i., these standards are met.*

**(9) Carports and Garages.** Multi-family uses must provide Carports and Garage features as follows:

**(a)** The form, materials, color, and construction must be compatible with the complex they serve.

**Finding:**

The applicant’s overall site plan, Sheet C600 in Exhibit A2, illustrates 8 new carports located throughout the property. Sheet A11 of Exhibit A2 illustrates the proposed carport design. Colors for the proposed carports were noted as “to be determined”. With Condition of Approval A10.j., these standards are met.

**(10) Safety and Security. Multi-family units must provide safety and security features as follows:**

- (a) Private outdoor areas must be separated from shared outdoor areas and children's play areas with a minimum 4-foot high fence, wall, or landscaping;**
- (b) An outdoor lighting system that does not produce direct glare on adjacent properties and without shining into residential units, public rights-of-way, or fish and wildlife habitat areas; and**
- (c) Building identification must be provided consistent with the Oregon Fire Code.**

**Finding:**

Exhibits A1 (Narrative) and A2 (Plan Set), describe and illustrate a 4 foot high fence that will be utilized for the ground floors of each of the proposed townhouse units. A scaled elevation drawing illustrating the fence height was not provided. The applicant has provided an outdoor lighting plan that appears to meet lighting requirements within the development area. The applicant has also stated that the Oregon Fire Code will be met for building identification. With recommended Condition of Approval A14, these standards are met.

**(11) Service, Delivery and Screening. Multi-family uses must provide service, delivery, and screening features as follows:**

- (a) Provisions for postal delivery must be made consistent with US Postal Service regulations conveniently located and efficiently designed for residents;**
- (b) Pedestrian access from unit entries to postal delivery areas, shared activity areas, and parking areas must be provided via accessways; and**
- (c) Above grade and on-grade electrical and mechanical equipment such as transformers, heat pumps and air conditioners must be screened with sight obscuring fences, walls or landscaping.**

**Finding:**

A1 (narrative) states that the location of postal delivery will be coordinated with the US Post Office. Additional information pertaining to the onsite postal delivery location was not provided. Details regarding electrical and mechanical screening will be needed to assess adequacy of screening. With recommended Condition of Approval A10.k., these standards will be met.

**Chapter 73B: Landscaping Standards**

**Section 73B.020 – Landscape Area Standards Minimum Areas by Use and Zone.**

| Zone  | Minimum Area Requirement* | Minimum Area Requirement with dedication for a fish and wildlife habitat* |
|---|---------------------------|---|
| (1) RL, RML, RMH, RH and RH/HR zones—Permitted Uses | None                      | None  |
| [...]   |                           |   |

**Finding:**

*While there is no minimum landscape requirement for the RMH zone, there are minimum landscaping requirements for multifamily housing developments that are addressed below. As stated on Sheet A1 in Exhibit A2, approximately 245,007 square feet (33%) of landscaping is included within the entire site. This standard is not applicable.*

**Section 73B.030 – Additional Minimum Landscaping Requirements for Multi-Family Residential Uses.**

**(1) General.** In addition to requirements in TDC 73B.020, Multi-Family Residential Uses must comply with the following additional standards.

**(a) All areas not occupied by buildings, parking spaces, driveways, drive aisles, pedestrian areas, or undisturbed natural areas must be landscaped.**

**(i) This standard does not apply to areas subject to the Hedges Creek Wetlands Mitigation Agreement.**

**Finding:**

*Landscaping appears to be provided in all areas not otherwise occupied by buildings, vehicle areas, or pedestrian amenity areas. The site is not located adjacent to the Hedges Creek Wetland. With recommended Condition of Approval A15, this standard is met.*

**Section 73B.080 – Minimum Landscaping Standards for All Zones.**

The following are minimum standards for landscaping for all zones.

|  |   |
|--|---|
| <p><b>(1) Required Landscape Areas</b></p> | <ul style="list-style-type: none"> <li>• Must be designed, constructed, installed, and maintained so that within three years the ground must be covered by living grass or other plant materials.</li> <li>• The foliage crown of trees cannot be used to meet this requirement.</li> <li>• A maximum of 10% of the landscaped area may be covered with un-vegetated areas of bark chips, rock or stone.</li> <li>• Must be installed in accordance with the provisions of the American National Standards Institute ANSI A300 (Part 1) (Latest Edition).</li> <li>• Must be controlled by pruning, trimming, or otherwise so that:</li> <li>• It will not interfere with designated pedestrian or vehicular access; and</li> <li>• It will not constitute a traffic hazard because of reduced visibility.</li> </ul> |
|--|---|

**Finding:**

*The density of plantings as shown on the Landscape Plans (Exhibit A2) is sufficient to provide full coverage of landscaping within three years. These standards are met.*

|                          |  |
|--------------------------|--|
| <p><b>(2) Fences</b></p> | <p>Landscape plans that include fences must integrate any fencing into the plan to guide wild animals toward animal crossings under, over, or around transportation corridors.</p> |
|--------------------------|--|

**Finding:**

*There are no established wildlife crossings in the vicinity and no Metro riparian and upland wildlife areas mapped within the confines of the property. This standard is not applicable.*

|                                     |  |
|-------------------------------------|--|
| <p><b>(3) Tree Preservation</b></p> | <ul style="list-style-type: none"> <li>• Trees and other plant materials to be retained must be identified on the landscape plan and grading plan.</li> </ul> <p><b>During construction:</b></p> <ul style="list-style-type: none"> <li>○ Must provide above and below ground protection for existing trees and plant materials identified to remain;</li> <li>○ Trees and plant materials identified for preservation must be protected by chain link or other sturdy fencing placed around the tree at the drip line;</li> </ul> |
|-------------------------------------|--|



|  |  |
|--|--|
|  | <ul style="list-style-type: none"> <li>○ If it is necessary to fence within the drip line, such fencing must be specified by a qualified arborist;</li> <li>○ Top soil storage and construction material storage must not be located within the drip line of trees designated to be preserved;</li> <li>○ Where site conditions make necessary a grading, building, paving, trenching, boring, digging, or other similar encroachment upon a preserved tree's drip-line area, such grading, paving, trenching, boring, digging, or similar encroachment must only be permitted under the direction of a qualified arborist. Such direction must assure that the health needs of trees within the preserved area can be met; and</li> <li>○ Tree root ends must not remain exposed.</li> <li>● Landscaping under preserved trees must be compatible with the retention and health of the preserved tree.</li> <li>● When it is necessary for a preserved tree to be removed in accordance with TDC 33.110 (Tree Removal Permit) the landscaped area surrounding the tree or trees must be maintained and replanted with trees that relate to the present landscape plan, or if there is no landscape plan, then trees that are complementary with existing, landscape materials. Native trees are encouraged</li> <li>● 100% of the area preserved under any tree or group of trees (Except for impervious surface areas) retained in the landscape plan must apply directly to the percentage of landscaping required for a development</li> </ul> |
|--|--|

**Finding:**

*The Arborist Report (Exhibit A3) surveyed a total of 88 trees on-site development site area. Two the trees planned to be removed had a diameter less than 8 inches. A total of 35 of 49 regulated trees would be removed in order to construct the project. The other 14 regulated trees planned for removal are all deciduous trees with poor crown development or poor structure including 13 invasive species and one 29-inch diameter silver maple. The report recommends the preservation of 37 on-site tree that are over 8" diameter. There will be a total of 51 trees removed. Of the on-site trees proposed for removal, the majority are to be removed in order to construct the proposed improvements in accordance with criterion 33.110(5)(a)(iii). There are also eight trees that are either dead or in poor condition, meeting the criterion of 33.110(5)(a)(i). The Arborist Report also provided recommendation pertaining protections for trees during construction. Sheet C110, C200 and C300 of Exhibit A2 illustrated tree protection fencing will be utilized. With recommended Conditions of Approval A10.I. and A11, these standards are met.*

|                           |  |
|---------------------------|--|
| <p><b>(4) Grading</b></p> | <ul style="list-style-type: none"> <li>● After completion of site grading, top-soil is to be restored to exposed cut and fill areas to provide a suitable base for seeding and planting.</li> <li>● All planting areas must be graded to provide positive drainage.</li> <li>● Soil, water, plant materials, mulch, or other materials must not be allowed to wash across roadways or walkways.</li> <li>● Impervious surface drainage must be directed away from pedestrian walkways, dwelling units, buildings, outdoor private and shared areas and landscape areas except where the landscape area is a water quality facility.</li> </ul> |
|---------------------------|--|

**Finding:**

*The applicant is required to obtain an erosion control and grading permit with the City. With recommended Condition of Approval A2, this standard is met.*

|                              |  |
|------------------------------|--|
| <p><b>(5) Irrigation</b></p> | <ul style="list-style-type: none"> <li>● Landscaped areas must be irrigated with an automatic underground or drip irrigation system</li> </ul> |
|------------------------------|--|

|  |  |
|--|--|
|  | <ul style="list-style-type: none"> <li>• <b>Exceptions: Irrigation requirement does not apply to duplexes and townhouses.</b></li> </ul> |
|--|--|

**Finding:**

*According to the applicant’s narrative (Exhibit A1) all landscaped areas will be irrigated. Details of the irrigation system were not provided. With Condition of Approval A10.m., this standards will be met.*

|  |  |
|--|--|
| <p><b>(6) Re-vegetation in Un-landscaped Areas</b></p> | <ul style="list-style-type: none"> <li>• <b>Vegetation must be replanted in all areas where vegetation has been removed or damaged in areas not affected by the landscaping requirements and that are not to be occupied by structures or other improvements,.</b></li> <li>• <b>Plant materials must be watered at intervals sufficient to ensure survival and growth for a minimum of two growing seasons.</b></li> <li>• <b>The use of native plant materials is encouraged to reduce irrigation and maintenance demands.</b></li> <li>• <b>Disturbed soils should be amended to an original or higher level of porosity to regain infiltration and stormwater storage capacity.</b></li> </ul> |
|--|--|

**Finding:**

*The applicant proposes to landscape all areas not otherwise proposed for development. Drought tolerant plants, as well as some natives, have been selected to reduce irrigation and maintenance needs. With recommended Condition of Approval A16, this standard is met.*

**Section 73B.080 – Minimum Standards Trees and Plants.**

**The following minimum standards apply to the types of landscaping required to be installed for all zones.**

|  |  |
|--|--|
| <p><b>(1) Deciduous Shade Trees</b></p>      | <ul style="list-style-type: none"> <li>• <b>One and on-half inch caliper measured six inches above ground;</b></li> <li>• <b>Balled and burlapped; bare root trees will be acceptable to plant during their dormant season;</b></li> <li>• <b>Reach a mature height of 30 feet or more;</b></li> <li>• <b>Cast moderate to dense shade in summer;</b></li> <li>• <b>Live over 60 years;</b></li> <li>• <b>Do well in urban environments, tolerant of pollution and heat, and resistant to drought;</b></li> <li>• <b>Require little maintenance and mechanically strong;</b></li> <li>• <b>Insect- and disease-resistant;</b></li> <li>• <b>Require little pruning; and</b></li> <li>• <b>Barren of fruit production.</b></li> </ul> |
| <p><b>(2) Deciduous Ornamental Trees</b></p> | <ul style="list-style-type: none"> <li>• <b>One and on-half inch caliper measured six inches above ground;</b></li> <li>• <b>balled and burlapped; bare root trees will be acceptable to plant during their dormant season; and</b></li> <li>• <b>Healthy, disease-free, damage-free, well-branched stock, characteristic of the species</b></li> </ul>  |
| <p><b>(3) Coniferous Trees</b></p>           | <ul style="list-style-type: none"> <li>• <b>5 feet in height above ground;</b></li> <li>• <b>balled and burlapped; bare root trees will be acceptable to plant during their dormant season; and</b></li> <li>• <b>Healthy, disease-free, damage-free, well-branched stock, characteristic of the species.</b></li> </ul>   |

|                                    |   |
|------------------------------------|---|
| (4) Evergreen and Deciduous Shrubs | <ul style="list-style-type: none"> <li>• One to five gallon size;</li> <li>• Healthy, disease-free, damage-free, well-branched stock, characteristic of the species; and</li> <li>• Side of shrub with best foliage must be oriented to public view.</li> </ul>                         |
| (5) Groundcovers                   | <ul style="list-style-type: none"> <li>• Fully rooted;</li> <li>• Well branched or leafed;</li> <li>• Healthy, disease-free, damage-free, well-branched stock, characteristic of the species; and</li> <li>• English ivy (<i>Hedera helix</i>) is prohibited.</li> </ul>                |
| (6) Lawns                          | <ul style="list-style-type: none"> <li>• Consist of grasses, including sod, or seeds of acceptable mix within the local landscape industry;</li> <li>• 100 percent coverage and weed free; and</li> <li>• Healthy, disease-free, damage-free, characteristic of the species.</li> </ul> |

**Finding:**

*Per the Plant Schedule provided on the Landscape Plan included in Exhibit A2, the standards for groundcover, shrubs, and trees to be planted are met.*

**Chapter 73C: Parking Standards**

**TDC 73C.010. - Off-Street Parking and Loading Applicability and General Requirements.**

[...]

**(2) General Requirements.** Off-street parking spaces, off-street vanpool and carpool parking spaces, off-street bicycle parking, and off-street loading berths must be as provided as set forth in TDC 73C.100, unless greater requirements are otherwise established by the conditional use permit or the Architectural Review process.

**(a) The following apply to property and/or use with respect to the provisions of TDC 73C.100:**

**(i) The requirements apply to both the existing structure and use, and enlarging a structure or use;**

**(ii) The floor area is measured by gross floor area of the building primary to the function of the particular use of the property other than space devoted to off-street parking or loading;**

[...]

**(iv) Calculations to determine the number of required parking spaces and loading berths must be rounded to the nearest whole number;**

**(v) If the use of a property changes, thereby increasing off-street parking or loading requirements, the increased parking/loading area must be provided prior to commencement of the new use;**

[...]

**(viii) Off-street parking spaces for dwellings must be located on the same lot with the dwelling. Other required parking spaces may be located on a separate parcel, provided the parcel is not greater than five hundred (500) feet from the entrance to the building to be served, measured along the shortest pedestrian route to the building. The applicant must prove that the parking located on another parcel is functionally located and that there is safe vehicular and pedestrian access to and from the site. The parcel upon which parking facilities are located must be in the same ownership as the structure;**

**(ix) Required parking spaces must be available for the parking of operable passenger automobiles of residents, customers, patrons and employees and must not be used for storage of vehicles or materials or for the parking of trucks used in conducting the business;**

**(x) Institution of on-street parking, where none is previously provided, must not be done solely for the purpose of relieving crowded parking lots in commercial or industrial zones; and [...]**

**Finding:**

The parking requirements were reviewed under TDC 73C.100, which found a minimum of 361 spaces with the applicant proposing 442 spaces. All parking spaces are located within the subject property. These standards are met.

**Section 73C.020 – Parking Lot Design Standards.**

**A parking lot, whether an accessory or principal use, intended for the parking of automobiles or trucks, must comply with the following:**

- (1) Off-street parking lot design must comply with the dimensional standards set forth in Figure 73-1; [...]**
- (2) Parking lot drive aisles must be constructed of asphalt, concrete, or pervious concrete;**
- (3) Parking stalls must be constructed of asphalt, concrete, previous concrete, or a pervious surface such as pavers or grasscrete, but not gravel or woody material. Pervious surfaces, are encouraged for parking stalls in or abutting the Natural Resource Protection Overlay District, Other Natural Areas, or in a Clean Water Services Vegetated Corridor;**
- (4) Parking lots must be maintained adequately for all-weather use and drained to avoid water flow across sidewalks;**
- (5) Parking bumpers or wheel stops or curbing must be provided to prevent cars from encroaching on adjacent landscaped areas, or adjacent pedestrian walkways.**
- (6) Disability parking spaces and accessibility must meet ADA standards applicable at time of construction or alteration;**
- (7) Parking stalls for sub-compact vehicles must not exceed 35 percent of the total parking stalls required by TDC 73C.100. Stalls in excess of the number required by TDC 73C.100 can be sub-compact stalls;**
- (8) Groups of more than 4 parking spaces must be so located and served by driveways that their use will require no backing movements or other maneuvering within a street right-of-way other than an alley;**
- (9) Drives to off-street parking areas must be designed and constructed to facilitate the flow of traffic, provide maximum safety of traffic access and egress, and maximum safety of pedestrians and vehicular traffic on the site;**
- (10) On-site drive aisles without parking spaces, which provide access to parking areas with regular spaces or with a mix of regular and sub-compact spaces, must have a minimum width of 22 feet for two-way traffic and 12 feet for one-way traffic; When 90 degree stalls are located on both sides of a drive aisle, a minimum of 24 feet of aisle is required. On-site drive aisles without parking spaces, which provide access to parking areas with only sub-compact spaces, must have a minimum width of 20 feet for two-way traffic and 12 feet for one-way traffic;**

**Finding:**

*Dimensional and design information pertaining to parking stalls and parking lot driving aisle width were not provided. There are 8 new carports being proposed with a total of 132 stalls. Exhibit A1 (narrative) states that each of the units will have two parking spaces within an attached garage. With Condition of Approval A17, these standards are met.*

- (11) Artificial lighting, must be deflected to not shine or create glare in a residential zones, street right-of-way, a Natural Resource Protection Overlay District, Other Natural Areas, or a Clean Water Services Vegetated Corridor;**
- (12) Parking lot landscaping must be provided pursuant to the requirements of TDC 73C.200; and**
- (13) Except for parking to serve residential uses, parking areas adjacent to or within residential zones or adjacent to residential uses must be designed to minimize disturbance of residents.**

**Finding:**

*The applicant provided a lighting diagram for just the proposed development site, sheet E01 and E02 of Exhibit A2 lists the proposed light fixtures. The applicant indicated on Sheet E02 that the lighting requirements of TDC 63.055 will be met, however this section is applicable to Industrial zoned property. TDC 73A.200 (10) (b) requires lighting systems that do not produce direct glare on adjacent properties and without shining into residential units, public rights-of-way, or fish and wildlife habitat areas. Compliance with TDC 73C.210 is discussed in detail below. The applicant is not proposing on-street parking related to the proposed development. With Condition of Approval A10.n., these standards will be met.*

**Section 73C.050 – Bicycle Parking Requirements and Standards.**

**(1) Requirements. Bicycle parking facilities must include:**

- (a) Long-term parking that consists of covered, secure stationary racks, lockable enclosures, or rooms in which the bicycle is stored;**
  - (i) Long-term bicycle parking facilities may be provided inside a building in suitable secure and accessible locations.**
- (b) Short-term parking provided by secure stationary racks (covered or not covered), which accommodate a bicyclist's lock securing the frame and both wheels.**

**(2) Standards. Bicycle parking must comply with the following:**

- (a) Each bicycle parking space must be at least six feet long and two feet wide, with overhead clearance in covered areas must be at least seven feet;**
- (b) A five (5) foot-wide bicycle maneuvering area must be provided beside or between each row of bicycle parking. It must be constructed of concrete, asphalt, or a pervious hard surface such as pavers or grasscrete, and be maintained;**
- (c) Access to bicycle parking must be provided by an area at least three feet in width. It must be constructed of concrete, asphalt, or a pervious hard surface such as pavers or grasscrete, and be maintained;**
- (d) Bicycle parking areas and facilities must be identified with appropriate signing as specified in the Manual on Uniform Traffic Control Devices (MUTCD) (latest edition). At a minimum, bicycle parking signs must be located at the main entrance and at the location of the bicycle parking facilities;**
- (e) Bicycle parking must be located in convenient, secure, and well-lighted locations approved through the Architectural Review process. Lighting, which may be provided, must be deflected to not shine or create glare into street rights-of-way or fish and wildlife habitat areas;**
- (f) Required bicycle parking spaces must be provided at no cost to the bicyclist, or with only a nominal charge for key deposits, etc. This does not preclude the operation of private for-profit bicycle parking businesses;**
- [...]**
- (h) The City Manager or the Architectural Review Board may approve a form of bicycle parking not specified in these provisions but that meets the needs of long-term and/or short-term parking pursuant to Architectural Review.**

**Finding:**

As described in the Narrative (Exhibit A1), the applicant proposes to provide bicycle parking within attached garages for each proposed unit. Per TDC 73.100 there are no separate bicycle facilities required for the proposed townhouses. Because bicycle parking will be provided within each unit’s garage, these standards do not apply.

**Section 73C.100 – Off-Street Parking Minimum/Maximum Requirements.**

| USE   | MINIMUM MOTOR VEHICLE PARKING  | MAXIMUM MOTOR VEHICLE PARKING | BICYCLE PARKING  | PERCENTAGE OF BICYCLE PARKING TO BE COVERED |
|---|--|-------------------------------|--|---|
| <b>(a) Residential Uses</b>   |  |                               |  |   |
| <b>(viii) Multi-family dwellings in complexes with private internal driveways</b> | <b>1.0 space/studio, 1.25 space/1 bedroom, 1.50 space/2 bedroom, 1.75 space/3= bedroom</b> | <b>none</b>                   | <b>Developments with five or more units; none required if a garage is provided as an integral element of a unit; otherwise 1.00 space per unit</b> | <b>100</b>                                  |

**Finding:**

The applicant is proposing 45 new townhouse units that will contain two motor vehicle parking spaces within each units attached garage. The applicant’s narrative (Exhibit A1) states for the entire Alden Apartment property there will be a total of 65 three-bedroom units requiring a total of 114 off-street parking spaces. There will be 111 two-bedroom units requiring a total of 167 off-street parking spaces. There are 64 one-bedroom units requiring a total of 96 off-street parking spaces. Based on the total number of bedrooms in each unit, a total of 361 off-street parking spaces are required and the applicant is proposing 442 parking spaces. Off-street parking space dimensional information was not provided. With Condition of Approval A10.o, these standards will be met.

Table 1: Minimum and Proposed Parking by Use

| Use  | Total Units | Vehicle Parking Min. | Proposed   | Bike Parking Min.* | Proposed** |
|--|-------------|----------------------|------------|--------------------|------------|
| Multi-family   | 240         | 361                  | <b>442</b> | 195                | <b>45</b>  |
| * Required for existing units that will remain after construction of new units.                                    |             |                      |            |                    |            |
| ** Applicant has indicated each of the 45 proposed units will have two parking spaces within each attached garage. |             |                      |            |                    |            |

The applicant is proposing 45 new townhome units that will contain two motor vehicle parking spaces within each units attached garage. The application material states there are 65 three-bedroom units requiring a total of 114 off-street parking spaces. There are 111 two-bedroom units requiring a total of 167 off-street parking spaces. There are 64 one-bedroom units requiring a total of 96 off-street parking spaces. A total of 361 off-street parking spaces are required and the applicant is proposing 442 off-street parking spaces. The applicant has proposed to locate bicycle parking in the garages of the new units. It’s unclear if the existing units are provided with at least one bicycle parking space. With recommended Condition of Approval A18 and A10.p., which will require additional bike parking details, these standards are met.

**(2) In addition to the general parking requirements in subsection (1), the following are the minimum number of off-street vanpool and carpool parking for commercial, institutional, and industrial uses.**  
[...]

**Finding:**

*The proposal is for a residential use development. This standard does not apply.*

**Section 73C.120 – Off-Street Loading Facilities Minimum Requirements.**

**(1) The minimum number of off-street loading berths for commercial, industrial, and institutional uses is as follows:**  
[...]

**Finding:**

*The proposal is for a residential use development. This standard does not apply.*

**Section 73C.130 – Parking Lot Driveway and Walkway Minimum Requirements.** Parking lot driveways and walkways must comply with the following requirements:

**(1) Residential Use. Minimum requirements for residential uses:**  
[...]

**(c) Ingress and egress for multi-family residential uses must not be less than the following:**

| Dwelling Units | Minimum Number Required | Minimum Width          | Walkways, Etc.                                 |
|----------------|-------------------------|------------------------|--|
| 50-499         | 1<br>or<br>2            | 32 feet<br><br>24 feet | 6-foot walkway, 1 side only;<br>curbs required |

[...]

**Finding:**

*The parking lot driveways, one on SW Sagert Street and a second on SW Martinazzi Avenue, are existing and are not part of the current application. The driveways have existing abutting walkways that appears to be approximately 5 feet in width. Additional findings are provided in Chapter 75. With Condition of Approval A10.q., these standards will be met.*

**(6) Maximum Driveway Widths and Other Requirements.**

[...]

**(d) There must be a minimum distance of 40 feet between any two adjacent driveways on a single property unless a lesser distance is approved by the City Manager.**

**(e) Must comply with the distance requirements for access as provided in TDC 75.**

**(f) Must comply with vision clearance requirements in TDC 75.**

**Finding:**

*The driveways are existing and no modifications are being proposed. These standards are not applicable.*

**Section 73C.210. - Multi-Family Parking Lot Landscaping Requirements.** Multi-family residential uses (as defined in TDC 31.060) must comply with the following landscaping requirements for parking lots in all zones:

**(1) General. Locate landscaping or approved substitute materials in all areas not necessary for vehicular parking and maneuvering.**

**Finding:**

*The applicant is not proposing an expansion or alteration of the existing parking lot landscaping. This standard is met.*

**(2) Clear Zone.** Clear zone must be provided for the driver at ends of on-site drive aisles and at driveway entrances, vertically between a maximum of 30 inches and a minimum of eight feet as measured from the ground level.

[...]

**Finding:**

*The landscaping in the area of the driveways is existing and no changes are proposed. Clear vision triangles were not placed landscaping plans (Sheets L101 and L102 of Exhibit A2). With recommended Condition of Approval A10.r. and A19 related to maintenance, this standard is met.*

**(3) Setback.** Minimum 10-foot landscape setback must be provided between the property lines and parking areas and must comply with the following:

- (a) Must be planted with deciduous trees an average of not more than 30 feet on center and shrubs at least 30 inches in height which provide screening of vehicular headlights; and
- (b) Native trees and shrubs are encouraged.

**Finding:**

*The applicant is not proposing an expansion or alteration of the existing parking lot or parking lot landscaping. This standard is met.*

**(4) Perimeter.** Minimum five feet in width in all off-street parking and vehicular circulation areas, including loading areas and must comply with the following:

- (a) Deciduous trees located not more than 30 feet apart on average as measured on center;
- (b) Shrubs or ground cover, planted so as to achieve 90 percent coverage within three years;
- (c) Plantings which reach a mature height of 30 inches in three years which provide screening of vehicular headlights year round;
- (d) Native trees and shrubs are encouraged; and
- (e) Exceptions: [...]

**Finding:**

*The applicant is not proposing an expansion or alteration of the existing parking lot or parking lot landscaping. This standard is met.*

**(5) Transition.** Minimum 10-foot landscaped transition area between parking and vehicle circulation areas and buildings and shared outdoor areas and must comply with the following:

- (a) Deciduous shade trees located at not less than 30 feet on center must be located in this transition area;
- (b) Groundcover plants mixed with low shrubs must completely cover the remainder of this area within three years;
- (c) Native trees and shrubs are encouraged; and
- (d) Exceptions: [...]

**Finding:**



*The applicant is not proposing an expansion or alteration of the existing parking lot or parking lot landscaping. This standard is met.*

**(6) Landscape Island. Minimum 25 square feet per parking stall must be improved with landscape island areas and must comply with the following:**

- (a) May be lower than the surrounding parking surface to allow them to receive stormwater run-off and function as water quality facilities as well as parking lot landscaping;**
- (b) Must be protected from vehicles by curbs, but the curbs may have spaces to allow drainage into the islands;**
- (c) Landscape separation required for every eight continuous spaces in a row;**
- (d) Must be planted with one deciduous shade trees for every four parking spaces. Required trees must be evenly dispersed throughout the parking lot;**
- (e) Must be planted with groundcover or shrubs;**
- (f) Native plant materials are encouraged;**
- (g) Landscape island areas with trees must be a minimum of five feet in width (from inside of curb to curb);**
- (h) Required plant material in landscape islands must achieve 90 percent coverage within three years; and**
- (i) Exceptions: [...]**

**Finding:**

*The applicant is not proposing an expansion or alteration of the existing parking lot or parking lot landscaping. This standard is met.*

## **Chapter 73D: Waste and Recyclables Management Standards**

### **Section 73D.010 – Applicability and Objectives.**

**(1) Applicability.** The requirements of this Chapter apply to all new or expanded:

- (a) Common wall residential developments containing five or more units;**  
[...]

### **Section 73D.020 - Design Methods.**

**An applicant required to provide mixed solid waste and source separated recyclables storage areas must comply with one of following methods:**

- (1) The minimum standards method in TDC 73D.030;**
- (2) The waste assessment method in TDC 73D.040;**
- (3) The comprehensive recycling plan method in TDC 73D.050; or**
- (4) The franchised hauler review method in TDC 73D.060.**

**Finding:**

*The applicant's narrative proposes to use the Minimum Standards Method (TDC 73D.030), which is most appropriate when a use is not known. The use of the project is known and will follow a waste and recycling program that is similar to single-family residential pickup. The process as described in the Republic Services service provider letter, Exhibit A6, states each unit will have separate waste and recycle containers that will be placed at the end of each unit's driveway for automated side-loaded pickup. With there being one 5-unit building, seven 4-unit buildings and four 3-unit buildings, there is no specific method in the TDC that matches to proposed waste and recycling program described by Republic*

*Services. There will be no centralized waste collection for the proposed units. As discussed below, these standards are met.*

**Section 73D.030 – Minimum Standards Method.**

This method specifies a minimum storage area requirement based on the size and general use category of the new or expanded development. This method is most appropriate when specific use of a new or expanded development is not known. It provides specific dimensional standards for the minimum size of storage areas by general use category.

(1) The size and location of the storage area(s) must be indicated on the site plan. Requirements are based on an assumed storage area height of four feet for mixed solid waste and source separated recyclables. Vertical storage higher than four feet, but no higher than 7 feet may be used to accommodate the same volume of storage in a reduced floor space (potential reduction of 43 percent of specific requirements). Where vertical or stacked storage is proposed, submitted plans must include drawings to illustrate the layout of the storage area and dimensions for containers.

(2) The storage area requirement is based on uses. If a building has more than one use and that use occupies 20 percent or less of the gross leasable area (GLA) of the building, the GLA occupied by that use must be counted toward the floor area of the predominant use(s). If a building has more than one use and that use occupies more than 20 percent of the GLA of the building, then the storage area requirement for the whole building must be the sum of the area of each use. Minimum storage area requirements by use is as follows:

(a) Common wall residential five to ten units must provide 50 square feet.

(b) Common wall residential greater than ten units must provide 50 square feet plus an additional five square feet per unit above ten.

[...]

**Finding:**

*The applicant proposes trash to be picked up via separate trash and recycle cart receptacles. Waste and recyclable pickup will require occupants of each proposed dwelling unit to place the containers at the end of each dwelling unit's driveway in a location accessible for automated side-load service. Republic Service has the franchise agreement to provide waste and recycling services. Republic Services indicated that the proposed method for waste and recycling pick up is acceptable. The proposal includes 45 new residential units and there is no TDC described method that matches the Republic Services approved method. There is one 5-unit building proposed with the others being 3- and 4-unit buildings. Per 73D.020 (b), If all the new units were in one building with a centralized waste and recycling pick up area then a total of 275 square feet would be required. Per TDC 73D.020(a), the one 5-unit building would require 50 square feet with 90 square feet being proposed. The applicant's narrative (Exhibit A1) states that 18 square feet is proposed for each unit which would total 810 square feet and exceed the minimum required area for the minimum standard method. With recommended Condition of Approval A20, these standards are met.*

**Section 73D.070 – Location, Design and Access Standards.**

The following location, design, and access standards are applicable to all storage areas:

**(1) Location Standards.**

(a) The storage area for source separated recyclables may be collocated with the storage area for mixed solid waste.

(b) Storage area space requirements can be satisfied with a single location or multiple locations, and can combine both interior and exterior locations.

(c) Exterior storage areas must:

(i) Be located in central and visible locations on the site to enhance security for users;

- (ii) Be located in a parking area; and
- (iii) Not be located within a required front yard setback or in a yard adjacent to a public or private street.

**(2) Design Standards.**

- (a) The dimensions of the storage area must accommodate containers consistent with current methods of local collection at time of construction or alteration.
- (b) Indoor and outdoor storage areas must comply with Oregon Building and Fire Code requirements.
- (c) Exterior storage areas must be enclosed by a sight obscuring fence or wall at least 6 feet in height.
- (d) Evergreen plants must be placed around the enclosure walls, excluding the gate or entrance openings for common wall, commercial, and institutional developments.
- (e) Gate openings for haulers must be a minimum of 10 feet wide and must be capable of being secured in a closed and open position.
- (f) Horizontal clearance must be a minimum of 10 feet and a vertical clearance of 8 feet is required if the storage area is covered.
- (g) A separate pedestrian access must also be provided in common wall, commercial, and institutional developments.
- (h) Exterior storage areas must have either a concrete or asphalt floor surface.
- (i) Storage areas and containers must be clearly labeled to indicate the type of material accepted.

**Finding:**

*Republic Services has approved a method of waste and recycling storage and pick up which is the same as single-family storage and pickup. All trash and recycle cart receptacles must be placed on a level surface at the end of each unit's driveway, in a location that is accessible for automated side-load service, with a minimum spacing of 2 feet apart for each container and at least 4 feet from any fixed objects including parked vehicles, and with no overhead obstructions. The 41 units accessed by SW Martinazzi Avenue will be accessed by a new 20 foot wide access driveway between the proposed units with a turn radius of 28 feet and beveled curbing on both inside corners of the roadway to allow for truck maneuvering. The remaining 4 units will be accessed by SW Sagert Street with storage and pickup using the existing paved surface. With recommended Condition of Approval A20, these standards are met.*

**(3) Access Standards.**

- (a) Storage areas must be accessible to users at convenient times of the day, and to hauler personnel on the day and approximate time they are scheduled to provide hauler service.
- (b) Storage areas must be designed to be easily accessible to hauler trucks and equipment, considering paving, grade, gate clearance and vehicle access.
- (c) Storage areas must be accessible to hauler trucks without requiring backing out of a driveway onto a public street. If only a single access point is available to the storage area, adequate turning radius must be provided to allow hauler trucks to safely exit the site in a forward motion.
- (d) Storage areas must be located so that pedestrian and vehicular traffic movement are not obstructed on site or on public streets adjacent to the site.
- (e) The following is an exception to the access standard:
  - (i) Access may be limited for security reasons.

**Finding:**

*As shown in the applicant's submittal, Republic Services, the applicable waste hauler, has indicated that the dimensions and accessibility of the collection containers are acceptable (Exhibit A6). These standards are met.*

## **Chapter 74: Public Improvement Requirements**

[...]

### **TDC 74.120 Public Improvements.**

**(1) Except as specially provided, all public improvements must be installed at the expense of the applicant. All public improvements installed by the applicant must be constructed and guaranteed as to workmanship and material as required by the Public Works Construction Code prior to acceptance by the City. Work must not be undertaken on any public improvement until after the construction plans have been approved by the City Manager and a Public Works Permit issued and the required fees paid.**

**Finding:**

*All public improvements will be installed by the applicant at their expense after approval of plans and issued Erosion Control, Water Quality, and Public Works Permits. With recommended Conditions of Approval A9 and A12, this standard is met.*

### **TDC 74.130 Private Improvements.**

**All private improvements must be installed at the expense of the applicant. The property owner must retain maintenance responsibilities over all private improvements.**

**Finding:**

*All private improvements will be installed by the applicant at their expense and will require prior approval of plans and building permits. With recommended Conditions of Approval A9 and A12, this standard is met.*

### **TDC 74.140 Construction Timing.**

**(1) All the public improvements required under this chapter must be completed and accepted by the City prior to the issuance of a Certificate of Occupancy.**

**(2) All private improvements required under this Chapter must be approved by the City prior to the issuance of a Certificate of Occupancy.**

**Finding:**

*All public and private improvements proposed and modified by conditions of approval will be completed and accepted by the City prior to receiving a Certificate of Occupancy. With recommended Conditions of Approval A9 and A12, this standard is met.*

[...]

### **TDC 74.210 Minimum Street Right-of-Way Widths.**

**The width of streets in feet shall not be less than the width required to accommodate a street improvement needed to mitigate the impact of a proposed development. In cases where a street is required to be improved according to the standards of the TDC, the width of the right-of-way shall not be less than the minimums indicated in TDC Chapter 74, Public Improvement Requirements, Figures 74-2A through 74-2G.**

**(2) For development applications other than subdivisions and partitions, wherever existing or future streets adjacent to property proposed for development are of inadequate right-of-way width, the additional right-of-way necessary to comply with TDC Chapter 74, Public Improvement Requirements, Figures 74-2A through 74-2G of the Tualatin Community Plan must be dedicated to the City for use by the public prior to issuance of any building permit for the proposed development. This right-of-way dedication must be for the full width of the property abutting the roadway and, if required by the City Manager, additional dedications must be provided for slope and utility easements if deemed necessary.**

**Finding:**

*The proposal is adjacent to SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street. Required dedication of right-of-way and construction of public street surface infrastructure will benefit this development's expected addition of bicycle, pedestrian, and vehicular trips utilizing streets and sidewalks. This includes dedication to enable construction of a sidewalk with planter strip on SW Avery Street, a parking strip on SW Martinazzi Avenue. Final plans will include a minimum of half-street right-of-way dedications to preferred cross-sections along with improvements within SW Avery Street and SW Martinazzi Avenue meeting the requirements of the City of Tualatin. With recommended Conditions of Approval A3 and A8, this standard is met.*

*The proposed development would add 30 new units to the existing apartment complex. In order to calculate whether the improvements recommended by Conditions of Approval A3 and A3 are "roughly proportional" to the transportation impact proposed, the calculation is based on Washington County's Transportation Development Tax (TDT) methodology, during which the County: Compiled a list of projects needed Countywide to address anticipated growth in the next 20 years... and... added together the anticipated cost of each of these projects to get a total Countywide cost of projects needed to address growth... and... Considered all of the anticipated growth Countywide and added together all of the trips that would be generated by this development and, proportionally, the base TDT that would be collected for this development. The current TDT capture rate set by Washington County is 21%. Meaning the total TDT cost for the project  $30 \text{ units} \times \$6,542 = 196,260 / .21 = \$934,571$ . Although the required improvements do not need to be exactly the same as this figure, it is the basis for determining whether the improvements are "roughly proportional." The applicant provided a preliminary estimate that these improvements would be in the range of \$700,000 or less (Exhibit K). Therefore the recommended improvements are "roughly proportional."*

**TDC 74.320. - Slope Easements.**

**(1) The applicant must obtain and convey to the City any slope easements determined by the City Manager to be necessary adjacent to the proposed development site to support the street improvements in the public right-of-way or accessway or utility improvements required to be constructed by the applicant.**

[...]

**(3) For all other development applications, a slope easement dedication must be submitted to the City Manager; building permits must not be issued for the development prior to acceptance of the easement by the City.**

**Finding:**

*Any required slope easements necessary to support SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street will be granted to the City. With recommended Conditions of Approval A3 and A8, this standard is met.*

**TDC 74.330. - Utility Easements.**

**(1) Utility easements for water, sanitary sewer and storm drainage facilities, telephone, television cable, gas, electric lines and other public utilities must be granted to the City.**

[...]

**(4) For development applications other than subdivisions and partitions, and for both on-site and off-site easement areas, a utility easement must be granted to the City; building permits must not be issued for the development prior to acceptance of the easement by the City. The City may elect to exercise eminent domain and condemn necessary off-site public utility easements at the applicant's request and expense. The City Council must determine when condemnation proceedings are to be used.**

**(5) The width of the public utility easement must meet the requirements of the Public Works Construction Code. All subdivisions and partitions must have a 6-foot public utility easement adjacent to the street and a 5-foot public utility easement adjacent to all side and rear lot lines. Other easements may be required as determined by the City Manager.**

**Finding:**

*Any required public utility easement will be granted to the City. The public utility easement width will be 8-foot-wide adjacent to the final dedicated right-of-way of SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street. Additional width of public utility easement will include accommodation of water system meters and vaults to meet the Public Works Construction Code. With recommended Conditions of Approval A3 and A8, these standards are met.*

[...]

**TDC 74.420 Street Improvements.**

**When an applicant proposes to develop land adjacent to an existing or proposed street, including land which has been excluded under TDC 74.220, the applicant should be responsible for the improvements to the adjacent existing or proposed street that will bring the improvement of the street into conformance with the Transportation Plan (TDC Chapter 11), TDC 74.425 (Street Design Standards), and the City's Public Works Construction Code, subject to the following provisions:**

**(1) For any development proposed within the City, roadway facilities within the right-of-way described in TDC 74.210 must be improved to standards as set out in the Public Works Construction Code.**

**(2) The required improvements may include the rebuilding or the reconstruction of any existing facilities located within the right-of-way adjacent to the proposed development to bring the facilities into compliance with the Public Works Construction Code.**

**(3) The required improvements may include the construction or rebuilding of off-site improvements which are identified to mitigate the impact of the development.**

**(4) Where development abuts an existing street, the improvement required must apply only to that portion of the street right-of-way located between the property line of the parcel proposed for development and the centerline of the right-of-way, plus any additional pavement beyond the centerline deemed necessary by the City Manager to ensure a smooth transition between a new improvement and the existing roadway (half-street improvement). Additional right-of-way and street improvements and off-site right-of-way and street improvements may be required by the City to**

mitigate the impact of the development. The new pavement must connect to the existing pavement at the ends of the section being improved by tapering in accordance with the Public Works Construction Code.

(5) If additional improvements are required as part of the Access Management Plan of the City, TDC Chapter 75, the improvements must be required in the same manner as the half-street improvement requirements.

(6) All required street improvements must include curbs, sidewalks with appropriate buffering, storm drainage, street lights, street signs, street trees, and, where designated, bikeways and transit facilities.

[...]

(8) For development applications other than subdivisions and partitions, all street improvements required by this section must be completed and accepted by the City prior to the issuance of a Certificate of Occupancy.

[...]

(10) Streets within, or partially within, a proposed development site must be graded for the entire right-of-way width and constructed and surfaced in accordance with the Public Works Construction Code.

(11) Existing streets which abut the proposed development site must be graded, constructed, reconstructed, surfaced or repaired as necessary in accordance with the Public Works Construction Code and TDC Chapter 11, Transportation Plan, and TDC 74.425 (Street Design Standards).

(12) Sidewalks with appropriate buffering must be constructed along both sides of each internal street and at a minimum along the development side of each external street in accordance with the Public Works Construction Code.

(13) The applicant must comply with the requirements of the Oregon Department of Transportation (ODOT), Tri-Met, Washington County and Clackamas County when a proposed development site is adjacent to a roadway under any of their jurisdictions, in addition to the requirements of this chapter.

(14) The applicant must construct any required street improvements adjacent to parcels excluded from development, as set forth in TDC 74.220 of this chapter.

[...]

(17) Intersections should be improved to operate at a level of service of at least D and E for signalized and unsignalized intersections, respectively.

[...]

**Finding:**

*A Trip Generation Letter from Kittelson & Associates was submitted with plans focused on onsite redevelopment. City staff have reviewed the proposal against the above requirements. Required dedication of right-of-way and construction of public street surface infrastructure will benefit this development's expected addition of bicycle, pedestrian, and vehicular trips utilizing streets and sidewalks. This includes dedication to enable construction of a sidewalk with planter strip on SW Avery Street, and a parking strip on SW Martinazzi Avenue. With recommended Conditions of Approval A3, A8, A9 and A12, these standards are met.*

**TDC 74.425 Street Design Standards.**

(1) Street design standards are based on the functional and operational characteristics of streets such as travel volume, capacity, operating speed, and safety. They are necessary to ensure that the system of streets, as it develops, will be capable of safely and efficiently serving the traveling public while also accommodating the orderly development of adjacent lands.

**(2) The proposed street design standards are shown in Figures 72A through 72G. The typical roadway cross sections comprise the following elements: right-of-way, number of travel lanes, bicycle and pedestrian facilities, and other amenities such as landscape strips. These figures are intended for planning purposes for new road construction, as well as for those locations where it is physically and economically feasible to improve existing streets.**

[...]

**(4) All streets must be designed and constructed according to the preferred standard. The City Manager may reduce the requirements of the preferred standard based on specific site conditions, but in no event will the requirement be less than the minimum standard. The City Manager must take into consideration the following factors when deciding whether the site conditions warrant a reduction of the preferred standard:**

**(a) Arterials:**

- (i) Whether adequate right-of-way exists;**
- (ii) Impacts to properties adjacent to right-of-way;**
- (iii) Current and future vehicle traffic at the location; and**
- (iv) Amount of heavy vehicles (buses and trucks).**

**(b) Collectors:**

- (i) Whether adequate right-of-way exists;**
- (ii) Impacts to properties adjacent to right-of-way;**
- (iii) Amount of heavy vehicles (buses and trucks); and**
- (iv) Proximity to property zoned manufacturing or industrial.**

[...]

**Finding:**

*The proposal is adjacent to SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street. These are designated on Tualatin Comprehensive Plan Map 8-1: Tualatin Functional Classification Plan and Traffic Signal Plan as a Local, Minor Collector, and Minor Arterial classifications, respectively. A Transportation Impact Analysis from Kittelson & Associates did not recommend additional improvements greater than the preferred cross-sections. With recommended Conditions of Approval A3 and A8, these standards are met.*

**TDC 74.440 Streets, Traffic Study Required.**

**(1) The City Manager may require a traffic study to be provided by the applicant and furnished to the City as part of the development approval process as provided by this Code, when the City Manager determines that such a study is necessary in connection with a proposed development project in order to:**

- (a) Assure that the existing or proposed transportation facilities in the vicinity of the proposed development are capable of accommodating the amount of traffic that is expected to be generated by the proposed development, and/or**
- (b) Assure that the internal traffic circulation of the proposed development will not result in conflicts between on-site parking movements and/or on-site loading movements and/or on-site traffic movements, or impact traffic on the adjacent streets.**

**(2) The required traffic study must be completed prior to the approval of the development application.**

**(3) The traffic study must include, at a minimum:**

- (a) an analysis of the existing situation, including the level of service on adjacent and impacted facilities.**
- (b) an analysis of any existing safety deficiencies.**



**(c) proposed trip generation and distribution for the proposed development.**

**(d) projected levels of service on adjacent and impacted facilities.**

**(e) recommendation of necessary improvements to ensure an acceptable level of service for roadways and a level of service of at least D and E for signalized and unsignalized intersections respectively, after the future traffic impacts are considered.**

**(f) The City Manager will determine which facilities are impacted and need to be included in the study.**

**(g) The study must be conducted by a registered engineer.**

**(4) The applicant must implement all or a portion of the improvements called for in the traffic study as determined by the City Manager.**

**Finding:**

*A Trip Generation Letter from Kittelson & Associates did not recommend any improvements. Their summary included:*

*ColRich (property owner) is proposing to redevelop a portion of the Alden Apartments located in the southeast corner of the SW Martinazzi Avenue/SW Sagert Street intersection in Tualatin. The development plan proposes to remove 15 apartment units and construct 45 townhome units and associated amenities. Access to the townhomes will be provided by the existing driveways to the Alden Apartments on SW Sagert Street and SW Martinazzi Avenue. No new driveways are proposed nor modifications to off-site intersections.*

*This letter provides trip generation and trip distribution/assignment estimates for the proposed redevelopment in accordance with Tualatin Development Code Section 74.440. As documented herein, the proposed redevelopment is estimated to generate fewer than 500 daily trips and fewer than 60 morning and evening peak hour trips. In addition, the proposed redevelopment is expected to generate fewer than 20 large truck trips per day. Therefore, a full transportation impact analysis is not expected to be required per Tualatin Development Code Section 74.440 and the following trip generation and trip distribution estimates are expected to satisfy the requirements of the Tualatin Development Code.*

*City staff have reviewed the subject analysis and have determined that it meets the requirements above. This standard is met.*

[...]

**TDC 74.485. - Street Trees.**

[...]

**(2) In nonresidential subdivisions and partitions street trees must be planted by the owners of the individual lots as development occurs.**

**(3) The Street Tree Ordinance specifies the species of tree which is to be planted and the spacing between trees.**

**Finding:**

*The applicant will plant street trees as shown within approved permit plans. With recommended Conditions of Approval A3, A9, and A12, this standard is met.*

**TDC 74.610 Water Service.**

**(1) Water lines must be installed to serve each property in accordance with the Public Works Construction Code. Water line construction plans must be submitted to the City Manager for review and approval prior to construction.**

[...]

**(3) As set forth is TDC Chapter 12, Water Service, the City has three water service levels. All development applicants must be required to connect the proposed development site to the service level in which the development site is located. If the development site is located on a boundary line between two service levels the applicant must be required to connect to the service level with the higher reservoir elevation. The applicant may also be required to install or provide pressure reducing valves to supply appropriate water pressure to the properties in the proposed development site.**

**Finding:**

*Existing services will be improved as needed to meet current code. Separate laterals will serve domestic and fire services. A gate valve will be located near the main for each water lateral. Water meters and fire vaults will be located adjacent to right-of-way. A public utility easement will surround the water meter and fire vault by five feet. With recommended Conditions of Approval A4, A8, A9 and A12, these standards are met.*

**TDC 74.620 Sanitary Sewer Service.**

**(1) Sanitary sewer lines must be installed to serve each property in accordance with the Public Works Construction Code. Sanitary sewer construction plans and calculations must be submitted to the City Manager for review and approval prior to construction.**

**Finding:**

*Existing services will be improved as needed to meet current code including a cleanout will be installed adjacent to right-of-way. With recommended Conditions of Approval A5, A9, and A12, this standard is met.*

**TDC 74.630 Storm Drainage System.**

**(1) Storm drainage lines must be installed to serve each property in accordance with City standards and Clean Water Services standards. Storm drainage construction plans and calculations must be submitted to the City Manager for review and approval prior to construction.**

**(2) The storm drainage calculations must confirm that adequate capacity exists to serve the site. The discharge from the development must be analyzed in accordance with the City's Storm and Surface Water Regulations and Clean Water Services standards.**

[...]

**TDC 74.640 Grading.**

**(1) Development sites must be graded to minimize the impact of storm water runoff onto adjacent properties and to allow adjacent properties to drain as they did before the new development.**

**(2) A development applicant must submit a grading plan showing that all lots in all portions of the development will be served by gravity drainage from the building crawl spaces; and that this development will not affect the drainage on adjacent properties. The City Manager may require the applicant to remove all excess material from the development site.**

**TDC 74.650 Water Quality, Storm Water Detention and Erosion Control.**

**The applicant must comply with the water quality, storm water detention and erosion control requirements in the Surface Water Management Ordinance. If required:**

[...]

**(2)On all other development applications, prior to issuance of any building permit, the applicant must arrange to construct a permanent on-site water quality facility and storm water detention facility and submit a design and calculations indicating that the requirements of the Surface Water Management Ordinance will be met and obtain a Stormwater Connection Permit from Clean Water Services.**

**(3)For on-site private and regional non-residential public facilities, the applicant must submit a stormwater facility agreement, which will include an operation and maintenance plan provided by the City, for the water quality facility for the City's review and approval. The applicant must submit an erosion control plan prior to issuance of a Public Works Permit. No construction or disturbing of the site must occur until the erosion control plan is approved by the City and the required measures are in place and approved by the City.**

**Finding:**

*The Utility Plan illustrates capturing stormwater runoff from the sites developed areas with conveyance discharging to an existing vegetated channel. The channel conveys flow to storm drain infrastructure within the ODOT right-of-way which conveys flow easterly for approximately 0.5 miles and discharges to Saum Creek. The submitted Preliminary Stormwater Report prepared by 3J Consulting includes modifying existing and construction of new onsite stormwater facilities to provide treatment, hydromodification, and detention for all private impervious areas including an Underground Infiltration Facility. ODOT submitted a response dated November 14, 2022 requiring a design meeting the ODOT Hydraulics Manual specifications and to obtain an ODOT Miscellaneous Permit. Modified impervious areas within SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street right-of-ways will be addressed by construction of public LIDA street swales as approved by the City Engineer.*

*Final plans and stormwater calculations will demonstrate that the development has direct access by gravity to public stormwater systems with adequate infiltration and/or downstream capacity in accordance with City of Tualatin, Clean Water Services, DEQ, and ODOT Hydraulics Manual.*

*The site disturbance is approximately 1.85 acres. Erosion and sediment control plans and permit applications conforming to the requirements of the City of Tualatin, CWS, and Oregon Department of Environmental Quality will be provided with the construction permit submittal documents. The applicant will obtain an erosion control permit from the City of Tualatin for disturbance greater than 500 square feet. In addition these plans must be sufficient to obtain a National Pollution Discharge Elimination System (NPDES) 1200-CN Stormwater Discharge Permit from Clean Water Services as an agent of Oregon Department of Environmental Quality if between 1 and 5 acres of disturbance or a National Pollution Discharge Elimination System (NPDES) 1200-C Construction Erosion Control permit from Oregon DEQ for over 5 acres.*

*A Clean Water Services' Service Provider Letter and Memorandum were received. After land use decision issuance the applicant will submit final plans complying with the Service Provider Letter conditions and CWS Memorandum that are sufficient to obtain a Stormwater Connection Permit Authorization Letter from Clean Water Services in accordance with TDC 74.650(2) and CWS D&CS 3.01.2(d). With recommended Conditions of Approval A6, A7, A9, and A12 these standards are met.*

[...]

## **Chapter 75 Access Management**

[...]

### **TDC 75.020. - Permit for New Driveway Approach**

- (1) **Applicability.** A driveway approach permit must be obtained prior to constructing, relocating, reconstructing, enlarging, or altering any driveway approach.
- (2) **Exceptions.** A driveway approach permit is not required for:
- (a) The construction, relocation, reconstruction, enlargement, or alteration of any driveway approach that requires a state highway access permit; or
  - (b) The construction, relocation, reconstruction, enlargement or alteration of any driveway approach that is part of the construction of a publicly or privately engineered public improvement project.

[...]

- (4) **Submittal Requirements.** In addition to the application materials required by TDC 32.140, the following application materials are also required:
- (a) A site plan, of a size and form and in the number of copies meeting the standards established by the City Manager, containing the following information:
    - (i) The location and dimensions of the proposed driveway approach;
    - (ii) The relationship to nearest street intersection and adjacent driveway approaches;
    - (iii) Topographic conditions;
    - (iv) The location of all utilities;
    - (v) The location of any existing or proposed buildings, structures, or vehicular use areas;
    - (vi) The location of any trees and vegetation adjacent to the location of the proposed driveway approach that are required to be protected pursuant to TDC Chapter 73B or 73C; and
    - (vii) The location of any street trees adjacent to the location of the proposed driveway approach.
  - (b) Identification of the uses or activities served, or proposed to be served, by the driveway approach; and
  - (c) Any other information, as determined by the City Manager, which may be required to adequately review and analyze the proposed driveway approach for conformance with the applicable criteria.
- (5) **Criteria.** A Driveway Approach Permit must be granted if:
- (a) The proposed driveway approach meets the standards of this Chapter and the Public Works Construction Code;
  - (b) No site conditions prevent placing the driveway approach in the required location;
  - (c) The number of driveway approaches onto an arterial are minimized;
  - (d) The proposed driveway approach, where possible:
    - (i) Is shared with an adjacent property; or
    - (ii) Takes access from the lowest classification of street abutting the property;
  - (e) The proposed driveway approach meets vision clearance standards;
  - (f) The proposed driveway approach does not create traffic hazards and provides for safe turning movements and access;
  - (g) The proposed driveway approach does not result in significant adverse impacts to the vicinity;
  - (g) The proposed driveway approach minimizes impact to the functionality of adjacent streets and intersections; and
  - (i) The proposed driveway approach balances the adverse impacts to residentially zoned property and the functionality of adjacent streets.

**(6) Effective Date.** The effective date of a Driveway Approach Permit approval is the date the notice of decision is mailed.

**(7) Permit Expiration.** A Driveway Approach Permit approval expires one year from the effective date, unless the driveway approach is constructed within the one-year period in accordance with the approval decision and City standards.

[...]

**TDC 75.040. - Driveway Approach Requirements**

**(1)** The provision and maintenance of driveway approaches from private property to the public streets as stipulated in this Code are continuing requirements for the use of any structure or parcel of real property in the City of Tualatin. No building or other permit may be issued until scale plans are presented that show how the driveway approach requirement is to be fulfilled. If the owner or occupant of a lot or building changes the use to which the lot or building is put, thereby increasing driveway approach requirements, it is unlawful and a violation of this code to begin or maintain such altered use until the required increase in driveway approach is authorized by the City.

[...]

**(4) Requirements for Development on Less than the Entire Site.**

**(a)** To promote unified access and circulation systems, lots and parcels under the same ownership or consolidated for the purposes of development and comprised of more than one building site must be reviewed as one unit in relation to the access standards. The number of access points permitted must be the minimum number necessary to provide reasonable access to these properties, not the maximum available for that frontage. All necessary easements, agreements, and stipulations must be met. This must also apply to phased development plans. The owner and all lessees within the affected area must comply with the access requirements.

**(b)** All access must be internalized using the shared circulation system of the principal commercial development or retail center. Driveways should be designed to avoid queuing across surrounding parking and driving aisles.

**(5)** Lots that front on more than one street may be required to locate motor vehicle accesses on the street with the lower functional classification as determined by the City Manager.

**(6)** Except as provided in TDC 53.100, all driveway approach must connect directly with public streets.

**(7)** To afford safe pedestrian access and egress for properties within the City, a sidewalk must be constructed along all street frontage, prior to use or occupancy of the building or structure proposed for said property. The sidewalks required by this section must be constructed to City standards, except in the case of streets with inadequate right-of-way width or where the final street design and grade have not been established, in which case the sidewalks must be constructed to a design and in a manner approved by the City Manager. Sidewalks approved by the City Manager may include temporary sidewalks and sidewalks constructed on private property; provided, however, that such sidewalks must provide continuity with sidewalks of adjoining commercial developments existing or proposed. When a sidewalk is to adjoin a future street improvement, the sidewalk construction must include construction of the curb and gutter section to grades and alignment established by the City Manager.

[...]

**(9)** Minimum driveway approach width for uses are as provided in Table 75-1 (Driveway Approach Width):

| <b>TABLE 75-1<br/>Driveway Approach Width</b> |  |  |
|---|--|--|
| <b>Use</b>                                    | <b>Minimum Driveway Approach Width</b> | <b>Maximum Driveway Approach Width</b> |
|   |  |  |

|                     |  |  |
|---------------------|--|--|
| <b>Multi-family</b> | 5-49 Units = 24 feet<br>50-499 = 32 feet<br>Over 500 = as required by the City Manager | May provide two 16 foot one-way driveways instead of one 24-foot driveway<br>May provide two 24-foot one-way driveways instead of one 32-foot driveway |
|---------------------|--|--|

**(10) Driveway Approach Separation.** There must be a minimum distance of 40 feet between any two adjacent driveways on a single property unless a lesser distance is approved by the City Manager.

**(11) Distance between Driveways and Intersections.** Except for single-family dwellings, duplexes, townhouses, triplexes, quadplexes, and cottage clusters, the minimum distance between driveways and intersections must be as provided below. Distances listed must be measured from the stop bar at the intersection.

(a) At the intersection of collector or arterial streets, driveways must be located a minimum of 150 feet from the intersection.

[...]

**(12) Vision Clearance Area.**

(a) Local Streets. A vision clearance area for all local street intersections, local street and driveway intersections, and local street or driveway and railroad intersections must be that triangular area formed by the right-of-way lines along such lots and a straight line joining the right-of-way lines at points which are ten feet from the intersection point of the right-of-way lines, as measured along such lines (see Figure 73-2 for illustration).

(b) Collector Streets. A vision clearance area for all collector/arterial street intersections, collector/arterial street and local street intersections, and collector/arterial street and railroad intersections must be that triangular area formed by the right-of-way lines along such lots and a straight line joining the right-of-way lines at points which are 25 feet from the intersection point of the right-of-way lines, as measured along such lines. Where a driveway intersects with a collector/arterial street, the distance measured along the driveway line for the triangular area must be ten feet (see Figure 73-2 for illustration).

(c) Vertical Height Restriction. Except for items associated with utilities or publicly owned structures such as poles and signs and existing street trees, no vehicular parking, hedge, planting, fence, wall structure, or temporary or permanent physical obstruction must be permitted between 30 inches and eight feet above the established height of the curb in the clear vision area (see Figure 73-2 for illustration).

[...]

**TDC 75.120. - Collector Streets Access Standards.**

[...]

**(2) Minor Collectors.** Residential, commercial and industrial driveways where the frontage is greater or equal to 70 feet are permitted. Minimum spacing at 100 feet. Uses with less than 50 feet of frontage shall use a common (joint) access where available.

[...]

**TDC 75.140. - Existing Streets Access Standards.**

The following list describes in detail the freeways and arterials as defined in TDC 75.050 with respect to access. Recommendations are made for future changes in accesses and location of future accesses. These recommendations are examples of possible solutions and shall not be construed as limiting the City's authority to change or impose different conditions if additional studies result in different recommendations from those listed below.

[...]

**(1) INTERSTATE 5 (I-5).** I-5 is a State facility and access is controlled by the State.

[...]

**(14) SAGERT STREET.**

**(a) Martinazzi Avenue to 65th Avenue. No new driveways or streets shall be allowed,  
[...]**

**Finding:**

*No modification to existing and no new accesses are proposed. Modifications to the existing streets to match preferred cross-sections will meet vision clearance requirements. With recommended Conditions of Approval A3, A8, A9, and A12, these standards are met.*

### III. RECOMMENDATION

Based on the application materials and analysis and findings presented above, staff finds that the applicable criteria have been met relative to AR 22-0001, and therefore recommend approval of this application with the following conditions of approval:

---

**GENERAL:**

---

- A1. This Architectural Review approval shall expire after two years unless a building, or grading permit submitted in conjunction with a building permit application, has been issued and substantial construction pursuant thereto has taken place and an inspection performed by a member of the Building Division, or an extension is granted under TDC 33.020(10).

---

**PRIOR TO EROSION CONTROL, PUBLIC WORKS, AND WATER QUALITY PERMIT ISSUANCE:**

---

*Submit to [eTrakit](#) for review and approval:*

- A2. The applicant must apply for applicable Engineering Erosion Control, Water Quality, and Public Works permits:
- a. Apply using [eTrakit](#). With the initial Engineering permit(s) application(s) include:
    - i. One combined set of 24"x36" plans including all applicable Engineering permits attached to one Engineering permit. Include a note on other Engineering permits stating which application includes the set; and,
    - ii. Payment for an Erosion Control permit fee per the [fee schedule](#); and,
    - iii. Engineering estimate and deposit for each Water Quality or Public Works permit per the [fee schedule](#); and,
  - b. Deliver two 24"x36" hard copies of the combined Engineering permit plan sets to:

**City of Tualatin**  
**Attn: Engineering Division c/o Principal Engineer**  
**10699 SW Herman Road**  
**Tualatin, OR 97062**

- A3. The applicant must submit Final Street Improvement Plans for SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street adjacent to the lot in accordance with applicable sections of Tualatin Development Code (TDC) 74 and 75 and Public Works Construction Code (PWCC) that show:
- a. Dedication of half-street right-of-way from centerline totaling:
    - i. 25 feet for SW Avery Street; and,
    - ii. 38 feet for SW Martinazzi Avenue; and,
    - iii. 37 feet for SW Sagert Street; and,
  - b. Any additional dedication needed for SW Avery Street and SW Martinazzi Avenue and construction:
    - i. On the north side of SW Avery Street to the Shaniko Greenway Trail:
      - 1. A 4-foot-wide planter strip; and,
      - 2. Street trees; and,
      - 3. Widened to accommodate any required LIDA street swales for public stormwater to meet current CWS requirements; and,



4. A 5-foot-wide public sidewalk; and,
      5. Street lighting improvements as necessary to meet Tualatin standards.
    - ii. Ramps at the northeast corner of the intersection of SW Avery Street and SW Martinazzi Avenue; and,
  - c. Ramp replacement at the intersection of SW Avery Street and SW Martinazzi:
    - i. For the northeast and southeast corners crossing the east side of the intersection; and,
    - ii. For the northwest and northeast corners crossing the north side of the intersection with curb extensions; and,
  - d. Continental striping of all four crosswalks of the intersection of SW Avery Street and SW Martinazzi Avenue.
  - e. SW Martinazzi Avenue on the east side including:
    - i. Preferred half-street improvements including on-street parallel parking along Martinazzi. This section may be adjusted as necessary (as determined by the City Engineer) to preserve existing large mature trees; and,
    - ii. Street lighting improvements as necessary to meet City Engineer standards including PGE's Option A.
    - iii. A planter strip with street trees:
      6. With a minimum 6-foot width where possible; and,
      7. Widened to preserve street and private trees or accommodate any required LIDA street swales for public stormwater to meet current CWS requirements; and,
    - iv. A 6-foot-wide sidewalk meandered as needed for topography, tree preservation, and to match the planter strip; and,
  - f. An 8-foot-wide public utility easement and any required slope easement, or existing equivalent approved by the City Engineer, adjacent to SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street including:
    - i. Five feet of public utility easement surrounding water meter, backflow protection, and fire vault; and,
    - ii. Any proposed private retaining walls must be outside of public utility and slope easements; and,
    - iii. The City Engineer may allow existing right-of-way in excess of the Preferred half-street to equivalently reduce the required easement width; and,
  - g. Bring into compliance of ADA standards:
    - i. All public sidewalks adjacent to the lot; and,
    - ii. Driveways serving the lot; and,
    - iii. All ramps adjacent to the lot including receiving ramps at the northwest and southeast corner at the intersection of SW Avery Street and SW Martinazzi Avenue.
- A4. The applicant must submit Final Water System Plans in accordance with Tualatin Development Code (TDC) 74.610, Tualatin Municipal Code (TMC) 3-3, and Public Works Construction Code (PWCC) that show:
  - a. Separate laterals for domestic and fire services; and,
  - b. A gate valve at the main for both domestic and fire service laterals; and
  - c. Adjacent to public right-of-way:

- i. Reduced pressure backflow prevention for the domestic lateral; and,
    - ii. Water meter(s) behind the curb within the planter strip, and
    - iii. If within final plans, irrigation after a domestic meter and reduced pressure backflow device; and,
    - iv. Fire vault(s) surrounded by a five foot public utility easement.
- A5. The applicant must submit Final Sanitary Sewer System Plans in accordance with Tualatin Development Code (TDC) 74.620, Tualatin Municipal Code (TMC) 3-2, and Public Works Construction Code (PWCC) that show location of the lines, grade, materials, and other details including cleanout at right-of-way.
- A6. The applicant must submit:
  - a. Proof from DEQ of approval of construction of the Underground Infiltration Facility or accommodation of associated stormwater infiltration volume within detention facilities approvable under City of Tualatin codes and Clean Water Services' Design and Construction Standards; and,
  - b. Final Stormwater System Calculations and Plans in accordance with Tualatin Development Code (TDC) 74.630 and 74.650, Tualatin Municipal Code (TMC) 3-5-200 through 3-5-430, Public Works Construction Code (PWCC), and Clean Water Services' (CWS) Design & Construction Standards (D&CS) Chapter 4 stamped by an Oregon registered, professional engineer in accordance with TMC 3-5-390(1) that:
    - i. Provide a downstream analysis, including but not limited to erosion, and include solutions within final plans for ¼ mile downstream from the release from the private development through the public stormwater system, in accordance with TMC 3-5-210(4); and,
    - ii. Accommodate up to a 25-year storm event within the City of Tualatin's public stormwater system with a maximum capacity of 82% for Tualatin's lines in accordance with TDC 74.640, CWS D&CS 5.05.2.d, and the City Engineer; and,
    - iii. Evaluate the 100-year check storm for any release directly or indirectly to ODOT's stormwater system in accordance with the ODOT Hydraulics Manual; and
    - iv. Address runoff from all new and modified private and public impervious areas; and,
    - v. Prove gravity flow five feet from the outside of the established line of the building to the public stormwater system or as otherwise approved by the City Engineer, in accordance with CWS D&CS 1.03.39 and 5.09.3(a) (1) and (4); and,
    - vi. Discharge to an approved public system; and,
    - vii. Treat new and modified impervious areas in accordance with CWS D&CS 4.08.1.d meeting phosphorous removal in accordance with TMC 3-5-350 per the design storm in accordance with TMC 3-5-360 and CWS D&CS 4.08.2; and,
    - viii. Prove infiltration rates in accordance with CWS D&CS 4.08.03; and,
    - ix. Detain as required for conveyance with the City of Tualatin's stormwater system and up to the 50-year storm event for release to ODOTs stormwater system in accordance with the ODOT Hydraulics Manual, TMC 3-5-220, TMC 3-5-230, and CWS D&CS 4.08; and,

- x. Accommodate hydromodification including post-development runoff rates not exceeding pre-development runoff rates for ½ the 2-year storm event and the 5-year and 10-year storm events for proposed new and modified impervious areas in accordance with CWS D&CS 4.03.5; and,
  - xi. In accordance with TDC 74.650(2) and CWS D&CS 3.01.2(d), comply with:
    - 1. The submitted Clean Water Services’ Service Provider Letter CWS File Number dated July 19, 2022 conditions to obtain a Stormwater Connection Permit Authorization Letter, and,
    - 2. Requirements stated within the Clean Water Services’ Memorandum dated November 10, 2022; and,
  - c. Financial assurance for construction performance in accordance with TMC 3-390(3), PWCC 102.14.00, and amount per CWS D&CS 2.07 Table 2-1; and,
  - d. A copy of the recorded private stormwater maintenance agreement in accordance with TMD 3-5-390(4). The agreement must assure the owner as responsible for maintenance of the constructed portions of private stormwater systems within their lot. The identified system must include all conveyance, detention, hydromodification, and treatment.
- A7. The applicant must submit Final Erosion Control Plans in accordance with Tualatin Development Code (TDC) 74.640, Tualatin Municipal Code (TMC) 3-5-050 and 3-5-060, Public Works Construction Code (PWCC), and Clean Water Services’ (CWS) Design & Construction Standards (D&CS) Chapters 2 and 6 that:
- a. Minimize the impact of stormwater from the development to adjacent properties; and,
  - b. Are sufficient to obtain a National Pollution Discharge Elimination System (NPDES) 1200-CN Stormwater Discharge Permit from Clean Water Services as an agent of Oregon Department of Environmental Quality if disturbance is between 1 and 5 acres.

---

**PRIOR TO BUILDING PERMIT ISSUANCE:**

---

- A8. The applicant must submit copies of recorded deeds of right-of-way dedication along with public utility and slope easements, as approved by the City Engineer, in accordance with Tualatin Development Code (TDC) 74.210 and 74.330 which show:
- a. Right-of-way dedication including:
    - i. A half-street from centerline for a total of:
      - 1. 25 feet for SW Avery Street; and,
      - 2. 38 feet for SW Martinazzi Avenue; and,
      - 3. 37 feet for SW Sagert Street; and,
    - ii. Any additional at the intersection of SW Avery Street and SW Martinazzi Avenue to construct a 5-foot-wide public sidewalk and 4-foot-wide planter strip along with ramps at the northeast corner of the intersection; and,
    - iii. Any additional to accommodate and any final public street improvements or stormwater LIDA facilities; and,
  - b. 8-foot-wide public utility and any necessary slope easements, adjacent to SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street including:
    - i. A 10-foot-wide public utility easement centered on any water lateral extending onsite past the public utility easement adjacent to right-of-way; and,
    - ii. Five feet of public utility easement surrounding water meters, backflow protection, and fire vaults; and

- iii. Reduced width of easements from standard due to existing right-of-way in excess of the Preferred half-street width as determined by the City Engineer; and,

A9. The applicant must obtain:

- a. A National Pollution Discharge Elimination System (NPDES) 1200-CN Stormwater Discharge Permit from Clean Water Services as an agent of Oregon Department of Environmental Quality, and,
- b. ODOT Miscellaneous Permit
- c. Erosion Control, Public Works, and Water Quality Permits from the City of Tualatin.

A10. The applicant must submit a Final Site Plan Set (in PDF format) to the Planning Division that is in substantial conformance to the submitted site plans and includes:

- a. Tree Preservation Plan that corresponds to the Tree Assessment Report (submitted as Exhibit A3) that is drawn to scale that includes the location of all trees proposed for removal and preservation that are eight inches or more in diameter, all existing and proposed structures, all existing and proposed public and private improvements, and all existing public and private easements in accordance with TDC 33.110(4)(a).
- b. Private outdoor areas of 80 square feet or greater attached to each ground level unit, consistent with TDC 73A.200(1).
- c. Balcony areas of 48 square feet or greater provided for each above-ground unit, consistent with TDC 73A.200(2).
- d. Entry areas of 24 square feet or greater provided for each unit, or a minimum combined area of 1,392 square feet or greater for each multi-family building, consistent with TDC 73A.200(3).
- e. Shared outdoor area of 72,000 square feet or greater with features consistent with TDC 73A.200(4).
- f. Children’s play area of 36,000 square feet or greater with design features consistent with TDC 73A.200(5).
- g. Storage areas for each unit that are a minimum of: 36 square feet for two-bedroom units, and 48 square feet for three-bedroom or greater units, consistent with TDC 73A.200(6).
- h. Walkways that are a minimum of 6 feet in width; constructed of asphalt, concrete, pervious concrete, pavers, or grasscrete; and meet ADA standards at time of construction, consistent with TDC 73A.200(7).
- i. An accessway that is a minimum 8 feet in width; constructed of asphalt, concrete, pervious concrete, pavers, or grasscrete; meets ADA standards at time of construction; and connects the private on-site walkways to the public sidewalk or multiuse path on Boones Ferry Road, consistent with TDC 73A.200(7). The width may be reduced, as needed to accommodate right-of-way improvements and/or constraints, subject to approval by the City Engineer.
- j. The applicant shall provide detailed information including materials and colors proposed for the carports in compliance with TDC 73A.200(9).
- k. The applicant or property owner must submit scaled elevations illustrating that demonstrates compliance with TDC 73A.200(11).

- l. Trees identified for retention in Tree Assessment Report (Exhibit A3) must be identified on the grading plan, consistent with TDC 73B.080(3) and reflect the applicants Arborist report recommendations. Tree protection fencing and other preservation measures recommended by the Arborist should also be specified on the grading plan.
- m. The applicant shall provide and irrigation plan in compliance with 73B.080(5).
- n. The applicant must provide information that demonstrates compliance with site lighting requirements of TDC 73A.200(10)(b) and parking lot landscaping requirements of TDC 73C.020(11).
- o. Parking space dimensional information conforming to TDC Appendix B Figure 73-1 must be provided.
- p. Where bicycle parking spaces are not located within a garage of a dwelling unit, the applicant must provide information that demonstrates compliance with 73.050 (2).
- q. The applicant shall provide additional information that demonstrates the abutting sidewalk to the existing driveways are at least 6-feet in width in compliance with TDC 73C.130 (c).
- r. The applicant shall provide landscaping plans that illustrate clear vision requirements of TDC 73C.210 (2) are met.

---

**DURING CONSTRUCTION ACTIVITY:**

---

- A11. The applicant must install the tree protection fencing consistent with the Tree Assessment Report submitted as Exhibit A3 and Section 73B.080(3). Please contact the Planning Division to schedule an inspection with a minimum of 48 hours' notice. Where site conditions make grading or other similar encroachment upon a preserved tree's drip-line area, such grading or similar encroachment must only be permitted under the direction of a qualified arborist.

---

**PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY AND/OR CERTIFICATE OF COMPLETION:**

---

- A12. The applicant must complete all the private stormwater and public improvements as shown on the approved permit plans. All improvements must also be accepted by the City in accordance with Tualatin Development Code (TDC) 74.120.
- A13. The applicant must submit paper and electronic as-builts of the Engineering permits along with maintenance bonds and any final fees for public and water quality improvements.
- A14. The applicant shall provide information that demonstrates compliance with TDC 73A.200 (10).
- A15. Areas impacted by grading and all areas not occupied by buildings, parking spaces, driveways, drive aisles, pedestrian areas, or undisturbed natural areas must be landscaped, pursuant to TDC 73B.030(1).
- A16. Areas impacted by grading and all areas not occupied by buildings, parking spaces, driveways, drive aisles, pedestrian areas, or undisturbed natural areas must be landscaped, pursuant to TDC 73B.030(1).
- A17. The applicant shall provide information that demonstrates compliance with parking lot design standards and construct any required improvements per TDC 73C.020.

- A18. The applicant shall provide information that demonstrates the entire development meets the parking requirements 73C.100.
- A19. No vehicular parking, hedge, planting, fence, wall structure, or temporary/permanent physical obstruction is permitted between 30 inches and eight feet above the established height of the curb in the vision clearance area specified in TDC Figure 73-2 (Exhibit G).
- A20. The applicant shall follow the method of waste and recycling storage and pickup as described in the letter dated September 2, 2022 from Republic Services.

---

**THE FOLLOWING ITEMS APPLY TO THE SITE IN AN ON-GOING MANNER:**

---

- A21. All mechanical equipment must be screened in accordance with TDC 73A.200(11)(c). Prior to approval of a mechanical permit, the applicant or property owner must submit scaled elevations illustrating that above-grade or on-grade equipment will be screened by parapet, sight-obscuring fence, landscaping, or other method.
- A22. All sign permits require separate sign permit approval per TDC Chapter 38. This approval does not constitute sign permit approval.
- A23. All site, building exterior, and landscaping improvements approved through the AR process must be continually maintained, so as to remain substantially similar to original approval through the AR process, except as permitted under TDC 33.020(7) (Modifications to Previously Approved Final Architectural Review Decisions).
- A24. All parking spaces shall be continuously maintained in compliance with the dimensional standards specified in TDC Figure 73-1 (Exhibit F).
- A25. No vehicular parking, hedge, planting, fence, wall structure, or temporary/permanent physical obstruction is permitted between 30 inches and eight feet above the established height of the curb in the vision clearance area specified in TDC Figure 73-2 (Exhibit G).

**Table of Contents**

GENERAL INFORMATION..... 1

SITE INFORMATION..... 2

INTRODUCTION..... 3

    APPLICANT'S REQUEST..... 3

    SITE DESCRIPTION/SURROUNDING LAND USE ..... 3

    PROPOSAL ..... 3

    NEIGHBORHOOD MEETING..... 3

APPLICABLE ZONING CODE CRITERIA..... 4

    CHAPTER 32 – PROCEDURES..... 4

    CHAPTER 33 - APPLICATIONS AND APPROVAL CRITERIA ..... 5

    CHAPTER 42 - MEDIUM HIGH DENSITY RESIDENTIAL ZONE (RMH)..... 9

    CHAPTER 73A - SITE DESIGN STANDARDS ..... 11

    CHAPTER 73B - LANDSCAPING STANDARDS ..... 15

    CHAPTER 73C - PARKING STANDARDS..... 16

    CHAPTER 73D - WASTE AND RECYCLABLES MANAGEMENT STANDARDS ..... 19

    CHAPTER 74 - PUBLIC IMPROVEMENT REQUIREMENTS..... 21

    CHAPTER 75 - ACCESS MANAGEMENT ..... 30

TUALATIN MUNICIPAL CODE..... 31

    TITLE 3- UTILITIES AND WATER QUALITY ..... 31

    CHAPTER 3-02 – SEWER REGULATIONS; RATES ..... 31

    CHAPTER 3-03 - WATER SERVICE..... 31

    CHAPTER 3-05 - SOIL EROSION, SURFACE WATER MANAGEMENT, WATER QUALITY FACILITIES, AND BUILDING AND SEWERS ..... 32

SUMMARY AND CONCLUSION ..... 34

**Appendices**

- Appendix A – Land Use Application and Title Report
- Appendix B – Land Use Plans-Architectural
- Appendix C – Land Use Plans- Civil
- Appendix D – Technical Reports and Service Provider Letters
- Appendix E – Pre-App Notes
- Appendix F – Neighborhood Meeting Materials
- Appendix G– Affidavit of Posting Public Notice

**GENERAL INFORMATION**

Property Owner and Applicant: **CR Alden Communities, LLC**  
444 West Beech St. Suite 300  
San Diego, CA 92101  
Contact: Matthew Moiseve  
Phone: 858-255-9006  
Email: [matm@colrich.com](mailto:matm@colrich.com)

Planning Consultant:

**3J Consulting, Inc.**

9600 SW Nimbus Avenue, Suite 100

Beaverton, OR 97008

Contact: Heather Austin, Senior Planner

Phone: 503-946-9365 ext. 206

Email: [heather.austin@3j-consulting.com](mailto:heather.austin@3j-consulting.com)

**SITE INFORMATION**

Parcel Number:

2S125BA00100

Address:

7800 SW Sagert Street and 20400 SW Martinazzi Avenue

Gross Site Area:

17.09 acres

Zoning Designation:

RMH (Medium High Density Residential)

Existing Use:

Apartment Complex

Surrounding Zoning:

The properties to the north are zoned CO (Commercial Office). The properties to the south are zoned RML (Medium Low Density Residential). The properties to the east are zoned RMH (I-205 Freeway is along the eastern boundary of the site). The properties to the west are zoned RMH and RL (Low Density Residential).

Street Classification:

SW Sagert Street is classified as a minor arterial. SW Martinazzi Avenue is classified as a minor collector. SW Avery Street is classified as a local street.



## **INTRODUCTION**

### **APPLICANT'S REQUEST**

Colrich California Construction, LLC (“the Applicant”) proposes an addition to the existing Alden Apartments site and seeks approval of a Type III Architectural Review Application. In conjunction with the architectural review, the Applicant requests a Tree Removal Permit. This narrative has been prepared to describe the proposed development and to document compliance with the relevant sections of Tualatin’s Development Code (TDC) and Municipal Code (TMC). This narrative describes the proposed development and demonstrates compliance with the relevant approval standards of the TDC and TMC.

Architectural Reviews are evaluated under the Type III decision process. Tree Removal Permits require a Type II decision process that are processed concurrently with the Architectural Review process. The Architectural Review Board will render the Type III decision after a public hearing on the application is held.

### **SITE DESCRIPTION/SURROUNDING LAND USE**

The site is located at 7800 SW Sagert Street in the City of Tualatin. The tax lot ID is 2S125BA00100. The zoning of the property is RMH (Medium High Density Residential). The site is just over 17 acres in size and has frontage on SW Sagert Street (minor arterial), SW Martinazzi Avenue (minor collector) and SW Avery Street (local). The site is developed with the Alden Apartments Complex site topography, surrounding zoning and uses, etc.

### **PROPOSAL**

This land use application proposes a site addition to the existing Alden Apartments site. The addition includes 45 new townhome units in 12 new buildings. Two existing buildings are proposed for removal for a net gain of 10 buildings on the site. The removal of 49 trees is proposed as part of the development application as described in the tree removal permit application.

### **NEIGHBORHOOD MEETING**

The Applicant conducted a neighborhood meeting on August 10, 2022, to explain the proposed development and answer questions from the surrounding property owners. The submitted materials include the required documentation in Appendix F-Neighborhood Meeting Materials.

## **APPLICABLE ZONING CODE CRITERIA**

The following sections of the Tualatin Development Code and Tualatin Municipal Code have been extracted as they have been deemed to be applicable to the proposal. Following each **bold** applicable criteria or design standard, the Applicant has provided a series of draft findings. The intent of providing code and detailed responses and findings is to document, with absolute certainty, that the proposed development has satisfied the approval criteria for Architectural Review and Tree Permit applications.

### **CHAPTER 32 - PROCEDURES**

#### **TDC 32.010. - Purpose and Applicability. *[City code text omitted for brevity]***

**Finding:** This proposal includes a Multifamily Housing Project abutting a single-family district and therefore requires a Type III architectural review with the Architectural Review Board as the decision authority. The proposed tree removal permit is a Type II but will be reviewed and decided by the Architectural Review Board in conjunction with the multifamily redevelopment. This standard is met.

#### **TDC 32.110. - Pre-Application Conference. *[City code text omitted for brevity]***

**Finding:** A pre-application conference was held with City staff on March 9, 2022, in advance of the Neighborhood/Development Meeting and the application submittal. This application is being submitted within 6 months of the pre-application conference. The pre-application notes are included as Appendix E-Pre-Application Notes. This standard is met.

#### **TDC 32.120. - Neighborhood/Developer Meetings. *[City code text omitted for brevity]***

**Finding:** A Neighborhood/Developer Meeting was held on August 10, 2022, at the Tualatin Public Library at 6pm (weekday). Notice of the meeting was posted at the site's driveways on Sagert and Martinazzi and on Avery adjacent to the site and mailed 14 calendar days prior to the meeting. The Notice, sign-in sheet and meeting notes are included with this submittal in Appendix F- Neighborhood Meeting Materials. This standard is met.

#### **TDC 32.130. - Initiation of Applications. *[City code text omitted for brevity]***

**Finding:** This application is being initiated by the property owner. This standard is met.

#### **TDC 32.140. - Application Submittal. *[City code text omitted for brevity]***

**Finding:** This submittal is on forms provided by the City and includes all required items, including Appendix A-Land Use Application and Title Report. This standard is met.

**TDC 32.150. - Sign Posting. [City code text omitted for brevity]**

**Finding:** The Neighborhood/Developer Meeting sign was posted on all 3 public rights-of-way adjacent to the property and was designed to meet city standards, as shown the pictures included with Appendix F- Neighborhood Meeting Materials. The land use action sign will be similarly designed and posted once the application is submitted. This standard is met.

**TDC 32.160. - Completeness Review.**

**Finding:** The Applicant acknowledges the completeness review timeframes and process. This standard is met.

**TDC 32.230. - Type III Procedure (Quasi-Judicial Review—Public Hearing).**

**Finding:** The Applicant acknowledges the Type III Procedure. This standard is met.

**CHAPTER 33 - APPLICATIONS AND APPROVAL CRITERIA**

**TDC 33.020. - Architectural Review.**

**(2) Applicability.**

**(a) The following types of development are subject to Architectural Review:**

- (i) Any exterior modifications to improved or unimproved real property;**
- (ii) Any remodeling that changes the exterior appearance of a building;**
- (iii) Any site alteration which alters the topography, appearance or function of the site; and**
- (iv) Any change in occupancy from single family use to commercial or industrial use.**

**Finding:** Architectural review is applicable to the proposed site addition. This standard is met.

**(3) Types of Architectural Review Applications—Procedure Type.**

**(g) Large Commercial, Industrial, and Multifamily Development. Development applications that propose any of the following are subject to Type III Review by the Architectural Review Board as the hearing body:**

- (i) New Commercial Buildings 50,000 square feet and larger;**
- (ii) New Industrial Buildings 150,000 square feet and larger; and**
- (iii) New Multifamily Housing Projects with 100 units or more units (or any number of units abutting a single family district).**

**Finding:** The new multifamily units are within a project that has over 100 units and is abutting a single-family district and, therefore, the Type III Review by the Architectural Review Board is applicable. This standard is met.

**(4) Application Materials.** *The application must be on forms provided by the City. In addition to the application materials required by TDC 32.140 (Application Submittal), the following application materials are also required:*

- (a) The project name and the names, addresses, and telephone numbers of the architect, landscape architect, and engineer on the project;*
- (b) Existing conditions plan, site plan, grading plan, utility plan, landscape plan, and lighting plan all drawn to scale;*
- (c) A building materials plan that includes a written description and image representation of facade, windows, trim, and roofing materials, colors, and textures;*
- (d) Title report; and*
- (e) A Service Provider Letter from Clean Water Services.*

**Finding:** This land use application includes all required submittal materials. This standard is met.

**(5) Approval Criteria.**

- (c) General Development. Applications for General Development must comply with the applicable standards and objectives in TDC Chapter 73A through 73G.*
- (d) Large Commercial, Industrial, and Multifamily Development. Applications for Large Commercial, Industrial, and Multifamily Development must comply with the applicable standards and objectives in TDC Chapter 73A through 73G.*

**Finding:** This land use application includes all required submittal materials. Compliance with applicable standards is addressed further in this narrative. This standard is met.

**(6) Conditions of Approval.**

- (a) Architectural Review decisions may include conditions of approval that apply restrictions and conditions that:*
  - (i) Implement identified public facilities and services needed to serve the proposed development;*
  - (ii) Implement identified public facilities and services needed to be altered or increased attributable to the impacts of the proposed development; and*
  - (iii) Implement the requirements of the Tualatin Development Code.*
- (b) Types of conditions of approval that may be imposed include, but are not limited to:*
  - (i) Development Schedule. A reasonable time schedule placed on construction activities associated with the proposed development, or portion of the development.*
  - (ii) Dedications, Reservation. Dedication or reservation of land, or the granting of an easement for park, open space, rights-of-way, bicycle or pedestrian paths, Greenway, Natural Area, Other Natural Area, riverbank, the conveyance of title or easements to the City or a non-profit conservation organization, or a homeowners' association.*
  - (iii) Construction and Maintenance Guarantees. Security from the property owners in such an amount that will assure compliance with approval granted.*
  - (iv) Plan Modifications. Changes in the design or intensity of the proposed development, or in proposed construction methods or practices, necessary to assure compliance with this chapter.*

*(v) Other Approvals. Evaluation, inspections or approval by other agencies, jurisdictions, public utilities, or consultants, may be required for all or any part of the proposed development.*

*(vi) Access Limitation. The number, location and design of street accesses to a proposed development may be limited or specified where necessary to maintain the capacity of streets to carry traffic safely, provided that sufficient access to the development is maintained.*

**Finding:** The Applicant acknowledges that an Architectural Review decision may include conditions of approval. This standard is met.

**TDC 33.110. - Tree Removal Permit/Review.**

**(3) Procedure Type.** Tree Removal Permit applications are subject to Type II Review in accordance with TDC Chapter 32. Tree Removal Permit applications submitted with an Architectural Review, Subdivision, or Partition application will be processed in conjunction with the Architectural Review, Subdivision, or Partition decision.

**Finding:** This architectural review submittal includes application for a tree removal permit. This standard is met.

**(4) Specific Submittal Requirements.** In addition to the general submittal requirements in TDC 32.140 (Application Submittal), an applicant must submit the following:

**(a) Tree Preservation Plan.** A tree preservation plan drawn to scale must include:

**(i) The location, size, species, and tag identification number of all trees on-site eight inches or more in diameter;**

**(ii) All trees proposed for removal and all trees proposed to be preserved;**

**(iii) All existing and proposed structures;**

**(iv) All existing and proposed public and private improvements; and**

**(v) All existing public and private easements.**

**(b) Tree Assessment Report.** A tree assessment prepared by a certified arborist must include:

**(i) An analysis as to whether trees proposed for preservation may be preserved in light of the development proposed, are healthy specimens, and do not pose an imminent hazard to persons or property if preserved;**

**(ii) An analysis as to whether any trees proposed for removal could reasonably be preserved in light of the development proposed and health of the tree;**

**(iii) a statement addressing the approval criteria set forth in TDC 33.110(5);**

**(iv) the name, contact information, and signature of the arborist preparing the report; and**

**(v) The tree assessment report must have been prepared and dated no more than one calendar year preceding the date the development or Tree Removal Permit application is deemed complete by the City.**

**(c) Tree Tags.** All trees on-site must be physically identified and numbered in the field with an arborist-approved tagging system that corresponds to the Tree Preservation Plan and Tree Assessment Report.

**Finding:** This land use application includes a tree preservation plan and tree assessment report, included in Appendix D.1- Arborist Report and meeting the criteria of this section. This standard is met.

**(5) Approval Criteria.**

**(a) An applicant must satisfactorily demonstrate that at least one of the following criteria are met:**

**(i) The tree is diseased and:**

**(A) The disease threatens the structural integrity of the tree; or**

**(B) The disease permanently and severely diminishes the esthetic value of the tree; or**

**(C) The continued retention of the tree could result in other trees being infected with a disease that threatens either their structural integrity or esthetic value.**

**(ii) The tree represents a hazard which may include but not be limited to:**

**(A) The tree is in danger of falling; or**

**(B) Substantial portions of the tree are in danger of falling.**

**(iii) It is necessary to remove the tree to construct proposed improvements based on Architectural Review approval, building permit, or approval of a Subdivision or Partition Review.**

**(b) If none of the conditions in TDC 33.110(5)(a) are met, the certified arborist must evaluate the condition of each tree.**

**(i) *Evergreen Trees.* An evergreen tree which meets any of the following criteria as determined by a certified arborist will not be required to be retained:**

**(A) Trunk Condition—extensive decay and hollow; or**

**(B) Crown Development—unbalanced and lacking a full crown;**

**(ii) *Deciduous Trees.* A deciduous tree which meets any of the following criteria as determined by a certified arborist will not be required to be retained:**

**(A) Trunk Condition—extensive decay and hollow;**

**(B) Crown Development—unbalanced and lacking a full crown; or**

**(C) Structure—Two or more dead limbs.**

**Finding:** Removal of 35 of the 49 regulated trees planned for removal is necessary to construct proposed improvements. The tree preservation plan included in Appendix D.1-Arborist Report of this submittal, shows that these trees are within the footprint of proposed buildings, drive aisles, sidewalks and retaining walls or within areas of required grading with severe impacts within critical root zones. The other 14 regulated trees planned for removal are all deciduous trees with poor crown development or poor structure including 13 invasive species trees and one 29-inch diameter silver maple, tree #1122, which is in poor condition with very poor structure including multiple upright leaders, a history of branch failure and numerous epicormic sprouts. The following table provides a summary of the number of inventoried trees planned for retention and removal. This standard is met.

| Treatment  | Total | Percent |
|--|-------|---------|
| Retain   | 37    | 42%     |
| Remove   | 51    | 58%     |
| Remove to Construct Proposed Improvements (criteria a-iii) | 35    | 40%     |
| Remove for Poor Crown Development (criteria b-ii-B)        | 8     | 9%      |
| Remove for Poor Structure (criteria b-ii-C)                | 6     | 7%      |
| Trees <8" DBH Planned for Removal Two or more dead limbs   | 2     | 2%      |
| Percent of Total   | 88    | 100%    |

**(6) Emergencies. [City code text omitted for brevity]**

**Finding:** There are no tree emergencies identified with this submittal and therefore this standard is not applicable.

**(7) Conditions of Approval. Any tree required to be retained must be protected in accordance with the TDC 73B and 73C.**

**Finding:** All retained trees will be protected as identified in Appendix D.1-Arborist Report, and the Tree Inventory and Protection Plan, Sheet C110 of Appendix C- Land Use Plans-Civil. This standard is met.

**(8) Permit Expiration. A Tree Removal Permit is valid for one year from the date of issue. A Tree Removal Permit approved in conjunction with an Architectural Review, Subdivision, or Partition decision is valid as provided in the terms of the Architectural Review, Subdivision, or Partition decision.**

**Finding:** The Applicant acknowledges the approval timeline. This standard is met.

**(9) Tree removal in violation of Zone Standards. [City code text omitted for brevity]**

**Finding:** This proposal does not include tree removal in violation of Zone Standards and therefore this standard is not applicable.

**CHAPTER 42 - MEDIUM HIGH DENSITY RESIDENTIAL ZONE (RMH)**

**TDC 42.200. - Use Categories.**

**(1) Use Categories. Table 42-1 lists use categories Permitted Outright (P) or Conditionally Permitted (C) in the RMH zone. Use categories may also be designated as Limited (L) and subject to the limitations listed in Table 42-1 and restrictions identified in TDC 42.210. Limitations may restrict the specific type of use, location, size, or other characteristics of the use category. Use categories which are not listed are prohibited within the zone, except for uses which are found by the City Manager or appointee to be of a similar character and to meet the purpose of this zone, as provided in TDC 31.070.**

**TDC 42.220. - Housing Types.**

**Table 42-2 lists Housing Types permitted in the RMH zone. Housing types may be Permitted Outright (P), Conditionally Permitted (C), or Not Permitted (N) in the RMH zone.**

**Finding:** This application proposes multi-family structures, which are permitted outright in the RMH zoning district. This standard is met.

**TDC 42.300. - Development Standards.**

**Development standards in the RMH zone are listed in Table 42-3. Additional standards may apply to some uses and situations, see TDC 42.310.**

**Table 42-3 Development Standards in the RMH Zone**

| STANDARD   | REQUIREMENT  | LIMITATIONS AND CODE REFERENCES  |
|--|--|--|
| Maximum Density- Household Living Uses   | Maximum: 15 units per acre<br>Minimum: 11 units per acre |  |
| Min. Lot Size- Multi-Family Structure and Duplex (1+ acre site)  | 2,904 square feet per unit                               |  |
| Mini. Avg. Lot Width Multi-Family Structure  | 75 feet  | May be 40 feet on a cul-de-sac street.   |
| Min. Front Setback   |  | Minimum setback to a garage door must be 20 feet.  |
| <ul style="list-style-type: none"> <li>• 1 story structure</li> <li>• 1.5 story structure</li> <li>• 2 story structure</li> <li>• 2.5 story structure</li> </ul> | 20 feet<br>25 feet<br>30 feet<br>35 feet                 |  |
| Min. Side and Rear Setback   |  | Where living spaces face a side yard, the minimum setback must be 20 feet  |
| <ul style="list-style-type: none"> <li>• 1 story structure</li> <li>• 1.5 story structure</li> <li>• 2 story structure</li> <li>• 2.5 story structure</li> </ul> | 5 feet<br>7 feet<br>10 feet<br>12 feet                   |  |
| Min. Distance Between Buildings w/in One Development   | 10 feet  | For Townhouses (or Rowhouse), determined through the Architectural Review process.   |
| Parking and Vehicle Circulation Areas  | 10 feet  |  |
| Max. height- All Uses  | 35 feet  | May be increased to a maximum of 50 feet with a conditional use permit, if all setbacks are not less than 1½ times the height of the building. |
| Max. Lot Coverage  | 40%  |  |



**Finding:** The addition of 30 dwelling units on this site will result in a total number of 240 dwelling units on 17.09 acres, or 14.04 dwelling units per acre, falling between the minimum of 11 and maximum of 15. The 3,102 square feet per dwelling unit on this site exceeds the minimum of 2,904 square feet per unit. As demonstrated on the submitted site plan, Sheet C601 of Appendix C- Land Use Plans-Civil, all required setbacks are met. The new structures will be 35 feet in height, not exceeding the maximum. As shown on Sheet A1 Appendix B- Land Use Plans-Architectural, total lot coverage is 12%, below the maximum of 40%. This standard is met.

**TDC 42.310. - Projections Into Required Yards.**

***The following architectural features may project into a required front or rear yard setback area not more than three feet, and into a required side yard not more than two feet: cornices, eaves, canopies, decks, sun-shades, gutters, chimneys, flues, belt courses, leaders, sills, pilasters, lintels, ornamental features, and other similar architectural features.***

**TDC 42.320. - Density Bonus or Setback Reduction for Developments Adjacent to Greenways and Natural Areas.**

**Finding:** This application does not propose any projections into required yards. This application does not include a request for density bonus or setback reduction for developments adjacent to Greenways and Natural Areas. As such, these standards are not applicable.

**CHAPTER 73A - SITE DESIGN STANDARDS**

**TDC 73A.200. - Multi-Family Design Standards**

***The following standards are the minimum standards for all other residential development in all zones that does not meet the definition of single-family dwelling, duplex, townhouse, triplex, quadplex, or cottage cluster or is 5 or more dwelling units. These standards do not apply to development in the Central Design District and Mixed Use Commercial (MUC) zone, which have separate standards and may be less than the minimums provided below.***

- (1) Private Outdoor Areas. Multi-family uses must provide private outdoor area features as follows:***
- (a) A separate outdoor area of not less than 80 square feet must be attached to each ground level dwelling unit; and***
  - (b) The private outdoor area must be separated from common outdoor areas with walls, fences or shrubs.***

**Finding:** Each of the two-bedroom townhome units includes a ground-floor, private open area of 157 square feet, including the required 24 square foot entry area required by subsection (3), below. Each of the three-bedroom townhome units includes a ground-floor, private open area of 103 square feet, including the required 24 square foot entry area required by subsection (3), below. These ground-floor private open areas are shown on Sheets A12 and A13 of Appendix B- Land Use Plans-Architectural. This standard is met.

**(2) Balconies, Terraces, and Loggias. Multi-family uses must provide balconies, terraces, and loggias features as follows:**

**(a) A separate outdoor area of not less than 48 square feet in the form of balconies, terraces, or loggias must be provided for each unit located above the ground level.**

**Finding:** Though each of the 45 proposed units are ground-level, they do include second-story decks. Two-bedroom unit decks are 64 square feet and three-bedroom unit decks are 75 square feet, as shown on Sheets A12 and A13 of Appendix B- Land Use Plans-Architectural. This standard, although not strictly applicable, is met.

**(3) Entry Areas. Multi-family uses must provide entry area features as follows:**

**(a) A private main entry area must be provided as a private extension of each dwelling unit;**

**(b) The entry area must be separated from on-site parking areas and public streets with landscaping, change of grade, low fences, or walls;**

**(c) The entry area must be a minimum of 24 square feet in area for each dwelling unit; and**

**(d) The entry area may be combined to serve more than one unit as determined by the City.**

**Finding:** As discussed above, entry areas meeting this standard are shown on Sheets A12 and A13 of Appendix B- Land Use Plans-Architectural. This standard is met.

**(4) Shared Outdoor Areas. Multi-family uses must provide shared outdoor area features as follows:**

**(a) Must provide year round shared outdoor areas for both active and passive recreation;**

**(b) The shared outdoor area must be a minimum of:**

**(i) Three hundred square feet per dwelling unit; or**

**(ii) Four hundred fifty square feet per dwelling unit for 55 and older communities.**

**(c) Gazebos and other covered spaces are encouraged to satisfy this requirement;**

**(d) The shared outdoor area must be separated from all entryway and parking areas with a landscaped transition area measuring a minimum of ten feet wide;**

**(e) The shared outdoor area must have controlled access from off-site as well as from on-site parking and entrance areas with a minimum 4-foot high fence, wall, or landscaping; and**

**(f) The shared outdoor area standard does not apply to any development with less than 12 dwelling units.**

**Finding:** The existing Alden Apartments development has shared outdoor areas meeting these criteria that will be maintained. The 240 total units requires 72,000 square feet of outdoor area. At build out, Alden Apartments will provide 83,776 square feet of shared outdoor areas in compliance with these criteria, as shown on Sheet A1 of Appendix B- Land Use Plans-Architectural. This standard is met.

**(5) Children's Play Areas. Multi-family uses must provide children's play area features as follows:**

**(a) The children's play area must be a minimum of 150 square feet per dwelling unit;**

**(b) The children's play area must provide a separation from all entryway and parking areas with a landscaped transition area measuring a minimum of ten feet wide;**

**(c) The children's play area must have controlled access to shared outdoor areas from off-site as well as from on-site parking and entrance areas with a minimum 4-foot high fence, wall, or landscaping; and**

- (d) The children's play area must provide a usable floor surface (material such as lawn, decks, wood chips, sand and hard surface materials qualify); and***
- (e) The children's play area standard does not apply to:***
  - (i) Duplexes and townhouses;***
  - (ii) Fifty-five and older communities; and***
  - (iii) Any development with less than 12 dwelling units.***

**Finding:** As shown on Sheet A1 of Appendix B- Land Use Plans-Architectural, a minimum of 36,000 square feet of children's play area meeting these design standards will be provided at full build out. This standard is met.

***(6) Storage. Multi-family uses must provide storage features as follows:***

***(a) Enclosed storage areas are required for each unit.***

***(i) Garages do not satisfy the storage requirements. An enclosed storage area may be located within the garage of the individual unit. Enclosed storage areas may also be located within commonly accessible shared garage.***

***(b) Each storage area must be a minimum of six feet in height and have a minimum floor area of:***

- (i) 24 square feet for studio and one bedroom units;***
- (ii) 36 square feet for two bedroom units; and***
- (iii) 48 square feet for greater than two bedroom units.***

**Finding:** Each of the proposed 45 units is provided with enclosed storage, 40 square feet for the 2-bedroom units and 49 square feet for the 3-bedroom units, as shown on Sheets A12 and A13 of Appendix B- Land Use Plans-Architectural. This standard is met.

***(7) Walkways. Multi-family uses must provide walkways as follows:***

***(a) Walkways for duplexes and townhouses must be a minimum of three feet in width;***

***(b) All other multi-family development must have walkways of a minimum of six feet in width;***

***(c) Walkways must be constructed of asphalt, concrete, pervious concrete, pavers, or grasscrete. Gravel or bark chips are not acceptable; and***

***(d) The walkways must meet ADA standards applicable at time of construction or alteration.***

**Finding:** As shown on Sheet C601 of Appendix C- Land Use Plans-Civil, the walkways are a minimum of 6 feet in width, are constructed of concrete and meet ADA standards. This standard is met.

***(8) Accessways.***

***(a) When Required. Accessways are required to be constructed when a multi-family development is adjacent to any of the following:***

***(i) Residential property;***

***(ii) Commercial property;***

***(iii) Areas intended for public use, such as schools and parks; and***

***(iv) Collector or arterial streets where transit stops or bike lanes are provided or designated.***

**(b) Design Standard. Accessways must meet the following design standards:**

- (i) Accessways must be a minimum of eight feet in width;**
- (ii) Public accessways must be constructed in accordance with the Public Works Construction Code;**
- (iii) Private accessways must be constructed of asphalt, concrete, pavers or grasscrete. Gravel or bark chips are not acceptable;**
- (iv) Accessways must meet ADA standards applicable at time of construction or alteration;**
- (v) Accessways must be provided as a connection between the development's walkway and bikeway circulation system;**
- (vi) Accessways must not be gated to prevent pedestrian or bike access;**
- (vii) Outdoor Recreation Access Routes must be provided between the development's walkway and bikeway circulation system and parks, bikeways, and greenways where a bike or pedestrian path is designated; and**
- (viii) Must be constructed, owned and maintained by the property owner.**

**(c) Exceptions. [City code text omitted for brevity]**

**Finding:** The additional structures being added to this site are internal to the Alden Apartments and do not impact any areas where accessways would be required. As such, this standard is not applicable.

**(9) Carports and Garages. Multi-family uses must provide Carports and Garage features as follows:**

- (a) The form, materials, color, and construction must be compatible with the complex they serve.**

**Finding:** Carports are shown on the Overall Site Plan, Sheet C600 of Appendix C-Land Use Plans-Civil, adjacent to some of the existing apartment units. The design is shown on Sheet A11 of Appendix B-Land Use Plans-Architectural. The carports are compatible with the complex in that the form matches the modern townhouse/multi-family design, materials and color reflect those utilized on the multi-family buildings and construction will occur concurrently for the townhomes and carports. This standard is met.

**(10) Safety and Security. Multi-family units must provide safety and security features as follows:**

- (a) Private outdoor areas must be separated from shared outdoor areas and children's play areas with a minimum 4-foot high fence, wall, or landscaping;**
- (b) An outdoor lighting system that does not produce direct glare on adjacent properties and without shining into residential units, public rights-of-way, or fish and wildlife habitat areas; and**
- (c) Building identification must be provided consistent with the Oregon Fire Code.**

**Finding:** As shown on Sheets A2, A3, A5 and A10 of Appendix B-Land Use Plans-Architectural, the private outdoor areas are separated by a minimum 4-foot-high wall. Photometrics demonstrating that outdoor lighting will be directed at pathways and other appropriate areas and will not produce direct glare on adjacent properties or shine into residential units, public right-of-way or fish and wildlife habitat areas are included as Appendix D.2-

Photometrics. Building identification will be provided consistent with the Oregon Fire Code, as reviewed, approved and inspected with the building permit. This standard is met.

***(11) Service, Delivery and Screening. Multi-family uses must provide service, delivery, and screening features as follows:***

- (a) Provisions for postal delivery must be made consistent with US Postal Service regulations conveniently located and efficiently designed for residents;***
- (b) Pedestrian access from unit entries to postal delivery areas, shared activity areas, and parking areas must be provided via accessways; and***
- (c) Above grade and on-grade electrical and mechanical equipment such as transformers, heat pumps and air conditioners must be screened with sight obscuring fences, walls or landscaping.***

**Finding:** Provisions for postal delivery will be coordinated with the US Postal Service. Pedestrian access from each unit entry to the postal delivery areas, shared activity areas and parking areas is provided via accessways, as shown on Sheet C601 of Appendix C-Land Use Plans-Civil. All equipment will be screened from view by being located on the side or rear of the buildings and with landscaping, as shown on Sheets A6 and A7 of Appendix B-Land Use Plans-Architectural. This standard is met.

**CHAPTER 73B - LANDSCAPING STANDARDS**

**TDC 73B.020. - Landscape Area Standards Minimum Areas by Use and Zone.**

***The following are the minimum areas required to be landscaped for each use and zone:***

**Finding:** There is no minimum area requirement in the RMH zone for permitted uses, including this multi-family development. This standard is met.

