

**NOTICE OF REGULAR TOMBALL ECONOMIC DEVELOPMENT  
CORPORATION MEETING**



**Tuesday, August 08, 2023  
5:30 PM**

Notice is hereby given of a meeting of the Tomball Economic Development Corporation, to be held on Tuesday, August 08, 2023 at 5:30 PM, City Hall, 401 Market Street, Tomball, TX 77375, for the purpose of considering the following agenda items. All agenda items are subject to action. The Tomball Economic Development Corporation reserves the right to meet in a closed session for consultation with attorney on any agenda item should the need arise and if applicable pursuant to authorization by Title 5, Chapter 551, of the Texas Government Code.

**THE TOMBALL ECONOMIC DEVELOPMENT CORPORATION OF THE CITY OF TOMBALL, TEXAS, WILL CONDUCT THE MEETING SCHEDULED FOR AUGUST 8, 2023, 5:30 PM, AT 401 MARKET STREET, TOMBALL, TEXAS, 77375. THIS MEETING AGENDA AND THE AGENDA PACKET ARE POSTED ONLINE AT:**

**<HTTPS://TOMBALLTX.GOV/ARCHIVE.ASPX?AMID=38>**

**A RECORDING OF THE MEETING WILL BE MADE AND WILL BE AVAILABLE TO THE PUBLIC IN ACCORDANCE WITH THE OPEN MEETINGS ACT UPON WRITTEN REQUEST.**

The public toll-free dial-in numbers to participate in the telephonic meeting are any one of the following (dial by your location): +1 312 626 6799 US (Chicago); +1 646 876 9923 US (New York); +1 301 715 8592 US; +1 346 248 7799 US (Houston); +1 408 638 0968 US (San Jose); +1 669 900 6833 US (San Jose); or +1 253 215 8782 US (Tahoma) - Meeting ID: 878 6412 6638 Passcode: 148233. The public will be permitted to offer public comments telephonically, as provided by the agenda and as permitted by the presiding officer during the meeting.

- A. Invocation
- B. Pledges
- C. Public Comments and Receipt of Petitions; *[At this time, anyone will be allowed to speak on any matter other than personnel matters or matters under litigation, for length of time not to exceed three minutes. No Council/Board discussion or action may take place on a matter until such matter has been placed on an agenda and posted in accordance with law - GC, 551.042.]*

D. Reports and Announcements

E. Reports by TEDC Staff:

1. Texas Economic Development Council 2023 Workforce Excellence Award – P-TECH Program
2. Summer 2023 Quarterly Newsletter
3. 2023 Economic Outlook Luncheon Save the Date – October 18, 2023 – 11:00 a.m. – 1:00 p.m.

F. Approval of Minutes

4. Regular Tomball EDC Meeting of May 9, 2023.

G. New Business

5. Presentation by Katherine Tapscott, Finance Director, regarding the Tomball EDC 2022-2023 Fiscal Year financial statements.
6. Consideration and possible action by Tomball EDC to approve a request by GK Hospitality Development LLC., for a one-year extension of time in order to complete the construction of a 6,580 square-foot commercial building and gasoline facility located near the northwest corner of FM 2920 and State Highway 249, Tomball, Texas 77375.
7. Consideration and possible action by Tomball EDC to approve a request by Houston Poly Bag I, Ltd. for a one-year extension of time in order to complete the construction of a 41,000 square-foot warehouse facility and make other capital improvements located at 11726 Holderrieth Road, Tomball, Texas 77375.
8. Presentation by Kelly Violette, Executive Director, regarding Old Town Tomball project updates.
9. The Tomball Economic Development Corporation will enter into a Workshop Session to discuss the Fiscal Year 2023-2024 Tomball Economic Development Corporation Budget.
10. EXECUTIVE SESSION: The Tomball Economic Development Corporation Board will meet in Executive Session as authorized by Title 5, Chapter 551, Texas Government Code, The Texas Open Meetings Act, for the following purpose:

## Regular Tomball Economic Development Corporation Meeting

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- Section 551.072, - Deliberations regarding real property: Deliberate the purchase, exchange, sale, lease, or value of real property.
  - Section 551.087, - Deliberation regarding Economic Development negotiations.
  - Section 551.074, - To deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee, to wit: the Executive Director and Staff.
11. Reconvene into regular session and take action, if necessary, on items discussed in Executive Session.
  12. Consideration and possible action by Tomball EDC to approve the Tomball Economic Development Corporation Fiscal Year 2023-2024 Budget.
    - Public Hearing
  13. Consideration and possible action by Tomball EDC to approve out-of-state travel for FY 2023-2024 for TEDC Staff to attend conferences and trainings for professional and business development purposes.
  14. Consideration and possible action by Tomball EDC to authorize the Executive Director to negotiate and approve a construction contract for the Tomball Business & Technology Park North Signage and Fencing Project with Texas Wall & Landscape, LLC in an amount not to exceed \$391,000.00.

### H. Adjournment

### CERTIFICATION

I hereby certify that the above notice of meeting was posted on the bulletin board of City Hall, City of Tomball, Texas, a place readily accessible to the general public at all times, on the 4th day of August 2023 by 5:30 PM, and remained posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kelly Violette  
Executive Director

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at (281) 290-1002 or FAX (281) 351-6256 for further information.

AGENDAS MAY BE VIEWED ONLINE AT [www.ci.tomball.tx.us](http://www.ci.tomball.tx.us).



# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

**Topic:**

Texas Economic Development Council 2023 Workforce Excellence Award – P-TECH Program

**Background:**

**Origination:**

**Recommendation:**

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: \_\_\_\_\_ No: \_\_\_\_\_

If yes, specify Account Number: # \_\_\_\_\_

If no, funds will be transferred from account # \_\_\_\_\_

To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC Date

Approved by \_\_\_\_\_  
Executive Director-TEDC Date

# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

**Topic:**

Summer 2023 Quarterly Newsletter

**Background:**

**Origination:**

**Recommendation:**

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: \_\_\_\_\_ No: \_\_\_\_\_ If yes, specify Account Number: # \_\_\_\_\_

If no, funds will be transferred from account # \_\_\_\_\_ To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC Date

Approved by \_\_\_\_\_  
Executive Director-TEDC Date

# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

**Topic:**

2023 Economic Outlook Luncheon Save the Date – October 18, 2023 – 11:00 a.m. – 1:00 p.m.

**Background:**

**Origination:**

**Recommendation:**

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: \_\_\_\_\_ No: \_\_\_\_\_

If yes, specify Account Number: # \_\_\_\_\_

If no, funds will be transferred from account # \_\_\_\_\_ To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC Date

Approved by \_\_\_\_\_  
Executive Director-TEDC Date

# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

**Topic:**

Regular Tomball EDC Meeting of May 9, 2023

**Background:**

**Origination:** Kelly Violette, Executive Director

**Recommendation:**

Approval of the Minutes for the Meeting of May 9, 2023

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: \_\_\_\_\_ No: \_\_\_\_\_ If yes, specify Account Number: # \_\_\_\_\_

If no, funds will be transferred from account # \_\_\_\_\_ To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC Date

Approved by \_\_\_\_\_  
Executive Director-TEDC Date



**NOTICE OF REGULAR TOMBALL ECONOMIC DEVELOPMENT  
CORPORATION MEETING**



**Tuesday, May 09, 2023  
5:30 PM**

Notice is hereby given of a meeting of the Tomball Economic Development Corporation, to be held on Tuesday, May 09, 2023 at 5:30 PM, City Hall, 401 Market Street, Tomball, TX 77375, for the purpose of considering the following agenda items. All agenda items are subject to action. The Tomball Economic Development Corporation reserves the right to meet in a closed session for consultation with attorney on any agenda item should the need arise and if applicable pursuant to authorization by Title 5, Chapter 551, of the Texas Government Code.

**THE TOMBALL ECONOMIC DEVELOPMENT CORPORATION OF THE CITY OF TOMBALL, TEXAS, WILL CONDUCT THE MEETING SCHEDULED FOR MARCH 7, 2023 5:30 PM, AT 401 MARKET STREET, TOMBALL, TEXAS, 77375. THIS MEETING AGENDA AND THE AGENDA PACKET ARE POSTED ONLINE AT:**

**<HTTPS://TOMBALLTX.GOV/ARCHIVE.ASPX?AMID=38>**

**A RECORDING OF THE MEETING WILL BE MADE AND WILL BE AVAILABLE TO THE PUBLIC IN ACCORDANCE WITH THE OPEN MEETINGS ACT UPON WRITTEN REQUEST.**

The public toll-free dial-in numbers to participate in the telephonic meeting are any one of the following (dial by your location): +1 312 626 6799 US (Chicago); +1 646 876 9923 US (New York); +1 301 715 8592 US; +1 346 248 7799 US (Houston); +1 408 638 0968 US (San Jose); +1 669 900 6833 US (San Jose); or +1 253 215 8782 US (Tahoma) - Meeting ID: 836 9467 2480 Passcode: 437550. The public will be permitted to offer public comments telephonically, as provided by the agenda and as permitted by the presiding officer during the meeting.

**A. Call to Order**

President Fagan called the meeting to order at 5:30 p.m.

**PRESENT**

President Gretchen Fagan  
Secretary Bill Sumner  
Member Lisa Covington  
Member Chad Degges

ABSENT

Vice-President Steven Vaughan  
Treasurer Richard Bruce  
Member Clete Jaeger

OTHERS PRESENT

Kelly Violette  
Tiffani Wooten  
Tori Gleason  
McKayley Dannelley  
Tom Condon  
Kyle Bertrand  
Ross Winkler  
Aaron Farmer  
Katherine Tapscott  
Kaela Olson (via Zoom)

B. Invocation

Board Member Degges led the invocation.

C. Pledges

Kelly Violette led the pledge of allegiance to both flags.

D. Public Comments and Receipt of Petitions; *[At this time, anyone will be allowed to speak on any matter other than personnel matters or matters under litigation, for length of time not to exceed three minutes. No Council/Board discussion or action may take place on a matter until such matter has been placed on an agenda and posted in accordance with law - GC, 551.042.]*

No public comments were received.

E. Reports and Announcements

F. Reports by TEDC Staff:

Kelly Violette provided an overview of the following:

1. Spring 2023 Quarterly Newsletter
2. National Economic Development Week – May 8-12, 2023

G. Approval of Minutes

Motion made by Secretary Sumner, Seconded by Member Covington.

Voting Yea: President Fagan, Secretary Sumner, Member Degges, Member Covington

The motion carried unanimously.

3. Regular Tomball EDC Meeting of March 7, 2023

4. Special Tomball EDC Meeting of April 6, 2023

H. New Business

- 5. Presentation by Katherine Tapscott, Finance Director, regarding the Tomball EDC 2022-2023 Fiscal Year financial statements.

Presentation item only; no Board action required.

- 6. Presentation by Aaron Farmer, President, The Retail Coach, regarding the Tomball Retail Market.

Presentation item only; no Board action required.

- 7. Consideration and possible action by Tomball EDC to accept the Tomball Economic Development Corporation 2022-2023 Annual Report.

Motion made by Secretary Sumner, Seconded by Member Degges.

Voting Yea: President Fagan, Secretary Sumner, Member Degges, Member Covington

The motion carried unanimously.

- 8. Consideration and possible action by Tomball EDC to approve the Tomball Economic Development Corporation 2023-2024 Strategic Work Plan.

Motion made by Treasurer Bruce, Seconded by Member Jaeger.

Voting Yea: President Fagan, Secretary Sumner, Member Degges, Member Covington

The motion carried unanimously.

- 9. Discussion regarding parking lot signage for First Baptist Church property.

- 10. EXECUTIVE SESSION: The Tomball Economic Development Corporation Board will meet in Executive Session as authorized by Title 5, Chapter 551,

Texas Government Code, The Texas Open Meetings Act, for the following purpose:

- Section 551.072, - Deliberations regarding real property: Deliberate the purchase, exchange, sale, lease, or value of real property.
- Section 551.087, - Deliberation regarding Economic Development negotiations.

The Tomball Economic Development Corporation Board of Directors recessed at 7:09 p.m.

11. Reconvene into regular session and take action, if necessary, on items discussed in Executive Session.

The Tomball Economic Development Corporation Board of Directors reconvened at 7:26 p.m.

Motion made by Secretary Sumner, Seconded by Member Degges to ratify approval of a commercial real estate contract – unimproved property between the Corporation as Seller and Mero Homes, LLC and/or assigns as purchaser and authorize the execution of contracts and documentation by the EDC Executive Director relating to approximately 2.6727 gross acres of land identified as Lot 1, Block 1, of the Tomball Business and Technology Park Section 2.

Voting Yea: President Fagan, Secretary Sumner, Member Degges, Member Covington

The motion carried unanimously.

I. Adjournment

Motion made by Secretary Sumner, Seconded by Member Covington.

Voting Yea: President Fagan, Secretary Sumner, Member Degges, Member Covington

The motion carried unanimously. Meeting adjourned at 7:27 p.m.

**CERTIFICATION**

I hereby certify that the above notice of meeting was posted on the bulletin board of City Hall, City of Tomball, Texas, a place readily accessible to the general public at all times, on the 5th day of MAY 2023 by 5:30 PM, and remained posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kelly Violette  
Executive Director

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary’s office at (281) 290-1002 or FAX (281) 351-6256 for further information.

AGENDAS MAY BE VIEWED ONLINE AT [www.ci.tomball.tx.us](http://www.ci.tomball.tx.us).

