

Notice is hereby given of a meeting of the Tomball Economic Development Corporation, to be held on Tuesday, August 08, 2023 at 5:30 PM, City Hall, 401 Market Street, Tomball, TX 77375, for the purpose of considering the following agenda items. All agenda items are subject to action. The Tomball Economic Development Corporation reserves the right to meet in a closed session for consultation with attorney on any agenda item should the need arise and if applicable pursuant to authorization by Title 5, Chapter 551, of the Texas Government Code.

THE TOMBALL ECONOMIC DEVELOPMENT CORPORATION OF THE CITY OF TOMBALL, TEXAS, WILL CONDUCT THE MEETING SCHEDULED FOR AUGUST 8, 2023, 5:30 PM, AT 401 MARKET STREET, TOMBALL, TEXAS, 77375. THIS MEETING AGENDA AND THE AGENDA PACKET ARE POSTED ONLINE AT:

HTTPS://TOMBALLTX.GOV/ARCHIVE.ASPX?AMID=38

A RECORDING OF THE MEETING WILL BE MADE AND WILL BE AVAILABLE TO THE PUBLIC IN ACCORDANCE WITH THE OPEN MEETINGS ACT UPON WRITTEN REQUEST.

The public toll-free dial-in numbers to participate in the telephonic meeting are any one of the following (dial by your location): +1 312 626 6799 US (Chicago); +1 646 876 9923 US (New York); +1 301 715 8592 US; +1 346 248 7799 US (Houston); +1 408 638 0968 US (San Jose); +1 669 900 6833 US (San Jose); or +1 253 215 8782 US (Tahoma) - Meeting ID: 878 6412 6638 Passcode: 148233. The public will be permitted to offer public comments telephonically, as provided by the agenda and as permitted by the presiding officer during the meeting.

- A. Invocation
- B. Pledges
- C. Public Comments and Receipt of Petitions; [At this time, anyone will be allowed to speak on any matter other than personnel matters or matters under litigation, for length of time not to exceed three minutes. No Council/Board discussion or action may take place on a matter until such matter has been placed on an agenda and posted in accordance with law - GC, 551.042.]

- D. Reports and Announcements
- E. Reports by TEDC Staff:
 - <u>1.</u> Texas Economic Development Council 2023 Workforce Excellence Award P-TECH Program
 - 2. Summer 2023 Quarterly Newsletter
 - 3. 2023 Economic Outlook Luncheon Save the Date October 18, 2023 11:00 a.m. 1:00 p.m.
- F. Approval of Minutes
 - <u>4.</u> Regular Tomball EDC Meeting of May 9, 2023.
- G. New Business
 - 5. Presentation by Katherine Tapscott, Finance Director, regarding the Tomball EDC 2022-2023 Fiscal Year financial statements.
 - 6. Consideration and possible action by Tomball EDC to approve a request by GK Hospitality Development LLC., for a one-year extension of time in order to complete the construction of a 6,580 square-foot commercial building and gasoline facility located near the northwest corner of FM 2920 and State Highway 249, Tomball, Texas 77375.
 - 7. Consideration and possible action by Tomball EDC to approve a request by Houston Poly Bag I, Ltd. for a one-year extension of time in order to complete the construction of a 41,000 square-foot warehouse facility and make other capital improvements located at 11726 Holderrieth Road, Tomball, Texas 77375.
 - 8. Presentation by Kelly Violette, Executive Director, regarding Old Town Tomball project updates.
 - 9. The Tomball Economic Development Corporation will enter into a Workshop Session to discuss the Fiscal Year 2023-2024 Tomball Economic Development Corporation Budget.
 - 10. EXECUTIVE SESSION: The Tomball Economic Development Corporation Board will meet in Executive Session as authorized by Title 5, Chapter 551, Texas Government Code, The Texas Open Meetings Act, for the following purpose:

- Section 551.072, - Deliberations regarding real property: Deliberate the purchase, exchange, sale, lease, or value of real property.

- Section 551.087, - Deliberation regarding Economic Development negotiations.

- Section 551.074, - To deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee, to wit: the Executive Director and Staff.

- 11. Reconvene into regular session and take action, if necessary, on items discussed in Executive Session.
- 12. Consideration and possible action by Tomball EDC to approve the Tomball Economic Development Corporation Fiscal Year 2023-2024 Budget.

- Public Hearing

- 13. Consideration and possible action by Tomball EDC to approve out-of-state travel for FY 2023-2024 for TEDC Staff to attend conferences and trainings for professional and business development purposes.
- 14. Consideration and possible action by Tomball EDC to authorize the Executive Director to negotiate and approve a construction contract for the Tomball Business & Technology Park North Signage and Fencing Project with Texas Wall & Landscape, LLC in an amount not to exceed \$391,000.00.
- H. Adjournment

CERTIFICATION

I hereby certify that the above notice of meeting was posted on the bulletin board of City Hall, City of Tomball, Texas, a place readily accessible to the general public at all times, on the 4th day of August 2023 by 5:30 PM, and remained posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kelly Violette Executive Director

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at (281) 290-1002 or FAX (281) 351-6256 for further information.

AGENDAS MAY BE VIEWED ONLINE AT www.ci.tomball.tx.us.

Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

Kelly Violette

Topic:

Texas Economic Development Council 2023 Workforce Excellence Award – P-TECH Program

Background:

Origination:

Recommendation:

Party(ies) responsible for placing this item on agenda:

FUNDING (IF APPLICABLE)

Are funds	specifically designated in the current bu	dget for the full amount required for this purpose?	
Yes:	No:	If yes, specify Account Number: #	
If no, fund	ls will be transferred from account #	To account #	

Signed			Approved by		
	Staff Member-TEDC	Date		Executive Director-TEDC	Date

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Meeting Date: August 8, 2023

Kelly Violette

Regular Tomball EDC Agenda Item Data Sheet

Topic:

Summer 2023 Quarterly Newsletter

Background:

Origination:

Recommendation:

Party(ies) responsible for placing this item on agenda:

FUNDING (IF APPLICABLE)

 Are funds specifically designated in the current budget for the full amount required for this purpose?

 Yes:
 No:
 If yes, specify Account Number: #

 If no, funds will be transferred from account #
 To account #

Signed			Approved by		
	Staff Member-TEDC	Date		Executive Director-TEDC	Date

Item 3.

Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

Kelly Violette

Topic:

2023 Economic Outlook Luncheon Save the Date – October 18, 2023 – 11:00 a.m. – 1:00 p.m.

Background:

Origination:

Recommendation:

Party(ies) responsible for placing this item on agenda:

FUNDING (IF APPLICABLE)

Are funds	specifically designated in the current bu	udget for the full amount required for this purpose?
Yes:	No:	If yes, specify Account Number: #
If no, fund	ds will be transferred from account #	To account #

Signed			Approved by		
	Staff Member-TEDC	Date		Executive Director-TEDC	Date

Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

Topic:

Regular Tomball EDC Meeting of May 9, 2023

Background:

Origination: Kelly Violette, Executive Director							
Recommendation:							
Approval of the Minutes for the Meeting of May 9, 202	3						
Party(ies) responsible for placing this item on agenda: Kelly Violette							
FUNDING (IF APPLICABLE)Are funds specifically designated in the current budget for the Yes:No:If yes,	e full amount required for this purpose? specify Account Number: #						
Are funds specifically designated in the current budget for the							



Notice is hereby given of a meeting of the Tomball Economic Development Corporation, to be held on Tuesday, May 09, 2023 at 5:30 PM, City Hall, 401 Market Street, Tomball, TX 77375, for the purpose of considering the following agenda items. All agenda items are subject to action. The Tomball Economic Development Corporation reserves the right to meet in a closed session for consultation with attorney on any agenda item should the need arise and if applicable pursuant to authorization by Title 5, Chapter 551, of the Texas Government Code.

THE TOMBALL ECONOMIC DEVELOPMENT CORPORATION OF THE CITY OF TOMBALL, TEXAS, WILL CONDUCT THE MEETING SCHEDULED FOR MARCH 7, 2023 5:30 PM, AT 401 MARKET STREET, TOMBALL, TEXAS, 77375. THIS MEETING AGENDA AND THE AGENDA PACKET ARE POSTED ONLINE AT:

HTTPS://TOMBALLTX.GOV/ARCHIVE.ASPX?AMID=38

A RECORDING OF THE MEETING WILL BE MADE AND WILL BE AVAILABLE TO THE PUBLIC IN ACCORDANCE WITH THE OPEN MEETINGS ACT UPON WRITTEN REQUEST.

The public toll-free dial-in numbers to participate in the telephonic meeting are any one of the following (dial by your location): +1 312 626 6799 US (Chicago); +1 646 876 9923 US (New York); +1 301 715 8592 US; +1 346 248 7799 US (Houston); +1 408 638 0968 US (San Jose); +1 669 900 6833 US (San Jose); or +1 253 215 8782 US (Tahoma) - Meeting ID: 836 9467 2480 Passcode: 437550. The public will be permitted to offer public comments telephonically, as provided by the agenda and as permitted by the presiding officer during the meeting.

A. Call to Order

President Fagan called the meeting to order at 5:30 p.m.

PRESENT President Gretchen Fagan Secretary Bill Sumner Member Lisa Covington Member Chad Degges ABSENT Vice-President Steven Vaughan Treasurer Richard Bruce Member Clete Jaeger

OTHERS PRESENT Kelly Violette Tiffani Wooten Tori Gleason McKayley Dannelley Tom Condon Kyle Bertrand Ross Winkler Aaron Farmer Katherine Tapscott Kaela Olson (via Zoom)

B. Invocation

Board Member Degges led the invocation.

C. Pledges

Kelly Violette led the pledge of allegiance to both flags.

D. Public Comments and Receipt of Petitions; [At this time, anyone will be allowed to speak on any matter other than personnel matters or matters under litigation, for length of time not to exceed three minutes. No Council/Board discussion or action may take place on a matter until such matter has been placed on an agenda and posted in accordance with law - GC, 551.042.]

No public comments were received.

- E. Reports and Announcements
- F. Reports by TEDC Staff:

Kelly Violette provided an overview of the following:

- 1. Spring 2023 Quarterly Newsletter
- 2. National Economic Development Week May 8-12, 2023
- G. Approval of Minutes

Motion made by Secretary Sumner, Seconded by Member Covington.

Voting Yea: President Fagan, Secretary Sumner, Member Degges, Member Covington

The motion carried unanimously.

- 3. Regular Tomball EDC Meeting of March 7, 2023
- 4. Special Tomball EDC Meeting of April 6, 2023

H. New Business

5. Presentation by Katherine Tapscott, Finance Director, regarding the Tomball EDC 2022-2023 Fiscal Year financial statements.

Presentation item only; no Board action required.

6. Presentation by Aaron Farmer, President, The Retail Coach, regarding the Tomball Retail Market.

Presentation item only; no Board action required.

7. Consideration and possible action by Tomball EDC to accept the Tomball Economic Development Corporation 2022-2023 Annual Report.

Motion made by Secretary Sumner, Seconded by Member Degges.

Voting Yea: President Fagan, Secretary Sumner, Member Degges, Member Covington

The motion carried unanimously.

8. Consideration and possible action by Tomball EDC to approve the Tomball Economic Development Corporation 2023-2024 Strategic Work Plan.

Motion made by Treasurer Bruce, Seconded by Member Jaeger.

Voting Yea: President Fagan, Secretary Sumner, Member Degges, Member Covington

The motion carried unanimously.

- 9. Discussion regarding parking lot signage for First Baptist Church property.
- 10. EXECUTIVE SESSION: The Tomball Economic Development Corporation Board will meet in Executive Session as authorized by Title 5, Chapter 551,

Texas Government Code, The Texas Open Meetings Act, for the following purpose:

- Section 551.072, - Deliberations regarding real property: Deliberate the purchase, exchange, sale, lease, or value of real property.

- Section 551.087, - Deliberation regarding Economic Development negotiations.

The Tomball Economic Development Corporation Board of Directors recessed at 7:09 p.m.

11. Reconvene into regular session and take action, if necessary, on items discussed in Executive Session.

The Tomball Economic Development Corporation Board of Directors reconvened at 7:26 p.m.

Motion made by Secretary Sumner, Seconded by Member Degges to ratify approval of a commercial real estate contract – unimproved property between the Corporation as Seller and Mero Homes, LLC and/or assigns as purchaser and authorize the execution of contracts and documentation by the EDC Executive Director relating to approximately 2.6727 gross acres of land identified as Lot 1, Block 1, of the Tomball Business and Technology Park Section 2.

Voting Yea: President Fagan, Secretary Sumner, Member Degges, Member Covington

The motion carried unanimously.

I. Adjournment

Motion made by Secretary Sumner, Seconded by Member Covington.

Voting Yea: President Fagan, Secretary Sumner, Member Degges, Member Covington

The motion carried unanimously. Meeting adjourned at 7:27 p.m.

CERTIFICATION

I hereby certify that the above notice of meeting was posted on the bulletin board of City Hall, City of Tomball, Texas, a place readily accessible to the general public at all times, on the 5th day of MAY 2023 by 5:30 PM, and remained posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kelly Violette Executive Director

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at (281) 290-1002 or FAX (281) 351-6256 for further information.

AGENDAS MAY BE VIEWED ONLINE AT <u>www.ci.tomball.tx.us</u>.

PASSED AND APPROVED this the 8th day of August 2023.

President, Tomball EDC Board

Secretary, Tomball EDC Board

Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

Kelly Violette

Topic:

Presentation by Katherine Tapscott, Finance Director, regarding the Tomball EDC 2022-2023 Fiscal Year financial statements.

Background:

- Standard Balance Sheet
- Comparison Balance Sheet
- Profit & Loss to Actual
- Comparison Profit & Loss
- Active Project Grants
- Analysis of Project Grants
- Quarterly Investment Report
- Business Improvement Grants Overview
- Old Town Façade Improvement Grants Overview

Origination: Katherine Tapscott, Finance Director

Recommendation: Presentation item only.

FUNDING (IF APPLICABLE)

Are funds	specifically designated in the current bu	udget for the full amount required for this purpose?				
Yes:	No:	If yes, specify Account Number: #				
If no, fund	ls will be transferred from account #	To account #				
~						

Signed	Signed			
	Staff Member-TEDC	Date	_	Executive Director-TEDC

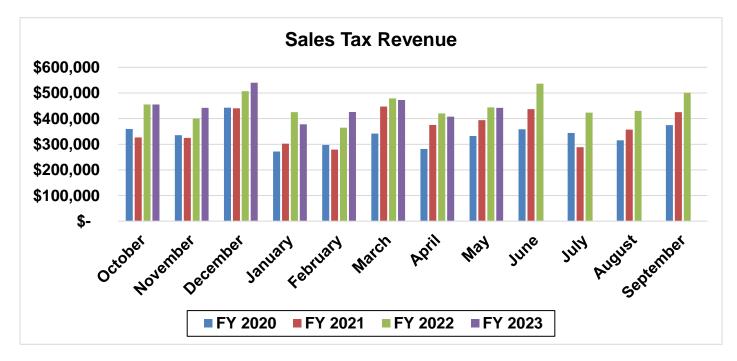
Date

TOMBALL ECONOMIC DEVELOPMENT CORPORATION MEMORANDUM

- TO: TEDC Board of Directors
- FROM: Katherine Tapscott, Finance Director
- SUBJECT: Financial Information for Quarter Ending June 30, 2023
- DATE: August 8, 2023

Attached is the financial information for the quarter ending June 30, 2023 for the Tomball Economic Development Corporation.

Total year-to-date (YTD) revenues were \$8,213,561, which was \$4,051,061 more than the budgeted amount of \$4,162,500. YTD sales tax revenues were \$3,563,032, which was \$261,968 less than the budgeted amount of \$3,825,000. The decrease is due to sales tax revenue including eight (8) months of sales tax collections, since the June sales tax allocation was not received as of the date of this report. For fiscal year to date, sales tax revenues were up 1.9% over the previous year on an accrual basis. Interest income was \$726,029, which was \$388,529 more than budget for the quarter YTD.



Total administrative expenses for the quarter YTD were \$515,003, which was \$92,786 less than the budgeted amount of \$607,789. Indirect Economic Development costs for the quarter YTD were \$385,429, which was \$157,545 less than the budgeted amount of \$542,974.

Included in the financial information is a schedule of active project grants, which assists with tracking of TEDC grant commitments. The schedule is updated as project grants are added and prior commitments are paid. As of June 30, 2023, the TEDC had outstanding commitments for Board Approved Grants of \$1,875,234.

The Quarterly Investment Report is also included, which lists the details of the TEDC's investment portfolio. As of June 30, 2023, TEDC's cash and cash equivalents totaled over \$19 million. Additionally, TEDC held securities with a total market value of \$3,078,092 as of June 30, 2023.

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Accrual Basis

Tomball Economic Development Corporation Profit & Loss Budget vs. Actual

_	Oct '22 - Jun 23	Budget	\$ Over Budget	% of Budget	
Ordinary Income/Expense					
Income					
Lease Revenue	210,419.85		210,419.85		100.0%
Sales of Business Park Property	3,714,078.99		3,714,078.99		100.0%
Sales Tax	3,563,032.49	5,100,000.00	-1,536,967.51		69.9%
Interest	726,029.32	450,000.00	276,029.32		161.3%
Total Income	8,213,560.65	5,550,000.00	2,663,560.65		148.0%
Gross Profit	8,213,560.65	5,550,000.00	2,663,560.65		148.0%
Expense					
Administrative Expenditures					
Salaries and Benefits					
Salary-Executive Director	118,461,73	165.926.00	-47,464.27	71.4%	
Salary- Assistant Director	91.521.20	125.855.00	-34.333.80	72.7%	
Salary-Coordinator	53,627.73	75,255.00	-21,627.27	71.3%	
Wages-Admin. Asst.	31,443.59	55,000.00	-23,556.41	57.2%	
Wages-Part Time	01,440.00	8,300.00	-8,300.00	01.270	
Overtime	62.56	0,000.00	62.56	100.0%	
Benefits-Executive Director	44.457.19	50.113.00	-5.655.81	88.7%	
Benefits- Assistant Director	40,139.15	50,910.00	-10,770.85	78.8%	
Benefits-Coordinator	18,587.26	23.720.00	-5,132.74	78.4%	
Benefits-Admin. Asst.	20,821.34	37,506.00	-16,684.66	55.5%	
Total Salaries and Benefits	419,121.75	592,585.00	-173,463.25	70.7%	
Other Personnel Expenditures					
Auto Allowance-Exec.Director	8,100.00	10,800.00	-2,700.00	75.0%	
Auto Allowance-Assistant Dir	4,500.00	6,000.00	-2,700.00	75.0%	
Phone AllowExec. Dir.	675.00	900.00	-225.00	75.0%	
Phone Allowance- Assistant Dir	675.00	900.00	-225.00 -225.00	75.0%	
Phone Allowance-Coordinator	675.00	900.00	-225.00	75.0% 54.9%	
Dues and Subscriptions	7,189.26	13,100.00	-5,910.74		
Local Travel Expense	256.73	500.00	-243.27	51.3%	
Seminar/Conference Registration	6,682.50	18,000.00	-11,317.50	37.1%	
Travel and Training	6,457.48	30,000.00	-23,542.52	21.5%	
Total Other Personnel Expenditures	35,210.97	81,100.00	-45,889.03	43.4%	
Service and Supply Expenditures					
Insurance	1,782.50	18,000.00	-16,217.50	9.9%	
Contract Administrative Service	18,750.00	25,000.00	-6,250.00	75.0%	
Bank Charges & Postage	55.83	3,500.00	-3,444.17	1.6%	
Computer Equip. and Maint.	4,461.19	10,000.00	-5,538.81	44.6%	
Communications Services	3,376.89	5,200.00	-1,823.11	64.9%	
Legal Fees	7,491.00	40,000.00	-32,509.00	18.7%	
Lease Expense-GTACC	20,168.71	25,000.00	-4,831.29	80.7%	
Office Supplies	4,583.82	10,000.00	-5,416.18	45.8%	
Total Service and Supply Expenditures	60,669.94	136,700.00	-76,030.06	44.4%	
	515,002.66	810.385.00	-295.382.34		63.6%

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Accrual Basis

Tomball Economic Development Corporation Profit & Loss Budget vs. Actual

	Oct '22 - Jun 23	Budget	\$ Over Budget	% of Budget	
Indirect Economic Development					
Grow Tomball Initiative		20,000.00	-20,000.00		
Economic Impact Model License	4,561.00	4,565.00	-4.00	99.9%	
Promotional Items	1,640.05	6,500.00	-4,859.95	25.2%	
Printing	4,120.25	6,500.00	-2,379.75	63.4%	
Event Sponsorships	12,518.66	29,000.00	-16,481.34	43.2%	
Chamber Guide		8,400.00	-8,400.00		
Area Street Maps	3,875.00	4,000.00	-125.00	96.9%	
Marketing	80,541.00	105,000.00	-24,459.00	76.7%	
Website and GIS	8,100.00	25,000.00	-16,900.00	32.4%	
Professional Services	265,186.45	500,000.00	-234,813.55	53.0%	
Miscellaneous	4,886.46	15,000.00	-10,113.54	32.6%	
Total Indirect Economic Development	385,428.87	723,965.00	-338,536.13		53.2%
City Debt Service					
Medical Complex/Persimmon	222,222.00	222,222.00		100.0%	
Business Park Infrastructure	479,306.25	539,463.00	-60,156.75	88.8%	
Total City Debt Service	701,528.25	761,685.00	-60,156.75		92.1%
Grants, Loans & Other Exp.					
South Live Oak Redevelopment	63,025.63	5,000,000.00	-4,936,974.37	1.3%	
Old Town Facade Grants- Prior Y	33,469.37	100,000.00	-66,530.63	33.5%	
Old Town Facade Grants- Current		250,000.00	-250,000.00		
Businesss Park Expenses	66,573.26	300,000.00	-233,426.74	22.2%	
Sales Tax Reimb.Grants (380)	70,129.55	70,000.00	129.55	100.2%	
Business Imp. Grants- Prior Yr.	248,543.47	250,000.00	-1,456.53	99.4%	
Business Imp. Grants- Curr. Yr.	84,766.13	350,000.00	-265,233.87	24.2%	
Project Grants	1,987,761.56	2,500,000.00	-512,238.44	79.5%	
Property Acquisition	4,635,759.50	5,000,000.00	-364,240.50	92.7%	
Total Grants, Loans & Other Exp.	7,190,028.47	13,820,000.00	-6,629,971.53		52.0%
Total Expense	8,791,988.25	16,116,035.00	-7,324,046.75		54.6%
Net Ordinary Income	-578,427.60	-10,566,035.00	9,987,607.40		5.5%
let Income	-578,427.60	-10,566,035.00	9,987,607.40		5.5%

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07/27/23

Accrual Basis

Tomball Economic Development Corporation Profit & Loss Prev Year Comparison

_	Oct '22 - Jun 23	Oct '21 - Jun 22	\$ Change	% Chan	ge
Ordinary Income/Expense					
Income					
Lease Revenue	210,419.85	218,968.01	-8,548.16		-3.9%
Miscellaneous	0.00	1,264.55	-1,264.55		-100.0%
Sales of Business Park Property	3,714,078.99	1,646,929.61	2,067,149.38		125.5%
Grants	0.00	8,000.00	-8,000.00		-100.0%
Sales Tax	3,563,032.49	3,495,557.66	67,474.83		1.9%
Interest	726,029.32	248,487.37	477,541.95		192.2%
Total Income	8,213,560.65	5,619,207.20	2,594,353.45		46.2%
Gross Profit	8,213,560.65	5,619,207.20	2,594,353.45		46.2%
Expense Administrative Expenditures					
Salaries and Benefits					
Salary-Executive Director	118.461.73	97.071.66	21.390.07	22.0%	
Salary-Assistant Director	91,521.20	66,303.34	25.217.86	38.0%	
Salary-Coordinator	53,627.73	43,496.68	10,131.05	23.3%	
Wages-Admin. Asst.	31,443.59	22,307.68	9,135.91	41.0%	
Overtime	62.56	20.55	42.01	204.4%	
Benefits-Executive Director	44,457.19	34,210.29	10,246.90	30.0%	
Benefits- Assistant Director	40,139.15	35,297.55	4,841.60	13.7%	
Benefits-Coordinator	18,587.26	16,225.64	2,361.62	14.6%	
Benefits-Admin. Asst.	20,821.34	22,792.97	-1,971.63	-8.7%	
Total Salaries and Benefits	419,121.75	337,726.36	81,395.39		24.1%
Other Personnel Expenditures					
Auto Allowance-Exec.Director	8,100.00	8,100.00	0.00	0.0%	
Auto Allowance-Assistant Dir	4,500.00	4,500.00	0.00	0.0%	
Phone AllowExec. Dir.	675.00	675.00	0.00	0.0%	
Phone Allowance- Assistant Dir	675.00	675.00	0.00	0.0%	
Phone Allowance-Coordinator	675.00	0.00	675.00	100.0%	
Dues and Subscriptions	7,189.26	9,101.79	-1,912.53	-21.0%	
Local Travel Expense	256.73	72.22	184.51	255.5%	
Seminar/Conference Registration	6,682.50	6,552.00	130.50	2.0%	
Travel and Training	6,457.48	9,236.09	-2,778.61	-30.1%	
Total Other Personnel Expenditures	35,210.97	38,912.10	-3,701.13		-9.5%
Service and Supply Expenditures					
Insurance	1,782.50	553.76	1,228.74	221.9%	
Contract Administrative Service	18,750.00	18,750.00	0.00	0.0%	
Bank Charges & Postage	55.83	1,825.55	-1,769.72	-96.9%	
Computer Equip. and Maint.	4,461.19	3,072.44	1,388.75	45.2%	
Communications Services	3,376.89	2,821.23	555.66	19.7%	
Legal Fees	7,491.00	7,340.50	150.50	2.1%	
Lease Expense-GTACC	20,168.71	18,887.65	1,281.06	6.8%	
Office Supplies	4,583.82	2,821.69	1,762.13	62.5%	
Total Service and Supply Expenditures	60,669.94	56,072.82	4,597.12		8.2%
Total Administrative Expenditures	515,002.66	432,711.28	82,291.38		19.0%

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07/27/23

Accrual Basis

Tomball Economic Development Corporation Profit & Loss Prev Year Comparison

	Oct '22 - Jun 23	Oct '21 - Jun 22	\$ Change	% Change	
Indirect Economic Development					
Economic Impact Model License	4,561.00	4,561.00	0.00	0.0%	
Promotional Items	1,640.05	4,714.78	-3,074.73	-65.2%	
Printing	4,120.25	691.00	3,429.25	496.3%	
Event Sponsorships	12,518.66	6,560.00	5,958.66	90.8%	
Area Street Maps	3,875.00	0.00	3,875.00	100.0%	
Marketing	80,541.00	72,255.00	8,286.00	11.5%	
Website and GIS	8,100.00	12,100.00	-4,000.00	-33.1%	
Professional Services	265,186.45	206,627.93	58,558.52	28.3%	
Miscellaneous	4,886.46	44,565.60	-39,679.14	-89.0%	
Total Indirect Economic Development	385,428.87	352,075.31	33,353.56	9	9.5%
City Debt Service					
Medical Complex/Persimmon	222,222.00	222,222.00	0.00	0.0%	
Business Park Infrastructure	479,306.25	473,356.25	5,950.00	1.3%	
Southside Utility Ext.(2/15/22)	0.00	370,000.00	-370,000.00	-100.0%	
Total City Debt Service	701,528.25	1,065,578.25	-364,050.00	-34	4.2%
Grants, Loans & Other Exp.					
South Live Oak Redevelopment	63,025.63	58,697.52	4,328.11	7.4%	
Old Town Facade Grants- Prior Y	33,469.37	88,357.85	-54,888.48	-62.1%	
Businesss Park Expenses	66,573.26	84,950.27	-18,377.01	-21.6%	
Sales Tax Reimb.Grants (380)	70,129.55	66,823.15	3,306.40	5.0%	
Business Imp. Grants- Prior Yr.	248,543.47	111,689.96	136,853.51	122.5%	
Business Imp. Grants- Curr. Yr.	84,766.13	71,150.45	13,615.68	19.1%	
Project Grants	1,987,761.56	218,790.15	1,768,971.41	808.5%	
Property Acquisition	4,635,759.50	0.00	4,635,759.50	100.0%	
Total Grants, Loans & Other Exp.	7,190,028.47	700,459.35	6,489,569.12	926	6.5%
Total Expense	8,791,988.25	2,550,824.19	6,241,164.06	244	4.7%
Net Ordinary Income	-578,427.60	3,068,383.01	-3,646,810.61	-118	8.9%
Other Income/Expense Other Income Other Income					
Unrealized Gains/Losses on Inv.	10,577.63	-363,455.06	374,032.69	102.9%	
Other Income - Other	6,742.24	,		-56.7%	
Other Income - Other	0,742.24	15,563.53	-8,821.29	-00.7 %	
Total Other Income	17,319.87	-347,891.53	365,211.40	105	5.0%
Total Other Income	17,319.87	-347,891.53	365,211.40	105	5.0%
Net Other Income	17,319.87	-347,891.53	365,211.40	105	5.0%
Net Income	-561,107.73	2,720,491.48	-3,281,599.21	-120	0.6%

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07/27/23

Accrual Basis

Tomball Economic Development Corporation Balance Sheet Prev Year Comparison

As of June 30, 2023

	Jun 30, 23	Jun 30, 22	\$ Change	% Change
ASSETS Current Assets				
Checking/Savings	100.070.05		10,100,00	40.00/
Wells Fargo, checking TexasCLASS	186,879.05 1,018,220.17	168,478.39 978.629.48	18,400.66 39,590.69	10.9% 4.1%
TexPool	17,977,594.28	13,824,568.32	4,153,025.96	30.0%
Total Checking/Savings	19,182,693.50	14,971,676.19	4,211,017.31	28.1%
Accounts Receivable				
Lease Receivable	833,221.00	0.00	833,221.00	100.0%
Accounts Receivable - Other Accounts Receivable	593,813.04 452,328.65	369,373.39 454,171.01	224,439.65 -1,842.36	60.8% -0.4%
Total Accounts Receivable	1,879,362.69	823,544.40	1,055,818.29	128.2%
	1,070,002.00	020,044.40	1,000,010.20	120.270
Other Current Assets Lease Interest Receivable	2,638.00	0.00	2,638.00	100.0%
Investment Securities	3,078,092.44	6,712,803.93	-3,634,711.49	-54.2%
Total Other Current Assets	3,080,730.44	6,712,803.93	-3,632,073.49	-54.1%
Total Current Assets	24,142,786.63	22,508,024.52	1,634,762.11	7.3%
Fixed Assets				
Buildings and Improvements		212 040 00	014 050 00	C7 40/
Accumulated Depreciation Buildings and Improvements - Other	-525,593.38 4,233,067.57	-313,940.00 4,233,067.57	-211,653.38 0.00	-67.4% 0.0%
Total Buildings and Improvements	3,707,474.19	3,919,127.57	-211,653.38	-5.4%
Land	3,573,659.34	3,871,114.37	-297,455.03	-7.7%
Total Fixed Assets	7,281,133.53	7,790,241.94	-509,108.41	-6.5%
TOTAL ASSETS	31,423,920.16	30,298,266.46	1,125,653.70	3.7%
= LIABILITIES & EQUITY Liabilities Current Liabilities				
Accounts Payable		000.075.00	00.070.01	·= = - · /
Accounts Payable	173,897.04	206,275.28	-32,378.24	-15.7%
Total Accounts Payable	173,897.04	206,275.28	-32,378.24	-15.7%

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07/27/23

Accrual Basis

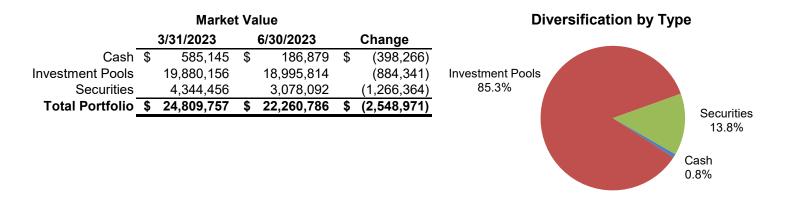
Tomball Economic Development Corporation Balance Sheet Prev Year Comparison As of June 30, 2023

	Jun 30, 23	Jun 30, 22	\$ Change	% Change
Other Current Liabilities Refundable Deposit	10,869.00	10,869.00	0.00	0.0%
Total Other Current Liabilities	10,869.00	10,869.00	0.00	0.0%
Total Current Liabilities	184,766.04	217,144.28	-32,378.24	-14.9%
Long Term Liabilities Deferred Inflows - Leases	811,840.00	0.00	811,840.00	100.0%
Total Long Term Liabilities	811,840.00	0.00	811,840.00	100.0%
Total Liabilities	996,606.04	217,144.28	779,461.76	359.0%
Equity Fund Balance Board Approved Grants Fund Balance - Other	1,875,233.95 28,862,353.24	2,261,166.25 24,848,629.79	-385,932.30 4,013,723.45	-17.1% 16.2%
Total Fund Balance	30,737,587.19	27,109,796.04	3,627,791.15	13.4%
Retained Earnings Net Income	250,834.66 -561,107.73	250,834.66 2,720,491.48	0.00 -3,281,599.21	0.0% -120.6%
Total Equity	30,427,314.12	30,081,122.18	346,191.94	1.2%
TOTAL LIABILITIES & EQUITY	31,423,920.16	30,298,266.46	1,125,653.70	3.7%

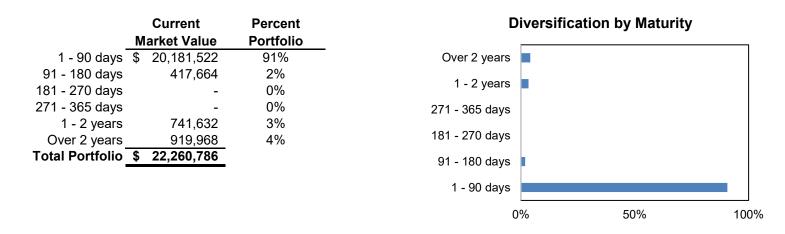
TOMBALL ECONOMIC DEVELOPMENT CORPORATION ACTIVE PROJECT GRANTS (BOARD APPROVED GRANTS) AS OF JUNE 30, 2023

	APPR	OVED		ADDITIO	NS/DELETIONS	F	AID	REMAINING
GRANTEE	DATE	AMOUNT	EXPIRATION DATE	DATE	AMOUNT	DATE	AMOUNT	AMOUNT
Dancing Falls Development, LLC	11/14/2017	50,925.00				1/14/2020	15,277.50	
Dancing Fails Development, LLC	11/14/2017	50,925.00				3/5/2021	5,092.50	
							-	
						9/1/2021	12,731.25	10 701 05
	- / /					3/22/2022	5,092.50	12,731.25
ARC Management, LLC	5/15/2018	186,700.00	- / /			12/14/2022	105,646.82	81,053.18
JDR Cable Systems, Inc.	12/17/2019	135,591.00	2/23/2024					135,591.00
Houston Poly Bag I, Ltd	5/28/2020	84,894.00	8/3/2023					84,894.00
The Hutson Group	1/12/2021	48,800.00	3/9/2023			2/28/2023	23,664.00	25,136.00
Dicar, Inc.	7/13/2021	71,181.00	8/7/2023					71,181.00
Silver Accounting Group, LLC	11/9/2021	8,236.00	1/16/2023					8,236.00
TECHSICO Wireless	11/9/2021	20,529.00	1/16/2024					20,529.00
GK Hospitality Development, LLC	11/9/2021	105,100.00	7/16/2023					105,100.00
Friends of Tomball Community Library	11/9/2021	47,614.00				1/11/2023	9,856.42	
						2/6/2023	14,748.42	
						3/28/2023	4,817.40	
						6/20/2023	2,455.34	15,736.42
Decatur Professional Development, LLC	1/11/2022	6,600.00	3/20/2023					6,600.00
Project Hanks/Macy's Inc.	1/11/2022	580,864.00	3/20/2024					580,864.00
Sip Hip Hooray	5/10/2022	40,545.00				10/11/2022	5,018.85	
		-				12/13/2022	4,633.23	
						1/10/2023	3,658.36	
						2/27/2023	5,875.01	
						5/16/2023	4,950.72	
						6/27/2023	5,216.73	11,192.10
Clearhope Counseling & Wellness Center, LP	8/2/2022	6,875.00	9/27/2023			0,, _00	0,220110	6,875.00
Della Casa Pasta LLC	11/15/2022	16,077.00	1/10/2024					16,077.00
Persimmon Global Logistics	1/10/2023	16,920.00	3/11/2025					16,920.00
Hufsmith-Kohrville Business Park, LLC	1/10/2023	122,722.00	9/11/2024					122,722.00
Church Holdings, Inc.	1/10/2023	426,639.00	9/11/2024					426,639.00
BCS Tomball Main, LLC	1/10/2023	123,094.00	9/11/2024					123,094.00
STUDIO a28, LLC	1/10/2023	4,063.00	3/11/2024					4,063.00
510010 a26, LLC	1/10/2023	4,005.00	5/11/2024					4,003.00
Total		\$ 3,818,969.00			<u>\$ -</u>		\$ 1,952,669.85	\$ 1,875,233.95

TOMBALL ECONOMIC DEVELOPMENT CORPORATION QUARTERLY INVESTMENT REPORT June 30, 2023



Safety of principal is the first priority of any Public investing portfolio. The Tomball Economic Development Corporation invests in securities of federal, state and local governments, and investment pools. These investments are in securities with a rating of A-1/P-1 or higher and pools with Standard & Poor's highest rating of AAAm.