**TDC 73B.030. - Additional Minimum Landscaping Requirements for Multi-Family Residential Uses.**

***(1) General. In addition to requirements in TDC 73B.020, Multi-Family Residential Uses must comply with the following additional standards.***

- (a) All areas not occupied by buildings, parking spaces, driveways, drive aisles, pedestrian areas, or undisturbed natural areas must be landscaped.***
  - (i) This standard does not apply to areas subject to the Hedges Creek Wetlands Mitigation Agreement.***

**Finding:** All areas of the Alden Apartments site that are not occupied by buildings, parking spaces, driveways, drive aisles, pedestrian areas, or undisturbed natural areas are or will be landscaped at the conclusion of construction of this site addition in a way similar to the existing site, as demonstrated in Appendix D.3-Landscaping Plans. This standard is met.

**TDC 73B.080. - Minimum Landscaping Standards for All Zones.**

***The following are minimum standards for landscaping for all zones.***

***[City code text omitted for brevity]***

**Finding:** Appendix D.3-Landscaping Plans, demonstrates compliance with the landscaping requirements. The landscaping is planned and will be installed so as to be fully ground-covering in 3 years, of appropriate materials and maintainable as directed. Tree preservation is identified in Appendix D.1-Arborist Report. The landscape plan does not include fences. Grading, irrigation and re-vegetation area all proposed to meet these criteria. This standard is met.

**TDC 73B.090. - Minimum Standards Trees and Plants.**

***The following minimum standards apply to the types of landscaping required to be installed for all zones. [City code text omitted for brevity]***

**Finding:** Appendices D.1-Arborist Report and D.3-Landscaping Plans demonstrate compliance with the minimum standards for installation of trees, shrubs, groundcover and lawns. This standard is met.

**CHAPTER 73C - PARKING STANDARDS**

**TDC 73C.010. - Off-Street Parking and Loading Applicability and General Requirements.**

***Applicability. Off-street parking and loading is required to be provided by the owner and/or developer, in all zones, whenever the following occurs:***

- (a) Establishment of a new structure or use;***
- (b) Change in use; or***
- (c) Change in use of an existing structure.***

***(2) General Requirements. Off-street parking spaces, off-street vanpool and carpool parking spaces, off-street bicycle parking, and off-street loading berths must be as provided as set forth in TDC 73C.100, unless greater requirements are otherwise established by the conditional use permit or the Architectural Review process.***

- (a) The following apply to property and/or use with respect to the provisions of TDC 73C.100:***
  - (i) The requirements apply to both the existing structure and use, and enlarging a structure or use;***
  - (ii) The floor area is measured by gross floor area of the building primary to the function of the particular use of the property other than space devoted to off-street parking or loading;***
  - (iii) Where employees are specified, the term applies to all persons, including proprietors, working on the premises during the peak shift;***
  - (iv) Calculations to determine the number of required parking spaces and loading berths must be rounded to the nearest whole number;***
  - (v) If the use of a property changes, thereby increasing off-street parking or loading requirements, the increased parking/loading area must be provided prior to commencement of the new use;***
  - (vi) Parking and loading requirements for structures not specifically listed herein must be determined by the City Manager, based upon requirements of comparable uses listed;***

- (vii) When several uses occupy a single structure, the total requirements for off-street parking may be the sum of the requirements of the several uses computed separately or be computed in accordance with TDC 73.370(1)(m), Joint Use Parking;*
- (viii) Off-street parking spaces for dwellings must be located on the same lot with the dwelling. Other required parking spaces may be located on a separate parcel, provided the parcel is not greater than five hundred (500) feet from the entrance to the building to be served, measured along the shortest pedestrian route to the building. The applicant must prove that the parking located on another parcel is functionally located and that there is safe vehicular and pedestrian access to and from the site. The parcel upon which parking facilities are located must be in the same ownership as the structure;*
- (ix) Required parking spaces must be available for the parking of operable passenger automobiles of residents, customers, patrons and employees and must not be used for storage of vehicles or materials or for the parking of trucks used in conducting the business;*
- (x) Institution of on-street parking, where none is previously provided, must not be done solely for the purpose of relieving crowded parking lots in commercial or industrial zones;*
- (xi) Required vanpool and carpool parking must meet the 9-foot parking stall standards in Figure 73-1 and be identified with appropriate signage;*
- (xii) Where uses are mixed in a single building, parking must be a blend of the ratio required less ten percent for the minimum number of spaces. The maximum number of spaces must be ten percent less than the total permitted maximum for each use; and*
- (xiii) If the applicant demonstrates that too many or too few parking spaces are required, applicant may seek a variance from the minimum or maximum by providing evidence that the particular use needs more or less than the amount specified in this Code.*

**Finding:** The total amount of parking proposed at full build-out meets the code requirement for the entire site, the existing apartments and the new townhouse-style apartments. No joint-use parking is proposed. Parking calculations are rounded up to the nearest whole. Required parking spaces will be available for operable passenger vehicles, as ensured by the property management team. These parking-related standards are met.

**TDC 73C.020. - Parking Lot Design Standards.**

*A parking lot, whether an accessory or principal use, intended for the parking of automobiles or trucks, must comply with the following: [City code text omitted for brevity]*

**Finding:** There are no new parking lots proposed with this site re-development. Each of the units will have two parking spaces within an attached garage. This standard is not applicable to the proposed addition to this site.

**TDC 73C.050. - Bicycle Parking Requirements and Standards.**

*(1) Requirements. Bicycle parking facilities must include: [City code text omitted for brevity]*

**Finding:** TDC 73C.100 exempts multi-family dwellings where garages are provided as an integral element of a unit from providing bicycle parking and as such, no bicycle parking is required.

**TDC 73C.100. - Off-Street Parking Minimum/Maximum Requirements.**

**(1) The following are the minimum and maximum requirements for off-street motor vehicle parking in the City, except these standards do not apply in the Core Area Parking District. The Core Area Parking District standards are in TDC 73C.110.**

| USE   | MINIMUM MOTOR VEHICLE PARKING  | MAXIMUM MOTOR VEHICLE PARKING | BICYCLE PARKING  | PERCENTAGE OF BICYCLE PARKING TO BE COVERED |
|---|--|-------------------------------|--|---|
| <b>(a) Residential Uses</b>   |  |                               |  |   |
| <i>(viii) Multi-family dwellings in complexes with private internal driveways</i> | <i>1.0 space/studio,<br/>1.25 space/1 bedroom,<br/>1.50 space/2 bedroom,<br/>1.75 space/3= bedroom</i> | <i>None</i>                   | <i>Developments with five or more units; none required if a garage is provided as an integral element of a unit; otherwise 1.00 space per unit</i> | <b>100</b>                                  |

**Finding:** Each of the 45 proposed townhome units contain two motor vehicle parking spaces in an attached garage. At full build-out, as identified on Sheet A1 of Appendix B-Land Use Plans-Architectural, the Alden Apartments site will contain 442 parking spaces, far exceeding the code requirement of 361:

$$65 \text{ 3br units} * 1.75 + 111 \text{ 2br units} * 1.5 + 64 \text{ 1br units} * 1.25 = 113.75 (114) + 166.5 (167) + 80 = 361 \text{ required parking spaces.}$$

The proposal meets the parking requirement for the additional townhouse-style units and meets the overall parking requirements for the site. This standard is met.

**TDC 73C.130. - Parking Lot Driveway and Walkway Minimum Requirements.**

***Parking lot driveways and walkways must comply with the following requirements:***

***(1) Residential Use. Minimum requirements for residential uses:***

***(c) Ingress and egress for multi-family residential uses must not be less than the following: [City code text omitted for brevity]***

**Finding:** No changes are proposed to the two existing driveways, one to Martinazzi and one to Sagert. The proposed units will utilize the same driveways utilized by the current residents. This standard is met.

**PARKING LOT LANDSCAPING**



TDC 73C.200. - Parking Lot Landscaping Standards

TDC 73C.210. - Multi-Family Parking Lot Landscaping Requirements.

**Multi-family residential uses (as defined in TDC 31.060) must comply with the following landscaping requirements for parking lots in all zones:**

**[City code text omitted for brevity]**

**Finding:** No parking lots are proposed with the addition of these units as all new parking is provided in attached garages. This standard is not applicable.

#### **CHAPTER 73D - WASTE AND RECYCLABLES MANAGEMENT STANDARDS**

**TDC 73D.020. - Design Methods.**

**An applicant required to provide mixed solid waste and source separated recyclables storage areas must comply with one of following methods:**

**(1) The minimum standards method in TDSC 73D.030;**

**(2) The waste assessment method in TDC 73D.040;**

**(3) The comprehensive recycling plan method in TDC 73D.050; or**

**(4) The franchised hauler review method in TDC 73D.060.**

**Finding:** This proposal provides mixed solid waste and source separated recyclables storage areas in compliance with the minimum standards method, as detailed below and supported by Appendix D.4-Republic Services Service Provider Letter. This standard is met.

**TDC 73D.030. - Minimum Standards Method.**

**This method specifies a minimum storage area requirement based on the size and general use category of the new or expanded development. This method is most appropriate when specific use of a new or expanded development is not known. It provides specific dimensional standards for the minimum size of storage areas by general use category.**

**(1) The size and location of the storage area(s) must be indicated on the site plan. Requirements are based on an assumed storage area height of four feet for mixed solid waste and source separated recyclables. Vertical storage higher than four feet, but no higher than seven feet may be used to accommodate the same volume of storage in a reduced floor space (potential reduction of 43 percent of specific requirements). Where vertical or stacked storage is proposed, submitted plans must include drawings to illustrate the layout of the storage area and dimensions for containers.**

**(2) The storage area requirement is based on uses. If a building has more than one use and that use occupies 20 percent or less of the gross leasable area (GLA) of the building, the GLA occupied by that use must be counted toward the floor area of the predominant use(s). If a building has more than one use and that use occupies more than 20 percent of the GLA of the building, then the storage area requirement for the whole building must be the sum of the area of each use. Minimum storage area requirements by use is as follows:**

**(a) Common wall residential five to ten units must provide 50 square feet.**

**(b) Common wall residential greater than ten units must provide 50 square feet plus an (additional five square feet per unit above ten.**

**(3) Mixed solid waste and source separated recyclables storage areas for multiple tenants on a single site may be combined and shared.**

**Finding:** Appendix D.4-Republic Services Service Provider Letter demonstrates that storage is proposed for each individual dwelling unit. An 18-square-foot storage area is proposed for each unit. Therefore, for a 3-unit building, the total size of storage is 54 square feet and for a 4-unit building, the total size of storage is 72 square feet, both of which exceed the 50 square foot minimum for common wall residential. This standard is met.

**TDC 73D.070. - Location, Design and Access Standards.**

***The following location, design, and access standards are applicable to all storage areas:***

***(1) Location Standards.***

***(a) The storage area for source separated recyclables may be collocated with the storage area for mixed solid waste.***

***(b) Storage area space requirements can be satisfied with a single location or multiple locations, and can combine both interior and exterior locations.***

***(c) Exterior storage areas must:***

***(i) Be located in central and visible locations on the site to enhance security for users;***

***(ii) Be located in a parking area; and***

***(iii) Not be located within a required front yard setback or in a yard adjacent to a public or private street.***

***(2) Design Standards.***

***(a) The dimensions of the storage area must accommodate containers consistent with current methods of local collection at time of construction or alteration.***

***(b) Indoor and outdoor storage areas must comply with Oregon Building and Fire Code requirements.***

***(c) Exterior storage areas must be enclosed by a sight obscuring fence or wall at least six feet in height.***

***(d) Evergreen plants must be placed around the enclosure walls, excluding the gate or entrance openings for common wall, commercial, and institutional developments.***

***(e) Gate openings for haulers must be a minimum of ten feet wide and must be capable of being secured in a closed and open position.***

***(f) Horizontal clearance must be a minimum of ten feet and a vertical clearance of eight feet is required if the storage area is covered.***

***(g) A separate pedestrian access must also be provided in common wall, commercial, and institutional developments.***

***(h) Exterior storage areas must have either a concrete or asphalt floor surface.***

***(i) Storage areas and containers must be clearly labeled to indicate the type of material accepted.***

***(3) Access Standards.***

***(a) Storage areas must be accessible to users at convenient times of the day, and to hauler personnel on the day and approximate time they are scheduled to provide hauler service.***

***(b) Storage areas must be designed to be easily accessible to hauler trucks and equipment, considering paving, grade, gate clearance and vehicle access.***

***(c) Storage areas must be accessible to hauler trucks without requiring backing out of a driveway onto a public street. If only a single access point is available to the storage area, adequate turning radius must be provided to allow hauler trucks to safely exit the site in a forward motion.***

***(d) Storage areas must be located so that pedestrian and vehicular traffic movement are not obstructed on site or on public streets adjacent to the site.***

**(e) The following is an exception to the access standard:**

**(i) Access may be limited for security reasons.**

**Finding:** Appendix D.4-Republic Services Service Provider Letter, identifies the size and location of the storage areas. Storage is proposed for each individual dwelling unit. An 18-square-foot storage area is proposed for each unit. Therefore, for a 3-unit building, the total size of storage is 54 square feet and for a 4-unit building, the total size of storage is 72 square feet, both of which exceed the 50 square foot minimum for common wall residential. In addition, Republic Services provided a Service Provider Letter supporting this proposal. This standard is met.

## **CHAPTER 74 - PUBLIC IMPROVEMENT REQUIREMENTS**

### **TDC 74.210. - Minimum Street Right-of-Way Widths.**

*The width of streets in feet must not be less than the width required to accommodate a street improvement needed to mitigate the impact of a proposed development. In cases where a street is required to be improved according to the standards of the TDC, the width of the right-of-way must not be less than the minimums indicated in TDC Chapter 74, Public Improvement Requirements, Figures 74-2A through 74-2G.*

*(2) For development applications other than subdivisions and partitions, wherever existing or future streets adjacent to property proposed for development are of inadequate right-of-way width, the additional right-of-way necessary to comply with TDC Chapter 74, Public Improvement Requirements, Figures 74-2A through 74-2G must be dedicated to the City for use by the public prior to issuance of any building permit for the proposed development. This right-of-way dedication must be for the full width of the property abutting the roadway and, if required by the City Manager, additional dedications must be provided for slope and utility easements if deemed necessary.*

*(3) For development applications that will impact existing streets not adjacent to the applicant's property, and to construct necessary street improvements to mitigate those impacts would require additional right-of-way, the applicant must be responsible for obtaining the necessary right-of-way from the property owner. A right-of-way dedication deed form must be obtained from the City Manager and upon completion returned to the City Manager for acceptance by the City. On subdivision and partition plats the right-of-way dedication must be accepted by the City prior to acceptance of the final plat by the City. On other development applications the right-of-way dedication must be accepted by the City prior to issuance of building permits. The City may elect to exercise eminent domain and condemn necessary off-site right-of-way at the applicant's request and expense. The City Council must determine when condemnation proceedings are to be used.*

*(4) If the City Manager deems that it is impractical to acquire the additional right-of-way as required in subsections (1)—(3) of this section from both sides of the center-line in equal amounts, the City Manager may require that the right-of-way be dedicated in a manner that would result in unequal dedication from each side of the road. This requirement will also apply to slope and utility easements as discussed in TDC 74.320 and 74.330. The City Manager's recommendation must be presented to the City Council in the preliminary plat approval for subdivisions and partitions, and in the recommended decision on all other development applications, prior to finalization of the right-of-way dedication requirements.*

*(5) Whenever a proposed development is bisected by an existing or future road or street that is of inadequate right-of-way width according to TDC Chapter 74, Public Improvement*

**Requirements, Figures 74-2A through 74-2G, additional right-of-way must be dedicated from both sides or from one side only as determined by the City Manager to bring the road right-of-way in compliance with this section.**

**(6) When a proposed development is adjacent to or bisected by a street proposed in the Transportation System Plan and no street right-of-way exists at the time the development is proposed, the entire right-of-way as shown in TDC Chapter 74, Public Improvement Requirements, Figures 74-2A through 74-2G must be dedicated by the applicant. The dedication of right-of-way required in this subsection must be along the route of the road as determined by the City.**

**Finding:** The three streets abutting this property are developed and as stated in Appendix D.5-Trip Generation Letter, additional improvements are not needed to accommodate the additional units on this existing multi-family residential site. The existing access points will continue to operate at acceptable levels as will nearby street intersections. The addition of 30 residential units (45 new, 15 to be removed) does not warrant right-of-way improvements beyond what was originally completed with the initial 210 multi-family residential units. This standard is met.

#### **TDC 74.330. - Utility Easements.**

**(1) Utility easements for water, sanitary sewer and storm drainage facilities, telephone, television cable, gas, electric lines and other public utilities must be granted to the City.**

**(2) For subdivision and partition applications, the on-site public utility easement dedication area must be shown to be dedicated to the City on the final subdivision or partition plat prior to approval of the plat by the City; and**

**(3) For subdivision and partition applications which require off-site public utility easements to serve the proposed development, a utility easement must be granted to the City prior to approval of the final plat by the City. The City may elect to exercise eminent domain and condemn necessary off-site public utility easements at the applicant's request and expense. The City Council must determine when condemnation proceedings are to be used.**

**(4) For development applications other than subdivisions and partitions, and for both on-site and off-site easement areas, a utility easement must be granted to the City; building permits must not be issued for the development prior to acceptance of the easement by the City. The City may elect to exercise eminent domain and condemn necessary off-site public utility easements at the applicant's request and expense. The City Council must determine when condemnation proceedings are to be used.**

**(5) The width of the public utility easement must meet the requirements of the Public Works Construction Code. All subdivisions and partitions must have a 6-foot public utility easement adjacent to the street and a 5-foot public utility easement adjacent to all side and rear lot lines. Other easements may be required as determined by the City Manager.**

**Finding:** Appendix E-Pre-Application Notes identifies an 8-foot public utility easement to be provided along all street frontages. The Applicant will provide this PUE prior to issuance of building permits. This standard is met.

#### **TDC 74.420. - Street Improvements.**

***When an applicant proposes to develop land adjacent to an existing or proposed street, including land which has been excluded under TDC 74.220, the applicant should be responsible for the improvements to the adjacent existing or proposed street that will bring the improvement of the street into conformance with the Transportation Plan (TDC Chapter 11), TDC 74.425 (Street Design Standards), and the City's Public Works Construction Code, subject to the following provisions:***

***(1) For any development proposed within the City, roadway facilities within the right-of-way described in TDC 74.210 must be improved to standards as set out in the Public Works Construction Code.***

***(2) The required improvements may include the rebuilding or the reconstruction of any existing facilities located within the right-of-way adjacent to the proposed development to bring the facilities into compliance with the Public Works Construction Code.***

***(3) The required improvements may include the construction or rebuilding of off-site improvements which are identified to mitigate the impact of the development.***

***(4) Where development abuts an existing street, the improvement required must apply only to that portion of the street right-of-way located between the property line of the parcel proposed for development and the centerline of the right-of-way, plus any additional pavement beyond the centerline deemed necessary by the City Manager to ensure a smooth transition between a new improvement and the existing roadway (half-street improvement). Additional right-of-way and street improvements and off-site right-of-way and street improvements may be required by the City to mitigate the impact of the development. The new pavement must connect to the existing pavement at the ends of the section being improved by tapering in accordance with the Public Works Construction Code.***

***(5) If additional improvements are required as part of the Access Management Plan of the City, TDC Chapter 75, the improvements must be required in the same manner as the half-street improvement requirements.***

***(6) All required street improvements must include curbs, sidewalks with appropriate buffering, storm drainage, street lights, street signs, street trees, and, where designated, bikeways and transit facilities.***

***(7) For subdivision and partition applications, the street improvements required by TDC Chapter 74 must be completed and accepted by the City prior to signing the final subdivision or partition plat, or prior to releasing the security provided by the applicant to assure completion of such improvements or as otherwise specified in the development application approval.***

***(8) For development applications other than subdivisions and partitions, all street improvements required by this section must be completed and accepted by the City prior to the issuance of a Certificate of Occupancy.***

***(9) In addition to land adjacent to an existing or proposed street, the requirements of this section must apply to land separated from such a street only by a railroad right-of-way.***

***(10) Streets within, or partially within, a proposed development site must be graded for the entire right-of-way width and constructed and surfaced in accordance with the Public Works Construction Code.***

***(11) Existing streets which abut the proposed development site must be graded, constructed, reconstructed, surfaced or repaired as necessary in accordance with the Public Works Construction Code and TDC Chapter 11, Transportation Plan, and TDC 74.425 (Street Design Standards).***

***(12) Sidewalks with appropriate buffering must be constructed along both sides of each internal street and at a minimum along the development side of each external street in accordance with the Public Works Construction Code.***

***(13) The applicant must comply with the requirements of the Oregon Department of Transportation (ODOT), Tri-Met, Washington County and Clackamas County when a proposed development site is adjacent to a roadway under any of their jurisdictions, in addition to the requirements of this chapter.***

***(14) The applicant must construct any required street improvements adjacent to parcels excluded from development, as set forth in TDC 74.220 of this chapter.***

***(15) Except as provided in TDC 74.430, whenever an applicant proposes to develop land with frontage on certain arterial streets and, due to the access management provisions of TDC Chapter 75, is not allowed direct access onto the arterial, but instead must take access from another existing or future public street thereby providing an alternate to direct arterial access, the applicant must be required to construct and place at a minimum street signage, a sidewalk, street trees and street lights along that portion of the arterial street adjacent to the applicant's property. The three certain arterial streets are S.W. Tualatin-Sherwood Road, S.W. Pacific Highway (99W) and S.W. 124th Avenue. In addition, the applicant may be required to construct and place on the arterial at the intersection of the arterial and an existing or future public non-arterial street warranted traffic control devices (in accordance with the Manual on Uniform Traffic Control Devices, latest edition), pavement markings, street tapers and turning lanes, in accordance with the Public Works Construction Code.***

***(16) The City Manager may determine that, although concurrent construction and placement of the improvements in (14) and (15) of this section, either individually or collectively, are impractical at the time of development, the improvements will be necessary at some future date. In such a case, the applicant must sign a written agreement guaranteeing future performance by the applicant and any successors in interest of the property being developed. The agreement must be subject to the City's approval.***

***(17) Intersections should be improved to operate at a level of service of at least D and E for signalized and unsignalized intersections, respectively.***

***(18) Pursuant to requirements for off-site improvements as conditions of development approval, proposed multi-family residential, commercial, or institutional uses that are adjacent to a major transit stop will be required to comply with the City's Mid-Block Crossing Policy.***

**Finding:** As identified in Appendix D.5-Trip Generation Letter, the added units (minus the units being removed) are anticipated to add an additional 16 AM Peak trips and 18 PM Peak trips to the site. The other, existing 295 apartment units account for approximately 78 AM Peak trips and 104 PM Peak Trips, demonstrating that the increased trips are not anticipated to create a significant impact on the surrounding roadway system and therefore street improvements are not warranted as part of this site re-development. This standard is not applicable.

#### **TDC 74.430. - Streets, Modifications of Requirements in Cases of Unusual Conditions.**

***(1) When, in the opinion of the City Manager, the construction of street improvements in accordance with TDC 74.420 would result in the creation of a hazard, or would be impractical, or would be detrimental to the City, the City Manager may modify the scope of the required improvement to eliminate such hazardous, impractical, or detrimental results. Examples of conditions requiring modifications to improvement requirements include but are not limited to horizontal alignment, vertical alignment, significant stands of trees, fish and wildlife habitat areas, the amount of traffic generated by the proposed development, timing of the development or other conditions creating hazards for pedestrian, bicycle or motor vehicle traffic. The City Manager may determine that,***

*although an improvement may be impractical at the time of development, it will be necessary at some future date. In such cases, a written agreement guaranteeing future performance by the applicant in installing the required improvements must be signed by the applicant and approved by the City.*

*(2) When the City Manager determines that modification of the street improvement requirements in TDC 74.420 is warranted pursuant to subsection (1) of this section, the City Manager must prepare written findings of modification. The City Manager must forward a copy of said findings and description of modification to the applicant, or his authorized agent, as part of the Utility Facilities Review for the proposed development, as provided by TDC Chapter 32 (Procedures). The decision of the City Manager may be appealed to the City Council in accordance with TDC Chapter 32 (Procedures).*

*(3) To accommodate bicyclists on streets prior to those streets being upgraded to the full standards, an interim standard may be implemented by the City. These interim standards include reduction in motor vehicle lane width to ten feet (the minimum specified in AASHTO's A Policy on Geo-metric Design of Highways and Streets (1990)), a reduction of bike lane width to 4-feet (as measured from the longitudinal gutter joint to the centerline of the bike lane stripe), and a paint-striped separation two to four feet wide in lieu of a center turn lane. Where available roadway width does not provide for these minimums, the roadway can be signed for shared use by bicycle and motor vehicle travel. When width constraints occur at an intersection, bike lanes should terminate 50 feet from the intersection with appropriate signing.*

**Finding:** TDC 74.430 grants the City Manager the ability to “modify the scope of the required improvement to eliminate such hazardous, impractical or detrimental results” based on “the amount of traffic generated by the proposed development”. It is the Applicant’s understanding based on Appendix D.5-Trip Generation Letter, that the amount of traffic that will be generated by the site redevelopment will not be significant enough to warrant right-of-way improvements adjacent to (or off-site from) this development, thus meeting this standard.

#### **TDC 74.440. - Streets, Traffic Study Required.**

*(1) The City Manager may require a traffic study to be provided by the applicant and furnished to the City as part of the development approval process as provided by this Code, when the City Manager determines that such a study is necessary in connection with a proposed development project in order to:*

*(a) Assure that the existing or proposed transportation facilities in the vicinity of the proposed development are capable of accommodating the amount of traffic that is expected to be generated by the proposed development; and/or*

*(b) Assure that the internal traffic circulation of the proposed development will not result in conflicts between on-site parking movements and/or on-site loading movements and/or on-site traffic movements, or impact traffic on the adjacent streets.*

*(2) The required traffic study must be completed prior to the approval of the development application.*

*(3) The traffic study must include, at a minimum:*

*(a) An analysis of the existing situation, including the level of service on adjacent and impacted facilities.*

*(b) An analysis of any existing safety deficiencies.*

- (c) Proposed trip generation and distribution for the proposed development.*
- (d) Projected levels of service on adjacent and impacted facilities.*
- (e) Recommendation of necessary improvements to ensure an acceptable level of service for roadways and a level of service of at least D and E for signalized and unsignalized intersections respectively, after the future traffic impacts are considered.*
- (f) The City Manager will determine which facilities are impacted and need to be included in the study.*
- (g) The study must be conducted by a registered engineer.*

**(4) The applicant must implement all or a portion of the improvements called for in the traffic study as determined by the City Manager.**

**Finding:** Appendix D.5-Trip Generation Letter finds that a full traffic study is not warranted with this site redevelopment application. This standard is met.

**TDC 74.450. - Bikeways and Pedestrian Paths.**

*(1) Where proposed development abuts or contains an existing or proposed bikeway, pedestrian path, or multi-use path, as set forth in TDC Chapter 11, Transportation Figure 11-4, the City may require that a bikeway, pedestrian path, or multi-use path be constructed, and an easement or dedication provided to the City.*

*(2) Where required, bikeways and pedestrian paths must be provided as follows:*

- (a) Bike and pedestrian paths must be constructed and surfaced in accordance with the Public Works Construction Code.*
- (b) The applicant must install the striping and signing of the bike lanes and shared roadway facilities, where designated.*

**Finding:** The Applicant is not aware of bikeways or pedestrian paths abutting or within this site and as such, this standard is not applicable.

**TDC 74.470. - Street Lights.**

*(1) Street light poles and luminaries must be installed in accordance with the Public Works Construction Code.*

*(2) The applicant must submit a street lighting plan for all interior and exterior streets on the proposed development site prior to issuance of a Public Works Permit.*

**TDC 74.485. - Street Trees.**

*(1) Prior to approval of a residential subdivision or partition final plat, the applicant must pay the City a non-refundable fee equal to the cost of the purchase and installation of street trees. The location, placement, and cost of the trees must be determined by the City. This sum must be calculated on the interior and exterior streets as indicated on the final subdivision or partition plat.*

*(2) In nonresidential subdivisions and partitions street trees must be planted by the owners of the individual lots as development occurs.*

*(3) The Street Tree Ordinance specifies the species of tree which is to be planted and the spacing between trees.*



**Finding:** As stated above, right-of-way improvements are not warranted with this site redevelopment and therefore, neither are street lights or street trees. These standards are not applicable.

**TDC 74.610. - Water Service.**

*(1) Water lines must be installed to serve each property in accordance with the Public Works Construction Code. Water line construction plans must be submitted to the City Manager for review and approval prior to construction.*

*(2) If there are undeveloped properties adjacent to the subject site, public water lines must be extended by the applicant to the common boundary line of these properties. The lines must be sized to provide service to future development, in accordance with the City's Water System Master Plan, TDC Chapter 12.*

*(3) As set forth is TDC Chapter 12, Water Service, the City has three water service levels. All development applicants must be required to connect the proposed development site to the service level in which the development site is located. If the development site is located on a boundary line between two service levels the applicant must be required to connect to the service level with the higher reservoir elevation. The applicant may also be required to install or provide pressure reducing valves to supply appropriate water pressure to the properties in the proposed development site.*

**TDC 74.620. - Sanitary Sewer Service.**

*(1) Sanitary sewer lines must be installed to serve each property in accordance with the Public Works Construction Code. Sanitary sewer construction plans and calculations must be submitted to the City Manager for review and approval prior to construction.*

*(2) If there are undeveloped properties adjacent to the proposed development site which can be served by the gravity sewer system on the proposed development site, the applicant must extend public sanitary sewer lines to the common boundary line with these properties. The lines must be sized to convey flows to include all future development from all up stream areas that can be expected to drain through the lines on the site, in accordance with the City's Sanitary Sewer System Master Plan, TDC Chapter 13.*

**Finding:** Sheet C400 Utility Plan of Appendix C-Land Use Plans-Civil identifies water and sanitary sewer serving each unit and meeting city standards. This standard is met.

**TDC 74.630. - Storm Drainage System.**

*(1) Storm drainage lines must be installed to serve each property in accordance with City standards. Storm drainage construction plans and calculations must be submitted to the City Manager for review and approval prior to construction.*

*(2) The storm drainage calculations must confirm that adequate capacity exists to serve the site. The discharge from the development must be analyzed in accordance with the City's Storm and Surface Water Regulations.*

*(3) If there are undeveloped properties adjacent to the proposed development site which can be served by the storm drainage system on the proposed development site, the applicant must extend storm drainage lines to the common boundary line with these properties. The lines must be sized to convey expected flows to include all future development from all up stream areas that will drain through the lines on the site, in accordance with the Tualatin Drainage Plan in TDC Chapter 14.*

**Finding:** The Applicant proposes a storm drainage system meeting city standards. The plans currently identify a combination of infiltration planters and underground stormwater storage. However, Sheet C400 Utility Plan, of Appendix C-Land Use Plans-Civil identifies a potential stormwater facility at ground level that may be utilized (identified as “Stormwater Alternative: Infiltration Rain Garden”). The Applicant proposes to establish the final storm drainage system configuration at time of engineering review. The application includes Appendix D.6-Preliminary Stormwater Report, demonstrating compliance with city standards. This standard is met.

**TDC 74.640. - Grading.**

***(1) Development sites must be graded to minimize the impact of storm water runoff onto adjacent properties and to allow adjacent properties to drain as they did before the new development.***

***(2) A development applicant must submit a grading plan showing that all lots in all portions of the development will be served by gravity drainage from the building crawl spaces; and that this development will not affect the drainage on adjacent properties. The City Manager may require the applicant to remove all excess material from the development site.***

**Finding:** Sheet C500 of Appendix C-Land Use Plans-Civil identifies site grading meeting all applicable standards. This standard is met.

**TDC 74.650. - Water Quality, Storm Water Detention and Erosion Control.**

***The applicant must comply with the water quality, storm water detention and erosion control requirements in the Surface Water Management Ordinance. If required:***

***(2) On all other development applications, prior to issuance of any building permit, the applicant must arrange to construct a permanent on-site water quality facility and storm water detention facility and submit a design and calculations indicating that the requirements of the Surface Water Management Ordinance will be met and obtain a Stormwater Connection Permit from Clean Water Services.***

***(3) For on-site private and regional non-residential public facilities, the applicant must submit a stormwater facility agreement, which will include an operation and maintenance plan provided by the City, for the water quality facility for the City's review and approval. The applicant must submit an erosion control plan prior to issuance of a Public Works Permit. No construction or disturbing of the site must occur until the erosion control plan is approved by the City and the required measures are in place and approved by the City.***

**Finding:** As stated above, the Applicant intends to arrange to construct a permanent on-site water quality facility and storm water detention facility prior to issuance of any building permit. This standard is met.

**TDC 74.660. - Underground.**

***(1) All utility lines including, but not limited to, those required for gas, electric, communication, lighting and cable television services and related facilities must be placed underground. Surface-mounted transformers, surface-mounted connection boxes and meter cabinets may be placed above ground. Temporary utility service facilities, high capacity electric and communication feeder lines, and utility transmission lines operating at 50,000 volts or above may be placed above ground. The***

**applicant must make all necessary arrangements with all utility companies to provide the underground services. The City reserves the right to approve the location of all surface-mounted transformers.**

**(2) Any existing overhead utilities may not be upgraded to serve any proposed development. If existing overhead utilities are not adequate to serve the proposed development, the applicant must, at their own expense, provide an underground system. The applicant must be responsible for obtaining any off-site deeds and/or easements necessary to provide utility service to this site; the deeds and/or easements must be submitted to the City Manager for acceptance by the City prior to issuance of the Public Works Permit.**

**Finding:** All utilities located within the disturbance area of this site will be placed underground. No existing overhead utilities will be upgraded to serve the redevelopment. This standard is met.

#### **TDC 74.670. - Existing Structures.**

**(1) Any existing structures requested to be retained by the applicant on a proposed development site must be connected to all available City utilities at the expense of the applicant.**

**(2) The applicant must convert any existing overhead utilities serving existing structures to underground utilities, at the expense of the applicant.**

**(3) The applicant must be responsible for continuing all required street improvements adjacent to the existing structure, within the boundaries of the proposed development site.**

**Finding:** The existing apartments on site are connected to all available City utilities. All utilities serving the apartments are underground. The adjacent street improvements are complete. This standard is met.

#### **TDC 74.720. - Protection of Trees During Construction.**

**(1) During the erection, repair, alteration or removal of a building or structure, it is unlawful for the person in charge of such erection, repair, alteration or removal to leave a tree in or upon a public right-of-way in the vicinity of the building or structure without a good and sufficient guard or protectors to prevent injury to the tree arising out of or by reason of such erection, repair, alteration or removal.**

**(2) Excavations and driveways must not be placed within six feet of a tree in or upon a public right-of-way without written permission from the City Manager. During excavation or construction, the person must guard the tree within six feet and all building material or other debris must be kept at least four feet from any tree.**

**Finding:** Sheet C110 of Appendix C-Land Use Plans-Civil details the tree protection plan that is consistent with Appendix D.1-Arborist Report. This standard is met.

#### **TDC 74.725. - Maintenance Responsibilities.**

**Trees, shrubs or plants standing in or upon a public right-of-way, on public or private grounds that have branches projecting into the public street or sidewalk must be kept trimmed by the owner of the property adjacent to or in front of where such trees, shrubs or plants are growing so that:**

**(1) The lowest branches are not less than 12 feet above the surface of the street, and are not be less than 14 feet above the surface of streets designated as state highways.**

***(2) The lowest branches are not less than eight feet above the surface of a sidewalk or footpath.***

***(3) A plant, tree, bush or shrub must not be more than 24 inches in height in the triangular area at the street or highway corner of a corner lot, or the alley-street intersection of a lot, such an area defined by a line across the corner between the points on the street right-of-way line measured ten feet back from the corner, and extending the line to the street curbs or, if there are no curbs, then to that portion of the street or alley used for vehicular traffic.***

***(4) Newly planted trees may remain untrimmed if they do not interfere with street traffic or persons using the sidewalk or obstruct the light of a street electric lamp.***

***(5) Maintenance responsibilities of the property owner include repair and upkeep of the sidewalk in accordance with the City Sidewalk Maintenance Ordinance.***

**Finding:** The Applicant acknowledges responsibility for maintenance of trees, shrubs and plants that stand or project into a public right-of-way. This standard is met.

## **CHAPTER 75 - ACCESS MANAGEMENT**

***[City code text omitted for brevity]***

**Finding:** As discussed previously, no changes are proposed to the existing access points to the site and as such, this standard is not applicable.

### **TDC 75.070. - Existing Driveways and Street Intersections.**

***(1) Existing driveways with access onto arterials on the date this chapter was originally adopted are allowed to remain. If additional development occurs on properties with existing driveways with access onto arterials then this Chapter applies and the entire site must be made to conform with the requirements of this chapter.***

***(2) The City Manager may restrict existing driveways and street intersections to right-in and right-out by construction of raised median barriers or other means.***

**Finding:** No changes are proposed to the existing driveways. No additional driveways are proposed. This standard is met.

### **TDC 75.120. - Collector Streets Access Standards.**

***(1) Major Collectors. Direct access from newly constructed single family homes, duplexes or triplexes are not permitted. As major collectors in residential areas are fully improved, or adjacent land redevelops, direct access should be relocated to the nearest local street where feasible.***

***(2) Minor Collectors. Residential, commercial and industrial driveways where the frontage is greater or equal to 70 feet are permitted. Minimum spacing at 100 feet. Uses with less than 50 feet of frontage shall use a common (joint) access where available.***

***(3) If access is not able to be relocated to the nearest local street, the City Manager may allow interim access in accordance with [75.060](#) of this chapter to provide for the eventual implementation of the overall access plan.***

**Finding:** This site has existing access onto Martinazzi, a minor collector at this location. The site has greater than 70 feet of frontage and the existing access is a minimum of 100 feet from the nearest access. This standard is met.

**TDC 75.140. - Existing Streets Access Standards.**

*The following list describes in detail the freeways and arterials as defined in TDC 75.050 with respect to access. Recommendations are made for future changes in accesses and location of future accesses. These recommendations are examples of possible solutions and shall not be construed as limiting the City's authority to change or impose different conditions if additional studies result in different recommendations from those listed below.*

**(14) SAGERT STREET.**

*(a) Martinazzi Avenue to 65th Avenue. No new driveways or streets shall be allowed, except the City Manager may allow one driveway from the SE corner lot of Sagert and Martinazzi. This driveway may be restricted to right-in, right-out.*

**Finding:** This site has existing access onto Sagert Street. No new access is proposed to this portion of Sagert Street. This standard is met.

**TUALATIN MUNICIPAL CODE**

**TITLE 3- UTILITIES AND WATER QUALITY**

**CHAPTER 3-02 – SEWER REGULATIONS; RATES**

**TMC 3-2-020 - Application, Permit and Inspection Procedure. [City code text omitted for brevity]**

**TMC 3-2-030 - Materials and Manner of Construction. [City code text omitted for brevity]**

**TMC 3-2-040 - Restrictions As to Use of Sanitary Sewer System. [City code text omitted for brevity]**

**TMC 3-2-060 - Use of Public Sewers Required. [City code text omitted for brevity]**

**TMC 3-2-160 - Construction Standards. [City code text omitted for brevity]**

**Finding:** Compliance with the applicable City of Tualatin and Clean Water Services standards for sanitary sewer will be demonstrated at the time of building and construction permit applications. The applicable standards will be met. Refer to the TDC 74.620 response and utility drawings in the application, as well as Appendix D.7-Clean Water Services Service Provider Letter, for additional information. This standard is met.

**CHAPTER 3-03 - WATER SERVICE**

**TMC 3-3-040 - Separate Services Required. [City code text omitted for brevity]**

**TMC 3-3-050 - Regular Service. [City code text omitted for brevity]**

**TMC 3-3-080 - Fire Protection Service. [City code text omitted for brevity]**

**TMC 3-3-100 - Meters. [City code text omitted for brevity]**

**TMC 3-3-110 - Construction Standards. [City code text omitted for brevity]**

**TMC 3-3-120 - Backflow Prevention Devices and Cross Connections.** *[City code text omitted for brevity]*

**TMC 3-3-130 - Control Valves.** *[City code text omitted for brevity]*

**TMC 3-3-240 - Construction.** *[City code text omitted for brevity]*

**Finding:** Compliance with the applicable City of Tualatin standards for water service will be demonstrated at the time of building and construction permit applications. Refer to the TDC 74.610 response and utility drawings in the application, Sheet FS-1 of Appendix C-Land Use Plans-Civil and Appendix D.8-TVF&R Service Provider Letter for additional information. This standard is met.

#### **CHAPTER 3-05 - SOIL EROSION, SURFACE WATER MANAGEMENT, WATER QUALITY FACILITIES, AND BUILDING AND SEWERS**

**TMC 3-5-040 - Erosion Prohibited.** *[City code text omitted for brevity]*

**TMC 3-5-050 - Erosion Control Permits.** *[City code text omitted for brevity]*

**TMC 3-5-060 - Permit Process.** *[City code text omitted for brevity]*

**TMC 3-5-090 - Physical Erosion.** *[City code text omitted for brevity]*

**TMC 3-5-110 - Air Pollution—Dust, Fumes, Smoke and Odors.** *[City code text omitted for brevity]*

**TMC 3-5-120 - Maintaining Water Quality.** *[City code text omitted for brevity]*

**TMC 3-5-130 - Fish and Wildlife Habitat.** *[City code text omitted for brevity]*

**TMC 3-5-140 - Control of Noise Levels.** *[City code text omitted for brevity]*

**TMC 3-5-150 - Natural Vegetation.** *[City code text omitted for brevity]*

**TMC 3-5-160 - Historical and Archeological Areas.** *[City code text omitted for brevity]*

**TMC 3-5-170 - Pesticides, Fertilizers.** *[City code text omitted for brevity]*

**TMC 3-5-180 - Contaminated Soils.** *[City code text omitted for brevity]*

**TMC 3-5-190 - Soil Erosion Control Matrix and Methods.** *[City code text omitted for brevity]*

**Finding:** Compliance with the applicable City of Tualatin standards for erosion control will be demonstrated at the time of building and construction permit applications. Refer to Sheet C310 of Appendix C-Land Use Plans-Civil for further details. This standard is met.

## ADDITIONAL SURFACE WATER MANAGEMENT STANDARDS

TMC 3-5-200 - Downstream Protection Requirement. *[City code text omitted for brevity]*

TMC 3-5-210 - Review of Downstream System. *[City code text omitted for brevity]*

TMC 3-5-220 - Criteria for Requiring On-Site Detention to be Constructed. *[City code text omitted for brevity]*

TMC 3-5-230 - On-Site Detention Design Criteria. *[City code text omitted for brevity]*

TMC 3-5-240 - On-Site Detention Design Method. *[City code text omitted for brevity]*

TMC 3-5-250 - Floodplain Design Standards. *[City code text omitted for brevity]*

TMC 3-5-260 - Floodway Design Standards. *[City code text omitted for brevity]*

TMC 3-5-280 - Placement of Water Quality Facilities. *[City code text omitted for brevity]*

**Finding:** Compliance with the applicable City of Tualatin standards for surface water management will be demonstrated at the time of building and construction permit applications. This standard is met.

## PERMANENT ON-SITE WATER QUALITY FACILITIES

TMC 3-5-330 - Permit Required. *[City code text omitted for brevity]*

TMC 3-5-340 - Facilities Required. *[City code text omitted for brevity]*

TMC 3-5-345 - Inspection Reports. *[City code text omitted for brevity]*

TMC 3-5-350 - Phosphorous Removal Standard. *[City code text omitted for brevity]*

TMC 3-5-360 - Design Storm. *[City code text omitted for brevity]*

TMC 3-5-370 - Design Requirements. *[City code text omitted for brevity]*

TMC 3-5-390 - Facility Permit Approval. *[City code text omitted for brevity]*

TMC 3-5-430 - Placement of Water Quality Facilities. *[City code text omitted for brevity]*

**Finding:** Compliance with the applicable City of Tualatin standards for on-site water quality facilities will be demonstrated at the time of building and construction permit applications. As stated previously in this narrative in TDC 74.630, the Applicant is considering below surface and above ground water quality treatment and storage. This standard is met.

## STANDARD SPECIFICATIONS FOR BUILDING AND SIDE SEWERS

**TMC 3-5-440 - General Provisions.** *[City code text omitted for brevity]*

**TMC 3-5-450 - Building Sewers.** *[City code text omitted for brevity]*

**TMC 3-5-460 - Installation of Side Sewers.** *[City code text omitted for brevity]*

**Finding:** All sewers will be built and installed to city standards as demonstrated at the time of building and construction permit applications. This standard is met.

## SUMMARY AND CONCLUSION

Based upon the materials submitted herein, the Applicant respectfully requests approval from the Tualatin Architectural Review Board for this Type III Architectural Review application and associated Tree Removal Permit.



# TYPE III ARCHITECTURAL REVIEW DRAWINGS

FOR

## ALDEN APARTMENTS

PREPARED FOR

COLRICH



PUBLISH DATE

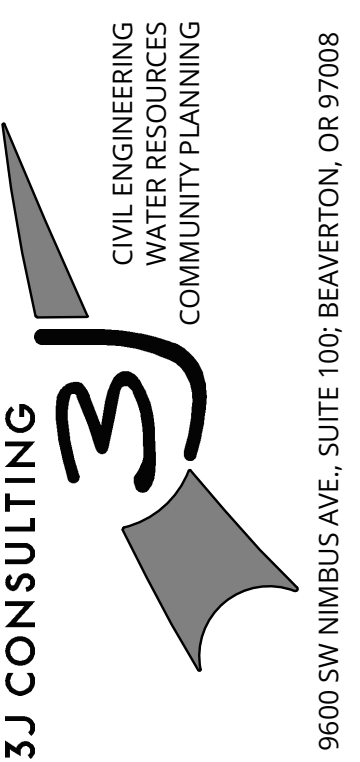
09/01/2022

ISSUED FOR

LAND USE

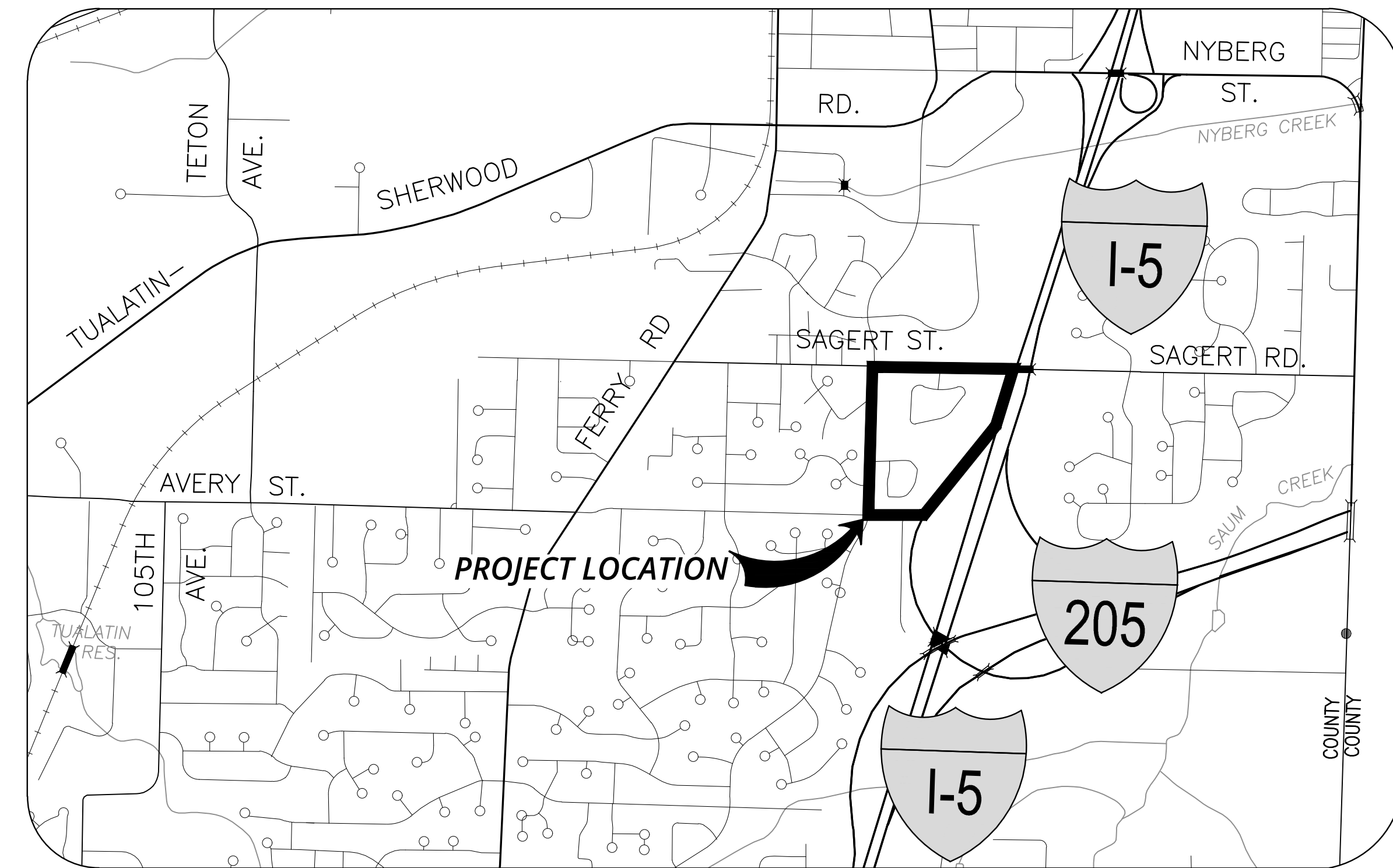
REVISIONS

**COVER SHEET**  
**ALDEN APARTMENTS**  
 7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
 TUALATIN, OR 97062

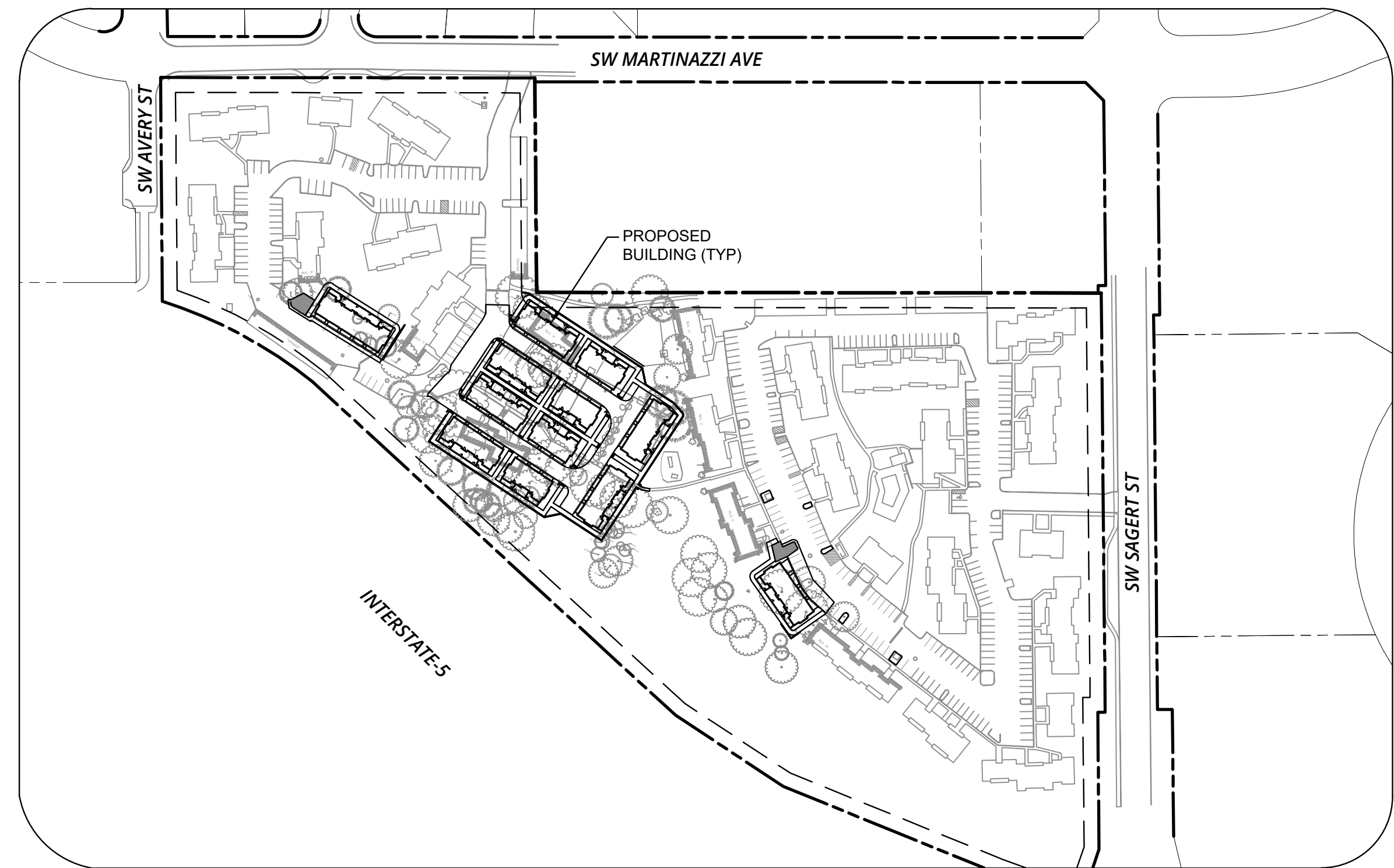


PROJECT INFORMATION  
 3J PROJECT # | 22791  
 TAX LOT(S) | 2S125BA00100  
 LAND USE # | 22-0004  
 DESIGNED BY | KMK  
 CHECKED BY | BMO

SHEET NUMBER  
**C000**



**VICINITY MAP**  
NOT TO SCALE



**SITE MAP**  
NOT TO SCALE

| INDEX OF SHEETS |                                      |
|-----------------|--------------------------------------|
| SHEET NO.       | SHEET TITLE                          |
| C000            | COVER SHEET                          |
| C100            | OVERALL EXISTING CONDITIONS PLAN     |
| C101            | EXTG CONDITIONS PLAN                 |
| C110            | TREE INVENTORY AND PROTECTION PLAN   |
| C200            | DEMOLITION PLAN                      |
| C300            | EROSION AND SEDIMENT CONTROL PLAN    |
| C310            | EROSION AND SEDIMENT CONTROL DETAILS |
| C400            | UTILITY PLAN                         |
| C500            | GRADING PLAN                         |
| C600            | OVERALL SITE PLAN                    |
| C601            | SITE PLAN                            |
| C700            | FIRE ACCESS PLAN                     |

### SITE INFORMATION

#### SITE ADDRESS

7800 SW SAGERT STREET &  
20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062

#### JURISDICTION

CITY OF TUALATIN

#### HORIZONTAL DATUM (BASIS OF BEARINGS)

OREGON COORDINATE REFERENCE SYSTEM O.C.R.S. (PORTLAND ZONE),  
INTERNATIONAL FEET.

#### VERTICAL DATUM

NAVD 88.

#### FLOOD HAZARD

MAP NUMBERS: 41067C0607E  
ZONE X (UNSHADED)

#### LOCATION

N.W. 1/4 OF SECTION 25,  
T.2S., R.1W., W.M., WASHINGTON  
COUNTY, OR

### PROJECT TEAM

#### OWNER

COLRICH  
444 WEST BEECH ST, SUITE 300  
SAN DIEGO, CA 92101  
CONTACT: MATHEW MOISEVE  
PHONE: 858-490-2300  
EMAIL: matm@colrich.com

#### LAND SURVEYOR

CESINW  
13190 SW 68TH PARKWAY, SUITE 150  
TIGARD, OR 97223  
CONTACT: PAUL KOHN, PLS  
PHONE: (503) 968-6655  
EMAIL: pkohn@cesinw.com

#### CIVIL ENGINEER

3J CONSULTING, INC.  
9600 SW NIMBUS AVE, SUITE 100  
BEAVERTON, OR 97008  
CONTACT: BRIAN O'ROURKE, P.E.  
PHONE: (503) 946-9365  
EMAIL: brian.orourke@3j-consulting.com

#### ARCHITECT

DAHLIN GROUP  
10900 NE 8TH ST, SUITE 1120  
BELLEVUE, WA 98004  
CONTACT: CAMILA GARRIDO, AIA  
PHONE: (858) 602-2376  
EMAIL: camila.garrido@dahlingroup.com

### UTILITIES & SERVICES

#### STORM WATER

CITY OF TUALATIN  
18880 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062  
PHONE: (503) 692-2000

#### WATER

CITY OF TUALATIN  
18880 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062  
PHONE: (503) 692-2000

#### GAS

NORTHWEST NATURAL  
NW AMBERWOOD DRIVE  
HILLSBORO, OR 97124  
PHONE: (800) 422-4102

#### GARBAGE

REPUBLIC SERVICES  
PHONE: (503)-981-1278

#### SANITARY SEWER

CITY OF TUALATIN  
18880 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062  
PHONE: (503) 692-2000

#### POWER

PORTLAND GENERAL ELECTRIC  
PHONE: (800) 743-5000

#### FIRE

TUALATIN VALLEY FIRE & RESCUE  
STATION NUMBER 34  
19365 SW 90TH COURT  
TUALATIN, OR 97062  
PHONE: (503) 649-8577

P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DDC\100 - OVERALL EXISTG CONDITIONS PLAN.DWG



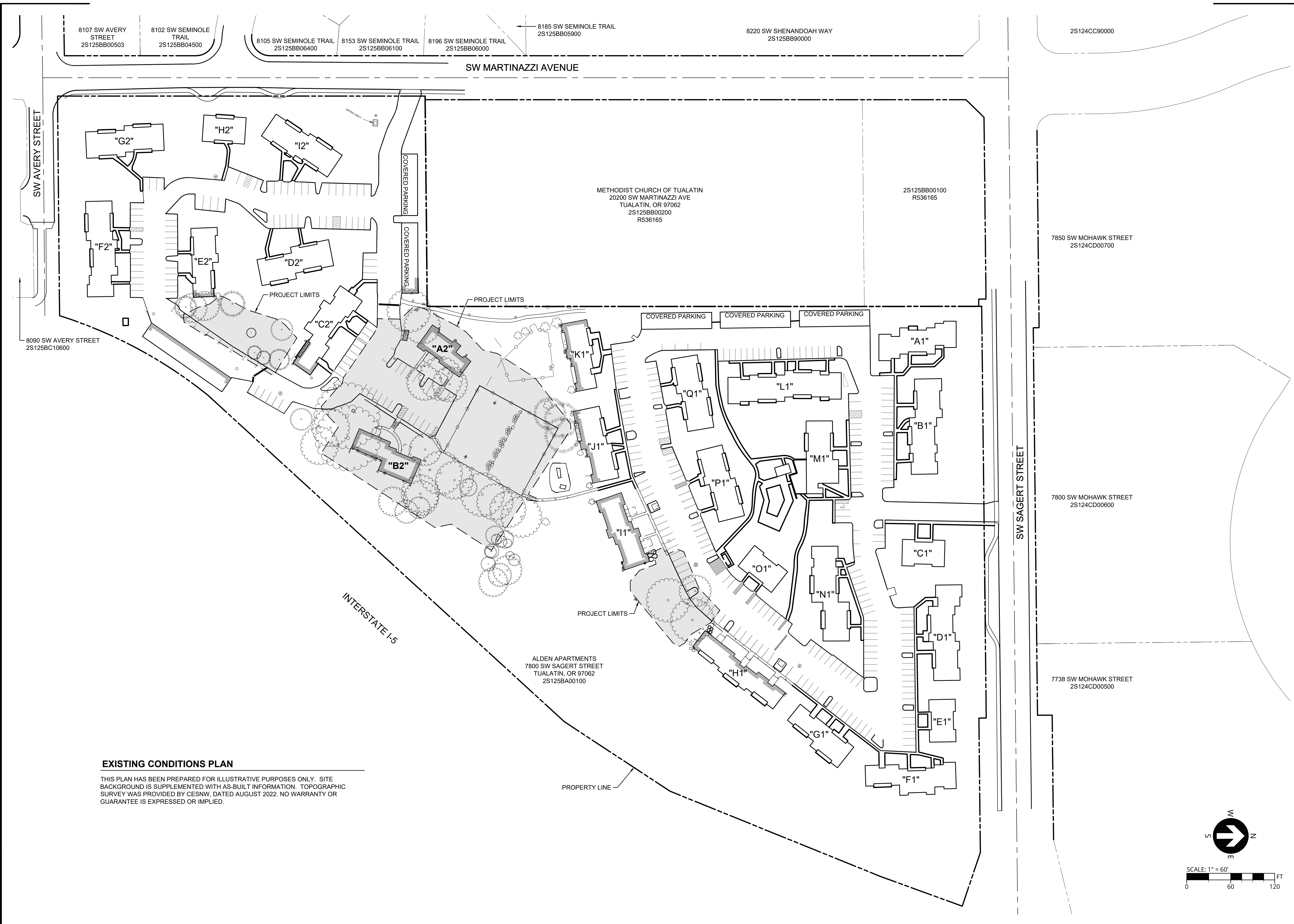
PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS

OVERALL EXISTING CONDITIONS PLAN  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062

3J CONSULTING  
CIVIL ENGINEERING  
WATER RESOURCES  
COMMUNITY PLANNING  
9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

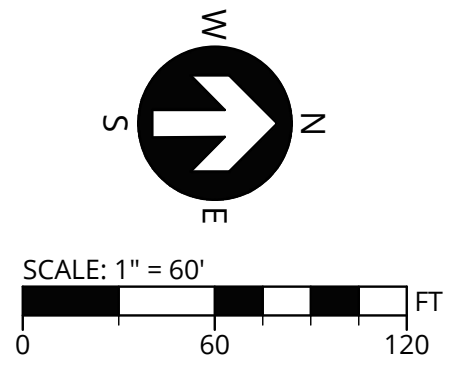
PROJECT INFORMATION  
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**C100**



**EXISTING CONDITIONS PLAN**

THIS PLAN HAS BEEN PREPARED FOR ILLUSTRATIVE PURPOSES ONLY. SITE BACKGROUND IS SUPPLEMENTED WITH AS-BUILT INFORMATION. TOPOGRAPHIC SURVEY WAS PROVIDED BY CESNW, DATED AUGUST 2022. NO WARRANTY OR GUARANTEE IS EXPRESSED OR IMPLIED.



**EXISTING CONDITIONS PLAN**

THIS PLAN HAS BEEN PREPARED FOR ILLUSTRATIVE PURPOSES ONLY. SITE BACKGROUND INFORMATION AND FEATURES HAVE BEEN GENERATED FROM A COMBINATION OF PUBLIC GIS DATA SOURCES, AERIAL PHOTOS, TAX ASSESSOR MAPS AND PHYSICAL SITE OBSERVATIONS. TOPOGRAPHIC SURVEY WAS PROVIDED BY CESNW, DATED AUGUST 2022. PROPOSED SITE FEATURES ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE. NO WARRANTY OR GUARANTEE IS EXPRESSED OR IMPLIED.

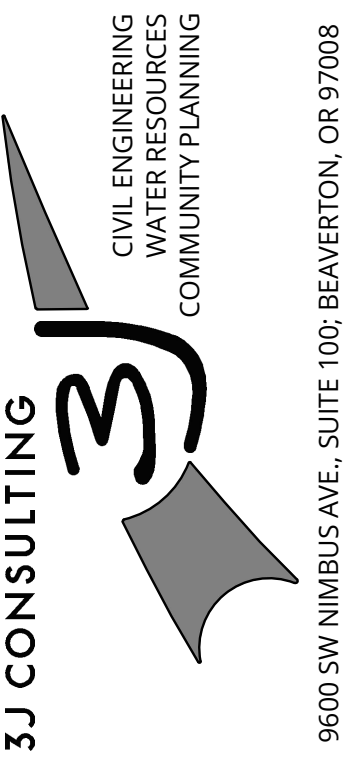
**EXISTING LEGEND**

|  |                        |  |                       |
|--|------------------------|--|-----------------------|
|  | PROPERTY LINE          |  | STORM MANHOLE         |
|  | RIGHT-OF-WAY LINE      |  | CATCH BASIN           |
|  | STORM LINE             |  | CLEANOUT/ROOF DRAIN   |
|  | SEWER LINE             |  | SANITARY MANHOLE      |
|  | WATER LINE             |  | WATER METER           |
|  | GAS LINE               |  | IRRIGATION VALVE      |
|  | UNDERGROUND POWER LINE |  | ELECTRIC TRANSFORMER  |
|  | OVERHEAD POWER LINE    |  | ELECTRIC METER        |
|  | COMMUNICATIONS LINE    |  | ELECTRIC JUNCTION BOX |
|  | FENCE                  |  | LIGHT POLE            |
|  | MAJOR CONTOUR          |  | UTILITY POLE ANCHOR   |
|  | MINOR CONTOUR          |  | COMM JUNCTION BOX     |
|  | CURB                   |  | COMM RISER            |
|  | EDGE OF BUILDING       |  | CONIFEROUS TREE       |
|  | BUILDING EAVE          |  | DECIDUOUS TREE        |
|  | WALL                   |  |                       |
|  | ASPHALT                |  |                       |
|  | CONCRETE               |  |                       |



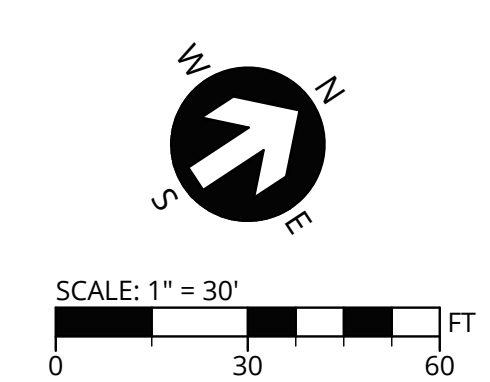
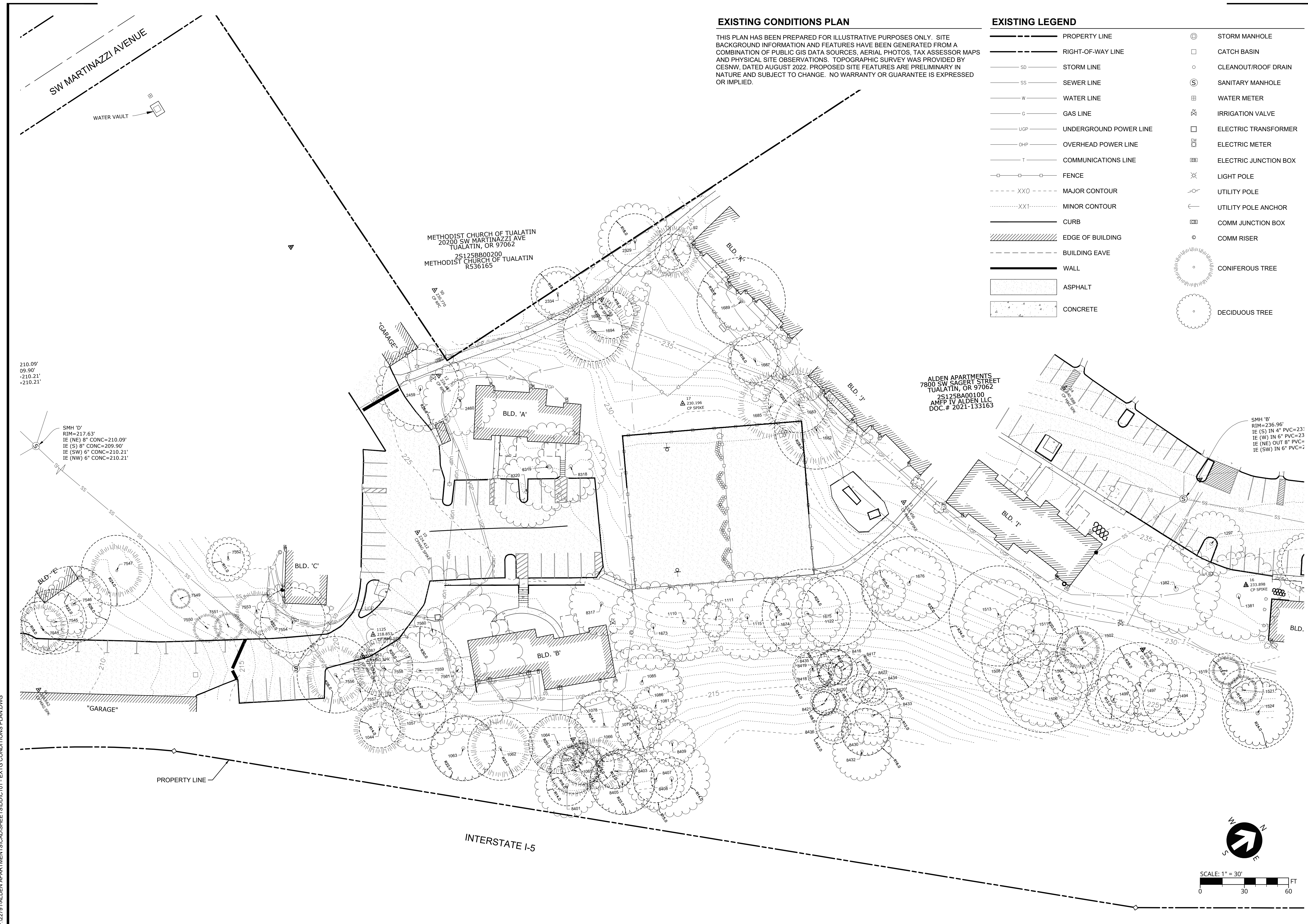
PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS

**EXTG CONDITIONS PLAN**  
**ALDEN APARTMENTS**  
 7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
 TUALATIN, OR 97062



PROJECT INFORMATION  
 3J PROJECT # | 22791  
 TAX LOT(S) | 2S125BA00100  
 LAND USE # | 22-0004  
 DESIGNED BY | KMK  
 CHECKED BY | BMO

SHEET NUMBER  
**C101**



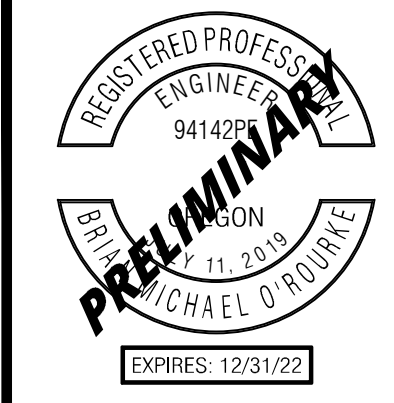
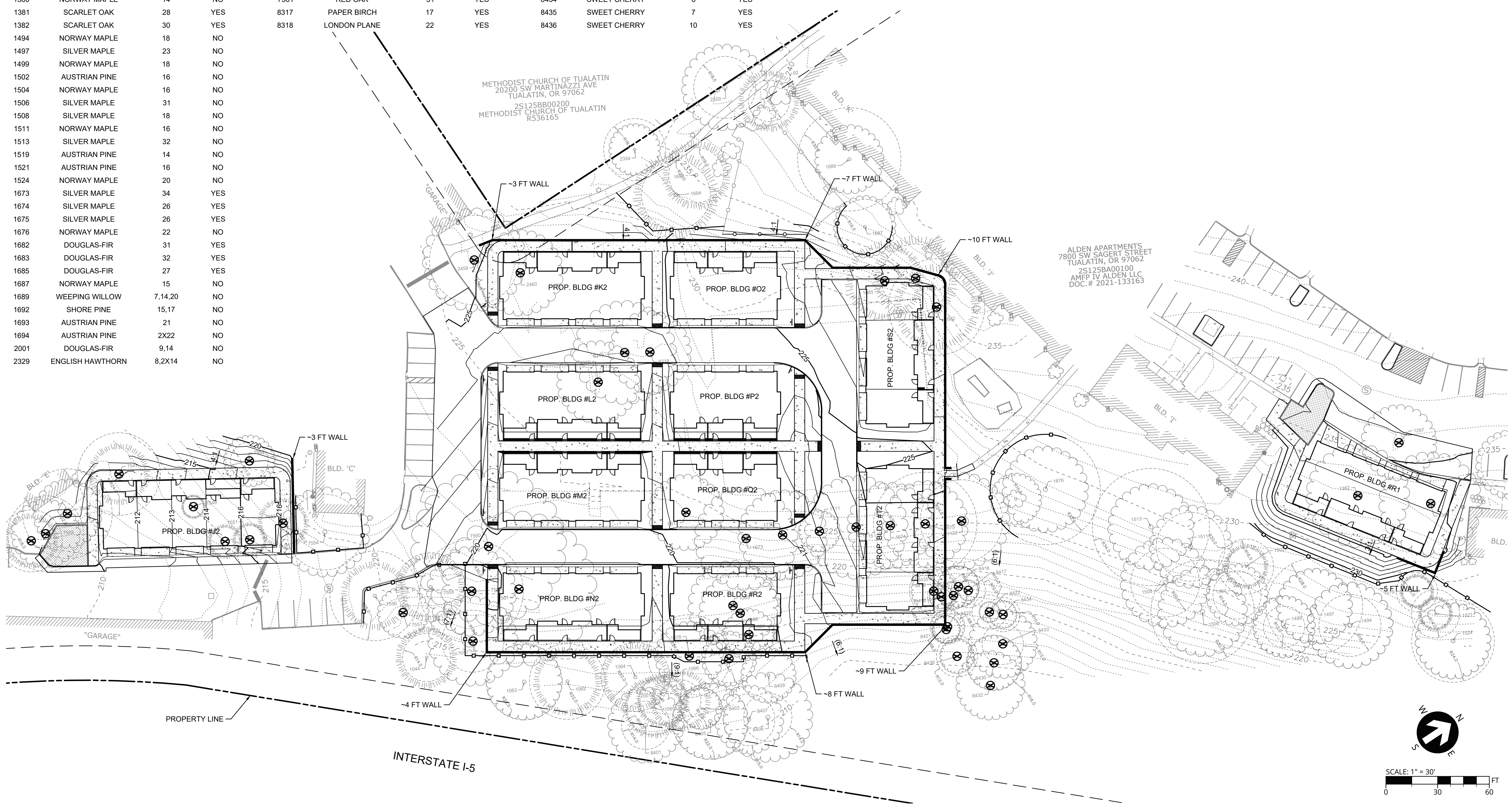
P:\22791-ALDEN APARTMENTS\CAD\SHETS\DDC\101 - EXTG CONDITIONS PLAN.DWG

**TREE INVENTORY**

| TREE # | TREE SPECIES     | DBH (IN) | REMOVED? | 2334 | SERVICEBERRY  | 7.8,12 | NO  | 8319 | LONDON PLANE     | 29   | YES |
|--------|------------------|----------|----------|------|---------------|--------|-----|------|------------------|------|-----|
| 1044   | AUSTRIAN PINE    | 18       | NO       | 2459 | LONDON PLANE  | 32     | YES | 8320 | NORWAY MAPLE     | 22   | YES |
| 1057   | RED OAK          | 28       | YES      | 2460 | PAPER BIRCH   | 22     | YES | 8401 | RED OAK          | 2X22 | NO  |
| 1062   | DOUGLAS-FIR      | 26       | NO       | 7544 | SHORE PINE    | 13     | YES | 8403 | SWEET CHERRY     | 8    | NO  |
| 1063   | RED OAK          | 20       | NO       | 7545 | NORWAY MAPLE  | 17     | YES | 8405 | RED OAK          | 25   | NO  |
| 1064   | DOUGLAS-FIR      | 21       | NO       | 7546 | NORWAY MAPLE  | 18     | YES | 8407 | RED OAK          | 25   | NO  |
| 1065   | DOUGLAS-FIR      | 22       | NO       | 7547 | DOUGLAS-FIR   | 31     | YES | 8408 | RED OAK          | 24   | NO  |
| 1066   | DOUGLAS-FIR      | 24       | NO       | 7549 | DOUGLAS-FIR   | 10     | YES | 8411 | NORWAY MAPLE     | 32   | NO  |
| 1078   | NORWAY MAPLE     | 19       | YES      | 7550 | SHORE PINE    | 15     | YES | 8416 | ENGLISH HAWTHORN | 7.8  | YES |
| 1079   | NORWAY MAPLE     | 10       | YES      | 7551 | SHORE PINE    | 15     | YES | 8417 | SWEET CHERRY     | 7    | YES |
| 1081   | NORWAY MAPLE     | 15       | YES      | 7552 | NORWAY MAPLE  | 13     | YES | 8418 | SWEET CHERRY     | 10   | YES |
| 1085   | SCARLET OAK      | 32       | YES      | 7553 | DOUGLAS-FIR   | 22     | YES | 8419 | SWEET CHERRY     | 10   | YES |
| 1086   | SCARLET OAK      | 29       | YES      | 7554 | NORWAY MAPLE  | 26     | NO  | 8420 | SWEET CHERRY     | 12   | YES |
| 1110   | SILVER MAPLE     | 40       | YES      | 7556 | AUSTRIAN PINE | 24     | NO  | 8421 | SWEET CHERRY     | 10   | YES |
| 1111   | SILVER MAPLE     | 14       | YES      | 7557 | SWEET CHERRY  | 22     | YES | 8422 | SWEET CHERRY     | 7.8  | YES |
| 1115   | SILVER MAPLE     | 28       | YES      | 7558 | AUSTRIAN PINE | 20     | NO  | 8430 | SWEET CHERRY     | 16   | YES |
| 1122   | SILVER MAPLE     | 29       | YES      | 7559 | RED OAK       | 25     | YES | 8432 | SWEET CHERRY     | 22   | YES |
| 1297   | NORWAY MAPLE     | 19       | YES      | 7560 | RED OAK       | 39     | YES | 8433 | SWEET CHERRY     | 14   | YES |
| 1380   | NORWAY MAPLE     | 14       | NO       | 7561 | RED OAK       | 31     | YES | 8434 | SWEET CHERRY     | 8    | YES |
| 1381   | SCARLET OAK      | 28       | YES      | 8317 | PAPER BIRCH   | 17     | YES | 8435 | SWEET CHERRY     | 7    | YES |
| 1382   | SCARLET OAK      | 30       | YES      | 8318 | LONDON PLANE  | 22     | YES | 8436 | SWEET CHERRY     | 10   | YES |
| 1494   | NORWAY MAPLE     | 18       | NO       |      |               |        |     |      |                  |      |     |
| 1497   | SILVER MAPLE     | 23       | NO       |      |               |        |     |      |                  |      |     |
| 1499   | NORWAY MAPLE     | 18       | NO       |      |               |        |     |      |                  |      |     |
| 1502   | AUSTRIAN PINE    | 16       | NO       |      |               |        |     |      |                  |      |     |
| 1504   | NORWAY MAPLE     | 16       | NO       |      |               |        |     |      |                  |      |     |
| 1506   | SILVER MAPLE     | 31       | NO       |      |               |        |     |      |                  |      |     |
| 1508   | SILVER MAPLE     | 18       | NO       |      |               |        |     |      |                  |      |     |
| 1511   | NORWAY MAPLE     | 16       | NO       |      |               |        |     |      |                  |      |     |
| 1513   | SILVER MAPLE     | 32       | NO       |      |               |        |     |      |                  |      |     |
| 1519   | AUSTRIAN PINE    | 14       | NO       |      |               |        |     |      |                  |      |     |
| 1521   | AUSTRIAN PINE    | 16       | NO       |      |               |        |     |      |                  |      |     |
| 1524   | NORWAY MAPLE     | 20       | NO       |      |               |        |     |      |                  |      |     |
| 1673   | SILVER MAPLE     | 34       | YES      |      |               |        |     |      |                  |      |     |
| 1674   | SILVER MAPLE     | 26       | YES      |      |               |        |     |      |                  |      |     |
| 1675   | SILVER MAPLE     | 26       | YES      |      |               |        |     |      |                  |      |     |
| 1676   | NORWAY MAPLE     | 22       | NO       |      |               |        |     |      |                  |      |     |
| 1682   | DOUGLAS-FIR      | 31       | YES      |      |               |        |     |      |                  |      |     |
| 1683   | DOUGLAS-FIR      | 32       | YES      |      |               |        |     |      |                  |      |     |
| 1685   | DOUGLAS-FIR      | 27       | YES      |      |               |        |     |      |                  |      |     |
| 1687   | NORWAY MAPLE     | 15       | NO       |      |               |        |     |      |                  |      |     |
| 1689   | WEeping WILLOW   | 7,14,20  | NO       |      |               |        |     |      |                  |      |     |
| 1692   | SHORE PINE       | 15,17    | NO       |      |               |        |     |      |                  |      |     |
| 1693   | AUSTRIAN PINE    | 21       | NO       |      |               |        |     |      |                  |      |     |
| 1694   | AUSTRIAN PINE    | 2X22     | NO       |      |               |        |     |      |                  |      |     |
| 2001   | DOUGLAS-FIR      | 9,14     | NO       |      |               |        |     |      |                  |      |     |
| 2329   | ENGLISH HAWTHORN | 8,2X14   | NO       |      |               |        |     |      |                  |      |     |

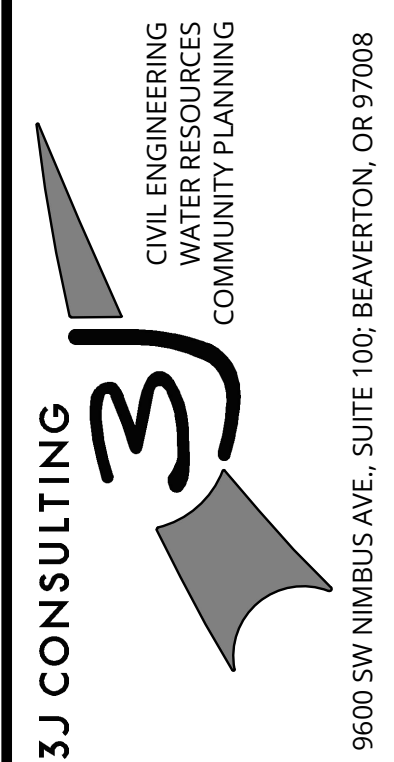
**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- 110 --- PROPOSED MAJOR CONTOUR
- 108 --- PROPOSED MINOR CONTOUR
- - - XX0 - - - EXISTING MAJOR CONTOUR
- - - XX1 - - - EXISTING MINOR CONTOUR
- TREE PROTECTION FENCING
- ⊗ PROPOSED TREE REMOVAL
- ⊙ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE



PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS

**TREE INVENTORY AND PROTECTION PLAN**  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062

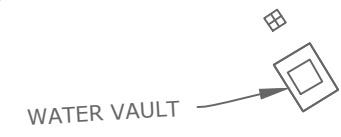


PROJECT INFORMATION  
3J PROJECT # | 22791  
TAX LOT(S) | 25125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**C110**

P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DDC\10 - TREE PLAN.DWG

SW MARTINAZZI AVENUE



LEGEND

- PROPERTY LINE
- REMOVE UTILITY
- LIMITS OF DEMOLITION
- PROPOSED TREE PROTECTION FENCING SEE DEMOLITION NOTE 5
- TREE REMOVAL PER LANDSCAPE
- PROPOSED INLET PROTECTION

DEMOLITION NOTES

- CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS FOR GENERAL EXCAVATION, SITE PREPARATION, ETC. GEOTECHNICAL REPORT PROVIDED BY GEOPACIFIC, DATED JULY 27, 2022.
- COORDINATE ELECTRICAL, TELECOMMUNICATIONS, AND GAS DEMOLITION, PROTECTION AND TEMPORARY SERVICES DURING CONSTRUCTION WITH UTILITY PROVIDERS.
- DEMOLISH ALL EXISTING SURFACE IMPROVEMENTS WITHIN THE LIMITS OF DEMOLITION UNLESS NOTED FOR SALVAGE OR PROTECTION.
- PROTECT IN PLACE ALL UNDERGROUND UTILITIES AND STRUCTURES UNLESS NOTED OTHERWISE.
- REMOVE ALL VEGETATION WITHIN DEMOLITION AREAS, OUTSIDE OF TREE PROTECTION AREAS, UNLESS NOTED OTHERWISE. FOR VEGETATION REMOVAL WITHIN TREE PROTECTION AREAS COORDINATE WITH ARBORIST.

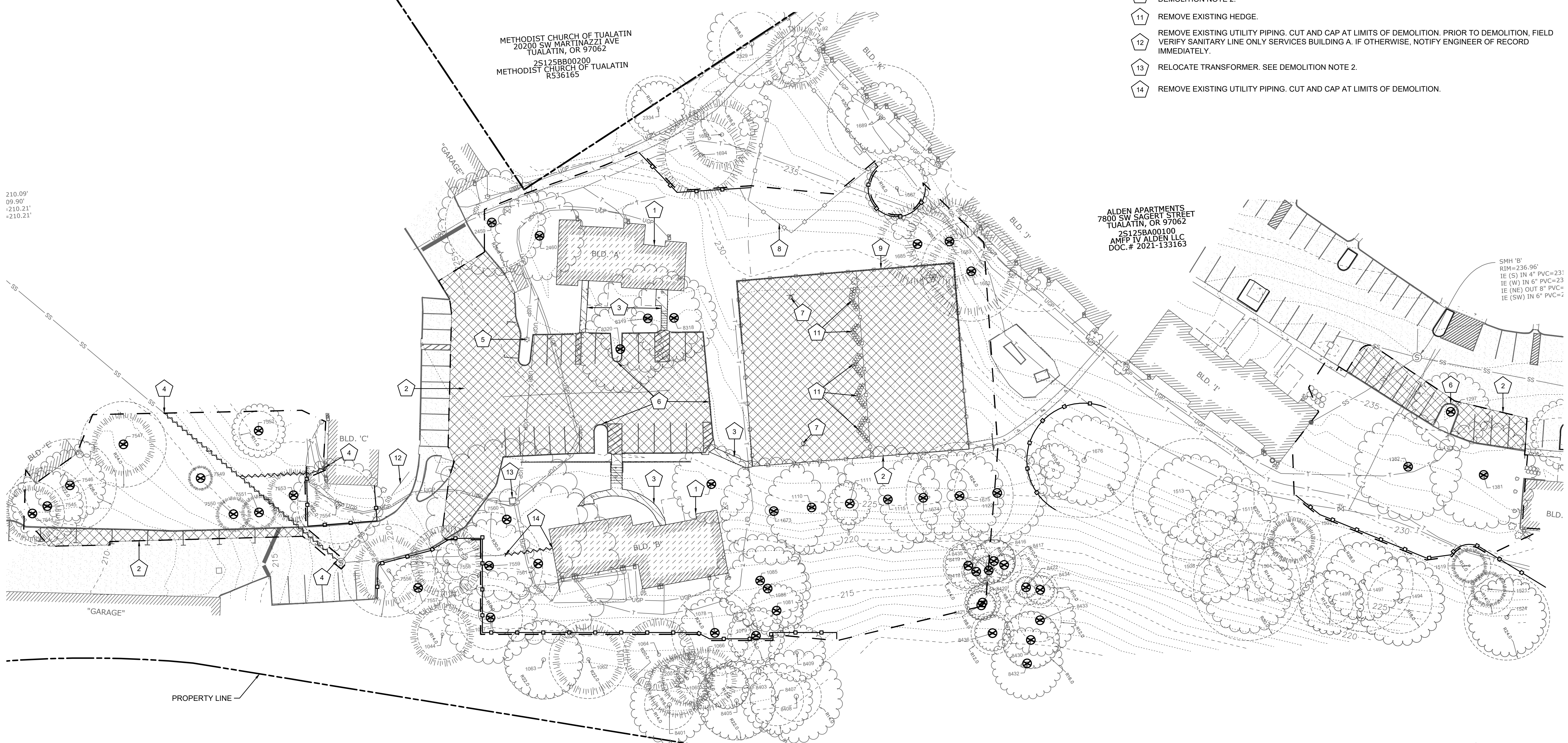
DEMOLITION KEY NOTES

- 1 REMOVE EXISTING BUILDING AND ASSOCIATED FOUNDATIONS. SEE ARCHITECTURAL DEMOLITION PLAN FOR REMOVAL INFORMATION.
- 2 REMOVE EXISTING ASPHALT AND BASE ROCK. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
- 3 REMOVE EXISTING CONCRETE AND BASE ROCK. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
- 4 REMOVE EXISTING UTILITY PIPING.
- 5 REMOVE EXISTING ELECTRICAL STRUCTURE AND ASSOCIATED WIRING AND DISPOSE OF OFF-SITE. SEE DEMOLITION NOTE 2.
- 6 REMOVE EXISTING CURB. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
- 7 REMOVE EXISTING BASKETBALL HOOP STRUCTURE AND DISPOSE OF OFF-SITE.
- 8 REMOVE EXISTING CHAIN LINK FENCE AND DISPOSE OF OFF-SITE.
- 9 REMOVE EXISTING WALL AND DISPOSE OF OFF-SITE.
- 10 REMOVE EXISTING UNDERGROUND ELECTRICAL OR TELECOMMUNICATIONS LINE TO LIMITS SHOWN. SEE DEMOLITION NOTE 2.
- 11 REMOVE EXISTING HEDGE.
- 12 REMOVE EXISTING UTILITY PIPING. CUT AND CAP AT LIMITS OF DEMOLITION. PRIOR TO DEMOLITION, FIELD VERIFY SANITARY LINE ONLY SERVICES BUILDING A. IF OTHERWISE, NOTIFY ENGINEER OF RECORD IMMEDIATELY.
- 13 RELOCATE TRANSFORMER. SEE DEMOLITION NOTE 2.
- 14 REMOVE EXISTING UTILITY PIPING. CUT AND CAP AT LIMITS OF DEMOLITION.

METHODIST CHURCH OF TUALATIN  
20200 SW MARTINAZZI AVE  
TUALATIN, OR 97062  
25125BB00200  
METHODIST CHURCH OF TUALATIN  
R536165

ALDEN APARTMENTS  
7800 SW SAGERT STREET  
TUALATIN, OR 97062  
25125BA00100  
AMFP IV ALDEN LLC  
DOC.# 2021-133163

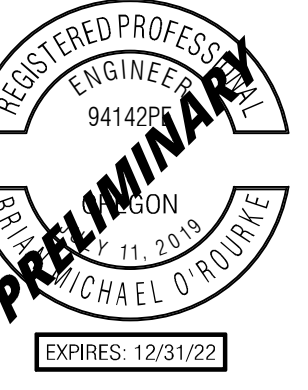
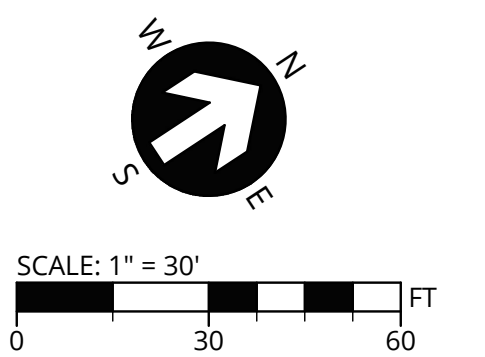
SMH 'B'  
RIM=236.96'  
IE (S) IN 4" PVC=231'  
IE (W) IN 6" PVC=233'  
IE (NE) OUT 8" PVC=  
IE (SW) IN 6" PVC=2



210.09'  
09.90'  
210.21'  
210.21'

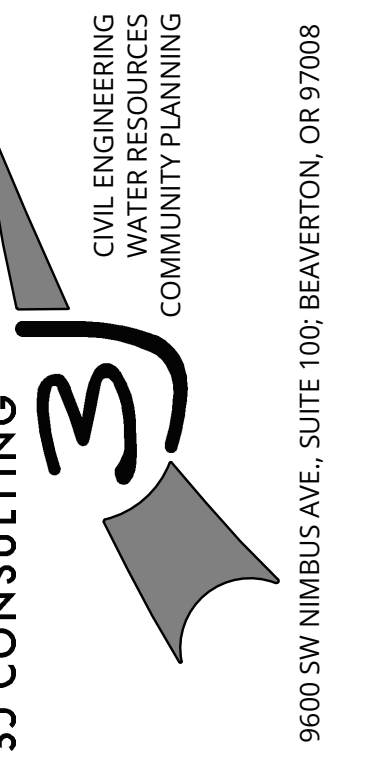
PROPERTY LINE

INTERSTATE I-5



PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS

DEMOLITION PLAN  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062



PROJECT INFORMATION  
3J PROJECT # | 22791  
TAX LOT(S) | 25125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**C200**

**LEGEND**

- PROPERTY LINE
- PROPOSED SILT FENCING
- PROPOSED TREE PROTECTION FENCING
- PROPOSED HIGH VISIBILITY FENCING
- PROPOSED CONSTRUCTION ENTRANCE
- PROPOSED PLASTIC SHEETING
- PROPOSED INLET PROTECTION
- PROPOSED SURFACE RUN-OFF FLOW ARROW
- EXISTING SURFACE RUN-OFF FLOW ARROW

**KEY NOTES**

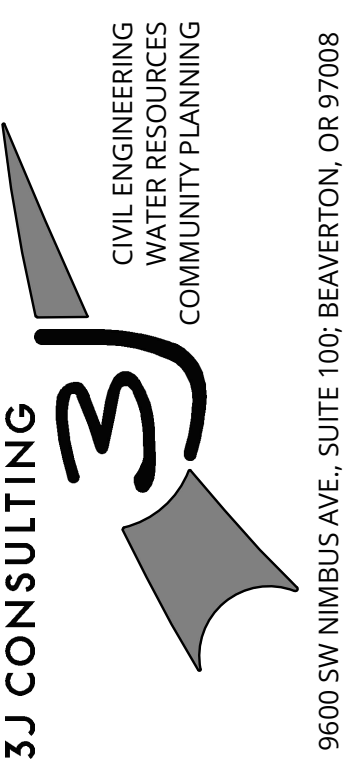
- 1 CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PER DETAIL ON SHEET C310. MAINTAIN THROUGHOUT CONSTRUCTION AS NEEDED.
- 2 INSTALL SEDIMENT FENCING PER DETAIL ON SHEET C310. MAINTAIN THROUGHOUT CONSTRUCTION.
- 3 INSTALL INLET PROTECTION PER DETAIL ON SHEET C310. MAINTAIN THROUGHOUT CONSTRUCTION.
- 4 INSTALL HIGH VISIBILITY ORANGE CONSTRUCTION FENCING. MAINTAIN THROUGHOUT CONSTRUCTION.
- 5 INSTALL TREE PROTECTION FENCING PER DETAIL ON SHEET C310. MAINTAIN THROUGHOUT CONSTRUCTION. SEE EROSION CONTROL NOTE 3.
- 6 STOCKPILE AREA. PROTECT WITH PLASTIC SHEETING PER DETAIL ON SHEET C310.



PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS

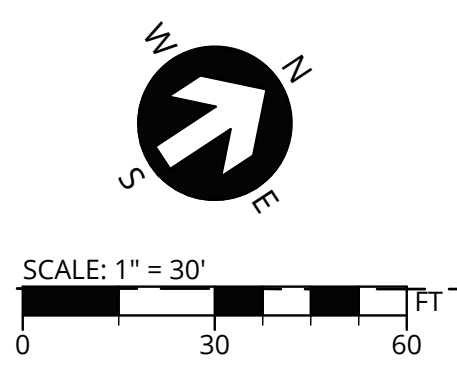
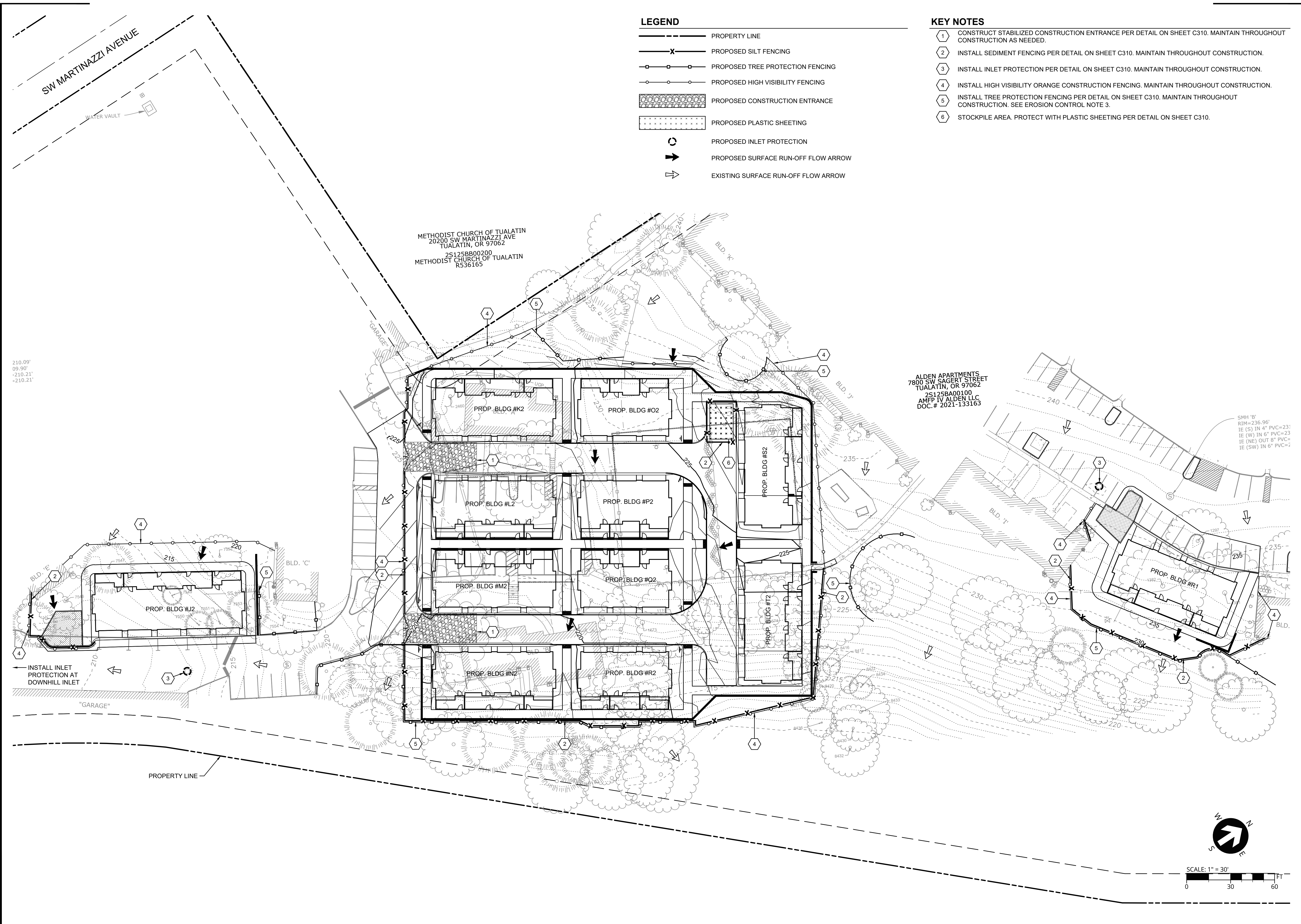
**EROSION AND SEDIMENT CONTROL PLAN**  
**ALDEN APARTMENTS**

7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062



PROJECT INFORMATION  
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

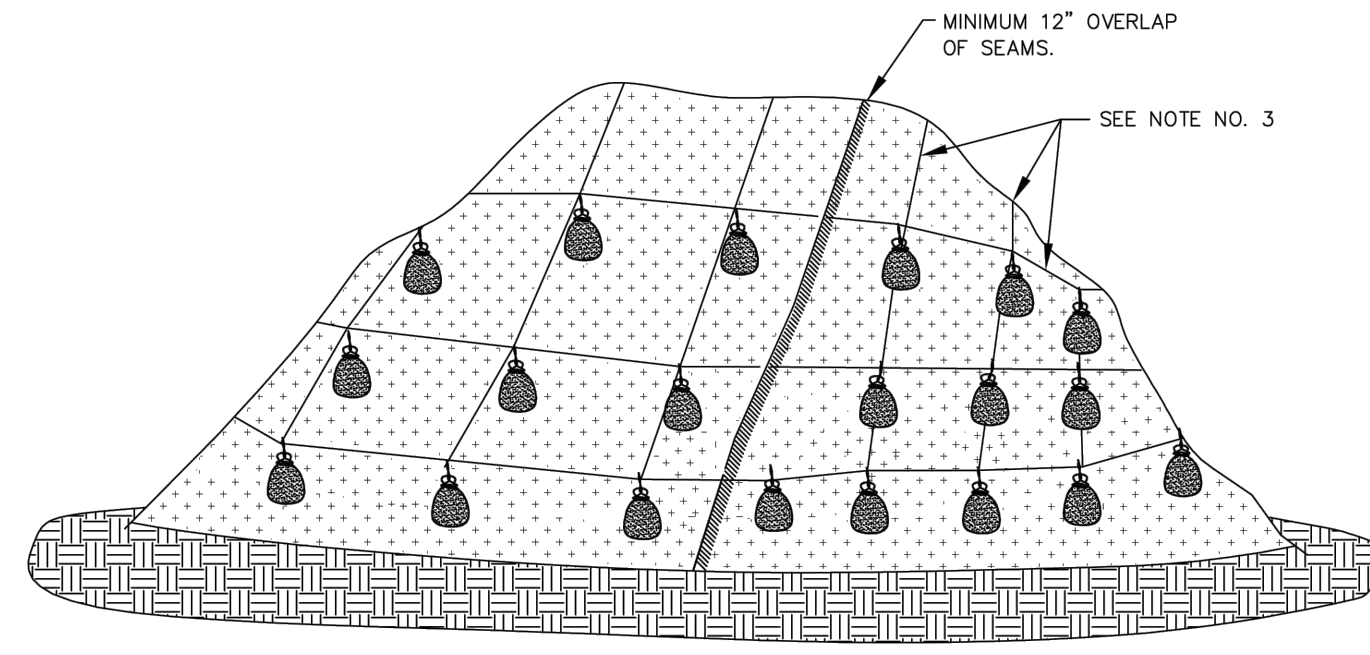
SHEET NUMBER  
**C300**



P:\22791-ALDEN APARTMENTS\CAD\SHETS\DD\C300 - ESC PLAN.DWG

P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DDC310 - ESC DETAILS.DWG

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



PLASTIC SHEETING

NOTES:

1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
2. PERIMETER SEDIMENT CONTROL BMP TO BE INSTALLED A MINIMUM OF 3' FROM TOE OF STOCKPILE
3. COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR APPROVED EQUAL ON ROPES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.
4. PLASTIC TO EXTEND MINIMUM 1' BEYOND TOE OF SLOPE.
5. AS APPROPRIATE, BMP'S SHALL BE INSTALLED TO CONVEY WATER DISCHARGE FROM STOCKPILE AREAS.

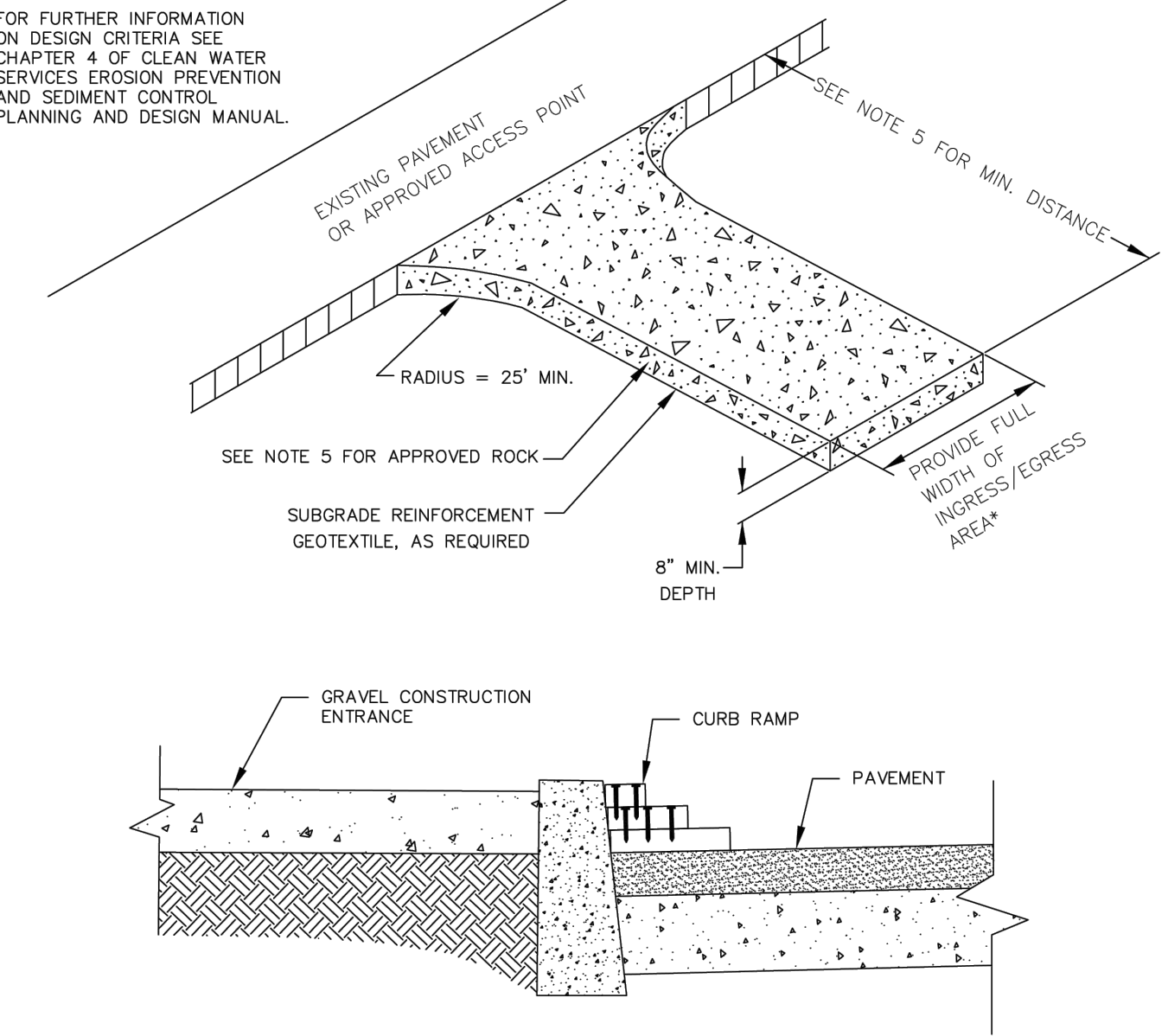
PLASTIC SHEETING

DRAWING NO. 810

REVISED 10-31-19



FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.



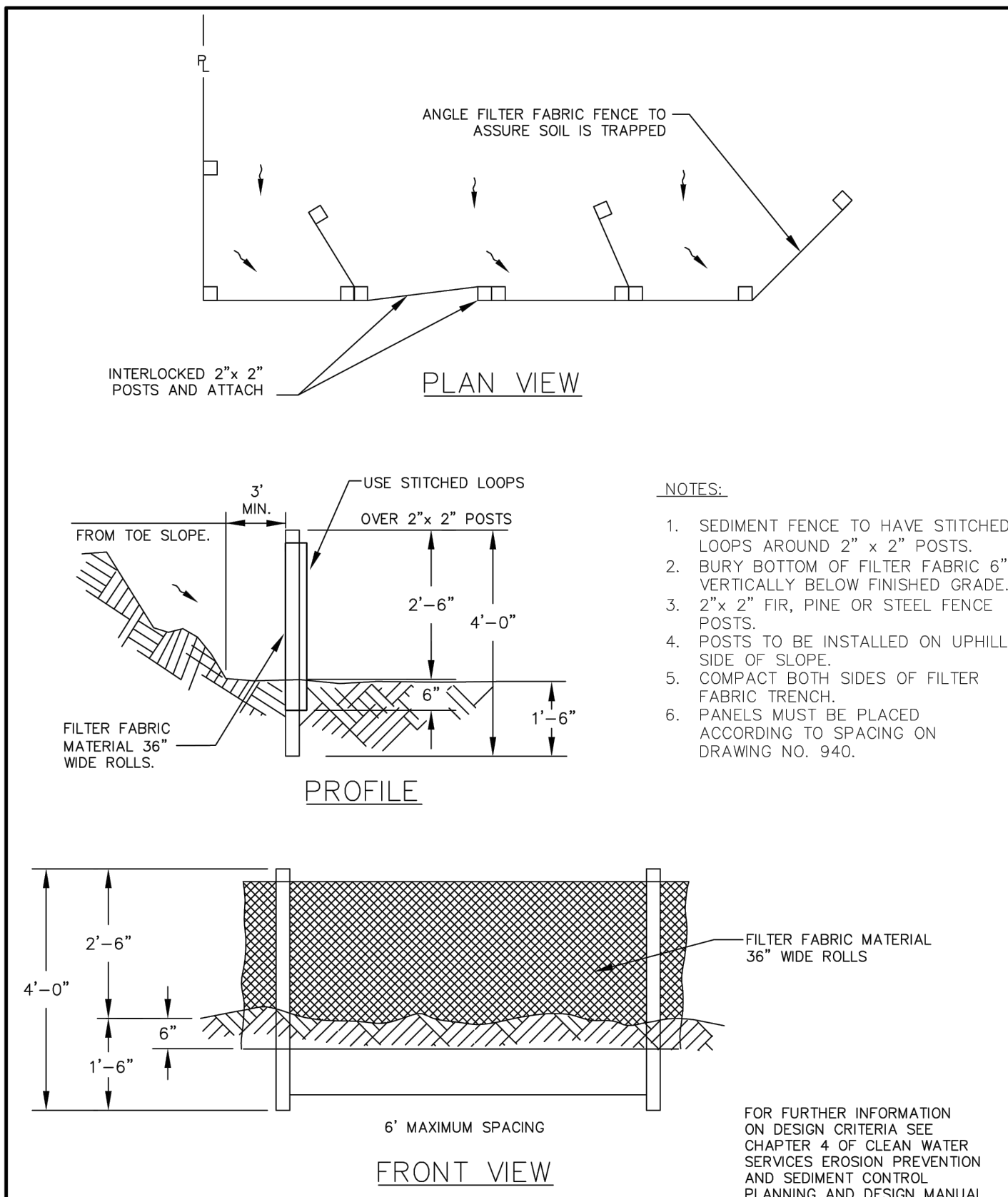
NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. WHERE RUNOFF CONTAINING SEDIMENT LADEN WATER IS LEAVING THE SITE VIA THE CONSTRUCTION ENTRANCE, OTHER MEASURES SHALL BE IMPLEMENTED TO DIVERT RUNOFF THROUGH AN APPROVED FILTERING SYSTEM.
5. DIMENSIONS  
SINGLE FAMILY  
20' LONG BY 20' WIDE 8" DEEP OF 3/4" MINUS CLEAN ROCK.  
COMMERCIAL/SITE DEVELOPMENT  
50' LONG BY 20' WIDE 3-6" CLEAN ROCK, GOVERNING AUTHORITY MAY REQUIRE GEOTEXTILE FABRIC TO PREVENT SUB-SOIL PUMPING.

