



TUALATIN CITY PLANNING COMMISSION MEETING

WEDNESDAY, JULY 16, 2025

TUALATIN CITY SERVICES
10699 SW HERMAN ROAD
TUALATIN, OR 97062
OR

Join Zoom Meeting

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Passcode: 732385

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Bill Beers – Chair

Janelle Thompson – Vice Chair

Randall Hledik Zach Wimer

Brittany Valli Ursula Kuhn

Allan Parachini

CALL TO ORDER & ROLL CALL

ANNOUNCEMENTS & PLANNING COMMISSION COMMUNICATION

APPROVAL OF MINUTES

1. Planning Commission May 21, 2025 minutes.
2. Review of June 18, 2025 minutes draft.

COMMUNICATION FROM THE PUBLIC (NOT ON THE AGENDA)

Limited to 3 minutes

ACTION ITEMS

1. Consideration of a Conditional Use Permit (CUP25-0001) to allow a new water storage reservoir and pump station on a 4.75-acre site in the in Low Density Residential (RL) Planning District located at 22675 SW 108th Avenue (Tax Lot: 2S134AD05400).

COMMUNICATION FROM CITY STAFF

1. Help spread the word to that the Community Survey will be available online from Monday (7/14) – Friday (8/8)!

<https://survey.alchemer.com/s3/8382386/Tualatin-Downtown-Survey>

Visit the project website for more

details: <https://www.tualatinoregon.gov/economicdevelopment/tualatin-downtown-revitalization>

FUTURE ACTION ITEMS

ADJOURNMENT

Tualatin Planning Commission

MINUTES OF May 21, 2025 (UNOFFICIAL)**TPC MEMBERS PRESENT:**

Janelle Thompson, Vice Chair
Allan Parachini, Commissioner
Randall Hledik, Commissioner

Brittany Valli, Commissioner

TPC MEMBERS ABSENT:

Ursula Kuhn, Commissioner
Zach Wimer, Commissioner
William Beers, Chair

STAFF PRESENT:

Steve Koper, Asst. Community Development Director
Sidaro Sin, Urban Ren. and Economic Dev. Manager
Aquilla Hurd-Ravich, Community Dev. Director
Lindsey Hagerman, Office Coordinator

CALL TO ORDER AND ROLL CALL

The meeting was called to order at 6:30 p.m., and roll call was taken. Three commissioners were absent.

REVIEW OF MINUTES

The Commissioners unanimously voted to APPROVE the April 21, 2025 minutes (4-0).

COMMUNICATION FROM CITY STAFF**1. Downtown Revitalization**

Sidaro Sin, Urban Renewal and Economic Development Manager, introduced himself and presented his plan on downtown revitalization. He highlighted the adopted the Core Opportunity and Reinvestment Area Plan (CORA) Plan Vision, which aims to strengthen the social, cultural, and economic vitality of central Tualatin. He spoke about the need for improvements to enhance the downtown's visual appeal to create a cohesive downtown identity.

Mr. Sin discussed the timeline, project goals, and importance of engaging the community in developing a strong identity. He provide information about Community Advisory Committee which is composed of representatives from the following groups: City Council, Aging Task Force, Parks Advisory Committee, Arts Advisory Board, Youth Member, Inclusion Diversity Equity, Community Involvement Organization, Chamber, Property/Business Owner, and Commercial/Housing/Development. He also shared that an internal technical advisory committee of City staff will play a guiding role in this project.

Steve Koper, Assistant Community Development Director, asked Mr. Sin how the Planning Commissioners can get involved in the visioning process. Mr. Sin answered that there are many ways to participate, including outreach events, community sessions, and more opportunities to come throughout the process.

Mr. Hledik asked how many people represent the development community. Mr. Sin responded that the sole representative is from Community Partners for Affordable Housing (CPAH).

Mr. Sin discussed the Downtown Revitalization process, highlighting the role of code amendments as a key component. He explained the importance of balancing the code update process to ensure that existing investments are protected. He also spoke about Michele Reeves, a consultant from Civilis, who will be working on phase one of the project—bringing together urban design and community input to develop a community identity.

Additionally, he shared the City plans on partnering with the University of Oregon with their Sustainable City Year Program with the Architecture/ Landscape Architecture Design Studios. He emphasized the importance of implementation strategies, particularly focusing on how to attract developer and investor interest and create new opportunities with the Core Plan Projects. He spoke about phase three in Tualatin Development Code design amendments and timing with projects.

Vice Chair Thompson shared her interest in having more boat access along with her excitement about the changes.

Commissioner Parachini asked about the project's efforts to reach a more diverse group of renters and teenagers. Mr. Sin responded by noting that they have plans to expand their focus group and increase involvement with local high school youth after the first Community Advisory Committee (CAC) meeting. He also mentioned upcoming events at which project staff would have a presence such as VIVA Tualatin and the Concert Series. He emphasized the importance of building an ongoing relationship with the community—not just gathering feedback, but actively reaching out and engaging with residents.

Vice Chair Thompson commended the Parks Team for their excellent work on various projects, emphasizing the value of their input and discussing ways to continue enhancing collaboration moving forward.

Commissioner Hledik asked if the City has anything planned to proactively address future development-related needs, such as utilities and stormwater. Mr. Sin answered that it will be part of the design process.

Commissioner Hledik asked if there are any existing floodplain issues in the development of downtown. Mr. Sin answered yes, this is one of the things we will be taking a look at and how it can be addressed and be creative in the design process.

Commissioner Hledik asked whether mixed-use developments are generally profitable. Sin responded that they are financially beneficial and make practical sense. He added that securing financing for hospitality components is typically more challenging, however, mixed-use projects overall are more favorable.

Commissioner Hledik asked about parking issues and with there being no requirements. Mr. Sin answered there's a reality that when developing there needs to be parking spaces available. Commissioner Hledik expressed that he believes downtown Tualatin needs a blend of daytime and nighttime activities to attract more visitors. Mr. Sin agreed, highlighting a new farmers' market project at the historic Grange. He emphasized that the design of the downtown area plays a key role in creating a memorable experience, forming part of the broader vision to make it a destination where lasting memories are made.

Commissioner Hledik voiced support for having more activities on the Lake of Commons.

Commissioner Valli asked about funding in general for this project and if the funding included the University of Oregon's participation in the project. Mr. Sin explained the University has matching funds, a one-to-one ratio which would give more funds overall for the project.

Commissioner Valli asked whether redevelopment would involve demolishing all existing structures or preserving some of what currently exists. Mr. Sin responded that a successful approach requires a balance of both old and new elements. He noted that the value of the property and its improvements, as well as the mindset of property owners, play a role in the process. He added that the City's role is to create the right conditions for redevelopment, even during uncertain times.

Vice Chair Thompson asked whether the Planning Commissioners would receive updates on the revitalization project. Mr. Koper, responded that Mr. Sin would be invited to provide updates at appropriate points in the process.

COMMUNICATION FROM STAFF

Mr. Koper introduced Aquilla Hurd-Ravich, the City's new Community Development Director.

FUTURE ACTION ITEMS

Mr. Koper spoke about upcoming meetings which will include Industrial Master Plan application made by Lam and a water reservoir project proposed by the City.

ADJOURNMENT

Commissioner Hledik made a MOTION to adjourn. The motion was SECONDED by Vice Chair Thompson. The Commissioners voted unanimously to ADJOURN the meeting at 7:30 p.m. (4-0).

Tualatin Planning Commission

MINUTES OF June 18, 2025 (UNOFFICIAL)

TPC MEMBERS PRESENT:

Janelle Thompson, Vice Chair
Allan Parachini, Commissioner
Randall Hledik, Commissioner
Ursula Kuhn, Commissioner
William Beers, Chair

TPC MEMBERS ABSENT:

Zach Wimer, Commissioner
Brittany Valli, Commissioner

STAFF PRESENT:

Steve Koper, Asst. Community Development Director
Erin, Engman, Senior Planner
Lindsey Hagerman, Office Coordinator

CALL TO ORDER AND ROLL CALL

The meeting was called to order at 6:30 p.m., and roll call was taken. Two commissioners were absent.

REVIEW OF MINUTES

The Commissioners moved to review the minutes for the next meeting.

ACTION

1. **The Tualatin Planning Commission is being asked to provide a recommendation to the City Council on adoption of the 2045 Transportation System Plan (TSP) and corresponding amendments relevant to Comprehensive Plan policies and Development Code regulations (Plan Text and Plan Map Amendments PTA25-0001/PMA 25-0001).**

Erin Engman, Senior Planner, presented an overview of the Transportation System Plan (TSP). She explained a Transportation System Plan brings together community members, City staff, and the City Council to establish a shared understanding of how the transportation system operates today, identify needed improvements, and creates a vision for enhancing community mobility. It also provides a realistic understanding of what projects can be implemented and funded over the next twenty years.

Ms. Engman highlighted the City's public engagement efforts, including key in-person events such as Viva Tualatin, National Night Out, and the Pumpkin Regatta, as well as the promotion of an online survey. She explained that the City developed a set of goals, supported by policies and guided by City Council direction.

These goals are designed to support the community's land use vision and enhance the overall quality of life. She also shared that the top priorities were identified by both the Community

Advisory Committee and the City Council, noting that these goals are intended to guide policy development and investment decisions as part of the legislative process.

Ms. Engman shared the supporting amendments, which included extensive updates to Chapters 74 and 75, which serve as the public facility and transportation chapters of the Tualatin Development Code. She discussed the public comments the City received. She explained comments received requested the removal of the planned traffic signal at Tualatin Road and 115th Avenue, the consideration of reclassifying Leveton Drive as a collector, and the designation of Tualatin Road as an arterial. She also noted other concerns, such as increased cut-through traffic in surrounding neighborhoods, increased traffic near Hazelbrook Middle School, and potential pollution from vehicle emissions.

Ms. Engman informed the Planning Commission that they were being asked to forward a recommendation of approval to the City Council for PTA25-0001 and PMA25-0001.

Chair Beers asked for a brief background on the intersection at 115th Avenue. Steve Koper, Assistant Community Development Director, responded that the intersection currently operates at a Level of Service D, with the southbound leg expected to reach Level of Service E in the future. He stated that a traffic signal is necessary to support both vehicle traffic and pedestrian crossings.

Commissioner Hledik asked for clarification on how traffic signals are placed and funded. Mr. Koper explained that there is potential litigation involved and that traffic modeling is used. He noted that the Transportation System Plan (TSP) includes funding provisions through the Tualatin Development Code (TDC).

Commissioner Hledik also inquired whether the electric micro-mobility element of the Climate Action Plan referred to electric bikes and scooters. Mr. Koper confirmed that it did.

Commissioner Hledik requested clarification on the proposed terminology changes. Ms. Engman explained that the updates reflect new language in the Tualatin Development Code to align with the proposed Tualatin Transportation Plan.

Commissioner Hledik asked whether masonry walls would no longer be required along certain streets due to the new street classifications. Ms. Engman and Mr. Koper confirmed that the requirements for masonry walls remain except along expressways.

Commissioner Hledik asked for clarification on Metro's classification. Mr. Koper explained that Metro has its own transportation functional plan and funding sources.

Commissioner Hledik then asked how the consultant narrowed down the Advisory Committee's top ten projects and how they plan to fund them. Mr. Koper responded that the top ten projects serve more as a framework for prioritization. He explained that, if and when funding aligns, projects within this framework would be pursued.

Chair Beers opened the floor to the public.

Brett Hamilton, the River Park CIO representative, gave a brief presentation outlining what community members in his area believe would best serve their neighborhood.

Louis Chancey, a representative from the Fox Run HOA board, expressed her concerns about not being notified. She highlighted the dangers of traffic accidents occurring near children playing outside and near the memory care unit.

Chris Hein shared his observations about the traffic signal lights being installed.

Paul Bardos suggested that signage be installed to direct semi-trucks toward Tualatin-Sherwood Road instead of using 115th Avenue.

Ezekiel Anatol shared concerns about increased traffic caused by construction and expressed doubt that the situation will improve.

Martha Bailey shared her thoughts on the roundabout and agreed with Brett Hamilton that a better traffic solution would be to eliminate the entrance on Tualatin Road.

Commissioner Kuhn commented that keeping all options on the table seems reasonable, given funding limitations and the importance of including traffic considerations in the planning process.

Commissioner Parachini asked if there's a way to ensure the community is more involved. Mr. Koper spoke about City events held to gather feedback.

Louis Chancey spoke about the value of community participation and emphasized the importance of leveraging local skills and resources through collaborative brainstorming. She noted that the community is thoughtful and capable, and that meaningful change should come from within.

Mr. Koper stated that, before any decision is made regarding the traffic signal, there will be thorough public outreach and a comprehensive traffic study, in response to strong community interest.

Chair Beers spoke with the Commissioners and asked for their thoughts on how to incorporate River Park's community concerns into the recommendation.

Commissioner Kuhn shared that they have created a memo in the past and suggested they could possibly add a separate recommendation.

Vice Chair Thompson expressed support for the idea of including a separate recommendation to ensure the Planning Commission has it on record. She mentioned she's hesitant to rule out a signal due to potential traffic failure.

Chair Beers asked when the next City Council meeting would be held to present the recommendations.

Commissioner Parachini made a MOTION to add a recommendation in consideration of concerns from the Riverpark CIO regarding traffic issues of the intersection of 115th and Tualatin roads. The Planning Commission recommends involvement of the surrounding neighborhood in future proceedings regarding any improvements contemplated affecting this intersection. Commissioner Khun SECONDED. The Commissioners unanimously voted to add this recommendation. (5-0).

Chair Beers made a MOTION to approve PTA25-0001 and PMA25-0001 as presented by City staff and SECONDED by Commissioner Kuhn. The Commissioners unanimously voted to add this recommendation. (5-0).

COMMUNICATION FROM STAFF

Mr. Koper shared The Commission is scheduled two upcoming meetings: July 16 to consider a conditional use permit for an above- ground water storage reservoir and August 20 to review LAM Industrial Master Plan, which will now use only existing access points on Leveton Drive.

ADJOURNMENT

Commissioner Hledik made a MOTION to adjourn. The motion was SECONDED by Commissioner Parachini. The Commissioners voted unanimously to ADJOURN the meeting at 8:15 p.m. (5-0).



CITY OF TUALATIN Staff Report

TO: Tualatin Planning Commission

THROUGH: Steve Koper, AICP, Assistant Community Development Director

FROM: Madeleine Nelson, Associate Planner

DATE: July 16, 2025

SUBJECT:

Consideration of a Conditional Use Permit (CUP25-0001) to allow a new water storage reservoir and pump station on a 4.75-acre site in the in Low Density Residential (RL) Planning District located at 22675 SW 108th Avenue (Tax Lot: 2S134AD05400).

RECOMMENDATION:

Based on the analysis and findings, as well as the application materials demonstrating compliance with the applicable review criteria, staff respectfully recommend approval of the subject Conditional Use Permit application (CUP 25-0001), subject to the recommended conditions of approval in the attached written order:

CUP – 1 The approved CUP is limited to a water reservoir, with a maximum height of 75 feet listed in TDC Table 40-1.

CUP – 2 The proposed development must comply with the Environmental Regulations of TDC Chapter 63.

CUP – 3 An approved Architectural Review application in substantial conformance to the site plan (Exhibit A2) and meeting current Tualatin Development Code standards requirements at the time the application is submitted must be obtained for use of the site and site development.

CUP – 4 A conditional use permit automatically is null and void two years after the effective date upon which it was granted, unless the applicant, or successor in interest, has done one of the following within two years of the effective date of the Conditional Use Permit:

- i. Secured a building permit and commenced construction of the building or structure in conformance of the building permit and conditional use permit.
- ii. Commenced the activity or installation of the facility or structure authorized by the conditional use permit.
- iii. Submitted a request for an extension of time on the conditional use permit to avoid the permit's becoming null and void.

EXECUTIVE SUMMARY:

- The subject proposal is a Type-III land use application.
- The hearing is a quasi-judicial procedure.
- The subject site is approximately 4.75-acres. The property takes access from SW 108th Avenue via an

existing driveway.

- The Applicant, AKS Engineering & Forestry, LLC, on behalf of the City of Tualatin, proposes a Conditional Use Permit application to allow a new water storage reservoir and pump station in the Low Density Residential (RL) Planning District. According to Tualatin Development Code (TDC) Table 40-1 water reservoirs with a maximum height of 75 feet are a permitted conditional use in the RL zone.
- The applicant has provided draft site plan (Exhibit A2) of how they would like to utilize the property with a future Architectural Review application.

OUTCOMES OF DECISION:

Approval of the subject Conditional Use Permit (CUP 25-0001) will allow for the use of this site for a new water storage reservoir, with a maximum height of 75 feet, and a pump station

ALTERNATIVES TO RECOMMENDATION:

The Planning Commission may alternately:

- Approve CUP 25-0001 with further amendments or conditions;
- Deny CUP 25-0001; or
- Continue the hearing to a later date.

FINANCIAL IMPLICATIONS:

No financial impact is expected.

ATTACHMENTS:

- Attachment A – Presentation
- Attachment B – Findings and Analysis
- Attachment C – Final Order
- Exhibit A1 – Narrative
- Exhibit A2 – Preliminary Plans
- Exhibit A3 – Supporting Documents
- Exhibit A4 – Water System Master Plan Excerpt
- Exhibit B – Public Notice
- Exhibit C – Clean Water Services Comments



**ANALYSIS AND FINDINGS
CONDITIONAL USE PERMIT (CUP 25-0001)**

July 16, 2025

Case #:	CUP 25-0001
Project:	SW 108 th Avenue Water Reservoir & Pump Station
Location:	22675 SW 108 th Avenue
Applicant:	AKS Engineering & Forestry, LLC, on behalf of the City of Tualatin

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Arrangements can be made to provide these materials in alternative formats such as large type or audio recording. Please contact the Planning Division at 503.691.3026 and allow as much lead time as possible.



I. INTRODUCTION

Applicable Criteria

The following Chapters of the Tualatin Development Code (TDC) are applicable to the subject proposal:

- TDC 32: Procedures
- TDC 33: Applications & Approval Criteria
- TDC 40: Low Density Residential (RL) Zone
- TDC 63: Industrial Uses and Manufacturing Zones – Environmental Regulations

Site Description

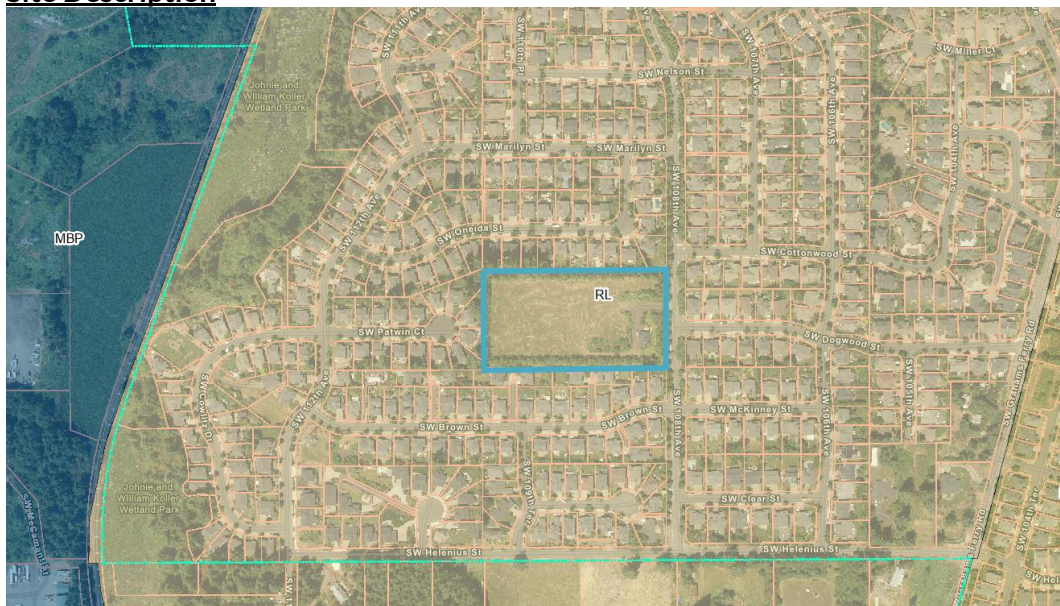


Figure 1 Aerial view of site with zoning (TualGIS)

The site at 22675 SW 108th Avenue (Tax Lot: 2S134AD05400) is approximately 4.75 acres and is zoned Low Density Residential (RL). The site, owned by the City of Tualatin, is comprised of an existing well house and stormwater facility. The majority of the site is unimproved lawn, with trees and vegetation providing screening along the property boundary. The site takes access from SW 108th Avenue via an existing paved driveway and on-site vehicular circulation area on the eastern border.

Proposed Project

AKS Engineering & Forestry, LLC, on behalf of the City of Tualatin (property owner), proposes a Conditional Use Permit application to allow a new 72'-6" tall water storage reservoir and pump station in the Low Density Residential (RL) Planning District. Water reservoirs with a maximum height of 75 feet are conditionally permitted in the Low Density Residential (RL) as identified in Tualatin Development Code (TDC) Table 40-1.

As demonstrated by the City of Tualatin Water System Master Plan (Exhibit A4), the 108th Water Reservoir and Pump Station Project provides a needed piece of the City of Tualatin's water infrastructure by constructing a 2.5-million-gallon reservoir and pump station at the Aquifer

Storage and Recovery (ASR) site located within the C Level pressure zone to serve the B and C Level pressure zones. The infrastructure will address storage deficiencies across the A, B, and C Level pressure zones, providing essential water supply reliability and resilience, particularly for firefighting capabilities. The new facility will mitigate the risks associated with single-point failures in the current water distribution system. By constructing the new reservoir and pump station, Tualatin seeks to enhance overall water supply reliability, resilience, and capacity to support both current needs and future growth.

The planned future improvements include the construction of a 2.5-million-gallon, 72'-6" tall, water reservoir at the existing ASR site within the C Level pressure zone and a new pump station to facilitate water transfer from the B Level to the C Level pressure zone. Associated hardscaping and landscaping improvements are also proposed. Any site development will require a Type II Architectural Review process and approval.

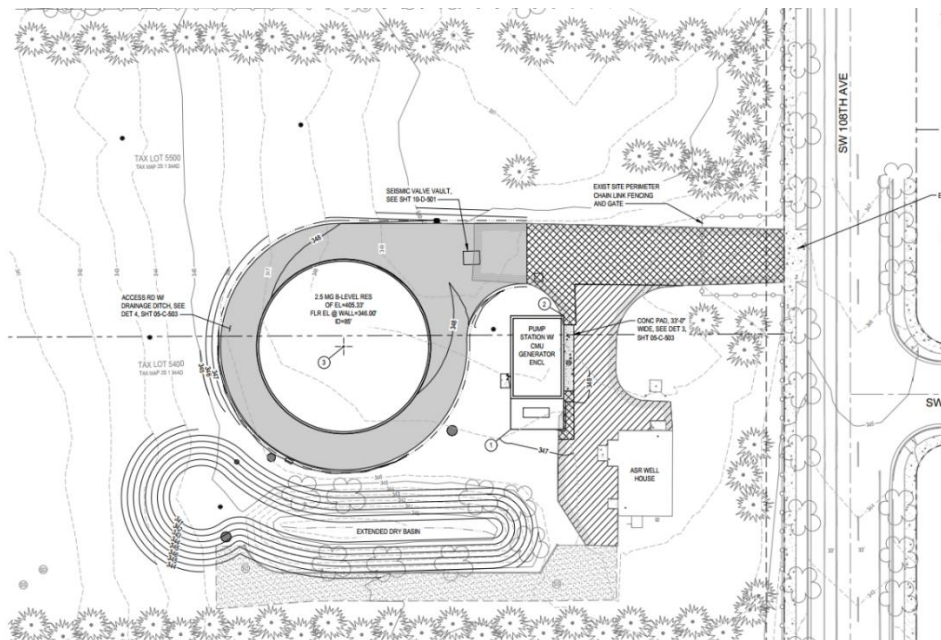


Figure 2 Site Plan Overview of future development

Previous Land Use Actions

- CUP 01-06 – Water Tower and Public Park – Expired.
- AR 07-20 – City of Tualatin Aquifer Storage and Recovery Well

Surrounding Uses

Adjacent land uses include:

North: Low Density Residential (RL)

- Residential Subdivision

South: Low Density Residential (RL)
 • Residential Subdivision

West: Low Density Residential (RL)
 • Residential Subdivision

East: Low Density Residential (RL)
 • Residential Subdivision

Exhibit List

- Exhibit A1 – Narrative
- Exhibit A2 – Preliminary Plans
- Exhibit A3 – Supporting Documents
- Exhibit A4 – Water System Master Plan Excerpt
- Exhibit B – Public Notice
- Exhibit C – Clean Water Services Comments

II. FINDINGS

Findings reference the Tualatin Development Code (TDC), unless otherwise noted.

Chapter 32: Procedures

[...]

Section 32.010 – Purpose and Applicability.

[...]

(2) **Applicability of Review Procedures.** All land use and development permit applications and decisions, will be made by using the procedures contained in this Chapter. The procedure “type” assigned to each application governs the decision-making process for that permit or application. There are five types of permit/application procedures as described in subsections (a) through (e) below. Table 32-1 lists the City’s land use and development applications and corresponding review procedure(s).

[...]

(c) *Type III Procedure (Quasi-Judicial Review—Public Hearing).* Type III procedure is used when the standards and criteria require discretion, interpretation, or policy or legal judgment. Quasi-Judicial decisions involve discretion but implement established policy. Type III decisions are made by the Planning Commission or Architectural Review Board and require public notice and a public hearing, with an opportunity for appeal to the City Council.

[...]

(3) **Determination of Review Type.** Unless specified in Table 32-1, the City Manager will determine whether a permit or application is processed as Type I, II, III, IV-A or IV-B based on the descriptions above. Questions regarding the appropriate procedure will be resolved in favor of the review type providing the widest notice and opportunity to participate. An applicant may choose to elevate a Type I or II application to a higher numbered review type, provided the applicant pays the appropriate fee for the selected review type.

Table 32-1 – Applications Types and Review Procedures

Application / Action	Procedure Type	Decision Body*	Appeal Body*	Pre-Application Conference Required	Neighborhood/Developer Mtg Required	Applicable Code Chapter
Architectural Review						
Conditional Use Permit	III	PC	CC	Yes	Yes	TDC 33.040
[...]						
* City Council (CC); Planning Commission (PC); Architectural Review Board (ARB); City Manager or designee (CM); Land Use Board of Appeals (LUBA).						

Finding:

The proposed Conditional Use Permit (CUP) application would allow for a water storage reservoir and pump station in the Low Density Residential (RL) Planning District. According to Table 40-1 in Tualatin Development Code (TDC) 40.200, a Conditional Use Permit is required for the proposed use of a water

reservoir with a maximum height of 75 feet. TDC Table 32-1 lists Conditional Use Permits as a Type III review procedure requiring the Planning Commission to conduct a public hearing and make the final decision on the application. The application has been processed according to the applicable section of the TDC for Type III review procedures. This standard is met.

Section 32.030 – Time to Process Applications.

(1) Time Limit - 120-day Rule. The City must take final action on all Type II, Type III, and Type IV-A land use applications, as provided by ORS 227.178, including resolution of all local appeals, within 120 days after the application has been deemed complete under TDC 32.160, unless the applicant provides written request or consent to an extension in compliance with ORS 227.178. (Note: The 120-day rule does not apply to Type IV-B (Legislative Land Use) decisions.)

[...]

(3) Time Periods. "Days" means calendar days unless otherwise specified. In computing time periods prescribed or allowed by this Chapter, the day of the act or event from which the designated period of time begins is not included. The last day of the period is included, unless it is a Saturday, Sunday, or a legal holiday, in which case the period runs until the end of the next day that is not on a weekend or City recognized legal holiday.

Finding:

The application was deemed complete on May 29, 2025. The final action on this application must take place within 120 days unless the application requests an extension in compliance with ORS 227.178. The 120-day decision date is September 26, 2025. These standards are met.

Section 32.110 – Pre-Application Conference.

(1) Purpose of Pre-Application Conferences. Pre-application conferences are intended to familiarize applicants with the requirements of the TDC; to provide applicants with an opportunity discuss proposed projects in detail with City staff; and to identify approval criteria, standards, and procedures prior to filing a land use application. The pre-application conference is intended to be a tool to assist applicants in navigating the land use process, but is not intended to be an exhaustive review that identifies or resolves all potential issues, and does not bind or preclude the City from enforcing any applicable regulations or from applying regulations in a manner differently than may have been indicated at the time of the pre-application conference.

(2) When Mandatory. Pre-application conferences are mandatory for all land use actions identified as requiring a pre-application conference in Table 32-1. An applicant may voluntarily request a pre-application conference for any land use action even if it is not required.

(3) Timing of Pre-Application Conference. A pre-application conference must be held with City staff before an applicant submits an application and before an applicant conducts a Neighborhood/Developer meeting.

(4) Application Requirements for Pre-Application Conference.

(a) Application Form. Pre-application conference requests must be made on forms provided by the City Manager.

(b) Submittal Requirements. Pre-application conference requests must include:

(i) A completed application form;

(ii) Payment of the application fee;

(iii) The information required, if any, for the specific pre-application conference sought;
and

(iv) Any additional information the applicant deems necessary to demonstrate the nature and scope of the proposal in sufficient detail to allow City staff to review and comment.

(5) Scheduling of Pre-Application Conference. Upon receipt of a complete application, the City Manager will schedule the pre-application conference. The City Manager will coordinate the involvement of city departments, as appropriate, in the pre-application conference. Pre-application conferences are not open to the general public.

(6) Validity Period for Mandatory Pre-Application Conferences; Follow-Up Conferences. A follow-up conference is required for those mandatory pre-application conferences that have previously been held when:

- (a) An application relating to the proposed development that was the subject of the pre-application conference has not been submitted within six (6) months of the pre-application conference;
- (b) The proposed use, layout, and/or design of the proposal have significantly changed; or
- (c) The owner and/or developer of a project changes after the pre-application conference and prior to application submittal.

Finding:

A Pre-Application Meeting is mandatory. The applicant participated in a Pre-Application Meeting on January 8, 2025. The application for the Conditional Use Permit was subsequently submitted on May 12, 2025. These standards are met.

Section 32.120 – Neighborhood/Developer Meetings.

(1) Purpose. The purpose of this meeting is to provide a means for the applicant and surrounding property owners to meet to review a development proposal and identify issues regarding the proposal so they can be considered prior to the application submittal. The meeting is intended to allow the developer and neighbors to share information and concerns regarding the project. The applicant may consider whether to incorporate solutions to these issues prior to application submittal.

(2) When Mandatory. Neighborhood/developer meetings are mandatory for all land use actions identified in Table 32-1 as requiring a neighborhood/developer meeting. An applicant may voluntarily conduct a neighborhood/developer meeting even if it is not required and may conduct more than one neighborhood/developer meeting at their election.

(3) Timing. A neighborhood/developer meeting must be held after a pre-application meeting with City staff, but before submittal of an application.

(4) Time and Location. Required neighborhood/developer meetings must be held within the city limits of the City of Tualatin at the following times:

- (a) If scheduled on a weekday, the meeting must begin no earlier than 6:00 p.m.
- (b) If scheduled on a weekend, the meeting must begin between 10:00 a.m. and 6:00 p.m.

(5) Notice Requirements.

(a) The applicant must provide notice of the meeting at least 14 calendar days and no more than 28 calendar days before the meeting. The notice must be by first class mail providing the date, time, and location of the meeting, as well as a brief description of the proposal and its location. The applicant must keep a copy of the notice to be submitted with their land use application.

(b) The applicant must mail notice of a neighborhood/developer meeting to the following persons:

- (i) All property owners within 1,000 feet measured from the boundaries of the subject property;
 - (ii) All property owners within a platted residential subdivision that is located within 1,000 feet of the boundaries of the subject property. The notice area includes the entire subdivision and not just those lots within 1,000 feet. If the residential subdivision is one of two or more individually platted phases sharing a single subdivision name, the notice area need not include the additional phases; and
 - (iii) All designated representatives of recognized Citizen Involvement Organizations as established in TMC Chapter 11-9.
- (c) The City will provide the applicant with labels for mailing for a fee.
- (d) Failure of a property owner to receive notice does not invalidate the neighborhood/developer meeting proceedings.
- (6) Neighborhood/Developer Sign Posting Requirements. The applicant must provide and post on the subject property, at least 14 calendar days before the meeting. The sign must conform to the design and placement standards established by the City for signs notifying the public of land use actions in TDC 32.150.
- (7) Neighborhood/Developer Meeting Requirements. The applicant must have a sign-in sheet for all attendees to provide their name, address, telephone number, and email address and keep a copy of the sign-in sheet to provide with their land use application. The applicant must prepare meeting notes identifying the persons attending, those commenting and the substance of the comments expressed, and the major points that were discussed. The applicant must keep a copy of the meeting notes for submittal with their land use application.

Finding:

The applicant provided evidence that a Neighborhood/Developer Meeting was held on March 12, 2025. The applicant has provided documentation of sign posting, mailed notification, sign-in sheet, and neighborhood/developer meeting notes in compliance with this section of the Tualatin Development Code in Exhibit A3. These standards are met.

Section 32.130 – Initiation of Applications.

- (1) Type I, Type II, Type III, and Type IV-A Applications. Type I, Type II, Type III, and Type IV-A applications may be submitted by one or more of the following persons:
- (a) The owner of the subject property;
 - (b) The contract purchaser of the subject property, when the application is accompanied by proof of the purchaser's status as such and by the seller's written consent;
 - (c) A lessee in possession of the property, when the application is accompanied by the owners' written consent; or
 - (d) The agent of any of the foregoing, when the application is duly authorized in writing by a person authorized to submit an application by paragraphs (a), (b) or (c) of this subsection, and accompanied by proof of the agent's authority.

[...]

Finding:

The applicant has provided a title report within Exhibit A3 showing the City of Tualatin as the current owner of the subject site. The applicant provided a signed land use application from the property owner authorizing AKS Engineering & Forestry, LLC to submit the land use application. This standard is met.

Section 32.140 – Application Submittal.

(1) Submittal Requirements. Land use applications must be submitted on forms provided by the City. A land use application may not be accepted in partial submittals. All information supplied on the application form and accompanying the application must be complete and correct as to the applicable facts. Unless otherwise specified, all of the following must be submitted to initiate completeness review under TDC 32.160:

(a) A completed application form. The application form must contain, at a minimum, the following information:

- (i) The names and addresses of the applicant(s), the owner(s) of the subject property, and any authorized representative(s) thereof;
- (ii) The address or location of the subject property and its assessor's map and tax lot number;
- (iii) The size of the subject property;
- (iv) The comprehensive plan designation and zoning of the subject property;
- (v) The type of application(s);
- (vi) A brief description of the proposal; and
- (vii) Signatures of the applicant(s), owner(s) of the subject property, and/or the duly authorized representative(s) thereof authorizing the filing of the application(s).

(b) A written statement addressing each applicable approval criterion and standard;

(c) Any additional information required under the TDC for the specific land use action sought;

(d) Payment of the applicable application fee(s) pursuant to the most recently adopted fee schedule;

(e) Recorded deed/land sales contract with legal description.

(f) A preliminary title report or other proof of ownership.

(g) For those applications requiring a neighborhood/developer meeting:

- (i) The mailing list for the notice;
- (ii) A copy of the notice;
- (iii) An affidavit of the mailing and posting;
- (iv) The original sign-in sheet of participants; and
- (v) The meeting notes described in TDC 32.120(7).

(h) A statement as to whether any City-recognized Citizen Involvement Organizations (CIOs) whose boundaries include, or are adjacent to, the subject property were contacted in advance of filing the application and, if so, a summary of the contact. The summary must include the date when contact was made, the form of the contact and who it was with (e.g. phone conversation with neighborhood association chairperson, meeting with land use committee, presentation at neighborhood association meeting), and the result;

(i) Any additional information, as determined by the City Manager, that may be required by another provision, or for any other permit elsewhere, in the TDC, and any other information that may be required to adequately review and analyze the proposed development plan as to its conformance to the applicable criteria;

(2) Application Intake. Each application, when received, must be date-stamped with the date the application was received by the City, and designated with a receipt number and a notation of the staff person who received the application.

(3) Administrative Standards for Applications. The City Manager is authorized to establish administrative standards for application forms and submittals, including but not limited to plan details, information detail and specificity, number of copies, scale, and the form of submittal.

Finding:

The applicant submitted an application for a Conditional Use Permit on May 12, 2025, which was deemed complete on May 29, 2025. The general land use and Conditional Use Permit submittal requirements were included in the application. These standards are met.

Section 32.150 - Sign Posting.

- (1) **When Signs Posted.** Signs in conformance with these standards must be posted as follows:
 - (a) Signs providing notice of an upcoming neighborhood/developer meeting must be posted prior to a required neighborhood/developer meeting in accordance with Section 32.120(6); and
 - (b) Signs providing notice of a pending land use application must be posted after land use application has been submitted for Type II, III and IV-A applications.
- (2) **Sign Design Requirements.** The applicant must provide and post a sign(s) that conforms to the following standards:
 - (a) Waterproof sign materials;
 - (b) Sign face must be no less than eighteen (18) inches by twenty-four (24) inches (18" x 24"); and
 - (c) Sign text must be at least two (2) inch font.
- (3) **On-site Placement.** The applicant must place one sign on their property along each public street frontage of the subject property. (Example: If a property adjoins four public streets, the applicant must place a sign at each of those public street frontages for a total of four signs). The applicant cannot place the sign within public right of way.
- (4) **Removal.** If a sign providing notice of a pending land use application disappears prior to the final decision date of the subject land use application, the applicant must replace the sign within forty-eight (48) hours of discovery of the disappearance or of receipt of notice from the City of its disappearance, whichever occurs first. The applicant must remove the sign no later than fourteen (14) days after:
 - (a) The meeting date, in the case of signs providing notice of an upcoming neighborhood/developer meeting; or
 - (b) The City makes a final decision on the subject land use application, in the case of signs providing notice of a pending land use application.

Finding:

The applicant provided certification within Exhibit A3 that signs in conformance with this section of the TDC were placed on site. These standards are met.

Section 32.160 – Completeness Review.

- (1) **Duration.** Except as otherwise provided under ORS 227.178, the City Manager must review an application for completeness within 30 days of its receipt.
- (2) **Considerations.** Determination of completeness will be based upon receipt of the information required under TDC 32.140 and will not be based on opinions as to quality or accuracy. Applications that do not respond to relevant code requirements or standards can be deemed incomplete. A determination that an application is complete indicates only that the application is ready for review on its merits, not that the City will make a favorable decision on the application.
- (3) **Complete Applications.** If an application is determined to be complete, review of the application will commence.

(4) Incomplete Applications. If an application is determined to be incomplete, the City Manager must provide written notice to the applicant identifying the specific information that is missing and allowing the applicant the opportunity to submit the missing information. An application which has been determined to be incomplete must be deemed complete for purposes of this section upon receipt of:

- (a) All of the missing information;
- (b) Some of the missing information and written notice from the applicant that no other information will be provided; or
- (c) Written notice from the applicant that none of the missing information will be provided.

(5) Vesting. If an application was complete at the time it was first submitted, or if the applicant submits additional required information within 180 days of the date the application was first submitted, approval or denial of the application must be based upon the standards and criteria that were in effect at the time the application was first submitted.

(6) Void Applications. An application is void if the application has been on file with the City for more than 180 days and the applicant has not provided the missing information or otherwise responded, as provided in subsection (4) of this section.

[...]

Finding:

The applicant submitted an application for CUP 25-0001 on May 12, 2025. The application was deemed complete on May 29, 2025. These standards are met.

Section 32.230 – Type III Procedure (Quasi-Judicial Review – Public Hearing).

Type III decisions involve the use of discretion and judgment and are made by the Planning Commission or Architectural Review Board after a public hearing with an opportunity for appeal to the City Council. The decision body for each application type is specified in Table 32-1. A hearing under these procedures provides a forum to apply standards to a specific set of facts to determine whether the facts conform to the applicable criteria and the resulting determination will directly affect only a small number of identifiable persons.

- (1) Submittal Requirements.** Type III applications must include the submittal information required by TDC 32.140(1).
- (2) Determination of Completeness.** After receiving an application for filing, the City Manager will review the application will for completeness in accordance with TDC 32.160.
- (3) Written Notice of Public Hearing—Type III.** Once the application has been deemed complete, the City must mail by regular first class mail Notice of a Public Hearing to the following individuals and agencies no fewer than 20 days before the hearing.
 - (a) Recipients:**
 - (i) The applicant and, the owners of the subject property;
 - (ii) All property owners within 1,000 feet measured from the boundaries of the subject property;
 - (iii) All property owners within a platted residential subdivision that is located within 1,000 feet of the boundaries of the subject property. The notice area includes the entire subdivision and not just those lots within 1,000 feet. If the residential subdivision is one of two or more individually platted phases sharing a single subdivision name, the notice area need not include the additional phases;
 - (iv) All recognized neighborhood associations within 1,000 feet from the boundaries of the subject property;

- (v) All designated representatives of recognized Citizen Involvement Organizations as established in TMC Chapter 11-9;
 - (vi) Any person who submits a written request to receive a notice;
 - (vii) Any governmental agency that is entitled to notice under an intergovernmental agreement entered into with the City and any other affected agencies, including but not limited to: school districts; fire district; where the project either adjoins or directly affects a state highway, the Oregon Department of Transportation; and where the project site would access a County road or otherwise be subject to review by the County, then the County; and Clean Water Services; Tri Met; and, ODOT Rail Division and the railroad company if a railroad-highway grade crossing provides or will provide the only access to the subject property. The failure of another agency to respond with written comments on a pending application does not invalidate an action or permit approval made by the City under this Code;
 - (viii) Utility companies (as applicable); and,
 - (ix) Members of the decision body identified in Table 32-1.
- (b) The Notice of a Public Hearing, at a minimum, must contain all of the following information:
- (i) The names of the applicant(s), any representative(s) thereof, and the owner(s) of the subject property;
 - (ii) The street address if assigned, if no street address has been assigned then Township, Range, Section, Tax Lot or Tax Lot ID;
 - (iii) The type of application and a concise description of the nature of the land use action;
 - (iv) A list of the approval criteria by TDC section for the decision and other ordinances or regulations that apply to the application at issue;
 - (v) Brief summary of the local decision making process for the land use decision being made and a general explanation of the requirements for submission of testimony and the procedure for conduct of hearings;
 - (vi) The date, time and location of the hearing;
 - (vii) Disclosure statement indicating that if any person fails to address the relevant approval criteria with enough detail, he or she may not be able to appeal to the Land Use Board of Appeals on that issue, and that only comments on the relevant approval criteria are considered relevant evidence;
 - (viii) The name of a City representative to contact and the telephone number where additional information may be obtained; and
 - (ix) Statement that the application and all documents and evidence submitted to the City are in the public record and available for review, and that copies can be obtained at a reasonable cost from the City; and
 - (x) Statement that a copy of the staff report will be available for inspection at no cost at least seven days prior to the hearing and will be provided at reasonable cost.
- (c) Failure of a person or agency to receive a notice, does not invalidate any proceeding in connection with the application, provided the City can demonstrate by affidavit that required notice was given.

Finding:

After application submittal and completeness review as required by this section, notice for the Type III Planning Commission public hearing regarding the CUP 25-0001 application, was mailed by city staff on

June 4, 2025, and contained the information required by this section (Exhibit B). No public comments were received. These standards are met.

- (4) **Conduct of the Hearing—Type III.** The person chairing the hearing must follow the order of proceedings set forth below. These procedures are intended to provide all interested persons a reasonable opportunity to participate in the hearing process and to provide for a full and impartial hearing on the application before the body. Questions concerning the propriety or the conduct of a hearing will be addressed to the chair with a request for a ruling. Rulings from the chair must, to the extent possible, carry out the stated intention of these procedures. A ruling given by the chair on such question may be modified or reversed by a majority of those members of the decision body present and eligible to vote on the application before the body. The procedures to be followed by the chair in the conduct of the hearing are as follows:
- (a) At the commencement of the hearing, the person chairing the hearing must state to those in attendance all of the following information and instructions:
 - (i) The applicable substantive criteria;
 - (ii) That testimony, arguments and evidence must be directed toward the criteria described in paragraph (i) of this subsection or other criteria in the plan or land use regulation which the person believes to apply to the decision;
 - (iii) That failure to raise an issue accompanied by statements or evidence sufficient to afford the decision maker and the parties an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals based on that issue;
 - (iv) At the conclusion of the initial evidentiary hearing, the decision body must deliberate and make a decision based on the facts and arguments in the public record; and
 - (v) Any participant may ask the decision body for an opportunity to present additional relevant evidence or testimony that is within the scope of the hearing; if the decision body grants the request, it will schedule a date to continue the hearing as provided in TDC 32.230(4)(e), or leave the record open for additional written evidence or testimony as provided TDC 32.230(4)(f).
 - (b) The public is entitled to an impartial decision body as free from potential conflicts of interest and pre-hearing ex parte (outside the hearing) contacts as reasonably possible. Where questions related to ex parte contact are concerned, members of the decision body must follow the guidance for disclosure of ex parte contacts contained in ORS 227.180. Where a real conflict of interest arises, that member or members of the decision body must not participate in the hearing, except where state law provides otherwise. Where the appearance of a conflict of interest is likely, that member or members of the decision body must individually disclose their relationship to the applicant in the public hearing and state whether they are capable of rendering a fair and impartial decision. If they are unable to render a fair and impartial decision, they must be excused from the proceedings.
 - (c) Presenting and receiving evidence.
 - (i) The decision body may set reasonable time limits for oral presentations and may limit or exclude cumulative, repetitious, irrelevant, or personally derogatory testimony or evidence;

- (ii) No oral testimony will be accepted after the close of the public hearing. Written testimony may be received after the close of the public hearing only as provided by this section; and
- (iii) Members of the decision body may visit the property and the surrounding area, and may use information obtained during the site visit to support their decision, if the information relied upon is disclosed at the beginning of the hearing and an opportunity is provided to dispute the evidence.
- (d) The decision body, in making its decision, must consider only facts and arguments in the public hearing record; except that it may take notice of facts not in the hearing record (e.g., local, state, or federal regulations; previous City decisions; case law; staff reports). Upon announcing its intention to take notice of such facts in its deliberations, it must allow persons who previously participated in the hearing to request the hearing record be reopened, as necessary, to present evidence concerning the newly presented facts.
- (e) If the decision body decides to continue the hearing, the hearing must be continued to a date that is at least seven days after the date of the first evidentiary hearing (e.g., next regularly scheduled meeting). An opportunity must be provided at the continued hearing for persons to present and respond to new written evidence and oral testimony. If new written evidence is submitted at the continued hearing, any person may request, before the conclusion of the hearing, that the record be left open for at least seven days, so that he or she can submit additional written evidence or arguments in response to the new written evidence. In the interest of time, after the close of the hearing, the decision body may limit additional testimony to arguments and not accept additional evidence.
- (f) If the decision body leaves the record open for additional written testimony, the record must be left open for at least seven days after the hearing. Any participant may ask the decision body in writing for an opportunity to respond to new evidence (i.e., information not disclosed during the public hearing) submitted when the record was left open. If such a request is filed, the decision body must reopen the record, as follows:
 - (i) When the record is reopened to admit new evidence or arguments (testimony), any person may raise new issues that relate to that new evidence or testimony;
 - (ii) An extension of the hearing or record granted pursuant to this section is subject to the limitations of TDC 32.030, unless the applicant waives his or her right to a final decision being made within the required timeframe; and
 - (iii) If requested by the applicant, the decision body must grant the applicant at least seven days after the record is closed to all other persons to submit final written arguments, but not evidence, provided the applicant may expressly waive this right.

Finding:

The Planning Commission will follow the hearing requirements set forth by this section. These standards will be met.

- (5) **Notice of Adoption of a Type III Decision.** Notice of Adoption must be provided to the property owner, applicant, and any person who provided testimony at the hearing or in writing. The Type III Notice of Adoption must contain all of the following information:
 - (a) A description of the applicant's proposal and the City's decision on the proposal, which may be a summary, provided it references the specifics of the proposal and conditions of approval in the public record;

- (b) The address or other geographic description of the property proposed for development, including a map of the property in relation to the surrounding area;
 - (c) A statement that a copy of the decision and complete case file, including findings, conclusions, and conditions of approval, if any, is available for review and how copies can be obtained;
 - (d) The date the decision becomes final, unless a request for appeal is submitted; and
 - (e) The notice must include an explanation of rights to appeal the decision to the City Council in accordance with TDC 32.310.
- (6) **Appeal of a Type III Decision.** Appeal of an Architectural Review Board or Planning Commission Type III Decision to the City Council may be made in accordance with TDC 32.310.
- (7) **Effective Date of a Type III Decision.**
- (a) The written order is the final decision on the application.
 - (b) The mailing date is the date of the order certifying its approval by the decision body.
 - (c) A decision of the Architectural Review Board or Planning Commission is final unless:
 - (i) a written appeal is received at the City offices within 14 calendar days of the date notice of the final decision is mailed; or
 - (ii) The City Manager or a member of the City Council requests a review of the decision within 14 calendar days of the date notice of the final decision is mailed.

Finding:

A final decision and any appeal will follow the requirements of this section. These standards will be met.

Chapter 33: Applications and Approval Criteria

Section 33.040. - Conditional Use Permit.

[...]

- (2) **Applicability.** A request for a conditional use, modification of an existing conditional use permit, or a review of an existing conditional use permit may be initiated by a property owner or the owner's authorized agent.

Finding:

AKS Engineering & Forestry, LLC, on behalf of the property owner, City of Tualatin, has submitted the Conditional Use Permit application for review and consideration by the Tualatin Planning Commission. This standard is met.

- (3) **Procedure Type.** Conditional use permits are processed in accordance with the Type III review procedures in Chapter 32.

Finding:

According to Table 40-1 in Tualatin Development Code (TDC) Section 40.200, "water reservoirs, with a maximum height of 75 feet" require a Conditional Use Permit and follow a Type III review procedure as described in TDC 32.230. This standard is met.

- (4) **Specific Submittal Requirements.** In addition to the general submittal requirements in TDC 32.140 (Application Submittal), the applicant must submit the following additional information and materials:
- (a) Project title;

- (b) The architect, landscape architect and engineer;
- (c) A site plan, drawn to scale, showing the dimensions and arrangement of the proposed development;
- (d) A Service Provider Letter from Clean Water Services (CWS) indicating that a "Stormwater Connection Permit Authorization Letter" will likely be issued; and
- (e) If a railroad-highway grade crossing provides or will provide the only access to the subject property, the applicant must indicate that fact in the application and the City must notify the ODOT Rail Division and the railroad company that the application has been received.

Finding:

The submitted Conditional Use Permit application includes the required listed application materials. These standards are met.

- (5) **Approval Criteria.** The applicant must provide evidence substantiating that all the requirements of this Code relative to the proposed use are satisfied and demonstrate that the proposed use also satisfies the following criteria:
 - (a) The use is listed as a conditional use in the underlying zone;

Finding:

The proposed use is a water reservoir and pump station. According to Tualatin Development Code (TDC) Table 40-1 in TDC 40.200, water reservoirs, with a maximum height of 75 feet, are permitted as a conditional use after obtaining a Conditional Use Permit in the Low Density Residential (RL) Planning District. This standard is met.

- (b) The characteristics of the site are suitable for the proposed use, considering size, shape, location, topography, existence of improvements and natural features;

Finding:

The site characteristics are suitable for the proposed use. The subject site is zoned Low Density Residential (RL), and a water reservoir, with a maximum height of 75 feet, is stated as an appropriate use in the RL zone with an approved Conditional Use Permit. The subject site slopes gradually from east to west and is improved with an existing well house, access driveway, and storm facility. The site is identified in the City's Water System Master Plan (Exhibit A4) as the designated location of a water storage reservoir and pump station. The submitted narrative (Exhibit A1) described the existing perimeter landscaping that screens the existing site improvements and intends to substantially screen the future reservoir and pump station. The proposal includes the installation of additional landscaping to further limit the visual impact of the improvements, specifically the 72'-6" tall water reservoir. Visual impacts will be mitigated with material designs, and both existing and proposed landscaping screening. Therefore, the characteristics of the site are suitable, or can be made to be suitable, for the proposed use. This standard is met.

- (c) The proposed development is timely, considering the adequacy of transportation systems, public facilities, and services existing or planned for the area affected by the use;

Finding:

The subject site is surrounded by the Low Density Residential (RL) Planning District. The project area is boarded by single family residential subdivisions. Page ES-8 of Tualatin's Water System Master Plan (Exhibit A4) describes the City's current storage capacity and recommends the construction of a 2.5-million-gallon reservoir, similar to the existing B reservoirs within the next 10 years to address deficits in all levels. The planned future use and improvements include constructing a 2.5-million-gallon reservoir and pump station at the Aquifer Storage and Recovery (ASR) site located within the C Level pressure zone to serve the B and C Level pressure zones. The infrastructure will address storage deficiencies across the A, B, and C Level pressure zones, providing essential water supply reliability and resilience, particularly for firefighting capabilities. The new facility will mitigate the risks associated with single-point failures in the current water distribution system. By constructing the new reservoir and pump station, the City of Tualatin seeks to enhance overall water supply reliability, resilience, and capacity to support both current needs and future growth. This standard is met.

- (d) The proposed use will not alter the character of the surrounding area in any manner that substantially limits, impairs, or precludes the use of surrounding properties for the primary uses listed in the underlying zone; and**

Finding:

The subject site is improved with an existing well house, access driveway, and storm facility. The eastern portion of the site is currently vacant lawn. The planned future use and improvements include constructing a 2.5-million-gallon reservoir and pump station.

The site is identified in the City's Water System Master Plan (Exhibit A4) as the designated location of a water storage reservoir and pump station. The applicant's narrative (Exhibit A1) stated the reservoir and pump station will be quiet and generate limited to no additional trips to the subject site, outside of trips for permitted public utility maintenance. The use must also conform to the environmental regulations for utility uses in Tualatin Development Code (TDC) Chapter 63. The submitted narrative described the existing perimeter landscaping that screens the existing site improvements and intends to substantially screen the future reservoir and pump station. The proposal includes the installation of additional landscaping to further limit the visual impact of the improvements. Visual impacts will be mitigated with material designs, and both existing and proposed landscaping screening. The narrative concluded that the proposed use and future site development will not limit, impact, or preclude the use of surrounding properties for their primary residential use. In addition, there is no evidence in the record that the proposed water reservoir and associated improvements would substantially limit, impair, or preclude the use of the surrounding properties which are all currently developed with residential and residential accessory uses.

Any future construction would be reviewed as a Type II Architectural Review and would be required to meet the Tualatin Development Code standards at the time of submittal. This standard is met.

- (e) The proposal satisfies those objectives and policies of the Tualatin Comprehensive Plan that are applicable to the proposed use.

Tualatin Comprehensive Plan:

Chapter 3 – Housing & Residential Growth.

GOAL 3.1 HOUSING SUPPLY. Ensure that a 20-year land supply is designated and has urban services planned to support the housing types and densities identified in the Housing Needs Analysis.

POLICY 3.1.6 INFRASTRUCTURE PLANNING. Evaluate future infrastructure planning for consistency with the Housing Needs Analysis and Housing Strategies.

Finding:

The submitted narrative (Exhibit A1) stated that the future reservoir and pump station are necessary infrastructure improvements to serve both existing and future housing in the region. The narrative cited the need for this infrastructure in the City's 2023 Water System Master Plan included as Exhibit A4. The future water reservoir and pump station are planned in accordance with the approved Water System Master Plan.

Future site development applications will be reviewed for compliance with the Tualatin Development Code. These goals and policies are met.

Chapter 4 – Economy, Commercial & Industrial Development.

GOAL 4.1. Ensure an adequate supply of employment land that is available and serviceable as identified in the Economic Opportunities Analysis.

POLICY 4.1.5 Plan for infrastructure development to support commercial and industrial development.

Finding:

The submitted narrative (Exhibit A1) stated the future reservoir and pump station are necessary infrastructure improvements to serve existing and future commercial and industrial land uses in the region. The narrative discussed the water infrastructure needed to support commercial and industrial development in the region was assessed in the Water System Master Plan (Exhibit A4). The future water reservoir and pump station are planned in accordance with the approved Water System Master Plan.

Future site development applications will be reviewed for compliance with the Tualatin Development Code. These goals and policies are met.

Chapter 9 – Public Facilities & Services.

Goal 9.1 WATER QUALITY. Provide safe, high-quality water to all customers.

POLICY 9.1.1 REGULATORY STANDARDS. Ensure that water provided to Tualatin customers meets or exceeds all federal and state water quality regulatory standards.

Finding:

The proposed conditional use permit would allow for a water reservoir with a maximum height of 75 feet in the Low Density Residential (RL) Planning District. The applicant's narrative (Exhibit A1) stated the reservoir and pump station use would provide adequate water capacity for existing and future land uses in the City of Tualatin as the city continues to see growth. The water reservoir and pump station are designed to meet or exceed federal and state water quality regulatory standards. These goals and policies are met.

GOAL 9.2 WATER SUPPLY. Provide a reliable and economical supply of water to meet current and future needs.

POLICY 9.2.1 COORDINATION. Coordinate the provision of water with local and regional water agencies and stakeholders.

Finding:

The proposed water storage reservoir and pump station at the subject site are listed in the adopted Water System Master Plan (Exhibit A4). The City of Tualatin is the local water agency for the project. These goals and policies are met.

POLICY 9.2.2 SUPPLY DEVELOPMENT AND DIVERSIFICATION. Plan for the development of additional water sources to meet projected water demand and diversify the portfolio of water sources that provide water to the City of Tualatin.

Finding:

The applicant's narrative (Exhibit A1) stated that the Water System Master Plan (Exhibit A4) identified the subject site as the optimal location for a planned water storage reservoir and pump station. The Water System Master Plan reported the future reservoir is needed to meet the anticipated water service demand in the City of Tualatin. This policy is met.

POLICY 9.2.3 CAPITAL IMPROVEMENT PROJECTS. Support capital improvement projects that enhance Tualatin's ability to deliver an adequate supply of water to current and future customers.

Finding:

The SW 108th Avenue Water Reservoir and Pump Station project is an approved capital improvement project. This Conditional Use Permit application is required to facilitate the implementation of this capital improvement project. This policy is met.

POLICY 9.2.6 STORAGE AND OPERATIONAL FACILITIES. Provide sufficient opportunity for water storage and operational facilities to ensure supply reliability and serve emergency needs.

Finding:

The provided narrative (Exhibit A1) stated that the planned water storage reservoir and pump station would enhance the water storage capacity to ensure a reliable supply to support firefighting services. This policy is met.

GOAL 9.3 RESILIENCY. Provide a resilient water system to reduce risk posed by natural disaster events.

POLICY 9.3.1 HAZARD MITIGATION. Upgrade existing infrastructure to reduce risk posed by seismic events, climate change, and other hazards.

Finding:

The submitted narrative (Exhibit A1) described the future planned water storage reservoir and pump station. The narrative outlined that the project is intended to mitigate single-point failures in the current water distribution system. The proposal is designed to meet or exceed current seismic standards. These goals and policies are met.

- (6) **Conditions of Approval.** The Hearing Body may impose, in addition to the regulations and standards expressly specified in this chapter, other conditions found necessary to protect the best interests of the surrounding property or neighborhood or the City as a whole. In no event will this Chapter be used as a means to exclude multi-family housing from the City.
- (7) **Compliance with Conditions and Revocations.**
 - (a) Any previously granted conditional use permit may be revoked by the Planning Commission, after a hearing conducted in the manner required for approval of a conditional use permit initially, upon the following grounds:
 - (i) Failure to comply with the conditions of approval;
 - (ii) Discontinuance of the use for a period in excess of two years;
 - (iii) Failure to comply with other applicable provisions of the Tualatin Comprehensive Plan regarding design, dimensional or use requirements; or
 - (iv) A change in the Tualatin Comprehensive Plan or Zone Standards of the zone within which the use is located that have the effect of no longer allowing a new conditional use permit application to be considered in such zone.
 - (b) Revocations initiated under TD(7)(a)(i) or (ii) above must not be initiated for at least six months after approval of the conditional use permit. Revocations initiated under TDC 33.040(7)(a)(i), (ii) and (iii) above has the effect of making the previously granted conditional use permit void until a new application is submitted and granted. Revocations initiated under TDC 33.040(7)(a)(iv) above has the effect of making the previously granted conditional use a nonconforming use.
- (8) **Automatic Termination of Conditional Use; Request for Extension.**
 - (a) Unless otherwise provided by the Planning Commission in the written decision granting approval of the conditional use permit, a conditional use permit automatically is null and void two years after the effective date upon which it was granted, unless the applicant, or successor in interest, has done one of the following within two years of the effective date of the conditional use permit:
 - (i) Secured a building permit and commenced construction of the building or structure in conformance of the building permit and conditional use permit.
 - (ii) Commenced the activity or installation of the facility or structure authorized by the conditional use permit.
 - (iii) Submitted a request for an extension of time on the conditional use permit to avoid the permit's becoming null and void.
 - (b) A request for an extension must be submitted prior to the expiration date of the conditional use permit, as established by the Planning Commission in granting the conditional use permit.

(c) Upon receipt of the request for an extension of time, the Planning Commission will hear the matter under the quasi-judicial procedures in TDC 32.230. The Planning Commission may grant or deny the extension of time, provided the extension of time does not exceed two years.

Finding:

Staff have recommended Conditions of Approval that are found in Section III of Findings & Analysis. The Planning Commission will make the final decision on any recommended conditions, may add or delete conditions, and will make a final decision on this application. Conditional Use Permit applications must abide by this section.

With recommended Condition of Approval CUP-4. These standards are met.

CHAPTER 39 - USE CATEGORIES.

Section 39.620 – Basic Utilities.

- (1) **Characteristics.** Basic Utilities are local and regional infrastructure facilities that must be located in or near the area to which the infrastructure is provided. Utilities may be publicly or privately owned and operated. Most facilities have few or no on-site employees, although treatment plants may be staffed continuously.
- (2) **Examples of Uses.**
 - Electrical substations.
 - High tension electrical power lines.
 - Sewage disposal and conveyance systems.
 - Telephone exchange equipment.
 - Water or sewage pump stations.
 - Water towers and reservoirs.
 - Water quality and flow control facilities.
 - Water or sewage treatment plants.

Finding:

The proposed use is a municipal water reservoir and pump station publicly used to serve the community. The proposed uses are considered “Basic Utilities”. According to Tualatin Development Code (TDC) Table 40-1, Basic Utilities in the Low Density Residential (RL) Planning District are limited to water or sewage pump stations and pressure reading stations. Conditional uses are limited to water reservoirs, with a maximum height of 75 feet. If the Conditional Use Permit is approved, the applicant will be required to complete an Architectural Review for any future site development.

Chapter 40: Low Density Residential (RL) Zone.

Section 40.200 – Use Categories.

- (1) **Use Categories.** Table 40-1 lists use categories Permitted Outright (P) or Conditionally Permitted (C) in the RL zone. Use categories may also be designated as Limited (L) and subject to the limitations listed in Table 40-1 and restrictions identified in TDC 40.210. Limitations may restrict the specific type of use, location, size, or other characteristics of the use category. Use categories which are not listed are prohibited within the zone, except for uses which are found by the City Manager or appointee to be of a similar character and to meet the purpose of this zone, as provided in TDC 31.070.

**Table 40-1
Use Categories in the RL Zone**

USE CATEGORY	STATUS	LIMITATIONS AND CODE REFERENCES
INFRASTRUCTURE AND UTILITIES USE CATEGORIES		
Basic Utilities	P/C (L)	Permitted uses limited to water or sewage pump stations and pressure reading stations. Conditional uses limited to water reservoirs, with a maximum height of 75 feet.

Finding:

The project area is within the Low Density Residential (RL) Planning District.

The applicant's narrative, Exhibit A1, stated that the proposed use would be a new city-owned water storage reservoir and pump station. Tualatin Development Code (TDC) Table 40-1 lists water reservoirs with a maximum height of 75 feet as a Conditional Use in the RL zone, subject to a Conditional Use Permit under the infrastructure and utilities use category.

With recommended Condition of Approval CUP-1, these standards are met.

Section 40.210 - Additional Limitations on Uses.

- (1) **Agricultural Uses.** Agricultural uses may be permitted uses or conditional uses depending on the nature of the use.
 - (a) **Permitted Uses.** The following uses are permitted outright:
 - (i) Agricultural uses of land such as gardening and horticulture.
 - (ii) Raising of chickens as allowed by the Tualatin Municipal Code.
 - (b) **Conditional Uses.** The following uses are conditional uses within areas designated on Comprehensive Plan Map 10-6:
 - (i) **Conditional Use of Agricultural Animals.** Raising of agricultural animals, limited to cattle, horses and sheep. The City Council may limit the number of animals to be allowed on a specific parcel of property.
 - (ii) **Agricultural structures such as barns, stables, sheds, but excluding feed lots.** Feed lots are prohibited.

Finding:

The proposed use does not include agricultural uses. This standard is not applicable.

Section 40.300 - Development Standards.

- (1) Development standards in the RL zone are listed in Table 40-3. Additional standards may apply to some uses and situations, see TDC 40.310. The standards in Table 40-3 may be modified for flexible lot subdivisions as provided in TDC 36.410 and for greenway and natural area dedications as provided in TDC 36.420.

- (2) **Exceptions.** Existing nonconforming situations may be developed according to the provisions of TDC Chapter 35.

Table 40-3
Development Standards in the RL Zone

STANDARD	REQUIREMENT	LIMITATIONS AND CODE REFERENCES
MINIMUM LOT SIZE		
Conditional Uses	6,000 square feet	
Infrastructure and Utilities Uses	—	As determined through the Subdivision, Partition, or Lot Line Adjustment process.
MINIMUM LOT WIDTH		
Conditional Uses	50 feet	May be reduced to 30 feet if on a cul-de-sac. Average minimum lot width is 30 feet.
MINIMUM SETBACKS		
Conditional Uses	—	As determined through Architectural Review process. No minimum setback must be greater than 50 feet. Parking and vehicular circulation areas must be set back a minimum of ten feet from any public right-of-way or property line.
MAXIMUM STRUCTURE HEIGHT		
All Uses	35 feet	May be increased to a maximum of 50 feet through Type II Architectural Review if all setbacks are not less than 1½ times the height of the building.
MAXIMUM LOT COVERAGE		
Conditional Uses	40%	

Finding:

The Low Density Residential (RL) Planning District development standards located in TDC Table 40-3 would apply to any future development of the site through an Architectural Review. The Architectural Review application would be reviewed against all applicable Tualatin Development Code standards including TDC Chapter 40.

With recommended Condition of Approval CUP-3, these standards are met.

Chapter 63: Industrial Uses and Utilities and Manufacturing Zones – Environmental Regulations [...]

Section 63.020 – Applicability.

The regulations of this Chapter apply to:

- (1) All industrial uses and utilities, regardless of the Planning District in which they are located, and
- (2) All Manufacturing Planning Districts, regardless of the use category.

TDC 63.051. - Noise.

All uses and development must comply with the Oregon State Department of Environmental Quality standards relating to noise and the City of Tualatin noise ordinance in, TMC 6-14.

TDC 63.052. - Vibration.

- (1) All uses and development must not cause or permit ground vibration into the property of another person that exceeds the limits set forth below in this section.
 - (a) Ground vibration as measured at the boundary of a residential planning district and an industrial planning district must not exceed 0.01 inches per second (0.00025 meters per second) RMS velocity.
 - (b) Ground vibration as measured at a common property boundary of any two properties within any industrial planning district must not exceed 0.1 inches per second (0.0025 meters per second) RMS velocity.
- (2) *Method of Measurement.* Vibration measurement procedures must conform to the methods described in this section and to procedures approved by the Oregon Department of Environmental Quality.
 - (a) Instrumentation must be capable of measuring RMS value of the vibration velocity over the frequency range of ten to 1,000 hertz.
 - (b) Measurement values must be recorded for a sufficient period of observation to provide a representative sample.
 - (c) Attachment of the vibration transducer to the ground must be by magnetic or screw attachment to a steel bar of a minimum of nine inches (22.9 cm.) in length, driven flush with the ground surface.
- (3) *Exemptions.* The requirements of TDC 63.052(1) do not apply to:
 - (a) Vibration resulting from the operation of any equipment or facility of a surface carrier engaged in interstate commerce by railroad;
 - (b) Vibration resulting from the operation of any road vehicle;
 - (c) Vibration resulting from construction activities and use of construction equipment; and
 - (d) Vibration resulting from roadway maintenance and repair equipment.

TDC 63.053 - Air Quality.

- (1) *Restrictions.* All uses and development must comply with the most recent air quality standards adopted by the Oregon Department of Environmental Quality. Plans of construction and operations must comply with the recommendations and regulations of the State Department of Environmental Quality.
- (2) *Method of Measurement.* All measurements of air pollution must be by the procedures and with equipment approved by the State Department of Environmental Quality or equivalent and acceptable methods or measurement approved by the City. Upon request of the City, persons responsible for a suspected source of air pollution must provide quantitative and

qualitative information regarding the discharge that will adequately and accurately describe operation conditions.

TDC 63.054. - Odors.

All uses and development must not emit odors in such quantities as to create a nuisance condition at any point beyond the subject property line of the emitting use.

TDC 63.055. - Heat and Glare.

- (1) All uses and development must conduct all operations producing heat or glare entirely within an enclosed building.(2)All uses and development may utilize exterior lighting, but the exterior lighting must be screened, baffled or directed away from residential planning districts.

TDC 63.056. - Storage and Stored Materials.

- (1) All uses and development must store all materials, including wastes, in a manner that will not attract or aid the propagation of insects or rodents, or in any other way create a health or safety hazard.
(2) All uses and development that utilize open storage that would otherwise be visible at the property line must conceal it from view at the abutting property line by a sight obscuring fence not less than six feet high and not accessible to the general public to protect public safety.

TDC 63.057. - Liquid or Solid Waste Materials.

All uses and development are prohibited from disposing waste onto the site or into adjacent drainage ditches, creeks or other natural waterways in violation of State of Oregon DEQ standards, Clean Water Services Standards, City Standards, or in a manner that causes harm to wildlife.

TDC 63.058. - Dangerous Substances.

All uses and development are prohibited from the storage, transfer, or processing of hazardous, toxic, or radioactive waste.

Finding:

The proposed water reservoir and pump station use must comply with Chapter 63 of the Tualatin Development Code. Any future development of the site would be subject to an Architectural Review. The Architectural Review application would be reviewed against all applicable Tualatin Development Code standards including compliance with Chapter 63.

With recommended Condition of Approval CUP-2, these standards are met.

III. RECOMMENDATION

Based on the application materials and analysis and findings presented above, staff finds that the applicable criteria have been met relative to CUP25-0001, and therefore recommends approval of this application with the following Conditions of Approval:

- CUP – 1** The approved CUP is limited to a water reservoir, with a maximum height of 75 feet listed in TDC Table 40-1.
- CUP – 2** The proposed development must comply with the Environmental Regulations of TDC Chapter 63.
- CUP – 3** An approved Architectural Review application in substantial conformance to the site plan (Exhibit A2) and meeting current Tualatin Development Code standards requirements at the time the application is submitted must be obtained for use of the site and site development.
- CUP – 4** A conditional use permit automatically is null and void two years after the effective date upon which it was granted, unless the applicant, or successor in interest, has done one of the following within two years of the effective date of the Conditional Use Permit:
- i. Secured a building permit and commenced construction of the building or structure in conformance of the building permit and conditional use permit.
 - ii. Commenced the activity or installation of the facility or structure authorized by the conditional use permit.
 - iii. Submitted a request for an extension of time on the conditional use permit to avoid the permit's becoming null and void.



SW 108th Water Reservoir & Pump Station

Conditional Use Permit
(CUP 25-0001)

July 16, 2025

Project Description



AKS Engineering & Forestry, LLC, on behalf of the City of Tualatin, proposes a Conditional Use Permit application to allow a new water storage reservoir and pump station in the Low Density Residential (RL) Planning District.