PASSED AND APPROVED this the 8th day of August 2023.

\_\_\_\_\_  
President, Tomball EDC Board

\_\_\_\_\_  
Secretary, Tomball EDC Board

# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

**Topic:**

Presentation by Katherine Tapscott, Finance Director, regarding the Tomball EDC 2022-2023 Fiscal Year financial statements.

**Background:**

- Standard Balance Sheet
- Comparison Balance Sheet
- Profit & Loss to Actual
- Comparison Profit & Loss
- Active Project Grants
- Analysis of Project Grants
- Quarterly Investment Report
- Business Improvement Grants Overview
- Old Town Façade Improvement Grants Overview

**Origination:** Katherine Tapscott, Finance Director

**Recommendation:** Presentation item only.

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: \_\_\_\_\_ No: \_\_\_\_\_ If yes, specify Account Number: # \_\_\_\_\_

If no, funds will be transferred from account # \_\_\_\_\_ To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC Date

Approved by \_\_\_\_\_  
Executive Director-TEDC Date

# TOMBALL ECONOMIC DEVELOPMENT CORPORATION MEMORANDUM

**TO:** TEDC Board of Directors

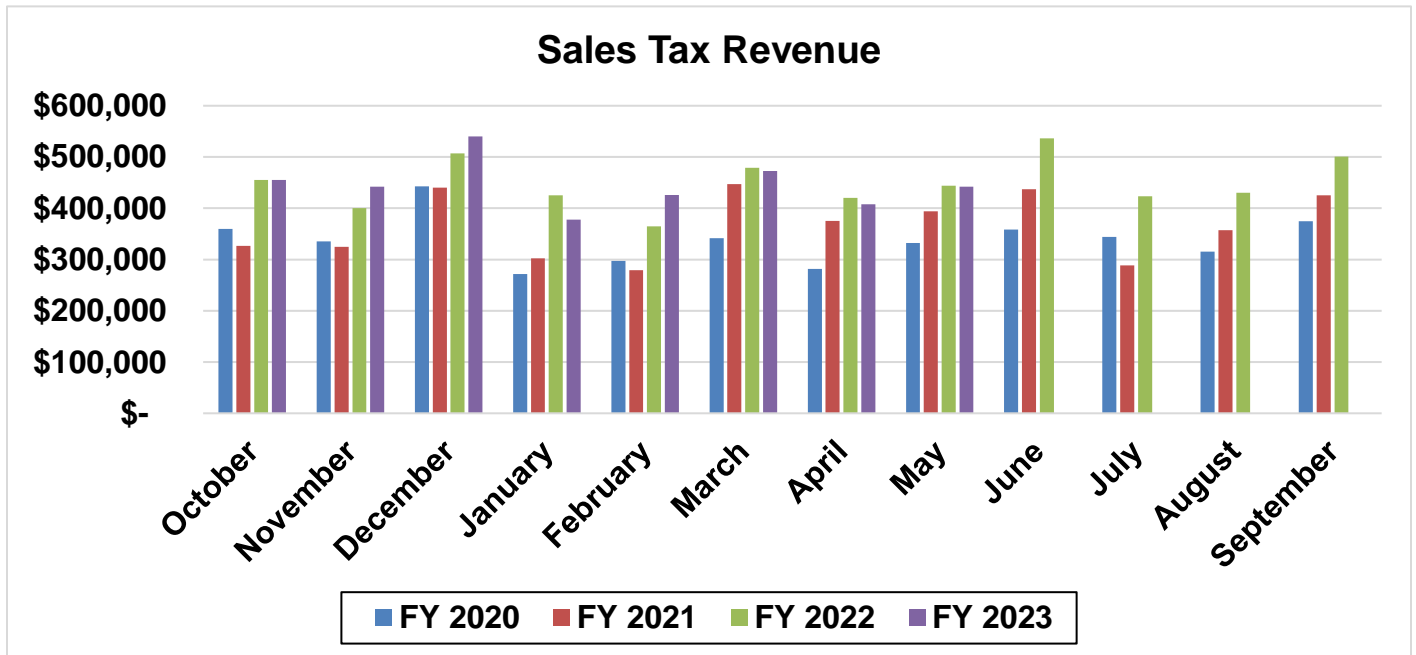
**FROM:** Katherine Tapscott, Finance Director

**SUBJECT:** Financial Information for Quarter Ending June 30, 2023

**DATE:** August 8, 2023

Attached is the financial information for the quarter ending June 30, 2023 for the Tomball Economic Development Corporation.

Total year-to-date (YTD) revenues were \$8,213,561, which was \$4,051,061 more than the budgeted amount of \$4,162,500. YTD sales tax revenues were \$3,563,032, which was \$261,968 less than the budgeted amount of \$3,825,000. The decrease is due to sales tax revenue including eight (8) months of sales tax collections, since the June sales tax allocation was not received as of the date of this report. For fiscal year to date, sales tax revenues were up 1.9% over the previous year on an accrual basis. Interest income was \$726,029, which was \$388,529 more than budget for the quarter YTD.



Total administrative expenses for the quarter YTD were \$515,003, which was \$92,786 less than the budgeted amount of \$607,789. Indirect Economic Development costs for the quarter YTD were \$385,429, which was \$157,545 less than the budgeted amount of \$542,974.

Included in the financial information is a schedule of active project grants, which assists with tracking of TEDC grant commitments. The schedule is updated as project grants are added and prior commitments are paid. As of June 30, 2023, the TEDC had outstanding commitments for Board Approved Grants of \$1,875,234.

The Quarterly Investment Report is also included, which lists the details of the TEDC’s investment portfolio. As of June 30, 2023, TEDC’s cash and cash equivalents totaled over \$19 million. Additionally, TEDC held securities with a total market value of \$3,078,092 as of June 30, 2023.

**Tomball Economic Development Corporation**  
**Profit & Loss Budget vs. Actual**  
 October 2022 through June 2023

	Oct '22 - Jun 23	Budget	\$ Over Budget	% of Budget
<b>Ordinary Income/Expense</b>				
<b>Income</b>				
Lease Revenue	210,419.85		210,419.85	100.0%
Sales of Business Park Property	3,714,078.99		3,714,078.99	100.0%
Sales Tax	3,563,032.49	5,100,000.00	-1,536,967.51	69.9%
Interest	726,029.32	450,000.00	276,029.32	161.3%
<b>Total Income</b>	<b>8,213,560.65</b>	<b>5,550,000.00</b>	<b>2,663,560.65</b>	<b>148.0%</b>
<b>Gross Profit</b>	<b>8,213,560.65</b>	<b>5,550,000.00</b>	<b>2,663,560.65</b>	<b>148.0%</b>
<b>Expense</b>				
<b>Administrative Expenditures</b>				
<b>Salaries and Benefits</b>				
Salary-Executive Director	118,461.73	165,926.00	-47,464.27	71.4%
Salary- Assistant Director	91,521.20	125,855.00	-34,333.80	72.7%
Salary-Coordinator	53,627.73	75,255.00	-21,627.27	71.3%
Wages-Admin. Asst.	31,443.59	55,000.00	-23,556.41	57.2%
Wages-Part Time		8,300.00	-8,300.00	
Overtime	62.56		62.56	100.0%
Benefits-Executive Director	44,457.19	50,113.00	-5,655.81	88.7%
Benefits- Assistant Director	40,139.15	50,910.00	-10,770.85	78.8%
Benefits-Coordinator	18,587.26	23,720.00	-5,132.74	78.4%
Benefits-Admin. Asst.	20,821.34	37,506.00	-16,684.66	55.5%
<b>Total Salaries and Benefits</b>	<b>419,121.75</b>	<b>592,585.00</b>	<b>-173,463.25</b>	<b>70.7%</b>
<b>Other Personnel Expenditures</b>				
Auto Allowance-Exec. Director	8,100.00	10,800.00	-2,700.00	75.0%
Auto Allowance-Assistant Dir	4,500.00	6,000.00	-1,500.00	75.0%
Phone Allow.-Exec. Dir.	675.00	900.00	-225.00	75.0%
Phone Allowance- Assistant Dir	675.00	900.00	-225.00	75.0%
Phone Allowance-Coordinator	675.00	900.00	-225.00	75.0%
Dues and Subscriptions	7,189.26	13,100.00	-5,910.74	54.9%
Local Travel Expense	256.73	500.00	-243.27	51.3%
Seminar/Conference Registration	6,682.50	18,000.00	-11,317.50	37.1%
Travel and Training	6,457.48	30,000.00	-23,542.52	21.5%
<b>Total Other Personnel Expenditures</b>	<b>35,210.97</b>	<b>81,100.00</b>	<b>-45,889.03</b>	<b>43.4%</b>
<b>Service and Supply Expenditures</b>				
Insurance	1,782.50	18,000.00	-16,217.50	9.9%
Contract Administrative Service	18,750.00	25,000.00	-6,250.00	75.0%
Bank Charges & Postage	55.83	3,500.00	-3,444.17	1.6%
Computer Equip. and Maint.	4,461.19	10,000.00	-5,538.81	44.6%
Communications Services	3,376.89	5,200.00	-1,823.11	64.9%
Legal Fees	7,491.00	40,000.00	-32,509.00	18.7%
Lease Expense-GTACC	20,168.71	25,000.00	-4,831.29	80.7%
Office Supplies	4,583.82	10,000.00	-5,416.18	45.8%
<b>Total Service and Supply Expenditures</b>	<b>60,669.94</b>	<b>136,700.00</b>	<b>-76,030.06</b>	<b>44.4%</b>
<b>Total Administrative Expenditures</b>	<b>515,002.66</b>	<b>810,385.00</b>	<b>-295,382.34</b>	<b>63.6%</b>



**Tomball Economic Development Corporation**  
**Profit & Loss Budget vs. Actual**  
 October 2022 through June 2023

	Oct '22 - Jun 23	Budget	\$ Over Budget	% of Budget
<b>Indirect Economic Development</b>				
Grow Tomball Initiative		20,000.00	-20,000.00	
Economic Impact Model License	4,561.00	4,565.00	-4.00	99.9%
Promotional Items	1,640.05	6,500.00	-4,859.95	25.2%
Printing	4,120.25	6,500.00	-2,379.75	63.4%
Event Sponsorships	12,518.66	29,000.00	-16,481.34	43.2%
Chamber Guide		8,400.00	-8,400.00	
Area Street Maps	3,875.00	4,000.00	-125.00	96.9%
Marketing	80,541.00	105,000.00	-24,459.00	76.7%
Website and GIS	8,100.00	25,000.00	-16,900.00	32.4%
Professional Services	265,186.45	500,000.00	-234,813.55	53.0%
Miscellaneous	4,886.46	15,000.00	-10,113.54	32.6%
<b>Total Indirect Economic Development</b>	<b>385,428.87</b>	<b>723,965.00</b>	<b>-338,536.13</b>	<b>53.2%</b>
<b>City Debt Service</b>				
Medical Complex/Persimmon	222,222.00	222,222.00		100.0%
Business Park Infrastructure	479,306.25	539,463.00	-60,156.75	88.8%
<b>Total City Debt Service</b>	<b>701,528.25</b>	<b>761,685.00</b>	<b>-60,156.75</b>	<b>92.1%</b>
<b>Grants, Loans &amp; Other Exp.</b>				
South Live Oak Redevelopment	63,025.63	5,000,000.00	-4,936,974.37	1.3%
Old Town Facade Grants- Prior Y	33,469.37	100,000.00	-66,530.63	33.5%
Old Town Facade Grants- Current		250,000.00	-250,000.00	
Business Park Expenses	66,573.26	300,000.00	-233,426.74	22.2%
Sales Tax Reimb.Grants (380)	70,129.55	70,000.00	129.55	100.2%
Business Imp. Grants- Prior Yr.	248,543.47	250,000.00	-1,456.53	99.4%
Business Imp. Grants- Curr. Yr.	84,766.13	350,000.00	-265,233.87	24.2%
Project Grants	1,987,761.56	2,500,000.00	-512,238.44	79.5%
Property Acquisition	4,635,759.50	5,000,000.00	-364,240.50	92.7%
<b>Total Grants, Loans &amp; Other Exp.</b>	<b>7,190,028.47</b>	<b>13,820,000.00</b>	<b>-6,629,971.53</b>	<b>52.0%</b>
<b>Total Expense</b>	<b>8,791,988.25</b>	<b>16,116,035.00</b>	<b>-7,324,046.75</b>	<b>54.6%</b>
<b>Net Ordinary Income</b>	<b>-578,427.60</b>	<b>-10,566,035.00</b>	<b>9,987,607.40</b>	<b>5.5%</b>
<b>Net Income</b>	<b>-578,427.60</b>	<b>-10,566,035.00</b>	<b>9,987,607.40</b>	<b>5.5%</b>

**Tomball Economic Development Corporation**  
**Profit & Loss Prev Year Comparison**  
**October 2022 through June 2023**