Ensuring adequate liquidity is available to cover all expenditures is the second priority of any public investing program. The Tomball Economic Development Corporation staff forecasts cash flow and matches the maturity of investments with future cash needs. A portion of funds are kept in overnight investments as a buffer for any unexpected expenditures. These overnight investments (TexPool, Texas CLASS) have been performing according to market in terms of yield as well as providing liquidity.

This report is in compliance with the investment strategies as approved and the Public Funds Investment Act.

farmott

Katherine Tapscott Finance Director

TOMBALL ECONOMIC DEVELOPMENT CORPORATION INVESTMENTS IN SECURITIES PORTFOLIO AS OF JUNE 30, 2023

SECURITY DESCRIPTION	CUSIP NUMBER	MATURITY DATE	COUPON YIELD	PAR VALUE		MARKET VALUE	DAYS AFTER 06/30/23	INDIVIDUAL MARKET VALUE/TOTAL	WAM DAYS x PERCENT	Callable
					1			1	I	
1 San Marcos TX Consol ISD Txbl Ref	798781XV7	8/1/2023	4.000%	\$ 1,000,000	\$	998,829	32	32.45%	10	N
2 Conroe TX Cert of Obl	2083992X2	11/15/2023	5.000%	\$ 415,000	\$	417,664	138	13.57%	19	N
3 Royse City Tx Cert of Obl	780860MK5	8/15/2024	5.000%	\$ 250,000	\$	255,012	412	8.28%	34	N
4 Texas State TXBL- Pub Fin Auth	882724GV3	10/1/2024	3.225%	\$ 500,000	\$	486,619	459	15.81%	73	N
5 Federal Home Loan Bank	3130AMTK8	6/30/2025	1.000%	\$ 1,000,000	\$	919,968	731	29.89%	218	Y
		TOTAL	3.645%	\$ 3,165,000	\$	3,078,092	354	100.00%	354	-

TOMBALL ECONOMIC DEVELOPMENT CORPORATION CASH AND CASH EQUIVALENTS FOR QUARTER ENDING June 30, 2023

FUNDS	CASH AND CASH EQUIVALENTS						_IN\	ESTMENTS			
MAJOR FUNDS	TE	KAS CLASS		TEXPOOL	-	PERATING CCOUNTS	OTAL CASH AND CASH QUIVALENTS	IN	TOTAL VESTMENTS	EQU	AL CASH, CASH IVALENTS AND IVESTMENTS
General	\$	1,018,220	\$	17,977,594	\$	186,879	\$ 19,182,694	\$	3,078,092	\$	22,260,786
TOTAL	\$	1,018,220	\$	17,977,594	\$	186,879	\$ 19,182,694	\$	3,078,092	\$	22,260,786

	Business	Improv	ement Gra	nt Progra	m		
Fiscal 2022-2023	Project Amount		TEDC Grant	Date Approved	Date Funded A	nount Funded	\$350,000.00
BK Graham, Ltd	\$30,000.00	Property	\$10,000.00	10/18/2022		_	\$340,000.00
Ideaco Investments, LLC	\$4,375.00	Façade	\$2,187.50	11/2/2022			\$337,812.50
Ideaco Investments, LLC	\$19,400.00	Property	\$9,700.00	11/2/2022			\$328,112.50
CKM Property Management, Inc.	\$2,170.42	Signage	\$1,085.21	11/9/2022	5/9/2023	\$566.44	\$327,027.29
KJ FIVE, LLC	\$9,173.26	Façade	\$4,586.63	11/9/2022	1/30/2023	\$3,760.05	\$322,440.66
KJ FIVE, LLC	\$1,135.67	Property	\$567.83	11/9/2022	1/30/2023	\$567.83	\$321,872.83
KJ FIVE, LLC	\$5,372.73	Landscape	\$2,686.36	11/22/2022	1/30/2023	\$2,497.23	\$319,186.47
Manna Bread from Heaven	\$2,625.00	Signage	\$1,312.50	11/22/2022	2/6/2023		\$317,873.97
Manna Bread from Heaven	\$15,025.00	Façade	\$7,512.50	11/22/2022	2/6/2023	\$7,512.50	\$310,361.47
Manna Bread from Heaven	\$20,794.44	Landscape	\$10,000.00	11/22/2022	2/6/2023	\$3,369.72	\$300,361.47
Manna Bread from Heaven	\$35,850.00	Property	\$10,000.00	11/22/2022	2/6/2023	\$5,845.83	\$290,361.47
Coats Orthodontics	\$2,868.63	Signage	\$1,434.31	11/22/2022	1/13/2023	\$1,434.31	\$288,927.16
The Bluebonnet Tasting Room	\$16,190.00	Façade	\$8,095.00	11/22/2022	12/22/2022	\$8,095.00	\$280,832.16
The Bluebonnet Tasting Room	\$7,700.00	Property	\$3,850.00	11/22/2022			\$276,982.16
The Bluebonnet Tasting Room	\$625.00	Landscape	\$312.50	11/28/2022	12/14/2022	\$312.50	\$276,669.66
The Bluebonnet Tasting Room	\$2,576.35	Signage	\$1,000.00	11/28/2022	3/2/2023	\$1,000.00	\$275,669.66
Bella Antiques, LLC	\$1,017.55	Signage	\$508.77	11/28/2022			\$275,160.89
The Covey Apparel Company, LLC	\$11,846.00	Façade	\$5,923.00	11/30/2022			\$269,237.89
The Covey Apparel Company, LLC	\$6,722.33	Signage	\$2,500.00	11/30/2022	4/4/2023	\$1,399.50	\$266,737.89
Texas Star Gymnastics	\$1,126.95	Property	\$563.47	12/27/2022	1/30/2023	\$563.47	\$266,174.42
Jonah's Movers, LLC	\$72,214.36	Property	\$10,000.00	1/10/2023	6/27/2023	\$10,000.00	\$256,174.42
Jonah's Movers, LLC	\$14,765.30	Signage	\$1,000.00	1/10/2023	6/27/2023	\$1,000.00	\$255,174.42
BCS Tomball Main, LLC	\$100,625.00	Property	\$10,000.00	1/26/2023			\$245,174.42
Khurram Hafiz	\$2,200.00	Property	\$1,100.00	1/26/2023	3/13/2023	\$1,100.00	\$244,074.42
Texas Professional Building	\$137,430.95	Property	\$10,000.00	3/15/2023	6/14/2023	\$10,000.00	\$234,074.42
SWRT Group, Inc.	\$1,306.60	Signage	\$653.30	3/28/2023			\$233,421.12
Tubular Products of Texas, Inc.	\$1,306.60	Signage	\$653.30	3/28/2023			\$232,767.82
Heritage Films, LLC	\$1,306.60	Signage	\$653.30	3/28/2023			\$232,114.52
Gatewood & Associates	\$1,306.60	Signage	\$653.30	3/28/2023			\$231,461.22
Matthew J Coats, DDS, MS, PC	\$1,306.60	Singage	\$653.30	3/28/2023			\$230,807.92
1 Top Tool	\$25,880.00	Façade	\$10,000.00	3/28/2023			\$220,807.92
Hilltop Tool Rental	\$20,220.00	Property	\$10,000.00	3/28/2023			\$210,807.92
The Nook Grill	\$15,485.00	Façade	\$7,742.50	3/30/2023	6/6/2023	\$7,742.50	\$203,065.42
Pathway Councseling Services	\$1,306.60	Signage	\$653.30	4/4/2023			\$202,412.12
Beefy Marketing	\$1,306.60	Signage	\$653.30	4/4/2023			\$201,758.82
CORE Integrated Wealth	\$1,306.60	Signage	\$653.30	4/4/2023			\$201,105.52
403, LLC	\$205,390.19	MEGA	\$50,000.00	4/12/2023			\$151,105.52

Bluebonnet Therapy Services, PLLC	\$1,306.60	Signage	\$653.30	4/12/2023			\$150,452.22
Goodson's Café	\$7,395.50	Signage	\$2,500.00	4/12/2023			\$147,952.22
ADIM Media, LLC	\$1,306.60	Signage	\$653.30	4/13/2023			\$147,298.92
The Hutson Group (307 W Main)	\$19,590.00	Property	\$9,795.00	4/18/2023			\$137,503.92
70/70 Offices, LLC	\$28,620.00	Landscape	\$10,000.00	4/18/2023	6/6/2023	\$10,000.00	\$127,503.92
Willow Wellness, PLLC	\$23,950.00	Property	\$10,000.00	4/18/2023	5/9/2023	\$10,000.00	\$117,503.92
Hufsmith Kohrville Business Park LLC	\$89,465.00	Landscape	\$10,000.00	5/10/2023			\$107,503.92
Hufsmith Kohrville Business Park LLC	\$67,555.00	Signage	\$1,000.00	5/10/2023			\$106,503.92
SWRT Group, Inc.	\$398.33	Façade	\$199.16	5/15/2023			\$106,304.76
Tubular Products of Texas, Inc.	\$398.33	Façade	\$199.16	5/15/2023			\$106,105.60
Heritage Films, LLC	\$398.33	Façade	\$199.16	5/15/2023			\$105,906.44
Gatewood & Associates	\$398.33	Façade	\$199.16	5/15/2023			\$105,707.28
Matthew J Coats, DDS, MS, PC	\$398.33	Façade	\$199.16	5/15/2023			\$105,508.12
Pathway Councseling Services	\$398.33	Façade	\$199.16	5/15/2023			\$105,308.96
Beefy Marketing	\$398.33	Façade	\$199.16	5/15/2023			\$105,109.80
CORE Integrated Wealth	\$398.33	Façade	\$199.16	5/15/2023			\$104,910.64
ADIM Media, LLC	\$398.33	Façade	\$199.16	5/15/2023			\$104,711.48
Persimmon Global Logistics	\$14,350.00	Property	\$7,175.00	5/18/2023			\$97,536.48
Persimmon Global Logistics	\$10,590.00	Landscape	\$5,295.00	5/18/2023			\$92,241.48
Holiday Inn Express & Suites	\$24,000.00	Façade	\$10,000.00	6/19/2023			\$82,241.48
The Nook Grill	\$2,200.00	Property	\$1,100.00	6/20/2023			\$81,141.48
SanRon Investments, LLC	\$32,200.00	Façade	\$10,000.00	6/28/2023			\$71,141.48
Holiday Inn Express & Suites	\$20,690.00	Property	\$10,000.00	6/28/2023			\$61,141.48
Holiday Inn Express & Suites	\$20,009.64	Landscaping	\$10,000.00	6/28/2023	7/11/2023	\$10,000.00	\$51,141.48

\$1,168,071.24

\$298,858.52

ltem 5.

Old Town Façade Improvement Grant Program

Fiscal 2022-2023	Project Amount	Score	TEDC Grant	Date Approved	Date Funded A	mount Funded	\$250,000.00
Grazeables, LLC	\$40,485.75	37	\$20,242.87	3/15/2023	7/5/2023	\$20,242.87	\$229,757.13
Sylvia's Wood Fire Pizza, LLC	\$95,105.97	46	\$47,552.98	6/28/2023			

• \$40,485.75

\$20,242.87

Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

Topic:

Consideration and possible action by Tomball EDC to approve a request by GK Hospitality Development LLC., for a one-year extension of time in order to complete the construction of a 6,580 square-foot commercial building and gasoline facility located near the northwest corner of FM 2920 and State Highway 249, Tomball, Texas 77375.

Background:

At its November 9, 2021 Special Joint Tomball EDC and Tomball B&TP POA Board Meeting, the TEDC Board of Directors approved an agreement with GK Hospitality. to expend funds, as a Project of the Corporation, for construction of a 6,580 square-foot commercial building and gasoline facility located near the northwest corner of FM 2920 and State Highway 249, Tomball, Texas 77375. The approved grant amount was not to exceed \$105,100.00 based upon 20% of the 5-year net benefit to the community.

The effective date of the original agreement was January 16, 2022, which was sixty (60) days after the first published notice of the Project, with an expiration date of July 16, 2023.

Ali Khan, Principal, GK Hospitality Development, LLC. has submitted a request for a one-year extension of the performance agreement. In the attached letter Mr. Khan indicated that the construction of the project has been delayed due to accessibility requirements to the building from Hwy 249 feeder road via a curbcut from TxDot. The new requested expiration date is July 16, 2024.

Origination: Ali Khan, Principal, GK Hospitality Development, LLC

Recommendation: Staff recommends approval of the one-year time extension request.

Party(ies) responsible for placing this item on agenda:

FUNDING (IF APPLICABLE)

Are funds specifically designated in the current budget for the full amount required for this purpose?

Approved by

Yes: X No:

If yes, specify Account Number: #Project Grants To account #

Kelly Violette

If no, funds will be transferred from account #

Signed

Staff Member-TEDC

Date

Executive Director-TEDC

Date

GK Hospitality Development, LLC



4606 FM 1960 W. Suite 640 Houston, Texas 77069

Dated: July 26, 2023

To:

Kelly Violette

Executive Director Tomball EDC

And to the esteemed members of the

Board of Directors of Tomball Economic Development Corporation

Re: Extension of Infrastructure Grant Approved by Tomball EDC

Dear All,

We are formally requesting that the infrastructure grant allotted to GK Hospitality Development LLC to develop a 6580 Sq. Ft. commercial Building consisting of a Chevron Gasoline Station, Deli and Convenience Store with rental spaces located at the corner of Hwy 249 feeder and FM 2920 be extended for a period of at least 12 months.

We require this extended time to complete the accessibility requirements to the building/business site from Hwy 249 feeder road via a curb-cut from the Txdot authorities. The current owner of the land with whom we have a purchase agreement has now received a tentative approval but awaits a formal signed documents from Txdot.

We are making this request thru the good offices of Kelly Violette Executive Director of TEDC to present to the Board of Directors of Tomball EDC our desire for such extension.

Thank you.

Y. Ali Khan Principal GK Hospitality Development LLC 713-703-4649



AGREEMENT

THE STATE OF TEXAS§§\$KNOW ALL MEN BY THESE PRESENTS:COUNTY OF HARRIS§

This Agreement (the "Agreement") is made and entered into by and between the **Tomball Economic Development Corporation**, an industrial development corporation created pursuant to Tex. Rev. Civ. Stat. Ann. Art. 5190.6, Section 4B, located in Harris County, Texas (the "TEDC"), and **GK Hospitality Development LLC.** (the "Company"), 4606 FM 1960 W. Suite 640, Houston, TX 77069.

WITNESSETH:

WHEREAS, it is the established policy of the TEDC to adopt such reasonable measures from time-to-time as are permitted by law to endeavor to attract industry, create and retain primary jobs, expand the growth of the City of Tomball (the "City"), and thereby enhance the economic stability and growth of the City; and

WHEREAS, the Company proposes to develop a .75-acre tract of land within the City, generally located near the northwest corner or FM 2920 and State Highway 249, Tomball, Texas 77375 (the "Property"), more particularly described in Exhibit "A," attached hereto and made a part hereof; and

WHEREAS, such development shall include the construction of a 6,580 square foot commercial building and gasoline facility with an estimated capital investment of Three Million Dollars (\$3,000,000) on the site, more particularly described in Exhibit "B," attached hereto and made a part hereof; and

WHEREAS, the Company also proposes to create nineteen (19) new full-time employment positions in Tomball within the first two years in conjunction with the opening of its business operations on the Property; and

WHEREAS, the TEDC agrees to provide to the Company the sum of One Hundred and Five Thousand One Hundred Dollars (\$105,100.00), or an amount equal to up to twenty percent (20%) of the actual construction costs if less than the sum stated above, to assist in the construction of infrastructure necessary to promote and develop new business enterprises on the Property. The infrastructure found by the Board of Directors of TEDC to be required to develop the Property are certain drainage facilities and related improvements, site improvements, water, sanitary sewer, gas, and electric utilities to the exterior of the buildings (the "Infrastructure Improvements"), identified and described in Exhibit "C," attached hereto and made a part hereof; and

WHEREAS, the Company has agreed, in exchange and as consideration for the funding, to satisfy and comply with certain terms and conditions; and

NOW, THEREFORE, in consideration of the premises and the mutual benefits and obligations set forth herein, including the recitals set forth above, the TEDC and the Company agree as follows:

1.

The Company covenants and agrees that it will construct and maintain on the Property a 6,580 square-foot commercial building and gasoline facility (the "Improvements") identified and described in Exhibit "B," attached hereto and made a part hereof. In conjunction with the development of the Property, the Company further agrees to construct the Improvements contemplated by this Agreement, in accordance with the requirements of the ordinances of the

5.

In consideration of the Company's representations, promises, and covenants, TEDC agrees to reimburse the Company for the actual cost of the Infrastructure Improvements up to the amount of One Hundred and Five Thousand One Hundred Dollars (\$105,000.00), or an amount equal to twenty percent (20%) of actual construction costs if less than the sum stated above upon completion of construction and occupancy of each commercial space. The TEDC agrees to reimburse the Company for such amount within thirty (30) days of receipt of a letter from the Company requesting such payment and including: (a) certification of the cost of constructing the Infrastructure Improvements; (b) a copy of the City's occupancy permit for the improvements to the Property; (c) certification that the Infrastructure Improvements have been constructed in accordance with the approved plans and specifications; (d) an affidavit stating that all contractors and subcontractors providing work and/or materials in the construction of the Improvements have been paid and any and all liens and claims regarding such work have been released; and (e) Proof of payment to all vendors, contractors and subcontractors providing work and/or materials in the construction of the Improvements, proof of payment must include copies of canceled checks and/or credit card receipts and copies of paid invoices from all vendors, contractors and subcontractors.

6.

It is understood and agreed by the parties that, in the event of a default by the Company on any of its obligations under this Agreement, the Company shall reimburse the TEDC the full amount paid to the Company by the TEDC, with interest at the rate equal to the 90-day Treasury Bill plus one-half percent (½%) per annum, within thirty (30) days after the TEDC notifies the Company of the default. It is further understood and agreed by the parties that if the Company, or any owner or lessee of the Improvements, is convicted of a violation under 8 U.S.C. Section 1324a(f), the Company will reimburse the TEDC the full amount paid to the Company, with interest at the rate equal to the 90-day Treasury Bill plus one-half percent ($\frac{1}{2}$) per annum, within thirty (30) days after the TEDC notifies the Company of the violation.

The Company shall also reimburse the TEDC for any and all reasonable attorney's fees and costs incurred by the TEDC as a result of any action required to obtain reimbursement of such funds. Such reimbursement shall be due and payable thirty (30) days after the Company receives written notice of default.

7.

This Agreement shall inure to the benefit of and be binding upon the TEDC and the Company, and upon the Company's successors and assigns, lessees, affiliates, and subsidiaries, and shall remain in force whether the Company sells, leases, assigns, or in any other manner disposes of, either voluntarily or by operation of law, all or any part of the Property and the agreements herein contained shall be held to be covenants running with the Property for so long as this Agreement, or any extension thereof, remains in effect.

8.

Any notice provided or permitted to be given under this Agreement must be in writing and may be served by (i) depositing the same in the United States mail, addressed to the party to be notified, postage prepaid, registered or certified mail, return receipt requested; or (ii) by delivering the same in person to such party; or (iii) by overnight or messenger delivery service that retains regular records of delivery and receipt; or (iv) by facsimile; provided a copy of such notice is sent within one (1) day thereafter by another method provided above. The initial addresses of the parties for the purpose of notice under this Agreement shall be as follows:

If to City:	Tomball Economic Development Corporation 401 W. Market Street Tomball, Texas 77375 Attn: President, Board of Directors
If to Company:	GK Hospitality Development, LLC 4606 FM 1960 W. Suite 640 Houston, Texas 77069 Attn: Ali Khan, Principal, GK Hospitality Development, LLC

9.

This Agreement shall be performable and enforceable in Harris County, Texas, and shall be construed in accordance with the laws of the State of Texas.

10.

Except as otherwise provided in this Agreement, this Agreement shall be subject to change, amendment or modification only in writing, and by the signatures and mutual consent of the parties hereto.

11.

The failure of any party to insist in any one or more instances on the performance of any of the terms, covenants or conditions of this Agreement, or to exercise any of its rights, shall not be construed as a waiver or relinquishment of such term, covenant, or condition, or right with respect to further performance. 12.

This Agreement shall bind and benefit the respective Parties and their legal successors and shall not be assignable, in whole or in part, by any party without first obtaining written consent of the other party.

13.

In the event any one or more words, phrases, clauses, sentences, paragraphs, sections, or other parts of this Agreement, or the application thereof to any person, firm, corporation, or circumstance, shall be held by any court of competent jurisdiction to be invalid or unconstitutional for any reason, then the application, invalidity or unconstitutionality of such words, phrases, clauses, sentences, paragraphs, sections, or other parts of this Agreement shall be deemed to be independent of and severable from the remainder of this Agreement, and the validity of the remaining parts of this Agreement shall not be affected thereby.

GK H	ospitality Development, LLC.	
	(1.5.7 6)	
By:	PALCA	
Name:	Ali Khan	
Title:	Principal	

ATTEST:

Name Title:

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TOMBALL ECONOMIC DEVELOPMENT CORPORATION

By: Name:

Title: President, Board of Directors

ATTES	ST:	
By:	M.E. Summer	<u>_</u>
Name:		1
Title:	Secretary, Board of Directors	v

ACKNOWLEDGMENT

THE STATE OF TEXAS § § § COUNTY OF HARRIS

This instrument was acknowledged before me on the 3 day of VINIVI 2022, by Ali Khan, Principle, GK Hospitality Development, LLC. for and on behalf of said company.

Notary/Public in and for the State of Texas

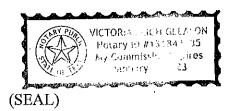
2025 My Commission Expires: 11/20 JESSICA IRWIN Notary ID #133468335 Ay Commission Expires November 30, 2025

ACKNOWLEDGMENT

§ THE STATE OF TEXAS § COUNTY OF HARRIS §

(SEAL)

This instrument was acknowledged before me on the \underline{h} day of \underline{NWW} $\frac{1}{100}$, President of the Board of Directors of the Tomball 2021, by (1) (MMM) Economic Development Corporation, for and on behalf of said Corporation.



Notary Public in and for the State of Texas

My Commission Expires: 01/04/2013

Exhibit A Legal Description of Property

0.75 ACRE TRACT 3D, ABST 34 J House and RES F Block 1 Tomball Center R/P



Exhibit B Description of Improvements

Construction of a 6,580 square foot commercial building near the Northwest Corner of FM 2920 and SH 249, Tomball, TX 7737.



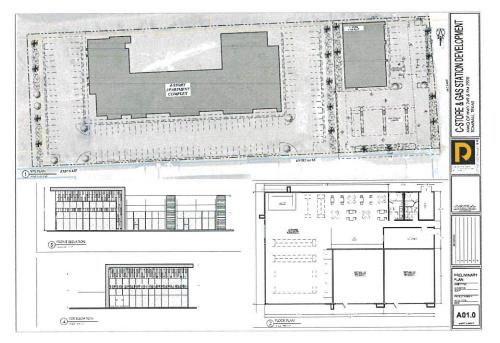


Exhibit C

Description of Infrastructure Improvements

Tomball Chevron Center Development:	
NE Corner of FM 2920 and Hwy 249	
Eligible infrastructure	
พระการณ์ และ เมษณฑาษณฑาษณฑาษณฑาษ (คริสาท การเสาสตราราชาวิตาม สาวาราชาวิตาม การเราการการการสาวารการสร้างการไปการส	
Soil Density Testing	\$ 5,500
Site Survey/Topography	\$ 7,500
Clear, Cut/Fill to Grade & Stabilization	\$ 77,500
Water Line Infrastructure	\$ 28,000
Gas Line Infrastructure	\$ 22,000
Wastewater infrastructure	\$107,500
Storm Sewer/Water drainage infrastructure	\$ 79,000
Infrastructure work for underground Storage Tanks	\$ 27,500
Telecommunication /Conduit Infrastructure	\$ 18,000
Underground communication & electrical wiring to storage tanks	\$ 16,000
Electrical Power Distribution infrastructure	\$ 65,000
Architectural, Drawings and Design	\$ 44,000
Engineering and project management	\$ 28,000
Total	\$525,500

Meeting Date: August 8, 2023

Topic:

Consideration and possible action by Tomball EDC to approve a request by Houston Poly Bag I, Ltd. for a one-year extension of time in order to complete the construction of a 41,000 square-foot warehouse facility and make other capital improvements located at 11726 Holderrieth Road, Tomball, Texas 77375.

Background:

At its May 28, 2020 Special Joint Tomball EDC and Tomball B&TP POA Board Meeting, the TEDC Board of Directors approved an agreement with Houston Poly Bag I, Ltd. to expend funds, as a Project of the Corporation, for construction of a 41,000 square-foot building addition and make other capital improvements located at 11726 Holderrieth Road, Tomball, Texas 77375. The approved grant amount was not to exceed \$84,894.00 based upon 30% of the 5-year net benefit to the community.

The effective date of the original agreement was August 3, 2020, which was sixty (60) days after the first published notice of the Project, with an expiration date of August 3, 2022. In July 2022, the TEDC Board of Directors approved a one-year time extension for the completion of the expansion project and to hire the additional employees.

William E. Sumner, III, General Manager, Houston Poly Bag I, Ltd. has submitted a request for a oneyear extension of the performance agreement. In the attached letter Mr. Sumner indicated that the construction of the project has been delayed due to supply chain issues as well as the pandemic. The new requested expiration date is August 3, 2024.

Origination: William E. Sumner, III, General Manager, Houston Poly Bag I, Ltd.

Recommendation: Staff recommends approval of the one-year time extension request.

Party(ies) responsible for placing this item on agenda:

Kelly Violette

FUNDING (IF APPLICABLE)

Staff Member-TEDC

Are funds specifically designated in the current budget for the full amount required for this purpose?

Date

Yes: X No: If yes, specify Account Number: #Project Grants

If no, funds will be transferred from account # To account #

Signed

Approved by

Executive Director-TEDC

Date



William E Sumner III | General Manager 11726 Holderrieth Rd. | Tomball, TX 77375 Phone: 281-351-1726 HoustonPoly.com

July 27, 2023

Ms. Tiffani Wooten

Houston Poly Bag must request a one-year extension to complete their expansion project. The supply chain issues are the reason for this request. Construction supplies are in stock one day and a day later it could be days, weeks, or months before the restock comes in. Not to mention the pandemic and labor shortages. We cannot fill truck loads as well as everyone else and run into days of delays in shipping. My new 5-layer line is installed, almost to completion. We are still experiencing some software issues, but we hope to have that issue resolved within the next week or less. We have also added a cast film line with the potential of generating \$15 million per year. That project is also on track to be completed soon. Our projects are in full swing and hopefully have a finish line of Q1 2024 if not sooner.

Our Plant has been here in Tomball 36 years. We are blessed to have the opportunity to expand our building and add new equipment. HPB is in development talks with major brands and has film being trialed for packaging items like frozen vegetables, dry snacks, nutraceuticals, health and beauty, and temporary fresh water.

As I write this letter, HPB employs 74 people and I see in the future over 90 people here at HPB. Revenues of \$35,000,000 going to over \$100,000,000 when completely equipped with an additional 4 multi-layer extrusion systems.

Thankfully the TEDC funded this project in partnership with Houston Poly Bag.

If you need any further information, please contact me at the number below.

Regards,

William E Sumner III

William E. Sumner, III General Manager NAICS Code 326111 281-351-1726 Houston Poly Bag I, Ltd. wsumner@houstonpolybag.com

AGREEMENT

THE STATE OF TEXAS§§\$KNOW ALL MEN BY THESE PRESENTS:COUNTY OF HARRIS§

This Agreement (the "Agreement") is made and entered into by and between the **Tomball Economic Development Corporation**, an industrial development corporation created pursuant to the Development Corporation Act, now Chapter 501 et seq of the Texas Local Government Code, located in Harris County, Texas (the "TEDC"), and **Houston Poly Bag I**, Ltd. (the "Company"), 11726 Holderrieth Road, Tomball, Texas 77375.

WITNESSETH:

WHEREAS, it is the established policy of the TEDC to adopt such reasonable measures from time-to-time as are permitted by law to endeavor to attract industry, create and retain primary jobs, expand the growth of the City of Tomball (the "City"), and thereby enhance the economic stability and growth of the City; and

WHEREAS, the Company owns a 5-acre tract of land within the City, located at 11726 Holderrieth Road, Tomball, Texas 77375 (the "Property"), and more particularly described in Exhibit "A," attached hereto and made a part hereof; and

WHEREAS, the Company plans to expand its current operations at the Property, and as part of the process, plans to expend a minimum of Six Million Dollars (\$6,000,000,) to construct a 41,000 square foot building addition and make other capital improvements (the "Improvements") more particularly described in Exhibit "B" attached hereto and made a part hereof; and **WHEREAS,** the Company also proposes to maintain the current seventy-one (71) jobs at the Property and create ten (10) new employment positions in conjunction with the expansion of its business operations at the Property; and

WHEREAS, the TEDC agrees to provide to the Company the sum of Eighty-Four Thousand, Eight Hundred Ninety-Four Dollars (\$84,894.00) to assist in the construction of the Improvements, the retention of seventy-one (71) full-time jobs, and the addition of the ten (10) new full-time jobs at the Property; and

WHEREAS, the Company has agreed, in exchange and as consideration for the funding, to satisfy and comply with certain terms and conditions; and

WHEREAS, this expenditure is found by the Board of Directors of the TEDC to be required or suitable for the promotion and development of new or expanded business enterprises at the Property; and

NOW, THEREFORE, in consideration of the premises and the mutual benefits and obligations set forth herein, including the recitals set forth above, the TEDC and the Company agree as follows:

1.

The Company covenants and agrees that it will construct the Improvements and operate and maintain the proposed business on the property for a term of at least five (5) years, and will for such term, except as provided by paragraph 4 hereof, maintain seventy-one (71) employees and create ten (10) new jobs on the Property.

2.

The Company also covenants and agrees that construction of the Improvements, the addition of the ten (10) new employees, and obtaining all necessary occupancy permits from the

City shall occur within twenty-four (24) months from the Effective Date of this Agreement. Extensions of these deadlines, due to any extenuating circumstance or uncontrollable delay, may be granted at the sole discretion of the Board of Directors of the TEDC.

3.

The Company further covenants and agrees that it does not and will not knowingly employ an undocumented worker. An "undocumented worker" shall mean an individual who, at the time of employment, is not (a) lawfully admitted for permanent residence to the United States; or (b) authorized by law to be employed in that manner in the United States.

4.

In consideration of the Company's representations, promises, and covenants, TEDC agrees to grant to the Company the sum of Eighty-Four Thousand, Eight Hundred Ninety-Four Dollars (\$84,894.00) to fund a portion of the cost of the Improvements, the retention of seventy-one (71) full-time jobs, and the addition of the ten (10) new employees to the Company's business operations on the property. The TEDC agrees to distribute such funds to the Company within thirty (30) days of receipt of a letter from the Company requesting such payment, which letter shall also include: (a) a copy of the City's occupancy permit for the Improvements to the Property; (b) proof that the Company has retained and added the number of employees indicated above to its business operations on the Property, as evidenced by copies of Texas Workforce Commission form C-3 or Internal Revenue Service Form 941; (c) verification from the City acknowledging that all necessary plats, plans, and specifications have been received, reviewed, and approved; (d) certification that the Improvements have been constructed in accordance with the approved plans and specifications; and, (e) an affidavit stating that all contractors and subcontractors providing work and/or materials in the construction of the Improvements have

been paid and any and all liens and claims regarding such work have been released. In the event the number of jobs originally projected is not met, the amount of the funding provided to the Company by the TEDC will be reduced on a pro rata basis to reflect the actual number of jobs at the time of the request for disbursement of funds.

5.

It is understood and agreed by the parties that, in the event of a default by the Company on any of its obligations under this Agreement, the Company shall reimburse the TEDC the full amount paid to the Company by the TEDC, with interest at the rate equal to the 90-day Treasury Bill plus ½% per annum, within 120 days after the TEDC notifies the Company of the default. It is further understood and agreed by the parties that if the Company is convicted of a violation under 8 U.S.C. Section 1324a(f), the Company will reimburse the TEDC the full amount paid to the Company, with interest at the rate equal to the 90-day Treasury Bill plus ½% per annum, within 120 days after the TEDC notifies the Company of the violation.

The Company shall also reimburse the TEDC for any and all reasonable attorney's fees and costs incurred by the TEDC as a result of any action required to obtain reimbursement of such funds. Such reimbursement shall be due and payable thirty (30) days after the Company receives written notice of default accompanied by copies of all applicable invoices.

It is understood and agreed by the parties that, in the event of a default by the TEDC on any of its obligations under this Agreement, the Company's sole and exclusive remedy shall be limited to either a) the termination of this Agreement or b) a suit for specific performance.

6.

Personal Liability of Public Officials: To the extent permitted by law, no director, officer, employee or agent of the TEDC, and no officer, employee or agent of the City of

Tomball, shall be personally responsible for any liability arising under or growing out of this Agreement.

7.

This Agreement shall inure to the benefit of and be binding upon the TEDC and the Company, and upon the Company's successors and assigns, affiliates, and subsidiaries, and shall remain in force whether the Company sells, assigns, or in any other manner disposes of, either voluntarily or by operation of law, all or any part of the Property and the agreements herein contained shall be held to be covenants running with the Property for so long as this Agreement, or any extension thereof, remains in effect.

8.

Any notice provided or permitted to be given under this Agreement must be in writing and may be served by (i) depositing the same in the United States mail, addressed to the party to be notified, postage prepaid, registered or certified mail, return receipt requested; or (ii) by delivering the same in person to such party; or (iii) by overnight or messenger delivery service that retains regular records of delivery and receipt; or (iv) by facsimile; provided a copy of such notice is sent within one (1) day thereafter by another method provided above. The initial addresses of the parties for the purpose of notice under this Agreement shall be as follows:

If to City:	Tomball Economic Development Corporation 401 W. Market Street Tomball, Texas 77375 Attn: President, Board of Directors
If to Company:	Houston Poly Bag I, Ltd. 11726 Holderrieth Road, Tomball, Texas 77375 Attn: William E. Sumner, III, General Manager

9.

This Agreement shall be performable and enforceable in Harris County, Texas, and shall be construed in accordance with the laws of the State of Texas.

10.

Except as otherwise provided in this Agreement, this Agreement shall be subject to change, amendment or modification only in writing, and by the signatures and mutual consent of the parties hereto.

11.

The failure of any party to insist in any one or more instances on the performance of any of the terms, covenants or conditions of this Agreement, or to exercise any of its rights, shall not be construed as a waiver or relinquishment of such term, covenant, or condition, or right with respect to further performance.

12.

This Agreement shall bind and benefit the respective Parties and their legal successors and shall not be assignable, in whole or in part, by any party without first obtaining written consent of the other party.

13.

In the event any one or more words, phrases, clauses, sentences, paragraphs, sections, or other parts of this Agreement, or the application thereof to any person, firm, corporation, or circumstance, shall be held by any court of competent jurisdiction to be invalid or unconstitutional for any reason, then the application, invalidity or unconstitutionality of such words, phrases, clauses, sentences, paragraphs, sections, or other parts of this Agreement shall be deemed to be independent of and severable from the remainder of this Agreement, and the validity of the remaining parts of this Agreement shall not be affected thereby.

IN TESTIMONY OF WHICH, THIS AGREEMENT has been executed by the parties on this

_____ day of ______ 2020 (the "Effective Date").

HOUSTON POLY BAG I, LTD

By:

Name: William E. Sumner III Title: General Manager

ATTEST:

By:

Name: Tiffani Wooten

Title: Assistant Director

TOMBALL ECONOMIC DEVELOPMENT CORPORATION

By:

Name: Gretchen Fagan

Title: President, Board of Directors

ATTEST:

By:

Name: Steven Vaughan

Title: Vice President, Board of Directors

ACKNOWLEDGMENT

THE STATE OF TEXAS	§
	§
COUNTY OF HARRIS	§

This instrument was acknowledged before me on the _____ day of _____ 2020, by William E. Sumner, III, General Manager of Houston Poly Bag I, Ltd. for and on behalf of said company.

Notary Public in and for the State of Texas

My Commission Expires:

(SEAL)

ACKNOWLEDGMENT

THE STATE OF TEXAS	§
	§
COUNTY OF HARRIS	§

This instrument was acknowledged before me on the _____ day of _____ 2020, by ______, President of the Board of Directors of the Tomball Economic Development Corporation, for and on behalf of said Corporation.