The site is a 4.75-acre lot located at 22675 SW 108th Avenue (Tax Lot: 2S134AD05400).



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A decorative horizontal line with a repeating wavy pattern in a dark teal color.

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Conditional Use Permits (CUP)

- To provide standards for conditional uses of land/structures which, because of their unique characteristics relative to location, design, size, operation, circulation, and public interest, require special consideration.



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Procedures (TDC 32.230)



Type III Conditional Use Permit Review:

- Application submitted on **May 12, 2025**
- Deemed complete on **May 29, 2025**
- Notice of Hearing sent **June 4, 2025**
- Public Hearing **July 16, 2025**
- Final Decision required by **September 26, 2025**



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Conditional Use Request



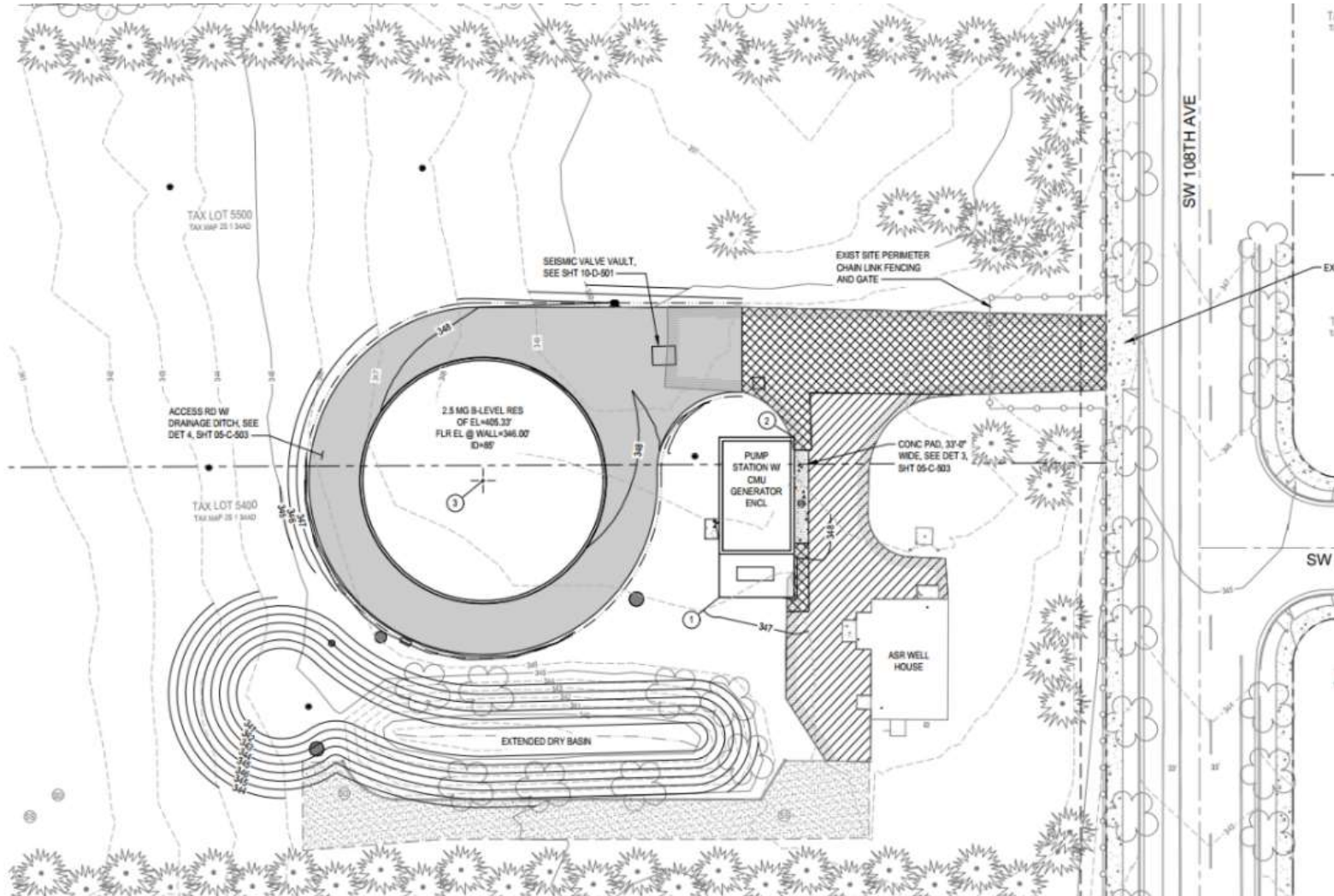
CUP 25-0001:

- Consideration of a Conditional Use Permit for a water reservoir in the Low Density Residential (RL) Planning District.
- The 108th Water Reservoir and Pump Station Project aims to enhance the City of Tualatin's water infrastructure by constructing a 2.5-million-gallon reservoir and pump station with a proposed height of 72'-6".

Table 40-1 Use Categories in the RL Zone		
Infrastructure and Utilities Use Categories		
Basic Utilities		Permitted uses limited to water or sewage pump stations and pressure reading stations.
	P/C(L)	Conditional uses limited to water reservoirs, with a maximum height of 75 feet.

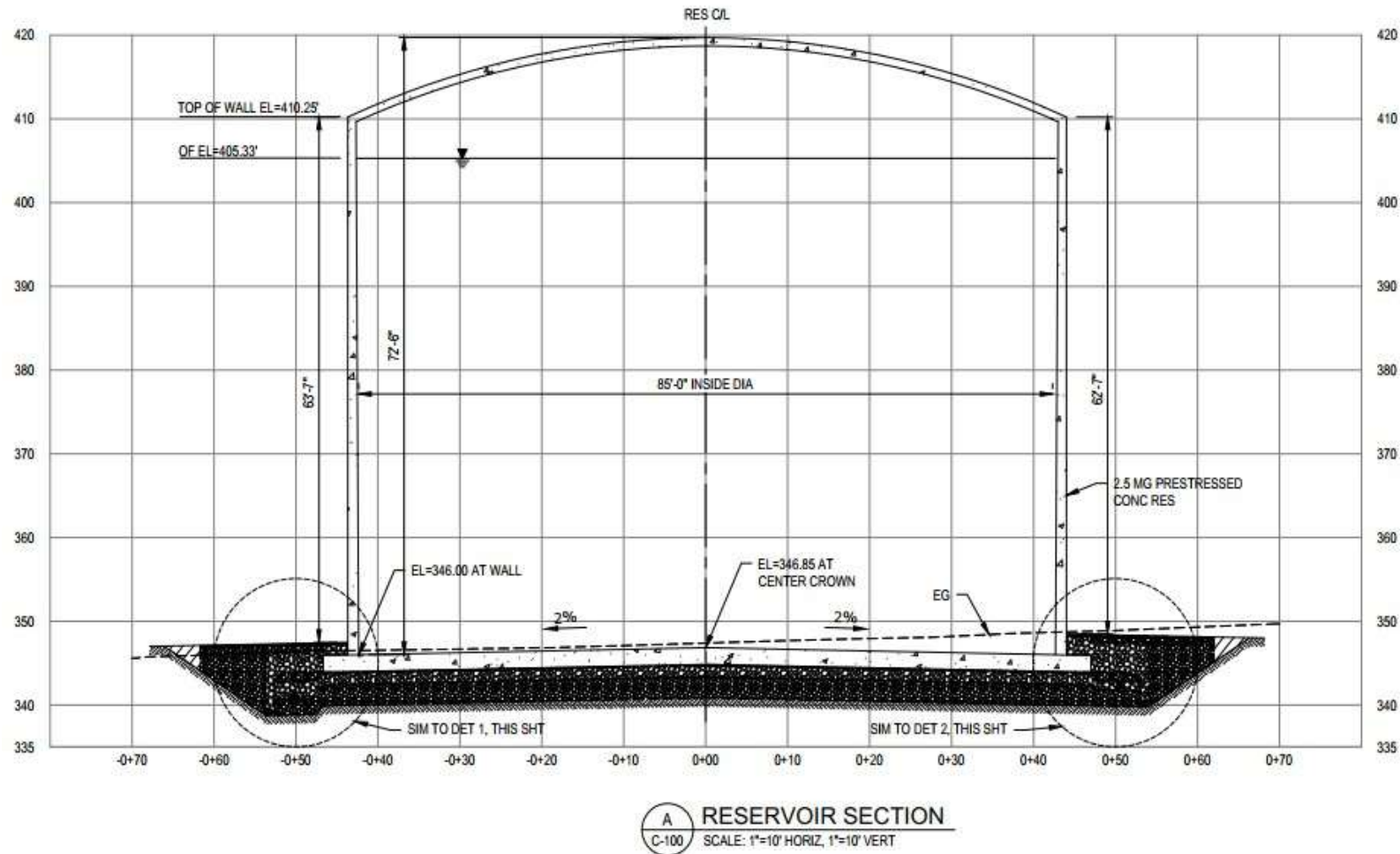


Project Overview



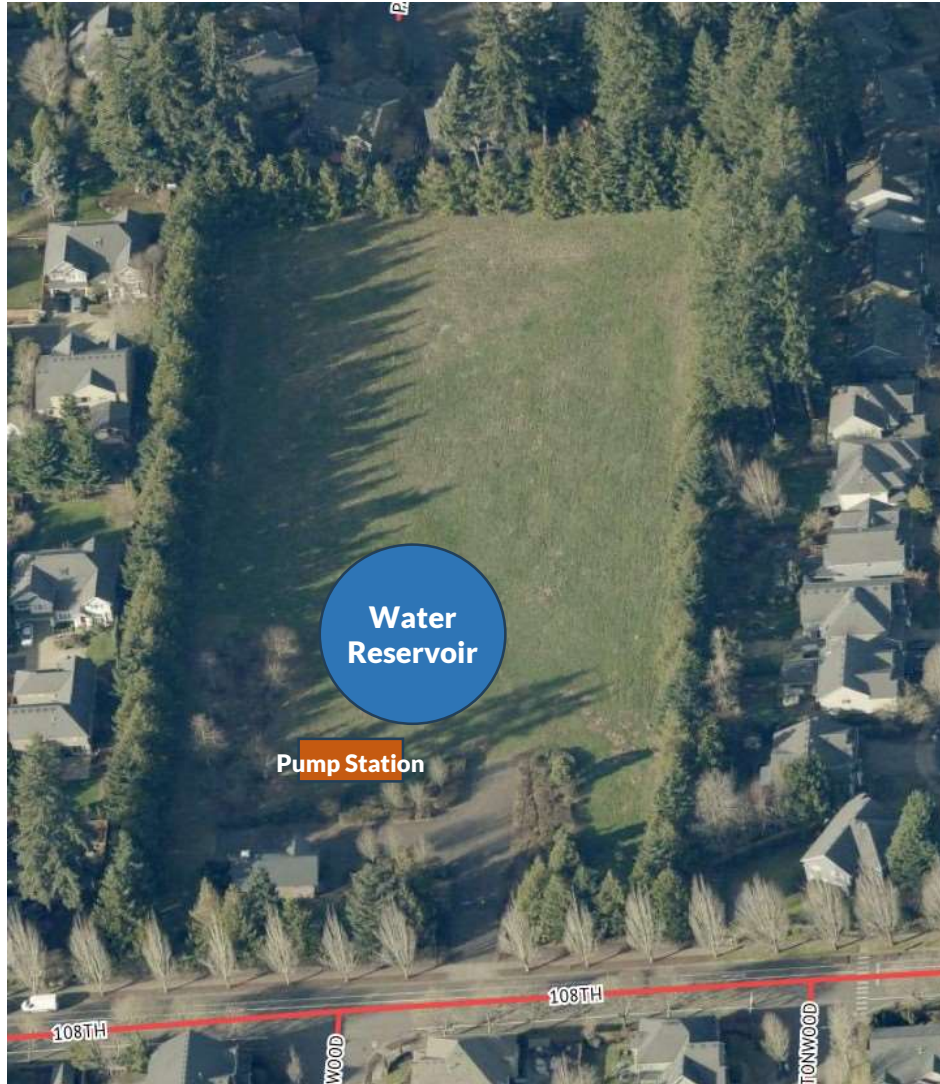
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Project Overview



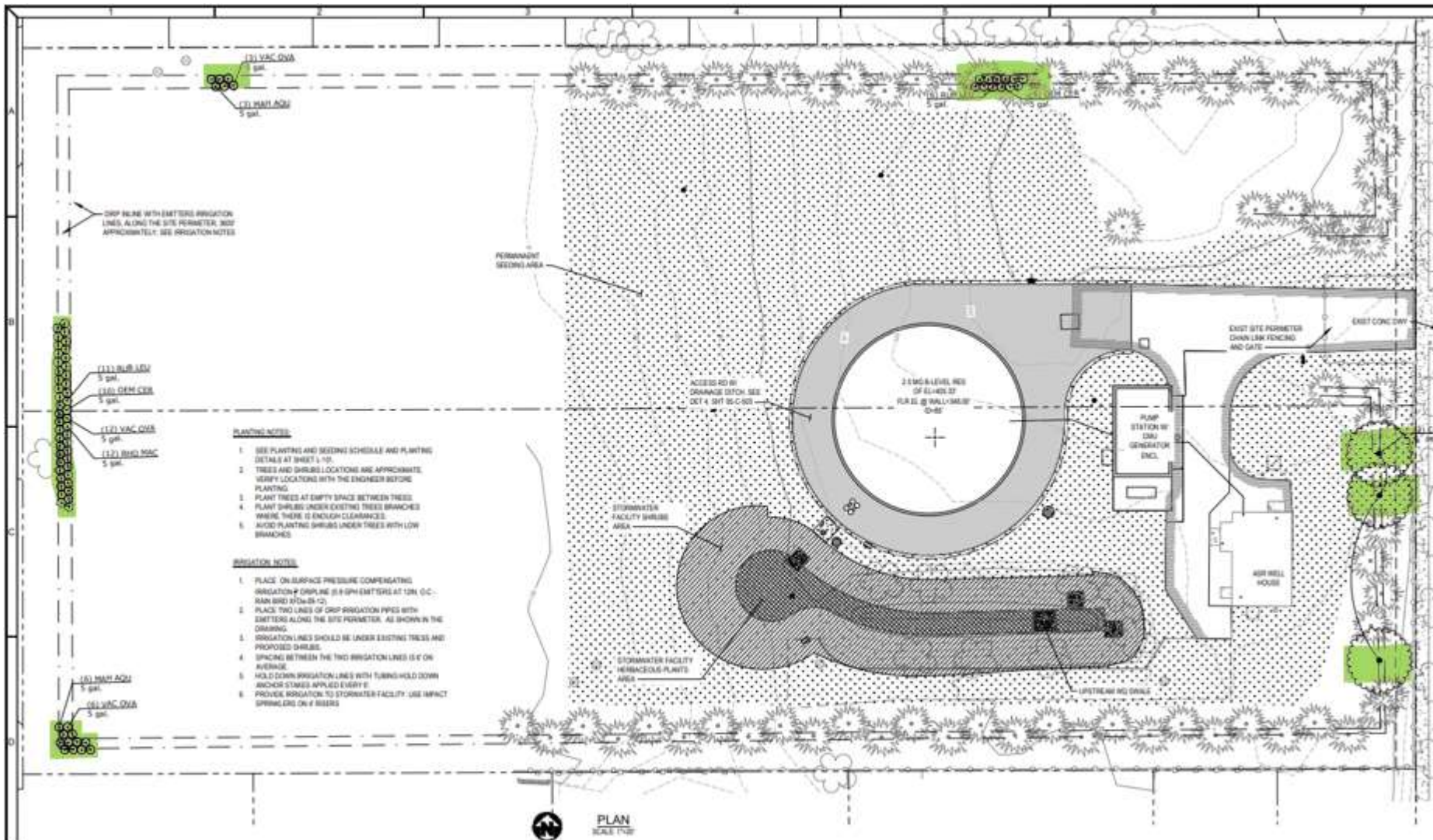
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Project Overview



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Project Overview



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Approval Criteria



Tualatin Development Code 33.040(5):

- (a) The use is listed as a conditional use in the underlying zone;
- (b) The characteristics of the site are suitable for the proposed use, considering size, shape, location, topography, existence of improvements and natural features;
- (c) The proposed development is timely, considering the adequacy of transportation systems, public facilities, and services existing or planned for the area affected by the use;
- (d) The proposed use will not alter the character of the surrounding area in any manner that substantially limits, impairs, or precludes the use of surrounding properties for the primary uses listed in the underlying zone; and



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Approval Criteria



(e) The proposal satisfies those objectives and policies of the Tualatin Comprehensive Plan that are applicable to the proposed use.

Chapter 9 - Public Facilities & Services

Goal 9.1 WATER QUALITY. Provide safe, high-quality water to all customers.

POLICY 9.1.1 REGULATORY STANDARDS. Ensure that water provided to Tualatin customers meets or exceeds all federal and state water quality regulatory standards.

GOAL 9.2 WATER SUPPLY. Provide a reliable and economical supply of water to meet current and future needs.

POLICY 9.2.2 SUPPLY DEVELOPMENT AND DIVERSIFICATION. Plan for the development of additional water sources to meet projected water demand and diversify the portfolio of water sources that provide water to the City of Tualatin.



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Approval Criteria



(e) The proposal satisfies those objectives and policies of the Tualatin Comprehensive Plan that are applicable to the proposed use.

POLICY 9.2.6 STORAGE AND OPERATIONAL FACILITIES. Provide sufficient opportunity for water storage and operational facilities to ensure supply reliability and serve emergency needs.

GOAL 9.3 RESILIENCY. Provide a resilient water system to reduce risk posed by natural disaster events.

POLICY 9.3.1 HAZARD MITIGATION. Upgrade existing infrastructure to reduce risk posed by seismic events, climate change, and other hazards.



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Recommended Conditions of Approval

- **CUP – 1** The approved CUP is limited to a water reservoir, with a maximum height of 75 feet listed in TDC Table 40-1.
- **CUP – 2** The proposed development must comply with the Environmental Regulations of TDC Chapter 63.
- **CUP – 3** An approved Architectural Review application in substantial conformance to the site plan (Exhibit A2) and meeting current Tualatin Development Code standards requirements at the time the application is submitted must be obtained for use of the site and site development.
- **CUP – 4** A conditional use permit automatically is null and void two years after the effective date upon which it was granted, unless the applicant, or successor in interest, has done one of the following within two years of the effective date of the Conditional Use Permit:
 - Secured a building permit and commenced construction of the building or structure in conformance of the building permit and conditional use permit.
 - Commenced the activity or installation of the facility or structure authorized by the conditional use permit.
 - Submitted a request for an extension of time on the conditional use permit to avoid the permit's becoming null and void.



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TPC ACTION



The Planning Commission is asked to make a decision on CUP 25-0001. The TPC may issue:

- *Approval either as proposed or with modifications;*
- *Denial; or*
- *Continue the hearing to a later date for further consideration.*



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NOTICE OF PLANNING COMMISSION DECISION

****APPROVAL WITH CONDITIONS****

July 16, 2025

Case #:	CUP 25-0001
Project:	SW 108 th Avenue Water Reservoir & Pump Station
Location:	22675 SW 108 th Avenue, Tax Lot: 2S134AD05400
Applicant:	AKS Engineering & Forestry, LLC
Owner:	City of Tualatin

I.FINDINGS

- A. An application for Conditional Use Permit (CUP 25-0001) was filed by AKS Engineering & Forestry, LLC, on behalf of the City of Tualatin, to allow a water storage reservoir and pump station in the Low Density Residential (RL) Planning District. Water reservoirs with a maximum height of 75 feet are conditionally permitted in the Low Density Residential (RL) as identified in Tualatin Development Code (TDC) Table 40-1.
- B. The Tualatin Planning Commission (TPC) conducted a noticed quasi-judicial public hearing on July 16, 2025, in conformance with the laws of the State of Oregon and the City of Tualatin.
- C. The Tualatin Planning Commission found with Conditions of Approval in the Findings & Analysis the proposed use will comply with the standards of the TDC. The TPC found that the staff presentation, testimony at the public hearing, materials in the record, and discussion on the record, support the approval of CUP25-0001 with the conditions of approval CUP-1 through CUP-4.

II.ACTION

The Tualatin Planning Commission approves CUP25-0001 and adopts the staff analysis and findings, dated July 16, 2025 with the following Conditions of Approval:

- CUP – 1** The approved CUP is limited to a water reservoir, with a maximum height of 75 feet listed in TDC Table 40-1.
- CUP – 2** The proposed development must comply with the Environmental Regulations of TDC Chapter 63.
- CUP – 3** An approved Architectural Review application in substantial conformance to the site plan (Exhibit A2) and meeting current Tualatin Development Code standards requirements at the time the application is submitted must be obtained for use of the site and site development.



CUP – 4 A conditional use permit automatically is null and void two years after the effective date upon which it was granted, unless the applicant, or successor in interest, has done one of the following within two years of the effective date of the Conditional Use Permit:

- i. Secured a building permit and commenced construction of the building or structure in conformance of the building permit and conditional use permit.
- ii. Commenced the activity or installation of the facility or structure authorized by the conditional use permit.
- iii. Submitted a request for an extension of time on the conditional use permit to avoid the permit's becoming null and void.

III. APPEAL

The applicant or any person who submitted written comments or testified orally or in writing at the Tualatin Planning Commission hearing and who may be adversely affected by the Commission's decision may file a request for review of the final decision of the Tualatin Planning Commission to the City Council.

The Tualatin Planning Commission's decision will be final after 14 calendar days from the mailing of this order, unless a written appeal is received by the **Community Development Department Planning Division at 10699 SW SW Herman Road, Tualatin, Oregon, before 5:00 p.m., _____, 2025. The appeal must be submitted on the City appeal form with all the information requested provided thereon, signed by the appellant, and include the applicable appeal fee.** The record and appeal forms are available at the Planning Division offices. The appeal forms must include reasons, current appeal fee, and meet the requirements of Section 32.310 of the Tualatin Development Code. The City Council will review and make a decision. The parties will be notified of the Council meeting date.

ADOPTED THIS 16th DAY OF JULY 2025.

PLANNING COMMISSION
CITY OF TUALATIN

BY: _____
Bill Beers, Chair
Tualatin Planning Commission

City of Tualatin

SW 108th Avenue Water Reservoir & Pump Station

Conditional Use Permit Application

Date: May 2025

Submitted to: City of Tualatin
Planning Division
10699 SW Herman Road
Tualatin, OR 97062

Applicant: City of Tualatin
18880 SW Martinazzi Avenue
Tualatin, OR 97062

AKS Job Number: 11236



12965 SW Herman Road, Suite 100
Tualatin, OR 97062
(503) 563-6151

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Exhibits

Exhibit A: Preliminary Plans

Exhibit B: Application Form and Checklist

Exhibit C: Property Ownership Information

Exhibit D: Washington County Assessor’s Map

Exhibit E: Clean Water Services (CWS) Service Provider Letter

Exhibit F: Pre-Application Meeting Notes

Exhibit G: Neighborhood Meeting Materials

Exhibit H: Excerpt from the City of Tualatin Water System Master Plan

Exhibit I: Lot of Record Information

City of Tualatin

SW 108th Avenue Water Reservoir & Pump Station

Conditional Use Permit Application

Submitted to: City of Tualatin
Planning Division
10699 SW Herman Road
Tualatin, OR 97062

Applicant/Owner: City of Tualatin
18880 SW Martinazzi Avenue
Tualatin, OR 97062

Applicant's Consultants: Consor Engineers
One SW Columbia Street, Suite 1700
Portland, OR 97204

AKS Engineering & Forestry, LLC
12965 SW Herman Road, Suite 100
Tualatin, OR 97062

Contact: Melissa Slotemaker, AICP
Email: slotemakerm@aks-eng.com
Phone: (503) 563-6151

Site Location: 22675 SW 108th Avenue

Washington County Assessor's Map: Map 2S 1 34AD, Tax Lots 5400 and 5500

Site Size: ±4.75 acres

Land Use District: Low Density Residential (RL)



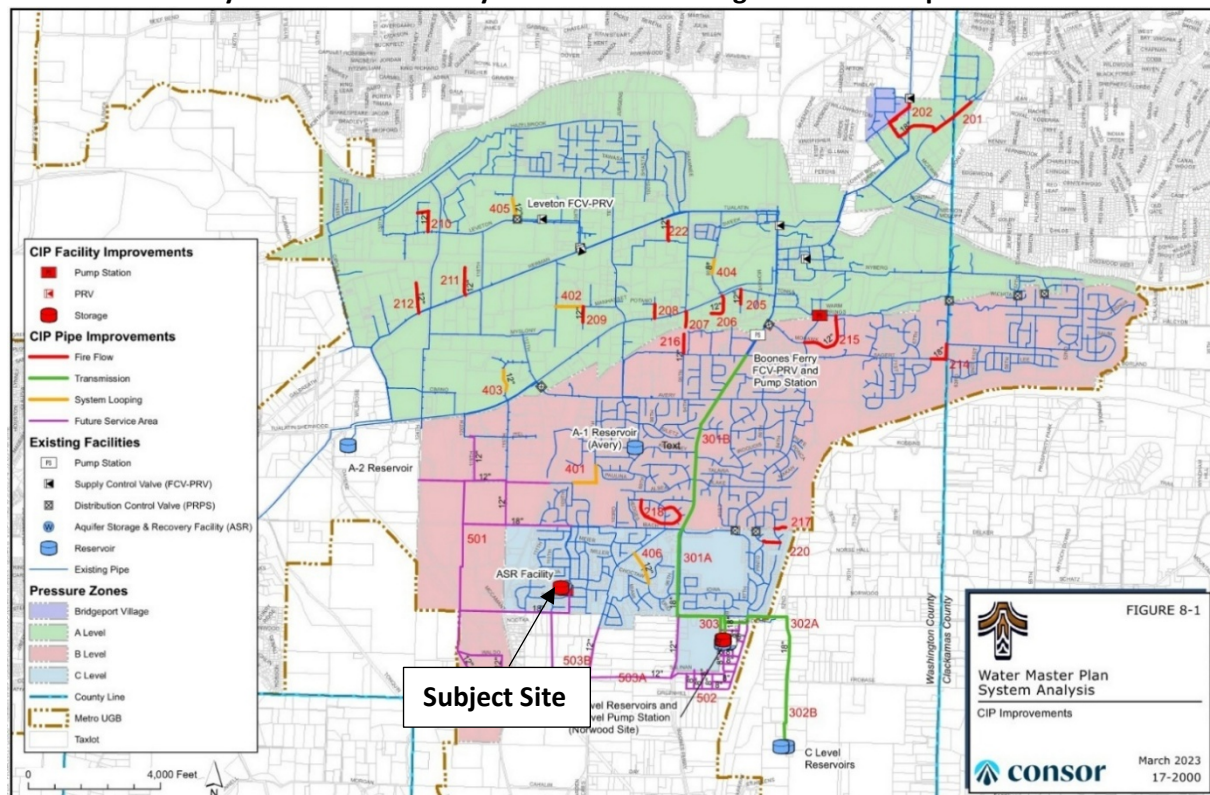
I. Executive Summary

On behalf of the City of Tualatin (City), AKS Engineering & Forestry, LLC (AKS) is submitting this application for a Conditional Use Permit for a new water storage reservoir and pump station on a City-owned property along SW 108th Avenue. As demonstrated by the City of Tualatin Water System Master Plan Figure 8-1 below, the 108th Water Reservoir and Pump Station Project aims to enhance the City of Tualatin's water infrastructure by constructing a 2.5-million-gallon reservoir and pump station at the Aquifer Storage and Recovery (ASR) site located within the C Level pressure zone to serve the B and C Level pressure zones. This infrastructure will address storage deficiencies across the A, B, and C Level pressure zones, providing essential water supply reliability and resilience, particularly for firefighting capabilities. The new facility will mitigate the risks associated with single-point failures in the current water distribution system. By constructing the new reservoir and pump station, Tualatin seeks to enhance overall water supply reliability, resilience, and capacity to support both current needs and future growth.

The planned improvements include construction of a 2.5-million-gallon reservoir at the existing ASR site within the C Level pressure zone. Also planned is a new pump station to facilitate water transfer from the B Level to the C Level pressure zone. Additional improvements include extension of an existing on-site driveway and paving to access the reservoir and pump station as well as an expanded stormwater facility to serve stormwater runoff from the existing and planned site improvements. Construction on the new facility is planned to commence in Fall 2025 with completion by December 2026.

This application includes the forms, written materials, and preliminary plans necessary for City staff to review and determine compliance with the applicable approval criteria. The evidence is substantial and supports the City's approval of the application.

City of Tualatin Water System Master Plan Figure 8-1: CIP Improvements



II. Site Description/Setting

The subject site is located at 22675 SW 108th Avenue. The site is within the Low Density Residential (RL) zoning district and is one lot of record that includes two tax lots (Washington County Assessor's Map 2S 1 34AD, Tax Lots 5400 and 5500). Please see Exhibits C, D, and I for ownership, tax lot, and lot of record information. The site is bordered by SW 108th Avenue to the east and residential properties within the Low Density Residential (RL) zoning district to the north, south, and west. The site has an existing driveway access to SW 108th Avenue and contains an existing well house (constructed in 2008) that is planned to be retained. The site also includes an existing stormwater facility to manage runoff from existing impervious areas. The majority of the site is unimproved, with trees and vegetation providing screening along the property boundary.

III. Applicable Review Criteria

City of Tualatin Comprehensive Plan

CHAPTER 3 HOUSING & RESIDENTIAL GROWTH

GOAL 3.1 HOUSING SUPPLY.

Ensure that a 20-year land supply is designated and has urban services planned to support the housing types and densities identified in the Housing Needs Analysis.

POLICY 3.1.6 INFRASTRUCTURE PLANNING.

Evaluate future infrastructure planning for consistency with the Housing Needs Analysis and Housing Strategies.

Response: Water infrastructure needed to support housing in the region was assessed as part of the City's 2023 Water System Master Plan (see Exhibit H). The water reservoir and pump station are planned in accordance with the approved Water System Master Plan. Therefore, this project provides infrastructure necessary to serve existing and future housing in the region.

CHAPTER 4 ECONOMIC, COMMERCIAL & INDUSTRIAL DEVELOPMENT

GOAL 4.1

Ensure an adequate supply of employment land that is available and serviceable as identified in the Economic Opportunities Analysis.

(...)

POLICY 4.1.5

Plan for infrastructure development to support commercial and industrial development.

Response: Water infrastructure needed to support commercial and industrial development in the region was assessed as part of the Water System Master Plan (see Exhibit H). The water reservoir and pump station are planned in accordance with the approved Water System Master Plan. Therefore, this project provides infrastructure necessary to serve existing and future commercial and industrial land uses in the region.

CHAPTER 9 PUBLIC FACILITIES & SERVICES

GOAL 9.1 WATER QUALITY.

Provide safe, high-quality water to all customers.

POLICY 9.1.1 REGULATORY STANDARDS.

Ensure that water provided to Tualatin customers meets or exceeds all federal and state water quality regulatory standards.

Response: This application includes a water storage reservoir and pump station to provide adequate water capacity for existing and future land uses in the City as it continues to grow. The new reservoir and pump station are designed to meet or exceed federal and state water quality regulatory standards.

GOAL 9.2 WATER SUPPLY.

Provide a reliable and economical supply of water to meet current and future needs.

POLICY 9.2.1 COORDINATION.

Coordinate the provision of water with local and regional water agencies and stakeholders.

Response: The planned water storage reservoir and pump station are located and designed in accordance with the adopted Water System Master Plan (see Exhibit H). This application is being submitted by the City of Tualatin, which is the local water service provider for the City.

POLICY 9.2.2 SUPPLY DEVELOPMENT AND DIVERSIFICATION.

Plan for the development of additional water sources to meet projected water demand and diversify the portfolio of water sources that provide water to the City of Tualatin.

Response: The Water System Master Plan (see Exhibit H) identified the subject site as the optimal location for a future water storage reservoir and pump station. As discussed in the Water System Master Plan, the planned reservoir is necessary to meet the anticipated water service demand in the City as it continues to grow.

POLICY 9.2.3 CAPITAL IMPROVEMENT PROJECTS.

Support capital improvement projects that enhance Tualatin's ability to deliver an adequate supply of water to current and future customers.

Response: The SW 108th Avenue Water Reservoir and Pump Station project is an approved capital improvement project. This Conditional Use Permit application is required to facilitate the implementation of this capital improvement project.

(...)

POLICY 9.2.6 STORAGE AND OPERATIONAL FACILITIES.

Provide sufficient opportunity for water storage and operational facilities to ensure supply reliability and serve emergency needs.

Response: The planned improvements include a new water storage reservoir and pump station that will enhance water storage capacity to ensure reliable supply and support firefighting services.

GOAL 9.3 RESILIENCY.

Provide a resilient water system to reduce risk posed by natural disaster events.

POLICY 9.3.1 HAZARD MITIGATION.

Upgrade existing infrastructure to reduce risk posed by seismic events, climate change, and other hazards.

Response: The planned water storage reservoir and pump station are designed to mitigate single-point failures in the current water distribution system. The planned improvements are designed to meet or exceed current seismic standards.

City of Tualatin Development Code (TDC)

CHAPTER 32 – PROCEDURES

TDC 32.010. Purpose and Applicability.

- (1) *Purpose.* The purpose of this Chapter is to establish standard procedures for the review and processing of land use applications and legislative land use proposals, as well as ministerial actions. This Chapter is intended to enable the City, the applicant, and the public, where applicable, to reasonably review applications and participate in the local decision-making process in a timely and effective way. Table 32-1 provides a key for determining the review procedure and the decision-making body for particular applications.
- (2) *Applicability of Review Procedures.* All land use and development permit applications and decisions, will be made by using the procedures contained in this Chapter. The procedure "type" assigned to each application governs the decision-making process for that permit or application. There are five types of permit/application procedures as described in subsections (a) through (e) below. Table 32-1 lists the City's land use and development applications and corresponding review procedure(s).
 - (a) *Type I Procedure (Ministerial Staff Review).* A Type I procedure is used in applying City standards and criteria that do not require the use of discretion, interpretation, or the exercise of policy or legal judgment (i.e., clear and objective standards). Type I decisions are made by the City Manager without public notice and without a public hearing. Appeals of Type I decisions are to Circuit Court under writ of review.
 - (b) *Type II Procedure (Administrative/Staff Review with Notice).* A Type II procedure is used when the standards and criteria require limited discretion, interpretation, or policy or legal judgment. Type II decisions are made by the City Manager and require public notice and an opportunity for appeal to the Planning Commission, Architectural Review Board, or City Council as shown in Table 32-1. Those Type II decisions which are "limited land use decisions" as defined in ORS 197.015 are so noted in Table 32-1.
 - (c) *Type III Procedure (Quasi-Judicial Review—Public Hearing).* Type III procedure is used when the standards and criteria require discretion, interpretation, or policy or legal judgment. Quasi-Judicial decisions involve discretion but implement established policy. Type III decisions are made by the Planning Commission or Architectural Review Board and require public notice and a public hearing, with an opportunity for appeal to the City Council.
- (3) *Determination of Review Type.* Unless specified in Table 32-1, the City Manager will determine whether a permit or application is processed as Type I, II, III, IV-A or IV-B based on the descriptions above. Questions regarding the appropriate procedure will be resolved in favor of the review type providing the widest notice and opportunity to participate. An applicant may

choose to elevate a Type I or II application to a higher numbered review type, provided the applicant pays the appropriate fee for the selected review type.

Table 32-1—Applications Types and Review Procedures					
Application/Action	Procedure Type	Decision Body*	Appeal Body*	Pre-Application Conference Required	Neighborhood/Developer Mtg Required
Conditional Use Permit	III	Planning Commission	City Council	Yes	Yes

Response: This application includes a new water storage reservoir and pump station in the RL zoning district. As discussed in response to Table 40-1 below, the planned reservoir and pump station are considered conditional uses in the RL zoning district. Therefore, this application is for a Conditional Use Permit and will be processed through a Type III procedure with a hearing before the Planning Commission.

TDC 32.020. Procedures for Review of Multiple Applications.

Multiple applications processed individually require the filing of separate applications for each land use action. Each application will be separately reviewed according to the applicable procedure type and processed sequentially as follows:

- (1) Applications with the highest numbered procedure type must be processed first;
- (2) Applications specifically referenced elsewhere in the TDC as to the particular order must be processed in that order; and
- (3) Where one land use application is dependent on the approval of another land use application, the land use application upon which the other is dependent must be processed first (e.g., a conditional use permit is subject to prior approval before architectural review).

Response: This Type III application is for a Conditional Use Permit for a new water storage reservoir and pump station in the RL zoning district. A Type II Architectural Review application is planned to be submitted subsequent to this application as part of this project. It is understood that this Conditional Use Permit application will be processed prior to the Architectural Review application.

TDC 32.110. Pre-Application Conference.

- (1) *Purpose of Pre-Application Conferences.* Pre-application conferences are intended to familiarize applicants with the requirements of the TDC; to provide applicants with an opportunity discuss proposed projects in detail with City staff; and to identify approval criteria, standards, and procedures prior to filing a land use application. The pre-application conference is intended to be a tool to assist applicants in navigating the land use process, but is not intended to be an exhaustive review that identifies or resolves all potential issues, and does not bind or preclude the City from enforcing any applicable regulations or from applying regulations in a manner differently than may have been indicated at the time of the pre-application conference.
- (2) *When Mandatory.* Pre-application conferences are mandatory for all land use actions identified as requiring a pre-application conference in Table 32-1. An applicant may voluntarily request a pre-application conference for any land use action even if it is not required.

(...)

Response: A pre-application conference regarding this project was held on January 8, 2025. The project design has not substantially changed since the meeting. Please refer to Exhibit F for additional detail. This requirement is satisfied.

TDC 32.120. Neighborhood/Developer Meetings.

- (1) **Purpose.** The purpose of this meeting is to provide a means for the applicant and surrounding property owners to meet to review a development proposal and identify issues regarding the proposal so they can be considered prior to the application submittal. The meeting is intended to allow the developer and neighbors to share information and concerns regarding the project. The applicant may consider whether to incorporate solutions to these issues prior to application submittal.
- (2) **When Mandatory.** Neighborhood/developer meetings are mandatory for all land use actions identified in Table 32-1 as requiring a neighborhood/developer meeting. An applicant may voluntarily conduct a neighborhood/developer meeting even if it is not required and may conduct more than one neighborhood/developer meeting at their election.
- (3) **Timing.** A neighborhood/developer meeting must be held after a pre-application meeting with City staff, but before submittal of an application.
- (4) **Time and Location.** Required neighborhood/developer meetings must be held within the city limits of the City of Tualatin at the following times:
 - (a) If scheduled on a weekday, the meeting must begin no earlier than 6:00 p.m.
 - (b) If scheduled on a weekend, the meeting must begin between 10:00 a.m. and 6:00 p.m.
- (5) **Notice Requirements.**
 - (a) The applicant must provide notice of the meeting at least 14 calendar days and no more than 28 calendar days before the meeting. The notice must be by first class mail providing the date, time, and location of the meeting, as well as a brief description of the proposal and its location. The applicant must keep a copy of the notice to be submitted with their land use application.
 - (b) The applicant must mail notice of a neighborhood/developer meeting to the following persons:
 - (i) All property owners within 1,000 feet measured from the boundaries of the subject property;
 - (ii) All property owners within a platted residential subdivision that is located within 1,000 feet of the boundaries of the subject property. The notice area includes the entire subdivision and not just those lots within 1,000 feet. If the residential subdivision is one of two or more individually platted phases sharing a single subdivision name, the notice area need not include the additional phases; and
 - (iii) All designated representatives of recognized Citizen Involvement Organizations as established in TMC Chapter 11-9.
 - (c) The City will provide the applicant with labels for mailing for a fee.
 - (d) Failure of a property owner to receive notice does not invalidate the neighborhood/developer meeting proceedings.

-
- (6) *Neighborhood/Developer Sign Posting Requirements.* The applicant must provide and post on the subject property, at least 14 calendar days before the meeting. The sign must conform to the design and placement standards established by the City for signs notifying the public of land use actions in TDC 32.150.
 - (7) *Neighborhood/Developer Meeting Requirements.* The applicant must have a sign-in sheet for all attendees to provide their name, address, telephone number, and email address and keep a copy of the sign-in sheet to provide with their land use application. The applicant must prepare meeting notes identifying the persons attending, those commenting and the substance of the comments expressed, and the major points that were discussed. The applicant must keep a copy of the meeting notes for submittal with their land use application.

Response: Consistent with the requirements in TDC 32.120, a neighborhood meeting was held regarding this project on March 12, 2025. Noticing and sign posting requirements as described above were met. The requisite affidavits and meeting materials are included in Exhibit G.

CHAPTER 33 - APPLICATIONS AND APPROVAL CRITERIA

TDC 33.040. Conditional Use Permit.

(...)

- (2) *Applicability.* A request for a conditional use, modification of an existing conditional use permit, or a review of an existing conditional use permit may be initiated by a property owner or the owner's authorized agent.

Response: This application for a Conditional Use Permit is being initiated by the property owner (City of Tualatin). This provision is met.

- (3) *Procedure Type.* Conditional use permits are processed in accordance with the Type III review procedures in Chapter 32.

Response: This application is being processed through a Type III procedure consistent with Chapter 32.

- (4) *Specific Submittal Requirements.* In addition to the general submittal requirements in TDC 32.140 (Application Submittal), the applicant must submit the following additional information and materials:
 - (a) Project title;
 - (b) The architect, landscape architect and engineer;
 - (c) A site plan, drawn to scale, showing the dimensions and arrangement of the proposed development;
 - (d) A Service Provider Letter from Clean Water Services (CWS) indicating that a "Stormwater Connection Permit Authorization Letter" will likely be issued; and
 - (e) If a railroad-highway grade crossing provides or will provide the only access to the subject property, the applicant must indicate that fact in the application and the City must notify the ODOT Rail Division and the railroad company that the application has been received.

Response: The applicable submittal requirements listed above are included with the application materials.

-
- (5) *Approval Criteria.* The applicant must provide evidence substantiating that all the requirements of this Code relative to the proposed use are satisfied and demonstrate that the proposed use also satisfies the following criteria:

- (a) The use is listed as a conditional use in the underlying zone;

Response: As discussed in response to Table 40-1 below, the planned water reservoir is considered a conditional use in the RL zoning district. This criterion is met.

- (b) The characteristics of the site are suitable for the proposed use, considering size, shape, location, topography, existence of improvements and natural features;

Response: The subject site slopes gradually from east to west and is improved with an existing well house, access driveway, and stormwater facility. The site does not contain existing natural resources, and the site is predominantly vacant with trees and vegetation providing screening along the site's boundary. The site is within the RL zoning district and identified in the City's Water System Master Plan as the designated location of a water storage reservoir and pump station to serve the City as it continues to grow. This criterion is met.

- (c) The proposed development is timely, considering the adequacy of transportation systems, public facilities, and services existing or planned for the area affected by the use;

Response: As discussed in the Executive Summary above, the new water storage reservoir and pump station will support the City's water system. The planned reservoir and pump station will increase water supply reliability and resilience. The new reservoir and pump station will mitigate existing capacity issues with the existing water system while providing essential water services to the City as it continues to grow. This criterion is met.

- (d) The proposed use will not alter the character of the surrounding area in any manner that substantially limits, impairs, or precludes the use of surrounding properties for the primary uses listed in the underlying zone; and

Response: The site is identified by the adopted Water System Master Plan as the designated location for a future reservoir and pump station. The reservoir and pump station will be quiet and generate limited to no additional trips to the subject site. Most of the site will remain landscaped open space. The site includes existing perimeter landscaping that effectively screens the existing site improvements and will substantially screen the planned reservoir and pump station. Additional landscaping to further limit the visual impact of the improvements is also planned and discussed below. Therefore, the planned improvements will not limit, impact, or preclude the use of surrounding properties for their primary residential use. This criterion is met.

- (e) The proposal satisfies those objectives and policies of the Tualatin Comprehensive Plan that are applicable to the proposed use.

Response: The goals and policies of the Tualatin Comprehensive Plan applicable to the reservoir and pump station use are addressed above as applicable and are satisfied.

- (6) *Conditions of Approval.* The Hearing Body may impose, in addition to the regulations and standards expressly specified in this chapter, other conditions found necessary to protect the best interests of the surrounding property or

neighborhood or the City as a whole. In no event will this Chapter be used as a means to exclude multi-family housing from the City.

Response: This provision is understood. At the neighborhood meeting, nearby residents voiced concerns regarding the height and visibility of the planned reservoir. In order to address neighbors' comments, the City plans to add more screening to the existing perimeter vegetation. The existing trees are generally healthy and provide substantial screening, with many having branches that reach the ground for complete coverage. There are some places where additional trees could be planted or where planting shrubs beneath the existing trees would provide additional screening. The property's street frontage and western boundary require extra coverage. There are several native, shade-tolerant shrubs that can thrive under the current canopy. The installation of permanent drip irrigation lines along the site perimeter is also planned. Implementing a watering system will enhance the health of all existing trees, including those experiencing heat stress, and will reduce the need for tree removal. The exact locations for the proposed shrubs and any additional trees will be determined with the review of the landscaping plan as part of the Architectural Review application.

(7) Compliance with Conditions and Revocations.

- (a) Any previously granted conditional use permit may be revoked by the Planning Commission, after a hearing conducted in the manner required for approval of a conditional use permit initially, upon the following grounds:
 - (i) Failure to comply with the conditions of approval;
 - (ii) Discontinuance of the use for a period in excess of two years;
 - (iii) Failure to comply with other applicable provisions of the Tualatin Comprehensive Plan regarding design, dimensional or use requirements; or
 - (iv) A change in the Tualatin Comprehensive Plan or Zone Standards of the zone within which the use is located that have the effect of no longer allowing a new conditional use permit application to be considered in such zone.
- (b) Revocations initiated under TDC 33.040(7)(a)(i) or (ii) above must not be initiated for at least six months after approval of the conditional use permit. Revocations initiated under TDC 33.040(7)(a)(i), (ii) and (iii) above has the effect of making the previously granted conditional use permit void until a new application is submitted and granted. Revocations initiated under TDC 33.040(7)(a)(iv) above has the effect of making the previously granted conditional use a nonconforming use.

Response: These provisions are understood.

(8) Automatic Termination of Conditional Use; Request for Extension.

- (a) Unless otherwise provided by the Planning Commission in the written decision granting approval of the conditional use permit, a conditional use permit automatically is null and void two years after the effective date upon which it was granted, unless the applicant, or successor in interest, has done one of the following within two years of the effective date of the conditional use permit:

- (i) Secured a building permit and commenced construction of the building or structure in conformance of the building permit and conditional use permit.
- (ii) Commenced the activity or installation of the facility or structure authorized by the conditional use permit.
- (iii) Submitted a request for an extension of time on the conditional use permit to avoid the permit's becoming null and void.
- (b) A request for an extension must be submitted prior to the expiration date of the conditional use permit, as established by the Planning Commission in granting the conditional use permit.
- (c) Upon receipt of the request for an extension of time, the Planning Commission will hear the matter under the quasi-judicial procedures in TDC 32.230. The Planning Commission may grant or deny the extension of time, provided the extension of time does not exceed two years.

Response: These provisions are understood.

CHAPTER 40 - LOW DENSITY RESIDENTIAL ZONE (RL)

(...)

TDC 40.200. Use Categories.

- (1) *Use Categories.* Table 40-1 lists use categories Permitted Outright (P) or Conditionally Permitted (C) in the RL zone. Use categories may also be designated as Limited (L) and subject to the limitations listed in Table 40-1 and restrictions identified in TDC 40.210. Limitations may restrict the specific type of use, location, size, or other characteristics of the use category. Use categories which are not listed are prohibited within the zone, except for uses which are found by the City Manager or appointee to be of a similar character and to meet the purpose of this zone, as provided in TDC 31.070.
- (2) *Overlay Zones.* Additional uses may be allowed in a particular overlay zone. See the overlay zone Chapters for additional uses.

Excerpt of Table 40-1 Use Categories in the RL Zone		
Use Categories	Status	Limitations and Code References
Infrastructure and Utilities Use Categories		
Basic Utilities	P/C (L)	Permitted uses limited to water or sewage pump stations and pressure reading stations. Conditional uses limited to water reservoirs, with a maximum height of 75 feet.

Response: The planned improvements include a new water reservoir and pump station within the RL zoning district. As demonstrated by Table 40-1 above, the planned water reservoir is considered a conditional use in the RL zoning district. Therefore, this project includes a Conditional Use Permit application to authorize the planned reservoir.

TDC 40.300. Development Standards.

- (1) Development standards in the RL zone are listed in Table 40-3. Additional standards may apply to some uses and situations, see TDC 40.310. The

standards in Table 40-3 may be modified for flexible lot subdivisions as provided in TDC 36.410 and for greenway and natural area dedications as provided in TDC 36.420.

Response: The applicable standards of the TDC are addressed herein and by the application materials.

- (2) Exceptions. Existing nonconforming situations may be developed according to the provisions of TDC Chapter 35.

Excerpt of Table 40-3 Development Standards in the RL Zone		
Standard	Requirement	Limitations and Code References
Minimum Lot Size		
Infrastructure and Utilities Uses	--	As determined through the Subdivision, Partition, or Lot Line Adjustment process.
Minimum Width		
Conditional Uses	50 feet	May be reduced to 30 feet if on a cul-de-sac. Average minimum lot width is 30 feet.
Minimum Setbacks		
Conditional Uses	--	As determined through Architectural Review process. No minimum setback must be greater than 50 feet. Parking and vehicular circulation areas must be set back a minimum of ten feet from any public right-of-way or property line.
Maximum Structure Height		
All uses	35 feet	May be increased to a maximum of 50 feet through Type II Architectural Review if all setbacks are not less than 1.5 times the height of the building.
Maximum Lot Coverage		
Conditional Uses	40%	
Maximum Floor Area Ratio (FAR)		
Lot size 20,000 sf or more	Maximum FAR 0.4 to 1	

Response: The planned improvements include a new water storage reservoir, pump station, and affiliated site improvements. The planned improvements are located on one existing ±4.75-acre lot of record that is not planned to be altered by this application. The subject site exceeds the minimum lot width requirement of Table 40-3 above. As demonstrated by the Preliminary Plans (Exhibit A), the planned improvements are well below the maximum lot coverage standard of 40 percent in the RL zoning district. The applicable setbacks are met and will be officially reviewed through the Architectural Review process. Additionally, per Table 40-1 above, the maximum height for a water reservoir is 75 feet. The Preliminary Plans demonstrate that the planned reservoir is shorter than 75 feet in height at the peak. Therefore, the standards of this section are met as applicable.

TDC 40.310. Projections Into Required Yards.

The following architectural features may project into a required front or rear yard setback area not more than three feet, and into a required side yard not more than two feet: cornices, eaves, canopies, decks, sun-shades, gutters, chimneys, flues, belt courses, leaders, sills, pilasters, lintels, ornamental features, and other similar architectural features.

Response: As demonstrated by the Preliminary Plans (Exhibit A), the planned improvements do not include projections into required yards. Therefore, this section is not applicable to this application.

TDC 40.320. Additional Development Standards.

Response: The additional development standards listed in this section are related to subdivisions, natural area delineations, and manufactured homes, and are not applicable to this project.

CHAPTER 74 - PUBLIC IMPROVEMENT REQUIREMENTS

(...)

IMPROVEMENTS

TDC 74.110. Phasing of Improvements.

The applicant may build the development in phases. If the development is to be phased the applicant must submit a phasing plan to the City Manager for approval with the development application. The timing and extent or scope of public improvements and the conditions of development must be determined by the City Council on subdivision applications and by the City Manager on other development applications.

Response: This application does not include phasing. This requirement is not applicable.

TDC 74.120. Public Improvements.

- (1) Except as specially provided, all public improvements must be installed at the expense of the applicant. All public improvements installed by the applicant must be constructed and guaranteed as to workmanship and material as required by the Public Works Construction Code prior to acceptance by the City. Work must not be undertaken on any public improvement until after the construction plans have been approved by the City Manager and a Public Works Permit issued and the required fees paid.

Response: This requirement is understood and planned to be met.

- (2) In accordance with the Tualatin Basin Program for fish and wildlife habitat the City intends to minimize or eliminate the negative impacts of public streets by modifying right-of-way widths and street improvements when appropriate. The City Manager is authorized to modify right-of-way widths and street improvements to address the negative impacts on fish and wildlife habitat.

Response: As demonstrated by the Preliminary Plans (Exhibit A), the subject site abuts SW 108th Avenue. SW 108th Avenue is fully improved, and this application does not include alterations to the street. Therefore, this requirement is not applicable.

TDC 74.130. Private Improvements.

All private improvements must be installed at the expense of the applicant. The property owner must retain maintenance responsibilities over all private improvements.

Response: This requirement is understood and planned to be met.

TDC 74.140. Construction Timing.

- (1) All the public improvements required under this chapter must be completed and accepted by the City prior to the issuance of a Certificate of Occupancy; or, for subdivision and partition applications, in accordance with the requirements of the Subdivision regulations.

Response: This requirement is understood and planned to be met.

- (2) All private improvements required under this Chapter must be approved by the City prior to the issuance of a Certificate of Occupancy; or for subdivision and partition applications, in accordance with the requirements of the Subdivision regulations.

Response: This requirement is understood and planned to be met.

RIGHT-OF-WAY

TDC 74.210. Minimum Street Right-of-Way Widths.

The width of streets in feet must not be less than the width required to accommodate a street improvement needed to mitigate the impact of a proposed development. In cases where a street is required to be improved according to the standards of the TDC, the width of the right-of-way must not be less than the minimums indicated in TDC Chapter 74, Public Improvement Requirements, Figures 74-2A through 74-2G.

(...)

Response: As demonstrated by the Preliminary Plans (Exhibit A), the subject site abuts SW 108th Avenue. SW 108th Avenue is fully dedicated and improved, and this application does not include alterations or improvements to the right-of-way. Therefore, the requirements of this section are met by existing improvements and are not applicable to this project.

TDC 74.220. Parcels Excluded from Development.

On subdivision development applications which include land partitioned off or having adjusted property lines from the original parcel, but do not include the original parcel, the applicant must be responsible for obtaining any necessary right-of-way from the owner of the original parcel if the right-of-way is needed to accommodate street improvements required of the applicant. The applicant must submit a completed right-of-way dedication deed to the City Manager for acceptance. The right-of-way dedication must be accepted by the City prior to the City approving the final subdivision plat.

Response: This application does not include a subdivision or partition application. This requirement is not applicable.

EASEMENTS AND TRACTS

TDC 74.310. Greenway, Natural Area, Bike, and Pedestrian Path Dedications and Easements.

(...)

Response: The subject site does not contain and is not designated to include a greenway, natural area, bike, or pedestrian path dedication or easement. The site is owned by the City of Tualatin and is planned to include a water reservoir, pump station, and affiliated improvements. Therefore, these requirements are not applicable.

TDC 74.320. Slope Easements.

(...)

Response: The adjacent right of way of SW 108th Avenue is fully dedicated and improved. Accessway and utility easements are not required or planned as part of this application. Therefore, slope easements are not anticipated to be necessary.

TDC 74.330. Utility Easements.

- (1) Utility easements for water, sanitary sewer and storm drainage facilities, telephone, television cable, gas, electric lines and other public utilities must be granted to the City.

(...)

- (4) For development applications other than subdivisions and partitions, and for both on-site and off-site easement areas, a utility easement must be granted to the City; building permits must not be issued for the development prior to acceptance of the easement by the City. The City may elect to exercise eminent domain and condemn necessary off-site public utility easements at the applicant's request and expense. The City Council must determine when condemnation proceedings are to be used.

- (5) The width of the public utility easement must meet the requirements of the Public Works Construction Code. All subdivisions and partitions must have a 6-foot public utility easement adjacent to the street and a 5-foot public utility easement adjacent to all side and rear lot lines. Other easements may be required as determined by the City Manager.

Response: The subject site is owned by the City. Therefore, there is adequate access to the existing and planned utilities on the subject site and easements for public utilities are not necessary. These requirements are not applicable.

TDC 74.340. Watercourse Easements.

(...)

Response: The subject site is not traversed by or adjacent to a watercourse. This section is not applicable.

TDC 74.350. Maintenance Easement or Lots.

A dedicated lot or easement will be required when access to public improvements for operation and maintenance is required, as determined by the City Manager. Access for maintenance vehicles must be constructed of an all-weather driving surface capable of carrying a 50,000-pound vehicle. The width of the lot or easement must be at least 15-feet in order to accommodate City maintenance vehicles. In subdivisions and partitions, the easement or lot must be dedicated to the City on the final plat. In any other development, the easement or lot must be granted to the City and recorded prior to issuance of a building permit.

Response: As demonstrated by the Preliminary Plans (Exhibit A), the existing access and planned additional paved area are designed for City operation and maintenance purposes. The subject site is owned and maintained by the City, and therefore, the City will have adequate access to the site. This requirement is not applicable.

TDC 74.410. Future Street Extensions.

(...)

Response: As demonstrated by the Preliminary Plans (Exhibit A), the subject site abuts SW 108th Avenue and is fully dedicated and improved. The site is not identified for future street extension on or adjacent to the site in the City's 2014 Transportation System Plan (TSP). Therefore, this section is not applicable.

TDC 74.420. Street Improvements.

TDC 74.425. Street Design Standards.

TDC 74.430. Streets, Modifications of Requirements in Cases of Unusual Conditions.

Response: As demonstrated by the Preliminary Plans (Exhibit A), the subject site fronts onto SW 108th Avenue, an existing street that is fully dedicated and improved. This application does not include the construction of or modifications to streets. This section is not applicable.

TDC 74.440. Streets, Traffic Study Required.

- (1) The City Manager may require a traffic study to be provided by the applicant and furnished to the City as part of the development approval process as provided by this Code, when the City Manager determines that such a study is necessary in connection with a proposed development project in order to:
 - (a) Assure that the existing or proposed transportation facilities in the vicinity of the proposed development are capable of accommodating the amount of traffic that is expected to be generated by the proposed development; and/or
 - (b) Assure that the internal traffic circulation of the proposed development will not result in conflicts between on-site parking movements and/or on-site loading movements and/or on-site traffic movements, or impact traffic on the adjacent streets.

(...)

Response: The site contains an existing well house that is planned to be retained and currently receives a maximum of one trip per day. The planned reservoir and pump station will not increase the number of daily trips to the site. Therefore, a traffic study is not required as part of this application.

TDC 74.470. Street Lights.

TDC 74.475. Street Names.

TDC 74.480. Street Signs.

TDC 74.485. Street Trees.

Response: As demonstrated by the Preliminary Plans (Exhibit A) and discussed herein, the subject site abuts SW 108th Avenue, an existing street that is fully dedicated and improved. The planned improvements do not include alterations to the existing right-of-way improvements. Therefore, these sections are not applicable to this application.

UTILITIES

TDC 74.610. Water Service.

- (1) Water lines must be installed to serve each property in accordance with the Public Works Construction Code. Water line construction plans must be submitted to the City Manager for review and approval prior to construction.

Response: As demonstrated by the Preliminary Plans (Exhibit A), the subject site is served by an existing water line. The planned improvements include a new water storage reservoir and a pump station to connect the reservoir to the existing water main in SW 108th Avenue. New water lines are planned in accordance with the Public Works Construction Code and construction plans will be submitted for City review prior to construction. This requirement is met as applicable.

- (2) If there are undeveloped properties adjacent to the subject site, public water lines must be extended by the applicant to the common boundary line of these

properties. The lines must be sized to provide service to future development, in accordance with the City's Comprehensive Plan, Chapter 9 and Water System Master Plan.

Response: The subject site is not adjacent to undeveloped properties. This requirement is not applicable.

- (3) As set forth in Map 9-1 of the Comprehensive Plan, the City has three water service levels. All development applicants must be required to connect the proposed development site to the service level in which the development site is located. If the development site is located on a boundary line between two service levels the applicant must be required to connect to the service level with the higher reservoir elevation. The applicant may also be required to install or provide pressure reducing valves to supply appropriate water pressure to the properties in the proposed development site.

Response: As described in the Executive Summary herein and demonstrated by the Water System Master Plan, the planned improvements include a new water reservoir and pump station to increase the capacity of the City water system in the surrounding area and support a resilient system City-wide. This requirement is met as applicable.

TDC 74.620. Sanitary Sewer Service.

- (1) Sanitary sewer lines must be installed to serve each property in accordance with the Public Works Construction Code. Sanitary sewer construction plans and calculations must be submitted to the City Manager for review and approval prior to construction.

Response: As demonstrated by the Preliminary Plans (Exhibit A), the subject site is served by an existing sanitary sewer line. The planned improvements include a new pump station with drains that will connect to the existing sanitary sewer line on the subject site. This requirement is not applicable to this application.

- (2) If there are undeveloped properties adjacent to the proposed development site which can be served by the gravity sewer system on the proposed development site, the applicant must extend public sanitary sewer lines to the common boundary line with these properties. The lines must be sized to convey flows to include all future development from all up stream areas that can be expected to drain through the lines on the site, in accordance with the City's Sanitary Sewer System Master Plan, TDC Chapter 13.

Response: The subject site is not adjacent to undeveloped properties. This requirement is not applicable.

TDC 74.630. Storm Drainage System.

- (1) Storm drainage lines must be installed to serve each property in accordance with City standards. Storm drainage construction plans and calculations must be submitted to the City Manager for review and approval prior to construction.

Response: As demonstrated by the Preliminary Plans (Exhibit A), the subject site is served by an existing storm drainage system. The planned improvements include replacing the existing stormwater facility with an extended dry basin to accommodate runoff from the existing and planned impervious areas of the site. An Architectural Review application being submitted subsequent to this application will detail how storm drainage is planned to be managed on the site. This requirement is not applicable to this application.

-
- (2) The storm drainage calculations must confirm that adequate capacity exists to serve the site. The discharge from the development must be analyzed in accordance with the City's Storm and Surface Water Regulations.

Response: A Preliminary Stormwater Report providing storm drainage calculations is planned to be provided with the Architectural Review application that will be submitted separately from this application.

- (3) If there are undeveloped properties adjacent to the proposed development site which can be served by the storm drainage system on the proposed development site, the applicant must extend storm drainage lines to the common boundary line with these properties. The lines must be sized to convey expected flows to include all future development from all up stream areas that will drain through the lines on the site, in accordance with the adopted Stormwater Master Plan.

Response: The subject site is not adjacent to undeveloped properties. This requirement is not applicable.

TDC 74.640. Grading.

- (1) Development sites must be graded to minimize the impact of storm water runoff onto adjacent properties and to allow adjacent properties to drain as they did before the new development.

Response: As demonstrated by the Preliminary Plans (Exhibit A), the planned improvements include a stormwater facility to manage runoff from the existing and new impervious areas.

- (2) A development applicant must submit a grading plan showing that all lots in all portions of the development will be served by gravity drainage from the building crawl spaces; and that this development will not affect the drainage on adjacent properties. The City Manager may require the applicant to remove all excess material from the development site.

Response: Please see the grading plan provided in Exhibit A for a demonstration of the drainage of the site and the planned improvements.

TDC 74.650. Water Quality, Storm Water Detention and Erosion Control.

The applicant must comply with the water quality, storm water detention and erosion control requirements in the Tualatin Municipal Code. If required:

(...)

- (2) On all other development applications, prior to issuance of any building permit, the applicant must arrange to construct a permanent on-site water quality facility and storm water detention facility and submit a design and calculations indicating that the requirements of the Tualatin Municipal Code will be met and obtain a Stormwater Connection Permit from Clean Water Services.

Response: As demonstrated by the Preliminary Plans (Exhibit A), the planned improvements include an extended dry basin that will be planted in accordance with Clean Water Services and City of Tualatin standards. A Preliminary Stormwater Report providing additional detail will be provided with the Architectural Review application that is being submitted separately from this application. This requirement is met as applicable.

- (3) For on-site private and regional non-residential public facilities, the applicant must submit a stormwater facility agreement, which will include an operation

and maintenance plan provided by the City, for the water quality facility for the City's review and approval. The applicant must submit an erosion control plan prior to issuance of a Public Works Permit. No construction or disturbing of the site must occur until the erosion control plan is approved by the City and the required measures are in place and approved by the City.

Response: This requirement is understood and planned to be met as applicable.

TDC 74.660. Underground.

- (1) All utility lines including, but not limited to, those required for gas, electric, communication, lighting and cable television services and related facilities must be placed underground. Surface-mounted transformers, surface-mounted connection boxes and meter cabinets may be placed above ground. Temporary utility service facilities, high capacity electric and communication feeder lines, and utility transmission lines operating at 50,000 volts or above may be placed above ground. The applicant must make all necessary arrangements with all utility companies to provide the underground services. The City reserves the right to approve the location of all surface-mounted transformers.

Response: As demonstrated by the Preliminary Plans (Exhibit A), the planned improvements include new utility lines that will be located underground. This requirement is met as applicable.

- (2) Any existing overhead utilities may not be upgraded to serve any proposed development. If existing overhead utilities are not adequate to serve the proposed development, the applicant must, at their own expense, provide an underground system. The applicant must be responsible for obtaining any off-site deeds and/or easements necessary to provide utility service to this site; the deeds and/or easements must be submitted to the City Manager for acceptance by the City prior to issuance of the Public Works Permit.

Response: The subject site and adjacent public street (SW 108th Avenue) do not include overhead utilities and this application does not include the extension of overhead utilities. Therefore, this requirement is not applicable.

TDC 74.670. Existing Structures.

- (1) Any existing structures requested to be retained by the applicant on a proposed development site must be connected to all available City utilities at the expense of the applicant.

Response: As demonstrated by the Preliminary Plans (Exhibit A), the subject site contains an existing well house that is planned to be retained. The existing building is connected to available City utilities as necessary, and new utilities or alterations to existing utilities serving the building are not planned. This requirement is met as applicable.

- (2) The applicant must convert any existing overhead utilities serving existing structures to underground utilities, at the expense of the applicant.

Response: As described above, the subject site does not contain any existing overhead utilities. Therefore, this requirement is not applicable.

- (3) The applicant must be responsible for continuing all required street improvements adjacent to the existing structure, within the boundaries of the proposed development site.

Response: Additional street improvements are not planned or required with this application. This requirement does not apply.

(...)

TDC 74.720. Protection of Trees During Construction.

- (1) During the erection, repair, alteration or removal of a building or structure, it is unlawful for the person in charge of such erection, repair, alteration or removal to leave a tree in or upon a public right-of-way in the vicinity of the building or structure without a good and sufficient guard or protectors to prevent injury to the tree arising out of or by reason of such erection, repair, alteration or removal.
- (2) Excavations and driveways must not be placed within six feet of a tree in or upon a public right-of-way without written permission from the City Manager. During excavation or construction, the person must guard the tree within six feet and all building material or other debris must be kept at least four feet from any tree.

Response: The above standards apply to the protection of street trees. Street trees are planned to be retained and protected during construction activities and these requirements can be met.

(...)

TDC 74.745. Cutting and Planting Specifications.

The following regulations are established for the planting, trimming and care of trees in or upon the public right-of-way of the City.

(...)

Response: As demonstrated by the Preliminary Plans (Exhibit A) and discussed herein, the subject site abuts SW 108th Avenue, which is improved with street trees. The planned improvements do not include the removal or planting of new street trees. Therefore, this section is not applicable to this application.

CHAPTER 75 – ACCESS MANAGEMENT

(...)

TDC 75.020. Permit for New Driveway Approach.

- (1) **Applicability.** A driveway approach permit must be obtained prior to constructing, relocating, reconstructing, enlarging, or altering any driveway approach.

(...)

Response: As demonstrated by the Preliminary Plans (Exhibit A), the subject site has an existing driveway approach. This application does not include the relocation, reconstruction, enlargement, or alteration of the existing driveway approach. Therefore, a driveway approach permit is not required. Driveway approach requirements can be further reviewed with the construction permitting process.

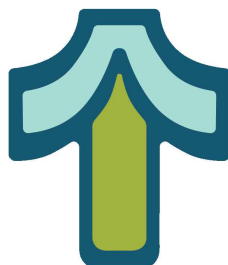
IV. Conclusion

The required findings have been made, and this written narrative and accompanying documentation demonstrate that the application is consistent with the applicable provisions of the City of Tualatin Development Code. The evidence in the record is substantial and supports approval of the application.

CITY OF TUALATIN

SW 108TH AVE WATER RESERVOIR

AND PUMP STATION

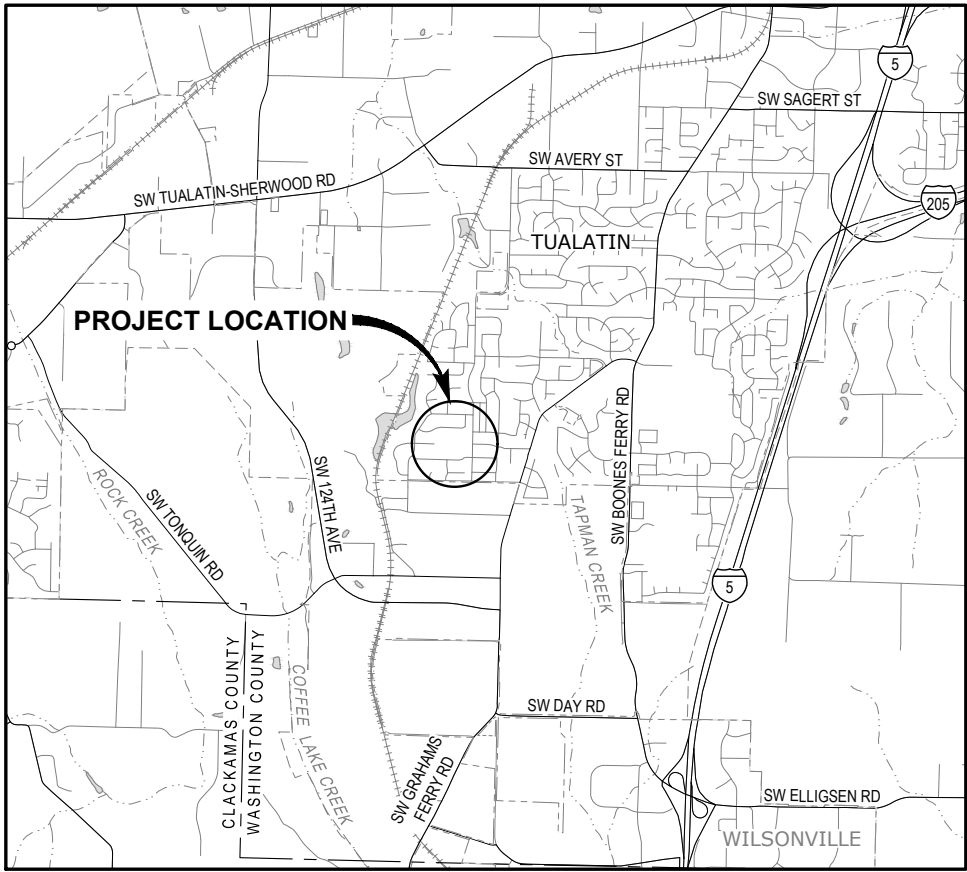


CONDITIONAL USE PERMIT APPLICATION

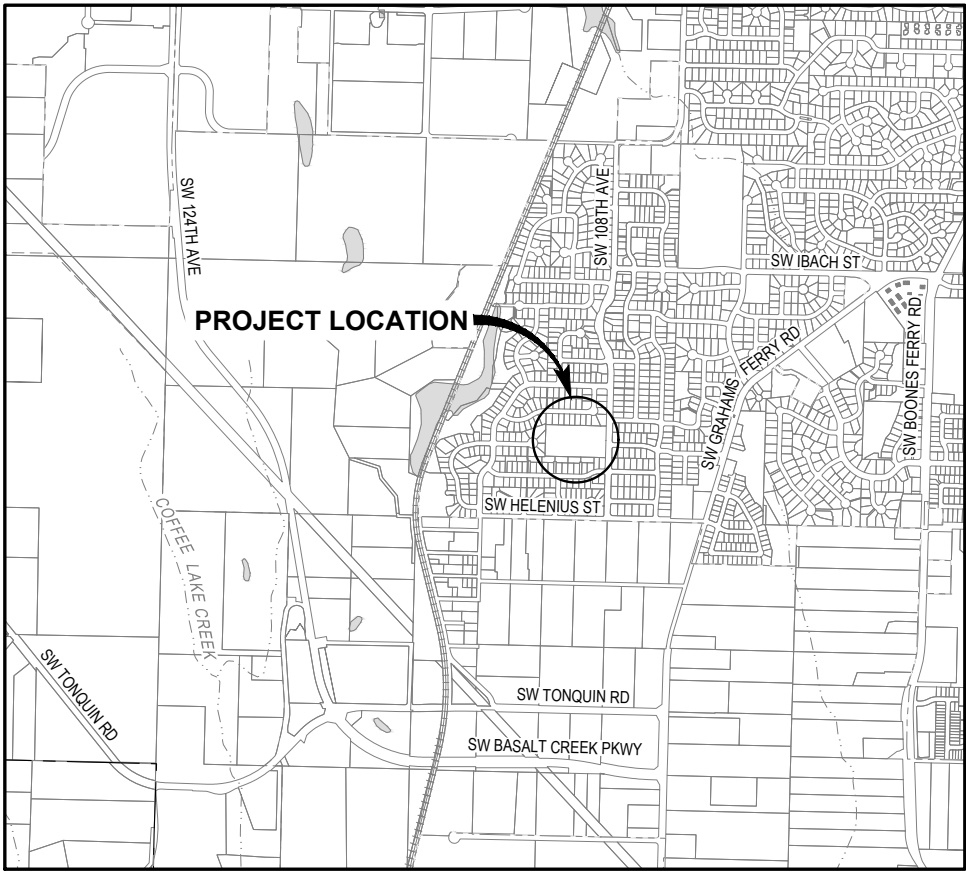
PROJECT NO: W240758OR
APRIL 2025



1 SW COLUMBIA STREET, SUITE 1700
PORTLAND, OREGON 97204
P 503.225.9010



VICINITY MAP
SCALE: 1" = 2000'



LOCATION MAP
SCALE: 1" = 1000'



PROJECT CONTACTS

CITY PROJECT MANAGER
ABBY MCFETRIDGE
CITY OF TUALATIN

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CONSOR

STRUCTURAL ENGINEER
ETHAN ALTON, PE, SE
PETERSON STRUCTURAL ENGINEERS

ELECTRICAL ENGINEER
JEFFREY HOWARD, PE
R&W

INSTRUMENTATION & CONTROL
JEFFREY HOWARD, PE
R&W

GEOTECHNICAL ENGINEER
KEVIN WOOD, PE
SHANNON & WILSON

**PRELIMINARY
NOT FOR
CONSTRUCTION**



Know what's below.
Call before you dig.