	Oct '22 - Jun 23	Oct '21 - Jun 22	\$ Change	% Change
<b>Ordinary Income/Expense</b>				
<b>Income</b>				
Lease Revenue	210,419.85	218,968.01	-8,548.16	-3.9%
Miscellaneous	0.00	1,264.55	-1,264.55	-100.0%
Sales of Business Park Property	3,714,078.99	1,646,929.61	2,067,149.38	125.5%
Grants	0.00	8,000.00	-8,000.00	-100.0%
Sales Tax	3,563,032.49	3,495,557.66	67,474.83	1.9%
Interest	726,029.32	248,487.37	477,541.95	192.2%
<b>Total Income</b>	<b>8,213,560.65</b>	<b>5,619,207.20</b>	<b>2,594,353.45</b>	<b>46.2%</b>
<b>Gross Profit</b>	<b>8,213,560.65</b>	<b>5,619,207.20</b>	<b>2,594,353.45</b>	<b>46.2%</b>
<b>Expense</b>				
<b>Administrative Expenditures</b>				
<b>Salaries and Benefits</b>				
Salary-Executive Director	118,461.73	97,071.66	21,390.07	22.0%
Salary- Assistant Director	91,521.20	66,303.34	25,217.86	38.0%
Salary-Coordinator	53,627.73	43,496.68	10,131.05	23.3%
Wages-Admin. Asst.	31,443.59	22,307.68	9,135.91	41.0%
Overtime	62.56	20.55	42.01	204.4%
Benefits-Executive Director	44,457.19	34,210.29	10,246.90	30.0%
Benefits- Assistant Director	40,139.15	35,297.55	4,841.60	13.7%
Benefits-Coordinator	18,587.26	16,225.64	2,361.62	14.6%
Benefits-Admin. Asst.	20,821.34	22,792.97	-1,971.63	-8.7%
<b>Total Salaries and Benefits</b>	<b>419,121.75</b>	<b>337,726.36</b>	<b>81,395.39</b>	<b>24.1%</b>
<b>Other Personnel Expenditures</b>				
Auto Allowance-Exec. Director	8,100.00	8,100.00	0.00	0.0%
Auto Allowance-Assistant Dir	4,500.00	4,500.00	0.00	0.0%
Phone Allow.-Exec. Dir.	675.00	675.00	0.00	0.0%
Phone Allowance- Assistant Dir	675.00	675.00	0.00	0.0%
Phone Allowance-Coordinator	675.00	0.00	675.00	100.0%
Dues and Subscriptions	7,189.26	9,101.79	-1,912.53	-21.0%
Local Travel Expense	256.73	72.22	184.51	255.5%
Seminar/Conference Registration	6,682.50	6,552.00	130.50	2.0%
Travel and Training	6,457.48	9,236.09	-2,778.61	-30.1%
<b>Total Other Personnel Expenditures</b>	<b>35,210.97</b>	<b>38,912.10</b>	<b>-3,701.13</b>	<b>-9.5%</b>
<b>Service and Supply Expenditures</b>				
Insurance	1,782.50	553.76	1,228.74	221.9%
Contract Administrative Service	18,750.00	18,750.00	0.00	0.0%
Bank Charges & Postage	55.83	1,825.55	-1,769.72	-96.9%
Computer Equip. and Maint.	4,461.19	3,072.44	1,388.75	45.2%
Communications Services	3,376.89	2,821.23	555.66	19.7%
Legal Fees	7,491.00	7,340.50	150.50	2.1%
Lease Expense-GTACC	20,168.71	18,887.65	1,281.06	6.8%
Office Supplies	4,583.82	2,821.69	1,762.13	62.5%
<b>Total Service and Supply Expenditures</b>	<b>60,669.94</b>	<b>56,072.82</b>	<b>4,597.12</b>	<b>8.2%</b>
<b>Total Administrative Expenditures</b>	<b>515,002.66</b>	<b>432,711.28</b>	<b>82,291.38</b>	<b>19.0%</b>

**Tomball Economic Development Corporation**  
**Profit & Loss Prev Year Comparison**  
**October 2022 through June 2023**

	Oct '22 - Jun 23	Oct '21 - Jun 22	\$ Change	% Change
<b>Indirect Economic Development</b>				
Economic Impact Model License	4,561.00	4,561.00	0.00	0.0%
Promotional Items	1,640.05	4,714.78	-3,074.73	-65.2%
Printing	4,120.25	691.00	3,429.25	496.3%
Event Sponsorships	12,518.66	6,560.00	5,958.66	90.8%
Area Street Maps	3,875.00	0.00	3,875.00	100.0%
Marketing	80,541.00	72,255.00	8,286.00	11.5%
Website and GIS	8,100.00	12,100.00	-4,000.00	-33.1%
Professional Services	265,186.45	206,627.93	58,558.52	28.3%
Miscellaneous	4,886.46	44,565.60	-39,679.14	-89.0%
<b>Total Indirect Economic Development</b>	<b>385,428.87</b>	<b>352,075.31</b>	<b>33,353.56</b>	<b>9.5%</b>
<b>City Debt Service</b>				
Medical Complex/Persimmon	222,222.00	222,222.00	0.00	0.0%
Business Park Infrastructure	479,306.25	473,356.25	5,950.00	1.3%
Southside Utility Ext.(2/15/22)	0.00	370,000.00	-370,000.00	-100.0%
<b>Total City Debt Service</b>	<b>701,528.25</b>	<b>1,065,578.25</b>	<b>-364,050.00</b>	<b>-34.2%</b>
<b>Grants, Loans &amp; Other Exp.</b>				
South Live Oak Redevelopment	63,025.63	58,697.52	4,328.11	7.4%
Old Town Facade Grants- Prior Y	33,469.37	88,357.85	-54,888.48	-62.1%
Business Park Expenses	66,573.26	84,950.27	-18,377.01	-21.6%
Sales Tax Reimb.Grants (380)	70,129.55	66,823.15	3,306.40	5.0%
Business Imp. Grants- Prior Yr.	248,543.47	111,689.96	136,853.51	122.5%
Business Imp. Grants- Curr. Yr.	84,766.13	71,150.45	13,615.68	19.1%
Project Grants	1,987,761.56	218,790.15	1,768,971.41	808.5%
Property Acquisition	4,635,759.50	0.00	4,635,759.50	100.0%
<b>Total Grants, Loans &amp; Other Exp.</b>	<b>7,190,028.47</b>	<b>700,459.35</b>	<b>6,489,569.12</b>	<b>926.5%</b>
<b>Total Expense</b>	<b>8,791,988.25</b>	<b>2,550,824.19</b>	<b>6,241,164.06</b>	<b>244.7%</b>
<b>Net Ordinary Income</b>	<b>-578,427.60</b>	<b>3,068,383.01</b>	<b>-3,646,810.61</b>	<b>-118.9%</b>
<b>Other Income/Expense</b>				
Other Income				
Other Income				
Unrealized Gains/Losses on Inv.	10,577.63	-363,455.06	374,032.69	102.9%
Other Income - Other	6,742.24	15,563.53	-8,821.29	-56.7%
<b>Total Other Income</b>	<b>17,319.87</b>	<b>-347,891.53</b>	<b>365,211.40</b>	<b>105.0%</b>
<b>Total Other Income</b>	<b>17,319.87</b>	<b>-347,891.53</b>	<b>365,211.40</b>	<b>105.0%</b>
<b>Net Other Income</b>	<b>17,319.87</b>	<b>-347,891.53</b>	<b>365,211.40</b>	<b>105.0%</b>
<b>Net Income</b>	<b>-561,107.73</b>	<b>2,720,491.48</b>	<b>-3,281,599.21</b>	<b>-120.6%</b>

**Tomball Economic Development Corporation**  
**Balance Sheet Prev Year Comparison**  
As of June 30, 2023

	Jun 30, 23	Jun 30, 22	\$ Change	% Change
<b>ASSETS</b>				
<b>Current Assets</b>				
<b>Checking/Savings</b>				
Wells Fargo, checking	186,879.05	168,478.39	18,400.66	10.9%
TexasCLASS	1,018,220.17	978,629.48	39,590.69	4.1%
TexPool	17,977,594.28	13,824,568.32	4,153,025.96	30.0%
<b>Total Checking/Savings</b>	19,182,693.50	14,971,676.19	4,211,017.31	28.1%
<b>Accounts Receivable</b>				
Lease Receivable	833,221.00	0.00	833,221.00	100.0%
Accounts Receivable - Other	593,813.04	369,373.39	224,439.65	60.8%
Accounts Receivable	452,328.65	454,171.01	-1,842.36	-0.4%
<b>Total Accounts Receivable</b>	1,879,362.69	823,544.40	1,055,818.29	128.2%
<b>Other Current Assets</b>				
Lease Interest Receivable	2,638.00	0.00	2,638.00	100.0%
Investment Securities	3,078,092.44	6,712,803.93	-3,634,711.49	-54.2%
<b>Total Other Current Assets</b>	3,080,730.44	6,712,803.93	-3,632,073.49	-54.1%
<b>Total Current Assets</b>	24,142,786.63	22,508,024.52	1,634,762.11	7.3%
<b>Fixed Assets</b>				
<b>Buildings and Improvements</b>				
Accumulated Depreciation	-525,593.38	-313,940.00	-211,653.38	-67.4%
Buildings and Improvements - Other	4,233,067.57	4,233,067.57	0.00	0.0%
<b>Total Buildings and Improvements</b>	3,707,474.19	3,919,127.57	-211,653.38	-5.4%
Land	3,573,659.34	3,871,114.37	-297,455.03	-7.7%
<b>Total Fixed Assets</b>	7,281,133.53	7,790,241.94	-509,108.41	-6.5%
<b>TOTAL ASSETS</b>	<b>31,423,920.16</b>	<b>30,298,266.46</b>	<b>1,125,653.70</b>	<b>3.7%</b>
<b>LIABILITIES &amp; EQUITY</b>				
<b>Liabilities</b>				
<b>Current Liabilities</b>				
Accounts Payable				
Accounts Payable	173,897.04	206,275.28	-32,378.24	-15.7%
<b>Total Accounts Payable</b>	173,897.04	206,275.28	-32,378.24	-15.7%

**Tomball Economic Development Corporation**  
**Balance Sheet Prev Year Comparison**  
As of June 30, 2023

	Jun 30, 23	Jun 30, 22	\$ Change	% Change
<b>Other Current Liabilities</b>				
Refundable Deposit	10,869.00	10,869.00	0.00	0.0%
<b>Total Other Current Liabilities</b>	10,869.00	10,869.00	0.00	0.0%
<b>Total Current Liabilities</b>	184,766.04	217,144.28	-32,378.24	-14.9%
<b>Long Term Liabilities</b>				
Deferred Inflows - Leases	811,840.00	0.00	811,840.00	100.0%
<b>Total Long Term Liabilities</b>	811,840.00	0.00	811,840.00	100.0%
<b>Total Liabilities</b>	996,606.04	217,144.28	779,461.76	359.0%
<b>Equity</b>				
Fund Balance				
Board Approved Grants	1,875,233.95	2,261,166.25	-385,932.30	-17.1%
Fund Balance - Other	28,862,353.24	24,848,629.79	4,013,723.45	16.2%
<b>Total Fund Balance</b>	30,737,587.19	27,109,796.04	3,627,791.15	13.4%
Retained Earnings	250,834.66	250,834.66	0.00	0.0%
Net Income	-561,107.73	2,720,491.48	-3,281,599.21	-120.6%
<b>Total Equity</b>	30,427,314.12	30,081,122.18	346,191.94	1.2%
<b>TOTAL LIABILITIES &amp; EQUITY</b>	<b>31,423,920.16</b>	<b>30,298,266.46</b>	<b>1,125,653.70</b>	<b>3.7%</b>

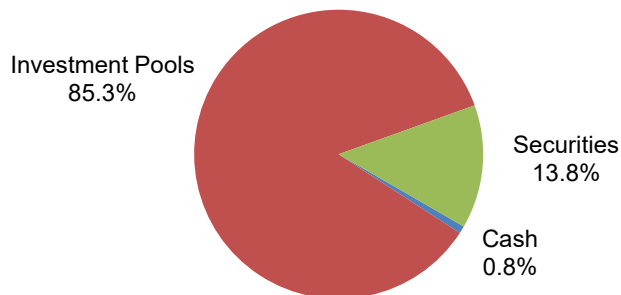
**TOMBALL ECONOMIC DEVELOPMENT CORPORATION**  
**ACTIVE PROJECT GRANTS (BOARD APPROVED GRANTS)**  
**AS OF JUNE 30, 2023**

GRANTEE	APPROVED		ADDITIONS/DELETIONS		PAID		REMAINING AMOUNT
	DATE	AMOUNT	EXPIRATION DATE	DATE	AMOUNT	AMOUNT	
Dancing Falls Development, LLC	11/14/2017	50,925.00			1/14/2020	15,277.50	
					3/5/2021	5,092.50	
					9/1/2021	12,731.25	
					3/22/2022	5,092.50	12,731.25
					12/14/2022	105,646.82	81,053.18
ARC Management, LLC	5/15/2018	186,700.00					135,591.00
JDR Cable Systems, Inc.	12/17/2019	135,591.00	2/23/2024				84,894.00
Houston Poly Bag I, Ltd	5/28/2020	84,894.00	8/3/2023				25,136.00
The Hutson Group	1/12/2021	48,800.00	3/9/2023		2/28/2023	23,664.00	71,181.00
Dicar, Inc.	7/13/2021	71,181.00	8/7/2023				8,236.00
Silver Accounting Group, LLC	11/9/2021	8,236.00	1/16/2023				20,529.00
TECHSICO Wireless	11/9/2021	20,529.00	1/16/2024				105,100.00
GK Hospitality Development, LLC	11/9/2021	105,100.00	7/16/2023				
Friends of Tomball Community Library	11/9/2021	47,614.00			1/11/2023	9,856.42	
					2/6/2023	14,748.42	
					3/28/2023	4,817.40	
					6/20/2023	2,455.34	15,736.42
Decatur Professional Development, LLC	1/11/2022	6,600.00	3/20/2023				6,600.00
Project Hanks/Macy's Inc.	1/11/2022	580,864.00	3/20/2024				580,864.00
Sip Hip Hooray	5/10/2022	40,545.00			10/11/2022	5,018.85	
					12/13/2022	4,633.23	
					1/10/2023	3,658.36	
					2/27/2023	5,875.01	
					5/16/2023	4,950.72	
					6/27/2023	5,216.73	11,192.10
Clearhope Counseling & Wellness Center, LP	8/2/2022	6,875.00	9/27/2023				6,875.00
Della Casa Pasta LLC	11/15/2022	16,077.00	1/10/2024				16,077.00
Persimmon Global Logistics	1/10/2023	16,920.00	3/11/2025				16,920.00
Hufsmith-Kohrville Business Park, LLC	1/10/2023	122,722.00	9/11/2024				122,722.00
Church Holdings, Inc.	1/10/2023	426,639.00	9/11/2024				426,639.00
BCS Tomball Main, LLC	1/10/2023	123,094.00	9/11/2024				123,094.00
STUDIO a28, LLC	1/10/2023	4,063.00	3/11/2024				4,063.00
<b>Total</b>		<b>\$ 3,818,969.00</b>				<b>\$ 1,952,669.85</b>	<b>\$ 1,875,233.95</b>