Notary Public in and for the State of Texas

My Commission Expires:

(SEAL)

Exhibit "A"

Legal Description of Property

HOUSTON POLY BAG PLAT, BEING A 5 ACRE TRACT IN THE C.N. PILLOT SURVEY, ABSTRACT NO. 632, IN TOMBALL, HARRIS COUNTY, TEXAS, RECORDED IN VOL. 335, PG. 108.

Exhibit "A" Description of Improvements

Constructing a 41,000 sq. ft. building addition, adding 5 multi-layered extrusion machines, and increasing its office space from 2,200 square feet to 6,600 square feet.

Meeting Date: August 8, 2023

Kelly Violette

Topic:

Presentation by Kelly Violette, Executive Director, regarding Old Town Tomball project updates.

Background:

Origination: Kelly Violette, Executive Director, Tomball Economic Development Corporation

Recommendation: Presentation item only.

Party(ies) responsible for placing this item on agenda:

FUNDING (IF APPLICABLE)

Are funds specifically designated in the current budget for the full amount required for this purpose?										
Yes:	No:	If yes, specify Account Number: #								
If no, fund	ls will be transferred from account #	To account #								

Signed			Approved by		
	Staff Member-TEDC	Date		Executive Director-TEDC	Date

Meeting Date: August 8, 2022

Kelly Violette

To account #

Topic:

The Tomball Economic Development Corporation will enter into a Workshop Session to discuss the Fiscal Year 2023-2024 Tomball Economic Development Corporation Budget.

Background:

Origination: Kelly Violette, Executive Director, Tomball Economic Development Corporation

Recommendation:

Party(ies) responsible for placing this item on agenda:

FUNDING (IF APPLICABLE)

Are funds specifically	v designated in th	ne current budget for the full	amount required for this purpose?
	0		

Yes: No: If yes, specify Account Number: #

If no, funds will be transferred from account #

Signed			Approved by		
	Staff Member-TEDC	Date		Executive Director-TEDC	Date

Tomball Economic Development Corporation FY 2022-2023 Budget Account Descriptions

Item 9.

REVENUE

- <u>Sales Tax</u>: Those revenues received from the State of Texas and through the City of Tomball for the \$0.005 portion of the \$0.020 sales tax revenues collected within the City limits of Tomball.
- <u>Interest</u>: Those revenues received from financial institutions for balances on hand and from funds that have been invested.
- <u>Grants</u>: Those revenues received from additional sources such as CenterPoint Energy for support of the Corporation's activities, including the Annual Economic Outlook Event, marketing collateral, and continuing education.
- <u>Other</u>: Those revenues received from the sale or lease of TEDC-owned property.

EXPENDITURES

Administrative:

- <u>Salaries Administrative</u>: The amount reimbursed to the City of Tomball for the salary paid to the Executive Director, Assistant Director, and Coordinator of the Tomball Economic Development Corporation. This amount includes holiday, vacation, sick, and longevity pay.
- <u>Benefits</u>: The amount reimbursed to the City of Tomball for the benefits paid to, or on behalf of, TEDC staff. This amount includes social security taxes, medicare taxes, employer matched funds to the Texas Municipal Retirement System, health insurance premiums, and worker compensation insurance.
- <u>Wages</u>: Wages for non-exempt (hourly) TEDC employees. Also includes overtime for hours worked during any FLSA-defined workweek, which exceeds 40 hours and are approved in advance by the Executive Director.

Other Personnel Expenditures:

- <u>Auto Allowances</u>: Monthly stipends for the Executive Director and Assistant Director allocated to cover business travel expenses and mileage within a 50-mile radius of Tomball.
- <u>Phone Allowances</u>: Monthly stipends allocated to cover business-related cell phone expenses for eligible TEDC staff.

56

- <u>Local Travel Expenses</u>: The amount allocated to cover business travel expenses and mileage within a 50-mile radius of Tomball for non-exempt TEDC staff.
- <u>Dues and Subscriptions</u>: Fees charged for memberships and related expenses to professional organizations, subscriptions and software.
- <u>Seminar/Conference Registrations</u>: Fees for the Tomball Economic Development Corporation staff and board members to attend conferences, events, and professional training seminars.
- <u>Travel and Training</u>: The costs associated with attending classes, seminars, events, trade shows and for related travel expenses. This includes hotel rooms where overnight stay is reasonable, the cost of related meals, airfare, and car rental where reasonable, parking and toll fees, and for mileage. Reimbursable mileage for exempt staff is limited to a destination that exceeds a 50-mile radius of the City of Tomball.

Service and Supply Expenditures

- <u>Contracted Administrative Services</u>: The cost of administrative services provided to the Tomball Economic Development Corporation by City of Tomball personnel as indicated in the Administrative Services Agreement entered into between the Tomball Economic Development Corporation and the City of Tomball.
- <u>Bank Charges</u>: The various service charges for maintaining a bank account, including wire transfer fees, safekeeping fees for investments, and actual operating account fees based on the account analysis.
- <u>Insurance</u>: The cost of surety bonding fees and insurance premiums including General Liability, Errors and Omissions, and Property.
- <u>Computer Equipment and Maintenance</u>: The cost of computer equipment and related expenses.
- <u>Communication Services</u>: The cost of telephone service, including land line phone base rate charges, DSL service, and long-distance charges.
- <u>Legal Fees</u>: Expenses incurred for legal services related to document and agreement preparation and obtaining advice and opinions from legal counsel related to Tomball Economic Development Corporation business activities.
- <u>Lease Expense-GTACC</u>: Payment to the Greater Tomball Area Chamber of Commerce for leased office space at 29201 Quinn Road, Suite B, Tomball, Texas.
- <u>Office Equipment & Supplies</u>: The cost of various office supplies, postage, and equipment.

Indirect Economic Development Expenditures:

- <u>Chamber Guide</u>: Expenses related to the TEDC advertisement and publication of a map of the Tomball area in the annual Greater Tomball Area Chamber of Commerce magazine.
- <u>Area Street Maps</u>: The expenses incurred for the production and publication of maps of Tomball and the surrounding area that are issued free of charge to individuals and businesses to promote travel, tourism, and the commercial industry in Tomball.
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- <u>Miscellaneous</u>: Other expenses including, but not limited to, meals with potential business developers, name plates for Board meetings, post office box fees, etc.

City Debt Service

• <u>Southside Sewer Plant (1999 CO-2/15/2019</u>): Contributions to debt repayment for the wastewater treatment plant built on the south side of Tomball to accommodate expanded industry in the City. Final debt payment was made in 2019.

- <u>Utilities Expansion (2002 CO-2/15/2022)</u>: Contributions to debt repayment for the extension of utilities from FM 2920 south on Hufsmith-Kohrville Road to Holderrieth Road, west to SH 249 and north to Theiss Road. Final debt payment was made in 2022.
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Grants, Loans & Other Expenditures

- <u>Project Grants</u>: Grant funds designated by the Tomball Economic Development Corporation's Board of Directors and approved by the Tomball City Council waiting for contract fulfillment in order to be disbursed.
- <u>Sales Tax Reimbursement Grants (380)</u>: Sales tax reimbursements made in accordance with economic development incentive agreements approved by the Tomball Economic Development Corporation's Board of Directors and the Tomball City Council.
- <u>Property Acquisition</u>: Costs associated with the acquisition of land for economic development projects.
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- <u>Old Town Revitalization Projects</u>: Targeted infrastructure improvements in Old Town Tomball including alleyways, parking, wayfinding, etc.
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Tomball Economic Development Corporation FY 2024 Draft Budget October 1, 2023 to September 30, 2024

	FY 2020 Actuals		FY 2021 Actuals		FY 2022 Actuals		FY 2023 Adopted Budget		FY 2023 Year End rojections		FY 2024 Draft Budget
Beginning Fund Balance	\$ 21,763,096	\$	18,767,675	\$	20,005,941	\$	19,860,898	\$	20,005,941	\$	19,915,835
REVENUE											
Sales Tax	\$ 4,064,895	\$	4,408,484	\$	5,386,245	\$	5,100,000	\$	5,400,000	\$	5,000,000
Interest	426,876		352,381		446,297		450,000		950,000		850,000
Grants	-		16,000		8,000		-		-		-
Other - Land Sales and Lease Payments	 491,055		913,855		2,004,772		-		3,714,079		-
Total Revenue	\$ 4,982,826	\$	5,690,719	\$	7,845,315	\$	5,550,000	\$	10,064,079	\$	5,850,000
Total Available Resources	\$ 26,745,922	\$	24,458,394	\$	27,851,256	\$	25,410,898	\$:	30,070,020	\$	25,765,835
EXPENDITURES											
Administrative											
Salaries - Administrative	\$ 213,843	\$	215,952	\$	286,262	\$	367,036	\$	367,036	\$	396,590
Benefits	114,950		129,174		144,759		162,249		157,830		184,808
Wages - Full-Time	42,333		45,246		28,036		55,000		45,000		48,087
Wages - Other	 	_		_	21	_	8,300	_	150	_	3,000
Total Salaries and Benefits	\$ 371,126	\$	390,372	\$	459,077	\$	592,585	\$	570,016	\$	632,485
Other Personnel Expenditures											
Auto Allowances	\$ 8,400	\$	8,400	\$	16,800	\$	16,800	\$	16,800	\$	16,800
Phone Allowance - Executive Director	900		900		900		900		900		900
Phone Allowance - Assistant Director	900		900		900		900		900		900
Phone Allowance - Coordinator	-		- 236		- 90		900		900 400		900
Local Travel Expense Dues and Subscriptions	135 9,482		236 7,681		90 11,492		500 13,100		400		500 13,100
Seminar/Conference Registrations	2,928		10,396		10,349		18,000		11,000		18,000
Travel and Training	11,727		3,440		17,655		30,000		11,000		30,000
Total Other Personnel Expense	\$ 34,472	\$	31,953	\$	58,185	\$	81,100	\$	52,900	\$	81,100
Service and Supply Expenditures											
Contracted Administrative Services	\$ 25,000	\$	25,000	\$	25,000	\$	25,000	\$	25,000	\$	25,000
Bank Charges & Postage	1,920		3,017		2,197.75		3,500.00		1,500.00		3,500.00
Insurance	3,144		8,399		17,952.76		18,000.00		18,000.00		30,000.00
Computer Equipment & Maintenance	4,249		5,823		4,296.53		10,000.00		10,000.00		10,000.00
Communications Services	3,639		3,976		4,267.91		5,200.00		4,600.00		5,200.00
Legal Fees	31,915		31,996		4,690.53		40,000.00		15,000.00		40,000.00
Lease Expense-GTACC	25,629		24,574		25,055.65		25,000.00		25,000.00		26,500.00
Office Equipment & Supplies Total Service and Supply Expense	\$ 3,557	\$	(2,321)	\$	4,259.31	\$	10,000.00	\$	5,500.00	\$	10,000.00
	99,053		100,463		87,720		136,700		104,600		150,200
Total Administrative Expenditures	\$ 504,651	\$	522,788	\$	604,982	\$	810,385	\$	727,516	\$	863,785
Indirect Economic Development Exp.											
Chamber Guide	\$ 8,354	\$	8,354	\$	8,354	\$	8,400	\$	8,354	\$	8,400
Area Street Maps			3,875		-		4,000		3,875		-
Marketing	90,768		76,150		83,115		105,000		105,000		175,000
Economic Impact Model License	4,299		4,428		4,561		4,565		4,565		4,698
Event Sponsorships	6,000		24,028		8,038		29,000		20,000		29,000
Promotional Items	6,515		1,160 5,404		4,715		6,500 6,500		6,500 6,500		10,000
Printing Website and GIS	6,915 31,899		5,404 36,299		1,122 12,100		6,500 25,000		6,500 24,000		6,500 25,000
Professional Services	207,560		36,299 191,747		306,423		25,000 500,000		24,000 350,000		25,000 750,000
Grow Tomball Initiative	- 201,500						20,000		8,300		20,000
Miscellaneous	70,834		78,182		44,914		15,000		7,000		20,000 15,000
Total Indirect Expenditures	\$ 433,144	\$	429,626	\$	473,342	\$	723,965	\$	544,094	\$	1,043,598
City Debt Service	070 000		070 000		070 000						
Utilities Expansion (2002 CO-2/15/2022)	370,000		370,000		370,000		-		-		-

Business Park Infrastructure (Series 2013) Medical Complex/Persimmon (Series 2016)		533,462 222,222		535,663 222,222		537,663 222,222		539,463 222,222		539,463 222,222		546,013 222,222
Total Debt Service	\$	1,125,684	\$	1,127,885	\$	1,129,885	\$	761,685	\$	761,685	\$	768,235
Grants, Loans & Other Expenditures												
Project Grants	\$	219,848	\$	210,108	\$	620,825	\$	2,500,000	\$	1,800,000	\$	3,500,000
Sales Tax Reimbursement Grants (380)		50,139		50,139		66,823		70,000		70,130		11,400
Property Acquisition		5,062,631		2,043,540		-		5,000,000		4,635,760		1,000,000
Business Improvement Grants- Current Year		130,891		62,078		121,344		350,000		302,000		350,000
Business Improvement Grants- Prior Year		139,082		67,000		197,302		250,000		288,000		250,000
Old Town Façade Grants- Current Year		54,269		-		-		250,000		70,000		250,000
Old Town Façade Grants- Prior Year		-		38,783		125,560		100,000		105,000		100,000
Old Town Projects								600,000		600,000		1,500,000
South Live Oak Redevelopment		-		71,341		76,553		5,000,000		30,000		5,000,000
Business Park Expenses		248,644		77,781		133,985		300,000		200,000		350,000
Total Grants/Loans/Other	\$	5,905,504	\$	2,620,770	\$	1,342,394	\$	14,420,000	\$	8,100,890	\$	12,311,400
Total All Expenditures	\$	7,968,983	\$	4,701,069	\$	3,550,602	\$	16,716,035	\$`	10,134,185	\$	14,987,018
Revenues Over (Under) Expenditures	\$	(2,986,157)	\$	989,650	\$	4,294,712	\$	(11,166,035)	\$	(70,106)	\$	(9,137,018)
Other Income/Losses on Investments	\$	9,264	\$	(248,616)	\$	(455,268)	\$	-	\$	20,000	\$	-
	-	40 707 075	•	00.005.044	_	04755000	-	0.004.000	•	0.045.005	•	10 770 010
Ending Fund Balance	\$	18,767,675	\$	20,005,941	\$	24,755,922	\$	8,694,863	\$	19,915,835	\$	10,778,818

	Se	ries 1999	Se	ries 2002	Series 2013			ries 2016	Annual Paymen			
2016		188,148	\$	370,000	\$	528,012.50	50	1103 2010	\$	1,086,160.50		
2017	\$	188,148	\$	370,000	\$	530,912.50			\$	1,089,060.50		
2017	Ψ \$	188,148	Ψ \$	370,000	Ψ \$	533,612.50			Ψ \$	1,091,760.50		
2018	φ \$,	ֆ \$,					ֆ \$			
	φ	188,148	*	370,000	\$ ¢	536,112.50	ሱ	000.000		1,094,260.50		
2020			\$	370,000	\$	533,462.50	\$	222,222	\$	1,125,684.50		
2021			\$	370,000	\$	535,662.50	\$	222,222	\$	1,127,884.50		
2022			\$	370,000	\$	537,662.50	\$	222,222	\$	1,129,884.50		
2023					\$	539,462.50	\$	222,222	\$	761,684.50		
2024					\$	546,012.50	\$	222,222	\$	768,234.50		
2025					\$	547,312.50	\$	222,222	\$	769,534.50		
2026					\$	548,412.50	\$	222,222	\$	770,634.50		
2027					\$	548,737.50	\$	222,222	\$	770,959.50		
2028					\$	548,275.00	\$	222,222	\$	770,497.00		
2029					\$	551,925.00	\$	222,222	\$	774,147.00		
2030					\$	549,056.25	\$	222,222	\$	771,278.25		
2031					\$	549,600.00	\$	222,222	\$	771,822.00		
2032					\$	549,075.00	\$	222,222	\$	771,297.00		
2033					\$	548,100.00	\$	222,222	\$	770,322.00		
2034						-	\$	222,222	\$	222,222.00		
2035							\$	222,222	\$	222,222.00		
2036							\$	222,222	\$	222,222.00		
2037							\$	222,226	\$	222,226.00		
	1						T	,	Ŧ	,		
Total	\$	752,592	\$2	2,590,000	\$ 9	9,761,406.25	\$ 4	,000,000	\$	17,103,998.25		

TEDC Debt Service Schedule

2017-2019:

Southside Sewer Plant (1999 CO-2/15/2019) Utilities Expansion (2002 CO- 2/15/2022) Business Park Infrastructure (Series 2013)

2020-2022:

Utilities Expansion (2002 CO- 2/15/2022) Business Park Infrastructure (Series 2013) Series 2016, Medical Complex Drive-Section 4B, Persimmon Street

2023-2033:

Business Park Infrastructure (Series 2013) Series 2016, Medical Complex Drive-Section 4B, Persimmon Street

2034-2037:

Series 2016, Medical Complex Drive-Section 4B, Persimmon Street

Meeting Date: August 8, 2023

Topic:

EXECUTIVE SESSION: The Tomball Economic Development Corporation Board will meet in Executive Session as authorized by Title 5, Chapter 551, Texas Government Code, The Texas Open Meetings Act, for the following purpose:

- Section 551.072, Deliberations regarding real property: Deliberate the purchase, exchange, sale, lease, or value of real property.
- Section 551.087, Deliberation regarding Economic Development negotiations.
- Section 551.074, To deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee, to wit: the Executive Director and Staff.

Background:

Origination: Kelly Violette, Executive Director, Tomball Economic Development Corporation

Recommendation:

Party(ies) responsible for placing this item on agenda:

FUNDING (IF APPLICABLE)

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: No: If yes, specify Account Number: #

If no, funds will be transferred from account #

To account #

Signed

Approved by

Staff Member-TEDC

Date

Executive Director-TEDC

Kelly Violette

Date

Meeting Date: August 8, 2023

Kelly Violette

Topic:

Reconvene into regular session and take action, if necessary, on items discussed in Executive Session.

Background:

	Origination:	Kelly	Violette,	Executive	Director
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Recommendation:

Party(ies) responsible for placing this item on agenda:

FUNDING (IF APPLICABLE)

Yes:	No:	If yes, specify Account Number	: #
If no, funds wi	ll be transferred from account #	To account	#

Signed			Approved by		
	Staff Member-TEDC	Date		Executive Director-TEDC	Date

Meeting Date: August 8, 2023

Kelly Violette

Topic:

Consideration and possible action by Tomball EDC to approve the Tomball Economic Development Corporation Fiscal Year 2023-2024 Budget.

• Public Hearing

Background:

Origination: Kelly Violette, Executive Director, Tomball Economic Development Corporation

Recommendation:

Party(ies) responsible for placing this item on agenda:

FUNDING (IF APPLICABLE)

Are fund	ls specifically designated in t	he current buc	lget for the full an	nount required for this purpose?	,					
Yes:	No:	No: If yes, specify Account Number								
If no, fu	nds will be transferred from a	ccount <u>#</u>		To account #						
Signed			Approved by							
	Staff Member-TEDC	Date		Executive Director-TEDC	Date					

Staff Member-TEDC

Date

Tomball Economic Development Corporation FY 2022-2023 Budget Account Descriptions

REVENUE

- <u>Sales Tax</u>: Those revenues received from the State of Texas and through the City of Tomball for the \$0.005 portion of the \$0.020 sales tax revenues collected within the City limits of Tomball.
- <u>Interest</u>: Those revenues received from financial institutions for balances on hand and from funds that have been invested.
- <u>Grants</u>: Those revenues received from additional sources such as CenterPoint Energy for support of the Corporation's activities, including the Annual Economic Outlook Event, marketing collateral, and continuing education.
- <u>Other</u>: Those revenues received from the sale or lease of TEDC-owned property.

EXPENDITURES

Administrative:

- <u>Salaries Administrative</u>: The amount reimbursed to the City of Tomball for the salary paid to the Executive Director, Assistant Director, and Coordinator of the Tomball Economic Development Corporation. This amount includes holiday, vacation, sick, and longevity pay.
- <u>Benefits</u>: The amount reimbursed to the City of Tomball for the benefits paid to, or on behalf of, TEDC staff. This amount includes social security taxes, medicare taxes, employer matched funds to the Texas Municipal Retirement System, health insurance premiums, and worker compensation insurance.
- <u>Wages</u>: Wages for non-exempt (hourly) TEDC employees. Also includes overtime for hours worked during any FLSA-defined workweek, which exceeds 40 hours and are approved in advance by the Executive Director.

Other Personnel Expenditures:

- <u>Auto Allowances</u>: Monthly stipends for the Executive Director and Assistant Director allocated to cover business travel expenses and mileage within a 50-mile radius of Tomball.
- <u>Phone Allowances</u>: Monthly stipends allocated to cover business-related cell phone expenses for eligible TEDC staff.

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- <u>Local Travel Expenses</u>: The amount allocated to cover business travel expenses and *ltem 12. ltem 12.*
- <u>Dues and Subscriptions</u>: Fees charged for memberships and related expenses to professional organizations, subscriptions and software.
- <u>Seminar/Conference Registrations</u>: Fees for the Tomball Economic Development Corporation staff and board members to attend conferences, events, and professional training seminars.
- <u>Travel and Training</u>: The costs associated with attending classes, seminars, events, trade shows and for related travel expenses. This includes hotel rooms where overnight stay is reasonable, the cost of related meals, airfare, and car rental where reasonable, parking and toll fees, and for mileage. Reimbursable mileage for exempt staff is limited to a destination that exceeds a 50-mile radius of the City of Tomball.

Service and Supply Expenditures

- <u>Contracted Administrative Services</u>: The cost of administrative services provided to the Tomball Economic Development Corporation by City of Tomball personnel as indicated in the Administrative Services Agreement entered into between the Tomball Economic Development Corporation and the City of Tomball.
- <u>Bank Charges</u>: The various service charges for maintaining a bank account, including wire transfer fees, safekeeping fees for investments, and actual operating account fees based on the account analysis.
- <u>Insurance</u>: The cost of surety bonding fees and insurance premiums including General Liability, Errors and Omissions, and Property.
- <u>Computer Equipment and Maintenance</u>: The cost of computer equipment and related expenses.
- <u>Communication Services</u>: The cost of telephone service, including land line phone base rate charges, DSL service, and long-distance charges.
- <u>Legal Fees</u>: Expenses incurred for legal services related to document and agreement preparation and obtaining advice and opinions from legal counsel related to Tomball Economic Development Corporation business activities.
- <u>Lease Expense-GTACC</u>: Payment to the Greater Tomball Area Chamber of Commerce for leased office space at 29201 Quinn Road, Suite B, Tomball, Texas.
- <u>Office Equipment & Supplies</u>: The cost of various office supplies, postage, and equipment.

Indirect Economic Development Expenditures:

- <u>Chamber Guide</u>: Expenses related to the TEDC advertisement and publication of a map of the Tomball area in the annual Greater Tomball Area Chamber of Commerce magazine.
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Interest		426,876		352,381		446,297		450,000		950,000		850,000
Grants Other - Land Sales and Lease Payments		- 491,055		16,000 913,855		8,000 2,004,772		-		- 3,714,079		-
		401,000		010,000		2,004,112				0,714,075		
Total Revenue	\$	4,982,826	\$	5,690,719	\$	7,845,315	\$	5,550,000	\$	10,064,079	\$	5,850,000
Total Available Resources	\$	26,745,922	\$	24,458,394	\$	27,851,256	\$	25,410,898	\$3	30,070,020	\$	25,765,835
EXPENDITURES												
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Benefits		114,950		129,174		144,759		162,249		157,830		184,808
Wages - Full-Time		42,333		45,246		28,036		55,000		45,000		48,087
Wages - Other Total Salaries and Benefits	\$	371,126	\$	390,372	\$	<u>21</u> 459.077	\$	8,300 592,585	\$	<u>150</u> 570,016	\$	3,000 632,485
	Ψ	571,120	ψ	590,572	ψ	439,077	ψ	392,000	ψ	570,010	ψ	032,403
Other Personnel Expenditures												
Auto Allowances	\$	8,400	\$	8,400	\$	16,800	\$	16,800	\$	16,800	\$	16,800
Phone Allowance - Executive Director Phone Allowance - Assistant Director		900 900		900 900		900 900		900 900		900 900		900 900
Phone Allowance - Coordinator		-				-		900		900		900
Local Travel Expense		135		236		90		500		400		500
Dues and Subscriptions		9,482		7,681		11,492		13,100		11,000		13,100
Seminar/Conference Registrations		2,928		10,396		10,349		18,000		11,000		18,000
Travel and Training Total Other Personnel Expense	\$	<u>11,727</u> 34,472	\$	<u>3,440</u> 31,953	\$	<u>17,655</u> 58,185	\$	<u>30,000</u> 81,100	\$	<u>11,000</u> 52,900	\$	<u>30,000</u> 81,100
	Ψ	01,112	Ψ	01,000	Ψ	00,100	Ψ	01,100	Ψ	02,000	Ψ	01,100
Service and Supply Expenditures												
Contracted Administrative Services	\$	25,000	\$	25,000	\$	25,000	\$	25,000	\$	25,000	\$	25,000
Bank Charges & Postage		1,920 3,144		3,017 8,399		2,197.75 17,952.76		3,500.00 18,000.00		1,500.00 18,000.00		3,500.00 30,000.00
Insurance Computer Equipment & Maintenance		3,144 4,249		8,399 5,823		4,296.53		10,000.00		10,000.00		30,000.00
Communications Services		3,639		3,976		4,267.91		5,200.00		4.600.00		5,200.00
Legal Fees		31,915		31,996		4,690.53		40,000.00		15.000.00		40,000.00
Lease Expense-GTACC		25,629		24,574		25,055.65		25,000.00		25,000.00		26,500.00
Office Equipment & Supplies		3,557		(2,321)		4,259.31		10,000.00		5,500.00		10,000.00
Total Service and Supply Expense	\$	99,053	\$	100,463	\$	87,720	\$	136,700	\$	104,600	\$	150,200
Total Administrative Expenditures	\$	504,651	\$	522,788	\$	604,982	\$	810,385	\$	727,516	\$	863,785
Indirect Economic Development Exp.												
Chamber Guide	\$	8,354	\$	8,354	\$	8,354	\$	8,400	\$	8,354	\$	8,400
Area Street Maps				3,875		-		4,000		3,875		-
Marketing		90,768		76,150		83,115		105,000		105,000		175,000
Economic Impact Model License		4,299		4,428		4,561		4,565		4,565		4,698
Event Sponsorships Promotional Items		6,000 6,515		24,028 1,160		8,038 4,715		29,000 6,500		20,000 6,500		29,000 10,000
Printing		6,915		5,404		4,715		6,500 6,500		6,500		6,500
Website and GIS		31,899		36,299		12,100		25,000		24,000		25,000
Professional Services		207,560		191,747		306,423		500,000		350,000		750,000
Grow Tomball Initiative		-		-		-		20,000		8,300		20,000
Miscellaneous		70,834		78,182		44,914		15,000		7,000		15,000
Total Indirect Expenditures	\$	433,144	\$	429,626	\$	473,342	\$	723,965	\$	544,094	\$	1,043,598
City Debt Service		070 000		070 000		070 000						
Utilities Expansion (2002 CO-2/15/2022)		370,000		370,000		370,000		-		-		-

	533,462		535,663		537,663		539,463		539,463		546,013
	222,222		222,222		222,222		222,222		222,222		222,222
\$	1,125,684	\$	1,127,885	\$	1,129,885	\$	761,685	\$	761,685	\$	768,235
\$	219,848	\$	210,108	\$	620,825	\$	2,500,000	\$	1,800,000	\$	3,500,000
	50,139		50,139		66,823		70,000		70,130		11,400
	5,062,631		2,043,540		-		5,000,000		4,635,760		1,000,000
	130,891		62,078		121,344		350,000		302,000		350,000
	139,082		67,000		197,302		250,000		288,000		250,000
	54,269		-		-		250,000		70,000		250,000
	-		38,783		125,560		100,000		105,000		100,000
							600,000		600,000		1,500,000
	-		71,341		76,553		5,000,000		30,000		5,000,000
	248,644		77,781		133,985		300,000		200,000		350,000
\$	5,905,504	\$	2,620,770	\$	1,342,394	\$	14,420,000	\$	8,100,890	\$	12,311,400
\$	7,968,983	\$	4,701,069	\$	3,550,602	\$	16,716,035	\$1	10,134,185	\$	14,987,018
											· · · · · ·
\$	(2,986,157)	\$	989,650	\$	4,294,712	\$	(11,166,035)	\$	(70,106)	\$	(9,137,018)
	,						,		(,		,
\$	9,264	\$	(248,616)	\$	(455,268)	\$	-	\$	20,000	\$	-
-					· · ·						
\$	18,767,675	\$	20,005,941	\$	24,755,922	\$	8,694,863	\$1	19,915,835	\$	10,778,818
	\$ \$ \$ \$ \$	222,222 \$ 1,125,684 \$ 219,848 50,139 5,062,631 130,891 139,082 54,269 - - 248,644 \$ 5,905,504 \$ 7,968,983 \$ (2,986,157) \$ 9,264	222,222 \$ 1,125,684 \$ \$ 219,848 \$ 50,139 5,062,631 130,891 139,082 54,269 - - 248,644 \$ 5,905,504 \$ \$ 7,968,983 \$ \$ (2,986,157) \$ \$ 9,264 \$	222,222 222,222 \$ 1,125,684 \$ 1,127,885 \$ 219,848 \$ 210,108 50,139 50,139 50,62,631 2,043,540 130,891 62,078 139,082 67,000 54,269 - - 71,341 248,644 77,781 \$ 5,905,504 \$ 2,620,770 \$ 7,968,983 \$ 4,701,069 \$ (2,986,157) \$ 989,650 \$ 9,264 \$ (248,616)	222,222 222,222 \$ 1,125,684 \$ 1,127,885 \$ \$ 219,848 \$ 210,108 \$ 50,139 50,139 50,139 50,139 50,139 50,139 62,631 2,043,540 130,891 62,078 139,082 67,000 54,269 - \$ 139,082 67,000 54,269 - \$ - 71,341 248,644 77,781 \$ \$ 5,905,504 \$ 2,620,770 \$ \$ 7,968,983 \$ 4,701,069 \$ \$ (2,986,157) \$ 989,650 \$ \$ 9,264 \$ (248,616) \$	222,222 222,222 222,222 \$ 1,125,684 \$ 1,127,885 \$ 1,129,885 \$ 219,848 \$ 210,108 \$ 620,825 50,139 50,139 66,823 5,062,631 2,043,540 - 130,891 62,078 121,344 139,082 67,000 197,302 54,269 - - - 38,783 125,560 - 71,341 76,553 248,644 77,781 133,985 \$ 5,905,504 \$ 2,620,770 \$ 1,342,394 \$ 7,968,983 \$ 4,701,069 \$ 3,550,602 \$ (2,986,157) \$ 989,650 \$ 4,294,712 \$ 9,264 \$ (248,616) \$ (455,268)	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$

	So	ries 1999	Se	ries 2002	Series 2013		۵	ries 2016		Annual Paym			
2016	_	188,148	\$	370,000	\$	528,012.50	50	1103 2010		\$	1,086,160.50		
2010	φ \$	188,148	φ \$	370,000	φ \$	-				Ψ \$			
			•	-		530,912.50					1,089,060.50		
2018	-	188,148	\$	370,000	\$	533,612.50				\$	1,091,760.50		
2019	\$	188,148	\$	370,000	\$	536,112.50	•			\$	1,094,260.50		
2020			\$	370,000	\$	533,462.50	\$	222,222		\$	1,125,684.50		
2021			\$	370,000	\$	535,662.50	\$	222,222		\$	1,127,884.50		
2022			\$	370,000	\$	537,662.50	\$	222,222		\$	1,129,884.50		
2023					\$	539,462.50	\$	222,222		\$	761,684.50		
2024					\$	546,012.50	\$	222,222		\$	768,234.50		
2025					\$	547,312.50	\$	222,222		\$	769,534.50		
2026					\$	548,412.50	\$	222,222		\$	770,634.50		
2027					\$	548,737.50	\$	222,222		\$	770,959.50		
2028					\$	548,275.00	\$	222,222		\$	770,497.00		
2029					\$	551,925.00	\$	222,222		\$	774,147.00		
2030					\$	549,056.25	\$	222,222		\$	771,278.25		
2031					\$	549,600.00	\$	222,222		\$	771,822.00		
2032					\$	549,075.00	\$	222,222		\$	771,297.00		
2033					\$	548,100.00	\$	222,222		\$	770,322.00		
2034							\$	222,222		\$	222,222.00		
2035							\$	222,222		\$	222,222.00		
2036							\$	222,222		\$	222,222.00		
2037							\$	222,226		\$	222,226.00		
							Ŧ	,•	1 1	Ŧ	,		
Total	\$	752,592	\$2	2,590,000	\$ 9	9,761,406.25	\$4	,000,000		\$	17,103,998.25		

TEDC Debt Service Schedule

2017-2019:

Southside Sewer Plant (1999 CO-2/15/2019) Utilities Expansion (2002 CO- 2/15/2022) Business Park Infrastructure (Series 2013)

2020-2022:

Utilities Expansion (2002 CO- 2/15/2022) Business Park Infrastructure (Series 2013) Series 2016, Medical Complex Drive-Section 4B, Persimmon Street

2023-2033:

Business Park Infrastructure (Series 2013) Series 2016, Medical Complex Drive-Section 4B, Persimmon Street

2034-2037:

Series 2016, Medical Complex Drive-Section 4B, Persimmon Street

Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

Topic:

Consideration and possible action by Tomball EDC to approve out-of-state travel for FY 2023-2024 for TEDC Staff to attend conferences and trainings for professional and business development purposes.

Background:

Approval for out-of-state travel is being requested by TEDC staff to attend conferences and training courses in accordance with the 2023-2024 Fiscal Year Budget. Continuing education is required for staff to stay current with leading-edge strategies and techniques, legislative issues, and new technologies impacting the industry. Economic development conferences are excellent resources for learning from economic development experts on issues, trends, and best practices. Additionally, attendance at IEDC and SEDC Annual Conferences allow TEDC staff to earn recertification points to maintain their CEcD designation.

The 2023-2024 Out of State conference list is below:

International Economic Development Council (IEDC):

2024 Economic Future Forum June 16-18, 2024 Spokane, WA

2024 Annual Conference September 15-18, 2024 Denver, CO

Economix/Consultant Connect

November 29-30, 2023 Charleston, SC

Origination: Kelly Violette, Executive Director, Tomball Economic Development Corporation

Recommendation: Staff recommends approval of out-of-state travel for FY 2023-2024.