CONSTRUCTION ENTRANCE

DRAWING NO. 855

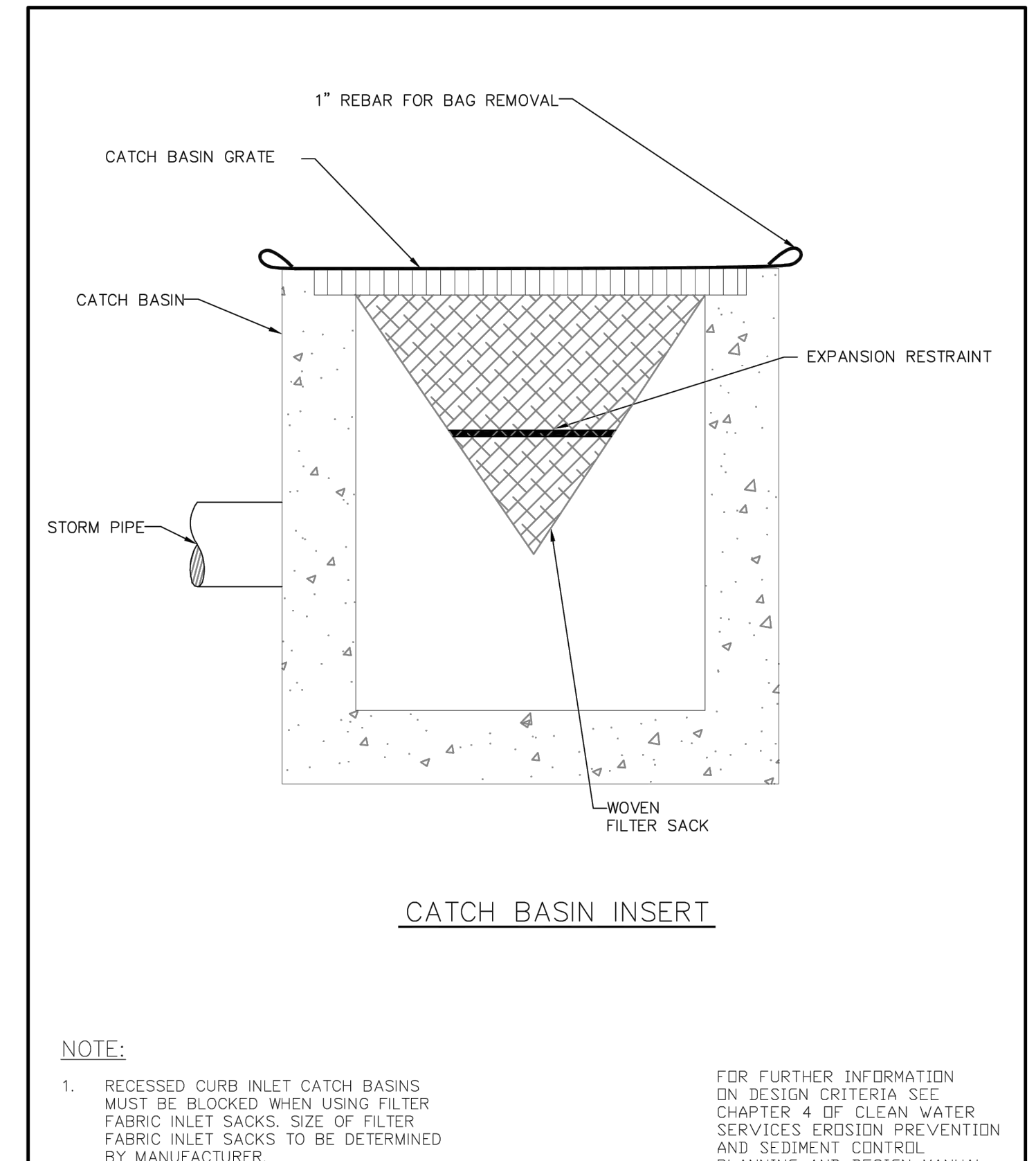
REVISED 10-31-19



SEDIMENT FENCE

DRAWING NO. 875

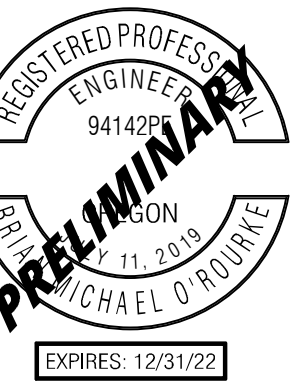
REVISED 10-31-19



INLET PROTECTION TYPE 5

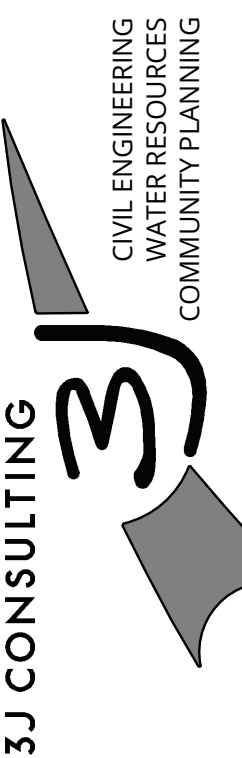
DRAWING NO. 920

REVISED 10-31-19



PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS

EROSION AND SEDIMENT CONTROL DETAILS  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062



PROJECT INFORMATION  
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**C310**



PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS

UTILITY PLAN  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062

3J CONSULTING  
CIVIL ENGINEERING  
WATER RESOURCES  
COMMUNITY PLANNING  
9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION  
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**C400**

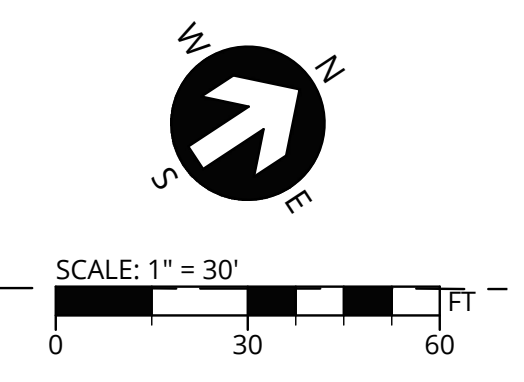
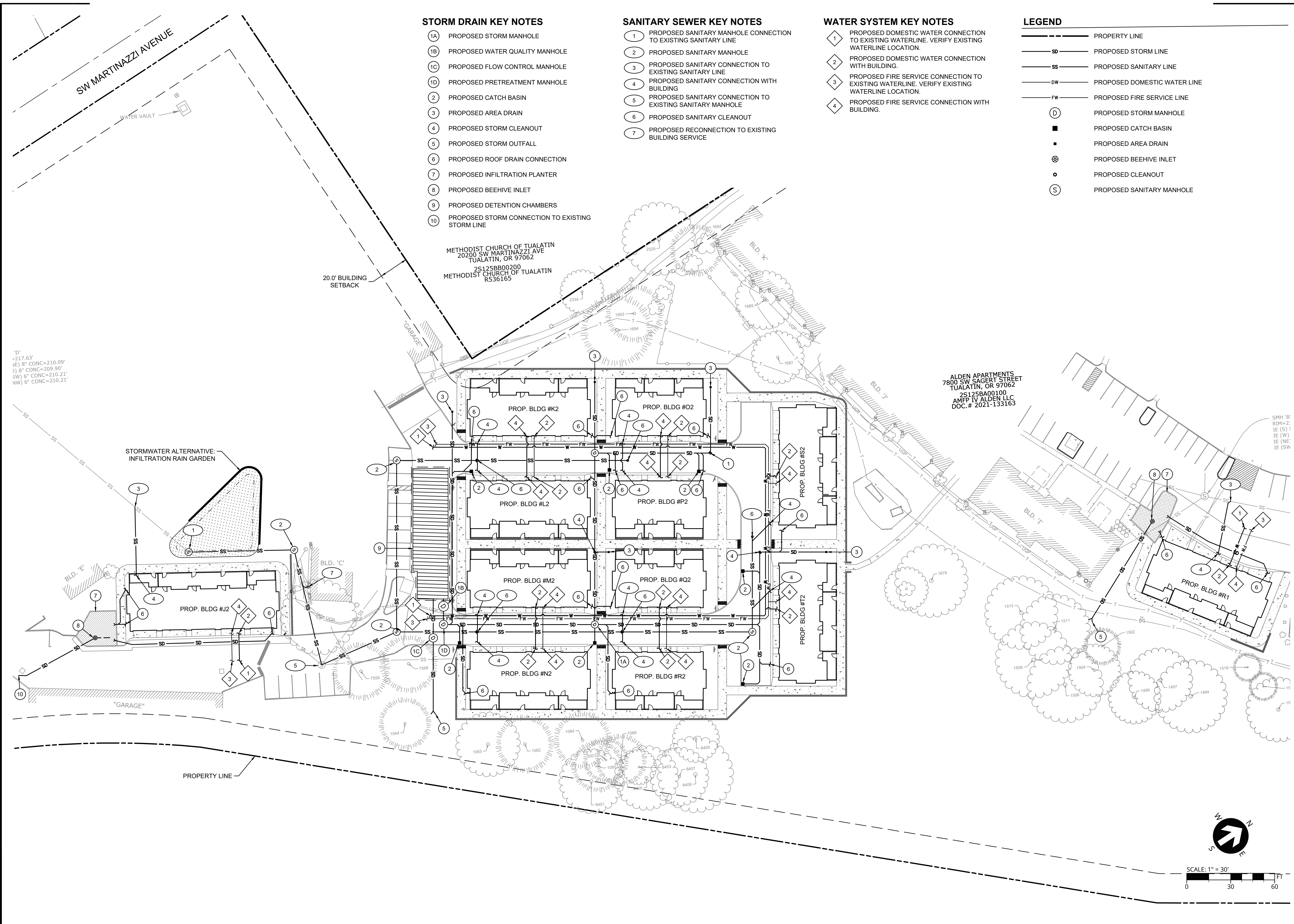
**LEGEND**

|  |                              |
|--|------------------------------|
|  | PROPERTY LINE                |
|  | PROPOSED STORM LINE          |
|  | PROPOSED SANITARY LINE       |
|  | PROPOSED DOMESTIC WATER LINE |
|  | PROPOSED FIRE SERVICE LINE   |
|  | PROPOSED STORM MANHOLE       |
|  | PROPOSED CATCH BASIN         |
|  | PROPOSED BEEHIVE INLET       |
|  | PROPOSED CLEANOUT            |
|  | PROPOSED SANITARY MANHOLE    |

- WATER SYSTEM KEY NOTES**
- 1 PROPOSED DOMESTIC WATER CONNECTION TO EXISTING WATERLINE. VERIFY EXISTING WATERLINE LOCATION.
  - 2 PROPOSED DOMESTIC WATER CONNECTION WITH BUILDING.
  - 3 PROPOSED FIRE SERVICE CONNECTION TO EXISTING WATERLINE. VERIFY EXISTING WATERLINE LOCATION.
  - 4 PROPOSED FIRE SERVICE CONNECTION WITH BUILDING.

- SANITARY SEWER KEY NOTES**
- 1 PROPOSED SANITARY MANHOLE CONNECTION TO EXISTING SANITARY LINE
  - 2 PROPOSED SANITARY MANHOLE
  - 3 PROPOSED SANITARY CONNECTION TO EXISTING SANITARY LINE
  - 4 PROPOSED SANITARY CONNECTION WITH BUILDING
  - 5 PROPOSED SANITARY CONNECTION TO EXISTING SANITARY MANHOLE
  - 6 PROPOSED SANITARY CLEANOUT
  - 7 PROPOSED RECONNECTION TO EXISTING BUILDING SERVICE

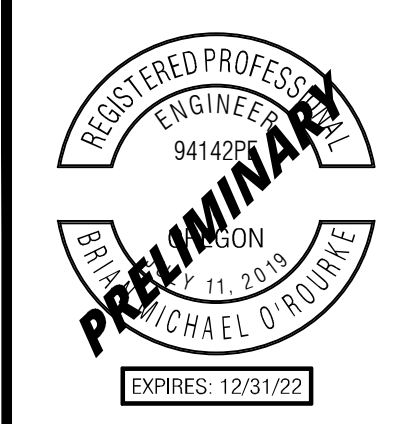
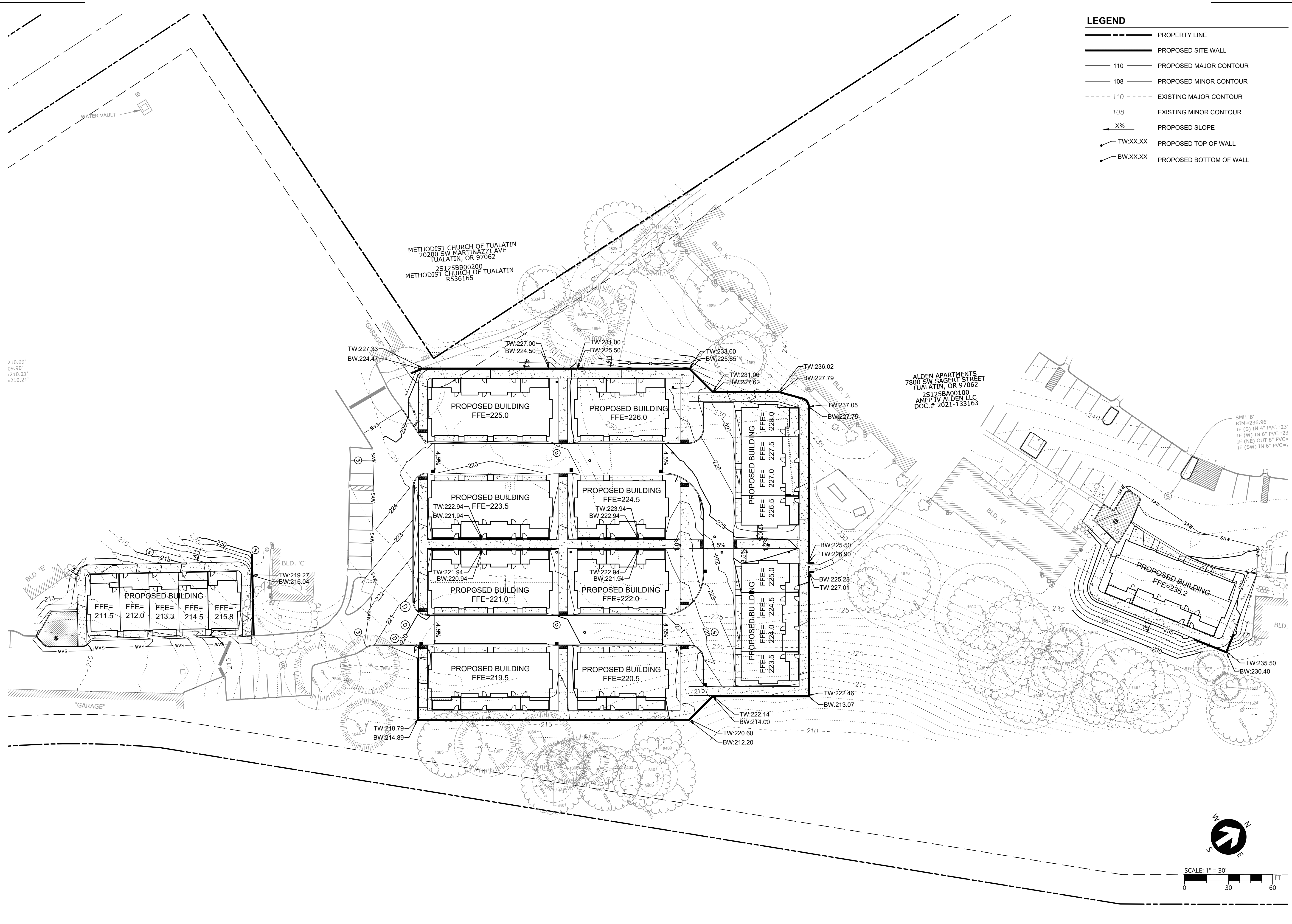
- STORM DRAIN KEY NOTES**
- 1A PROPOSED STORM MANHOLE
  - 1B PROPOSED WATER QUALITY MANHOLE
  - 1C PROPOSED FLOW CONTROL MANHOLE
  - 1D PROPOSED PRETREATMENT MANHOLE
  - 2 PROPOSED CATCH BASIN
  - 3 PROPOSED AREA DRAIN
  - 4 PROPOSED STORM CLEANOUT
  - 5 PROPOSED STORM OUTFALL
  - 6 PROPOSED ROOF DRAIN CONNECTION
  - 7 PROPOSED INFILTRATION PLANTER
  - 8 PROPOSED BEEHIVE INLET
  - 9 PROPOSED DETENTION CHAMBERS
  - 10 PROPOSED STORM CONNECTION TO EXISTING STORM LINE



P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DDIC400 - UTILITY PLAN.DWG

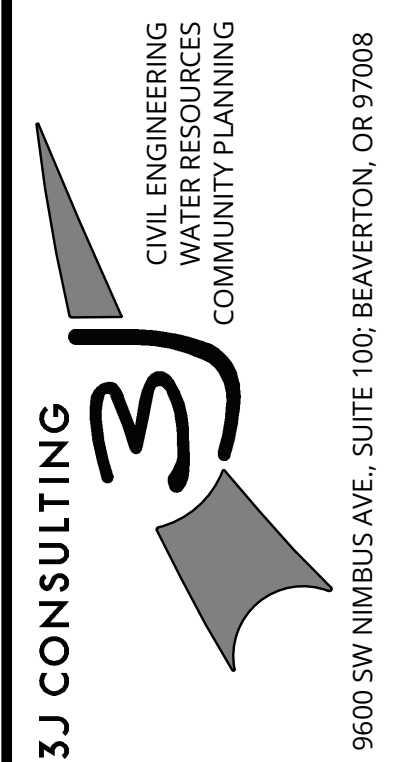


P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DD\C500 - GRADING PLAN.DWG



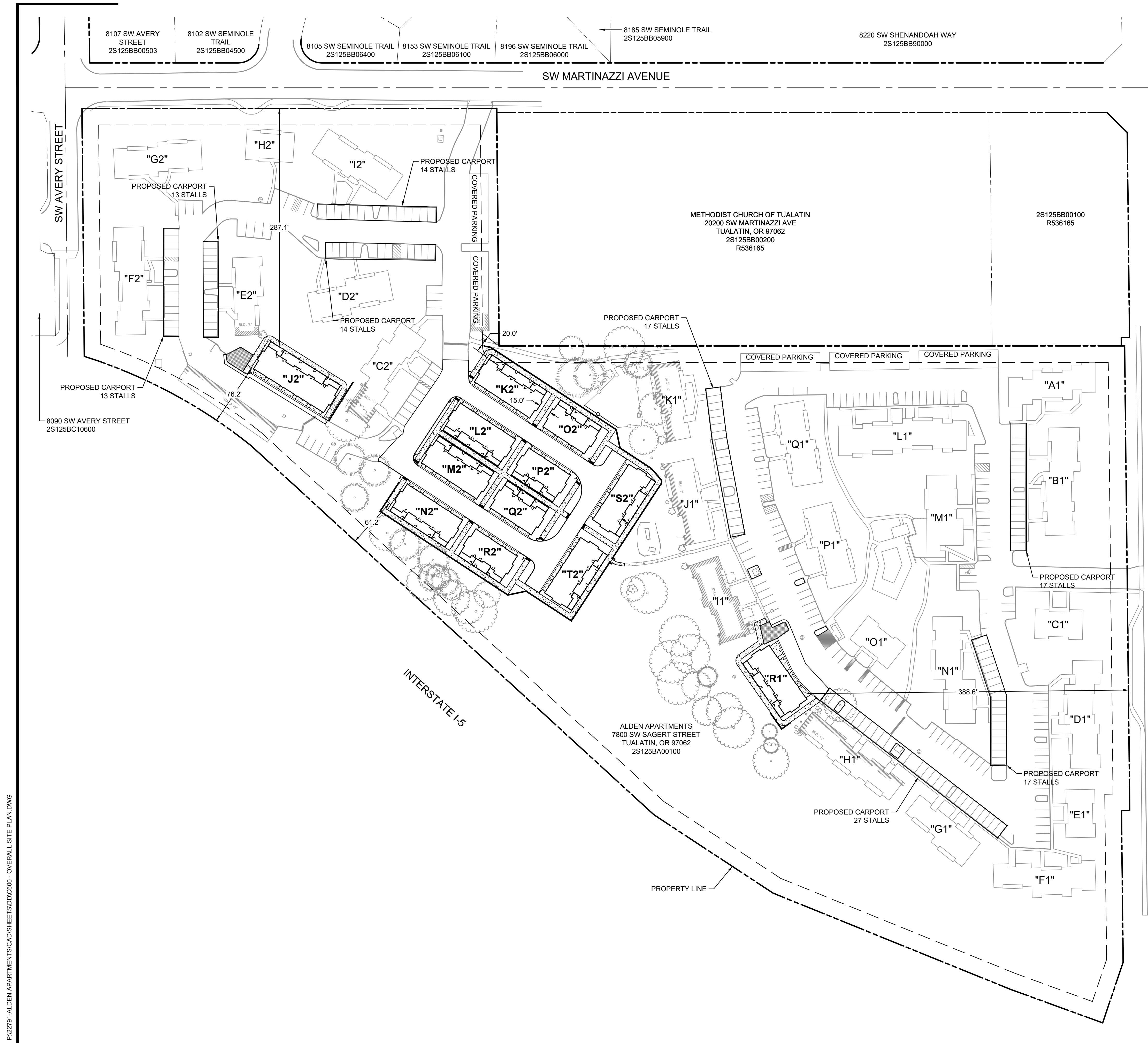
PUBLISH DATE  
**09/01/2022**  
ISSUED FOR  
**LAND USE**  
REVISIONS

**GRADING PLAN**  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062



**PROJECT INFORMATION**  
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

**SHEET NUMBER**  
**C500**



**SITE INFORMATION**

**SITE ADDRESS** 7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE TUALATIN, OREGON 97062

**TAX LOT** 2S125BA00100

**JURISDICTION** CITY OF TUALATIN

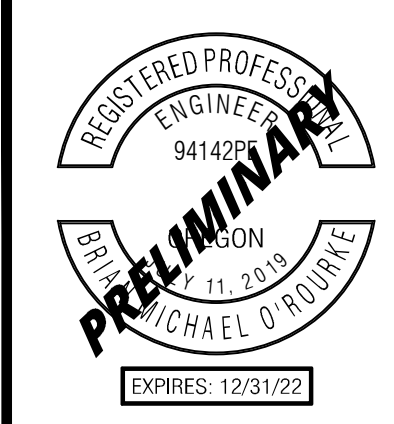
**FLOOD HAZARD** MAP NUMBERS: 41067C0607E ZONE X (UNSHADED)

**ZONING** EXISTING = RMH  
PROPOSED = RMH

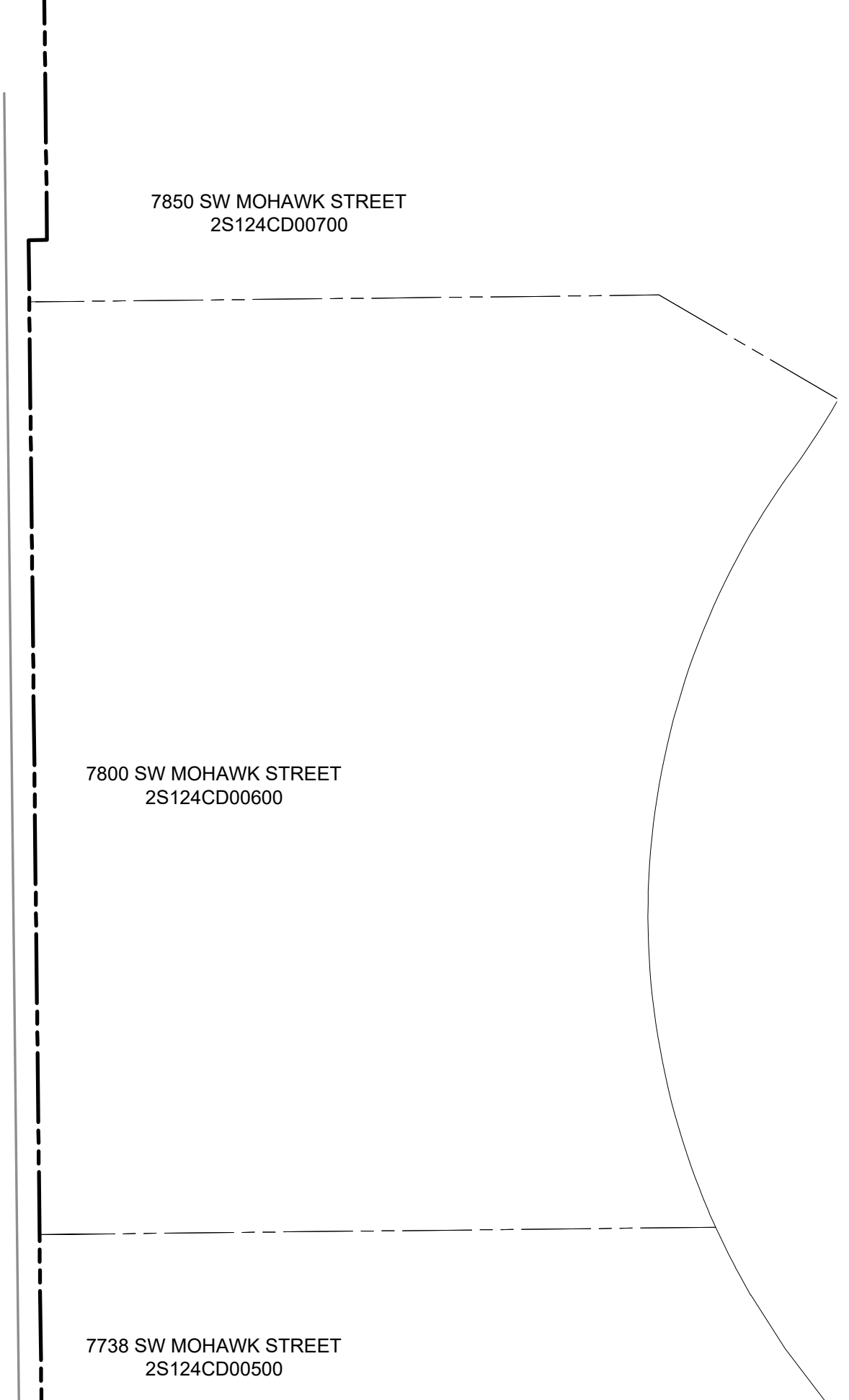
**GROSS SITE AREA** 16.74 ACRES

**BUILDING STANDARDS**  
TUALATIN MUNICIPAL CODE (TMC) CHAPTER 42

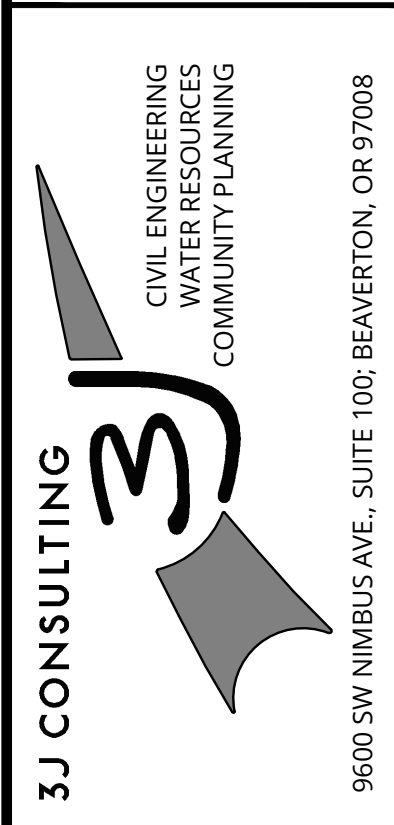
|                                    | REQUIRED | PROPOSED |
|------------------------------------|----------|----------|
| FRONT SETBACK                      | 35'      | 281'     |
| SIDE AND REAR SETBACK              | 20'      | 20'      |
| MINIMUM DISTANCE BETWEEN BUILDINGS | 10'      | 15'      |



PUBLISH DATE 09/01/2022  
ISSUED FOR LAND USE REVISIONS

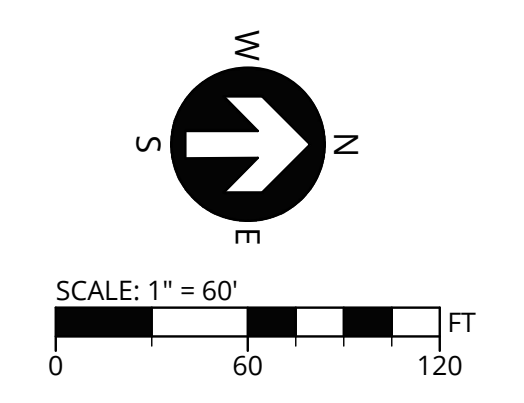


**OVERALL SITE PLAN**  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE TUALATIN, OR 97062



**PROJECT INFORMATION**  
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**C600**



P:\22791-ALDEN APARTMENTS\CAD\SHETS\DD\C600 - OVERALL SITE PLAN.DWG

**TYPICAL PAVEMENT SECTION**

PAVEMENT SECTIONS REFERENCED FROM PROJECT GEOTECHNICAL REPORT

|  | ASPHALT THICKNESS (IN) | CRUSHED ROCK BASE THICKNESS (IN) |
|--|------------------------|----------------------------------|
| MINIMUM DRY-WEATHER PAVEMENT SECTION: PRIVATE (20 YEARS) | 3                      | 12                               |

**LEGEND**

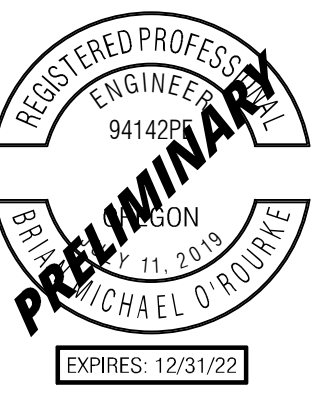
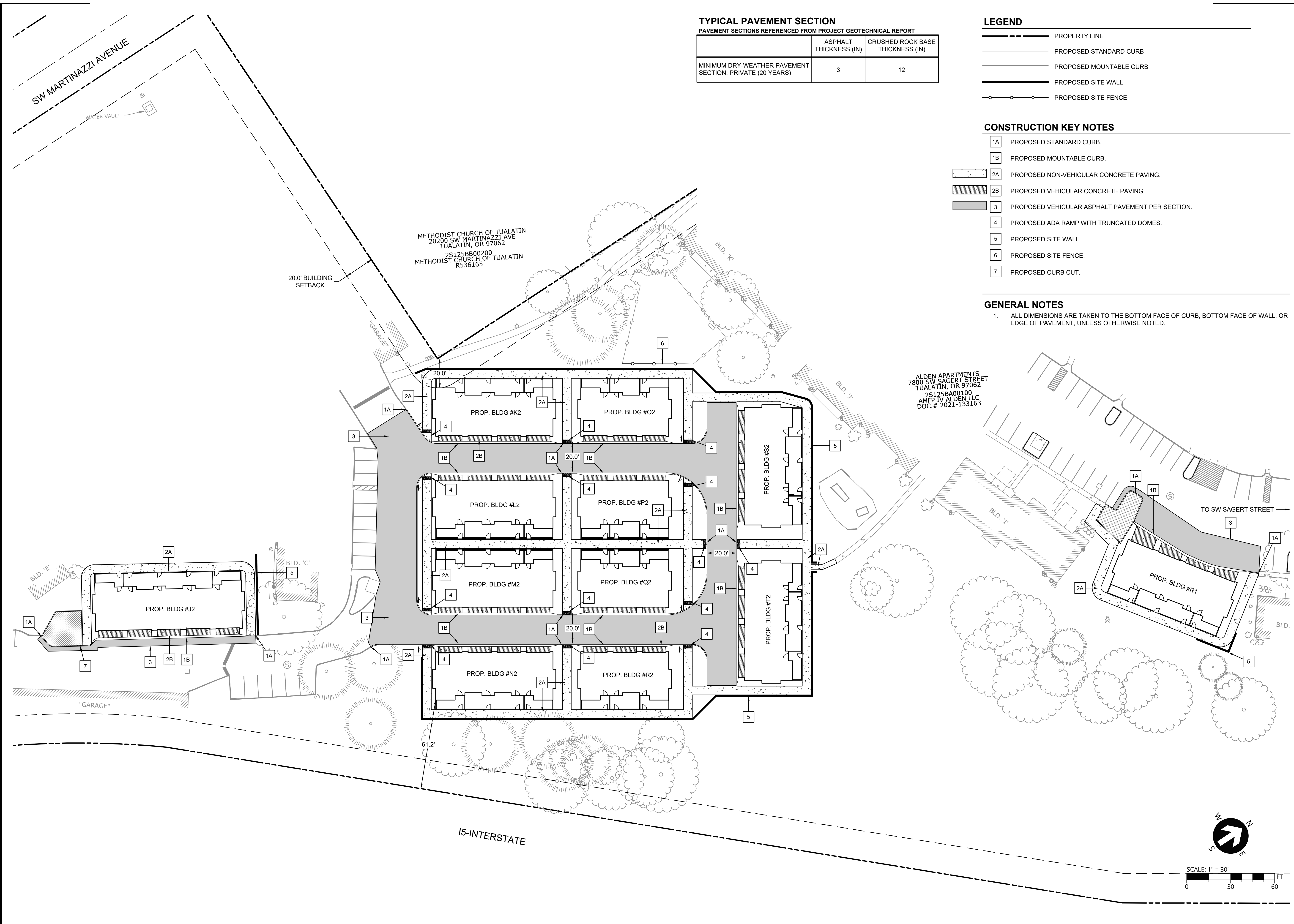
- PROPERTY LINE
- PROPOSED STANDARD CURB
- PROPOSED MOUNTABLE CURB
- PROPOSED SITE WALL
- PROPOSED SITE FENCE

**CONSTRUCTION KEY NOTES**

- 1A PROPOSED STANDARD CURB.
- 1B PROPOSED MOUNTABLE CURB.
- 2A PROPOSED NON-VEHICULAR CONCRETE PAVING.
- 2B PROPOSED VEHICULAR CONCRETE PAVING
- 3 PROPOSED VEHICULAR ASPHALT PAVEMENT PER SECTION.
- 4 PROPOSED ADA RAMP WITH TRUNCATED DOMES.
- 5 PROPOSED SITE WALL.
- 6 PROPOSED SITE FENCE.
- 7 PROPOSED CURB CUT.

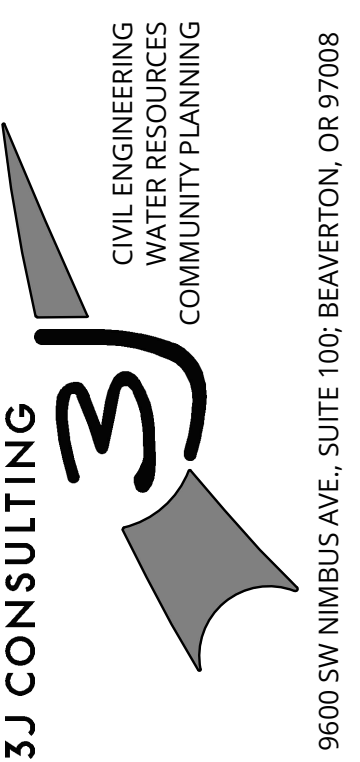
**GENERAL NOTES**

1. ALL DIMENSIONS ARE TAKEN TO THE BOTTOM FACE OF CURB, BOTTOM FACE OF WALL, OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.



PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS

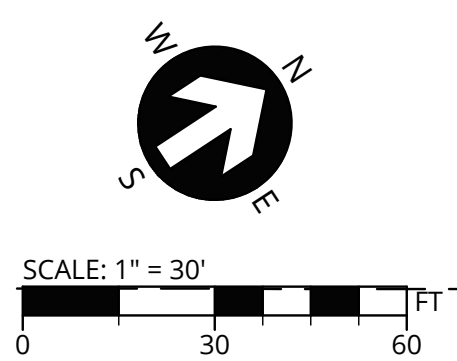
**SITE PLAN**  
**ALDEN APARTMENTS**  
 7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
 TUALATIN, OR 97062



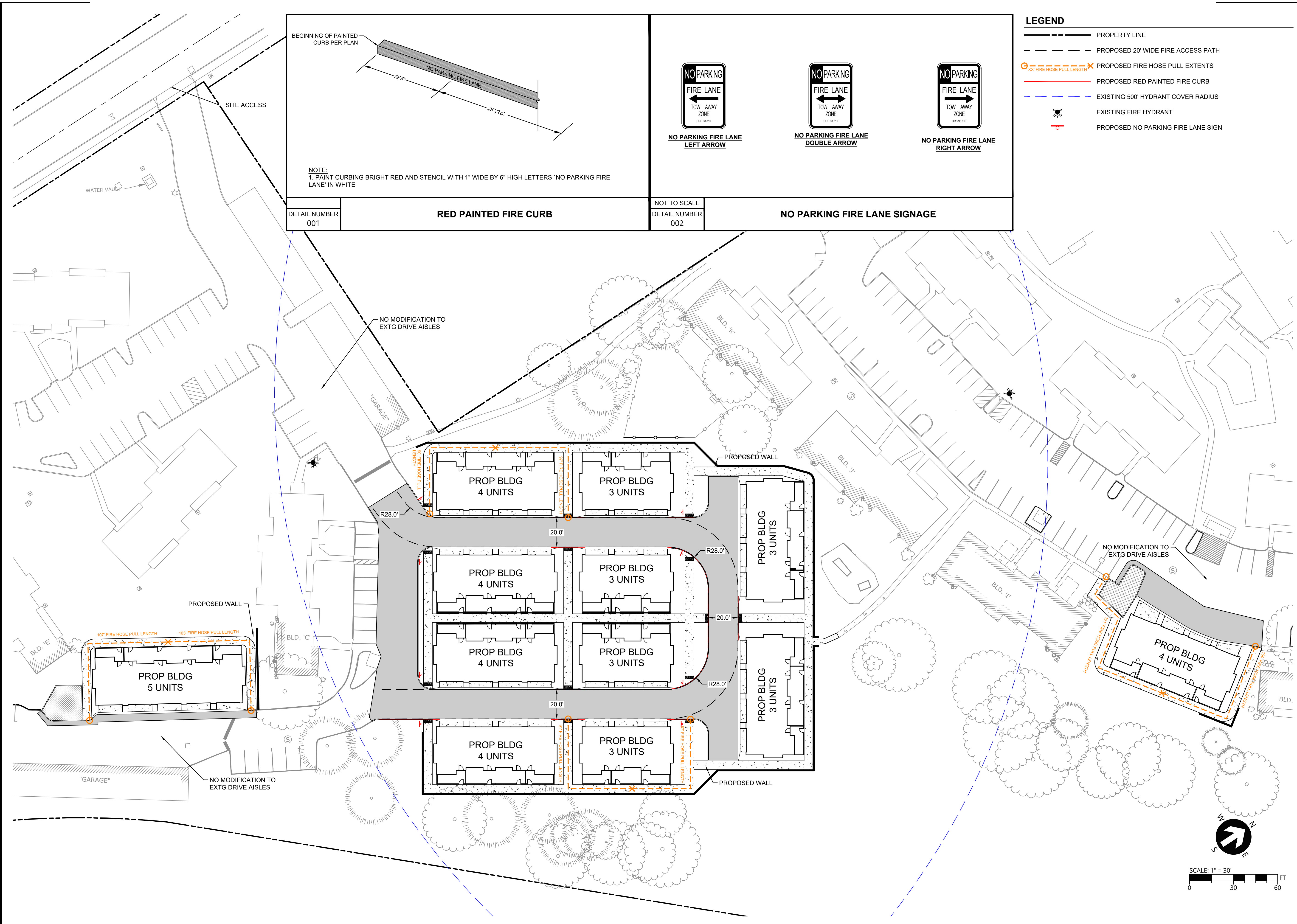
PROJECT INFORMATION  
 3J PROJECT # | 22791  
 TAX LOT(S) | 2S125BA00100  
 LAND USE # | 22-0004  
 DESIGNED BY | KMK  
 CHECKED BY | BMO

SHEET NUMBER  
**C601**

P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DD\C601 - SITE PLAN.DWG



P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DDC700 - FIRE ACCESS PLAN.DWG

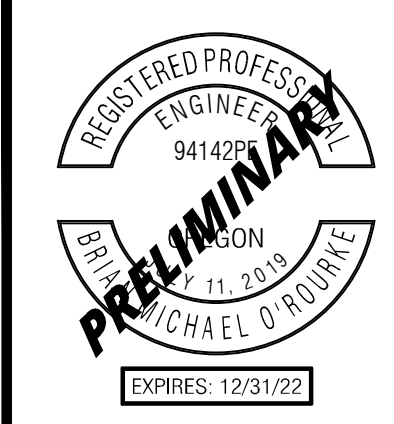


LEGEND

- PROPERTY LINE
- PROPOSED 20' WIDE FIRE ACCESS PATH
- PROPOSED FIRE HOSE PULL EXTENTS
- PROPOSED RED PAINTED FIRE CURB
- EXISTING 500' HYDRANT COVER RADIUS
- EXISTING FIRE HYDRANT
- PROPOSED NO PARKING FIRE LANE SIGN

NOTE:  
1. PAINT CURBING BRIGHT RED AND STENCIL WITH 1" WIDE BY 6" HIGH LETTERS 'NO PARKING FIRE LANE' IN WHITE

|                   |                       |              |                   |                              |
|-------------------|-----------------------|--------------|-------------------|------------------------------|
| DETAIL NUMBER 001 | RED PAINTED FIRE CURB | NOT TO SCALE | DETAIL NUMBER 002 | NO PARKING FIRE LANE SIGNAGE |
|-------------------|-----------------------|--------------|-------------------|------------------------------|



PUBLISH DATE  
09/01/2022

ISSUED FOR  
LAND USE

REVISIONS

**FIRE ACCESS PLAN**

**ALDEN APARTMENTS**

7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062

**3J CONSULTING**

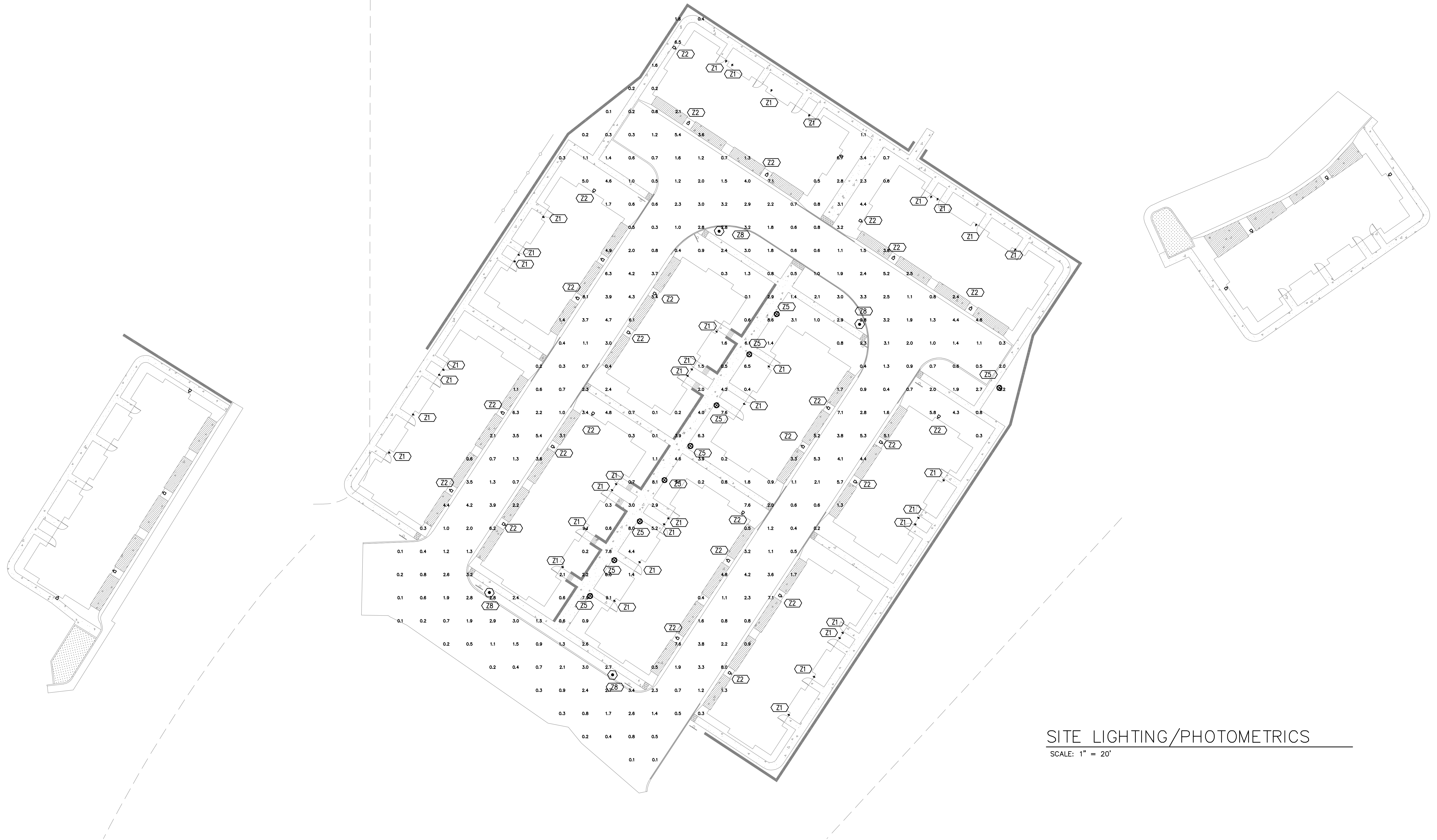
CIVIL ENGINEERING  
WATER RESOURCES  
COMMUNITY PLANNING

9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION

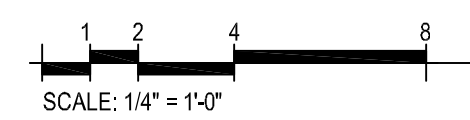
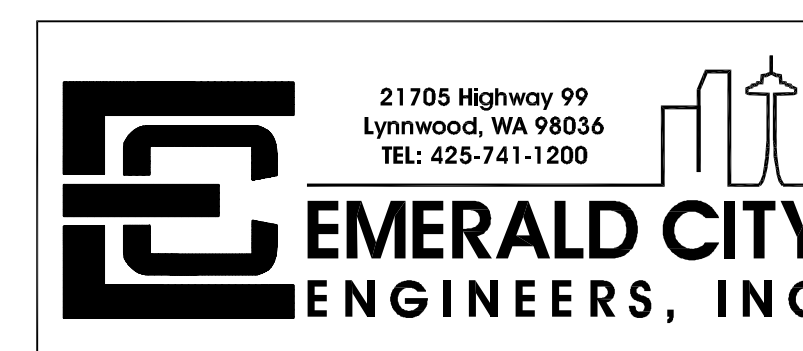
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**FS-1**



SITE LIGHTING/PHOTOMETRICS  
SCALE: 1" = 20'

ALDEN APARTMENTS - TUALATIN, OREGON  
COLRICH COMMUNITIES



JOB NO. 0727-013  
DATE 12/08/17

E01

### EL CAPITAN (MR16 LAMP)

CATALOG NUMBER LOGIC  
Example B- EC-1MR-20-30-1MRP-8-11-0

**MATERIAL**  
EC- El Capitan

**SERIES**  
EC- El Capitan

**SOURCE**  
MR- MR16 Lamp

**LAMP TYPE**  
a- MR16 HALOGEN LAMP (Powered by Others)  
MR16 LED (This fixture includes lamp number selector)\*

**FINISH** (See page 2 for full-color swatches)  
Standard Finishes (BZ, BL, BR, BU, BUW, BUWV, GR, GRV, VGR)  
Premium Finish (AMG, AMG, AGM, BGM, BGE, BPC, CAP, CMG, CN, CRN, HA, HD, MDG, NBR, ODR, SMO, SMO, SMO, TR, WGS, WRG)

**Also available in: RAL Finishes**  
Basic Finishes (BAC, FOL, M1)

**LENS TYPE**  
9- Clear (standard)  
10- Spaced  
12- Soft Focus  
13- ReflexClear

**SHIELDING**  
11- Non-polluting luminaire

**CAP STYLE**  
A- .80"  
B- .50"  
C- Flush  
D- .60" Lens (Requires Exterior use only)  
E- .50" Lens (Requires Interior use only)  
F- .50" with Flush

**B-K LIGHTING** MADE IN THE USA

**FIXTURE Z1**  
SCALE: NONE

### Invue

**DESCRIPTION**  
The geometric form of MESA laminates allows it to adapt to either contemporary or traditional architectural settings. Available in single or twin pole mount configurations with optional wall mounting capability, the MESA luminaires provide options for harmonized site lighting whether at the driveway or in the parking lot. UL-Listed for use in wet locations.

**CATALOG NUMBER LOGIC**  
Example M- EC-1MR-20-30-1MRP-8-11-0

**MATERIAL**  
EC- El Capitan

**SERIES**  
EC- El Capitan

**SOURCE**  
MR- MR16 Lamp

**LAMP TYPE**  
a- MR16 HALOGEN LAMP (Powered by Others)  
MR16 LED (This fixture includes lamp number selector)\*

**FINISH** (See page 2 for full-color swatches)  
Standard Finishes (BZ, BL, BR, BU, BUW, BUWV, GR, GRV, VGR)  
Premium Finish (AMG, AMG, AGM, BGM, BGE, BPC, CAP, CMG, CN, CRN, HA, HD, MDG, NBR, ODR, SMO, SMO, SMO, TR, WGS, WRG)

**Also available in: RAL Finishes**  
Basic Finishes (BAC, FOL, M1)

**LENS TYPE**  
9- Clear (standard)  
10- Spaced  
12- Soft Focus  
13- ReflexClear

**SHIELDING**  
11- Non-polluting luminaire

**CAP STYLE**  
A- .80"  
B- .50"  
C- Flush  
D- .60" Lens (Requires Exterior use only)  
E- .50" Lens (Requires Interior use only)  
F- .50" with Flush

**B-K LIGHTING** MADE IN THE USA

**FIXTURE Z8**  
SCALE: NONE

### WDGE2 LED Architectural Wall Scope

**Depth (H):** 1 1/2"  
**Depth (D):** 1 1/2"  
**Height:** 9"  
**Weight:** 11.5 lbs (without options)

**Specifications**  
Depth (H): 1 1/2"  
Depth (D): 1 1/2"  
Height: 9"  
Weight: 11.5 lbs (without options)

**Introduction**  
The WDGE2 LED family is designed to meet specifiers every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with rugged AIR wireless controls, the WDGE2 family provides additional energy savings and code compliance. WDGE2 delivers up to 6,000 lumens with a soft, non-polluted light source, creating a visually comfortable environment. When combined with multiple energy and emergency battery backup options, including an 18M cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian-scale applications in any environment.

**Ordering Information**

| Series  | Standard (DL, PT) | Color | Watt  | Height | Depth | Weight |
|---------|-------------------|-------|-------|--------|-------|--------|
| WDGE2L1 | 4W                | —     | 1,200 | 2.88   | 1.26  | —      |
| WDGE2L2 | 10W               | WW    | 2,400 | 2.88   | 1.26  | 4.58   |
| WDGE2L3 | 10W               | WW    | 2,400 | 4.32   | 1.26  | 6.00   |
| WDGE2L4 | —                 | —     | 6,000 | 4.32   | 1.26  | 7.48   |

**Ordering Information**

| Series  | Standard (DL, PT) | Color | Watt | Height | Depth | Weight |
|---------|-------------------|-------|------|--------|-------|--------|
| WDGE2P1 | F1                | F11W  | 21W  | 2.70   | 0.60  | —      |
| WDGE2P2 | F2                | F23W  | 30W  | 3.00   | 0.60  | —      |
| WDGE2P3 | F3                | F36W  | 36W  | 3.30   | 0.60  | —      |
| WDGE2P4 | F4                | F48W  | 48W  | 3.60   | 0.60  | —      |

**Accessories**

**LITHONIA LIGHTING**

**FIXTURE Z2**  
SCALE: NONE

### KBA8 LED LED Specification Bollard

**Specifications**  
Height: 42"  
Weight: 27 lbs  
Lens: 4.75" dia

**Introduction**  
The KBA8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 150W metal-halide luminaires, the KBA8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

**Ordering Information**

| Series | Watt | Height | Weight |
|--------|------|--------|--------|
| KBA8L1 | 150W | 42"    | 27 lbs |

**Accessories**

**LITHONIA LIGHTING**

**FIXTURE Z5**  
SCALE: NONE

| CALLOUT | SYMBOL | DESCRIPTION  | LAMP              | BALLAST                    | MOUNTING                          | MODEL   | INPUT WATTS | VOLTS      | NOTES  |
|---------|--------|--|-------------------|----------------------------|-----------------------------------|---|-------------|------------|--|
| Z1      | *      | EXTERIOR WALL LIGHT, SMALL CYLINDER, 5" TALL, FULL CUTOFF, MEDIUM FLOOD, 4000K, ALUMINUM FINISH, TRANSFORMER LOCATED IN DEEP BOX | (1) 7W LED 4000K  | INTEGRAL XFMR IN DEEP JBOX | WALL                              | BK LIGHTING EL CAPITAN EC LED E66 MFL A9 12 11 B, TRe20 | 7           | 120V 1P 2W | EXTERIOR WALL. PROVIDE WITH 4" OCTAGON BOX, 1-1/2" DEEP WITH 1-1/2" BOX EXTENSION. LOCATE DRIVER WITHIN DEEP BOX |
| Z2      | ◻      | EXTERIOR WEDGE LIGHT, 11.5"W X 9"H X 7"D, FULL CUTOFF, FORWARD THROW   | (1) 15W LED 4000K | ELECTRONIC                 | WALL                              | LITHONIA WDGE2 LED P2 40K 90 CRI VF MVOLT DDBXD         | 15          | MULTIPLE   | EXTERIOR   |
| Z5      | ⊕      | EXTERIOR 42" TALL BOLLARD, SYMMETRIC DIST., FULL CUTOFF  | (1) 28W LED 4000K | ELECTRONIC                 | CEILING                           | LITHONIA KBA8 LED 16C 530 40K SY MVOLT                  | 28          | 120V 1P 2W | SITE, B1-U0-G0   |
| Z8      | ⊙      | PEDESTRIAN SCALE POLE LIGHT, FROSTED LENS, TYPE III DISTRIBUTION, FULL CUTOFF, 10' STEEL POLE                                    | (1) 48W LED 4000K | 0-10V DIM                  | 10' STEEL POLE WITH CONCRETE BASE | COOPER MESA MSA E02 LED E1 T3 DIM                       | 48          | 120V 1P 2W | SITE LIGHTING, PROVIDE WITH TUNING DIMMERS   |

TUALATIN MUNICIPAL CODE:  
TDC 6.3.055 (2)  
It uses and development may utilize exterior lighting, but the exterior lighting must be screened, baffled or directed away from residential planning districts

# ALDEN APARTMENTS - TUALATIN, OREGON

COLRICH COMMUNITIES

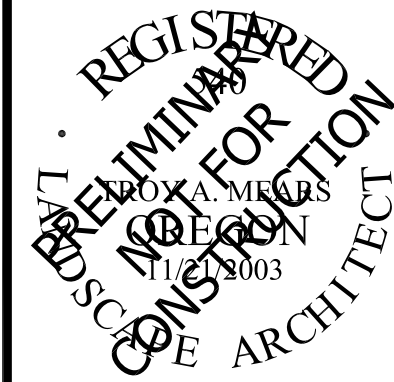
21705 Highway 99  
Lynnwood, WA 98036  
TEL: 425-741-1200

**EMERALD CITY ENGINEERS, INC**

1 2 4 8  
SCALE: 1/4" = 1'-0"

JOB NO. 0727-013  
DATE 12/08/17

**E02**



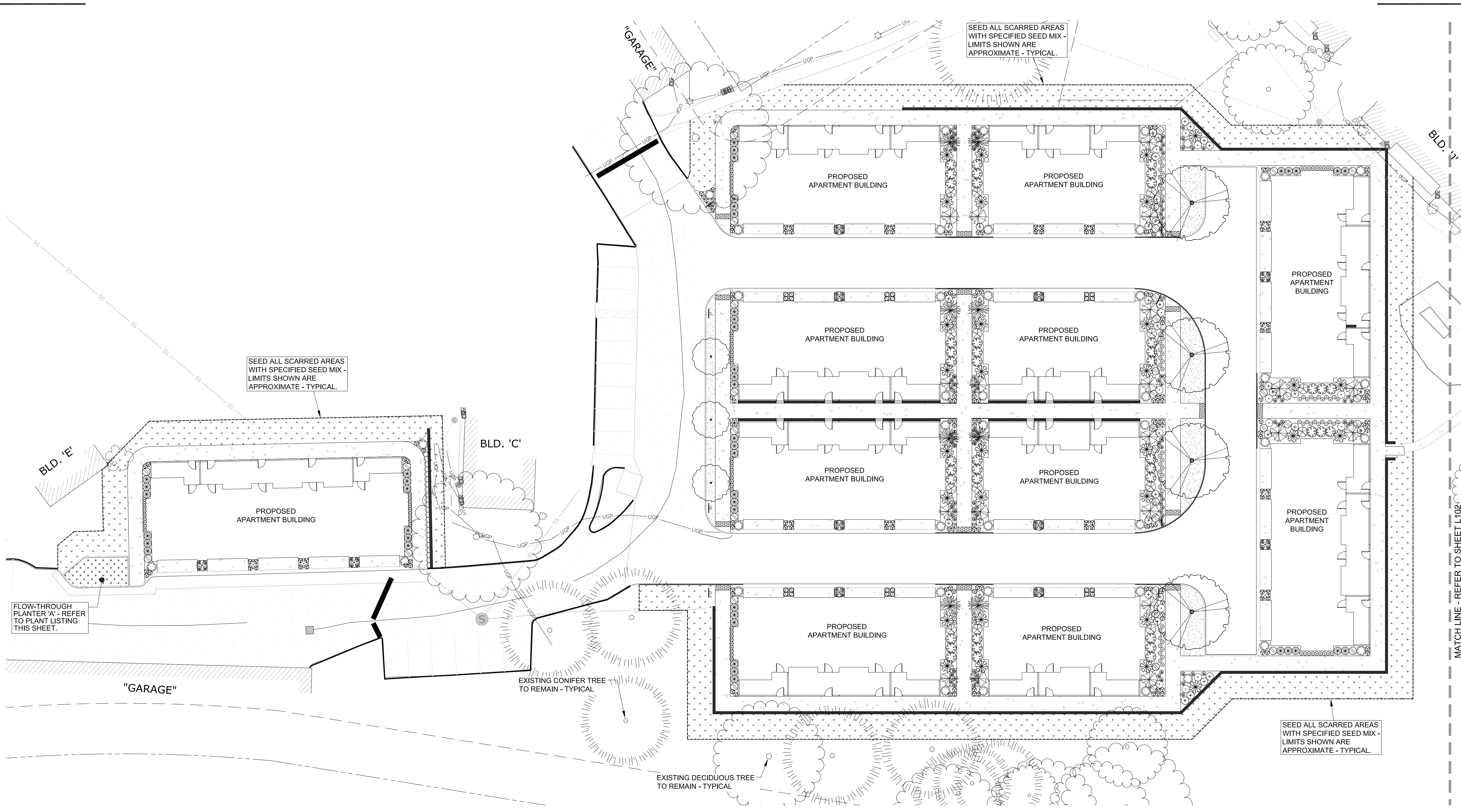
PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS  
10/10/2022

**PLANTING PLAN**  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062



PROJECT INFORMATION  
MDG PROJECT # | 2223  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | TAM  
CHECKED BY | TAM

SHEET NUMBER  
**L101**



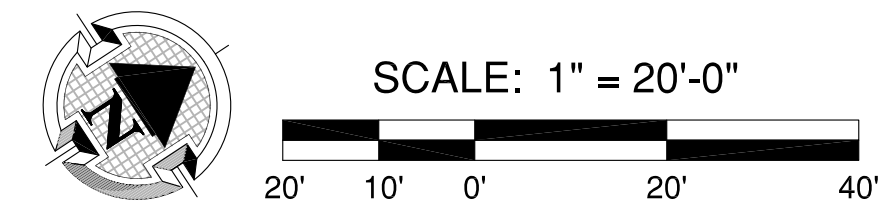
**PLANT LISTING FOR FLOW-THROUGH PLANTER**

| FLOW-THROUGH PLANTER 'A'        | Minimum Species Quantity | Plant Category | Zone  | Minimum Plant Height | Condition (size) | Wetland Indicator Status | Spacing Format |
|---------------------------------|--------------------------|----------------|-------|----------------------|------------------|--------------------------|----------------|
| TREATMENT AREA<br>253 sq. ft.   |                          |                |       |                      |                  |                          |                |
| Scientific Name<br>Common Name  |                          |                |       |                      |                  |                          |                |
| Carex obnupta<br>Slough Sedge   | 97                       | Herb           | Moist | 6"                   | 1/2 Gal.         | OBL                      | 1 / sq.ft.     |
| Carex deweyana<br>Dewey's Sedge | 97                       | Herb           | Dry   | 6"                   | 1/2 Gal.         | FAC                      | 1 / sq.ft.     |
| Juncus patens<br>Spreading Rush | 97                       | Herb           | Moist | 6"                   | 1/2 Gal.         | FACW                     | 1 / sq.ft.     |
| HERBACEOUS PLANT TOTAL:         | 291                      |                |       |                      |                  |                          |                |

**APPROXIMATE LANDSCAPE AREA**

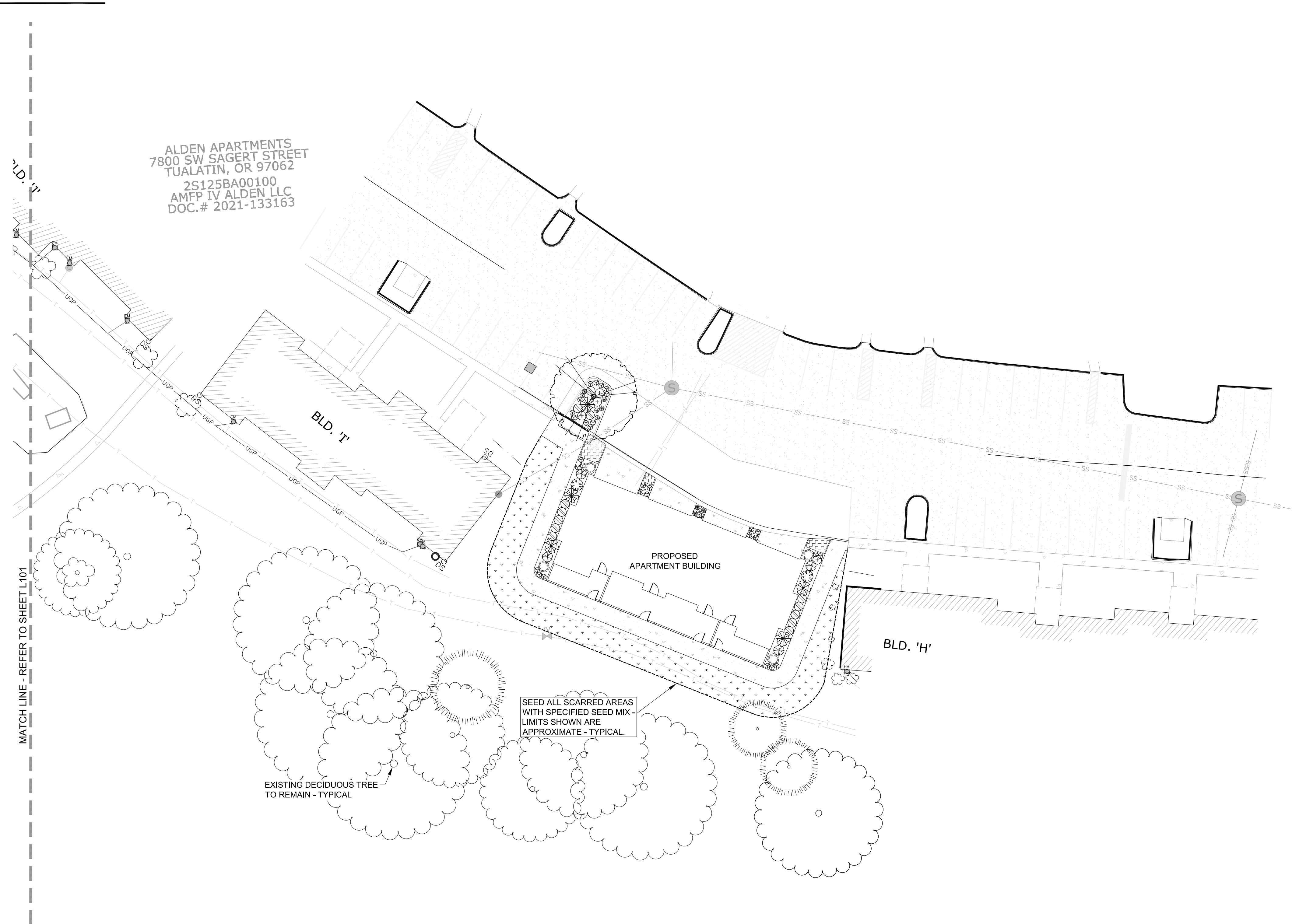
|                          |           |
|--------------------------|-----------|
| PLANTING BED AREA:       | 7,056 SF  |
| LAWN AREA:               | 1,405 SF  |
| LAWN AREA (RESTORATION): | 12,280 SF |
| WATER QUALITY PLANTER:   | 253 SF    |
| TOTAL LANDSCAPE AREA:    | 20,994 SF |

REFER TO SHEET L102 FOR PLANTING MATERIAL LISTING  
REFER TO SHEET L103 FOR PLANTING DETAILS AND NOTES



F:\MDG-1\FILE SYNC\DWGS\2022\3\JALDEN APTS\ALDENAPTS\_LA1.DWG

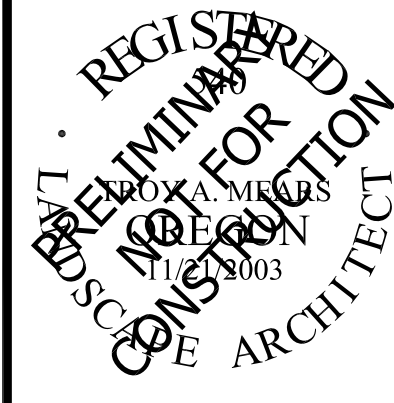
F:\MDG-1\FILE SYNC\DWGS\2023\ALDEN APTS\ALDEN APTS\_LA1.DWG



| PLANT MATERIAL LISTING: |   |          |              |           |                             |
|-------------------------|---|----------|--------------|-----------|-----------------------------|
| TREES                   |   | Quantity | Planted Size | Condition | Mature size                 |
| SYMBOL                  | Botanical name<br>Common Name   |          |              |           |                             |
|                         | Acer platanoides 'Crimson King'<br>Crimson King Maple                     | 5        | 1.5" Cal.    | B&B       | 30-40' tall,<br>20-40' wide |
|                         | Pinus flexilis 'Vanderwolf's Pyramid'<br>Vanderwolf's Pyramid Limber Pine | 20       | 6-7'         | B&B       | 20-30' tall,<br>10-15' wide |
|                         | Carpinus betulus 'Frans Fontaine'<br>Frans Fontaine Hornbeam              | 3        | 1.5" Cal.    | B&B       | 40' tall,<br>15' wide       |
|                         | Picea pungens 'Baby Blue Eyes'<br>Baby Blue Eyes Spruce                   | 8        | 6-7'         | B&B       | 12-15' tall,<br>6-7' wide   |
| Total Trees             |   | 36       |              |           |                             |

| PLANT MATERIAL LISTING: |  |          |              |           |                         |
|-------------------------|--|----------|--------------|-----------|-------------------------|
| SHRUBS & GRASSES        |  | Quantity | Planted Size | Condition | Mature size             |
| SYMBOL                  | Botanical name<br>Common Name                                  |          |              |           |                         |
|                         | Azalea x 'Hino-Crimson'<br>Hino-Crimson Azalea                 | 46       | 1 Gal        | Can       | 2-4' tall,<br>3-5' wide |
|                         | Berberis thunbergii 'Crimson Pygmy'<br>Crimson Pygmy Barberry  | 41       | 1 Gal        | Can       | 2' tall,<br>3' wide     |
|                         | Berberis thunbergii 'Gold Pillar'<br>Gold Pillar Barberry      | 23       | 1 Gal        | Can       | 3-4' tall,<br>2' wide   |
|                         | Chamaecyparis obtusa 'Confucius'<br>Confucius Hinoki Cypress   | 12       | 5 Gal        | Can       | 4-6' tall<br>3-4' wide  |
|                         | Choisya ternata 'Sundance'<br>Sundance Mexican Orange          | 35       | 5 Gal        | Can       | 5-6' tall<br>& wide     |
|                         | Euonymus japonicus 'Silver King'<br>Silver King Euonymus       | 46       | 5 Gal        | Can       | 6' tall,<br>3' wide     |
|                         | Hakonechloa macro 'All Gold'<br>All Gold Japanese Forest Grass | 162      | 1 gal        | Can       | 18" tall &<br>wide      |
|                         | Hemerocallis 'Stella d'oro'<br>Stella d'oro Daylily            | 24       | 1 gal        | Can       | 1' tall &<br>wide       |
|                         | Hydrangea paniculata 'Littlelime'<br>Littlelime Hydrangea      | 4        | 2 Gal        | Can       | 3-5' tall &<br>wide     |
|                         | Imperata cylindrica 'Rubra'<br>Japanese Blood Grass            | 150      | 1 Gal        | Can       | 1' tall<br>18" wide     |
|                         | Nandina domestica 'Gulf Stream'<br>Gulf Stream Heavenly Bamboo | 51       | 2 Gal        | Can       | 3' tall &<br>wide       |
|                         | Rhododendron 'P.J.M. Elite'<br>P.J.M. Elite Rhododendron       | 14       | 18-24"       | B&B       | 4-5' tall<br>3-5' wide  |
|                         | Rudbeckia 'Little Goldstar'<br>Little Goldstar Daisy           | 215      | 1 Gal        | Can       | 18" tall &<br>wide      |
|                         | Viburnum tinus 'Spring Bouquet'<br>Spring Bouquet Viburnum     | 44       | 5 Gal        | Can       | 4-6' tall &<br>wide     |
|                         | Weigela florida 'Bokraspiwi'<br>Spilled Wine Weigela           | 35       | 1 Gal        | Can       | 1-2' tall<br>2-3' wide  |
| Total Shrubs            |  | 902      |              |           |                         |

| SYM | GROUND COVER                                     | QTY. | SIZE | CONDITION | REMARKS                 |
|-----|--|------|------|-----------|-------------------------|
|     | Vinca minor 'Bowles'<br>Bowles Common Periwinkle | 45   | 4"   | Pots      | 18" O.C.                |
|     | Lawn (Hydro-seed)                                |      |      |           | 1,405 SF                |
|     | Lawn RESTORATION (Hydro-seed)                    |      |      |           | 12,280 SF (approximate) |



PUBLISH DATE  
09/01/2022  
ISSUED FOR  
LAND USE  
REVISIONS  
10/10/2022

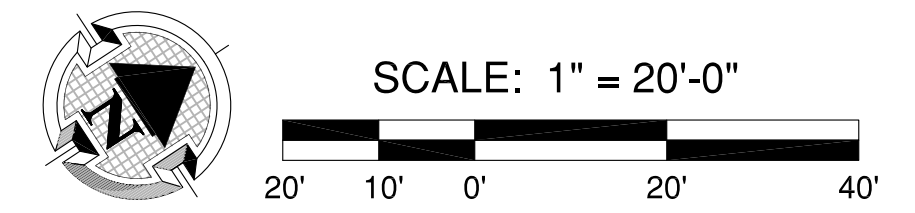
PLANTING PLAN  
**ALDEN APARTMENTS**  
7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062



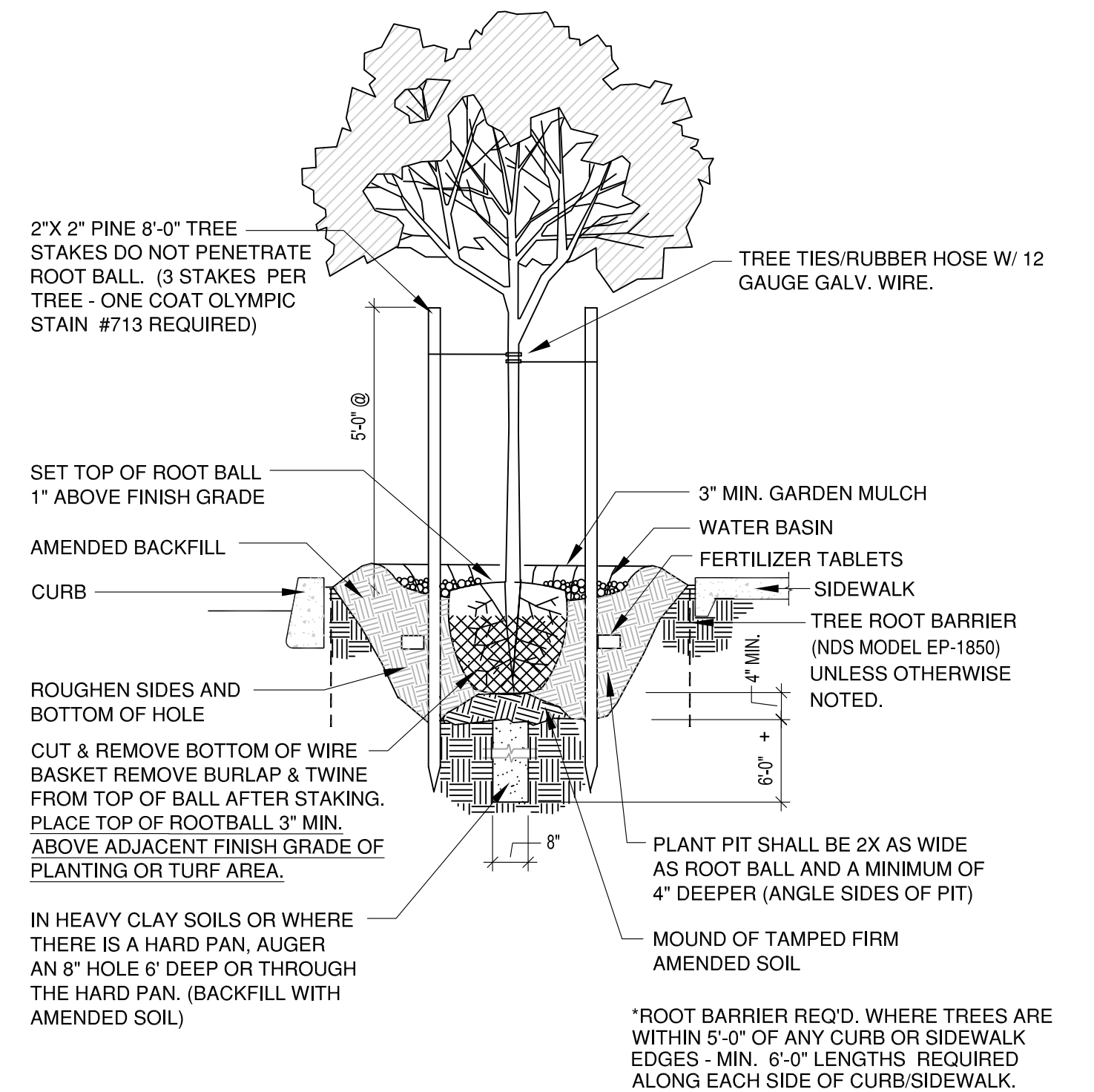
PROJECT INFORMATION  
MDG PROJECT # | 2223  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | TAM  
CHECKED BY | TAM

SHEET NUMBER  
**L102**

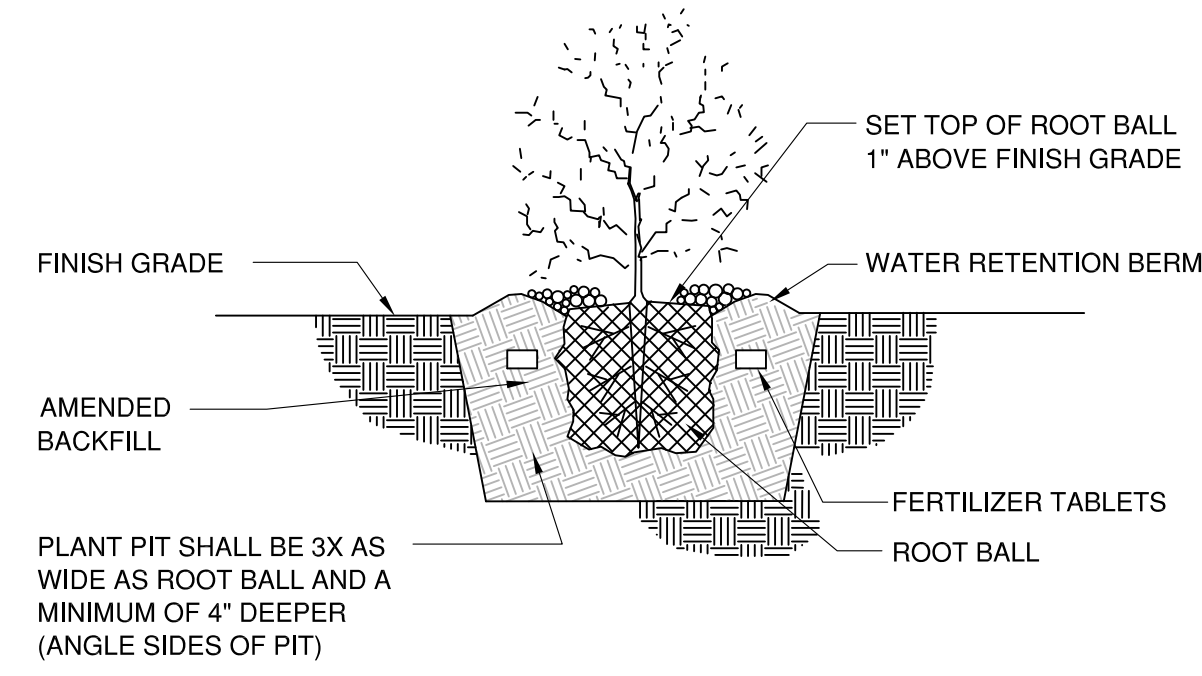
REFER TO SHEET L103 FOR PLANTING DETAILS AND NOTES



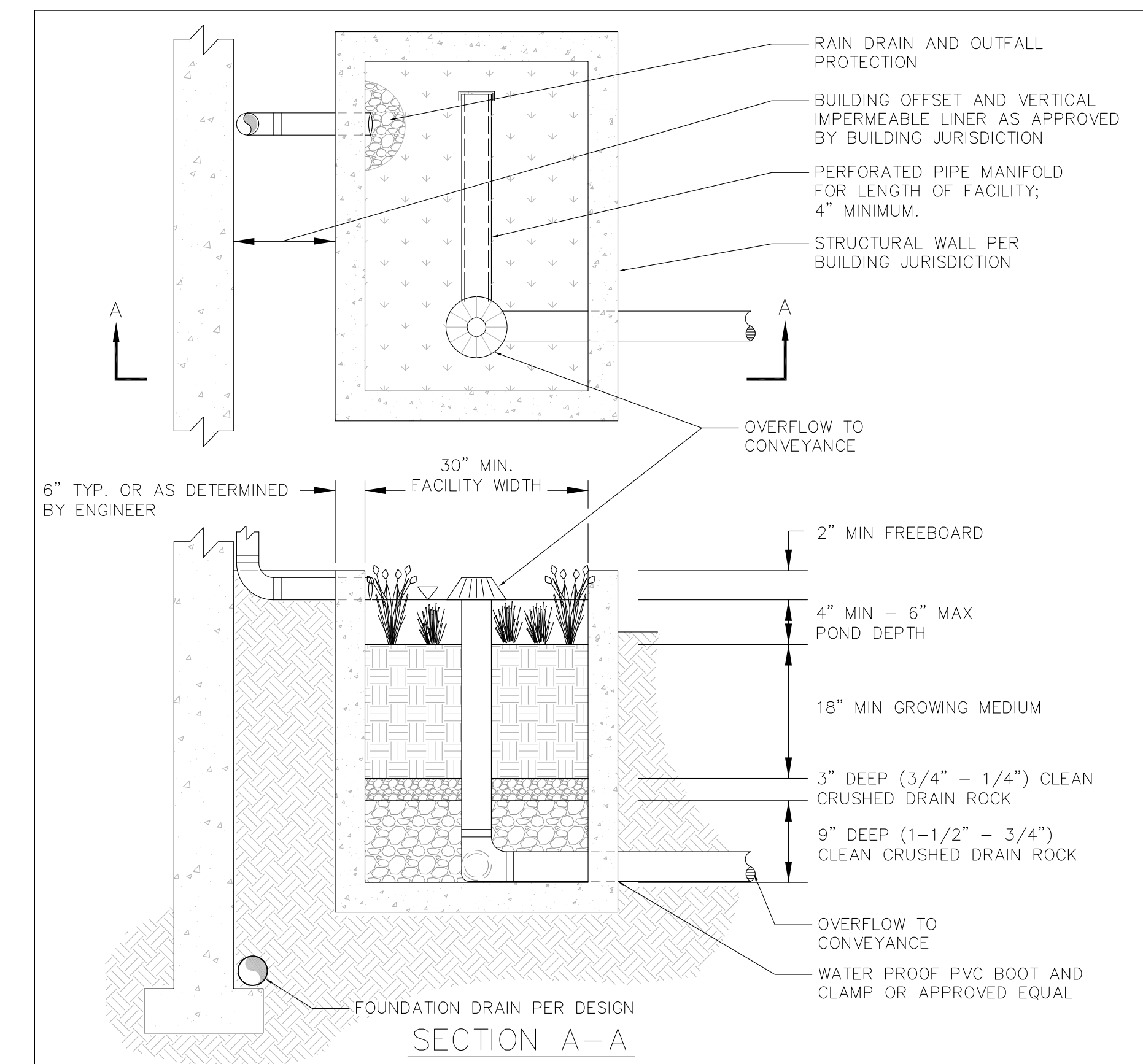




**TREE PLANTING DETAIL**  
N.T.S.



**SHRUB PLANTING DETAIL**  
N.T.S.

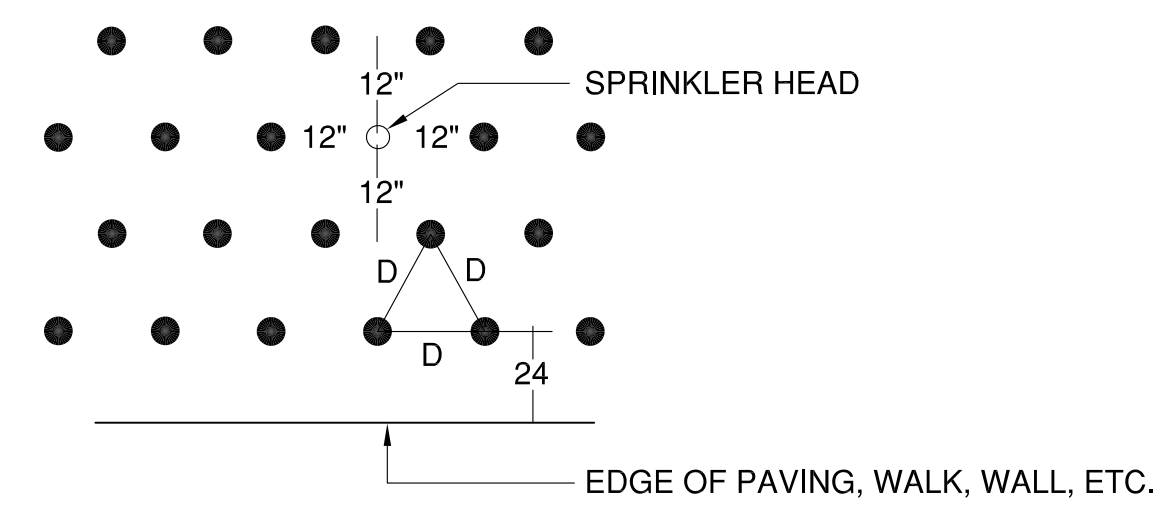


NOTES:  
 1. PRIVATE WATER QUALITY TREATMENT.  
 2. 30" MIN WIDTH - FACILITY LENGTH TO BE CALCULATED BASED ON INCOMING FLOWS.  
 3. VEGETATION: SEE PLANT LIST IN LIDA HANDBOOK.  
 4. I.E. OF RAIN DRAINS MUST MATCH THE ELEVATION OF THE OVERFLOW STRUCTURE.  
 5. RAIN DRAINS AND OVERFLOW TO MAINTAIN MAXIMUM LINEAR SEPARATION.  
 6. OUTFALL PROTECTION SIZED PER FLOW CALCULATIONS.  
 7. BUILDING JURISDICTION APPROVAL REQUIRED WHEN DEPTH OF FACILITY IS BELOW BUILDING FOOTING.

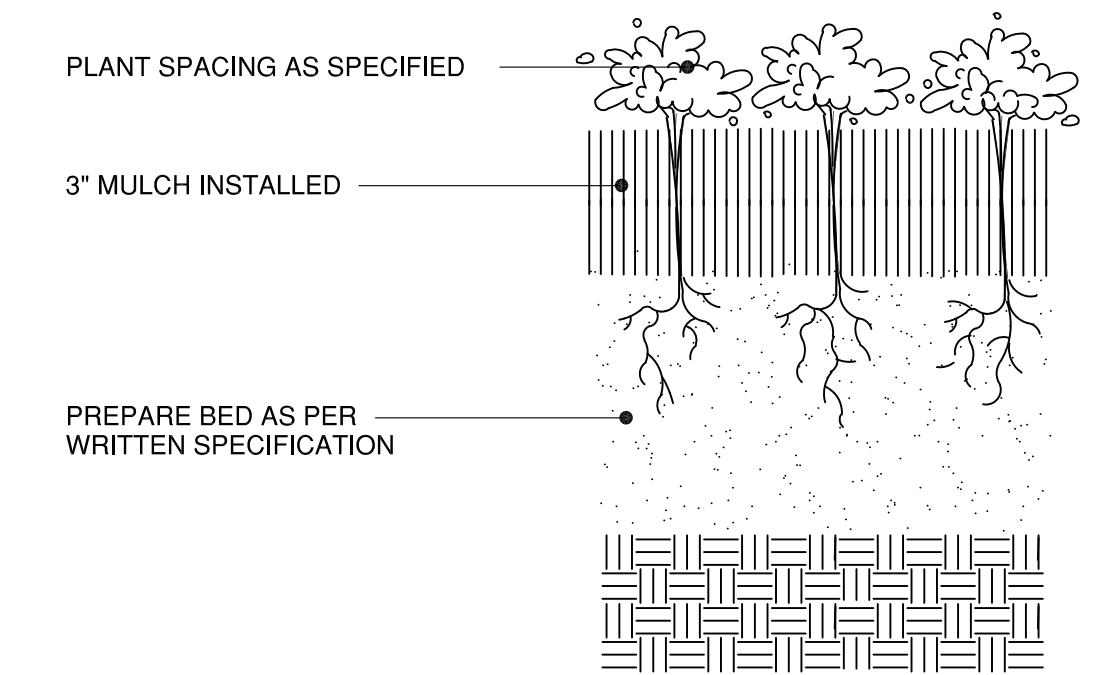
**FLOW THROUGH PLANTER**

DRAWING NO. 730REVISED 10-31-19

**CleanWater Services**



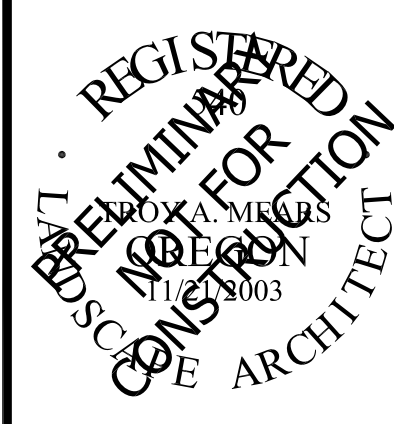
NOTE:  
 LOCATE PLANTS SPACED EQUAL DISTANCE (D) FROM EACH OTHER AS SPECIFIED AND MINIMUM OF 12" FROM SPRINKLER HEAD



**GROUNDCOVER PLANTING DETAIL**  
N.T.S.

**TYPICAL PLANTING NOTES:**

- B&B stock may be substituted with container stock of equal grade.
- Container stock may be substituted with B&B stock of equal grade.
- Plant material shall conform with American Standard for Nursery Stock, ANSI Z60.1, 2004 edition.
- All trees shall be branched.
- Refer to project technical specification for topsoil requirement. All planting beds shall have a minimum of 18 inches topsoil. Re-use of existing topsoil is recommended, but must meet specifications.
- Garden mulch all planting beds with 3" min. Layer of specified garden mulch.
- In the event of a discrepancy between this material listing and the drawings, the drawings shall govern the plant species and quantities required.
- In the event of question or lack of clarity on drawings, Landscape Contractor is to call Landscape Architect before proceeding.
- Landscape contractor is to notify Landscape Architect prior to installation of plant material to approve final placement.
- Landscape Contractor to verify plant material quantities.
- Contractor will provide a one year warranty on all provided & installed plant material from date of final approval by owner's representative.
- Automatic irrigation to be installed for all new planted areas.



PUBLISH DATE  
09/01/2022  
 ISSUED FOR  
LAND USE  
 REVISIONS  
10/10/2022

**PLANTING DETAILS & NOTES**  
**ALDEN APARTMENTS**

7800 SW SAGERT STREET & 20400 SW MARTINAZZI AVENUE  
TUALATIN, OR 97062

**MEARS**  
 DESIGN GROUP  
 LANDSCAPE ARCHITECTURE & PLANNING  
 PO BOX 23338 | PORTLAND, OREGON | 97281  
 PHONE: 503.601.4516 | FAX: 503.924.4688

PROJECT INFORMATION  
 MDG PROJECT # | 2223  
 TAX LOT(S) | 2S125BA00100  
 LAND USE # | 22-0004  
 DESIGNED BY | TAM  
 CHECKED BY | TAM

SHEET NUMBER  
**L103**

SW MARTINAZZI AVENUE



New multi-family units proposed in existing vacant area

New multi-family units proposed, removing two existing buildings

I 5  
I 205  
Interchange

New multi-family units proposed in existing vacant area

## PROJECT SUMMARY

Approximate Lot Area: 727,859 sq.ft. | 16.7 acres

Zoning Designation: RMH (Medium High Density)

Maximum Density: 250 units (at 15 units/acre)  
 Minimum Density: 183 units (at 11 units/acre)  
 Maximum Coverage: 291,144 sq.ft. (at 40%)  
 Minimum Open Space Requirements: 450 sq.ft./dwelling unit  
*breakdown-*  
 Common Space Required: 300 sq.ft./d.u.  
 Children Play Area Required: 150 sq.ft./d.u.  
 - does not apply to duplexes/townhomes

*\*the following numbers are estimates\**

### As Built Project Stats:

Number of Units: 211  
 Number of Buildings: 26  
 Number of Parking Spaces: 372  
 Coverage Provided: 85,251 sq.ft. (12%)  
 Common Space Required: 87,750 sq.ft.  
 All Open Space (including landscape): ~246,473 sq.ft.

### Proposal Project Stats:

*\*proposing to demolish two existing buildings*

Number of Units: 240  
 Number of Buildings: 36  
 Number of Parking Spaces: 442  
 Coverage Provided: 90,223 sq.ft. (12%)

Shared Outdoor Area Required: 108,000 sq.ft.  
*breakdown-*  
 -Common Space Required: 72,000 sq.ft.  
 -Children Play Area Required: 36,000 sq.ft.

Shared Outdoor Area Provided: 122,521 sq.ft.  
*breakdown-*  
 -Common Space Provided: 83,776 sq.ft.  
 -Children Play Area Provided: 36,000 sq.ft.

Approximate Landscaping Area: 245,007 sq.ft. (33%)

### key

- Landscaping
- Common Space
- Children Play Area
- Bluff

SW SAGERT STREET



**ALDEN APARTMENTS - TUALATIN, OREGON**  
**COLRICH COMMUNITIES**

**SITE AERIAL**

SCALE: N.T.S.

DATE 09.01.2022  
JOB NO. 727.013

505 W, Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



**A2**



SITE  
PERSPECTIVE

ALDEN APARTMENTS - TUALATIN, OREGON  
COLRICH COMMUNITIES

SCALE: N.T.S.

DATE 09.01.2022  
JOB NO. 727.013

505 W, Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



A3



SITE  
PERSPECTIVE

ALDEN APARTMENTS - TUALATIN, OREGON  
COLRICH COMMUNITIES

SCALE: N.T.S.

DATE 09.01.2022  
JOB NO. 727.013

505 W, Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



A4



FRONT  
PERSPECTIVE

ALDEN APARTMENTS - TUALATIN, OREGON  
COLRICH COMMUNITIES

SCALE: N.T.S.

DATE 09.01.2022  
JOB NO. 727.013



505 W, Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



A5



REAR  
PERSPECTIVE

SCALE: N.T.S.

