



TUALATIN CITY PLANNING COMMISSION MEETING

THURSDAY, NOVEMBER 17, 2022

TUALATIN SERVICE CENTER
10699 SW HERMAN ROAD
TUALATIN, OR 97062

OR VIA ZOOM MEETING:

<https://us02web.zoom.us/j/86407891119?pwd=ZTg0K2F6WDBPYUI6OExGMm5ITjNVZz09>

Meeting ID: 864 0789 1119
Passcode: 072010
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Bill Beers, Chair
Daniel Bachhuber Randall Hledik
Zach Wimer Janelle Thompson
Ursula Kuhn Brittany Valli

CALL TO ORDER & ROLL CALL

ANNOUNCEMENTS & PLANNING COMMISSION COMMUNICATION

COMMUNICATION FROM THE PUBLIC (NOT ON THE AGENDA)

Limited to 3 minutes

ACTION ITEMS

1. Consideration of an Industrial Master Plan application (IMP 22-0001) to amend a setback standard memorialized under IMP 00-01, for the Lam campus on 58 acres zoned Manufacturing Park (MP) at 11155 SW Leveton Drive. (Tax Lots: 2S122AA 00500, 00800 and 2S122AB 00100)

FUTURE ACTION ITEMS

ADJOURNMENT



City of Tualatin

CITY OF TUALATIN Staff Report

TO: Tualatin Planning Commissioners
THROUGH: Steve Koper, Assistant Community Development Director
FROM: Erin Engman, Senior Planner
DATE: November 17, 2022

SUBJECT:

Consideration of an Industrial Master Plan application (IMP 22-0001) to amend a setback standard memorialized under IMP 00-01, for the Lam campus on 58 acres zoned Manufacturing Park (MP) at 11155 SW Leveton Drive. (Tax Lots: 2S122AA 00500, 00800 and 2S122AB 00100)

RECOMMENDATION:

Based on staff analysis and findings, as well as the application materials demonstrating compliance with the applicable approval criteria, staff respectfully recommends approval of the subject Industrial Master Plan application (IMP 22-0001) with recommended conditions of approval, provided in the attached written order.

EXECUTIVE SUMMARY:

- The subject proposal is a Type III land use case, subject to a quasi-judicial hearing before the Tualatin Planning Commission.
- The subject site comprises 58 acres of land in the Manufacturing Park zone, located on SW Leveton Drive, west of 108th Avenue, and south of SW Tualatin Road. The land is currently occupied by Lam Research Corporation and is improved with five buildings and associated parking.
- The Industrial Master Plan process is intended to achieve a campus-like setting, while allowing development to occur independently on a number of smaller parcels within that area. An Industrial Master Plan is optional for any development in the Manufacturing Park (MP) Zone and may be used to modify development standards for internal circulation, building location and orientation, street frontage, parking, setbacks, building height, or lot size.
- The subject site has a previously approved Industrial Master Plan 00-01, which was adopted by Resolution 3805-01 (Exhibit D) and included three conditions of approval to: (1) establish modified development standards, (2) recognize that public facilities are reviewed under the Architectural Review process, and (3) establish building material and colors for the campus.
- The applicant requests approval to amend Conditions of Approval 1.a. and 1.b. from IMP 00-01, as such:
 - Building Setbacks:
 - Interior side and rear yard setback: Reduced from 20 feet to 0 feet.
 - Side yard setback to JAE (property to west): Reduced from 100 feet to 50 feet.
 - Parking and Circulation Setbacks:
 - Adjacent to Leveton Drive: Reduced from 108 feet to 50 feet.
 - Interior to site: Plan sheet reference to 0 feet
 - Side yard setback to JAE (property to west): Plan sheet reference to 9.5 feet

- The request to amend setbacks will: bring some modified standards into conformance with the underlying MP Zone, will remove the nonconforming development status for accessory structures that resulted from a property line adjustment recorded after Resolution No. 3805-01 was adopted, and will remove reference to a scanned plan sheet that provides no dimensions.
- The setback requests also support a corresponding Architectural Review application (AR 22-0006) to construct a four-story, 120,000 square foot office building, two new access drives off of SW 108th, and parking lot expansions by approximately 578 stalls. While IMP 00-01 did anticipate this future office building, the campus parking areas have been modified. IMP 00-01 originally envisioned two parking structures on the east side of the campus with a surface parking lot on the north east end of the site. Lam would now like to trade the anticipated parking structures with surface parking, by expanding two existing lots and by creating new lots that wrap along the eastern edge of the site. The setback reduction would provide flexibility to construct additional surface stalls near the new building.
- One public comment was received (Exhibit C) which inquired about the existing street trees and screening along SW Tualatin Road. With recommended Condition of Approval 3, the applicant will be required to maintain this existing landscape screening.
- Staff proposes to streamline and format the amended IMP 00-01 conditions into a more concise and legible fashion.

OUTCOMES OF DECISION:

Approval of IMP 22-0001 will:

- Modify building setbacks for interior side and rear yards from 20 feet to 0 feet;
- Modify building setbacks for the side yard adjacent to JAE from 100 feet to 50 feet;
- Modify parking and circulation setback adjacent to SW Leveton Drive from 108 feet to 50 feet;
- Modify parking and circulation setbacks for interior side and rear yards from a plan sheet reference to 0 feet;
- Modify parking and circulation setbacks for the side yard adjacent to JAE from a plan sheet reference to 9.5 feet;
- Uphold other modified development standards approved under IMP 00-01 in a concise and legible fashion; and
- Facilitate review of AR 22-0006 as proposed.

ALTERNATIVES TO RECOMMENDATION:

The Planning Commission may alternatively:

- Approve IMP 22-0001 with amended conditions of approval and direct staff to provide updated Analysis and Findings;
- Continue the hearing to a later date for further consideration; or
- Deny IMP 22-0001.

ATTACHMENTS:

- Attachment A - Analysis and Findings
 - Exhibit A1 - Narrative
 - Exhibit A2 – Plan Set and Elevations
 - Exhibit A3 – Supporting Documents
 - Exhibit A4 – Recorded Easements
 - Exhibit B – Public Noticing Requirements

Exhibit C – Public Comment

Exhibit D – Resolution 3805-01

Exhibit E – Record of Survey 33034 (PLA 16-006)

- Attachment B - Presentation

- Attachment C - Written Order



ANALYSIS AND FINDINGS
LAM RESEARCH CAMPUS

Republished on November 16, 2022

Case #:	IMP 22-0001
Project:	Lam Research Corporation Campus
Location:	11155-11361 SW Leveton Drive; Tax Lots: 2S122AA 500 and 800; 2S122AB 100
Representative:	Suzannah Stanley, Mackenzie
Owner:	Lam Research Corporation

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Arrangements can be made to provide these materials in alternative formats such as large type or audio recording. Please contact the Planning Division at 503.691.3026 and allow as much lead time as possible.

I. INTRODUCTION

A. Applicable Criteria

The following Chapters of the Tualatin Development Code (TDC) are applicable to the subject proposal:

- TDC 33.050: Industrial Master Plan
- TDC 62: Manufacturing Park (MP) Zone

B. Site Description

The subject site is a 58 acre campus located at 11155 SW Leveton Drive (Washington County Tax Lots: 2S122AA 500 and 800; 2S122AB 100), and is zoned Manufacturing Park (MP).

The site currently consists of three lots, five buildings, and associated parking. This property is located in the former Leveton Taxing District; north of SW Leveton Drive, west of SW 108th Avenue, and south of SW Tualatin Road. The land reaches a high point of 188 feet in elevation in the northwest corner and slopes down to a low point of 146 feet near the southern end of the property.

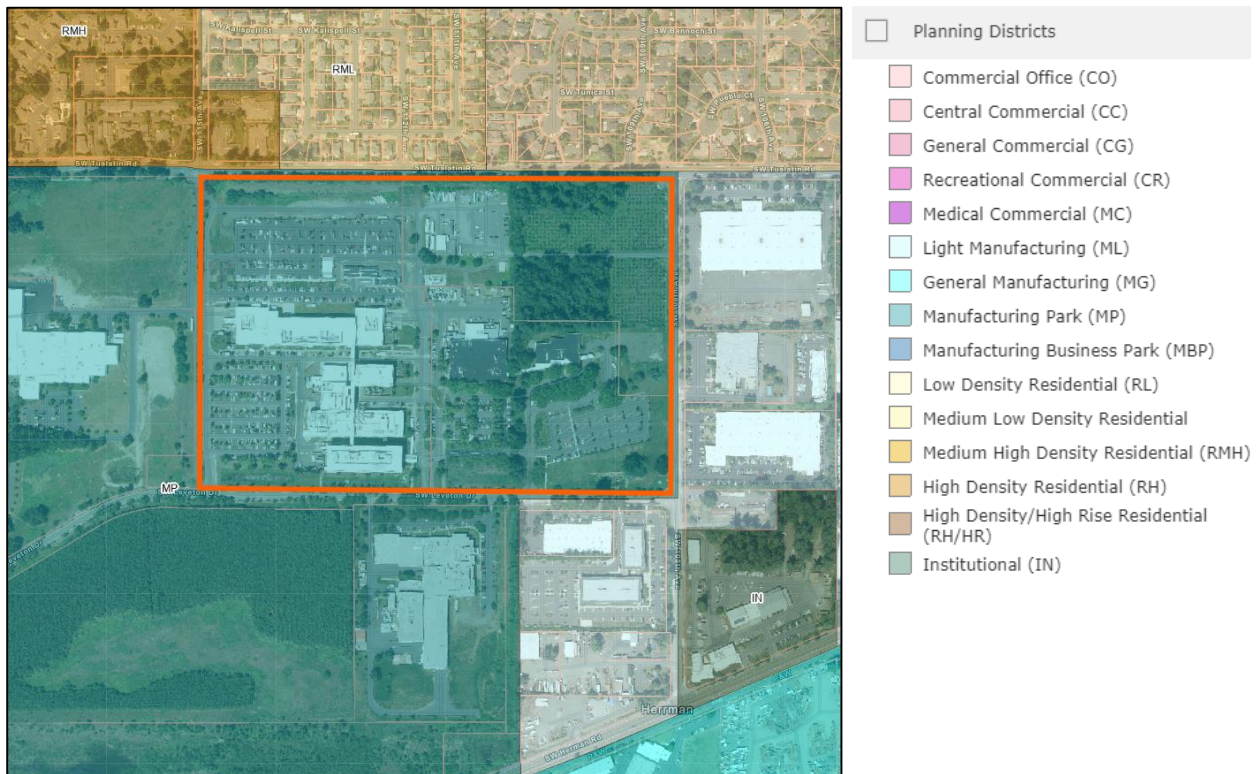


Figure 1: Aerial view of subject site (highlighted)

C. Proposed Project

The Lam campus has a previously approved Industrial Master Plan (IMP 00-01) that was adopted through Resolution No. 3805-01 and included as Exhibit D. IMP 00-01 included three conditions of approval to: (1) establish modified development standards, (2) recognize that public facilities are reviewed under the Architectural Review process, and (3) establish building material and colors for the campus.

As described in the applicant’s narrative (Exhibit A1), Lam Research would like to modify two conditions of approval from IMP00-01.

Condition of Approval 1.a., which states:

“To meet the requirements of the TDC, through the Architectural Review process, building setbacks shall not be approved less than 68 feet to SW Leveton Drive and 98 feet to SW 108th Avenue after required dedication of right- of-way, turn lane and intersection improvements. Building setbacks to SW Tualatin Road shall meet the requirements of TDC 62. 060(2)(a) and 62. 080(2). Interior side yard building setbacks shall be no less than 20 feet, except setbacks to the common property line with JAE shall be no less than 100 feet.”

And Condition of Approval 1.b., which states:

“To meet the requirements of the TDC, through the Architectural Review process parking/ circulation setbacks shall not be approved less than 108 feet to SW Leveton Drive and 43 feet to SW 108th Avenue after required dedication of right- of-way, turn lane and intersection improvements. Interior side yard parking and circulation setbacks shall be as shown on Exhibit 2, Sheet SD- 5, dated December 22, 2000.”

This request includes the following modifications to setback standards for the campus development, including:

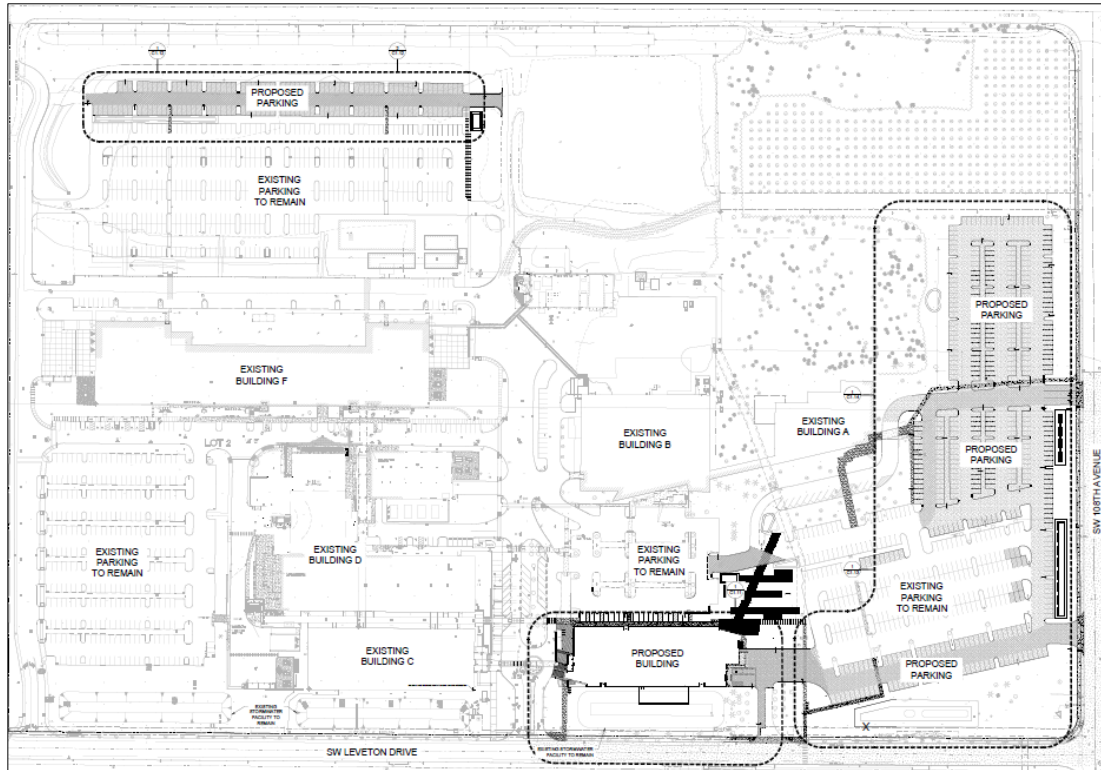
- Building setbacks from interior lot lines (from 20 feet to 0 feet);
- Building side yard setbacks from adjacent property to the west (from 100 feet to 50 feet);
- Parking and circulation area setbacks from Leveton Drive (from 108 feet to 50 feet);
- Parking and circulation area setbacks from interior and rear lot lines (from plan sheet reference to 0 feet);
- Parking and circulation area setbacks from adjacent property to the west (from plan sheet reference to 9.5 feet); and
- Other conditions of Resolution No. 3805-01 (IMP 00-01) remain valid.

The request to amend setbacks will: bring some modified standards into conformance with the underlying MP Zone, will remove the nonconforming development status for accessory structures that resulted from a property line adjustment recorded after Resolution No. 3805-01 was adopted, and will remove reference to a scanned plan sheet that provides no dimensions.

The request will also support a separate Architectural Review application (AR 22-0006) request to construct a four-story, 120,000 square foot office building sited on the south end of the property and east of the main entrance. The proposal includes an expansion of parking areas by approximately 578 stalls to support an increase of approximately 600 new employees. The application also includes two new access points off of SW 108th Avenue to serve the new parking area.

While IMP 00-01 did anticipate this future office building, its general location, and new access drives; the newly proposed parking area has been modified. IMP 00-01 originally envisioned two parking structures on the east side of the campus with a surface parking lot on the north east end of the site. Lam would now like to trade the anticipated parking structures with surface parking, by expanding two existing lots and by creating new lots that wrap along the eastern edge of the site.

Figure 2: Site Plan (overview)



D. Previous Land Use Actions

- AR 20-0001 – Lam Building D Addition
- AR 16-0010 – Lam Campus Parking Master Plan
- PLA 16-006 – Property Line Adjustment
- AR 15-0029 – Building D Expansion
- PAR 00-04 – Partition
- AR 00-03 – Novellus Phase 1
- IMP 00-01 – Novellus
- AR 89-24 – Oki Semiconductor

E. Surrounding Uses

Surrounding areas indicate a transitional area including industrial and residential use. Adjacent land uses include:

North: Residential Medium-Low Density (RML)

- SW Tualatin Road
- Fox Run Subdivision

South: Manufacturing Park (MP)

- SW Leveton Drive
- Fujimi Corporation

West: Manufacturing Park (MP)

- JAE Corporation
- Vacant land (Phight LLC)

East: Light Manufacturing (ML)

- SW 108th Avenue
- Ascentec Engineering LLC
- Olympus Controls

F. Exhibit List

Exhibit A1 - Narrative

Exhibit A2 – Plan Set and Elevations

Exhibit A3 – Supporting Documents

Exhibit A4 – Recorded Easements

Exhibit B – Public Noticing Requirements

Exhibit C – Public Comment

Exhibit D – Resolution 3805-01

Exhibit E – Record of Survey 33034 (PLA 16-006)

II. PLANNING FINDINGS

These findings reference the Tualatin Development Code (TDC), unless otherwise noted.

Chapter 32: Procedures

Section 32.010 – Purpose and Applicability.

[...]

(2) **Applicability of Review Procedures.** All land use and development permit applications and decisions, will be made by using the procedures contained in this Chapter. The procedure “type” assigned to each application governs the decision-making process for that permit or application. There are five types of permit/application procedures as described in subsections (a) through (e) below. Table 32-1 lists the City’s land use and development applications and corresponding review procedure(s).

[...]

(c) **Type III Procedure (Quasi-Judicial Review – Public Hearing).** Type III procedure is used when the standards and criteria require discretion, interpretation, or policy or legal judgment. Quasi-Judicial decisions involve discretion but implement established policy. Type III decisions are made by the Planning Commission or Architectural Review Board and require public notice and a public hearing, with an opportunity for appeal to the City Council.

[...]

(3) **Determination of Review Type.** Unless specified in Table 32-1, the City Manager will determine whether a permit or application is processed as Type I, II, III, IV-A or IV-B based on the descriptions above. Questions regarding the appropriate procedure will be resolved in favor of the review type providing the widest notice and opportunity to participate. An applicant may choose to elevate a Type I or II application to a higher numbered review type, provided the applicant pays the appropriate fee for the selected review type.

Table 32-1 – Applications Types and Review Procedures

Application / Action	Type	Decision Body*	Appeal Body*	Pre-Application Conference Required	Neighborhood /Developer Mtg Required	Applicable Code Chapter
Industrial Master Plans	III	PC	CC	Yes	Yes	33.050
[...]						
* City Council (CC); Planning Commission (PC)						

Finding:

The proposal is to modify conditions of approval for IMP 00-01 that was memorialized under Resolution 3805-01. This action requires an Industrial Use Permit application which is classified as a Type III Procedure Types according to Table 32-1. The application has been processed according to the applicable code for Type III procedures. This standard is met.

Section 32.030 – Time to Process Applications.

(1) **Time Limit - 120-day Rule.** The City must take final action on all Type II, Type III, and Type IV-A land use applications, as provided by ORS 227.178, including resolution of all local appeals, within 120 days after the application has been deemed complete under TDC 32.160, unless the applicant provides written request or consent to an extension in compliance with ORS 227.178. (Note: The 120-day rule does not apply to Type IV-B (Legislative Land Use) decisions.)

[...]

Finding:

The application was deemed complete on September 15, 2022, and the hearing for IMP 22-0001 is scheduled for November 17, 2022. Final action will take place by January 13, 2023 in compliance with ORS 227.178. This standard is met.

Section 32.110 – Pre-Application Conference.

(1) Purpose of Pre-Application Conferences. Pre-application conferences are intended to familiarize applicants with the requirements of the TDC; to provide applicants with an opportunity discuss proposed projects in detail with City staff; and to identify approval criteria, standards, and procedures prior to filing a land use application. The pre-application conference is intended to be a tool to assist applicants in navigating the land use process, but is not intended to be an exhaustive review that identifies or resolves all potential issues, and does not bind or preclude the City from enforcing any applicable regulations or from applying regulations in a manner differently than may have been indicated at the time of the pre-application conference.

(2) When Mandatory. Pre-application conferences are mandatory for all land use actions identified as requiring a pre-application conference in Table 32-1. An applicant may voluntarily request a pre-application conference for any land use action even if it is not required.

(3) Timing of Pre-Application Conference. A pre-application conference must be held with City staff before an applicant submits an application and before an applicant conducts a Neighborhood/Developer meeting.

(4) Application Requirements for Pre-Application Conference.

(a) Application Form. Pre-application conference requests must be made on forms provided by the City Manager.

(b) Submittal Requirements. Pre-application conference requests must include:

(i) A completed application form;

(ii) Payment of the application fee;

(iii) The information required, if any, for the specific pre-application conference sought; and

(iv) Any additional information the applicant deems necessary to demonstrate the nature and scope of the proposal in sufficient detail to allow City staff to review and comment.

(5) Scheduling of Pre-Application Conference. Upon receipt of a complete application, the City Manager will schedule the pre-application conference. The City Manager will coordinate the involvement of city departments, as appropriate, in the pre-application conference. Pre-application conferences are not open to the general public.

(6) Validity Period for Mandatory Pre-Application Conferences; Follow-Up Conferences. A follow-up conference is required for those mandatory pre-application conferences that have previously been held when:

(a) An application relating to the proposed development that was the subject of the pre-application conference has not been submitted within six (6) months of the pre-application conference;

(b) The proposed use, layout, and/or design of the proposal have significantly changed; or

(c) The owner and/or developer of a project changes after the pre-application conference and prior to application submittal.

Finding:

The subject land use action is identified as requiring a pre-application conference in Table 32-1. The applicant participated in a pre-application meeting on July 22, 2022, less than one month prior to submittal. These standards are met.

Section 32.120 – Neighborhood/Developer Meetings.

(1) Purpose. The purpose of this meeting is to provide a means for the applicant and surrounding property owners to meet to review a development proposal and identify issues regarding the proposal so they can be considered prior to the application submittal. The meeting is intended to allow the developer and neighbors to share information and concerns regarding the project. The applicant may consider whether to incorporate solutions to these issues prior to application submittal.

(2) When Mandatory. Neighborhood/developer meetings are mandatory for all land use actions identified in Table 32-1 as requiring a neighborhood/developer meeting. An applicant may voluntarily conduct a neighborhood/developer meeting even if it is not required and may conduct more than one neighborhood/developer meeting at their election.

(3) Timing. A neighborhood/developer meeting must be held after a pre-application meeting with City staff, but before submittal of an application.

(4) Time and Location. Required neighborhood/developer meetings must be held within the city limits of the City of Tualatin at the following times:

(a) If scheduled on a weekday, the meeting must begin no earlier than 6:00 p.m.

(b) If scheduled on a weekend, the meeting must begin between 10:00 a.m. and 6:00 p.m.

(5) Notice Requirements.

(a) The applicant must provide notice of the meeting at least 14 calendar days and no more than 28 calendar days before the meeting. The notice must be by first class mail providing the date, time, and location of the meeting, as well as a brief description of the proposal and its location. The applicant must keep a copy of the notice to be submitted with their land use application.

(b) The applicant must mail notice of a neighborhood/developer meeting to the following persons:

(i) All property owners within 1,000 feet measured from the boundaries of the subject property;

(ii) All property owners within a platted residential subdivision that is located within 1,000 feet of the boundaries of the subject property. The notice area includes the entire subdivision and not just those lots within 1,000 feet. If the residential subdivision is one of two or more individually platted phases sharing a single subdivision name, the notice area need not include the additional phases; and

(iii) All designated representatives of recognized Citizen Involvement Organizations as established in TMC Chapter 11-9.

(c) The City will provide the applicant with labels for mailing for a fee.

(d) Failure of a property owner to receive notice does not invalidate the neighborhood/developer meeting proceedings.

(6) Neighborhood/Developer Sign Posting Requirements. The applicant must provide and post on the subject property, at least 14 calendar days before the meeting. The sign must conform to the design and placement standards established by the City for signs notifying the public of land use actions in TDC 32.150.

(7) Neighborhood/Developer Meeting Requirements. The applicant must have a sign-in sheet for all attendees to provide their name, address, telephone number, and email address and keep a copy of the sign-in sheet to provide with their land use application. The applicant must prepare meeting notes identifying the persons attending, those commenting and the substance of the comments expressed, and the major points that were discussed. The applicant must keep a copy of the meeting notes for submittal with their land use application.

Finding:

The applicant has provided evidence within Exhibit A3 that they held a Neighborhood/Developer meeting on August 16, 2022, one day prior to application submittal. The applicant has provided documentation of

sign posting and notification in compliance with this section, as well as a sign-in sheet and notes from the meeting. These standards are met.

Section 32.130 – Initiation of Applications.

(1) Type I, Type II, Type III, and Type IV-A Applications. Type I, Type II, Type III, and Type IV-A applications may be submitted by one or more of the following persons:

- (a) The owner of the subject property;
- (b) The contract purchaser of the subject property, when the application is accompanied by proof of the purchaser's status as such and by the seller's written consent;
- (c) A lessee in possession of the property, when the application is accompanied by the owners' written consent; or
- (d) The agent of any of the foregoing, when the application is duly authorized in writing by a person authorized to submit an application by paragraphs (a), (b) or (c) of this subsection, and accompanied by proof of the agent's authority.

[...]

Finding:

The application has been signed by a representative of Lam Research Corporation, who is the owner of the subject property. This standard is met.

Section 32.140 – Application Submittal.

(1) Submittal Requirements. Land use applications must be submitted on forms provided by the City. A land use application may not be accepted in partial submittals. All information supplied on the application form and accompanying the application must be complete and correct as to the applicable facts. Unless otherwise specified, all of the following must be submitted to initiate completeness review under TDC 32.160:

- (a) A completed application form. The application form must contain, at a minimum, the following information:
 - (i) The names and addresses of the applicant(s), the owner(s) of the subject property, and any authorized representative(s) thereof;
 - (ii) The address or location of the subject property and its assessor's map and tax lot number;
 - (iii) The size of the subject property;
 - (iv) The comprehensive plan designation and zoning of the subject property;
 - (v) The type of application(s);
 - (vi) A brief description of the proposal; and
 - (vii) Signatures of the applicant(s), owner(s) of the subject property, and/or the duly authorized representative(s) thereof authorizing the filing of the application(s).
- (b) A written statement addressing each applicable approval criterion and standard;
- (c) Any additional information required under the TDC for the specific land use action sought;
- (d) Payment of the applicable application fee(s) pursuant to the most recently adopted fee schedule;
- (e) Recorded deed/land sales contract with legal description.
- (f) A preliminary title report or other proof of ownership.
- (g) For those applications requiring a neighborhood/developer meeting:
 - (i) The mailing list for the notice;
 - (ii) A copy of the notice;
 - (iii) An affidavit of the mailing and posting;
 - (iv) The original sign-in sheet of participants; and
 - (v) The meeting notes described in TDC 32.120(7).

(h) A statement as to whether any City-recognized Citizen Involvement Organizations (CIOs) whose boundaries include, or are adjacent to, the subject property were contacted in advance of filing the application and, if so, a summary of the contact. The summary must include the date when contact was made, the form of the contact and who it was with (e.g. phone conversation with neighborhood association chairperson, meeting with land use committee, presentation at neighborhood association meeting), and the result;

(i) Any additional information, as determined by the City Manager, that may be required by another provision, or for any other permit elsewhere, in the TDC, and any other information that may be required to adequately review and analyze the proposed development plan as to its conformance to the applicable criteria;

(2) Application Intake. Each application, when received, must be date-stamped with the date the application was received by the City, and designated with a receipt number and a notation of the staff person who received the application.

(3) Administrative Standards for Applications. The City Manager is authorized to establish administrative standards for application forms and submittals, including but not limited to plan details, information detail and specificity, number of copies, scale, and the form of submittal.

Finding:

The applicant submitted the subject application on August 17, 2022, and the application was deemed complete on September 15, 2022. The general land use submittal requirements were included with this application. These standards are met.

Section 32.150 - Sign Posting.

(1) When Signs Posted. Signs in conformance with these standards must be posted as follows:

(a) Signs providing notice of an upcoming neighborhood/developer meeting must be posted prior to a required neighborhood/developer meeting in accordance with Section 32.120(6); and

(b) Signs providing notice of a pending land use application must be posted after land use application has been submitted for Type II, III and IV-A applications.

(2) Sign Design Requirements. The applicant must provide and post a sign(s) that conforms to the following standards:

(a) Waterproof sign materials;

(b) Sign face must be no less than eighteen (18) inches by twenty-four (24) inches (18" x 24"); and

(c) Sign text must be at least two (2) inch font.

(3) On-site Placement. The applicant must place one sign on their property along each public street frontage of the subject property. (Example: If a property adjoins four public streets, the applicant must place a sign at each of those public street frontages for a total of four signs). The applicant cannot place the sign within public right of way.

(4) Removal. If a sign providing notice of a pending land use application disappears prior to the final decision date of the subject land use application, the applicant must replace the sign within forty-eight (48) hours of discovery of the disappearance or of receipt of notice from the City of its disappearance, whichever occurs first. The applicant must remove the sign no later than fourteen (14) days after:

(a) The meeting date, in the case of signs providing notice of an upcoming neighborhood/developer meeting; or

(b) The City makes a final decision on the subject land use application, in the case of signs providing notice of a pending land use application.

Finding:

The applicant provided certification within Exhibit A3 that signs in conformance with this section were placed on site in accordance with this section. This standard is met.

Section 32.160 – Completeness Review.

- (1) Duration.** Except as otherwise provided under ORS 227.178, the City Manager must review an application for completeness within 30 days of its receipt.
- (2) Considerations.** Determination of completeness will be based upon receipt of the information required under TDC 32.140 and will not be based on opinions as to quality or accuracy. Applications that do not respond to relevant code requirements or standards can be deemed incomplete. A determination that an application is complete indicates only that the application is ready for review on its merits, not that the City will make a favorable decision on the application.
- (3) Complete Applications.** If an application is determined to be complete, review of the application will commence.
- (4) Incomplete Applications.** If an application is determined to be incomplete, the City Manager must provide written notice to the applicant identifying the specific information that is missing and allowing the applicant the opportunity to submit the missing information. An application which has been determined to be incomplete must be deemed complete for purposes of this section upon receipt of:
 - (a)** All of the missing information;
 - (b)** Some of the missing information and written notice from the applicant that no other information will be provided; or
 - (c)** Written notice from the applicant that none of the missing information will be provided.
- (5) Vesting.** If an application was complete at the time it was first submitted, or if the applicant submits additional required information within 180 days of the date the application was first submitted, approval or denial of the application must be based upon the standards and criteria that were in effect at the time the application was first submitted.
- (6) Void Applications.** An application is void if the application has been on file with the City for more than 180 days and the applicant has not provided the missing information or otherwise responded, as provided in subsection (4) of this section.
[...]

Finding:

The subject application was submitted on August 17, 2022. The application was deemed complete on September 15, 2022. These standards are met.

Section 32.230 – Type III Procedure (Quasi-Judicial Review – Public Hearing).

Type III decisions involve the use of discretion and judgment and are made by the Planning Commission or Architectural Review Board after a public hearing with an opportunity for appeal to the City Council. The decision body for each application type is specified in Table 32-1. A hearing under these procedures provides a forum to apply standards to a specific set of facts to determine whether the facts conform to the applicable criteria and the resulting determination will directly affect only a small number of identifiable persons.

- (1) Submittal Requirements.** Type III applications must include the submittal information required by TDC 32.140(1).
- (2) Determination of Completeness.** After receiving an application for filing, the City Manager will review the application will for completeness in accordance with TDC 32.160.
- (3) Written Notice of Public Hearing – Type III.** Once the application has been deemed complete, the City must mail by regular first class mail Notice of a Public Hearing to the following individuals and agencies no fewer than 20 days before the hearing.
 - (a) Recipients:**
 - (i)** The applicant and, the owners of the subject property;
 - (ii)** All property owners within 1,000 feet measured from the boundaries of the subject property;

- (iii) All property owners within a platted residential subdivision that is located within 1,000 feet of the boundaries of the subject property. The notice area includes the entire subdivision and not just those lots within 1,000 feet. If the residential subdivision is one of two or more individually platted phases sharing a single subdivision name, the notice area need not include the additional phases;
 - (iv) All recognized neighborhood associations within 1,000 feet from the boundaries of the subject property;
 - (v) All designated representatives of recognized Citizen Involvement Organizations as established in TMC Chapter 11-9;
 - (vi) Any person who submits a written request to receive a notice;
 - (vii) Any governmental agency that is entitled to notice under an intergovernmental agreement entered into with the City and any other affected agencies, including but not limited to: school districts; fire district; where the project either adjoins or directly affects a state highway, the Oregon Department of Transportation; and where the project site would access a County road or otherwise be subject to review by the County, then the County; and Clean Water Services; Tri Met; and, ODOT Rail Division and the railroad company if a railroad-highway grade crossing provides or will provide the only access to the subject property. The failure of another agency to respond with written comments on a pending application does not invalidate an action or permit approval made by the City under this Code;
 - (viii) Utility companies (as applicable); and,
 - (ix) Members of the decision body identified in Table 32-1.
- (b) The Notice of a Public Hearing, at a minimum, must contain all of the following information:
 - (i) The names of the applicant(s), any representative(s) thereof, and the owner(s) of the subject property;
 - (ii) The street address if assigned, if no street address has been assigned then Township, Range, Section, Tax Lot or Tax Lot ID;
 - (iii) The type of application and a concise description of the nature of the land use action;
 - (iv) A list of the approval criteria by TDC section for the decision and other ordinances or regulations that apply to the application at issue;
 - (v) Brief summary of the local decision making process for the land use decision being made and a general explanation of the requirements for submission of testimony and the procedure for conduct of hearings;
 - (vi) The date, time and location of the hearing;
 - (vii) Disclosure statement indicating that if any person fails to address the relevant approval criteria with enough detail, he or she may not be able to appeal to the Land Use Board of Appeals on that issue, and that only comments on the relevant approval criteria are considered relevant evidence;
 - (viii) The name of a City representative to contact and the telephone number where additional information may be obtained; and
 - (ix) Statement that the application and all documents and evidence submitted to the City are in the public record and available for review, and that copies can be obtained at a reasonable cost from the City; and
 - (x) Statement that a copy of the staff report will be available for inspection at no cost at least seven days prior to the hearing and will be provided at reasonable cost.
- (c) Failure of a person or agency to receive a notice, does not invalidate any proceeding in connection with the application, provided the City can demonstrate by affidavit that required notice was given.

Finding:

After submittal and completeness review as required by this section, notice for the Type III hearing concerning IMP22-0001 was mailed by city staff on October 28, 2022 as Exhibit B, which contained the information required by this section. ~~One~~ Two public comments ~~was~~ were received (Exhibit C) ~~and that~~ inquired about the existing street trees and screening along SW Tualatin Road. With recommended Condition of Approval 3, the applicant will be required to maintain the existing landscape screening.

(4) Conduct of the Hearing - Type III.

The person chairing the hearing must follow the order of proceedings set forth below. These procedures are intended to provide all interested persons a reasonable opportunity to participate in the hearing process and to provide for a full and impartial hearing on the application before the body. Questions concerning the propriety or the conduct of a hearing will be addressed to the chair with a request for a ruling. Rulings from the chair must, to the extent possible, carry out the stated intention of these procedures. A ruling given by the chair on such question may be modified or reversed by a majority of those members of the decision body present and eligible to vote on the application before the body. The procedures to be followed by the chair in the conduct of the hearing are as follows:

- (a) At the commencement of the hearing, the person chairing the hearing must state to those in attendance all of the following information and instructions:
 - (i) The applicable substantive criteria;
 - (ii) That testimony, arguments and evidence must be directed toward the criteria described in paragraph (i) of this subsection or other criteria in the plan or land use regulation which the person believes to apply to the decision;
 - (iii) That failure to raise an issue accompanied by statements or evidence sufficient to afford the decision maker and the parties an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals based on that issue;
 - (iv) At the conclusion of the initial evidentiary hearing, the decision body must deliberate and make a decision based on the facts and arguments in the public record; and
 - (v) Any participant may ask the decision body for an opportunity to present additional relevant evidence or testimony that is within the scope of the hearing; if the decision body grants the request, it will schedule a date to continue the hearing as provided in TDC 32.230(4)(e), or leave the record open for additional written evidence or testimony as provided TDC 32.230(4)(f).
- (b) The public is entitled to an impartial decision body as free from potential conflicts of interest and pre-hearing ex parte (outside the hearing) contacts as reasonably possible. Where questions related to ex parte contact are concerned, members of the decision body must follow the guidance for disclosure of ex parte contacts contained in ORS 227.180. Where a real conflict of interest arises, that member or members of the decision body must not participate in the hearing, except where state law provides otherwise. Where the appearance of a conflict of interest is likely, that member or members of the decision body must individually disclose their relationship to the applicant in the public hearing and state whether they are capable of rendering a fair and impartial decision. If they are unable to render a fair and impartial decision, they must be excused from the proceedings.
- (c) Presenting and receiving evidence.
 - (i) The decision body may set reasonable time limits for oral presentations and may limit or exclude cumulative, repetitious, irrelevant, or personally derogatory testimony or evidence;
 - (ii) No oral testimony will be accepted after the close of the public hearing. Written testimony may be received after the close of the public hearing only as provided by this section; and
 - (iii) Members of the decision body may visit the property and the surrounding area, and may use information obtained during the site visit to support their decision, if the information

relied upon is disclosed at the beginning of the hearing and an opportunity is provided to dispute the evidence.

(d) The decision body, in making its decision, must consider only facts and arguments in the public hearing record; except that it may take notice of facts not in the hearing record (e.g., local, state, or federal regulations; previous City decisions; case law; staff reports). Upon announcing its intention to take notice of such facts in its deliberations, it must allow persons who previously participated in the hearing to request the hearing record be reopened, as necessary, to present evidence concerning the newly presented facts.

(e) If the decision body decides to continue the hearing, the hearing must be continued to a date that is at least seven days after the date of the first evidentiary hearing (e.g., next regularly scheduled meeting). An opportunity must be provided at the continued hearing for persons to present and respond to new written evidence and oral testimony. If new written evidence is submitted at the continued hearing, any person may request, before the conclusion of the hearing, that the record be left open for at least seven days, so that he or she can submit additional written evidence or arguments in response to the new written evidence. In the interest of time, after the close of the hearing, the decision body may limit additional testimony to arguments and not accept additional evidence.

(f) If the decision body leaves the record open for additional written testimony, the record must be left open for at least seven days after the hearing. Any participant may ask the decision body in writing for an opportunity to respond to new evidence (i.e., information not disclosed during the public hearing) submitted when the record was left open. If such a request is filed, the decision body must reopen the record, as follows:

(i) When the record is reopened to admit new evidence or arguments (testimony), any person may raise new issues that relate to that new evidence or testimony;

(ii) An extension of the hearing or record granted pursuant to this section is subject to the limitations of TDC 32.030, unless the applicant waives his or her right to a final decision being made within the required timeframe; and

(iii) If requested by the applicant, the decision body must grant the applicant at least seven days after the record is closed to all other persons to submit final written arguments, but not evidence, provided the applicant may expressly waive this right.

Finding:

The Planning Commission will follow the hearing requirements set forth by this section. These standards will be met.

(5) Notice of Adoption of a Type III Decision.

Notice of Adoption must be provided to the property owner, applicant, and any person who provided testimony at the hearing or in writing. The Type III Notice of Adoption must contain all of the following information:

(a) A description of the applicant's proposal and the City's decision on the proposal, which may be a summary, provided it references the specifics of the proposal and conditions of approval in the public record;

(b) The address or other geographic description of the property proposed for development, including a map of the property in relation to the surrounding area;

(c) A statement that a copy of the decision and complete case file, including findings, conclusions, and conditions of approval, if any, is available for review and how copies can be obtained;

(d) The date the decision becomes final, unless a request for appeal is submitted; and

(e) The notice must include an explanation of rights to appeal the decision to the City Council in accordance with TDC 32.310.

(6) Appeal of a Type III Decision. Appeal of an Architectural Review Board or Planning Commission Type III Decision to the City Council may be made in accordance with TDC 32.310.

(7) Effective Date of a Type III Decision.

- (a) The written order is the final decision on the application.
- (b) The mailing date is the date of the order certifying its approval by the decision body.
- (c) A decision of the Architectural Review Board or Planning Commission is final unless:
 - (i) a written appeal is received at the City offices within 14 calendar days of the date notice of the final decision is mailed; or
 - (ii) The City Manager or a member of the City Council requests a review of the decision within 14 calendar days of the date notice of the final decision is mailed.

Finding:

A final decision and any appeal will follow the requirements of this section. These standards will be met.

Chapter 33: Applications and Approval Criteria

[...]

Section 33.050 Industrial Master Plans

[...]

(2) Applicability.

[...]

(b) An Industrial Master Plan is optional for any development in the Manufacturing Park (MP) Zone or Manufacturing Business Park (MBP) Zone. An Industrial Master Plan is required to do any of the following:

(i) Modify the requirements for internal circulation, building location and orientation, street frontage, parking, setbacks, building height, or lot size as provided in TDC Chapter 62 for the Manufacturing Park (MP) Zone and TDC Chapter 64 for the Manufacturing Business Park (MBP) Zone; and

(ii) Provide for individual parcels of less than 40 acres in the Manufacturing Park Zone.

However, the parcels must not be less than 15 acres north of SW Leveton Drive and five acres south of SW Leveton Drive, unless otherwise provided under TDC 62.050(1).

(c) An Industrial Master Plan must be submitted for the entire Industrial Master Plan Area and include all owners of property within the area.

Finding:

The proposal is requesting a reduction to parking setbacks that were memorialized through Resolution 3805-01. Specifically, the applicant is requesting a modification to IMP 00-01 Condition of Approval 1.b. to align the minimum required parking lot setback along SW Leveton Drive with the 50' minimum standard in the MP District. Resolution 3805-01 also modified the minimum parcel size requirement to 15 acres, as platted under PAR 00-04 (Document No. 2001082729) and modified under PLA 16-0006 (Record of Survey 33034, Exhibit E). Specifically Tract 1 is 27.23 acres, Tract 2 is 15.03 acres, and Tract 3 is 15.75 acres. Lastly the proposal includes the entirety of the master plan area which encompasses three lots under the common ownership of Lam Research Corporation.

(5) Approval Criteria.

(a) Public facilities and services, including transportation, existing or planned, for the area affected by the use are capable of supporting the proposed development or will be made capable by the time development is completed.

Finding:

The subject property is an existing developed site that is served by public facilities and services. A corresponding Architectural Review application (AR 22-0006) has been submitted to construct a four-story, 120,000 square foot office building sited on the south end of the property and east of the main entrance. The proposal includes two new driveway entrances and an expansion of parking areas by approximately 578 stalls. Staff recommends Condition of Approval 2 to recognize that the corresponding Architectural Review process will identify public facility improvements that are necessary to serve proposed development.

Transportation

Street classification and right-of-way are in accordance to the TDC 74.210 and 425. The corresponding development application, AR 22-0006, may be required to dedicate additional right-of-way necessary to comply with Figures 74-2A through 74-2G wherever existing streets adjacent to proposed development are of inadequate right-of-way width, prior to the issuance of building permits.

The Lam Campus is currently served by four driveways. Three driveways are located off of SW Leveton Drive to serve Tracts 1 and 3 and one driveway is located off of 108th SW Avenue to serve Tract 2. There is also an emergency vehicle access located off of SW Tualatin Road that the Lam property shares with the neighboring property to the west, owned by JAE Oregon Inc (See Exhibit A4, Document 89-20417). The corresponding development application, AR 22-0006, includes two new driveways off of SW 108th Avenue to serve Tracts 2 and 3.

A Declaration of Roadway, Utility, Cross-Access, and Parking Easements, recorded as document 2002-033655 (and included as Exhibit A4) describes the roadway easement rights of Partition Plat 2001-058 recorded as Document No. 2001-082729. However PLA 16-006 and Document 2017-018737 have reconfigured the property lines within the LAM campus and the Declaration was not amended and rerecorded to reflect the new lot lines.

Water

The Lam campus is served by a number of lateral connections to the public 18" high pressure water main north of SW Leveton Drive, with Tract 1 and 2 having existing water meters. In particular Tract 1 is served by an 8" service lateral and a 10" distribution lateral at Service Level A, as shown in As-Built 01-32-05. Tracts 2 and 3 are served by laterals that connect to the 12" low pressure distribution main within SW Leveton Drive, as shown in As-Built 90-08-03. Additionally Exhibit A4 (Document 2002-044680), describes a water easement located along the southern property line of Tracts 1 and 2, as well as a line that veers northwest through Tract 2 to serve Tract 3. Exhibit A2 illustrates that the future building will be served by new water laterals located southeast of the building. Finally water modeling will be required for the proposed building under AR 22-0006 to ensure that public water infrastructure is adequate to support the proposed development.

Sewer

The Lam campus is served by a 15" sanitary sewer main located in SW Leveton Drive, south of the subject property and as shown in As-Built 01-19-02. Based on the application materials submitted, it's not clear if sanitary sewer lines extend across Tracts 1-3 within the proposed development.

The corresponding development application, AR 22-0006, will be served by a 6" line that connects to the existing manhole stub, located southeast of the proposed building. No new laterals to the public system are proposed.

Stormwater

The Lam campus is served by a central storm drainage system, which includes a series of catch basins,

water quality/detention facilities that are located on the south property lines of the campus. This includes Pond A and B (Private Stormwater Facilities Agreement 2021-088690) on Tract 1, as well as Pond C and extended dry basin (Private Stormwater Facilities Agreement 2020-110089) on Tract 3. The storm water generated is detained, then metered at predevelopment flows, and is conveyed into the public storm main. This main runs east, then south down SW Herman Road, and outfalls in the Hedges Creek Subbasin.

The corresponding development application, AR 22-0006, includes a preliminary Stormwater report to address capacity for the new development proposal in accordance with TDC 74.630 and 650.

(b)The location, design, size, color and materials of the exterior of all structures for the proposed development and use is compatible with the character of other developments within the same general vicinity.

Finding:

The subject property is a developed site, with a previously approved Industrial Master Plan (IMP 00-01). The previous IMP included Condition of Approval 1.a. which provided modified building setbacks to encourage development on the south side of the site, along SW Leveton Drive to take advantage of the topographical differences and slopes on site.

IMP 00-01 also included Condition of Approval 3.a.-b., which requires that building colors and materials be reviewed through the Architectural review process and remain consistent with earth toned building colors and building materials consisting of masonry, sandstone, metal siding, and window glazing. The applicant is not asking to modify color and material standards, and therefore staff recommends Condition of Approval 3 to address the criterion.

(c)The internal circulation, building location and orientation, street frontage, parking, setbacks, building height, lot size, and access are in accordance with TDC Chapter 62 for the Manufacturing Park (MP) Zone and TDC Chapter 64 for the Manufacturing Business Park (MBP) Zone unless otherwise approved through the Industrial Master Plan process.

Finding:

The subject property is a developed site, with a previously approved Industrial Master Plan (IMP 00-01). The applicant is requesting to modify two Conditions of Approval.

Condition of Approval 1.a., which states:

“To meet the requirements of the TDC, through the Architectural Review process, building setbacks shall not be approved less than 68 feet to SW Leveton Drive and 98 feet to SW 108th Avenue after required dedication of right- of-way, turn lane and intersection improvements. Building setbacks to SW Tualatin Road shall meet the requirements of TDC 62. 060(2)(a) and 62. 080(2). Interior side yard building setbacks shall be no less than 20 feet, except setbacks to the common property line with JAE shall be no less than 100 feet.”

And Condition of Approval 1.b., which states:

“To meet the requirements of the TDC, through the Architectural Review process parking/ circulation setbacks shall not be approved less than 108 feet to SW Leveton Drive and 43 feet to SW 108th Avenue after required dedication of right- of-way, turn lane and intersection improvements. Interior side yard parking and circulation setbacks shall be as shown on Exhibit 2, Sheet SD- 5, dated December 22, 2000.”

This request includes the following modifications to setback standards for the campus development, including:

- *Building setbacks from interior lot lines (from 20 feet to 0 feet);*
- *Building side yard setbacks from adjacent property to the west (from 100 feet to 50 feet);*
- *Parking and circulation area setbacks from Leveton Drive (from 108 feet to 50 feet);*
- *Parking and circulation area setbacks from interior and rear lot lines (from plan sheet reference to 0 feet);*
- *Parking and circulation area setbacks from adjacent property to the west (from plan sheet reference to 9.5 feet); and*
- *Other conditions of Resolution No. 3805-01 (IMP 00-01) remain valid.*

The request to amend setbacks will bring some modified standards into conformance with the underlying MP Zone, will remove the nonconforming development status for accessory structures that resulted from a property line adjustment recorded after Resolution No. 3805-01 was adopted, and will remove reference to a scanned plan sheet that provides no dimensions.

The request will also support a separate Architectural Review application (AR 22-0006) request to construct a four-story, 120,000 square foot office building sited on the south end of the property and east of the main entrance. The proposal includes an expansion of parking areas by approximately 578 stalls to support an increase of approximately 600 new employees. The application also includes two new access points off of SW 108th Avenue to serve the new parking area.

While IMP 00-01 did anticipate this future office building, its general location, and new access drives; the newly proposed parking area has been modified. IMP 00-01 originally envisioned two parking structures on the east side of the campus with a surface parking lot on the north east end of the site. Lam would now like to trade the anticipated parking structures with surface parking, by expanding two existing lots and by creating new lots that wrap along the eastern edge of the site.

The table below summarizes the modified development standards requested under this Industrial Master Plan against the standards of the base MP zone.

STANDARD	MP REQUIREMENT	MODIFIED DEVELOPMENT STANDARD UNDER IMP
LOT SIZE		
Minimum Lot Size	40 acres	15 acres
MINIMUM SETBACKS		
Minimum Building Setback for Yards Adjacent to SW Leveton Drive	100 feet	68 feet
Minimum Building Setback for Yards Adjacent to SW 108th Drive	100 feet	98 feet
Minimum Building Setback for Yards Adjacent to SW Tualatin Road	100 feet	100 feet <u>No modification</u>

STANDARD	MP REQUIREMENT	MODIFIED DEVELOPMENT STANDARD UNDER IMP
Minimum Setback for Side and Rear Yards not Adjacent to Streets or Alleys	50 feet	0 feet from side and rear yards under common ownership 50 Feet from Lot 2S122BA00100 (currently owned by JAE Oregon Inc.): <u>No modification</u>
Parking and Circulation Areas Adjacent to SW Leveton Drive	50 feet	50 feet
Parking and Circulation Areas Adjacent to SW 108 th Avenue	50 feet	43 feet
Parking and Circulation Areas Adjacent to SW Tualatin Road	50 feet	35 feet
Parking and Circulation Areas Adjacent to Private Property Line	5-25 feet	0 feet from property lines under common ownership 9.5 feet from Lot 2S122BA00100 (currently owned by JAE Oregon Inc.)
Fences	50 feet from public right-of-way	50 feet from public right-of-way <u>No modification</u>
STRUCTURE HEIGHT		
Maximum Height	70 feet May be increased to 85 feet if yards adjacent to structure are not less than a distance equal to one and one-half times the height of the structure. Flagpoles may extend to 100 feet.	70 feet May be increased to 85 feet if yards adjacent to structure are not less than a distance equal to one and one-half times the height of the structure. Flagpoles may extend to 100 feet. <u>No modification</u>
Maximum Height Adjacent to Residential District	28 feet Measured at the 100-foot setback line, includes flagpoles. The building height may extend above 28 feet on a plane beginning at the 50-foot or 100-foot setback line at a slope of 45 degrees extending away from the setback line.	28 feet Measured at the 100-foot setback line, includes flagpoles. The building height may extend above 28 feet on a plane beginning at the 50-foot or 100-foot setback line at a slope of 45 degrees extending away from the setback line. <u>No modification</u>

Staff suggests Conditions of Approval 3 to memorialize modified development standards.

III. RECOMMENDATION

Based on the application materials and analysis and findings presented above, staff finds that the applicable criteria have been met relative to IMP 22-0001, and therefore recommend approval of this application with the following conditions of approval:

GENERAL:

1. If future modifications to this Industrial Master Plan are necessary, a new Industrial Master Plan application must be submitted to the City for review.

PUBLIC FACILITIES:

2. Through the Architectural Review process:
 - a. ~~Private~~ Easement declarations must be recorded and/or maintained for cross-access, parking, and utilities (including but not limited to: water, sanitary sewer, storm drainage) that extend across parcels shared under common ownership within the campus, when deemed necessary.
 - b. Utilities must serve individual parcels within the campus, in accordance with the Public Works Construction Code and TDC 74.610, 74.620, and 74.630.

LOCATION, DESIGN, COLOR AND MATERIALS
--

3. Development proposed through the Architectural Review process must:
 - a. Include building material elements consisting of, or complimentary to: masonry, sandstone, architectural metal siding, and window glazing. Color palettes must remain complimentary to earth toned shades.
 - b. Meet the modified development standards listed in the table below:

STANDARD	MODIFIED DEVELOPMENT STANDARDS UNDER IMP 22-0001
LOT SIZE	
Minimum Lot Size	15 acres
MINIMUM SETBACKS	
Minimum Building Setback for Yards Adjacent to SW Leveton Drive	68 feet
Minimum Building Setback for Yards Adjacent to SW 108th Drive	98 feet
Minimum Building Setback for Yards Adjacent to SW Tualatin Road	100 feet <u>Subject to Table 62-2 Development Standards in the MP Zone</u>
Minimum Setback for Side and Rear Yards not Adjacent to Streets or Alleys	0 feet from side and rear yards under common ownership 50 feet <u>From Lot 2S122BA00100 (currently owned by JAE Oregon Inc.); Subject to Table 62-2 Development Standards in the MP Zone</u>

STANDARD	MODIFIED DEVELOPMENT STANDARDS UNDER IMP 22-0001
Parking and Circulation Areas Adjacent to SW Leveton Drive	50 feet
Parking and Circulation Areas Adjacent to SW 108 th Avenue	43 feet
Parking and Circulation Areas Adjacent to SW Tualatin Road	35 feet
Parking and Circulation Areas Adjacent to Private Property Line	0 feet from property lines under common ownership 9.5 feet from Lot 2S122BA00100 (currently owned by JAE Oregon Inc.)
Fences	50 feet from public right-of-way <u>Subject to Table 62-2 Development Standards in the MP Zone</u>
STRUCTURE HEIGHT	
Maximum Height	70 feet May be increased to 85 feet if yards adjacent to structure are not less than a distance equal to one and one-half times the height of the structure. Flagpoles may extend to 100 feet. <u>Subject to Table 62-2 Development Standards in the MP Zone</u>
Maximum Height Adjacent to Residential District	28 feet Measured at the 100-foot setback line, includes flagpoles. The building height may extend above 28 feet on a plane beginning at the 50-foot or 100-foot setback line at a slope of 45 degrees extending away from the setback line. <u>Subject to Table 62-2 Development Standards in the MP Zone</u>

- c. Maintain the existing earthen berm and ~~existing~~ landscaping consisting of deciduous street trees, evergreen trees, and shrubs along the northeast frontage of SW Tualatin Road to the driveway adjacent to 115th Avenue.
- d. Retain the existing stand of trees behind Building A, or integrate into the parking lot design as deemed appropriate.
- e. Parking lot landscaping for the north-half of the site must follow the standard requirements of TDC Chapter 73C. To accommodate grade changes, an alternative method of parking lot landscaping is acceptable for terraced parking lots proposed for the south-half of the site. These lots must provide a minimum landscape island area of 25 square feet per parking stall and comply with the following:
 - i. Landscape separation that is a minimum of five feet in width is required for every twelve continuous spaces in a row;

- ii. Landscaping strip that is a minimum of ten feet in width must be placed in between rows of facing vehicles;
- iii. Must be planted with one deciduous shade trees for every four parking spaces, with required trees evenly dispersed throughout the parking lot;
- iv. Must be planted with groundcover or shrubs; and
- v. Native plant materials are encouraged.

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INDUSTRIAL MASTER PLAN

To

City of Tualatin

For

Lam Research Building G
Parking

Dated

August 17, 2022

(Revised November 2, 2022)

Project Number

2220087.00



MACKENZIE
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ATTACHMENTS

- A. IMP Application Form
- B. Certification of Sign Posting – IMP
- C. Assessor’s Maps
- D. Mailing List
- E. Title Report
- F. Vicinity Map
- G. IMP 00-01 with Proposed Language

See attached duplicates of concurrently submitted Architectural Review application for the following:

- 2. Plans
- 3. Title Report
- 7. Documentation of Neighborhood Meeting



I. PROJECT SUMMARY

Applicant:	Lam Research Corporation
Owner:	Lam Research Corporation 11155 SW Leveton Drive Tualatin, OR 97062
Site Address:	11155-11361 SW Leveton Drive (West of SW 108th Avenue between SW Tualatin Road and SW Leveton Drive)
Assessor Site Acreage:	2S122AA00500 – 15.75 acres 2S122AA00800 – 15.03 acres 2S122AB00100 – 27.23 acres Total: 58.0 acres
Zoning:	Industrial, Manufacturing Park (MP)
Comprehensive Plan:	Manufacturing Park (MP)
Adjacent Zoning:	Industrial, Manufacturing Park (MP) Industrial, Light Manufacturing (ML) Low Density Residential (RL)
Request:	Modification to existing IMP approval to revise two conditions of approval of IMP 00-01 (regarding setbacks). This IMP addresses those two conditions only, and other standards and conditions of IMP 00-01 should remain valid.
Project Contact:	Suzannah Stanley Mackenzie 1515 SE Water Avenue, Suite 100 Portland, OR 97214 971-346-3808 sstanley@mcknze.com

II. INTRODUCTION

Description of Request

Under a separate Architectural Review application submittal, Lam Research is proposing a new office building and parking lots, consistent with "Phase 1" of the approved Industrial Master Plan for the property (IMP 00-01).

This application requests a modification of conditions of approval 1.a. and 1.b. This IMP addresses these condition only; other standards and conditions of IMP 00-01 are intended to remain valid.

Approval Condition 1.k of the IMP 00-01 approval requires:

If future modifications to an approved Industrial Master Plan are necessary, a new Industrial Master Plan application shall be submitted to the City for review.

Therefore, the proposed IMP is identical to the approved IMP, with the exception of the specific dimensional changes proposed in conditions of approval 1.a. and 1.b. of IMP 00-01.

Site and Surrounding Land Use

The existing site consists of three lots, several buildings, and associated parking. There are three main driveways into the campus off SW Leveton Drive and one additional driveway entrance off Tualatin Road. To the west and south are additional MP-zoned lots. On the southeast corner and to the east are ML-zoned lots (Light Manufacturing). To the north, across SW Tualatin Road, there are existing residences in the Low Density Residential (RL) Planning District and the Medium High Density Residential (RMH) Planning District to the northwest.

Description of Proposed Development

A separate Architectural Review application is being submitted concurrently with this IMP application for a new 120,000 SF 4-story building on the south end of the existing site, east and south of existing buildings. The proposed parking expansion of approximately 578 stalls will be east and northeast of the proposed building. The new building and parking addition will allow Lam to increase its staff by approximately 600 employees. Two new access points will be provided on SW 108th Avenue to provide direct access to the new parking area. The existing east access on SW Leveton Drive is proposed to be converted to a truck-only access with appropriate signage.

Aerial Image – Project Site



III. IMP APPROVAL CRITERIA

Chapter 33 – Applications and Approval Criteria

Section 33.050. – Industrial Master Plans.

(2) *Applicability.*

(a) *An Industrial Master Plan is required for any development in the Manufacturing Business Park (MBP) Zone in a Regionally Significant Industrial Area (RSIA).*

(i) *For properties in the Regionally Significant Industrial Area (RSIA) of the MBP Zone, lots or parcels may be divided into smaller lots or parcels of 20,000 sq. ft or larger when the Industrial Master Plan identifies at least one lot or parcel of 100 acres in size or larger and one lot or parcel 50 acres in size or larger.*

(b) *An Industrial Master Plan is optional for any development in the Manufacturing Park (MP) Zone or Manufacturing Business Park (MBP) Zone. An Industrial Master Plan is required to do any of the following:*

(i) *Modify the requirements for internal circulation, building location and orientation, street frontage, parking, setbacks, building height, or lot size as provided in TDC Chapter 62 for the Manufacturing Park (MP) Zone and TDC Chapter 64 for the Manufacturing Business Park (MBP) Zone; and*

(ii) *Provide for individual parcels of less than 40 acres in the Manufacturing Park Zone. However, the parcels must not be less than 15 acres north of SW Leveton Drive and five acres south of SW Leveton Drive, unless otherwise provided under TDC 62.050(1).*

Response: The subject site is in the MP zone. IMP 00-01 was approved in 2001, effectively modifying modify some development standards and allowing for lots smaller than 40 acres.

This application is in effect limited to requesting a modification to conditions of approval 1.a. and 1.b. of IMP 00-01, generally to align the setbacks of the zone and minimum required parking lot setback along SW Leveton Drive with the 50' minimum standard in the MP District. This chapter is applicable.

(c) *An Industrial Master Plan must be submitted for the entire Industrial Master Plan Area and include all owners of property within the area.*

Response: This application and IMP Area include three lots, all owned by the applicant, Lam Research. This chapter is applicable.

(3) *Procedure Type. Industrial Master Plans must be processed in accordance with the Type III review procedures as specified in Chapter 32.*

Response: This application will be processed as a Type III review. This standard will be met by the City's processing of this application.

(4) *Specific Submittal Requirements. In addition to the general submittal requirements in TDC 32.140 (Application Submittal), the applicant must submit the following additional information and materials:*

(a) *The printed names and signatures of all property owners within the area of the proposed Industrial Master Plan.*

Response: This application and IMP Area includes three lots, all owned by Lam Research; an appropriate corporate official has signed the application form. This standard is met.

(b) *A written statement describing all alternate development standards that may include the following:*

(i) *Setbacks from each lot line to buildings, parking areas and circulation areas. Required setbacks may be exact, or minimum and maximum ranges may be specified. Required setbacks may be greater than or less than those required under TDC 62.060 or TDC 64.060;*

Response: Refer to Attachment G IMP 00-01 with Proposed Language for full written language proposed with this IMP. No alternative dimensions to those allowed by IMP 00-01 and the current standards of the MP district are proposed except abutting SW Leveton Drive and interior lot lines. The proposed plans (duplicate from the separate, concurrent AR submittal) in Attachment 2 show existing and proposed site development as the basis for determining compliance with minimum required setbacks. All setbacks of existing and proposed development comply with the setback requirements of the IMP, with the exception of the proposed parking near the southeast corner of the subject property. At its nearest point, the southeastern parking lot is set back approximately 58' from SW Leveton Drive.

Since the IMP was established, Lam's property lines have been moved, and the existing development no longer conforms to the interior side yard building setbacks of condition 1.a. Additionally, TDC 62.300 currently requires a 50' side and rear yard setback to other properties, which is appropriate instead of the 100' setback stated in the original IMP to the JAE site (lot 2S122BA00100).

Therefore, this IMP requests a modification in condition 1.b. of IMP 00-01 to allow a minimum parking setback of 50' from SW Leveton Drive (matching the MP District standard) instead of the 108' required by that condition, as well as modification of condition 1.a. to state that interior side yard setbacks between lots 1-3 of the Lam campus shall be 0' and side and rear setbacks to other properties (currently only lot 2S122BA00100, to the west) shall be 50'.

Approval of this IMP application will allow the AR application to be approved in compliance with the IMP. This requirement is met.

(ii) *Locations of shared parking and circulation areas and access improvement, including truck maneuvering and loading areas and common public or private infrastructure improvements;*

(iii) *Building heights and placement and massing of buildings with respect to parcel boundaries; and*

(iv) *Location and orientation of building elements such as pedestrian ways or accesses, main entrances and off-street parking or truck loading facilities, including the number of off-street parking spaces and loading docks required.*

(v) *Lot dimensions and area;*

(A) *For properties in the Manufacturing Park (MP) Zone, an individual parcel must not be less than 15 acres north of SW Leveton Drive and five acres south of SW Leveton Drive, unless otherwise provided under TDC 62.050(1).*

(B) *For properties in the Regionally Significant Industrial Area (RSIA) of the MBP Zone, lots or parcels may be divided into smaller lots or parcels of 20,000 sq. ft or larger when the Industrial Master Plan identifies at least*

one lot or parcel of 100 acres in size or larger and one lot or parcel 50 acres in size or larger in the RSIA; and

(vi) Location of required building and parking facility landscaped areas.

Response: Other than the setbacks discussed in the response to subsection (4)(b)(i) above, this application requests no change in the IMP 00-01 approval with respect to alternate development standards. The proposed IMP is consistent with these provisions.

(c) Except as specifically provided in TDC 33.050(1) above, all other provisions of this Code apply within an Industrial Master Plan Area.

Response: As noted above, all setbacks of existing and proposed development comply with the setback requirements of the IMP, except for the new conditions of approval proposed. With approval of this IMP request, the existing and proposed additional development will comply with this requirement.

(5) Approval Criteria.

(a) Public facilities and services, including transportation, existing or planned, for the area affected by the use are capable of supporting the proposed development or will be made capable by the time development is completed.

Response: The subject property is an existing developed site that is served by adequate public facilities and services. The effect of this IMP request is only to reduce the minimum parking lot setback along SW Leveton Drive from 108' to 50' and adjust other setback standards, which will not affect the availability of public facilities and services. This standard is met.

(b) The location, design, size, color and materials of the exterior of all structures for the proposed development and use is compatible with the character of other developments within the same general vicinity.

Response: This IMP request is specific to minimum setbacks and proposes closer alignment with the standards of the MP District, therefore allowing development consistent with others in the District. This standard is met.

(c) The internal circulation, building location and orientation, street frontage, parking, setbacks, building height, lot size, and access are in accordance with TDC Chapter 62 for the Manufacturing Park (MP) Zone and TDC Chapter 64 for the Manufacturing Business Park (MBP) Zone unless otherwise approved through the Industrial Master Plan process.

Response: As shown in the plans in Attachment 2, internal circulation, building location and orientation, street frontage, parking, setbacks, building height, lot size, and access will meet the MP Planning District standards of the current TDC. This criterion is met. The new building and parking area will also meet the conditions of IMP 00-01, with the exception of the parking lot setback along SW Leveton Drive. This IMP application will reduce the required setback from 108' to 50', matching the 50' minimum setback requirement in the MP District standards.

(6) Conditions of Approval.

(a) The Planning Commission may impose, in addition to the regulations and standards expressly specified in this chapter, other conditions found necessary to protect the best interests of the surrounding property or neighborhood or the City as a whole and for compliance with the Metro UGMFP Title IV policies and requirements.

Response: This provision authorizes the Planning Commission to impose conditions; no evidence or response from the applicant is required.

- (b) *An Industrial Master Plan may be approved based on proposed parcel boundaries; in this case development under the Industrial Master Plan must be conditioned on creation of the proposed parcels through the subdivision or partition process or may be the subject of a concurrent land division application. Partition applications associated with an Industrial Master Plan may be approved by City Council in accordance with TDC 36.230(8).*

Response: This IMP does not propose new or modified lot lines. This provision is not applicable.

Chapter 62: Manufacturing Park Planning District

Section 62.300. – Development Standards

Development standards in the MP zone are listed in Table 62-2. Additional standards may apply to some uses and situations, see TDC 62.310.

<i>Table 62-2: Section 62.300 Development Standards (Excerpt)</i>				
<i>MP District Standards</i>			<i>IMP 00-01 Conditions</i>	<i>Proposed IMP Conditions</i>
Setback Requirements				
<i>Minimum Setback for Side and Rear Yards not Adjacent to Streets or Alleys, north of SW Leveton Drive</i>	<i>50 feet</i>	<i>No minimum setback if adjacent to railroad right-of-way or spur track.</i>	Interior: 20' To JAE: 100'	Interior: 0' To other properties (currently JAE): 50'
<i>Parking and Circulation Areas Adjacent to Public Right-of-Way</i>	<i>50 feet</i>	<i>No minimum setback required adjacent to joint access approach in accordance with TDC 73C.</i>	To streets: 108' from Leveton Drive and 43' from 108th Avenue. To JAE: 9.5'	To streets: 50' from Leveton Drive and 43' from 108th Avenue. Interior: 0' To other properties (currently JAE): 9.5'

Response: The southeast parking area is proposed to be a minimum of 58' from SW Leveton Drive, still in excess of the 50' requirement of the MP District and the proposed modification to the IMP (also 50'). As shown in the landscape plans in Attachment 2, this area is proposed to be landscaped with landscape materials similar to those on the rest of the site and will contain a storm pond with dense landscaping. This is appropriate for the district and campus. Refer to Attachment G IMP 00-01 with Proposed Language for full text of proposed IMP and site plan.

Affecting existing and potential future development, this IMP proposes 0' interior setbacks for buildings and parking, as well as 50' (standard for the MP District) and 9.5' (shown in prior IMP) setbacks to JAE.

IV. ORIGINAL MASTER PLAN CONDITIONS OF APPROVAL (IMP 00-01) COMPLIANCE

The following presents the original conditions of approval for the campus's master plan, with applicable requirements addressed and new language proposed in **bold**.

1. *Alternative Methods*

- a. *To meet the requirements of the TDC, through the Architectural Review process, building setbacks shall not be approved less than 68 feet to SW Leveton Drive and 98 feet to SW 108th Avenue after required dedication of right-of-way, turn lane and intersection improvements. Building setbacks to SW Tualatin Road shall meet the requirements of TDC 62.060(2)(a) and 62.080(2). Interior side yard building setbacks shall be no less than 20 feet, except setbacks to the common property line with JAE shall be no less than 100 feet.*

Response: This condition is proposed to be modified by this IMP application to read as follows:

- a. *To meet the requirements of the TDC, through the Architectural Review process, building setbacks shall not be approved less than 68 feet to SW Leveton Drive and 98 feet to SW 108th Avenue after required dedication of right-of-way, turn lane and intersection improvements. Building setbacks to SW Tualatin Road shall meet the requirements of TDC 62.060(2)(a) and 62.080(2). Interior side yard building setbacks shall be no less than **0** ~~20~~ feet, except setbacks to the common property line with JAE shall be no less than **50** ~~100~~ feet.*

The proposal for interior side and rear building setbacks is appropriate as lots 1-3 are all part of the Lam campus, and setbacks are not necessary as buildings and structures are placed with the campus as a whole in mind. The setback to the JAE lot is consistent with the standards of the MP District.

- b. *To meet the requirements of the TDC, through the Architectural Review process parking/circulation setbacks shall not be approved less than 108 feet to SW Leveton Drive and 43 feet to SW 108th Avenue after required dedication of right-of-way, turn lane and intersection improvements. Interior side yard parking and circulation setbacks shall be as shown on Exhibit 2, Sheet SD-5, dated December 22, 2000.*

Response: This condition is proposed to be modified by this IMP application to read as follows:

- b. *To meet the requirements of the TDC, through the Architectural Review process parking/circulation setbacks shall not be approved less than **50** ~~108~~ feet to SW Leveton Drive and 43 feet to SW 108th Avenue after required dedication of right-of-way, turn lane and intersection improvements. Interior side **and rear** yard parking and circulation setbacks shall be **no less than 0 feet** ~~as shown on Exhibit 2, Sheet SD-5, dated December 22, 2000~~. **Parking and circulation setbacks to adjacent lots (2S122BA00100, currently owned by JAE) shall be no less than 9.5 feet.***

The proposed minimum parking lot setback reduction along SW Leveton Drive, from 108' to 50', matches the applicable minimum 50' requirement in the MP Planning District. The proposal for interior side and rear parking lot setbacks is appropriate as lots 1-3 are all part of the Lam campus and setbacks are not necessary as the parking areas are designed with the campus as a whole in mind. The setback to the JAE lot is consistent with the original master plan but is provided as a number rather than sheet reference.

- c. *As mitigation for a reduced parking and circulation setbacks to SW Tualatin Road an earthen berm with landscaping consisting of deciduous street trees, evergreen trees and shrubs shall be provided along SW Tualatin Road, the large evergreen trees along the roadway shall be retained and the berm and landscaping shall be installed as part of the Phase 1 development. The final design of the berm and landscaping shall be reviewed through the Architectural Review process.*
- d. *Through the Partition and Architectural Review processes shared parking and circulation easements shall be reviewed and evaluated. Where necessary, shared parking and circulation easements shall be established.*
- k. *To meet the requirements of the TDC, through the Architectural Review process final parking areas shall be determined and the stand of trees behind the former Oki manufacturing building shall be retained or integrated into the parking lot design as determined appropriate.*
- f. *To ensure that vehicular access requirements meet the TDC, through the Partition and Architectural Review processes shared site vehicular accesses will need to be reviewed and evaluated. Where necessary, shared site vehicular access easements shall be established.*
- g. *To meet the requirements of the TDC, through the Architectural Review processes loading areas that encroach onto a separate adjoining lot, excluding JAE, will need to be reviewed and evaluated. If encroachments off-site and into parking areas are necessary the Architectural Review process shall determine the appropriateness.*
- k. *Through the Partition and Architectural Review processes shared onsite utilities shall be reviewed and evaluated. Where necessary, easements shall be established.*
- i. *The applicant shall submit a partition application to the City to partition the site into the proposed three individual lots.*
- j. *The applicant's request for an alternative method in parking lot landscaping requirements is acceptable for surface parking proposed for the south-half of the site as depicted in the applicant's proposal (Exhibit 2). Proposed parking lot landscaping for the north-half of the site shall follow the standard requirements of Chapter 73 of the TDC.*
- k. *The applicant shall be required to submit an Architectural Review application meeting the requirements of the TDC and include the alternative methods approved through the Industrial Master Plan. If future modifications to an approved Industrial Master Plan are necessary, a new Industrial Master Plan application shall be submitted to the City for review.*

Response: Alternative Methods conditions 1.a. through 1.k. are met by the existing development (most of which were approved through the Architectural Review, Partition, and building permit applications submitted to City of Tualatin for the campus's development in 2001 and 2002) and will be met by the proposed building and site work. See the AR narrative for a detailed response. The AR application submitted concurrent with this IMP will be required to demonstrate compliance with all of these conditions.

2. *Public Facilities*

- a. *Through the Architectural Review process Novellus shall address the ODOT recommended condition of approval concerning the 99W/124th Avenue intersection contained in Exhibit D.*
- b. *At the time of submittal of Architectural Review applications for each phase of on-site development a traffic analysis report shall be submitted and improvements identified. The traffic analysis report shall be reviewed through the Public Facilities component of the Architectural Review process and conditions applied.*

- c. *Construction of Phases 2-4, when proposed, shall be evaluated through the Architectural Review process on the availability of an adequate City water supply to service the proposed development phase.*
- d. *Through the Architectural Review process the volume and pressure needs for each development phase shall be evaluated. Based on calculations, the water transmission line may be required to be extended to serve the development.*
- e. *Through the Architectural Review process the applicant shall submit evaluations on the downstream sanitary sewer system and the discharge rates and volumes per proposed development phase and participate where required in mitigation measures. Recycling and reuse options shall be considered by the applicant to reduce the discharge rates and volumes. The applicant shall work with the City to develop a program to release the sanitary sewer discharge during off-peak hours.*
- f. *Through the Architectural Review process the adequacy of on-site stormwater detention shall be evaluated and Novell us shall provide supporting documentation and calculations showing adequacy of the storm system. At the time road widening for SW Leveton Drive or SW 108th Avenue is required, Novellus shall submit drawings and calculations for water quality and detention for review and approval as part of the Architectural Review process.*

Response: The Public Facilities conditions (2.a. through 2.f.) are met by the existing development (most of which were approved through the Architectural Review, Partition, and building permit applications submitted to City of Tualatin for the campus's development in 2001 and 2002) and will be met by the proposed building and site work. See the AR narrative for a detailed response. The AR application submitted concurrent with this IMP will be required to demonstrate compliance with all of these conditions.

3. *Location, Design, Color and Materials*

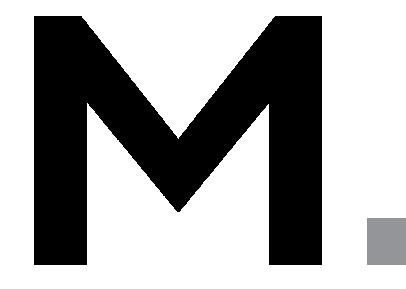
- a. *Through the Architectural Review process, final material colors shall be presented for approval based on the pallet of colors identified in the Industrial Master Plan.*
- b. *Through the Architectural Review process, final building materials shall be presented for approval based on the pallet of materials identified in the Industrial Master Plan.*

Response: These conditions are met by the existing development (most of which were approved through the Architectural Review, Partition, and building permit applications submitted to City of Tualatin for the campus's development in 2001 and 2002) and will be met by the proposed building and site work. See the AR narrative for a detailed response. The AR application submitted concurrent with this IMP will be required to demonstrate compliance with all of these conditions.

V. CONCLUSION

As demonstrated in the narrative above and referenced attachments, the proposed IMP, which will amend IMP 2000-01 conditions 1.a. and 1.b. as previously approved, meets the relevant criteria and warrants approval.

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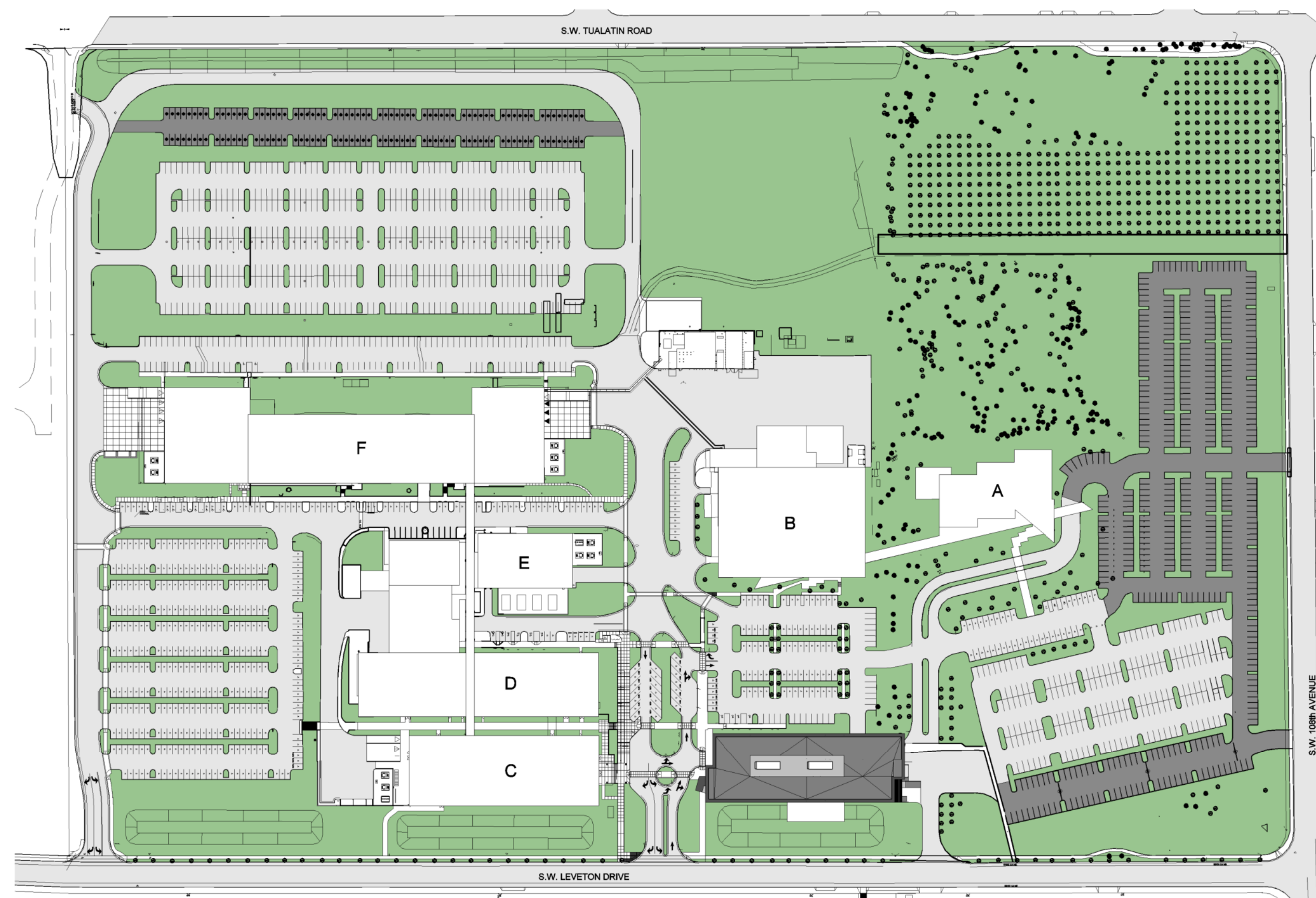
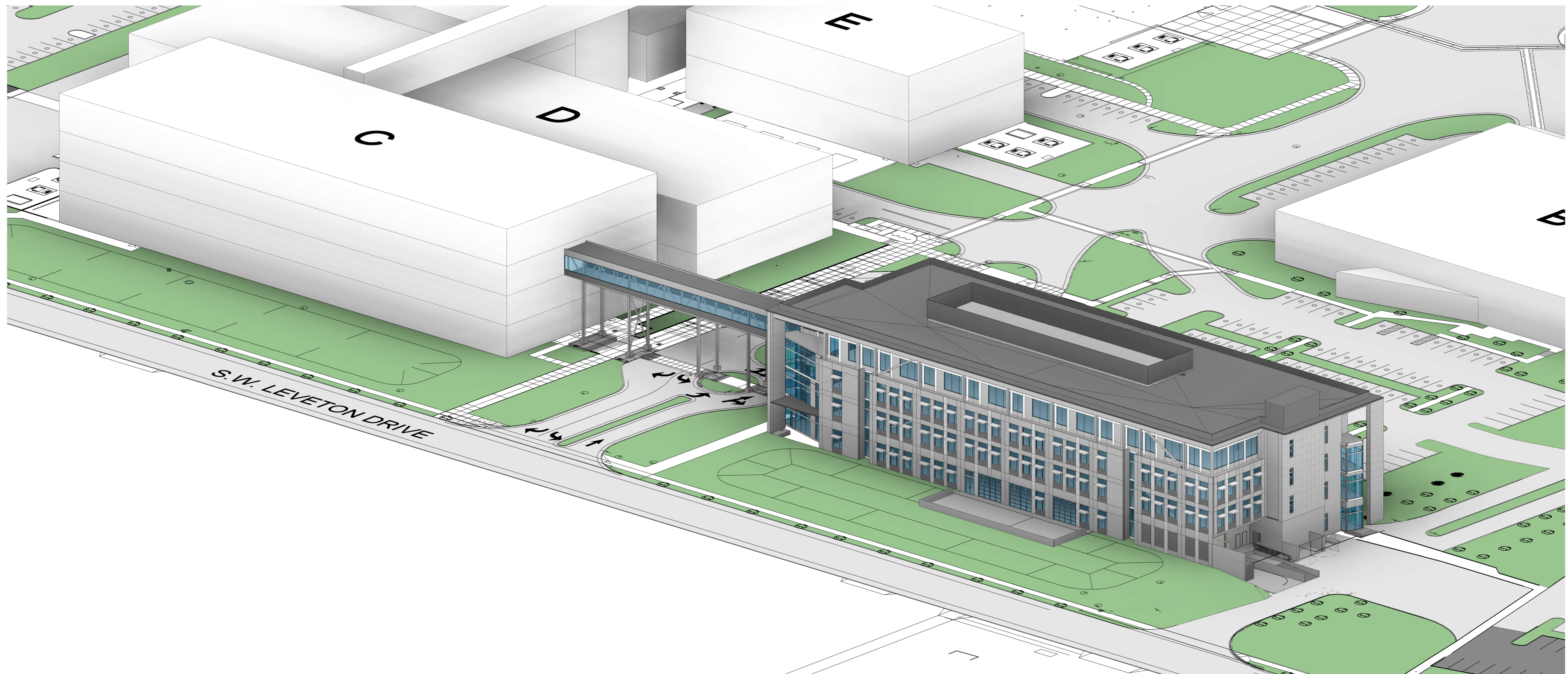
Lam Research
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FREMONT, CA 94538



Project

Building G
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Mechanical/Electrical



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A2.11 MATERIALITY
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L1.11 PLANTING PLAN NORTH (EAST)
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L2.10 PLAZA AND WALKWAY ENLARGEMENT

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**TITLE SHEET
AND DRAWING
INDEX**

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SHEET

G0.00

JOB NO. 2220087.00

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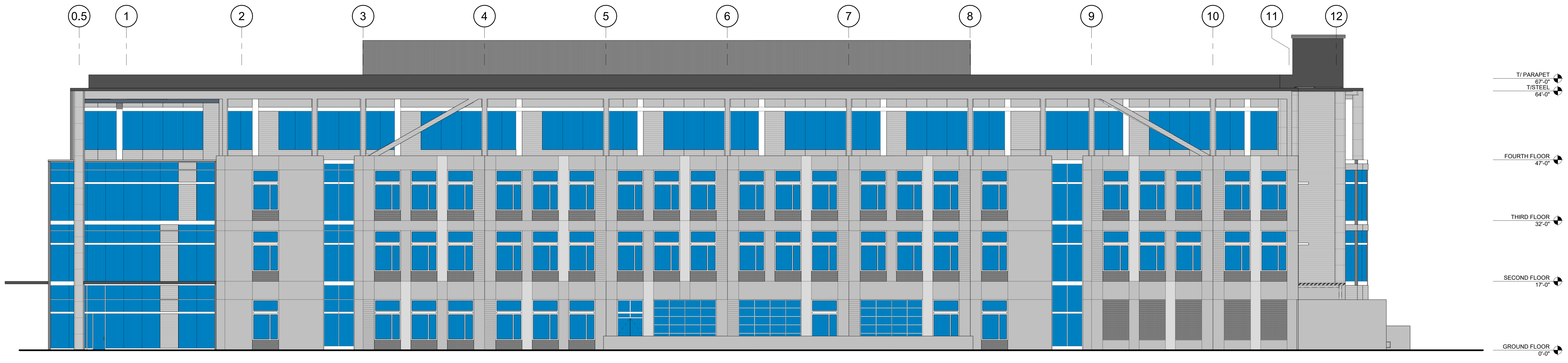
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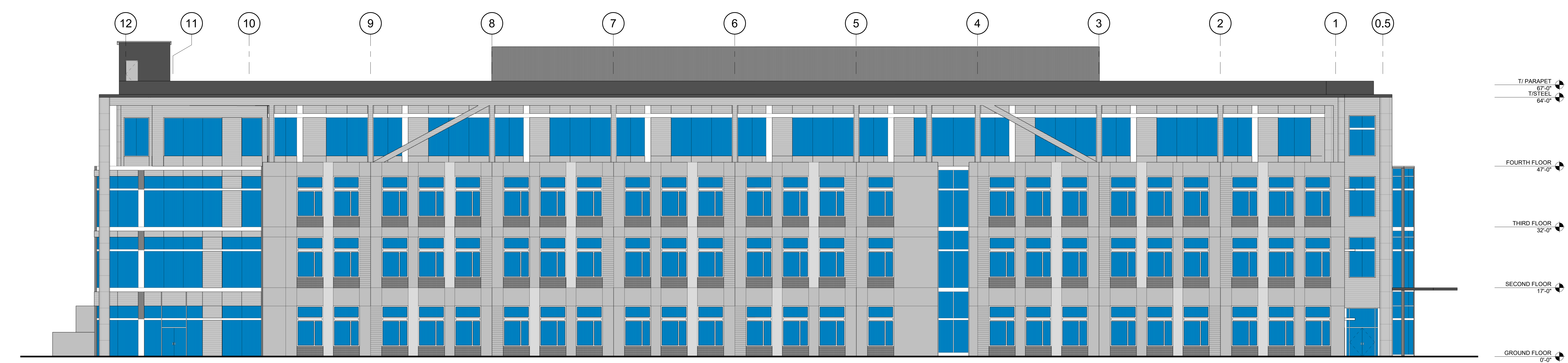
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SHEET

A2.10

JOB NO. **2220087.00**



1 SOUTH ELEVATION
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2 NORTH ELEVATION
A2.10 / 3/32" = 1'-0"



3 EAST ELEVATION
A2.10 / 3/32" = 1'-0"



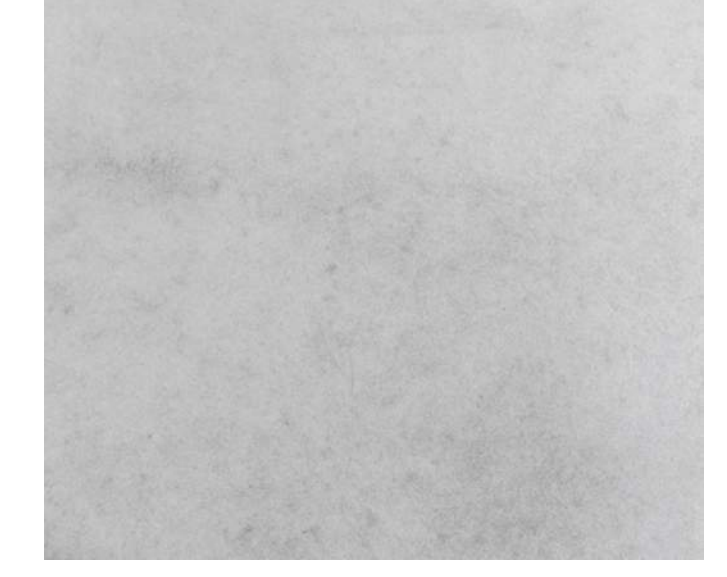
4 WEST ELEVATION
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ELEVATION LEGEND

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	INSULATED METAL PANEL - SMOOTH
	CONCRETE PANEL
	LIGHT GRAY CONCRETE ACCENT
	TERRACOTTA TILE ACCENT
	DARK GRAY CONCRETE WITH FORMLINER



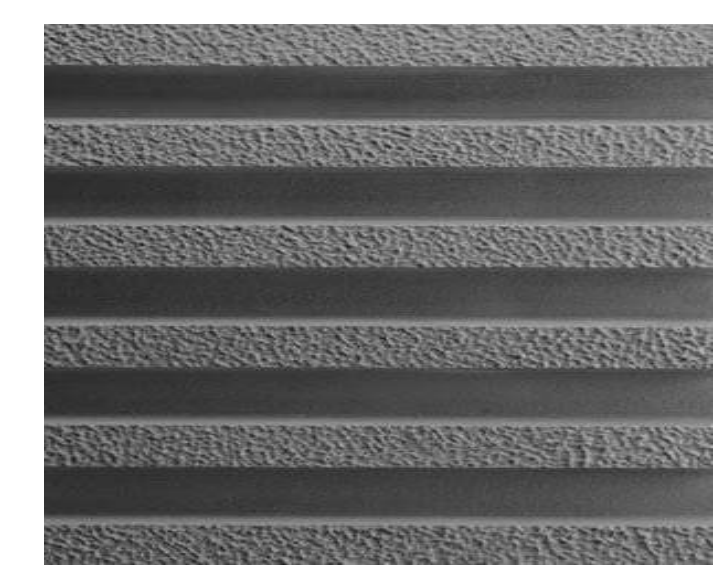
1 CONC-1 - GRAY CONCRETE TILT PANEL



2 CONC-1 - LIGHT GRAY CONCRETE TILT PANEL



3 CONC-3 - DARK GRAY CONCRETE WITH FORMLINER



4 MP-1 - SMOOTH OR RIBBED PANELS - PREFINISHED



5 STOREFRONT - SILVER MULLIONS



6 TERRACOTTA ACCENT TILES



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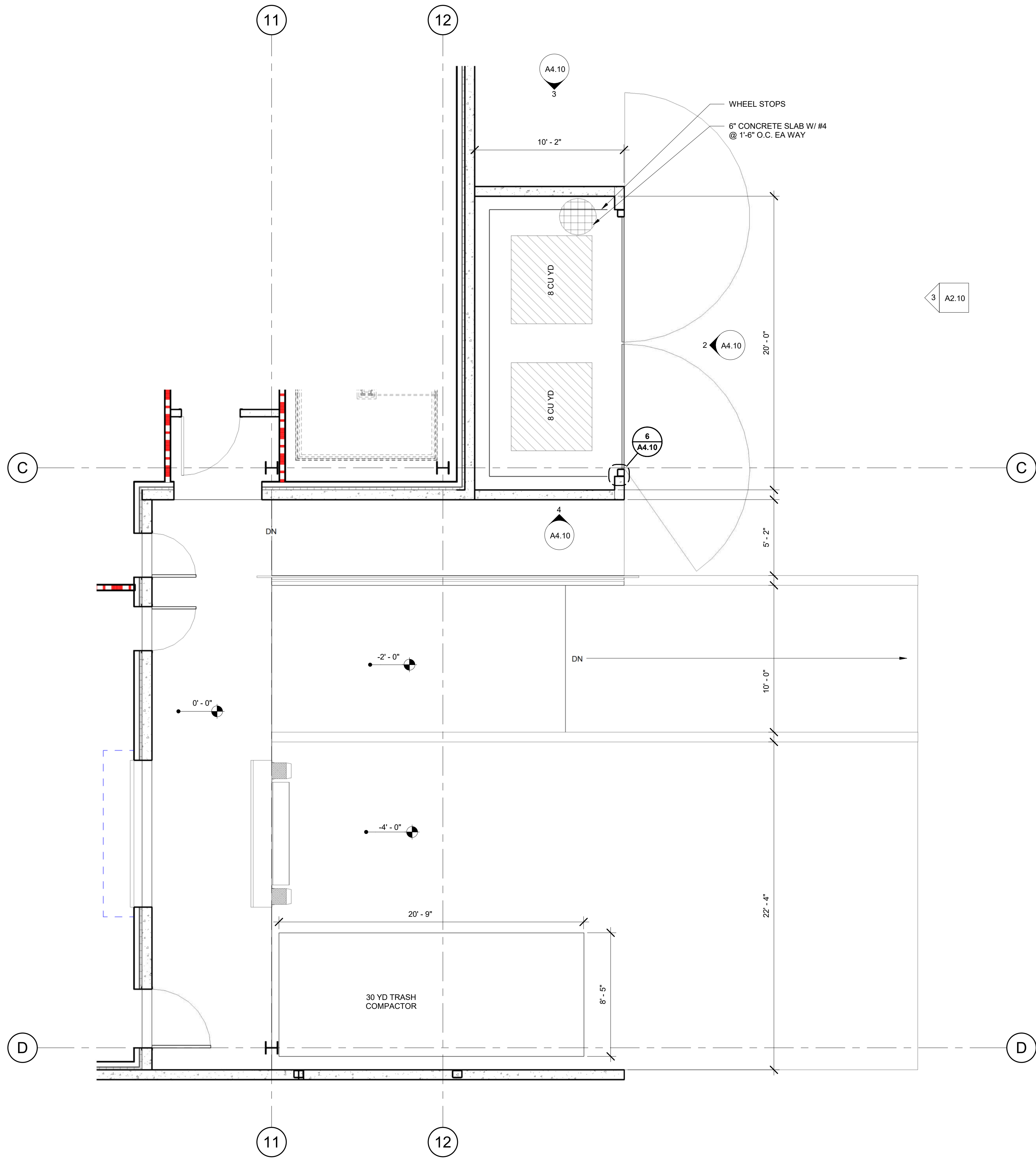
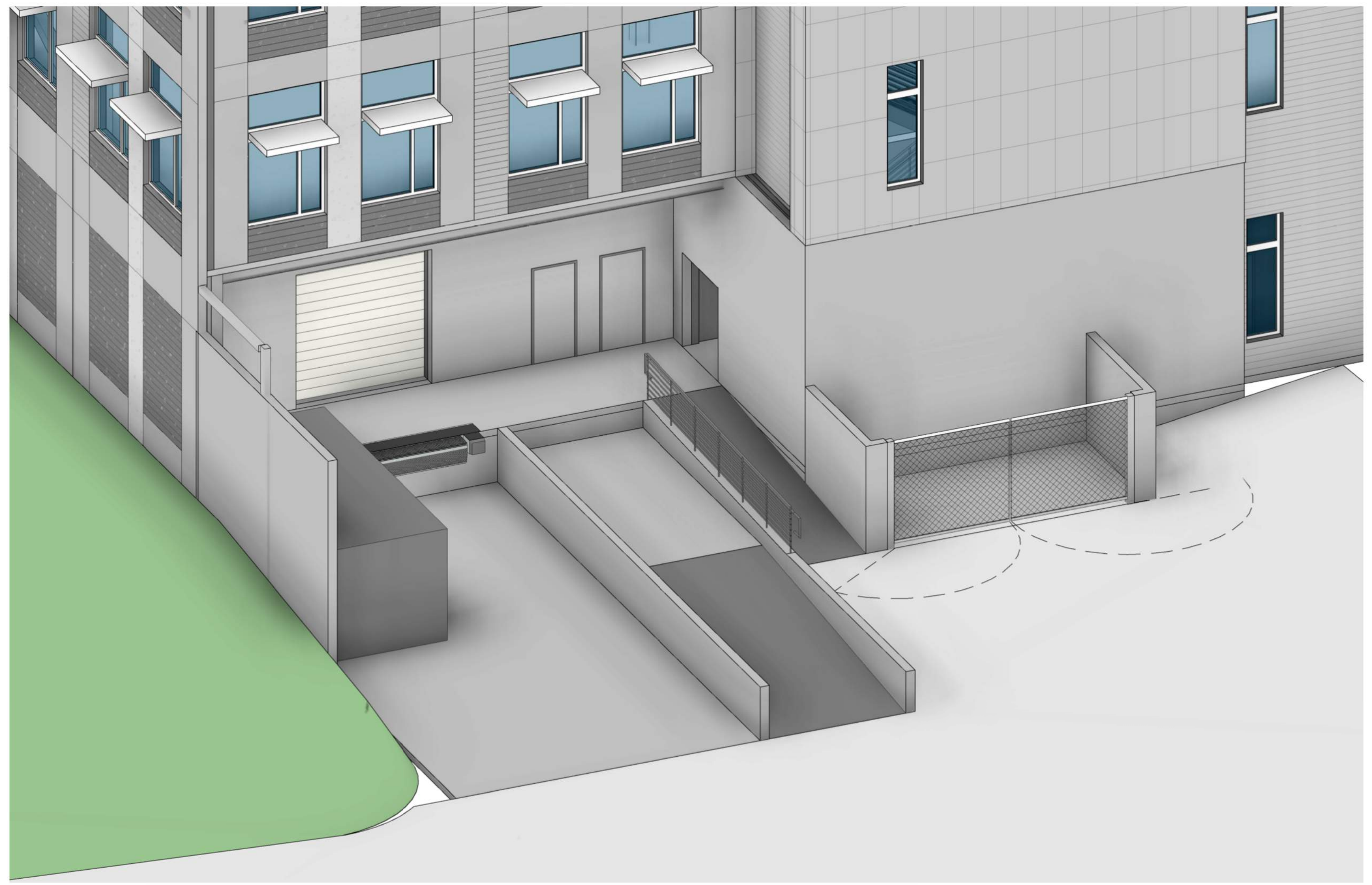
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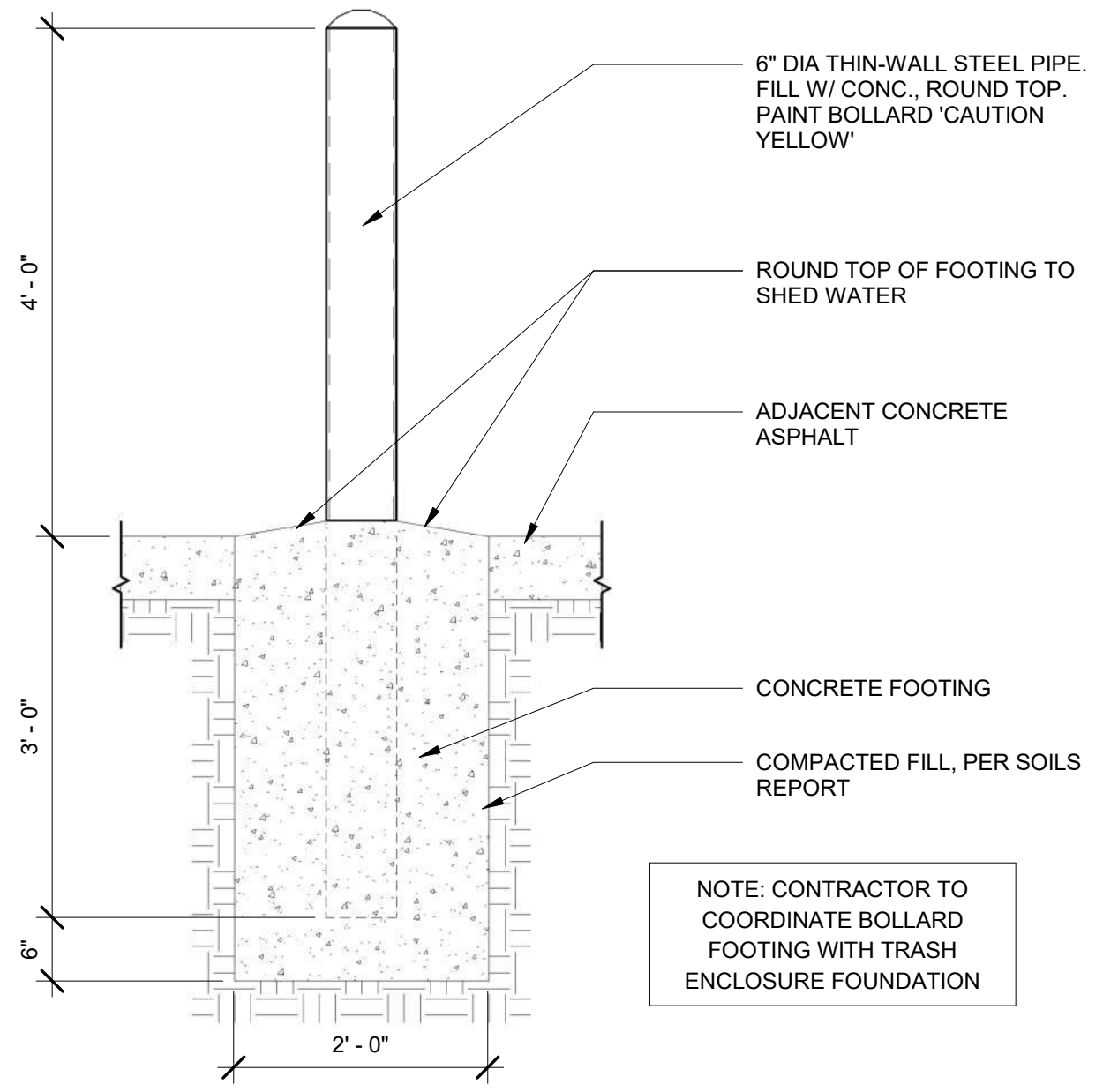
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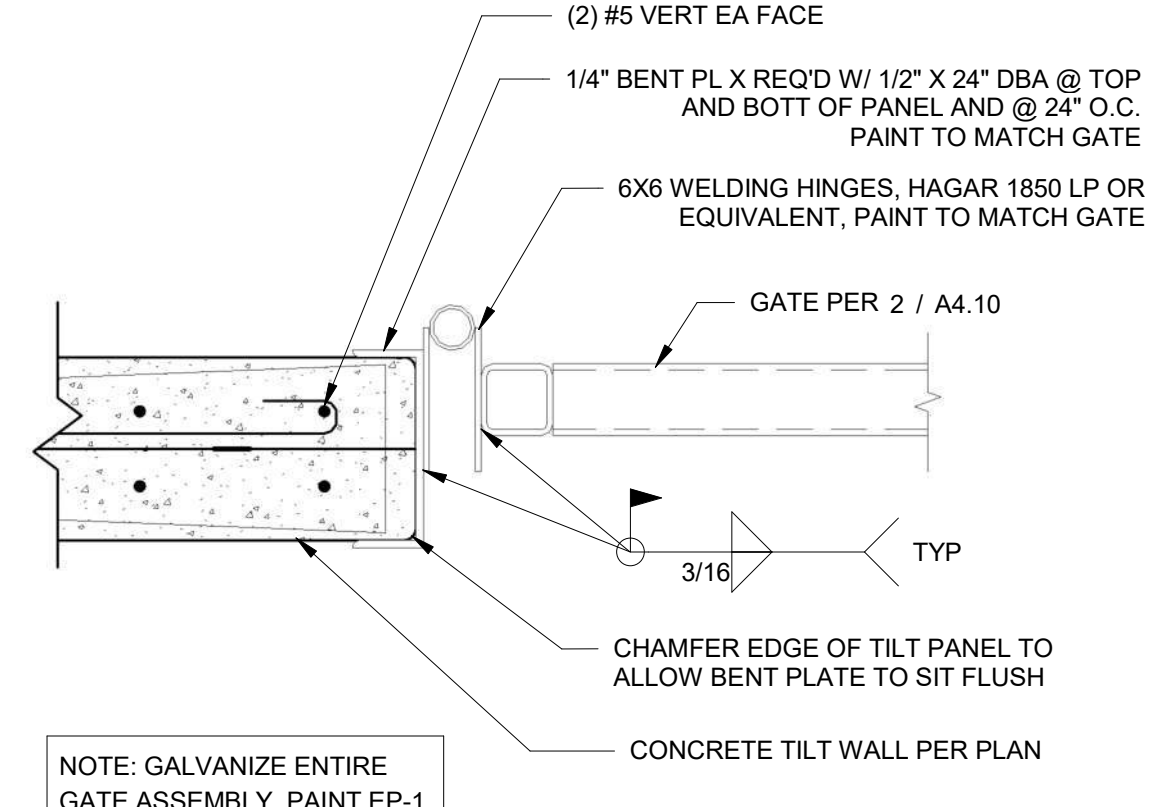
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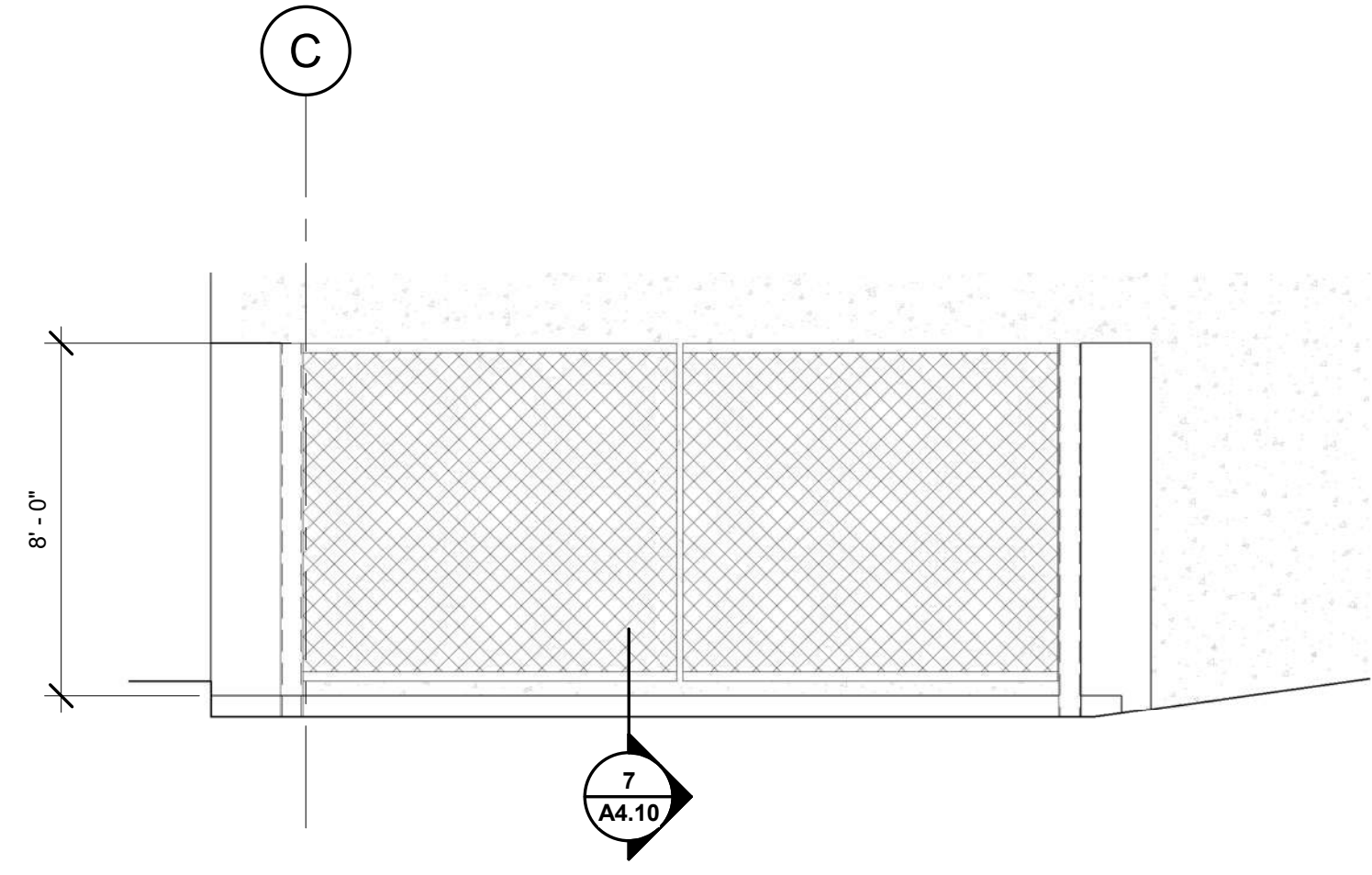
1 ENLARGED DOCK PLAN
A4.10 1/4" = 1'-0"



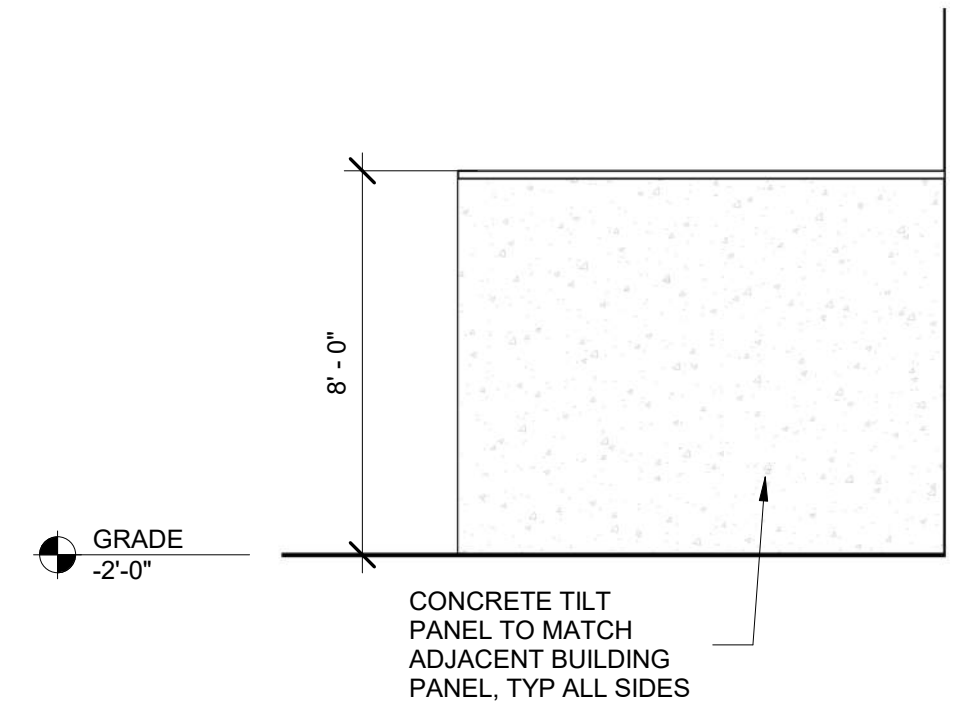
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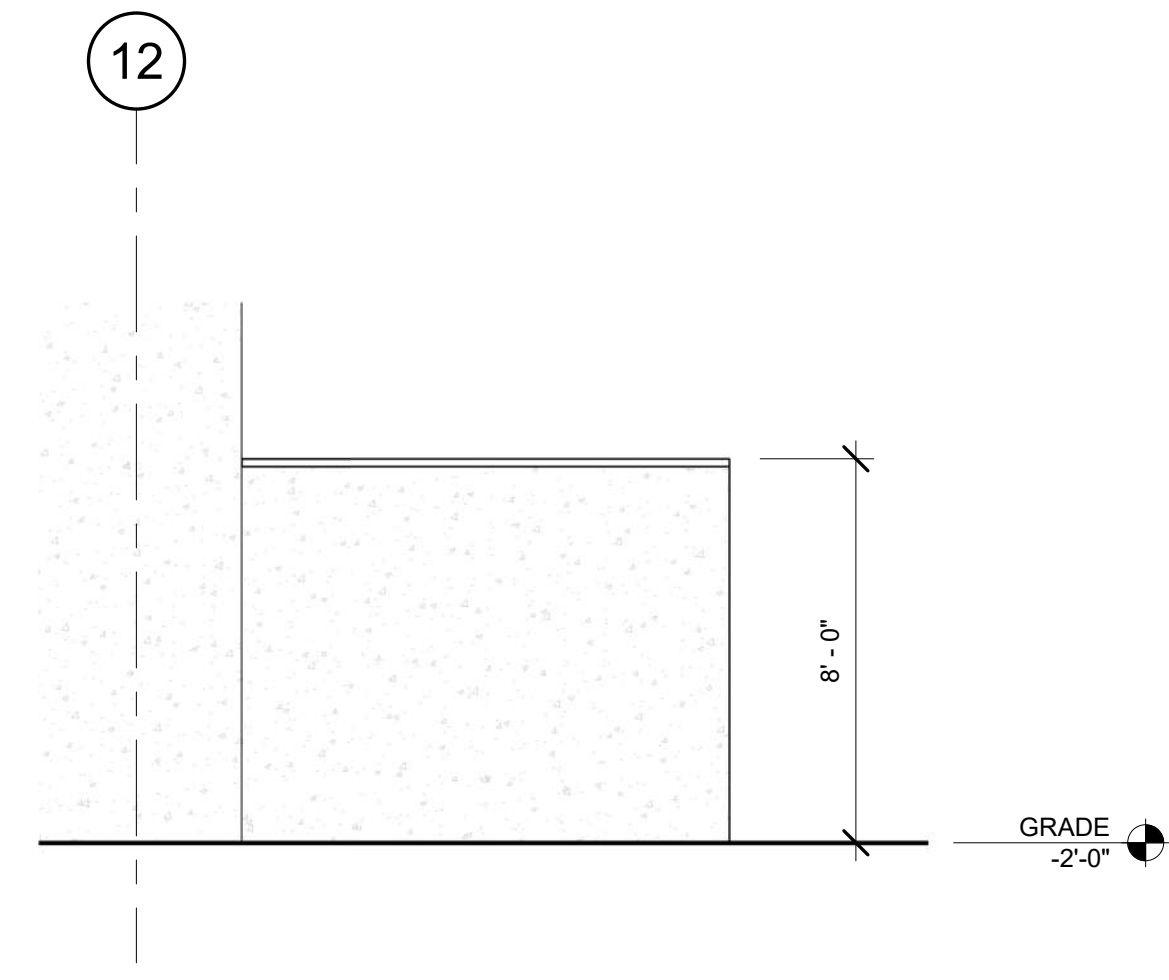
6 GATE HINGE DETAIL
A4.10 1 1/2" = 1'-0"



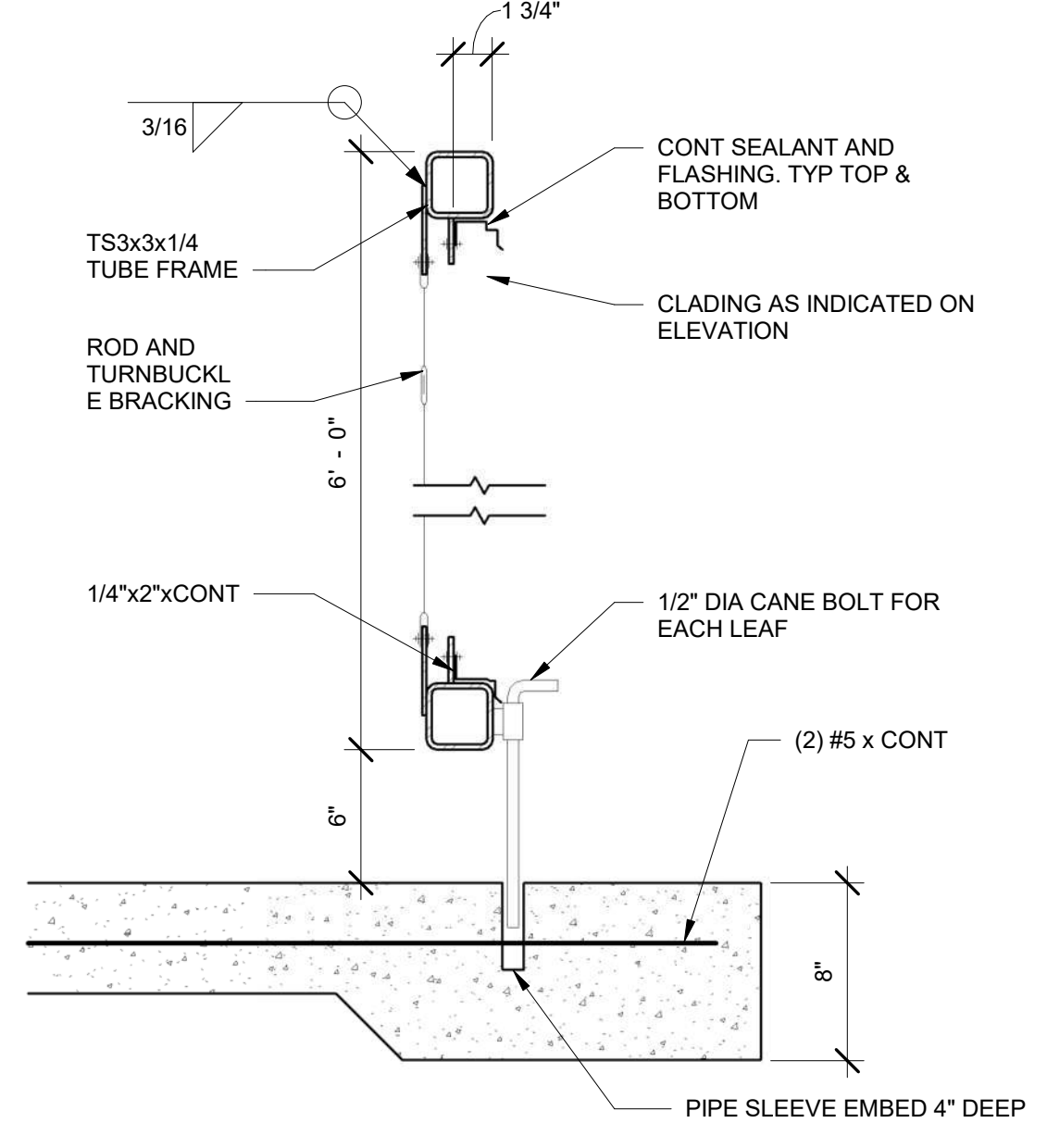
2 TRASH ENCLOSURE ELEVATION
A4.10 1/4" = 1'-0"



3 TRASH ENCLOSURE ELEVATION
A4.10 1/4" = 1'-0"



4 TRASH ENCLOSURE ELEVATION
A4.10 1/4" = 1'-0"



7 GATE SECTION
A4.10 1 1/2" = 1'-0"

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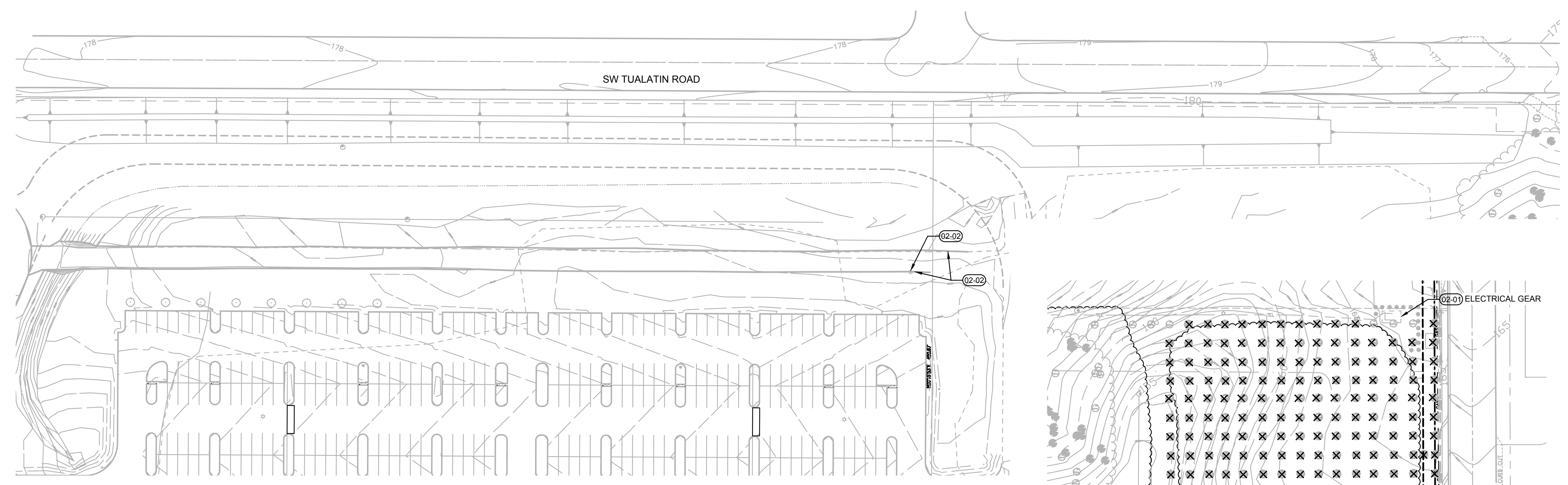
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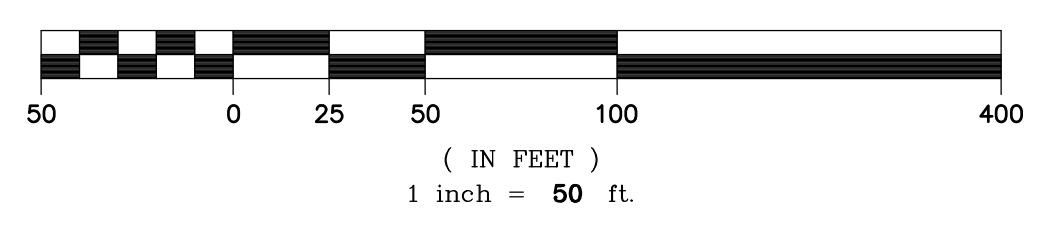
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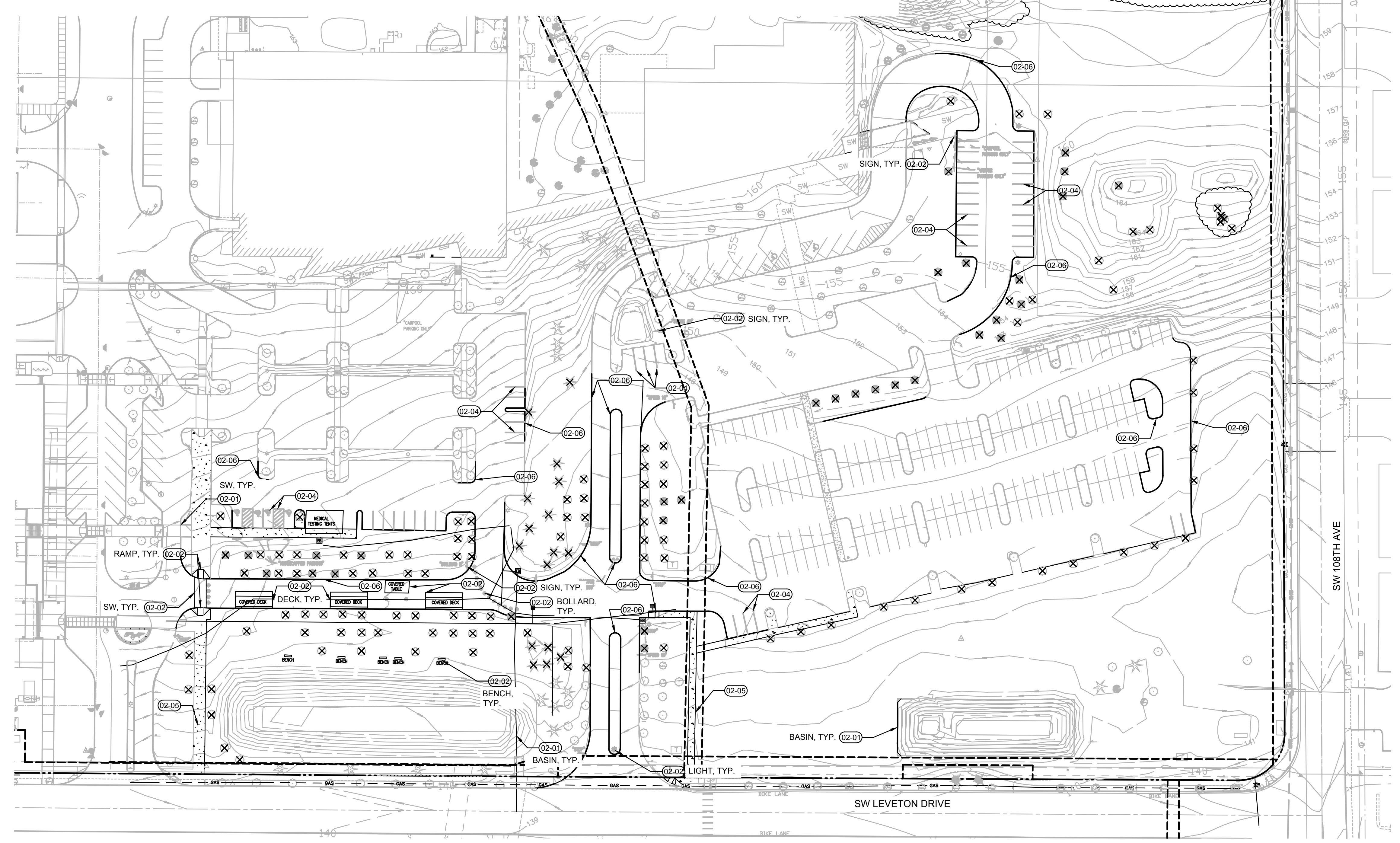


2 DEMOLITION PLAN - NORTHWEST
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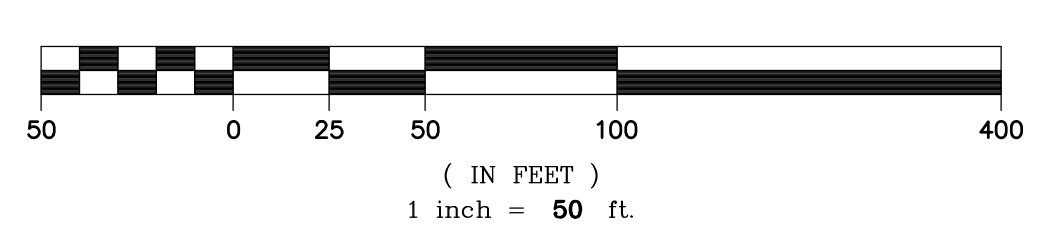


KEYNOTES

02-01	PROTECT ITEM TO REMAIN (AS NOTED)
02-02	REMOVE ITEM (AS NOTED)
02-04	REMOVE EXISTING STRIPING
02-05	REMOVE EXISTING SIDEWALK
02-06	REMOVE EXISTING CURB



1 DEMOLITION PLAN - SOUTHEAST
 C1.01



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JOB NO. **2220087.00**

ARCHITECTURAL REVIEW: 8/17/2022

Table with 3 columns: TREE ID, SIZE AND TYPE, TREATMENT. Lists various tree IDs and their corresponding sizes and treatments.