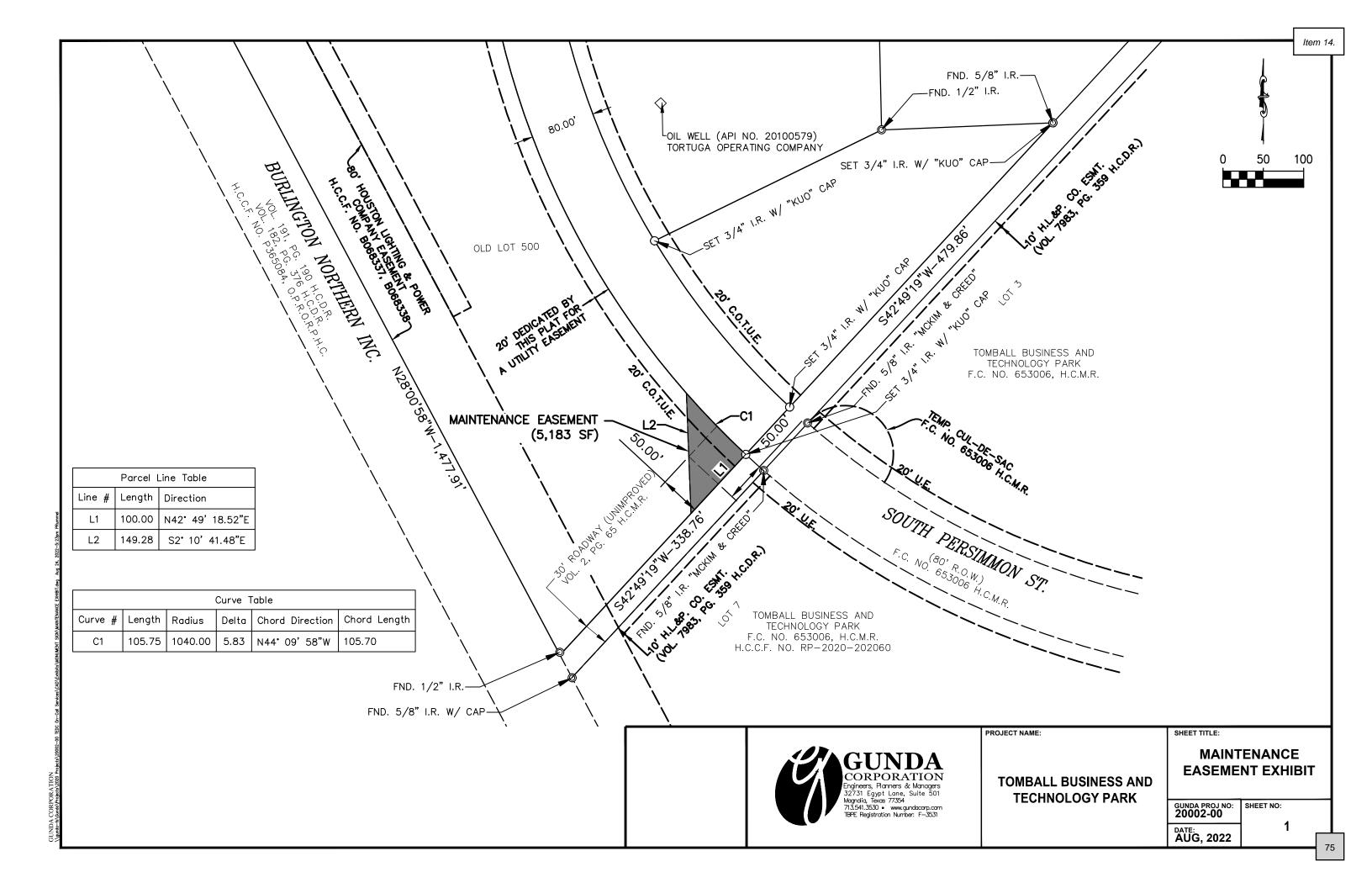
Party(ies) responsible for placing this item on agenda:

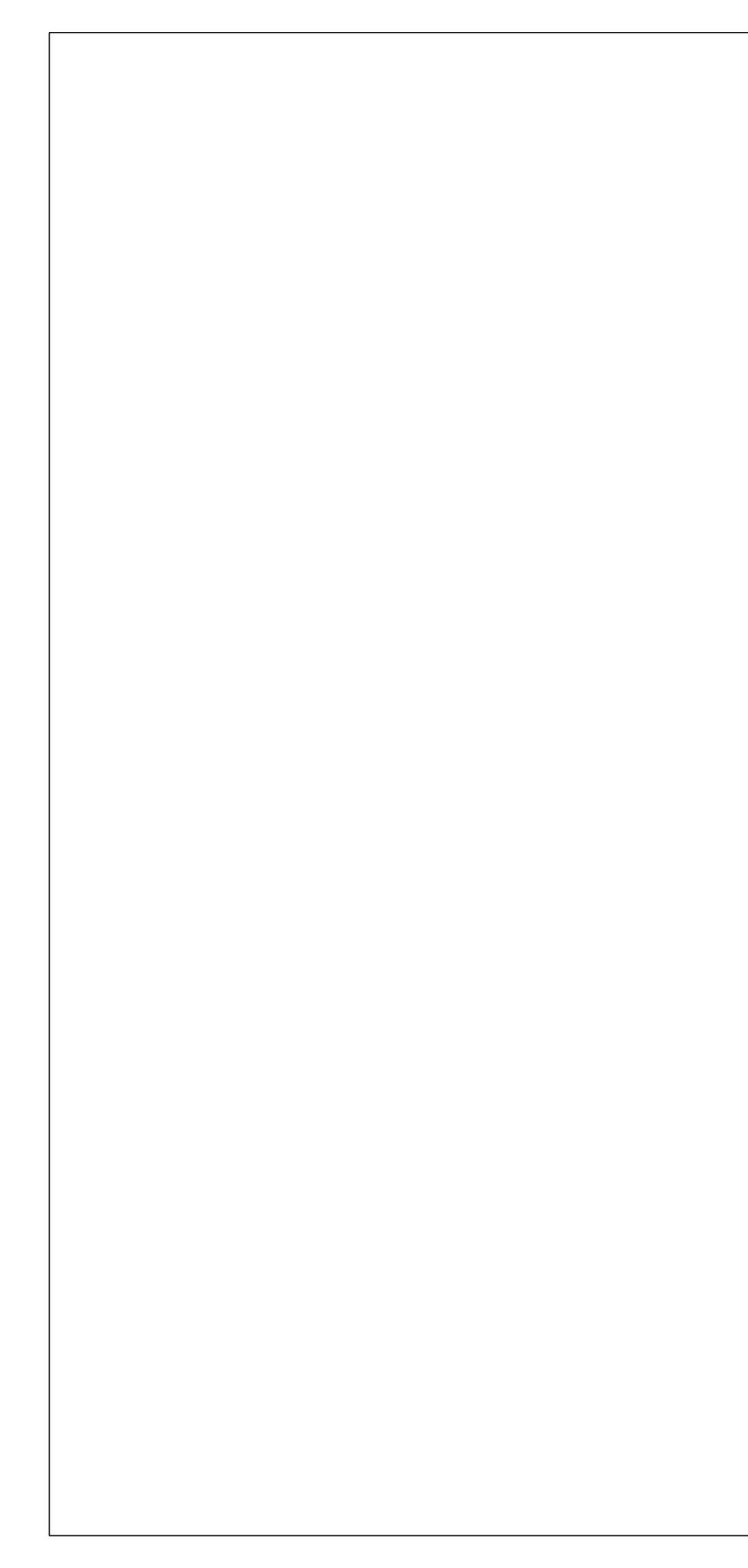
Kelly Violette

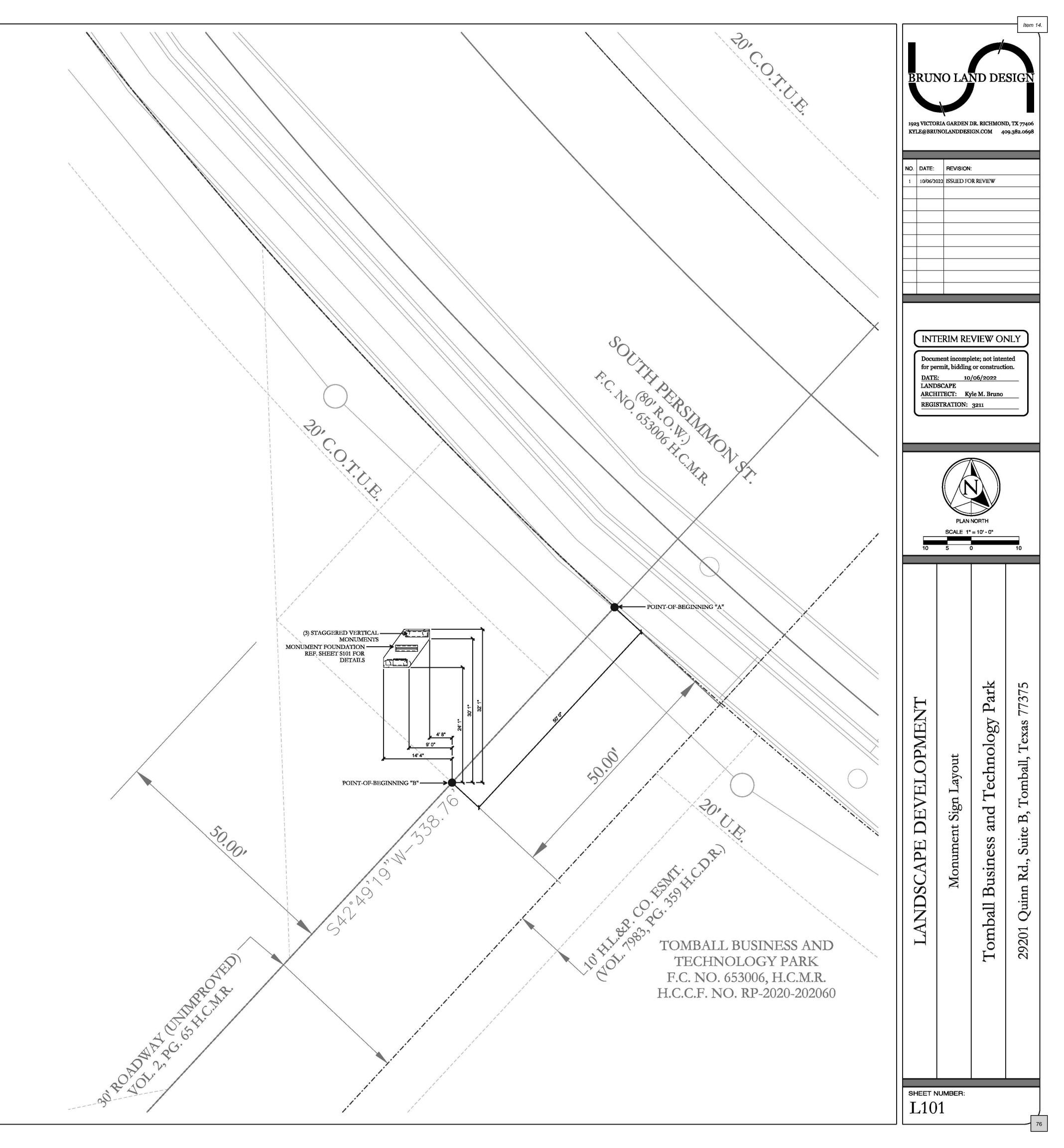
FUNDING (IF APPLICABLE)

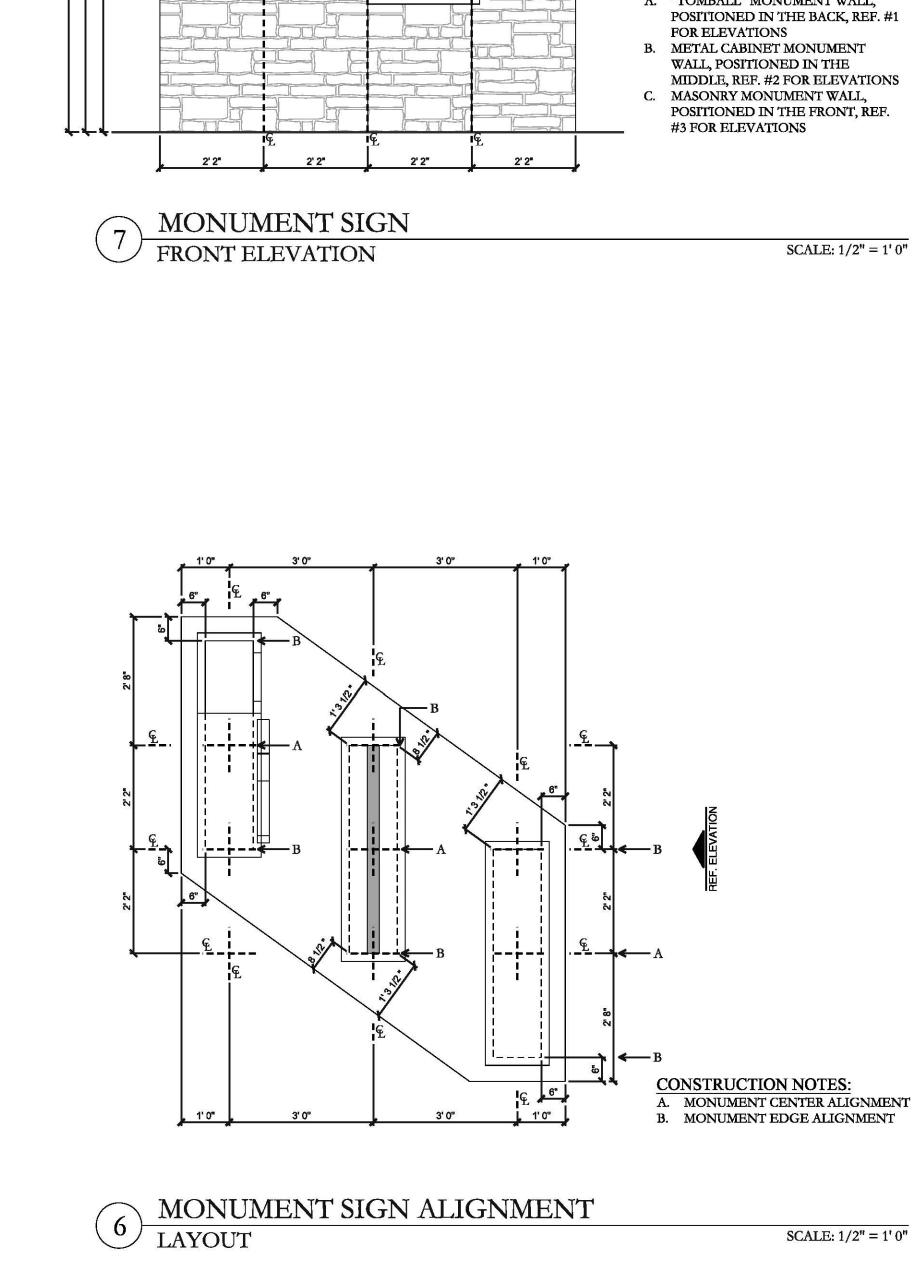
Are funds specifically designated in the current budget for the full amount required for this purpose?

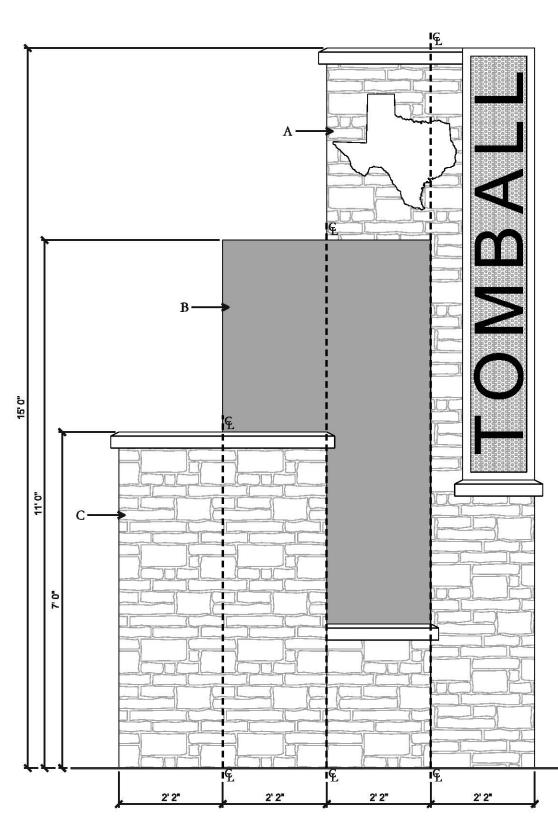
Yes: X	No:		If yes, specify A	Account Number	: # Seminars an Conference Re	
If no, fun	ds will be transferred from	account #		To account	#	
Signed			Approved by			
	Staff Member-TEDC	Date	_	Executive Direct	ctor-TEDC	Date



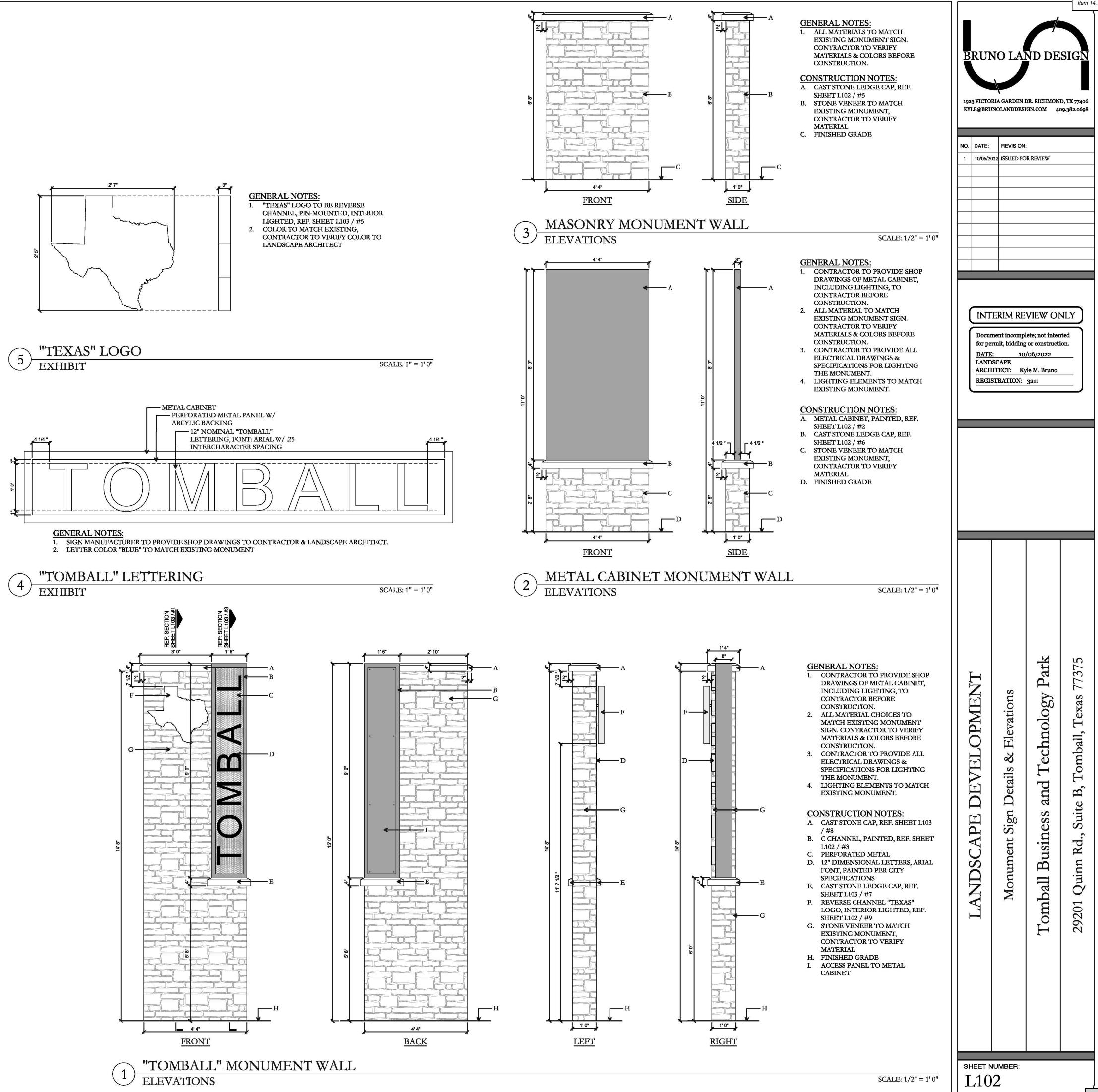


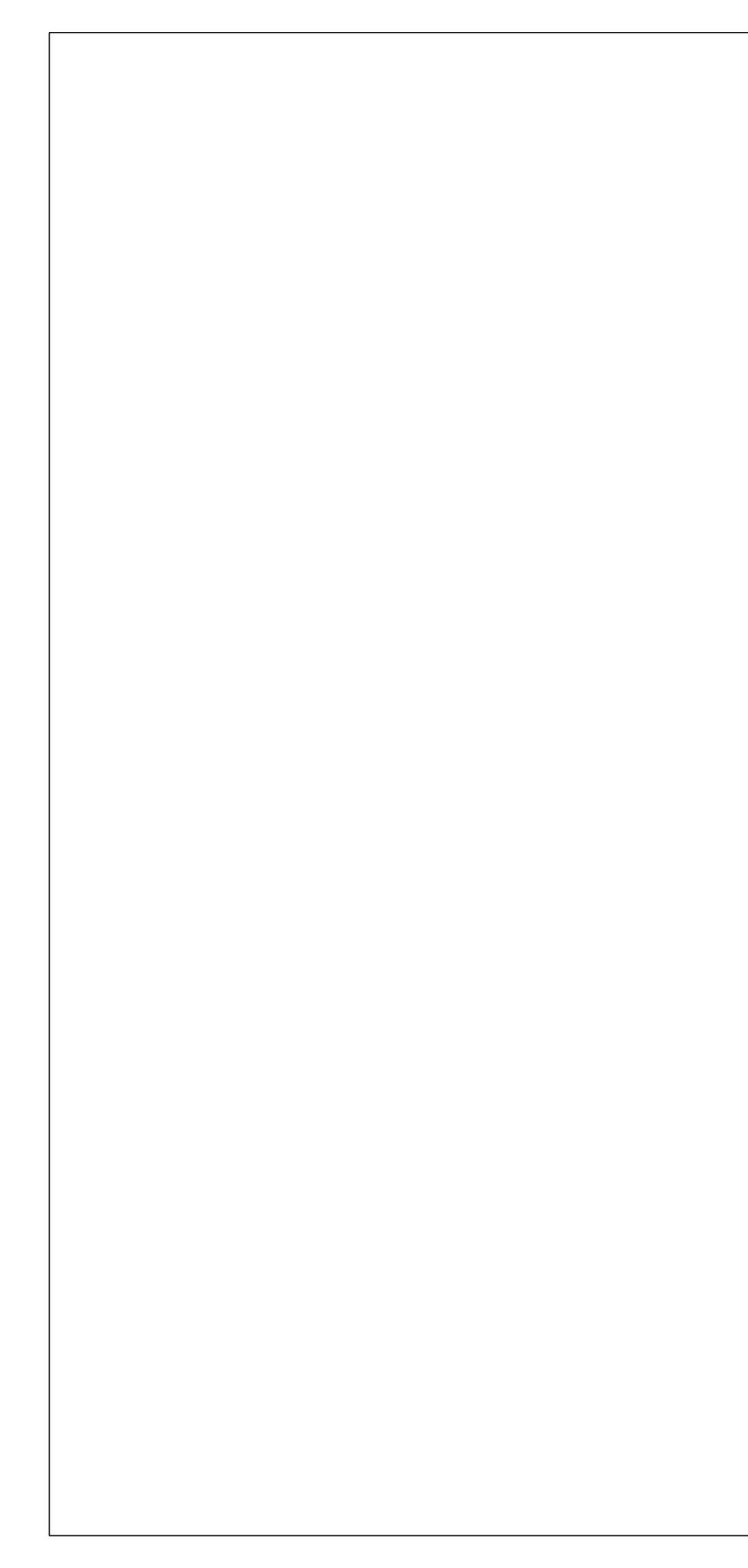


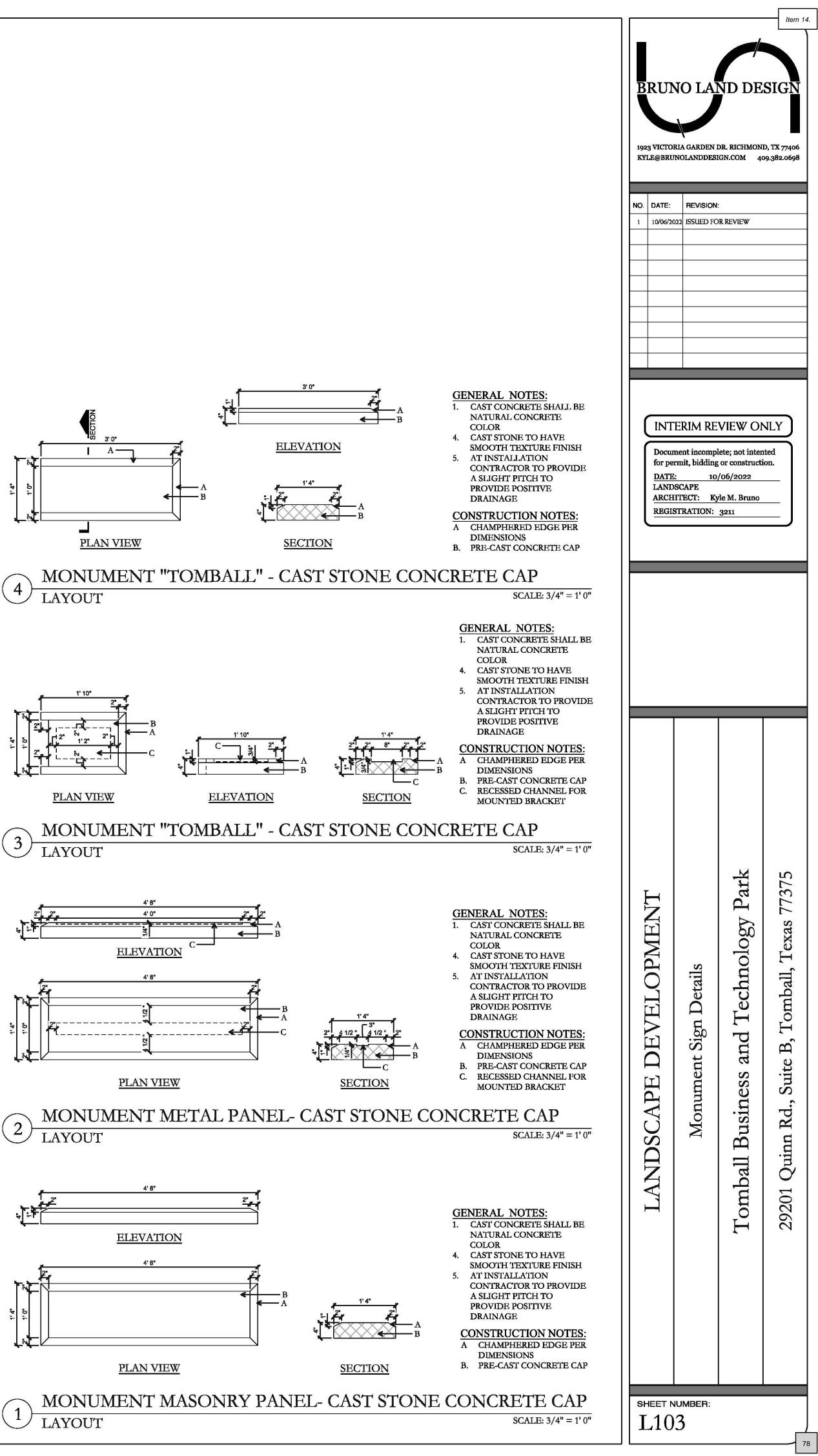


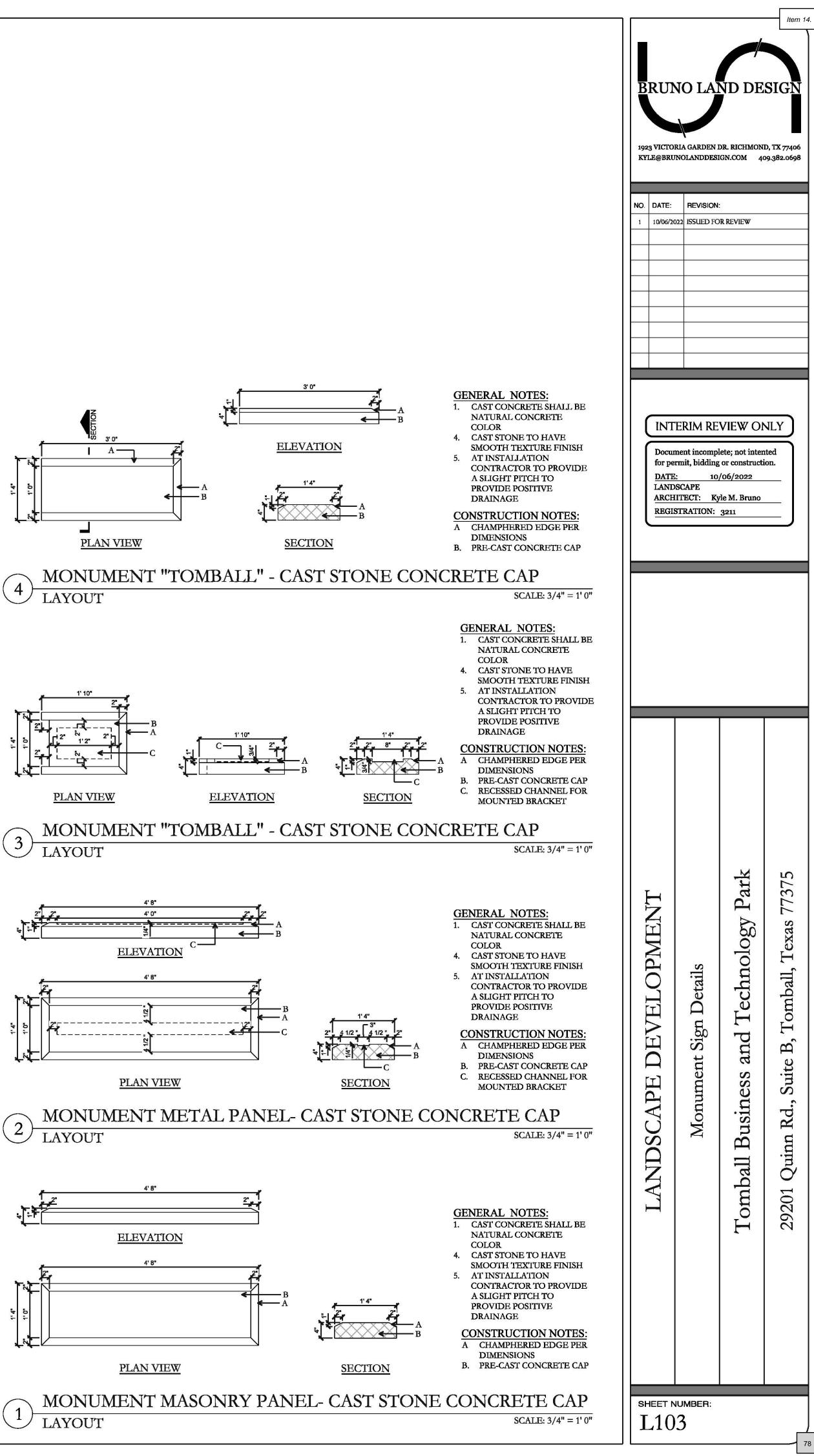


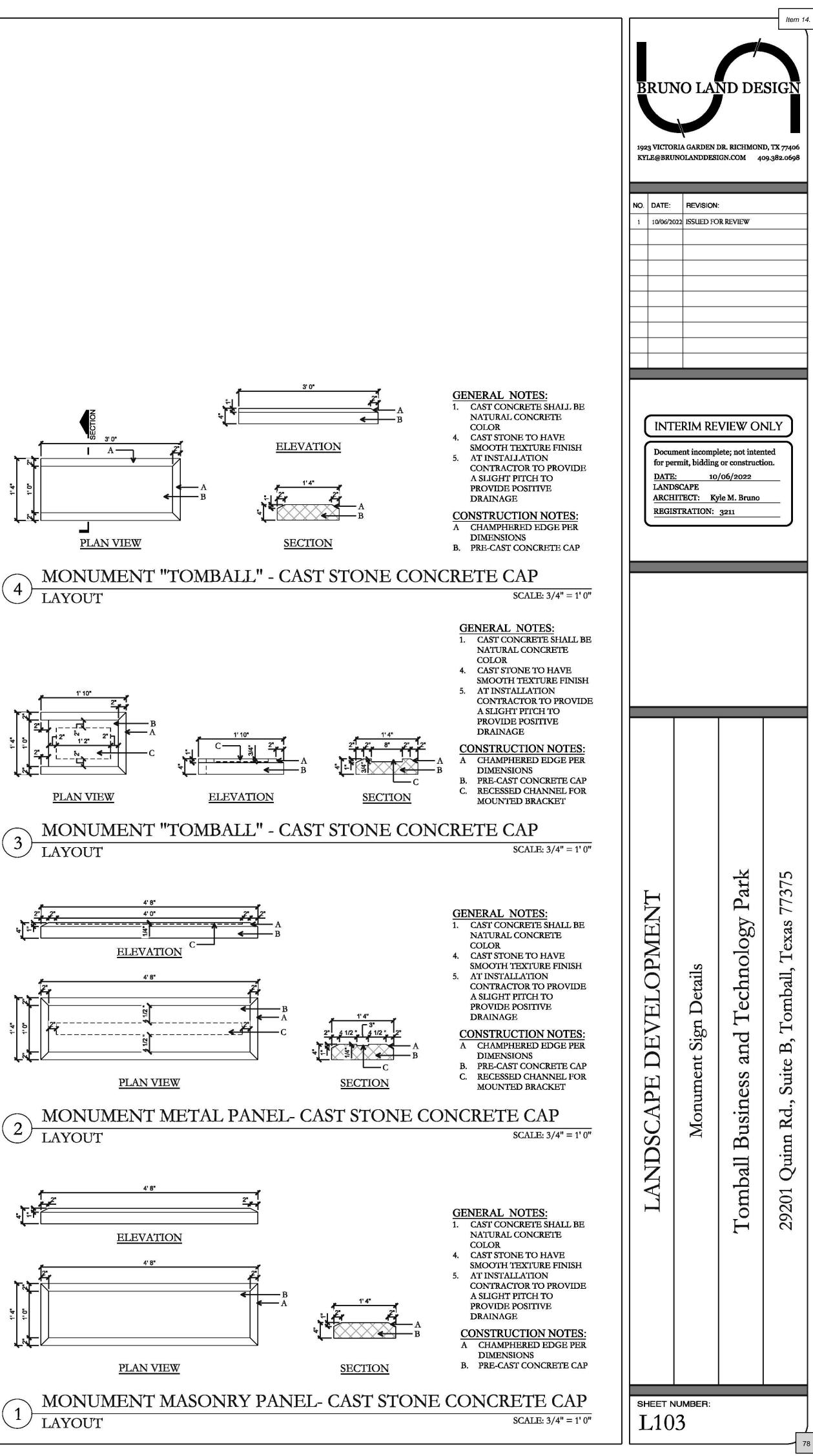
- A. "TOMBALL" MONUMENT WALL,
- CONSTRUCTION NOTES:

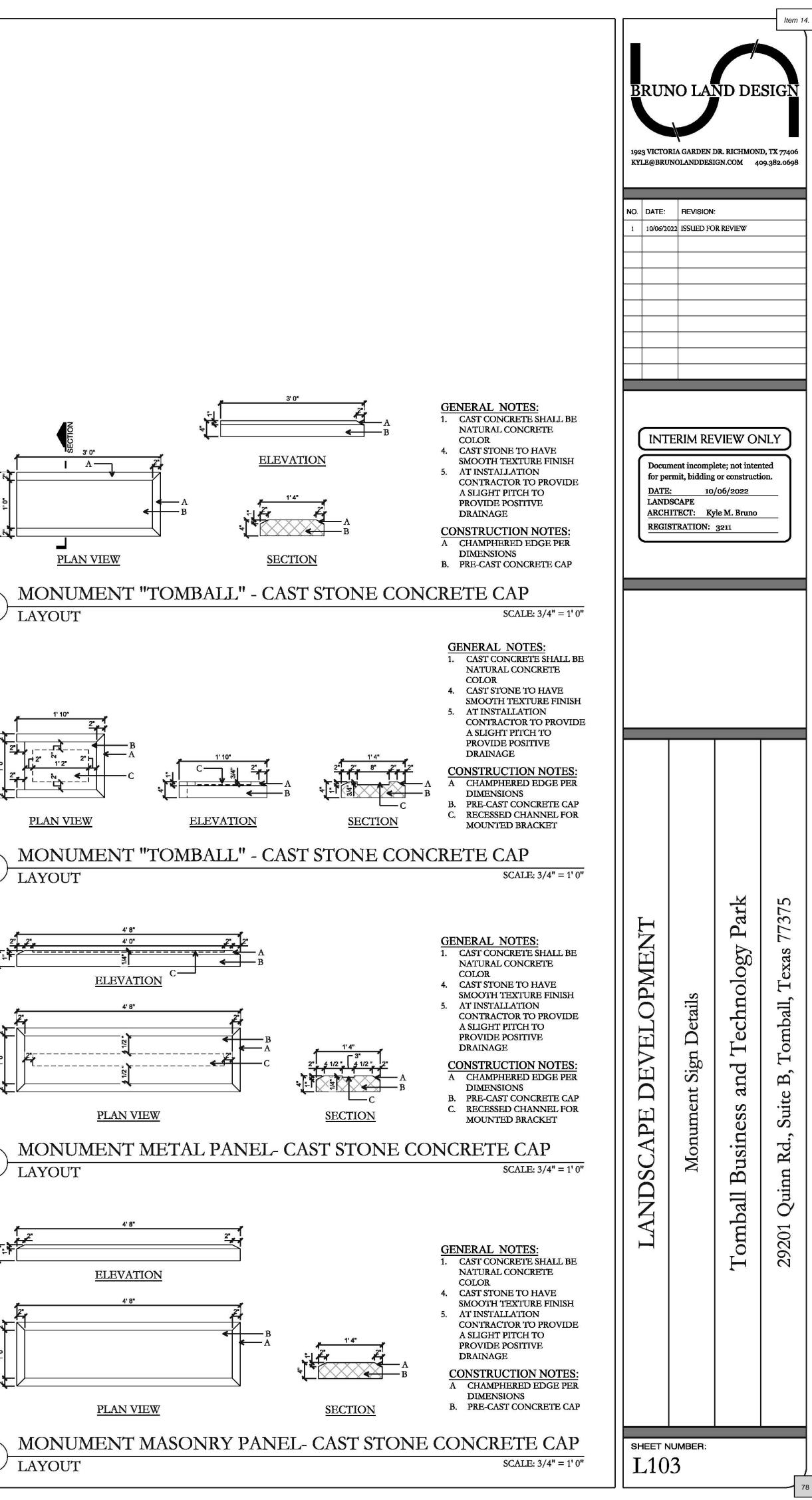


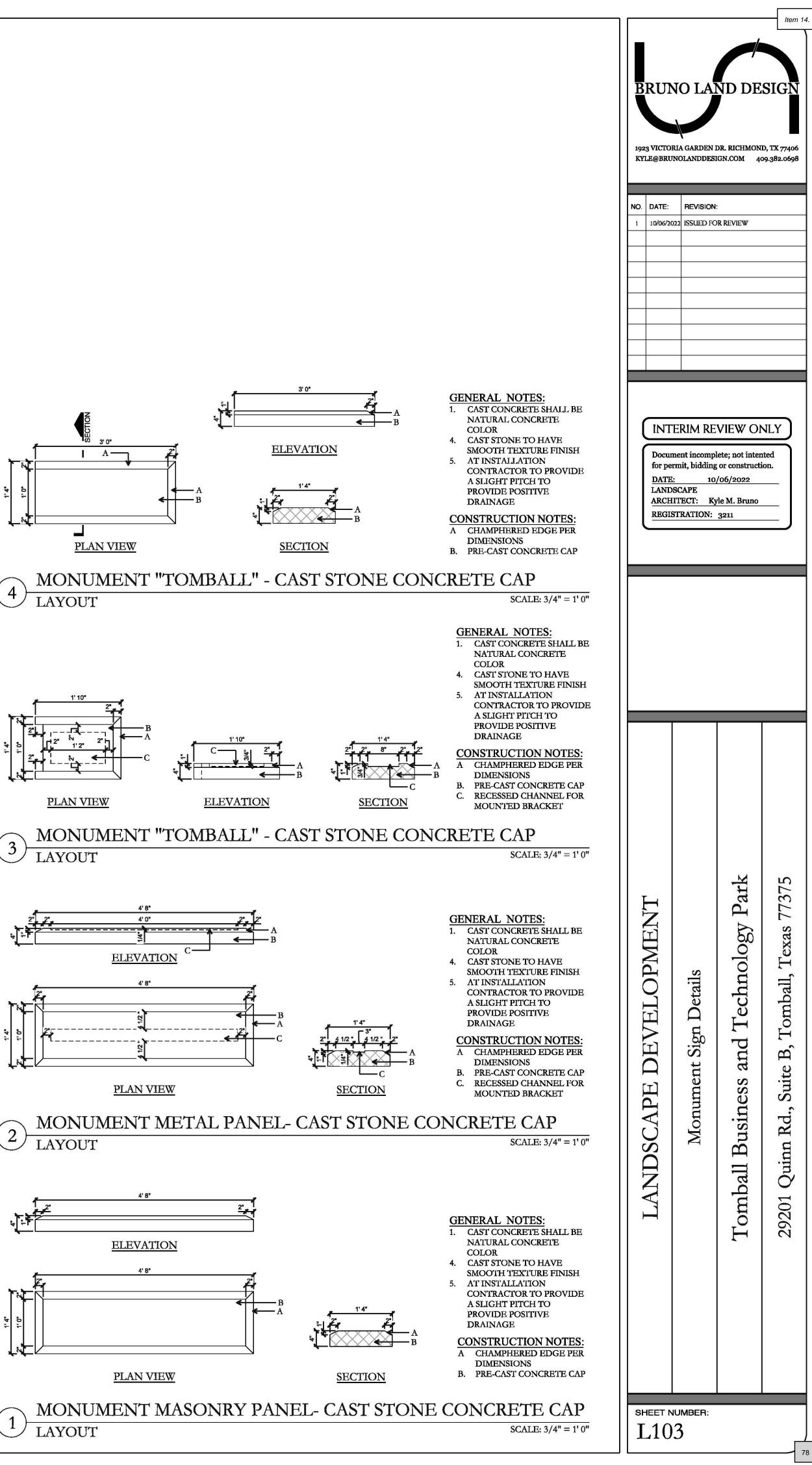


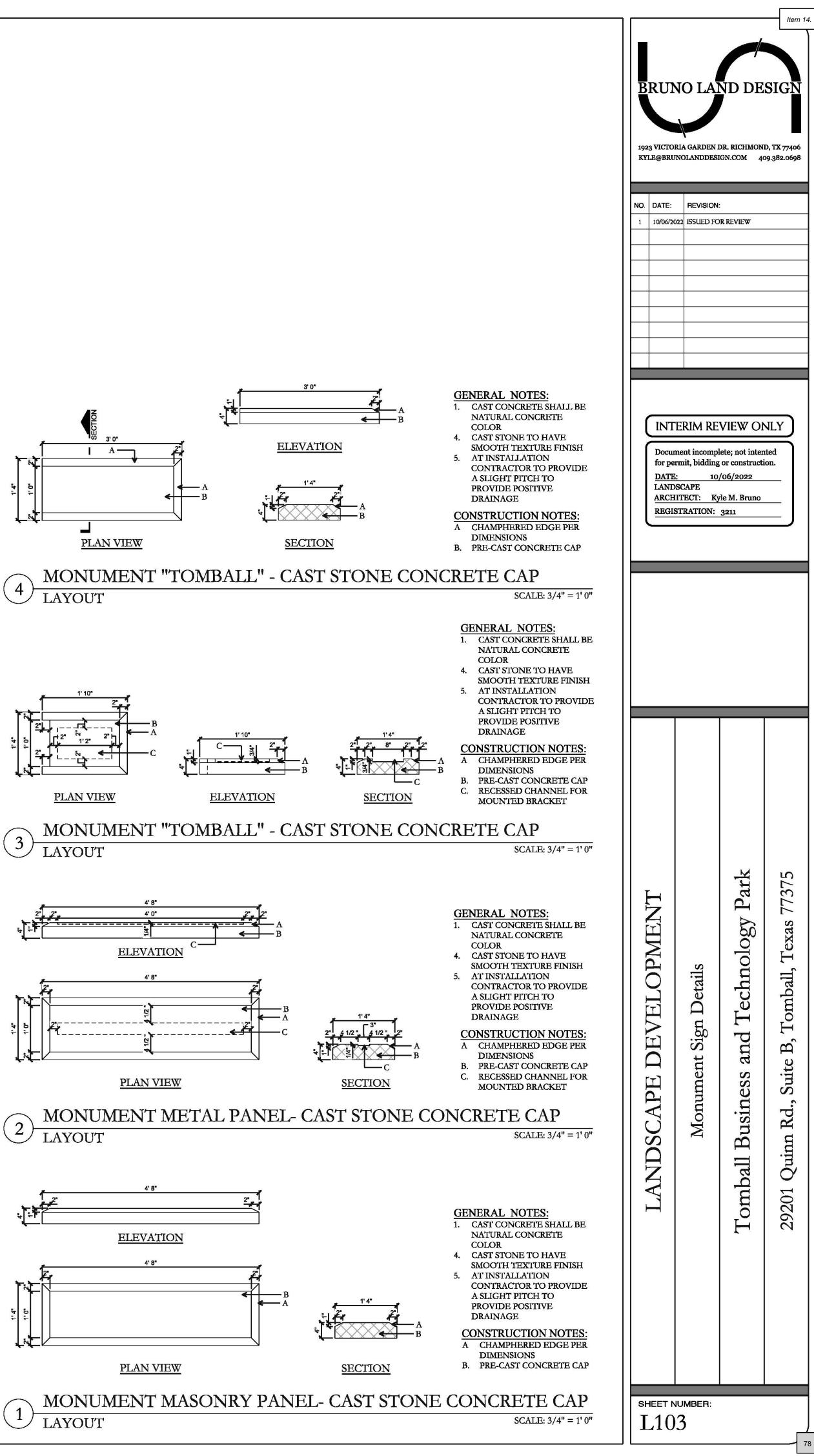


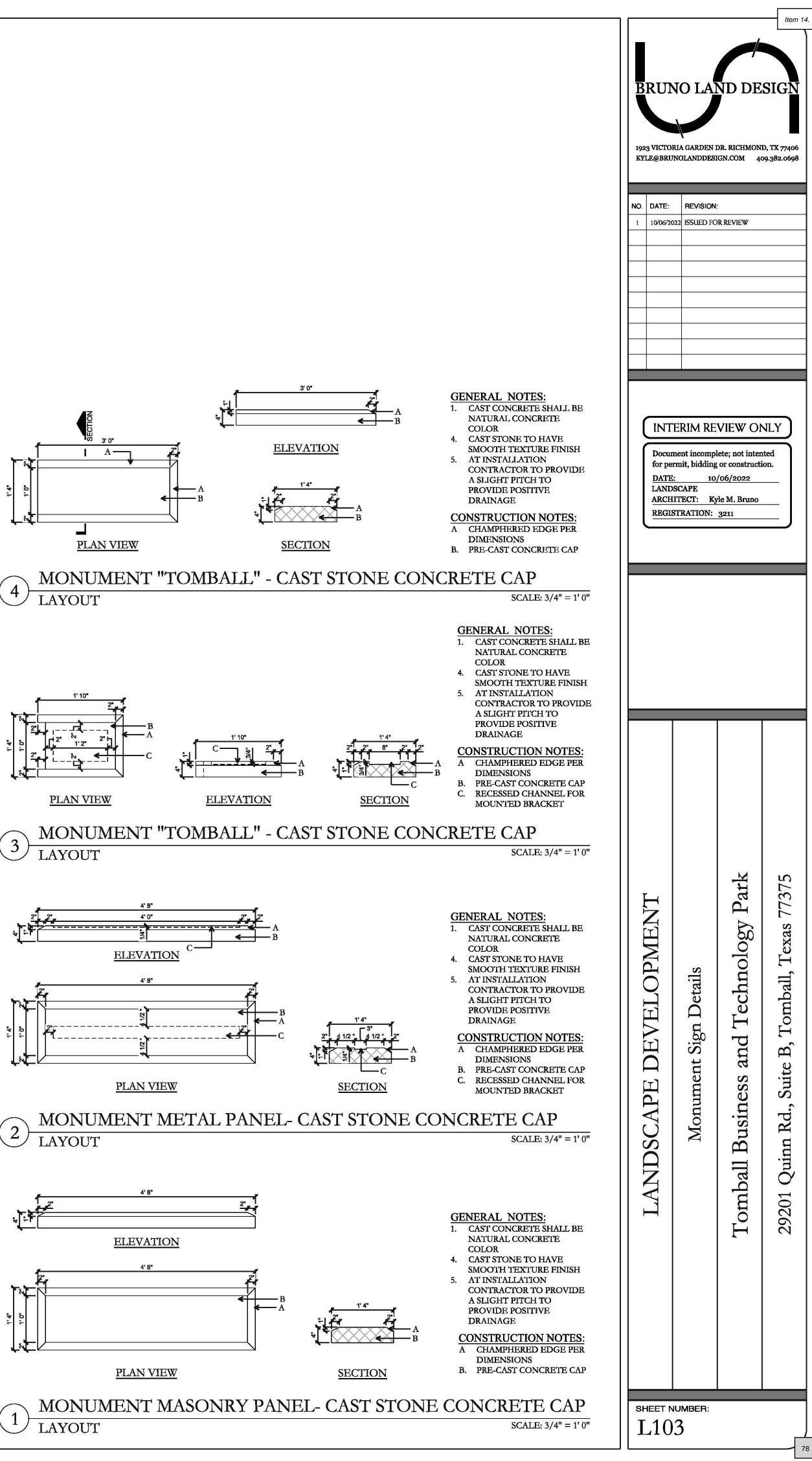


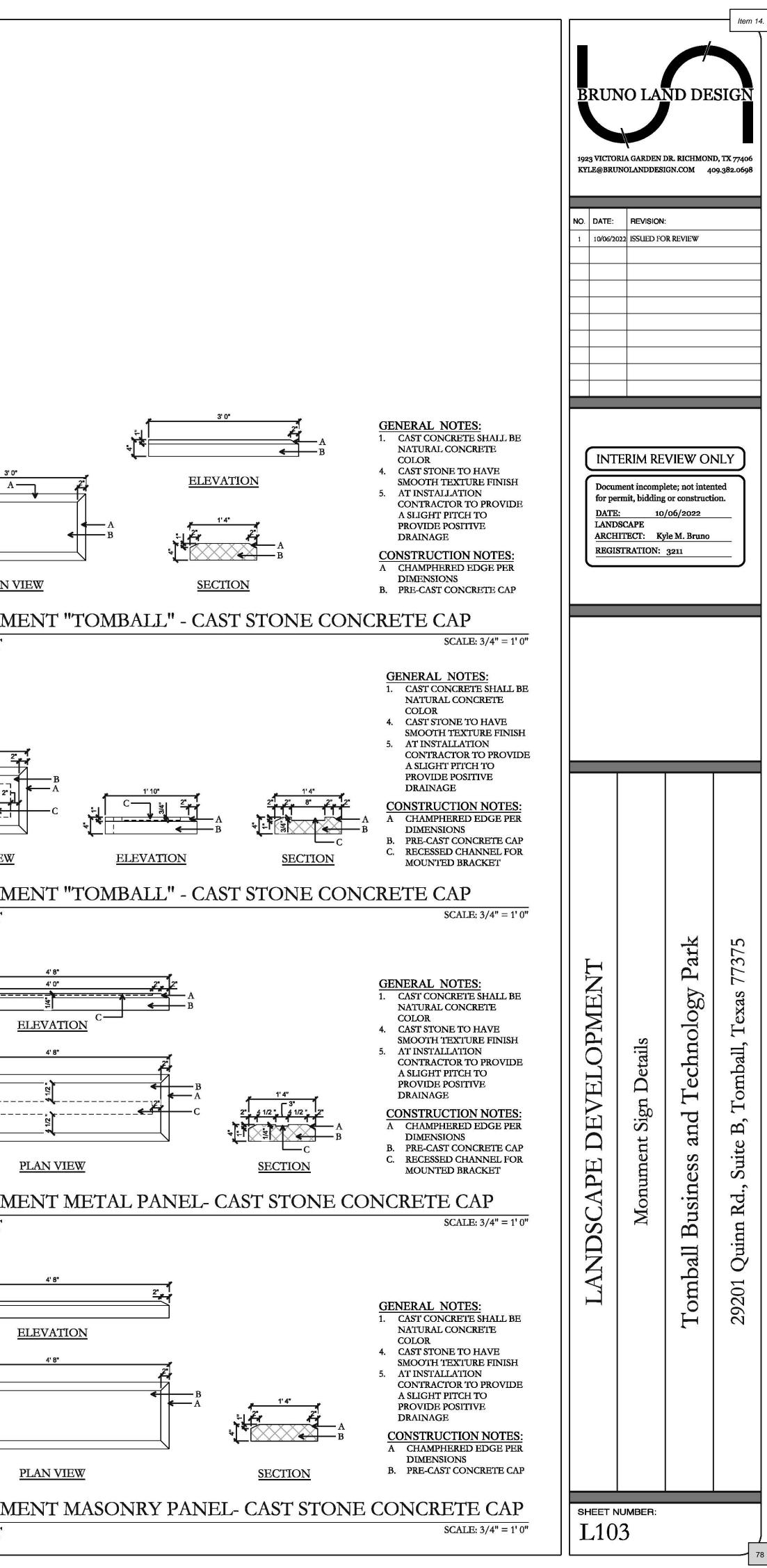


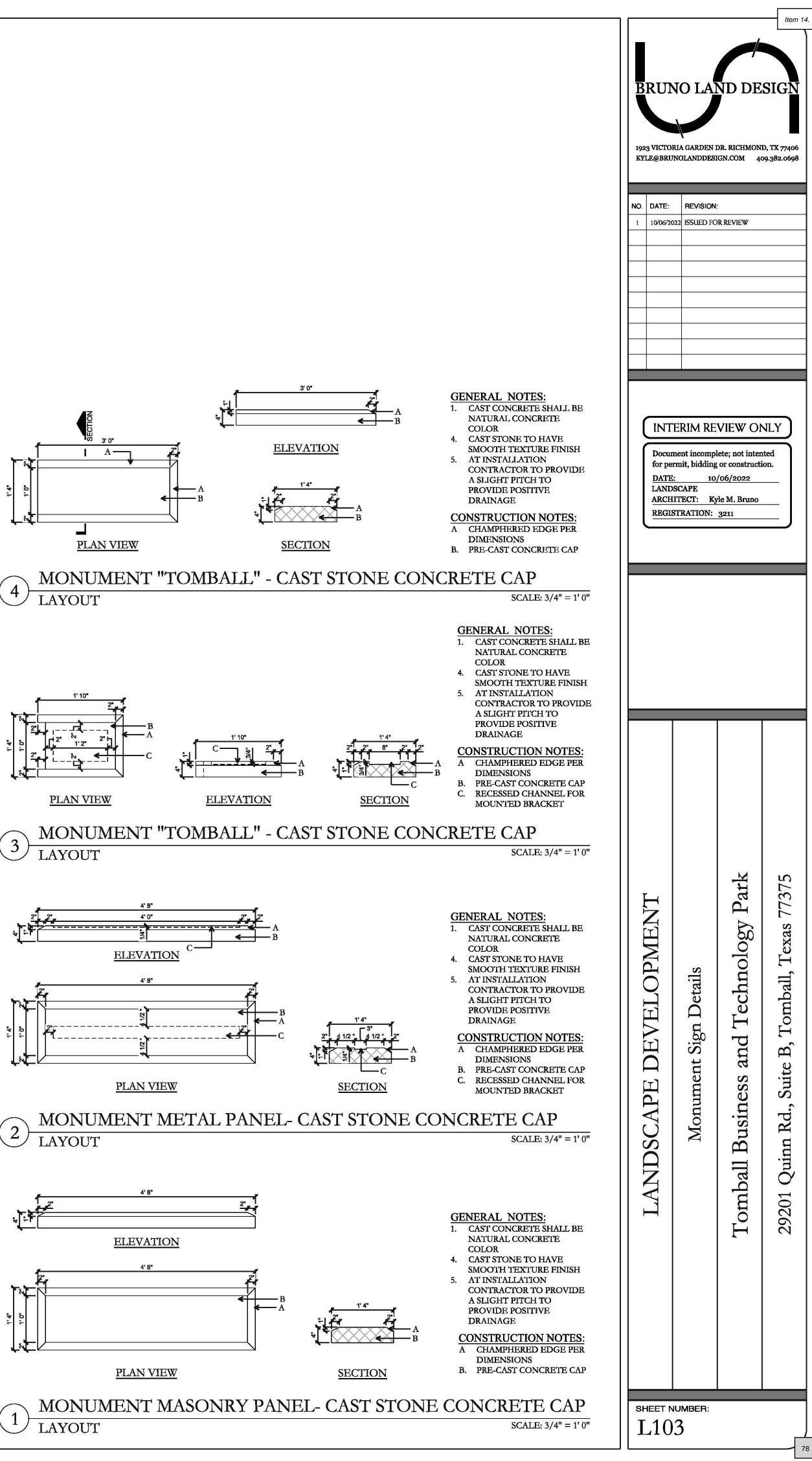


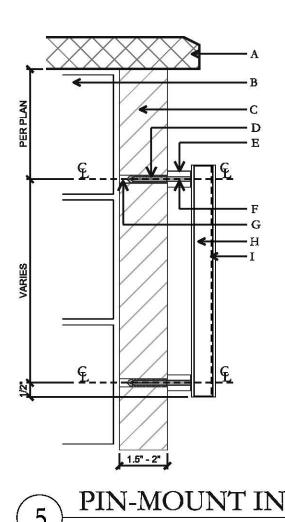












GENERAL NOTES: 1. CONTRACTOR TO PROVIDE

- LIGHTING PLANS TO MATCH EXISTING MONUMENT SIGN
- CONSTRUCTION NOTES: A. SIGN CAP (PER DETAILS) B. CMU BLOCK (PER DETAILS)
- C. STONE VENEER (PER DETAILS) D. PIN-MOUNT PLUG
- E. 1" PIN-MOUNT SPACES F. PIN-MOUNT WELDED TO
- LETTERING
- G. PIN-MOUNT DRILLED PILOT HOLE
- H. REVERSE CHANNEL "TEXAS" LOGO
- I. LED LIGHTING STRIP

PIN-MOUNT INSTALLATION DIAGRAM - REVERSE CHANNEL LOGO

GENERAL CONSTRUCTION NOTES

CAST-IN-PLACE CONCRETE

- ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE 1 AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
- 2. ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL
- COMPLY WITH ACI 318. 3. CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
- 4. CHLORIDES SHALL NOT BE USED.
- 5. MAXIMUM AGGREGATE SIZE = 1".
- CONCRETE REINFORCING STEEL
- ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
- 2. PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE **REINFORCEMEN'T:**
 - 2.1. CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - 2.2.CONCRETE EXPOSED TO EARTH OR WEATHER:
 - 2.2.1. (A) BARS LARGER THAN NO. 5: 2 INCHES
 - 2.2.2. (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES. 2.3. CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - 2.3.1. SLABS, WALLS AND JOISTS
 - 2.3.1.1. (A) BARS, LARGER THAN NO. 11: 1-1/2 INCHES 2.3.1.2. (B) BARS NO. 11 AND SMALLER: 3/4 INCHES.
 - 2.3.2. BEAMS AND COLUMNS: 1-1/2 INCHES
 - 2.3.3. SHELLS AND FOLDED PLATES
 - 2.3.3.1. (A) BAR LARGER THAN NO. 5: 3/4 INCHES.
- 2.3.3.2. (B) BARS NO. 5 AND SMALLER: 1/2 INCHES. 3. ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.
- DRILLED PIERS
- PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL
- OR BEAM. 2. PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO
- WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
- STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
- 4. PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND
- LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.

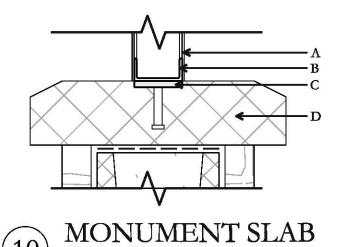
STRUCTURAL CONCRETE MASONRY UNIT

- 1. CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
- 2. CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
- 3. MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
- 4. COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 1/2" IN ACCORDANCE WITH ASTM C476.REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING
- REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
- HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
- JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION IOINTS.
- LAP VERITCAL REINFORCING BARS AT 72 BAR DIAMETERS.

LAYOUT

LAYOUT

9. LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS. 10. PLACE GROUT USING LOW-LIFT METHOD, 6'-8" MAXIMUM LIFTS.



CONSTRUCTION NOTES: A. 3/16 ALUMINUM PANEL, PAINTED

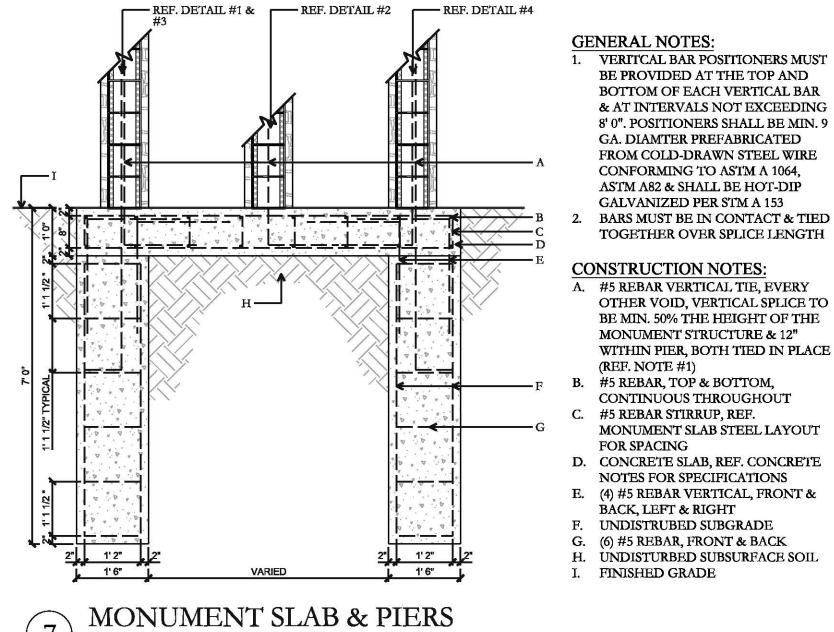
- TO MATCH EXISTING 3C X 3.5 C CHANNEL WELDED
- FRAME, PAINTED TO MATCH EXISTING MONUMENT C. PL 1/4" X 3" X 48" BRACKET W/ (5)
- 1/2" DIA. X 2 5/8" HEADED STUDS SPACED EVENLY
- D. CAST STONE CONCRETE CAP, REF. SHEET L103 / #2

SCALE: 2" = 1' 0"

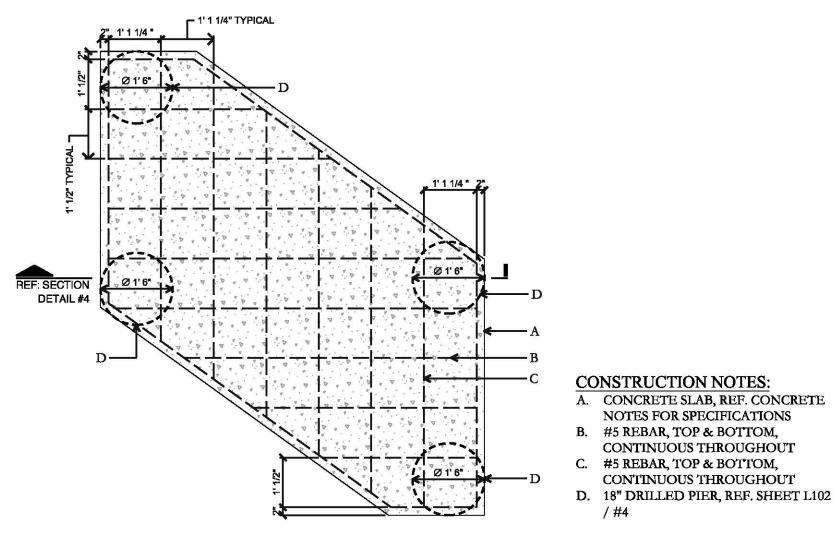
- CONSTRUCTION NOTES: A. 3/16 ALUMINUM PERFORATED PANEL, PAINTED TO MATCH
- EXISTING 8C X 11.5 C CHANNEL WELDED FRAME, PAINTED TO MATCH EXISTING MONUMENT
- C. ACRYLIC BACKING D. PL 1/2" X 14" X 8" BRACKET W/ (4)
- 1/2" DIA. X 2 5/8" HEADED STUDS E. CAST STONE CONCRETE CAP, REF.
- SHEET L103 / #3 F. LED STRIP LIGHTING, TOP & BOTTOM
 - SCALE: 2" = 1' 0"

CONSTRUCTION NOTES:

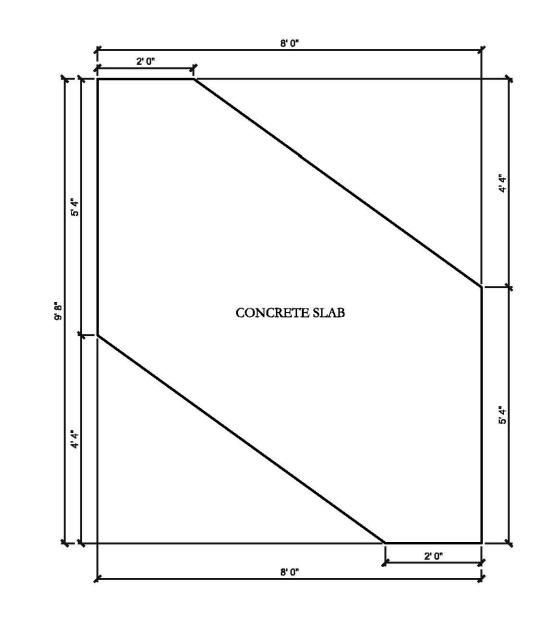
- 3/16 ALUMINUM PANEL, PAINTED TO MATCH EXISTING 3C X 3.5 C CHANNEL WELDED
- FRAME, PAINTED TO MATCH EXISTING MONUMENT
- 12" NOMINAL "TOMBALL" LETTERING
- D. ACRYLIC BACKING E. 8C X 11.5 C CHANNEL WELDED FRAME, PAINTED TO MATCH
- EXISTING MONUMENT F. (4) SS EXP BOLT, SPACED EVENLY
 - SCALE: 2" = 1' 0"







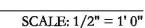


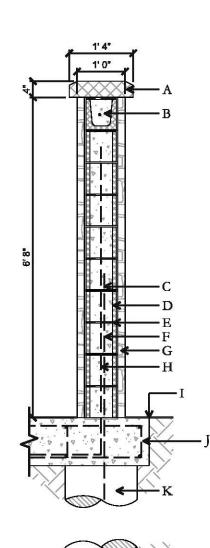




MONUMENT SLAB

- MONUMENT SLAB LAYOUT







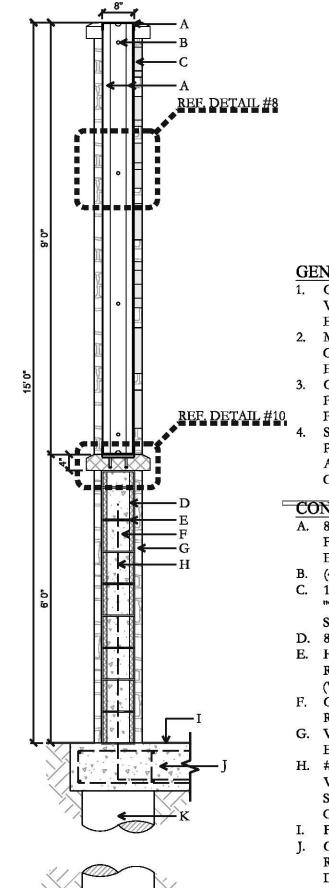
- EXISTING MONUMENT SIGN. 2. MONUMENT SIGN MATERIALS & COLOR TO MATCH IDENTICAL TO
- EXISTING MONUMENT SIGN 3. CONTRACTOR IS RESPONSIBLE FOR ALL LIGHTING ELEMENTS
- FOR MONUMENT SIGN 4. SIGN MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR ALL METAL CABINET COMPONENTS

CONSTRUCTION NOTES:

- A. CAST STONE CONCRETE CAP, REF. SHEET L103 / #1
- B. CMU BOND BEAM W/ #5 REBAR CONTINUOUS THROUGHOUT C. #5 REBAR, VERTICAL SPLICE
- CONTINUOUS THROUGH PIER, REF. DETAIL #7 D. 8X8 STANDARD CMU BLOCK
- E. HORIZONTAL JOINT REINFORCING @ 16" O.C. (VERTICAL SPACING)
- F. CONCRETE FILLED VOIDS WHERE **REBAR IS INSTALLED**
- G. VENEER STONE TO MATCH EXISTING MONUMENT
- H. #5 REBAR REINFORCING VERTICALS @ 24" O.C. (VERTICAL SPACING) SPLICED @ BOTTOM BAR OF SLAB
- FINISHED GRADE CONCRETE FOUNDATION W/ REBAR REINFORCEMENT, REF.
- DETAIL 7 K. CONCRETE PIER W/ REBAR
- **REINFORCEMENT, REF. DETAIL 7** L. UNDISTURBED SUBSURFACE SOIL

SCALE: 1/2'' = 1'0''

SCALE: 1/2" = 1'0"



- **GENERAL NOTES:** CONTRACTOR TO IDENTIFY & VERIFY MATERIALS TO MATCH EXISTING MONUMENT SIGN.
- 2. MONUMENT SIGN MATERIALS & COLOR TO MATCH IDENTICAL TO
- EXISTING MONUMENT SIGN 3. CONTRACTOR IS RESPONSIBLE FOR ALL LIGHTING ELEMENTS FOR MONUMENT SIGN SIGN MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR ALL METAL CABINET **COMPONENTS**

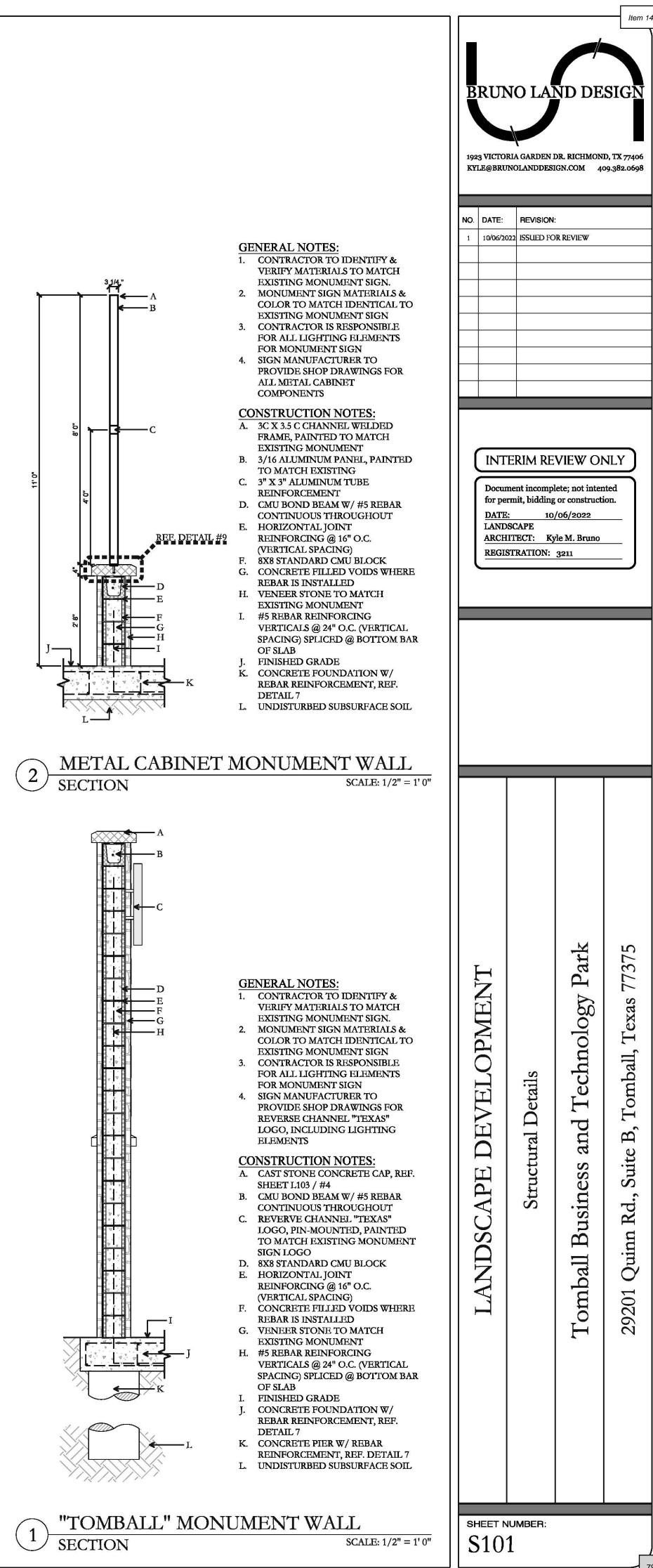
CONSTRUCTION NOTES: A. 8C X 11.5 C CHANNEL WELDED FRAME, PAINTED TO MATCH EXISTING MONUMENT

- B. (4) SS EXP BOLT, SPACED EVENLY C. 12" NOMINAL DIMENSION "TOMBALL" LETTERING, REF. SHEET L102 / #4
- D. 8X8 STANDARD CMU BLOCK E. HORIZONTAL JOINT REINFORCING @ 16" O.C. (VERTICAL SPACING)
- F. CONCRETE FILLED VOIDS WHERE **REBAR IS INSTALLED** G. VENEER STONE TO MATCH
- EXISTING MONUMENT H. #5 REBAR REINFORCING
- VERTICALS @ 24" O.C. (VERTICAL SPACING) SPLICED @ BOTTOM BAR OF SLAB FINISHED GRADE
- CONCRETE FOUNDATION W/ **REBAR REINFORCEMENT, REF.** DETAIL 7
- K. CONCRETE PIER W/ REBAR **REINFORCEMENT, REF. DETAIL 7** UNDISTURBED SUBSURFACE SOIL
- **"TOMBALL" MONUMENT WALL** SECTION

SCALE: 1/2" = 1'0"

- SECTION

- MASONRY MONUMENT WALL



TREE SCHEDULE

SYMBOL	QTY.	ABV.	BOTANICAL NAME / COMMON	CALIPER	HEIGHT	WIDTH	SIZE	NOTES
	6	(LP)	PINUS TAEDA / LOBLOLLY PINE	3"	12' - 14'	5'	65 GAL.	MATCHED, WELL ROOT
(ty)	7	(VI)	VITEX AGNUS-CASTUS / VITEX	1 1/4" - 1 1/2"	8' - 9'	3' - 4'	30 GAL.	MATCHED, WELL ROOT