DATE 09.01.2022  
JOB NO. 727.013

505 W, Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



A6

ALDEN APARTMENTS - TUALATIN, OREGON  
COLRICH COMMUNITIES





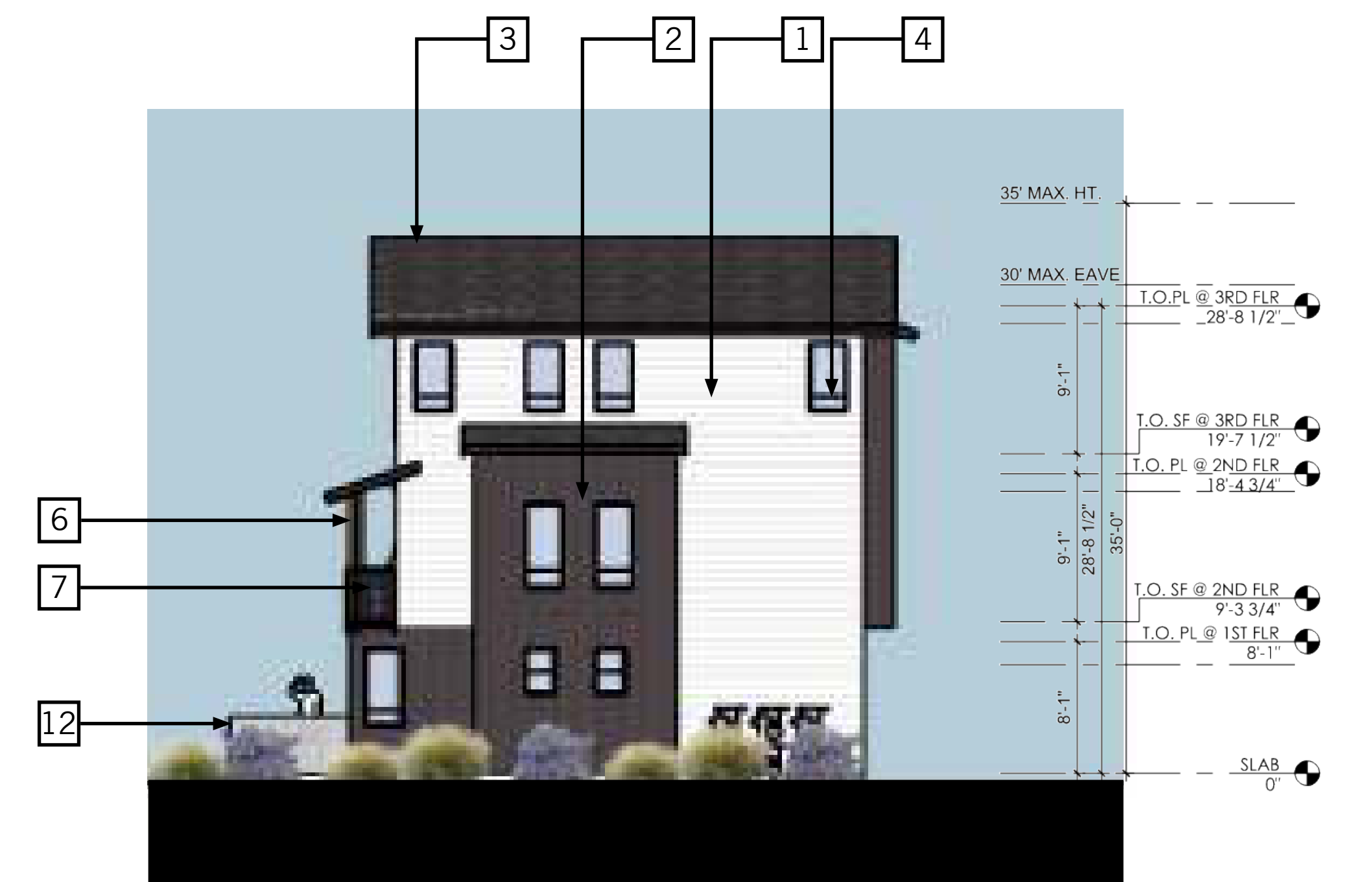
**A** FRONT EXTERIOR ELEVATION



**B** LEFT EXTERIOR ELEVATION



**C** REAR EXTERIOR ELEVATION



**D** RIGHT EXTERIOR ELEVATION

**KEYNOTES:**

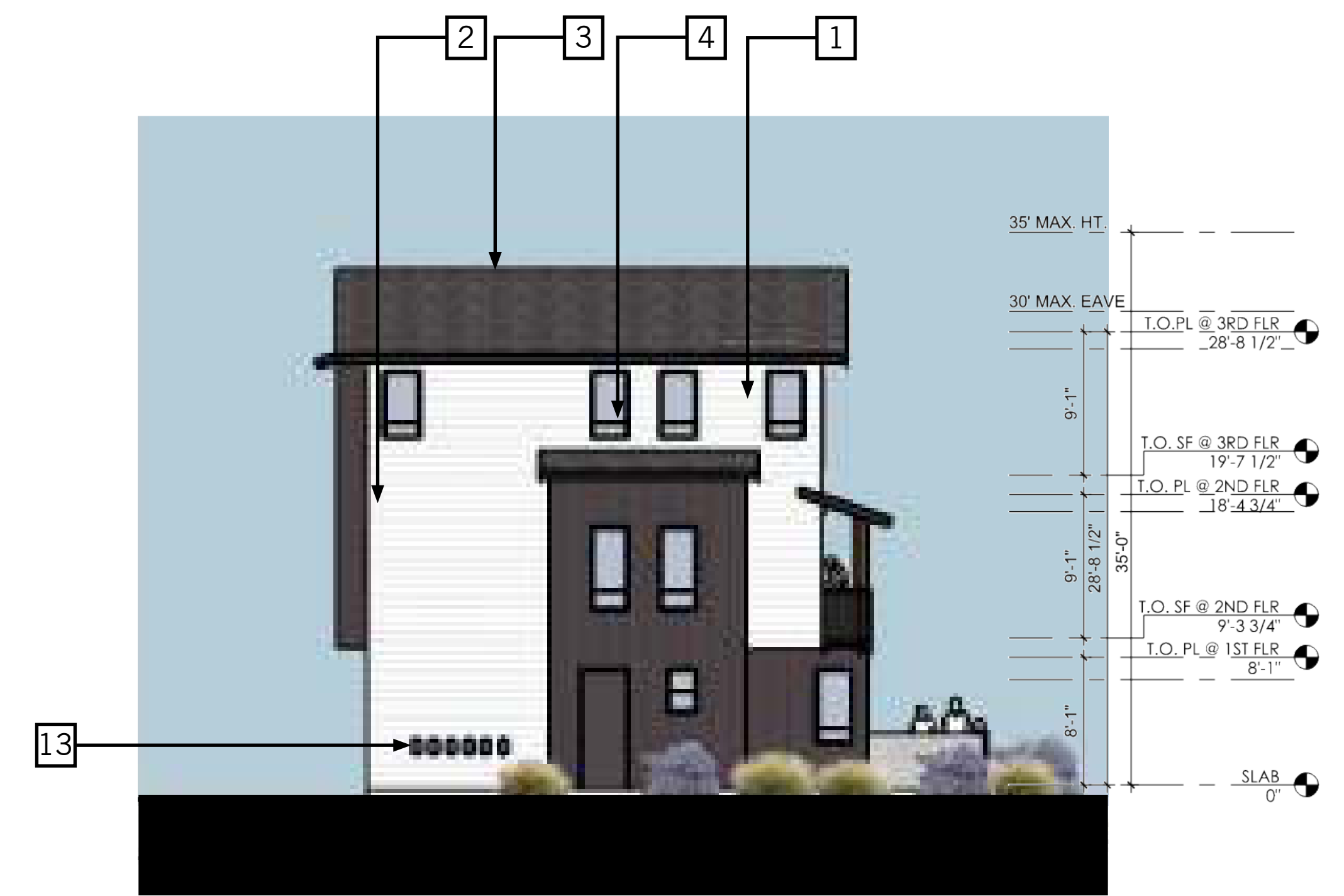
- 1. FIBER CEMENT LAP SIDING – 6” EXPOSURE
- 2. FIBER CEMENT BOARD AND BATTEN SIDING – 16” O.C.
- 3. COMPOSITION ASPHALT SHINGLE ROOFING
- 4. VINYL WINDOW
- 5. ORNAMENTAL WOOD KICKER
- 6. WOOD POST
- 7. METAL DECK RAILING
- 8. METAL ENTRY AWNING
- 9. METAL SECTIONAL GARAGE DOOR
- 10. FIBERGLASS ENTRY DOOR
- 11. DECORATIVE ENTRY LIGHT
- 12. PATIO WALL WITH METAL GATE
- 13. UTILITIES

**BUILDING TYPE A -  
3-PLEX ELEVATIONS**





**A** FRONT EXTERIOR ELEVATION



**B** LEFT EXTERIOR ELEVATION



**C** REAR EXTERIOR ELEVATION



**D** RIGHT EXTERIOR ELEVATION

**KEYNOTES:**

- 1. FIBER CEMENT LAP SIDING – 6” EXPOSURE
- 2. FIBER CEMENT BOARD AND BATTEN SIDING – 16” O.C.
- 3. COMPOSITION ASPHALT SHINGLE ROOFING
- 4. VINYL WINDOW
- 5. ORNAMENTAL WOOD KICKER
- 6. WOOD POST
- 7. METAL DECK RAILING
- 8. METAL ENTRY AWNING
- 9. METAL SECTIONAL GARAGE DOOR
- 10. FIBERGLASS ENTRY DOOR
- 11. DECORATIVE ENTRY LIGHT
- 12. PATIO WALL WITH METAL GATE
- 13. UTILITIES

**BUILDING TYPE B -  
4-PLEX ELEVATIONS**



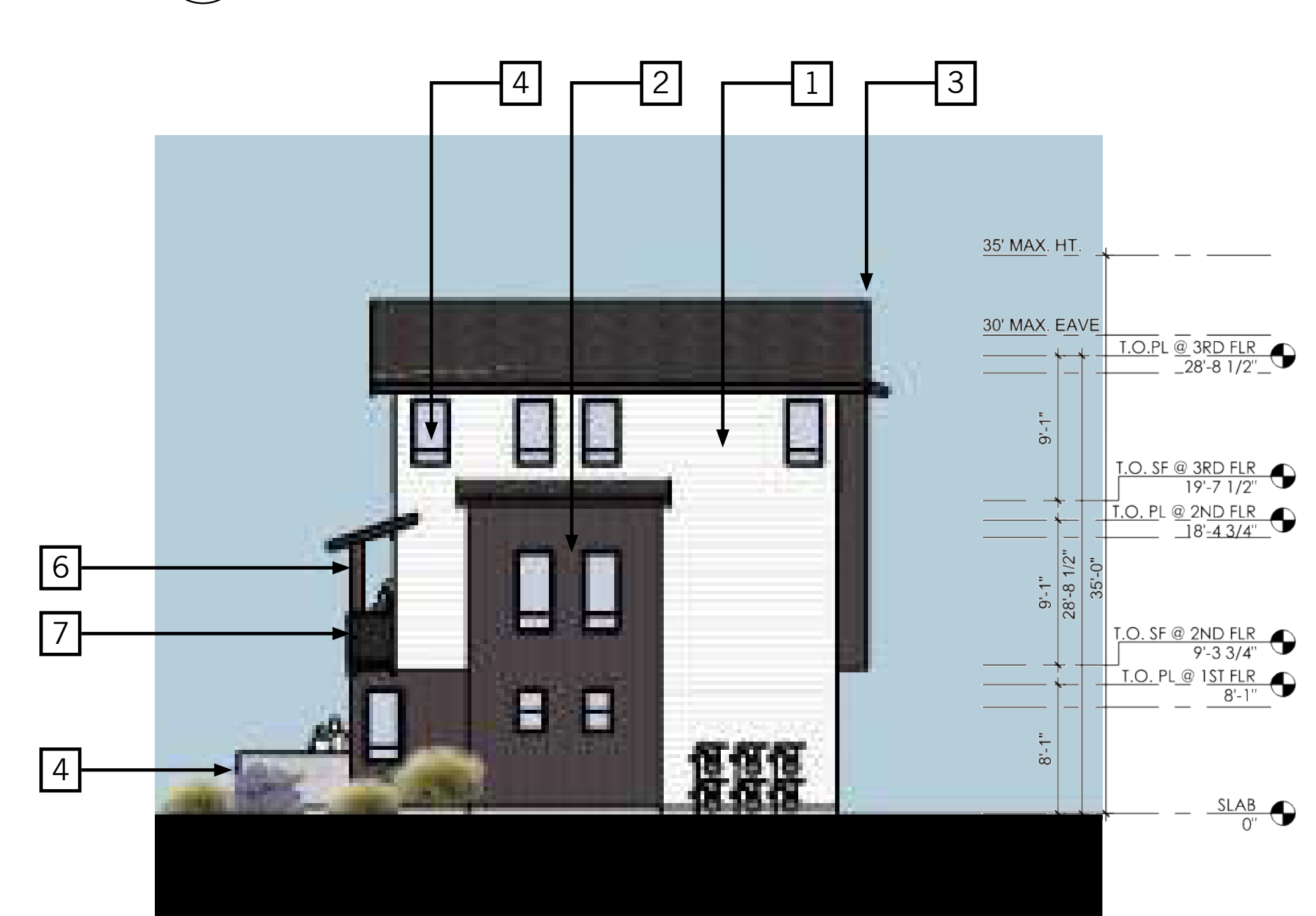
**A** FRONT EXTERIOR ELEVATION



**B** LEFT EXTERIOR ELEVATION



**C** REAR EXTERIOR ELEVATION



**D** RIGHT EXTERIOR ELEVATION

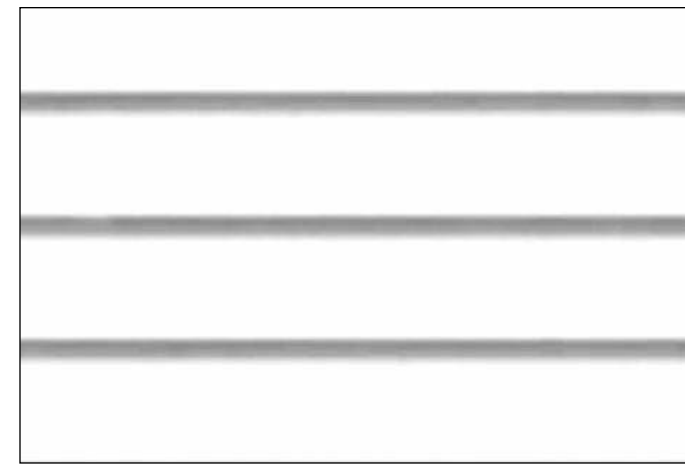
**KEYNOTES:**

- 1. FIBER CEMENT LAP SIDING – 6" EXPOSURE
- 2. FIBER CEMENT BOARD AND BATTEN SIDING – 16" O.C.
- 3. COMPOSITION ASPHALT SHINGLE ROOFING
- 4. VINYL WINDOW
- 5. ORNAMENTAL WOOD KICKER
- 6. WOOD POST

- 7. METAL DECK RAILING
- 8. METAL ENTRY AWNING
- 9. METAL SECTIONAL GARAGE DOOR
- 10. FIBERGLASS ENTRY DOOR
- 11. DECORATIVE ENTRY LIGHT
- 12. PATIO WALL WITH METAL GATE
- 13. UTILITIES

**BUILDING TYPE C -  
5-PLEX ELEVATIONS**

# COLORS + MATERIALS



**1** EXTERIOR SIDING 1  
**SMOOTH FIBER CEMENT SIDING - 6" REVEAL**  
*Extra White SW 7006 by Sherwin Williams*



**2** EXTERIOR SIDING 2  
**SMOOTH FIBER CEMENT SIDING - BOARD AND BATTEN**  
*Iron Ore SW 7069 by Sherwin Williams*



**3** EXTERIOR SIDING 3  
**CEDARMILL FIBER CEMENT SIDING - 6" REVEAL**  
*Mountain Cedar by Woodtone*



**4** ACCENT COLOR 1  
**ENTRY DOOR**  
*Seaworthy SW 7620 by Sherwin Williams*



**5** ROOFING  
**COMPOSITION SHINGLE ROOF**  
*Driftwood by Owens Corning*



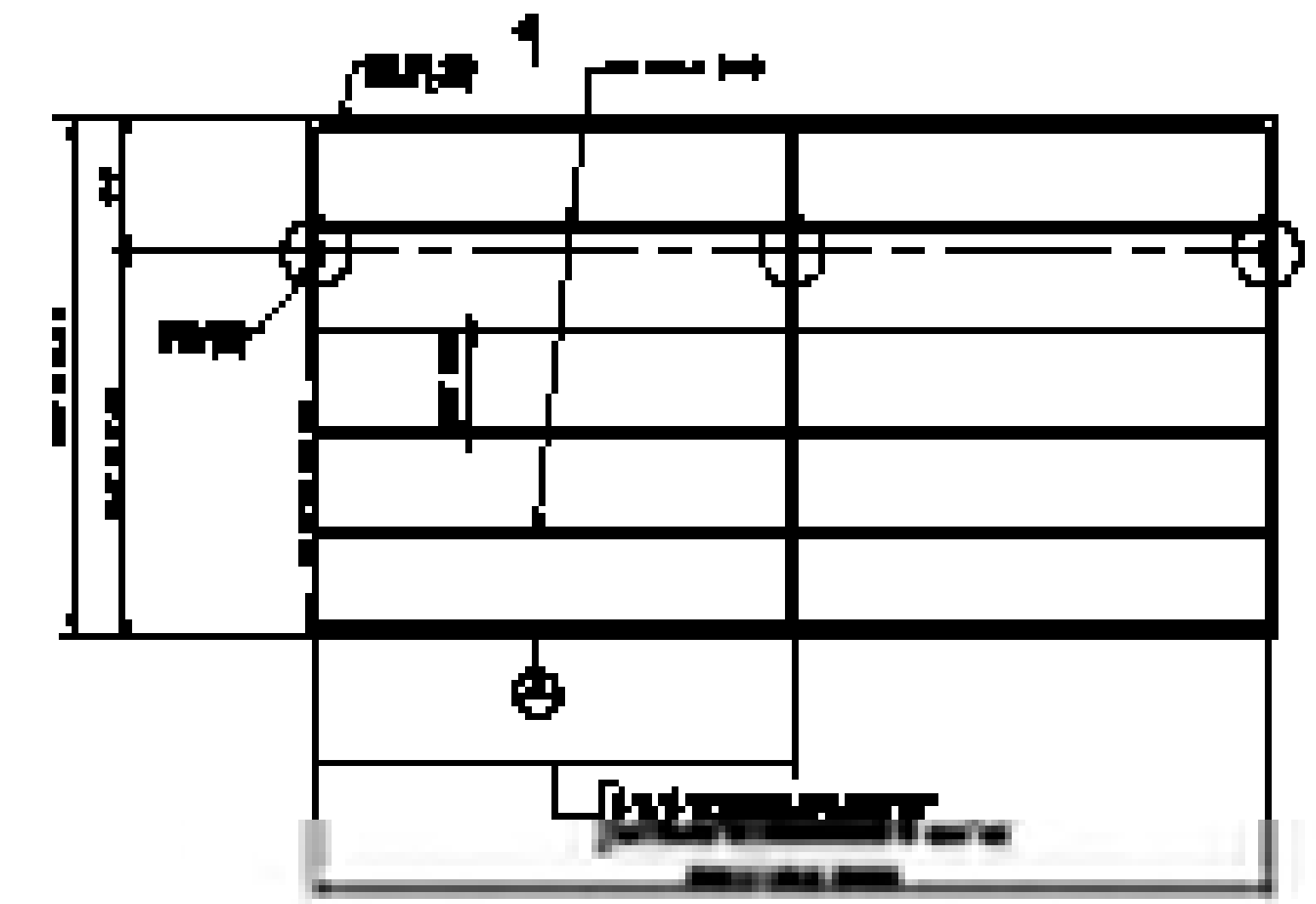
## COLORS + MATERIALS



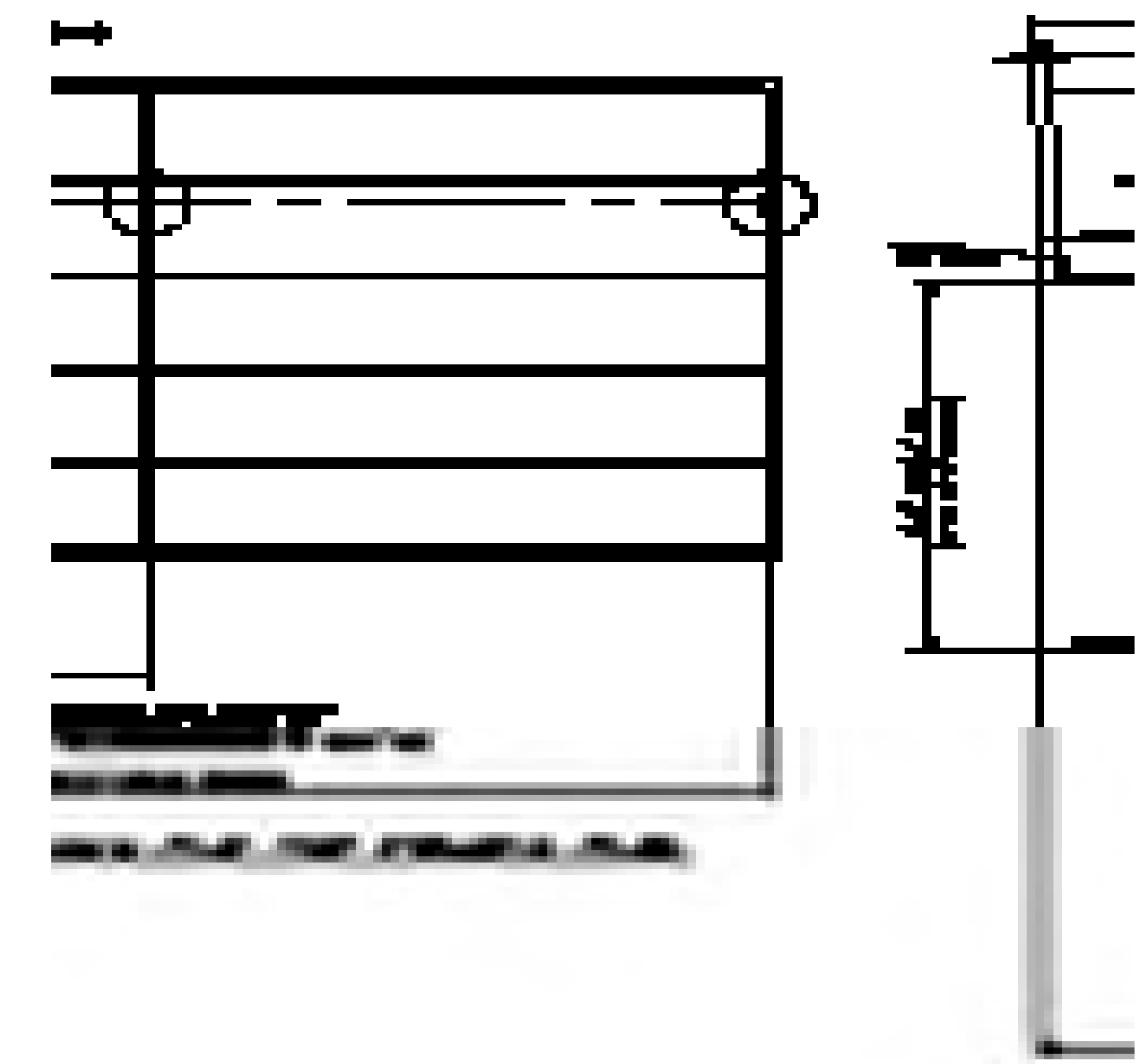
**A** PERSPECTIVE AT BUILDINGS J1 & K1

**KEYNOTES:**

- 1. EXISTING LANDSCAPE AND HARDSCAPE TO REMAIN
- 2. EXISTING BUILDINGS TO REMAIN
- 3. NEW CARPORT STRUCTURE BY OTHERS, STANDING SEAM METAL ROOF O/ ROOF DECK, PAINT COLOR T.B.D.
- 4. EXISTING PARKING TO BE RESTRIPE

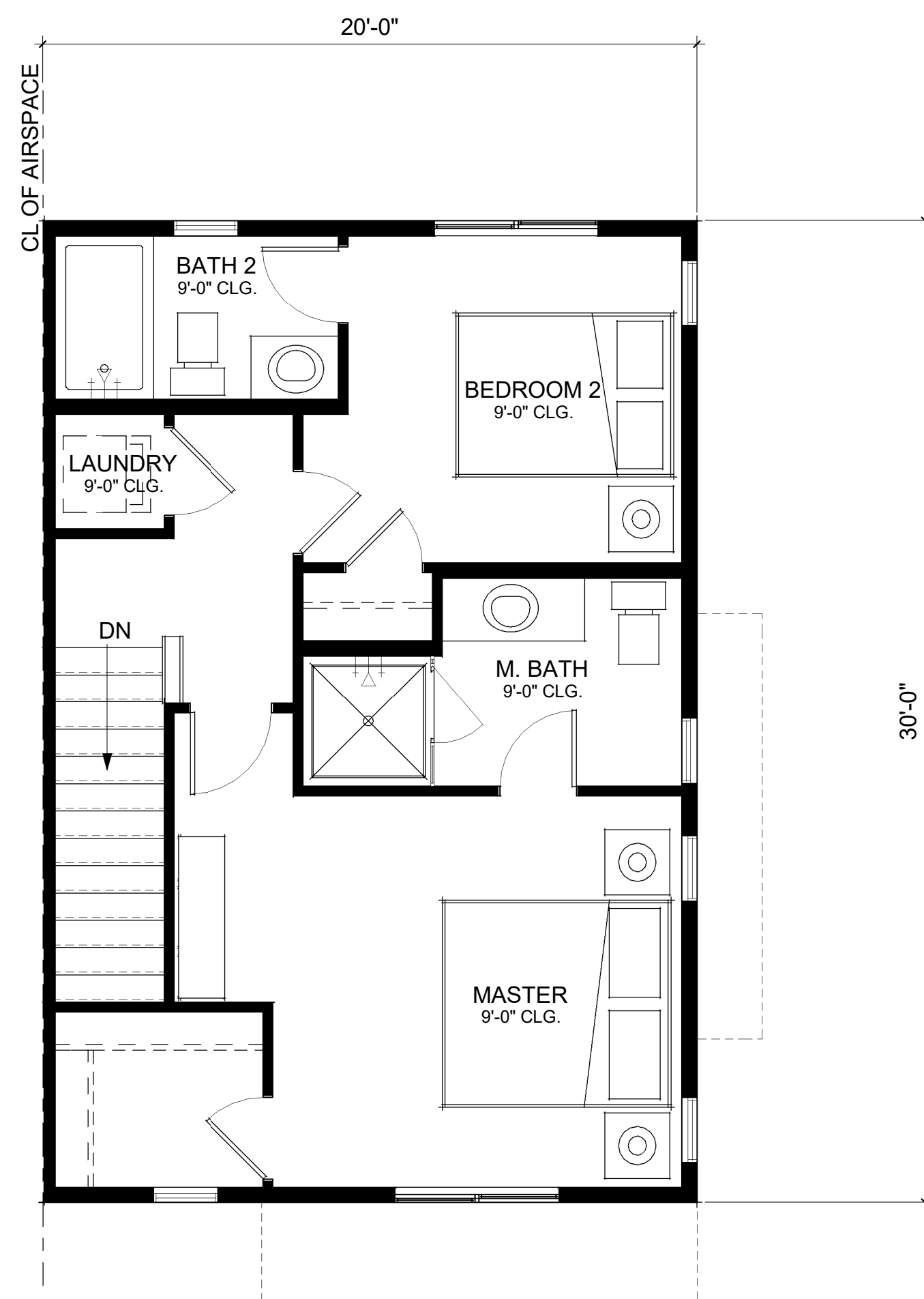


**C** ROOF PLAN PER MANUF.

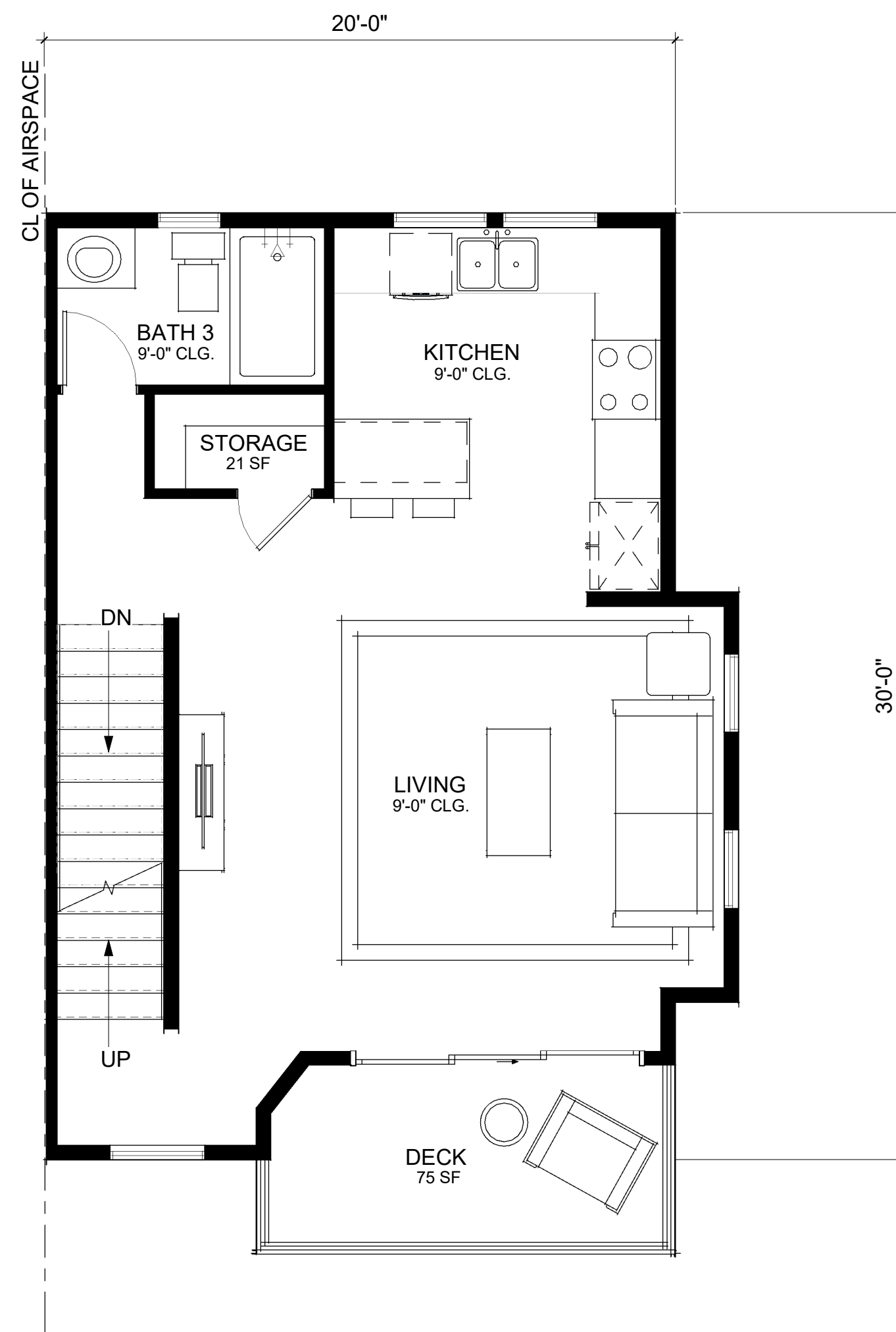


**B** SECTION PER MANUF.

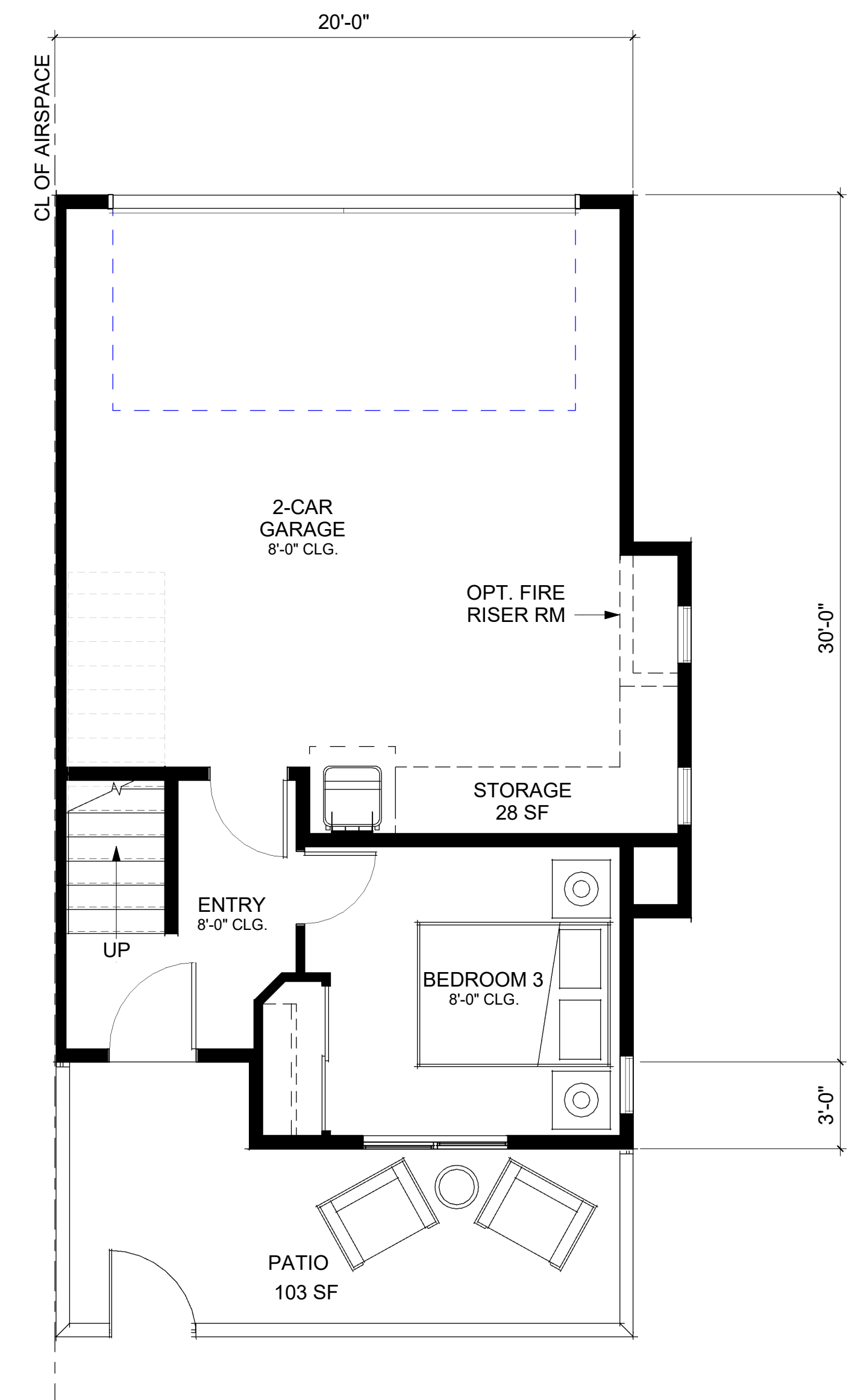
**SITE CARPORT**



3 UNIT PLAN A - THIRD FLOOR  
1/4" = 1'-0"



2 UNIT PLAN A - SECOND FLOOR  
1/4" = 1'-0"



1 UNIT PLAN A - FIRST FLOOR  
1/4" = 1'-0"

| UNIT PLAN A - 3 BR / 3 BA |          |
|---------------------------|----------|
| NAME                      | Area     |
| FIRST FLOOR               | 217 SF   |
| SECOND FLOOR              | 583 SF   |
| THIRD FLOOR               | 559 SF   |
| TOTAL LIVING AREA         | 1,359 SF |
| 2-CAR GARAGE              | 414      |
| DECK                      | 75       |
| PATIO                     | 103      |
| STORAGE 1ST LEVEL         | 28       |
| STORAGE 2ND LEVEL         | 21       |

UNIT FLOOR PLANS



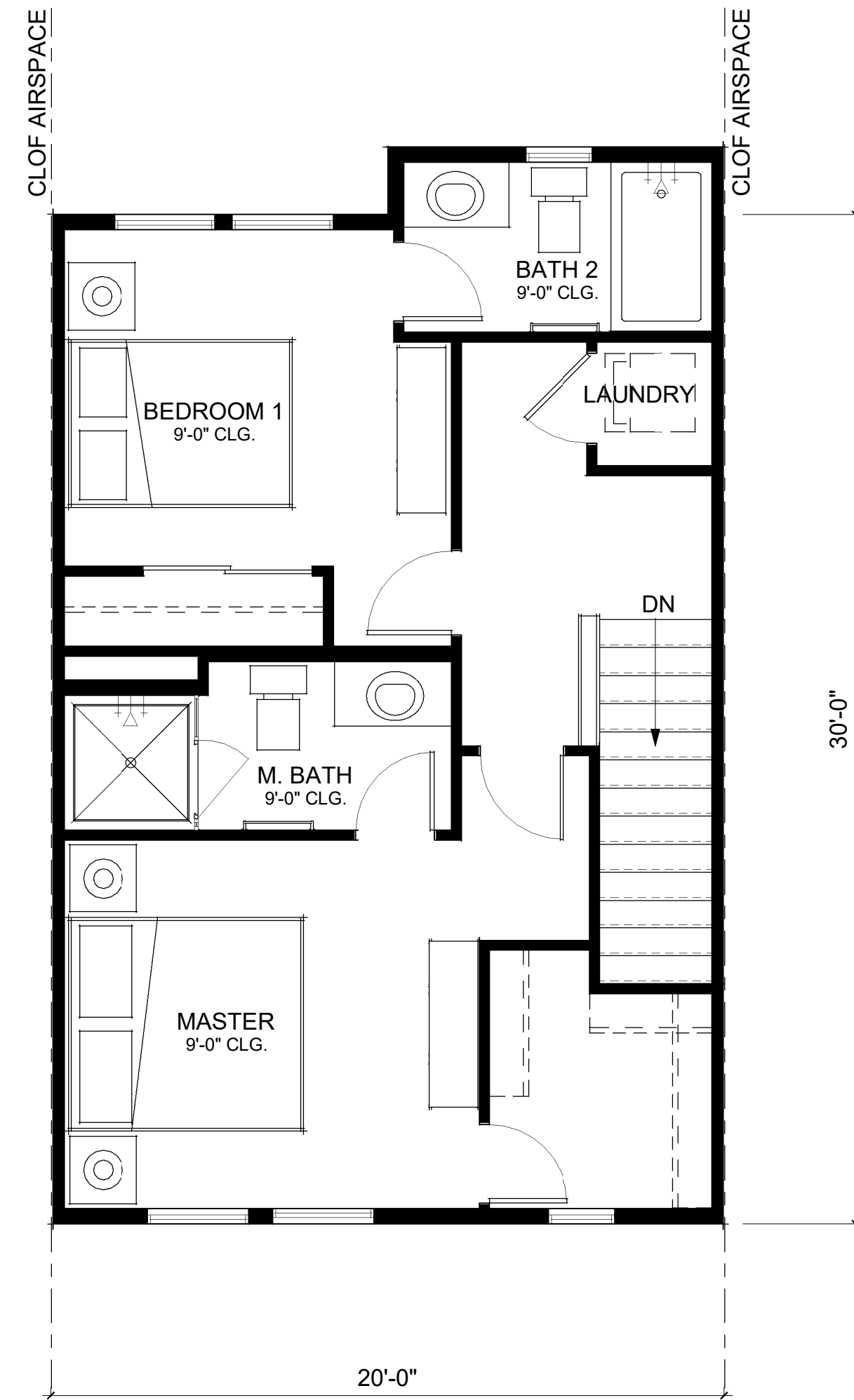
ALDEN APARTMENTS - TUALATIN, OREGON  
COLRICH COMMUNITIES



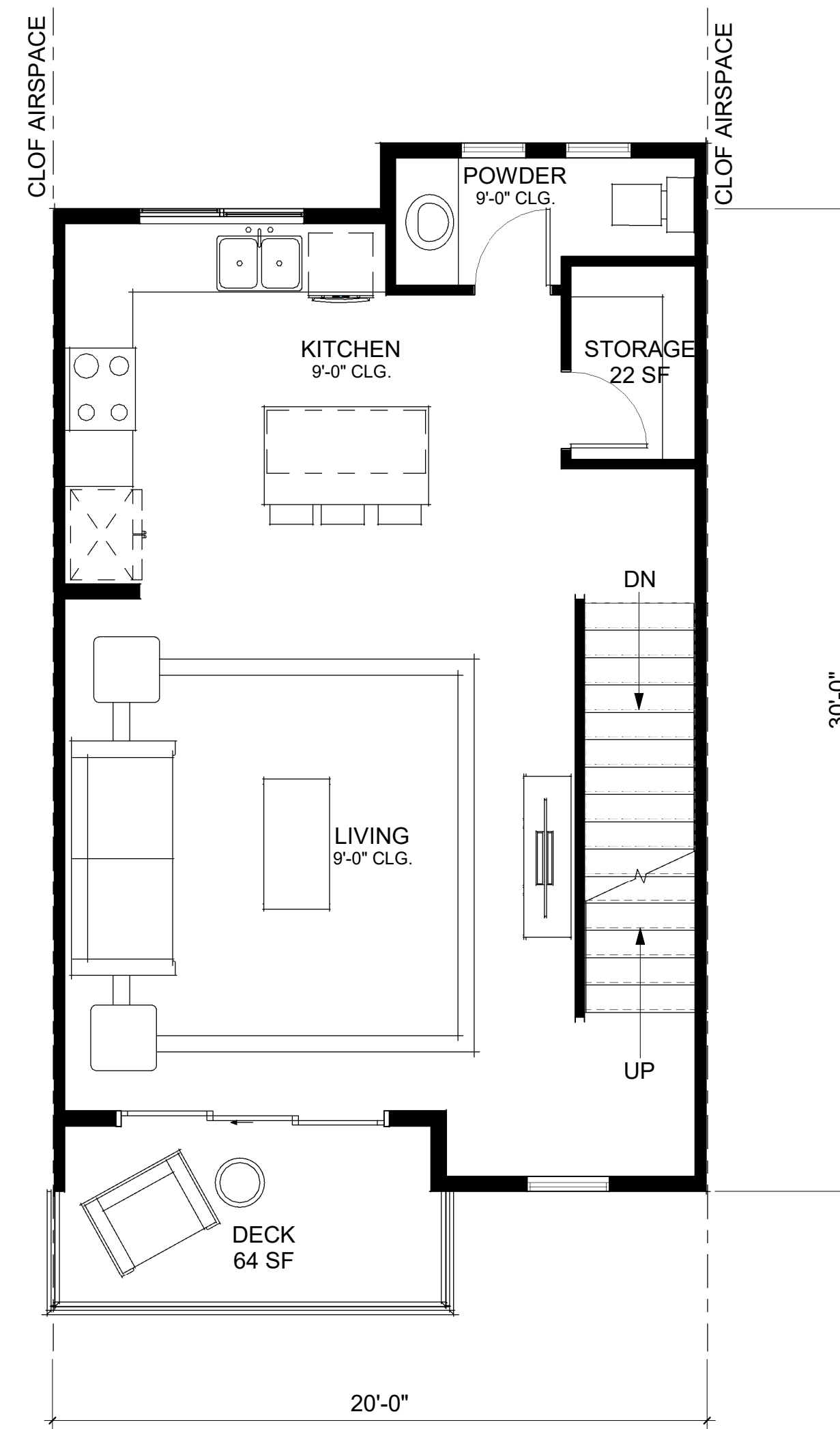
DATE 09.01.2022  
JOB NO. 727.013  
505 W. Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



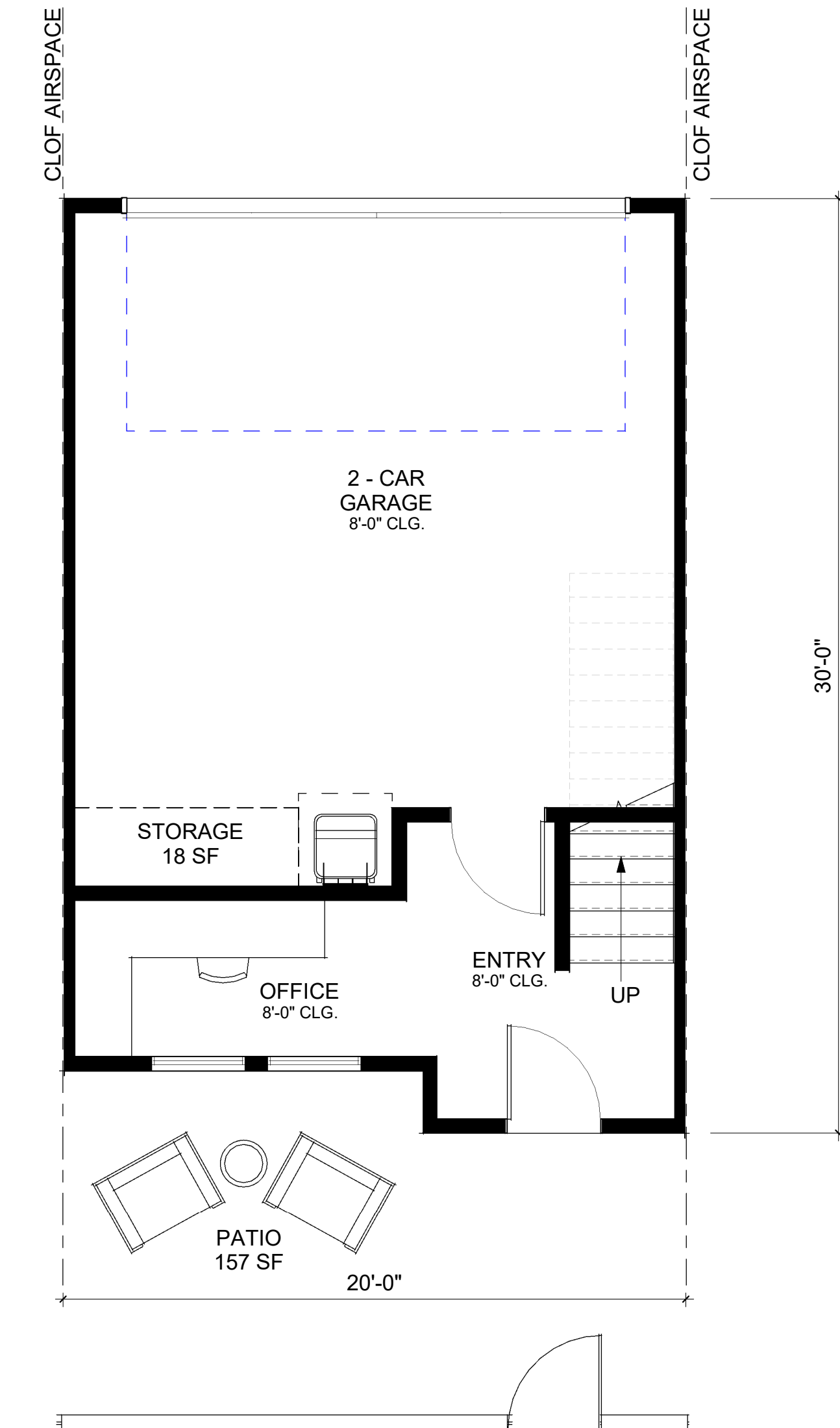
A12



3 UNIT PLAN B - THIRD FLOOR  
1/4" = 1'-0"



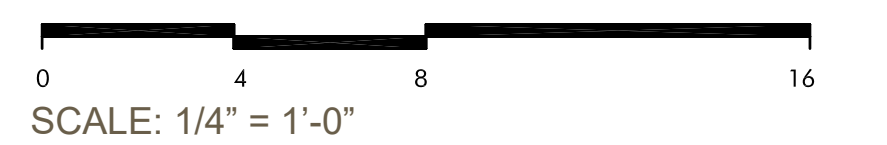
2 UNIT PLAN B - SECOND FLOOR  
1/4" = 1'-0"



1 UNIT PLAN B - FIRST FLOOR  
1/4" = 1'-0"

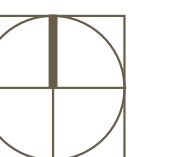
| UNIT PLAN B - 2 BR / 2.5 BA |          |
|-----------------------------|----------|
| NAME                        | Area     |
| FIRST FLOOR                 | 159 SF   |
| SECOND FLOOR                | 589 SF   |
| THIRD FLOOR                 | 577 SF   |
| TOTAL LIVING AREA           | 1,325 SF |
| 2-CAR GARAGE                | 398 SF   |
| DECK                        | 64 SF    |
| PATIO                       | 157 SF   |
| STORAGE 1ST LEVEL           | 18 SF    |
| STORAGE 2ND LEVEL           | 22 SF    |

## UNIT FLOOR PLANS



DATE 09.01.2022  
JOB NO. 727.013

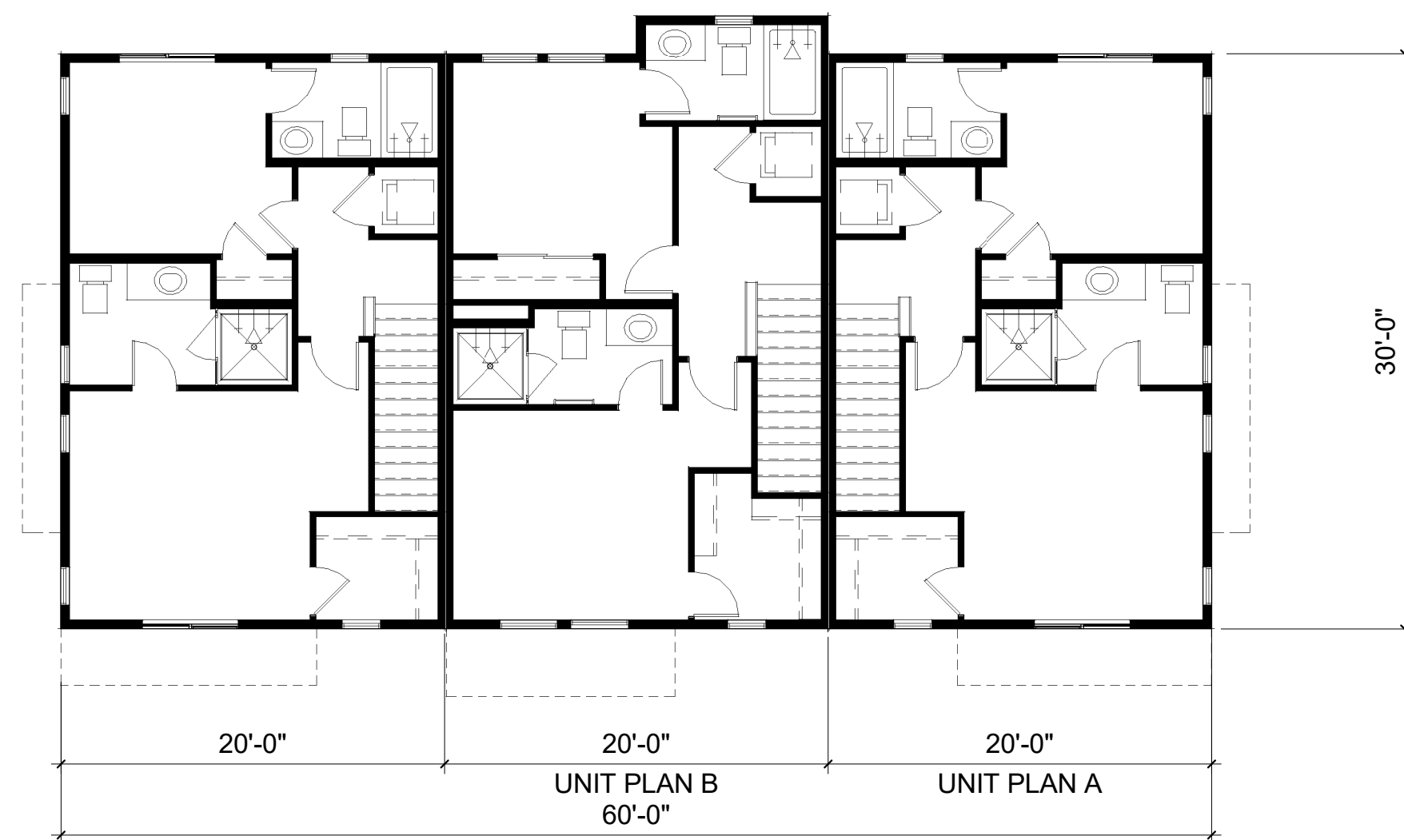
505 W. Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544



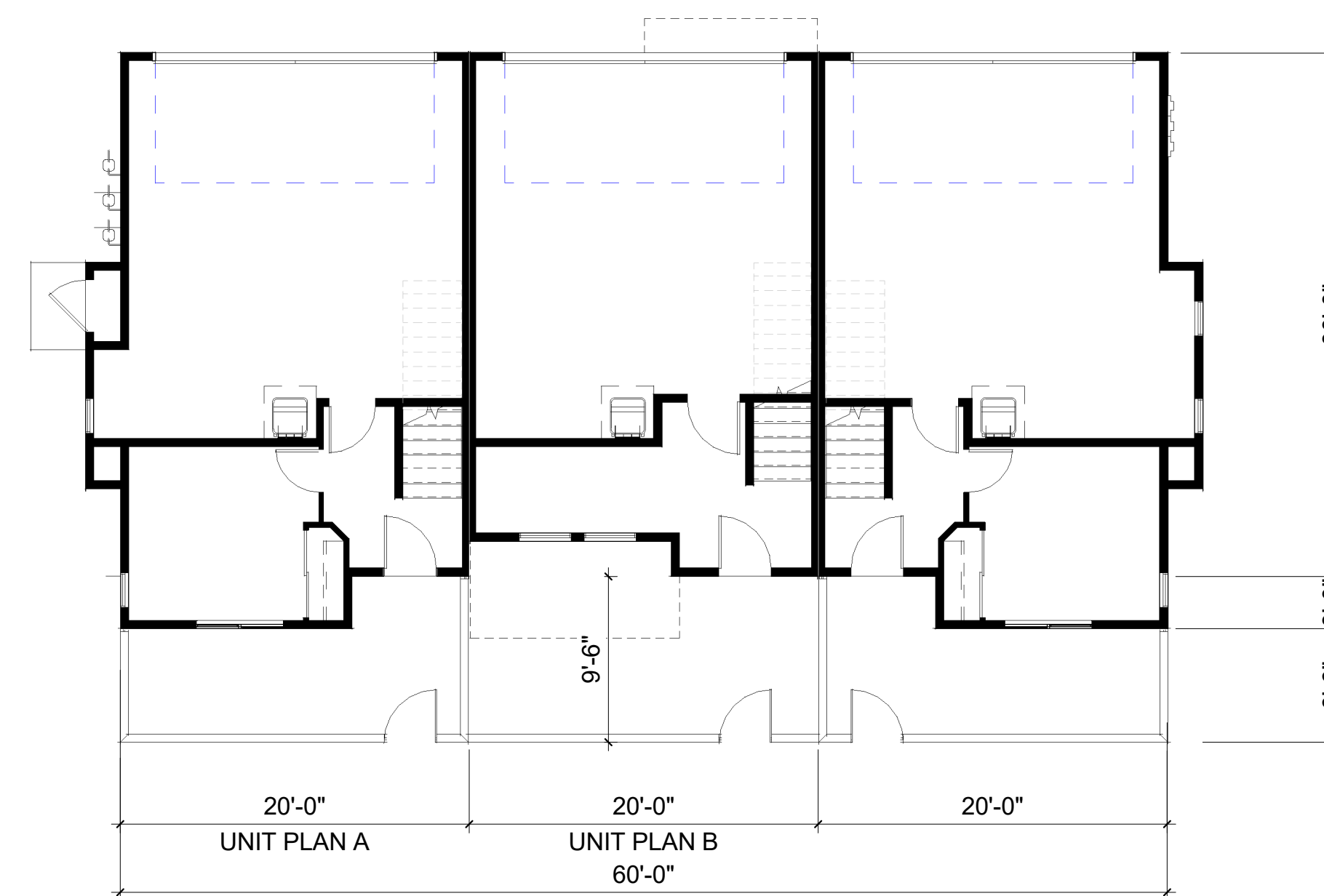
A13



2 BUILDING TYPE A - 3-PLEX - FIRST FLOOR  
1/8" = 1'-0"

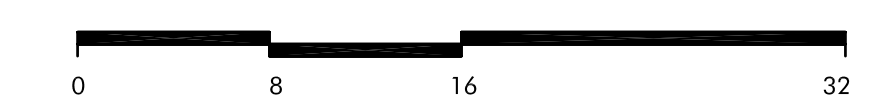


3 BUILDING TYPE A - 3-PLEX - THIRD FLOOR  
1/8" = 1'-0"



1 BUILDING TYPE A - 3-PLEX - SECOND FLOOR  
1/8" = 1'-0"

BUILDING TYPE A -  
3-PLEX (BLDGS O2,  
P2, Q2, R2)



SCALE: 1/8" = 1'-0"

DATE 09.01.2022  
JOB NO. 727.013



505 W, Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544

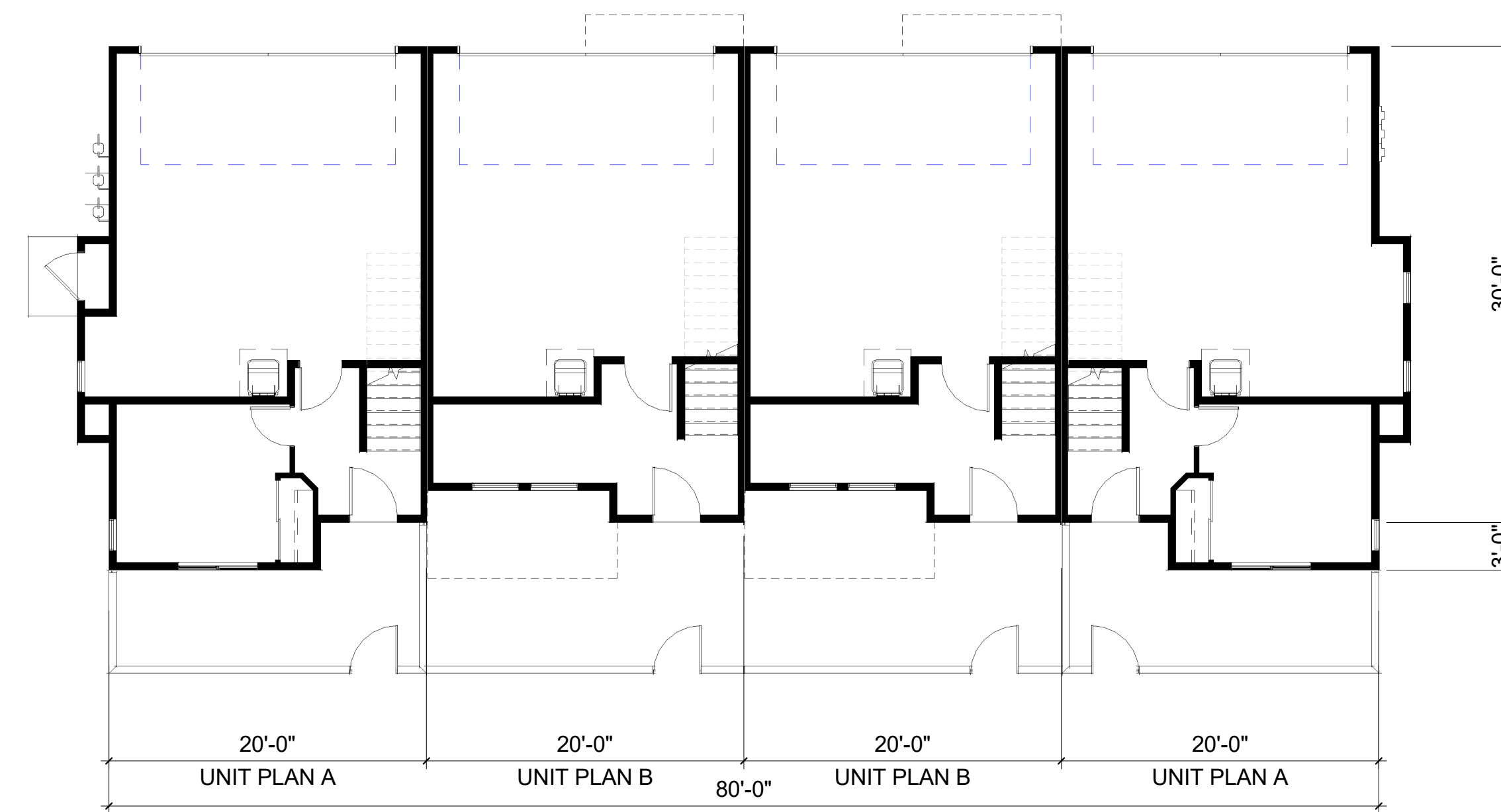
A14



2 BUILDING TYPE B - 4-PLEX - SECOND FLOOR  
1/8" = 1'-0"



3 BUILDING TYPE B - 4-PLEX - THIRD FLOOR  
1/8" = 1'-0"



1 BUILDING TYPE B - 4-PLEX - FIRST FLOOR  
1/8" = 1'-0"

BUILDING TYPE B -  
4-PLEX (BLDGS K2,  
L2, M2, N2, R1, S2,  
T2)



SCALE: 1/8" = 1'-0"

DATE 09.01.2022  
JOB NO. 727.013

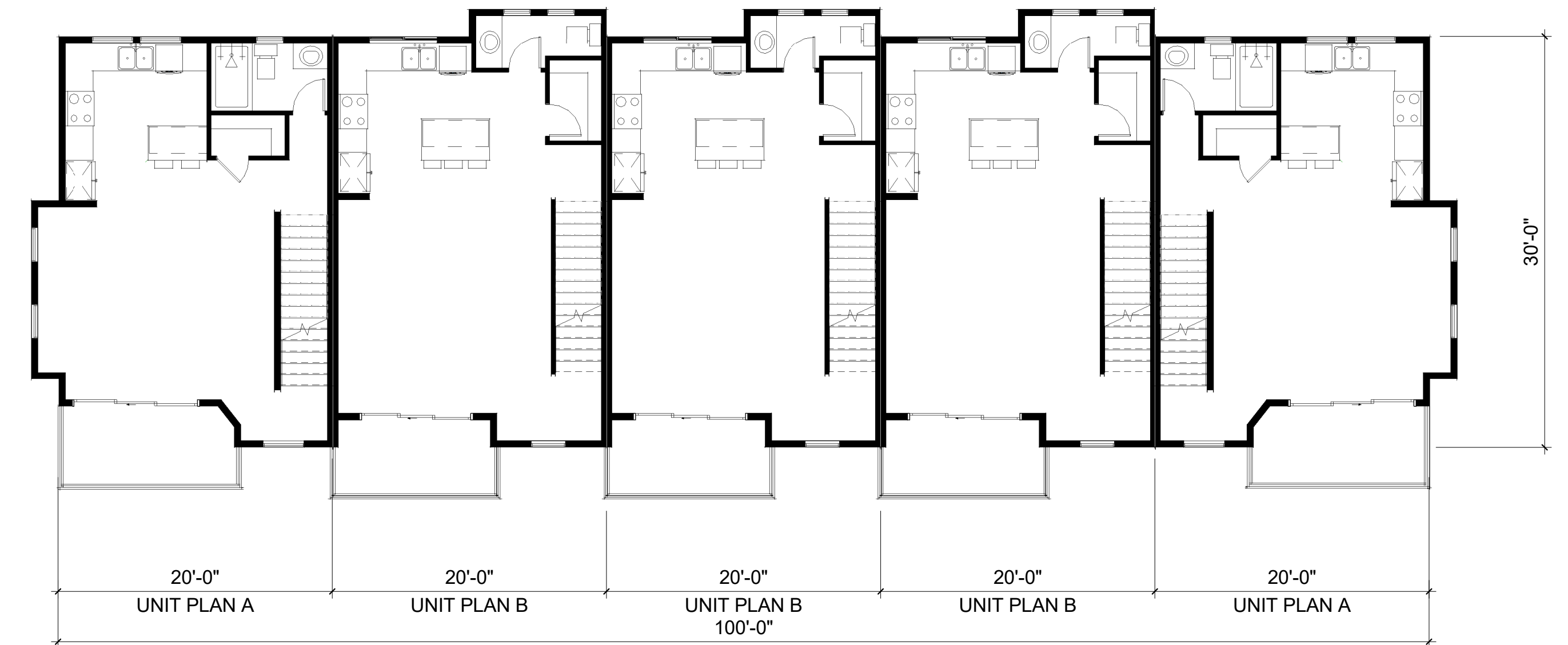


505 W, Broadway, Ste 1080  
San Diego, CA 92101  
858.350.0544

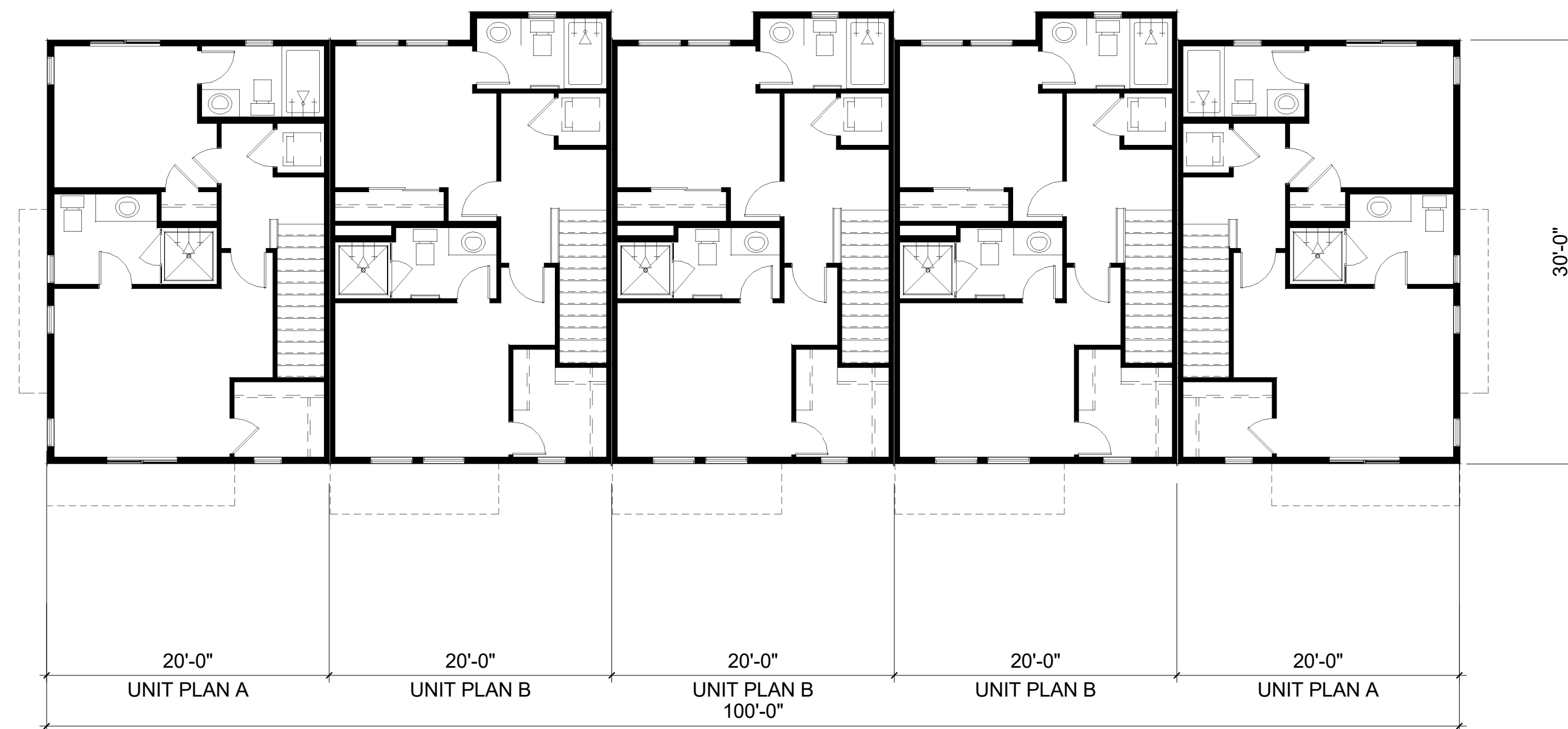


A15

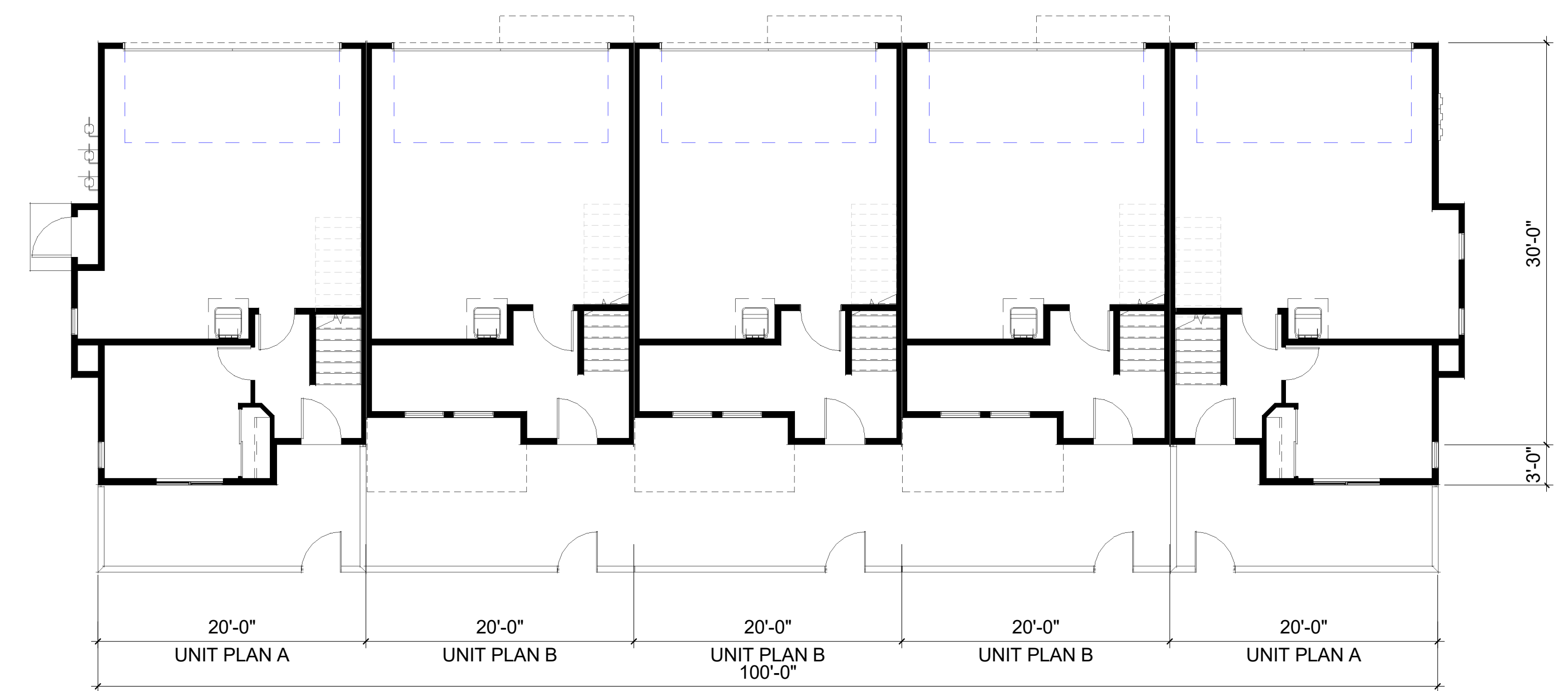




2 BUILDING TYPE C - 5-PLEX - FIRST FLOOR  
1/8" = 1'-0"



3 BUILDING TYPE C - 5-PLEX - THIRD FLOOR  
1/8" = 1'-0"



1 BUILDING TYPE C - 5-PLEX - SECOND FLOOR  
1/8" = 1'-0"



**Alden Apartments – Tualatin, Oregon**  
**Tree Assessment Report**  
**August 24, 2022**

MHA22026

**Purpose**

This Tree Assessment Report for the Alden Apartments project site located at 7800 SW Sagert Street in Tualatin, Oregon, is provided pursuant to City of Tualatin Development Code (TDC) Chapter 33.110. This report describes the existing trees located on the project site, as well as recommendations for tree removal, retention and protection during construction. This report is based on observations made by International Society of Arboriculture (ISA) Board Certified Master Arborist (PN-6145B) and Qualified Tree Risk Assessor Morgan Holen during a site visit conducted on July 27, 2022 and subsequent coordination with the design team.

**Scope of Work and Limitations**

Morgan Holen & Associates, LLC, was contracted by 3J Consulting to collect tree inventory data, assist 3J Consulting in developing the tree preservation plan drawing, and prepare this tree assessment report.

Prior to our fieldwork, an existing conditions survey was provided by 3J Consulting illustrating the location of existing trees and tree survey point numbers. The survey crew physically marked the existing trees with numbered aluminum tree tags corresponding with each survey point number. We performed Visual Tree Assessment (VTA) on each surveyed tree. VTA is the standard process whereby the inspector visually assesses the tree from a distance and up close, looking for defect symptoms and evaluating overall condition and vitality of individual trees. Trees were evaluated in terms of species, size, general condition and potential construction impacts. This level of assessment does not constitute a tree risk assessment.

Following our fieldwork, the tree inventory data was submitted to 3J Consulting to develop the proposed tree preservation plan. The driplines of individual trees are plotted to scale on the drawing based on our crown radius data in order to identify the critical root zone of each tree. We coordinated with 3J Consulting to review and comment on several iterations of the tree preservation plan; this coordination included recommendations for tree removal and protection, as well as site plan modifications to allow for tree protection. The final plan is described in this report.

The client may choose to accept or disregard the recommendations contained herein, or seek additional advice. Neither this author nor Morgan Holen & Associates, LLC, have assumed any responsibility for liability associated with the trees on or adjacent to this site.

**General Description**

The site is an existing apartment complex with trees scattered around parking lots, buildings, and small open space areas. Most of the trees appear to have been planted for landscaping purposes. The project proposes the addition of 12 new apartment buildings with drive aisles and sidewalks.

In all, 88 trees were inventoried, including two trees measuring smaller than eight inches in diameter (#8417 and #8435) and 86 trees measuring eight inches and larger in diameter, the City’s threshold diameter for regulated trees. Thirteen different tree species were identified. Table 1 provides a summary of the number of inventoried trees by species.

**Table 1. Number of Inventoried Trees by Species – Alden Apartments, Tualatin.**

| Common Name      | Species Name                 | Total     | Percent     |
|------------------|------------------------------|-----------|-------------|
| Austrian pine    | <i>Pinus nigra</i>           | 2         | 9%          |
| Douglas-fir      | <i>Pseudotsuga menziesii</i> | 11        | 13%         |
| English hawthorn | <i>Crataegus monogyna</i>    | 2         | 2%          |
| London plane     | <i>Platanus x acerifolia</i> | 3         | 3%          |
| Norway maple     | <i>Acer platanoides</i>      | 18        | 20%         |
| paper birch      | <i>Betula papyrifera</i>     | 2         | 2%          |
| red oak          | <i>Quercus rubra</i>         | 9         | 10%         |
| scarlet oak      | <i>Quercus coccinea</i>      | 8         | 5%          |
| serviceberry     | <i>Amelanchier alnifolia</i> | 1         | 1%          |
| shore pine       | <i>Pinus contorta</i>        | 4         | 5%          |
| silver maple     | <i>Acer saccharinum</i>      | 11        | 13%         |
| sweet cherry     | <i>Prunus avium</i>          | 14        | 16%         |
| weeping willow   | <i>Salix babylonica</i>      | 1         | 1%          |
| <b>Total</b>     |                              | <b>88</b> | <b>100%</b> |

Trees widely accepted as being invasive species in our region were most common, accounting for 34 (39%) of the inventoried trees, including: two English hawthorns (*Crataegus monogyna*) and 14 sweet cherries (*Prunus avium* – including the two trees smaller than eight inches) that appear to have sprouted from natural regeneration; and, 18 Norway maples (*Acer platanoides*) that appear to have been planted for landscaping purposes. The other 54 (61%) trees include a diverse mix of species that appear to have been planted for landscaping purposes. In terms of general condition, 64 (73%) trees are in fair condition, while two (2%) are dead, 10 (11%) are in poor condition, and 12 (14%) are in good condition.

A complete description of individual trees is provided in the enclosed tree data.

**Tree Plan Recommendations**

Prior to preparation of this report we coordinated with 3J Consulting, Inc. in regard to the best existing trees and potential construction impacts, and reviewed and considered the approval criteria identified in the Tualatin Development Code Section 33.110.5 which requires a detailed justification for proposed tree removal. The enclosed tree data and this written report address the relevant criteria.

The two invasive sweet cherries smaller than eight inches in diameter are both planned for removal because of poor structure including extensive ivy and unbalanced crowns; however, these trees are too small to be regulated by the City’s tree removal requirements.

Of the 86 regulated trees, 37 are planned for retention with tree protection measures. The tree preservation plan depicts the location of tree protection fencing and tree protection specifications are provided at the end of this report. The other 49 trees are planned for removal with the proposed development. Note that there are numerous other existing trees located on the Alden Apartments property which are well beyond the limits of proposed work and unaffected by the project.

Individual trees recommended for removal were assigned a reason for removal (shown for each tree to be removed under “criteria” in the enclosed tree inventory data) based on the City’s tree removal criteria as follows:

**Approval Criteria for Tree Removal per TDC 33.110.5:**

- (a) An applicant must satisfactorily demonstrate that at least one of the following criteria are met:
  - (i) The tree is diseased and:
    - (A) The disease threatens the structural integrity of the tree; or
    - (B) The disease permanently and severely diminishes the esthetic value of the tree; or
    - (C) The continued retention of the tree could result in other trees being infected with a disease that threatens either their structural integrity or esthetic value.
  - (ii) The tree represents a hazard which may include but not be limited to:
    - (A) The tree is in danger of falling; or
    - (B) Substantial portions of the tree are in danger of falling.
  - (iii) It is necessary to remove the tree to construct proposed improvements based on Architectural Review approval, building permit, or approval of a Subdivision or Partition Review.
- (b) If none of the conditions in TDC 33.110(5)(a) are met, the certified arborist must evaluate the condition of each tree.
  - (i) *Evergreen Trees*. An evergreen tree which meets any of the following criteria as determined by a certified arborist will not be required to be retained:
    - (A) Trunk Condition—extensive decay and hollow; or
    - (B) Crown Development—unbalanced and lacking a full crown;
  - (ii) *Deciduous Trees*. A deciduous tree which meets any of the following criteria as determined by a certified arborist will not be required to be retained:
    - (A) Trunk Condition—extensive decay and hollow;
    - (B) Crown Development—unbalanced and lacking a full crown; or
    - (C) Structure—Two or more dead limbs.

Removal of 35 of the 49 regulated trees planned for removal is necessary to construct proposed improvements. The tree preservation plan shows that these trees are within the footprint of proposed buildings, drive aisles, sidewalks and retaining wall or within areas of required grading with severe impacts within critical root zones. The other 14 regulated trees planned for removal are all deciduous trees with poor crown development or poor structure including 13 invasive species trees and one 29-inch diameter silver maple (*Acer saccharinum*), tree #1122. Tree #1122 is in poor condition and with very poor structure including multiple upright leaders, a history of branch failure, and numerous epicormic sprouts; it is not suitable for preservation with removal of the row of trees to the south which are all well within the proposed building footprint.

Table 2 provides a summary of the number of inventoried trees planned for retention and removal.

**Table 2. Number of Inventoried Trees by Proposed Treatment – Alden Apartments, Tualatin.**

| Treatment  | Total     | Percent     |
|--|-----------|-------------|
| <b>Retain</b>  | <b>37</b> | <b>42%</b>  |
| <b>Remove</b>  | <b>51</b> | <b>58%</b>  |
| Remove to Construct Proposed Improvements (criteria a-iii) | 35        | 40%         |
| Remove for Poor Crown Development (criteria b-ii-B)        | 8         | 9%          |
| Remove for Poor Structure (criteria b-ii-C)                | 6         | 7%          |
| Trees <8" DBH Planned for Removal Two or more dead limbs   | 2         | 2%          |
| <b>Percent of Total</b>                                    | <b>88</b> | <b>100%</b> |

**Tree Protection Recommendations**

Trees recommended for preservation will need special consideration to assure their protection during construction. We coordinated with 3J Consulting to specify the proposed location of tree protection fencing, which is proposed at the dripline of protected trees where feasible and with very minor encroachments at the outer edges of critical root zones otherwise. The following tree protection specifications are consistent with the tree preservation standards provided in TDC 73B.080 and should be copied onto construction documents as direction to the contractor.

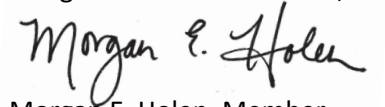
**Tree Protection Specifications**

1. **Preconstruction Conference.** The project arborist shall be on site to discuss methods of tree removal and tree protection prior to any construction.
2. **Protection Fencing.** All trees to be retained shall be protected by 5-foot-tall metal fencing secured to steel posts placed no further than 8-feet apart and shall be installed as depicted on the tree preservation plan. Trees located farther than 30-feet from construction activity do not require tree protection fencing.
3. **Tree Protection Zone Maintenance.** The protection fencing shall not be moved, removed, or entered by equipment except under direction of the project arborist. The contractor shall not store materials or equipment within the TPZ.
4. **Erosion Control.** Beneath the dripline of protected trees, erosion control fencing shall not be trenched in per manufacturer’s specifications to avoid root impacts. Instead, alternative means of erosion control are required, such as wrapping the base of silt fencing around a straw wattle and staking the wattle into the ground or using compost socks or straw wattles staked into the ground in lieu of silt fencing.
5. **Crown Pruning.** The project arborist can help identify where crown pruning is necessary to provide construction clearance and remove dead and defective branches for safety once trees planned for removal have been removed and the site is staked and prepared for construction. Pruning shall be performed by a Qualified Tree Service and conducted in accordance with ANSI A300 pruning standards and ISA Best Management Practices for pruning.

6. **Excavation.** Excavation beneath protected tree driplines shall be avoided if alternatives are available. If excavation is unavoidable, the project arborist shall evaluate the proposed excavation to determine methods to minimize impacts to trees. Root pruning shall be directed and documented by the project arborist.
7. **Landscaping.** Following construction and where landscaping is desired, apply approximately 3-inches of mulch beneath the dripline of protected trees, but not directly against tree trunks. If irrigation is used, use drip irrigation installed at native grade only (no trenching) beneath the driplines of protected trees.

Please contact us if you have questions or need any additional information. Thank you for choosing Morgan Holen & Associates, LLC, to provide consulting arborist services for the Alden Apartments project in Tualatin.

Thank you,  
Morgan Holen & Associates, LLC



Morgan E. Holen, Member  
ISA Board Certified Master Arborist, PN-6145B  
ISA Tree Risk Assessment Qualified  
Forest Biologist

Enclosures: MHA22026 Alden Apartments – Tree Data 07-27-2022

| No.  | Sheet | Common Name   | Species Name                 | DBH <sup>1</sup> | C-Rad <sup>2</sup> | Cond <sup>3</sup> | Comments  | Treatment | Criteria <sup>4</sup> |
|------|-------|---------------|------------------------------|------------------|--------------------|-------------------|---|-----------|-----------------------|
| 1044 | 1     | Austrian pine | <i>Pinus nigra</i>           | 18               | 14                 | F                 | Codominant stems with included bark, ivy  | Retain    |                       |
| 1057 | 1     | red oak       | <i>Quercus rubra</i>         | 28               | 18                 | F                 | Multiple leaders, upright crown, numerous epicormic sprouts   | Remove    | a-iii                 |
| 1062 | 1     | Douglas-fir   | <i>Pseudotsuga menziesii</i> | 26               | 22                 | F                 | Dead branches   | Retain    |                       |
| 1063 | 1     | red oak       | <i>Quercus rubra</i>         | 20               | 22                 | F                 | Codominant leaders, dead branches, epicormic sprouts  | Retain    |                       |
| 1064 | 1     | Douglas-fir   | <i>Pseudotsuga menziesii</i> | 21               | 20                 | F                 | Lower trunk swelling, crown asymmetry   | Retain    |                       |
| 1065 | 1     | Douglas-fir   | <i>Pseudotsuga menziesii</i> | 22               | 16                 | F                 | Crown asymmetry   | Retain    |                       |
| 1066 | 1     | Douglas-fir   | <i>Pseudotsuga menziesii</i> | 24               | 12                 | F                 | Crook in lower trunk, high live crown   | Retain    |                       |
| 1078 | 1     | Norway maple  | <i>Acer platanoides</i>      | 19               | 24                 | F                 | Codominant leaders, one-sided crown with lean west  | Remove    | b-ii-B                |
| 1079 | 1     | Norway maple  | <i>Acer platanoides</i>      | 10               | 14                 | F                 | Small and high live crown   | Remove    | b-ii-B                |
| 1081 | 1     | Norway maple  | <i>Acer platanoides</i>      | 15               | 16                 | F                 | Mostly one-sided crown to north   | Remove    | a-iii                 |
| 1085 | 1     | scarlet oak   | <i>Quercus coccinea</i>      | 32               | 30                 | F                 | History of branch failure, dead branches, high live crown, large diameter scaffold leaders, numerous epicormic sprouts, extensive ivy | Remove    | a-iii                 |
| 1086 | 1     | scarlet oak   | <i>Quercus coccinea</i>      | 29               | 22                 | F                 | History of branch failure, dead branches, high live crown, large diameter scaffold leaders, numerous epicormic sprouts, extensive ivy | Remove    | a-iii                 |
| 1110 | 2     | silver maple  | <i>Acer saccharinum</i>      | 40               | 35                 | F                 | History of large branch failure, poor crown structure, numerous epicormic sprouts, expansive surface roots                            | Remove    | a-iii                 |
| 1111 | 2     | silver maple  | <i>Acer saccharinum</i>      | 14               | 6                  | P                 | Small and high live crown   | Remove    | a-iii                 |

| No.  | Sheet | Common Name   | Species Name            | DBH <sup>1</sup> | C-Rad <sup>2</sup> | Cond <sup>3</sup> | Comments   | Treatment | Criteria <sup>4</sup> |
|------|-------|---------------|-------------------------|------------------|--------------------|-------------------|--|-----------|-----------------------|
| 1115 | 2     | silver maple  | <i>Acer saccharinum</i> | 28               | 42                 | F                 | Multiple attachments, included bark, numerous epicormic sprouts, expansive surface roots   | Remove    | a-iii                 |
| 1122 | 2     | silver maple  | <i>Acer saccharinum</i> | 29               | 24                 | P                 | Multiple upright leaders, history of branch failure, numerous epicormic sprouts; not suitable for retention with adjacent tree removal | Remove    | b-ii-B                |
| 1297 | 3     | Norway maple  | <i>Acer platanoides</i> | 19               | 22                 | G                 | Crimson King variety   | Remove    | a-iii                 |
| 1380 | 3     | Norway maple  | <i>Acer platanoides</i> | 14               | 17                 | F                 | Crook in lower trunk, self-correcting lean, some twig dieback and small broken branches  | Retain    |                       |
| 1381 | 3     | scarlet oak   | <i>Quercus coccinea</i> | 28               | 32                 | F                 | History of large branch failure, numerous epicormic sprouts  | Remove    | a-iii                 |
| 1382 | 3     | scarlet oak   | <i>Quercus coccinea</i> | 30               | 18                 | F                 | Codominant leaders with included bark and tight attachment   | Remove    | a-iii                 |
| 1494 | 2     | Norway maple  | <i>Acer platanoides</i> | 18               | 18                 | F                 | Crimson King variety, surrounded by dense invasive vegetation  | Retain    |                       |
| 1497 | 2     | silver maple  | <i>Acer saccharinum</i> | 23               | 28                 | F                 | Multiple leaders, history of branch failure, surrounded by dense invasive vegetation   | Retain    |                       |
| 1499 | 2     | Norway maple  | <i>Acer platanoides</i> | 18               | 12                 | F                 |  | Retain    |                       |
| 1502 | 2     | Austrian pine | <i>Pinus nigra</i>      | 16               | 16                 | F                 | Multiflora rose infesting crown  | Retain    |                       |
| 1504 | 2     | Norway maple  | <i>Acer platanoides</i> | 16               | 14                 | F                 | Codominant stems with included bark  | Retain    |                       |
| 1506 | 2     | silver maple  | <i>Acer saccharinum</i> | 31               | 30                 | F                 | History of branch failure, multiple upright leaders with included bark   | Retain    |                       |
| 1508 | 2     | silver maple  | <i>Acer saccharinum</i> | 18               | 20                 | F                 | History of branch failure, poor crown structure  | Retain    |                       |
| 1511 | 2     | Norway maple  | <i>Acer platanoides</i> | 16               | 20                 | F                 | Crimson King variety, self-correcting lean   | Retain    |                       |



| No.  | Sheet | Common Name    | Species Name                 | DBH <sup>1</sup> | C-Rad <sup>2</sup> | Cond <sup>3</sup> | Comments   | Treatment | Criteria <sup>4</sup> |
|------|-------|----------------|------------------------------|------------------|--------------------|-------------------|--|-----------|-----------------------|
| 1513 | 2     | silver maple   | <i>Acer saccharinum</i>      | 32               | 34                 | F                 | Multiple stems and leaders with included bark  | Retain    |                       |
| 1519 | 3     | Austrian pine  | <i>Pinus nigra</i>           | 14               | 12                 | F                 | Dead and broken branches, surrounded by dense invasive vegetation, multiflora rose growing up trunk                  | Retain    |                       |
| 1521 | 3     | Austrian pine  | <i>Pinus nigra</i>           | 16               | 14                 | F                 | Surrounded by dense invasive vegetation, multiflora rose growing up trunk  | Retain    |                       |
| 1524 | 3     | Norway maple   | <i>Acer platanoides</i>      | 20               | 24                 | G                 |  | Retain    |                       |
| 1673 | 2     | silver maple   | <i>Acer saccharinum</i>      | 34               | 18                 | F                 | History of large branch failure, poor crown structure, numerous epicormic sprouts                                    | Remove    | a-iii                 |
| 1674 | 2     | silver maple   | <i>Acer saccharinum</i>      | 26               | 32                 | F                 | Multiple attachments, history of branch failure, mostly one-sided crown to west with excessive lean and crown weight | Remove    | a-iii                 |
| 1675 | 2     | silver maple   | <i>Acer saccharinum</i>      | 26               | 30                 | F                 | Codominant stems, one failed leaving large torn wound, other with codominant leaders                                 | Remove    | a-iii                 |
| 1676 | 2     | Norway maple   | <i>Acer platanoides</i>      | 22               | 32                 | F                 | Multiple leaders   | Retain    |                       |
| 1682 | 2     | Douglas-fir    | <i>Pseudotsuga menziesii</i> | 31               | 28                 | G                 |  | Remove    | a-iii                 |
| 1683 | 2     | Douglas-fir    | <i>Pseudotsuga menziesii</i> | 32               | 20                 | G                 | Trunk is off-center at about 25' a.g.l.  | Remove    | a-iii                 |
| 1685 | 2     | Douglas-fir    | <i>Pseudotsuga menziesii</i> | 27               | 18                 | G                 |  | Remove    | a-iii                 |
| 1687 | 2     | Norway maple   | <i>Acer platanoides</i>      | 15               | 16                 | F                 | Some dieback   | Retain    |                       |
| 1689 | 2     | weeping willow | <i>Salix babylonica</i>      | 7,14,20          | 30                 | F                 | Codominant stems, one-sided with lean south, crossing and rubbing branches   | Retain    |                       |
| 1692 | 2     | shore pine     | <i>Pinus contorta</i>        | 15,17            | 12                 | F                 | Codominant stems and leaders, one with previous top failure, sequoia pitch moth                                      | Retain    |                       |
| 1693 | 2     | Austrian pine  | <i>Pinus nigra</i>           | 21               | 16                 | F                 | Codominant stems and leaders with included bark and tight attachments  | Retain    |                       |

| No.  | Sheet | Common Name      | Species Name                 | DBH <sup>1</sup> | C-Rad <sup>2</sup> | Cond <sup>3</sup> | Comments  | Treatment | Criteria <sup>4</sup> |
|------|-------|------------------|------------------------------|------------------|--------------------|-------------------|---|-----------|-----------------------|
| 1694 | 2     | Austrian pine    | <i>Pinus nigra</i>           | 2x22             | 20                 | F                 | Codominant stems with included bark   | Retain    |                       |
| 2001 | add   | Douglas-fir      | <i>Pseudotsuga menziesii</i> | 9,14             | 14                 | F                 | Suppressed spur leader, crown asymmetry   | Retain    |                       |
| 2329 | 2     | English hawthorn | <i>Crataegus monogyna</i>    | 8,2x14           | 18                 | F                 | Codominant stems  | Retain    |                       |
| 2334 | 2     | serviceberry     | <i>Amelanchier alnifolia</i> | 7,8,12           | 18                 | F                 | Multiple stems, surrounded by dense invasive vegetation, ivy up trunks              | Retain    |                       |
| 2459 | 1     | London plane     | <i>Platanus × acerifolia</i> | 32               | 26                 | G                 | Expansive surface roots   | Remove    | a-iii                 |
| 2460 | 1     | paper birch      | <i>Betula papyrifera</i>     | 22               | 28                 | G                 |   | Remove    | a-iii                 |
| 7544 | 1     | shore pine       | <i>Pinus contorta</i>        | 13               | 18                 | F                 | One-sided crown to south  | Remove    | a-iii                 |
| 7545 | 1     | Norway maple     | <i>Acer platanoides</i>      | 17               | 22                 | G                 |   | Remove    | a-iii                 |
| 7546 | 1     | Norway maple     | <i>Acer platanoides</i>      | 18               | 26                 | G                 |   | Remove    | a-iii                 |
| 7547 | 1     | Douglas-fir      | <i>Pseudotsuga menziesii</i> | 31               | 24                 | F                 | Self-correcting lean, spur leader, history of branch failure, reduced vigor         | Remove    | a-iii                 |
| 7549 | 1     | Douglas-fir      | <i>Pseudotsuga menziesii</i> | 10               | 7                  | F                 |   | Remove    | a-iii                 |
| 7550 | 1     | shore pine       | <i>Pinus contorta</i>        | 15               | 10                 | F                 | Codominant leaders, dead lower branches   | Remove    | a-iii                 |
| 7551 | 1     | shore pine       | <i>Pinus contorta</i>        | 14               | 10                 | F                 | Dead branches, small and high live crown  | Remove    | a-iii                 |
| 7552 | 1     | Norway maple     | <i>Acer platanoides</i>      | 13               | 11                 | F                 | Self-correcting lean, spur leader, history of branch failure, reduced vigor         | Remove    | a-iii                 |
| 7553 | 1     | Douglas-fir      | <i>Pseudotsuga menziesii</i> | 22               | 16                 | F                 | Crown asymmetry   | Remove    | a-iii                 |
| 7554 | 1     | Norway maple     | <i>Acer platanoides</i>      | 26               | 22                 | F                 | Missing bark 0-5' south face, codominant leaders, large and expansive surface roots | Retain    |                       |
| 7556 | 1     | Austrian pine    | <i>Pinus nigra</i>           | 24               | 26                 | F                 | Crown asymmetry, crooked leader   | Retain    |                       |
| 7557 | 1     | sweet cherry     | <i>Prunus avium</i>          | 22               | 0                  | D                 | Dead  | Remove    | b-ii-C                |
| 7558 | 1     | Austrian pine    | <i>Pinus nigra</i>           | 20               | 20                 | F                 | Codominant stems with included bark, codominant leaders                             | Retain    |                       |
| 7559 | 1     | red oak          | <i>Quercus rubra</i>         | 25               | 30                 | F                 | Numerous epicormic sprouts  | Remove    | a-iii                 |
| 7560 | 1     | red oak          | <i>Quercus rubra</i>         | 39               | 44                 | G                 | Codominant stems with included bark   | Remove    | a-iii                 |
| 7561 | 1     | red oak          | <i>Quercus rubra</i>         | 31               | 22                 | G                 | Crown asymmetry   | Remove    | a-iii                 |

| No.  | Sheet | Common Name      | Species Name                 | DBH <sup>1</sup> | C-Rad <sup>2</sup> | Cond <sup>3</sup> | Comments  | Treatment | Criteria <sup>4</sup> |
|------|-------|------------------|------------------------------|------------------|--------------------|-------------------|---|-----------|-----------------------|
| 8317 | 1     | paper birch      | <i>Betula papyrifera</i>     | 17               | 22                 | P                 | Twig dieback, poor crown structure with leaning over-extended lateral limbs | Remove    | a-iii                 |
| 8318 | 2     | London plane     | <i>Platanus × acerifolia</i> | 22               | 22                 | F                 | Reduced vigor, expansive surface roots                                      | Remove    | a-iii                 |
| 8319 | 2     | London plane     | <i>Platanus × acerifolia</i> | 29               | 23                 | F                 | Codominant stems, one topped leader   | Remove    | a-iii                 |
| 8320 | 1     | Norway maple     | <i>Acer platanoides</i>      | 22               | 24                 | G                 | Codominant leaders, very large and expansive surface root extending west    | Remove    | a-iii                 |
| 8401 | 1     | red oak          | <i>Quercus rubra</i>         | 2x22             | 14                 | F                 | Codominant stems, upright crown, numerous epicormic sprouts                 | Retain    |                       |
| 8403 | 1     | sweet cherry     | <i>Prunus avium</i>          | 8                | 12                 | F                 | One-sided crown with lean east  | Retain    |                       |
| 8405 | 1     | red oak          | <i>Quercus rubra</i>         | 25               | 22                 | F                 | Codominant leaders, numerous epicormic sprouts                              | Retain    |                       |
| 8407 | 1     | red oak          | <i>Quercus rubra</i>         | 25               | 15                 | F                 | Upright crown, numerous epicormic sprouts                                   | Retain    |                       |
| 8408 | 1     | red oak          | <i>Quercus rubra</i>         | 24               | 14                 | F                 | Self-correcting lean, numerous epicormic sprouts                            | Retain    |                       |
| 8411 | 1     | Norway maple     | <i>Acer platanoides</i>      | 32               | 18                 | F                 | Self-correcting lean, crown asymmetry                                       | Retain    |                       |
| 8416 | 2     | English hawthorn | <i>Crataegus monogyna</i>    | 7,8              | 12                 | F                 | Invasive species; extensive ivy   | Remove    | b-ii-B                |
| 8417 | 2     | sweet cherry     | <i>Prunus avium</i>          | 7                | 10                 | F                 | Invasive species; small and high live crown, ivy                            | Remove    | b-ii-B                |
| 8418 | 2     | sweet cherry     | <i>Prunus avium</i>          | 10               | 8                  | F                 | Invasive species; small and high live crown, ivy                            | Remove    | b-ii-B                |
| 8419 | 2     | sweet cherry     | <i>Prunus avium</i>          | 10               | 14                 | F                 | Invasive species  | Remove    | a-iii                 |
| 8420 | 2     | sweet cherry     | <i>Prunus avium</i>          | 12               | 8                  | P                 | Invasive species; mostly dead   | Remove    | b-ii-C                |
| 8421 | 2     | sweet cherry     | <i>Prunus avium</i>          | 10               | 8                  | P                 | Invasive species; mostly dead   | Remove    | b-ii-C                |
| 8422 | 2     | sweet cherry     | <i>Prunus avium</i>          | 7,8              | 10                 | P                 | Invasive species; very extensive ivy infestation                            | Remove    | b-ii-B                |

| No.  | Sheet | Common Name  | Species Name        | DBH <sup>1</sup> | C-Rad <sup>2</sup> | Cond <sup>3</sup> | Comments   | Treatment | Criteria <sup>4</sup> |
|------|-------|--------------|---------------------|------------------|--------------------|-------------------|--|-----------|-----------------------|
| 8430 | 2     | sweet cherry | <i>Prunus avium</i> | 16               | 16                 | P                 | Invasive species; very extensive ivy infestation, dead and broken branches | Remove    | b-ii-C                |
| 8432 | 2     | sweet cherry | <i>Prunus avium</i> | 22               | 0                  | D                 | Invasive species; Dead   | Remove    | b-ii-C                |
| 8433 | 2     | sweet cherry | <i>Prunus avium</i> | 14               | 12                 | P                 | Invasive species; very extensive ivy infestation, dead and broken branches | Remove    | b-ii-C                |
| 8434 | 2     | sweet cherry | <i>Prunus avium</i> | 8                | 10                 | P                 | Invasive species; very extensive ivy infestation                           | Remove    | b-ii-B                |
| 8435 | 2     | sweet cherry | <i>Prunus avium</i> | 7                | 8                  | F                 | Invasive species; extensive ivy  | Remove    | b-ii-B                |
| 8436 | 2     | sweet cherry | <i>Prunus avium</i> | 10               | 12                 | P                 | Invasive species; very extensive ivy infestation                           | Remove    | b-ii-B                |

<sup>1</sup>DBH is tree diameter measured at 4.5-feet above the ground level, in inches.

<sup>2</sup>C-Rad is crown radius measured in feet.

<sup>3</sup>Cond is an arborist assigned rating to generally describe the condition of individual trees as follows- Dead; Poor; Fair; Good; or, Excellent.

<sup>4</sup>Criteria identifies the applicable approval criteria for proposed tree removal per TDC 33.110(5):

(a) An applicant must satisfactorily demonstrate that at least one of the following criteria are met:

(i) The tree is diseased and:

(A) The disease threatens the structural integrity of the tree; or

(B) The disease permanently and severely diminishes the esthetic value of the tree; or

(C) The continued retention of the tree could result in other trees being infected with a disease that threatens either their

(ii) The tree represents a hazard which may include but not be limited to:

(A) The tree is in danger of falling; or

(B) Substantial portions of the tree are in danger of falling.

(iii) It is necessary to remove the tree to construct proposed improvements based on Architectural Review approval, building permit,

(b) If none of the conditions in TDC 33.110(5)(a) are met, the certified arborist must evaluate the condition of each tree.

(i) *Evergreen Trees*. An evergreen tree which meets any of the following criteria as determined by a certified arborist will not be

(A) Trunk Condition-extensive decay and hollow; or

(B) Crown Development-unbalanced and lacking a full crown;

(ii) *Deciduous Trees*. A deciduous tree which meets any of the following criteria as determined by a certified arborist will not be

(A) Trunk Condition-extensive decay and hollow;

(B) Crown Development-unbalanced and lacking a full crown; or

(C) Structure-Two or more dead limbs.

October 4, 2022

Project #: 27813.0

 Tony Doran  
 City of Tualatin  
 18880 SW Martinazzi Avenue  
 Tualatin, OR 97206

RE: Alden Apartments Townhome Redevelopment – Trip Generation and Distribution/Assignment Letter

Dear Tony:

ColRich (applicant) is proposing to redevelop a portion of the Alden Apartments located in the southeast corner of the SW Martinazzi Avenue/SW Sagert Street intersection in Tualatin. The development plan proposes to remove 15 apartment units and construct 45 townhome units and associated amenities. Access to the townhomes will be provided by the existing driveways to the Alden Apartments on SW Sagert Street and SW Martinazzi Avenue. No new driveways are proposed nor modifications to off-site intersections.

This letter provides trip generation and trip distribution/assignment estimates for the proposed redevelopment in accordance with Tualatin Development Code Section 74.440. As documented herein, the proposed redevelopment is estimated to generate fewer than 500 daily trips and fewer than 60 morning and evening peak hour trips. In addition, the proposed redevelopment is expected to generate fewer than 20 large truck trips per day. Therefore, a full transportation impact analysis is not expected to be required per Tualatin Development Code Section 74.440 and the following trip generation and trip distribution estimates are expected to satisfy the requirements of the Tualatin Development Code.

## TRIP GENERATION

Trip generation estimates were prepared for the proposed redevelopment based on information provided in the standard reference, *Trip Generation Manual, 11<sup>th</sup> Edition*, published by the Institute of Transportation Engineers (ITE, Reference 1). ITE land use code 220 (multi-family housing) was used as a basis for the existing apartments and ITE land use code 215 (single-family attached housing) was used as a basis for the proposed townhomes. Table 1 summarizes the vehicle trip generation estimates for the daily, weekday AM, and weekday PM peak hours.

**Table 1: Vehicle Trip Generation Estimates**

| Land Use                                   | ITE Code | Size (Units) | Daily Trips | Weekday AM Peak Hour |          |           | Weekday PM Peak Hour |           |          |
|--|----------|--------------|-------------|----------------------|----------|-----------|----------------------|-----------|----------|
|  |          |              |             | Total                | In       | Out       | Total                | In        | Out      |
| <b>Existing Use</b>                        |          |              |             |                      |          |           |                      |           |          |
| Apartments                                 | 220      | 15           | 101         | 6                    | 1        | 5         | 8                    | 5         | 3        |
| <b>Proposed Use</b>                        |          |              |             |                      |          |           |                      |           |          |
| Townhomes                                  | 215      | 45           | 324         | 22                   | 7        | 15        | 26                   | 15        | 11       |
| <b>Net New Trips (Proposed – Existing)</b> |          |              | <b>223</b>  | <b>16</b>            | <b>6</b> | <b>10</b> | <b>18</b>            | <b>10</b> | <b>8</b> |

As shown in Table 1, the proposed redevelopment is expected to result in a net increase of 223 daily trips, including 16 trips (6 inbound, 10 outbound) during the AM peak hour and 18 trips (10 inbound, 8 outbound) during the PM peak hour.

Table 2 summarizes the walk + bike + transit trip generation estimates for the daily, weekday AM, and weekday PM peak hours.

**Table 2: Walk + Bike + Transit Trip Generation Estimates**

| Land Use                                   | ITE Code | Size (Units) | Daily Trips <sup>1</sup> | Weekday AM Peak Hour |          |          | Weekday PM Peak Hour |          |          |
|--|----------|--------------|--------------------------|----------------------|----------|----------|----------------------|----------|----------|
|  |          |              |                          | Total                | In       | Out      | Total                | In       | Out      |
| Existing Use                               |          |              |                          |                      |          |          |                      |          |          |
| Apartments                                 | 220      | 15           | -                        | 0                    | 0        | 0        | 0                    | 0        | 0        |
| Proposed Use                               |          |              |                          |                      |          |          |                      |          |          |
| Townhomes                                  | 215      | 45           | -                        | 5                    | 4        | 1        | 8                    | 3        | 5        |
| <b>Net New Trips (Proposed – Existing)</b> |          |              | <b>-</b>                 | <b>5</b>             | <b>4</b> | <b>1</b> | <b>8</b>             | <b>3</b> | <b>5</b> |

1. ITE does not provide daily walk + bike + transit trip rates for ITE land use code 220 or 215.

## TRIP DISTRIBUTION/ASSIGNMENT

The net new vehicle trips shown in Table 1 were distributed onto the study area roadways based on a review of major trip origins and destinations in the study area. Figure 1 shows the estimated trip distribution pattern for the proposed redevelopment. Figure 1 also shows assignment of the net new vehicle trips at the existing driveways and the SW Martinazzi Avenue/SW Sagert Street intersection during the weekday AM and PM peak hours.

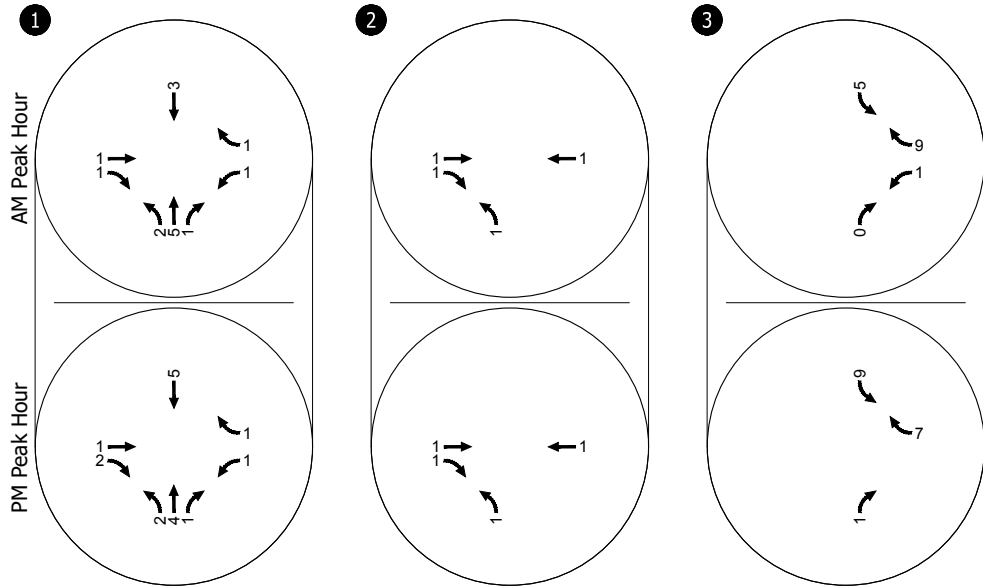
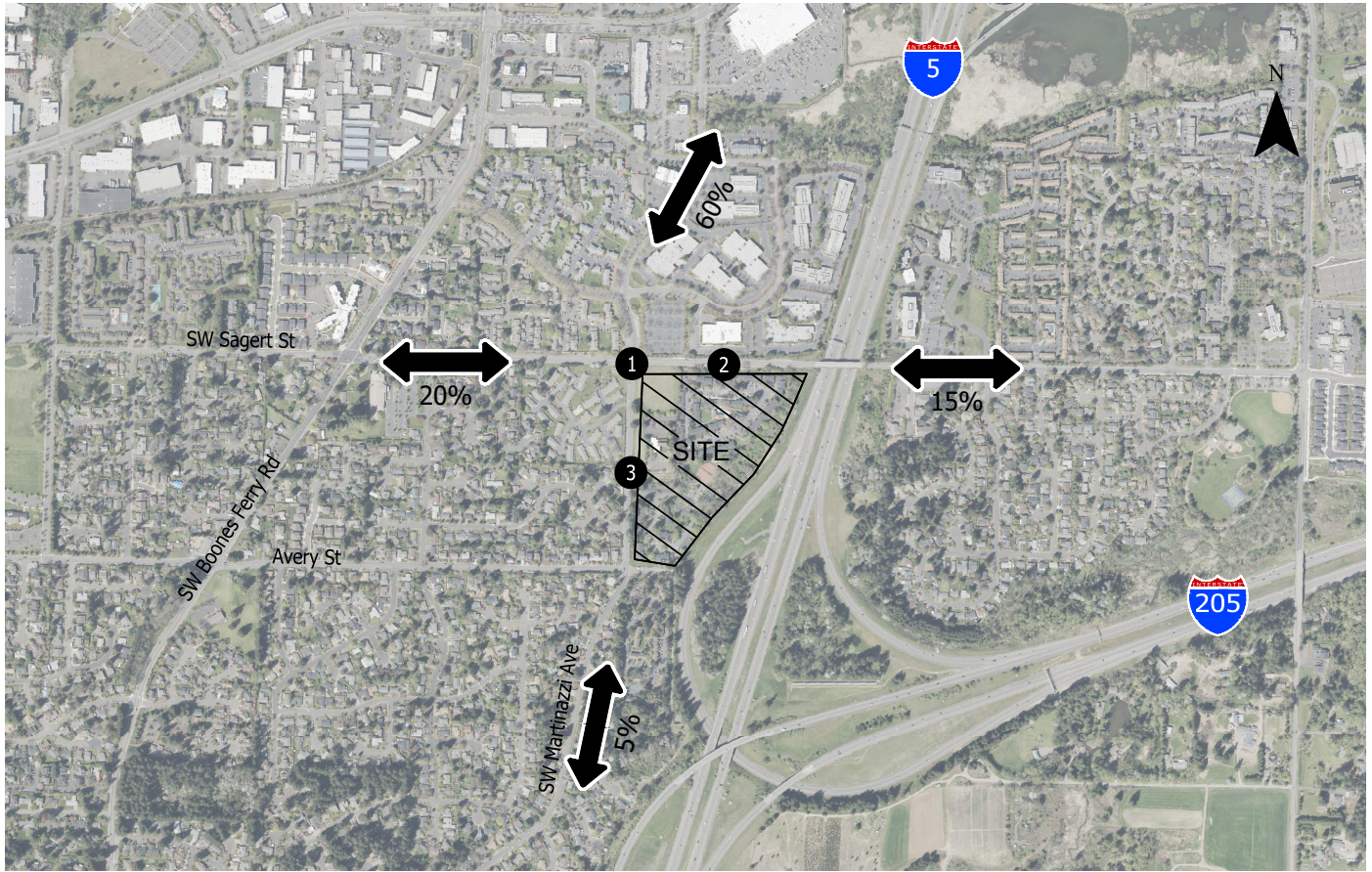
## SIGHT DISTANCE EVALUATION

A sight distance evaluation was conducted at the existing site-access driveways on SW Martinazzi Avenue and SW Sagert Street based on guidance provided in *A Policy on Geometric Design of Highways and Streets* (AASHTO, Reference 2). Per AASHTO, minimum intersection sight distance (ISD) recommendations are determined by several factors, including the design speed of the respective roadways. The posted speed limit on SW Martinazzi Avenue is 25 miles per hour (mph) and the posted speed limit on SW Sagert Street is 35 mph. Table 3 summarizes the minimum ISD recommendations for the site-access driveways based on the posted speed limit.

**Table 3: Sight Distance Evaluation Summary**

| Intersection                               | Posted Speed Limit | AASHTO Minimum ISD Recommendations     |                               | Field Measurements                   | Met? |
|--|--------------------|--|-------------------------------|--------------------------------------|------|
|  |                    | Case B1, Left Turn from the Minor Road | Case B2, Right Turn from Stop |                                      |      |
| SW Martinazzi Avenue/ Site-Access Driveway | 25 MPH             | 280 Feet                               | 240 Feet                      | 450 feet (north)<br>280 feet (south) | Yes  |
| SW Sagert Street/ Site-Access Driveway     | 35 MPH             | 390 Feet                               | 335 Feet                      | 390 Feet (east)<br>390 Feet (west)   | Yes  |

ISD was measured at the site-access driveways in July 2022. Per AASHTO, ISD was measured 14.5 feet from the edge of the nearest travel lane, from a driver's eye height of 3.5 feet, to an object height of 3.5 feet above the roadway surface. As shown in Table 3, field measurements indicate that the minimum ISD requirements are met at both site-access driveways. The following photographs illustrate ISD at the existing site-access driveways.



Estimated Trip Distribution Pattern & Net New Site-Generated Trips  
 Weekday AM and PM Peak Hours  
 Tualatin, Oregon

Figure  
 1



SW Martinazzi Avenue (Facing North)



SW Martinazzi Avenue (Facing South)



SW Sagert Street (Facing West)



SW Sagert Street (Facing East)

## NEXT STEPS

We trust this letter provides you with sufficient information on the trip generation and distribution/assignment estimates associated with the proposed redevelopment and sight distance at the existing site-access driveways. Based on the findings herein, Tualatin Development Code Section 74.440 appears to be met. Please confirm that this letter satisfies applicable code criteria and that a full transportation impact analysis is not required.

Sincerely,  
**KITTELSON & ASSOCIATES, INC.**

Matt Bell  
Associate Planner  
503.535.7435  
[mbell@kittelson.com](mailto:mbell@kittelson.com)



## REFERENCES

1. Institute of Transportation Engineers. *Trip Generation Manual, 11<sup>th</sup> Edition*, 2021.
2. American Association of State Highway and Transportation Officials. *A Policy on Geometric Design of Highways and Streets, 7<sup>th</sup> Edition*. 2018

# 3J CONSULTING

CIVIL ENGINEERING | WATER RESOURCES | COMMUNITY PLANNING

# PRELIMINARY STORMWATER REPORT

Alden Apartments  
7800 SW Sagert Street & 20400 SW Martinazzi Avenue  
Tualatin, OR 97062

September 1, 2022

Prepared For:

Mathew Moiseve  
Colrich Multifamily  
444 West Beech Street, Suite 300  
San Diego, CA 92101



Prepared By:

3J Consulting, Inc.  
9600 SW Nimbus Avenue, Suite 100  
Beaverton, Oregon 97008  
Project No: 22791  
PJP

## TABLE OF CONTENTS

|   |           |
|---|-----------|
| <b>DESIGNER'S CERTIFICATION &amp; STATEMENT .....</b> | <b>1</b>  |
| <b>EXECUTIVE SUMMARY .....</b>                        | <b>2</b>  |
| <b>PROJECT DESCRIPTION .....</b>                      | <b>3</b>  |
| <b>EXISTING CONDITIONS .....</b>                      | <b>4</b>  |
| Site .....  | 4         |
| Flood Map .....                                       | 4         |
| Soil Type & Infiltration.....                         | 4         |
| Drainage.....   | 4         |
| Basin Areas .....                                     | 5         |
| <b>POST-DEVELOPED CONDITIONS .....</b>                | <b>5</b>  |
| Site & Drainage .....                                 | 5         |
| Basin Areas.....                                      | 5         |
| <b>HYDROLOGIC ANALYSIS.....</b>                       | <b>5</b>  |
| Design Guidelines .....                               | 5         |
| Hydrograph Method.....                                | 5         |
| Design Storms .....                                   | 6         |
| Curve Number.....                                     | 6         |
| Time of Concentration.....                            | 6         |
| Basin Runoff.....                                     | 6         |
| <b>WATER QUALITY TREATMENT.....</b>                   | <b>7</b>  |
| Design Criteria .....                                 | 7         |
| Required Treatment Area .....                         | 7         |
| LIDA Feasibility .....                                | 7         |
| Water Quality Approaches.....                         | 7         |
| <b>HYDROMODIFICATION MANAGEMENT .....</b>             | <b>8</b>  |
| Hydromodification Assessment.....                     | 8         |
| Hydromodification Approaches .....                    | 8         |
| <b>DOWNSTREAM ANALYSIS .....</b>                      | <b>9</b>  |
| <b>WATER QUANTITY MANAGEMENT .....</b>                | <b>9</b>  |
| <b>CONVEYANCE ANALYSIS .....</b>                      | <b>10</b> |
| <b>OPERATIONS &amp; MAINTENANCE .....</b>             | <b>10</b> |
| <b>REFERENCES .....</b>                               | <b>10</b> |
| <b>TECHNICAL APPENDIX .....</b>                       | <b>10</b> |

## **LIST OF FIGURES**

|                               |   |
|-------------------------------|---|
| Figure 1 - Vicinity Map.....  | 3 |
| Figure 2 - Site Location..... | 4 |

## **LIST OF TABLES**

|   |    |
|---|----|
| Table 1 - Existing Basin Areas.....                         | 5  |
| Table 2 - Post-Developed Basin Areas .....                  | 5  |
| Table 3 - Design Storms.....                                | 6  |
| Table 4 - Peak Runoff Rates.....                            | 6  |
| Table 5 - Infiltration Planters (WQ Compliance) .....       | 7  |
| Table 6 - Summary of Approaches .....                       | 8  |
| Table 7 - Infiltration Planters (Hydromod Compliance) ..... | 9  |
| Table 8 - Required Release Rates .....                      | 10 |

---

## **DESIGNER'S CERTIFICATION & STATEMENT**

I hereby certify that this Preliminary Stormwater Management Report for the Alden Apartments development has been prepared by me or under my supervision and meets minimum standards of the City of Tualatin, Clean Water Services, ODOT, and normal standards of engineering practice. I hereby acknowledge and agree that the jurisdiction does not and will not assume liability for the sufficiency, suitability, or performance of drainage facilities designed by me.



## EXECUTIVE SUMMARY

The Alden Apartments project is proposed at 7800 SW Sagert Street & 20400 SW Martinazzi Avenue (tax lot 2S125BA0100), Tualatin, Washington County, Oregon. The property is 16.53 ac in size. This project is within the jurisdictions of City of Tigard and CWS. The project discharges to storm drain infrastructure within ODOT ROW.

This project proposes to redevelop 1.85 acres of the 16.53-ac lot. Proposed improvements include twelve (12) new apartment buildings, parking lots, other hardscaping, landscaping, and appurtenant utility improvements. Due to the amount of impervious area modified/created, stormwater management approaches must be proposed and will be addressed as follows:

- Water Quality Treatment
  - Two (2) Infiltration Planters are proposed to treat runoff from post-developed basins in the northern and southern portions of the site.
  - A Proprietary Treatment Device (BayFilter Manhole) is proposed to treat runoff from the post-developed basin consisting of the centrally located, main redevelopment area.
- Hydromodification Management
  - The proposed Infiltration Planters mentioned above will provide hydromodification management for their contributing basins.
  - A 10,500-cf Underground Infiltration Facility is proposed to provide hydromodification management for its contributing basin (main redevelopment area).
- Water Quantity Management
  - A Downstream Analysis will be included in the Final Stormwater Report. If downstream deficiencies exist, proposed detention/retention facilities will be designed to mitigate the 25-yr storm.
  - Since the project discharges to ODOT storm drain infrastructure, proposed detention/retention facilities will be designed to mitigate the 50-yr storm.

An Operations & Maintenance Plan will be provided in the Final Stormwater Report for all stormwater management facilities.

A Conveyance Analysis will be provided in the Final Stormwater Report demonstrating sufficient flow capacity in the proposed private storm drain systems.

Please refer to this project's Construction Plans for locations and construction details of all stormwater management facilities.

The purpose of this report is to accomplish the following.

- Describe pre- and post-developed basins and drainage;
- Describe the design and analysis of the proposed stormwater management facilities; and,
- Demonstrate compliance with City of Tualatin, Clean Water Services, and ODOT standards pertaining to stormwater management.



## PROJECT DESCRIPTION

The Alden Apartments project is proposed at 7800 SW Sagert Street & 20400 SW Martinazzi Avenue, Tualatin, Oregon. The property is 16.53 ac in size. This project is within the jurisdictions of City of Tigard and Clean Water Services (CWS). The project will also discharge to storm drain infrastructure within ODOT right-of-way (ROW).

This project proposes to redevelop 1.85 acres of the 16.53-ac lot. Proposed improvements include new apartment buildings, parking lots, other hardscaping, landscaping, and appurtenant utility improvements. Due to the amount of impervious area modified/created, stormwater management approaches must be proposed. Runoff from the project site ultimately discharges to Saum Creek.