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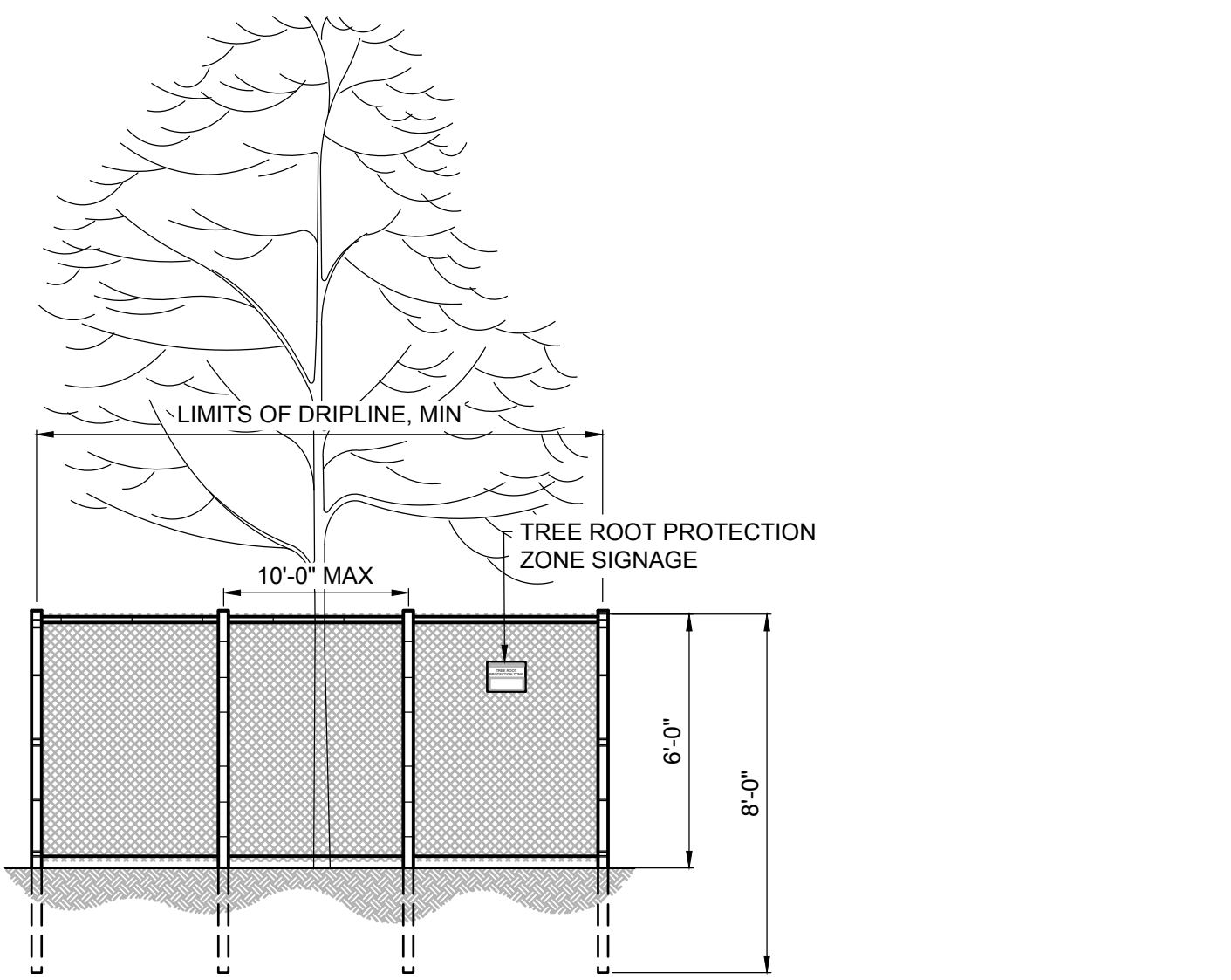
Table with 3 columns: TREE ID, SIZE AND TYPE, TREATMENT. Lists various tree IDs and their corresponding sizes and treatments.

TREE PROTECTION MEASURES:

- 1. UNLESS OTHERWISE INDICATED FOR REMOVAL ALL TREES SHALL RECEIVE PROTECTIVE MEASURES FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH LOCAL AGENCY REQUIREMENTS.
- 2. 8" HIGH MINIMUM METAL CHAIN LINK FENCING SHALL BE ERRECTED AND MAINTAINED. FENCING SHALL COMPLETELY SURROUND AT MINIMUM THE TREE DRIP LINE FOR EACH TREE OR GROUP OF EXISTING TREES. THE TREE DRIP LINE SHALL BE DEFINED AS A CLEARANCE ZONE OF 1 FOOT PER 1 INCH DBH (DIAMETER AT BREAST HEIGHT + 4.5 FEET ABOVE GRADE) FROM THE TREE BEING PROTECTED.
- 3. IN AREAS WHERE ROOT ZONE ENCROACHMENT IS UNAVOIDABLE, A CERTIFIED ARBORIST SHALL DESIGNATE THE FENCING LOCATION PRIOR TO START OF WORK.
- 4. NO ACTIVITY MAY BE CONDUCTED WITHIN ANY DESIGNATED TREE PROTECTION AREA, INCLUDING BUT NOT LIMITED TO PARKING EQUIPMENT, PLACING SOLVENTS, STORING MATERIALS AND SOIL DEPOSITS, DUMPING CONCRETE WASHOUT OR OTHER DEBRIS, OR ANY EXCAVATION OR COMPACTION WORK.
- 5. DURING CONSTRUCTION NO OBJECTS SHALL BE ATTACHED TO ANY TREE DESIGNATED TO BE RETAINED AND PROTECTED.
- 6. PROVIDE MULCH COVER TO A MINIMUM DEPTH OF 6" PLYWOOD OR OTHER SIMILAR MATERIAL AT AREAS ADJOINING DESIGNATED TREE PROTECTION AREAS TO PROTECT ROOTS FROM DAMAGE CAUSED BY HEAVY EQUIPMENT. COORDINATE PLACEMENTS AND LOCATION WITH THE LANDSCAPE ARCHITECT OR A CERTIFIED ARBORIST.
- 7. PROTECTION FENCE SHALL BE MAINTAINED IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE AUTHORITY HAVING JURISDICTION OR UNTIL A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.

EXCAVATION/TRENCHING AROUND TREES:

- 1. PROPOSED TRENCHING AND EXCAVATION IN CLOSE PROXIMITY TO TREE PROTECTION ZONES MAY REQUIRE COORDINATION WITH A CERTIFIED ARBORIST. IF MAIN LATERAL OR TAP ROOTS OR ARE FOUND, STOP WORK IN THE AREA IMMEDIATELY AND CONSULT A CERTIFIED ARBORIST.
 - 2. WHERE TRENCHING IS REQUIRED WITHIN CRITICAL ROOT ZONE, AND HAS BEEN REVIEWED AND APPROVED BY A CERTIFIED ARBORIST, TUNNEL UNDER OR AROUND ROOTS BY HAND DIGGING OR BORING. DO NOT CUT MAIN LATERAL ROOTS OR TAP ROOTS. CLEANLY CUT/SEVER SMALLER ROOTS.
 - 3. RELOCATE ROOTS IN BACKFILL AREAS WHEREVER POSSIBLE. DO NOT ALLOW EXPOSED ROOTS TO DRY OUT BEFORE PERMANENT BACKFILL IS PLACED. PROVIDE TEMPORARY EARTH COVER OR PACK WITH FEAT MOSS AND WRAP WITH BURLAP. WATER AND MAINTAIN IN MOIST CONDITION UNTIL RELOCAED AND COVERED WITH BACKFILL.
- FENCING NOTES:
- 1. TEMPORARY FENCE SHALL BE 6' IN HEIGHT AND SET AS SHOWN ON PLANS.
 - 2. SIGNAGE DESIGNATING THE PROTECTION ZONE AND PENALTIES FOR VIOLATIONS SHALL BE SECURED IN A PROMINENT LOCATION ON EACH PROTECTION FENCE.
 - 3. THE AUTHORITY HAVING JURISDICTION SHALL APPROVE THE INSTALLED TREE PROTECTION FENCING PRIOR TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
 - 4. FENCE MATERIALS SHALL CONSIST OF METAL CHAIN LINK SECURED WITH 8" METAL POSTS.
 - 5. MOVEMENT OR REMOVAL OF FENCING REQUIRES APPROVAL BY THE AUTHORITY HAVING JURISDICTION.



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REVISION SCHEDULE table with columns: Delta, Issued As, Issue Date.

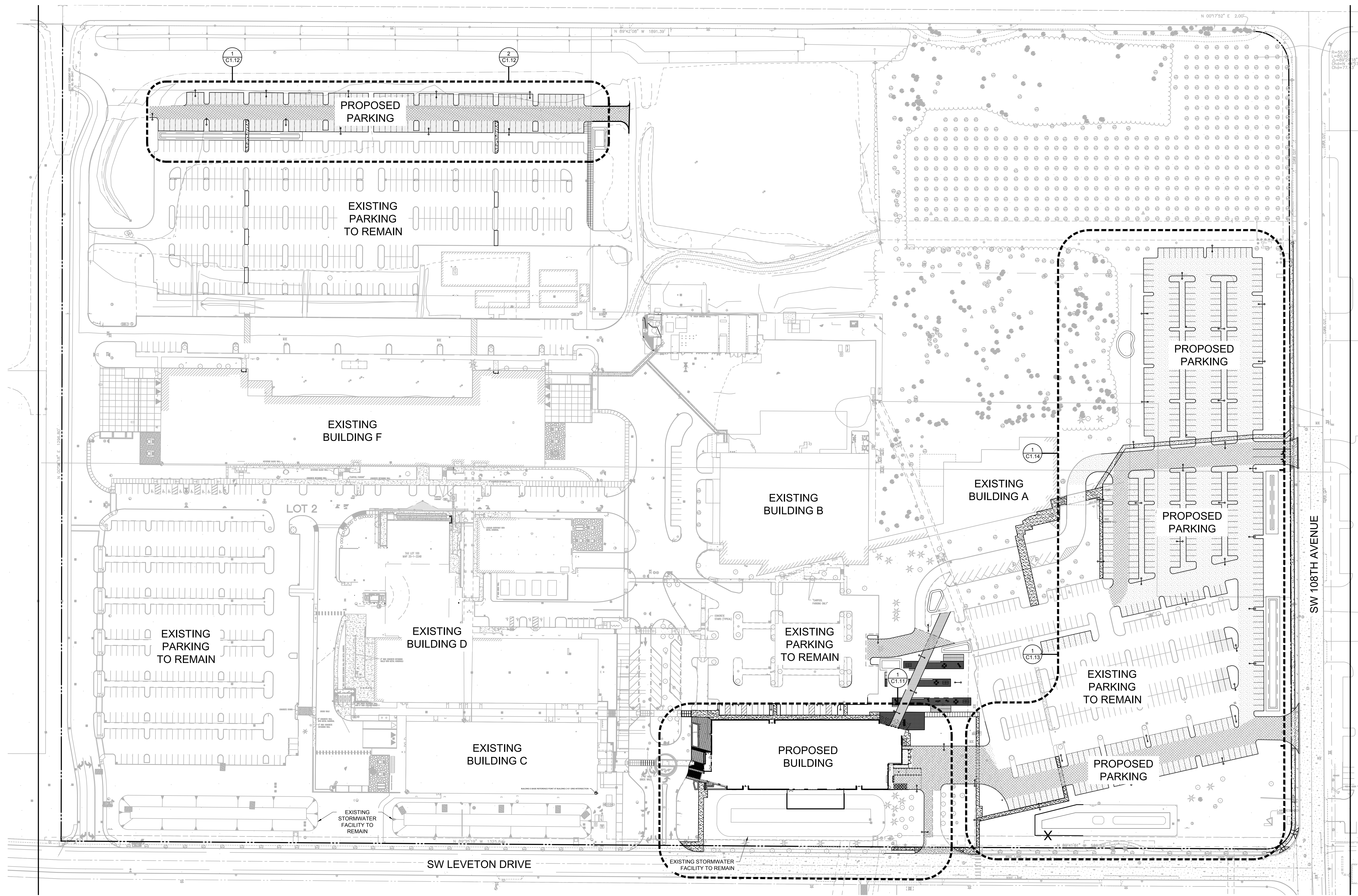
SHEET TITLE:

TREE
DEMOLITION
AND
PROTECTION
TABLE AND
DETAILS

DRAWN BY: SJS

CHECKED BY: BDN

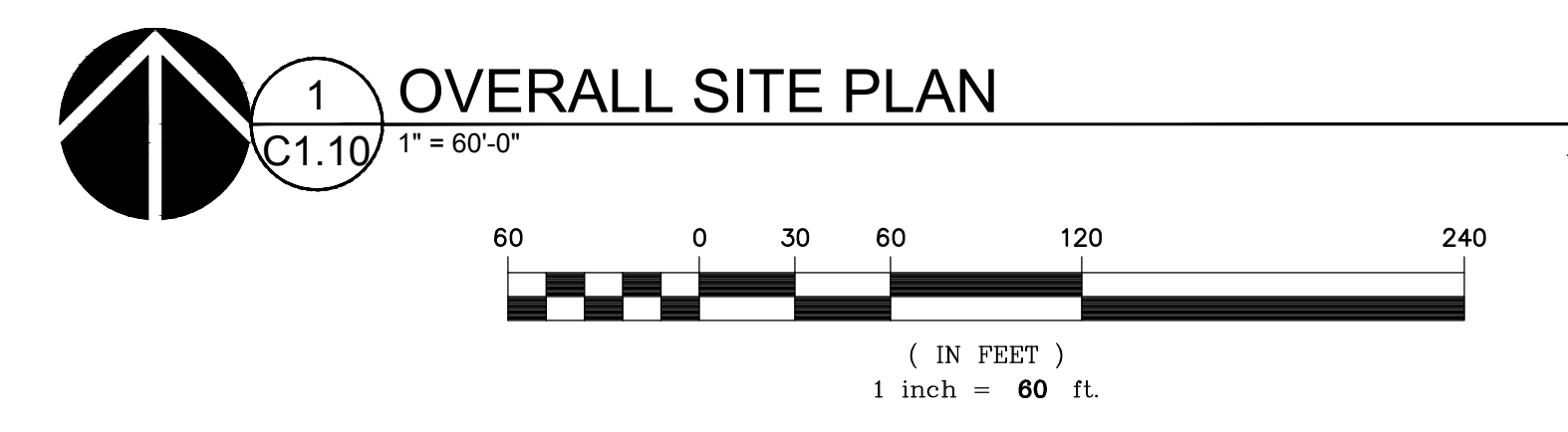
SHEET



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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
OVERALL SITE PLAN



	BUILDING FLOOR AREA	
	EXISTING AREA (SF)	PROPOSED AREA (SF)
EXISTING BUILDINGS	560,040 ±	560,040 ±
PROPOSED BUILDING G	N/A	120,000
TOTAL SITE	560,040 ±	680,040 ±

	SITE DATA	
	EXISTING COVERAGE (AC)	PROPOSED COVERAGE (AC)
TOTAL PROPERTY AREA	58.01	58.01
BUILDING AREA	6.31	7.06
PAVED IMPERVIOUS AREA	22.91	24.55
TOTAL IMPERVIOUS AREA	29.22	31.61
LANDSCAPE AREA	28.79	26.40

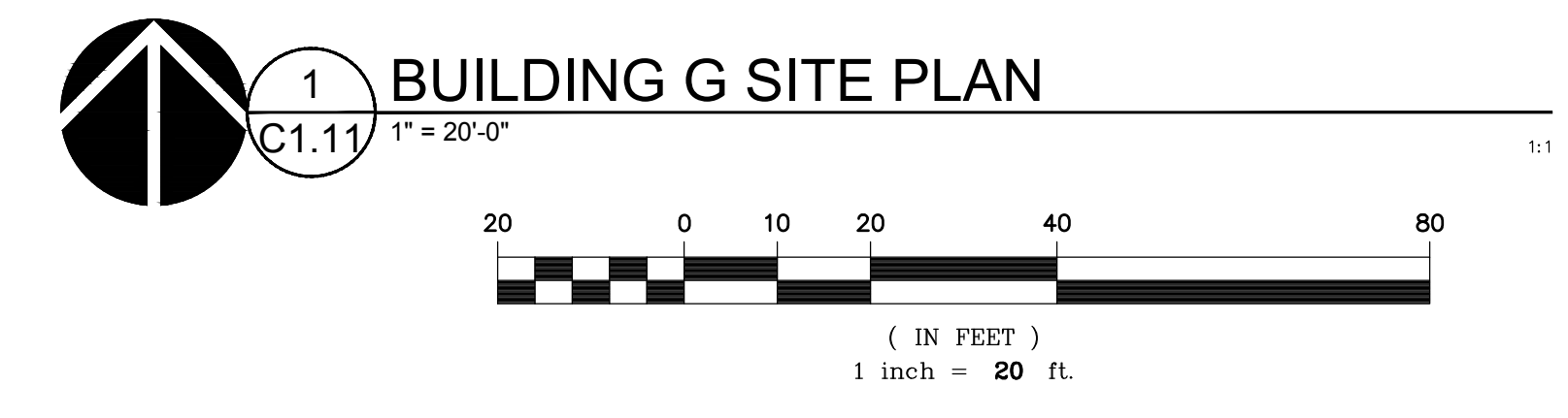
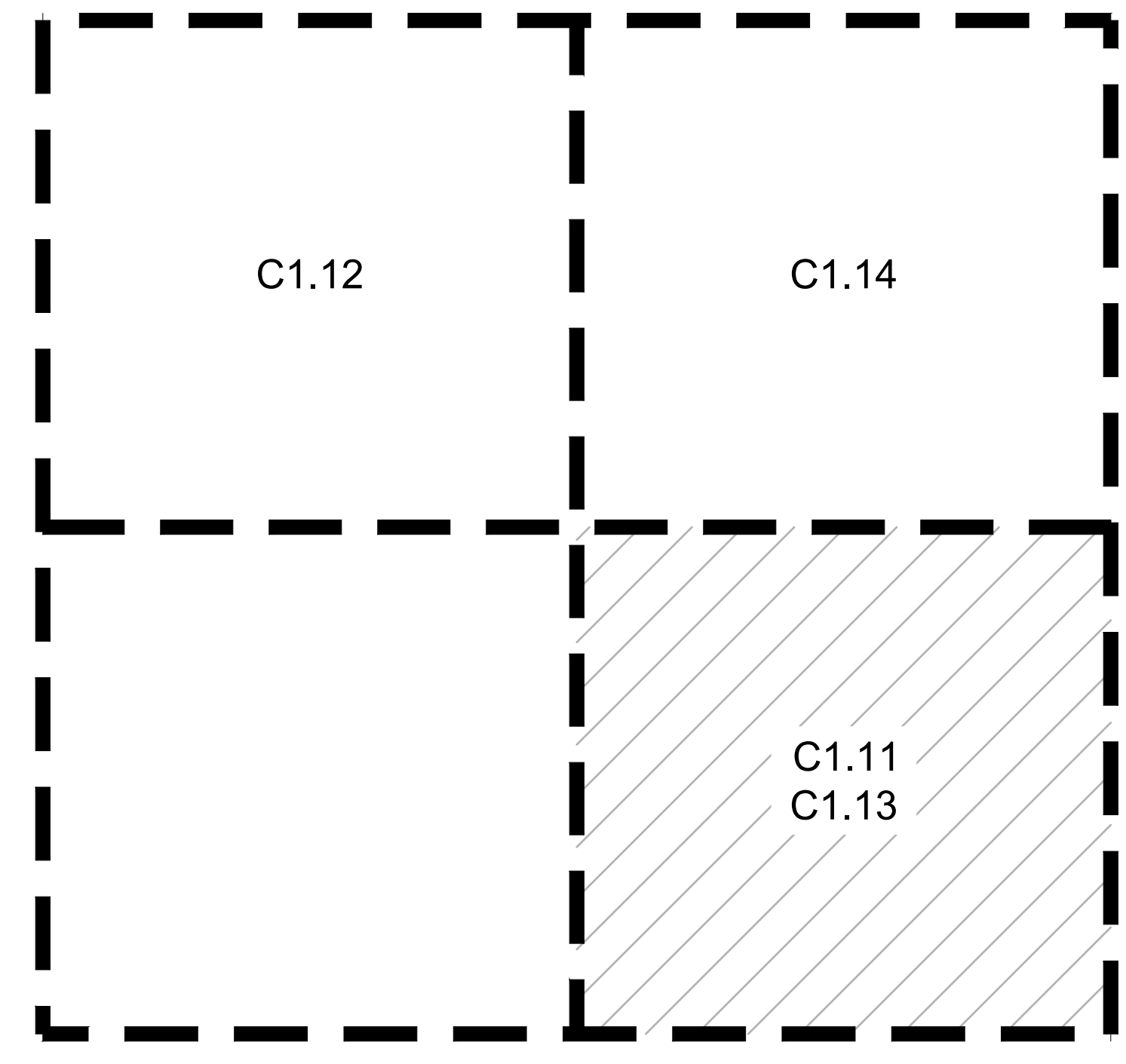
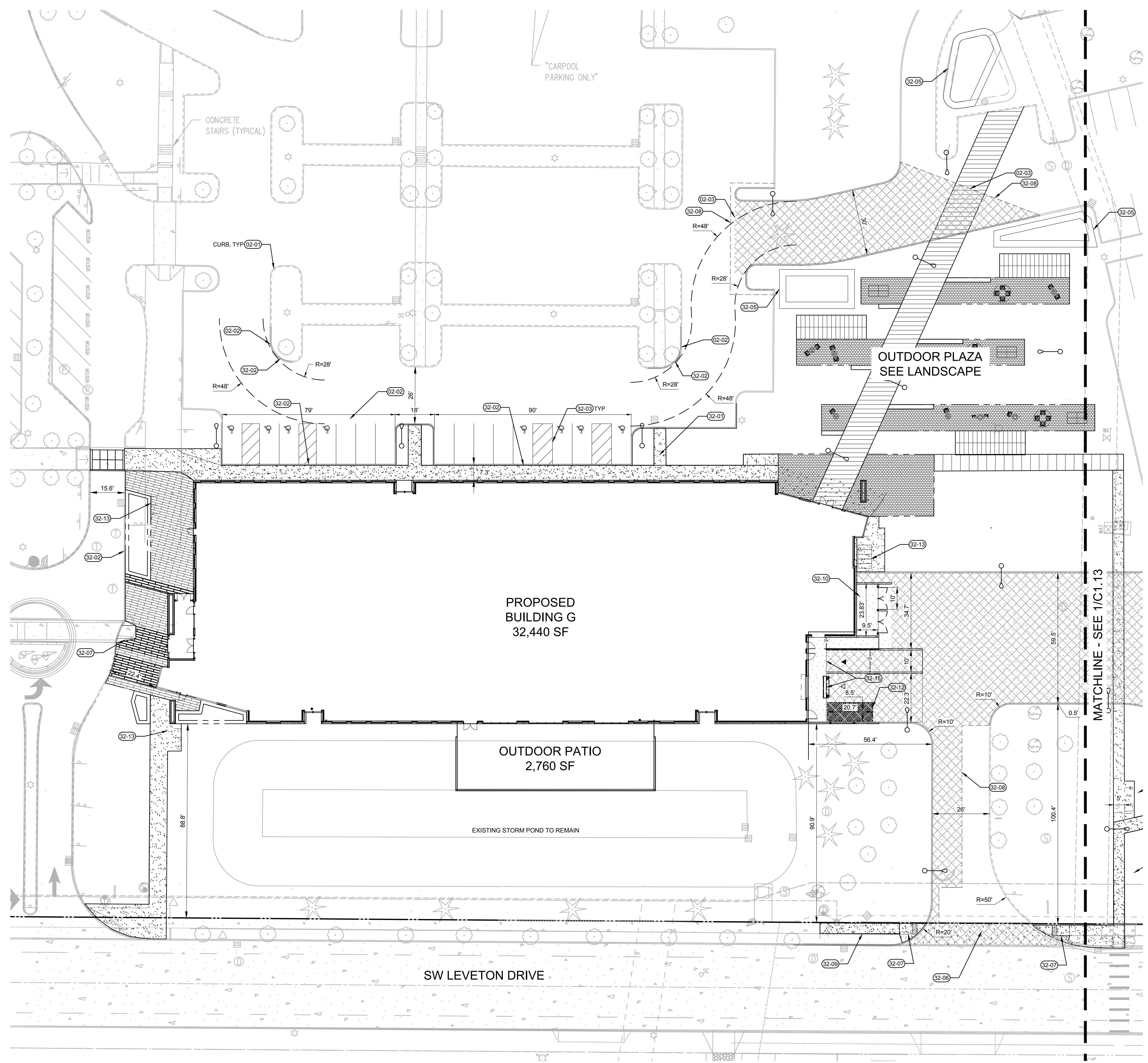
	PARKING DATA			
	EXISTING	PARKING REMOVED	ADDED PARKING	TOTAL SPACES
STANDARD PARKING	1336	33	578	1881
ACCESSIBLE PARKING	29	4	8	33
LOADING BERTHS	13	0	2	15
CARPOOL SPACES	12	2	2	12
COMPACT SPACES	0	0	0	0
TOTAL PARKING	1377	37	586	1926

DRAWN BY: SJS
CHECKED BY: BDN
SHEET

C1.10

KEYNOTES

- 02-01 PROTECT ITEM TO REMAIN (AS NOTED)
- 02-02 REMOVE ITEM (AS NOTED)
- 02-03 MATCH EXISTING PAVING
- 32-01 LANDSCAPE AREA PER LANDSCAPE PLANS
- 32-02 VERTICAL CURB
- 32-03 PARKING STALL STRIPING
- 32-04 NEW STORMWATER SWALE
- 32-05 NEW STORMWATER BASIN
- 32-06 NEW INDUSTRIAL DRIVEWAY
- 32-07 SIDEWALK CURB RAMP
- 32-08 SAWCUT AC PAVING
- 32-09 CONCRETE SIDEWALK
- 32-10 TRASH ENCLOSURE
- 32-11 WAYFINDING MONUMENT SIGN
- 32-12 TRASH COMPACTOR
- 32-13 LOCATION FOR BIKE PARKING
- 32-15 LOADING DOCK



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Delta	Issued As	Issue Date

SHEET TITLE:
BUILDING G
SITE PLAN

DRAWN BY: SJS
 CHECKED BY: BDN
 SHEET

C1.11



ARCHITECTURAL REVIEW: 8/17/2022

JOB NO. **2220087.00**

REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
EAST PARKING EXPANSION
SITE PLAN

DRAWN BY: SJS

CHECKED BY: BDN

SHEET

C1.13

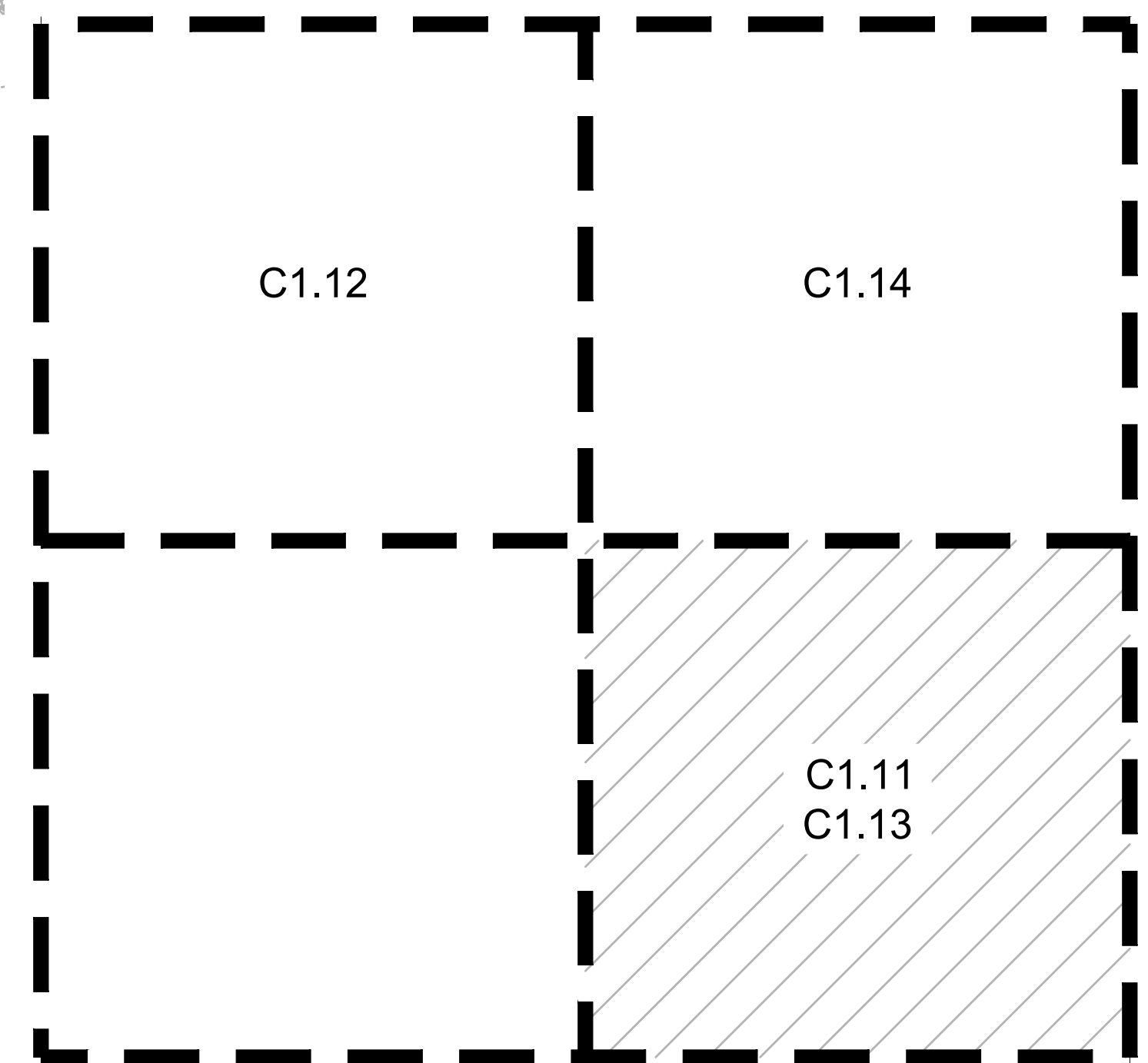
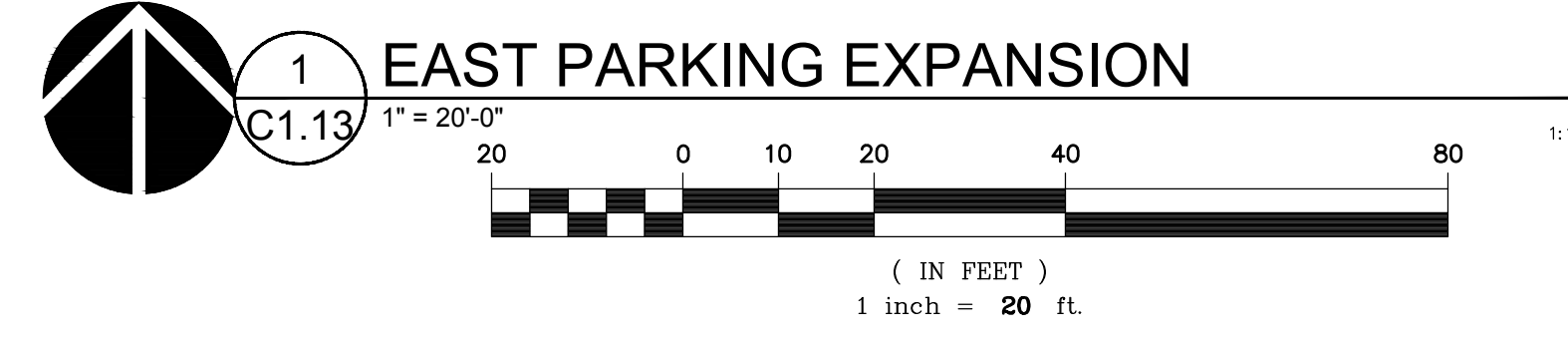
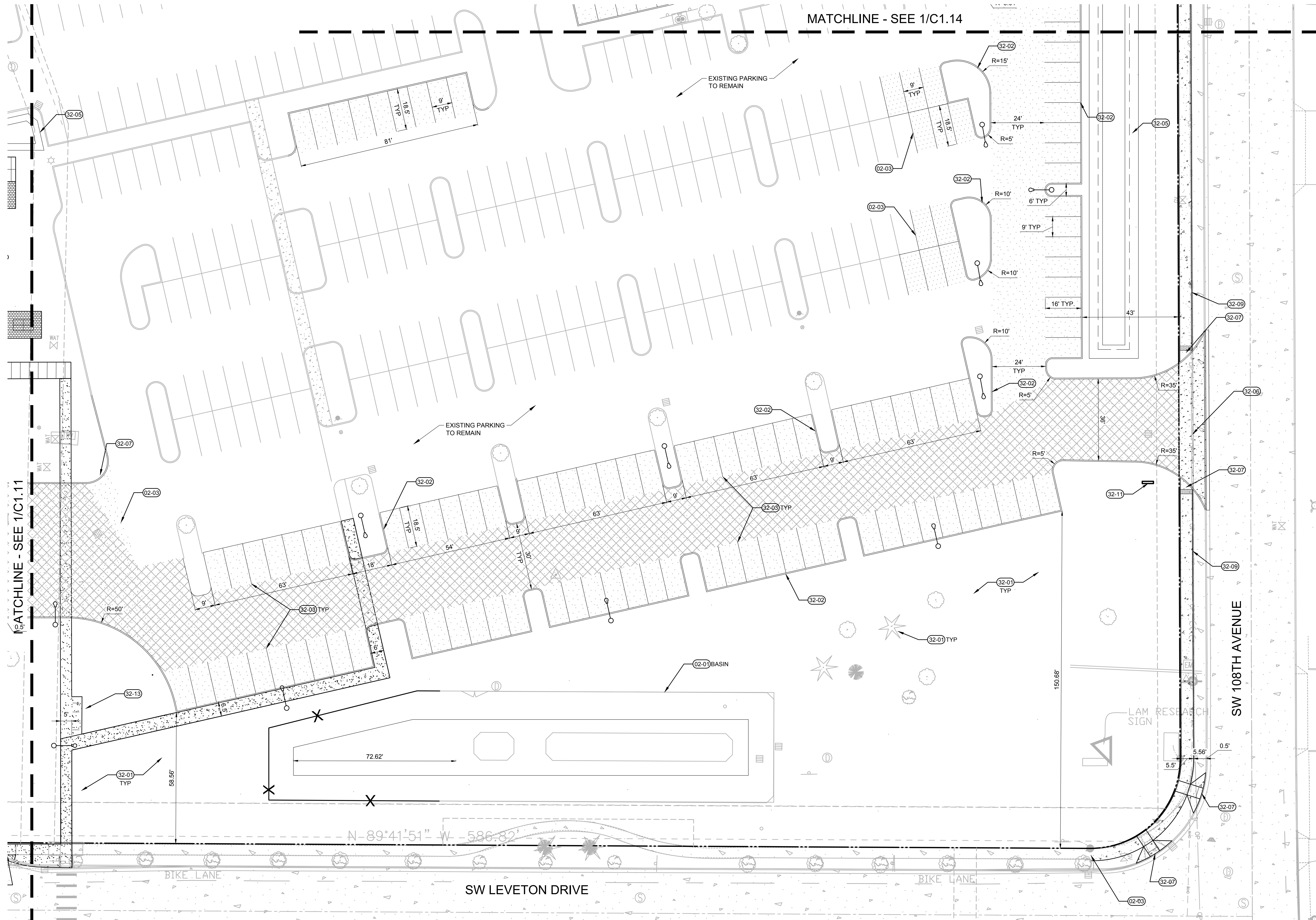
JOB NO. **2220087.00**

KEYNOTES

- 02-01 PROTECT ITEM TO REMAIN (AS NOTED)
- 02-02 REMOVE ITEM (AS NOTED)
- 02-03 MATCH EXISTING PAVING
- 02-04 LANDSCAPE AREA PER LANDSCAPE PLANS
- 02-05 VERTICAL CURB
- 02-06 PARKING STALL STRIPING
- 02-07 NEW STORMWATER SWALE
- 02-08 NEW STORMWATER BASIN
- 02-09 NEW INDUSTRIAL DRIVEWAY
- 02-10 SIDEWALK CURB RAMP
- 02-11 SAWCUT AC PAVING
- 02-12 CONCRETE SIDEWALK
- 02-13 WAYFINDING MONUMENT SIGN
- 02-14 LOCATION FOR BIKE PARKING

NOTES

- 1. SEE C0.01 FOR GENERAL CIVIL NOTES AND LEGEND

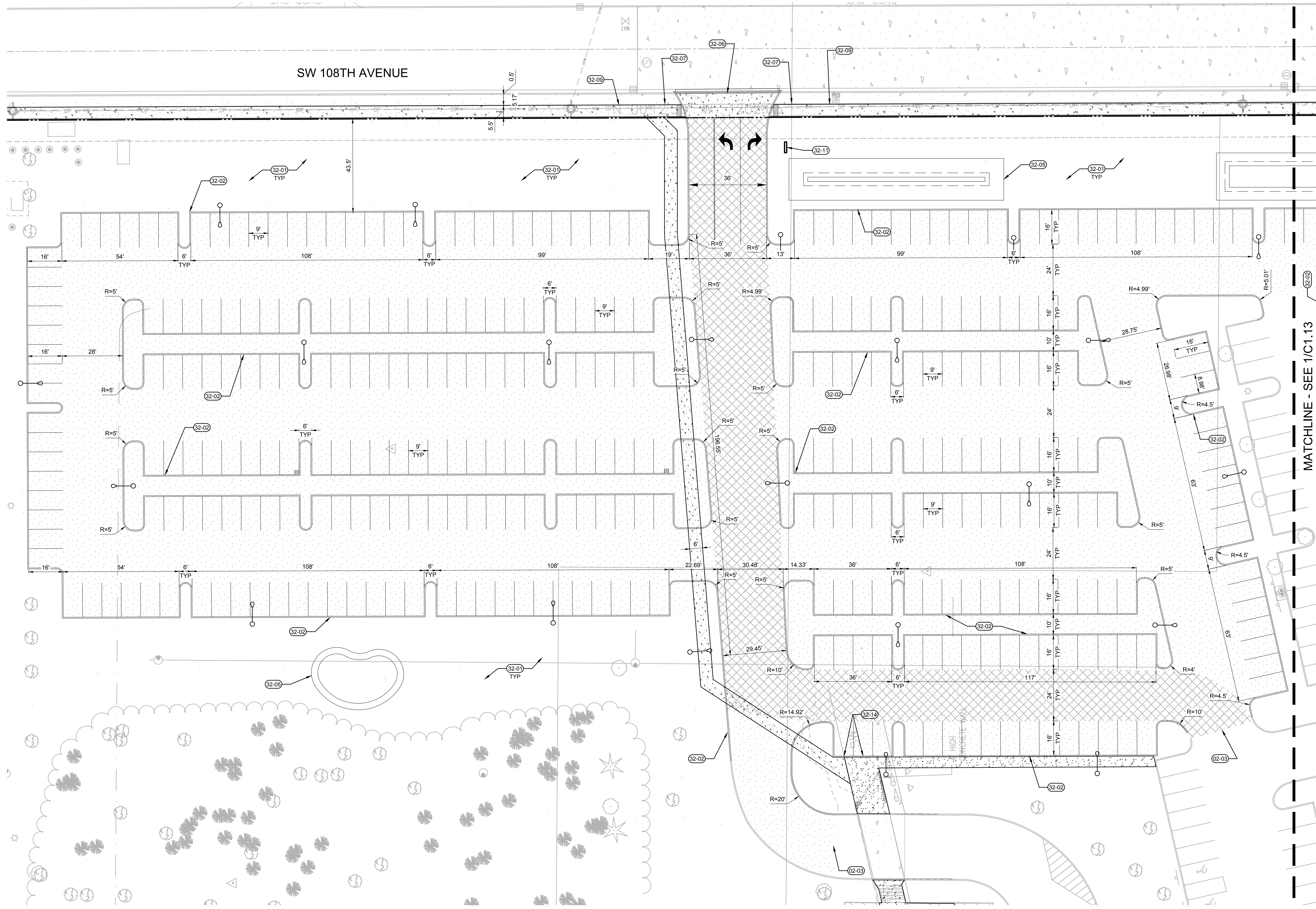


KEYNOTES

- 02-01 PROTECT ITEM TO REMAIN (AS NOTED)
- 02-02 REMOVE ITEM (AS NOTED)
- 02-03 MATCH EXISTING PAVING
- 32-01 LANDSCAPE AREA PER LANDSCAPE PLANS
- 32-02 VERTICAL CURB
- 32-03 PARKING STALL STRIPING
- 32-04 NEW STORMWATER SWALE
- 32-05 NEW STORMWATER BASIN
- 32-06 NEW INDUSTRIAL DRIVEWAY
- 32-07 SIDEWALK CURB RAMP
- 32-08 SAWCUT AC PAVING
- 32-09 CONCRETE SIDEWALK
- 32-11 WAVYENDING MONUMENT SIGN
- 32-14 CARPOOL PARKING

NOTES

- 1. SEE C0.01 FOR GENERAL CIVIL NOTES AND LEGEND



MATCHLINE - SEE 1/C1.13

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**EAST PARKING
EXPANSION
SITE PLAN**

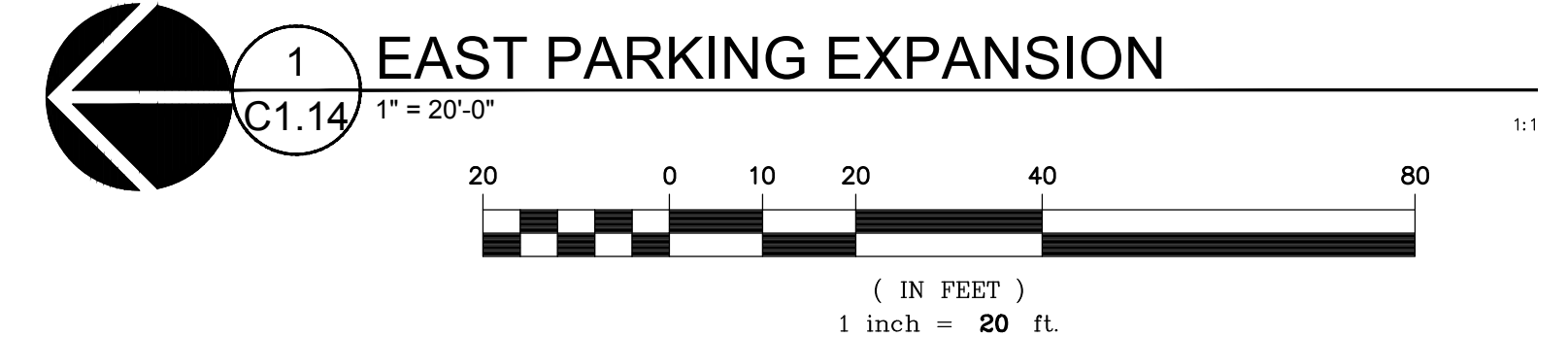
DRAWN BY: SJS

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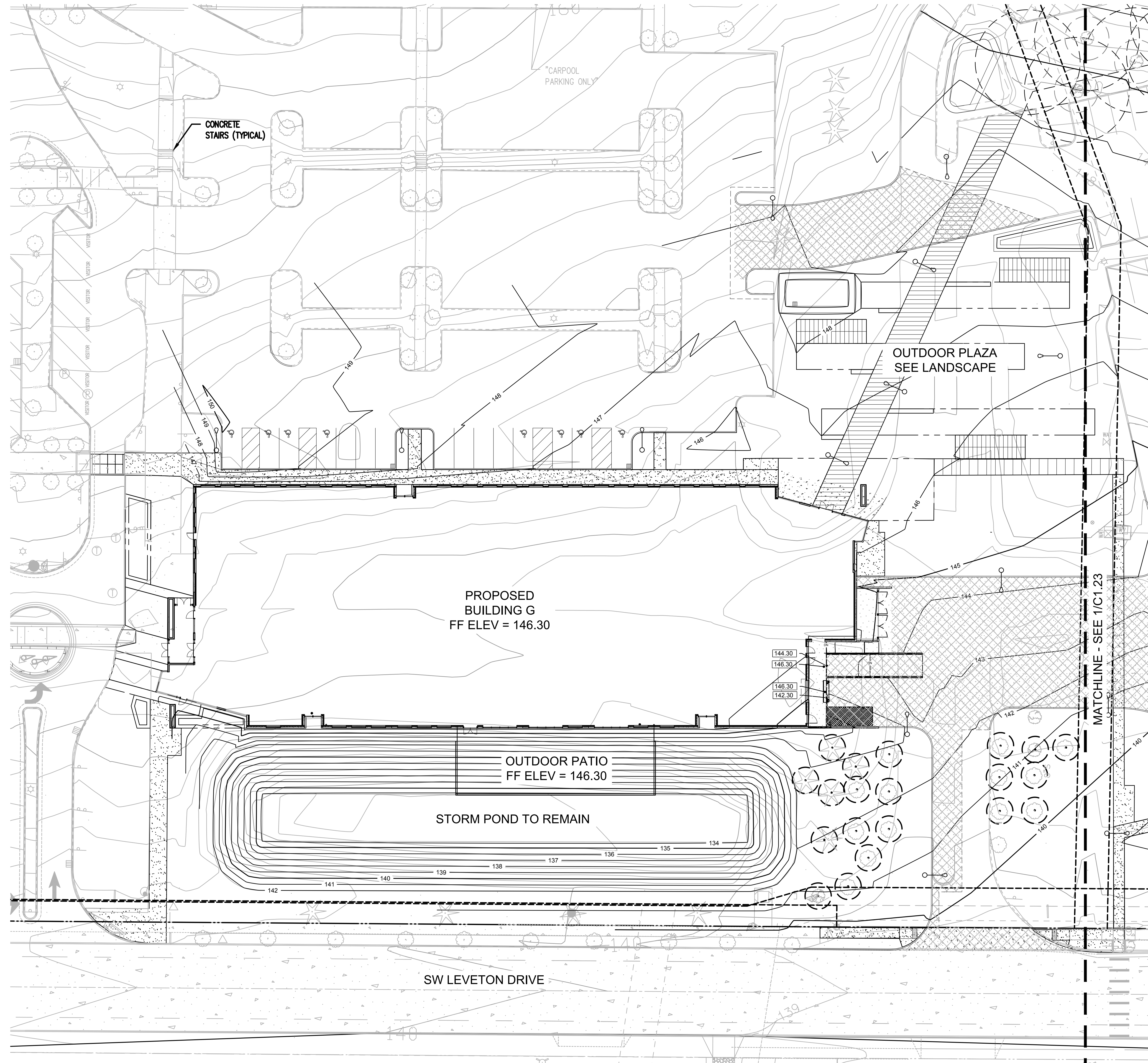
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C1.14

JOB NO. **2220087.00**

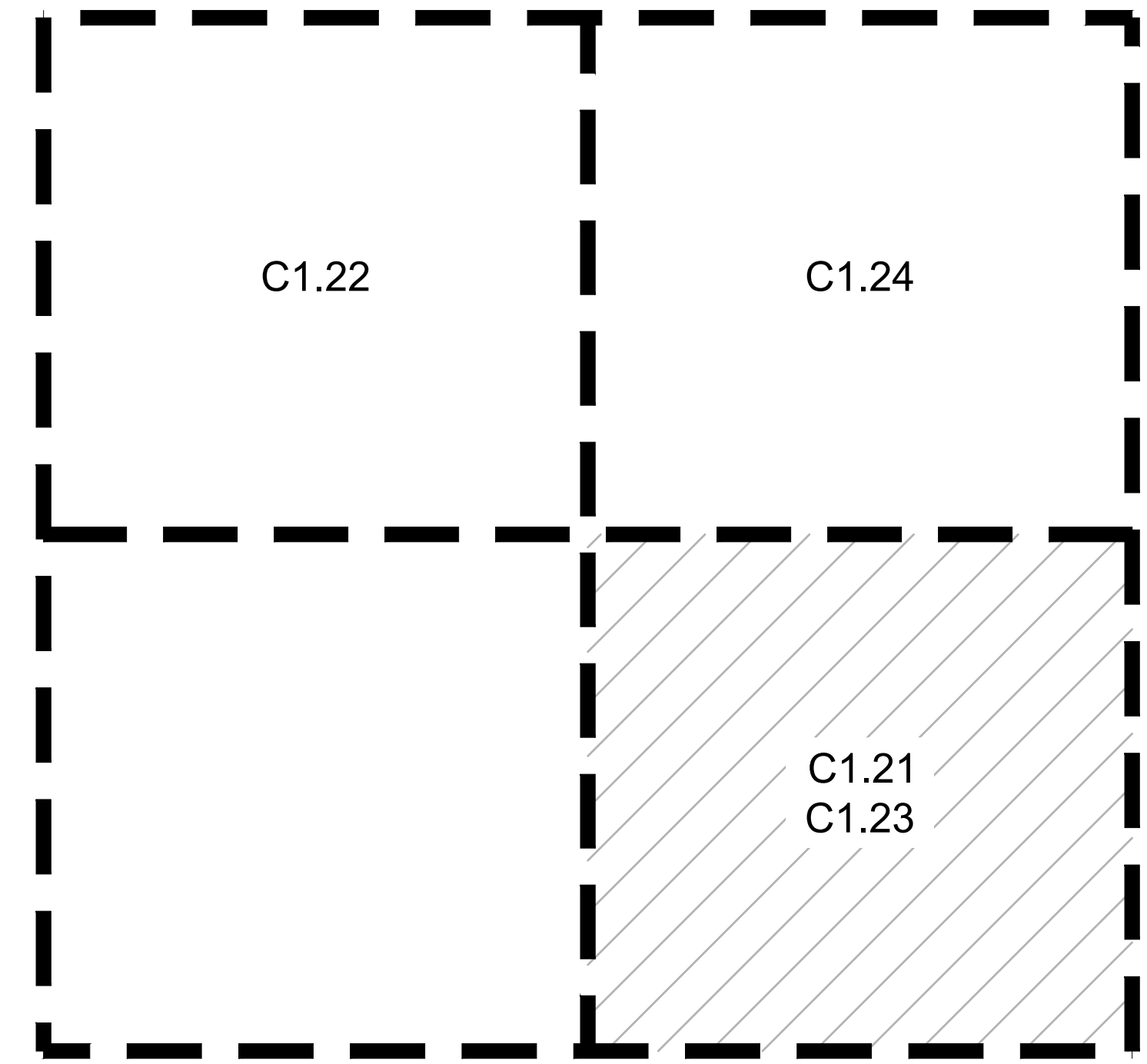


ARCHITECTURAL REVIEW: 8/17/2022



1
C1.21 **BUILDING G GRADING PLAN**
1" = 20'-0"

(IN FEET)
1 inch = 20 ft.



KEY MAP
SCALE: NTS

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Delta	Issued As	Issue Date

SHEET TITLE:
**BUILDING G
GRADING PLAN**

DRAWN BY: SJS

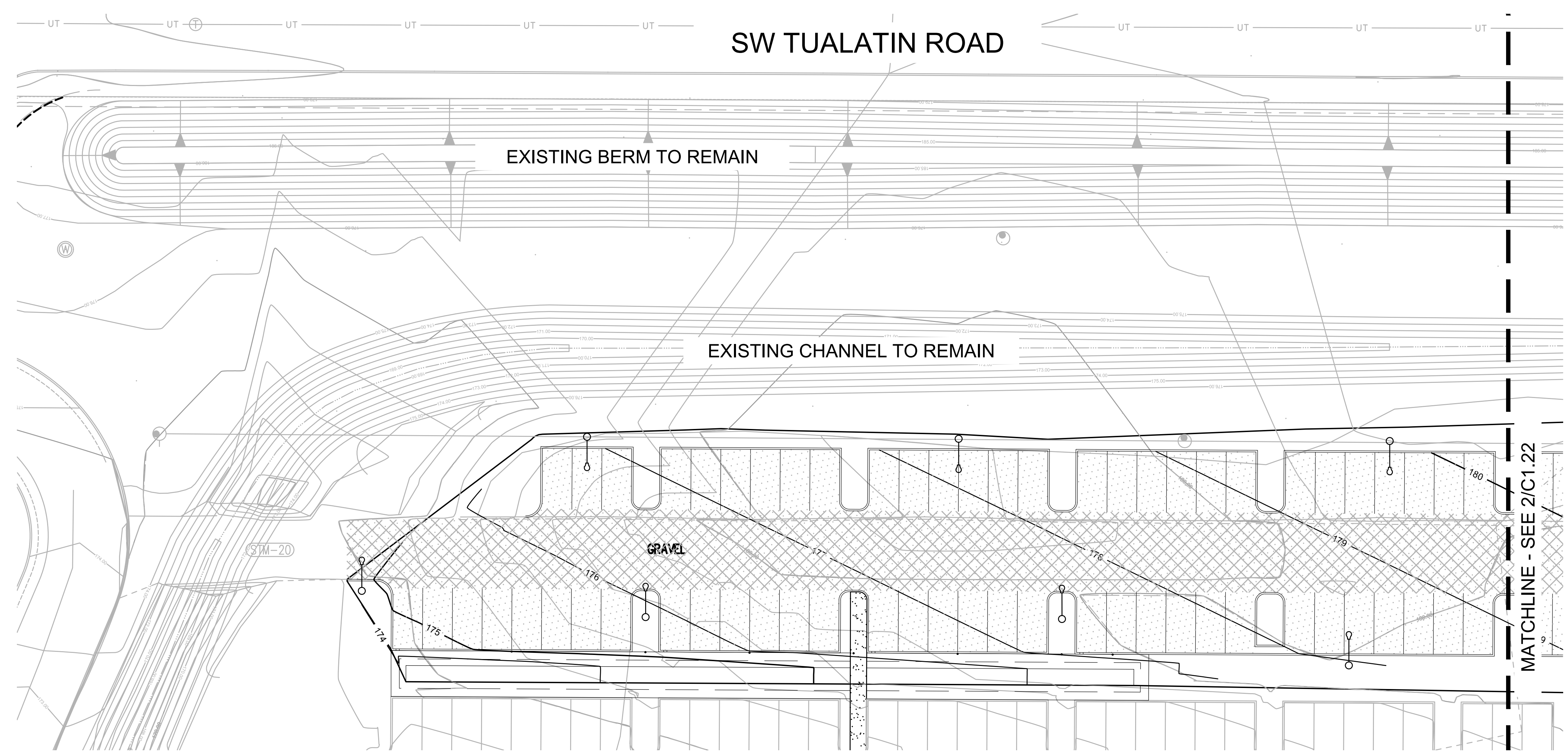
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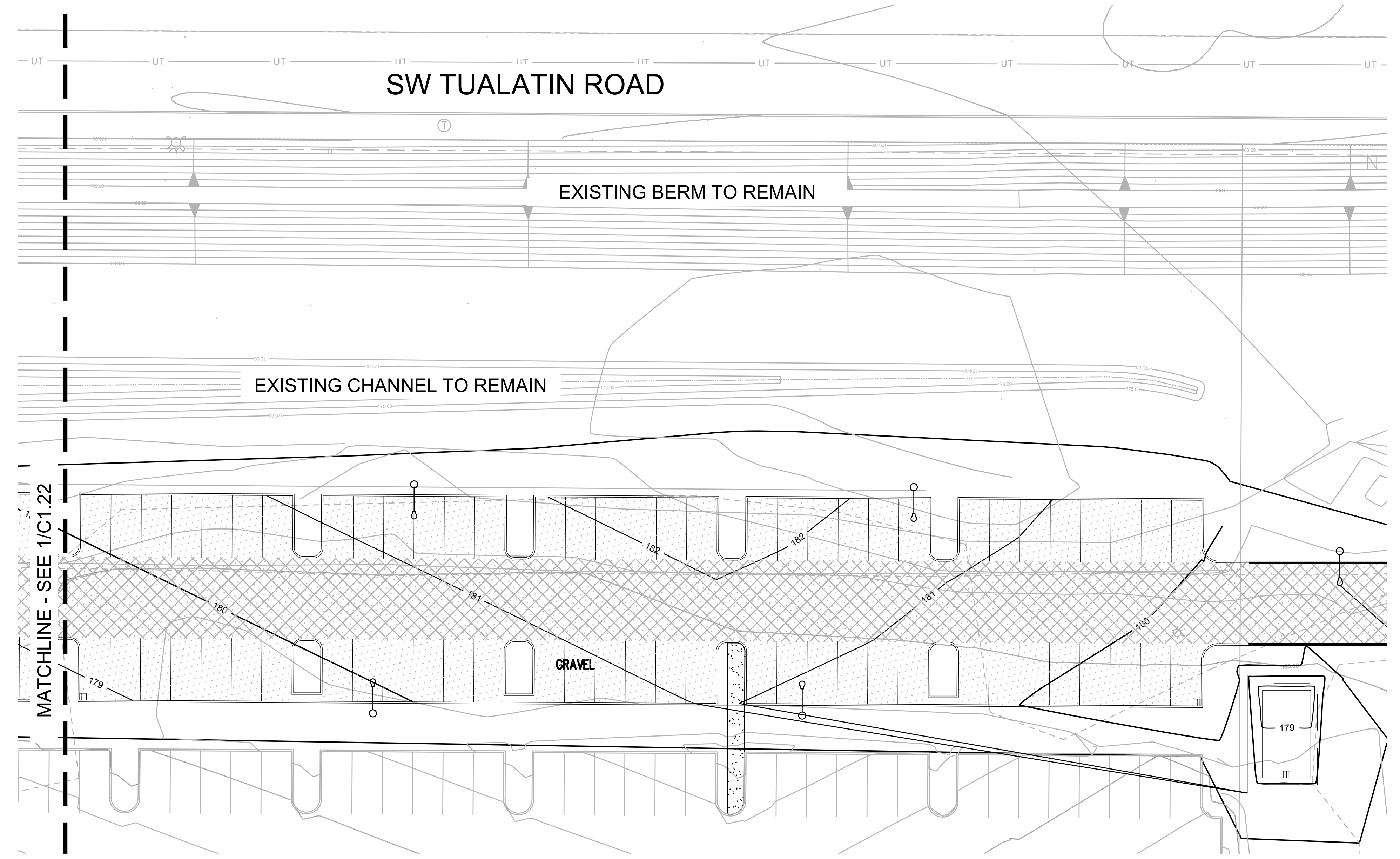
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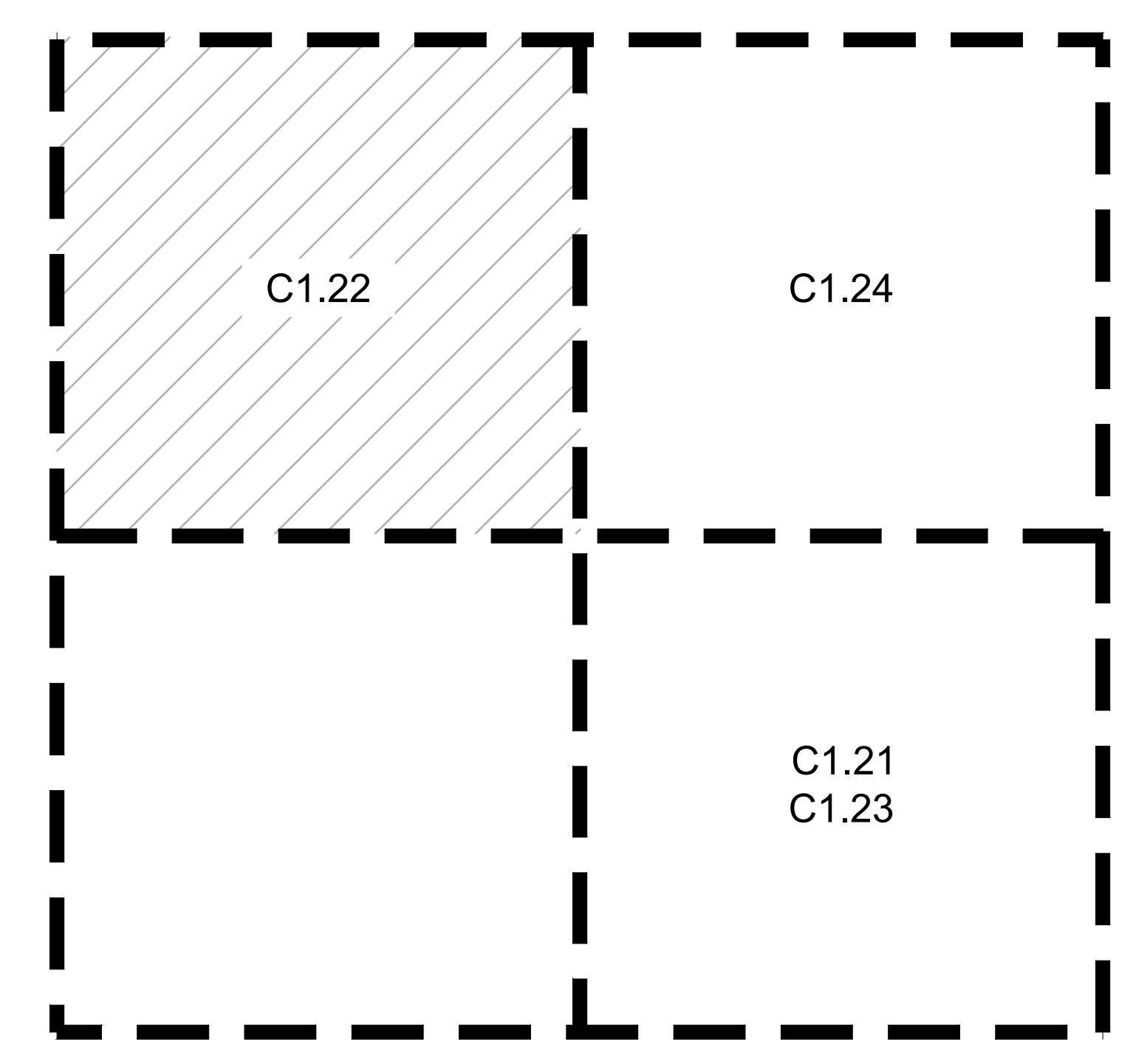
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1 NW PARKING GRADING PLAN - WEST
 C1.22
 1" = 20'-0"
 (IN FEET)
 1 inch = 20 ft.



2 NW PARKING GRADING PLAN - EAST
 C1.22
 1" = 20'-0"
 (IN FEET)
 1 inch = 20 ft.



KEY MAP
 SCALE: NTS

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
NORTHWEST
PARKING
EXPANSION
GRADING
PLANS

DRAWN BY: SJS

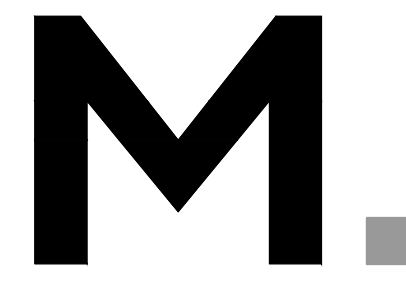
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SHEET

C1.22

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Delta	Issued As	Issue Date

SHEET TITLE:
**EAST PARKING
EXPANSION
GRADING PLAN**

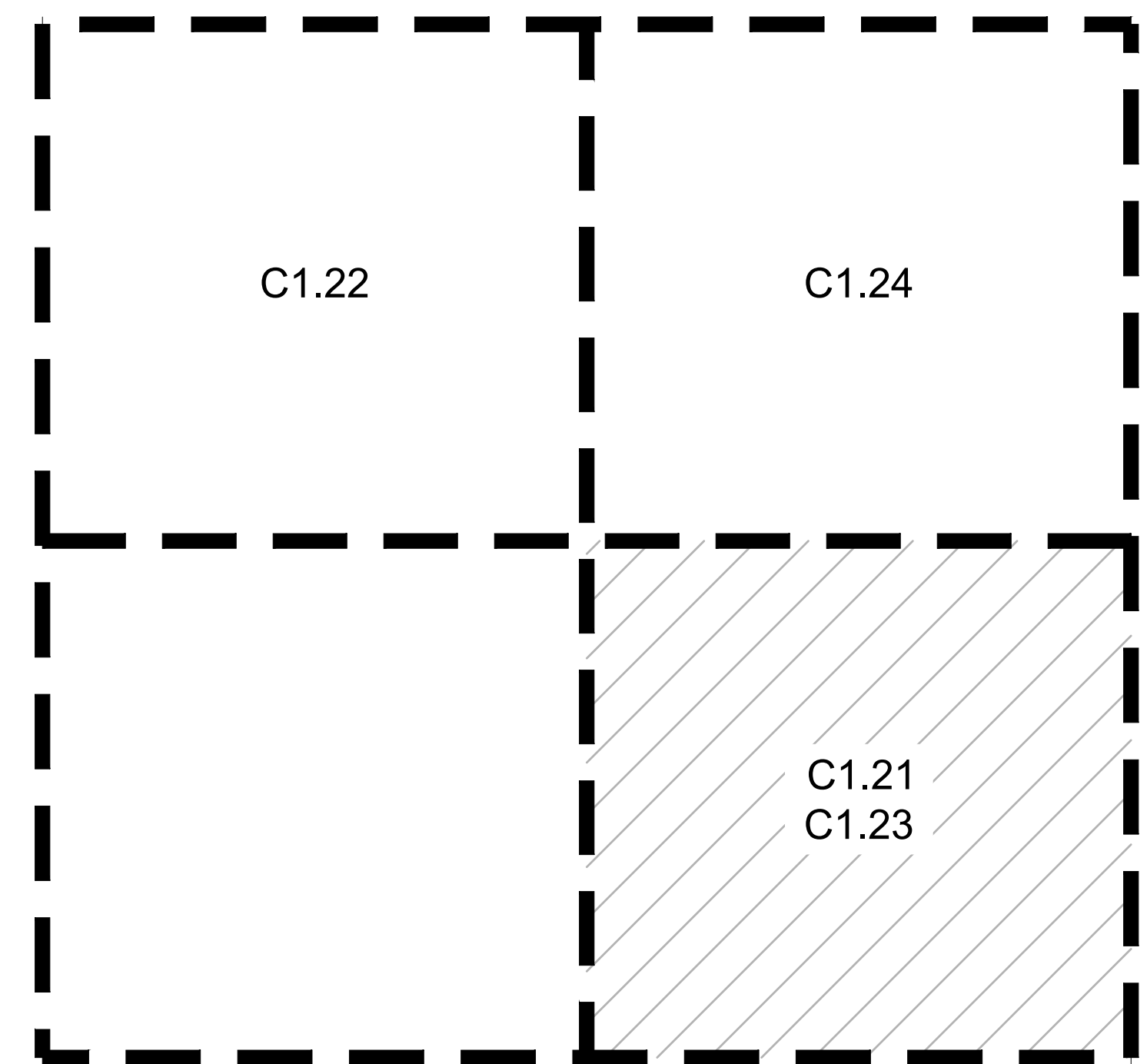
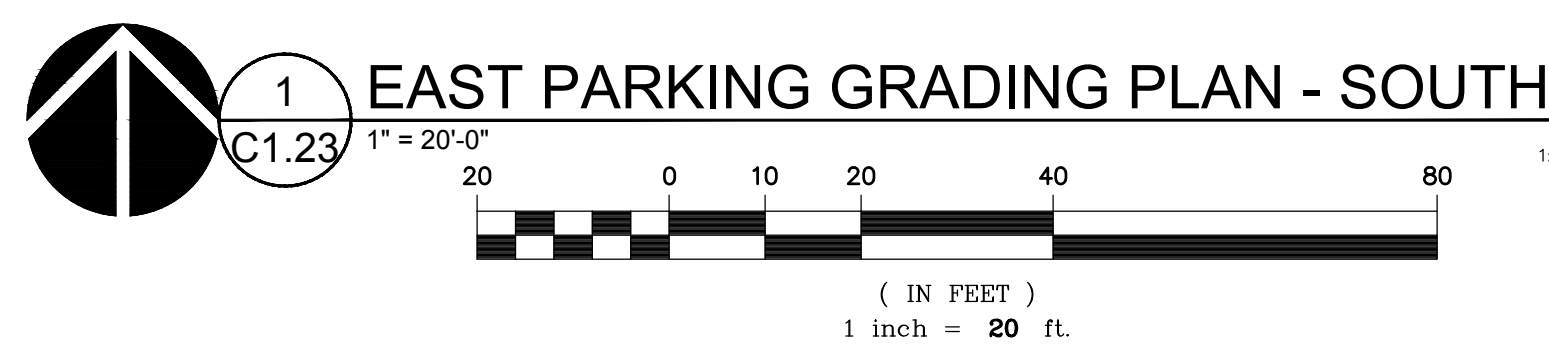
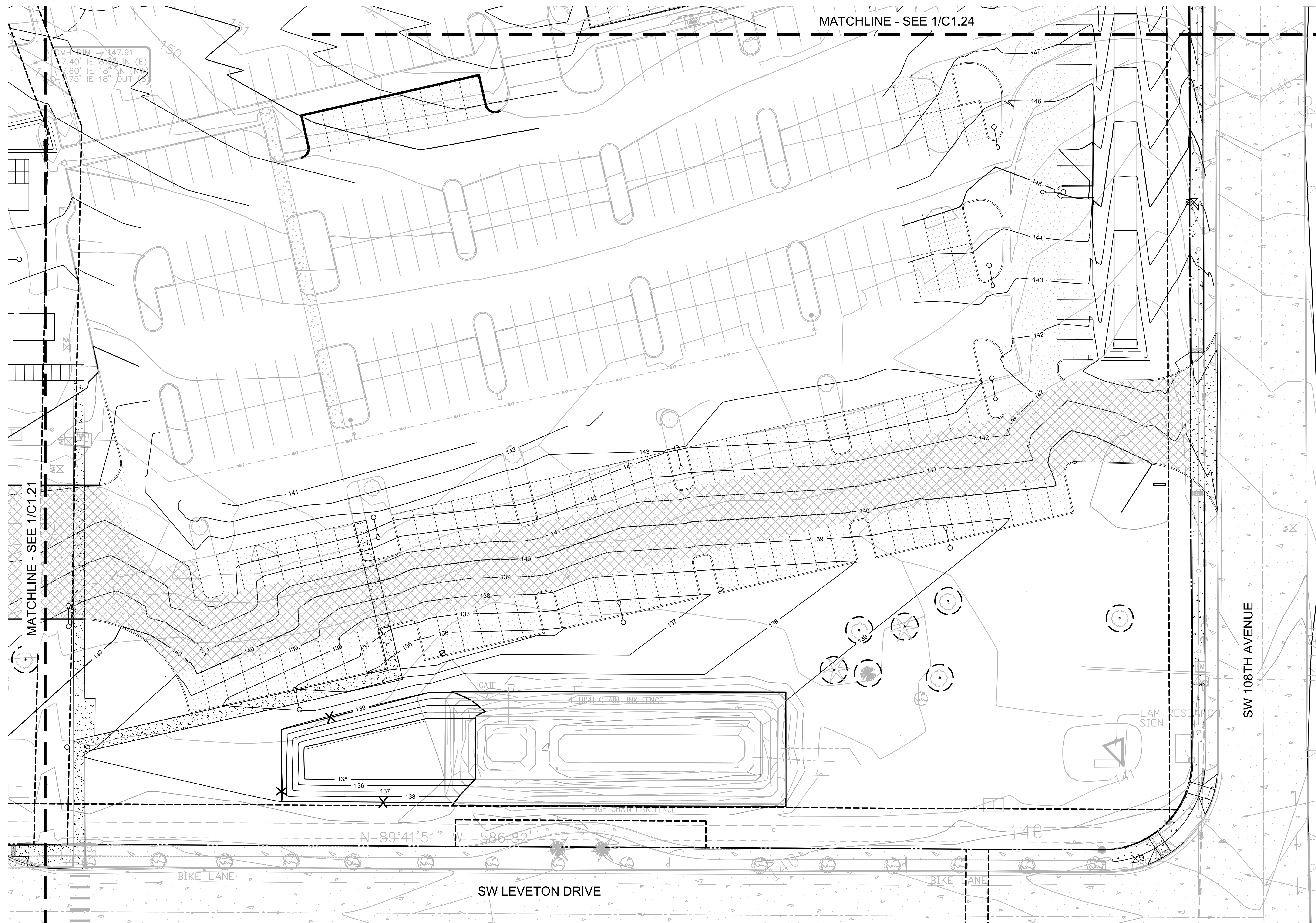
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C1.23

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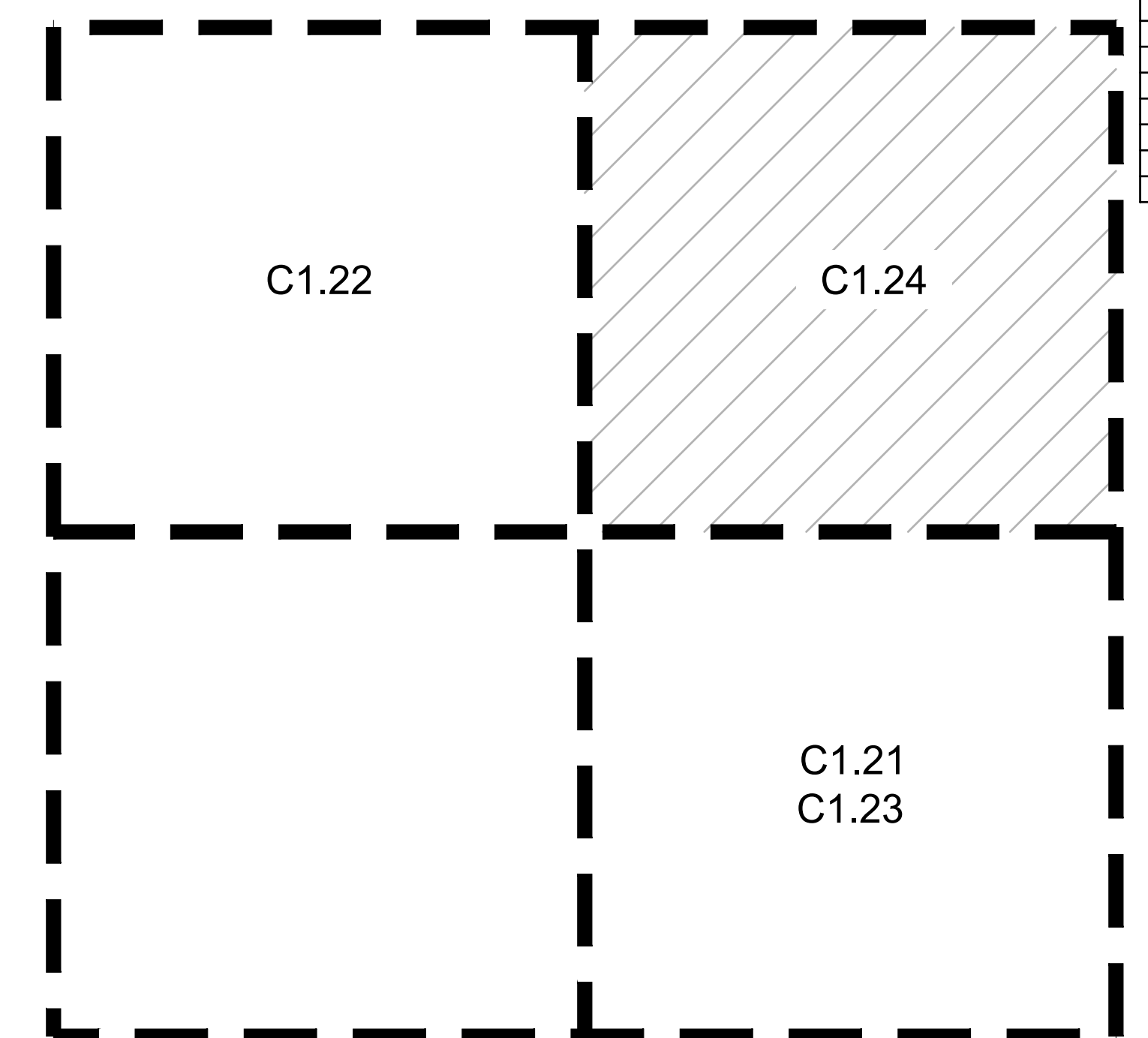
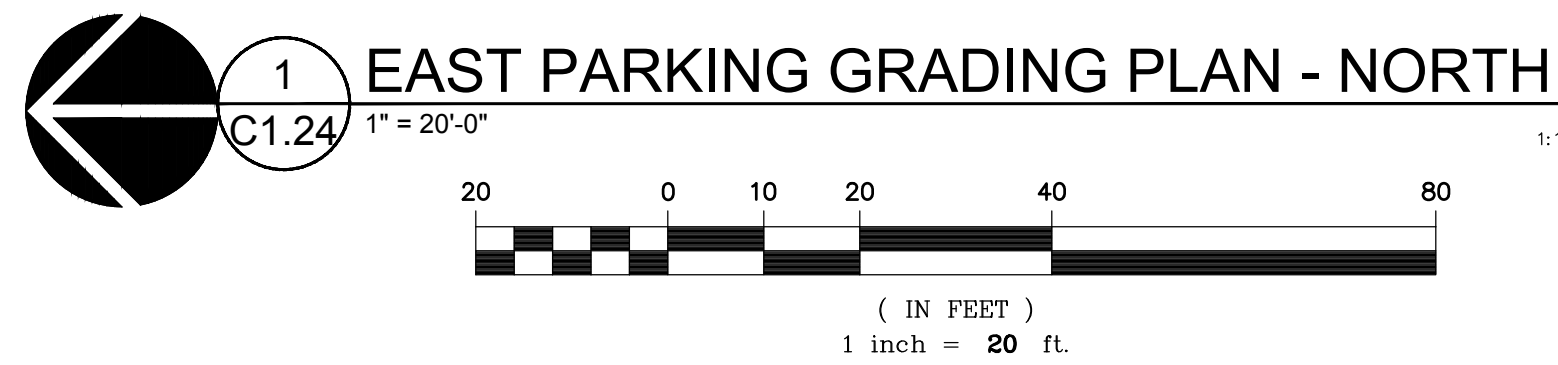
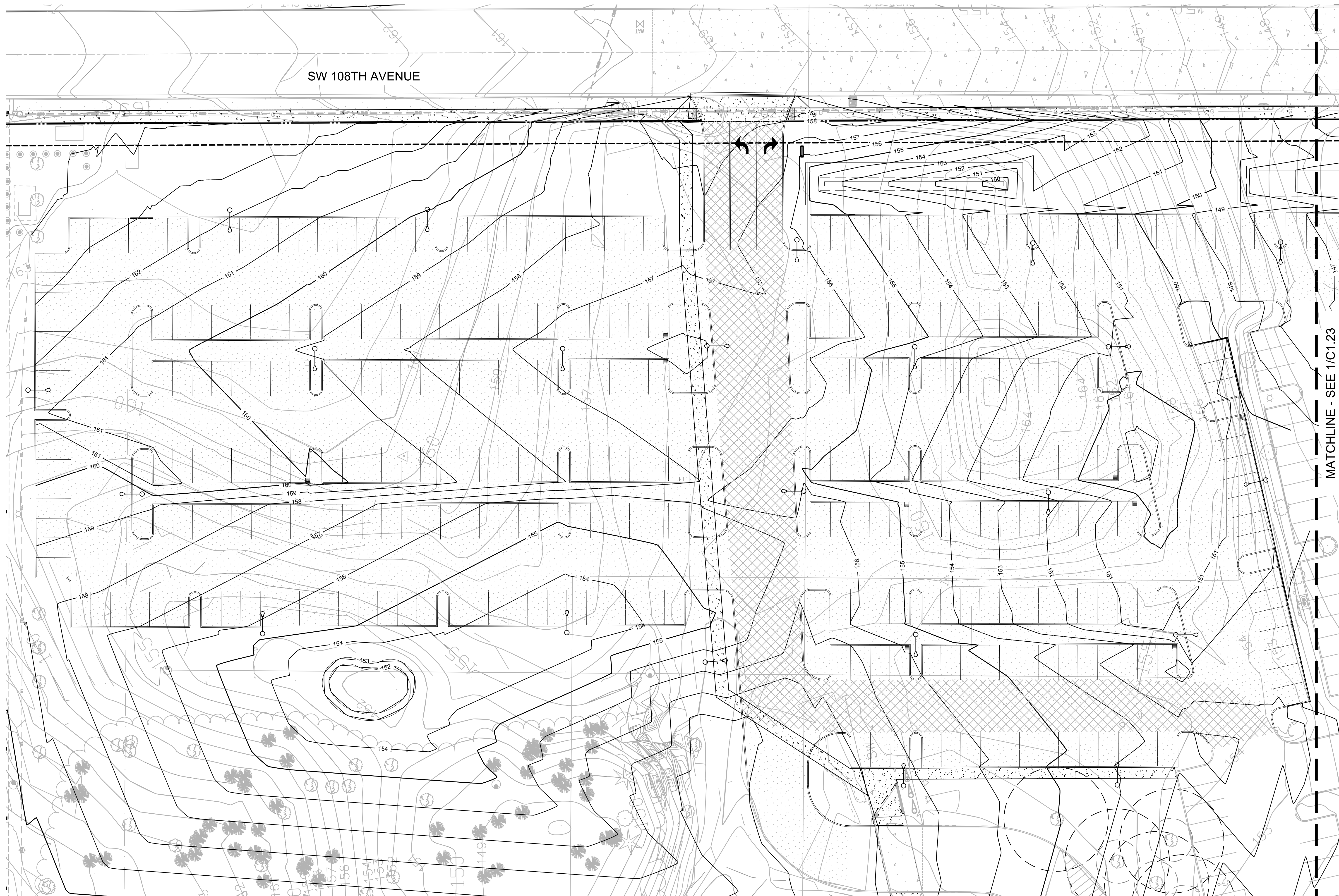
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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**EAST PARKING
EXPANSION
GRADING
PLANS**

DRAWN BY: SJS

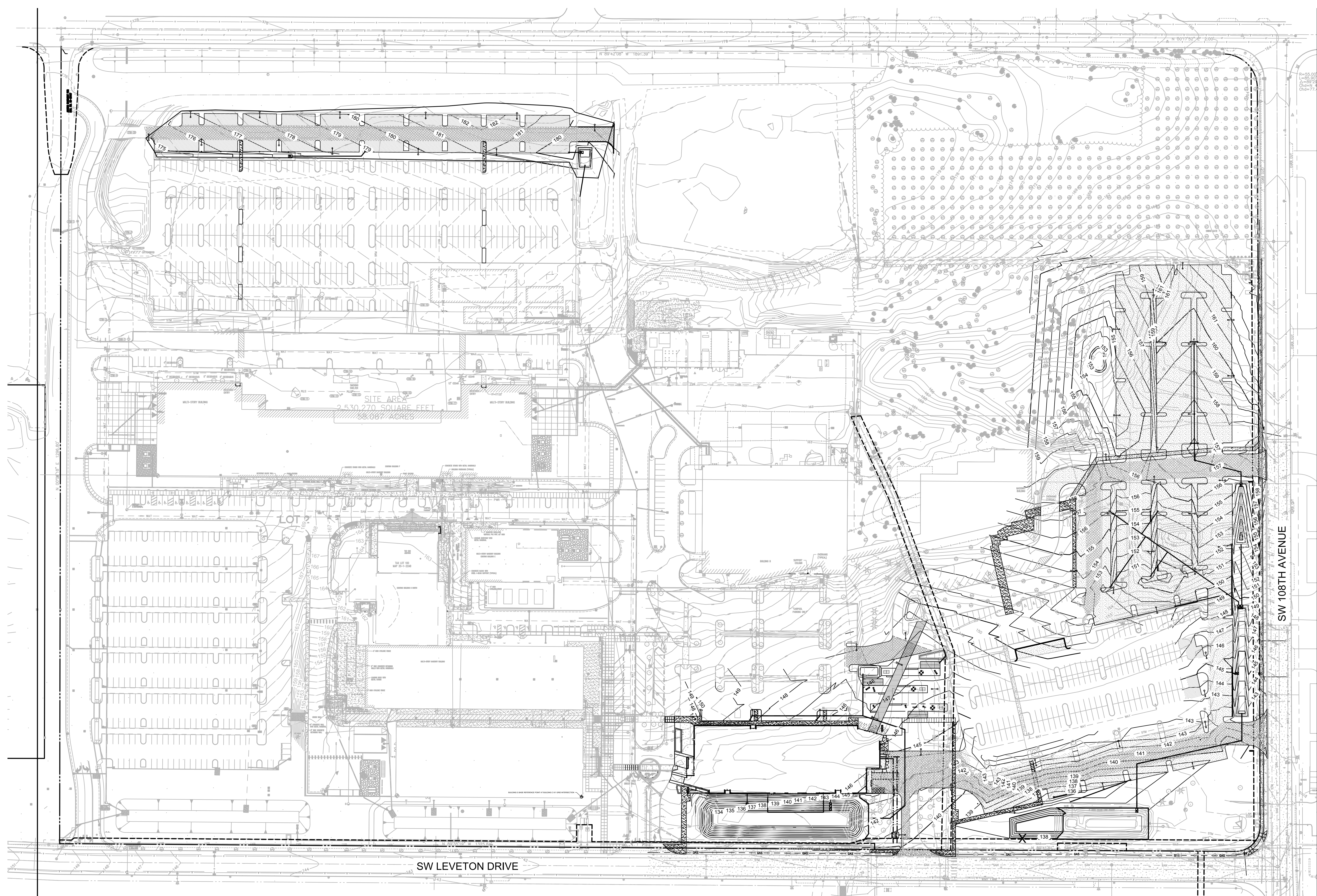
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SHEET

C1.24

KEY MAP
SCALE: NTS
ARCHITECTURAL REVIEW: 8/17/2022

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SHEET TITLE:
**OVERALL
 UTILITY PLAN**

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 SHEET

C1.30

JOB NO. **2220087.00**

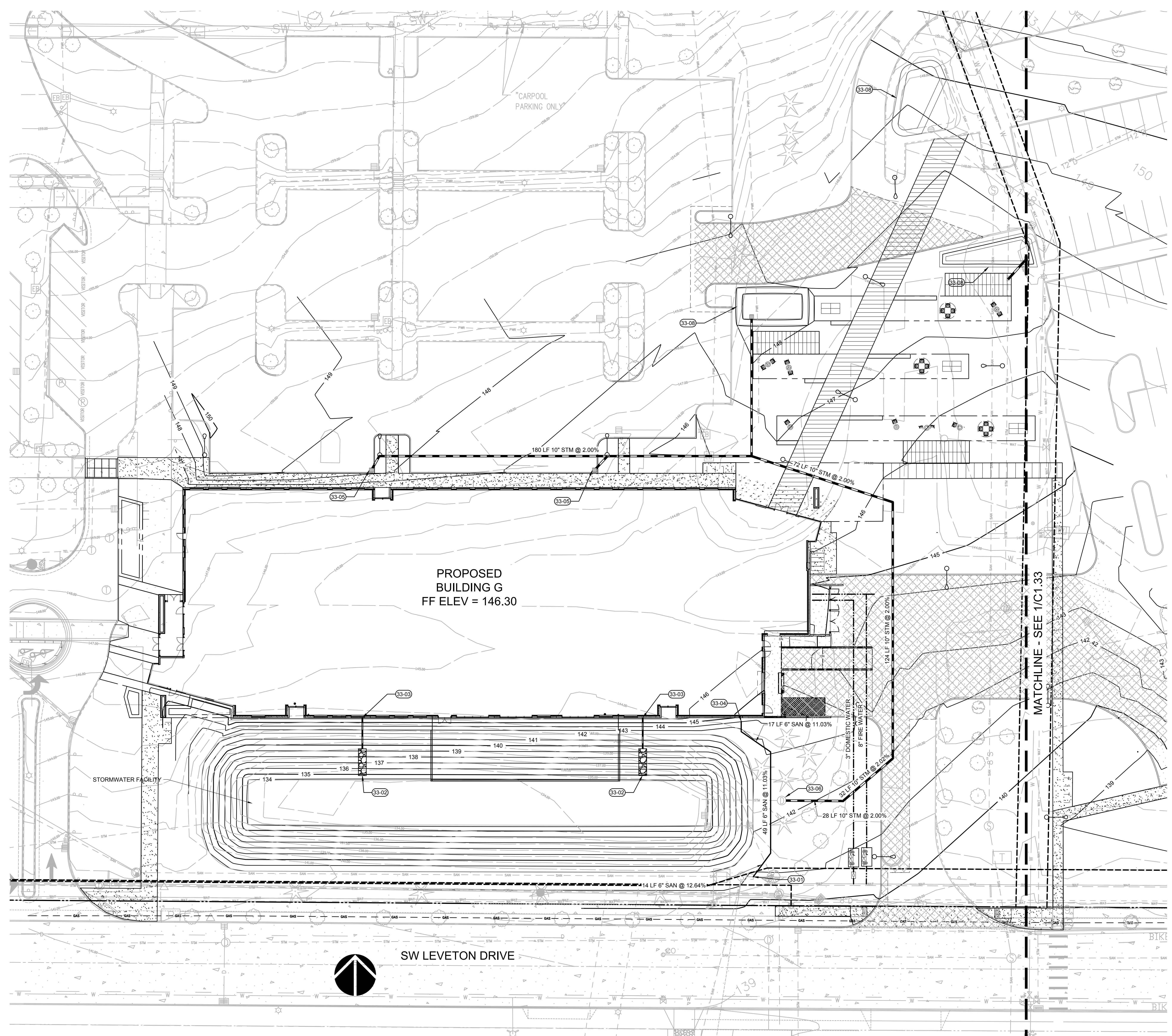
ARCHITECTURAL REVIEW: 8/17/2022

REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**BUILDING G
UTILITY PLAN**

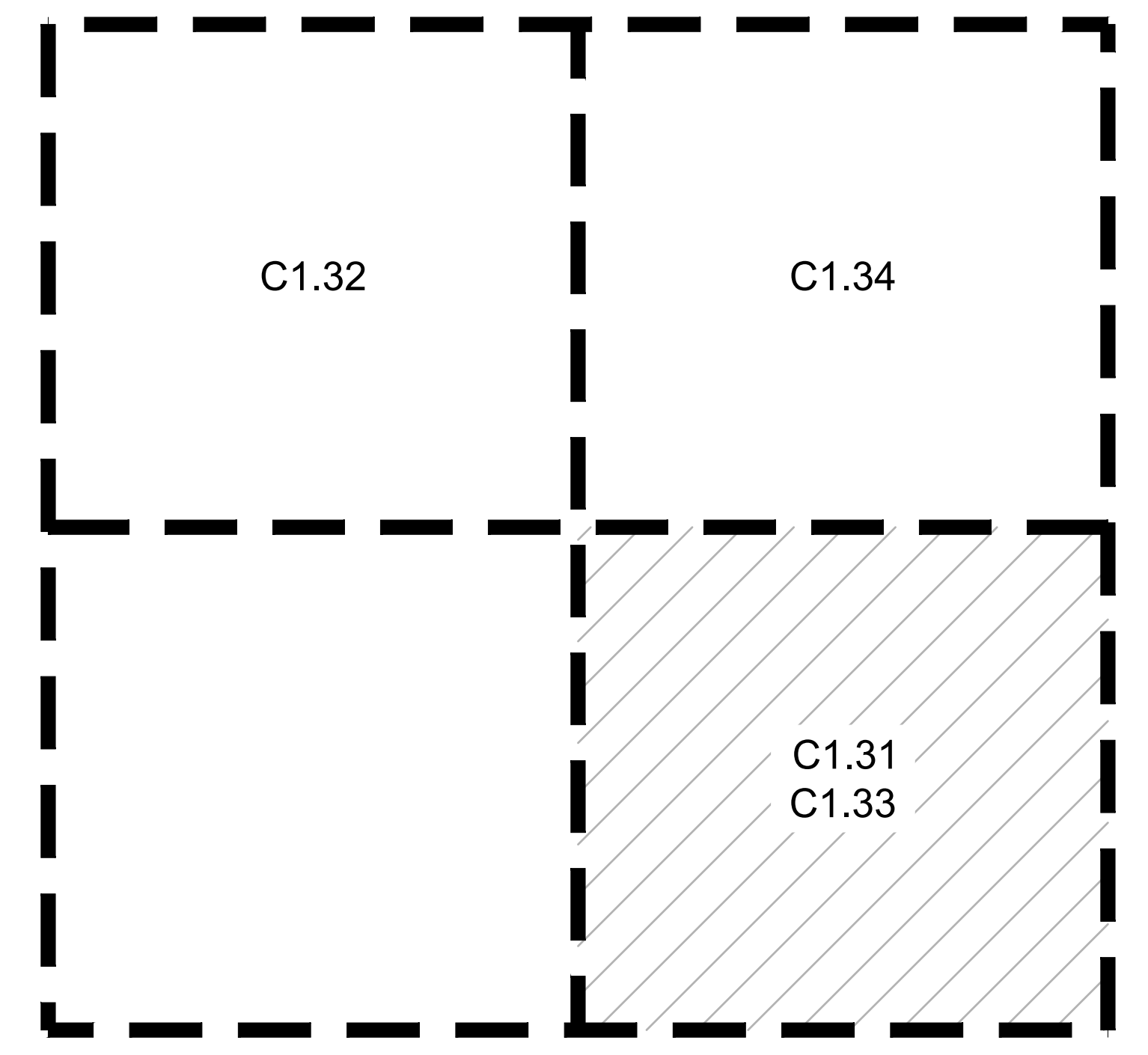
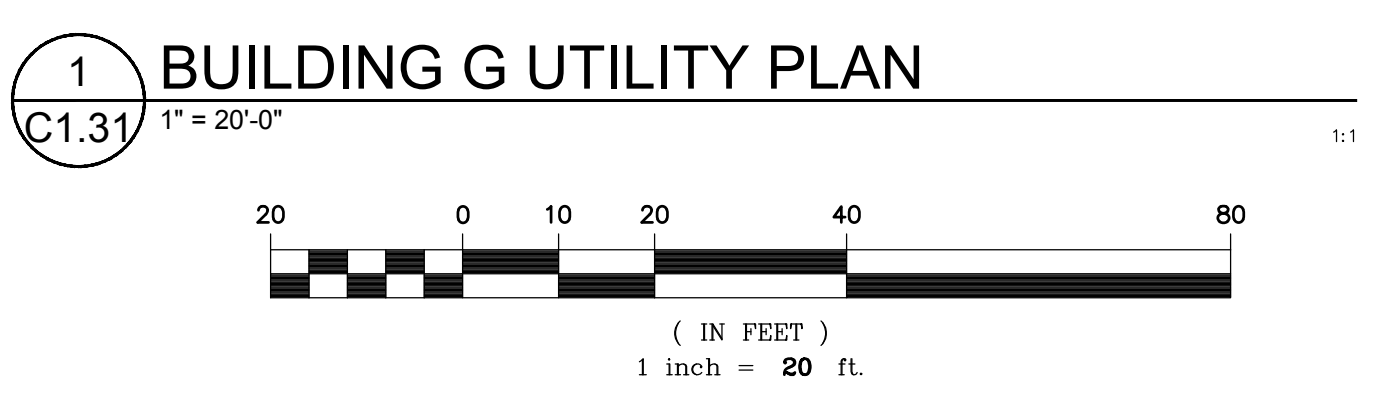
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SHEET

C1.31
JOB NO. **2220087.00**



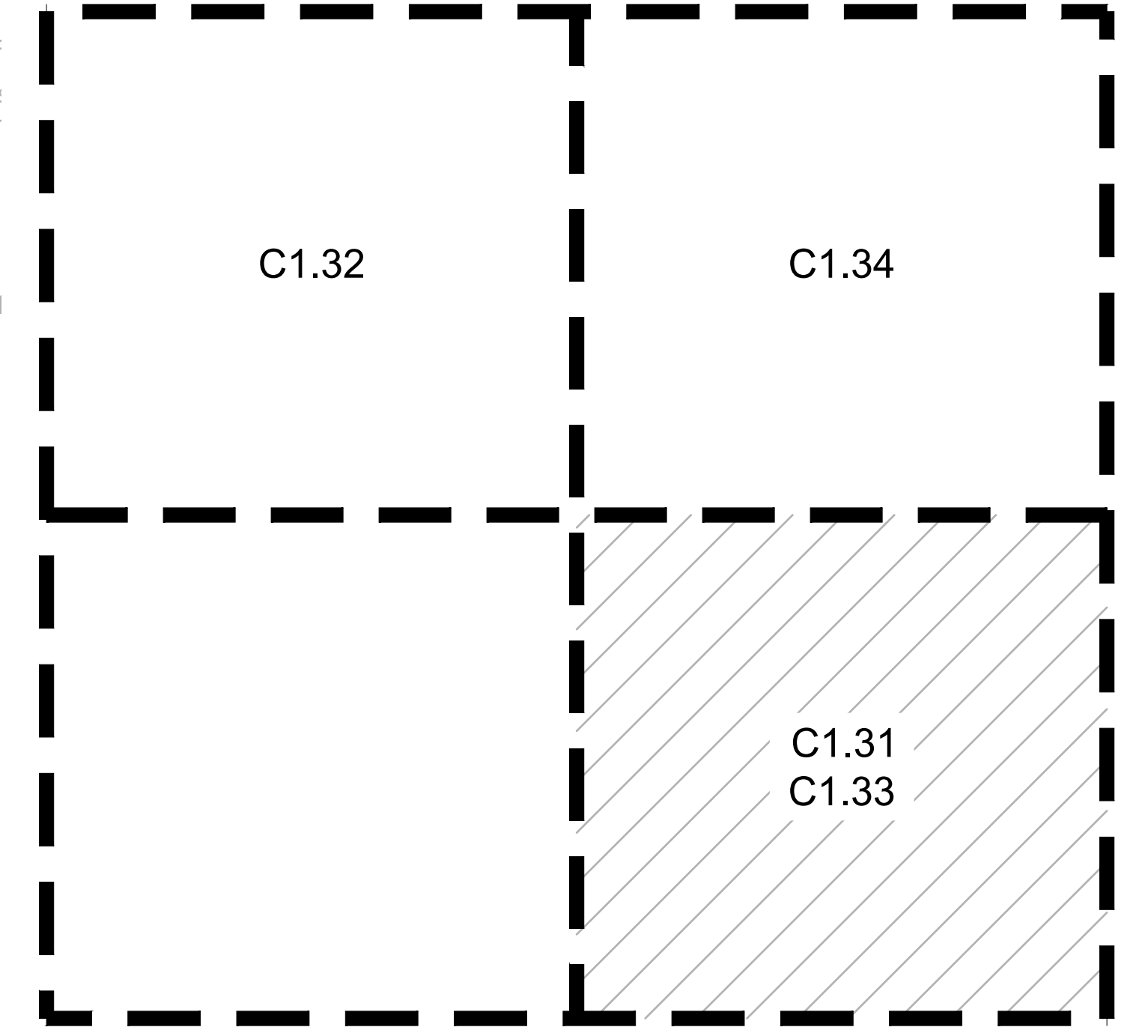
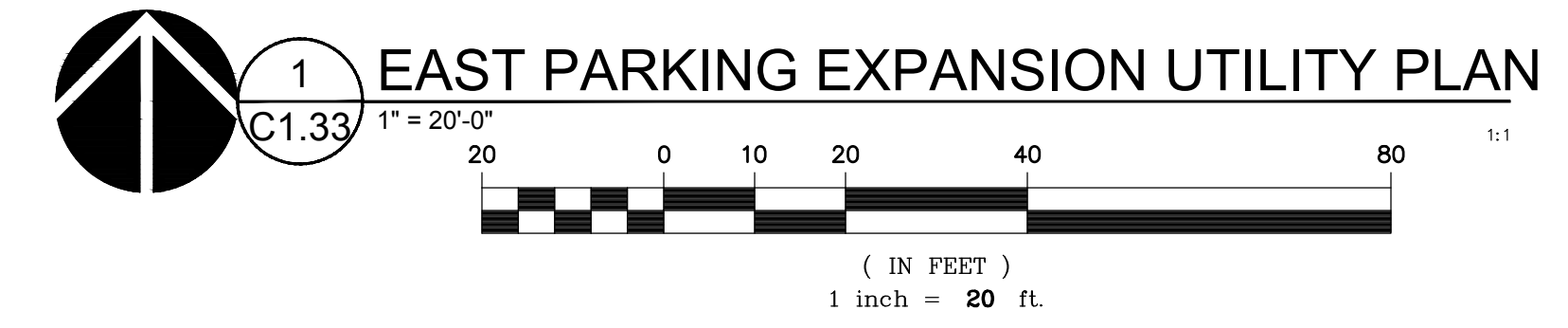
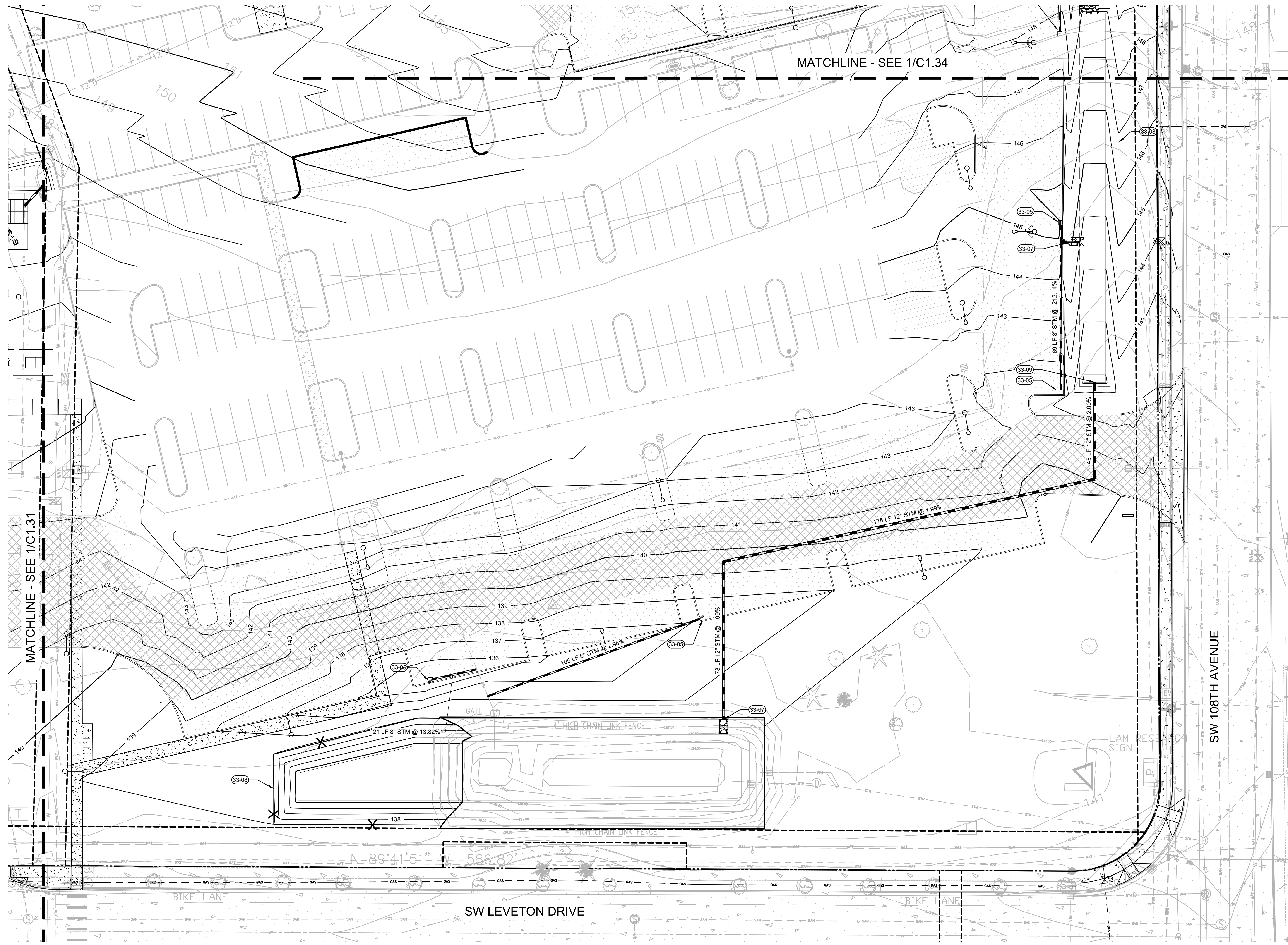
KEYNOTES

- 33-01 CONNECT SEWER TO EXISTING MANHOLE STUB
- 33-02 6" ROOF DRAIN OUTFALL WITH RIPRAP
- 33-03 ROOF DRAIN CONNECTION TO PLUMBING
- 33-04 CONNECT SEWER LATERAL TO PLUMBING
- 33-05 CATCH BASIN
- 33-06 CONNECT STORM TO EXISTING MANHOLE
- 33-08 STORMWATER BASIN
- 33-09 OVERFLOW OUTLET



KEYNOTES

- 33-05 CATCH BASIN
- 33-07 PIPE OUTFALL WITH RIPRAP
- 33-08 STORMWATER BASIN
- 33-09 OVERFLOW OUTLET



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SHEET TITLE:
**EAST PARKING
EXPANSION
UTILITY PLAN**

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SHEET

C1.33

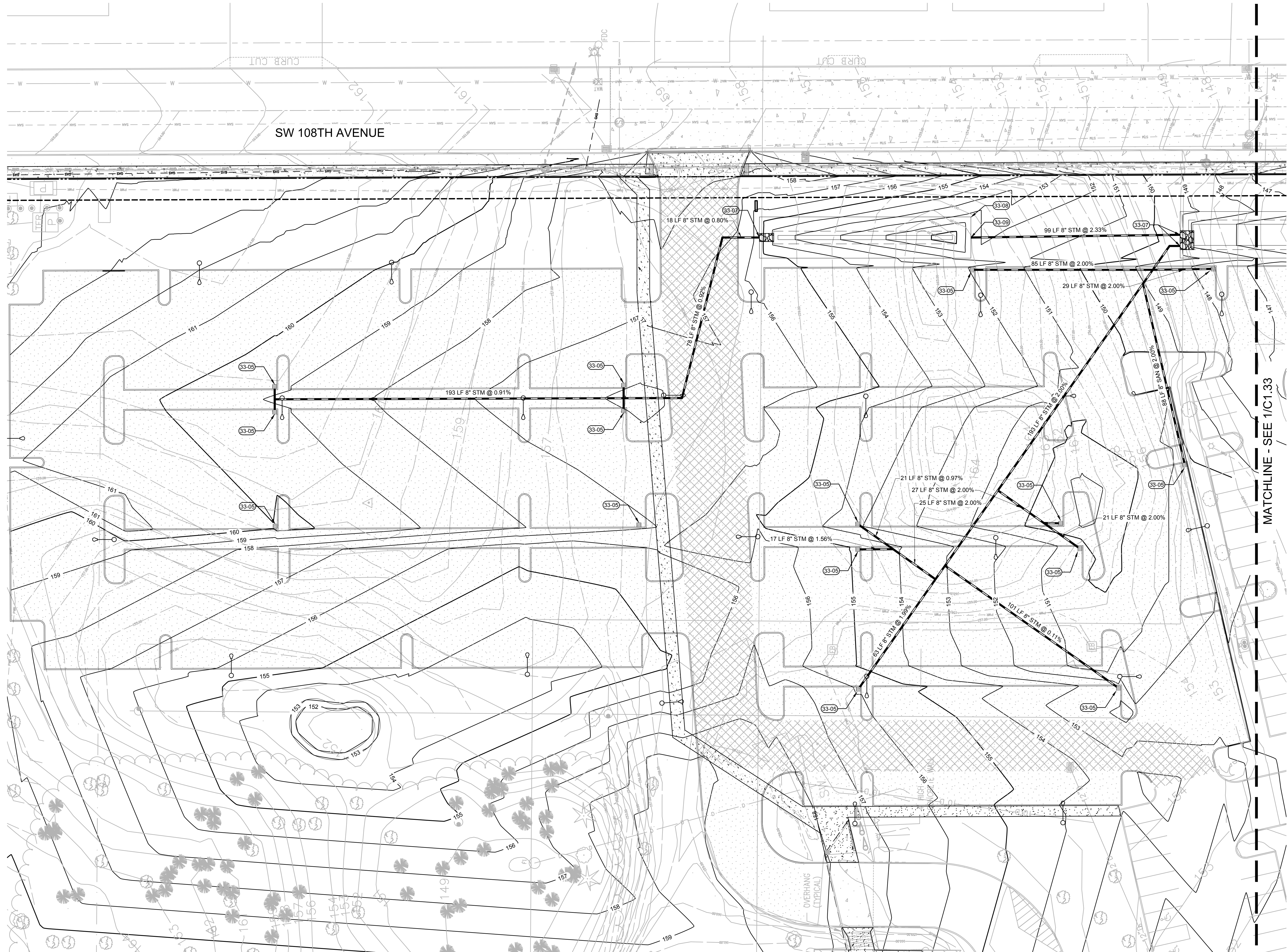


ARCHITECTURAL REVIEW: 8/17/2022

JOB NO. **2220087.00**

KEYNOTES

- 33-05 CATCH BASIN
- 33-07 PIPE OUTFALL WITH RIPRAP
- 33-08 STORMWATER BASIN
- 33-09 OVERFLOW OUTLET



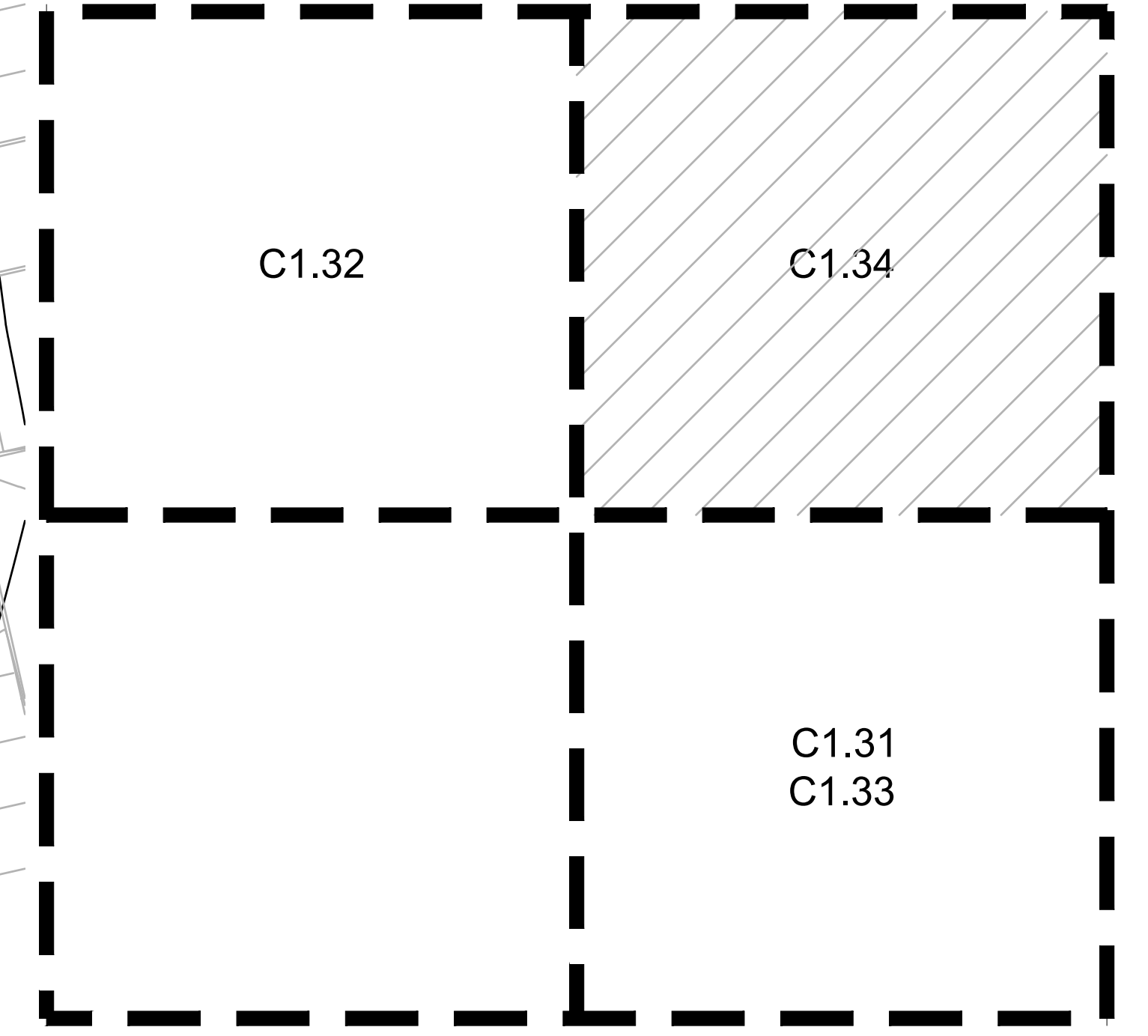
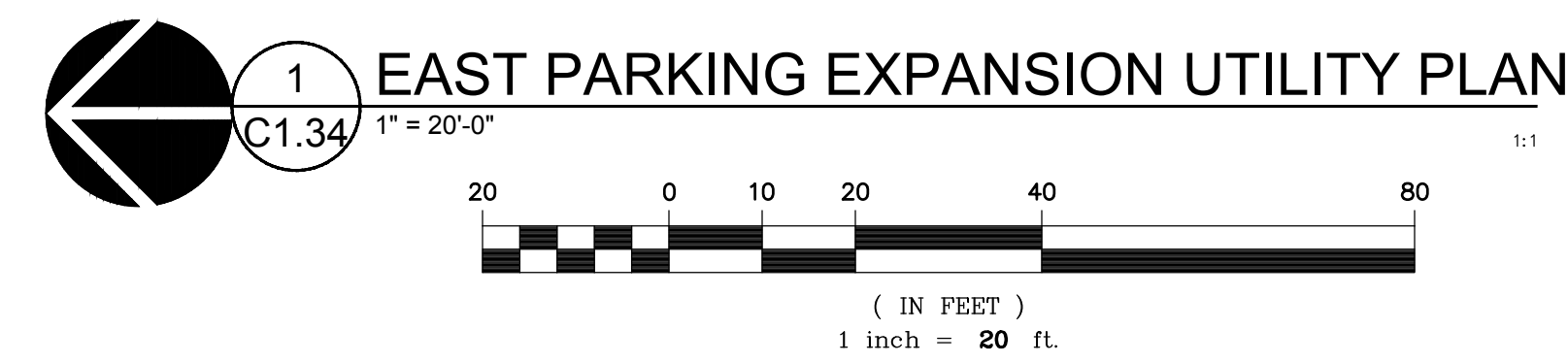
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SHEET TITLE:
EAST PARKING
EXPANSION
UTILITY PLAN

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JOB NO. **2220087.00**



KEY MAP
 SCALE: NTS
ARCHITECTURAL REVIEW: 8/17/2022

LEGEND

- SEDIMENT FENCE PER 3/EC6.0
- LIMITS OF GRADING
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING DRAINAGE FLOW ARROW
- PROPOSED DRAINAGE FLOW ARROW
- CATCH BASIN SEDIMENT FILTER BAG PER 1/EC6.0
- CONCRETE WASHOUT PER 6/EC6.0
- WHEEL WASH PER 5/EC6.0
- CONSTRUCTION ENTRANCE PER 2/EC6.0
- SOIL STOCKPILE AREA PER 4/EC6.0
- AREA FOR SOLID AND HAZARDOUS WASTE, FUEL STORAGE AND REFUELING AND EQUIPMENT STORAGE AND MAINTENANCE

KEYNOTES

- 01-01 CATCH BASIN SEDIMENT FILTER BAG PER DETAIL 1/C1.45
- 01-02 CONSTRUCTION ENTRANCE PER DETAIL 2/C1.45
- 01-04 AREA FOR TEMPORARY SOIL STOCKPILE FROM EARTHWORK CUTTINGS. COVER STOCKPILE PER 4/C1.45
- 01-05 WHEEL WASH PER 5/C1.45
- 01-07 LIMIT OF GRADING
- 01-10 AREA FOR SOLID AND HAZARDOUS WASTE, FUEL STORAGE AND REFUELING AND EQUIPMENT STORAGE AND MAINTENANCE. PROVIDE PERIMETER SEDIMENT FENCE PER 3/C1.45
- 01-13 STOCKPILE EXCESS ON SITE EXCAVATED SOIL. ROUGHEN SLOPE AND SEED PER 06/C1.45

EROSION CONTROL GENERAL NOTES

1. SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED.
 - A. VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.
 - B. DWARF GRASS MIX (MIN. 100 LB./AC.)
 - 1. DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
 - 2. CREEPING RED FESCUE (20% BY WEIGHT)
 - C. STANDARD HEIGHT GRASS MIX (MIN. 100 LB./AC.)
 - 1. ANNUAL RYEGRASS (40% BY WEIGHT)
 - 2. TURF-TYPE FESCUE (60% BY WEIGHT)
2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
3. LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
5. STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
10. SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LOADED WATER.
11. AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
13. AVOID PAVING WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
14. USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
15. COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.
16. AREAS MARKED AS "W/O" SHALL NOT HAVE CONSTRUCTION RUNOFF DIRECTED TOWARDS THEM. THESE AREAS SHALL BE PROTECTED SO AS TO NOT IMPACT THEIR NATURAL INFILTRATION CHARACTERISTICS.

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**ESC MASS
GRADING**

DRAWN BY: SJS

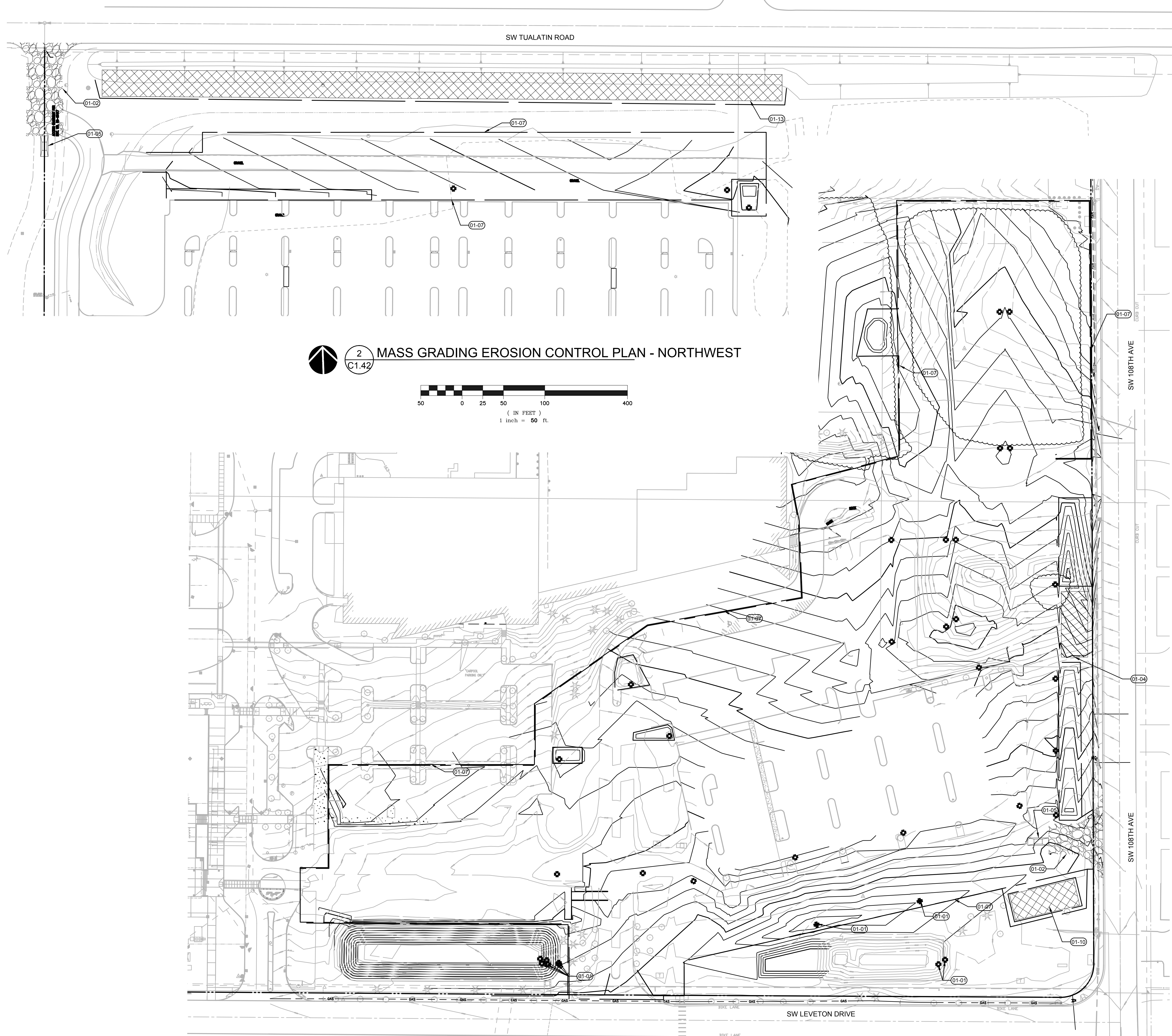
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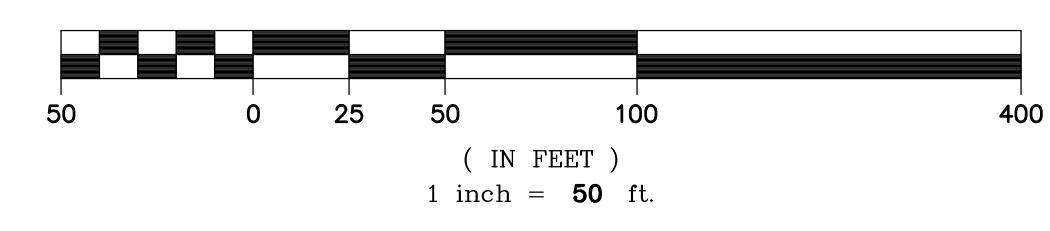
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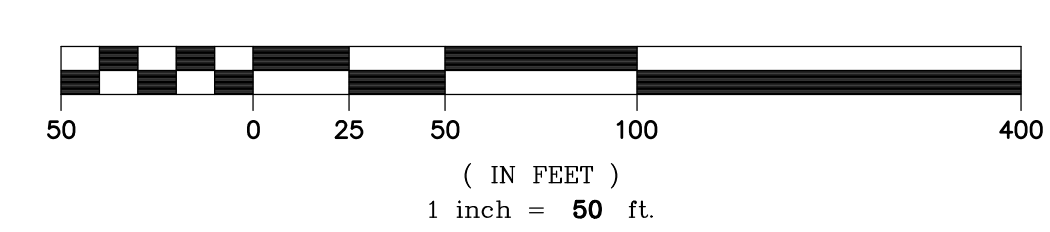
ARCHITECTURAL REVIEW: 8/17/2022



2 MASS GRADING EROSION CONTROL PLAN - NORTHWEST



1 MASS GRADING EROSION CONTROL PLAN - SOUTHEAST



LEGEND

- SEDIMENT FENCE PER 3/EC6.0
- LIMITS OF GRADING
- 181— EXISTING CONTOUR
- 181— PROPOSED CONTOUR
- — — — — STORM LINE
- — — — — SANITARY LINE
- — — — — FIRE WATER LINE
- — — — — DOMESTIC WATER LINE
- CATCH BASIN SEDIMENT FILTER BAG PER 1/EC6.0
- CONCRETE WASHOUT PER 6/EC6.0
- WHEEL WASH PER 5/EC6.0
- CONSTRUCTION ENTRANCE PER 2/EC6.0
- SOIL STOCKPILE AREA PER 4/EC6.0
- AREA FOR SOLID AND HAZARDOUS WASTE, FUEL STORAGE AND REFUELING AND EQUIPMENT STORAGE AND MAINTENANCE

UTILITIES PHASE NOTES

- PROPOSED DETENTION POND TO BE DISCHARGE POINT FOR ALL STORMWATER RUNOFF CONVEYANCE
- ANY TRENCH DEWATERING SHALL BE DISCHARGE THROUGH A FILTER BAG INTO DETENTION POND WITHIN THE FOREBAY AREAS AS SHOWN
- STRAW MULCH AND/OR HYDROSEED SHALL BE USED FOR TEMPORARY STABILIZATION OF ANY EXPOSED TRENCH SPOILS (INCLUDING STOCKPOLE IF PLASTIC SHEETING DOESNT WORK)

KEYNOTES

- 01-01 CATCH BASIN SEDIMENT FILTER BAG PER DETAIL 1/C1.45
- 01-06 CONCRETE WASHOUT PER 6/C1.45
- 01-07 LIMIT OF GRADING
- 01-08 PROVIDE AND MAINTAIN 2" THICK COVER LAYER OF COMPOST OVER FINAL GRADING LAYER OF DISTURBED SOIL. AREA OF STORMWATER FACILITY AREA UNTIL PERMANENT GROUND COVER PLANTINGS ARE ESTABLISHED.
- 01-10 AREA FOR SOLID AND HAZARDOUS WASTE, FUEL STORAGE AND REFUELING AND EQUIPMENT STORAGE AND MAINTENANCE. PROVIDE PERIMETER SEDIMENT FENCE PER 3/C1.45.
- 01-11 INLET PROTECTION PER 7/C1.45
- 01-13 STOCKPILE EXCESS ON SITE EXCAVATED SOIL. ROUGHEN SLOPE AND SEED PER 08/C1.45

EROSION CONTROL GENERAL NOTES

- SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
 - A. VEGETATED TORNADO AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX.
 - B. DWARF GRASS MIX (MIN. 100 LB./AC.)
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- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- AVOID PAVING WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
- USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.
- AREAS MARKED AS "WQ" SHALL NOT HAVE CONSTRUCTION RUNOFF DIRECTED TOWARDS THEM. THESE AREAS SHALL BE PROTECTED SO AS TO NOT IMPACT THEIR NATURAL INFILTRATION CHARACTERISTICS.