**TOMBALL ECONOMIC DEVELOPMENT CORPORATION**  
**QUARTERLY INVESTMENT REPORT**  
**June 30, 2023**

	Market Value		Change
	3/31/2023	6/30/2023	
Cash	\$ 585,145	\$ 186,879	\$ (398,266)
Investment Pools	19,880,156	18,995,814	(884,341)
Securities	4,344,456	3,078,092	(1,266,364)
<b>Total Portfolio</b>	<b>\$ 24,809,757</b>	<b>\$ 22,260,786</b>	<b>\$ (2,548,971)</b>

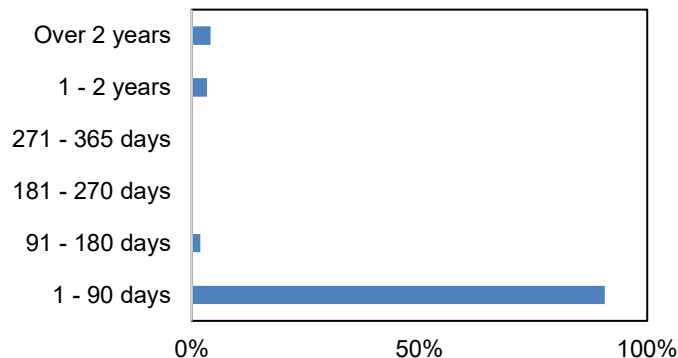
Diversification by Type



Safety of principal is the first priority of any Public investing portfolio. The Tomball Economic Development Corporation invests in securities of federal, state and local governments, and investment pools. These investments are in securities with a rating of A-1/P-1 or higher and pools with Standard & Poor's highest rating of AAAM.

	Current Market Value	Percent Portfolio
1 - 90 days	\$ 20,181,522	91%
91 - 180 days	417,664	2%
181 - 270 days	-	0%
271 - 365 days	-	0%
1 - 2 years	741,632	3%
Over 2 years	919,968	4%
<b>Total Portfolio</b>	<b>\$ 22,260,786</b>	

Diversification by Maturity



Ensuring adequate liquidity is available to cover all expenditures is the second priority of any public investing program. The Tomball Economic Development Corporation staff forecasts cash flow and matches the maturity of investments with future cash needs. A portion of funds are kept in overnight investments as a buffer for any unexpected expenditures. These overnight investments (TexPool, Texas CLASS) have been performing according to market in terms of yield as well as providing liquidity.

This report is in compliance with the investment strategies as approved and the Public Funds Investment Act.

Katherine Tapscott  
 Finance Director

**TOMBALL ECONOMIC DEVELOPMENT CORPORATION  
INVESTMENTS IN SECURITIES  
PORTFOLIO AS OF JUNE 30, 2023**

SECURITY DESCRIPTION	CUSIP NUMBER	MATURITY DATE	COUPON YIELD	PAR VALUE	MARKET VALUE	DAYS AFTER 06/30/23	INDIVIDUAL MARKET VALUE/TOTAL	WAM DAYS x PERCENT	Callable
1 San Marcos TX Consol ISD Txbl Ref	798781XV7	8/1/2023	4.000%	\$ 1,000,000	\$ 998,829	32	32.45%	10	N
2 Conroe TX Cert of Obl	2083992X2	11/15/2023	5.000%	\$ 415,000	\$ 417,664	138	13.57%	19	N
3 Royse City Tx Cert of Obl	780860MK5	8/15/2024	5.000%	\$ 250,000	\$ 255,012	412	8.28%	34	N
4 Texas State TXBL- Pub Fin Auth	882724GV3	10/1/2024	3.225%	\$ 500,000	\$ 486,619	459	15.81%	73	N
5 Federal Home Loan Bank	3130AMTK8	6/30/2025	1.000%	\$ 1,000,000	\$ 919,968	731	29.89%	218	Y
<b>TOTAL</b>			<b>3.645%</b>	<b>\$ 3,165,000</b>	<b>\$ 3,078,092</b>	<b>354</b>	<b>100.00%</b>	<b>354</b>	



**TOMBALL ECONOMIC DEVELOPMENT CORPORATION  
CASH AND CASH EQUIVALENTS  
FOR QUARTER ENDING  
June 30, 2023**

<b>FUNDS</b>	<b>CASH AND CASH EQUIVALENTS</b>				<b>INVESTMENTS</b>	
<b>MAJOR FUNDS</b>	<b>TEXAS CLASS</b>	<b>TEXPOOL</b>	<b>OPERATING ACCOUNTS</b>	<b>TOTAL CASH AND CASH EQUIVALENTS</b>	<b>TOTAL INVESTMENTS</b>	<b>TOTAL CASH, CASH EQUIVALENTS AND INVESTMENTS</b>
General	\$ 1,018,220	\$ 17,977,594	\$ 186,879	\$ 19,182,694	\$ 3,078,092	\$ 22,260,786
<b>TOTAL</b>	<b>\$ 1,018,220</b>	<b>\$ 17,977,594</b>	<b>\$ 186,879</b>	<b>\$ 19,182,694</b>	<b>\$ 3,078,092</b>	<b>\$ 22,260,786</b>

## Business Improvement Grant Program

<b>Fiscal 2022-2023</b>	<b>Project Amount</b>		<b>TEDC Grant</b>	<b>Date Approved</b>	<b>Date Funded</b>	<b>Amount Funded</b>	<b>\$350,000.00</b>
BK Graham, Ltd	\$30,000.00	Property	\$10,000.00	10/18/2022			\$340,000.00
Ideaco Investments, LLC	\$4,375.00	Façade	\$2,187.50	11/2/2022			\$337,812.50
Ideaco Investments, LLC	\$19,400.00	Property	\$9,700.00	11/2/2022			\$328,112.50
CKM Property Management, Inc.	\$2,170.42	Signage	\$1,085.21	11/9/2022	5/9/2023	\$566.44	\$327,027.29
KJ FIVE, LLC	\$9,173.26	Façade	\$4,586.63	11/9/2022	1/30/2023	\$3,760.05	\$322,440.66
KJ FIVE, LLC	\$1,135.67	Property	\$567.83	11/9/2022	1/30/2023	\$567.83	\$321,872.83
KJ FIVE, LLC	\$5,372.73	Landscape	\$2,686.36	11/22/2022	1/30/2023	\$2,497.23	\$319,186.47
Manna Bread from Heaven	\$2,625.00	Signage	\$1,312.50	11/22/2022	2/6/2023		\$317,873.97
Manna Bread from Heaven	\$15,025.00	Façade	\$7,512.50	11/22/2022	2/6/2023	\$7,512.50	\$310,361.47
Manna Bread from Heaven	\$20,794.44	Landscape	\$10,000.00	11/22/2022	2/6/2023	\$3,369.72	\$300,361.47
Manna Bread from Heaven	\$35,850.00	Property	\$10,000.00	11/22/2022	2/6/2023	\$5,845.83	\$290,361.47
Coats Orthodontics	\$2,868.63	Signage	\$1,434.31	11/22/2022	1/13/2023	\$1,434.31	\$288,927.16
The Bluebonnet Tasting Room	\$16,190.00	Façade	\$8,095.00	11/22/2022	12/22/2022	\$8,095.00	\$280,832.16
The Bluebonnet Tasting Room	\$7,700.00	Property	\$3,850.00	11/22/2022			\$276,982.16
The Bluebonnet Tasting Room	\$625.00	Landscape	\$312.50	11/28/2022	12/14/2022	\$312.50	\$276,669.66
The Bluebonnet Tasting Room	\$2,576.35	Signage	\$1,000.00	11/28/2022	3/2/2023	\$1,000.00	\$275,669.66
Bella Antiques, LLC	\$1,017.55	Signage	\$508.77	11/28/2022			\$275,160.89
The Covey Apparel Company, LLC	\$11,846.00	Façade	\$5,923.00	11/30/2022			\$269,237.89
The Covey Apparel Company, LLC	\$6,722.33	Signage	\$2,500.00	11/30/2022	4/4/2023	\$1,399.50	\$266,737.89
Texas Star Gymnastics	\$1,126.95	Property	\$563.47	12/27/2022	1/30/2023	\$563.47	\$266,174.42
Jonah's Movers, LLC	\$72,214.36	Property	\$10,000.00	1/10/2023	6/27/2023	\$10,000.00	\$256,174.42
Jonah's Movers, LLC	\$14,765.30	Signage	\$1,000.00	1/10/2023	6/27/2023	\$1,000.00	\$255,174.42
BCS Tomball Main, LLC	\$100,625.00	Property	\$10,000.00	1/26/2023			\$245,174.42
Khurram Hafiz	\$2,200.00	Property	\$1,100.00	1/26/2023	3/13/2023	\$1,100.00	\$244,074.42
Texas Professional Building	\$137,430.95	Property	\$10,000.00	3/15/2023	6/14/2023	\$10,000.00	\$234,074.42
SWRT Group, Inc.	\$1,306.60	Signage	\$653.30	3/28/2023			\$233,421.12
Tubular Products of Texas, Inc.	\$1,306.60	Signage	\$653.30	3/28/2023			\$232,767.82
Heritage Films, LLC	\$1,306.60	Signage	\$653.30	3/28/2023			\$232,114.52
Gatewood & Associates	\$1,306.60	Signage	\$653.30	3/28/2023			\$231,461.22
Matthew J Coats, DDS, MS, PC	\$1,306.60	Signage	\$653.30	3/28/2023			\$230,807.92
1 Top Tool	\$25,880.00	Façade	\$10,000.00	3/28/2023			\$220,807.92
Hilltop Tool Rental	\$20,220.00	Property	\$10,000.00	3/28/2023			\$210,807.92
The Nook Grill	\$15,485.00	Façade	\$7,742.50	3/30/2023	6/6/2023	\$7,742.50	\$203,065.42
Pathway Counseling Services	\$1,306.60	Signage	\$653.30	4/4/2023			\$202,412.12
Beefy Marketing	\$1,306.60	Signage	\$653.30	4/4/2023			\$201,758.82
CORE Integrated Wealth	\$1,306.60	Signage	\$653.30	4/4/2023			\$201,105.52
403, LLC	\$205,390.19	MEGA	\$50,000.00	4/12/2023			\$151,105.52

Bluebonnet Therapy Services, PLLC	\$1,306.60	Signage	\$653.30	4/12/2023			\$150,452.22
Goodson's Café	\$7,395.50	Signage	\$2,500.00	4/12/2023			\$147,952.22
ADIM Media, LLC	\$1,306.60	Signage	\$653.30	4/13/2023			\$147,298.92
The Hutson Group (307 W Main)	\$19,590.00	Property	\$9,795.00	4/18/2023			\$137,503.92
70/70 Offices, LLC	\$28,620.00	Landscape	\$10,000.00	4/18/2023	6/6/2023	\$10,000.00	\$127,503.92
Willow Wellness, PLLC	\$23,950.00	Property	\$10,000.00	4/18/2023	5/9/2023	\$10,000.00	\$117,503.92
Hufsmith Kohrville Business Park LLC	\$89,465.00	Landscape	\$10,000.00	5/10/2023			\$107,503.92
Hufsmith Kohrville Business Park LLC	\$67,555.00	Signage	\$1,000.00	5/10/2023			\$106,503.92
SWRT Group, Inc.	\$398.33	Façade	\$199.16	5/15/2023			\$106,304.76
Tubular Products of Texas, Inc.	\$398.33	Façade	\$199.16	5/15/2023			\$106,105.60
Heritage Films, LLC	\$398.33	Façade	\$199.16	5/15/2023			\$105,906.44
Gatewood & Associates	\$398.33	Façade	\$199.16	5/15/2023			\$105,707.28
Matthew J Coats, DDS, MS, PC	\$398.33	Façade	\$199.16	5/15/2023			\$105,508.12
Pathway Counseling Services	\$398.33	Façade	\$199.16	5/15/2023			\$105,308.96
Beefy Marketing	\$398.33	Façade	\$199.16	5/15/2023			\$105,109.80
CORE Integrated Wealth	\$398.33	Façade	\$199.16	5/15/2023			\$104,910.64
ADIM Media, LLC	\$398.33	Façade	\$199.16	5/15/2023			\$104,711.48
Persimmon Global Logistics	\$14,350.00	Property	\$7,175.00	5/18/2023			\$97,536.48
Persimmon Global Logistics	\$10,590.00	Landscape	\$5,295.00	5/18/2023			\$92,241.48
Holiday Inn Express & Suites	\$24,000.00	Façade	\$10,000.00	6/19/2023			\$82,241.48
The Nook Grill	\$2,200.00	Property	\$1,100.00	6/20/2023			\$81,141.48
SanRon Investments, LLC	\$32,200.00	Façade	\$10,000.00	6/28/2023			\$71,141.48
Holiday Inn Express & Suites	\$20,690.00	Property	\$10,000.00	6/28/2023			\$61,141.48
Holiday Inn Express & Suites	\$20,009.64	Landscaping	\$10,000.00	6/28/2023	7/11/2023	\$10,000.00	\$51,141.48

\$1,168,071.24

\$298,858.52

# Old Town Façade Improvement Grant Program

<b>Fiscal 2022-2023</b>	<b>Project Amount</b>	<b>Score</b>	<b>TEDC Grant</b>	<b>Date Approved</b>	<b>Date Funded</b>	<b>Amount Funded</b>	<b>\$250,000.00</b>
Grazeables, LLC	\$40,485.75	37	\$20,242.87	3/15/2023	7/5/2023	\$20,242.87	\$229,757.13
Sylvia's Wood Fire Pizza, LLC	\$95,105.97	46	\$47,552.98	6/28/2023			

- \$40,485.75

\$20,242.87

# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

**Topic:**

Consideration and possible action by Tomball EDC to approve a request by GK Hospitality Development LLC., for a one-year extension of time in order to complete the construction of a 6,580 square-foot commercial building and gasoline facility located near the northwest corner of FM 2920 and State Highway 249, Tomball, Texas 77375.