PLANTING SCHEDULE

-							
SYMBOL	QTY.	ABV.	BOTANICAL NAME / COMMON	HEIGHT	WIDTH	SIZE	NOTES
SHRUBS							
	14	(MS)	SALVIA FARINACEA / MEALY BLUE SAGE	20"	18"	3 GAL.	FULL, WELL ROOTED, 24
	27	(BI)	DIETES BICOLOR / BICOLOR IRIS	16"	8"	3 GAL.	FULL, WELL ROOTED, 24
	24	(DKO)	ROSA 'DOUBLE KNOCK OU'I" / DOUBLE KNOCKOU'I ROSE	24"	22"	7 GAL	FULL, WELL ROOTED, 30 COLOR: RED DOUBLE BI
	17	(SL)	LIGUSTRUM SINENSIS 'SUNSHINE' / SUNSHINE LIGUSTRUM	24"	24"	7 GAL	FULL, WELL ROOTED, 36
	21	(DWM)	MYRICA PUSILLA / DWARF WAX MYRILE	24"	24"	7 GAL.	FULL, WELL ROOTED, 48
SOD							
	2,375 SF	(BER)	CYNODON DACTYLON / BERMUDA GRASS				SOLID SOD

PLANTING LEGEND

SYMBOL / NOTATION	DESCRIPTION
	PROPOSED EVERGREEN TREE (PER PLAN)
(±)	PROPOSED DICIDUOUS TREE (PER PLAN)
SE.	STEEL EDGING - PER PLAN -REFERENCE DETAIL
	LIMIT OF SOD
	SHRUBS (PER PLAN)
	PROPOSED SOD (PER PLAN)

GENERAL LANDSCAPE NOTES

GENERAL NOTES & SPECIFICATIONS:

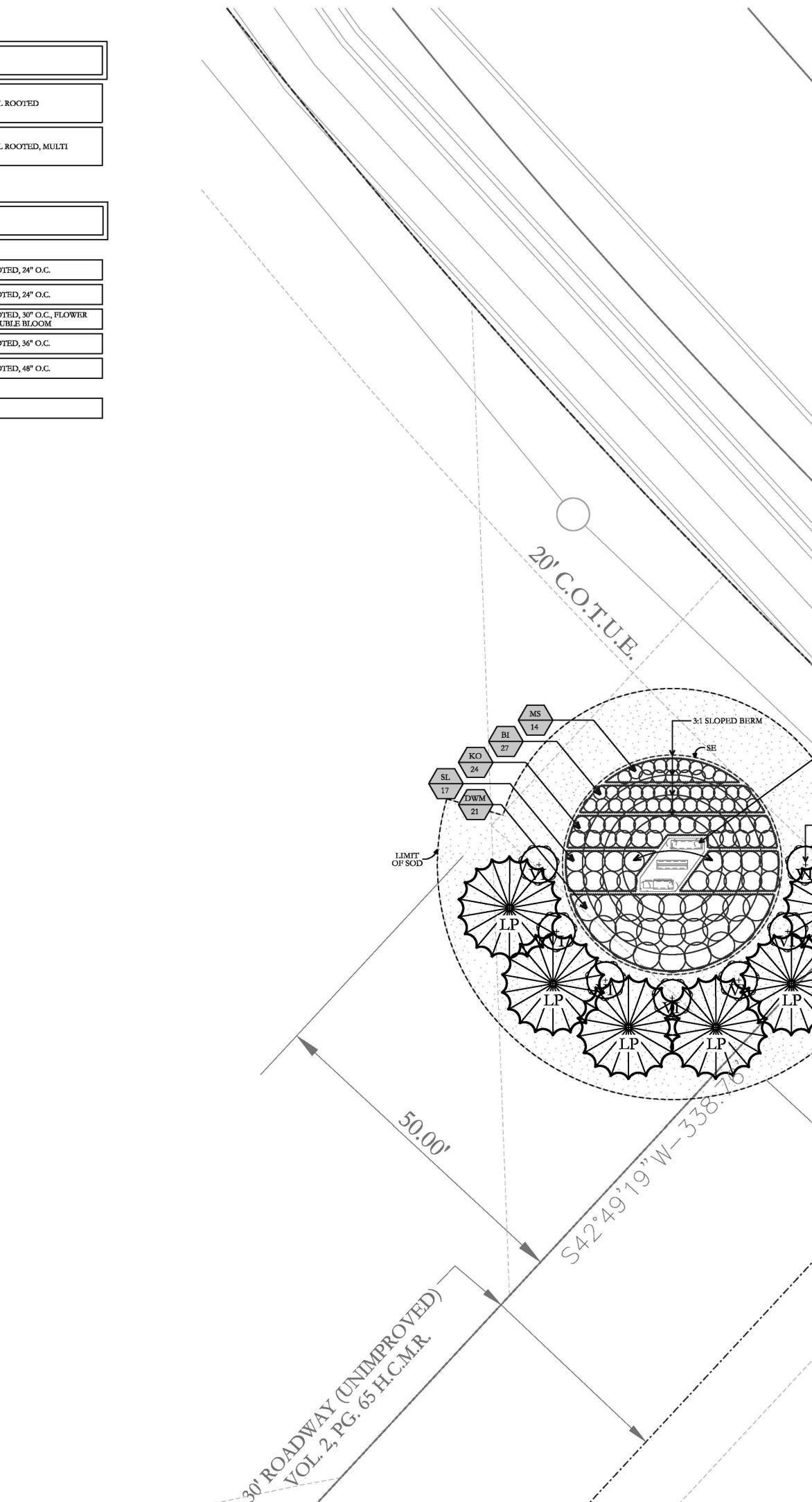
- . NOTES PROVIDED HEREIN ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO THE DETAILS, ADDENDA AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- 2. CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF ALL EXISTING AND FUTURE
- UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH WORK TO BE DONE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- 4. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIALS, LABOR, AND EQUIPMENT TO COMPLETE ALL LANDSCAPING WORK IN STRICT ACCORDANCE WITH THE PLANTING PLAN, PLANT LIST, AND ALL ITEMS DESCRIBED IN THESE SPECIFICATIONS UNLESS OTHERWISE NOTED. THIS INCLUDES BUT IS NOT LIMITED TO FERTILIZER, MULCH, STAKES, TIES, GUY WIRES, CABLES, AND ALL OTHER NECESSARY EQUIPMENT TO COMPLETE THIS WORK.
- 5. IF THE PLANTING PLAN DOES NOT AGREE WITH THE PLANT LIST THE QUANTITIES INDICATED GRAPHICALLY ON THE PLANTING PLANS SHALL GOVERN.
- 6. IF THE PLANTING SCHEDULE DOES NOT AGREE WITH THE PLANT IDENTIFICATION TAG ON THE PLAN THE CONTRACTOR IS TO CALL THE LANDSCAPE ARCHITECT TO VERIFY PLANT IDENTIFICATION.
- 7. ALL SUBSTITUTIONS OR ALTERATIONS TO THE LANDSCAPE AND IRRIGATION PLANS OR
- SPECIFICATIONS MUST BE SUBMITTED, IN WRITING, TO THE LANDSCAPE ARCHITECT FOR APPROVAL.

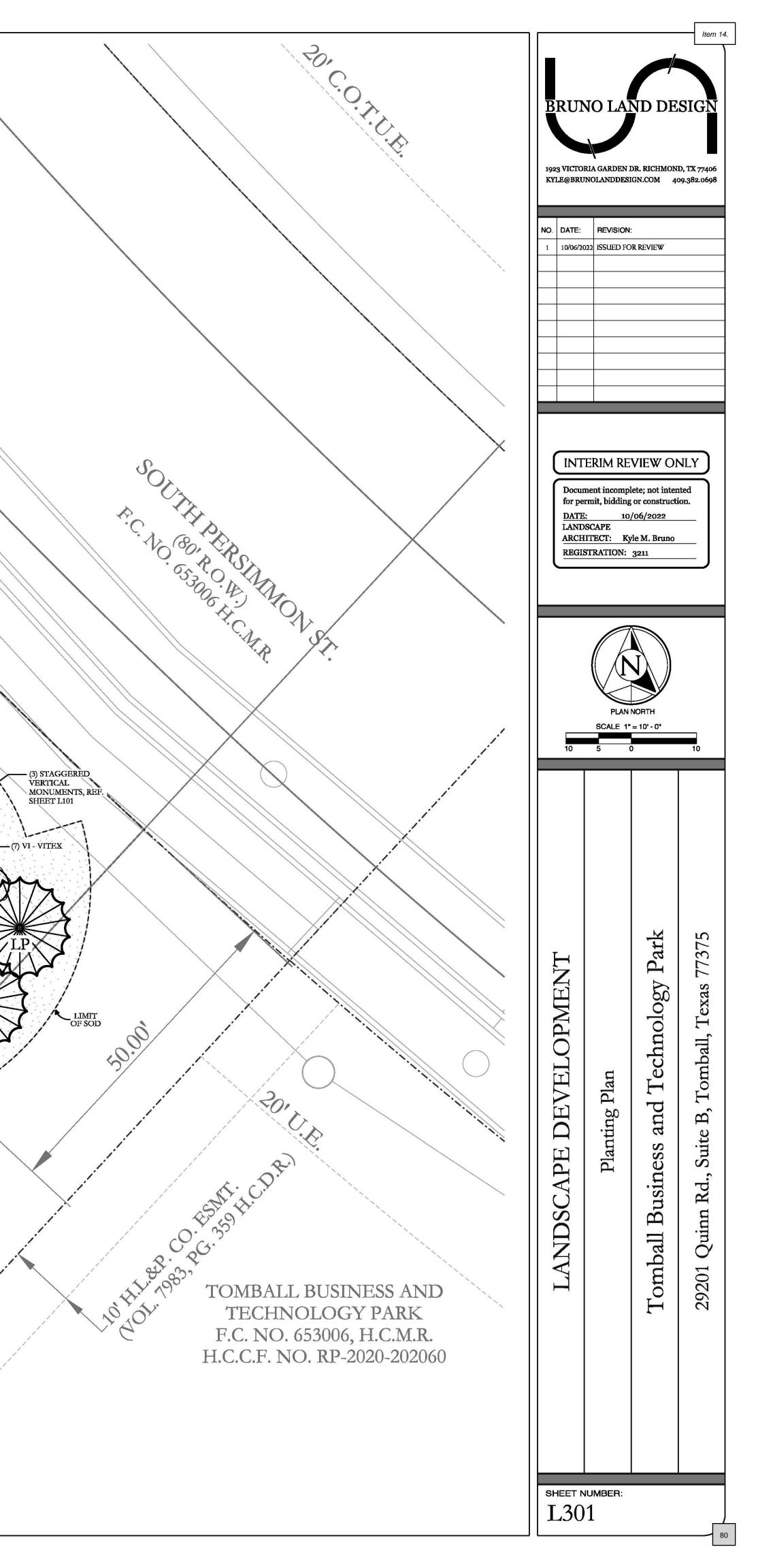
LANDSCAPE STANDARDS: 1. CONTRACTOR SHALL LAY OUT PLANT M

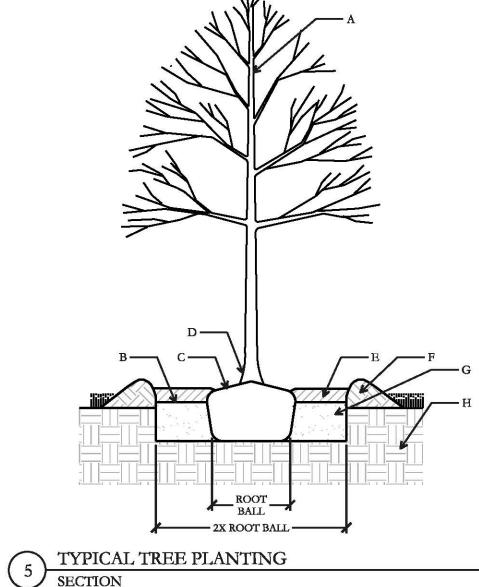
- CONTRACTOR SHALL LAY OUT PLANT MATERIAL PER PLAN AND FACE TO GIVE BEST APPEARANCE OR RELATION TO ADJACENT PLANTS, STRUCTURES OR VIEWS.
 THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN
- PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 PLANT MATERIAL SHALL NOT BE INSTALLED IN AREA WHICH WILL CAUSE HARM TO ADJACENT
- STRUCTURES, SUCH AS OVERHEAD POWER, BUILDINGS, PAVEMENTS AND UNDERGROUND UTILITY APPURTENANCES. NOTIFY THE GENERAL CONTRACTOR SHOULD CONFLICTS ARISE.
 ALL SUBSTITUTIONS OF PLANT MATERIALS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT IN
- WRITTEN FORM FOR APPROVAL PRIOR TO INSTALLATION.
 ALL NEWLY PLANTED MATERIAL SHALL BE THOROUGHLY SOAKED WITH WATER WITHIN 3 HOURS OF
- PLANTING.
 6. CONTRACTOR SHALL IMPORT COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL, FREE OF WEEDS, RHIZOMES, ROCKS, STICKS, AND OTHER DELETERIOUS MATERIAL. CONTRACTOR SHALL BRING TO FINISH GRADE WITH 3" MIN. OF TOPSOIL IN ALL LAWN AREAS AND 3" MIN. TOPSOIL IN ALL PLANTING BEDS AND TILL TO A DEPTH OF 8". FINE GRADING SHALL BE APPROVED BY
- LANDSCAPE ARCHITECT PRIOR TO PLANTING OPERATIONS.
 CONTRACTOR SHALL LOOSEN COMPACTED SUBSOILS BY TILLING AND IMPORTING NEW TOPSOIL AS REQUIRED TO RESTORE GRADES AND MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES.
 INSTALL 3" DEPTH HARD WOOD MULCH IN ALL PLANTER BEDS.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 A 3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- 11. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL
- SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

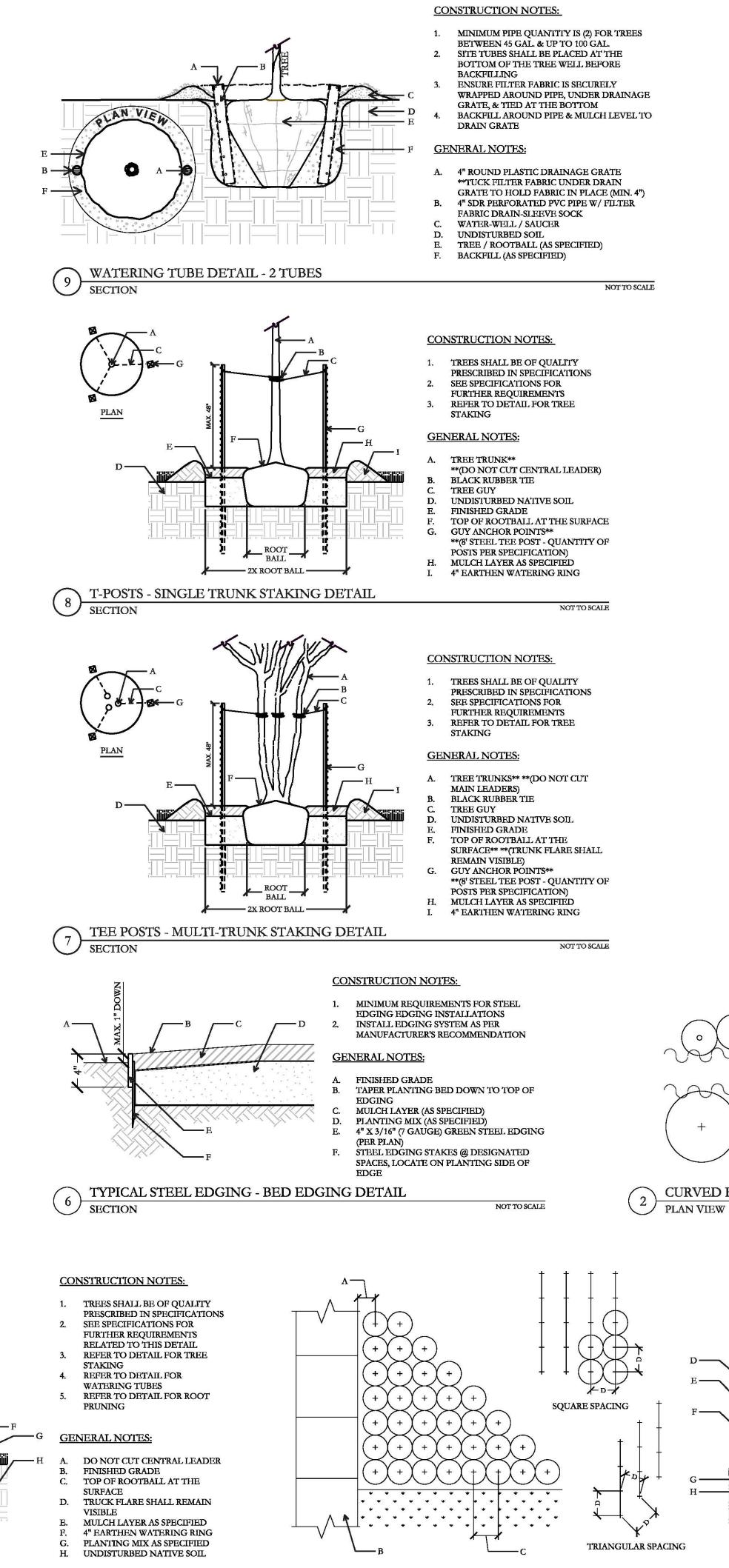
MAINTENANCE STANDARDS:

- 1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- 2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- 3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 TREE STAKING MATERIALS JE USED SHALL BE REMOVED AFTER (1) CROWING SEASON NO MORE
- 5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).



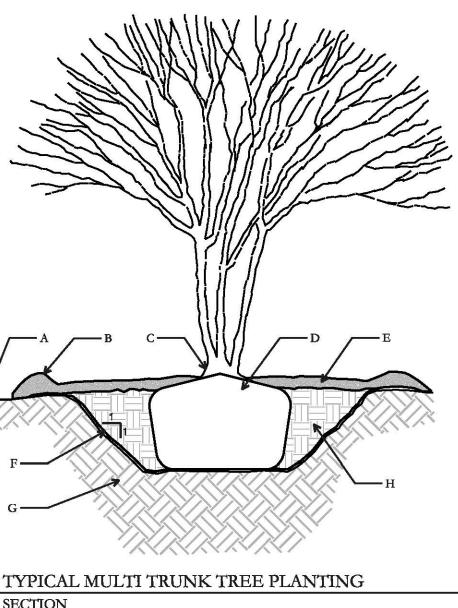


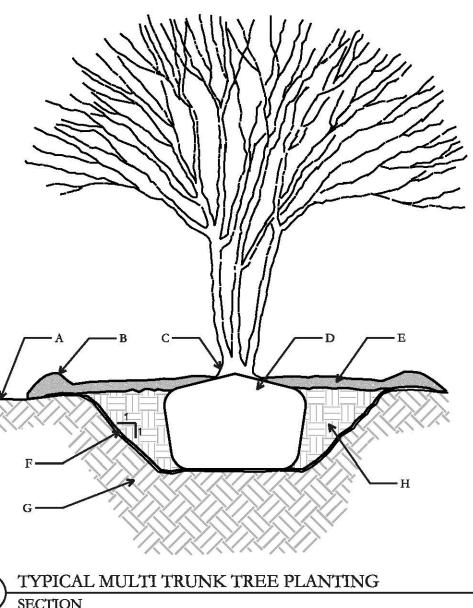


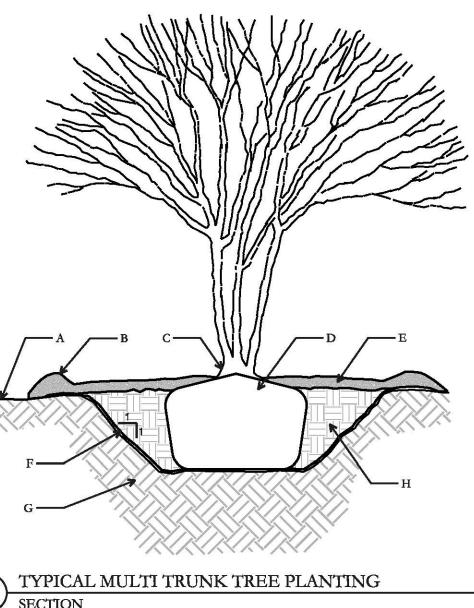


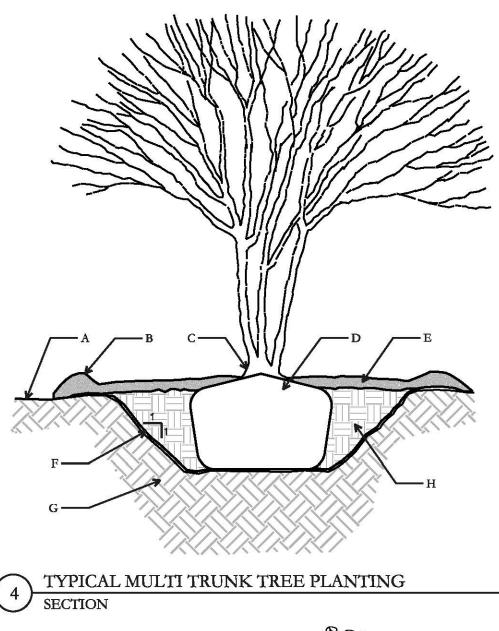
TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION

NOT TO SCALE

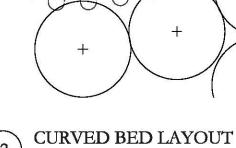


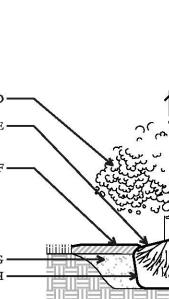






ON TOP OF THE ROOT BALL.







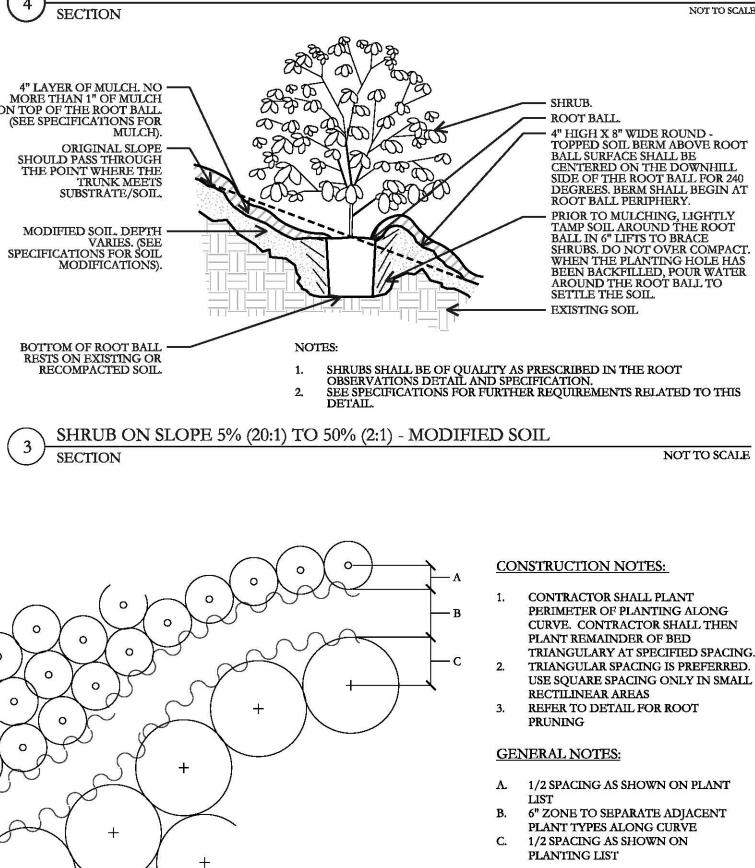
- PRESCRIBED IN SPECIFICATIONS SEE SPECIFICATIONS FOR 2.
- FURTHER REQUIREMENTS RELATED TO THIS DETAIL
- 3. REFER TO DETAIL FOR TREE
- STAKING 4. REFER TO DETAIL FOR
- WATERING TUBES 5. REFER TO DETAIL FOR ROOT PRUNING

GENERAL NOTES:

- FINISHED GRADE
- WATERING SAUCER AROUND EDGE OF PIT - 4" HIGH
- TRUNK FLARE SHALL REMAIN VISIBLE
- D. TOP OF ROOTBALL AT THE
- SURFACE, AS SHOWN MULCH LAYER AS SPECIFIED
- F. 1:1 SLOPE FOR EDGE OF HOLE

NOT TO SCALE

UNDISTURBED NATIVE SOIL H. PLANTING MIX AS SPECIFIED



- CONTRACTOR SHALL PLANT PERIMETER OF PLANTING ALONG CURVE. CONTRACTOR SHALL THEN PLANT REMAINDER OF BED
- TRIANGULARY AT SPECIFIED SPACING. TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL
- A. 1/2 SPACING AS SHOWN ON PLANT
- PLANT TYPES ALONG CURVE

NOT TO SCALE

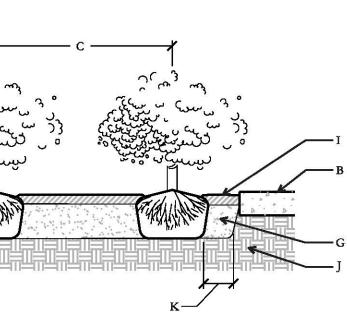


- 1. TRIANGULAR SPACING IS PREFERRED.
- USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS
- 2. "D" EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND
- 3. REFER TO DETAIL FOR ROOT PRUNING
- **GENERAL NOTES:**
- A. 1/2 SPACING AS SHOWN ON PLANT
- LIST B. CONCRETE SIDEWALK
- C. SPACING AS SHOWN ON PLANTING
- LIST **REMOVE ALL LABELS & TAGS** D. E. SHALL BE 1" HIGHER THAN FINISHED
- GRADE WHEN PLANTED MULCH/GRAVEL LAYER AS
- SPECIFIED
- PLANTING MIX AS SPECIFIED G H. REMOVE CONTAINER AND PRUNE
- ANY CIRCLING ROOTS
- TOP OF MULCH SHALL BE 1/2" BELOW SIDE WALK
- UNDISTURBED NATIVE SOIL K. 1/2 ROOTBALL DIAMETER

NOT TO SCALE

RUNO LAND DESIG 1923 VICTORIA GARDEN DR. RICHMOND, TX 77406 KYLE@BRUNOLANDDESIGN.COM 409.382.0698 NO. DATE: REVISION: 10/06/2022 ISSUED FOR REVIEW INTERIM REVIEW ONLY Document incomplete; not intented for permit, bidding or construction. 10/06/2022 DATE: LANDSCAPE ARCHITECT: Kyle M. Bruno **REGISTRATION: 3211** Park S 37 5 OPMEN atic Technology cifi all S VEI S edule H and Ē **B** D P. 0 usiness ·Ħ APE S S ulls, Rd Ω 5 Ŕ nting B Tomball Ó \checkmark 29201 Pla -

ltem 14



SHEET NUMBER:

L301

		the set of			
SYM	DESCRIPTION	MANUFACTURER	MODEL	SIZE / NOZZLE	NOTES
C	AUTOMATIC CONTROLLER	HUNTER	HC-600i	N/A	INSTALL PER MANUFACTURER'S STANDAR
ß	RAIN SENSOR	HUNTER	RAIN CLIK SENSOR	N/A	INSTALL PER MANUFACTURER'S STANDAR
	DRIP IRRIGATION CONTROL VALVE	HUNTER	ICZ-101	1"	INSTALL PER DETAIL IN JUMBO VALVE BO BOLT DOWN LID. ROUT AND PAINT VALVE
	DRIP IRRIGATION (LANDSCAPE BEDS)	HUNTER	HDL-06-18	N/A	INSTALL PER DETAIL w/ 40 PSI AT OUTFLO ZONE VALVE.
٢	TREE BUBBLERS	HUNTER	Ағв	1.00 GPM	INSTALL PER MANUFACTURER'S DETAIL. REFER TO TREE BUBBLER DETAIL.
	REMOTE CONTROL VALVE	HUNTER	ICV-101G	Refer to Plan for Size	INSTALL PER DETAIL IN 10" ROUND PENTI BOLT DOWN LID. ROUT AND PAINT VALV
	LAWN PGP LOW ANGLE ROTOR	HUNTER	PGP LOW ANGLE ROTOR	Red Nozzle Rack Refer to Plan for Nozzle Number	INSTALL PER DETAIL ₩/ 30 PSI AT BASE OF INSTALL HUNTER SJ-712 SWING JOINTS ON ADJUSTABLE ARC WITH RED NOZZLE RAC
	WATER METER		PER CITY	Refer to Plan for Size	INSTALLED BY GENERAL CONTRACTOR
	DOUBLE CHECK VALVE	Febco	850-BV Series	Refer to Plan for Size	FURNISH AND INSTALL PER LOCAL CODE CONTRACTOR.
	ISOLATION VALVE	Nibco	*T-113	Line Size	INSTALL PER DETAIL IN 12"x17" PENTEK V. BOLT DOWN LID.
M	MASTER VALVE	Hunter	ICV-101G	Refer to Plan for Size	INSTALL PER DETAIL IN 12"x17" PENTEK V. BOLT DOWN LID.
	IRRIGATION SLEEVE		SCH. 40 w/ 12 GA. PULL WIRE IN SLEEVE	Refer to Plan for Size	DRIVEWAY SLEEVES INSTALLED BY GENE SIDEWALK SLEEVES INSTALLED BY IRRIGA
	IRRIGATION MAIN LINE		SCH. 40	Refer to Plan for Size	18" INSTALLATION DEPTH.
	IRRIGATION LATERAL LINE		CLASS 200	Refer to Plan for Size	12" INSTALLATION DEPTH STANDARD. 18" UNDER PAVING.
•	DRIP IRRIGATION ZONE				

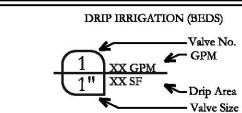
O IDENTIFIER (GRAPHIC USE ONLY)

SPRAY IRRIGATION (SOD)

Valve No. -

Valve Size —

GPM -> XX GP



BUBBLER IRRIGATION (TREES) XX TREES Tree Count

IRRIGATION HEAD LEGEND, COUNT & NOTES N. (5

	SYMBOL	ALILNVNÒ	OPERATINC PRESSURE	DESCRIPTION & NOTES	
ſ	(F)	6	30 PSI	HUNTER PGP LOW ANGLE 4LA GRAY NOZZLE; ADJUSTABLE ARC	
		4	N/A	HUNTER ICV-101G VALVES (INCLUDES MASTER VALVE)	
		1	N/A	HUNTER ICZ-101 VALVES	

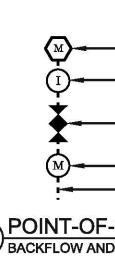
QUANTITIES PROVIDED ARE FOR CONTRACTOR ASSISTANCE ONLY. ACCURACY IS NOT GUARANTEED AND ALL QUANTITIES MUST BE VERIFIED.

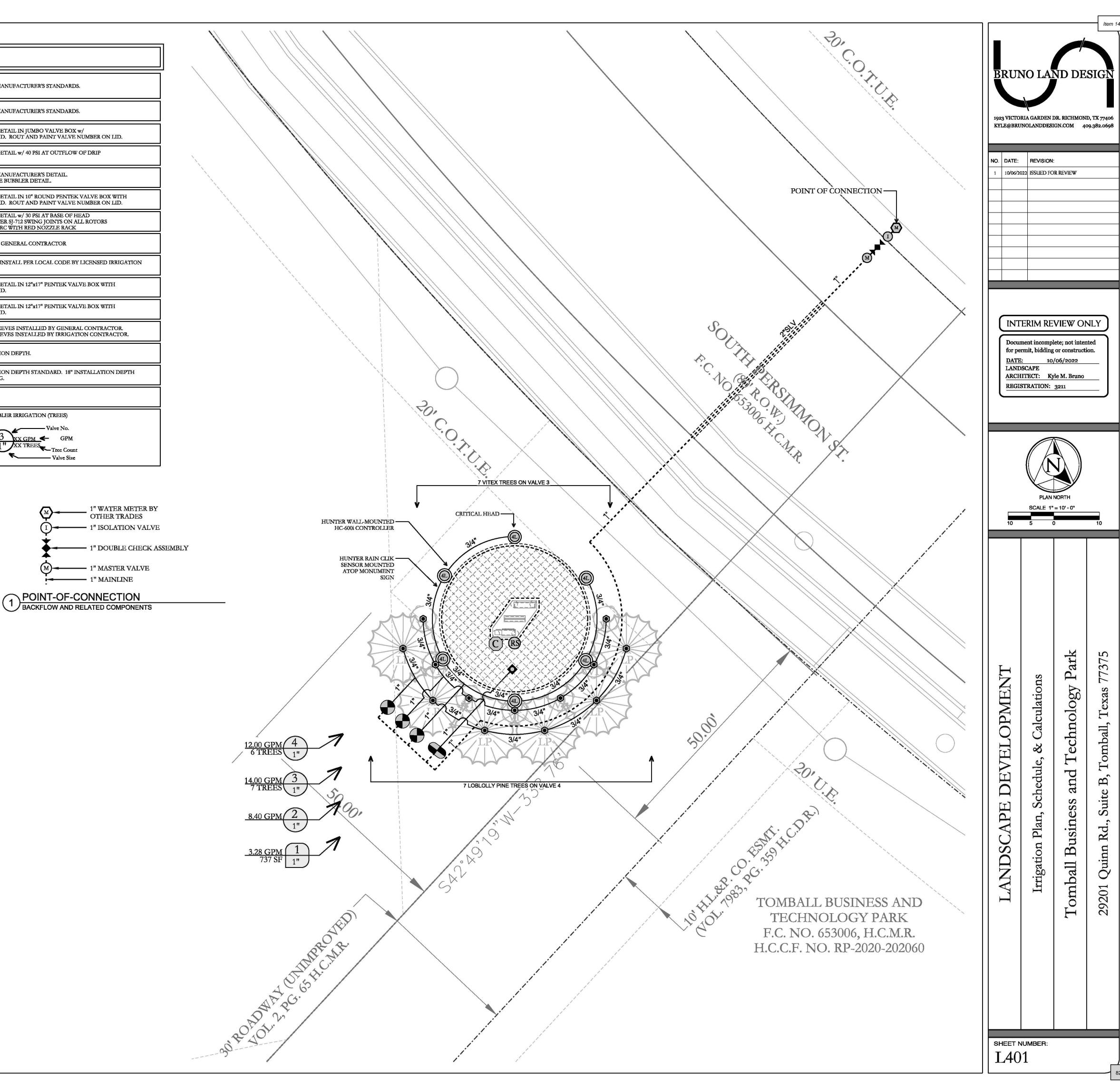
HYDRAULIC CALCULATION NOTES

TEN DAYS PRIOR TO COMMENCING WORK, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN THE ASSUMED STATIC PRESSURE DO NOT START WORK UNTIL NOTIFIED IN WRITING TO PROCEED BY OWNER. IF CONTRACTOR PROCEEDS WITH WORK WITHOUT AUTHORIZATION FROM OWNER. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE TO CORRECT, MODIFY OR REPAIR ANY ITEMS OR MATERIALS THAT MAY BE REQUIRED TO PROVIDE A FULLY FUNCTIONING AND OPERATIONAL N COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. HYDRAULIC CALCULATIONS ARE BASED ON THE STATIC PRESSURE AS STATED ABOVE. THE STATIC PRESSURE SHOW! PRESSURE, A PRESSURE MEASURED AT THE SITE, OR AN ESTIMATED PRESSURE PROVIDED BY THE COUNTY OR CITY. THE OWNER UNDERSTANDS THIS PROJECT MAY NOT PROVIDE 100% COVERAGE AT ALL TIMES.

