

1. Call to Order
2. Roll Call
3. Approve Agenda
4. Public Comment

The Planning Commission welcomes public attendance at Planning Commission meetings. RCW 42.17A.555 prohibits government agencies from allowing the use of public facilities, directly or indirectly, for campaign purposes. At this time, citizen comments and inquiries about agenda business are encouraged. If you wish to address the Planning Commission, please stand or raise a hand so you can be called upon. After you are recognized, please come forward to the lectern, state your name, and address for the public record. Your remarks must be limited to three minutes or less. Please use the microphone.

5. Approval of Minutes

- a. [Consider the Minutes of the November 20, 2024, meeting.](#)

6. Public Hearings

- a. [TMC 2.30.110 Membership of the planning commission amendment.](#)
 - b. [Advisory Committee Amendments.](#)

7. New Business

- a. [Papa Murphy's Addition Design District Review.](#)
 - b. [Papa Murphy's Corporate Signage Review.](#)
 - c. [Concurrency Code Discussion.](#)
 - d. [Periodic Update Grant Workplan.](#)

8. Other Business

- a. Bylaws and Rules Procedure discussion.
 - b. [Design District Map Discussion.](#)

9. Adjournment

Next Regular Planning Commission Meeting Will Be Held on February 19, 2025

Planning Commission meetings are accessible to persons with disabilities. For individuals who may require special accommodations, please contact City Hall at (509) 865-6754, 24 hours in advance.

TOPPENISH PLANNING COMMISSION
Meeting Minutes
November 20, 2024

Chairperson Mayer called the meeting to order at 5:30 p.m.

ROLL CALL AND ATTENDANCE

Present: Chairperson Janet Mayer, Vice-Chair Christy Doonan, Commissioners Jesus M. Aguirre, and Gabriella Guel.
Staff: Community Economic Development (CED) Director Andrew Hattori, Permit Coordinator Tami Colley, and Executive Assistant Elvia Cisneros.

Permit Coordinator Colley conducted roll call for each Planning Commissioner to respond their attendance at the meeting. Chair Mayer, Vice-Chair Doonan, and Commissioners Aguirre, Polina and Guel, responded their attendance during roll call.

APPROVAL OF AGENDA

Commissioner Aguirre moved, seconded by Vice-Chair Doonan, to approve the November 20, 2024, meeting agenda. Motion carried unanimously.

PUBLIC COMMENT

None.

APPROVAL OF MINUTES

Commissioner Aguirre moved, seconded by Commissioner Guel to approve the minutes from the October 16, 2024, meeting. Motion carried unanimously.

NEW BUSINESS

CED Hattori introduced himself and gave a brief description of his experience and his role with the Planning Commission.
Mr. Calhoun, Planning Supervisor, introduced himself. He gave a presentation regarding the Comprehensive Plan Climate Element and Climate Policy Advisory Team.

Cancellation of next Planning Commission meeting on 12/18/24. Commissioner Aguirre moved, seconded by Commissioner Guel. Motion carried unanimously.

UNFINISHED BUSINESS

CED Hattori presented the Design Review District review process and the role of the Planning Commission. Commissioners were directed to review the items and be ready to discuss at the next meeting.

Commissioners discussed the latest revisions to the Bylaws and Rules of Procedure. Executive Assistant Cisneros took the drafts again to make changes that were suggested by the Commissioners.

OTHER BUSINESS

None

ADJOURNMENT

There being no further business the meeting was adjourned at 6:28 p.m.

Janet Mayer, Chairperson

Andrew Hattori, Community Economic
Development Director

REQUEST FOR PLANNING COMMISSION REVIEW

Meeting Date: January 15, 2025

Subject: TMC 2.30.110 Membership of the planning commission amendment

Attachments: TMC 2.30.110 Draft code amendment

Presented by: Andrew Hattori, CED Director

Approved For Agenda By: Andrew Hattori, CED Director

Discussion:

Previous planning commission bodies encountered issues with reliability in attendance and ultimately forming a consistent quorum to home public meetings. Under RCW 35.63.040 “Commissions-Organization-Meeting-Rules” planning commission’s are required to “...*hold at least one regular meeting in each month for not less than nine months in each year...*”, in an effort to maintain a consistent body and simplified code, staff presents a code amendment affecting TMC 2.30.110 to modify the number of members from an allowance of up to seven members to a strict five member commission.

Recommendation: Planning commission recommendation for approval of the draft ordinance amending TMC 2.30.110 reducing the limit of planning commission members to five persons to City Council.

Alternatives: 1) Do not recommend City Council approval. 2) Continue for further research and discussion.

2.30.110 Membership of the planning commission.

The planning commission shall consist of ~~either five or seven members but shall at no time consist of an even number of six~~ members. The city council recognizes and values the opinions of the residents of the city of Toppenish, as well as those individuals who own and operate a commercial business in the city, and also appreciates the input of the Toppenish Mural Society to assist in planning and directing the safe and prosperous growth and overall well-being of the city. With that in mind, so long as a majority of the planning commission members are verifiable residents living within the corporate limits of the city of Toppenish, the city council may appoint up to a total of two nonresident planning commission members who may consist of one owner and operator of a commercial business located within the corporate limits of the city of Toppenish and/or one representative of the Toppenish Mural Society. (Ord. 2024-08 § 1, 2024; Ord. 2004-4 § 1, 2004).

REQUEST FOR PLANNING COMMISSION REVIEW

Meeting Date: January 15, 2025

Subject: Amendment of TMCs relating to advisory committee topics

Attachments: Advisory committee draft code amendment

Presented by: Andrew Hattori, CED Director

Approved For Agenda By: Andrew Hattori, CED Director

Discussion:

Advisory committees are generally established as either permanent or temporary bodies that are policy review and discussion arms of the city council to assist in examining issues that have come before the council. The committees are generally created to provide greater depth and detail to issues presented at Council meetings. The proposed code amendment seeks to clarify this stance and add reference to the state law which may need to be accounted for.

Recommendation: Planning commission recommendation for approval of the draft ordinance amending TMC to clarify topics presented at advisory committee meetings and reference state law.

Alternatives: 1) Do not recommend City Council approval. 2) Continue for further research and discussion.

2.30.010 Advisory commissions created.

A. There are established and created the following advisory commissions of the city:

1. Parks and recreation advisory board;
2. Planning commission;
3. Lodging tax advisory committee.

B. In addition to the above referred to advisory commissions, other advisory commissions exist including the civil service commission created pursuant to Chapter [2.40](#) TMC.

C. [Advisory commissions shall only address issues referred to them by city council and state law.](#)

2.32.050 Duties.

The public safety committee shall address issues referred to it by the city council, and [state law](#) ~~may also consider issues presented by the public, or by one of its members~~. In addressing an issue, the committee shall discuss it and decide whether to make a recommendation to the city council. The committee may take into consideration information and recommendations from city staff and any other source it deems appropriate. Examples of matters that the public safety committee may address include but are not limited to issues and problems related to police, fire and code enforcement departments, state legislation regarding public safety matters, and emergency management concerns.

2.33.050 Duties.

The budget and finance committee shall address issues referred to it by the city council and staff, and [state law](#) ~~may also consider issues presented by the public, or by one of its members~~. In addressing an issue, the committee shall discuss it and decide whether to make a recommendation to the city council. The committee may take into consideration information and recommendations from city staff and any other source it deems appropriate. (Ord. 2024-02 § 1, 2024).

REQUEST FOR PLANNING COMMISSION REVIEW

Meeting Date: January 15, 2025

Subject: Review of Papa Murphy's Building Modifications

Attachments: Building Permit Application and Materials

Presented by: Andrew Hattori, CED Director

Approved For Agenda By: Andrew Hattori, CED Director

Background:

On November 25, 2024, an application for building and site modifications of a proposed Papa Murphy's location at 402 W 1st Avenue was received by the City of Toppenish. This application includes modifications to the building's exterior including a small addition of a drive-thru window and relocation of a door on the side of the building facing W 1st Avenue. Per Toppenish Municipal Code (TMC) 17.26.080:

17.26.080 Application procedure.

Any application for a permit for the erection or construction of a new building or structure or modification, addition, alteration, moving or demolition of existing structures which would affect the exterior appearance of any existing building or structure, located within the district shall be filed with the building inspector. Upon preliminary approval by the building inspector, the application shall be forwarded to the planning commission for review and the applicant shall be notified of the time and place thereof and he shall be heard; provided, that forwarding of applications to the planning commission shall not be required in the case of modification or alteration of the interior of a building or structure; provided further, that forwarding of applications to the planning commission shall not be required in the case of minor work, modifications, alterations, repairs or maintenance to the exterior of a building or structure which do not materially change the appearance of such building or structure with respect to any of the criteria set forth in TMC 17.26.100 and 17.26.110; provided further, that forwarding of applications to the planning commission shall not be required in the case of single-family dwellings or noncommercial buildings.

Since the application includes the addition and alteration of a building façade review by the planning commission for approval, denial, or approval with conditions is required.

Analysis:

The criteria established for planning commission review is listed in TMC 17.26.100 and TMC 17.26.110:

17.26.100 Criteria evaluation for permit approval or disapproval – Generally.

In considering any application for planning commission approval, the planning commission shall be guided by the following criteria:

- A. The planning commission shall examine the application to insure that all provisions of this chapter and all other ordinances, master plans, general plans and standards of the city shall be complied with where applicable.*

- B. The proposal shall not have any detrimental effect upon the general health, welfare, safety, and convenience of persons residing or working in the neighborhood; or shall not be detrimental or injurious to the neighborhood.*
- C. The proposal shall promote a desirable relationship of structures to one another, to open spaces and topography both on the site and in the surrounding neighborhood; or shall not be detrimental or injurious to the neighborhood.*
- D. The height, area, setbacks, and overall mass, as well as parts of any structure (buildings, walls, signs, lighting, etc.) and landscaping shall be appropriate to the proposal, the neighborhood and the community.*
- E. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.*
- F. The architectural character of the proposed structure shall be in harmony with, and compatible to, those structures in the neighboring environment, and the architectural character adopted for any given area, avoiding excessive variety or monotonous repetition.*
- G. All mechanical equipment, appurtenances and utilities, shall be concealed from view and integral to the building design.*
- H. The architectural character of a proposal shall take cognizance of the unique climatological and other environmental factors of this region and promote an indigenous architectural feeling.*

17.26.110 General criteria – Western design.

The following general criteria is set forth for western design:

- A. Western architecture of the 1800s and early 1900s usually involved wooden false front effects and usually contained a wooden post supported, shake shingle marquee. Building styles also included exteriors of masonry, brick, and stone.*
- B. The false fronts normally used gave the viewer a square impression, although many buildings had gabled roof lines which were often hidden by the false fronts. The masonry and stone buildings used during that period were predominately flat-roofed, although residences infrequently had pitched roofs.*
- C. Shake shingles were often used on the face of the building forming a parapet of varying proportions but usually the parapet did not extend downward past the top of the windows.*
- D. Marquees were usually pitched and often covered with shake shingles; however, many of these porches were flat to allow for a sun deck which was usually enclosed by an ornate wooden fence and handrail. Sometimes, wrought iron was used for fencing of the sun deck.*
- E. Window shapes during this period were often square, arched, or rectangular and frequently were large enough to extend from floor to ceiling. Bay windows protruding outward from the main building walls were often used in four- to six-sided extensions. Window frames were usually simple and plain – free from ornate designs.*

F. Doors were usually centered equidistant from the sides of the building front; however, buildings on corner lots often had entrances at the corner. Plain designs were predominate and glass doors were infrequent.

G. Street lighting and the exterior lighting on buildings usually were enclosed by carriage lamp fixtures. Gas lights of wrought iron and glass were frequent and lamps on the exterior of buildings were usually of the same type but more infrequent.

Analysis:

The building as it exists today was previously heard at the May 31, 2019 planning commission meeting. Since the approval the only modifications to the site appear to have been a change in color accents of the building from Pantone 199c (a color approved for the design district signage) to black. The building was initially constructed as a vacant office space and has since had businesses move utilize the site.

The proposal involves the modification to the northern façade of the building, facing W 1st Avenue and include:

1. Construction of a small addition for drive-thru services. Building façade materials to match existing.
2. Removal of easternmost door and replacement of rectangular windows.
3. Installation of new door on western side of the façade, the door will be majority glass.

While some elements of the existing building do not appear to meet all of the design requirements for the design district, such as the stucco façade, the previous planning commission hearing approved the design in its entirety. Given this information and the lack of large site/building modifications, staff believes it is appropriate to allow the addition and door/window modifications in conformance with the previously approved design.

Staff Recommended Conditions:

1. Development and construction of the modifications to the façade shall be in substantial conformance to the existing materials and designs.

Recommendation: Planning commission approval of proposed modifications to the existing façade with conditions as indicated in the January 15, 2024 staff report.