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**ESC UTILITIES
AND PAVING**

DRAWN BY: SJS

CHECKED BY: BDN

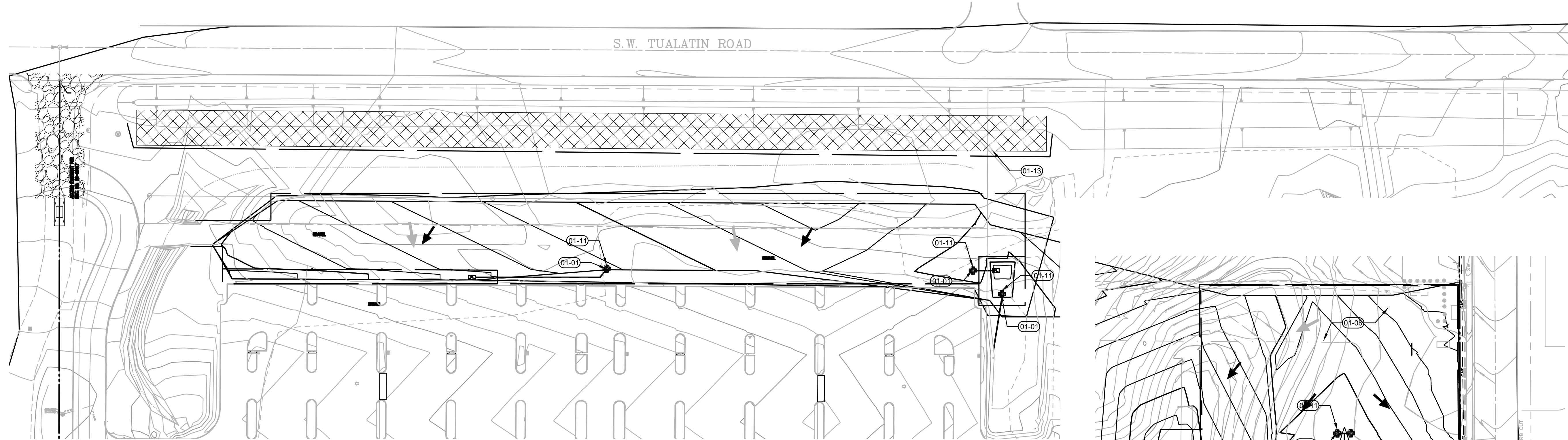
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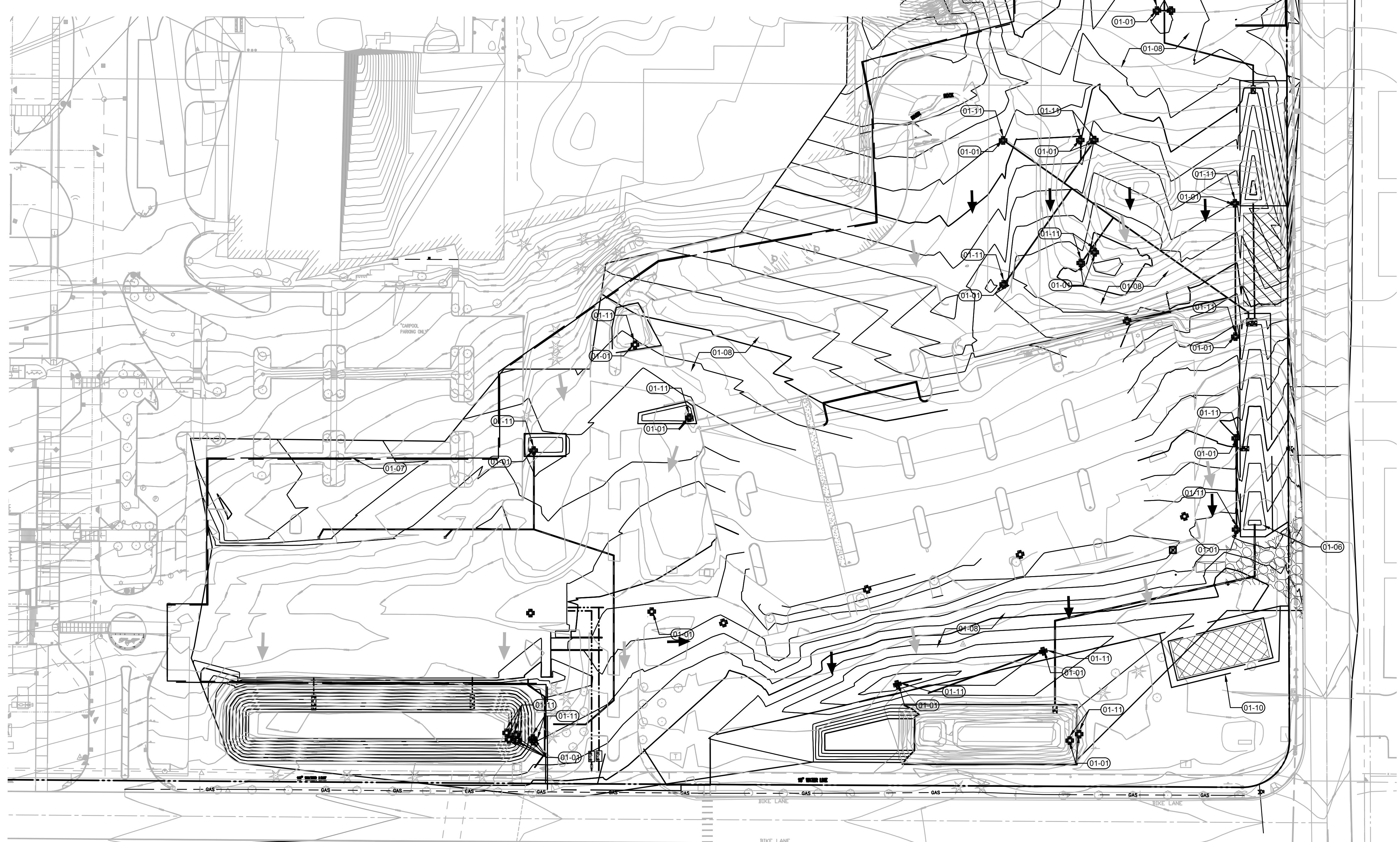
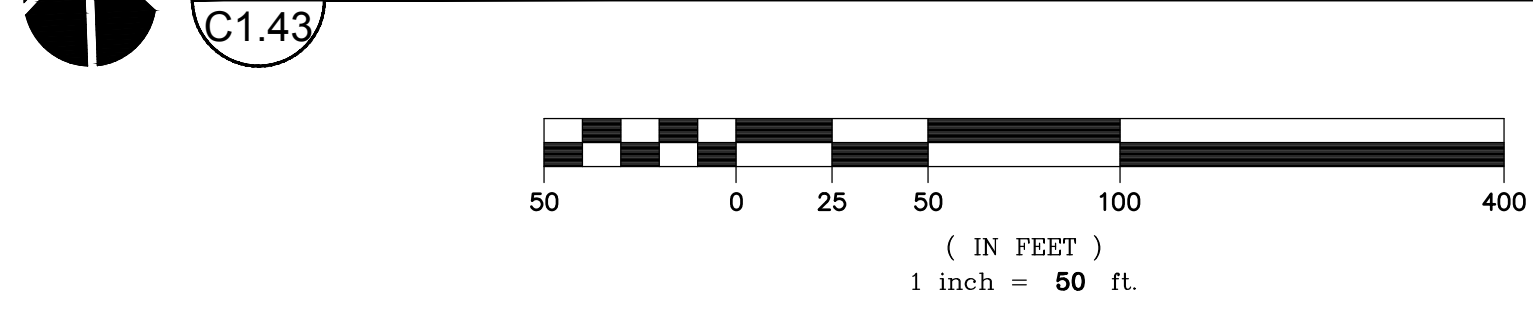
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ARCHITECTURAL REVIEW: 8/17/2022

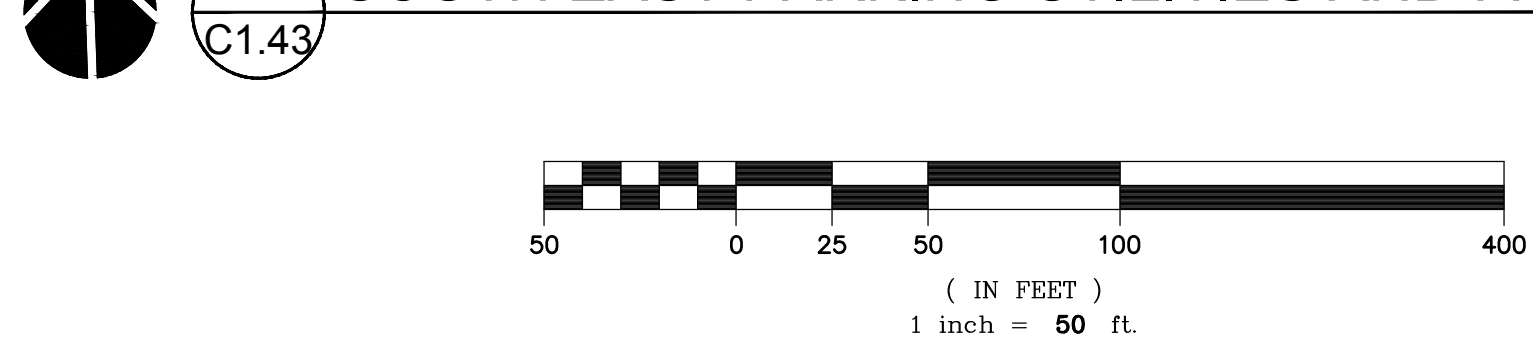
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2 NORTHWEST PARKING UTILITIES AND PAVING

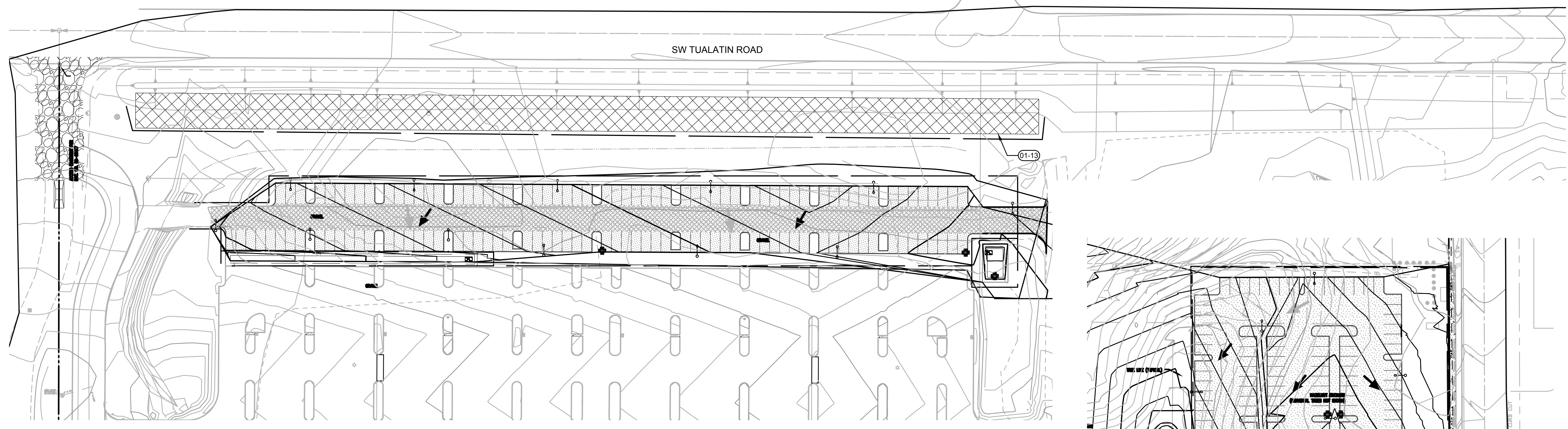


1 SOUTH EAST PARKING UTILITIES AND PAVING

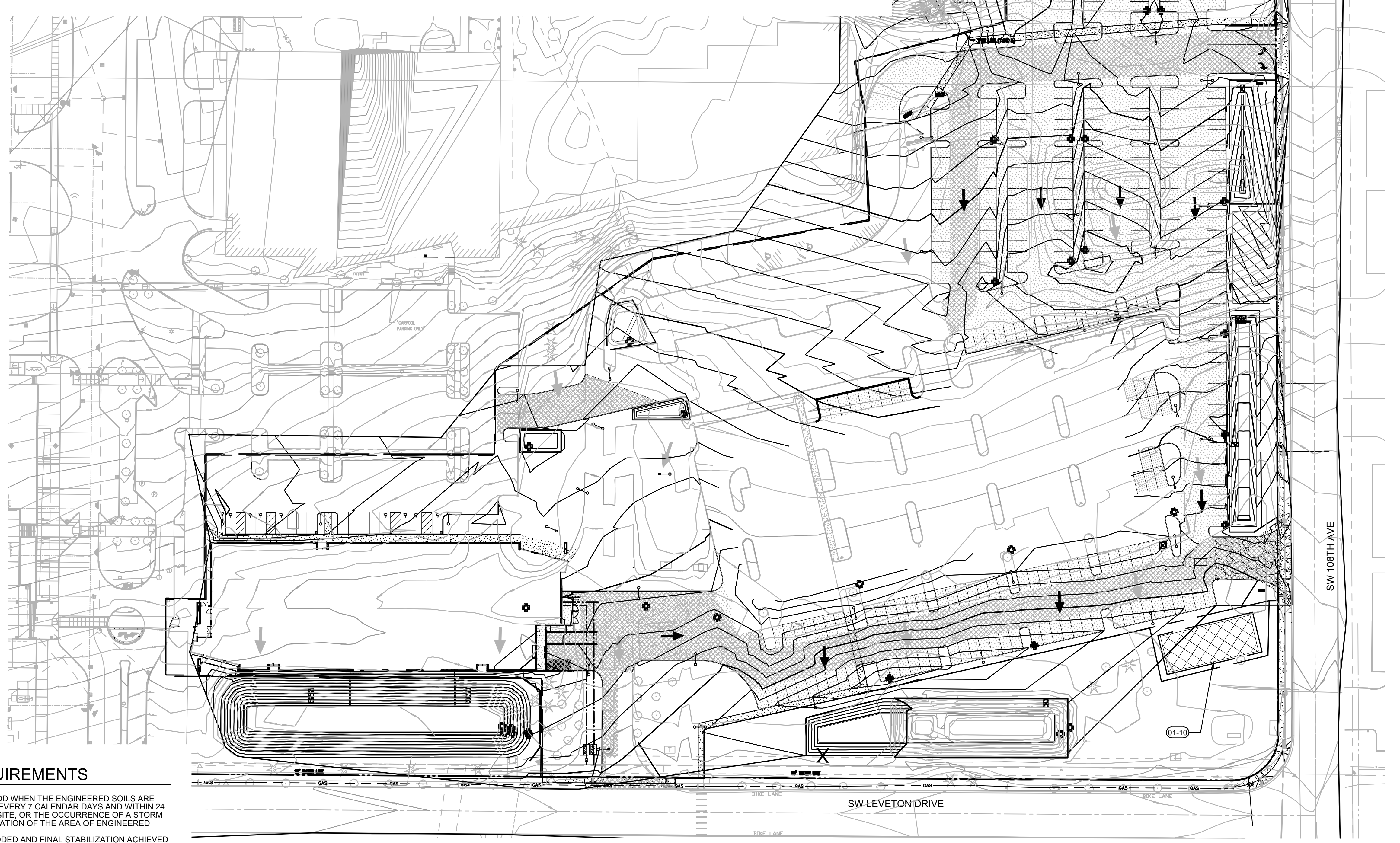
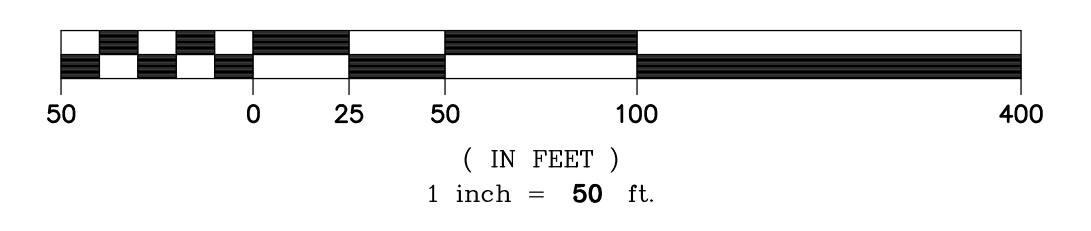


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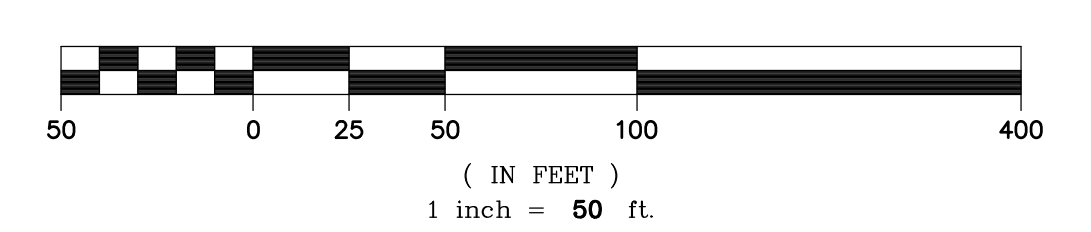
-  SEDIMENT FENCE PER 3/EC6.0
-  LIMITS OF GRADING
-  CATCH BASIN SEDIMENT FILTER BAG PER 1/EC6.0
-  CONCRETE WASHOUT PER 6/EC6.0
-  WHEEL WASH PER 5/EC6.0
-  CONSTRUCTION ENTRANCE PER 2/EC6.0
-  SOIL STOCKPILE AREA PER 4/EC6.0
-  AREA FOR SOLID AND HAZARDOUS WASTE, FUEL STORAGE AND REFUELING AND EQUIPMENT STORAGE AND MAINTENANCE



2 NORTHWEST PARKING BUILDING CONSTRUCTION
C1.44



1 BUILDING G CONSTRUCTION
C1.44



DISCHARGE MONITORING REQUIREMENTS

1. THE REGISTRANT MUST BEGIN THE PH MONITORING PERIOD WHEN THE ENGINEERED SOILS ARE FIRST EXPOSED TO PRECIPITATION AND MUST CONTINUE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF DISCHARGE FROM THE SITE, OR THE OCCURRENCE OF A STORM EVENT OF 0.10 INCHES OR GREATER UNTIL FINAL STABILIZATION OF THE AREA OF ENGINEERED SOILS IS ESTABLISHED (SEE SECTION 2.2.2).
2. DOCUMENT THE DATE WHEN SOIL AMENDMENTS WERE ADDED AND FINAL STABILIZATION ACHIEVED IN THE INSPECTION REPORT PER SECTION 6.9.
3. THE REGISTRANT MUST MONITOR THE PH OF STORMWATER IN THE SEDIMENT BASINS/IMPONDEMENTS AND AT DISCHARGE LOCATIONS THAT RECEIVE STORMWATER RUNOFF FROM THE AREA WHERE ENGINEERED SOILS WERE USED BEFORE THE STORMWATER DISCHARGES TO SURFACE WATERS.
4. THE BENCHMARK VALUE FOR PH IS DEFINED IN STANDARD UNITS (SU), AND DETERMINED BY THE RIVER BASIN CONTAINING THE RECEIVING WATERBODY ACCORDING TO OAR 340-041-0021. ANYTIME MONITORING INDICATES THAT THE PH OF THE SITE'S STORMWATER IS THE MAXIMUM ALLOWED SU OR GREATER, THE REGISTRANT MUST EITHER:
 - 4.1. PREVENT THE HIGH PH WATER FROM ENTERING STORM SEWER SYSTEMS OR SURFACE WATERS; OR
 - 4.2. ADJUST OR NEUTRALIZE THE HIGH PH WATER UNTIL IT IS IN THE RANGE OF PH SU ACCEPTABLE FOR DISCHARGE TO THE RIVER BASIN CONTAINING THE RECEIVING WATERBODY BY USING AN APPROPRIATE TREATMENT BMP SUCH AS CARBON DIOXIDE (CO2) SPARGING OR DRY ICE. THE REGISTRANT MUST OBTAIN WRITTEN PERMISSION FROM DEQ OR AGENCIES BEFORE USING ANY FORM OF CHEMICAL TREATMENT OTHER THAN CO2 SPARGING OR DRY ICE PER SECTION 1.2.9.
5. THE REGISTRANT MUST PERFORM PH MONITORING ON SITE WITHIN 15 MINUTES OF SAMPLE COLLECTION WITH AN ACCURATELY CALIBRATED PH METER. THE REGISTRANT MUST RECORD THE PH MONITORING RESULTS AND ANY PH ADJUSTMENT TREATMENTS IN THE INSPECTION REPORT.

VERTICAL CONSTRUCTION PHASE NOTES

1. ALL CONSTRUCTION MATERIALS THAT COULD LEAD TO POLLUTION IF SPILLED NOT IN IMMEDIATE USE SHALL BE STORED IN A STORAGE BOX TO PREVENT SPILLS AND EXPOSURE TO WET WEATHER
2. FOR SPILL PREVENTION SPILL KITS AND OTHER SPILL CONTAINMENT DEVICES (I.E. WATTLES, ABSORBENT SOCKS/BOOMS, ORGANIC OIL ABSORBENTS AGENT, ETC.) SHALL BE KEPT ONSITE THROUGH THE COMPLETION OF THE PROJECT

KEYNOTES

- 01-10 AREA FOR SOLID AND HAZARDOUS WASTE, FUEL STORAGE AND REFUELING AND EQUIPMENT STORAGE AND MAINTENANCE. PROVIDE PERIMETER SEDIMENT FENCE PER 3/1.45
- 01-13 STOCKPILE EXCESS ON SITE EXCAVATED SOIL. ROUGHEN SLOPE AND SEED PER 08/C1.45

EROSION CONTROL GENERAL NOTES

1. SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MIXTURES, UNLESS OTHERWISE AUTHORIZED:
 - A. VEGETATED CORRIDOR AREAS REQUIRE NATIVE SEED MIXES. SEE RESTORATION PLAN FOR APPROPRIATE SEED MIX
 - B. DWARF GRASS MIX (MIN. 100 LB./AC.)
 - 1. DWARF PERENNIAL RYEGRASS (80% BY WEIGHT)
 - 2. CREEPING RED FESCUE (20% BY WEIGHT)
 - C. STANDARD HEIGHT GRASS MIX (MIN. 100LB./AC.)
 - 1. ANNUAL RYEGRASS (40% BY WEIGHT)
 - 2. TURF-TYPE FESCUE (60% BY WEIGHT)
2. SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
3. LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
5. STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING. EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
10. SATURATED MATERIALS THAT ARE HAILED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
11. AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
13. AVOID PAVING WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
14. USE BMPs SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
15. COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.
16. AREAS MARKED AS "STORM FACILITY" SHALL NOT HAVE CONSTRUCTION RUNOFF DIRECTED TOWARDS THEM. THESE AREAS SHALL BE PROTECTED SO AS TO NOT IMPACT THEIR NATURAL INFILTRATION CHARACTERISTICS.

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REVISION SCHEDULE		
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SHEET TITLE:
ESC BUILDING CONSTRUCTION

DRAWN BY: SJS

CHECKED BY: BDN

SHEET

C1.44

JOB NO. **2220087.00**

1
C1.45 INLET PROTECTION TYPE 5

CATCH BASIN GRATE
CATCH BASIN
EXPANSION RESTRAINT
STORM PIPE
WOVEN FILTER SACK
1" REBAR FOR BAG REMOVAL

NOTE:
1. RECESSED CURB INLET CATCH BASINS MUST BE BLOCKED WHEN USING FILTER FABRIC INLET SACKS. SIZE OF FILTER FABRIC INLET SACKS TO BE DETERMINED BY MANUFACTURER.

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

DRAWING NO. 920 REVISED 10-31-19

CleanWater Services

2
C1.45 CONSTRUCTION ENTRANCE

EXISTING PAVEMENT OR APPROVED ACCESS POINT
RADIUS = 25' MIN.
SEE NOTE 5 FOR APPROVED ROCK
SUBGRADE REINFORCEMENT GEOTEXTILE, AS REQUIRED
8" MIN. DEPTH
PROVIDE FULL WIDTH OF INLET/ACCESS AREA

GRAVEL CONSTRUCTION ENTRANCE
CURB RAMP
PAVEMENT

NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. WHERE RUNOFF CONTAINING SEDIMENT LADEN WATER IS LEAVING THE SITE VIA THE CONSTRUCTION ENTRANCE, OTHER MEASURES SHALL BE IMPLEMENTED TO DIVERT RUNOFF THROUGH AN APPROVED FILTERING SYSTEM.

DIMENSIONS:
SINGLE FAMILY: 20' LONG BY 20' WIDE 8" DEEP OF 3/4" MINUS CLEAN ROCK.
COMMERCIAL/SITE DEVELOPMENT: 50' LONG BY 20' WIDE 3-6" CLEAN ROCK, GOVERNING AUTHORITY MAY REQUIRE GEOTEXTILE FABRIC TO PREVENT SUB-SOIL PUMPING.

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

DRAWING NO. 855 REVISED 10-31-19

CleanWater Services

3
C1.45 SEDIMENT FENCE

ANGLE FILTER FABRIC FENCE TO ASSURE SOIL IS TRAPPED
INTERLOCKED 2"x 2" POSTS AND ATTACH

PLAN VIEW

USE STITCHED LOOPS OVER 2"x 2" POSTS
2'-6" 4'-0" 1'-6"

PROFILE

NOTES:
1. SEDIMENT FENCE TO HAVE STITCHED LOOPS AROUND 2" x 2" POSTS.
2. BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
3. 2" x 2" FIR, PINE OR STEEL FENCE POSTS.
4. POSTS TO BE INSTALLED ON UPHILL SIDE OF SLOPE.
5. COMPACT BOTH SIDES OF FILTER FABRIC TRENCH.
6. PANELS MUST BE PLACED ACCORDING TO SPACING ON DRAWING NO. 845.

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

4'-0" 2'-6" 1'-6" 6" MAXIMUM SPACING
FILTER FABRIC MATERIAL 30" WIDE ROLLS

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

DRAWING NO. 875 REVISED 10-31-19

CleanWater Services

4
C1.45 PLASTIC SHEETING

MINIMUM 12" OVERLAP OF SEAMS
SEE NOTE NO. 3

PLASTIC SHEETING

NOTES:
1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
2. PERIMETER SEDIMENT CONTROL BMP TO BE INSTALLED A MINIMUM OF 3' FROM TOE OF STOCKPILE.
3. COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR APPROVED EQUAL ON SIDES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.
4. PLASTIC TO EXTEND MINIMUM 1' BEYOND TOE OF SLOPE.
5. AS APPROPRIATE BMP'S SHALL BE INSTALLED TO CONVEY WATER DISCHARGE FROM STOCKPILE AREAS.

DRAWING NO. 810 REVISED 10-31-19

CleanWater Services

5
C1.45 TIRE WASH-(DRIVE-THROUGH)

SLOPE TO DRAIN BACK TO WASH (TYP.)
IMPERVIOUS RUN OUT AREA GRADE TO DRAIN TO WASH
DIRECTION OF TRAVEL
90'(MIN.) 9' 18'(MIN.) 12'

PLAN VIEW

DIRECTION OF TRAVEL
CONTRACTOR TO PROVIDE WATER SUPPLY TO MAINTAIN 12" OF WATER AT ALL TIMES
1% GRADE
90'(MIN.)
CONCRETE
CRUSH BASE COURSE
FILTER FABRIC AS REQUIRED
#5 BARS 12" O.C. BOTH WAYS
12'(MIN.)

PROFILE

NOTES:
1. CONTRACTOR TO REMOVE ACCUMULATED SEDIMENT AS NEEDED TO PREVENT TRACKING FROM TIRE WASH; SEDIMENT LADEN WATER MAY BE PIPED TO AN APPROVED BMP.
2. USE GEOTEXTILE FABRIC WITH AGGREGATE FOR A TEMPORARY TIRE WASH.

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

DRAWING NO. 870 REVISED 10-31-19

CleanWater Services

6
C1.45 CONCRETE WASHOUT

MIN. 1' HIGH BERM
EXISTING GRADE
3" BY 3" MIN AT BOTTOM OF WASHOUT TO CONTAIN CONCRETE
9' BY 9' MIN TO CONTAIN CONCRETE
RADIUS = 25' MIN.

PLAN

EXCAVATED MATERIAL MAY BE USED FOR PERIMETER BERM
3"-6" ROCK WITH A MINIMUM 8" DEPTH
2% SLOPE
1' MIN. 2' MIN. 1' BY 3" MIN TO CONTAIN CONCRETE
EXISTING GRADE

SECTION A-A

NOTES:
1. WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM PRESEDIMENT OF 12 INCHES.
2. WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
3. IF THE WASHOUT IS NEARING CAPACITY, VACUUM AND DISPOSE OF THE WASTE MATERIAL IN AN APPROVED MANNER.
4. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FT FROM SENSITIVE AREAS INCLUDING OPEN DRAINAGE FACILITIES AND WATER SOURCES.
5. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
6. INSTALL CONCRETE WASHOUT SIGN WITHIN 30 FEET OF TEMPORARY CONCRETE WASHOUT FACILITY.
7. TEMPORARY CONCRETE WASHOUTS MAY BE A PREFABRICATED CONTAINER THAT IS PORTABLE AND REUSABLE.

DRAWING NO. 900 REVISED 10-31-19

CleanWater Services

7
C1.45 INLET PROTECTION TYPE 6

MAY BE USED SHORT TERM W / UTILITY WORK AND W / PHASING OF DEVELOPMENT
FLOW
TIGHT TO CURB
CATCH BASIN

FRONT

5"

TOP

GROMETTS USED FOR ATTACHMENT TO GRADE
12" TYP.
26" 38" 48"

INSTALLATION NOTES:
1. INSTALL SOLID FABRIC SIDE DOWN MESH SIDE UP.
2. ATTACH TO CATCH BASIN GRADE AT A MINIMUM OF 3 LOCATIONS TIGHT TO CURB WITH 1/4" ZIP TIES.

MAINTENANCE NOTES:
1. ANY VISIBLE SIGN OF SEDIMENT ACCUMULATION TO BE CLEANED UP AT THE END OF EACH WORKDAY.
2. REPLACE U-SHAPED FILTER BAG AS NECESSARY TO PREVENT WOOD CHIPS FROM ENTERING THE STORM SYSTEM.

DRAWING NO. 925 REVISED 10-31-19

CleanWater Services

8
C1.45 SURFACE ROUGHENING CAT TRACKING

UNDISTURBED VEGETATION
CULTIVATE SOIL TO CREATE FURROWS PERPENDICULAR TO SLOPE
INTERCEPTOR SWALE
USE DOZER TRACKS TO CREATE GROOVES PERPENDICULAR TO SLOPE
SLOPE

FOR FURTHER INFORMATION ON DESIGN CRITERIA SEE CHAPTER 4 OF CLEAN WATER SERVICES EROSION PREVENTION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

DRAWING NO. 830 REVISED 10-31-19

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REVISION SCHEDULE		
Delta	Issued As	Issue Date

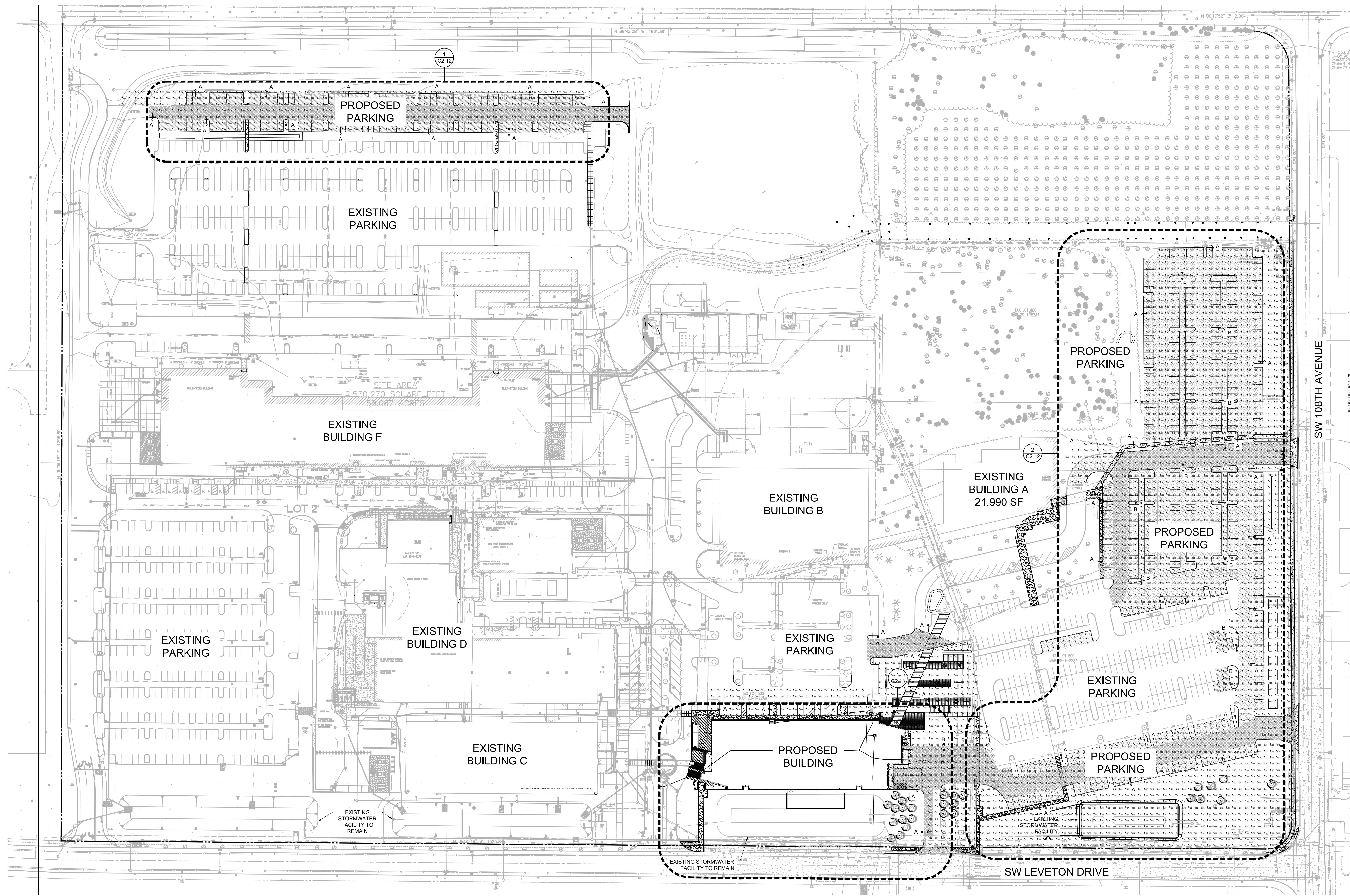
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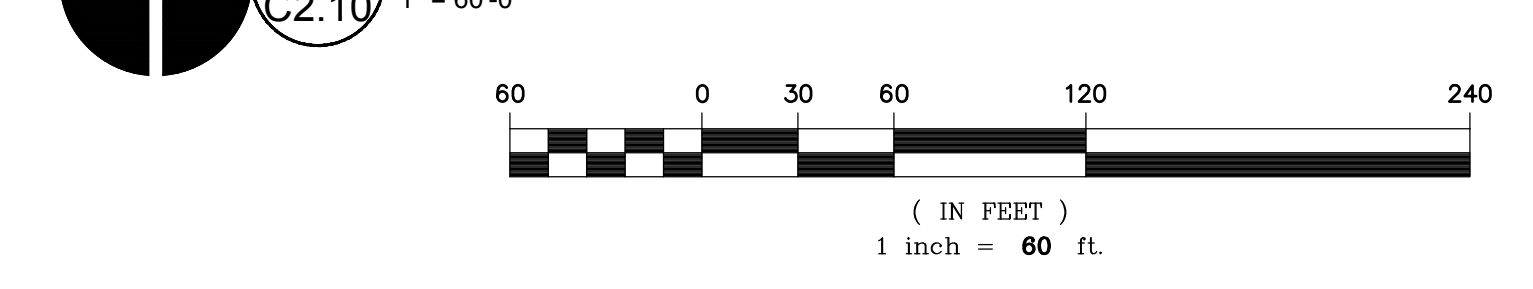
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JOB NO. **2220087.00**

REVISION SCHEDULE		
Delta	Issued As	Issue Date



1 OVERALL PHOTOMETRIC PLAN



LUMINAIRE SCHEDULE	SYM	QTY	MANUFACTURER	CATALOG #	DISTRIBUTION	WATTS	VOLTAGE	HEIGHT	MA LENGTH	CONFIGURATION
A	○	44	LITHONIA LIGHTING	KAD LED 20C 530 30K R2 MVOLT	LITHONIA LIGHTING KAD-LED LED CONTOUR SOFT SQUARE FULL CUTOFF	35	UNIVERSAL (120-277 V)	30 FT	N/A	SINGLE
B	☆	14	LITHONIA LIGHTING	KAD LED 20C 530 30K R2 MVOLT	LITHONIA LIGHTING KAD-LED LED CONTOUR SOFT SQUARE FULL CUTOFF	35	UNIVERSAL (120-277 V)	30 FT	N/A	TWIN

PHOTOMETRIC CALCULATIONS:

AREA	AVERAGE FOOT-CANDLES
NORTHWEST PARKING LOT	AVERAGE = 0.59 FC
NORTHEAST PARKING LOT	AVERAGE = 0.59 FC
EAST PARKING LOT	AVERAGE = 0.62 FC
SOUTHWEST PARKING LOT	AVERAGE = 0.55 FC
SOUTH ENTRANCE	AVERAGE = 0.28 FC
SOUTHWEST ENTRANCE	AVERAGE = 0.28 FC
EAST ENTRANCE	AVERAGE = 0.28 FC
SOUTHWEST PROPERTY LINE	AVERAGE = 0.13 FC
EAST PROPERTY LINE	AVERAGE = 0.20 FC
NORTHEAST PROPERTY LINE	AVERAGE = 0.15 FC
CENTER DRIVE CONNECTION	AVERAGE = 0.78 FC
NORTH PRCP. BLDG PARKING SIDEWALK	AVERAGE = 0.50 FC
OUTDOOR PLAZA	AVERAGE = 0.70 FC
EAST PARKING SIDEWALK	AVERAGE = 0.12 FC
NORTHWEST LANDSCAPE	AVERAGE = 0.51 FC

REVISION SCHEDULE		
Delta	Issued As	Issue Date

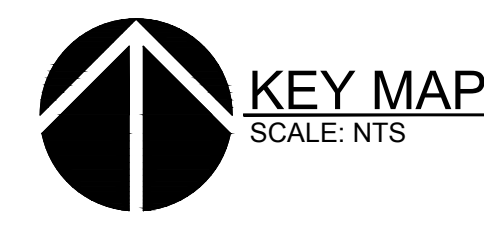
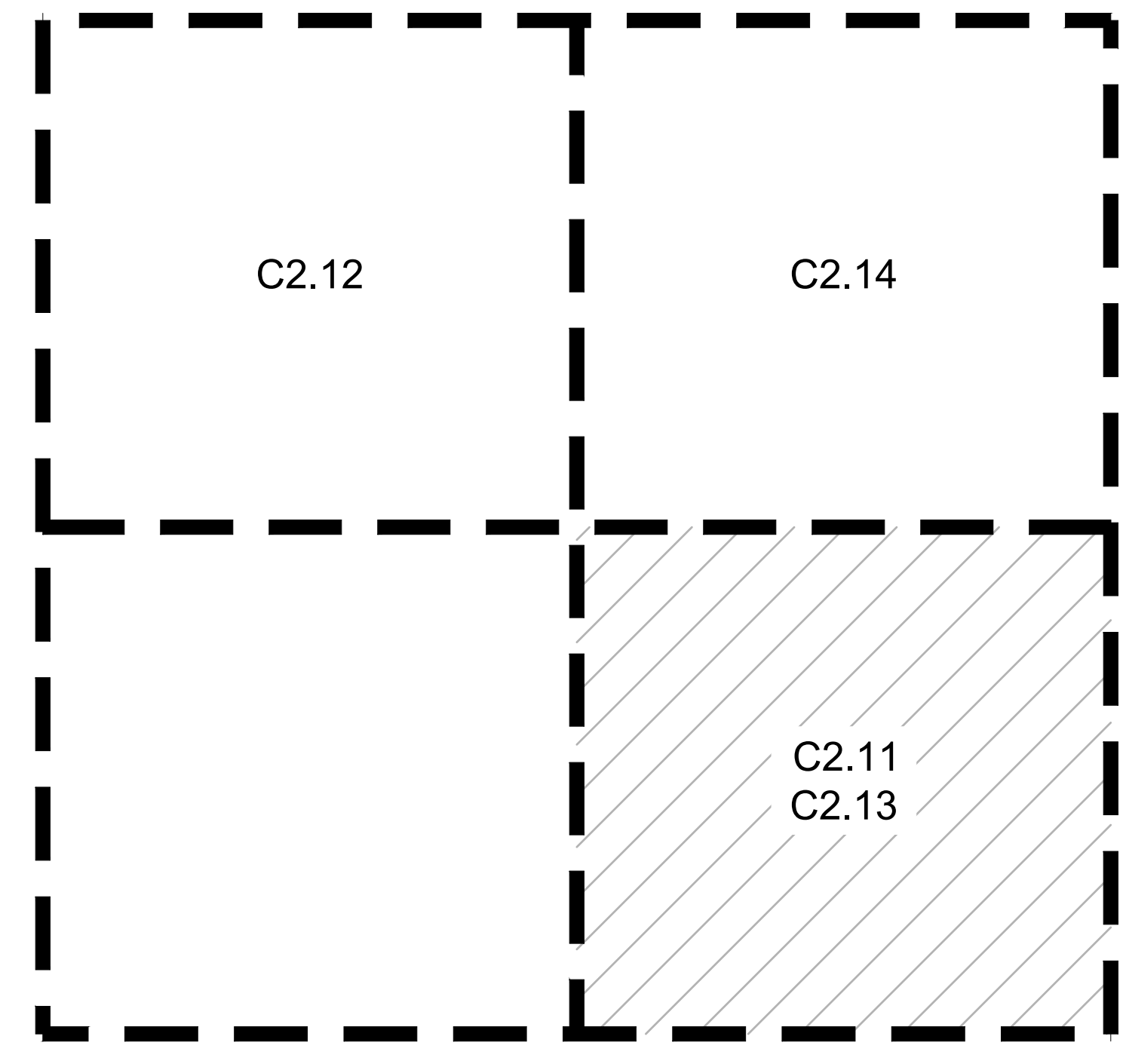
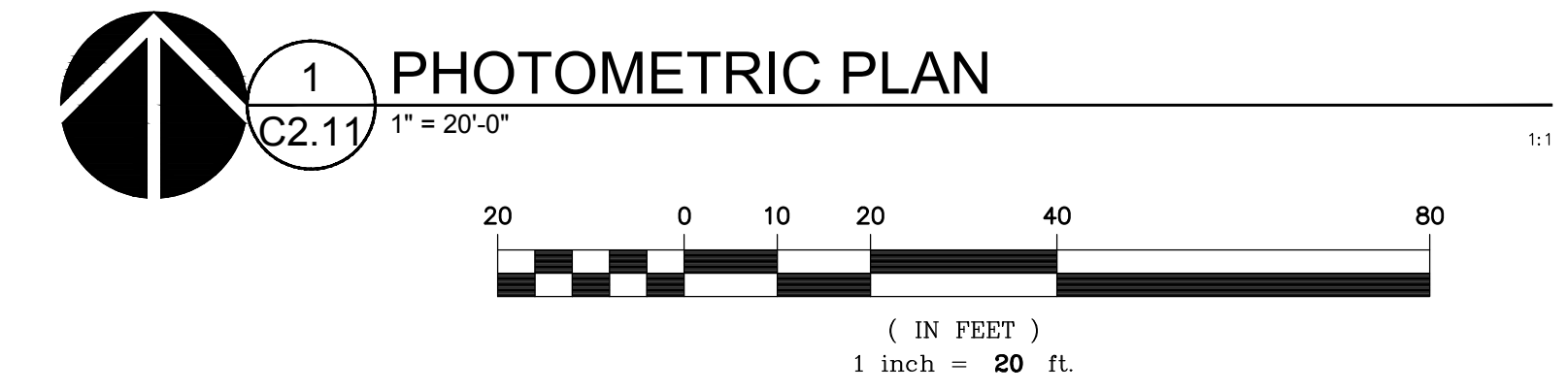
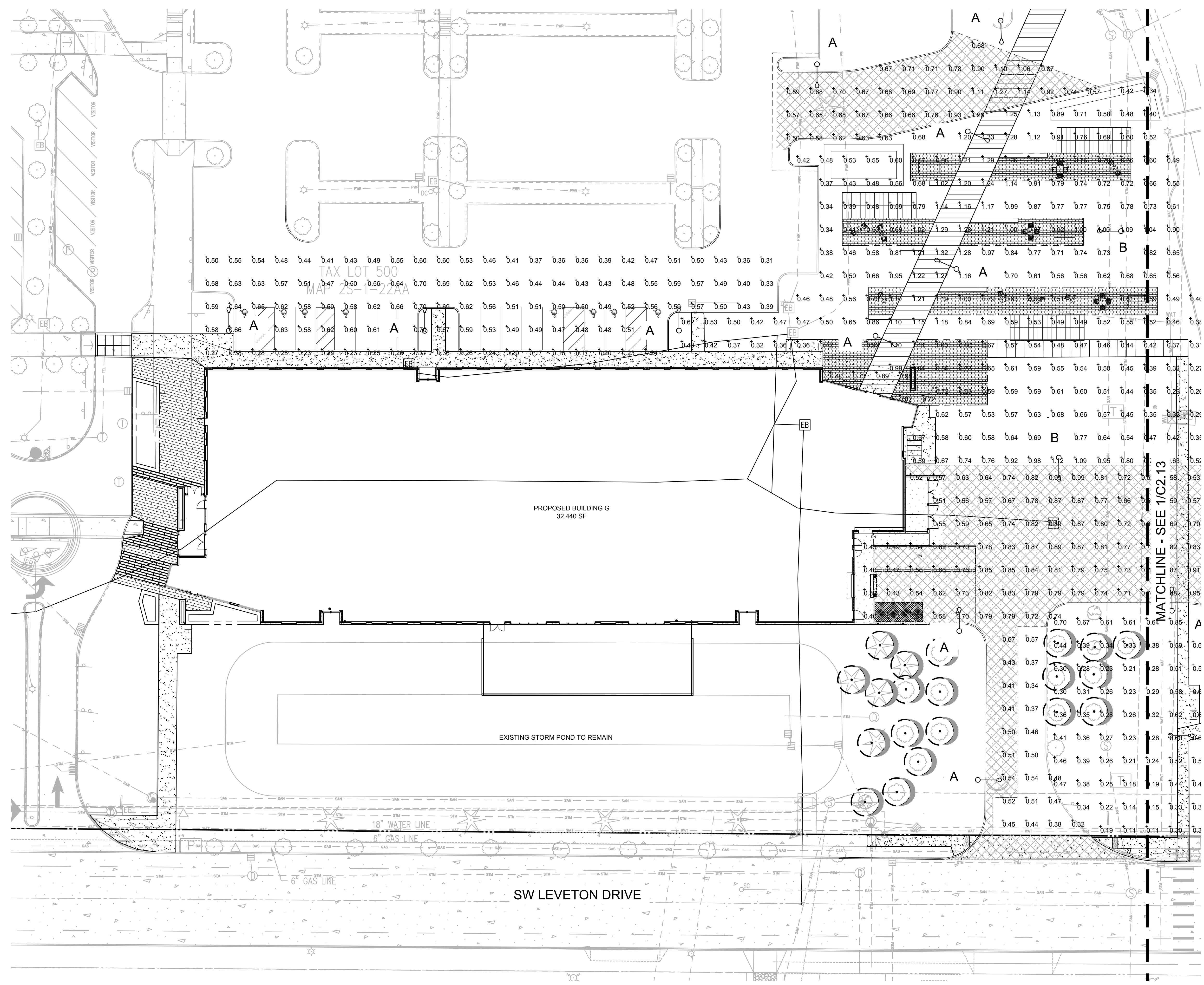
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C2.11

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ARCHITECTURAL REVIEW: 8/17/2022



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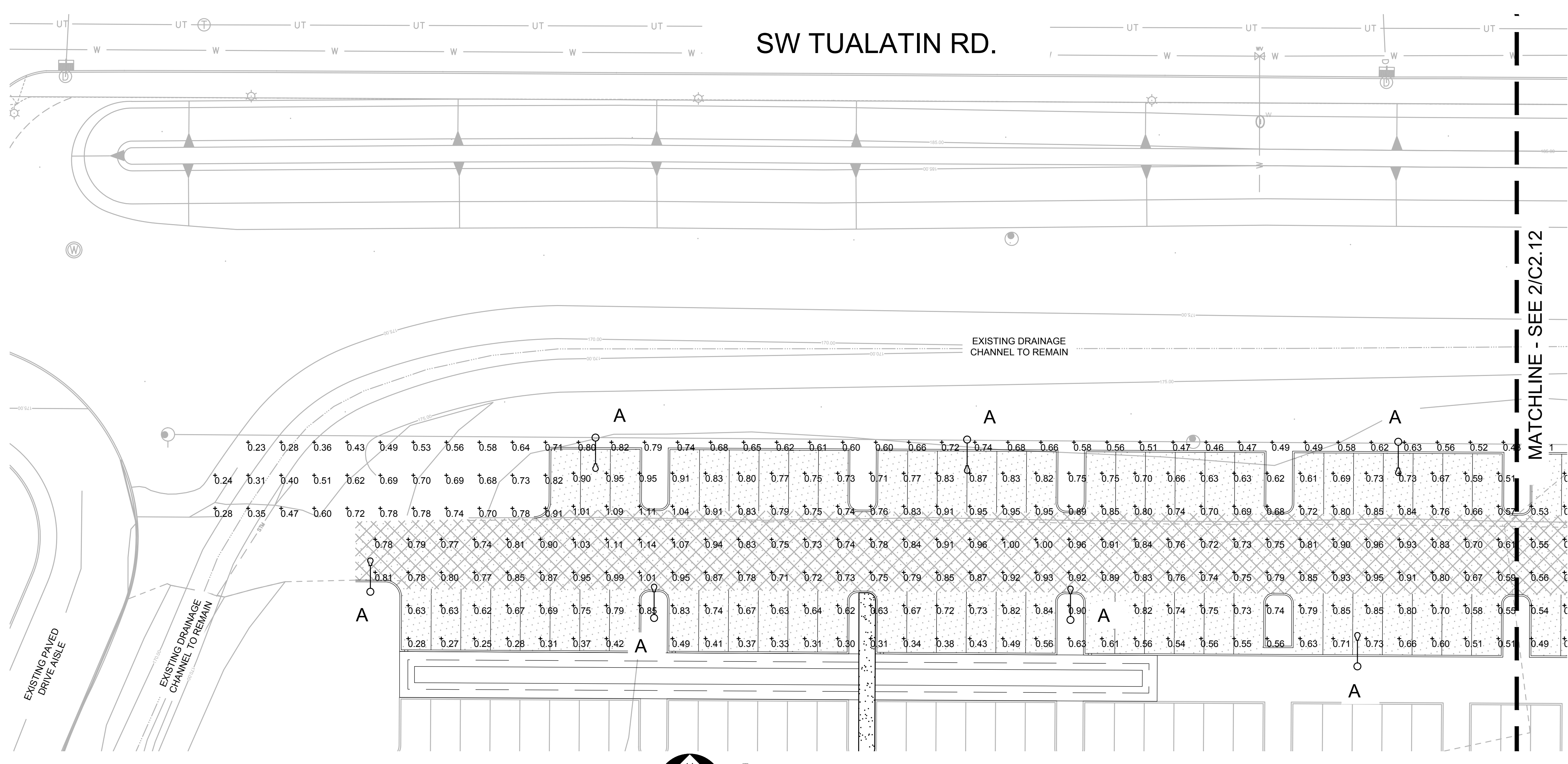
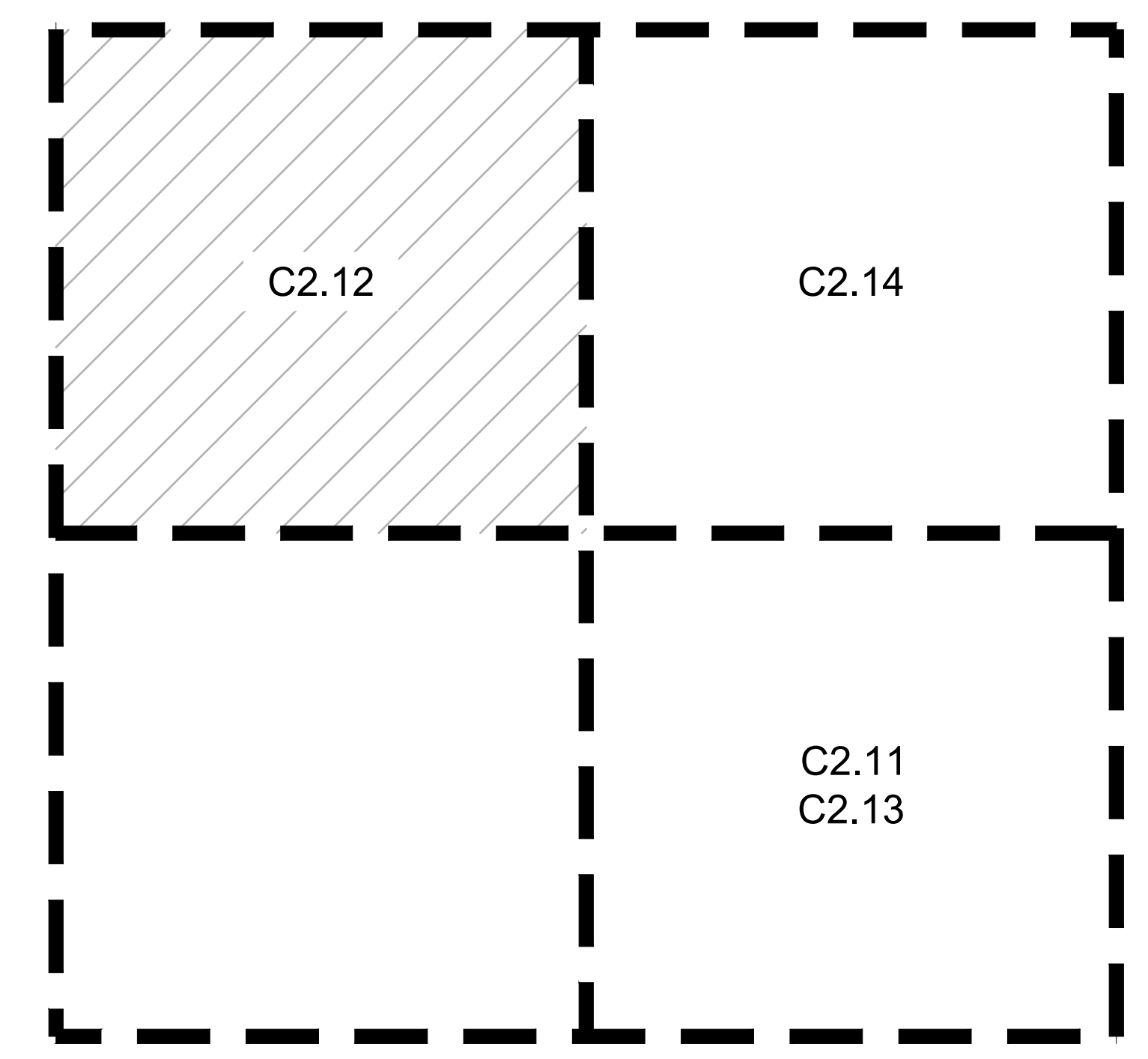
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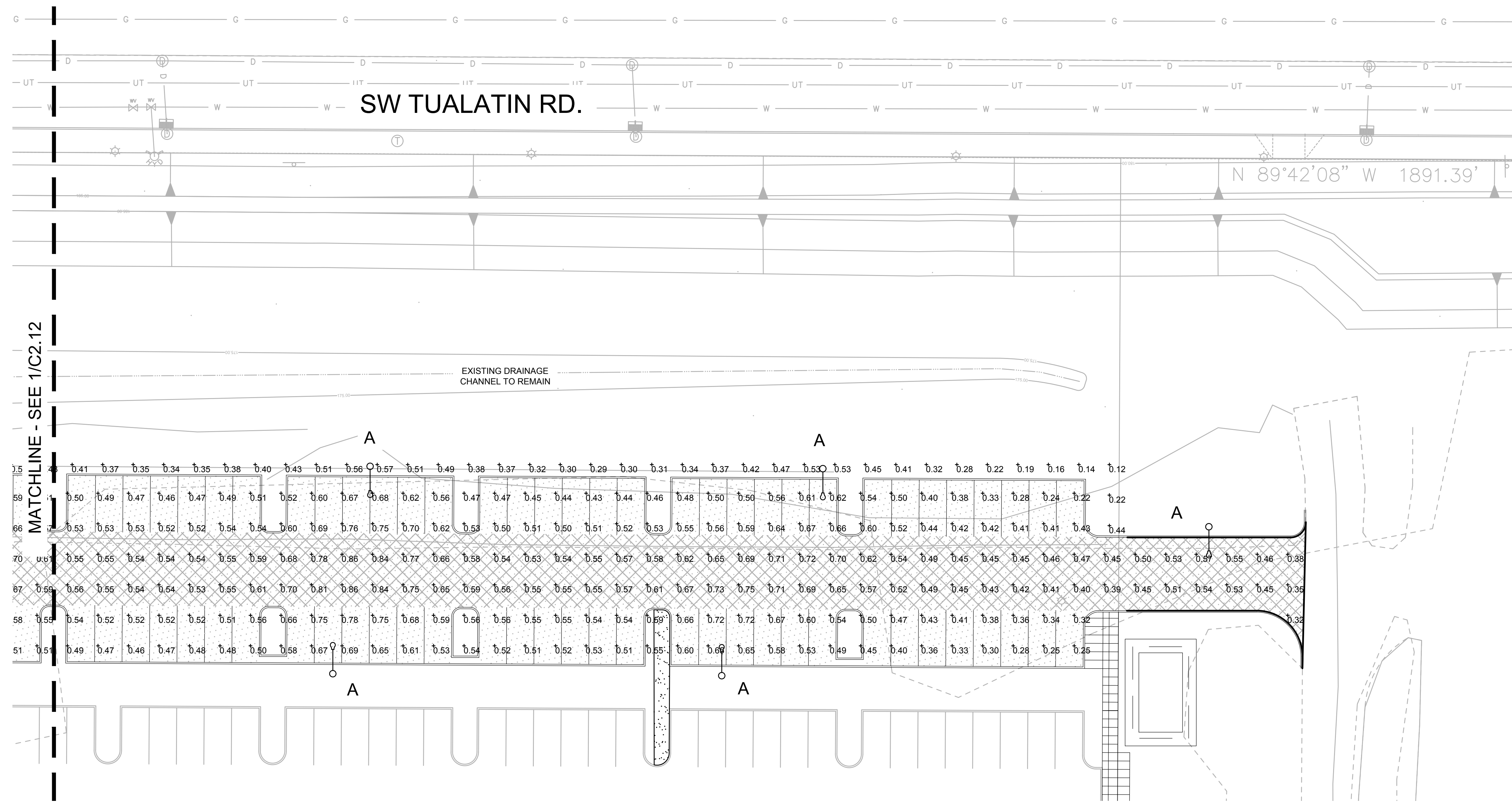
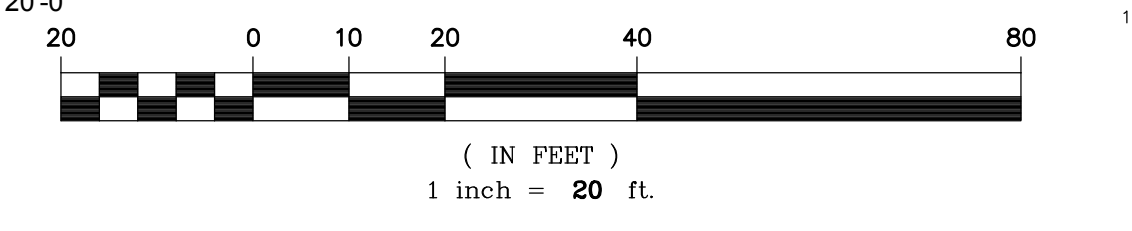
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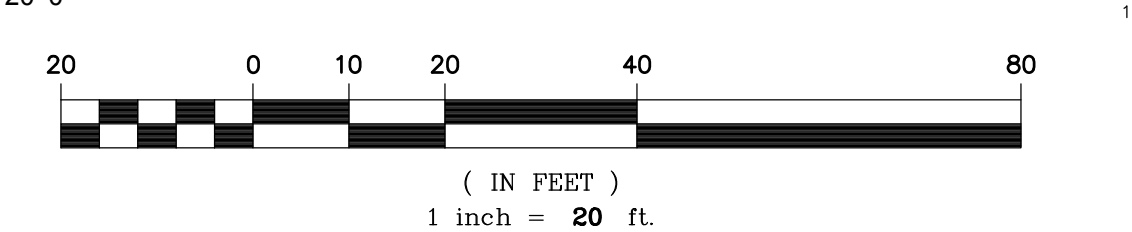
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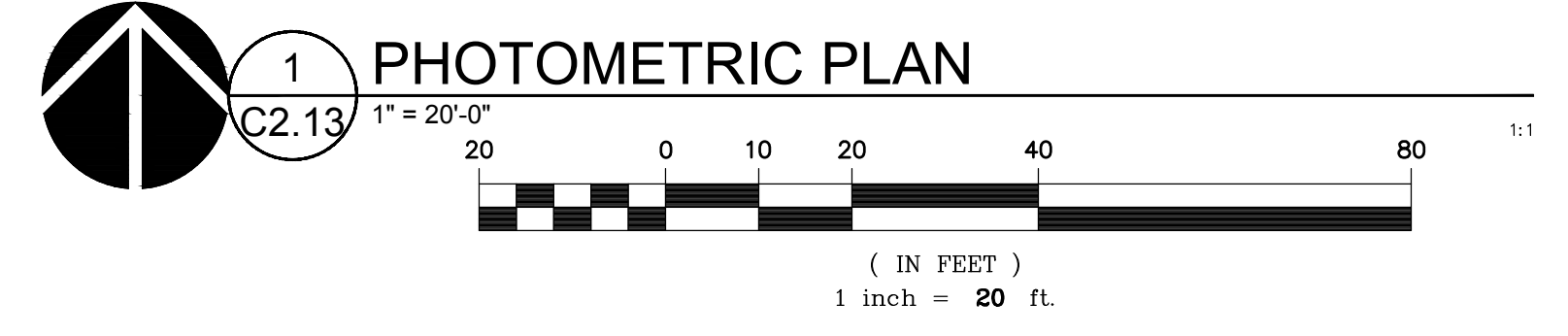
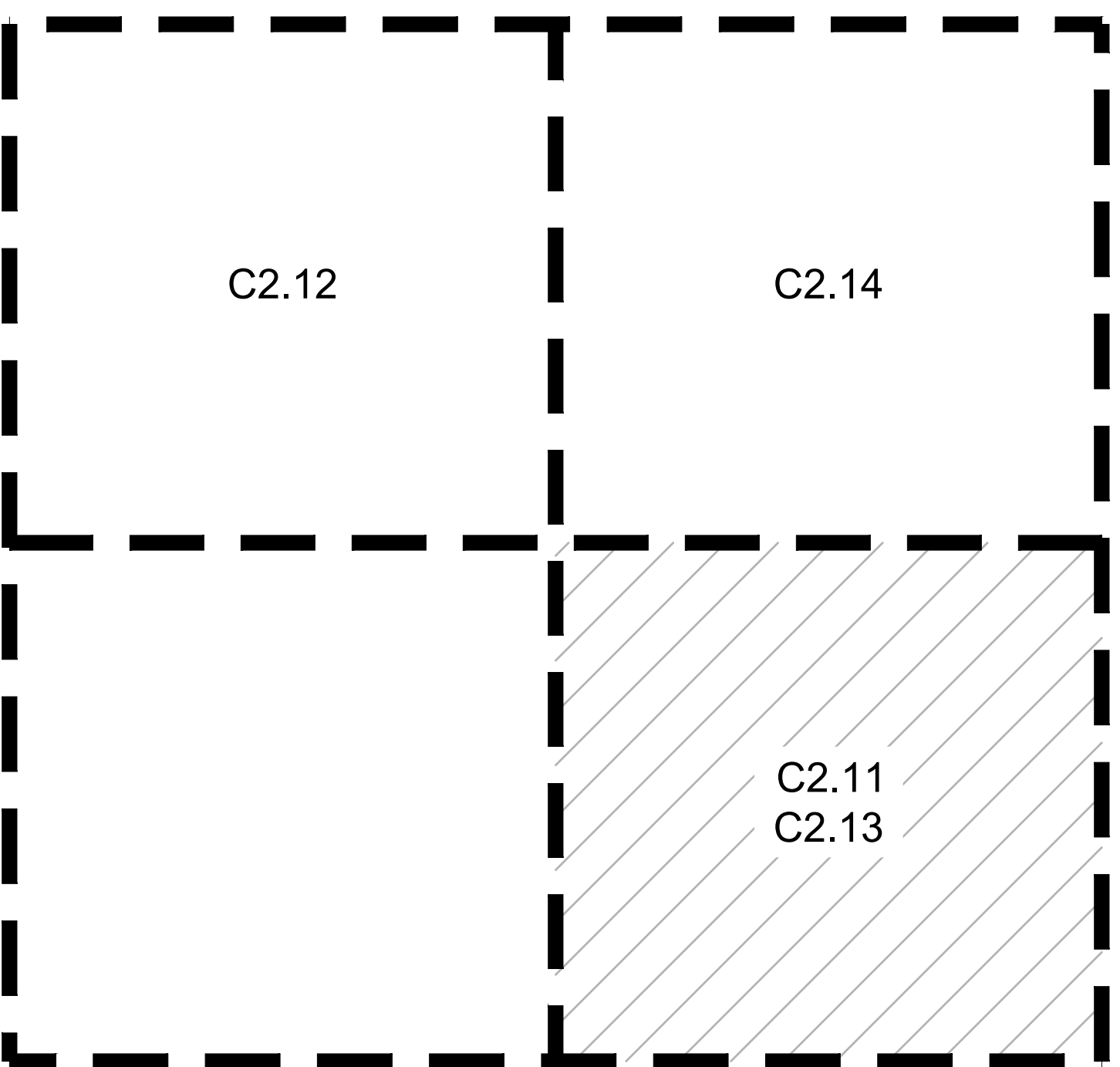


1 PHOTOMETRIC PLAN - WEST



2 PHOTOMETRIC PLAN - EAST





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C2.13



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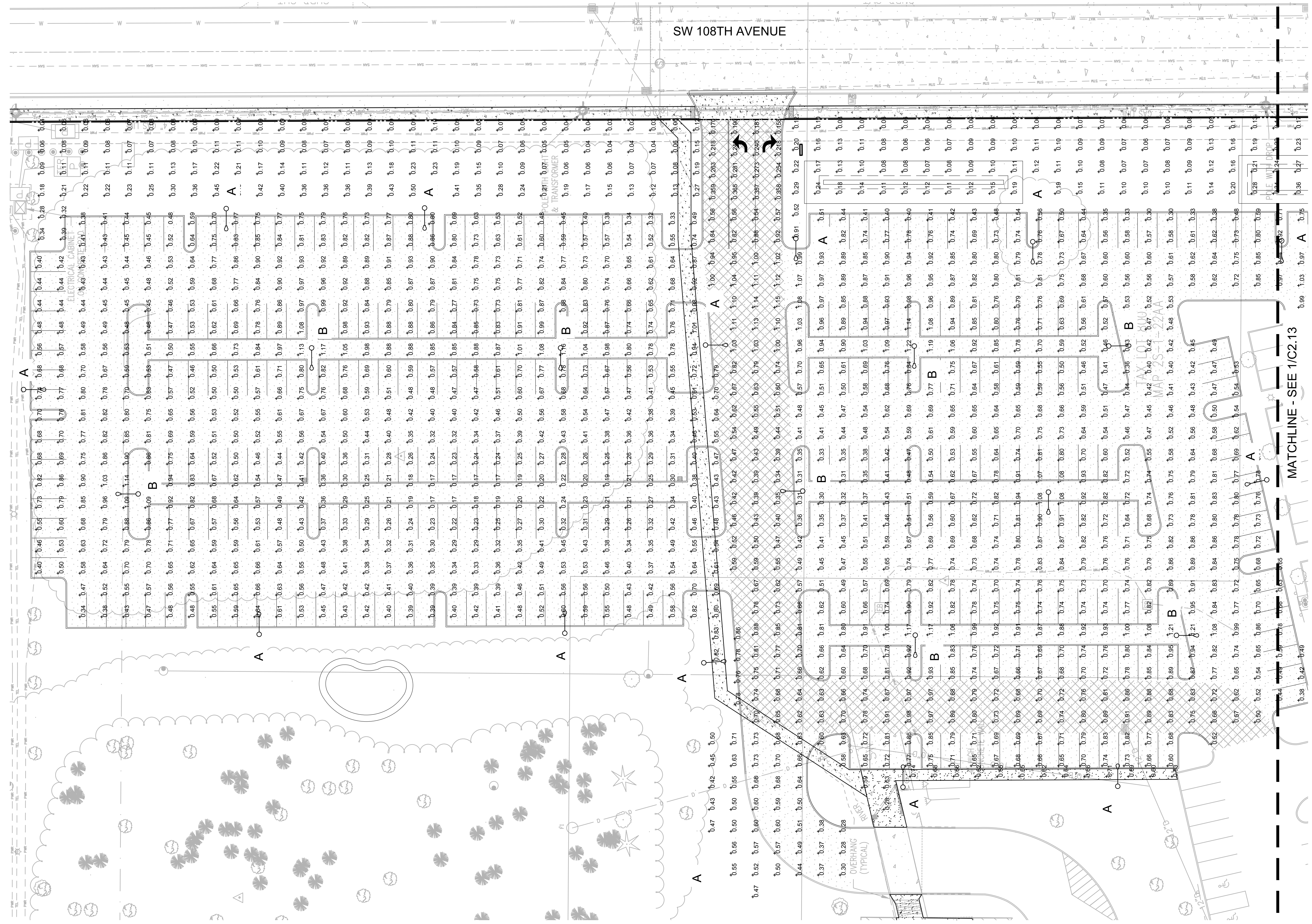
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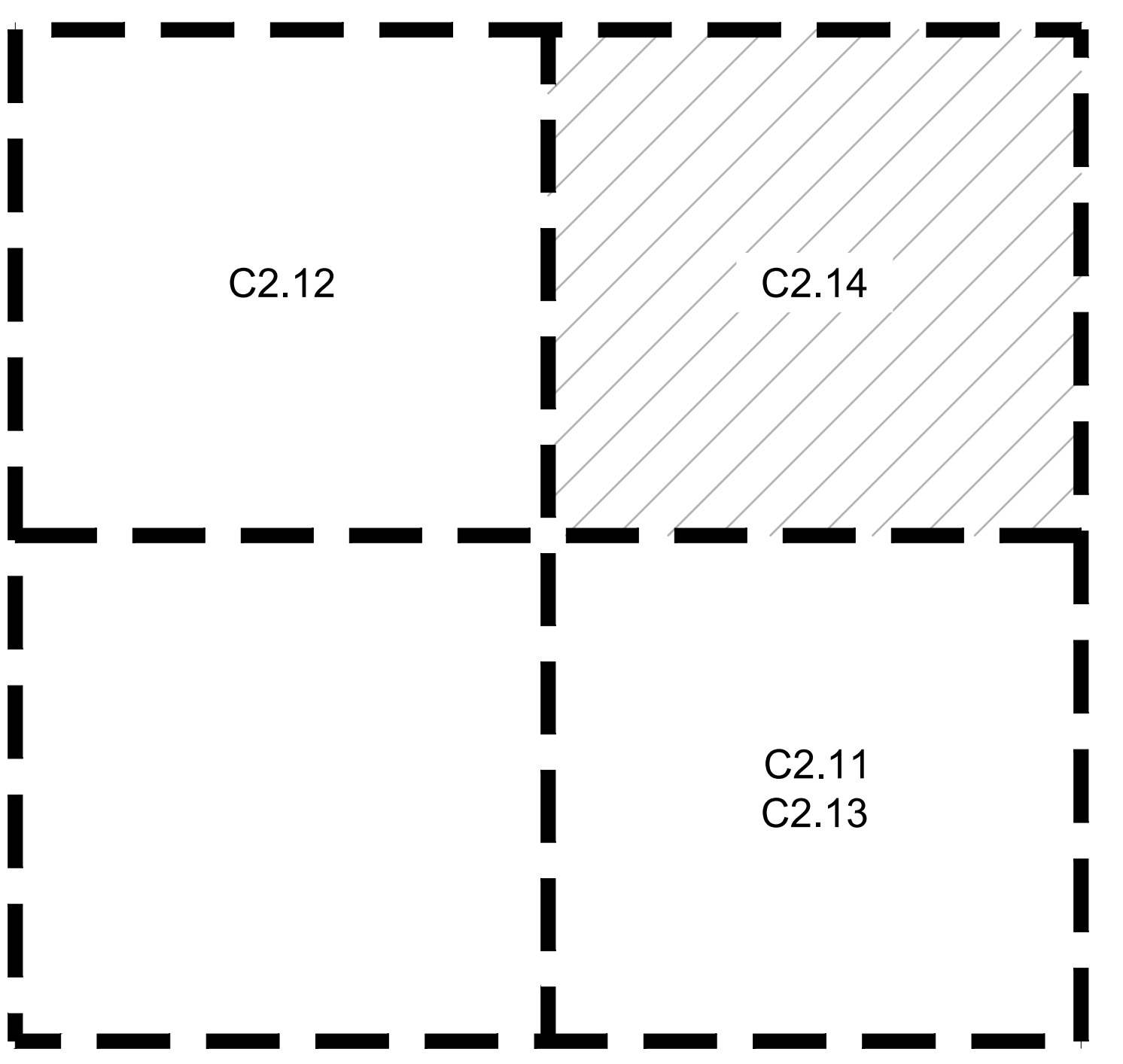
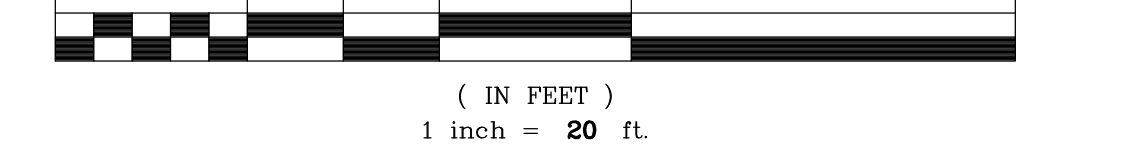
C2.14

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1 PHOTOMETRIC PLAN
 C2.14 1" = 20'-0"



ZONING COMPLIANCE

SITE INFORMATION

JURISDICTION	TJUALATIN, OR
STORMWATER	AGENCY
SITE AREA	435,600 SF
	10.0 AC
BUILDING AREA	87,120 SF
BUILDING COVERAGE	20%
LANDSCAPE AREA	87,120 SF

SHEET INDEX

L0.01	LANDSCAPE GENERAL INFORMATION AND KEY PLAN
L1.10	PLANTING PLAN NORTH (WEST)
L1.11	PLANTING PLAN NORTH (EAST)
L1.12	PLANTING PLAN NORTHEAST
L1.13	PLANTING PLAN EAST
L1.14	PLANTING PLAN SOUTHEAST
L1.15	PLANTING PLAN SOUTHWEST
L1.16	PLANTING PLAN WEST
L2.10	PLAN ENLARGEMENT
L2.11	PLAN ENLARGEMENT



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NEW OFFICE BUILDING

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	
•	ACER RUBRUM 'BONHALL' BONHALL MAPLE	1.5" CAL.	
•	CERCIDIPHYLLUM JAPONICUM KATSURA TREE	1.5" CAL. BAB	
•	GLETTISIA TRIACANTHOS INERMIS 'MORANE' MORANE HONEY LOCUST	2" CAL. BAB	
•	LIRIODENDRON TULIPIFERA TULIP POPLAR	2" CAL. BAB	
•	MALUS X 'PRAIRIFIRE' PRAIRIFIRE CRAB APPLE	2" CAL. BAB	
•	NYSSA SYLVATICA 'DAVID ODUM' AFTERBURNER TUPELO	2" CAL. BAB	
•	PARROTTIA PERSICA PERSIAN PARROTTIA	2" CAL. BAB	
•	PRUNUS X YEDOENSIS 'AKEBONO' AKEBONO YOSHINO CHERRY	1.5" CAL. BAB MATCHING	
•	ULMUS 'PATRIOT' PATRIOT ELM	1.5" CAL. BAB	
•	ZELKOVA SERRATA 'HALKA' HALKA ZELKOVA	1.5" CAL. BAB	
EXISTING	BOTANICAL / COMMON NAME	SIZE	
•	EXISTING TREE TO REMAIN	---	
SHRUBS	BOTANICAL / COMMON NAME	SIZE	SPACING
•	ABELIA X GRANDIFLORA 'KALEIDOSCOPE' KALEIDOSCOPE GLOSSY ABELIA	5 GAL.	48" o.c.
•	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	2 GAL.	24" o.c.
•	CISTUS X PLAVIRENTEUS 'SUNSET' SUNSET ROCKROSE	5 GAL.	48" o.c.
•	PANICUM VIRGATUM 'HEAVY METAL' BLUE SWITCH GRASS	2 GAL.	36" o.c.
•	PHILADELPHUS LEWISII WILD MOCKORANGE	5 GAL.	5' o.c.
•	FINUS MUDD VAR. MUDD DWARF MUDD PINE	5 GAL.	36" o.c.
•	PRUNUS LAUROCARPUS 'ZABELIANA' ZABEL LAUREL	5 GAL.	48" o.c.
•	RHAPHANALIS INDICA 'MONTI' INDIAN PRINCESS INDIAN HAWTHORN	5 GAL.	48" o.c.
•	SPIRAEA DOUGLASSII WESTERN SPIREA	5 GAL.	36" o.c.
•	SYMPHORICARPOS ALBUS 'MAGIC BERRY' COMPACT SNOWBERRY	5 GAL.	48" o.c.
•	THALIA OCCIDENTALIS 'BRANDON' BRANDON ARBORVITAE	5 GAL.	6' o.c.
•	THALIA OCCIDENTALIS 'CONCARE' FIRE CHIEF GLOBE ARBORVITAE	5 GAL.	36" o.c.
•	VACCINIUM OVATUM EVERGREEN HUCKLEBERRY	5 GAL.	36" o.c.
•	VERBURNUM DAVIDII DAVID VERBURNUM	5 GAL.	36" o.c.
•	VERBURNUM TINUS 'SPRING BOUQUET' SPRING BOUQUET LAURUSTINUS	5 GAL.	10' o.c.
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	SPACING
•	ARCTOSTAPHYLOS UVA-URSI KINNICKINICK	1 GAL.	24" o.c.
•	LAWN	1 LB. / 1000 SF	
•	MAHONIA REPENS 'MONARK' MONARK CREEPING OREGON GRAPE	1 GAL.	24" o.c.
•	RUBUS CALYCIDOIDES GREEN CARPET RASPBERRY	1 GAL.	24" o.c.
•	SEED MIX MEADOW ROUGH SEED MIX	1 LB. / 1000 SF	
STORMWATER	BOTANICAL / COMMON NAME	SIZE	SPACING
•	STORMWATER ZONE A HERBACEOUS PLANTS	1 GAL.	15" o.c.
•	STORMWATER ZONE B GRASS/DOCKWATER MIX	1 GAL.	12" o.c.

LANDSCAPE CODE AREAS

[Pattern]	GENERAL LANDSCAPING
[Pattern]	10FTH SF RIGHT OF WAY IMPROVEMENTS
[Pattern]	PARKING ISLAND LANDSCAPING
[Pattern]	PARKING PERIMETER LANDSCAPING
[Pattern]	STORMWATER

LANDSCAPE NOTES

- GENERAL**
- CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
 - CALL BEFORE YOU DIG. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT IF THERE ARE ANY DISCREPANCIES WITH PLANTING ROOT ZONES. TO REQUEST LOCATES FOR PROPOSED EXCAVATION CALL 1-800-332-2344 (OR 811) IN OREGON / 1-800-424-5555 (OR 811) IN WASHINGTON. [SELECT ONE STATE AND DELETE THE OTHER AND THIS NOTE.]
 - NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK.
 - LOCATION OF EXISTING TREES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
 - DAMAGE TO EXISTING CONCRETE CURB, ASPHALT PAVING, OR OTHER STRUCTURE SHALL BE REPAIRED OR REPLACED TO PRE CONSTRUCTION CONDITIONS.
 - CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY DISRUPTION TO VEHICULAR CIRCULATION PRIOR TO COMMENCEMENT OF ANY WORK.
- PLANTING**
- ALL EXISTING TREES, PLANTS, AND ROOTS SHALL BE PROTECTED FROM DAMAGE FROM ANY CONSTRUCTION PREPARATION, REMOVAL OR INSTALLATION ACTIVITIES WITHIN AND ADJACENT TO PROJECT LIMITS.
 - SHRUBS ADJACENT TO PARKING AREAS SHALL BE PLANTED 2 FT MINIMUM AWAY FROM THE BACK OF CURB. SHRUBS AND GROUND COVER ALONG OTHER PAVEMENT EDGES SHALL BE PLANTED A MINIMUM OF ONE HALF THEIR ON CENTER SPACING AWAY FROM PAVEMENT EDGE.
 - ALL PLANT MATERIAL SHALL BE HEALTHY NURSERY STOCK, WELL BRANCHED AND ROOTED, FULL FOLIAGE, FREE FROM INSECTS, DISEASES, WEEDS, WEED ROT, INJURIES AND DEFECTS WITH NO LESS THAN MINIMUMS SPECIFIED IN AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z66.1-2004.
 - TREES IN THE RIGHT OF WAY SHALL BE TALL ENOUGH TO BE LIMBED UP TO AT LEAST 8 FT ABOVE DRIVE SURFACE GRADE, WHILE MAINTAINING ENOUGH BRANCHES TO SUPPORT HEALTHY GROWTH.
 - DO NOT PLANT TREES ABOVE WATERLINES, UTILITIES, OR OTHER UNDERGROUND PIPING.
 - IF DISTURBANCE IS NECESSARY AROUND EXISTING TREES, CONTRACTOR SHALL PROTECT THE CROWN AND ALL WORK WITHIN THE TREE DRIPZONE SHALL BE LIMITED TO THE USE OF HAND TOOLS AND MANUAL EQUIPMENT ONLY.
 - REPLACE, REPAIR AND RESTORE DISTURBED LANDSCAPE AREAS DUE TO GRADING, TRENCHING OR OTHER REASONS TO PRE-CONSTRUCTION CONDITION AND PROVIDE MATERIAL, APPROVED BY THE OWNER AND OWNERS REPRESENTATIVE.
 - EXISTING AREAS PROPOSED FOR NEW PLANT MATERIAL SHALL BE CLEARED AND LEGALLY DISPOSED UNLESS SO NOTED.
 - A SOILS ANALYSIS, BY AN INDEPENDENT SOILS TESTING LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE, SHALL BE USED TO RECOMMEND AN APPROPRIATE PLANTING SOIL AND/OR SPECIFIED SOIL AMENDMENTS.
 - TOPSOIL SHALL BE AMENDED AS RECOMMENDED BY AN INDEPENDENT SOILS TESTING LABORATORY AND AS OUTLINED IN THE SPECIFICATION.
 - ALL LANDSCAPED AREAS SHALL BE COVERED BY A LAYER OF ORGANIC MULCH TO A MINIMUM DEPTH OF 2-INCHES.
- IRRIGATION**
- UNLESS OTHERWISE INDICATED, ALL NEW LANDSCAPE AREAS TO BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. PROVIDE LOOP SYSTEM FOR OPTIMUM EFFICIENCY.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS (IRRIGATION PLANS) TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. DRAWINGS TO INDICATE HEAD TYPE, GALLONS PER MINUTE, LATERAL LINES, AND BE AT MINIMUM SCALE OF 1"=20'
 - CONTRACTOR TO DETERMINE STATIC WATER PRESSURE AT THE P.O.C. PRIOR TO PREPARING SHOP DRAWINGS
 - CONTRACTOR SHALL ESTABLISH MINIMUM PRESSURE AND MAXIMUM DEMAND REQUIREMENTS FOR IRRIGATION SYSTEM DESIGN, AND PROVIDE INFORMATION IN AN IRRIGATION SCHEDULE.
 - IRRIGATION SYSTEM AS DESIGNED AND INSTALLED SHALL PERFORM WITHIN THE TOLERANCES AND SPECIFICATIONS OF THE SPECIFIED MANUFACTURERS.
 - SYSTEM SHALL BE DESIGNED TO SUPPLY MANUFACTURER'S SPECIFIED MINIMUM OPERATING PRESSURE TO FARTHEST EMITTER FROM WATER METER.
 - SYSTEM SHALL PROVIDE HEAD TO HEAD COVERAGE WITHOUT OVERSPRAY ONTO BUILDING, FENCES, SIDEWALKS, PARKING AREAS, OR OTHER NON-VEGETATED SURFACES.
 - ALL IRRIGATION PIPE MATERIAL AND INSTALLATION SHALL CONFORM TO APPLICABLE CODE FOR PIPING AND COMPONENT REQUIREMENTS.
 - PROVIDE SLEEVING AT ALL AREAS WHERE PIPE TRAVELS UNDER CONCRETE OR HARD SURFACING.
 - VALVES SHALL BE WIRED AND INSTALLED PER MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES AND CONNECTED TO THE IRRIGATION CONTROLLER.
 - REFER TO CIVIL DETAILS AND DETAILS ON L5.10 FOR POINT OF CONNECTION AND BACKFLOW PREVENTION INFORMATION.
 - MAINLINE LAYOUT IS DIAGRAMMATIC ONLY.
 - CONTROLLER TO BE MOUNTED ON BUILDING EXTERIOR. GENERAL CONTRACTOR TO COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE.
 - ZONE THE FOLLOWING AREAS SEPARATELY: TEMPORARY AREAS, PERMANENT LANDSCAPE AREAS, AND TREES.
 - QUICK COUPLERS TO BE PLACED EVERY 300 LINEAR FEET MAX.
 - IRRIGATION SHALL BE WINTERIZED THROUGH LOW PRESSURE, HIGH VOLUME AIR BLOWOUT CONNECTION THROUGH QUICK COUPLER.
 - THE SYSTEM SHALL BE GRAVITY DRAINED. THE CONTRACTOR SHALL PROVIDE APPROPRIATE MANUAL DRAINS AT LOW POINTS.

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LANDSCAPE
GENERAL
INFORMATION

DRAWN BY: AB

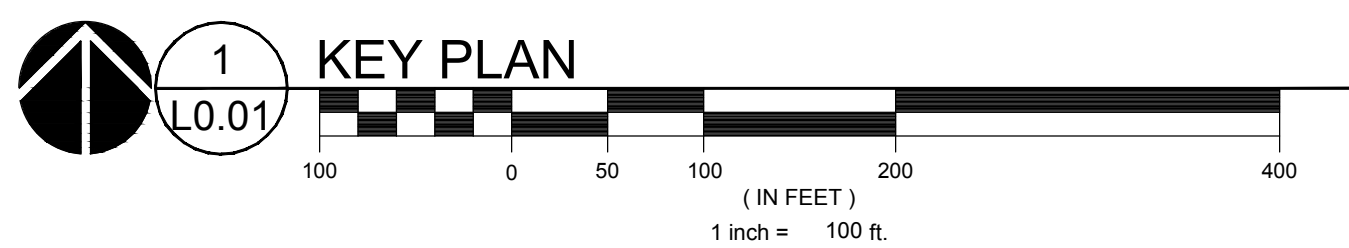
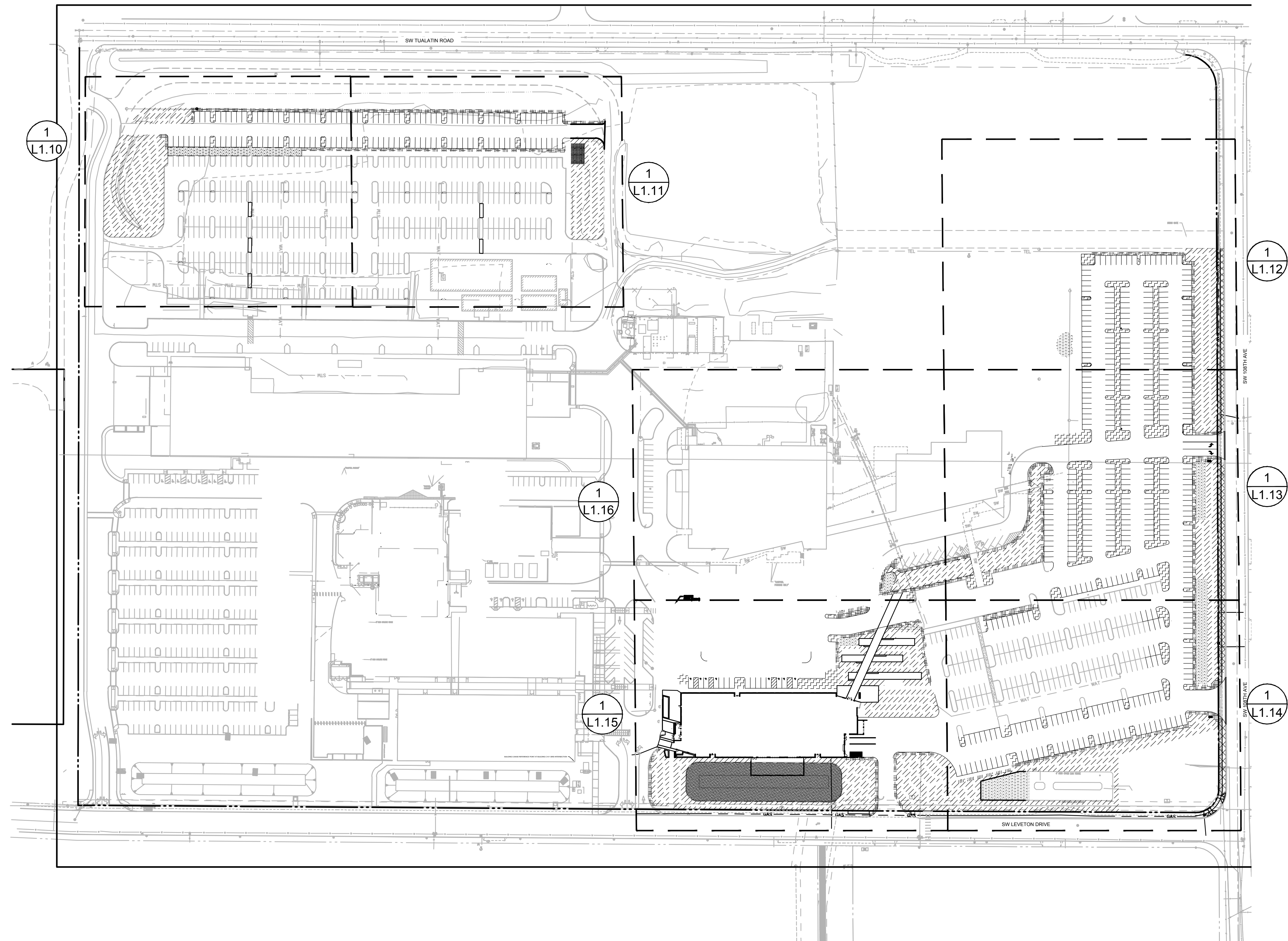
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ARCHITECTURAL REVIEW: 8/17/2022



REVISION SCHEDULE		
Delta	Issued As	Issue Date

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**PLANTING PLAN
NORTH (WEST)**

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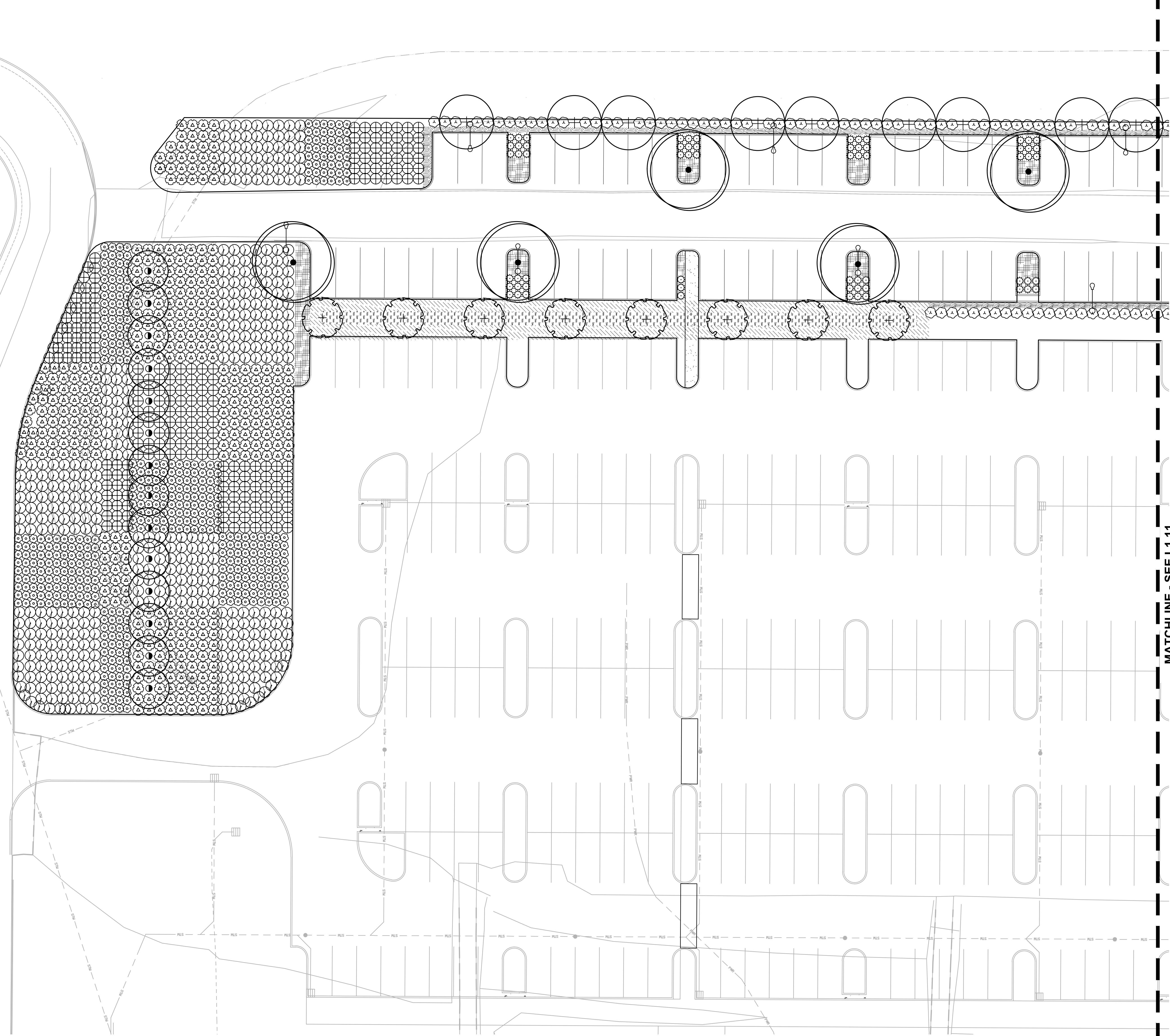
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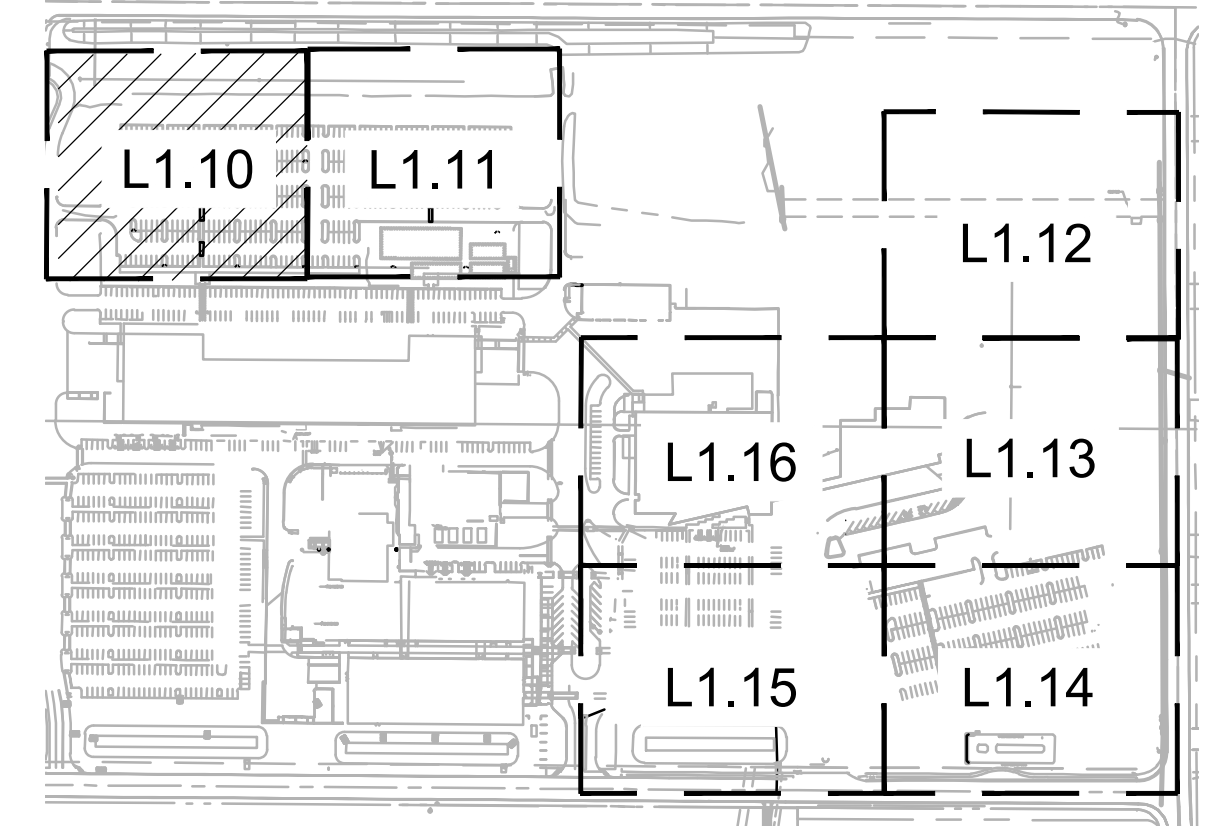
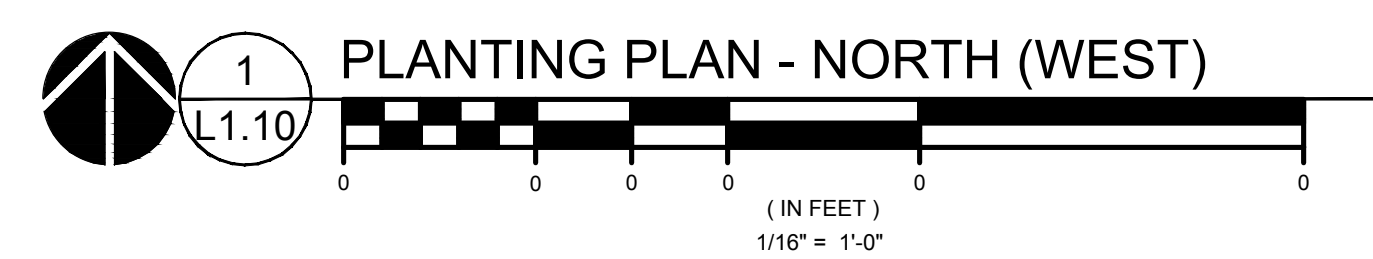
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PLANT KEY LEGEND

- TREES**
- CERCIDIPHYLLUM JAPONICUM*
KATSURA TREE
 - GLEDITSIA TRIACANTHOS INERMIS 'MORAINE'*
MORAINE HONEY LOCUST
 - MALUS X 'PRAIRIFIRE'*
PRAIRIFIRE CRAB APPLE
 - NYSSA SYLVATICA 'DAVID ODOM'*
AFTERBURNER TUPELO
- SHRUBS**
- ABELIA X GRANDIFLORA 'KALEIDOSCOPE'*
KALEIDOSCOPE GLOSSY ABELIA
 - CISTUS X PULVERULENTUS 'SUNSET'*
SUNSET ROCKROSE
 - PANICUM VIRGATUM 'HEAVY METAL'*
BLUE SWITCH GRASS
 - PINUS MUGO VAR. MUGO*
DWARF MUGO PINE
 - PRUNUS LAUROCERASUS 'ZABELIANA'*
ZABEL LAUREL
 - RHAMPHOLEPIS INDICA 'MONTO'*
INDIAN PRINCESS INDIAN HAWTHORN
- GROUND COVERS**
- ARCTOSTAPHYLOS UVA-URSI*
KINNIKINNICK
 - RUBUS CALYCIANOIDES*
GREEN CARPET RASPBERRY
- STORMWATER**
- STORMWATER ZONE A**
HERBACEOUS PLANTS
 - STORMWATER ZONE B**
GROUND COVER MIX



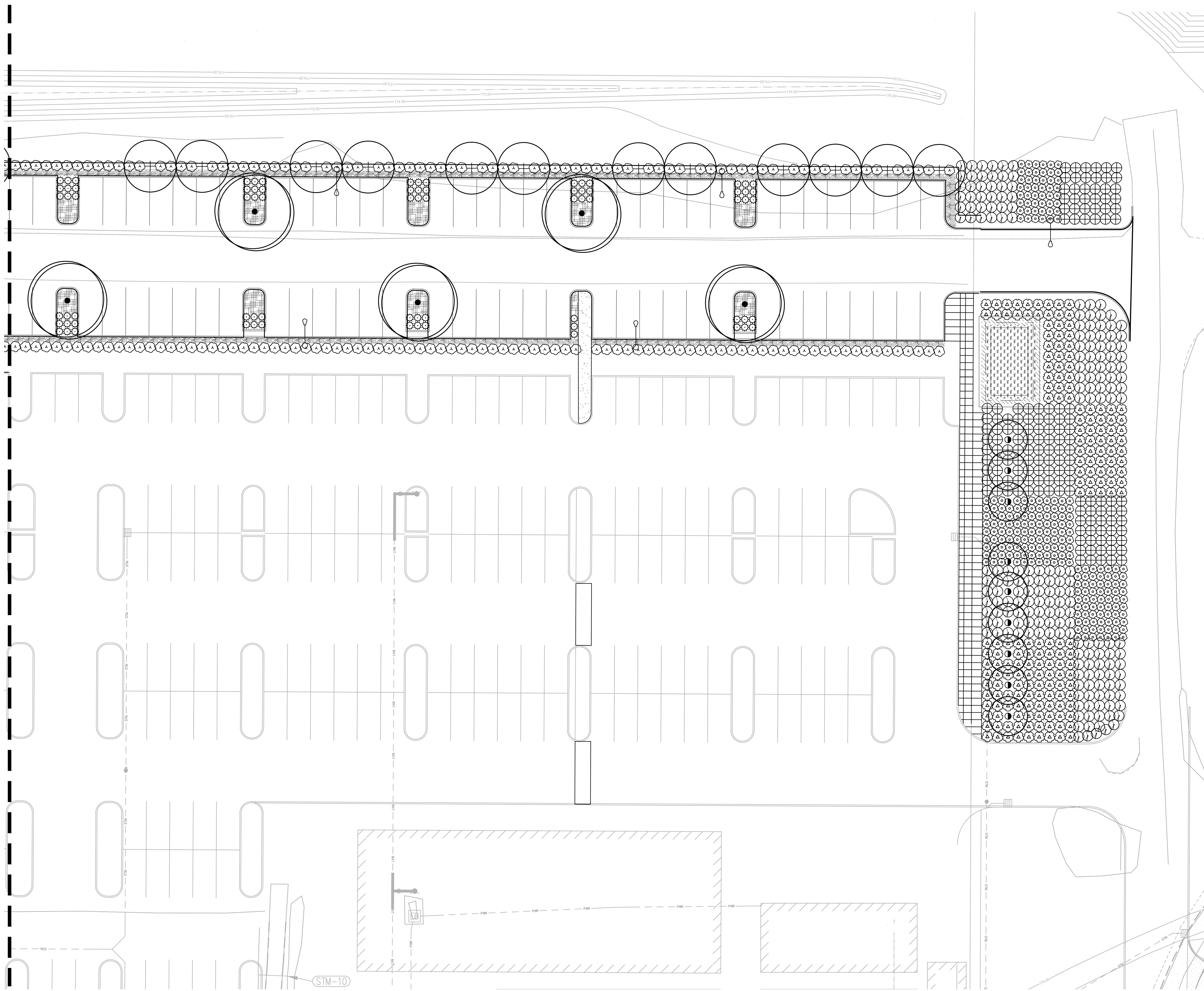
MATCHLINE - SEE L1.11



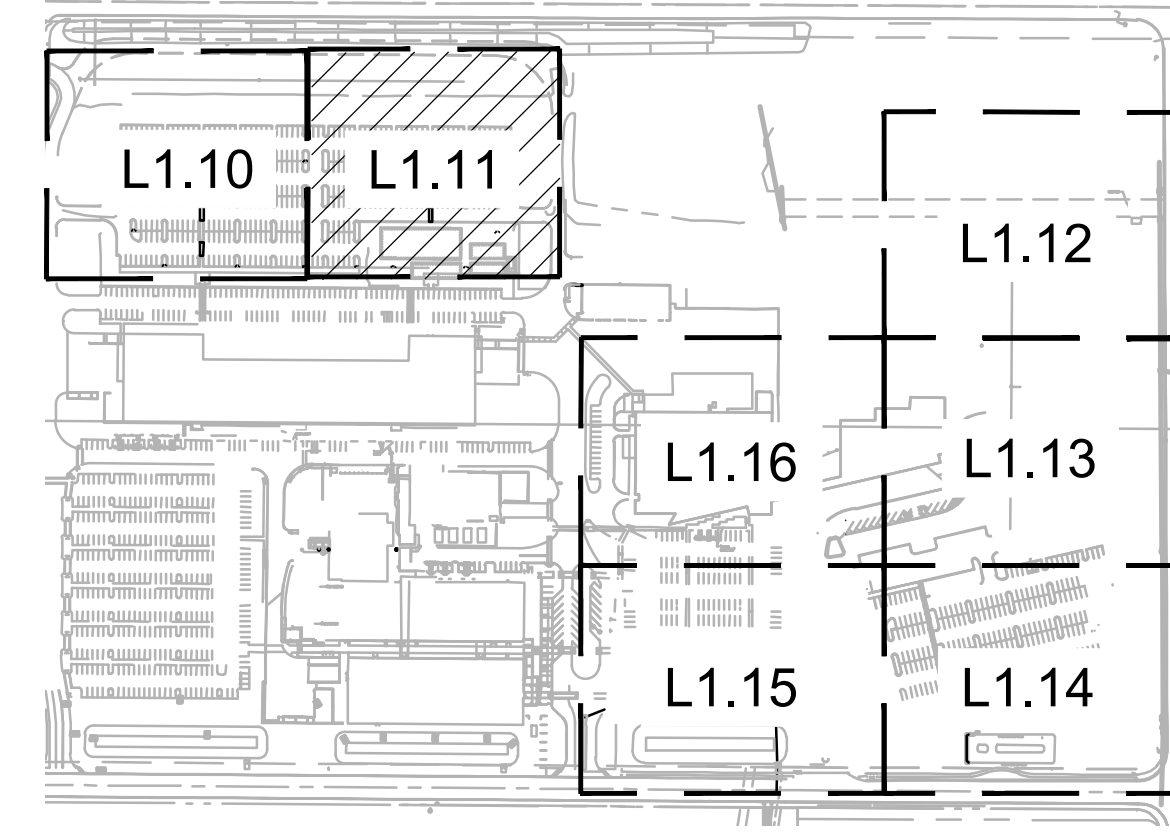
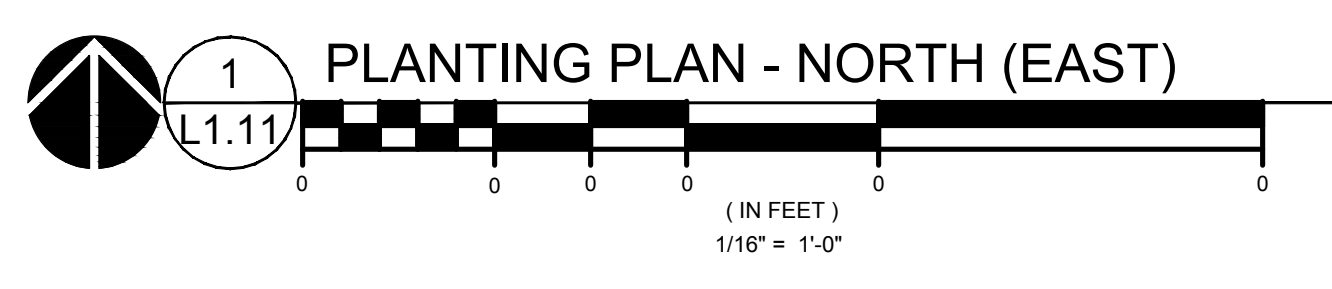
KEY MAP
SCALE: NTS

PLANT KEY LEGEND

TREES	
	<i>BOTANICAL / COMMON NAME</i> CERCIDIPHYLLUM JAPONICUM KATSURA TREE
	GLEDISIA TRIACANTHOS INERMIS 'MORaine' MORaine HONEY LOCUST
	MALUS X 'PRAIRIFIRE' PRAIRIFIRE CRAB APPLE
SHRUBS	
	<i>BOTANICAL / COMMON NAME</i> ABELIA X GRANDIFLORA 'KALEIDOSCOPE' KALEIDOSCOPE GLOSSY ABELIA
	CISTUS X PULVERULENTUS 'SUNSET' SUNSET ROCKROSE
	PANICUM VIRGATUM 'HEAVY METAL' BLUE SWITCH GRASS
	PINUS MUGO VAR. MUGO DWARF MUGO PINE
	PRUNUS LAUROCERASUS 'ZABELIANA' ZABEL LAUREL
	RHAPHIOLEPIS INDICA 'MONTI' INDIAN PRINCESS INDIAN HAWTHORN
GROUND COVERS	
	ARCTOSTAPHYLOS UVA-URSI KINNIKINNICK
	RUBUS CALYCINOIDES GREEN CARPET RASPBERRY
STORMWATER	
	STORMWATER ZONE A HERBACEOUS PLANTS
	STORMWATER ZONE B GROUND COVER MIX



MATCHLINE - SEE L1.10



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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**PLANTING PLAN
NORTH (EAST)**

DRAWN BY: AB

CHECKED BY: ST

SHEET

L1.11



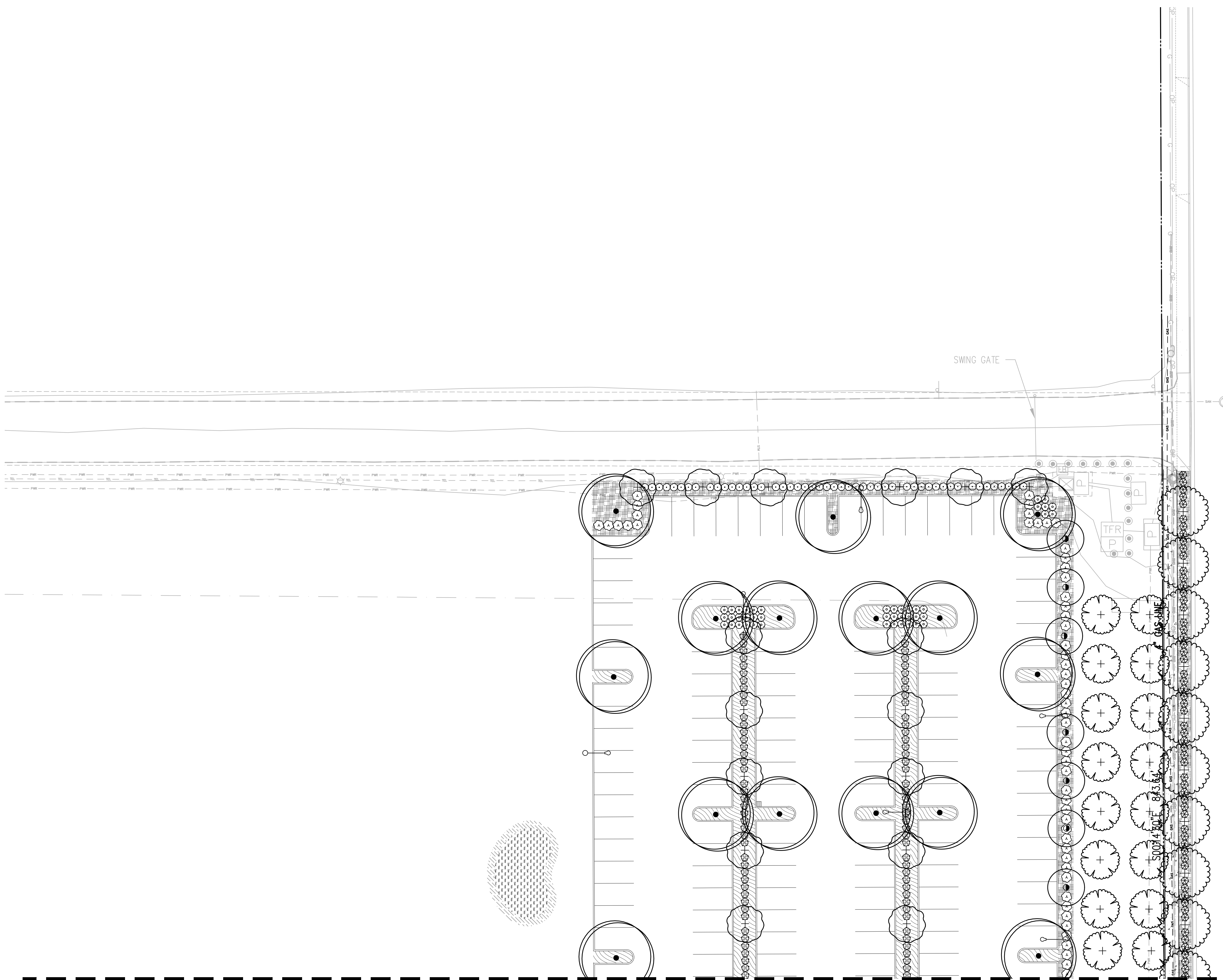
JOB NO. 2220087.00

ARCHITECTURAL REVIEW: 8/17/2022
222008700.DRAWINGS\LANDSCAPE\087-L0.01.DWG-L1.11 AB 08/01/22 23:47 1.0.00

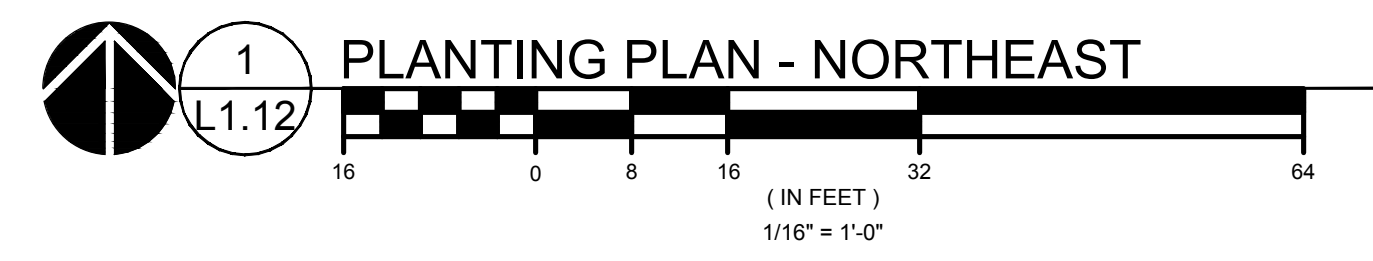
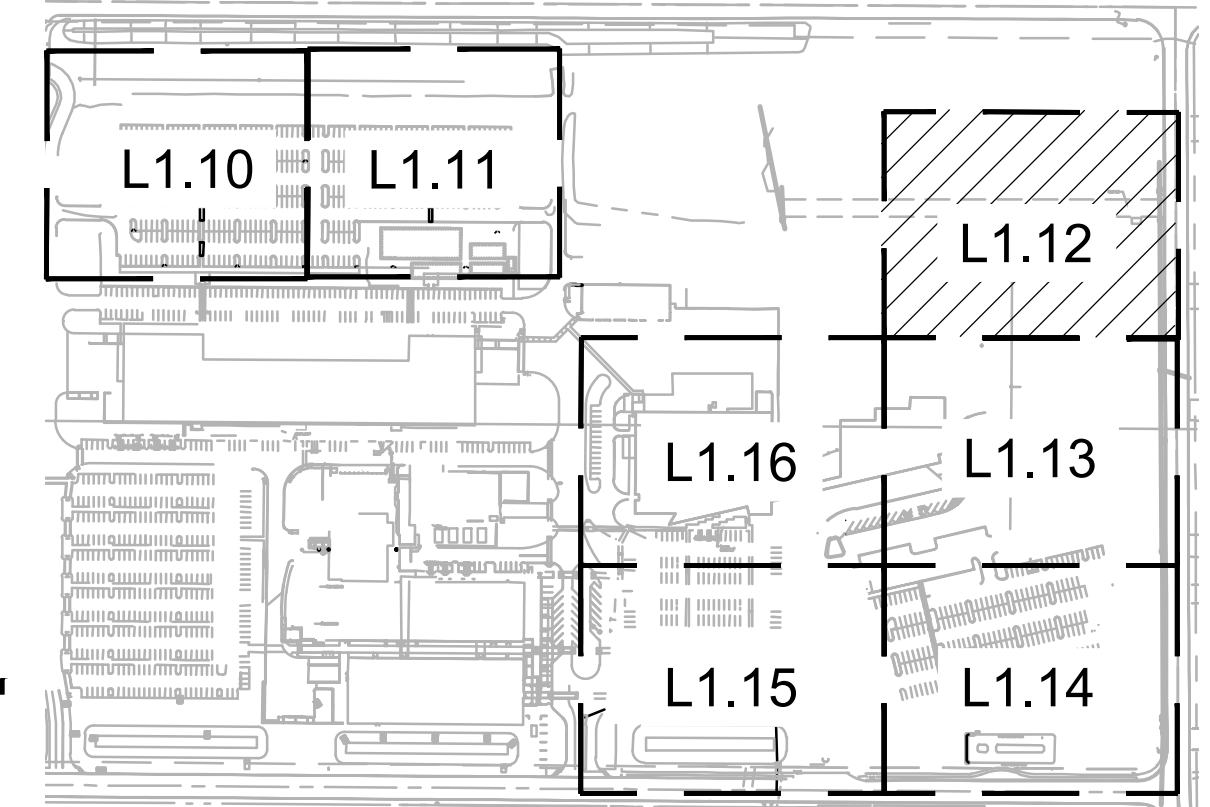
REVISION SCHEDULE		
Delta	Issued As	Issue Date

PLANT KEY LEGEND

- TREES**
- CERCIDIPHYLLUM JAPONICUM*
KATSURA TREE
 - MALUS X 'PRAIRIFIRE'*
PRAIRIFIRE CRAB APPLE
 - PARROTTIA PERSICA*
PERSIAN PARROTTIA
 - PRUNUS X YEDOENSIS 'AKEBONO'*
AKEBONO YOSHINO CHERRY
 - ULMUS 'PATRIOT'*
PATRIOT ELM
- SHRUBS**
- PRUNUS LAUROCERASUS 'ZABELIANA'*
ZABEL LAUREL
 - SPIRAEA DOUGLASII*
WESTERN SPIREA
 - THUJA OCCIDENTALIS 'CONGARE'*
FIRE CHIEF GLOBE ARBORVITAE
 - VACCINIUM OVATUM*
EVERGREEN HUCKLEBERRY
 - VIBURNUM DAVIDII*
DAVID VIBURNUM
- GROUND COVERS**
- ARCTOSTAPHYLOS UVA-URSI*
KINNIKINICK
 - MAHONIA REPENS 'MONRWS'*
DARKSTAR CREEPING OREGON GRAPE
- STORMWATER**
- STORMWATER ZONE A
HERBACEOUS PLANTS
 - STORMWATER ZONE B
GROUNDCOVER MIX



MATCHLINE - SEE L1.13





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NEW OFFICE BUILDING

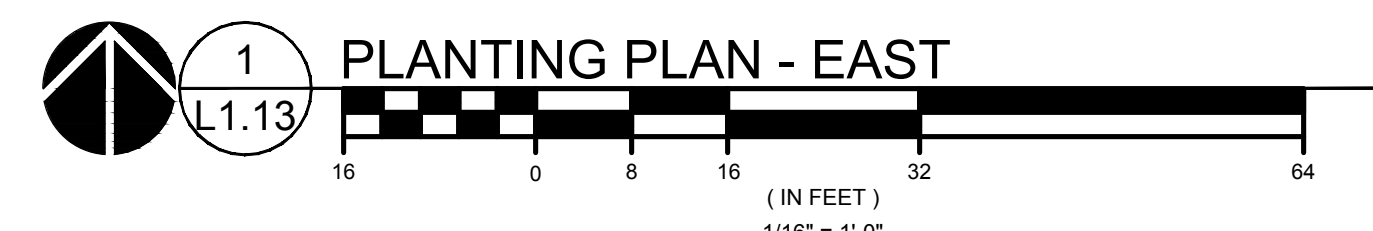
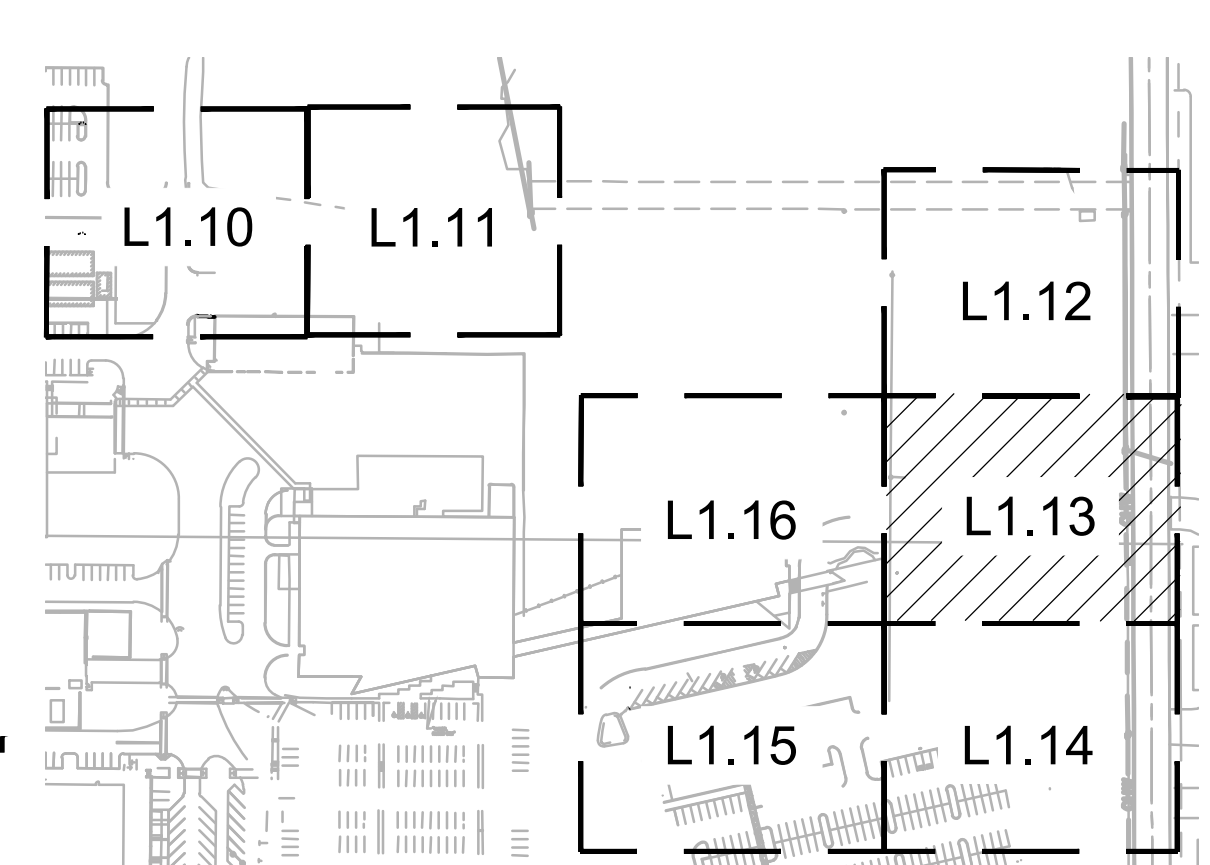
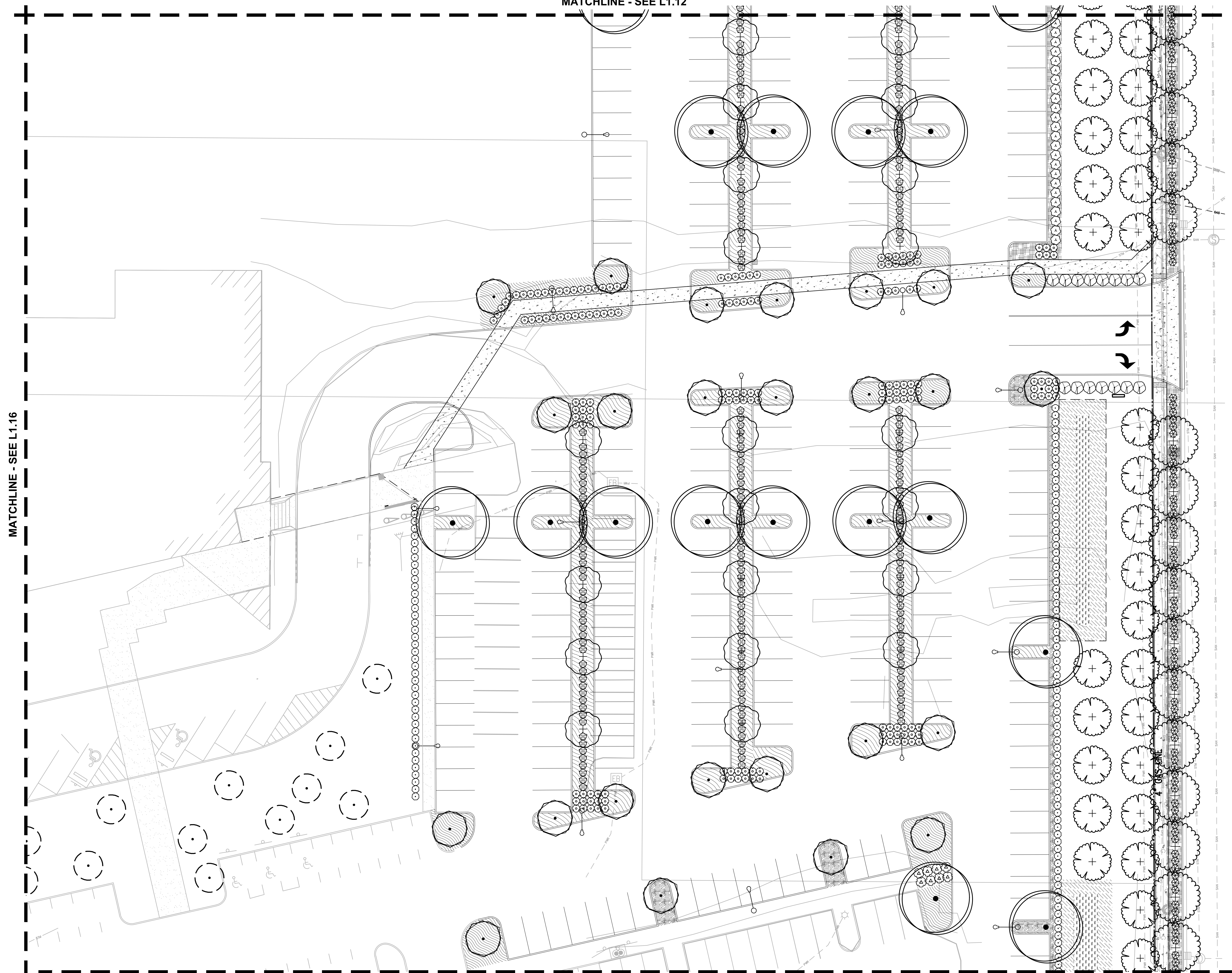
PLANT KEY LEGEND

- TREES**
 - ACER RUBRUM 'BOWHALL'**
BOWHALL MAPLE
 - CERCIDIPHYLLUM JAPONICUM**
KATSURA TREE
 - PARROTIA PERSICA**
PERSIAN PARROTIA
 - PRUNUS X YEDOENSIS 'AKEBONO'**
AKEBONO YOSHINO CHERRY
 - ULMUS 'PATRIOT'**
PATRIOT ELM
- EXISTING**
 - EXISTING TREE TO REMAIN**
- SHRUBS**
 - ABELIA X GRANDIFLORA 'KALEIDOSCOPE'**
KALEIDOSCOPE GLOSSY ABELIA
 - PHILADELPHUS LEWISII**
WILD MOCKORANGE
 - PRUNUS LAUROCERASUS 'ZABELIANA'**
ZABEL LAUREL
 - SPIRAEA DOUGLASII**
WESTERN SPIREA
 - THUJA OCCIDENTALIS 'CONGARE'**
FIRE CHIEF GLOBE ARBORVITAE
 - VACCINIUM OVATUM**
EVERGREEN HUCKLEBERRY
 - VIBURNUM DAVIDII**
DAVID VIBURNUM
- GROUND COVERS**
 - ARCTOSTAPHYLOS UVA-URSI**
KINNIKINNICK
 - MAHONIA REPENS 'MONRWS'**
DARKSTAR CREEPING OREGON GRAPE
 - RUBUS CALYCINOIDES**
GREEN CARPET RASPBERRY
- STORMWATER**
 - STORMWATER ZONE A**
HERBACEOUS PLANTS
 - STORMWATER ZONE B**
GROUNDCOVER MIX

MATCHLINE - SEE L1.16

MATCHLINE - SEE L1.12

MATCHLINE - SEE L1.14



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REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**PLANTING PLAN
EAST**

DRAWN BY: AB

CHECKED BY: ST

SHEET

L1.13

JOB NO. **2220087.00**

ARCHITECTURAL REVIEW: 8/17/2022
222008700\DRAWINGS\LANDSCAPE\087-L0.01.DWG-L1.13 AB 08/17/22 07:31 1.0.00



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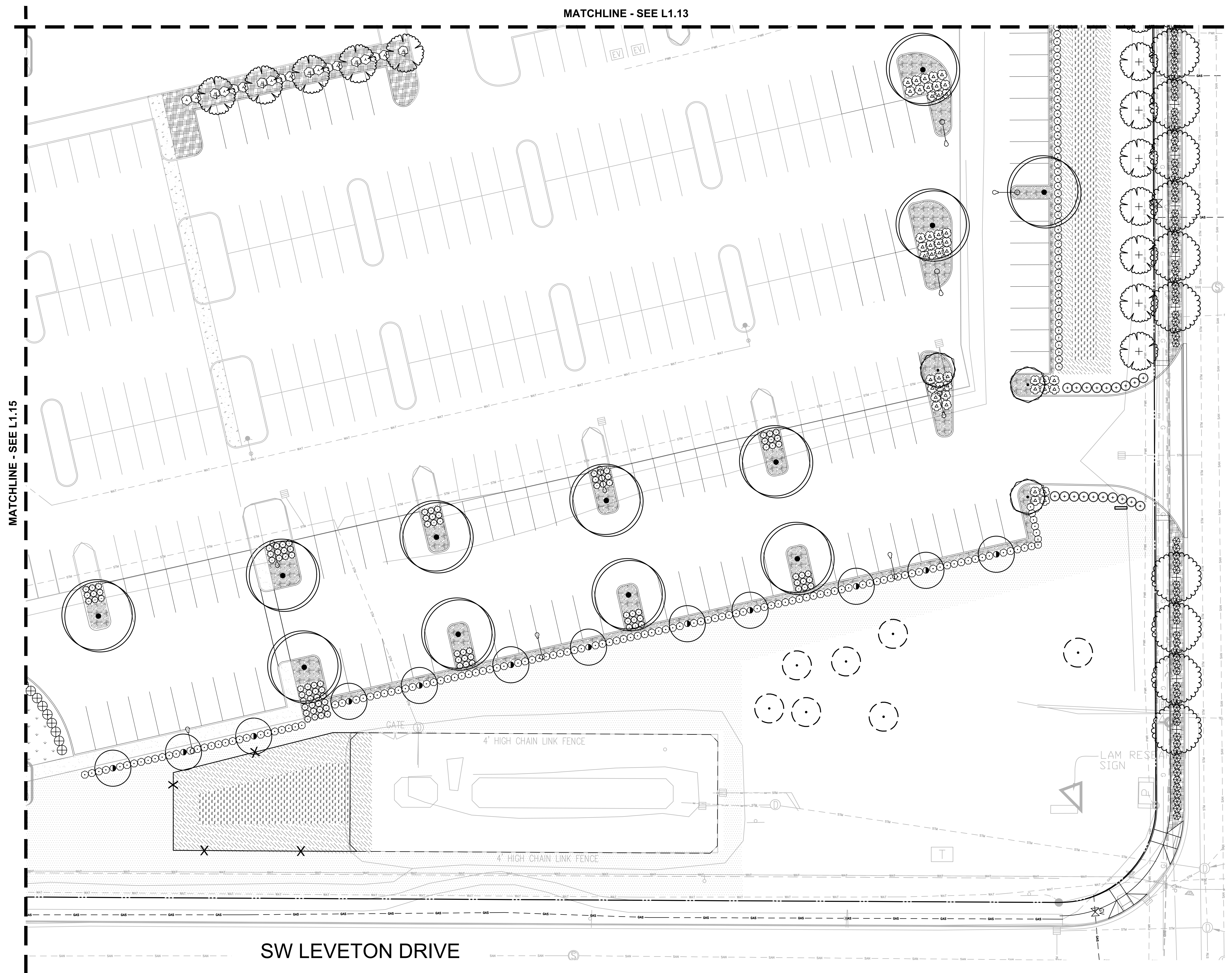