The design and analysis of required stormwater management approaches will be per City of Tualatin standards, CWS' *Design & Construction Standards for Sanitary Sewer & Surface Water Management* (CWS D&C; 2019), and ODOT's *Hydraulics Design Manual* (Apr 2014).

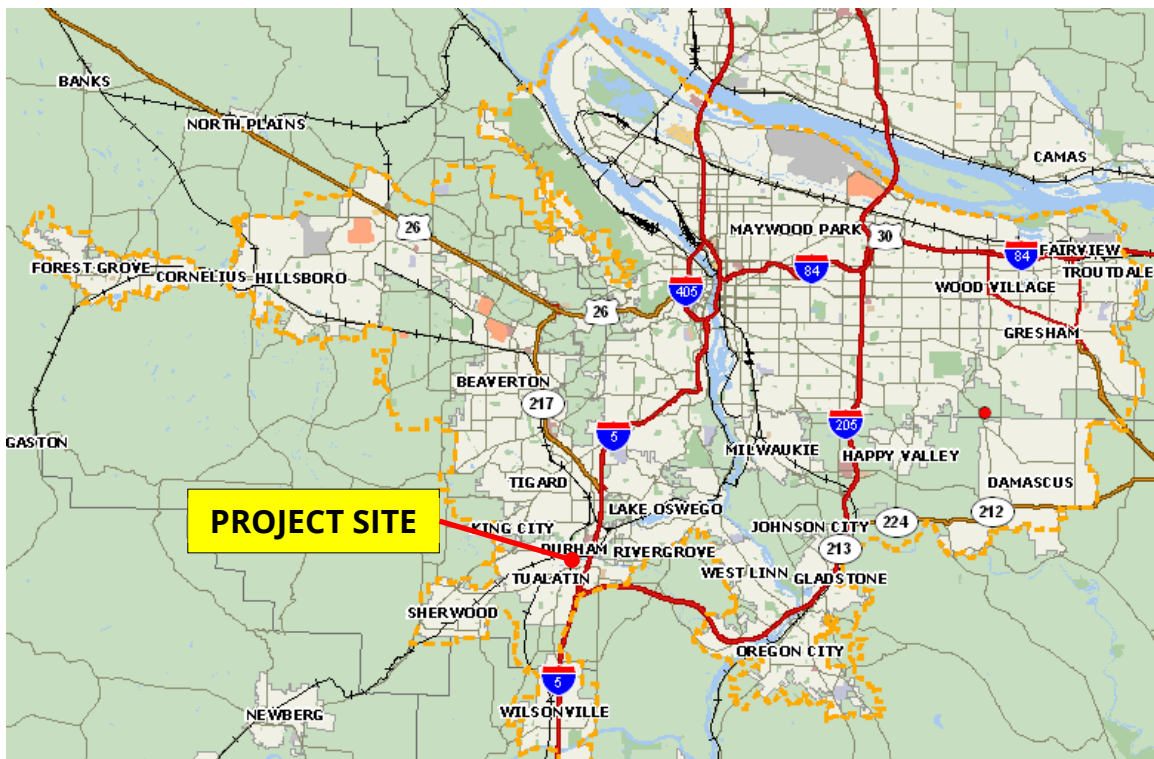


Figure 1 - Vicinity Map

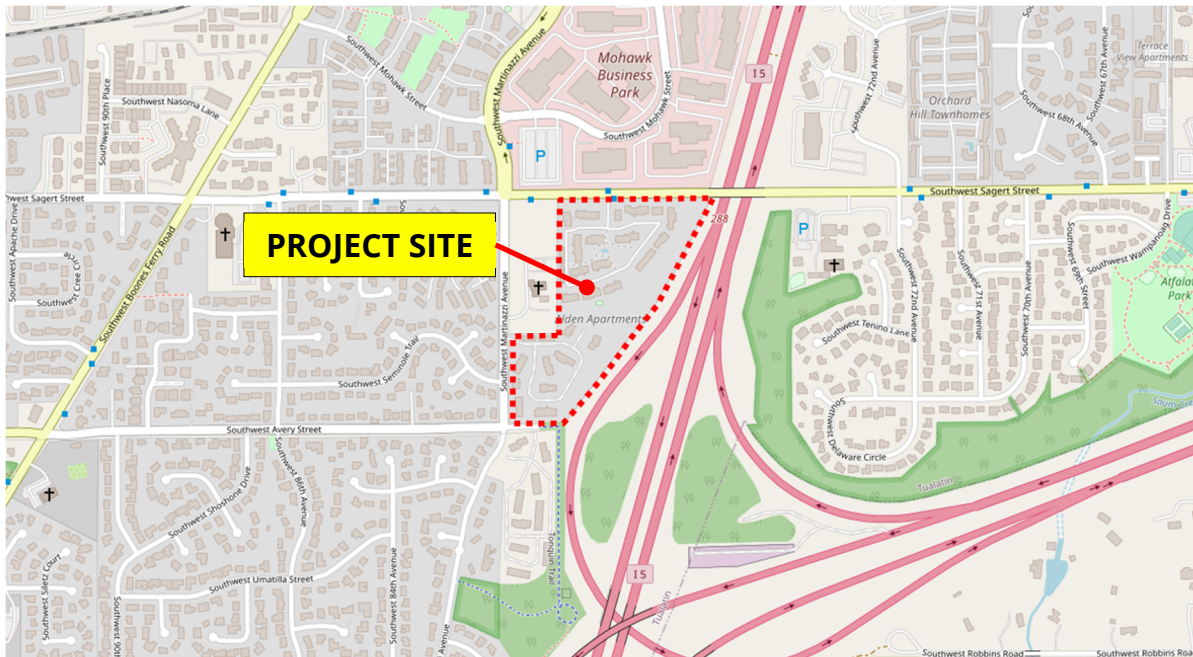


Figure 2 – Site Location

## EXISTING CONDITIONS

### Site

In existing conditions, the project site is occupied by The Alden apartment complex, consisting of multiple apartment buildings, parking lots, driveways, other hardscaping, and landscaping. The property has a size of 16.53 ac; however, this project will result in redeveloping 1.85 acres onsite (project site). The two onsite basketball courts, two adjacent apartment buildings, and the parking lot nearest the court will be demolished for this redevelopment.

The project site is noncontiguous and was divided into three (3) basins for design and analysis (see Technical Appendix: Exhibits – Existing Conditions). The basins were denoted as North Basin, Main Basin, and South Basin.

### Flood Map

The site is located within Zone X (unshaded) per flood insurance rate map (FIRM) community-panel number 41067C0607E (See Technical Appendix: Exhibits – FIRMette). FEMA's definition of Zone X (un-shaded) is an area of minimal flood hazard.

### Soil Type & Infiltration

USDA Web Soil Survey indicates that the project site is underlain with Hillsboro Loam, which is categorized as hydrologic soil group B (See Technical Appendix: Exhibits – Hydrologic Soil Group). Per CWS D&C, Hillsboro Loam is expected to have an infiltration rate of approximately 2 in/hr; therefore, infiltration-based facilities will be modeled with this design rate for preliminary sizing. Infiltration rates will be confirmed with further testing.

### Drainage

The project site either drains directly to the existing vegetated channel to the east or to the southeast corner of the property to two (2) existing catch basins, which proceed to discharge to the vegetated channel. The channel conveys flow to storm drain infrastructure within the ODOT right-of-way, which conveys flow easterly for approximately 0.5 miles and discharges to Saum Creek.



### Basin Areas

Table 1 shows the existing impervious and pervious areas for each basin (See Technical Appendix: Exhibits – Existing Conditions). All existing impervious areas in the basins are expected to be modified.

| Basin | Impervious Area |      | Pervious Area |      | Subtotal Area |      |
|-------|-----------------|------|---------------|------|---------------|------|
|       | sf              | ac   | sf            | ac   | sf            | ac   |
| North | 967             | 0.02 | 5,921         | 0.14 | 6,888         | 0.16 |
| Main  | 30,356          | 0.70 | 35,260        | 0.81 | 65,616        | 1.51 |
| South | 1,907           | 0.04 | 6,000         | 0.14 | 7,907         | 0.18 |
| Total | 33,230          | 0.76 | 47,181        | 1.08 | 80,411        | 1.85 |

**Table 1 – Existing Basin Areas**

## POST-DEVELOPED CONDITIONS

### Site & Drainage

This project proposes twelve (12) new apartment buildings, parking lots, other hardscaping, landscaping, and appurtenance utilities. The project also proposes storm drain infrastructure to capture and convey runoff from the post-developed basins to stormwater management facilities before discharging to the vegetated channel to the east as in existing conditions (see Technical Appendix: Exhibits – Post-Developed Conditions).

### Basin Areas

Table 2 shows the post-developed impervious and pervious areas for each basin (See Technical Appendix: Exhibits – Post-Developed Conditions).

| Basin | Impervious Area |      | Pervious Area |      | Subtotal Area |      |
|-------|-----------------|------|---------------|------|---------------|------|
|       | sf              | ac   | sf            | ac   | sf            | ac   |
| North | 6,428           | 0.15 | 460           | 0.01 | 6,888         | 0.16 |
| Main  | 58,146          | 1.33 | 7,470         | 0.17 | 65,616        | 1.51 |
| South | 6,836           | 0.16 | 1,071         | 0.02 | 7,907         | 0.18 |
| Total | 71,410          | 1.64 | 9,001         | 0.21 | 80,411        | 1.85 |

**Table 2 – Post-Developed Basin Areas**

When comparing Tables 1 & 2, the project proposes 38,180 sf (i.e., 71,410 – 33,230) of new impervious area.

## HYDROLOGIC ANALYSIS

### Design Guidelines

The site is located within the jurisdictions of the City of Tualatin and Clean Water Services (CWS), and discharges to storm drain infrastructure under ODOT jurisdiction. The guidelines used for the design of this project reflect current City of Tualatin standards, CWS D&C, and ODOT *Hydraulics Design Manual*.

### Hydrograph Method

Naturally occurring rainstorms dissipate over long periods of time. An effective way of estimating storm rainfall is by using the hydrograph method. The Santa Barbara Urban Hydrograph (SBUH) method was used to develop runoff rates, which follows City, CWS, and ODOT standards. The computer software XPSTORM was used to perform SBUH calculations to compare predeveloped and post-developed runoff responses.



## Design Storms

The Type 1A rainfall distribution (24-hr duration) was used in conjunction with the SBUH. Table 3 shows total precipitation depths referenced from the CWS D&C, which were used as multipliers for the Type 1A distribution to develop the rainfall distribution for each recurrence interval.

| Recurrence Interval (yr) | Precipitation Depth (in) |
|--------------------------|--------------------------|
| 2                        | 2.50                     |
| 5                        | 3.10                     |
| 10                       | 3.45                     |
| 25                       | 3.90                     |
| 50                       | 4.20                     |

**Table 3 – Design Storms**

## Curve Number

The curve number represents runoff potential from the ground. The major factors for determining runoff curve numbers (CN) are hydrologic soil group, cover type, treatment, hydrologic condition, and antecedent runoff condition. Table 2-2a from the TR-55 *Urban Hydrology for Small Watersheds* manual was used to determine the appropriate curve numbers (See Technical Appendix: Exhibits – Curve Numbers).

As indicated previously, the site is underlain by soil type B. In predeveloped conditions, pervious areas were modeled with a CN of 55, which is associated with woods in good condition. Per CWS D&C, modified impervious areas were modeled with a CN of 75. In post-developed conditions, pervious areas were modeled with a CN of 61, which is associated with lawn in good condition. Impervious areas were modeled with a CN of 98.

## Time of Concentration

In accordance with the CWS D&C, the predeveloped time of concentration (Tc) was evaluated per the USDA's TR-55 manual. The Tc's for North, Main, and South Basins were calculated to be 9, 7, and 8 minutes, respectively (See Technical Appendix: Calculations – Time of Concentration). For conservativeness, a Tc of 10 minutes was assumed for all predeveloped basins. The post-developed Tc for all basins was assumed to be 5 minutes.

## Basin Runoff

Pre- and post-developed peak runoff rates for each basin, evaluated using SBUH, are shown in Table 4 (See Technical Appendix: Hydrographs).

| Recurrence Interval (yr) | North Basin Peaks (cfs) |       |       | Main Basin Peaks (cfs) |       |       | South Basin Peaks (cfs) |       |       |
|--------------------------|-------------------------|-------|-------|------------------------|-------|-------|-------------------------|-------|-------|
|                          | Pre                     | Post  | Incr. | Pre                    | Post  | Incr. | Pre                     | Post  | Incr. |
| 2                        | 0.004                   | 0.090 | 0.086 | 0.063                  | 0.769 | 0.706 | 0.002                   | 0.085 | 0.083 |
| 5                        | 0.008                   | 0.113 | 0.105 | 0.125                  | 0.964 | 0.839 | 0.004                   | 0.107 | 0.103 |
| 10                       | 0.010                   | 0.127 | 0.117 | 0.166                  | 1.079 | 0.913 | 0.005                   | 0.120 | 0.115 |
| 25                       | 0.014                   | 0.145 | 0.001 | 0.222                  | 1.232 | 1.010 | 0.007                   | 0.136 | 0.129 |
| 50                       | 0.018                   | 0.157 | 0.139 | 0.271                  | 1.335 | 1.064 | 0.010                   | 0.147 | 0.137 |

**Table 4 – Peak Runoff Rates**



## WATER QUALITY TREATMENT

### Design Criteria

Per CWS D&C, stormwater treatment facilities are required to be designed to treat all runoff produced during the water quality storm event. CWS defines this event as 0.36" of precipitation falling over 4 hours with a return period of 96-hours.

### Required Treatment Area

Per CWS D&C, the impervious area requiring water quality treatment is evaluated as the new impervious area plus three times the modified impervious area; the calculation is shown below. It was previously indicated that the project results in 38,180 and 33,230 sf of new and modified impervious area, respectively.

$$\begin{aligned} \text{Required Treatment Area} &= \text{New Impervious Area} + 3 \times \text{Modified Impervious Area} \\ &= 38,180 \text{ sf} + 3 \times 33,230 \text{ sf} = 137,870 \text{ sf} \end{aligned}$$

The calculated treatment area exceeds the post-developed impervious area (i.e., 71,410 sf); therefore, the required treatment area is 71,410 sf.

### LIDA Feasibility

Per Section 4.05 of the CWS D&C, new development shall reduce its hydrologic impacts through Low Impact Development Approaches (LIDA) unless the criteria in 4.05.2 apply.

### Water Quality Approaches

#### Infiltration Planters

Infiltration Planters are proposed to treat runoff from North & South Basins (see Technical Appendix: Exhibits – Post-Developed Conditions). The facilities were modeled in XPSTORM to demonstrate that all runoff produced during the water quality storm will be filtered through the growing medium with no overflow bypass.

Each Planter will consist of 18" of surface ponding, 18" of growing medium, and 18" of drain rock. Overflow will be managed by an 18"-diameter beehive structure with RIM 12" above the bottom of the surface pond; this provides 6" of freeboard. The infiltration rate for the growing medium is assumed to be 2 in/hr. The porosity of the drain rock is assumed to be 40%. Table 5 outlines the resulting ponding depths within the Planters.

| Post-Dev. Basin | CIA (sf) | Infiltration Planters |                                |
|-----------------|----------|-----------------------|--------------------------------|
|                 |          | Area (sf)             | WQ Ponding (in) <sup>(1)</sup> |
| North           | 6,428    | 520                   | 0.6                            |
| South           | 6,836    | 500                   | 0.6                            |

**Table 5 – Infiltration Planters (WQ Compliance)**

<sup>(1)</sup>Ponding during WQ storm (see Technical Appendix: Hydrographs – Stage Hydrographs)

The table above demonstrates that all runoff during the water quality storm is expected to infiltrate through the growing medium without bypass.

#### Proprietary Treatment Device

Due to site constraints, a BayFilter Manhole (Proprietary Treatment Device) is proposed to treat runoff from the Main Basin prior to discharging to an Underground Infiltration Facility (see Technical Appendix: Exhibits – Post-Developed Conditions). The treatment manhole will be equipped with BayFilter 545 cartridges, which have a treatment capacity of 45 gpm (0.10 cfs). The following equation was used in conjunction with the water quality storm event to determine the water quality flow rate for the treatment manhole.



$$\text{Water Quality Flow (WQF)} = (\text{Required Treatment Area, sf}) \times 0.36'' \times (1 \text{ ft}/12 \text{ in}) / (4 \text{ hr} \times 3600 \text{ sec}/1 \text{ hr})$$

$$= (58,146 \text{ sf}) \times 0.36'' \times (1 \text{ ft}/12 \text{ in}) / (4 \text{ hr} \times 3600 \text{ sec}/1 \text{ hr}) = \underline{0.12 \text{ cfs}}$$

Two (2) BayFilter 545 cartridges can be implemented to treat the WQF above. The treatment capacity of this facility is 0.20 cfs.

Summary of Approaches

Table 6 summarizes the provided treatment by each proposed approach.

| Post-Dev. Basin | Water Quality Approach       | Impervious Area (sf) |
|-----------------|------------------------------|----------------------|
| North           | Infiltration Planter         | 6,428                |
| Main            | Proprietary Treatment Device | 58,146               |
| South           | Infiltration Planter         | 6,836                |
| Total           | -                            | 71,410               |

**Table 6 - Summary of Approaches**

The table indicates that the proposed water quality approaches are expected to sufficiently treat the Required Treatment Area.

Pretreatment Manhole

A pretreatment manhole, per CWS Standard Dwg. No. 250, is proposed upstream of the BayFilter Manhole. Inline pretreatment manholes are sized using the 25-year post-developed runoff rate for the contributing drainage area. As indicated in Table 4, the 25-yr peak flow for Main Basin was evaluated to be 1.23 cfs. Per CWS D&C, the following equation was used to size the manhole.

$$\text{Sump Volume} = (20 \text{ cf}/1 \text{ cfs}) \times (25\text{-yr Peak Flow}) = (20 \text{ cf}/1 \text{ cfs}) \times 1.23 \text{ cfs} = 24.6 \text{ cf}$$

Assuming a 60" manhole, this sump volume results in a required sump depth of 1.25 ft. The sump depth will be rounded up to minimum 3 ft, which will be proposed below the invert of the snout.

**HYDROMODIFICATION MANAGEMENT**

**Hydromodification Assessment**

Per the CWS D&C, a Hydromodification Assessment was performed to determine the Project Category of the project site. It was established previously that runoff from the project site ultimately discharges to Saum Creek. The assessment was based on the following factors.

- Reach-Specific Risk Level – The CWS Hydromod Planning Tool indicates that the receiving reach within Saum Creek has a “Moderate” Risk Level.
- Development Class – The CWS Hydromod Planning Tool indicates that the entire project site has a Development Class of “Developed”.
- Project Size – Project Size is based on the new & modified impervious areas created by the project. The total new and modified impervious area results in a “Medium” Project Size.

Based on the contributing factors above, this project is considered to be Category 2.

**Hydromodification Approaches**

Infiltration Planters

Infiltration LIDA Facilities will be implemented to the maximum extent practicable. The two (2) Infiltration Planters per Table 5 will also serve as hydromodification approaches and be designed per Standard Sizing. Each Planter will capture runoff generated from the 10-yr, 24-hr storm from its contributing basin and



infiltrate the volume within 36 hours. Table 7 shows the evaluated peak ponding depths during the 10-yr storm for each Planter.

| Post-Dev. Basin | CIA (sf) | Infiltration Planters |                                   |
|-----------------|----------|-----------------------|-----------------------------------|
|                 |          | Area (sf)             | 10-yr Ponding (in) <sup>(1)</sup> |
| North           | 6,428    | 520                   | 10.1                              |
| South           | 6,836    | 500                   | 9.6                               |

**Table 7 - Infiltration Planters (Hydromod Compliance)**

<sup>(1)</sup>Ponding during 10-yr storm (see Technical Appendix: Hydrographs – Stage Hydrographs)

The table above demonstrates that there is no expected overflow bypass during 10-yr storm in each Planter; all flow is expected to infiltrate through the growing medium and into the underlying soil

Underground Infiltration Facility

Runoff from Main Basin will be managed by a proposed Underground Infiltration Facility. Assuming a design infiltration rate of 2 in/hr for the native soil, it was demonstrated that a facility with an area of 2,100 sf and maximum depth of 5 ft (i.e., 10,500-cf storage capacity) would sufficiently detain the 10-yr runoff volume and infiltrate it within 36 hours. The 10-yr peak ponding depth within this facility was evaluated to be 3.90 ft (see Technical Appendix: Hydrographs – Stage Hydrographs).

**DOWNSTREAM ANALYSIS**

Per TMC 3-5-210, a Review of the Downstream System must be performed to demonstrate public storm lines flowing at a maximum 82% full. The analysis will extend downstream to a point at which the runoff from the development in a build out condition is less than 10% of the total runoff of the basin in its current development status; the analysis will extend downstream for at least 1/4-mile. The downstream system will be analyzed for the 2-, 5-, 10- and 25-yr storm events.

Data on the downstream system has been requested and the Review of the Downstream System will be provided in the Final Stormwater Report. If downstream deficiencies exist, onsite detention/retention facilities will be sized to mitigate the 25-yr, 24-hr peak flow in addition to other water quantity management requirements.

**WATER QUANTITY MANAGEMENT**

All runoff for up to and including the 10-yr storm event is expected to be infiltrated in the Planters and Underground Infiltration Facility to comply with hydromodification requirements. Results of the Downstream Analysis may require detention of the 25-yr, 24-hr storm event. Furthermore, since the project is discharging to ODOT storm drain infrastructure, the post-developed 50-yr, 24-hr peak flow must be mitigated to predeveloped levels.

Table 8 outlines the required release rates for each basin (or cumulatively if over-detention is needed). Full details of the detention/retention facilities will be provided in the Final Stormwater Report.



| Post-Dev. Basin | Predev. Runoff Rates (cfs) |       |
|-----------------|----------------------------|-------|
|                 | 25-yr                      | 50-yr |
| North           | 0.014                      | 0.018 |
| Main            | 0.222                      | 0.271 |
| South           | 0.007                      | 0.010 |
| Total           | 0.243                      | 0.299 |

**Table 8 – Required Release Rates**

## CONVEYANCE ANALYSIS

Conveyance calculations will be provided in the Final Stormwater Report that demonstrates sufficient flow capacity in proposed private storm drain systems during the 25-yr storm and overland flow to the public stormwater system during the 100-yr storm in accordance with City and CWS standards.

## OPERATIONS & MAINTENANCE

An Operations & Maintenance (O&M) Plan will be prepared and provided in the Final Stormwater Report for any proposed privately maintained stormwater management facilities. The O&M Plan will be prepared per CWS D&C.

## REFERENCES

1. *Design & Construction Standards for Sanitary Sewer & Surface Water Management*. December 2019, Clean Water Services
2. *Urban Hydrology for Small Watersheds (Technical Release 55)*. June 1986, U.S. Department of Agriculture

## TECHNICAL APPENDIX

### Exhibits

- FIRMette
- Hydrologic Soil Group
- Curve Numbers
- Existing Conditions
- Post-Developed Conditions

### Calculations

- Time of Concentration

### Hydrographs

- Runoff Hydrographs
- Stage Hydrographs

**Downstream Analysis** (Will be included in Final Stormwater Report)

**Operations & Maintenance Plan** (Will be included in Final Stormwater Report)



# EXHIBITS

# National Flood Hazard Layer FIRMette



























122°45'56"W 45°22'42"N



Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- |                                    |   |  |
|------------------------------------|---|--|
| <b>SPECIAL FLOOD HAZARD AREAS</b>  |    | Without Base Flood Elevation (BFE)<br><i>Zone A, V, A99</i>  |
|                                    |    | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>   |
|                                    |    | Regulatory Floodway  |
| <b>OTHER AREAS OF FLOOD HAZARD</b> |    | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
|                                    |    | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>  |
|                                    |    | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>  |
|                                    |    | Area with Flood Risk due to Levee <i>Zone D</i>  |
| <b>OTHER AREAS</b>                 |    | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>   |
|                                    |    | Effective LOMRs  |
| <b>GENERAL STRUCTURES</b>          |    | Area of Undetermined Flood Hazard <i>Zone D</i>  |
|                                    |    | Channel, Culvert, or Storm Sewer   |
|                                    |    | Levee, Dike, or Floodwall  |
| <b>OTHER FEATURES</b>              |    | Cross Sections with 1% Annual Chance Water Surface Elevation   |
|                                    |    | Coastal Transect   |
|                                    |    | Base Flood Elevation Line (BFE)  |
|                                    |    | Limit of Study   |
|                                    |    | Jurisdiction Boundary  |
| <b>MAP PANELS</b>                  |    | Coastal Transect Baseline  |
|                                    |   | Profile Baseline   |
|                                    |  | Hydrographic Feature   |
|                                    |   | Digital Data Available   |
|                                    |  | No Digital Data Available  |
|                                    |  | Unmapped   |
|                                    |  | The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.                                     |



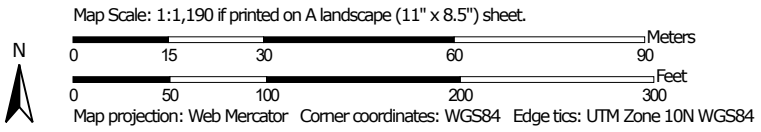
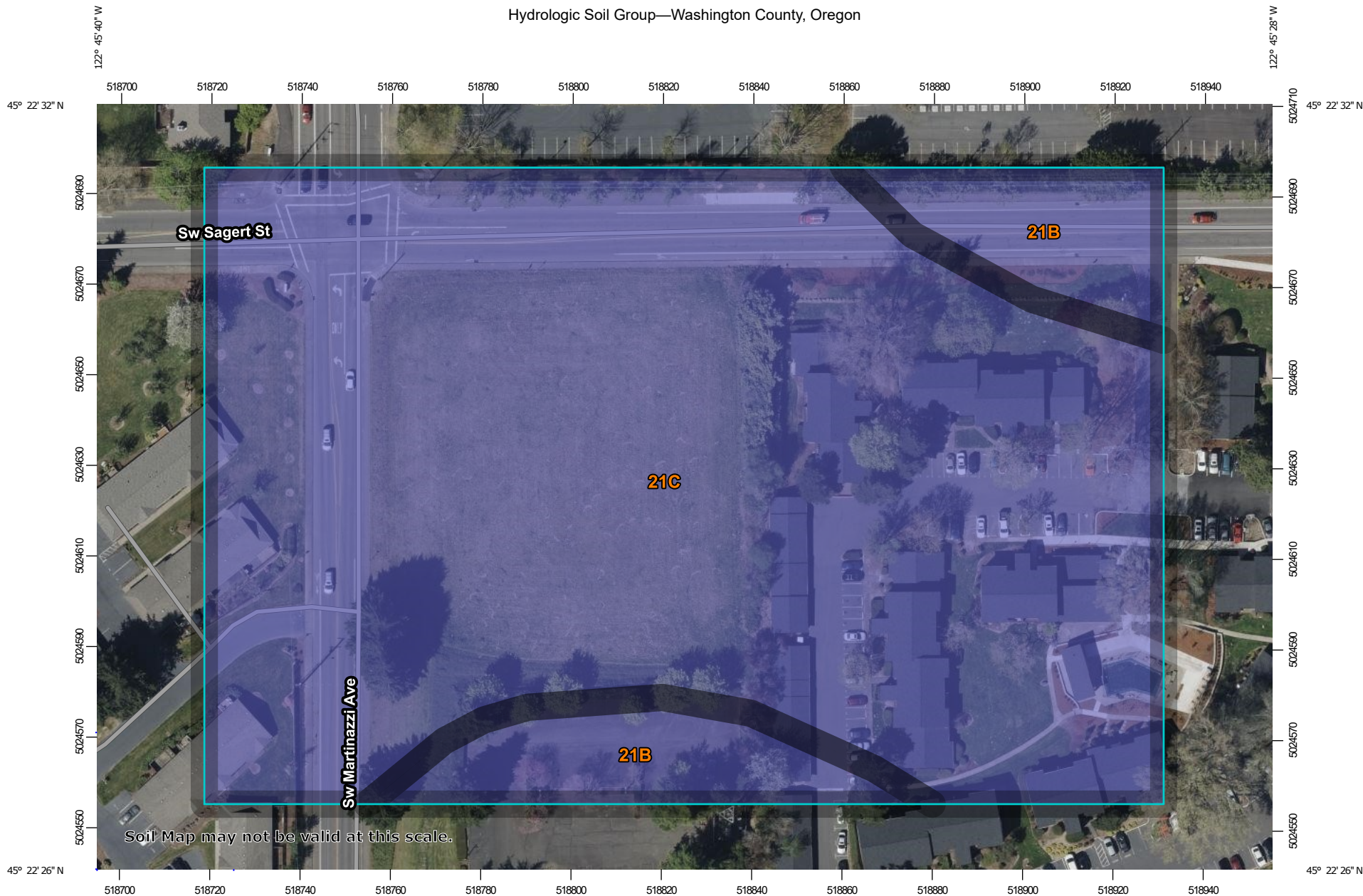
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **7/5/2022 at 5:23 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Hydrologic Soil Group—Washington County, Oregon



### MAP LEGEND

**Area of Interest (AOI)**









 Area of Interest (AOI)

**Soils**

**Soil Rating Polygons**

-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

**Soil Rating Lines**

-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

**Soil Rating Points**




-  A
-  A/D
-  B
-  B/D

-  C
-  C/D
-  D
-  Not rated or not available


**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Washington County, Oregon  
 Survey Area Data: Version 21, Oct 27, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 16, 2021—Apr 18, 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

| Map unit symbol                    | Map unit name                          | Rating | Acres in AOI | Percent of AOI |
|------------------------------------|--|--------|--------------|----------------|
| 21B                                | Hillsboro loam, 3 to 7 percent slopes  | B      | 0.9          | 12.3%          |
| 21C                                | Hillsboro loam, 7 to 12 percent slopes | B      | 6.5          | 87.7%          |
| <b>Totals for Area of Interest</b> |  |        | <b>7.4</b>   | <b>100.0%</b>  |

### Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

### Rating Options

*Aggregation Method:* Dominant Condition

*Component Percent Cutoff: None Specified*

*Tie-break Rule: Higher*

**Table 2-2a** Runoff curve numbers for urban areas <sup>1/</sup>

| Cover description  | Average percent<br>impervious area <sup>2/</sup> | Curve numbers for<br>hydrologic soil group |    |    |    |
|--|--|--|----|----|----|
|  |  | A  | B  | C  | D  |
| <b>Fully developed urban areas (vegetation established)</b>  |  |  |    |    |    |
| Open space (lawns, parks, golf courses, cemeteries, etc.) <sup>3/</sup> :  |  |  |    |    |    |
| Poor condition (grass cover < 50%) .....   |  | 68   | 79 | 86 | 89 |
| Fair condition (grass cover 50% to 75%) .....  |  | 49   | 69 | 79 | 84 |
| Good condition (grass cover > 75%) .....   |  | 39   | 61 | 74 | 80 |
| Impervious areas:  |  |  |    |    |    |
| Paved parking lots, roofs, driveways, etc.<br>(excluding right-of-way) .....   |  | 98   | 98 | 98 | 98 |
| Streets and roads:   |  |  |    |    |    |
| Paved; curbs and storm sewers (excluding<br>right-of-way) .....  |  | 98   | 98 | 98 | 98 |
| Paved; open ditches (including right-of-way) .....   |  | 83   | 89 | 92 | 93 |
| Gravel (including right-of-way) .....  |  | 76   | 85 | 89 | 91 |
| Dirt (including right-of-way) .....  |  | 72   | 82 | 87 | 89 |
| Western desert urban areas:  |  |  |    |    |    |
| Natural desert landscaping (pervious areas only) <sup>4/</sup> .....   |  | 63   | 77 | 85 | 88 |
| Artificial desert landscaping (impervious weed barrier,<br>desert shrub with 1- to 2-inch sand or gravel mulch<br>and basin borders) ..... |  | 96   | 96 | 96 | 96 |
| Urban districts:   |  |  |    |    |    |
| Commercial and business .....  | 85   | 89   | 92 | 94 | 95 |
| Industrial .....   | 72   | 81   | 88 | 91 | 93 |
| Residential districts by average lot size:   |  |  |    |    |    |
| 1/8 acre or less (town houses) .....   | 65   | 77   | 85 | 90 | 92 |
| 1/4 acre .....   | 38   | 61   | 75 | 83 | 87 |
| 1/3 acre .....   | 30   | 57   | 72 | 81 | 86 |
| 1/2 acre .....   | 25   | 54   | 70 | 80 | 85 |
| 1 acre .....   | 20   | 51   | 68 | 79 | 84 |
| 2 acres .....  | 12   | 46   | 65 | 77 | 82 |

**Developing urban areas**

Newly graded areas  
(pervious areas only, no vegetation) <sup>5/</sup> .....

|  |    |    |    |    |
|--|----|----|----|----|
|  | 77 | 86 | 91 | 94 |
|--|----|----|----|----|

Idle lands (CN's are determined using cover types  
similar to those in table 2-2c).

<sup>1</sup> Average runoff condition, and  $I_a = 0.2S$ .

<sup>2</sup> The average percent impervious area shown was used to develop the composite CN's. Other assumptions are as follows: impervious areas are directly connected to the drainage system, impervious areas have a CN of 98, and pervious areas are considered equivalent to open space in good hydrologic condition. CN's for other combinations of conditions may be computed using figure 2-3 or 2-4.

<sup>3</sup> CN's shown are equivalent to those of pasture. Composite CN's may be computed for other combinations of open space cover type.

<sup>4</sup> Composite CN's for natural desert landscaping should be computed using figures 2-3 or 2-4 based on the impervious area percentage (CN = 98) and the pervious area CN. The pervious area CN's are assumed equivalent to desert shrub in poor hydrologic condition.

<sup>5</sup> Composite CN's to use for the design of temporary measures during grading and construction should be computed using figure 2-3 or 2-4 based on the degree of development (impervious area percentage) and the CN's for the newly graded pervious areas.

**Table 2-2c** Runoff curve numbers for other agricultural lands <sup>1/</sup>

| Cover description  | Hydrologic condition | Curve numbers for hydrologic soil group |    |    |    |
|--|----------------------|---|----|----|----|
|  |                      | A                                       | B  | C  | D  |
| Pasture, grassland, or range—continuous forage for grazing. <sup>2/</sup>    | Poor                 | 68                                      | 79 | 86 | 89 |
|  | Fair                 | 49                                      | 69 | 79 | 84 |
|  | Good                 | 39                                      | 61 | 74 | 80 |
| Meadow—continuous grass, protected from grazing and generally mowed for hay. | —                    | 30                                      | 58 | 71 | 78 |
| Brush—brush-weed-grass mixture with brush the major element. <sup>3/</sup>   | Poor                 | 48                                      | 67 | 77 | 83 |
|  | Fair                 | 35                                      | 56 | 70 | 77 |
|  | Good                 | 30 <sup>4/</sup>                        | 48 | 65 | 73 |
| Woods—grass combination (orchard or tree farm). <sup>5/</sup>                | Poor                 | 57                                      | 73 | 82 | 86 |
|  | Fair                 | 43                                      | 65 | 76 | 82 |
|  | Good                 | 32                                      | 58 | 72 | 79 |
| Woods. <sup>6/</sup>   | Poor                 | 45                                      | 66 | 77 | 83 |
|  | Fair                 | 36                                      | 60 | 73 | 79 |
|  | Good                 | 30 <sup>4/</sup>                        | 55 | 70 | 77 |
| Farmsteads—buildings, lanes, driveways, and surrounding lots.                | —                    | 59                                      | 74 | 82 | 86 |

<sup>1</sup> Average runoff condition, and  $I_a = 0.2S$ .

<sup>2</sup> **Poor:** <50% ground cover or heavily grazed with no mulch.

**Fair:** 50 to 75% ground cover and not heavily grazed.

**Good:** > 75% ground cover and lightly or only occasionally grazed.

<sup>3</sup> **Poor:** <50% ground cover.

**Fair:** 50 to 75% ground cover.

**Good:** >75% ground cover.

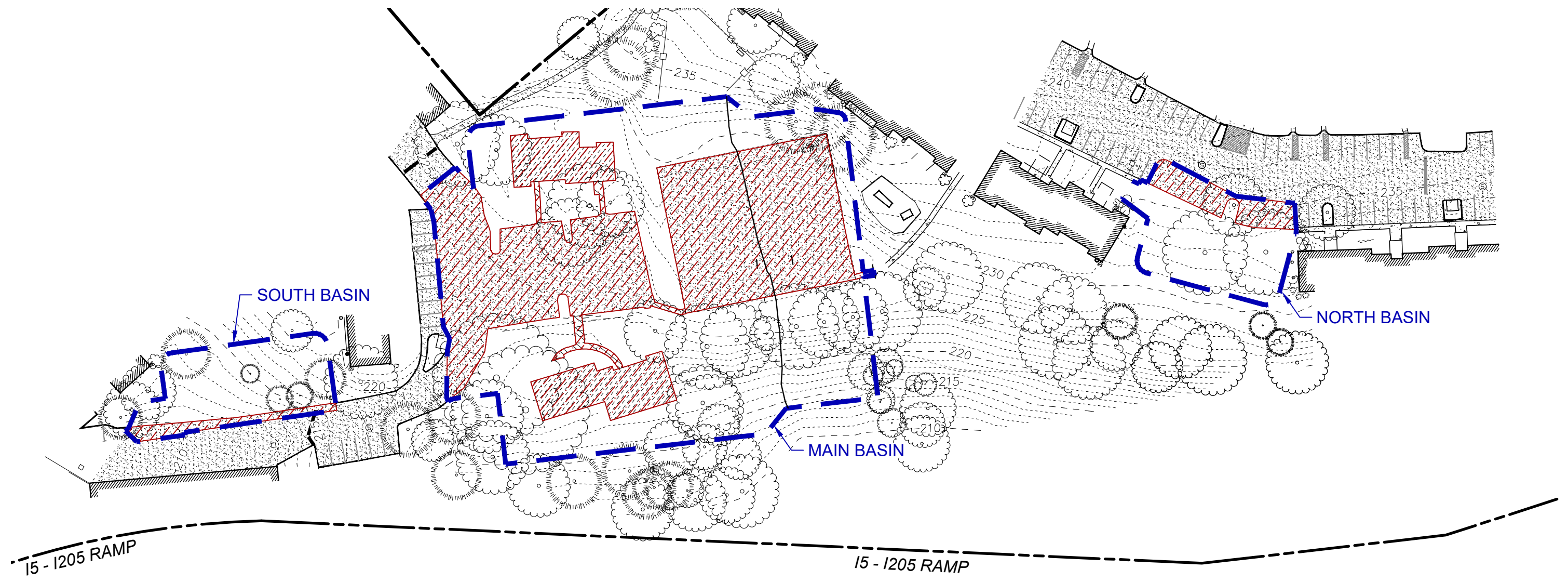
<sup>4</sup> Actual curve number is less than 30; use CN = 30 for runoff computations.

<sup>5</sup> CN's shown were computed for areas with 50% woods and 50% grass (pasture) cover. Other combinations of conditions may be computed from the CN's for woods and pasture.

<sup>6</sup> **Poor:** Forest litter, small trees, and brush are destroyed by heavy grazing or regular burning.

**Fair:** Woods are grazed but not burned, and some forest litter covers the soil.

**Good:** Woods are protected from grazing, and litter and brush adequately cover the soil.

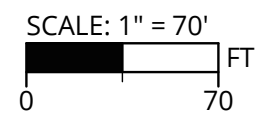


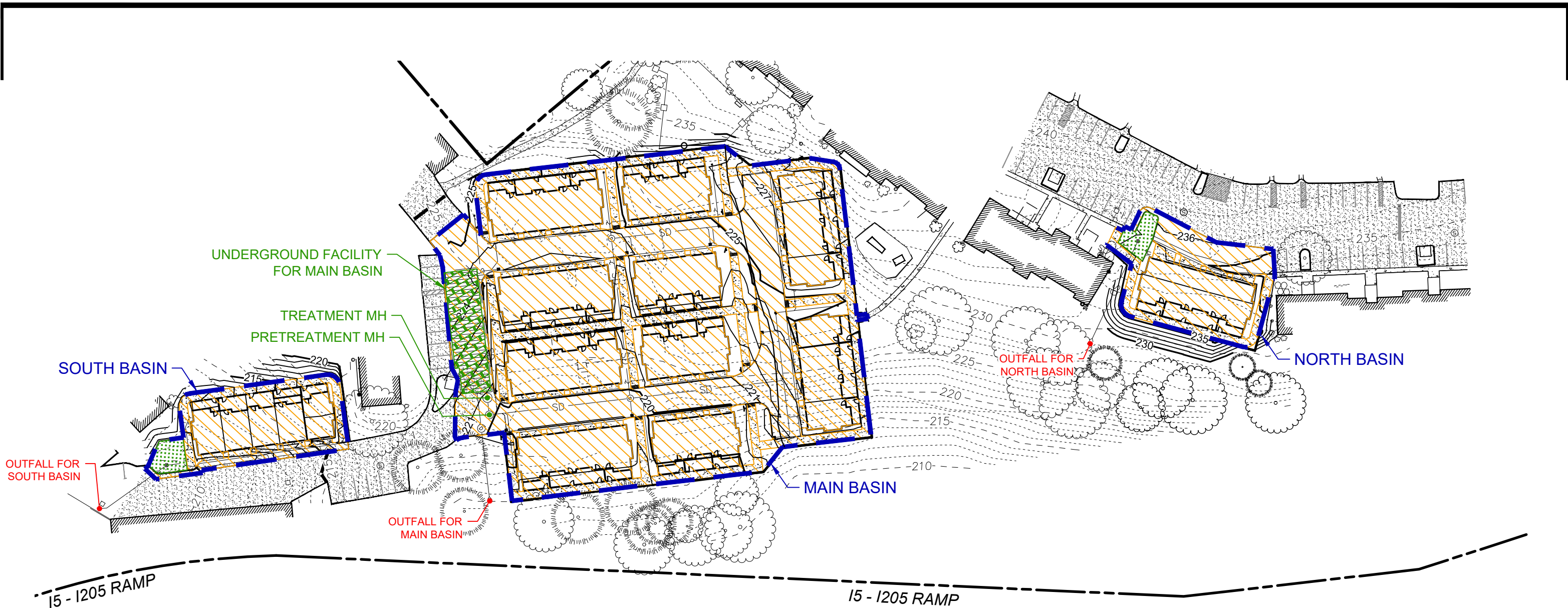
**LEGEND**

- - - - BASIN BOUNDARY
- / / / / / MODIFIED IMPERVIOUS AREA



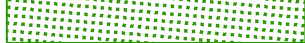

**EXISTING BASIN AREAS**

|              | Impervious    |             | Pervious      |             | Total         |             |
|--------------|---------------|-------------|---------------|-------------|---------------|-------------|
|              | sf            | ac          | sf            | ac          | sf            | ac          |
| South        | 967           | 0.02        | 5,921         | 0.14        | 6,888         | 0.16        |
| Main         | 30,356        | 0.70        | 35,260        | 0.81        | 65,616        | 1.51        |
| North        | 1,907         | 0.04        | 6,000         | 0.14        | 7,907         | 0.18        |
| <b>Total</b> | <b>33,230</b> | <b>0.76</b> | <b>47,181</b> | <b>1.08</b> | <b>80,411</b> | <b>1.85</b> |



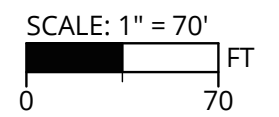


**LEGEND**

-  BASIN BOUNDARY
-  IMPERVIOUS AREA
-  INFILTRATION PLANTER
-  UNDERGROUND INFILTRATION FACILITY

**POST-DEVELOPED BASIN AREAS**

|              | Impervious    |             | Pervious     |             | Total         |             |
|--------------|---------------|-------------|--------------|-------------|---------------|-------------|
|              | sf            | ac          | sf           | ac          | sf            | ac          |
| South        | 6,428         | 0.15        | 460          | 0.01        | 6,888         | 0.16        |
| Main         | 58,146        | 1.33        | 7,470        | 0.17        | 65,616        | 1.51        |
| North        | 6,836         | 0.16        | 1,071        | 0.02        | 7,907         | 0.18        |
| <b>Total</b> | <b>71,410</b> | <b>1.64</b> | <b>9,001</b> | <b>0.21</b> | <b>80,411</b> | <b>1.85</b> |





# CALCULATIONS



# TIME OF CONCENTRATION

|  |        |               |
|--|--------|---------------|
| PROJECT NO. <span style="color: red;">22791</span> | BY PJP | DATE 9/1/2022 |
|--|--------|---------------|

## SHEET FLOW

| INPUT                                 | Predev.<br>North Basin   | Predev.<br>Main Basin  | Predev.<br>South Basin   |
|---------------------------------------|--|--|--|
| Surface Description                   | Type <span style="color: red;">9</span><br>Woods<br>(light_underbrush) | Type <span style="color: red;">9</span><br>Woods<br>(light_underbrush) | Type <span style="color: red;">9</span><br>Woods<br>(light_underbrush) |
| Manning's "n"                         | <span style="color: red;">0.4</span>                                   | <span style="color: red;">0.4</span>                                   | <span style="color: red;">0.4</span>                                   |
| Flow Length, L                        | <span style="color: red;">50</span> ft                                 | <span style="color: red;">50</span> ft                                 | <span style="color: red;">50</span> ft                                 |
| 2-Yr 24 Hour Rainfall, P <sub>2</sub> | <span style="color: red;">2.5</span> in                                | <span style="color: red;">2.5</span> in                                | <span style="color: red;">2.5</span> in                                |
| Land Slope, s                         | <span style="color: red;">0.070</span> ft/ft                           | <span style="color: red;">0.120</span> ft/ft                           | <span style="color: red;">0.110</span> ft/ft                           |
| OUTPUT                                |  |  |  |
| Travel Time                           | 0.14 hr  | 0.11 hr  | 0.12 hr  |

## SHALLOW CONCENTRATED FLOW

| INPUT                 | VALUE  | VALUE  | VALUE  |
|-----------------------|--|--|--|
| Surface Description   | <span style="color: red;">Unpaved</span>     | <span style="color: red;">Unpaved</span>     | <span style="color: red;">Unpaved</span>     |
| Flow Length, L        | <span style="color: red;">26</span> ft       | <span style="color: red;">175</span> ft      | <span style="color: red;">120</span> ft      |
| Watercourse Slope*, s | <span style="color: red;">0.090</span> ft/ft | <span style="color: red;">0.080</span> ft/ft | <span style="color: red;">0.050</span> ft/ft |
| OUTPUT                |  |  |  |
| Average Velocity, V   | 4.84 ft/s                                    | 4.56 ft/s                                    | 3.61 ft/s                                    |
| Travel Time           | 0.001 hr                                     | 0.011 hr                                     | 0.009 hr                                     |

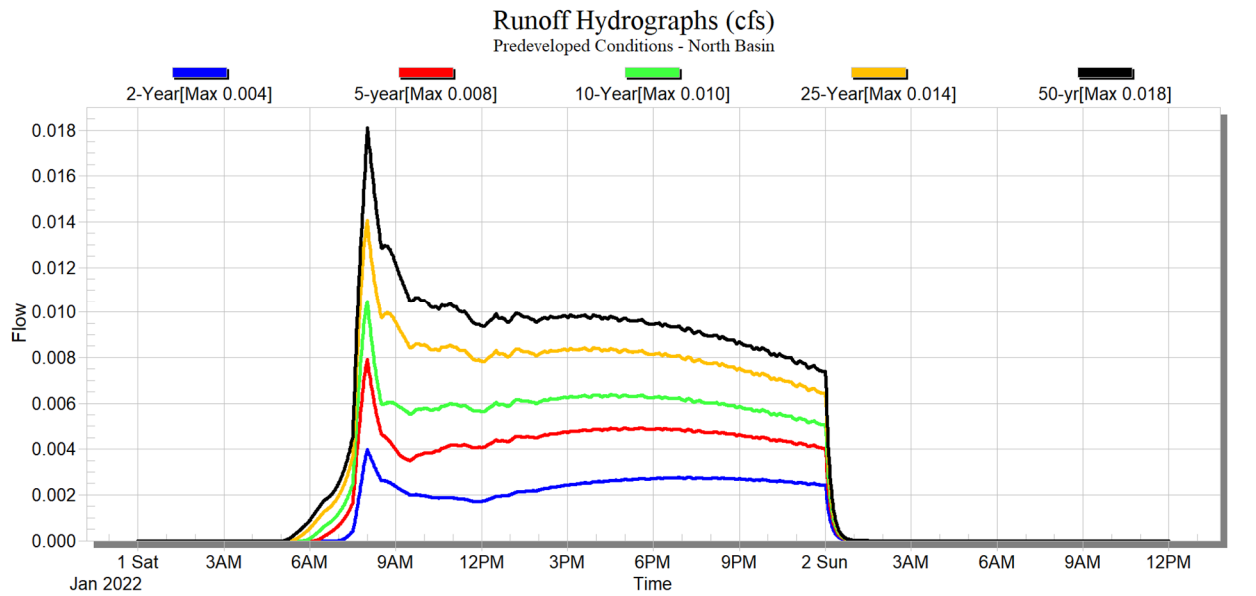
## CHANNEL FLOW

| INPUT                                    | VALUE  | VALUE  | VALUE  |
|--|--|--|--|
| Cross Sectional Flow Area, a             | <span style="color: red;">0</span> ft <sup>2</sup> | <span style="color: red;">0</span> ft <sup>2</sup> | <span style="color: red;">0</span> ft <sup>2</sup> |
| Wetted Perimeter, P <sub>w</sub>         | <span style="color: red;">0</span> ft              | <span style="color: red;">0</span> ft              | <span style="color: red;">0</span> ft              |
| Channel Slope, s                         | <span style="color: red;">0</span> ft/ft           | <span style="color: red;">0</span> ft/ft           | <span style="color: red;">0</span> ft/ft           |
| Manning's "n"                            | <span style="color: red;">0.24</span>              | <span style="color: red;">0.24</span>              | <span style="color: red;">0.24</span>              |
| Flow Length, L                           | <span style="color: red;">0</span> ft              | <span style="color: red;">0</span> ft              | <span style="color: red;">0</span> ft              |
| OUTPUT                                   |  |  |  |
| Average Velocity                         | 0.00 ft/s  | 0.00 ft/s  | 0.00 ft/s  |
| Hydraulic Radius, r = a / P <sub>w</sub> | 1.00 ft  | 1.00 ft  | 1.00 ft  |
| Travel Time                              | 0.00 hr  | 0.00 hr  | 0.00 hr  |
| Watershed or Subarea T <sub>c</sub> =    | <span style="color: red;">0.14</span> hr           | <span style="color: red;">0.12</span> hr           | <span style="color: red;">0.13</span> hr           |
| Watershed or Subarea T <sub>c</sub> =    | <span style="color: red;">9</span> minutes         | <span style="color: red;">7</span> minutes         | <span style="color: red;">8</span> minutes         |

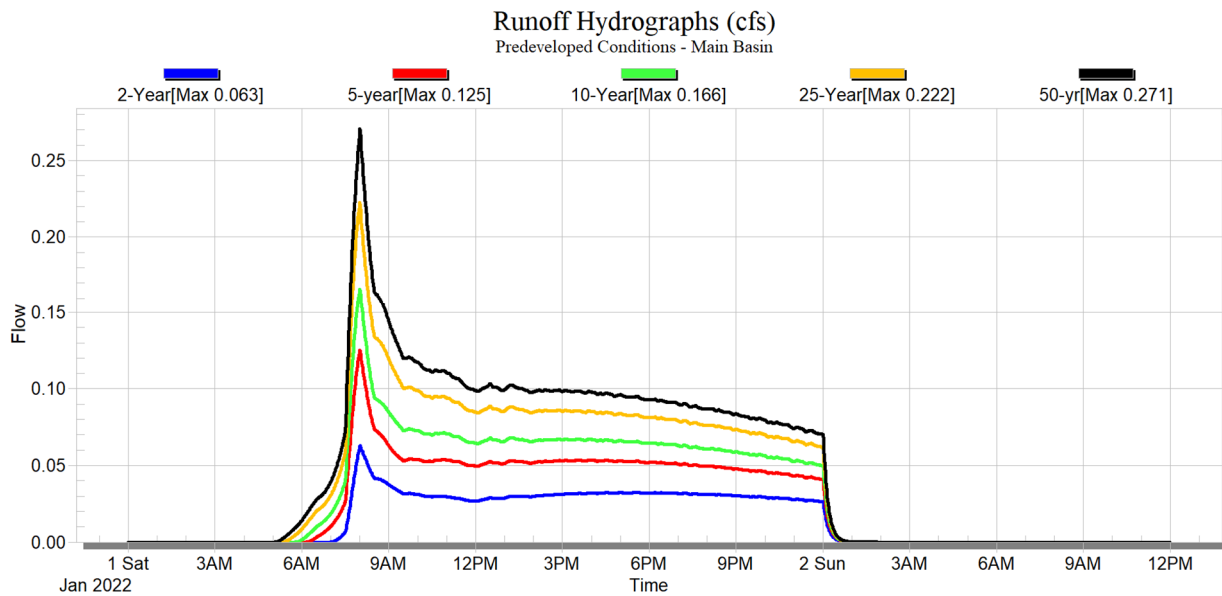
# HYDROGRAPHS

# Predeveloped Runoff Hydrographs

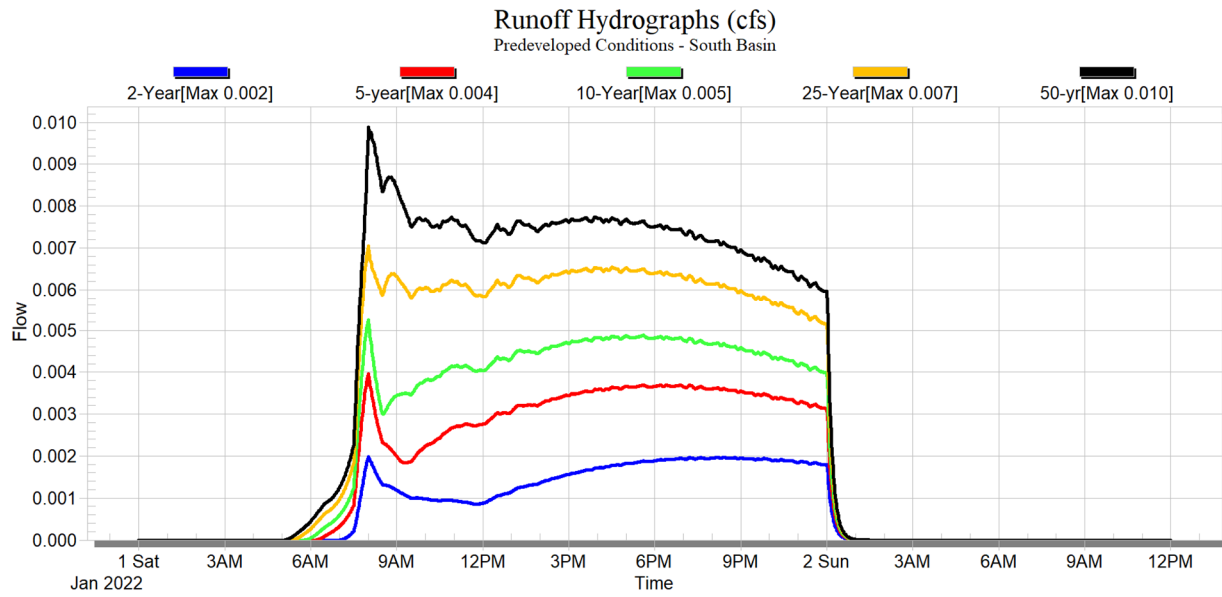
## North Basin



## Main Basin

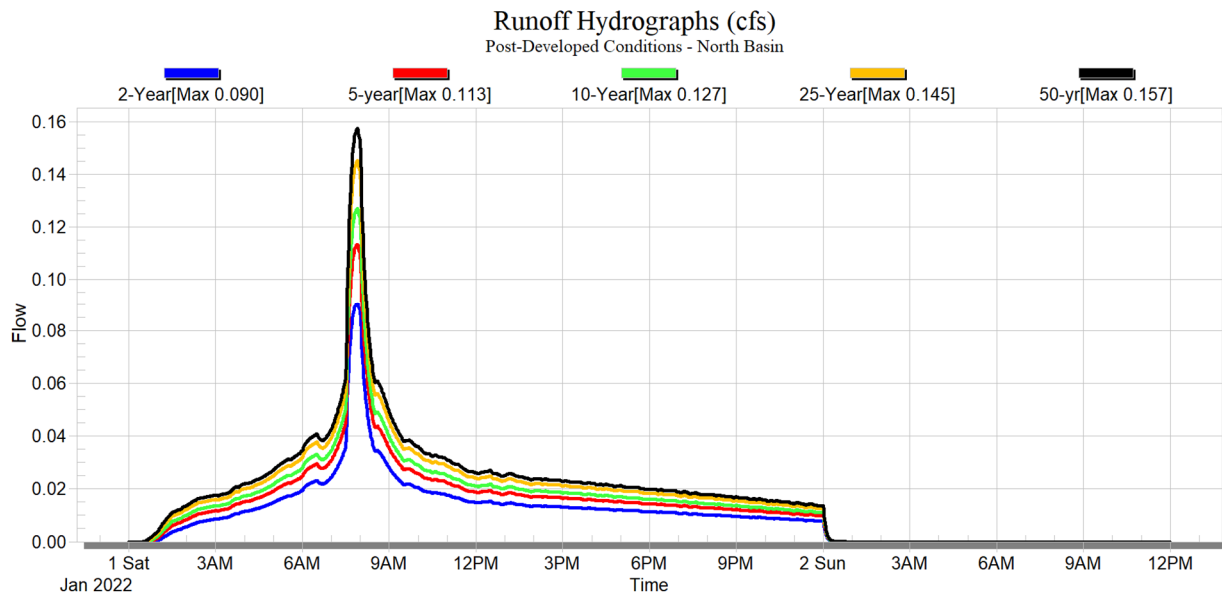


## South Basin

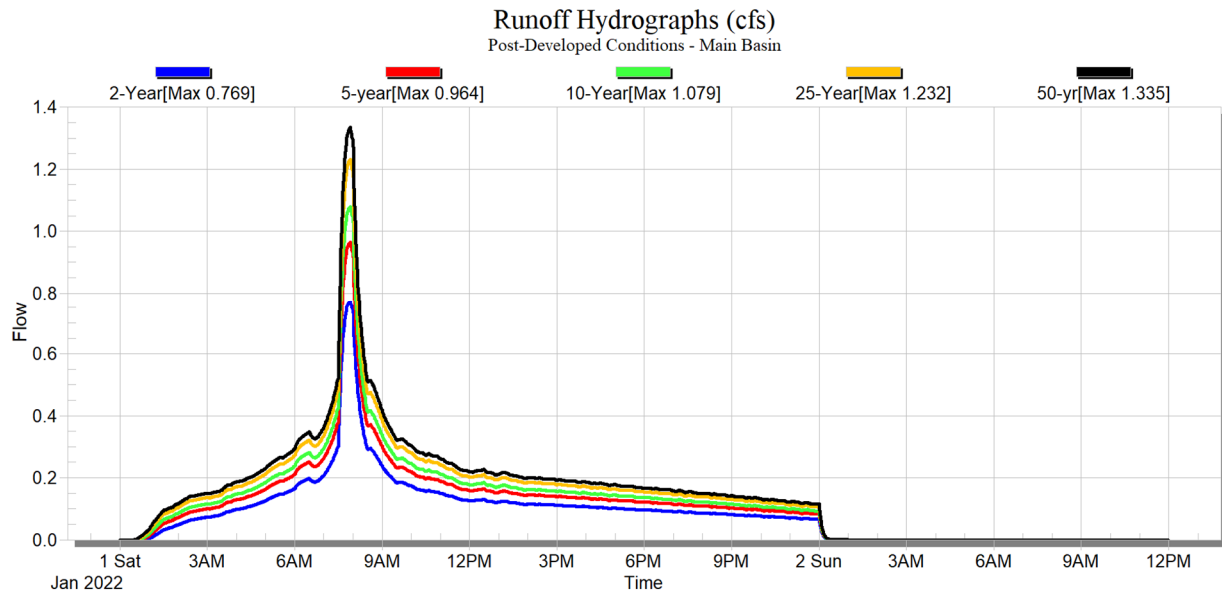


## Post-Developed Runoff Hydrographs

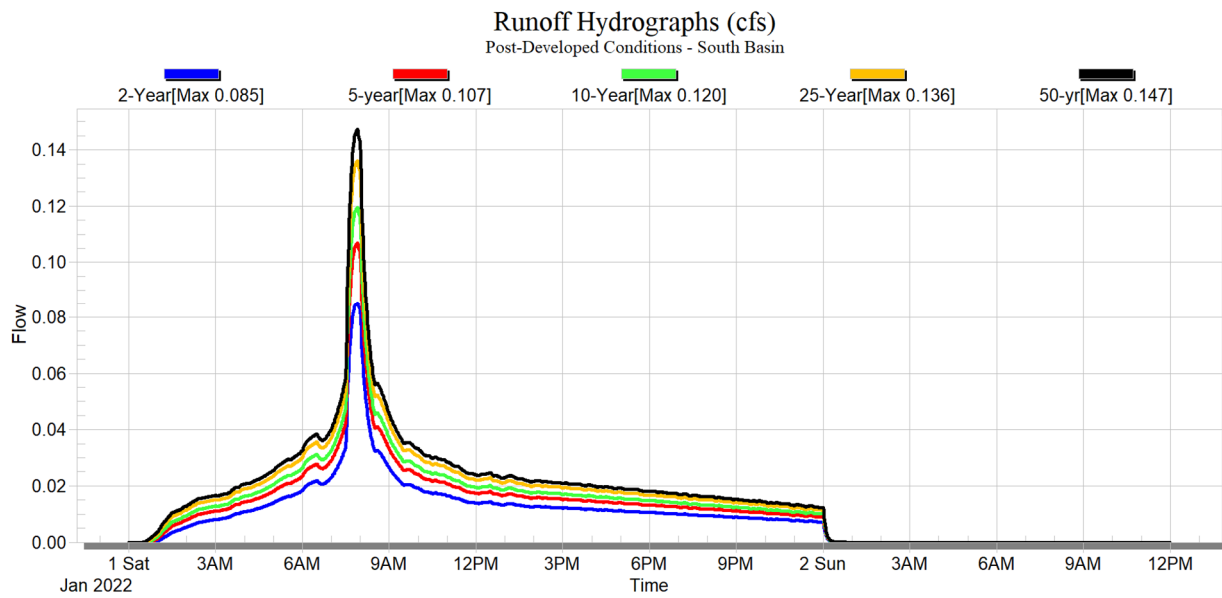
### North Basin



## Main Basin



## South Basin



## Stage Hydrographs

A design infiltration rate of 2 in/hr is assumed for both growing medium (in Planters) and native soil.

The Infiltration Planters for the North & South Basins assume:

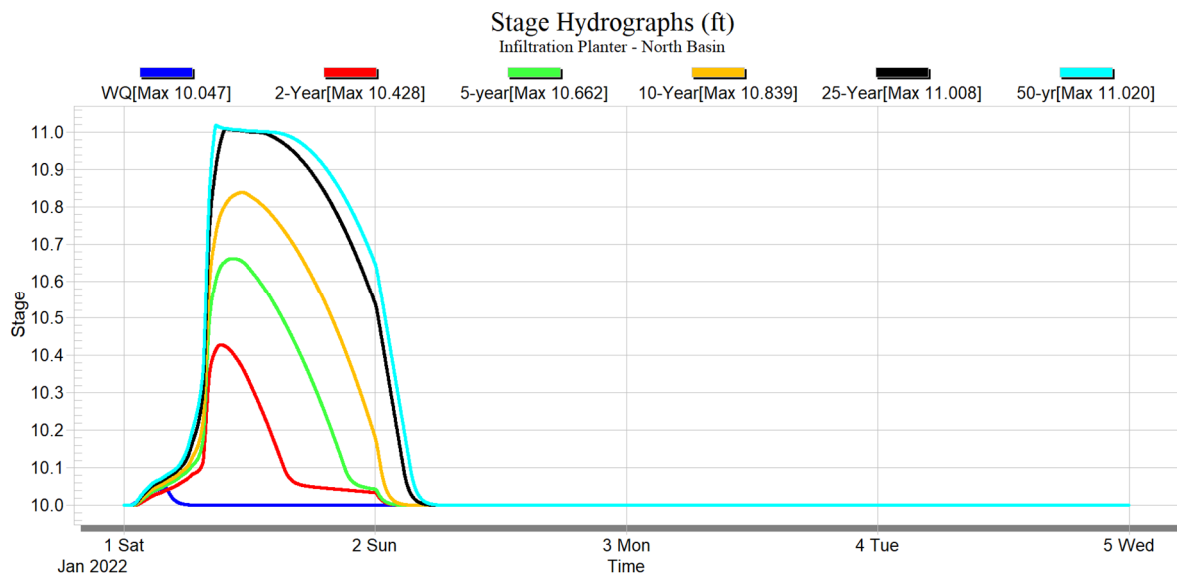
- Elevation of bottom of surface ponding is 10 ft as reference for modeling purposes.
- 18" each for surface ponding, growing medium, and drain rock depths.
- Overflow Beehive RIM is 12" above bottom of surface ponding providing 6" of freeboard.
- Drain rock has a porosity of 40%.

The Underground Infiltration Facility for Main Basin assumes:

- Elevation of bottom of facility is 0 ft
- Maximum depth of 5 ft.

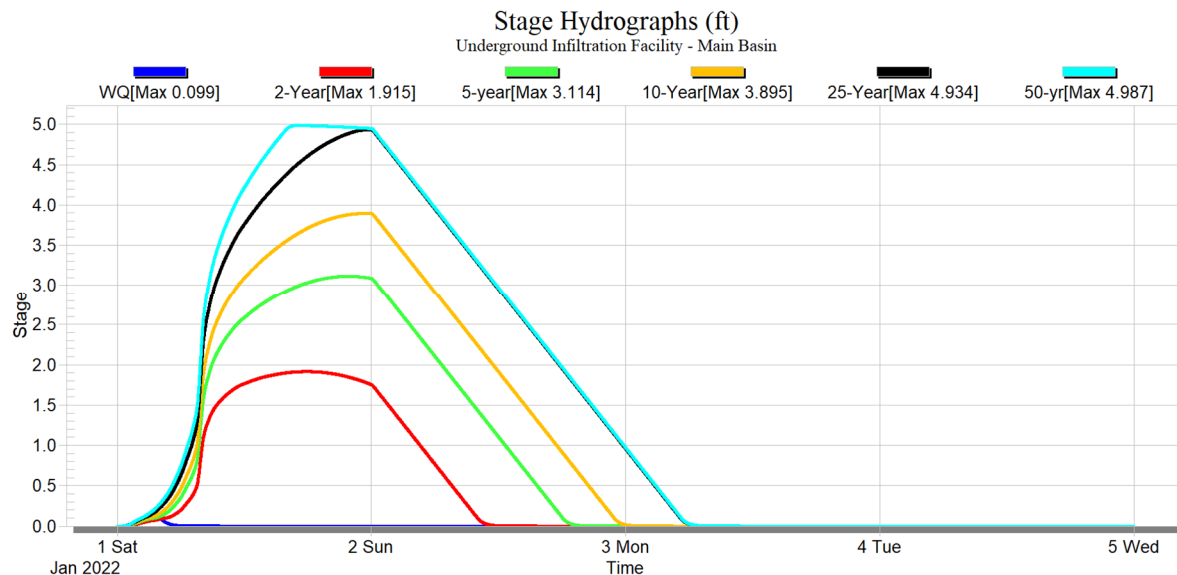
### Infiltration Planter – North Basin

Planter Area = 520 sf



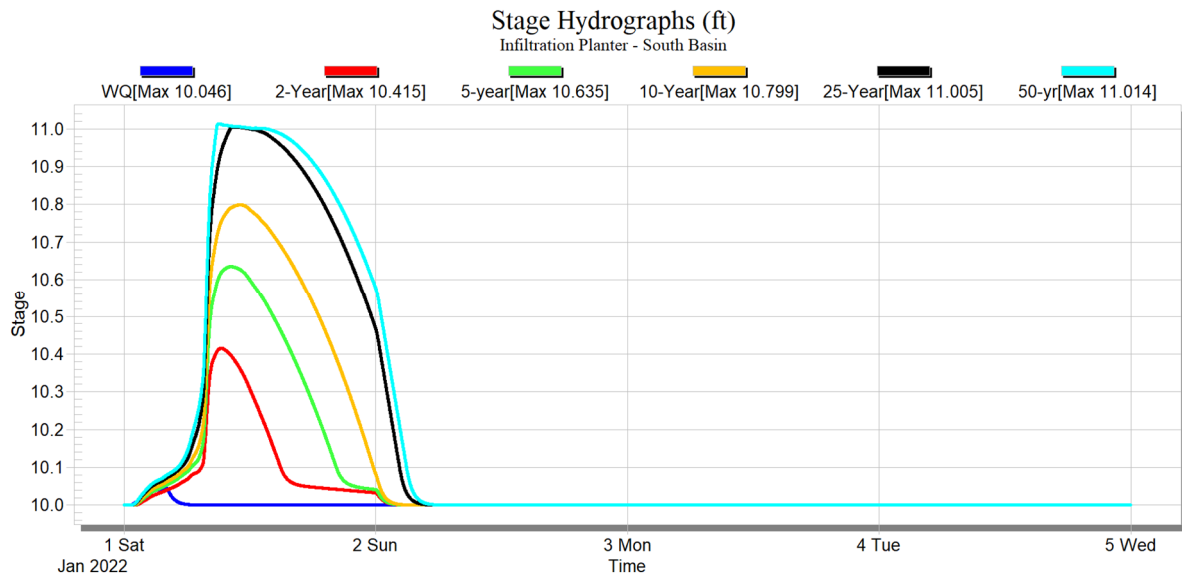
### Underground Infiltration Facility – Main Basin

Facility Area = 2,100 sf; Facility Volume = 10,500 cf



Infiltration Planter - South Basin

Planter Area = 500 sf





# DOWNSTREAM ANALYSIS

(Will be included in Final Stormwater Report)



# OPERATIONS & MAINTENANCE PLAN

(Will be included in Final Stormwater Report)





## Land Use Application

| Project Information  |  |                       |
|--|--|-----------------------|
| Project Title: <b>Alden Apartments Site Re-Development</b>   |  |                       |
| Brief Description:<br>The Applicant proposes to remove 15 apartment units and construct 45 townhouse-style multi-family units on the existing Alden Apartments site.   |  |                       |
| Property Information   |  |                       |
| Address: <b>7800 SW Sagert Street and 20400 SW Martinazzi Avenue</b>   |  |                       |
| Assessor's Map Number and Tax Lots: <b>Map Number 2S125BA00 Tax Lot 00100</b>  |  |                       |
| Applicant/Primary Contact  |  |                       |
| Name: <b>Heather Austin, AICP</b>  | Company Name: <b>3J Consulting, Inc.</b>       |                       |
| Address: <b>9600 SW Nimbus Avenue, Suite 100</b>   |  |                       |
| City: <b>Beaverton</b>   | State: <b>OR</b>                               | ZIP: <b>97008</b>     |
| Phone: <b>503-946-9365 ext. 206</b>  | Email: <b>heather.austin@3j-consulting.com</b> |                       |
| Property Owner   |  |                       |
| Name: <b>CR Alden Communities, LLC</b>   |  |                       |
| Address: <b>444 West Beech Street, Suite 300</b>   |  |                       |
| City: <b>San Diego</b>   | State: <b>CA</b>                               | ZIP: <b>92101</b>     |
| Phone: <b>858-255-9006</b>   | Email: <b>matm@colrich.com</b>                 |                       |
| Property Owner's Signature:<br>  |  | Date: <b>9-1-2022</b> |
| <i>(Note: Letter of authorization is required if not signed by owner)</i>  |  |                       |
| <b>AS THE PERSON RESPONSIBLE FOR THIS APPLICATION, I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION IN AND INCLUDED WITH THIS APPLICATION IN ITS ENTIRETY IS CORRECT. I AGREE TO COMPLY WITH ALL APPLICABLE CITY AND COUNTY ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND LAND USE.</b> |  |                       |
| Applicant's Signature:   | Date:  |                       |

Land Use Application Type:

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Annexation (ANN)<br><input checked="" type="checkbox"/> Architectural Review (AR)<br><input type="checkbox"/> Architectural Review—Single Family (ARSF)<br><input type="checkbox"/> Architectural Review—ADU (ARADU)<br><input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Historic Landmark (HIST)<br><input type="checkbox"/> Industrial Master Plan (IMP)<br><input type="checkbox"/> Plan Map Amendment (PMA)<br><input type="checkbox"/> Plan Text Amendment (PTA)<br><input checked="" type="checkbox"/> Tree Removal/Review (TCP) | <input type="checkbox"/> Minor Architectural Review (MAR)<br><input type="checkbox"/> Minor Variance (MVAR)<br><input type="checkbox"/> Sign Variance (SVAR)<br><input type="checkbox"/> Variance (VAR) |
|---|--|---|

| Office Use |                |              |
|------------|----------------|--------------|
| Case No:   | Date Received: | Received by: |
| Fee:       | Receipt No:    |              |



## Land Use Application

|  |
|--|
| <b>Project Information</b>   |
| Project Title: <a href="#">Alden Apartments Site Re-Development</a>  |
| Brief Description:<br>The Applicant proposes to remove 15 apartment units and construct 45 townhouse-style multi-family units on the existing Alden Apartments site. |

|  |
|--|
| <b>Property Information</b>  |
| Address: <a href="#">7800 SW Sagert Street and 20400 SW Martinazzi Avenue</a>          |
| Assessor's Map Number and Tax Lots: <a href="#">Map Number 2S125BA00 Tax Lot 00100</a> |

|   |   |                            |
|---|---|----------------------------|
| <b>Applicant/Primary Contact</b>                          |   |                            |
| Name: <a href="#">Heather Austin, AICP</a>                | Company Name: <a href="#">3J Consulting, Inc.</a>   |                            |
| Address: <a href="#">9600 SW Nimbus Avenue, Suite 100</a> |   |                            |
| City: <a href="#">Beaverton</a>                           | State: <a href="#">OR</a>   | ZIP: <a href="#">97008</a> |
| Phone: <a href="#">503-946-9365 ext. 206</a>              | Email: <a href="mailto:heather.austin@3j-consulting.com">heather.austin@3j-consulting.com</a> |                            |

|  |   |                            |
|--|---|----------------------------|
| <b>Property Owner</b>  |   |                            |
| Name: <a href="#">Colrich California Construciton, LLC (Matthew Moiseve)</a> |   |                            |
| Address: <a href="#">444 West Beech Street, Suite 300</a>                    |   |                            |
| City: <a href="#">San Diego</a>  | State: <a href="#">CA</a>                                     | ZIP: <a href="#">92101</a> |
| Phone: <a href="#">858-255-9006</a>  | Email: <a href="mailto:matm@colrich.com">matm@colrich.com</a> |                            |
| Property Owner's Signature:  |   | Date:                      |

*(Note: Letter of authorization is required if not signed by owner)*

|  |  |
|--|--|
| <b>AS THE PERSON RESPONSIBLE FOR THIS APPLICATION, I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE INFORMATION IN AND INCLUDED WITH THIS APPLICATION IN ITS ENTIRETY IS CORRECT. I AGREE TO COMPLY WITH ALL APPLICABLE CITY AND COUNTY ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND LAND USE.</b> |  |
| Applicant's Signature:<br>   | Date: <a href="#">September 27, 2022</a> |

**Land Use Application Type:**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Annexation (ANN)                          | <input type="checkbox"/> Historic Landmark (HIST)             | <input type="checkbox"/> Minor Architectural Review (MAR) |
| <input checked="" type="checkbox"/> Architectural Review (AR)      | <input type="checkbox"/> Industrial Master Plan (IMP)         | <input type="checkbox"/> Minor Variance (MVAR)            |
| <input type="checkbox"/> Architectural Review—Single Family (ARSF) | <input type="checkbox"/> Plan Map Amendment (PMA)             | <input type="checkbox"/> Sign Variance (SVAR)             |
| <input type="checkbox"/> Architectural Review—ADU (ARADU)          | <input type="checkbox"/> Plan Text Amendment (PTA)            | <input type="checkbox"/> Variance (VAR)                   |
| <input type="checkbox"/> Conditional Use (CUP)                     | <input checked="" type="checkbox"/> Tree Removal/Review (TCP) |   |

|                   |                |              |
|-------------------|----------------|--------------|
| <b>Office Use</b> |                |              |
| Case No:          | Date Received: | Received by: |
| Fee:              | Receipt No:    |              |

# SENSITIVE AREA PRE-SCREENING SITE ASSESSMENT

Clean Water Services File Number 22-001989

1. **Jurisdiction:** Tualatin

2. **Property Information** (example: 1S234AB01400)

Tax lot ID(s): \_\_\_\_\_  
2S125BA00100

**OR Site Address:** 20400 SW MARTINAZZI AVE

City, State, Zip: Tualatin, OR, 97062

Nearest cross street: \_\_\_\_\_

4. **Development Activity** (check **all** that apply)

- Addition to single family residence (rooms, deck, garage)  
 Lot line adjustment       Minor land partition  
 Residential condominium     Commercial condominium  
 Residential subdivision       Commercial subdivision  
 Single lot commercial       Multi lot commercial  
 Other \_\_\_\_\_

3. **Owner Information**

Name: Mathew Moiseve

Company: ColRich California Construction, INC.

Address: 444 West Beech Street, Ste. 300

City, State, Zip: San Diego, CA, 92101

Phone/fax: (858)490-2300

Email: \_\_\_\_\_

4. **Applicant Information**

Name: Heather Austin

Company: 3J Consulting

Address: 9600 SW Nimbus Ave, Suite 100

City, State, Zip: Beaverton, OR, 97008

Phone/fax: (503)946-9365 x206

Email: heather.austin@3j-consulting.com

6. **Will the project involve any off-site work?**     Yes     No     Unknown

Location and description of off-site work: \_\_\_\_\_

7. **Additional comments or information that may be needed to understand your project:** \_\_\_\_\_

**This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.**

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/type name Heather Austin

Print/type title Senior Planner

Signature ONLINE SUBMITTAL

Date 7/19/2022

## FOR DISTRICT USE ONLY

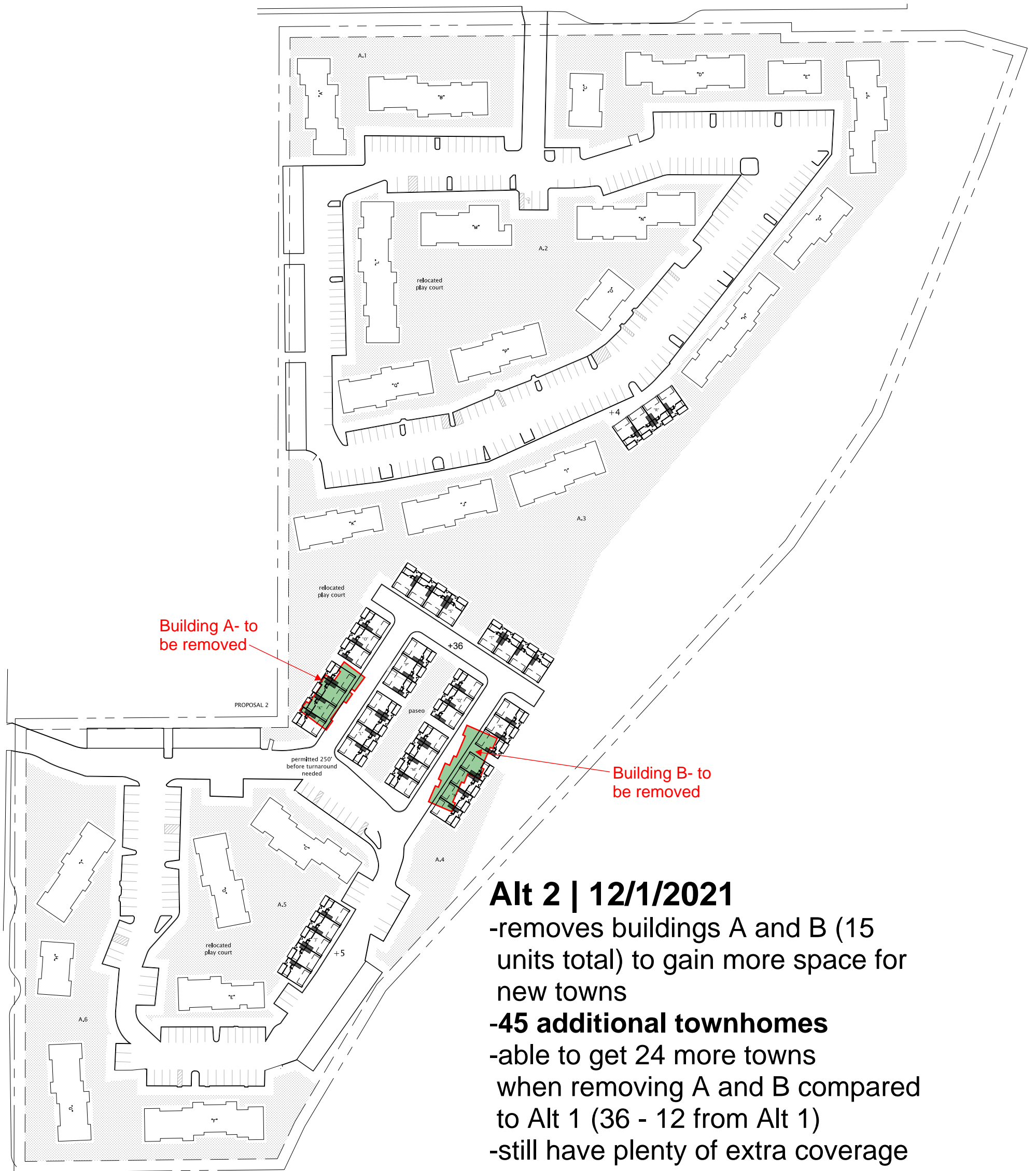
- Sensitive areas potentially exist on site or within 200' of the site. **THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER.** If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.
- Based on review of the submitted materials and best available information sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider Letter as required by Resolution and Order 19-5, Section 3.02.1, as amended by Resolution and Order 19-22. All required permits and approvals must be obtained and completed under applicable local, State and federal law.
- Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider Letter as required by Resolution and Order 19-5, Section 3.02.1, as amended by Resolution and Order 19-22. All required permits and approvals must be obtained and completed under applicable local, state and federal law.
- THIS SERVICE PROVIDER LETTER IS NOT VALID UNLESS \_\_\_\_\_ CWS APPROVED SITE PLAN(S) ARE ATTACHED.**
- The proposed activity does not meet the definition of development or the lot was platted after 9/9/95 ORS 92.040(2). **NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.**

Reviewed by Mila Gonzalez Lima

Date September 27, 2022

Once complete, email to: [SPLReview@cleanwaterservices.org](mailto:SPLReview@cleanwaterservices.org) • Fax: **(503) 681-4439**

**OR** mail to: SPL Review, Clean Water Services, 2550 SW Hillsboro Highway, Hillsboro, Oregon 97123



Building A- to be removed

Building B- to be removed

### Alt 2 | 12/1/2021

- removes buildings A and B (15 units total) to gain more space for new towns
- 45 additional townhomes**
- able to get 24 more towns when removing A and B compared to Alt 1 (36 - 12 from Alt 1)
- still have plenty of extra coverage and open space available
- both existing courts removed

|                      | Code         | Existing | Proposal 2     |
|----------------------|--------------|----------|----------------|
| Density (units):     | 250 max.     | 195      | <b>240</b>     |
| Parking (spots):     | ***          | 352      | <b>442</b>     |
| Coverage (sq.ft.):   | 291,144 max. | 80,323   | <b>90,223</b>  |
| Open Space( sq.ft.): | 108,000 min. | 246,473  | <b>203,912</b> |

\*with Buildings A & B demolished in South Lot



**FIRE CODE / LAND USE / BUILDING REVIEW APPLICATION**

**North Operating Center**  
 11945 SW 70<sup>th</sup> Avenue  
 Tigard, OR 97223  
 Phone: 503-649-8577

**South Operating Center**  
 8445 SW Elligsen Rd  
 Wilsonville, OR 97070  
 Phone: 503-649-8577

REV 6-30-20

**Project Information**

Applicant Name: Brian O'Rourke  
 Address: 9600 SW Nimbus Ave, Suite 100  
 Phone: 503-946-9365 x209  
 Email: brian.orourke@3i-consulting.com  
 Site Address: 7800 SW Sagert St & 20400 SW Martinazzi Ave  
 City: Tualatin  
 Map & Tax Lot #: 2S125BA00100  
 Business Name: Alden Apartments  
 Land Use/Building Jurisdiction: City of Tualatin  
 Land Use/ Building Permit # Pre-App 22-0004

Choose from: Beaverton, Tigard, Newberg, **Tualatin**, North Plains, West Linn, Wilsonville, Sherwood, Rivergrove, Durham, King City, Washington County, Clackamas County, Multnomah County, Yamhill County

**Project Description**

Removal of two existing apartment buildings and associated site features. Addition of 12 buildings (45 total townhome style apartment units) including associated roads, pedestrian paths, and site utilities.

**Permit/Review Type (check one):**

- Land Use / Building Review - Service Provider Permit
- Emergency Radio Responder Coverage Install/Test
- LPG Tank (Greater than 2,000 gallons)
- Flammable or Combustible Liquid Tank Installation (Greater than 1,000 gallons)
  - \* Exception: Underground Storage Tanks (UST) are deferred to DEQ for regulation.
- Explosives Blasting (Blasting plan is required)
- Exterior Toxic, Pyrophoric or Corrosive Gas Installation (in excess of 810 cu.ft.)
- Tents or Temporary Membrane Structures (in excess of 10,000 square feet)
- Temporary Haunted House or similar
- OLCC Cannabis Extraction License Review
- Ceremonial Fire or Bonfire (For gathering, ceremony or other assembly)

**For Fire Marshal's Office Use Only**

TVFR Permit # 2022-0097  
 Permit Type: SPP  
 Submittal Date: 8/30/22  
 Assigned To: ORourke  
 Due Date: \_\_\_\_\_  
 Fees Due: \_\_\_\_\_  
 Fees Paid: \_\_\_\_\_

**Approval/Inspection Conditions**  
 (For Fire Marshal's Office Use Only)

**This section is for application approval only**

[Signature] ORourke 8/30/22  
 Fire Marshal or Designee Date

Conditions:

**X PLEASE SUBMIT FIRE FLOW RESULTS ASAP.**

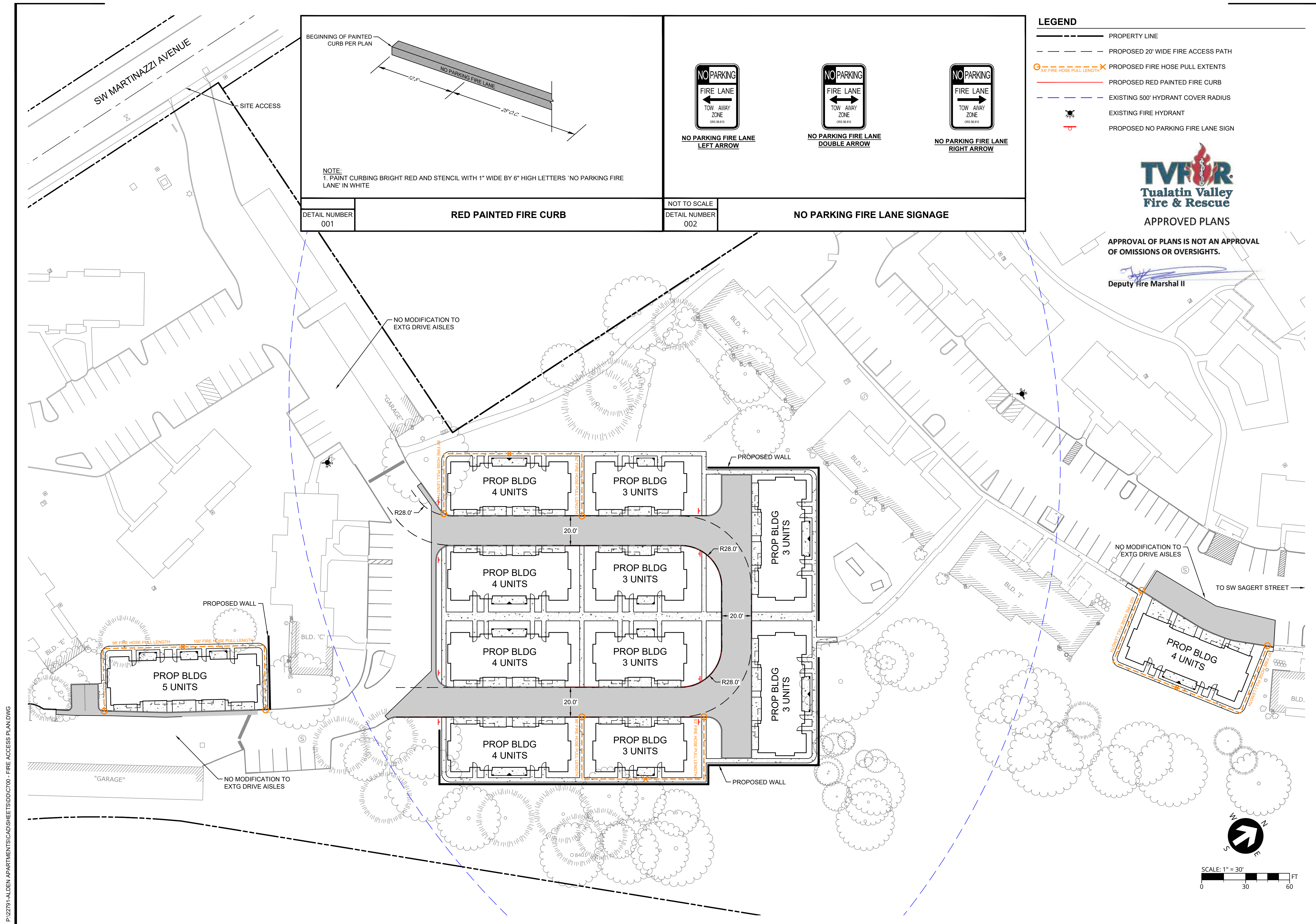
See Attached Conditions:  Yes  No

Site Inspection Required:  Yes  No

**This section used when site inspection is required**

Inspection Comments:

Final TVFR Approval Signature & Emp ID \_\_\_\_\_ Date \_\_\_\_\_



LEGEND

- PROPERTY LINE
- PROPOSED 20' WIDE FIRE ACCESS PATH
- PROPOSED FIRE HOSE PULL EXTENTS
- PROPOSED RED PAINTED FIRE CURB
- EXISTING 500' HYDRANT COVER RADIUS
- EXISTING FIRE HYDRANT
- PROPOSED NO PARKING FIRE LANE SIGN

NOTE:  
1. PAINT CURBING BRIGHT RED AND STENCIL WITH 1" WIDE BY 6" HIGH LETTERS 'NO PARKING FIRE LANE' IN WHITE

DETAIL NUMBER 001      RED PAINTED FIRE CURB

NOT TO SCALE      DETAIL NUMBER 002      NO PARKING FIRE LANE SIGNAGE

NO PARKING FIRE LANE LEFT ARROW      NO PARKING FIRE LANE DOUBLE ARROW      NO PARKING FIRE LANE RIGHT ARROW

**TVALR**  
Tualatin Valley  
Fire & Rescue

APPROVED PLANS

APPROVAL OF PLANS IS NOT AN APPROVAL OF OMISSIONS OR OVERSIGHTS.

Deputy Fire Marshal II

PUBLISH DATE  
#####  
ISSUED FOR  
DD  
REVISIONS

**FIRE ACCESS PLAN**  
**ALDEN APARTMENTS**

7800 SW SAGERT STREET  
TUALATIN, OR 97062

**3J CONSULTING**

CIVIL ENGINEERING  
WATER RESOURCES  
COMMUNITY PLANNING

9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION  
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**FS-1**

P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DD\0700 - FIRE ACCESS PLAN.DWG





10295 Southwest Bidder Road, Wilsonville, OR 97070  
p 503 570 0626 f 503 582 9407 republicservices.com

September 2, 2022

Ashley Doty  
Re: Alden Apartments  
7800 SW Sagert St. & 20400 SW Martinazzi Ave.  
Tualatin, OR 97062

Dear Ashley,

Thank you, for sending us the preliminary site plans for this proposed development in Tualatin, Oregon.

My Company: Republic Services of Clackamas and Washington Counties has the franchise agreement to service this area with the City of Tualatin. We will provide complete waste and commingle recycling removal services one time per week for this planned development. Service day will be determined by Republic Services at its sole discretion and in accordance with the City of Tualatin franchise agreement. Landscape service and yard debris removal at this site is provided by a third-party contractor and there will not be a need for residential yard debris cart service for this development.

All residential trash and recycle cart receptacles must be placed on a level surface of each unit's driveway, in a location that is accessible for automated side-load service, with minimum spacing of 2'Ft. apart and at least 4'Ft. from any fixed objects including parked vehicles, and with no overhead obstructions. The access road must be free of any vehicles or other obstructions that would prevent safe passage of Republic Services collection vehicles

SW Martinazzi Ave. - 41 livable units, will be serviced by automated side load collection vehicles using the paved alley, which will have a width of 20'Ft. with a turn radius of 28.0' Ft. and will include beveled curbing on both inside corners of the roadway to allow our trucks to safely navigate this development.

SW Sagert St. - 4 livable, units will be serviced by automated side load collection vehicles using the existing paved driveway.

Thanks Ashley, for your help and concerns for our services prior to this project being developed.

Sincerely,

A handwritten signature in blue ink, appearing to read "Kelly Herrod", written over a blue horizontal line.

Kelly Herrod  
Operations Supervisor  
Republic Services Inc.



## PRELIMINARY REPORT

In response to the application for a policy of title insurance referenced herein Chicago Title Company of Oregon hereby reports that it is prepared to issue, or cause to be issued, as of the specified date, a policy or policies of title insurance describing the land and the estate or interest hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an exception herein or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations or Conditions of said policy forms.

The printed Exceptions and Exclusions from the coverage of said policy or policies are set forth in Exhibit One. Copies of the policy forms should be read. They are available from the office which issued this report.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby.

The policy(s) of title insurance to be issued hereunder will be policy(s) of Chicago Title Insurance Company, a/an Florida corporation.

**Please read the exceptions shown or referred to herein and the Exceptions and Exclusions set forth in Exhibit One of this report carefully. The Exceptions and Exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.**

**It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects and encumbrances affecting title to the land.**

This preliminary report is for the exclusive use of the parties to the contemplated transaction, and the Company does not have any liability to any third parties nor any liability until the full premium is paid and a policy is issued. Until all necessary documents are placed of record, the Company reserves the right to amend or supplement this preliminary report.

*Countersigned*

A handwritten signature in cursive script that reads "Maggie Metcalf".



1433 SW 6th Avenue, Portland, OR 97201  
(503)646-4444 FAX (503)469-4198

**PRELIMINARY REPORT**

**TITLE OFFICER:** Tony Schadle  
tony.schadle@titlegroup.fntg.com  
(503)469-4150

**ORDER NO.:** 472521006912  
**Supplement** - No. 1 (update)

**TO:** Chicago Title Insurance Company  
Siu Y. Cheung  
711 Third Avenue, 8th Floor  
New York, NY 10017

**OWNER/SELLER:** AMFP IV Alden LLC

**BUYER/BORROWER:** TBD

**PROPERTY ADDRESS:** 20323 SW Martinazzi Avenue, Tualatin, OR 97062

**EFFECTIVE DATE:** October 19, 2021, 08:00 AM

1. THE POLICY AND ENDORSEMENTS TO BE ISSUED AND THE RELATED CHARGES ARE:

|  | <u>AMOUNT</u>    | <u>PREMIUM</u> |
|--|------------------|----------------|
| ALTA Owner's Policy 2006   | \$ 61,150,000.00 | \$ 82,731.00   |
| Owner's Extended Coverage Policy - (Short Term Rate) std ptn \$48,909.00 & ext ptn \$33,822.00 |                  |                |
| OTIRO 203.1-06 - *M* - Zoning - Improved Land (ALTA 3.1-06)                                    |                  | \$ 1,000.00    |
| OTIRO 208.2-06 - Commercial Environmental Protection Lien (ALTA 8.2-06)                        |                  | \$ 1,000.00    |
| OTIRO 209.2-06 - Covenants, Conditions and Restrictions - Improved Land (ALTA 9.2-06)          |                  | \$ 1,500.00    |
| OTIRO 209.9-06 - Private Rights (ALTA 9.9-06)  |                  | \$ 250.00      |
| OTIRO 217.2-06 - Utility Access (ALTA 17.2-06)   |                  | \$ 275.00      |
| OTIRO 217-06 - Access and Entry (ALTA 17-06)   |                  | \$ 125.00      |
| OTIRO 218-06 - Single Tax Parcel (ALTA 18-06)  |                  | \$ 50.00       |
| OTIRO 225-06 - *M* - Same as Survey (ALTA 25-06)   |                  | \$ 100.00      |
| OTIRO 228.1-06 - Encroachments - Boundaries and Easements (ALTA 28.1-06)                       |                  | \$ 1,000.00    |
| OTIRO 228-06 - Easement - Damage or Enforced Removal (ALTA 28-06)                              |                  | \$ 100.00      |
| OTIRO 239-06 - Policy Authentication (ALTA 39-06)  |                  | \$ 0.00        |
| Government Lien Search   |                  | \$ 30.00       |

2. THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS:

Fee Simple

3. TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:

AMFP IV Alden LLC, a Delaware limited liability company

## **PRELIMINARY REPORT**

(continued)

4. THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE CITY OF TUALATIN, COUNTY OF WASHINGTON, STATE OF OREGON, AND IS DESCRIBED AS FOLLOWS:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

**EXHIBIT "A"**  
Legal Description

A tract of land situated in Section 25, Township 2 South, Range 1 West of the Willamette Meridian, in the City of Tualatin, County of Washington and State of Oregon, described as follows:

Beginning at a point in the North line of said Section 25, Township 2 South, Range 1 West, North 89° 32' 40" East 1010.00 feet from the Northwest corner of said Section 25; thence South 0° 08' 52" West along the center line of a 40.0 foot County Road, 1,319.60 feet; thence North 89° 25' 20" East, 798.61 feet to an iron pipe in the Northwesterly right-of-way line of the Baldock Freeway; thence North 15° 55' East along said Northwesterly right-of-way 1,294.5 feet to an iron rod; thence North 74° 00' West 160.28 feet to an iron rod; thence North 0° 27' 20" West 30.41 feet to the North line of said Section 25; thence South 89° 32' 40" West along said North line of Section 25 and the center line of County Road No. 327, a distance of 995.89 feet to the point of beginning.

EXCEPT those Parcels conveyed by deeds to the State of Oregon, by and through its State Highway Commission, and Recorded January 22, 1952 in Volume 328, Page 431 and Recorded December 5, 1952 in Volume 339, Page 375, Deed Records of Washington County, Oregon.

AND ALSO EXCEPTING that Parcel conveyed by deed to the State of Oregon, by and through its State Highway Commission and Recorded September 24, 1968 in Volume 717, Page 82, Deed Records of Washington County, Oregon.

AND ALSO EXCEPTING those Parcels conveyed by deed to Diamond Investment Co., a Corporation, by deeds Recorded May 24, 1961 in Volume 444, Page 517 and Recorded January 15, 1965 in Volume 537, Page 487, Deed Records of Washington County, Oregon.

AND ALSO EXCEPTING that portion as dedicated for street and utility purposes to the City of Tualatin by Resolution No. 389 78, Recorded June 14, 1978, as Fee No. 78 26691, Deed Records of Washington County, Oregon.

**AS OF THE DATE OF THIS REPORT, ITEMS TO BE CONSIDERED AND EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN THE POLICY FORM WOULD BE AS FOLLOWS:**

**GENERAL EXCEPTIONS:**

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests or claims, which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
3. Easements, or claims of easement, which are not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof; water rights, claims or title to water.
4. Any encroachment (of existing improvements located on the Land onto adjoining land or of existing improvements located on adjoining land onto the subject Land), encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the subject Land.
5. Any lien or right to a lien for services, labor, material, equipment rental or workers compensation heretofore or hereafter furnished, imposed by law and not shown by the Public Records.

**SPECIFIC ITEMS AND EXCEPTIONS:**

6. **\*\*\* AMENDED \*\*\***  
Unpaid Real Property Taxes for the fiscal year 2021-2022. as follows:

Levied Amount:     \$209,547.12  
Levy Code:         023.76  
Account No.:       R536076  
Map No.:           2S125BA00100

Prior to close of escrow, please contact the Tax Collector's Office to confirm all amounts owing, including current fiscal year taxes, supplemental taxes, escaped assessments and any delinquencies.

7. City Liens, if any, in favor of the City of Tualatin. None found as of September 17, 2021 posted to the main account addressed as 7800 SW Sagert Street.

We find an additional 212 accounts- no inquiry has been directed to the City Clerk, and a fee of \$30.00 per lien account will be charged if an inquiry is to be made.

8. Limited access provisions contained in Deed to the State of Oregon, by and through its State Highway Commission, which provides that no right or easement of right of access to, from or across the State Highway other than expressly therein provided for shall attach to the abutting property:  
Recording Date: January 22, 1952  
Recording No.: Book: 328 Page: 431

Excepted Portion from legal description as shown on ALTA/NSPS Land Title Survey, prepared by Duryea Associates as Job No. 12-1685 dated November 2017, last revised February 15, 2018.

9. Limited access provisions contained in Deed to the State of Oregon, by and through its State Highway Commission, which provides that no right or easement of right of access to, from or across the State Highway other than expressly therein provided for shall attach to the abutting property:  
Recording Date: September 24, 1968  
Recording No.: Book: 717 Page: 82

Excepted Portion from legal description as shown on ALTA/NSPS Land Title Survey, prepared by Duryea Associates as Job No. 12-1685 dated November 2017, last revised February 15, 2018.

10. An easement created by instrument, including the terms and provisions thereof:  
Dated: March 31, 1978  
Recording Date: June 14, 1978  
Recording No.: 78-026690  
In Favor Of: City of Tualatin  
For: Public Utility Lines  
Affects: The Northerly portion

Said easement was re-recorded:  
Recording Date: September 11, 1978  
Recording No.: 78-040450

As shown on ALTA/NSPS Land Title Survey, prepared by Duryea Associates as Job No. 12-1685 dated November 2017, last revised February 15, 2018.

11. An easement created by instrument, including the terms and provisions thereof:  
Dated: February 5, 1979  
Recording Date: September 6, 1979  
Recording No.: 79-036431  
In Favor Of: City of Tualatin  
For: Public Utility Lines

As shown on ALTA/NSPS Land Title Survey, prepared by Duryea Associates as Job No. 12-1685 dated November 2017, last revised February 15, 2018.

12. An easement created by instrument, including the terms and provisions thereof:  
Dated: October 11, 1979  
Recording Date: November 20, 1979  
Recording No.: 79-047980  
In Favor Of: City of Tualatin  
For: Sidewalk  
Affects: The Southwesterly portion adjacent to SW Martinazzi Avenue

As shown on ALTA/NSPS Land Title Survey, prepared by Duryea Associates as Job No. 12-1685 dated November 2017, last revised February 15, 2018.

13. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: Comcast of Tualatin Valley, Inc.,  
Purpose: Broadband communications system  
Recording Date: April 24, 2015  
Recording No.: 2015-029996

14. Any rights, interests, or claims which may exist or arise by reason of the following matters disclosed by survey,  
Job No.: 12-1685  
Dated: November 2017, last revised February 15, 2018  
Prepared by: Duryea & Associates, P.S.  
Matters shown:  
A.) Right-of-way Fence overlaps 0.2' onto subject property  
B.) Right-of-way Fence overlaps 0.8' onto subject property  
C.) Asphalt Path overlaps 1.8' onto adjoining property

15. Multifamily Deed of Trust, Assignment of Rents and Security Agreement , including the terms and provisions thereof, given to secure an indebtedness with interest thereon and such future advances as may be provided therein;

Dated as of: December 29, 2020  
Recording Date: December 30, 2020  
Recording No.: 2020-135353  
Amount: \$30,660,000.00  
Grantor: AMFP IV ALDEN LLC, a Delaware limited liability company  
Trustee: Chicago Title Company of Oregon  
Beneficiary: Grandbridge Real Estate Capital LLC

An assignment of the beneficial interest under said deed of trust which names:

Assignee: Federal Home Loan Mortgage Corporation  
Recording Date: December 30, 2020  
Recording No.: 2020-135415

An assignment of the beneficial interest under said deed of trust which names:

Assignee: U.S. Bank National Association, as Trustee For The Registered Holders of GS Mortgage Securities Corporation II, Multifamily Mortgage Pass-Through Certificates, Series 2021-KF107  
Recording Date: April 26, 2021  
Recording No.: 2021-050051

16. A UCC financing statement as follows:

Debtor: AMFP IV ALDEN LLC  
Assignee Secured Party: Federal Home Loan Mortgage Corporation  
Assignor Secured Party: Grandbridge Real Estate Capital LLC  
Recording Date: December 30, 2020  
Recording No.: 2020-135354

Said Financing Statement was assigned by instrument,

Assignee: U.S. Bank National Association, as Trustee For The Registered Holders of GS Mortgage Securities Corporation II, Multifamily Mortgage Pass-Through Certificates, Series 2021-KF107  
Recording Date: April 26, 2021  
Recording No.: 2021-050052

17. Rights of tenants, as tenants only, in unrecorded leaseholds.
18. The Company has on file a copy of the Operating Agreement for AMFP IV Alden LLC, a Delaware limited liability company, dated February 14, 2017. A copy of any amendments subsequent to the date of said Operating Agreement should be furnished for review prior to closing.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.



19. The transaction contemplated in connection with this Report is subject to the review and approval of the Company's Corporate Underwriting Department. The Company reserves the right to add additional items or make further requirements after such review.
20. If requested to issue an extended coverage ALTA loan policy, the following matters must be addressed:
  - a) The rights of tenants holding under unrecorded leases or tenancies
  - b) Matters disclosed by a statement as to parties in possession and as to any construction, alterations or repairs to the Land within the last 75 days. The Company must be notified in the event that any funds are to be used for construction, alterations or repairs.
  - c) Any facts which would be disclosed by an accurate survey of the Land

**ADDITIONAL REQUIREMENTS/NOTES:**

- A. In addition to the standard policy exceptions, the exceptions enumerated above shall appear on the final 2006 ALTA Policy unless removed prior to issuance.
- B. Note: The name(s) of the proposed insured(s) furnished with this application for title insurance is/are:  
  
No names were furnished with the application. Please provide the name(s) of the buyers as soon as possible.
- C. Note: No utility search has been made or will be made for water, sewer or storm drainage charges unless the City/Service District claims them as liens (i.e. foreclosable) and reflects them on its lien docket as of the date of closing. Buyers should check with the appropriate city bureau or water service district and obtain a billing cutoff. Such charges must be adjusted outside of escrow.
- D. Note: Effective January 1, 2008, Oregon law (ORS 314.258) mandates withholding of Oregon income taxes from sellers who do not continue to be Oregon residents or qualify for an exemption. Please contact your Escrow Closer for further information.
- E. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.
- F. THE FOLLOWING NOTICE IS REQUIRED BY STATE LAW: YOU WILL BE REVIEWING, APPROVING AND SIGNING IMPORTANT DOCUMENTS AT CLOSING. LEGAL CONSEQUENCES FOLLOW FROM THE SELECTION AND USE OF THESE DOCUMENTS. YOU MAY CONSULT AN ATTORNEY ABOUT THESE DOCUMENTS. YOU SHOULD CONSULT AN ATTORNEY IF YOU HAVE QUESTIONS OR CONCERNS ABOUT THE TRANSACTION OR ABOUT THE DOCUMENTS. IF YOU WISH TO REVIEW TRANSACTION DOCUMENTS THAT YOU HAVE NOT SEEN, PLEASE CONTACT THE ESCROW AGENT.
- G. Note: This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances or acreage shown thereon.

H. NOTE: IMPORTANT INFORMATION REGARDING PROPERTY TAX PAYMENTS

|  |  |
|--|--|
| Fiscal Year:   | July 1 <sup>st</sup> through June 30 <sup>th</sup> |
| Taxes become a lien on real property, but are not yet payable:   | July 1 <sup>st</sup>                               |
| Taxes become certified and payable (approximately on this date): | October 15 <sup>th</sup>                           |
| First one third payment of taxes is due:                         | November 15 <sup>th</sup>                          |
| Second one third payment of taxes is due:                        | February 15 <sup>th</sup>                          |
| Final payment of taxes is due:                                   | May 15 <sup>th</sup>                               |

Discounts: If two thirds are paid by November 15<sup>th</sup>, a 2% discount will apply.  
If the full amount of the taxes are paid by November 15<sup>th</sup>, a 3% discount will apply.