HYDRAULIC CALCULATION POINT-OF-CONNECTION (CRITICAL HEAD)

	•		
ITEM	SIZE	PSI	NOTES
SERVICE	1"	0.26	TYPE "K" COPPER 10 LN. FT. (8.40 GPM)
WATER METER	1"	0.55	(8.40 GPM)
BALL VALVE	1"	1.00	(8.40 GPM)
BACKFLOW PREVENTER	1"	6.00	(8.40 GPM)
MASTER VALVE	1"	2.75	(8.40 GPM)
MAIN LINE	п	0.98	193 LINEAR FEET (8.40 GPM)
ZONE VALVE (#2)	1"	2.75	(8.40 GPM)
LATERAL PIPING	3/4" - 1"	0.84	
CRITICAL HEAD	N/A	30.00	
TOTAL LOSS		(-)45.13	
ASSUMED STATIC PRESSURE		55.00	
PRESSURE DIFFERENTIAL		(-)9.87	





2. 5. 1.	 THIS IRRIGATION DESIGN IS BASED ON THE PLANTING PLAN PROVIDED WITHIN THIS SET. IRRIGATION CONTRACTOR MUST: 2.1. PROVIDE A COMPLETE, FUNCTIONING AUTOMATIC IRRIGATION SYSTEM INCLUDING LABOR, MATERIALS, FEES, TAXES, EQUIPMENT, AND OTHER COSTS INCIDENTAL TO ACCOMPLISHING WORK. 2.2. BE LICENSED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AS A LICENSED TEXAS IRRIGATOR. 2.2.1. ADDITIONAL CERTIFICATION FROM THE IRRIGATION ASSOCIATION AS A CERTIFIED IRRIGATION CONTRACTOR IS PREFERED. 2.3. HOLD CURRENT LICENSES/CERTIFICATIONS THAT ARE IN GOOD STANDING. 2.4. ACQUIRE WRITTEN APPROVAL FROM THE LICENSED IRRIGATOR FOR MATERIAL SUBSTITUTES PRIOR TO BEGINNING INSTALLATION. ALL STATE OF TEXAS LAWS/RULES AND ALL LOCAL CODES/ORDINANCES AREA MADE PART OF THESE PLANS AND SPECIFICATIONS WHETHER SHOWN OR NOT. THESE LAWS AND ORDINANCES WILL SUPERSEDE THE PLANS, DETAILS, AND/OR SPECIFICATIONS FOR THIS PROJECT. THE IRRIGATION CONTRACTOR IS CAUTIONED THAT HE/SHE IS TO INCLUDE ANY AND ALL COST NECESSARY TO MEET OR EXCEED THE LAWS OF THE STATE OF TEXAS AND ILC COTES CONCERNING LANDSCAPE IRRIGATION. ALL PRODUCTS SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. ATHE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL CABLES, CONTRACTOR TO REVENT ANY DAMAGE TO THESE EXISTING UTILITIES AND IMPROVEMENTS. IN THE EVENT THAT SUCH DAMAGE SHOULD OCCUR FROM THE CONTRACTOR'S OPERATIONS, THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED UTILITIES TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER. FORTY ELIGHT (48) HOURS BEFORE IRRIGATION CONSTRUCTION BEGINS, IRRIGATION CONTRACTOR MUST CALL (800) DIG-TESS AND IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UTILITIES AND/OR OBSTACLES PRIOR TO BEGINNING WORK. ANY DAMAGE TO UTILITIES AND IMPROVEMENTS. FORTY ELIGHT (48) HOURS BEFORE IRRIGATION CONSTRUCTION BEGINS, IRRIGATION CONTRACTOR MUST CALL (800) DIG-TESS PRIOR TO BEGINSHIBLE FOR LOCATING EXISTING UNDERGROUND	1. CON 1. 2.	VAL TEE. NOT ZON BUBI ZON EAC OWN CK CC INST QUIC DET. EAC QUIC TNOI THE LOC CON FIT PRO NOT CON	SE PER SER VES OR A C THE MININ ES. E VALVES I BLERS ON E ES DO NOT H TREE BUI JER'S REPRI DUPLING V ALL QUICK CALL QUICK CK COUPLE N-POTABLE LLER & SET COWNER AT CATION. TH VTROLLER I CINGS, CON
5	 MATERIALS, FEES, TAXES, EQUIPMENT, AND OTHER COSTS INCIDENTAL TO ACCOMPLISHING WORK. 2.2. BE LICENSED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AS A LICENSED TEXAS IRRIGATOR. 2.2.1. ADDITIONAL CERTIFICATION FROM THE IRRIGATION ASSOCIATION AS A CERTIFIED IRRIGATION CONTRACTOR IS PREFERED. 2.3. HOLD CURRENT LICENSES/CERTIFICATIONS THAT ARE IN GOOD STANDING. 2.4. ACQURE WRITTEN APPROVAL FROM THE LICENSED IRRIGATOR FOR MATERIAL SUBSTITUTES PRIOR TO BEGINNING INSTALLATION. ALL STATE OF TEXAS LAWS/RULES AND ALL LOCAL CODES/ORDINANCES AREA MADE PART OF THESE PLANS AND SPECIFICATIONS WHETHER SHOWN OR NOT. THESE LAWS AND ORDINANCES WILL SUPERSEDE THE PLANS, DETAILS, AND/OR SPECIFICATIONS FOR THIS PROJECT. THE IRRIGATION CONTRACTOR IS CAUTIONED THAT HE/SHE IS TO INCLUDE ANY AND ALL COST NECESSARY TO MEET OR EXCEED THE LAWS OF THE STATE OF TEXAS AND LOCAL CODES CONCERNING LANDSCAPE IRRIGATION. ALL PRODUCTS SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL CABLES, CONDUITS, PIPING, AND ANY OTHER UTILITIES OR STRUCTURES THAT MAY BE ENCOUNTERED EITHER ABOVE OR BELOW GROUND. ALL NECESSARY PRECAUTIONS MUST BE TAKEN BY THE CONTRACTOR SHALL DAMAGE TO THESE EXISTING UTILITIES AND IMPROVEMENTS. IN THE EVENT THAT SUCH DAMAGE TO THESE EXISTING UTILITIES AND THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED UTILITIES AND IMPROVEMENTS. IN THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED UTILITIES TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER. FORTY-EIGHT (48) HOURS BEFORE IRRIGATION CONSTRUCTION BEGINS, IRRIGATION CONTRACTOR MUST CALL (800) DIG-TESS AND IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND (UTILITIES AND IS BEFONSIBLE FOR LOCATING EXISTING UNDERGROUND (UTILITIES AND IS BEFONSIBLE FOR LOCATING EXISTING UNDERGROUND (UTILITIES AND DACES PRIOR TO BEGINNING WORK. ANY DAMAGE TO UTILITIES AND/OR FINISH	QUIC 1. CON 1. 2. POI	NOT ZON BUBI ZON EACI OWN CK CC INST QUIC DET EACI QUIC DET EACI QUIC THE LOC CON FITI PRO NOT CON	ES. E VALVES I BLERS ON E ES DO NOT H TREE BUI JER'S REPRI OUPLING V 'ALL QUICK CK COUPLIN AIL SHOWN H, #33DK-10 CK COUPLE N-POTABLE LLER & SEI COWNER AI CATION. TH VTROLLER I CINGS, CON
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	ENVIRONMENTAL QUALITY (TCEQ) SUBCHAPTER F: STANDARDS FOR DESIGNING, INSTALLING,		SUP	WNSTREAM PLY.
RODE	AND MAINTAINING LANDSCAPE IRRIGATION SYSTEMS (344.60-344.65)	2.	ORI	NTRACTOR
WORK			THE	TRACTOR
2. 1	THE SCOPE OF WORK FOR THIS PROJECT IS SHOWN IN THE PLANS, NOTES, SCHEDULE AND DETAILS. ALL WORK SPECIFIED ON THIS PLAN REQUIRES PROVIDING ALL COMPONENTS NECESSARY FOR RRIGATION SYSTEM INSTALLATION AND TESTING IN ORDER TO PROVIDE AN EFFICIENT AND		THA	THEIR OWN
(RRIGATION SYSTEM INSTALLATION AND TESTING IN ORDER TO PROVIDE AN EFFICIENT AND DPERATIONAL IRRIGATION SYSTEM THAT COMPLIES WITH IRRIGATION PLANS, SPECIFICATIONS, CHEDULE AND DETAILS. THIS INCLUDES, BUT IS NOT LIMITED TO, PROVIDING ALL REQUIRED	ELE 1.	IRRI	CAL & WIR GATION CO
ľ	MATERIALS (I.E. BACKFLOW PREVENTERS, PUMPS, PIPES, VALVES, FITTINGS, CONTROLLERS, WIRING, FROUNDING, GLUE, ETC.); LAYOUT PIPE PRIOR TO INSTALLATION; PROVIDE PUBLIC PROTECTION;	2.	CON	TROLLERS
1	AND ASSEMBLY, INSTALLATION AND TESTING OF ALL PIPE, FITTINGS, VALVES, SPRINKLER DEVICES, CONTROLLERS, BACKFLOW PREVENTERS, INLET AND DISCHARGE PIPING, MANUAL DRAIN VALVES,	3.	SET	NECTION ' FORTH IN '
Ţ	VALVE BOXES, WATER METERS AND ALL OTHER PERTINENT COMPONENTS AS SPECIFIED. THE	3. 4.	AND	ELECTRICA ALL, OTH CENSED EI
1	COMPACTING CONCRETE INSTALLATION, ELECTRICAL WORK, CLEAN-UP AND ANY OTHER WORK NECESSARY FOR COMPLETING THE PROJECT.	5.	POW	ERWISE SP
I	ALL IRRIGATED AREAS ARE DESIGNED TO PROVIDE 100% COVERAGE USING A FULLY AUTOMATIC RRIGATION SYSTEM COMPLETE WITH RAIN/FREEZE SENSORS. THE RAIN/FREEZE SENSORS	6.	ACC	ORDING TO
. I	HOULD BE INSTALLED IN AN UNOBSTRUCTED AREA APPROVED BY OWNER. RRIGATION ZONES ARE PRIORITIZED BASED ON HYDRAULIC CONCERNS AND PUBLIC SAFETY.	7.	EXT	END ONE I
τ	PIPING IS DIAGRAMMATIC AND SHOWN FOR CLARITY ONLY. ADJUST AS REQUIRED FOR EXISTING JTILITIES, OBSTRUCTIONS, TREE ROOT BALLS, ETC. PIPING AND VALVES SHOWN IN PAVING FOR	8.		TROLWIRE ILATED CA
I	CLARITY ONLY AND SHALL BE INSTALLED IN ADJACENT LANDSCAPE AREA WITHIN PROPERTY LINES. COORDINATE WITH THE CITY OR ENTITY INSPECTING THE IRRIGATION SYSTEM AND DETERMINE THE LOCAL RULES AND CODES TO ABIDE BY REGARDING MAINLINE AND LATERAL		COL	IMUM LEAI OR OF INSU
F	PIPING LOCATIONS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT		8.2.	LEAD WII
(DF ALL ITEMS DAMAGED BY THEIR WORK. THE IRRIGATION CONTRACTORE SHALL BE RESPONSIBLE FOR DAMAFE TO PLANT MATERIAL DUE	9.	WIR	EXTRA CO E SPLICES S
1	TO SYSTEM FAILURE FROM INFERIOR WORKMANSHIP FOR THE DURATIONS OF THE INSTALLATION OF PLANT MATERIAL AND MAINTENANCE PERIOD FOLLOWING INSTALLATION.	DRO		'ALL ALL W
. 1	THE IRRIGATION CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED	PRO 1.		OUT IRRIG E CHANGI
Ι	N ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. THE IRRIGATION CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL NECESSARY TO HAND	2.	STAF	E CHANGI CE ALL SPR DIFICATION
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(DISCIPLINES PRIOR TO AN TRENCHING AND HAND DIGGING IN AREAS OF EXISTING TREE COVERAGE OR ANY ADDITIONAL AREAS THAT MIGHT BE QUESTIONABLE.		2.2.	SHRUB HI SET AT A
C	ALL MATERIAL SHALL BE THE BRANDS AND TYPES NOTED ON THE PLAN OR AS SPECIFIED HEREIN, OR APPROVED EQUAL.			AND/OR STANDAR
I	ALL IRRIGATION EQUIPMENT, NOT OTHERWISE DETAILED ON THESE PLANS, SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS, AND ACCORDING TO LOCAL AND STATE LAWS.			A MINIMU PAINT AL
LEE	7ES		100	SYSTEM V PAINTED
1	F PIPING UNDER OR THROUGH HARDSCAPES SUCH AS ROADWAYS, WALKS, PATIOS, WALLS, ETC., THE PIPES MUST BE SLEEVED WITH SCHEDULE 40 PVC PIPE.	3.	ACC	CATE VALV ESS AND TI ES, ETC. VA
F	CONTRACTOR TO COORDINATE WITH THE GENERAL CONTRACTOR FOR SLEEVE AND CONDUIT REQUIREMENTS. IRRIGATION SLEEVES SHALL BE AS FOLLOWS: 2.1. SLEEVES INTENDED FOR LATERAL LINES ARE TO BE TWO SIZES LARGER THAN THE PIPE IT IS		EDG	E OF PAVE VE BOXES
2	CARRYING AND ARE TO BE NO MORE THAN A DEPTH OF TWO SIZES LARGER THAN THE PIPE IT IS SLEEVES SHOULD EXTEND A MINIMUM OF 2'-0" BEYOND BACK OF CURB.	4.	LAB	EL EACH V T LEAST 2'
2	2.2. SLEEVES INTENDED FOR THE MAINLINE ARE TO BE TWO SIZES LARGER THAN THE PIPE IT IS CARRYING AND ARE TO BE NO MORE THAN A DEPTH OF TWO FEET BELOW TOP OF CURB.	Contraction of the second second		TION & C
ę	SLEEVES SHOULD EXTEND A MINIMUM OF 2'-0" BEYOND BACK OF CURB. NO SLEEVES SHALL HAVE TURNS OR FITTINGS THAT PREVENT A PIPE FROM BEING	1.		VENT WEL PVC PLAS WITH A C
. I	MANUALLY PUSHED/PULLED THROUGH AFTER IT IS INSTALLED. LOCATE EACH END OF IRRIGATION SLEEVES DIMENSIONALLY ON THE RECORD "AS BUILT"			MATING COAT OF
	DRAWINGS.			BRUSH OI INSIDE O
PIPIN . I	PIPE LOCATIONS ARE SHOWN DIAGRAMMATICALLY ON THE PLAN AND SHALL BE ADJUSTED IN THE			END ANI SOCKET.
I	TELD. WHEN LAYING MAINLINE PIPING, ENSURE THAT IT IS A MAXIMUM OF 18 INCHES AWAY FROM EITHER THE BACK OF CURB, FRONT OF WALK, BACK OF WALK, OR OTHER HARDSCAPE AREAS			DISTRIBU SECONDS
1	TO ALLOW FOR EASE OF LOCATING AND PROTECTION FROM DAMAGE. INSTALL ALL LATERAL PIPE NEAR PAVEMENT EDGES OR ALONG BUILDING EDGES WHEN POSSIBLE.			OUTER SI SOLVENT
i. I	ALL PIPING TO BE INSTALLED WITHIN PROPERTY LINES. PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE IRRIGATION PLAN. NO SUBSTITUTIONS OF MALLER PIPE SIZES SHALL BE PERMITTED; HOWEVER, SUBSTITUTIONS OF LARGER SIZES MAY BE	-		OF THE P HOURS B
1	APPROVED. ALL DAMAGED OR REJECTED PIPE SHALL BE REMOVED AT THE TIME OF DAMAGE OR REJECTION.	2.		AND FITT
. <i>I</i>	ALL PROPOSED MAINLINE SHALL BE SCHEDULE 40 PVC PIPE. ALL PVC PIPE AND FITTINGS ARE TO BE PRIMED WITH PURPLE PVC PRIMER SOLVENT (COMPATIBLE			MANUFAC SPECIFIC
7	WITH CEMENT) BEFORE APPLYING PVC CEMENT (HEAVY DUTY) IN ACCORDANCE WITH THE JNIFORM PLUMBING CODE.			WELD FIT
. /	ALL P.V.C. MAINLINES, LATERAL LINES, DRIP LINES SHALL RECEIVE AS FOLLOWS: 5.1. 18" MINIMUM COVER FOR MAIN LINES		2.2.	SHALL BE THE CON FITTINGS
	5.2. 18" MINIMUM COVER FOR PIPING LOCATED UNDER PAVING 5.3. 12" MINIMUM COVER FOR LATERAL LINES			A VEHICI SUBJECTI
. 1	6.4. 2-3" MINIMUM COVER FOR DRIPLINE WITH MULCH AS PER SPECIFICATION. THE MINIMUM DISTANCE BETWEEN THE MAINLINE AND LATERAL LINE FITTINGS (EXCEPT FOR			ANY SEC
	REDUCER BUSHINGS) SHALL BE 18". ML LATERAL LINES SHALL BE 3/4" CLASS 200 PVC UNLESS OTHERWISE NOTED ON PLANS.		2,3.	WITH SOU BEFORE 1
	CHING SHOULD BE STRAIGHT AND VERTICAL TRENCHES WITH SMOOTH, FLAT OR SLOPING BOTTOMS. TRENCH			FOREIGN
N F	WIDTH AND DEPTH SHOULD ALLOW FOR VERTICAL AND HORIZONTAL SEPARATION BETWEEN PIPING AS SHOWN IN TRENCHING DETAIL ON IRRIGATION DETAILS SHEET.			FITTINGS
2. V	WHEN TRENCHING, MEASURES SHOULD BE TAKEN TO PROTECT EXISTING LANDSCAPED AREAS, AND ANY DAMAGED MATERIAL IS TO BE REPLACED BY THE CONTRACTOR. REPLACEMENT MATERIALS			FUTURE I DIRECTE
S I	HALL BE THE IDENTICAL GENUS, SPECIES AND SIZE AS THE DAMAGED MATERIAL. FINAL DETERMINATION AS TO WHAT NEEDS TO BE REPLACED AND THE APPROVAL OF REPLACEMENTS		Z.4.	ALL PVC
5. I	HALL BE MADE BY THE OWNER OR THE OWNER'S REPRESENTATIVE. N AREAS WHERE TREES ARE PRESENT, TRENCH LINES WILL BE ADJUSTED ON THE SITE TO ELIMINATE			CURVING WILL NO
F	OR MINIMIZE ANY DAMAGE TO TREE ROOTS. HAND TRENCHING AND EXCAVATION UNDER TREE ROOTS MAY BE REQUIRED.			FITTINGS ONE-INC
1	F THE CONTRACTOR ENCOUNTERS ROCK OR OTHER UNFAVORABLE TRENCHING CONDITIONS, NO ADDITIONAL COMPENSATION WILL BE PAID. WHEN MATERIAL FROM THE EXCAVATION OR TRENCLINIC IS UNSULTABLE FOR USE AS DACKELL, ADDITIONAL BACKELL MATERIAL SULTABLE		2.5.	BEFORE I
I	TRENCHING IS UNSUITABLE FOR USE AS BACKFILL, ADDITIONAL BACKFILL MATERIAL SUITABLE FOR THIS PURPOSE SHALL BE BROUGHT IN AT THE EXPENSES OF THE CONTRACTOR. IT SHALL ALSO			THE TREE DIRT OR S
E	BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE AND DISPOSE OF ALL UNSUITABLE MATERIALS REMOVED FROM THE TRENCH THAT CANNOT BE USED IN THE BACKFILL OPERATION. FS			LENGTH RECESSES
	ES THE MINIMUM HORIZONTAL DISTANCE OF 36" SHALL BE MAINTAINED BETWEEN ANY VALVES THAT ARE INSTALLED SIDE BY SIDE.			

- ELED AS 'OPEN" ARE INTENDED FOR THE USE OF SUPPLYING HUNTER AFB-ADJ TREE H PROPOSED TREE. IRRIGATION CONTRACTOR SHALL FIELD VERIFY THAT THESE CEED 20 GALLONS PER MINUTE, THE IRRIGATION CONTRACTOR SHALL STAKE ER HEAD LOCATION AND RECEIVE APPROVAL FROM THE OWNER AND/OR THE NTATIVE PRIOR TO INSTALLATION.

VES

- DUPLING VALVES IN 12"X17" PENTEK VALVE BOXES PER DETAIL SHOWN. CONNECT VALVES TO MAINLINE PIPE WITH LASCO UNITIZED, 0-RING SWING JOINTS PER T722-22. SUPPLY OWNER WITH THREE COUPLER KEYS WITH SWIVEL HOSE BIBB D #SH-0 RESPECTIVELY. VALVES TO BE INSTALLED SO THAT THE TOP OF THE S 2" BELOW BOTTOM OF VALVE BOX LID, PURPLE LID SHALL READ OT SAFE FOR DRINKING" IN ENGLISH AND SPANISH.
- DRS
- OR LICENSED IRRIGATOR SHALL DETERMINE THE FINAL CONTROLLER REGATION CONTRACTOR SHALL MAKE FINAL ELECTRICAL CONNECTION OF LOCAL ELECTRICAL CODE. PROVIDE ALL NECESSARY FUSE BOXES, CONDUIT, CTORS OR OTHER ELECTRICAL DEVICES TO MAKE CONNECTION. OWNER SHALL CAL SERVICE WITHIN 10 LINEAR FEET OF CONTROLLER LOCATION UNLESS
- SE ON DRAWINGS. E SENSORS TO CONTROLLER WITH GROUND WIRE IN SERIES PRIOR TO REMOTE CONTROL VALVES.

- CTION MUST BE ABLE TO DELIVER A MINIMUM OF 30 GPM AT 40 PSI ANY TAP. DOUBLE CHECK VALVE ASSEMBLY CONNECTED TO A POTABLE WATER
- VERIFY THAT THESE CONDITIONS STATED ABOVE CAN BE MET PRIOR TO RIALS OR INSTALLATION. IF THE CONDITIONS CANNOT BE MET, THE ST NOTIFY THE IRRIGATION DESIGNER PRIOR TO COMMENCEMENT OF WORK. IF **& FAILS TO NOTIFY THE IRRIGATION DESIGNER, THE CONTRACTOR PROCEEDS** SK AND BECOMES RESPONSIBLE FOR ANY FUTURE WORK NEEDED TO ENSURE IS OPERATING PROPERLY.

- RACTOR TO PROVIDE ELECTRICAL SUPPLY FOR ALL IRRIGATION PUMPS, NSORS, PUMP START RELAYS, ETC. COORDINATE WITH LOCAL UTILITIES FOR THE INSTALLATION OF. AND
- SITE AVAILABLE POWER SUPPLIES FOR REQUIRED ELECTRICAL COMPONENTS AS
- IRRIGATION PLANS. VORK IS TO COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ANY,
- APPLICABLE CODES, LAWS AND REGULATIONS. TRICIAN SHALL PERFORM ALL ELECTRICAL CONNECTIONS.
- CONTROLLER SHALL BE A DEDICATED 120 VOLT, 20 AMP CIRCUIT UNLESS FIED ON THE PLANS. IF APPLICABLE, POWER FOR THE PUMP(S) TO BE JMP SPECIFICATIONS INDICATED IN PLANS.
- VIRING IS PROPOSED, NOT EXISTING.
- RA CONTROL WIRE TO FARTHEST VALVE, ROUTED PARALLEL TO COMMON TH INSTALLATION OF LEAD AND COMMON WIRES. ALL BE DIRECT BURIAL, 24 VOLT, SINGLE CONDUCTOR, SOLID COPPER, PLASTIC , RATED FOR DIRECT BURIAL APPLICATIONS, UF., UL, APPROVED, 14 GAUGE ND COMMON GROUND RETURN WIRE UNLESS NOTED OTHERWISE ON PLANS. TION AS FOLLOWS:
- ANY COLOR (SAME COLOR), EXCEPT WHITE OR ORANGE OUND WIRE: WHITE (COLOR)
- ROL WIRE: ORANGE (COLOR)
- LL BE KING ONE-STEP #7 (TAN) OR 3M-DBY PERMANENT AND WATERPROOF. SPLICES IN 10" ROUND PENTEK VALVE BOXES.
- ON SYSTEM LATERAL LINES AND MAINLINES PRIOR TO INSTALLATION, AND EEDED, TAKING INTO ACCOUNT ALL SITE OBSTRUCTIONS AND LIMITATIONS. LER HEAD LOCATIONS. ADJUST LOCATION AND MAKE NECESSARY O NOZZLE TYPES, ETC. REQUIRED TO ENSURE 100% HEAD TO HEAD COVERAGE. & ROTORS SHALL BE INSTALLED 4"FROM SIDEWALKS OR CURBED ROADWAYS,
- LDING FOUNDATIONS, AND 36"FROM UNCURBED ROADWAYS. S SHALL BE INSTALLED ON 3/4" SCHEDULE 40 PVC RISERS. THE RISERS SHALL BE IIMUM OF 18" OFF SIDEWALKS, ROADWAY CURBING, BUILDING FOUNDATIONS, OTHER HARDSCAPED AREAS. SHRUB HEADS SHALL BE INSTALLED TO A EIGHT OF 4"BELOW MAINTAINED HEIGHT OF PLANTS AND SHALL BE INSTALLED OF 6" WITHIN PLANTED MASSES TO BE LESS VISIBLE AND OFFER PROTECTION. IRUB RISERS WITH FLAT BLACK OR FOREST GREEN PAINT, UNLESS IRRIGATION REUSE WATER; IN THIS CASE, RISERS SHALL BE PURPLE PVC AND SHALL NOT BE

- PRIOR TO INSTALLATION AND ENSURE THAT THEIR LOCATION PROVIDES EASY THERE IS NOT INTERFERENCE WITH PHYSICAL STRUCTURES, PLANTS, TREES, E BOXES MUST BE PLACED A MINIMUM OF 12"AND A MAXIMUM OF 15" FROM THE NT, CURBS, ETC. AND THE TOP OF THE BOX MUST BE 2"ABOVE FINISHED GRADE. LL NEVER BE INSTALLED IN SPORTS FIELDS.
- VE WITH A WATERPROOF TAG INSIDE OF THE VALVE BOX. THIS LABEL SHOULD LL AND INCLUDE THE VALVE ID NUMBER THAT IS LEGIBLE.

PLETION

PIPE PIPE SHALL BE SQUARELY. BURRS LEFT FROM CUTTING SHALL BE WIPED OFF N DRY CLOTH. UTILIZING A CLEANER/PRIMER, THOROUGHLY CLEAN THE E END AND THE FITTING SOCKET WITH A CLEAN, DRY CLOTH. APPLY A UNIFORM VENT CEMENT TO THE OUTSIDE OF THE PIPE END WITH A NON-SYNTHETIC AUBER. IN LIKE MANNER, APPLY A THIN COATING OF SOLVENT CEMENT TO THE IE FITTING SOCKET. RE-APPLY A LIGHT COAT OF SOLVENT CEMENT TO THE PIPE ICKLY INSERT IT INTO THE FITTING TO THE FULL DEPTH OF THE FITTING TATE THE PIPE OR FITTING APPROXIMATELY 1/4 TURN TO INSURE EVEN N OF THE SOLVENT CEMENT. HOLD IN POSITION FOR APPROXIMATELY 30 IPE OFF ANY EXCESS SOLVENT CEMENT THAT FORMS AS A BEAD AROUND THE LDER. CARE SHOULD BE TAKEN SO AS NOT TO USE AN EXCESS AMOUNT OF MENT THAT COULD CAUSE BURRS OR OBSTRUCTIONS TO FORM ON THE INSIDE JOINT. SOLVENT WELD JOINTS SHALL BE ALLOWED TO CURE FOR AT LEAST 24

- RE PRESSURE IS APPLIED TO THE SYSTEM. INSTALLATION IN OF PLASTIC PIPE AND FITTINGS SHALL BE IN ACCORDANCE WITH THE RER'S RECOMMENDATIONS AND PROCEDURES AND AS MENTIONED IN THE
- DNS. MANUFACTURER'S RECOMMENDED PROCEDURES FOR MAKING SOLVENT IGS SHALL BE STRICTLY ADHERED TO. ONLY SOLVENT CEMENTS, CLEANERS, S OR LUBRICANTS RECOMMENDED OR SUPPLIED BY THE PIPE MANUFACTURER
- CTOR IN HANDLING, LOADING, UNLOADING, AND STORING OF PVC PIPE AND ALL EXERCISE CAUTION. ALL PVC PIPE SHALL BE STORED AND TRANSPORTED IN TTH A BED OR RACK LONG ENOUGH TO ALLOW THE PIPE TO LIE FLAT WITHOUT IT TO UNDUE BENDING OR CONCENTRATED EXTERNAL LOAD AT ANY POINT. OF PIPE THAT HAS BEEN DENTED OR DAMAGED OR IN ANY OTHER WAY E DEFECTIVE, EITHER BEFORE OR AFTER INSTALLATION SHALL BE REPLACED
- PIPE WITHOUT ADDITIONAL EXPENSE TO THE OWNER. ALLATION, THE INSIDE OF THE PIPE SHALL BE CLEANED OF ALL DIRT AND TTER AND SHALL BE KEPT IN A CLEAN CONDITION DURING AND AFTER ON OF PIPE. WHEN WORK IS NOT IN PROGRESS, OPEN ENDS OF PIPE AND
- ALL BE SECURED CLOSED SO THAT NO TRENCH WATER, EARTH OR OTHER 3STANCES WILL ENTER THE PIPE OR FITTINGS. WHERE PIPE ENDS ARE LEFT FOR ANSION OR CONNECTIONS, THEY SHALL BE VALVED OFF AND CAPPED AS HESE FUTURE EXPANSION POINTS WILL BE NOTED ON THE AS BUILT DRAWINGS. AND FITTINGS SHALL BE ASSEMBLED TO PERMIT THE PIPE OR FITTINGS TO BE THE TRUE PARALLEL POSITION OF THE FITTINGS. PLACEMENT OF PIPE IN INCHES THAT CAUSE EXCESSIVE BENDING AND STRESS ON PIPE AND FITTINGS PERMITTED. SYSTEM SHALL BE DESIGNED AND INSTALLED SO THAT NO E WITHIN TWO TIMES THE PIPE DIAMETER OF EACH OTHER. FOR EXAMPLE, ON A AMETER PIPE, NO FITTINGS ARE WITHIN TWO INCHES OF EACH OTHER.
- ALLING THE PIPE, ALL DEBRIS AND LARGE ROCKS SHALL BE REMOVED FROM IES. IF THE SOIL IS EXTREMELY ROCKY, THE TRENCHES SHALL BE BEDDED WITH D AS OUTLINED IN OTHER PORTIONS OF THESE SPECIFICATIONS. THE FULL EACH SECTION OF THE PIPE SHALL REST SOLIDLY UPON THE PIPE BED, WITH CAVATED TO ACCOMMODATE BELLS, JOINTS AND COUPLINGS.

IRRIGATION NOTES (CONT.)

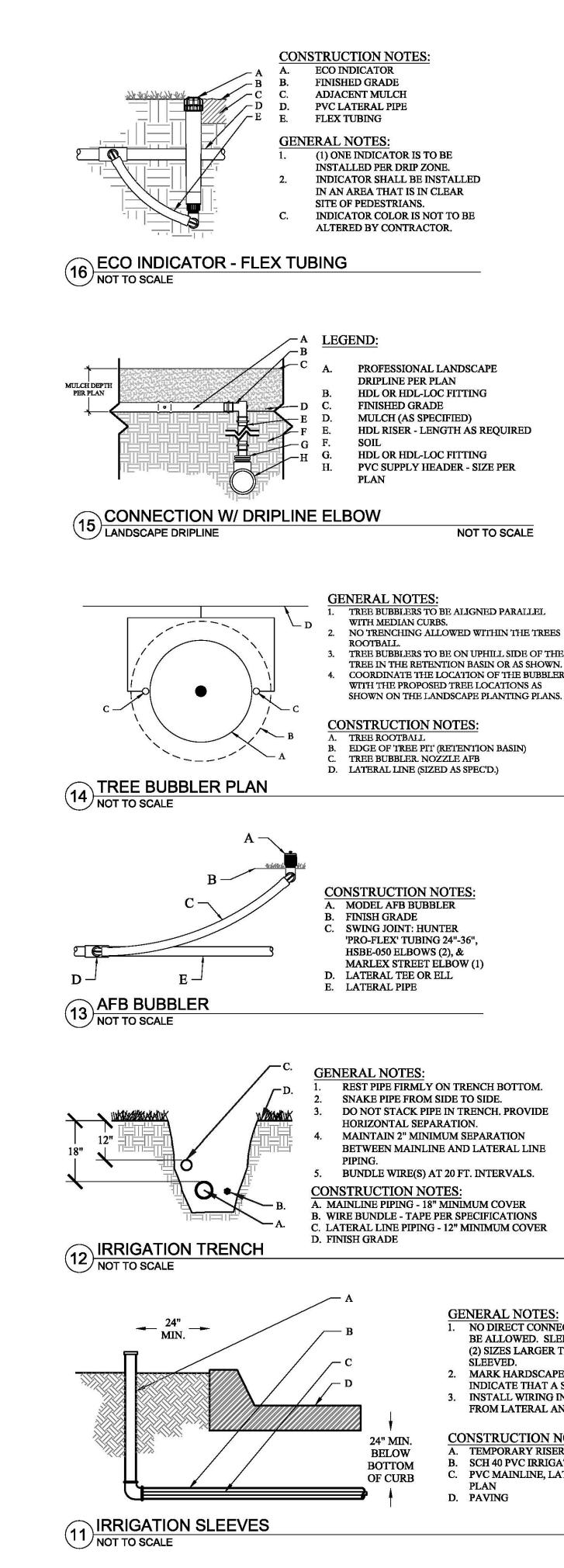
E TEE. DO NOT INSTALL MORE THAN A TOTAL OF EITHER THREE ELECTRIC BINATION OF TWO ELECTRIC VALVES AND ONE OUICK COUPLER VALVE AT EACH A DISTANCE BETWEEN FITTINGS SHALL BE 18" AS REFERENCED IN THE ABOVE

IRRIGATION NOTES (CONT.)