Project
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FAC-1446**

NEW OFFICE BUILDING

PLANT KEY LEGEND

- TREES**
- ACER RUBRUM 'BOWHALL'
BOWHALL MAPLE
 - CERCIDIPHYLLUM JAPONICUM
KATSURA TREE
 - PARROTIA PERSICA
PERSIAN PARROTIA
 - PRUNUS X YEDOENSIS 'AKEBONO'
AKEBONO YOSHINO CHERRY
 - ULMUS 'PATRIOT'
PATRIOT ELM
- EXISTING**
- EXISTING TREE
TO REMAIN
- SHRUBS**
- ABELIA X GRANDIFLORA 'KALEIDOSCOPE'
KALEIDOSCOPE GLOSSY ABELIA
 - PHILADELPHUS LEWISII
WILD MOCKORANGE
 - PRUNUS LAUROCERASUS 'ZABELIANA'
ZABEL LAUREL
 - SPIRAEA DOUGLASII
WESTERN SPIREA
 - THUJA OCCIDENTALIS 'CONGARE'
FIRE CHIEF GLOBE ARBORVITAE
 - VACCINIUM OVATUM
EVERGREEN HUCKLEBERRY
 - VIBURNUM DAVIDII
DAVID VIBURNUM
- GROUND COVERS**
- ARCTOSTAPHYLOS UVA-URSI
KINNIKINICK
 - MAHONIA REPENS 'MONRWS'
DARKSTAR CREEPING OREGON GRAPE
 - RUBUS CALYCINOIDES
GREEN CARPET RASPBERRY
- STORMWATER**
- STORMWATER ZONE A
HERBACEOUS PLANTS
 - STORMWATER ZONE B
GROUNDCOVER MIX



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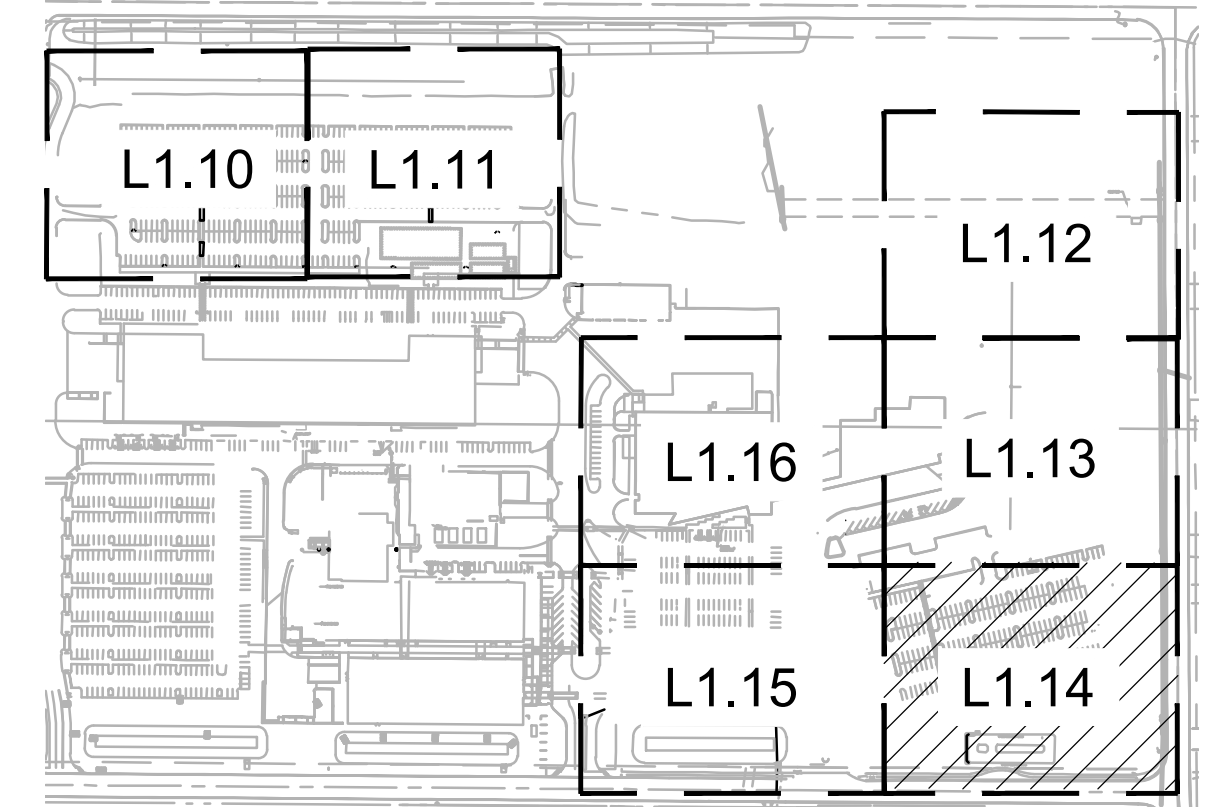
REVISION SCHEDULE		
Delta	Issued As	Issue Date

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SOUTHEAST**

DRAWN BY: AB
CHECKED BY: ST
SHEET

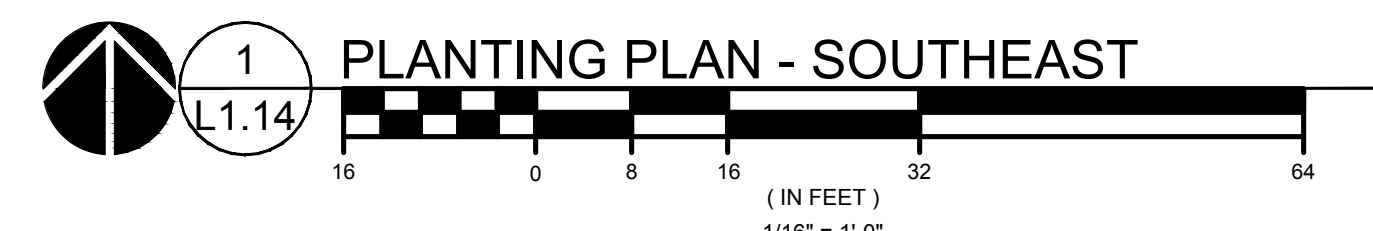
L1.14

JOB NO. **2220087.00**



KEY MAP
SCALE: NTS

ARCHITECTURAL REVIEW: 8/17/2022
222008700\DRAWINGS\LANDSCAPE\087-L0.01.DWG-L1.14 AB 08/02/22 00:07 1:0.00



1
L1.14
PLANTING PLAN - SOUTHEAST
1/16" = 1'-0"



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REVISION SCHEDULE		
Delta	Issued As	Issue Date

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**PLANTING PLAN
SOUTHWEST**

DRAWN BY: AB

CHECKED BY: ST

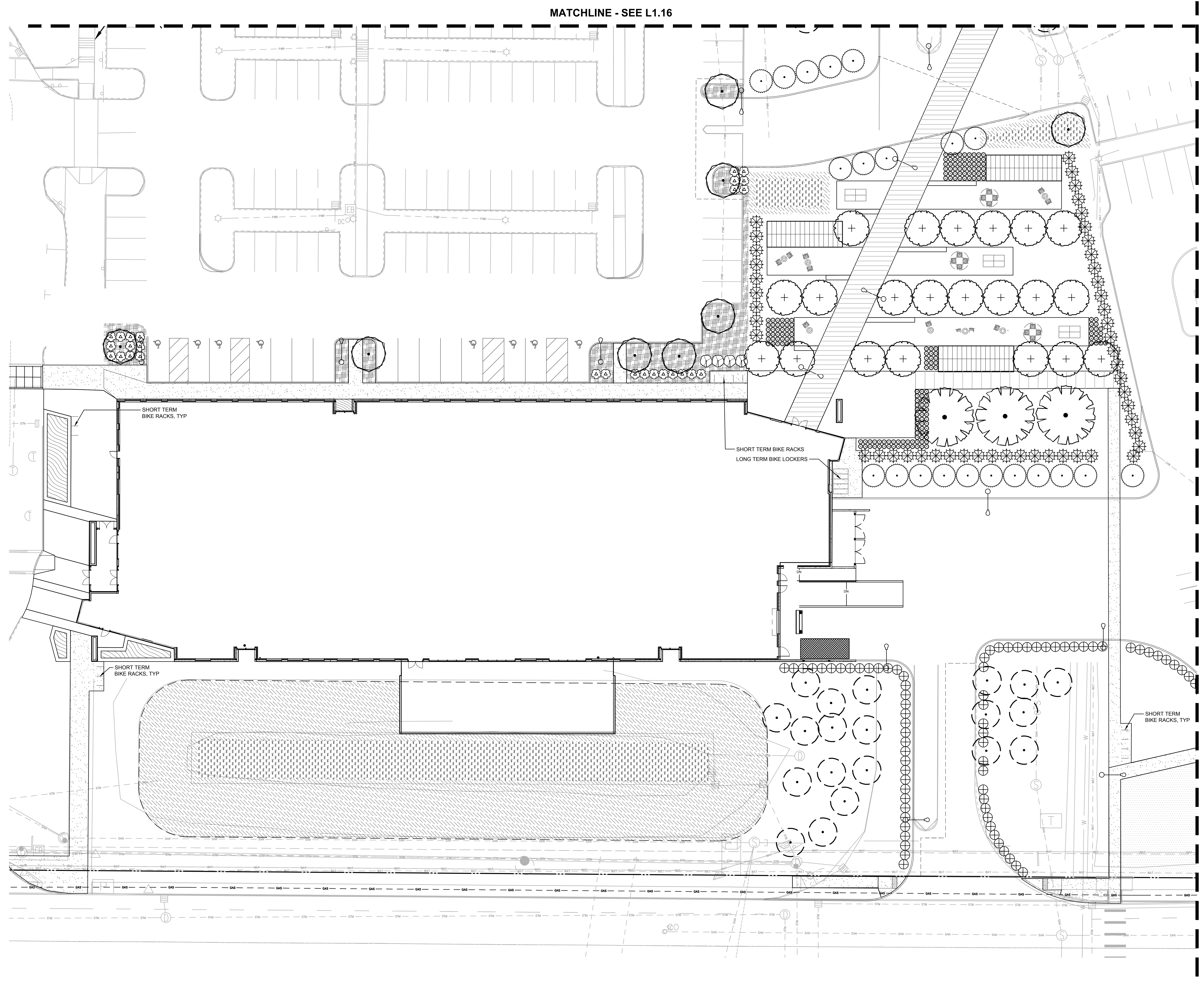
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L1.15

JOB NO. **2220087.00**

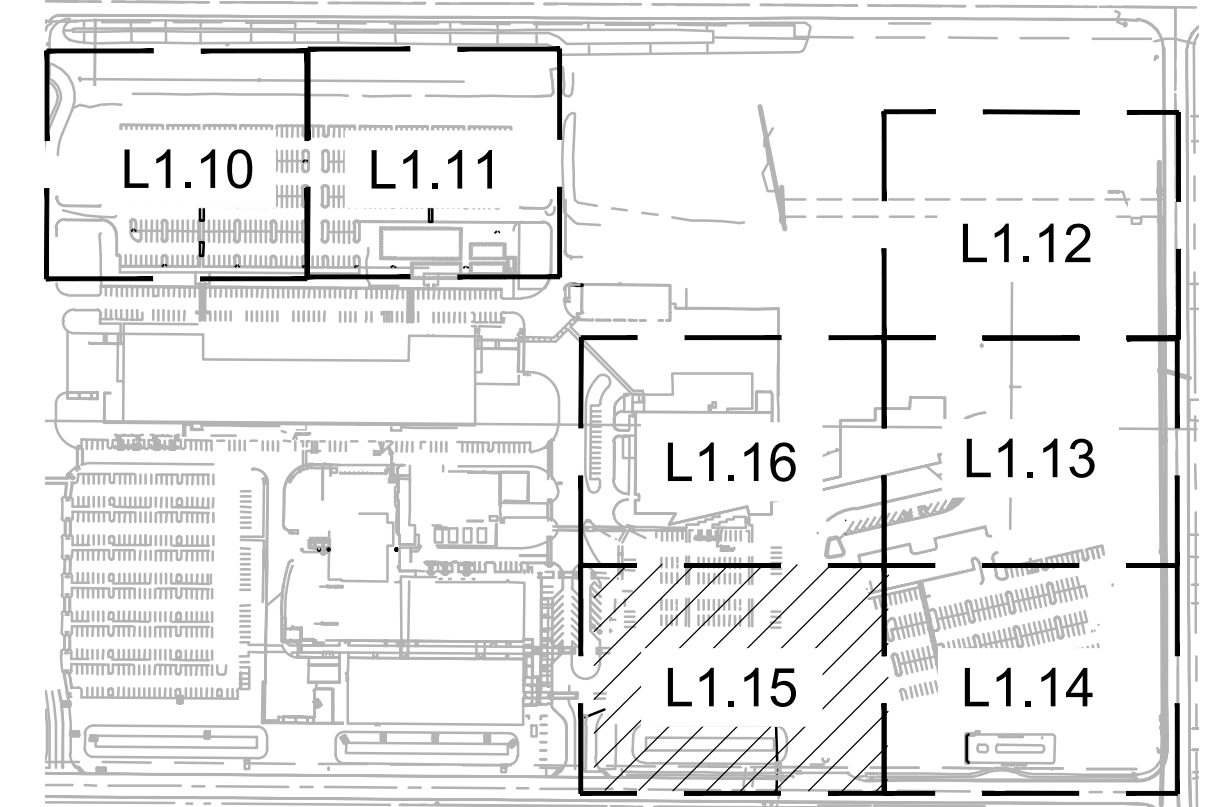
PLANT KEY LEGEND

- TREES**
- ACER RUBRUM 'BOWHALL'*
BOWHALL MAPLE
 - LIRIODENDRON TULIPIFERA*
TULIP POPLAR
 - ZELKOVA SERRATA 'HALKA'*
HALKA ZELKOVA
- EXISTING**
- EXISTING TREE TO REMAIN*
- SHRUBS**
- ABELIA X GRANDIFLORA 'KALEIDOSCOPE'*
KALEIDOSCOPE GLOSSY ABELIA
 - BOULEOUJA GRACILIS 'BLONDE AMBITION'*
BLONDE AMBITION BLUE GRAMA
 - PHILADELPHUS LEWISII*
WILD MOCKORANGE
 - RHAMPHILEPIS INDICA 'MONTO'*
INDIAN PRINCESS INDIAN HAWTHORN
 - THUJA OCCIDENTALIS 'BRANDON'*
BRANDON ARBORVITAE
 - VIBURNUM TINUS 'SPRING BOUQUET'*
SPRING BOUQUET LAURUSTINUS
- GROUND COVERS**
- ARCTOSTAPHYLOS UVA-URSI*
KINNIKINNICK
 - LAWN
 - MAHONIA REPENS 'MONRWS'*
DARKSTAR CREEPING OREGON GRAPE
- STORMWATER**
- STORMWATER ZONE A*
HERBACEOUS PLANTS
 - STORMWATER ZONE B*
GROUNDCOVER MIX

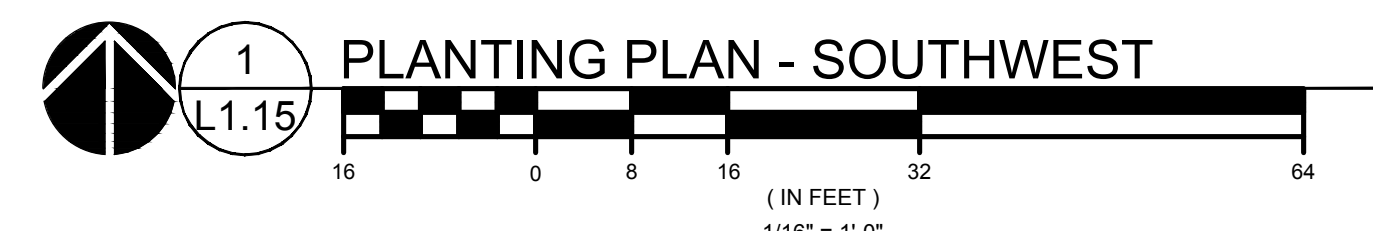


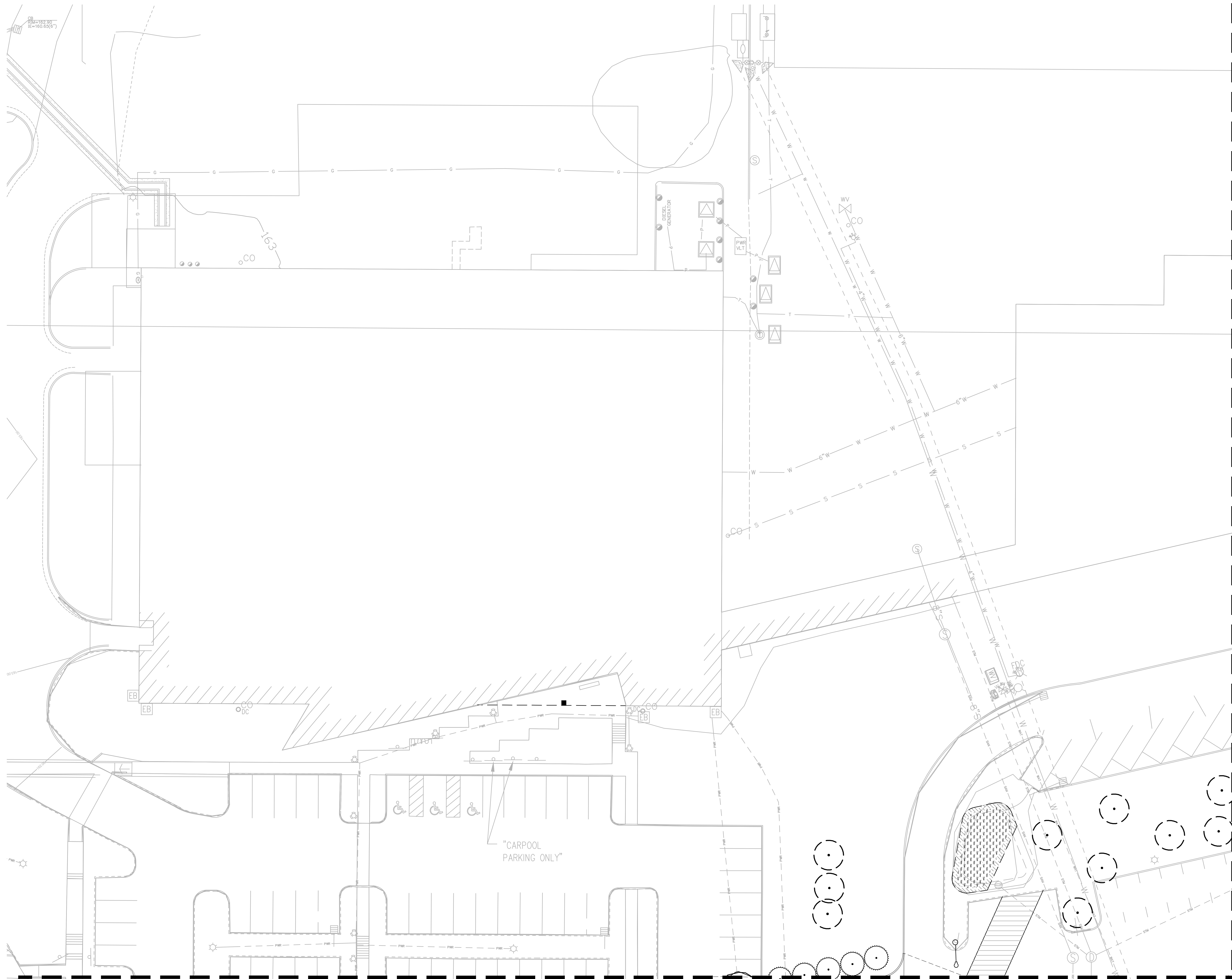
MATCHLINE - SEE L1.16

MATCHLINE - SEE L1.14



KEY MAP
SCALE: NTS





PLANT KEY LEGEND

EXISTING	BOTANICAL / COMMON NAME	SIZE	
	EXISTING TREE TO REMAIN	---	
STORMWATER	BOTANICAL / COMMON NAME	SIZE	SPACING
	STORMWATER ZONE A HERBACEOUS PLANTS	1 GAL.	15" o.c.
	STORMWATER ZONE B GROUNDCOVER MIX	1 GAL.	12" o.c.

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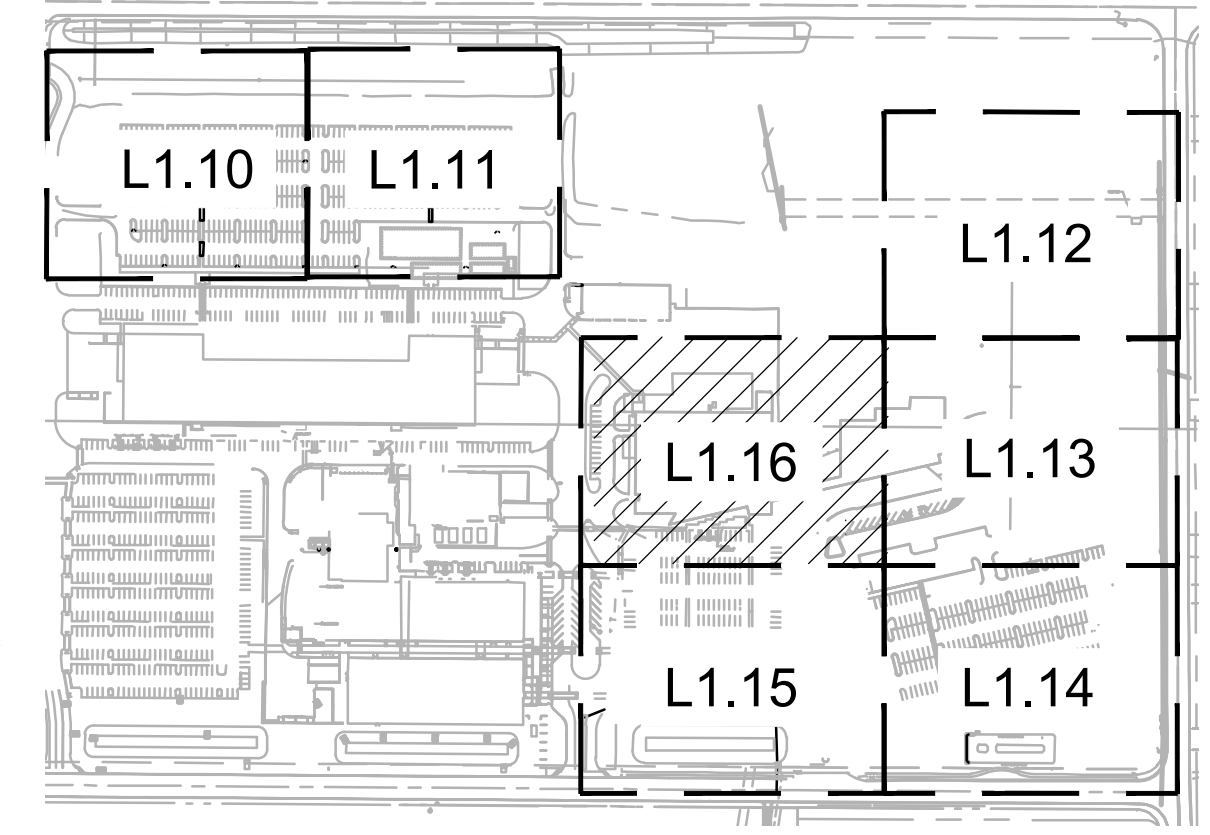
MATCHLINE - SEE L1.13

MATCHLINE - SEE L1.15

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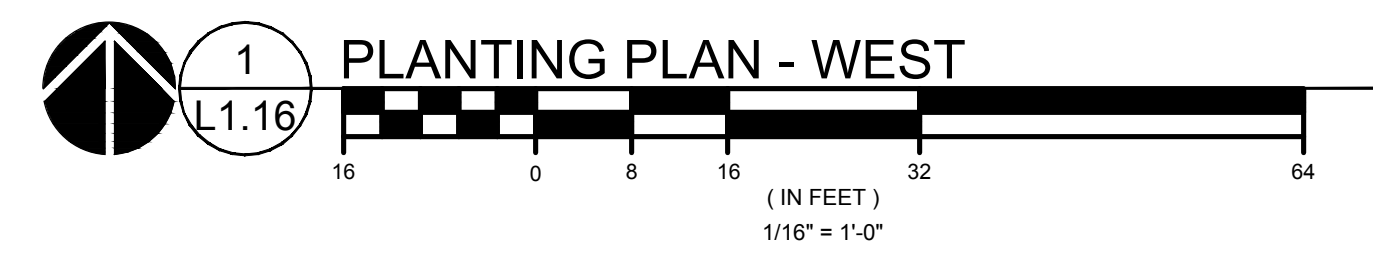
REVISION SCHEDULE		
Delta	Issued As	Issue Date

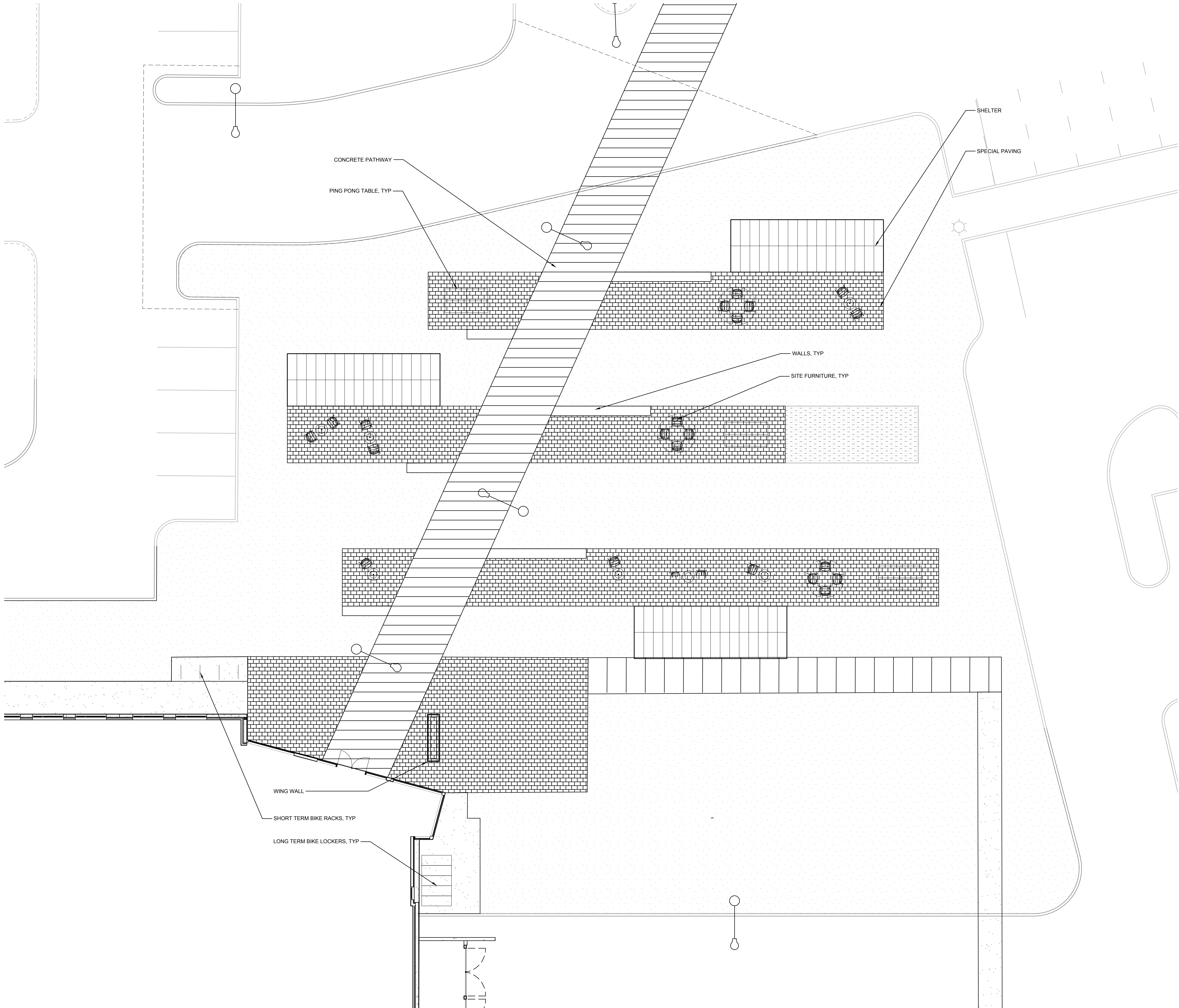
SHEET TITLE:
PLANTING PLAN WEST



DRAWN BY: AB
 CHECKED BY: ST
 SHEET

L1.16





CONCRETE PATHWAY

PING PONG TABLE, TYP

SHELTER

SPECIAL PAVING

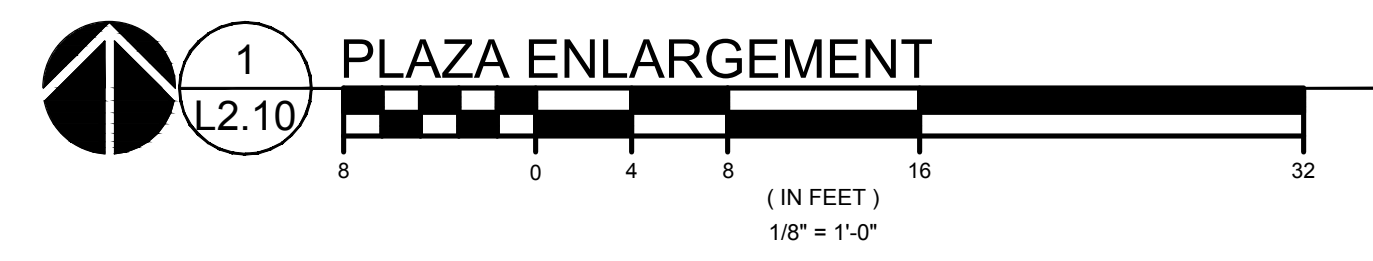
WALLS, TYP

SITE FURNITURE, TYP

WING WALL

SHORT TERM BIKE RACKS, TYP

LONG TERM BIKE LOCKERS, TYP





Land Use Application—Type III

PROPOSAL NAME Lam Research Building G Parking IMP

PROPOSAL SUMMARY (Brief description)

Lam Research is proposing a new office building and parking lots, consistent with "Phase 1" of IMP 00-01, but requests modification of two conditions of approval regarding setbacks.

This IMP addresses those conditions only and other standards and conditions of IMP 00-01 remain valid.

PROPERTY INFORMATION

Location (address if available): 11155-11361 SW Leveton Drive

Tax Map & Lot #(s): 2S122AA00 - 500, 800, 100

Planning District: MP

Total site size: 58.01

Developed Undeveloped

APPLICANT/CONTACT INFORMATION

Applicant or Primary Contact Name: Suzannah Stanley

Mailing Address: 1515 SE Water Ave, Ste 100

City/State: Portland/OR

Zip: 97214

Phone: 971-346-3808

Email: SStanley@mcknze.com

Primary Contact's

Applicant's Signature: Suzannah Stanley

Date: 8/11/22

I hereby acknowledge that I have read this application and understand the requirements for approving and denying the application, that the information provided is correct, that I am the owner or authorized agent of the owner, and that plans submitted are in compliance with the City of Tualatin Development (TDC) and Municipal (TMC) Codes.

PROPERTY OWNER/DEED HOLDER INFORMATION (Attach list if more than one)

Name: Lam Research Corporation

Mailing Address: 4650 Cushing Parkway

City/State: Fremont/CA

Zip: 94538

Phone: 1.510.572.3680

Email: Pat.lord@lamresearch.com

Property Owner Signature: Pat Lord

Date: 8/12/22

Power of attorney or letter of authorization required if application not signed by the property owner/deed holder.

LAND USE APPLICATION TYPE

- Architectural Review (ARB)
Industrial Master Plan (IMP)
Variance (VAR)
Sign Variance (SVAR)
Transitional Use Permit (TRP)
Reinstatement of Use

FOR STAFF USE ONLY

Case No.:
Date Received:
By:
Fee Amount \$:
Received by:



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MULTNOMAH COUNTY TITLE UNIT

FAX (877)242-3513

Title Officer: Blake Spencer

(503)222-3651

BISpencer@firstam.com

LOT BOOK SERVICE

Lam Research
11155 SW Leveton Drive
Tualatin, OR 97062

Order No.: 7019-3978352
July 28, 2022

Attn: Hugh Kingery
Phone No.: - Fax No.:
Email: Hugh.Kingery@lamresearch.com

Re:

Fee: \$500.00

We have searched our Tract Indices as to the following described property:

The land referred to in this report is described in Exhibit A attached hereto.

and as of July 20, 2022 at 8:00 a.m.

We find that the last deed of record runs to

Lam Research Corporation, a Delaware Corporation

We find the following apparent encumbrances prior to the effective date hereof:

1. Statutory powers and assessments of Clean Water Services.
2. Private Stormwater Facilities Agreement, including terms and provisions thereof.

Recorded: August 19, 2021 as Fee No. 2021 088690

3. Unrecorded leases or periodic tenancies, if any.

(The following Exceptions Affects Lot 1)

4. Easement, including terms and provisions contained therein:
Recording Information: June 09, 1989 as Fee No. 89026084
In Favor of: The City of Tualatin
For: Slope and utility
Affects: The Southwesterly corner

Document re-recorded July 06, 1989 as Fee No. 89030633

5. Easement, including terms and provisions contained therein:
Recording Information: November 01, 1989 as Fee No. 89053170
In Favor of: The City of Tualatin
For: Slope
Affects: The Southerly portion
6. The terms and provisions contained in the document entitled "Declaration of Roadway, Utility, Cross-Access and Parking Easements and Restrictive Covenants" recorded March 22, 2002 as Fee No. 2002 033655.
7. Easement, including terms and provisions contained therein:
Recording Information: April 15, 2002 as Fee No. 2002 044680
In Favor of: The City of Tualatin
For: Water line
Affects: The Southerly portion
8. Revocable Permit (Right-of-Way), including terms and provisions thereof.

Recorded: October 26, 2017 as Fee No. 2017 084661
9. Private Stormwater Facilities Agreement, including terms and provisions thereof.

Recorded: November 02, 2020 as Fee No. 2020 110089

(The following Exceptions Affects Lot 2)

10. Easement, including terms and provisions contained therein:
Recording Information: June 01, 1990 as Fee No. 90028257
In Favor of: The City of Tualatin
For: Pedestrian walkway and bikepath
Affects: The Southerly portion
11. Easement, including terms and provisions contained therein:
Recording Information: November 23, 1999 as Fee No. 99130427
In Favor of: The City of Tualatin
For: Slope, public utility and pedestrian walkway
Affects: The Northerly portion

12. Easement, including terms and provisions contained therein:
Recording Information: June 22, 2001 as Fee No. 2001 060136
In Favor of: Portland General Electric Company, an Oregon corporation
For: Underground electrical power lines and signal or communication lines
Affects: The Easterly portion

13. The terms and provisions contained in the document entitled "Declaration of Roadway, Utility, Cross-Access and Parking Easements and Restrictive Covenants" recorded March 22, 2002 as Fee No. 2002 033655.

14. Easement, including terms and provisions contained therein:
Recording Information: April 15, 2002 as Fee No. 2002 044680
In Favor of: The City of Tualatin
For: Water line

15. Revocable Permit (Right-of-Way), including terms and provisions thereof.

Recorded: October 26, 2017 as Fee No. 2017 084661

16. Private Stormwater Facilities Agreement, including terms and provisions thereof.

Recorded: November 02, 2020 as Fee No. 2020 110089

(The following Exceptions Affects Lot 3)

17. Easement, including terms and provisions contained therein:
Recording Information: May 05, 1989 as Fee No. 89020417
For: common access

18. Easement, including terms and provisions contained therein:
Recording Information: November 23, 1999 as Fee No. 99130427
In Favor of: The City of Tualatin
For: Slope, public utility and sidewalk and pedestrian
Affects: The Northerly portion

19. The terms and provisions contained in the document entitled "Declaration of Roadway, Utility, Cross-Access and Parking Easements and Restrictive Covenants" recorded March 22, 2002 as Fee No. 2002 033655.

We have also searched our General Index for Judgments and State and Federal Liens against the Grantee(s) named above and find:

NONE

We find the following unpaid taxes and city liens:

1. Taxes for the fiscal year 2022-2023 a lien due, but not yet payable

NOTE: Taxes for the year 2021-2022 PAID IN FULL

Tax Amount: \$533,346.88
Map No.: 2S122AB00100
Property ID: R2107971
Tax Code No.: 023.76

NOTE: Taxes for the year 2021-2022 PAID IN FULL

Tax Amount: \$105,937.14
Map No.: 2S122AA00500
Property ID: R2107973
Tax Code No.: 023.76

NOTE: Taxes for the year 2021-2022 PAID IN FULL

Tax Amount: \$67,392.15
Map No.: 2S122AA00800
Property ID: R2107974
Tax Code No.: 023.76

NOTE: Taxes for the year 2021-2022 PAID IN FULL

Tax Amount: \$2,343,152.44
Map No.: 2S122AB00100
Property ID: R2180033
Tax Code No.: 023.76

2. City liens, if any, of the City of Tualatin.

NOTE: We find no outstanding voluntary liens of record affecting subject property. An inquiry should be made concerning the existence of any unrecorded lien or other indebtedness which could give rise to any security interest in the subject property.

THIS IS NOT a title report since no examination has been made of the title to the above described property. Our search for apparent encumbrances was limited to our Tract Indices, and therefore above listings do not include additional matters which might have been disclosed by an examination of the record title. We assume no liability in connection with this Lot Book Service and will not be responsible for errors or omissions therein. The charge for this service will not include supplemental reports, rechecks or other services.



First American

First American Title Insurance Company
1 SW Columbia Street, Ste 1600
Portland, OR 97204

Illegal Restrictive Covenants

Please be advised that any provision contained in this document, or in a document that is attached, linked, or referenced in this document, that under applicable law illegally discriminates against a class of individuals based upon personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or any other legally protected class, is illegal and unenforceable by law.



Exhibit "A"

Real property in the County of Washington, State of Oregon, described as follows:

PARCEL 1:

A TRACT OF LAND BEING A PORTION OF PARCELS 1 AND 3, PARTITION PLAT NO. 2001-058, LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A BRASS SCREW AND WASHER LOCATED AT THE NORTHWEST CORNER OF SAID PARCEL 3, SAID POINT BEING ALSO ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SW TUALATIN ROAD, 32.00 FEET SOUTHERLY OF THE CENTERLINE THEREOF, WHEN MEASURED AT RIGHT ANGLES; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, NORTH 89°42'41" EAST A DISTANCE OF 0.06 FEET TO AN ANGLE POINT THEREON; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 89°42'08" EAST A DISTANCE OF 839.18 FEET TO A 5/8 INCH IRON ROD; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 00°17'49" WEST A DISTANCE OF 450.67 FEET TO A 5/8 INCH IRON ROD; THENCE SOUTH 89°35'19" EAST A DISTANCE OF 87.37 FEET TO A 5/8 INCH IRON ROD; THENCE SOUTH 00°24'38" WEST A DISTANCE OF 66.15 FEET TO A 5/8 INCH IRON ROD; THENCE SOUTH 89°35'22" EAST A DISTANCE OF 36.44 FEET TO A 5/8 INCH IRON ROD; THENCE SOUTH 00°24'41" WEST A DISTANCE OF 779.79 FEET TO A COPPER DISK LOCATED ON THE NORTHERLY RIGHT-OF-WAY LINE OF SW LEVETON DRIVE, 30.00 FEET NORTHERLY OF THE CENTERLINE THEREOF, WHEN MEASURED AT RIGHT ANGLES; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, NORTH 89°34'51" WEST A DISTANCE OF 957.07 FEET TO A BRASS DISK LOCATED AT THE SOUTHWEST CORNER OF SAID PARCEL 1; THENCE ALONG THE WEST LINE OF SAID PARCEL 1 AND THE WEST LINE OF SAID PARCEL 3, NORTH 00°06'26" EAST A DISTANCE OF 1294.82 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

A TRACT OF LAND BEING A PORTION OF PARCELS 2 AND 3, PARTITION PLAT NO. 2001-058, LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS SCREW AND WASHER LOCATED AT THE NORTHWEST CORNER OF SAID PARCEL 3, SAID POINT BEING ALSO ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SW TUALATIN ROAD, 32.00 FEET SOUTHERLY OF THE CENTERLINE THEREOF, WHEN MEASURED AT RIGHT ANGLES; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, NORTH 89°42'41" EAST A DISTANCE OF 0.06 FEET TO AN ANGLE POINT THEREON; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 89°42'08" EAST A DISTANCE OF 839.18 FEET TO A 5/8 INCH IRON ROD AND THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 89°42'08" EAST A DISTANCE OF 1052.10 FEET TO A POINT OF CURVATURE THEREON; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, 85.91 FEET THROUGH THE ARC OF A 55.00 FOOT RADIUS CIRCULAR CURVE TO THE RIGHT, SAID CURVE HAVING A CENTRAL ANGLE OF 89°29'34", A CHORD BEARING OF SOUTH 44°57'21" EAST AND A CHORD LENGTH OF 77.44 FEET TO A 5/8 INCH IRON ROD LOCATED AT A POINT OF TANGENCY ON THE WESTERLY RIGHT-OF-WAY LINE OF SW 108TH AVENUE, 32.00 FEET WESTERLY OF THE CENTERLINE THEREOF, WHEN MEASURED AT RIGHT ANGLES; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 00°12'34" EAST A DISTANCE OF 843.64 FEET TO A 5/8 INCH IRON ROD; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, NORTH 89°35'22" WEST A DISTANCE OF 212.34 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 00°24'38" EAST A DISTANCE OF 306.24 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 89°35'22" WEST A DISTANCE OF 438.80 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 00°24'38"

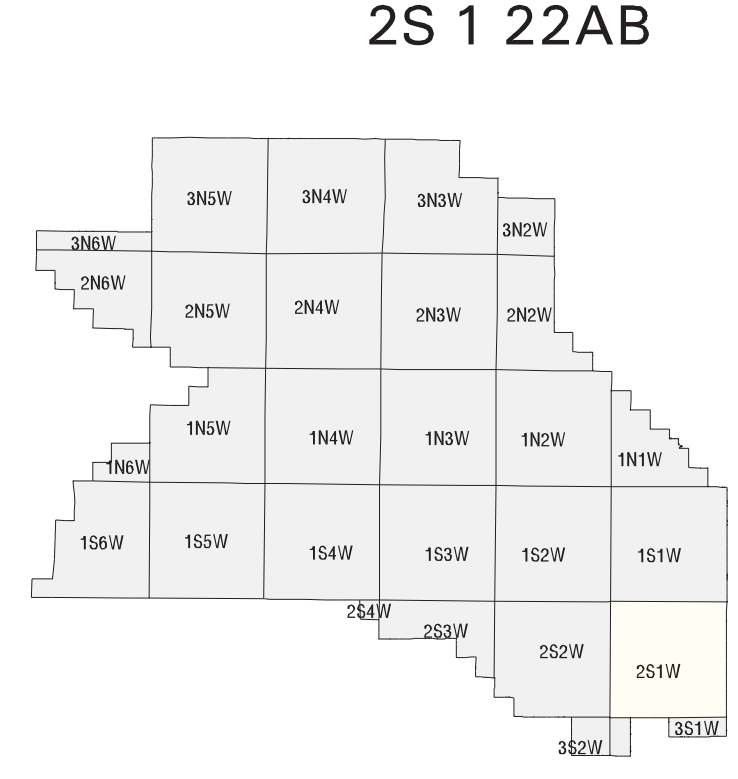
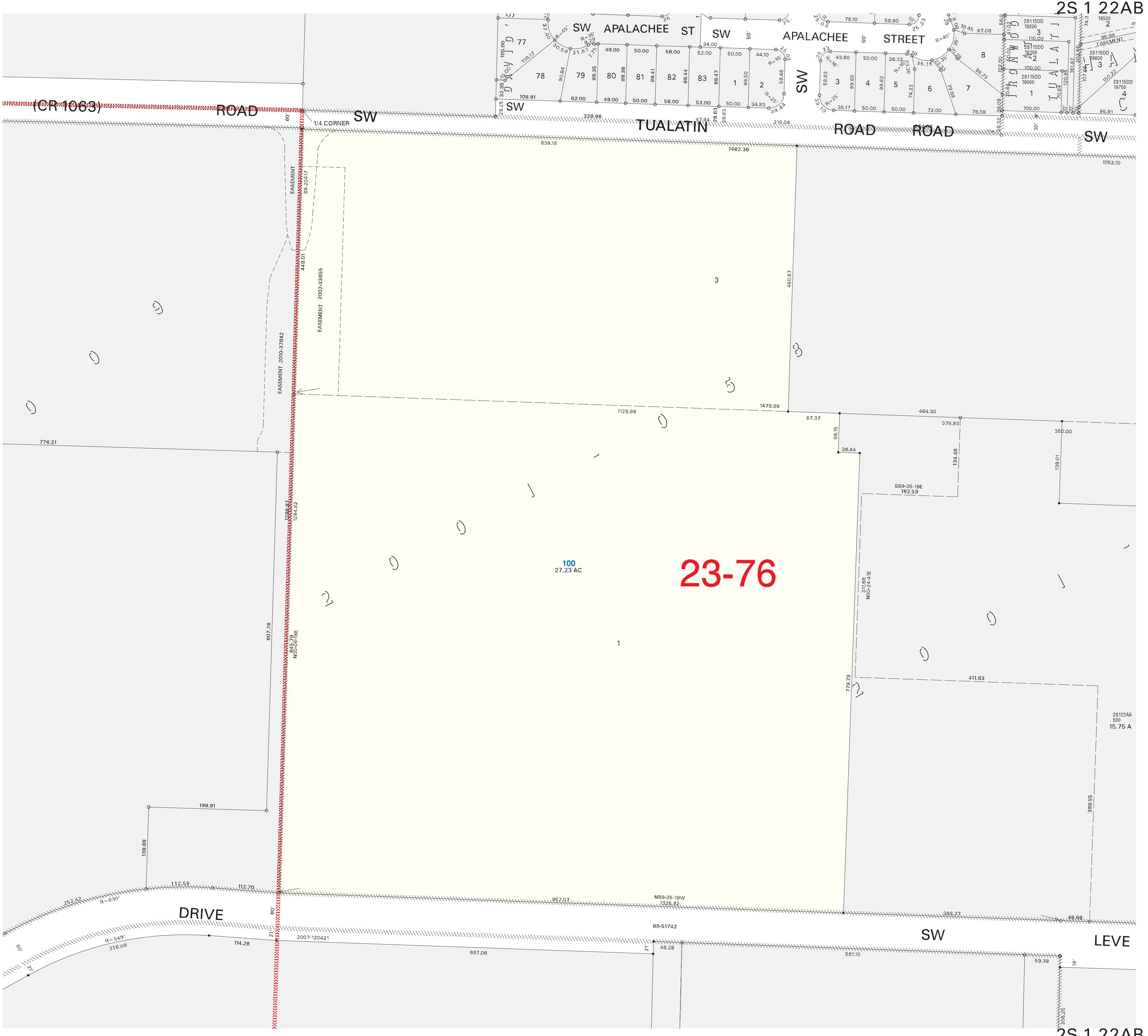


EAST A DISTANCE OF 139.01 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 89°35'19" WEST A DISTANCE OF 464.30 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 00°17'49" EAST A DISTANCE OF 450.67 FEET TO THE POINT OF BEGINNING.

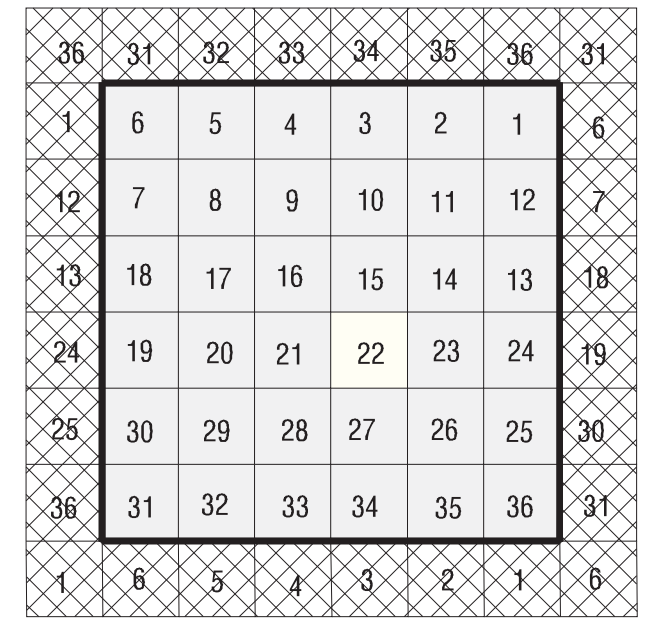
PARCEL 3:

A TRACT OF LAND BEING A PORTION OF PARCELS 1 AND 2, PARTITION PLAT NO. 2001-058, LOCATED IN THE NORTHEAST ONE-QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CITY OF TUALATIN, WASHINGTON COUNTY, OREGON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS SCREW AND WASHER LOCATED AT THE NORTHWEST CORNER OF PARCEL 3 OF PARTITION PLAT NO. 2001-058, SAID POINT BEING ALSO ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SW TUALATIN ROAD, 32.00 FEET SOUTHERLY OF THE CENTERLINE THEREOF, WHEN MEASURED AT RIGHT ANGLES; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, NORTH 89°42'41" EAST A DISTANCE OF 0.06 FEET TO AN ANGLE POINT THEREON; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 89°42'08" EAST A DISTANCE OF 839.18 FEET TO A 5/8 INCH IRON ROD; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, SOUTH 00°17'49" WEST A DISTANCE OF 450.67 FEET TO A 5/8 INCH IRON ROD; THENCE SOUTH 89°35'19" EAST A DISTANCE OF 87.37 FEET TO A 5/8 INCH IRON ROD AND THE POINT OF BEGINNING; THENCE SOUTH 00°24'38" WEST A DISTANCE OF 66.15 FEET TO A 5/8 INCH IRON ROD; THENCE SOUTH 89°35'22" EAST A DISTANCE OF 36.44 FEET TO A 5/8 INCH IRON ROD; THENCE SOUTH 00°24'41" WEST A DISTANCE OF 779.79 FEET TO A COPPER DISK LOCATED ON THE NORTHERLY RIGHT-OF-WAY LINE OF SW LEVETON DRIVE, 30.00 FEET NORTHERLY OF THE CENTERLINE THEREOF, WHEN MEASURED AT RIGHT ANGLES; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, SOUTH 89°34'51" EAST A DISTANCE OF 368.77 FEET TO AN ANGLE POINT THEREON; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, SOUTH 89°42'00" EAST A DISTANCE OF 586.84 FEET TO A BRASS SCREW AND WASHER LOCATED AT A POINT OF CURVATURE THEREON; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, 63.19 FEET THROUGH THE ARC OF A 40.00 FOOT RADIUS CIRCULAR CURVE TO THE LEFT, SAID CURVE HAVING A CENTRAL ANGLE OF 90°30'34", A CHORD BEARING OF NORTH 45°02'43" EAST AND A CHORD LENGTH OF 56.82 FEET TO A POINT OF TANGENCY ON THE WESTERLY RIGHT-OF-WAY LINE OF SW 108TH AVENUE, 32.00 FEET WESTERLY OF THE CENTERLINE THEREOF, WHEN MEASURED AT RIGHT ANGLES; THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, NORTH 00°12'34" WEST A DISTANCE OF 359.19 FEET TO A 5/8 INCH IRON ROD; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, NORTH 89°35'22" WEST A DISTANCE OF 212.34 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 00°24'38" EAST A DISTANCE OF 306.24 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 89°35'22" WEST A DISTANCE OF 438.80 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 00°24'38" EAST A DISTANCE OF 139.01 FEET TO A 5/8 INCH IRON ROD; THENCE NORTH 89°35' 19" WEST A DISTANCE OF 376.93 TO THE POINT OF BEGINNING.



WASHINGTON COUNTY OREGON
 NW 1/4 NE 1/4 SECTION 22 T2S R1W W.M.
 SCALE 1" = 100'

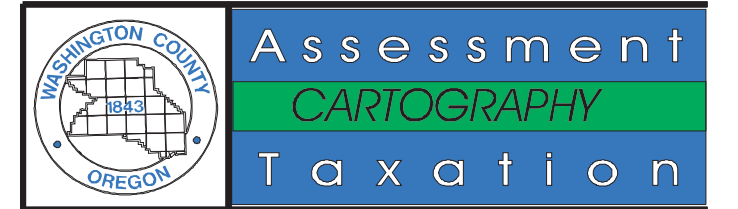
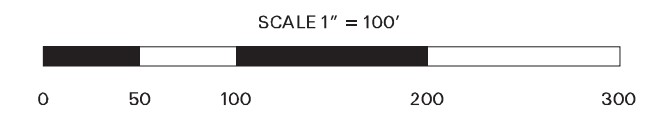


FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT
www.co.washington.or.us

BB	BA	AB	AA
BC	BD	AC	AD
CB	CA	DB	DA
CC	CD	DC	DD

SECTION 22

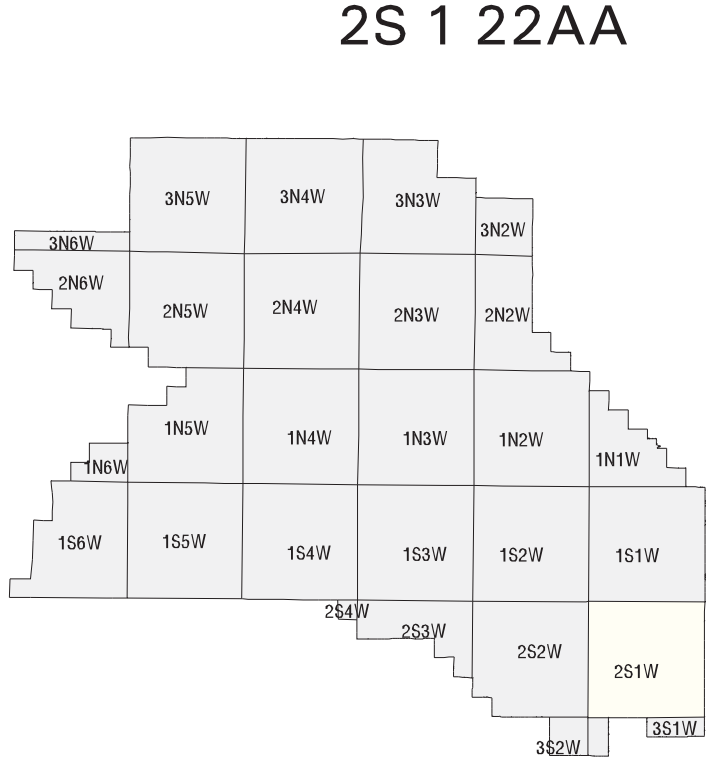
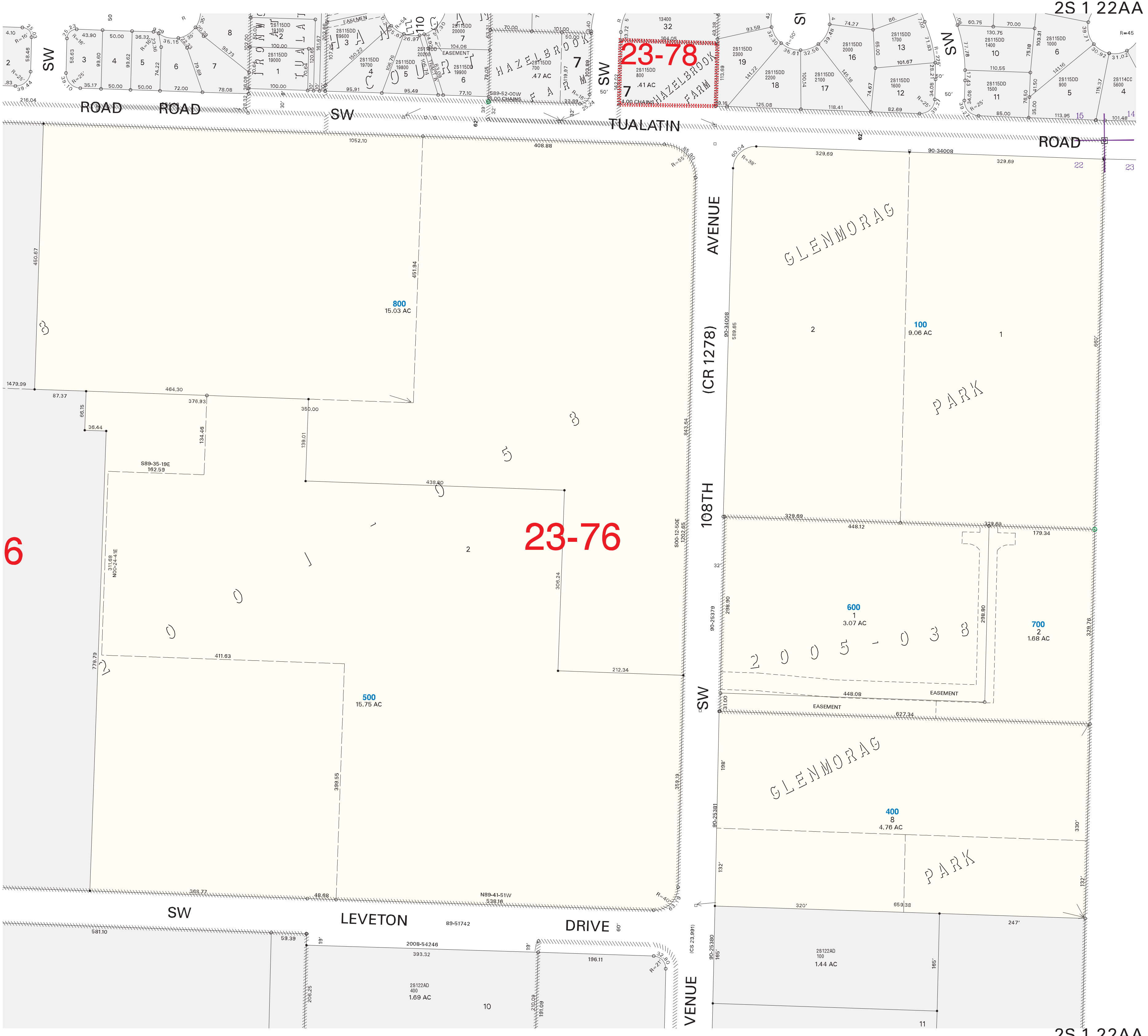
Cancelled Taxlots For: 2S122AB
 200,



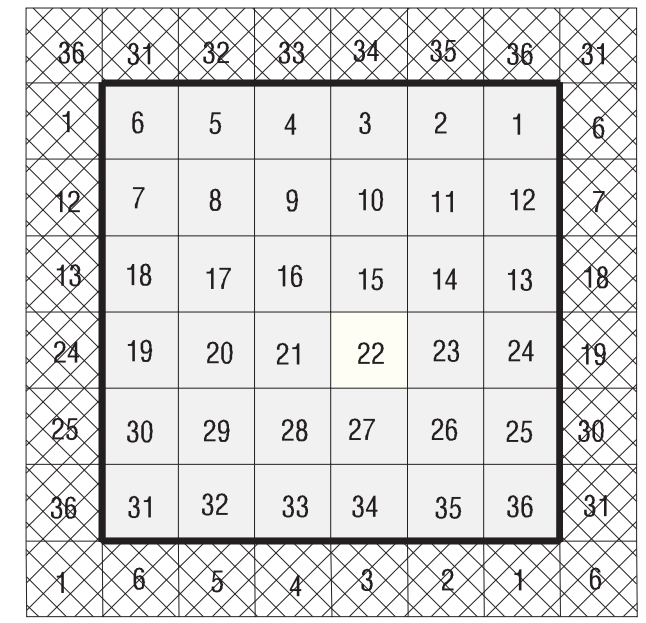
PLOT DATE: May 25, 2017
FOR ASSESSMENT PURPOSES ONLY - DO NOT RELY ON FOR OTHER USE

Map areas delineated by either gray shading or a cross-hatched pattern are for reference only and may not indicate the most current property boundaries. Please consult the appropriate map for the most current information.

TUALATIN
 2S 1 22AB



WASHINGTON COUNTY OREGON
 NE 1/4 NE 1/4 SECTION 22 T2S R1W W.M.
 SCALE 1" = 100'

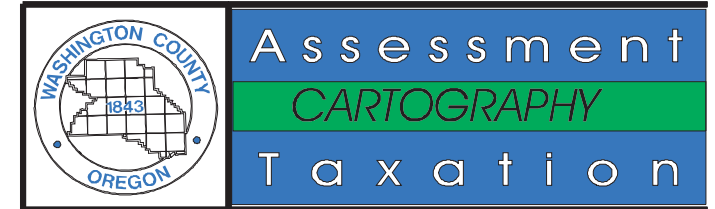
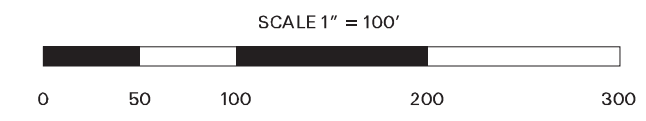


FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT
www.co.washington.or.us

BB	BA	AB	AA
BC	BD	AC	AD
CB	CA	DB	DA
CC	CD	DC	DD

SECTION 22

Cancelled Taxlots For: 2S122AA
 300,400-A1,200,200-A1,100-A1,500-A1,



PLOT DATE: May 25, 2017
FOR ASSESSMENT PURPOSES ONLY - DO NOT RELY ON FOR OTHER USE

Map areas delineated by either gray shading or a cross-hatched pattern are for reference only and may not indicate the most current property boundaries. Please consult the appropriate map for the most current information.

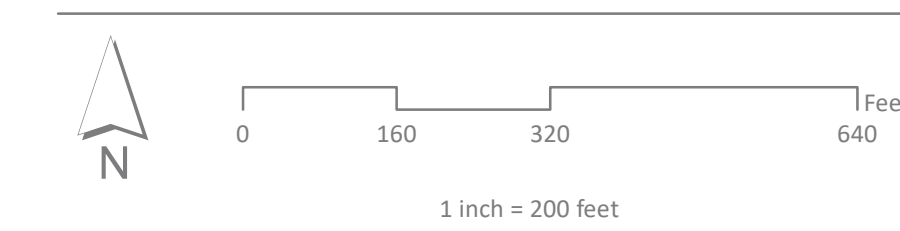
TUALATIN
 2S 1 22AA

Vicinity Map

Lam Campus Tualatin, Oregon

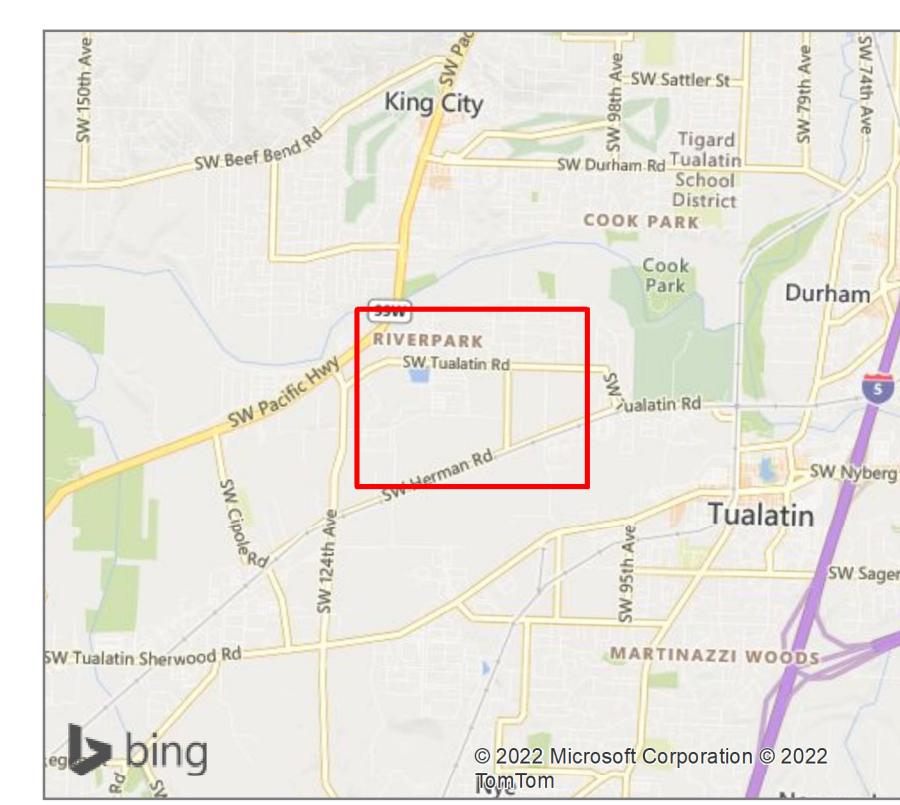
LEGEND

 Lam Taxlots



SOURCE DATA: Metro RLS Lite Base Data, Aug 2022
GEOGRAPHIC PROJECTION: NAD 83 HARN, Oregon North Lambert Conformal Conic

Date: 8/16/2022 Map Created By: CLR
File: aerial_updated taxlots Project No: 2220087.00



MACKENZIE.

P 503.224.9560 • F 503.228.1285 • W MCKNZE.COM
RiverEast Center, 1515 SE Water Avenue, #100, Portland, OR 97214

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AFFIDAVIT OF MAILING NOTICE

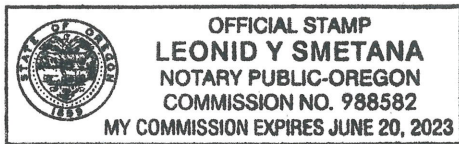
STATE OF OREGON)
) SS
COUNTY OF WASHINGTON)

I, Chelsey Reinoehl being first duly sworn, depose and say:

That on the 2nd day of August, 20 22, I served upon the persons shown on Exhibit "A" (Mailing Area List), attached hereto and by this reference incorporated herein, a copy of the Notice of Neighborhood/Developer Meeting marked Exhibit "B," attached hereto and by this reference incorporated herein, by mailing to them a true and correct copy of the original hereof. I further certify that the addresses shown on said Exhibit "A" are their regular addresses as determined from the books and records of the Washington County and/or Clackamas County Departments of Assessment and Taxation Tax Rolls, and that said envelopes were placed in the United States Mail with postage fully prepared thereon.

Chelsey Reinoehl
Signature

SUBSCRIBED AND SWORN to before me this 15th day of August, 20 22.



L. Smetana
Notary Public for Oregon
My commission expires: June 20, 2023

RE: _____

2S115DC02900
ZOUMPOULIDIS ZACHARIAS &
ZOUMPOULIDIS AUDREY C
11220 SW APALACHEE STREET
TUALATIN, OR 97062

2S115DD18500
YAM ASA
11050 SW LUCAS DRIVE
TUALATIN, OR 97062

2S114CB02700
WORLEY LAURA & SPIEGEL JOEL
10475 SW KELLOGG DRIVE
TUALATIN, OR 97062

2S115DD16500
WISNER RANDOLPH R & DEBBIE R LIV
TRUST
17600 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DD16000
WILLON MARK & PAM TRUST
17850 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DD10500
WILLIAMS DAVE A & WILLIAMS
KIMBERLY R
11050 SW WINTU COURT
TUALATIN, OR 97062

2S115DC07500
WESTPHAL FAMILY TRUST
11405 SW HAZELBROOK ROAD
TUALATIN, OR 97062

2S115DD04600
WEITMAN LIVING TRUST
10666 SW BANNOCH STREET
TUALATIN, OR 97062

2S123BB90001
WAVE PROPERTY HOLDINGS LLC
18057 SW TETON AVENUE
TUALATIN, OR 97062

2S1220000500
WASHINGTON COUNTY FACILITIES
MGMT
169 N 1ST AVENUE #42
HILLSBORO, OR 97124

2S115DD08300
ZIENKIEWICZ MIKE & ZIENKIEWICZ
STEPHANIE
10510 SW LUCAS COURT
TUALATIN, OR 97062

2S115DD09000
WRIGHT MICHAEL & WRIGHT LISA
17570 SW 106TH AVENUE
TUALATIN, OR 97062

2S115DD11500
WOLLEY KEVIN & WOLLEY JANE
11055 SW WISHRAM COURT
TUALATIN, OR 97062

2S115DD06600
WINKLER MISTY D & REGISTER JEAN
10515 SW BANNOCH COURT
TUALATIN, OR 97062

2S115DD02200
WILLIAMS MATTHEW STEVEN
10655 SW PUEBLO COURT
TUALATIN, OR 97062

2S115DD10700
WIGGINS JEAN E TRUST
11065 SW WINTU COURT
TUALATIN, OR 97062

2S115DC03800
WEST PHYLLIS ELAINE
17930 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DD08700
WEISS BENJAMIN M & WEISS
KATRINA M
10595 SW LUCAS COURT
TUALATIN, OR 97062

2S115DC01800
WATTS MARK A & WATTS APRYLE
11400 SW ROBERTS COURT
TUALATIN, OR 97062

2S115DC07700
WALK DAVID ALLAN & WALK WANDA
VAI
17855 SW 112TH AVENUE
TUALATIN, OR 97062

2S115DC10600
YANG HAOWEI
17925 SW 114TH AVENUE
TUALATIN, OR 97062

2S115DD18000
WRIGHT RALPH RICHARD & LYNDA
RAE LIV TRUST
11040 SW WINYA COURT
TUALATIN, OR 97062

2S114CB01800
WOLFE GEORGE A & WOLFE ANDREA
H
10420 SW KELLOGG DRIVE
TUALATIN, OR 97062

2S115DD08200
WILSON CONSTANCE J TRUST
10530 SW LUCAS COURT
TUALATIN, OR 97062

2S115DD07300
WILLIAMS VERONICA L
10540 SW KIOWA STREET
TUALATIN, OR 97062

2S115DA01800
WETHERN LINDA J
17470 SW 106TH COURT
TUALATIN, OR 97062

2S115DC10400
WEN-SHU LIU
17885 SW 114TH AVENUE
TUALATIN, OR 97062

2S115DC09000
WEBSTER CHARLES N & WEBSTER
KAREN A
11385 SW KALISPELL STREET
TUALATIN, OR 97062

2S115DD12700
WATT REBECCA SUE
17880 SW 109TH AVENUE
TUALATIN, OR 97062

2S115DD10300
WAGNER LINDA G PHD
17945 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DC01000
WAGGONER LOREN M & WAGGONER
CYNTHIA J
11430 SW ELMER COURT
TUALATIN, OR 97062

2S115DD02600
VALDENEGRO GILLIAN F TRUST
12925 NW PARRETT MOUNTAIN
ROAD
NEWBERG, OR 97132

2S115DA05400
TUALATIN CITY OF
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

2S115DD14600
TUALATIN CITY OF
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

2S115DD20200
TUALATIN CITY OF
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

2S122AD00200
TUALATIN CITY OF
PO BOX 723597
ATLANTA, GA 31139

2S115DD05000
TREMAYN JUNE E TRUST
10735 SW BANNOCH STREET
TUALATIN, OR 97062

2S115D001400
TIGARD-TUALATIN SCHOOL DISTRICT
#23J
6960 SW SANDBURG STREET
TIGARD, OR 97223

2S115DC07300
TERJESON JOHN
17840 SW 112TH AVENUE
TUALATIN, OR 97062

2S115DD17600
TALLENT DOMINIC JAMES & TALLENT
HEINI
11115 SW WINYA COURT
TUALATIN, OR 97062

2S114CB01400
VANN KEN & VANN CHRISTINA M
17480 SW 105TH AVENUE
TUALATIN, OR 97062

2S115DA03900
TUALATIN CITY OF
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

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TUALATIN CITY OF
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

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TUALATIN CITY OF
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

2S115DD20300
TUALATIN CITY OF
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

2S123B000602
TUALATIN TETON LLC
621 SW ALDER STREET, SUITE 800
PORTLAND, OR 97205

2S115DD11100
TREBELHORN DEAN B & TREBELHORN
LINDA V
11040 SW WISHRAM COURT
TUALATIN, OR 97062

2S115DC07800
TIEDEMANN CHRISTINA ANNE
17885 SW 112TH AVENUE
TUALATIN, OR 97062

2S115DD03100
TAYLOR-WEBER JAMIE & TAYLOR-
WEBER ANTHONY
10573 SW PUEBLO STREET
TUALATIN, OR 97062

2S115DD18400
SWAFFORD DOUGLAS G & SINCERE
MIRIAM A
17715 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DD13300
VANHORN MARK G & DIANA L LIV
TRUST
17960 SW 109TH AVENUE
TUALATIN, OR 97062

2S115DA05300
TUALATIN CITY OF
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

2S115DC12400
TUALATIN CITY OF
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

2S115DD18800
TUALATIN CITY OF
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

2S1220000800
TUALATIN CITY OF
18880 SW MARTINAZZI AVENUE
TUALATIN, OR 97062

2S115DD05700
TROTMAN TRUST
10799 SW KIOWA COURT
TUALATIN, OR 97062

2S114CC07200
TOWLE CORDES K & KRAEMER JILL J
15045 SW 141ST AVENUE
TIGARD, OR 97224

2S123BB90000
TETON INDUSTRIAL CONDO OWNERS
OF ALL UNITS
OR 00000

2S115DD17400
TAYLOR MATTHEW R & TAYLOR
SUZANNE L
17675 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DC03300
SULLIVAN SHANON LEE
11150 SW APALACHEE STREET
TUALATIN, OR 97062

2S115DC05400
SULLIVAN WAIKEN L & SULLIVAN
JENNIFER
17705 SW 112TH AVENUE
TUALATIN, OR 97062

2S115DD13700
STRIBLING DAVID L & STRIBLING
AMANDA L
10920 SW TUNICA STREET
TUALATIN, OR 97062

2S115DA03300
STEINER LARRY D SURVIVORS TRUST
17420 SW 108TH PLACE
TUALATIN, OR 97062

2S115DD13000
SPENCER FAMILY REV TRUST
17920 SW 109TH AVENUE
TUALATIN, OR 97062

2S115DD19700
SMITH WILLIAM E & SHEARER-SMITH
SARAH K
17989 SW 110TH PLACE
TUALATIN, OR 97062

2S115DC04100
SHERWOOD NICOLE D
17850 SW 111TH AVENUE
TUALATIN, OR 97062

2S114CB02000
SHEN PING LU
17460 SW 104TH AVENUE
TUALATIN, OR 97062

2S115DD15300
SCHLACHTER KEVIN M & SCHLACHTER
RENEE
17570 SW 108TH PLACE
TUALATIN, OR 97062

2S115DC08900
SAVASTA THOMAS
11355 SW KALISPELL STREET
TUALATIN, OR 97062

2S115DC12300
RYMAL CHARLES & RYMAL JESSICA
17920 SW 114TH AVENUE
TUALATIN, OR 97062

2S115DC05900
STRINGFELLOW GAYLE
11140 SW GARRETT STTRRY
TUALATIN, OR 97062

2S115DD12600
STRENGTH GREG M & STRENGTH
MARGO D
17870 SW 109TH AVENUE
TUALATIN, OR 97062

2S115DC05500
STEINMETZ JON & JEANETTE TRUST
17735 SW 112TH AVENUE
TUALATIN, OR 97062

2S115DD05500
SOVEY RACHEL & SOVEY BREEZ
EUGENE
10720 SW KIOWA COURT
TUALATIN, OR 97062

2S115DD01000
SLAYTON LUANN LAURA
17989 SW 105TH COURT
TUALATIN, OR 97062

2S115DD16300
SHERMAN JENNIFER A TRUST
17740 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DD12800
SCHOENHEIT JOHN & SCHOENHEIT
KAITLIN J
17890 SW 109TH AVENUE
TUALATIN, OR 97062

2S115DD08500
SCHENK JOANNE DANNA & SCHENK
ROGER MYRON
10555 SW LUCAS COURT
TUALATIN, OR 97062

2S115DD02800
SATTLER BRIAN L & WALCZYK KERRY
M
10615 SW PUEBLO COURT
TUALATIN, OR 97062

2S115DC09700
RYAN DAIN & RYAN LEE
11470 SW KALISPELL STREET
TUALATIN, OR 97062

2S115DD11700
STRICKLER LAUREL R & STRICKLER
ADAM J
11025 SW WISHRAM COURT
TUALATIN, OR 97062

2S115DC08100
STEWART-MOONEY MAUREEN
11225 SW APALACHEE STREET
TUALATIN, OR 97062

2S115DC04400
STANTON ANDREW & STANTON
ASHLEY
17780 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DD14200
SMITH LESTER MICHAEL & SMITH
JOAN MARIE
10990 SW BANNOCH STREET
TUALATIN, OR 97062

2S115DD18600
SHETLER STACY A & SHETLER JOANNA
L
11080 SW LUCAS DRIVE
TUALATIN, OR 97062

2S115DC05300
SHERFINSKI MICHAEL R
22915 SW 94TH TERRACE
TUALATIN, OR 97062

2S115DC06400
SCHLOETTER ERIN RENAE BATES
17845 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DD04700
SCHAEFER SETH & SCHAEFER RENEE
10710 SW BANNOCH STREET
TUALATIN, OR 97062

2S115DC02500
SABRA HEALTH CARE HOLDINGS III
LLC
10220 SW GREENBURG ROAD #201
PORTLAND, OR 97223

2S115DD11400
RYAN MICHAEL
11075 SW WILSHRAM COURT
TUALATIN, OR 97062

2S115DD03300
RUVALCABA CHRIS & RUVALCABA
ESTHER
10529 SW PUEBLO STREET
TUALATIN, OR 97062

2S115DC03600
ROBERTS BLAINE N
17980 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DC11600
RIVERA AURELIO GOMEZ
17865 SW 113TH AVENUE
TUALATIN, OR 97062

2S115DD07800
RICHARDS EMMETT L & RICHARDS
MARY C & RICHARDS SHELLEY D
15247 WILBUR ROAD
LA CONNER, WA 98257

2S115DC04800
REDFERN KAREN D
11105 SW GARRETT STREET
TUALATIN, OR 97062

2S115DD09200
RAMSBY MILLS TRUST
10500 SW STARR DR
TUALATIN, OR 97062

2S115DC05700
PUTNAM DAVID L JR & PUTNAM
HEIDI F
17770 SW 112TH AVENUE
TUALATIN, OR 97062

2S115DD11300
PRICE DAVID A & PRICE JENNIFER K
11080 SW WISHRAM COURT
TUALATIN, OR 97062

2S115DC01400
POINTS YU SUN
11465 SW ROBERTS COURT
TUALATIN, OR 97062

2S115DA02000
PEUSER NILS ARNE & PEUSER NICOLE
17380 SW 106TH COURT
TUALATIN, OR 97062

2S115DC05200
ROE FAMILY TRUST
620 SAND HILL ROAD #213F
PALO ALTO, CA 94304

2S115DC12200
ROBERTS JULIE A
17890 SW 114TH AVENUE
TUALATIN, OR 97062

2S115DD16800
RIRIE LIVING TRUST
11015 SW LUCAS DRIVE
TUALATIN, OR 97062

2S115DD17800
RICHARDSON DEVIN & RICHARDSON
TAMI ANN
11100 SW WINYA COURT
TUALATIN, OR 97062

2S114CC05300
RAXTER NORA SUSAN
10476 SW PUEBLO STREET
TUALATIN, OR 97062

2S115DC09300
RADER SAM A & RADER ANDREA S
11445 SW KALISPELL ST
TUALATIN, OR 97062

2S115DC08000
PURCELLA ALEXANDRA M &
PURCELLA SCOTT E
11215 SW APALACHEE STREET
TUALATIN, OR 97062

2S115DD01600
PR 17995 SW 106TH LLC
8925 SW IOWA DRIVE
TUALATIN, OR 97062

2S115DD08900
PLAMBECK CAROL R
10600 SW STARR DRIVE
TUALATIN, OR 97062

2S115DC06600
PETERSON JACOB CURTIS &
PETERSON JULIE DAWN
17925 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DD01300
ROBINSON RONALD L & ROBINSON
MICHELLE
17976 SW 106TH AVENUE
TUALATIN, OR 97062

2S115DA04200
ROBBINS FAMILY REVOCABLE TRUST
17420 SW 110TH AVENUE
TUALATIN, OR 97062

2S114CC06000
RICHEY LELAND R & RICHEY VALERIE J
FAMILY TRUST
17911 SW 105TH COURT
TUALATIN, OR 97062

2S115DC04200
RICE DOUGLAS S
17820 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DC00200
RANDALL LAWRENCE L & SANDOVAL-
RANDALL C SUSIE
11440 SW HAZELBROOK ROAD
TUALATIN, OR 97062

2S115DA03400
RADECKI SHAUN MICHAEL & RADECKI
JESSICA ELLEN
17370 SW 108TH PLACE
TUALATIN, OR 97062

2S114CC06200
PUPPO MIKK
17894 SW 105TH COURT
TUALATIN, OR 97062

2S115DD19800
POUR ALI FROTAN & ESFANDIARPOUR
SAMANEH
17995 SW 110TH PLACE
TUALATIN, OR 97062

2S1220000300
PHIGHT LLC
ONE BOWERMAN DRIVE
BEAVERTON, OR 97005

2S114CC07800
PENSADO ERNESTO & ALVARENGA
NALLY M
10380 SW PUEBLO STREET
TUALATIN, OR 97062

2S114CC06800 PENNIMAN STEVEN K & PHYLLIS D REV LIV TRUST 8374 VEREDA DEL PADRE GOLETA, CA 93117	2S114CB01700 PAYNE DANIEL J & PAYNE JANET M 10440 SW KELLOGG DRIVE TUALATIN, OR 97062	2S114CC07400 PARKER DAVID SCOTT 10301 SW PUEBLO STREET TUALATIN, OR 97062
2S115DC01200 PARKER SARAH D & PARKER WILEY 11480 SW ELMER COURT TUALATIN, OR 97062	2S115DC12000 PARKER MARION M 17830 SW 114TH AVENUE TUALATIN, OR 97062	2S115DD00800 PARK DANIEL K & PARK ANNA K 9333 SW NEZ PERCE COURT TUALATIN, OR 97062
2S115DD18200 PAPAS EDITH ELIZABETH 11055 SW WINYA COURT TUALATIN, OR 97062	2S115DD13100 PAIGE ROBERT & PAIGE KELLIE 17940 SW 109TH AVENUE TUALATIN, OR 97062	2S115DD12400 OWEN GREGORY L & OWEN DEBORAH L 17885 SW 109TH AVENUE TUALATIN, OR 97062
2S115DD07900 ORLANES JONATHAN 10620 SW LUCAS DRIVE TUALATIN, OR 97062	2S115DC00700 OLSON LIVING TRUST 11435 SW ELMER COURT TUALATIN, OR 97062	2S115DD17700 OLSON DOUGLAS E & OLSON KIMBERLY R 11130 SW WINYA COURT TUALATIN, OR 97062
2S115DA03200 NORDEN PAUL W & NORDEN JEANINE D 17440 SW 108TH PLACE TUALATIN, OR 97062	2S114CC08000 NGUYEN HONG T & TRI VINH V 10444 SW PUEBLO STREET TUALATIN, OR 97062	2S115DC01500 NGUYEN CATHY H 11485 SW ROBERTS COURT TUALATIN, OR 97062
2S115DD14400 NEWTON DAVID & E SUZANNE JOINT TRUST 10950 SW BANNOCH STREET TUALATIN, OR 97062	2S115DC11200 NAJERA KENE S & BUSTOS ESMERALDA RODRIGUEZ 12288 SW FUJI COURT TIGARD, OR 97224	2S115DD10800 MUSTEDANAGIC ADIS & MUSTEDANAGIC ALISA 11045 SW WINTU COURT TUALATIN, OR 97062
2S115DD19300 MURO MONICA D 11011 SW TUALATIN ROAD TUALATIN, OR 97062	2S115DC09500 MURMAN CORY D & MURMAN TAMIKO A 11485 SW KALISPELL STREET TUALATIN, OR 97062	2S115DD06200 MUNSON JAMES L & PAMELA B REV LIV TRUST 10600 SW KIOWA STREET TUALATIN, OR 97062
2S115DC07600 MUIR JOHN S & ACHILOVA LOLA 17795 SW 112TH AVENUE TUALATIN, OR 97062	2S114CC06600 MOWERY DANA KAY 17948 SW 105TH COURT TUALATIN, OR 97062	2S114CC06400 MORRISSEY FAMILY TRUST 17924 SW 105TH COURT TUALATIN, OR 97062
2S115DD13800 MORRELL LIVING TRUST 10915 SW TUNICA STREET TUALATIN, OR 97062	2S122AD00600 MORGAN WILLIAM RAY & JANICE ELLEN REV LIV TRUST 4500 SW ADVANCE ROAD WILSONVILLE, OR 97070	2S122AD00700 MORGAN WILLIAM RAY & JANICE ELLEN REV LIV TRUST 4500 SW ADVANCE ROAD WILSONVILLE, OR 97070
2S122AD00800 MORGAN WILLIAM RAY & JANICE ELLEN REV LIV TRUST 4500 SW ADVANCE ROAD WILSONVILLE, OR 97070	2S115DD12000 MORAN STEVEN TIMOTHY & MORAN ASHLEY SCHNAPP 17870 SW 110TH AVENUE TUALATION, OR 97062	2S115DD06300 MOORE KERRI ANN & MOORE CHRISTOHER 10619 SW BANNOCH COURT TUALATIN, OR 97062

2S115DC01300
MITCHELL TIMOTHY
900 SW 5TH AVENUE FL 17
PORTLAND, OR 97204

2S115DD12500
MILNE JAMES S & MILNE MARY F
17875 SW 109TH AVENUE
TUALATIN, OR 97062

2S115DC90004
MILES RAYE K
17880 SW 115TH AVENUE
TUALATIN, OR 97062

2S115DA03600
MEYER PAUL R & MEYER MARY B
17365 SW 108TH PLACE
TUALATIN, OR 97062

2S115DC11500
MCPHERSON SCOTT K & MCPHERSON
SUSAN R
17895 SW 113TH AVENUE
TUALATIN, OR 97062

2S115DD06900
MCCURDY WAYNE & MCCURDY
BETTE
10580 SW BANNOCH COURT
TUALATIN, OR 97062

2S122AD01000
MARSHALL ASSOCIATED LLC
PO BOX 278
TUALATIN, OR 97062

2S115DC02200
MANN ERIC A & LUPULESCU
NICOLETA
11490 SW ROBERTS COURT
TUALATIN, OR 97062

2S114CC06500
MALETA SANDRA L & MALETA
GREGORY B
17932 SW 105TH COURT
TUALATIN, OR 97062

2S115DD03200
MACMILLEN JAMES WILSON &
MACMILLEN DONNA JEAN
10547 SW PUEBLO STREET
TUALATIN, OR 97062

2S115DC90001
MITCHELL GARRETT C & MITCHELL
SHARON M
17910 SW 115TH AVENUE
TUALATIN, OR 97062

2S115DC03100
MILLER LYNN B
11190 SW APALACHEE STREET
TUALATIN, OR 97062

2S115DD05200
MIDKIFF HOUSTON A & MIDKIFF
NANCY
17845 SW 106TH AVENUE
TUALATIN, OR 97062

2S115DC03900
MELTON LAWRENCE E & MELTON
TONYA M
17900 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DD19600
MCKINNON SPENCER E
17971 SW 110TH PLACE
TUALATIN, OR 97062

2S115DC03400
MCCLATCHEY CAITLIN &
MCCLATCHEY GARRETT
11130 SW APALACHEE STREET
TUALATIN, OR 97062

2S115DC04600
MARONDE JOHN ALBERT &
MARONDE JILL I
17730 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DC03500
MANN SONIA & MANN JONATHAN
11100 SW APALACHEE Street
TUALATIN, OR 97062

2S115DC07200
MAGUIRE BRIAN J & MAGUIRE LISA N
17860 SW 112TH AVENUE
TUALATIN, OR 97062

2S115DD04800
MACK ADAM S & MACK KATHRYN M
10770 SW BANNOCH STREET
TUALATIN, OR 97062

2S115DC01600
MINATO KAZUKI & MINATO YUKO
11445 SW ROBERTS COURT
TUALATIN, OR 97062

2S115DD14300
MILLER JOINT TRUST
10970 SW BANNOCH STREET
TUALATIN, OR 97062

2S115DC06900
MICHAELIDES JAMIE C & RADISH
KEVIN A
17920 SW 112TH AVENUE
TUALATIN, OR 97062

2S115DD08000
MEGARGEE IRWIN F & MEGARGEE
AMY L
10580 SW LUCAS COURT
TUALATIN, OR 97062

2S115DD01200
MCCURTAIN LIV TRUST
10560 SW PUEBLO STREET
TUALATIN, OR 97062

2S115DA01500
MAYER ANDREW PETER & MAYER
MARIT JANA E
17395 SW 105TH AVENUE
TUALATIN, OR 97062

2S115DC04500
MARKS CHRISTINA A REV LIV TRUST
17760 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DC00100
MANABE STELLA K & NAKAMA DEAN
S
11420 SW HAZELBROOK ROAD
TUALATIN, OR 97062

2S115DD01500
MAGILKE GILBERT & MAGILKE GAIL L
17990 SW 106TH AVENUE
TUALATIN, OR 97062

2S115DD18100
MACK RYAN P & MACK PATRICIA L
17825 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DD14800
MACIELINSKI DAMIEN & LAURIE LIV
TRUST
17565 SW 108TH PLACE
TUALATIN, OR 97062

2S115DD11200
LUIKART GLEN
11060 SW WISHRAM COURT
TUALATIN, OR 97062

2S114CC06300
LOOMIS TRUDY E
17902 SW 105TH COURT
TUALATIN, OR 97062

2S115DD13200
LIN DONGMEI & MAO DIAN
17950 SW 109TH AVENUE
TUALATIN, OR 97062

2S115DC08300
LEGEND HOMES CORPORATION
735 SW 158TH AVENUE, SUITE 130
BEAVERTON, OR 97006

2S115DD14900
LEE JONATHAN K & LEE STEPHANIE
IRVING
17605 SW 108TH PLACE
TUALATIN, OR 97062

2S115DC11700
LAMB ETHAN S & LAMB SARAH W
17825 SW 113TH AVENUE
TUALATIN, OR 97062

2S122AB00100
LAM RESEARCH CORPORATION
2025 GATEWAY PLACE #228
SAN JOSE, CA 95110

2S115DD17900
KRAJCAR TIMOTHY D & KRAJCAR
KIERSTEN A
11070 SW WINYA COURT
TUALATIN, OR 97062

2S115DD00900
KNAPKE STEVEN J & KNAPKE LIEN K
17997 SW 105TH COURT
TUALATIN, OR 97062

2S115DD06800
MACAULAY THOMAS & MACAULAY
DEBRA
10520 SW BANNOCH COURT
TUALATIN, OR 97062

2S115DC04700
LOSER CALLIE
17700 SW 111TH AVENUE
TUALATIN, OR 97062

2S114CC05900
LONGTIN DAVID E JR
17929 SW 105TH COURT
TUALATIN, OR 97062

2S115DC09100
LIGHT HARVEY EUGENE & LIGHT
CLAUDIA JO
11405 SW KALISPELL STREET
TUALATIN, OR 97062

2S115DA05100
LEE MIKE
17475 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DC10700
LAUREN NICHOLAS D & LAUREN
CHRISTINA M
17935 SW 114TH AVENUE
TUALATIN, OR 97062

2S122AA00500
LAM RESEARCH CORPORATION
2025 GATEWAY PLACE #228
SAN JOSE, CA 95110

2S115DD15900
KUMLER PHILIP A & JULIE I FAM
TRUST
17515 SW 108TH PLACE
TUALATIN, OR 97062

2S115DC11100
KNOLES RYAN CHRISTOPHER &
CATON LISA
11340 SW APALACHEE STREET
TUALATIN, OR 97062

2S115DD15500
KLENZ MICHAEL & KLENZ LINDA
17480 SW 108TH AVENUE
TUALATIN, OR 97062

2S122AA00700
LUMBER FAMILY CO LLC
PO BOX 1427
TUALATIN, OR 97062

2S115DD15600
LORENTE JOAQUIN & LORENTE
LOUISE
17460 SW 108TH PLACE
TUALATIN, OR 97062

2S114CC05600
LOANZON EMMELINE
17994 SW 105TH COURT
TUALATIN, OR 97062

2S114CC07900
LEONARD JOHN D & LEONARD SARA
10412 SW PUEBLO STREET
TUALATIN, OR 97062

2S115DD04500
LEE ANGELA & LEE BRETT
10640 SW BANNOCH STREET
TUALATIN, OR 97062

2S115DC12500
LANG JULIANNE LERAE
3402 36TH AVENUE, APARTMENT 3A
ASTORIA, NY 11106

2S122AA00800
LAM RESEARCH CORPORATION
2025 GATEWAY PLACE #228
SAN JOSE, CA 95110

2S115DC07900
KUMAR ZOYA & UFFORD JOHN C
17915 SW 112TH AVENUE
TUALATIN, OR 97062

2S115DD08600
KNAPPENBERGER CLARK W &
KNAPPENBERGER CAROLYN
10575 SW LUCAS COURT
TUALATIN, OR 97062

2S115DC04300
KLEIN GEORGE P & KLEIN LEANNE S
17800 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DC05600
KIRKPATRICK GREG D & KIRKPATRICK
DEBRA S
17765 SW 112TH AVENUE
TUALATIN, OR 97062

2S115DD08800
KERR JACK & KERR SARWESHNI
17645 SW 106TH AVENUE
TUALATIN, OR 97062

2S115DA05000
JOHNSON PHILLIP TILO
17445 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DD07500
JIRICEK AARON G & KARINA B REV LIV
TRUST
10525 SW KIOWA STREET
TUALATIN, OR 97062

2S115DD05600
JASTER ALEXIS
10760 SW KIOWA COURT
TUALATIN, OR 97062

2S122BA00100
JAE OREGON INC
11555 SW LEVETON DRIVE
TUALATIN, OR 97062

2S115DA04500
IMBLER-YOUNG DIANE REV LIV TRUST
17485 SW 110TH AVENUE
TUALATIN, OR 97062

2S114CC07100
HURDLE FAMILY REV TRUST
15927 SE LARK AVENUE
MILWAUKIE, OR 97267

2S115DA05200
HOWELL ZACHARY P & HOWELL
REBECCA J
17535 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DD10900
HOLMES TRUST
11025 SW WINTU COURT
TUALATIN, OR 97062

2S115DD16100
KING BRADLEY W & KING LAURA J
17800 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DD20100
JONES ROBERT ALAN & JONES
SHELLEY DIANE
17964 SW 110TH PLACE
TUALATIN, OR 97062

2S115DD17100
JOHNSON KIT & JOHNSON AMY
17560 SW 111TH AVENUE
TUALATIN, OR 97062

2S114CB02200
JEWELL THOMAS G & JEWELL DANA P
17400 SW 104TH AVENUE
TUALATIN, OR 97062

2S115DD01100
JAGODNIK BRIAN & JAGODNIK
LAUREN
10536 SW PUEBLO STREET
TUALATIN, OR 97062

2S122BA00200
JAE OREGON INC
11555 SW LEVETON DRIVE
TUALATIN, OR 97062

2S115DD05900
HYATT SEAN & HYATT LISA
10755 SW KIOWA COURT
TUALATIN, OR 97062

2S115DC05000
HUGEBACK BENJAMIN L & HUGEBACK
JULIET F
11135 SW GARRETT STREET
TUALATIN, OR 97062

2S115DC09600
HOURANI JIHAD & SHIKHA HAYAT
11490 SW KALISPELL STREET
TUALATIN, OR 97062

2S115DC01700
HISLOP BRENT & HISLOP CLAUDIA
11425 SW ROBERTS COURT
TUALATIN, OR 97062

2S115DD03000
KINDRED LYLE V & KINDRED ELAINE A
17968 SW 106TH AVENUE
TUALATIN, OR 97062

2S115DA03700
JOHNSTON LAURA D
17385 SW 108TH PLACE
TUALATIN, OR 97062

2S115DC07400
JODOIN MICHAEL A & JODOIN NANCY
17810 SW 112TH AVENUE
TUALATIN, OR 97062

2S115DD17300
JERNBERG STANFORD W & JERNBERG
LINDA F
17655 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DA02100
JAFFEE CAROLINE JOHANNA & JAFFEE
JAY
17350 SW 106TH COURT
TUALATIN, OR 97062

2S115DD12300
IMUS R GREGORY & IMUS DEBORAH
R
17895 SW 109TH AVENUE
TUALATIN, OR 97062

2S115DA04900
HUTCHISON BERNADETTE SEP PROP
REV LIV TRUST
17430 SW 111TH AVENUE
TUALATIN, OR 97062

2S122AA00600
HR LLC
18280 SW 108TH AVENUE
TUALATIN, OR 97062

2S115DC08800
HOOVER DEVIN & HOOVER KRISTEN
11315 SW KALISPELL STREET
TUALATIN, OR 97062

2S115DC01100
HIRTE EDWIN K & HIRTE TERESA J
11450 SW ELMER COURT
TUALATIN, OR 97062

2S115DC90002
HINDS FAMILY TRUST
17900 SW 115TH AVENUE
TUALATIN, OR 97062

2S115DC06300
HEWITT KRISTY K & HEWITT
MARSHALL
17815 SW 111TH AVENUE
TUALATIN, OR 97062

2S114CB02300
HENRY DAVID & SHARI TRUST
10355 SW KELLOGG DRIVE
TUALATIN, OR 97062

2S122AA00100
HELSEY LP
PO BOX 1569
TUALATIN, OR 97062

2S115DD18300
HAYES RYAN D & ANCHARSKI NANCY
11025 SW WINYA COURT
TUALATIN, OR 97062

2S115DD19100
HARRIS DEGAY C & OBIDIGBO
OBINNA KINGSLEY
11037 SW TUALATIN ROAD
TUALATIN, OR 97062

2S115DD19900
HANNEGAN MICHAEL L
17992 SW 110TH PLACE
TUALATIN, OR 97062

2S115DD15400
HALL STEPHEN C & HALL WENDY S
10799 SW LUCAS DRIVE
TUALATIN, OR 97062

2S115DD10600
GUTOWSKI MARK A
11070 SW WINTU COURT
TUALATIN, OR 97062

2S115DC10500
GREENE JOHN W & GREENE SUSAN
17915 SW 114TH AVENUE
TUALATIN, OR 97062

2S114CC07500
HILLIARD DAVID M & DRAPER
ELIZABETH L
10316 SW PUEBLO STREET
TUALATIN, OR 97062

2S115DD08100
HERINCKX JEFFREY & HERINCKX
CHANDA S
10560 SW LUCAS COURT
TUALATIN, OR 97062

2S115DD02400
HEMANN MAURA A REV LIV TRUST
10645 SW PUEBLO COURT
TUALATIN, OR 97062

2S115DD14000
HEIN CHRISTOPHER HAROLD & HEIN
SUSANNE BIRGIT
10975 SW TUNICA STREET
TUALATIN, OR 97062

2S114CB02400
HAUPERT REV TRUST
10415 SW KELLOGG DRIVE
TUALATIN, OR 97062

2S115DD16400
HANSON TIMOTHY J & HANSON
SUSAN E
17690 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DC00400
HAMILTON PAUL CHARLES &
HAMILTON JOAN E
PO BOX 3207
TUALATIN, OR 97062

2S115DD07700
HACKBARTH JANICE V
10585 SW KIOWA STREET
TUALATIN, OR 97062

2S115DD04900
GUILFOYLE CAROL L TRUST
10795 SW BANNOCH STREET
TUALATIN, OR 97062

2S115DD06000
GREEN GARY L & GREEN JANIS A
10695 SW KIOWA COURT
TUALATIN, OR 97062

2S115DD06700
HILDEBRAN REED & HILDEBRAN SALLY
J
10500 SW BANNOCH COURT
TUALATIN, OR 97062

2S115DD13400
HENSLEY TRACY L & BARTELS AARON
DAVID
17980 SW 109TH AVENUE
TUALATIN, OR 97062

2S115DD01900
HELTNESS ERIC TODD & HELTNESS
CHERYL LYNN
10632 SW PUEBLO COURT
TUALATIN, OR 97062

2S115DC90000
HAZELBROOK CONDO UNIT OWNERS
OR 00000

2S115DC03200
HARTFEIL DERICH & HARTFEIL
ELEANOR
11170 SW APALACHEE STREET
TUALATIN, OR 97062

2S114CB01500
HANNON RACHELLE S & HANNON
JEFFREY T
17440 SW 105TH AVENUE
TUALATIN, OR 97062

2S115DC09900
HAMILTON BRETT T & HAMILTON
KAMI R
11430 SW KALISPELL STREET
TUALATIN, OR 97062

2S114CC05400
GUY CARRIE & GUY TIMOTHY M
10482 SW PUEBLO COURT
TUALATIN, OR 97062

2S115DD01700
GROVE NICOLE & GROVE MATTHEW
17987 SW 106TH AVENUE
TUALATIN, OR 97062

2S115DD11800
GREEN CRAIG D
17885 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DA04700
GRAHAM CONNIE L REV TRUST
PO BOX 2238
TUALATIN, OR 97062

2S115DA04600
GONZALEZ JULIE A REV TRUST
17565 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DA04300
GODFREY DAVID E & GODFREY LISA J
17410 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DD16200
GITT SEAN C & GITT MELISSA A
17770 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DD09100
GILL BRANDON & GILL SARENA
10550 SW STARR DRIVE
TUALATIN, OR 97062

2S122AD01100
GARSKE TRAVIS W
PO BOX 729
COLBERT, WA 99005

2S115DD13500
GALLAGHER RON MICHAEL &
GALLAGHER KELLY MORIARTY
17975 SW 109TH AVENUE
TUALATIN, OR 97062

2S115DA01400
FRIEDMAN MARK E REV TRUST &
FRIEDMAN JOHNNALEE L REV TRUST
17355 SW 105TH AVENUE
TUALATIN, OR 97062

2S115DC00500
FORD KEVIN & LOCKE EMMA
11495 SW ELMER COURT
TUALATIN, OR 97062

2S115DC10900
FLORES SAMANTHA & PENA JOSE
ROBERTO
11380 SW APALACHEE STREET
TUALATIN, OR 97062

2S115DC00300
GOVINDAN ANUMARLA & GOVINDAN
SODHARI
11460 SW HAZELBROOK ROAD
TUALATIN, OR 97062

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GONZALEZ RODOLFO GUERRERO &
GUZMAN JOSE LUIS AMEZCUA
17780 SW 114TH AVENUE
TUALATIN, OR 97062

2S115DD16900
GLASSER FAMILY REV TRUST
11035 SW LUCAS DRIVE
TUALATIN, OR 97062

2S115DD02700
GIRDNER DOUGLAS R & GIRDNER
SANDRA L
10623 SW PUEBLO COURT
TUALATIN, OR 97062

2S115DA04400
GILBERTSON CHRISTOPHER C &
GILBERTSON HEIDI S
17435 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DC06800
GALVIN JEREMY & GALVIN ANDREA
17950 SW 112TH AVENUE
TUALATIN, OR 97062

2S1220000400
FUJIMI CORPORATION
11200 SW LEVETON DRIVE
TUALATIN, OR 97062

2S115DA01600
FRANKLIN MELLISA & FRANKLIN
IGNACIO
17425 SW 105TH AVENUE
TUALATIN, OR 97062

2S115DD19400
FORD JOHN E & AMES STEPHANIE
17953 SW 110TH PLACE
TUALATIN, OR 97062

2S115DC11400
FITCH JACQUELINE DARLENE & FITCH
JOHN WALLACE
17915 SW 113TH AVENUE
TUALATIN, OR 97062

2S114CC05800
GONZALEZ JULIE A REV TRUST
17565 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DD16600
GOESSENS JACQUES E & GOESSENS
SUSAN
17580 SW 110TH AVENUE
TUALATIN, OR 97062

2S114CB02500
GITT SHARON M
10435 SW KELLOGG DRIVE
TUALATIN, OR 97062

2S115DC06000
GIMARELLI-BAST TERRA
11120 SW GARRETT STREET
TUALATIN, OR 97062

2S115DC03000
GASTON LARRY R REV LIV TRUST
18189 SHADY HOLLOW WAY
WEST LINN, OR 97068

2S115DD05400
GALLARDO MICHAEL & MIELE SARA
10680 SW KIOWA COURT
TUALATIN, OR 97062

2S115DC09800
FRONCZAK GREG JOHN
11450 SW KALISPELL STREET
TUALATIN, OR 97062

2S115DC05100
FRAINEY BRIAN A & FRAINEY ABIGAIL
J
11155 SW GARRETT STREET
TUALATIN, OR 97062

2S115DD13600
FOILES LESLIE E & FOILES VICTORIA A
10960 SW TUNICA STREET
TUALATIN, OR 97062

2S115DD15800
FISH TAMMY G & FISH WAYNE L
17475 SW 108TH PLACE
TUALATIN, OR 97062

2S115DC07000
FEUERBORN CHAD M & FEUERBORN
CATHY
26385 SW PEAKS MT ROAD
WEST LINN, OR 97068

2S115DA04800
ESTRADA ALFRED & ESTRADA
SHARON
17460 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DC08700
EASTMAN ROBYN T & EASTMAN
SANDY M
17770 SW 113TH AVENUE
TUALATIN, OR 97062

2S115DD06100
DRAPER JAMES A & JANICE F TRUST
17755 SW 106TH AVENUE
TUALATIN, OR 97062

2S115DD02300
DONAUGH ANTHONY M & DONAUGH
CHRISTI S
10651 SW PUEBLO COURT
TUALATIN, OR 97062

2S115DD14100
DEHEN PAUL V & DEHEN ROBERTA A
10995 SW TUNICA STREET
TUALATIN, OR 97062

2S115C002803
CYPRESS PARISH LLC
16750 SE KENS COURT
MILWAUKIE, OR 97267

2S115C001600
CR RIVERCREST MEADOWS
COMMUNITIES LLC
444 W BEECH STREET #300
SAN DIEGO, CA 92101

2S115DC90003
COSNER BERNADETTE
17890 SW 115TH AVENUE UNIT 3
TUALATIN, OR 97062

2S115DD16700
COMPTON JAY W
17595 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DC02000
FENN DENNIS LESLIE & FENN
ROBERTA JEAN
11440 SW ROBERTS COURT
TUALATIN, OR 97062

2S115DD20000
EDWARDS MARK
17986 SW 110TH PLACE
TUALATIN, OR 97062

2S115DA04000
DUPUIS KENNETH & DUPUIS ERIN
17550 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DC06500
DOWNING DARYL & DOWNING
CHRISTINE
17865 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DC06200
DOLAK TYLER JOHN & MCMUNN
KRISTIANA NICHOLE
17795 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DD17500
DEBRAUWERE RICHARD L &
DEBRAUWERE ELEANOR K
11100 SW LUCAS DRIVE
TUALATIN, OR 97062

2S115DC10200
CROSS THOMAS A & CROSS DIANE
RUTH
17845 SW 114TH AVENUE
TUALATIN, OR 97062

2S115C001700
CR RIVERCREST MEADOWS
COMMUNITIES LLC
444 W BEECH STREET #300
SAN DIEGO, CA 92101

2S115DD17200
CORR FAMILY REV TRUST
17585 SW 111TH AVENUE
TUALATIN, OR 97062

2S114CC06700
CODINO VAL H & CODINO LOIS D
17962 SW 105TH COURT
TUALATIN, OR 97062

2S115DD14500
FB TRUST
10910 SW BANNOCH STREET
TUALATIN, OR 97062

2S115DC06700
EDEN CHRISTOPHER
11155 SW APALACHEE STREET
TUALATIN, OR 97062

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DUPUIS FAMILY TRUST
17460 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DC08600
DONOHUE NICHOLAS MICHAEL
17800 SW 113TH AVENUE
TUALATIN, OR 97062

2S115DA03500
DEJONG STEVEN & DEJONG KAITLIN
17350 SW 108TH PLACE
TUALATIN, OR 97062

2S114CC05500
DEAVILLE CASEY D
17970 SW 105TH COURT
TUALATIN, OR 97062

2S115DD01400
CRALL RICHARD F & CRALL BARBARA
M
10055 SW WASCO WAY
TUALATIN, OR 97062

2S115DC10100
COX LEE H & COX CHRISTINA R
17825 SW 114TH AVENUE
TUALATIN, OR 97062

2S115DD05300
CONNER DANIEL J & CONNER
SHARON W
10650 SW KIOWA COURT
TUALATIN, OR 97062

2S115DC02100
COCKRELL WILLIAM D & COCKRELL
PAMELA K
11460 SW ROBERTS COURT
TUALATIN, OR 97062

2S115DD02500
CLARK DAVID A & CLARK CATHERINE
M
10639 SW PUEBLO COURT
TUALATIN, OR 97062

2S115DD05100
CHRISTIAN LOU A & CHRISTIAN TINA L
10677 SW BANNOCH STREET
TUALATIN, OR 97062

2S115DD06400
CHAMBERS NICHOLAS RYAN &
MURATA-CHAMBERS AKIMI SAKU
10595 SW BANNOCH COURT
TUALATIN, OR 97062

2S115DD01800
CHALFAN TRUST
4095 WESTBAY ROAD
LAKE OSWEGO, OR 97035

2S115DC04000
CAVEN JEREMY LIONEL
17870 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DD05800
CAGLE STEVEN & CAROLYN LIV TRUST
10777 SW KIOWA COURT
TUALATIN, OR 97062

2S114CB02100
BURDICK EILEEN T & BURDICK
CHRISTOPHER J
17430 SW 104TH AVENUE
TUALATIN, OR 97062

2S115DD11600
BROWNE AARON J & BROWNE KELLIE
G
11035 SW WISHRAM COURT
TUALATIN, OR 97062

2S115DD15700
BROCKWAY FAMILY TRUST
17455 SW 108TH PLACE
TUALATIN, OR 97062

2S115DD19200
BOSWOOD KRISTINA G
11029 SW TUALATIN ROAD
TUALATIN, OR 97062

2S115DD08400
CLARK MONICA J & CLARK LONNY T
10525 SW LUCAS COURT
TUALATIN, OR 97062

2S115DC07100
CHAUNCEY LOIS
17890 SW 112TH AVENUE
TUALATIN, OR 97062

2S123B000600
CHAMBERLAIN HUSSA PROPERTIES
18755 SW TETON AVENUE
TUALATIN, OR 97062

2S115DC10000
CERO JEFFREY C & CERO CARISSA
11410 SW KALISPELL STREET
TUALATIN, OR 97062

2S122AD00400
CALMAX TECHNOLOGY INC
3491 LAFAYETTE STREET
SANTA CLARA, CA 95054

2S115DC03700
BUSHNELL TODD MICHAEL
17960 SW 111TH AVENUE
TUALATIN, OR 97062

2S115DD12200
BUCKNER ORVILLE KERN III
17890 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DC09400
BROPHY JEFFREY E & BROPHY
DANETTE M
11465 SW KALISPELL STREET
TUALATIN, OR 97062

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BRISAN MARIUS M & BRISAN LIDIA M
17850 SW 113TH AVENUE
TUALATIN, OR 97062

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BORTHWICK MELODY
10461 SW PUEBLO STREET
TUALATIN, OR 97062

2S115DD11900
CLARK CHARLES L TRUST
17875 SW 110TH AVENUE
TUALATIN, OR 97062

2S115DC11000
CHANG SARAH
11360 SW APALACHEE STREET
TUALATIN, OR 97062

2S115DD15000
CHALISE PRAVEEN & CHALISE DEEPA
17625 SW 108TH PLACE
TUALATIN, OR 97062

2S122AD00900
CEDAR LANDSCAPE MAINTENANCE
LLC
6107 SW MURRAY BOULEVARD #175
BEAVERTON, OR 97008

2S115DD13900
CALDER KENNETH D & CALDER MARY
C
10945 SW TUNICA STREET
TUALATIN, OR 97062

2S115DC11800
BURNS JACK S
17785 SW 113TH AVENUE
TUALATIN, OR 97062

2S115DC01900
BRYANT SYDNAY & BRYANT JAKE
11420 SW ROBERTS COURT
TUALATIN, OR 97062

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BROOKS STEVEN K & DAVIS HEATHER
M
15532 SW PACIFIC HWY #CIB111
TIGARD, OR 97224

2S115DD19500
BOWER NESLER FAMILY TRUST
17967 SW 110TH PLACE
TUALATIN, OR 97062

2S115DD11000
BLUM MARY LOU
11020 SW WISHRAM COURT
TUALATIN, OR 97062

2S114CC06100
BLATT CHARLES M JR & BLATT NAOMI
T
17897 SW 105TH COURT
TUALATIN, OR 97062

2S114CC06900
BILITZ MARTIN & BILITZ MICHAELA
DANIELA
10479 SW PUEBLO STREET
TUALATIN, OR 97062

2S115DC09200
BERGGREN BRAD J & BERGGREN
ROBERTA K
11425 SW KALISPELL STREET
TUALATIN, OR 97062

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BENKE FAMILY TRUST
17400 SW 106TH COURT
TUALATIN, OR 97062

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BAXTER CHRISTOPHER & BAXTER
STEPHANIE
10606 SW BANNOCH COURT
TUALATIN, OR 97062

2S115DD07200
BARTHOLOMEW MARY C TRUST
10570 SW KIOWA STREET
TUALATIN, OR 97062

2S115DC00600
BARRACLOUGH RODNEY P JR &
BARRACLOUGH SANDRA
11475 SW ELMER COURT
TUALATIN, OR 97062

2S115DD15200
BAIRD LEAH J
17610 SW 108TH PLACE
TUALATIN, OR 97062

2S115DD06500
AUGUSTYNIAK EDWARD J &
SUJCZYNSKA MONIKA J
10555 SW BANNOCH COURT
TUALATIN, OR 97062

2S115DD07600
ASAI C&C JOINT TRUST
10555 SW KIOWA STREET
TUALATIN, OR 97062

2S115DC10800
BLAKEY BLAKE & BLAKEY DOMENIQUE
11400 SW APALACHEE STREET
TUALATIN, OR 97062

2S115DC05800
BIEHLER ROBYN L
17750 SW 112TH AVENUE
TUALATIN, OR 97062

2S115DC08400
BERG TOR L & BERG CHERYL L
17880 SW 113TH AVENUE
TUALATIN, OR 97062

2S114CB01600
BENEDICT ELIZABETH A
10460 SW KELLOGG DRIVE
TUALATIN, OR 97062

2S115DD07400
BAUMANN THOMAS K & BAUMANN
ROSEMARIE D
10500 SW KIOWA STREET
TUALATIN, OR 97062

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BARROW BRAD JAMES & BARROW
SYDNEY ANTONETTE
10850 SW BANNOCH STREET
TUALATIN, OR 97062

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BANTA BRYCE & BANTA RENE
17880 SW 110TH AVENUE
TUALATIN, OR 97062

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BAILEY TRUST
17971 SW 106TH AVENUE
TUALATIN, OR 97062

2S122AA00400
ASCENTEC ENGINEERING LLC
18500 SW 108TH AVENUE
TUALATIN, OR 97062

2S115DA01700
ARROYO CHRIS & ARROYO JAQUELINE
C
10515 SW STARR DRIVE
TUALATIN, OR 97062

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BIXEL JENNIFER
10455 SW KELLOGG DRIVE
TUALATIN, OR 97062
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BERGGREN TERESA D
11115 SW GARRETT STREET
TUALATIN, OR 97062
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BENNETT JENNIFER ANN & FRICK
BENJAMIN JOHN
11030 SW WINTU COURT
TUALATIN, OR 97062
2S115DD02000
BELL TAMERA J & JURCHEN STEVEN L
10644 SW PUEBLO STREET
TUALATIN, OR 97062

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BATEMAN BRENT A & BATEMAN
KARLA S
17875 SW 114TH AVENUE
TUALATIN, OR 97062

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BARRON LIV TRUST
11065 SW LUCAS DRIVE
TUALATIN, OR 97062

2S114CC07700
BANEY JOACHIM E
PO BOX 3474
PORTLAND, OR 97208

2S115DC06100
BAEDOR FAMILY TRUST
17775 SW 111TH AVENUE
TUALATIN, OR 97062

2S122AD00100
ASCENTEC ENGINEERING LLC
18500 SW 108TH AVENUE
TUALATIN, OR 97062

2S115DC11300
ARNDT RONALD C 2015 TRUST
80395 WEISKOPF
LA QUINTA, CA 92253

2S115DC00900
ARBUCKLE JAMES F & ARBUCKLE
MARY D
11400 SW ELMER COURT
TUALATIN, OR 97062

2S115DA03800
AMAN FAMILY TRUST
17435 SW 108TH PLACE
TUALATIN, OR 97062

2S115DD02100
AIELLO KAREN L
10650 SW PUEBLO COURT
TUALATIN, OR 97062

2S115DD00700
ADAMS SHEILA D
10915 SW TUALATIN ROAD
TUALATIN, OR 97062

2S115DC12100
ABERNATHY TRAVIS E & ABERNATHY
AMANDA M
17860 SW 114TH AVENUE
TUALATIN, OR 97062

2S123BB90002
3 J'S PROPERTIES LLC
10400 SW TUALATIN ROAD
TUALATIN, OR 97062

2S115C002802
APOSTOLIC LUTHERAN CHURCH OF
PORTLAND
PO BOX 23312
TIGARD, OR 97223

2S115DC00800
ALBERTSON BRUCE & ALBERTSON
JUDY
11415 SW ELMER COURT
TUALATIN, OR 97062

2S114CC07600
AHUNA KLAUS G & AHUNA JANET L
10332 SW PUEBLO STREET
TUALATIN, OR 97062

2S114CC05700
ACKLEY KRISTEN & ROTTMAN ERIK A
17961 SW 105TH COURT
TUALATIN, OR 97062

2S122AD01300
ABBOTT TUALATIN LLC
3030 BRIDGEWAY, SUITE 100
SAUSALITO, CA 94965

2S123BB00501
18355 SW TETON AVENUE TUALATIN
OR LLC
17455 SW RIDGEVIEW LANE
LAKE OSWEGO, OR 97034

2S115DD19000
ANDERSON DEBORAH M
11045 SW TUALATIN ROAD
TUALATIN, OR 97062

2S115DD15100
ALBERT GARY J & ALBERT LISA J
17630 SW 108TH PLACE
TUALATIN, OR 97062

2S114CB01900
ADAMS KAREN E & BARTHOLOMEW
BRIAN J
17445 SW 104TH AVENUE
TUALATIN, OR 97062

2S114CC07300
ABRAMS HOWARD R REV LIV TRUST
7799 SW MONTCLAIR DRIVE
PORTLAND, OR 97225

2S123BB00701
AAA OREGON/IDAHO
600 MARKET STREET
PORTLAND, OR 97201

MACKENZIE.

August 1, 2022

RE: LAM Research – New Office Building and Parking
Rescheduled Neighborhood Meeting

Dear Property Owner:

You recently received an invitation to a virtual neighborhood meeting on August 8, 2022 at 8:00 PM. Unfortunately, due to a conflict, we have rescheduled the meeting to August 16 at 7:00 PM. The meeting will be held in person at:

Juanita Pohl Center
8513 SW Tualatin Road
Tualatin, OR 97062
Tuesday, August 16 at 7:00 PM

This meeting is being held to discuss a proposed project located at 11155 SW Leveton Drive. The proposal is for a new 120,000 SF, 4-story building on the south end of the existing Lam campus, east and south of existing buildings. The proposed parking expansion will be east and northeast of the proposed building. The project will require a Type III Architectural Review due to the building size, as well as a modification to the previous Industrial Master Plan due to one component of the proposed parking lot design (also a Type III review).

This is an informational meeting to share the development proposal with interested neighbors. You will have the opportunity to review preliminary plans and identify topics of interest or consideration. Feel free to contact me with any questions or commentary.

Regards,

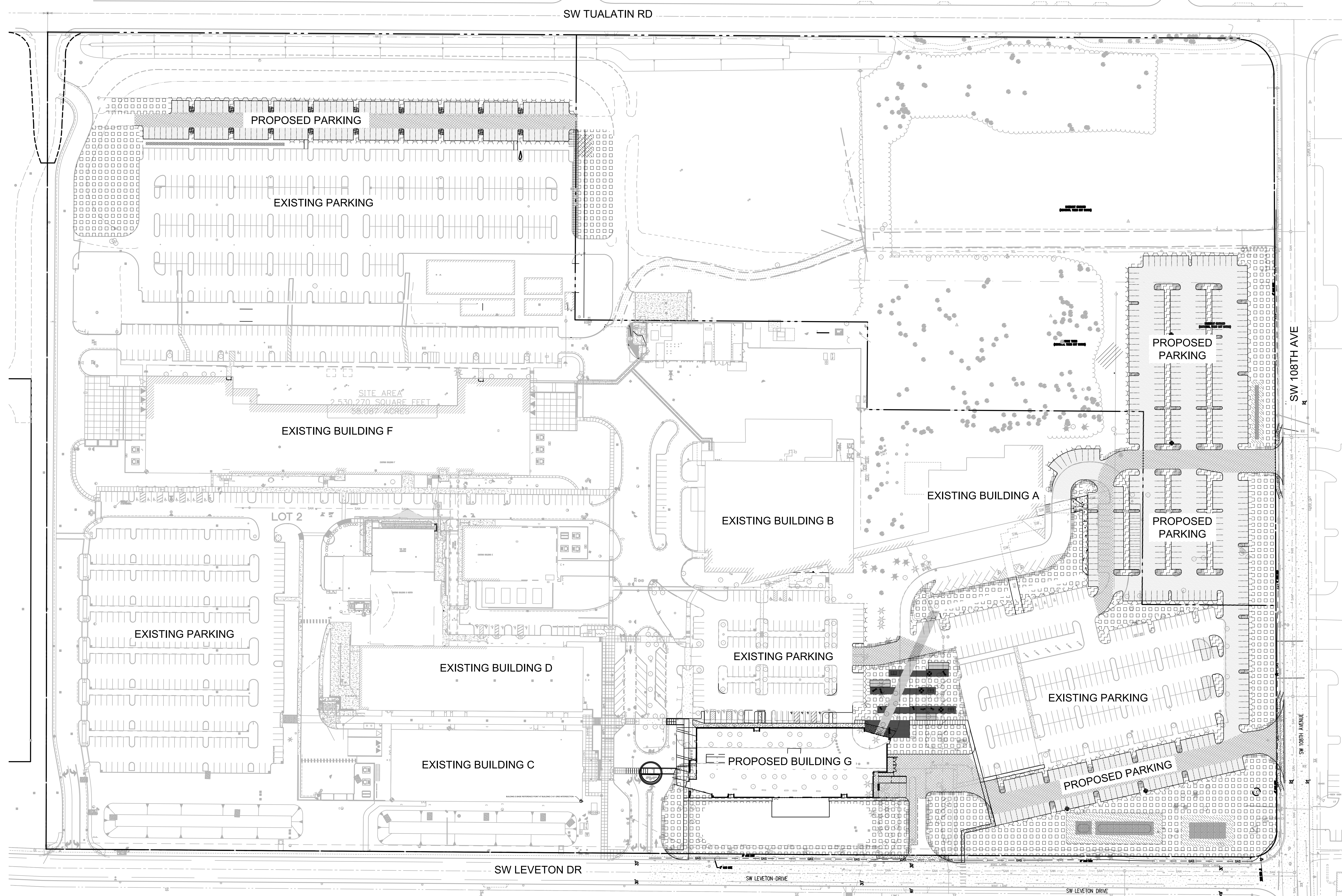


Suzannah Stanley, Land Use Planner
Mackenzie
SStanley@mcknze.com

cc: planning@tualatin.gov, Tualatin Community Development Department

Enclosure(s): Preliminary Overall Site Plan





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 OR REPRODUCED IN ANY MANNER
 WITHOUT PRIOR WRITTEN PERMISSION

REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**OVERALL
 SITE PLAN**



DRAWN BY: BDN

CHECKED BY: BDN

SHEET

EX 1

JOB NO. **2220087.00**

PRELIMINARY ONLY
 222008700\DRAWINGS\CIVIL\087-OVERALL SITE PLAN.DWG:4230 BDN 07/25/22 13:21 1/80

From: [Suzannah Stanley](#)
To: [Erin Engman](#); [Steve Koper](#)
Cc: [Mike Rueter](#); [Chelsey Reinoehl](#)
Subject: RE: CIO contact: Lam Research New Office Building
Date: Wednesday, September 7, 2022 4:54:31 PM
Attachments: [image002.png](#)
[image004.png](#)
[08c298f4-6906-48a5-889d-7a1b37cd9903.png](#)

Hello Erin,

Thanks. In response to TDC 32.140 (1)(h):

A statement as to whether any City-recognized Citizen Involvement Organizations (CIOs) whose boundaries include, or are adjacent to, the subject property were contacted in advance of filing the application and, if so, a summary of the contact. The summary must include the date when contact was made, the form of the contact and who it was with (e.g. phone conversation with neighborhood association chairperson, meeting with land use committee, presentation at neighborhood association meeting), and the result;

We did not contact any City-recognized CIOs.

Please use this statement in your completeness checklist.

Thanks,

Suzannah Stanley Land Use Planning
D 971-346-3808 C 503-853-3652 Senior Associate
[Professional Licenses & Certifications](#)

From: Erin Engman <engman@tualatin.gov>
Sent: Wednesday, September 7, 2022 4:29 PM
To: Suzannah Stanley <SStanley@mcknze.com>; Steve Koper <skoper@tualatin.gov>
Cc: Mike Rueter <MRueter@mcknze.com>; Chelsey Reinoehl <CREinoehl@mcknze.com>
Subject: RE: CIO contact: Lam Research New Office Building

Here's the hyperlink: [TDC 32.140\(1\)\(h\)](#).

Erin Engman

Senior Planner
City of Tualatin | Planning Division
503.691.3024 | www.tualatinoregon.gov

From: Suzannah Stanley <SStanley@mcknze.com>
Sent: Wednesday, September 7, 2022 4:17 PM
To: Erin Engman <engman@tualatin.gov>; Steve Koper <skoper@tualatin.gov>
Cc: Mike Rueter <MRueter@mcknze.com>; Chelsey Reinoehl <CREinoehl@mcknze.com>
Subject: RE: CIO contact: Lam Research New Office Building

Thanks, Erin,

I'm not seeing it in the code at my fingertips; what should the "notice" entail? A site plan and FYI that we've submitted?

The arborist is working on the report and we hope to have that done very soon.

We'll probably want to wait until 9/16 for the incomplete letter.

Thanks,

Suzannah Stanley

Land Use Planning

D 971-346-3808 C 503-853-3652

Senior Associate

[Professional Licenses & Certifications](#)

From: Erin Engman <eengman@tualatin.gov>

Sent: Wednesday, September 7, 2022 12:25 PM

To: Suzannah Stanley <SStanley@mcknze.com>; Steve Koper <skoper@tualatin.gov>

Cc: Mike Rueter <MRueter@mcknze.com>; Chelsey Reinoehl <CReinoehl@mcknze.com>

Subject: RE: CIO contact: Lam Research New Office Building

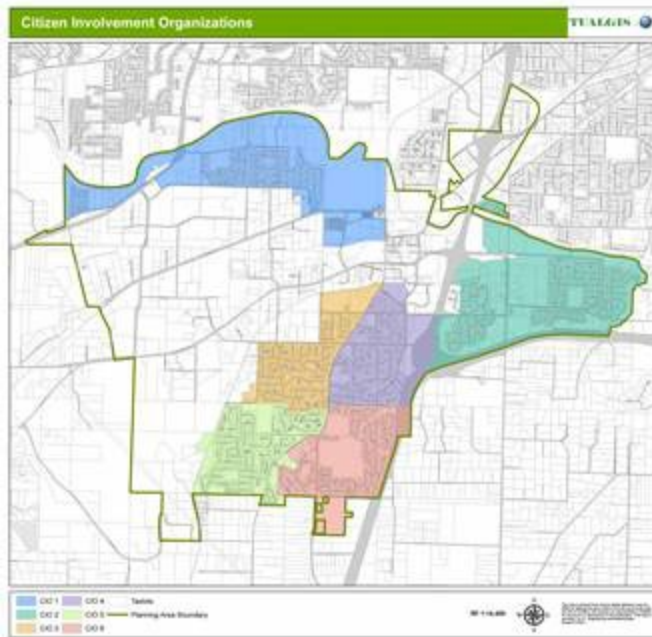
Hi Suzannah-

Hope you had a good Labor Day weekend. Steve brought me up to speed with the LAM check-in meeting, and I wanted to circle back with you on your questions.

For your question below, there is additional information on our CIOs shared in Chapter 11 of our Municipal Code, specifically [TMC 11-9-060](#) states:

The Commercial and Manufacturing CIOs' boundaries are designated as the boundary of the entire Planning Area of the City of Tualatin (see Figure 11-9-1, below).

Therefore the LAM site would fall within the Commercial CIO boundaries and reaching out to them would be encouraged to satisfy [TDC 32.140\(1\)\(h\)](#). The contact list for the Commercial CIO includes: tualatincommercialcio@gmail.com, scottm@capacitycommercial.com, robertekellogg@yahoo.com, famtunstall1@frontier.com.



I also understand that you had questions on submittal items for tree removal. I wanted to confirm that a Tree Assessment Report is a required completeness item under [TDC 32.140\(1\)\(c\)](#) and [TDC 33.110\(4\)\(b\)](#); and is needed to satisfactorily demonstrate that our approval criteria for tree removal is met. Additionally, preserving the City's tree canopy is of interest to our Architectural Review Board and they will want to review the report as part of their decision.

Please let me know if you'd like me to wait until September 16 (last date granted by ORS) to make my completeness determination for your applications, or if you'd prefer that I share that in the next few days.