A

B

C

D

SHEET INDEX

DWG NO	DRAWING TITLE
01 - GENERAL	
01-G-000	COVER SHEET
01-G-001	SHEET INDEX
01-G-002	GENERAL SYMBOLS AND LEGEND
01-G-003	GENERAL ABBREVIATIONS
01-G-004	GENERAL NOTES
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01-G-502	CITY OF TUALATIN STANDARD DETAILS - 2
01-G-503	CWS STANDARD DETAILS - 1
01-G-504	CWS STANDARD DETAILS - 2
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01-D-001	PROCESS LEGEND AND NOTES
01-D-501	GENERAL PROCESS DETAILS
01-M-001	MECHANICAL LEGENDS AND NOTES
01-E-001	ELECTRICAL LEGEND AND ABBREVIATIONS
01-I-001	INSTRUMENTATION LEGEND AND NOTES
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05-C-011	EXISTING CONDITIONS PLAN AND SURVEY CONTROL - 2
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05-C-052	ESC PLAN PHASE 2 - MASS EXCAVATION AND CONSTRUCTION
05-C-053	ESC PLAN PHASE 3 - FINAL GRADING, RUNOFF CONTROL, AND STABILIZATION
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SHEET INDEX DESIGNATIONS

AREA/FACILITY DESIGNATOR
DISCIPLINE DESIGNATOR
SHEET TYPE DESIGNATOR
SHEET SEQUENCE NUMBER (2 DIGIT)

N|N|-|A|-|N|N|N|

AREA/FACILITY DESIGNATORS

01 GENERAL
05 CIVIL
10 RESERVOIR
20 PUMP STATION
30 EXISTING ASR WELL HOUSE

DISCIPLINE DESIGNATORS

G GENERAL
C CIVIL
L LANDSCAPE
A ARCHITECTURAL
S STRUCTURAL
D PROCESS
P PLUMBING
M MECHANICAL (HVAC)
F FIRE PROTECTION
E ELECTRICAL
I INSTRUMENTATION AND P&IDS

SHEET TYPE DESIGNATORS

0 GENERAL
1 PLAN VIEWS
2 ELEVATIONS
3 SECTIONS
4 LARGE SCALE VIEWS
5 DETAILS
6 SCHEDULES AND DIAGRAMS
7 USER DEFINED
8 USER DEFINED
9 3D REPRESENTATION

Consultant:

This document, ideas, and designs incorporated herein, are an instrument of professional service, and is not to be used, in whole or in part, for any other project without the written authorization of CONSOR.

Sub Consultant:

CONDITIONAL USE PERMIT APPLICATION

Engineer's Seal:

Client / Owner:

Project Title:

CITY OF TUALATIN SW 108TH AVE WATER RESERVOIR AND PUMP STATION

PERMIT SHEET INDEX

Designed By: TMS	Consor Project No.: W240758OR
Drawn By: MBE	Issued On: APRIL 2025
Checked By: ANB	Sheet: 01-G-001
Approved By: TMS	<div>0 1/2 1 IF BAR DOES NOT MEASURE 1"</div> <div>DRAWING IS NOT TO SCALE</div>


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1		2		3		4		5		6		7	
A	@	AT	CMU	CONCRETE MASONRY UNIT	FO	FIBER OPTIC	KW	KILOWATT	PROP	PROPERTY	TCE	TEMPORARY CONSTRUCTION EASEMENT	
	AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY & TRANSPORTATION OFFICIALS	CND	CONDUIT	FOC	FACE OF CONCRETE	KWY	KEYWAY	PRV	PRESSURE REDUCING VALVE	TDH	TOTAL DYNAMIC HEAD	
	AB	ANCHOR BOLT	CO	CLEANOUT	FOF	FACE OF FINISH			PS	PUMP STATION	TEMP	TEMPERATURE / TEMPORARY	
	ABAN(D)	ABANDON(ED)	COL	COLUMN	FOM	FACE OF MASONRY	L	LENGTH	PSIG	POUNDS PER SQUARE INCH GAUGE	T&G	TONGUE & GROOVE	
	ABS	ACRYLONITRILE BUTADIENE STYRENE	COMB	COMBINATION	FOS	FACE OF STUDS	LAB	LABORATORY	PSL	PIPE SLEEVE	THK	THICK / THICKNESS	
	ABV	ABOVE / ALCOHOL BY VOLUME	CONC	CONCRETE	FPM	FEET PER MINUTE	LAV	LAVATORY	PSPT	PIPE SUPPORT	THRD	THREAD (ED)	
	AC	ASPHALTIC CONCRETE	CONN	CONNECTION	FPS	FEET PER SECOND	LB	POUND	PT	POINT OF TANGENCY	THRU	THROUGH	
	ACI	AMERICAN CONCRETE INSTITUTE	CONST	CONSTRUCTION	FRP	FIBERGLASS REINFORCED PLASTIC	LF	LINEAR FOOT	PTVC	POINT OF TANGENCY ON VERTICAL CURVE	TP	TEST PIT / TOP OF PAVEMENT / TURNING POINT	
	ACP	ASPHALTIC CONCRETE PAVING	CONT	CONTINUOUS / CONTINUATION	FT	FEET / FOOT	LIN	LINEAL					
	ADJ	ADJUSTABLE	CONTR	CONTRACT(OR)	FTG	FOOTING	LN	LANE	PTW	PUMP TO WASTE	TRANS	TRANSITION	
B	ADJC	ADJACENT	COORD	COORDINATE	FUT	FUTURE	LOC	LOCATION	PV	PLUG VALVE	TSP	TRI-SODIUM PHOSPHATE	
	AFF	ABOVE FINISHED FLOOR	COP	COPPER	FXTR	FIXTURE	LONG	LONGITUDINAL	PVC	POLYVINYL CHLORIDE	TST	TOP OF STEEL	
	AFG	ABOVE FINISHED GRADE	CORP	CORPORATION			LP	LOW PRESSURE	PVMT	PAVEMENT	TW	TOP OF WALL	
	AHR	ANCHOR	CORR	CORRUGATED	G	GAS	LPT	LOW POINT	PW	POTABLE WATER	TYP	TYPICAL	
	AL	ALUMINUM	CP	CONTROL POINT	GA	GAUGE	LRG	LARGE	PWR	POWER			
	ALT	ALTERNATE	CPLG	COUPLING	GAL	GALLON	LS	LONG SLEEVE / LUMP SUM			UG	UNDERGROUND	
	AMP	AMPERE	CPVC	CHLORINATED POLYVINYL CHLORIDE	GALV	GALVANIZED	LT	LEFT	QTY	QUANTITY	UH	UNIT HEATER	
	ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	CR	CRUSHED ROCK	GC	GROOVED COUPLING	LVL	LEVEL			UN	UNION	
	APPROX	APPROXIMATE	CS	CARBON STEEL	GFA	GROOVED FLANGE ADAPTER	LWL	LOW WATER LINE	RAD	RADIUS	UON	UNLESS OTHERWISE NOTED	
	APPVD	APPROVED	CSP	CONCRETE SEWER PIPE	GI	GALVANIZED IRON			RC	REINFORCED CONCRETE	USGS	UNITED STATES GEOLOGIC SURVEY	
C	APWA	AMERICAN PUBLIC WORKS ASSOCIATION	CT	COURT	GIP	GALVANIZED IRON PIPE	MAN	MANUAL	RCP	REINFORCED CONCRETE PIPE			
	ARCH	ARCHITECTURAL	CTR	CENTER	GJ	GRIP JOINT	MAT	MATERIAL	RD	ROAD / ROOF DRAIN	V	VENT / VOLT	
	ARV	AIR RELEASE VALVE	CU	CUBIC	GL	GLASS	MAX	MAXIMUM	RDCR	REDUCER	VAC	VACUUM	
	ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS	CULV	CULVERT	GLV	GLOBE VALVE	MCC	MOTOR CONTROL CENTER	REF	REFERENCE	VB	VACUUM BREAKER	
	ASR	AQUIFER STORAGE & RECOVERY	CV	CONTROL VALVE	GND	GROUND	MCP	MASTER CONTROL PANEL	REINF	REINFORCE(D)(ING)(MENT)	VBOX	VALVE BOX	
	ASSN	ASSOCIATION	CW	CLOCKWISE / COLD WATER	GPD	GALLONS PER DAY	MECH	MECHANICAL	REQ'D	REQUIRED	VC	VERTICAL CURVE	
	ASSY	ASSEMBLY	CY	CUBIC YARDS	GPH	GALLONS PER HOUR	MET	METAL	RES	RESERVOIR	VERT	VERTICAL	
	ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	CYL	CYLINDER LOCK	GPM	GALLONS PER MINUTE	MFR	MANUFACTURER	RESTR	RESTRAINED	VFD	VARIABLE FREQUENCY DRIVE	
					GPS	GALLONS PER SECOND	MGD	MILLION GALLONS PER DAY	RFC	RESTRAINED FLANGE COUPLING ADAPTER	VOL	VOLUME	
	ATM	ATMOSPHERE	D	DRAIN	GR	GRADE	MH	MANHOLE	RM	ROOM	VCP	VITRIFIED CLAY PIPE	
D	AUTO	AUTOMATIC	DC	DIRECT CURRENT	GR LN	GRADE LINE	MIN	MINIMUM	RND	ROUND	VTR	VENT THROUGH ROOF	
	AUX	AUXILIARY	DEFL	DEFLECTION	GRTG	GRATING	MIPT	MALE IRON PIPE THREAD	RO	ROUGH OPENING			
	AVE	AVENUE	DEQ	DEPARTMENT OF ENVIRONMENTAL QUALITY	GV	GATE VALVE	MISC	MISCELLANEOUS	R/W	RIGHT-OF-WAY	W	WATER	
	AVG	AVERAGE	DET	DETAIL	GRVL	GRAVEL	MJ	MECHANICAL JOINT	RPBPD	REDUCED PRESSURE BACKFLOW PREVENTION DEVICE	W/	WITH	
	AWWA	AMERICAN WATER WORKS ASSOCIATION	DI	DUCTILE IRON	GYP	GYPSUM	MON	MONUMENT / MONOLITHIC			W/IN	WITHIN	
			DIA	DIAMETER			MOT	MOTOR			W/O	WITHOUT	
	B&S	BELL & SPIGOT	DIM	DIMENSION	HB	HOSE BIBB	MP	MILEPOST	RR	RAILROAD	WW	WALL TO WALL	
	BC	BOLT CIRCLE	DIR	DIRECTION	HC	HOLLOW CORE	MSL	MEAN SEAL LEVEL	RST	REINFORCED STEEL	WD	WOOD	
	BD	BOARD	DIST	DISTANCE	HDPE	HIGH DENSITY POLYETHYLENE	MTD	MOUNTED	RT	RIGHT	WF	WIDE FLANGE	
	BETW	BETWEEN	DN	DOWN	HDR	HEADER	NA	NOT APPLICABLE			WH	WATER HEATER	
E	BF	BOTH FACE	DR	DRIVE	HDWE	HARDWARE	NAVD	NORTH AMERICAN VERTICAL DATUM	SALV	SALVAGE	WI	WROUGHT IRON	
	BFD	BACKFLOW PREVENTION DEVICE	DS	DOWNSPOUT	HGR	HANGER	NC	NORMALLY CLOSED	SAN	SANITARY	WM	WATER METER	
	BFILL	BACKFILL	DWG	DRAWING	HGT	HEIGHT	NF	NEAR FACE	SC	SOLID CORE	WP	WORKING POINT / WATERPROOFING	
	BFV	BUTTERFLY VALVE	DWL	DOWEL	HH	HANDHOLD	NIC	NOT IN CONTRACT	SCHED	SCHEDULE	WQ	WATER QUALITY	
	BHP	BRAKE HORSEPOWER	DWV	DRAIN WASTE AND VENT	HM	HOLLOW METAL	NO / NO.	NORMALLY OPEN / NUMBER	SD	STORM DRAIN	WS	WATER SERVICE	
	BKGD	BACKGROUND	DWY	DRIVEWAY	HMAC	HOT MIX ASPHALT CONCRETE	NOM	NOMINAL	SDL	SADDLE	WT	WEIGHT	
	BLDG	BUILDING			HNDRL	HANDRAIL	NORM	NORMAL	SDR	STANDARD DIMENSION RATIO	WTP	WATER TREATMENT PLANT	
	BLK	BLOCK	E / ELEC	ELECTRICAL	HOA	HAND-OFF-AUTO	NRS	NON-RISING STEM	SECT	SECTION	WTRT	WATERTIGHT	
	BLVD	BOULEVARD	EA	EACH	HOR	HAND-OFF-REMOTE	NTS	NOT TO SCALE	SHLDR	SHOULDER	WWF	WELDED WIRE FABRIC	
	BM	BENCHMARK / BEAM	ECC	ECCENTRIC	HORIZ	HORIZONTAL			SHT	SHEET	WWTF	WASTEWATER TREATMENT FACILITY	
F	BMP	BEST MANAGEMENT PRACTICES	EF	EACH FACE	HP	HIGH PRESSURE / HORSEPOWER			SIM	SIMILAR	WWTP	WASTEWATER TREATMENT PLANT	
	BMP	BEST MANAGEMENT PRACTICES	EL	ELEVATION	HPG	HIGH PRESSURE GAS	O TO O	OUT TO OUT	SLP	SLOPE			
	BO	BLOW-OFF	ELB	ELBOW	HPT	HIGH POINT	OC	ON CENTER	SLV	SLEEVE	X SECT	CROSS SECTION	
	BOC	BACK OF CURB	ENCL	ENCLOSURE	HR	HOOR	OD	OUTSIDE DIAMETER	SOLN	SOLUTION	XFMR	TRANSFORMER	
	BS	BOTH SIDES	EOP	EDGE OF PAVEMENT	HSB	HIGH STRENGTH BOLT	OF	OVERFLOW / OUTSIDE FACE	SP	SOIL PIPE / SEWER PIPE			
	BSMT	BASEMENT	EQ	EQUAL	HV	HOSE VALVE	OPNG	OPENING	SPCL	SPECIAL	YD	YARD DRAIN / YARD	
	BTF	BOTTOM FACE	EQ SP	EQUALLY SPACED	HVAC	HEATING, VENTILATION, AIR CONDITIONING	OPP	OPPOSITE	SPEC(S)	SPECIFICATION(S)	YH	YARD HYDRANT	
	BTU	BRITISH THERMAL UNIT	EQUIP	EQUIPMENT			ORIG	ORIGINAL	SPG	SPACING	YR	YEAR	
	BV	BALL VALVE	ESMT	EASEMENT	HWL	HIGH WATER LINE	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION	SPL	SPOOL			
	BW	BOTH WAYS	EW	EACH WAY	HWY	HIGHWAY	OVHD	OVERHEAD	SPRT	SUPPORT			
G			EXC	EXCAVATE	HYD	HYDRANT			SQ	SQUARE			
			EXIST	EXISTING	HYDR	HYDRAULIC			SQ FT	SQUARE FOOT			
			EXP	EXPANSION			P&ID	PROCESS & INSTRUMENTATION DIAGRAM	SQ IN	SQUARE INCH			
			EXP BT	EXPANSION BOLT	I&C	INSTRUMENTATION & CONTROL			SQ YD	SQUARE YARD			
			EXP JT	EXPANSION JOINT	IAW	IN ACCORDANCE WITH	PC	POINT OF CURVE	SS	SANITARY SEWER			
			EXT	EXTERIOR	ID	INSIDE DIAMETER	PCC	POINT OF COMPOUND CURVE	SST	STAINLESS STEEL			
					IE	INVERT ELEVATION	PCVC	POINT OF CURVATURE ON VERTICAL CURVE	ST	STREET			
					IF	INSIDE FACE			STA	STATION			
			IMPVT	IMPROVEMENT	IMPVT	IMPROVEMENT			STD	STANDARD			
			IN	INCH	IN	INCH	PE	PLAIN END	STL	STEEL			
H			INCC	INCLUDE(D)(ING)	INFL	INFLUENT	PERF	PERFORATED	STOR	STORAGE			
			INFL	INFLUENT	INJ	INJECTION	PERM	PERMANENT	STR	STRAIGHT			
			INSTL	INSTALLATION	INS	INSULATION	PERP	PERPENDICULAR	STRUCT	STRUCTURE / STRUCTURAL			
			INSUL	INSULATION	IP	IRON PIPE	PG	PRESSURE GAUGE	SUBMG	SUBMERGED			
			INTR	INTERCEPTOR	IP	IRON PIPE	PH	PIPE HANGER	SUCT	SUCTION			
			INTR	INTERIOR	IR	IRON ROD	PI	POINT OF INTERSECTION	SV	SOLENOID VALVE			
			INV	INVERT	IRRIG	IRRIGATION	PVC	POINT OF INTERSECTION ON VERTICAL CURVE	S/W	SIDEWALK			
			IP	IRON PIPE			PL OR P/L	PROPERTY LINE / PLATE / PLASTIC PLUMBING	SWD	SIDEWATER DEPTH			
			IP	IRON PIPE			PLBG	PLUMBING	SWGR	SWITCH GEAR			
			IR	IRON ROD			PNL	PANEL	SYMM	SYMMETRICAL			
I							POC	POINT OF CURVATURE	SYS	SYSTEM			
							POLY	POLYETHYLENE					
							PP	POWER POLE / PURPLE PIPE	T OR TEL	TELEPHONE			
							PRC	POINT OF REVERSE CURVATURE	T&B	TOP & BOTTOM			
							PRCST	PRECAST	TAN	TANGENCY			
							PREP	PREPARATION	TB	THRUST BLOCK			
							PRESS	PRESSURE	TBM	TEMPORARY BENCHMARK			
							PRKG	PARKING	TC	TOP OF CONCRETE / TOP OF CURB			

GENERAL NOTE:

1. THESE ARE STANDARD ABBREVIATIONS. NOT ALL OF THESE MAY BE USED ON THIS PROJECT.

Consultant:




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Project Title:

CITY OF TUALATIN
SW 108TH AVE WATER RESERVOIR
AND PUMP STATION

01 - GENERAL

GENERAL ABBREVIATIONS

Designed By:
TMS

Drawn By:
MBE

Checked By:
ANB

Approved By:
TMS

Consort Project No.:
W240758OR

Issued On:
APRIL 2025

Sheet:
01-G-003

01/2

1 IF BAR DOES NOT MEASURE 1"

DRAWING IS NOT TO SCALE

Drawing Path and Name: A:_V\W\Projects\CR\Tualatin\2024\w240758or\0012 CAD\012-5 sheets\W240758OR_01-G-003.dwg, Plotted Date: May 6, 2025 12:24 PM By: Justin Deul


	1	2	3	4	5	6	7	
	TOPOGRAPHIC LEGEND							
A	EXISTING		PROPOSED	EXISTING		PROPOSED	SCHEMATIC	
	WATERLINE	----- 10"W -----	----- 12"DI W -----	SS SD W C T	SS SD W C T			
	ELECTRICITY (UNDERGROUND)	----- E -----	----- E -----					
	OVERHEAD UTILITY	----- OVHD -----	----- OVHD -----					
	GAS	----- 4"G -----	----- 4"G -----					
	TELEPHONE/TELEMETRY	----- T -----	----- T -----					
	CABLE TELEVISION	----- CATV -----	----- CATV -----					
	COMMUNICATION	----- COM -----	----- COM -----					
	FIBER OPTIC	----- FO -----	----- FO -----					
	SANITARY SEWER LINE	----- 8"SS -----	----- 8"SS -----					
B	SANITARY SEWER FORCE MAIN	----- 6"SSFM -----	----- 6"FM -----					
	STORM DRAIN	----- 8"SD -----	----- 8"SD -----					
	DRAIN	----- D -----	----- D -----					
	CULVERT	----- 18"SD -----	----- 18"SD -----					
	ABANDONED PIPE	----- 10"W (ABAND) -----	----- 10"W (ABAND) -----					
	DEMOLISH/ REMOVE		----- X X X X X X X X X X -----					
	DRAINAGE DITCH	----- DITCH -----	----- DITCH -----					
	TOP OF SLOPE	----- TOP -----	----- TOP -----					
	TOE OF SLOPE	----- TOE -----	----- TOE -----					
	CUT	----- CUT -----	----- CUT -----					
C	FILL	----- FILL -----	----- FILL -----					
	BARBWIRE FENCE	----- X X X -----	----- X X X -----					
	CHAIN LINK FENCE	----- O O O O -----	----- O O O O -----					
	WOOD FENCE	----- S S S S -----	----- S S S S -----					
	TEMPORARY SILT FENCE	----- SILT -----	----- SILT -----					
	GUARDRAIL	----- GUARDRAIL -----	----- GUARDRAIL -----					
	ROCK WALL	----- ROCK -----	----- ROCK -----					
	TREE/BUSH LINE	----- TREE -----	----- TREE -----					
	WETLAND	----- WETLAND -----	----- WETLAND -----					
	CENTERLINE	----- CL -----	----- CL -----					
D	RIGHT-OF-WAY	----- R/W -----	----- R/W -----					
	PROPERTY LINE	----- PL -----	----- PL -----					
	EASEMENT	----- EASEMENT -----	----- EASEMENT -----					
	EDGE OF PAVEMENT/AC	----- EOP -----	----- EOP -----					
	PAVEMENT STRIPING	----- STRIPING -----	----- STRIPING -----					
	EDGE OF GRAVEL	----- EOG -----	----- EOG -----					
	CURB	----- CURB -----	----- CURB -----					
	SIDEWALK	----- S/W -----	----- S/W -----					
	STRUCTURE OR FACILITY	----- STRUCTURE -----	----- STRUCTURE -----					
	CONTOUR MINOR	----- 20 -----	----- 20 -----					
CONTOUR MAJOR	----- 200 -----	----- 200 -----						
	MANHOLE							
	CLEAN-OUT							
	CATCH BASIN/FIELD INLET							
	THRUST BLOCK							
	VALVE							
	AIR INJECTION ASSEMBLY							
	BLOW-OFF ASSEMBLY (PERMANENT)							
	BLOW-OFF ASSEMBLY (TEMPORARY)							
	AIR RELEASE ASSEMBLY							
	FIRE HYDRANT ASSEMBLY							
	WATER METER							
	FIRE DEPARTMENT CONNECTION							
	WATER IRRIGATION VALVE							
	PULL BOX/JUNCTION BOX							
	COM RISER							
	UTILITY POLE							
	GUY WIRE							
	LIGHT POST							
	STREET LIGHT							
	TRANSFORMER							
	ELECTRICAL METER							
	ELECTRICAL CABINET							
	GAS METER							
	GAS VALVE							
	MAILBOX							
	SIGN							
	TREE DECIDUOUS							
	TREE CONIFEROUS							
	TREE TO BE REMOVED							
	SURFACE ELEVATION	+ 176.63	+ 176.63					
	WETLAND FLAG							
	BENCHMARK							
	IRON ROD							
	MONUMENT							
	BORE/ POTHOLE							
	TEST PIT							
	BOLLARD							
	WELDED JOINT							
	FLANGED JOINT							
		GROOVED END JOINT						
MECHANICAL JOINT								
PUSH-ON JOINT (RUBBER GASKET)								
FLANGED COUPLING ADAPTER								
DOUBLE BALL FLEXIBLE EXTENSION COUPLING								
FLEXIBLE COUPLING W/ THRUST RING								
90° BEND UP								
90° BEND DOWN								
TEE UP								
TEE DOWN								
	LATERAL UP							
	LATERAL DOWN							
	CONCENTRIC REDUCER							
	ECCENTRIC REDUCER							
	UNION							
	BLIND FLANGE							
	CAP/ PLUG							
	LONG SLEEVE							
	FLEXIBLE COUPLING							
	FITTING (45°)							
	STRAINER							
	SIGHT GLASS							
	PRESSURE GAUGE W/ COCK							
	PRESSURE SWITCH W/ COCK							
	METER							
	SLIP-ON JOINT PIPE							
	RESTRAINED JOINT PIPE							
	BUTTERFLY VALVE							
	GATE VALVE							
	GLOBE VALVE							
	BALL VALVE							
	BALANCING VALVE							
	PLUG VALVE (TOP)							
	PLUG VALVE (SIDE)							
	3-WAY PLUG VALVE							
	CHECK VALVE							
	SWING CHECK VALVE							
	DOUBLE CHECK ASSEMBLY							
	BALL SWING CHECK							
	SILENT CHECK VALVE							
	PRESSURE REDUCING VALVE							
	ALTITUDE CONTROL VALVE							
	SOLENOID VALVE							
	RELIEF VALVE							
	NEEDLE VALVE							
	HOSE VALVE							
	REDUCED PRESSURE BACKFLOW PREVENTER W/ GATE VALVES							
	HOSE BIBB							

GENERAL NOTE:

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Client / Owner:



Project Title:

CITY OF TUALATIN
SW 108TH AVE WATER RESERVOIR
AND PUMP STATION

01 - GENERAL

CIVIL SYMBOLS AND LEGENDS

Designed By:
TMS

Drawn By:
MBE

Checked By:
ANB

Approved By:
TMS

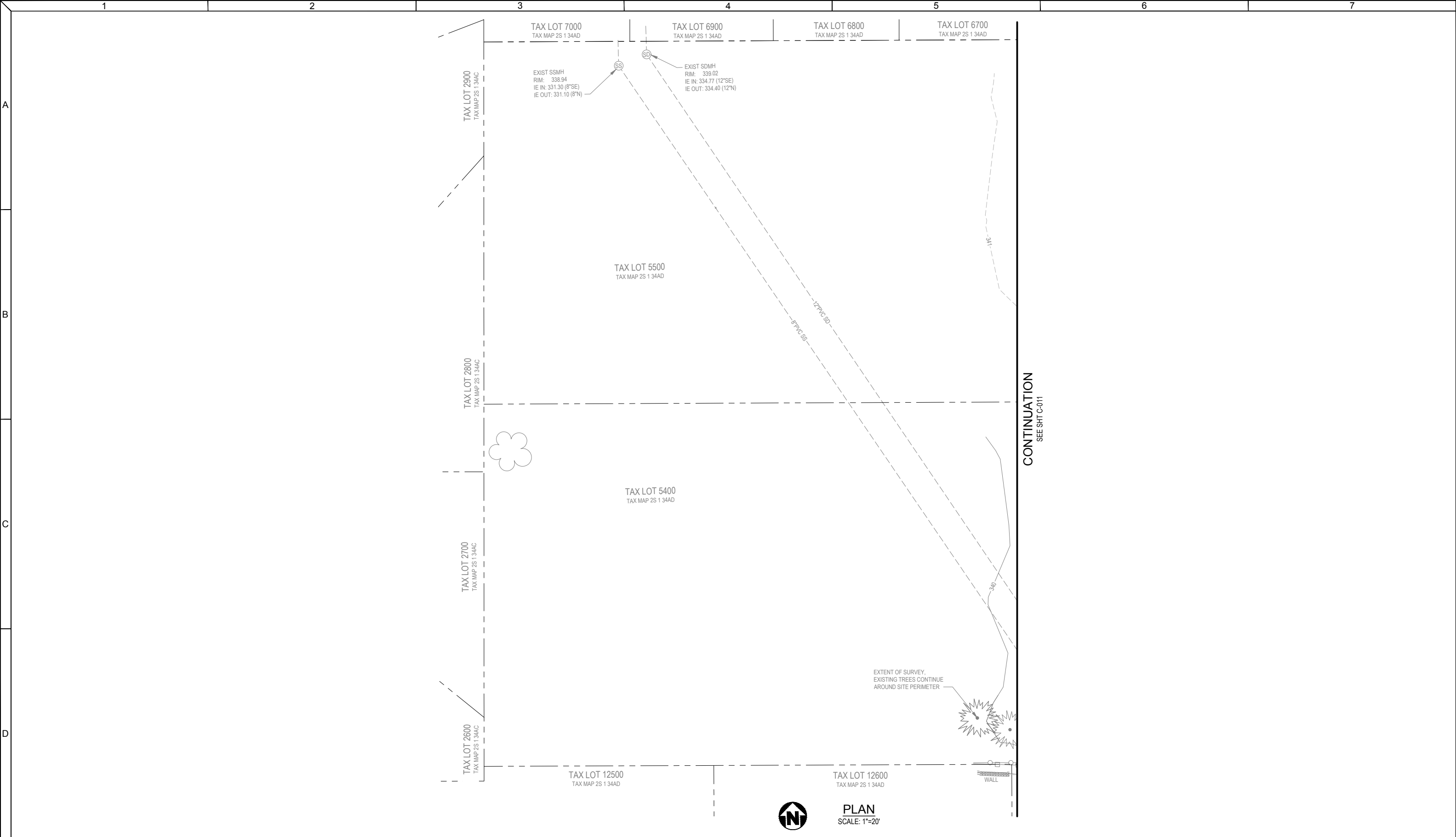
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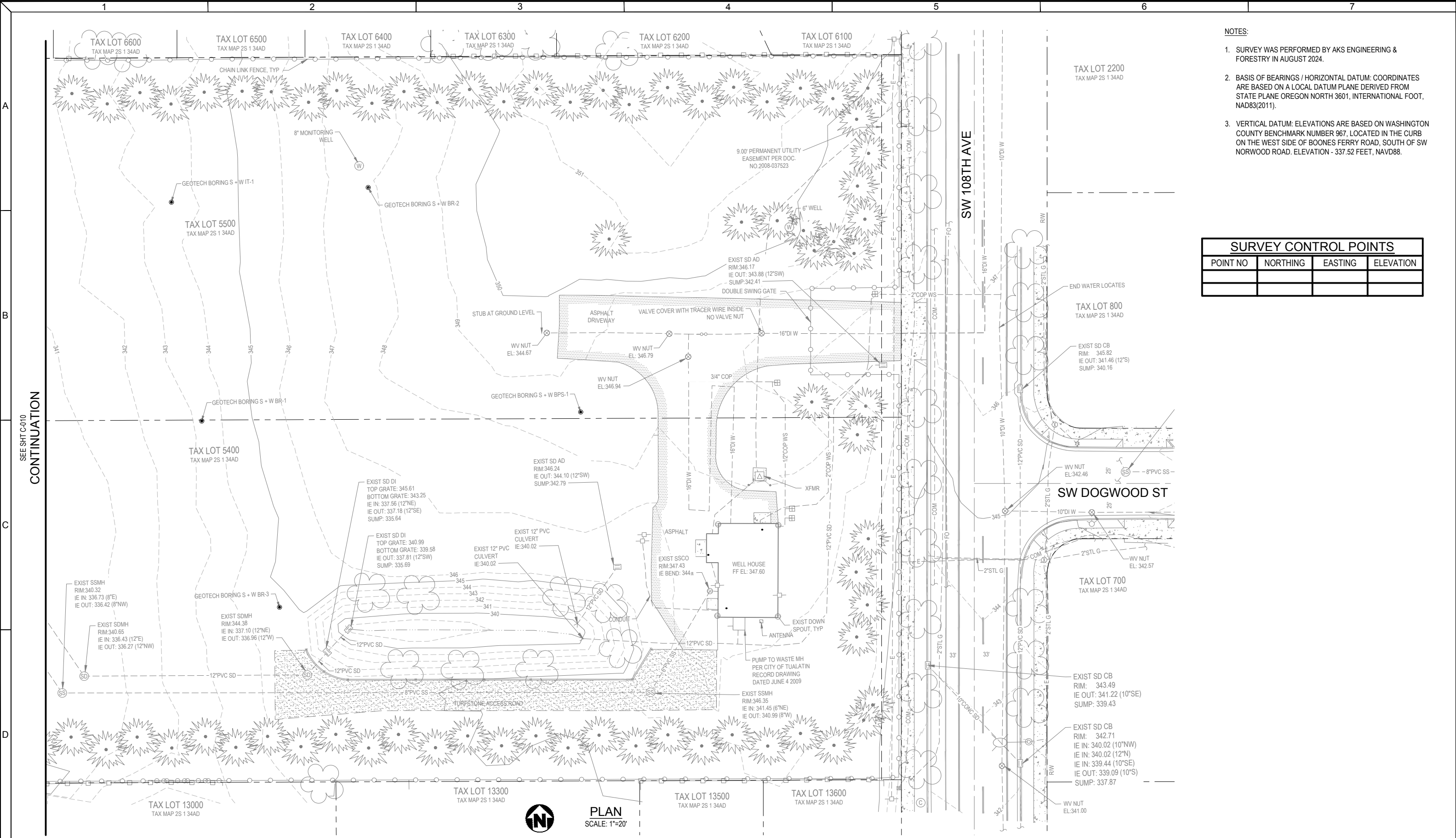
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01/2

1 IF BAR DOES NOT MEASURE 1" DRAWING IS NOT TO SCALE



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							Drawn By: MBE	Issued On: APRIL 2025
							Checked By: ANB	Sheet: 05-C-010
							Approved By: TMS	0 1/2 1 IF BAR DOES NOT MEASURE 1" DRAWING IS NOT TO SCALE



- NOTES:
1. SURVEY WAS PERFORMED BY AKS ENGINEERING & FORESTRY IN AUGUST 2024.
 2. BASIS OF BEARINGS / HORIZONTAL DATUM: COORDINATES ARE BASED ON A LOCAL DATUM PLANE DERIVED FROM STATE PLANE OREGON NORTH 3601, INTERNATIONAL FOOT, NAD83(2011).
 3. VERTICAL DATUM: ELEVATIONS ARE BASED ON WASHINGTON COUNTY BENCHMARK NUMBER 967, LOCATED IN THE CURB ON THE WEST SIDE OF BOONES FERRY ROAD, SOUTH OF SW NORWOOD ROAD. ELEVATION - 337.52 FEET, NAVD88.

SURVEY CONTROL POINTS			
POINT NO	NORTHING	EASTING	ELEVATION

Consultant:

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Client / Owner:

Project Title:

05 - CIVIL

05-C-011

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Consor Project No.: W240758OR

Issued On: APRIL 2025

Sheet: 05-C-011

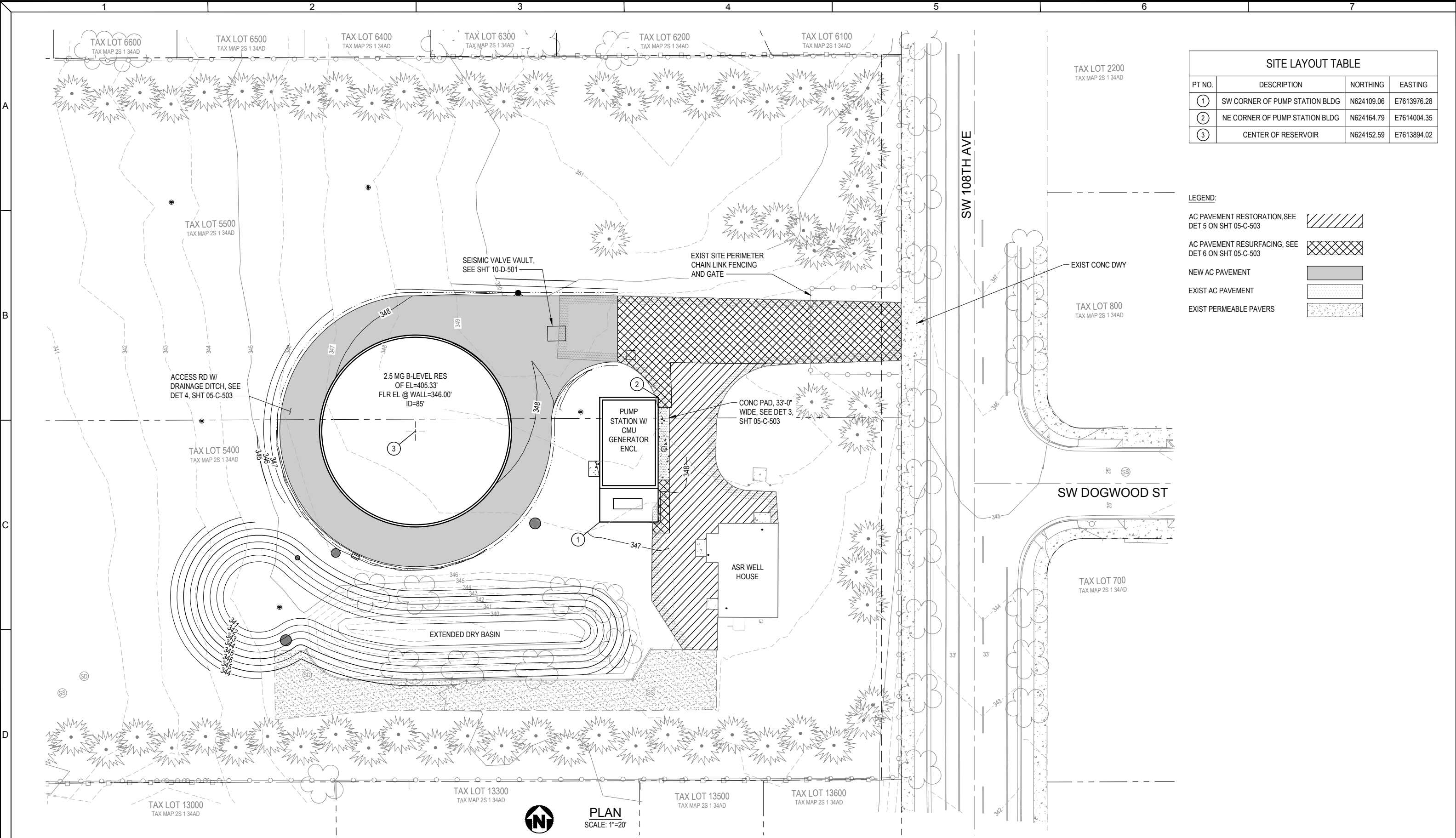
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CONDITIONAL USE PERMIT APPLICATION

CITY OF TUALATIN
SW 108TH AVE WATER RESERVOIR
AND PUMP STATION

EXISTING CONDITIONS PLAN
AND SURVEY CONTROL - 2

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SITE LAYOUT TABLE			
PT NO.	DESCRIPTION	NORTHING	EASTING
①	SW CORNER OF PUMP STATION BLDG	N624109.06	E7613976.28
②	NE CORNER OF PUMP STATION BLDG	N624164.79	E7614004.35
③	CENTER OF RESERVOIR	N624152.59	E7613894.02

LEGEND:	
AC PAVEMENT RESTORATION, SEE DET 5 ON SHT 05-C-503	
AC PAVEMENT RESURFACING, SEE DET 6 ON SHT 05-C-503	
NEW AC PAVEMENT	
EXIST AC PAVEMENT	
EXIST PERMEABLE PAVERS	

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05 - CIVIL

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Consor Project No.: W240758OR

Issued On: APRIL 2025

Sheet: 05-C-100

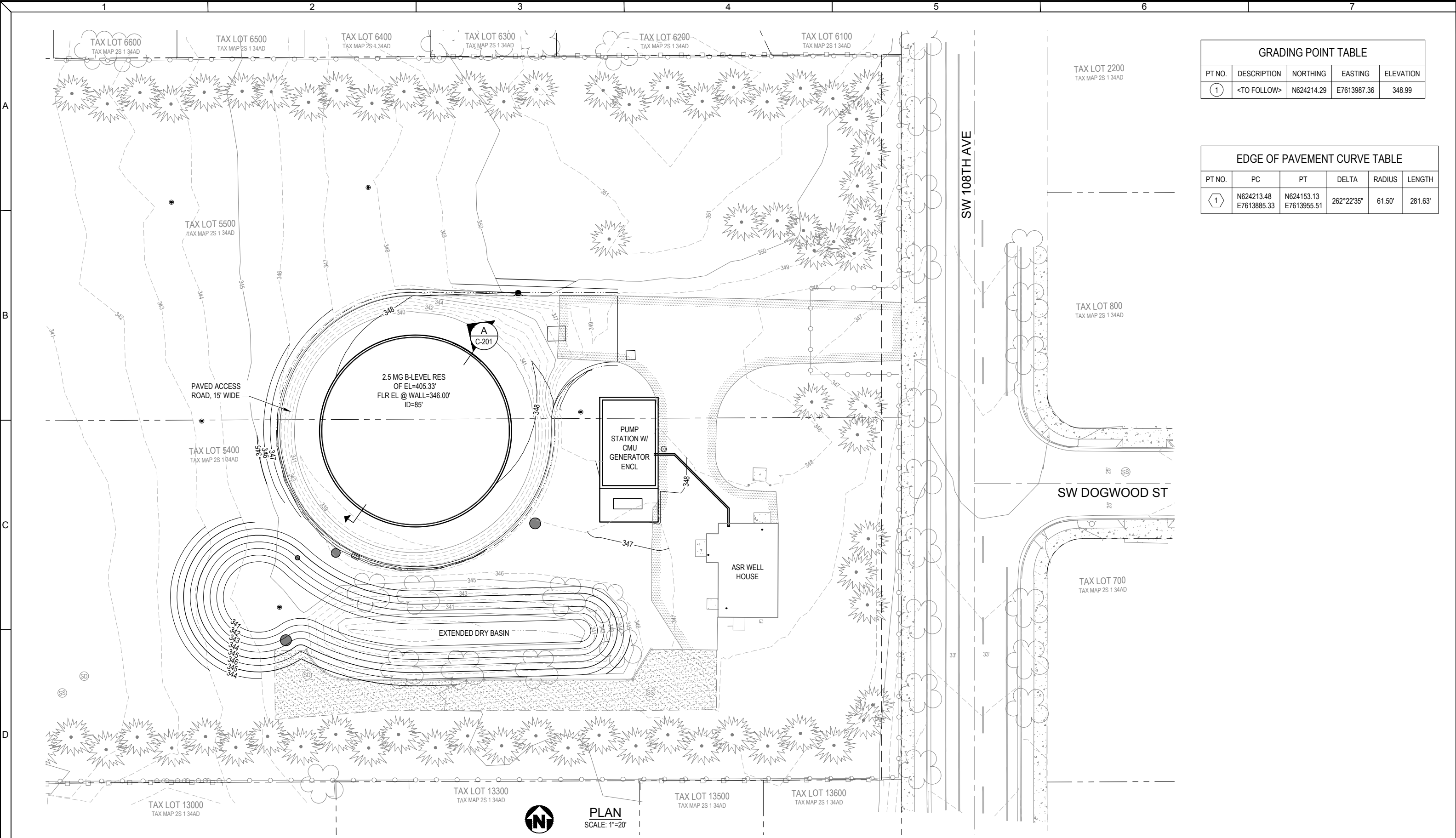
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CONDITIONAL USE PERMIT APPLICATION

CITY OF TUALATIN

SW 108TH AVE WATER RESERVOIR AND PUMP STATION

SITE LAYOUT PLAN



GRADING POINT TABLE				
PT NO.	DESCRIPTION	NORTHING	EASTING	ELEVATION
1	<TO FOLLOW>	N624214.29	E7613987.36	348.99

EDGE OF PAVEMENT CURVE TABLE					
PT NO.	PC	PT	DELTA	RADIUS	LENGTH
1	N624213.48 E7613885.33	N624153.13 E7613955.51	262°22'35"	61.50'	281.63'

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CITY OF TUALATIN
SW 108TH AVE WATER RESERVOIR
AND PUMP STATION

05 - CIVIL

SITE GRADING PLAN

05-C-111

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Drawn By:

MBE

Checked By:

ANB

Approved By:

TMS

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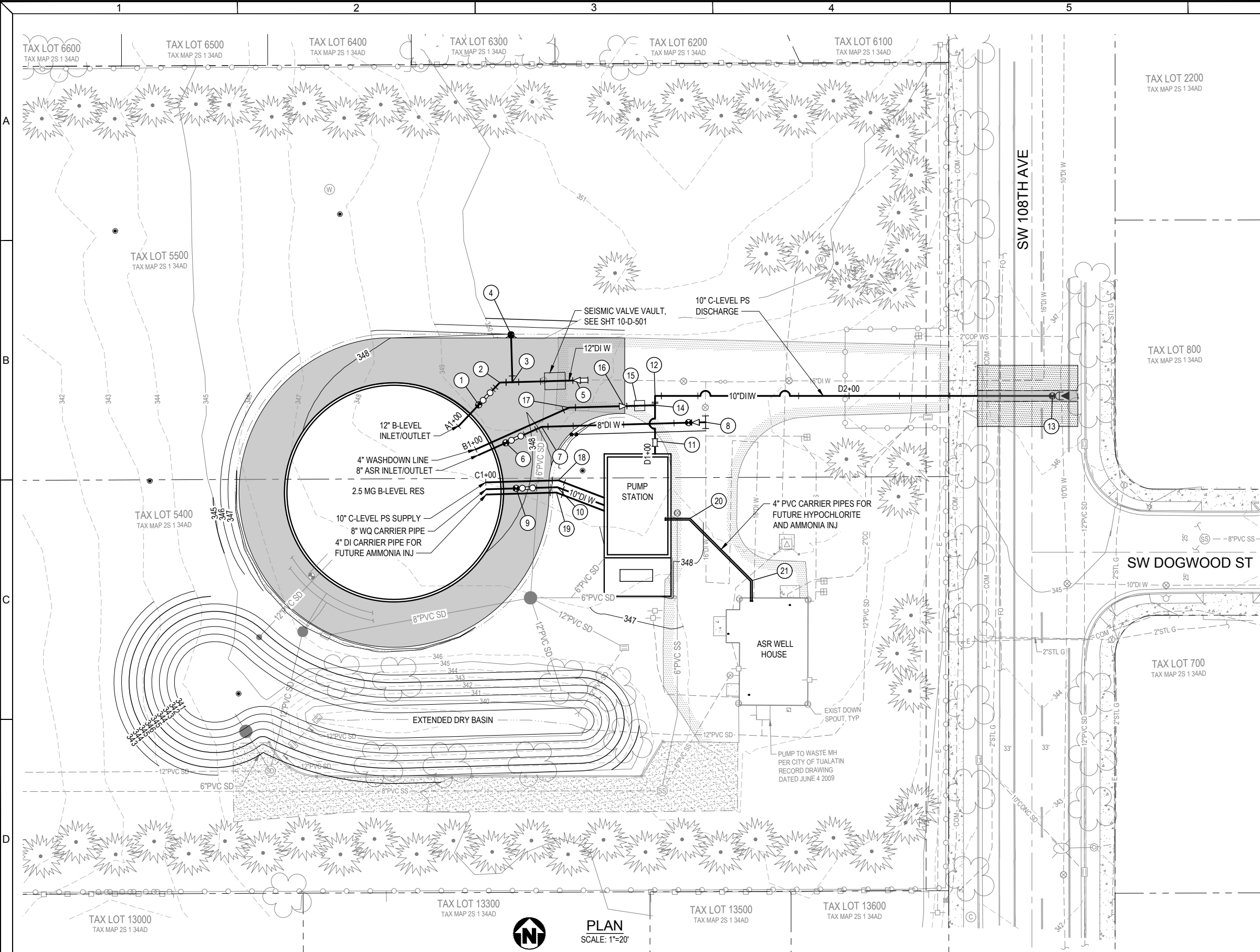
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Sheet:

05-C-111

0 1/2 1 IF BAR DOES NOT MEASURE 1" DRAWING IS NOT TO SCALE

CONDITIONAL USE
PERMIT APPLICATION



- NOTES:
1. SEE SHEET 05-C-302 FOR SITE WATER PIPING PROFILES.
 2. CONTRACTOR SHALL POTHOLE AND VERIFY LOCATIONS, SIZES AND DEPTHS OF EXISTING UTILITIES. NOTIFY ENGINEER OR POTENTIAL CONFLICTS 72 HOURS IN ADVANCE OF WATER MAIN INSTALLATION TO ALLOW FOR CHANGES IN ALIGNMENT OR GRADE.
 3. LOCATION OF EXISTING UTILITIES ARE BASED ON INFORMATION SUPPLIED BY OTHERS AND ARE CONSIDERED APPROXIMATE.
 4. ALL PIPE SHALL BE DUCTILE IRON CLASS 52. ALL JOINTS ON PIPE, FITTINGS AND VALVES SHOWN SHALL BE RESTRAINED JOINT, UNLESS OTHERWISE NOTED.
 5. INSTALL WATER FACILITIES PER TYPICAL TRENCH SECTION, SEE DETAIL X, SHEET XX-X-XXX.
 6. WHERE HORIZONTAL AND VERTICAL BENDS ARE NOT SPECIFIED, CONTRACTOR SHALL DEFLECT PIPE TO ACHIEVE HORIZONTAL AND VERTICAL ALIGNMENTS AS SHOWN. DEFLECTION SHALL NOT EXCEED ONE-HALF OF THE MAXIMUM INSTALLED DEFLECTION RECOMMENDED BY THE PIPE MANUFACTURER.
 7. FINAL LOCATIONS FOR FIRE HYDRANTS, BLOW OFFS, AND AIR RELEASE VALVES TO BE COORDINATED IN FIELD WITH AND DETERMINED BY THE OWNER. CONTRACTOR TO PROVIDE OWNER WITH ADJUSTMENTS MADE IN FIELD AND AS BUILT.
 8. PLACEHOLDER NOTE. LOW PRESSURE HYDRANT IS INTENDED TO BE USED FOR EMERGENCY DISTRIBUTION. HYDRANT WILL NOT PROVIDE ADEQUATE PRESSURE FOR FIRE FLOWS.

WATER PIPING SCHEDULE				
ALIGN A: 12" B-LEVEL INLET/OUTLET		ALIGN C: 10" C-LEVEL PS SUPPLY		
STA A1+11 N624186.39, E7613928.63 FURNISH & INSTALL: 1-12" BFV, FLG 1-12" FLEX EXP JT, FLGxMJ	9	STA C1+10 N624152.81, E7613942.54 FURNISH & INSTALL: 1-10" GV, FLG 1-10" FLEX EXP JT, FLGxMJ		
STA A1+23 N624194.98, E7613937.22 FURNISH & INSTALL: 1-12" 45° HORIZ BEND, MJ	10	STA C1+28 N624152.81, E7613962.58 FURNISH & INSTALL: 1-10" 22.5° HORIZ BEND, MJ		
STA A1+28 N624194.98, E7613942.22 FURNISH & INSTALL: 1-12"x6" TEE, FLGxMJ 1-6" GV, FLGxMJ	11	ALIGN D: 10" C-LEVEL PS DISCHARGE		
STA A1+28 N624213.83, E7613942.22 FURNISH & INSTALL: 1-FH ASSY, LOW PRESSURE HYDRANT, PAINTED BLUE, SEE NOTE 8	12	STA D1+05 N624169.47, E7613998.13 FURNISH & INSTALL: 1-10" LS, MJ		
STA A1+58 N624194.98, E7613972.22 CONN TO EXIST 16" DI W FURNISH & INSTALL: 1-16"x12" RDCR, MJ 1-16" LS, MJ	13	STA D1+23 N624187.96, E7613998.64 FURNISH & INSTALL: 1-10" 90° DI HORIZ BEND, MJ		
ALIGN B: 8" ASR INLET/OUTLET		STA D2+81 N624183.56, E7614156.27 CONN TO EXIST 10" DI W FURNISH & INSTALL: 1-10" TAPPING SLV, FLG 1-10" TAPPING GV, FLGxMJ 1-TB	18	WQ SAMPLING & INJ SYS: N624155.56, E7613959.43 FURNISH & INSTALL: 1-8" 22.5° HORIZ BEND, MJ
STA B1+11 N624170.98, E7613938.93 FURNISH & INSTALL: 1-8" GV, FLG 1-8" FLEX EXP JT, FLGxMJ	14	FURNISH & INSTALL: 1-10"x2" SERVICE SADDLE	19	N624150.72, E7613958.46 FURNISH & INSTALL: 1-4" 22.5° HORIZ BEND, MJ
STA B1+26 N624176.96, E7613953.36 FURNISH & INSTALL: 1-8" 22.5° HORIZ BEND, MJ	15	FURNISH & INSTALL: WASHDOWN LINE WITH BFD, SEE DET 2, SHT 05-C-504	20	N624139.01, E7614011.20 FURNISH & INSTALL: 2-4" 45° LONG RADIUS SCHED 80 PVC HORIZ BEND, MJ
STA B1+91 N624176.96, E7614018.42 CONN TO EXIST 16" DI W FURNISH & INSTALL: 1-8" GV, MJ 1-16"x8" RDCR, MJ 1-16" TEE, MJ 1-6" BO ASSY	16	N624184.26, E7613985.88 FURNISH & INSTALL: 1-4"x2" RDCR, MJ	21	N624113.68, E7614035.15 FURNISH & INSTALL: 2-4" 45° LONG RADIUS SCHED 80 PVC HORIZ BEND, MJ
LEGEND:				
FULL DEPTH AC TRENCH PATCH WITH 6" T-CUT				
GRIND & INLAY 2" DEPTH				

Consultant:

Sub Consultant:

Engineer's Seal:

Client / Owner:

Project Title:

05 - CIVIL

Designed By:

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Consor Project No.:

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Sheet:

05-C-120

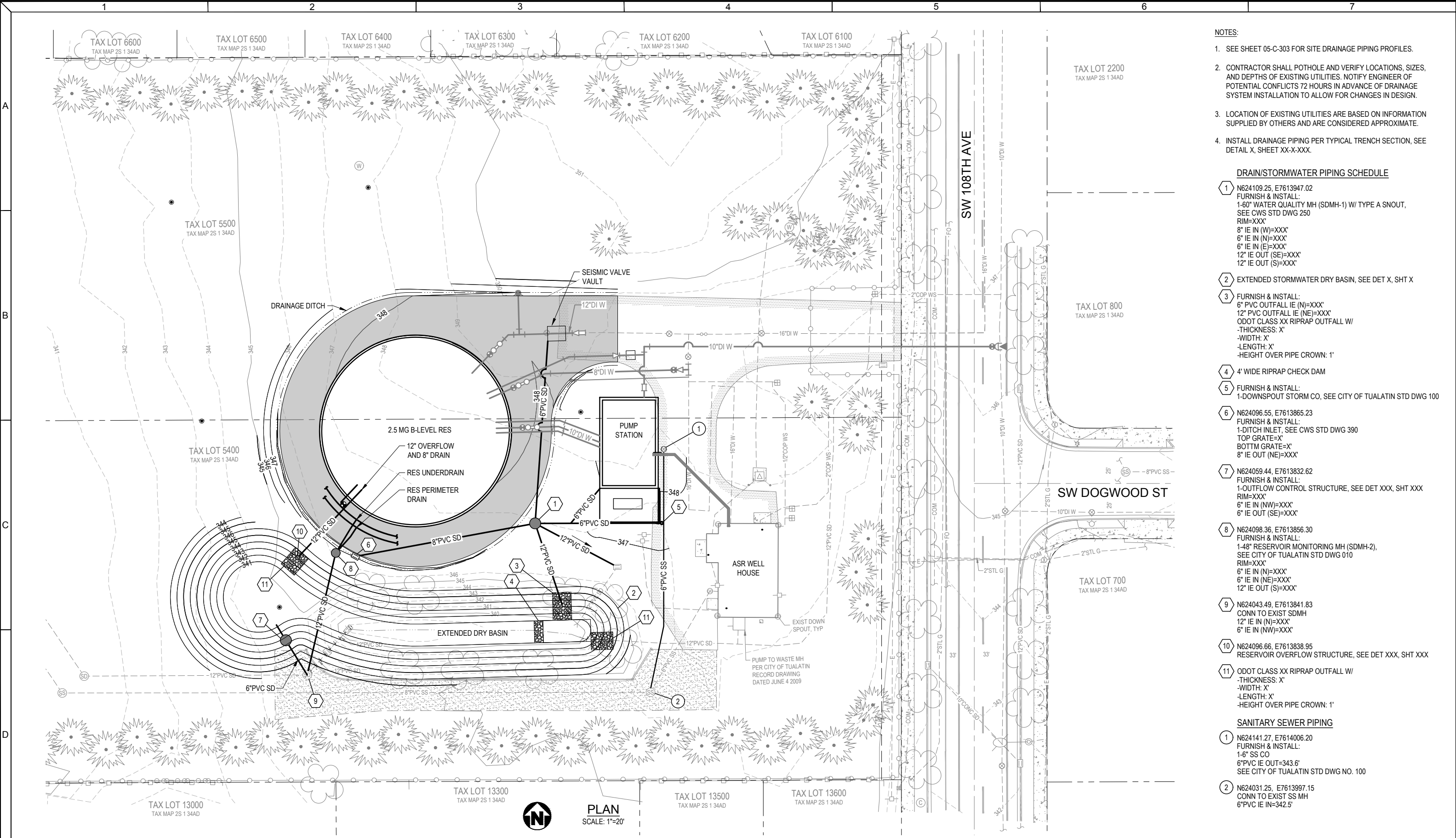
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CONDITIONAL USE PERMIT APPLICATION

CITY OF TUALATIN
SW 108TH AVE WATER RESERVOIR
AND PUMP STATION

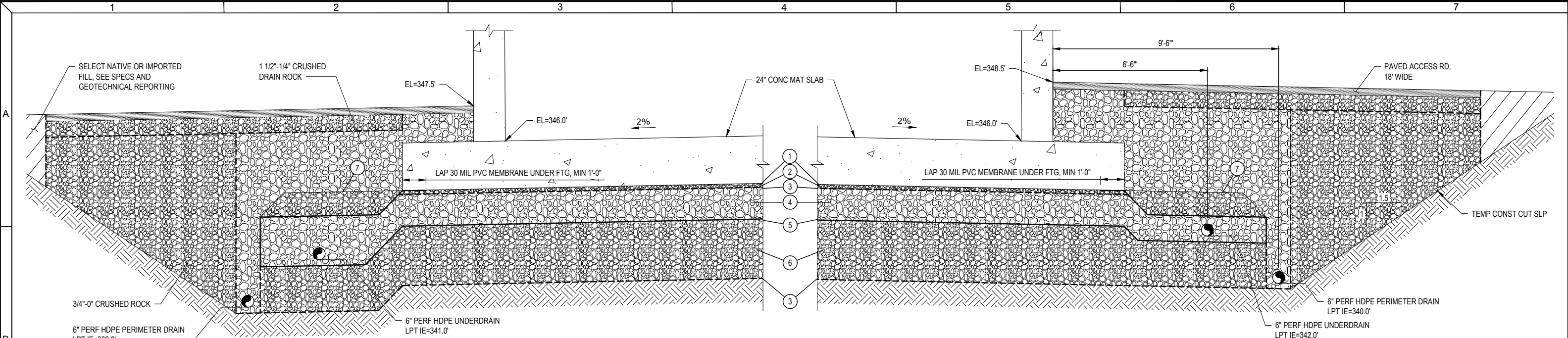
SITE WATER PIPING PLAN

Drawing Path and Name: A:\V\W\Projects\CR\Tualatin\2024\W2407580r\0012 CAD\12-5 sheets\W2407580r_05-C-120.dwg, Plotted Date: May 6, 2025 12:25 PM By: Justin Devel



- NOTES:**
- SEE SHEET 05-C-303 FOR SITE DRAINAGE PIPING PROFILES.
 - CONTRACTOR SHALL POTHOLE AND VERIFY LOCATIONS, SIZES, AND DEPTHS OF EXISTING UTILITIES. NOTIFY ENGINEER OF POTENTIAL CONFLICTS 72 HOURS IN ADVANCE OF DRAINAGE SYSTEM INSTALLATION TO ALLOW FOR CHANGES IN DESIGN.
 - LOCATION OF EXISTING UTILITIES ARE BASED ON INFORMATION SUPPLIED BY OTHERS AND ARE CONSIDERED APPROXIMATE.
 - INSTALL DRAINAGE PIPING PER TYPICAL TRENCH SECTION, SEE DETAIL X, SHEET XX-X-XXX.
- DRAIN/STORMWATER PIPING SCHEDULE**
- N624109.25, E7613947.02
FURNISH & INSTALL:
1-60" WATER QUALITY MH (SDMH-1) W/ TYPE A SNOOT, SEE CWS STD DWG 250
RIM=XXX'
8" IE IN (W)=XXX'
6" IE IN (N)=XXX'
6" IE IN (E)=XXX'
12" IE OUT (SE)=XXX'
12" IE OUT (S)=XXX'
 - EXTENDED STORMWATER DRY BASIN, SEE DET X, SHT X
 - FURNISH & INSTALL:
6" PVC OUTFALL IE (N)=XXX'
12" PVC OUTFALL IE (NE)=XXX'
ODOT CLASS XX RIPRAP OUTFALL W/
-THICKNESS: X'
-WIDTH: X'
-LENGTH: X'
-HEIGHT OVER PIPE CROWN: 1'
 - 4' WIDE RIPRAP CHECK DAM
 - FURNISH & INSTALL:
1-DOWNSPOUT STORM CO, SEE CITY OF TUALATIN STD DWG 100
 - N624096.55, E7613865.23
FURNISH & INSTALL:
1-DITCH INLET, SEE CWS STD DWG 390
TOP GRATE=X'
BOTTM GRATE=X'
8" IE OUT (NE)=XXX'
 - N624059.44, E7613832.62
FURNISH & INSTALL:
1-OUTFLOW CONTROL STRUCTURE, SEE DET XXX, SHT XXX
RIM=XXX'
6" IE IN (NW)=XXX'
6" IE OUT (SE)=XXX'
 - N624098.36, E7613856.30
FURNISH & INSTALL:
1-48" RESERVOIR MONITORING MH (SDMH-2), SEE CITY OF TUALATIN STD DWG 010
RIM=XXX'
6" IE IN (N)=XXX'
6" IE IN (NE)=XXX'
12" IE OUT (S)=XXX'
 - N624043.49, E7613841.83
CONN TO EXIST SDMH
12" IE IN (N)=XXX'
6" IE IN (NW)=XXX'
 - N624096.66, E7613838.95
RESERVOIR OVERFLOW STRUCTURE, SEE DET XXX, SHT XXX
 - ODOT CLASS XX RIPRAP OUTFALL W/
-THICKNESS: X'
-WIDTH: X'
-LENGTH: X'
-HEIGHT OVER PIPE CROWN: 1'
- SANITARY SEWER PIPING**
- N624141.27, E7614006.20
FURNISH & INSTALL:
1-6" SS CO
6"PVC IE OUT=343.6'
SEE CITY OF TUALATIN STD DWG NO. 100
 - N624031.25, E7613997.15
CONN TO EXIST SS MH
6"PVC IE IN=342.5'

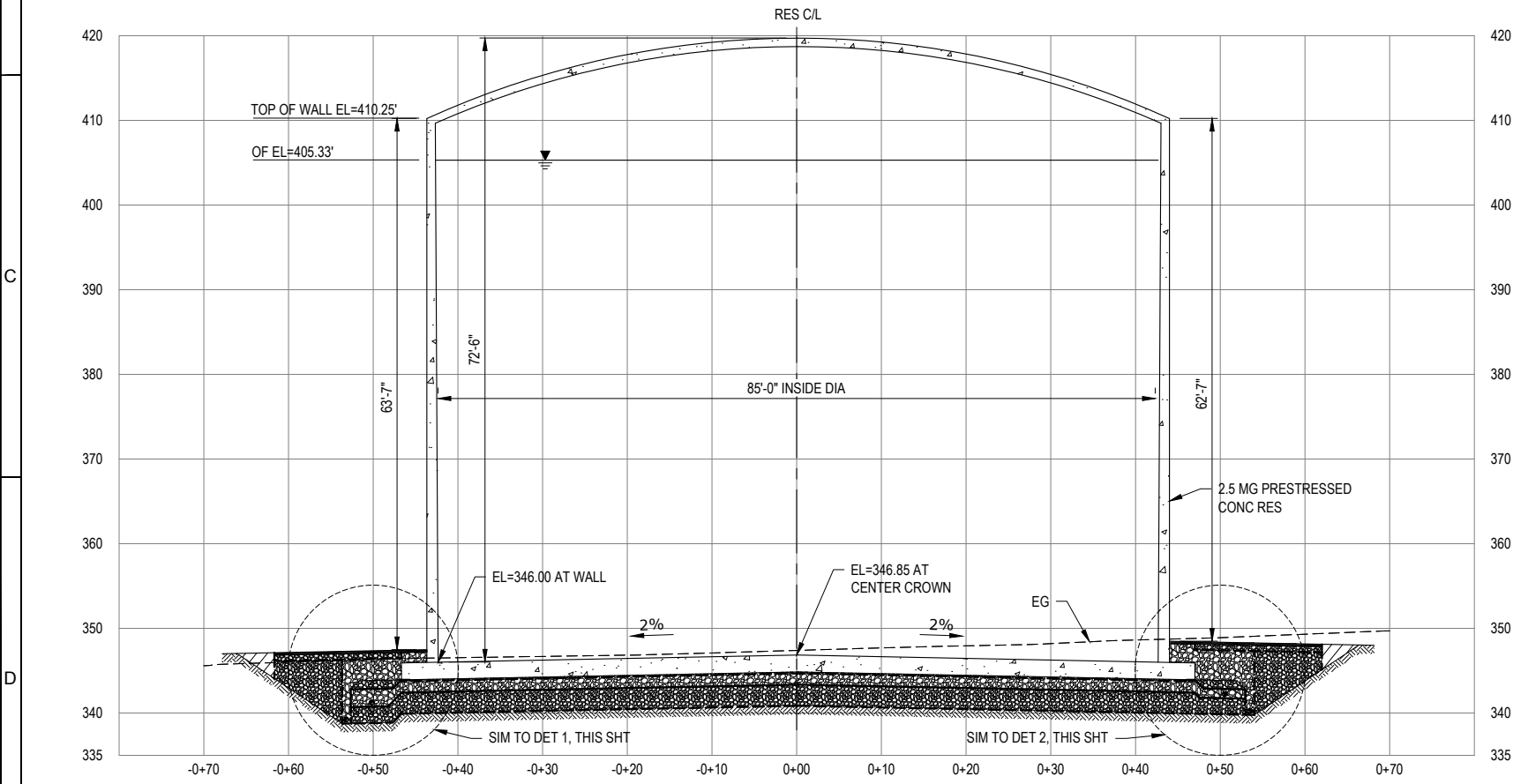
<div>Consultant:</div> <div></div> <div>This document, ideas, and designs incorporated herein, are an instrument of professional service, and is not to be used, in whole or in part, for any other project without the written authorization of CONSOR.</div>	<div>Sub Consultant:</div>	<div>CONDITIONAL USE PERMIT APPLICATION</div>	<div>Engineer's Seal:</div>	<div>Client / Owner:</div> <div></div>	<div>Project Title:</div> <div>CITY OF TUALATIN SW 108TH AVE WATER RESERVOIR AND PUMP STATION</div>	<div>05 - CIVIL</div> <div>SITE DRAINAGE PIPING PLAN</div>	Designed By: TMS	Consor Project No.: W240758OR
							Drawn By: MBE	Issued On: APRIL 2025
							Checked By: ANB	Sheet: 05-C-121
							Approved By: TMS	0 1/2 1 IF BAR DOES NOT MEASURE 1" DRAWING IS NOT TO SCALE



1 SUBGRADE DRAINAGE AND BACKFILL LPT
SCALE: 1/2"=1'-0"

2 SUBGRADE DRAINAGE AND BACKFILL HPT
SCALE: 1/2"=1'-0"

- NOTES:
- 1. CAP UNDERDRAIN AND PERIMETER DRAIN AT HIGH POINTS AND SLOPE AS SHOWN ON 10-D-100 IN EACH DIRECTION AROUND THE RESERVOIR TO THE LOW POINT. ROUTE TO MONITORING MANHOLE.
 - 2. OBTAIN GEOTECHNICAL ENGINEERS APPROVAL OF FINAL SUBGRADE PRIOR TO PLACEMENT OF LEVELING COURSE, GEOTEXTILE, PVC MEMBRANE, CRUSHED DRAIN ROCK, AND CRUSHED ROCK.
 - 3. ALL CUT SLOPES TO BE EVALUATED AND APPROVED BY GEOTECHNICAL ENGINEER. TEMPORARY CONSTRUCTION CUT SLOPES SHALL NOT EXCEED 1.5H:1V.
- RESERVOIR SUBGRADE KEY NOTES
- 1 6 MIL POLYETHYLENE SHEETING UNDER ENTIRE MAT SLAB
 - 2 3/4"-0" CRUSHED ROCK LEVELING COURSE, MIN 2" THK
 - 3 MIRAFI 140N GEOTEXTILE OR APPVD EQ
 - 4 1 1/2"-1/4" CRUSHED DRAIN ROCK, 16" THK
 - 5 30 MIL PVC MEMBRANE SHEETING BETWEEN LAYERS OF MIRAFI 1160N GEOTEXTILE PADDING OR APPVD EQ
 - 6 3/4"-0" CRUSHED ROCK, MIN 30" THK
 - 7 3/4"-0" CRUSHED ROCK, 5' SPAN, 12" THK, TO BE PROVIDED ADJACENT TO FOOTING TO ALLOW FOR SECURING OF FOOTING FORM SUPPORT STAKES.