Alternatives: 1) Denial of application 2) Approval without conditions 3) Continue for further research and discussion

**TOPPENISH COMMUNITY
DEVELOPMENT DEPARTMENT**

Staff Report

May 31, 2019

21 West First Avenue
Toppenish, WA 98948

"Where the West Still Lives"

Request: Review of a proposed new office building in support of an existing used car dealership. The review is pursuant to the Design Review District (DRD) is to ensure compatibility with Western Theme Design Criteria as established in Toppenish Municipal Code Chapter 17.26.

Location: 402 W. First Avenue. The site is situated on the southwest corner of West First Avenue and South Beech Street.
Yakima County Parcel No. 201010-22453

Applicant: Jose Aguilar

Zoning: B-2 General Business District, Design Review District (DRD)

Land Use: North: Food service fronts W. First Ave. Beyond is residential
East: Assorted commercial businesses.
West: Convenience store, beyond are facilities of the Yakima Valley Farm Worker Clinic.
South: Single and Multi-Family Housing.

Required Setbacks: There are no required setbacks in the B-2 District.

Background: The proposed building replaces an office building converted from an automobile service station. This structure was demolished earlier this year.

Site Specifics: The site is 114.24 feet wide as measured along the West First Avenue frontage and 101.32 feet deep for an overall area of roughly 11,575 square feet. The site is flanked by S. Beech Street to the east and an open alley to the west. A vacated alley is located south of the site. The ownership of the alley is in question. The applicant is not proposing development of this area. Proposed access is via an exiting driveway approach on S. Beech Street just south of West First Avenue. There will be secondary access via the alley on the west side of the site.

The site accommodates parking for 19-vehicles.

Proposal:

The proposed structure is roughly 1,940 square feet in size. The building will be situated near the southwest corner of the site.

The applicant has provided are rendering depicting the façade design of the north (West First Ave.) and east (S Beech St.) elevations of the proposed building.

The exterior siding consists of a combination of light and dark grey painted stucco with red trim. The north elevation will have three rectangular banks of windows; two banks of windows are proposed on the east elevation. The window banks are distributed evenly throughout the elevations. The finish of the window frames is dark grey anodized aluminum. The window banks nearest the northeast corner of the building will have decorative awnings, one on the north elevation the other on the east elevation. The awnings will be painted in the contrasting red color.

The applicant has clarified that the color of the red trim including the awnings with be Pantone 199c, a color approved by the Planning Commission for signs.

The exterior walls will have a parapet extension above the roof line. The parapet height varies slightly on the north and east elevations near the corner of the building. At the northeast corner, the north and east elevations step out from the wall line for visual interest. The façade and window elements are rectangular in shape and visually balanced with a square impression. Renderings of other walls were not provided.

The north and east elevations will each have an access door (double doors). These doors are centered in the window banks nearest to the northeast corner of the building.

An additional window bank and access door is located on the west elevation, adjacent to the alley.

The applicant will occupy the entire building as office and display space in support of the car lot. The floor plan depicts two potential tenant spaces for flexibility in the future.

Design Standards:

Toppenish Municipal Code 17.26.110 establishes the following general criteria for western design:

- A. Western architecture of the 1800s and early 1900s usually involved wooden false front effects and usually contained a wooden post-supported, shake shingle marquee. Building styles also included exteriors of masonry, brick, and stone.
- B. The false fronts normally used gave the viewer a square impression, although many buildings had gabled roof lines which were often hidden by the false fronts. The masonry and stone buildings used during that period were predominately flat-roofed, although residences infrequently had pitched roofs.
- C. Shake shingles were often used on the face of the building forming a parapet of varying proportions but usually the parapet did not extend downward past the top of the windows.
- D. Marquees were usually pitched and often covered with shake shingles; however, many of these porches were flat to allow for a sun deck which was usually enclosed by an ornate wooden fence and handrail. Sometimes, wrought iron was used for fencing of the sun deck.
- E. Window shapes during this period were often square, arched, or rectangular and frequently were large enough to extend from floor to ceiling. Bay windows protruding outward from the main building walls were often used in four- to six-sided extensions. Window frames were usually simple and plain – free from ornate designs.
- F. Doors were usually centered equidistant from the sides of the building front; however, buildings on corner lots often had entrances at the corner. Plain designs were predominating, and glass doors were infrequent.
- G. Street lighting and the exterior lighting on buildings usually were enclosed by carriage lamp fixtures. Gas lights of wrought iron and glass were frequent and lamps on the exteriors of buildings were usually of the same type but more infrequent.

Review Criteria:

Toppenish Municipal Code 17.26.100 establishes the following general evaluation criteria for permit approval or disapproval:

- A. Compliance with all provisions of this chapter, ordinances, master plans, general plans and standards of the city shall be complied with where applicable.
- B. The proposal shall not have any detrimental effect upon the general health, welfare, safety, and convenience of persons residing or working in the neighborhood; or shall not be detrimental or injurious to the neighborhood.
- C. The proposal shall promote a desirable relationship of structures to one another, to open spaces and topography both on the site and in the surrounding neighborhood, all in keeping with the western design.
- D. The height, area, setbacks, and overall mass, as well as parts of any structure (buildings, walls, signs, lighting, etc.) and landscaping shall be appropriate to the proposal, the neighborhood and the community.
- E. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and pedestrian ways shall be so designed as to promote safety and convenience.
- F. The architectural character of the proposed structure shall be in harmony with, and compatible to, those structures in the neighboring environment, and the architectural character adopted for any given area, avoiding excessive variety or monotonous repetition.
- G. All mechanical equipment, appurtenances and utilities, shall be concealed from view and integral to the building design.

Other Issues:

Building code requirements may affect the design of the building and configuration of the south wall. Walls less than 10-feet from the property line must generally be of fire rated construction. A parapet (extension of the wall above the roof line) at least 30-inches high may be required on the south wall of the addition.

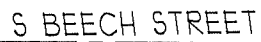
Analysis:

- A. The proposed building and site improvements comply with applicable zoning and other standards.
- B. The parking ratio for office buildings is one space per 400-square feet of floor area. A minimum of 5-off street parking spaces is required, 19 spaces are provided.
- C. The Ingress/egress point is logically located and meets the approval of the Director of Public Works.
- D. The height, area, setbacks and overall mass, together with the site design are appropriate to the neighborhood and community.
- E. Mechanical equipment is concealed from view and integral to the building design.
- F. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and services areas and pedestrian ways are so designed to promote safety and convenience.
- G. The proposed building promotes a desirable relationship to other structures in the neighborhood. The proposed building is consistent with the western design theme.
- H. The height setbacks and overall mass of the proposed structure is consistent with the western design theme.
- I. This review is limited to the overall compliance of the proposal with the Western Theme design requirements. The City takes no position as to the ownership of lands south of the site. The proposal as submitted, does not include development of this area.

Recommendation: Approval subject to the following:

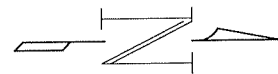
- 1. Development and construction must be in substantial compliance with the site plan and building renderings submitted with the application.
- 2. The contrast red trim and window awning color must be substantially similar to Pantone 199C.





SITE PLAN

SCALE : 1" = 20'



CUSTOM DESIGN FOR:
JOSE AGUILAR
(509) 728-1180

ORIGINAL TRACINGS OF THESE PRINTS ARE THE PROPERTY OF TRADITIONAL DESIGN. REPRODUCTION OF THESE PLANS IN ANY FORM WILL SUBJECT PARTY VIOLATING THIS OWNERSHIP TO CIVIL COURT ACTION. ALL CHANGES SHALL BE VERIFIED WITH DESIGNER BEFORE CONSTRUCTION. VERIFY ALL DIMENSIONS ON JOB SITE AND REPORT ANY DISCREPANCIES TO BUILDING DESIGNER.

CITY OF TOPPENISH
COMMUNITY DEVELOPMENT DEPARTMENT
21 West First Avenue
Toppenish, WA 98948
"Where the West Still Lives"

MEMORANDUM

To: File

From: William Rathbone, Community Development Director

Subject: Site Plan for Aguilar Building at 402 W. 1st Ave.

Date: May 10, 2019

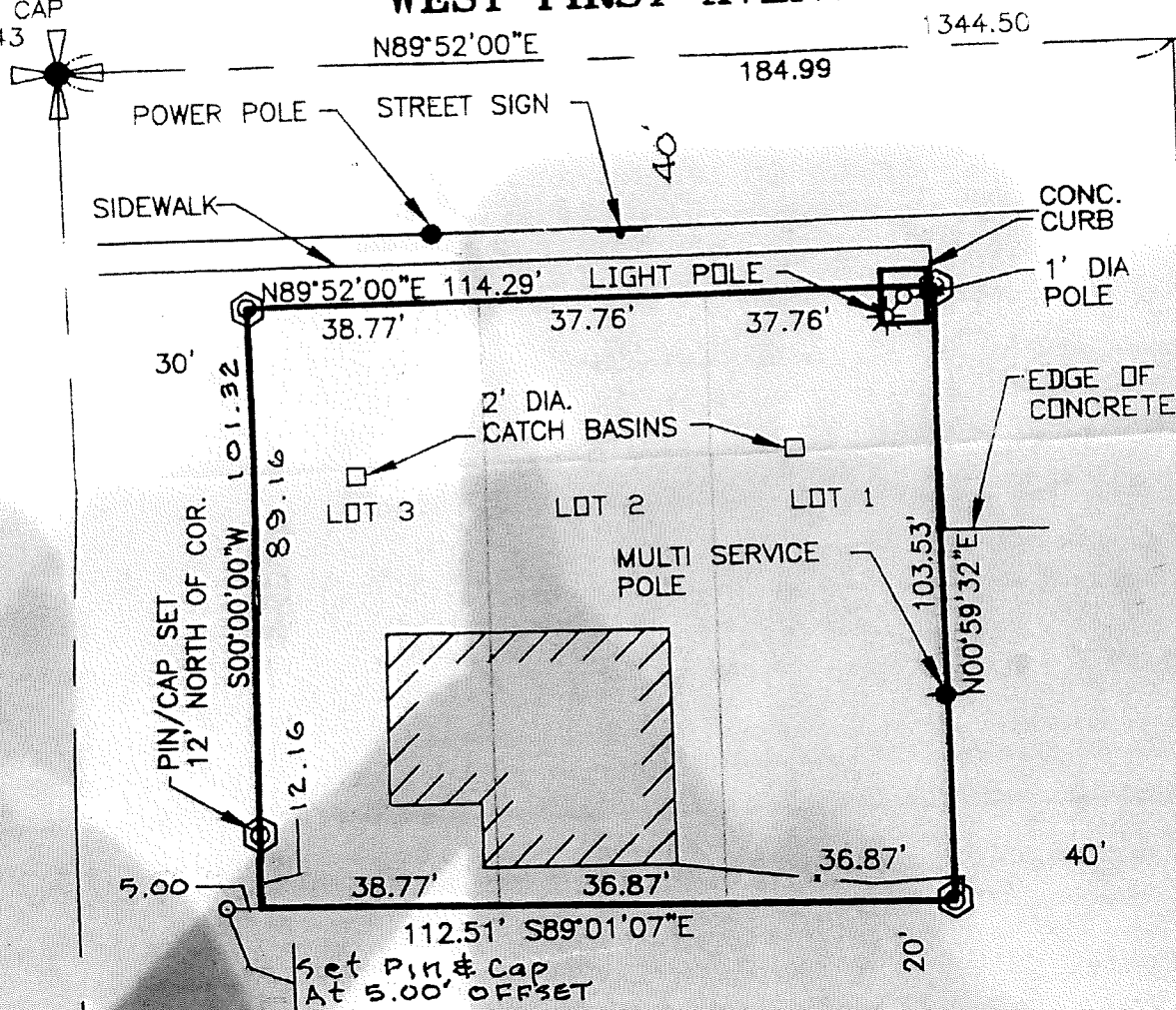
Upon initial review of the site plan the following issues were identified:

1. West 1st Avenue. The parking spaces depicted along and perpendicular to W. 1st Avenue encroach on city right of way by 5-feet.
2. South Beech Street. The parking spaces depicted along and perpendicular to S. Beech Street encroach on city right of way by 9-feet.
3. Claimed ownership of ½ of the vacated alley right of way.
 - a. The site plan depicts 10-feet of property constituting a vacated alley right of way as owned by the applicant. The applicant purchased the site subject to the application in October 2018. The legal description of the property purchased does not include the vacated alley right of way. In addition, fencing and landscaping of this area suggest that the property owner to the south may have a legitimate ownership claim to the entire alley right of way. Finally, there is a unique history regarding this right-of-way as explained below.
 - b. The alley right of way was vacated per ordinance A-249 in 1945 in response to a petition filled by then property owners Gust and Emma Kontos, husband and wife. The ordinance states that the Kontos's owned all lands adjoining the alley. Normally, ½ the right of way goes to one side and ½ goes to the other side. In this case, with the same owner on both sides, the ownership issue was irrelevant.
 - c. Unfortunately, when the lands were sold, the issue of the alley right of way was not included in the legal descriptions of either of the properties. However, based on fencing and landscaping, all of the right-of-way is controlled by the homeowner south of the Aguilar site.