Erin Engman

Senior Planner

City of Tualatin | Planning Division

503.691.3024 | www.tualatinoregon.gov

From: Suzannah Stanley <SStanley@mcknze.com>

Sent: Thursday, September 1, 2022 3:30 PM

To: Steve Koper <skoper@tualatin.gov>; Erin Engman <eengman@tualatin.gov>

Cc: Mike Rueter <MRueter@mcknze.com>; Chelsey Reinoehl <CReinoehl@mcknze.com>

Subject: CIO contact: Lam Research New Office Building

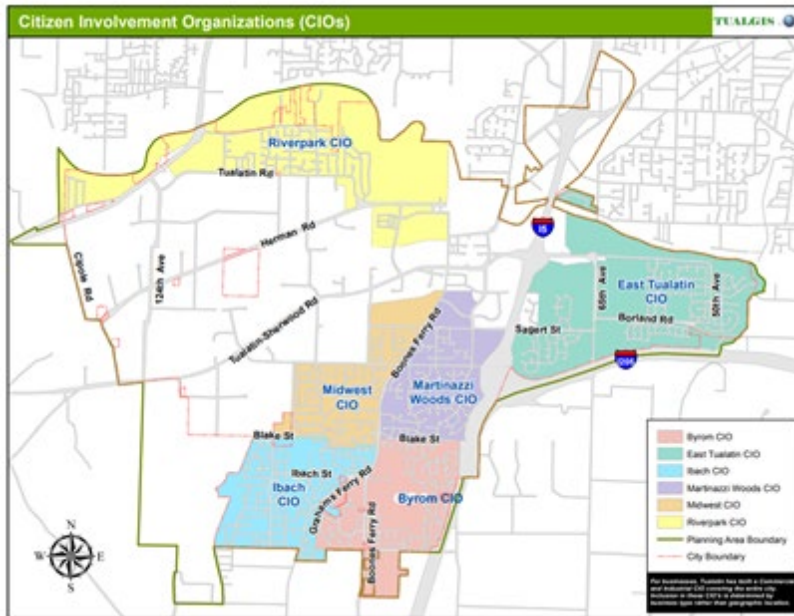
Hello Steve and Erin,

We took a look at the CIO notice requirements.

“Notice Requirements. The applicant must provide notice to neighboring property owners (within 1,000 feet), designated Citizen Involvement Organization (CIO) representatives, and the Tualatin Community Development Department. The City is able to provide the applicant with a complete

Mailing Area List for a fee. Requests for Mailing Area Lists can be made by contacting planning@tualatin.gov

However, the Lam site is not inside of a CIO district.



We obtained the complete mailing area list from the Planning department but since there aren't any, no CIOs were listed. So it seems like that requirement doesn't apply. Let me know if you have any questions. Thanks,

Suzannah Stanley

D 971-346-3808 C 503-853-3652

Land Use Planning

Senior Associate

[Professional Licenses & Certifications](#)



[Disclaimer](#)

Mackenzie.

ARCHITECTURE ■ INTERIORS ■ STRUCTURAL, CIVIL, AND TRAFFIC ENGINEERING
LAND USE AND TRANSPORTATION PLANNING ■ LANDSCAPE ARCHITECTURE

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To encourage healthy living and work-life balance during the summer months, our offices will close at 12 PM on Fridays.

CERTIFICATION OF SIGN POSTING

<p>NOTICE</p> <p>NEIGHBORHOOD / DEVELOPER MEETING</p> <p>__/__/2010 __:__.m.</p> <p>SW _____</p> <p>503-__-__</p>

In addition to the requirements of TDC 32.150, the 18" x 24" sign must display the meeting date, time, and address as well as a contact phone number. The block around the word "NOTICE" must remain **orange** composed of the **RGB color values Red 254, Green 127, and Blue 0**. A PowerPoint template of this sign is available at: <https://www.tualatinoregon.gov/planning/land-use-application-sign-templates>.


contact person

As the ~~applicant~~ for the Lam New Building & Parking project, I hereby certify that on this day, August 2nd 2022 sign(s) was/were posted on the subject property in accordance with the requirements of the Tualatin Development Code and the Community Development Division.

contact person

~~Applicant's~~ Name: Chelsey Reinoehl
(Please Print)

contact person

~~Applicant's~~ Signature: 

Date: 8/11/22

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SIGN-IN SHEET

P 503.224.9560 • F 503.228.1285 • W MCKNZE.COM
RiverEast Center, 1515 SE Water Avenue, #100, Portland, OR 97214

Portland, Oregon • Vancouver, Washington • Seattle, Washington

PROJECT NUMBER: 2220087.00

MEETING DATE: 8/16/22

PROJECT NAME: Lam Research New Office
Building

MEETING TIME: 7:00 PM

FACILITATOR: Suzannah Stanley

Jean Hamilton

J. Hami 828 @ aol.com

Dominic Tallent

dontallent79@gmail.com

PROJECT NUMBER: 2220087.00 ISSUE DATE: August 17, 2022
PROJECT NAME: Lam Research New Office Building

RECORDED BY: Suzannah Stanley – Land Use Planner
TO: FILE
PRESENT: Jennifer Otterness – Lam Research
Joan Hamilton, Dominic Tallent – Neighbors
Mike Rueter, Janet Jones, Suzannah Stanley – Mackenzie

SUBJECT: Neighborhood Meeting Minutes (August 16, 2022)

INFORMATION ITEMS

1. The meeting began at 7:06 PM.
2. Suzannah Stanley (Mackenzie) described the project and that it will require a Type III AR application and Type III IMP.
3. Dominic Tallent (Neighbor) asked what the hours would be at the new building: staggered shifts or day schedule? Jennifer Otterness (Lam Research) said during the day.
4. Joan Hamilton (Neighbor) asked how many employees. Jennifer said up to 600; some from the existing buildings, probably 500-550 new. Joan said Tualatin Road is getting very busy and there are no adequate crosswalks. Janet Jones (Mackenzie) said recent and historical counts have found Lam trips travel mostly via Leveton Drive to 124th Avenue and OR 99W and via 108th to Herman Road and I-5.
5. Jennifer said Lam put a crosswalk in on Tualatin Road. Joan said the Tualatin Road/115th Avenue intersection is unsafe for kids.
6. Dominic asked about the accesses in and out on Tualatin. Janet said there is no access to Tualatin Road, currently only a fire access is provided on Tualatin Road. Jennifer said we looked at opening that but it's faster to go down Leveton Drive and up 124th Avenue. Joan said we should study 115th/Hazelbrook. Janet said the City didn't require that one. Mike Rueter (Mackenzie) said that under existing conditions that intersection may have issues but we have to focus on what's this project's impacts are.
7. Janet shared the results of the traffic study and where the traffic tends to go. We studied intersections where the project adds the City's trip threshold. Based on our available data, we do not believe new trips will route to OR 99W via Hazelbrook Road.
8. Mackenzie staff shared their business cards with the neighbors in case of their future questions. The meeting adjourned around 7:25 PM.

Every effort has been made to accurately record this meeting. If any errors or omissions are noted, please provide written response within five days of receipt.



INDUSTRIAL MASTER PLAN CERTIFICATION OF SIGN POSTING



The applicant shall provide and post a sign pursuant to Tualatin Development Code (TDC) 31.064(2). Additionally, the 18" x 24" sign must contain the application number, and the block around the word "NOTICE" must remain **medium purple** composed of the **RGB color values Red 112, Green 48, and Blue 160**. Additionally, the potential applicant must provide a flier (or flyer) box on or near the sign and fill the box with brochures reiterating the meeting info and summarizing info about the potential project, including mention of anticipated land use application(s). Staff has a Microsoft PowerPoint 2007 template of this sign design available through the Planning Division homepage at <http://www.ci.tualatin.or.us/departments/communitydevelopment/planning>.

As the applicant for the Lam Research Building G Parking IMP project, I hereby certify that on this day, _____ sign(s) was/were posted on the subject property in accordance with the requirements of the Tualatin Development Code and the Community Development Department - Planning Division.

~~Sign Poster's~~
Applicant's Name: Chelsey Reinoehl
(PLEASE PRINT)

~~Sign Poster's~~
Applicant's Signature:

Date: 8/17/22



NOTICE
ARCHITECTURAL
REVIEW AR-22-0001
For more information call
503-691-3026 or visit
www.lamatinoregon.gov

NOTICE
INDUSTRIAL MASTER
PLAN IMP-22-0001
For more information call
503-691-3026 or visit
www.lamatinoregon.gov



NOTICE

**ARCHITECTURAL
REVIEW AR-22-0006**

For more information call
503-691-3026 or visit
www.tualatinoregon.gov



NOTICE

**INDUSTRIAL MASTER
PLAN IMP-22-0001**

For more information call
503-691-3026 or visit
www.tualatinoregon.gov

A RESOLUTION ADOPTING THE NOVELLUS SYSTEMS, INC.
INDUSTRIAL MASTER PLAN (IMP-00-01)

WHEREAS upon the application by Scott Scowden of Novellus Systems Inc., applicant, a hearing was held before the City Council of the City of Tualatin on January 22, 2001, for approval of a proposed Industrial Master Plan to identify the sequence of development, infrastructure needs and requirements and building design in conjunction with a multi-phased development of real property described by the Washington County Department of Assessment and Taxation as Tax Account 2S122A, Tax Lot 1900, containing approximately 58-acres, located between SW Leveton Drive, SW 108th Avenue and SW Tualatin Road: and

WHEREAS notice of a public hearing was given as required under the Tualatin Community Plan by posting a copy of the notice in two public and conspicuous places within the City, evidenced by the Affidavit of Posting, marked "Exhibit A", which is attached and incorporated by this reference, and by mailing a copy of the notice to property owners located within 300 feet of the property, evidenced by the Affidavit of Mailing, marked "Exhibit B", attached and incorporated by this reference; and

WHEREAS the Council heard and considered the testimony and evidence presented by the City staff and those appearing at the public hearing; and

WHEREAS based upon the evidence and testimony heard and considered by the Council and especially the City staff report, dated January 22, 2001, the Council makes, adopts and enters the following Findings of Fact:

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF TUALATIN, OREGON, that:

Section 1. Subject to the conditions set forth, the applicant, Scott Scowden on behalf of Novellus Systems, Inc., owner of the subject property, is granted approval of a proposed plan to direct future development in conjunction with a multi-phased development of real property described by the Washington County Department of Assessment and Taxation as Tax Account 2S122A, Tax Lot 1900, containing approximately 58 acres, located between SW Leveton Drive, SW 108th Avenue and SW Tualatin Road.

Section 2. As support for this approval the City Council finds as follows:

A. As owner of this property, applicant Novellus Systems, Inc. may develop its property consistent with the planning requirements of the Manufacturing Park Planning District and Architectural Review process without submitting an Industrial Master Plan.

B. It is in the best interest of both the applicant and the City to create a master plan to identify the sequence of development, infrastructure needs and requirements, and building design as part of the development of the 58-acre parcel.

C. The Supplemental Analysis and Findings, dated January 22, 2001, adequately respond to the issues raised by JAE Oregon, Inc. in their letter dated January 19, 2001 and further find the staff report addressed the issues raised in sufficient detail to conclude Items 1, 3, 4, 5 and 6 concerning public facilities were analyzed and found to be in compliance with TDC 37.030(1). The Council also found Item 2 was not applicable to the review criteria in TDC Chapter 37 for an Industrial Master Plan.

D. **ALTERNATIVE DEVELOPMENT STANDARDS**

The City Council must find that the submitted Industrial Master Plan meets the alternative development standards of the Tualatin Development Code (TDC), Industrial Master Plan, 37.020(4) and 37.030, and Manufacturing Park Planning District, TDC Chapter 62. The Council may impose conditions to meet regulations and standards expressly specified in TDC Chapter 37 or other conditions found necessary to protect the best interests of the surrounding property or neighborhood or City as a whole.

Criterion: TDC 37.020(4)(a) Setbacks from each property lot line to buildings, parking areas and circulation areas. Required setbacks may be exact, or minimum and maximum ranges may be specified. Required setbacks may be greater than or less than those required under TDC 62.060.

The City Council agrees with the findings in the Master Plan submittal, section 37.020(2) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

Additional right-of-way dedication may be necessary for SW Leveton Drive and SW 108th Avenue to provide for left-turn lanes into the Novellus site at five (5) proposed access locations and at the 108th Avenue/Leveton Drive intersection. The additional right-of-way would reduce building, parking and circulation setbacks from those stated in Exhibit C. The exact amount of right-of-way

necessary cannot be determined until future traffic analysis work is conducted. The City Council has determined, based on findings in the staff report, dated January 22, 2001, that:

- a. Building setbacks to SW Leveton Drive of 68 feet and SW 108th Avenue of 98 feet are acceptable. Interior side yard setbacks of 20 feet are acceptable, and the setback to JAE of 100 feet is acceptable.
- b. Parking and circulation setbacks to SW Leveton Drive of ~~108~~⁵⁰ feet, SW 108th Avenue of 43 feet, and interior side yard setbacks ~~as shown on Exhibit C, Sheet SD-5, dated December 22, 2000~~, are acceptable.
- c. Parking and circulation setbacks to SW Tualatin Road of 35 feet are acceptable with mitigation to construct an earthen berm paralleling the roadway with landscaping consisting of street trees, evergreen trees and shrubs.

Criterion: TDC 37.020(4)(b) Locations of shared parking and circulation areas and access improvement, including truck maneuvering and loading areas and common public or private infrastructure improvements.

The City Council agrees with the findings in the Master Plan submittal, section 37.020(3) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that the 58-acre parcel is proposed to be partitioned into three separate parcels. The proposed Master Plan indicates that parking, vehicular access, loading and private infrastructure will be placed on all three parcels. The layout of parking, vehicular access, loading and private infrastructure may require easements.

Furthermore, the stand of trees north of the existing manufacturing building, excluding the filbert orchard, assists in establishing the character of the site. These trees were required to be retained, excluding the filbert orchard, as part of the original Oki Architectural Review (AR-89-24). Continued retention of these trees affects the proposed layout and placement of parking. This stand of trees, excluding the filbert orchard, shall be retained or integrated into the parking lot design where determined appropriate.

Criterion: TDC 37.020(4)(c) Building heights and placement and massing of buildings with respect to parcel boundaries.

The City Council agrees with the findings in the Master Plan submittal, section 37.020(4) in Exhibit C and adopts them as support for the criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that building setbacks have been reduced or increased as allowed in TDC 37.020(4)(a). The reduced or increased building setbacks, proposed building heights, and massing of buildings are appropriate for this site given they take advantage of site topography and place the taller buildings on the south side of the site adjacent to SW Leveton Drive and SW 108th Avenue which are adjacent to existing or future industrial development. The building placement and massing are appropriate with respect to existing and proposed parcel boundaries.

Criterion: TDC 37.020(4)(d) Location and orientation of building elements such as pedestrian ways or access, main entrances and off-street parking or truck loading facilities, including the number of off-street parking spaces and loading docks required.

The City Council agrees with the findings in the Master Plan submittal, section 37.020(5) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that no alternative development standards have been requested and that Novellus Systems, Inc. will comply with requirements of Chapter 73 of the TDC.

Criterion: TDC 37.020(4)(e) Lot dimensions and area provided that no individual parcel shall be less than 15 acres north of SW Leveton Drive and five acres south of SW Leveton Drive unless otherwise provided under TDC 62.050(1).

The City Council agrees with the findings in the Master Plan submittal, section 37.020(6) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that the proposed lots meet the minimum dimensional requirements of TDC 37.020(4)(e) and 62.050. To partition the site, Novellus Systems, Inc. shall be required to submit a partition application to the City for review.

The Council additionally found that proposed Lots 1 and 2 lots may be consolidated in the future. This consolidation may be necessary to address Oregon Structural Specialty Code requirements.

Criterion: TDC 37.020(4)(f) Location of required building and parking facility landscape areas.

The City Council agrees with the findings in the Master Plan submittal, section 37.020(7) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that no alternative method has been requested for landscaping at a building perimeter (TDC 73.310). Novellus Systems, Inc. has requested an alternative development method for parking lot landscaping. The proposed method is to allow 12 parking spaces in a row rather than the 8 spaces required by TDC 73.360(1-6) and 73.380(3). The City Council has found this alternative method acceptable for surface parking areas located on the south-half of the site where there are topographic changes and where future buildings and structured parking will replace the interim surface parking.

The City Council has also found that surface parking in the north-half of the site must follow the City's requirements for parking lot landscaping and that no alternative method is approved for this area.

Criterion: TDC 37.020(5) Except as specifically provided in subsection (4) above, all other provisions of this Code shall apply within an Industrial Master Plan Area.

The City Council has determined, based on findings in the staff report dated January 22, 2001, that no other alternative development methods have been requested. The Council has also found that the applicant will be required to submit an Architectural Review application meeting the requirements of the TDC that shall include the Alternative Development Methods approved in the Industrial Master Plan. Any future modifications to amend the Industrial Master Plan shall be required to submit a new Industrial Master Plan application.

E. INDUSTRIAL MASTER PLAN CRITERIA

Criterion: TDC 37.030(1) Public facilities and services, including transportation, existing or planned, for the area affected by the use are capable of supporting the proposed development or will be made capable by the time development is completed.

The City Council agrees with the findings in the Master Plan submittal, section 37.030(1) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that existing and planned transportation improvements are capable of supporting the proposed development by the time development is completed with conditions of approval. The determination of conditions of approval will be established through the Architectural Review process based on the Industrial Master Plan requirement to submit a traffic analysis report for each phase of development when it is proposed. The Council additionally found that there are specific segments of the transportation system, which need to be addressed based on other traffic work previously conducted in the vicinity of the Novellus project. This information is contained in the staff report.

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that City water supply is 10.8 million gallons per day (mgd) and is adequate to accommodate the Phase 1 development area. The City's water supply may be inadequate to support Phases 2-4 and other development in the City without an additional water source. Final determination on water supply for each phase shall be established through the Architectural Review process. The Council also found that water pressure and volumes for the Novellus development need to be reviewed through the Architectural Review process with the possible requirement to extend the water transmission line to the Novellus site.

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that planned sanitary sewer system upgrades have been identified by the City and the Unified Sewerage Agency. The Council found the existing sanitary sewer system is inadequate to support Phases 1-4 and that system upgrades are necessary. The Council additionally found that Novellus will need to mitigate their impacts on the sewer system based on options identified in the staff report. Final decisions on the types of mitigation will be reviewed through the Architectural Review process.

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that the public storm water system is inadequate to meet detention requirements for run-off from the proposed development and that Novellus will need to detain storm water on site. Final determination on the method of storm water detention shall be reviewed through the Architectural Review process.

Criterion: TDC 37.030(2) The location, design, size, color and materials of the exterior of all structures for the proposed development and use is compatible with the character of other developments within the same general vicinity.

The City Council agrees with the findings in the Master Plan submittal, section 37.030(2) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that the proposed Novellus Master Plan is compatible with other development in the general vicinity based on building locations as depicted in Exhibit C, Attachments E, G and Sheet SD-5; building designs as depicted in Exhibit C, Pages 11-12 and Attachment F; building sizes as depicted in Exhibit C, Attachment E; pallet of building colors that include earth tones; and palette of building materials consisting of masonry such as brick or block, sandstone architectural metal siding and window glazing as described in Exhibit C and as requested by Novellus Systems, Inc. at the January 22, 2001 public hearing.

The City Council also found that final determinations of building colors and materials must be reviewed through the City Architectural Review process.

TDC 37.030(3) The internal circulation, building location and orientation, street frontage, parking, setbacks, building height, lot size, and access are in accordance with TDC Chapter 62 unless other wise approved through the Industrial Master Plan.

The City Council agrees with the findings in the Master Plan submittal, section 37.030(2) in Exhibit C and adopts them in support of the criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that the proposed internal circulation with the proposed ring road allowing internal circulation between parking areas and public right-of-way access locations; building locations and orientation predominantly on the south half of the site where additional building massing has been identified; street frontage as proposed in the concept for partitioning the 58-acre site into three individual parcels; parking proposed with both surface spaces and structured parking totaling 2,750 spaces; setbacks as identified with modifications through the alternative methods capability in the Industrial Master Plan; building height which in the Novellus proposal will comply with TDC 62.080; lot size as proposed in the concept for partitioning the 58-acre site into three individual parcels; and access that totals six (6) locations de-emphasizing SW Tualatin Road are in accordance with TDC Chapter 62 unless other wise approved through the Industrial Master Plan.

F. **CONDITIONS OF APPROVAL:**

1. Alternative Methods

- a. To meet the requirements of the TDC, through the Architectural Review process, building setbacks shall not be approved less than 68 feet to SW Leveton Drive and 98 feet to SW 108th Avenue after required dedication of right-of-way, turn lane and intersection improvements. Building setbacks to SW Tualatin Road shall meet the requirements of TDC 62.060(2)(a) and 62.080(2). Interior side yard building setbacks shall be no less than 20 feet, except setbacks to the common property line with JAE shall be no less than 100 feet.
- b. To meet the requirements of the TDC, through the Architectural Review process parking/circulation setbacks shall not be approved less than ~~108~~⁵⁰ feet to SW Leveton Drive and 43 feet to SW 108th Avenue after required dedication of right-of-way, turn lane and intersection improvements. Interior side yard parking and circulation setbacks shall be as shown on Exhibit 2, Sheet SD-5, dated December 22, 2000.
- c. As mitigation for a reduced parking and circulation setbacks to SW Tualatin Road an earthen berm with landscaping consisting of deciduous street trees, evergreen trees and shrubs shall be provided along SW Tualatin Road, the large evergreen trees along the roadway shall be retained and the berm and landscaping shall be installed as part of the Phase 1 development. The final design of the berm and landscaping shall be reviewed through the Architectural Review process.
- d. Through the Partition and Architectural Review processes shared parking and circulation easements shall be reviewed and evaluated. Where necessary, shared parking and circulation easements shall be established.
- e. To meet the requirements of the TDC, through the Architectural Review process final parking areas shall be determined and the stand of trees behind the former Oki manufacturing building shall be retained or integrated into the parking lot design as determined appropriate.
- f. To ensure that vehicular access requirements meet the TDC, through the Partition and Architectural Review processes shared site vehicular accesses will need to be reviewed and evaluated. Where necessary, shared site vehicular access easements shall be established.

- g. To meet the requirements of the TDC, through the Architectural Review processes loading areas that encroach onto a separate adjoining lot, excluding JAE, will need to be reviewed and evaluated. If encroachments off-site and into parking areas are necessary the Architectural Review process shall determine the appropriateness.
- h. Through the Partition and Architectural Review processes shared on-site utilities shall be reviewed and evaluated. Where necessary, easements shall be established.
- i. The applicant shall submit a partition application to the City to partition the site into the proposed three individual lots.
- j. The applicant's request for an alternative method in parking lot landscaping requirements is acceptable for surface parking proposed for the south-half of the site as depicted in the applicant's proposal (Exhibit 2). Proposed parking lot landscaping for the north-half of the site shall follow the standard requirements of Chapter 73 of the TDC.
- k. The applicant shall be required to submit an Architectural Review application meeting the requirements of the TDC and include the alternative methods approved through the Industrial Master Plan. If future modifications to an approved Industrial Master Plan are necessary, a new Industrial Master Plan application shall be submitted to the City for review.

2. Public Facilities

- a. Through the Architectural Review process Novellus shall address the ODOT recommended condition of approval concerning the 99W/124th Avenue intersection contained in Exhibit D.
- b. At the time of submittal of Architectural Review applications for each phase of on-site development a traffic analysis report shall be submitted and improvements identified. The traffic analysis report shall be reviewed through the Public Facilities component of the Architectural Review process and conditions applied.
- c. Construction of Phases 2-4, when proposed, shall be evaluated through the Architectural Review process on the availability of an adequate City water supply to service the proposed development phase.
- d. Through the Architectural Review process the volume and pressure needs for each development phase shall be evaluated. Based on

calculations, the water transmission line may be required to be extended to serve the development.


- e. Through the Architectural Review process the applicant shall submit evaluations on the downstream sanitary sewer system and the discharge rates and volumes per proposed development phase and participate where required in mitigation measures. Recycling and reuse options shall be considered by the applicant to reduce the discharge rates and volumes. The applicant shall work with the City to develop a program to release the sanitary sewer discharge during off-peak hours.
- f. Through the Architectural Review process the adequacy of on-site storm water detention shall be evaluated and Novellus shall provide supporting documentation and calculations showing adequacy of the storm system. At the time road widening for SW Leveton Drive or SW 108th Avenue is required, Novellus shall submit drawings and calculations for water quality and detention for review and approval as part of the Architectural Review process.

3. Location, Design, Color and Materials

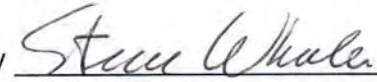
- a. Through the Architectural Review process, final material colors shall be presented for approval based on the palette of colors identified in the Industrial Master Plan.
- b. Through the Architectural Review process, final building materials shall be presented for approval based on the palette of materials identified in the Industrial Master Plan and as requested by Novellus Systems, Inc. at the January 22, 2001 public hearing.

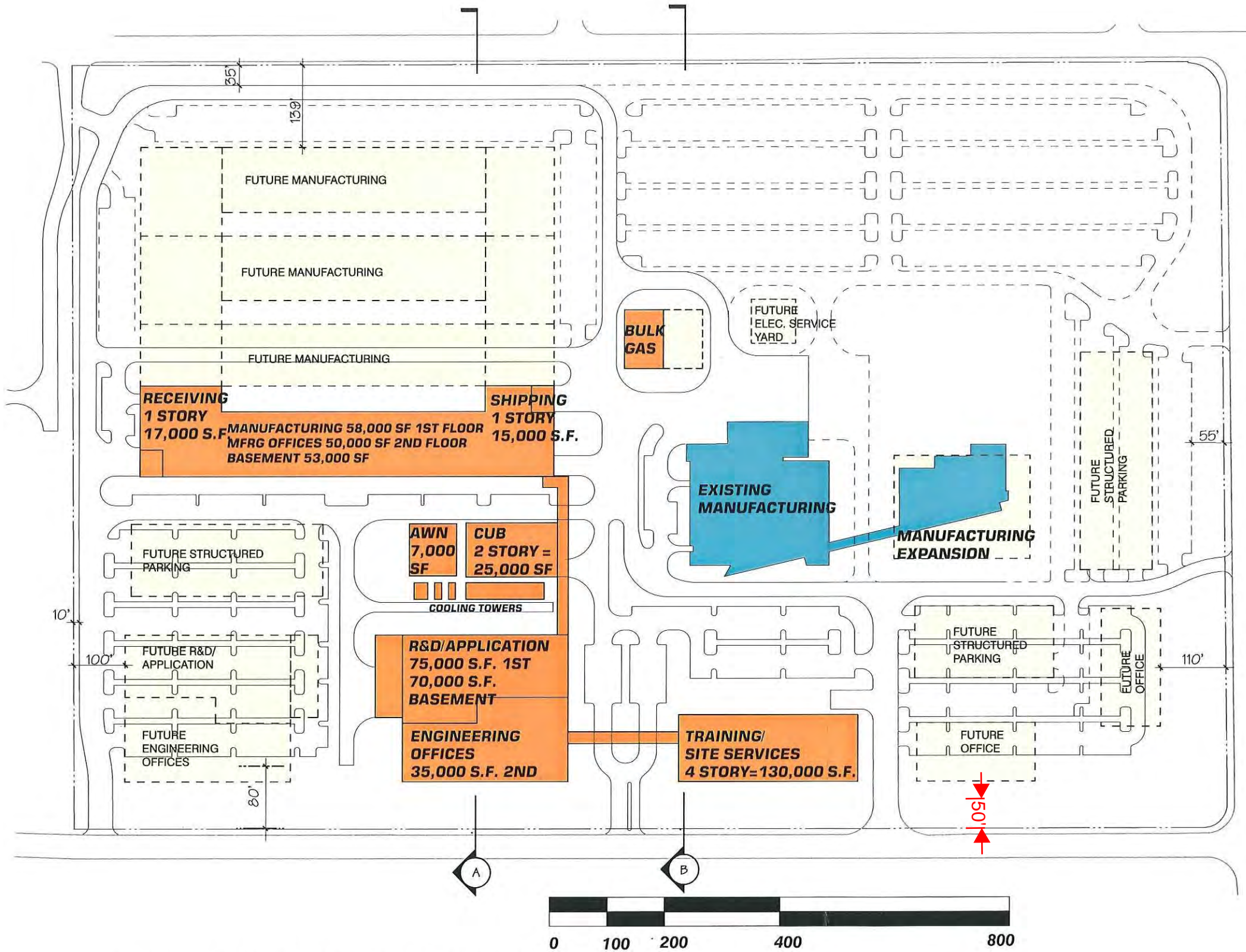
INTRODUCED AND ADOPTED this 22nd day of January, 2001

CITY OF TUALATIN, OREGON

By  _____
Mayor

ATTEST:

By  _____
City Recorder



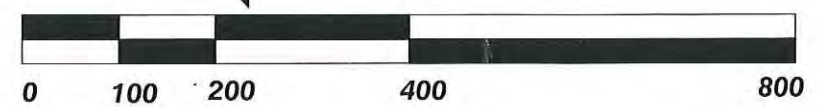
- EXISTING BUILDINGS**
- PHASE I CONSTRUCTION**
- FUTURE BUILDINGS**

SQUARE FEET:

EXISTING	75,000 SF
PHASE ONE	535,000 SF
FUTURE PHASES	905,500 SF
TOTAL	1,440,000 SF

PARKING:

EXISTING	200 CARS
PHASE ONE	850 CARS
FUTURE PHASES	1700 CARS
TOTAL	2750 CARS



NOVELLUS MASTERPLAN

CONCEPTUAL SITE MASTERPLAN
TUALATIN, OREGON

DATE: 01.04.01
2000321

GROUP
MACKENZIE



Cash Register Receipt

City of Tualatin

Receipt Number
WEB6136

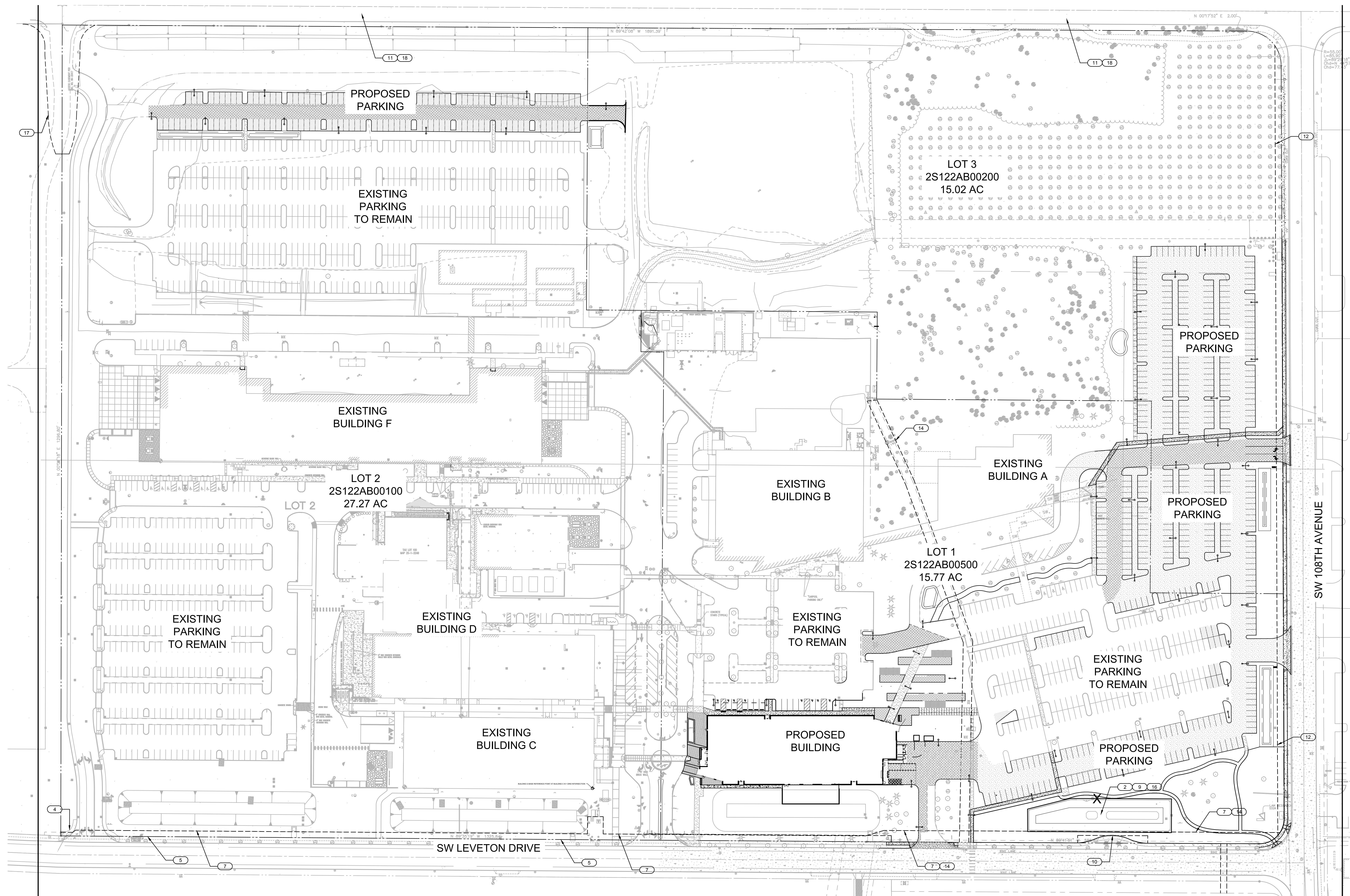
DESCRIPTION	ACCOUNT	QTY	PAID
ProjectTRAK			\$2,105.00
IMP22-0001	Address: 11155 SW LEVETON DR	Apn: 2S122AA00500	\$2,105.00
OTHER APPLICATION FEES			\$2,105.00
INDUSTRIAL MASTER PLAN	XR02	0	\$2,105.00
TOTAL FEES PAID BY RECEIPT: WEB6136			\$2,105.00

Date Paid: Thursday, August 18, 2022

Paid By: Lam Research

Cashier: ECON

Pay Method: eCredit Card 009778



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 THESE DRAWINGS ARE THE PROPERTY OF
 MACKENZIE AND ARE NOT TO BE USED
 OR REPRODUCED IN ANY MANNER
 WITHOUT PRIOR WRITTEN PERMISSION

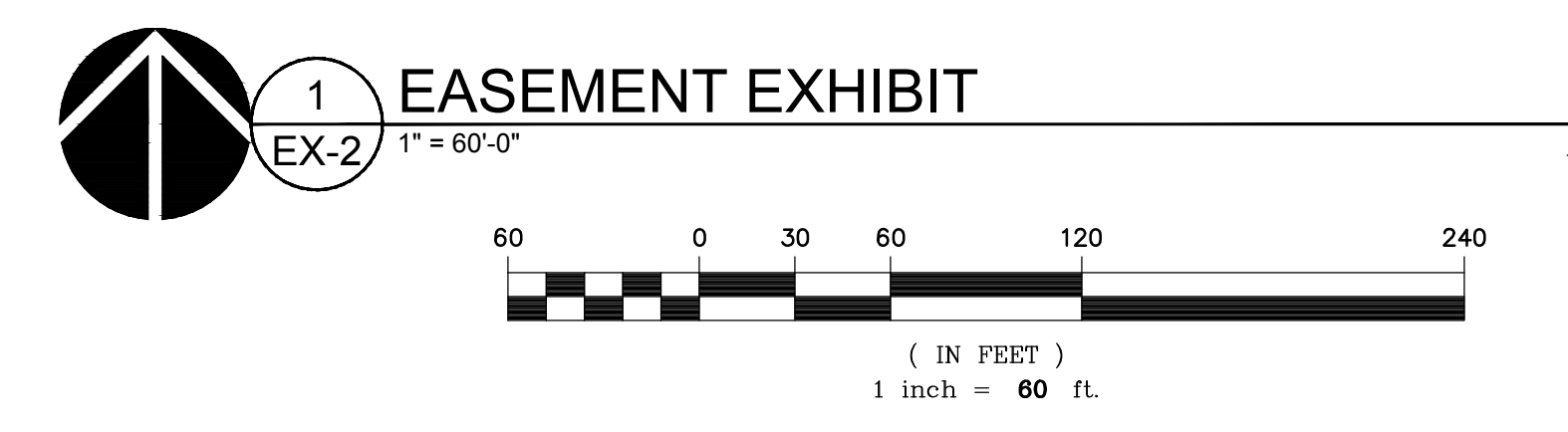
REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:
**TITLE REPORT
 EASEMENTS
 EXHIBIT**

DRAWN BY: SJS
 CHECKED BY: BDN
 SHEET

EX-2

JOB NO. **2220087.00**



After Recording Return to:
City of Tualatin
18880 SW Martinazzi Avenue
Tualatin, OR 97062

Washington County, Oregon
08/16/2021 08:35:11 AM
D-AE Cnt=1 Stn=61 N MEJIA
\$55.00 \$5.00 \$11.00 \$60.00 \$20.00 - Total =\$151.00



02791235202100886900110114

I, Joe Nelson, Interim Director of Assessment and Taxation and Ex-Officio County Clerk for Washington County, Oregon, do hereby certify that the within Instrument of writing was received and recorded in the book of records of said county.



Joe Nelson, Interim Director of Assessment and Taxation, Ex-Officio County Clerk

PRIVATE STORMWATER FACILITIES AGREEMENT

This Agreement is made and entered into this 29 day of JULY 2021, by and between City of Tualatin, a municipal corporation of the State of Oregon (City) and Lam Research Corporation (Owner).

RECITALS

A. Owner has developed or will develop the Facilities listed below. (List the type of private stormwater facilities on site and the quantity of each type).

Facility type: Extended Dry Basin (Pond B) Quantity: 1 @ +/- 18,000 SF

B. The Facilities enable development of property while mitigating the impacts of additional surface water and pollutants associated with stormwater runoff prior to discharge from the property to the public stormwater system. The consideration for this Agreement is connection to the public stormwater system.

C. The property benefited by the Facilities and subject to the obligation of this Agreement is described in Exhibit A (Property) attached hereto and incorporated by reference.

Tax Lot ID 2S122AB00100
11361 SW Leveton Dr Tualatin, OR 97062
North of SW Leveton Drive and West of SW 10th Avenue
Exhibit A – Property Legal Description
Exhibit B – Copy of Recorded Survey
Exhibit C – Pond B Site Map

D. The Facilities are designed by a registered professional engineer to accommodate the anticipated volume of runoff and to detain and treat runoff in accordance with Clean Water Services' Design and Construction Standards.

E. Failure to inspect and maintain the Facilities can result in an unacceptable impact to the public stormwater system.

NOW, THEREFORE, it is agreed by and between the parties as follows:

1. **OWNER INSPECTIONS** City shall provide Owner an Operations and Maintenance Plan (O&M Plan) for each Facility. Owner agrees to operate, inspect and maintain each Facility in accordance with the current O&M Plan and any subsequent modifications to the Plan. Owner shall maintain a log of inspection activities. The log shall be available to City upon request or during City inspections.
2. **DEFICIENCIES** All aspects in which the Facilities fail to satisfy the O&M Plan shall be noted as “Deficiencies”.
3. **OWNER CORRECTIONS** All Deficiencies shall be corrected at Owner’s expense within thirty (30) days after completion of the inspection. If more than 30 days is reasonably needed to correct a Deficiency, Owner shall have a reasonable period to correct the Deficiency so long as the correction is commenced within the 30-day period and is diligently prosecuted to completion.
4. **CITY INSPECTIONS** Owner grants City the right to inspect the Facilities. City will endeavor to give ten (10) days prior written notice to Owner, except that no notice shall be required in case of an emergency. City shall determine whether Deficiencies need to be corrected. Owner (at the address provided at the end of this Agreement, or such other address as Owner may designate in writing to City) will be notified in writing through the US Mail of the Deficiencies and shall make corrections within 30 days of the date of the notice.
5. **CITY CORRECTIONS** If correction of all Owner or City identified Deficiencies is not completed within thirty (30) days after Owner’s inspection or City notice, City shall have the right to have any Deficiencies corrected. City (i) shall have access to the Facilities for the purpose of correcting such Deficiencies and (ii) shall bill Owner for all costs reasonably incurred by City for work performed to correct the Deficiencies (City Correction Costs) following Owner’s failure to correct any Deficiencies in the Facilities. Owner shall pay City the City Correction Costs within thirty (30) days of the date of the invoice. Owner understands and agrees that upon non-payment, City Correction Costs shall be secured by a lien on the Property for the City Correction Cost amount plus interest and penalties.
6. **EMERGENCY MEASURES** If at any time City reasonably determines that the Facilities create any imminent threat to public health, safety or welfare, City may immediately and without prior notice to Owner take measures reasonably designed to remedy the threat. City shall provide notice of the threat and the measures taken to Owner as soon as reasonably practicable, and charge Owner for the cost of these corrective measures.
7. **FORCE AND EFFECT** This Agreement has the same force and effect as any deed covenant running with the land and shall benefit and bind all owners of the Property present and future, and their heirs, successors and assigns.
8. **AMENDMENTS** The terms of this Agreement may be amended only by mutual agreement of the parties. Any amendments shall be in writing, shall refer specifically to this Agreement, and shall be valid only when executed by the owners of the Property, City, and recorded in the Official Records of the county where the Property is located.
9. **PREVAILING PARTY** In any action brought by either party to enforce the terms of this Agreement, the prevailing party shall be entitled to recover all costs, including reasonable attorney’s fees as may be determined by the court having jurisdiction, including any appeal.
10. **SEVERABILITY** The invalidity of any section, clause, sentence, or provision of this Agreement shall not affect the validity of any other part of this Agreement, which can be given effect without such invalid part or parts.

IN WITNESS WHEREOF, Owner and City have signed this Agreement.

NOTARIZE DOCUMENT BELOW

INDIVIDUAL OWNERS SIGN BELOW

CORPORATE, LLC, PARTNERSHIP, TRUST OR OTHER LEGAL ENTITY SIGN BELOW

Owner (Individual)

Lam Research Corporation

(Entity name)

Owner (Individual)

By: Carter Lake

(Sign here for entity)

Title: MANAGING DIRECTOR
LAM RESEARCH CORP.

[Use this notary block if OWNER is an individual.]

STATE OF _____)
County of _____)

~~This instrument was acknowledged before me this _____ day of _____, 20____~~
~~by _____~~

Notary Public

[Use this notary block if OWNER is an entity.]

STATE OF CALIFORNIA)
County of SANTA CRUZ)

This instrument was acknowledged before me on 29 JULY 2021 (date)
by Carter Lake (name of person) as
Managing Director (title) of Lam Research Corporation (name of entity).

SEE ATTACHED

Notary Public

CITY OF TUALATIN

APPROVED AS TO FORM

By: [Signature]

City Manager

[Signature]

City Attorney

CALIFORNIA ACKNOWLEDGMENT

CIVIL CODE § 1189

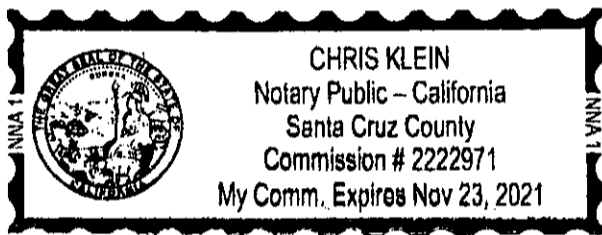
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }
County of Santa Cruz }

On 07/29/2021 before me, Chris Klein, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Carter Lake
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Private Storm water Facilities Agreement

Document Date: 07/29/2021 Number of Pages: 3

Signer(s) Other Than Named Above: None

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____
 Corporate Officer – Title(s): _____
 Partner – Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer is Representing: _____

Signer's Name: _____
 Corporate Officer – Title(s): _____
 Partner – Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer is Representing: _____

TAX LOT 2803
TAX MAP 2S115C

SW 115TH
AVENUE

TL 2500
TM 2S115DC

DAVID'S FOX RUN

NO. 1 AND NO. 2

IRONWOOD

SW TUALATIN ROAD

TAX LOT 100
TAX MAP 2S122BA

TAX LOT 800
TAX MAP 2S122AA

TAX LOT 100
TAX MAP 2S122AB

BLDG F

TAX LOT 200
TAX MAP 2S122BA

CMS

BLDG E

BLDG D
NORTH

TAX LOT 500
TAX MAP 2S122AA

BLDG D

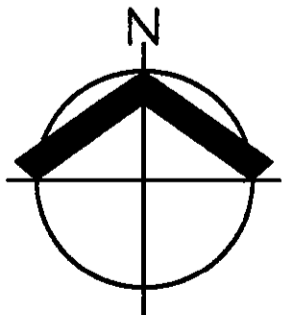
POND B

BLDG C

SW LEVETON DRIVE

TAX LOT 300
TAX MAP 2S12200

TAX LOT 400
TAX MAP 2S12200



SCALE: 1" = 200 FEET



200 0 40 100 200
ORIGINAL PAGE SIZE: 8.5" x 11"

DATE: 07/09/2021

POND B
SITE MAP

EXHIBIT
C

AKS ENGINEERING & FORESTRY, LLC
12965 SW HERMAN RD, STE 100
TUALATIN, OR 97062
503.563.6151 WWW.AKS-ENG.COM



DRWN: JDS
CHKD:
AKS JOB:
7860

JUN 9 1989

After recording return to:
City of Tualatin
18880 S. W. Martinazzi Avenue
Tualatin, Oregon 97062-0369
Attn: Jeff Tashman

89-26084
Washington County

55-
le-
FA

DEED OF DEDICATION
PUBLIC RIGHT-OF-WAY AND EASEMENTS

KNOW ALL MEN BY THESE PRESENTS that First Interstate Bank of Oregon, N.A., as personal representative of the estate of William Leveton, hereinafter "Grantor," hereby grants unto the City of Tualatin, Oregon, a municipal corporation of the State of Oregon, hereinafter "Grantee," its successors in interest and assigns the following described parcels and property rights, upon, over and across Grantor's property, located in Washington County, Oregon, more specifically described as set forth herein.

Grantor hereby covenants to and with the Grantee and Grantee's successors in interest and assigns that Grantor is lawfully seized in fee simple of the premises herein conveyed and granted free and clear of all liens, encumbrances, easements and restrictions, except:

1. Statutory Powers and Assessments of the Unified Sewerage Agency; and
2. Conditions and Restrictions, contained in City of Tualatin Ordinance No. 674-85, adopting the Leveton Tax Increment Plan.

Grantor and its heirs, successors in interest, assigns and personal representatives shall warrant and forever defend the said premises and every part thereof to the Grantee, its successors in interest and assigns against the lawful claims and demands of all persons claiming by, through, or under the Grantor.

1. Right-of-Way

Grantor conveys to Grantee the following described property with tenements, hereditaments and appurtenances, to be used and held by the Grantee for public street, right-of-way and public utility purposes, bounded and described on Exhibits A, B and C which correspond to three distinct parcels, Parcel No. 100-A-1, Parcel No. 100-B-1 and Parcel No. 300-C-1. Parcels described in Exhibits A and B are portions of Tax Lot 100 and the parcel described in Exhibit C is a portion of Tax Lot 300, all three which are located within Section 22, Township 2 South, Range 1 West of the Willamette Meridian.

2. Permanent Slope Easement (Parcel No. 100-A-2)

Grantor grants to the Grantee the following described property for the purpose of allowing Grantee, its successors in interest and assigns the permanent right to construct, reconstruct, operate and maintain a slope in support of the adjacent Right-of-Way. The permanent slope easement is described as:

A strip of land, located on Tax Lot 100, Section 22, Township 2 South, Range 1 West of the Willamette Meridian, more particularly

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Recorded By
First American Title Insurance Company of Oregon
No. 367826

described as a strip of land 25.00 feet in width adjoining, abutting, and for the full length of the Westerly line of the right-of-way described on Exhibit A. Said permanent slope easement to extend from the quarter section line of said Section 22 to the Southerly Right-of-Way line of Leveton Drive.

Contains an area of 22,676.6 square feet, more or less.

3. Permanent Slope and Utility Easements

Grantor grants to the Grantee the following described property for the purposes of allowing Grantee, its successors in interest and assigns the permanent right to construct, reconstruct, operate and maintain a slope in support of the adjacent public right-of-way, and public utilities, including, but not limited to conduit, lines, pipes and other utility facilities.

The Permanent Slope and Utility Easements are described as follows:

- A. Parcel No. 100-A-3. A strip of land 25.00 feet in width adjoining, abutting, and for the full length of the Easterly line of the Right-of-Way described in Exhibit A. Said Permanent Slope and Utility Easement to extend from the quarter section line of said Section 22 to the Southerly Right-of-Way line of Leveton Drive.

Contains an area of 23,398.3 square feet, more or less.

- D. Parcel No. 100-B-2. A strip of land 25.00 feet in width adjoining, abutting, and for the full length of the Southerly line of the Right-of-Way described in Exhibit B. Said Permanent Slope and Utility Easement to terminate at the quarter section line of said Section 22, referred to in the description of Right-of-Way in Exhibit B.

Also, that portion of said Tax Lot 100 bounded by the following bearings and distances type description:

Commencing at the Point of Beginning of the centerline of the Right-of-Way; thence, S 13° 39' 21" E 80.00 feet; thence, S 76° 20' 39" W 50.00 feet; thence, N 13° 39' 21" W 160.00 feet; thence, N 76° 20' 39" E 95.07 feet; thence, S 00° 03' 39" W 51.47 feet; thence, S 76° 20' 39" W 32.87 feet; thence, S 13° 39' 21" E 30.00 feet to said Point of Beginning.

Also, that portion of said Tax Lot 100 bounded by the following bearings and distances type description;

Commencing at the end point of the Right-of-Way centerline, described in Exhibit B, said point being N 00° 03' 39" E 1303.14 feet from the center of Section 22; thence, S 00° 03' 39" W 80.08 feet; thence, S 87° 27' 19" E 46.53 feet; thence, N 02° 32' 41" E 160.00 feet; thence, N 87° 27' 19" W 53.47 feet; thence S 00° 03' 39" W 80.08 feet to said above described point.

- JUN 9 1989
- Contains an area of 82,703.2 square feet, more or less.
- C. Parcel No. 300-C-2. A strip of land 25.00 feet in width adjoining the Easterly line of the Right-of-Way described in Exhibit C. Said 25.00 foot strip of land to extend from the North line of Lot 3 of "Eddy Acres" more particularly described in Deed recorded in Book 1000 Page 719, Deed Records of Washington County, Oregon, to the point of intersection with the Northerly line of S.W. Herman Road.

Contains an area of 17,913.9 square feet, more or less.

4. Permanent Utility Easements

Grantor grants to the Grantee the following described property for the purpose of allowing Grantee, its successors and assigns the permanent right to construct, reconstruct, operate and maintain a public utilities, including, but not limited to conduit, lines, pipes and other utility facilities.

The Permanent Utility Easements are described as follows:

- A. Parcel No. 100-D-1. A strip of land 60.00 feet in width, being a portion of that parcel of real property described in a deed to William Leveton, recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said 60.00 foot wide strip of land lying 30.00 feet on each side of the following described centerline:

Commencing at the terminus of the centerline in the Right-of-Way described in Exhibit B; thence, S 87° 27' 19" E 1327.45 feet at a point on the East line of the West half of the Northwest Quarter of Section 22, said point also being on the East line of Tax Lot 100, Section 22, Township 2 South, Range 1 West of the Willamette Meridian.

Contains an area of 79,464.8 square feet, more or less.

- B. Parcel No. 100-E-1. A portion of that parcel of real property described in a deed to William Leveton, recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said area to be bounded by the following bearings and distances type description.

Commencing at the center of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence, N 89° 52' 01" E 931.25 feet along the East quarter section line to a point on the North line of S.W. Herman Road; thence, N 67° 16' 31" E 88.76 feet along said North Right-of-Way to the Point of Beginning; thence, N 00° 15' 58" W 285.90 feet; thence, S 89° 41' 28" E 320.02 feet to a point on the East line of subject parcel Tax Lot 100; thence, S 00° 15' 58" E 150.41 feet along said East line to the North line of said S.W. Herman Road; thence, S 67° 16' 31" W 346.26 feet along said North line of S.W. Herman Road to the Point of Beginning.

[Signature]
DWA

JUN 9 1989

Contains an area of 69,810.0 square feet, more or less.

- C. Parcel No. 100-F-1. A strip of land 60.00 feet in width, the East line of which being the East line of that parcel of real property described in a deed to William Leveton recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said 60.00 foot wide strip of land lying 30.00 feet on each side of the following described centerline, the side lines of which extend or terminate at the North line of the above described Permanent Easement Parcel No. 100-E-1:

Commencing at a point on the South line of the above described Permanent Utility Easement Parcel No. 100-D-1, said point being N 87° 27' 19" W 30.04 from the intersection of the South line of said Parcel No. 100-D-1 with said East property line; thence, S 00° 15' 58" E 894.90 feet to the terminus of this center line, said point being N 76° 09' 52" E 1340.70 feet from the center of Section 22, Township 2 South, Range 1 West of the Willamette Meridian.

Contains an area of 53,693.7 square feet, more or less.

- D. Parcel No. 100-G-1. A strip of land 25.00 feet in width, being a portion of that parcel of real property described in a deed to William Leveton recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said 25.00 foot wide strip of land lying 12.5 feet on each side of the following described center line, the sides of which to extend or terminate at the East line of Permanent Easement Parcel No. 100-E-1:

Commencing at the center of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence, S 89° 48' 43" W 862.01 feet along the West quarter section line of said Section 22; thence, N 00° 21' 39" W 26.50 feet to a point on the East line of Permanent Slope and Utility Easement Parcel No. 100-A-3; thence, N 89° 48' 43" E 862.10 feet; thence, N 89° 52' 01" E 925.97 feet; thence, N 67° 16' 31" E 94.43 feet to a point on the West line of Permanent Utility Easement Parcel No. 100-E-1, said point being N 86° 19' 17" E 1015.08 feet from said center of Section 22.

Contains an area of 47,062.4 square feet, more or less.

5. Temporary Construction Easements for Road Construction

Grantor grants to the Grantee the following described property for the purpose of design and construction of a hard surfaced roadway on adjoining property. This temporary construction easement shall expire when construction of the adjoining roadway is completed. Grantee agrees to restore the disturbed portion of the easement areas to as near the same condition as they were found before such work was undertaken, such restoration to be completed as soon as is reasonably practicable after consummation of the work in question, provided that Grantee may rough

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seed in grass the easement areas.

The Temporary Construction Easements for road construction are described as follows:

- A. Parcel No. 100-A-4. A strip of land 50.00 feet in width adjoining, abutting and for the full length of the Westerly line of the Right-of-Way described in Exhibit A. Also, a strip of land 50.00 feet in width adjoining, abutting and for the full length of the Easterly line of the Right-of-Way described in Exhibit A. Said temporary construction easements to extend from the quarter section line of said Section 22 to the Southerly Right-of-Way line of Leveton Drive.

Contains an area of 92,216.5 square feet, more or less.

- B. Parcel No. 100-B-3. A strip of land 50.00 feet in width adjoining, abutting and for the full length of the South line of the Right-of-Way described on Exhibit B. Said temporary construction easement to extend to and terminate at the quarter section line of Section 22.

Contains an area of 32,452.2 square feet, more or less.

- C. Parcel No. 300-C-3. A strip of land 50.00 feet in width adjoining, abutting and for the full length of the East line of the Right-of-Way described in Exhibit C.

Contains an area of 35,684.1 square feet, more or less.

6. Temporary Construction Easements for Drainage

Grantor grants to the Grantee the following described property for the purpose of construction, reconstruction, operation, maintenance and use of a temporary storm drainage facility along the surface of the following described property:

- A. Parcel No. 100-H-1. A strip of land 15.00 feet in width over and across that parcel of real property described in a deed to William Leveton recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon. Said 15.00 foot wide strip of land lying 7.50 feet on each side of the centerline of an existing surface drainage ditch more particularly described as follows:

Commencing at a standard Bernsten type monument marking the center of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence, N 55° 49' 37" W 1046.39 feet to the Point of Beginning of the centerline to be described herein, said point being on the East line of Slope and Utility Easement Parcel No. 100-A-3, said point also being on the centerline of the above referenced existing surface drainage ditch; thence, following said drainage ditch, N 85° 37' 53" E 422.30 feet; thence, N 85° 21' 40" E 520.60 feet; thence, N 84° 36' 13" E 119.83 feet; thence, S 63° 42' 55" E 522.13 feet

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to the terminus of this centerline description, said terminus point being N 55° 11' 15" E 795.78 feet, more or less, from said center of Section 22.

Contains an area of 23,722.9 square feet, more or less.

This easement shall expire upon completion and acceptance of alternate drainage improvements located in Permanent Utility Easement Parcel No. 100-G-1.

7. Temporary Construction Easement for Construction of Utility Facility

- A. Grantor grants to the Grantee the following described property for the purpose of design and construction of a permanent utility along adjoining land. This temporary construction easement shall expire upon completion and acceptance of utility improvements within Permanent Utility Easement Parcel No. 100-G-1. Grantee agrees to restore the disturbed portion of temporary easement area to as near the same condition as it was found before such work was undertaken, such restoration to be completed as soon as is reasonably practicable after consummation of the work in question, provided that Grantee may rough seed in grass the temporary easement area.

The following construction easement for utility facilities is described as follows:

Parcel No. 100-G-2. A 50.00 foot wide strip of land adjoining and abutting the North line of the above described Permanent Utility Easement Parcel No. 100-G-1. The side lines of said Temporary Construction Easement are to be extended or terminated at the West line of Temporary Construction Easement Parcel No. 100-E-2.

Contains an area of 94,124.8 square feet, more or less.

- B. Grantor grants to the Grantee the following described property for the purpose of design and construction of a permanent utility along adjoining land. This temporary construction easement shall expire upon completion and acceptance of utility improvements within Permanent Utility Easement Parcel No. 100-E-1. Grantee agrees to restore the disturbed portion of temporary easement area to as near the same condition as it was found before such work was undertaken, such restoration to be completed as soon as is reasonably practicable after consummation of the work in question, provided that Grantee may rough seed in grass the temporary easement area.

Parcel No. 100-E-2. A 50.00 foot wide strip of land adjoining and abutting the North and West lines of the above described Permanent Utility Easement Parcel No. 100-E-1. The side lines of said Temporary Construction Easement are to be extended or terminated at the North line of Temporary Construction Easement Parcel No. 100-G-2.

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Contains an area of 25,762.1 square feet, more or less.

Grantee shall and does hereby Indemnify and hold Grantor, its heirs, successors, assigns, employees and agents harmless from and against all losses, costs, claims or damages of any nature including (without limitation) taxes, liens, levies, assessments, attorneys' fees, court costs and other costs and expenses arising out of, related to, or in any way connected with the exercise of rights granted by the easements herein described.

Grantor reserves the right to use the surface of the land on which easements are granted for use which are not inconsistent with and do not interfere with the use of the subject easements. No building or other utility shall be placed upon, under or within the property subject to the foregoing easements without the written permission of the City. Except with respect to easements which are designed to use the surface of the ground, upon completion of the construction, reconstruction, operation and maintenance of the easement rights, Grantee shall restore the disturbed portion of the easement area to as near the same condition as it was found before such work was undertaken, such restoration to be completed as soon as practicable after consummation of the work in question, provided Grantee may rough seed in grass those areas which were planted in cash crops at the time they were disturbed. Notwithstanding the foregoing nothing contained herein shall be construed as requiring Grantee to maintain landscaping, parking, and any other ground surface improvements made or constructed by Grantor or Grantor's heirs, successors or assigns.

The true and actual consideration for this transfer is \$184,310.00.

Executed this 5th day of May, 1989.

FIRST INTERSTATE BANK OF OREGON, N.A.,
personal representative of the
Estate of William Leveton

BY [Signature]

NAME James M. Wilson

TITLE Vice President

BY [Signature]

NAME David R. Allen

TITLE Assistant Vice President

JUN 9 1989

STATE OF OREGON)
) ss.
COUNTY OF MULTNOMAH)

On this fiAh day of May, 1989, before me, the undersigned, a Notary Public, personally appeared James M. Wilson, the Vice President and David R. Allen, the Assistant Vice President of First Interstate Bank of Oregon, N.A. personal representative of the Estate of William Leveton, and acting on behalf of the bank and of the Estate, acknowledged the foregoing Instrument as the voluntary act and deed of the bank and the Estate.

Notary Public for Oregon

My Commission Expires

Sylvia T. Jones
SYLVIA T. JONES
NOTARY PUBLIC OREGON
My Commission Expires 6-10-89

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EXHIBIT A

RIGHT-OF-WAY ACQUISITION Parcel No. 100-A-1

A strip of land 60.00 feet in width, being a portion of that parcel of real property described in a deed to William Leveton recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said 60.00 foot wide strip of land bounded by the following bearings and distances type description:

Commencing at a standard Bernsten type monument marking the center of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence, S 89° 48' 32" W 947.01 feet along the quarter section line to the Point of Beginning of said Right-of-Way to be described herein; thence, N 00° 21' 39" W 780.11 feet to the beginning of a nontangent compound curve to the left having a radius of 370.00 feet through a central angle of 11° 54' 38", the long chord of which bears N 06° 18' 58" W 76.78 feet to the point of compound curvature, said point being the beginning of a nontangent curve to the left having a radius of 50.00 feet through a central angle of 92° 59' 13", the long chord of which bears N 56° 45' 53" W 72.53 feet to a point on the South Right-of-Way line of Leveton Drive, described on Exhibit B, thence following said South Right-of-Way along a nontangent curve to the left having a radius of 1030.00 feet through a central angle 08° 32' 30", the long chord of which bears N 70° 28' 15" E 153.41 feet; thence, departing said South Right-of-Way, along a nontangent compound curve to the left having a radius of 50.00 feet through a central angle of 80° 53' 52", the long chord of which bears S 25° 45' 04" W 64.88 feet to the point of compound curvature, said point being the beginning of a nontangent curve to the left having a radius of 430.00 feet through a central angle of 14° 20' 13", the long chord of which bears S 7° 31' 46" E 107.32 feet; thence, S 00° 21' 39" E 780.29 feet to a point on said quarter section line of Section 22; thence, along said line S 89° 48' 32" W 60.00 feet to the Point of Beginning of this description.

Contains an area of 56,213 square feet, more or less.

686 6 JUN 9 989

EXHIBIT B

RIGHT-OF-WAY ACQUISITION Parcel No. 100-B-1

A strip of land 60.00 feet in width, being a portion of that parcel of real property described in a deed to William Leveton recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said 60.00 foot wide strip of land lying 30.00 feet on each side of the following described centerline:

Commencing at a standard Bernsten type monument marking the center of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence, N 54° 05' 03" W 1493.25 feet to the Point of Beginning of said centerline; thence, along said centerline N 76° 20' 39" E 156.42 feet to the beginning of a tangent curve to the left having a radius of 1000.00 feet through a central angle of 05° 59' 29" the long chord of which bears N 73° 20' 55" E 104.52 feet, said point being the intersection of this centerline with that centerline described in Right-of-Way Acquisition for the Parcel described in Exhibit A at Equation Station 2+60.99=17+39.11; thence, continuing along said 1000.00 foot radius curve through a central angle of 11° 00' 13" the long chord of which bears N 64° 51' 04" E 191.75 feet; thence, N 59° 20' 58" E 393.60 feet to the beginning of a tangent curve to the right having a radius of 600.00 feet through a central angle of 33° 11' 44" the long chord of which bears N 75° 56' 49" E 342.78 feet; thence, S 87° 27' 19" E 114.00 feet to a point on the quarter section line of said Section 22, said point being N 00° 03' 39" E 1303.14 feet from the center of Section 22.

Contains an area of 78,495.6 square feet, more or less.

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[Handwritten signature]
Dla

JUN 9 1989

EXHIBIT C

RIGHT-OF-WAY ACQUISITION Parcel No. 300-C-1

Commencing at the Southwesterly corner of Lot 3 of "Eddy Acres", more particularly described in Deed recorded in Book 1000, Page 719, Deed Records of Washington County, Oregon, said Southwesterly corner being on the North-erly line of S.W. Herman Road.

Thence along the West line of said Lot 3 N 00° 06' 34" E 769.71 feet to the Northwest corner; thence, N 89° 48' 43" E along the North line 30.46 feet; thence, S 00° 21' 39" E 703.96 feet to the beginning of a tangent curve to the left having a radius of 15.00 feet through a central angle of 67° 38' 11" the long chord of which bears S 56° 32' 34" E 24.92 feet; thence, N 67° 16' 31" E 252.22 feet to the East line of said Lot 3; thence, S 00° 05' 11" W along the East line 28.21 feet to the Southeast corner; thence, S 67° 16' 31" W 314.14 feet, more or less, to the beginning of this description.

Contains an area of 32,845.7 square feet, more or less.

STATE OF OREGON }
County of Washington } SS

I, Donald W. Mason, Director of Assessment and Taxation and Ex-Officio Recorder of Con-veyances for said county, do hereby certify that the within instrument of writing was received and recorded in book of records of said county.

Donald W. Mason, Director of Assessment and Taxation, Ex-Officio County Clerk

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DEED OF DEDICATION - Page 11

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After recording return to:
City of Tualatin P.O. Box 369
18880 S. W. Martinazzi Avenue
Tualatin, Oregon 97062-0369

89-26084
Washington County

89-30633
Washington County

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DEED OF DEDICATION
PUBLIC RIGHT-OF-WAY AND EASEMENTS

KNOW ALL MEN BY THESE PRESENTS that First Interstate Bank of Oregon, N.A., as personal representative of the estate of William Leveton, hereinafter "Grantor," hereby grants unto the City of Tualatin, Oregon, a municipal corporation of the State of Oregon, hereinafter "Grantee," its successors in interest and assigns the following described parcels and property rights, upon, over and across Grantor's property, located in Washington County, Oregon, more specifically described as set forth herein.

Grantor hereby covenants to and with the Grantee and Grantee's successors in interest and assigns that Grantor is lawfully seized in fee simple of the premises herein conveyed and granted free and clear of all liens, encumbrances, easements and restrictions, except:

1. Statutory Powers and Assessments of the Unified Sewerage Agency; and
2. Conditions and Restrictions, contained in City of Tualatin Ordinance No. 674-85, adopting the Leveton Tax Increment Plan.

Grantor and its heirs, successors in interest, assigns and personal representatives shall warrant and forever defend the said premises and every part thereof to the Grantee, its successors in interest and assigns against the lawful claims and demands of all persons claiming by, through, or under the Grantor.

1. Right-of-Way

Grantor conveys to Grantee the following described property with tenements, hereditaments and appurtenances, to be used and held by the Grantee for public street, right-of-way and public utility purposes, bounded and described on Exhibits A, B and C which correspond to three distinct parcels, Parcel No. 100-A-1, Parcel No. 100-B-1 and Parcel No. 300-C-1. Parcels described in Exhibits A and B are portions of Tax Lot 100 and the parcel described in Exhibit C is a portion of Tax Lot 300, all three which are located within Section 22, Township 2 South, Range 1 West of the Willamette Meridian.

2. Permanent Slope Easement (Parcel No. 100-A-2)

Grantor grants to the Grantee the following described property for the purpose of allowing Grantee, its successors in interest and assigns the permanent right to construct, reconstruct, operate and maintain a slope in support of the adjacent Right-of-Way. The permanent slope easement is described as:

A strip of land, located on Tax Lot 100, Section 22, Township 2 South, Range 1 West of the Willamette Meridian, more particularly

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Recorded By
First American Title Insurance Company of Oregon
No. 367826

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described as a strip of land 25.00 feet in width adjoining, abutting, and for the full length of the westerly line of the right-of-way described on Exhibit A. Said permanent slope easement to extend from the quarter section line of said Section 22 to the Southerly Right-of-Way line of Leveton Drive.

Contains an area of 22,676.6 square feet, more or less.

3. Permanent Slope and Utility Easements

Grantor grants to the Grantee the following described property for the purposes of allowing Grantee, its successors in interest and assigns the permanent right to construct, reconstruct, operate and maintain a slope in support of the adjacent public right-of-way, and public utilities, including, but not limited to conduit, lines, pipes and other utility facilities.

The Permanent Slope and Utility Easements are described as follows:

- A. Parcel No. 100-A-3. A strip of land 25.00 feet in width adjoining, abutting, and for the full length of the easterly line of the Right-of-Way described in Exhibit A. Said Permanent Slope and Utility Easement to extend from the quarter section line of said Section 22 to the southerly Right-of-Way line of Leveton Drive.

Contains an area of 23,398.3 square feet, more or less.

- B. Parcel No. 100-B-2. A strip of land 25.00 feet in width adjoining, abutting, and for the full length of the southerly line of the Right-of-Way described in Exhibit B. Said Permanent Slope and Utility Easement to terminate at the quarter section line of said Section 22, referred to in the description of Right-of-Way in Exhibit B.

Also, that portion of said Tax Lot 100 bounded by the following bearings and distances type description:

Commencing at the Point of Beginning of the centerline of the Right-of-Way; thence, S 13° 39' 21" E 80.00 feet; thence, S 76° 20' 39" W 50.00 feet; thence, N 13° 39' 21" W 160.00 feet; thence, N 76° 20' 39" E 95.07 feet; thence, S 00° 03' 39" W 51.47 feet; thence, S 76° 20' 39" W 32.87 feet; thence, S 13° 39' 21" E 30.00 feet to said Point of Beginning.

Also, that portion of said Tax Lot 100 bounded by the following bearings and distances type description;

Commencing at the end point of the Right-of-Way centerline, described in Exhibit B, said point being N 00° 03' 39" E 1303.14 feet from the center of Section 22; thence, S 00° 03' 39" W 80.08 feet; thence, S 87° 27' 19" E 46.53 feet; thence, N 02° 32' 41" E 160.00 feet; thence, N 87° 27' 19" W 53.47 feet; thence S 00° 03' 39" W 80.08 feet to said above described point.

DEED OF DEDICATION - Page 2

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- C. Contains an area of 82,703.2 square feet, more or less. Parcel No. 300-C-2. A strip of land 25.00 feet in width adjoining the Easterly line of the Right-of-Way described in Exhibit C. Said 25.00 foot strip of land to extend from the North line of Lot 3 of "Eddy Acres" more particularly described in Deed recorded in Book 1000 Page 719, Deed Records of Washington County, Oregon, to the point of intersection with the Northerly line of S.W. Herman Road.

Contains an area of 17,913.9 square feet, more or less.

4. Permanent Utility Easements

Grantor grants to the Grantee the following described property for the purpose of allowing Grantee, its successors and assigns the permanent right to construct, reconstruct, operate and maintain a public utilities, including, but not limited to conduit, lines, pipes and other utility facilities.

The Permanent Utility Easements are described as follows:

- A. Parcel No. 100-D-1. A strip of land 60.00 feet in width, being a portion of that parcel of real property described in a deed to William Levaton, recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said 60.00 foot wide strip of land lying 30.00 feet on each side of the following described centerline:

Commencing at the terminus of the centerline in the Right-of-Way described in Exhibit B; thence, S 87° 27' 19" E 1327.45 feet at a point on the East line of the West half of the Northwest Quarter of Section 22, said point also being on the East line of Tax Lot 100, Section 22, Township 2 South, Range 1 West of the Willamette Meridian.

Contains an area of 79,464.8 square feet, more or less.

- B. Parcel No. 100-E-1. A portion of that parcel of real property described in a deed to William Levaton, recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said area to be bounded by the following bearings and distances type description.

Commencing at the center of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence, N 89° 52' 01" E 931.25 feet along the East quarter section line to a point on the North line of S.W. Herman Road; thence, N 67° 16' 31" E 88.76 feet along said North Right-of-Way to the Point of Beginning; thence, N 00° 15' 58" W 285.90 feet; thence, S 89° 41' 28" E 320.02 feet to a point on the East line of subject parcel Tax Lot 100; thence, S 00° 15' 58" E 150.41 feet along said East line to the North line of said S.W. Herman Road; thence, S 67° 16' 31" W 346.26 feet along said North line of S.W. Herman Road to the Point of Beginning.

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Contains an area of 69,810.0 square feet, more or less.

- C. Parcel No. 100-F-1. A strip of land 60.00 feet in width, the East line of which being the East line of that parcel of real property described in a deed to William Leveton recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said 60.00 foot wide strip of land lying 30.00 feet on each side of the following described centerline, the side lines of which extend or terminate at the North line of the above described Permanent Easement Parcel No. 100-E-1:

Commencing at a point on the South line of the above described Permanent Utility Easement Parcel No. 100-D-1, said point being N 87° 27' 19" W 30.04 from the intersection of the South line of said Parcel No. 100-D-1 with said East property line; thence, S 00° 15' 58" E 894.90 feet to the terminus of this center line, said point being N 76° 09' 52" E 1340.70 feet from the center of Section 22, Township 2 South, Range 1 West of the Willamette Meridian.

Contains an area of 53,693.7 square feet, more or less.

- D. Parcel No. 100-G-1. A strip of land 25.00 feet in width, being a portion of that parcel of real property described in a deed to William Leveton recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said 25.00 foot wide strip of land lying 12.5 feet on each side of the following described center line, the sides of which to extend or terminate at the East line of Permanent Easement Parcel No. 100-E-1:

Commencing at the center of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence, S 89° 48' 43" W 862.01 feet along the West quarter section line of said Section 22; thence, N 00° 21' 39" W 26.50 feet to a point on the East line of Permanent Slope and Utility Easement Parcel No. 100-A-3; thence, N 89° 48' 43" E 862.10 feet; thence, N 89° 52' 01" E 925.97 feet; thence, N 67° 16' 31" E 94.43 feet to a point on the West line of Permanent Utility Easement Parcel No. 100-E-1, said point being N 86° 19' 17" E 1015.08 feet from said center of Section 22.

Contains an area of 47,062.4 square feet, more or less.

5. Temporary Construction Easements for Road Construction

Grantor grants to the Grantee the following described property for the purpose of design and construction of a hard surfaced roadway on adjoining property. This temporary construction easement shall expire when construction of the adjoining roadway is completed. Grantee agrees to restore the disturbed portion of the easement areas to as near the same condition as they were found before such work was undertaken, such restoration to be completed as soon as is reasonably practicable after consummation of the work in question, provided that Grantee may rough



seed in grass the easement areas.

The Temporary Construction Easements for road construction are described as follows:

- A. Parcel No. 100-A-4. A strip of land 50.00 feet in width adjoining, abutting and for the full length of the Westerly line of the Right-of-Way described in Exhibit A. Also, a strip of land 50.00 feet in width adjoining, abutting and for the full length of the Easterly line of the Right-of-Way described in Exhibit A. Said temporary construction easements to extend from the quarter section line of said Section 22 to the Southerly Right-of-Way line of Leveton Drive.

Contains an area of 92,216.5 square feet, more or less.

- B. Parcel No. 100-B-3. A strip of land 50.00 feet in width adjoining, abutting and for the full length of the South line of the Right-of-Way described on Exhibit B. Said temporary construction easement to extend to and terminate at the quarter section line of Section 22.

Contains an area of 32,452.2 square feet, more or less.

- C. Parcel No. 300-C-3. A strip of land 50.00 feet in width adjoining, abutting and for the full length of the East line of the Right-of-Way described in Exhibit C.

Contains an area of 35,684.1 square feet, more or less.

6. Temporary Construction Easements for Drainage

Grantor grants to the Grantee the following described property for the purpose of construction, reconstruction, operation, maintenance and use of a temporary storm drainage facility along the surface of the following described property:

- A. Parcel No. 100-H-1. A strip of land 15.00 feet in width over and across that parcel of real property described in a deed to William Leveton recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon. Said 15.00 foot wide strip of land lying 7.50 feet on each side of the centerline of an existing surface drainage ditch more particularly described as follows:

Commencing at a standard Bernsten type monument marking the center of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence, N 55° 49' 37" W 1046.39 feet to the Point of Beginning of the centerline to be described herein, said point being on the East line of Slope and Utility Easement Parcel No. 100-A-3, said point also being on the centerline of the above referenced existing surface drainage ditch; thence, following said drainage ditch, N 85° 37' 53" E 422.30 feet; thence, N 85° 21' 40" E 520.60 feet; thence, N 84° 36' 13" E 119.83 feet; thence, S 63° 42' 55" E 522.13 feet

to the terminus of this centerline description, said terminus point being N 56° 11' 15" E 795.78 feet, more or less, from said center of Section 22.

Contains an area of 23,722.9 square feet, more or less.

This easement shall expire upon completion and acceptance of alternate drainage improvements located in Permanent Utility Easement Parcel No. 100-G-1.

7. Temporary Construction Easement for Construction of Utility Facility

- A. Grantor grants to the Grantee the following described property for the purpose of design and construction of a permanent utility along adjoining land. This temporary construction easement shall expire upon completion and acceptance of utility improvements within Permanent Utility Easement Parcel No. 100-G-1. Grantee agrees to restore the disturbed portion of temporary easement area to as near the same condition as it was found before such work was undertaken, such restoration to be completed as soon as is reasonably practicable after consummation of the work in question, provided that Grantee may rough seed in grass the temporary easement area.

The following construction easement for utility facilities is described as follows:

Parcel No. 100-G-2. A 50.00 foot wide strip of land adjoining and abutting the North line of the above described Permanent Utility Easement Parcel No. 100-G-1. The side lines of said Temporary Construction Easement are to be extended or terminated at the West line of Temporary Construction Easement Parcel No. 100-E-2.

Contains an area of 94,124.8 square feet, more or less.

- B. Grantor grants to the Grantee the following described property for the purpose of design and construction of a permanent utility along adjoining land. This temporary construction easement shall expire upon completion and acceptance of utility improvements within Permanent Utility Easement Parcel No. 100-E-1. Grantee agrees to restore the disturbed portion of temporary easement area to as near the same condition as it was found before such work was undertaken, such restoration to be completed as soon as is reasonably practicable after consummation of the work in question, provided that Grantee may rough seed in grass the temporary easement area.

Parcel No. 100-E-2. A 50.00 foot wide strip of land adjoining and abutting the North and West lines of the above described Permanent Utility Easement Parcel No. 100-E-1. The side lines of said Temporary Construction Easement are to be extended or terminated at the North line of Temporary Construction Easement Parcel No. 100-G-2.

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Contains an area of 25,762.1 square feet, more or less.

Grantee shall and does hereby indemnify and hold Grantor, its heirs, successors, assigns, employees and agents harmless from and against all losses, costs, claims or damages of any nature including (without limitation) taxes, liens, levies, assessments, attorneys' fees, court costs and other costs and expenses arising out of, related to, or in any way connected with the exercise of rights granted by the easements herein described.

Grantor reserves the right to use the surface of the land on which easements are granted for use which are not inconsistent with and do not interfere with the use of the subject easements. No building or other utility shall be placed upon, under or within the property subject to the foregoing easements without the written permission of the City. Except with respect to easements which are designed to use the surface of the ground, upon completion of the construction, reconstruction, operation and maintenance of the easement rights, Grantee shall restore the disturbed portion of the easement area to as near the same condition as it was found before such work was undertaken, such restoration to be completed as soon as practicable after consummation of the work in question, provided Grantee may rough seed in grass those areas which were planted in cash crops at the time they were disturbed. Notwithstanding the foregoing nothing contained herein shall be construed as requiring Grantee to maintain landscaping, parking, and any other ground surface improvements made or constructed by Grantor or Grantor's heirs, successors or assigns.

The true and actual consideration for this transfer is \$184,310.00.

Executed this 5th day of May, 1989.

FIRST INTERSTATE BANK OF OREGON, N.A.,
personal representative of the
Estate of William Leveton

BY [Signature]

NAME James M. Wilson

TITLE Vice President

BY [Signature]

NAME David R. Allen

TITLE Assistant Vice President

DEED OF DEDICATION - Page 7

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1989

STATE OF OREGON)
) ss.
COUNTY OF MULTNOMAH)

On this Fifth day of May, 1989, before me, the undersigned, a Notary Public, personally appeared James M. Wilson, the Vice President and David R. Allen, the Assistant Vice President of First Interstate Bank of Oregon, N.A. personal representative of the Estate of William Leveton, and acting on behalf of the bank and of the Estate, acknowledged the foregoing instrument as the voluntary act and deed of the bank and the Estate.

Notary Public for Oregon
My Commission Expires _____

Sylvia T. Jones
SYLVIA T. JONES
NOTARY PUBLIC OREGON
My Commission Expires 6-10-89

The undersigned, Stephen A. Rhodes, City Manager of the City of Tualatin, being duly authorized and directed by the Council of the City of Tualatin, pursuant to Resolution No. 2332-89, does hereby approve and accept the foregoing Deed of Dedication Public Right-of-Way and Easements

on behalf of _____
Dated this 26 day of June, 1989.

Stephen A. Rhodes
City Manager

After recording, return to:
City of Tualatin
P. O. Box 369
Tualatin, OR 97062

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JUL 6 1989

EXHIBIT A

RIGHT-OF-WAY ACQUISITION Parcel No. 100-A-1

A strip of land 60.00 feet in width, being a portion of that parcel of real property described in a deed to William Leveton recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said 60.00 foot wide strip of land bounded by the following bearings and distances type description:

Commencing at a standard Bernsten type monument marking the center of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence, S 89° 48' 32" W 947.01 feet along the quarter section line to the Point of Beginning of said Right-of-Way to be described herein; thence, N 00° 21' 39" W 780.11 feet to the beginning of a nontangent compound curve to the left having a radius of 370.00 feet through a central angle of 11° 54' 38", the long chord of which bears N 06° 18' 58" W 76.78 feet to the point of compound curvature, said point being the beginning of a nontangent curve to the left having a radius of 50.00 feet through a central angle of 92° 59' 13", the long chord of which bears N 58° 45' 53" W 72.53 feet to a point on the South Right-of-Way line of Leveton Drive, described on Exhibit E, thence following said South Right-of-Way along a nontangent curve to the left having a radius of 1030.00 feet through a central angle 08° 32' 30", the long chord of which bears N 70° 28' 15" E 153.41 feet; thence, departing said South Right-of-Way, along a nontangent compound curve to the left having a radius of 50.00 feet through a central angle of 80° 53' 52", the long chord of which bears S 25° 45' 04" W 64.88 feet to the point of compound curvature, said point being the beginning of a nontangent curve to the left having a radius of 430.00 feet through a central angle of 14° 20' 13", the long chord of which bears S 7° 31' 46" E 107.32 feet; thence, S 00° 21' 39" E 780.29 feet to a point on said quarter section line of Section 22; thence, along said line S 89° 48' 32" W 60.00 feet to the Point of Beginning of this description.

Contains an area of 56,213 square feet, more or less.

DEED OF DEDICATION - Page 9

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EXHIBIT B

RIGHT-OF-WAY ACQUISITION Parcel No. 100-B-1

A strip of land 60.00 feet in width, being a portion of that parcel of real property described in a deed to William Leveton recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said 60.00 foot wide strip of land lying 30.00 feet on each side of the following described centerline:

Commencing at a standard Bernsten type monument marking the center of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence, N 54° 05' 03" W 1493.25 feet to the Point of Beginning of said centerline; thence, along said centerline N 76° 20' 39" E 156.42 feet to the beginning of a tangent curve to the left having a radius of 1000.00 feet through a central angle of 05° 59' 29" the long chord of which bears N 73° 20' 55" E 104.52 feet, said point being the intersection of this centerline with that centerline described in Right-of-Way Acquisition for the Parcel described in Exhibit A at Equation Station 2+60.99=17+39.11; thence, continuing along said 1000.00 foot radius curve through a central angle of 11° 00' 13" the long chord of which bears N 64° 51' 04" E 191.75 feet; thence, N 59° 20' 58" E 323.60 feet to the beginning of a tangent curve to the right having a radius of 600.00 feet through a central angle of 33° 11' 44" the long chord of which bears N 75° 56' 49" E 342.78 feet; thence, S 87° 27' 19" E 114.00 feet to a point on the quarter section line of said Section 22, said point being N 00° 03' 39" E 1303.14 feet from the center of Section 22.

Contains an area of 78,495.6 square feet, more or less.

DEED OF DEDICATION - Page 10

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EXHIBIT C

RIGHT-OF-WAY ACQUISITION Parcel No. 300-C-1

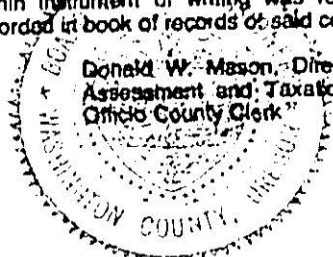
Commencing at the Southwesterly corner of Lot 3 of "Eddy Acres", more particularly described in Deed recorded in Book 1000, Page 719, Deed Records of Washington County, Oregon, said Southwesterly corner being on the North-erly line of S.W. Herman Road.

Thence along the West line of said Lot 3 N 00° 06' 34" E 769.71 feet to the Northwest corner; thence, N 89° 48' 43" E along the North line 30.46 feet; thence, S 00° 21' 39" E 703.96 feet to the beginning of a tangent curve to the left having a radius of 15.00 feet through a central angle of 67° 38' 11" the long chord of which bears S 56° 32' 34" E 24.92 feet; thence, N 67° 16' 31" E 252.22 feet to the East line of said Lot 3; thence, S 00° 05' 11" W along the East line 28.21 feet to the Southeast corner; thence, S 67° 16' 31" W 314.14 feet, more or less, to the beginning of this description.

Contains an area of 32,845.7 square feet, more or less.

STATE OF OREGON }
County of Washington } SS

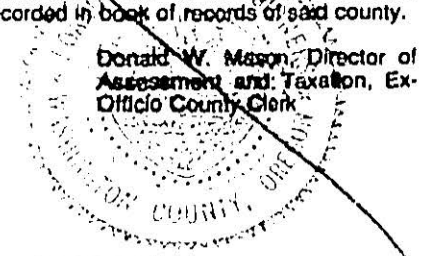
I, Donald W. Mason, Director of Assessment and Taxation and Ex-Officio Recorder of Conveyances for said county, do hereby certify that the within instrument of writing was received and recorded in book of records of said county.



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Rect: 13231 61.00
07/06/1989 01:18:49PM

STATE OF OREGON }
County of Washington } SS

I, Donald W. Mason, Director of Assessment and Taxation and Ex-Officio Recorder of Conveyances for said county, do hereby certify that the within instrument of writing was received and recorded in book of records of said county.



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Rect: 11611 61.00
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DEED OF DEDICATION - Page 11

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89-53170
Washington County

DEED OF DEDICATION AND EASEMENT

KNOW ALL MEN BY THESE PRESENTS, that Oki America, Inc., a Delaware Corporation, hereinafter called the GRANTOR, does hereby dedicate to the CITY OF TUALATIN, a municipal corporation of the State of Oregon, hereinafter called the GRANTEE, its successors in interest and assigns, subject to the reservations and limitations hereinafter set forth, the following described real property situated in Washington County, Oregon:

Recorded by
First American Title Insurance Company of Oregon
No. 369760

A tract of land described by metes and bounds under the caption "property acquisition" on Exhibit A, attached hereto and made a part hereof for all purposes, hereinafter referred to as "right-of-way," and the right to use another tract of land described on Exhibit A under the caption of "permanent slope and utility easement," hereinafter referred to as "slope easement," and the right to use another tract of land described on Exhibit A under the caption of "temporary construction easement" and hereinafter referred to as "construction easement."

GRANTOR hereby covenants to and with the GRANTEE and GRANTEE'S successors in interest and assigns that GRANTOR is lawfully seized in fee simple of the premises herein dedicated free and clear of all liens, encumbrances, easements and restrictions, created or suffered by Grantor.

GRANTOR warrants that it is lawfully seized in fee simple of the property and rights herein conveyed and he and his representatives, successors and assigns shall warrant and forever defend the property and rights and every part thereof to the GRANTEE, its successors in interest and assigns against the claims and demands of all persons claiming by, through or under the GRANTOR.

The slope easement area is granted for the purposes of construction, reconstruction, maintenance and repair of a public, slope in support of the adjacent public right-of-way. The GRANTEE its successors in interest and assigns will be obligated to hold GRANTOR harmless from all costs, expenses, and liabilities of any nature associated with the use, construction, operation and maintenance of the slope easement. The slope easement shall

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be perpetual and shall run with the land encompassing the adjacent right-of-way. It is understood that GRANTEE shall never be required to remove the slope materials and related improvements placed by it on said property, nor to maintain any landscaping or other improvements on said property, nor shall GRANTEE be subject to any damages to GRANTOR, or GRANTOR'S heirs, successors or assigns, by reason thereof, or by reason of any change of grade of the highway abutting on said property.

The construction easement area is granted for the purposes of construction, reconstruction, maintenance and repair of a public highway, a slope adjacent thereto and related improvements, which improvements will be opened to public use. The GRANTEE its successors in interest and assigns will be obligated to hold GRANTOR harmless from all costs, expenses, and liabilities of any nature associated with the use, construction, operation and maintenance of the construction easement and of the construction easement area. The construction easement shall expire one year after commencement of construction of the public highway.

GRANTOR reserves the right to use the surface of the land on which the easements are granted for uses which are not inconsistent with and do not interfere with the use of the subject easements. Upon completion of the construction, reconstruction, operation and maintenance of the adjacent public highway, slope and related improvements within the right-of-way, slope and construction easements, the GRANTEE shall restore the disturbed portion of the construction easement area to as near the same condition as practicable before such work was undertaken, repair all damage to GRANTOR'S property, remove all construction debris and return the soil in the construction easement area to its existing grade, such restoration, repair, removal and return to be completed as soon as practicable after consummation of the work in question. Notwithstanding the foregoing nothing contained herein shall be construed as requiring the GRANTEE its successors in interest or assigns to maintain landscaping, parking or any other ground surface improvement made or constructed by GRANTOR, its agents, heirs, successors or assigns.

The true and actual consideration paid for this transfer, stated in terms of dollars is \$10,484.00, however the actual consideration consists of or includes other property or other value given or promised.

NOV 1 1989

THE INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES.

IN WITNESS WHEREOF, GRANTOR has executed this deed and easement this 30th day of October, 1989.

Oki America, Inc.

Tetsuo Banno
Authorized Signature
GRANTOR

STATE OF NEW JERSEY)
County of BERGEN) ss.

The foregoing instrument was acknowledged before me this 30th day of October, 1989 by T. Banno, Executive Vice President of OKI America, Inc. a Corporation, on behalf of the corporation.

VIRGINIA B. Mc CLOUGHAN
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires: 2/24/90

Virginia B. McCloughan
Notary Public for ~~Oregon~~ New Jersey
My Commission Expires: 2/24/90

OKI AMERICA, INC.
3 University Plaza
Sixth Floor
Hackensack, New Jersey 97061
Grantor's name and address

Decd of Dedication and Easement - Page 3

3



NOV 1 1989
CITY OF TUALATIN
P.O. Box 369
Tualatin, Oregon 97062
Grantee's name and address

After recording, return to Grantee. Until a change is requested,
all tax statements shall be sent to the above address.

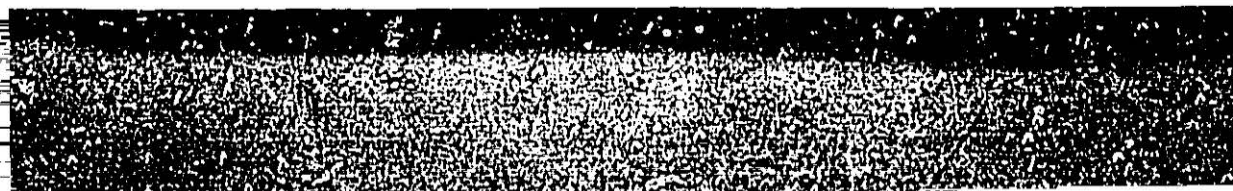
The undersigned City Recorder of the City of Tualatin, being
duly authorized and directed by the City Council of the City of
Tualatin, pursuant to Resolution No. 2401-89, does hereby approve
and accept the foregoing Deed of Dedication and Easement on
behalf of the City of Tualatin.

DATED this 31st day of October, 1989.

Stephen A. Rhodes
City Recorder

Deed of Dedication and Easement - Page 4

4



NOV 1 1989

EXHIBIT A

PROPERTY ACQUISITION

A parcel of land in the Northeast Quarter of Section 22, Township 2 South, Range 1 West of the Willamette Meridian, said parcel of land being a portion of that certain real property described in a Deed to Oki America, Inc., recorded as Document No. 89-32858, Deed Records of Washington County, Oregon. Said portion being more particularly described as follows:

Commencing at a 2" brass disc marking the Northeast corner of said Section 22, said point also being on the centerline of SW Tualatin Road; thence, North $89^{\circ}44'37''$ West 679.43 feet along the centerline of said SW Tualatin Road; thence, South $00^{\circ}15'19''$ East 30.00 feet to an iron rod at the South Right-of-Way of said SW Tualatin Road; thence, continuing South $00^{\circ}15'19''$ East 629.85 feet along the West line of County Road No. 1278, also known as SW 108th Avenue, to a $5/8''$ iron rod, said point being the True Point of Beginning; thence, continuing along said West line of SW 108th Avenue South $00^{\circ}15'19''$ East 669.85 feet to a $5/8''$ iron rod at the Southeast corner of that parcel of land Deeded to Oki America, Inc. and recorded as Document No. 89-32858, Deed Records of Washington County, Oregon; thence North $89^{\circ}44'20''$ West 52.36 feet along the South line of said parcel of land deeded to Oki America, Inc. through a convex tangent curve to the left having a radius of 40.00 feet through a central angle of $90^{\circ}30'59''$, the long chord of which bears North $45^{\circ}00'11''$ East 56.82 feet; thence, North $00^{\circ}15'19''$ West 629.49 feet to a $5/8''$ iron rod; thence, South $89^{\circ}44'30''$ East 12.00 feet to the True Point of Beginning.

Contains an area of 0.19 acres, more or less.

PERMANENT SLOPE EASEMENT

A strip of land 10.00 feet in width adjoining, abutting and for the full length of the South line of that property described in a Deed to Oki America, Inc. recorded as Document No. 89-32858, Deed Records of Washington County, Oregon. Said Permanent Slope Easement to extend from the North quarter section line of Section 22 to the West line of SW 108th Avenue.

Contains an area of 0.44 acres, more or less.

5

NOV 1 1989

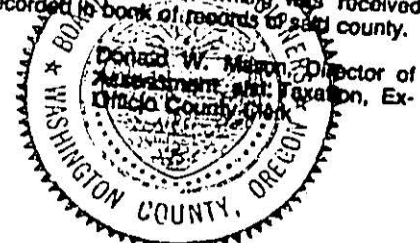
TEMPORARY CONSTRUCTION EASEMENT

A strip of land 50.00 feet in width adjoining, abutting and for the full length of the North line of the above described Permanent Slope Easement. Said Temporary Construction Easement to extend from the North quarter section line of Section 22 to the West line of SW 108th Avenue.

Contains an area of 2.22 acres, more or less.

STATE OF OREGON }
County of Washington } SS

I, Donald W. Mason, Director of Assessment and Taxation and Ex-Officio Recorder of Conveyances for said county, do hereby certify that the within instrument of writing has received and recorded in book of records of said county.



Doc : 89053170
Rect: 21010
11/01/1989 04:11:18PM 38.00

Deed of Dedication and Easement - Exhibit A - Page 6

6



Washington County, Oregon
03/22/2002 02:50:08 PM
D-E Cnt#4 Str#11 C WHITE
\$20.00 \$15.00 \$8.00 \$11.00 - Total=\$52.00

2002-033655

AFTER RECORDING, RETURN TO:

Howard M. Feuerstein, Esq.
Steel Rives LLP
900 SW Fifth Avenue, Suite 2600
Portland, OR 97204



00071493200200336550120129

I, Jerry Hanson, Director of Assessment and Taxation,
and Ex-Officio County Clerk for Washington County,
do hereby certify that the within instrument of writing
was received and recorded in the book of records of
said county.

Jerry R. Hanson, Director of Assessment and Taxation,
Ex-Officio County Clerk



DECLARATION OF ROADWAY, UTILITY, CROSS-ACCESS AND PARKING EASEMENTS AND RESTRICTIVE COVENANTS

THIS DECLARATION OF ROADWAY, UTILITY, CROSS-ACCESS AND
PARKING EASEMENTS AND RESTRICTIVE COVENANTS is made this ____ day of
_____, 2002, by NOVELLUS SYSTEMS, INC., a California corporation
("Declarant").

Recitals

A. Declarant is the owner of Parcels 1, 2 and 3 of Partition Plat 2001-058 (Recorded as Document No. 2001082729), Washington County, Oregon. Such parcels are referred to in this Declaration as Parcels 1, 2 and 3, respectively.

B. Declarant wishes to establish certain easements for roadway, utilities and cross-access and parking over portions of the Parcels for the benefit of other Parcels. Declarant also wishes to establish no-build covenants on portions of the Parcels for the benefit of other portions of the Parcels.

NOW, THEREFORE, Declarant hereby declares that the Parcels shall be held, sold and conveyed subject to the following easements and covenants, which shall run with the Parcels, and each and every parcel or portion thereof, and shall be binding upon all parties having or acquiring any right, title or interest therein, and shall inure to the benefit of any successor to Declarant in the ownership thereof.

1. **Roadway Easement.** Parcels 1 and 2 shall have a nonexclusive right of way and easement over and upon that portion of Parcel 3 described in the attached **Exhibit 'A' and 'A-1'** (the "**Roadway**") for use as a roadway for ingress and egress to and from such Parcels, which easements shall be for the benefit of each and every portion of Parcels 1 and 2. The owner of Parcel 3 shall be responsible for maintaining the Roadway in good operating condition. The owners of Parcels 1 and 2 shall each reimburse the owner of Parcel 3 for one-third of the costs of



maintaining the Roadway. Such amounts shall be due and payable within fifteen (15) days after written notice of the amount owing.

2. **Utility Easement.**

Parcel 3 shall have a nonexclusive easement over Parcel 1 at the location shown on the attached Exhibit 'B' and 'B-1' for utilities, including but not limited to storm sewer, sanitary sewer, and water line serving Parcel 3. Parcel 3 shall be responsible for maintaining such utility lines.

3. **Water Line.** Parcel 1 shall have a nonexclusive easement over Parcel 2 for a water line at the location shown on the attached Exhibit 'C' and 'C-1'. The cost of maintaining such water line shall be by the owner of Parcel 1.

4. **Cross-Access and Parking Easements.** Parcels 1, 2 and 3 shall be subject to nonexclusive reciprocal cross-access and parking easements over all driveways and parking areas as may from time to time be located on such Parcels for the purpose of vehicular and pedestrian access, ingress and egress, and parking. The owner of the respective Parcel upon which the driveway and parking area exists shall be responsible for maintaining the driveway and parking area at its own expense in good condition.

5. **No-Build Zone Covenants.** Those portions of the Parcel 1 described in the attached Exhibit 'D', "D-1" and 'D-2-' (the "No-Build Zones") shall be subject to a covenant in favor of Parcel 2 prohibiting construction of any structures or buildings within the No-Build Zone.

6. **Reimbursement for Damages.** The owner of any Parcel, which is the grantee of any easement under this Declaration, shall be responsible for repairing any damage to the easement area caused by such owner or such owner's employees, agents or contractors.

7. **Indemnification.** The owner of each Parcel shall forever defend, indemnify and hold the other owners harmless from any claim, loss or liability arising out of or in any way connected with such owner's use of the easements created by this Declaration.

8. **Benefits and Burdens.** The benefits and burdens of the easements and covenants created by this Declaration shall run with the Parcels so benefited or burdened. Such easements and covenants are also for the benefit of any present or future mortgagee or holders of deeds of trust on any portions of the Parcels.

9. **Remedies.** In the event of any breach of the provisions of this Declaration, the aggrieved party or parties shall be entitled to exercise any remedy provided by law or equity, including the remedies of injunction and/or specific performance. Any reimbursement owing under Section 1 of this Agreement shall bear interest on the unpaid amount from the due date at the rate of fifteen percent (15%) per annum until paid. In the event litigation is commenced to enforce or interpret the provisions of this Declaration, the prevailing party shall be entitled to recover from the other party, in addition to all other costs and damages, reasonable attorneys' fees at trial, in arbitration or upon any appeal or petition for review thereof.



to recover from the other party, in addition to all other costs and damages, reasonable attorneys' fees at trial, in arbitration or upon any appeal or petition for review thereof.

10. **Amendment or Termination.** No portion of this Declaration may be amended or terminated without the written consent of the owner of the affected Parcels, together with the holders of any mortgage or deed of trust on the affected Parcels. In addition, any such amendment or termination shall require the written approval of the City of Tualatin.

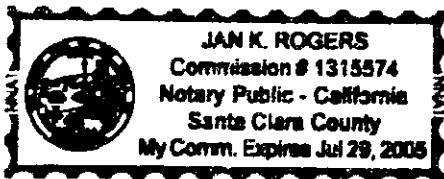
11. **Notices.** Any notice under this Declaration shall be in writing and shall be effective when actually delivered, or if mailed, posted as certified mail, return receipt requested, postage prepaid. Mail to the owner of a Parcel shall be directed to the mail address of the Parcel in question, or if there is no such address, to the address of the record owner at the address for tax statements shown on the real property tax records of Washington County, Oregon, or to such other address as the owner may specify by notice to the other owners. Notice to the holder of any mortgage or deed of trust shall be sent to the lender at the address shown on the recorded mortgage or deed of trust, or to such other address as the holder may have specified by notice to the owners.

NOVELLUS SYSTEMS, INC., a California corporation

By Kevin S. Royal
Title CHIEF FINANCIAL OFFICER

STATE OF CALIFORNIA)
)ss.
County of SANTA CLARA)

The foregoing instrument was acknowledged before me this 18th day of MARCH, 2006 by KEVIN S. ROYAL, CEO of NOVELLUS SYSTEMS, INC., a California corporation, on its behalf.



Jan K. Rogers
Notary Public for NOVELLUS SYSTEMS INC.
My commission expires: JULY 29, 2005



2002-33855

EXHIBIT "A"

NOVELLUS SITE

COMMON ACCESS EASEMENT

A tract of land located in a portion of Parcel 3 of Partition Plat 2001-058, recorded as Document No. 2001-082729 of Washington County records, located in the Northeast Quarter of Section 22, Township Two South, Range One West, Willamette Meridian, City of Tualatin, Washington County, Oregon, being more particularly described as follows:

Beginning at the Southwest corner of said Parcel 3 as shown on Partition Plat 2001-058; thence following the west line of said Parcel 3, North 00°06'18" East a distance of 386.01 feet; thence leaving said west line of Parcel 3, South 89°53'42" East a distance of 75.00 feet; thence South 00°06'18" West a distance of 386.41 feet to a point on the South line of said Parcel 3; thence following the South line of said Parcel 3, North 89°35'19" West a distance of 75.00 feet to the "Point of Beginning", having an area of 28,965.5 square feet, 0.66 acres.

File: 20113_Access

Date: Wednesday, February 26, 2002

**REGISTERED
PROFESSIONAL
LAND SURVEYOR**

GARY W. HICKMAN
**OREGON
JULY 14, 1978
GARY W. HICKMAN
1878**

RENEWAL DATE 06/30/03

DATE OF SIGNATURE 02/28/02

S.W. TUALATIN ROAD

PARTITION PLAT 2001-058
DOC. NO. 2001-082729

PARCEL 3

REGISTERED
PROFESSIONAL
LAND SURVEYOR
Gary W. Hickman
OREGON
JULY 14, 1978
GARY W. HICKMAN
1978

RENEWAL DATE 06, 30, 03
DATE OF SIGNATURE 03, 4, 02

N 00°06'18" E 451.01'
L58
L55
L56
L54
L57

COMMON ACCESS EASEMENT
28965.5 SQ. FT.
0.66 ACRES

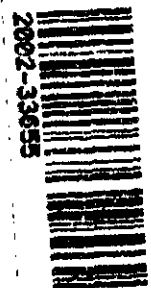
N 89°35'19" W 1054.99'

POINT OF BEGINNING
OF DESCRIPTION

PARCEL 1

PARCEL 2

L54	N 00°06'18" E	386.01'
L55	S 89°53'42" E	75.00'
L56	S 00°06'18" W	386.41'
L57	N 89°35'19" W	75.00'
L58	N 00°06'18" E	65.00'



S.W. 108th AVENUE

S.W. LEVETON DRIVE

EXHIBIT A-1

COMMON ACCESS EASEMENT
LOCATED IN PARCEL 3 OF PARTITION
PLAT 2001-058, IN THE NE 1/4 OF SECTION 22,
12S, R1W, W.M., CITY OF TUALAH, WASHINGTON COUNTY, OR

DWG NO. 20113, VIEW 4
DATE: 2/26/02



2002-35635

EXHIBIT "B"

NOVELLUS SITE

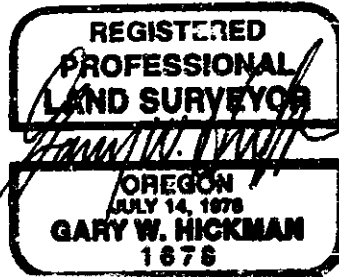
GENERAL UTILITY EASEMENT

A tract of land located in a portion of Parcel 1 of Partition Plat 2001-058, as recorded as Document No. 2001-082729 of Washington County records, as located in a the Northeast Quarter of Section 22, Township Two South, Range One West, Willamette Meridian, City of Tualatin, Washington County, Oregon, being more particularly described as follows:

The West 30.00 feet of said Parcel 1 of Partition Plat 2001-058.
Containing an area of 25,373.8 square feet, 0.58 acres.

File: 20113_util

Date: Wednesday, February 26, 2002



RENEWAL DATE 06, 30, 03
DATE OF SIGNATURE 02, 28, 02

S.W. TUALATIN ROAD

PARTITION PLAT 2001-058
DOC. NO. 2001-082729

PARCEL 3

REGISTERED
PROFESSIONAL
LAND SURVEYOR
GARY W. HICKMAN
OREGON
JULY 14, 1978
GARY W. HICKMAN
1978

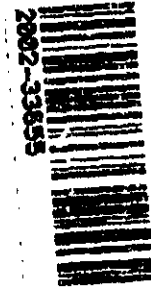
RENEWAL DATE *06/30/03*
DATE OF SIGNATURE *03/4/02*

PARCEL 1

PARCEL 2

30.0ft

GENERAL UTILITY EASEMENT
25373.8 SQ. FT.
0.58 ACRES



S.W. 108th AVENUE

S.W. LEVETON DRIVE

EXHIBIT B-1

GENERAL UTILITY EASEMENT
LOCATED IN PARCEL 1 OF PARTITION
PLAT 2001-058, IN THE NE 1/4 OF SECTION 22,
T2S, R1W, W.M., CITY OF TUALATIN, WASHINGTON COUNTY, OR

DWG NO. 20113, VIEW 3
DATE: 2/26/02



2002-33855

EXHIBIT "C"

NOVELLUS SITE

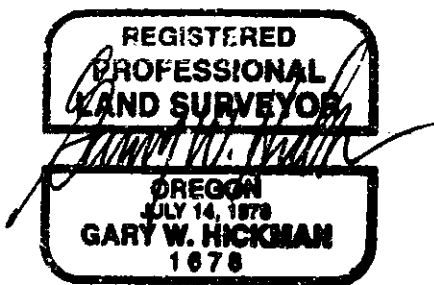
PRIVATE WATER LINE EASEMENT

A tract of land located in a portion of Parcel 2 of Partition Plat 2001-058, recorded as Document No. 2001-082729 of Washington County records, located in the Northeast Quarter of Section 22, Township Two South, Range One West, Willamette Meridian, City of Tualatin, Washington County, Oregon, being more particularly described as follows:

Beginning at a point on the west line of said Parcel 2 that bears South 00°24'41" West a distance of 85.81 feet from the corner common to Parcels 1, 2 and 3 as shown on Partition Plat 2001-058; thence leaving said west line of Parcel 2, South 89°35'19" East a distance of 2.92 feet; thence North 45°24'41" East a distance of 116.85 feet; thence South 89°35'19" East a distance of 86.94 feet; thence South 00°24'41" West a distance of 137.02 feet; thence South 84°40'03" West a distance of 18.28 feet; thence North 00°24'41" East a distance of 117.51 feet; thence North 89°35'19" West a distance of 73.12 feet; thence South 45°24'41" West a distance of 103.65 feet; thence North 89°35'19" West a distance of 7.89 feet to a point on the west line of Parcel 2; thence following the west line of said Parcel 2, North 00°24'41" East a distance of 12.00 feet to the "Point of Beginning", having an area of 5,409.5 square feet, 0.12 acres

File: 20113W3

Date: Wednesday, February 26, 2002



RENEWAL DATE 01, 30, 03
DATE OF SIGNATURE 02, 28, 02

S.W. TUALATIN ROAD

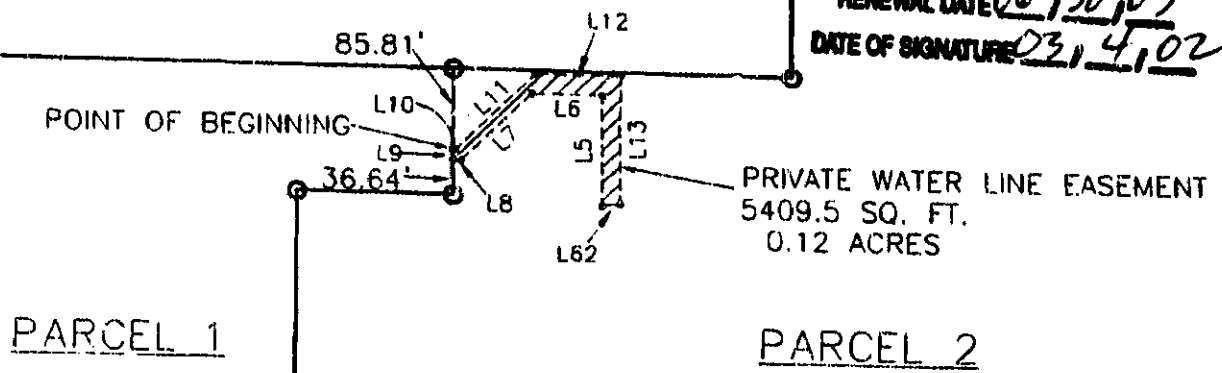
PARTITION PLAT 2001-058
DOC. NO. 2001-082729

PARCEL 3

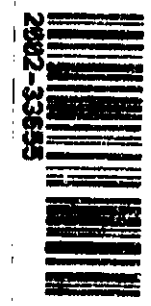
LINE	BEARING	DISTANCE
L5	N 00°24'41" E	117.51'
L6	N 89°35'19" W	73.12'
L7	S 45°24'41" W	103.65'
L8	N 89°35'19" W	7.89'
L9	N 00°24'41" E	12.00'
L10	S 89°35'19" E	2.52'
L11	N 45°24'41" E	116.85'
L12	S 89°35'19" E	86.94'
L13	S 00°24'41" W	137.02'
L62	S 84°40'03" W	18.28'

REGISTERED
PROFESSIONAL
LAND SURVEYOR
Gary W. Hickman
OREGON
JULY 14, 1979
GARY W. HICKMAN
1978

RENEWAL DATE 06/30/03
DATE OF SIGNATURE 03/14/02



S.W. 108th AVENUE



S.W. LEVETON DRIVE

EXHIBIT C-1

PRIVATE WATER LINE EASEMENTS
LOCATED IN PARCEL 2 OF PARTITION
PLAT 2001-058, IN THE NE 1/4 OF SECTION 22,
T2S, R1W, W.M., CITY OF TUALATIN, WASHINGTON COUNTY, OR

DWG NO. 20113, VIEW D2
DATE: 2/26/02



2002-33855

EXHIBIT "D"

NOVELLUS SITE

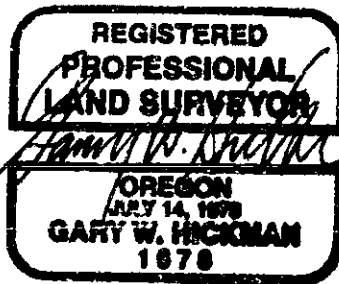
NO-BUILD EASEMENT NO.1

A tract of land located in a portion of Parcel 1 of Partition Plat 2001-058, recorded as Document No. 2001-082729 of Washington County records, located in the Northeast Quarter of Section 22, Township Two South, Range One West, Willamette Meridian, City of Tualatin, Washington County, Oregon, being more particularly described as follows:

Beginning at the corner common to Parcel 1, Parcel 2 and S.W. Leveton Drive as shown on Partition Plat 2001-058; thence following the line common to said Parcel 1 and Parcel 2, North 00°24'41" East a distance of 399.55 feet; thence North 89°35'19" West a distance of 96.59 feet to the "Point of Beginning"; thence South 00°24'41" West a distance of 31.11 feet; thence North 89°35'19" West a distance of 236.15 feet; thence North 00°24'41" East a distance of 31.11 feet to a point on the line common to said Parcel 1 and Parcel 2; thence following the line common to said Parcel 1 and Parcel 2, South 89°35'19" East a distance of 236.15 feet to the "Point of Beginning", having an area of 7,364.6 square feet, 0.17 acres.

File: 20113_NBE1

Date: Wednesday, February 26, 2002



RENEWAL DATE 06,30,03

DATE OF SIGNATURE 02,28,02



2682-33655

EXHIBIT "D-1"

NOVELLUS SITE

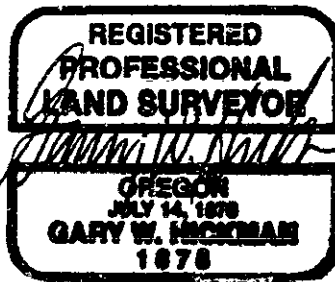
NO-BUILD EASEMENT NO.2

A tract of land located in a portion of Parcel 1 of Partition Plat 2001-058, recorded Document No. 2001-082729 of Washington County records, located in the Northeast Quarter of Section 22, Township Two South, Range One West, Willamette Meridian, City of Tualatin, Washington County, Oregon, being more particularly described as follows:

Beginning at the corner common to Parcel 1, Parcel 2 and Parcel 3 as shown on Partition Plat 2001-058; thence following the line common to said Parcel 1 and Parcel 2, South 00°24'41" West a distance of 95.27 feet to the "Point of Beginning"; thence South 00°24'41" West a distance of 39.19 feet; thence North 89°35'19" West a distance of 21.05 feet; thence leaving said common line to Parcel 1 and Parcel 2, North 00°24'41" East a distance of 39.19 feet; thence South 89°35'19" East a distance of 21.05 feet to the "Point of Beginning", having an area of 824.9 square feet, 0.02 acres.

File: 20113_NBE2

Date: Wednesday, February 26, 2002



RENEWAL DATE 06, 30, 03
DATE OF SIGNATURE 02, 28, 02

S.W. TUALATIN ROAD

PARTITION PLAT 2001-058
DOC. NO. 2001-082729

PARCEL 3

REGISTERED
PROFESSIONAL
LAND SURVEYOR
Gary W. Hickman
OREGON
JULY 14, 1978
GARY W. HICKMAN
1978



RENEWAL DATE 02/30/03
DATE OF SIGNATURE 03/4/02

PARCEL 1

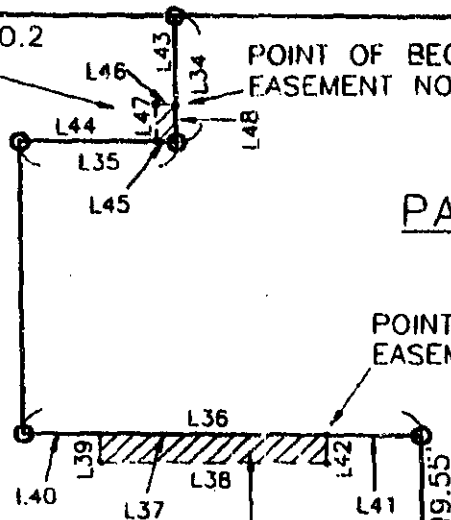
NO-BUILD EASEMENT NO.2
824.9 SQ. FT.
0.02 ACRES

POINT OF BEGINNING
EASEMENT NO.2

PARCEL 2

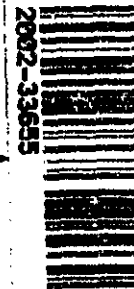
POINT OF BEGINNING
EASEMENT NO.1

L34	S 00°24'41" W	134.46'
L35	S 89°35'19" E	162.59'
L36	S 89°35'19" E	411.63'
L37	S 89°35'19" E	236.15'
L38	N 89°35'19" W	236.15'
L39	S 00°24'41" W	31.11'
L40	S 89°35'19" E	78.88'
L41	S 89°35'19" E	96.59'
L42	S 00°24'41" W	31.11'
L43	S 00°24'41" W	95.27'
L44	S 89°35'19" E	141.54'
L45	S 89°35'19" E	21.05'
L46	N 89°35'19" W	21.05'
L47	N 00°24'41" E	39.19'
L48	S 00°24'41" W	39.19'



NO-BUILD EASEMENT NO.1
7346.6 SQ. FT.
0.17 ACRES

N 00°24'41" E 399.55'



S.W. 108th AVENUE

S.W. LEVETON DRIVE

EXHIBIT D-2

NO-BUILD EASEMENTS

LOCATED IN PARCEL 1 OF PARTITION
PLAT 2001-058, IN THE NE 1/4 OF SECTION 22,
T2S, R1W, W.M., CITY OF TUALATIN, WASHINGTON COUNTY, OR

DWG NO. 20113, VIEW 2
DATE: 2/26/02

Washington County, Oregon
04/15/2002 04:05:51 PM 2002-044680
D-E Cnt=1 Str=11 C WHITE
\$35.00 \$8.00 \$11.00 - Total=\$52.00



I, Jerry Hanson, Director of Assessment and Taxation
and Ex-Officio County Clerk for Washington County,
do hereby certify that the within instrument of writing
was received and recorded in the book of records of
said county.
Jerry R. Hanson
Jerry R. Hanson, Director of Assessment and Taxation,
Ex-Officio County Clerk



CITY OF TUALATIN
18880 SW MARTINAZZI AVENUE
TUALATIN OR 97062-7092

COVER PAGE FOR RECORDING

Name(s) of Transaction(s): WATER LINE EASEMENT

Names of Person (Grantor, Grantee, etc.): NOVELLUS SYSTEMS INC. (GRANTOR)
AND CITY OF TUALATIN (GRANTEE)

After recording, return to: **CITY OF TUALATIN**
EXECUTIVE SECRETARY
18880 SW MARTINAZZI AVENUE
TUALATIN OR 97062-7092

Consideration Statement: 0

Until a change is requested, all tax statements shall be sent to the following address:

Novellus Systems Inc.

11155 SW Leveton Drive

Tualatin OR 97062

NOTE: A LEGIBLE MAP IS ON FILE WITH THE CITY OF TUALATIN.
sec:recordccv:fm (R-10/25/00)

CB-02-09



2002-44680



CITY OF TUALATIN, OREGON

WATER LINE EASEMENT

KNOW ALL MEN BY THESE PRESENTS, that Novelius Systems, Inc. (the "GRANTOR"), grants to the City of Tualatin (the "CITY"), its successors in interest and assigns, the permanent right to design, construct, reconstruct, operate and maintain a Water Line on the following described land:

See attached legal description(s) and map of description(s)

TO HAVE AND TO HOLD, the described easement unto the CITY, its successors in interest and assigns forever.

GRANTOR reserves the right to use the surface of the land for walkways, landscaping, parking, and other uses undertaken by the GRANTOR that are not inconsistent and do not interfere with the use of the subject easement area by the CITY. No building or utility shall be placed upon, under or within the property subject to this easement during its term without the written permission of the CITY.

Except as otherwise provided, upon completion of construction by CITY on the easement, the CITY shall restore the property's disturbed surface to the condition reasonably similar to the previous state, and shall indemnify and hold the GRANTOR harmless against all loss, costs, or damage arising out of the exercise of the rights granted. Nothing in this easement shall be construed as requiring the CITY, its successors in interest or assigns to maintain landscaping, walkways, parking or other surface or subsurface improvement made or constructed by or on behalf of the GRANTOR, its heirs, successors in interest or assigns.

The true and actual consideration paid for this transfer consists of \$ 0 or includes other property or other value given or promised, the receipt of which is acknowledged by the GRANTOR.

The GRANTOR covenants to the CITY, and CITY'S successors in interest and assigns that GRANTOR is lawfully seized in fee simple of the granted premises, free from all encumbrances and that GRANTOR, and the GRANTOR'S heirs and personal representatives shall warrant and forever defend the premises to the CITY, its agents, successors in interest and assigns against the lawful claims and demands of all persons claiming by, through, or under the GRANTOR.



2002-44680

Executed this 15th day of MARCH, 2002.

Kevin S. Royal
Signature

KEVIN ROYAL
Name (print or type)

CHIEF FINANCIAL OFFICER
Title

Signature

Name (print or type)

Title

CALIFORNIA)
STATE OF OREGON)
SANTA CLARA) SS
County of Washington)

On this _____ day of _____, before me, the undersigned, a Notary Public, personally appeared _____, and acknowledged the foregoing instrument to be their voluntary act and deed.

Before me: _____
Notary Public for Oregon

My Commission Expires: _____

CITY OF TUALATIN, OREGON

By Steve Wheeler
City Manager

The City Manager of the City of Tualatin, being duly authorized and directed by the Council of the City of Tualatin, pursuant to Ordinance 787-89, approves and accepts the foregoing Deed of Dedication on behalf of the City of Tualatin.

Dated this 8 day of April, 2007.

Steve Wheeler
City Manager



CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

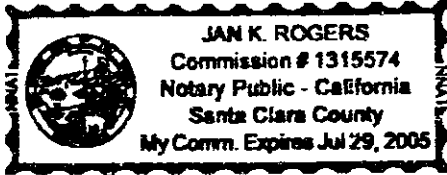
State of California }
County of SANTA CLARA } ss.

On MARCH 18, 2002, before me, JAN K. ROGERS, Notary Public
Date Name and Title of Officer (e.g., Jane Doe, Notary Public)

personally appeared KEVIN S. ROYAL
Name(s) of Signer(s)

personally known to me
 proved to me on the basis of satisfactory evidence

to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



Place Notary Seal Above

WITNESS my hand and official seal.

Jan K. Rogers
Signature of Notary Public

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: CITY OF TUALATIN, OR - WATER LINE EASEMENT

Document Date: _____ Number of Pages: _____

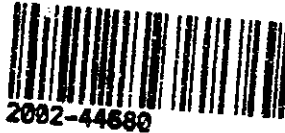
Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer

- Signer's Name: _____
- Individual
- Corporate Officer — Title(s): KEVIN S ROYAL - CEO
- Partner — Limited General
- Attorney in Fact
- Trustee
- Guardian or Conservator
- Other: _____

RIGHT THUMBPRINT OF SIGNER

Signer Is Representing: _____



2002-44680

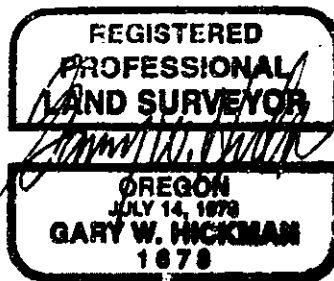
**NOVELLUS SITE
PUBLIC WATER LINE EASEMENT NO.1**

A tract of land located in a portion of Parcel 2 of Partition Plat 2001-058, recorded as Document No. 2001-082729 of Washington County records, located in the Northeast Quarter of Section 22, Township Two South, Range One West, Willamette Meridian, City of Tualatin, Washington County, Oregon, being more particularly described as follows:

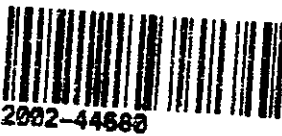
Beginning at a point on the south line of said Parcel 2 that bears South 89°41'51" East a distance of 59.86 feet from the corner common to Parcel 1, Parcel 2 and S.W. Leveton Drive as shown on Partition Plat 2001-058; thence leaving said south line of Parcel 2, North 01°08'05" East a distance of 318.89 feet; thence North 20°01'40" West a distance of 268.52 feet; thence North 24°42'14" West a distance of 146.95 feet to a point from which the corner common to Parcels 1, 2 and 3 bears North 47°24'44" West a distance of 211.55 feet; thence North 83°46'10" East a distance of 15.81 feet; thence South 24°42'14" East a distance of 142.55 feet; thence South 20°01'40" East a distance of 271.94 feet; thence South 01°08'05" West a distance of 321.48 feet to a point on the south line of said Parcel 2; thence following the south line of said Parcel 2, North 89°41'51" West a distance of 15.00 feet to the "Point of Beginning", having an area of 11,027.4 square feet, 0.25 acres

File: 20113W1

Date: Wednesday, February 26, 2002



RENEWAL DATE 02, 30, 03
DATE OF SIGNATURE 02, 28, 02



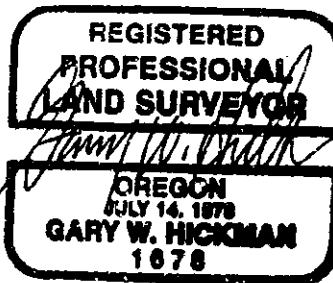
NOVELLUS SITE

PUBLIC WATER LINE EASEMENT NO. 2

A tract of land located in a portion of Parcel 1 and Parcel 2 of Partition Plat 2001-058, recorded as Document No. 2001-082729 of Washington County records, located in the Northeast Quarter of Section 22, Township Two South, Range One West, Willamette Meridian, City of Tualatin, Washington County, Oregon, being more particularly described as follows:

Beginning at the Southwest corner of said Parcel 1; thence following the west line of said Parcel 1, thence North 00°06'18" East a distance of 5.87 feet; thence leaving the west line of said Parcel 1, South 89°35'19" East a distance of 19.06 feet; thence North 52°57'46" East a distance of 5.76 feet; thence South 89°35'19" East a distance of 80.83 feet; thence South 89°35'19" East a distance of 736.30 feet; thence North 00°26'48" East a distance of 27.44 feet; thence North 89°59'00" East a distance of 25.08 feet; thence South 00°25'23" West a distance of 27.63 feet; thence South 89°35'19" East a distance of 419.04 feet; thence North 73°33'29" East a distance of 30.55 feet; thence South 89°41'51" East a distance of 632.09 feet to a point on the easterly line of said Parcel 2; thence following the south line of said Parcels 2 and Parcel 1, following the arc of a curve turning to the right having a radius of 40.00 feet, with an arc length of 39.84 feet (chord bears South 61°46'20" West 38.21 feet); thence North 89°41'51" West a distance of 586.82 feet; thence North 89°35'19" West a distance of 1325.84 feet to the "Point of Beginning", having an area of 24,412.3 square feet, 0.56 acres, more or less.

File: 20113W2
Date: Wednesday, February 26, 2002



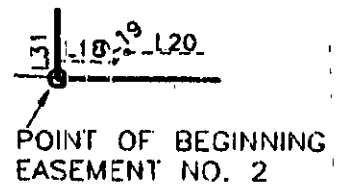
RENEWAL DATE 01/30/03
DATE OF SIGNATURE 02/26/02

S.W. TUALATIN ROAD

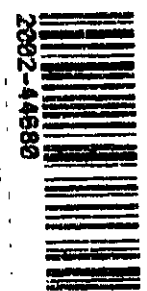
PARTITION PLAT 2001-058
DOC. NO. 2001-082729

PARCEL 3

LINE	BEARING	DISTANCE
L1	N 01°08'05" E	318.89'
L2	N 20°01'40" W	268.52'
L3	N 24°42'14" W	146.95'
L14	S 24°42'14" E	142.55'
L15	S 20°01'40" E	271.94'
L16	S 01°08'05" W	321.48'
L17	N 89°41'51" W	15.00'
L18	S 89°35'19" E	19.06'
L19	N 52°57'46" E	5.76'
L20	S 89°35'19" E	80.83'
L21	S 89°35'19" E	736.30'
L22	N 00°26'48" E	27.44'



DETAIL "A"
NOT TO SCALE



L23	N 89°59'00" E	25.08'
L24	S 00°25'23" W	27.63'
L25	S 89°35'19" E	419.04'
L26	N 73°33'29" E	30.55'
L29	N 89°41'51" W	586.82'
L30	N 89°35'19" W	1325.84'
L31	N 00°06'18" E	5.87'
L33	S 89°41'51" E	632.09'
L60	N 83°46'10" E	15.81'
L61	N 47°24'44" W	211.55'

PARCEL 1

REGISTERED PROFESSIONAL LAND SURVEYOR
Clary W. Hickman
OREGON
JULY 14, 1978
CLARY W. HICKMAN
1978

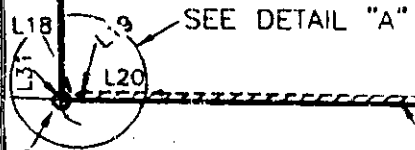
RENEWAL DATE: 06/30/03
DATE OF SIGNATURE: 03/4/02

PUBLIC WATER LINE EASEMENT NO. 1
11027.4 SQ. FT.
0.25 ACRES

S.W. 108th AVENUE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	40.00'	39.84'	38.21'	S 61°16'20" W	57°03'39"

PARCEL 2



POINT OF BEGINNING EASEMENT NO. 2

DWG NO. 20113, VIEW 1
DATE: 2/26/02

PUBLIC WATER LINE EASEMENT NO. 2
24412.3 SQ. FT.
0.56 ACRES

TIE TO P.O.B. NO. 1
S 89°41'51" E 59.86'

POINT OF BEGINNING EASEMENT NO. 1

PUBLIC WATER LINE EASEMENTS

LOCATED IN PARCELS 1 AND 2 OF PARTITION PLAT 2001-058, IN THE NE 1/4 OF SECTION 22, T2S, R1W, W.M., CITY OF TUALATIN, WASHINGTON COUNTY, OR



02333252201700846610050054

I, Richard Hobernicht, Director of Assessment and Taxation and Ex-Officio County Clerk for Washington County, Oregon, do hereby certify that the within instrument of writing was received and recorded in the book of records of said county.