- 2.6. PIPE SHALL NOT BE LAID IN WATER OR WHEN TRENCH OR WEATHER CONDITIONS ARE UNSUITABLE FOR THE WORK. ANY WATER, WHICH MAY BE ENCOUNTERED OR MAY ACCUMULATE IN THE TRENCHES OR EXCAVATION SHALL BE PUMPED OUT OR OTHERWISE REMOVED AS NECESSARY TO KEEP THE BOTTOM OF THE TRENCH OR EXCAVATION FREE AND CLEAR OF WATER DURING THE PROGRESS OF THE WORK. PIPE SHALL NOT BE LAID WHEN THE TEMPERATURE IS 32°F OR BELOW.
- 2.7. THE MINIMUM HORIZONTAL AND CLEARANCE BETWEEN LINES IN THE SAME TRENCH SHALL BE 4". DO NOT STACK LINES IN THE SAME TRENCH.
- 2.8. AFTER ALL SPRINKLER PIPING, RISERS, VALVES, THRUST BLOCKS ETC., HAVE BEEN INSTALLED AND PARTIALLY BACKFILLED AS SPECIFIED IN OTHER PARTS THESE SPECIFICATIONS, THE CONTROL VALVE SHALL BE OPENED AND A FULL HEAD A WATER USED TO FLUSH OUT THE SYSTEM. AFTER THE SYSTEM IS THOROUGHLY FLUSHED, RISERS SHALL BE CAPPED OFF AND THE SYSTEM PRESSURE TESTED IN ACCORDANCE WITH THE TESTING SECTION OF THESE SPECIFICATIONS. AT THE CONCLUSION OF THE PRESSURE TEST, THE HEADS SHALL BE INSTALLED AND THE BACKFILL OPERATION COMPLETED.
- SPRINKLER INSTALLATION 3.1. SPRINKLER HEADS SHALL BE OF THE TYPE AND MAKE SPECIFIED AND SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS. SPRINKLER HEADS SHALL BE INSTALLED WITH A MINIMUM 6"SPACE BETWEEN THE EDGE OF THE SPRINKLER HEAD AND CURBS, WALLS, DRIVEWAYS, BUILDING WALLS, ETC. HEADS SHALL BE INSTALLED IN THE VERTICAL POSITION AND BACKFILLED AND COMPACTED TO NEAR ORIGINAL DENSITY. ALL SPRINKLERS WILL BE

- INSTALLED ON A PREVIOUSLY APPROVED FLEX TYPE OR SWING TYPE RISER. 3.2. SPRINKLER HEAD SPACING SHALL NOT EXCEED THE MANUFACTURERS RECOMMENDED SPACING AND SHALL BE IN THE LOCATION AND CONFIGURATION AS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL VERIFY TURF AREA DIMENSION WHILE STAKING SPRINKLER HEAD LOCATION. SPRINKLER HEADS SHALL BE SPACED TO ACHIEVE MAXIMUM UNIFORM COVERAGE.
- 3.3. AFTER ALL PIPING AND RISERS ARE IN PLACE AND CONNECTED AND BEFORE INSTALLATION OF THE SPRINKLER HEADS, ALL CONTROL VALVES FOR A GIVEN SECTION SHALL BE FULLY OPENED AND A FULL HEAD OF WATER SHALL BE USED TO FLUSH OUT THE SYSTEM. IF WATER PRESSURE WITHOUT THE HEADS INSTALLED IS NOT SUFFICIENT TO PROVIDE ADEQUATE WATER FLOW FROM END RISERS, THE CONTRACTOR SHALL CAP OFF ENOUGH HEADS CLOSEST TO THE WATER SOURCE TO PROVIDE ADEQUATE FLUSHING OF THE END RISER ASSEMBLIES. BACKFILLING
- 4.1. DO NOT DIRECTLY BURY THE VALVES. INSTALL A VALVE BOX FOR EASY ACCESS TO VALVES. WAIT UNTIL YOU ARE BACKFILLING THE TRENCH TO SET THE VALVE BOX.
- 4.2. UPON COMPLETION OF A PARTICULAR SECTION OF THE IRRIGATION SYSTEM, AND AFTER SUFFICIENT TIME HAS ELAPSED FOR THE CURING OF SOLVENT WELD JOINTS, PARTIAL BACKFILLING CAN BEGIN, LEAVING ALL JOINTS, RISERS AND CONNECTIONS EXPOSED FOR VISUAL INSPECTIONS DURING THE HYDROSTATIC TESTING. ONLY UPON SUCCESSFUL COMPLETION OF THE HYDROSTATIC TEST CAN THE BACKFILL OPERATION BE COMPLETED FOR ANY ONE PARTICULAR SECTION.
- 4.3. BACKFILL MATERIAL SHALL BE FREE FROM ROCKS OR OTHER DEBRIS OVER ONE (1) INCH IN DIAMETER, BRUSH, SOD, FROZEN MATERIAL OR OTHER UNSUITABLE SUBSTANCES THAT MAY DAMAGE PIPE DURING THE BACKFILLING OPERATIONS.
- 4.4. IN THE EVENT THAT THE MATERIAL FROM THE EXCAVATION OR TRENCHING IS FOUND TO BE UNSUITABLE FOR USE IN BACKFILL, THE MATERIAL SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF BY THE CONTRACTOR AND AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL THEN, AT NO ADDITIONAL COST TO THE OWNER, ARRANGE FOR, PURCHASE, AND FURNISH SUITABLE BACKFILL MATERIAL CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND OR OTHER APPROVED MATERIALS FREE OF LARGE CLODS OF EARTH OR SHARP STONES AND CAPABLE OF ATTAINING THE SAME RELATIVE DENSITY OF THE SURROUNDING GROUND.
- 4.5. BACKFILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 6" IN DEPTH AND SHALL BE THOROUGHLY TAMPED, OR WATER COMPACTED TO NEAR ORIGINAL DENSITY OR SO THAT NO SETTLING WILL RESULT. BACKFILL SHALL BE PLACED TO THE ORIGINAL GROUND LEVEL. IF SETTLEMENT OF TRENCHES OCCURS WITHIN ONE (1) YEAR FROM DATE COMPLETION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REFILL TRENCHES AND **RE-SEED OR SOD THE REPAIRED AREAS.**
- 5. TESTING 5.1. MAINLINE TEST
 - 5.1.1. UPON COMPLETION OF THE IRRIGATION SYSTEM'S MAINLINE, THE ENTIRE MAINLINE SHALL BE TESTED FOR A ONE-HOUR PERIOD AT 100 PSI, OR THE MAXIMUM PSI AVAILABLE IF LESS THAN 100 PSI, UNLESS OTHERWISE NOTED. PRIOR TO TESTING, THE MAINLINE SHALL BE PARTIALLY BACKFILLED, LEAVING ALL JOINTS AND CONNECTIONS EXPOSED FOR VISUAL INSPECTION. ALL DIRT SHALL BE FLUSHED FROM THE SYSTEM AND THE LINE FILLED WITH WATER TO REMOVE AIR. THE MAINLINE SHALL BE BROUGHT TO STATIC PRESSURE. A PRESSURE GAUGE AND TEMPORARY VALVE SHALL BE INSTALLED AT THE END OF THE MAINLINE TO PERMIT AIR PRESSURE TO BE APPLIED TO THE MAIN. A PRESSURE OF 100 PSI, OR THE MAXIMUM PSI AVAILABLE IF LESS THAN 100 PSI, MUST BE RETAINED FOR A ONE-HOUR PERIOD. ANY LEAKS RESULTING IN THE ONE-HOUR PRESSURE TEST SHALL BE REPAIRED AND THE SYSTEM RETESTED UNTIL THE SYSTEM PASSES THE TEST.
 - 5.2. LATERAL LINE TEST 5.2.1. UPON COMPLETION OF THE LATERAL PIPING SECTIONS, EACH LATERAL SYSTEM SHALL BE PRESSURE TESTED FOR ONE HOUR AT 100 PSI, OR THE MAXIMUM PSI AVAILABLE IF LESS THAN 100 PSI. ON SYSTEMS USING FLEX NIPPLES, OR SWING JOINTS, THE LATERAL SYSTEM SHALL BE TESTED PRIOR TO INSTALLATION OF THE FLEX NIPPLES OR SWING JOINTS. PRIOR TO TESTING, THE LATERAL LINES SHALL BE PARTIALLY BACKFILLED LEAVING JOINTS AND CONNECTIONS EXPOSED FOR VISUAL INSPECTION. ALL AIR AND DIRT SHALL BE FLUSHED FROM THE SYSTEM AND ALL OPEN FITTINGS SHALL BE CAPPED. THE TESTING PROCEDURE SHALL BE THE SAME AS USED FOR THE MAIN LINE. IF AFTER ONE HOUR NO VISUAL LEAKAGE HAS OCCURRED AND THE 100-PSI, OR THE MAXIMUM PSI AVAILABLE IF LESS THAN 100 PSI, PRESSURE HAS BEEN RETAINED, THE SPRINKLER HEADS, FLEX NIPPLES AND/OR SWING JOINTS SHALL BE INSTALLED, AND THE BACKFILL OPERATION COMPLETED. ANY LEAKS RESULTING FROM THE HYDROSTATIC TEST SHALL BE REPAIRED AND THE SYSTEM RETESTED UNTIL THE SYSTEM PASSES THE TEST. 5.3. ADJUSTING SYSTEM
 - 5.3.1. AFTER COMPLETION OF TESTING AND INSTALLATION, THE CONTRACTOR SHALL ADJUST ALL VALVES FOR THE PROPER OPERATING PRESSURE AND ADJUST ALL SPRINKLERS AND BUBBLERS FOR UNIFORM COVERAGE AND EVEN FLOW. CONTRACTOR SHALL WIRE THE CONTROLLER (VALVE/STATION) AS RECOMMENDED BY THE MANUFACTURER. THE VALVE NUMBER WILL BE INDICATED ON THE CONTROLLER PANEL FOR EACH STATION. CONTRACTOR WILL PROGRAM CONTROLLER TO PROVIDE OPTIMUM SPRINKLER SYSTEM PERFORMANCE.
 - 5.4. BACKFLOW PREVENTER TESTING
 - 5.4.1. THE BACKFLOW PREVENTION DEVICE SHALL BE TESTED FOLLOWING INSTALL, TO MEET OR EXCEED THE TEXAS STATE TESTING REQUIREMENTS, AND BE APPROVED BY A LICENSED BACKFLOW TECHNICIAN PRIOR TO FINAL ACCEPTANCE. 5.5. OPERATIONAL TESTING
 - 5.5.1. ONCE THE MAINLINE AND THE LATERAL LINES HAVE PASSED THEIR TESTS, AND THE SYSTEM IS COMPLETELY OPERATIONAL, A COVERAGE TEST AND DEMONSTRATION OF THE SYSTEM IS REQUIRED. THE IRRIGATION CONTRACTOR MUST DEMONSTRATE TO THE OWNER, OR THE OWNER'S REPRESENTATIVE, THAT PROPER COVERAGE IS OBTAINED AND THE SYSTEM WORKS AUTOMATICALLY FROM THE CONTROLLER. THIS DEMONSTRATION REQUIRES EACH ZONE TO BE TURNED ON, IN THE PROPER SEQUENCE AS SHOWN ON THE PLANS, FROM THE CONTROLLER. EACH ZONE WILL BE INSPECTED FOR PROPER COVERAGE AND FUNCTION. THE DETERMINATION OF PROPER COVERAGE AND FUNCTION IS AT THE SOLE DISCRETION OF THE OWNER OR THE OWNER'S REPRESENTATIVE.
- 6. INSPECTION 6.1. THE FOLLOWING INSPECTIONS SHALL BE THE MINIMUM REQUIRED INSPECTIONS DURING THE COURSE OF CONSTRUCTION. ADDITIONAL INSPECTIONS SHALL BE MADE AT ANY TIME AT THE DISCRETION OF THE OWNER OR OWNER'S REPRESENTATIVE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE INSPECTOR, IN WRITING, 48 HOURS IN ADVANCE OF EACH REQUIRED INSPECTION. THE SEQUENCE OF REQUIRED INSPECTIONS SHALL NOT BE CHANGED FROM THE SEQUENCE LISTED BELOW. THE CONTRACTOR SHALL NOT PROCEED WITH WORK OF THE NEXT SEQUENCE WITHOUT WRITTEN APPROVAL OF THE WORK OF PREVIOUS SEQUENCE. THE CONTRACTOR SHALL ATTACH A COPY OF THE WRITTEN INSPECTION APPROVALS TO ALL APPLICATIONS FOR PAYMENT.
 - 6.1.1. INSPECT STAKED LOCATIONS OF MAINLINE, VALVES, LATERALS SPRINKLER HEADS. 6.1.2. INSPECT AND PRESSURE TEST MAINLINE INSTALLATION AND LATERAL LINES.
 - 6.1.3. INSPECT 24-VOLT CONTROL WIRE INSTALLATION.
 - 6.1.4. INSPECT AND PRESSURE TEST AUTOMATIC VALVES AND LATERAL IRRIGATION INSTALLATION.
 - 6.1.5. INSPECT AUTOMATIC CONTROLLER INSTALLATION AND OPERATION. 6.1.6. INSPECT SPRINKLER AND BUBBLER HEAD PLACEMENT, COVERAGE AND OPERATING PRESSURE PRIOR TO PLANTING.
- 6.1.7. INSPECT AT END OF MAINTENANCE PERIOD. FINALIZATION
- 7.1. WHEN THE CONTRACTOR IS SATISFIED THAT THE SYSTEM IS OPERATING PROPERLY, THAT IT IS BALANCED AND ADJUSTED, THAT ALL WORK AND CLEAN-UP IS COMPLETED HE SHALL ISSUE NOTICE OF COMPLETION TO THE OWNER OR OWNER'S REPRESENTATIVE REQUESTING A FINAL INSPECTION. THE OWNER OR OWNER'S REPRESENTATIVE WILL RESPOND TO THE NOTICE OF COMPLETION BY THE CONTRACTOR AND SHALL APPEAR AT THE AGREED UPON TIME. AT THAT TIME THE CONTRACTOR SHALL DEMONSTRATE THE OPERATION OF EACH SYSTEM IN ITS ENTIRELY. IN JUDGING THE WORK, NO ALLOWANCE FOR DEVIATION FROM THE ORIGINAL DRAWINGS AND SPECIFICATIONS WILL BE MADE UNLESS PRIOR APPROVAL HAS BEEN OBTAINED.
- 7.2. ANY INCONSISTENCY TO THE SPECIFICATIONS OR THE DRAWINGS SHALL BE NOTED BY THE OWNER OR OWNER'S REPRESENTATIVE, AND A WRITTEN COPY OF REQUIRED CORRECTIONS SHALL BE GIVEN TO THE CONTRACTOR. ANY WORK DEEMED NOT ACCEPTABLE SHALL BE RE-WORKED TO THE COMPLETE SATISFACTION OF THE OWNER OR OWNER'S **REPRESENTATIVE.**

)			Item 14
	IRRIGATION NOTES (CONT.)				
8.	 OPERATIONAL INSTRUCTION 8.1. AFTER THE SYSTEM HAS BEEN TESTED AND ACCEPTED, THE CONTRACTOR SHALL INSTRUCT THE OWNER OR OWNER'S REPRESENTATIVE IN THE OPERATION AND MAINTENANCE OF THE SYSTEM. 8.2. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH TWO (2) KEYS FOR THE FOLLOWING: 1.2.1. GLOBE OR BALL VALVES. 1.2.2. VALVE BOXES. 1.2.3. VALVE MARKERS. 1.2.4. CONTROLLERS. 1.2.5. ANY LOCKING ASSEMBLES IN NEED OF KEY ACCESS. 8.3. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH TWO COPIES OF A MAINTENANCE MANUAL. THE MAINTENANCE MANUAL SHALL INCLUDE COPIES OF THE APPROVAL 	1923 VICTO	RIA GARDEN I	DR. RICHMONT	D, TX 77406
9.	 MANUAL. THE MAINTENANCE MANUAL SHALL INCLUDE COPIES OF THE APPROVAL SUBMITTALS, CONTROLLER OPERATIONS MANUALS AND MANUFACTURERS WARRANTIES ON ALL IRRIGATION PRODUCTS. CLEAN UP 9.1. THE CONTRACTOR SHALL CONTINUOUSLY KEEP A NEAT AND ORDERLY AREA IN WHICH THEY ARE INSTALLING THE SYSTEM. DISPOSAL OF RUBBISH AND WASTE MATERIAL RESULTING FROM THE INSTALLATION SHALL BE CONTINUAL. UPON COMPLETION OF THE SYSTEM, THE CONTRACTOR SHALL REMOVE FROM THE OWNER'S PROPERTY AT HIS OWN EXPENSE, ALL TEMPORARY STRUCTURES, RUBBISH WASTE MATERIAL, TOOLS AND EQUIPMENT RESULTING FROM OR USED IN THE INSTALLATION OF THE SYSTEM. EXISTING LANDSCAPED AND HARDSCAPED AREAS THAT ARE DAMAGED AS A RESULT OF THE INSTALLATION OF THE IRRIGATION SYSTEM WILL BE REPAIRED BY THE CONTRACTOR TO ORIGINAL CONDITION. TURF AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES WILL BE REPLACED WITH 	NO. DATE: 1 10/06/2 	REVISION 022 ISSUED FO		
10.	 TURF AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES WILL BE REPLACED WITH SOL GUARANTEE 10.1. FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE SYSTEM, THE CONTRACTOR WILL PROMPTLY FURNISH AND INSTALL, WITHOUT COST TO OWNER, ANY AND ALL PARTS OR MATERIALS, WHICH PROVE DEFECTIVE IN MATERIAL OR WORKMANSHED. DAMAGE DUE TO IRRIGATION SYSTEM LINE BREAKS SHALL BE REPARED AND BROUGHT TO ORIGINAL CONDITION BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER. 10.2. FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE SYSTEM, THE CONTRACTOR SHALL REPARE RANY SETTLEMENT OF TRENCHES BY ONE OF THE FOLLOWING METHODS: 10.2. IBRING TO GRADE BY TOP-DRESSING (RAKING TOPSOIL INTO THE GRASS). 10.2.1. BRING TO GRADE BY TOP-DRESSING WITH TOPSOIL, AND REPLACE WITH NEW SOD TO MATCH EXISTING SOD, FILL DEPRESSION WITH TOPSOIL, AND REPLACE WITH NEW SOD TO MATCH EXISTING SOD. 10.2.3. REMOVE EXISTING SOD, FILL DEPRESSION WITH TOPSOIL, AND REPLACE WITH NEW SOD MATCH EXISTING SOD. 10.2.4. REPARE BY ANY OF THE ABOVE METHODS MUST RESULT IN A SMOOTH, LEVEL AREA. MAINTENANCE OF REPAIRED AREAS SHALL BE THE RESPONSIBILITY OF THE OWNER. 	Docut for pe DATE LANT ARCE	ment incomp rmit, bidding 2: 10 DSCAPE	VIEW ON lete; not inter or constructi /06/2022 de M. Bruno 3211	ited
		LANDSCAPE DEVELOPMENT	Irrigation Notes	Tomball Business and Technology Park	29201 Quinn Rd., Suite B, Tomball, Texas 77375
		SHEET N L40			



HDL RISER - LENGTH AS REQUIRED

NOT TO SCALE

TREE BUBBLERS TO BE ALIGNED PARALLEL

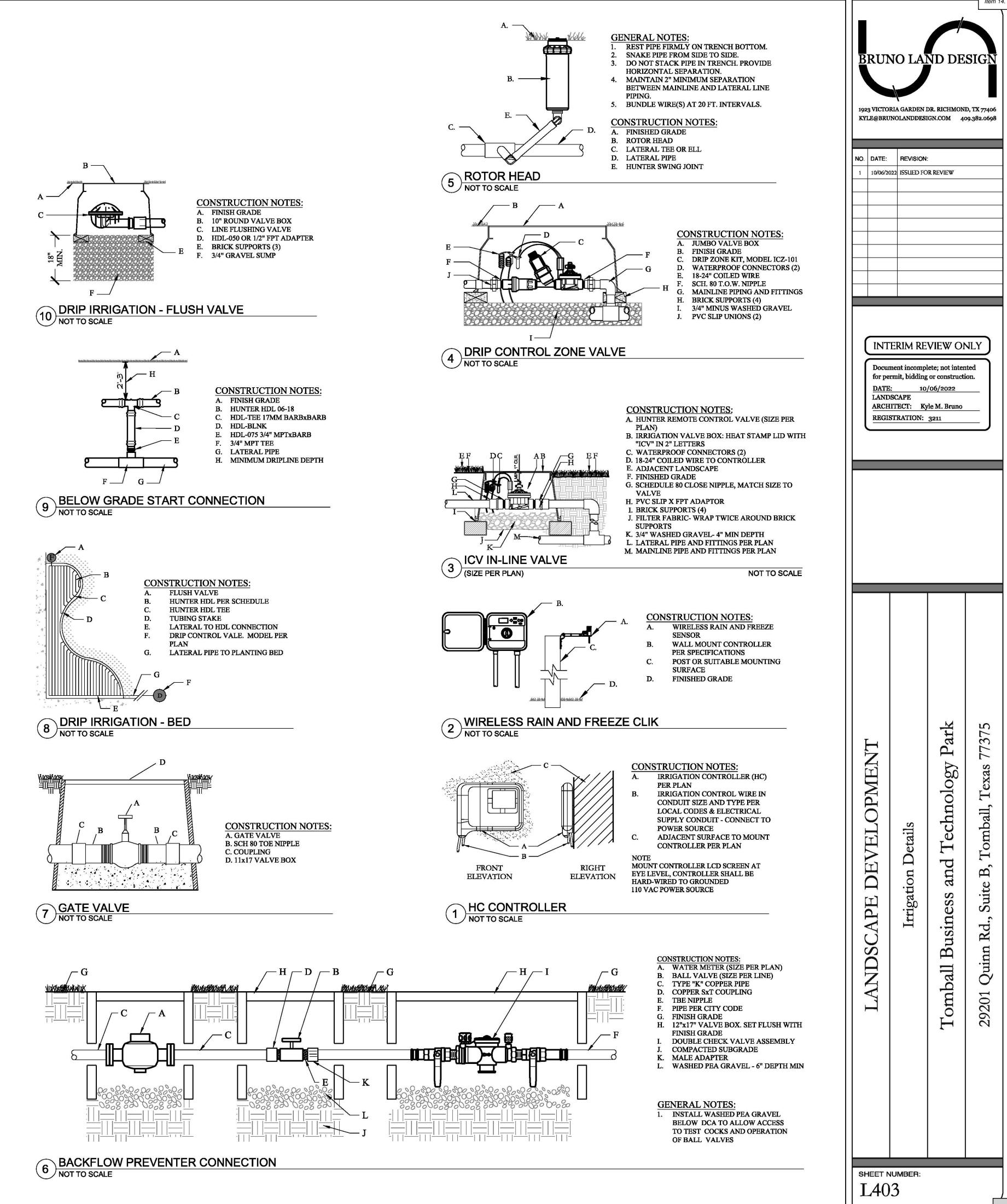
3. TREE BUBBLERS TO BE ON UPHILL SIDE OF THE TREE IN THE RETENTION BASIN OR AS SHOWN. 4. COORDINATE THE LOCATION OF THE BUBBLERS WITH THE PROPOSED TREE LOCATIONS AS SHOWN ON THE LANDSCAPE PLANTING PLANS.

B. EDGE OF TREE PIT (RETENTION BASIN)

REST PIPE FIRMLY ON TRENCH BOTTOM. DO NOT STACK PIPE IN TRENCH. PROVIDE MAINTAIN 2" MINIMUM SEPARATION BETWEEN MAINLINE AND LATERAL LINE

GENERAL NOTES:

- NO DIRECT CONNECTION TO SLEEVE SHALL BE ALLOWED. SLEEVE SIZE SHALL BE TWO (2) SIZES LARGER THAN THE PIPE TO BE SLEEVED.
- 2. MARK HARDSCAPE WITH SYMBOL "S" TO
- INDICATE THAT A SLEEVE IS BELOW. INSTALL WIRING IN SEPARATE SLEEVE
- FROM LATERAL AND MAINLINE PIPING.
- **CONSTRUCTION NOTES:** A. TEMPORARY RISER AND CAP.
- B. SCH 40 PVC IRRIGATION SLEEVE SEE PLAN. C. PVC MAINLINE, LATERAL OR WIRING - SEE
- PLAN D. PAVING



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DATE: ______

DATE:

PROPOSAL

Scope

Installation of entry monument, landscape, and irrigation at Tomball Technology Park. Includes all concrete foundations, monument walls with all masonry and signage. Includes electrical runs to monument and service installation. Includes all landscaping and irriggation. Pricing based on plans dated 10/6/2022 by Bruno Land Design.

TEDC N ENTRY MONUMENT Description Quantity Amount Total 1. Mobilization and General Conditions 1.00 \$37.300.00 \$37,300.00 2. Permits & Meter Allowance 1.00 \$5,500.00 \$5,500.00 3. Monument Complete 1.00 \$96,600.00 \$96,600.00 4.65 gal Loblolly Pine 6.00 \$770.00 \$4,620.00 5. 30 gal Vitex 7.00 \$440.00 \$3,080.00 \$39.00 6.3 gal Mealy Blue Sage 14.00 \$546.00 7.3 gal Bicolor Iris 27.00 \$25.00 \$675.00 8.7 gal Double Knockout Rose 24.00 \$60.00 \$1,440.00 9.7 gal Sunshine Ligustrum 17.00 \$58.00 \$986.00 10. 7 gal Dwarf Wax Myrtle 21.00 \$55.00 \$1,155.00 11. Bed Prep 1.00 \$6,950.00 \$6,950.00 \$16,400.00 12. Irrigation System A (Monuments) 1.00 \$16,400.00 13. Solid Sod, SF 2,375.00 \$1.00 \$2,375.00 \$177,627.00 Sales Tax not included Grand Total \$177,627.00

Notes and Clarifications:

1. No Sales Tax is included in this proposal.

2. Water Meters to be provided by Owner, Permitting is incldued.

Thank you for the opportunity to provide this proposal. We look forward to working with you at the Tomball Technology Park. Please let me know if you have any questions.

SIGNED: <u>G:M. Jour</u>

ACCEPTED: _



TWL, LLC

654 N. Sam Houston Parkway E, Ste 330 Houston, TX 77060 Phone: 713.893.4594, Fax: 713.837.7400

то

JOB

Kelly Violette Tomball EDC Tomball Technology Park Tomball, Tx

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Item 14.

Total

\$5,500.00

\$5,000.00

PROPOSAL

Proposal No.:	230526b
Date:	5/26/2023

Scope

Quantity

1.00

1.00

Installation of concrete retaining wall, concrete mow band, Omega fence as well as landscape and irrigation at the South Persimmon ditch crossing in the Tomball Business and Technology Park.

Amount

\$5,500.00

\$5,000.00

1. Mobilization and General Conditions 2. Permits & Meter Allowance

		Grand Total	\$162,080.00
		Sales Tax	not included
			\$162,080.00
12. Bullrock Rip Rap, CY	18.00	\$105.00	\$1,890.00
11. 3 gal Double Knockout Rose	94.00	\$25.00	\$2,350.00
10. 7 gal Sunshine Ligustrum	64.00	\$55.00	\$3,520.00
9. 30 gal. Vitex	12.00	\$440.00	\$5,280.00
7. Bed Prep	1.00	\$5,860.00	\$5,860.00
Rough Grading, includes Excavation and Haul off (89 CY)	1.00	\$8,330.00	\$8,330.00
5. Irrigation System B (Crossing) Includes bore	1.00	\$14,250.00	\$14,250.00
4. Concrete Retaining Wall	600.00	\$75.00	\$45,000.00
Omega fence at Ditch Crossing; 5' HT	600.00	\$108.50	\$65,100.00

Notes and Clarifications:

1. No Sales Tax is included in this proposal.

2. Water Meters to be provided by Owner, Permitting is incldued.

3. Excavation includes grading from sidewalk down to the headwall and removing the existing soil between the new retaining wall and the existing headwall and the mow band. Bullrock installed at the new retainaing wall only.

Layout for this work can be proivded.

5. Omega fence to match the existing Business Park fence.

Thank you for the opportunity to provide this proposal. We look forward to working with you at the Tomball Technology Park. Please let me know if you have any questions.

SIGNED: J.M. Four _____

DATE: 08/02/23

DATE: _

ACCEPTED:



654 N. Sam Houston Parkway E, Ste 330

TEDC DITCH CROSSING LANDSCAPE

Houston, TX 77060 Phone: 713.893.4594, Fax: 713.837.7400

TWL, LLC

TO

JOB

Description

Kelly Violette Tomball EDC Tomball Technology Park Tomball, Tx

Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

Topic:

Consideration and possible action by Tomball EDC to authorize the Executive Director to negotiate and approve a construction contract for the Tomball Business & Technology Park North Signage and Fencing Project with Texas Wall & Landscape, LLC in an amount not to exceed \$391,000.00.

Background:

In 2019, the TEDC awarded Texas Wall & Landscape, LLC the construction contract for entryway signage and landscaping at Spell/Hufsmith-Kohrville Road and South Persimmon/Holderrieth Road, as well as the community mailbox structures. At that time, an alternate item for the northern gateway at South Persimmon was included in the Request for Proposals. However, due to the timing of the South Persimmon roadway and utility construction, it was recommended not to move forward with the north signage at that time.

The proposed sign location is on the west side of South Persimmon Road within a 0.119-acre sign easement. The design will match the two existing entryway signs and will include three columns as well as related lighting, landscaping, and irrigation. Additionally, the project includes the construction of a concrete retaining wall and fence, landscaping and irrigation at the South Persimmon ditch crossing.

The cost breakdown of the project is below:

Installation of entry monument, landscape and irrigation: \$177,627.00 Installation of concrete retaining wall, omega fence, landscape and irrigation: \$162,080.00 Estimated Total: \$339,707.00 15% Contingency: \$50,956.05 Total w/Contingency: \$390,663.05

Origination: Kelly Violette, Executive Director, Tomball Economic Development Corporation

Recommendation:

Party(ies) responsible for placing this item Kelly Violette **on agenda:**

FUNDING (IF APPLICABLE)

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: X No: If yes, specify Account Number: # Business Park Expenses

If no, funds will be transferred #	
from account	

To account#

Signed

Approved by

Staff Member- Date TEDC

Executive Director-TEDC Date

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THIS DOCUMENT HAS BEEN ELECTRONICALLY RECORDED

THE STATE OF TEXAS

COUNTY OF HARRIS

KNOW ALL MEN BY THESE PRESENTS:

SIGN EASEMENT

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Tortuga Operating Company, a Texas corporation (the "GRANTOR"), for and in consideration of the mutual benefits to accrue to the parties, and the receipt and sufficiency of such consideration being hereby acknowledged, does hereby dedicate to the Tomball Economic Development Corporation, an economic development corporation created pursuant to the Development Corporation Act (the "GRANTEE"), its successors and assigns, a perpetual sign easement, triangular in shape, for the benefit of properties lying within the Tomball Business and Technology Park, to construct, operate, maintain, inspect, replace, and remove three monument signs on, across, and over five thousand one hundred eighty-three square feet (5,183 SF) of land in Harris County, Texas, described by metes and bounds in Exhibit 'A' attached hereto, and described by survey plat in Exhibit 'B' attached hereto, both exhibits being incorporated herein by this reference for all purposes (the "Easement").

GRANTEE may plant and maintain conifer trees and other landscaping within the Easement, and operate all necessary machinery and equipment to cut, trim, and remove trees, brush, shrubbery, or weeds within the Easement. However, any trees placed within the Easement must be planted at least ten (10) feet from the perimeter boundary of the Easement.

IMPROVEMENT AND MAINTENANCE OF THE EASEMENT.

Maintenance of the Easement, including but not limited to any signs, trees, bushes, and landscaping installed by **GRANTEE**, shall be the responsibility of the **GRANTEE**. Additionally, the **GRANTEE** will maintain all trees, bushes, and landscaping planted within the Easement to ensure they do not grow beyond the boundaries of the Easement, maintaining them in accordance with the standards and appearance of all decorative landscaping existing throughout the Tomball Business and Technology Park.

RESERVATION AND LIMITATION OF RIGHTS

GRANTOR retains, reserves, and shall continue to enjoy the use of the surface of the Easement area for all purposes which do not interfere with or prevent the use by the **GRANTEE** of its rights within the Easement, subject to all applicable laws and regulations of the State of Texas or its political subdivisions.

GRANTEE shall replace in kind or better any improvements owned by the **GRANTOR** that are disturbed during construction, operations, maintenance, inspection, replacement, and removal of any signs or landscaping on, across, and over the Easement.

GRANTEE is limited to the placement of three (3) monument signs of heights no greater than fifteen (15) feet. All signs must be constructed of granite, stone, and brick.

GRANTEE may not construct and maintain any billboard or other commercial signage within the Easement. The sole purpose of any signs placed with the Easement shall be to identify

SIGN EASEMENT Page 1 of 6

STEWART TITLE /48/

SM Courtesy

the area as being part of the Tomball Business and Technology Park.

Should **GRANTEE** fail to place and maintain a monument sign within the Easement area for a period of eighteen (18) consecutive months, then this Easement shall automatically terminate, and **GRANTEE** shall execute the appropriate instrument to file in the Real Property Records of Harris County, Texas, acknowledging the release of the Easement.

GRANTING AND COVENANT CLAUSE

The Easement and the rights and privileges herein granted shall be perpetual between **GRANTOR** and **GRANTEE**, subject to all valid and subsisting encumbrances, conditions, covenants, restrictions, reservations, exceptions, rights-of-way, and easements appearing of record in the Official Public Records of Real Property of Harris County, Texas, relative to the above-described property.

GRANTOR covenants that **GRANTOR** will not voluntarily convey any other easement, or any other right, within the easement area that conflicts with the purpose of this dedication.

This instrument shall be binding upon the successors and assigns of both **GRANTOR** and **GRANTEE**.

TO HAVE AND TO HOLD the above-described Easement unto GRANTEE, its successors and assigns, and GRANTOR hereby binds itself and its successors and assigns, to GRANTEE, its successors and assigns, against every person whomsoever lawfully claiming any part thereof, by, through or under GRANTOR, but not otherwise.

EXECUTED this 28^{th} day of APRIL 2023.

FOR GRANTEE:

FOR GRANTOR:

Petra L. 22

Name [Signature]

Peter L. Turbett Name [Printed]

Name [Signature]

Kelly Violette Name [Printed]

President Title Executive Director

Title

SIGN EASEMENT Page 2 of 6

ACKNOWLEDGEMENTS

FOR GRANTOR

THE STATE OF TEXAS § COUNTY OF HARRIS §

BEFORE ME, the undersigned authority, on this day personally appeared PETER L. TURBETT, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same as the President of TORTUGA OPERATING COMPANY, and for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 25 day of APRIL 2023.



Winginst

Notary Public in and for the State of Texas My Commission Expires:

FOR GRANTEE

THE STATE OF TEXAS § COUNTY OF HARRIS §

BEFORE ME, the undersigned authority, on this day personally appeared KELLY VIOLETTE, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same as the Executive Director for the TOMBALL ECONOMIC DEVELOPMENT CORPORATION, and for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 2° day of APRIL 2023.



Notary Public in and for the State of Texas My Commission Expires:

SIGN EASEMENT Page 3 of 6

ADDRESS OF GRANTOR:

TORTUGA OPERATING CO. 7412 SHADY LANE HOUSTON, TEXAS 77375

ADDRESS OF GRANTEE:

TOMBALL EDC PO BOX 820 TOMBALL, TEXAS 77377

ATTACHMENTS:

Exhibit 'A' – Metes and Bounds description for the 5,183 SF Tomball Business and Technology Park Signage Easement

Exhibit 'B' – Survey Plat for the 5,183 SF Tomball Business and Technology Park Signage Easement

EXHIBIT A – SIGNAGE EASEMENT: METES & BOUNDS

C & C Surveying, Inc.

Firm Number 10009400 33300 Egypt Lane, Suite F200 Magnolia, Texas 77354 Office: 281-259-4377 Metro: 281-356-5172

Metes and Bounds Maintenance Easement

0.119 Acre (5,183 Square Feet) Jesse Pruitt Survey, Abstract 629 Out of Tomball Business and Technology Park, Section Two Harris County, Texas

Being a 0.119 acre tract of land situated in the Jesse Pruitt Survey, Abstract Number 629, of Harris County, Texas, being out of Lot 4, of Tomball Business and Technology Park, Section Two, as recorded in Clerk's File Number 2021-659803 of the Real Property Records of Harris County, and said 0.119 acre being more particularly described as follows with all bearings based on said subdivision and proceeding;

BEGINNING at a point for corner, for the East corner of the herein described tract, common with the East corner of said Lot 4 of said subdivision, being on the Southwest right-of-way line of South Persimmon Street (80 foot right-of-way), and being on the Northwest right-of-way line of an unnamed and unimproved road (30 foot right-of-way) as recorded in Volume 2, Page 65 of the Harris County Map Records;

THENCE, South 42 degrees 49 minutes 19 seconds West, along the Southeast line of the herein described tract, common with the Southeast line of said Lot 4, and being on the Northwest right-of-way line of said unnamed street, a distance of 100.00 feet, to a point for the South corner of the herein described tract;

THENCE, North 02 degrees 01 minutes 41 seconds West, along the West line of the herein described tract, departing said unnamed street, and severing said Lot 4, a distance of 149.28 feet, to a point for the North corner of the herein described, being on the Southwest right-of-way line of the aforementioned South Persimmon Street, and being on a curve to the left;

THENCE, along the Northeast line of the herein described tract, common with the Northeast line of said Lot 4, and the Southwest right-of-way line of South Persimmon Street, along said curve to the left, having a radius of 1,040.00 feet, a central angle of 05 degrees 49 minutes 33 seconds, an arc length of 105.75 feet, and a chord bearing South 44 degrees 09 minutes 59 seconds East, 105.70 feet, back to the **POINT OF BEGINNING** and containing 0.119 acre of land.

Steven L. Crews, Registered Professional Land Surveyor, Number 23-0081 04/14/2023

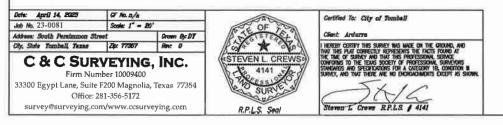


SIGN EASEMENT Page 5 of 6

EXHIBIT B - SIGNAGE EASEMENT: SURVEY/PLAT

Notes CURVE IRADIUS ARC LENGTH ICHORD LENGTH ICHORD BEARING IDELTA ANGLE C1 11040.00' 1105.75' 1105.76' IS 44'09'59' E 15'49'33' Basis of bearings: Recorded Plat
 Easements and building lines as shown are per the recorded plat. 3. Survey performed without the benefit of a This property lies within ZONE 'X' as SCALED Title Commilment from FEMA Map Panel Number 48201C0230L, dated June 18, 2007. THIS MEANS THAT THE SUBJECT PROPERTY SCALES OUTSIDE THE 100 YEAR FLOOD PLAIN. This determination is made strictly according to the FEMA Maps and does not reflect actual on ground flood conditions, Furthermore, this company takes no responsibility for such. SOUTH PERSIAMON STREET Monument to be set Found fron Rod w/ Survey Cap PART OF z LOT 4 02.10,41" *0.00 0.119 ACRE (5,183 SQ. FT.) LOT 4 Point of 2021-659803 Beginning PROPOSED ≤ Monumen to be set Shilles 10 W 100.00 ROVED Tomball Business and MAINTENANCE Technology Park 149.28' EASEMENT Section 2 Monument to be set 238.16 C Found Iron Rod w/ Survey Cap Proposed Maintenance Easement being a part of Lot Four (4), in of TOMBALL BUSINESS AND TECHNOLOGY PARK, Section 2, a subdivision in Harris County, Texas, according to the map or plat thereof, recorded in 2021-659803, of the Real Property Records of Harris County, Texas, situated

in the Jesse Pruitt Survey, A-629.



Item 14.

Item 14.

RP-2023-164663 # Pages 7 05/08/2023 09:03 AM e-Filed & e-Recorded in the Official Public Records of HARRIS COUNTY TENESHIA HUDSPETH COUNTY CLERK Fees \$38.00

RECORDERS MEMORANDUM This instrument was received and recorded electronically and any blackouts, additions or changes were present at the time the instrument was filed and recorded.

Any provision herein which restricts the sale, rental, or use of the described real property because of color or race is invalid and unenforceable under federal law. THE STATE OF TEXAS COUNTY OF HARRIS I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me; and was duly RECORDED in the Official Public Records of Real Property of Harris County, Texas.



I eneshin Hudgeth

COUNTY CLERK HARRIS COUNTY, TEXAS

THE STATE OF TEXAS

COUNTY OF HARRIS

Im Courtesu STEWART TITLE /48/

KNOW ALL MEN BY THESE PRESENTS:

SIGN EASEMENT

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SIGN EASEMENT Page 1 of 6