On Thursday May 10, 2019, I spoke by phone to Ron Pelson of Traditional Designs about the above issues. Ron prepared the site plan and is representing the applicant. At the conclusion of the conversation he agreed to submit a revised site plan removing encroachment of the parking spaces on the rights of way and removing any proposed development from the former alley right-of-way.

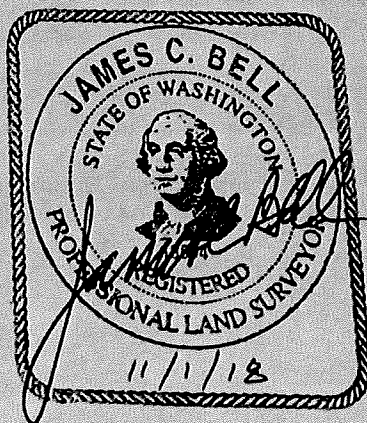
NW 1/4 COR.
SEC. 10, T. 10N., R. 20E., W.M.
FND. 2" AL. CAP
LCR# 2-1243

WEST FIRST AVENUE



1" = 30'

⊙ - Denotes Monument
Found in correct position



BEECH STREET
 $N00^{\circ}59'32''E$ 442.64'

MECHANICAL PERMIT

CITY OF TOPPENISH

21 West First Avenue
Toppenish, WA 98948

"Where the West Still Lives"

Permit No.: 2019-21
Effective Date: 09/24/2019
Expiration Date: 03/24/2020

Description of Work:	Up to 100k BTU & up to 3 tons, 3hp, 100k BTU		
Site Address	402 W. First Ave.	Owner Name	Jose Aguilar
Parcel Number	201010-22453	Owner Address	PO Box 333 Buena, WA 98921
Valuation	N/A	Owner Phone	509-728-1180
Basic Fee	\$25.00	Contractor Name	General Construction LLC.
Equipment Fee	\$36.00	Contractor Address	2205 Butterfield Rd. Yakima, WA
Gas Piping Fee	N/A	Contractor License No.	GENERC*835BD
Total	\$61.00	Contractor Phone	509-831-8648

Call for Inspections: Call (509) 865-7318 to schedule and inspection. 24-Hour Notice Required.

Call before you dig: You must call for a utility locate for any excavations 12-inches or more deep at least 48-hours before you dig. Call for a utility located at 800-424-5555. (RCW 19.122)

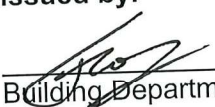
Notice to Permit Holder:

Separate permits are required for fire suppression systems and electrical work. Electrical permits are issued by the Department of Labor and Industries. This permit becomes **null and void** if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. All work must be executed in accordance with approved plans and specifications.

CALL FOR INSPECTIONS: It is the applicant's responsibility to Call for Inspections as Indicated below. Large projects may require multiple inspections:

- ✓ **Groundwork:** Work to be buried below a slab or in a trench. When ducts or pipes are in place and prior any backfill including concrete. Pressure test required
- ✓ **Rough Mechanical:** Ducts and piping. When ducts and piping are in place and sealed. Pressure test is required.
- ✓ **Gas Piping Pressure Test:** When gas piping is in place and properly secured.
- ✓ **Duct/Pipe Insulation:** If insulation is required. After required insulation has been installed and secured.
- ✓ **Equipment:** After equipment has been installed and all connections made, thermostat is in place.
- ✓ **System Commissioning:** As required by the Washington State Energy Code.
- ✓ **Final Inspection:** When installation is complete.

Issued by:


Building Department

140404
Receipt Number

09/24/19
Date

9/24/19
Date

I hereby certify under penalty of the laws of the State of Washington, that I have read and examined the information in this permit and know that this information is true and correct. I will comply with all provisions of law and ordinances governing this type of construction work, whether specified herein or not. I understand that the granting of this permit is not an authorization to violate or cancel any provisions of state or local law regulating the construction or performance of construction sought under this permit.

I further certify, that I am one of the two following general categories as indicated below:

A. I am currently licensed as a general or specialty contractor as defined under RCW 18.27.010 and 18.27.110 and legally qualified to perform the work authorized by this permit, or;

B. I am exempt from the requirements of the Contractor Registration Laws, and will do my own work or use not more than two registered and licensed subcontractors in conjunction with the work performed under the permit applied herein.


☒ Owner
☐ Contractor
☐ Authorized Agent

9-24-19
Date

BUILDING PERMIT

City of Toppenish

21 West First Avenue
Toppenish, WA 98948
"Where the West Still Lives"

Permit No.: 2019-58
Effective Date: 09-24-2019
Expiration Date: 03-24-2020

Description of Work:	Comm. Office 1919 sq. ft/concrete 658 sq. ft		
Site Address	402 W. First Ave.	Owner Name	Jose Aguilar
Parcel Number	201010-22453	Owner Address	PO Box 333 Buena, WA 98921
Valuation	\$206,938.75	Owner Phone	509-728-1180
Permit Fee	\$1,926.00	Contractor Name	General Construction LLC.
Plan Review Fee	\$1,251.90 Amount paid \$1,585.35	Contractor Address	2205 Butterfield Rd. Yakima, WA
State Surcharge	\$6.50	Contractor License No.	GENERC*835BD
Total	\$3,184.40 Amount due \$1,599.05	Contractor Phone	509-831-8648

Call for Inspections: Call (509) 865-7318 to schedule inspections. 24-Hour Notice Required.

Call before you dig: You are required by law to call for a utility locate for any excavations 12-inches or more deep at least 48-hours before you dig. Call for a utility located at 800-424-5555. (RCW 19.122)

Notice to Permit Holder: Separate permits are required for electrical, plumbing, heating and ventilation. Electrical permits are issued by the State of Washington Department of Labor and Industries.

This permit becomes **null and void** if work or construction is not commenced within 180 days of permit issuance and if work is suspended or abandon for a period of 180 days at any time after work has commenced. All work must be executed in accordance with approved plans and specifications.

CALL FOR INSPECTIONS

It is the applicant's responsibility to call for each inspection below:

- ✓ **Footing/Foundation:** When forms are in place, prior to placement of any concrete
- ✓ **Concrete slab, groundwork:** When services are in place and prior covering with backfill and/or concrete.
- ✓ **Framing:** After all framing, bracing, blocking, piping, wiring and ducting are complete, but prior to covering.
- ✓ **Roof and Wall Sheathing:** When sheathing is nailed, but prior to covering.
- ✓ **Insulation:** Wall and or ceiling insulation and vapor barrier to be concealed by finish materials.
- ✓ **Drywall:** After drywall in in place, prior to taping or covering of fasteners.
- ✓ **Final Inspection:** When work is complete, prior to occupancy.
- ✓ **Occupancy:** No occupancy prior to issuance of a certificate of occupancy is permitted.

Issued by:


Building Department
140403
Receipt Number

09/24/2019
Date
9/24/19
Date

I hereby certify under penalty of the laws of the State of Washington, that I have read and examined the information in this permit and know that this information is true and correct. I will comply with all provisions of law and ordinances governing this type of construction work, whether specified herein or not. I understand that the granting of this permit is not an authorization to violate or cancel any provisions of state or local law regulating the construction or performance of construction sought under this permit.

I further certify, that I am one of the two following general categories as indicated below:

- A. I am currently licensed as a general or specialty contractor as defined under RCW 18.27.010 and 18.27.110 and legally qualified to perform the work authorized by this permit, or;
- B. I am exempt from the requirements of the Contractor Registration Laws, and will do my own work or use not more than two registered and licensed subcontractors in conjunction with the work performed under the permit applied herein.

☒ Owner
☐ Contractor
☐ Authorized Agent

9-24-19
Date

PLUMBING PERMIT

City of Toppenish

21 West First Avenue
Toppenish, WA 98948
"Where the West Still Lives"

Permit No.: 2019-15
Effective Date: 09/24/2019
Expiration Date: 03/24/2020

Description of Work:	2 wc, 2 lvtry, 2 sink, 1 wh, 1 side sew, 1 water serv.		
Site Address	402 W. First Ave.	Owner Name:	Jose Aguilar
Parcel Number	201010-22453	Owner Address	PO Box 333 Buena, WA 98921
Valuation	N/A	Owner Phone:	509-728-1180
Plumbing Fee	\$30.00	Contractor Name	General Construction LLC.
Fixture Fee	\$90.00	Contractor Address	2205 Butterfield Rd. Yakima, WA
Gas Piping Fee	N/A	Contractor License No.	GENERC*835BD
Total	\$120.00	Contractor Phone:	509-831-8648

Call for Inspections: Call (509) 865-7318 to schedule inspections. 24-Hour Notice Required.

Call before you dig: You are required by law to call for a utility locate for any excavations 12-inches or more deep at least 48-hours before you dig. Call for a utility located at 800-424-5555. (RCW 19.122)

Notice to Permit Holder: Separate permits are required for work involving alterations to the structure, for mechanical systems and for utility work in the public right of way.

This permit becomes **null and void** if work or construction is not commenced within 180 days of permit issuance and if work is suspended or abandon for a period of 180 days at any time after work has commenced. **All work must be executed in accordance with approved plans and specifications.**

CALL FOR INSPECTIONS:

It is the applicant's responsibility to Call for Inspections as Indicated below. Large projects may require multiple inspections:

- ✓ **Groundwork:** Work to be buried below a slab or in a trench. When pipes are in place and prior any backfill including concrete. Pressure test required.
- ✓ **Rough Plumbing:** Supply and rain/waste/vent systems within building framing. When piping is in place and sealed. Pressure test is required.
- ✓ **Pipe Insulation:** If insulation is required. After required pipe insulation has been installed and secured.
- ✓ **Finish Plumbing:** Fixtures are in place and fully functional. Traps and shut-off valves are installed. The water heater is fully functional with seismic strapping in place.

Issued by:


Building Department

09/24/19
Date

140404
Receipt Number

9/24/19
Date

I hereby certify under penalty of the laws of the State of Washington, that I have read and examined the information in this permit and know that this information is true and correct. I will comply with all provisions of law and ordinances governing this type of construction work, whether specified herein or not. I understand that the granting of this permit is not an authorization to violate or cancel any provisions of state or local law regulating the construction or performance of construction sought under this permit.

I further certify, that I am one of the two following general categories as indicated below:

- A. I am currently licensed as a general or specialty contractor as defined under RCW 18.27.010 and 18.27.110 and legally qualified to perform the work authorized by this permit, or;
- B. I am exempt from the requirements of the Contractor Registration Laws, and will do my own work or use not more than two registered and licensed subcontractors in conjunction with the work performed under the permit applied herein.


☒ Owner
☐ Contractor
☐ Authorized Agent

9-24-19
Date



GENERAL APPLICATION FORM

City of Toppenish
 "Where the West Still Lives"
 21 West First Avenue · Toppenish, Washington 98948 (509) 865-7318
 · www.cityoftoppenish.us

(Staff Use Only – Fill In / Circle As Applicable)

Zoning District: _____ Reviewed By: _____
 Proposed Land Use: _____ Case #(s): _____
 Overlay: Floodplain _____
 UGA: _____ CAO/Shoreline: _____
 FAAR: _____
 Occupancy: A B E F H I M R R1 R2 R3 S U _____
 Type of Construction: IA IIA IIIA IB IIB IIIB IVA IVB VA VB _____
 Name of Short Plat, Subdivision or Manufactured Home Park: _____

Please Tell Us About Your Proposal: (If you need assistance call us at (509) 865-7318 or come into the office)

Parcel Numbers(s): A. 201010-22453 B. _____ C. _____
 Property Owner's Name: Daniel McDonald
 Day Phone: 541-786-0723 Company (if any): Red Head Pizza, Inc.
 Mailing Address: 62916 Dry Creek Lane City: Summerville State: OR Zip: 97876
 Subject Property Address: (if Different) 402 W. First Ave
 E-mail Address: vao@wilkusarch.com
 Scope of Work: TENANT IMPROVEMENT INTO A TAKE N' BAKE PIZZA STORE. (NO COOKING FOR SALE INVOLVED) WORK INCLUDES NEW FLOORING AND WALL FINISHES, PLUMBING AND ELECTRICAL ROUGH-IN FOR NEW EQUIPMENT AND PLUMBING FIXTURES.

Applying For A Building Permit? Please Fill Out The Following:

Number of Bedrooms: Existing: 0 Proposed: 0 Total: 0 Total Square Footage of project: 1,990
 Number of Bathrooms: Existing: 2 Proposed: 1 Total: 1

Construction Valuation (Contractor Estimate) \$ 150,000

Please check below if you are applying for additional services:

- ☐ Applying for sewer services?
☐ Applying for water services?

By signing this form, I agree to the following:

- I hereby state as true that all ownership interests of the property have reviewed the proposal as presented in the application materials and support the proposed change(s).
- I hereby give City of Toppenish permission to enter my property during this review to inspect my property as needed.
- I hereby agree to pay all additional fees associated with the processing of this application.
- I hereby acknowledge that the application with the Yakima County Permit Services Department has been filled out completely.
- I understand that City of Toppenish shall be held harmless for misinterpretation or misrepresentation of documents to obtain my permits.