Richard Hobernicht, Director of Assessment and Taxation, Ex-Officio County Clerk



After recording return to:
City of Tualatin, Oregon
18880 SW Martinazzi Ave.
Tualatin, OR 97062-7092



REVOCABLE PERMIT (Right-of-Way)

The City of Tualatin ("City"), pursuant to Resolution No. 5338-17, hereby grants LAM Research ("Permitee") the right to encroach upon and occupy a portion of public right-of-way, as more particularly described in Exhibit A ("Legal Description") and as depicted on Exhibit B ("Map") for the purpose of crossing the right-of-way with a private fiber optic network connection ("Encroachment"), subject to the terms and conditions set forth herein.

The City grants the permit on the condition that Permitee promises and agrees to comply with the following terms, conditions, and restrictions:

1. The Encroachment as constructed must pass inspection by the City confirming it complies with all applicable Codes of the City of Tualatin including, but not limited to, structural safety, traffic, sanitation, land use, and fire requirements.
2. In constructing and maintaining the Encroachment, Permitee agrees to comply with the plans and specifications approved by the City and all applicable permits.
3. Permitee must maintain the Encroachment in good order and must immediately notify the City of any dangers to person or property, or any dangerous conditions, that exist with regard to the Encroachment, which are either known or discovered by Permitee.
4. Permitee assumes all risk of damage to its Encroachment, and any buildings, structures, utilities, or other appurtenances connected to the Encroachment, resulting from, or arising out of, any and all uses of the public right-of-way by the City, its officers, employees, agents, and the general public.

5. Permittee must defend, indemnify, and hold harmless the City, its officers, agents, and employees, against any and all claims for damages of any kind attributable to Permittee and which is caused or alleged to have been caused as a result of the Encroachment or this Permit, whether such damage or injury results from normal operation or accident or any other cause.
6. The placing of the Encroachment in a portion of the aforesaid public right-of-way will not give to Permittee, or anyone else, any permanent right to its continued or exclusive occupancy.
7. This Permit is revocable by the City, in its sole discretion, for any reason. City will provide Permittee at least 180 days prior written notice and provide the effective date of the revocation in the notice, on or before the effective date of the revocation, Permittee, at its own expense, will remove the Encroachment from City's right-of-way; and, failing to do so, the City may cause removal of the Encroachment at the cost and expense of Permittee, including any and all legal costs and attorney fees..
8. Permittee's obligations under the provisions of this Permit are binding upon all of the heirs, successors, and assigns of Permittee.
9. In the event Permittee includes more than one person or entity, all such persons or entities are jointly and severally liable for all conditions herein.
10. Any construction within the right-of-way requires a Public Works Permit and compliance with all applicable codes and regulations.

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ACCEPTED, and the conditions hereof acknowledged and agreed to the 25th
day of September, 2017.

Permitee:

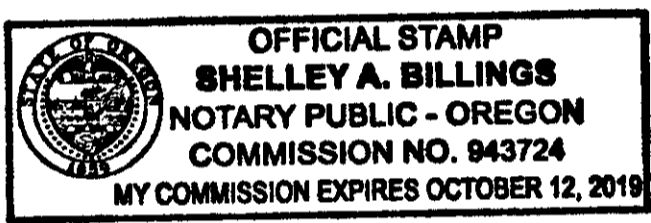
LAM Research

By: Jennifer Majid Imajid

Its: Facilities Mgr

STATE OF OREGON)
County of Washington) ss.

This instrument was acknowledged before me on Sept. 25, 2017, by Jennifer Majid, known to me to be the Facilities Manager of LAM Research.



Shelley A. Billings
Notary Public—State of Oregon
My commission expires: Oct. 12, 2019

Witness my hand this 26 day of September, 2017.

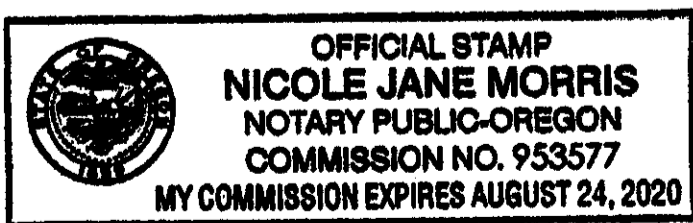
By: Sherilyn Lombos
City Manager

STATE OF OREGON)
County of Washington) ss.

This instrument was acknowledged before me on September 26, 2017, by Sherilyn Lombos, as the City Manager for the City of Tualatin, Oregon.

Nicole Morris
Notary Public—State of Oregon
My commission expires: 8-24-20

APPROVED AS TO FORM:
By: [Signature]
City Attorney



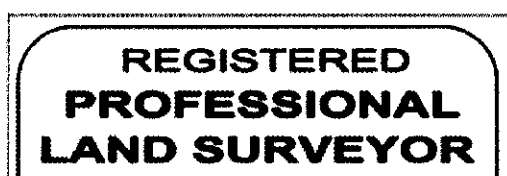


9715 SW Buckskin Ter.
Beaverton, Oregon 97008
Ph: 503-590-7158
Fax: 503-521-8372
Email: dave@davemillsconsulting.com

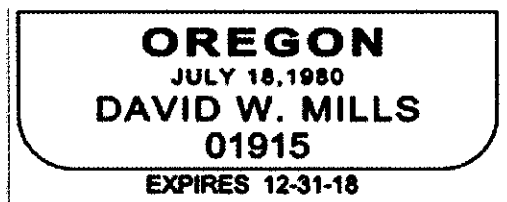
EXHIBIT A

A 10 foot strip of land located within the Right of Way of SW Leveton Drive in the Northeast 1/4 of Section 22, Township 2 South, Range 1 West, Willamette Meridian, City of Tualatin, Washington County Oregon, being more particularly described as follows:

Beginning at a point on the North Right of Way Line of SW Leveton Drive being S. 89°41'51" E. 482.33 feet from the Southwest corner of Parcel 2 of Partition Plat No. 2001-058. Thence along the centerline of said strip of land being 5.00 feet each side of centerline, S. 0°18'09" W. a distance of 79 feet to the South Right of Way Line of said SW Leveton Drive, the terminus being easterly 136.99 feet from the Northwest corner of Parcel 1 of Partition Plat No. 2001-024.



David W. Mills



PARTITION PLAT NO. 2001-058

PARCEL 2

REGISTERED
PROFESSIONAL
LAND SURVEYOR

David W. Mills

Date: 2017.09.06
16:27:47 -07'00'

OREGON
JULY 18, 1980
DAVID W. MILLS
01915

EXPIRES 12-31-18

FD. BRASS PIN W/ WASHER

FD. BRASS NAIL W/ WASHER

POB

S. 89° 41' 51" E., 482.33'

55.83'

30'

N. 89° 41' 51" W.

SW LEVETON DRIVE

5'

5'

S. 0° 18' 09" W.

79'

49'

FD. 5/8" IR W/ YPC

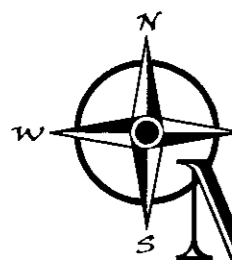
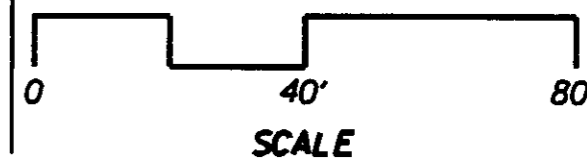
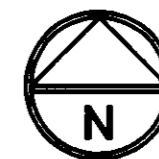
136.99'

FD. 5/8" IR W/ YPC

PARTITION PLAT NO. 2011-024

PARCEL 1

SW 108TH AVENUE



PROFESSIONAL LAND SURVEYING
SERVICES, OREGON & WASHINGTON

Dave
Mills
Consulting Inc.

PHONE
503-590-7158

FAX
503-521-8372

dave@davemillsconsulting.com

9715 SW BUCKSKIN TER., BEAVERTON, OR 97008

JOB NO: 17-11
SCALE: 1" = 40'
FILE: LEVETON EXHIBIT.DGN
DATE: 9-6-17

**EXHIBIT B
ROAD CROSSING**

IN
THE NE 1/4 OF SECTION 22, T.2 S., R.1 W., WM.
CITY OF TUALATIN, WASHINGTON COUNTY, OREGON

After Recording Return to:
City of Tualatin
18880 SW Martinazzi Avenue
Tualatin, OR 97062

Washington County, Oregon
11/02/2020 02:42:33 PM
D-AE Cnt=1 Stn=31 RECORDS1
\$100.00 \$5.00 \$11.00 \$60.00 \$20.00 - Total =\$196.00



02670071202001100890200205

I, Margaret Garza, Director of Assessment and Taxation and Ex-Officio County Clerk for Washington County, Oregon, do hereby certify that the within instrument of writing was received and recorded in the book of records of said county.



Margaret Garza, Director of Assessment and Taxation,
Ex-Officio County Clerk

PRIVATE STORMWATER FACILITIES AGREEMENT

This Agreement is made and entered into this 6 day of October ²⁰²⁰ ~~2019~~, by and between City of Tualatin, a municipal corporation of the State of Oregon (City) and Lam Research Corporation (Owner).

RECITALS

A. Owner has developed or will develop the Facilities listed below. (List the type of private stormwater facilities on site and the quantity of each type).

Facility type (list each) Extended Dry Basin Quantity 1

B. The Facilities enable development of property while mitigating the impacts of additional surface water and pollutants associated with stormwater runoff prior to discharge from the property to the public stormwater system. The consideration for this Agreement is connection to the public stormwater system.

C. The property benefited by the Facilities and subject to the obligation of this Agreement is described below or in Exhibit A (Property) attached hereto and incorporated by reference.

TLID 2S122AA00500

11155 SW Leveton Drive, Tualatin, OR 97062

North of SW Leveton Drive, West of SW 108th Avenue

Exhibit A – Property Legal Description

Exhibit B – Property Map / Site Map

Exhibit C – Extended Dry Basin Operations and Maintenance Plan

D. The Facilities are designed by a registered professional engineer to accommodate the anticipated volume of runoff and to detain and treat runoff in accordance with Clean Water Services' Design and Construction Standards.

E. Failure to inspect and maintain the Facilities can result in an unacceptable impact to the public stormwater system.

NOW, THEREFORE, it is agreed by and between the parties as follows:

1. **OWNER INSPECTIONS** City shall provide Owner an Operations and Maintenance Plan (O&M Plan) for each Facility. Owner agrees to operate, inspect and maintain each Facility in accordance with the current O&M Plan and any subsequent modifications to the Plan. Owner shall maintain a log of inspection activities. The log shall be available to City upon request or during City inspections.
2. **DEFICIENCIES** All aspects in which the Facilities fail to satisfy the O&M Plan shall be noted as "Deficiencies".
3. **OWNER CORRECTIONS** All Deficiencies shall be corrected at Owner's expense within thirty (30) days after completion of the inspection. If more than 30 days is reasonably needed to correct a Deficiency, Owner shall have a reasonable period to correct the Deficiency so long as the correction is commenced within the 30-day period and is diligently prosecuted to completion.
4. **CITY INSPECTIONS** Owner grants City the right to inspect the Facilities. City will endeavor to give ten (10) days prior written notice to Owner, except that no notice shall be required in case of an emergency. City shall determine whether Deficiencies need to be corrected. Owner (at the address provided at the end of this Agreement, or such other address as Owner may designate in writing to City) will be notified in writing through the US Mail of the Deficiencies and shall make corrections within 30 days of the date of the notice.
5. **CITY CORRECTIONS** If correction of all Owner or City identified Deficiencies is not completed within thirty (30) days after Owner's inspection or City notice, City shall have the right to have any Deficiencies corrected. City (i) shall have access to the Facilities for the purpose of correcting such Deficiencies and (ii) shall bill Owner for all costs reasonably incurred by City for work performed to correct the Deficiencies (City Correction Costs) following Owner's failure to correct any Deficiencies in the Facilities. Owner shall pay City the City Correction Costs within thirty (30) days of the date of the invoice. Owner understands and agrees that upon non-payment, City Correction Costs shall be secured by a lien on the Property for the City Correction Cost amount plus interest and penalties.
6. **EMERGENCY MEASURES** If at any time City reasonably determines that the Facilities create any imminent threat to public health, safety or welfare, City may immediately and without prior notice to Owner take measures reasonably designed to remedy the threat. City shall provide notice of the threat and the measures taken to Owner as soon as reasonably practicable, and charge Owner for the cost of these corrective measures.
7. **FORCE AND EFFECT** This Agreement has the same force and effect as any deed covenant running with the land and shall benefit and bind all owners of the Property present and future, and their heirs, successors and assigns.
8. **AMENDMENTS** The terms of this Agreement may be amended only by mutual agreement of the parties. Any amendments shall be in writing, shall refer specifically to this Agreement, and shall be valid only when executed by the owners of the Property, City, and recorded in the Official Records of the county where the Property is located.
9. **PREVAILING PARTY** In any action brought by either party to enforce the terms of this Agreement, the prevailing party shall be entitled to recover all costs, including reasonable attorney's fees as may be determined by the court having jurisdiction, including any appeal.
10. **SEVERABILITY** The invalidity of any section, clause, sentence, or provision of this Agreement shall not affect the validity of any other part of this Agreement, which can be given effect without such invalid part or parts.

IN WITNESS WHEREOF, Owner and City have signed this Agreement.

NOTARIZE DOCUMENT BELOW

INDIVIDUAL OWNERS SIGN BELOW

CORPORATE, LLC, PARTNERSHIP, TRUST OR OTHER LEGAL ENTITY SIGN BELOW

Owner (Individual)

Lam Research

(Entity name)

Owner (Individual)

By: Imajid

(Sign here for entity)

Title: Facilities Mgr

[Use this notary block if OWNER is an individual.]

STATE OF OREGON)

County of WASHINGTON)

This instrument was acknowledged before me this 6 day of October, 2020,
by Jennifer Majid



[Signature]
Notary Public

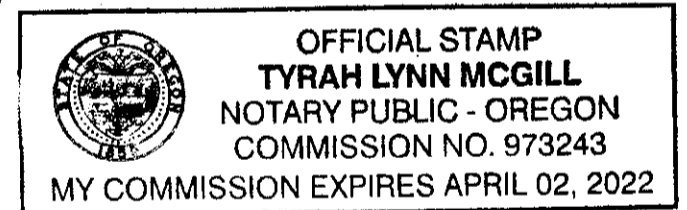
[Use this notary block if OWNER is an entity.]

STATE OF OREGON)

County of WASHINGTON)

This instrument was acknowledged before me on October 6 2020 (date)
by Jennifer Majid (name of person) as

facilities manager (title) of Lam Research (name of entity).



[Signature]
Notary Public

CITY OF TUALATIN

APPROVED AS TO FORM

By: [Signature]
City Manager

[Signature]
City Attorney



Licensed in OR, WA & ID
1815 NW 169th Place, Suite 2090
Beaverton, OR 97006
Telephone: 503-848-2127
Fax: 503-848-2179
www.nwsrvy.com

PROPERTY DESCRIPTION

February 10, 2016
NWS Project No. 1344
Tract 3

A tract of land being a portion of Parcels 1 and 2, Partition Plat No. 2001-058, located in the northeast one-quarter of Section 22, Township 2 South, Range 1 West, Willamette Meridian, City of Tualatin, Washington County, Oregon, being more particularly described as follows:

Commencing at a brass screw and washer located at the northwest corner of Parcel 3 of Partition Plat No. 2001-058, said point being also on the southerly right-of-way line of SW Tualatin Road, 32.00 feet southerly of the centerline thereof, when measured at right angles; thence along said southerly right-of-way line, North 89°42'41" East a distance of 0.06 feet to an angle point thereon; thence continuing along said southerly right-of-way line, South 89°42'08" East a distance of 839.18 feet to a 5/8 inch iron rod; thence departing said southerly right-of-way line, South 00°17'49" West a distance of 450.67 feet to a 5/8 inch iron rod; thence South 89°35'19" East a distance of 87.37 feet to a 5/8 inch iron rod and the Point of Beginning; thence South 00°24'38" West a distance of 66.15 feet to a 5/8 inch iron rod; thence South 89°35'22" East a distance of 36.44 feet to a 5/8 inch iron rod; thence South 00°24'41" West a distance of 779.79 feet to a copper disk located on the northerly right-of-way line of SW Leveton Drive, 30.00 feet northerly of the centerline thereof, when measured at right angles; thence along said northerly right-of-way line, South 89°34'51" East a distance of 368.77 feet to an angle point thereon; thence continuing along said northerly right-of-way line, South 89°42'00" East a distance of 586.84 feet to a brass screw and washer located at a point of curvature thereon; thence continuing along said northerly right-of-way line, 63.19 feet through the arc of a 40.00 foot radius circular curve to the left, said curve having a central angle of 90°30'34", a chord bearing of North 45°02'43" East and a chord length of 56.82 feet to a point of tangency on the westerly right-of-way line of SW 108th Avenue, 32.00 feet westerly of the centerline thereof, when measured at right angles; thence along said westerly right-of-way line, North 00°12'34" West a distance of 359.19 feet to a 5/8 inch iron rod; thence departing said westerly right-of-way line, North 89°35'22" West a distance of 212.34 feet to a 5/8 inch iron rod; thence North 00°24'38" East a distance of 306.24 feet to a 5/8 inch iron rod; thence North 89°35'22" West a distance of 438.80 feet to a 5/8 inch iron rod; thence North 00°24'38" East a distance of 139.01 feet to a 5/8 inch iron rod; thence North 89°35'19" West a distance of 376.93 to the Point of Beginning.

Said described tract of land contains 15.75 acres, more or less.

EXHIBIT A

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JUNE 30, 1997
SCOTT F. FIELD
2844

RENEWS: 12/31/2017

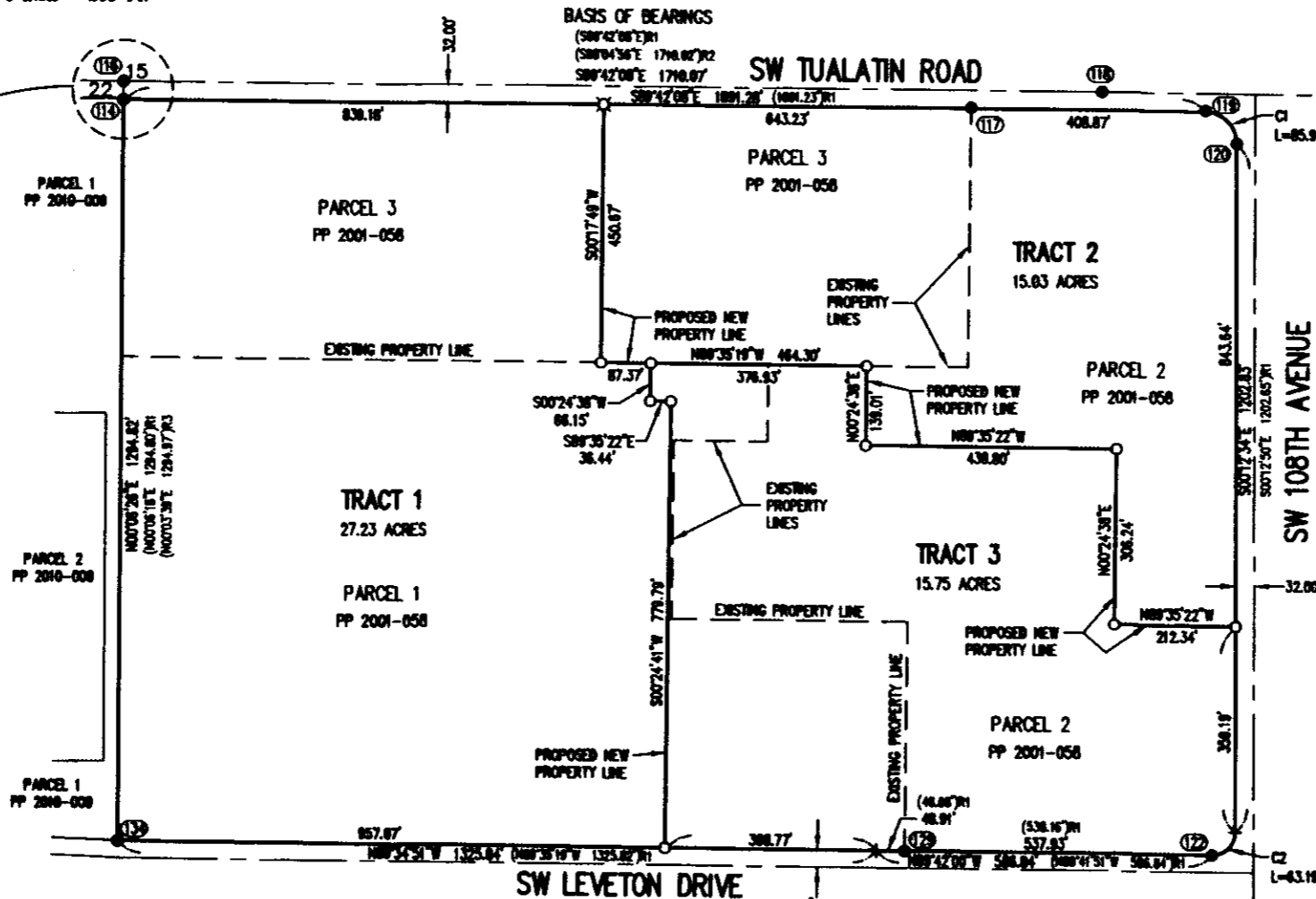
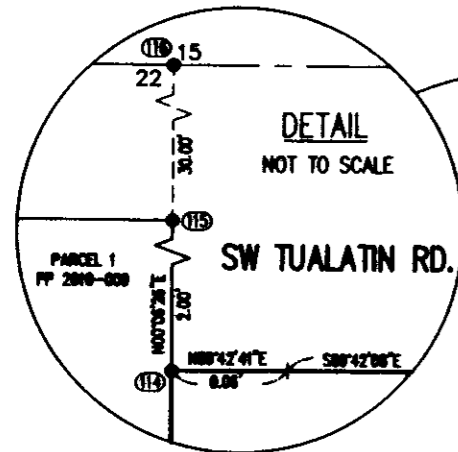
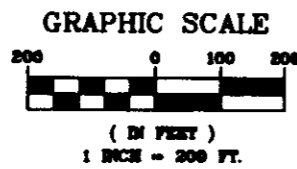
RECORD OF SURVEY

FOR A PROPOSED PROPERTY LINE ADJUSTMENT
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 2 SOUTH,
 RANGE 1 WEST, W.M., CITY OF TUALATIN, WASHINGTON COUNTY, OREGON
 DATE: FEBRUARY 23, 2017

WASHINGTON COUNTY SURVEYOR'S OFFICE
 ACCEPTED FOR FILING 3-2-17

33034

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR
Scott F. Field
 OREGON
 JUNE 30, 1987
 SCOTT F. FIELD
 2844
 12-31-2017
 RENEWAL DATE



MONUMENT DESCRIPTIONS

- (11) FOUND BRASS SCREW & 3/4" BRASS WASHER MARKED "PLS 2892" PER SN 28440
- (12) FOUND BRASS SCREW & 3/4" BRASS WASHER MARKED "PLS 2892" PER SN 28440
- (13) FOUND 2" BRASS DISK PER U.S.B.T. BOOK 3, PAGE 483, ENTRY NO. 188
- (14) FOUND 5/8" I.R. W/PC MARKED "PLS 1678", ORIGIN UNCERTAIN; N0817'52"E 1.85'
- (15) FOUND 5/8" I.R. WITH 1-1/2" ALUMINUM CAP MARKED "PLS 2892 CH2M HILL" PER SN 28440
- (16) FOUND BRASS SCREW WITH 3/4" BRASS WASHER MARKED "PLS 1678", ORIGIN UNCERTAIN; N0817'52"E 1.82'
- (17) FOUND 5/8" I.R. W/PC MARKED "PLS 1678", ORIGIN UNCERTAIN (PP 2001-058 CALLS FOR BRASS SCREW & WASHER)
- (18) FOUND BRASS SCREW WITH 3/4" BRASS WASHER MARKED "PLS 1678", PER PP 2001-058
- (19) FOUND BRASS SCREW WITH 3/4" BRASS WASHER MARKED "PLS 1678", PER PP 2001-058
- (20) FOUND 1" BRASS DISK MARKED "LS 58833" PER PP 2010-008

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	85.91'	55.00'	88°29'34"	S44°57'21"E	77.44'
	(85.91')R1		(88°29'34")	(S44°57'21"E)R1	(77.43')R1
C2	63.18'	40.00'	90°30'34"	S45°02'43"W	58.82'
	(63.18')R1		(90°30'34")	(S45°02'43"W)R1	

LEGEND

- FOUND MONUMENT AS NOTED IN DESCRIPTIONS
- SET 5/8" X 30" I.R. WITH YELLOW PLASTIC CAP MARKED "NORTHWEST SURVEYING INC"
- ⊠ SET 1-1/8" COPPER DISK MARKED "FIELD LS2844" IN CONCRETE
- I.R. IRON ROD
- W/PC WITH YELLOW PLASTIC CAP
- SN SURVEY NUMBER, WASHINGTON COUNTY SURVEY RECORDS
- PP PARTITION PLAT NO., WASHINGTON COUNTY PLAT RECORDS
- U.S.B.T. BEARING TREE RECORDS, WASHINGTON COUNTY SURVEY RECORDS
- (R1) RECORD INFORMATION PER PP 2001-058
- (R2) RECORD INFORMATION PER SN 28440
- (R3) RECORD INFORMATION PER PP 2010-008

NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO MONUMENT THE PROPOSED ADJUSTED PROPERTY LINES BETWEEN PARCELS 1, 2 AND 3 OF PARTITION PLAT NO. 2001-058 IN CONJUNCTION WITH CITY OF TUALATIN CASE FILE NO. PL18-0006. THE PROPERTIES IN THEIR CURRENT CONFIGURATIONS ARE DESCRIBED IN DOCUMENT NO. 2014-045332 (PARCEL 3), 2014-045333 (PARCEL 1) AND 2014-045334 (PARCEL 2), WASHINGTON COUNTY DEED RECORDS.

THE BASIS OF BEARINGS IS ALONG THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SECTION 22 BETWEEN MONUMENTS (11) AND (12) HOLDING THE RECORD BEARING PER PARTITION PLAT NO. 2001-058. THIS LINE WAS OFFSET SOUTHERLY 32.00 FEET TO ESTABLISH THE SOUTHERLY RIGHT-OF-WAY LINE OF SW TUALATIN ROAD. RECORD PLAT INFORMATION AND MONUMENT (11) WERE HELD FOR THE 0.06 FOOT SEGMENT OF THE NORTH LINE AT THE NORTHWEST CORNER OF THE EXTERIOR BOUNDARY. MONUMENTS (15) AND (16) WERE HELD FOR THE WEST LINE OF THE EXTERIOR BOUNDARY. THE EASTERLY SEGMENT OF THE SOUTHERLY EXTERIOR BOUNDARY WAS ESTABLISHED HOLDING MONUMENTS (22) AND (23). THE ANGLE POINT ON THE SOUTH LINE WAS ESTABLISHED AT RECORD PLAT DISTANCE ON AN EXTENSION OF SAID EASTERLY SEGMENT FROM MONUMENT (22). THE DISTANCE BETWEEN MONUMENTS (22) AND (23) CHECKS MUCH BETTER WITH EACH OTHER VERSUS EITHER OF THEM WITH MONUMENT (22). WHILE GOOD FOR LINE, I CONCLUDED THAT MONUMENT (23) IS OUT OF POSITION IN AN EAST-WEST DIRECTION AND THEREFORE DID NOT HOLD IT TO ESTABLISH THE ANGLE POINT. THE WESTERLY SEGMENT OF THE EXTERIOR BOUNDARY WAS ESTABLISHED HOLDING MONUMENT (19) AND THE ESTABLISHED ANGLE POINT. THE EAST LINE OF THE EXTERIOR BOUNDARY WAS ESTABLISHED HOLDING MONUMENTS (22) AND A CALCULATED CURVE BEGINNING AT MONUMENT (22) THAT IS TANGENT TO SAID EASTERLY SEGMENT. AT THE NORTHEAST CORNER OF THE EXTERIOR BOUNDARY, A CURVE TANGENT TO THE NORTH AND EAST LINES WAS CALCULATED HOLDING THE PLAT RADIUS.

MONUMENTS FOR THE INTERIOR CORNERS OF THE PLATTED PARCELS WERE NOT TIED AS THESE LINES ARE BEING ADJUSTED. MONUMENTS (17) AND (18) WERE LIKELY SET AS PART OF THE ORIGINAL PLAT BUT ARE SIGNIFICANTLY OUT OF POSITION.

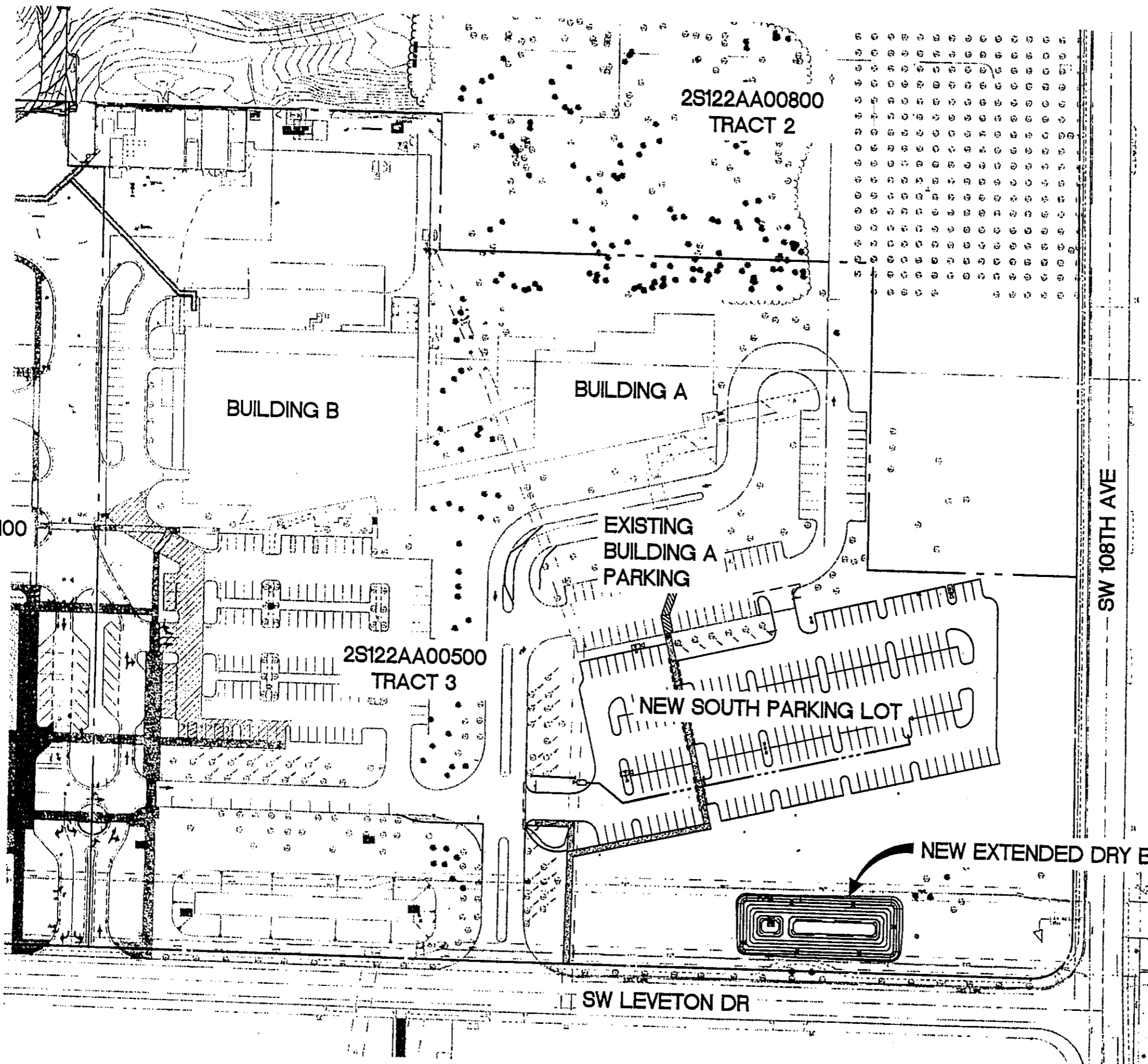
PREPARED FOR

LAM RESEARCH CORPORATION
 4650 CUSHING PARKWAY
 FREMONT, CA 94538

JOB NAME: LAM PLA
 JOB NUMBER: 1344
 DRAWN BY: SFF
 CHECKED BY: CHS
 DRAWING NO: 1344 PLA ROS



BOUNDARY TOPOGRAPHIC CONSTRUCTION CADASTRAL
NORTHWEST
 1815 NW 169th PLACE, SUITE 2090
 BEAVERTON, OR 97006
 PHONE: 503-848-2127 FAX: 503-848-2179
 www.nwsvy.com
SURVEYING, Inc.



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CLIENT:
 LAM RESEARCH

PROJECT:
 CAMPUS PARKING
 MASTER PLAN

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SHEET TITLE:
 STORMWATER
 FACILITY
 SITE PLAN

DATE: 01.17.2019
 DRAWN BY: BDN
 CHECKED BY: BDN

SHEET:
EX B

JOB NO:
 2150351.01



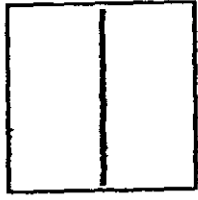
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Client

17-06-06



Project
LAM RESEARCH

**CAMPUS PARKING
MASTER PLAN**
1000 SW LAWTON DR.
TUALATA, OR 97062



EXPIRES 12/31/20

REVISIONS
1 X 8/8/17
2 8/27/17
3 7/21/17
4 IN PROGRESS

SHEET TITLE
**WATER QUALITY
FACILITY**

DRAWN BY: BLF
CHECKED BY: BON
SHEET:

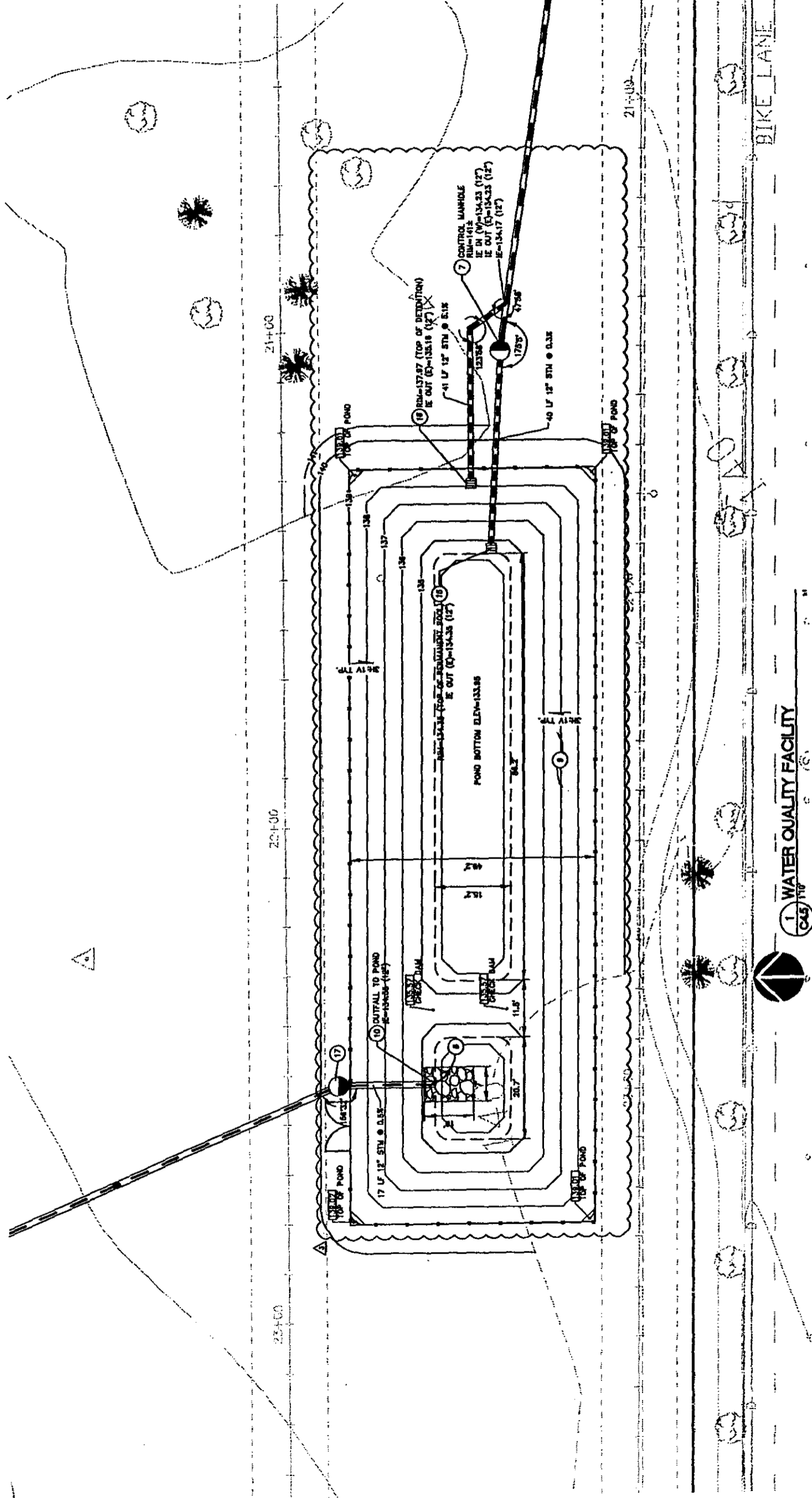
C4.5

JOB NO. 215035102

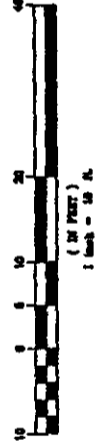
WATER QUALITY PERMIT AS-BUILT PLANS

KEYNOTES:

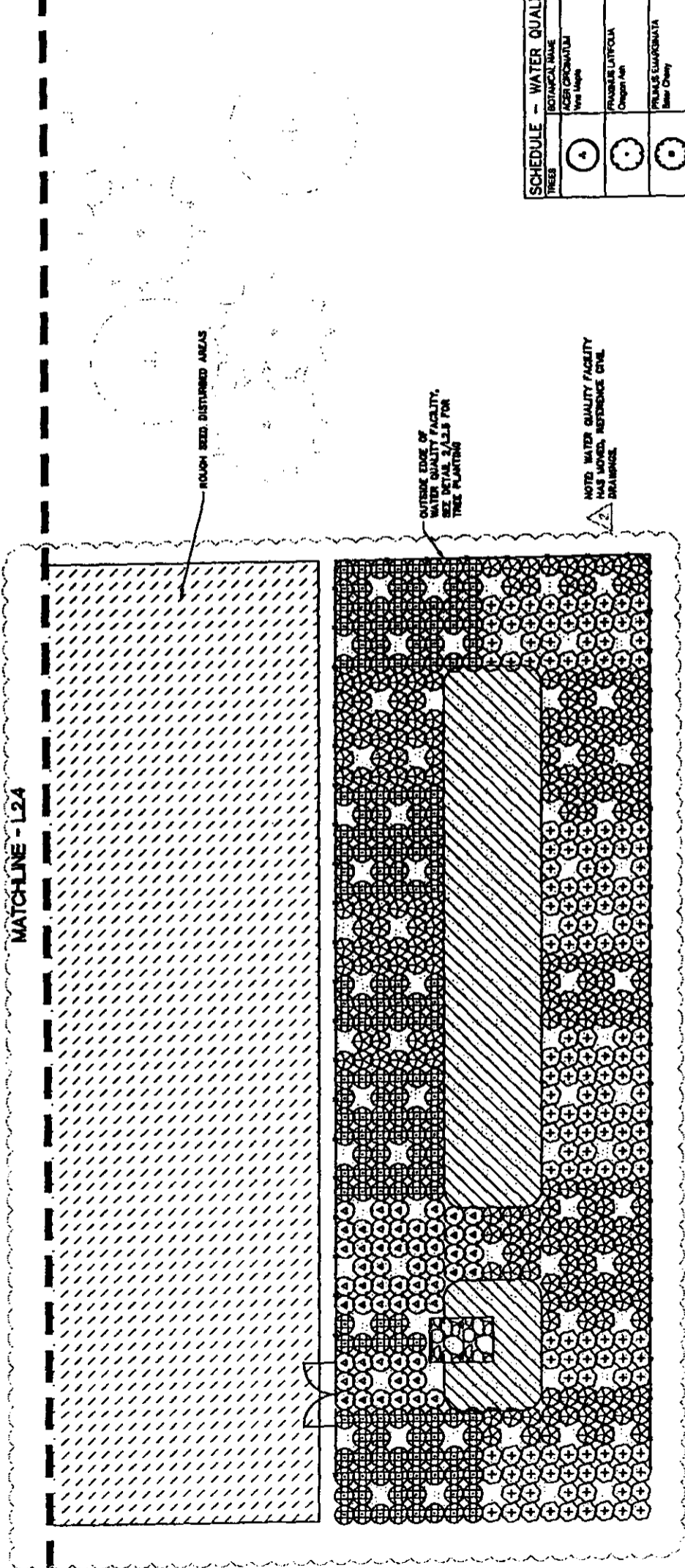
7. CONSTRUCT CONCRETE CONTROL MANHOLE PER DETAIL 4/C&3
8. INSTALL CURB SO THROU FOR OUTFALL PROTECTION, SEE DETAIL 5/C&3
9. CONSTRUCT POND FOR WATER QUALITY AND DETENTION, PER DETAILS 3/C&3 AND 4/C&3
10. OUTFALL TO POND AT TOP OF PERMANENT POOL DEPTH, PER DETAIL 6/C&3
11. INSTALL PIPE END GRATE, SEE DETAIL 4/C&2
12. CONCRETE JITCH GRATE, PER DETAIL 5/C&2
13. 60" WATER QUALITY MANHOLE PER ONE DETAIL 250/C&3
IN PLACE
E. BOT=134.43 (12' 6")
SLAB ELEV=130.42
14. CONTROL MANHOLE
IN PLACE
E. BOT=134.23 (12')
E. OUT=134.33 (12')
15. CONTROL MANHOLE
IN PLACE
E. BOT=134.17 (12')
16. 41 LF 12" STN @ 0.3%
E. OUT (Q)=132.16 (12')
17. 40 LF 12" STN @ 0.3%
E. OUT (Q)=133.88



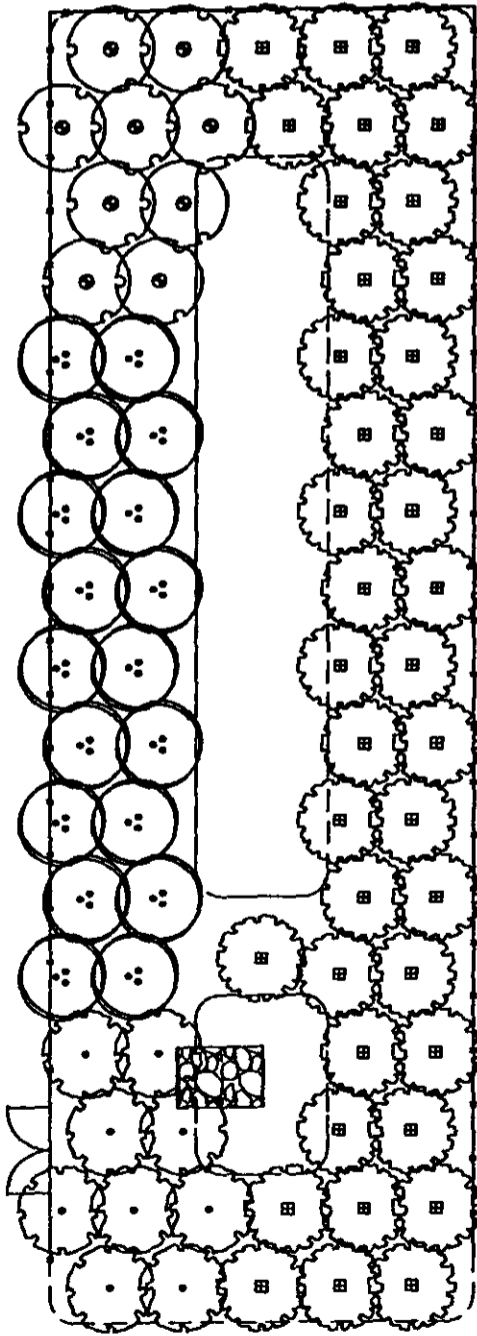
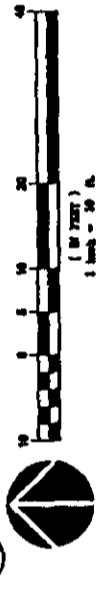
WATER QUALITY FACILITY



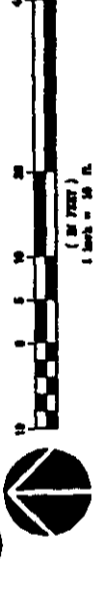
MATCHLINE - L24



1 WATER QUALITY FACILITY LANDSCAPE PLAN



2 WATER QUALITY PLANTING - TREES



SCHEDULE - WATER QUALITY FACILITY			
TREES	BOTANICAL NAME	SIZE	QTY
④	CESTRUM CANTABRIGIA Yucca Magna	MIN. HT. 2' 1 GAL.	100' O.C. MIN. SPACING
⑤	PRUNUS LUTIFOLIA Oregon Ash	MIN. HT. 3' 1 GAL.	100' O.C. MIN. SPACING
⑥	PRUNUS QUERCIFOLIA Sour Cherry	MIN. HT. 2' 1 GAL.	100' O.C. MIN. SPACING
⑦	PRUNUS PUMILANA Chokeberry	MIN. HT. 2' 1 GAL.	100' O.C. MIN. SPACING
SHRUBS	BOTANICAL NAME	SIZE	QTY
⑧	CORNUS BENCOIA Red Twig Dogwood	MIN. HT. 2' 1 GAL.	30' O.C. MIN. SPACING
⑨	PHYTOCAMPUS CAPITATUS Pacific Madrone	MIN. HT. 2' 1 GAL.	30' O.C. MIN. SPACING
⑩	SPARGANGLIA Western Spirea	MIN. HT. 18" 1 GAL.	30' O.C. MIN. SPACING
⑪	STAPHYLETRIFOLIUM Common Winter Strawberry	MIN. HT. 18" 1 GAL.	30' O.C. MIN. SPACING
GROUND COVER	BOTANICAL NAME	COVT	QTY
⑫	LEUCIS PATENS Spreading Plant	100' PER 100' S.F.	100% COVERAGE

NOTES

1. REFERENCE L2.0 FOR NOTES

CWS EXTENDED DRY BASIN INFO

CWS PLANTING REQUIREMENTS
 TOTAL TREATMENT AREA ZONE A (SATURATED) = 1,843 S.F.
 TOTAL TREATMENT AREA ZONE B (SIDE SLOPED) = 5,838 S.F.
 TOTAL FACILITY AREAS = 7,490 S.F.
 TOTAL NUMBER OF TREES REQUIRED = 75 TREES (7,490 S.F. x 0.01 = 74.90)
 TOTAL NUMBER OF TREES PROVIDED = 75 TREES
 TOTAL NUMBER OF SHRUBS REQUIRED = 378 SHRUBS (7,490 S.F. x 0.05 = 374.5)
 TOTAL NUMBER OF SHRUBS PROVIDED = 614 SHRUBS
 TREATMENT AREA (ZONE A) PLUGS REQUIRED = 8,372 PLUGS (1,843 S.F. x 4.5 = 8,372)
 TREATMENT AREA (ZONE A) PLUGS PROVIDED = 8,372 PLUGS
 GROUNDCOVER REQUIRED = 100% COVERAGE
 PT 448 RIPARIAN ZONE BEED MIX PROVIDED = 100% COVERAGE

MACKENZIE.

DESIGN DRIVEN | CLIENT FOCUSED

OPERATIONS & MAINTENANCE MANUAL

To
City of Tualatin

For
Lam Research SW Parking Lot
Expansion

Submitted
January 17, 2019

Project Number
2150351.02



MACKENZIE
Since 1960

RiverEast Center | 1515 SE Water Ave, Suite 100, Portland, OR 97214
PO Box 14310, Portland, OR 97293 | T 503.224.9560 | www.mcknze.com

EXHIBIT C

TABLE OF CONTENTS

I.	EMPLOYEE AND PUBLIC EDUCATION:	1
II.	COMPONENTS AND LOCATIONS	3
III.	GENERAL MAINTENANCE SCHEDULE	4

ATTACHMENTS

- O&M Site Map
- Sample Inspection Checklists and Maintenance Logs
- Sample Spill Prevention Plan
- Landscape Plans



TO THE FACILITY MANAGER:

The objective of this manual is to help the property owner to maintain the storm sewer system for Lam Research SW Parking Lot_so it can operate as designed.

Construction of the Lam Research SW Parking Lot includes a new paved parking lot, landscaping, and stormwater treatment pond. Please review the attachments for more detailed system specifications.

The Facility Manager shall be responsible to:

1. Provide all required training and equipment.
2. Perform inspection (for debris, loose soil or sediment that may enter the system), maintenance, and repairs of
 - a. Landscaping
 - b. Parking areas
 - c. Manhole pipes and sumps
 - d. Catch basin grates and sumps
 - e. Vegetated Stormwater Facilities (O&M procedures in Appendix)
3. Maintain documentation of the inspections, maintenance or repairs kept on-site for a minimum of three years from the date of the activity
4. Corrective actions that may include removal of sediment and debris, and repair of damaged components.
5. Providing a spill prevention plan. (See sample attached)

The property owner is fiscally responsible for operating and maintaining the stormwater facilities as described in this document. Routine scheduled maintenance can help keep costs down by addressing problems before they require major attention.

I. EMPLOYEE AND PUBLIC EDUCATION:

Facility employees will be trained upon hiring and thereafter annually, when new requirements are published or when there are any changes to the system equipment. Employee training will include:

- Familiarity of all stormwater components and locations
- Knowledge of Maintenance Schedule and Documentation Requirements
- Competency with Spill response plan and Personal Protective Equipment (PPE) locations

Sediment Storage, Testing and Disposal

Maintenance of the storm drainage facilities may include removal of oils, sediments or debris that requires specialized testing or disposal. All removed oils, sediments or

other debris shall be disposed of in accordance with applicable regulations. The Facility Manager shall be responsible to retain a qualified company to dispose of this material or otherwise comply with the applicable regulations.

Records of debris disposal shall be kept on file at the main office in accordance with the state law and shall be available for review by regulating agencies.

Pollution Prevention

All employees will be trained to the facility spill plan so that they are certain of the location of materials, who to notify in case of a spill, and how to initially contain the spill of hazardous materials.

All sites shall implement best management practices per OSHA, EPA, and the local agency to prevent hazardous or solid wastes or excessive oil and sediment from contaminating stormwater. Contact City of Tualatin Engineering Department at 503-691-3026 for immediate assistance responding to spills. Record time/date, weather, and site conditions if site activities contaminate stormwater.

II. COMPONENTS AND LOCATIONS

See O&M Site Plan for facility locations. Conduct inspections with the O&M Site Map, inspection checklist, and maintenance log sheet in hand. Keep inspection records to track the progressive development of the system over time, per general schedule.

Inspect and Sweep

- Roof
- Landscape
- Parking

Catch Basins, Manholes, and Cleanouts

The catch basins are metal basins with steel grates. The catch basins have a trapped outlet and sump and need to be inspected and maintained (if necessary) on a quarterly basis and following major storm events. Manholes do not have open grate inlets but have pipe inlets and a sump to be inspected and cleaned. Cleanouts do not have open grate inlets, but also must be inspected and cleaned as necessary. Required materials may include:

- Push broom
- Rake
- Shovel
- Spill kit
- Manhole lid puller
- General landscape tools (weed cutters, pruning clippers, leak rake, etc.)
- Vactor Truck

Vegetated Facilities

Planted stormwater facilities consist of exposed soil and grassy or herbaceous plants, and may also include shrubs and trees. Examples include swales, ponds, planters, basins, and rain gardens. See attached for maintenance requirements. Suggested equipment below:

- Mowing equipment
- String trimmer and pruning equipment
- Shovel
- Rake

III. GENERAL MAINTENANCE SCHEDULE

FREQUENCY	ACTIVITY	FACILITY	DESCRIPTION
REGULAR	Dry sweeping	Parking Areas	Reduce accumulation of sediments and debris
EVENT*	Visual Inspection	Overall System	Look for ponded water, debris, soil erosion
QUARTERLY	Visual Inspection	Catch Basin Grate	Clear catch basins from obstructions.
BI-ANNUALLY/ QUARTERLY	Visual Inspection	Catch Basin/ Manhole Sump	Check to see if sediment has built up on the bottom of the catch basin by measuring down from the outlet pipe. If it is less than 12 inches then the catch basin needs to be cleaned out. Materials removed from the catch basin inlet shall be disposed of in accordance with applicable state law.

*Additional inspections will be necessary after long dry periods, large storms, or spills

WHAT TO DO IN CASE OF A SPILL

1. Get the spill kit (and spill kit instructions when provided)
2. If possible, determine visually what type of fluids have been spilled
3. Put on gloves and glasses or any other necessary Personal Protective Equipment (PPE)
4. Place the absorbent material in the path of the spill
5. Remove any debris from the vicinity of the catch basin inlets in the parking lot
6. Install drain blocker snugly over the nearest catch basin inlet
7. Use absorbent materials to completely contain the spill.
8. If the spill cannot be contained locally, block inlet grates shut off the storm drain pumps so any spilled material does not leave the site

Notify the following personnel immediately:

City of Tualatin (report a spill): (503) 691-3026

Department of Environmental Quality: (800) 452-0311

(800) 452-4011

(503) 229-5263

Note: Only dry cleanup methods may be employed to clean up spills (i.e. no use of water to wash spilled materials from pavement will be conducted)

SAMPLE MAINTENANCE LOGS

VF=Vegetated Facilities; CB=Catch Basins; MH=Manholes



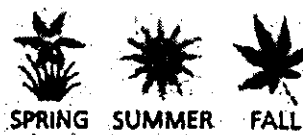


Work Performed by	Initials	Date
Facility Maintained	<input type="checkbox"/> VF <input type="checkbox"/> CB <input type="checkbox"/> MH	
Maintenance Required		
Maintenance Performed		

Work Performed by	Initials	Date
Facility Maintained	<input type="checkbox"/> VF <input type="checkbox"/> CB <input type="checkbox"/> MH	
Maintenance Required		
Maintenance Performed		

Work Performed by	Initials	Date
Facility Maintained	<input type="checkbox"/> VF <input type="checkbox"/> CB <input type="checkbox"/> MH	
Maintenance Required		
Maintenance Performed		






Extended Dry Basin Operation and Maintenance Plan

Annual inspections are required. It is recommended that the facility is inspected on a monthly basis to ensure proper function. The plan below describes inspection and maintenance activities, and may be used as an inspection log. Contact the design engineer, Clean Water Services or City representative for more information.

Identified Problem	Condition to Check for	Maintenance Activity	Maintenance Timing	Task Complete Comments
Trash and Debris	Visual evidence of trash, debris or dumping	Remove trash and debris from facility. Dispose of properly	 SPRING SUMMER FALL WINTER	
Contamination and Pollution	Evidence of oil, gasoline, contaminants, or other pollutants. Look for sheens, odor or signs of contamination	Locate source of contamination and correct. Remove oil using oil-absorbent pads or vacor truck. If low levels of oil persist plant wetland plants that can uptake small concentrations of oil such as Juncus effuses (soft rush) If high levels of contaminants or pollutants are present, coordinate removal/cleanup with local jurisdiction	 SPRING SUMMER FALL WINTER	
Invasive vegetation as outlined in Appendix A.	Invasive vegetation found in facility. Examples include: Himalayan Blackberry, Reed Canary Grass, Teasel, English Ivy, Nightshade, Clematis, Cattail, Thistle, Scotch Broom	Remove excessive weeds and all invasive plants. Attempt to control even if complete eradication is not feasible; refer to Clean Water Services Integrated Pest Management Plan for appropriate control methods, including proper use of chemical treatment	 SPRING SUMMER FALL	
Obstructed Inlet/Outlet	Material such as vegetation, trash, sediment is blocking more than 10% of inlet/outlet pipe or basin opening	Remove blockages from facility	 WINTER SPRING Inspect after major storm (1-inch in 24 hours)	
Poor Vegetation Cover	80% survival of approved vegetation and no bare areas large enough to affect function of facility.	Determine cause of poor growth and correct the condition. Replant with plugs or containerized plants per the approved planting plan and applicable standards at time of construction. Remove excessive weeds and all invasive plants.	 SPRING FALL Ideal time to plant is spring and fall seasons	





Extended Dry Basin Operation and Maintenance Plan (continued)

Annual inspections are required. It is recommended that the facility is inspected on a monthly basis to ensure proper function. The plan below describes inspection and maintenance activities, and may be used as an inspection log. Contact the design engineer, Clean Water Services or City representative for more information.

Identified Problem	Condition to Check for	Maintenance Activity	Maintenance Timing	Task Complete Comments
Vector Control	Evidence of rodents or water piping through facility via rodent holes. Harmful insects present such as wasps and hornets that interfere with maintenance/inspection activities.	Repair facility if damaged. Remove harmful insects; use professional if needed. Refer to Clean Water Services Integrated Pest Management Plan for management options.	As Needed	
Tree/Shrub Growth	Tree/shrub growth shades out wetland/emergent grass in treatment area. Interferes with access for maintenance/inspection.	Prune trees and shrubs that block sun from reaching treatment area. Remove trees that block access points. Do not remove trees that are not interfering with access or maintenance without first contacting Clean Water Services or local City.	 WINTER Ideal time for pruning is winter	
Hazard Trees	Observed dead, dying or diseased trees	Remove hazard trees. A certified Arborist may need to determine health of tree or removal requirements.	As Needed	
Excessive Vegetation	Vegetation grows so tall that it competes with approved emergent wetland grass/shrubs, interferes with access or becomes a fire danger.	Cut tall grass 4" to 6" and remove clippings. Prune emergent wetland grass/shrubs that have become overgrown.	 SPRING Ideal time to prune emergent wetland grass is spring. Cut grass in dry months.	
Erosion	Erosion or channelization that impacts or effects the function of the facility or creates a safety concern.	Repair eroded areas and stabilize using proper erosion control measures. Establish appropriate vegetation as needed.	   FALL WINTER SPRING	

Extended Dry Basin Operation and Maintenance Plan (continued)

Annual inspections are required. It is recommended that the facility is inspected on a monthly basis to ensure proper function. The plan below describes inspection and maintenance activities, and may be used as an inspection log. Contact the design engineer, Clean Water Services or City representative for more information.

Identified Problem	Condition to Check for	Maintenance Activity	Maintenance Timing	✓ Task Complete Comments
Settlement of Pond Dike/ Berm	Look for any part of dike/berm that has settled 4 inches or more lower than the design elevation	Repair dike/berm to approved design specifications. A licensed civil engineer should be consulted to determine the source of the settlement.	As Needed	
Blockage of Emergency Overflow/ Spillway	Blockage of overflow/ spillway by trees, vegetation or other material. Blockages may cause the berm to fail due to uncontrolled overtopping.	Remove blockage. Small root system (base less than 4 inches) may be left in place; otherwise, roots are removed. A licensed civil engineer should be consulted for proper berm/spillway restoration.	 WINTER SPRING Inspect after major storm (1-inch in 24 hours)	
Erosion of Emergency Overflow/Spillway	Native soil is exposed at the spillway, or there is only one layer of rock in an area of 5 square feet or larger.	Restore rock and pad depth to appropriate depth. Refer to design specifications.	 WINTER SPRING Inspect after major storm (1-inch in 24 hours)	
Blockage of Overflow Structure/ Orifice Plate	Excessive standing water or water is not detained for required time.	Inspect and if needed clear orifice plate for proper drainage or re-install to ensure required detention.	 WINTER SPRING Inspect after major storm (1-inch in 24 hours)	
Sediment Accumulation in Pond Bottom	Sediment accumulation in pond bottom exceeds 6 inches or affects facility inlet/ outlet or plant growth in treatment area.	Remove sediment from pond bottom. Re-establish designed pond shape and depth. Establish appropriate vegetation in treatment area.	 SUMMER FALL Ideally in the dry season	

Extended Dry Basin Operation and Maintenance Plan (continued)

Annual inspections are required. It is recommended that the facility is inspected on a monthly basis to ensure proper function. The plan below describes inspection and maintenance activities, and may be used as an inspection log. Contact the design engineer, Clean Water Services or City representative for more information.

Identified Problem	Condition to Check for	Maintenance Activity	Maintenance Timing	✓ Task Complete Comments
Grate Damaged, missing or not in place	Grate is missing or only partially in place; may have missing or broken grate members.	Grate must be in place and meet design standards. Replace or repair any open structure, replace grate if missing.	As Needed	
Damage to Outlet Structure	Damage to Frame or Top Slab. Frame not sitting flush on top slab (more than 3/4 inch between frame and top slab); frame not securely attached.	Ensure frame is firmly attached and sits flush on the riser rings or top slab.	As Needed	
Damage to Outlet Structure	Fractures or Cracks in Walls or Bottom. Maintenance person determines the structure is unsound. Soil entering structure through cracks.	Structure replaced or repaired to design standards.	As Needed	
Damage to Outlet Structure	Settlement or Misalignment of Basin. Failure of basin has created a safety, function, or design problem.	Structure replaced or repaired to design standards.	As Needed	

JUN 1 1998

15
81

90-28257
Washington County

CITY OF TUALATIN, OREGON
PEDESTRIAN WALKWAY / BIKEPATH EASEMENT

KNOW ALL MEN BY THESE PRESENTS, that OKI America, Inc. (Delaware Corporation)

hereinafter called the GRANTOR, does hereby grant unto the City of Tualatin, hereinafter called the CITY, its successors in interest and assigns, the permanent right to construct, reconstruct, operate and maintain a Pedestrian Walkway / Bikepath on the following described land:

Property Description:

A portion of that parcel of land in the Northeast Quarter of Section 22, Township 2 South, Range 1 West of the Willamette Meridian, as described in a Deed to OKI America recorded as Document No. 89-32858, Deed Records of Washington County, Oregon. Said portion being more particularly described as follows:

Permanent Pedestrian and Sidewalk Easement:

Commencing at a 5/8" iron rod at the Southwest corner of the above described real property, said point being on the North Center line of Section 22; thence, S 89°37'48" E 1,325.76 feet along the South line of said property to a 5/8" iron rod; thence, S 89°44'20" E 297.50 feet along the South line of said property to the true point of beginning; thence, N 00°15'40" E 12.00 feet; thence, S 89°44'20" E 112.00 feet parallel to the South line of said property; thence, S 00°15'40" W 12.00 feet to the South line of said property; thence, N 89°44'20" W 112.00 feet to the true point of beginning.

Contains an area of 1,344 square feet, 0.03 acres more or less.

(See attached map)

TO HAVE AND TO HOLD, the above described easement unto the CITY, its successors in interest and assigns forever.

No building or utility shall be placed upon, under or within the property subject to the foregoing easement during the term thereof, however, without the written permission of the CITY.

Upon completion of the construction, the CITY shall indemnify and hold the GRANTOR harmless against any and all loss, cost or damage arising out of the exercise of the rights granted herein.

The true and actual consideration paid for this transfer has no value.

Pedestrian Walkway/Bikepath Easement - Page 1

CO-90-42

1-3

And the GRANTOR above named hereby covenants to and with the CITY, and CITY's successors in interest and assigns that GRANTOR is lawfully seized in fee simple of the above granted premises, free from all encumbrances

and that GRANTOR and their heirs and personal representatives shall warrant and forever defend the said premises and every part thereof to the CITY, its successors in interest and assigns against the lawful claims and demands of all persons claiming by, through, or under the GRANTOR.

WITNESS our hands and seals this 2nd day of May, 1990.

Signature _____

Name (print or type) _____

Title _____

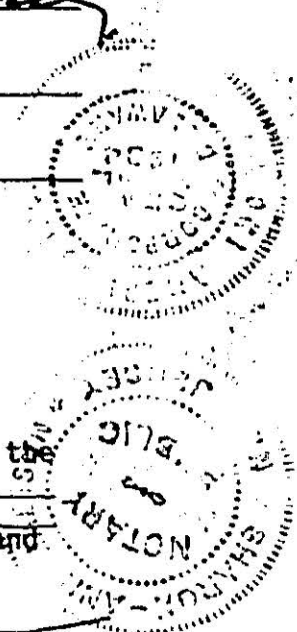
STATE OF ~~OREGON~~ NEW JERSEY)
County of BERGEN) ss

On this 2nd day of May, 1990, before me, the undersigned, a Notary Public, personally appeared Tetsuji Banno and acknowledged the foregoing instrument to be their voluntary act and deed.

Tetsuji Banno
Signature

Tetsuji Banno
Name (print or type)

Executive Vice President
Title



Before me: *Sharon-Ann Madison*
Notary Public for ~~Oregon~~ New Jersey

My Commission Expires: _____
SHARON-ANN MADISON
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires Nov. 25, 1992

CITY OF TUALATIN, OREGON

By *Stephen A. Rhodes*
City Manager

The undersigned City Manager of the City of Tualatin, being duly authorized and directed by the Council of the City of Tualatin, pursuant to Ordinance No. 787-89, does hereby approve and accept the foregoing Pedestrian Walkway / Bikepath Easement (CD-90-42)

on behalf of the City of Tualatin.
Dated this 22 day of May, 1990.

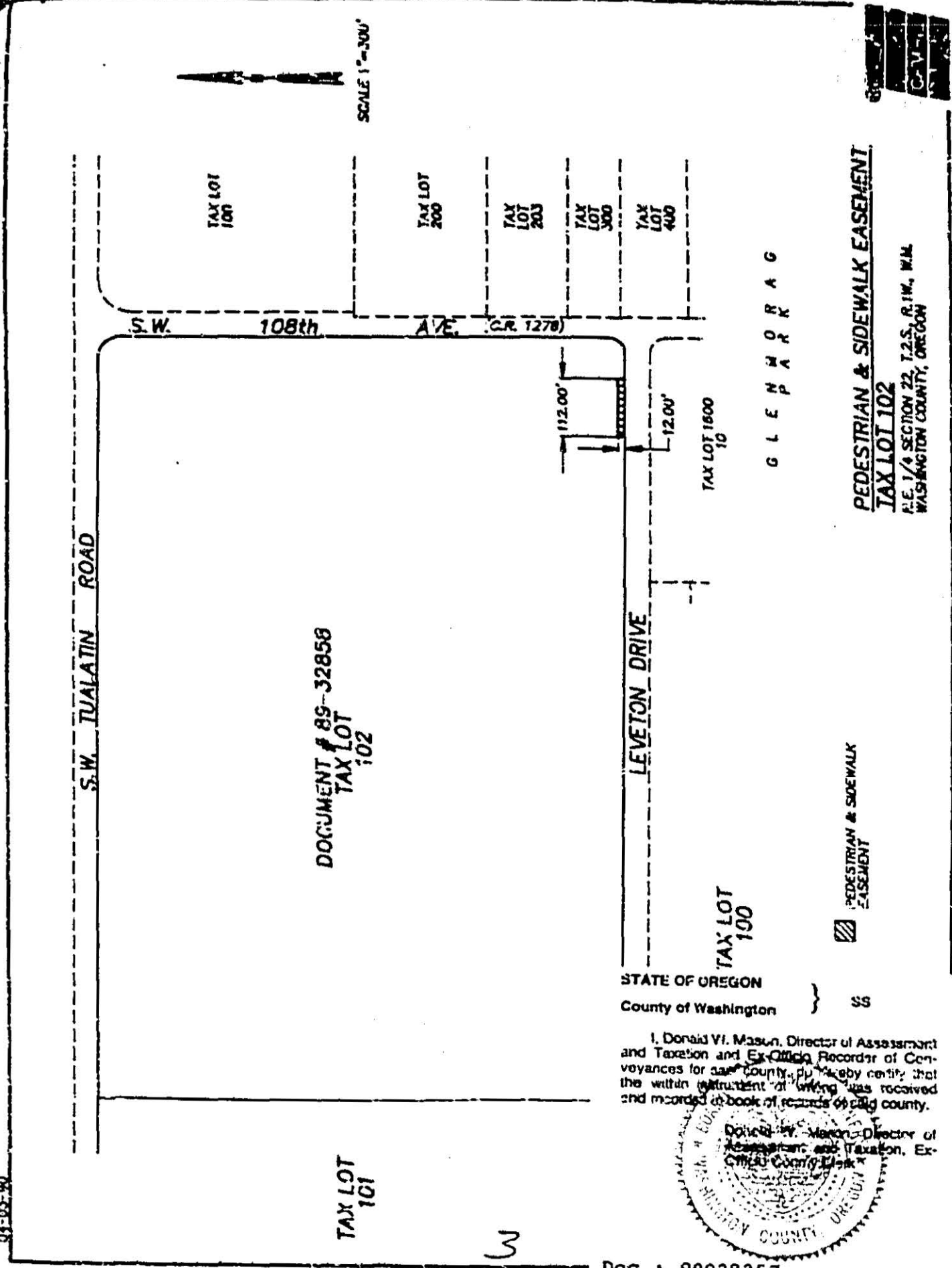
Stephen A. Rhodes
City Manager

After recording, return to:
City of Tualatin
P. O. Box 369
Tualatin, OR 97062

a:OK1.eas

1990

1990



94-03-90

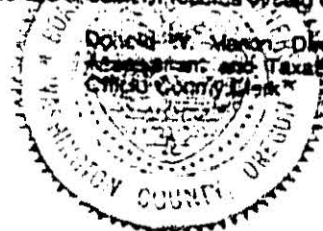
DOCUMENT # 89-32858
TAX LOT 102

TAX LOT 101

3

STATE OF OREGON }
County of Washington } SS

I, Donald V. Mason, Director of Assessment and Taxation and Ex-Officio Recorder of Conveyances for said County, do hereby certify that the within instrument of writing was received and recorded in book of records of said county.



Doc : 90028257
Rect: 33947
06/01/1990 01:57:17PM 23.00

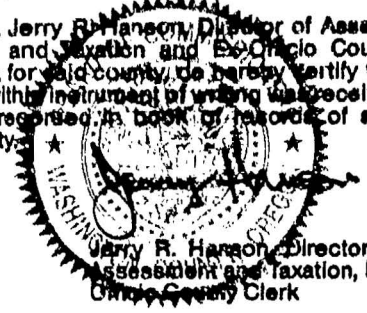
NOV 23 1999

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6
20NS

After recording return to: *pay address*
Steven M. Claussen
1515 SW Fifth Ave., Ste. 844
Portland, OR 97201

STATE OF OREGON }
County of Washington } 88

I, Jerry R. Hanson, Director of Assessment and Taxation and Ex-Officio County Clerk for said county, do hereby certify that the within instrument of writing has been received and recorded in book of records of said county.



Jerry R. Hanson, Director of Assessment and Taxation, Ex-Officio County Clerk

Doc : 99130427
Rect: 244297 51.00
11/23/1999 03:58:50pm

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that OKI America, Inc. (the "GRANTOR") grants to the City of Tualatin ("CITY"), its successors in interest and assigns, the following real property with the tenements, hereditaments and appurtenances, situated in the County of Washington, State of Oregon, bounded and described as follows, to wit:

PARCEL I
FEE SIMPLE RIGHT OF WAY

See Exhibit A Attached

GRANTOR also grants to the CITY, its successors in interest and assigns, the following easements over the following described property:

PARCEL II
SLOPE AND PUBLIC UTILITY EASEMENT

A permanent slope and utility easement for the purposes of constructing, reconstructing, maintaining, repairing and using the same for slope and utility purposes in, upon and across real property located in Washington County, State of Oregon, to wit:

See Exhibit B Attached

The CITY shall have the right at any time hereafter to enter upon the above described real property for the purpose hereinabove mentioned. In connection therewith, CITY may remove any trees, shrubs, brush, paving or other materials necessary or convenient to accomplish said purposes.

The GRANTOR, its heirs, successors, assigns or representatives shall not construct or maintain any building or other structures upon the above described real property prior to written approval by the CITY. The GRANTOR, its heirs, successors, assigns or representatives shall not alter the configuration of the material forming the slope, including alteration by addition or removal of material, without prior written approval of the CITY.

Because fee simple title is not being acquired to PARCEL II, any use may be made of the real property by GRANTOR, provided that such use shall not interfere with the purposes of this easement or endanger the lateral support of the roadway.

PARCEL III
PEDESTRIAN EASEMENT

The permanent right to design, construct, reconstruct, operate and maintain a pedestrian walkway on the following described land:

See Exhibit C Attached

No building or utility shall be placed upon, under or within the property subject to this easement during its term without

1 - WARRANTY DEED

Oregon Title Acco # 99-144

1-5

RECORDED BY OREGON TITLE AS AN ACCOMMODATION ONLY. NO LIABILITY IS ACCEPTED FOR THE CONDITION OF TITLE OR FOR THE VALIDITY, SUFFICIENCY OR EFFECT OF THIS DOCUMENT.

written permission of the CITY.

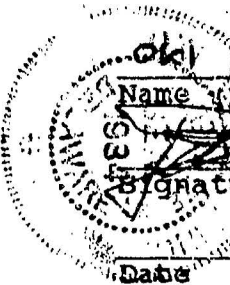
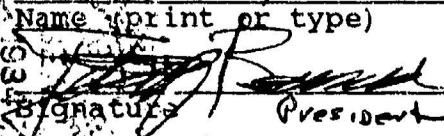
Because fee simple title is not being acquired to PARCEL III, any use may be made of the real property by GRANTOR, provided that such use shall not interfere with the purposes of this easement or endanger the lateral support of the roadway.

TO HAVE AND TO HOLD, the described and granted premises unto the said CITY, its successors in interest and assigns forever.

The true consideration of this conveyance is THIRTY-SIX THOUSAND EIGHT HUNDRED TWENTY-FIVE DOLLARS (\$36,825.00) and other valuable consideration, the receipt of which is acknowledged by GRANTOR.

The GRANTOR covenants to the CITY, and CITY'S successors in interest and assigns that GRANTOR is lawfully seized in fee simple of the granted premises, free from all encumbrances and that GRANTOR, GRANTOR'S heirs and personal representatives shall warrant and forever defend the premises to the CITY, its successors in interest and assigns against the lawful claims and demands of all persons whomsoever.

EXECUTED this 30th day of September, 1999.


Old America, INC
 Name (print or type)

 Signature President
9/30/99
 Date

TETSUJI BANNO
 Name (print or type)

 Signature

 Date

FLORIDA
 STATE OF OREGON)
 Palm Beach) ss.
 County of Washington)

On this 30 day of September, 1999, before me, the undersigned, a Notary Public, personally appeared TETSUJI BANNO and _____ and acknowledged the foregoing instrument to be their voluntary act and deed.


 Notary Public for Oregon FL22104
 My commission expires: 8/22/2000



Edward F. Zwiek
 MY COMMISSION # CC583120 EXPIRES
 August 22, 2000
 BONDED THRU TROY FARM INSURANCE, INC.

2

2 - WARRANTY DEED

NOV 23 2022

EXHIBIT A

Parcel I RIGHT-OF-WAY

A parcel of land in that tract of real property in Section 22, Township 2 South, Range 1 West of the Willamette Meridian, Washington County, Oregon and being a portion of that property described in a deed to OKI America, Inc., recorded in Document No. 89-32858 of Washington County Book of Records; the said parcel being that portion of said property included in a strip of land 32 feet in width, lying on the southerly side of and parallel with the following described portion of the centerline of S.W. Tualatin Road from station 61+89.98 to station 75+08.15:

Beginning at centerline station 61+89.98, said point being the north quarter corner of Section 22 in Township 2 South, Range 1 West of the Willamette Meridian; thence S 88°04'56" E along the North line of said Section 22 a distance of 2637.06 feet to centerline station 88+27.04, said point being the northeast corner of Section 22 in Township 2 South, Range 1 West of the Willamette Meridian.

Except therefrom that portion of said property lying within the existing right-of-way of S.W. Tualatin Road.

The area of land to which this description applies contains 0.061 acres (2636 Sq. feet), more or less.

3

EXHIBIT B

Parcel II SLOPE & PUBLIC UTILITY EASEMENT

A parcel of land in that tract of real property in Section 22, Township 2 South, Range 1 West of the Willamette Meridian, Washington County, Oregon and being a portion of that property described in a deed to OKI America, Inc., recorded in Document No. 89-32858 of Washington County Book of Records; the said parcel being that portion of said property included in a strip of land 37 feet in width, lying on the southerly side of and parallel with the following described portion of the centerline of S.W. Tualatin Road from station 61+89.98 to station 75+08.15:

Beginning at centerline station 61+89.98, said point being the north quarter corner of Section 22 in Township 2 South, Range 1 West of the Willamette Meridian; thence S 88°04'56" E along the North line of said Section 22 a distance of 2637.06 feet to centerline station 88+27.04, said point being the northeast corner of Section 22 in Township 2 South, Range 1 West of the Willamette Meridian.

Except therefrom that portion of said property lying within the existing right-of-way of S.W. Tualatin Road and the property lying within the above described Parcel I.

The area of land to which this description applies contains 0.151 acres (6591 Sq. feet), more or less.

4

EXHIBIT C

Parcel III PERMANENT EASEMENT FOR PEDESTRIAN FACILITIES

A parcel of land in that tract of real property in Section 22, Township 2 South, Range 1 West of the Willamette Meridian, Washington County, Oregon and being a portion of that property described in a deed to OKI America, Inc., recorded in Document No. 89-32858 of Washington County Book of Records; the said parcel being that portion of said property included in a strip of land 55 feet in width, lying on the southerly side of and parallel with the following described portion of the centerline of S.W. Tualatin Road from station 75+08.15 to station 81+50.00:

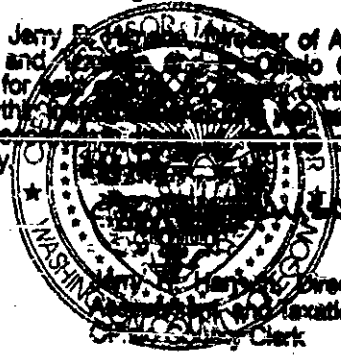
Beginning at centerline station 61+89.98, said point being the north quarter corner of Section 22 in Township 2 South, Range 1 West of the Willamette Meridian; thence S 88°04'56" E along the North line of said Section 22 a distance of 2637.06 feet to centerline station 88+27.04, said point being the northeast corner of Section 22 in Township 2 South, Range 1 West of the Willamette Meridian.

Except therefrom that portion of said property lying within the existing right-of-way of S.W. Tualatin Road, that portion lying within the existing right-of-way of S.W. 108th Avenue, and that portion described in Document No. 89-33697 Washington County Book of Records.

The area of land to which this description applies contains 0.368 acres (16046 Sq. feet), more or less.

5

I, Jerry E. [Name], Director of Assessment and Taxation, County of Washington, certify that the within [Name] has received and [Name] of said county.



Doc : 2001060136
Rect: 281556 37.00
06/22/2001 01:24:07pm

1-4

Return to: Portland General Electric Company
Attn: Property Services
121 SW Salmon St, 1WTC-04
Portland, OR 97204

20
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11
C

UNDERGROUND DISTRIBUTION LINE EASEMENT

For good and valuable consideration, the receipt of which is hereby acknowledged, NOVELLUS SYSTEMS INC. ("Grantor(s)") hereby convey to PORTLAND GENERAL ELECTRIC COMPANY ("PGE"), an Oregon corporation, a perpetual easement over, under, upon and across the following described property (the "Property"), situated in Washington County, State of Oregon, being a strip of land 10 feet in width, more particularly described as follows:

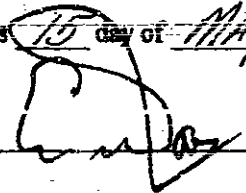
The East 10 feet of property in Section 22, Township 2 South, Range 1 West of the Willamette Meridian, Washington County, Oregon as described in deed recorded May 8, 2000 in document #2000-36382, Deed Records of said County.

SEE ATTACHED DRAWING

TERMS, CONDITIONS, AND COVENANTS

1. This easement shall be for the non-exclusive right to enter upon the Property and to install, maintain, repair, rebuild, operate and patrol underground electrical power lines and signal or communications lines, and all uses directly or indirectly necessary thereto, including but not limited to the right to install surface or subsurface mounted transformers, surface mounted connection boxes, meter cabinets and temporary overhead service lines.
2. The purchase price named herein is accepted by the Grantors as full compensation for all damages incidental to this easement, including, but not limited to the value of all growing crops, brush, timber, or structures on the Property damaged or removed during any installation, repairs or rebuilding.
3. Grantors shall have the right to use the Property for all purposes not inconsistent with the uses and purposes of this easement, except Grantors shall not build or erect any structure or improvement upon, over or under the Property without the prior written consent of PGE, or allow any encroachments which could interfere with or compromise PGE's ability to exercise its rights under this easement. In the event any such encroachment occurs, Grantors shall have no right to claim additional compensation based upon the removal or damage to the source of the encroachment.
4. Grantors warrant that they have marketable title to the Property and that PGE may peacefully enjoy the rights and benefits of this easement.
5. If PGE shall fail to use this easement for a continuous period of five years after the installation of underground power lines, then this easement shall terminate and all rights granted hereunder shall revert to Grantors.
6. As used herein, the singular shall include the plural and vice versa.
7. This easement inures to the benefit of and binds the parties hereto, their heirs, devisees, administrators, executors, successors and assigns.

IN WITNESS WHEREOF, the Grantors have executed this easement this 15 day of MAY, 2001:
Novellus Systems Inc. by:



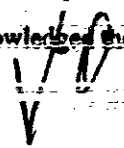
Grantor

Grantor

~~CALIFORNIA~~
State of Oregon)
County of Santa Clara) ss.

On the 15 day of MAY, 2001, the above-named ERIC TAN

personally appeared before me and acknowledged the foregoing instrument to be a voluntary act and deed.



Notary Public for Oregon CALIFORNIA
My Commission Expires: _____

FORM APPROVED 04/15/98/VWL
Job 1913926
PG&L/CL23125-3
Audit 45865

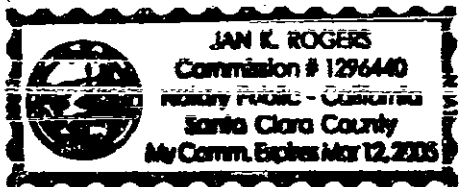
CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California }
County of Santa Clara } 88.

On MAY 15, 2001, before me, JAN K. ROGERS, NOTARY
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")
personally appeared ERIC TAN
Name(s) of Signer(s)

personally known to me
 proved to me on the basis of satisfactory evidence

to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

JAN K. ROGERS
Signature of Notary Public

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or type of Document: LEASE AGREEMENT

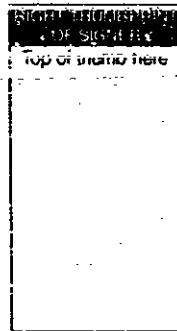
Document Date: NONE Number of Pages: TWO

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer

- Signer's Name: ERIC TAN
- Individual
- Corporate Officer — Title(s): _____
- Partner — Limited General
- Attorney in Fact
- Trustee
- Guardian or Conservator
- Other: _____

Signer Is Representing: _____



3

Job 191322
Audit 45865

TL 1900
NOVELLUS SYSTEMS, INC.
00-36382

10' PGE EASEMENT

34' 30'

TL 100

S.W. 108th AVENUE

PROPOSED PGE VAULT

TL 200



TL 201

A. A. 15345

Portland General Electric
Portland, Oregon

To Accompany Power Line Easement
Novellus Systems, Inc.
N.E. 1/4 Sec. 22, T. 25, R. 1W, W.M., Wash. Co., Or.

SCALE 1"=100' DATE 8/30/01

DRAWN BY	TRACED BY	CHECKED
R.L.B.		

APPROVED
191382 DWG. NO. P-10066

4

10' PGE EASEMENT

PROPOSED PGE VAULT

S.W. LEVETON DRIVE

MAY 5 1989

25-
6-
C

89-20417

Washington County

CROSS EASEMENT AGREEMENT

THIS AGREEMENT is between First Interstate Bank of Oregon, N.A. as personal representative of the estate of William Leveton, hereinafter referred to as "Leveton" and JAE Oregon, Inc., an Oregon corporation hereinafter referred to as "JAE".

IN CONSIDERATION of the mutual conveyances, covenants and conditions contained herein, the parties agree as follows:

Subject to the reservations and limitations set forth herein, Leveton conveys to JAE, its heirs, successors and assigns, a perpetual, non-exclusive easement over, upon and across the following described property situated in Washington County, Oregon (the "Leveton Easement Area").

The tract of land described by metes and bounds on Exhibit A attached hereto and made a part hereof for all purposes.

Subject to the reservations and limitations set forth herein, JAE conveys to Leveton, its heirs, successors and assigns, a perpetual, non exclusive easement over, upon and across the following described property situated in Washington County, Oregon (the "JAE Easement Area").

The tract of land described by metes and bounds on Exhibit B attached hereto and made a part hereof for all purposes.

The Leveton Easement Area and the JAE Easement Area may be referred to collectively as the "Easement Areas". Any road constructed within the Easement Areas shall be and remain a private road.

The Leveton Easement Area and the JAE Easement Area shall be used by Leveton or JAE or by both Leveton and JAE, and their respective heirs, successors, assigns, agents, contractors, servants, employees, licensees, or invitees or any other person acting with the consent of that party, herein "related parties", for vehicular access purposes to the party's respective property.

In the event that a party hereto or its successors or assigns undertakes to use the common improvements in the Easement Areas in a manner which damages the improvement, then such party shall at its own expense restore the disturbed portion of the EAsement Areas to as near the same condition as it was found before such work was undertaken, such restoration to be completed as soon as is reasonably practicable after consummation of the

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1
[Signature]
mb

MAY 5 1989

work in question.

Each party shall, and does hereby indemnify, and hold the other party and the other party's successors, assigns, employees and agents thereof harmless from and against all losses, costs, claims, or damages of any nature including (without limitation) taxes, assessments or levies, court costs and attorneys' fees arising out of, related to, or in any way connected with the exercise by that party or any related parties of the rights granted herein.

JAE shall be responsible for the initial design and construction of any access drive located within the Easement Areas. Upon sale of Leveton's adjacent property, the parties or their heirs, successors and assigns shall share equally the costs of maintenance of the access drive located within the Easement Areas.

No money has been exchanged by the parties for these conveyances; provided, however, each party acknowledges receipt of other good and valuable consideration.

Each party warrants to the other party that it is lawfully seized in fee simple of the portion of the Easement Areas which it is conveying.

Executed this 1st day of ^{May} ~~April~~, 1989.

FIRST INTERSTATE BANK OF OREGON, N.A.
personal representative of the Estate of William Leveton

JAE OREGON, INC.

By: [Signature]
Name _____
Title Vice President

By: [Signature]
Name Masao Asakura
Title President

By: [Signature]
Name D.W. Michael
Title ASST VICE PRESIDENT

2
[Signature]

MAY 5 1989

STATE OF OREGON)
) ss.
COUNTY OF MULTNOMAH)

On this 1 day of ^{may}~~April~~, 1989, before me, the undersigned, a Notary Public, personally appeared James M. Wilson, the Vice President and D. W. Michael, the Assistant Vice President of First Interstate Bank of Oregon, N.A. personal representative of the Estate of William Leveton, and acting on behalf of the bank and of the Estate, acknowledged the foregoing instrument as the voluntary act and deed of the bank and the Estate.

Debra M. Deadmond
Notary Public for Oregon DEBRA M. DEADMOND
My Commission expires 1-11-92
NOTARY PUBLIC - OREGON
My Commission Expires 1-11-92

STATE OF OREGON)
) ss.
COUNTY OF MULTNOMAH)

This instrument was acknowledged before me on 1 day of ^{may}~~April~~, 1989, by Masao Asakura as President of JAE Oregon, Inc.

Notary Public for Oregon
My Commission expires: _____

Debra M. Deadmond
DEBRA M. DEADMOND
NOTARY PUBLIC - OREGON
My Commission Expires 1-11-92

Return to:
Mark E Foster
121 SW. Salmon, S. 1630
Portland, Or. 97204

3

3
J.A.

MAY 5 1989

PROPERTY DESCRIPTION

EXHIBIT A

Tax Lot 100
Section 22, Twp. 2 S.
Range 1 W. of W.M.

JOINT ACCESS EASEMENT

A strip of land of varying width and direction, being a portion of that parcel of real property described in a deed to William Leveton recorded in Book 1000, Page 713, Deed Records of Washington County, Oregon, said strip of land bounded by the following bearings and distances type description;

Commencing at a 2-inch brass disc marking the North Quarter Corner of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence, S 00° 03' 39" W 30.00 feet along the North quarter section line of said Section 22 to the Point of Beginning on the South Right-of-Way line of S.W. Tualatin Road; thence, N 89° 40' 12" E 0.05 feet along said South Right-of-Way line; thence, S 89° 44' 37" E 63.07 feet along said South Right-of-Way line to a tangent curve to the left having a radius of 35.00 feet through a central angle of 90° 11' 44", the long chord of which bears S 45° 09' 31" W 49.58 feet; thence, S 0° 03' 39" W 14.79 feet; thence, S 3° 22' 27" W 95.16 feet to a nontangent curve to the right having a radius of 172.50 feet through a central angle of 21° 14' 34", the long chord of which bears S 10° 40' 55" W 63.59 feet; thence, N 89° 56' 21" W 10.78 feet to said North quarter section line of Section 22; thence, N 0° 03' 39" E 207.50 feet to the Point of Beginning.

Contains an area of 5227.9 sq. ft., more or less.

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M.B.

MAY 5 1989

PROPERTY DESCRIPTION

EXHIBIT B

Tax Lot 100, Parcel No. 2
Section 22, Twp 2 S.
Range 1 W. of W.M.

JOINT ACCESS EASEMENT

A strip of land of varying width and direction over and across the following described real property:

Commencing at a 2-inch brass disc marking the North quarter section corner of Section 22, T2S, R1W of the Willamette Meridian, thence S 0°03'39" W along the North quarter section line 30.00 feet to the South right-of-way line of S.W. Tualatin Road. Said point marked with a 5/8" iron rod and being the True Point of Beginning of this description. Continuing S 0°03'39" W along the North quarter section line 1,296.97 feet to a 5/8" iron rod; thence, N 87°27'19" W 112.70 feet to a 5/8" iron rod marking the beginning of a tangent curve to the left having a radius of 630.00 feet through a central angle of 33°11'44", the long chord of which bears S 75°56'49" W 359.92 feet to a 5/8" iron rod; thence, S 59°20'58" W 393.60 feet to an iron rod marking the beginning of a tangent curve to the right having a radius of 970.00 feet through a central angle of 16°59'41", the long chord of which bears S 67°50'48" W 286.66 feet to a 5/8" iron rod; thence, S 76°20'39" W 123.55 feet to a 5/8" iron rod; thence, N 0°03'39" E 1,710.46 feet to a 5/8" iron rod on the South right-of-way line of S.W. Tualatin Road; thence, N 89°40'12" E along said South right-of-way line 1,185.49 feet to the True Point of Beginning.

Except county roads.

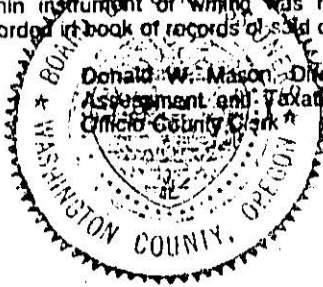
Said strip of land bounded by the following bearings and distances type description;

Commencing at a 2-inch brass disc marking the North Quarter Corner of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence, S 00°03'39" W 30.00 feet along the quarter section line of said Section 22 to the Point of Beginning on the South Right-of-Way line of S.W. Tualatin Road; thence, S 00°03'39" W 207.50 feet along said quarter section line, said line also being the East property line of subject Parcel No. 2; thence, N 89°56'21" W 10.78 feet to a nontangent curve to the right having a radius of 172.50 feet through a central angle of 21°14'34", the long chord of which bears N 10°33'38" W 63.59 feet; thence, N 3°15'10" W 95.16 feet; thence, N 0°03'39" E 14.57 feet to a tangent curve to the left having a radius of 35.00 feet through a central angle of 90°23'26", the long chord of which bears N 45° 08'05" W 49.67 feet to a point on the North line of said Parcel No. 2; thence, N 89°40'12" E 63.24 feet to the Point of Beginning.

Contains an area of 5228.7 square feet, more or less.

STATE OF OREGON }
County of Washington } SS

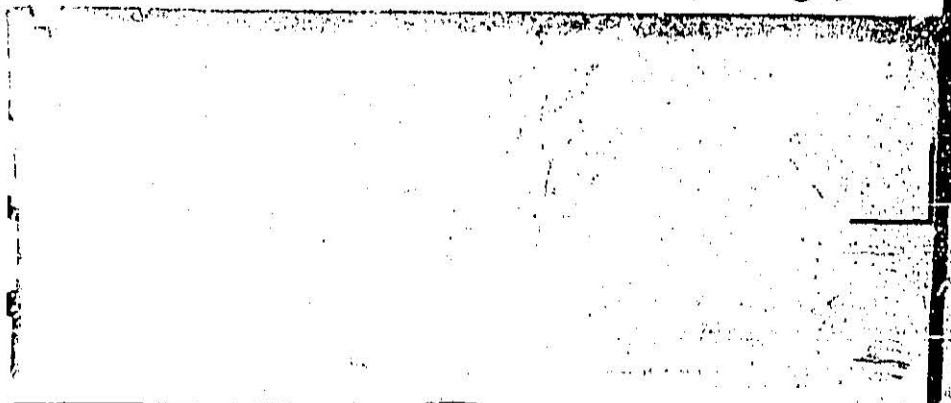
I, Donald W. Mason, Director of Assessment and Taxation and Ex-Officio Recorder of Conveyances for said County, do hereby certify that the within instrument of writing was received and recorded in book of records of said county.



Doc : 89020417
Rect: 9347
05/05/1989 04:13:04PM 31.00

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5
M.A.



PROPERTY DESCRIPTION

EXHIBIT B

Tax Lot 100, Parcel No. 2
Section 22, Twp 2 S.
Range 1 W. of W.M.

JOINT ACCESS EASEMENT

A strip of land of varying width and direction over and across the following described real property:

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Except county roads.

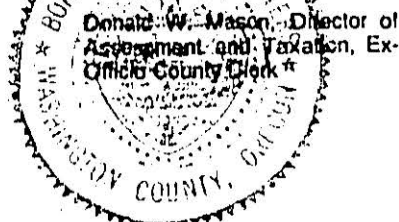
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Contains an area of 5228.7 square feet, more or less.

STATE OF OREGON }
County of Washington } SS

I, Donald W. Mason, Director of Assessment and Taxation and Ex. Officio Recorder of Conveyances for said County, do hereby certify that the within instrument of writing was received and recorded in book of records of said county.



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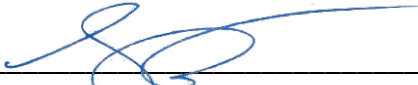


AFFIDAVIT OF MAILING

I, Erin Engman, being first duly sworn, depose and say:

That on the 28 day of October, 2022, I served upon the persons shown on Exhibit A, attached hereto and by this reference incorporated herein, a copy of a Notice of Application marked Exhibit B, attached hereto and by this reference incorporated herein, by mailing to them a true and correct copy of the original hereof. I further certify that the addresses shown on said Exhibit A are their regular addresses as determined from the books and records of the Washington County and/or Clackamas County Departments of Assessment and Taxation Tax Rolls, and that said envelopes were placed in the United States Mail at Tualatin, Oregon, with postage fully prepared thereon.

Dated this 28 of October, 2022



Signature

RE: IMP22-0001

TLID	OWNER1	OWNERADDR	OWNERCITY	OWNERSTATE	OWNERZIP
2S123BB00501	18355 SW TETON AVENUE TUALATIN OR LLC	17455 SW RIDGEVIEW LN	LAKE OSWEGO	OR	97034
2S123BB90002	3 J'S PROPERTIES LLC	10400 SW TUALATIN RD	TUALATIN	OR	97062
2S123BB00701	AAA OREGON/IDAHO	600 MARKET ST	PORTLAND	OR	97201
2S122AD01300	ABBOTT TUALATIN LLC	3030 BRIDGEWAY	SAUSALITO	CA	94965
2S115DC12100	ABERNATHY TRAVIS E & ABERNATHY AMANDA M	17860 SW 114TH AVE	TUALATIN	OR	97062
2S114CC07300	ABRAMS HOWARD R REV LIV TRUST	7799 SW MONTCLAIR DR	PORTLAND	OR	97225
2S114CC05700	ACKLEY KRISTEN & ROTTMAN ERIK A	17961 SW 105TH CT	TUALATIN	OR	97062
2S114CB01900	ADAMS KAREN E & BARTHOLOMEW BRIAN J	17445 SW 104TH AVE	TUALATIN	OR	97062
2S115DD00700	ADAMS SHEILA D	10915 SW TUALATIN RD	TUALATIN	OR	97062
2S114CC07600	AHUNA KLAUS G & AHUNA JANET L	10332 SW PUEBLO ST	TUALATIN	OR	97062
2S115DD02100	AIELLO KAREN L	10650 SW PUEBLO CT	TUALATIN	OR	97062
2S115DC00800	ALBERTSON BRUCE & ALBERTSON JUDY	11415 SW ELMER CT	TUALATIN	OR	97062
2S115DD15100	ALBERT GARY J & ALBERT LISA J	17630 SW 108TH PL	TUALATIN	OR	97062
2S115DA03800	AMAN FAMILY TRUST	17435 SW 108TH PL	TUALATIN	OR	97062
2S115DD19000	ANDERSON DEBORAH M	11045 SW TUALATIN RD	TUALATIN	OR	97062
2S115C002802	APOSTOLIC LUTHERAN CHURCH OF PORTLAND	PO BOX 23312	TIGARD	OR	97223
2S115DC00900	ARBUCKLE JAMES F & ARBUCKLE MARY D	11400 SW ELMER CT	TUALATIN	OR	97062
2S115DC11300	ARNDT RONALD C 2015 TRUST	80395 WEISKOPF	LA QUINTA	CA	92253
2S115DA01700	ARROYO CHRIS & ARROYO JAQUELINE C	10515 SW STARR DR	TUALATIN	OR	97062
2S115DD07600	ASAI C&C JOINT TRUST	10555 SW KIOWA ST	TUALATIN	OR	97062
2S122AA00400	ASCENTEC ENGINEERING LLC	18500 SW 108TH AVE	TUALATIN	OR	97062
2S122AD00100	ASCENTEC ENGINEERING LLC	18500 SW 108TH AVE	TUALATIN	OR	97062
2S115DD06500	AUGUSTYNIAK EDWARD J & SUJCZYNSKA MONIKA J	10555 SW BANNOCH CT	TUALATIN	OR	97062
2S115DC06100	BAEDOR FAMILY TRUST	17775 SW 111TH AVE	TUALATIN	OR	97062
2S115DD02900	BAILEY TRUST	17971 SW 106TH AVE	TUALATIN	OR	97062
2S115DD15200	BAIRD LEAH J	17610 SW 108TH PL	TUALATIN	OR	97062
2S114CC07700	BANEY JOACHIM E	PO BOX 3474	PORTLAND	OR	97208
2S115DD12100	BANTA BRYCE & BANTA RENE	17880 SW 110TH AVE	TUALATIN	OR	97062
2S115DC00600	BARRACLOUGH RODNEY P JR & BARRACLOUGH SANDRA	11475 SW ELMER CT	TUALATIN	OR	97062
2S115DD12900	BARROW BRAD JAMES & BARROW SYDNEY ANTONETTE	10850 SW BANNOCH ST	TUALATIN	OR	97062
2S115DD17000	BARRON LIV TRUST	11065 SW LUCAS DR	TUALATIN	OR	97062
2S115DD07200	BARTHOLOMEW MARY C TRUST	10570 SW KIOWA ST	TUALATIN	OR	97062
2S115DC10300	BATEMAN BRENT A & BATEMAN KARLA S	17875 SW 114TH AVE	TUALATIN	OR	97062
2S115DD07400	BAUMANN THOMAS K & BAUMANN ROSEMARIE D	10500 SW KIOWA ST	TUALATIN	OR	97062
2S115DD07000	BAXTER CHRISTOPHER & BAXTER STEPHANIE	10606 SW BANNOCH CT	TUALATIN	OR	97062
2S115DD02000	BELL TAMERA J & JURCHEN STEVEN L	10644 SW PUEBLO ST	TUALATIN	OR	97062
2S114CB01600	BENEDICT ELIZABETH A	10460 SW KELLOGG DR	TUALATIN	OR	97062
2S115DA01900	BENKE FAMILY TRUST	17400 SW 106TH CT	TUALATIN	OR	97062
2S115DD10400	BENNETT JENNIFER ANN & FRICK BENJAMIN JOHN	11030 SW WINTU CT	TUALATIN	OR	97062
2S115DC08400	BERG TOR L & BERG CHERYL L	17880 SW 113TH AVE	TUALATIN	OR	97062
2S115DC04900	BERGGREN TERESA D	11115 SW GARRETT ST	TUALATIN	OR	97062
2S115DC09200	BERGGREN BRAD J & BERGGREN ROBERTA K	11425 SW KALISPELL ST	TUALATIN	OR	97062
2S115DC05800	BIEHLER ROBYN L	17750 SW 112TH AVE	TUALATIN	OR	97062
2S114CC06900	BILITZ MARTIN & BILITZ MICHAELA DANIELA	10479 SW PUEBLO ST	TUALATIN	OR	97062
2S114CB02600	BIXEL JENNIFER	10455 SW KELLOGG DR	TUALATIN	OR	97062
2S115DC10800	BLAKEY BLAKE & BLAKEY DOMENIQUE	11400 SW APALACHEE ST	TUALATIN	OR	97062
2S114CC06100	BLATT CHARLES M JR & BLATT NAOMI T	17897 SW 105TH CT	TUALATIN	OR	97062
2S115DD11000	BLUM MARY LOU	11020 SW WISHRAM CT	TUALATIN	OR	97062
2S114CC07000	BORTHWICK MELODY	10461 SW PUEBLO ST	TUALATIN	OR	97062
2S115DD19200	BOSWOOD KRISTINA G	11029 SW TUALATIN RD	TUALATIN	OR	97062
2S115DD19500	BOWER NESLER FAMILY TRUST	17967 SW 110TH PL	TUALATIN	OR	97062
2S115DC08500	BRISAN MARIUS M & BRISAN LIDIA M	17850 SW 113TH AVE	TUALATIN	OR	97062
2S115DD15700	BROCKWAY FAMILY TRUST	17455 SW 108TH PL	TUALATIN	OR	97062
2S114CB02800	BROOKS STEVEN K & DAVIS HEATHER M	15532 SW PACIFIC HWY #CIB111	TIGARD	OR	97224
2S115DC09400	BROPHY JEFFREY E & BROPHY DANETTE M	11465 SW KALISPELL ST	TUALATIN	OR	97062
2S115DD11600	BROWNE AARON J & BROWNE KELLIE G	11035 SW WISHRAM CT	TUALATIN	OR	97062
2S115DC01900	BRYANT SYDNAY & BRYANT JAKE	11420 SW ROBERTS CT	TUALATIN	OR	97062
2S115DD12200	BUCKNER ORVILLE KERN III	17890 SW 110TH AVE	TUALATIN	OR	97062
2S114CB02100	BURDICK EILEEN T & BURDICK CHRISTOPHER J	17430 SW 104TH AVE	TUALATIN	OR	97062
2S115DC11800	BURNS JACK S	17785 SW 113TH AVE	TUALATIN	OR	97062
2S115DC03700	BUSHNELL TODD MICHAEL	17960 SW 111TH AVE	TUALATIN	OR	97062
2S115DD05800	CAGLE STEVEN & CAROLYN LIV TRUST	10777 SW KIOWA CT	TUALATIN	OR	97062
2S115DD13900	CALDER KENNETH D & CALDER MARY C	10945 SW TUNICA ST	TUALATIN	OR	97062
2S122AD00400	CALMAX TECHNOLOGY INC	3491 LAFAYETTE ST	SANTA CLARA	CA	95054
2S115DC04000	CAVEN JEREMY LIONEL	17870 SW 111TH AVE	TUALATIN	OR	97062
2S122AD00900	CEDAR LANDSCAPE MAINTENANCE LLC	6107 SW MURRAY BLVD #175	BEAVERTON	OR	97008
2S115DC10000	CERO JEFFREY C & CERO CARISSA	11410 SW KALISPELL ST	TUALATIN	OR	97062
2S115DD01800	CHALFAN TRUST	4095 WESTBAY RD	LAKE OSWEGO	OR	97035
2S115DD15000	CHALISE PRAVEEN & CHALISE DEEPA	17625 SW 108TH PL	TUALATIN	OR	97062
2S115DD06400	CHAMBERS NICHOLAS RYAN & MURATA-CHAMBERS AKIMI SAKU	10595 SW BANNOCH CT	TUALATIN	OR	97062
2S123B000600	CHAMBERLAIN HUSSA PROPERTIES	18755 SW TETON AVE	TUALATIN	OR	97062
2S115DC11000	CHANG SARAH	11360 SW APALACHEE ST	TUALATIN	OR	97062
2S115DC07100	CHAUNCEY LOIS	17890 SW 112TH AVE	TUALATIN	OR	97062
2S115DD05100	CHRISTIAN LOU A & CHRISTIAN TINA L	10677 SW BANNOCH ST	TUALATIN	OR	97062
2S115DD02500	CLARK DAVID A & CLARK CATHERINE M	10639 SW PUEBLO CT	TUALATIN	OR	97062
2S115DD08400	CLARK MONICA J & CLARK LONNY T	10525 SW LUCAS CT	TUALATIN	OR	97062
2S115DD11900	CLARK CHARLES L TRUST	17875 SW 110TH AVE	TUALATIN	OR	97062
2S115DC02100	COCKRELL WILLIAM D & COCKRELL PAMELA K	11460 SW ROBERTS CT	TUALATIN	OR	97062
2S114CC06700	CODINO VAL H & CODINO LOIS D	17962 SW 105TH CT	TUALATIN	OR	97062
2S115DD16700	COMPTON JAY W	17595 SW 110TH AVE	TUALATIN	OR	97062
2S115DD05300	CONNER DANIEL J & CONNER SHARON W	10650 SW KIOWA CT	TUALATIN	OR	97062
2S115DD17200	CORR FAMILY REV TRUST	17585 SW 111TH AVE	TUALATIN	OR	97062
2S115DC90003	COSNER BERNADETTE	17890 SW 115TH AVE UNIT 3	TUALATIN	OR	97062
2S115DC10100	COX LEE H & COX CHRISTINA R	17825 SW 114TH AVE	TUALATIN	OR	97062
2S115C001600	CR RIVERCREST MEADOWS COMMUNITIES LLC	444 W BEECH ST #300	SAN DIEGO	CA	92101
2S115C001700	CR RIVERCREST MEADOWS COMMUNITIES LLC	444 W BEECH ST #300	SAN DIEGO	CA	92101
2S115DD01400	CRALL RICHARD F & CRALL BARBARA M	10055 SW WASCO WAY	TUALATIN	OR	97062

2S115DC10200	CROSS THOMAS A & CROSS DIANE RUTH	17845 SW 114TH AVE	TUALATIN	OR	97062
2S115C002803	CYPRESS PARISH LLC	16750 SE KENS CT	MILWAUKIE	OR	97267
2S114CC05500	DEAVILLE CASEY D	17970 SW 105TH CT	TUALATIN	OR	97062
2S115DD17500	DEBRAUWERE RICHARD L & DEBRAUWERE ELEANOR K	11100 SW LUCAS DR	TUALATIN	OR	97062
2S115DD14100	DEHEN PAUL V & DEHEN ROBERTA A	10995 SW TUNICA ST	TUALATIN	OR	97062
2S115DA03500	DEJONG STEVEN & DEJONG KAITLIN	17350 SW 108TH PL	TUALATIN	OR	97062
2S115DC06200	DOLAK TYLER JOHN & MCMUNN KRISTIANA NICHOLE	17795 SW 111TH AVE	TUALATIN	OR	97062
2S115DD02300	DONAUGH ANTHONY M & DONAUGH CHRISTI S	10651 SW PUEBLO CT	TUALATIN	OR	97062
2S115DC08600	DONOHUE NICHOLAS MICHAEL	17800 SW 113TH AVE	TUALATIN	OR	97062
2S115DC06500	DOWNING DARYL & DOWNING CHRISTINE	17865 SW 111TH AVE	TUALATIN	OR	97062
2S115DD06100	DRAPER JAMES A & JANICE F TRUST	17755 SW 106TH AVE	TUALATIN	OR	97062
2S115DA04000	DUPUIS KENNETH & DUPUIS ERIN	17550 SW 110TH AVE	TUALATIN	OR	97062
2S115DA04100	DUPUIS FAMILY TRUST	17460 SW 110TH AVE	TUALATIN	OR	97062
2S115DC08700	EASTMAN ROBYN T & EASTMAN SANDY M	17770 SW 113TH AVE	TUALATIN	OR	97062
2S115DC06700	EDEN CHRISTOPHER	11155 SW APALACHEE ST	TUALATIN	OR	97062
2S115DD20000	EDWARDS MARK	17986 SW 110TH PL	TUALATIN	OR	97062
2S115DA04800	ESTRADA ALFRED & ESTRADA SHARON	17460 SW 111TH AVE	TUALATIN	OR	97062
2S115DD14500	FB TRUST	10910 SW BANNOCH ST	TUALATIN	OR	97062
2S115DC02000	FENN DENNIS LESLIE & FENN ROBERTA JEAN	11440 SW ROBERTS CT	TUALATIN	OR	97062
2S115DC07000	FEUERBORN CHAD M & FEUERBORN CATHY	26385 SW PEAKS MT ROAD	WEST LINN	OR	97068
2S115DD15800	FISH TAMMY G & FISH WAYNE L	17475 SW 108TH PL	TUALATIN	OR	97062
2S115DC11400	FITCH JACQUELINE DARLENE & FITCH JOHN WALLACE	17915 SW 113TH AVE	TUALATIN	OR	97062
2S115DC10900	FLORES SAMANTHA & PENA JOSE ROBERTO	11380 SW APALACHEE ST	TUALATIN	OR	97062
2S115DD13600	FOILES LESLIE E & FOILES VICTORIA A	10960 SW TUNICA ST	TUALATIN	OR	97062
2S115DC00500	FORD KEVIN & LOCKE EMMA	11495 SW ELMER CT	TUALATIN	OR	97062
2S115DD19400	FORD JOHN E & AMES STEPHANIE	17953 SW 110TH PL	TUALATIN	OR	97062
2S115DC05100	FRAINEY BRIAN A & FRAINEY ABIGAIL J	11155 SW GARRETT ST	TUALATIN	OR	97062
2S115DA01600	FRANKLIN MELLISA & FRANKLIN IGNACIO	17425 SW 105TH AVE	TUALATIN	OR	97062
2S115DA01400	FRIEDMAN MARK E REV TRUST & FRIEDMAN JOHNNALEE L REV TRUST	17355 SW 105TH AVE	TUALATIN	OR	97062
2S115DC09800	FRONCZAK GREG JOHN	11450 SW KALISPELL ST	TUALATIN	OR	97062
2S1220000400	FUJIMI CORPORATION	11200 SW LEVETON DR	TUALATIN	OR	97062
2S115DD05400	GALLARDO MICHAEL & MIELE SARA	10680 SW KIWOWA CT	TUALATIN	OR	97062
2S115DD13500	GALLAGHER RON MICHAEL & GALLAGHER KELLY MORIARTY	17975 SW 109TH AVE	TUALATIN	OR	97062
2S115DC06800	GALVIN JEREMY & GALVIN ANDREA	17950 SW 112TH AVE	TUALATIN	OR	97062
2S122AD01100	GARSKE TRAVIS W	PO BOX 729	COLBERT	WA	99005
2S115DC03000	GASTON LARRY R REV LIV TRUST	18189 SHADY HOLLOW WAY	WEST LINN	OR	97068
2S115DA04400	GILBERTSON CHRISTOPHER C & GILBERTSON HEIDI S	17435 SW 110TH AVE	TUALATIN	OR	97062
2S115DD09100	GILL BRANDON & GILL SARENA	10550 SW STARR DR	TUALATIN	OR	97062
2S115DC06000	GIMARELLI-BAST TERRA	11120 SW GARRETT ST	TUALATIN	OR	97062
2S115DD02700	GIRDNER DOUGLAS R & GIRDNER SANDRA L	10623 SW PUEBLO CT	TUALATIN	OR	97062
2S114CB02500	GITT SHARON M	10435 SW KELLOGG DR	TUALATIN	OR	97062
2S115DD16200	GITT SEAN C & GITT MELISSA A	17770 SW 110TH AVE	TUALATIN	OR	97062
2S115DD16900	GLASSER FAMILY REV TRUST	11035 SW LUCAS DR	TUALATIN	OR	97062
2S115DA04300	GODFREY DAVID E & GODFREY LISA J	17410 SW 110TH AVE	TUALATIN	OR	97062
2S115DD16600	GOESSENS JACQUES E & GOESSENS SUSAN	17580 SW 110TH AVE	TUALATIN	OR	97062
2S114CC05800	GONZALEZ JULIE A REV TRUST	17565 SW 110TH AVE	TUALATIN	OR	97062
2S115DA04600	GONZALEZ JULIE A REV TRUST	17565 SW 110TH AVE	TUALATIN	OR	97062
2S115DC11900	GONZALEZ RODOLFO GUERRERO & GUZMAN JOSE LUIS AMEZCUA	17780 SW 114TH AVE	TUALATIN	OR	97062
2S115DC00300	GOVINDAN ANUMARLA & GOVINDAN SODHARI	11460 SW HAZELBROOK RD	TUALATIN	OR	97062
2S115DA04700	GRAHAM CONNIE L REV TRUST	PO BOX 2238	TUALATIN	OR	97062
2S115DC10500	GREENE JOHN W & GREENE SUSAN	17915 SW 114TH AVE	TUALATIN	OR	97062
2S115DD06000	GREEN GARY L & GREEN JANIS A	10695 SW KIWOWA CT	TUALATIN	OR	97062
2S115DD11800	GREEN CRAIG D	17885 SW 110TH AVE	TUALATIN	OR	97062
2S115DD01700	GROVE NICOLE & GROVE MATTHEW	17987 SW 106TH AVE	TUALATIN	OR	97062
2S115DD04900	GUILFOYLE CAROL L TRUST	10795 SW BANNOCH ST	TUALATIN	OR	97062
2S115DD10600	GUTOWSKI MARK A	11070 SW WINTU CT	TUALATIN	OR	97062
2S114CC05400	GUY CARRIE & GUY TIMOTHY M	10482 SW PUEBLO CT	TUALATIN	OR	97062
2S115DD07700	HACKBARTH JANICE V	10585 SW KIWOWA ST	TUALATIN	OR	97062
2S115DD15400	HALL STEPHEN C & HALL WENDY S	10799 SW LUCAS DR	TUALATIN	OR	97062
2S115DC00400	HAMILTON PAUL CHARLES & HAMILTON JOAN E	PO BOX 3207	TUALATIN	OR	97062
2S115DC09900	HAMILTON BRETT T & HAMILTON KAMI R	11430 SW KALISPELL ST	TUALATIN	OR	97062
2S115DD19900	HANNEGAN MICHAEL L	17992 SW 110TH PL	TUALATIN	OR	97062
2S114CB01500	HANNON RACHELLE S & HANNON JEFFREY T	17440 SW 105TH AVE	TUALATIN	OR	97062
2S115DD16400	HANSON TIMOTHY J & HANSON SUSAN E	17690 SW 110TH AVE	TUALATIN	OR	97062
2S115DD19100	HARRIS DEGAY C & OBIDIGBO OBINNA KINGSLEY	11037 SW TUALATIN RD	TUALATIN	OR	97062
2S115DC03200	HARTFEIL DERICH & HARTFEIL ELEANOR	11170 SW APALACHEE ST	TUALATIN	OR	97062
2S114CB02400	HAUPERT REV TRUST	10415 SW KELLOGG DR	TUALATIN	OR	97062
2S115DD18300	HAYES RYAN D & ANCHARSKI NANCY	11025 SW WINYA CT	TUALATIN	OR	97062
2S115DC90000	HAZELBROOK CONDO UNIT OWNERS			OR	00000
2S115DD14000	HEIN CHRISTOPHER HAROLD & HEIN SUSANNE BIRGIT	10975 SW TUNICA ST	TUALATIN	OR	97062
2S122AA00100	HELSEER LP	PO BOX 1569	TUALATIN	OR	97062
2S115DD01900	HELTNESS ERIC TODD & HELTNESS CHERYL LYNN	10632 SW PUEBLO CT	TUALATIN	OR	97062
2S115DD02400	HEMANN MAURA A REV LIV TRUST	10645 SW PUEBLO CT	TUALATIN	OR	97062
2S114CB02300	HENRY DAVID & SHARI TRUST	10355 SW KELLOGG DR	TUALATIN	OR	97062
2S115DD13400	HENSLEY TRACY L & BARTELS AARON DAVID	17980 SW 109TH AVE	TUALATIN	OR	97062
2S115DD08100	HERINCKX JEFFREY & HERINCKX CHANDA S	10560 SW LUCAS CT	TUALATIN	OR	97062
2S115DC06300	HEWITT KRISTY K & HEWITT MARSHALL	17815 SW 111TH AVE	TUALATIN	OR	97062
2S115DD06700	HILDEBRAN REED & HILDEBRAN SALLY J	10500 SW BANNOCH CT	TUALATIN	OR	97062
2S114CC07500	HILLIARD DAVID M & DRAPER ELIZABETH L	10316 SW PUEBLO ST	TUALATIN	OR	97062
2S115DC90002	HINDS FAMILY TRUST	17900 SW 115TH AVE	TUALATIN	OR	97062
2S115DC01100	HIRTE EDWIN K & HIRTE TERESA J	11450 SW ELMER CT	TUALATIN	OR	97062
2S115DC01700	HISLOP BRENT & HISLOP CLAUDIA	11425 SW ROBERTS CT	TUALATIN	OR	97062
2S115DD10900	HOLMES TRUST	11025 SW WINTU CT	TUALATIN	OR	97062
2S115DC08800	HOOVER DEVIN & HOOVER KRISTEN	11315 SW KALISPELL ST	TUALATIN	OR	97062
2S115DC09600	HOURLANI JIHAD & SHIKHA HAYAT	11490 SW KALISPELL ST	TUALATIN	OR	97062
2S115DA05200	HOWELL ZACHARY P & HOWELL REBECCA J	17535 SW 111TH AVE	TUALATIN	OR	97062
2S122AA00600	HR LLC	18280 SW 108TH AVE	TUALATIN	OR	97062
2S115DC05000	HUGEBACK BENJAMIN L & HUGEBACK JULIET F	11135 SW GARRETT ST	TUALATIN	OR	97062

2S114CC07100	HURDLE FAMILY REV TRUST	15927 SE LARK AVE	MILWAUKIE	OR	97267
2S115DA04900	HUTCHISON BERNADETTE SEP PROP REV LIV TRUST	17430 SW 111TH AVE	TUALATIN	OR	97062
2S115DD05900	HYATT SEAN & HYATT LISA	10755 SW KIOWA CT	TUALATIN	OR	97062
2S115DA04500	IMBLER-YOUNG DIANE REV LIV TRUST	17485 SW 110TH AVE	TUALATIN	OR	97062
2S115DD12300	IMUS R GREGORY & IMUS DEBORAH R	17895 SW 109TH AVE	TUALATIN	OR	97062
2S122BA00100	JAE OREGON INC	11555 SW LEVETON DR	TUALATIN	OR	97062
2S122BA00200	JAE OREGON INC	11555 SW LEVETON DR	TUALATIN	OR	97062
2S115DA02100	JAFFEE CAROLINE JOHANNA & JAFFEE JAY	17350 SW 106TH CT	TUALATIN	OR	97062
2S115DD01100	JAGODNIK BRIAN & JAGODNIK LAUREN	10536 SW PUEBLO ST	TUALATIN	OR	97062
2S115DD05600	JASTER ALEXIS	10760 SW KIOWA CT	TUALATIN	OR	97062
2S115DD17300	JERNBERG STANFORD W & JERNBERG LINDA F	17655 SW 111TH AVE	TUALATIN	OR	97062
2S114CB02200	JEWELL THOMAS G & JEWELL DANA P	17400 SW 104TH AVE	TUALATIN	OR	97062
2S115DD07500	JIRICEK AARON G & KARINA B REV LIV TRUST	10525 SW KIOWA ST	TUALATIN	OR	97062
2S115DC07400	JODOIN MICHAEL A & JODOIN NANCY	17810 SW 112TH AVE	TUALATIN	OR	97062
2S115DA03700	JOHNSTON LAURA D	17385 SW 108TH PL	TUALATIN	OR	97062
2S115DA05000	JOHNSON PHILLIP TILO	17445 SW 111TH AVE	TUALATIN	OR	97062
2S115DD17100	JOHNSON KIT & JOHNSON AMY	17560 SW 111TH AVE	TUALATIN	OR	97062
2S115DD20100	JONES ROBERT ALAN & JONES SHELLEY DIANE	17964 SW 110TH PL	TUALATIN	OR	97062
2S115DD08800	KERR JACK & KERR SARWESHNI	17645 SW 106TH AVE	TUALATIN	OR	97062
2S115DD03000	KINDRED LYLE V & KINDRED ELAINE A	17968 SW 106TH AVE	TUALATIN	OR	97062
2S115DD16100	KING BRADLEY W & KING LAURA J	17800 SW 110TH AVE	TUALATIN	OR	97062
2S115DC05600	KIRKPATRICK GREG D & KIRKPATRICK DEBRA S	17765 SW 112TH AVE	TUALATIN	OR	97062
2S115DC04300	KLEIN GEORGE P & KLEIN LEANNE S	17800 SW 111TH AVE	TUALATIN	OR	97062
2S115DD15500	KLENZ MICHAEL & KLENZ LINDA	17480 SW 108TH AVE	TUALATIN	OR	97062
2S115DD00900	KNAPKE STEVEN J & KNAPKE LIEN K	17997 SW 105TH CT	TUALATIN	OR	97062
2S115DD08600	KNAPPENBERGER CLARK W & KNAPPENBERGER CAROLYN	10575 SW LUCAS CT	TUALATIN	OR	97062
2S115DC11100	KNOLES RYAN CHRISTOPHER & CATON LISA	11340 SW APALACHEE ST	TUALATIN	OR	97062
2S115DD17900	KRAJCAR TIMOTHY D & KRAJCAR KIERSTEN A	11070 SW WINYA CT	TUALATIN	OR	97062
2S115DC07900	KUMAR ZOYA & UFFORD JOHN C	17915 SW 112TH AVE	TUALATIN	OR	97062
2S115DD15900	KUMLER PHILIP A & JULIE I FAM TRUST	17515 SW 108TH PL	TUALATIN	OR	97062
2S122AA00500	LAM RESEARCH CORPORATION	2025 GATEWAY PL #228	SAN JOSE	CA	95110
2S122AA00800	LAM RESEARCH CORPORATION	2025 GATEWAY PL #228	SAN JOSE	CA	95110
2S122AB00100	LAM RESEARCH CORPORATION	2025 GATEWAY PL #228	SAN JOSE	CA	95110
2S115DC11700	LAMB ETHAN S & LAMB SARAH W	17825 SW 113TH AVE	TUALATIN	OR	97062
2S115DC12500	LANG JULIANNE LERAE	3402 36TH AVE APT 3A	ASTORIA	NY	11106
2S115DC10700	LAUREN NICHOLAS D & LAUREN CHRISTINA M	17935 SW 114TH AVE	TUALATIN	OR	97062
2S115DA05100	LEE MIKE	17475 SW 111TH AVE	TUALATIN	OR	97062
2S115DD04500	LEE ANGELA & LEE BRETT	10640 SW BANNOCH ST	TUALATIN	OR	97062
2S115DD14900	LEE JONATHAN K & LEE STEPHANIE IRVING	17605 SW 108TH PL	TUALATIN	OR	97062
2S115DC08300	LEGEND HOMES CORPORATION	735 SW 158TH AVE STE 130	BEAVERTON	OR	97006
2S114CC07900	LEONARD JOHN D & LEONARD SARA	10412 SW PUEBLO ST	TUALATIN	OR	97062
2S115DC09100	LIGHT HARVEY EUGENE & LIGHT CLAUDIA JO	11405 SW KALISPELL ST	TUALATIN	OR	97062
2S115DD13200	LIN DONGMEI & MAO DIAN	17950 SW 109TH AVE	TUALATIN	OR	97062
2S114CC05600	LOANZON EMMELINE	17994 SW 105TH CT	TUALATIN	OR	97062
2S114CC05900	LONGTIN DAVID E JR	17929 SW 105TH CT	TUALATIN	OR	97062
2S114CC06300	LOOMIS TRUDY E	17902 SW 105TH CT	TUALATIN	OR	97062
2S115DD15600	LORENTE JOAQUIN & LORENTE LOUISE	17460 SW 108TH PL	TUALATIN	OR	97062
2S115DC04700	LOSER CALLIE	17700 SW 111TH AVE	TUALATIN	OR	97062
2S115DD11200	LUIKART GLEN	11060 SW WISHRAM CT	TUALATIN	OR	97062
2S122AA00700	LUMBER FAMILY CO LLC	PO BOX 1427	TUALATIN	OR	97062
2S115DD06800	MACAULAY THOMAS & MACAULAY DEBRA	10520 SW BANNOCH CT	TUALATIN	OR	97062
2S115DD14800	MACIELINSKI DAMIEN & LAURIE LIV TRUST	17565 SW 108TH PL	TUALATIN	OR	97062
2S115DD04800	MACK ADAM S & MACK KATHRYN M	10770 SW BANNOCH ST	TUALATIN	OR	97062
2S115DD18100	MACK RYAN P & MACK PATRICIA L	17825 SW 110TH AVE	TUALATIN	OR	97062
2S115DD03200	MACMILLEN JAMES WILSON & MACMILLEN DONNA JEAN	10547 SW PUEBLO ST	TUALATIN	OR	97062
2S115DD01500	MAGILKE GILBERT & MAGILKE GAIL L	17990 SW 106TH AVE	TUALATIN	OR	97062
2S115DC07200	MAGUIRE BRIAN J & MAGUIRE LISA N	17860 SW 112TH AVE	TUALATIN	OR	97062
2S114CC06500	MALETA SANDRA L & MALETA GREGORY B	17932 SW 105TH CT	TUALATIN	OR	97062
2S115DC00100	MANABE STELLA K & NAKAMA DEAN S	11420 SW HAZELBROOK RD	TUALATIN	OR	97062
2S115DC02200	MANN ERIC A & LUPULESCU NICOLETA	11490 SW ROBERTS CT	TUALATIN	OR	97062
2S115DC03500	MANN SONIA & MANN JONATHAN	11100 SW APALACHEE ST	TUALATIN	OR	97062
2S115DC04500	MARKS CHRISTINA A REV LIV TRUST	17760 SW 111TH AVE	TUALATIN	OR	97062
2S115DC04600	MARONDE JOHN ALBERT & MARONDE JILL I	17730 SW 111TH AVE	TUALATIN	OR	97062
2S122AD01000	MARSHALL ASSOCIATED LLC	PO BOX 278	TUALATIN	OR	97062
2S115DA01500	MAYER ANDREW PETER & MAYER MARIT JANAE	17395 SW 105TH AVE	TUALATIN	OR	97062
2S115DC03400	MCCLATCHEY CAITLIN & MCCLATCHEY GARRETT	11130 SW APALACHEE ST	TUALATIN	OR	97062
2S115DD01200	MCCURTAIN LIV TRUST	10560 SW PUEBLO ST	TUALATIN	OR	97062
2S115DD06900	MCCURDY WAYNE & MCCURDY BETTE	10580 SW BANNOCH CT	TUALATIN	OR	97062
2S115DD19600	MCKINNON SPENCER E	17971 SW 110TH PL	TUALATIN	OR	97062
2S115DC11500	MCPHERSON SCOTT K & MCPHERSON SUSAN R	17895 SW 113TH AVE	TUALATIN	OR	97062
2S115DD08000	MEGARGEE IRWIN F & MEGARGEE AMY L	10580 SW LUCAS CT	TUALATIN	OR	97062
2S115DC03900	MELTON LAWRENCE E & MELTON TONYA M	17900 SW 111TH AVE	TUALATIN	OR	97062
2S115DA03600	MEYER PAUL R & MEYER MARY B	17365 SW 108TH PL	TUALATIN	OR	97062
2S115DC06900	MICHAELIDES JAMIE C & RADISH KEVIN A	17920 SW 112TH AVE	TUALATIN	OR	97062
2S115DD05200	MIDKIFF HOUSTON A & MIDKIFF NANCY	17845 SW 106TH AVE	TUALATIN	OR	97062
2S115DC90004	MILES RAYE K	17880 SW 115TH AVE	TUALATIN	OR	97062
2S115DC03100	MILLER LYNN B	11190 SW APALACHEE ST	TUALATIN	OR	97062
2S115DD14300	MILLER JOINT TRUST	10970 SW BANNOCH ST	TUALATIN	OR	97062
2S115DD12500	MILNE JAMES S & MILNE MARY F	17875 SW 109TH AVE	TUALATIN	OR	97062
2S115DC01600	MINATO KAZUKI & MINATO YUKO	11445 SW ROBERTS CT	TUALATIN	OR	97062
2S115DC01300	MITCHELL TIMOTHY	900 SW 5TH AVE FL 17	PORTLAND	OR	97204
2S115DC90001	MITCHELL GARRETT C & MITCHELL SHARON M	17910 SW 115TH AVE	TUALATIN	OR	97062
2S115DD06300	MOORE KERRI ANN & MOORE CHRISTOHER	10619 SW BANNOCH CT	TUALATIN	OR	97062
2S115DD12000	MORAN STEVEN TIMOTHY & MORAN ASHLEY SCHNAPP	17870 SW 110TH AVE	TUALATION	OR	97062
2S122AD00600	MORGAN WILLIAM RAY & JANICE ELLEN REV LIV TRUST	4500 SW ADVANCE RD	WILSONVILLE	OR	97070
2S122AD00700	MORGAN WILLIAM RAY & JANICE ELLEN REV LIV TRUST	4500 SW ADVANCE RD	WILSONVILLE	OR	97070
2S122AD00800	MORGAN WILLIAM RAY & JANICE ELLEN REV LIV TRUST	4500 SW ADVANCE RD	WILSONVILLE	OR	97070
2S115DD13800	MORRELL LIVING TRUST	10915 SW TUNICA ST	TUALATIN	OR	97062