A RESERVOIR SECTION
C-100 SCALE: 1"=10' HORIZ, 1"=10' VERT

Consultant: 	Sub Consultant:	Engineer's Seal:	Client / Owner: 	Project Title: CITY OF TUALATIN SW 108TH AVE WATER RESERVOIR AND PUMP STATION	PERMIT RESERVOIR SECTION AND DETAILS	Designed By: TMS Drawn By: MBE Checked By: ANB Approved By: TMS	Consort Project No.: W240758OR Issued On: APRIL 2025 Sheet: 05-C-201 0 1/2 1 IF BAR DOES NOT MEASURE 1" DRAWING IS NOT TO SCALE
CONDITIONAL USE PERMIT APPLICATION							

A

B

C

D

Section I - Governing Codes	
2019 OFC, OESC, OPSC, OSSC	
2019 OMSC, OEESC (ASHRAE 90.1-2019)	
Section II - Building "Construction" Data	
Type of Construction	Type VB - CMU, Metal & Wood
Maximum Building Height	15 feet 10 inches
Maximum Allowable Height	35 feet
Number of Stories	1 story
Allowable Number of Stories	2 story
Basement	No
Total Floor Area Provided	Pump Station=598 square feet Pump Room = 467 square feet
Electrical Room = 131 square feet	
Minimum Required Property Setbacks*	
Front (West)	15 feet
Side (North)	5 feet
Back (East)	15 feet
Side (South)	5 feet
*Washington County	
Section III - Building "Occupancy" Data	
Building Occupancy Classification Group(s)	U
Occupancy Classification Group by Floor	U
Occupancy Classification Group by Room	U
Well Room	U
Electrical Room	U
Accessory or Incidental Use Areas	N/A
Total Occupant Load by Floor	1
Total Occupant Load for Each Room	1
Total Occupant Load for Each Occupancy Group	N/A
Section IV - Building Area Data "Actual" and "Allowable"	
Section IV - Building Area Data "Actual" and "Allowable"	Pump Station = 598 square feet
Allowable Base Area (OSSC Table 503)	8,500 square feet (Type VB, Group U)
Building Frontage	See Sheet PS-A-2, Non-Sprinklered
Section V - "Fire Resistive" Building Elements	
Separation of Occupancies	0 hours (U, Non-Sprinklered)
Section VI - Building "Exiting"	
Maximum Floor Area Allowance Per Occupant	N/A - Not Customarily Occupied
Exits Required in Each Room or Area	1
Exits Provided in Each Room or Area	1
Exits Required per Floor	1
Exits Provided per Floor	1
Exit Width Required per Exit	32 inches
Minimum Corridor Exit Width Required	30 inches
Emergency Exit Illumination	See Sheets PS-E-3
Exit Sign Layout Plan	See Sheets PS-E-3
Section VII - Building "Fire Detection and Suppression"	
Smoke Detection/Fire Alarm System Req'd	No
Smoke Detection/Fire Alarm System Provided	No
Type of System	N/A
Areas Protected	N/A
Sprinkler System Req'd	No, per OSSC 903.2.11 Exemptions
Standpipe System Req'd	No
Number of Fire Dept Vehicle Accesses	1
Fire Extinguisher Locations	See Sheets PS-A-2

Section VIII - Occupancy Ventilation Requirements	
Not required for pump room or electrical room	
Section IX - Energy Code Requirements	
Building is enclosed space, U occupancies.	
Building Unit Insulation Values (Prescriptive Building Envelope Compliance Path: ASHRAE 90.1-2019)	
Skylights	U-0.50 (Max)
Doors: Swinging, opaque	U-0.37 (Max)
Roof: Attic and other	R-49 Batt (Min)
Walls: Above ground-CMU	R-9.5ci (Min)
Floors: Mass (exposed to exterior)	R-14.6ci (Min)
Slab-on-Grade Floors: Unheated slab	R-15 for 24 inches
Lighting Layout	See Sheet E-C6
Envelope Compliance Certified via COMcheck	
Section X - Hazardous Materials	
Hazardous Materials Present	No
Section XI - Accessibility	
Exterior Route of Travel - See Sheets PS-A-1	
Facility is for equipment access only and does not require accessibility	
Section XII - Plumbing Fixture Count Requirements	
Not Applicable - this remotely monitored station is "not customarily occupied"	
Section XIII - Underground and Pad mounted Transformers	
See Sheets E-C1	
Section XIV - Special Inspection, Structural Observation	
-Required Structural Inspection requirements are indicated on PS-S-2 Sheet and Specifications	
-Structural Observation requirements are indicated on PS-S-2 Sheet and Specifications	
-Deferred Submittals:	
NR	
Section XV - Room Specific Requirements	
Not Applicable -This remotely monitored station is "not customarily occupied"	

REVISED MATERIAL FINISH SCHEDULE			
ITEM	FINISH	COLOR	REMARKS
EXTERIOR WALLS	CMU FACTORY COLOR, COATING SYSTEM 306	NATURAL	SPLIT FACE CMU
ROOFING	FACTORY FINISH	TBD	METAL STANDING SEAM ROOFING SYSTEM
MISCELLANEOUS METALS INTERIOR/EXTERIOR	COATING SYSTEM 101	PER SECTION SECTION 10 14 10 - IDENTIFYING DEVICES	PIPING
WOOD, ARCHITECTURAL FEATURES	COATING SYSTEM 303	TBD	MATCH FACTORY LOUVER COLOR
LOUVERS	FACTORY FINISH	TBD	FACTORY COATING (GREENHECK COLOR MATCH)
DOORS 1, 2, 3, & 4	COATING SYSTEM 101	TBD	FACTORY PRIME, MATCH FACTORY LOUVER COLOR
INTERIOR PUMP ROOM WALLS	UNFINISHED	NATURAL	CMU BLOCK, SMOOTH FACE & GYP BOARD
INTERIOR ELECTRICAL ROOM WALLS	UNFINISHED	NATURAL	CMU BLOCK, SMOOTH FACE & GYP BOARD
CONCRETE FLOORS	COATING SYSTEM 306	NATURAL	SEE SCHEDULE OF FINISHES IN SECTION 03 30 00 AND COATING SCHEDULE IN 09 90 00

DOOR SCHEDULE						
NO.	DOOR SIZE	OPEN	HARDWARE	FRAME	REMARKS	
①	ACTIVE 3'-4"x7'-8" INACTIVE 3'-4"x7'-8" (6'-8"x8'-0" RO)	ACTIVE LEAF RHR	GROUP 2	4"	4"	EXTERIOR
②	3'-8"x7'-8" (4'x8' RO)	RHR	GROUP 1	4"	2"	EXTERIOR
③	3'-0"x7'-0" (3'-4"x7'-4" RO)	LHR	GROUP 3	4"	2"	INTERIOR, HALF GLASS DOOR LIGHT

WINDOW SCHEDULE					
NO.	SIZE	TYPE	MATERIAL	REMARKS	
1	LENGTH WIDTH	96" 24"	TYPE 1	4"	ELECTRICAL ROOM LITE

EXIST PATH, TYP

PUMP ROOM
624 SF

ELECTRICAL ROOM
304 SF

GENSET

CODE PLAN
SCALE: 1/4" = 1'-0"

Consultant:

This document, ideas, and designs incorporated herein, are an instrument of professional service, and is not to be used, in whole or in part, for any other project without the written authorization of CONSOR.

Sub Consultant:

CONDITIONAL USE PERMIT APPLICATION

Engineer's Seal:

Client / Owner:

CITY OF TUALATIN
SW 108TH AVE WATER RESERVOIR
AND PUMP STATION

Project Title:

20 - PUMP STATION

PUMP STATION CODE COMPLIANCE AND SCHEDULES

Designed By:
TMS

Drawn By:
MBE

Checked By:
ANB

Approved By:
TMS

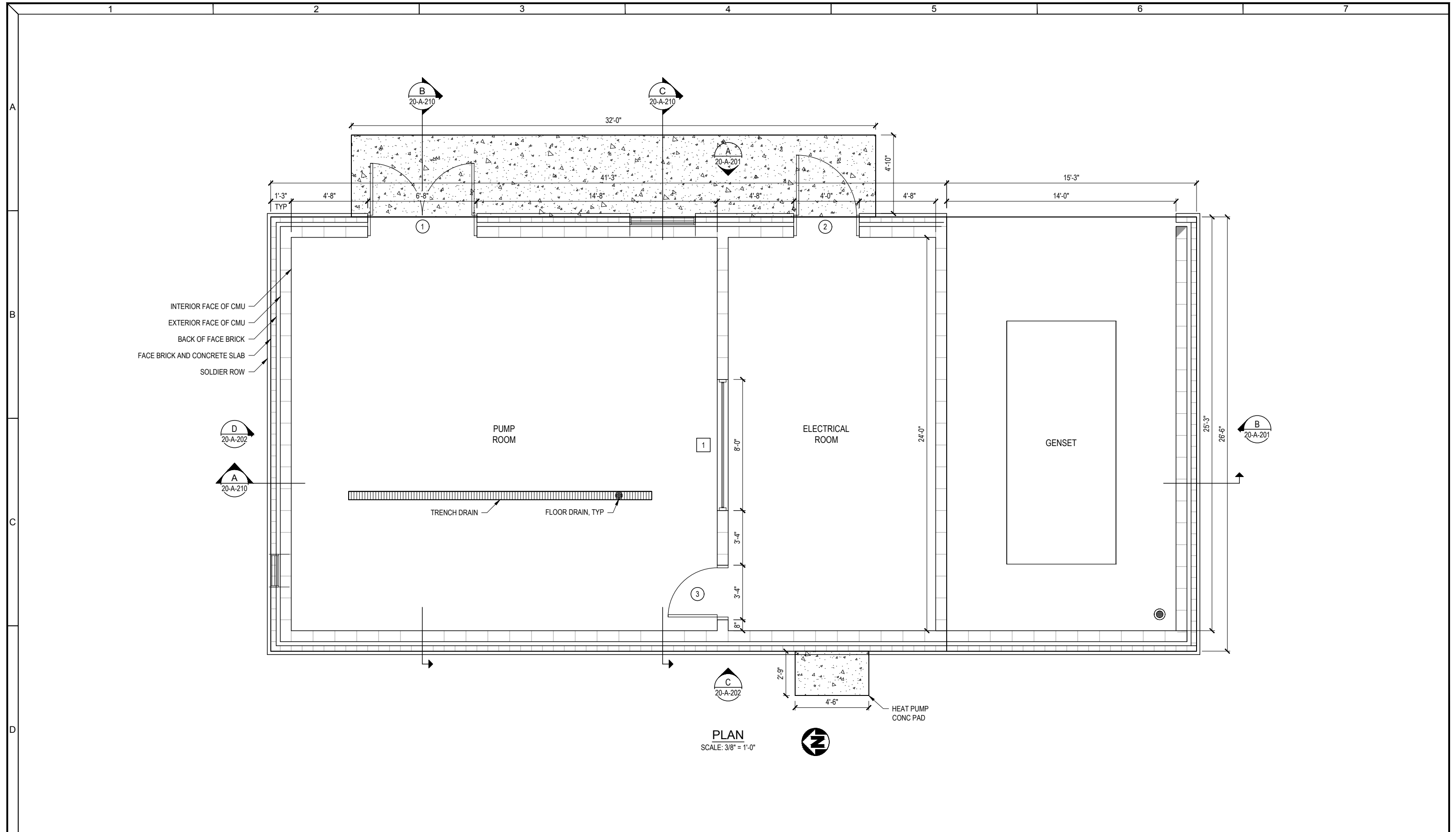
Conсор Project No.:
W2407580R

Issued On:
APRIL 2025

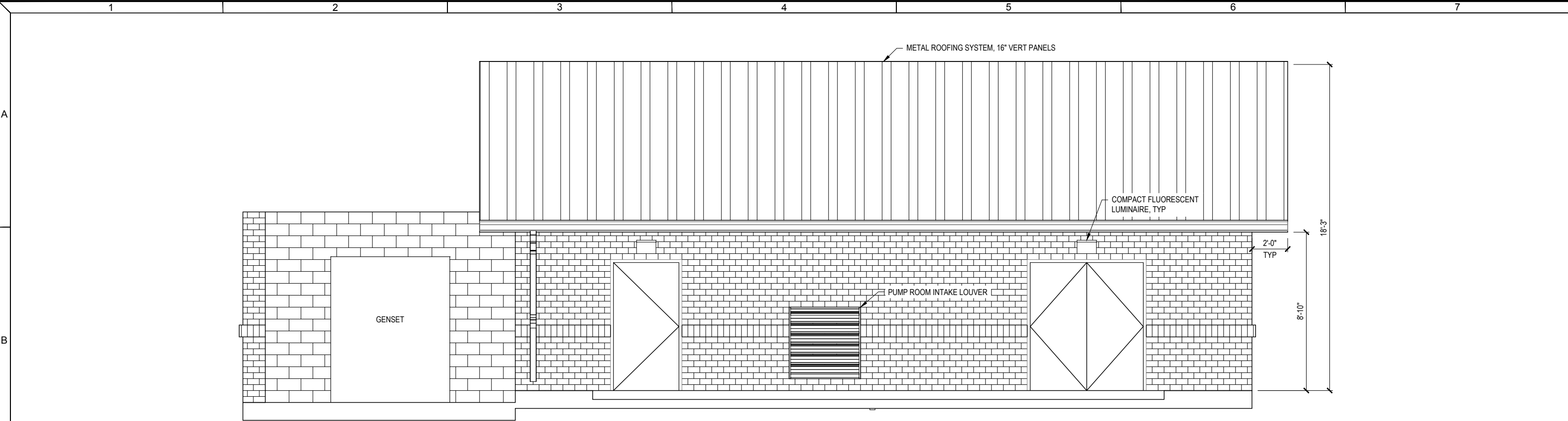
Sheet:
20-A-001

01/2

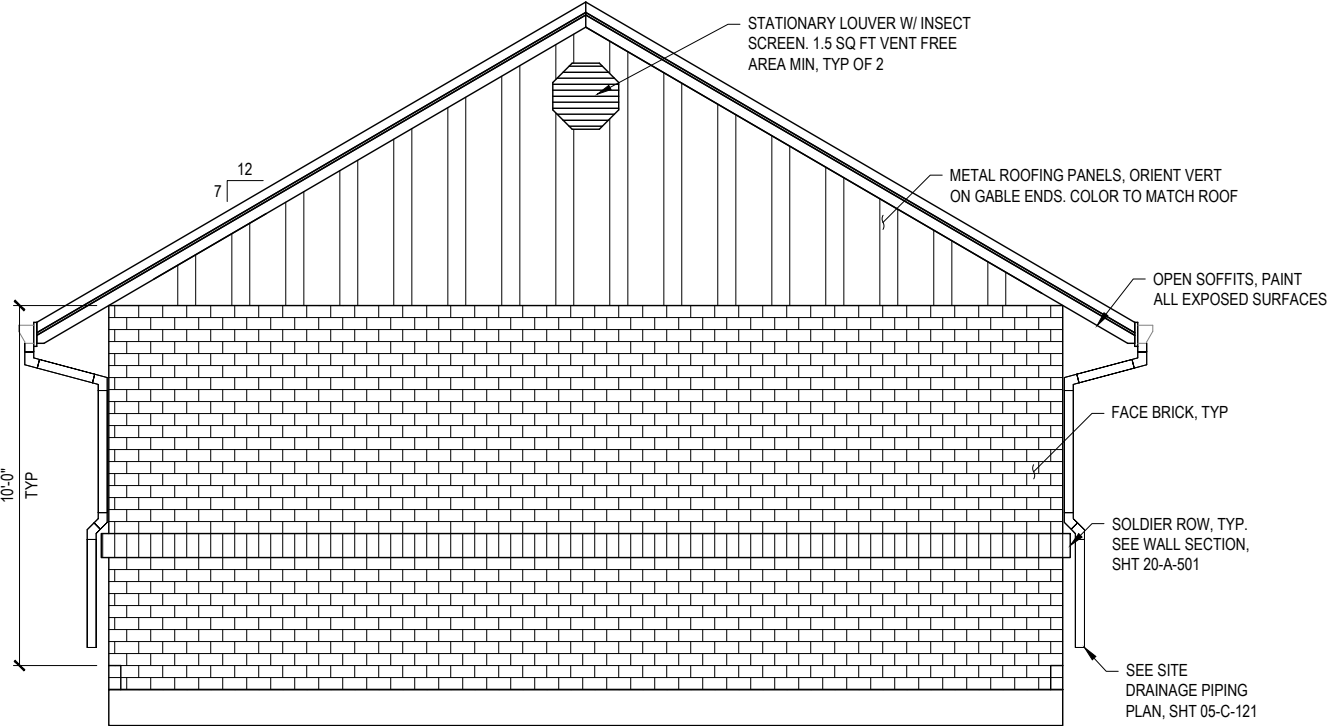
IF BAR DOES NOT MEASURE 1"
DRAWING IS NOT TO SCALE



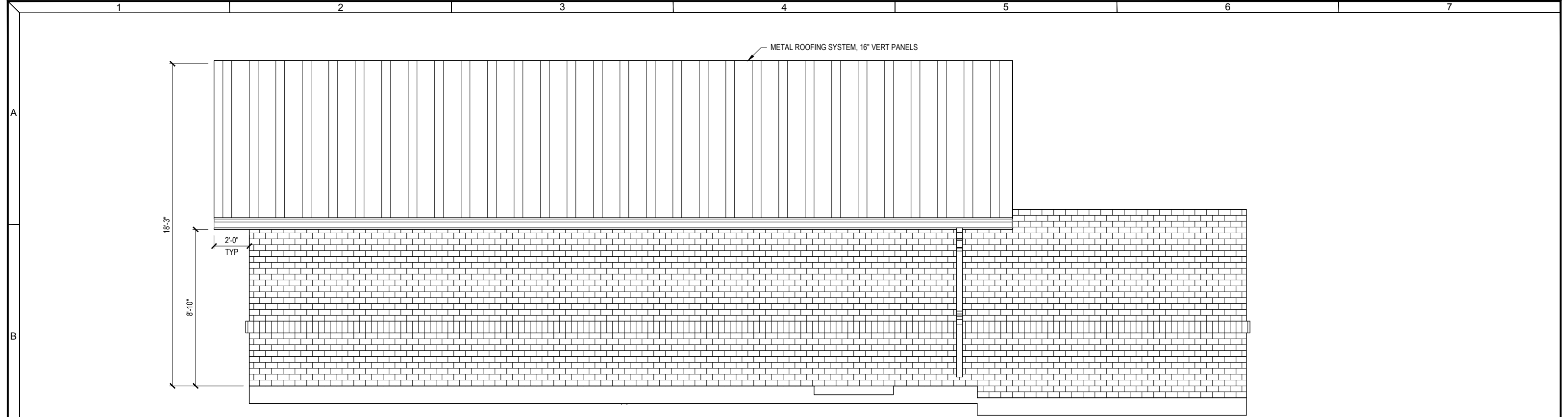
<div>Consultant:</div> <div></div> <div>This document, ideas, and designs incorporated herein, are an instrument of professional service, and is not to be used, in whole or in part, for any other project without the written authorization of CONSOR.</div>	<div>Sub Consultant:</div>	<div>CONDITIONAL USE PERMIT APPLICATION</div>	<div>Engineer's Seal:</div>	<div>Client / Owner:</div> <div></div>	<div>Project Title:</div> <div>CITY OF TUALATIN SW 108TH AVE WATER RESERVOIR AND PUMP STATION</div>	<div>20 - PUMP STATION</div> <div>PUMP STATION FLOOR PLAN</div>	<div>Designed By:</div> <div>AMB</div>	<div>Consor Project No.:</div> <div>W240758OR</div>
							<div>Drawn By:</div> <div>JLC</div>	<div>Issued On:</div> <div>APRIL 2025</div>
							<div>Checked By:</div> <div>ANB</div>	<div>Sheet:</div> <div>20-A-101</div>
							<div>Approved By:</div> <div>AMB</div>	<div>0 1/2 1 IF BAR DOES NOT MEASURE 1"</div> <div>DRAWING IS NOT TO SCALE</div>



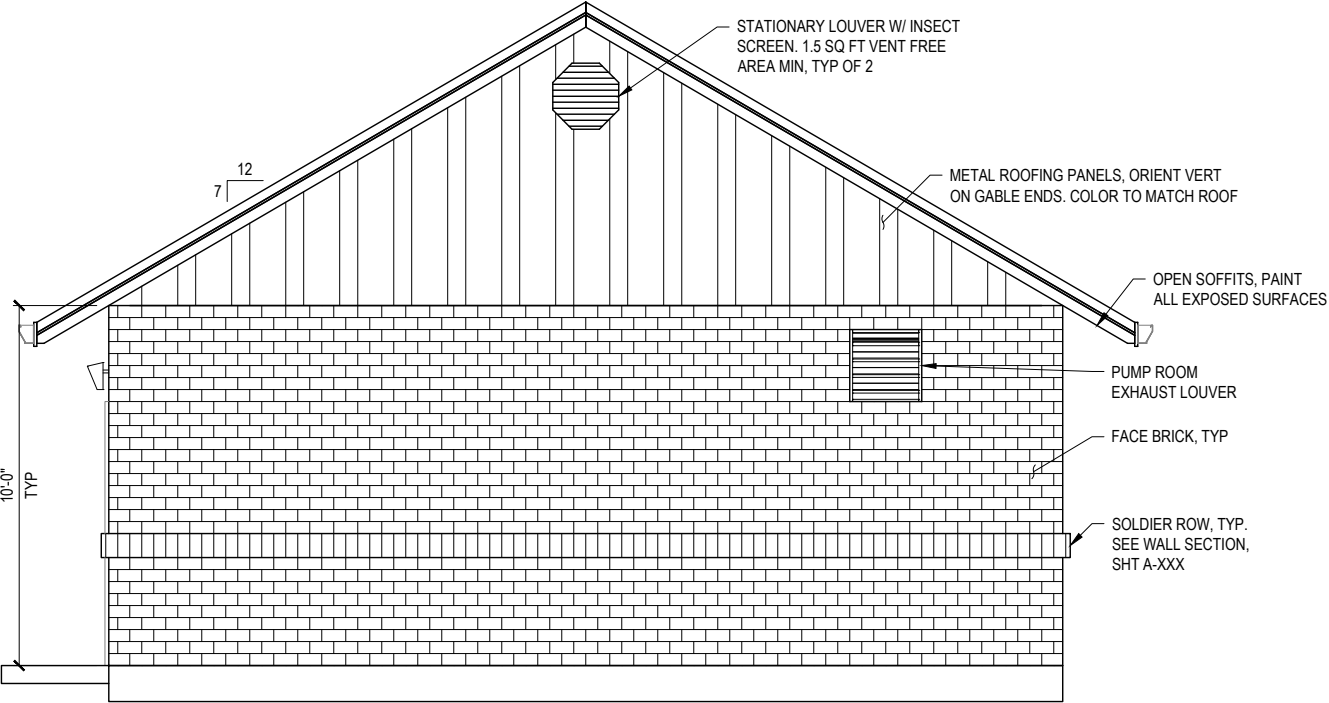
A EAST ELEVATION
20-A-101 SCALE: 3/8" = 1'-0"



B SOUTH ELEVATION
20-A-101 SCALE: 3/8" = 1'-0"



C WEST ELEVATION
20-A-101 SCALE: 3/8" = 1'-0"





D NORTH ELEVATION
20-A-101 SCALE: 3/8" = 1'-0"

**Applicant's Consultant/Primary Contact:**

Melissa Slotemaker, AICP
AKS Engineering & Forestry, LLC
12965 SW Herman Road, Ste. 100
Tualatin, OR 97062
(503)-563-6151
slotemakerm@aks-eng.com

Land Use Application

Project Information		
Project Title: City of Tualatin Water Reservoir and Pump Station		
Brief Description: New water reservoir, water pump station, and associated site improvements.		
Estimated Construction Value: \$11,370,000		
Property Information		
Address: 22675 SW 108th Avenue		
Assessor's Map/Tax Lot Number: Map 2S134AD, Tax Lots 5400 and 5500		
Applicant		
Name: City of Tualatin	Company Name:	
Address: 18880 SW Martinazzi Avenue		
City: Tualatin	State: OR	ZIP: 97062
Phone: Please contact Applicant's Consultant.	Email: Please contact Applicant's Consultant.	
<i>As the person responsible for this application, I hereby acknowledge that I have read this application and state that the information in and included with this application in its entirety is correct. I agree to comply with all applicable City and County ordinances and State laws regarding building construction and land use.</i>		
Applicant's Signature: 	Date: 5/9/2025	
Property Owner		
Name: City of Tualatin		
Address: 18880 SW Martinazzi Avenue		
City: Tualatin	State: OR	ZIP: 97062
Phone: Please contact Applicant's Consultant.	Email: Please contact Applicant's Consultant.	
<i>Letter of authorization is required if not signed by owner.</i>		
Property Owner's Signature: 	Date: 5/9/2025	

LAND USE APPLICATION TYPE:

- | | | |
|--------------------------------------------------------------------|-----------------------------------------------------------|-----------------------------------------------------------|
| <input type="checkbox"/> Annexation (ANN) | <input checked="" type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Minor Architectural Review (MAR) |
| <input checked="" type="checkbox"/> Architectural Review (AR) | <input type="checkbox"/> Historic Landmark (HIST) | <input type="checkbox"/> Minor Variance (MVAR) |
| <input type="checkbox"/> Architectural Review—Single Family (ARSF) | <input type="checkbox"/> Industrial Master Plan (IMP) | <input type="checkbox"/> Sign Variance (SVAR) |
| <input type="checkbox"/> Architectural Review—ADU (ARADU) | <input type="checkbox"/> Plan Map Amendment (PMA) | <input type="checkbox"/> Variance (VAR) |
| | <input type="checkbox"/> Plan Text Amendment (PTA) | <input type="checkbox"/> Other _____ |
| | <input type="checkbox"/> Tree Removal Permit (TCP) | |

Office Use		
Case No:	Date Received:	Received by:
Fee:	Receipt No:	

Document 91052029 being rerecorded to add the City of Tualatin's signature.

91052029
Washington County
91070970
Washington County

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that PHYLLIS CONRAD, hereinafter called the Grantor, for the consideration hereinafter stated, to Grantor paid by the CITY OF TUALATIN, a municipal corporation of the State of Oregon, hereinafter called the Grantee, hereby conveys and warrants to said grantee that certain real property, with the tenements, hereditaments and appurtenances thereto belonging or appertaining, situated in the County of Washington and State of Oregon, described as follows, to-wit:

A tract of land more particularly described as Lot 5, COMTE & KOHLMAN'S LITTLE HOMES NO. 3, in the County of Washington and State of Oregon.

To have and to hold the same unto the said Grantee and Grantee's heirs, successors and assigns forever.

And said Grantor hereby covenants to and with said Grantee and Grantee's heirs, successors and assigns, that Grantor is lawfully seized in fee simple of the above granted premises, free from all claims and encumbrances.

Grantor warrants and will forever defend the title to the property against all persons who may lawfully claim the same.

The true and actual consideration paid for this transfer, stated in terms of dollars, is \$235,000.

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES.

IN WITNESS WHEREOF, the Grantor has executed this instrument this 18th day of September, 1991.
19th

Phyllis P. Conrad
Phyllis Conrad

STATE OF OREGON)
County of Washington) ss.
Clackamas)

Personally appeared the above-named Phyllis Conrad and acknowledged the foregoing instrument to be her voluntary act and deed. Subscribed and sworn to before me this 18th day of September, 1991.
19th

Before me:

Linda L. Quaker
Notary Public for Oregon

CD-91-60

1-4-94

1-2

1-2

Phyllis Conrad
22675 SW 108th
Tualatin, Oregon 97062
GRANTOR'S NAME AND ADDRESS

Rel. to: City of Tualatin
P.O. Box 369
Tualatin, Oregon 97062
GRANTEE'S NAME AND ADDRESS

After recording return to Grantee

The undersigned City Manager
of the City of Tualatin, being
duly authorized and directed by
the Council of the City of Tualatin,
pursuant to Ordinance No. 787-89,
does hereby approve and accept
the foregoing Warranty Deed on
behalf of the City of Tualatin.

Dated this 6th day of September, 1991
December

Stephen A. Rhodes
City Manager

STATE OF OREGON } SS
County of Washington

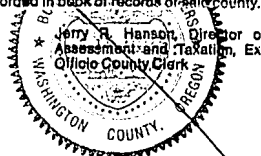
I, Jerry R. Hanson, Director of Assessment
and Taxation and Ex-Officio Recorder of Con-
veyances for said county, do hereby certify
that the within instrument of writing was
received and recorded in Book of Records of
said county.



Doc : 91070970
Rect: 67894 18.00
12/23/1991 02:45:42PM

STATE OF OREGON } 88
County of Washington

I, Jerry R. Hanson, Director of Assessment
and Taxation and Ex-Officio Recorder of Con-
veyances for said county, do hereby certify that
the within instrument of writing was received
and recorded in Book of Records of said county.



Doc : 91052029
Rect: 62497 38.00
09/20/1991 08:35:25AM

2 - WARRANTY DEED

2 2



February 20, 2025

Re: Neighborhood Meeting – City of Tualatin Reservoir and Pump Station

Dear Neighbor/Property Owner:

On behalf of the City of Tualatin (City), AKS Engineering & Forestry, LLC is holding a neighborhood meeting regarding a ± 4.75 -acre site located at 22675 SW 108th Avenue. The site can also be described as Tax Lots 5400 and 5500 of Washington County Assessor's Map 2S134AD. The site is in the Low Density Residential (RL) zoning district. The City is considering improving the site with a new drinking water storage reservoir, pump station, and associated site improvements. The new improvements will continue to use the access from SW 108th Avenue.

Prior to submitting the application, we would like to take the opportunity to discuss the application in more detail with you. We will attempt to answer questions relevant to meeting standards consistent with the City of Tualatin Development Code. You are cordially invited to attend a meeting at the date, time, and location detailed below:

March 12th at 6:00 PM
Tualatin Public Library Community Room
18878 SW Martinazzi Ave

This is an informational meeting to share the development proposal with interested neighbors. You will have the opportunity to review preliminary plans and identify topics of interest or consideration. Please note this meeting will be an informational meeting based on preliminary plans. These plans may be altered prior to submittal of the application to the City. Depending upon the type of land use action required, you may receive official notice from the City of Tualatin inviting you to participate with written comments and/or providing you an opportunity to attend a public hearing.

I look forward to discussing this project with you. If you have questions, but will be unable to attend, please feel free to call me at 503-563-6151 or email me at slotemakerm@aks-eng.com.

Sincerely,

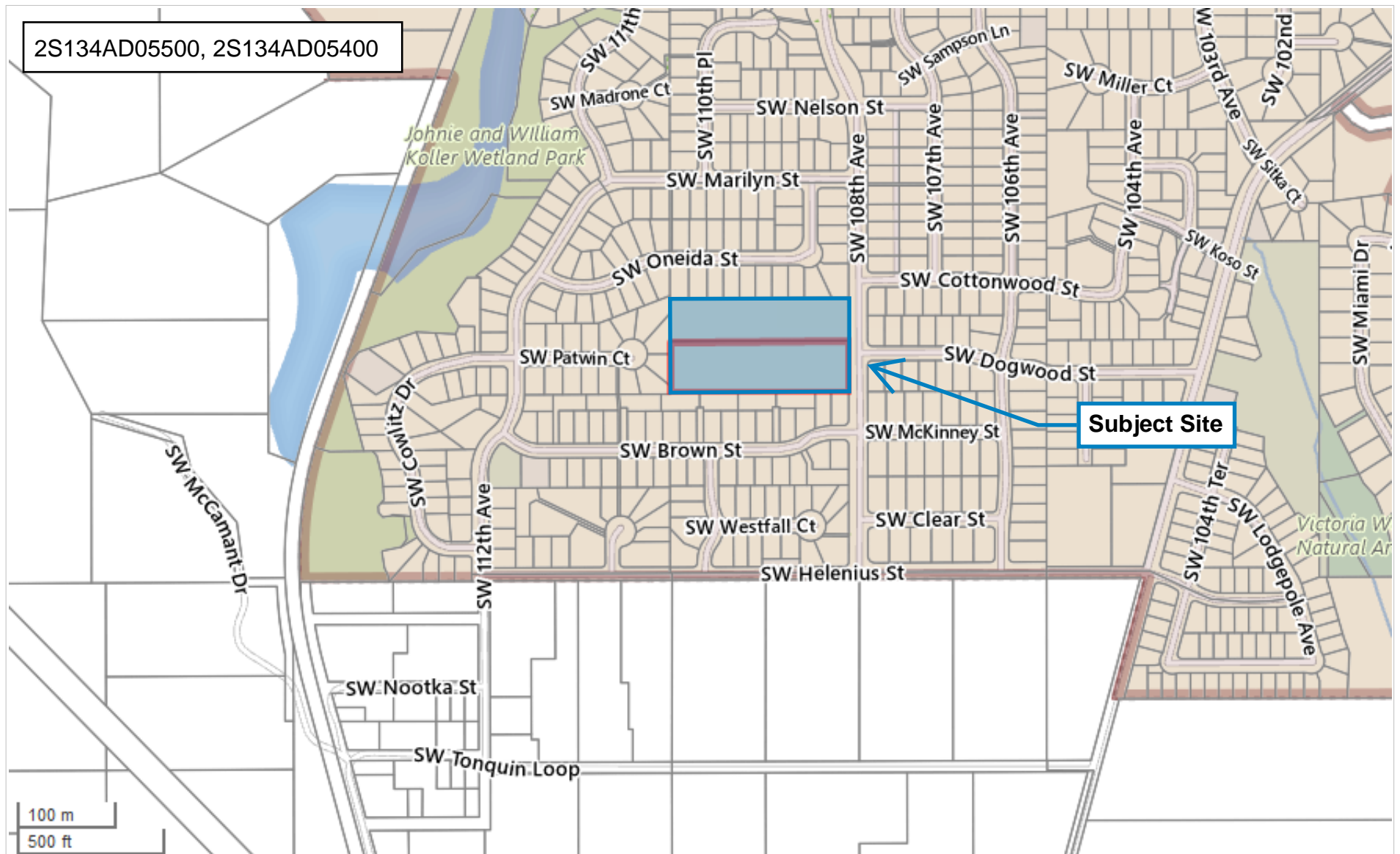
AKS ENGINEERING & FORESTRY, LLC

Melissa Slotemaker, AICP
12965 SW Herman Road, Suite 100
Tualatin, OR 97062
503-563-6151 | slotemakerm@aks-eng.com

Enclosure:

Vicinity Map

2S134AD05500, 2S134AD05400



Data Resource Center

600 NE Grand Ave, Portland, OR 97232

503.797.1742 – drc@oregonmetro.gov

This Web site is offered as a public service, integrating various government records into a region-wide mapping system. The property assessment records are a multi-county integration of Clackamas, Multnomah and Washington County records. MetroMap blends each county's records into a common database on a quarterly basis. Therefore, to view each county's official records, go to their respective web sites or offices. The other MetroMap data are derived from city, county, state, federal and Metro sources. The metadata (data about the data) are included on this site, including the sources to be consulted for verification of the information contained herein. It describes some cases where Metro blends city and county records by generalizing the disparities. Metro assumes no legal responsibility for the compilation of multi-source government information displayed by Metro Map.



ZUCKERMAN HOWARD A &
ZUCKERMAN AMY R
10951 SW ONEIDA ST
TUALATIN, OR 97062

ZUCKERMAN JOHN & ZUCKERMAN
PAMELA
10627 SW MCKINNEY ST
TUALATIN, OR 97062

ZHENKUN LIVING TRUST
16157 NW RIDGELINE ST
PORTLAND, OR 97229

ZAFAR SHAZIA S
22246 SW 111TH AVE
TUALATIN, OR 97062

YOUNG SARA L & YOUNG BRYAN L
22180 SW 106TH AVE
TUALATIN, OR 97062

YOKOY REV TRUST
22524 SW 104TH AVE
TUALATIN, OR 97062

YAP KATRINA & YAP FORTUNATO
10879 SW BROWN ST
TUALATIN, OR 97062

YANG YAOHUA & ZHOU JIAMEI
2412 REMINGTON DR
WEST LINN, OR 97068

WYSE ANDREW
22763 SW COWLITZ DR
TUALATIN, OR 97062

WU JUSTINE M & WU THOMAS
22345 SW 111TH AVE
TUALATIN, OR 97062

WU HON TONG
10365 SW GARDNER CT
TUALATIN, OR 97062

WRIGHT GRANT SANFORD & WRIGHT
JULIE CHRISTINA
11028 SW BROWN ST
TUALATIN, OR 97062

WOODWARD REISCH-CASTLEMAN
REV LIV TRUST
11142 SW GRAM ST
TUALATIN, OR 97062

WOOD RYAN S & LAURA J FAM TRUST
22579 SW 106TH AVE
TUALATIN, OR 97062

WOOD RONALD FRANKLIN REV TRUST
22805 SW GRAHAMS FERRY RD
TUALATIN, OR 97062

WONG MICHELLE SUI
11056 SW BROWN ST
TUALATIN, OR 97062

WOLTERING BRITTANY CHRISTINE &
WOLTERING ROBERT
22505 SW 104TH AVE
TUALATIN, OR 97062

WITHERS ALEX V & WITHERS
KATHLEEN A
10893 SW WESTFALL CT
TUALATIN, OR 97062

WISE ERIC SCOTT & WISE KATHERINE
LEE
10490 SW MILLER CT
TUALATIN, OR 97062

WINTERS FAMILY TRUST
22209 SW 110TH PL
TUALATIN, OR 97062

WINKOWSKI RAYMOND JR &
WINKOWSKI ANGELA
10652 SW COTTONWOOD ST
TUALATIN, OR 97062

WILSON ANTHONY PATRICK & WILSON
JULIE LEANN
22436 SW 112TH AVE
TUALATIN, OR 97062

WILLIAMS DANIEL LEE & WILLIAMS
KATHRYN PATRICIA
22875 SW 110TH PL
TUALATIN, OR 97062

WILKINSON TODD N & WILKINSON
KIRSTEN SUSANN
10923 SW NELSON ST
TUALATIN, OR 97062

WIESE MARK S & WIESE DANELLE A
22170 SW 107TH AVE
TUALATIN, OR 97062

WHITAKER BENJAMIN O & WHITAKER
MONICA A
22325 SW 110TH PL
TUALATIN, OR 97062

WHAPLES ANDREW S & WHAPLES
KRISTINE M
10989 SW ONEIDA ST
TUALATIN, OR 97062

WEST JOSEPH W & WEST CARRIE J
10575 SW MEIER DR
TUALATIN, OR 97062

WEILAND FAMILY TRUST
10435 SW GARDNER CT
TUALATIN, OR 97062

WEIGEL LLC
220 CHARDONNAY LN
AIKEN, SC 29803

WEBSTER NATHANIEL K & WEBSTER
ASHLEE J
10430 SW MEIER DR
TUALATIN, OR 97062

WEAVER MICHAEL D TRUST & WEAVER
KERRY L TRUST
10630 SW MEIER DR
TUALATIN, OR 97062

WALTERS RYAN W & WALTERS
JENNIFER C
11125 SW PATWIN CT
TUALATIN, OR 97062

WALDO RONALD M TRUST
10965 SW TONQUIN LOOP
SHERWOOD, OR 97140

WAH MARCUS R & CHUNG-WAH KITTY
W
22455 SW 106TH AVE
TUALATIN, OR 97062

WAGNER JON KENT & WAGNER JULIE
ANN
22683 SW 105TH AVE
TUALATIN, OR 97062

WACKER LEROY J REV LIV TRUST &
WACKER INEZ B REV LIV TRUST
2641 CASTLE DR
SPRINGFIELD, OR 97477

VOHLAND AARON D
10935 SW ONEIDA ST
TUALATIN, OR 97062

VIRK AMANDEEP
10658 SW MCKINNEY ST
TUALATIN, OR 97062

VIESTENZ KRISTOFER C & VIESTENZ
CHERYL E
22273 SW 107TH AVE
TUALATIN, OR 97062

VICKERY DANIEL W & VICKERY JULIA C
11195 SW BROWN ST
TUALATIN, OR 97062

VANCE JAMES D JR & VANCE DONNA L
22350 SW 102ND PL
TUALATIN, OR 97062

VALKO JOSEPH J TRUST
22250 SW 103RD AVE
TUALATIN, OR 97062

VALERO CRAIG A & VALERO KELLY M
22482 SW 109TH TER
TUALATIN, OR 97062

VALDEZ FAMILY TRUST
10888 SW WESTFALL CT
TUALATIN, OR 97062

ULBERG BRETT DANA & ULBERG
JENNIFER JANE
22537 SW 106TH AVE
TUALATIN, OR 97062

TUALATIN CITY OF DEVELOPMENT
COMMISSION
18880 SW MARTINAZZI AVE
TUALATIN, OR 97062

TRUE MARY LOU REV TRUST & TRUE
TIMOTHY S REV TRUST
10605 SW MEIER DR
TUALATIN, OR 97062

TRONVIG WILLIAM DANIEL & ABROT
STEPHANIE
11173 SW BROWN ST
TUALATIN, OR 97062

TRAVIS BARBARA CAROL & WARE
JAMES DOUGLAS
22396 SW 111TH AVE
TUALATIN, OR 97062

TRAUTMAN TRAVIS & SHAUNA
22317 SW 106TH AVE
TUALATIN, OR 97062

TRASK HARRY & TRASK SHYRL
22241 SW 110TH PL
TUALATIN, OR 97062

TRAN THO LE-MINH & VANDANG THO
22654 SW YANKTON PL
TUALATIN, OR 97062

TOMKA RUSS & TOMKA JENNY
22587 SW 107TH AVE
TUALATIN, OR 97062

TINNIN ROBERT OWEN & ELAINE
MARIE REV LIV TRUST
10749 SW DOGWOOD ST
TUALATIN, OR 97062

TIMMERMAN DAVID A & TIMMERMAN
CASEY J
22553 SW 106TH AVE
TUALATIN, OR 97062

TIERNEY JOHN JOSEPH II & VALERICO
CLAUDIA
10610 SW DOGWOOD ST
TUALATIN, OR 97062

THORDERSON RANDY DEAN &
THORDERSON AMANDA CORRY
11104 SW GRAM ST
TUALATIN, OR 97062

TERRAZZINO JEFF & TERRAZZINO
PATIENCE
22947 SW 109TH TER
TUALATIN, OR 97062

TAYLOR-WEBER ANTHONY & TAYLOR-
WEBER JAMIE
10863 SW WESTFALL CT
TUALATIN, OR 97062

TAYLOR ROBERT SPENCER & TAYLOR
RONAYE
22330 SW TAYLORS DR
TUALATIN, OR 97062

TAVOLAZZI TYSON N
11162 SW ONEIDA ST
TUALATIN, OR 97062

TASHCHUK BOHDAN Y & TASHCHUK
LINDA G
10470 SW MEIER DR
TUALATIN, OR 97062

SWAN KYLE J & SWAN KELSEY
10903 SW BROWN ST
TUALATIN, OR 97062

SW 110TH PLACE LLC
1011 SW SCHAEFFER RD
WEST LINN, OR 97068

SUTTON GRETCHEN S
11135 SW HELENIUS ST
TUALATIN, OR 97062

SUNG SEUNG & SUNG REBECCA
22698 SW 106TH AVE
TUALATIN, OR 97062

SULLIVAN MARY E
22215 SW 102ND PL
TUALATIN, OR 97062

STUBBLEFIELD FANCHO FEE JR & JULIE
P REV LIV TRUST
3330 SE THREE MILE LN
MCMINNVILLE, OR 97128

STILL STRONG LLC
22365 SW 102ND PL
TUALATIN, OR 97062

STEPHENSON MARK L & STEPHENSON
DEANNA K
10440 SW GARDNER CT
TUALATIN, OR 97062

STEPHENS NICHOLAS & STEPHENS
LINDSEY
22403 SW 104TH AVE
TUALATIN, OR 97062

STEELE TROY & STEELE CINDY
10820 SW NELSON ST
TUALATIN, OR 97062

STEELE ANTHONY & STEELE CATHLEEN
22462 SW 106TH AVE
TUALATIN, OR 97062

STEED JOHN & STEED RUTH E
22210 SW 111TH AVE
TUALATIN, OR 97062

STAPLES-SUNDT REV LIV TRUST
10350 SW GARDNER CT
TUALATIN, OR 97062

STANLEY STEVEN R & DIAMOND ALYSE
10994 SW ONEIDA ST
TUALATIN, OR 97062

STANAWAY CRYSTAL H REVOC TRUST &
STANAWAY DONALD F II REVOC TRUST
10480 SW MILLER CT
TUALATIN, OR 97062

STADICK ERIN
22897 SW COWLITZ DR
TUALATIN, OR 97062

SRINIVASAN SRIDHAR &
SARANGAPANI DEEPA
10615 SW CLEAR ST
TUALATIN, OR 97062

SPRINGER HENRY G & SPRINGER
ELISSA K
22556 SW 112TH AVE
TUALATIN, OR 97062

SPRINGER GREGORY & SPRINGER
JENNIFER LYNN
22477 SW 104TH AVE
TUALATIN, OR 97062

SPICKERMAN MEGAN E &
SPICKERMAN BRENTON J
10956 SW ONEIDA ST
TUALATIN, OR 97062

SPENCER CORINNE JANELLE &
HOLECHEK TRISTAN
10949 SW NELSON ST
TUALATIN, OR 97062

SPENCER RICHARD JACOB & HIDALGO
ARLENE
10872 SW NELSON ST
TUALATIN, OR 97062

SPARKS ERIC A
11080 SW BROWN ST
TUALATIN, OR 97062

SPARKS SCOTT & SPARKS KAREN
22453 SW 109TH TER
TUALATIN, OR 97062

SORKOWITZ ENID R REV TRUST
22662 SW YANKTON PL
TUALATIN, OR 97062

SORIANO MICHAEL
10840 SW BROWN ST
TUALATIN, OR 97062

SNYDER MICHELLE
22343 SW 110TH PL
TUALATIN, OR 97062

SMARGIASSI EUGENE & SMARGIASSI
MICHELLE DENISE
10849 SW BROWN ST
TUALATIN, OR 97062

SLENES CHAD & SLENES SHANNON
CHRISTINE
11125 SW TONQUIN LOOP
SHERWOOD, OR 97140

SKJELSTAD ARIC & SKJELSTAD MELODY
22565 SW 107TH AVE
TUALATIN, OR 97062

SKACH SAMANTHA MICHELLE &
SKACH ADAM JOSEPH
10923 SW ONEIDA ST
TUALATIN, OR 97062

SINKEY SHANNON H & SINKEY
CARLOTTA H
10914 SW NELSON ST
TUALATIN, OR 97062

SINGER TODD & SINGER SHARON
10368 SW KOSO ST
TUALATIN, OR 97062

SILVESTRE DAVID G & SILVESTRE
PATRICIA
10310 SW MILLER CT
TUALATIN, OR 97062

SHULTZ KYLE & SHULTZ THERESA
11132 SW PATWIN CT
TUALATIN, OR 97062

SHIRES FAMILY LIVING TRUST
22309 SW 111TH AVE
TUALATIN, OR 97062

SHEVCHENKO DAVID & SHEVCHENKO
NATASHA
11015 SW TONQUIN LOOP
SHERWOOD, OR 97140

SHEPHERD NEIL WN & SHEPHERD
CARMEN
22940 SW 112TH AVE
TUALATIN, OR 97062

SHEPARD TIMOTHY R & SHEPARD
ELAINE G
10936 SW NELSON ST
TUALATIN, OR 97062

SHAVER LIV TRUST
22371 SW 106TH AVE
TUALATIN, OR 97062

SENYO MARISHA & HOWARD GEORGE
11065 SW ONEIDA ST
TUALATIN, OR 97062

SENTHIRAJAH PADMAN &
SENTHIRAJAH SUSAN JANE
10749 SW NELSON ST
TUALATIN, OR 97062

SEARLE THEODORE C III & SEARLE
KASANDRA L
22695 SW COWLITZ DR
TUALATIN, OR 97062

SEARLE SAMUEL C & SEARLE TRACY
DARNELL
22827 SW COWLITZ DR
TUALATIN, OR 97062

SEARLE DAVID M & GIROD JORIE M
22814 SW COWLITZ DR
TUALATIN, OR 97062

SCHWINDT MEAGAN E
10903 SW HELENIUS ST
TUALATIN, OR 97062

SCHULTZ RYLEY EDWARD & SCHULTZ
SHALA MARIE
1415 FAIRWAY DR
SAN LUIS OBISPO, CA 93405

SCHUETTKE ERIC & SCHUETTKE ROBIN
10501 SW DOGWOOD ST
TUALATIN, OR 97062

SCHUCHT LARRY D & SCHUCHT
LYNNETTE K
22523 SW 107TH AVE
TUALATIN, OR 97062

SCHOTT DANIEL A & SCHOTT LARINDA
22200 SW 110TH PL
TUALATIN, OR 97062

SCHNEIDER ERIC B & SCHNEIDER
RONALDA K
22142 SW 111TH AVE
TUALATIN, OR 97062

SCHMITZ JOHN & FIELD KARIN E
22858 SW COWLITZ DR
TUALATIN, OR 97062

SCHERER C GREGORY & SCHERER
KATHLEEN P
10624 SW COTTONWOOD ST
TUALATIN, OR 97062

SCHAFFER TAIT J & SCHAFFER MEGAN
M
22316 SW 110TH PL
TUALATIN, OR 97062

SAVAGLIO PAMELA A
10983 W TONOPAH DR
SUN CITY, AZ 85373

SAUER RANDY J & SAUER ANGIE R
10447 SW DOGWOOD ST
TUALATIN, OR 97062

SANTOS JUAN DIAZ & SANTOS BRIAN
SCOTT CRUZ
22244 SW 110TH PL
TUALATIN, OR 97062

SANTOS-BARRERA CARLOS & SANTOS
GLADYS JEANETTE
10709 SW NELSON ST
TUALATIN, OR 97062

SAMANI PARI TRUST
10475 SW HELENIUS ST
TUALATIN, OR 97062

SABIDO PETER G
11084 SW MARILYN ST
TUALATIN, OR 97062

RYERSON GREGORY C
10685 SW DOGWOOD ST
TUALATIN, OR 97062

RYAN JOHN P & RYAN PATRICIA L
11153 SW ONEIDA ST
TUALATIN, OR 97062

RUYPALID LIVING TRUST
22145 SW 107TH AVE
TUALATIN, OR 97062

RUSK TRENT & RUSK ELLEN
10739 SW MCKINNEY ST
TUALATIN, OR 97062

RUSCIGNO TIM & CHAMBERS LORI
22498 SW 109TH TER
TUALATIN, OR 97062

ROTUNNO LEWIS C & ROTUNNO
CATHERINE G
10310 SW GARDNER CT
TUALATIN, OR 97062

ROTH KERRY & ROTH JOANNE C
22480 SW 107TH AVE
TUALATIN, OR 97062

ROTH THERESA A
12600 SW 72ND AVE #200
TIGARD, OR 97223

ROSTAMIZADEH ROBERT KASRA
BROWN & ROSTAMIZADEH ALYSE
22747 SW COWLITZ DR
TUALATIN, OR 97062

ROSHAK JOINT TRUST
22915 SW GRAHAM'S FERRY RD
TUALATIN, OR 97062

ROSETHAL FAMILY TRUST
22236 SW 107TH AVE
TUALATIN, OR 97062

ROOT DOUGLAS B & ROOT
JACQUELINE A
22293 SW 111TH AVE
TUALATIN, OR 97062

RODRIGUEZ SERGIO E & SARAH DL
RODRIGUEZ LIV TRUST
11149 SW PATWIN CT
TUALATIN, OR 97062

ROBSON DEBORAH
22275 SW 110TH PL
TUALATIN, OR 97062

ROBINSON FAMILY TRUST
22849 SW COWLITZ DR
TUALATIN, OR 97062

ROBINSON TIMOTHY C & ROBINSON
BEATRICE M
22280 SW 103RD DR
TUALATIN, OR 97062

ROBBINS CRAIG A & PAPIKE-ROBBINS
COLEEN G
22165 SW 107TH AVE
TUALATIN, OR 97062

ROACH JASON M & ROACH ELIZABETH
H
22382 SW 107TH AVE
TUALATIN, OR 97062

RINGOS LIVING TRUST
10778 SW CLEAR ST
TUALATIN, OR 97062

RIGSBY MATTHEW AARON & RIGSBY
DANIELA ANJOS
22350 SW 107TH AVE
TUALATIN, OR 97062

RIEKS RANDALL J & RIEKS JENNIFER A
10621 SW SAMPSON LN
TUALATIN, OR 97062

RICHMOND CASEY GC & RICHMOND
KATE P
22673 SW COWLITZ DR
TUALATIN, OR 97062

RICHARDSON BRIAN & RICHARDSON
MOLLY
11158 SW PATWIN CT
TUALATIN, OR 97062

RICHARDS DONALD P REVOC LIV
TRUST
PO BOX 1488
WILSONVILLE, OR 97070

RICE JAMES MARCUS II & NANCY
SUSAN SMAK FAMILY TRUST
11032 SW ONEIDA ST
TUALATIN, OR 97062

RICCA ANTHONY M
10438 SW DOGWOOD ST
TUALATIN, OR 97062

REED FRANK RODNEY JR & REED
JENNA MARIE
10773 SW DOGWOOD ST
TUALATIN, OR 97062

REANG SOPHEA K & REANG HEIDI
10942 SW BROWN ST
TUALATIN, OR 97062

READ PHILIP G & READ TRACY L
10429 SW DOGWOOD ST
TUALATIN, OR 97062

RAY ROBERT F & RAY MARSHA L
10871 SW BROWN ST
TUALATIN, OR 97062

RAVERT BEN
22737 SW 105TH
TUALATIN, OR 97062

RANF LAURINDA KAY
22639 SW COWLITZ DR
TUALATIN, OR 97062

RALEIGH JAMES W & RALEIGH
CARISSA A
22674 SW 106TH AVE
TUALATIN, OR 97062

RADZIK JAN & RADZIK MARGARET
10919 SW MARILYN ST
TUALATIN, OR 97062

QUINN PAUL E & QUINN REBECCA A
10782 SW COTTONWOOD ST
TUALATIN, OR 97062

QUAN DINH
22728 SW 105TH AVE
TUALATIN, OR 97062

QIANG RUI & YANG HSIAO-PEI
10535 MEIER DR SW
TUALATIN, OR 97062

PURSLEY RANDALL K & PURSLEY L
KAREN BRAGG
22710 SW 106TH AVE
TUALATIN, OR 97062

PRAKASH SHIV
10688 SW COTTONWOOD ST
TUALATIN, OR 97062

POWELL JAMES L II & POWELL DIANA G
10754 SW COTTONWOOD ST
TUALATIN, OR 97062

POWELL ROBIN L
10355 SW MILLER CT
TUALATIN, OR 97062

POTTER DOUGLAS C & POTTER
CHARLENE N
22366 SW 107TH AVE
TUALATIN, OR 97062

POTTER AMY & POTTER ROBERT RYAN
11187 SW PATWIN CT
TUALATIN, OR 97062

PINERES RICARDO & COSTA CAROLYN
22335 SW 102ND PL
TUALATIN, OR 97062

PIERCE REV TRUST
10465 SW MEIER DR
TUALATIN, OR 97062

PFEIFER ERIKA & PFEIFER CRAIG
22611 SW COWLITZ DR
TUALATIN, OR 97062

PETRONE MICHAEL & PETRONE
MELANI
22497 SW 107TH AVE
TUALATIN, OR 97062

PETERSON SCOTT J & PETERSON
CATHERINE T
22226 SW 110TH PL
TUALATIN, OR 97062

PETERSON LETITIA M
22320 SW 102ND PL
TUALATIN, OR 97062

PETERSEN LIVING TRUST
10455 SW GARDNER CT
TUALATIN, OR 97062

PETERSON JOEL G & PETERSON TONYA
L
10553 SW DOGWOOD ST
TUALATIN, OR 97062

PERCHICK JONATHAN & PERCHICK
KERI
22752 SW COWLITZ DR
TUALATIN, OR 97062

PEAKE BRETT & PEAKE LINDA
22493 SW 112TH AVE
TUALATIN, OR 97062

PEAKE BRETT & TRENT LINDA
11028 SW PATWIN CT
TUALATIN, OR 97062

PAZDA CHRISTOPHER & PAZDA
RACHEL
22840 SW 110TH PL
TUALATIN, OR 97062

PAYNE PAMELA & PAYNE JEFFREY M
22185 SW 107TH AVE
TUALATIN, OR 97062

PAUL STEVE F & PAUL MAUREEN L
22293 SW 110TH PL
TUALATIN, OR 97062

PATAROQUE BENITO & PATAROQUE
PAMELA
2304 OSWEGO GLEN CT
LAKE OSWEGO, OR 97034

PASUMAMULA GIRIDHAR & SHAILAJA
LIV TRUST
10915 SW BROWN ST
TUALATIN, OR 97062

PARSONS KEVIN & PARSONS AMANDA
22227 SW 107TH AVE
TUALATIN, OR 97062

PARSONS KEVIN W & PARSONS
ANETTE
22539 SW 112TH AVE
TUALATIN, OR 97062

PARSONS MARK G & PARSONS JAMI K
22598 SW 106TH AVE
TUALATIN, OR 97062

PARSONS PATRICIA FAMILY TRUST &
PARSONS JAMES FAMILY TRUST
10325 SW GARDNER CT
TUALATIN, OR 97062

PARRISH RICHARD L & PARRISH
REBEKAH L
10622 SW MCKINNEY ST
TUALATIN, OR 97062

PARKER RONALD R & PARKER CANDY
C
10726 SW CLEAR ST
TUALATIN, OR 97062

PARK BUMJOON & PARK SIENNA
22195 SW 107TH AVE
TUALATIN, OR 97062

OWEN TODD M & SNEGIREFF FEDOSIA
S
10942 SW ONEIDA ST
TUALATIN, OR 97062

OTTE DYANA L
22872 SW COWLITZ DR
TUALATIN, OR 97062

OREGON STATE OF DEPT OF
TRANSPORTATION
4040 FAIRVIEW INDUSTRIAL DR SE MS
#2
SALEM, OR 97302

O'NEILL TODD A
10788 SW DOGWOOD ST
TUALATIN, OR 97062

OLSON JULIA KATHERINE LIV TRUST
10882 SW BROWN ST
TUALATIN, OR 97062

OLLILA DONALD
10706 SW MCKINNEY ST
TUALATIN, OR 97062

O'DEE MICHAEL F & O'DEE ITSEL M
11184 SW GRAM ST
TUALATIN, OR 97062

NOVAK TERRY J & NOVAK JANICE B
11174 SW ONEIDA ST
TUALATIN, OR 97062

NOLOP MICHAEL CHARLES & NOLOP
JESSICA RAE
22398 SW 106TH AVE
TUALATIN, OR 97062

NOEL IAN CHARLES AULT
22781 SW COWLITZ DR
TUALATIN, OR 97062

NIX LIVING TRUST
10678 SW DOGWOOD ST
TUALATIN, OR 97062

NIGHBERT JEFFERY S & NIGHBERT
GAIL S
22168 SW 111TH AVE
TUALATIN, OR 97062

NIETO ESTANISLAO LUCIO &
GONZALEZ JUANAMARIA D ROSALES
22843 SW 112TH AVE
TUALATIN, OR 97062

NIEMI CHRIS & FITZGERALD CHERYL
10765 SW MCKINNEY ST
TUALATIN, OR 97062

NICKLE BRENT & NICKLE AMBER
10800 SW WESTFALL CT
TUALATIN, OR 97062

NEWTON DAVID & E SUZANNE JOINT
TRUST
22295 SW 102ND PL
TUALATIN, OR 97062

NEUFELD SCOTT DOUGLAS & KRAFT
AMY
22825 SW 110TH PL
TUALATIN, OR 97062

NESS KEVIN & NESS SHERRI
10703 SW NELSON ST
TUALATIN, OR 97062

NELSON MATTHEW A
11037 SW PATWIN CT
TUALATIN, OR 97062

NEILL JEROLD D JR & NEILL REBECCA L
10933 SW MARILYN ST
TUALATIN, OR 97062

NEEDELMAN SHAWN & NEEDELMAN
ALISON
10852 SW WESTFALL CT
TUALATIN, OR 97062

NARANCICH SHAWN M & NARANCICH
SHELLEY R
10565 SW COTTONWOOD ST
TUALATIN, OR 97062

MYERSON DAVID D & MYERSON
CAROLINE
11185 SW ONEIDA ST
TUALATIN, OR 97062

MURPHY COLIN R & MURPHY
MALINDA K
10977 SW MARILYN ST
TUALATIN, OR 97062

MUKENSNABL MACY & HARWOOD
MARC
10806 SW BROWN ST
TUALATIN, OR 97062

MOSLANDER JAMES RICHARD JR &
MOSLANDER KATHERINE COLLEEN
10480 SW GARDNER CT
TUALATIN, OR 97062

MORRISON CLEMON & MORRISON
CYNTHIA
PO BOX 3431
TUALATIN, OR 97062

MORONES-MARCINKOWSKI
KATHERINE & MORONES-
MARCINKOWSKI JAMIE H
519 MONTEREY AVE
CAPITOLA, CA 95010

MORIN MARGUERITE E REV LIV TRUST
10435 SW MILLER CT
TUALATIN, OR 97062

MORELLI LEONARD R REV LIV TRUST
10992 SW NELSON ST
TUALATIN, OR 97062

MOORE PATRICK J & MOORE MURIEL F
10764 SW DOGWOOD ST
TUALATIN, OR 97062

MOOERS NICHOLAS K & MOOERS
CARLYN R
10818 SW WESTFALL CT
TUALATIN, OR 97062

MITCHELL JASON R & MITCHELL
ANGELA M
22509 SW 112TH AVE
TUALATIN, OR 97062

MITCHELL CLAUDIA
22516 SW 107TH AVE
TUALATIN, OR 97062

MILSTEIN STEPHANIE MARIE
10864 SW BROWN ST
TUALATIN, OR 97062

MILLER JUSTIN PATRICK & MILLER
ANDREA DIANE
22255 SW 107TH AVE
TUALATIN, OR 97062

MILLER EDWARD H III & CORBIN
TAMSEN M
22541 SW 112TH AVE
TUALATIN, OR 97062

MILLER PETER & MILLER SHERI
22698 SW YANKTON PL
TUALATIN, OR 97062

MICHAEL FAMILY TRUST
22438 SW 107TH AVE
TUALATIN, OR 97062

MICHAEL & ELIZABETH FAM LIV TRUST
22836 SW COWLITZ DR
TUALATIN, OR 97062

MESHNIK GREGORY & MESHNIK ANNA
22558 SW 107TH AVE
TUALATIN, OR 97062

MENDOZA BELEN
22923 SW COWLITZ DR
TUALATIN, OR 97062

MENDEZONA ANTONIO C &
MENDEZONA CARRIE S
22281 SW 110TH PL
TUALATIN, OR 97062

MENDEZ DAVID J & MENDEZ ROBIN S
10651 SW DOGWOOD ST
TUALATIN, OR 97062

MENACHO MICHAEL & MENACHO
DEBRA
10315 SW MEIER DR
TUALATIN, OR 97062

MEKKERS JEFFREY & MEKKERS SOPHIA
22686 SW YANKTON PL
TUALATIN, OR 97062

MCMILLIN MICHELLE & MCMILLIN
GREG
22919 SW COWLITZ DR
TUALATIN, OR 97062

MCINTOSH KEVIN A
10868 SW WESTFALL CT
TUALATIN, OR 97062

MCGUNNIGLE LIV TRUST
11033 SW MADRONE CT
TUALATIN, OR 97062

MCGRATH GARY A & MCGRATH
PATRICIA L
22145 SW 103RD AVE
TUALATIN, OR 97062

MCGILL KYLE & NIEMAN JAMIE
11175 SW HELENIUS ST
TUALATIN, OR 97062

MCCORMICK MARISA ANNE &
MCCORMICK MICHAEL
22258 SW 111TH AVE
TUALATIN, OR 97062

MCCORMACK ERIC M & MCCORMACK
TARA E
10652 SW CLEAR ST
TUALATIN, OR 97062

MCCLUNG RYAN T & MCCLUNG CARA
D
11106 SW ONEIDA ST
TUALATIN, OR 97062

MCCARTY WILLIAM G & MCCARTY JILL
10983 SW BROWN ST
TUALATIN, OR 97062

MCCALL SUSAN V
22260 SW 102ND PL
TUALATIN, OR 97062

MAXWELL ROBERT J & MAXWELL
MOLLY K
22511 SW 106TH AVE
TUALATIN, OR 97062

MAURER MICHAEL & MAURER LAUREN
22426 SW 109TH TER
TUALATIN, OR 97062

MAUDLIN DAVID EUGENE
22160 SW 106TH AVE
TUALATIN, OR 97062

MARX SCOTT A & MARX HEIDI R
22496 SW 106TH AVE
TUALATIN, OR 97062

MARTIN NIKLAS P & MARTIN RACHEL R
22573 SW 112TH AVE
TUALATIN, OR 97062

MARTIN ANGELO B & MARTIN SHEILA E
22548 SW 104TH AVE
TUALATIN, OR 97062

MARTELLA DARIN M
10885 SW WESTFALL CT
TUALATIN, OR 97062

MARLOW FAMILY TRUST
22393 SW 112TH AVE
TUALATIN, OR 97062

MARCHETTI JASON D & MARCHETTI
THERESA S
10807 SW WESTFALL CT
TUALATIN, OR 97062

MANS CHRISTOPHER R & MANS
JACQUELINE
22393 SW 106TH AVE
TUALATIN, OR 97062

MANLEY NATHAN M & SMITH-MANLEY
SHARON L
11160 SW GRAM ST
TUALATIN, OR 97062

MALHI JAGROOP SINGH & MALHI
GAGANDEEP KAUR
10335 SW MEIER DR
TUALATIN, OR 97062

MACLEAN HEATHER M & MACLEAN
JEFFERY S
10688 SW CLEAR ST
TUALATIN, OR 97062

LYNCH ADAM E & LYNCH BRIDGET M
11144 SW BROWN ST
TUALATIN, OR 97062

LUSTER ERIC & LUSTER DEBRA
3450 DAVIS LN
RENO, NV 89511

LOWERY CRAIG & LOWERY JESSICA
22696 SW 105TH AVE
TUALATIN, OR 97062

LOONEY BRIAN W & LOONEY LIBERTY
C
10974 SW BROWN ST
TUALATIN, OR 97062

LOBDELL ERICA ANN & LOBDELL RYAN
10475 SW GARDNER CT
TUALATIN, OR 97062

LINIGER JAMES E & LINIGER
ROSEMARY K
22380 SW 102ND PL
TUALATIN, OR 97062

LIMA DANIEL R & LIMA ERIN
11073 SW ONEIDA ST
TUALATIN, OR 97062

LIEN CAMERON & LIEN SHARELL
22429 SW 112TH AVE
TUALATIN, OR 97062

LI ZHEN
10765 SW COTTONWOOD ST
TUALATIN, OR 97062

LEWIS ANDREW M
10460 SW GARDNER CT
TUALATIN, OR 97062

LEVASA FINANCIAL TRUST
10695 SW MEIER DR
TUALATIN, OR 97062

LESTER ROBERT J & LESTER CRYSTAL D
22350 SW 111TH AVE
TUALATIN, OR 97062

LEONG ANGELA HAUOLI
11126 SW GRAM ST
TUALATIN, OR 97062

LENO RUTH P REV TRUST & LENO
THEODORE JR CREDIT SHELTER TRUST
22301 SW 110TH PL
TUALATIN, OR 97062

LEMIEUX CARY M & JANE L LIV TRUST
22641 SW 106TH AVE
TUALATIN, OR 97062

LEITCH KAYLIE L & LEITCH PATRICK M
10706 SW DOGWOOD ST
TUALATIN, OR 97062

LEIDY PHILIP B FAM TRUST & LEIDY
MELINDA SUSANNE TRUST
22527 SW 112TH AVE
TUALATIN, OR 97062

LEHMAN JOINT REV TRUST
10430 SW GARDNER CT
TUALATIN, OR 97062

LEEB STEVEN & THARLER JEN
10684 SW MCKINNEY ST
TUALATIN, OR 97062

LEAVITT NATHAN & LEAVITT RAYLEIGH
22334 SW 107TH AVE
TUALATIN, OR 97062

LAWRENCE RYAN & LAWRENCE
CHRISTINE
22546 SW 106TH AVE
TUALATIN, OR 97062

LARSON ERIC & LARSON JILL
22327 SW 111TH AVE
TUALATIN, OR 97062

LARSON THOMAS R & LARSON
TETIANA P
22810 SW 110TH PL
TUALATIN, OR 97062

LAPP TYLER & LAPP EMILY
10781 SW NELSON ST
TUALATIN, OR 97062

LANGLEY DENISE
22689 SW 112TH AVE
TUALATIN, OR 97062

LANDSTROM JAMES & BRENDA FAMILY
TRUST
22950 SW 110TH PL
TUALATIN, OR 97062

LAMPERT JAMES A & LAMPERT
DEANNA
11155 SW HELENIUS ST
TUALATIN, OR 97062

LA ANDREW T & TRUONG KHANH N
10420 SW MILLER CT
TUALATIN, OR 97062

KUENZI KYLE
22427 SW 104TH AVE
TUALATIN, OR 97062

KRIVENS CHRISTOPHER R & KRIVENS
JODIE E
22464 SW 107TH AVE
TUALATIN, OR 97062

KRAHNKE RICHARD & KRAHNKE
CYNTHIA
10861 SW NELSON ST
TUALATIN, OR 97062

KOSIK KRIS & KOSIK JULIE
22252 SW 106TH AVE
TUALATIN, OR 97062

KORLIPARA HARINI & KORLIPARA
SRINIVAS
22449 SW 104TH AVE
TUALATIN, OR 97062

KOPACEK FAMILY TRUST
10970 SW MARILYN ST
TUALATIN, OR 97062

KONING KATHLEEN A
22623 SW COWLITZ DR
TUALATIN, OR 97062

KOIVUNEN GENE SCOTT & KOIVUNEN
KRISTA M
10927 SW BROWN ST
TUALATIN, OR 97062

KOENIG BRIAN & KOENIG KELLY D
22374 SW 111TH AVE
TUALATIN, OR 97062

KOEHN HELMUT ANTON & KOEHN
DEBRA KAY
10445 SW MEIER DR
TUALATIN, OR 97062

KNIPS GREGORY J & KNIPS LESLIE R
11196 SW PATWIN CT
TUALATIN, OR 97062

KLEIN JASON R
22177 SW 111TH AVE
TUALATIN, OR 97062

KJEMPERUD NICK P & KJEMPERUD
CAITLIN
22458 SW 112TH AVE
TUALATIN, OR 97062

KIRAKOSSIAN KEVORK & KIRAKOSSIAN
LISA L
11048 SW MARILYN ST
TUALATIN, OR 97062

KING VICTORIA V & KING KRISTOPHER J
22335 SW 106TH AVE
TUALATIN, OR 97062

KETRENOS MARK & KETRENOS TONI
10514 SW COTTONWOOD ST
TUALATIN, OR 97062

KENDERES DOUGLAS A & KENDERES
DAWN A
22464 SW 109TH TER
TUALATIN, OR 97062

KELLEY MARGARET I
11026 SW MARILYN ST
TUALATIN, OR 97062

KECK ANDREW & KECK SARA
22668 SW COWLITZ DR
TUALATIN, OR 97062

KASHKOULI MILAD
22389 SW 110TH PL
TUALATIN, OR 97062

KANYER ROBERT S & KANYER KELLEY A
10909 SW BROWN ST
TUALATIN, OR 97062

KANG HU & WANG YUAN
6204 NE 124TH ST
VANCOUVER, WA 98686

KAIHANI NOVIN & KAIHANI MISTY R
22865 SW COWLITZ DR
TUALATIN, OR 97062

KAHN RICHARD L & ROGERS-KAHN
KAREN
10958 SW NELSON ST
TUALATIN, OR 97062

JOST CYNTHIA APRIL LIV TRUST
10791 SW DOGWOOD ST
TUALATIN, OR 97062

JORDAN JENNIFER M
22367 SW 110TH PL
TUALATIN, OR 97062

JONES NATHAN M & JONES NICOLE S
22890 SW 112TH AVE
TUALATIN, OR 97062

JOHNSON WENDY & DOUGLAS FAMILY
TRUST
10901 SW MARILYN ST
TUALATIN, OR 97062

JOHNSON BRYAN C & JOHNSON KELLY
J
10415 SW MILLER CT
TUALATIN, OR 97062

JOHANNES ERIK & JOHANNES KATHY
11016 SW ONEIDA ST
TUALATIN, OR 97062

JOHANSON ANDREW D & JOHANSON
RUTH M
10797 SW MCKINNEY ST
TUALATIN, OR 97062

JOCHEM JACOB TOD & PELZ CARRIE
ANN
10827 SW BROWN ST
TUALATIN, OR 97062

JENNINGS JOHN PATRICK & JENNINGS
SONJA MARIE
22315 SW TAYLORS DR
TUALATIN, OR 97062

JAVERNICK TROY M & JAVERNICK
MICHELE L
22411 SW 110TH PL
TUALATIN, OR 97062

JAVENS WILLIAM J
22295 SW TAYLORS DR
TUALATIN, OR 97062

JANES JAMES NATHAN & JANES HOLLY
10821 SW WESTFALL CT
TUALATIN, OR 97062

ISELER-MABON HOLLY & MABON REIN
22608 SW COWLITZ DR
TUALATIN, OR 97062

INGRAM RONALD C & INGRAM JEANIE
K
10380 SW MEIER DR
TUALATIN, OR 97062

IBRAHIM JOSEPH & IBRAHIM LYNDA JO
22539 SW 104TH AVE
TUALATIN, OR 97062

IBARAKI ALICIA & IBARAKI MATTHEW
22224 SW 111TH AVE
TUALATIN, OR 97062

HUNSTAD SCOTT & HUNSTAD KATIE
10576 SW COTTONWOOD ST
TUALATIN, OR 97062

HUFFMASTER LAUREN & HUFFMASTER
GARY
11027 SW ONEIDA ST
TUALATIN, OR 97062

HPA BORROWER 2016-2 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HOWE CRAIG S & HOWE JULIE A
10671 SW CLEAR ST
TUALATIN, OR 97062