**Background:**

At its November 9, 2021 Special Joint Tomball EDC and Tomball B&TP POA Board Meeting, the TEDC Board of Directors approved an agreement with GK Hospitality. to expend funds, as a Project of the Corporation, for construction of a 6,580 square-foot commercial building and gasoline facility located near the northwest corner of FM 2920 and State Highway 249, Tomball, Texas 77375. The approved grant amount was not to exceed \$105,100.00 based upon 20% of the 5-year net benefit to the community.

The effective date of the original agreement was January 16, 2022, which was sixty (60) days after the first published notice of the Project, with an expiration date of July 16, 2023.

Ali Khan, Principal, GK Hospitality Development, LLC. has submitted a request for a one-year extension of the performance agreement. In the attached letter Mr. Khan indicated that the construction of the project has been delayed due to accessibility requirements to the building from Hwy 249 feeder road via a curb-cut from TxDot. The new requested expiration date is July 16, 2024.

**Origination:** Ali Khan, Principal, GK Hospitality Development, LLC

**Recommendation:** Staff recommends approval of the one-year time extension request.

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: X No: \_\_\_\_\_ If yes, specify Account Number: #Project Grants

If no, funds will be transferred from account # \_\_\_\_\_ To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC Date

Approved by \_\_\_\_\_  
Executive Director-TEDC Date



4606 FM 1960 W. Suite 640  
Houston, Texas 77069

# GK Hospitality Development, LLC

Dated: July 26, 2023

To:

Kelly Violette

Executive Director Tomball EDC

And to the esteemed members of the  
Board of Directors of Tomball Economic Development Corporation

Re: Extension of Infrastructure Grant Approved by Tomball EDC

Dear All,

We are formally requesting that the infrastructure grant allotted to GK Hospitality Development LLC to develop a 6580 Sq. Ft. commercial Building consisting of a Chevron Gasoline Station, Deli and Convenience Store with rental spaces located at the corner of Hwy 249 feeder and FM 2920 be extended for a period of at least 12 months.

We require this extended time to complete the accessibility requirements to the building/business site from Hwy 249 feeder road via a curb-cut from the Txdot authorities. The current owner of the land with whom we have a purchase agreement has now received a tentative approval but awaits a formal signed documents from Txdot.

We are making this request thru the good offices of Kelly Violette Executive Director of TEDC to present to the Board of Directors of Tomball EDC our desire for such extension.

Thank you.

Y. Ali Khan  
Principal  
GK Hospitality Development LLC  
713-703-4649



**AGREEMENT**

THE STATE OF TEXAS                   §  
  §       KNOW ALL MEN BY THESE PRESENTS:  
COUNTY OF HARRIS                   §

This Agreement (the "Agreement") is made and entered into by and between the **Tomball Economic Development Corporation**, an industrial development corporation created pursuant to Tex. Rev. Civ. Stat. Ann. Art. 5190.6, Section 4B, located in Harris County, Texas (the "TEDC"), and **GK Hospitality Development LLC**. (the "Company"), 4606 FM 1960 W. Suite 640, Houston, TX 77069.

**WITNESSETH:**

**WHEREAS**, it is the established policy of the TEDC to adopt such reasonable measures from time-to-time as are permitted by law to endeavor to attract industry, create and retain primary jobs, expand the growth of the City of Tomball (the "City"), and thereby enhance the economic stability and growth of the City; and

**WHEREAS**, the Company proposes to develop a .75-acre tract of land within the City, generally located near the northwest corner of FM 2920 and State Highway 249, Tomball, Texas 77375 (the "Property"), more particularly described in Exhibit "A," attached hereto and made a part hereof; and

**WHEREAS**, such development shall include the construction of a 6,580 square foot commercial building and gasoline facility with an estimated capital investment of Three Million Dollars (\$3,000,000) on the site, more particularly described in Exhibit "B," attached hereto and made a part hereof; and

**WHEREAS**, the Company also proposes to create nineteen (19) new full-time employment positions in Tomball within the first two years in conjunction with the opening of its business operations on the Property; and

**WHEREAS**, the TEDC agrees to provide to the Company the sum of One Hundred and Five Thousand One Hundred Dollars (\$105,100.00), or an amount equal to up to twenty percent (20%) of the actual construction costs if less than the sum stated above, to assist in the construction of infrastructure necessary to promote and develop new business enterprises on the Property. The infrastructure found by the Board of Directors of TEDC to be required to develop the Property are certain drainage facilities and related improvements, site improvements, water, sanitary sewer, gas, and electric utilities to the exterior of the buildings (the "Infrastructure Improvements"), identified and described in Exhibit "C," attached hereto and made a part hereof; and

**WHEREAS**, the Company has agreed, in exchange and as consideration for the funding, to satisfy and comply with certain terms and conditions; and

**NOW, THEREFORE**, in consideration of the premises and the mutual benefits and obligations set forth herein, including the recitals set forth above, the TEDC and the Company agree as follows:

1.

The Company covenants and agrees that it will construct and maintain on the Property a 6,580 square-foot commercial building and gasoline facility (the "Improvements") identified and described in Exhibit "B," attached hereto and made a part hereof. In conjunction with the development of the Property, the Company further agrees to construct the Improvements contemplated by this Agreement, in accordance with the requirements of the ordinances of the



## 5.

In consideration of the Company's representations, promises, and covenants, TEDC agrees to reimburse the Company for the actual cost of the Infrastructure Improvements up to the amount of One Hundred and Five Thousand One Hundred Dollars (\$105,000.00), or an amount equal to twenty percent (20%) of actual construction costs if less than the sum stated above upon completion of construction and occupancy of each commercial space. The TEDC agrees to reimburse the Company for such amount within thirty (30) days of receipt of a letter from the Company requesting such payment and including: (a) certification of the cost of constructing the Infrastructure Improvements; (b) a copy of the City's occupancy permit for the improvements to the Property; (c) certification that the Infrastructure Improvements have been constructed in accordance with the approved plans and specifications; (d) an affidavit stating that all contractors and subcontractors providing work and/or materials in the construction of the Improvements have been paid and any and all liens and claims regarding such work have been released; and (e) Proof of payment to all vendors, contractors and subcontractors providing work and/or materials in the construction of the Improvements, proof of payment must include copies of canceled checks and/or credit card receipts and copies of paid invoices from all vendors, contractors and subcontractors.

## 6.

It is understood and agreed by the parties that, in the event of a default by the Company on any of its obligations under this Agreement, the Company shall reimburse the TEDC the full amount paid to the Company by the TEDC, with interest at the rate equal to the 90-day Treasury Bill plus one-half percent ( $\frac{1}{2}\%$ ) per annum, within thirty (30) days after the TEDC notifies the

Company of the default. It is further understood and agreed by the parties that if the Company, or any owner or lessee of the Improvements, is convicted of a violation under 8 U.S.C. Section 1324a(f), the Company will reimburse the TEDC the full amount paid to the Company, with interest at the rate equal to the 90-day Treasury Bill plus one-half percent ( $\frac{1}{2}\%$ ) per annum, within thirty (30) days after the TEDC notifies the Company of the violation.

The Company shall also reimburse the TEDC for any and all reasonable attorney's fees and costs incurred by the TEDC as a result of any action required to obtain reimbursement of such funds. Such reimbursement shall be due and payable thirty (30) days after the Company receives written notice of default.

7.

This Agreement shall inure to the benefit of and be binding upon the TEDC and the Company, and upon the Company's successors and assigns, lessees, affiliates, and subsidiaries, and shall remain in force whether the Company sells, leases, assigns, or in any other manner disposes of, either voluntarily or by operation of law, all or any part of the Property and the agreements herein contained shall be held to be covenants running with the Property for so long as this Agreement, or any extension thereof, remains in effect.

8.

Any notice provided or permitted to be given under this Agreement must be in writing and may be served by (i) depositing the same in the United States mail, addressed to the party to be notified, postage prepaid, registered or certified mail, return receipt requested; or (ii) by delivering the same in person to such party; or (iii) by overnight or messenger delivery service that retains regular records of delivery and receipt; or (iv) by facsimile; provided a copy of such

notice is sent within one (1) day thereafter by another method provided above. The initial addresses of the parties for the purpose of notice under this Agreement shall be as follows:

If to City: Tomball Economic Development Corporation  
401 W. Market Street  
Tomball, Texas 77375  
Attn: President, Board of Directors

If to Company: GK Hospitality Development, LLC  
4606 FM 1960 W. Suite 640  
Houston, Texas 77069  
Attn: Ali Khan,  
Principal, GK Hospitality Development, LLC

9.

This Agreement shall be performable and enforceable in Harris County, Texas, and shall be construed in accordance with the laws of the State of Texas.

10.

Except as otherwise provided in this Agreement, this Agreement shall be subject to change, amendment or modification only in writing, and by the signatures and mutual consent of the parties hereto.

11.

The failure of any party to insist in any one or more instances on the performance of any of the terms, covenants or conditions of this Agreement, or to exercise any of its rights, shall not be construed as a waiver or relinquishment of such term, covenant, or condition, or right with respect to further performance.

12.


This Agreement shall bind and benefit the respective Parties and their legal successors and shall not be assignable, in whole or in part, by any party without first obtaining written consent of the other party.

13.

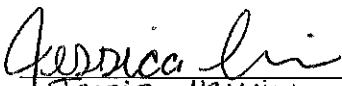
In the event any one or more words, phrases, clauses, sentences, paragraphs, sections, or other parts of this Agreement, or the application thereof to any person, firm, corporation, or circumstance, shall be held by any court of competent jurisdiction to be invalid or unconstitutional for any reason, then the application, invalidity or unconstitutionality of such words, phrases, clauses, sentences, paragraphs, sections, or other parts of this Agreement shall be deemed to be independent of and severable from the remainder of this Agreement, and the validity of the remaining parts of this Agreement shall not be affected thereby.

IN TESTIMONY OF WHICH, THIS AGREEMENT has been executed by the parties on this 16<sup>th</sup> day of January 2022 (the "Effective Date").


**GK Hospitality Development, LLC.**

By:   
Name: Ali Khan  
Title: Principal

ATTEST:

By:   
Name: Jessica Irwin  
Title: Admin. Assistant


**TOMBALL ECONOMIC DEVELOPMENT CORPORATION**

By: 

Name: \_\_\_\_\_

Title: President, Board of Directors

ATTEST:

By: 

Name: \_\_\_\_\_

Title: Secretary, Board of Directors

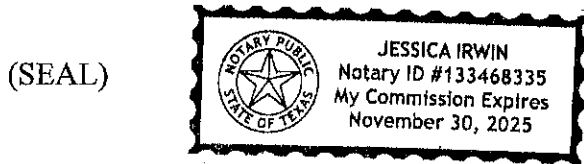
ACKNOWLEDGMENT

THE STATE OF TEXAS §  
§  
COUNTY OF HARRIS §

This instrument was acknowledged before me on the 31 day of January 2022, by Ali Khan, Principle, GK Hospitality Development, LLC. for and on behalf of said company.

Jessica Irwin  
Notary Public in and for the State of Texas

My Commission Expires: 11/30/2025



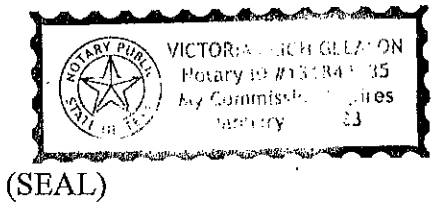
ACKNOWLEDGMENT

THE STATE OF TEXAS §  
§  
COUNTY OF HARRIS §

This instrument was acknowledged before me on the 9<sup>th</sup> day of November 2021, by Victoria Rich Gellison, President of the Board of Directors of the Tomball Economic Development Corporation, for and on behalf of said Corporation.