Interest: Interest accrues as of the 15<sup>th</sup> of each month based on any amount that is unpaid by the due date. No interest is charged if the minimum amount is paid according to the above mentioned payment schedule.

I. Recording Charge (Per Document) is the following:

| County     | First Page | Each Additional Page |
|------------|------------|----------------------|
| Multnomah  | \$86.00    | \$5.00               |
| Washington | \$81.00    | \$5.00               |
| Clackamas  | \$93.00    | \$5.00               |
| Yamhill    | \$81.00    | \$5.00               |

Note: When possible the company will record electronically. An additional charge of \$5.00 applies to each document that is recorded electronically.

Note: Please send any documents for recording to the following address:

Portland Title Group  
Attn: Recorder  
1433 SW 6th Ave.  
Portland, OR. 97201

## EXHIBIT ONE

### 2006 AMERICAN LAND TITLE ASSOCIATION LOAN POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to
  - the occupancy, use, or enjoyment of the Land;
  - the character, dimensions or location of any improvement erected on the land;
  - the subdivision of land; or
  - environmental protection;or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- Defects, liens, encumbrances, adverse claims, or other matters
  - created, suffered, assumed or agreed to by the Insured Claimant;
  - not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;

- resulting in no loss or damage to the Insured Claimant;
  - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13, or 14); or
  - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
- Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with the applicable doing-business laws of the state where the Land is situated.
  - Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth-in-lending law.
  - Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
    - a fraudulent conveyance or fraudulent transfer, or
    - a preferential transfer for any reason not stated in the Covered Risk 13(b) of this policy.
  - Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b).

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

#### SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
- Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.

### 2006 AMERICAN LAND TITLE ASSOCIATION OWNER'S POLICY (06-17-06) EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses that arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to
  - the occupancy, use, or enjoyment of the Land;
  - the character, dimensions or location of any improvement erected on the land;
  - the subdivision of land; or
  - environmental protection;or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- Defects, liens, encumbrances, adverse claims, or other matters
  - created, suffered, assumed or agreed to by the Insured Claimant;

- not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
  - resulting in no loss or damage to the Insured Claimant;
  - attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
  - resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
- Any claim, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is
    - a fraudulent conveyance or fraudulent transfer, or
    - a preferential transfer for any reason not stated in the Covered Risk 9 of this policy.
  - Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage.

#### SCHEDULE B - GENERAL EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
- Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
- Any lien for services, labor or material heretofore or hereafter furnished, or for contributions due to the State of Oregon for unemployment compensation or worker's compensation, imposed by law and not shown by the Public Records.



Inquire before you wire!

## WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice.  
If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. DO NOT use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the number of relevant parties to the transaction as soon as an escrow account is opened.** DO NOT send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do NOT reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

**Federal Bureau of Investigation:**

<http://www.fbi.gov>

**Internet Crime Complaint Center:**

<http://www.ic3.gov>

## FIDELITY NATIONAL FINANCIAL PRIVACY NOTICE

Effective January 1, 2021

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF," "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

A limited number of FNF subsidiaries have their own privacy notices. If a subsidiary has its own privacy notice, the privacy notice will be available on the subsidiary's website and this Privacy Notice does not apply.

### **Collection of Personal Information**

FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

We may collect Personal Information about you from:

- information we receive from you or your agent;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

### **Collection of Browsing Information**

FNF automatically collects the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

### **Other Online Specifics**

**Cookies.** When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

**Web Beacons.** We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

**Do Not Track.** Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to unaffiliated third-party websites. FNF is not responsible for the privacy practices or content of those websites. We recommend that you read the privacy policy of every website you visit.

### **Use of Personal Information**

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates', and others' products and services, jointly or independently.

### **When Information Is Disclosed**

We may disclose your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law. We may share your Personal Information with affiliates (other companies owned by FNF) to directly market to you. Please see "Choices with Your Information" to learn how to restrict that sharing.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

### **Security of Your Information**

We maintain physical, electronic, and procedural safeguards to protect your Personal Information.

### **Choices With Your Information**

If you do not want FNF to share your information among our affiliates to directly market to you, you may send an "opt out" request as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you without your consent.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law. For additional information about your California privacy rights, please visit the "California Privacy" link on our website (<https://fnf.com/pages/californiaprivacy.aspx>) or call (888) 413-1748.

For Nevada Residents: You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

For Vermont Residents: We will not disclose information about your creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

### **Information From Children**

The FNF Websites are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

### **International Users**

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

### **FNF Website Services for Mortgage Loans**

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except as required or authorized by contract with the mortgage loan servicer or lender, or as required by law or in the good-faith belief that such disclosure is necessary: to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

### **Your Consent To This Privacy Notice; Notice Changes; Use of Comments or Feedback**

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The Privacy Notice's effective date will show the last date changes were made. If you provide information to us following any change of the Privacy Notice, that signifies your assent to and acceptance of the changes to the Privacy Notice.

### **Accessing and Correcting Information; Contact Us**

If you have questions, would like to correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, visit FNF's [Opt Out Page](#) or contact us by phone at (888) 934-3354 or by mail to:

Fidelity National Financial, Inc.  
601 Riverside Avenue,  
Jacksonville, Florida 32204  
Attn: Chief Privacy Officer

**From:** Heather Austin <heather.austin@3j-consulting.com>  
**Sent:** Tuesday, September 27, 2022 2:58 PM  
**To:** Keith Leonard <kleonard@tualatin.gov>  
**Subject:** RE: Check-in on Alden Apartments

Hi Keith-

Attached you will find a copy of the land use application with applicant's (my) signature (sorry about that!). Also attached is our affidavit of posting and pictures of the 3 signs. And below is a statement regarding TDH 32.140(1)(h).

**TDC 32.140(1)(h), "A statement as to whether any City-recognized Citizen Involvement Organizations (CIOs) whose boundaries include, or are adjacent to, the subject property were contacted in advance of filing the application and, if so, a summary of the contact. The summary must include the date when contact was made, the form of the contact and who it was with (e.g. phone conversation with neighborhood association chairperson, meeting with land use committee, presentation at neighborhood association meeting), and the result;"**

*Finding: The applicant contacted the Martinazzi Woods CIO, a City-recognized Citizen Involvement Organizations (CIO) whose boundaries include, or are adjacent to, the subject property. The applicant e-mailed a notice to the Martinazzi Woods CIO on July 29, 2022, announcing the August 10, 2022 neighborhood meeting, via the following e-mail addresses:*

To: [martinazziwoodscio@gmail.com](mailto:martinazziwoodscio@gmail.com)

Cc: [solson.1827@gmail.com](mailto:solson.1827@gmail.com); [delmoore@frontier.com](mailto:delmoore@frontier.com); [jamison.l.shields@gmail.com](mailto:jamison.l.shields@gmail.com);  
[claudiasterling68@gmail.com](mailto:claudiasterling68@gmail.com); [janet7531@gmail.com](mailto:janet7531@gmail.com); [roydloop@gmail.com](mailto:roydloop@gmail.com)

*No response was received. This standard is met.*

Please let me know if you need anything else, or if you'd like me to update the narrative with the finding above (to keep things cleaner).

Thanks!  
Heather

**Heather Austin, AICP** | Senior Planner | **3J Consulting**  
she/her | O: 503.946.9365 x206 | C: 503.887.2130



**AFFIDAVIT OF MAILING NOTICE**

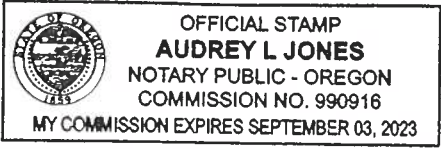
STATE OF OREGON            )  
  ) SS  
COUNTY OF WASHINGTON )

I, Samuel Huck being first duly sworn, depose and say:

That on the 27 day of July, 2022, I served upon the persons shown on Exhibit "A" (Mailing Area List), attached hereto and by this reference incorporated herein, a copy of the Notice of Neighborhood/Developer Meeting marked Exhibit "B," attached hereto and by this reference incorporated herein, by mailing to them a true and correct copy of the original hereof. I further certify that the addresses shown on said Exhibit "A" are their regular addresses as determined from the books and records of the Washington County and/or Clackamas County Departments of Assessment and Taxation Tax Rolls, and that said envelopes were placed in the United States Mail with postage fully prepared thereon.

Samuel Huck  
Signature

SUBSCRIBED AND SWORN to before me this 27<sup>th</sup> day of July, 2022.



Audrey Jones  
Notary Public for Oregon  
My commission expires:

RE: September 03, 2023

| <b>Introduction</b> | <b>Address</b>           | <b>City</b> | <b>State</b> |
|---------------------|--------------------------|-------------|--------------|
| To Our Neighbors at | 8390 Sw Seminole Trl.    | Tualatin    | OR           |
| To Our Neighbors at | 20222 Sw 72Nd Ave.       | Tigard      | OR           |
| To Our Neighbors at | 8320 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 8489 Sw Umatilla St.     | Tualatin    | OR           |
| To Our Neighbors at | 21110 Sw 84Th Ave.       | Tualatin    | OR           |
| To Our Neighbors at | 20873 Sw Martinazzi Ave. | Tualatin    | OR           |
| To Our Neighbors at | 20150 Sw 72Nd Ave.       | Tualatin    | OR           |
| To Our Neighbors at | 8105 Sw Shenandoah Way.  | Tualatin    | OR           |
| To Our Neighbors at | 20980 Sw 84Th Ave.       | Tualatin    | OR           |
| To Our Neighbors at | 20905 Sw 84Th Ave.       | Tualatin    | OR           |
| To Our Neighbors at | 20973 Sw Martinazzi Ave. | Tualatin    | OR           |
| To Our Neighbors at | 8153 Sw Seminole Trl.    | Tualatin    | OR           |
| To Our Neighbors at | 8310 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 8330 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 20249 Sw 85Th Ct.        | Tualatin    | OR           |
| To Our Neighbors at | 8235 Sw Shenandoah Way.  | Tualatin    | OR           |
| To Our Neighbors at | 8312 Sw Shenandoah Way.  | Tualatin    | OR           |
| To Our Neighbors at | 8447 Sw Iroquois Dr.     | Tualatin    | OR           |
| To Our Neighbors at | 8304 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 20104 Sw Tillamook Ct.   | Tualatin    | OR           |
| To Our Neighbors at | 8370 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 21125 Sw Martinazzi Ave. | Tualatin    | OR           |
| To Our Neighbors at | 20016 Sw 86Th Ave.       | Tualatin    | OR           |
| To Our Neighbors at | 9801 Ranch Hand Ave.     | Las Vegas   | NV           |
| To Our Neighbors at | 8485 Sw Iroquois Dr.     | Tualatin    | OR           |
| To Our Neighbors at | 8404 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 20208 Sw 85Th Ct.        | Tualatin    | OR           |
| To Our Neighbors at | 8540 Sw Modoc Ct.        | Tualatin    | OR           |
| To Our Neighbors at | 5185 Carman Dr.          | Lake Oswego | OR           |
| To Our Neighbors at | 8368 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 8360 Sw Chelan St.       | Tualatin    | OR           |
| To Our Neighbors at | 8332 Sw Shenandoah Way.  | Tualatin    | OR           |
| To Our Neighbors at | 8332 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 8336 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 20351 Sw 72Nd Ave.       | Tualatin    | OR           |
| To Our Neighbors at | 8565 Sw Modoc Ct.        | Tualatin    | OR           |
| To Our Neighbors at | 7392 Sw Tenino Ln.       | Tualatin    | OR           |
| To Our Neighbors at | 8446 Sw Umatilla St.     | Tualatin    | OR           |
| To Our Neighbors at | 8228 Sw Seminole Trl.    | Tualatin    | OR           |
| To Our Neighbors at | 8700 Sw Comanche Way.    | Tualatin    | OR           |
| To Our Neighbors at | 7313 Sw Delaware Cir.    | Tualatin    | OR           |
| To Our Neighbors at | 20335 Sw 86Th Ave.       | Tualatin    | OR           |
| To Our Neighbors at | 8487 Sw Huron Ct.        | Tualatin    | OR           |
| To Our Neighbors at | 8456 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 20176 Sw 72Nd Ave.       | Tualatin    | OR           |
| To Our Neighbors at | 8380 Se Shenandoah Way.  | Tualatin    | OR           |
| To Our Neighbors at | 20601 Sw Colville Ct.    | Tualatin    | OR           |
| To Our Neighbors at | 8740 Sw Comanche Way.    | Tualatin    | OR           |
| To Our Neighbors at | 8408 Sw Umatilla St.     | Tualatin    | OR           |
| To Our Neighbors at | 7476 Sw Delaware Cir.    | Tualatin    | OR           |
| To Our Neighbors at | 7288 Sw Delaware Cir.    | Tualatin    | OR           |
| To Our Neighbors at | 8462 Sw Umatilla St.     | Tualatin    | OR           |
| To Our Neighbors at | 8448 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 8344 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 8486 Sw Mohawk St.       | Tualatin    | OR           |
| To Our Neighbors at | 21233 Sw Iroquis Dr.     | Tualatin    | OR           |
| To Our Neighbors at | 8472 Sw Nestucca Ct.     | Tualatin    | OR           |
| To Our Neighbors at | 20577 Sw Colville Ct.    | Tualatin    | OR           |
| To Our Neighbors at | 22350 Sw 102Nd Pl.       | Tualatin    | OR           |
| To Our Neighbors at | 20350 Sw 72Nd Ave.       | Tualatin    | OR           |
| To Our Neighbors at | 3809 Ne 73Rd Ave.        | Portland    | OR           |



|                     |                              |              |    |
|---------------------|------------------------------|--------------|----|
| To Our Neighbors at | 8160 Sw Shenandoah Way.      | Tualatin     | OR |
| To Our Neighbors at | 8315 Sw Shenandoah Way.      | Tualatin     | OR |
| To Our Neighbors at | 8252 Sw Shenandoah Way.      | Tualatin     | OR |
| To Our Neighbors at | 8522 Sw Mohawk St.           | Tualatin     | OR |
| To Our Neighbors at |                              |              | OR |
| To Our Neighbors at | Po Box 230698.               | Portland     | OR |
| To Our Neighbors at | Po Box 230698.               | Portland     | OR |
| To Our Neighbors at | 18880 Sw Martinazzi Ave.     | Tualatin     | OR |
| To Our Neighbors at | 18880 Sw Martinazzi Ave.     | Tualatin     | OR |
| To Our Neighbors at | 18880 Sw Martinazzi Ave.     | Tualatin     | OR |
| To Our Neighbors at | 18880 Sw Martinazzi Ave.     | Tualatin     | OR |
| To Our Neighbors at | 18880 Sw Martinazzi Ave.     | Tualatin     | OR |
| To Our Neighbors at | 18880 Sw Martinazzi Ave.     | Tualatin     | OR |
| To Our Neighbors at | 8372 Sw Mohawk St.           | Tualatin     | OR |
| To Our Neighbors at | 710 Holladay St.             | Portland     | OR |
| To Our Neighbors at | 10735 Sw Bannoch St.         | Tualatin     | OR |
| To Our Neighbors at | 20222 Sw Tillamook Ct.       | Tualatin     | OR |
| To Our Neighbors at | 8375 Sw Seminole Trl.        | Tualatin     | OR |
| To Our Neighbors at | 9500 Sw Barbur Blvd Ste 300. | Portland     | OR |
| To Our Neighbors at | 9500 Sw Barbur Blvd Ste 300. | Portland     | OR |
| To Our Neighbors at | 6195 Sw 150Th Ave.           | Beaverton    | OR |
| To Our Neighbors at | 21199 Sw Martinazzi Ave.     | Tualatin     | OR |
| To Our Neighbors at | 21233 Sw Martinazzi Ave.     | Tualatin     | OR |
| To Our Neighbors at | 20222 Sw 72Nd Ave.           | Tualatin     | OR |
| To Our Neighbors at | 8175 Sw Shenandoah Way.      | Tualatin     | OR |
| To Our Neighbors at | 7321 Sw Delaware Cir.        | Tualatin     | OR |
| To Our Neighbors at | 8464 Sw Iroquois Dr.         | Tualatin     | OR |
| To Our Neighbors at | 8685 Sw Seminole Trl.        | Tualatin     | OR |
| To Our Neighbors at | 8535 Sw Seminole Trl.        | Tualatin     | OR |
| To Our Neighbors at | 1220 Sw 3Rd Ave Rm 1616.     | Portland     | OR |
| To Our Neighbors at | 19775 Sw Taposa Pl.          | Tualatin     | OR |
| To Our Neighbors at | 8510 Sw Mohawk St.           | Tualatin     | OR |
| To Our Neighbors at | 7251 Sw Delaware Cir.        | Beaverton    | OR |
| To Our Neighbors at | 8105 Sw Seminole Trl.        | Tualatin     | OR |
| To Our Neighbors at | 8240 Sw Shenandoah Way.      | Tualatin     | OR |
| To Our Neighbors at | 8450 Sw Mohawk St.           | Tualatin     | OR |
| To Our Neighbors at | 7311 Sw Tenino Ln.           | Tualatin     | OR |
| To Our Neighbors at | 8274 Sw Mohawk St.           | Tualatin     | OR |
| To Our Neighbors at | 20628 Sw 84Th Ct.            | Tualatin     | OR |
| To Our Neighbors at | 20917 Sw Martinazzi Ave.     | Tualatin     | OR |
| To Our Neighbors at | 8334 Sw Mowhawk St.          | Tualatin     | OR |
| To Our Neighbors at | 8178 Sw Shenandoah Way.      | Tualatin     | OR |
| To Our Neighbors at | 20948 Sw 84Th Ave.           | Tualatin     | OR |
| To Our Neighbors at | 21306 Sw Iroquois Dr.        | Tualatin     | OR |
| To Our Neighbors at | 20569 Sw 84Th Ct.            | Tualatin     | OR |
| To Our Neighbors at | 7401 Sw Washo Ct #200.       | Tualatin     | OR |
| To Our Neighbors at | 2982 Winkel Way.             | West Linn    | OR |
| To Our Neighbors at | 21285 Sw Martinazzi Ave.     | Tualatin     | OR |
| To Our Neighbors at | 8280 Sw Mohawk St.           | Tualatin     | OR |
| To Our Neighbors at | 8685 Sw Comanche Way.        | Tualatin     | OR |
| To Our Neighbors at | 8384 Sw Mohawk St.           | Tualatin     | OR |
| To Our Neighbors at | 8501 Sw Iroquois Dr.         | Tualatin     | OR |
| To Our Neighbors at | 8278 Sw Mohawk St.           | Tualatin     | OR |
| To Our Neighbors at | 20270 Sw 86Th Ave.           | Tualatin     | OR |
| To Our Neighbors at | 7991 Sw Mohawk St.           | Tualatin     | OR |
| To Our Neighbors at | 1930 16Th Ave.               | Forest Grove | OR |
| To Our Neighbors at | 8201 Sw Seminole Trail.      | Tualatin     | OR |
| To Our Neighbors at | 8475 Sw Avery St.            | Tualatin     | OR |
| To Our Neighbors at | 19800 Spring Ridge Dr.       | West Linn    | OR |
| To Our Neighbors at | 7343 Sw Tenino Ln.           | Tualatin     | OR |
| To Our Neighbors at | 19760 Sw Boones Ferry Rd.    | Tualatin     | OR |
| To Our Neighbors at | 8400 Sw Seminole Trl.        | Tualatin     | OR |



|                     |                                   |               |    |
|---------------------|-----------------------------------|---------------|----|
| To Our Neighbors at | 28686 Sw Paris Ave.               | Wilsonville   | OR |
| To Our Neighbors at | 20487 Sw 69Th Ave.                | Tualatin      | OR |
| To Our Neighbors at | 8121 Sw Seminole Trl.             | Tualatin      | OR |
| To Our Neighbors at | 20779 Sw 84Th Ave.                | Tualatin      | OR |
| To Our Neighbors at | 7401 Sw Delaware Cir.             | Tualatin      | OR |
| To Our Neighbors at | 20445 Sw 86Th Ave.                | Tualatin      | OR |
| To Our Neighbors at | 8500 Sw Iroquois Dr.              | Tualatin      | OR |
| To Our Neighbors at | 20527 Sw 84Th Ct.                 | Tualatin      | OR |
| To Our Neighbors at | Po Box 824.                       | Tualatin      | OR |
| To Our Neighbors at | 7375 Sw Tenino.                   | Tualatin      | OR |
| To Our Neighbors at | 20173 Sw Tenino Ct.               | Tualatin      | OR |
| To Our Neighbors at | 20028 Sw 72Nd Ave.                | Tualatin      | OR |
| To Our Neighbors at | 21250 Sw Makah St.                | Tualatin      | OR |
| To Our Neighbors at | 8520 Sw Modoc Ct.                 | Tualatin      | OR |
| To Our Neighbors at | 180 Calico Lake Dr.               | Brevard       | NC |
| To Our Neighbors at | 14595 Sw 144Th Ave.               | Tigard        | OR |
| To Our Neighbors at | 8735 Sw Avery St.                 | Tualatin      | OR |
| To Our Neighbors at | 8455 Sw Seminole Trail.           | Tualatin      | OR |
| To Our Neighbors at | 22082 Oak Grove.                  | Mission Viejo | CA |
| To Our Neighbors at | 8210 Sw Seminole Trl.             | Tualatin      | OR |
| To Our Neighbors at | 20100 Sw 72Nd Ave.                | Tualatin      | OR |
| To Our Neighbors at | 8520 Sw Sagert St.                | Tualatin      | OR |
| To Our Neighbors at | 8488 Sw Mohawk St.                | Tualatin      | OR |
| To Our Neighbors at | 20682 Sw Martinazzi Ave.          | Tualatin      | OR |
| To Our Neighbors at | 8454 Sw Chelan Ct.                | Tualatin      | OR |
| To Our Neighbors at | 8675 Sw Avery St.                 | Tualatin      | OR |
| To Our Neighbors at | 21198 Sw Iroquois Dr.             | Tualatin      | OR |
| To Our Neighbors at | 8460 Sw Seminole Trl.             | Tualatin      | OR |
| To Our Neighbors at | 20182 Sw Tillamook Ct.            | Tualatin      | OR |
| To Our Neighbors at | 8354 Sw Mohawk St.                | Tualatin      | OR |
| To Our Neighbors at | 8204 Sw Shenandoah Way.           | Tualatin      | OR |
| To Our Neighbors at | 7455 Sw Delaware Cir.             | Tualatin      | OR |
| To Our Neighbors at | 4214 Woodside Cir.                | Lake Oswego   | OR |
| To Our Neighbors at | 8451 Sw Umatilla St.              | Tualatin      | OR |
| To Our Neighbors at | .                                 |               | OR |
| To Our Neighbors at | 21267 Sw Martinazzi Ave.          | Tualatin      | OR |
| To Our Neighbors at | 20935 Sw 90Th Ave.                | Tualatin      | OR |
| To Our Neighbors at | 18840 Sw Boones Ferry Rd Ste 216. | Tualatin      | OR |
| To Our Neighbors at | 18840 Sw Boones Ferry Rd Ste 216. | Tualatin      | OR |
| To Our Neighbors at | 18840 Sw Boones Ferry Rd Ste 216. | Tualatin      | OR |
| To Our Neighbors at | 20164 Sw 85Th Ct.                 | Tualatin      | OR |
| To Our Neighbors at | 8137 Sw Seminole Trl.             | Tualatin      | OR |
| To Our Neighbors at | 2843 Sw Plum Ct.                  | Portland      | OR |
| To Our Neighbors at | 61690 Summer Shade Dr.            | Bend          | OR |
| To Our Neighbors at | 8305 Sw Shenandoah Way.           | Tualatin      | OR |
| To Our Neighbors at | 20124 Sw 72Nd Ave.                | Tualatin      | OR |
| To Our Neighbors at | 7275 Sw Delaware Cir.             | Tualatin      | OR |
| To Our Neighbors at | 8665 Sw Seminole Trail.           | Tualatin      | OR |
| To Our Neighbors at | 8172 Sw Shenandoah Way.           | Tualatin      | OR |
| To Our Neighbors at | 8715 Sw Comanche Way.             | Tualatin      | OR |
| To Our Neighbors at | 7242 Sw Delaware Cir.             | Tualatin      | OR |
| To Our Neighbors at | 8520 Sw Seminole Trl.             | Tualatin      | OR |
| To Our Neighbors at | 20248 Sw Tenino Ct.               | Tualatin      | OR |
| To Our Neighbors at | 20475 Sw 86Th Ave.                | Tualatin      | OR |
| To Our Neighbors at | 20221 Sw Tenino Ct.               | Tualatin      | OR |
| To Our Neighbors at | 8550 Sw Seminole Trl.             | Tualatin      | OR |
| To Our Neighbors at | 20553 Sw Colville Ct.             | Tualatin      | OR |
| To Our Neighbors at | 15253 Se Pebble Beach Dr.         | Happy Valley  | OR |
| To Our Neighbors at | 8398 Sw Mohawk St.                | Tualatin      | OR |
| To Our Neighbors at | 20480 Sw 86Th Ave.                | Tualatin      | OR |
| To Our Neighbors at | 17477 N 101St Way.                | Scottsdale    | AZ |
| To Our Neighbors at | 8515 Sw Seminole Trl.             | Tualatin      | OR |



|                     |                                       |               |    |
|---------------------|---------------------------------------|---------------|----|
| To Our Neighbors at | 8375 Sw Shenandoah Way.               | Tualatin      | OR |
| To Our Neighbors at | 7296 Sw Tenino Ln.                    | Tualatin      | OR |
| To Our Neighbors at | 8374 Sw Mohawk St.                    | Tualatin      | OR |
| To Our Neighbors at | 8535 Sw Avery St.                     | Tualatin      | OR |
| To Our Neighbors at | 20148 Sw Tenino Ct.                   | Tualatin      | OR |
| To Our Neighbors at | 20196 Sw Tenino Ct.                   | Tualatin      | OR |
| To Our Neighbors at | 20834 Sw Martinazzi Ave.              | Tualatin      | OR |
| To Our Neighbors at | 20300 Sw Nancy Ln.                    | Beaverton     | OR |
| To Our Neighbors at | 10335 Sw Hoodview Dr.                 | Tigard        | OR |
| To Our Neighbors at | 10335 Sw Hoodview Dr.                 | Tigard        | OR |
| To Our Neighbors at | 21274 Sw Makah St.                    | Tualatin      | OR |
| To Our Neighbors at | 20390 Sw 86Th Ave.                    | Tualatin      | OR |
| To Our Neighbors at | 121 Sw Salmon St.                     | Portland      | OR |
| To Our Neighbors at | 8442 Sw Mohawk St.                    | Tualatin      | OR |
| To Our Neighbors at | 19740 Sw Boones Ferry Rd.             | Tualatin      | OR |
| To Our Neighbors at | 21216 Sw Martinazzi Ave.              | Tualatin      | OR |
| To Our Neighbors at | 12801 Nw 40Th Ave.                    | Vancouver     | WA |
| To Our Neighbors at | 8302 Sw Mohawk St.                    | Tualatin      | OR |
| To Our Neighbors at | 20084 Sw Tillamook Ct.                | Tualatin      | OR |
| To Our Neighbors at | 8137 Sw Shenandoah Way.               | Tualatin      | OR |
| To Our Neighbors at | 8196 Sw Shenandoah Way.               | Tualatin      | OR |
| To Our Neighbors at | 8245 Sw Avery St.                     | Tualatin      | OR |
| To Our Neighbors at | 23662 Stafford Hill Dr.               | West Linn     | OR |
| To Our Neighbors at | 8224 Sw Shenandoah Way.               | Tualatin      | OR |
| To Our Neighbors at | 8670 Sw Comanche Way.                 | Tualatin      | OR |
| To Our Neighbors at | 21207 Sw Iroquois Dr.                 | Tualatin      | OR |
| To Our Neighbors at | 21012 Sw 84Th Ave.                    | Tualatin      | OR |
| To Our Neighbors at | 8328 Sw Shenandoah Way.               | Tualatin      | OR |
| To Our Neighbors at | Po Box 1632.                          | Tualatin      | OR |
| To Our Neighbors at | 28916 La Carreterra.                  | Laguna Niguel | CA |
| To Our Neighbors at | 20167 Sw 85Th Ct.                     | Tualatin      | OR |
| To Our Neighbors at | 8300 Sw Shenandoah Way.               | Tualatin      | OR |
| To Our Neighbors at | 19745 Sw 49Th Ave.                    | Tualatin      | OR |
| To Our Neighbors at | 8335 Sw Seminole Trail.               | Tualatin      | OR |
| To Our Neighbors at | 5167 Metolius Ave Se.                 | Salem         | OR |
| To Our Neighbors at | 20036 Sw Tillamook Ct.                | Tualatin      | OR |
| To Our Neighbors at | 8295 Sw Seminole Trl.                 | Tualatin      | OR |
| To Our Neighbors at | 7415 Sw 37Th Ave.                     | Portland      | OR |
| To Our Neighbors at | 8164 Sw Shenandoah Way.               | Tualatin      | OR |
| To Our Neighbors at | 8428 Sw Mohawk St.                    | Tualatin      | OR |
| To Our Neighbors at | 8480 Sw Mohawk St.                    | Tualatin      | OR |
| To Our Neighbors at | 8524 Sw Mohawk St.                    | Tualatin      | OR |
| To Our Neighbors at | 8388 Sw Mohawk St.                    | Tualatin      | OR |
| To Our Neighbors at | 4040 Fairview Industrial Dr Se Ms #2. | Salem         | OR |
| To Our Neighbors at | 8476 Sw Huron Ct.                     | Tualatin      | OR |
| To Our Neighbors at | 20753 Sw Martinazzi Ave.              | Tualatin      | OR |
| To Our Neighbors at | 20012 Sw Tillamook Ct.                | Tualatin      | OR |
| To Our Neighbors at | 8235 Sw Avery St.                     | Tualatin      | OR |
| To Our Neighbors at | 8440 Sw Mohawk St.                    | Tualatin      | OR |
| To Our Neighbors at | 7768 Sw Red Hawk Ct.                  | Durham        | OR |
| To Our Neighbors at | 8416 Sw Iroquois Dr.                  | Tualatin      | OR |
| To Our Neighbors at | 8492 Sw Mohawk St.                    | Tualatin      | OR |
| To Our Neighbors at | 8352 Sw Mohawk St.                    | Tualatin      | OR |
| To Our Neighbors at | 8208 Sw Shenandoah Way.               | Tualatin      | OR |
| To Our Neighbors at | 21224 Sw Iroquois Dr.                 | Tualatin      | OR |
| To Our Neighbors at | 8320 Sw Chelan St.                    | Tualatin      | OR |
| To Our Neighbors at | 8625 Sw Comanche Way.                 | Tualatin      | OR |
| To Our Neighbors at | 8488 Sw Huron Ct.                     | Tualatin      | OR |
| To Our Neighbors at | 8464 Sw Mohawk St.                    | Tualatin      | OR |
| To Our Neighbors at | 601 Quail Dr.                         | Newberg       | OR |
| To Our Neighbors at | 8290 Sw Shenandoah Way.               | Tualatin      | OR |
| To Our Neighbors at | 8700 Sw Seminole Trl.                 | Tualatin      | OR |



97062  
97062  
97062  
97062  
97062  
97062  
97062  
97007  
97224  
97224  
97062  
97062  
97204  
97062  
97062  
97062  
98685  
97062  
97062  
97062  
97062  
97062  
97068  
97062  
97062  
97062  
97062  
97062  
92677  
97062  
97062  
97062  
97062  
97306  
97062  
97062  
97219  
97062  
97062  
97062  
97062  
97302  
97062  
97062  
97062  
97062  
97062  
97224  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97132  
97062  
97062

|                     |                              |             |    |
|---------------------|------------------------------|-------------|----|
| To Our Neighbors at | 1619 Se 176Th Ave.           | Portland    | OR |
| To Our Neighbors at | 32590 Sw Arbor Lake Dr.      | Wilsonville | OR |
| To Our Neighbors at | 8512 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 8435 Sw Umatilla St.         | Tualatin    | OR |
| To Our Neighbors at | Po Box 733.                  | Beaverton   | OR |
| To Our Neighbors at | 8462 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 8264 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 20995 Sw Martinazzi Ave.     | Tualatin    | OR |
| To Our Neighbors at | Po Box 730.                  | Tualatin    | OR |
| To Our Neighbors at | 8525 Sw 165Th Ave.           | Beaverton   | OR |
| To Our Neighbors at | 2121 Rosecrans Ave Ste 4325. | El Segundo  | CA |
| To Our Neighbors at | 2121 Rosecrans Ave Ste 4325. | El Segundo  | CA |
| To Our Neighbors at | 2121 Rosecrans Ave Ste 4325. | El Segundo  | CA |
| To Our Neighbors at | 2121 Rosecrans Ave Ste 4325. | El Segundo  | CA |
| To Our Neighbors at | 8490 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 8414 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 8278 Sw Chelan St.           | Tualatin    | OR |
| To Our Neighbors at | 4849 Waylon St.              | Eau Claire  | WI |
| To Our Neighbors at | 8460 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 20400 Sw 72Nd Ave.           | Tualatin    | OR |
| To Our Neighbors at | 8120 Sw Seminole Trl.        | Tualatin    | OR |
| To Our Neighbors at | 7448 Sw Delaware Cir.        | Tualatin    | OR |
| To Our Neighbors at | 20200 Sw Martinazzi Ave.     | Tualatin    | OR |
| To Our Neighbors at | 8346 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 21268 Sw Iroquois Dr.        | Tualatin    | OR |
| To Our Neighbors at | 8376 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 8488 Sw Iroquois Dr.         | Tualatin    | OR |
| To Our Neighbors at | 19165 Sw 51St Ave.           | Tualatin    | OR |
| To Our Neighbors at | 21521 Sw 91St Ave.           | Tualatin    | OR |
| To Our Neighbors at | Po Box 2862.                 | Hillsboro   | OR |
| To Our Neighbors at | 8472 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 8451 Sw Nestucca Ct.         | Tualatin    | OR |
| To Our Neighbors at | 20708 Sw Martinazzi Ave.     | Tualatin    | OR |
| To Our Neighbors at | 8498 Sw Santiam Dr.          | Tualatin    | OR |
| To Our Neighbors at | 8430 Sw Avery St.            | Tualatin    | OR |
| To Our Neighbors at | 8280 Sw Shenandoah Way.      | Tualatin    | OR |
| To Our Neighbors at | 8436 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 8344 Sw Shenandoah Way.      | Tualatin    | OR |
| To Our Neighbors at | 8630 Sw Comanche Way.        | Tualatin    | OR |
| To Our Neighbors at | 8518 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 8266 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 8345 Sw Seminole Trl.        | Tualatin    | OR |
| To Our Neighbors at | 8275 Sw Avery St.            | Tualatin    | OR |
| To Our Neighbors at | 8320 Sw Shenandoah Way.      | Tualatin    | OR |
| To Our Neighbors at | 8355 Sw Shenandoah Way.      | Tualatin    | OR |
| To Our Neighbors at | 9500 Sw Barbur Blvd Ste 300. | Portland    | OR |
| To Our Neighbors at | 20653 Sw 84Th Ave.           | Tualatin    | OR |
| To Our Neighbors at | 17367 Lake Haven Dr.         | Lake Oswego | OR |
| To Our Neighbors at | 17367 Lake Haven Dr.         | Lake Oswego | OR |
| To Our Neighbors at | 8064 Sw Woody End St.        | Portland    | OR |
| To Our Neighbors at | 9839 Sw Siuslaw Ln.          | Tualatin    | OR |
| To Our Neighbors at | 8311 Sw Chelan St.           | Tualatin    | OR |
| To Our Neighbors at | 8348 Sw Mohawk St.           | Tualatin    | OR |
| To Our Neighbors at | 26951 S Bolland Rd.          | Canby       | OR |
| To Our Neighbors at | 20154 Sw Tillamook Ct.       | Tualatin    | OR |
| To Our Neighbors at | 20578 Sw Colville Ct.        | Tualatin    | OR |
| To Our Neighbors at | 8331 Sw Avery St.            | Tualatin    | OR |
| To Our Neighbors at | 20244 Sw Tenino Ct.          | Tualatin    | OR |
| To Our Neighbors at | 20086 Sw 86Th Ave.           | Tualatin    | OR |
| To Our Neighbors at | 8129 Sw Shenandoah Way.      | Tualatin    | OR |
| To Our Neighbors at | 8151 Sw Shenandoah Way.      | Tualatin    | OR |
| To Our Neighbors at | 8386 Sw Mohawk St.           | Tualatin    | OR |



|                     |                            |           |    |
|---------------------|----------------------------|-----------|----|
| To Our Neighbors at | 20062 Sw Tillamook Ct.     | Tualatin  | OR |
| To Our Neighbors at | 8340 Sw Shenandoah Way.    | Tualatin  | OR |
| To Our Neighbors at | 8505 Sw Avery St.          | Tualatin  | OR |
| To Our Neighbors at | 6941 Sw 148Th Ct.          | Beaverton | OR |
| To Our Neighbors at | 20737 Sw Martinazzi Ave.   | Tualatin  | OR |
| To Our Neighbors at | 1532 Sunlight Dr.          | Fairbanks | AK |
| To Our Neighbors at | 8336 Sw Shenandoah Way.    | Tualatin  | OR |
| To Our Neighbors at | 8365 Sw Shenandoah Way.    | Tualatin  | OR |
| To Our Neighbors at | 8245 Sw Seminole Trl.      | Tualatin  | OR |
| To Our Neighbors at | 8555 Sw Seminole Trail.    | Tualatin  | OR |
| To Our Neighbors at | 7424 Sw Tenino Ln.         | Tualatin  | OR |
| To Our Neighbors at | 8410 Sw Seminole Trl.      | Tualatin  | OR |
| To Our Neighbors at | 1481 Nw 13Th Ave Apt 732.  | Portland  | OR |
| To Our Neighbors at | 8660 Sw Seminole Trl.      | Tualatin  | OR |
| To Our Neighbors at | 14919 Ne Lawnview Cir.     | Aurora    | OR |
| To Our Neighbors at | 19738 Sw Boones Ferry Rd.  | Tualatin  | OR |
| To Our Neighbors at | 19770 Sw Boones Ferry Rd.  | Tualatin  | OR |
| To Our Neighbors at | 20817 Sw Martinazzi Ave.   | Tualatin  | OR |
| To Our Neighbors at | 21762 Sw Mountain Home Rd. | Sherwood  | OR |
| To Our Neighbors at | 8360 Sw Shenandoah Way.    | Tualatin  | OR |
| To Our Neighbors at | 8444 Sw Mohawk St.         | Tualatin  | OR |
| To Our Neighbors at | 20602 Sw Colville Ct.      | Tualatin  | OR |
| To Our Neighbors at | 8452 Sw Mohawk St.         | Tualatin  | OR |
| To Our Neighbors at | 8220 Sw Shenandoah Way.    | Tualatin  | OR |
| To Our Neighbors at | 21044 Sw 84Th Ave.         | Tualatin  | OR |
| To Our Neighbors at | 8125 Sw Shenandoah Way.    | Tualatin  | OR |
| To Our Neighbors at | 8499 Sw Huron Ct.          | Tualatin  | OR |
| To Our Neighbors at | 8552 Sw Santiam Dr.        | Tualatin  | OR |
| To Our Neighbors at | 8477 Sw Nestucca Ct.       | Tualatin  | OR |
| To Our Neighbors at | 8214 Sw Shenandoah Way.    | Tualatin  | OR |
| To Our Neighbors at | 7367 Sw Delaware Cir.      | Tualatin  | OR |
| To Our Neighbors at | 8347 Sw Avery St.          | Tualatin  | OR |
| To Our Neighbors at | 20947 Sw 84Th Ave.         | Tualatin  | OR |
| To Our Neighbors at | 8298 Sw Mohawk St.         | Tualatin  | OR |
| To Our Neighbors at | 8350 Sw Seminole Trl.      | Tualatin  | OR |
| To Our Neighbors at | 20044 Sw 86Th Ave.         | Tualatin  | OR |
| To Our Neighbors at | 8165 Sw Shenandoah Way.    | Tualatin  | OR |
| To Our Neighbors at | 20551 Sw Martinazzi Ave.   | Tualatin  | OR |
| To Our Neighbors at | 20211 Sw 85Th Ct.          | Tualatin  | OR |
| To Our Neighbors at | 20292 Sw Tenino Ct.        | Tualatin  | OR |
| To Our Neighbors at | 4218 Ne 41St Ave.          | Portland  | OR |
| To Our Neighbors at | 11970 Sw Hazelwood Loop.   | Tigard    | OR |
| To Our Neighbors at | 7414 Sw Delaware Cir.      | Tualatin  | OR |
| To Our Neighbors at | 8268 Sw Mohawk St.         | Tualatin  | OR |
| To Our Neighbors at | 7328 Sw Tenino Ln.         | Tualatin  | OR |
| To Our Neighbors at | 7293 Sw Delaware Cir.      | Tualatin  | OR |
| To Our Neighbors at | 8138 Sw Seminole Trl.      | Tualatin  | OR |
| To Our Neighbors at | 8680 Sw Seminole Trl.      | Tualatin  | OR |
| To Our Neighbors at | 8520 Sw Mohawk St.         | Tualatin  | OR |
| To Our Neighbors at | 8408 Sw Mohawk St.         | Tualatin  | OR |
| To Our Neighbors at | 7439 Sw Tenino Ln.         | Tualatin  | OR |
| To Our Neighbors at | 8325 Sw Shenandoah Way.    | Tualatin  | OR |
| To Our Neighbors at | 8466 Sw Chelan Ct.         | Tualatin  | OR |
| To Our Neighbors at | 20350 Sw 86Th Ave.         | Tualatin  | OR |
| To Our Neighbors at | 8395 Sw Seminole Trl.      | Tualatin  | OR |
| To Our Neighbors at | 8325 Sw Seminole Trl.      | Tualatin  | OR |
| To Our Neighbors at | 21711 Sw Martinazzi Ave.   | Tualatin  | OR |
| To Our Neighbors at | 8265 Sw Seminole Trl.      | Tualatin  | OR |
| To Our Neighbors at | 8392 Sw Mohawk St.         | Tualatin  | OR |
| To Our Neighbors at | 3468 Ala Haukulu.          | Honolulu  | HI |
| To Our Neighbors at | 21265 Sw Iroquois Dr.      | Tualatin  | OR |
| To Our Neighbors at | 8545 Sw Modoc Ct.          | Tualatin  | OR |



|                     |                             |               |    |
|---------------------|-----------------------------|---------------|----|
| To Our Neighbors at | 8364 Sw Mohawk St.          | Tualatin      | OR |
| To Our Neighbors at | 8420 Sw Umatilla St.        | Tualatin      | OR |
| To Our Neighbors at | 7327 Sw Delaware Cir.       | Tualatin      | OR |
| To Our Neighbors at | 17547 N Somerset Dr.        | Surprise      | AZ |
| To Our Neighbors at | 8355 Sw Seminole Trl.       | Tualatin      | OR |
| To Our Neighbors at | 7205 Sw Delaware Cir.       | Tualatin      | OR |
| To Our Neighbors at | 10 Goodrich Trl.            | Carmel        | CA |
| To Our Neighbors at | 2305 W I20 Ste 140 #172.    | Grand Prairie | TX |
| To Our Neighbors at | 8490 Sw Seminole Trl.       | Tualatin      | OR |
| To Our Neighbors at | 20532 Sw 84Th Ct.           | Tualatin      | OR |
| To Our Neighbors at | 8452 Sw Iroquois Dr.        | Tualatin      | OR |
| To Our Neighbors at | 8400 Sw Mohawk St.          | Tualatin      | OR |
| To Our Neighbors at | Po Box 2690.                | Tualatin      | OR |
| To Our Neighbors at | 7355 Sw Delaware Cir.       | Tualatin      | OR |
| To Our Neighbors at | 8503 Sw Santiam Dr.         | Tualatin      | OR |
| To Our Neighbors at | 20564 Sw 84Th Ct.           | Tualatin      | OR |
| To Our Neighbors at | 8492 Sw Umatilla St.        | Tualatin      | OR |
| To Our Neighbors at | 8246 Sw Seminole Trl.       | Tualatin      | OR |
| To Our Neighbors at | 8474 Sw Mohawk St.          | Tualatin      | OR |
| To Our Neighbors at | 20276 72Nd Ave.             | Tualatin      | OR |
| To Our Neighbors at | 7223 Sw Tenino Ln.          | Tualatin      | OR |
| To Our Neighbors at | 7407 Sw Tenino Ln.          | Tualatin      | OR |
| To Our Neighbors at | 21333 Sw Makah St.          | Tualatin      | OR |
| To Our Neighbors at | 21885 Ne Alton St.          | Fairview      | OR |
| To Our Neighbors at | 8410 Sw Mohawk St.          | Tualatin      | OR |
| To Our Neighbors at | 20376 Sw 72Nd Ave.          | Tualatin      | OR |
| To Our Neighbors at | 20750 Sw Martinazzi Ave.    | Tualatin      | OR |
| To Our Neighbors at | 12424 Se Winter Creek Ct.   | Happy Valley  | OR |
| To Our Neighbors at | 20124 Sw Tillamook Ct.      | Tualatin      | OR |
| To Our Neighbors at | 8485 Sw Seminole Trl.       | Tualatin      | OR |
| To Our Neighbors at | 20002 Sw 86Th St.           | Tualatin      | OR |
| To Our Neighbors at | 20922 Sw Winema Ct.         | Tualatin      | OR |
| To Our Neighbors at | 20679 Sw Martinazzi Ave.    | Tualatin      | OR |
| To Our Neighbors at | 20795 Sw Martinazzi Ave.    | Tualatin      | OR |
| To Our Neighbors at | 7456 Sw Tenino Ln.          | Tualatin      | OR |
| To Our Neighbors at | 8484 Sw Mohawk St.          | Tualatin      | OR |
| To Our Neighbors at | 7229 Sw Delaware Cir.       | Tualatin      | OR |
| To Our Neighbors at | 5223 Ne 47Th Ave.           | Portland      | OR |
| To Our Neighbors at | 8625 Sw Seminole Trail.     | Tualatin      | OR |
| To Our Neighbors at | 8645 Sw Avery St.           | Tualatin      | OR |
| To Our Neighbors at | 8119 Sw Avery St.           | Tualatin      | OR |
| To Our Neighbors at | 4800 Sw Meadows Rd Ste 300. | Lake Oswego   | OR |
| To Our Neighbors at | 8360 Sw Mohawk St.          | Tualatin      | OR |
| To Our Neighbors at | 104 South Aspen Ct.         | Chandler      | AZ |
| To Our Neighbors at | 8514 Sw Mohawk St.          | Tualatin      | OR |
| To Our Neighbors at | 8426 Sw Mohawk St.          | Tualatin      | OR |
| To Our Neighbors at | 4914 E Quien Sabe Way.      | Cave Creek    | AZ |
| To Our Neighbors at | 8690 Sw Comanche Way.       | Tualatin      | OR |
| To Our Neighbors at | 21183 Sw Martinazzi Ave.    | Tualatin      | OR |
| To Our Neighbors at | 20776 Sw Martinazzi Ave.    | Tualatin      | OR |
| To Our Neighbors at | 19767 Sw 72Nd Ave Ste 100.  | Tualatin      | OR |
| To Our Neighbors at | 21313 Sw Makah St.          | Tualatin      | OR |
| To Our Neighbors at | 476 Sw Brookwood Ave.       | Hillsboro     | OR |
| To Our Neighbors at | 14510 Sw Chesterfield Ln.   | Tigard        | OR |
| To Our Neighbors at | 20052 Sw 72Nd Ave.          | Tualatin      | OR |
| To Our Neighbors at | 8415 Sw Avery St.           | Tualatin      | OR |
| To Our Neighbors at | 8487 Sw Chelan Ct.          | Tualatin      | OR |
| To Our Neighbors at | 8487 Sw Chelan Ct.          | Tualatin      | OR |
| To Our Neighbors at | 7345 Sw Delaware Cir.       | Tualatin      | OR |
| To Our Neighbors at | 16745 Sw Stellar Dr.        | Sherwood      | OR |
| To Our Neighbors at | 20532 Sw 84Th Ct.           | Tualatin      | OR |
| To Our Neighbors at | 20230 Sw Tillamook Ct.      | Tualatin      | OR |



|                     |                          |              |    |
|---------------------|--------------------------|--------------|----|
| To Our Neighbors at | 7426 Sw Delaware Cir.    | Tualatin     | OR |
| To Our Neighbors at | 8385 Sw Avery St.        | Tualatin     | OR |
| To Our Neighbors at | 8316 Sw Shenandoah Way.  | Tualatin     | OR |
| To Our Neighbors at | 8500 Sw Modoc Ct.        | Tualatin     | OR |
| To Our Neighbors at | 8380 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 20705 Sw Martinazzi Ave. | Tualatin     | OR |
| To Our Neighbors at | 7434 Sw Delaware Cir.    | Tualatin     | OR |
| To Our Neighbors at | 20269 Sw Tenino Ct.      | Tualatin     | OR |
| To Our Neighbors at | 8412 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 8446 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 20300 Sw 72Nd Ave.       | Tualatin     | OR |
| To Our Neighbors at | 7305 Sw Delaware Cir.    | Tualatin     | OR |
| To Our Neighbors at | 34580 Ne Wilsonville Rd. | Newberg      | OR |
| To Our Neighbors at | 20621 Sw Martinazzi Ave. | Tualatin     | OR |
| To Our Neighbors at | 200 Granada Dr.          | Corte Madera | CA |
| To Our Neighbors at | 8260 Sw Shenandoah Way.  | Tualatin     | OR |
| To Our Neighbors at | 8402 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 8233 Sw Seminole Tr.     | Tualatin     | OR |
| To Our Neighbors at | 8476 Sw Iroquois Dr.     | Tualatin     | OR |
| To Our Neighbors at | 8640 Sw Seminole Trl.    | Tualatin     | OR |
| To Our Neighbors at | 8228 Sw Shenandoah Way.  | Tualatin     | OR |
| To Our Neighbors at | 7360 Sw Tenino Ln.       | Tualatin     | OR |
| To Our Neighbors at | 8314 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 8147 Sw Shenandoah Way.  | Tualatin     | OR |
| To Our Neighbors at | 8705 Sw Avery St.        | Tualatin     | OR |
| To Our Neighbors at | 7281 Sw Delaware Cir.    | Tualatin     | OR |
| To Our Neighbors at | 8358 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 8438 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 20724 Sw 84Th Ave.       | Tualatin     | OR |
| To Our Neighbors at | 20015 Sw Tillamook Ct.   | Tualatin     | OR |
| To Our Neighbors at | 8406 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 8500 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 8470 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 16543 S Harding Rd.      | Oregon City  | OR |
| To Our Neighbors at | 8300 Sw Seminole Trl.    | Tualatin     | OR |
| To Our Neighbors at | 8458 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 8212 Sw Shenandoah Way.  | Tualatin     | OR |
| To Our Neighbors at | 10685 Sw Clay.           | Sherwood     | OR |
| To Our Neighbors at | 10685 Sw Clay St.        | Sherwood     | OR |
| To Our Neighbors at | 20969 Sw 84Th Ave.       | Tualatin     | OR |
| To Our Neighbors at | 8465 Sw Chelan Ct.       | Tualatin     | OR |
| To Our Neighbors at | Po Box 1816.             | Tualatin     | OR |
| To Our Neighbors at | 7190 Sw Delaware St.     | Tualatin     | OR |
| To Our Neighbors at | 8705 Sw Seminole Trl.    | Tualatin     | OR |
| To Our Neighbors at | 2875 Marylhurst Dr.      | West Linn    | OR |
| To Our Neighbors at | 8296 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 20624 Sw Martinazzi Ave. | Tualatin     | OR |
| To Our Neighbors at | 8490 Sw Nestucca Ct.     | Tualatin     | OR |
| To Our Neighbors at | 21246 Sw Iroquois Dr.    | Tualatin     | OR |
| To Our Neighbors at | 8239 Cahmpoeg Rd Ne.     | Saint Paul   | OR |
| To Our Neighbors at | 8402 Sw Santiam Dr.      | Tualatin     | OR |
| To Our Neighbors at | 9795 Sw Iowa Dr.         | Tualatin     | OR |
| To Our Neighbors at | 20101 Sw Tenino Ct.      | Tualatin     | OR |
| To Our Neighbors at | 4641 Firtree Ln.         | Sparks       | NV |
| To Our Neighbors at | 20076 Sw 72Nd Ave.       | Tualatin     | OR |
| To Our Neighbors at | 4856 Sw Wembley Pl.      | Beaverton    | OR |
| To Our Neighbors at | 8390 Sw Shenandoah Way.  | Tualatin     | OR |
| To Our Neighbors at | 4165 Imperial Dr.        | West Linn    | OR |
| To Our Neighbors at | 8418 Sw Mohawk St.       | Tualatin     | OR |
| To Our Neighbors at | 20771 Sw Martinazzi Ave. | Tualatin     | OR |
| To Our Neighbors at | 7335 Sw Delaware Cir.    | Tualatin     | OR |
| To Our Neighbors at | 7007 Sw 7Th Ave.         | Portland     | OR |





|                     |                          |             |    |
|---------------------|--------------------------|-------------|----|
| To Our Neighbors at | 8448 Sw Chelan Ct.       | Tualatin    | OR |
| To Our Neighbors at | 20317 Sw Tenino Ct.      | Tualatin    | OR |
| To Our Neighbors at | 7365 Sw Delaware Cir.    | Tualatin    | OR |
| To Our Neighbors at | 20055 Sw Tillamook Ct.   | Tualatin    | OR |
| To Our Neighbors at | 20821 Sw 84Th Ave.       | Tualatin    | OR |
| To Our Neighbors at | 8143 Sw Shenandoah Way.  | Tualatin    | OR |
| To Our Neighbors at | 8232 Sw Shenandoah Way.  | Tualatin    | OR |
| To Our Neighbors at | 8325 Sw Avery St.        | Tualatin    | OR |
| To Our Neighbors at | 7488 Sw Delaware Cir.    | Tualatin    | OR |
| To Our Neighbors at | 18264 Holly Ln.          | Oregon City | OR |
| To Our Neighbors at | 20579 Sw Martinazzi Ave. | Tualatin    | OR |
| To Our Neighbors at | 21150 Sw Iroquois Dr.    | Tualatin    | OR |
| To Our Neighbors at | 8270 Sw Shenandoah Way.  | Tualatin    | OR |
| To Our Neighbors at | 8285 Sw Chelan St.       | Tualatin    | OR |
| To Our Neighbors at | 8300 Sw Chelan St.       | Tualatin    | OR |
| To Our Neighbors at | 8248 Sw Shenandoah Way.  | Tualatin    | OR |
| To Our Neighbors at | 21180 Sw Martinazzi Ave. | Tualatin    | OR |
| To Our Neighbors at | 8466 Sw Mohawk St.       | Tualatin    | OR |
| To Our Neighbors at | 8340 Sw Mohawk St.       | Tualatin    | OR |
| To Our Neighbors at | 448 Tenney Dr.           | Rogue River | OR |
| To Our Neighbors at | 8508 Sw Mohawk St.       | Tualatin    | OR |
| To Our Neighbors at | 7237 Sw Delaware Cir.    | Tualatin    | OR |
| To Our Neighbors at | 8504 Sw Mohawk St.       | Tualatin    | OR |
| To Our Neighbors at | 10345 W Olympic Blvd.    | Los Angeles | CA |
| To Our Neighbors at | 8475 Sw Huron Ct.        | Tualatin    | OR |
| To Our Neighbors at | 8510 Sw Sagert St.       | Tualatin    | OR |
| To Our Neighbors at | 20373 Sw 72Nd Ave.       | Tualatin    | OR |
| To Our Neighbors at | 20788 Sw 84Th Ave.       | Tualatin    | OR |
| To Our Neighbors at | 8378 Sw Mohawk St.       | Tualatin    | OR |
| To Our Neighbors at | 8131 Sw Avery St.        | Tualatin    | OR |
| To Our Neighbors at | 20884 Sw 84Th Ave.       | Tualatin    | OR |
| To Our Neighbors at | 21109 Sw Martinazzi Ave. | Tualatin    | OR |
| To Our Neighbors at | 20126 Sw Tenino Ct.      | Tualatin    | OR |
| To Our Neighbors at | 2706 Gilbert St S.       | Salem       | OR |
| To Our Neighbors at | 2823 San Ardo.           | Belmont     | CA |
| To Our Neighbors at | 2823 San Ardo.           | Belmont     | CA |
| To Our Neighbors at | 20695 Sw 84Th Ave.       | Tualatin    | OR |
| To Our Neighbors at | 20170 Sw 86Th Ave.       | Tualatin    | OR |
| To Our Neighbors at | 5870 Sw Wichita St.      | Tualatin    | OR |
| To Our Neighbors at | 5870 Sw Wichita St.      | Tualatin    | OR |
| To Our Neighbors at | 7224 Sw Delaware Cir.    | Tualatin    | OR |
| To Our Neighbors at | 678 Gemstone Dr.         | San Marcos  | CA |
| To Our Neighbors at | 19030 Sw Chesapeake Dr.  | Tualatin    | OR |
| To Our Neighbors at | 21265 S Makah St.        | Tualatin    | OR |
| To Our Neighbors at | 8270 Sw Mohawk St.       | Tualatin    | OR |
| To Our Neighbors at | 20863 Sw 84Th Ave.       | Tualatin    | OR |
| To Our Neighbors at | 20136 Sw 85Th Ct.        | Tualatin    | OR |
| To Our Neighbors at | 20989 Sw 84Th Ave.       | Tualatin    | OR |
| To Our Neighbors at | 7404 Sw Delaware Cir.    | Tualatin    | OR |
| To Our Neighbors at | 8465 Sw Umatilla St.     | Tualatin    | OR |
| To Our Neighbors at | 7392 Sw Delaware Cir.    | Tualatin    | OR |
| To Our Neighbors at | 8107 Sw Avery St.        | Tualatin    | OR |
| To Our Neighbors at | 20366 Sw Tenino Ct.      | Tualatin    | OR |
| To Our Neighbors at | 15650 Sw 133Rd Ave.      | Tigard      | OR |
| To Our Neighbors at | 20603 Sw Martinazzi Ave. | Tualatin    | OR |
| To Our Neighbors at | 20168 Sw Tillamook Ct.   | Tualatin    | OR |
| To Our Neighbors at | 8660 Sw Comanche Way.    | Tualatin    | OR |
| To Our Neighbors at | 8284 Sw Mohawk St.       | Tualatin    | OR |
| To Our Neighbors at | 21137 Sw Martinazzi Ave. | Tualatin    | OR |
| To Our Neighbors at | 20726 Sw Martinazzi Ave. | Tualatin    | OR |
| To Our Neighbors at | 8430 Sw Seminole Trl.    | Tualatin    | OR |
| To Our Neighbors at | 8425 Sw Seminole Trail.  | Tualatin    | OR |

97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97045  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97537  
97062  
97062  
97062  
90064  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97302  
94002  
94002  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97062  
97224  
97062  
97062  
97062  
97062  
97062  
97062  
97062

|                     |                               |               |    |
|---------------------|-------------------------------|---------------|----|
| To Our Neighbors at | 20847 Sw 84Th Ave.            | Tualatin      | OR |
| To Our Neighbors at | 8441 Sw Chelan Ct.            | Tualatin      | OR |
| To Our Neighbors at | 8188 Sw Shenandoah Way.       | Tualatin      | OR |
| To Our Neighbors at | 20212 Sw 86Th Ave.            | Tualatin      | OR |
| To Our Neighbors at | 8324 Sw Shenandoah Way.       | Tualatin      | OR |
| To Our Neighbors at | 20846 Sw Martinazzi Ave.      | Tualatin      | OR |
| To Our Neighbors at | 7201 Sw Tenino Ln.            | Tualatin      | OR |
| To Our Neighbors at | 8680 Sw Comanche Way.         | Tualatin      | OR |
| To Our Neighbors at | 7468 Sw Delaware Cir.         | Tualatin      | OR |
| To Our Neighbors at | 10440 Sw Susquehanna Dr.      | Tualatin      | OR |
| To Our Neighbors at | 8422 Sw Chelan Ct.            | Tualatin      | OR |
| To Our Neighbors at | 8485 Sw Nestucca Ct.          | Tualatin      | OR |
| To Our Neighbors at | 160 Mckenzie Creek Rd.        | Scotts Valley | CA |
| To Our Neighbors at | 20692 Sw 84Th Ave.            | Tualatin      | OR |
| To Our Neighbors at | 5100 Sw Greenwood Cir.        | Tualatin      | OR |
| To Our Neighbors at | 8366 Sw Mohawk St.            | Tualatin      | OR |
| To Our Neighbors at | 7247 Sw Tenino Ln.            | Tualatin      | OR |
| To Our Neighbors at | 8185 Sw Seminole Trl.         | Tualatin      | OR |
| To Our Neighbors at | 8390 Sw Mohawk St.            | Tualatin      | OR |
| To Our Neighbors at | 16840 Sw Parrett Mountain Rd. | Sherwood      | OR |
| To Our Neighbors at | 8192 Sw Shenandoah Way.       | Tualatin      | OR |
| To Our Neighbors at | 22760 Sw 87Th Ave.            | Tualatin      | OR |
| To Our Neighbors at | 20939 Sw Martinazzi Ave.      | Tualatin      | OR |
| To Our Neighbors at | 8502 Sw Mohawk St.            | Tualatin      | OR |
| To Our Neighbors at | 8710 Sw Comanche Way.         | Tualatin      | OR |
| To Our Neighbors at | 7456 Sw Delaware Cir.         | Tualatin      | OR |
| To Our Neighbors at | 8295 Sw Shenandoah Way.       | Tualatin      | OR |
| To Our Neighbors at | 61690 Summer Shade Dr.        | Bend          | OR |
| To Our Neighbors at | 8434 Sw Mohawk St.            | Tualatin      | OR |
| To Our Neighbors at | 8256 Sw Shenandoah Way.       | Tualatin      | OR |
| To Our Neighbors at | 8350 Sw Mohawk St.            | Tualatin      | OR |
| To Our Neighbors at | 8394 Sw Mohawk St.            | Tualatin      | OR |
| To Our Neighbors at | 8385 Sw Iroquois Dr.          | Tualatin      | OR |
| To Our Neighbors at | 7306 Sw Delaware Cir.         | Tualatin      | OR |
| To Our Neighbors at | 8490 Sw Chelan Ct.            | Tualatin      | OR |
| To Our Neighbors at | 8264 Sw Seminole Trl.         | Tualatin      | OR |
| To Our Neighbors at | Po Box 3923.                  | Tualatin      | OR |
| To Our Neighbors at | 8478 Sw Mohawk St.            | Tualatin      | OR |
| To Our Neighbors at | 8424 Sw Mohawk St.            | Tualatin      | OR |
| To Our Neighbors at | 7471 Sw Tenino Ln.            | Tualatin      | OR |
| To Our Neighbors at | 7380 Sw Delaware Cir.         | Tualatin      | OR |
| To Our Neighbors at | Po Box 1790.                  | Tualatin      | OR |
| To Our Neighbors at | 8470 Sw Avery St.             | Tualatin      | OR |
| To Our Neighbors at | 20820 Sw 84Th Ave.            | Tualatin      | OR |
| To Our Neighbors at | 7266 Sw Delaware Circle.      | Tualatin      | OR |
| To Our Neighbors at | 8306 Sw Mohawk St.            | Tualatin      | OR |
| To Our Neighbors at | 8255 Sw Avery St.             | Tualatin      | OR |
| To Our Neighbors at | 20916 Sw 84Th Ave.            | Tualatin      | OR |
| To Our Neighbors at | 8685 Sw Sagert St.            | Tualatin      | OR |
| To Our Neighbors at | 8494 Sw Mohawk.               | Tualatin      | OR |
| To Our Neighbors at | 8295 Sw Avery St.             | Tualatin      | OR |
| To Our Neighbors at | 7279 Sw Tenino Ln.            | Tualatin      | OR |
| To Our Neighbors at | 19790 Sw Boones Ferry Rd.     | Tualatin      | OR |
| To Our Neighbors at | 8342 Sw Mohawk St.            | Tualatin      | OR |
| To Our Neighbors at | 8533 Sw Santiam Dr.           | Tualatin      | OR |
| To Our Neighbors at | 8182 Sw Shenandoah Way.       | Tualatin      | OR |
| To Our Neighbors at | 8468 Sw Mohawk St.            | Tualatin      | OR |
| To Our Neighbors at | 20852 Sw 84Th Ave.            | Tualatin      | OR |
| To Our Neighbors at | 4585 Sw Trail Rd.             | Tualatin      | OR |
| To Our Neighbors at | Po Box 1567.                  | Lake Oswego   | OR |
| To Our Neighbors at | 21234 Sw Martinazzi Ave.      | Tualatin      | OR |
| To Our Neighbors at | 8300 Sw Mohawk St.            | Tualatin      | OR |



|                     |                             |             |    |
|---------------------|-----------------------------|-------------|----|
| To Our Neighbors at | 8565 Sw Avery St.           | Tualatin    | OR |
| To Our Neighbors at | 18725 Sw Boones Ferry Rd.   | Tualatin    | OR |
| To Our Neighbors at | 8324 Sw Maxine Ln Unit #46. | Wilsonville | OR |
| To Our Neighbors at | .                           |             |    |

97062  
97062  
97070

# 3J CONSULTING

9600 SW NIMBUS AVENUE, SUITE 100  
BEAVERTON, OREGON 97008  
PH: (503) 946.9365  
WWW.3JCONSULTING.COM

July 27, 2022

## Alden Apartments Neighborhood Meeting

To Our Neighbors at  
8390 Sw Seminole Trl.  
Tualatin, OR 97062

3J Consulting acts on behalf of Colrich California Construction, INC. regarding a proposal for the development of an additional 45 townhomes in Tualatin. The site is 16.53 acres in size and is located at 7800 SW Sagert St, Tualatin, OR 97062. The cross streets are SW Sagert St. and SW Martinazzi Ave. The site consists of one tax lot, identified as 2S125BA00100. The site is zoned Medium High Density Residential (RMH). The site location of the proposed project is shown on the attached vicinity map. The proposal includes applications for an Architectural Review.

Prior to applying to the City of Tualatin for the necessary land use approvals, I would like to discuss the proposal in more detail with the surrounding property owners and residents.

You are cordially invited to attend an In-person Neighborhood Meeting:

**Wednesday, August 10<sup>th</sup>, 2022 at 6:00pm**

**The meeting will be held at the Tualatin Public Library in the Community Room.**

18878 SW Martinazzi Ave. Tualatin, OR 97062

Please note that this will be an informational meeting on preliminary plans. These plans may be altered prior to the submittal of the application to the City. The purpose of this meeting is to provide a forum for the applicant and surrounding property owners/residents to review and consider the proposal. The meeting gives you the opportunity to share with us any special information you know about the property.

I look forward to more specifically discussing the proposal with you. If you have any questions on how to participate in the proposed meeting, please contact us at [ashley.doty@3j-consulting.com](mailto:ashley.doty@3j-consulting.com) or (503) 946.9365 x.223.

Sincerely,

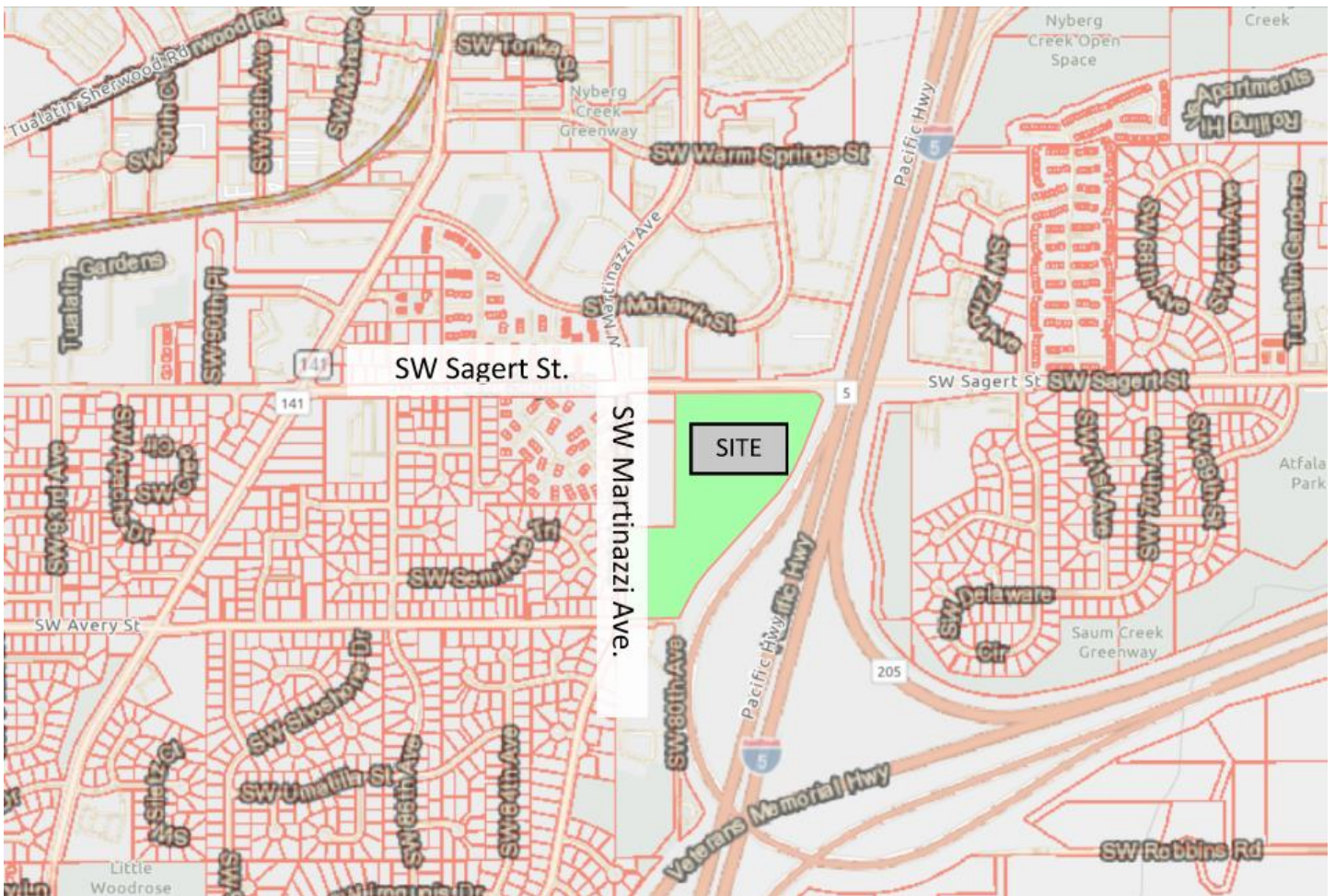


Ashley Doty  
Project Manager  
3J Consulting, Inc.





VICINITY MAP



**CERTIFICATION OF SIGN POSTING**

|   |
|---|
| <p><b>NOTICE</b></p> <p><b>NEIGHBORHOOD /<br/>DEVELOPER MEETING</b></p> <p>__/__/2010 __:__.m.</p> <p>SW _____</p> <p>503-__-__</p> |
|---|

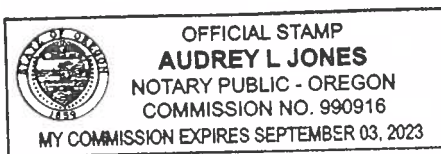
In addition to the requirements of TDC 32.150, the 18" x 24" sign must display the meeting date, time, and address as well as a contact phone number. The block around the word "NOTICE" must remain orange composed of the RGB color values Red 254, Green 127, and Blue 0. A PowerPoint template of this sign is available at: <https://www.tualatinoregon.gov/planning/land-use-application-sign-templates>.

As the applicant for the Alden Apartments project, I hereby certify that on this day, 3 sign(s) was/were posted on the subject property in accordance with the requirements of the Tualatin Development Code and the Community Development Division.

Applicant's Name: Samuel Huck - 3J consulting

Applicant's Signature: *Samuel Huck*  
(Please Print)

Date: 07/27/2022



*Audrey Jones*







## Neighborhood Meeting Notes – Alden Apartments

Date: August 10<sup>th</sup>, 2022  
Project: Alden Apartments  
3J No.: 22791

Presenters: Heather Austin, 3J Consulting, Inc.  
Ashley Doty, 3J Consulting, Inc.

---

In compliance with the requirements for the submission of a land use application for Architectural Review for the development of a Multifamily Housing project, the applicant conducted a neighborhood meeting with notice provided to neighboring property owners within 1,000 feet of the subject site, designated Citizen Involvement Organization representatives, and the Tualatin Community Development Department.

3J Consulting hosted the meeting in the Community Room of the Tualatin Public Library located at 18878 SW Martinazzi Ave. The meeting began at 6:00 PM on August 10, 2022. A sign in sheet was provided for attendees to provide their name, address, telephone number, and email address. The presentation included an overview of the proposed development, zoning requirements and land use process. A site plan, various renderings, and floor plans of the proposed development were available for attendees to view. The following is a list of questions which were asked during the meeting. Names of attendees with comments/questions are included per Tualatin Development Code section 32.120.

| <b>Question</b>   | <b>Answer</b>  |
|---|--|
| Bob Kern: What will the heights of the buildings be? Code used to be 45'.   | The building heights will be maximum 35', which is the maximum height allowed by City code.  |
| Is the church next door staying?  | Yes. The proposed development is completely within the current Alden Apartments site.  |
| What is the design of the landscaping going to be?  | The proposal does not yet have a landscape designed. The renderings just show concept landscaping.   |
| Linda Weland: How many units will be removed?   | 15 units are being removed (two buildings total). 45 units are being added.  |
| Wes Davis: Will there be 2 cars per units? What will the street access be? Will cars be exiting on Sagert? Is it right turn out only? | The units each have a 2 car garage. Most units are on the loop drive that access the property from Martinazzi. One new building (4 units) will have access from Sagert. Currently there are no proposed restrictions to turning movements into or out of the property. |
| Bob: Are there any new entrances to the site?   | There are no new proposed vehicular accesses to the site at this time. The existing a vehicular access to the site will remain.  |



|  |  |
|--|--|
| Bob: How many units will there be per acre?  | The overall property site is 17.09 acres. There will be 240 units total after construction. density. The maximum density per code is 250 units. This meets the City code for density requirements.   |
| Tim: Are the new units townhomes? Are the current ones staying on the site?  | The proposed new buildings are townhomes. The development would remove two existing buildings that are apartments, but no other changes to the existing apartments will occur.   |
| Tim: Are there any traffic impacts? Where will new units be accessing from?  | There are no expected major traffic impacts. This was already looked at by the consulting team.<br><br><a href="#">Additional info: A trip generation study has been conducted by the consulting traffic engineer, Kittelson &amp; Associates. The proposed development is expected to generate fewer than 500 daily drips, fewer than 60 morning and evening peak trips, and fewer than 20 large truck trips per day, and therefore a full transportation impact analysis is not expected for Tualatin Development Code Section 74.440. This report will be included in the land use application.</a> |
| Gayle: Will there be overflow parking for guests?  | The proposed development will be meeting City code requirements for off-street parking.  |
| Linda: Will there be play areas or open spaces for the new units?  | These areas have not been finalized but the intent is to meet City code requirements for site design standards.  |
| Gayle: When is the estimated completion date?  | Spring/Summer 2024   |
| Linda: Are these townhomes going to be to own or to rent?  | All of the new townhome style apartments will be for rent from the same property managements company as the rest of the complex. No private ownership of individual units.   |
| Wally: Are the common areas public or just for the residents? Are there any public funds involved?                           | The common areas will be private and just for the use of residents and guests. There is no public funding involved for the common areas.   |
| Linda: Will there be affordable housing?   | No, the new units will not be considered Affordable Housing per the State definition of "regulated affordable housing". New units will be market rate set by the property owner.   |
| Bob: Are there low cost units on site? What is the current market rate of the units now?                                     | Current rates for existing units are unknown to the consultant team. Please contact the property management company for more information on unit rates.  |
| Wes: What is the different between townhomes and apartments? The project is called Alden Apartments but these are townhomes? | The property is called Alden Apartments and contains various sized apartment units each on individual floors. The proposed units will be townhome style apartments, with   |



---

|   |  |
|---|--|
|   | each units spread across 3 vertical floors, separated by shared walls between units.   |
| Wally: What are the targeted demographics of the new units? Will there be multi-generational style units with bedrooms on the first floor? Can multiple levels be accessed from outside or are there stairs inside to each level. | The units will all only have access from the ground floor. There are currently two proposed unit floorplans. Floorplan A has a bedroom on the first floor. Floorplans are available to view at this meeting. |
| Linda: What will the unit layouts be? How many bedrooms?  | There are currently two different proposed floorplans. Floorplan A has 3 bedrooms and 3 bathrooms. Floorplan B has 2 bedrooms and 2.5 bathrooms.   |
| Barb: How many car spaces will the garages be?  | All units are proposed to have a 2 car garage.   |
|   |  |

The meeting concluded at approximately 6:30 PM.





Appendix F. Neighborhood Meeting Materials

Signs posted along property's frontage on Sagert, Martinazzi and Avery, and close-up of sign designed to city standards.



**CERTIFICATION OF SIGN POSTING**



The applicant must provide and post a sign pursuant to Tualatin Development Code (TDC 32.150). The block around the word "NOTICE" must remain yellow composed of the RGB color values Red 255, Green 255, and Blue 0. A template is available at:

<https://www.tualatinoregon.gov/planning/land-use-application-sign-templates>

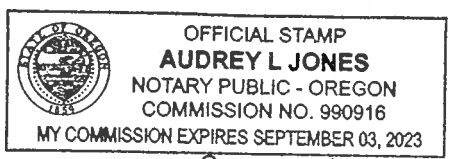
**NOTE:** For larger projects, the Community Development Department may require the posting of additional signs in conspicuous locations.

As the applicant for the Alden Apartments AR-22-0008 project,  
I hereby certify that on this day, 3 sign(s) was/were posted on the subject property in  
accordance with the requirements of the Tualatin Development Code and the Community Development Division.

Applicant's Name: Sam Huck (Please Print)

Applicant's Signature: [Handwritten Signature]

Date: 09/02/2022



[Handwritten Signature: Audrey Jones]







**NOTICE**  
ARCHITECTURAL  
REVIEW AR-22-4006  
For more information call  
503-691-3026 or visit  
[www.clatsopregion.gov](http://www.clatsopregion.gov)



## ALDEN APARTMENTS

7800 SW Sagert Street and 20400 SW Martinazzi Avenue  
Pre-Application Meeting Summary

Thank you for discussing your proposed multiple family development project. Below you will find a summary of our discussion points. If there is anything else from our meeting that you wish to document, please respond with your notes as well. Thank you.

### Required Land Use Reviews

Submit electronically via eTrakit: <https://permits.ci.tualatin.or.us/eTrakit/>.

#### Neighborhood/Developer meeting

- Holding a Neighborhood/Developer meeting is required for the Annexation, Plan Map Amendment (Zone Change), and Architectural Review applications. The same meeting may be used for both applications.
- Neighborhood/Developer meetings should generally be held no more than six months prior to application. More detailed information about this meeting, is online here: <https://www.tualatinoregon.gov/planning/neighborhood-developer-meetings>
- Applicants are responsible for mailing and posting notice of your Neighborhood Developer meeting. The City can provide a list of addresses for your notice letters. This mailing list includes neighboring property owners. Please email us at [planning@tualatin.gov](mailto:planning@tualatin.gov) to request a Mailing List for a \$32 fee.

#### Architectural Review Application:

Type III Land Use Decision – See [TDC 33.020\(3\)](#)

[https://www.tualatinoregon.gov/sites/default/files/fileattachments/planning/page/5081/ar\\_instructions\\_2019\\_withforms.pdf](https://www.tualatinoregon.gov/sites/default/files/fileattachments/planning/page/5081/ar_instructions_2019_withforms.pdf)

Type III AR applications and examples for industrial development found here:

<https://www.tualatinoregon.gov/planning/ar-19-0008-tualatin-industrial-park>

Criteria to address for your AR narrative includes:

- **Tualatin Municipal Code:**
  - [03-02: Sewer Regulations;](#)
  - [03-03: Water Service;](#)
  - [03-05: Soil Erosion, Surface Water Management, Water Quality Facilities, and Building & Sewers;](#)
- **Tualatin Development Code:**

- [32: Procedures;](#)
- [33.020: Architectural Review;](#)
- [33.110: Tree Removal Permit/Review;](#)
- [42: Medium High Density Residential Zone \(RMH\);](#)
- [73A, 73B, 73C and 73D: Design Standards;](#)
- [74: Public Improvements](#)
- [75: Access Management](#)

**Type III Timeline:**

- Decided by Architectural Review Board, meets as needed on Wednesdays: <https://www.tualatinoregon.gov/arb>
  - 30 day Completeness Review.
    - Hearing typically scheduled within 60 days of complete application
  - Notice of Hearing:
    - 20 day prior to hearing
    - Those who comment gain standing for potential appeal
    - Notice of Decision:
      - 14 day appeal period – opportunity to appeal decision to City Council
      - Decision is good for two years ([TDC33.020\(9\)](#)) with an opportunity to request a one-time decision extension ([TDC 33.020\(8\)](#)) of one (1) additional year, if approved. Extensions require a Type II review process.

**Required Service Provider Letters**

Clean Water Services will comment on additional natural resource, through their Review process. The Service Provider Letter from CWS is a requirement of a complete land use or Engineering permit submittal. For more information, see <http://www.cleanwaterservices.org/permits-development/step-by-step-process/environmental-review/> This letter will specify any required wetland and buffer mitigation.

Coordination with Republic Services, the City’s waste disposal service, is required as part of the Architectural Review process. To obtain a service provider letter for proposed development, please work directly with John Olivares, Operations Manager: [jolivares@republicservices.com](mailto:jolivares@republicservices.com) and (503) 826-7139.

Coordination with TVF&R, the City’s emergency and fire protection service, is required as part of the Architectural Review process. To obtain a service provider letter for proposed development, please work directly with TVF&R: <https://www.tvfr.com/FormCenter/Public-Records-7/Service-provider-permit-for-Tualatin-73>

**Highlighted Site Design Standards**

- Ordinance [1463-21](#): The Middle Housing ordinance is effective but the online development code may not have been updated at this time.
- [TDC 73A.200\(1\) Common Wall Design Standards:](#)
- Walkways must be provided between the main building entrances and other on-site buildings, accessways, and sidewalks along the public right-of-way;
- Phasing of Improvements – Phasing of required improvements are regulated in

### **Tree Removal:**

Four or fewer trees may be removed within a single calendar year from a single parcel of property or contiguous parcels of property under the same ownership without a permit. Tree is defined as: a living, standing, woody plant having a trunk eight inches or more in diameter, widest cross section, at a point four feet above mean ground level.

If required, tree removal is reviewed under the Architectural Review application. A tree preservation plan and a tree assessment report prepared by a certified arborist are required to address the approval criteria for tree removal found in [TDC 33.110\(5\)](#).

### **Public Utilities and Other Site Development**

- Request available public utility as-builts by emailing [tdoran@tualatin.gov](mailto:tdoran@tualatin.gov). Washington County can provide public as-builts adjacent to your site.
- Apply for Hydraulic Modeling and Tualatin Erosion Control, Public Works, and Water Quality Permits electronically via eTrakit: <https://permits.ci.tualatin.or.us/eTrakit/>.
- An Erosion Control permit is required from Tualatin for projects disturbing over 500 square feet.
  - Additionally, if between one and five acres are disturbed, a 1200CN is needed from CWS.
  - If over five acres are disturbed, a 1200C is needed from DEQ.
- A Water Quality Permit is needed for construction and modification of public and private impervious areas. The permit will include wetland mitigation/revegetation required by CWS SPL in addition to treatment, detention as required for conveyance, and hydromodification per CWS D&CS Ch 4.
  - Any additional permits from regulating agencies such as CWS Environmental Services
  - Include all private stormwater treatment and conveyance within a maintenance agreement including existing facilities.
  - For water quality permit application completeness submit stormwater plans and calculations certified by an Oregon registered, professional engineer in accordance with TMC 3-5-390(1) proving proposed systems:
    - In accordance with TMC 3-5-200 through 3-5-430, TDC 74.630 and 74.650, Public Works Construction Code (PWCC), and Clean Water Services' (CWS) Design and Construction Standards (D&CS) Chapter 4.
    - Show onsite facilities for proposed new and modified impervious areas.
    - Address runoff from all new and modified private impervious areas.
    - Treat new and modified impervious areas in accordance with CWS D&CS 4.08.1.d meeting phosphorous removal in accordance with TMC 3-5-350 per the design storm in accordance with TMC 3-5-360 and CWS D&CS 4.08.2.
    - Detain as needed TMC 3-5-220, TMC 3-5-230, and CWS D&CS 4.08.
    - Accommodate hydromodification in accordance with CWS D&CS 4.03.5.
    - Include conveyance calculations that accommodates up to a 25-year storm event with 100-year overland flow to the public stormwater system in accordance with TDC 74.640 and CWS D&CS 5.05.2.d.
      - Downstream evaluation with a maximum of 82% capacity within public lines per [TMC 3-5-210 - Review of Downstream System](#)
    - Demonstrate compliance with the Clean Water Services' Service Provider Letter CWS conditions sufficient to obtain a Stormwater Connection Permit Authorization Letter in accordance with TDC 74.650(2) and CWS D&CS 3.01.2(d).



- If the proposed water quality facility includes infiltration in the design, a Geotech/soil/infiltration report will need to be submitted to Engineering for a complete land use application.
- A Public Works Permit is needed for any sanitary sewer, stormwater, or water line work within right-of-way or public easements.
- Record an 8-foot wide public utility easement adjacent to right-of-way. Underground utilities unless over 50kv (then associated existing utilities may remain above).
  - Work directly with PGE regarding any existing lines and poles vs what they will require to serve your site.
  - Your conversations with PGE may result in their request of special circumstances to the City. Please provide us PGE's response early so we can provide any needed input.
  - Private retaining walls must be located outside of the public utility easement.
  - The maximum allowed slope within the public utility easement is per:
    - Washington County standards for SW Grahams Ferry Road.
    - Tualatin [Public Works Construction Code](#) 203.2.07 Slope Design 3:1 standard for local streets.
- Hydraulic Modeling is required for over 48,300 square footage of new building area, 870 gallons/acre/day use, and/or more than 49 residential units. Hydraulic Modeling may be requested in advance of application for a land use to confirm availability and requirements, but may need to be updated depending on changes due to conditions of approval. When submitting a modeling application include:
  - Requirements/alternatives allowed by TVF&R. Apply for a TVF&R service provider letter via <https://www.tvfr.com/FormCenter/Public-Records-7/Service-provider-permit-for-Tualatin-73>.
  - Hydrant flow test results. Request testing via <https://www.tualatinoregon.gov/publicworks/hydrant-flow-tests>. For questions contact Terrance Leahy, Water Division Manager, (503) 691-3095; [tleahy@tualatin.gov](mailto:tleahy@tualatin.gov).
  - After submittal Staff will coordinate with you regarding payment of the fee per the current [fee schedule](#). The fee is currently \$300/building.

### Transportation and Site Access

- Your transportation engineer must email Mike McCarthy, Principal Traffic Engineer, [mmccarthy@tualatin.gov](mailto:mmccarthy@tualatin.gov) (please also copy [tdoran@tualatin.gov](mailto:tdoran@tualatin.gov)) to confirm proposed Traffic Impact Analysis scope including site plan, building sizes, etc. and estimated trip generation. Staff will coordinate with any other applicable agencies and jurisdictions. Mike may also be reached at (503) 691-3674.
- Additional ROW may be required to permit the construction of public transportation improvements (Traffic Impact Analysis will identify mitigation measures).

### Fire

- Drew Dubois, TVF&R (503) 259-1404; [drew.debois@tvfr.com](mailto:drew.debois@tvfr.com)
- Flow testing: Terrance Leahy, Water Division Manager, (503) 691-3095; [tleahy@tualatin.gov](mailto:tleahy@tualatin.gov)

### Building

- At the conclusion of the AR appeal period, please contact Building Services at (503) 691-3044 to schedule a pre-submittal meeting to discuss the permit process with Building Division staff.

- Current fee schedule: <https://www.tualatinoregon.gov/finance/fee-schedule>
- For calculating SDC fees, please work with Lauren Gonzalez, [lgonzalez@tualatin.gov](mailto:lgonzalez@tualatin.gov)



**Engineering Memo for  
AR22-0008, 20400 SW MARTINAZZI AVE, Alden Apartments  
February 15, 2022**

Planning Division,

Please incorporate the following conditions of approval and findings within the combined decision.

## **II. CONDITIONS OF APPROVAL**

Based on the Findings and Conclusions presented herein, is **approved** subject to the following conditions:

---

**PRIOR TO EROSION CONTROL, PUBLIC WORKS, AND WATER QUALITY PERMIT ISSUANCE:**

---

*Submit to the Engineering Division via [eTrakit](#) for review and approval:*

- A1. The applicant must apply for applicable Engineering Erosion Control, Water Quality, and Public Works permits:
- a. Apply using [eTrakit](#). With the initial Engineering permit(s) application(s) include:
    - i. One combined set of 24"x36" plans including all applicable Engineering permits attached to one Engineering permit. Include a note on other Engineering permits stating which application includes the set; and,
    - ii. Payment for an Erosion Control permit fee per the [fee schedule](#); and,
    - iii. Engineering estimate and deposit for each Water Quality or Public Works permit per the [fee schedule](#); and,
  - b. Deliver two 24"x36" hard copies of the combined Engineering permit plan sets to:  
**City of Tualatin**  
**Attn: Engineering Division c/o Principal Engineer**  
**10699 SW Herman Road**  
**Tualatin, OR 97062**
- A2. The applicant must submit Final Street Improvement Plans for SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street adjacent to the lot in accordance with applicable sections of Tualatin Development Code (TDC) 74 and 75 and Public Works Construction Code (PWCC) that show:
- a. Dedication of half-street right-of-way from centerline totaling:
    - i. 25 feet for SW Avery Street; and,
    - ii. 38 feet for SW Martinazzi Avenue; and,
    - iii. 37 feet for SW Sagert Street; and,

- b. Any additional dedication needed for SW Avery Street and SW Martinazzi Avenue and construction:
  - i. On the north side of SW Avery Street to the Shaniko Greenway Trail:
    - 1. A 4-foot-wide planter strip; and,
    - 2. Street trees; and,
    - 3. Widened to accommodate any required LIDA street swales for public stormwater to meet current CWS requirements; and,
    - 4. A 5-foot-wide public sidewalk; and,
    - 5. Street lighting improvements as necessary to meet Tualatin standards.
  - ii. Ramps at the northeast corner of the intersection of SW Avery Street and SW Martinazzi Avenue; and,
- c. Ramp replacement at the intersection of SW Avery Street and SW Martinazzi:
  - i. For the northeast and southeast corners crossing the east side of the intersection; and,
  - ii. For the northwest and northeast corners crossing the north side of the intersection with curb extensions; and,
- d. Continental striping of all four crosswalks of the intersection of SW Avery Street and SW Martinazzi Avenue.
- e. SW Martinazzi Avenue on the east side including:
  - i. Preferred half-street improvements including on-street parallel parking along Martinazzi. This section may be adjusted as necessary (as determined by the City Engineer) to preserve existing large mature trees; and,
  - ii. Street lighting improvements as necessary to meet City Engineer standards including PGE's Option A.
  - iii. A planter strip with street trees:
    - 1. With a minimum 6-foot width where possible; and,
    - 2. Widened to preserve street and private trees or accommodate any required LIDA street swales for public stormwater to meet current CWS requirements; and,
  - iv. A 6-foot-wide sidewalk meandered as needed for topography, tree preservation, and to match the planter strip; and,
- f. An 8-foot-wide public utility easement and any required slope easement, or existing equivalent approved by the City Engineer, adjacent to SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street including:
  - i. Five feet of public utility easement surrounding water meter, backflow protection, and fire vault; and,
  - ii. Any proposed private retaining walls must be outside of public utility and slope easements; and,
  - iii. The City Engineer may allow existing right-of-way in excess of the Preferred half-street to equivalently reduce the required easement width; and,
- g. Bring into compliance of ADA standards:
  - i. All public sidewalks adjacent to the lot; and,
  - ii. Driveways serving the lot; and,

- iii. All ramps adjacent to the lot including receiving ramps at the northwest and southeast corner at the intersection of SW Avery Street and SW Martinazzi Avenue; and,
  
- A3. The applicant must submit Final Water System Plans in accordance with Tualatin Development Code (TDC) 74.610, Tualatin Municipal Code (TMC) 3-3, and Public Works Construction Code (PWCC) that show:
  - a. Separate laterals for domestic and fire services; and,
  - b. A gate valve at the main for both domestic and fire service laterals; and
  - c. Adjacent to public right-of-way:
    - i. Reduced pressure backflow prevention for the domestic lateral; and,
    - ii. Water meter(s) behind the curb within the planter strip, and
    - iii. If within final plans, irrigation after a domestic meter and reduced pressure backflow device; and,
    - iv. Fire vault(s) surrounded by a five foot public utility easement.
  
- A4. The applicant must submit Final Sanitary Sewer System Plans in accordance with Tualatin Development Code (TDC) 74.620, Tualatin Municipal Code (TMC) 3-2, and Public Works Construction Code (PWCC) that show location of the lines, grade, materials, and other details including cleanout at right-of-way.
  
- A5. The applicant must submit:
  - a. Proof from DEQ of approval of construction of the Underground Infiltration Facility or accommodation of associated stormwater infiltration volume within detention facilities approvable under City of Tualatin codes and Clean Water Services' Design and Construction Standards; and,
  - b. Final Stormwater System Calculations and Plans in accordance with Tualatin Development Code (TDC) 74.630 and 74.650, Tualatin Municipal Code (TMC) 3-5-200 through 3-5-430, Public Works Construction Code (PWCC), and Clean Water Services' (CWS) Design & Construction Standards (D&CS) Chapter 4 stamped by an Oregon registered, professional engineer in accordance with TMC 3-5-390(1) that:
    - i. Provide a downstream analysis, including but not limited to erosion, and include solutions within final plans for ¼ mile downstream from the release from the private development through the public stormwater system, in accordance with TMC 3-5-210(4); and,
    - ii. Accommodate up to a 25-year storm event within the City of Tualatin's public stormwater system with a maximum capacity of 82% for Tualatin's lines in accordance with TDC 74.640, CWS D&CS 5.05.2.d, and the City Engineer; and,
    - iii. Evaluate the 100-year check storm for any release directly or indirectly to ODOT's stormwater system in accordance with the ODOT Hydraulics Manual; and

- iv. Address runoff from all new and modified private and public impervious areas; and,
  - v. Prove gravity flow five feet from the outside of the established line of the building to the public stormwater system or as otherwise approved by the City Engineer, in accordance with CWS D&CS 1.03.39 and 5.09.3(a) (1) and (4); and,
  - vi. Discharge to an approved public system; and,
  - vii. Treat new and modified impervious areas in accordance with CWS D&CS 4.08.1.d meeting phosphorous removal in accordance with TMC 3-5-350 per the design storm in accordance with TMC 3-5-360 and CWS D&CS 4.08.2; and,
  - viii. Prove infiltration rates in accordance with CWS D&CS 4.08.03; and,
  - ix. Detain as required for conveyance with the City of Tualatin's stormwater system and up to the 50-year storm event for release to ODOT's stormwater system in accordance with the ODOT Hydraulics Manual, TMC 3-5-220, TMC 3-5-230, and CWS D&CS 4.08; and,
  - x. Accommodate hydromodification including post-development runoff rates not exceeding pre-development runoff rates for ½ the 2-year storm event and the 5-year and 10-year storm events for proposed new and modified impervious areas in accordance with CWS D&CS 4.03.5; and,
  - xi. In accordance with TDC 74.650(2) and CWS D&CS 3.01.2(d), comply with:
    - 1. The submitted Clean Water Services' Service Provider Letter CWS File Number dated July 19, 2022 conditions to obtain a Stormwater Connection Permit Authorization Letter, and,
    - 2. Requirements stated within the Clean Water Services' Memorandum dated November 10, 2022; and,
  - c. Financial assurance for construction performance in accordance with TMC 3-390(3), PWCC 102.14.00, and amount per CWS D&CS 2.07 Table 2-1; and,
  - d. A copy of the recorded private stormwater maintenance agreement in accordance with TMD 3-5-390(4). The agreement must assure the owner as responsible for maintenance of the constructed portions of private stormwater systems within their lot. The identified system must include all conveyance, detention, hydromodification, and treatment.
- A6. The applicant must submit Final Erosion Control Plans in accordance with Tualatin Development Code (TDC) 74.640, Tualatin Municipal Code (TMC) 3-5-050 and 3-5-060, Public Works Construction Code (PWCC), and Clean Water Services' (CWS) Design & Construction Standards (D&CS) Chapters 2 and 6 that:
- a. Minimize the impact of stormwater from the development to adjacent properties; and,
  - b. Are sufficient to obtain a National Pollution Discharge Elimination System (NPDES) 1200-CN Stormwater Discharge Permit from Clean Water Services as an agent of Oregon Department of Environmental Quality if disturbance is between 1 and 5 acres.

---

**PRIOR TO BUILDING PERMIT ISSUANCE:**

---

- A7. The applicant must submit copies of recorded deeds of right-of-way dedication along with public utility and slope easements, as approved by the City Engineer, in accordance with Tualatin Development Code (TDC) 74.210 and 74.330 which show:
- a. Right-of-way dedication including:
    - i. A half-street from centerline for a total of:
      1. 25 feet for SW Avery Street; and,
      2. 38 feet for SW Martinazzi Avenue; and,
      3. 37 feet for SW Sagert Street; and,
    - ii. Any additional at the intersection of SW Avery Street and SW Martinazzi Avenue to construct a 5-foot-wide public sidewalk and 4-foot-wide planter strip along with ramps at the northeast corner of the intersection; and,
    - iii. Any additional to accommodate and any final public street improvements or stormwater LIDA facilities; and,
  - b. 8-foot-wide public utility and any necessary slope easements, adjacent to SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street including:
    - i. A 10-foot-wide public utility easement centered on any water lateral extending onsite past the public utility easement adjacent to right-of-way; and,
    - ii. Five feet of public utility easement surrounding water meters, backflow protection, and fire vaults; and
    - iii. Reduced width of easements from standard due to existing right-of-way in excess of the Preferred half-street width as determined by the City Engineer; and,
- A8. The applicant must obtain:
- a. A National Pollution Discharge Elimination System (NPDES) 1200-CN Stormwater Discharge Permit from Clean Water Services as an agent of Oregon Department of Environmental Quality, and,
  - b. ODOT Miscellaneous Permit
  - c. Erosion Control, Public Works, and Water Quality Permits from the City of Tualatin.

---

**PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY AND/OR CERTIFICATE OF COMPLETION:**

---

- A9. The applicant must complete all the private stormwater and public improvements as shown on the approved permit plans. All improvements must also be accepted by the City in accordance with Tualatin Development Code (TDC) 74.120.
- A10. The applicant must submit paper and electronic as-builts of the Engineering permits along with maintenance bonds and any final fees for public and water quality improvements.

### **III. FINDINGS**

These findings reference the Tualatin Development Code (TDC), unless otherwise noted.

#### **[ENGINEERING FINDINGS]**

## **Chapter 74: Public Improvement Requirements**

[...]

### **TDC 74.120 Public Improvements.**

**(1) Except as specially provided, all public improvements must be installed at the expense of the applicant. All public improvements installed by the applicant must be constructed and guaranteed as to workmanship and material as required by the Public Works Construction Code prior to acceptance by the City. Work must not be undertaken on any public improvement until after the construction plans have been approved by the City Manager and a Public Works Permit issued and the required fees paid.**

#### **Finding:**

*All public improvements will be installed by the applicant at their expense after approval of plans and issued Erosion Control, Water Quality, and Public Works Permits. With recommended Conditions of Approval **A8 and A9**, this standard is met.*

### **TDC 74.130 Private Improvements.**

**All private improvements must be installed at the expense of the applicant. The property owner must retain maintenance responsibilities over all private improvements.**

#### **Finding:**

*All private improvements will be installed by the applicant at their expense and will require prior approval of plans and building permits. With recommended Conditions of Approval **A8 and A9**, this standard is met.*

### **TDC 74.140 Construction Timing.**

**(1) All the public improvements required under this chapter must be completed and accepted by the City prior to the issuance of a Certificate of Occupancy.; or, for subdivision and partition applications, in accordance with the requirements of the Subdivision regulations.**

**(2) All private improvements required under this Chapter must be approved by the City prior to the issuance of a Certificate of Occupancy.; or for subdivision and partition applications, in accordance with the requirements of the Subdivision regulations.**

#### **Finding:**

*All public and private improvements proposed and modified by conditions of approval will be completed and accepted by the City prior to receiving a Certificate of Occupancy. With recommended Conditions of Approval **A8 and A9**, this standard is met.*

[...]

### **TDC 74.210 Minimum Street Right-of-Way Widths.**



The width of streets in feet must not be less than the width required to accommodate a street improvement needed to mitigate the impact of a proposed development. In cases where a street is required to be improved according to the standards of the TDC, the width of the right-of-way must not be less than the minimums indicated in TDC Chapter 74, Public Improvement Requirements, Figures 74-2A through 74-2G.

[...]

(2) For development applications other than subdivisions and partitions, wherever existing or future streets adjacent to property proposed for development are of inadequate right-of-way width, the additional right-of-way necessary to comply with TDC Chapter 74, Public Improvement Requirements, Figures 74-2A through 74-2G must be dedicated to the City for use by the public prior to issuance of any building permit for the proposed development. This right-of-way dedication must be for the full width of the property abutting the roadway and, if required by the City Manager, additional dedications must be provided for slope and utility easements if deemed necessary.

**Finding:**

*The proposal is adjacent to SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street. Required dedication of right-of-way and construction of public street surface infrastructure will benefit this development's expected addition of bicycle, pedestrian, and vehicular trips utilizing streets and sidewalks. This includes dedication to enable construction of a sidewalk with planter strip on SW Avery Street, a parking strip on SW Martinazzi Avenue, and widening SW Sagert Street to enable a center-turn lane serving the subject property's driveway and sidewalk to the east. Final plans will include a minimum of half-street right-of-way dedications to Preferred cross-sections along with improvements within SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street meeting the requirements of the City of Tualatin. With recommended Conditions of Approval **A2 and A7**, this standard is met.*

[...]

**TDC 74.320. - Slope Easements.**

(1) The applicant must obtain and convey to the City any slope easements determined by the City Manager to be necessary adjacent to the proposed development site to support the street improvements in the public right-of-way or accessway or utility improvements required to be constructed by the applicant.

[...]

(3) For all other development applications, a slope easement dedication must be submitted to the City Manager; building permits must not be issued for the development prior to acceptance of the easement by the City.

**Finding:**

*Any required slope easements necessary to support SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street will be granted to the City. With recommended Conditions of Approval **A2 and A7**, this standard is met.*

**TDC 74.330. - Utility Easements.**

**(1) Utility easements for water, sanitary sewer and storm drainage facilities, telephone, television cable, gas, electric lines and other public utilities must be granted to the City.**

[...]

**(4) For development applications other than subdivisions and partitions, and for both on-site and off-site easement areas, a utility easement must be granted to the City; building permits must not be issued for the development prior to acceptance of the easement by the City. The City may elect to exercise eminent domain and condemn necessary off-site public utility easements at the applicant's request and expense. The City Council must determine when condemnation proceedings are to be used.**

**(5) The width of the public utility easement must meet the requirements of the Public Works Construction Code. All subdivisions and partitions must have a 6-foot public utility easement adjacent to the street and a 5-foot public utility easement adjacent to all side and rear lot lines. Other easements may be required as determined by the City Manager.**

**Finding:**

*Any required public utility easement will be granted to the City. The public utility easement width will be 8-foot-wide adjacent to the final dedicated right-of-way of SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street. Additional width of public utility easement will include accommodation of water system meters and vaults to meet the Public Works Construction Code. With recommended Conditions of Approval **A2 and A7**, these standards are met.*

[...]

**TDC 74.420 Street Improvements.**

**When an applicant proposes to develop land adjacent to an existing or proposed street, including land which has been excluded under TDC 74.220, the applicant should be responsible for the improvements to the adjacent existing or proposed street that will bring the improvement of the street into conformance with the Transportation Plan (TDC Chapter 11), TDC 74.425 (Street Design Standards), and the City's Public Works Construction Code, subject to the following provisions:**

**(1) For any development proposed within the City, roadway facilities within the right-of-way described in TDC 74.210 must be improved to standards as set out in the Public Works Construction Code.**

**(2) The required improvements may include the rebuilding or the reconstruction of any existing facilities located within the right-of-way adjacent to the proposed development to bring the facilities into compliance with the Public Works Construction Code.**

**(3) The required improvements may include the construction or rebuilding of off-site improvements which are identified to mitigate the impact of the development.**

**(4) Where development abuts an existing street, the improvement required must apply only to that portion of the street right-of-way located between the property line of the parcel proposed for development and the centerline of the right-of-way, plus any additional pavement beyond the centerline deemed necessary by the City Manager to ensure a smooth transition between a new improvement and the existing roadway (half-street improvement). Additional right-of-way and street**

improvements and off-site right-of-way and street improvements may be required by the City to mitigate the impact of the development. The new pavement must connect to the existing pavement at the ends of the section being improved by tapering in accordance with the Public Works Construction Code.

(5) If additional improvements are required as part of the Access Management Plan of the City, TDC Chapter 75, the improvements must be required in the same manner as the half-street improvement requirements.

(6) All required street improvements must include curbs, sidewalks with appropriate buffering, storm drainage, street lights, street signs, street trees, and, where designated, bikeways and transit facilities.

[...]

(8) For development applications other than subdivisions and partitions, all street improvements required by this section must be completed and accepted by the City prior to the issuance of a Certificate of Occupancy.

[...]

(10) Streets within, or partially within, a proposed development site must be graded for the entire right-of-way width and constructed and surfaced in accordance with the Public Works Construction Code.

(11) Existing streets which abut the proposed development site must be graded, constructed, reconstructed, surfaced or repaired as necessary in accordance with the Public Works Construction Code and TDC Chapter 11, Transportation Plan, and TDC 74.425 (Street Design Standards).

(12) Sidewalks with appropriate buffering must be constructed along both sides of each internal street and at a minimum along the development side of each external street in accordance with the Public Works Construction Code.

(13) The applicant must comply with the requirements of the Oregon Department of Transportation (ODOT), Tri-Met, Washington County and Clackamas County when a proposed development site is adjacent to a roadway under any of their jurisdictions, in addition to the requirements of this chapter.

(14) The applicant must construct any required street improvements adjacent to parcels excluded from development, as set forth in TDC 74.220 of this chapter.

[...]

(17) Intersections should be improved to operate at a level of service of at least D and E for signalized and unsignalized intersections, respectively.

[...]

**Finding:**

*A Trip Generation Letter from Kittelson was submitted with plans focused on onsite redevelopment. City staff have reviewed the proposal against the above requirements. Required dedication of right-of-way and construction of public street surface infrastructure will benefit this development's expected addition of bicycle, pedestrian, and vehicular trips utilizing streets and sidewalks. This includes dedication to enable construction of a sidewalk with planter strip on SW Avery Street, a parking strip on SW Martinazzi Avenue, and widening SW Sagert Street to enable a center-turn lane serving the subject property's*

driveway and sidewalk to the east. With recommended Conditions of Approval **A2, A7, A8 and A9**, these standards are met.

**TDC 74.425 Street Design Standards.**

(1) Street design standards are based on the functional and operational characteristics of streets such as travel volume, capacity, operating speed, and safety. They are necessary to ensure that the system of streets, as it develops, will be capable of safely and efficiently serving the traveling public while also accommodating the orderly development of adjacent lands.

(2) The proposed street design standards are shown in Figures 72A through 72G. The typical roadway cross sections comprise the following elements: right-of-way, number of travel lanes, bicycle and pedestrian facilities, and other amenities such as landscape strips. These figures are intended for planning purposes for new road construction, as well as for those locations where it is physically and economically feasible to improve existing streets.

[...]

(4) All streets must be designed and constructed according to the preferred standard. The City Manager may reduce the requirements of the preferred standard based on specific site conditions, but in no event will the requirement be less than the minimum standard. The City Manager must take into consideration the following factors when deciding whether the site conditions warrant a reduction of the preferred standard:

(a) Arterials:

- (i) Whether adequate right-of-way exists;
- (ii) Impacts to properties adjacent to right-of-way;
- (iii) Current and future vehicle traffic at the location; and
- (iv) Amount of heavy vehicles (buses and trucks).