HORTON KAREN E
10895 SW BROWN ST
TUALATIN, OR 97062

HORNER LEAH C
22328 SW 106TH AVE
TUALATIN, OR 97062

HORNER GEOFFREY CHAD & HORNER
DANA
22915 SW 110TH PL
TUALATIN, OR 97062

HOLSTROM ERIC
10545 SW TONQUIN LOOP
SHERWOOD, OR 97140

HOFFMAN MEL B FAM TRUST & STONE
TRUDI JEAN FAM TRUST
10305 SW GARDNER CT
TUALATIN, OR 97062

HLEDIK RANDALL S & KATHRYN L REV
TRUST
10558 SW COTTONWOOD ST
TUALATIN, OR 97062

HIRAMATSU TARA M & PETERKIN DAWN
M
10759 SW COTTONWOOD ST
TUALATIN, OR 97062

HILLIER THOMAS S & HILLIER CYNTHIA
D
10345 SW GARDNER CT
TUALATIN, OR 97062

HILL RONALD R & HILL VICKI C
22597 SW 112TH AVE
TUALATIN, OR 97062

HESS SCOTT W & HESS NATALIE D
11075 SW BROWN ST
TUALATIN, OR 97062

HERNANDEZ KIMBERLY A &
HERNANDEZ RICARDO
22910 SW 110TH PL
TUALATIN, OR 97062

HERNANDEZ GUADALUPE &
HERNANDEZ DIVINA
22532 SW 107TH AVE
TUALATIN, OR 97062

HERBST PROPERTIES LLC
10595 SW IBACH ST
TUALATIN, OR 97062

HENLEY RONALD C & HENLEY JOANNA
M
10730 SW MCKINNEY ST
TUALATIN, OR 97062

HENDRIX ROY L & HENDRIX KELLIE D
22534 SW 112TH AVE
TUALATIN, OR 97062

HENDERSON BRIAN T & PENZER JULIE
10330 SW GARDNER CT
TUALATIN, OR 97062

HENDERSON FAMILY TRUST
22711 SW 105TH AVE
TUALATIN, OR 97062

HELENIUS LLC
4401 E MOCKINGBIRD LN
PARADISE VALLEY, AZ 85253

HECKER ROGER A JR & HECKER IDA M
11112 SW BROWN ST
TUALATIN, OR 97062

HEBERT RANDALL & SUSAN REV TRUST
22230 SW 103RD AVE
TUALATIN, OR 97062

HAZARD MATTHEW R & HAZARD
AMANDA-LEI E
22551 SW 104TH AVE
TUALATIN, OR 97062

HAYWOOD SHAWN & HAYWOOD
MICHELLE
10456 SW DOGWOOD ST
TUALATIN, OR 97062

HAYDEN JESSE G & HAYDEN
CAROLYNNE R
11009 SW PATWIN CT
TUALATIN, OR 97062

HAYDEN KRISTIN S & HAYDEN
TIMOTHY D
10815 SW BROWN ST
TUALATIN, OR 97062

HARRIS FAMILY TRUST
22294 SW 106TH AVE
TUALATIN, OR 97062

HARRIS SCOTT D & HARRIS DAINETTE L
22646 SW COWLITZ DR
TUALATIN, OR 97062

HARRIS MICHAEL R & HARRIS SUSAN E
10785 SW TONQUON LOOP
SHERWOOD, OR 97140

HARDEN ROBERT C & HARDEN LAURA
L
10883 SW MARILYN ST
TUALATIN, OR 97062

HANSON FAMILY TRUST
22759 SW 105TH AVE
TUALATIN, OR 97062

HANSEN REX W & HANSEN ANDREA
10645 SW MEIER DR
TUALATIN, OR 97062

HANSEN ALLAN L JR
11097 SW BROWN ST
TUALATIN, OR 97062

HANSARD JARED & HANSARD
JENNIFER
11163 SW PATWIN CT
TUALATIN, OR 97062

HANSAKER JOSHUA ADAM &
HANSAKER ANNE MARIE
22290 SW 110TH PL
TUALATIN, OR 97062

HANCOCK KEITH & HANCOCK
CHRISTINA
22870 SW 110TH PL
TUALATIN, OR 97062

HALL MATTHEW JOHN & ALLEY
DUSTINA A
11049 SW BROWN ST
TUALATIN, OR 97062

HALL CHRISTOPHER M & GIBSON
SARAH E
22883 SW COWLITZ DR
TUALATIN, OR 97062

HALL FORREST J & HALL KATHLEEN E
10978 SW ONEIDA ST
TUALATIN, OR 97062

HADDAD WAYNE & HADDAD DEBRA
22860 SW 112TH AVE
TUALATIN, OR 97062

HACHMEISTER JACOB KENNETH &
HACHMEISTER JENNIFER MARIE
10995 SW MARILYN ST
TUALATIN, OR 97062

GUERRERO GRISELDA GRACE &
GUERRERO ARTURO M
10959 SW BROWN ST
TUALATIN, OR 97062

GRIGLOCK THOMAS M & GRIGLOCK
ANGELA F
22790 SW COWLITZ DR
TUALATIN, OR 97062

GRIGGS ANDY & KIM JOINT TRUST
10465 SW DOGWOOD ST
TUALATIN, OR 97062

GREEN MARLS RYAN & GREEN
MARISOL
22342 SW 106TH AVE
TUALATIN, OR 97062

GREENSPAN KELIE & GREENSPAN
JEFFREY
22572 SW 104TH AVE
TUALATIN, OR 97062

GRAY STEVEN D & GRAY EMMA K
10965 SW NELSON ST
TUALATIN, OR 97062

GRACELY ROBERT
10743 SW COTTONWOOD ST
TUALATIN, OR 97062

GOUDY REBECCA E & NJS TRUST
22935 SW 110TH PL
TUALATIN, OR 97062

GOSELIN LIV TRUST
5422 WESTFIELD CT
LAKE OSWEGO, OR 97035

GORDIN HOWARD S & GORDIN
CHRISTINE D
22888 SW 106TH AVE
TUALATIN, OR 97062

GOODHUE MATTHEW D & DAWN
NICOLE LIV TRUST
11138 SW ONEIDA ST
TUALATIN, OR 97062

GOODELL CHRIS C & GOODELL
CHRISTY T
10914 SW ONEIDA ST
TUALATIN, OR 97062

GOODELL MICHAEL L & GOODELL
NINA N
10737 SW CLEAR ST
TUALATIN, OR 97062

GOFFENA STEVEN M & GOFFENA
ROSABLA M
22185 SW 106TH AVE
TUALATIN, OR 97062

GNEHM FAMILY REV TRUST
11000 SW MADRONE CT
TUALATIN, OR 97062

GLASER KIM A & GLASER ADAM N
23070 SW 112TH AVE
SHERWOOD, OR 97140

GLASER JULIA
22775 SW 105TH AVE
TUALATIN, OR 97062

GILLAM ERIK & GILLAM ERIN
22855 SW 110TH PL
TUALATIN, OR 97062

GILL JAMES A & JONES KIMBERLY
11002 SW PATWIN CT
TUALATIN, OR 97062

GERLACH TODD J & GERLACH BRANDI
L
22479 SW 106TH AVE
TUALATIN, OR 97062

GEORGE WINFRED & GEORGE
NICHOLE
22338 SW 110TH PL
TUALATIN, OR 97062

GCR TRUST
22850 SW 106TH AVE
TUALATIN, OR 97062

GARVIN CURRY A TRUST
22325 SW TAYLORS DR
TUALATIN, OR 97062

GARNER MARC S & THELEN LORI S
11041 SW ONEIDA ST
TUALATIN, OR 97062

GARFIELD JORDAN R & GARFIELD
ALEXANDRIA A
22312 SW 107TH AVE
TUALATIN, OR 97062

FRINK BRIAN W & FRINK HAYLEY M
22268 SW 107TH AVE
TUALATIN, OR 97062

FREILEY DOUGLAS & FREILEY
MARJENE
10845 SW WESTFALL CT
TUALATIN, OR 97062

FREEZA ANGELA L
10762 SW MCKINNEY ST
TUALATIN, OR 97062

FREEPONS SHANE & WABAUNSEE
GWENDOLYN
22826 SW 106TH AVE
TUALATIN, OR 97062

FRANC ETHAN P & FRANC LUCY H
11003 SW ONEIDA ST
TUALATIN, OR 97062

FOLK JAMES D & FOLK CATHLEEN A
22223 SW 110TH PL
TUALATIN, OR 97062

FLORES AVELINO & FLORES MARINA
22381 SW 111TH AVE
TUALATIN, OR 97062

FILLIS DAVID E & FILLIS KRISTINA M
10700 SW COTTONWOOD ST
TUALATIN, OR 97062

FELECIANO FAMILY TRUST
11076 SW PATWIN CT
TUALATIN, OR 97062

FEINSTEIN ALAN S & FEINSTEIN GAIL L
22471 SW 112TH AVE
TUALATIN, OR 97062

FARNSTROM CRAIG S & FARNSTROM
CINDI L
10794 SW MCKINNEY ST
TUALATIN, OR 97062

FALBO JAMES K & FALBO OKSANA A
22393 SW 107TH AVE
TUALATIN, OR 97062

FABURADA KERWIN T & DIAZ LORENE
C
22549 SW 107TH AVE
TUALATIN, OR 97062

EVERS MELISSA ERIN
22216 SW 106TH AVE
TUALATIN, OR 97062

EUZENT BRYAN S & EUZENT MICHELLE
22652 SW 112TH AVE
TUALATIN, OR 97062

ETHERLY DAVID LEE & ETHERLY
STEPHANIE C
10731 SW COTTONWOOD ST
TUALATIN, OR 97062

ERICKSON BRYAN E & ERICKSON
KRISTIN L
10732 SW DOGWOOD ST
TUALATIN, OR 97062

EMEIS WILLIAM & EMEIS CATHY
10482 SW COTTONWOOD ST
TUALATIN, OR 97062

ELOGBI ABDORAHIM MUSTAFA & BUTT
MARIAM
10811 SW MARILYN ST
TUALATIN, OR 97062

ELDER DAVID B & ELDER AMY K
10689 SW MCKINNEY ST
TUALATIN, OR 97062

ELAM RALPH H & ELAM NANCY A
10395 SW MILLER CT
TUALATIN, OR 97062

EGLOFF WILHELM
22636 SW 106TH AVE
TUALATIN, OR 97062

EGG JOHN JOSEPH & EGG REBECCA
ANN
10874 SW WESTFALL CT
TUALATIN, OR 97062

EGAN ANDREW M & EGAN HEIDI A
22289 SW 106TH AVE
TUALATIN, OR 97062

EDWARDS BROCK & EDWARDS
JULIANE
10485 SW MEIER DR
TUALATIN, OR 97062

DUQUE GUSTAVO A & CARILLO
ESDARLIM YOHAMI CIFUENTES
22379 SW 107TH AVE
TUALATIN, OR 97062

DUPREE JASON & HEATHER TRUST
22461 SW 104TH AVE
TUALATIN, OR 97062

DUKEMINIER WILLIAM MARK &
DUKEMINIER CATHERINE G
22861 SW 109TH TER
TUALATIN, OR 97062

DOHERTY T MICHAEL TRUST
10412 SW DOGWOOD ST
TUALATIN, OR 97062

DO CHRISTINE V
10867 SW BROWN ST
TUALATIN, OR 97062

DINSDALE PAMELA P
PO BOX 230181
TIGARD, OR 97281

DEROSA NICHOLAS A & DEROSA
STEPHANIE J
10448 SW COTTONWOOD ST
TUALATIN, OR 97062

DERNEDDE MARY B & DERNEDDE
MARK D
11094 SW PATWIN CT
TUALATIN, OR 97062

DERING STEVEN & DERING ROCHELLE
22764 SW 105TH AVE
TUALATIN, OR 97062

DEJONGE COLETTE
10951 SW MARILYN ST
TUALATIN, OR 97062

DEHAAN MICHAEL & DEHAAN
SAMANTHA
10857 SW WESTFALL CT
TUALATIN, OR 97062

DEGROAT GREGORY N & DEGROAT
KRISTIN L
22780 SW 105TH AVE
TUALATIN, OR 97062

DAWES ROGER K & DAWES JILL D
22430 SW 106TH AVE
TUALATIN, OR 97062

DAVIS JARED M & DAVIS HEIDI A
22471 SW 107TH AVE
TUALATIN, OR 97062

DAVIS CLIFFORD R & DAVIS MARY E
11033 SW MARILYN ST
TUALATIN, OR 97062

DAVIS PATRICK A & DAVIS STEPHANI L
11048 SW MADRONE CT
TUALATIN, OR 97062

DAVIS JOSEPH C & DAVIS SUZETTE B
22972 SW 106TH AVE
TUALATIN, OR 97062

DAVIDSON ERIC D & DAVIDSON MARY
C
10837 SW NELSON ST
TUALATIN, OR 97062

DALEY TIMOTHY & DALEY HEATHER L
22612 SW 106TH AVE
TUALATIN, OR 97062

DAIISADEGHI MOHAMMAD HOSSEIN
REV LIV TRUST
9393 SW 171ST AVE
BEAVERTON, OR 97007

CUMMINGS SCOTT & CUMMINGS
CATHERINE
22235 SW 110TH PL
TUALATIN, OR 97062

CREMA CLAY L & CREMA KARLENE M
22524 SW 106TH AVE
TUALATIN, OR 97062

CRASS BRIAN & CRASS SARAH
22742 SW 105TH AVE
TUALATIN, OR 97062

COX CORTNEY KAMMERER &
KAMMERER KELLY
11063 SW BROWN ST
TUALATIN, OR 97062

COSTELLO DOREEN LYNN
11187 SW BROWN ST
TUALATIN, OR 97062

CONTI GARY L TRUST & CONTI GARY L
TRUST
10415 SW GARDNER CT
TUALATIN, OR 97062

CONSTANZA JANELLE & REMSEN
STEVEN
10740 SW CLEAR ST
TUALATIN, OR 97062

CONRAD CARL & CONRAD STEPHANIE
22890 SW COWLITZ DR
TUALATIN, OR 97062

CONE CHRISTOPHER S & CONE ROYA
A
22231 SW 111TH AVE
TUALATIN, OR 97062

COLLINS RAYMOND & WEIHRAUCH
STEPHANIE L
10818 SW BROWN ST
TUALATIN, OR 97062

COCKEY SCOTT E
10450 SW MEIER DR
TUALATIN, OR 97062

CLINTON JOHN & CLINTON JENELLE
10325 SW MILLER CT
TUALATIN, OR 97062

CLARY CHRISTIAAN & CLARY LYNN
22412 SW 112TH AVE
TUALATIN, OR 97062

CLANTON DAMION G & CLANTON
LESLEY D
22386 SW 106TH AVE
TUALATIN, OR 97062

CLAFLIN MICHAEL JAMES & MARGARET
GRAHAM CLAFLIN REV LIV TRUST
22562 SW 106TH AVE
TUALATIN, OR 97062

CHRISTIANSON MARK &
CHRISTIANSON SHANNON
22665 SW YANKTON PL
TUALATIN, OR 97062

CHRISTOPHER ANDREW J &
CHRISTOPHER GAYLA
22670 SW YANKTON PL
TUALATIN, OR 97062

CHIU BONNIE
11089 SW ONEIDA ST
TUALATIN, OR 97062

CHIEDA-SIMS JEANNIE K & SIMS DAVID
E
11002 SW MARILYN ST
TUALATIN, OR 97062

CHAMBERLIN GEORGE E &
CHAMBERLIN CHARLENE
PSC 277 BOX 192
APO, AP 96549

CESERANI VICTOR W & LEAH M LIV
TRUST
10703 SW CLEAR ST
TUALATIN, OR 97062

CATLOW CHRISTINE MARY & CATLOW
JOSEPH
22945 SW COWLITZ DR
TUALATIN, OR 97062

CASPELL STEVE G & KUMAR ANJU
10639 SW CLEAR ST
TUALATIN, OR 97062

CASEY ED & JOANNE LIV TRUST
22255 SW 102ND PL
TUALATIN, OR 97062

CARLSON WHITNEY L
22447 SW 112TH AVE
TUALATIN, OR 97062

CARLIN RUSSELL M & CARLIN KAREN S
10723 SW NELSON ST
TUALATIN, OR 97062

CARLEY DANIELLE
22762 SW 106TH AVE
TUALATIN, OR 97062

CAREY JAMES A & CAREY JENNIFER L
22867 SW 112TH AVE
TUALATIN, OR 97062

CARBONARA TRUST
10663 SW MCKINNEY ST
TUALATIN, OR 97062

CARACHEO BRYAN ORTIZ & ORTIZ
EMILY
10898 SW BROWN ST
TUALATIN, OR 97062

CAMPBELL MAURICE W
908 S SUMMERLIN AVE
ORLANDO, OR 32806

CALAYCAY RAYMUND G & CALAYCAY
MERCEDES M
22714 SW COWLITZ DR
TUALATIN, OR 97062

CAIN DERICK D & CAIN ANNIE R
10624 SW CLEAR ST
TUALATIN, OR 97062

BYE ROBERT J & BYE LAURA M
22657 SW COWLITZ DR
TUALATIN, OR 97062

BUTTLERFIELD RAYMOND CLOUD &
SPOONER MEGAN IRENE
10789 SW CLEAR ST
TUALATIN, OR 97062

BUTLER FAMILY TRUST
22417 SW 106TH AVE
TUALATIN, OR 97062

BURROUGHS ROBERT SCOTT LIVING
TRUST
10320 SW MEIER DR
TUALATIN, OR 97062

BURNETT GERALDINE M
10405 SW MEIER DR
TUALATIN, OR 97062

BURG DAVID A & BURG TAMMI C
22602 SW COWLITZ DR
TUALATIN, OR 97062

BUECHLER LANCE E & BUECHLER LISA
22743 SW 112TH AVE
TUALATIN, OR 97062

BUCKLES ANTHONY WAYNE &
BUCKLES ALEXANDRA
22574 SW 107TH AVE
TUALATIN, OR 97062

BUCK ARTHUR JR
22210 SW 102ND PL
TUALATIN, OR 97062

BRYAN M & CHANTELLE K DOCKTER
LIV TRUST
11081 SW PATWIN CT
TUALATIN, OR 97062

BROSSARD JAMES ALLEN
22465 SW 112TH AVE
TUALATIN, OR 97062

BRONSON FAMILY TRUST
10340 SW MILLER CT
TUALATIN, OR 97062

BROCKWAY DAVID M & BROCKWAY
SHELLY G
10853 SW BROWN ST
TUALATIN, OR 97062

BRIEN MATTHEW HAROLD & BRIEN
TIFFANY ROSE
10644 SW DOGWOOD ST
TUALATIN, OR 97062

BRIDGEMAN RANDALL R &
WATERSTRADT LILLIE ROBIN
10487 SW DOGWOOD ST
TUALATIN, OR 97062

BRICK JONATHAN R & BRICK LORIANN
C
10871 SW WESTFALL CT
TUALATIN, OR 97062

BREWER AMIE L & BREWER THOMAS A
10967 SW ONEIDA ST
TUALATIN, OR 97062

BRANT ANTHONY W & DRAKE SUNNY
22606 SW 104TH AVE
TUALATIN, OR 97062

BOYLE CHRISTOPHER D & BOYLE
EMMYLOU
22275 SW 111TH AVE
TUALATIN, OR 97062

BOYER GARY J & DEAL MICHAEL W
22895 SW 109TH TER
TUALATIN, OR 97062

BOWER KENNETH & BOWER KIMBERLY
10832 SW BROWN ST
TUALATIN, OR 97062

BOTTINI 2004 REVOCABLE TRUST
22249 SW 107TH AVE
TUALATIN, OR 97062

BOSKET JENNIFER R REV LIV TRUST
10711 SW MCKINNEY ST
TUALATIN, OR 97062

BORG JESSICA & DENHART EVAN
10555 SW MEIER DR
TUALATIN, OR 97062

BOOMER VERNON C & BOOMER
THERESA A
10355 SW MEIER DR
TUALATIN, OR 97062

BOLTON JENNIFER K
22445 SW 107TH AVE
TUALATIN, OR 97062

BOHN AARON & Bohn ABIGAIL
10836 SW WESTFALL CT
TUALATIN, OR 97062

BOATSMAN LESLIE A & BOATSMAN
VICKI L
10751 SW CLEAR ST
TUALATIN, OR 97062

BLANK FAMILY TRUST
22794 SW 106TH AVE
TUALATIN, OR 97062

BLAIR TIMOTHY & LAURA REV TRUST
22105 SW 107TH AVE
TUALATIN, OR 97062

BLACK THOMAS E & BLACK MELISSA J
22186 SW 111TH AVE
TUALATIN, OR 97062

BINSTOCK JASON MITCHELL &
BINSTOCK CAITLIN AUDREY KOCARNIK
PONZETTI
22431 SW 109TH TER
TUALATIN, OR 97062

BIGGS RANDY & BIGGS AIMEE
22567 SW 104TH AVE
TUALATIN, OR 97062

BEVILL-KOHLER ANGELA K
10900 SW ONEIDA ST
TUALATIN, OR 97062

BERNING RYAN T & BERNING NATALIE
A
11060 SW MARILYN ST
TUALATIN, OR 97062

BERGMANN MICHELE JEAN LIV TRUST
22901 SW COWLITZ DR
TUALATIN, OR 97062

BENSON SETH & MATTOON MARIAH
22213 SW 107TH AVE
TUALATIN, OR 97062

BENNETT DANA & BENNETT
LAWRENCE JR
22821 SW 112TH AVE
TUALATIN, OR 97062

BELL JAMES & ZHANG MING
22934 SW COWLITZ DR
TUALATIN, OR 97062

BECK HOLLY BUCHANAN
22729 SW COWLITZ DR
TUALATIN, OR 97062

BEATTIE ZACH & BEATTIE SHELBY JACE
& TSENG CINDY LEE
10400 SW COTTONWOOD ST
TUALATIN, OR 97062

BEARDEMPHL JACOB & BEARDEMPHL
ALEXIS
10736 SW COTTONWOOD ST
TUALATIN, OR 97062

BEALL WARE T JR & BEALL INEZ T
22282 SW 111TH AVE
TUALATIN, OR 97062

BARTHEL REV LIV TRUST
22934 SW 106TH AVE
TUALATIN, OR 97062

BARSOTTI NICHOLAS & BARSOTTI
SARAH
11053 SW PATWIN CT
TUALATIN, OR 97062

BARRETT STEVEN DENNIS & BARRETT
BRITTANY ALEXIS
11118 SW GRAM ST
TUALATIN, OR 97062

BARBER JEREMY & BARBER JAMIE
10490 SW MEIER DR
TUALATIN, OR 97062

BANKS LANDON & BANKS MIRANDA
10970 SW NELSON ST
TUALATIN, OR 97062

BALZER KARL V & HADLEY LEIGH ANNE
22135 SW 107TH AVE
TUALATIN, OR 97062

BALDWIN GARRETT & MEGAN TRUST
22238 SW 110TH PL
TUALATIN, OR 97062

BALDES MARY FRANCES C
22257 SW 110TH PL
TUALATIN, OR 97062

BAGLEY VERNON E & BAGLEY KAREN L
10354 SW KOSO ST
TUALATIN, OR 97062

BACHMAN JUSTIN TAYLOR &
BACHMAN NICOLE MARIE
11094 SW ONEIDA ST
TUALATIN, OR 97062

BACHMAN DONALD G & BACHMAN
ELIZABETH A
22365 SW 103RD AVE
TUALATIN, OR 97062

BACHHUBER MARTIN HUGO &
BACHHUBER ALANNA CYNTHIA
11026 SW MADRONE CT
TUALATIN, OR 97062

BACHELLER SUSAN ANN
11031 SW BROWN ST
TUALATIN, OR 97062

AZAROW ARNOLD P & AZAROW
ELLENORE K
10465 SW MILLER CT
TUALATIN, OR 97062

AYALA GEORGE
9043 SW ARAPAHO RD
TUALATIN, OR 97062

AUST LAURA J
10450 SW MILLER CT
TUALATIN, OR 97062

ATKINSON JENNIFER N & ATKINSON
LEE A
22658 SW 106TH AVE
TUALATIN, OR 97062

ATKINSON T&K TRUST
22440 SW 109TH TER
TUALATIN, OR 97062

ARRUDA JAMIE C
10928 SW ONEIDA ST
TUALATIN, OR 97062

ARPIAINEN ANGELIQUE
11151 SW BROWN ST
TUALATIN, OR 97062

ARNOTT DARRIN & ARNOTT BRIDGET
10876 SW BROWN ST
TUALATIN, OR 97062

ARNETT KIMBERLY MARIE
10998 SW MARILYN ST
TUALATIN, OR 97062

APRATI KELLYE & APRATI JEFFREY
22267 SW 111TH AVE
TUALATIN, OR 97062

APIADO AMY E & APIADO ANTHONY J
22300 SW 106TH AVE
TUALATIN, OR 97062

ANDRESS KIP
11117 SW ONEIDA ST
TUALATIN, OR 97062

ANDERSON ERIC T
11170 SW PATWIN CT
TUALATIN, OR 97062

ANAGNOS LIV TRUST
10340 SW MEIER DR
TUALATIN, OR 97062

AMMERMAN KRIS & AMMERMAN
KRISTIN
11058 SW ONEIDA ST
TUALATIN, OR 97062

AMEN MATTHEW & AMEN KRISTEN
10403 SW DOGWOOD ST
TUALATIN, OR 97062

ALVARES ARTIE E FAM REV TRUST
10727 SW NELSON ST
TUALATIN, OR 97062

ALLAN TERRANCE M & ALLAN YONG-
SUK
10896 SW WESTFALL CT
TUALATIN, OR 97062

AHRENKIEL JUSTIN & AHRENKIEL ERIN
10910 SW BROWN ST
TUALATIN, OR 97062

ACOSTA BRIGIT TRUST
11057 SW MARILYN ST
TUALATIN, OR 97062

From: [Melissa Slotemaker](#)
To: ["Riverparkcio@gmail.com"](#); ["jasuwi7@gmail.com"](#); ["christine@newmountaingroup.com"](#); ["rockybixby@hotmail.com"](#); ["katepinamonti@hotmail.com"](#); ["cynmartz12@gmail.com"](#); ["cio.East.west@gmail.com"](#); ["doug_ulmer@comcast.net"](#); ["keenanwoods7@gmail.com"](#); ["keenanwoods7@gmail.com"](#); ["dana476@gmail.com"](#); ["crowell248@gmail.com"](#); ["tualatinmidwestcio@gmail.com"](#); ["tmpgarden@comcast.net"](#); ["sixgill@comcast.net"](#); ["jdrsr80@gmail.com"](#); ["snoelluwcwie@yahoo.com"](#); ["danytyrell@gmail.com"](#); ["MartinazziWoodsCIO@gmail.com"](#); ["solson.1827@gmail.com"](#); ["abuenzli_pdx@hotmail.com"](#); ["ClaudiaSterling68@gmail.com"](#); ["kimberlypoole1@aol.com"](#); ["TualatinIbachcio@gmail.com"](#); ["Patricia Parsons; afbohn@gmail.com; edkcnw@comcast.net; fiskelady@hotmail.com; clinefelters@outlook.com; "Byromcio@gmail.com"; "timneary@gmail.com"; "jujuheir@aol.com"; "dtcme99@comcast.net"; "katzmari22@gmail.com"; "mwestenhaver@hotmail.com"; "tualatincommercialcio@gmail.com"; "tualatincommercialcio@gmail.com"; "scottm@capacitycommercial.com"; "scottm@capacitycommercial.com"; "ksdrangsholt@yahoo.com"; "christine@newmountaingroup.com"; "robertekellogg@yahoo.com"; "sonyanybergrygh@gmail.com"](#)
Cc: [Tracie McLaughlin](#)
Subject: Tualatin Reservoir Neighborhood Meeting
Date: Tuesday, February 25, 2025 5:03:00 PM
Attachments: [11236 20250220 Nhood Mtg Notice FINAL.pdf](#)

Hello CIO representatives,
Attached is the neighborhood meeting notice for the planned water reservoir and pump station project at 22675 SW 108th Avenue in the Ibach neighborhood.
The meeting is planned to be held on March 12 at the Tualatin library. Please see the attached notice for details. You may contact me if you have any questions about the meeting or the project.
I apologize for the repeat email if you already received this information.
Thank you,
Melissa

Melissa Slotemaker, AICP
Land Use Planner



AKS ENGINEERING & FORESTRY, LLC

12965 SW Herman Road, Suite 100 | Tualatin, OR 97062

P: 503.563.6151 Ext. 141 | www.aks-eng.com | slotemakerm@aks-eng.com

Offices in: Bend, OR | Keizer, OR | The Dalles, OR | Tualatin, OR | Kennewick, WA | Vancouver, WA | White Salmon, WA

NOTICE: This communication may contain privileged or other confidential information. If you have received it in error, please advise the sender by reply e-mail and immediately delete the message and any attachments without copying or disclosing the contents. AKS Engineering and Forestry shall not be liable for any changes made to the electronic data transferred. Distribution of electronic data to others is prohibited without the express written consent of AKS Engineering and Forestry.

AFFIDAVIT OF MAILING NOTICE

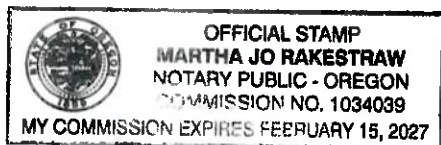
STATE OF OREGON)
) SS
COUNTY OF WASHINGTON)

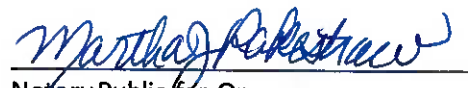
I, Tracie McLaughlin being first duly sworn, depose and say:

That on the 20th day of February, 2025, I will serve upon the persons shown on Exhibit "A" (Mailing Area List), attached hereto and by this reference incorporated herein, a copy of the Notice of Neighborhood/Developer Meeting marked Exhibit "B," attached hereto and by this reference incorporated herein, by mailing to them a true and correct copy of the original hereof. I further certify that the addresses shown on said Exhibit "A" are their regular addresses as determined from the books and records of the Washington County and/or Clackamas County Departments of Assessment and Taxation Tax Rolls, and that said envelopes were placed in the United States Mail with postage fully prepared thereon.


Signature

SUBSCRIBED AND SWORN to before me this 24th day of February, 2025.




Notary Public for Oregon
My commission expires: 2/15/2027

RE: Neighborhood Meeting Notice - 22675 SW 108th Avenue



Notice of Meeting

Meeting Date & Time:

March 12, 2025

6:00 PM

LOCATION:

**Tualatin Public Library Community Room
18878 SW Martinazzi Avenue**

FOR MORE INFORMATION

Melissa Slotemaker
AKS Engineering & Forestry, LLC
503-563-6151
slotemakerm@aks-eng.com

CERTIFICATION OF SIGN POSTING



Meeting Date & Time:

LOCATION:

FOR MORE INFORMATION

In addition to the requirements of TDC 32.150, the 18" x 24" sign must display the meeting date, time, and address as well as a contact phone number. A template of this sign is available at:
<https://www.tualatinoregon.gov/planning/neighborhooddeveloper-meeting-information-packet>

As the applicant for the City of Tualatin Reservoir project, I hereby certify that on this day, 02-26-2025 sign(s) was/were posted on the subject property in accordance with the requirements of the Tualatin Development Code and the Community Development Division.

Applicant's Representative:

Michael O'Brien
(Please Print)

Applicant's Representative's Signature:

[Signature]

Date:

2/26/25



108TH RESERVOIR
22675 SW 104TH AVE

Meeting
Meeting Date & Time
March 12, 2025
6:00 PM
FOR MORE INFORMATION



CITY*of*
TUALATIN

City of Tualatin SW 108th Avenue Water Reservoir & Pump Station

Neighborhood Meeting
March 12, 2025



consor

AKS
ENGINEERING & FORESTRY

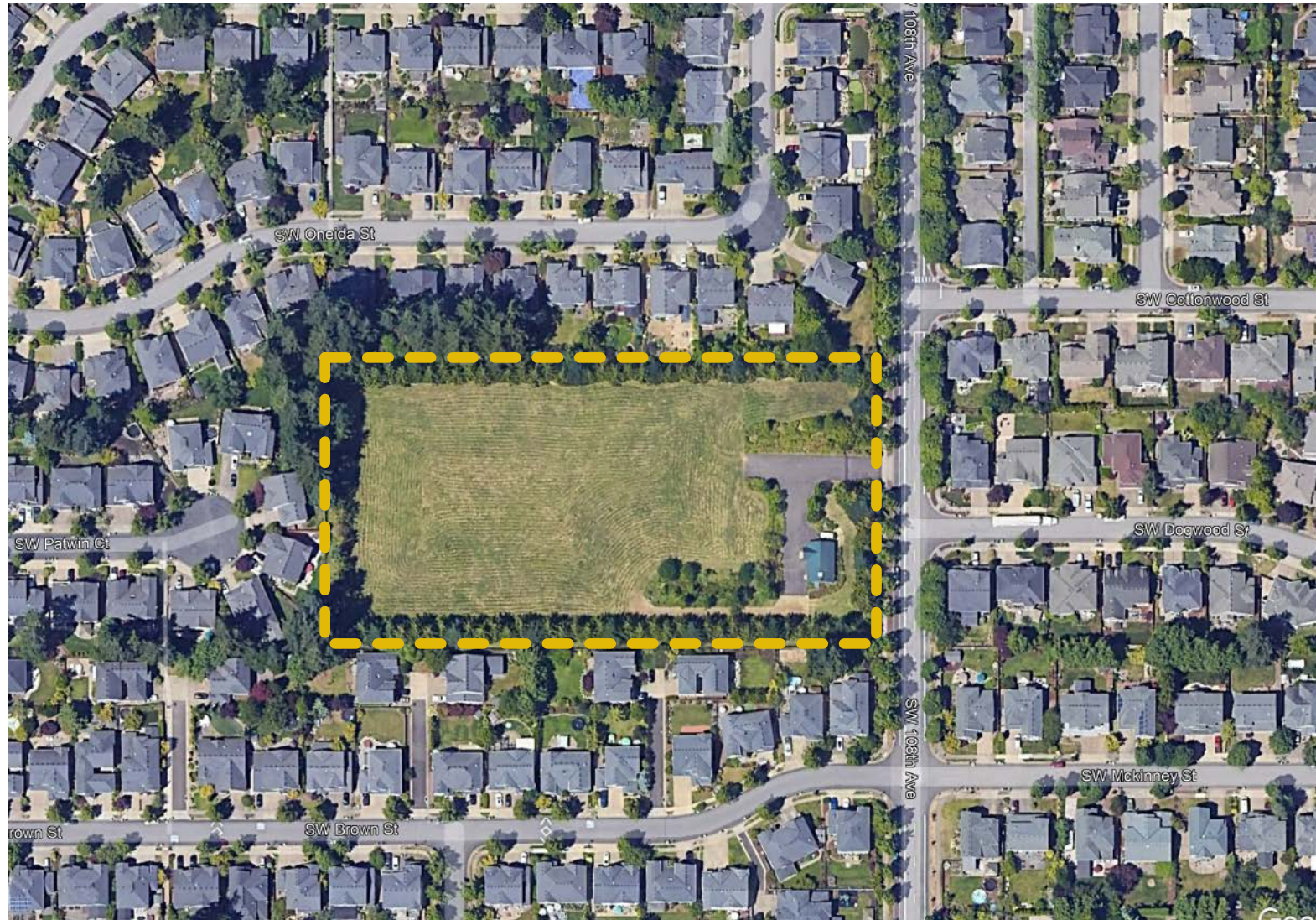
Project Team

- » City of Tualatin
 - » Applicant/Owner
 - » Abby McFetridge, EI – Engineering
 - » Mike McCarthy, PE – City Engineer
- » Consor
 - » Project Management/Engineering
 - » Adam Blair, PE
 - » Taylor Spencer, PE
- » AKS Engineering & Forestry, LLC
 - » Land Use Planning
 - » Melissa Slotemaker, AICP



Site Overview


















- » ±4.75-acre site
- » City has owned property since 1991 with plans to use property for water system improvements
- » Currently improved with a well house to serve the City



Site Overview

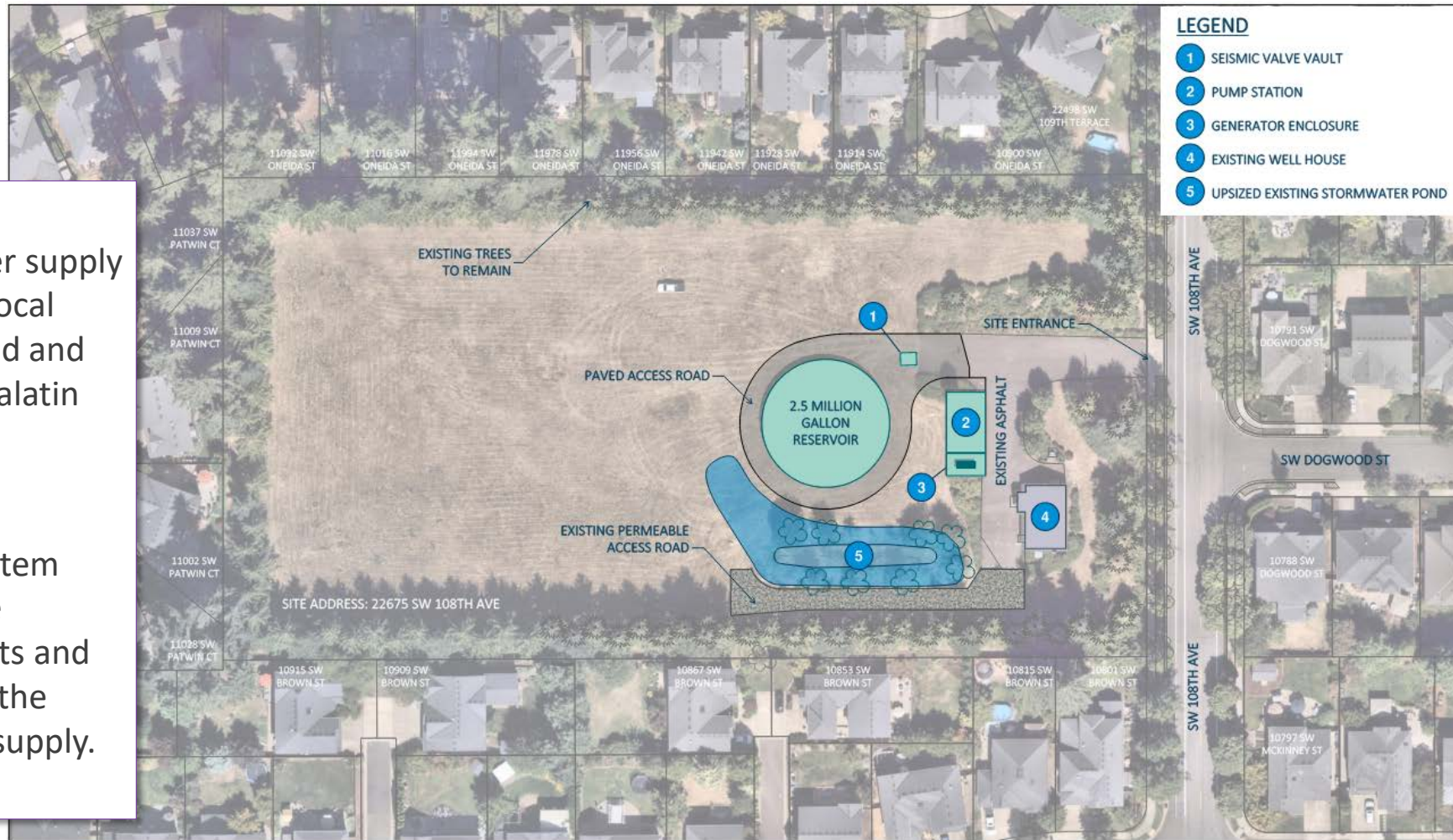
- » Adjacent residential neighborhoods
- » Residential (RL) zoning
- » Conditional Use Permit and Architectural Review approval are needed for new reservoir



Planning Districts	
Planning Districts	
	Commercial Office (CO)
	Neighborhood Commercial (CN)
	Central Commercial (CC)
	General Commercial (CG)
	Recreational Commercial (CR)
	Medical Commercial (MC)
	Mixed Use Commercial (MUC)
	Light Manufacturing (ML)
	General Manufacturing (MG)
	Manufacturing Park (MP)
	Manufacturing Business Park (MBP)
	Basalt Creek Employment (BCE)
	Low Density Residential (RL)
	Medium Low Density Residential (RML)
	Medium High Density Residential (RMH)
	High Density Residential (RH)
	High Density/High Rise Residential (RH/HR)
	Institutional (IN)

Project Goals

- Provide water supply to both the local neighborhood and the wider Tualatin community.
- Add both system performance improvements and resiliency to the City's water supply.



LEGEND

- 1 SEISMIC VALVE VAULT
- 2 PUMP STATION
- 3 GENERATOR ENCLOSURE
- 4 EXISTING WELL HOUSE
- 5 UPSIZED EXISTING STORMWATER POND



PLAN
SCALE: 1" = 30'

30 0 60
SCALE IN FEET

NOTE: This is a conceptual drawing of the finished site. Actual final finished site appearance may change, including vegetation plan and other features as a result of final decisions and other jurisdictional requirements.

EXISTING TREES
TO REMAIN

PAVED ACCESS ROAD

2.5 MILLION
GALLON
RESERVOIR

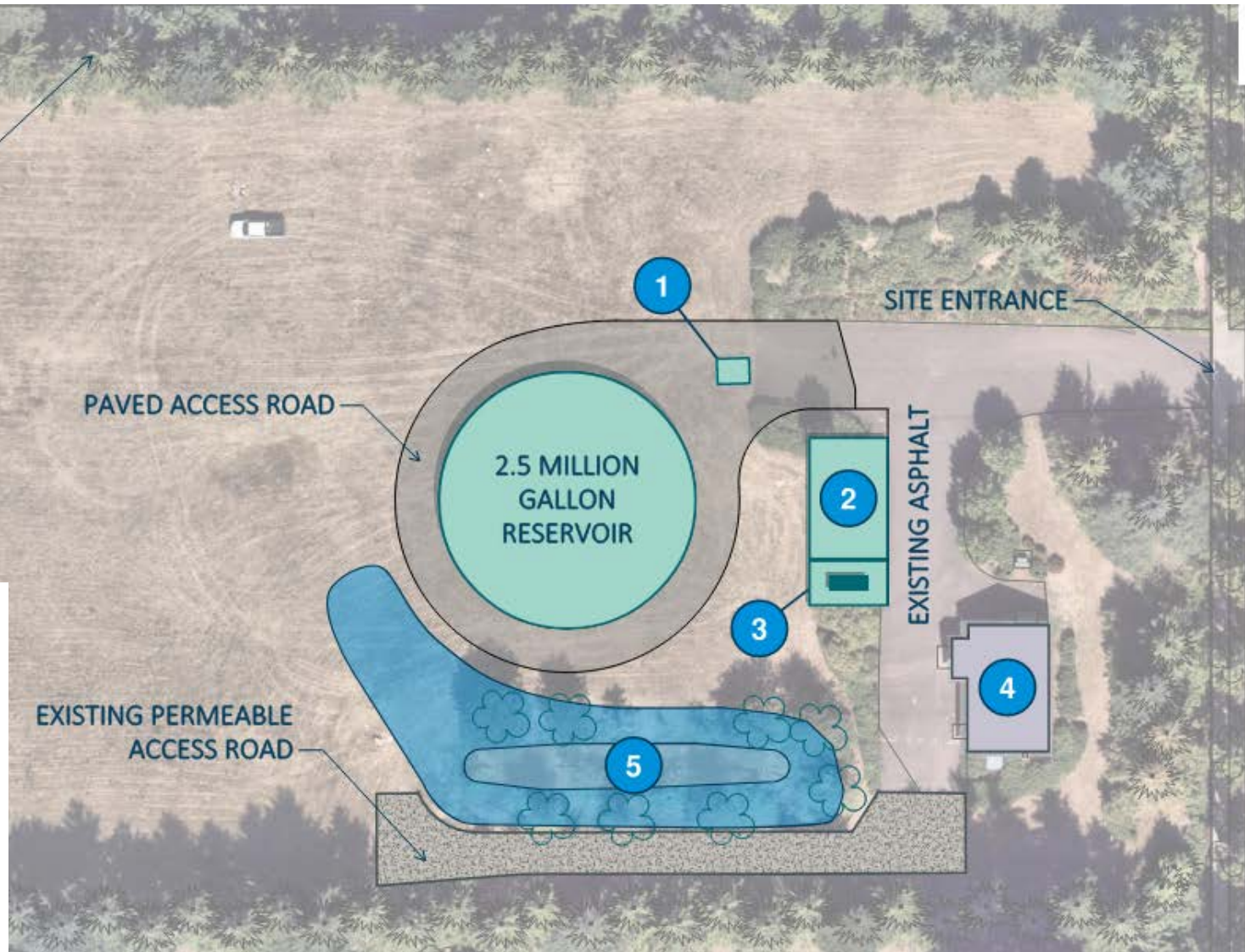
SITE ENTRANCE

EXISTING ASPHALT

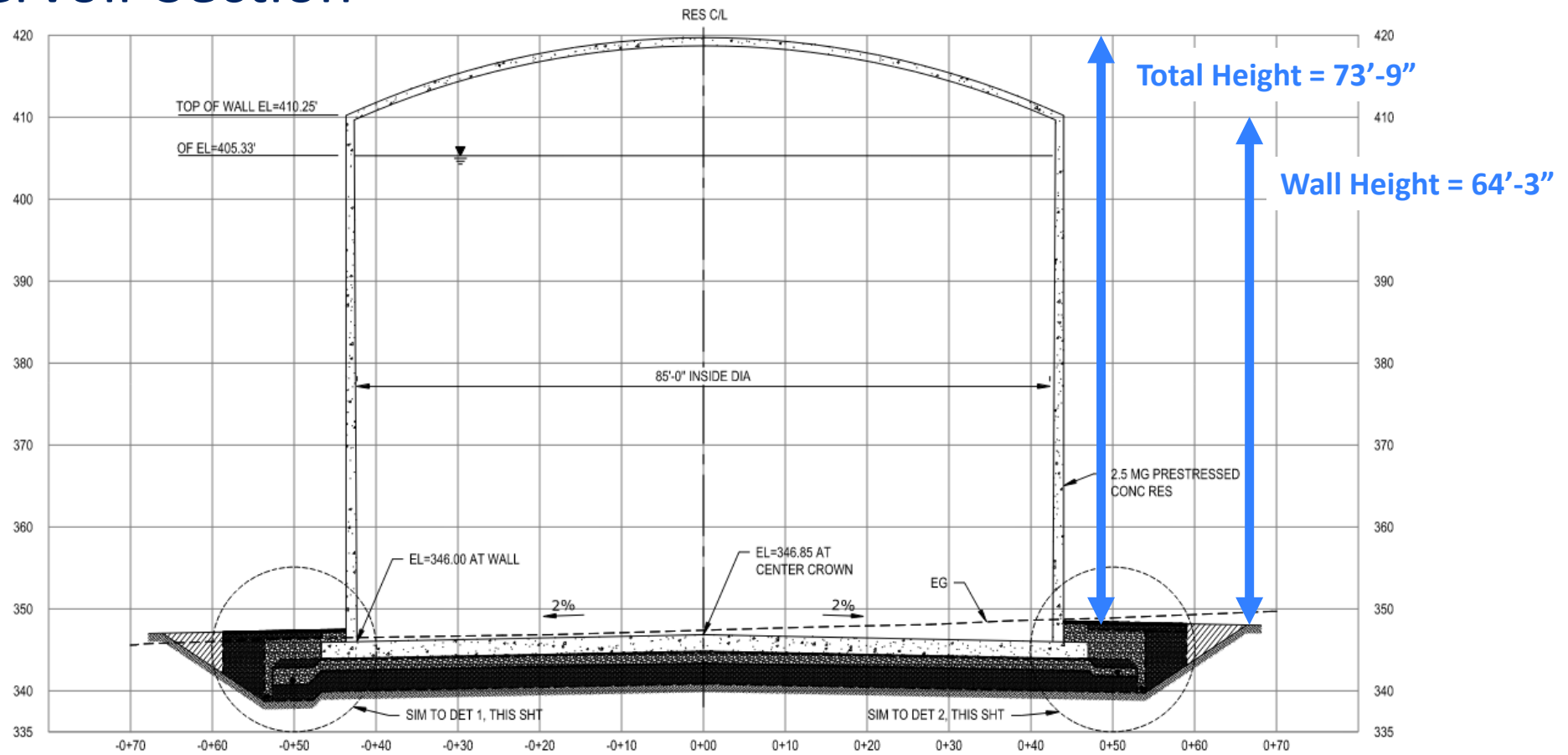
EXISTING PERMEABLE
ACCESS ROAD

LEGEND

- 1 SEISMIC VALVE VAULT
- 2 PUMP STATION
- 3 GENERATOR ENCLOSURE
- 4 EXISTING WELL HOUSE
- 5 UPSIZED EXISTING STORMWATER POND



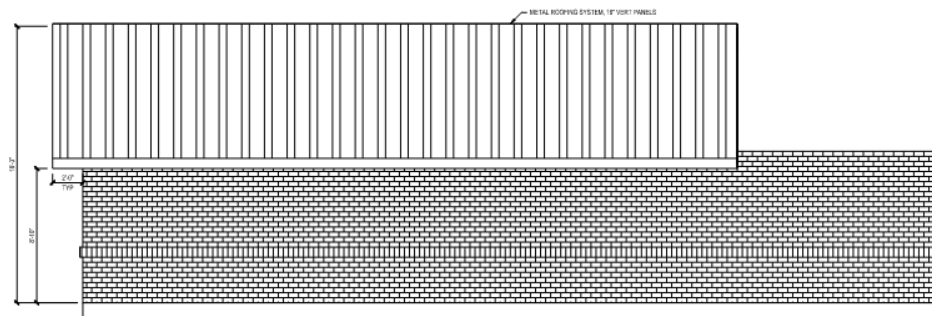
Reservoir Section



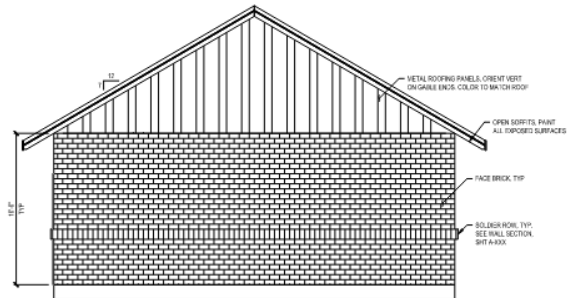
A RESERVOIR SECTION
C-100 SCALE: 1"=10' HORIZ, 1"=10' VERT

Pump Station Elevations

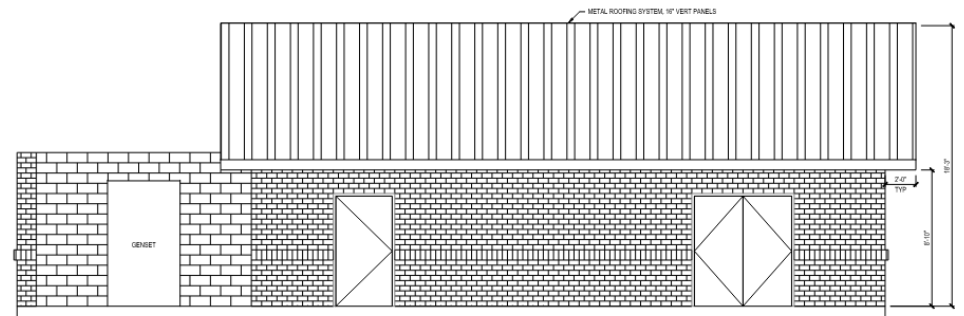
» Similar height and materials as existing well house



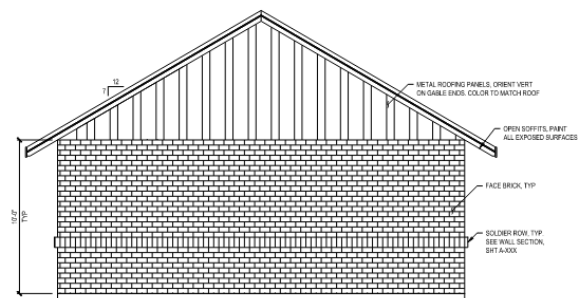
WEST ELEVATION
SCALE: 3/8" = 1'-0"



NORTH ELEVATION
SCALE: 3/8" = 1'-0"



EAST ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

Conceptual Views



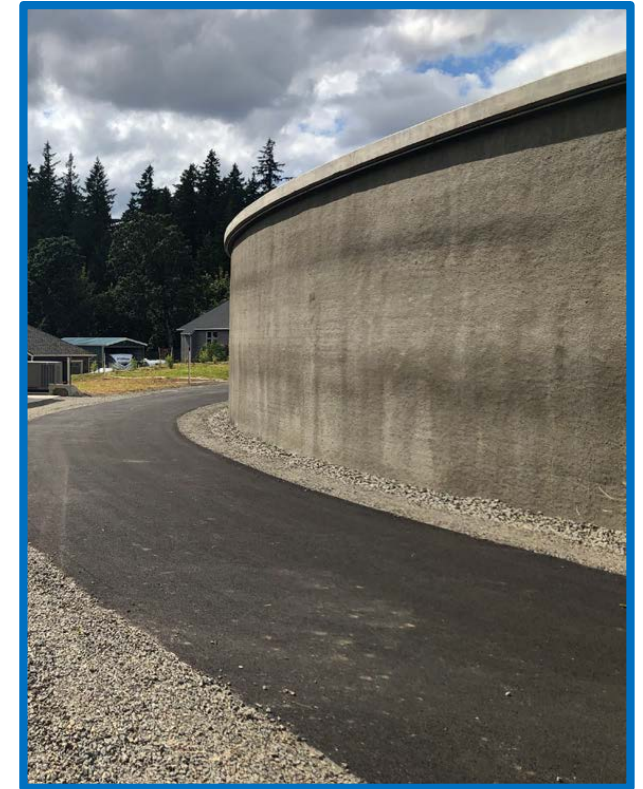
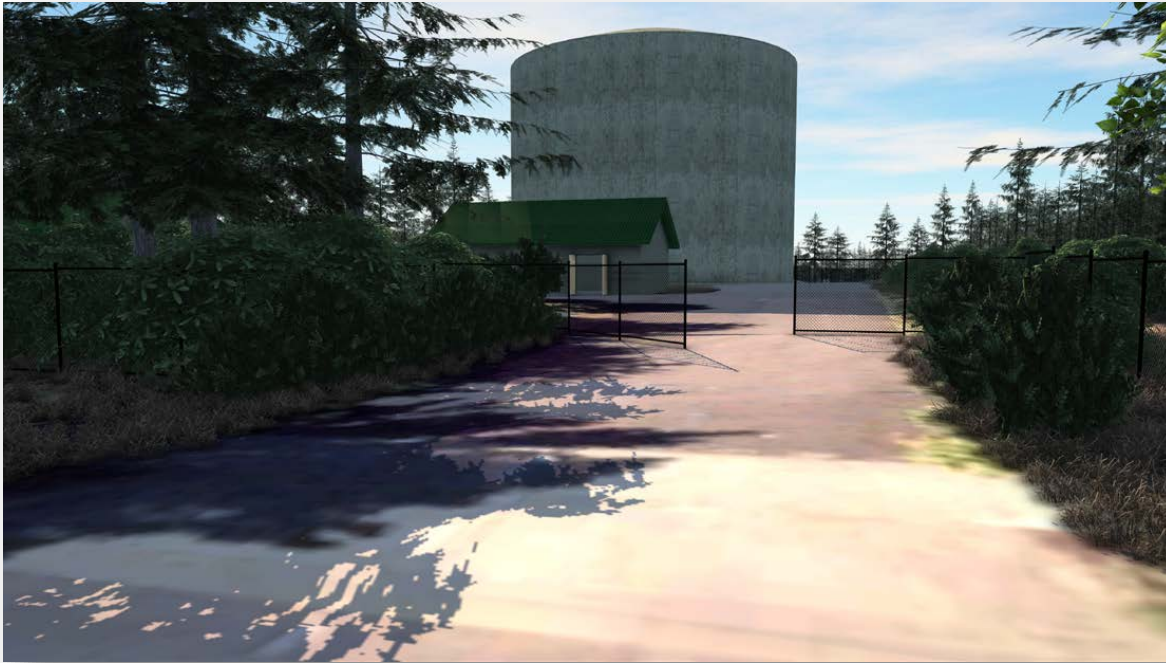
From South



From North

Conceptual View

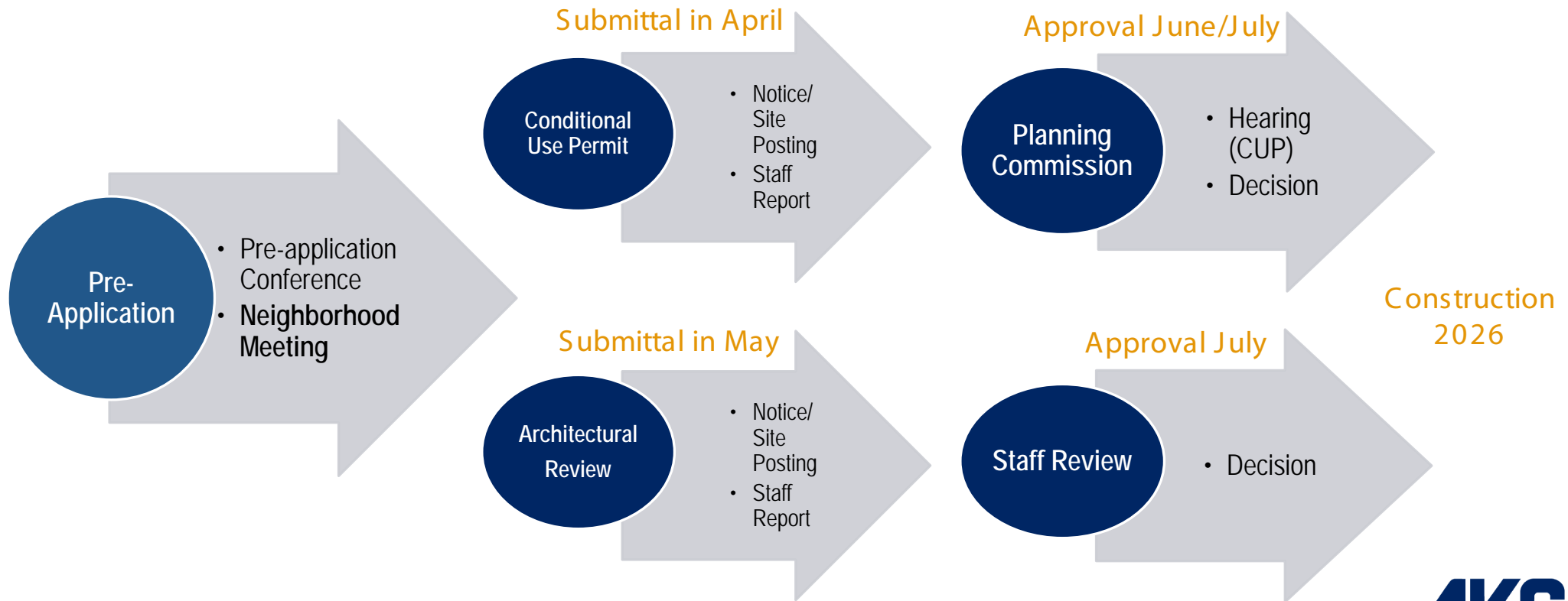
- From Driveway



Example of material

The Process

- Two Land Use Applications Apply.



Questions?

Melissa Slotemaker

AKS Engineering & Forestry

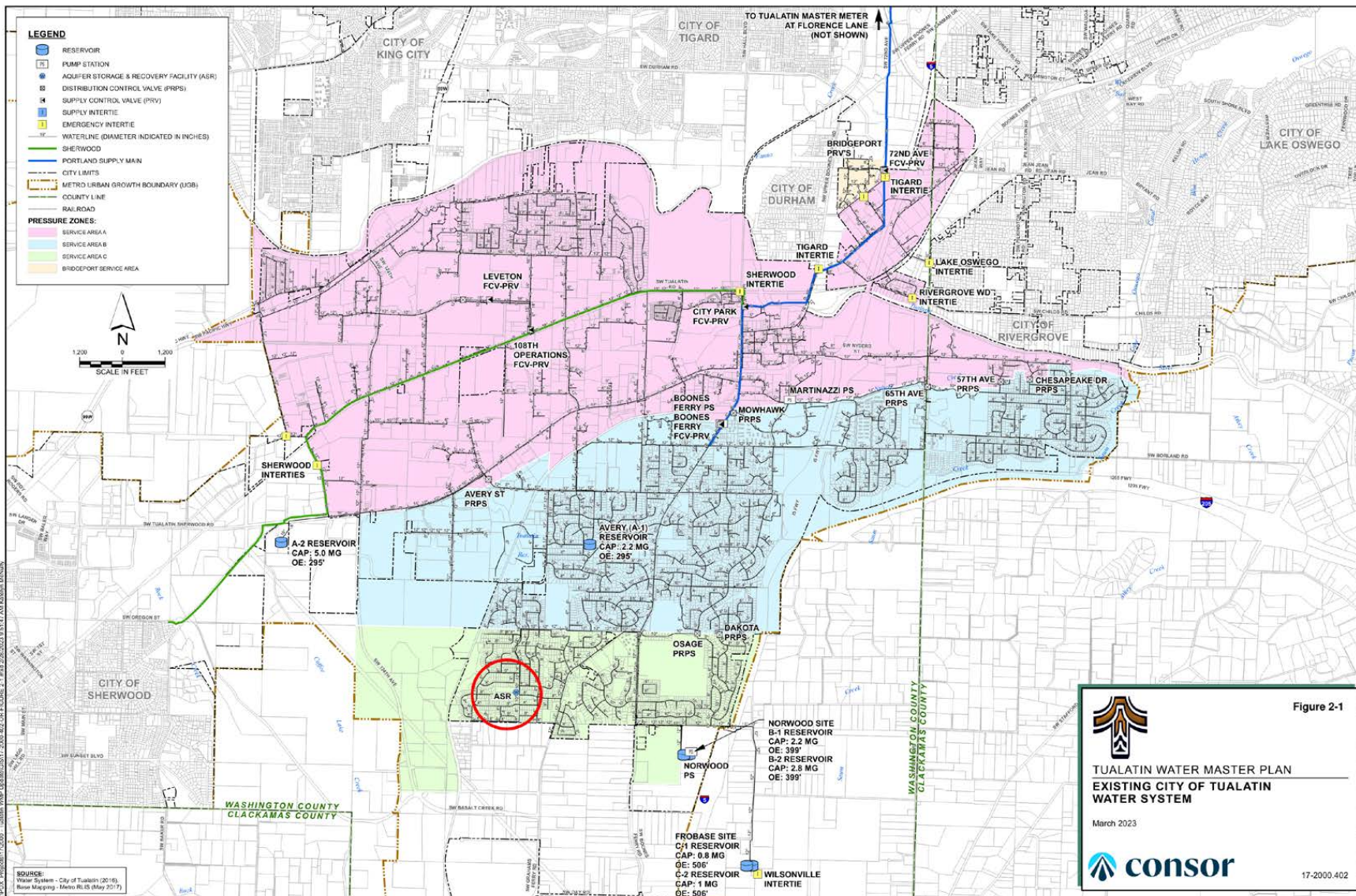
12965 SW Herman Road, Suite 100

Tualatin, OR 97062

slotemakerm@aks-eng.com

(503) 563-6151







REMIT TO: AKS ENGINEERING & FORESTRY, LLC
 12965 SW Herman Road, Suite 100, Tualatin, OR 97062
 P: (503) 563-6151 F: (503) 563-6152

OFFICES IN: BEND, OR | KEIZER, OR | THE DALLES, OR | TUALATIN, OR | KENNEWICK, WA | VANCOUVER, WA | WHITE SALMON, WA

City of Tualatin Reservoir and Pump Station

March 12, 2025
 6:00 p.m.

Neighborhood Meeting

Tualatin Public Library Community Room
 18878 SW Martinazzi Avenue
 Tualatin

PLEASE PRINT CLEARLY

Printed Name	Full Mailing Address	Email Address	Phone #
Shelly Brockway	10853 SW Brown St Tualatin 97062	dsbrockway@comcast.net	503.819.7231
Bob Kanyer	10909 SW Brown St 97062	bob.kanyer@sterling.net	503 351.1643
BRYAN + KRISTIN	10732 SW Dogwood St. Tualatin, OR 97062	bryaneerickson@yahoo	503 806 0463
Todd Owen Fedosik Owen	10942 SW Onondaga ST	Todd_Owen@Comcast.net	503-704-8128
Randy . Hledik	10558 SW Cottonwood 97062	beaver73@comcast.net	541-799-5184
Erik Johannes	11016 SW Onondaga ST	erik@johannesfamily.com	503 806 3749



REMIT TO: AKS ENGINEERING & FORESTRY, LLC
12965 SW Herman Road, Suite 100, Tualatin, OR 97062
P: (503) 563-6151 F: (503) 563-6152

OFFICES IN: BEND, OR | KEIZER, OR | THE DALLES, OR | TUALATIN, OR | KENNEWICK, WA | VANCOUVER, WA | WHITE SALMON, WA

City of Tualatin Reservoir and Pump Station

March 12, 2025
6:00 p.m.

Neighborhood Meeting

Tualatin Public Library Community Room
18878 SW Martinazzi Avenue
Tualatin

PLEASE PRINT CLEARLY

Printed Name	Full Mailing Address	Email Address	Phone #
Daniel Lima	11073 SW Oneida St	dlima84@gmail.com	503-318-9456
Frank Reed	10773 SW Dogwood St.	Freedjr@hotmail.com	503-314-9522
Elaine Shepard	10936 SW Nelson St	Theshepards17@gmail.com	503-705-8061

April 9, 2025



Neighborhood Meeting Summary: City of Tualatin Reservoir and Pump Station

Meeting Date: March 12, 2025

Time: 6:00 PM

Location: Tualatin Public Library Community Room

The following serves as a summary of the Neighborhood Meeting process. On February 20, 2025, property owners within 1,000 feet of the proposed development site were sent notification of the planned City of Tualatin Reservoir and Pump Station project, which includes applications for a Conditional Use Permit and Architectural Review. Citizen Involvement Organization representatives as well as the Tualatin Community Development Department were sent notification of the meeting via email. This notification included the project location, project details, and the neighborhood meeting date, time, and location.

On March 12, 2025, meeting presenters included the following individuals:

- Melissa Slotemaker of AKS Engineering & Forestry, LLC
- Abby McFetridge and Mike McCarthy of the City of Tualatin
- Adam Blair and Taylor Spencer of Consor

The meeting began with an introduction by Melissa Slotemaker summarizing the project and the application types and processes. Information about the City's review process and opportunities for public input were also provided. Following the presentation, attendees were then given the opportunity to ask questions. The following topics were discussed:

- Height of the planned reservoir and whether a portion could be placed underground.
- City height restrictions in the residential neighborhood.
- Need for height to provide pressure, to be gravity-served and to increase resiliency.
- Water supply to the reservoir and where the reservoir will serve.
- When pump station will be used.
- Concern about existing pump station or deep well causing recent vibrations.
- When emergency generator will be used and tested and how sound will be mitigated.
- Planned material of the reservoir and whether it will be reflective.
- Will there be more traffic to the site?
- Will the site be locked?
- Will new pipes be needed and will construction occur in the neighborhood's streets?
- Current stormwater drainage from the site and if any changes planned.
- What will happen if an earthquake occurs? The reservoir is designed to not rupture or leak but rather rotate and shift.
- The planned concrete material is the most resilient material.
- Whether another reservoir will be needed on this property in the future.
- Concerns about existing trees/screening around the perimeter of the site.
- Financing of the project.
- Construction timing and length of construction.
- Construction noise and what to expect.
- Construction traffic route.
- Whether the reservoir will be painted or left natural concrete (City currently undecided).
- Is compaction of the site needed and will it be noisy?

- What pressure zone is the neighborhood and reservoir in?
- Maintenance of existing trees on site.
- Cranes and tall concrete pump will be used for construction.
- Concern that the existing vegetation isn't tall or dense enough to fully screen the reservoir from the existing homes.
- Maintenance plan and budget for the screening vegetation.

The meeting concluded at approximately 7:00 pm.