Victoria Rich Gellison  
Notary Public in and for the State of Texas

My Commission Expires: 01/04/2023



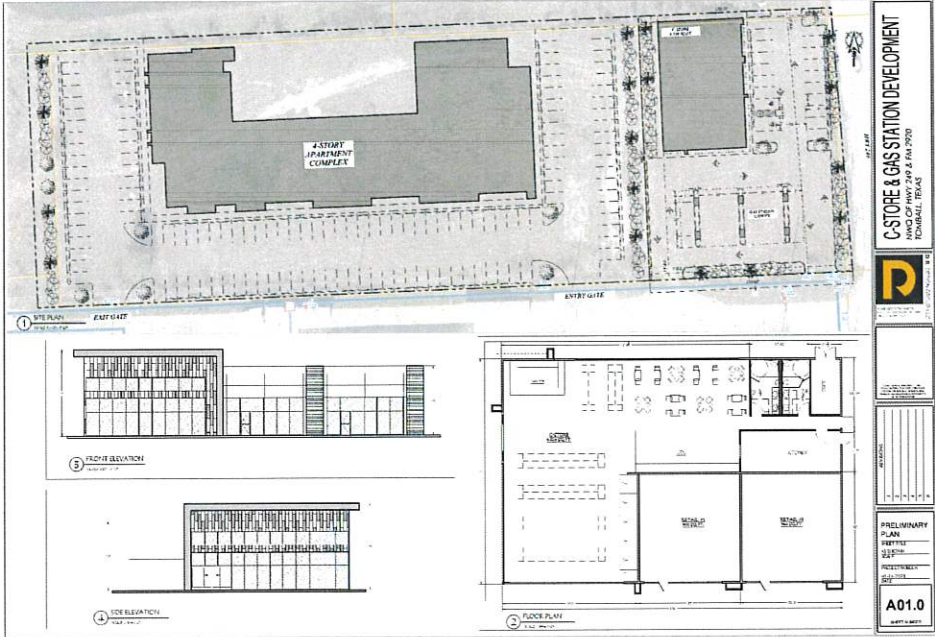
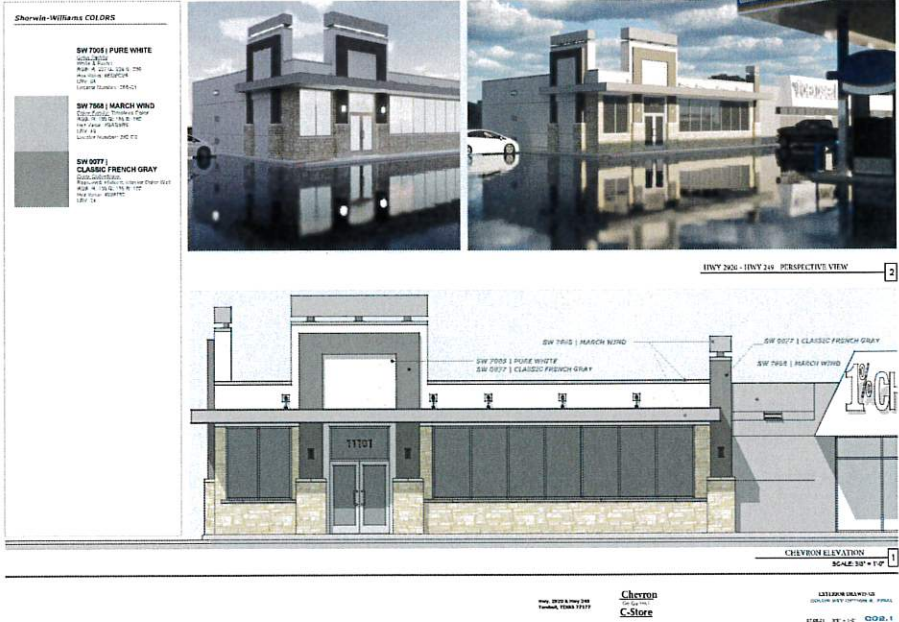
**Exhibit A**  
**Legal Description of Property**

0.75 ACRE TRACT 3D, ABST 34 J House and RES F Block 1 Tomball Center R/P



**Exhibit B**  
**Description of Improvements**

Construction of a 6,580 square foot commercial building near the Northwest Corner of FM 2920 and SH 249, Tomball, TX 7737.





## Exhibit C

### Description of Infrastructure Improvements

<b>Tomball Chevron Center Development:</b>	
NE Corner of FM 2920 and Hwy 249	
Eligible infrastructure	
Soil Density Testing	\$ 5,500
Site Survey/Topography	\$ 7,500
Clear, Cut/Fill to Grade & Stabilization	\$ 77,500
Water Line Infrastructure	\$ 28,000
Gas Line Infrastructure	\$ 22,000
Wastewater Infrastructure	\$ 107,500
Storm Sewer/Water drainage infrastructure	\$ 79,000
Infrastructure work for underground Storage Tanks	\$ 27,500
Telecommunication /Conduit Infrastructure	\$ 18,000
Underground communication & electrical wiring to storage tanks	\$ 16,000
Electrical Power Distribution Infrastructure	\$ 65,000
Architectural, Drawings and Design	\$ 44,000
Engineering and project management	\$ 28,000
<b>Total</b>	<b>\$ 525,500</b>

# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

**Topic:**

Consideration and possible action by Tomball EDC to approve a request by Houston Poly Bag I, Ltd. for a one-year extension of time in order to complete the construction of a 41,000 square-foot warehouse facility and make other capital improvements located at 11726 Holderrieth Road, Tomball, Texas 77375.

**Background:**

At its May 28, 2020 Special Joint Tomball EDC and Tomball B&TP POA Board Meeting, the TEDC Board of Directors approved an agreement with Houston Poly Bag I, Ltd. to expend funds, as a Project of the Corporation, for construction of a 41,000 square-foot building addition and make other capital improvements located at 11726 Holderrieth Road, Tomball, Texas 77375. The approved grant amount was not to exceed \$84,894.00 based upon 30% of the 5-year net benefit to the community.

The effective date of the original agreement was August 3, 2020, which was sixty (60) days after the first published notice of the Project, with an expiration date of August 3, 2022. In July 2022, the TEDC Board of Directors approved a one-year time extension for the completion of the expansion project and to hire the additional employees.

William E. Sumner, III, General Manager, Houston Poly Bag I, Ltd. has submitted a request for a one-year extension of the performance agreement. In the attached letter Mr. Sumner indicated that the construction of the project has been delayed due to supply chain issues as well as the pandemic. The new requested expiration date is August 3, 2024.

**Origination:** William E. Sumner, III, General Manager, Houston Poly Bag I, Ltd.

**Recommendation:** Staff recommends approval of the one-year time extension request.

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: X No: \_\_\_\_\_ If yes, specify Account Number: #Project Grants

If no, funds will be transferred from account # \_\_\_\_\_ To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC Date

Approved by \_\_\_\_\_  
Executive Director-TEDC Date

**William E Sumner III | General Manager**  
11726 Holderrieth Rd. | Tomball, TX 77375  
Phone: 281-351-1726  
[HoustonPoly.com](http://HoustonPoly.com)

July 27, 2023

Ms. Tiffani Wooten

Houston Poly Bag must request a one-year extension to complete their expansion project. The supply chain issues are the reason for this request. Construction supplies are in stock one day and a day later it could be days, weeks, or months before the restock comes in. Not to mention the pandemic and labor shortages. We cannot fill truck loads as well as everyone else and run into days of delays in shipping. My new 5-layer line is installed, almost to completion. We are still experiencing some software issues, but we hope to have that issue resolved within the next week or less. We have also added a cast film line with the potential of generating \$15 million per year. That project is also on track to be completed soon. Our projects are in full swing and hopefully have a finish line of Q1 2024 if not sooner.

Our Plant has been here in Tomball 36 years. We are blessed to have the opportunity to expand our building and add new equipment. HPB is in development talks with major brands and has film being trialed for packaging items like frozen vegetables, dry snacks, nutraceuticals, health and beauty, and temporary fresh water.

As I write this letter, HPB employs 74 people and I see in the future over 90 people here at HPB. Revenues of \$35,000,000 going to over \$100,000,000 when completely equipped with an additional 4 multi-layer extrusion systems.

Thankfully the TEDC funded this project in partnership with Houston Poly Bag.

If you need any further information, please contact me at the number below.

Regards,

*William E Sumner III*

William E. Sumner, III  
General Manager  
NAICS Code 326111  
281-351-1726  
Houston Poly Bag I, Ltd.  
[wsumner@houstonpolybag.com](mailto:wsumner@houstonpolybag.com)

**AGREEMENT**

THE STATE OF TEXAS           §  
  §       KNOW ALL MEN BY THESE PRESENTS:  
COUNTY OF HARRIS           §

This Agreement (the “Agreement”) is made and entered into by and between the **Tomball Economic Development Corporation**, an industrial development corporation created pursuant to the Development Corporation Act, now Chapter 501 et seq of the Texas Local Government Code, located in Harris County, Texas (the “TEDC”), and **Houston Poly Bag I, Ltd.** (the “Company”), 11726 Holderrieth Road, Tomball, Texas 77375.

**WITNESSETH:**

**WHEREAS**, it is the established policy of the TEDC to adopt such reasonable measures from time-to-time as are permitted by law to endeavor to attract industry, create and retain primary jobs, expand the growth of the City of Tomball (the “City”), and thereby enhance the economic stability and growth of the City; and

**WHEREAS**, the Company owns a 5-acre tract of land within the City, located at 11726 Holderrieth Road, Tomball, Texas 77375 (the “Property”), and more particularly described in Exhibit “A,” attached hereto and made a part hereof; and

**WHEREAS**, the Company plans to expand its current operations at the Property, and as part of the process, plans to expend a minimum of Six Million Dollars (\$6,000,000,) to construct a 41,000 square foot building addition and make other capital improvements (the “Improvements”) more particularly described in Exhibit “B” attached hereto and made a part hereof; and

**WHEREAS**, the Company also proposes to maintain the current seventy-one (71) jobs at the Property and create ten (10) new employment positions in conjunction with the expansion of its business operations at the Property; and

**WHEREAS**, the TEDC agrees to provide to the Company the sum of Eighty-Four Thousand, Eight Hundred Ninety-Four Dollars (\$84,894.00) to assist in the construction of the Improvements, the retention of seventy-one (71) full-time jobs, and the addition of the ten (10) new full-time jobs at the Property; and

**WHEREAS**, the Company has agreed, in exchange and as consideration for the funding, to satisfy and comply with certain terms and conditions; and

**WHEREAS**, this expenditure is found by the Board of Directors of the TEDC to be required or suitable for the promotion and development of new or expanded business enterprises at the Property; and

**NOW, THEREFORE**, in consideration of the premises and the mutual benefits and obligations set forth herein, including the recitals set forth above, the TEDC and the Company agree as follows:

1.

The Company covenants and agrees that it will construct the Improvements and operate and maintain the proposed business on the property for a term of at least five (5) years, and will for such term, except as provided by paragraph 4 hereof, maintain seventy-one (71) employees and create ten (10) new jobs on the Property.

2.

The Company also covenants and agrees that construction of the Improvements, the addition of the ten (10) new employees, and obtaining all necessary occupancy permits from the

City shall occur within twenty-four (24) months from the Effective Date of this Agreement. Extensions of these deadlines, due to any extenuating circumstance or uncontrollable delay, may be granted at the sole discretion of the Board of Directors of the TEDC.

3.

The Company further covenants and agrees that it does not and will not knowingly employ an undocumented worker. An “undocumented worker” shall mean an individual who, at the time of employment, is not (a) lawfully admitted for permanent residence to the United States; or (b) authorized by law to be employed in that manner in the United States.

4.

In consideration of the Company's representations, promises, and covenants, TEDC agrees to grant to the Company the sum of Eighty-Four Thousand, Eight Hundred Ninety-Four Dollars (\$84,894.00) to fund a portion of the cost of the Improvements, the retention of seventy-one (71) full-time jobs, and the addition of the ten (10) new employees to the Company's business operations on the property. The TEDC agrees to distribute such funds to the Company within thirty (30) days of receipt of a letter from the Company requesting such payment, which letter shall also include: (a) a copy of the City's occupancy permit for the Improvements to the Property; (b) proof that the Company has retained and added the number of employees indicated above to its business operations on the Property, as evidenced by copies of Texas Workforce Commission form C-3 or Internal Revenue Service Form 941; (c) verification from the City acknowledging that all necessary plats, plans, and specifications have been received, reviewed, and approved; (d) certification that the Improvements have been constructed in accordance with the approved plans and specifications; and, (e) an affidavit stating that all contractors and subcontractors providing work and/or materials in the construction of the Improvements have

been paid and any and all liens and claims regarding such work have been released. In the event the number of jobs originally projected is not met, the amount of the funding provided to the Company by the TEDC will be reduced on a pro rata basis to reflect the actual number of jobs at the time of the request for disbursement of funds.

5.

It is understood and agreed by the parties that, in the event of a default by the Company on any of its obligations under this Agreement, the Company shall reimburse the TEDC the full amount paid to the Company by the TEDC, with interest at the rate equal to the 90-day Treasury Bill plus ½% per annum, within 120 days after the TEDC notifies the Company of the default. It is further understood and agreed by the parties that if the Company is convicted of a violation under 8 U.S.C. Section 1324a(f), the Company will reimburse the TEDC the full amount paid to the Company, with interest at the rate equal to the 90-day Treasury Bill plus ½% per annum, within 120 days after the TEDC notifies the Company of the violation.