(If the property is owned by a corporation or LLC please attach documentation showing that the person signing has the authority to sign on behalf of the corporation or LLC.)

Please Fill Out This Section In Blue or Black Ink. (Please check the box to indicate the primary contact person)

Section 7, Item a.

☐ **Property Owner Signature:** Daniel McDonald (required) Date: 11/18/24
☐ **Check If You Are Acting As Your Own Contractor** – (Signature required at declaration at bottom of page)
☐ **Applicant/Agent:** Valerie Oliver
Day Phone: (952) 843-5057 Company (if any) Wilkus Architects
Mailing Address: 15 Ninth Ave N City: Hopkins State: MN ZIP: 55343
E-mail Address: vao@wilkusarch.com
Signature: _____ Date: 11/05/24

☐ **Contractor Name:** TBD
Day Phone: () _____ Company (if any) _____
Mailing Address: _____ City: _____ State: _____ ZIP: _____
E-mail Address: _____
Contractor License Number: _____
Signature: _____

Date:

If there are additional owners, provide an attachment in the same format and with the same declarations

This Section To Be Completed For Construction Permits Only

Pursuant to RCW 19.27.095 (2)(i-ii) The requirement for a fully completed construction application shall include:

- i. The name, address, and phone number of the office of the lender administering the interim construction financing, if any: OR
- ii. The name and address of the firm that has issued a payment bond, if any, on behalf of the prime contractor for the protection of the owner, if the bond is for an amount not less than 50% of the total amount of the construction permit.

If for any reason the information requested below is not available at the time of application, the applicant shall provide the information as soon as it can be reasonably obtained.

☐ **Lending Agency Name:** _____ Phone: () _____
Mailing Address: _____ City: _____ State: _____ Zip: _____

☐ I acknowledge by checking this box that this project has no lending agency for construction financing.

Bonding Agency Name: _____ Phone: () _____
Mailing Address: _____ City: _____ State: _____ Zip: _____

☐ I acknowledge by checking this box that this project has no bonding agency.

If you are the Property Owner and Acting as Your Own Contractor, Please Complete the Following Declaration:

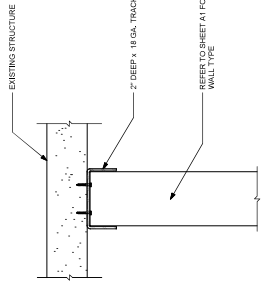
- I acknowledge that I am applying for a permit through the City of Toppenish Development Services Department.
- I also acknowledge that I am not a licensed contractor, specialty or general, or that I am not acting as a contractor and wish to be exempt from the requirements of the Washington State Contractor's Act, per RCW 18.27.090, and will abide by all provisions and conditions of the exemption as stated.
- I agree that if I use the assistance of any person(s) to provide labor and/or assistance, I will retain only contractors registered and currently licensed as required under the laws of the State of Washington.

I (print name) _____ certify under penalty of perjury under the laws of the State of Washington that the foregoing is true and correct.

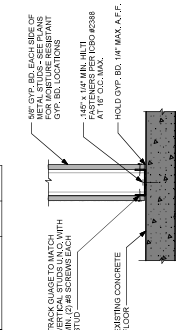
Owner Signature: _____ Date: _____

DIMENSION PLAN LEGEND

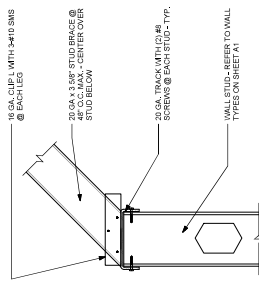
- 1. INSTALL SELF-ADHESIVE STRIP SIGN ACROSS THE FRAME AT THE TOP OF THE DOOR STAYING THE DOOR MUST REMAIN UNLOCKED WHILE BUILDING IS OCCUPYED
- 2. ENSURE THRESHOLD HAS 1/2" UP MAX & BEVELED SIDES THAT SLOPE 1:2 MAX.
- 3. NOT USED
- 4. ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS. ENSURE A 30"x 36" CLEAR SPACE IN FRONT OF PANEL.
- 5. OMIT F.P.F. FROM WALLS BEHIND COOLER
- 6. IN/FL EXISTING OPENING WITH METAL STUDS AND OVP BD TO MATCH ADJACENT CONSTRUCTION. ENSURE SMOOTH FLUSH FINISH BOTH SIDES
- 7. PROVIDE 2" HOLE AND GROMMET IN CEILING GRID ABOVE DATA BOARD TO ALLOW PASSAGE OF DATA AND PHONE CABLES FROM CEILING TO DATA BOARD. REFER TO
- 8. MOORE FURNITURE TO ACCOMMODATE NEW DOOR - MATCH EXISTING FINISHES
- 9. IN/FL EXISTING STOREFRONT OPENING WITH NEW STOREFRONT FRAMING - MATCH EXISTING FINISHES
- 10. GOREPOINT GRAPHICS PROVIDED BY OWNER. VERIFY INSTALLATION.
- 11. LOC TO PROVIDE NEW DRIVETHRU WINDOW. QUICKSERV PFG-4355547 PICK UP WINDOW.
- 12. PROVIDE WINDOW TILLUM COORDINATE SPEC. WITH OWNER



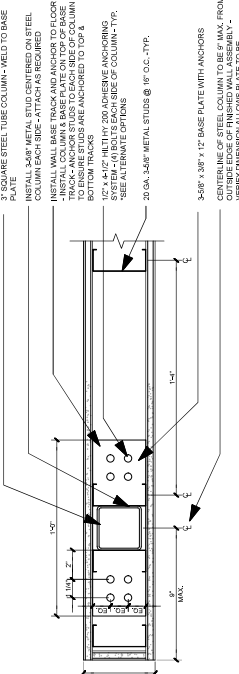
TYPE	MIN. STUDS	MAX. STUDS
1/2" x 1/2" x 1/2" x 1/2"	1/2"	1/2"
1/2" x 1/2" x 1/2" x 1/2"	1/2"	1/2"
1/2" x 1/2" x 1/2" x 1/2"	1/2"	1/2"
1/2" x 1/2" x 1/2" x 1/2"	1/2"	1/2"
1/2" x 1/2" x 1/2" x 1/2"	1/2"	1/2"



FULL HEIGHT WALL BRACING



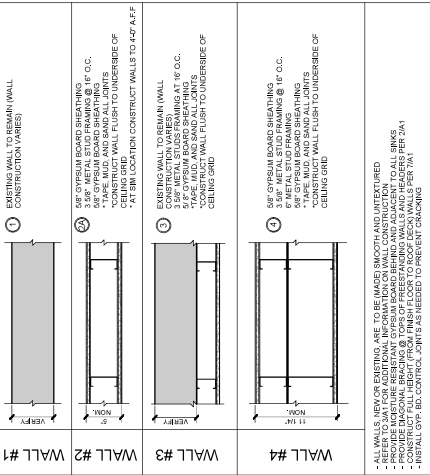
WALL & HEADER BRACING DETAIL



SECTION AT HALF-WALL



WALL TYPES



DOOR SCHEDULE

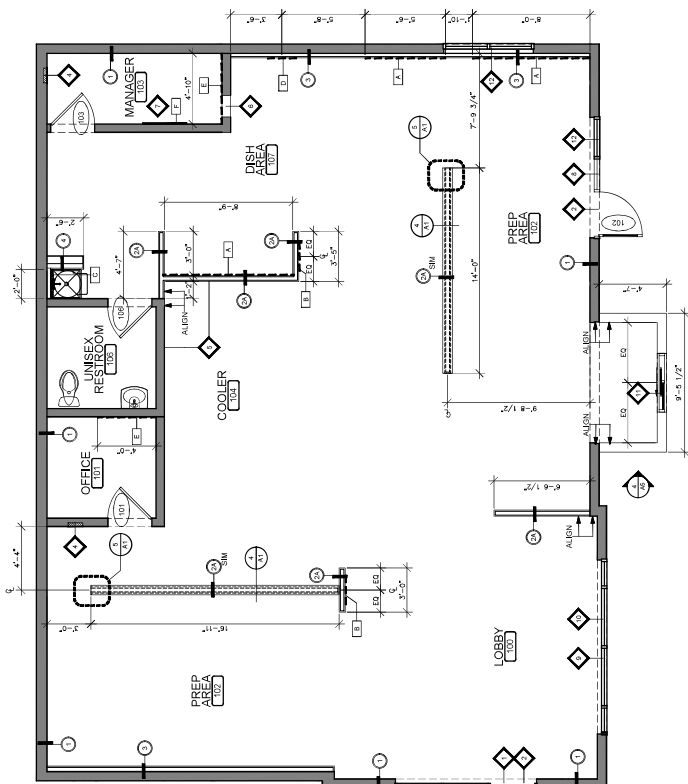
DOOR #	SIZE	FRAME	FINISH	MAT'L	DOOR	FINISH	HDOVS. GROUP
100	5'-0" x 7'-0"	ALUM.	MATCH EXST.	ALUM.	MATCH EXST.	A	A
101	5'-0" x 7'-0"	ALUM.	MATCH EXST.	ALUM.	MATCH EXST.	D	D
102	5'-0" x 7'-0"	ALUM.	MATCH EXST.	ALUM.	MATCH EXST.	D	D
103	5'-0" x 7'-0"	ALUM.	MATCH EXST.	ALUM.	MATCH EXST.	D	D
104	5'-0" x 7'-0"	ALUM.	MATCH EXST.	ALUM.	MATCH EXST.	D	D

DOOR HARDWARE SCHEDULE

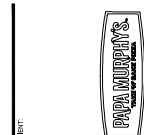
GROUP A	GROUP B	GROUP C	GROUP D
1. THRESHOLD 1/2" MAX. HEIGHT	1. THRESHOLD 1/2" MAX. HEIGHT	1. THRESHOLD 1/2" MAX. HEIGHT	1. THRESHOLD 1/2" MAX. HEIGHT
2. BEVELED EDGES	2. BEVELED EDGES	2. BEVELED EDGES	2. BEVELED EDGES
3. WEATHERSTRIPPING (JAMBS AND HEAD)	3. WEATHERSTRIPPING (JAMBS AND HEAD)	3. WEATHERSTRIPPING (JAMBS AND HEAD)	3. WEATHERSTRIPPING (JAMBS AND HEAD)
4. HEAVY DUTY BUTT HINGES	4. HEAVY DUTY BUTT HINGES	4. HEAVY DUTY BUTT HINGES	4. HEAVY DUTY BUTT HINGES
5. HEAVY DUTY CLOSER	5. HEAVY DUTY CLOSER	5. HEAVY DUTY CLOSER	5. HEAVY DUTY CLOSER
6. CYLINDER	6. CYLINDER	6. CYLINDER	6. CYLINDER
7. PULL	7. PULL	7. PULL	7. PULL

PLYWOOD BACKING SCHEDULE

GROUP A	GROUP B	GROUP C	GROUP D
1. PLYWOOD BACKING 1/2" MAX. THICKNESS	1. PLYWOOD BACKING 1/2" MAX. THICKNESS	1. PLYWOOD BACKING 1/2" MAX. THICKNESS	1. PLYWOOD BACKING 1/2" MAX. THICKNESS
2. PLYWOOD BACKING 1/2" MAX. THICKNESS	2. PLYWOOD BACKING 1/2" MAX. THICKNESS	2. PLYWOOD BACKING 1/2" MAX. THICKNESS	2. PLYWOOD BACKING 1/2" MAX. THICKNESS
3. PLYWOOD BACKING 1/2" MAX. THICKNESS	3. PLYWOOD BACKING 1/2" MAX. THICKNESS	3. PLYWOOD BACKING 1/2" MAX. THICKNESS	3. PLYWOOD BACKING 1/2" MAX. THICKNESS
4. PLYWOOD BACKING 1/2" MAX. THICKNESS	4. PLYWOOD BACKING 1/2" MAX. THICKNESS	4. PLYWOOD BACKING 1/2" MAX. THICKNESS	4. PLYWOOD BACKING 1/2" MAX. THICKNESS



DIMENSION FLOOR PLAN



PAPA MURPHY'S TAKE N BAKE PIZZA
STORE NUMBER: WA180
402 W. 1ST AVE
TOPPENISH, WA 98948



PROJECT: 2024001	DATE: 10/24/2024
DESIGNED BY: JAW	CHECKED BY: JAW
DATE: 10/24/2024	DATE: 10/24/2024
REVISION	DATE

Section 7, Item a.	
TITLE	DATE
SHEET	DATE

REQUEST FOR PLANNING COMMISSION REVIEW

Meeting Date: January 15, 2025

Subject: Review of Papa Murphy's Corporate Signage

Attachments: Signage Design

Presented by: Andrew Hattori, CED Director

Approved For Agenda By: Andrew Hattori, CED Director

Background:

On November 25, 2024, an application for signage of a proposed Papa Murphy's location at 402 W 1st Avenue was received by the City of Toppenish. This application included a request to maintain their corporate logo and be exempted from the requirements of the design district. To be able to be exempted from the design district's requirement for signage the proposal must meet Toppenish Municipal Code (TMC) 15.10.035 which details the following conditions:

15.10.035 Western theme requirements.

In addition to the requirements set forth elsewhere in this chapter, all signs must comply with the following requirements:

- A. Except as may be approved by the planning commission for corporate logos, as specifically set forth below in subsection E of this section, lettering and colors shall conform to the list of fonts and colors as approved by the planning commission and maintained by the building official, which list shall include the corresponding Pantone color numbers that have been approved by the planning commission. Colors of paint, plastic, vinyl or other material must match the appropriate Pantone matching system color number that is equivalent to the color on the planning commission's list that has been approved, but if an exact match cannot be made because the manufacturer of the colored material does not use the Pantone system, then a color may be used that substantially matches the approved Pantone system number, if approved by the planning commission.*
- B. Hot, fluorescent, or neon colors are not allowed.*
- C. Artwork on signs, including bordering, pictures or graphics, is not required but is used to complement the western theme. Examples of artwork which have been approved by the planning commission are maintained by the building official.*
- D. Signs shall not distract or otherwise take away from the overall appearance of the western theme. See TMC 15.10.036.*
- E. The planning commission shall have the authority to approve corporate logos which have lettering, fonts, and colors other than those described in subsection A of this section, if they are part of a graphic design used by commercial enterprises, organizations or institutions on their signs as unique icons, marks, emblems or words by which they can easily be recognized by the public, provided they comply with subsections B, C, and D of this section.*

Analysis:

Papa Murphy's is a national brand with many locations across the United States offering "Take 'n' Bake" pizza services. With over 1,000 locations the brand can be viewed as easily recognizable with distinct signage. Within the general vicinity of the proposed location exists multiple signs that are similar in brand recognition and color, including Dairy Queen located at 401 W 1st Avenue and O'Reilly Auto parts at 302 W 1st Avenue. Additionally the proposed location is approximately one block from a previously Papa Murphy's location at 211 S Chestnut Street.

Given the proposed location, brand size and recognition, and familiarity to the area, staff recommends approval of the corporate signage without conditions.

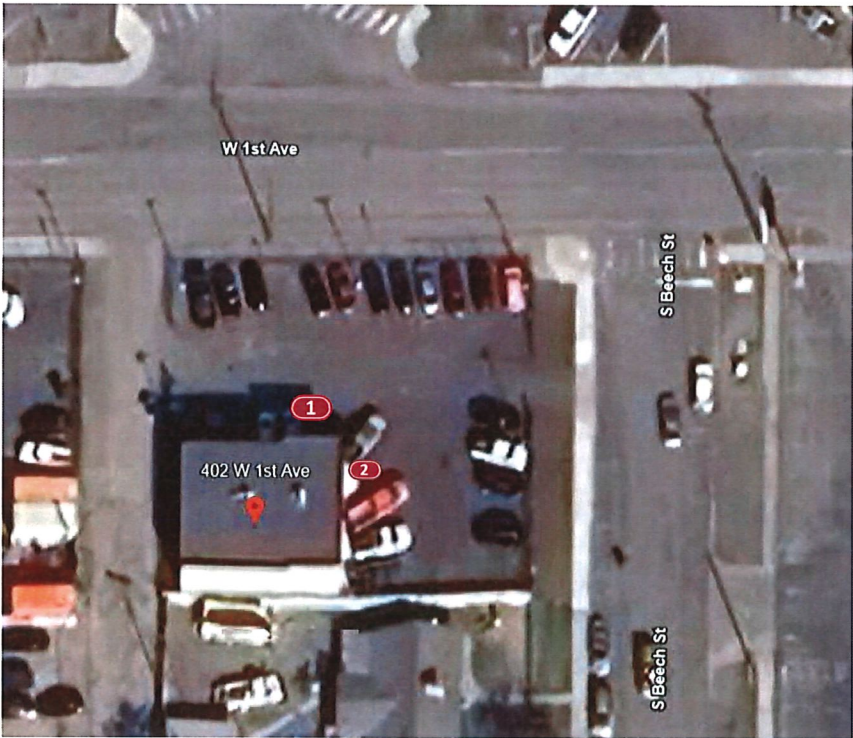
Recommendation: Planning commission approval of proposed corporate signage within the design district.

Alternatives: 1) Denial of application 2) Approval with conditions 3) Continue for further research and discussion



Wa180
402 W. 1st Avenue
Toppenish, Washington 98948

 **ADART**
700 PARKER SQUARE STE 205
FLOWER MOUND, TEXAS 75028
T.469.327.5990 F.469.322.1927



SITE PLAN

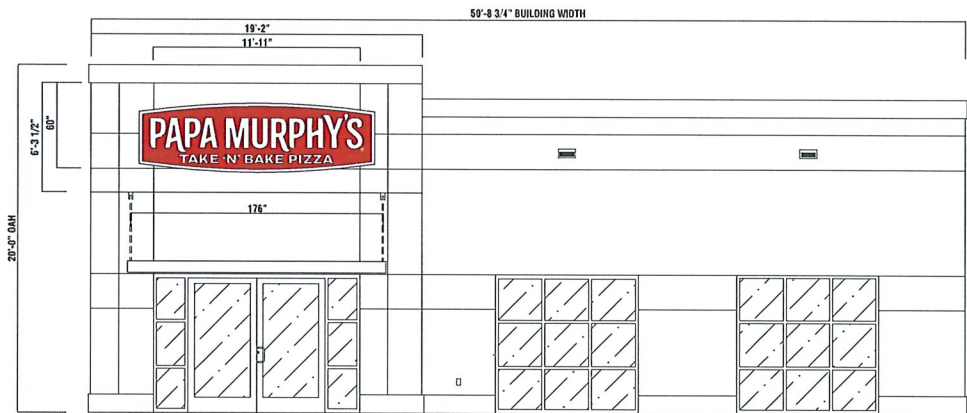
1	STOREFRONT SIGNAGE
2	BUILDING SIGNAGE

SITE PLAN : OVERVIEW

 ADART 700 Parker Sq STE 205 Flower Mound, TX 75028 T. 800.675.6353	Project: Papa Murphy's Wa180	Revision	Approvals	CONCEPTUAL DRAWINGS ONLY: Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications. ALL RIGHTS RESERVED: This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.	SHEET
	Location: 402 W 1st Avenue Toppenish, Washington 98948	A1-05-11/25/24-Updated measurements	Customer:		2
	Date: 10/22/24 Sales: DH Designer: MH	A2:	Landlord:		
	File Name: PM Toppenish, WA	A3:			
		A4:			

SIGNAGE OPTION 2

NOTE: REMOVE & DISPOSE OF EXISTING SIGNAGE, PATCH & PAINT FASCIA.
CODE: No regulations



SCALE: 3/16" = 1'-0"



EXISTING



PROPOSED

ADART
700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Papa Murphy's Wa180
Location: 402 W. 1st Avenue Toppenish, Washington 98948
Date: 10/22/24 Sales: DH Designer: MH
File Name: PM Toppenish, WA

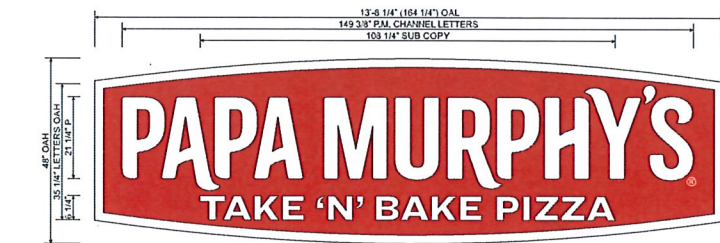
Revision
R1: 10/22/24-Updated measurements
R2:
R3:
R4:
R5:

Approvals
Customer:
Landlord:

CONCEPTUAL DRAWINGS ONLY:
Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

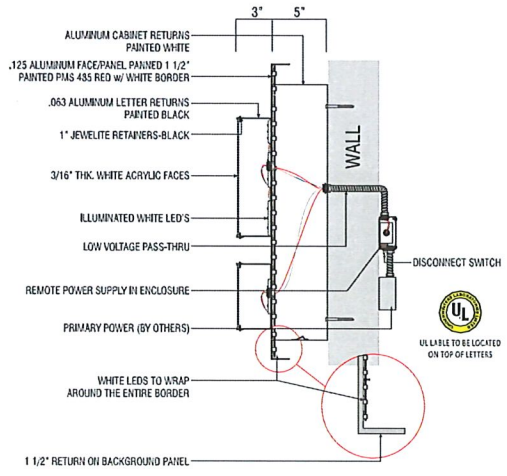
ALL RIGHTS RESERVED:
This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET
5



1 48" STRETCH HALO WALL CABINET : FACE LIT CHANNEL LETTERS SCALE: 1/2" = 1'-0" 54.75 SF

- SPECIFICATIONS:**
HALO BACKER PANEL / SUPPORT STRUCTURE
1. 5" DEEP ALUMINUM SUPPORT RACEWAY CABINET FILLER PAINTED WHITE.
2. FACE IS .125 ALUMINUM PANEL WITH 1 1/2" EDGE PAN.
3. FACE IS PAINTED PMS 485 C RED WITH 2 1/4" WHITE BORDER & PAN RETURN.
4. FACE TO BE HALO (BACK) LIT WITH WHITE LEDS WRAP AROUND BORDER BACKSIDE.
- CHANNEL LETTERS**
5. 3" DEEP ALUMINUM CHANNEL LETTER RETURNS & FLAT ALUMINUM BACKS PAINTED BLACK.
6. ALL LETTER INTERIORS FINISHED LIGHT ENHANCEMENT WHITE.
7. 1" BLACK TRIM CAP.
8. FACES ARE 3/16" TH. WHITE ACRYLIC.
9. LETTERS ARE INTERNALLY ILLUMINATED WITH WHITE LEDS.
10. SIGN STRUCTURE MOUNTED FLUSH TO BUILDING FASCIA WITH APPROPRIATE NON-CORROSIVE MOUNTING HARDWARE.



S/F CABINET W/ PANNED HALO PANEL N.T.S.
5" & UP SUB COPY HEIGHTS : FACE-LIT CHANNEL LETTERS

ADART
700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

Project: Papa Murphy's Wa180
Location: 402 W. 1st Avenue Toppenish, Washington 98948
Date: 10/22/24 Sales: OH Designer: MH File Name: PM Toppenish, WA

Revision
B1: 06-11/23/24-Updated measurements
B2:
B3:
B4:
B5:

Approvals
Customer:
Landlord:

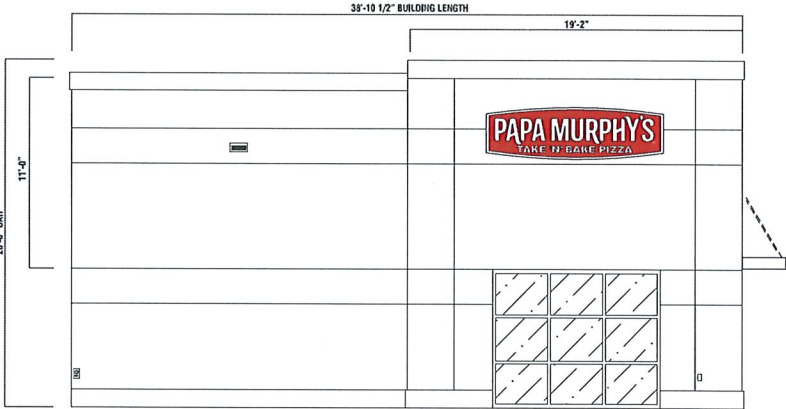
CONCEPTUAL DRAWINGS ONLY:
Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

ALL RIGHTS RESERVED:
This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET
6

SIGNAGE OPTION 1

NOTE: REMOVE & DISPOSE OF EXISTING SIGNAGE, PATCH & PAINT FASCIA.
CODE: No regulations



ADART
700 Parker Sq STE 205
Flower Mound, TX 75028
T. 800.675.6353

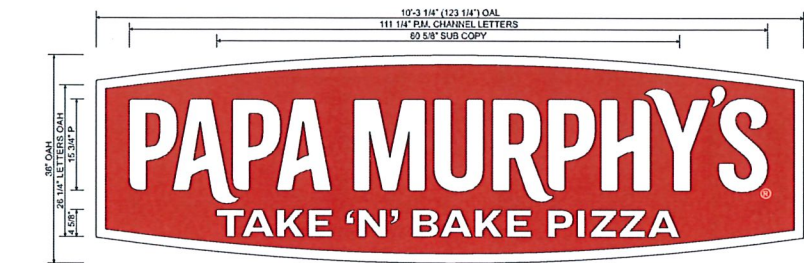
Project: Papa Murphy's Wa180
Location: 402 W. 1st Avenue
Toppenish, Washington 98948
Date: 10/22/24 Sales: DH Designer: MH
File Name: PM Toppenish, WA

Revision
R1: 10/23/24-Updated measurements
R2:
R3:
R4:
R5:

Approvals
Customer:
Landlord:

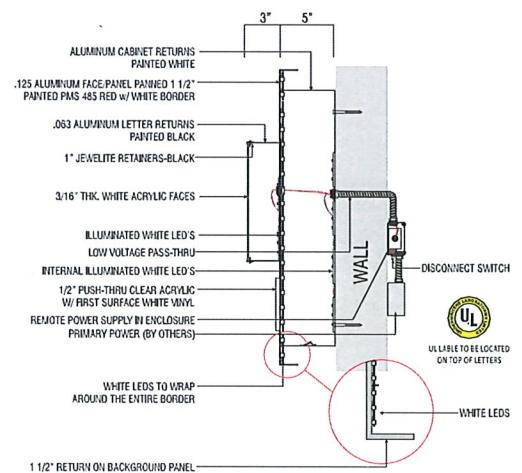
CONCEPTUAL DRAWINGS ONLY:
Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.
ALL RIGHTS RESERVED:
This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.