Sincerely,

AKS ENGINEERING & FORESTRY, LLC



Melissa Slotemaker, AICP

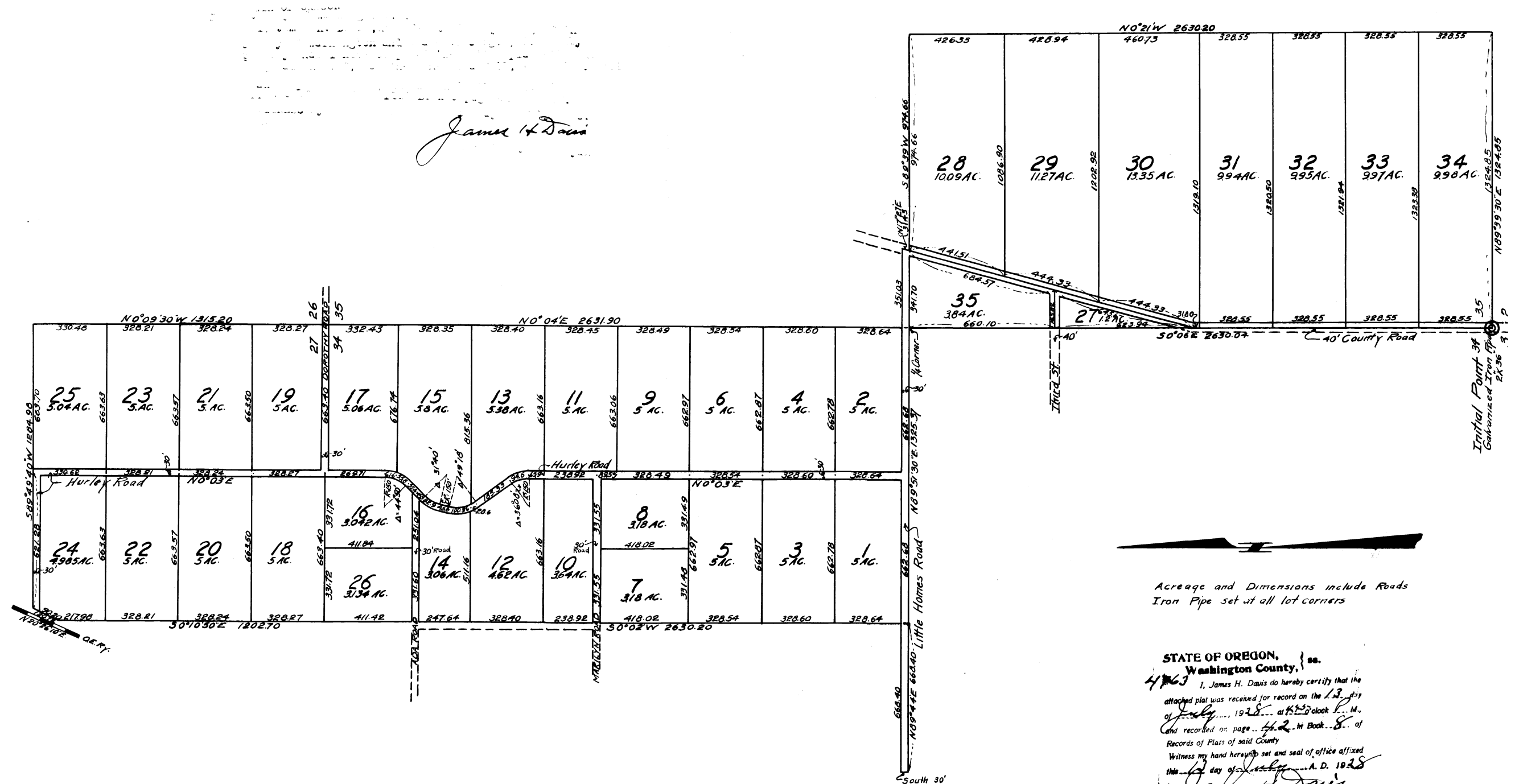
12965 SW Herman Road, Suite 100 | Tualatin, OR 97062

P: 503.563.6151 | slotemakerm@aks-eng.com

COMTE & KOHLMAN'S LITTLE HOMES N° 3

IN SECTIONS 27, 34-35 T.2 S., R.1 W. W.M. WASHINGTON COUNTY OREGON
D.J. SAGE

Scale 1 in. = 300 ft.



Acreage and Dimensions include Roads
Iron Pipe set at all lot corners

STATE OF OREGON, } ss.
Washington County, }

I, James H. Davis do hereby certify that the
attached plat was received for record on the 13 day
of July, 1928, at 4:20 o'clock P.M.,
and recorded on page 442 of Book 8 of
Records of Plats of said County.

Witness my hand hereunto set and seal of office affixed
this 13 day of July, A.D. 1928
James H. Davis
Recorder of Clatsop County.

KNOW ALL MEN BY THESE PRESENTS: That I, A.S. Pattullo and Myra G. Pattullo, his wife, and The Oregon Iron & Steel Company, a corporation organized and existing under and by virtue of the laws of the State of Oregon, do hereby make, establish, and declare the annexed map, a true and correct map and plat of "COMTE & KOHLMANS LITTLE HOMES NO. 3" as described in the accompanying surveyor's certificate, all tracts being of the dimensions shown on said map and all roads of the widths therein set forth and said A.S. Pattullo and Myra G. Pattullo, his wife, and said The Oregon Iron & Steel Company, do hereby dedicate to the use of the public as public ways forever, all roads shown on said map.

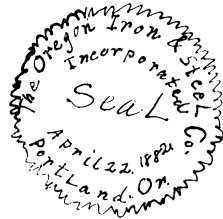
IN WITNESS WHEREOF, said A.S. Pattullo and Myra G. Pattullo, his wife, do here unto set their hands and seals and said "The Oregon Iron & Steel Company," has caused these presents to be executed by its President and Asst. Secretary and its corporate seal to be here unto affixed this 5th day of July, 1928.

Executed in the presence of

John J. Caspary
Edw. R. Seamer

A.S. Pattullo
Myra G. Pattullo
Paul C. Murphy Pres.
The Oregon Iron & Steel Company

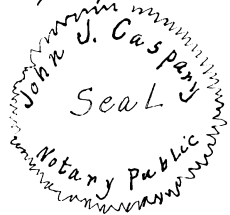
By Elsie M. Silver Asst. Sec.



STATE OF OREGON } ss.
COUNTY OF MULTNOMAH

BE IT REMEMBERED that on this 5th day of July, 1928 before me, the undersigned, a Notary Public in and for said State and County, personally appeared A.S. Pattullo, and Myra G. Pattullo, his wife, to me known to be the identical persons described in and who executed the foregoing instrument, and they then and there acknowledged to me that they executed the said instrument as their free and voluntary act and deed for the uses and purposes therein set forth, also personally appeared Paul C. Murphy, and Elsie M. Silver, to me personally known to be the President and Assistant Secretary, respectively, of The Oregon Iron & Steel Company, the corporation above named, who being first severally sworn, did say that he the said Paul C. Murphy, is the President, and she the said Elsie M. Silver is the Asst. Secretary of said "The Oregon Iron & Steel Company" and that the seal affixed to the foregoing instrument is the corporate seal of said corporation and that said instrument was signed and sealed on behalf of said corporation by authority of its Board of Directors and they acknowledged said instrument to be the act and deed of said corporation.

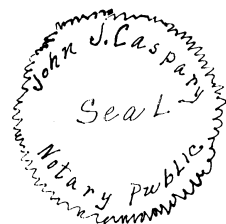
IN WITNESS WHEREOF I have here unto set my hand and affixed my official seal the day and year last above written.



John J. Caspary
Notary Public in and for Oregon
My commission expires May 21-1929.

STATE OF OREGON } ss.
COUNTY OF MULTNOMAH

I, D.J. Sage, being first duly sworn, depose and say that I have correctly surveyed and marked with appropriate monuments the lands represented on the annexed map of "COMTE & KOHLMANS LITTLE HOMES NO. 3". The initial point of said survey is a 2" galvanized iron pipe, 36" long and driven 6" below the surface of the ground at the corners of Section 34, 35, 2 and 3, T.2S., R.1W., W.M. Washington County Oregon. The property platted is described as follows, to wit: Beginning at the initial point of said survey, thence N. 89° 39' 30" E. along the southerly line of Section 35, 1324.05 feet thence N. 0° 21' W., 2630.20 feet to the east and west center line through Section 35 thence S. 89° 39' W. along said east and west line 974.66 feet to the center line of a County Road, thence N. 17° 27' E. along said center line 31.43 feet thence S. 89° 39' W. 351.03 feet to the line between Secs. 34 and 35, thence N. 0° 04' E. along said line 2631.90 feet to the corners of Sections 26, 27, 34 and 35, thence N. 0° 09' 30" W. on the line between Sections 26 and 27 1315.20 feet thence S. 89° 49' 40" W. 1284.98, thence S. 20° 26' 10" W. 120.72 feet thence S. 0° 10' 50" E. 1202.70 thence S. 0° 02' W. 2600.20 feet thence S. 89° 44' W. 668.40 feet thence South 30 feet thence N. 89° 44' E. 668.40 feet to a stone at the initial point of North Tongue, thence N. 89° 51' 30" E. along the east and west line of Section 34 1325.37 feet to the one quarter corner on the east line of Section 34, thence S. 0° 06' E. along the line between Secs. 34 and 35 2630.04 feet to the point of beginning, all in Sections 27, 34, and 35 T.2S., R.1W. W.M.



D.J. Sage
Subscribed and sworn to before me
this 5th day of July, 1928

John J. Caspary
Notary Public in and for Oregon
My commission expires May 21-1929.

All taxes from to 1927 are paid

By Edw. R. Seamer Sheriff
John J. Caspary Deputy

Approved July 11th 1928
W. F. Boley County Assessor
By J. E. Carpenter Deputy

Approved July 11 1928
Edw. R. Seamer County Surveyor

Approved July 11-1928
Edw. R. Seamer County JUDGE
John J. Caspary County
John J. Caspary Commissioners

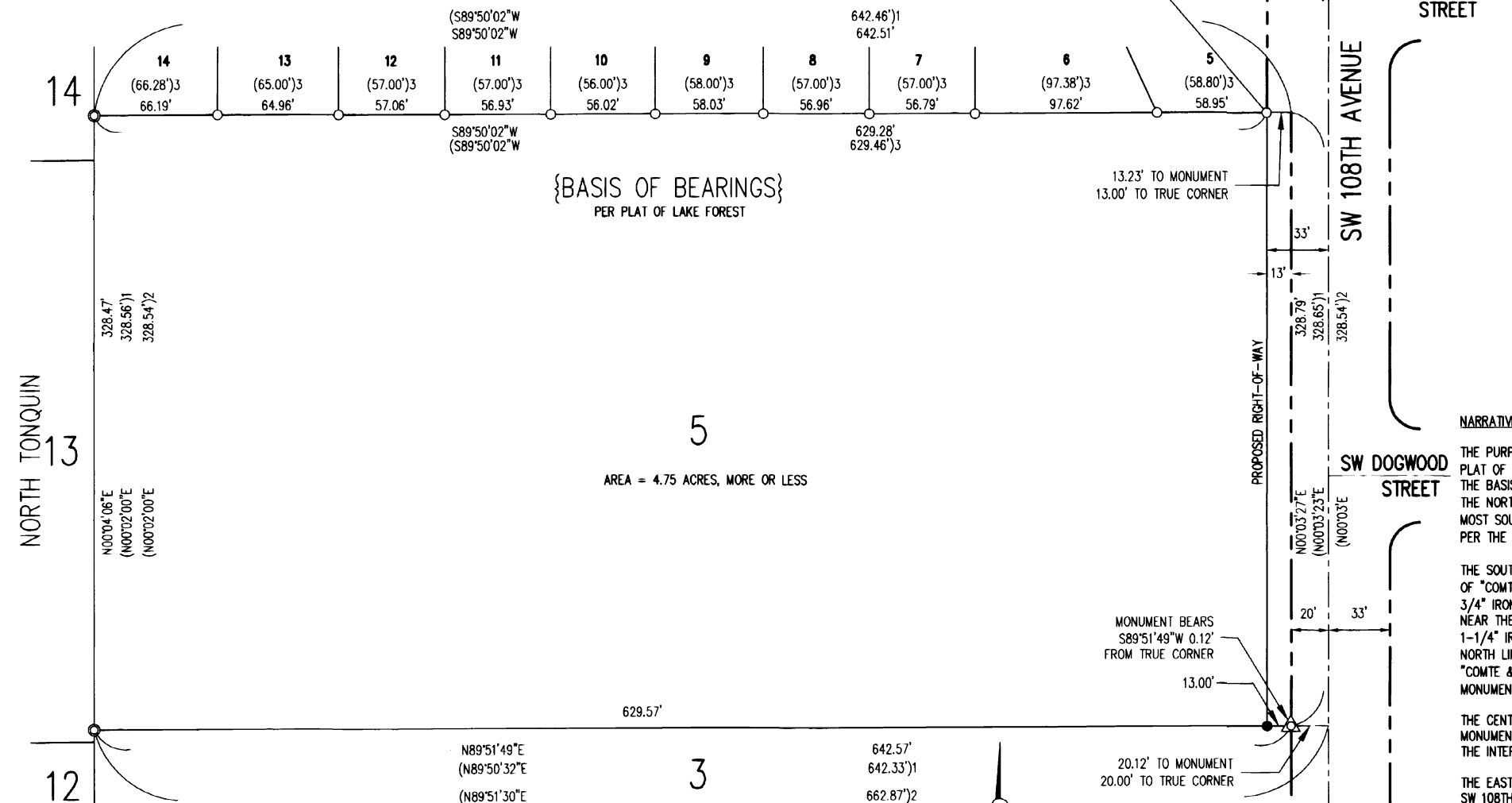
Attest Edw. R. Seamer
County Clerk

ACCEPTED FOR FILING 3-15-2002

RECORD OF SURVEY

LOT 5 PER PLAT OF "COMTE & KOHLMAN'S LITTLE HOMES
NO. 3", LOCATED IN THE NORTHEAST ONE-QUARTER OF
SECTION 34, TOWNSHIP 2 SOUTH, RANGE 1 WEST,
WILLAMETTE MERIDIAN, CITY OF TUALATIN, WASHINGTON
COUNTY, OREGON

LAKE FOREST



{BASIS OF BEARINGS}
PER PLAT OF LAKE FOREST

5

AREA = 4.75 ACRES, MORE OR LESS

NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO ESTABLISH THE OUTER BOUNDARY OF LOT 5 PER THE PLAT OF "COMTE & KOHLMAN'S LITTLE HOMES NO. 3", WASHINGTON COUNTY SURVEY RECORDS. THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED BY HOLDING THE LINE BETWEEN THE NORTHWEST CORNER OF LOT 5, "COMTE & KOHLMAN'S LITTLE HOMES NO. 3", AND THE MOST SOUTHERLY SOUTHEAST CORNER OF THE PLAT OF "LAKE FOREST" AT S89°50'02"W AS PER THE PLAT OF "LAKE FOREST".

THE SOUTH LINE WAS ESTABLISHED BY HOLDING THE FOUND 1-1/4" IRON PIPE FROM THE PLAT OF "COMTE & KOHLMAN'S LITTLE HOMES NO. 3" AS THE SOUTHWEST CORNER AND THE FOUND 3/4" IRON PIPE FROM THE PLAT OF "COMTE & KOHLMAN'S LITTLE HOMES NO. 3" FOR LINE NEAR THE SOUTHEAST CORNER. THE WEST LINE WAS ESTABLISHED BY HOLDING THE FOUND 1-1/4" IRON PIPES FROM THE PLAT OF "COMTE & KOHLMAN'S LITTLE HOMES NO. 3". THE NORTH LINE WAS ESTABLISHED BY HOLDING THE FOUND 1-1/4" IRON PIPE FROM THE PLAT OF "COMTE & KOHLMAN'S LITTLE HOMES NO. 3" FOR THE NORTHWEST CORNER AND FOUND MONUMENTS FROM THE PLAT OF "LAKE FOREST".

THE CENTERLINE OF SW 108TH AVENUE WAS ESTABLISHED BY HOLDING FOUND CENTERLINE MONUMENTS AT THE INTERSECTION OF SW 108TH AVENUE AND SW MARILYN STREET AND AT THE INTERSECTION OF SW 108TH AVENUE AND SW COTTONWOOD STREET.

THE EAST BOUNDARY OF SAID LOT 5 WAS ESTABLISHED BY OFFSETTING THE CENTERLINE OF SW 108TH AVENUE 20 FEET WESTERLY.

A MONUMENT WAS SET ON THE SOUTH LINE 13.00 FEET WESTERLY FROM THE TRUE SOUTHEAST CORNER. THIS MONUMENT IS AT THE PROPOSED FUTURE RIGHT-OF-WAY LINE.

REGISTERED
PROFESSIONAL
LAND SURVEYOR

Anthony C. Bell

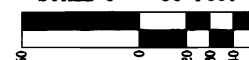
OREGON
JULY 18, 1984
ANTHONY C. BENTHIN
2655

EXPIRES 12/31/03

THIS SURVEY WAS PREPARED USING HP PRODUCT
#51645A CARTRIDGE ON CONTINENTAL #JPC4M2
POLYESTER FILM.

PREPARED FOR:
CITY OF TUALATIN
18880 SW MARTINAZZI AVE.
TUALATIN, OR 97062

SCALE 1" = 50 Feet



JOB NAME: SW 108TH AVENUE RESERVOIR SITE SURVEY	
JOB LOCATION: TUALATIN, WASHINGTON COUNTY, OREGON	
DRAWN BY: HAYES M ^C COY	DATE DRAWN: FEBRUARY 6th, 2002
CHECKED BY: TONY BENTHIN	DATE SURVEYED: FEBRUARY 14th, 2002
DESIGNED BY: HAYES M ^C COY	REVISED:
DRAWING NO.: 828PLAT	SHEET 1 OF

ENGINEERING • PLANNING • SURVEYING • FORESTRY
LICENSED IN OR & WA



13910 SW GALBREATH
DRIVE, SUITE 100
SHERWOOD, OR 97140
PHONE: (503) 925-8799
FAX: (503) 925-8969

E-MAIL: aks@aks-eng.com

SENSITIVE AREA PRE-SCREENING SITE ASSESSMENT

Clean Water Services File Number **25-000700**

1. Jurisdiction: Tualatin

2. Property Information (example: 1S234AB01400)

Tax lot ID(s): _____
Map 2S134AD, Tax Lots 5400 and 5500

OR Site Address: 22675 SW 108th Avenue

City, State, Zip: Tualatin, OR, 97062

Nearest cross street: _____

4. Development Activity (check **all** that apply)

- ☐ Addition to single family residence (rooms, deck, garage)
☐ Lot line adjustment ☐ Minor land partition
☐ Residential condominium ☐ Commercial condominium
☐ Residential subdivision ☐ Commercial subdivision
☐ Single lot commercial ☐ Multi lot commercial
Other New water storage reservoir and pump station

3. Owner Information

Name: _____
Company: City of Tualatin
Address: 10699 SW Herman Road
City, State, Zip: Tualatin, OR, 97062
Phone/fax: _____
Email: _____

4. Applicant Information

Name: Sean Vermilya
Company: AKS Engineering & Forestry, LLC
Address: 12965 SW Herman Road, Ste. 100
City, State, Zip: Tualatin, OR, 97062
Phone/fax: 503-563-6151
Email: vermilyas@aks-eng.com

6. Will the project involve any off-site work? ☐ Yes ☒ No ☐ Unknown

Location and description of off-site work: _____

7. Additional comments or information that may be needed to understand your project: _____

This application does NOT replace Grading and Erosion Control Permits, Connection Permits, Building Permits, Site Development Permits, DEQ 1200-C Permit or other permits as issued by the Department of Environmental Quality, Department of State Lands and/or Department of the Army COE. All required permits and approvals must be obtained and completed under applicable local, state, and federal law.

By signing this form, the Owner or Owner's authorized agent or representative, acknowledges and agrees that employees of Clean Water Services have authority to enter the project site at all reasonable times for the purpose of inspecting project site conditions and gathering information related to the project site. I certify that I am familiar with the information contained in this document, and to the best of my knowledge and belief, this information is true, complete, and accurate.

Print/type name Sean Vermilya

Print/type title _____

Signature ONLINE SUBMITTAL

Date 3/10/2025

FOR DISTRICT USE ONLY

- ☐ Sensitive areas potentially exist on site or within 200' of the site. **THE APPLICANT MUST PERFORM A SITE ASSESSMENT PRIOR TO ISSUANCE OF A SERVICE PROVIDER LETTER.** If Sensitive Areas exist on the site or within 200 feet on adjacent properties, a Natural Resources Assessment Report may also be required.
- ☒ Based on review of the submitted materials and best available information sensitive areas do not appear to exist on site or within 200' of the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider Letter as required by Resolution and Order 19-5, Section 3.02.1, as amended by Resolution and Order 19-22. All required permits and approvals must be obtained and completed under applicable local, State and federal law.
- ☐ Based on review of the submitted materials and best available information the above referenced project will not significantly impact the existing or potentially sensitive area(s) found near the site. This Sensitive Area Pre-Screening Site Assessment does NOT eliminate the need to evaluate and protect additional water quality sensitive areas if they are subsequently discovered. This document will serve as your Service Provider Letter as required by Resolution and Order 19-5, Section 3.02.1, as amended by Resolution and Order 19-22. All required permits and approvals must be obtained and completed under applicable local, state and federal law.
- ☒ **THIS SERVICE PROVIDER LETTER IS NOT VALID UNLESS 1 CWS APPROVED SITE PLAN(S) ARE ATTACHED.**
- ☐ The proposed activity does not meet the definition of development or the lot was platted after 9/9/95 ORS 92.040(2). **NO SITE ASSESSMENT OR SERVICE PROVIDER LETTER IS REQUIRED.**

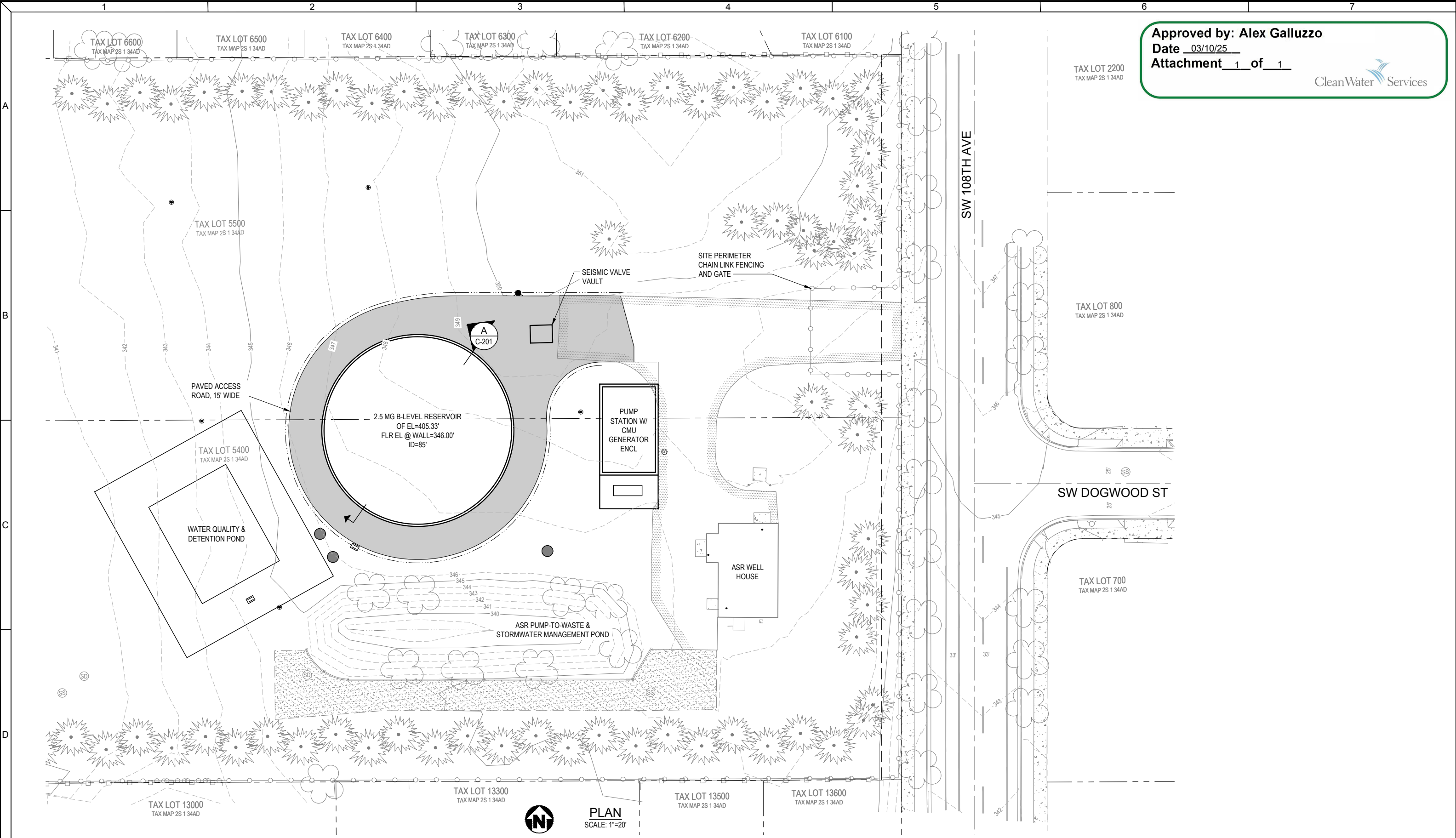
Reviewed by alex galluzzo

Date 03/10/25



Once complete, email to: **SPLReview@cleanwaterservices.org** • Fax: **(503) 681-4439**

OR mail to: SPL Review, Clean Water Services, 2550 SW Hillsboro Highway, Hillsboro, Oregon 97123

Revised 2/2020



Approved by: Alex Galluzzo
Date 03/10/25
Attachment 1 of 1
Clean Water Services

<div>Consultant:</div> <div></div> <div>This document, ideas, and designs incorporated herein, are an instrument of professional service, and is not to be used, in whole or in part, for any other project without the written authorization of CONSOR.</div>	<div>Sub Consultant:</div>	<div>30% SUBMITTAL</div>	<div>Engineer's Seal:</div> <div>PRELIMINARY NOT FOR CONSTRUCTION</div>	<div>Client / Owner:</div> <div></div>	<div>Project Title:</div> <div>CITY OF TUALATIN SW 108TH AVE WATER RESERVOIR AND PUMP STATION</div>	<div>05 - CIVIL</div> <div>SITE LAYOUT PLAN</div>	<table><tr><td>Designed By: TMS</td><td>Consort Project No.: W240758OR</td></tr><tr><td>Drawn By: MBE</td><td>Issued On: JANUARY 2025</td></tr><tr><td>Checked By: ANB</td><td>Sheet: 05-C-100</td></tr><tr><td>Approved By: TMS</td><td><div>0 1/2 1 IF BAR DOES NOT MEASURE 1" DRAWING IS NOT TO SCALE</div></td></tr></table>	Designed By: TMS	Consort Project No.: W240758OR	Drawn By: MBE	Issued On: JANUARY 2025	Checked By: ANB	Sheet: 05-C-100	Approved By: TMS	<div>0 1/2 1 IF BAR DOES NOT MEASURE 1" DRAWING IS NOT TO SCALE</div>
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CITY OF TUALATIN

Water System Master Plan

March 2023

Executive Summary



Executive Summary

Introduction

The purpose of this Water System Master Plan (WSMP) is to provide the City of Tualatin (City) with the information needed to inform long-term water infrastructure decisions. The objectives of the WSMP include:

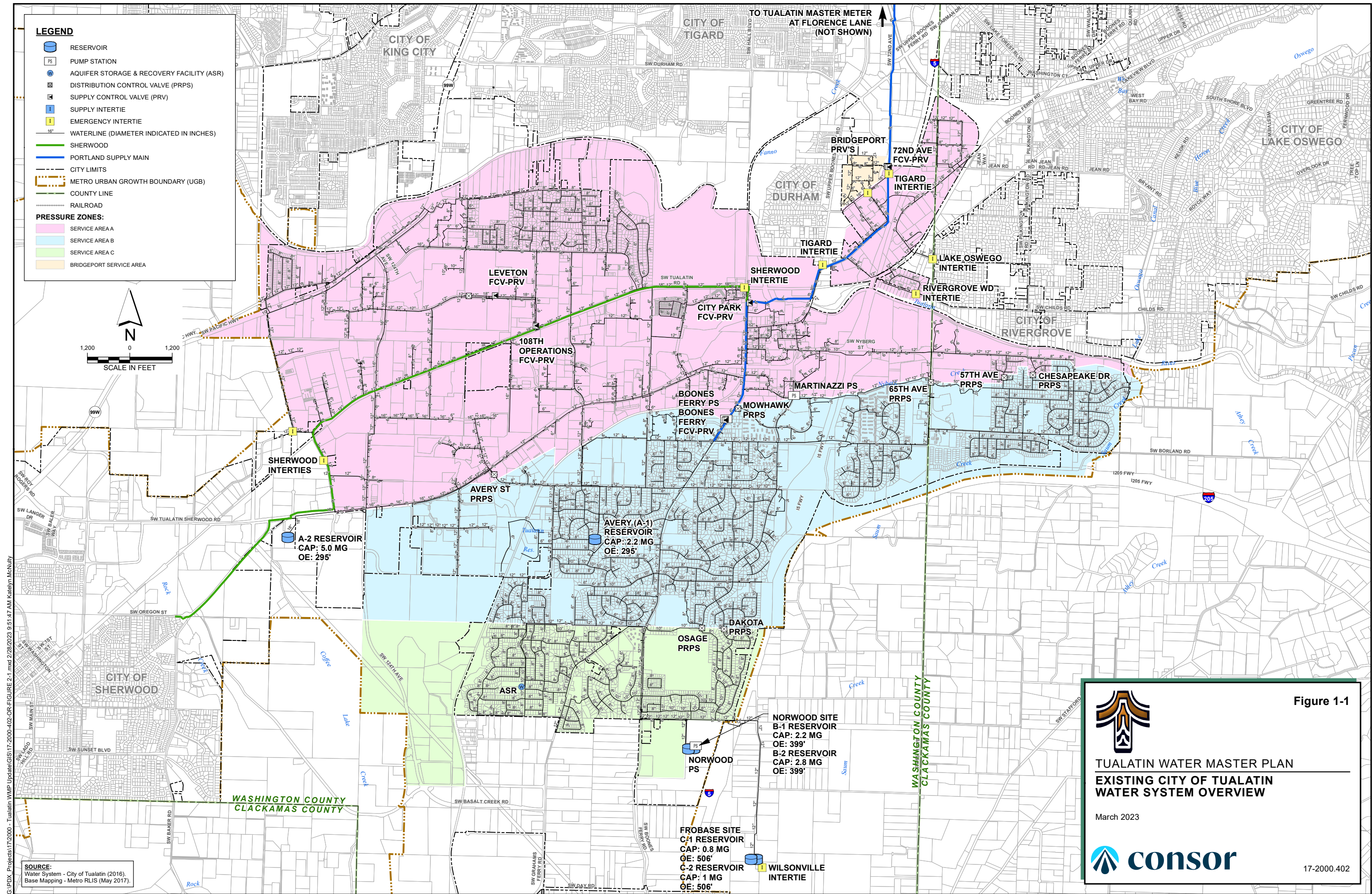
- Document water system upgrades completed since the 2013 *Water Master Plan*.
- Estimate future water requirements including potential water system expansion areas.
- Identify deficiencies and recommend water facility improvements that correct deficiencies and provide for growth, including a preliminary evaluation of the water system's seismic resilience.
- Provide suggestions for updates to the City's capital improvement project list.
- Evaluate existing system development charges (SDCs) and water rates based on the proposed project list, as a follow-on analysis to this WSMP.
- Comply with water system master planning requirements for Public Water Systems established under Oregon Administrative Rules (OAR).

Water System Overview

An overview of the City's water system is shown in Error! Reference source not found..

Service Area

The City provides potable water to approximately 27,200 people through over 7,050 residential, commercial, industrial, and municipal service connections. The existing service area includes all areas within the current city limits and additional areas within the Metro Urban Growth Boundary (UGB). The study area of this planning effort includes the existing service area and expanded areas within the UGB, including the Basalt Creek area.



Supply

The City purchases treated water from the Portland Water Bureau (PWB) as its sole source of water. In summer months, the City also has limited supplementary supply from its Aquifer Storage and Recovery (ASR) well. As the name implies, ASR programs work by storing treated water in an aquifer during the wet, low demand (winter and spring) season and recovering some of this stored volume in the dry, high demand (summer) season. In an emergency, the City can also supply or receive water via several emergency interties with neighboring cities.

Distribution System

The City's existing distribution system is divided into four pressure zones labelled A, B, C, and Bridgeport Village (BV) Levels. Pressure zones are usually defined by ground topography and designed to provide acceptable pressures to all customers in the zone. Zones are designated by hydraulic grade lines (HGLs) which are set by overflow elevations of water storage facilities or outlet settings of pressure reducing facilities serving the zone. An HGL approximately 100 feet above the elevation of a service connection, results in a pressure of approximately 43 pounds per square inch (psi). Pressure zone boundaries are further refined by street layout and specific development projects.

Within A, B, and C Levels, storage reservoirs provide gravity supply to looped distribution piping serving customers throughout the service area. BV Level is supplied directly from the Tualatin Supply Main (TSM) through a pressure reducing valve (PRV). The water system has 12.8 million gallons (MG) of available storage, used for water system equalizing (fluctuations in demand throughout the day), fire suppression, and emergency conditions.

Emergency Interties

The existing system has a number of emergency interties with surrounding cities. These interties connect neighboring distribution systems and have normally-closed isolation valves. The facilities are minimal and manual for each of the interties. If the City needed to supplement their system, they would need verbal agreement from the other city to manually open the isolation valve. Additionally, the station would need to be monitored manually to eliminate a water quality issue, track flow, and maintain required pressures in both systems. These interties are in place in case of emergency where the PWB supply is unavailable, but are operationally challenging to manage or operate.

Water Demand

Water demand refers to all water required by the system including residential, commercial, industrial, and irrigation uses. Demands are described using water metrics including average day demand (ADD) and maximum day demand (MDD).

Future expansion of the City’s water service area will include continued development in the Basalt Creek and Southwest Industrial Areas, as well as infill development within the existing City limits. The forecasted future water demands are calculated based on the 2020 estimate of system demand and a 0.4 percent annual growth rate, resulting in a buildout of the City’s water service area in approximately 30 years.

Population growth within the water service area was projected based on population forecasts from the Population Research Center (PRC, Portland State University, 2019). Historical demand data was used to forecast water use per residential customer as well as water use for other customer categories including commercial, industrial, and irrigation accounts. MDD was projected based on the historic ratio of MDD to ADD, also called a peaking factor. Both ADD and MDD were forecasted through 2040, shown for the planning years of 2025, 2030, 2040, and buildout in **Table ES-1**. The forecasted time steps support identification of existing and future system deficiencies, prioritization of Capital Improvement Program (CIP) projects to support development and growth, and sizing of future infrastructure to serve the long-term needs of the City.

Table ES-1 | Projected Water Demand

Year	ADD (mgd)	MDD (mgd)
2020	4.34	8.32
2025	4.69	9.00
2030	5.06	9.72
2040	5.28	10.14
Buildout	5.65	10.83

Analysis Criteria

Performance guidelines and system criteria are used with water demands presented in **Table ES-1** to assess the water system's ability to provide adequate water service under existing conditions and to guide improvements needed to provide for future water needs. Criteria are established through a review of City design standards, state requirements, American Water Works Association (AWWA) acceptable practice guidelines, Ten States Standards, the Washington Water System Design Manual, and practices of other water providers in the region.

Water Supply

Supply capacity must be sufficient to provide MDD from all sources operating together, including ASR wells, during the peak summer season. During the off-peak season, the PWB supply system must be capable of providing, off-peak season demand plus water for ASR injection.

Service Pressure

The acceptable service pressure range under ADD conditions is 50 to 80 psi. Per the *Oregon Plumbing Specialty Code*, maximum service pressures must not exceed 80 psi. During a fire flow

event or emergency, the minimum service pressure is 25 psi, which is 5 psi higher than required by Oregon Health Authority (OHA) Drinking Water Services (DWS) regulations.

Fire Flow

The distribution system should be capable of supplying recommended fire flows while supplying MDD and maintaining minimum residual pressures of 25 psi everywhere in the system.

Storage Capacity

Adequate storage capacity must be provided for each pressure zone. Recommended storage volume is the sum of four components.

- Operational Storage: the volume of water between operational setpoints of pumps (or wholesale supply connections) filling the reservoir
- Equalization Storage: the volume of water dedicated to supplying demand fluctuations throughout the day, estimated as the difference between the peak hour demand and the available supply to the pressure zone, for a duration of 150 minutes
- Fire Storage: the volume of water needed in each zone to meet the largest required fire flow for the duration specified in the Oregon Fire Code
- Emergency Storage: the volume of water needed to supply customers in each zone in the event of an emergency that makes supply to the zone temporarily unavailable, estimated as twice the ADD

Pump Stations

Pump stations should have adequate firm capacity to meet MDD in the pressure zones they serve. Firm capacity is defined as the station's pumping capacity with the largest pump out of service. In the case that a pump station serves a closed zone, or a zone with no storage or additional sources, the pumps station must provide peak hour demand plus fire flow.

Water Supply Analysis

The City conducted a separate overall Water Supply Strategy in parallel with this WSMP.

The Water Supply Strategy focused on ensuring the continued reliability of the City's water supply and documenting community values, expected current system performance during emergencies, and opportunities for improved emergency performance. The project resulted in a recommended three-prong strategy.

- **Strategy 1 - Invest in a New Backup Supply** to address the City's vulnerability to an outage of the TSM. The preferred option is to work with the City of Sherwood and the Willamette

Water Supply System (WWSS) to interconnect the WWSS Water Treatment Plant and the Sherwood Emergency Supply Main.

- **Strategy 2 – Continue to Support Reliability of the PWB System** by working with the PWB. Considerations include ensuring the City’s demands are included in future analyses of backup supply options, resolving future maintenance of the Washington County Supply Line (WCSL), and reaching agreement on a new wholesale agreement.
- **Strategy 3 – Increase Reliability of Local Interties** by working with neighboring agencies to make sure agreements are in place and test interties on a regular basis. The City should also continue to take advantage of future intertie opportunities, such as within the Basalt Creek area.

As part of this study, neighboring water agencies were also asked about their capacity to potentially provide long-term supply in the future. The intent was not to initiate a change in the City’s water supply, but instead to understand water supply availability in the region if PWB’s water were to become unavailable or unaffordable. Though short-term supplies could likely be provided by two of the neighboring water agencies, there is no agency with excess supply sufficient to meet the long-term needs of the City. *PWB remains the most reliable source of long-term supply for the City.*

Distribution System Analysis

A hydraulic network computer model was used to analyze the distribution system, which was evaluated based on the performance criteria described above and projected demands summarized in **Table ES-1**. Recommended CIP projects and pressure zone configuration or operational changes were developed based on the deficiencies identified through this analysis.

Fire Flow Analysis

Fire flow scenarios test the distribution system’s ability to provide required fire flows at a given location while simultaneously supplying MDD and maintaining a minimum residual service pressure at all services. There were two general types of deficiencies identified from the fire flow analysis:

- **Known Industrial Deficiencies in the A and B Levels** – The City is aware of fire flow deficiencies in the A and B Levels. Some of this deficiency is due to undersized and non-looped mains. To mitigate these risks, the City currently requires new customers who require large fire flows to install fire flow pumps. Increased looping in this area and upsizing of keys mains will also improve available flows.
- **C Level Deficiencies** – Most development in the C Level is residential homes less than 3,600 square feet; requiring 1,000 gallons per minute (gpm) fire flow. Larger homes or fire flows may require sprinkler use to reduce demand. As the system currently operates; a 1,000 gpm fire flow is generally available during MDD to the C Level. However, if larger homes

are constructed and sprinklers are not required, the system cannot meet these upsized demands without pumping during a fire flow or increased transmission.

B and C Level Transmission Capacity

The Basalt Creek Area located at the south end of the C Level is beginning to develop with two developments currently moving into land use approval. Existing transmission limitations through the B Level and fire flow requirements that exceed existing maximum available supply in the C Level require transmission improvements in both the B and C Levels prior to development. Findings are summarized below, and projects are incorporated into the CIP under “Transmission Improvements.”

- C Level transmission capacity between the Norwood Pump Station and C Level Reservoirs is inadequate to serve continued development in the C Level and specifically for the development of the Basalt Creek area. This deficiency results in inadequate fire flow capacity to serve proposed developments with fire flows greater than 1,000 gpm in 2020 and all fire flows by 2040.
- B Level transmission between the Boones Ferry Flow Control/Pressure Reducing Valve (FCV/PRV) and B Level Reservoirs is inadequate to supply B Level and C Level peak demands while refilling the B Level reservoirs.

Based on the summary of findings above, the City should consider the following phased improvements, which are included in the CIP.

C Level

- *Prior to Basalt Creek Development:* Development in the Basalt Creek area should not be allowed without the completion of the following improvements.
 - C Level Pump Station operational changes and permanent standby power installation to address current fire flow deficiencies to support Community Partners for Affordable Housing (CPAH) development.
 - Oversize Autumn Sunrise subdivision piping from C Level Pump Station south to Greenhill Road to 18-inch diameter when constructed.
 - New I-5 Crossing at Greenhill Road and connection to existing transmission along SW 82nd Ave, approximately 2,200 linear feet (LF) of 18-inch diameter main.
- *Long-term Recommendations:* Full development of the Basalt Creek area will require the buildout of a transmission main loop, and the following improvements to address the transmission deficiency between the Norwood Pump Station and C Level Reservoirs.

- Upsize the remaining transmission from the new I-5 Crossing up to the C Level Reservoirs to 18-inch diameter main: 1,300 LF.

B Level

- *Prior to Basalt Creek Development:* Further development of the B Level and C Level should be limited until the following improvement is completed.
 - Upsize existing transmission to 18-inch diameter main from Norwood Reservoirs to SW Ibach Street.
- *Long-term Recommendations:* With full development of the B and C Levels, further transmission improvements are recommended in the B Level.
 - Upsize existing transmission to 18-inch diameter main in SW Boones Ferry Road from SW Ibach Street to SW Sagert Street.

Storage Capacity

Storage in the A Level is currently deficient, while storage in the B and C Levels is projected to be deficient within 20 years. The City should consider constructing a 2.5 MG reservoir, similar to the existing B Reservoirs, within the next 10 years to address deficits in all levels. By buildout and as development requires, the City should consider a second reservoir to address any remaining storage deficit.

It is recommended that all new storage is combined in the B Level because reservoir site alternatives are limited in the City area, the system is relatively well connected, and A and C Level existing storage can meet most of the future storage requirements in those zones.

- The proposed B Level Reservoir sites are located adjacent to the existing B Level Reservoirs and the existing ASR well. Additional sites with sufficient elevation for ground level tanks, without dead storage, are limited within City boundaries. New sites to serve the A Level would likely include long transmission lines, or significant dead storage if collocated at existing A Level Reservoir sites. New sites to serve the C Level would face similar issues with long transmission lines. Additionally, C Level deficits are minimal by buildout and could be mostly addressed by either relying on C Level pumping for fire supply or, if the City decided to accept the risk, nesting fire flow storage within emergency storage.
- Storage at the B Level to meet A or C Level needs may also be allowed because the system is well connected. The A Level can be served by the B Level by gravity via five pressure reducing/pressure sustaining (PRPS) valves along the A/B Level boundary. These would automatically supply the A Level in the event of a failure of the A Level PWB supplies. The C Level can be served from the B Level by the C Level pump station, located adjacent to the existing B Level Reservoirs. This station can meet C Level needs through buildout, with

a single pump active. Increased transmission in the B and C Levels will also improve distribution.

- Existing storage in the A and C Levels can meet all buildout storage requirements except for 33 percent of A Level emergency storage and 20 percent of C Level emergency storage. If emergency deficits were significantly greater, or either zone did not have sufficient storage to meet daily operational requirements, combined storage in the B Level would not be recommended.

A 2.5 MG reservoir is included in the CIP within 10 years, and a 1.0 MG reservoir is included in the CIP in 20+ years. However, future development timing may require adjustment of these timelines.

Pump Stations

Pumping capacity will be discussed by zone supply, from A to B Level and from B to C Level, and evaluated based on the MDD of the zones being pumped to.

B Level Pumping

There is no pumping required under normal operating conditions from A to B Level; both receive supply from the TSM. The Boones Ferry FCV/PRV is the only supply to the B Level. Pumping from A to B would only be required under emergency or maintenance operations. There are two existing A to B Level pump stations (Martinazzi and Boones Ferry), but they are not reliably operable, have insufficient capacity (for emergency conditions), and have reached the end of their usable lives. FCV/PRVA new pump station from A to B Level is recommended for redundancy and reliability. Based on an alternatives analysis, the City should replace the Martinazzi Pump Station.

C Level Pumping

The B to C Level, Norwood Pump Station operates daily and is the only supply to the C Level. The station's existing firm capacity (largest pump out of service) of 2.02 MGD (1,400 gpm) is adequate to supply the needs of the C Level through buildout.

Additional improvements should be considered for risk mitigation:

- The City should add permanent standby power with automatic switching in the event of a power failure to the station.
- The station is not operationally redundant. This means there is no secondary supply to the C Level, whether from a pump station or PRVs from higher levels. A failure of the Norwood Pump Station or supply mains would mean total reliance on the stored water in the C Level Reservoirs, or possible emergency supply from Wilsonville via the Wilsonville Intertie. It is recommended that the City build a second C Level pump station at the existing ASR site, once a B Level reservoir is constructed onsite.

Water Quality and Conservation

Water Quality Regulations

The City, along with all public drinking water systems, must follow both state and federal regulations. At the federal level, the Environmental Protection Agency (EPA) establishes water quality standards, monitoring requirements, and enforcement procedures. At the state level, either the EPA or a state agency will implement the EPA rules. As a primacy state, Oregon administers most of the EPA's drinking water rules through the OHA DWS. The DWS rules for water quality standards and monitoring are adopted directly from the EPA. The DWS is required to adopt rules at least as stringent as federal rules. To date, the DWS has elected not to implement more stringent water quality or monitoring requirements.

At the federal level, the Safe Drinking Water Act (SDWA) is the primary drinking water regulation. It was originally enacted in 1974 by Congress to ensure the quality of America's drinking water with a focus on water treatment. The act was reauthorized and updated in 1986 and 1996 to expand protections to source water and improve operator training, system improvement funding, and public education. The SDWA contains the following assignment and programs for the EPA and the states to administer:

- State revolving loan fund for water system construction
- Public notification reports
- Source water assessment and protection
- Monitoring reductions based on source water protection
- Mandatory certification of operators

These assignments have been implemented by the EPA and/or individual states and are regularly updated. Under the authority of the SDWA, the EPA sets various rules and regulations to maintain safe drinking water.

The City currently meets all existing and proposed water quality regulations that govern the operation and performance of the water system.

Water Conservation

The City is not required by the state to develop a formal Water Management and Conservation Plan as it does not have any active municipal water rights. However, PWB requires the City to establish a joint conservation program and create a water conservation plan under the wholesale water supply agreement and the City is committed to reducing water usage.

The City implements various aspects of water conservation including:

- Public education and outreach as part of the Regional Water Providers Consortium (RWPC)
- Leak prevention and detection

Seismic Resilience Evaluation

System Backbone

Consistent with the Oregon Resilience Plan (ORP) guidelines, the City identified critical facilities and customers that will need uninterrupted or quickly restored water service following the anticipated magnitude 9.0 (M9) Cascadia Subduction Zone (CSZ) earthquake. Critical customer locations along with critical water supply and distribution facility locations were used to develop a water system “backbone” connecting key facilities and water mains.

Seismic Hazards Assessment

Seismic hazards all have the potential to damage buried water mains and other water facilities. Within the City of Tualatin water service area, these hazards were evaluated based on existing M9 CSZ earthquake hazard maps published for the Portland Metro region by the Oregon Department of Geology and Mineral Industries (DOGAMI). These maps were refined using geotechnical exploration data and subsurface boring logs from reservoirs, pump station sites, and various projects constructed near critical water facilities in the City’s water service area.

Summary of Recommendations

The seismic resilience recommendations are summarized below.

- Facility Seismic Improvements:
 - Boones Ferry FCV/PRV Improvements – Upgrades to this facility should include rehabilitation or replacement of the buried utility vault and piping transitions. This is a critical water supply facility for transmitting PWB supply to the B Level and C Level service zones.
 - A-1 Reservoir Structural Analysis – A structural analysis should be performed for this reservoir to better quantify seismic risk and determine if cost-effective mitigation strategies are available.
 - Reservoir Connections: Flexibility and Isolation – Install new flexible connections (where current flexible connections are not provided or are inadequate) and seismic isolation valves at all six of the City’s existing reservoirs. New reservoirs should be designed and constructed with these features.
 - Norwood Pump Station Improvements – Install a permanent standby generator at the Pump Station with adequate fuel storage for a minimum of 24-hours of operation.

- Backbone Piping:
 - Seismic Design Standards – Implement the seismic design standards presented in this WSMP.
 - TSM Study – Conduct a study to assess the condition and performance of the TSM, especially in the context of seismic resilience. The study should present mitigation strategies and cost considerations for City in the broader context of water supply reliability.
- Emergency Preparedness:
 - Emergency Water Plan – Implement the strategies, recommendations and improvements presented in the Emergency Water Plan, documented in this WSMP.

Recommended Capital Improvement Program (CIP)

A summary of all recommended improvement projects and estimated project costs is presented in **Table ES-2**. This CIP table provides for project sequencing by showing prioritized projects for the 5-year, 6- to 10-year, and 11- to 20-year timeframes defined as follows.

- 5-year timeframe - recommended completion through 2025
- 6- to 10-year timeframe - recommended completion between 2026 and 2030
- 11- to 20-year timeframe - recommended completion between 2031 and 2040

Estimated project costs presented in the CIP are intended to provide guidance in system master planning and long-range project scheduling and implementation. Final project costs will vary depending on actual labor and material costs, market conditions for construction, regulatory factors, final project scope, project schedule, and other factors.

Table ES-2 summarizes these projects by type and investment timeframe. The City’s proposed CIP includes significant investment, particularly in transmission and storage improvements. This new capacity will serve growth while also providing more resilient water facilities that benefit all customers. An evaluation of water rates and SDCs in support of the water system CIP will be completed as follow-on work to this WSMP.

Table ES-2 | CIP Cost Summary

Project Type	0-5 Years	6-10 Years	11-20 Years	Total
Residential Fire Flow			\$1,120,000	\$1,120,000
Non-Residential Fire Flow ¹			\$9,486,000	\$9,486,000
System Looping		\$3,615,000		\$3,615,000
Transmission	\$10,556,000	\$6,610,000		\$17,166,000
Facilities	\$14,850,000	\$7,300,000	\$5,610,000	\$27,760,000
Renewal and Replacement ²			\$9,900,000	\$9,900,000
Total	\$25,406,000	\$17,525,000	\$26,116,000	\$69,047,000

Notes:

1. Not all non-residential fire flow improvements may be required as some sites may have onsite pumping.
2. Pipe replacement is a perpetual ongoing cost and should be planned for. \$1,000,000/year was assumed to allow for systematic replacement of aging mains.

Chapter 5



Section 5

Water System Analysis

5.1 Water Supply Analysis

5.1.1 Water Supply Strategy

The City conducted a separate overall water supply strategy in parallel with this WSMP. The *City of Tualatin – Water Supply Strategy* (The Formation Lab, 2021) documents the City's overall water supply strategy and is included in **Appendix B**.

The Water Supply Strategy focused on ensuring the continued reliability of the City's water supply and documenting community values, expected current system performance during emergencies, and opportunities for improved emergency performance. The project resulted in a recommended three-prong strategy:

- **Strategy 1 - Invest in a New Backup Supply** to address the City's vulnerability to an outage of the TSM. The preferred option is to work with the City of Sherwood and the WWSS to interconnect the WWSS Water Treatment Plant and the Sherwood Emergency Supply Main.
- **Strategy 2 – Continue to Support Reliability of the PWB System** by working with the PWB. Considerations include ensuring the City's demands are included in future analyses of backup supply options, resolving future maintenance of the WCSL, and reaching agreement on a new wholesale agreement.
- **Strategy 3 – Increase Reliability of Local Interties** by working with neighboring agencies to make sure agreements are in place and test interties on a regular basis. The City should also continue to take advantage of future intertie opportunities, such as within the Basalt Creek Area.

As part of this study, neighboring water agencies were also asked about their capacity to potentially provide long-term supply in the future. The intent was not to initiate a change in the City's water supply, but instead to understand water supply availability in the region if PWB's water were to become unavailable or unaffordable. Though short-term supplies could likely be provided by two of the neighboring water agencies, there is no agency with excess supply sufficient to meet the City's long-term needs. *PWB remains the most reliable source of long-term supply for the City.*

5.1.2 Intertie Expansion

The City explored permanent alternatives to supply redundancy, including diversifying its water supply through the expansion of an emergency intertie into a routinely used supply to meet normal system demands. As documented in the *City of Tualatin – Water Supply Strategy* (The Formation Lab, 2021), included as **Appendix B** of this report, the City met with nearby water purveyors to determine if alternate long-term water supplies exist. Based on that study, the City confirmed that the most reliable long-term supply available to the City is wholesale supply from PWB.

5.2 Distribution System Analysis

5.2.1 Hydraulic Model

A steady-state hydraulic network analysis model (a model that represents the system as a series of lines and junctions, and calculates system flows and pressures at a specific point in time) was used to evaluate the performance of the City’s existing distribution system and identify proposed piping improvements based on hydraulic performance criteria described in **Section 4**. The purpose of the model was to determine pressure and flow relationships throughout the distribution system for average and peak water demands under existing and projected future conditions, which ultimately inform the need for future improvement projects. Modeled pipes are shown as “links” between “nodes” which represent pipeline junctions or pipe size changes. Diameter, length, and head loss coefficients are specified for each pipe and an approximate ground elevation is specified for each node.

The current hydraulic model was updated during the 2013 WSMP using the Innovyze InfoWater modeling software platform and the City’s GIS base mapping. The model was updated again in late 2016 to reflect new development and infrastructure renewal. Building on the facilities identified in the prior model and updated facility and operations data provided by the City, the model was then calibrated using fire hydrant flow test data and analysis scenarios were created to evaluate existing and projected 20-year demands. The existing water demands in the model have been updated from year 2016 to 2020 demand conditions for this analysis.

5.2.2 Modeled Water Demands

Existing and projected future demands are summarized in **Section 3**. Within the existing water service area, demands are assigned to the model based on current customer billing address and billed water consumption. Future demands in water service expansion areas were assigned uniformly over each proposed development area within pressure zones.

5.2.3 Model Calibration

Model calibration typically involves adjusting the model parameters such that pressure and flow results from the model more closely reflect those measured at the City’s fire hydrants. This

calibration process tests the accuracy of model pipeline friction factors, demand distribution, valve status, network configuration, and facility parameters such as tank elevations, PRV settings, and pump controls and curves. The required level of model accuracy can vary according to the intended use of the model, the type and size of water system, the available data, and the way the system is controlled and operated. Pressure and flow measurements are recorded for the City's fire hydrants through a process called fire flow testing. This data is used to calibrate the model for future analysis.

The complete 2017 Model Calibration Memo can be found in **Appendix D**.

5.2.3.1 Calibration Hydrant Flow Testing

Hydrant flow testing consists of recording static pressure at a fire hydrant and then “stressing” the system by flowing an adjacent hydrant. While the adjacent hydrant is flowing, residual pressure is measured at the first hydrant to determine the pressure drop that occurs when the system is “stressed”. Boundary condition data such as reservoir levels and pump on/off status must also be known to accurately model the system conditions during the time of the flow test. For this plan, 30 hydrant flow tests were conducted in September 2016 distributed across the A, B, and C Levels. The recorded time of each fire hydrant flow test was used to collect boundary condition information from the City's SCADA system.

No hydrant flow tests were completed in Bridgeport Village. This is a closed zone normally served by the TSM via a PRV. Emergency or fire flow supply is available via an intertie and PRV with the City of Tigard. No additional development in the area has occurred since the model was last calibrated, and the zone has minimal connections with the rest of the City's system. Therefore, Bridgeport Village was not calibrated in this model and assumed to be accurate for planning purposes.

5.2.3.2 Pressure Reducing Valve/Flow Control Valve Settings

Supply to the City distribution system from Portland is dependent on dual-purpose FCV/PRVs. A pressure reducing valve sets the downstream pressure by throttling flow through the valve. A flow control valve sets the flow through the valve by varying pressure drop across the valve. A dual-purpose valve can have minimum or maximum settings for both flow and pressure, with either flow or pressure setting being the primary setting.

The FCV/PRVs have summer and winter operating modes, with low and high flow settings for each season. For the model calibration, the valves in the model were set at the maximum flow seen from SCADA and PRV settings were used to limit flow. In both the A and B Levels, flow through the FCV is overestimated for lower demand periods but aligns well during higher demand periods.

For system evaluation, calibration settings are used as “typical operation”. For analysis of system performance under fire flow conditions and under peak hour conditions, the TSM FCV/PRV stations are assumed to be closed or operating at a low flow setting.

5.2.3.3 Steady-State Calibration Results

Overall, the City's water system model calibrated well with moderate to high calibration confidence. Each existing pressure zone's overall confidence level was determined by the number of low, medium and high-confidence results for percentage difference in static pressure, and pressure change difference during a fire flow. Results are summarized in **Table 5-1**.

Table 5-1 | Calibration Confidence Results

Pressure Zone	Static Pressure		Residual Fire Flow Pressure	
	Average % Difference/Confidence		Average Pressure Difference/Confidence	
A	<1%	Moderate-High	2.5 PSI	High
B	4.5%	Moderate-High	4.7 PSI	High
C	2%	Moderate-High	2.3 PSI	High

Note:

Complete results listed in 2017 Model Calibration Memo in Appendix D.

For most water systems, a portion of the data needed to fully characterize the distribution system (boundary conditions, customer demands, pressure and flow at specific locations, etc.) will be missing or inaccurate and assumptions will be required. This does not necessarily mean the use of the hydraulic model will be compromised. Depending on the accuracy and completeness of the available information, some pressure zones may achieve a higher degree of calibration than others. Models that do not meet the highest degree of calibration can still be useful for planning purposes.

5.2.4 Fire Flow Analysis

Fire flow scenarios test the distribution system's ability to provide required fire flows at a given location while simultaneously supplying MDD and maintaining a minimum residual service pressure at all services. As discussed in **Section 4**, a minimum pressure of 25 PSI, rather than the typical 20 PSI, was selected by the City. Required fire flows are assigned based on the zoning surrounding each node as summarized in **Table 4-2**.

The following boundary conditions were used for fire flow analysis in the model.

- Tanks set with fire flow storage depleted (only emergency + dead storage included) or minimum historical operating level, whichever is less. This translates to a depth of 30 feet in the A Level, 24 feet in the B Level, and 20 feet in the C Level.
- System demands were set at either 2020 or buildout demands. While 2040 demands are minimally lower than buildout demands (**Table 3-6**), the fire flow requirements for 2040 and buildout conditions are constant, dictated by landuse, fire code, and building types.
- All residential fire flow demands were calculated at 1,000 gpm. It is assumed that single family residential structures over 3,600 square feet would be sprinklered to reduce the fire flow requirement to this level.

- Available fire flow in the City System is highly dependent on the available supply to each zone (PWB supply valves in A and B Levels, C Level Pump Station in C Level). For fire flow analysis, PWB supply valves were set to high winter flows. For peak hour analysis, PWB supply valves were set to low summer flows. See **Table 2-4** for winter/summer low/high supply rates from PWB valves.

5.2.4.1 Fire Flow Results

Figure 5-1 and **Figure 5-2** show the identified fire flow deficits under 2020 and buildout high flow conditions. Fire flows are higher than peak hour flows in the system and govern any capacity deficiencies. Aside from the SW Industrial Area, which is not anticipated to develop more until after 2040, fire flow demands are the same for 2040 and buildout conditions. Buildout conditions were evaluated knowing they are representative of 2040 demands. SW Industrial Area deficiencies identified in the buildout scenario are not expected to occur until after 2040 (or when additional development in the SW Industrial Area is proposed and moves forward). There were two general results from the fire flow analysis:

- **Known Industrial deficiencies in the A and B Levels** – The City is aware of fire flow deficiencies in the A and B Levels. Some of these deficiencies are due to undersized and non-looped mains. To mitigate these risks, the City currently requires new customers who require large fire flows to install fire flow pumps. Increased looping in this area and upsizing of keys mains will also improve available flows.
- **C Level Deficiencies** – Most development in the C Level is residential homes less than 3,600 square feet, requiring 1,000 gpm fire flow. Larger homes or fire flows may require sprinkler use to reduce demand. As the system currently operates, a 1,000 gpm fire flow is generally available during MDD to the C Level. However, if larger homes are constructed and sprinklers are not required, the system cannot meet these upsized demands without pumping during a fire flow or increased transmission. Increased looping in this area and upsizing of keys mains will also improve available flows. C Level Transmission is discussed further in **Section 5.2.6**.

Projects to address fire flow deficiencies are included in the CIP under Residential Fire Flow and Nonresidential Fire Flow.

5.2.5 Peak Hour Demand Analysis

For distribution system modeling, the PWB supply valves are assumed to operate in the summer low setting with reservoirs providing most of the supply to each zone. Storage reservoirs are modeled at 75 percent full, slightly less than typical summertime lows for a more conservative estimate. These two assumptions present a worst-case scenario for testing the system under stressed conditions.

Distribution system pressures were evaluated under peak hour demand conditions to confirm identified piping improvements. Peak hour demands were estimated as two times the MDD. No

additional pressure deficiencies were identified under these conditions, as the fire flow condition creates a greater stress on the system. No additional CIP projects were identified for peak hour supply.

5.2.6 B and C Level Transmission Capacity

The Basalt Creek Area located at the south end of the C Level is beginning to develop with two developments currently moving into land use approval. Existing transmission limitations through the B Level and fire flow requirements that exceed existing maximum available supply in the C Level require transmission improvements in both the B and C Levels prior to development. The analysis and complete findings from this study can be found in the *Water System Capacity Analysis – Basalt Creek Service Technical Memorandum* (Murraysmith, 2021) which is included as **Appendix E**. Findings from this report are summarized below, and projects are incorporated into the CIP under “Transmission Improvements.”

- B Level transmission between the Boones Ferry FCV/PRV and B Level Reservoirs are inadequate to supply B Level and C Level peak demands while refilling the B Level reservoirs.
- C Level transmission capacity between the Norwood Pump Station and C Level Reservoirs is inadequate to serve continued development in the C Level and specifically for the development of the Basalt Creek Area. This deficiency results in inadequate fire flow capacity to serve proposed developments with fire flows greater than 1,000 gpm in 2020, and all fire flows by 2040.

Based on the summary of findings above, the City should consider the following phased improvements, which are included in the CIP.

B Level

- *Prior to Basalt Creek Development:* Further development of the B Level and C Level should be limited until the following improvement is completed.
 - Upsize existing transmission to 18-inch diameter main from Norwood Reservoirs to SW Ibach Street.
- *Long-term Recommendations:* With full development of the B and C Levels, further transmission improvements are recommended in the B Level.
 - Upsize existing transmission to 18-inch diameter main in SW Boones Ferry Road from SW Ibach Street to SW Sagert Street.

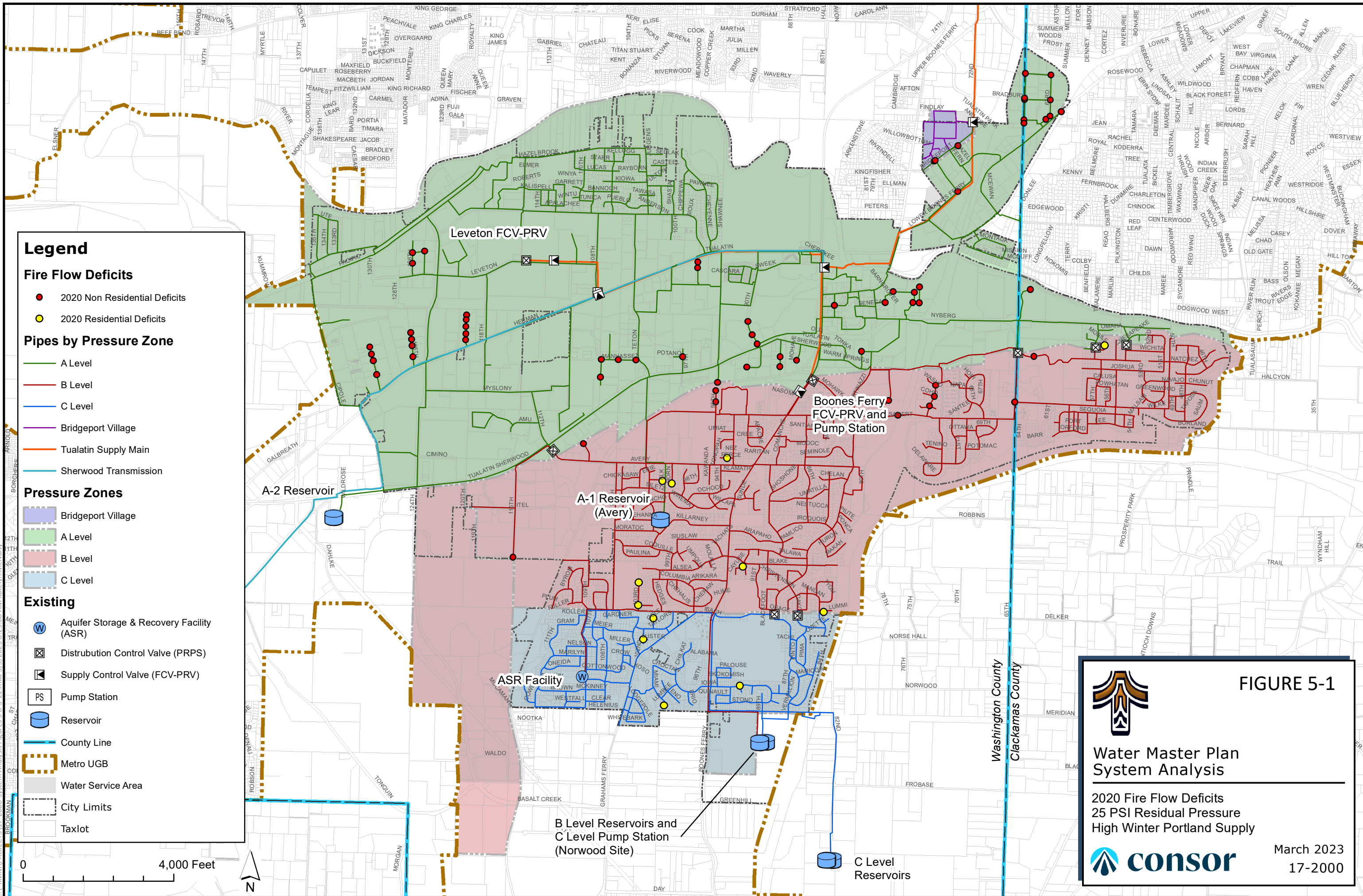
C Level

Due to concerns about the constructability of upsizing the existing transmission from the C Level Pump Station to the C Level Reservoirs, the City proposed a hydraulically similar route that goes

south through the Autumn Sunrise development to Greenhill Road, crosses I-5 at Greenhill Road, and joins the existing alignment on the east side of I-5. This route, while different than the one studied and proposed in the *Water System Capacity Analysis – Basalt Creek Service Technical Memorandum (Appendix E)*, will still improve transmission capacity between the C Level Reservoirs and the C Level. Additional study will be required to verify the feasibility of this route.

- *Prior to Basalt Creek Development:* Development in the Basalt Creek area should not be allowed without the completion of the following improvements.
 - C Level Pump Station operational changes and permanent standby power installation to address current fire flow deficiencies to support CPAH development.
 - Oversize Autumn Sunrise development piping from C Level Pump Station south to Greenhill Road to 18-inch diameter when constructed.
 - New I-5 Crossing at Greenhill Road and connection to existing transmission along SW 82nd Ave, approximately 2,200 LF of 18-inch diameter main.
- *Long-term Recommendations:* Full development of the Basalt Creek Area will require the buildout of a transmission main loop (described in Section 8.8.3) and the following improvements to address the transmission deficiency between the Norwood Pump Station and C Level Reservoirs.
 - Upsize the remaining transmission from the new I-5 crossing up to the C Level Reservoirs to 18-inch diameter main, 1,300 LF.

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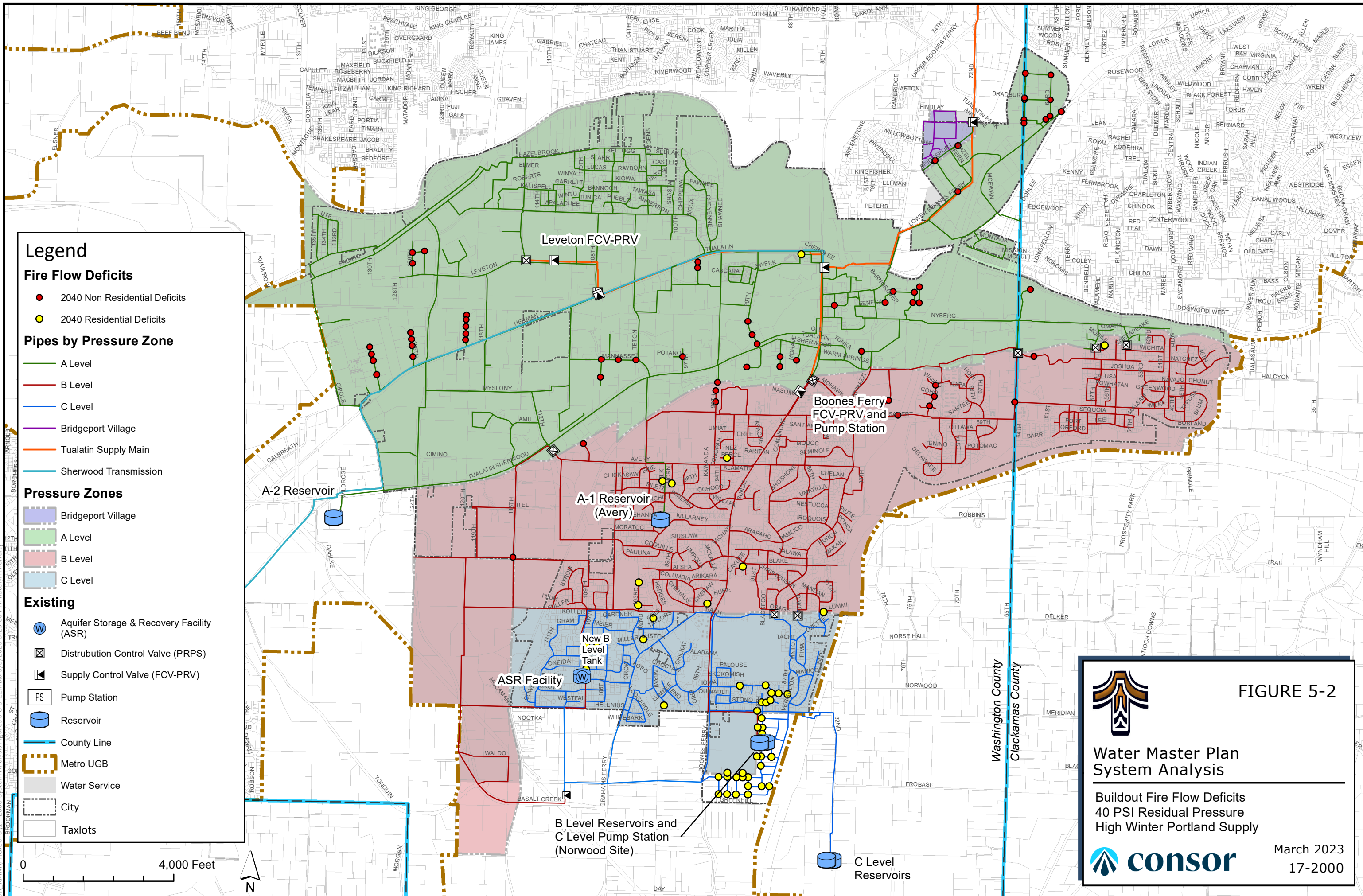


FIGURE 5-2

Water Master Plan System Analysis

Buildout Fire Flow Deficits
40 PSI Residual Pressure
High Winter Portland Supply



March 2023
17-2000

5.3 Storage Analysis

5.3.1 Storage Capacity Analysis

Storage capacity needs were evaluated within individual Levels then considered system-wide.

The storage volume was evaluated using the criteria developed in **Section 4**, summarized below.

- Operational: Volume in between reservoir low/high set points, assumed a low level of 40 feet (summer) in all tanks and high of tank overflow. Volume calculated in existing reservoirs and maintained through buildout.
- Equalization Storage: The amount of storage required to offset peak hour demand from nominal supply capacity calculated as $(PHD - Q_s) \times (150 \text{ minutes})$ where
 - PHD = Peak Hour Demand
 - Q_s = Sum of all permanent and seasonal sources. Assumed as summer high supply valve flows in A and B Levels, and one pump active in C Level.
- Fire Flow Storage: 2019 OFC
- Emergency Storage: 2 x ADD

Table 5-2 summarizes the individual storage components and combined storage needs recommended for operational, equalization, fire, and emergency purposes for service areas A, B, and C Level under 2020, 2040, and buildout conditions. The BV service area is small enough that it is not cost effective to have storage for this zone. Additionally, the topography does not provide a good location for gravity storage for the BV zone and there are two independent supply feeds (TSM and the Tigard PRV which operates automatically to provide flow if pressures drop) to the existing service area. It should be noted that equalization storage includes credits for continuously available pumping. ASR is not included in these calculations to provide a conservative evaluation of storage needs for the City. Existing available storage is compared to the calculated storage needs and estimated storage deficit for each service area for 2020, 2040, and buildout conditions are summarized in the right-hand columns of **Table 5-2**.