2S114CC06400 MORRISSEY FAMILY TRUST	17924 SW 105TH CT	TUALATIN	OR	97062
2S114CC06600 MOWERY DANA KAY	17948 SW 105TH CT	TUALATIN	OR	97062
2S115DC07600 MUIR JOHN S & ACHILOVA LOLA	17795 SW 112TH AVE	TUALATIN	OR	97062
2S115DD06200 MUNSON JAMES L & PAMELA B REV LIV TRUST	10600 SW KIOWA ST	TUALATIN	OR	97062
2S115DC09500 MURMAN CORY D & MURMAN TAMIKO A	11485 SW KALISPELL ST	TUALATIN	OR	97062
2S115DD19300 MURO MONICA D	11011 SW TUALATIN RD	TUALATIN	OR	97062
2S115DD10800 MUSTEDANAGIC ADIS & MUSTEDANAGIC ALISA	11045 SW WINTU CT	TUALATIN	OR	97062
2S115DC11200 NAJERA KENE S & BUSTOS ESMERALDA RODRIGUEZ	12288 SW FUJI CT	TIGARD	OR	97224
2S115DD14400 NEWTON DAVID & E SUZANNE JOINT TRUST	10950 SW BANNOCH ST	TUALATIN	OR	97062
2S114CC08000 NGUYEN HONG T & TRI VINH V	10444 SW PUEBLO ST	TUALATIN	OR	97062
2S115DC01500 NGUYEN CATHY H	11485 SW ROBERTS CT	TUALATIN	OR	97062
2S115DA03200 NORDEN PAUL W & NORDEN JEANINE D	17440 SW 108TH PL	TUALATIN	OR	97062
2S115DC00700 OLSON LIVING TRUST	11435 SW ELMER CT	TUALATIN	OR	97062
2S115DD17700 OLSON DOUGLAS E & OLSON KIMBERLY R	11130 SW WINYA CT	TUALATIN	OR	97062
2S115DD07900 ORLANES JONATHAN	10620 SW LUCAS DR	TUALATIN	OR	97062
2S115DD12400 OWEN GREGORY L & OWEN DEBORAH L	17885 SW 109TH AVE	TUALATIN	OR	97062
2S115DD13100 PAIGE ROBERT & PAIGE KELLIE	17940 SW 109TH AVE	TUALATIN	OR	97062
2S115DD18200 PAPAS EDITH ELIZABETH	11055 SW WINYA CT	TUALATIN	OR	97062
2S115DD00800 PARK DANIEL K & PARK ANNA K	9333 SW NEZ PERCE CT	TUALATIN	OR	97062
2S114CC07400 PARKER DAVID SCOTT	10301 SW PUEBLO ST	TUALATIN	OR	97062
2S115DC01200 PARKER SARAH D & PARKER WILEY	11480 SW ELMER CT	TUALATIN	OR	97062
2S115DC12000 PARKER MARION M	17830 SW 114TH AVE	TUALATIN	OR	97062
2S114CB01700 PAYNE DANIEL J & PAYNE JANET M	10440 SW KELLOGG DR	TUALATIN	OR	97062
2S114CC06800 PENNIMAN STEVEN K & PHYLLIS D REV LIV TRUST	8374 VEREDA DEL PADRE	GOLETA	CA	93117
2S114CC07800 PENSADO ERNESTO & ALVARENGA NALLY M	10380 SW PUEBLO ST	TUALATIN	OR	97062
2S115DC06600 PETERSON JACOB CURTIS & PETERSON JULIE DAWN	17925 SW 111TH AVE	TUALATIN	OR	97062
2S115DA02000 PEUSER NILS ARNE & PEUSER NICOLE	17380 SW 106TH CT	TUALATIN	OR	97062
2S122000300 PHIGHT LLC	ONE BOWERMAN DR	BEAVERTON	OR	97005
2S115DD08900 PLAMBECK CAROL R	10600 SW STARR DR	TUALATIN	OR	97062
2S115DC01400 POINTS YU SUNL	11465 SW ROBERTS CT	TUALATIN	OR	97062
2S115DD19800 POUR ALI FROTAN & ESFANDIARPOUR SAMANEH	17995 SW 110TH PL	TUALATIN	OR	97062
2S115DD01600 PR 17995 SW 106TH LLC	8925 SW IOWA DR	TUALATIN	OR	97062
2S115DD11300 PRICE DAVID A & PRICE JENNIFER K	11080 SW WISHRAM CT	TUALATIN	OR	97062
2S114CC06200 PUPPO MIKK	17894 SW 105TH CT	TUALATIN	OR	97062
2S115DC08000 PURCELLA ALEXANDRA M & PURCELLA SCOTT E	11215 SW APALACHEE ST	TUALATIN	OR	97062
2S115DC05700 PUTNAM DAVID L JR & PUTNAM HEIDI F	17770 SW 112TH AVE	TUALATIN	OR	97062
2S115DA03400 RADECKI SHAUN MICHAEL & RADECKI JESSICA ELLEN	17370 SW 108TH PL	TUALATIN	OR	97062
2S115DC09300 RADER SAM A & RADER ANDREA S	11445 SW KALISPELL ST	TUALATIN	OR	97062
2S115DD09200 RAMSBY MILLS TRUST	10500 SW STARR DR	TUALATIN	OR	97062
2S115DC00200 RANDALL LAWRENCE L & SANDOVAL-RANDALL C SUSIE	11440 SW HAZELBROOK RD	TUALATIN	OR	97062
2S114CC05300 RAXTER NORA SUSAN	10476 SW PUEBLO ST	TUALATIN	OR	97062
2S115DC04800 REDFERN KAREN D	11105 SW GARRETT ST	TUALATIN	OR	97062
2S115DC04200 RICE DOUGLAS S	17820 SW 111TH AVE	TUALATIN	OR	97062
2S115DD07800 RICHARDS EMMETT L & RICHARDS MARY C & RICHARDS SHELLEY D	15247 WILBUR RD	LA CONNER	WA	98257
2S115DD17800 RICHARDSON DEVIN & RICHARDSON TAMI ANN	11100 SW WINYA CT	TUALATIN	OR	97062
2S114CC06000 RICHEY LELAND R & RICHEY VALERIE J FAMILY TRUST	17911 SW 105TH CT	TUALATIN	OR	97062
2S115DD16800 RIRIE LIVING TRUST	11015 SW LUCAS DR	TUALATIN	OR	97062
2S115DC11600 RIVERA AURELIO GOMEZ	17865 SW 113TH AVE	TUALATIN	OR	97062
2S115DA04200 ROBBINS FAMILY REVOCABLE TRUST	17420 SW 110TH AVE	TUALATIN	OR	97062
2S115DC03600 ROBERTS BLAINE N	17980 SW 111TH AVE	TUALATIN	OR	97062
2S115DC12200 ROBERTS JULIE A	17890 SW 114TH AVE	TUALATIN	OR	97062
2S115DD01300 ROBINSON RONALD L & ROBINSON MICHELLE	17976 SW 106TH AVE	TUALATIN	OR	97062
2S115DC05200 ROE FAMILY TRUST	620 SAND HILL RD #213F	PALO ALTO	CA	94304
2S115DD03300 RUVALCABA CHRIS & RUVALCABA ESTHER	10529 SW PUEBLO ST	TUALATIN	OR	97062
2S115DC09700 RYAN DAIN & RYAN LEE	11470 SW KALISPELL ST	TUALATIN	OR	97062
2S115DD11400 RYAN MICHAEL	11075 SW WILSHRAM CT	TUALATIN	OR	97062
2S115DC12300 RYMAL CHARLES & RYMAL JESSICA	17920 SW 114TH AVE	TUALATIN	OR	97062
2S115DC02500 SABRA HEALTH CARE HOLDINGS III LLC	10220 SW GREENBURG RD #201	PORTLAND	OR	97223
2S115DD02800 SATTTLER BRIAN L & WALCZYK KERRY M	10615 SW PUEBLO CT	TUALATIN	OR	97062
2S115DC08900 SAVASTA THOMAS	11355 SW KALISPELL ST	TUALATIN	OR	97062
2S115DD04700 SCHAEFER SETH & SCHAEFER RENEE	10710 SW BANNOCH ST	TUALATIN	OR	97062
2S115DD08500 SCHENK JOANNE DANNA & SCHENK ROGER MYRON	10555 SW LUCAS CT	TUALATIN	OR	97062
2S115DD15300 SCHLACHTER KEVIN M & SCHLACHTER RENEE	17570 SW 108TH PL	TUALATIN	OR	97062
2S115DC06400 SCHLOETTER ERIN RENAE BATES	17845 SW 111TH AVE	TUALATIN	OR	97062
2S115DD12800 SCHOENHEIT JOHN & SCHOENHEIT KAITLIN J	17890 SW 109TH AVE	TUALATIN	OR	97062
2S114CB02000 SHEN PING LU	17460 SW 104TH AVE	TUALATIN	OR	97062
2S115DC05300 SHERFINSKI MICHAEL R	22915 SW 94TH TER	TUALATIN	OR	97062
2S115DD16300 SHERMAN JENNIFER A TRUST	17740 SW 110TH AVE	TUALATIN	OR	97062
2S115DC04100 SHERWOOD NICOLE D	17850 SW 111TH AVE	TUALATIN	OR	97062
2S115DD18600 SHETLER STACY A & SHETLER JOANNA L	11080 SW LUCAS DR	TUALATIN	OR	97062
2S115DD01000 SLAYTON LUANN LAURA	17989 SW 105TH CT	TUALATIN	OR	97062
2S115DD14200 SMITH LESTER MICHAEL & SMITH JOAN MARIE	10990 SW BANNOCH ST	TUALATIN	OR	97062
2S115DD19700 SMITH WILLIAM E & SHEARER-SMITH SARAH K	17989 SW 110TH PL	TUALATIN	OR	97062
2S115DD05500 SOVEY RACHEL & SOVEY BREEZ EUGENE	10720 SW KIOWA CT	TUALATIN	OR	97062
2S115DD13000 SPENCER FAMILY REV TRUST	17920 SW 109TH AVE	TUALATIN	OR	97062
2S115DC04400 STANTON ANDREW & STANTON ASHLEY	17780 SW 111TH AVE	TUALATIN	OR	97062
2S115DA03300 STEINER LARRY D SURVIVORS TRUST	17420 SW 108TH PL	TUALATIN	OR	97062
2S115DC05500 STEINMETZ JON & JEANETTE TRUST	17735 SW 112TH AVE	TUALATIN	OR	97062
2S115DC08100 STEWART-MOONEY MAUREEN	11225 SW APALACHEE ST	TUALATIN	OR	97062
2S115DD12600 STRENGTH GREG M & STRENGTH MARGO D	17870 SW 109TH AVE	TUALATIN	OR	97062
2S115DD13700 STRIBLING DAVID L & STRIBLING AMANDA L	10920 SW TUNICA ST	TUALATIN	OR	97062
2S115DD11700 STRICKLER LAUREL R & STRICKLER ADAM J	11025 SW WISHRAM CT	TUALATIN	OR	97062
2S115DC05900 STRINGFELLOW GAYLE	11140 SW GARRETT ST	TUALATIN	OR	97062
2S115DC03300 SULLIVAN SHANON LEE	11150 SW APALACHEE ST	TUALATIN	OR	97062
2S115DC05400 SULLIVAN WAIKEN L & SULLIVAN JENNIFER	17705 SW 112TH AVE	TUALATIN	OR	97062
2S115DD18400 SWAFFORD DOUGLAS G & SINCERE MIRIAM A	17715 SW 110TH AVE	TUALATIN	OR	97062
2S115DD17600 TALLENT DOMINIC JAMES & TALLENT HEINI	11115 SW WINYA CT	TUALATIN	OR	97062
2S115DD03100 TAYLOR-WEBER JAMIE & TAYLOR-WEBER ANTHONY	10573 SW PUEBLO ST	TUALATIN	OR	97062

2S115DD17400	TAYLOR MATTHEW R & TAYLOR SUZANNE L	17675 SW 111TH AVE	TUALATIN	OR	97062
2S115DC07300	TERJESON JOHN	17840 SW 112TH AVE	TUALATIN	OR	97062
2S123BB90000	TETON INDUSTRIAL CONDO OWNERS OF ALL UNITS			OR	00000
2S115DC07800	TIEDEMANN CHRISTINA ANNE	17885 SW 112TH AVE	TUALATIN	OR	97062
2S115D001400	TIGARD-TUALATIN SCHOOL DISTRICT #23J	6960 SW SANDBURG ST	TIGARD	OR	97223
2S114CC07200	TOWLE CORDES K & KRAEMER JILL J	15045 SW 141ST AVE	TIGARD	OR	97224
2S115DD11100	TREBELHORN DEAN B & TREBELHORN LINDA V	11040 SW WISHRAM CT	TUALATIN	OR	97062
2S115DD05000	TREMAIN JUNE E TRUST	10735 SW BANNOCH ST	TUALATIN	OR	97062
2S115DD05700	TROTMAN TRUST	10799 SW KIOWA CT	TUALATIN	OR	97062
2S115DA03900	TUALATIN CITY OF	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S115DA05300	TUALATIN CITY OF	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S115DA05400	TUALATIN CITY OF	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S115DC08200	TUALATIN CITY OF	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S115DC12400	TUALATIN CITY OF	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S115DD14600	TUALATIN CITY OF	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S115DD18700	TUALATIN CITY OF	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S115DD18800	TUALATIN CITY OF	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S115DD20200	TUALATIN CITY OF	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S115DD20300	TUALATIN CITY OF	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S1220000800	TUALATIN CITY OF	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S122AD00200	TUALATIN CITY OF	PO BOX 723597	ATLANTA	GA	31139
2S123B000602	TUALATIN TETON LLC	621 SW ALDER ST STE 800	PORTLAND	OR	97205
2S115DD02600	VALDENEGRO GILLIAN F TRUST	12925 NW PARRETT MOUNTAIN RD	NEWBERG	OR	97132
2S115DD13300	VANHORN MARK G & DIANA L LIV TRUST	17960 SW 109TH AVE	TUALATIN	OR	97062
2S114CB01400	VANN KEN & VANN CHRISTINA M	17480 SW 105TH AVE	TUALATIN	OR	97062
2S115DC01000	WAGGONER LOREN M & WAGGONER CYNTHIA J	11430 SW ELMER CT	TUALATIN	OR	97062
2S115DD10300	WAGNER LINDA G PHD	17945 SW 110TH AVE	TUALATIN	OR	97062
2S115DC07700	WALK DAVID ALLAN & WALK WANDA VAI	17855 SW 112TH AVE	TUALATIN	OR	97062
2S1220000500	WASHINGTON COUNTY FACILITIES MGMT	169 N 1ST AVE #42	HILLSBORO	OR	97124
2S115DD12700	WATT REBECCA SUE	17880 SW 109TH AVE	TUALATIN	OR	97062
2S115DC01800	WATTS MARK A & WATTS APRYLE	11400 SW ROBERTS CT	TUALATIN	OR	97062
2S123BB90001	WAVE PROPERTY HOLDINGS LLC	18057 SW TETON AVE	TUALATIN	OR	97062
2S115DC09000	WEBSTER CHARLES N & WEBSTER KAREN A	11385 SW KALISPELL ST	TUALATIN	OR	97062
2S115DD08700	WEISS BENJAMIN M & WEISS KATRINA M	10595 SW LUCAS CT	TUALATIN	OR	97062
2S115DD04600	WEITMAN LIVING TRUST	10666 SW BANNOCH ST	TUALATIN	OR	97062
2S115DC10400	WEN-SHU LIU	17885 SW 114TH AVE	TUALATIN	OR	97062
2S115DC03800	WEST PHYLLIS ELAINE	17930 SW 111TH AVE	TUALATIN	OR	97062
2S115DC07500	WESTPHAL FAMILY TRUST	11405 SW HAZELBROOK RD	TUALATIN	OR	97062
2S115DA01800	WETHERN LINDA J	17470 SW 106TH CT	TUALATIN	OR	97062
2S115DD10700	WIGGINS JEAN E TRUST	11065 SW WINTU CT	TUALATIN	OR	97062
2S115DD02200	WILLIAMS MATTHEW STEVEN	10655 SW PUEBLO CT	TUALATIN	OR	97062
2S115DD07300	WILLIAMS VERONICA L	10540 SW KIOWA ST	TUALATIN	OR	97062
2S115DD10500	WILLIAMS DAVE A & WILLIAMS KIMBERLY R	11050 SW WINTU CT	TUALATIN	OR	97062
2S115DD16000	WILLON MARK & PAM TRUST	17850 SW 110TH AVE	TUALATIN	OR	97062
2S115DD08200	WILSON CONSTANCE J TRUST	10530 SW LUCAS CT	TUALATIN	OR	97062
2S115DD06600	WINKLER MISTY D & REGISTER JEAN	10515 SW BANNOCH CT	TUALATIN	OR	97062
2S115DD16500	WISNER RANDOLPH R & DEBBIE R LIV TRUST	17600 SW 110TH AVE	TUALATIN	OR	97062
2S114CB01800	WOLFE GEORGE A & WOLFE ANDREA H	10420 SW KELLOGG DR	TUALATIN	OR	97062
2S115DD11500	WOLLEY KEVIN & WOLLEY JANE	11055 SW WISHRAM CT	TUALATIN	OR	97062
2S114CB02700	WORLEY LAURA & SPIEGEL JOEL	10475 SW KELLOGG DR	TUALATIN	OR	97062
2S115DD09000	WRIGHT MICHAEL & WRIGHT LISA	17570 SW 106TH AVE	TUALATIN	OR	97062
2S115DD18000	WRIGHT RALPH RICHARD & LYNDIA RAE LIV TRUST	11040 SW WINYA CT	TUALATIN	OR	97062
2S115DD18500	YAM ASA	11050 SW LUCAS DR	TUALATIN	OR	97062
2S115DC10600	YANG HAOWEI	17925 SW 114TH AVE	TUALATIN	OR	97062
2S115DD08300	ZIENKIEWICZ MIKE & ZIENKIEWICZ STEPHANIE	10510 SW LUCAS CT	TUALATIN	OR	97062
2S115DC02900	ZOUMPOULIDIS ZACHARIAS & ZOUMPOULIDIS AUDREY C	11220 SW APALACHEE ST	TUALATIN	OR	97062
	Suzannah Stanley, Mackenzie	1515 SE Water Avenue, Suite 100	Portland	OR	97214
	Pat Lord, LAM Research Corporation	4650 Cushing Parkway	Fremont	CA	94538



NOTICE OF HEARING AND OPPORTUNITY TO COMMENT
CASE FILES: IMP 22-0001 and AR 22-0006— LAM RESEARCH OFFICE BUILDING

NOTICE IS HEREBY GIVEN that public hearings will be held:

Location: Tualatin Service Center
 10699 SW Herman Road, Tualatin, OR 97062

Zoom Teleconference: Link with log-in instructions available
www.tualatinoregon.gov/meetings

INDUSTRIAL MASTER PLAN (IMP) 22-0001
November 17, 2022 at 6:30 pm

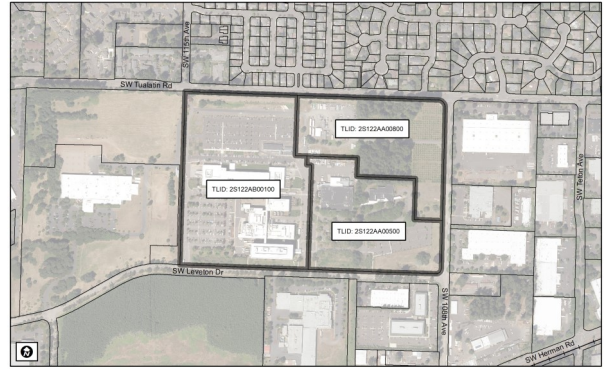
Mackenzie, on behalf of LAM Research Corporation, is requesting an amendment to setback standards memorialized under IMP 00-01, for a campus development on a 58 acre site zoned Manufacturing Park (MP).

ARCHITECTURAL REVIEW (AR) 22-0006
November 30, 2022 at 6:30 pm

Mackenzie, on behalf of LAM Research Corporation, is requesting approval to construct a four-story, 120,000 square foot office building at 11155 SW Leveton Drive.

Comments and questions may be submitted to Erin Engman, Senior Planner at:
eengman@tualatin.gov

Located at: 11155 SW Leveton Dr **Tax Lots:** 2S122AA 500, 800 & 2S122AB 100



- **Industrial Master Plan Criteria:** TDC Chapters: 32, 33, 62
- **Architectural Review Criteria:** TDC Chapters: 32, 33, 62, 63, 73A-D, 74, 75
- **Staff report** will be available at least seven days before the hearing for inspection at no cost, and copies will be provided at a reasonable cost.
- **Print copies** of the application are available at a reasonable cost.
- **Individuals wishing to comment on the application** must do so in writing to the Planning Division prior to the hearing, or in writing and/or orally at the hearing. Materials must be received by **November 3** to be included in the hearing packet.



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INDUSTRIAL MASTER PLAN (IMP) 22-0001
November 17, 2022 at 6:30 pm

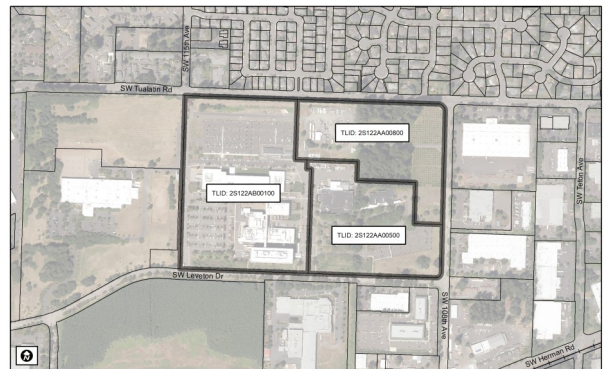
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- **The public hearing will begin** with a staff presentation, followed by testimony by proponents, testimony by opponents, and rebuttal. The time of individual testimony may be limited. If a participant requests, before the hearing is closed, the record shall remain open for at least 7 days after the hearing.
- **All citizens are invited to attend and be heard:** Failure of an issue to be raised in the hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals (LUBA) based on that issue. The failure of the applicant to raise constitutional or other issues relating to the proposed conditions of approval with sufficient specificity to the decision maker to respond to the issue precludes an action for damages in circuit court.
- **Notice of the Decision** will only be provided to those who submit written comments regarding that application or testify at the hearing.

You received this mailing because you own property within 1,000 feet (ft) of the site or within a residential subdivision which is partly within 1,000 ft.

For additional information contact:

Erin Engman, Senior Planner, eengman@tualatin.gov and 503-691-3024

«OWNER1»
«OWNERADDR»
«OWNERCITY», «OWNERSTATE»
«OWNERZIP»

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From: [Erin Engman](#)
To: [Erin Engman](#); [Suzannah Stanley](#); pat.lord@lamresearch.com
Cc: mweston@ci.king-city.or.us; planning@sherwoodoregon.gov; naomi_vogel@co.washington.or.us; theresa_cherniak@co.washington.or.us; deqinfo@deg.state.or.us; landusenotifications@oregonmetro.gov; ODOT_R1_DevRev@odot.oregon.gov; baldwinb@trimet.org; LUComments@cleanwaterservices.org; Ty.Darby@tvfr.com; KHerrod@republicservices.com; info@theintertwine.org; Anneleah@tualatinchamber.com; OR.METRO.ENGINEERING@ZIPLY.COM; tod.shattuck@pgn.com; brandon.fleming@pgn.com; kenneth.spencer@pgn.com; richard.girard@nwnatural.com; icrawford@wccca.com; [Jackie Humphreys](#)
Subject: Notice of Hearing: IMP22-0001 and AR 22-0006 Lam Research, 11155 SW Leveton Dr
Date: Monday, October 31, 2022 9:07:00 AM



NOTICE OF HEARING AND OPPORTUNITY TO COMMENT

NOTICE IS HEREBY GIVEN that public hearings will be held at the Tualatin Service Center located at: 10699 SW Herman Road, Tualatin, OR 97062. A Zoom meeting link will also be published with the meeting agenda and packet materials seven days prior to the public hearing: www.tualatinoregon.gov/meetings.

INDUSTRIAL MASTER PLAN (IMP) 22-0001

November 17, 2022 at 6:30 pm

Mackenzie, on behalf of Lam Research Corporation, is requesting an amendment to setback standards memorialized under IMP 00-01, for a campus development on a 58 acre site zoned Manufacturing Park (MP).

Comments due: November 7

ARCHITECTURAL REVIEW (AR) 22-0006

November 30, 2022 at 6:30 pm

Mackenzie, on behalf of Lam Research Corporation, is requesting approval to construct a four-story, 120,000 square foot office building at 11155 SW Leveton Drive.

Comments due: November 16

You may view the application materials on our Projects web page: <https://www.tualatinoregon.gov/planning/imp-22-0001-lam-office-campus>.

Individuals wishing to comment may do so in writing to the Planning Division prior to the hearing and/or present written and/or verbal testimony at the hearing. Hearings begin with a staff presentation, followed by testimony by proponents, testimony by opponents, and rebuttal. The time of individual testimony may be limited. If a participant requests before the hearing is closed, the

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Type III Industrial Master Plan Criteria: TDC Chapters: 32, 33, 62

Type III Architectural Review Criteria: TDC Chapters: 32, 33, 62, 63, 73A-D, 74, 75

A staff report will be available seven days prior to the public hearing, published at www.tualatinoregon.gov/meetings. This meeting and any materials being considered can be made accessible upon request.

Written comments and questions can be submitted to: eengman@tualatin.gov.

Erin Engman

Senior Planner

City of Tualatin | Planning Division

503.691.3024 | www.tualatinoregon.gov

From: [Erin Engman](#)
To: [Erin Engman](#)
Cc: [Ext - Planning](#); [Don Hudson](#); [Mike McCarthy](#); [Jonathan Taylor](#); [Kim McMillan](#); [Sherilyn Lombos](#); [Martin Loring](#); [Tom Scott](#); [Tony Doran](#); [Terrance Leahy](#); [Tom Steiger](#); [Ross Hoover](#); [Megan George](#); [Betsy Ruef](#); [riverparkcio@gmail.com](#); [jasuwiz@gmail.com](#); [famtuninstall1@frontier.com](#); [dan@danhardyproperties.com](#); [katepinamonti@hotmail.com](#); [cynmartz12@gmail.com](#); [daniel@bachhuber.co](#); [cio.east.west@gmail.com](#); [doug_ulmer@comcast.net](#); [keenanwoods7@gmail.com](#); [dana476@gmail.com](#); [mcrowell248@comcast.net](#); [tualatinmidwestcio@gmail.com](#); [dikkusan@live.com](#); [cniew@yahoo.com](#); [tmpgarden@comcast.net](#); [snoelluwcwle@yahoo.com](#); [MartinazziWoodsCIO@gmail.com](#); [solson.1827@gmail.com](#); [delmoore@frontier.com](#); [jamison.l.shields@gmail.com](#); [ClaudiaSterling68@gmail.com](#); [abuschert@gmail.com](#); [roydloop@gmail.com](#); [Tualatinibachcio@gmail.com](#); [edkcnw@comcast.net](#); [patricia.parsons@ctt.com](#); [rwcleanrooms@gmail.com](#); [byromcio@gmail.com](#); [mwestenhaver@hotmail.com](#); [tualatincommercialcio@gmail.com](#); [scottm@capacitycommercial.com](#); [robertekellogg@yahoo.com](#); [famtuninstall1@frontier.com](#)
Subject: Notice of Hearing: IMP22-0001 and AR 22-0006 Lam Research, 11155 SW Leveton Dr
Date: Monday, October 31, 2022 9:13:00 AM



NOTICE OF HEARING AND OPPORTUNITY TO COMMENT

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Mackenzie, on behalf of Lam Research Corporation, is requesting approval to construct a four-story, 120,000 square foot office building at 11155 SW Leveton Drive.

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A staff report will be available seven days prior to the public hearing, published at www.tualatinoregon.gov/meetings. This meeting and any materials being considered can be made accessible upon request.

Written comments and questions can be submitted to: eengman@tualatin.gov.

Erin Engman

Senior Planner

City of Tualatin | Planning Division

503.691.3024 | www.tualatinoregon.gov

From: [Erin Engman](#)
To: [Margo Strength](#)
Cc: [Suzannah Stanley](#); [Mike Rueter](#)
Subject: RE: LAM Research setback standards
Date: Tuesday, November 8, 2022 8:47:00 AM

Hi Margo-

Thanks for reaching out with your question regarding the Lam application. I've copied the applicants to this email in case they wish to comment on your question, but I can provide some clarity.

Their application is not looking to amend setbacks along SW Tualatin Road or impact the trees along its frontage. And as part of the hearing, I will recommend that our Planning Commission include a condition on their approval that requires the earthen berm and landscape coverage to be retained along their frontage on SW Tualatin Road.

Rather the applicant is looking to amend the setbacks listed below:

- Building Setbacks:
 - Interior side and rear yard setback: Reduced from 20 feet to 0 feet.
 - Side yard setback to JAE (property to west): Reduced from 100 feet to 50 feet.
- Parking and Circulation Setbacks:
 - Adjacent to Leveton Drive: Reduced from 108 feet to 50 feet.
 - Interior to site: Plan sheet reference to 0 feet
 - Side yard setback to JAE (property to west): Plan sheet reference to 9.5 feet

More information is contained in their document:

https://www.tualatinoregon.gov/sites/default/files/fileattachments/planning/project/55418/exhibit_a1_-_narrative.pdf

Please let me know if you have any other questions and have a good day,

Erin Engman

Senior Planner

City of Tualatin | Planning Division

503.691.3024 | www.tualatinoregon.gov

From: Margo Strength <dgrahms@comcast.net>

Sent: Sunday, November 6, 2022 10:04 PM

To: Erin Engman <engman@tualatin.gov>

Subject: LAM Research setback standards

Erin,

I live in a development of homes across the street from the LAM Research building in Tualatin. I am concerned about LAM Research requesting an amendment to setback standards. Does this mean that the beautiful trees along Tualatin Rd will be cut down? They provide a nice camouflage of LAM's office buildings and many people enjoying walking the meandering sidewalks next to the trees. It would be a shame to see them cut down. Hopefully they won't be, so I thought I would ask.

Thank you,
Margo Strength

From: [Erin Engman](#)
To: [Chris Hein](#)
Cc: [Suzannah Stanley](#); [Mike Rueter](#)
Subject: RE: Lam Research Office Building
Date: Monday, November 14, 2022 10:24:00 AM
Attachments: [image003.png](#)
[image004.png](#)

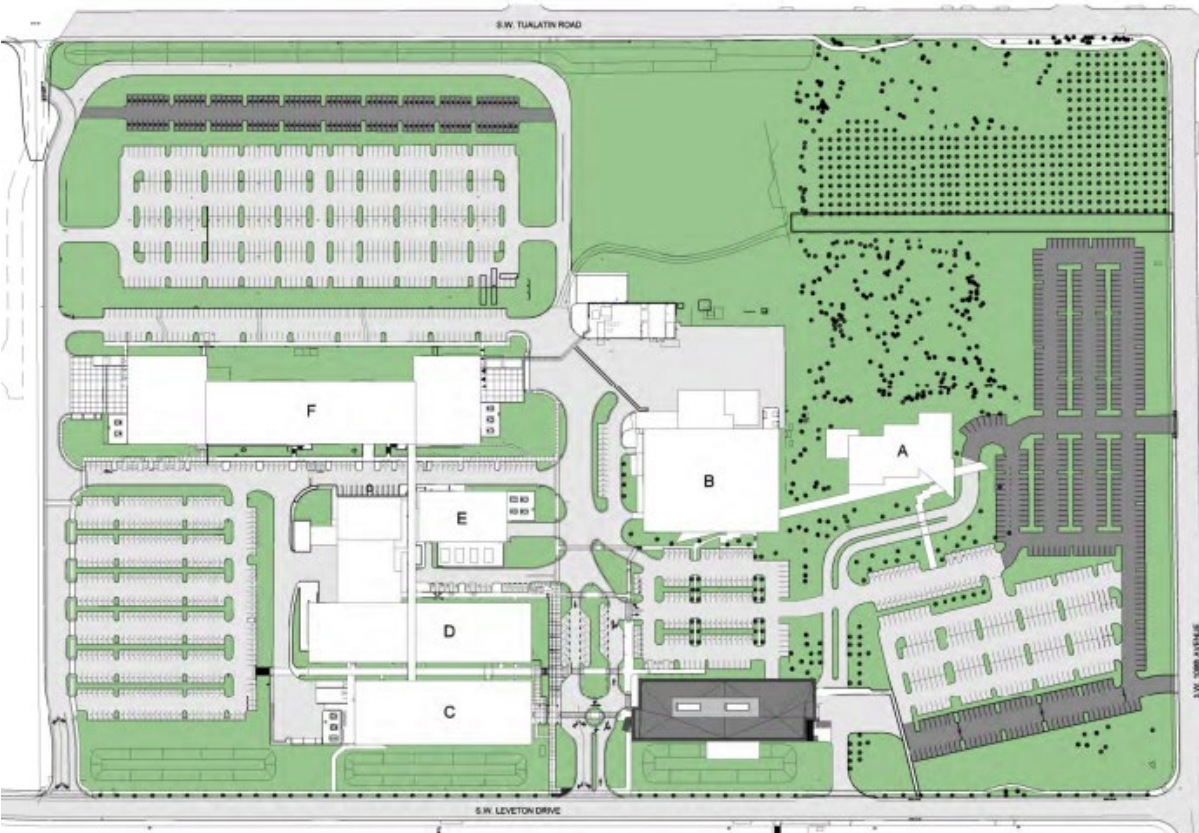
Hi Chris-

Thanks for reaching out with your question regarding the Lam application. I've copied the applicants to this email in case they wish to comment on your question, but I can provide some clarity.

The new office building is proposed on the south end of the site, toward SW Leveton Drive as shown in the site plan below. The proposed improvements are shown in dark grey.

And to provide additional clarification, their application is not looking to amend setbacks along SW Tualatin Road or impact the trees along its frontage. Rather the applicant is looking to amend the setbacks listed below:

- Building Setbacks:
 - Interior side and rear yard setback: Reduced from 20 feet to 0 feet.
 - Side yard setback to JAE (property to west): Reduced from 100 feet to 50 feet.
- Parking and Circulation Setbacks:
 - Adjacent to Leveton Drive: Reduced from 108 feet to 50 feet.
 - Interior to site: Plan sheet reference to 0 feet
 - Side yard setback to JAE (property to west): Plan sheet reference to 9.5 feet



Please let me know if you have any other questions and have a good day,

Erin Engman

Senior Planner
City of Tualatin | Planning Division
503.691.3024 | www.tualatinoregon.gov

From: Chris Hein <ChrisH@osf.com>
Sent: Friday, November 11, 2022 11:11 AM
To: Erin Engman <eengman@tualatin.gov>
Subject: Lam Research Office Building

Hi Erin,

I live off 109th and Tualatin Rd. across from the Lam Campus
I received a hearing/ notice card about Lam wanting to change the setbacks to build a four story 120,000 office building.
My question is where on the campus are they wanting to locate this?

As you know now there currently is a nice buffer between Lam and Tualatin Road.

Thanks for the information.

Chris



Chris Hein
VP Food & Beverage
OSF International, Inc.
715 S Bancroft Street | Portland, OR 97239
T: 503.225.0433 Ext. 310 | F: 503.226.6214
chrish@osf.com | www.osf.com

A RESOLUTION ADOPTING THE NOVELLUS SYSTEMS, INC.
INDUSTRIAL MASTER PLAN (IMP-00-01)

WHEREAS upon the application by Scott Scowden of Novellus Systems Inc., applicant, a hearing was held before the City Council of the City of Tualatin on January 22, 2001, for approval of a proposed Industrial Master Plan to identify the sequence of development, infrastructure needs and requirements and building design in conjunction with a multi-phased development of real property described by the Washington County Department of Assessment and Taxation as Tax Account 2S122A, Tax Lot 1900, containing approximately 58-acres, located between SW Leveton Drive, SW 108th Avenue and SW Tualatin Road: and

WHEREAS notice of a public hearing was given as required under the Tualatin Community Plan by posting a copy of the notice in two public and conspicuous places within the City, evidenced by the Affidavit of Posting, marked "Exhibit A", which is attached and incorporated by this reference, and by mailing a copy of the notice to property owners located within 300 feet of the property, evidenced by the Affidavit of Mailing, marked "Exhibit B", attached and incorporated by this reference; and

WHEREAS the Council heard and considered the testimony and evidence presented by the City staff and those appearing at the public hearing; and

WHEREAS based upon the evidence and testimony heard and considered by the Council and especially the City staff report, dated January 22, 2001, the Council makes, adopts and enters the following Findings of Fact:

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF TUALATIN, OREGON, that:

Section 1. Subject to the conditions set forth, the applicant, Scott Scowden on behalf of Novellus Systems, Inc., owner of the subject property, is granted approval of a proposed plan to direct future development in conjunction with a multi-phased development of real property described by the Washington County Department of Assessment and Taxation as Tax Account 2S122A, Tax Lot 1900, containing approximately 58 acres, located between SW Leveton Drive, SW 108th Avenue and SW Tualatin Road.

Section 2. As support for this approval the City Council finds as follows:

A. As owner of this property, applicant Novellus Systems, Inc. may develop its property consistent with the planning requirements of the Manufacturing Park Planning District and Architectural Review process without submitting an Industrial Master Plan.

B. It is in the best interest of both the applicant and the City to create a master plan to identify the sequence of development, infrastructure needs and requirements, and building design as part of the development of the 58-acre parcel.

C. The Supplemental Analysis and Findings, dated January 22, 2001, adequately respond to the issues raised by JAE Oregon, Inc. in their letter dated January 19, 2001 and further find the staff report addressed the issues raised in sufficient detail to conclude Items 1, 3, 4, 5 and 6 concerning public facilities were analyzed and found to be in compliance with TDC 37.030(1). The Council also found Item 2 was not applicable to the review criteria in TDC Chapter 37 for an Industrial Master Plan.

D. **ALTERNATIVE DEVELOPMENT STANDARDS**

The City Council must find that the submitted Industrial Master Plan meets the alternative development standards of the Tualatin Development Code (TDC), Industrial Master Plan, 37.020(4) and 37.030, and Manufacturing Park Planning District, TDC Chapter 62. The Council may impose conditions to meet regulations and standards expressly specified in TDC Chapter 37 or other conditions found necessary to protect the best interests of the surrounding property or neighborhood or City as a whole.

Criterion: TDC 37.020(4)(a) Setbacks from each property lot line to buildings, parking areas and circulation areas. Required setbacks may be exact, or minimum and maximum ranges may be specified. Required setbacks may be greater than or less than those required under TDC 62.060.

The City Council agrees with the findings in the Master Plan submittal, section 37.020(2) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

Additional right-of-way dedication may be necessary for SW Leveton Drive and SW 108th Avenue to provide for left-turn lanes into the Novellus site at five (5) proposed access locations and at the 108th Avenue/Leveton Drive intersection. The additional right-of-way would reduce building, parking and circulation setbacks from those stated in Exhibit C. The exact amount of right-of-way

necessary cannot be determined until future traffic analysis work is conducted. The City Council has determined, based on findings in the staff report, dated January 22, 2001, that:

- a. Building setbacks to SW Leveton Drive of 68 feet and SW 108th Avenue of 98 feet are acceptable. Interior side yard setbacks of 20 feet are acceptable, and the setback to JAE of 100 feet is acceptable.
- b. Parking and circulation setbacks to SW Leveton Drive of 108 feet, SW 108th Avenue of 43 feet, and interior side yard setbacks as shown on Exhibit C, Sheet SD-5, dated December 22, 2000, are acceptable.
- c. Parking and circulation setbacks to SW Tualatin Road of 35 feet are acceptable with mitigation to construct an earthen berm paralleling the roadway with landscaping consisting of street trees, evergreen trees and shrubs.

Criterion: TDC 37.020(4)(b) Locations of shared parking and circulation areas and access improvement, including truck maneuvering and loading areas and common public or private infrastructure improvements.

The City Council agrees with the findings in the Master Plan submittal, section 37.020(3) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that the 58-acre parcel is proposed to be partitioned into three separate parcels. The proposed Master Plan indicates that parking, vehicular access, loading and private infrastructure will be placed on all three parcels. The layout of parking, vehicular access, loading and private infrastructure may require easements.

Furthermore, the stand of trees north of the existing manufacturing building, excluding the filbert orchard, assists in establishing the character of the site. These trees were required to be retained, excluding the filbert orchard, as part of the original Oki Architectural Review (AR-89-24). Continued retention of these trees affects the proposed layout and placement of parking. This stand of trees, excluding the filbert orchard, shall be retained or integrated into the parking lot design where determined appropriate.

Criterion: TDC 37.020(4)(c) Building heights and placement and massing of buildings with respect to parcel boundaries.

The City Council agrees with the findings in the Master Plan submittal, section 37.020(4) in Exhibit C and adopts them as support for the criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that building setbacks have been reduced or increased as allowed in TDC 37.020(4)(a). The reduced or increased building setbacks, proposed building heights, and massing of buildings are appropriate for this site given they take advantage of site topography and place the taller buildings on the south side of the site adjacent to SW Leveton Drive and SW 108th Avenue which are adjacent to existing or future industrial development. The building placement and massing are appropriate with respect to existing and proposed parcel boundaries.

Criterion: TDC 37.020(4)(d) Location and orientation of building elements such as pedestrian ways or access, main entrances and off-street parking or truck loading facilities, including the number of off-street parking spaces and loading docks required.

The City Council agrees with the findings in the Master Plan submittal, section 37.020(5) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that no alternative development standards have been requested and that Novellus Systems, Inc. will comply with requirements of Chapter 73 of the TDC.

Criterion: TDC 37.020(4)(e) Lot dimensions and area provided that no individual parcel shall be less than 15 acres north of SW Leveton Drive and five acres south of SW Leveton Drive unless otherwise provided under TDC 62.050(1).

The City Council agrees with the findings in the Master Plan submittal, section 37.020(6) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that the proposed lots meet the minimum dimensional requirements of TDC 37.020(4)(e) and 62.050. To partition the site, Novellus Systems, Inc. shall be required to submit a partition application to the City for review.

The Council additionally found that proposed Lots 1 and 2 lots may be consolidated in the future. This consolidation may be necessary to address Oregon Structural Specialty Code requirements.

Criterion: TDC 37.020(4)(f) Location of required building and parking facility landscape areas.

The City Council agrees with the findings in the Master Plan submittal, section 37.020(7) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that no alternative method has been requested for landscaping at a building perimeter (TDC 73.310). Novellus Systems, Inc. has requested an alternative development method for parking lot landscaping. The proposed method is to allow 12 parking spaces in a row rather than the 8 spaces required by TDC 73.360(1-6) and 73.380(3). The City Council has found this alternative method acceptable for surface parking areas located on the south-half of the site where there are topographic changes and where future buildings and structured parking will replace the interim surface parking.

The City Council has also found that surface parking in the north-half of the site must follow the City's requirements for parking lot landscaping and that no alternative method is approved for this area.

Criterion: TDC 37.020(5) Except as specifically provided in subsection (4) above, all other provisions of this Code shall apply within an Industrial Master Plan Area.

The City Council has determined, based on findings in the staff report dated January 22, 2001, that no other alternative development methods have been requested. The Council has also found that the applicant will be required to submit an Architectural Review application meeting the requirements of the TDC that shall include the Alternative Development Methods approved in the Industrial Master Plan. Any future modifications to amend the Industrial Master Plan shall be required to submit a new Industrial Master Plan application.

E. INDUSTRIAL MASTER PLAN CRITERIA

Criterion: TDC 37.030(1) Public facilities and services, including transportation, existing or planned, for the area affected by the use are capable of supporting the proposed development or will be made capable by the time development is completed.

The City Council agrees with the findings in the Master Plan submittal, section 37.030(1) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that existing and planned transportation improvements are capable of supporting the proposed development by the time development is completed with conditions of approval. The determination of conditions of approval will be established through the Architectural Review process based on the Industrial Master Plan requirement to submit a traffic analysis report for each phase of development when it is proposed. The Council additionally found that there are specific segments of the transportation system, which need to be addressed based on other traffic work previously conducted in the vicinity of the Novellus project. This information is contained in the staff report.

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that City water supply is 10.8 million gallons per day (mgd) and is adequate to accommodate the Phase 1 development area. The City's water supply may be inadequate to support Phases 2-4 and other development in the City without an additional water source. Final determination on water supply for each phase shall be established through the Architectural Review process. The Council also found that water pressure and volumes for the Novellus development need to be reviewed through the Architectural Review process with the possible requirement to extend the water transmission line to the Novellus site.

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that planned sanitary sewer system upgrades have been identified by the City and the Unified Sewerage Agency. The Council found the existing sanitary sewer system is inadequate to support Phases 1-4 and that system upgrades are necessary. The Council additionally found that Novellus will need to mitigate their impacts on the sewer system based on options identified in the staff report. Final decisions on the types of mitigation will be reviewed through the Architectural Review process.

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that the public storm water system is inadequate to meet detention requirements for run-off from the proposed development and that Novellus will need to detain storm water on site. Final determination on the method of storm water detention shall be reviewed through the Architectural Review process.

Criterion: TDC 37.030(2) The location, design, size, color and materials of the exterior of all structures for the proposed development and use is compatible with the character of other developments within the same general vicinity.

The City Council agrees with the findings in the Master Plan submittal, section 37.030(2) in Exhibit C and adopts them in support of this criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that the proposed Novellus Master Plan is compatible with other development in the general vicinity based on building locations as depicted in Exhibit C, Attachments E, G and Sheet SD-5; building designs as depicted in Exhibit C, Pages 11-12 and Attachment F; building sizes as depicted in Exhibit C, Attachment E; pallet of building colors that include earth tones; and palette of building materials consisting of masonry such as brick or block, sandstone architectural metal siding and window glazing as described in Exhibit C and as requested by Novellus Systems, Inc. at the January 22, 2001 public hearing.

The City Council also found that final determinations of building colors and materials must be reviewed through the City Architectural Review process.

TDC 37.030(3) The internal circulation, building location and orientation, street frontage, parking, setbacks, building height, lot size, and access are in accordance with TDC Chapter 62 unless other wise approved through the Industrial Master Plan.

The City Council agrees with the findings in the Master Plan submittal, section 37.030(2) in Exhibit C and adopts them in support of the criterion. The following additional findings supplement those findings:

The City Council has determined, based on findings in the staff report, dated January 22, 2001, that the proposed internal circulation with the proposed ring road allowing internal circulation between parking areas and public right-of-way access locations; building locations and orientation predominantly on the south half of the site where additional building massing has been identified; street frontage as proposed in the concept for partitioning the 58-acre site into three individual parcels; parking proposed with both surface spaces and structured parking totaling 2,750 spaces; setbacks as identified with modifications through the alternative methods capability in the Industrial Master Plan; building height which in the Novellus proposal will comply with TDC 62.080; lot size as proposed in the concept for partitioning the 58-acre site into three individual parcels; and access that totals six (6) locations de-emphasizing SW Tualatin Road are in accordance with TDC Chapter 62 unless other wise approved through the Industrial Master Plan.

F. **CONDITIONS OF APPROVAL:**

1. Alternative Methods

- a. To meet the requirements of the TDC, through the Architectural Review process, building setbacks shall not be approved less than 68 feet to SW Leveton Drive and 98 feet to SW 108th Avenue after required dedication of right-of-way, turn lane and intersection improvements. Building setbacks to SW Tualatin Road shall meet the requirements of TDC 62.060(2)(a) and 62.080(2). Interior side yard building setbacks shall be no less than 20 feet, except setbacks to the common property line with JAE shall be no less than 100 feet.
- b. To meet the requirements of the TDC, through the Architectural Review process parking/circulation setbacks shall not be approved less than 108 feet to SW Leveton Drive and 43 feet to SW 108th Avenue after required dedication of right-of-way, turn lane and intersection improvements. Interior side yard parking and circulation setbacks shall be as shown on Exhibit 2, Sheet SD-5, dated December 22, 2000.
- c. As mitigation for a reduced parking and circulation setbacks to SW Tualatin Road an earthen berm with landscaping consisting of deciduous street trees, evergreen trees and shrubs shall be provided along SW Tualatin Road, the large evergreen trees along the roadway shall be retained and the berm and landscaping shall be installed as part of the Phase 1 development. The final design of the berm and landscaping shall be reviewed through the Architectural Review process.
- d. Through the Partition and Architectural Review processes shared parking and circulation easements shall be reviewed and evaluated. Where necessary, shared parking and circulation easements shall be established.
- e. To meet the requirements of the TDC, through the Architectural Review process final parking areas shall be determined and the stand of trees behind the former Oki manufacturing building shall be retained or integrated into the parking lot design as determined appropriate.
- f. To ensure that vehicular access requirements meet the TDC, through the Partition and Architectural Review processes shared site vehicular accesses will need to be reviewed and evaluated. Where necessary, shared site vehicular access easements shall be established.

- g. To meet the requirements of the TDC, through the Architectural Review processes loading areas that encroach onto a separate adjoining lot, excluding JAE, will need to be reviewed and evaluated. If encroachments off-site and into parking areas are necessary the Architectural Review process shall determine the appropriateness.
- h. Through the Partition and Architectural Review processes shared on-site utilities shall be reviewed and evaluated. Where necessary, easements shall be established.
- i. The applicant shall submit a partition application to the City to partition the site into the proposed three individual lots.
- j. The applicant's request for an alternative method in parking lot landscaping requirements is acceptable for surface parking proposed for the south-half of the site as depicted in the applicant's proposal (Exhibit 2). Proposed parking lot landscaping for the north-half of the site shall follow the standard requirements of Chapter 73 of the TDC.
- k. The applicant shall be required to submit an Architectural Review application meeting the requirements of the TDC and include the alternative methods approved through the Industrial Master Plan. If future modifications to an approved Industrial Master Plan are necessary, a new Industrial Master Plan application shall be submitted to the City for review.

2. Public Facilities

- a. Through the Architectural Review process Novellus shall address the ODOT recommended condition of approval concerning the 99W/124th Avenue intersection contained in Exhibit D.
- b. At the time of submittal of Architectural Review applications for each phase of on-site development a traffic analysis report shall be submitted and improvements identified. The traffic analysis report shall be reviewed through the Public Facilities component of the Architectural Review process and conditions applied.
- c. Construction of Phases 2-4, when proposed, shall be evaluated through the Architectural Review process on the availability of an adequate City water supply to service the proposed development phase.
- d. Through the Architectural Review process the volume and pressure needs for each development phase shall be evaluated. Based on

calculations, the water transmission line may be required to be extended to serve the development.


- e. Through the Architectural Review process the applicant shall submit evaluations on the downstream sanitary sewer system and the discharge rates and volumes per proposed development phase and participate where required in mitigation measures. Recycling and reuse options shall be considered by the applicant to reduce the discharge rates and volumes. The applicant shall work with the City to develop a program to release the sanitary sewer discharge during off-peak hours.
- f. Through the Architectural Review process the adequacy of on-site storm water detention shall be evaluated and Novellus shall provide supporting documentation and calculations showing adequacy of the storm system. At the time road widening for SW Leveton Drive or SW 108th Avenue is required, Novellus shall submit drawings and calculations for water quality and detention for review and approval as part of the Architectural Review process.

3. Location, Design, Color and Materials

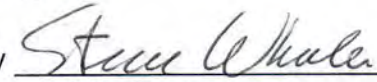
- a. Through the Architectural Review process, final material colors shall be presented for approval based on the palette of colors identified in the Industrial Master Plan.
- b. Through the Architectural Review process, final building materials shall be presented for approval based on the palette of materials identified in the Industrial Master Plan and as requested by Novellus Systems, Inc. at the January 22, 2001 public hearing.

INTRODUCED AND ADOPTED this 22nd day of January, 2001

CITY OF TUALATIN, OREGON

By  _____
Mayor

ATTEST:

By  _____
City Recorder

A-1

AFFIDAVIT OF POSTING

STATE OF OREGON)
) ss
COUNTY OF WASHINGTON)

I, Carol Rutherford, being first duly sworn, depose and say:

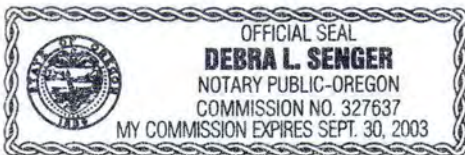
That at the request of Steve Wheeler, City Recorder for the City of Tualatin, Oregon; that I posted two copies of the Notice of Hearing on the 28th day of December, 2000, a copy of which Notice is attached hereto; and that I posted said copies in two public and conspicuous places within the City, to wit:

1. U.S. Post Office - Tualatin Branch
2. City of Tualatin City Offices

Dated this 28th day of December, 2000.

Carol Rutherford
Signature

Subscribed and sworn to before me this 28th day of December, 2000.



Debra L. Senger
Notary Public for Oregon
My Commission expires: 9/30/03

RE: IMP-00-01: An application by Novellus Systems, Inc., for Industrial Master Plan approval in the Manufacturing Park (MP) Planning District upon real property described by the Washington County Department of Assessment and Taxation as Tax Account No. 2S1 22A, Tax Lot 1900, generally known as 11155 SW Leveton Drive.



CITY OF TUALATIN

PO BOX 369
TUALATIN, OREGON 97062-0369
(503) 692-2000
TDD 692-0574

NOTICE OF HEARING CITY OF TUALATIN, OREGON

NOTICE IS HEREBY GIVEN that a public hearing will be held before the City of Tualatin City Council at 7:30 p.m., Monday, January 22, 2001, at the Council Building, Tualatin City Center, at 18884 SW Martinazzi Avenue, to consider:

IMP-00-01: An application by Novellus Systems, Inc., for Industrial Master Plan approval in the Manufacturing Park (MP) Planning District upon real property described by the Washington County Department of Assessment and Taxation as Tax Account No. 2S1 22A, Tax Lot 1900, generally known as 11155 SW Leveton Drive.

Before approving the Industrial Master Plan application the City Council must find that:

- (1) Public facilities and services, including transportation, existing or planned, for the area affected by the use are capable of supporting the proposed development or will be made capable by the time development is completed;
- (2) The location, design, size, color and materials of the exterior of all structures for the proposed development and use is compatible with the character of other developments within the same general vicinity;
- (3) The internal circulation, building location and orientation, street frontage, parking, setbacks, building height, lot size and access are in accordance with TDC Chapter 62 unless otherwise approved through the Industrial Master plan process.

All citizens are invited to attend and be heard upon the application. Failure of an issue to be raised in the hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals (LUBA) based on that issue. The failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to the decision maker to respond to the issue precludes an action for damages in circuit court.

Individuals wishing to comment may do so in writing to the Planning Department prior to the hearing and/or present written and/or verbal testimony to the City Council at the hearing. Hearings are commenced with a staff presentation, followed by testimony by proponents, testimony by opponents, and rebuttal. The time of individual testimony may be limited. If a participant requests, before the hearing is closed, the record shall remain open for at least 7 days after the hearing.

Copies of the applications, all documents and evidence relied upon by the applicant and applicable criteria are available for inspection at no cost and will be provided at reasonable cost. A copy of the staff report will be available for inspection at the City Library and Planning Department at least seven days prior to the hearing, and will be provided at reasonable cost. For information contact William Harper at 691-3027. This meeting and any materials being considered can be made accessible upon request.

CITY OF TUALATIN, OREGON
By: Steven Wheeler
City Recorder

file: IMP-00-01

LOCATED AT: 18880 SW Martinazzi Avenue

AFFIDAVIT OF MAILING

STATE OF OREGON)
) SS
COUNTY OF WASHINGTON)

I, Carol Rutherford, being first duly sworn, depose and say:

That on the 28th day of December, 2000, I served upon the persons shown on Exhibit "A," attached hereto and by this reference incorporated herein, a copy of the Notice of Hearing marked Exhibit "B," attached hereto and by this reference incorporated herein, by mailing to them a true and correct copy of the original hereof. I further certify that the addresses shown on said Exhibit "A" are their regular addresses as determined from the books and records of the Washington County and/or Clackamas County Departments of Assessment and Taxation Tax Rolls, and that said envelopes were placed in the United States Mail at Tualatin, Oregon, with postage fully prepared thereon.

Carol Rutherford

SUBSCRIBED AND SWORN to before me this 28th day of December,
2000.



Debra L. Senger
Notary Public for Oregon
My commission expires: 9/30/03

RE: IMP-00-01 An application by Novellus Systems, Inc., for Industrial Master Plan approval in the Manufacturing Park (MP) Planning District upon real property described by the Washington County Department of Assessment and Taxation as Tax Account No. 2S1 22A, Tax Lot 1900, generally known as 11155 SW Leveton Drive.



CITY OF TUALATIN

PO BOX 369
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- (1) Public facilities and services, including transportation, existing or planned, for the area affected by the use are capable of supporting the proposed development or will be made capable by the time development is completed;
- (2) The location, design, size, color and materials of the exterior of all structures for the proposed development and use is compatible with the character of other developments within the same general vicinity;
- (3) The internal circulation, building location and orientation, street frontage, parking, setbacks, building height, lot size and access are in accordance with TDC Chapter 62 unless otherwise approved through the Industrial Master plan process.

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CITY OF TUALATIN, OREGON
By: Steven Wheeler
City Recorder

file: IMP-00-01

LOCATED AT: 18880 SW Martinazzi Avenue

2S115DD10500
TAHAN EDWARD C
11050 SW WINTU CT
TUALATIN OR 97062

2S115DD10400
TYSON ARTHUR E & DIANE C
11030 SW WINTU CT
TUALATIN OR 97062

2S115DC11500
MCPHERSON SCOTT K & SUSAN R
17895 SW 113TH AVE
TUALATIN OR 97062

2S115DC07900
GRUBER DELAINE H & JEFFREY S
17915 SW 112TH AVE
TUALATIN OR 97062

2S115DD04400
HANEGAN RICHARD J
10985 SW TUALATIN RD
TUALATIN OR 97140

2S115DD13600
FOILES LESLIE E & VICTORIA A
10960 SW TUNICA ST
TUALATIN OR 97062

2S115DC03800
TAKANO HIROKO
1-4-11-905 MINAMI MORIMACHI
KITA-KU OSAKA JA 0

2S115DC11400
MILLER PETER L & SHERI R
17915 SW 113TH AVE
TUALATIN OR 97062

2S115DD02400
DAVIS C THOMAS & CHRISTINE A
5611 SOUTHWOOD DR
LAKE OSWEGO OR 97035

2S115DC10600
MCCONNELL JAMES & KRISTI L
17925 SW 114TH
TUALATIN OR 97062

2S115C002803
HOFFART HERBERT J
4632 SW VERMONT ST
PORTLAND OR 97219

2S115DC10400
BURBY JASON W &
MCALISTER, MOLLY G
17885 SW 114TH AVE
TUALATIN OR 97062

2S115DC08400
GINTY MICHAEL & KAVITA
17880 SW 113TH AVE
TUALATIN OR 97062

2S115DC06600
WIRFS JOHN W &
PETERSEON, CYNTHIA L
17925 SW 111TH AVE
TUALATIN OR 97062

2S115DD00600
HANEGAN MURNICE M
c/o STEARNS, SANDRA M AND
HANEGAN, RICHARD J & MICHAEL L
10985 SW TUALATIN RD
TUALATIN OR 97062

2S115DD13700
KING JONATHON W & MARY E MCVAY
10920 SW TUNICA ST
TUALATIN OR 97062

2S115DC12300
EMMETT SUSAN GAIL
17920 SW 114TH AVE
TUALATIN OR 97062

2S115DC08000
GRAY EDWARD R & TERESA A
11215 SW APALACHEE ST
TUALATIN OR 97062

2S115DC06700
BOSKET JOHN A &
SCHINDLBECK, JULIE L
11155 SW APALACHEE ST
TUALATIN OR 97062

2S115DC06800
MAGSARILI KARL & GENEROSA L
17950 SW 112TH AVE
TUALATIN OR 97062

2S115DC02500
FARMINGTON CENTER TUALATIN
BY CHAMBERLAIN-WILLIAMS PROPS
14430 SW FARMINGTON RD
BEAVERTON OR 97005

2S115DC12200
CRANSTON DIANNA M &
CHARLES H R
17890 SW 114TH AVE
TUALATIN OR 97062

2S115DD02500
CLARK DAVE A AND CATHERINE M
10639 SW PUEBLO CT
TUALATIN OR 97062

2S115DD13200
MARTINEZ STEVE & COLLETTE
17950 SW 109TH AVE
TUALATIN OR 97062

2S115DC10500
GILES JASON K & ANN MARIE
17915 SW 114TH AVE
TUALATIN OR 97062

2S115DC06900
ANDERSON DOUGLAS D
17920 SW 112TH AVE
TUALATIN OR 97062

2S115DC08100
MOONEY OWEN RICHARD
11225 SW APALACHEE ST
TUALATIN OR 97062

2S115DD04300
BOWMAN JOHN E/DARLA J
11045 SW TUALATIN RD
TUALATIN OR 97062

2S115DD13300
VANHORN MARK & DIANA L
17960 SW 109TH AVE
TUALATIN OR 97062

2S115DC03700
BAUSCHELT CHARLES
7510 SW 25TH AVE
PORTLAND OR 97219

2S115DD13500
BRUNNER JOSEPH M & JEANNE T
17975 SW 109TH AVE
TUALATIN OR 97062

2S115DC03600
PAKULA JENNIFER LYNN &
GELFAND, SCOT JEFFREY
17980 SW 111TH AVE
TUALATIN OR 97062

2S115DC10900
MCKERCHER ROBERT P
11380 SW APALACHEE ST
TUALATIN OR 97062

2S115DC11100
GROH MICHAEL T &
UNIS-GROH, MARY E
11340 SW APALACHEE ST
TUALATIN OR 97062

2S115DC11300
ENDERLIN LINDA C
11270 APALACHEE ST
TUALATIN OR 97062

2S115DC03500
COLEMAN EUAL T & LENDA M
11100 SW APALACHEE ST
TUALATIN OR 97062

2S115DC03200
COOPER BRIAN J
6175 CORTE PADRE
PLEASANTON CA 94566

2S115DC03400
COMPTON DEBRA J
17595 SW 110TH AVE
TUALATIN OR 97062

2S122A000100
HELSEER LIMITED PARTNERSHIP THE
PO BOX 1569
TUALATIN OR 97062

2S1220000300
FUJIMI AMERICA INC
9949 SW COMMERCE CIRCLE
WILSONVILLE OR 97070

2S115DD13400
MOOREHEAD GEORGE W & JANICE M
17980 SW 109TH AVE
TUALATIN OR 97062

2S115DC10800
ODIORNE DANIEL K & TIFFANY L
11400 SW APALACHEE ST
TUALATIN OR 97062

2S115DC11000
MILLER JOANNE
11360 SW APALACHEE ST
TUALATIN OR 97062

2S115DD00700
ADAMS SHEILA D
10915 SW TUALATIN RD
TUALATIN OR 97062

2S115DC02900
OPSAI TODD
11220 SW APALACHEE ST
TUALATIN OR 97062

2S115DC03100
KIRMA VICTOR P & ANNETTE L
16400 SW NIGHTHAWK DR
BEAVERTON OR 97007

2S115DD02200
TAYLOR ROY E AND JANET M
10655 SW PUEBLO CT
TUALATIN OR 97062

2S115DD02100
AIELLO NED P AND KAREN L
10650 SW PUEBLO CT
TUALATIN OR 97062

2S122A000200
JOHNSON BRADLEY R &
CONNIE LEA
18500 SW 108TH AVE
TUALATIN OR 97062

2S122A000300
DOT INC
PO BOX 115
TUALATIN OR 97062

2S115DC10700
BROWN ADAM J
17935 SW 114TH AVE
TUALATIN OR 97062

2S115DD02000
ROBERTS JULIE A
10644 SW PUEBLO CT
TUALATIN OR 97062

2S115DD02300
DONAUGH ANTHONY M & CHRISTI S
10651 SW PUEBLO CT
TUALATIN OR 97062

2S115DC11200
BOYD RONALD A &
THERESA M
11320 SW APALACHEE ST
TUALATIN OR 97062

2S115DC03000
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2S115DD00800
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2S115DC03300
MANTHE KIMBERLEE ANN
11150 SW APALACHEE ST
TUALATIN OR 97062

2S122B000200
JAE OREGON INC
BY MARK E FOSTER
9615 SW ALLEN BLVD #103
BEAVERTON OR 97005

2S122A000201
JOHNSON BRADLEY R & CONNIE LEA
32113 SA PALMER RD
MOLALLA OR 97038

2S1220000400
FUJIMI AMERICA INC
9949 SW COMMERCE CIRCLE
WILSONVILLE OR 97070

2S1220000800
TUALATIN CITY OF
PO BOX 369
TUALATIN OR 97062

2S122A001500
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TUALATIN OR 97062

GROUP MACKENZIE
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PORTLAND OR 97201-0039

AR 00-30
NOVELLUS

2S122A001600
TOFLE CO INC
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ASSOCIATE PLANNER

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BEAVERTON OR 97076

JOANNE STETZEL
BUILDING OFFICIAL

JIM JACKS
PLANNING DIRECTOR

ASSISANT PLANNER

DOUG RUX
ECONOMIC DEV DIRECTOR

~~Foxhill Neighborhood Assn.
Elizabeth Conner
5777 Calusa Loop
TUALATIN OR 97062~~

Hazelbrook Neighborhood Assn.
Robert Bosak
10605 SW Hazelbrook Road
TUALATIN OR 97062

~~Hedges Creek Neighborhood Assn.
Dave Zimmerman
21685 SW Hedges Drive
TUALATIN OR 97062~~

~~Tualatin Assn of Neighbors I
Ginni Snodgrass
9203 SW Cree
TUALATIN OR 97062~~

CUP & VAR labels (12-00)

Exhibit A - Page 4 of 4



Oregon

John A. Kitzhaber, M.D., Governor

Department of Transportation

Region 1
123 NW Flanders
Portland, OR 97209-4037
(503) 731-8200
FAX (503) 731-8259

January 5, 2001

FILE CODE:
PLA9-1-2A -91
Proposal Number: 931

Will Harper, Associate Planner
City of Tualatin
Planning Department
18880 SW Martinazzi Avenue
Tualatin, OR 970627092

**CITY OF TUALATIN
RECEIVED**

JAN 08 2001

ECONOMIC DEVELOPMENT

Subject: IMP-00-01 Novellus Industrial Complex
Pacific Highway, 99 W and SW 124th Avenue

Dear Mr. Harper:

We have reviewed the applicant's traffic analysis for Phase 1 that includes 482,000 square feet of the ultimate, 1.3 million square-foot high-tech industrial park. We have no objections to the proposal provided that as a condition of approval the striping of the left-turn lane at the southbound approach of the 99W and 124th Avenue intersection is extended. The existing striping extends 350 feet in length and 525 feet of storage is needed as mitigation to accommodate the first phase of development.

Recommended Condition of Approval

Prior to issuance of the Phase 1 primary building permit the applicant shall obtain an ODOT permit and extend the left-turn lanes at the 99W southbound approach of the 99W and 124th Avenue intersection to achieve 525 feet of left turn storage.

Findings

The proposal impacts Pacific Highway, 99W an ODOT facility. According to the Oregon Highway Plan (1999)¹ 99W is classified as a *Statewide Urban* highway. The mobility standard is 0.99 volume to capacity (v/c). ODOT has permitting authority for this facility² and an interest in ensuring that the traffic impacts are mitigated to provide a safe and efficient facility. The need for the

¹ The 1999 Oregon Highway Plan is an element of the Oregon Transportation Plan, which was adopted by the Oregon Transportation Commission on March 18, 1999.

² Oregon Administrative Rule (OAR) 734-051, see the following web site for the rule's exact language:
http://arcweb.sos.state.or.us/rules/OARS_700/OAR_734/734_051.html



ODOT Response

2
January 5, 2001

additional left-turn storage is based on an analysis conducted by Chi Mai, ODOT traffic analyst. Please refer to her attached memorandum dated January 3, 2000.

ODOT Permit Information

The applicant may contact ODOT District 2A at 503-229-5002 for information about the ODOT permit required for the striping.

Thank you for coordinating with ODOT on this land use application. Please provide us with a copy of the decision. If you have any questions regarding the above comments, I can be reached at 503-731-8206.

Sincerely,



Gail Curtis, AICP
Senior Land Use Planner

Attachment: Chi Mai's 1/3/01 Memorandum

cc: Chi Mai, ODOT
Joel McCarrol, District 2A



Oregon

John A. Kitzhaber, M.D., Governor

Department of Transportation

Region 1
123 NW Flanders
Portland, OR 97209-4037
(503) 731-8200
FAX (503) 731-8259

DATE: January 3, 2001

TO: Gail Curtis, Senior Land-Use Planner

FROM: Chi Mai, Transportation Analyst

SUBJECT: Novellus Phase 1 (Tualatin)

FILE CODE:

I have reviewed the traffic impact study conducted by Group MacKenzie in December 2000 for the subject development. The site is a 58-acre parcel bordered by Tualatin Road, 108th Avenue, Leveton Drive, and a private road. The first phase of the development is the expansion of up to 489,000 sqft total of manufacturing and research and development offices, which includes existing buildings. The buildout year is expected to be early 2002.

The facility of concern to ODOT is Highway 99W. This is a 4-lane section highway with a Statewide level of importance and a mobility standard of $v/c=0.99$. The traffic impact study analyzes existing traffic, year 2002 base traffic (2% background growth plus in-process traffic) and year 2002 total traffic. 15% of site traffic is expected to travel to/from 99W north and 15% is expected to travel to/from 99W south. Therefore, 30% of site traffic is expected to travel through the intersection of 99W/124th Ave.

Based on intersection capacity analysis as outlined the traffic study, the intersection of 99W/124th Ave is operating well for existing traffic conditions and is expected to operate well (i.e. v/c performance will be below ODOT v/c standard) for year 2002 base traffic and year 2002 total traffic.

The traffic study outlined queuing analysis but it did not look at the intersection of 99W/124th Ave. Base on ODOT's analysis, the queuing length for each of the dual left-turn lanes on 99W southbound approach is expected to be approximately 525', exceeding the existing striped length of 350'. Therefore, it is recommended that the City require the applicant to extend the dual left-turn striping to a total length of 550'.

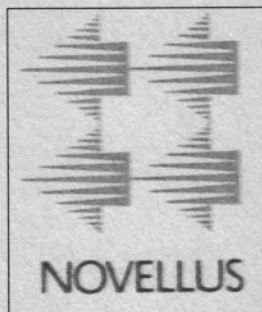
Please contact me at (503) 731-8542 if you have any questions.

Novellus.doc
CM/cm



Request for approval
of an
**INDUSTRIAL MASTER PLAN
AND
LAND DIVISION (PARTITION)**

**For
NOVELLUS SYSTEMS INC.**



January 4, 2001

Project # 2000321

Prepared by:

GROUP

MACKENZIE

**P.O. Box 69039
Portland, OR 97201-0039**

Prepared for:

**Novellus Systems, Inc.
4000 North 1st - M/S 305
San Jose, CA 95134**

Exhibit C

TABLE OF CONTENTS

I.	Introduction	1
II.	Land Use Reviews	3
III.	Project Description	4
IV.	Industrial Master Plan Submittal Requirements (Chapter 37)	6
V.	Manufacturing Park Planning District (Chapter 62)	14
VI.	Subdivisions and Partitions (Chapter 36)	20
VII.	Summary	21

Exhibits:

1. Addendum to Industrial Master Plan
2. Parking lot landscape deviation request

Attachments:

- A. Industrial Master Plan application
- B. Partition application
- C. Vicinity Map
- D. Aerial Photo
- E. Site Plan (11 x 17)
- F. Site Perspective (11 x 17)
- G. Site Axonometrics
- H. Site Sections
- I. Partition Map
- J. Concept Site Utility Plan - Storm
- K. Concept Site Utility Plan - Water
- L. Concept Site Utility Plan - Sewer
- M. Legal Description
- N. Adjacent Property Owner's List
- O. Preliminary Traffic Analysis
- P. Wetland Determination Letter
- Q. USA Service Provider Letter

I. INTRODUCTION

This narrative supports the application for an Industrial Master Plan on 58 acres Manufacturing Park (MP) Planning District designated of industrial land owned by Novellus Systems, Inc based in San Jose, California. The subject site is located north of Leveton Drive and south of Tualatin Road, west of 108th Avenue and directly east of JAE Oregon (see Attachment C). Novellus manufactures equipment that produce semiconductors for computers. More specifically, the equipment manufactured includes chemical vapor deposition (CVD), physical vapor deposition (PVD) and copper electrofill systems that allow for increased durability and speed in semiconductors that run computer systems. Novellus's need for additional industrial land and manufacturing space has led them to locate in the City of Tualatin.

The subject property was partitioned in 1989 (City file # MIP-89-03) creating the 58 acre parcel. The site currently has two buildings, previously developed and owned by OKI Semiconductor, that were approved by the city in 1989 (AR-89-24). During OKI's ownership one building was utilized for manufacturing and the other building was utilized for office space. Access is currently located via Leveton Drive, and parking areas are located mostly to the south of the existing buildings (with the exception of some parking and loading areas north of the western manufacturing building). The remainder of the eastern half of this site comprises landscaped areas and vacant areas north and south of the existing buildings. The vacant areas include fields with mixed coniferous and deciduous trees. An existing filbert orchard exists on the northeast corner of the site along with a stand of mixed firs and deciduous trees north of the office building and several very large Douglas fir trees along the northern property line. The western portion of the site is comprised of mostly an open grassy field with sparse trees. Generally the entire site has rolling topography increasing in elevation from south to north with periodic increases and decreases in elevation (see Attachment H).

The entire site, with the exception of the northern property line, is surrounded by industrially zoned land including Light Manufacturing (ML) to the east, ML and MP to the south and MP to the west. Existing development south of Leveton Drive consists of Fujimi America Inc. and Tofle USA, JAE Oregon is located just west of the site and Johnson Bradley, Helser Limited Partnership, Dot Inc. and Crystal Lite Manufacturing are located just east of the site across 108th Avenue. All of the adjacent properties, with the exception of one of the Fujimi parcels, have existing development. A residential area exists north of Tualatin Road from the subject site and includes single-family residential and an assisted living/Alzheimer care facility.

The existing manufacturing facility has a minor addition under construction onto the northern portion of the building, and a small expansion of the parking/loading area. The existing office building is currently being used as a training facility for employees and minor office uses. Novellus plans to utilize the existing manufacturing building, and remodel and expand the existing office building for use as a manufacturing building in the later phases of this development.

This proposal is requesting approval of an Industrial Master Plan (IMP) Land Division (minor partition). Although submittal of the Industrial Master Plan is optional in the Manufacturing Park Planning District, receiving review and approval of an industrial master plan allows for partitioning the site into minimum 15 acre parcels, and incorporates a broader review of development of a large acreage site. Additionally, this Industrial Master Plan is focused on designing the site to allow for convenient pedestrian connections between buildings, and efficient on-site vehicular circulation. Landscaping will be focused on the areas surrounding the buildings and outdoor areas that employees frequent such as entry ways and paths between buildings. The concept is to orient the buildings in a manner that allows employees a view to the outside and to allow visitors/customers views into the interior work areas.

II. LAND USE REVIEWS

Land Use Reviews requested for this project include:

1. Industrial Master Plan
2. Land Division (Minor Partition)
3. Architectural Review (Phase I);

Novellus is requesting that the Partition be reviewed simultaneously with the Industrial Master Plan (IMP) and will include partitioning the 58-acre site into three smaller parcels of approximately 23.139, 15.386, and 19.562 acres each (see Attachment I). In conjunction with this proposal, Novellus will also be requesting Phase I Architectural Review approval. The Phase I Architectural Review will be submitted at a later date once the IMP is approved. The IMP shows development proposed for Phase I and planned for full build out and specifically shows which buildings are planned to be constructed at each phase. Additionally, Novellus is in the process of obtaining a grading/site utility permit for on-site grading activities and on-site private utilities.

III. PROJECT DESCRIPTION

This proposal includes the ultimate development of 1,365,000 square feet of buildings and 2,550 parking spaces to support manufacturing, research and development, site services, training facilities, offices and mechanical equipment facilities. The project is currently broken into 4 phases with building area and parking proposed for each phase as follows:

Phases	Building Area	Parking	Site Area	Est. Employees
Phase 1	535,000 sf	850 spaces	23.139 acres	1,000
Phase 2	160,000 sf	265 spaces	15.386 acres	TBD
Phase 3	230,000 sf	515 spaces	19.562 acres	TBD
Phase 4	440,000 sf	920 spaces	See Phase III	TBD
TOTAL	1,440,000 sf*	2,750 spaces*	58 acres	5,000

*includes 75,000 square feet of existing manufacturing space and 200 existing parking spaces

Novellus proposes to utilize the two existing buildings on site, previously owned by OKI Semiconductor. The existing manufacturing building will continue to be used for manufacturing purposes, and the office building will be replaced in the future to accommodate manufacturing space. Existing parking consists of 200 parking spaces south of the existing buildings. Existing access via Leveton Drive will be maintained along with construction of additional access points via both Leveton Drive and 108th Avenue. No additional access points are proposed on Tualatin Road. The existing driveway shared with JAE will be utilized for limited on-site access, but will not connect to Leveton Drive, and will be de-emphasized for use as a public access.

Phase I will include the first portion of the manufacturing, site services, training facility, research and development/applications, engineer offices and mechanical building totaling 535,000 square feet. Full occupancy of this phase of the project is expected by April of 2002. Partial occupancy is expected January of 2002.

Novellus Systems has indicated from the beginning of the project that they want to create a project with a "campus style" that provides a quality working environment is also compatible with the existing surrounding residential and industrial development. The proposed site layout accomplishes that goal by providing significant buffering and by designing the buildings in a manner that reduces impacts to adjacent properties (See Attachment E). For example, the shipping and receiving areas are centralized and oriented in an east/west direction within the site reducing visual and noise impacts to the north and south. Particularly shipping areas are located along the main entry way for easy truck access from the south or east reducing potential truck traffic from the north. Additionally, all manufacturing activities will be conducted indoors further reducing impacts to adjacent properties. Surface parking is interspersed around the buildings along with structured parking between buildings at convenient locations for

employees promoting connectivity between the parking areas and buildings. Landscaping will be located within the building/parking setbacks and interspersed throughout the site with focus particularly on the northern property line and at areas within the site used heavily by employees such as entryways and break areas (see Attachment G).

The IMP emphasizes the main entrance on site that includes access to future structured parking, bridges connecting the manufacturing buildings with Site Services and Research and Development, and access through to the northern portion of the parcel. This main entrance will be lined with prominent landscaping and landscape accents at the entrances of each building. Pathways between the buildings and parking areas will also be landscaped to promote use of outdoor areas.

Surface parking areas will be situated on the perimeter of the building areas. Structured parking will be located immediately adjacent to the site services/training, R & D/engineering, and the manufacturing buildings as those areas are central entrances to the main work areas on site. The majority of the truck activity will be entering the site from Leveton Drive and/or 108th Avenue due to the location of the loading areas.

IV. INDUSTRIAL MASTER PLAN (CHAPTER 37)

As indicated above, Novellus Systems Inc. is requesting approval of an Industrial Master Plan (IMP) for the project. An IMP is intended to “achieve a campus-like setting within an Industrial Master Plan Area, while allowing development to occur on a number of smaller parcels within the area. The following excerpts from Chapter 37 indicate that the project proposal meets the intent of Chapter 37, meets the technical requirements for application submittal and also meets the criteria for City Council approval. Furthermore, the IMP process is intended to address the broader more conceptual issues, including modification of setbacks, related to large lot development prior to applying for Architectural Review. By applying for the Industrial Master Plan approval, the minimum lot size may be partitioned to no less than 15 acres rather than the standard 40 acre minimum lot size in the Manufacturing Park Planning District.

37.010 - Purpose

The Tualatin City Council may approve an Industrial Master Plan within the Manufacturing Park Planning District that sets particular standards for development within the Industrial Master Plan Area defined by such plan, in accordance with the Tualatin Community Plan and the Leveton Tax Increment Plan. Such approved plans are intended to achieve a campus-like setting within an Industrial Master Plan Area, while allowing development to occur independently on a number of smaller parcels within that area. It is the intent of this chapter to provide procedures and criteria for the submission and review of such Industrial Master Plan applications.

Finding: The proposed site layout shows a campus-like setting while allowing the buildings to be located in an efficient manner for the type of use proposed. Individual parcels are proposed within this Industrial Master Plan creating parcels of not less than 15 acres in order to comply with 62.050 code requirements which state minimum lot size. These proposed lot lines are configured to allow for phased development within Novellus and also to potentially allow for individual users at a future date.

A centralized entrance off of Leveton Drive will be the focal point of this Industrial Campus. This entrance will be flanked by landscape features on either side and will include a landscaped circular drive at the Site Services/Training and R & D/Engineering building entrances (see Attachment F). This driveway will provide vehicle access to the main entrances of the buildings for employees or visitors and a convenient turn around for access to structured parking and surface parking areas. Each of the proposed buildings are located on site to promote operations while at the same time, clusters the buildings with the existing structures allowing additional space for campus style features such as ample employee parking, on-site circulation, extensive landscaping and outdoor areas.

The on-site circulation is proposed to include a looped drive beginning south of the proposed Phase I manufacturing building and south of the existing manufacturing building. The driveway will loop north around the outer edges of the site which allows trucks to access the shipping and receiving areas without having to drive through the individual parking areas on-site which reduces the amount of vehicular conflicts. Passenger vehicles will also utilize the outer drive for access to the individual parking areas as necessary (see Attachment E).

37.020 - Application Requirements

- (1) A request for an Industrial Master Plan. . . shall be initiated by the owner or owners of all properties within the Industrial Master Plan area. . . The applicant shall discuss the proposed use and site plans with the Planning Director and City Engineer in a pre-application conference. . . . Following the pre-application conference, the applicant may submit a written application addressing applicable review criteria

Finding: This Industrial Master Plan submittal is consistent with the above criterion. The proposed project achieves a campus-like setting based on the layout of the proposed buildings, extensive landscaping and screening and orienting the buildings to allow increased natural light and outdoor visibility for employees and visitors to the facility. The project proposal incorporates a partition into the Industrial Master Plan, dividing the 58 acre parcel into 3 smaller parcels of 23.139, 15.386, and 19.562 acres each (see Attachment I).

A pre-application conference was held with the City of Tualatin on October 30, 2000 that discussed the preliminary site plan and code requirements for this project. The property owner discussed the proposed use and preliminary site plans extensively with the City of Tualatin staff prior to submitting this application.

- (2) An Industrial Master Plan. . . . shall be conditioned on creation of the proposed parcels through the subdivision or partition process or may be the subject of a concurrent land division application. . . .

Finding: This Industrial Master Plan is submitted in conjunction with a Partition application creating the three parcels of 23.139, 15.386, and 19.562 acres each. The lot configurations shown are based on the Phased Development of this project. The largest lot includes all the development proposed for Phase I activity which includes the first portion of the manufacturing building, site services, training facility, engineer's offices, mechanical building, and Research and Development/Applications. The additional 2 lots will incorporate the remaining Phase II-IV developments.

- (3) In addition, . . . the following information shall be included in the application or on accompanying drawings:

Finding: All of the specific site plan requirements identified in Chapter 37 and also within the IMP application packet have been shown on the site plans and/or included within the application packet.

37.020 - Application Requirements

- (1) An Industrial Master Plan may specify, for the entire Industrial Master Plan Area as a whole or for each individual parcel therein, the following alternate development standards which shall supersede conflicting provisions otherwise applicable:
- (2) Setbacks from each lot line to buildings, parking areas and circulation areas. Required setbacks may be exact, or minimum and maximum ranges may be specified. Required setbacks may be greater than or less than those required under TDC 62.060.

Finding: Attachment E shows the setbacks from the lot lines to building and parking areas. Setbacks will meet the setback requirements of Chapter 62 (MP district) with the exception of three setbacks. The building setback to the south is proposed at 80 feet instead of the 100 setback established in the MP district. The parking and circulation area setback on the northern property line is proposed at 35 feet instead of 50 feet. The northern interior line will be setback 20 feet from the existing manufacturing buildings. All additional setbacks are outlined in 62.060.

- (3) Locations of shared parking and circulation areas and access improvement, including truck maneuvering and loading areas and common public or private infrastructure improvements.

Finding: Surface and structured parking will be utilized by employees on site as shown on Attachment E. A total of three parking structures will be constructed, each accommodating 500 vehicles. These structures will be constructed in Phases II thru IV. These structures will be located as shown on Attachment E, between the proposed manufacturing building and the future R&D/Applications building, between the existing manufacturing building and future office building and east of the existing manufacturing building. See Exhibit 1.

An outer looped driveway will be constructed on the north half of the site to allow trucks access to the shipping and receiving areas. Additionally passenger vehicles will be able to utilize the outer looped driveway to access the individual parking areas through out the site. Phase I surface parking will be located between the proposed manufacturing building and the R&D/Applications building and between the Site Services building and the existing manufacturing building. Surface parking is also proposed where each future parking structure is shown as well as the future office buildings and future R&D/Applications building. Temporary surface parking will be

established north of each subsequent manufacturing phase and will be removed/relocated as each manufacturing phase is developed. Access improvements will be constructed on 108th Avenue and Leveton Drive to provide adequate access to the site. See Attachment O for a preliminary analysis of traffic impacts and Attachments J, K, L for conceptual utility improvements.

- (4) Building heights and placement and massing of buildings with respect to parcel boundaries.

Finding: The proposed buildings are generally oriented towards the central portion of the site. The height of the buildings range from 21 to 70 feet on site. The manufacturing buildings proposed on site will be 53 feet including the basement area. The total height of the buildings above ground will be 35 feet. The manufacturing buildings are located no closer than 139 feet from the northern property. The R & D and Site Services buildings are located no closer than 80 feet from the southern property line. Buildings are located no closer than 80 feet from the eastern property line and no closer than 100 feet from the western property line. The northern interior lot lines will be located no closer than 20 feet to the existing manufacturing buildings.

- (5) Location and orientation of building elements such as pedestrian ways or accesses, main entrances and off-street parking or truck loading facilities, including the number of off-street parking spaces and loading docks required.

Finding: The main entrance will be located off of Leveton Drive with secondary access points off of 108th Avenue and Leveton Drive. Minimum parking requirements for a total of 1,440,000 square feet is 2,304 spaces. The parking proposed is 2,750 spaces and meets the minimum requirements. No maximum requirements are listed for manufacturing uses. Loading docks are proposed at each manufacturing building and meets the minimum requirements.

The site is designed to allow access from the ground and through the sky bridges proposed between the Site Services, R&D/Applications, and Manufacturing buildings. Pedestrian access points will be located at the main entrances of each building and at access points from both Leveton Drive and 108th Street. A jogging trail will also be located along the eastern property line and will connect with the sidewalks running east/west on both Tualatin Road and Leveton Drive. Clearly labeled walkways will be located from the parking areas to the building entrances as well. Also, walkways between each building will allow employees and visitors to walk through the landscaped areas proposed between the buildings. See Exhibit 1.

- (6) Lot dimensions and area provided that no individual parcel shall be less than 15 acres north of SW Leveton Drive and five acres south of SW Leveton Drive unless otherwise provided under TDC 62.050(1).

Finding: Three parcels are proposed at 23.139, 15.386, and 19.562 acres and meet the minimum lot size requirements.

- (7) Location of required building and parking facility landscaped areas.

Finding: Attachment F shows the proposed landscaped areas for the buildings and parking facilities. The proposed project will meet the 20% landscape requirement. In addition, Novellus is requesting that the parking lot landscape standard of one landscape island per every eight stalls be modified to one landscape island per every 12 stalls. In order to mitigate for this requested deviation, Novellus is proposing to place a landscape strip between the facing vehicles the entire length of the parking area. This will provide approximately 71 square feet of landscaping per stall instead of 25 square feet. This requested deviation is only proposed on the southern portion of the lot in order to allow terracing due to the natural slope of the site. See Exhibit 2.

In addition, Novellus has made a concerted effort to preserve the existing grove of trees north of the existing manufacturing building. Also re-seeding of the graded areas will be conducted between the phases of development.

37.030 - Criteria For Review

The City Council shall approve an Industrial Master Plan, after a hearing conducted pursuant to TDC 32.040, provided that the applicant demonstrates that the following criteria are met:

- (1) Public facilities and services, including transportation, existing or planned, for the area affected by the use are capable of supporting the proposed development or will be made capable by the time development is completed.

Finding: The entire site is serviced by existing public facilities. Two 12 inch water line stubs are located approximately 400 feet east of JAE and 650 feet west of 108th Avenue on Tualatin Road. A 16 inch water line also exists in both Tualatin Road and 108th Avenue. A 12 inch water line also exists in Leveton Road which will be used for connection to the site (see Attachment K). A 30-inch storm sewer pipe crosses under Leveton and extends south into a ditch that drains into wetlands south of the site. On site detention will be provided and will be located on either side of the main entrance off of Leveton Drive (see Attachment J). An 8-inch sewer line exists in Leveton Road as well as an 8-inch stub out near the OKI site. These facilities appear to be adequate for the proposed uses on site (see Attachment L).

The attached preliminary traffic analysis reviews general on-site circulation and access spacing based on the proposed project. Preliminary discussions with the City staff indicated that up to two additional access points may be allowed off of 108th Avenue and three access points on Leveton Drive. One limited access point would be allowed at the existing access shared with JAE off of Tualatin Road. These additional access points would allow for adequate access to the site for employees and for truck traffic. Truck traffic will be encouraged to use Leveton Drive or 108th street for access as the site layout provides convenient accesses to the manufacturing areas from Leveton Drive and 108th Avenue (see Attachment O).

The nearest bus stops are located on Pacific Highway which are between 1/4 of a mile to 1/2 mile from the site.

- (2) The location, design, size, color and materials of the exterior of all structures for the proposed development and use is compatible with the character of other developments within the same general vicinity.

Finding: The proposed project has been designed to be compatible with existing surrounding development. The subject site is surrounded on three sides (south, east and west) by existing industrial developments and vacant industrially zoned land to the southwest (Fujimi). This existing industrial development is characterized by large-scale manufacturing buildings with associated buildings and parking areas and are generally similar in nature to the proposed project. Due to the similar nature of development to the south and east, Novellus is proposing to locate the buildings approximately 80 feet from the southern and eastern exterior property lines. This will also provide more area within the interior of the site for adequate circulation and building sizes and ensure adequate buffering on the north (see Attachment E). This southern setback may be further reduced in the later phases of development if a left turn lane is needed onto the site from Leveton Drive.

In order to promote compatibility with the residential area to the north of the site, the 100-foot building setback will be maintained as well as creating an earth berm that is approximately 4 feet tall to be planted with heavy vegetation. The outer looped driveway (see Attachment E) will be located no closer than 35 feet from the property line and will be screened by the earth berm as well. The buildings will be designed to utilize the natural grade changes to further screen them from residential development to the north. The maximum building height for the structures adjacent to the residential development to the north will be 35 feet at 139 feet (see Attachment H). Existing vegetation will be utilized along the northwest property line and the earth berm will be integrated with the existing vegetation.

The location of the buildings and the sizes of the buildings are all shown on Attachment G. The proposed buildings and parking areas meet the setbacks from the western and eastern property line and will not exceed the maximum

height limit of 70 feet. The parking structures proposed will not exceed 5 stories and will be approximately the same height as the buildings surrounding them.

The buildings have been oriented on site with the primary density in an east/west orientation. The site design will take advantage of the north/south light with large open windows looking out into atriums which include an approximately 40-foot-wide landscaping area between manufacturing buildings (see Attachment E). A masonry element, such as stone or brick, will be utilized for the base of the buildings. The skin is proposed to be a glass curtain wall or flat off-white metal siding. The windows will be green-tinted and non-reflective with a clear anodized trim. A light shelf will be located on the upper portion of the windows and will extend out approximately 20" to provide shade on the majority of the lower portion of the window and to allow light to be reflected up into the building for natural lighting. The pedestrian skybridges will be composed of steel and glass to match the buildings. The roofs are anticipated to be metal and will be painted to complement the exterior walls. Decorative lights will be used at the entry ways of each building with low levels of illumination. Ground mounted signs are proposed at the southeast corner of the site and along 108th at the entrances. A monument sign will be located at the main entrance off of Leveton Drive.

- (3) The internal circulation, building location and orientation, street frontage, parking, setbacks, building height, lot size and access are in accordance with TDC Chapter 62 unless otherwise approved through the Industrial Master Plan process.

Finding: The primary access points will be located on Leveton Drive. Secondary accesses will be Leveton Drive, 108th Avenue and the existing shared access on Tualatin Road. The northern interior of the site will have a looped driveway for easy access into the specific parking areas for each building. Shipping and receiving areas will be located on either side of the manufacturing building for easy central truck access. Attachment E shows the proposed building locations, sizes along with parking areas and street frontage. Attachment H indicates the building heights and setbacks. Refer to Section V below for further details as well.

Novellus is proposing to comply with the 100 foot minimum setback requirement from the northern property line and are proposing a 35 foot setback from the outer looped driveway to the northern property line. The 28 foot height limit at the 100 foot setback will be met, and increases in height beyond that point will meet the 45-degree increase to a potential 70 foot maximum as required by 62.080(2) (see Attachment H). In addition, Novellus is proposing to create an earthen berm along the northern property line to further screen the proposed development from residential areas to the north.

The existing mature fir trees lining the northern property line, are proposed to be retained for screening purposes and will be incorporated into the adjacent earthen berm. Attachment H depicts the visual impacts of the earth berm and landscaping proposed.

Novellus is proposing to comply with the 50-foot building setback from the western property line. Novellus is proposing an 80-foot building setback from the southern and eastern property line, with potential for a further reduction if a left turn lane is eventually needed on Leveton Drive. The building heights from the south will comply with the maximum height requirement as shown on Attachment H.

As stated above, lot size will be at least 15 acres in order to meet the minimum lot size requirements for this zoning designation. The current 58 acre parcel is proposed to be divided into three parcels of 23.139, 15.386 and 19.562 acres each (see Attachment I). The lots are proposed to be divided in accordance with the phased development. The first phase of development will encompass the largest lot with subsequent phases including the remainder of the development.

V. MANUFACTURING PARK PLANNING DISTRICT (Chapter 62)

Novellus' proposed project is located within the Manufacturing Park Planning District (MP) which is outlined in Chapter 62 of Tualatin's Development Code. The intent of the MP District is to allow for larger scale industrial development and promoting planned developments specifically for modern and/or specialized manufacturing. The Novellus project promotes that goal and is discussed in detail below.

62.010 - Purpose

The purpose of this district is to provide an environment exclusively for and conducive to the development and protection of modern, large-scale specialized manufacturing and related uses and research facilities. Such permitted uses shall not cause objectionable noise, smoke, odor, dust, noxious gases, vibration, glare, heat, fire hazard or other wastes emanating from the property. The district is to provide for an aesthetically attractive working environment with park or campus like grounds, attractive buildings, ample employee parking and other amenities appropriate to an employee oriented activity. It also is to protect existing and future sites for such uses by maintaining large lot configurations or a cohesive planned development design and limiting uses to those that are of a nature so as to not conflict with other industrial uses or surrounding residential areas. It also is intended to provide for a limited amount of commercial uses designed exclusively for the employees of the primary uses and is intended to allow the retail sale of products manufactured, assembled, packaged or wholesaled on the site provided the building area used for such retail selling is no more than 5% of the gross floor area of the building not to exceed 1,500 square feet.

Finding: The proposed use will be a modern specialized manufacturing use with related research and development facilities. The production of equipment used to make semiconductors along with research and engineering for continued improvement to the equipment satisfies the above criterion for the intent of the zoning designation. Furthermore, the activity on site does not produce or emit objectionable noise other than noise related to normal manufacturing activity such as truck deliveries and operation of standard equipment. All production activity, with the exception of loading and unloading of equipment, will occur within the buildings. By reviewing the entire 58 acre site, surrounding uses including public facilities can be addressed along with ensuring compatibility with adjacent existing uses.

The buildings are situated on site to allow for convenient employee and product movement between work areas as well as ample parking on the exterior of the site. The buildings are oriented to allow for utilization of existing topography.

62.020 - Permitted Uses.

No building, structure or land shall be used in this district except for the following uses:

- (5) Manufacture, assembling and packaging of electronic equipment, instruments and devices.
- (5) Research offices and laboratories.
- (6) Testing offices and laboratories.
- (13) Offices when part of a manufacturing use as listed in (1) through (12), above.

Finding: As stated above, all of the multiple uses proposed by Novellus on site are included in the permitted uses for this zoning designation. Novellus assembles and makes the equipment used in the semiconductor manufacturing process. In conjunction with their production of this equipment they also have related research and development activities and testing areas to test the products. Also offices for employees are proposed in two of the buildings.

62.050 - Lot Size.

- (1) North of SW Leveton Drive (including its westerly extension to the western edge of the Planning District) the minimum lot area shall be 40 acres, except the minimum lot area may be reduced to 15 acres pursuant to an approved industrial master plan as provided under TDC Chapter 37. . . .

Finding: This application proposes three lots of 23.139, 15.386 and 19.562 acres each which meet the above requirement, as Novellus is requesting Industrial Master Plan approval for development of this industrial campus (see Attachment I).

- (2) The average lot width shall be 250 feet.

Finding: The average lot width is approximately 1000-1200 feet which is well above the 250 foot average.

- (3) The minimum lot width at the street shall be 250 feet.

Finding: The minimum lot width at the street is well above the 250 foot requirement. The minimum lot width is approximately 600 feet.

- (4) For flag lots. . .

Finding: Not applicable.

- (5) The minimum lot width at the street shall be 50 feet on a cul-de-sac bulb.

Finding: Not applicable.

- (6) Lots or remnant areas created by the location of public streets. . . .

Finding: Not applicable.

- (7) No minimum lot size, width or frontage requirement shall apply to wetland conservation lots.

Finding: Not applicable.

62.060 - Setback Requirements.

- (1) Industrial Planned Development Properties subject to an Industrial Master Plan approved by the Tualatin City Council in accordance with the Leveton Tax Increment Plan, as amended, shall be subject to setback requirements as contained in the Industrial master Plan. Where no setback requirement is specified in an Industrial Master Plan, TDC 62.060(2)(3) shall apply.

Finding: The proposed building and parking setbacks will be as specified on the site plan and below with the exception of parking and circulation areas to the north, exterior building setbacks to the south and east and the northern interior lot line setback. The parking setbacks to the north are proposed at 35 feet. The building setbacks to the south and east are 80 feet and the northern interior lot line will be 20 feet.

- (2) Yards adjacent to Streets or Alleys.

- (a) Except as otherwise provided in TDC Chapter 37. . . . The minimum building setback for parcels north of SW Leveton Drive is 100 feet.
- (b) Except as otherwise provided in TDC Chapter 37, the minimum setback to any parking or circulation area is 50 feet.

Finding: The buildings are located on site to meet the 100 foot setback requirement as shown on the submitted site plan with the exception of the southern and eastern buildings which are proposed to be located at 80 feet. Although (b) above, indicates a 50 foot setback requirement for parking and circulation areas, this submittal includes a request to reduce that setback on the northern property line to approximately 35 feet through the Industrial Master Plan process. In order to minimize encroachment within the suggested 50 foot setback, an earth berm is proposed at approximately 4 feet in height and will be constructed along the entire north property line and be incorporated into the existing vegetation already located along the northern property line. The earth berm will be heavily planted with vegetation to further reduce visual impacts of the project to the north.

(3) Side and Rear Yards Not Adjacent to Streets or Alleys.

- (a) The minimum setback for parcels north of Leveton Drive is 50 feet.

Finding: The western property line is the only property line not adjacent to a street or alley. The buildings are proposed to meet this 50 foot setback and are represented on the site plan (see Attachment E). The northern interior lot line will be placed approximately 20 feet from the existing manufacturing building. See Exhibit 1.

- (b) Except as otherwise provided in TDC Chapter 37, all parking and circulation areas shall be set back a minimum of 5 to 25 feet from the property line, as determined through the Architectural Review process. However no setback is required from lot lines lying within ingress and egress areas shared by two or more abutting properties in accordance with TDC 73.400(2).
- (c) No spur rail track shall be permitted within 200 feet of an adjacent residential district.
- (d) No setbacks are required at points where side or rear property lines abut a railroad right-of-way or track.

Finding: The outer looped driveway is proposed to be no less than 10 feet from the western property line as shown on the site plan which meets the above requirement.

(4) No fence shall be constructed within 50 feet of a public right-of-way.

Finding: No fencing is proposed on-site.

(5) Setbacks for a wireless communication facility shall be established . . .

Finding: Not applicable.

62.080 - Structure height

- (1) Except as provided in TDC 62.080(2) or (3), no structure shall exceed a height of 70 feet, except for flagpoles . . .

Finding: No portion of any structure is proposed to exceed 70 feet in height.

- (2) Height Adjacent to a Residential District. Except as otherwise provided in TDC Chapter 37, where a property line, street or alley separates MP land from land within a residential district, a building, . . . shall not be greater than 28 feet in height at the required 50 foot or 100 foot setback line. No building or structure, including flagpoles,

shall extend above a plane beginning at 28 feet in height at the required 50 foot or 100 foot setback line and extending away from and above the setback line at a slope of 45 degrees, subject always to the maximum height limitation in TDC 62.080(1)

Finding: The only portion of the property adjacent to a residential district is the northern portion. Phase I construction will mainly be limited to the southern half of the property which is not subject to this requirement. However for future Phases 2-4 no portion of any structure is proposed to exceed these height limits. See Attachment H showing approximate building elevations.

(3) Wireless Communication Support Structure.

Finding: Not applicable.

62.090 - Access.

Except as otherwise provided in TDC Chapter 37 and as provided below, no lot shall be created without provision for access to the public right-of-way in accordance with TDC 73.400 and TDC Chapter 75. Such access may be provided by lot frontage on a public street, or via permanent access easement over one or more adjoining properties, creating uninterrupted vehicle and pedestrian access between the subject lot and the public right of way

Finding: All proposed lots will have frontage on one of the 3 public streets surrounding the subject property: 108th Avenue, Leveton Drive, or Tualatin Road.

62.100 - Off-street parking and loading.

Except as otherwise provided under TDC Chapter 37, refer to Chapter 73.

Finding: Proposed off-street parking and loading will meet the minimum requirements of 73.070-73.400. No parking maximums exist for manufacturing uses therefore, the minimum 1.60/1,000 parking ratio will be met along with minimum requirements for loading berths. In addition, all parking and loading areas are located in a manner consistent with Chapter 73 requirements.

62.110 - Environmental Standards

Except as otherwise provided under TDC Chapter 37, refer to Chapter 63.

Finding: Noise and Air Quality will meet the Oregon Department of Environmental Quality standards as required in this Chapter. The proposed uses are conducted indoors with the exception of loading and unloading activity. No activity on-site will exceed standards for noise, air quality or vibration. The earth berm proposed on the northern property line will minimize any resulting noise from the site, along visual buffering provided with extensive landscaping. Additionally, the buildings are located to meet or exceed the

minimum setback requirements. Parking and employee traffic utilizing the looped driveway will minimize traffic utilizing Tualatin Road. The majority of truck traffic will be using 108th Avenue and Leveton Drive, as access to the shipping and receiving areas is more accessible at those points (see Attachment E).

An emergency generator will be located on-site for situations when power is unavailable to the site. Generators usually produce some noise but this on-site generator will be very limited in use. and will be centralized on the site.

62.120 - Community Design Standards

Except as otherwise provided under TDC Chapter 37, refer to Chapter 73.

Finding: Structure design, landscaping and parking will all comply with the Community Design Standards of Chapter 73 and will be specifically addressed during the Architectural Review process.

62.130 - Landscape Standards.

Except as otherwise provided under TDC Chapter 37, refer to Chapter 73.

Finding: Proposed landscaping will meet the 20% landscape requirement for approved Industrial Master Plans. Furthermore, landscaping will meet or exceed the requirements of 73.230 thru 73.310, 73.320, 73.340, 73.360 - 73.410. Landscaping will be designed around the perimeters of buildings at 5 feet in depth and around the perimeter of parking areas and circulation areas at a depth of 10 feet. Landscaped areas within parking lots will meet the minimum 25 square feet per parking stall and will be dispersed throughout the parking areas. Entrances to parking areas will be landscaped and overall landscaping will exceed the minimum requirements for the entire site with landscape emphasis at the centralized entrance and along the property lines with specific emphasis on the northern property line. See Exhibit 2.

VI. SUBDIVISIONS AND PARTITIONS (CHAPTER 36)

This Industrial Master Plan submittal includes an application for a Partition that is consistent with TDC Chapter 36 and the minimum lot size requirements of TDC Chapter 62 (see V below). The attached partition plan shows the intended lot configuration based on the code requirements of TDC 36.220.

36.210 - Approval Required.

- (6) No land may be partitioned except in accordance with this Chapter. . . .

Finding: The partition plan complies with Chapter 36 requirements for partitioning of parcels. It also complies with the minimum standards set forth in Chapter 37 - Industrial Master plan and Chapter 62 - Manufacturing Park Planning District. The minimum requirements for Chapters 37 and 62 are set forth in this submittal.

36.220 - Application and filing fee.

- (1) The applicant shall prepare and submit a City of Tualatin Development Application, available from the City Engineer.
(2) The application shall contain:

Finding: A development application was obtained from the City and is included as Attachment B with this submittal. All of the specific site plan requirements have been shown on the partition plan and included within the application packet.

VII. SUMMARY

In summary, the Industrial Master Plan and Partition application for the development of an industrial campus for Novellus Systems Inc. including manufacturing, research and development, site services, engineering and mechanical equipment buildings, meets the applicable review criteria and should be approved as shown on the attached plans.

G R O U P

MACKENZIE

December 22, 2000

City of Tualatin
Attn. Doug Rux
18880 Martinazzi Avenue
Tualatin, OR 97062

RE: Addendum to Industrial Master Plan submitted on 11/29/00
Group Mackenzie Project #000321

Dear Doug:

At your request, we are submitting an addendum to the Industrial Master Plan which will specify deviations from the TDC standards and will include revisions from the original submittal on 11/29/00. Specific items that were requested to be clarified include:

1. Pedestrian Access
2. Parking stalls within parking structures proposed in later phases
3. Deviations from standards in the Tualatin Development Code (i.e. landscaping, setbacks)
4. Areas to be re-seeded once grading activity is completed
5. Whether the grove of trees will be preserved

Items that have been revised:

1. Minor partition boundaries and lot sizes
2. Number of parking structures
3. Surface parking locations
4. Central Utility Building location
5. Electrical service and location
6. Utility locations

The revised attachments are labeled identically to the original attachments and replace them. The attachments are:

- Attachment E - Conceptual Site Master Plan
- Attachment G - Conceptual Site Master Plan (Axonometric)
- Attachment H - Site Section
- Attachment I - Site Phase Master Plan (Partition)
- Attachment J - Storm Water Conceptual Master Plan
- Attachment K - Waterline Master Plan
- Attachment L - Sanitary Sewer Conceptual Master Plan

Clarification Items:

1. Pedestrian Access - The City has indicated that an important aspect of the Industrial Master Plan is to clearly state pedestrian access and connectivity between the buildings and off-site in order to allow employees and visitors convenient access among buildings

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Land Use Planning

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and onto the site. Currently, the site is designed to allow access from the ground and through the sky bridges proposed between the Site Services, R&D/Applications, and Manufacturing buildings. Pedestrian access points will be located at the main entrances of each building and at access points from both Leveton Drive and 108th Street. A jogging trail will also be located along the eastern property line and will connect with the sidewalks running east/west on both Tualatin Road and Leveton Drive. Clearly labeled walkways will be located from the parking areas to the building entrances as well. Also, walkways between each building will allow employees and visitors to walk through the landscaped areas proposed between the buildings.

2. Parking Stalls within the Proposed Parking Structure - The City requested clarification on the number of parking stalls within the proposed parking structures. A revision to the site plan shown on the revised Attachment E eliminates parking structures from Phase I development. The future parking structures will be designed to accommodate 500 cars and will be five stories.
3. Deviations from the Tualatin Development code standards - The City requested that the deviations being requested through the Industrial Master Plan process be specifically outlined in order to ensure that all deviations are reviewed. All deviations being requested through the Industrial Master Plan process include:
 - a. Property Line Setbacks - Novellus has proposed reduced property line setbacks for the buildings on the south and east sides of the development as well as on the north interior lot line. The south and east building setbacks have been proposed to be 80 feet and the northern interior line will be approximately 20 feet from the existing building and its new addition. In addition, Novellus is proposing a parking and circulation area setback reduction to the northern property line to 35 feet instead of 50 feet.
 - b. Landscaping - Novellus has proposed to meet the 20% overall landscaping requirement instead of the standard 25% requirement. In addition Novellus is requesting that the parking lot landscape standard of one landscape island per every eight parking stalls be modified to one landscape island per every 12 stalls. However, in addition, Novellus is proposing to place a landscape strip between the facing vehicles the entire length of the parking area. This deviation will actually allow 71 square feet of landscaping per stall rather than the standard 25 square foot requirement.
4. Re-seeding of graded areas - The City requested that it be clarified whether the entire graded areas will be re-seeded. Novellus is proposing to re-seed all disturbed areas with native grasses between phases of development to reduce surface run-off.
5. Preservation of the grove of trees - The grove of trees north of the existing manufacturing area is shown on all of the site plans including the revised site plans attached. It is Novellus's intent to protect and preserve that area. As the site plans show, development has been planned carefully around that grove of trees. In future phases the filbert orchard will be mostly removed for parking purposes as shown on the site plan.

Doug Rux
Group Mackenzie Project #000321
December 22, 2000
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6. Color Specifications - The City requested additional information on color and materials to be used for the buildings. The base of the buildings will be either mojave (light brown) 12" norman brick or 18" x 18" or 24" x 24" light brown sandstone squares. The sandstone would have a rough textured appearance while the brick option would be a smooth finish. This "base" will project out from the upper siding approximately 2". The upper siding is proposed to be either flat or ribbed white metal siding with a baked enamel finish. The siding used will provide a flat continuous streamliner-like impression across the long east-west building lengths. A high quality material will be selected to assure a flat surface with no visible warping as well as a long life/low maintenance finish. The windows will be green-tinted and non-reflective with a clear anodized trim (silver in appearance). A light shelf will be located on the upper portion of the windows and will extend out approximately 20" to provide shade on the majority of the lower portion of the window and to allow light to be reflected up into the building for natural lighting. The shelf will be white and all trim will be painted white to match the metal siding. The intent of the architecture and color patterns proposed is to minimize the appearance of the structures, since this is a fairly large-scale development, by providing a strong linear design across the buildings and across the entire length of the site.

The pedestrian bridges will be made of steel painted white to match the metal siding and will have the same green tinted windows as the buildings.

Revision Items

1. Minor Partition Boundaries and lot sizes - Changes to the lot lines are shown on Attachment I and are as follows:
Tract 1 - 19.56 acres
Tract 2 - 23.14 acres (Phase I)
Tract 3 - 15.34 acres
2. Number and location of parking structures - Novellus is proposing three parking structures, each designed for approximately 500 vehicles. However, no parking structures are proposed for Phase I as initially shown on the site plan. Also, instead of the two parking structures south of the proposed manufacturing building, there will only be one parking structure and it will be the westernmost structure. The additional two parking structures will be located between the existing Manufacturing building and Site Services building and east of the existing Manufacturing building as shown on the revised site plan (Attachment E).
3. Surface parking locations - For Phase I, surface parking is now shown between the R&D/Applications building and the Manufacturing building and between the Site Services building and the existing Manufacturing building. Temporary surface parking will be established north of each subsequent manufacturing phase and will be removed/relocated as each manufacturing phase is developed. Surface parking is also proposed where each future parking structure is shown as well as the future office buildings and future R&D/Applications building. Total parking for Phase I is now 850 parking stalls and overall parking with three parking structures will be 2700 spaces.

Doug Rux
Group Mackenzie Project #000321
December 22, 2000
Page 4

4. Central Utility Building location - The Central Utility building has moved to a more centralized location between the proposed manufacturing building and the R&D/Applications building as shown on Attachment E and Attachment G. This will reduce visibility from the neighboring residential area.
5. Electrical service area and location - The previous Cub location will now be reserved for a possible future primary electrical service supply area. It is not known at this time whether an electrical service supply area will be needed, even for full build-out, however, the area should be identified for providing this electrical service until a final decision is made.
6. Utility locations - The concepts shown for the stormwater and sanitary lines have not changed, however, the amount of sanitary/sewer waste has increased and Group Mackenzie is working with the City to resolve this issue.

The above narrative describes the revisions and clarifies questions raised by the City on the Industrial Master Plan submittal. The revised attachments should help to visually explain the above items as well. Please accept this addendum to the Industrial Master Plan and let us know if you have any further questions.

Thank you.

Sincerely,



Kari R. Fagerness
Planner

Attachments

c: Eric Tan, Scott Scowden - Novellus
Ken Maheu - Westwood Swinerton

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Tel: 503.224.9560 • Net: info@grpmack.com • Fax: 503.228.1285

Company: City of Tualatin

Project Number: 2000321

Attention: Doug Rux

Project Name: Novellus

Fax: 691-2798

Date: 12-15-00

From: Kari Fagerness

Description: Modification to IMP

TOTAL # of pages
(Including this cover sheet):

3

NOTE: If you did not receive all pages, please call our Records Department at 503/224-9560. To send faxes, use 503/228-1285.

Comments:

Doug,

Attached is our request for modification.

Let me know if you have any questions.

Thanks.

Kari

■ c: by FAX to:

FAX #:

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G R O U P

MACKENZIE

December 15, 2000

City of Tualatin
Attention: Doug Rux
18880 S.W. Martinazzi Avenue
Tualatin, Oregon 97062-7092

Re: Request for Modification to Parking Lot Landscape Standards Through the Industrial Master Plan Process – Novellus Master Plan Submittal
Group Mackenzie Project #000321

Dear Mr. Rux:

As preliminarily discussed with you, Group Mackenzie, on behalf of Novellus Systems, is formally requesting a modification to the Industrial Master Plan, to utilize an alternative parking lot landscape design. The original application did not specifically address the need for an alternative landscape design that could be allowed through the Industrial Master Plan standards. Section 37.030 (3) states:

“The internal circulation, building location and orientation, street frontage, parking, setbacks, building height, lot size and access are in accordance with TDC Chapter 62, unless otherwise approved through the Industrial Master Plan process.”

The standard requirements in section 73.360 and 73.380 for landscape areas within parking lots that apply to this request for modification are 1) 25 square feet of landscaping per parking space, and 2) landscape separation every 8 parking spaces. The request for modification would still meet the 1) standard, but the 2) standard would be adjusted to every 12 spaces. However, an additional strip of landscaping would be placed between the rows of facing vehicles, providing an additional landscape separation between the facing rows of cars.

This request is justified, as the site has a natural grade change, which makes placing the parking lots at the same grade throughout the site very difficult. To accommodate site topography and reduce the amount of site grading that would need to be accomplished, we are proposing to terrace the parking lots utilizing the landscape separation between the facing rows of vehicles. This additional landscape separation, as well as the landscape separation between every 12 parking spaces, would still meet the landscape planting standards of 1 tree per 4 parking stalls. If this option is utilized, the square footage of landscaped area per stall would be approximately 71 square feet, instead of the standard requirement of 25 square feet.

This request is made in order to have the option of utilizing this type of landscape design on the southern portion of the site. Please accept and review this request for modification, and feel free to call us at 503.224.9560, if you have any questions regarding this request.

Thank you.

Sincerely,



Kari R. Fagermess

KRF/wp

Attachment

c: Scott Scowden – Novellus

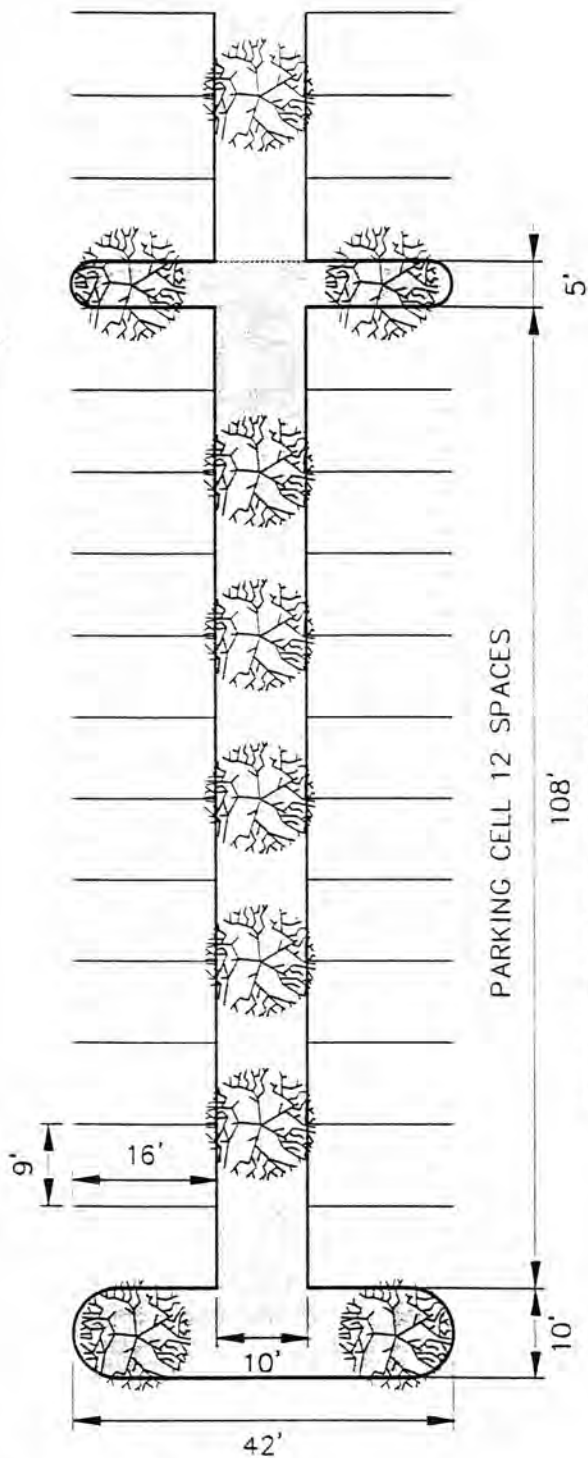
0690 SW Bancroft St / PO Box 89039 Portland, OR 97201-0039

Tel: 503.224.9560 Fax: 503.228.1285
E-mail: info@grpmack.com

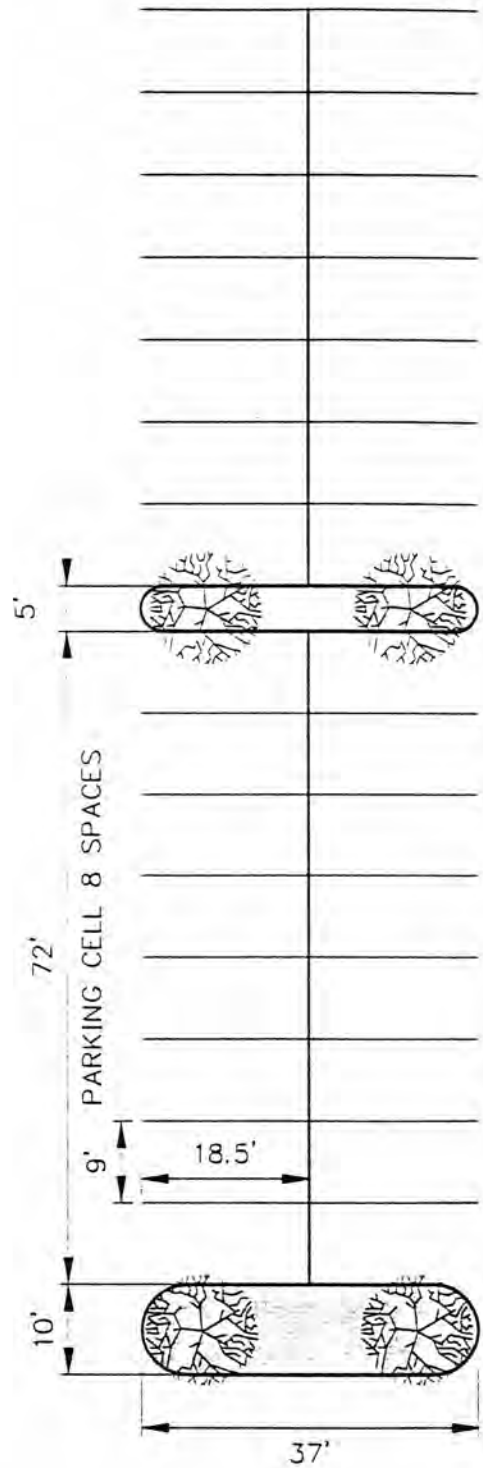
Group
Mackenzie,
Incorporated
Architecture
Interior Design
Land Use Planning

Group
Mackenzie
Engineering,
Incorporated
Civil/Structural
Engineering
Transportation
Planning

The tradition of
Mackenzie
Engineering and
Mackenzie Starr
continues.



PROPOSED PARKING CONFIGURATION



STANDARD CITY PARKING CONFIGURATION

PARKING DATA TABLE:

PROPOSED STALLS PER CELL = 24
 PROPOSED LANDSCAPE AREA PER STALL = 71.25 S.F.
 PROPOSED TREES PER CELL = 9

STANDARD STALLS PER CELL = 16
 STANDARD LANDSCAPE AREA PER STALL = 27 S.F.
 STANDARD TREES PER CELL = 4

APPLICATION FOR INDUSTRIAL MASTER PLAN

Tualatin Planning Department
18880 S.W. Martinazzi Avenue
P.O. Box 369
Tualatin, OR 97062
692-2000


Case No. _____
Fee Rec'd. _____
Receipt No. _____
Date Rec'd. _____
By _____

PLEASE PRINT IN INK OR TYPE

Code Section 62 Planning District MP

Owner's Name Novellus Systems Inc. Phone 408/943-9700

Owner's Address 4000 North 1st Street M/S 305 San Jose, CA 95134
(Street) (City) (State) (ZIP)

Owner recognition of application: 

Signature of Owner(s)

Applicant's Name Novellus c/o Group Mackenzie

Applicant's Address P.O. Box 69039 Portland OR 97201-0039
(Street) (City) (State) (ZIP)

Applicant is: Owner Contract Purchaser _____ Developer _____ Agent _____
Other _____

Contact Person's Name Tom Wright or Kari Fagerness for Group Mackenzie

Contact Person's Address P.O. Box 69039 Portland OR 97201-0039
(Street) (City) (State) (ZIP)

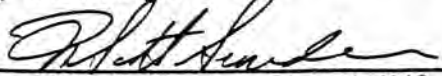
Assessor's Map Number T2S, R1W, Sect 22 Tax Lot Number(s) 1900

Address of Property 11155 S.W. Leveton Drive Lot Area 58 acres

Existing Buildings (Number and Type) 1 - Manufacturing; 1 - office (vacant)

Current Use Office building is vacant. Manufacturing building is being used.
Remainder of parcel is vacant.

As the person responsible for this application, I, the undersigned hereby acknowledge that I have read the above application and its attachments, understand the requirements described herein, and state that the information supplied is as complete and detailed as is currently possible, to the best of my knowledge.

Name  Date 11/21/02 Phone 408/943-9700
Address 4000 North 1st Street M/S 305, San Jose, CA 95134

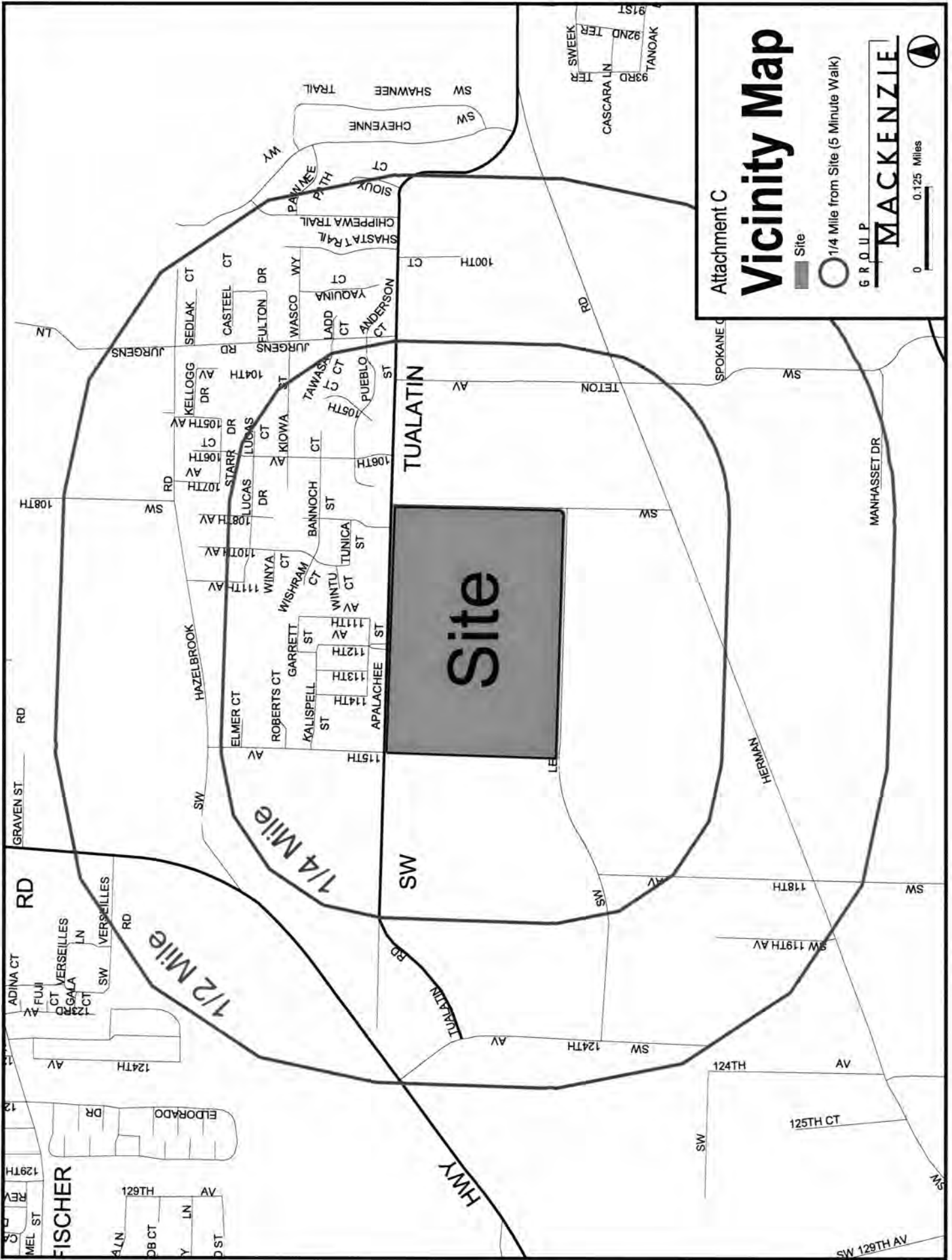


CITY OF TUALATIN
 PO Box 369, Tualatin, OR 97062-0369
 Phone: (503) 692-2000 Fax: (503) 692-5421

DEVELOPMENT APPLICATION

Site Address: 11155 S.W. Leveton Drive	Planning District: MP
Tax Map Number(s): T2S, R1W, Section 22	
Tax Lot Number(s): 1900	
Owners' Name: Novellus Systems Inc.	
Address: 4000 North 1st Street M/S 305 San Jose, CA 95134	
Phone Number: 408/943-9700	Fax Number: 408/324-3943
Signature: <i>[Signature]</i>	Date: 11/21/02
Signature:	Date:
Applicant's Name: Novellus Systems Inc.	
Company & Address: 4000 North 1st Street M/S 305 San Jose, CA 95134	
Phone Number: 408/943-9700	Fax Number: 408/324-3943
Signature: <i>[Signature]</i>	Date: 11/21/02
Consultant's Name: Group Mackenzie	
Company & Address: P.O. Box 69039 Portland, OR 97201-0039	
Phone Number: 503/224-9560	Fax Number: 503/228-1285
Direct Communication to: <input type="checkbox"/> Owner <input type="checkbox"/> Applicant <input checked="" type="checkbox"/> Consultant	
Application for: <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Partition <input type="checkbox"/> Property Line Adjustment	
Existing Use: manufacturing/office	Proposed Use: manufacturing, office, R&D applications, site services
Total Acreage: 58	No. of Lots/Parcels: 3
Average Lot/Parcel Width: 1,000 feet	Average Lot/Parcel Area: 19 acres
Subdivision Name (if applicable): N/A	
Receipt Number:	Fee: \$
Job Number:	By:

dev app.rev 9/97



Attachment C

Vicinity Map

Site

1/4 Mile from Site (5 Minute Walk)

G.R.O.U.P.