SHEET
7



2 36" STRETCH HALO WALL CABINET w/ ROUTED LETTERS (1) SET REQUIRED SCALE: 3/4" = 1'-0" 30.8 SF

- SPECIFICATIONS:
- HALO BACKER PANEL / SUPPORT STRUCTURE
1. 5" DEEP ALUMINUM SUPPORT RACEWAY CABINET FILLER PAINTED WHITE.
 2. FACE IS .125 FLAT ALUMINUM PANEL WITH 1 1/2" EDGE PAN.
 3. FACE IS PAINTED PMS 485 C RED WITH 1 5/8" WHITE BORDER & PAN RETURN.
 4. FACE TO BE ROUTED OUT & BACKED UP WITH 1/2" CLEAR ACRYLIC PUSH THRU LETTERS WITH FIRST SURFACE WHITE VINYL OVERLAYS.
 5. SUPPORT RACEWAY CABINET TO BE INTERNALLY ILLUMINATED WITH WHITE LEDS.
 6. FACE TO BE HALO (BACK) LIT WITH WHITE LEDS WRAP AROUND BORDER BACKSIDE.
- CHANNEL LETTERS
7. 3" DEEP ALUMINUM CHANNEL LETTER RETURNS & FLAT ALUMINUM BACKS PAINTED BLACK.
 8. ALL LETTER INTERIORS FINISHED LIGHT ENHANCEMENT WHITE.
 9. 1" BLACK TRIM CAR.
 10. FACES ARE 3/16" TH. WHITE ACRYLIC.
 11. LETTERS ARE INTERNALLY ILLUMINATED WITH WHITE LEDS.
 12. SIGN STRUCTURE MOUNTED FLUSH TO BUILDING FASCIA WITH APPROPRIATE NON-CORROSIVE MOUNTING HARDWARE.



S/F CABINET W/ PANNED HALO PANEL N.T.S. 4" & UNDER SUB COPY HEIGHTS : ROUTED OUT PUSH THRU ACRYLIC

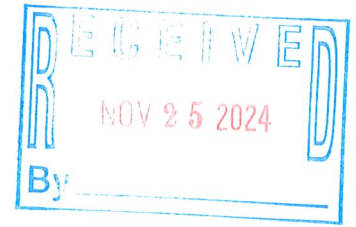
 ADART 700 Parker Sq STE 205 Flower Mound, TX 75028 T. 800.675.6353	Project: Papa Murphy's Wa180		Revision		Approvals		CONCEPTUAL DRAWINGS ONLY: Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications. ALL RIGHTS RESERVED: This design has been created for you in connection with a project being planned for you by AD ART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.	SHEET 8
	Location: 402 W. 1st Avenue Toppenish, Washington 98948		A1: 10/25/24 - Updated measurements		Customer:			
	Date: 10/22/24 Sales: DH Designer: MH		A2:		Landlord:			
	File Name: PM Toppenish, WA		A3:					



City of Toppenish

"Where the West Still Lives"

21 West First Avenue
Toppenish, WA 98948
Phone (509) 865-7318
www.cityoftoppenish.us



Sign Permit Application

201010 22453

342024-0160

Sign Address:	402 West 1st Avenue	Business Name:	Papa Murphys			
Sign Type - Check all that apply:		Type of Business: Pizza Retail				
☐ Free Standing ☒ Building Mounted ☒ Flat against the building ☐ Projecting from the building ☐ Projecting over sidewalk ☐ Roof mounted ☒ Lighted ☒ Constant ☐ Flashing		Sign Details – Complete all that apply: Sign length 13'8" (Feet & Inches) Sign width 4" (Feet & Inches) Distance from ground to: Bottom edge of sign (Feet & Inches) Top edge of sign (Feet & Inches) Number of sides Sign is a corporate logo Papa Murphys (Name of company)				
Required additional submittal checklist: <table border="0"> <tr> <td> Freestanding sign ☐ Color rendering of sign ☐ Site plan ☐ Building permit application ☐ Engineered design drawings </td> <td> Building mounted sign - Projecting or roof ☐ Color rendering of sign ☐ Building permit application ☐ Engineered design drawings ☐ Elevation color drawing of the building showing sign location </td> <td> Building mounted sign - Flat ☒ Color rendering of sign ☒ Details of how sign is attached to building ☒ Elevation color drawing of the building showing sign location </td> </tr> </table>				Freestanding sign ☐ Color rendering of sign ☐ Site plan ☐ Building permit application ☐ Engineered design drawings	Building mounted sign - Projecting or roof ☐ Color rendering of sign ☐ Building permit application ☐ Engineered design drawings ☐ Elevation color drawing of the building showing sign location	Building mounted sign - Flat ☒ Color rendering of sign ☒ Details of how sign is attached to building ☒ Elevation color drawing of the building showing sign location
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Owner:	Ck Family Investments LLC		Day Phone:	
Mailing Address:	402 W 1st Ave	City: Toppenish	State: WA	Zip:
E-Mail:			Cell Phone:	
Contractor:	Mustang Signs		Day Phone: 5097354607	
Contact:	Lauran Wang			
Mailing Address:	10379 W Clearwater Ave	City: Kennewick	State: WA	Zip: 99336
Contractor License No.:	MUSTASK811JH		Expiration Date: 4/8/20	
E-Mail:	lauran@mustangsigns.com		Cell Phone: 509-492-1616	
Authorized Agent:	☒ Same as Contractor		Day Phone:	
Mailing Address:		City:	State:	Zip:
Contact:				
Professional License No.:			Expiration Date:	
E-Mail:			Cell Phone:	

IMPORTANT: All contractors and subcontractors must have a current City of Toppenish Business License.

Western Theme Standards

All signs must adhere to the Western Theme Standards as required in the Toppenish Municipal Code Section 15.10.035*

1. The lettering and coloring of the sign must conform to the fonts and colors approved by the Planning Commisison as being Western Theme fonts and colors.

Names of fonts

Color Pantone numbers

Asking for Waiver due to National Brand

2. Hot, Fluorescent, or neon colors shall not be used.
3. Artwork, graphics, borders, framing, posts, and other components of the sign shall be of a Western Theme.
4. Signs shall not distract or otherwise take away from the overall appearance of the Western Theme.
5. Lighted message board type signs or signs with flashing images are not allowed.
6. *Signs consisting of corporate logos that do not reflect a Western Theme in graphics, fonts, or colors must be approved by the Planning Commisison.

I hereby acknowledge that I have read this application and certify under penalty of perjury under the laws of the State of Washington that the above answers are true and complete to the best of my knowledge. I agree to comply with all current codes, laws, regulations and permit requirements related to this project. I hereby grant to the City of Toppenish a right to enter onto the premises as described for this permit application to make such inspections and tests as may be required.

Lauran Wang
Signature of Owner, Contractor or Authorized Agent

Date: 11/17/2024

REQUEST FOR PLANNING COMMISSION REVIEW

Meeting Date: January 15, 2025

Subject: Concurrency Code Discussion

Attachments: Draft Concurrency Code

Presented by: Andrew Hattori, CED Director

Approved For Agenda By: Andrew Hattori, CED Director

Discussion:

The Growth Management Act (GMA) provide requirements for concurrency, which can be viewed as the provision of public facilities and services relative to the demand for them. In an effort to maintain, or bring parts of Toppenish up to standards, staff is presenting a potential code amendment that would require properties to develop to provide infrastructure to meet Toppenish codes and standards at the time of development.

Many properties within Toppenish lack infrastructure such as sidewalk, curb, gutter, street lighting etc. This code aims to require these items to be constructed as necessary at the time of development or redevelopment of properties. Staff is seeking feedback on the proposed amendment and will bring back to planning commission any desired updates or modifications requested.

Recommendation: Not Applicable.

Alternatives: Not Applicable.

Chapter 12.10 CONCURRENCY REVIEW

Sections:

- 12.10.010 Purpose**
- 12.10.020 Definitions**
- 12.10.030 Concurrency Review Required**
- 12.10.040 Review Process**

12.10.010 Purpose

This chapter sets forth specific standards providing for the city compliance with the concurrency requirements of the Growth Management Act (GMA). Transportation and infrastructure, police protection, parks and recreation, and solid waste disposal must be evaluated for concurrency prior to project and building permit issuance.

12.10.020 Definitions

“Development” means any actions requiring a project permit or building permit application.

“Director” means the Community and Economic Development Director or designee.

“Infrastructure” means improvements including but not limited to roadways, curbs, gutters, sidewalks, street lighting, fire hydrants, public water, public sewer, public stormwater, and solid waste facilities.

“Project permit” means any land use, environmental, business, or right-of-way permit required by the City of Toppenish, including but not limited to short plats, long plats, binding site plans, SEPA, conditional or special uses, and any construction activities within public right-of-way.

12.10.030 Concurrency Review Required

All development activities shall be required to undergo a concurrency evaluation, the concurrency evaluation shall be conducted during the project or building permit review as applicable.

12.10.040 Review Process

A. Application

A project or building permit application shall trigger a concurrency review, no separate application is necessary.

B. Procedure

The concurrency review shall be conducted upon receipt of a completed project or building permit application and any supplemental information.

- (1) The Director shall coordinate the concurrency review and comments received by affected departments and agencies.
- (2) If additional information or studies are deemed necessary to complete the concurrency review the Director shall notify the applicant within 28 days of the date of the completed application.
- (3) No project permit or building permit shall be issued without the completion of a concurrency review.

C. Review

Development applications that would result in a reduction of a level of service below the minimum level of service standard shall not be approved in accordance with the GMA. Existing and planned improvements and capacity shall be used in the concurrency review.

1. The capacity of the existing water, sewer, and stormwater facilities must be equal to or greater than the required capacity of the development application to be approved.
2. The existing infrastructure improvements must meet or exceed those required of the Toppenish Design and Construction Standards and Specification Manual in [TMC 12.01.010](#) to be approved.
3. Project or building permit approval shall be considered the approval of the concurrency review. A separate letter of concurrency approval may be requested from the Director by the applicant or interested parties.
4. If the concurrency review is not approved the applicant may:
 - a) Modify the application to reduce the impact of the development action such that concurrency is met;
 - b) Submit sufficient information showing that the impacts of the development are less than initially included in the project or permit application;
 - c) Modify the application to include capacity and/or infrastructure improvements such that concurrency is met;

- d) Appeal the results of the concurrency review to the hearing examiner in accordance with TMC 2.50.090.

City of Toppenish

Periodic Update

Work Plan

Draft

January, 2025



Background

The City of Toppenish is a “fully planning” jurisdiction, subject to the requirements of the Washington State Growth Management Act (GMA). The GMA was adopted in 1990 and required cities to develop a comprehensive plan and development regulations to guide future growth. These plans and regulations are periodically updated to incorporate new requirements in state law. Per the GMA, the City of Toppenish is required to conduct its periodic update every ten (10) years. The periodic update includes the vision, goals and policies contained in the Comprehensive Plan, along with the implementing zoning designations and development regulations.

During this periodic update cycle, due by June 30, 2026, the Washington State Department of Commerce allocated \$125,000 to the City of Toppenish to review its Comprehensive Plan, Development Regulations, and Critical Areas Ordinance to determine updates necessary to maintain compliance with the GMA.

Work Plan

Toppenish will be updating its Comprehensive Plan and Development Regulations to plan for and accommodate the next 20 years of anticipated population growth. The GMA Periodic Update includes several phases and corresponding deliverables, beginning with development of this Work Plan to help guide the process and receive public comment. The initial review components of the Periodic Update include completing Commerce-developed Checklists and developing a population/housing allocation and land capacity analysis. The completion of these Year 1 Tasks will provide Toppenish with the information necessary to draft the necessary Critical Areas, Development Regulations, and Comprehensive Plan documents for approval in Year 2.

This Work Plan includes a draft timeline for when Year 1 and Year 2 deliverables are expected to be ready for review and completion.