Table 5-2 | Storage Volume Recommendation Summary (MG)

Service Area	Operational	Fire Flow	Equalization ¹	Emergency ²	Total Required Storage	Existing Available Storage ³	Storage Deficit ⁴
2020							
A	1.07	0.54	0.52	4.77	6.90	6.01	-0.89
B	0.74	0.54	0.40	3.12	4.81	5.00	0.19
C	0.33	0.24	0.00	0.72	1.29	1.80	0.51
2040							
A	1.07	0.54	0.68	5.57	7.86	6.01	-1.85
B	0.74	0.54	0.49	3.56	5.33	5.00	-0.33
C	0.33	0.24	0.03	1.37	1.98	1.80	-0.18
Buildout							
A	1.07	0.54	0.69	5.62	7.92	6.01	-1.91
B	0.74	0.54	0.60	4.12	6.00	5.00	-1.00
C	0.33	0.24	0.06	1.49	2.12	1.80	-0.32

Notes:

1. PHD estimated as 2xMDD.
2. Emergency Storage presented in this column is 2xADD.
3. Available storage accounts for approximately 1.2 MG of dead storage in the A Level.
4. Additional storage in excess of the existing storage required to meet the calculated needs of the zone. Positive numbers indicate available excess capacity in the existing storage.

The B Level equalization storage accounts for impacts on supply capacity when the C Pump Station is pulling from the B Level. This is not required for A and B Levels as it is assumed PWB supply volumes are sufficient to meet the system's needs. Nesting fire storage within emergency storage was discussed with the City. However, this is not recommended given the City's limited supply alternatives, and the lack of extreme emergency that would require the City to rely on emergency storage (PWB supply outage).

As shown in **Table 5-2**, Storage in the A Level is currently deficient, while storage in the B and C Levels is projected to be deficient within 20 years.

5.3.1.1 Future Storage Alternatives

It is recommended that all new storage is combined in the B Level because reservoir site options are limited in the City area, the system is relatively well connected, and A and C Level existing storage can meet most of the future storage requirements in those zones. These considerations are expanded upon below.

- Sites with sufficient elevation for ground level tanks, without dead storage, are limited within City boundaries. New sites to serve the A Level would likely include long transmission lines, or significant dead storage if collocated at existing A Level Reservoir sites. New sites to serve the C Level would face similar issues with long transmission lines.

- Storage at the B Level may also be allowed because the system is well connected. The A Level can be served by the B Level by gravity via five PRPS valves along the A/B Level boundary. These would automatically supply the A Level in the event of a failure of the A Level PWB supplies. The C Level can be served from the B Level by the existing C Level pump station located at the Norwood site and the proposed C level pump station located at the ASR site. As discussed earlier in this report, the firm capacity of the existing station can meet C Level needs through buildout.
- Existing storage in the A and C Levels can meet most of the buildout storage requirements. C Level deficits are minimal by buildout and could be mostly addressed by either relying on C Level pumping for fire supply or, if the City decides to accept this risk, nesting fire flow storage within emergency storage. If emergency deficits were significantly greater, or either zone did not have sufficient storage to meet daily operational requirements, combined storage in the B Level would not be recommended.

The City should consider constructing a 2.5 MG reservoir at the ASR site, with similar operating elevations to the existing B Reservoirs, within the next 10 years to address deficits in all levels. By buildout and as development requires, the City should consider an additional reservoir, potentially at the B Level Reservoirs (Norwood) site, to address any remaining storage deficit. A 2.5 MG reservoir is included in the CIP within 10 years, and a 1.0 MG reservoir is included in the CIP in 20+ years. However, future development timing may require adjustment of these timelines.

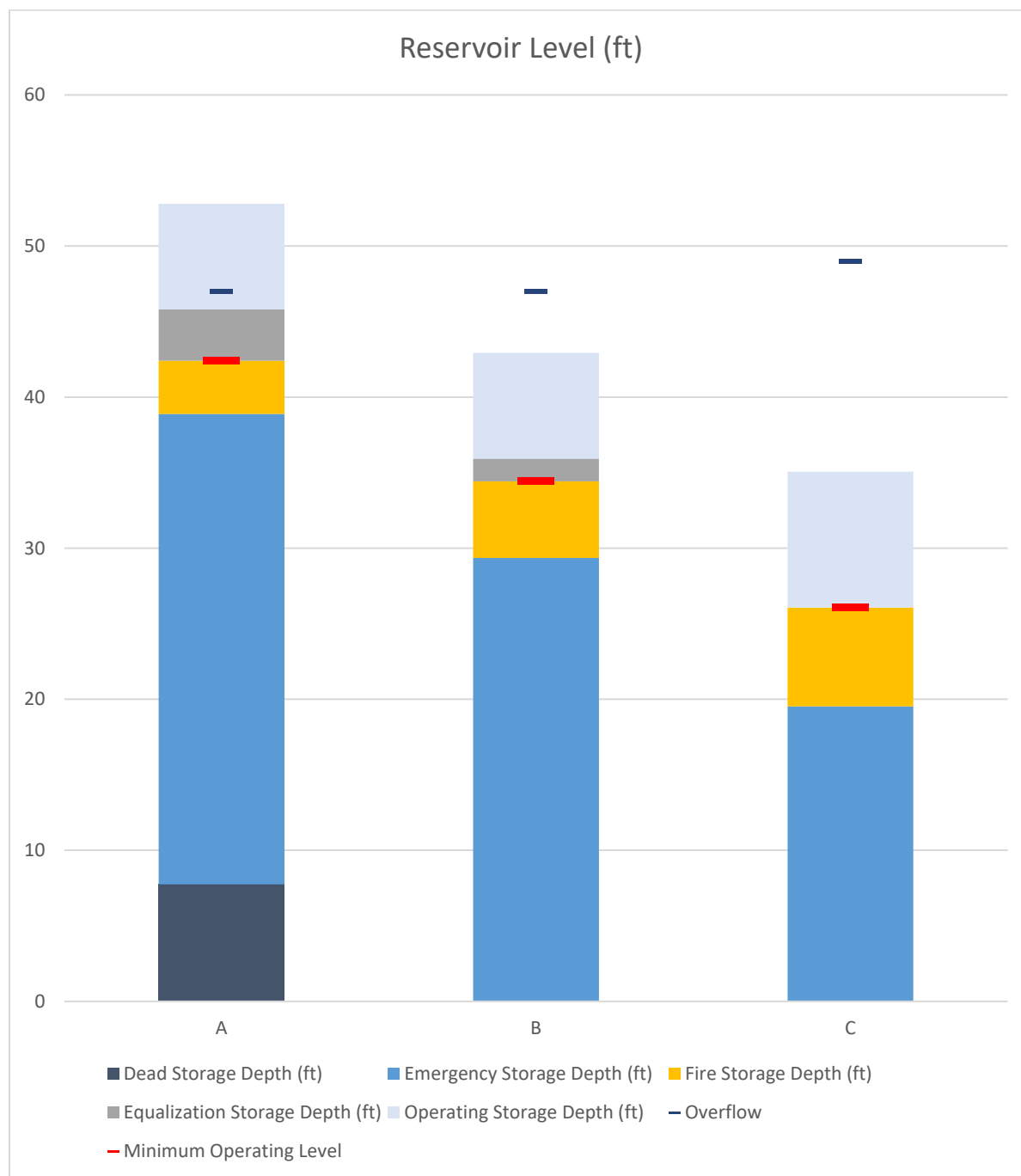
5.3.2 Current Storage Operational Considerations

Historically, the City has had trouble maintaining reservoir levels in the B and C Levels during peak hour demand when both the B and C Level Reservoirs are filling. The transmission from Boones Ferry FCV/PRV to the B Level Reservoirs cannot keep up with this high demand and so the B Reservoirs drain to unacceptably low levels. The City has mitigated this issue by increasing summertime operational low-levels of the B and C Reservoirs to 40 feet. The City can further mitigate supply issues by improving transmission in the B and C Levels, as discussed in **Section 5.2.6**.

Increasing the low-level set point during the winter will exacerbate water turnover issues and may trigger low chlorine residual concerns. However, lower winter levels are typically acceptable, because winter demand is typically much lower than summer demands. The City may be able to continue winter operations as is, but should be aware how operational changes affect emergency and fire storage.

Current storage allocations were calculated from existing storage reservoir and pressure zone characteristics to help the City make operational decisions, particularly during high demand conditions. The Calculated Storage Volume Levels are calculated from reservoir floor up and are illustrated in **Figure 5-3** and shown at the bottom of **Table 5-3**. The minimum operating level (Base of Equalization Storage in **Table 5-3**) is the calculated low point the reservoir levels should not dip below during normal operations, to maintain adequate fire and emergency storage.

Figure 5-3 | Calculated Storage Volume Levels



Note:

The A Level existing storage deficit as noted in **Section 5.3.1**, is illustrated by the operating storage depth exceeding the overflow depth.

Table 5-3 | Minimum Reservoir Storage Levels

Tank Characteristics	Pressure Zone		
	A	B	C
Tank Floor Elevation (ft)	248	352	458.5
Tank Height (ft)	47	47	49
Existing Summer Low Level (ft)	40	40	40
Existing Storage (MG)	7.2	5	1.8
Volume/Depth (MG/ft)	0.153	0.106	0.037
Zone Characteristics	A	B	C
Maximum Zone Ground Elevation (ft)	198	286	359
Minimum HGL to serve maximum ground elevation at 25 psi (ft)	255.75	343.75	416.75
Minimum Tank Depth to serve maximum ground elevation at 25 psi (ft)	7.75	0	0
Dead Storage (MG)	1.2	0	0
Usable Storage (MG)	6	5	1.8
Zone Demand, Fire Flow, and Supply	A	B	C
2020 Average Day Demand (MGD)	2.39	1.56	0.36
2020 Max Day Demand (MGD)	4.58	3	0.69
PHD: Max Day Demand PF	2	2	2
Fire Flow Rate (gpm)	3000	3000	2000
Fire Flow Duration (hrs)	3	3	2
Qs (regularly available supply to zone) (gpm)	2900	3100	1400
Calculated Storage Volumes	A	B	C
Emergency Storage (MG)	4.77	3.12	0.72
Fire Storage (MG)	0.54	0.54	0.24
Equalization Storage (MG)	0.52	0.16	0
Operating Storage (MG)	1.07	0.74	0.33
Calculated Storage Volume to Depth Conversion	A	B	C
Operating Storage Depth (ft)	7	7	9
Equalization Storage Depth (ft)	3	1	0
Fire Storage Depth (ft)	4	5	7
Emergency Storage Depth (ft)	31	29	20
Dead Storage Depth (ft)	8	0	0
Calculated Storage Volume Levels (Shown in Figure 5-3)	A	B	C
Tank Overflow (ft)	47	47	49
Base of Operating Storage (ft)	46	36	26
Base of Equalization Storage (ft)	42	34	26
Base of Fire Storage (ft)	39	29	20
Base of Emergency Storage (ft)	8	0	0
Floor (ft)	0	0	0

5.4 Pump Station Analysis

The City relies on pumping under two situations: 1) normal operation and 2) PWB supply disruption.

1. Under normal operation, the only system pumping required is from the B to C Level. This is via the C Level Pump Station located at the Norwood Reservoir (B Level) site. The A and B Levels are supplied by gravity directly by FCV/PRV connections off the Tualatin Supply Main and do not require pumping under normal operations.
2. If supply from PWB through the TSM is disrupted, or the Boones Ferry FCV/PRV is offline, pumping would be required from the A to B Level. This is in addition to the regular C Level pumping.

Station reliability, pumping redundancy, and zone supply capacity will be addressed below based on these two supply modes.

5.4.1 Capacity Analysis

Pumping capacity will be discussed by zone supply, from A to B Level and from B to C Level. Pumping to the B Level must meet the needs of both the B and C Levels because all C Level supply is pumped from B Level. Pumping from A to B is only required under emergency or maintenance operations and therefore the entire station capacity can be used to meet MDD. While there are two existing A to B Level pump stations (Martinazzi and Boones Ferry), they are not reliably operable, have insufficient capacity, and have reached the end of their usable lives and are not included as existing emergency supply. B to C Level pumping is required for normal operation and so the station should be able to meet MDD under firm capacity (largest pump out of service).

Table 5-4 summarizes the recommended pumping capacity through buildout.

Table 5-4 | Pumping Capacity Needs

	Supply Failure Pumping, A to B Level:	Normal Pumping, B to C Level:
Operation Type and Pump Conditions	Emergency – Total Capacity	Normal - Firm Capacity
Existing Pump Station	None ⁴	C Level (Norwood)
Number of Existing Pumps	0	2
Existing Station Firm Capacity ¹ (MGD)	0	2.02
Service Area(s) Supplied	B+C ⁵	C
Max Day Demands (MGD)		
Existing	3.69	0.69
2040	4.73	1.32
Buildout	5.38	1.43
Pumping Deficit ³ (MGD)		
Existing	-3.69	1.33
2040	-4.73	0.70
Buildout	-5.38	0.58

Notes:

1. Firm capacity is the station capacity with the largest pump out of service. The C Level pump station has two equal pumps and so firm capacity is a single pump active.
2. A negative value under pumping deficit indicates additional pumping required to meet system demands.
3. The existing Boones Ferry and Martinazzi Pump Stations are in poor condition, have reached the end of their usable lives, and are not exercised sufficiently for reliable operation. Therefore, neither is shown with existing capacity.
4. The C Level is supplied from B Level, therefore pumping capacity to the B Level must be adequate to meet MDD of both B and C Levels.

5.4.2 C Level Pumping

The C Level, Norwood Pump Station operates daily and is the only supply to the C Level. Based on the capacity needs analysis presented in **Table 5-4**, the station's existing firm capacity (one pump out of service) of 2.02 MGD (1,400 gpm) is adequate to supply the needs of the C Level through buildout. However, additional improvements and a second pump station should be considered for risk mitigation.

The City considers the existing station reliable based on historical operations. With consistent maintenance, the City does not foresee a need to change operations to improve reliability. The City should add permanent standby power with automatic switching in the event of a power failure to the station.

The station is not operationally redundant. This means there is no secondary supply to the C Level, whether from a pump station or PRVs from higher levels. A failure of the C Level Pump Station or supply mains would mean total reliance on the stored water in the C Level Reservoirs, or possible emergency supply from the City of Wilsonville via the Wilsonville Intertie. If the C Level Reservoirs are completely full, this translates to about 64 hours of supply under present MDD, or 33 hours of supply under 2040 MDD. If the tanks are lowered to emergency levels (20 feet of storage), supply time is reduced by approximately 3/5 to 27 hours under existing MDD or 13 hours under 2040 MDD.

The City should consider a second supply route to the C Level in the form of a second C Level Pump Station located at the ASR site, once a new B Level Reservoir is constructed onsite as well. The ASR supply may be available sooner after a seismic event than the PWB supply; a reservoir and pump station on site would help supply more City customers if the PWB supply becomes unavailable. As it is the City's preference to not construct a pump station that's only purpose is for emergency supply, normal supply to the C Level could be provided regularly by either pump station.

Alternatively, the City could consider purchasing portable pumping equipment for use at the existing 6-inch stub-outs located at the Norwood site. Portable pumping has not been used here in recent memory and the portable pumps the City jointly owns with TVWD (Flow and Eddy) would not work at this location due to pump curve requirements. The City currently would rely on leased equipment (commercial rental businesses) or borrowed equipment (neighboring water systems) for service through the 6-inch stub-outs, although neither of these approaches have been investigated seriously.

5.4.2.1 C Level Fire Flow Pumping

Prior to construction of C Level transmission upsizing (discussed in **Section 5.2.6**), the City should consider adding pressure controls to the C Level Pump Station for improved fire flow availability in the C Level. The current pump station is operated by reservoir level. Fire flow availability is improved when this pump station is active. Currently, there is no guarantee the pump station is active during the fire until the reservoir level drops to their low settings and until then, system pressures may be low if flows above 1,000 gpm are required. A second trigger based on system pressures should be added to the existing C Level Pump Station to activate the station when pressures in the C Level drop below approximately 35 psi downstream of the C Pump Station.

5.4.2.2 C Level Operational Adjustment

Both pumps at the C Level Pump Station are equipped with VFDs, allowing them to modulate supply between on and off. However, they are not currently used. The City should consider modifying the operations to make use of the VFDs to pace flow and maintain constant reservoir levels with longer duration with lower rate pump run cycles, particularly in the summer. In coordination with this operational change, it is recommended the C Level Pump Station setpoint be increased (effectively reducing the required operational storage volume and increasing the volume available for equalizing, fire suppression, and emergency). With active mixing of reservoir contents, deep cycling of the reservoirs is less important for maintaining water quality, especially during the peak summer season.

5.4.3 Supply Failure Pumping

The Boones Ferry FCV/PRV is the only supply to the B and C Levels. A pump station from A to B Level is recommended for redundancy and reliability. Three alternatives for this pump station are outlined in this section.

A pump station from A to B Level could potentially address two supply failure conditions. First, the pump station could supply the B and C Levels when the Boones Ferry FCV/PRV supply is offline for either maintenance or failure. Second, if all supply from PWB is disrupted and the City has a connection to the WWSS as recommended in the *Supply Alternatives Technical Memorandum* (2021, The Formation Lab) and summarized in **Section 0**, then the City could take WWSS water through the Sherwood Emergency Supply Main to the TSM. It is unclear whether there would be sufficient hydraulic grade to directly serve the B Level. A pump station from A to B Level would allow WWSS water to be pumped up to the B and C Levels. This would require an amendment to the City Charter which currently prohibits the City from using Willamette River water for municipal use unless the Governor declares an emergency. It is not clear if a disruption in the PWB supply would constitute such an emergency that would allow the City to override the charter and use Willamette River water.

5.4.3.1 A to B Level Pumping Alternatives

Three pumping alternatives were developed to address deficiencies in the event of a supply failure and provide a reliable supplement to the primary B Level supply from the TSM (Boones Ferry FCV/PRV supply): 1) upgrade or replace the existing Martinazzi Pump Station, 2) build a new pump station near the A-2 reservoir, or 3) acquire and build a portable pumping system. An analysis of these three alternatives is summarized in the following sections.

5.4.3.1.1 Alternative 1: Upgrade Martinazzi Pump Station

The City could upgrade the existing Martinazzi Pump Station. This will likely require a complete replacement as the existing underground station is past its usable lifespan, not seismically up to code, and extensive structural upgrades would be required in addition to pump upsizing. A new pump station would ideally include a modern pump station structure with adequate access, operations and maintenance, and safety features, likely necessitating land acquisition for this alternative.

The Martinazzi Pump Station is located adjacent to 12-inch diameter A and B Level piping and is in close proximity to the major transmission piping from the Boones Ferry FCV/PRV to the Norwood Reservoir, which means this site will likely not require upsizing of nearby piping to adequately transmit A to B Level flows. However, transmission from the proposed emergency connection at the WWSS would be through existing piping in the A Level and may be limited due to the size of transmission piping across the A Level and the distance between the proposed connection point and the Martinazzi Pump Station.

In addition, the existing Martinazzi Pump Station site may be inadequate to support a modern pump station structure with the required access, operations and maintenance, and safety features required, likely necessitating land acquisition for this alternative.

As a permanent pump station, the new Martinazzi Pump Station could be set up to run for a few hours once a week, or as is necessary, to ensure the station is available for emergency conditions.

Continued operation of this station would not need to be significant but could address some of the failures of the existing two stations.

5.4.3.1.2 Alternative 2: Build a New Pump Station at the A-2 Reservoir Site

A new pump station could be built adjacent to the existing A-2 Reservoir on the west side of the system. There are two primary advantages to this solution: improving existing water quality issues and location. Significantly, however, this alternative is highly contingent on development of the Southwest Industrial Area for transmission piping that may not occur in this planning period.

While the primary purpose of this station would be for supply disruption, the pump station could be operated regularly to boost B Level supply and water quality. This alternative would improve the turnover in the A-2 Reservoir during normal operation by pulling more water through the tank, although existing water quality issues have been largely mitigated by chlorine boosting and tank mixing. This alternative would also provide supplemental pumping capacity to the B Level during peak demands, particularly on the west side of the system to help supply new development and large fire flows.

The site is located in close proximity to the proposed emergency supply connection to the WWSS which would result in the ability to effectively supply the B Level without the construction of additional transmission piping. The advantage of this alternative is increased if the City considers the use of the City of Sherwood's 24-inch diameter PWB supply main to transmit water to the east side of the A Level, as well.

However, a pump station at the A-2 site has several disadvantages. This alternative is contingent on the development of B Level piping south from the A-2 Reservoir through the existing Tigard Sand and Gravel properties. Either significant pipe installation will be required prior to development, or the City will continue to be without emergency supply until development reaches this area, which could be beyond the planning period of this WSMP. A pump station at the A-2 site also needs to contend with significant road and infrastructure crossings. 124th Street is a significant thoroughfare and construction in this right of way may include additional constraints. Crossing the WWSS transmission line is also constrained by the WWSS. Significant coordination with the WWSS and major site limitations may limit feasibility of this location.

5.4.3.1.3 Alternative 3: Portable Pump Stations

Portable pumping would expand the existing portable pumping infrastructure. The City currently has three sites where a Portable Pump Station can be installed to provide supplemental pumping. Two of these sites (along SW Avery Street and the Boones Ferry FCV/PRV site) provide pumping from the A to B Levels. Additional stub out locations could be built at several sites along the A/B Level interface. Several portable pumps would need to be purchased and could be installed at any combination of these sites to provide sufficient supply to match the failure.

Portable pumps allow for locational flexibility and could be used for failures in the C Level pumping and/or be available as a regional resource to aid in a regional emergency.

There are several drawbacks to portable pumping. The stations require storage, annual maintenance, and training that would place an increased load on City staff. Additionally, the stations require initial deployment and set up, and cannot be automatically turned on in an emergency. This is especially significant in the not unlikely event that a winter storm and power outage occur during (or directly cause) a supply failure. Moving the stations to deployment locations, and even getting employees on location to operate the stations would be a significant challenge.

5.4.3.1.4 A to B Level Pumping Evaluation and Recommendation

The three alternatives were evaluated based the criteria summarized below in **Table 5-5**.

Table 5-5 | Additional B Level Pumping Alternatives Evaluation

Pumping Alternative:	Upgrade Martinazzi	New Pump Station near A-2 Reservoir	Portable Pumping System
Long Term Capacity Needs	+	+	-/0
Capital Cost	0	0	+
Ease of Operation	+	+	-
Proximity to Emergency Supply	0	+	0
Fatal Flaw	Land acquisition	Land acquisition, WWSS coordination, development timing	Not instantaneous or permanent

Based on the analysis in **Table 5-5**, a new A to B pump station located near A-2 Reservoir would be recommended, if not for the fatal flaw of unknown development timing. Instead, the City should investigate both options of upgrading Martinazzi or portable pumping. The CIP presented in **Section 9** assumes the more expensive option of upgrading Martinazzi Pump Station.

Chapter 8



Section 8

Capital Improvement Program (CIP)

This section presents recommended improvements for the City's water system based on the analysis and findings presented earlier in this WSMP and projects identified in the 2013 WSMP. These improvements include supply, storage reservoir, pump station, and water main projects. The CIP presented in **Table 8-3** later in this section summarizes recommended improvements and provides an approximate timeframe for each project. Proposed improvements are illustrated in **Figure 8-1**.

8.1 Project Cost Estimates

An estimated project cost has been developed for each recommended improvement consistent with previously identified projects from the City's 2013 plan and current preliminary design work, as applicable. Cost estimates represent opinions of cost only, acknowledging that final costs of individual projects will vary depending on actual labor and material costs, market conditions for construction, regulatory factors, final project scope, project schedule and other factors. The AACE classifies cost estimates depending on project definition, end usage and other factors. The cost estimates presented here are considered Class 5 with an end use being a study or feasibility evaluation and an expected accuracy range of -50 percent to +100 percent. As the project is better defined, the accuracy level of the estimates can be narrowed.

8.2 Timeframes

A summary of all improvement projects and estimated project costs is presented in **Table 8-2** | . This CIP table provides for project sequencing by showing projects prioritized by timeframes defined as follows.

- 0 to 5-year timeframe - recommended completion through 2027
- 6 to 10-year timeframe - recommended completion between 2028 and 2032
- 11 to 20-year timeframe - recommended completion between 2033 and 2042
- 20+ year timeframe – recommended completion beyond 2043

A note on timeframes – these recommendations are based on an understanding as of 2022. If development occurs at a faster or slower rate, some projects, such as a second B Level reservoir, may be required earlier than documented in this WSMP. Additional studies may be required for certain projects, as well.

8.3 Supply

8.3.1 PWB Supply

The WCSL will need investment in the form of rehabilitation and eventual replacement. The City should plan for continued investment in the WCSL and an additional study when replacement is deemed necessary. As partners of the WCSL change their use of the supply main, this investment may change as well. A recent investigation by PWB evaluated potential changes in water quality as a result of increased water age as the WCSL's largest user, TVWD, discontinues use of the transmission main for wholesale supply in 2026. While the study indicated that increased water age should be offset by water quality improvements associated with the implementation of filtration of the Bull Run supply, the City should prepare for potential increases in disinfection by-product formation and lower disinfectant residuals when these changes occur in 2026.

8.3.2 Emergency Supply Development

As discussed in the *City of Tualatin - Water Supply Strategy* (The Formation Lab, 2021), PWB remains the most reliable source of long-term supply for the City and a three prong strategy is recommended to ensure the continued reliability of the City's water supply including:

- Invest in a New Backup Supply
- Continue to Support Reliability of the PWB System
- Increase Reliability of Local Interties

Tasks under these strategies are included in the CIP as CIP# 604, Emergency Supply Improvements Placeholder, with an assumed bulk cost to apply towards the various projects. The City should continue to update and refine the strategies as work continues, as well as update the CIP estimates as more information and detail are established for the City's long-term supply needs.

8.4 Storage Reservoirs

As presented in **Section 5**, the City will need additional storage at all supply levels. Due to site and transmission limitations, it is recommended to build all additional storage at the B Level, and pump or valve to appropriate pressures for the A and C Levels. Two locations have been identified – the existing ASR site and adjacent to the existing B Level Reservoirs (Norwood). Property acquisition may be required for a third reservoir at the Norwood site.

It is recommended that the City implement the following strategy for development of additional storage:

- Construct an additional 2.5-MG Reservoir in the next 5 years (2022-2027, CIP# 601). This improvement will address short-term storage deficits. It is anticipated that this storage will be constructed at the ASR site.

- The remaining system-wide deficit at buildout should be addressed by constructing a 1.0 MG reservoir with construction timing as required by development.

8.4.1 Reservoir Seismic Improvements

Various projects are recommended for seismic resilience improvements at the City's reservoirs. In addition to projects discussed in **Section 8.8**, seismic valving should be installed at each of the reservoirs. This cost is included in CIP projects when upgrades are called out at individual reservoirs and as CIP# 602, 605, 613 and 614 for the B-2, C Level, and A Level Reservoirs.

8.5 Pump Stations

8.5.1 A to B Pumping

It is recommended the City invest in a facility to provide pumping from the A to B Levels in the event of a Boones Ferry FCV/PRV Supply outage. A replacement of the existing Martinazzi Pump Station is recommended, but a portable pump station is also an option. This pump station upgrade should occur in 6-10 years. Budget for this project is included in the CIP table under CIP# 606, Upgrade Martinazzi Pump Station.

8.5.2 B to C Pumping

As discussed in **Section 5.4.2**, it is recommended the City construct a second C Level Pump Station, located at the ASR site once a B Level reservoir is constructed at the site. This new pump station will provide resilience and flexibility for supplying the C Level, for both typical operations and fire flow requirements. Budget for this project is included in the CIP table under CIP# 603.

8.6 Distribution Mains

Replacement unit costs for distribution mains are displayed in **Table 8-1**. These costs are calculated as project costs based on RSMeans pipe costs and recent bid tabulations in the region, and include general markups for earthwork and construction, erosion, and traffic control (five percent), meters (10 percent), fittings and valves (30 percent), mobilization (10 percent), contingencies (30 percent), contractor overhead (15 percent), engineering design (20 percent), and legal/admin coordination (10 percent). Actual costs will vary based on roadway improvements and other conditions.

Table 8-1 | Unit Costs for Distribution Main Projects

Pipe Diameter	Cost per Linear Foot (\$/LF)
8-inch	\$509
12-inch	\$686
18-inch	\$931

8.6.1 Fire Flow Improvements

As presented in **Section 5**, the City’s distribution system is generally well looped. Adequate fire flow is available throughout most of the existing distribution system. Localized water main upgrades (either upsizing or looping) are recommended to address fire flow deficiencies. These have been identified in the CIP (**Table 8-3**) as residential or non-residential fire flow projects. It should be noted that some industrial sites have onsite pumping that is not included in this analysis and may mitigate some of the deficiencies. Improvements to address sites that may have pumping are included in the plan at this time and should be assessed on a case-by-case basis prior to budgeting for improvements.

8.6.2 B Level Transmission Main

Proposed improvements between the Boones Ferry FCV/PRV and the B Level reservoirs are recommended to improve supply to the B and C Levels during maximum day demands. A replacement 18-inch diameter main is recommended. The completion of this major capital improvement project is split into two segments.

- A. Norwood Reservoir Site to Ibach Street (Norwood Road and Boones Ferry Road) within the immediate timeframe (CIP# 301A, 0-5 yrs, 2022-2027)
- B. Ibach Street to Sagert Street (CIP# 301B, 6-10 yrs, 2028-2032)

8.6.3 C Level Transmission Main

Upsized transmission is recommended between the C Level Pump Station at the Norwood site and the C Level Reservoirs at the Frobase site. A route along the existing transmission line was analyzed in the *Water System Capacity Analysis – Basalt Creek Service Technical Memorandum* (see **Appendix E**). It is understood that this project may face significant construction challenges and the City proposed a hydraulically similar path south through the proposed Autumn Sunrise development, then east via a new I-5 crossing aligned with Greenhill Road. A predesign level analysis of the feasibility and cost of the two alternate routes should be evaluated. The updated transmission improvement is divided into multiple segments:

- 0-5 Years, 2022-2027 C Level Transmission Improvements:
 - Oversize Autumn Sunrise subdivision piping from C Level Pump Station, south to Greenhill Road to 18-inch diameter when constructed (CIP# 303)
 - New I-5 Crossing at Greenhill Road and connection to existing transmission along SW 82nd Ave, approximately 2,200 LF of 18-inch diameter main (CIP# 302A)
- 6-10 Years, 2028-2032 C Level Transmission Improvements:
 - Upsizing the remaining transmission from the new I-5 Crossing up to the C Level Reservoirs to 18-inch diameter main, 1,300 LF (CIP# 302B)

8.6.4 Replacements, Opportunity Projects, and Maintenance

The City has established on-going capital expenditures to maintain the existing distribution system level of service including,

- Water main replacements: Pipes were assumed to need replacement after 75 years. Continued investment in renewal and replacement of the water system is essential to ensuring reliable system operation and minimizing expensive emergency repairs associated with failing pipeline infrastructure. Costs were assumed at \$1,000,000 annually beginning in 2033 (Year 11 of the CIP) and continuing indefinitely.
- Opportunity projects: Upsizing or extension of water mains in concert with other utility or road work in the same area. Costs for these projects are not known but may be allocated in other capital projects slated for the future, or in pipe replacement.
- Annual maintenance: Annual maintenance for pipes, tanks, pump stations, valves, and other facilities is not considered in the CIP list. It is assumed these maintenance items are addressed in the operations budget.

8.7 Planning Studies

8.7.1 System-wide Planning

It is recommended that the City continue to update the WSMP every 10 years. An updated WSMP is required by the State of Oregon on a 20-year planning period. However, with the rapid pace of growth in Tualatin and the broader metro area, it is prudent for the City to continue to regularly evaluate capital investment and prioritize needs for the water system with updated WSMPs. An update has been included in the 11-20 year timeframe of the CIP (CIP# 615).

8.8 Additional Projects from City Planning

Additional projects have been included in this CIP from other City planning efforts.

8.8.1 AWIA Improvements

The American Water Infrastructure Act of 2018 (AWIA) is a federal law with over 30 mandated programs administered by the EPA. The primary goal of the law is to invest in aging drinking water systems. Several projects were identified in the City's compliance including the following:

- Onsite power generation (either trailer or permanent) at the C Level Pump Station. This project is in line with pump station power redundancy goals outlined in **Section 4** (CIP# 607).
- Seismic upgrades to the B-1 Reservoir. The City indicated a 2018 assessment called for improvements to bring the reservoir into code. A full seismic evaluation is recommended to refine project scope and costs.
- Seismic upgrades to each of the five (5) Portland Supply Valves, with the Boones Ferry FCV/PRV as top priority (CIP# 609).
- Miscellaneous physical site and cyber security upgrades.

8.8.2 City CIP

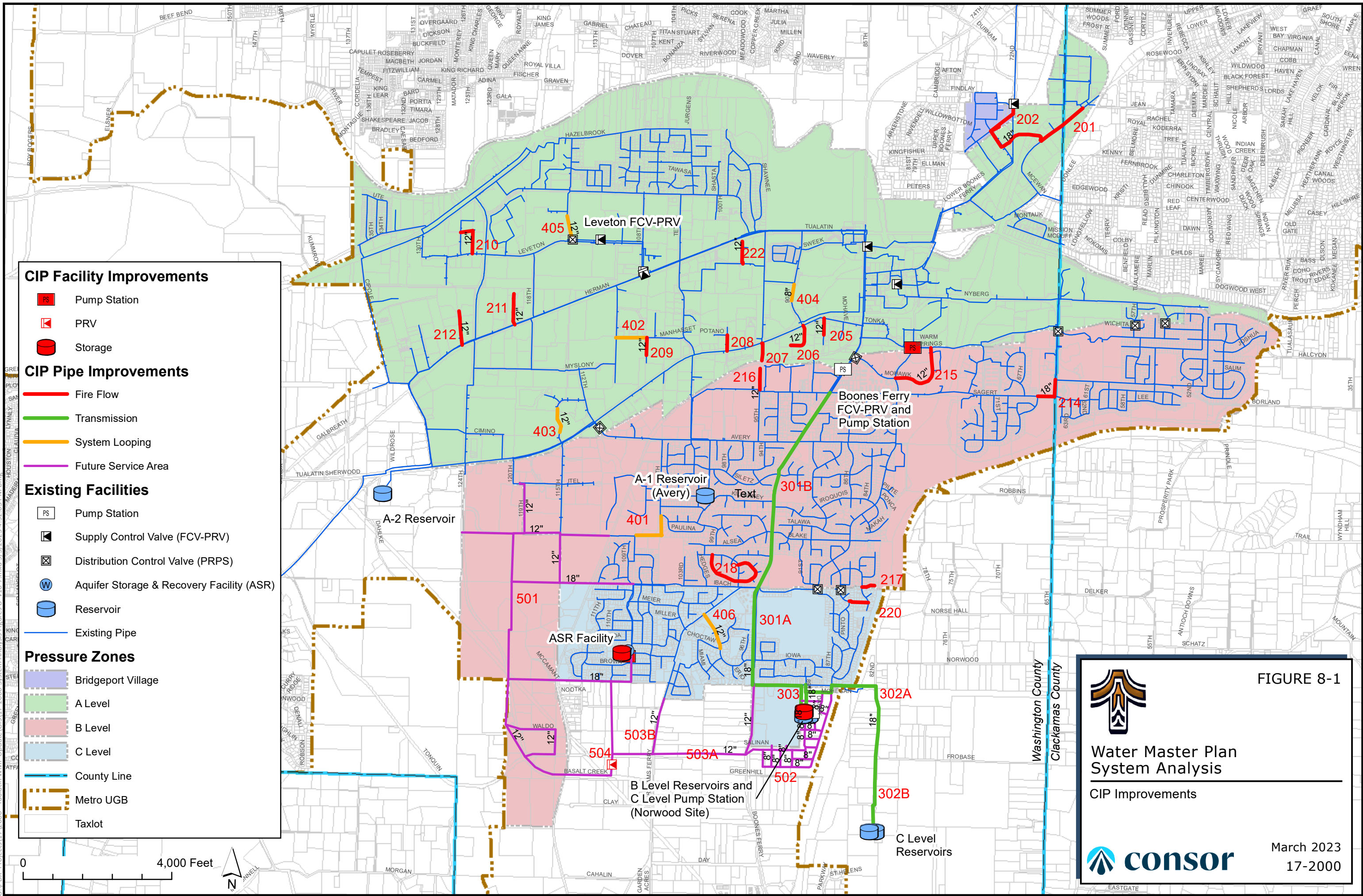
The City's current CIP includes several projects not mentioned elsewhere in the plan. These include:

- SCADA upgrades – At the end of 2021, the City began upgrading its SCADA system. Project costs were provided by the City and are included in year 0-5 and include design, implementation, and associated equipment.
- ASR well rehabilitation – The ASR well will likely require rehabilitation for efficient operation in the next 6-10 years.
- Childs Road AC main I-5 crossing replacement – The City intends to replace the AC crossing of I-5. Project costs were provided by City staff and are included as CIP# 702.
- Additional rehabilitation at reservoirs including:
 - A-1 Reservoir interior coating rehab (included in CIP# 613).
 - A-2 Reservoir interior coating inspection and rehabilitation (included in CIP# 614).

8.8.3 Future Service Areas

The backbone piping for future service areas is illustrated in **Figure 8-1**. These projects are included in the CIP as developer driven.

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Water Master Plan System Analysis

CIP Improvements



FIGURE 8-1

March 2023
17-2000

8.9 Capital Improvement Program

Table 8-2 presents a summary of project types and overall recommended CIP funding. Individual projects are listed and costed in **Table 8-3**. **Table 8-3** summarizes these projects by investment timeframe (0-5 years, 6-10 years, etc.). Within each timeframe projects are ordered by type. The City's proposed CIP includes significant investment, particularly in supply and storage improvements. This new capacity will serve growth while also providing more resilient water facilities that benefit all customers. An evaluation of water rates and SDCs in support of the water system CIP will be completed as follow-on work to this WSMP.

Table 8-2 | CIP Cost Summary

Project Type	0-5 Years	6-10 Years	11-20 Years	Total
Residential Fire Flow			\$1,120,000	\$1,120,000
Non-Residential Fire Flow ¹			\$9,486,000	\$9,486,000
System Looping		\$3,615,000		\$3,615,000
Transmission	\$10,556,000	\$6,610,000		\$17,166,000
Facilities	\$14,850,000	\$7,300,000	\$5,610,000	\$27,760,000
Renewal and Replacement ²			\$9,900,000	\$9,900,000
Total	\$25,406,000	\$17,525,000	\$26,116,000	\$69,047,000

Notes:

1. Not all non-residential fire flow improvements may be required as some sites may have onsite pumping.
2. Pipe replacement is a perpetual ongoing cost and should be planned for. \$1,000,000/year was assumed to allow for systematic replacement of aging mains beginning in Year 11 of the CIP.

Table 8-3 | CIP Projects

CIP #	Project Type	Description	Diameter (in)/Size	Length (LF)	Cost Estimate	Timing
303	Transmission	C Level Transmission - Oversize Autumn Sunrise piping ¹	18	1400	\$1,304,000	0-5
605	Facilities	Seismic Upgrades at C Level Reservoirs			\$450,000	0-5
603	Facilities	B to C Level Pump Station at ASR Site (after or concurrent with 601)	1,000 gpm		\$2,000,000	0-5
302A	Transmission	C Level Transmission - new I-5 crossing and connect at Greenhill Rd	18	2,200	2,042,000	6-10
604	Facilities	Emergency Supply Improvements Placeholder			\$2,000,000	0-5
503A	Transmission	Basalt Creek Pipeline from Boones to Graham			\$2,555,000	0-5
301A	Transmission	B Level Transmission upsizing - Ibach to B Level Reservoirs	18	5,000	\$4,655,000	0-5
601	Facilities	B Level Reservoir 3 (predate or concurrent with 603)	2.5 MG		\$6,250,000	0-5
607	Facilities	C Level Pump Station, On Site Power Generation			\$200,000	0-5
610	Facilities	Miscellaneous Physical Site and Cyber Security Upgrades			\$250,000	0-5
611	Facilities	SCADA Upgrades			\$2,050,000	0-5
613	Facilities	A-1 Reservoir upgrades			\$2,100,000	0-5
404	System Looping	90th Ave (A Level)	8	500	\$255,000	6-10
401	System Looping	SW Blake St – 105 th to 108th (B Level)	12	1,400	\$924,000	6-10
405	System Looping	Leveton (A Level)	12	800	\$549,000	6-10
402	System Looping	Manhasset Dr (A Level)	12	900	\$617,000	6-10
403	System Looping	Amu St Extension (A Level)	12	750	\$515,000	6-10
406	System Looping	Iowa St (C Level)	12	1,100	\$755,000	6-10
302B	Transmission	C Level Transmission upsizing - SW 82nd Ave to C Level Reservoirs	18	1,300	\$1,210,000	6-10
301B	Transmission	B Level Transmission upsizing - Ibach to Sagert	18	5,800	\$5,400,000	6-10
606	Facilities	Upgrade Martinazzi Pump Station	4,000 gpm		\$5,500,000	6-10
612	Facilities	ASR Well Rehabilitation			\$600,000	6-10
614	Facilities	A-2 Reservoir upgrades			\$1,500,000	6-10
220	Fire Flow	Residential - SW Dakota Dr	8	600	\$305,000	11-20
214	Fire Flow	Non-residential - SW Sagert St and 65th Ave	18	1,000	\$932,000	11-20
202	Fire Flow	Non-residential - SW Bridgeport Rd	12, 18	1,300	\$1,210,000	11-20
701	Renewal and Replacement	Annual Replacement of Aging Pipes ²	\$1M/Yr		\$9,000,000	11-20
217	Fire Flow	Residential - SW Lummi St	8	400	\$204,000	11-20
208	Fire Flow	Non-residential - SW 97th Ave	12	500	\$343,000	11-20
205	Fire Flow	Non-residential - SW 89th Ave	12	500	\$343,000	11-20
209	Fire Flow	Non-residential - SW Manhasset Dr	12	500	\$343,000	11-20
207	Fire Flow	Non-residential - SW 95th Ave	12	500	\$343,000	11-20
216	Fire Flow	Non-residential - SW 95th Ave	12	600	\$412,000	11-20
222	Fire Flow	Non-residential - SW Herman Rd	12	700	\$480,000	11-20
218	Fire Flow	Residential - SW Columbia and SW Chehalis Cir	8	2,400	\$1,222,000	11-20
211	Fire Flow	Non-residential - SW 119th Ave	12	900	\$617,000	11-20
206	Fire Flow	Non-residential -SW 90th Ct	12	900	\$617,000	11-20
212	Fire Flow	Non-residential - SW 125th Ct	12	1,000	\$686,000	11-20
210	Fire Flow	Non-residential - SW 124th Ave	12	1,000	\$686,000	11-20
215	Fire Flow	Non-residential - SW Mohawk St	12	1,900	\$1,303,000	11-20
615	Facilities	Water System Master Plan Update			\$250,000	11-20
201	Fire Flow	Non-residential - SW Hazel Fern Rd, McEwan Rd, and I-5 Crossing	18	3,300	Future Cost	Beyond 20
608	Facilities	B-1 Reservoir seismic upgrades			\$2,110,000	11-20
609	Facilities	Portland Supply Valve Seismic Upgrades			\$1,000,000	11-20
702	Renewal and Replacement	Childs Road I-5 crossing and AC Main Replacement			\$900,000	11-20
602	Facilities	B Level Reservoir 4	1 MG		\$2,500,000	11-20
501	Future Service Area	Western B Level Extension	12, 18	32,800	Developer Driven and Funded	
502	Future Service Area	Planned Residential near I-5	8, 12	11,600		
503B	Future Service Area	C Level Extension	12	9,600		
504	Future Service Area	C to B Level PRV in Basalt Creek Area	Fire Flow			

Notes:

- 1. Assumed City to pay only oversizing costs. Total cost shown consistent with other pipe improvements.
- 2. Pipe replacement is a perpetual ongoing cost and should be planned for. \$1,000,000/year was assumed to allow for systematic replacement of aging mains beginning in Year 11 of the CIP
- 3. Some of the non-residential fire flow improvements may be for locations with onsite pumping.

8.10 Funding Sources

A variety of sources may contribute to the funding of the City's CIP. In general, these sources can be summarized as: 1) governmental grant and loan programs; 2) publicly issued debt; and 3) cash resources and revenues. These sources are described below.

8.10.1 Government Loan and Grant Programs

8.10.1.1 Oregon State Safe Drinking Water Financing Program

Annual grants from the EPA and matching state resources support the Safe Drinking Water Fund. The program is managed jointly by the OHA DWS and Business Oregon's Infrastructure Finance Authority (IFA). The Safe Drinking Water Fund program provides low-cost financing for construction and/or improvements of public and private water systems. This is accomplished through two independent programs: the Safe Drinking Water Revolving Loan Fund (SDWRLF) for collection, treatment, distribution and related infrastructure, and the Drinking Water Protection Loan Fund (DWPLF) for sources of drinking water improvements prior to the water system intake.

The SDWRLF lends up to \$6 million per project, with a possibility of subsidized interest rate and principal forgiveness for a Disadvantaged Community. The standard loan term is 20 years or the useful life of project assets, whichever is less, with interest rates at 80 percent of the current state/local bond rate. The maximum award for the DWPLF is \$100,000 per project.

8.10.1.2 Special Public Works Fund

The Special Public Works Fund program provides funding for the infrastructure that supports job creation in Oregon. Loans and grants are made to eligible public entities for the purpose of studying, designing, and building public infrastructure that leads to job creation or retention.

Water systems are listed among the eligible infrastructure projects to receive funding. The Special Public Works Fund is comprehensive in terms of the types of project costs that can be financed. As well as actual construction, eligible project costs can include costs incurred in conducting feasibility and other preliminary studies and for the design and construction engineering.

The Fund is primarily a loan program. Grants can be awarded, up to the program limits, based on job creation or on a financial analysis of the applicant's capacity for carrying debt financing. The total loan amount per project cannot exceed \$10 million. The IFA is able to offer discounted interest rates that typically reflect low market rates for very good quality creditors. In addition, the IFA absorbs the associated costs of debt issuance thereby saving applicants even more on the overall cost of borrowing. Loans are generally made for 20-year terms but can be stretched to 25 years under special circumstances.

8.10.1.3 Water/Wastewater Fund

The Water/Wastewater Fund was created by the Oregon State Legislature in 1993. It was initially capitalized with lottery funds appropriated each biennium and with the sale of state revenue bonds since 1999. The purpose of the program is to provide financing for the design and construction of public infrastructure needed to ensure compliance with the SDWA or the Clean Water Act.

Eligible activities include costs for constructing improvements for expansion of drinking water, wastewater, or stormwater systems. To be eligible a system must have received, or be likely to soon receive, a Notice of Non-Compliance by the appropriate regulatory agency, associated with the SDWA or the Clean Water Act. Projects also must meet other state or federal water quality statutes and standards. Funding criteria include projects that are necessary to ensure that municipal water and wastewater systems comply with the SDWA or the Clean Water Act.

In addition, other limitations apply, including:

- The project must be consistent with the acknowledged local comprehensive plan.
- The municipality will require the installation of meters on all new service connections to any distribution lines that may be included in the project.
- The funding recipient shall certify that a registered professional engineer will be responsible for the design and construction of the project.

The Water/Wastewater Fund provides both loans and grants, but it is primarily a loan program. The loan/grant amounts are determined by a financial analysis of the applicant's ability to afford a loan including the following criteria: debt capacity, repayment sources, and other factors.

The Water/Wastewater Fund financing program's guidelines, project administration, loan terms, and interest rates are similar to the Special Public Works Fund program. The maximum loan term is 25 years or the useful life of the infrastructure financed, whichever is less. The maximum loan amount is \$10 million per project through a combination of direct and/or bond funded loans. Loans are generally repaid with utility revenues or voter-approved bond issuance. A limited tax general obligation pledge may also be required. Certain entities may seek project funding within this program through the sale of state revenue bonds, although this can be a significant undertaking.

8.10.1.4 Water Infrastructure Finance and Innovation Act

The Water Infrastructure Finance and Innovation Act of 2014 (WIFIA) established the WIFIA program, a federal credit program administered by EPA. The program can provide financing for a broad range of eligible water and wastewater projects or combinations of projects. Up to 49 percent of eligible project costs can be financed through WIFIA, which can be combined with other local funding sources such as revenue bonds.

The WIFIA program offers the potential for substantial savings to municipalities on borrowing costs through a combination of lower interest rates, deferred payments, flexible payment structuring, and longer loan term. Lower borrowing costs can reduce the level of rate increases needed to fund capital improvements.

The savings on borrowing costs begin with lower interest rates. The interest rate on WIFIA loans is fixed and is tied by statute to the 30-year Treasury rate as of closing, which is typically well below the market rate on revenue bond financing. Unlike with revenue bonds, funds from WIFIA loans are disbursed over time on a reimbursement basis as expenses are incurred. Interest accrues on WIFIA loan funds only as they are disbursed.

WIFIA loans are set up for 30-year repayment periods, with the loan term beginning after substantial completion of construction. Payments can be deferred throughout the construction period and for up to 5 years after substantial completion. The result is a potential loan term of up to 35 years after substantial completion. The WIFIA program also allows for flexible payment structuring throughout the loan term to help the borrower manage the impact of loan payments on rate increase requirements.

Projects are selected to apply for WIFIA financing through a competitive annual process administered by the EPA. Appropriate related federal provisions apply under the loans, such as National Environmental Policy Act (NEPA), Davis-Bacon, and American Iron and Steel.

8.10.2 Public Debt

8.10.2.1 General Obligation Bonds

General obligation bonds are backed by the City's full faith and credit, as the City must pledge to assess property taxes sufficient to pay the annual debt service. This tax is beyond the State's constitutional limit of \$10 per \$1,000 of assessed value. A "double-barrel" bond uses a mix of property taxes and user fees and is a mix of the general obligation bond and a revenue bond.

Oregon Revised Statutes limit the maximum bond term to 40 years. The realistic term for which general obligation bonds should be issued is 15 to 20 years, or more. Under the present economic climate, lower interest rates will be associated with the shorter terms.

Financing of water system improvements by general obligation bonds is usually accomplished by the following procedure.

1. Determination of the capital costs required for the improvement.
2. An election by the voters to authorize the sale of bonds.
3. The bonds are offered for sale.
4. The proceeds from the bond sale are used to pay the capital costs associated with the project(s).

General obligation bonds are similar to revenue bonds in matters of simplicity and cost of issuance. Since the bonds are secured by the power to tax, these bonds usually command a lower interest rate than other types of bonds. General obligation bonds lend themselves readily to public sale at a reasonable interest rate because of their high degree of security, tax-exempt status, and public acceptance.

General obligation bonds, which impact the community's tax burden through the full faith and credit pledge, are normally associated with the financing of facilities that benefit a large portion of the community and must be approved by a majority vote.

8.10.2.2 Revenue Bonds

For revenue bonds, the City pledges the net operating revenue of the utility to repay the bonds. The primary source of the net revenue is user fees, and the primary security is the City's pledge to charge sufficient user fees to pay all operating costs and debt service.

The general shift away from ad valorem property taxes and toward a greater reliance on user fees makes revenue bonds a frequently used option for payment of long-term debt. Many communities prefer revenue bonding because it ensures that no tax will be levied. In addition, debt obligation will be limited to system users since repayment is derived from user fees. An advantage with revenue bonds is that they reserve the tax-based revenues for other services and are not typically restricted by debt limitation statutes. Furthermore, the issuing authority can set user rates to fund the debt repayment without needing a public vote.

Municipalities may elect to issue revenue bonds for revenue producing facilities without a vote of the electorate (ORS 288.805-288.945). Certain notice and posting requirements must be met and a 60-day waiting period is mandatory. A petition signed by five percent of the municipality's registered voters may cause the issue to be referred to an election.

8.10.2.3 Improvement Bonds

Improvement (Bancroft) bonds can be issued under an Oregon law called the Bancroft Act. These bonds are an intermediate form of financing that is less than full-fledged general obligation or revenue bonds, but is quite useful, especially for smaller issues or for limited purposes.

An improvement bond is payable only from the receipts of special benefit assessments, not from general tax revenues. Such bonds are issued only where certain properties are recipients of special benefits not occurring to other properties. For a specific improvement, all property within the improvement area is assessed on an equal basis, regardless of whether it is developed or undeveloped. The assessment is designed to apportion the cost of improvements among the benefited property owners approximately in proportion to the afforded direct or indirect benefits. This assessment becomes a direct lien against the property, and owners have the option of either paying the assessment in cash or applying for improvement bonds. If the improvement bond option is taken, the municipality sells Bancroft improvement bonds to finance the construction,

and the assessment is paid over 20 years in 40 semi-annual installments with interest. Cities and special districts are limited to improvement bonds not exceeding three percent of true cash value.

8.10.3 Water Fund Cash Resources and Revenues

The City financial resources available for capital funding include rates, cash reserves, and SDCs. Rates are the backbone of a municipal water system's revenue and are typically established to provide funds to capitalize improvement projects or to repay debt-financed improvement projects.

An SDC is a fee collected on new development. The SDC is used to finance the necessary capital improvements required by the development. The charge is intended to recover an equitable share of the costs of existing and planned facilities that provide capacity to serve new growth.

Oregon Revised Statutes 223.297 – 223.314 establish guidelines on the establishment of the SDC methodology and administration. By statute, an SDC amount can be structured to include one or both of the following two components.

- *Reimbursement Fee* – Intended to recover an equitable share of the cost of facilities already constructed or under construction.
- *Improvement Fee* – Intended to recover a fair share of future planned capital improvements needed to increase the capacity of the system.

The reimbursement fee methodology must consider the cost of existing facilities and the value of unused capacity in those facilities. The calculation must also ensure that future system users contribute no more than an equitable share of existing facilities costs. Reimbursement fee proceeds may be spent on any capital improvements or debt service repayment related to the system for which the SDC is applied. For example, water reimbursement SDCs must be spent on water improvements or water debt service.

The improvement fee methodology must include only the cost of projected capital improvements needed to increase system capacity. In other words, the cost of planned projects that correct existing deficiencies or do not otherwise increase capacity may not be included in the improvement fee calculation. Improvement fee proceeds may be spent only on capital improvements (or related debt service), or portions thereof, that increase the capacity of the system for which they were applied.



AFFIDAVIT OF MAILING

STATE OF OREGON)

) ss

COUNTY OF WASHINGTON)

I, Lindsey Hagerman being first duly sworn, depose and say:

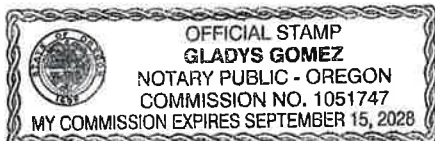
That on the 4 day of June, I served upon the persons shown on Exhibit A, attached hereto and by this reference incorporated herein, a copy of a Notice of Hearing/Application/Decision marked Exhibit B, attached hereto and by this reference incorporated herein, by mailing to them a true and correct copy of the original hereof. I further certify that the addresses reflect information received from the relevant party or agency, and that said envelopes were placed in the United States Mail at Tualatin, Oregon, prepared to receive postage administered by city staff.

Dated this 4 of, June 2025

Lindsey Hagerman
Signature

SUBSCRIBED AND SWORN to before me this

4th day of June
[Signature]
Notary Public for Oregon



My commission expires: September 15, 2028

RE: CUP25-0001 NOTICE OF HEARING



NOTICE OF PUBLIC HEARING AND OPPORTUNITY TO COMMENT

CASE FILE: CUP25-0001 - SW 108th Ave Water Reservoir & Pump Station (CUP)

NOTICE IS HEREBY GIVEN that an application for a Conditional Use Permit (CUP25-0001) will be heard by Tualatin City Planning Commission:

Wednesday, July 16, 2025 at 6:30 pm
Tualatin City Services Building
10699 SW Herman Road

To view the application materials visit:
www.tualatinoregon.gov/projects

TO PROVIDE COMMENTS OR IF YOU HAVE QUESTIONS:

Email: mnelson@tualatin.gov
Mail: Planning Division
Attn: Madeleine Nelson
10699 SW Herman Road
Tualatin, OR 97062
Questions?: 503-691-3027

To attend the hearing, there are two options:

- **Attend in person at the Tualatin City Services Building.**
- **Zoom Teleconference.** Details at: www.tualatinoregon.gov/meetings

AKS Engineering & Forestry, LLC, on behalf of the City of Tualatin, proposes a Conditional Use Permit application to allow a new water storage reservoir and pump station in the Low Density Residential (RL) Planning District. The site is a 4.75-acre lot located at 22675 SW 108th Avenue (Tax Lot: 2S134AD05400).



- **Type III Conditional Use Permit Criteria:** Tualatin Comprehensive Plan; Tualatin Development Code (TDC) Chapters 32, 33, 39, 40, 74, 75.
- **Application materials** are public record and are available for review. Copies can be viewed online or obtained at a reasonable cost, by contacting the Planning Division.
- **Staff report** will be available at least seven days before the hearing for inspection at no cost, and copies will be provided at a reasonable cost.
- **Individuals wishing to comment on the application** must do so in writing



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to the Planning Division prior to the hearing, or in writing and/or orally at the hearing. Written comment must be received by **July 2, 2025**, to be included in the hearing packet.

- **The public hearing process** begins with a staff presentation, followed by testimony by proponents, testimony by opponents, and rebuttal. Individual testimony may be limited. At the conclusion of the hearing, the Planning Commission will deliberate and make a decision based on the facts and arguments in the public record. Before the hearing is closed, a participant may request that the record remain open for at least seven days after the hearing.
- **Everyone is invited to attend the hearing and comment** on the application's approval criteria. Failure of an issue to be raised in the hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals (LUBA) based on that issue. The failure of the applicant to raise constitutional or other issues relating to proposed conditions of approval with sufficient specificity to the decision maker to respond to the issue precludes an action for damages in circuit court.
- **A copy of the staff report, exhibits, and findings** for CUP25-0001 will be available at least one week before the hearing at: <https://www.tualatinoregon.gov/tpc>
- **Notice of the Decision** will only be provided to those who submit written comments regarding that application or testify at the hearing.

For additional information contact:

Madeleine Nelson, Associate Planner, mnelson@tualatin.gov, 503-691-3027

10699 SW Herman Rd, Tualatin, Oregon 97062 TualatinOregon.gov

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For additional information contact:

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TLID	OWNER1	OWNERADDR	OWNERCITY	OWNERST	OWNERZIP
2S134AD07500	ZUCKERMAN HOWARD A & ZUCKERMAN AMY R	10951 SW ONEIDA ST	TUALATIN	OR	97062
2S134AD12200	ZUCKERMAN JOHN & ZUCKERMAN PAMELA	10627 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AA14700	ZHENKUN LIVING TRUST	16157 NW RIDGELINE ST	PORTLAND	OR	97229
2S134AB01500	ZAFAR SHAZIA S	22246 SW 111TH AVE	TUALATIN	OR	97062
2S134AA04100	YOUNG SARA L & YOUNG BRYAN L	22180 SW 106TH AVE	TUALATIN	OR	97062
2S135BC11700	YOKOY REV TRUST	22524 SW 104TH AVE	TUALATIN	OR	97062
2S134AD12900	YAP KATRINA & YAP FORTUNATO	10879 SW BROWN ST	TUALATIN	OR	97062
2S134AC04300	YANG YAOHUA & ZHOU JIAMEI	2412 REMINGTON DR	WEST LINN	OR	97068
2S134AC06400	WYSE ANDREW	22763 SW COWLITZ DR	TUALATIN	OR	97062
2S134AB03400	WU JUSTINE M & WU THOMAS	22345 SW 111TH AVE	TUALATIN	OR	97062
2S135BB08000	WU HON TONG	10365 SW GARDNER CT	TUALATIN	OR	97062
2S134AC08800	WRIGHT GRANT SANFORD & WRIGHT JULIE CHRISTINA	11028 SW BROWN ST	TUALATIN	OR	97062
2S134AB02600	WOODWARD REISCH-CASTLEMAN REV LIV TRUST	11142 SW GRAM ST	TUALATIN	OR	97062
2S134AD03800	WOOD RYAN S & LAURA J FAM TRUST	22579 SW 106TH AVE	TUALATIN	OR	97062
2S135BC03000	WOOD RONALD FRANKLIN REV TRUST	22805 SW GRAHAMS FERRY	TUALATIN	OR	97062
2S134AC08900	WONG MICHELLE SUI	11056 SW BROWN ST	TUALATIN	OR	97062
2S135BC11900	WOLTERING BRITTANY CHRISTINE & WOLTERING ROBERT	22505 SW 104TH AVE	TUALATIN	OR	97062
2S134AD16800	WITHERS ALEX V & WITHERS KATHLEEN A	10893 SW WESTFALL CT	TUALATIN	OR	97062
2S135BB04600	WISE ERIC SCOTT & WISE KATHERINE LEE	10490 SW MILLER CT	TUALATIN	OR	97062
2S134AA09700	WINTERS FAMILY TRUST	22209 SW 110TH PL	TUALATIN	OR	97062
2S134AD01700	WINKOWSKI RAYMOND JR & WINKOWSKI ANGELA	10652 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AC05300	WILSON ANTHONY PATRICK & WILSON JULIE LEANN	22436 SW 112TH AVE	TUALATIN	OR	97062
2S134AC12900	WILLIAMS DANIEL LEE & WILLIAMS KATHRYN PATRICIA	22875 SW 110TH PL	TUALATIN	OR	97062
2S134AA10900	WILKINSON TODD N & WILKINSON KIRSTEN SUSANN	10923 SW NELSON ST	TUALATIN	OR	97062
2S134AA03400	WIESE MARK S & WIESE DANELLE A	22170 SW 107TH AVE	TUALATIN	OR	97062
2S134AA03500	WIESE MARK S & WIESE DANELLE A	22170 SW 107TH AVE	TUALATIN	OR	97062
2S134AA08800	WHITAKER BENJAMIN O & WHITAKER MONICA A	22325 SW 110TH PL	TUALATIN	OR	97062
2S134AD07300	WHAPLES ANDREW S & WHAPLES KRISTINE M	10989 SW ONEIDA ST	TUALATIN	OR	97062
2S134AA04500	WEST JOSEPH W & WEST CARRIE J	10575 SW MEIER DR	TUALATIN	OR	97062
2S135BB07800	WEILAND FAMILY TRUST	10435 SW GARDNER CT	TUALATIN	OR	97062
2S134AA05100	WEIGEL LLC	220 CHARDONNAY LN	AIKEN	SC	29803
2S135BB05600	WEBSTER NATHANIEL K & WEBSTER ASHLEE J	10430 SW MEIER DR	TUALATIN	OR	97062
2S134AA03900	WEAVER MICHAEL D TRUST & WEAVER KERRY L TRUST	10630 SW MEIER DR	TUALATIN	OR	97062
2S134AC03200	WALTERS RYAN W & WALTERS JENNIFER C	11125 SW PATWIN CT	TUALATIN	OR	97062
2S134DA00400	WALDO RONALD M TRUST	10965 SW TONQUIN LOOP	SHERWOOD	OR	97140
2S134AA16100	WAH MARCUS R & CHUNG-WAH KITTY W	22455 SW 106TH AVE	TUALATIN	OR	97062
2S135BC04900	WAGNER JON KENT & WAGNER JULIE ANN	22683 SW 105TH AVE	TUALATIN	OR	97062
2S134AA04200	WACKER LEROY J REVOCABLE LIVING TRUST & WACKER INEZ B	12641 CASTLE DR	SPRINGFIELD	OR	97477
2S134AD07600	VOHLAND AARON D	10935 SW ONEIDA ST	TUALATIN	OR	97062
2S134AD11000	VIRK AMANDEEP	10658 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AA19200	VIESTENZ KRISTOFER C & VIESTENZ CHERYL E	22273 SW 107TH AVE	TUALATIN	OR	97062

2S134AC07600	VICKERY DANIEL W & VICKERY JULIA C	11195 SW BROWN ST	TUALATIN	OR	97062
2S135BB02700	VANCE JAMES D JR & VANCE DONNA L	22350 SW 102ND PL	TUALATIN	OR	97062
2S135BB03700	VALKO JOSEPH J TRUST	22250 SW 103RD AVE	TUALATIN	OR	97062
2S134AD06000	VALERO CRAIG A & VALERO KELLY M	22482 SW 109TH TER	TUALATIN	OR	97062
2S134AD15400	VALDEZ FAMILY TRUST	10888 SW WESTFALL CT	TUALATIN	OR	97062
2S134AD03600	ULBERG BRETT DANA & ULBERG JENNIFER JANE	22537 SW 106TH AVE	TUALATIN	OR	97062
2S134AA04900	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AA05000	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AA12200	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AA12300	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AA12400	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AA16800	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AA16900	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AA19600	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AB03600	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AB03700	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AB03800	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AB04001	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AC07200	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AC07300	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AC09500	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AC09600	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AC09700	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AC11700	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AC11800	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AC13700	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AC13800	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AD05400	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AD16900	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AD17000	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S135BC12500	TUALATIN CITY OF DEVELOPMENT COMMISSION	18880 SW MARTINAZZI AVE	TUALATIN	OR	97062
2S134AA04600	TRUE MARY LOU REV TRUST & TRUE TIMOTHY S REV TRUST	10605 SW MEIER DR	TUALATIN	OR	97062
2S134AC07800	TRONVIG WILLIAM DANIEL & ABROT STEPHANIE	11173 SW BROWN ST	TUALATIN	OR	97062
2S134AB00600	TRAVIS BARBARA CAROL & WARE JAMES DOUGLAS	22396 SW 111TH AVE	TUALATIN	OR	97062
2S134AA18000	TRAUTMAN TRAVIS & SHAUNA	22317 SW 106TH AVE	TUALATIN	OR	97062
2S134AA09400	TRASK HARRY & TRASK SHYRL	22241 SW 110TH PL	TUALATIN	OR	97062
2S135BC11100	TRAN THO LE-MINH & VANDANG THO	22654 SW YANKTON PL	TUALATIN	OR	97062
2S134AD03000	TOMKA RUSS & TOMKA JENNY	22587 SW 107TH AVE	TUALATIN	OR	97062
2S134AD01000	TINNIN ROBERT OWEN & ELAINE MARIE REV LIV TRUST	10749 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AD03700	TIMMERMAN DAVID A & TIMMERMAN CASEY J	22553 SW 106TH AVE	TUALATIN	OR	97062
2S134AD00100	TIERNEY JOHN JOSEPH II & VALERICO CLAUDIA	10610 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AB02100	THORDERSON RANDY DEAN & THORDERSON AMANDA CORRY	11104 SW GRAM ST	TUALATIN	OR	97062

2S134AD15100	TERRAZZINO JEFF & TERRAZZINO PATIENCE	22947 SW 109TH TER	TUALATIN	OR	97062
2S134AD16500	TAYLOR-WEBER ANTHONY & TAYLOR-WEBER JAMIE	10863 SW WESTFALL CT	TUALATIN	OR	97062
2S135BB03500	TAYLOR ROBERT SPENCER & TAYLOR RONAYE	22330 SW TAYLORS DR	TUALATIN	OR	97062
2S134AC03900	TAVOLAZZI TYSON N	11162 SW ONEIDA ST	TUALATIN	OR	97062
2S135BB05800	TASHCHUK BOHDAN Y & TASHCHUK LINDA G	10470 SW MEIER DR	TUALATIN	OR	97062
2S134AD12700	SWAN KYLE J & SWAN KELSEY	10903 SW BROWN ST	TUALATIN	OR	97062
2S134AA09900	SW 110TH PLACE LLC	1011 SW SCHAEFFER RD	WEST LINN	OR	97068
2S134AC12600	SUTTON GRETCHEN S	11135 SW HELENIUS ST	TUALATIN	OR	97062
2S134AD04700	SUNG SEUNG & SUNG REBECCA	22698 SW 106TH AVE	TUALATIN	OR	97062
2S135BB03400	SULLIVAN MARY E	22215 SW 102ND PL	TUALATIN	OR	97062
2S135BB07100	STUBBLEFIELD FANCHO FEE JR & JULIE P REV LIV TRUST	3330 SE THREE MILE LN	MCMINNVIL	OR	97128
2S135BB02400	STILL STRONG LLC	22365 SW 102ND PL	TUALATIN	OR	97062
2S135BB02900	STILL GREGORY P & SHERYL W LIV TRUST	22365 SW 102ND PL	TUALATIN	OR	97062
2S135BC11200	STERN ZACHARY & LE DIEU	10354 SW KOSO ST	TUALATIN	OR	97062
2S135BB07300	STEPHENSON MARK L & STEPHENSON DEANNA K	10440 SW GARDNER CT	TUALATIN	OR	97062
2S135BB13600	STEPHENS NICHOLAS & STEPHENS LINDSEY	22403 SW 104TH AVE	TUALATIN	OR	97062
2S134AA12900	STEELE TROY & STEELE CINDY	10820 SW NELSON ST	TUALATIN	OR	97062
2S134AA16400	STEELE ANTHONY & STEELE CATHLEEN	22462 SW 106TH AVE	TUALATIN	OR	97062
2S134AB01700	STEED JOHN & STEED RUTH E	22210 SW 111TH AVE	TUALATIN	OR	97062
2S135BB07000	STAPLES-SUNDT REV LIV TRUST	10350 SW GARDNER CT	TUALATIN	OR	97062
2S134AD06800	STANLEY STEVEN R & DIAMOND ALYSE	10994 SW ONEIDA ST	TUALATIN	OR	97062
2S135BB04500	STANAWAY CRYSTAL H REVOC TRUST & STANAWAY DONALD F II	10480 SW MILLER CT	TUALATIN	OR	97062
2S134AC10300	STADICK ERIN	22897 SW COWLITZ DR	TUALATIN	OR	97062
2S134AD10800	SRINIVASAN SRIDHAR & SARANGAPANI DEEPA	10615 SW CLEAR ST	TUALATIN	OR	97062
2S134AC03600	SPRINGER HENRY G & SPRINGER ELISSA K	22556 SW 112TH AVE	TUALATIN	OR	97062
2S135BB10800	SPRINGER GREGORY & SPRINGER JENNIFER LYNN	22477 SW 104TH AVE	TUALATIN	OR	97062
2S135BC12400	SPRINGWATER HOA			OR	00000
2S135BC12600	SPRINGWATER HOA			OR	00000
2S134AD06600	SPICKERMAN MEGAN E & SPICKERMAN BRENTON J	10956 SW ONEIDA ST	TUALATIN	OR	97062
2S134AA10800	SPENCER CORINNE JANELLE & HOLECHEK TRISTAN	10949 SW NELSON ST	TUALATIN	OR	97062
2S134AA12800	SPENCER RICHARD JACOB & HIDALGO ARLENE	10872 SW NELSON ST	TUALATIN	OR	97062
2S134AC09000	SPARKS ERIC A	11080 SW BROWN ST	TUALATIN	OR	97062
2S134AD07800	SPARKS SCOTT & SPARKS KAREN	22453 SW 109TH TER	TUALATIN	OR	97062
2S135BC11000	SORKOWITZ ENID R REV TRUST	22662 SW YANKTON PL	TUALATIN	OR	97062
2S134AD14000	SORIANO MICHAEL	10840 SW BROWN ST	TUALATIN	OR	97062
2S134AA08700	SNYDER MICHELLE	22343 SW 110TH PL	TUALATIN	OR	97062
2S134AD13200	SMARGIASSI EUGENE & SMARGIASSI MICHELLE DENISE	10849 SW BROWN ST	TUALATIN	OR	97062
2S134DB00201	SLENES CHAD & SLENES SHANNON CHRISTINE	11125 SW TONQUIN LOOP	SHERWOOD	OR	97140
2S134AD02900	SKJELSTAD ARIC & SKJELSTAD MELODY	22565 SW 107TH AVE	TUALATIN	OR	97062
2S134AD07700	SKACH SAMANTHA MICHELLE & SKACH ADAM JOSEPH	10923 SW ONEIDA ST	TUALATIN	OR	97062
2S134AA11200	SINKEY SHANNON H & SINKEY CARLOTTA H	10914 SW NELSON ST	TUALATIN	OR	97062
2S135BC11300	SINGER TODD & SINGER SHARON	10368 SW KOSO ST	TUALATIN	OR	97062