The Company shall also reimburse the TEDC for any and all reasonable attorney's fees and costs incurred by the TEDC as a result of any action required to obtain reimbursement of such funds. Such reimbursement shall be due and payable thirty (30) days after the Company receives written notice of default accompanied by copies of all applicable invoices.

It is understood and agreed by the parties that, in the event of a default by the TEDC on any of its obligations under this Agreement, the Company's sole and exclusive remedy shall be limited to either a) the termination of this Agreement or b) a suit for specific performance.

6.

**Personal Liability of Public Officials:** To the extent permitted by law, no director, officer, employee or agent of the TEDC, and no officer, employee or agent of the City of

Tomball, shall be personally responsible for any liability arising under or growing out of this Agreement.

7.

This Agreement shall inure to the benefit of and be binding upon the TEDC and the Company, and upon the Company's successors and assigns, affiliates, and subsidiaries, and shall remain in force whether the Company sells, assigns, or in any other manner disposes of, either voluntarily or by operation of law, all or any part of the Property and the agreements herein contained shall be held to be covenants running with the Property for so long as this Agreement, or any extension thereof, remains in effect.

8.

Any notice provided or permitted to be given under this Agreement must be in writing and may be served by (i) depositing the same in the United States mail, addressed to the party to be notified, postage prepaid, registered or certified mail, return receipt requested; or (ii) by delivering the same in person to such party; or (iii) by overnight or messenger delivery service that retains regular records of delivery and receipt; or (iv) by facsimile; provided a copy of such notice is sent within one (1) day thereafter by another method provided above. The initial addresses of the parties for the purpose of notice under this Agreement shall be as follows:

If to City: Tomball Economic Development Corporation  
401 W. Market Street  
Tomball, Texas 77375  
Attn: President, Board of Directors

If to Company: Houston Poly Bag I, Ltd.  
11726 Holderrieth Road,  
Tomball, Texas 77375  
Attn: William E. Sumner, III, General Manager

9.



This Agreement shall be performable and enforceable in Harris County, Texas, and shall be construed in accordance with the laws of the State of Texas.

10.

Except as otherwise provided in this Agreement, this Agreement shall be subject to change, amendment or modification only in writing, and by the signatures and mutual consent of the parties hereto.

11.

The failure of any party to insist in any one or more instances on the performance of any of the terms, covenants or conditions of this Agreement, or to exercise any of its rights, shall not be construed as a waiver or relinquishment of such term, covenant, or condition, or right with respect to further performance.

12.

This Agreement shall bind and benefit the respective Parties and their legal successors and shall not be assignable, in whole or in part, by any party without first obtaining written consent of the other party.

13.

In the event any one or more words, phrases, clauses, sentences, paragraphs, sections, or other parts of this Agreement, or the application thereof to any person, firm, corporation, or circumstance, shall be held by any court of competent jurisdiction to be invalid or unconstitutional for any reason, then the application, invalidity or unconstitutionality of such words, phrases, clauses, sentences, paragraphs, sections, or other parts of this Agreement shall be deemed to be independent of and severable from the remainder of this Agreement, and the validity of the remaining parts of this Agreement shall not be affected thereby.

IN TESTIMONY OF WHICH, THIS AGREEMENT has been executed by the parties on this \_\_\_\_\_ day of \_\_\_\_\_ 2020 (the “Effective Date”).

**HOUSTON POLY BAG I, LTD**

By: \_\_\_\_\_  
Name: William E. Sumner III  
Title: General Manager

ATTEST:

By: \_\_\_\_\_  
Name: Tiffani Wooten  
Title: Assistant Director

**TOMBALL ECONOMIC DEVELOPMENT CORPORATION**

By: \_\_\_\_\_  
Name: Gretchen Fagan  
Title: President, Board of Directors

ATTEST:

By: \_\_\_\_\_  
Name: Steven Vaughan  
Title: Vice President, Board of Directors

**ACKNOWLEDGMENT**

THE STATE OF TEXAS    §  
  §  
COUNTY OF HARRIS    §

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_ 2020, by William E. Sumner, III, General Manager of Houston Poly Bag I, Ltd. for and on behalf of said company.

\_\_\_\_\_  
Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

(SEAL)

**ACKNOWLEDGMENT**

THE STATE OF TEXAS    §  
  §  
COUNTY OF HARRIS    §

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_ 2020, by \_\_\_\_\_, President of the Board of Directors of the Tomball Economic Development Corporation, for and on behalf of said Corporation.

\_\_\_\_\_  
Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

(SEAL)

**Exhibit "A"**

**Legal Description of Property**

HOUSTON POLY BAG PLAT, BEING A 5 ACRE TRACT IN THE C.N. PILLOT SURVEY, ABSTRACT NO. 632, IN TOMBALL, HARRIS COUNTY, TEXAS, RECORDED IN VOL. 335, PG. 108.

**Exhibit "A"**

**Description of Improvements**

Constructing a 41,000 sq. ft. building addition, adding 5 multi-layered extrusion machines, and increasing its office space from 2,200 square feet to 6,600 square feet.

# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

**Topic:**

Presentation by Kelly Violette, Executive Director, regarding Old Town Tomball project updates.

**Background:**

**Origination:** Kelly Violette, Executive Director, Tomball Economic Development Corporation

**Recommendation:** Presentation item only.

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: \_\_\_\_\_ No: \_\_\_\_\_ If yes, specify Account Number: # \_\_\_\_\_

If no, funds will be transferred from account # \_\_\_\_\_ To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC Date

Approved by \_\_\_\_\_  
Executive Director-TEDC Date

# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2022

**Topic:**

The Tomball Economic Development Corporation will enter into a Workshop Session to discuss the Fiscal Year 2023-2024 Tomball Economic Development Corporation Budget.

**Background:**

**Origination:** Kelly Violette, Executive Director, Tomball Economic Development Corporation

**Recommendation:**

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: \_\_\_\_\_ No: \_\_\_\_\_ If yes, specify Account Number: # \_\_\_\_\_

If no, funds will be transferred from account # \_\_\_\_\_ To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC Date

Approved by \_\_\_\_\_  
Executive Director-TEDC Date

**Tomball Economic Development Corporation**  
**FY 2022-2023 Budget**  
**Account Descriptions**

**REVENUE**

- Sales Tax: Those revenues received from the State of Texas and through the City of Tomball for the \$0.005 portion of the \$0.020 sales tax revenues collected within the City limits of Tomball.
- Interest: Those revenues received from financial institutions for balances on hand and from funds that have been invested.
- Grants: Those revenues received from additional sources such as CenterPoint Energy for support of the Corporation's activities, including the Annual Economic Outlook Event, marketing collateral, and continuing education.
- Other: Those revenues received from the sale or lease of TEDC-owned property.

**EXPENDITURES**

**Administrative:**

- Salaries - Administrative: The amount reimbursed to the City of Tomball for the salary paid to the Executive Director, Assistant Director, and Coordinator of the Tomball Economic Development Corporation. This amount includes holiday, vacation, sick, and longevity pay.
- Benefits: The amount reimbursed to the City of Tomball for the benefits paid to, or on behalf of, TEDC staff. This amount includes social security taxes, medicare taxes, employer matched funds to the Texas Municipal Retirement System, health insurance premiums, and worker compensation insurance.
- Wages: Wages for non-exempt (hourly) TEDC employees. Also includes overtime for hours worked during any FLSA-defined workweek, which exceeds 40 hours and are approved in advance by the Executive Director.

**Other Personnel Expenditures:**

- Auto Allowances: Monthly stipends for the Executive Director and Assistant Director allocated to cover business travel expenses and mileage within a 50-mile radius of Tomball.
- Phone Allowances: Monthly stipends allocated to cover business-related cell phone expenses for eligible TEDC staff.



- Local Travel Expenses: The amount allocated to cover business travel expenses and mileage within a 50-mile radius of Tomball for non-exempt TEDC staff.
- Dues and Subscriptions: Fees charged for memberships and related expenses to professional organizations, subscriptions and software.
- Seminar/Conference Registrations: Fees for the Tomball Economic Development Corporation staff and board members to attend conferences, events, and professional training seminars.
- Travel and Training: The costs associated with attending classes, seminars, events, trade shows and for related travel expenses. This includes hotel rooms where overnight stay is reasonable, the cost of related meals, airfare, and car rental where reasonable, parking and toll fees, and for mileage. Reimbursable mileage for exempt staff is limited to a destination that exceeds a 50-mile radius of the City of Tomball.

### **Service and Supply Expenditures**

- Contracted Administrative Services: The cost of administrative services provided to the Tomball Economic Development Corporation by City of Tomball personnel as indicated in the Administrative Services Agreement entered into between the Tomball Economic Development Corporation and the City of Tomball.
- Bank Charges: The various service charges for maintaining a bank account, including wire transfer fees, safekeeping fees for investments, and actual operating account fees based on the account analysis.
- Insurance: The cost of surety bonding fees and insurance premiums including General Liability, Errors and Omissions, and Property.
- Computer Equipment and Maintenance: The cost of computer equipment and related expenses.
- Communication Services: The cost of telephone service, including land line phone base rate charges, DSL service, and long-distance charges.
- Legal Fees: Expenses incurred for legal services related to document and agreement preparation and obtaining advice and opinions from legal counsel related to Tomball Economic Development Corporation business activities.
- Lease Expense-GTACC: Payment to the Greater Tomball Area Chamber of Commerce for leased office space at 29201 Quinn Road, Suite B, Tomball, Texas.
- Office Equipment & Supplies: The cost of various office supplies, postage, and equipment.

## Indirect Economic Development Expenditures:

Item 9.

- Chamber Guide: Expenses related to the TEDC advertisement and publication of a map of the Tomball area in the annual Greater Tomball Area Chamber of Commerce magazine.
- Area Street Maps: The expenses incurred for the production and publication of maps of Tomball and the surrounding area that are issued free of charge to individuals and businesses to promote travel, tourism, and the commercial industry in Tomball.
- Marketing: Expenses related to marketing Tomball to attract business, industry, and visitors, including advertisements in printed and digital publications, information packages, brochures, and related marketing collateral material.
- Economic Impact Model License: The annual licensing fee for the economic impact analysis model utilized by the TEDC to calculate the economic impact of a prospect firm/project and related costs and benefits to the City of Tomball.
- Event Sponsorships: Costs to sponsor/co-sponsor events that foster relationships with businesses, site location consultants, brokers, real estate professionals, regional allies, and others influencing business location and capital investment decisions.
- Promotional Items: The costs associated with TEDC promotional products, giveaways, and event favors.
- Printing: The cost of printing various items including, but not limited to, Notice of Project/Public Hearing, brochures, presentation boards, community profiles, business resource guides, stationary, etc.
- Website and GIS: Costs to maintain the Tomball Economic Development Corporation's website, including web hosting, property database services, analytics platforms, and online GIS software.
- Professional Services: Consulting fees, engineering fees, photography, graphics and design services, and other professional services incurred in expanding the economic base of Tomball.
- Grow Tomball Initiative: Expenses related to developing a Grow Tomball initiative to highlight and promote local businesses, entrepreneurs, and products.
- Miscellaneous: Other expenses including, but not limited to, meals with potential business developers, name plates for Board meetings, post office box fees, etc.

## City Debt Service

- Southside Sewer Plant (1999 CO-2/15/2019): Contributions to debt repayment for the wastewater treatment plant built on the south side of Tomball to accommodate expanded industry in the City. Final debt payment was made in 2019.

- Utilities Expansion (2002 CO-2/15/2022): Contributions to debt repayment for the extension of utilities from FM 2920 south on Hufsmith-Kohrville Road to Holderrieth Road, west to SH 249 and north to Theiss Road. Final debt payment was made in 2022.
- Business Park (Series 2013): Contributions to debt repayment for the construction of utilities, roads, drainage facilities, etc. for the Tomball Business and Technology Park Project located at the northwest corner of Hufsmith-Kohrville and Holderrieth Roads.
- Medical Complex/Persimmon (Series 2016): Contributions to debt repayment for the construction of utilities, roads, drainage facilities, etc. for the extension of Medical Complex Drive Segment 4B and South Persimmon Street from Agg Road/Medical Complex Drive south to the Tomball Business & Technology Park.

### **Grants, Loans & Other Expenditures**

- Project Grants: Grant funds designated by the Tomball Economic Development Corporation's Board of Directors and approved by the Tomball City Council waiting for contract fulfillment in order to be disbursed.
- Sales Tax Reimbursement Grants (380): Sales tax reimbursements made in accordance with economic development incentive agreements approved by the Tomball Economic Development Corporation's Board of Directors and the Tomball City Council.
- Property Acquisition: Costs associated with the acquisition of land for economic development projects.
- Business Improvement Grants- Current Year: Funds allocated to enhance the economic development of the City of Tomball through matching grants for façade or exterior improvements to buildings, sign improvements, landscaping, or other exterior property improvements.
- Business Improvement Grants- Prior Year: Improvement grant funds approved in the prior fiscal year waiting for contract fulfillment in order to be disbursed.
- Old Town Façade Grants: Funds allocated to enhance the economic development of the City of Tomball through grants to property and business owners seeking to rehabilitate commercial buildings located in the Old Town Tomball area.
- Old Town Façade Grants- Prior Year: Improvement grant funds approved in the prior fiscal year waiting for contract fulfillment in order to be disbursed.
- Old Town Revitalization Projects: Targeted infrastructure improvements in Old Town Tomball including alleyways, parking, wayfinding, etc.
- South Live Oak Redevelopment: The costs associated with the redevelopment of the South Live Oak Business Park.
- Business Park Expenses: Expenses related to the development and maintenance of the Tomball Business & Technology Park.