(b) Collectors:

- (i) Whether adequate right-of-way exists;
- (ii) Impacts to properties adjacent to right-of-way;
- (iii) Amount of heavy vehicles (buses and trucks); and
- (iv) Proximity to property zoned manufacturing or industrial.

[...]

**Finding:**

*The proposal is adjacent to SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street. These are designated on Tualatin Comprehensive Plan Map 8-1: Tualatin Functional Classification Plan and Traffic Signal Plan as a Local, Minor Collector, and Minor Arterial classifications, respectively. A Transportation Impact Analysis from Kittelson did not recommend additional improvements greater than the Preferred cross-sections. With recommended Conditions of Approval **A2 and A7**, these standards are met.*

[...]

**TDC 74.440 Streets, Traffic Study Required.**

**(1) The City Manager may require a traffic study to be provided by the applicant and furnished to the City as part of the development approval process as provided by this Code, when the City Manager determines that such a study is necessary in connection with a proposed development project in order to:**

**(a) Assure that the existing or proposed transportation facilities in the vicinity of the proposed development are capable of accommodating the amount of traffic that is expected to be generated by the proposed development, and/or**

**(b) Assure that the internal traffic circulation of the proposed development will not result in conflicts between on-site parking movements and/or on-site loading movements and/or on-site traffic movements, or impact traffic on the adjacent streets.**

**(2) The required traffic study must be completed prior to the approval of the development application.**

**(3) The traffic study must include, at a minimum:**

**(a) An analysis of the existing situation, including the level of service on adjacent and impacted facilities.**

**(b) An analysis of any existing safety deficiencies.**

**(c) Proposed trip generation and distribution for the proposed development.**

**(d) Projected levels of service on adjacent and impacted facilities.**

**(e) Recommendation of necessary improvements to ensure an acceptable level of service for roadways and a level of service of at least D and E for signalized and unsignalized intersections respectively, after the future traffic impacts are considered.**

**(f) The City Manager will determine which facilities are impacted and need to be included in the study.**

**(g) The study must be conducted by a registered engineer.**

**(4) The applicant must implement all or a portion of the improvements called for in the traffic study as determined by the City Manager.**

**Finding:**

*A Trip Generation Letter from Kittelson did not recommend any improvements. Their summary included:*

*ColRich (applicant) is proposing to redevelop a portion of the Alden Apartments located in the southeast corner of the SW Martinazzi Avenue/SW Sagert Street intersection in Tualatin. The development plan proposes to remove 15 apartment units and construct 45 townhome units and associated amenities. Access to the townhomes will be provided by the existing driveways to the Alden Apartments on SW Sagert Street and SW Martinazzi Avenue. No new driveways are proposed nor modifications to off-site intersections.*

*This letter provides trip generation and trip distribution/assignment estimates for the proposed redevelopment in accordance with Tualatin Development Code Section 74.440. As documented herein, the proposed redevelopment is estimated to generate fewer than 500 daily trips and fewer than 60 morning and evening peak hour trips. In addition, the proposed redevelopment is expected to generate fewer than 20 large truck trips per day. Therefore, a full transportation*

*impact analysis is not expected to be required per Tualatin Development Code Section 74.440 and the following trip generation and trip distribution estimates are expected to satisfy the requirements of the Tualatin Development Code.*

*City staff have reviewed the subject analysis and have determined that it meets the requirements above. This standard is met.*

[...]

**TDC 74.485. - Street Trees.**

[...]

**(2) In nonresidential subdivisions and partitions street trees must be planted by the owners of the individual lots as development occurs.**

**(3) The Street Tree Ordinance specifies the species of tree which is to be planted and the spacing between trees.**

*The applicant will plant street trees as shown within approved permit plans. With recommended Conditions of Approval A2, A8, and A9, this standard is met.*

[...]

**TDC 74.610 Water Service.**

**(1) Water lines must be installed to serve each property in accordance with the Public Works Construction Code. Water line construction plans must be submitted to the City Manager for review and approval prior to construction.**

[...]

**(3) As set forth in TDC Chapter 12, Water Service, the City has three water service levels. All development applicants must be required to connect the proposed development site to the service level in which the development site is located. If the development site is located on a boundary line between two service levels the applicant must be required to connect to the service level with the higher reservoir elevation. The applicant may also be required to install or provide pressure reducing valves to supply appropriate water pressure to the properties in the proposed development site.**

**Finding:**

*Existing services will be improved as needed to meet current code. Separate laterals will serve domestic and fire services. A gate valve will be located near the main for each water lateral. Water meters and fire vaults will be located adjacent to right-of-way. A public utility easement will surround the water meter and fire vault by five feet.*

*With recommended Conditions of Approval A3, A7, A8 and A9, these standards are met.*

**TDC 74.620 Sanitary Sewer Service.**

**(1) Sanitary sewer lines must be installed to serve each property in accordance with the Public Works Construction Code. Sanitary sewer construction plans and calculations must be submitted to the City Manager for review and approval prior to construction.**

**Finding:**

*Existing services will be improved as needed to meet current code including a cleanout will be installed adjacent to right-of-way. With recommended Conditions of Approval **A4, A8, and A9**, this standard is met.*

**TDC 74.630 Storm Drainage System.**

**(1) Storm drainage lines must be installed to serve each property in accordance with City standards. Storm drainage construction plans and calculations must be submitted to the City Manager for review and approval prior to construction.**

**(2) The storm drainage calculations must confirm that adequate capacity exists to serve the site. The discharge from the development must be analyzed in accordance with the City's Storm and Surface Water Regulations.**

[...]

**TDC 74.640 Grading.**

**(1) Development sites must be graded to minimize the impact of storm water runoff onto adjacent properties and to allow adjacent properties to drain as they did before the new development.**

**(2) A development applicant must submit a grading plan showing that all lots in all portions of the development will be served by gravity drainage from the building crawl spaces; and that this development will not affect the drainage on adjacent properties. The City Manager may require the applicant to remove all excess material from the development site.**

**TDC 74.650 Water Quality, Storm Water Detention and Erosion Control.**

**The applicant must comply with the water quality, storm water detention and erosion control requirements in the Surface Water Management Ordinance. If required:**

[...]

**(2) On all other development applications, prior to issuance of any building permit, the applicant must arrange to construct a permanent on-site water quality facility and storm water detention facility and submit a design and calculations indicating that the requirements of the Surface Water Management Ordinance will be met and obtain a Stormwater Connection Permit from Clean Water Services.**

**(3) For on-site private and regional non-residential public facilities, the applicant must submit a stormwater facility agreement, which will include an operation and maintenance plan provided by the City, for the water quality facility for the City's review and approval. The applicant must submit an erosion control plan prior to issuance of a Public Works Permit. No construction or disturbing of the site must occur until the erosion control plan is approved by the City and the required measures are in place and approved by the City.**

**Finding:**

*The Utility Plan illustrates capturing stormwater runoff from the sites developed areas with conveyance discharging to an existing vegetated channel. The channel conveys flow to storm drain infrastructure within the ODOT right-of-way which conveys flow easterly for approximately 0.5 miles and discharges to Saum Creek. The submitted Preliminary Stormwater Report prepared by 3J Consulting includes modifying existing and construction of new onsite stormwater facilities to provide treatment, hydromodification, and detention for all private impervious areas including an Underground Infiltration Facility. ODOT submitted a response dated November 14, 2022 requiring a design meeting the ODOT Hydraulics Manual specifications and to obtain an ODOT Miscellaneous Permit. Modified impervious areas within SW Avery Street, SW Martinazzi Avenue, and SW Sagert Street right-of-ways will be addressed by construction of public LIDA street swales as approved by the City Engineer.*

*Final plans and stormwater calculations will demonstrate that the development has direct access by gravity to public stormwater systems with adequate infiltration and/or downstream capacity in accordance with City of Tualatin, Clean Water Services, DEQ, and ODOT Hydraulics Manual.*

*The site disturbance is approximately 1.85 acres. Erosion and sediment control plans and permit applications conforming to the requirements of the City of Tualatin, CWS, and Oregon Department of Environmental Quality will be provided with the construction permit submittal documents. The applicant will obtain an erosion control permit from the City of Tualatin for disturbance greater than 500 square feet. In addition these plans must be sufficient to obtain a National Pollution Discharge Elimination System (NPDES) 1200-CN Stormwater Discharge Permit from Clean Water Services as an agent of Oregon Department of Environmental Quality if between 1 and 5 acres of disturbance or a National Pollution Discharge Elimination System (NPDES) 1200-C Construction Erosion Control permit from Oregon DEQ for over 5 acres.*

*A Clean Water Services' Service Provider Letter and Memorandum were received. After land use decision issuance the applicant will submit final plans complying with the Service Provider Letter conditions and CWS Memorandum that are sufficient to obtain a Stormwater Connection Permit Authorization Letter from Clean Water Services in accordance with TDC 74.650(2) and CWS D&CS 3.01.2(d). With recommended Conditions of Approval A5, A6, A8, and A9 these standards are met.*

[...]

## **Chapter 75: Access Management**

### **TDC 75.020. - Permit for New Driveway Approach.**

**(1) Applicability.** A driveway approach permit must be obtained prior to constructing, relocating, reconstructing, enlarging, or altering any driveway approach.

**(2) Exceptions.** A driveway approach permit is not required for:

- (a) The construction, relocation, reconstruction, enlargement, or alteration of any driveway approach that requires a state highway access permit; or**



**(b) The construction, relocation, reconstruction, enlargement or alteration of any driveway approach that is part of the construction of a publicly or privately engineered public improvement project.**

**(3) Procedure Type. A Driveway Approach Permit is processed as a Type II procedure under TDC 32.220 (Type II).**

**(4) Submittal Requirements. In addition to the application materials required by TDC 32.140 (Application Submittal), the following application materials are also required:**

**(a) A site plan, of a size and form and in the number of copies meeting the standards established by the City Manager, containing the following information:**

- (i) The location and dimensions of the proposed driveway approach;**
- (ii) The relationship to nearest street intersection and adjacent driveway approaches;**
- (iii) Topographic conditions;**
- (iv) The location of all utilities;**
- (v) The location of any existing or proposed buildings, structures, or vehicular use areas;**
- (vi) The location of any trees and vegetation adjacent to the location of the proposed driveway approach that are required to be protected pursuant to TDC Chapter 73B or 73C; and**
- (vii) The location of any street trees adjacent to the location of the proposed driveway approach.**

**(b) Identification of the uses or activities served, or proposed to be served, by the driveway approach; and**

**(c) Any other information, as determined by the City Manager, which may be required to adequately review and analyze the proposed driveway approach for conformance with the applicable criteria.**

**(5) Criteria. A Driveway Approach Permit must be granted if:**

- (a) The proposed driveway approach meets the standards of this Chapter and the Public Works Construction Code;**
- (b) No site conditions prevent placing the driveway approach in the required location;**
- (c) The number of driveway approaches onto an arterial are minimized;**
- (d) The proposed driveway approach, where possible:**
  - (i) Is shared with an adjacent property; or**
  - (ii) Takes access from the lowest classification of street abutting the property;**
- (e) The proposed driveway approach meets vision clearance standards;**
- (f) The proposed driveway approach does not create traffic hazards and provides for safe turning movements and access;**
- (g) The proposed driveway approach does not result in significant adverse impacts to the vicinity;**
- (h) The proposed driveway approach minimizes impact to the functionality of adjacent streets and intersections; and**

(i) The proposed driveway approach balances the adverse impacts to residentially zoned property and the functionality of adjacent streets.

(6) **Effective Date.** The effective date of a Driveway Approach Permit approval is the date the notice of decision is mailed.

(7) **Permit Expiration.** A Driveway Approach Permit approval expires one year from the effective date, unless the driveway approach is constructed within the one-year period in accordance with the approval decision and City standards.

[...]

**TDC 75.040. - Driveway Approach Requirements.**

(1) The provision and maintenance of driveway approaches from private property to the public streets as stipulated in this Code are continuing requirements for the use of any structure or parcel of real property in the City of Tualatin. No building or other permit may be issued until scale plans are presented that show how the driveway approach requirement is to be fulfilled. If the owner or occupant of a lot or building changes the use to which the lot or building is put, thereby increasing driveway approach requirements, it is unlawful and a violation of this code to begin or maintain such altered use until the required increase in driveway approach is authorized by the City.

[...]

(4) **Requirements for Development on Less than the Entire Site.**

(a) To promote unified access and circulation systems, lots and parcels under the same ownership or consolidated for the purposes of development and comprised of more than one building site must be reviewed as one unit in relation to the access standards. The number of access points permitted must be the minimum number necessary to provide reasonable access to these properties, not the maximum available for that frontage. All necessary easements, agreements, and stipulations must be met. This must also apply to phased development plans. The owner and all lessees within the affected area must comply with the access requirements.

(b) All access must be internalized using the shared circulation system of the principal commercial development or retail center. Driveways should be designed to avoid queuing across surrounding parking and driving aisles.

(5) Lots that front on more than one street may be required to locate motor vehicle accesses on the street with the lower functional classification as determined by the City Manager.

(6) Except as provided in TDC 53.100, all driveway approaches must connect directly with public streets.

(7) To afford safe pedestrian access and egress for properties within the City, a sidewalk must be constructed along all street frontage, prior to use or occupancy of the building or structure proposed for said property. The sidewalks required by this section must be constructed to City standards,

[...]

(9) Minimum driveway approach width for uses are as provided in Table 75-1 (Driveway Approach Width):

TABLE 75-1

**Driveway Approach Width**

| Use          | Minimum Driveway Approach Width  | Maximum Driveway Approach Width  |
|--------------|--|--|
| Multi-family | 5-49 Units = 24 feet<br>50-499 = 32 feet<br>Over 500 = as required by the City Manager | May provide two 16 foot one-way driveways instead of one 24 foot driveway<br>May provide two 24-foot one-way driveways instead of one 32 foot driveway |

**(10) Driveway Approach Separation.** There must be a minimum distance of 40 feet between any two adjacent driveways on a single property unless a lesser distance is approved by the City Manager.

**(11) Distance between Driveways and Intersections.** Except for single-family dwellings, duplexes, townhouses, triplexes, quadplexes, and cottage clusters, the minimum distance between driveways and intersections must be as provided below. Distances listed must be measured from the stop bar at the intersection.

(a) At the intersection of collector or arterial streets, driveways must be located a minimum of 150 feet from the intersection.

[...]

**(12) Vision Clearance Area.**

(a) **Local Streets.** A vision clearance area for all local street intersections, local street and driveway intersections, and local street or driveway and railroad intersections must be that triangular area formed by the right-of-way lines along such lots and a straight line joining the right-of-way lines at points which are ten feet from the intersection point of the right-of-way lines, as measured along such lines (see Figure 73-2 for illustration).

(b) **Collector Streets.** A vision clearance area for all collector/arterial street intersections, collector/arterial street and local street intersections, and collector/arterial street and railroad intersections must be that triangular area formed by the right-of-way lines along such lots and a straight line joining the right-of-way lines at points which are 25 feet from the intersection point of the right-of-way lines, as measured along such lines. Where a driveway intersects with a collector/arterial street, the distance measured along the driveway line for the triangular area must be ten feet (see Figure 73-2 for illustration).

(c) **Vertical Height Restriction.** Except for items associated with utilities or publicly owned structures such as poles and signs and existing street trees, no vehicular parking, hedge, planting, fence, wall structure, or temporary or permanent physical obstruction must be permitted between 30 inches and eight feet above the established height of the curb in the clear vision area (see Figure 73-2 for illustration).

[...]

TDC 75.120. - Collector Streets Access Standards.

[...]

**(2) Minor Collectors. Residential, commercial and industrial driveways where the frontage is greater or equal to 70 feet are permitted. Minimum spacing at 100 feet. Uses with less than 50 feet of frontage shall use a common (joint) access where available.**

[...]

**TDC 75.140. - Existing Streets Access Standards.**

**The following list describes in detail the freeways and arterials as defined in TDC 75.050 with respect to access. Recommendations are made for future changes in accesses and location of future accesses. These recommendations are examples of possible solutions and shall not be construed as limiting the City's authority to change or impose different conditions if additional studies result in different recommendations from those listed below.**

[...]

**(1) INTERSTATE 5 (I-5). I-5 is a State facility and access is controlled by the State.**

[...]

**(14) SAGERT STREET.**

**(a) Martinazzi Avenue to 65th Avenue. No new driveways or streets shall be allowed,**

[...]

**Finding:**

*No modification to existing or new accesses are proposed. Modifications to the existing streets to match Preferred cross-sections will meet vision clearance requirements. With recommended Conditions of Approval **A2, A7, A8, and A9**, these standards are met.*



# AFFIDAVIT OF MAILING

STATE OF OREGON                    )  
  ) ss  
COUNTY OF WASHINGTON        )

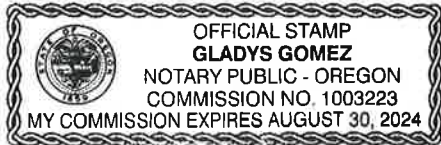
I, Pamala Nold, being first duly sworn, depose and say:

That on the 9th day of November 2022, I served upon the persons shown on Exhibit A, attached hereto and by this reference incorporated herein, a copy of a Notice of Hearing marked Exhibit B, attached hereto and by this reference incorporated herein, by mailing to them a true and correct copy of the original hereof. I further certify that the addresses shown on said Exhibit A are their regular addresses as determined from the books and records of the Washington County and/or Clackamas County Departments of Assessment and Taxation Tax Rolls, and that said envelopes were placed in the United States Mail at Tualatin, Oregon, with postage fully prepared thereon.

Dated this 9th of November, 2022

*Pamala J. Nold*  
Signature

SUBSCRIBED AND SWORN to before me this 9th day of November, 2022.



*Gladys Gomez*  
Notary Public for Oregon

My commission expires: 8/30/24

RE: AR 22-0008 – ALDEN APARTMENTS



**NOTICE OF HEARING AND OPPORTUNITY TO COMMENT  
CASE FILE: AR 22-0008— ALDEN APARTMENTS**

**NOTICE IS HEREBY GIVEN** that a public hearing before the Architectural Review Board will be held:

**Wednesday, November 30, 2022 at 6:30 pm**

**Location:** Tualatin Service Center

10699 SW Herman Road, Tualatin, OR 97062

**Zoom Teleconference:** Link with log-in instructions available  
[www.tualatinoregon.gov/meetings](http://www.tualatinoregon.gov/meetings)

**AR 22-0008  
Alden Apartments**

*3j Consulting, on behalf of CR Alden Communities, LLC., is requesting approval to construct 45 new townhome units in 12 new buildings. The 16.7 acre property is located in the Medium High Density Residential Zone (RMH). Two existing buildings are proposed for removal for a net gain of 10 buildings on the site.*

To view the application materials, visit  
[www.tualatinoregon.gov/projects](http://www.tualatinoregon.gov/projects)

**Comments and questions may be submitted to:**  
[kleonard@tualatin.gov](mailto:kleonard@tualatin.gov) and 503-691-3029

**Located at:** 7800 SW Sagert Street and 20400 SW Martinazzi Avenue with the **Tax Map/Lot:** 2S125BA00100



- **Type III Architectural Review Criteria:** Tualatin Development Code Chapters: 32, 33, 42, 73A-D, 74, 75
- **Staff report** will be available at least seven days before the hearing for inspection at no cost, and copies will be provided at a reasonable cost.
- **Print copies** of the application are available at a reasonable cost.
- **Individuals wishing to comment on the application** must do so in writing to the Planning Division prior to the hearing, or in writing and/or orally at the hearing. Materials must be received by **November 16, 2022**, to be included in the hearing packet.

- **The public hearing will begin** with a staff presentation, followed by testimony by proponents, testimony by opponents, and rebuttal. The time of individual testimony may be limited. If a participant requests, before the hearing is closed, the record shall remain open for at least 7 days after the hearing.
- **All citizens are invited to attend and be heard:** Failure of an issue to be raised in the hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals (LUBA) based on that issue. The failure of the applicant to raise constitutional or other issues relating to the proposed conditions of approval with sufficient specificity to the decision maker to respond to the issue precludes an action for damages in circuit court.
- **Notice of the Decision** will only be provided to those who submit written comments regarding that application or testify at the hearing.

*You received this mailing because you own property within 1,000 feet (ft) of the site or within a residential subdivision which is partly within 1,000 ft.*

For additional information contact:

Keith Leonard, Associate Planner, [kleonard@tualatin.gov](mailto:kleonard@tualatin.gov) and 503-691-3029

«OWNER1»  
«OWNERADDR»  
«OWNERCITY», «OWNERSTATE»  
«OWNERZIP»

8292 MOHAWK LLC  
8324 SW MAXINE LN UNIT #46  
WILSONVILLE, OR 97070

~~8292 MOHAWK LLC  
8324 SW MAXINE LN UNIT #46  
WILSONVILLE, OR 97070~~

~~8292 MOHAWK LLC  
8324 SW MAXINE LN UNIT #46  
WILSONVILLE, OR 97070~~

~~8482 MOHAWK LLC  
18725 SW BOONES FERRY RD  
TUALATIN, OR 97062~~

ADAMS ERIKKA  
8300 SW MOHAWK ST  
TUALATIN, OR 97062

ADAMS DONALD S & C DIANE LIV  
TRUST  
8565 SW AVERY ST  
TUALATIN, OR 97062

ADOLPHSON CHRIS L & ADOLPHSON  
MARIA F  
21234 SW MARTINAZZI AVE  
TUALATIN, OR 97062

ADR INVESTMENTS I LLC  
PO BOX 1567  
LAKE OSWEGO, OR 97035

AGUIRRE CHRISTIAN GODOY  
20852 SW 84TH AVE  
TUALATIN, OR 97062

AHREND MINDY L  
8468 SW MOHAWK ST  
TUALATIN, OR 97062

ALGER APRIL E  
8182 SW SHENANDOAH WAY  
TUALATIN, OR 97062

ALLEN PAUL M & ALLEN ALEXANDRA  
MANNING  
8533 SW SANTIAM DR  
TUALATIN, OR 97062

AMINI MITRA  
8342 SW MOHAWK ST  
TUALATIN, OR 97062

AN IVETH ELIZHBA & GARFIAS MIRNA G  
MONTIEL  
19790 SW BOONES FERRY RD  
TUALATIN, OR 97062

ANDERSEN SCOTT & ANDERSEN  
JOCELYN  
7279 SW TENINO LN  
TUALATIN, OR 97062

ANDREWS PATRICK & ANDREWS GAIL  
8295 SW AVERY ST  
TUALATIN, OR 97062

ANTHONY WILMA  
8494 SW MOHAWK  
TUALATIN, OR 97062

APOTHECA PROPERTIES LLC  
8685 SW SAGERT ST  
TUALATIN, OR 97062

~~APOTHECA PROPERTIES LLC  
8685 SW SAGERT ST  
TUALATIN, OR 97062~~

ARBUCKLE MATTHEW D & ARBUCKLE  
TAUNDRAS  
20916 SW 84TH AVE  
TUALATIN, OR 97062

ARIZMENDI-VASQUEZ SIMON & PEREZ  
ESMERALDA FRIAS  
8255 SW AVERY ST  
TUALATIN, OR 97062

ASHIMINE ELLIOTT SEIJI & ASHIMINE  
CORINNE  
8306 SW MOHAWK ST  
TUALATIN, OR 97062

ATKINS CAROLYN M  
7266 SW DELAWARE CIRCLE  
TUALATIN, OR 97062

ATMORE BENJAMIN J & ATMORE  
KATHERINE M  
20820 SW 84TH AVE  
TUALATIN, OR 97062

AVERY LONDON NEWTON  
PO BOX 1790  
TUALATIN, OR 97062

AVERY LONDON  
8470 SW AVERY ST  
TUALATIN, OR 97062

BAEZ MANUEL & BAEZ SUSANA G  
7380 SW DELAWARE CIR  
TUALATIN, OR 97062

BAILEY SUSANNE J  
8424 SW MOHAWK ST  
TUALATIN, OR 97062

BAILEY KEVIN RYAN  
7471 SW TENINO LN  
TUALATIN, OR 97062

BALDUS ANN E  
8478 SW MOHAWK ST  
TUALATIN, OR 97062



BALTAZAR RAQUEL BAILON & PALAFOX  
YERANIA & GALEANA MARIA NANCY  
BALTAZAR ET AL  
8264 SW SEMINOLE TRL  
TUALATIN, OR 97062

BARBOUR SARAH J  
8326 SW MOHAWK ST  
TUALATIN, OR 97062

BARRAGAN KAYLA B & SIMIANO  
MACEDONIO DEJESUS BARRAGAN  
7306 SW DELAWARE CIR  
TUALATIN, OR 97062

BATES DEBRA M  
8350 SW MOHAWK ST  
TUALATIN, OR 97062

BAYERN LLC  
61690 SUMMER SHADE DR  
BEND, OR 97702

BEENY LIVING TRUST  
8710 SW COMANCHE WAY  
TUALATIN, OR 97062

BEHREND SYDNEY ELIZABETH  
YOUNGBLOOD & CHRISTENSEN WADE  
TODD  
20939 SW MARTINAZZI AVE  
TUALATIN, OR 97062

BENNETT LEANN RENE' REV LIV TRUST  
16840 SW PARRETT MOUNTAIN RD  
SHERWOOD, OR 97140

BILDSTEIN TIMOTHY D  
7247 SW TENINO LN  
TUALATIN, OR 97062

BLANEY PATRICK E  
20692 SW 84TH AVE  
TUALATIN, OR 97062

BALTAZAR RAQUEL BAILON & PALAFOX  
YERANIA & GALEANA MARIA NANCY  
BALTAZAR ET AL  
8264 SW SEMINOLE TRL  
TUALATIN, OR 97062

BARKHOEFER DANIEL & BARKHOEFER  
KIRSTEN  
8490 SW CHELAN CT  
TUALATIN, OR 97062

BARTLETT CHRISTOPHER MICHAEL &  
BARTLETT CARLI JAYNE  
8385 SW IROQUOIS DR  
TUALATIN, OR 97062

BAUMAN MATTHEW WILLIAM  
8256 SW SHENANDOAH WAY  
TUALATIN, OR 97062

BECKERS NICHOLAS ALAN  
7456 SW DELAWARE CIR  
TUALATIN, OR 97062

BEES DANIEL & BEES ROYALETTA  
8502 SW MOHAWK ST  
TUALATIN, OR 97062

BEIKMAN STEPHEN RAY  
22760 SW 87TH AVE  
TUALATIN, OR 97062

BERRY KATHIE A  
8390 SW MOHAWK ST  
TUALATIN, OR 97062

BISON DAVID P  
8366 SW MOHAWK ST  
TUALATIN, OR 97062

BLUMENTHAL CHRISTOPHER E &  
BYRON-BLUMENTHAL LORRAINE C  
160 MCKENZIE CREEK RD  
SCOTTS VALLEY, CA 95066

BALTAZAR RAQUEL BAILON & PALAFOX  
YERANIA & GALEANA MARIA NANCY  
BALTAZAR ET AL  
8264 SW SEMINOLE TRL  
TUALATIN, OR 97062

BARNS DAVID & BARNS MEGAN  
8328 SW MOHAWK ST  
TUALATIN, OR 97062

BASSETT JEFFREY E  
8394 SW MOHAWK ST  
TUALATIN, OR 97062

BAXTER KARA  
8434 SW MOHAWK ST  
TUALATIN, OR 97062

BECKER HENRY & BECKER CAROLYN  
8295 SW SHENANDOAH WAY  
TUALATIN, OR 97062

BEHREND SYDNEY ELIZABETH  
YOUNGBLOOD & CHRISTENSEN WADE  
TODD  
20939 SW MARTINAZZI AVE  
TUALATIN, OR 97062

BENGSTON JOANNE  
8192 SW SHENANDOAH WAY  
TUALATIN, OR 97062

BETTENCOURT LAWRENCE J  
8185 SW SEMINOLE TRL  
TUALATIN, OR 97062

BLACKMER GARY & MARIA L JOINT REV  
TRUST  
5100 SW GREENWOOD CIR  
TUALATIN, OR 97062

BOECHLER ROBIN J & BOECHLER  
ROSANNE  
8485 SW NESTUCCA CT  
TUALATIN, OR 97062

BOOK HERBERT & BOOK PATRICIA  
10440 SW SUSQUEHANNA DR  
TUALATIN, OR 97062

~~BOOK HERBERT & BOOK PATRICIA  
10440 SW SUSQUEHANNA DR  
TUALATIN, OR 97062~~

~~BOOK HERBERT & BOOK PATRICIA  
10440 SW SUSQUEHANNA DR  
TUALATIN, OR 97062~~

BOOKER CHEN SUSAN  
7468 SW DELAWARE CIR  
TUALATIN, OR 97062

BOWES JOSHUA  
8680 SW COMANCHE WAY  
TUALATIN, OR 97062

BOYCE TAMMY C REV LIV TRUST  
7201 SW TENINO LN  
TUALATIN, OR 97062

BRABHAM STACY R & BRABHAM  
WAYNE S  
20846 SW MARTINAZZI AVE  
TUALATIN, OR 97062

BRANDON DIANE J  
8324 SW SHENANDOAH WAY  
TUALATIN, OR 97062

BRASK KAREN M  
20212 SW 86TH AVE  
TUALATIN, OR 97062

BRENNER MARK A  
8188 SW SHENANDOAH WAY  
TUALATIN, OR 97062

BRITT PAUL R & BRITT CARLEANA O  
8441 SW CHELAN CT  
TUALATIN, OR 97062

BROOKS TRAVIS H & BROOKS KRISTI J  
20847 SW 84TH AVE  
TUALATIN, OR 97062

BRUDVIG CONNIE N  
8425 SW SEMINOLE TRAIL  
TUALATIN, OR 97062

BRYANT SIMON C & HONEYMAN ADELE  
K  
8430 SW SEMINOLE TRL  
TUALATIN, OR 97062

BUCHANAN AARON & BUCHANAN  
KAYLIE  
20726 SW MARTINAZZI AVE  
TUALATIN, OR 97062

BULLARD MARK & BULLARD SALLY  
21137 SW MARTINAZZI AVE  
TUALATIN, OR 97062

BUTCHER BOYD  
8284 SW MOHAWK ST  
TUALATIN, OR 97062

BUTLER KAREN L  
20168 SW TILLAMOOK CT  
TUALATIN, OR 97062

~~BUTLER KAREN L  
20168 SW TILLAMOOK CT  
TUALATIN, OR 97062~~

BUTLER IAN O & BUTLER ANGELICA L  
8660 SW COMANCHE WAY  
TUALATIN, OR 97062

BYRD ANTHONY  
20603 SW MARTINAZZI AVE  
TUALATIN, OR 97062

BYRON STUART  
15650 SW 133RD AVE  
TIGARD, OR 97224

CADY BRIAN LEE & CADY KATHLEEN  
20366 SW TENINO CT  
TUALATIN, OR 97062

CALLAHAN MICHAEL G & CALLAHAN  
CYNTHIA L  
8107 SW AVERY ST  
TUALATIN, OR 97062

CAMACHO FRITZ J PASSI  
7392 SW DELAWARE CIR  
TUALATIN, OR 97062

CANEDO JOSEPH & CANEDO L SUSAN  
8465 SW UMATILLA ST  
TUALATIN, OR 97062

CAPUTO-BLAGGE DIANNE E TRUST  
7404 SW DELAWARE CIR  
TUALATIN, OR 97062

CARBAJAL MICHELE C & MERCADO  
BOGAR E CARBAJAL  
20989 SW 84TH AVE  
TUALATIN, OR 97062

CARLTON-FRANCO CHRISTOPHER J  
20136 SW 85TH CT  
TUALATIN, OR 97062

CARON WANDA & CARON KENNETH  
20863 SW 84TH AVE  
TUALATIN, OR 97062

CATHERWOOD ARTHUR FRANKLYN &  
MERCEDES ANN REV TRUST  
21265 S MAKAH ST  
TUALATIN, OR 97062

CATHERWOOD ARTHUR FRANKLYN &  
MERCEDES ANN REV TRUST  
21265 S MAKAH ST  
TUALATIN, OR 97062

CATHERWOOD ARTHUR FRANKLYN &  
MERCEDES ANN REV TRUST  
21265 S MAKAH ST  
TUALATIN, OR 97062

CERES PLAZA LLC & HERITAGE PLAZA-  
LMR LLC  
PO BOX 513  
WILSONVILLE, OR 97070

CHAN FAMILY TRUST  
19030 SW CHESAPEAKE DR  
TUALATIN, OR 97062

CHAO ANDY  
678 GEMSTONE DR  
SAN MARCOS, CA 90278

CHENG BETTY KWOK FONG  
7224 SW DELAWARE CIR  
TUALATIN, OR 97062

CHONG CHRIS & CHONG KIRSTEN  
5870 SW WICHITA ST  
TUALATIN, OR 97062

CHONG CHRIS & CHONG KIRSTEN  
5870 SW WICHITA ST  
TUALATIN, OR 97062

CHRISTOPHER PATRICIA N &  
CHRISTOPHER L DENNIS  
20170 SW 86TH AVE  
TUALATIN, OR 97062

CHUMAK NATALIYA  
20695 SW 84TH AVE  
TUALATIN, OR 97062

CIRA FAMILY TRUST  
2823 SAN ARDO  
BELMONT, CA 94002

CIRA FAMILY TRUST  
2823 SAN ARDO  
BELMONT, CA 94002

CLARK SARAH LIV TRUST  
2706 GILBERT ST S  
SALEM, OR 97302

COLE SAMUEL J & MARY GAYLE  
FURLOW-COLE LIV TRUST  
20126 SW TENINO CT  
TUALATIN, OR 97062

COLLINSWORTH KATHERINE IRENE &  
COLLINSWORTH MATTHEW JAMES  
21109 SW MARTINAZZI AVE  
TUALATIN, OR 97062

CONNELL MICHAEL F & DEBRA A TRUST  
20884 SW 84TH AVE  
TUALATIN, OR 97062

COOK KENNETH & COOK LETA M  
8131 SW AVERY ST  
TUALATIN, OR 97062

COOK KENNETH & COOK LETA M  
8131 SW AVERY ST  
TUALATIN, OR 97062

COOKE GLENNA A  
8378 SW MOHAWK ST  
TUALATIN, OR 97062

COPE ERIN M & COPE BARBARA J  
20788 SW 84TH AVE  
TUALATIN, OR 97062

COPSEY KATHIE ANN  
20373 SW 72ND AVE  
TUALATIN, OR 97062

COREY RUSSELL & COREY FRANCESCA  
8510 SW SAGERT ST  
TUALATIN, OR 97062

CORREIA KELLY  
8475 SW HURON CT  
TUALATIN, OR 97062

CR ALDEN COMMUNITIES LLC  
10345 W OLYMPIC BLVD  
LOS ANGELES, CA 90064

CRISMON RACHEL  
8504 SW MOHAWK ST  
TUALATIN, OR 97062

CROWELL MARGARITA  
7237 SW DELAWARE CIR  
TUALATIN, OR 97062

CUELLO DAMIEN C JR  
8508 SW MOHAWK ST  
TUALATIN, OR 97062

CURRY SCOTT G & BECKER TAUSHA A  
448 TENNEY DR  
ROGUE RIVER, OR 97537

DALLAL CLAIRE Y  
8340 SW MOHAWK ST  
TUALATIN, OR 97062

DANIELS MARK L  
21180 SW MARTINAZZI AVE  
TUALATIN, OR 97062

~~DANIELS MARK L  
21180 SW MARTINAZZI AVE  
TUALATIN, OR 97062~~

~~DANIELS MARK L  
21180 SW MARTINAZZI AVE  
TUALATIN, OR 97062~~

DARLING STACY  
8248 SW SHENANDOAH WAY  
TUALATIN, OR 97062

DAVEY JOSEPH & HOWE SOPHIA N  
8300 SW CHELAN ST  
TUALATIN, OR 97062

DAVIDSON FRANCES M  
8270 SW SHENANDOAH WAY  
TUALATIN, OR 97062

DAVIDSON SHANNON P & DAVIDSON  
JONATHAN G  
8285 SW CHELAN ST  
TUALATIN, OR 97062

DAVIS ROBERT M & DAVIS BARBARA K  
18264 HOLLY LN  
OREGON CITY, OR 97045

DAVIS WESLEY L & DAVIS JOYCE F  
20579 SW MARTINAZZI AVE  
TUALATIN, OR 97062

DAVIS WILLIAM B  
21150 SW IROQUOIS DR  
TUALATIN, OR 97062

DAY WILLIAM R  
7488 SW DELAWARE CIR  
TUALATIN, OR 97062

DELANEY JAMES W & CRESTA-DELANEY  
KIMBERLY MARIE  
8325 SW AVERY ST  
TUALATIN, OR 97062

DENOVA YOANDA CELINA GUTIERREZ  
8232 SW SHENANDOAH WAY  
TUALATIN, OR 97062

DESSAUER SUZANNA COLVIN &  
DESSAUER RICHARD KENNETH  
8143 SW SHENANDOAH WAY  
TUALATIN, OR 97062

DEVAULT MOIRA  
20821 SW 84TH AVE  
TUALATIN, OR 97062

DEXTER ROBERT W & DEXTER  
CATHERINE M  
20055 SW TILLAMOOK CT  
TUALATIN, OR 97062

DICKERSON HARRY L & DICKERSON  
DIANA R  
7365 SW DELAWARE CIR  
TUALATIN, OR 97062

DIGGS ROSA  
20317 SW TENINO CT  
TUALATIN, OR 97062

~~DIGGS ROSA  
20317 SW TENINO CT  
TUALATIN, OR 97062~~

DIGIOVANNA KENNETH J  
8448 SW CHELAN CT  
TUALATIN, OR 97062

DIGREGORIO RICHARD C  
7007 SW 7TH AVE  
PORTLAND, OR 97219

DISSMORE CHARLOTTE  
7335 SW DELAWARE CIR  
TUALATIN, OR 97062

DIVINE GERALD & DIVINE PATRICIA  
20771 SW MARTINAZZI AVE  
TUALATIN, OR 97062

DOBBINS 1998 FAMILY TRUST  
8418 SW MOHAWK ST  
TUALATIN, OR 97062

DONALDSON AMY L  
4165 IMPERIAL DR  
WEST LINN, OR 97068

DORAN YVONNE REV LIV TRUST  
4856 SW WEMBLEY PL  
BEAVERTON, OR 97005

DORAN YVONNE REV LIV TRUST  
8390 SW SHENANDOAH WAY  
TUALATIN, OR 97062

DOUGLASS ERIC A  
20076 SW 72ND AVE  
TUALATIN, OR 97062

DOYLE TREVOR & DOYLE ELIZABETH  
4641 FIRTREE LN  
SPARKS, NV 89436

DRUSE STEPHEN E & DRUSE ANNA  
BAIOCCO  
20101 SW TENINO CT  
TUALATIN, OR 97062

DULL DAVID & DULL JORDAN  
8239 CAHMPOEG RD NE  
SAINT PAUL, OR 97137

DULL DAVID & DULL JORDAN  
8239 CAHMPOEG RD NE  
SAINT PAUL, OR 97137

DULL DAVID & DULL JORDAN  
8239 CAHMPOEG RD NE  
SAINT PAUL, OR 97137

DUMMER BRIAN G & DUMMER  
MICHELLE M  
21246 SW IROQUOIS DR  
TUALATIN, OR 97062

DUNCAN COLLEEN & DUNCAN IAN  
ROBERT MICHAEL  
8490 SW NESTUCCA CT  
TUALATIN, OR 97062

DUNIGAN SHAWN P & DUNIGAN  
CHRISTINE A  
20624 SW MARTINAZZI AVE  
TUALATIN, OR 97062

DUNNING ROWAN KATHERINE WALKER  
8296 SW MOHAWK ST  
TUALATIN, OR 97062

DUSEK RONALD E  
2875 MARYLHURST DR  
WEST LINN, OR 97068

DVORAK DALE R  
8705 SW SEMINOLE TRL  
TUALATIN, OR 97062

DWIGHT JOSEPH D & DWIGHT PAULA  
SUE  
7190 SW DELAWARE ST  
TUALATIN, OR 97062

ECONE WADE & ECONE LINDSAY  
8465 SW CHELAN CT  
TUALATIN, OR 97062

EDISON LINDAY NOELLE & EDISON  
CHRISTOPHER MARTIN  
20969 SW 84TH AVE  
TUALATIN, OR 97062

EISERT CLARK L & EISERT STEPHANIE  
10685 SW CLAY  
SHERWOOD, OR 97140

EISERT STEPHANIE  
10685 SW CLAY ST  
SHERWOOD, OR 97140

ELLIOTT RAYMOND  
8458 SW MOHAWK ST  
TUALATIN, OR 97062

ELLIOT RACHEL R  
8212 SW SHENANDOAH WAY  
TUALATIN, OR 97062

ESQUIVEL GUADALUPE PENA &  
MIRANDA ANDRES SALCEDO  
8300 SW SEMINOLE TRL  
TUALATIN, OR 97062

FABRYCKI HAL  
16543 S HARDING RD  
OREGON CITY, OR 97045

FABRYCKI HAL  
16543 S HARDING RD  
OREGON CITY, OR 97045

FAGERQUIST AMBRE  
8470 SW MOHAWK ST  
TUALATIN, OR 97062

FAIRCHILD DENA  
8500 SW MOHAWK ST  
TUALATIN, OR 97062

FANTA CAROL C  
8406 SW MOHAWK ST  
TUALATIN, OR 97062

FARNSWORTH STEVEN L &  
FARNSWORTH BEVERLY J  
20015 SW TILLAMOOK CT  
TUALATIN, OR 97062

FASTENAU NATHAN & FASTENAU  
JORDAN  
20724 SW 84TH AVE  
TUALATIN, OR 97062

FECHNER ROBERT J  
8438 SW MOHAWK ST  
TUALATIN, OR 97062

FEHLMAN STEVEN D & FEHLMAN  
MELISSA J  
8358 SW MOHAWK ST  
TUALATIN, OR 97062

FIDURA MATTHEW F & FIDURA TRACI S  
7281 SW DELAWARE CIR  
TUALATIN, OR 97062

FINDTNER ROBERT & FINDTNER LEAH  
8705 SW AVERY ST  
TUALATIN, OR 97062

FISHER ROBIN L & LINDA L TRUST  
8147 SW SHENANDOAH WAY  
TUALATIN, OR 97062

FLANNERY FAMILY TRUST  
8314 SW MOHAWK ST  
TUALATIN, OR 97062

~~FODGE JEANINE~~  
8228 SW SHENANDOAH WAY  
TUALATIN, OR 97062

~~FODGE JEANINE~~  
8228 SW SHENANDOAH WAY  
TUALATIN, OR 97062

~~FODGE JEANINE~~  
8228 SW SHENANDOAH WAY  
TUALATIN, OR 97062

FOLEY KERRY  
8640 SW SEMINOLE TRL  
TUALATIN, OR 97062

FOX WILLIAM N & SANDRA P FOX  
TRUST  
8476 SW IROQUOIS DR  
TUALATIN, OR 97062

FRANKS JONNIE A JR  
8402 SW MOHAWK ST  
TUALATIN, OR 97062

FRANK REVOCABLE TRUST  
8233 SW SEMINOLE TR  
TUALATIN, OR 97062

FREITAS KATHERINE L LIV TRUST  
8260 SW SHENANDOAH WAY  
TUALATIN, OR 97062

FRICK PROPERTIES INVESTMENTS LLC  
200 GRANADA DR  
CORTE MADERA, CA 94925

FROHBERG DALE Q  
20621 SW MARTINAZZI AVE  
TUALATIN, OR 97062

FUCHS NADINE K  
34580 NE WILSONVILLE RD  
NEWBERG, OR 97132

FUENTES ROLANDO FERRER & FERRER  
LUCRECIA MARTINEZ  
7305 SW DELAWARE CIR  
TUALATIN, OR 97062

FULTZ ANDRIA T  
20300 SW 72ND AVE  
TUALATIN, OR 97062

FURTNEY JOSEPH C  
8446 SW MOHAWK ST  
TUALATIN, OR 97062

GALLAGHER RONALD A & GALLAGHER  
KATIE L  
8412 SW MOHAWK ST  
TUALATIN, OR 97062

GALLETTA TRACY  
20269 SW TENINO CT  
TUALATIN, OR 97062

GAMBEE ERICA  
7434 SW DELAWARE CIR  
TUALATIN, OR 97062

GANNON JONATHAN M & GANNON  
JENNIFER A  
20705 SW MARTINAZZI AVE  
TUALATIN, OR 97062

~~GANNON JONATHAN M & GANNON~~  
~~JENNIFER A~~  
~~20705 SW MARTINAZZI AVE~~  
~~TUALATIN, OR 97062~~

GARNER SYLVIA E  
8380 SW MOHAWK ST  
TUALATIN, OR 97062

GAVIC SCOT R & GAVIC CAROL  
8500 SW MODOC CT  
TUALATIN, OR 97062

GEARHART JASON D  
8316 SW SHENANDOAH WAY  
TUALATIN, OR 97062

GEER VINCENT LYNN  
8385 SW AVERY ST  
TUALATIN, OR 97062

GIBSON KAREN  
7426 SW DELAWARE CIR  
TUALATIN, OR 97062

GIRARDI WESLEY THOMAS & GIRARDI  
MARGARET  
20230 SW TILLAMOOK CT  
TUALATIN, OR 97062

GLASS SARAH P  
20532 SW 84TH CT  
TUALATIN, OR 97062

GODARD JIMMY J & GODARD STA'CEE  
A  
16745 SW STELLAR DR  
SHERWOOD, OR 97140

GOFF SEAN J & GOFF HEATHER D  
7345 SW DELAWARE CIR  
TUALATIN, OR 97062

GOLDSBY KATHLEEN M  
8487 SW CHELAN CT  
TUALATIN, OR 97062

GOLDSBY GARY L & GOLDSBY  
KATHLEEN M  
8487 SW CHELAN CT  
TUALATIN, OR 97062

GOLPHENEE RONALD B & GOLPHENEE  
CAROL D  
20052 SW 72ND AVE  
TUALATIN, OR 97062

GORDON JEREMIAH D & GORDON  
AMBER R  
14510 SW CHESTERFIELD LN  
TIGARD, OR 97224

GRANDJEAN BRANDO & GRANDJEAN  
LINDA  
20776 SW MARTINAZZI AVE  
TUALATIN, OR 97062

GRUEN MARY M  
8426 SW MOHAWK ST  
TUALATIN, OR 97062

GUPTA SAMIR  
104 SOUTH ASPEN CT  
CHANDLER, AZ 85226

HAAG CONNIE G  
8119 SW AVERY ST  
TUALATIN, OR 97062

HALL JOSHUA A & HALL CASSANDRA R  
5223 NE 47TH AVE  
PORTLAND, OR 97218

HAMILTON MARY A  
8484 SW MOHAWK ST  
TUALATIN, OR 97062

HARLEY CHRISTOPHER I & HARLEY  
TEENA  
20679 SW MARTINAZZI AVE  
TUALATIN, OR 97062

HASKIN KEVIN A & HASKIN EMMA K  
8485 SW SEMINOLE TRL  
TUALATIN, OR 97062

GOLPHENEE RONALD B & GOLPHENEE  
CAROL D  
20052 SW 72ND AVE  
TUALATIN, OR 97062

GOTCHA COVERED RENTALS LLC  
476 SW BROOKWOOD AVE  
HILLSBORO, OR 97123

GRANT NORMAN R & GRANT LORETTA  
21183 SW MARTINAZZI AVE  
TUALATIN, OR 97062

GRUEN HARDY & GRUEN INGE  
4914 E QUIEN SABE WAY  
CAVE CREEK, AZ 85311

GUTIERREZ DAVID & GUTIERREZ  
NORMA  
8360 SW MOHAWK ST  
TUALATIN, OR 97062

HALBERG SADIE M & HALBERG  
NICHOLAS R  
8645 SW AVERY ST  
TUALATIN, OR 97062

HALL JONATHAN A & HALL KATIE M  
8625 SW SEMINOLE TRAIL  
TUALATIN, OR 97062

HANNA RAHWA  
7456 SW TENINO LN  
TUALATIN, OR 97062

HARNSBERGER DAVID & HARNSBERGER  
ARIN K  
20922 SW WINEMA CT  
TUALATIN, OR 97062

HASTIN MICHAEL CRAIG & HASTIN  
PATRICIA ANNE  
20124 SW TILLAMOOK CT  
TUALATIN, OR 97062

GOLPHENEE RONALD B & GOLPHENEE  
CAROL D  
20052 SW 72ND AVE  
TUALATIN, OR 97062

GOTLIB CYNTHIA L  
21313 SW MAKAH ST  
TUALATIN, OR 97062

GREEN CYNTHIA B  
8690 SW COMANCHE WAY  
TUALATIN, OR 97062

GUDEKUNST ELAINE  
8514 SW MOHAWK ST  
TUALATIN, OR 97062

H E PROPERTIES INC  
4800 SW MEADOWS RD STE 300  
LAKE OSWEGO, OR 97035

HALL JOSHUA A & HALL CASSANDRA R  
5223 NE 47TH AVE  
PORTLAND, OR 97218

HALME TIMOTHY  
7229 SW DELAWARE CIR  
TUALATIN, OR 97062

HANVICHID SAM & HANVICHID TRACY  
20795 SW MARTINAZZI AVE  
TUALATIN, OR 97062

HARROW JAMES C & HARROW LINDA J  
20002 SW 86TH ST  
TUALATIN, OR 97062

HAVEN HOMES II LLC  
12424 SE WINTER CREEK CT  
HAPPY VALLEY, OR 97086

HAZELETT NARY & HAZELETT STEVEN  
20376 SW 72ND AVE  
TUALATIN, OR 97062

HAZELETT NARY & HAZELETT STEVEN  
20376 SW 72ND AVE  
TUALATIN, OR 97062

HAZELETT NARY & HAZELETT STEVEN  
20376 SW 72ND AVE  
TUALATIN, OR 97062

HEATH LORI L  
8410 SW MOHAWK ST  
TUALATIN, OR 97062

HEBERT GERALD & HEBERT HUNG  
CHEN  
21885 NE ALTON ST  
FAIRVIEW, OR 97024

HEGEDUS ZOLTAN & HEGEDUS ENIKO  
21333 SW MAKAH ST  
TUALATIN, OR 97062

HELZER KIRK D & HELZER KRISTI L  
7407 SW TENINO LN  
TUALATIN, OR 97062

HENRY MICHAEL H & HENRY DEBORAH  
A  
7223 SW TENINO LN  
TUALATIN, OR 97062

HENSON WENDY J  
20276 72ND AVE  
TUALATIN, OR 97062

HERKOMER TAMMI  
8474 SW MOHAWK ST  
TUALATIN, OR 97062

HERNANDEZ BERNARDO DELACRUZ  
8246 SW SEMINOLE TRL  
TUALATIN, OR 97062

HINKLE MELISSA & HINKLE ANDREW  
8492 SW UMATILLA ST  
TUALATIN, OR 97062

HODSON DAVID M  
20564 SW 84TH CT  
TUALATIN, OR 97062

HOLTGRAVES VICTORIA C  
8503 SW SANTIAM DR  
TUALATIN, OR 97062

HOPKINS DANIEL E & HOPKINS EMELYN  
C  
7355 SW DELAWARE CIR  
TUALATIN, OR 97062

HORIZON COMMUNITY CHURCH  
PO BOX 2690  
TUALATIN, OR 97062

HORN MARTHA JENEANE  
8400 SW MOHAWK ST  
TUALATIN, OR 97062

HOTCHKISS DEREK M & HOTCHKISS  
CANDICE D  
8452 SW IROQUOIS DR  
TUALATIN, OR 97062

HOTCHKISS DEREK M & HOTCHKISS  
CANDICE D  
8452 SW IROQUOIS DR  
TUALATIN, OR 97062

HOUSTON BRENDA L  
20532 SW 84TH CT  
TUALATIN, OR 97062

HUANG CHEN & KAN-HUANG LYNDIA L  
8490 SW SEMINOLE TRL  
TUALATIN, OR 97062

HUETHER TANYA LEILANI & HUETHER  
JERRY DEAN  
2305 W I20 STE 140 #172  
GRAND PRAIRIE, TX 75052

HUEY DAVID G & CARLA S HUDSON REV  
TRUST  
10 GOODRICH TRL  
CARMEL, CA 93923

HUFFMAN RUSSELL T & MOORE  
REBECCA A  
7205 SW DELAWARE CIR  
TUALATIN, OR 97062

HUNT JAYSON & HUNT AMBER  
8355 SW SEMINOLE TRL  
TUALATIN, OR 97062

HUTCHINS CALVIN & LARAYNE REV LIV  
TRUST  
17547 N SOMERSET DR  
SURPRISE, AZ 85374

HYLANDS SHELLI D  
7327 SW DELAWARE CIR  
TUALATIN, OR 97062

IMBACH TERRI A  
8420 SW UMATILLA ST  
TUALATIN, OR 97062

INGMAN SCOTT M  
8364 SW MOHAWK ST  
TUALATIN, OR 97062

INKENS BEVERLY M REV LIV TRUST  
8545 SW MODOC CT  
TUALATIN, OR 97062



IWASAKI RANDOLPH I  
3468 ALA HAUKULU  
HONOLULU, HI 96818

~~IWASAKI RANDOLPH I  
3468 ALA HAUKULU  
HONOLULU, HI 96818~~

~~IWASAKI RANDOLPH I  
3468 ALA HAUKULU  
HONOLULU, HI 96818~~

JACKSON KRYSTAL L  
8392 SW MOHAWK ST  
TUALATIN, OR 97062

JACOBSEN AMY BETH  
8265 SW SEMINOLE TRL  
TUALATIN, OR 97062

JAMES TYLER & JAMES KELSEY  
21711 SW MARTINAZZI AVE  
TUALATIN, OR 97062

JANSEN JOSEPH JAMES & BOWMAN  
ELISE DAWN  
8395 SW SEMINOLE TRL  
TUALATIN, OR 97062

JANSEN MATTHEW I & JANSEN  
ELIZABETH A  
8325 SW SEMINOLE TRL  
TUALATIN, OR 97062

JENISON KATIE  
20350 SW 86TH AVE  
TUALATIN, OR 97062

JENKINS MICHAEL T & JENKINS TRACY L  
8466 SW CHELAN CT  
TUALATIN, OR 97062

JOHNSON SCOTT GLENN & JOHNSON  
SHELLEY L  
8520 SW MOHAWK ST  
TUALATIN, OR 97062

JOHNSON JAMIE A & DRAKE DAVID A  
8408 SW MOHAWK ST  
TUALATIN, OR 97062

JOHNSON BRANDON D & JOHNSON  
GRETCHEN S  
7439 SW TENINO LN  
TUALATIN, OR 97062

JOHNSON MICHAEL  
8325 SW SHENANDOAH WAY  
TUALATIN, OR 97062

JONES KAREN J REV TRUST  
8680 SW SEMINOLE TRL  
TUALATIN, OR 97062

JUDD STEVEN W & MALONEY  
KATHERINE E  
8138 SW SEMINOLE TRL  
TUALATIN, OR 97062

KABLI MOHAMED & KABLI HEATHER  
ANN  
7293 SW DELAWARE CIR  
TUALATIN, OR 97062

KARAPONDO KATHLEEN ANN  
7328 SW TENINO LN  
TUALATIN, OR 97062

KARAPONDO KATHLEEN ANN  
7328 SW TENINO LN  
TUALATIN, OR 97062

KAUFFMAN SHAWNA DAY  
8268 SW MOHAWK ST  
TUALATIN, OR 97062

KEARNEY RONALD R & KEARNEY  
CAROLE J  
7414 SW DELAWARE CIR  
TUALATIN, OR 97062

KEEN ANNETTE M  
11970 SW HAZELWOOD LOOP  
TIGARD, OR 97223

KERN ROBERT G & KERN BARBARA L  
4218 NE 41ST AVE  
PORTLAND, OR 97211

KHAN SHAD  
20292 SW TENINO CT  
TUALATIN, OR 97062

KINDER JAMES W & PEDROJA TERRI J  
20211 SW 85TH CT  
TUALATIN, OR 97062

KING SHERRI D  
20551 SW MARTINAZZI AVE  
TUALATIN, OR 97062

KIRKPATRICK ELIZABETH C  
8165 SW SHENANDOAH WAY  
TUALATIN, OR 97062

KISER DAVID R & KISER MARCEY A  
20044 SW 86TH AVE  
TUALATIN, OR 97062

KITCH TIMOTHY B & KITCH SUZANN P  
LIVING TRUST  
8350 SW SEMINOLE TRL  
TUALATIN, OR 97062

KLUPENGER MORGAN WATKINS  
8298 SW MOHAWK ST  
TUALATIN, OR 97062

KNOLL DOREEN LIVING TRUST  
8347 SW AVERY ST  
TUALATIN, OR 97062

KNOLL DOREEN LIVING TRUST  
8347 SW AVERY ST  
TUALATIN, OR 97062

KNOLL DOREEN LIVING TRUST  
8347 SW AVERY ST  
TUALATIN, OR 97062

KOBA DENNIS  
7367 SW DELAWARE CIR  
TUALATIN, OR 97062

KOCHHEIM COURTNEY  
8214 SW SHENANDOAH WAY  
TUALATIN, OR 97062

KOHLER GRANT & KOHLER SHELBY  
8477 SW NESTUCCA CT  
TUALATIN, OR 97062

KOLB MICHAEL E & KOLB LAURA B  
8552 SW SANTIAM DR  
TUALATIN, OR 97062

KORNBERG ERIC DALE & KORNBERG  
DEBRA PERKO  
8499 SW HURON CT  
TUALATIN, OR 97062

KOTILA CHERYL A  
8125 SW SHENANDOAH WAY  
TUALATIN, OR 97062

KOVACH BRIAN  
21044 SW 84TH AVE  
TUALATIN, OR 97062

KOYFMAN GENRIKH & KOYFMAN  
LYUBOV & KOYFMAN IGOR  
8220 SW SHENANDOAH WAY  
TUALATIN, OR 97062

KRAUSE DERALD E  
8452 SW MOHAWK ST  
TUALATIN, OR 97062

KRONSER FAMILY TRUST  
20602 SW COLVILLE CT  
TUALATIN, OR 97062

KRUSINSKI JANICE L  
8444 SW MOHAWK ST  
TUALATIN, OR 97062

KURTTI REBECCA  
8360 SW SHENANDOAH WAY  
TUALATIN, OR 97062

LANDAU AUSTIN JENS  
21762 SW MOUNTAIN HOME RD  
SHERWOOD, OR 97140

LANE ADAM THOMAS  
20817 SW MARTINAZZI AVE  
TUALATIN, OR 97062

LARSEN MARIO K & LARSEN REBECCA L  
19738 SW BOONES FERRY RD  
TUALATIN, OR 97062

LARSEN MARIO K & LARSEN REBECCA L  
19738 SW BOONES FERRY RD  
TUALATIN, OR 97062

LARSEN DWAYNE L & LARSEN KAREN G  
ESTATE OF  
19770 SW BOONES FERRY RD  
TUALATIN, OR 97062

LARSON ROBERT F & LARSON ASHLEY N  
14919 NE LAWNVIEW CIR  
AURORA, OR 97002

LATSHAW DEBBIE M  
8660 SW SEMINOLE TRL  
TUALATIN, OR 97062

LAZAR GABRIEL  
1481 NW 13TH AVE APT 732  
PORTLAND, OR 97209

LEBOEUF PATRICK & LEBOEUF  
COURTNEY  
8410 SW SEMINOLE TRL  
TUALATIN, OR 97062

LEE ELSA MARIA  
7424 SW TENINO LN  
TUALATIN, OR 97062

LEIGH ASHLEY & LEIGH PETER  
8555 SW SEMINOLE TRAIL  
TUALATIN, OR 97062

LEMME RONALD  
8245 SW SEMINOLE TRL  
TUALATIN, OR 97062

LEMON KIRK D  
8365 SW SHENANDOAH WAY  
TUALATIN, OR 97062

LEQUIN MICHELLE  
8336 SW SHENANDOAH WAY  
TUALATIN, OR 97062

LEWIS SANDRA  
1532 SUNLIGHT DR  
FAIRBANKS, AK 99709

LIBERTY HILL LLC  
6941 SW 148TH CT  
BEAVERTON, OR 97007

LIBERTY HILL LLC  
6941 SW 148TH CT  
BEAVERTON, OR 97007

LIBERTY HILL LLC  
6941 SW 148TH CT  
BEAVERTON, OR 97007

LIPMAN THOMAS HAWLEY & LIPMAN  
HILARY JANE  
8505 SW AVERY ST  
TUALATIN, OR 97062

LIPTAU KURT IVAN EDWARD & LIPTAU  
CYNTHIA JOANN  
8340 SW SHENANDOAH WAY  
TUALATIN, OR 97062

LLOYD HOLLY  
20062 SW TILLAMOOK CT  
TUALATIN, OR 97062

LOCKHART JANET L  
8386 SW MOHAWK ST  
TUALATIN, OR 97062

LORENZO ELDER ALCOGER  
8151 SW SHENANDOAH WAY  
TUALATIN, OR 97062

LOUIS JR REV LIV TRUST  
8129 SW SHENANDOAH WAY  
TUALATIN, OR 97062

LUCAS JAMES VANCE EDWARD &  
LUCAS Nanci G  
20086 SW 86TH AVE  
TUALATIN, OR 97062

LUCE JANINE R & LUCE KERRY  
20244 SW TENINO CT  
TUALATIN, OR 97062

LYONS ANDREW J & JENNY F REV LIV  
TRUST  
8331 SW AVERY ST  
TUALATIN, OR 97062

MADLEM MEAGAN K  
20578 SW COLVILLE CT  
TUALATIN, OR 97062

MALDONADO EMILY K & MALDONADO  
JONATHAN S  
20154 SW TILLAMOOK CT  
TUALATIN, OR 97062

MALONEY SAUNDRA E  
26951 S BOLLAND RD  
CANBY, OR 97013

MALOS NORINE E  
8348 SW MOHAWK ST  
TUALATIN, OR 97062

MANN KEITH D & MANN MARIANNE R  
8311 SW CHELAN ST  
TUALATIN, OR 97062

MAR MAR PROPERTIES LLC  
9839 SW SIUSLAW LN  
TUALATIN, OR 97062

MAR MAR PROPERTIES LLC  
9839 SW SIUSLAW LN  
TUALATIN, OR 97062

MARSDEN DARREN B  
8064 SW WOODY END ST  
PORTLAND, OR 97224

MARSH JASON & MARSH TAWNIA  
20653 SW 84TH AVE  
TUALATIN, OR 97062

MARSH CHRISTOPHER L REV TRUST  
17367 LAKE HAVEN DR  
LAKE OSWEGO, OR 97035

MARSH CHRISTOPHER L REV TRUST  
17367 LAKE HAVEN DR  
LAKE OSWEGO, OR 97035

MARTINSON ALAN & MARTINSON  
MARY  
8320 SW SHENANDOAH WAY  
TUALATIN, OR 97062

MARTINSON MELANIE A  
8355 SW SHENANDOAH WAY  
TUALATIN, OR 97062

MARTINAZZI VILLAGE 95 LLC  
9500 SW BARBUR BLVD STE 300  
PORTLAND, OR 97219

MASSAAD JOINT REV TRUST  
8275 SW AVERY ST  
TUALATIN, OR 97062

MAY TIMOTHY M  
8345 SW SEMINOLE TRL  
TUALATIN, OR 97062

MCCAUSLAND MAUREEN E  
8266 SW MOHAWK ST  
TUALATIN, OR 97062

MCCLANAHAN MATTHEW E  
8518 SW MOHAWK ST  
TUALATIN, OR 97062

MCDUFFEE JAMES F  
8344 SW SHENANDOAH WAY  
TUALATIN, OR 97062

MCDUFFEE JAMES F  
8344 SW SHENANDOAH WAY  
TUALATIN, OR 97062

MCDUFFEE JAMES F  
8344 SW SHENANDOAH WAY  
TUALATIN, OR 97062

MCGEORGE JO ANN REV TRUST  
8436 SW MOHAWK ST  
TUALATIN, OR 97062

MCGRAW KATHLEEN M  
8280 SW SHENANDOAH WAY  
TUALATIN, OR 97062

MCHUGH TIMOTHY  
8430 SW AVERY ST  
TUALATIN, OR 97062

MCKENZIE SHAWN G & MCKENZIE  
KELSIE H  
8498 SW SANTIAM DR  
TUALATIN, OR 97062

MCKILLIP MICHAEL LEE & MCKILLIP  
HEATHER H  
20708 SW MARTINAZZI AVE  
TUALATIN, OR 97062

MCPAHAN MARY L  
8451 SW NESTUCCA CT  
TUALATIN, OR 97062

MCSWAIN DAVID CORNELL II  
8472 SW MOHAWK ST  
TUALATIN, OR 97062

MEHARRY DEE ANN & MEHARRY JOHN  
M  
PO BOX 2862  
HILLSBORO, OR 97123

MELHEM SAMER M  
21521 SW 91ST AVE  
TUALATIN, OR 97062

MELLAND MICHELE M  
19165 SW 51ST AVE  
TUALATIN, OR 97062

MELLINGER MATTHEW & MELLINGER  
HEATHER  
8488 SW IROQUOIS DR  
TUALATIN, OR 97062

MERCADO GUILLERMINA  
8376 SW MOHAWK ST  
TUALATIN, OR 97062

MERKLIN DANIEL J & MERKLIN KELLY J  
21268 SW IROQUOIS DR  
TUALATIN, OR 97062

MERRIMAN KEVIN LEE  
8346 SW MOHAWK ST  
TUALATIN, OR 97062

METHODIST CHURCH OF TUALATIN  
20200 SW MARTINAZZI AVE  
TUALATIN, OR 97062

METHODIST CHURCH OF TUALATIN  
20200 SW MARTINAZZI AVE  
TUALATIN, OR 97062

MICHAELS JOSEPH & MICHAELS ALENE  
7448 SW DELAWARE CIR  
TUALATIN, OR 97062

MISSAU MARCHELL M & MISSAU  
LENNY L  
8120 SW SEMINOLE TRL  
TUALATIN, OR 97062

MILLER DAVID JOHN  
4849 WAYLON ST  
EAU CLAIRE, WI 54703

MILLER SANDRA K & HOLT TROY M  
8460 SW MOHAWK ST  
TUALATIN, OR 97062

MILLER JEREMY WAYNE & MILLER  
ROBIN RENEE  
20400 SW 72ND AVE  
TUALATIN, OR 97062

MILLS SANDRA M  
8414 SW MOHAWK ST  
TUALATIN, OR 97062

MILLS JORDAN & MILLS BRIAN  
8278 SW CHELAN ST  
TUALATIN, OR 97062

MITSVOTAI MELANIE E  
8490 SW MOHAWK ST  
TUALATIN, OR 97062

MOHAWK ST PROPERTY LLC  
2121 ROSECRANS AVE STE 4325  
EL SEGUNDO, CA 90245

MOHAWK ST PROPERTY LLC  
2121 ROSECRANS AVE STE 4325  
EL SEGUNDO, CA 90245

MOHAWK ST PROPERTY LLC  
2121 ROSECRANS AVE STE 4325  
EL SEGUNDO, CA 90245

MOMARLS LLC  
8525 SW 165TH AVE  
BEAVERTON, OR 97007

MOMARLS LLC  
8525 SW 165TH AVE  
BEAVERTON, OR 97007

MOMARLS LLC  
8525 SW 165TH AVE  
BEAVERTON, OR 97007

MOORE RONALD D & MOORE CHRIS M  
PO BOX 730  
TUALATIN, OR 97062

MORALES DANNY M & CURTIS  
JONATHAN R  
20995 SW MARTINAZZI AVE  
TUALATIN, OR 97062

MORGAN MICHAEL  
8462 SW MOHAWK ST  
TUALATIN, OR 97062

MORGAN JAY C & MORGAN AIKO  
8264 SW MOHAWK ST  
TUALATIN, OR 97062

MORTON REAL ESTATE LLC  
PO BOX 733  
BEAVERTON, OR 97075

MOSES PAISLEY & LEAF JARED  
8435 SW UMATILLA ST  
TUALATIN, OR 97062

MOTA MIGUEL JAQUIZ  
8512 SW MOHAWK ST  
TUALATIN, OR 97062

MREEN JAMES R & AVIS M REV TRUST  
32590 SW ARBOR LAKE DR  
WILSONVILLE, OR 97070

MUILENBURG SCOTT E & MUILENBURG  
MARILYN  
1619 SE 176TH AVE  
PORTLAND, OR 97223

MURPHY BYRON K & WIKSTROM  
SAMANTHA A  
601 QUAIL DR  
NEWBERG, OR 97132

MURPHY JOYCE I  
8290 SW SHENANDOAH WAY  
TUALATIN, OR 97062

MURPHEY WILLIAM H & MURPHEY  
EDWINA D  
8700 SW SEMINOLE TRL  
TUALATIN, OR 97062

NAN-BELIGRAD MARIANA  
8464 SW MOHAWK ST  
TUALATIN, OR 97062

NASH LARKIN & NASH ARMISTEAD &  
WILLIS ELIZABETH D  
8488 SW HURON CT  
TUALATIN, OR 97062

NAUGLE CHAD & JANA NAUGLE-WONG  
LIV TRUST  
8625 SW COMANCHE WAY  
TUALATIN, OR 97062

NAUGLE CHAD & JANA NAUGLE-WONG  
LIV TRUST  
8625 SW COMANCHE WAY  
TUALATIN, OR 97062

NERSKI JOHN L & NERSKI PATRICIA D  
8320 SW CHELAN ST  
TUALATIN, OR 97062

NEWBERRY STEPHEN B & NEWBERRY  
DEBRA L  
21224 SW IROQUOIS DR  
TUALATIN, OR 97062

NICHOLSON DEBRA M  
8208 SW SHENANDOAH WAY  
TUALATIN, OR 97062

NIELSON CRYSTAL DAWN  
8492 SW MOHAWK ST  
TUALATIN, OR 97062

NIELSON DARCY  
8352 SW MOHAWK ST  
TUALATIN, OR 97062

NOEL CAROL MARIE  
8416 SW IROQUOIS DR  
TUALATIN, OR 97062

NORLIN FAMILY TRUST  
7768 SW RED HAWK CT  
DURHAM, OR 97224

NOTTINGHAM RAYMOND H &  
NOTTINGHAM MARDI D  
8440 SW MOHAWK ST  
TUALATIN, OR 97062

OJEDA ANA IRIS URIOSTEGUI &  
CASARRUBIAS LUIS ALBERTO RADILLA  
8235 SW AVERY ST  
TUALATIN, OR 97062

OLGUIN JUAN CARLOS & OLGUIN  
YAZMIN  
20012 SW TILLAMOOK CT  
TUALATIN, OR 97062

OLMEDO JORGE E & MARIA A F LIV  
TRUST  
20753 SW MARTINAZZI AVE  
TUALATIN, OR 97062

OREGON DEPT OF TRANSPORTATION  
4040 FAIRVIEW INDUSTRIAL DR SE MS  
#2  
SALEM, OR 97302

OREGON DEPT OF TRANSPORTATION  
4040 FAIRVIEW INDUSTRIAL DR SE MS  
#2  
SALEM, OR 97302

OREGON DEPT OF TRANSPORTATION  
4040 FAIRVIEW INDUSTRIAL DR SE MS  
#2  
SALEM, OR 97302

ORSBURN ANITA  
8524 SW MOHAWK ST  
TUALATIN, OR 97062

ORSBURN ANITA J & GARRIETY SUSAN J  
8388 SW MOHAWK ST  
TUALATIN, OR 97062

OSBORNE JUDITH E  
8428 SW MOHAWK ST  
TUALATIN, OR 97062

OSBORNE NOELLE  
8480 SW MOHAWK ST  
TUALATIN, OR 97062

OSLER DAVID & OSLER DEBRA D  
8164 SW SHENANDOAH WAY  
TUALATIN, OR 97062

OSMOSYS LLC  
7415 SW 37TH AVE  
PORTLAND, OR 97219

OSTRANDER JANNA K TRUST & COFFEY  
VICKI L TRUST  
8295 SW SEMINOLE TRL  
TUALATIN, OR 97062

OTIS JULIE ROSE  
20036 SW TILLAMOOK CT  
TUALATIN, OR 97062

OUSTERHOUT SALLY M & OUSTERHOUT  
GERALD C  
5167 METOLIUS AVE SE  
SALEM, OR 97306

PALMER-DUPRAU TABITHA & DUPRAU  
JEFFREY  
8335 SW SEMINOLE TRAIL  
TUALATIN, OR 97062

PALUMBIS JASON N TRUST &  
KARAMBELAS GEORGE & KARAMBELAS  
MARI-FAYE  
19745 SW 49TH AVE  
TUALATIN, OR 97062

PARSONS FAMILY REV TRUST  
20167 SW 85TH CT  
TUALATIN, OR 97062

PARSONS SUSAN J  
8300 SW SHENANDOAH WAY  
TUALATIN, OR 97062

PATEL REV TRUST  
28916 LA CARRETERA  
LAGUNA NIGUEL, CA 92677

PATTON CHARLES S & PATTON  
JENNIFER R  
PO BOX 1632  
TUALATIN, OR 97062

PATTON CHARLES S & PATTON  
JENNIFER R  
PO BOX 1632  
TUALATIN, OR 97062

PAUL IRENE E  
8328 SW SHENANDOAH WAY  
TUALATIN, OR 97062

PAULINO JORDAN N & PAULINO DANA  
R  
21012 SW 84TH AVE  
TUALATIN, OR 97062

PAULY JONI C & PAULY EDWARD G  
21207 SW IROQUOIS DR  
TUALATIN, OR 97062

PAYNE JEFFERY LEE  
8670 SW COMANCHE WAY  
TUALATIN, OR 97062

PERKINS SHELLY KAY & LANGE VERA  
MAXINE  
23662 STAFFORD HILL DR  
WEST LINN, OR 97068

PERKINS EDWARD G TRUST  
8224 SW SHENANDOAH WAY  
TUALATIN, OR 97062

PERRY SCOTT B & PERRY CHARISSA J  
8245 SW AVERY ST  
TUALATIN, OR 97062

PETERSON MARTHA K  
8302 SW MOHAWK ST  
TUALATIN, OR 97062

PETERSEN JOSHUA A & PETERSEN  
REBECCA A  
20084 SW TILLAMOOK CT  
TUALATIN, OR 97062

PETERSON KATHY J  
8137 SW SHENANDOAH WAY  
TUALATIN, OR 97062

PETERSON BARBARA  
8196 SW SHENANDOAH WAY  
TUALATIN, OR 97062

PHUONG THAO & PHUONG KHANG  
21216 SW MARTINAZZI AVE  
TUALATIN, OR 97062

PHUONG THAO & PHUONG KHANG  
21216 SW MARTINAZZI AVE  
TUALATIN, OR 97062

PHUONG THAO & PHUONG KHANG  
21216 SW MARTINAZZI AVE  
TUALATIN, OR 97062

PLAGGMIER JOHN R JR TRUST  
19740 SW BOONES FERRY RD  
TUALATN, OR 97062

POOLE KIMBELRY K  
8442 SW MOHAWK ST  
TUALATIN, OR 97062

PORTLAND GENERAL ELECTRIC CO  
121 SW SALMON ST  
PORTLAND, OR 97204

POTTS DALE GREGORY & MARIANNE  
REV LIV TRUST  
20390 SW 86TH AVE  
TUALATIN, OR 97062

PRECI JOSEPH H & PRECI CONNIE E  
21274 SW MAKAH ST  
TUALATIN, OR 97062

PRESLEY TIMOTHY RYAN & PRESLEY  
TEMARA ELIZABETH  
10335 SW HOODVIEW DR  
TIGARD, OR 97224

PRESLEY TIM R & PRESLEY TEMARA E  
10335 SW HOODVIEW DR  
TIGARD, OR 97224

PRESTON WILLIAM M & WOOD  
CLINTON A  
20300 SW NANCY LN  
BEAVERTON, OR 97007

PRICE SHIRLEY M & PRICE ROGER D  
20148 SW TENINO CT  
TUALATIN, OR 97062

PRICE MOIRA & WILSON WILLIAM E &  
LYNDA T  
20196 SW TENINO CT  
TUALATIN, OR 97062

PRICE NOLAN  
20834 SW MARTINAZZI AVE  
TUALATIN, OR 97062

PRIES FAMILY TRUST  
8535 SW AVERY ST  
TUALATIN, OR 97062

RADANOVIC DIANNE M  
8374 SW MOHAWK ST  
TUALATIN, OR 97062

RADFORD JOHN J & RADFORD LEAH E  
7296 SW TENINO LN  
TUALATIN, OR 97062

RAMIREZ MIRNA Z & RIVERA JESUS  
RAMIREZ  
8375 SW SHENANDOAH WAY  
TUALATIN, OR 97062

RAMIREZ MIRNA Z & RIVERA JESUS  
RAMIREZ  
8375 SW SHENANDOAH WAY  
TUALATIN, OR 97062

REAMES BRIAN & REAMES KATELYN  
8515 SW SEMINOLE TRL  
TUALATIN, OR 97062

REED BRENT GRANT & REED KRISTA  
ANNE  
17477 N 101ST WAY  
SCOTTSDALE, AZ 85255

REESE DOUGLAS & COFFMAN NICOLE  
20480 SW 86TH AVE  
TUALATIN, OR 97062

REID MICHAEL ALLEN & REID KRISTI R  
8398 SW MOHAWK ST  
TUALATIN, OR 97062

REKSOPURO MARJONO & NAGARIA  
JULIANTI  
15253 SE PEBBLE BEACH DR  
HAPPY VALLEY, OR 97086

RENWICK JEAN C  
20553 SW COLVILLE CT  
TUALATIN, OR 97062

REPP SCOTT T & REPP SHARISSE M  
8550 SW SEMINOLE TRL  
TUALATIN, OR 97062

REUTHER ERIC J  
20221 SW TENINO CT  
TUALATIN, OR 97062

REYES MANOLO B & REYES CARLOTA F  
DE LOS  
20475 SW 86TH AVE  
TUALATIN, OR 97062

RHAY PATRICIA C  
20248 SW TENINO CT  
TUALATIN, OR 97062

RICHARDS AHREN & RICHARDS  
KIMBERLY  
8520 SW SEMINOLE TRL  
TUALATIN, OR 97062

ROBSON MARILYN ELIZABETH LIVING TRUST  
8715 SW COMANCHE WAY  
TUALATIN, OR 97062

ROLFE CHARLENE C  
8172 SW SHENANDOAH WAY  
TUALATIN, OR 97062

ROSSOL KATHY S  
20124 SW 72ND AVE  
TUALATIN, OR 97062

RUMPF JESSICA  
2843 SW PLUM CT  
PORTLAND, OR 97219

SAGERT PLAZA LLC  
18840 SW BOONES FERRY RD STE 216  
TUALATIN, OR 97062

SANDALWOOD CONDO COMMUNITY UNIT OWNERS  
, OR 00000

SANTA GYORGYI  
4214 WOODSIDE CIR  
LAKE OSWEGO, OR 97035

SCHEER HILARY JANAYE  
8354 SW MOHAWK ST  
TUALATIN, OR 97062

SCHRIEVER LISA A  
21198 SW IROQUOIS DR  
TUALATIN, OR 97062

SEBASTIAN THEODORE ANDREW  
20682 SW MARTINAZZI AVE  
TUALATIN, OR 97062

ROBSON MARILYN ELIZABETH LIVING TRUST  
8715 SW COMANCHE WAY  
TUALATIN, OR 97062

ROLLINS CHARLIE K & LATSHAW JANICE K  
8665 SW SEMINOLE TRAIL  
TUALATIN, OR 97062

ROTH GARY L  
8305 SW SHENANDOAH WAY  
TUALATIN, OR 97062

RYAN ROBERT COLIN & RYAN STEPHANIE R  
8137 SW SEMINOLE TRL  
TUALATIN, OR 97062

SALDIVAR ANGELICA  
20935 SW 90TH AVE  
TUALATIN, OR 97062

SANDER ALEX J  
8451 SW UMATILLA ST  
TUALATIN, OR 97062

SARDAM VINCENT ROSS & DYSON KAITLYNN RAE  
7455 SW DELAWARE CIR  
TUALATIN, OR 97062

SCHMITZ MATTHEW D & SCHMITZ KRISTA J  
20182 SW TILLAMOOK CT  
TUALATIN, OR 97062

SCHWEITZER LESLIE ANNE  
8675 SW AVERY ST  
TUALATIN, OR 97062

SEED LEVI P & SEED KIMBERLEY A  
8488 SW MOHAWK ST  
TUALATIN, OR 97062

ROBSON MARILYN ELIZABETH LIVING TRUST  
8715 SW COMANCHE WAY  
TUALATIN, OR 97062

ROSHAN RAKESH & PRASAD BENITA D  
7275 SW DELAWARE CIR  
TUALATIN, OR 97062

RUDOLF WOLFGANG  
61690 SUMMER SHADE DR  
BEND, OR 97702

SAECHAO KATIE & SAECHAO CHIOFOU  
20164 SW 85TH CT  
TUALATIN, OR 97062

SALTER ZACHERY ELWIN  
21267 SW MARTINAZZI AVE  
TUALATIN, OR 97062

SANTA GYORGYI  
4214 WOODSIDE CIR  
LAKE OSWEGO, OR 97035

SARGENT JOAN ALICE  
8204 SW SHENANDOAH WAY  
TUALATIN, OR 97062

SCHNEIDER BRENT & SCHNEIDER TRACY A  
8460 SW SEMINOLE TRL  
TUALATIN, OR 97062

SCOTT LIVING TRUST  
8454 SW CHELAN CT  
TUALATIN, OR 97062

SEFRANEK ROBERT & SEFRANEK REIKO  
8520 SW SAGERT ST  
TUALATIN, OR 97062



SHAFFER JIMMY WAYNE & SHAFFER  
AMANDA GAIL  
8210 SW SEMINOLE TRL  
TUALATIN, OR 97062

SHANAHAN KENNETH D & SHIRLEY A  
REV TRUST  
8455 SW SEMINOLE TRAIL  
TUALATIN, OR 97062

SHUMWAY DEAN & SHUMWAY LAURA  
180 CALICO LAKE DR  
BREVARD, NC 28712

SILLIMAN DAVID J & SILLIMAN  
SHANNON L  
20028 SW 72ND AVE  
TUALATIN, OR 97062

SIMPSON SHELLEY  
PO BOX 824  
TUALATIN, OR 97062

SLOAN EUPHEMIA M R  
20445 SW 86TH AVE  
TUALATIN, OR 97062

~~SMITH MEGHAN LACY & SMITH JOHN  
PAUL  
8121 SW SEMINOLE TRL  
TUALATIN, OR 97062~~

SNYDER STEVEN A  
28686 SW PARIS AVE  
WILSONVILLE, OR 97070

SORRENTINO MARIA LAURA  
7343 SW TENINO LN  
TUALATIN, OR 97062

SPRAIN MICHELLE ANN  
8201 SW SEMINOLE TRAIL  
TUALATIN, OR 97062

~~SHAFFER JIMMY WAYNE & SHAFFER  
AMANDA GAIL  
8210 SW SEMINOLE TRL  
TUALATIN, OR 97062~~

SHELDON WILLIAM C  
8735 SW AVERY ST  
TUALATIN, OR 97062

SIKSTROM MARY ANN & SIKSTROM  
DAVID C  
8520 SW MODOC CT  
TUALATIN, OR 97062

SIMNITT MAXIMILIAN  
20173 SW TENINO CT  
TUALATIN, OR 97062

SIVAM SATYA & VASUKI  
20527 SW 84TH CT  
TUALATIN, OR 97062

SMALL JASON ALAN  
7401 SW DELAWARE CIR  
TUALATIN, OR 97062

SMITH JASON  
20779 SW 84TH AVE  
TUALATIN, OR 97062

SOLL KAREN  
8400 SW SEMINOLE TRL  
TUALATIN, OR 97062

SOUTHARDS CLIFFORD J & SOUTHARDS  
CARLA M  
19800 SPRING RIDGE DR  
WEST LINN, OR 97068

SPRATTLER SUE I LIVING TRUST  
1930 16TH AVE  
FOREST GROVE, OR 97116

~~SHAFFER JIMMY WAYNE & SHAFFER  
AMANDA GAIL  
8210 SW SEMINOLE TRL  
TUALATIN, OR 97062~~

SHOLES RANDY & SHOLES KELLY  
14595 SW 144TH AVE  
TIGARD, OR 97224

SILJEG STEPHANIE M  
21250 SW MAKAH ST  
TUALATIN, OR 97062

SIMONSEN JAMES A  
7375 SW TENINO  
TUALATIN, OR 97062

SKEEN DELORIS J  
8500 SW IROQUOIS DR  
TUALATIN, OR 97062

SMITH MEGHAN LACY & SMITH JOHN  
PAUL  
8121 SW SEMINOLE TRL  
TUALATIN, OR 97062

SNELL SUSAN E  
20487 SW 69TH AVE  
TUALATIN, OR 97062

SOLTERO ALFONSO & SANCHEZ  
FRANCISCO SOLTERO  
19760 SW BOONES FERRY RD  
TUALATIN, OR 97062

SOWA DARLA  
8475 SW AVERY ST  
TUALATIN, OR 97062

ST PAUL PROPERTIES INC  
7991 SW MOHAWK ST  
TUALATIN, OR 97062

STANLEY MATTHEW E  
8278 SW MOHAWK ST  
TUALATIN, OR 97062

~~STANLEY MATTHEW E  
8278 SW MOHAWK ST  
TUALATIN, OR 97062~~

~~STANLEY MATTHEW E  
8278 SW MOHAWK ST  
TUALATIN, OR 97062~~

STANSFIELD MICHAEL  
8501 SW IROQUOIS DR  
TUALATIN, OR 97062

STARK MYLON K  
8384 SW MOHAWK ST  
TUALATIN, OR 97062

STATON HELEN M  
8685 SW COMANCHE WAY  
TUALATIN, OR 97062

STELL THOMAS C & STELL DAWN R  
8280 SW MOHAWK ST  
TUALATIN, OR 97062

STENEK TERESA C  
21285 SW MARTINAZZI AVE  
TUALATIN, OR 97062

STEWART BRANDON J & STEWART  
VIVIANA P  
2982 WINKEL WAY  
WEST LINN, OR 97068

STONE JOANNA & STONE JOSHUA  
20569 SW 84TH CT  
TUALATIN, OR 97062

STORKSON NICHOLAS  
21306 SW IROQUOIS DR  
TUALATIN, OR 97062

STUTEVOSS FRANKLIN G  
20948 SW 84TH AVE  
TUALATIN, OR 97062

SULLIVAN WILLIAM S  
8178 SW SHENANDOAH WAY  
TUALATIN, OR 97062

SWANSON LEGACY IRREV TRUST  
8334 SW MOHAWK ST  
TUALATIN, OR 97062

SWEARINGEN THOMAS R &  
SWEARINGEN CARLA E  
20917 SW MARTINAZZI AVE  
TUALATIN, OR 97062

TAAFFE WILLIAM PATRICK & COE  
AMBER  
20628 SW 84TH CT  
TUALATIN, OR 97062

TAFUA COLETTE L  
8274 SW MOHAWK ST  
TUALATIN, OR 97062

TAMURA LINDA GAYLE  
7311 SW TENINO LN  
TUALATIN, OR 97062

TAMURA LINDA GAYLE  
7311 SW TENINO LN  
TUALATIN, OR 97062

TAUTENHAN DANIEL C  
8450 SW MOHAWK ST  
TUALATIN, OR 97062

TAYLOR EMILY HAVEN  
7251 SW DELAWARE CIR  
BEAVERTON, OR 97062

TAYLOR STERLING D  
8105 SW SEMINOLE TRL  
TUALATIN, OR 97062

TAYLOR STEVEN MICHAEL & STROM  
DIANA & BURT AMY LYNN  
8240 SW SHENANDOAH WAY  
TUALATIN, OR 97062

TEEL SHELLEY A  
8510 SW MOHAWK ST  
TUALATIN, OR 97062

TENCE DAVID A & TENCE IVANA B  
19775 SW TAPOSA PL  
TUALATIN, OR 97062

TEWINPAGTI ITTI  
1220 SW 3RD AVE RM 1616  
PORTLAND, OR 97204

THIEL PHILIP & THIEL CATHERINE  
8535 SW SEMINOLE TRL  
TUALATIN, OR 97062

THIRDGILL AMY  
8685 SW SEMINOLE TRL  
TUALATIN, OR 97062

THOMAS JENEVA TRUST  
7321 SW DELAWARE CIR  
TUALATIN, OR 97062

THOMAS JOSEPH & MOSS AMY  
8464 SW IROQUOIS DR  
TUALATIN, OR 97062

THOMPSON ANITA L  
8175 SW SHENANDOAH WAY  
TUALATIN, OR 97062

THOMPSON ANITA L  
8175 SW SHENANDOAH WAY  
TUALATIN, OR 97062

THOMPSON ANITA L  
8175 SW SHENANDOAH WAY  
TUALATIN, OR 97062

THORSON SHARON M  
21233 SW MARTINAZZI AVE  
TUALATIN, OR 97062

TOBIE GENE A & TOBIE TAMMY J  
21199 SW MARTINAZZI AVE  
TUALATIN, OR 97062

TOBIN ROGER PAUL & TOBIN KAREN  
BRAUCHER & TOBIN ELIZABETH LI BAI  
6195 SW 150TH AVE  
BEAVERTON, OR 97007

TODD VILLAGE-285 LLC  
9500 SW BARBUR BLVD STE 300  
PORTLAND, OR 97219

TODD VILLAGE-285 LLC  
9500 SW BARBUR BLVD STE 300  
PORTLAND, OR 97219

TONE CASEY J & TONE LISA K  
8375 SW SEMINOLE TRL  
TUALATIN, OR 97062

TOW DAVID F & TOW DAWN M  
20222 SW TILLAMOOK CT  
TUALATIN, OR 97062

TREMAIN JUNE E & HUPPERTZ NANCY I  
10735 SW BANNOCH ST  
TUALATIN, OR 97062

TRI-COUNTY METROPOLITAN  
TRANSPORTATION DISTRICT OF  
OREGON  
710 HOLLADAY ST  
PORTLAND, OR 97232

TRYSIL MAYA & FLANAGAN  
CHRISTOPHER  
8372 SW MOHAWK ST  
TUALATIN, OR 97062

TUALATIN VILLAGE CONDO PH II  
OWNERS OF UNITS  
, OR 00000

TUALATIN CITY OF  
18880 SW MARTINAZZI AVE  
TUALATIN, OR 97062

TUALATIN CITY OF  
18880 SW MARTINAZZI AVE  
TUALATIN, OR 97062

TUALATIN CITY OF  
18880 SW MARTINAZZI AVE  
TUALATIN, OR 97062

TUALATIN CITY OF  
18880 SW MARTINAZZI AVE  
TUALATIN, OR 97062

TUALATIN CITY OF  
18880 SW MARTINAZZI AVE  
TUALATIN, OR 97062

TUALATIN CITY OF  
18880 SW MARTINAZZI AVE  
TUALATIN, OR 97062

TUALATIN CITY OF  
18880 SW MARTINAZZI AVE  
TUALATIN, OR 97062

TUCKER SHERRY D  
8522 SW MOHAWK ST  
TUALATIN, OR 97062

TURNER JAMES W  
8252 SW SHENANDOAH WAY  
TUALATIN, OR 97062

UJAKOVICH MEGAN B  
8315 SW SHENANDOAH WAY  
TUALATIN, OR 97062

VALENTIN RODOLFO  
3809 NE 73RD AVE  
PORTLAND, OR 97213

VALENTINE FRIDAY  
8160 SW SHENANDOAH WAY  
TUALATIN, OR 97062

VALO VALORIE L  
20350 SW 72ND AVE  
TUALATIN, OR 97062

VANCE JAMES D & VANCE DONNA L  
22350 SW 102ND PL  
TUALATIN, OR 97062

VANDERHEIDEN STEVEN M &  
VANDERHEIDEN SHERYL D  
20577 SW COLVILLE CT  
TUALATIN, OR 97062

VANNORTWICK JOHN E JR &  
VANNORTWICK MARY JO  
8472 SW NESTUCCA CT  
TUALATIN, OR 97062

VENTI KATHERINE M  
8486 SW MOHAWK ST  
TUALATIN, OR 97062

VENTI KATHERINE M  
8486 SW MOHAWK ST  
TUALATIN, OR 97062

VENTI KATHERINE M  
8486 SW MOHAWK ST  
TUALATIN, OR 97062

VITERITTI TRACY A  
8344 SW MOHAWK ST  
TUALATIN, OR 97062

VONTUNGEIN RITA K  
8448 SW MOHAWK ST  
TUALATIN, OR 97062

WADE DIANA  
8462 SW UMATILLA ST  
TUALATIN, OR 97062

WAGNER DANIELLE R & WAGNER  
JARED  
7288 SW DELAWARE CIR  
TUALATIN, OR 97062

WAHED WALI & WAHED CHRISTI  
7476 SW DELAWARE CIR  
TUALATIN, OR 97062

WALKER-LIDDELL JENNIFER JEAN  
8408 SW UMATILLA ST  
TUALATIN, OR 97062

WALSH JAMES ROBERT REV LIV TRUST  
8740 SW COMANCHE WAY  
TUALATIN, OR 97062

WALTER KENNETH L  
20601 SW COLVILLE CT  
TUALATIN, OR 97062

WARD JUSTIN C & WARD TIFFANY L  
8380 SE SHENANDOAH WAY  
TUALATIN, OR 97062

WARN RICHARD & SUZANNE TINKER  
WARN LIV TRUST  
20176 SW 72ND AVE  
TUALATIN, OR 97062

WARNEKE SPENCER  
8456 SW MOHAWK ST  
TUALATIN, OR 97062

WAXENFELTER ROYCE & WAXENFELTER  
BESS  
8487 SW HURON CT  
TUALATIN, OR 97062

WEAVER JOSHUA M & WEAVER EMMA  
C  
20335 SW 86TH AVE  
TUALATIN, OR 97062

WEBBER MICHELE A & WEBBER  
GREGORY S  
7313 SW DELAWARE CIR  
TUALATIN, OR 97062

WECKERT WENDELL W II & WECKERT  
VIVIAN I  
8700 SW COMANCHE WAY  
TUALATIN, OR 97062

WECKERT WENDELL W II & WECKERT  
VIVIAN I  
8700 SW COMANCHE WAY  
TUALATIN, OR 97062

WEGENER LOIS M  
8228 SW SEMINOLE TRL  
TUALATIN, OR 97062

WEGNER WILLIAM DAVID & WEGNER  
LINDA  
8446 SW UMATILLA ST  
TUALATIN, OR 97062

WEILAND LINDA A  
7392 SW TENINO LN  
TUALATIN, OR 97062

WELLS JONAH & KIEU CHRISTINE  
20351 SW 72ND AVE  
TUALATIN, OR 97062

WELLS BARBARA J TRUST  
8565 SW MODOC CT  
TUALATIN, OR 97062

WENDT GLADYS T LIVING TRUST  
8336 SW MOHAWK ST  
TUALATIN, OR 97062

WEST TREVOR M  
8332 SW MOHAWK ST  
TUALATIN, OR 97062

WESTFALL SANDRA C  
8332 SW SHENANDOAH WAY  
TUALATIN, OR 97062

WESTON BENJAMIN R & WESTON TARA  
E  
8360 SW CHELAN ST  
TUALATIN, OR 97062

WHITEMAN BETTY J  
5185 CARMAN DR  
LAKE OSWEGO, OR 97035

WHITE SUZANNE B LIVING TRUST  
8368 SW MOHAWK ST  
TUALATIN, OR 97062

WILBOURN SAMUEL R & WILBOURN  
LAURA N  
20208 SW 85TH CT  
TUALATIN, OR 97062

WILBOURN SAMUEL R & WILBOURN  
LAURA N  
20208 SW 85TH CT  
TUALATIN, OR 97062

WILBOURN SAMUEL R & WILBOURN  
LAURA N  
20208 SW 85TH CT  
TUALATIN, OR 97062

WILENT SHERRI LYNN & WILENT  
STEVEN WILLIAM  
8404 SW MOHAWK ST  
TUALATIN, OR 97062

WILHELM MICHAEL S & WILHELM  
MARGARITA R  
8485 SW IROQUOIS DR  
TUALATIN, OR 97062

WILLIAMS-ANDERSON NICOLE D &  
ANDERSON KYLE CA  
20016 SW 86TH AVE  
TUALATIN, OR 97062

WILLIAMS JOAN E TRUST  
9801 RANCH HAND AVE  
LAS VEGAS, NV 89117

WILSON BYRON  
8370 SW MOHAWK ST  
TUALATIN, OR 97062

WILSON NANCY SILLER & WILSON  
GREG H  
21125 SW MARTINAZZI AVE  
TUALATIN, OR 97062

WINN REVOCABLE TRUST  
20104 SW TILLAMOOK CT  
TUALATIN, OR 97062

WINTERS TERRY M  
8304 SW MOHAWK ST  
TUALATIN, OR 97062

WOLL ANNA & WOLL JAMES  
8447 SW IROQUOIS DR  
TUALATIN, OR 97062

WOOD SHARON F  
8235 SW SHENANDOAH WAY  
TUALATIN, OR 97062

WOOD KATHRYN A REV TRUST  
8312 SW SHENANDOAH WAY  
TUALATIN, OR 97062

WOODS KEITH A  
20249 SW 85TH CT  
TUALATIN, OR 97062

WOOLFE JANIE L  
8330 SW MOHAWK ST  
TUALATIN, OR 97062

WOOTEN SHAWN  
8310 SW MOHAWK ST  
TUALATIN, OR 97062

WRAY MATHEW E & WRAY ASHLEY D  
8153 SW SEMINOLE TRL  
TUALATIN, OR 97062

WRAY MATHEW E & WRAY ASHLEY D  
8153 SW SEMINOLE TRL  
TUALATIN, OR 97062

WRIGHT JENNIFER A  
20973 SW MARTINAZZI AVE  
TUALATIN, OR 97062

WURGLER CATHALYN C  
20905 SW 84TH AVE  
TUALATIN, OR 97062

WYLAND DANIEL J & WYLAND SHARLA  
L  
PO BOX 2268  
TUALATIN, OR 97062

YARMAN JERRY L & YARMAN JENNIFER  
A  
20980 SW 84TH AVE  
TUALATIN, OR 97062

YOUNG SAMUEL J & YOUNG ANNE B  
8105 SW SHENANDOAH WAY  
TUALATIN, OR 97062

YOUNKER JASON L & YOUNKER EMILY  
20150 SW 72ND AVE  
TUALATIN, OR 97062

YU KE  
20873 SW MARTINAZZI AVE  
TUALATIN, OR 97062

ZAMORA OSCAR & TORRES IRMA  
21110 SW 84TH AVE  
TUALATIN, OR 97062

ZELINSKY SHARON P REV LIV TRUST  
8489 SW UMATILLA ST  
TUALATIN, OR 97062

ZHU HE  
8320 SW MOHAWK ST  
TUALATIN, OR 97062

ZIMEL RANDI N  
20222 SW 72ND AVE  
TIGARD, OR 97223

3J Consulting  
Attn: Heather Austin, AICP  
9600 SW Nimbus Ave., Ste. 100  
Beaverton, OR 97008

Colrich California Construction, LLC  
Attn: Matthew Moiseve  
444 West Beech St., Ste. 300  
San Diego, CA 92101

**From:** Keith Leonard  
**Sent:** Thursday, October 13, 2022 1:27 PM  
**To:** riverparkcio@gmail.com; jasuw7@gmail.com; famtunstall1@frontier.com; dan@danhardyproperties.com; katepinamonti@hotmail.com; cynmartz12@gmail.com; daniel@bachhuber.co; cio.east.west@gmail.com; doug\_ulmer@comcast.net; keenanwoods7@gmail.com; keenanwoods7@gmail.com; dana476@gmail.com; mcrowell248@comcast.net; tualatinmidwestcio@gmail.com; dikkusan@live.com; cniew@yahoo.com; tmpgarden@comcast.net; snoelluwcwle@yahoo.com; MartinazziWoodsCIO@gmail.com; solson.1827@gmail.com; delmoore@frontier.com; jamison.l.shields@gmail.com; ClaudiaSterling68@gmail.com; janet7531@gmail.com; roydloop@gmail.com; Tualatinibachcio@gmail.com; edkcnw@comcast.net; patricia.parsons@ctt.com; rwcleanrooms@gmail.com; byromcio@gmail.com; mwestenhaver@hotmail.com; tualatincommercialcio@gmail.com; tualatincommercialcio@gmail.com; scottm@capacitycommercial.com; robertekellogg@yahoo.com; famtunstall1@frontier.com; tualatincio@gmail.com; Megan George  
**Subject:** Notice of Hearing November 30th: AR22-0008 7800 SW Sagert St. and 20400 SW Martinazzi Ave.- Alden Apartments



#### **NOTICE OF HEARING AND OPPORTUNITY TO COMMENT**

**NOTICE IS HEREBY GIVEN** that a public hearing will be held before the City of Tualatin Architectural Review Board on Wednesday November 30, 2022 at 6:30 p.m. All are invited to attend the hearing and testify verbally. The hearing will be held at the Tualatin Service Center, 10699 SW Herman Road, Tualatin, OR 97062, and a Zoom meeting link will be published with the meeting agenda and packet materials at: [www.tualatinoregon.gov/meetings](http://www.tualatinoregon.gov/meetings).

***3j Consulting, on behalf of CR Alden Communities, LLC., is requesting approval to construct 45 new townhome units in 12 new buildings. The 16.7 acre property is located in the Medium High Density Residential Zone (RMH) at 7800 SW Sagert Street and 20400 SW Martinazzi Avenue, Tax Lot 2S125BA00100. Two existing buildings are proposed for removal for a net gain of 10 buildings on the site. Removal of an existing basketball court is proposed. There will be a total of 5 shared outdoor play areas for the overall development.***

You may view the application materials on our Projects web page:  
<https://www.tualatinoregon.gov/planning/ar22-0008-alden-apartments-0>.

**Individuals wishing to comment may do so in writing** to the Planning Division prior to the hearing and/or present written and/or verbal testimony to the Architectural Review Board at the hearing. To be

included in the materials packet published ahead of the hearing, comments must be **received by November 16, 2022**. Hearings begin with a staff presentation, followed by testimony by proponents, testimony by opponents, and rebuttal. The time of individual testimony may be limited. If a participant requests before the hearing is closed, the record shall remain open for at least 7 days after the hearing.

All citizens are invited to attend and be heard upon the Architectural Features application: Failure of an issue to be raised in the hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals (LUBA) based on that issue. The failure of the applicant to raise constitutional or other issues relating to the proposed conditions of approval with sufficient specificity to the decision maker to respond to the issue precludes an action for damages in circuit court.

**Type III Architectural Review Criteria:** Tualatin Development Code Chapters: 32, 33, 42, 73A-D, 74, 75

A staff report will available seven day prior to the public hearing, published at [www.tualatinoregon.gov/meetings](http://www.tualatinoregon.gov/meetings). This meeting and any materials being considered can be made accessible upon request.

Written comments and questions can be submitted to: [kleonard@tualatin.gov](mailto:kleonard@tualatin.gov).

**Keith Leonard, AICP**

Associate Planner

City of Tualatin | Planning

503.691.3029 | [www.tualatinoregon.gov](http://www.tualatinoregon.gov)





**From:** Keith Leonard  
**Sent:** Thursday, October 13, 2022 1:35 PM  
**To:** camila.garrido@dahlingroup.com; troym@mearsdesigngroup.com; Ashley Doty; matm@colrich.com; Heather Austin  
**Cc:** Alyssa Kerr; Don Hudson; Erin Engman; Jonathan Taylor; Kim McMillan; Martin Loring; Mike McCarthy; Rich Mueller; Sherilyn Lombos; Steve Koper; Terrance Leahy; Tom Scott; Tom Steiger; Hayden Ausland; Tony Doran; Lindsey Hagerman; Madeleine Nelson; Keith Leonard; Suzanne Tyler; Edward Jones; naomi\_vogel@co.washington.or.us; theresa\_cherniak@co.washington.or.us; deqinfo@deq.state.or.us; landusenotifications@oregonmetro.gov; ODOT\_R1\_DevRev@odot.oregon.gov; baldwinb@trimet.org; LUComments@cleanwaterservices.org; Ty.Darby@tvfr.com; KHerrod@republicservices.com; trose1@ttsd.k12.or.us; info@theintertwine.org; Anneleah@tualatinchamber.com; OR.METRO.ENGINEERING@ZIPLY.COM; tod.shattuck@pgn.com; brandon.fleming@pgn.com; kenneth.spencer@pgn.com; richard.girard@nwnatural.com; icrawford@wcca.com  
**Subject:** Notice of Hearing November 30th: AR22-0008 7800 SW Sagert St. and 20400 SW Martinazzi Ave.- Alden Apartment



#### NOTICE OF HEARING AND OPPORTUNITY TO COMMENT

**NOTICE IS HEREBY GIVEN** that a public hearing will be held before the City of Tualatin Architectural Review Board on Wednesday November 30, 2022 at 6:30 p.m. All are invited to attend the hearing and testify verbally. The hearing will be held at the Tualatin Service Center, 10699 SW Herman Road, Tualatin, OR 97062, and a Zoom meeting link will be published with the meeting agenda and packet materials at: [www.tualatinoregon.gov/meetings](http://www.tualatinoregon.gov/meetings).

***3j Consulting, on behalf of CR Alden Communities, LLC., is requesting approval to construct 45 new townhome units in 12 new buildings. The 16.7 acre property is located in the Medium High Density Residential Zone (RMH) at 7800 SW Sagert Street and 20400 SW Martinazzi Avenue, Tax Lot 2S125BA00100. Two existing buildings are proposed for removal for a net gain of 10 buildings on the site. Removal of an existing basketball court is proposed. There will be a total of 5 shared outdoor play areas for the overall development.***

You may view the application materials on our Projects web page:  
<https://www.tualatinoregon.gov/planning/ar22-0008-alden-apartments-0>.

**Individuals wishing to comment may do so in writing** to the Planning Division prior to the hearing and/or present written and/or verbal testimony to the Architectural Review Board at the hearing. To be included in the materials packet published ahead of the hearing, comments must be **received by**

**November 16, 2022.** Hearings begin with a staff presentation, followed by testimony by proponents, testimony by opponents, and rebuttal. The time of individual testimony may be limited. If a participant requests before the hearing is closed, the record shall remain open for at least 7 days after the hearing.

All citizens are invited to attend and be heard upon the Architectural Features application: Failure of an issue to be raised in the hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals (LUBA) based on that issue. The failure of the applicant to raise constitutional or other issues relating to the proposed conditions of approval with sufficient specificity to the decision maker to respond to the issue precludes an action for damages in circuit court.

**Type III Architectural Review Criteria:** Tualatin Development Code Chapters: 32, 33, 42, 73A-D, 74, 75

A staff report will available seven day prior to the public hearing, published at [www.tualatinoregon.gov/meetings](http://www.tualatinoregon.gov/meetings). This meeting and any materials being considered can be made accessible upon request.

Written comments and questions can be submitted to: [kleonard@tualatin.gov](mailto:kleonard@tualatin.gov).

**Keith Leonard, AICP**

Associate Planner

City of Tualatin | Planning

503.691.3029 | [www.tualatinoregon.gov](http://www.tualatinoregon.gov)





# AFFIDAVIT OF MAILING

STATE OF OREGON)

) ss

COUNTY OF WASHINGTON)

I, Lindsey Hagerman being first duly sworn, depose and say:

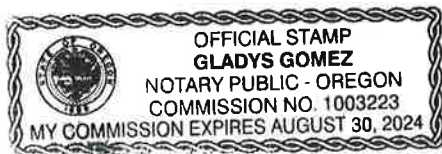
That on the 5 day of January, I served upon the persons shown on Exhibit A, attached hereto and by this reference incorporated herein, a copy of a Notice of Hearing/Application/Decision marked Exhibit B, attached hereto and by this reference incorporated herein, by mailing to them a true and correct copy of the original hereof. I further certify that the addresses reflect information received from the relevant party or agency, and that said envelopes were placed in the United States Mail at Tualatin, Oregon, prepared to receive postage administered by city staff.