2S135BB03900	SILVESTRE DAVID G & SILVESTRE PATRICIA	10310 SW MILLER CT	TUALATIN	OR	97062
2S134AC02300	SHULTZ KYLE & SHULTZ THERESA	11132 SW PATWIN CT	TUALATIN	OR	97062
2S134AB03200	SHIRES FAMILY LIVING TRUST	22309 SW 111TH AVE	TUALATIN	OR	97062
2S134DB00100	SHEVCHENKO DAVID & SHEVCHENKO NATASHA	11015 SW TONQUIN LOOP	SHERWOOD	OR	97140
2S134AC12300	SHEPHERD NEIL WN & SHEPHERD CARMEN	22940 SW 112TH AVE	TUALATIN	OR	97062
2S134AA11300	SHEPARD TIMOTHY R & SHEPARD ELAINE G	10936 SW NELSON ST	TUALATIN	OR	97062
2S134AA15800	SHAVER LIV TRUST	22371 SW 106TH AVE	TUALATIN	OR	97062
2S134AA19400	SENTHIRAJAH PADMAN & SENTHIRAJAH SUSAN JANE	10749 SW NELSON ST	TUALATIN	OR	97062
2S134AC06100	SEARLE THEODORE C III & SEARLE KASANDRA L	22695 SW COWLITZ DR	TUALATIN	OR	97062
2S134AC09900	SEARLE SAMUEL C & SEARLE TRACY DARNELL	22827 SW COWLITZ DR	TUALATIN	OR	97062
2S134AC11200	SEARLE DAVID M & GIROD JORIE M	22814 SW COWLITZ DR	TUALATIN	OR	97062
2S134AD15200	SCHWINDT MEAGAN E	10903 SW HELENIUS ST	TUALATIN	OR	97062
2S134AD08100	SCHULTZ RYLEY EDWARD & SCHULTZ SHALA MARIE	10954 SW MARILYN ST	TUALATIN	OR	97062
2S135BC04700	SCHUETTKE ERIC & SCHUETTKE ROBIN	10501 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AD02700	SCHUCHT LARRY D & SCHUCHT LYNNETTE K	22523 SW 107TH AVE	TUALATIN	OR	97062
2S134AA09800	SCHOTT DANIEL A & SCHOTT LARINDA	22200 SW 110TH PL	TUALATIN	OR	97062
2S134AB02000	SCHNEIDER ERIC B & SCHNEIDER RONALDA K	22142 SW 111TH AVE	TUALATIN	OR	97062
2S134AC11000	SCHMITZ JOHN & FIELD KARIN E	22858 SW COWLITZ DR	TUALATIN	OR	97062
2S134AD01600	SCHERER C GREGORY & SCHERER KATHLEEN P	10624 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AA10500	SCHAFFER TAIT J & SCHAFFER MEGAN M	22316 SW 110TH PL	TUALATIN	OR	97062
2S134AD08000	SAVAGLIO PAMELA A	10983 W TONOPAH DR	SUN CITY	AZ	85373
2S135BC04400	SAUER RANDY J & SAUER ANGIE R	10447 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AA10300	SANTOS JUAN DIAZ & SANTOS BRIAN SCOTT CRUZ	22244 SW 110TH PL	TUALATIN	OR	97062
2S134AA14600	SANTOS-BARRERA CARLOS & SANTOS GLADYS JEANETTE	10709 SW NELSON ST	TUALATIN	OR	97062
2S135BC03300	SAMANI PARI TRUST	10475 SW HELENIUS ST	TUALATIN	OR	97062
2S134AB00300	SABIDO PETER G	11084 SW MARILYN ST	TUALATIN	OR	97062
2S134AD01200	RYERSON GREGORY C	10685 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AC05000	RYAN JOHN P & RYAN PATRICIA L	11153 SW ONEIDA ST	TUALATIN	OR	97062
2S134AA03300	RUYBALID LIVING TRUST	22145 SW 107TH AVE	TUALATIN	OR	97062
2S134AD11800	RUSK TRENT & RUSK ELLEN	10739 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AD06100	RUSCIGNO TIM & CHAMBERS LORI	22498 SW 109TH TER	TUALATIN	OR	97062
2S135BB06800	ROTUNNO LEWIS C & ROTUNNO CATHERINE G	10310 SW GARDNER CT	TUALATIN	OR	97062
2S134AA15300	ROTH KERRY & ROTH JOANNE C	22480 SW 107TH AVE	TUALATIN	OR	97062
2S135BC06300	ROTH THERESA A	12600 SW 72ND AVE #200	TIGARD	OR	97223
2S134AC06300	ROSTAMIZADEH ROBERT KASRA BROWN & ROSTAMIZADEH ALYS	22747 SW COWLITZ DR	TUALATIN	OR	97062
2S135BC03200	ROSHAK JOINT TRUST	22915 SW GRAHAM'S FERRY	TUALATIN	OR	97062
2S134AA18600	ROSETHAL FAMILY TRUST	22236 SW 107TH AVE	TUALATIN	OR	97062
2S134AB03100	ROOT DOUGLAS B & ROOT JACQUELINE A	22293 SW 111TH AVE	TUALATIN	OR	97062
2S134AC03300	RODRIGUEZ SERGIO E & SARAH DL RODRIGUEZ LIV TRUST	11149 SW PATWIN CT	TUALATIN	OR	97062
2S134AA09200	ROBSON DEBORAH	22275 SW 110TH PL	TUALATIN	OR	97062
2S134AC10000	ROBINSON FAMILY TRUST	22849 SW COWLITZ DR	TUALATIN	OR	97062
2S135BB03800	ROBINSON TIMOTHY C & ROBINSON BEATRICE M	22280 SW 103RD DR	TUALATIN	OR	97062

2S134AA03200	ROBBINS CRAIG A & PAPIKE-ROBBINS COLEEN G	22165 SW 107TH AVE	TUALATIN	OR	97062
2S134AA15600	ROACH JASON M & ROACH ELIZABETH H	22382 SW 107TH AVE	TUALATIN	OR	97062
2S134AD10100	RINGOS LIVING TRUST	10778 SW CLEAR ST	TUALATIN	OR	97062
2S134AA18200	RIGSBY MATTHEW AARON & RIGSBY DANIELA ANJOS	22350 SW 107TH AVE	TUALATIN	OR	97062
2S134AA17800	RIEKS RANDALL J & RIEKS JENNIFER A	10621 SW SAMPSON LN	TUALATIN	OR	97062
2S134AC06000	RICHMOND CASEY GC & RICHMOND KATE P	22673 SW COWLITZ DR	TUALATIN	OR	97062
2S134AC02200	RICHARDSON BRIAN & RICHARDSON MOLLY	11158 SW PATWIN CT	TUALATIN	OR	97062
2S134DA00200	RICHARDS DONALD P REVOC LIV TRUST	PO BOX 1488	WILSONVILLE	OR	97070
2S134AD07000	RICE JAMES MARCUS II & NANCY SUSAN SMAK FAMILY TRUST	11032 SW ONEIDA ST	TUALATIN	OR	97062
2S135BC06000	RICCA ANTHONY M	10438 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AD00900	REED FRANK RODNEY JR & REED JENNA MARIE	10773 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AD14600	REANG SOPHEA K & REANG HEIDI	10942 SW BROWN ST	TUALATIN	OR	97062
2S135BC04300	READ PHILIP G & READ TRACY L	10429 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AD13100	RAY ROBERT F & RAY MARSHA L	10871 SW BROWN ST	TUALATIN	OR	97062
2S135BC05100	RAVERT BEN	22737 SW 105TH	TUALATIN	OR	97062
2S134AC05800	RANF LAURINDA KAY	22639 SW COWLITZ DR	TUALATIN	OR	97062
2S134AD04600	RALEIGH JAMES W & RALEIGH CARISSA A	22674 SW 106TH AVE	TUALATIN	OR	97062
2S134AA12100	RADZIK JAN & RADZIK MARGARET	10919 SW MARILYN ST	TUALATIN	OR	97062
2S134AD02200	QUINN PAUL E & QUINN REBECCA A	10782 SW COTTONWOOD ST	TUALATIN	OR	97062
2S135BC05700	QUAN DINH	22728 SW 105TH AVE	TUALATIN	OR	97062
2S134AA04300	QIANG RUI & YANG HSIAO-PEI	10535 MEIER DR SW	TUALATIN	OR	97062
2S134AD08700	PURSLEY RANDALL K & PURSLEY L KAREN BRAGG	22710 SW 106TH AVE	TUALATIN	OR	97062
2S134AD01800	PRAKASH SHIV	10688 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AD02100	POWELL JAMES L II & POWELL DIANA G	10754 SW COTTONWOOD ST	TUALATIN	OR	97062
2S135BB05100	POWELL ROBIN L	10355 SW MILLER CT	TUALATIN	OR	97062
2S134AA15700	POTTER DOUGLAS C & POTTER CHARLENE N	8138 SW EDGEWATER W	WILSONVILLE	OR	97070
2S134AC03500	POTTER AMY & POTTER ROBERT RYAN	11187 SW PATWIN CT	TUALATIN	OR	97062
2S135BB03001	PINERES RICARDO & COSTA CAROLYN	22335 SW 102ND PL	TUALATIN	OR	97062
2S135BB06100	PIERCE REV TRUST	10465 SW MEIER DR	TUALATIN	OR	97062
2S134AC05600	PFEIFER ERIKA & PFEIFER CRAIG	22611 SW COWLITZ DR	TUALATIN	OR	97062
2S134AA15200	PETRONE MICHAEL & PETRONE MELANI	22497 SW 107TH AVE	TUALATIN	OR	97062
2S135BB02600	PETERSON LETITIA M	22320 SW 102ND PL	TUALATIN	OR	97062
2S135BB07700	PETERSEN LIVING TRUST	10455 SW GARDNER CT	TUALATIN	OR	97062
2S135BC04800	PETERSON JOEL G & PETERSON TONYA L	10553 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AC06700	PERCHICK JONATHAN & PERCHICK KERI	22752 SW COWLITZ DR	TUALATIN	OR	97062
2S134AC02600	PEAKE BRETT & TRENT LINDA	11028 SW PATWIN CT	TUALATIN	OR	97062
2S134AC13300	PAZDA CHRISTOPHER & PAZDA RACHEL	22840 SW 110TH PL	TUALATIN	OR	97062
2S134AA03000	PAYNE PAMELA & PAYNE JEFFREY M	22185 SW 107TH AVE	TUALATIN	OR	97062
2S134AA09000	PAUL STEVE F & PAUL MAUREEN L	22293 SW 110TH PL	TUALATIN	OR	97062
2S134AA10000	PATAROQUE BENITO & PATAROQUE PAMELA	2304 OSWEGO GLEN CT	LAKE OSWEGO	OR	97034
2S134AD12500	PASUMAMULA GIRIDHAR & SHAILAJA LIVING TRUST	10915 SW BROWN ST	TUALATIN	OR	97062
2S134AA18800	PARSONS KEVIN & PARSONS AMANDA	22227 SW 107TH AVE	TUALATIN	OR	97062

2S134AC01400	PARSONS KEVIN W & PARSONS ANETTE	22539 SW 112TH AVE	TUALATIN	OR	97062
2S134AD04200	PARSONS MARK G & PARSONS JAMI K	22598 SW 106TH AVE	TUALATIN	OR	97062
2S135BB08200	PARSONS PATRICIA FAMILY TRUST & PARSONS JAMES FAMILY TR	10325 SW GARDNER CT	TUALATIN	OR	97062
2S134AD10900	PARRISH RICHARD L & PARRISH REBEKAH L	10622 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AD09900	PARKER RONALD R & PARKER CANDY C	10726 SW CLEAR ST	TUALATIN	OR	97062
2S134AA03100	PARK BUMJOON & PARK SIENNA	22195 SW 107TH AVE	TUALATIN	OR	97062
2S134AD06500	OWEN TODD M & SNEGIREFF FEDOSIA S	10942 SW ONEIDA ST	TUALATIN	OR	97062
2S134AC10900	OTTE DYANA L	22872 SW COWLITZ DR	TUALATIN	OR	97062
1S135CB00800	OREGON STATE OF DEPT OF TRANSPORTATION	4040 FAIRVIEW INDUSTRIAL	SALEM	OR	97302
2S134AD00700	O'NEILL TODD A	10788 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AC01100	OLSON SPENCER REILLY & DOUGHTY STEFANIE LYNN	22493 SW 112TH AVE	TUALATIN	OR	97062
2S134AD14300	OLSON JULIA KATHERINE LIV TRUST	10882 SW BROWN ST	TUALATIN	OR	97062
2S134AD11200	OLLILA DONALD	10706 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AB02400	O'DEE MICHAEL F & O'DEE ITSEL M	11184 SW GRAM ST	TUALATIN	OR	97062
2S134AC03800	NOVAK TERRY J & NOVAK JANICE B	11174 SW ONEIDA ST	TUALATIN	OR	97062
2S134AA16600	NOLOP MICHAEL CHARLES & NOLOP JESSICA RAE	22398 SW 106TH AVE	TUALATIN	OR	97062
2S134AC06500	NOEL IAN CHARLES AULT	22781 SW COWLITZ DR	TUALATIN	OR	97062
2S134AD00300	NIX LIVING TRUST	10678 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AB01900	NIGHTBERT JEFFERY S & NIGHTBERT GAIL S	22168 SW 111TH AVE	TUALATIN	OR	97062
2S134AC11400	NIETO ESTANISLAO LUCIO & GONZALEZ JUANAMARIA D ROSALES	22843 SW 112TH AVE	TUALATIN	OR	97062
2S134AD11700	NIEMI CHRIS & FITZGERALD CHERYL	10765 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AD16000	NICKLE BRENT & NICKLE AMBER	10800 SW WESTFALL CT	TUALATIN	OR	97062
2S135BB03100	NEWTON DAVID & E SUZANNE JOINT TRUST	22295 SW 102ND PL	TUALATIN	OR	97062
2S134AC13100	NEUFELD SCOTT DOUGLAS & KRAFT AMY	22825 SW 110TH PL	TUALATIN	OR	97062
2S134AA19300	NESS KEVIN & NESS SHERRI	10703 SW NELSON ST	TUALATIN	OR	97062
2S134AC02900	NELSON MATTHEW A	11037 SW PATWIN CT	TUALATIN	OR	97062
2S134AA12000	NEILL JEROLD D JR & NEILL REBECCA L	10933 SW MARILYN ST	TUALATIN	OR	97062
2S134AD15700	NEEDELMAN SHAWN & NEEDELMAN ALISON	10852 SW WESTFALL CT	TUALATIN	OR	97062
2S135BC12200	NARANCICH SHAWN M & NARANCICH SHELLEY R	10565 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AC05100	MYERSON DAVID D & MYERSON CAROLINE	11185 SW ONEIDA ST	TUALATIN	OR	97062
2S134AA11800	MURPHY COLIN R & MURPHY MALINDA K	10977 SW MARILYN ST	TUALATIN	OR	97062
2S134AD13700	MUKENSNABL MACY & HARWOOD MARC	10806 SW BROWN ST	TUALATIN	OR	97062
2S135BB07500	MOSLANDER JAMES RICHARD JR & MOSLANDER KATHERINE COL	10480 SW GARDNER CT	TUALATIN	OR	97062
2S134AC09300	MORRISON CLEMON & MORRISON CYNTHIA	PO BOX 3431	TUALATIN	OR	97062
2S135BB03200	MORONES-MARCINKOWSKI KATHERINE & MORONES-MARCINKOW	519 MONTEREY AVE	CAPITOLA	CA	95010
2S135BB04800	MORIN MARGUERITE E REV LIV TRUST	10435 SW MILLER CT	TUALATIN	OR	97062
2S134AA11600	MORELLI LEONARD R REV LIV TRUST	10992 SW NELSON ST	TUALATIN	OR	97062
2S134AD00600	MOORE PATRICK J & MOORE MURIEL F	10764 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AD15900	MOOERS NICHOLAS K & MOOERS CARLYN R	10818 SW WESTFALL CT	TUALATIN	OR	97062
2S134AC01200	MITCHELL JASON R & MITCHELL ANGELA M	22509 SW 112TH AVE	TUALATIN	OR	97062
2S134AD03400	MITCHELL CLAUDIA	22516 SW 107TH AVE	TUALATIN	OR	97062
2S134AD14100	MILSTEIN STEPHANIE MARIE	10864 SW BROWN ST	TUALATIN	OR	97062

2S134AA19100	MILLER JUSTIN PATRICK & MILLER ANDREA DIANE	22255 SW 107TH AVE	TUALATIN	OR	97062
2S134AC01500	MILLER EDWARD H III & CORBIN TAMSEN M	22541 SW 112TH AVE	TUALATIN	OR	97062
2S135BC10700	MILLER PETER & MILLER SHERI	22698 SW YANKTON PL	TUALATIN	OR	97062
2S134AA15500	MICHAEL FAMILY TRUST	22438 SW 107TH AVE	TUALATIN	OR	97062
2S134AC11100	MICHAEL & ELIZABETH FAM LIV TRUST	22836 SW COWLITZ DR	TUALATIN	OR	97062
2S134AD03200	MESHNIK GREGORY & MESHNIK ANNA	22558 SW 107TH AVE	TUALATIN	OR	97062
2S134AC10600	MENDOZA BELEN	22923 SW COWLITZ DR	TUALATIN	OR	97062
2S134AA09100	MENDEZONA ANTONIO C & MENDEZONA CARRIE S	22281 SW 110TH PL	TUALATIN	OR	97062
2S134AD01300	MENDEZ DAVID J & MENDEZ ROBIN S	10651 SW DOGWOOD ST	TUALATIN	OR	97062
2S135BB06600	MENACHO MICHAEL & MENACHO DEBRA	10315 SW MEIER DR	TUALATIN	OR	97062
2S135BC10800	MEKKERS JEFFREY & MEKKERS SOPHIA	22686 SW YANKTON PL	TUALATIN	OR	97062
2S134AC10500	MCMILLIN MICHELLE & MCMILLIN GREG	22919 SW COWLITZ DR	TUALATIN	OR	97062
2S134AD15600	MCINTOSH KEVIN A	10868 SW WESTFALL CT	TUALATIN	OR	97062
2S134AB01200	MCGUNNIGLE LIV TRUST	11033 SW MADRONE CT	TUALATIN	OR	97062
2S134AC07000	MCGUNNIGLE LIV TRUST	11033 SW MADRONE CT	TUALATIN	OR	97062
2S135BB06700	MCGRATH GARY A & MCGRATH PATRICIA L	22145 SW 103RD AVE	TUALATIN	OR	97062
2S134AC12400	MCGILL KYLE & NIEMAN JAMIE	11175 SW HELENIUS ST	TUALATIN	OR	97062
2S134AB01400	MCCORMICK MARISA ANNE & MCCORMICK MICHAEL	22258 SW 111TH AVE	TUALATIN	OR	97062
2S134AD09700	MCCORMACK ERIC M & MCCORMACK TARA E	10652 SW CLEAR ST	TUALATIN	OR	97062
2S134AC04100	MCCLUNG RYAN T & MCCLUNG CARA D	11106 SW ONEIDA ST	TUALATIN	OR	97062
2S134AC08600	MCCARTY WILLIAM G & MCCARTY JILL	10983 SW BROWN ST	TUALATIN	OR	97062
2S135BB02500	MCCALL SUSAN V	22260 SW 102ND PL	TUALATIN	OR	97062
2S134AD03500	MAXWELL ROBERT J & MAXWELL MOLLY K	22511 SW 106TH AVE	TUALATIN	OR	97062
2S134AD05700	MAURER MICHAEL & MAURER LAUREN	22426 SW 109TH TER	TUALATIN	OR	97062
2S134AA04000	MAUDLIN DAVID EUGENE	22160 SW 106TH AVE	TUALATIN	OR	97062
2S134AD13600	MATCH LLC	7570 SW WILSON AVE	BEAVERTOIR	OR	97008
2S134AA16300	MARX SCOTT A & MARX HEIDI R	22496 SW 106TH AVE	TUALATIN	OR	97062
2S134AC01600	MARTIN NIKLAS P & MARTIN RACHEL R	22573 SW 112TH AVE	TUALATIN	OR	97062
2S135BC11600	MARTIN ANGELO B & MARTIN SHEILA E	22548 SW 104TH AVE	TUALATIN	OR	97062
2S134AD16700	MARTELLA DARIN M	10885 SW WESTFALL CT	TUALATIN	OR	97062
2S134AC00600	MARLOW FAMILY TRUST	22393 SW 112TH AVE	TUALATIN	OR	97062
2S134AD16100	MARCHETTI JASON D & MARCHETTI THERESA S	10807 SW WESTFALL CT	TUALATIN	OR	97062
2S134AA15900	MANS CHRISTOPHER R & MANS JACQUELINE	22393 SW 106TH AVE	TUALATIN	OR	97062
2S134AB02500	MANLEY NATHAN M & SMITH-MANLEY SHARON L	11160 SW GRAM ST	TUALATIN	OR	97062
2S135BB06500	MALHI JAGROOP SINGH & MALHI GAGANDEEP KAUR	10335 SW MEIER DR	TUALATIN	OR	97062
2S134AD09800	MACLEAN HEATHER M & MACLEAN JEFFERY S	10688 SW CLEAR ST	TUALATIN	OR	97062
2S134AC09200	LYNCH ADAM E & LYNCH BRIDGET M	11144 SW BROWN ST	TUALATIN	OR	97062
2S135BB08600	LUSTER ERIC & LUSTER DEBRA	3450 DAVIS LN	RENO	NV	89511
2S134AC04600	LUDLAM WILLIAM HENRY & LUDLAM SUZANNE BURNETT	56 GLATTLY DR	DENVILLE	NJ	07834
2S135BC05800	LOWERY CRAIG & LOWERY JESSICA	22696 SW 105TH AVE	TUALATIN	OR	97062
2S134AC08700	LOONEY BRIAN W & LOONEY LIBERTY C	10974 SW BROWN ST	TUALATIN	OR	97062
2S135BB07600	LOBDELL ERICA ANN & LOBDELL RYAN	10475 SW GARDNER CT	TUALATIN	OR	97062

2S135BB02800	LINIGER JAMES E & LINIGER ROSEMARY K	22380 SW 102ND PL	TUALATIN	OR	97062
2S134AC04700	LIMA DANIEL R & LIMA ERIN	11073 SW ONEIDA ST	TUALATIN	OR	97062
2S134AC00700	LIEN CAMERON & LIEN SHARELL	22429 SW 112TH AVE	TUALATIN	OR	97062
2S134AD02300	LI ZHEN	10765 SW COTTONWOOD ST	TUALATIN	OR	97062
2S135BB07400	LEWIS ANDREW M	10460 SW GARDNER CT	TUALATIN	OR	97062
2S134AA04800	LEVASA FINANCIAL TRUST	10695 SW MEIER DR	TUALATIN	OR	97062
2S134AB00800	LESTER ROBERT J & LESTER CRYSTAL D	22350 SW 111TH AVE	TUALATIN	OR	97062
2S134AB02300	LEONG ANGELA HAUOLI	11126 SW GRAM ST	TUALATIN	OR	97062
2S134AA08900	LENO RUTH P REV TRUST & LENO THEODORE JR CREDIT SHELTE	22301 SW 110TH PL	TUALATIN	OR	97062
2S134AD01500	LEMIEUX CARY M & JANE L LIV TRUST	22641 SW 106TH AVE	TUALATIN	OR	97062
2S134AD00400	LEITCH KAYLIE L & LEITCH PATRICK M	10706 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AC01300	LEIDY PHILIP B FAM TRUST & LEIDY MELINDA SUSANNE TRUST	22527 SW 112TH AVE	TUALATIN	OR	97062
2S135BB07200	LEHMAN JOINT REV TRUST	10430 SW GARDNER CT	TUALATIN	OR	97062
2S134AD11100	LEEB STEVEN & THARLER JEN	10684 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AA18300	LEAVITT NATHAN & LEAVITT RAYLEIGH	22334 SW 107TH AVE	TUALATIN	OR	97062
2S134AD04000	LAWRENCE RYAN & LAWRENCE CHRISTINE	22546 SW 106TH AVE	TUALATIN	OR	97062
2S134AB03300	LARSON ERIC & LARSON JILL	22327 SW 111TH AVE	TUALATIN	OR	97062
2S134AC13200	LARSON THOMAS R & LARSON TETIANA P	22810 SW 110TH PL	TUALATIN	OR	97062
2S134AA19500	LAPP TYLER & LAPP EMILY	10781 SW NELSON ST	TUALATIN	OR	97062
2S134AC07401	LANGLEY DENISE	22689 SW 112TH AVE	TUALATIN	OR	97062
2S134AC13600	LANDSTROM JAMES & BRENDA FAMILY TRUST	22950 SW 110TH PL	TUALATIN	OR	97062
2S134AC12500	LAMPERT JAMES A & LAMPERT DEANNA	11155 SW HELENIUS ST	TUALATIN	OR	97062
2S134AB03900	LAKE FOREST HOA			OR	00000
2S134AC05500	LAKE FOREST HOA			OR	00000
2S134AC09400	LAKE FOREST HOA			OR	00000
2S134AC09800	LAKE FOREST HOA			OR	00000
2S134AD08600	LAKE FOREST HOA			OR	00000
2S134AD14700	LAKE FOREST HOA			OR	00000
2S134AD14800	LAKE FOREST HOA			OR	00000
2S135BB04200	LA ANDREW T & TRUONG KHAHN N	10420 SW MILLER CT	TUALATIN	OR	97062
2S135BB04300	LA ANDREW T & TRUONG KHANH N	10420 SW MILLER CT	TUALATIN	OR	97062
2S135BB13700	KUENZI KYLE	22427 SW 104TH AVE	TUALATIN	OR	97062
2S134AA15400	KRIVENS CHRISTOPHER R & KRIVENS JODIE E	22464 SW 107TH AVE	TUALATIN	OR	97062
2S134AA11000	KRAHNKE RICHARD & KRAHNKE CYNTHIA	10861 SW NELSON ST	TUALATIN	OR	97062
2S134AA17600	KOSIK KRIS & KOSIK JULIE	22252 SW 106TH AVE	TUALATIN	OR	97062
2S135BB13800	KORLIPARA HARINI & KORLIPARA SRINIVAS	22449 SW 104TH AVE	TUALATIN	OR	97062
2S134AD08200	KOPACEK FAMILY TRUST	10970 SW MARILYN ST	TUALATIN	OR	97062
2S134AC05700	KONING KATHLEEN A	22623 SW COWLITZ DR	TUALATIN	OR	97062
2S134AD12400	KOIVUNEN GENE SCOTT & KOIVUNEN KRISTA M	10927 SW BROWN ST	TUALATIN	OR	97062
2S134AB00700	KOENIG BRIAN & KOENIG KELLY D	22374 SW 111TH AVE	TUALATIN	OR	97062
2S135BB06200	KOEHN HELMUT ANTON & KOEHN DEBRA KAY	10445 SW MEIER DR	TUALATIN	OR	97062
2S134AC02000	KNIPS GREGORY & LESLIE TRUST	11196 SW PATWIN CT	TUALATIN	OR	97062

2S134AB02700 KLEIN JASON R	22177 SW 111TH AVE	TUALATIN	OR	97062
2S134AC05200 KJEMPERUD NICK P & KJEMPERUD CAITLIN	22458 SW 112TH AVE	TUALATIN	OR	97062
2S134AB00100 KIRAKOSSIAN KEVORK & KIRAKOSSIAN LISA L	11048 SW MARILYN ST	TUALATIN	OR	97062
2S134AA18100 KING VICTORIA V & KING KRISTOPHER J	22335 SW 106TH AVE	TUALATIN	OR	97062
2S135BC10200 KETRENOS MARK & KETRENOS TONI	10514 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AD05900 KENDERES DOUGLAS A & KENDERES DAWN A	22464 SW 109TH TER	TUALATIN	OR	97062
2S134AD08500 KELLEY MARGARET I	11026 SW MARILYN ST	TUALATIN	OR	97062
2S134AC06800 KECK ANDREW J & SARA L TRUST	22668 SW COWLITZ DR	TUALATIN	OR	97062
2S134AA08500 KASHKOULI MILAD	22389 SW 110TH PL	TUALATIN	OR	97062
2S134AD12600 KANYER ROBERT S & KANYER KELLEY A	10909 SW BROWN ST	TUALATIN	OR	97062
2S134AD01100 KANG HU & WANG YUAN	6204 NE 124TH ST	VANCOUVE	WA	98686
2S134AC10100 KAIHANI NOVIN & KAIHANI MISTY R	22865 SW COWLITZ DR	TUALATIN	OR	97062
2S134AA11400 KAHN RICHARD L & ROGERS-KAHN KAREN	10958 SW NELSON ST	TUALATIN	OR	97062
2S134AD00800 JOST CYNTHIA APRIL LIV TRUST	10791 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AA08600 JORDAN JENNIFER M	22367 SW 110TH PL	TUALATIN	OR	97062
2S134AC12200 JONES NATHAN M & JONES NICOLE S	22890 SW 112TH AVE	TUALATIN	OR	97062
2S134AA12700 JOHNSON WENDY & DOUGLAS FAMILY TRUST	10901 SW MARILYN ST	TUALATIN	OR	97062
2S135BB04900 JOHNSON BRYAN C & JOHNSON KELLY J	10415 SW MILLER CT	TUALATIN	OR	97062
2S134AD06900 JOHANNES ERIK & JOHANNES KATHY	11016 SW ONEIDA ST	TUALATIN	OR	97062
2S134AD11600 JOHANSON ANDREW D & JOHANSON RUTH M	10797 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AD13400 JOCHEM JACOB TOD & PELZ CARRIE ANN	10827 SW BROWN ST	TUALATIN	OR	97062
2S135BB08500 JENNINGS JOHN PATRICK & JENNINGS SONJA MARIE	22315 SW TAYLORS DR	TUALATIN	OR	97062
2S134AA08400 JAVERNICK TROY M & JAVERNICK MICHELE L	22411 SW 110TH PL	TUALATIN	OR	97062
2S135BB08700 JAVENS WILLIAM J	22295 SW TAYLORS DR	TUALATIN	OR	97062
2S134AD16200 JANES JAMES NATHAN & JANES HOLLY	10821 SW WESTFALL CT	TUALATIN	OR	97062
2S134AC01800 ISELER-MABON HOLLY & MABON REIN	22608 SW COWLITZ DR	TUALATIN	OR	97062
2S135BB05500 INGRAM RONALD C & INGRAM JEANIE K	10380 SW MEIER DR	TUALATIN	OR	97062
2S135BC11800 IBRAHIM JOSEPH & IBRAHIM LYNDA JO	22539 SW 104TH AVE	TUALATIN	OR	97062
2S134AB01600 IBARAKI ALICIA & IBARAKI MATTHEW	22224 SW 111TH AVE	TUALATIN	OR	97062
2S135BC10100 HUNSTAD SCOTT & HUNSTAD KATIE	10576 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AD07100 HUFFMASTER LAUREN & HUFFMASTER GARY	11027 SW ONEIDA ST	TUALATIN	OR	97062
2S134AA18900 HPA BORROWER 2016-2 LLC	PO BOX 4900	SCOTTSDAI	IAZ	85261
2S134AD10600 HOWE CRAIG S & HOWE JULIE A	10671 SW CLEAR ST	TUALATIN	OR	97062
2S134AD12800 HORTON KAREN E	10895 SW BROWN ST	TUALATIN	OR	97062
2S134AA17300 HORNER LEAH C	22328 SW 106TH AVE	TUALATIN	OR	97062
2S134AC12800 HORNER GEOFFREY CHAD & HORNER DANA	22915 SW 110TH PL	TUALATIN	OR	97062
2S134DA00100 HOLSTROM ERIC	10545 SW TONQUIN LOOP	SHERWOOD	OR	97140
2S135BB08300 HOFFMAN MEL B FAM TRUST & STONE TRUDI JEAN FAM TRUST	10305 SW GARDNER CT	TUALATIN	OR	97062
2S135BC10000 HLEDIK RANDALL S & KATHRYN L REV TRUST	10558 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AD02400 HIRAMATSU TARA M & PETERKIN DAWN M	10759 SW COTTONWOOD ST	TUALATIN	OR	97062
2S135BB08100 HILLIER THOMAS S & HILLIER CYNTHIA D	10345 SW GARDNER CT	TUALATIN	OR	97062
2S134AC01700 HILL RONALD R & HILL VICKI C	22597 SW 112TH AVE	TUALATIN	OR	97062

2S134AC08200	HESS SCOTT W & HESS NATALIE D	11075 SW BROWN ST	TUALATIN	OR	97062
2S134AC13500	HERNANDEZ KIMBERLY A & HERNANDEZ RICARDO	22910 SW 110TH PL	TUALATIN	OR	97062
2S134AD03300	HERNANDEZ GUADALUPE & HERNANDEZ DIVINA	22532 SW 107TH AVE	TUALATIN	OR	97062
2S134DB00101	HERBST PROPERTIES LLC	10595 SW IBACH ST	TUALATIN	OR	97062
2S134AD11300	HENLEY RONALD C & HENLEY JOANNA M	10730 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AC03700	HENDRIX ROY L & HENDRIX KELLIE D	22534 SW 112TH AVE	TUALATIN	OR	97062
2S135BB06900	HENDERSON BRIAN T & PENZER JULIE	10330 SW GARDNER CT	TUALATIN	OR	97062
2S135BC05000	HENDERSON FAMILY TRUST	22711 SW 105TH AVE	TUALATIN	OR	97062
2S135CB00200	HELENIUS LLC	4401 E MOCKINGBIRD LN	PARADISE \AZ		85253
2S134AC09100	HECKER ROGER A JR & HECKER IDA M	11112 SW BROWN ST	TUALATIN	OR	97062
2S135BB03600	HEBERT RANDALL & SUSAN REV TRUST	22230 SW 103RD AVE	TUALATIN	OR	97062
2S135BC12000	HAZARD MATTHEW R & HAZARD AMANDA-LEI E	22551 SW 104TH AVE	TUALATIN	OR	97062
2S135BC05900	HAYWOOD SHAWN & HAYWOOD MICHELLE	10456 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AC02800	HAYDEN JESSE G & HAYDEN CAROLYNNE R	11009 SW PATWIN CT	TUALATIN	OR	97062
2S134AD13500	HAYDEN KRISTIN S & HAYDEN TIMOTHY D	10815 SW BROWN ST	TUALATIN	OR	97062
2S134AA17500	HARRIS FAMILY TRUST	22294 SW 106TH AVE	TUALATIN	OR	97062
2S134AC06900	HARRIS SCOTT D & HARRIS DAINETTE L	22646 SW COWLITZ DR	TUALATIN	OR	97062
2S134DA00300	HARRIS MICHAEL R & HARRIS SUSAN E	10785 SW TONQUON LOOP	SHERWOOD	OR	97140
2S134AA12600	HARDEN ROBERT C & HARDEN LAURA L	10883 SW MARILYN ST	TUALATIN	OR	97062
2S135BC05200	HANSON FAMILY TRUST	22759 SW 105TH AVE	TUALATIN	OR	97062
2S134AA04700	HANSEN REX W & HANSEN ANDREA	10645 SW MEIER DR	TUALATIN	OR	97062
2S134AC08100	HANSEN ALLAN L JR	11097 SW BROWN ST	TUALATIN	OR	97062
2S134AC03400	HANSARD JARED & HANSARD JENNIFER	11163 SW PATWIN CT	TUALATIN	OR	97062
2S134AA10400	HANDSAKER JOSHUA ADAM & HANDSAKER ANNE MARIE	22290 SW 110TH PL	TUALATIN	OR	97062
2S134AC13400	HANCOCK KEITH & HANCOCK CHRISTINA	22870 SW 110TH PL	TUALATIN	OR	97062
2S134AC08400	HALL MATTHEW JOHN & ALLEY DUSTINA A	11049 SW BROWN ST	TUALATIN	OR	97062
2S134AC10200	HALL CHRISTOPHER M & GIBSON SARAH E	22883 SW COWLITZ DR	TUALATIN	OR	97062
2S134AD06700	HALL FORREST J & HALL KATHLEEN E	10978 SW ONEIDA ST	TUALATIN	OR	97062
2S134AC12100	HADDAD WAYNE & HADDAD DEBRA	22860 SW 112TH AVE	TUALATIN	OR	97062
2S134AA11700	HACHMEISTER JACOB KENNETH & HACHMEISTER JENNIFER MAR	10995 SW MARILYN ST	TUALATIN	OR	97062
2S134AD12300	GUERRERO GRISELDA GRACE & GUERRERO ARTURO M	10959 SW BROWN ST	TUALATIN	OR	97062
2S134AC06600	GRIGLOCK THOMAS M & GRIGLOCK ANGELA F	22790 SW COWLITZ DR	TUALATIN	OR	97062
2S135BC04500	GRIGGS ANDY & KIM JOINT TRUST	10465 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AA17200	GREEN MARLS RYAN & GREEN MARISOL	22342 SW 106TH AVE	TUALATIN	OR	97062
2S135BC11500	GREENSPAN KELIE & GREENSPAN JEFFREY	22572 SW 104TH AVE	TUALATIN	OR	97062
2S134AA10700	GRAY STEVEN D & GRAY EMMA K	10965 SW NELSON ST	TUALATIN	OR	97062
2S134AD02500	GRACELY ROBERT	10743 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AC12700	GOUDY REBECCA E & NJS TRUST	22935 SW 110TH PL	TUALATIN	OR	97062
2S134AD01400	GOSELIN LIV TRUST	5422 WESTFIELD CT	LAKE OSWEGO	OR	97035
2S134AD09300	GORDIN HOWARD S & GORDIN CHRISTINE D	22888 SW 106TH AVE	TUALATIN	OR	97062
2S134AC04000	GOODHUE MATTHEW D & DAWN NICOLE LIV TRUST	11138 SW ONEIDA ST	TUALATIN	OR	97062
2S134AD06300	GOODELL CHRIS C & GOODELL CHRISTY T	10914 SW ONEIDA ST	TUALATIN	OR	97062

2S134AD10400	GOODELL MICHAEL L & GOODELL NINA N	10737 SW CLEAR ST	TUALATIN	OR	97062
2S134AA03501	GOFFENA STEVEN M & GOFFENA ROSABLA M	22185 SW 106TH AVE	TUALATIN	OR	97062
2S134AB01100	GNEHM FAMILY REV TRUST	11000 SW MADRONE CT	TUALATIN	OR	97062
2S134DB00200	GLASER KIM A & GLASER ADAM N	23070 SW 112TH AVE	SHERWOOD	OR	97140
2S135BC05300	GLASER JULIA	22775 SW 105TH AVE	TUALATIN	OR	97062
2S134AC13000	GILLAM ERIK & GILLAM ERIN	22855 SW 110TH PL	TUALATIN	OR	97062
2S134AC02700	GILL JAMES A & JONES KIMBERLY	11002 SW PATWIN CT	TUALATIN	OR	97062
2S134AA16200	GERLACH TODD J & GERLACH BRANDI L	22479 SW 106TH AVE	TUALATIN	OR	97062
2S134AA10600	GEORGE WINFRED & GEORGE NICHOLE	22338 SW 110TH PL	TUALATIN	OR	97062
2S134AD09200	GCR TRUST	22850 SW 106TH AVE	TUALATIN	OR	97062
2S135BB08400	GARVIN CURRY A TRUST	22325 SW TAYLORS DR	TUALATIN	OR	97062
2S134AC04500	GARNER MARC S & THELEN LORI S	11041 SW ONEIDA ST	TUALATIN	OR	97062
2S134AA18400	GARFIELD JORDAN R & GARFIELD ALEXANDRIA A	22312 SW 107TH AVE	TUALATIN	OR	97062
2S134AA18500	FRINK BRIAN W & FRINK HAYLEY M	22268 SW 107TH AVE	TUALATIN	OR	97062
2S134AD16300	FREILEY DOUGLAS & FREILEY MARJENE	10845 SW WESTFALL CT	TUALATIN	OR	97062
2S134AD11400	FREEZA ANGELA L	10762 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AD09100	FREEPONS SHANE & WABAUNSEE GWENDOLYN	22826 SW 106TH AVE	TUALATIN	OR	97062
2S134AD07200	FRANC ETHAN P & FRANC LUCY H	11003 SW ONEIDA ST	TUALATIN	OR	97062
2S134AA09600	FOLK JAMES D & FOLK CATHLEEN A	22223 SW 110TH PL	TUALATIN	OR	97062
2S134AB03500	FLORES AVELINO & FLORES MARINA	22381 SW 111TH AVE	TUALATIN	OR	97062
2S134AD01900	FILLIS DAVID E & FILLIS KRISTINA M	10700 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AC02500	FELECiano FAMILY TRUST	11076 SW PATWIN CT	TUALATIN	OR	97062
2S134AC01000	FEINSTEIN ALAN S & FEINSTEIN GAIL L	22471 SW 112TH AVE	TUALATIN	OR	97062
2S134AD11500	FARNSTROM CRAIG S & FARNSTROM CINDI L	10794 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AA14900	FALBO JAMES K & FALBO OKSANA A	22393 SW 107TH AVE	TUALATIN	OR	97062
2S134AD02800	FABURADA KERWIN T & DIAZ LORENE C	22549 SW 107TH AVE	TUALATIN	OR	97062
2S134AA17700	EVERS MELISSA ERIN	22216 SW 106TH AVE	TUALATIN	OR	97062
2S134AC07500	EUZENT BRYAN S & EUZENT MICHELLE	22652 SW 112TH AVE	TUALATIN	OR	97062
2S134AD02600	ETHERLY DAVID LEE & ETHERLY STEPHANIE C	10731 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AD00500	ERICKSON BRYAN E & ERICKSON KRISTIN L	10732 SW DOGWOOD ST	TUALATIN	OR	97062
2S135BC10300	EMEIS WILLIAM & EMEIS CATHY	10482 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AA12500	ELOGBI ABDORAHIM MUSTAFA & BUTT MARIAM	10811 SW MARILYN ST	TUALATIN	OR	97062
2S134AD12000	ELDER DAVID B & ELDER AMY K	10689 SW MCKINNEY ST	TUALATIN	OR	97062
2S135BB05000	ELAM RALPH H & ELAM NANCY A	10395 SW MILLER CT	TUALATIN	OR	97062
2S134AD04400	EGLOFF WILHELM	22636 SW 106TH AVE	TUALATIN	OR	97062
2S134AD15500	EGG JOHN JOSEPH & EGG REBECCA ANN	10874 SW WESTFALL CT	TUALATIN	OR	97062
2S134AA17900	EGAN ANDREW M & EGAN HEIDI A	22289 SW 106TH AVE	TUALATIN	OR	97062
2S135BB06000	EDWARDS BROCK & EDWARDS JULIANE	10485 SW MEIER DR	TUALATIN	OR	97062
2S134AA14800	DUQUE GUSTAVO A & CARILLO ESDARLIM YOHAMI CIFUENTES	22379 SW 107TH AVE	TUALATIN	OR	97062
2S135BB13900	DUPREE JASON & HEATHER TRUST	22461 SW 104TH AVE	TUALATIN	OR	97062
2S134AD14900	DUKEMINIER WILLIAM MARK & DUKEMINIER CATHERINE G	22861 SW 109TH TER	TUALATIN	OR	97062
2S135BC06100	DOHERTY T MICHAEL TRUST	10412 SW DOGWOOD ST	TUALATIN	OR	97062

2S134AD13000	DO CHRISTINE V	10867 SW BROWN ST	TUALATIN	OR	97062
2S134AA14500	DINSDALE PAMELA P	PO BOX 230181	TIGARD	OR	97281
2S134AA10100	DIEDEREN TOMMY D & DIEDEREN EMILY	22226 SW 110TH PL	TUALATIN	OR	97062
2S135BC10400	DEROSA NICHOLAS A & DEROA STEPHANIE J	10448 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AC02400	DERNEDDE MARY B & DERNEDDE MARK D	11094 SW PATWIN CT	TUALATIN	OR	97062
2S135BC05500	DERING STEVEN & DERING ROCHELLE	22764 SW 105TH AVE	TUALATIN	OR	97062
2S134AA11900	DEJONGE COLETTE	10951 SW MARILYN ST	TUALATIN	OR	97062
2S134AD16400	DEHAAN MICHAEL & DEHAAN SAMANTHA	10857 SW WESTFALL CT	TUALATIN	OR	97062
2S135BC05400	DEGROAT GREGORY N & DEGROAT KRISTIN L	22780 SW 105TH AVE	TUALATIN	OR	97062
2S134AA16500	DAWES ROGER K & DAWES JILL D	22430 SW 106TH AVE	TUALATIN	OR	97062
2S134AA15100	DAVIS JARED M & DAVIS HEIDI A	22471 SW 107TH AVE	TUALATIN	OR	97062
2S134AB00400	DAVIS CLIFFORD R & DAVIS MARY E	11033 SW MARILYN ST	TUALATIN	OR	97062
2S134AB00900	DAVIS PATRICK A & DAVIS STEPHANI L	11048 SW MADRONE CT	TUALATIN	OR	97062
2S134AD09500	DAVIS JOSEPH C & DAVIS SUZETTE B	22972 SW 106TH AVE	TUALATIN	OR	97062
2S134AA11100	DAVIDSON ERIC D & DAVIDSON MARY C	10837 SW NELSON ST	TUALATIN	OR	97062
2S134AD04300	DALEY TIMOTHY & DALEY HEATHER L	22612 SW 106TH AVE	TUALATIN	OR	97062
2S134DB00300	DAISADEGHI MOHAMMAD HOSSEIN REV LIV TRUST	9393 SW 171ST AVE	BEAVERTO	OR	97007
2S134AA09500	CUMMINGS SCOTT & CUMMINGS CATHERINE	22235 SW 110TH PL	TUALATIN	OR	97062
2S134AD03900	CREMA CLAY L & CREMA KARLENE M	22524 SW 106TH AVE	TUALATIN	OR	97062
2S135BC05600	CRASS BRIAN & CRASS SARAH	22742 SW 105TH AVE	TUALATIN	OR	97062
2S134AC07700	COSTELLO DOREEN LYNN	11187 SW BROWN ST	TUALATIN	OR	97062
2S135BB07900	CONTI GARY L TRUST & CONTI GARY L TRUST	10415 SW GARDNER CT	TUALATIN	OR	97062
2S134AD10000	CONSTANZA JANELLE & REMSEN STEVEN	10740 SW CLEAR ST	TUALATIN	OR	97062
2S134AC10800	CONRAD CARL & CONRAD STEPHANIE	22890 SW COWLITZ DR	TUALATIN	OR	97062
2S134AB02800	CONE CHRISTOPHER S & CONE ROYA A	22231 SW 111TH AVE	TUALATIN	OR	97062
2S134AD13800	COLLINS RAYMOND & WEIHRAUCH STEPHANIE L	10818 SW BROWN ST	TUALATIN	OR	97062
2S135BB05700	COCKEY SCOTT E	10450 SW MEIER DR	TUALATIN	OR	97062
2S135BB05200	CLINTON JOHN & CLINTON JENELLE	10325 SW MILLER CT	TUALATIN	OR	97062
2S134AC05400	CLARY CHRISTIAAN & CLARY LYNN	22412 SW 112TH AVE	TUALATIN	OR	97062
2S134AA16700	CLANTON DAMION G & CLANTON LESLEY D	22386 SW 106TH AVE	TUALATIN	OR	97062
2S134AD04100	CLAFLIN MICHAEL JAMES & MARGARET GRAHAM CLAFLIN REV LIV	22562 SW 106TH AVE	TUALATIN	OR	97062
2S135BC10600	CHRISTIANSON MARK & CHRISTIANSON SHANNON	22665 SW YANKTON PL	TUALATIN	OR	97062
2S135BC10900	CHRISTOPHER ANDREW J & CHRISTOPHER GAYLA	22670 SW YANKTON PL	TUALATIN	OR	97062
2S134AC04800	CHIU BONNIE	11089 SW ONEIDA ST	TUALATIN	OR	97062
2S134AD08400	CHIEDA-SIMS JEANNIE K & SIMS DAVID E	11002 SW MARILYN ST	TUALATIN	OR	97062
2S134AD08800	CHAMBERLIN GEORGE E & CHAMBERLIN CHARLENE	PSC 277 BOX 192	APO	AP	96549
2S134AD10500	CESERANI VICTOR W & LEAH M LIV TRUST	10703 SW CLEAR ST	TUALATIN	OR	97062
2S134AC10700	CATLOW CHRISTINE MARY & CATLOW JOSEPH	22945 SW COWLITZ DR	TUALATIN	OR	97062
2S134AD10700	CASPELL STEVE G & KUMAR ANJU	10639 SW CLEAR ST	TUALATIN	OR	97062
2S135BB03300	CASEY ED & JOANNE LIV TRUST	22255 SW 102ND PL	TUALATIN	OR	97062
2S134AC00800	CARLSON WHITNEY L	22447 SW 112TH AVE	TUALATIN	OR	97062
2S134AA14400	CARLIN RUSSELL M & CARLIN KAREN S	10723 SW NELSON ST	TUALATIN	OR	97062

2S134AD08900	CARLEY DANIELLE	22762 SW 106TH AVE	TUALATIN	OR	97062
2S134AC11500	CAREY JAMES A & CAREY JENNIFER L	22867 SW 112TH AVE	TUALATIN	OR	97062
2S134AD12100	CARBONARA TRUST	10663 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AD14400	CARACHEO BRYAN ORTIZ & ORTIZ EMILY	10898 SW BROWN ST	TUALATIN	OR	97062
2S134AC12000	CALAYCAY RAYMUND G & CALAYCAY MERCEDES M	22714 SW COWLITZ DR	TUALATIN	OR	97062
2S134AD09600	CAIN DERICK D & CAIN ANNIE R	10624 SW CLEAR ST	TUALATIN	OR	97062
2S134AC05900	BYE ROBERT J & BYE LAURA M	22657 SW COWLITZ DR	TUALATIN	OR	97062
2S134AD10200	BUTTLERFIELD RAYMON CLOUD & SPOONER MEGAN IRENE	10789 SW CLEAR ST	TUALATIN	OR	97062
2S134AA16000	BUTLER FAMILY TRUST	22417 SW 106TH AVE	TUALATIN	OR	97062
2S135BB05300	BURROUGHS ROBERT SCOTT LIVING TRUST	10320 SW MEIER DR	TUALATIN	OR	97062
2S135BB06300	BURNETT GERALDINE M	10405 SW MEIER DR	TUALATIN	OR	97062
2S134AC01900	BURG DAVID A & BURG TAMMI C	22602 SW COWLITZ DR	TUALATIN	OR	97062
2S134AC11900	BUECHLER LANCE E & BUECHLER LISA	22743 SW 112TH AVE	TUALATIN	OR	97062
2S134AD03100	BUCKLES ANTHONY WAYNE & BUCKLES ALEXANDRA	22574 SW 107TH AVE	TUALATIN	OR	97062
2S135BB02300	BUCK ARTHUR JR	22210 SW 102ND PL	TUALATIN	OR	97062
2S134AC03100	BRYAN M & CHANTELLE K DOCKTER LIV TRUST	11081 SW PATWIN CT	TUALATIN	OR	97062
2S134AC00900	BROSSARD JAMES ALLEN	22465 SW 112TH AVE	TUALATIN	OR	97062
2S135BB04100	BRONSON FAMILY TRUST	10340 SW MILLER CT	TUALATIN	OR	97062
2S134AD13300	BROCKWAY DAVID M & BROCKWAY SHELLY G	10853 SW BROWN ST	TUALATIN	OR	97062
2S134AD00200	BRIEN MATTHEW HAROLD & BRIEN TIFFANY ROSE	10644 SW DOGWOOD ST	TUALATIN	OR	97062
2S135BC04600	BRIDGEMAN RANDALL R & WATERSTRADT LILLIE ROBIN	10487 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AD16600	BRICK JONATHAN R & BRICK LORIANN C	10871 SW WESTFALL CT	TUALATIN	OR	97062
2S134AD07400	BREWER AMIE L & BREWER THOMAS A	10967 SW ONEIDA ST	TUALATIN	OR	97062
2S135BC11400	BRANT ANTHONY W & DRAKE SUNNY	22606 SW 104TH AVE	TUALATIN	OR	97062
2S134AB03000	BOYLE CHRISTOPHER D & BOYLE EMMYLOU	22275 SW 111TH AVE	TUALATIN	OR	97062
2S134AD15000	BOYER GARY J & DEAL MICHAEL W	22895 SW 109TH TER	TUALATIN	OR	97062
2S134AD13900	BOWER KENNETH & BOWER KIMBERLY	10832 SW BROWN ST	TUALATIN	OR	97062
2S134AA19000	BOTTINI 2004 REVOCABLE TRUST	22249 SW 107TH AVE	TUALATIN	OR	97062
2S134AD11900	BOSKET JENNIFER R REV LIV TRUST	10711 SW MCKINNEY ST	TUALATIN	OR	97062
2S134AA04400	BORG JESSICA & DENHART EVAN	10555 SW MEIER DR	TUALATIN	OR	97062
2S135BB06400	BOOMER VERNON C & BOOMER THERESA A	10355 SW MEIER DR	TUALATIN	OR	97062
2S134AA15000	BOLTON JENNIFER K	22445 SW 107TH AVE	TUALATIN	OR	97062
2S134AD15800	BOHN AARON & Bohn ABIGAIL	10836 SW WESTFALL CT	TUALATIN	OR	97062
2S134AD10300	BOATSMAN LESLIE A & BOATSMAN VICKI L	10751 SW CLEAR ST	TUALATIN	OR	97062
2S134AD09000	BLANK FAMILY TRUST	22794 SW 106TH AVE	TUALATIN	OR	97062
2S134AA02700	BLAIR TIMOTHY & LAURA REV TRUST	22105 SW 107TH AVE	TUALATIN	OR	97062
2S134AB01800	BLACK THOMAS E & BLACK MELISSA J	22186 SW 111TH AVE	TUALATIN	OR	97062
2S134AD07900	BINSTOCK JASON MITCHELL & BINSTOCK CAITLIN AUDREY KOCAF	22431 SW 109TH TER	TUALATIN	OR	97062
2S135BC12100	BIGGS RANDY & BIGGS AIMEE	22567 SW 104TH AVE	TUALATIN	OR	97062
2S134AD06200	BEVILL-KOHLER ANGELA K	10900 SW ONEIDA ST	TUALATIN	OR	97062
2S134AB00200	BERNING RYAN T & BERNING NATALIE A	11060 SW MARILYN ST	TUALATIN	OR	97062
2S134AC10400	BERGMANN MICHELE JEAN LIV TRUST	22901 SW COWLITZ DR	TUALATIN	OR	97062

2S134AA18700	BENSON SETH & MATTOON MARIAH	22213 SW 107TH AVE	TUALATIN	OR	97062
2S134AC11300	BENNETT DANA & BENNETT LAWRENCE JR	22821 SW 112TH AVE	TUALATIN	OR	97062
2S134AC11600	BELL JAMES & ZHANG MING	22934 SW COWLITZ DR	TUALATIN	OR	97062
2S134AC06200	BECK HOLLY BUCHANAN	22729 SW COWLITZ DR	TUALATIN	OR	97062
2S135BC10500	BEATTIE ZACH & BEATTIE SHELBY JACE & TSENG CINDY LEE	10400 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AD02000	BEARDEMPHL JACOB & BEARDEMPHL ALEXIS	10736 SW COTTONWOOD ST	TUALATIN	OR	97062
2S134AB01300	BEALL WARE T JR & BEALL INEZ T	22282 SW 111TH AVE	TUALATIN	OR	97062
2S134AD09400	BARTHEL REV LIV TRUST	22934 SW 106TH AVE	TUALATIN	OR	97062
2S134AC03000	BARSOTTI NICHOLAS & BARSOTTI SARAH	11053 SW PATWIN CT	TUALATIN	OR	97062
2S134AB02200	BARRETT STEVEN DENNIS & BARRETT BRITTANY ALEXIS	11118 SW GRAM ST	TUALATIN	OR	97062
2S135BB05900	BARBER JEREMY & BARBER JAMIE	10490 SW MEIER DR	TUALATIN	OR	97062
2S134AA11500	BANKS LONDON & BANKS MIRANDA	10970 SW NELSON ST	TUALATIN	OR	97062
2S134AA02800	BALZER KARL V & HADLEY LEIGH ANNE	22135 SW 107TH AVE	TUALATIN	OR	97062
2S134AA10200	BALDWIN GARRETT & MEGAN TRUST	22238 SW 110TH PL	TUALATIN	OR	97062
2S134AA09300	BALDES MARY FRANCES C	22257 SW 110TH PL	TUALATIN	OR	97062
2S134AC04200	BACHMAN JUSTIN TAYLOR & BACHMAN NICOLE MARIE	11094 SW ONEIDA ST	TUALATIN	OR	97062
2S135BB04000	BACHMAN DONALD G & BACHMAN ELIZABETH A	22365 SW 103RD AVE	TUALATIN	OR	97062
2S134AB01000	BACHHUBER MARTIN HUGO & BACHHUBER ALANNA CYNTHIA	11026 SW MADRONE CT	TUALATIN	OR	97062
2S134AC08500	BACHELLER SUSAN ANN	11031 SW BROWN ST	TUALATIN	OR	97062
2S135BB04700	AZAROW ARNOLD P & AZAROW ELLENORE K	10465 SW MILLER CT	TUALATIN	OR	97062
2S134AC08000	AYALA GEORGE	9043 SW ARAPAHO RD	TUALATIN	OR	97062
2S135BB04400	AUST LAURA J	10450 SW MILLER CT	TUALATIN	OR	97062
2S134AD04500	ATKINSON JENNIFER N & ATKINSON LEE A	22658 SW 106TH AVE	TUALATIN	OR	97062
2S134AD05800	ATKINSON T&K TRUST	22440 SW 109TH TER	TUALATIN	OR	97062
2S134AD06400	ARRUDA JAMIE C	10928 SW ONEIDA ST	TUALATIN	OR	97062
2S134AC07900	ARPIAINEN ANGELIQUE	11151 SW BROWN ST	TUALATIN	OR	97062
2S134AD14200	ARNOTT DARRIN & ARNOTT BRIDGET	10876 SW BROWN ST	TUALATIN	OR	97062
2S134AD08300	ARNETT KIMBERLY MARIE	10998 SW MARILYN ST	TUALATIN	OR	97062
2S134AB02900	APRATI KELLYE & APRATI JEFFREY	22267 SW 111TH AVE	TUALATIN	OR	97062
2S134AA17400	APIADO AMY E & APIADO ANTHONY J	22300 SW 106TH AVE	TUALATIN	OR	97062
2S134AC04900	ANDRESS KIP	11117 SW ONEIDA ST	TUALATIN	OR	97062
2S134AC02100	ANDERSON ERIC T	11170 SW PATWIN CT	TUALATIN	OR	97062
2S135BB05400	ANAGNOS LIV TRUST	10340 SW MEIER DR	TUALATIN	OR	97062
2S134AC04400	AMMERMAN KRIS & AMMERMAN KRISTIN	11058 SW ONEIDA ST	TUALATIN	OR	97062
2S135BC04200	AMEN MATTHEW & AMEN KRISTEN	10403 SW DOGWOOD ST	TUALATIN	OR	97062
2S134AA14300	ALVARES ARTIE E FAM REV TRUST	10727 SW NELSON ST	TUALATIN	OR	97062
2S134AC08300	ALT JESSICA & ALT STEPHEN	11063 SW BROWN ST	TUALATIN	OR	97062
2S134AD15300	ALLAN TERRANCE M & ALLAN YONG-SUK	10896 SW WESTFALL CT	TUALATIN	OR	97062
2S134AD14500	AHRENKIEL JUSTIN & AHRENKIEL ERIN	10910 SW BROWN ST	TUALATIN	OR	97062
2S134AB00500	ACOSTA BRIGIT TRUST	11057 SW MARILYN ST	TUALATIN	OR	97062
	AKS ENGINEERING & FORESTRY LLC	12965 SW HERMAN ROAD, S	TUALATIN	OR	97062



CUP25-0001 Notice of Hearing

From Madeleine Nelson <mnelson@tualatin.gov>

Date Wed 6/4/2025 11:46 AM

To planning@sherwoodoregon.gov <planning@sherwoodoregon.gov>; bateschell@wilsonvilleoregon.gov <bateschell@wilsonvilleoregon.gov>; pauly@wilsonvilleoregon.gov <pauly@wilsonvilleoregon.gov>; Dyami_Valentine@washingtoncountyor.gov <dyami_valentine@washingtoncountyor.gov>; theresa_cherniak@co.washington.or.us <theresa_cherniak@co.washington.or.us>; deqinfo@deq.state.or.us <deqinfo@deq.state.or.us>; 'landusenotifications@oregonmetro.gov' <landusenotifications@oregonmetro.gov>; 'ODOT_R1_DevRev@odot.oregon.gov' <odot_r1_devrev@odot.oregon.gov>; baldwinb@trimet.org <baldwinb@trimet.org>; LUComments@cleanwaterservices.org <lucomments@cleanwaterservices.org>; McGladrey, Alexander M. <alexander.mcgladrey@tvfr.com>; KHerrod@republicservices.com <kherrod@republicservices.com>; Alexander Pulaski <apulaski@ttsd.k12.or.us>; gbennett@sherwood.k12.or.us <gbennett@sherwood.k12.or.us>; info@theintertwine.org <info@theintertwine.org>; lburton@ttsd.k12.or.us <lburton@ttsd.k12.or.us>; Anneleah@tualatinchamber.com <anneleah@tualatinchamber.com>; OR.METRO.ENGINEERING@ZIPLY.COM <or.metro.engineering@ziply.com>; tod.shattuck@pgn.com <tod.shattuck@pgn.com>; brandon.fleming@pgn.com <brandon.fleming@pgn.com>

Cc Sherilyn Lombos <slombos@tualatin.gov>; Don Hudson <dHUDSON@tualatin.gov>; Kevin McConnell <Kmcconnell@tualatin.gov>; Heather Heidel <hheidel@tualatin.gov>; Aquilla Hurd-Ravich <ahurd-ravich@tualatin.gov>; Steve Koper <skoper@tualatin.gov>; Mike McCarthy <mmccarthy@tualatin.gov>; Tony Doran <TDORAN@tualatin.gov>; Hayden Ausland <hausland@tualatin.gov>; Sidaro Sin <ssin@tualatin.gov>; Rich Mueller <rmueller@tualatin.gov>; Tom Steiger <TSteiger@tualatin.gov>; Terrance Leahy <t Leahy@tualatin.gov>; Ernie Castro <ECASTRO@tualatin.gov>; Tom Scott <tscott@tualatin.gov>; Martin Loring <mloring@tualatin.gov>; Lindsey Hagerman <lhagerman@tualatin.gov>; Erin Engman <eengman@tualatin.gov>; Keith Leonard <kleonard@tualatin.gov>

1 attachment (135 KB)

CUP25-0001 Notice of Hearing.pdf;



NOTICE OF HEARING AND OPPORTUNITY TO COMMENT

NOTICE IS HEREBY GIVEN that a public hearing will be held before the Tualatin Planning Commission at 6:30 p.m., Wednesday, July 16, 2025, at the Tualatin City Services Building located at 10699 SW Herman Road, Tualatin, OR 97062. All are invited to attend the hearing in-person and testify verbally. The meeting can also be attended and comments can be issued virtually over Zoom. A Zoom meeting link will be published with the meeting agenda and packet materials at least one week prior to the hearing date at: www.tualatinoregon.gov/meetings.

AKS Engineering & Forestry, LLC, on behalf of the City of Tualatin, proposes a Conditional Use Permit application to allow a new water storage reservoir and pump station in the Low Density Residential (RL) Planning District.

The site is a 4.75-acre lot located at 22675 SW 108th Avenue (Tax Lot: 2S134AD05400).

You may view the application materials on our Projects Page:

<https://www.tualatinoregon.gov/planning/cup25-0001-sw-108th-ave-water-reservoir-pump-station>

Comments due for staff report by **July 2, 2025**.

Conditional Use Permit Approval Criteria: Tualatin Comprehensive Plan; Tualatin Development Code Chapters: 32, 33, 39, 40, 74, and 75.

TO PROVIDE COMMENTS:

Email: mnelson@tualatin.gov

First Class Mail: Planning Division Attn: Madeleine Nelson
10699 SW Herman Road
Tualatin, OR 97062
Phone: 503-691-3027

A staff report will be available at least seven days before the hearings at www.tualatinoregon.gov/meetings for inspection at no cost, and printed copies will be provided at a reasonable cost.

Individuals wishing to comment may do so in writing to the Planning Division before the hearing and/or present written and/or verbal testimony to the Planning Commission at the hearing. To be included in the materials packet published ahead of the hearing, comments must be received by July 2, 2025.

The public hearing will begin with a staff presentation, followed by testimony by proponents, testimony by opponents, and rebuttal. The time of individual testimony may be limited. If a participant requests before the hearing is closed, the record shall remain open for at least 7 days after the hearing.

Everyone is invited to attend the hearing and comment: Failure of an issue to be raised in the hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals (LUBA) based on that issue. The failure of the applicant to raise constitutional or other issues relating to the proposed conditions of approval with sufficient specificity to the decision maker to respond to the issue precludes an action for damages in circuit court.

Notice of the Decision will only be provided to those who submit written comments regarding that application or testify at the hearing.

For additional information contact:

Madeleine Nelson, Associate Planner, mnelson@tualatin.gov and (503) 691-3027



CUP25-0001 Notice of Hearing

From Madeleine Nelson <mnelson@tualatin.gov>

Date Wed 6/4/2025 11:45 AM

To Melissa Slotemaker <slotemakerm@aks-eng.com>; Abby McFetridge <Amcfetridge@tualatin.gov>; Mike McCarthy <mmccarthy@tualatin.gov>; Sherilyn Lombos <slombos@tualatin.gov>

Cc Steve Koper <skoper@tualatin.gov>

 1 attachment (135 KB)

CUP25-0001 Notice of Hearing.pdf;



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You may view the application materials on our Projects Page:

<https://www.tualatinoregon.gov/planning/cup25-0001-sw-108th-ave-water-reservoir-pump-station>

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Conditional Use Permit Approval Criteria: Tualatin Comprehensive Plan; Tualatin Development Code Chapters: 32, 33, 39, 40, 74, and 75.

TO PROVIDE COMMENTS:

Email: mnelson@tualatin.gov

First Class Mail: Planning Division Attn: Madeleine Nelson
10699 SW Herman Road
Tualatin, OR 97062
Phone: 503-691-3027

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For additional information contact:

Madeleine Nelson, Associate Planner, mnelson@tualatin.gov and (503) 691-3027



CUP25-0001 Notice of Hearing

From Madeleine Nelson <mnelson@tualatin.gov>

Date Wed 6/4/2025 11:49 AM

To Riverparkcio@gmail.com <riverparkcio@gmail.com>; jasuw7@gmail.com <jasuw7@gmail.com>; christine@newmountaingroup.com <christine@newmountaingroup.com>; rockybixby@hotmail.com <rockybixby@hotmail.com>; katepinamonti@hotmail.com <katepinamonti@hotmail.com>; cynmartz12@gmail.com <cynmartz12@gmail.com>; cio.East.west@gmail.com <cio.east.west@gmail.com>; doug_ulmer@comcast.net <doug_ulmer@comcast.net>; keenanwoods7@gmail.com <keenanwoods7@gmail.com>; dana476@gmail.com <dana476@gmail.com>; jvanetten59@gmail.com <jvanetten59@gmail.com>; tualatinmidwestcio@gmail.com <tualatinmidwestcio@gmail.com>; tmpgarden@comcast.net <tmpgarden@comcast.net>; sixgill@comcast.net <sixgill@comcast.net>; jdrsr80@gmail.com <jdrsr80@gmail.com>; snoelluwcwle@yahoo.com <snoelluwcwle@yahoo.com>; theawood48@gmail.com <theawood48@gmail.com>; MartinazziWoodsCIO@gmail.com <martinazziwoodscio@gmail.com>; solson.1827@gmail.com <solson.1827@gmail.com>; abuenzli_pdx@hotmail.com <abuenzli_pdx@hotmail.com>

Cc Megan George <mgeorge@tualatin.gov>; Betsy Ruef <bruef@tualatin.gov>; Steve Koper <skoper@tualatin.gov>

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TO PROVIDE COMMENTS:**Email:** mnelson@tualatin.gov**First Class Mail:** Planning Division Attn: Madeleine Nelson
10699 SW Herman Road
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The public hearing will begin with a staff presentation, followed by testimony by proponents, testimony by opponents, and rebuttal. The time of individual testimony may be limited. If a participant requests before the hearing is closed, the record shall remain open for at least 7 days after the hearing.

Everyone is invited to attend the hearing and comment: Failure of an issue to be raised in the hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes appeal to the State Land Use Board of Appeals (LUBA) based on that issue. The failure of the applicant to raise constitutional or other issues relating to the proposed conditions of approval with sufficient specificity to the decision maker to respond to the issue precludes an action for damages in circuit court.

Notice of the Decision will only be provided to those who submit written comments regarding that application or testify at the hearing.

For additional information contact:

Madeleine Nelson, Associate Planner, mnelson@tualatin.gov and (503) 691-3027

M E M O R A N D U M

Date: July 1, 2025

To: Madeleine Nelson, Assistant Planner, City of Tualatin

From: Jackie Sue Humphreys, Clean Water Services (CWS)

Subject: Water Storage Reservoir & Pump Station, CUP25-0001, 2S134AD05400

Please include the following comments when writing your conditions of approval:

PRIOR TO ANY WORK ON THE SITE

A Clean Water Services (CWS) Storm Water Connection Permit Authorization must be obtained. Application for CWS Permit Authorization must be in accordance with the requirements of the Design and Construction Standards, Resolution and Order No. 19-5 as amended by R&O 19-22, or prior standards as meeting the implementation policy of R&O 18-28, and is to include:

- a. Detailed plans prepared in accordance with Chapter 2, Section 2.04.
- b. Detailed grading and erosion control plan. An Erosion Control Permit will be required. Area of Disturbance must be clearly identified on submitted construction plans. If site area and any offsite improvements required for this development exceed one-acre of disturbance, project will require a 1200-CN Erosion Control Permit.
- c. Detailed plans showing the development having direct access by gravity to public storm and sanitary sewer.
- d. Provisions for water quality in accordance with the requirements of the above named design standards. Water Quality is required for all new development and redevelopment areas per R&O 19-5, Section 4.04. Access shall be provided for maintenance of facility per R&O 19-5, Section 4.07.6.

- e. If use of an existing offsite or regional Water Quality Facility is proposed, it must be clearly identified on plans, showing its location, condition, capacity to treat this site and, any additional improvements and/or upgrades that may be needed to utilize that facility.
- f. If private lot LIDA systems proposed, must comply with the current CWS Design and Construction Standards. A private maintenance agreement, for the proposed private lot LIDA systems, needs to be provided to the City for review and acceptance.
- g. Show all existing and proposed easements on plans. Any required storm sewer, sanitary sewer, and water quality related easements must be granted to the City.
- h. Application may require additional permitting and plan review from CWS Source Control Program. For any questions or additional information, please contact Source Control at (503) 681-5175.
- i. Any proposed offsite construction activities will require an update or amendment to the current Service Provider Letter for this project.

CONCLUSION

This Land Use Review does not constitute CWS approval of storm or sanitary sewer compliance to the NPDES permit held by CWS. CWS, prior to issuance of any connection permits, must approve final construction plans and drainage calculations.



TUALATIN DOWNTOWN REVITALIZATION SURVEY

Help spread the word to that the Community Survey will be available online from Monday (7/14) – Friday (8/8)!

<https://survey.alchemer.com/s3/8382386/Tualatin-Downtown-Survey>

Visit the project website for more

details: <https://www.tualatinoregon.gov/economicdevelopment/tualatin-downtown-revitalization>