Timeline: Draft and adopt Q3-Q4 2024

Outcome/Deliverables: Completed Periodic Update Work Plan

Public Participation

The City of Toppenish will develop a public participation plan that will identify activities and events, including how engagement will be used to inform the periodic update. Public engagement will occur throughout the process and will include multiple opportunities for the public to review draft documents and provide input. Anticipated forms of public engagement will include the development of a project web page, a series of open-house style public meetings, SEPA public comment period and review, and official public meetings at Planning Commission and City Council. All comments submitted throughout the process will be collected in a final document and made available for public review.

A primary goal for this project is to receive robust feedback, comments, and collaboration from the public. While the draft timeline includes identified workshops later in the process, these will not be the only opportunities to provide input. Once drafted, the Public Participation Plan will be presented to City Council for review, approval, and implementation.

At the end of the Periodic Update Cycle, Toppenish will draft a final Public Participation Report. This report will provide an outline of public meetings and a full summary of public input/participation.

Timeline: Draft and adopt Q4 2024 or Q1 2025, with ongoing work throughout the process. Final Report in Q2 2026.

Outcome/Deliverables: Public Participation Plan and Public Participation Report.

Population and Housing Allocation

Toppenish will work with Yakima County to determine the population projection for the next 20-years. This population allocation is derived from an analysis of past population growth and anticipated needs of the city.

Similarly, Yakima County will determine housing allocation for cities throughout the county, across the various income levels. Once the allocation for Toppenish is established, the Housing for All Planning Tool (HAPT) will be utilized to identify housing targets. The snapshots below are examples from the HAPT, and do not include the final population and housing numbers from Yakima County.

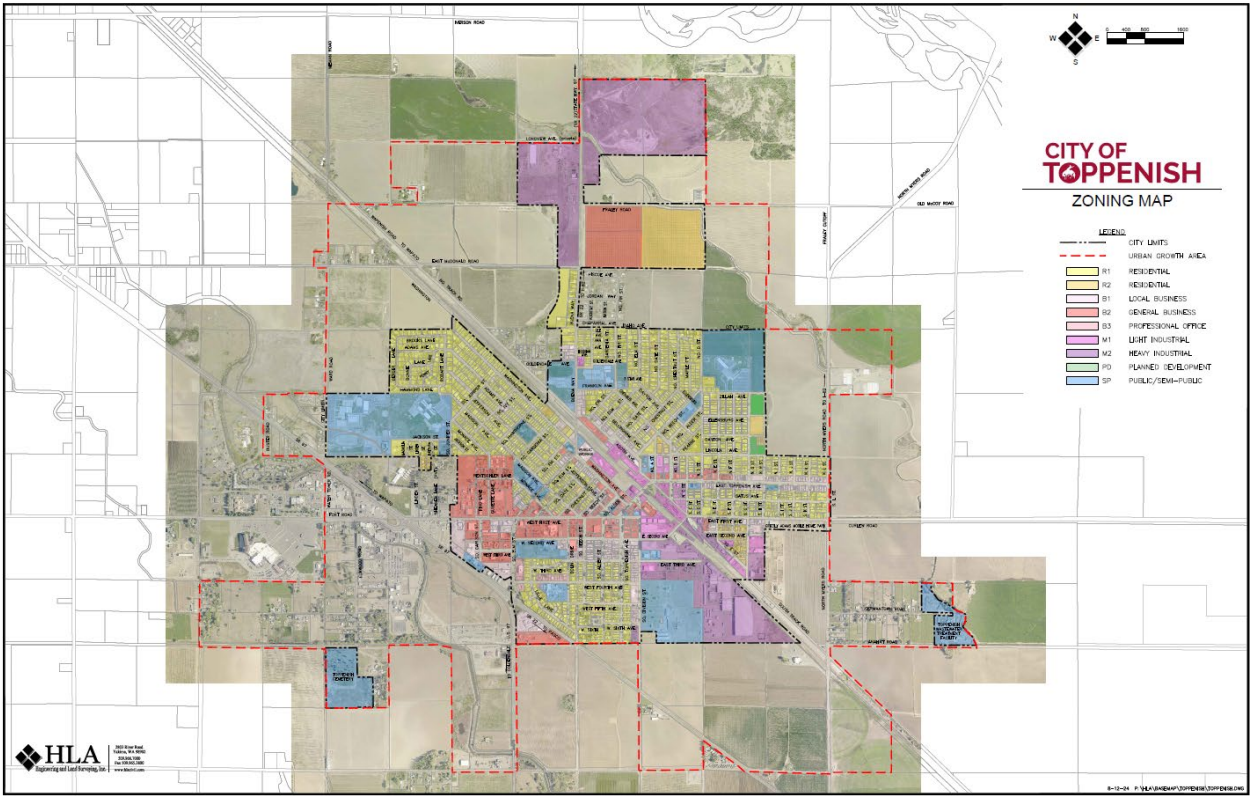
Yakima County	Projection Year: 2046		Permanent Housing Needs by Income Level (% of Area Median Income)								Emergency Housing Needs (Temporary)	
	Population Target = 289,519											
			Total	0-30%		>30-50%	>50-80%	>80-100%	>100-120%	>120%		
				Non-PSH	PSH							
			Countywide Estimated Housing Supply (2020)	89,425	4,351	228	20,264	33,325	10,917	7,070	13,270	
User Input - % Share of Countywide Housing Growth. Values must sum to 100%			Countywide Additional Units Needed (2020-2046)	22,054	3,673	4,190	5,098	2,451	1,451	956	4,235	572
			Sum of Allocation to Jurisdictions (from User Inputs)	0	0	0	0	0	0	0	0	1,330
			0.00%	<-- Sum of user inputs for jurisdiction shares of county future net housing need. If increase 100.00% below 100%, increase shares. If above 100%, decrease shares.								0
			Permanent Housing Needs by Income Level (% of Area Median Income)								Emergency Housing Needs (Temporary)	
%			Total	0-30%		>30-50%	>50-80%	>80-100%	>100-120%	>120%	102	
				Non-PSH	PSH							
			Estimated Housing Supply (2020)	2,454	104	0	879	1,258	121	31		
			Allocation Method A (2020-2046)	0	0	0	0	0	0	0		
			Toppenish city									

Timeline: Q1-Q2 2025

Outcome/Deliverables: Completed population and housing allocation numbers to be utilized in drafting the Comprehensive Plan elements.

Land Capacity Analysis

To assess the available land for development in Toppenish, the population and housing allocations previously completed will be analyzed in comparison to the vacant land available within the city limits. GIS data will be used to identify and categorize parcels as vacant, partially vacant, underutilized, and developed. This information will be further examined by zoning district to identify available land for future residential, commercial, industrial, and public development.



Timeline: Q1-Q2 2025

Outcome/Deliverables: Completed land capacity analysis to be utilized in drafting the Comprehensive Plan elements.

Critical Areas Ordinance

The City of Toppenish Critical Areas Ordinance is codified in TMC Ch. 17.70. Toppenish will review its CAO using the Department of Commerce March 2024 [Checklist for Critical Areas](#) to determine areas that need to be updated. The city may decide to draft its own CAO or continue to use the County CAO, in which case the year 2 funding will be allocated to Yakima County.

Timeline: Checklist Q4 2024-Q1 2025. Draft Q3-Q4 2025

Outcome/Deliverables: Completed CAO Checklist, Draft Ordinance, Adopted Ordinance

Development Regulations

The City of Toppenish's Development Regulations are contained in TMC Title 16: Subdivisions and TMC Title 17: Zoning. Development regulations will be reviewed using the Department of

Commerce July 2024 [Periodic Update Checklist for Fully-Planning Cities](#) to determine areas that need to be updated.

The review of development regulations will include an analysis of the Zoning Code, Subdivision Code, SMP, and other sections to ensure consistency with RCW 36.70A.040 and WAC 365-196-800 and 810. Many of the zoning changes relate to how housing is allocated throughout the city, including, but not limited to, considerations for parking, number of persons, manufactured housing, and ADUs.

Timeline: Checklist Q4 2024-Q1 2025. Draft Q3-Q4 2025 or Q1 2026.

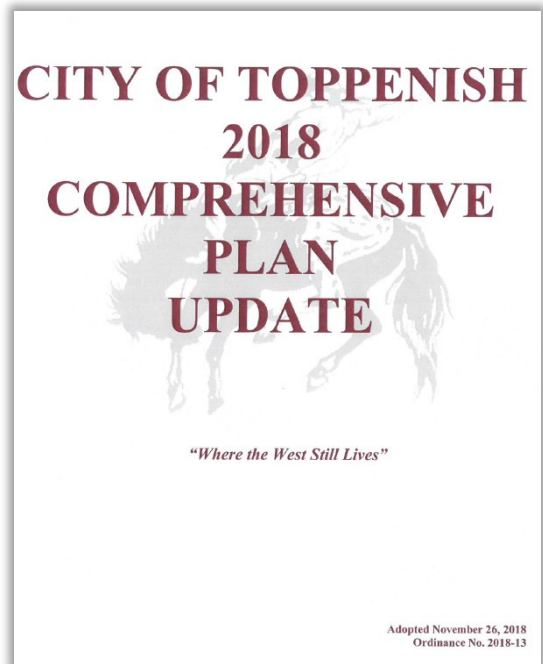
Outcome/Deliverables: Completed Checklist, Draft Ordinance, Adopted Ordinance.

Comprehensive Plan

The City of Toppenish's Comprehensive Plan was last updated in 2022. The Comprehensive Plan will be reviewed using the Department of Commerce July 2024 [Periodic Update Checklist for Fully-Planning Cities](#) to determine areas that need to be updated. Based on the checklist, proposed updates to the comprehensive plan goals and policies will be drafted for public review.

RCW 36.70A.070 includes the following mandatory elements for the Comprehensive Plan:

- Land Use
- Housing
- Capital Facilities
- Utilities
- Transportation
- Economic Development
- Parks and Recreation
- Climate Change and Resiliency**



These elements will be reviewed and updated for consistency with RCW 36.70A.070. The elements will be examined using several tools and data points, including but not limited to, the following:

- Yakima County population projection – Population Allocation
- Housing for All Planning Tool (HAPT) – Housing Allocation
- Land Capacity Analysis
- Capital Facilities updates – water, sewer, city facilities, etc.
- Transportation improvement plan and updated projects
- Recent building permit and business activity
- Parks and Recreation Inventory

******The Department of Commerce Checklist includes a section for the Climate Element, as required by HB 1181. This work is funded by a separate grant agreement with the Department of Commerce and will be completed by June 30, 2025.

Timeline: Checklist Q4 2024-Q1 2025. Draft Q3-Q4 2025 or Q1 2026.

Outcome/Deliverables: Completed Checklist, Draft Ordinance, Adopted Ordinance.

Environmental Review

SEPA Environmental Review will begin in the 2nd year of the update process. This will include public notification to SEPA agencies, Tribes, and interested parties. The SEPA review will include the draft comprehensive plan, development regulations, and critical areas ordinance (if applicable) revisions identified in the checklists.

Timeline: Draft SEPA Checklist Q3-Q4 2025. Begin public and agency review process Q1 2026.

Outcome/Deliverables: SEPA Threshold Determination.

Grant Scope and Deliverable Due Dates

Department of Commerce funding for this project is available over the next two years, with half available in each year of the biennium. The following tasks will be completed in accordance with state grant requirements in Fiscal Years 25 and 26:

Year 1: State Fiscal Year 2025 (FY25) - July 1, 2024 to June 30, 2025

Task	Deliverable	Due Date	FY25 \$
Develop periodic update work plan	Periodic update work plan	June 13, 2025	\$9,375
Develop a public participation plan	Public participation plan	June 13, 2025	\$9,375
Complete critical areas analysis	Critical Areas Checklist	June 13, 2025	\$9,375
Complete comp plan analysis and development regulations	Comprehensive Plan Checklist	June 13, 2025	\$12,500
Population allocation and Housing allocation	Population allocation and Housing allocation	June 13, 2025	\$9,375
Land Use Study	Land Capacity Analysis	June 13, 2025	\$12,500

Year 2: State Fiscal Year 2026 (FY26) - July 1, 2025 to June 30, 2026

Task	Deliverable	Due Date	FY26 %*
Draft Critical Areas Ordinance amendment	Draft Critical Areas Ordinance	June 12, 2026	\$6,250
Critical Areas Ordinance amendment sent to Council	Critical Areas Ordinance sent to Council	June 12, 2026	\$9,375
Draft comprehensive plan amendment	Draft Comprehensive Plan	June 12, 2026	\$12,500
Comprehensive plan amendment sent to Council	Comprehensive Plan sent to Council	June 12, 2026	\$9,375
Draft development regulations ordinance	Draft Development Regulations Ordinance	June 12, 2026	\$9,375
Development regulations ordinance sent to Council	Development Regulations Ordinance sent to Council	June 12, 2026	\$9,375
Public Participation Report	Report detailing public meetings: date/times, topic(s) covered, and summary of public input	June 12, 2026	\$6,250

REQUEST FOR PLANNING COMMISSION REVIEW

Meeting Date: January 15, 2025

Subject: Design District Land Use Analysis

Attachments: None

Presented by: Andrew Hattori, CED Director

Approved For Agenda By: Andrew Hattori, CED Director

Background:

The design district detailed in Toppenish Municipal Code (TMC) 17.26 has been a topic of discussion at many of the most recent planning commission meetings. The design district detailed construction and site design standards which must be adhered to and approved by the planning commission before development may begin. However, it has been documented that the requirements for the design district have not been adequately adhered to and has resulted in a mixture of properties that do and do not conform with TMC 17.26.