MACKENZIE

0 0.125 Miles



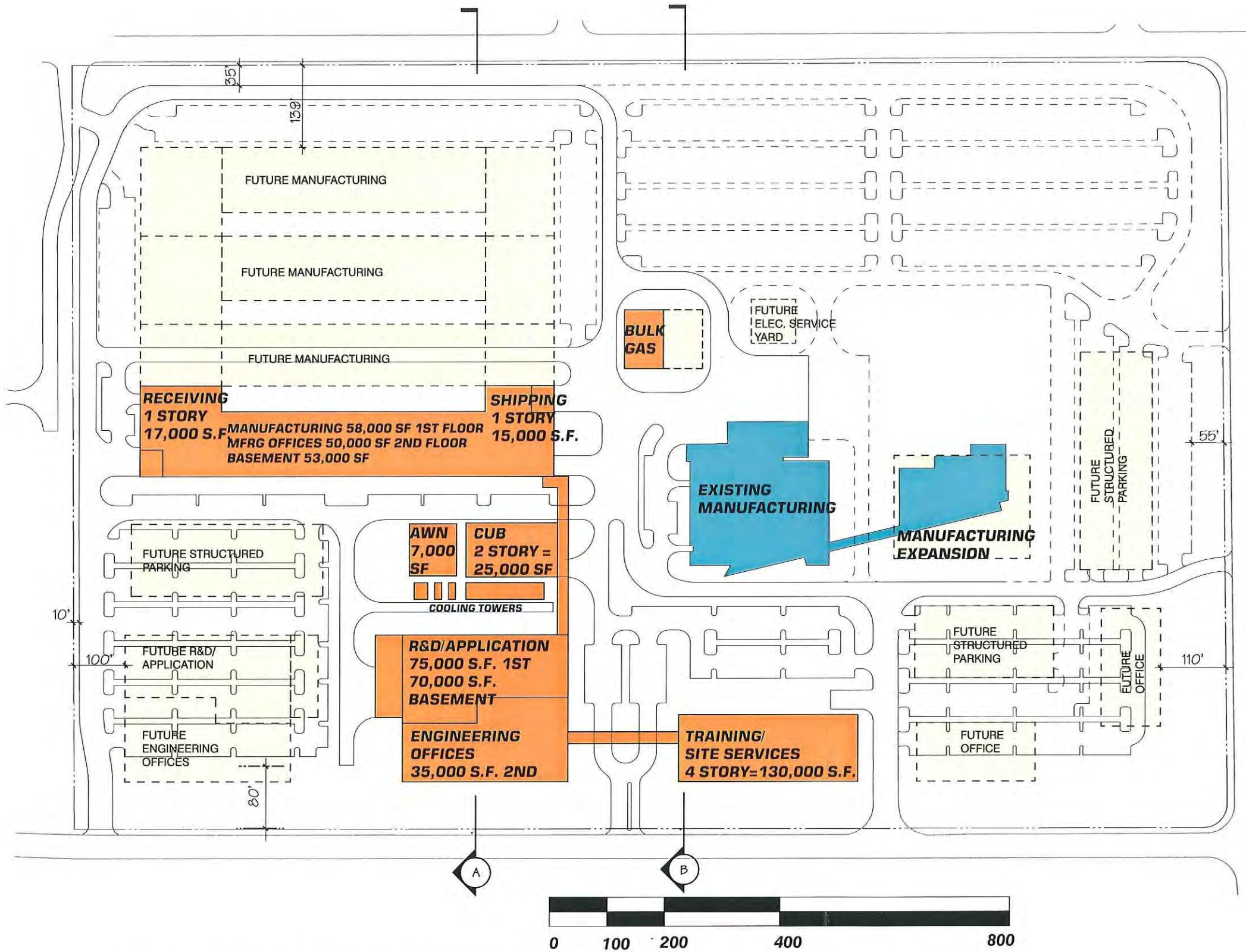


Attachment D

Aerial Photo

GROUP
MACKENZIE





EXISTING BUILDINGS

PHASE I CONSTRUCTION

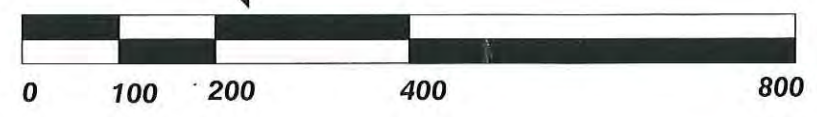
FUTURE BUILDINGS

SQUARE FEET:

EXISTING	75,000 SF
PHASE ONE	535,000 SF
FUTURE PHASES	905,500 SF
TOTAL	1,440,000 SF

PARKING:

EXISTING	200 CARS
PHASE ONE	850 CARS
FUTURE PHASES	1700 CARS
TOTAL	2750 CARS

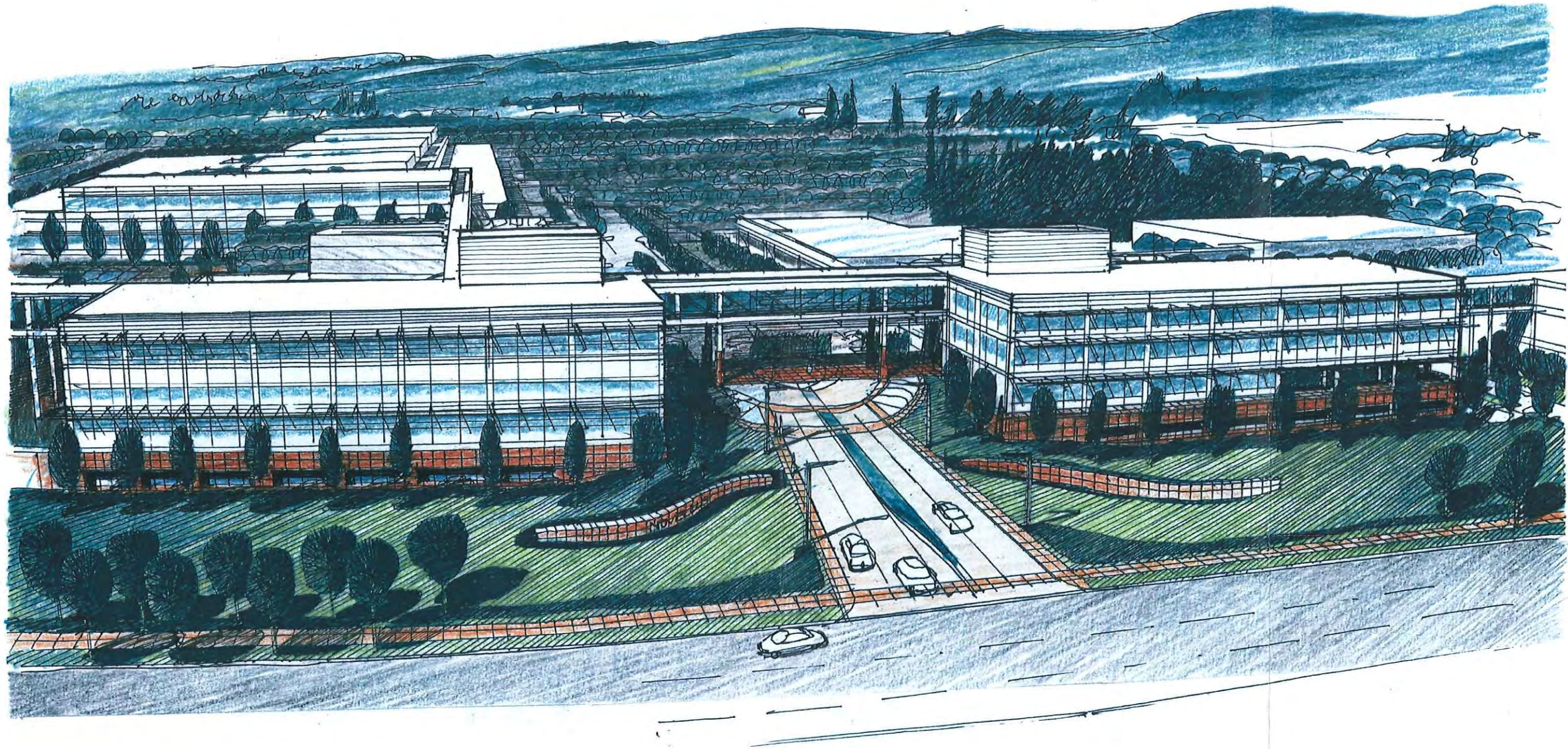


NOVELLUS MASTERPLAN

CONCEPTUAL SITE MASTERPLAN
TUALATIN, OREGON

DATE: 01.04.01
2000321

GROUP
MACKENZIE



NOVELLUS MASTERPLAN

PERSPECTIVE LOOKING NORTH

TUALATIN, OREGON

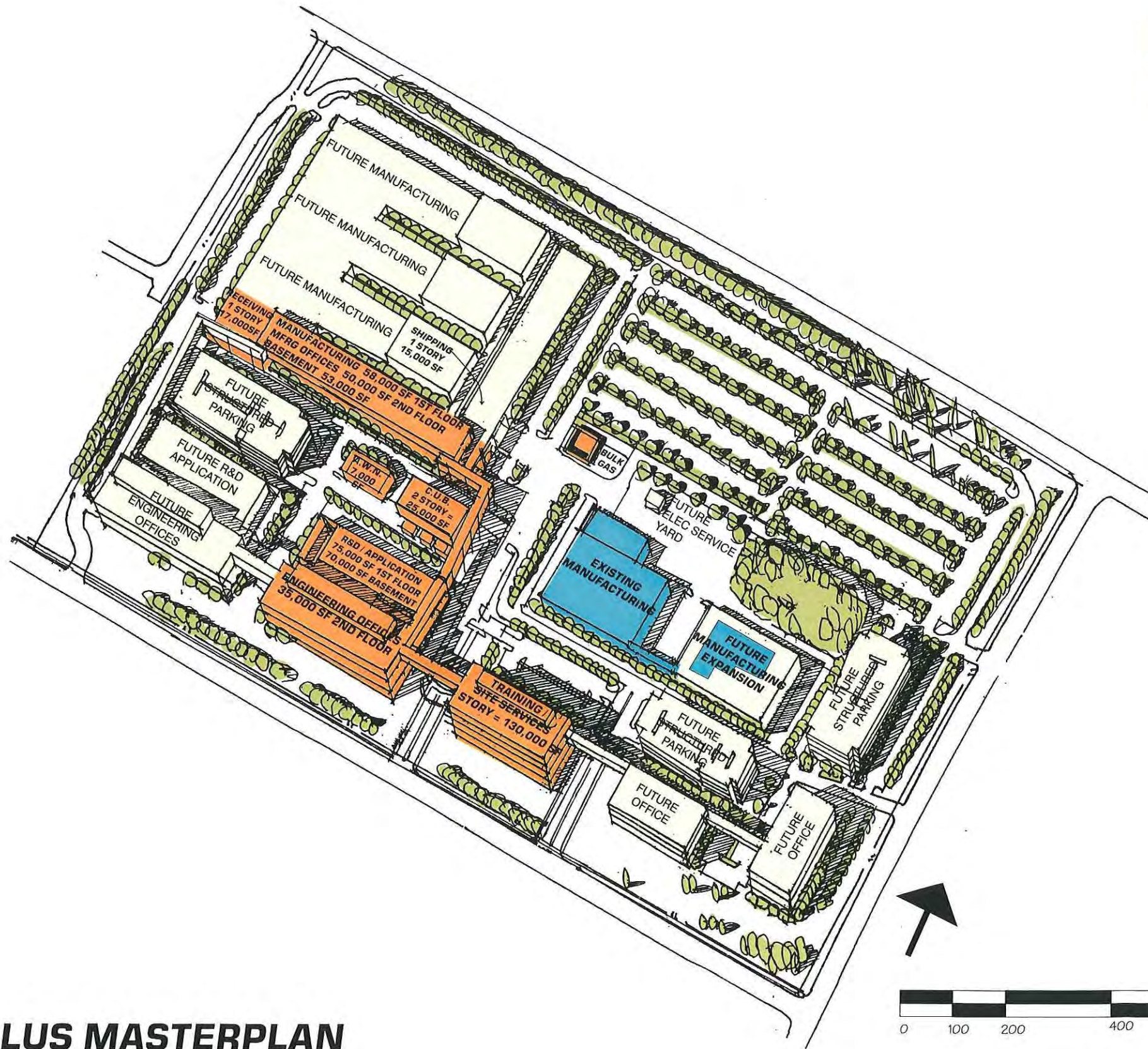
DATE: 01.04.01

2000321

GROUP

MACKENZIE

ATTACHMENT F



- EXISTING BUILDINGS
- PHASE I CONSTRUCTION
- FUTURE BUILDINGS

SQUARE FEET:

EXISTING	75,000 SF
PHASE ONE	535,000 SF
FUTURE PHASES	905,000 SF
TOTAL	1,440,000 SF

PARKING:

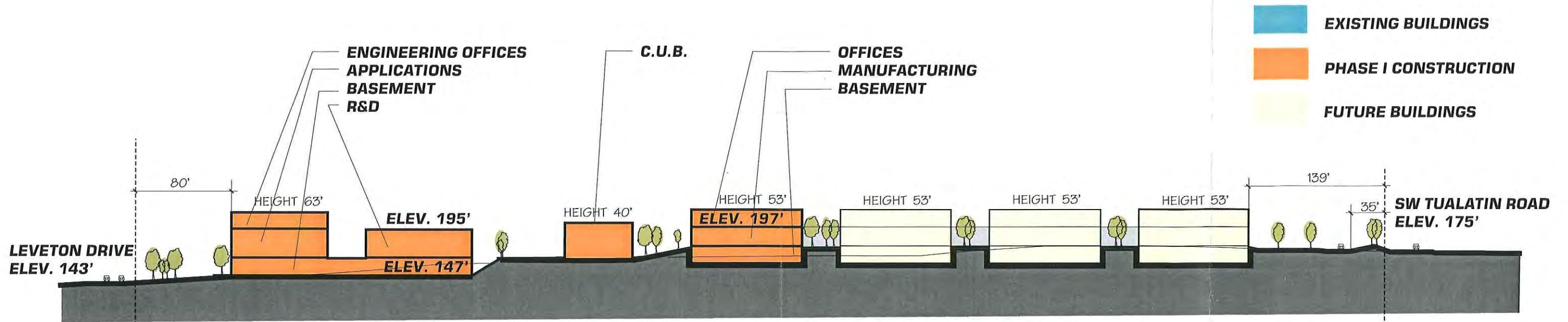
EXISTING	200 CARS
PHASE ONE	850 CARS
FUTURE PHASES	1700 CARS
TOTAL	2750 CARS

NOVELLUS MASTERPLAN

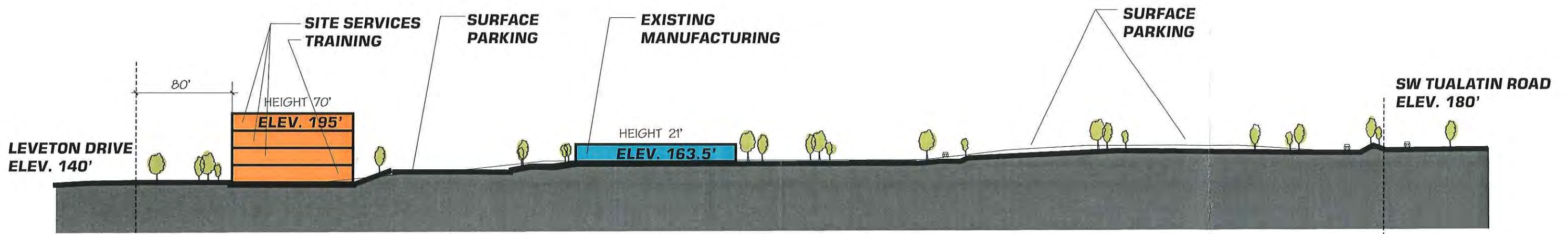
CONCEPTUAL SITE MASTERPLAN
TUALATIN, OREGON

DATE: 01.04.01
2000321

GROUP
MACKENZIE



SECTION A



SECTION B

- EXISTING BUILDINGS
- PHASE I CONSTRUCTION
- FUTURE BUILDINGS

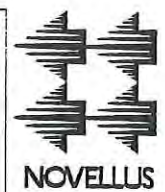
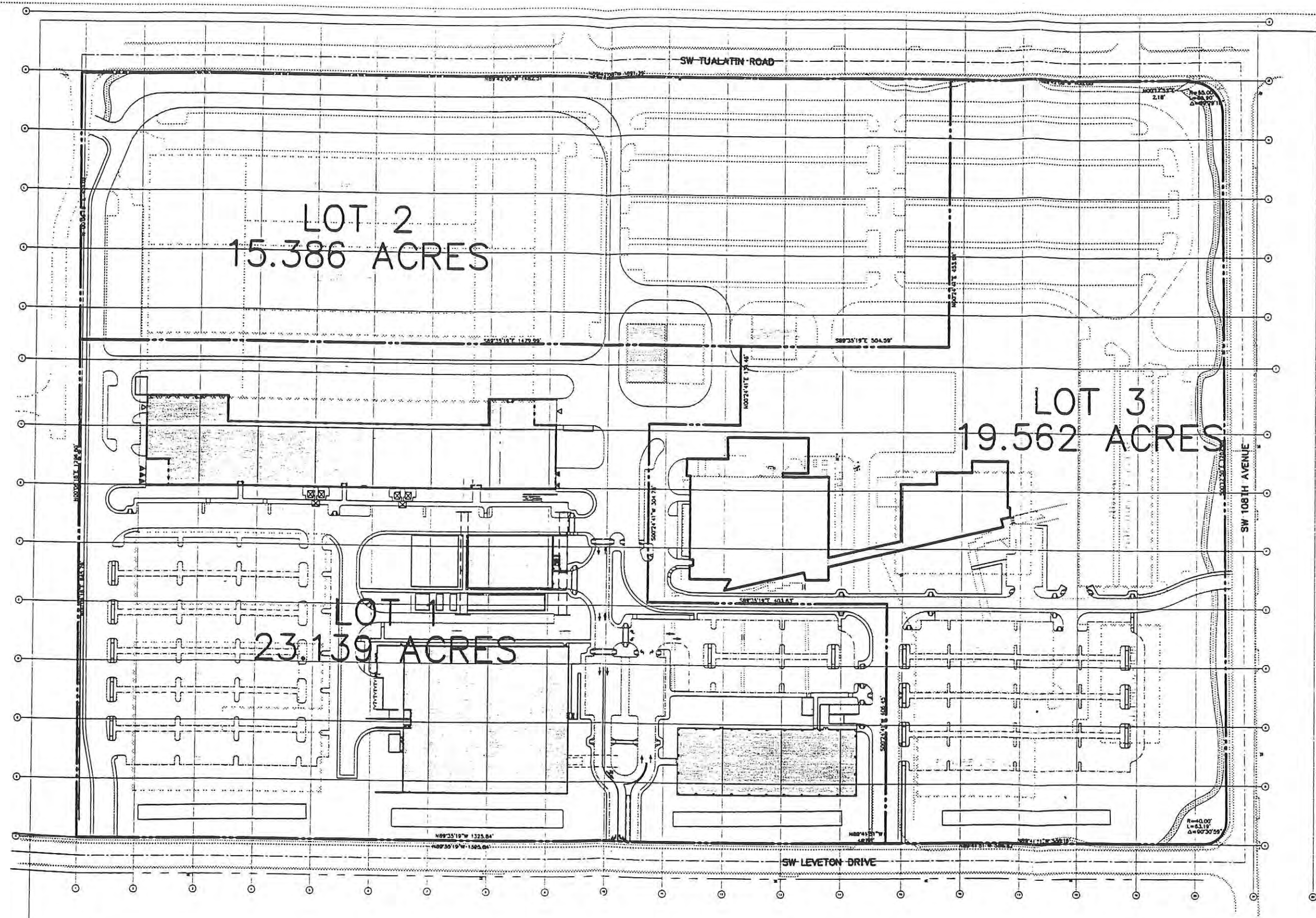
NOVELLUS MASTERPLAN

SITE SECTIONS
TUALATIN, OREGON



DATE: 01.04.01
2000321

GROUP
MACKENZIE



Project
NOVELLUS
TUALATIN FACILITY

Tualatin, Oregon

Architects, Structural Engineer
Civil Engineer
Group Mechanical
0690 SW Bancroft Street
Portland, Oregon 97201
Phone: (503)224-6560
Fax: (503)228-1785
Group Mechanical Consultants

Landscape Architect
Greenworks PC
Phone: (503)222-5812
AK: (503)222-2283

Safety & Health Consultant
Miller Safety
Phone: (503)243-1040
Fax: (503)243-1470

Design Builder
Westwood Ballbar
3030 SW Moody Avenue
Suite 250
Portland, Oregon 97201
Phone: (503)222-2000
Fax: (503)478-2800
Westwood Consultants

Mechanical Engineer
Southland Industries
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Fax: (503)490-0767

Mechanical Consultant
KINEMATICS
Phone: (503)224-5200
Fax: (503)224-6521

Electrical Engineer
Oregon Electric
Phone: (503)234-9900
Fax: (503)231-3587

Electrical Consultant
GUMAC International
Phone: (503)227-5200
Fax: (503)274-7674



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NO.	DATE	REVISION	DATE

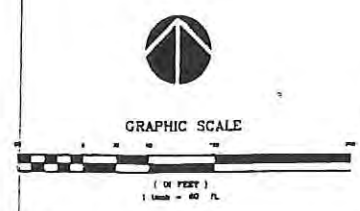
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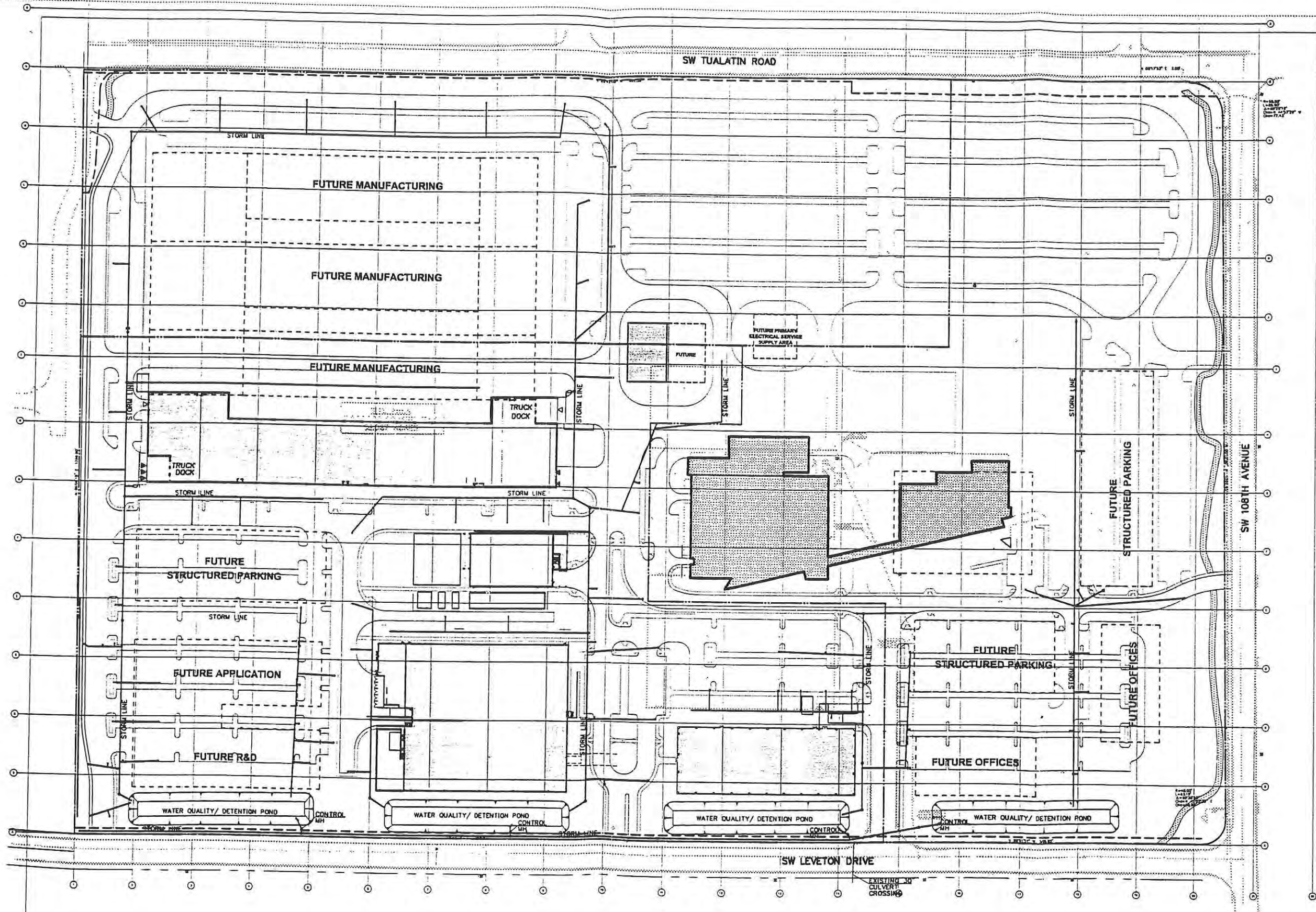
FIRST ISSUED:
LAST ISSUED:
DRAWN BY:
CHECKED BY:

DATE: 12/22/00

SHEET
SD-5

000321





GRAPHIC SCALE

1" = 40 FT



Project
NOVELLUS TUALATIN FACILITY

Tualatin, Oregon

Architectural, Structural Engineer
Civil Engineer
Group Mechanical
0890 SW Bancroft Street
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FAX: (503)228-1285

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FAX: (503)222-2283
Safety & Health Consultant
Miller Safety
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FAX: (503)243-1470

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Southern Industries
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Kinetics
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FAX: (503)224-8521

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Oregon Electric
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FAX: (503)231-3587

Electrical Consultant
Glumac International
Phone: (503)227-5280
FAX: (503)274-7674



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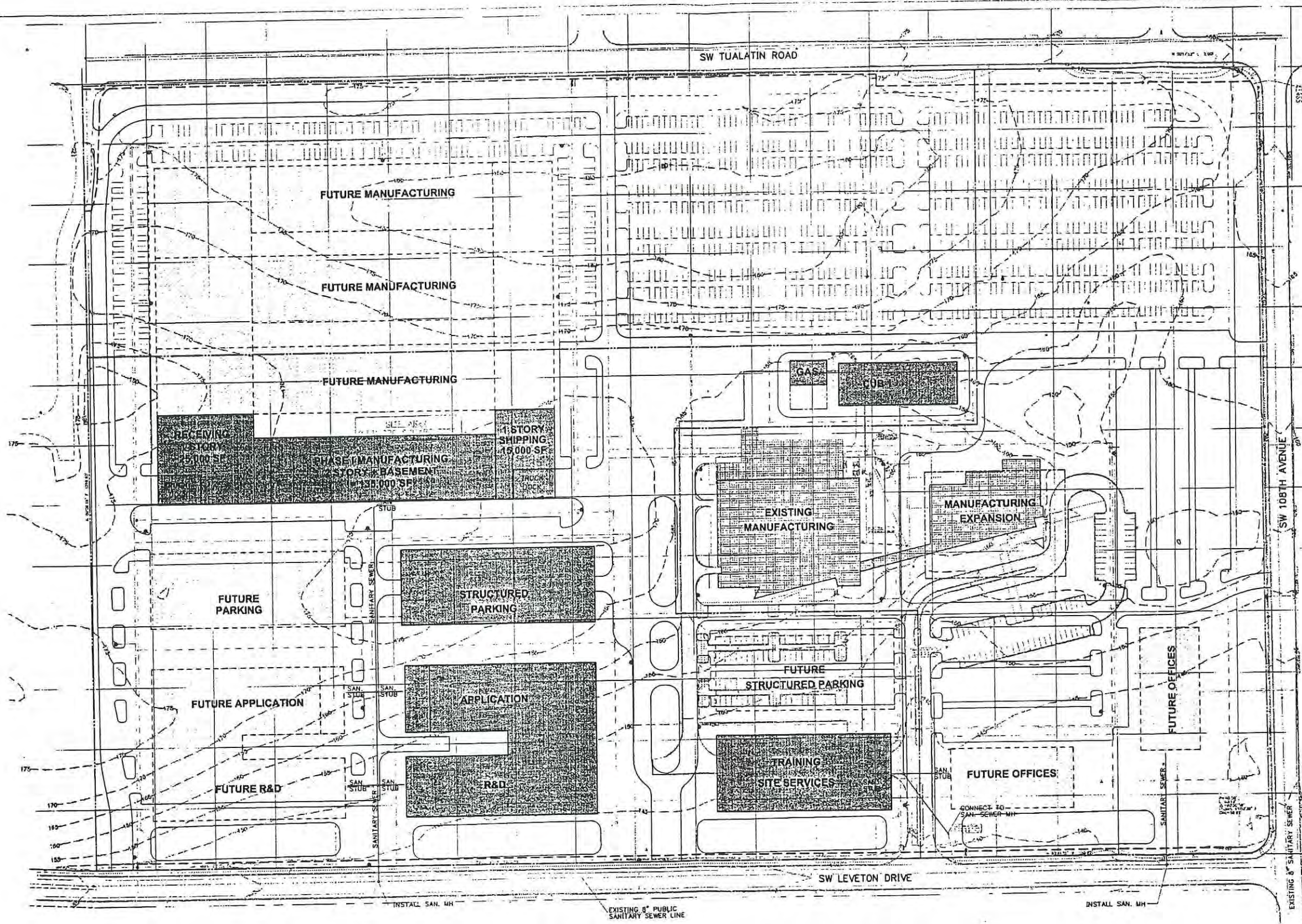
NO.	DATE	REVISION	BY	DATE

SHEET TITLE:
STORM WATER CONCEPTUAL MASTER PLAN

FIRST ISSUED:
LAST ISSUED:
DRAWN BY:
CHECKED BY:

SHEET
SD-4

0003215



6 R D I P
MACKENZIE
 Architecture
 Civil Engineering
 Mechanical Engineering
 Transportation Planning
 Urban Design
 1000 SW 10th St
 Portland, OR 97204
 Phone: (503) 222-2000
 Fax: (503) 478-2500

A NEW CAMPUS FOR
NOVELLUS
 BALDINGIA
 Portland, Oregon

Project
NOVELLUS
 MASTER PLAN

Buyer
 3030 SW Moody
 Portland, Oregon
 Phone: (503) 222-2000
 FAX: (503) 478-2500

Mechanical/Electrical
INTERFACE ENGINEERING, INC.
 8242 SE Lane Road
 Milwaukie, Oregon 97222-2138
 Phone: (503) 659-6394
 FAX: (503) 659-9029

Landscape Architect
GREENWORKS, P.C.
 800 NW 6th Avenue
 Portland, Oregon 97209
 Phone: (503) 222-5812
 FAX: (503) 222-2283

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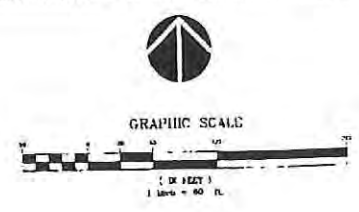
REVISIONS:

NO.	DATE	REVISION	BY	DATE

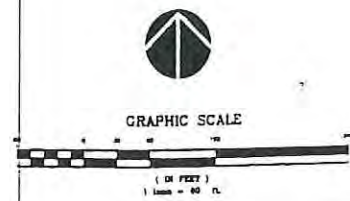
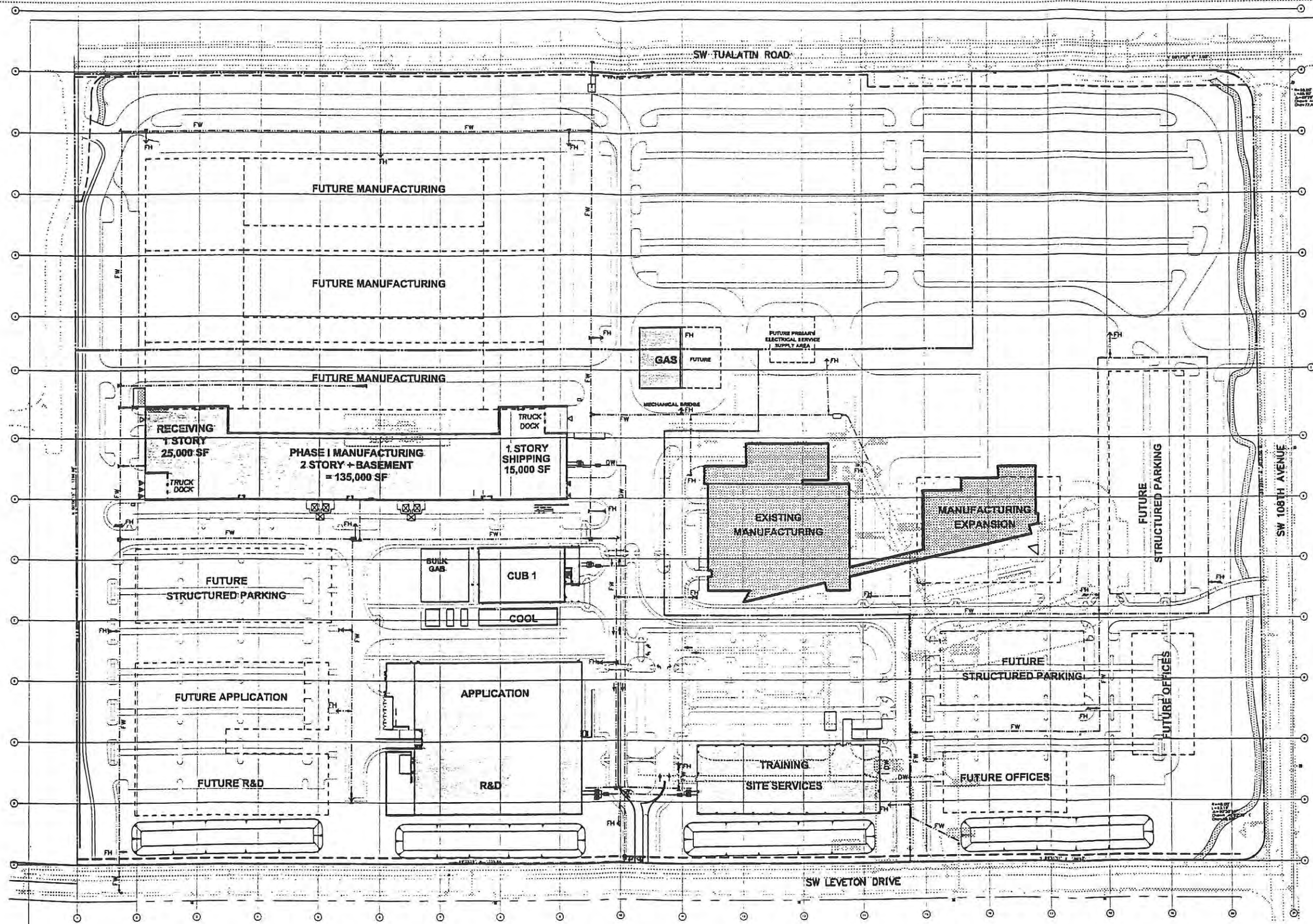
SHEET TITLE:
SANITARY SEWER CONCEPTUAL MASTER PLAN

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 DRAWN BY:
 CHECKED BY:
 SHEET

SD-3
 OF
 JOB NO. 000321



PRELIMINARY ONLY



Project
NOVELLUS TUALATIN FACILITY

Tualatin, Oregon

Architectural, Structural Engineer
Civil Engineer
Group Mechanical
6550 SW Bancroft Street
Portland, Oregon 97201
Phone: (503)224-9580
FAX: (503)226-1285
Group Mechanical Consultants

Landscaping Architect
Greenworks PC
Phone: (503)222-5812
FAX: (503)222-2283
Safety & Health Consultant
Miller Safety
Phone: (503)243-1040
FAX: (503)243-1470

Design Builder
Westwood Construction
3030 SW Moody Avenue
Suite 250
Portland, Oregon 97201
Phone: (503)222-2000
FAX: (503)478-2600
Westwood Consultants

Mechanical Engineer
Southern Industries
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FAX: (503)490-0787
Mechanical Consultant
Kinetics
Phone: (503)224-5200
FAX: (503)224-8521

Electrical Engineer
Oregon Electric
Phone: (503)224-9800
FAX: (503)231-3587

Electrical Consultant
Clumac International
Phone: (503)227-5280
FAX: (503)274-7674



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REVISIONS:
1. [Description] [Date]
2. [Description] [Date]
3. [Description] [Date]

SHEET TITLE:
WATERLINE MASTER PLAN

FIRST ISSUED:
LAST ISSUED:
DRAWN BY:
CHECKED BY:

SHEET NO.
SD-2

PROJECT NO.
000321

Deed

89-32858

Washington County

JUL 20 1989

FR 25-

STATUTORY WARRANTY DEED

CITY OF TUALATIN, a municipal corporation of the State of Oregon, Grantor, conveys and warrants to OKI AMERICA, INC., a Delaware corporation, Grantee, the real property described in Exhibit A, attached hereto, free of encumbrances except as specifically set forth in said Exhibit A.

This Deed is given pursuant to a Real Property Purchase, Sale and Development Agreement dated June 14, 1989 (the "Agreement"), in partial fulfillment of the covenants of the Agreement for the purpose of carrying out the Leveton Tax Increment Plan (the "Plan") under ORS Chapter 457, which Plan was approved by the governing body of the City of Tualatin by Ordinance No. 674-85 on August 12, 1985, as amended. It is intended that the delivery of this Deed shall not effect a merger of the provisions of the Agreement which are intended by the terms of the Agreement to continue after the delivery of this Deed.

Grantor herein reserves the right, at Grantor's sole expense, to remove the house now located on the property herein conveyed within thirty (30) days following the date of recording of this Deed. If Grantor fails to remove the house within such time, the house shall be deemed abandoned and Grantee may deal with the house as it determines in its sole discretion and all rights of Grantor with respect to the house shall cease. Notwithstanding Grantor's reservation described above, Grantor warrants the property herein conveyed to be free and clear of any agricultural leases or rights to harvest crops, whether or not of record.

The true consideration for this conveyance is \$3,457,085.37.

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES.

Until a change is requested, all tax statements shall be sent to the following address: Oki America, Inc., 3 University Plaza, Sixth Floor, Hackensack, New Jersey 07601

RECORDED BY 30858

1-5

DATED this 19th day of July, 1989.

CITY OF TUALATIN, a municipal
corporation of the State of Oregon

BY Stephen A. Rhodes
City Manager

STATE OF OREGON

County of Multnomah

)
) ss.
)

The foregoing instrument was acknowledged and sworn or
affirmed to before me this 19 day of July, 1989, by
Stephen A. Rhodes, the City Manager of the City of Tualatin, a
municipal corporation of the State of Oregon, on behalf of the
corporation.



M. La.oka Eelen
Notary Public for Oregon
My Commission Expires: 10/1/92

2

JUL 20 1989

EXHIBIT A

SUBJECT TO:

1. 1989-90 real property taxes, a lien not yet payable;
2. Statutory powers and assessments of Unified Sewerage Agency. There are no assessments currently due and payable.
3. Rights of the public in and to that portion of the Property lying within the limits of roads, streets and highways.
4. Effect of Ordinance No. 674-85 adopting the Leveton Tax Increment Plan and Amending the Tualatin Development Code, filed August 12, 1985 and recorded September 24, 1985 as Recorder's Fee No. 85037690, as amended by instrument recorded September 24, 1985 as Recorder's Fee No. 85037691, and Ordinance No. 777-89, adopted June 26, 1989, amending the Leveton Tax Increment Plan and Ordinance No. 778-89, adopted on July 12, 1989, incorporating said June 26, 1989 amendments into the Tualatin Community Plan.
5. Trust Deed for the benefit of The Bank of Tokyo Trust Company as agent for itself and agent for the Bank of Tokyo, Ltd., Portland Branch, dated March 28, 1989 and recorded March 28, 1989 as Recorder's Fee No. 89-15178, which Trust Deed affects only the easement appurtenant to the property described in Exhibit A-1.
6. Cross Easement Agreement between First Interstate Bank of Oregon, N.A., as personal representative of the Estate of William Leveton, and JAE Oregon, Inc., an Oregon corporation, dated May 1, 1989 and recorded May 5, 1989 as Recorder's Fee No. 89-20417.
7. Slope and utility easement in favor of the City of Tualatin recorded June 9, 1989 as Recorder's Fee No. 89-26084.

JUL 20 1983

EXHIBIT A - PROPERTY DESCRIPTION

Exhibit A-1

A parcel of land in the Northeast Quarter of Section 22, Township 2 South, Range 1 West of the Willamette Meridian, said parcel of land being Tax Lots 1700, 1800, and that portion of Tax Lot 100 shown as Parcel No. 3 on Washington County Survey No. CS 23293. Said combined parcel of land more particularly described as follows:

Commencing at a 2" brass disc marking the North Quarter corner of said Section 22, said point also being on the centerline of SW Tualatin Road; thence, S 00°03'39" N 30.00 feet to an iron rod at the South Right of Way of said SW Tualatin Road, said point being the True Point of Beginning; thence continuing S 00°03'39" W 1296.97 feet along the East line of that parcel of land shown as Parcel 2 on Washington County Survey No. 23036 to an iron rod; thence S 89°37'48" E 1325.76 feet to an iron rod at the West line of "Glenmorag Park," a subdivision; thence, S 89°44'20" E 639.18 feet along the South line of the north 10 feet of Lot 10 of said "Glenmorag Park" to an iron rod at the West line of SW 108th Avenue; thence, N 00°15'19" W 669.85 feet along said West Right of Way to the Northeast corner of Lot 6 of said "Glenmorag Park" from which a 1" iron pipe bears N 25°51'51" W 0.93 feet; thence, N 89°44'30" W 639.31 feet along the North line of said Lot 6 to the Northwest corner of said Lot 6; thence, N 00°15'58" W 629.83 feet along the West line of said "Glenmorag Park" to an iron rod at the South Right of Way of SW Tualatin Road; thence, N 89°44'37" W 1318.29 feet along said South Right of Way of SW Tualatin Road; thence, continuing along said South Right of Way S 89°40'12" W 0.05 feet to the True Point of Beginning together with a nonexclusive easement for road purposes described as follows:

Commencing at a 2-inch brass disc marking the North quarter corner of Section 22, Township 2 South, Range 1 West of the Willamette Meridian; thence South 00°03'39" W 30.00 feet along the quarter section line of said Section 22 to the Point of Beginning on the South Right of Way line of SW Tualatin Road; thence S 00°03'39" W 207.50 feet along said quarter section line; thence N 89°56'21" W 10.78 feet to a non-tangent curve to the right having a radius of 172.50 feet through a central angle of 21°14'34", the long chord of which bears N 10°33'38" W 63.59 feet; thence N 3°15'10" W 95.16 feet; thence N 00°03'39" E 14.57 feet to a tangent curve to the left having a radius of 35.00 feet through a central angle of 90°23'26", the long chord of which bears N 45°08'05" W 49.67 feet to a point on the South Right of Way line of SW Tualatin Road; thence N 89°40'12" E 63.24 feet to the Point of Beginning.

Exhibit A-2

A parcel of land in the Northeast Quarter of Section 22, Township 2 South, Range 1 West of the Willamette Meridian, said parcel of land is described as Lots 3, 4, and 5 of "Glenmorag Park", a subdivision, in Warranty Deed to Joseph G. Chamberlain and recorded in Book 392, Page 8, Deed Records of Washington County, Oregon. Said parcel of real property is more particularly described by the following Bearings and Distances type description;

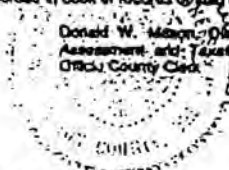
Commencing at the Northeast corner of the above referenced Section 22 thence, N 89°44'37" W 1318.86 feet along the North line of said Section 22, said line also being the centerline of S.W. Tualatin Road; thence, S 00°15'58" E 30.00 feet to the True Point of Beginning as marked by an iron rod on the south Right-of-Way line of S.W. Tualatin Road; thence, continuing S 00°15'58" E 629.83 feet along the West line of "Glenmorag Park" to the South line of Lot 5 of said subdivision; thence, S 89°44'30" E 627.31 feet along said South line to the West Right-of-Way line of S.W. 108th Avenue; thence, N 00°15'19" W 573.34 feet along said West Right-of-Way to a tangent curve to the left having a radius of 55.00 feet through a central angle of 89°29'18" the long chord of which bears N 44°59'58" W 77.43 feet; thence, N 00°15'23" E 2.00 feet to the South Right-of-Way of S.W. Tualatin Road; thence, N 89°44'37" W 572.93 feet along said South Right-of-Way to the True Point of Beginning.

Contains an area of 394,379.3 sq. ft., more or less.

STATE OF OREGON }
County of Washington } SS

I, Donald W. Mason, Director of Assessment and Taxation and Ex-Officio Recorder of Conveyances for said county, do hereby certify that the within instrument of writing was received and recorded in book of records of said county.

Donald W. Mason, Director of
Assessment and Taxation, Ex-
Officio County Clerk



5

Doc : 89032858
Rect: 14103 31.00
07/20/1989 10:23:06AM

2S115DD10500
TAHAN EDWARD C
11050 SW WINTU CT
TUALATIN OR 97062

2S115C002803
HOFFART HERBERT J
4632 SW VERMONT ST
PORTLAND OR 97219

2S115DC02500
FARMINGTON CENTER TUALATIN
BY CHAMBERLAIN-WILLIAMS
PROPERTIES
14430 SW FARMINGTON RD
BEAVERTON OR 97005

2S115DD10400
TYSON ARTHUR E & DIANE C
11030 SW WINTU CT
TUALATIN OR 97062

2S115DC10400
BURBY JASON W &
MCALISTER, MOLLY G
17885 SW 114TH AVE
TUALATIN OR 97062

2S115DC12200
CRANSTON DIANNA M &
CHARLES H R
17890 SW 114TH AVE
TUALATIN OR 97062

2S115DC11500
MCPHERSON SCOTT K & SUSAN R
17895 SW 113TH AVE
TUALATIN OR 97062

2S115DC08400
GINTY MICHAEL & KAVITA
17880 SW 113TH AVE
TUALATIN OR 97062

2S115DD02500
CLARK DAVE A AND CATHERINE M
10639 SW PUEBLO CT
TUALATIN OR 97062

2S115DC07900
GRUBER DELAINE H & JEFFREY S
17915 SW 112TH AVE
TUALATIN OR 97062

2S115DC06600
WIRFS JOHN W &
PETERSEON, CYNTHIA L
17925 SW 111TH AVE
TUALATIN OR 97062

2S115DD13200
MARTINEZ STEVE & COLLETTE
17950 SW 109TH AVE
TUALATIN OR 97062

2S115DD04400
HANEGAN RICHARD J
10985 SW TUALATIN RD
TUALATIN OR 97140

2S115DD00600
HANEGAN MURNICE M
c/o STEARNS, SANDRA M AND
HANEGAN, RICHARD J & MICHAEL L
10985 SW TUALATIN RD
TUALATIN OR 97062

2S115DC10500
GILES JASON K & ANN MARIE
17915 SW 114TH AVE
TUALATIN OR 97062

2S115DD13600
FOILES LESLIE E & VICTORIA A
10960 SW TUNICA ST
TUALATIN OR 97062

2S115DD13700
KING JONATHON W & MARY E
MCVAY
10920 SW TUNICA ST
TUALATIN OR 97062

2S115DC06900
ANDERSON DOUGLAS D
17920 SW 112TH AVE
TUALATIN OR 97062

2S115DC03800
TAKANO HIROKO
1-4-11-905 MINAMI MORIMACHI
KITA-KU OSAKA JA 0

2S115DC12300
EMMETT SUSAN GAIL
17920 SW 114TH AVE
TUALATIN OR 97062

2S115DC08100
MOONEY OWEN RICHARD
11225 SW APALACHEE ST
TUALATIN OR 97062

2S115DC11400
MILLER PETER L & SHERI R
17915 SW 113TH AVE
TUALATIN OR 97062

2S115DC08000
GRAY EDWARD R & TERESA A
11215 SW APALACHEE ST
TUALATIN OR 97062

2S115DD04300
BOWMAN JOHN E/DARLA J
11045 SW TUALATIN RD
TUALATIN OR 97062

2S115DD02400
DAVIS C THOMAS & CHRISTINE A
5611 SOUTHWOOD DR
LAKE OSWEGO OR 97035

2S115DC06700
BOSKET JOHN A &
SCHINDLBECK, JULIE L
11155 SW APALACHEE ST
TUALATIN OR 97062

2S115DD13300
VANHORN MARK & DIANA L
17960 SW 109TH AVE
TUALATIN OR 97062

2S115DC10600
MCCONNELL JAMES & KRISTI L
17925 SW 114TH
TUALATIN OR 97062

2S115DC06800
MAGSARILI KARL & GENEROSA L
17950 SW 112TH AVE
TUALATIN OR 97062

2S115DC03700
BAUSCHELT CHARLES
7510 SW 25TH AVE
PORTLAND OR 97219

2S115DC8300
Matrix Development Corp.
6900 S.W. Haines Rd.
Plaza 2, Suite 200
Tigard, OR 97223

BRUNNER JOSEPH M & JEANNE
T
17975 SW 109TH AVE
TUALATIN OR 97062

MOOREHEAD GEORGE W &
JANICE M
17980 SW 109TH AVE
TUALATIN OR 97062

BROWN ADAM J
17935 SW 114TH AVE
TUALATIN OR 97062

PAKULA JENNIFER LYNN &
GELFAND, SCOT JEFFREY
17980 SW 111TH AVE
TUALATIN OR 97062

ODIORNE DANIEL K & TIFFANY
L
11400 SW APALACHEE ST
TUALATIN OR 97062

ROBERTS JULIE A
10644 SW PUEBLO CT
TUALATIN OR 97062

MCKERCHER ROBERT P
11380 SW APALACHEE ST
TUALATIN OR 97062

MILLER JOANNE
11360 SW APALACHEE ST
TUALATIN OR 97062

DONAUGH ANTHONY M &
CHRISTI S
10651 SW PUEBLO CT
TUALATIN OR 97062

GROH MICHAEL T &
UNIS-GROH, MARY E
11340 SW APALACHEE ST
TUALATIN OR 97062

ADAMS SHEILA D
10915 SW TUALATIN RD
TUALATIN OR 97062

BOYD RONALD A &
THERESA M
11320 SW APALACHEE ST
TUALATIN OR 97062

ENDERLIN LINDA C
11270 APALACHEE ST
TUALATIN OR 97062

OPSAL TODD
11220 SW APALACHEE ST
TUALATIN OR 97062

FITZGIBBON WILLIAM J &
SACHA
11200 SW APALACHEE ST
TUALATIN OR 97062

COLEMAN EUAL T & LENDA M
11100 SW APALACHEE ST
TUALATIN OR 97062

KIRMA VICTOR P & ANNETTE L
16400 SW NIGHTHAWK DR
BEAVERTON OR 97007

FRITZ CRAIG E
10835 SW TUALATIN RD
TUALATIN OR 97062

COOPER BRIAN J
6175 CORTE PADRE
PLEASANTON CA 94566

TAYLOR ROY E AND JANET M
10655 SW PUEBLO CT
TUALATIN OR 97062

MANTHE KIMBERLEE ANN
11150 SW APALACHEE ST
TUALATIN OR 97062

COMPTON DEBRA J
17595 SW 110TH AVE
TUALATIN OR 97062

AIELLO NED P AND KAREN L
10650 SW PUEBLO CT
TUALATIN OR 97062

IAE OREGON INC
BY MARK E FOSTER
9615 SW ALLEN BLYVD #103
BEAVERTON OR 97005

HELSEER LIMITED
PARTNERSHIP THE
PO BOX 1569
TUALATIN OR 97062

JOHNSON BRADLEY R &
CONNIE LEA
18500 SW 108TH AVE
TUALATIN OR 97062

JOHNSON BRADLEY R &
CONNIE LEA
32113 SA PALMER RD
MOLALLA OR 97038

FUJIMI AMERICA INC
9949 SW COMMERCE CIRCLE
WILSONVILLE OR 97070

DOT INC
PO BOX 115
TUALATIN OR 97062

FUJIMI AMERICA INC
9949 SW COMMERCE CIRCLE
WILSONVILLE OR 97070

JALATIN CITY OF
PO BOX 369
JALATIN OR 97062

TOFLE CO INC
BY TAKAO MATSUDA
PO BOX 1169
TUALATIN OR 97062

TUALATIN CITY OF
PO BOX 369
TUALATIN OR 97062

OFLE USA INC
10850 SW LEVETON DR
JALATIN OR 97062

G R O U P

MACKENZIE

November 28, 2000

City of Tualatin
Attention: Doug Rux
18880 S.W. Martinazzi Avenue
Tualatin, OR 97062-7092

Re: Novellus Manufacturing and Warehouse Facilities
Master Plan On-Site Circulation and Traffic Analysis
Group Mackenzie Project #000321

Dear Mr. Rux:

Group Mackenzie has completed a review of the Novellus Master Plan for the proposed Tualatin site. The Master Plan includes a phased development of office, manufacturing and warehouse facilities. A detailed traffic study reviewing the off-site impact of each phase of development will be provided with the Architectural Review for that particular phase. The purpose of this review is to address the general on-site circulation, access locations and safety.

Proposed Development

The site is located between Tualatin Road and Leveton Road on the west side of SW 108th Avenue. Currently, the site is occupied by a 64,000 sf manufacturing facility. It is currently estimated that the Master Plan proposes additional development for a total of 1,322,500 SF.

Access Spacing

The Master Plan proposes two accesses to SW 108th Avenue, three accesses to Leveton Road and a limited access to the private road accessing Tualatin Road opposite SW 115th Avenue. SW 108th Avenue and Leveton Road are classified by the City of Tualatin as Collector roadways which require driveways to be spaced 150 feet from public intersections and 40 feet from other driveways.

A curb cut exists from the site to SW 108th Avenue approximately 135 feet south of Tualatin Road opposite an existing commercial driveway. This curb cut will not be used with the proposed Master Plan. The north access to SW 108th Avenue is planned 450 feet south of Tualatin Road, across from an access to Helsner Industries.

The south access to SW 108th Avenue is proposed approximately 425 feet north of Leveton Road, across from an existing access. An access for Crystal Lite Inc. is located approximately 100 feet to the south.

The east access to Leveton Road is the existing driveway for the site, approximately 575 feet west of SW 108th Avenue, opposite an access for Tofle development. It currently provides one

Attachment O

0690 SW Bancroft St / PO Box 69039 Portland, OR 97201-0039

Tel: 503.224.9560 Net: info@grpmack.com Fax: 503.228.1285

Group
Mackenzie,
Incorporated

Architecture
Interior Design
Land Use Planning

Group
Mackenzie
Engineering,
Incorporated

Civil/Structural
Engineering

Transportation
Planning

The tradition of
Mackenzie
Engineering and
Mackenzie/Saito
continues.

ingress and one egress lane separated by a raised median. A seldom used gravel driveway for Fujimi is located 125 feet to the west.

The main access for the site is proposed to Leveton Road approximately 375 feet west of the existing access. The main access for Fujimi is located approximately 200 feet further to the west on the south side of the road. Since a continuous left turn lane is not consistent with the classification of Leveton Road, left turn conflicts are not anticipated between vehicles turning into the accesses.

The west access to SW Leveton Road is located approximately 850 feet west of the proposed main access, near the west property line. At this location, the Fujimi access is 625 feet to the east.

A sixth access is proposed at the west property line to the private access road for JAE Oregon Inc. This access may be gated to prevent cut-through traffic, and would provide an alternative emergency vehicle access to Tualatin Road, if needed.

Sight Distance

AASHTO standards require intersection sight distances to be a minimum of ten times the posted speed limit or 85th percentile speed, whichever is highest. A speed study was not conducted in this area. Leveton Road is posted at 35 mph which requires 350 feet of sight distance. SW 108th Avenue does not have a posted speed. Observation of traffic on the roadway indicated an average speed of 35 mph. The table below presents the available sight distance to the public roadway system at each of the proposed accesses.

Sight Distance Availability (feet)		
Access	Distance to north/west	Distance to south/east
north access to SW 108th Avenue	450	>1000
south access to SW 108th Avenue	575	>1000
east access to Leveton Road	1500	600
main access to Leveton Road	1150	950
west access to Leveton Road	425	1900

Sight distance from all accesses equals or exceeds the minimum requirement.

Internal Circulation

Trucks will be able to access the site from both accesses to SW 108th Avenue and from the west access to Leveton Road. These access points provide relatively direct routes from the public roadway to the manufacturing plants in the northwest corner of the site.

Parking areas on the south and east portions of the site have multiple access points to SW 108th Avenue and Leveton Road within close proximity. A primary access is not planned to Tualatin

Doug Rux
Project #000321
November 29, 2000
Page 3

Road, thus, a ring road is provided along the north and west sides of the site to more effectively distribute vehicles parked in lots on the north and west of the site to the accesses to SW 108th Avenue and Leveton Road.

The main access provides a throat length of approximately 250 feet before splitting into a one-way circulation pattern through the visitor parking. This access will be used primarily by visitors and vehicles parking in the two parking structures adjacent to the main drive aisle.

Conclusions/Recommendations

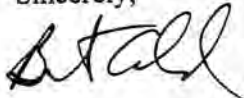
The proposed access points exceed City spacing standards for Collector roadways and have sufficient sight distance in both directions. Where possible, all proposed access points align opposite existing accesses.

Based on the conceptual site plan, Group Mackenzie recommends the following items:

- Landscaping along the site frontage within the vision triangles should be maintained to keep the required sight distance at each access.
- All access points should provide separate left and right turn lanes for vehicles turning out of the site onto the public roadway system and a single inbound lane.
- The main access to Leveton Road and the north access to SW 108th Avenue should provide a minimum of 200 feet of storage for vehicles turning out of the site.
- The access points should be reviewed with the application for each phase of development for operational capacity, need for signal and turn lane warrants, and queue lengths.

If you have any questions, or need any further information, please feel free to contact me or Elizabeth Busby at 503-224-9560.

Sincerely,

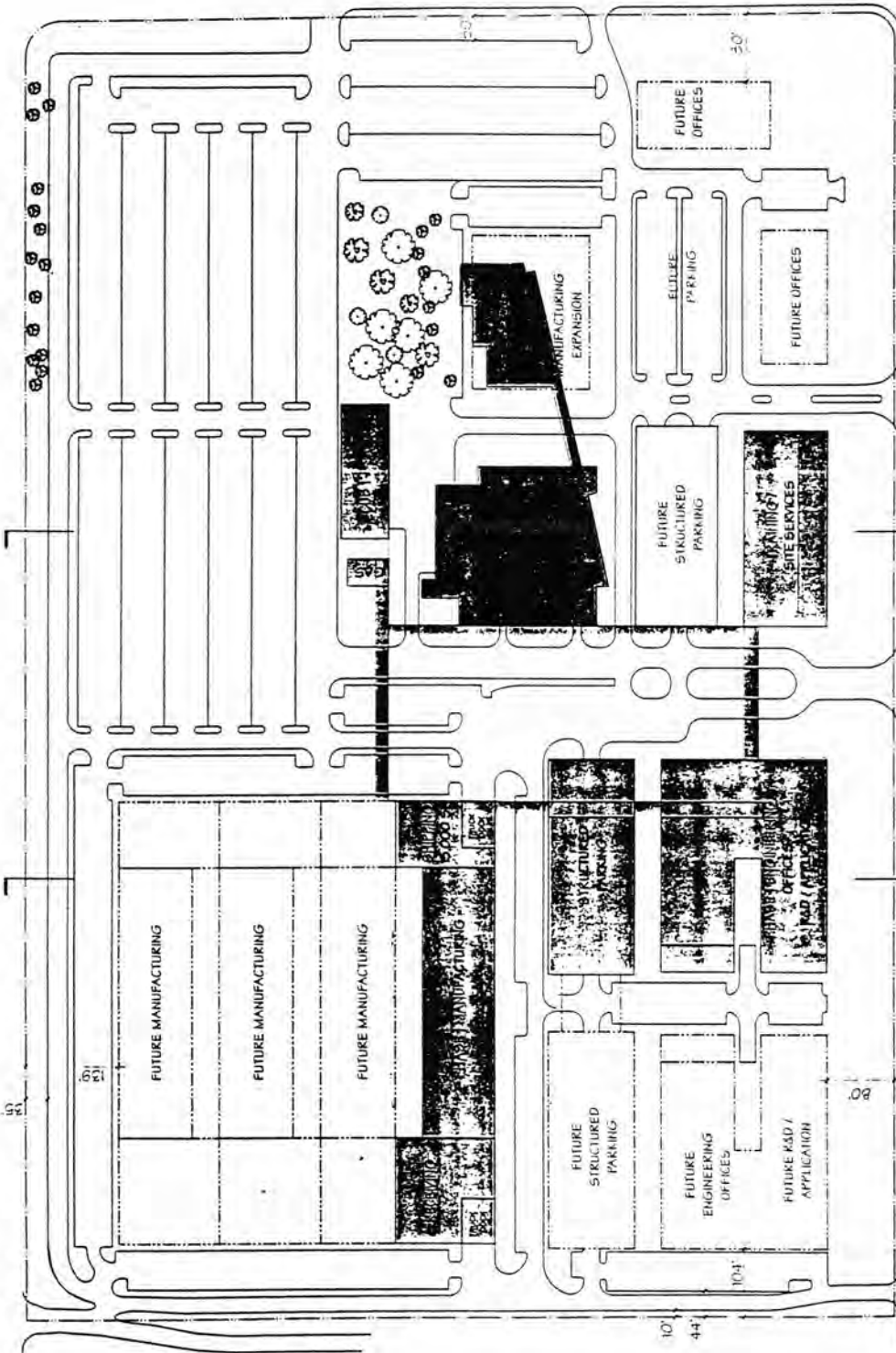


Brent Ahrend, P.E.
Traffic Engineer

EHB:BTA/wp

c: Scott Scowden - Novellus
Tamio Fukuyama, Rich Mitchell - Group Mackenzie





- EXISTING BUILDINGS
- PHASE I CONSTRUCTION
- FUTURE BUILDINGS

DATE: 11.29.00⁶ R.G.R.D.U.P.
2000321.00

MACKENZIE



NOVELLUS

NOVELLUS MASTERPLAN

CONCEPTUAL SITE MASTER PLAN SCALE: 1" = 100'



TW/KRP

NOVELLUS
P41



PACIFIC HABITAT SERVICES, INC.

9450 SW Commerce Circle, Suite 180 • PO Box 2870
Wilsonville, Oregon 97070

(800) 871-9333 • (503) 570-0800 • Fax (503) 570-0855

January 13, 2000

Randy McFarland
Novellus Systems, Inc.
4000 North 1st Street, M/S 305
San Jose, CA 95134

Post-it® Fax Note	7871	Date	10/6/00	# of pages	7
To	Group MacKenzie	From	Patricia Turner		
Co/Dept.	Tom Wright	Co.			
Phone #		Phone #	570-0800		
Fax #		Fax #			

Re: Wetland reconnaissance on an approximately 58-acre industrial site located on Leveton Drive in Tualatin, Oregon (Township 2 South, Range 1 West, Section 22). PHS Project No.: 2098

Mr. McFarland:

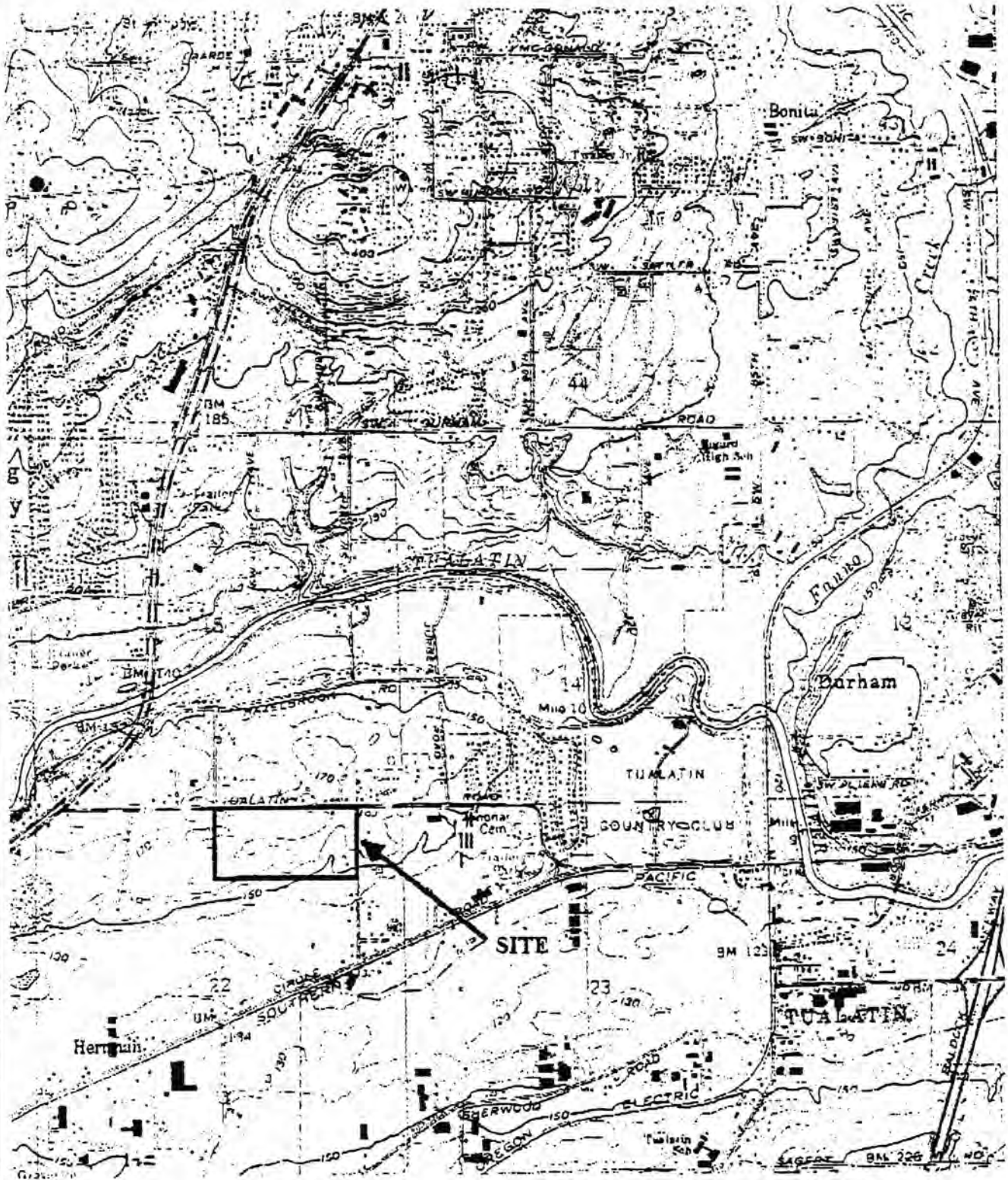
Pacific Habitat Services, Inc. (PHS) conducted a wetland determination for the approximately 58-acre site in Tualatin, Oregon. The site is located north of Herman Road, south of SW Tualatin Road, west of SW 180th Avenue, and on the north side of Leveton Drive. The generalized location is shown in Figure 1.

The site is a former manufacturing site and is partially developed, with existing buildings and parking areas in the eastern half of the property. Undeveloped areas of the site include agricultural fields, a small hazelnut orchard, landscaped areas and a small forested area behind the existing building. The site is zoned Manufacturing Light (ML) and Manufacturing Park (MP).

Based on our site reconnaissance and wetland determination of December 22, 1999, and January 12, 2000, there are no areas of potentially jurisdictional wetland located on the site.

Wetland Definition and Criteria

Wetlands and water resources in Oregon are regulated by the Oregon Division of State Lands (DSL) under the Removal-Fill Law (ORS 196.800-196.990) and by the U.S. Army Corps of Engineers (COE) through Section 404 of the Clean Water Act. Wetlands are defined as "those areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions" (DSL, 1995).



1/12/00

2098

Location and general topography for the proposed development site on Leveton Road, Tualatin, Oregon (USGS, Beaverton quadrangle, 7.5 minute series, 1961, photorevised 1984).

FIGURE
1



Pacific Habitat Services, Inc.

Randy McFarland
Novellus Systems, Inc.
Page 2
January 13, 2000

The primary source document for wetland delineations within Oregon is the *Corps of Engineers Wetlands Delineation Manual, Technical Report Y-87-1* (Environmental Laboratory 1987) which is recognized by both DSL and COE.

Project Methodology

Prior to beginning field work, available information was reviewed in order to ascertain where potential wetland may exist on-site, and to facilitate the gathering of data. This review included the U.S.G.S. topographic quadrangle, the Soil Conservation Service soil series maps, the list of Oregon hydric soils by County, and the U.S. Fish and Wildlife Service (USFWS) *National Wetlands Inventory* (NWI) map and the City of Tualatin's Natural Resource Inventory and Local Wetlands Inventory.

Observations of hydrology, soils, and vegetation, were made using the "Routine On-site" delineation method as defined in the 1987 manual. One-foot diameter soil pits were excavated up to a depth of 18 inches in selected locations. The soil profiles were examined for hydric soil and wetland hydrology field indicators.

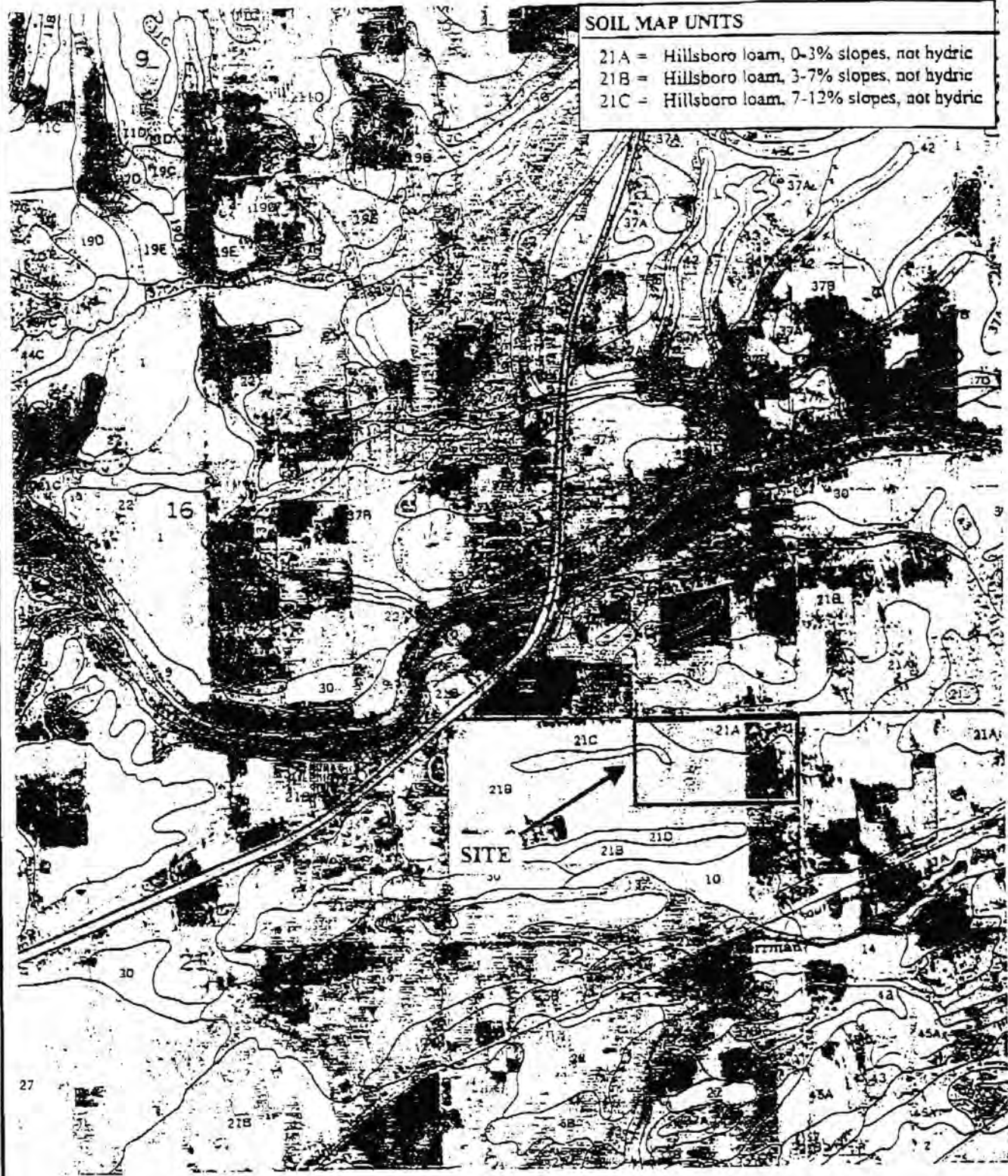
Site Characteristics

The site has gently rolling topography, with a south facing slope and a broad swale in the middle of the property. Soils mapped on the site are Hillsboro loam, 0 to 12 % slopes (Figure 2). This soil is well drained soil and is not considered hydric. Hydrology on the site is primarily precipitation. There were no indications of ponding or saturation on the site.

Vegetation is a combination of agricultural field species, a hazelnut orchard, landscaped areas, and a small forested area. Species include Douglas fir (*Pseudotsuga menziesii*), Himalayan blackberry (*Rubus discolor*), thimbleberry (*Rubus parviflorus*), Oregon grape (*Berberis aquifolium*, *B. nervosa*), salal (*Gaultheria shallon*), and ivy (*Hedera helix*) in the forested area. The agricultural contains oats (*Avena* sp.), Queen Anne's lace (*Daucus carota*), spotted cat's ear (*Hypochaeris radicata*), common dandelion (*Taraxacum officinale*), Canada thistle (*Cirsium arvense*), and wild radish (*Raphanus sativus*). Other areas of the site are mowed grass and ornamental trees and shrubs.

Natural Resource Inventories

The U.S. Fish and Wildlife Service, as part of the National Wetlands Inventory (NWI) program, has not mapped wetlands on the site (Figure 3). This was confirmed by the wetland determination.



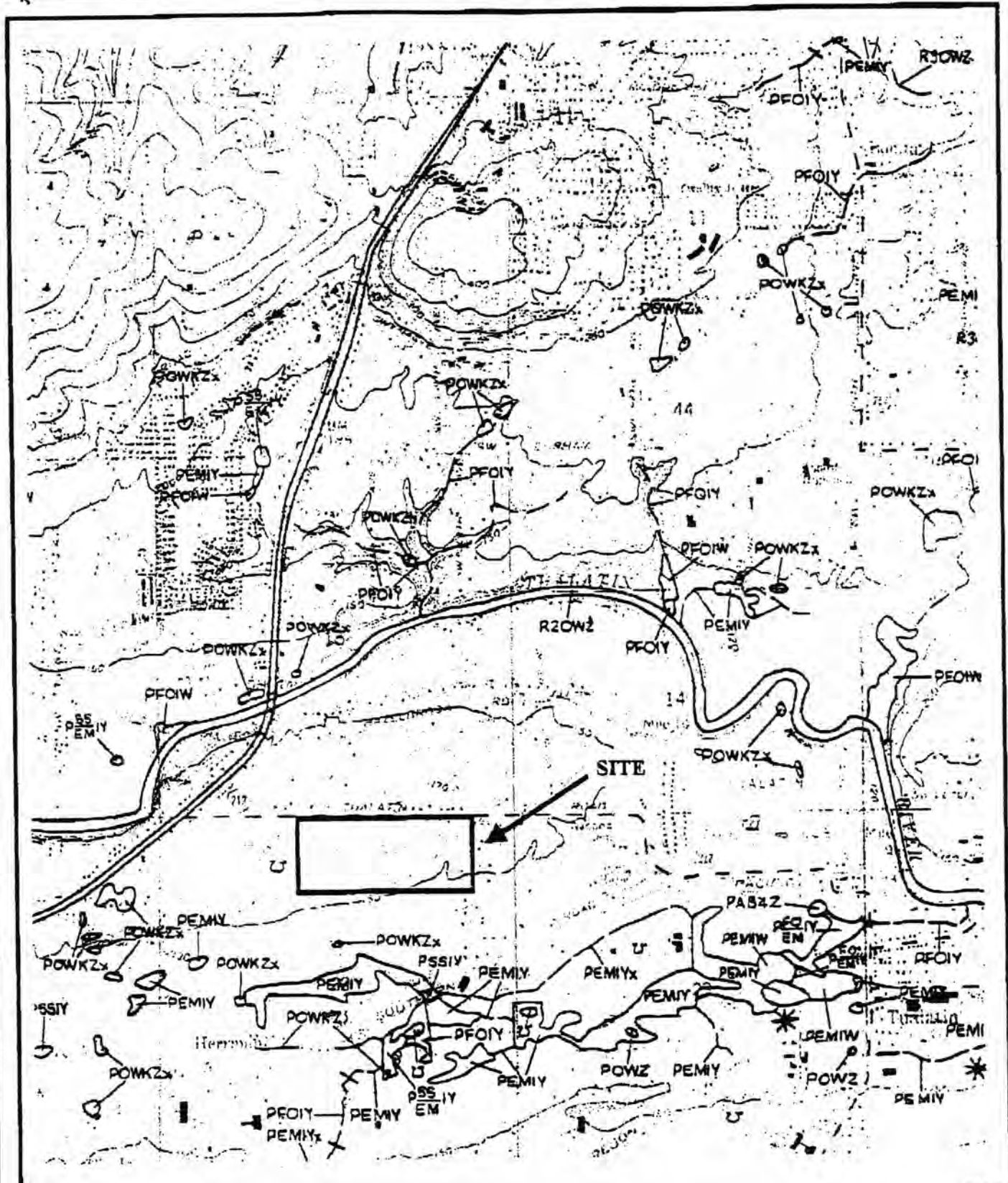
1/12/00

2098

Soil series for the proposed development site on Leveton Road, Tualatin, Oregon (USDA, SCS, Soil Survey of Washington County, Oregon, 1982).

FIGURE 2





1/12/00

2098

National Wetlands Inventory information for the proposed development site on Leveton Road, Tualatin, Oregon (USFWS, 1981).

FIGURE 3



Pacific Habitat Services, Inc.

Randy McFarland
Novellus Systems, Inc.
Page 3
January 13, 2000

The 1995 Local Wetlands Inventory for the City of Tualatin does not map any wetlands on the site; the Natural Resource Inventory for the City maps the small forested area (Figure 4). The forested area is not considered a Significant Natural Resource by the City and is therefore not protected under City ordinances.

Conclusions

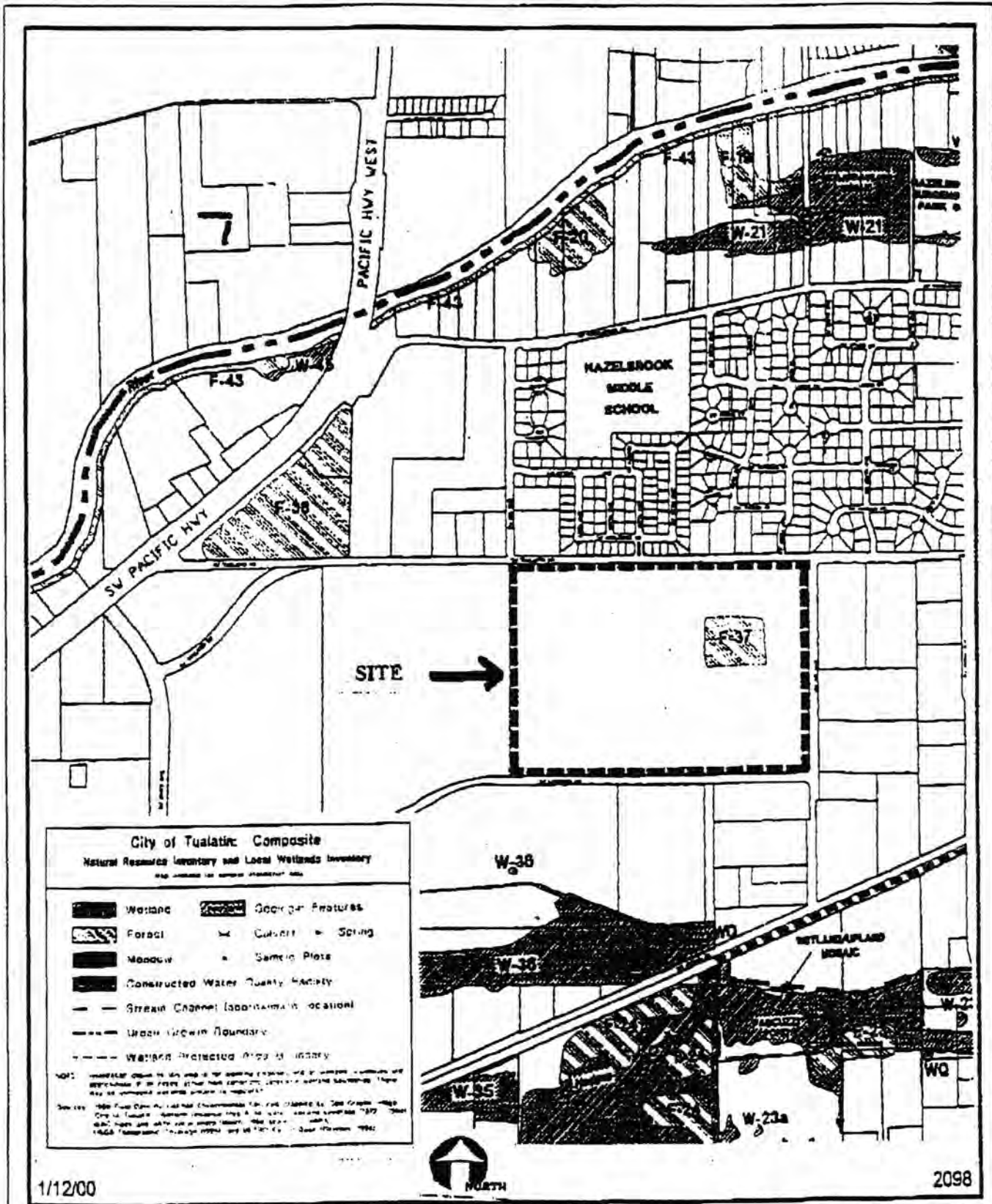
Based on the wetland determination the site does not meet the criteria for jurisdictional wetlands. The entire site is considered upland.

I hope this information is helpful to you and your project. Please let me know if you need anything else.

Sincerely,



Patricia A. Farrell
Wetland Scientist



Natural Resource Inventory and Local Wetlands Inventory information for the proposed development site on Leveton Road, Tualatin, Oregon (map by Geo Graphic Image, City of Tualatin, 1995).

FIGURE
4





United Sewerage Agency
of Washington County

Sensitive Area Pre-Screening Site Assessment

File Number 705

KRF

Jurisdiction	<u>City of Tualatin</u>	Date	<u>11-10-00</u>
Map & Tax Lot	<u>T251 R1W Sect 22 #1900</u>	Owner	<u>NOVILLUS</u>
Site Address	<u>SW Corner of Tualatin Rd & 108th</u>	Contact	<u>Group Mackenzie-Kari Fogemess</u>
Proposed Activity	<u>Industrial/commercial development</u>	Address	<u>P.O. Box 69039 Portland OR 97201</u>
	<u>251 22A 1900</u>	Phone	<u>503-224-9560</u>
		Fax	<u>503-228-1285</u>

Y N NA

Y N NA

USA Composite Map
Map # 251 WD

Stormwater Infrastructure maps
QS # 4918

Locally adopted studies or maps
Specify _____

Other
Specify _____

Based on a review of the above information and the requirements of USA Design and Construction Standards Resolution and Order 00-7:

Sensitive areas potentially exist on site or within 200' of the site. THE APPLICANT MUST PERFORM A SITE CERTIFICATION PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER OR STORMWATER CONNECTION PERMIT. If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.

Sensitive areas do not appear to exist on site or within 200' of the site. This pre-screening site assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered on your property. NO FURTHER SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED. THIS FORM WILL SERVE AS AUTHORIZATION TO ISSUE A STORMWATER CONNECTION PERMIT.

The proposed activity does not meet the definition of development. NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.

Comments:

Reviewed By: [Signature]

Date: 11/13/00

Returned to Applicant

Mail Fax _____ Counter _____
Date 11/13/00 By [Signature]



UNIFIED SEWERAGE AGENCY OF WASHINGTON COUNTY

Stormwater Site Assessment and Alternatives Analysis Review Fees

Stormwater Site Assessment and Alternatives Analysis Review Fees shall be charged for customers requiring a service provider letter or site certification concurrence in accordance with the Agency's current Design and Construction Standards (R & O 00-7).

a. Basic Site Certification Concurrence Fee - \$25.00

The basic site certification concurrence fee will be charged for properties where there is no sensitive area or vegetated corridor on or adjacent to the site or for properties on which the proposed development has no negative impact to the sensitive area or corridor.

b. Allowed Use Site Certification Concurrence Fee - \$50.00

The allowed use site certification concurrence fee will be charged for properties on which the proposed development is an allowed use as defined in Section 3.02.4.b.1.a-g of the Agency's Design and Construction Standards, and which has an impact to the sensitive area or vegetated corridor on site.

c. Corridor Averaging/Reduction Site Certification Concurrence Fee - \$150.00

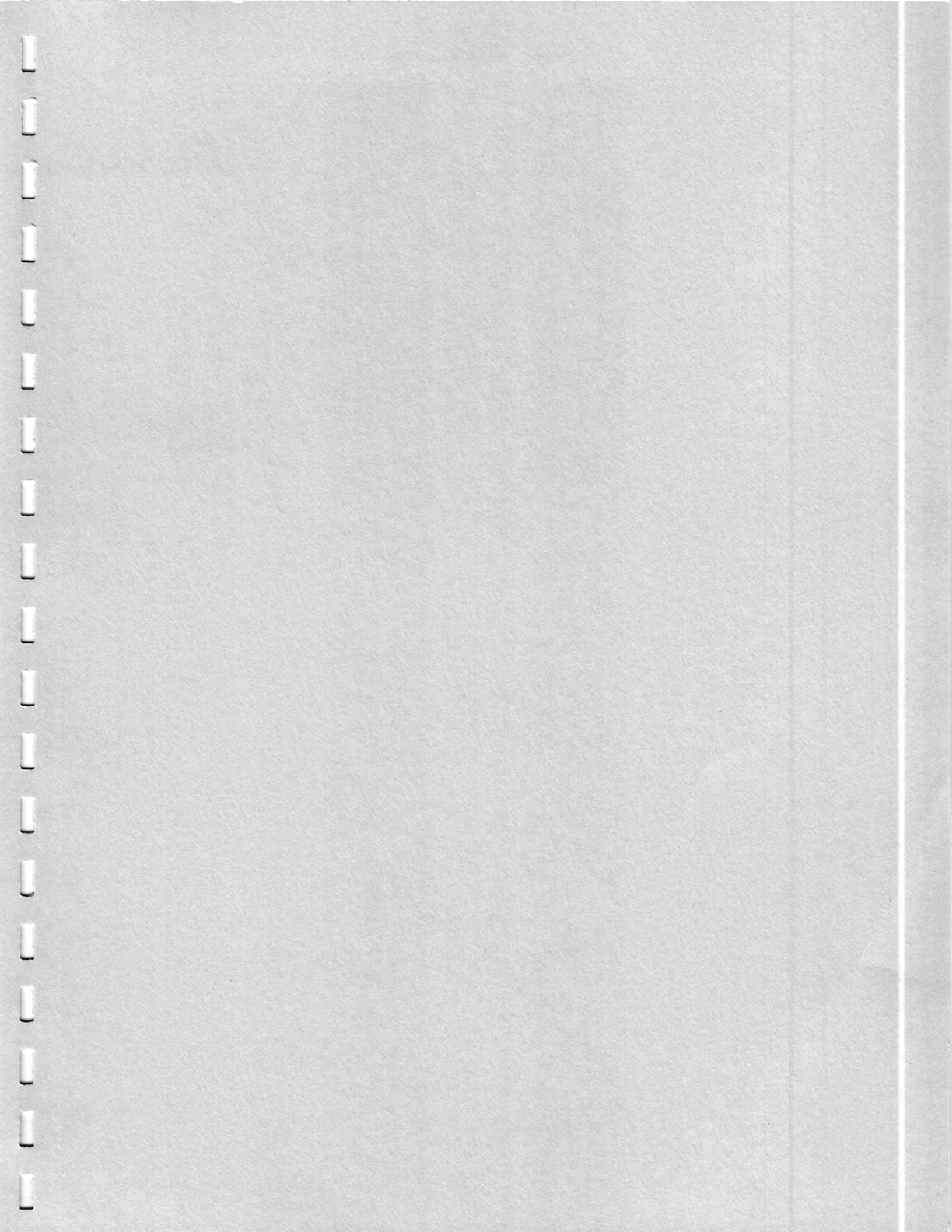
The corridor averaging/reduction site certification concurrence fee will be charged for properties on which corridor averaging or corridor reduction is requested.

d. Tier 1 Alternatives Analysis Review Fee - \$500.00

The Tier 1 Alternatives Analysis Review Fee will be charged for development requesting a Tier 1 encroachment as defined in USA's Design and Construction Standards.

e. Tier 2 Alternatives Analysis Review Fee - \$750.00

The Tier 2 Alternatives Analysis Review Fee will be charged for development requesting a Tier 2 encroachment as defined in USA's Design and Construction Standards.



RECORD OF SURVEY

FOR A PROPOSED PROPERTY LINE ADJUSTMENT
 LOCATED IN THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 2 SOUTH,
 RANGE 1 WEST, W.M., CITY OF TUALATIN, WASHINGTON COUNTY, OREGON
 DATE: FEBRUARY 23, 2017

WASHINGTON COUNTY SURVEYOR'S OFFICE
 ACCEPTED FOR FILING 3-2-17

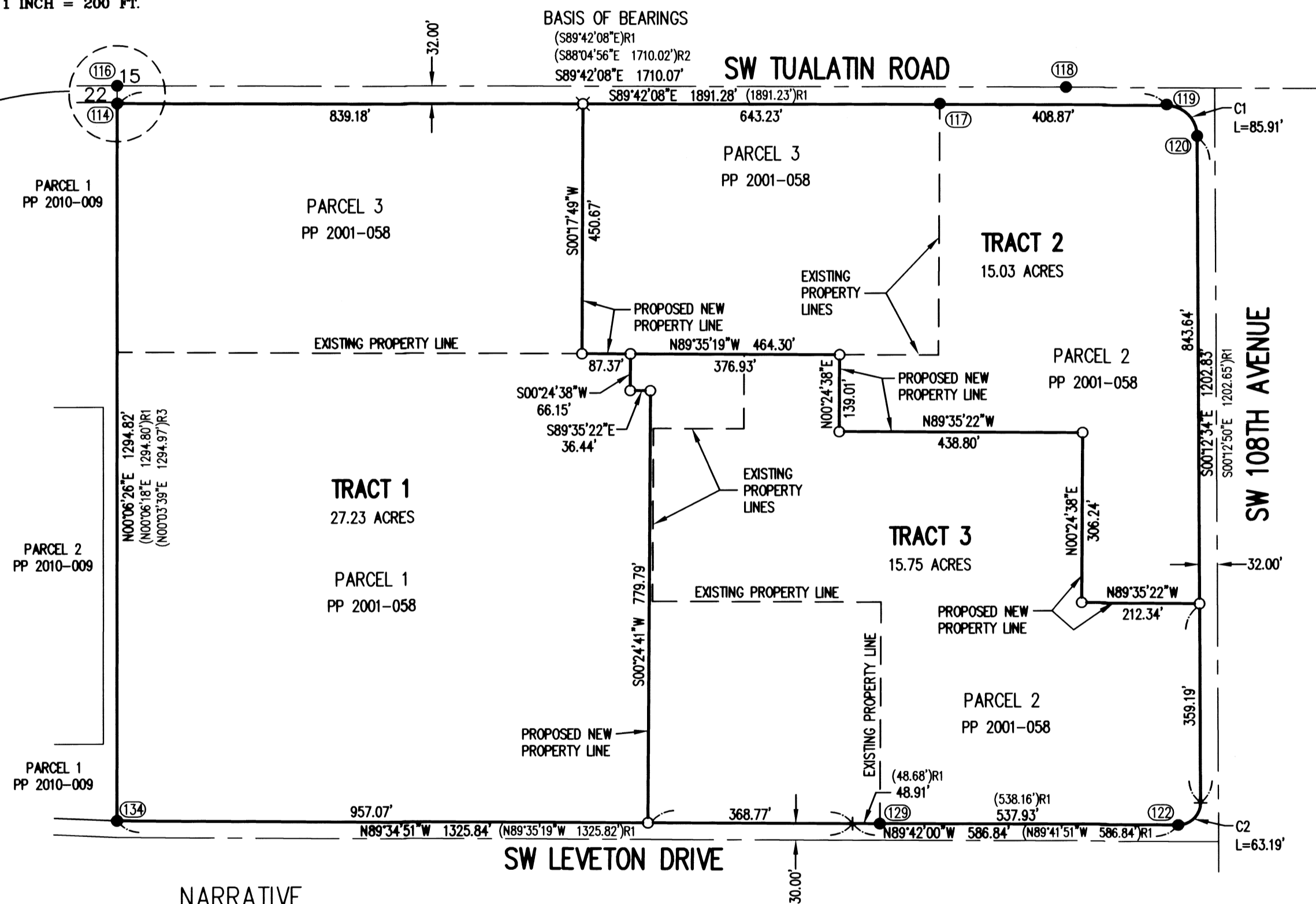
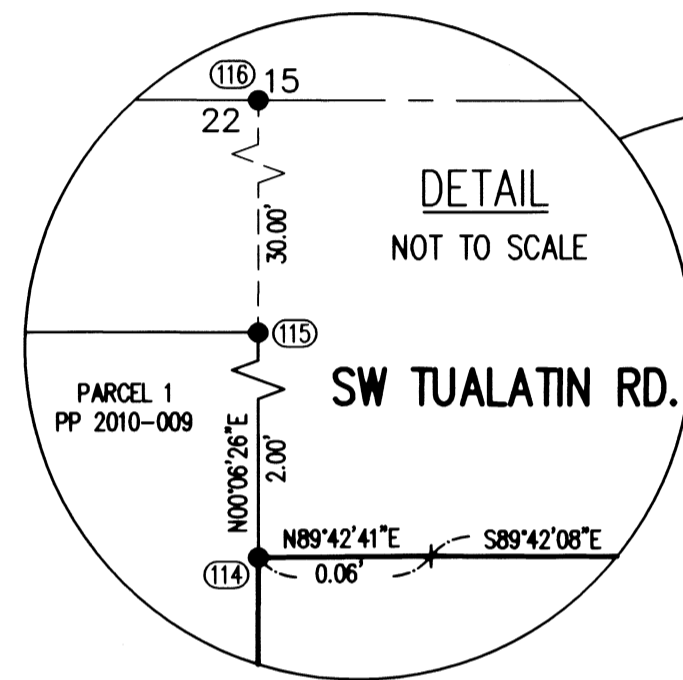
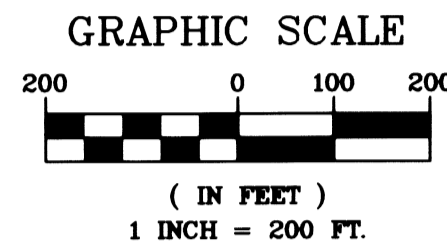
33034

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

Scott F. Field

OREGON
 JUNE 30, 1997
 SCOTT F. FIELD
 2844

12-31-2017
 RENEWAL DATE



MONUMENT DESCRIPTIONS

- (114) FOUND BRASS SCREW & 3/4" BRASS WASHER MARKED "PLS 2692" PER SN 28410
- (115) FOUND BRASS SCREW & 3/4" BRASS WASHER MARKED "PLS 2692" PER SN 28410
- (116) FOUND 2" BRASS DISK PER U.S.B.T. BOOK 3, PAGE 483, ENTRY NO. 189
- (117) FOUND 5/8" I.R. WYPC MARKED "PLS 1678", ORIGIN UNCERTAIN; N0017'52"E 1.85'
- (118) FOUND 5/8" I.R. WITH 1-1/2" ALUMINUM CAP MARKED "PLS 2692 CH2M HILL" PER SN 28410
- (119) FOUND BRASS SCREW WITH 3/4" BRASS WASHER MARKED "PLS 1678", ORIGIN UNCERTAIN; N0017'52"E 1.92'
- (120) FOUND 5/8" I.R. WYPC MARKED "PLS 1678", ORIGIN UNCERTAIN (PP 2001-058 CALLS FOR BRASS SCREW & WASHER)
- (122) FOUND BRASS SCREW WITH 3/4" BRASS WASHER MARKED "PLS 1678", PER PP 2001-058
- (129) FOUND BRASS SCREW WITH 3/4" BRASS WASHER MARKED "PLS 1678", PER PP 2001-058
- (134) FOUND 1" BRASS DISK MARKED "LS 58833" PER PP 2010-009

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	85.91'	55.00'	89°29'34"	S44°57'21"E	77.44'
	(85.90')R1		(89°29'18")R1	(S44°57'29"E)R1	(77.43')R1
C2	63.19'	40.00'	90°30'34"	S45°02'43"W	56.82'
	(90°30'59")R1		(S45°02'39"W)R1		

LEGEND

- FOUND MONUMENT AS NOTED IN DESCRIPTIONS
- SET 5/8" X 30" I.R. WITH YELLOW PLASTIC CAP MARKED "NORTHWEST SURVEYING INC"
- ⊗ SET 1-1/8" COPPER DISK MARKED "FIELD LS2844" IN CONCRETE
- I.R. IRON ROD
- WYPC WITH YELLOW PLASTIC CAP
- SN SURVEY NUMBER, WASHINGTON COUNTY SURVEY RECORDS
- PP PARTITION PLAT NO., WASHINGTON COUNTY PLAT RECORDS
- U.S.B.T. BEARING TREE RECORDS, WASHINGTON COUNTY SURVEY RECORDS
- ()R1 RECORD INFORMATION PER PP 2001-058
- ()R2 RECORD INFORMATION PER SN 28410
- ()R3 RECORD INFORMATION PER PP 2010-009

NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO MONUMENT THE PROPOSED ADJUSTED PROPERTY LINES BETWEEN PARCELS 1, 2 AND 3 OF PARTITION PLAT NO. 2001-058 IN CONJUNCTION WITH CITY OF TUALATIN CASE FILE NO. PLA16-0006. THE PROPERTIES IN THEIR CURRENT CONFIGURATIONS ARE DESCRIBED IN DOCUMENT NO. 2014-045332 (PARCEL 3), 2014-045333 (PARCEL 1) AND 2014-045334 (PARCEL 2), WASHINGTON COUNTY DEED RECORDS.

THE BASIS OF BEARINGS IS ALONG THE NORTH LINE OF THE NORTHEAST ONE-QUARTER OF SECTION 22 BETWEEN MONUMENTS (116) AND (118) HOLDING THE RECORD BEARING PER PARTITION PLAT NO. 2001-058. THIS LINE WAS OFFSET SOUTHERLY 32.00 FEET TO ESTABLISH THE SOUTHERLY RIGHT-OF-WAY LINE OF SW TUALATIN ROAD. RECORD PLAT INFORMATION AND MONUMENT (114) WERE HELD FOR THE 0.06 FOOT SEGMENT OF THE NORTH LINE AT THE NORTHWEST CORNER OF THE EXTERIOR BOUNDARY. MONUMENTS (116) AND (118) WERE HELD FOR THE WEST LINE OF THE EXTERIOR BOUNDARY. THE EASTERLY SEGMENT OF THE SOUTHERLY EXTERIOR BOUNDARY WAS ESTABLISHED HOLDING MONUMENTS (122) AND (129). THE ANGLE POINT ON THE SOUTH LINE WAS ESTABLISHED AT RECORD PLAT DISTANCE ON AN EXTENSION OF SAID EASTERLY SEGMENT FROM MONUMENT (122). THE DISTANCE BETWEEN MONUMENTS (122) AND (134) CHECK MUCH BETTER WITH EACH OTHER VERSUS EITHER OF THEM WITH MONUMENT (129). WHILE GOOD FOR LINE, I CONCLUDED THAT MONUMENT (129) IS OUT OF POSITION IN AN EAST-WEST DIRECTION AND THEREFORE DID NOT HOLD IT TO ESTABLISH THE ANGLE POINT. THE WESTERLY SEGMENT OF THE EXTERIOR BOUNDARY WAS ESTABLISHED HOLDING MONUMENT (134) AND THE ESTABLISHED ANGLE POINT. THE EAST LINE OF THE EXTERIOR BOUNDARY WAS ESTABLISHED HOLDING MONUMENTS (120) AND A CALCULATED CURVE BEGINNING AT MONUMENT (122) THAT IS TANGENT TO SAID EASTERLY SEGMENT. AT THE NORTHEAST CORNER OF THE EXTERIOR BOUNDARY, A CURVE TANGENT TO THE NORTH AND EAST LINES WAS CALCULATED HOLDING THE PLAT RADIUS.

MONUMENTS FOR THE INTERIOR CORNERS OF THE PLATTED PARCELS WERE NOT TIED AS THESE LINES ARE BEING ADJUSTED. MONUMENTS (117) AND (119) WERE LIKELY SET AS PART OF THE ORIGINAL PLAT BUT ARE SIGNIFICANTLY OUT OF POSITION.

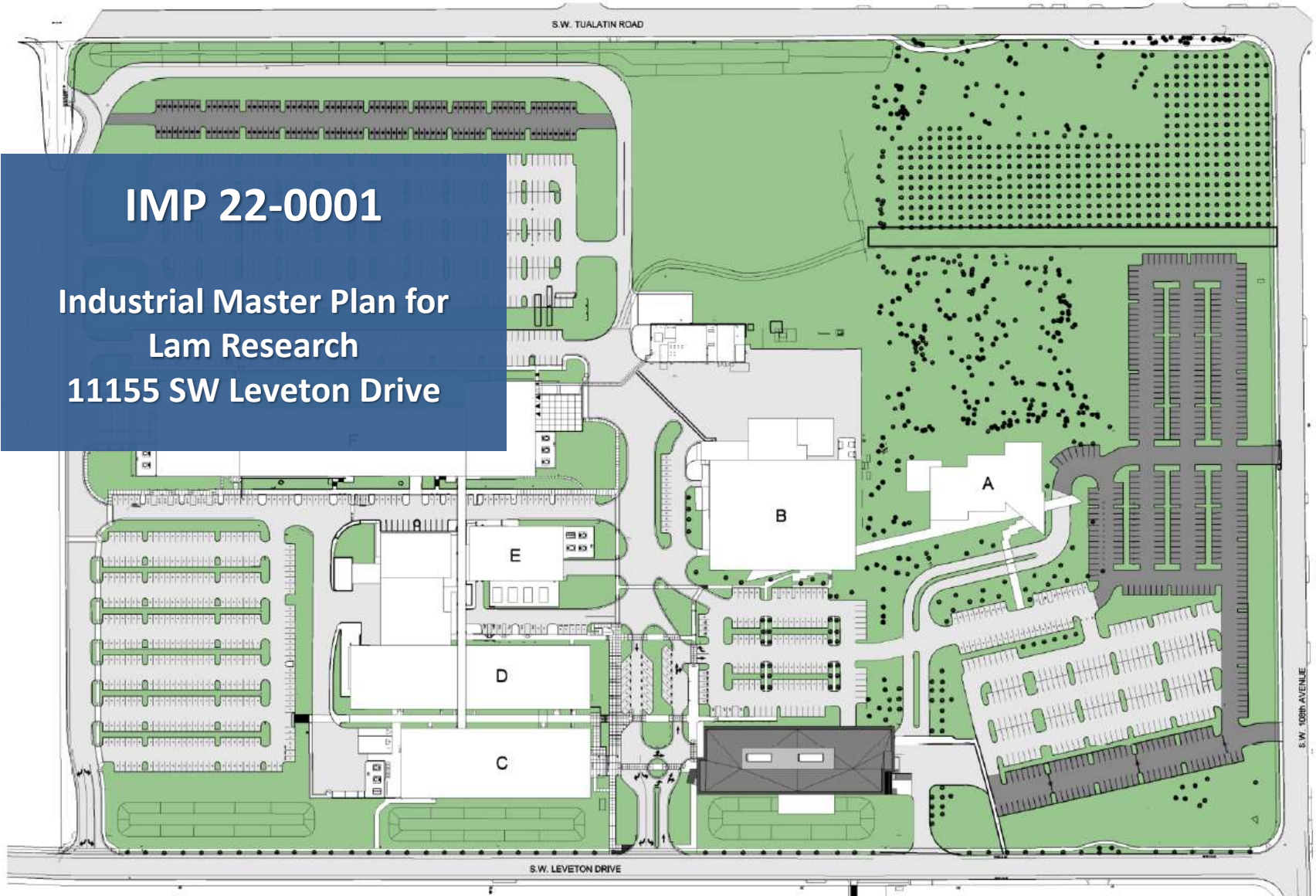
PREPARED FOR
 LAM RESEARCH CORPORATION
 4650 CUSHING PARKWAY
 FREMONT, CA 94538

JOB NAME:	LAM PLA
JOB NUMBER:	1344
DRAWN BY:	SFF
CHECKED BY:	CHS
DRAWING NO.:	1344 PLA ROS

BOUNDARY TOPOGRAPHIC CONSTRUCTION CADASTRAL
 1815 NW 169th PLACE, SUITE 2090
 BEAVERTON, OR 97006
 PHONE: 503-848-2127 FAX: 503-848-2179
 www.nwsrvy.com

IMP 22-0001

Industrial Master Plan for
Lam Research
11155 SW Leveton Drive

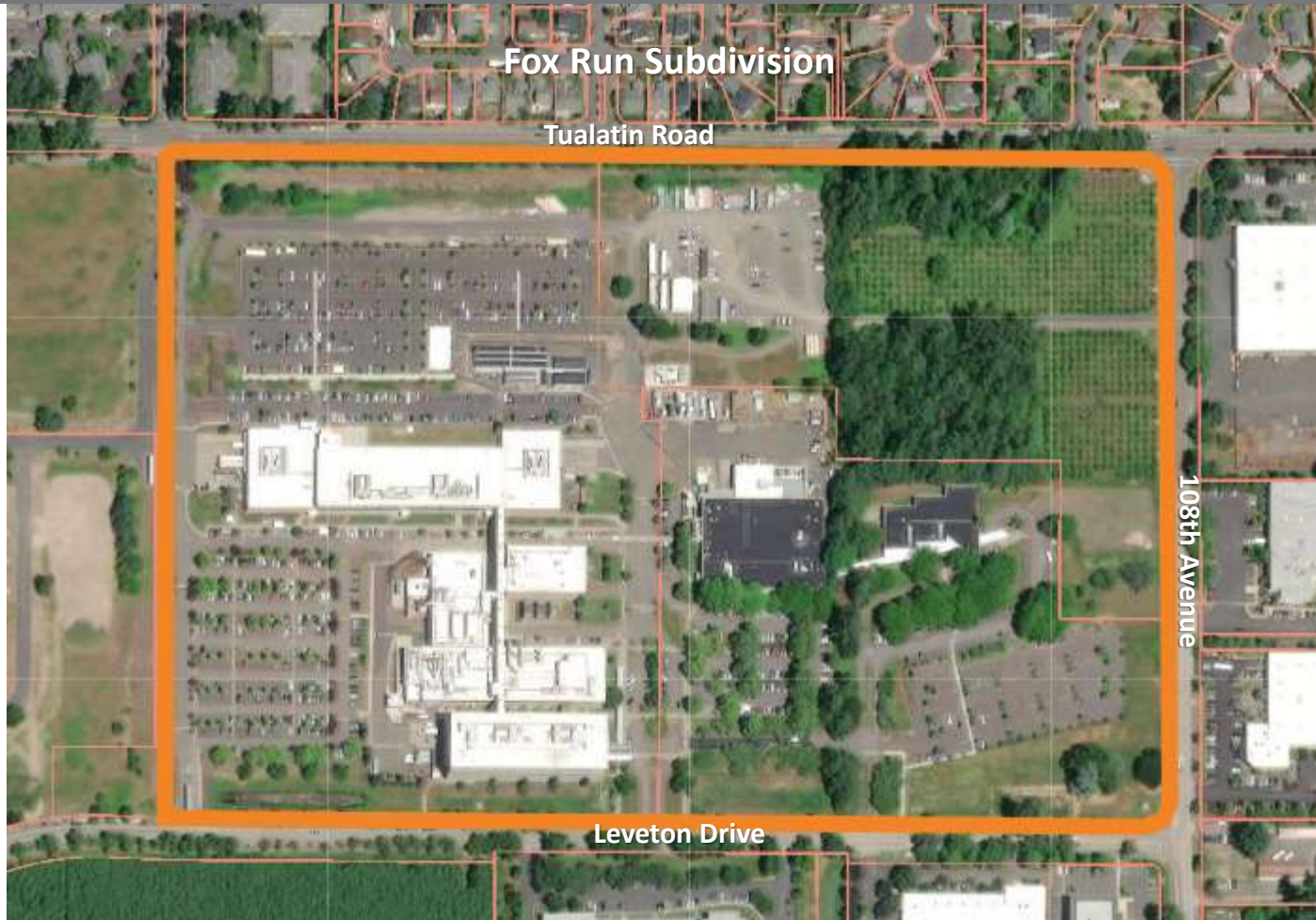


IMP 22-0001
Lam Research

TUALATIN PLANNING COMMISSION
November 17, 2022



SITE BACKGROUND



IMP 22-0001
Lam Research

TUALATIN PLANNING COMMISSION
November 17, 2022



INDUSTRIAL MASTER PLAN

What is an IMP application?

- Optional for development in the Manufacturing Park Zone
- Achieve campus-like setting, while allowing independent development on smaller parcels
- May be used to modify development standards:
 - Setbacks
 - Building height
 - Lot size
 - Parking
 - Internal circulation
 - Building location & orientation
 - Street frontage



INDUSTRIAL MASTER PLAN

Previously approved Industrial Master Plan 00-01

- Adopted by Resolution 3805-01
- Included conditions of approval to:
 - (1) Establish modified development standards;
 - (2) Recognize that public facilities are reviewed under AR process, and
 - (3) Establish building material & colors



INDUSTRIAL MASTER PLAN

Modify IMP 00-01: Conditions of Approval 1.a. & 1.b

- a. To meet the requirements of the TDC, through the Architectural Review process, building setbacks shall not be approved less than 68 feet to SW Leveton Drive and 98 feet to SW 108th Avenue after required dedication of right-of-way, turn lane and intersection improvements. Building setbacks to SW Tualatin Road shall meet the requirements of TDC 62.060(2)(a) and 62.080(2). Interior side yard building setbacks shall be no less than 20 feet, except setbacks to the common property line with μ AE shall be no less than 100 feet.
- b. To meet the requirements of the TDC, through the Architectural Review process parking/circulation setbacks shall not be approved less than 108 feet to SW Leveton Drive and 43 feet to SW 108th Avenue after required dedication of right-of-way, turn lane and intersection improvements. Interior side yard parking and circulation setbacks shall be as shown on Exhibit 2, Sheet SD-5, dated December 22, 2000.



INDUSTRIAL MASTER PLAN

BUILDING SETBACK	IMP 00-01	IMP 22-0001
Interior side/ rear yard	20 ft	0 ft
Side yard to JAE (property to west)	100 ft	50 ft
PARKING & CIRCULATION SETBACK		
Adjacent to Leveton Drive	108 ft	50 ft
Interior to site	Sheet SD-5	0 ft
Side yard to JAE (property to west)	Sheet SD-5	9.5 ft



INDUSTRIAL MASTER PLAN

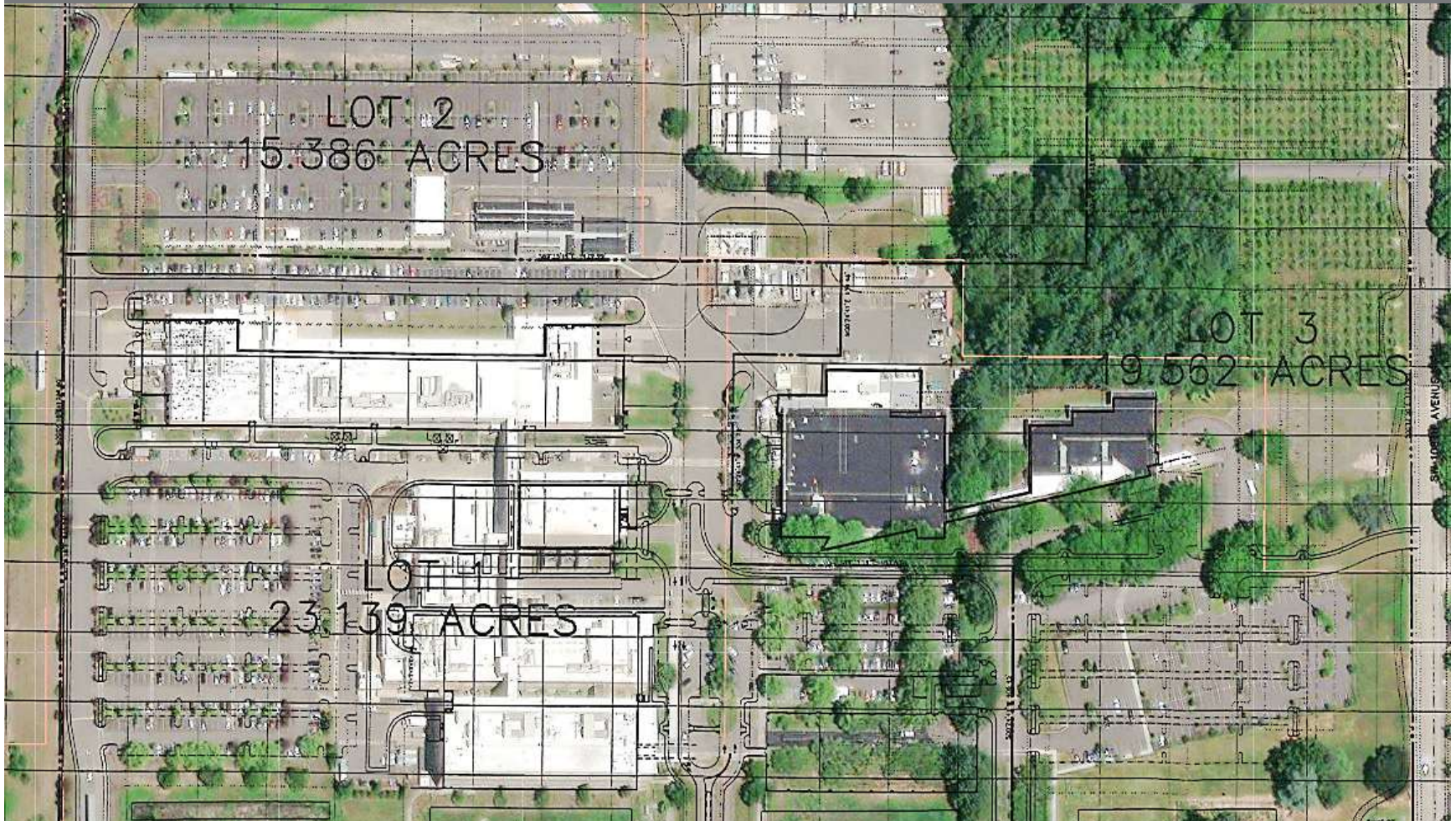


IMP 22-0001
Lam Research

TUALATIN PLANNING COMMISSION
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INDUSTRIAL MASTER PLAN



IMP 22-0001
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INDUSTRIAL MASTER PLAN

Supports AR 22-0006

To construct:

- 120,000 SF office building
- Two access drives off of 108th Ave
- Parking lot expansion



IMP 22-0001
Lam Research

TUALATIN PLANNING COMMISSION
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INDUSTRIAL MASTER PLAN

TDC 33.050 (5) Approval Criteria

- Public facilities and services, including transportation, existing or planned, for the area affected by the use are capable of supporting the proposed development or will be made capable by the time development is completed.

PUBLIC FACILITIES:

2. Through the Architectural Review process:
 - a. Easement declarations must be recorded and/or maintained for cross-access, parking, and utilities (including but not limited to: water, sanitary sewer, storm drainage) that extend across parcels shared under common ownership within the campus, when deemed necessary.
 - b. Utilities must serve individual parcels within the campus, in accordance with the Public Works Construction Code and TDC 74.610, 74.620, and 74.630.



INDUSTRIAL MASTER PLAN

TDC 33.050 (5) Approval Criteria

- The location, design, size, color and materials of the exterior of all structures for the proposed development and use is compatible with the character of other developments within the same general vicinity.



IMP 22-0001
Lam Research

TUALATIN PLANNING COMMISSION
November 17, 2022



INDUSTRIAL MASTER PLAN

TDC 33.050 (5) Approval Criteria

- The internal circulation, building location and orientation, street frontage, parking, setbacks, building height, lot size, and access are in accordance with TDC Chapter 62 for the Manufacturing Park (MP) Zone, unless otherwise approved through the Industrial Master Plan process.



RECOMMENDATION

Approval of IMP 22-0001 with conditions will:

- Support applicant request to bring certain building and parking & circulation setbacks back to conformance with MP standards;
- Uphold modified development standards under IMP 00-01; and
- Facilitate review of AR 22-0006 as proposed



CONDITIONS OF APPROVAL

GENERAL:

1. If future modifications to this Industrial Master Plan are necessary, a new Industrial Master Plan application must be submitted to the City for review.

PUBLIC FACILITIES:

2. Through the Architectural Review process:
 - a. Easement declarations must be recorded and/or maintained for cross-access, parking, and utilities (including but not limited to: water, sanitary sewer, storm drainage) that extend across parcels shared under common ownership within the campus, when deemed necessary.
 - b. Utilities must serve individual parcels within the campus, in accordance with the Public Works Construction Code and TDC 74.610, 74.620, and 74.630.

LOCATION, DESIGN, COLOR AND MATERIALS

3. Development proposed through the Architectural Review process must:
 - a. Include building material elements consisting of, or complimentary to: masonry, sandstone, architectural metal siding, and window glazing. Color palettes must remain complimentary to earth toned shades.
 - b. Meet the modified development standards listed in the table below:



CONDITIONS OF APPROVAL

STANDARD	IMP REQUIREMENT
Minimum Lot Size	15 acres
Minimum Building Setback for SW Leveton Drive	68 feet
Minimum Building Setback for SW 108th Drive	98 feet
Minimum Building Setback for SW Tualatin Road	Subject to Table 62-2 Development Standards in the MP Zone
Minimum Setback for Side /Rear Yards not Adjacent to Streets	0 feet side / rear yards under common ownership From JAE Oregon Inc: Subject to Table 62-2
Parking & Circulation Areas Adjacent to SW Leveton Drive	50 feet



CONDITIONS OF APPROVAL

STANDARD	IMP REQUIREMENT
Parking & Circulation Areas Adjacent to SW 108 th Avenue	43 feet
Parking & Circulation Areas Adjacent to SW Tualatin Road	35 feet
Parking & Circulation Areas Adjacent to Private Property Line	0 feet property lines under common ownership 9.5 feet from JAE Oregon Inc.
Fences	Subject to Table 62-2 Development Standards in the MP Zone
Maximum Structure Height	Subject to Table 62-2 Development Standards in the MP Zone

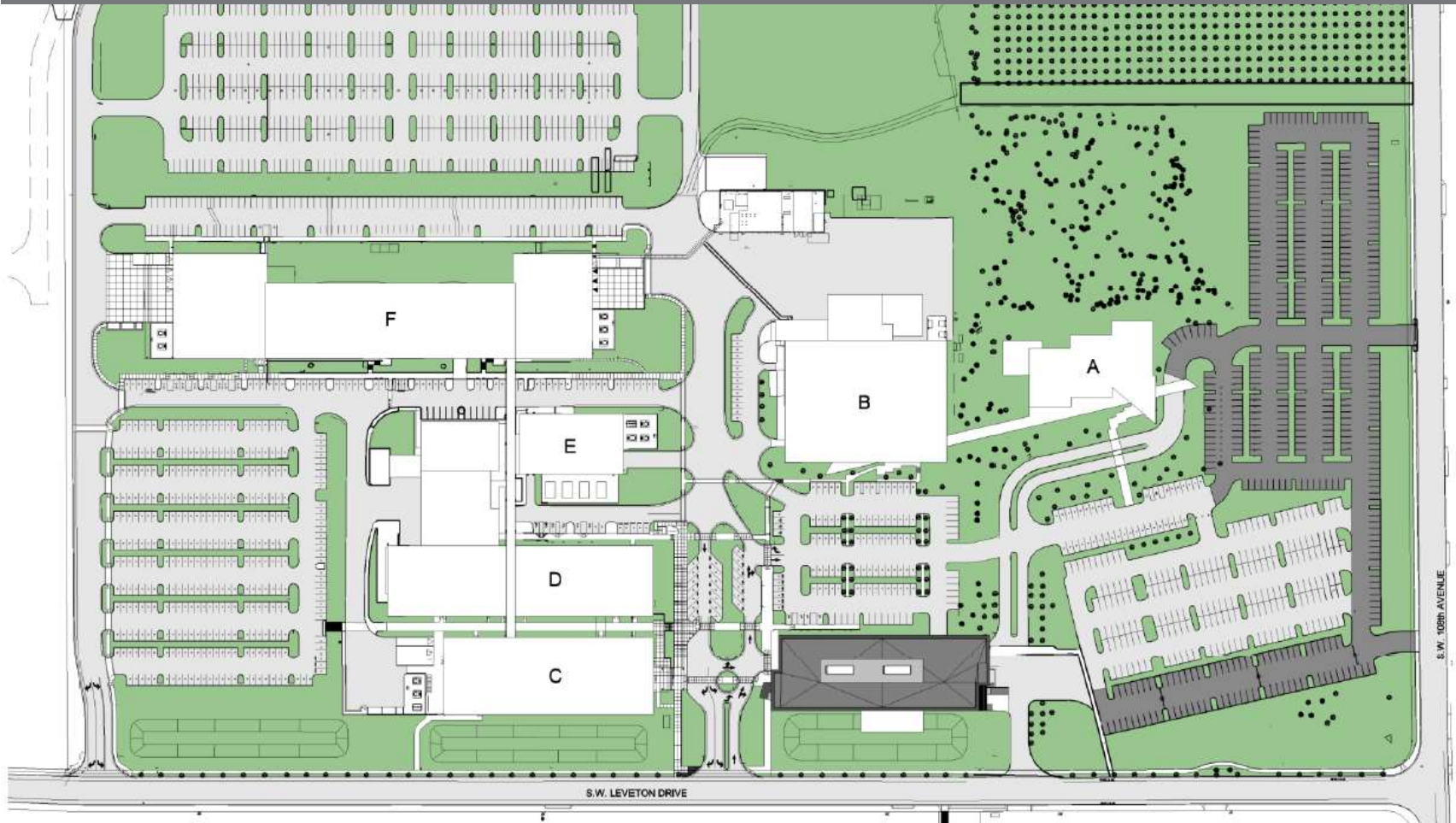


CONDITIONS OF APPROVAL

- c. Maintain the existing earthen berm and landscaping consisting of deciduous street trees, evergreen trees, and shrubs along the northeast frontage of SW Tualatin Road to the driveway adjacent to 115th Avenue.
- d. Retain the existing stand of trees behind Building A, or integrate into the parking lot design as deemed appropriate.
- e. Parking lot landscaping for the north-half of the site must follow the standard requirements of TDC Chapter 73C. To accommodate grade changes, an alternative method of parking lot landscaping is acceptable for terraced parking lots proposed for the south-half of the site. These lots must provide a minimum landscape island area of 25 square feet per parking stall and comply with the following:
 - i. Landscape separation that is a minimum of five feet in width is required for every twelve continuous spaces in a row;
 - ii. Landscaping strip that is a minimum of ten feet in width must be placed in between rows of facing vehicles;
 - iii. Must be planted with one deciduous shade trees for every four parking spaces, with required trees evenly dispersed throughout the parking lot;
 - iv. Must be planted with groundcover or shrubs; and
 - v. Native plant materials are encouraged.



QUESTIONS FOR STAFF?



IMP 22-0001
Lam Research

TUALATIN PLANNING COMMISSION
November 17, 2022



PLANNING COMMISSION DECISION

Republished on November 16, 2022

Case #:	IMP 22-0001
Project:	Lam Research Corporation Campus
Location:	11155-11361 SW Leveton Drive; Tax Lots: 2S122AA 500 and 800; 2S122AB 100
Representative:	Suzannah Stanley, Mackenzie
Owner:	Lam Research Corporation

I. FINDINGS

- A. An application for an Industrial Master Plan (IMP 22-0001) was filed by Mackenzie, on behalf of Lam Research Corporation requesting approval to amend Conditions of Approval 1.a. and 1.b. from IMP 00-01, in order to modify setback standards for the campus development.
- B. The Tualatin Planning Commission conducted a noticed quasi-judicial public hearing on November 17, 2022 in conformance with the laws of the State of Oregon and the City of Tualatin.
- C. The Tualatin Planning Commission concludes that the findings and analysis, testimony at the public hearing, and materials in the record address the approval criteria of TDC 33.050 for Industrial Master Plans the approval of the IMP 22-0001 with Conditions of Approval.

II. ACTION

The Tualatin Planning Commission approves IMP 22-0001 and adopted the staff analysis and findings, dated November 17, 2022, with the following Conditions of Approval:

GENERAL:

1. If future modifications to this Industrial Master Plan are necessary, a new Industrial Master Plan application must be submitted to the City for review.

PUBLIC FACILITIES:

2. Through the Architectural Review process:
 - a. Easement declarations must be recorded and/or maintained for cross-access, parking, and utilities (including but not limited to: water, sanitary sewer, storm drainage) that extend across parcels shared under common ownership within the campus, when deemed necessary.
 - b. Utilities must serve individual parcels within the campus, in accordance with the Public Works Construction Code and TDC 74.610, 74.620, and 74.630.

LOCATION, DESIGN, COLOR AND MATERIALS

3. Development proposed through the Architectural Review process must:
- a. Include building material elements consisting of, or complimentary to: masonry, sandstone, architectural metal siding, and window glazing. Color palettes must remain complimentary to earth toned shades.
 - b. Meet the modified development standards listed in the table below:

STANDARD	MODIFIED DEVELOPMENT STANDARDS UNDER IMP 22-0001
LOT SIZE	
Minimum Lot Size	15 acres
MINIMUM SETBACKS	
Minimum Building Setback for Yards Adjacent to SW Leveton Drive	68 feet
Minimum Building Setback for Yards Adjacent to SW 108th Drive	98 feet
Minimum Building Setback for Yards Adjacent to SW Tualatin Road	Subject to Table 62-2 Development Standards in the MP Zone
Minimum Setback for Side and Rear Yards not Adjacent to Streets or Alleys	0 feet from side and rear yards under common ownership From Lot 2S122BA00100 (currently owned by JAE Oregon Inc.): Subject to Table 62-2 Development Standards in the MP Zone
Parking and Circulation Areas Adjacent to SW Leveton Drive	50 feet
Parking and Circulation Areas Adjacent to SW 108 th Avenue	43 feet
Parking and Circulation Areas Adjacent to SW Tualatin Road	35 feet
Parking and Circulation Areas Adjacent to Private Property Line	0 feet from property lines under common ownership 9.5 feet from Lot 2S122BA00100 (currently owned by JAE Oregon Inc.)
Fences	Subject to Table 62-2 Development Standards in the MP Zone

STANDARD	MODIFIED DEVELOPMENT STANDARDS UNDER IMP 22-0001
STRUCTURE HEIGHT	
Maximum Height	Subject to Table 62-2 Development Standards in the MP Zone
Maximum Height Adjacent to Residential District	Subject to Table 62-2 Development Standards in the MP Zone

- c. Maintain the existing earthen berm and landscaping consisting of deciduous street trees, evergreen trees, and shrubs along the northeast frontage of SW Tualatin Road to the driveway adjacent to 115th Avenue.
- d. Retain the existing stand of trees behind Building A, or integrate into the parking lot design as deemed appropriate.
- e. Parking lot landscaping for the north-half of the site must follow the standard requirements of TDC Chapter 73C. To accommodate grade changes, an alternative method of parking lot landscaping is acceptable for terraced parking lots proposed for the south-half of the site. These lots must provide a minimum landscape island area of 25 square feet per parking stall and comply with the following:
 - i. Landscape separation that is a minimum of five feet in width is required for every twelve continuous spaces in a row;
 - ii. Landscaping strip that is a minimum of ten feet in width must be placed in between rows of facing vehicles;
 - iii. Must be planted with one deciduous shade trees for every four parking spaces, with required trees evenly dispersed throughout the parking lot;
 - iv. Must be planted with groundcover or shrubs; and
 - v. Native plant materials are encouraged.

III.APPEAL

The applicant or any person who submitted written comments or testified orally or in writing at the Tualatin Planning Commission hearing and who may be adversely affected by the Commission's decision may file a request for review of the final decision of the Tualatin Planning Commission to the City Council.

The Tualatin Planning Commission's decision will be final after 14 calendar days from the mailing of this order, unless a written appeal is received by the **Tualatin Planning Division at 10699 SW Herman Road, Tualatin, Oregon, before 5:00 p.m., December ____, 2022. The appeal must be submitted on the City appeal form with all the information requested provided thereon, signed by the appellant, and include the applicable appeal fee.** The plans and appeal forms are available at the Planning Division offices. The appeal forms must include reasons, current appeal fee, and meet the requirements of Section 32.310 of the Tualatin Development Code. The City Council will review and make a decision. The parties will be notified of the Council meeting date.

ADOPTED THIS ____ DAY OF NOVEMBER 2022.

PLANNING COMMISSION
CITY OF TUALATIN

BY: _____
Bill Beers, Chair
Tualatin Planning Commission