Dated this 5 of, January 2023

Lindsey Hagerman  
Signature

SUBSCRIBED AND SWORN to before me this

5th day of January



Gladys Gomez  
Notary Public for Oregon

My commission expires: 8.30.24

RE: AR22-0008 NOTICE

| OWNER1   | OWNERADDR                    |
|--|------------------------------|
| 8292 MOHAWK LLC  | 8324 SW MAXINE LN UNIT #46   |
| 8482 MOHAWK LLC  | 18725 SW BOONES FERRY RD     |
| ADAMS ERIKKA   | 8300 SW MOHAWK ST            |
| ADAMS DONALD S & C DIANE LIV TRUST                       | 8565 SW AVERY ST             |
| ADOLPHSON CHRIS L & ADOLPHSON MARIA F                    | 21234 SW MARTINAZZI AVE      |
| ADR INVESTMENTS I LLC                                    | PO BOX 1567                  |
| AGUIRRE CHRISTIAN GODOY                                  | 20852 SW 84TH AVE            |
| AHREND MINDY L   | 8468 SW MOHAWK ST            |
| ALGER APRIL E  | 8182 SW SHENANDOAH WAY       |
| ALLEN PAUL M & ALLEN ALEXANDRA MANNING                   | 8533 SW SANTIAM DR           |
| AMINI MITRA  | 8342 SW MOHAWK ST            |
| AN IVETH ELIZHBA & GARFIAS MIRNA G MONTIEL               | 19790 SW BOONES FERRY RD     |
| ANDERSEN SCOTT & ANDERSEN JOCELYN                        | 7279 SW TENINO LN            |
| ANDREWS PATRICK & ANDREWS GAIL                           | 8295 SW AVERY ST             |
| ANTHONY WILMA  | 8494 SW MOHAWK               |
| APOTHECA PROPERTIES LLC                                  | 8685 SW SAGERT ST            |
| ARBUCKLE MATTHEW D & ARBUCKLE TAUNDRAS                   | 20916 SW 84TH AVE            |
| ARIZMENDI-VASQUEZ SIMON & PEREZ ESMERALDA FRIAS          | 8255 SW AVERY ST             |
| ASHIMINE ELLIOTT SEIJI & ASHIMINE CORINNE                | 8306 SW MOHAWK ST            |
| ATKINS CAROLYN M   | 7266 SW DELAWARE CIRCLE      |
| ATMORE BENJAMIN J & ATMORE KATHERINE M                   | 20820 SW 84TH AVE            |
| AVERY LONDON NEWTON                                      | PO BOX 1790                  |
| AVERY LONDON   | 8470 SW AVERY ST             |
| BAEZ MANUEL & BAEZ SUSANA G                              | 7380 SW DELAWARE CIR         |
| BAILEY SUSANNE J   | 8424 SW MOHAWK ST            |
| BAILEY KEVIN RYAN  | 7471 SW TENINO LN            |
| BALDUS ANN E   | 8478 SW MOHAWK ST            |
| BALDWIN JEREMIAH J                                       | PO BOX 3923                  |
| BALTAZAR RAQUEL BAILON & PALAFOX YERANIA & GALEANA MARIA | 8264 SW SEMINOLE TRL         |
| BARBOUR SARAH J  | 8326 SW MOHAWK ST            |
| BARKHOEFER DANIEL & BARKHOEFER KIRSTEN                   | 8490 SW CHELAN CT            |
| BARNS DAVID & BARNS MEGAN                                | 8328 SW MOHAWK ST            |
| BARRAGAN KAYLA B & SIMIANO MACEDONIO DEJESUS BARRAGAN    | 7306 SW DELAWARE CIR         |
| BARTLETT CHRISTOPHER MICHAEL & BARTLETT CARLI JAYNE      | 8385 SW IROQUOIS DR          |
| BASSETT JEFFREY E  | 8394 SW MOHAWK ST            |
| BATES DEBRA M  | 8350 SW MOHAWK ST            |
| BAUMAN MATTHEW WILLIAM                                   | 8256 SW SHENANDOAH WAY       |
| BAXTER KARA  | 8434 SW MOHAWK ST            |
| BAYERN LLC   | 61690 SUMMER SHADE DR        |
| BECKERS NICHOLAS ALAN                                    | 7456 SW DELAWARE CIR         |
| BECKER HENRY & BECKER CAROLYN                            | 8295 SW SHENANDOAH WAY       |
| BEENY LIVING TRUST                                       | 8710 SW COMANCHE WAY         |
| BEES DANIEL & BEES ROYALETTA                             | 8502 SW MOHAWK ST            |
| BEHREND SYDNEY ELIZABETH YOUNGBLOOD & CHRISTENSEN W/     | 20939 SW MARTINAZZI AVE      |
| BEIKMAN STEPHEN RAY                                      | 22760 SW 87TH AVE            |
| BENGSTON JOANNE  | 8192 SW SHENANDOAH WAY       |
| BENNETT LEANN RENE' REV LIV TRUST                        | 16840 SW PARRETT MOUNTAIN RD |
| BERRY KATHIE A   | 8390 SW MOHAWK ST            |
| BETTENCOURT LAWRENCE J                                   | 8185 SW SEMINOLE TRL         |
| BILDSTEIN TIMOTHY D                                      | 7247 SW TENINO LN            |
| BISON DAVID P  | 8366 SW MOHAWK ST            |
| BLACKMER GARY & MARIA L JOINT REV TRUST                  | 5100 SW GREENWOOD CIR        |
| BLANEY PATRICK E   | 20692 SW 84TH AVE            |
| BLUMENTHAL CHRISTOPHER E & BYRON-BLUMENTHAL LORRAINE C   | 160 MCKENZIE CREEK RD        |
| BOECHLER ROBIN J & BOECHLER ROSANNE                      | 8485 SW NESTUCCA CT          |
| BOGER DORENE R & VASQUEZ KEN                             | 8422 SW CHELAN CT            |
| BOOK HERBERT & BOOK PATRICIA                             | 10440 SW SUSQUEHANNA DR      |
| BOOKER CHEN SUSAN  | 7468 SW DELAWARE CIR         |
| BOWES JOSHUA   | 8680 SW COMANCHE WAY         |
| BOYCE TAMMY C REV LIV TRUST                              | 7201 SW TENINO LN            |
| BRABHAM STACY R & BRABHAM WAYNE S                        | 20846 SW MARTINAZZI AVE      |



|   |                         |
|---|-------------------------|
| BRANDON DIANE J                                       | 8324 SW SHENANDOAH WAY  |
| BRASK KAREN M   | 20212 SW 86TH AVE       |
| BRENNER MARK A  | 8188 SW SHENANDOAH WAY  |
| BRITT PAUL R & BRITT CARLEANA O                       | 8441 SW CHELAN CT       |
| BROOKS TRAVIS H & BROOKS KRISTI J                     | 20847 SW 84TH AVE       |
| BRUDVIG CONNIE N                                      | 8425 SW SEMINOLE TRAIL  |
| BRYANT SIMON C & HONEYMAN ADELE K                     | 8430 SW SEMINOLE TRL    |
| BUCHANAN AARON & BUCHANAN KAYLIE                      | 20726 SW MARTINAZZI AVE |
| BULLARD MARK & BULLARD SALLY                          | 21137 SW MARTINAZZI AVE |
| BUTCHER BOYD  | 8284 SW MOHAWK ST       |
| BUTLER KAREN L  | 20168 SW TILLAMOOK CT   |
| BUTLER IAN O & BUTLER ANGELICA L                      | 8660 SW COMANCHE WAY    |
| BYRD ANTHONY  | 20603 SW MARTINAZZI AVE |
| BYRON STUART  | 15650 SW 133RD AVE      |
| CADY BRIAN LEE & CADY KATHLEEN                        | 20366 SW TENINO CT      |
| CALLAHAN MICHAEL G & CALLAHAN CYNTHIA L               | 8107 SW AVERY ST        |
| CAMACHO FRITZ J PASSI                                 | 7392 SW DELAWARE CIR    |
| CANEDO JOSEPH & CANEDO L SUSAN                        | 8465 SW UMATILLA ST     |
| CAPUTO-BLAGGE DIANNE E TRUST                          | 7404 SW DELAWARE CIR    |
| CARBAJAL MICHELE C & MERCADO BOGAR E CARBAJAL         | 20989 SW 84TH AVE       |
| CARLTON-FRANCO CHRISTOPHER J                          | 20136 SW 85TH CT        |
| CARON WANDA & CARON KENNETH                           | 20863 SW 84TH AVE       |
| CARR JANET STEIGER                                    | 8270 SW MOHAWK ST       |
| CATHERWOOD ARTHUR FRANKLYN & MERCEDES ANN REV TRUST   | 21265 S MAKAH ST        |
| CERES PLAZA LLC & HERITAGE PLAZA-LMR LLC              | PO BOX 513              |
| CHAN FAMILY TRUST                                     | 19030 SW CHESAPEAKE DR  |
| CHAO ANDY   | 678 GEMSTONE DR         |
| CHENG BETTY KWOK FONG                                 | 7224 SW DELAWARE CIR    |
| CHONG CHRIS & CHONG KIRSTEN                           | 5870 SW WICHITA ST      |
| CHONG CHRIS & CHONG KIRSTEN                           | 5870 SW WICHITA ST      |
| CHRISTOPHER PATRICIA N & CHRISTOPHER L DENNIS         | 20170 SW 86TH AVE       |
| CHUMAK NATALIYA                                       | 20695 SW 84TH AVE       |
| CIRA FAMILY TRUST                                     | 2823 SAN ARDO           |
| CIRA FAMILY TRUST                                     | 2823 SAN ARDO           |
| CLARK SARAH LIV TRUST                                 | 2706 GILBERT ST S       |
| COLE SAMUEL J & MARY GAYLE FURLOW-COLE LIV TRUST      | 20126 SW TENINO CT      |
| COLLINSWORTH KATHERINE IRENE & COLLINSWORTH MATTHEW J | 21109 SW MARTINAZZI AVE |
| CONNELL MICHAEL F & DEBRA A TRUST                     | 20884 SW 84TH AVE       |
| COOK KENNETH & COOK LETA M                            | 8131 SW AVERY ST        |
| COOKE GLENNA A  | 8378 SW MOHAWK ST       |
| COPE ERIN M & COPE BARBARA J                          | 20788 SW 84TH AVE       |
| COPSEY KATHIE ANN                                     | 20373 SW 72ND AVE       |
| COREY RUSSELL & COREY FRANCESCA                       | 8510 SW SAGERT ST       |
| CORREIA KELLY   | 8475 SW HURON CT        |
| CR ALDEN COMMUNITIES LLC                              | 10345 W OLYMPIC BLVD    |
| CRISMON RACHEL  | 8504 SW MOHAWK ST       |
| CROWELL MARGARITA                                     | 7237 SW DELAWARE CIR    |
| CUELLO DAMIEN C JR                                    | 8508 SW MOHAWK ST       |
| CURRY SCOTT G & BECKER TAUSHA A                       | 448 TENNEY DR           |
| DALLAL CLAIRE Y                                       | 8340 SW MOHAWK ST       |
| DALTON SHARON LYNN TR                                 | 8466 SW MOHAWK ST       |
| DANIELS MARK L  | 21180 SW MARTINAZZI AVE |
| DARLING STACY   | 8248 SW SHENANDOAH WAY  |
| DAVEY JOSEPH & HOWE SOPHIA N                          | 8300 SW CHELAN ST       |
| DAVIDSON FRANCES M                                    | 8270 SW SHENANDOAH WAY  |
| DAVIDSON SHANNON P & DAVIDSON JONATHAN G              | 8285 SW CHELAN ST       |
| DAVIS ROBERT M & DAVIS BARBARA K                      | 18264 HOLLY LN          |
| DAVIS WESLEY L & DAVIS JOYCE F                        | 20579 SW MARTINAZZI AVE |
| DAVIS WILLIAM B                                       | 21150 SW IROQUOIS DR    |
| DAY WILLIAM R   | 7488 SW DELAWARE CIR    |
| DELANEY JAMES W & CRESTA-DELANEY KIMBERLY MARIE       | 8325 SW AVERY ST        |
| DENOVA YOANDA CELINA GUTIERREZ                        | 8232 SW SHENANDOAH WAY  |



|  |   |
|--|---|
| DESSAUER SUZANNA COLVIN & DESSAUER RICHARD KENNETH<br>DEVULT MOIRA | 8143 SW SHENANDOAH WAY<br>20821 SW 84TH AVE |
| DEXTER ROBERT W & DEXTER CATHERINE M                               | 20055 SW TILLAMOOK CT                       |
| DICKERSON HARRY L & DICKERSON DIANA R                              | 7365 SW DELAWARE CIR                        |
| DIGGS ROSA   | 20317 SW TENINO CT                          |
| DIGIOVANNA KENNETH J   | 8448 SW CHELAN CT                           |
| DIGREGORIO RICHARD C   | 7007 SW 7TH AVE                             |
| DISSMORE CHARLOTTE   | 7335 SW DELAWARE CIR                        |
| DIVINE GERALD & DIVINE PATRICIA                                    | 20771 SW MARTINAZZI AVE                     |
| DOBBINS 1998 FAMILY TRUST  | 8418 SW MOHAWK ST                           |
| DONALDSON AMY L  | 4165 IMPERIAL DR                            |
| DORAN YVONNE REV LIV TRUST   | 4856 SW WEMBLEY PL                          |
| DORAN YVONNE REV LIV TRUST   | 8390 SW SHENANDOAH WAY                      |
| DOUGLASS ERIC A  | 20076 SW 72ND AVE                           |
| DOYLE TREVOR & DOYLE ELIZABETH                                     | 4641 FIRTREE LN                             |
| DRUSE STEPHEN E & DRUSE ANNA BAIOTTO                               | 20101 SW TENINO CT                          |
| DULCE-ANGELO ARLENE C & ANGELO CHRISTOPHER J                       | 8402 SW SANTIAM DR                          |
| DULL DAVID & DULL JORDAN   | 8239 CAHMPOEG RD NE                         |
| DUMMER BRIAN G & DUMMER MICHELLE M                                 | 21246 SW IROQUOIS DR                        |
| DUNCAN COLLEEN & DUNCAN IAN ROBERT MICHAEL                         | 8490 SW NESTUCCA CT                         |
| DUNIGAN SHAWN P & DUNIGAN CHRISTINE A                              | 20624 SW MARTINAZZI AVE                     |
| DUNNING ROWAN KATHERINE WALKER                                     | 8296 SW MOHAWK ST                           |
| DUSEK RONALD E   | 2875 MARYLHURST DR                          |
| DVORAK DALE R  | 8705 SW SEMINOLE TRL                        |
| DWIGHT JOSEPH D & DWIGHT PAULA SUE                                 | 7190 SW DELAWARE ST                         |
| ECONE WADE & ECONE LINDSAY   | 8465 SW CHELAN CT                           |
| EDISON LINDAY NOELLE & EDISON CHRISTOPHER MARTIN                   | 20969 SW 84TH AVE                           |
| EISERT CLARK L & EISERT STEPHANIE                                  | 10685 SW CLAY                               |
| EISERT STEPHANIE   | 10685 SW CLAY ST                            |
| ELLIOTT RAYMOND  | 8458 SW MOHAWK ST                           |
| ELLIOT RACHEL R  | 8212 SW SHENANDOAH WAY                      |
| ESQUIVEL GUADALUPE PENA & MIRANDA ANDRES SALCEDO                   | 8300 SW SEMINOLE TRL                        |
| FABRYCKI HAL   | 16543 S HARDING RD                          |
| FAGERQUIST AMBRE   | 8470 SW MOHAWK ST                           |
| FAIRCHILD DENA   | 8500 SW MOHAWK ST                           |
| FANTA CAROL C  | 8406 SW MOHAWK ST                           |
| FARNSWORTH STEVEN L & FARNSWORTH BEVERLY J                         | 20015 SW TILLAMOOK CT                       |
| FASTENAU NATHAN & FASTENAU JORDAN                                  | 20724 SW 84TH AVE                           |
| FECHNER ROBERT J   | 8438 SW MOHAWK ST                           |
| FEHLMAN STEVEN D & FEHLMAN MELISSA J                               | 8358 SW MOHAWK ST                           |
| FIDURA MATTHEW F & FIDURA TRACI S                                  | 7281 SW DELAWARE CIR                        |
| FINDTNER ROBERT & FINDTNER LEAH                                    | 8705 SW AVERY ST                            |
| FISHER ROBIN L & LINDA L TRUST                                     | 8147 SW SHENANDOAH WAY                      |
| FLANNERY FAMILY TRUST  | 8314 SW MOHAWK ST                           |
| FLESKES MATTHEW & FLESKES MOLLY M                                  | 7360 SW TENINO LN                           |
| FODGE JEANINE  | 8228 SW SHENANDOAH WAY                      |
| FOLEY KERRY  | 8640 SW SEMINOLE TRL                        |
| FOX WILLIAM N & SANDRA P FOX TRUST                                 | 8476 SW IROQUOIS DR                         |
| FRANKS JONNIE A JR   | 8402 SW MOHAWK ST                           |
| FRANK REVOCABLE TRUST  | 8233 SW SEMINOLE TR                         |
| FREITAS KATHERINE L LIV TRUST                                      | 8260 SW SHENANDOAH WAY                      |
| FRICK PROPERTIES INVESTMENTS LLC                                   | 200 GRANADA DR                              |
| FROHBERG DALE Q  | 20621 SW MARTINAZZI AVE                     |
| FUCHS NADINE K   | 34580 NE WILSONVILLE RD                     |
| FUENTES ROLANDO FERRER & FERRER LUCRECIA MARTINEZ                  | 7305 SW DELAWARE CIR                        |
| FULTZ ANDRIA T   | 20300 SW 72ND AVE                           |
| FURTNEY JOSEPH C   | 8446 SW MOHAWK ST                           |
| GALLAGHER RONALD A & GALLAGHER KATIE L                             | 8412 SW MOHAWK ST                           |
| GALLETTA TRACY   | 20269 SW TENINO CT                          |
| GAMBEE ERICA   | 7434 SW DELAWARE CIR                        |
| GANNON JONATHAN M & GANNON JENNIFER A                              | 20705 SW MARTINAZZI AVE                     |
| GARNER SYLVIA E  | 8380 SW MOHAWK ST                           |





|   |                            |
|---|----------------------------|
| GAVIC SCOT R & GAVIC CAROL                  | 8500 SW MODOC CT           |
| GEARHART JASON D                            | 8316 SW SHENANDOAH WAY     |
| GEER VINCENT LYNN                           | 8385 SW AVERY ST           |
| GIBSON KAREN                                | 7426 SW DELAWARE CIR       |
| GIRARDI WESLEY THOMAS & GIRARDI MARGARET    | 20230 SW TILLAMOOK CT      |
| GLASS SARAH P                               | 20532 SW 84TH CT           |
| GODARD JIMMY J & GODARD STA'CEE A           | 16745 SW STELLAR DR        |
| GOFF SEAN J & GOFF HEATHER D                | 7345 SW DELAWARE CIR       |
| GOLDSBY KATHLEEN M                          | 8487 SW CHELAN CT          |
| GOLDSBY GARY L & GOLDSBY KATHLEEN M         | 8487 SW CHELAN CT          |
| GOLIKOV BRIE J                              | 8415 SW AVERY ST           |
| GOLPHENEE RONALD B & GOLPHENEE CAROL D      | 20052 SW 72ND AVE          |
| GORDON JEREMIAH D & GORDON AMBER R          | 14510 SW CHESTERFIELD LN   |
| GOTCHA COVERED RENTALS LLC                  | 476 SW BROOKWOOD AVE       |
| GOTLIB CYNTHIA L                            | 21313 SW MAKAH ST          |
| GRANDJEAN BRANDO & GRANDJEAN LINDA          | 20776 SW MARTINAZZI AVE    |
| GRANT NORMAN R & GRANT LORETTA              | 21183 SW MARTINAZZI AVE    |
| GREEN CYNTHIA B                             | 8690 SW COMANCHE WAY       |
| GRUEN MARY M                                | 8426 SW MOHAWK ST          |
| GRUEN HARDY & GRUEN INGE                    | 4914 E QUIEN SABE WAY      |
| GUDEKUNST ELAINE                            | 8514 SW MOHAWK ST          |
| GUPTA SAMIR                                 | 104 SOUTH ASPEN CT         |
| GUTIERREZ DAVID & GUTIERREZ NORMA           | 8360 SW MOHAWK ST          |
| H E PROPERTIES INC                          | 4800 SW MEADOWS RD STE 300 |
| HAAG CONNIE G                               | 8119 SW AVERY ST           |
| HALBERG SADIE M & HALBERG NICHOLAS R        | 8645 SW AVERY ST           |
| HALL JOSHUA A & HALL CASSANDRA R            | 5223 NE 47TH AVE           |
| HALL JONATHAN A & HALL KATIE M              | 8625 SW SEMINOLE TRAIL     |
| HALME TIMOTHY                               | 7229 SW DELAWARE CIR       |
| HAMILTON MARY A                             | 8484 SW MOHAWK ST          |
| HANNA RAHWA                                 | 7456 SW TENINO LN          |
| HANVICHID SAM & HANVICHID TRACY             | 20795 SW MARTINAZZI AVE    |
| HARLEY CHRISTOPHER I & HARLEY TEENA         | 20679 SW MARTINAZZI AVE    |
| HARNSBERGER DAVID & HARNSBERGER ARIN K      | 20922 SW WINEMA CT         |
| HARROW JAMES C & HARROW LINDA J             | 20002 SW 86TH ST           |
| HASKIN KEVIN A & HASKIN EMMA K              | 8485 SW SEMINOLE TRL       |
| HASTIN MICHAEL CRAIG & HASTIN PATRICIA ANNE | 20124 SW TILLAMOOK CT      |
| HAVEN HOMES II LLC                          | 12424 SE WINTER CREEK CT   |
| HAVILAND CAROLYN                            | 20750 SW MARTINAZZI AVE    |
| HAZELETT NARY & HAZELETT STEVEN             | 20376 SW 72ND AVE          |
| HEATH LORI L                                | 8410 SW MOHAWK ST          |
| HEBERT GERALD & HEBERT HUNG CHEN            | 21885 NE ALTON ST          |
| HEGEDUS ZOLTAN & HEGEDUS ENIKO              | 21333 SW MAKAH ST          |
| HELZER KIRK D & HELZER KRISTI L             | 7407 SW TENINO LN          |
| HENRY MICHAEL H & HENRY DEBORAH A           | 7223 SW TENINO LN          |
| HENSON WENDY J                              | 20276 72ND AVE             |
| HERKOMER TAMMI                              | 8474 SW MOHAWK ST          |
| HERNANDEZ BERNARDO DELACRUZ                 | 8246 SW SEMINOLE TRL       |
| HINKLE MELISSA & HINKLE ANDREW              | 8492 SW UMATILLA ST        |
| HODSON DAVID M                              | 20564 SW 84TH CT           |
| HOLTGRAVES VICTORIA C                       | 8503 SW SANTIAM DR         |
| HOPKINS DANIEL E & HOPKINS EMELYN C         | 7355 SW DELAWARE CIR       |
| HORIZON COMMUNITY CHURCH                    | PO BOX 2690                |
| HORN MARTHA JENEANE                         | 8400 SW MOHAWK ST          |
| HOTCHKISS DEREK M & HOTCHKISS CANDICE D     | 8452 SW IROQUOIS DR        |
| HOUSTON BRENDA L                            | 20532 SW 84TH CT           |
| HUANG CHEN & KAN-HUANG LYNDAL               | 8490 SW SEMINOLE TRL       |
| HUETHER TANYA LEILANI & HUETHER JERRY DEAN  | 2305 W I20 STE 140 #172    |
| HUEY DAVID G & CARLA S HUDSON REV TRUST     | 10 GOODRICH TRL            |
| HUFFMAN RUSSELL T & MOORE REBECCA A         | 7205 SW DELAWARE CIR       |
| HUNT JAYSON & HUNT AMBER                    | 8355 SW SEMINOLE TRL       |
| HUTCHINS CALVIN & LARAYNE REV LIV TRUST     | 17547 N SOMERSET DR        |



|   |                           |
|---|---------------------------|
| HYLANDS SHELLI D                                | 7327 SW DELAWARE CIR      |
| IMBACH TERRI A                                  | 8420 SW UMATILLA ST       |
| INGMAN SCOTT M                                  | 8364 SW MOHAWK ST         |
| INKENS BEVERLY M REV LIV TRUST                  | 8545 SW MODOC CT          |
| ISHAM DIANE A                                   | 21265 SW IROQUOIS DR      |
| IWASAKI RANDOLPH I                              | 3468 ALA HAUKULU          |
| JACKSON KRYSTAL L                               | 8392 SW MOHAWK ST         |
| JACOBSEN AMY BETH                               | 8265 SW SEMINOLE TRL      |
| JAMES TYLER & JAMES KELSEY                      | 21711 SW MARTINAZZI AVE   |
| JANSEN JOSEPH JAMES & BOWMAN ELISE DAWN         | 8395 SW SEMINOLE TRL      |
| JANSEN MATTHEW I & JANSEN ELIZABETH A           | 8325 SW SEMINOLE TRL      |
| JENISON KATIE                                   | 20350 SW 86TH AVE         |
| JENKINS MICHAEL T & JENKINS TRACY L             | 8466 SW CHELAN CT         |
| JOHNSON SCOTT GLENN & JOHNSON SHELLEY L         | 8520 SW MOHAWK ST         |
| JOHNSON JAMIE A & DRAKE DAVID A                 | 8408 SW MOHAWK ST         |
| JOHNSON BRANDON D & JOHNSON GRETCHEN S          | 7439 SW TENINO LN         |
| JOHNSON MICHAEL                                 | 8325 SW SHENANDOAH WAY    |
| JONES KAREN J REV TRUST                         | 8680 SW SEMINOLE TRL      |
| JUDD STEVEN W & MALONEY KATHERINE E             | 8138 SW SEMINOLE TRL      |
| KABLI MOHAMED & KABLI HEATHER ANN               | 7293 SW DELAWARE CIR      |
| KARAPONDO KATHLEEN ANN                          | 7328 SW TENINO LN         |
| KAUFFMAN SHAWNA DAY                             | 8268 SW MOHAWK ST         |
| KEARNEY RONALD R & KEARNEY CAROLE J             | 7414 SW DELAWARE CIR      |
| KEEN ANNETTE M                                  | 11970 SW HAZELWOOD LOOP   |
| KERN ROBERT G & KERN BARBARA L                  | 4218 NE 41ST AVE          |
| KHAN SHAD                                       | 20292 SW TENINO CT        |
| KINDER JAMES W & PEDROJA TERRI J                | 20211 SW 85TH CT          |
| KING SHERRI D                                   | 20551 SW MARTINAZZI AVE   |
| KIRKPATRICK ELIZABETH C                         | 8165 SW SHENANDOAH WAY    |
| KISER DAVID R & KISER MARCEY A                  | 20044 SW 86TH AVE         |
| KITCH TIMOTHY B & KITCH SUZANN P LIVING TRUST   | 8350 SW SEMINOLE TRL      |
| KLUPENGER MORGAN WATKINS                        | 8298 SW MOHAWK ST         |
| KNAPP LORI A & KNAPP JAMES D                    | 20947 SW 84TH AVE         |
| KNOLL DOREEN LIVING TRUST                       | 8347 SW AVERY ST          |
| KOBA DENNIS                                     | 7367 SW DELAWARE CIR      |
| KOCHHEIM COURTNEY                               | 8214 SW SHENANDOAH WAY    |
| KOHLER GRANT & KOHLER SHELBY                    | 8477 SW NESTUCCA CT       |
| KOLB MICHAEL E & KOLB LAURA B                   | 8552 SW SANTIAM DR        |
| KORNBERG ERIC DALE & KORNBERG DEBRA PERKO       | 8499 SW HURON CT          |
| KOTILA CHERYL A                                 | 8125 SW SHENANDOAH WAY    |
| KOVACH BRIAN                                    | 21044 SW 84TH AVE         |
| KOYFMAN GENRIKH & KOYFMAN LYUBOV & KOYFMAN IGOR | 8220 SW SHENANDOAH WAY    |
| KRAUSE DERALD E                                 | 8452 SW MOHAWK ST         |
| KRONSER FAMILY TRUST                            | 20602 SW COLVILLE CT      |
| KRUSINSKI JANICE L                              | 8444 SW MOHAWK ST         |
| KURTTI REBECCA                                  | 8360 SW SHENANDOAH WAY    |
| LANDAU AUSTIN JENS                              | 21762 SW MOUNTAIN HOME RD |
| LANE ADAM THOMAS                                | 20817 SW MARTINAZZI AVE   |
| LARSEN MARIO K & LARSEN REBECCA L               | 19738 SW BOONES FERRY RD  |
| LARSEN DWAYNE L & LARSEN KAREN G ESTATE OF      | 19770 SW BOONES FERRY RD  |
| LARSON ROBERT F & LARSON ASHLEY N               | 14919 NE LAWNVIEW CIR     |
| LATSHAW DEBBIE M                                | 8660 SW SEMINOLE TRL      |
| LAZAR GABRIEL                                   | 1481 NW 13TH AVE APT 732  |
| LEBOEUF PATRICK & LEBOEUF COURTNEY              | 8410 SW SEMINOLE TRL      |
| LEE ELSA MARIA                                  | 7424 SW TENINO LN         |
| LEIGH ASHLEY & LEIGH PETER                      | 8555 SW SEMINOLE TRAIL    |
| LEMME RONALD                                    | 8245 SW SEMINOLE TRL      |
| LEMON KIRK D                                    | 8365 SW SHENANDOAH WAY    |
| LEQUIN MICHELLE                                 | 8336 SW SHENANDOAH WAY    |
| LEWIS SANDRA                                    | 1532 SUNLIGHT DR          |
| LI TUNG LUNG                                    | 20737 SW MARTINAZZI AVE   |
| LIBERTY HILL LLC                                | 6941 SW 148TH CT          |



LIPMAN THOMAS HAWLEY & LIPMAN HILARY JANE  
 LIPTAU KURT IVAN EDWARD & LIPTAU CYNTHIA JOANN  
 LLOYD HOLLY  
 LOCKHART JANET L  
 LORENZO ELDER ALCOGER  
 LOUIS JR REV LIV TRUST  
 LUCAS JAMES VANCE EDWARD & LUCAS NANJI G  
 LUCE JANINE R & LUCE KERRY  
 LYONS ANDREW J & JENNY F REV LIV TRUST  
 MADLEM MEAGAN K  
 MALDONADO EMILY K & MALDONADO JONATHAN S  
 MALONEY SAUNDRA E  
 MALOS NORINE E  
 MANN KEITH D & MANN MARIANNE R  
 MAR MAR PROPERTIES LLC  
 MARSDEN DARREN B  
 MARSH JASON & MARSH TAWNYA  
 MARSH CHRISTOPHER L REV TRUST  
 MARSH CHRISTOPHER L REV TRUST  
 MARTINSON ALAN & MARTINSON MARY  
 MARTINSON MELANIE A  
 MARTINAZZI VILLAGE 95 LLC  
 MASSAAD JOINT REV TRUST  
 MAY TIMOTHY M  
 MCCAUSLAND MAUREEN E  
 MCCLANAHAN MATTHEW E  
 MCCORMICK MICHAEL C & REIMANN MARILYN  
 MCDUFFEE JAMES F  
 MCGEORGE JO ANN REV TRUST  
 MCGRAW KATHLEEN M  
 MCHUGH TIMOTHY  
 MCKENZIE SHAWN G & MCKENZIE KELSIE H  
 MCKILLIP MICHAEL LEE & MCKILLIP HEATHER H  
 MCMAHAN MARY L  
 MCSWAIN DAVID CORNELL II  
 MEHARRY DEE ANN & MEHARRY JOHN M  
 MELHEM SAMER M  
 MELLAND MICHELE M  
 MELLINGER MATTHEW & MELLINGER HEATHER  
 MERCADO GUILLERMINA  
 MERKLIN DANIEL J & MERKLIN KELLY J  
 MERRIMAN KEVIN LEE  
 METHODIST CHURCH OF TUALATIN  
 MICHAELS JOSEPH & MICHAELS ALENE  
 MIESSAU MARCHELL M & MIESSAU LENNY L  
 MILLER DAVID JOHN  
 MILLER SANDRA K & HOLT TROY M  
 MILLER JEREMY WAYNE & MILLER ROBIN RENEE  
 MILLS SANDRA M  
 MILLS JORDAN & MILLS BRIAN  
 MITSVOTAI MELANIE E  
 MOHAWK ST PROPERTY LLC  
 MOHAWK ST PROPERTY LLC  
 MOHAWK ST PROPERTY LLC  
 MOHAWK ST PROPERTY LLC  
 MOMARLS LLC  
 MOORE RONALD D & MOORE CHRIS M  
 MORALES DANNY M & CURTIS JONATHAN R  
 MORGAN MICHAEL  
 MORGAN JAY C & MORGAN AIKO  
 MORTON REAL ESTATE LLC  
 MOSES PAISLEY & LEAF JARED  
 8505 SW AVERY ST  
 8340 SW SHENANDOAH WAY  
 20062 SW TILLAMOOK CT  
 8386 SW MOHAWK ST  
 8151 SW SHENANDOAH WAY  
 8129 SW SHENANDOAH WAY  
 20086 SW 86TH AVE  
 20244 SW TENINO CT  
 8331 SW AVERY ST  
 20578 SW COLVILLE CT  
 20154 SW TILLAMOOK CT  
 26951 S BOLLAND RD  
 8348 SW MOHAWK ST  
 8311 SW CHELAN ST  
 9839 SW SIUSLAW LN  
 8064 SW WOODY END ST  
 20653 SW 84TH AVE  
 17367 LAKE HAVEN DR  
 17367 LAKE HAVEN DR  
 8320 SW SHENANDOAH WAY  
 8355 SW SHENANDOAH WAY  
 9500 SW BARBUR BLVD STE 300  
 8275 SW AVERY ST  
 8345 SW SEMINOLE TRL  
 8266 SW MOHAWK ST  
 8518 SW MOHAWK ST  
 8630 SW COMANCHE WAY  
 8344 SW SHENANDOAH WAY  
 8436 SW MOHAWK ST  
 8280 SW SHENANDOAH WAY  
 8430 SW AVERY ST  
 8498 SW SANTIAM DR  
 20708 SW MARTINAZZI AVE  
 8451 SW NESTUCCA CT  
 8472 SW MOHAWK ST  
 PO BOX 2862  
 21521 SW 91ST AVE  
 19165 SW 51ST AVE  
 8488 SW IROQUOIS DR  
 8376 SW MOHAWK ST  
 21268 SW IROQUOIS DR  
 8346 SW MOHAWK ST  
 20200 SW MARTINAZZI AVE  
 7448 SW DELAWARE CIR  
 8120 SW SEMINOLE TRL  
 4849 WAYLON ST  
 8460 SW MOHAWK ST  
 20400 SW 72ND AVE  
 8414 SW MOHAWK ST  
 8278 SW CHELAN ST  
 8490 SW MOHAWK ST  
 2121 ROSECRANS AVE STE 4325  
 2121 ROSECRANS AVE STE 4325  
 2121 ROSECRANS AVE STE 4325  
 2121 ROSECRANS AVE STE 4325  
 8525 SW 165TH AVE  
 PO BOX 730  
 20995 SW MARTINAZZI AVE  
 8462 SW MOHAWK ST  
 8264 SW MOHAWK ST  
 PO BOX 733  
 8435 SW UMATILLA ST

|             |    |       |
|-------------|----|-------|
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| CANBY       | OR | 97013 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| PORTLAND    | OR | 97224 |
| TUALATIN    | OR | 97062 |
| LAKE OSWEGO | OR | 97035 |
| LAKE OSWEGO | OR | 97035 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| PORTLAND    | OR | 97219 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| HILLSBORO   | OR | 97123 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| EAU CLAIRE  | WI | 54703 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| EL SEGUNDO  | CA | 90245 |
| EL SEGUNDO  | CA | 90245 |
| EL SEGUNDO  | CA | 90245 |
| EL SEGUNDO  | CA | 90245 |
| BEAVERTON   | OR | 97007 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| TUALATIN    | OR | 97062 |
| BEAVERTON   | OR | 97075 |
| TUALATIN    | OR | 97062 |

|  |                                  |
|--|----------------------------------|
| MOTA MIGUEL JAQUIZ   | 8512 SW MOHAWK ST                |
| MREEN JAMES R & AVIS M REV TRUST                           | 32590 SW ARBOR LAKE DR           |
| MUILENBURG SCOTT E & MUILENBURG MARILYN                    | 1619 SE 176TH AVE                |
| MURPHY BYRON K & WIKSTROM SAMANTHA A                       | 601 QUAIL DR                     |
| MURPHY JOYCE I   | 8290 SW SHENANDOAH WAY           |
| MURPHEY WILLIAM H & MURPHEY EDWINA D                       | 8700 SW SEMINOLE TRL             |
| NAN-BELIGRAD MARIANA                                       | 8464 SW MOHAWK ST                |
| NASH LARKIN & NASH ARMISTEAD & WILLIS ELIZABETH D          | 8488 SW HURON CT                 |
| NAUGLE CHAD & JANA NAUGLE-WONG LIV TRUST                   | 8625 SW COMANCHE WAY             |
| NERSKI JOHN L & NERSKI PATRICIA D                          | 8320 SW CHELAN ST                |
| NEWBERRY STEPHEN B & NEWBERRY DEBRA L                      | 21224 SW IROQUOIS DR             |
| NICHOLSON DEBRA M  | 8208 SW SHENANDOAH WAY           |
| NIELSON CRYSTAL DAWN                                       | 8492 SW MOHAWK ST                |
| NIELSON DARCY  | 8352 SW MOHAWK ST                |
| NOEL CAROL MARIE   | 8416 SW IROQUOIS DR              |
| NORLIN FAMILY TRUST  | 7768 SW RED HAWK CT              |
| NOTTINGHAM RAYMOND H & NOTTINGHAM MARDI D                  | 8440 SW MOHAWK ST                |
| OJEDA ANA IRIS URIOSTEGUI & CASARRUBIAS LUIS ALBERTO RADII | 8235 SW AVERY ST                 |
| OLGUIN JUAN CARLOS & OLGUIN YAZMIN                         | 20012 SW TILLAMOOK CT            |
| OLMEDO JORGE E & MARIA A F LIV TRUST                       | 20753 SW MARTINAZZI AVE          |
| OLSHOVE ALEX E & OLSHOVE KELLY A                           | 8476 SW HURON CT                 |
| OREGON DEPT OF TRANSPORTATION                              | 4040 FAIRVIEW INDUSTRIAL DR SE M |
| ORSBURN ANITA  | 8524 SW MOHAWK ST                |
| ORSBURN ANITA J & GARRIETY SUSAN J                         | 8388 SW MOHAWK ST                |
| OSBORNE JUDITH E   | 8428 SW MOHAWK ST                |
| OSBORNE NOELLE   | 8480 SW MOHAWK ST                |
| OSLER DAVID & OSLER DEBRA D                                | 8164 SW SHENANDOAH WAY           |
| OSMOSYS LLC  | 7415 SW 37TH AVE                 |
| OSTRANDER JANNA K TRUST & COFFEY VICKI L TRUST             | 8295 SW SEMINOLE TRL             |
| OTIS JULIE ROSE  | 20036 SW TILLAMOOK CT            |
| OUSTERHOUT SALLY M & OUSTERHOUT GERALD C                   | 5167 METOLIUS AVE SE             |
| PALMER-DUPRAU TABITHA & DUPRAU JEFFREY                     | 8335 SW SEMINOLE TRAIL           |
| PALUMBIS JASON N TRUST & KARAMBELAS GEORGE & KARAMBELA     | 19745 SW 49TH AVE                |
| PARSONS FAMILY REV TRUST                                   | 20167 SW 85TH CT                 |
| PARSONS SUSAN J  | 8300 SW SHENANDOAH WAY           |
| PATEL REV TRUST  | 28916 LA CARRETERA               |
| PATTON CHARLES S & PATTON JENNIFER R                       | PO BOX 1632                      |
| PAUL IRENE E   | 8328 SW SHENANDOAH WAY           |
| PAULINO JORDAN N & PAULINO DANA R                          | 21012 SW 84TH AVE                |
| PAULY JONI C & PAULY EDWARD G                              | 21207 SW IROQUOIS DR             |
| PAYNE JEFFERY LEE  | 8670 SW COMANCHE WAY             |
| PERKINS SHELLY KAY & LANGE VERA MAXINE                     | 23662 STAFFORD HILL DR           |
| PERKINS EDWARD G TRUST                                     | 8224 SW SHENANDOAH WAY           |
| PERRY SCOTT B & PERRY CHARISSA J                           | 8245 SW AVERY ST                 |
| PETERSON MARTHA K  | 8302 SW MOHAWK ST                |
| PETERSEN JOSHUA A & PETERSEN REBECCA A                     | 20084 SW TILLAMOOK CT            |
| PETERSON KATHY J   | 8137 SW SHENANDOAH WAY           |
| PETERSON BARBARA   | 8196 SW SHENANDOAH WAY           |
| PHILLIPS CRAIG J   | 12801 NW 40TH AVE                |
| PHUONG THAO & PHUONG KHANG                                 | 21216 SW MARTINAZZI AVE          |
| PLAGGMIER JOHN R JR TRUST                                  | 19740 SW BOONES FERRY RD         |
| POOLE KIMBELRY K   | 8442 SW MOHAWK ST                |
| PORTLAND GENERAL ELECTRIC CO                               | 121 SW SALMON ST                 |
| POTTS DALE GREGORY & MARIANNE REV LIV TRUST                | 20390 SW 86TH AVE                |
| PRECI JOSEPH H & PRECI CONNIE E                            | 21274 SW MAKAH ST                |
| PRESLEY TIMOTHY RYAN & PRESLEY TEMARA ELIZABETH            | 10335 SW HOODVIEW DR             |
| PRESLEY TIM R & PRESLEY TEMARA E                           | 10335 SW HOODVIEW DR             |
| PRESTON WILLIAM M & WOOD CLINTON A                         | 20300 SW NANCY LN                |
| PRICE SHIRLEY M & PRICE ROGER D                            | 20148 SW TENINO CT               |
| PRICE MOIRA & WILSON WILLIAM E & LYNDA T                   | 20196 SW TENINO CT               |
| PRICE NOLAN  | 20834 SW MARTINAZZI AVE          |
| PRIES FAMILY TRUST   | 8535 SW AVERY ST                 |



|               |    |       |
|---------------|----|-------|
| TUALATIN      | OR | 97062 |
| WILSONVILLE   | OR | 97070 |
| PORTLAND      | OR | 97223 |
| NEWBERG       | OR | 97132 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| DURHAM        | OR | 97224 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| SALEM         | OR | 97302 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| PORTLAND      | OR | 97219 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| SALEM         | OR | 97306 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| LAGUNA NIGUEL | CA | 92677 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| WEST LINN     | OR | 97068 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| VANCOUVER     | WA | 98685 |
| TUALATIN      | OR | 97062 |
| TUALATN       | OR | 97062 |
| TUALATIN      | OR | 97062 |
| PORTLAND      | OR | 97204 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TIGARD        | OR | 97224 |
| TIGARD        | OR | 97224 |
| BEAVERTON     | OR | 97007 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |
| TUALATIN      | OR | 97062 |

|   |                                 |
|---|---------------------------------|
| RADANOVIC DIANNE M                        | 8374 SW MOHAWK ST               |
| RADFORD JOHN J & RADFORD LEAH E           | 7296 SW TENINO LN               |
| RAMIREZ MIRNA Z & RIVERA JESUS RAMIREZ    | 8375 SW SHENANDOAH WAY          |
| REAMES BRIAN & REAMES KATELYN             | 8515 SW SEMINOLE TRL            |
| REED BRENT GRANT & REED KRISTA ANNE       | 17477 N 101ST WAY               |
| REESE DOUGLAS & COFFMAN NICOLE            | 20480 SW 86TH AVE               |
| REID MICHAEL ALLEN & REID KRISTI R        | 8398 SW MOHAWK ST               |
| REKSOPURO MARJONO & NAGARIA JULIANTI      | 15253 SE PEBBLE BEACH DR        |
| RENWICK JEAN C                            | 20553 SW COLVILLE CT            |
| REPP SCOTT T & REPP SHARISSE M            | 8550 SW SEMINOLE TRL            |
| REUTHER ERIC J                            | 20221 SW TENINO CT              |
| REYES MANOLO B & REYES CARLOTA F DE LOS   | 20475 SW 86TH AVE               |
| RHAY PATRICIA C                           | 20248 SW TENINO CT              |
| RICHARDS AHREN & RICHARDS KIMBERLY        | 8520 SW SEMINOLE TRL            |
| ROBINSON SOLOMON K & ROBINSON JINA L      | 7242 SW DELAWARE CIR            |
| ROBSON MARILYN ELIZABETH LIVING TRUST     | 8715 SW COMANCHE WAY            |
| ROLFE CHARLENE C                          | 8172 SW SHENANDOAH WAY          |
| ROLLINS CHARLIE K & LATSHAW JANICE K      | 8665 SW SEMINOLE TRAIL          |
| ROSHAN RAKESH & PRASAD BENITA D           | 7275 SW DELAWARE CIR            |
| ROSSOL KATHY S                            | 20124 SW 72ND AVE               |
| ROTH GARY L                               | 8305 SW SHENANDOAH WAY          |
| RUDOLF WOLFGANG                           | 61690 SUMMER SHADE DR           |
| RUMPF JESSICA                             | 2843 SW PLUM CT                 |
| RYAN ROBERT COLIN & RYAN STEPHANIE R      | 8137 SW SEMINOLE TRL            |
| SAECHAO KATIE & SAECHAO CHIOFOU           | 20164 SW 85TH CT                |
| SAGERT PLAZA LLC                          | 18840 SW BOONES FERRY RD STE 21 |
| SALDIVAR ANGELICA                         | 20935 SW 90TH AVE               |
| SALTER ZACHERY ELWIN                      | 21267 SW MARTINAZZI AVE         |
| SANDALWOOD CONDO COMMUNITY UNIT OWNERS    |                                 |
| SANDER ALEX J                             | 8451 SW UMATILLA ST             |
| SANTA GYORGYI                             | 4214 WOODSIDE CIR               |
| SARDAM VINCENT ROSS & DYSON KAITLYNN RAE  | 7455 SW DELAWARE CIR            |
| SARGENT JOAN ALICE                        | 8204 SW SHENANDOAH WAY          |
| SCHEER HILARY JANAYE                      | 8354 SW MOHAWK ST               |
| SCHMITZ MATTHEW D & SCHMITZ KRISTA J      | 20182 SW TILLAMOOK CT           |
| SCHNEIDER BRENT & SCHNEIDER TRACY A       | 8460 SW SEMINOLE TRL            |
| SCHRIEVER LISA A                          | 21198 SW IROQUOIS DR            |
| SCHWEITZER LESLIE ANNE                    | 8675 SW AVERY ST                |
| SCOTT LIVING TRUST                        | 8454 SW CHELAN CT               |
| SEBASTIAN THEODORE ANDREW                 | 20682 SW MARTINAZZI AVE         |
| SEED LEVI P & SEED KIMBERLEY A            | 8488 SW MOHAWK ST               |
| SEFRANEK ROBERT & SEFRANEK REIKO          | 8520 SW SAGERT ST               |
| SHADIAN HERTSEL & SHADIAN TITA            | 20100 SW 72ND AVE               |
| SHAFFER JIMMY WAYNE & SHAFFER AMANDA GAIL | 8210 SW SEMINOLE TRL            |
| SHANAHAN KENNETH D & SHIRLEY A REV TRUST  | 8455 SW SEMINOLE TRAIL          |
| SHELDON WILLIAM C                         | 8735 SW AVERY ST                |
| SHOLES RANDY & SHOLES KELLY               | 14595 SW 144TH AVE              |
| SHUMWAY DEAN & SHUMWAY LAURA              | 180 CALICO LAKE DR              |
| SIKSTROM MARY ANN & SIKSTROM DAVID C      | 8520 SW MODOC CT                |
| SILJEG STEPHANIE M                        | 21250 SW MAKAH ST               |
| SILLIMAN DAVID J & SILLIMAN SHANNON L     | 20028 SW 72ND AVE               |
| SIMNITT MAXIMILIAN                        | 20173 SW TENINO CT              |
| SIMONSEN JAMES A                          | 7375 SW TENINO                  |
| SIMPSON SHELLEY                           | PO BOX 824                      |
| SIVAM SATYA & VASUKI                      | 20527 SW 84TH CT                |
| SKEEN DELORIS J                           | 8500 SW IROQUOIS DR             |
| SLOAN EUPHEMIA M R                        | 20445 SW 86TH AVE               |
| SMALL JASON ALAN                          | 7401 SW DELAWARE CIR            |
| SMITH MEGHAN LACY & SMITH JOHN PAUL       | 8121 SW SEMINOLE TRL            |
| SMITH JASON                               | 20779 SW 84TH AVE               |
| SNELL SUSAN E                             | 20487 SW 69TH AVE               |
| SNYDER STEVEN A                           | 28686 SW PARIS AVE              |



|  |                             |
|--|-----------------------------|
| SOLL KAREN   | 8400 SW SEMINOLE TRL        |
| SOLTERO ALFONSO & SANCHEZ FRANCISCO SOLTERO              | 19760 SW BOONES FERRY RD    |
| SORRENTINO MARIA LAURA                                   | 7343 SW TENINO LN           |
| SOUTHARDS CLIFFORD J & SOUTHARDS CARLA M                 | 19800 SPRING RIDGE DR       |
| SOWA DARLA   | 8475 SW AVERY ST            |
| SPRAIN MICHELLE ANN                                      | 8201 SW SEMINOLE TRAIL      |
| SPRATTLER SUE I LIVING TRUST                             | 1930 16TH AVE               |
| ST PAUL PROPERTIES INC                                   | 7991 SW MOHAWK ST           |
| STAAB CLO EVE  | 20270 SW 86TH AVE           |
| STANLEY MATTHEW E  | 8278 SW MOHAWK ST           |
| STANSFIELD MICHAEL                                       | 8501 SW IROQUOIS DR         |
| STARK MYLON K  | 8384 SW MOHAWK ST           |
| STATON HELEN M   | 8685 SW COMANCHE WAY        |
| STELL THOMAS C & STELL DAWN R                            | 8280 SW MOHAWK ST           |
| STENEK TERESA C  | 21285 SW MARTINAZZI AVE     |
| STEWART BRANDON J & STEWART VIVIANA P                    | 2982 WINKEL WAY             |
| STONE JOANNA & STONE JOSHUA                              | 20569 SW 84TH CT            |
| STORKSON NICHOLAS  | 21306 SW IROQUOIS DR        |
| STUTEVOSS FRANKLIN G                                     | 20948 SW 84TH AVE           |
| SULLIVAN WILLIAM S                                       | 8178 SW SHENANDOAH WAY      |
| SWANSON LEGACY IRREV TRUST                               | 8334 SW MOWHAWK ST          |
| SWEARINGEN THOMAS R & SWEARINGEN CARLA E                 | 20917 SW MARTINAZZI AVE     |
| TAAFFE WILLIAM PATRICK & COE AMBER                       | 20628 SW 84TH CT            |
| TAFUA COLETTE L  | 8274 SW MOHAWK ST           |
| TAMURA LINDA GAYLE                                       | 7311 SW TENINO LN           |
| TAUTENHAN DANIEL C                                       | 8450 SW MOHAWK ST           |
| TAYLOR EMILY HAVEN                                       | 7251 SW DELAWARE CIR        |
| TAYLOR STERLING D  | 8105 SW SEMINOLE TRL        |
| TAYLOR STEVEN MICHAEL & STROM DIANA & BURT AMY LYNN      | 8240 SW SHENANDOAH WAY      |
| TEEL SHELLEY A   | 8510 SW MOHAWK ST           |
| TENCE DAVID A & TENCE IVANA B                            | 19775 SW TAPOSA PL          |
| TEWINPAGTI ITTI  | 1220 SW 3RD AVE RM 1616     |
| THIEL PHILIP & THIEL CATHERINE                           | 8535 SW SEMINOLE TRL        |
| THIRDGILL AMY  | 8685 SW SEMINOLE TRL        |
| THOMAS JENEVA TRUST                                      | 7321 SW DELAWARE CIR        |
| THOMAS JOSEPH & MOSS AMY                                 | 8464 SW IROQUOIS DR         |
| THOMPSON MARCUS M & ZIMEL RANDI N                        | 20222 SW 72ND AVE           |
| THOMPSON ANITA L   | 8175 SW SHENANDOAH WAY      |
| THORSON SHARON M   | 21233 SW MARTINAZZI AVE     |
| TOBIE GENE A & TOBIE TAMMY J                             | 21199 SW MARTINAZZI AVE     |
| TOBIN ROGER PAUL & TOBIN KAREN BRAUCHER & TOBIN ELIZABET | 6195 SW 150TH AVE           |
| TODD VILLAGE-285 LLC                                     | 9500 SW BARBUR BLVD STE 300 |
| TODD VILLAGE-285 LLC                                     | 9500 SW BARBUR BLVD STE 300 |
| TONE CASEY J & TONE LISA K                               | 8375 SW SEMINOLE TRL        |
| TOW DAVID F & TOW DAWN M                                 | 20222 SW TILLAMOOK CT       |
| TREMAIN JUNE E & HUPPERTZ NANCY I                        | 10735 SW BANNOCH ST         |
| TRI-COUNTY METROPOLITAN TRANSPORTATION DISTRICT OF ORE   | 710 HOLLADAY ST             |
| TRYSIL MAYA & FLANAGAN CHRISTOPHER                       | 8372 SW MOHAWK ST           |
| TUALATIN VILLAGE CONDO PH II OWNERS OF UNITS             |                             |
| TUALATIN CITY OF   | 18880 SW MARTINAZZI AVE     |
| TUALATIN CITY OF   | 18880 SW MARTINAZZI AVE     |
| TUALATIN CITY OF   | 18880 SW MARTINAZZI AVE     |
| TUALATIN CITY OF   | 18880 SW MARTINAZZI AVE     |
| TUALATIN CITY OF   | 18880 SW MARTINAZZI AVE     |
| TUALATIN CITY OF   | 18880 SW MARTINAZZI AVE     |
| TUCKER SHERRY D  | 8522 SW MOHAWK ST           |
| TURNER JAMES W   | 8252 SW SHENANDOAH WAY      |
| UJAKOVICH MEGAN B  | 8315 SW SHENANDOAH WAY      |
| VALENTIN RODOLFO   | 3809 NE 73RD AVE            |
| VALENTINE FRIDAY   | 8160 SW SHENANDOAH WAY      |
| VALO VALORIE L   | 20350 SW 72ND AVE           |
| VANCE JAMES D & VANCE DONNA L                            | 22350 SW 102ND PL           |

|              |    |       |
|--------------|----|-------|
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| WEST LINN    | OR | 97068 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| FOREST GROVE | OR | 97116 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| WEST LINN    | OR | 97068 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| BEAVERTON    | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| PORTLAND     | OR | 97204 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| BEAVERTON    | OR | 97007 |
| PORTLAND     | OR | 97219 |
| PORTLAND     | OR | 97219 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| PORTLAND     | OR | 97232 |
| TUALATIN     | OR | 97062 |
|              | OR | 00000 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| PORTLAND     | OR | 97213 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |
| TUALATIN     | OR | 97062 |

|   |                              |
|---|------------------------------|
| VANDERHEIDEN STEVEN M & VANDERHEIDEN SHERYL D | 20577 SW COLVILLE CT         |
| VANNORTWICK JOHN E JR & VANNORTWICK MARY JO   | 8472 SW NESTUCCA CT          |
| VARGAS RAMON                                  | 21233 SW IROQUIS DR          |
| VENTI KATHERINE M                             | 8486 SW MOHAWK ST            |
| VITERITTI TRACY A                             | 8344 SW MOHAWK ST            |
| VONTUNGEIN RITA K                             | 8448 SW MOHAWK ST            |
| WADE DIANA                                    | 8462 SW UMATILLA ST          |
| WAGNER DANIELLE R & WAGNER JARED              | 7288 SW DELAWARE CIR         |
| WAHED WALI & WAHED CHRISTI                    | 7476 SW DELAWARE CIR         |
| WALKER-LIDDELL JENNIFER JEAN                  | 8408 SW UMATILLA ST          |
| WALSH JAMES ROBERT REV LIV TRUST              | 8740 SW COMANCHE WAY         |
| WALTER KENNETH L                              | 20601 SW COLVILLE CT         |
| WARD JUSTIN C & WARD TIFFANY L                | 8380 SE SHENANDOAH WAY       |
| WARN RICHARD & SUZANNE TINKER WARN LIV TRUST  | 20176 SW 72ND AVE            |
| WARNEKE SPENCER                               | 8456 SW MOHAWK ST            |
| WAXENFELTER ROYCE & WAXENFELTER BESS          | 8487 SW HURON CT             |
| WEAVER JOSHUA M & WEAVER EMMA C               | 20335 SW 86TH AVE            |
| WEBBER MICHELE A & WEBBER GREGORY S           | 7313 SW DELAWARE CIR         |
| WECKERT WENDELL W II & WECKERT VIVIAN I       | 8700 SW COMANCHE WAY         |
| WEGENER LOIS M                                | 8228 SW SEMINOLE TRL         |
| WEGNER WILLIAM DAVID & WEGNER LINDA           | 8446 SW UMATILLA ST          |
| WEILAND LINDA A                               | 7392 SW TENINO LN            |
| WELLS JONAH & KIEU CHRISTINE                  | 20351 SW 72ND AVE            |
| WELLS BARBARA J TRUST                         | 8565 SW MODOC CT             |
| WENDT GLADYS T LIVING TRUST                   | 8336 SW MOHAWK ST            |
| WEST TREVOR M                                 | 8332 SW MOHAWK ST            |
| WESTFALL SANDRA C                             | 8332 SW SHENANDOAH WAY       |
| WESTON BENJAMIN R & WESTON TARA E             | 8360 SW CHELAN ST            |
| WHITEMAN BETTY J                              | 5185 CARMAN DR               |
| WHITE SUZANNE B LIVING TRUST                  | 8368 SW MOHAWK ST            |
| WICKIZER DIANA V                              | 8540 SW MODOC CT             |
| WILBOURN SAMUEL R & WILBOURN LAURA N          | 20208 SW 85TH CT             |
| WILENT SHERRI LYNN & WILENT STEVEN WILLIAM    | 8404 SW MOHAWK ST            |
| WILHELM MICHAEL S & WILHELM MARGARITA R       | 8485 SW IROQUOIS DR          |
| WILLIAMS-ANDERSON NICOLE D & ANDERSON KYLE CA | 20016 SW 86TH AVE            |
| WILLIAMS JOAN E TRUST                         | 9801 RANCH HAND AVE          |
| WILSON BYRON                                  | 8370 SW MOHAWK ST            |
| WILSON NANCY SILLER & WILSON GREG H           | 21125 SW MARTINAZZI AVE      |
| WINN REVOCABLE TRUST                          | 20104 SW TILLAMOOK CT        |
| WINTERS TERRY M                               | 8304 SW MOHAWK ST            |
| WOLL ANNA & WOLL JAMES                        | 8447 SW IROQUOIS DR          |
| WOOD SHARON F                                 | 8235 SW SHENANDOAH WAY       |
| WOOD KATHRYN A REV TRUST                      | 8312 SW SHENANDOAH WAY       |
| WOODS KEITH A                                 | 20249 SW 85TH CT             |
| WOOLFE JANIE L                                | 8330 SW MOHAWK ST            |
| WOOTEN SHAWN                                  | 8310 SW MOHAWK ST            |
| WRAY MATHEW E & WRAY ASHLEY D                 | 8153 SW SEMINOLE TRL         |
| WRIGHT JENNIFER A                             | 20973 SW MARTINAZZI AVE      |
| WURGLER CATHALYN C                            | 20905 SW 84TH AVE            |
| WYLAND DANIEL J & WYLAND SHARLA L             | PO BOX 2268                  |
| YARMAN JERRY L & YARMAN JENNIFER A            | 20980 SW 84TH AVE            |
| YOUNG SAMUEL J & YOUNG ANNE B                 | 8105 SW SHENANDOAH WAY       |
| YOUNKER JASON L & YOUNKER EMILY               | 20150 SW 72ND AVE            |
| YU KE   | 20873 SW MARTINAZZI AVE      |
| ZAMORA OSCAR & TORRES IRMA                    | 21110 SW 84TH AVE            |
| ZELINSKY SHARON P REV LIV TRUST               | 8489 SW UMATILLA ST          |
| ZHU HE  | 8320 SW MOHAWK ST            |
| ZIMEL RANDI N                                 | 20222 SW 72ND AVE            |
| ZIMMERMAN ROBERT I & ZIMMERMAN KAREN L        | 8390 SW SEMINOLE TRL         |
| 3J CONSULTING INC                             | 9600 NW NIMBUS AVE SUITE 100 |





**NOTICE OF HEARING AND OPPORTUNITY TO COMMENT  
CASE FILE: AR 22-0008— ALDEN APARTMENTS**

Exhibit B.

**NOTICE IS HEREBY GIVEN** that the public hearing for the project listed below has been continued to a date certain pursuant to ORS 197.763 from its original date on November 30, 2022, and will be held:

**Wednesday, January 25, 2023 at 6:30 pm**

**Location:** Tualatin Service Center

10699 SW Herman Road, Tualatin, OR 97062

**Zoom Teleconference:** Link with log-in instructions available  
[www.tualatinoregon.gov/meetings](http://www.tualatinoregon.gov/meetings)

**AR 22-0008 Alden Apartments**

*3j Consulting, on behalf of CR Alden Communities, LLC., is requesting approval to construct 45 new townhome units in 12 new buildings. The 16.7 acre property is located in the Medium High Density Residential Zone (RMH). Two existing buildings are proposed for removal for a net gain of 10 buildings on the site.*

To view the application materials, visit:  
[www.tualatinoregon.gov/projects](http://www.tualatinoregon.gov/projects)

Comments and questions may be submitted to:  
[kleonard@tualatin.gov](mailto:kleonard@tualatin.gov) and 503-691-3029

**Located at:** 7800 SW Sagert Street and 20400 SW Martinazzi Avenue with the **Tax Map/Lot:** 2S125BA00100



- **Type III Architectural Review Criteria:** Tualatin Development Code Chapters: 32, 33, 42, 73A-D, 74, 75
- **Staff report** will be available at least seven days before the hearing for inspection at no cost, and copies will be provided at a reasonable cost.
- **Print copies** of the application are available at a reasonable cost.
- **Individuals wishing to comment on the application** must do so in writing to the Planning Division prior to the hearing, or in writing and/or orally at the hearing. Materials must be received by January 11, 2023, to be included in the hearing packet.



**NOTICE OF HEARING AND OPPORTUNITY TO COMMENT  
CASE FILE: AR 22-0008— ALDEN APARTMENTS**

**NOTICE IS HEREBY GIVEN** that the public hearing for the project listed below has been continued to a date certain pursuant to ORS 197.763 from its original date on November 30, 2022, and will be held:

**Wednesday, January 25, 2023 at 6:30 pm**

**Location:** Tualatin Service Center

10699 SW Herman Road, Tualatin, OR 97062

**Zoom Teleconference:** Link with log-in instructions available  
[www.tualatinoregon.gov/meetings](http://www.tualatinoregon.gov/meetings)

**AR 22-0008 Alden Apartments**

*3j Consulting, on behalf of CR Alden Communities, LLC., is requesting approval to construct 45 new townhome units in 12 new buildings. The 16.7 acre property is located in the Medium High Density Residential Zone (RMH). Two existing buildings are proposed for removal for a net gain of 10 buildings on the site.*

To view the application materials, visit:  
[www.tualatinoregon.gov/projects](http://www.tualatinoregon.gov/projects)

Comments and questions may be submitted to:  
[kleonard@tualatin.gov](mailto:kleonard@tualatin.gov) and 503-691-3029

**Located at:** 7800 SW Sagert Street and 20400 SW Martinazzi Avenue with the **Tax Map/Lot:** 2S125BA00100



- **Type III Architectural Review Criteria:** Tualatin Development Code Chapters: 32, 33, 42, 73A-D, 74, 75
- **Staff report** will be available at least seven days before the hearing for inspection at no cost, and copies will be provided at a reasonable cost.
- **Print copies** of the application are available at a reasonable cost.
- **Individuals wishing to comment on the application** must do so in writing to the Planning Division prior to the hearing, or in writing and/or orally at the hearing. Materials must be received by January 11, 2023, to be included in the hearing packet.



- **The public hearing will begin** with a staff presentation, followed by testimony by proponents, testimony by opponents, and rebuttal. The time of individual testimony may be limited. If a participant requests, before the hearing is closed, the record shall remain open for at least 7 days after the hearing.
- **All citizens are invited to attend and be heard:** Failure of an issue to be raised in the hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals (LUBA) based on that issue. The failure of the applicant to raise constitutional or other issues relating to the proposed conditions of approval with sufficient specificity to the decision maker to respond to the issue precludes an action for damages in circuit court.
- **Notice of the Decision** will only be provided to those who submit written comments regarding that application or testify at the hearing.

*You received this mailing because you own property within 1,000 feet (ft) of the site or within a residential subdivision which is partly within 1,000 ft.*

For additional information contact:

Keith Leonard, Associate Planner, [kleonard@tualatin.gov](mailto:kleonard@tualatin.gov) and 503-691-3029

- **The public hearing will begin** with a staff presentation, followed by testimony by proponents, testimony by opponents, and rebuttal. The time of individual testimony may be limited. If a participant requests, before the hearing is closed, the record shall remain open for at least 7 days after the hearing.
- **All citizens are invited to attend and be heard:** Failure of an issue to be raised in the hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals (LUBA) based on that issue. The failure of the applicant to raise constitutional or other issues relating to the proposed conditions of approval with sufficient specificity to the decision maker to respond to the issue precludes an action for damages in circuit court.
- **Notice of the Decision** will only be provided to those who submit written comments regarding that application or testify at the hearing.

*You received this mailing because you own property within 1,000 feet (ft) of the site or within a residential subdivision which is partly within 1,000 ft.*

For additional information contact:

Keith Leonard, Associate Planner, [kleonard@tualatin.gov](mailto:kleonard@tualatin.gov) and 503-691-3029



**FIRE CODE / LAND USE / BUILDING REVIEW APPLICATION**

**North Operating Center**  
 11945 SW 70<sup>th</sup> Avenue  
 Tigard, OR 97223  
 Phone: 503-649-8577

**South Operating Center**  
 8445 SW Elligsen Rd  
 Wilsonville, OR 97070  
 Phone: 503-649-8577

REV 6-30-20

**Project Information**

Applicant Name: Brian O'Rourke  
 Address: 9600 SW Nimbus Ave, Suite 100  
 Phone: 503-946-9365 x209  
 Email: brian.orourke@3i-consulting.com  
 Site Address: 7800 SW Sagert St & 20400 SW Martinazzi Ave  
 City: Tualatin  
 Map & Tax Lot #: 2S125BA00100  
 Business Name: Alden Apartments  
 Land Use/Building Jurisdiction: City of Tualatin  
 Land Use/ Building Permit # Pre-App 22-0004

Choose from: Beaverton, Tigard, Newberg, **Tualatin**, North Plains, West Linn, Wilsonville, Sherwood, Rivergrove, Durham, King City, Washington County, Clackamas County, Multnomah County, Yamhill County

**Project Description**

Removal of two existing apartment buildings and associated site features. Addition of 12 buildings (45 total townhome style apartment units) including associated roads, pedestrian paths, and site utilities.

**Permit/Review Type (check one):**

- Land Use / Building Review - Service Provider Permit
- Emergency Radio Responder Coverage Install/Test
- LPG Tank (Greater than 2,000 gallons)
- Flammable or Combustible Liquid Tank Installation (Greater than 1,000 gallons)
  - \* Exception: Underground Storage Tanks (UST) are deferred to DEQ for regulation.
- Explosives Blasting (Blasting plan is required)
- Exterior Toxic, Pyrophoric or Corrosive Gas Installation (in excess of 810 cu.ft.)
- Tents or Temporary Membrane Structures (in excess of 10,000 square feet)
- Temporary Haunted House or similar
- OLCC Cannabis Extraction License Review
- Ceremonial Fire or Bonfire (For gathering, ceremony or other assembly)

**For Fire Marshal's Office Use Only**

TVFR Permit # 2022-0097  
 Permit Type: SPP  
 Submittal Date: 8/30/22  
 Assigned To: ORourke  
 Due Date: \_\_\_\_\_  
 Fees Due: \_\_\_\_\_  
 Fees Paid: \_\_\_\_\_

**Approval/Inspection Conditions**  
 (For Fire Marshal's Office Use Only)

**This section is for application approval only**

[Signature] ORourke 8/30/22  
 Fire Marshal or Designee Date

Conditions:

**X PLEASE SUBMIT FIRE FLOW RESULTS ASAP.**

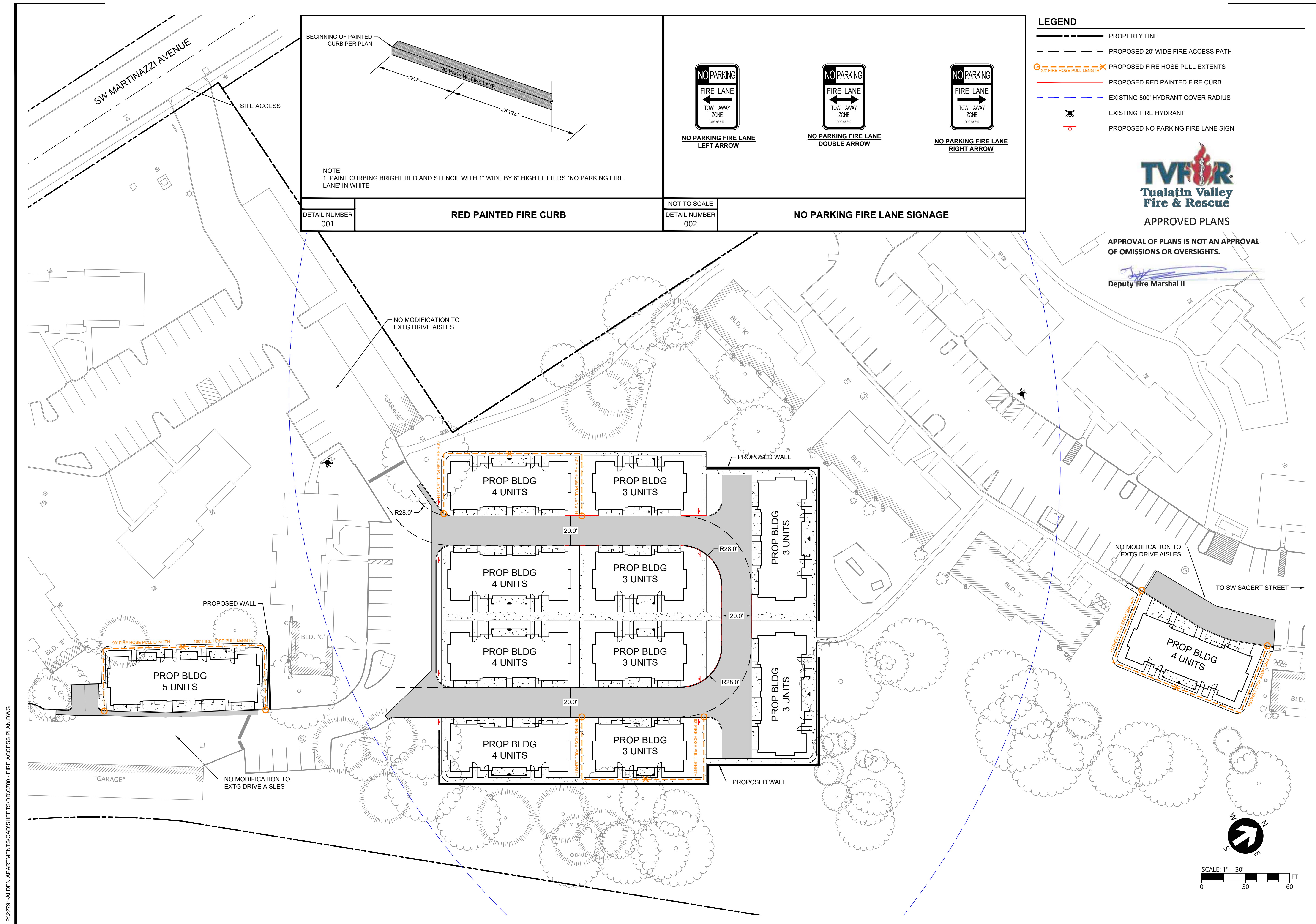
See Attached Conditions:  Yes  No

Site Inspection Required:  Yes  No

**This section used when site inspection is required**

Inspection Comments:

Final TVFR Approval Signature & Emp ID \_\_\_\_\_ Date \_\_\_\_\_



LEGEND

- PROPERTY LINE
- PROPOSED 20' WIDE FIRE ACCESS PATH
- PROPOSED FIRE HOSE PULL EXTENTS
- PROPOSED RED PAINTED FIRE CURB
- EXISTING 500' HYDRANT COVER RADIUS
- EXISTING FIRE HYDRANT
- PROPOSED NO PARKING FIRE LANE SIGN

NOTE:  
1. PAINT CURBING BRIGHT RED AND STENCIL WITH 1" WIDE BY 6" HIGH LETTERS 'NO PARKING FIRE LANE' IN WHITE

DETAIL NUMBER 001      **RED PAINTED FIRE CURB**

NOT TO SCALE  
DETAIL NUMBER 002      **NO PARKING FIRE LANE SIGNAGE**

NO PARKING FIRE LANE LEFT ARROW      NO PARKING FIRE LANE DOUBLE ARROW      NO PARKING FIRE LANE RIGHT ARROW

**TVALR**  
Tualatin Valley  
Fire & Rescue

APPROVED PLANS

APPROVAL OF PLANS IS NOT AN APPROVAL OF OMISSIONS OR OVERSIGHTS.

Deputy Fire Marshal II

PUBLISH DATE  
#####  
ISSUED FOR  
DD  
REVISIONS

**FIRE ACCESS PLAN**  
**ALDEN APARTMENTS**

7800 SW SAGERT STREET  
TUALATIN, OR 97062

**3J CONSULTING**

CIVIL ENGINEERING  
WATER RESOURCES  
COMMUNITY PLANNING

9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION  
3J PROJECT # | 22791  
TAX LOT(S) | 2S125BA00100  
LAND USE # | 22-0004  
DESIGNED BY | KMK  
CHECKED BY | BMO

SHEET NUMBER  
**FS-1**

P:\22791-ALDEN APARTMENTS\CAD\SHEETS\DD\0700 - FIRE ACCESS PLAN.DWG

## MEMORANDUM

**Date:** November 10, 2022

**To:** Keith Leonard, Associate Planner, City of Tualatin

**From:** Jackie Sue Humphreys, Clean Water Services (CWS)

**Subject:** Alden Apartments New Buildings, AR22-0008, 2S125BA00100

Please include the following comments when writing your conditions of approval:

### **PRIOR TO ANY WORK ON THE SITE**

A Clean Water Services (CWS) Storm Water Connection Permit Authorization must be obtained. Application for CWS Permit Authorization must be in accordance with the requirements of the Design and Construction Standards, Resolution and Order No. 19-5 as amended by R&O 19-22, or prior standards as meeting the implementation policy of R&O 18-28, and is to include:

- a. Detailed plans prepared in accordance with Chapter 2, Section 2.04.
- b. Detailed grading and erosion control plan. An Erosion Control Permit will be required. Area of Disturbance must be clearly identified on submitted construction plans. If site area and any offsite improvements required for this development exceed one-acre of disturbance, project will require a 1200-CN Erosion Control Permit. If site area and any offsite improvements required for this development exceed five-acres of disturbance, project will require a 1200-C Erosion Control Permit.
- c. Detailed plans showing the development having direct access by gravity to public storm and sanitary sewer.
- d. Provisions for water quality in accordance with the requirements of the above named design standards. Water Quality is required for all new development and redevelopment areas per R&O 19-5, Section 4.04. Access shall be provided for maintenance of facility per R&O 19-5, Section 4.07.6.

- e. If use of an existing offsite or regional Water Quality Facility is proposed, it must be clearly identified on plans, showing its location, condition, capacity to treat this site and, any additional improvements and/or upgrades that may be needed to utilize that facility.
- f. If private lot LIDA systems proposed, must comply with the current CWS Design and Construction Standards. A private maintenance agreement, for the proposed private lot LIDA systems, needs to be provided to the City for review and acceptance.
- g. Show all existing and proposed easements on plans. Any required storm sewer, sanitary sewer, and water quality related easements must be granted to the City.
- h. Application may require additional permitting and plan review from CWS Source Control Program. For any questions or additional information, please contact Source Control at (503) 681-5175.
- i. Any proposed offsite construction activities will require an update or amendment to the current Service Provider Letter for this project.

## CONCLUSION

This Land Use Review does not constitute CWS approval of storm or sanitary sewer compliance to the NPDES permit held by CWS. CWS, prior to issuance of any connection permits, must approve final construction plans and drainage calculations.



# Oregon

Kate Brown, Governor

## Department of Transportation

Region 1 Headquarters  
123 NW Flanders Street  
Portland, Oregon 97209  
(503) 731.8200  
FAX (503) 731.8259

November 14, 2022

ODOT #12791

## ODOT Response

|  |                                       |
|--|---------------------------------------|
| <b>Project Name:</b> Alden Apartments Addition                                       | <b>Applicant:</b> Alden Apartments    |
| <b>Jurisdiction:</b> City of Tualatin  | <b>Jurisdiction Case #:</b> AR22-0008 |
| <b>Site Address:</b> 20400 SW MARTINAZZI AVE,<br>7800 SW Sagert St, Tualatin, Oregon | <b>State Highway:</b> I-5             |

The site of this proposed land use action is in the vicinity of I-5. ODOT has permitting authority for this facility and an interest in ensuring that this proposed land use is compatible with its safe and efficient operation. **Please direct the applicant to the District Contact indicated below to determine permit requirements and obtain application information.**

### COMMENTS/FINDINGS

ODOT has reviewed the formal application materials submitted for the additions to Alden Apartments including new apartment buildings, parking lots, other hardscaping, and utility improvements. The project site is located in the vicinity of ODOT's I-5 facility and discharges to storm drain infrastructure within ODOT right-of-way. Due to the amount of impervious area modified, storm water management approaches are proposed. The applicant is indicating detention to 50 year events to accommodate their release to ODOT.

ODOT recommends the City of Tualatin require the applicant to obtain a Miscellaneous Permit from ODOT for connection to state highway drainage facilities as a condition of the land use approval. Please direct the applicant to the District 2B contact indicated below to determine permit requirements and obtain application information. All ODOT permits and approvals must reach 100% plans before the District Contact will sign-off on a local jurisdiction building permit, or other necessary requirement prior to construction.

Below is a summary of ODOT's initial technical review comments for the Preliminary Stormwater Report submitted in the formal application materials, however formal review of site drainage and storm water management plans will occur through the permitting process with ODOT Geo-Hydro staff.

- 1. The use of 50 year storm for detention is correct. ODOT will need to review analysis for the 100 year storm verifying that the facilities will safely store and release the check storm to approximate the risk to ODOT downstream facilities. What is the likelihood of impact to ODOT facilities?*
- 2. Two of the three proposed storm facility outfalls are shown on sheet C400 of the submitted materials. For the proposed building #J2, there is a proposed connection to an existing storm line. Where does this line outfall? All outfalls/scour pads need to be on the private property and maintained by the property owner.*
- 3. What is the allowable freeboard per CWS standards? Shown are 6-inch proposed on plans for the infiltration ponds. Our standard for ODOT facilities is 12-inch minimum.*

*This may not be required in this case, however the applicant will need to show the overflow risk.*

4. *In the pending final storm report, ODOT will need to review the pre and post development total volume of water contributing to ODOT's system.*
5. *Please present the full hydro-modification impacts to ODOT system and identify changes.*
6. *Hydrographs: The Post development hydrographs do not show the impact of the detention facility, only the increased runoff. ODOT will need to receive post development runoff hydrographs with the inclusion of the detention to understand the impact to the ODOT facility. The current provided post-development hydrographs only illustrate an increased peak and volume. The axis should have consistent and labeled units on both axis, i.e (CFS) and time (hours) not with days of the week (both on some charts).*

#### **ODOT RECOMMENDED LOCAL CONDITIONS OF APPROVAL**

- An ODOT Miscellaneous Permit is required for connection to state highway drainage facilities. Connection will only be considered if the site's drainage naturally enters ODOT right of way. The applicant must provide ODOT District with a preliminary drainage plan showing impacts to the highway right of way.

A drainage study prepared by an Oregon Registered Professional Engineer is usually required by ODOT if:

1. Total peak runoff entering the highway right of way is greater than 1.77 cubic feet per second; or
2. The improvements create an increase of the impervious surface area greater than 10,758 square feet.

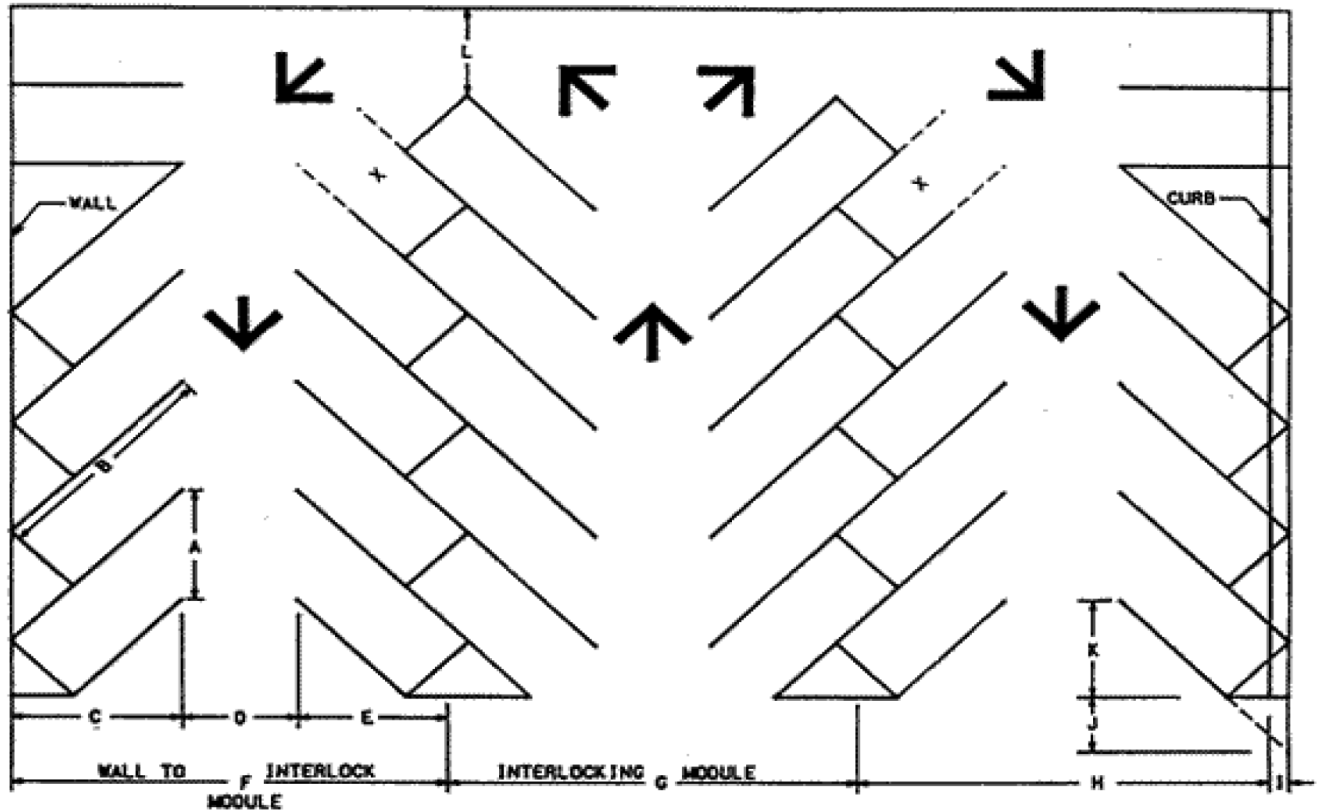
**Please send a copy of the Notice of Decision including conditions of approval to:**

ODOT Region 1 Planning  
Development Review  
123 NW Flanders St  
Portland, OR 97209

[ODOT\\_R1\\_DevRev@odot.oregon.gov](mailto:ODOT_R1_DevRev@odot.oregon.gov)

|  |  |
|--|--|
| Development Review Planner: Diana Powers | <a href="mailto:Diana.Powers@odot.oregon.gov">Diana.Powers@odot.oregon.gov</a> |
| District Contact: District 2B            | <a href="mailto:D2BUP@odot.oregon.gov">D2BUP@odot.oregon.gov</a>               |

**Tualatin Development Code - Figure 73-1  
Parking Space Design Standards for 9-Foot Stalls**



| <u>Dimension</u>                  | <u>On Diagram</u> | <u>45°</u> | <u>60°</u> | <u>75°</u> | <u>90°</u> |
|-----------------------------------|-------------------|------------|------------|------------|------------|
| Stall width parallel to aisle     | A                 | 12.7       | 10.4       | 9.3        | 9.0        |
| Stall Length of line              | B                 | 25.0       | 22.0       | 20.0       | 18.5       |
| Stall depth to wall               | C                 | 17.5       | 19.0       | 19.5       | 18.5       |
| Aisle width between stall lines   | D                 | 12.0       | 16.0       | 21.0       | 24.0       |
| Stall depth, interlock            | E                 | 15.3       | 17.5       | 18.8       | 18.5       |
| Module, wall to interlock         | F                 | 44.8       | 52.5       | 61.3       | 63.0       |
| Module, interlocking              | G                 | 42.6       | 51.0       | 61.0       | 63.0       |
| Module, interlocking to curb face | H                 | 42.8       | 50.2       | 58.8       | 60.5       |
| Bumper overhang (typical)         | I                 | 2.0        | 2.3        | 2.5        | 2.5        |
| Offset                            | J                 | 6.3        | 2.7        | 0.5        | 0.0        |
| Setback                           | K                 | 11.0       | 8.3        | 5.0        | 0.0        |
| Cross aisle, one-way              | L                 | 12.0       | 12.0       | 12.0       | 12.0       |
| Cross aisle, two way              | -                 | 22.0       | 22.0       | 22.0       | 22.0       |

X = Stall not accessible in some cases.

**Parking Dimensions for Subcompact Parking**

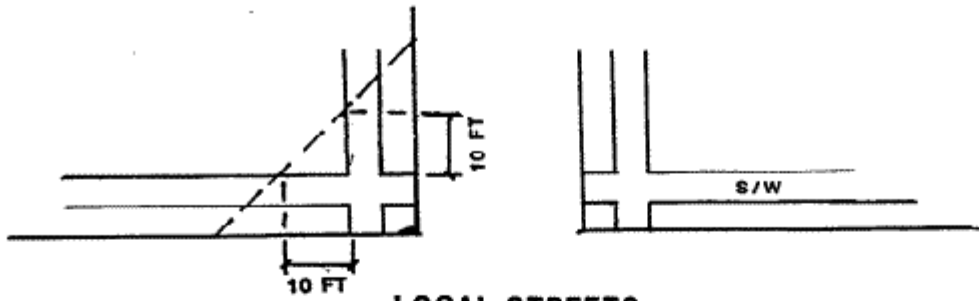
|   | <u>45°</u> | <u>60°</u> | <u>75°</u> | <u>90°</u> |
|---|------------|------------|------------|------------|
| Stall Width                             | 7.5        | 7.5        | 7.5        | 7.7        |
| Aisle Width per Stall                   | 10.5       | 8.7        | 7.8        | 7.5        |
| Depth of Stalls at right angle to aisle | 16.0       | 16.7       | 16.3       | 15.0       |
| Aisle Width                             | 11.0       | 14.0       | 17.4       | 20.0       |
| Wall-to-Wall module                     | 43.0       | 47.4       | 50.0       | 50.0       |

**Note:** These measurements are inadequate for average compacts. Each stall depth should be increased about 1 foot (2 feet total for the module) to accommodate for the usual range of compact sizes.

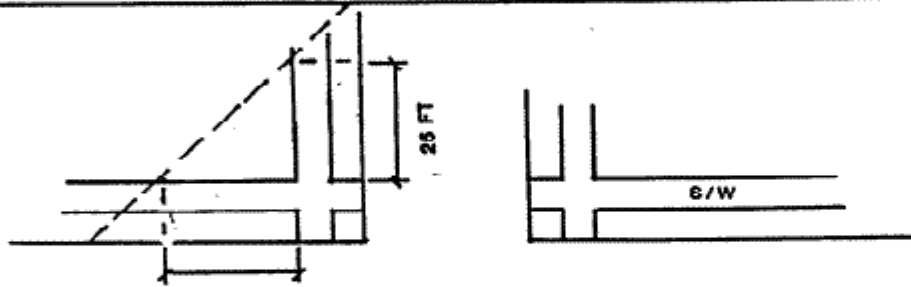
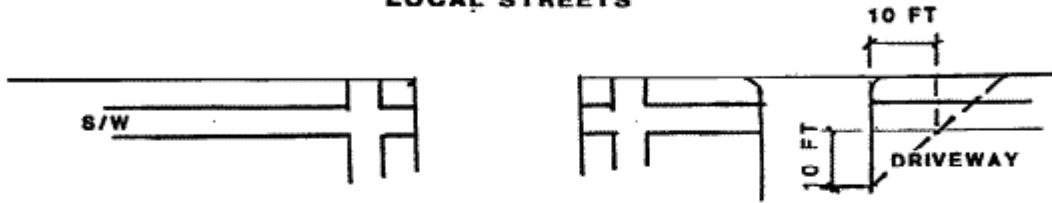




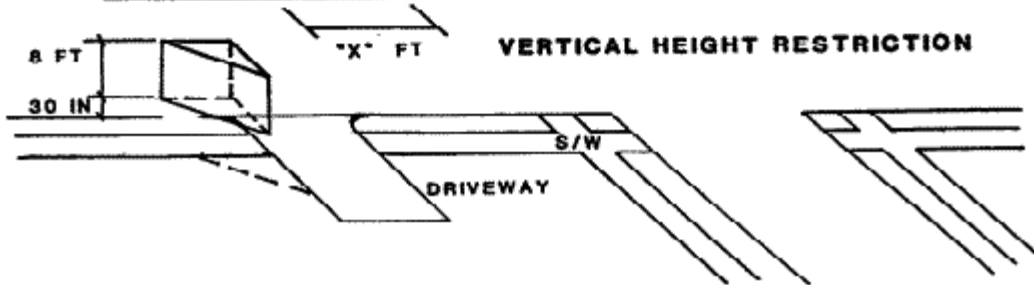
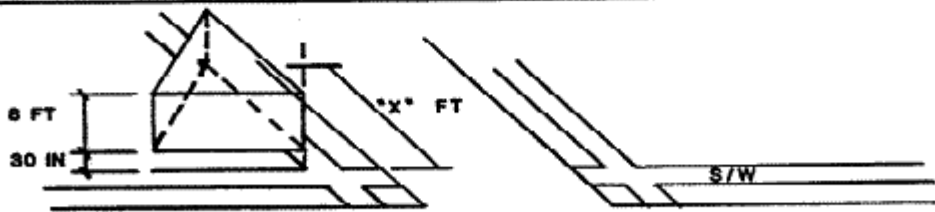
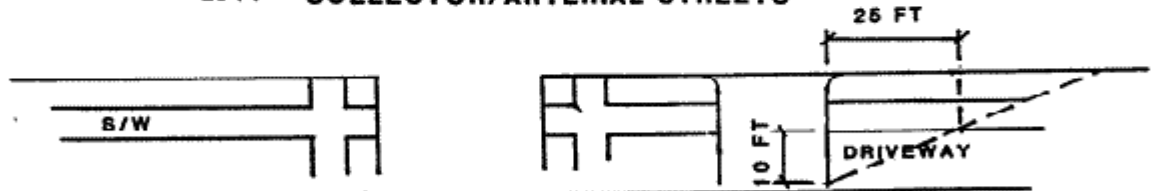
# VISION CLEARANCE AREA



**LOCAL STREETS**



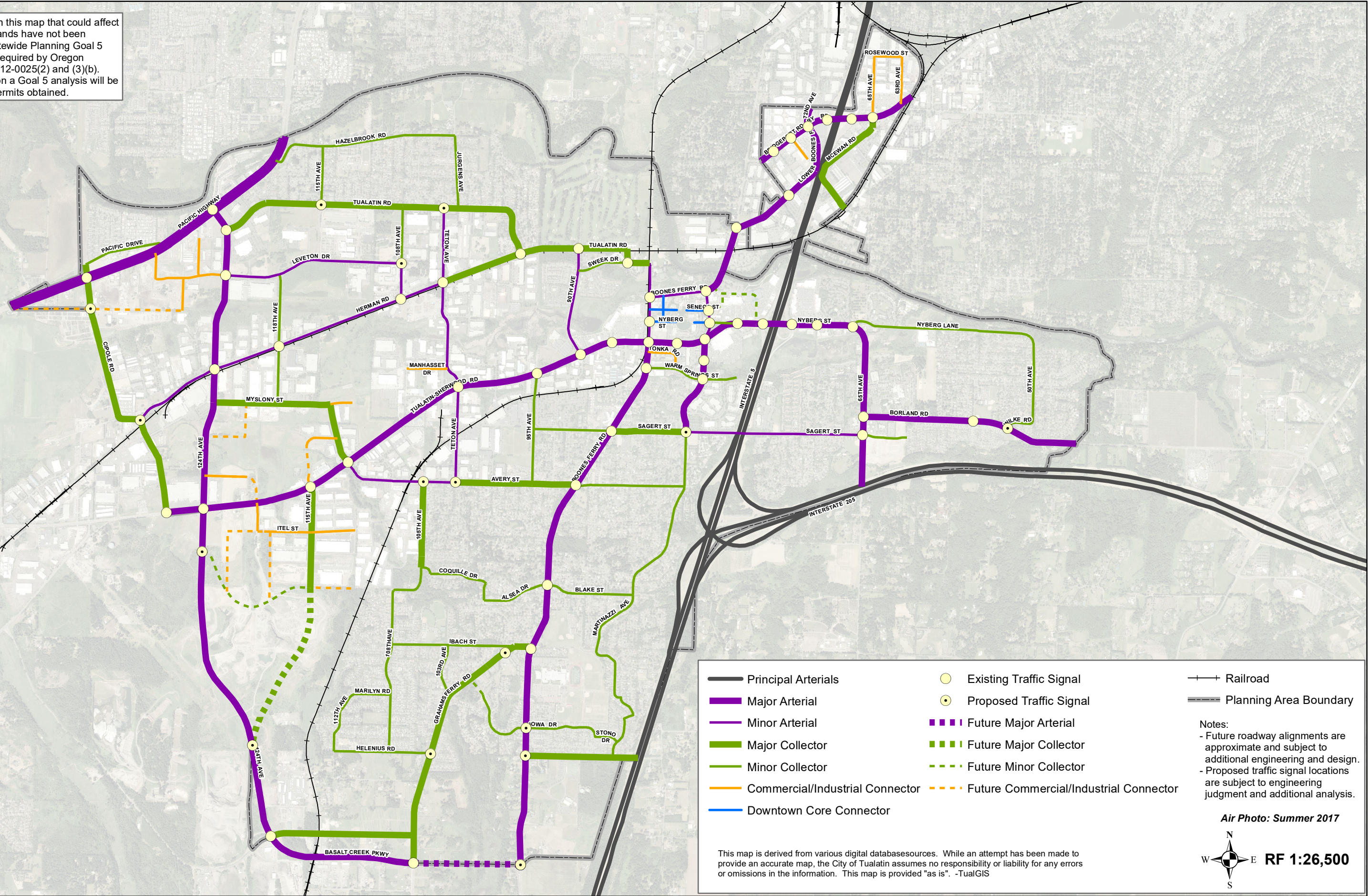
**25 FT COLLECTOR/ARTERIAL STREETS**



**VERTICAL HEIGHT RESTRICTION**

# Map 8-1: Functional Classification and Traffic Signal Plan

The projects embodied in this map that could affect rivers, streams and wetlands have not been analyzed in terms of Statewide Planning Goal 5 (Natural Resources) as required by Oregon Administrative Rule 660-12-0025(2) and (3)(b). Thus, prior to construction a Goal 5 analysis will be completed and proper permits obtained.



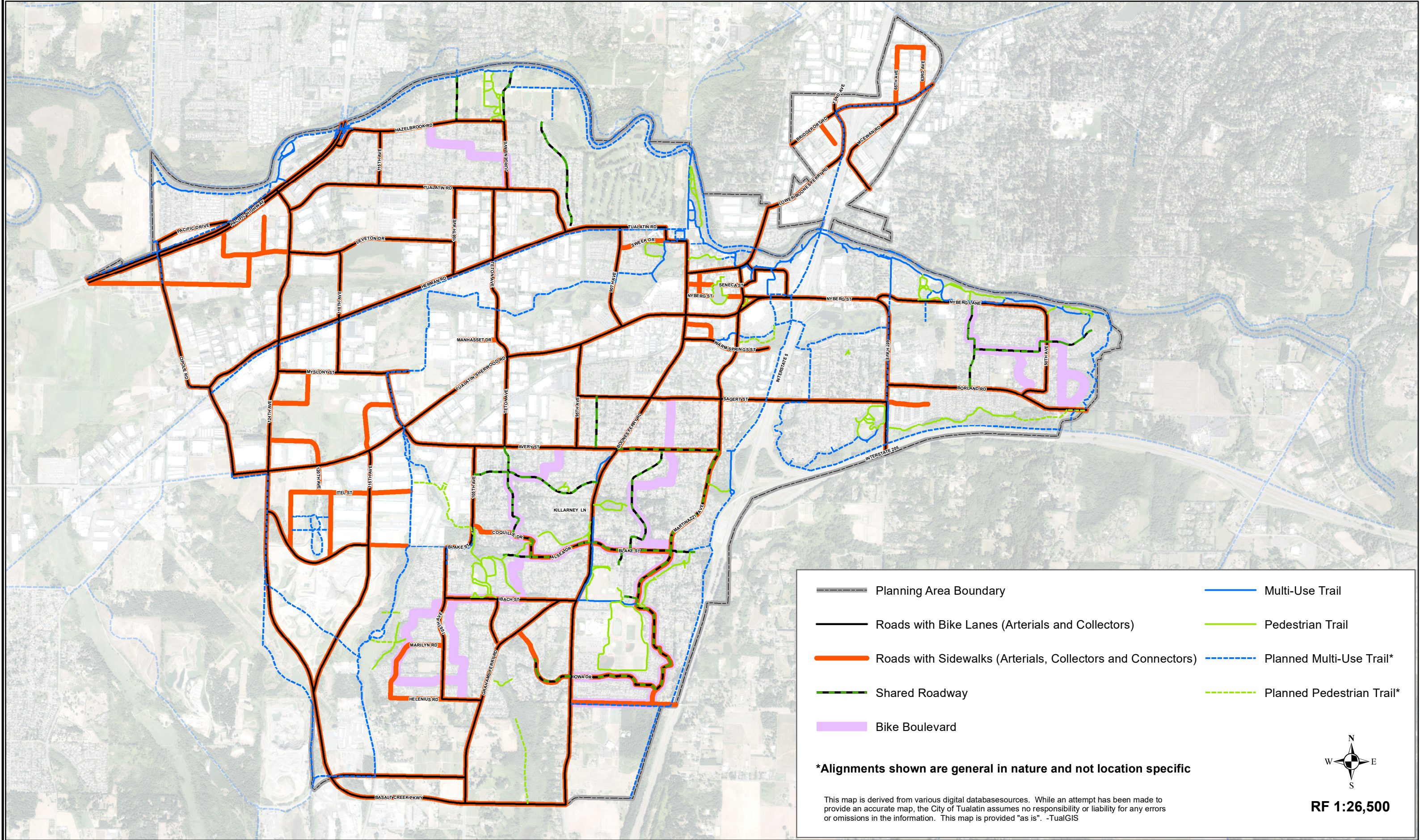
|                                 |  |   |
|---------------------------------|--|---|
| Principal Arterials             | Existing Traffic Signal                | Railroad  |
| Major Arterial                  | Proposed Traffic Signal                | Planning Area Boundary  |
| Minor Arterial                  | Future Major Arterial                  | Notes:<br>- Future roadway alignments are approximate and subject to additional engineering and design.<br>- Proposed traffic signal locations are subject to engineering judgment and additional analysis. |
| Major Collector                 | Future Major Collector                 |   |
| Minor Collector                 | Future Commercial/Industrial Connector |   |
| Commercial/Industrial Connector |  |   |
| Downtown Core Connector         |  |   |

**Air Photo: Summer 2017**

RF 1:26,500

This map is derived from various digital databasesources. While an attempt has been made to provide an accurate map, the City of Tualatin assumes no responsibility or liability for any errors or omissions in the information. This map is provided "as is". -TualGIS

# Map 8-4: Bicycle and Pedestrian Plan



- Planning Area Boundary
- Roads with Bike Lanes (Arterials and Collectors)
- Roads with Sidewalks (Arterials, Collectors and Connectors)
- Shared Roadway
- Bike Boulevard
- Multi-Use Trail
- Pedestrian Trail
- Planned Multi-Use Trail\*
- Planned Pedestrian Trail\*

**\*Alignments shown are general in nature and not location specific**

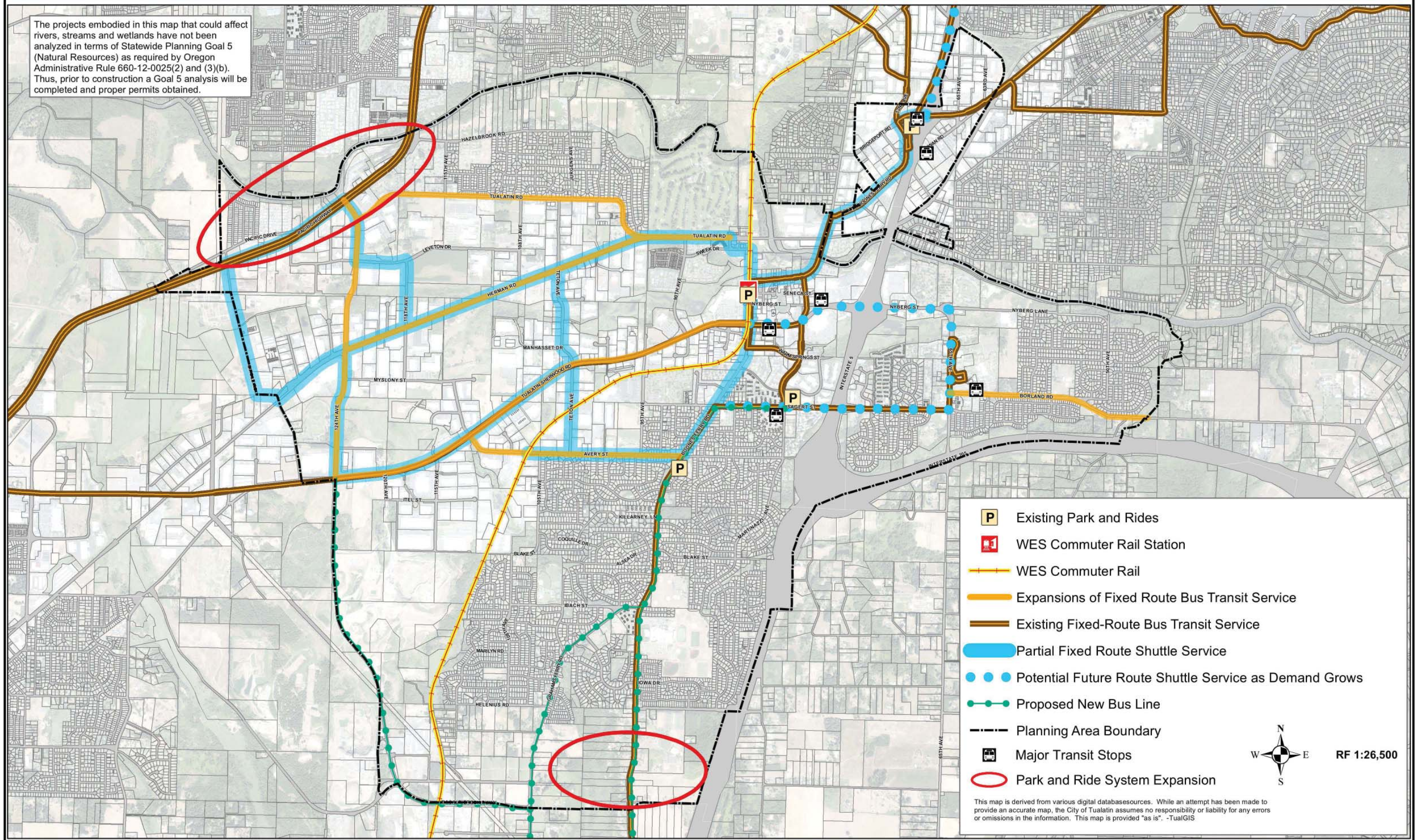
This map is derived from various digital databasesources. While an attempt has been made to provide an accurate map, the City of Tualatin assumes no responsibility or liability for any errors or omissions in the information. This map is provided "as is". -TualGIS



**RF 1:26,500**

# Map 8-5: Tualatin Transit Plan

The projects embodied in this map that could affect rivers, streams and wetlands have not been analyzed in terms of Statewide Planning Goal 5 (Natural Resources) as required by Oregon Administrative Rule 660-12-0025(2) and (3)(b). Thus, prior to construction a Goal 5 analysis will be completed and proper permits obtained.



- Existing Park and Rides
- WES Commuter Rail Station
- WES Commuter Rail
- Expansions of Fixed Route Bus Transit Service
- Existing Fixed-Route Bus Transit Service
- Partial Fixed Route Shuttle Service
- Potential Future Route Shuttle Service as Demand Grows
- Proposed New Bus Line
- Planning Area Boundary
- Major Transit Stops
- Park and Ride System Expansion

This map is derived from various digital databasesources. While an attempt has been made to provide an accurate map, the City of Tualatin assumes no responsibility or liability for any errors or omissions in the information. This map is provided "as is". -TualGIS

## Steve Koper

---

**From:** Stephenson, Garrett H. <GStephenson@SCHWABE.com>  
**Sent:** Wednesday, February 8, 2023 5:10 PM  
**To:** Mike McCarthy  
**Cc:** 'Ashley Doty'; Tony Doran; Steve Koper; 'Josh Soper'; 'Mat Moiseve'; 'Mercedes Serra'; 'Aaron Murphy'; Keith Leonard  
**Subject:** RE: Alden Apartments (AR22-0008) - Frontage Conditions Meeting  
**Attachments:** 22791-Alden Apartments-Sagert Turn Lane Memo-2023-02-06.pdf; 22791-Alden Aprts-Proposed Frontage Improvements Exhibit.pdf

Mike:

This office represents ColRich Communities Inc., which is the applicant for the infill project in the existing Alden Apartments. As you may recall, we met in mid-January to discuss the City's proposed conditions for boundary street improvements for the Alden Apartments, particularly those on Sagert Lane and Martinazzi. During the meeting, we explained our concerns that proposed conditions would likely cost in the range of \$1.8M, which for a net increase of 30 units would equate to roughly \$60,000 in per-unit transportation improvement costs *before* any TDT or local SDCs are assessed. Specifically, we were (and continue to be) concerned that this is not roughly proportional to the traffic impact of these facilities, in light of the minimal traffic impacts of these 30 units.

At the meeting, you had indicated that your primary concern was turning movements on Sagert, and 3J and Kittelson agreed to evaluate the possibility of a reduced-width turn lane in that street. They have done so, and I enclose their findings in the attached PDF. They found that while there might be some savings in a reduced-width improvement vs. a full width turn lane, the costs of such an improvement is estimated to be \$1.1M, and that is *without* any of the other improvements proposed to be required for Martinazzi or Avery Street. Therefore, even if the only improvements ColRich provided were a turn lane and frontage improvements on Sagert, we are still in the neighborhood of \$37,000 in frontage improvement costs per unit for this improvement. Given that our updated queuing analysis shows that we can expect less than one additional vehicle trip through the Property's Sagert Street driveway in the AM and PM peak, we do not believe that such a requirement could meet the 5<sup>th</sup> Amendment proportionality requirement. This is largely because the project involves a relatively small amount of new units and because the vast majority of the new units will take their access from Martinazzi, not Sagert.

There are already sidewalks on Sagert and Martinazzi, so ColRich's proposal (see the attached plan) is to construct sidewalks and associated improvements on SW Avery Street, and improve the existing driveways to meet ADA requirements. However, at this point ColRich maintains its position that frontage improvements along Martinazzi and Sagert, and/or a turn lane on Sagert, would be far out of proportion to the traffic impact from this infill project.

We would really appreciate it if you considered this proposal with your staff and colleagues. Once you've done so, I think it would make sense for us to have a follow up call, if you're open to that.

Thanks very much for hearing us out on this, and we sincerely appreciate your consideration of our concerns and our counterproposal.

Best regards,

Garrett

**Garrett H. Stephenson**

Shareholder

Direct: 503-796-2893

Mobile: 503-320-3715

[gstephenson@schwabe.com](mailto:gstephenson@schwabe.com)

**Schwabe Williamson & Wyatt**

[Please visit our COVID-19 Resource page](#)



---

NOTICE: This email may contain material that is confidential, privileged and/or attorney work product for the sole use of the intended recipient. Any review, reliance or distribution by others or forwarding without express permission is strictly prohibited. If you are not the intended recipient, please contact the sender and delete all copies.