Due to the standards contained within TMC 17.26 staff and planning commission have conducted discussions about the impact and necessity of the design district in its current boundaries and whether the design district is able to accomplish its purpose with current development as it exists today. In prior discussions it has been noted that to successfully implement a themed design district, strict and accurate review/enforcement of development proposals must be done consistently. Examples of cities that have successful themed design districts include Leavenworth, Poulsbo, Winthrop, etc. A glance at the development of these cities shows little to no deviation to theming within core areas. Unfortunately the same cannot be said for Toppenish, many properties are out of conformance with the requirements of our design district.

Analysis:

At the November 21, 2024 planning commission meeting staff detailed that next steps included a full land use analysis of the properties within the design district and a survey/interviews with affected business owners. While the land use analysis was completed the discussions with business owners was not completed. This was due to a number of factors including the holidays, underestimation of time constraints due to the land use analysis, and a desire to conduct a hearing for a property within the design district. If, after the hearing and land use analysis discussion, planning commission desires the survey/interviews with local business owners then staff will continue to move forward with that direction.

The design district contains approximately 575 individual properties totaling roughly 196.5 acres of land. The design district holds all zoning districts allowed within Title 17 aside from the “Planned Development” district. While the results showed that the majority of the properties were within the B1 and B2 business districts, residential land use within the B1 and B2 zoning district was very apparent.

Zoning	Acreage	% of Design District
R1 Residential	23.97	12.2
R2 Residential	2.71	1.38
B1 Local Business	49.04	24.95
B2 General Business	74.32	37.82
B3 Professional Office	2.56	1.30
M1 Light Industrial	11.1	5.65
M2 Heavy Industrial	10.56	5.37
SP Public Semi-Public	22.25	11.32

Table 1 Zoning of properties within design district boundaries

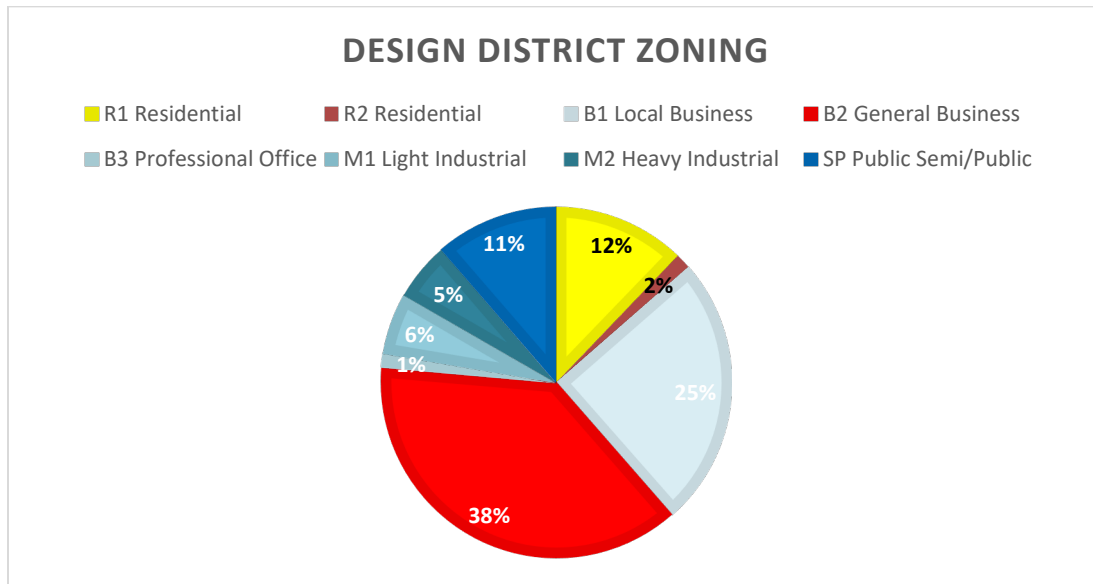


Figure 1 Chart of zoning within design district

Land Use	Acreage	% of Design District
Commercial	85.06	43.29
Industrial	11.19	5.69
Residential	58.28	29.66
Parking	6.55	3.33
Public	22.99	11.7
Undeveloped	12.44	6.33

Table 2 Land Use of properties within design district

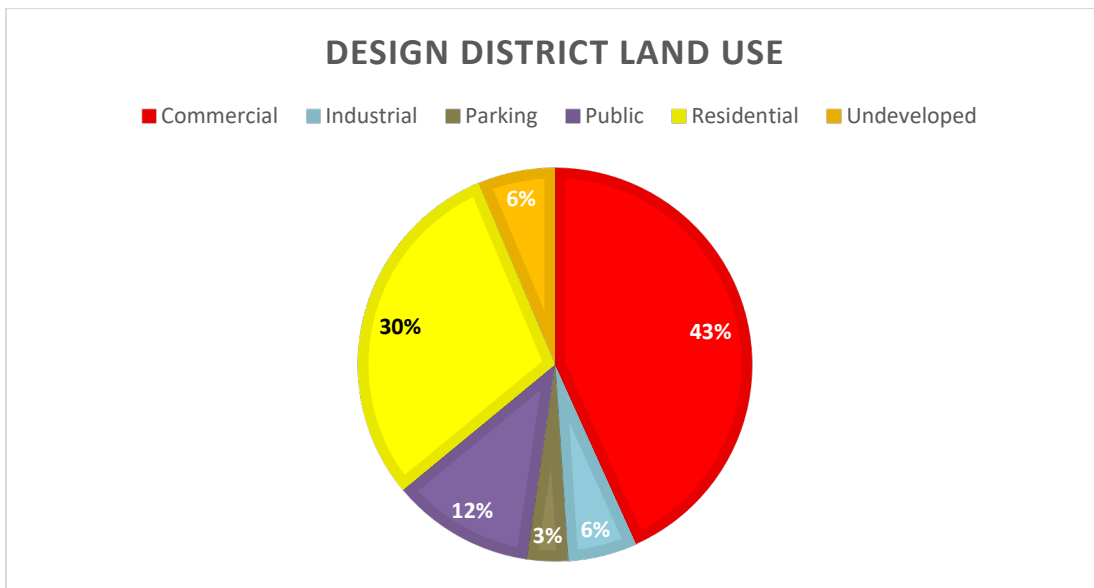


Figure 2 Chart of land use within design district

To simplify the land use we can break the chart down to a simplified version containing residential vs. nonresidential properties:

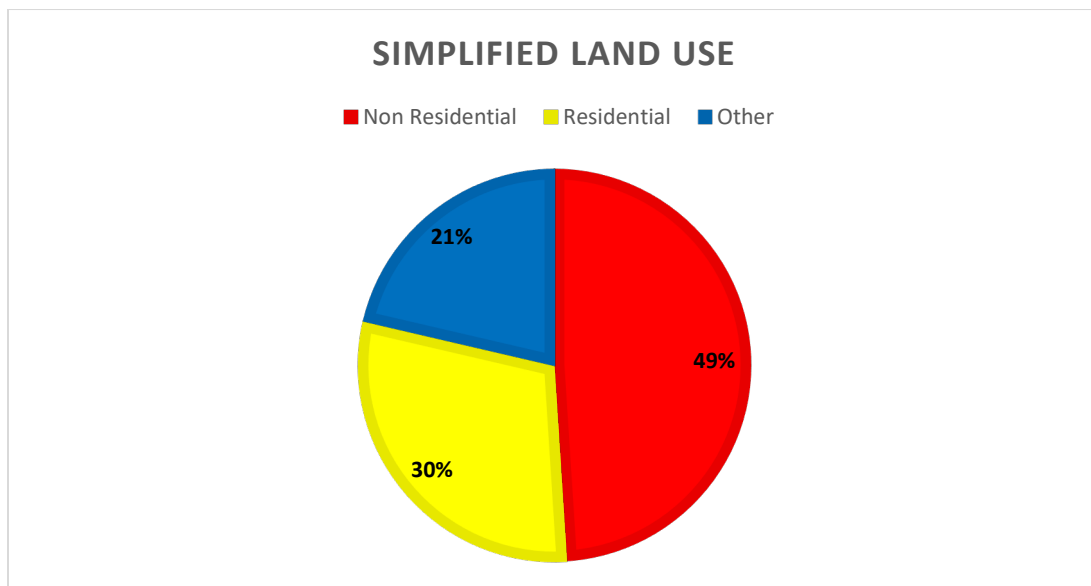


Figure 3 Chart of simplified land uses within design district

Using this information we can see that just under half of the properties within the design district are truly impacted by the design requirements. With this in mind, staff next conducted individual analysis of all properties that are non-residential within the design district to check for conformance and found that 131 properties (69%) conformed and 57 (31%) properties were out of conformance. Next staff detailed this information relative to the design district as a whole:

Conformance?	# of Properties	% of Total
Conforming	131	22.78
Nonconforming	57	9.91
Other	387	67.30

Table 3 Design district conformance of entire area

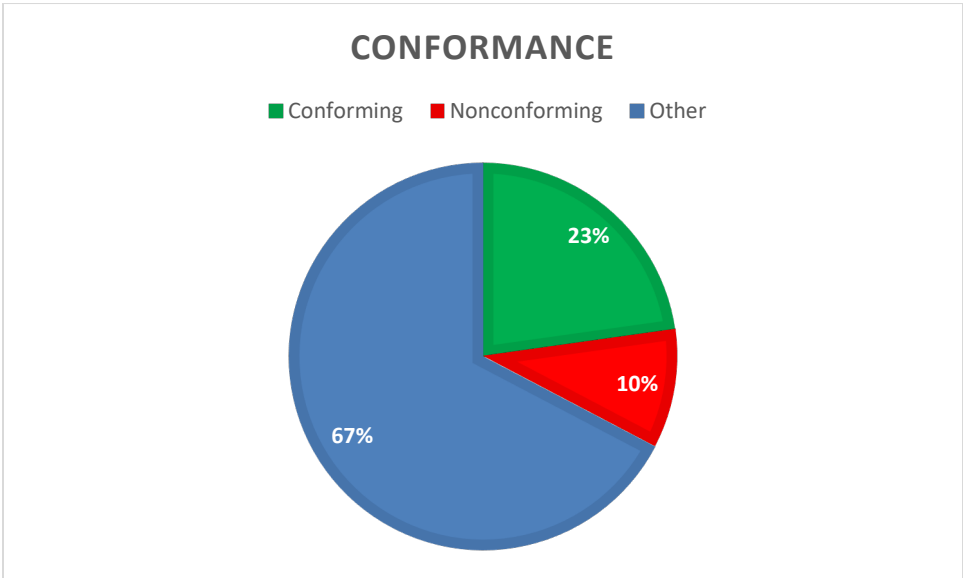


Figure 4 Chart of design district conformance

Based on the information gathered, it would appear that much of the properties within the design district are not reviewed under design district standards. It should be noted that due to the vague wording of the design district standards/requirements that conformance is subjective to the reviewer, in this case staff’s interpretation. Of those that are reviewed, just under one-third of properties for not conform.

The areas of high conformance within the design district include:

- S Toppenish from BNSF Railway tracks to W 2nd Avenue
- S Toppenish from Asotin to S E Street
- S Division from S Toppenish to W 2nd Avenue
- W 1st Ave from S Alder Street to S Division
- Washington from S Beech to S Toppenish

Conclusion:

Based on the information gathered staff would suggest exploring two items:

1. A significant reduction of the design district area to include only the areas of existing high conformance.
2. Potential elimination of the design district and replacement with a “Historical Mural District”.

A key consideration to the design district is to not only bring character to our jurisdiction but to also be a point of tourism and commerce. Staff believes consideration of whether the design district truly jumps out as

a “western” area needs to be taken into account. While there are areas that do conform with the standards of the design district, that’s not to say that those standards are sufficient in exemplifying a western theme. For example, many of the buildings, while containing some western architecture, are painted/colored and utilized in such a way that one may not consider it western and rather just an interesting building.

Staff researched online resources to see if Toppenish was a easily located as a “western themed” or “themed” city, unfortunately the cities that were apparent did not include Toppenish. However, when conducting research staff noticed that when the topics of murals was included that Toppenish was a highly presented city, included with much larger cities such as Seattle, Tacoma, Spokane, etc. With this in mind, staff would suggest exploring the option of converting the design district to be for historical murals from the design district time period rather than for historical architecture.

Recommendation: Not Applicable

Alternatives: Not Applicable