**Tomball Economic Development Corporation**  
**FY 2024 Draft Budget**  
**October 1, 2023 to September 30, 2024**

	FY 2020 Actuals	FY 2021 Actuals	FY 2022 Actuals	FY 2023 Adopted Budget	FY 2023 Year End Projections	FY 2024 Draft Budget
<b>Beginning Fund Balance</b>	\$ 21,763,096	\$ 18,767,675	\$ 20,005,941	\$ 19,860,898	\$20,005,941	\$ 19,915,835
<b>REVENUE</b>						
Sales Tax	\$ 4,064,895	\$ 4,408,484	\$ 5,386,245	\$ 5,100,000	\$ 5,400,000	\$ 5,000,000
Interest	426,876	352,381	446,297	450,000	950,000	850,000
Grants	-	16,000	8,000	-	-	-
Other - Land Sales and Lease Payments	491,055	913,855	2,004,772	-	3,714,079	-
<b>Total Revenue</b>	<b>\$ 4,982,826</b>	<b>\$ 5,690,719</b>	<b>\$ 7,845,315</b>	<b>\$ 5,550,000</b>	<b>\$10,064,079</b>	<b>\$ 5,850,000</b>
<b>Total Available Resources</b>	<b>\$ 26,745,922</b>	<b>\$ 24,458,394</b>	<b>\$ 27,851,256</b>	<b>\$ 25,410,898</b>	<b>\$30,070,020</b>	<b>\$ 25,765,835</b>
<b>EXPENDITURES</b>						
<b>Administrative</b>						
Salaries - Administrative	\$ 213,843	\$ 215,952	\$ 286,262	\$ 367,036	\$ 367,036	\$ 396,590
Benefits	114,950	129,174	144,759	162,249	157,830	184,808
Wages - Full-Time	42,333	45,246	28,036	55,000	45,000	48,087
Wages - Other	-	-	21	8,300	150	3,000
<b>Total Salaries and Benefits</b>	<b>\$ 371,126</b>	<b>\$ 390,372</b>	<b>\$ 459,077</b>	<b>\$ 592,585</b>	<b>\$ 570,016</b>	<b>\$ 632,485</b>
Other Personnel Expenditures						
Auto Allowances	\$ 8,400	\$ 8,400	\$ 16,800	\$ 16,800	\$ 16,800	\$ 16,800
Phone Allowance - Executive Director	900	900	900	900	900	900
Phone Allowance - Assistant Director	900	900	900	900	900	900
Phone Allowance - Coordinator	-	-	-	900	900	900
Local Travel Expense	135	236	90	500	400	500
Dues and Subscriptions	9,482	7,681	11,492	13,100	11,000	13,100
Seminar/Conference Registrations	2,928	10,396	10,349	18,000	11,000	18,000
Travel and Training	11,727	3,440	17,655	30,000	11,000	30,000
<b>Total Other Personnel Expense</b>	<b>\$ 34,472</b>	<b>\$ 31,953</b>	<b>\$ 58,185</b>	<b>\$ 81,100</b>	<b>\$ 52,900</b>	<b>\$ 81,100</b>
Service and Supply Expenditures						
Contracted Administrative Services	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000
Bank Charges & Postage	1,920	3,017	2,197.75	3,500.00	1,500.00	3,500.00
Insurance	3,144	8,399	17,952.76	18,000.00	18,000.00	30,000.00
Computer Equipment & Maintenance	4,249	5,823	4,296.53	10,000.00	10,000.00	10,000.00
Communications Services	3,639	3,976	4,267.91	5,200.00	4,600.00	5,200.00
Legal Fees	31,915	31,996	4,690.53	40,000.00	15,000.00	40,000.00
Lease Expense-GTACC	25,629	24,574	25,055.65	25,000.00	25,000.00	26,500.00
Office Equipment & Supplies	3,557	(2,321)	4,259.31	10,000.00	5,500.00	10,000.00
<b>Total Service and Supply Expense</b>	<b>\$ 99,053</b>	<b>\$ 100,463</b>	<b>\$ 87,720</b>	<b>\$ 136,700</b>	<b>\$ 104,600</b>	<b>\$ 150,200</b>
<b>Total Administrative Expenditures</b>	<b>\$ 504,651</b>	<b>\$ 522,788</b>	<b>\$ 604,982</b>	<b>\$ 810,385</b>	<b>\$ 727,516</b>	<b>\$ 863,785</b>
<b>Indirect Economic Development Exp.</b>						
Chamber Guide	\$ 8,354	\$ 8,354	\$ 8,354	\$ 8,400	\$ 8,354	\$ 8,400
Area Street Maps	-	3,875	-	4,000	3,875	-
Marketing	90,768	76,150	83,115	105,000	105,000	175,000
Economic Impact Model License	4,299	4,428	4,561	4,565	4,565	4,698
Event Sponsorships	6,000	24,028	8,038	29,000	20,000	29,000
Promotional Items	6,515	1,160	4,715	6,500	6,500	10,000
Printing	6,915	5,404	1,122	6,500	6,500	6,500
Website and GIS	31,899	36,299	12,100	25,000	24,000	25,000
Professional Services	207,560	191,747	306,423	500,000	350,000	750,000
Grow Tomball Initiative	-	-	-	20,000	8,300	20,000
Miscellaneous	70,834	78,182	44,914	15,000	7,000	15,000
<b>Total Indirect Expenditures</b>	<b>\$ 433,144</b>	<b>\$ 429,626</b>	<b>\$ 473,342</b>	<b>\$ 723,965</b>	<b>\$ 544,094</b>	<b>\$ 1,043,598</b>
<b>City Debt Service</b>						
Utilities Expansion (2002 CO-2/15/2022)	370,000	370,000	370,000	-	-	-

Business Park Infrastructure (Series 2013)	533,462	535,663	537,663	539,463	539,463	546,013
Medical Complex/Persimmon (Series 2016)	222,222	222,222	222,222	222,222	222,222	222,222
<b>Total Debt Service</b>	<b>\$ 1,125,684</b>	<b>\$ 1,127,885</b>	<b>\$ 1,129,885</b>	<b>\$ 761,685</b>	<b>\$ 761,685</b>	<b>\$ 768,235</b>

**Grants, Loans & Other Expenditures**

Project Grants	\$ 219,848	\$ 210,108	\$ 620,825	\$ 2,500,000	\$ 1,800,000	\$ 3,500,000
Sales Tax Reimbursement Grants (380)	50,139	50,139	66,823	70,000	70,130	11,400
Property Acquisition	5,062,631	2,043,540	-	5,000,000	4,635,760	1,000,000
Business Improvement Grants- Current Year	130,891	62,078	121,344	350,000	302,000	350,000
Business Improvement Grants- Prior Year	139,082	67,000	197,302	250,000	288,000	250,000
Old Town Façade Grants- Current Year	54,269	-	-	250,000	70,000	250,000
Old Town Façade Grants- Prior Year	-	38,783	125,560	100,000	105,000	100,000
Old Town Projects	-	-	-	600,000	600,000	1,500,000
South Live Oak Redevelopment	-	71,341	76,553	5,000,000	30,000	5,000,000
Business Park Expenses	248,644	77,781	133,985	300,000	200,000	350,000
<b>Total Grants/Loans/Other</b>	<b>\$ 5,905,504</b>	<b>\$ 2,620,770</b>	<b>\$ 1,342,394</b>	<b>\$ 14,420,000</b>	<b>\$ 8,100,890</b>	<b>\$ 12,311,400</b>
<b>Total All Expenditures</b>	<b>\$ 7,968,983</b>	<b>\$ 4,701,069</b>	<b>\$ 3,550,602</b>	<b>\$ 16,716,035</b>	<b>\$ 10,134,185</b>	<b>\$ 14,987,018</b>
Revenues Over (Under) Expenditures	\$ (2,986,157)	\$ 989,650	\$ 4,294,712	\$ (11,166,035)	\$ (70,106)	\$ (9,137,018)
Other Income/Losses on Investments	\$ 9,264	\$ (248,616)	\$ (455,268)	\$ -	\$ 20,000	\$ -
<b>Ending Fund Balance</b>	<b>\$ 18,767,675</b>	<b>\$ 20,005,941</b>	<b>\$ 24,755,922</b>	<b>\$ 8,694,863</b>	<b>\$ 19,915,835</b>	<b>\$ 10,778,818</b>

## TEDC Debt Service Schedule

	Series 1999	Series 2002	Series 2013	Series 2016	Annual Payments
2016	\$ 188,148	\$ 370,000	\$ 528,012.50		\$ 1,086,160.50
2017	\$ 188,148	\$ 370,000	\$ 530,912.50		\$ 1,089,060.50
2018	\$ 188,148	\$ 370,000	\$ 533,612.50		\$ 1,091,760.50
2019	\$ 188,148	\$ 370,000	\$ 536,112.50		\$ 1,094,260.50
2020		\$ 370,000	\$ 533,462.50	\$ 222,222	\$ 1,125,684.50
2021		\$ 370,000	\$ 535,662.50	\$ 222,222	\$ 1,127,884.50
2022		\$ 370,000	\$ 537,662.50	\$ 222,222	\$ 1,129,884.50
2023			\$ 539,462.50	\$ 222,222	\$ 761,684.50
2024			\$ 546,012.50	\$ 222,222	\$ 768,234.50
2025			\$ 547,312.50	\$ 222,222	\$ 769,534.50
2026			\$ 548,412.50	\$ 222,222	\$ 770,634.50
2027			\$ 548,737.50	\$ 222,222	\$ 770,959.50
2028			\$ 548,275.00	\$ 222,222	\$ 770,497.00
2029			\$ 551,925.00	\$ 222,222	\$ 774,147.00
2030			\$ 549,056.25	\$ 222,222	\$ 771,278.25
2031			\$ 549,600.00	\$ 222,222	\$ 771,822.00
2032			\$ 549,075.00	\$ 222,222	\$ 771,297.00
2033			\$ 548,100.00	\$ 222,222	\$ 770,322.00
2034				\$ 222,222	\$ 222,222.00
2035				\$ 222,222	\$ 222,222.00
2036				\$ 222,222	\$ 222,222.00
2037				\$ 222,226	\$ 222,226.00
<b>Total</b>	<b>\$ 752,592</b>	<b>\$ 2,590,000</b>	<b>\$ 9,761,406.25</b>	<b>\$ 4,000,000</b>	<b>\$ 17,103,998.25</b>

### 2017-2019:

Southside Sewer Plant (1999 CO-2/15/2019)  
 Utilities Expansion (2002 CO- 2/15/2022)  
 Business Park Infrastructure (Series 2013)

### 2020-2022:

Utilities Expansion (2002 CO- 2/15/2022)  
 Business Park Infrastructure (Series 2013)  
 Series 2016, Medical Complex Drive-Section 4B, Persimmon Street

### 2023-2033:

Business Park Infrastructure (Series 2013)  
 Series 2016, Medical Complex Drive-Section 4B, Persimmon Street

### 2034-2037:

Series 2016, Medical Complex Drive-Section 4B, Persimmon Street

# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

**Topic:**

EXECUTIVE SESSION: The Tomball Economic Development Corporation Board will meet in Executive Session as authorized by Title 5, Chapter 551, Texas Government Code, The Texas Open Meetings Act, for the following purpose:

- Section 551.072, - Deliberations regarding real property: Deliberate the purchase, exchange, sale, lease, or value of real property.
- Section 551.087, - Deliberation regarding Economic Development negotiations.
- Section 551.074, - To deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee, to wit: the Executive Director and Staff.

**Background:**

**Origination:** Kelly Violette, Executive Director, Tomball Economic Development Corporation

**Recommendation:**

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: \_\_\_\_\_ No: \_\_\_\_\_ If yes, specify Account Number: # \_\_\_\_\_

If no, funds will be transferred from account # \_\_\_\_\_ To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC Date

Approved by \_\_\_\_\_  
Executive Director-TEDC Date

# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

**Topic:**

Reconvene into regular session and take action, if necessary, on items discussed in Executive Session.

**Background:**

**Origination:** Kelly Violette, Executive Director

**Recommendation:**

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: \_\_\_\_\_ No: \_\_\_\_\_ If yes, specify Account Number: # \_\_\_\_\_

If no, funds will be transferred from account # \_\_\_\_\_ To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC Date

Approved by \_\_\_\_\_  
Executive Director-TEDC Date



# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

**Topic:**

Consideration and possible action by Tomball EDC to approve the Tomball Economic Development Corporation Fiscal Year 2023-2024 Budget.

- Public Hearing

**Background:**

**Origination:** Kelly Violette, Executive Director, Tomball Economic Development Corporation

**Recommendation:**

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: \_\_\_\_\_ No: \_\_\_\_\_ If yes, specify Account Number: # \_\_\_\_\_

If no, funds will be transferred from account # \_\_\_\_\_ To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC Date

Approved by \_\_\_\_\_  
Executive Director-TEDC Date

**Tomball Economic Development Corporation**  
**FY 2022-2023 Budget**  
**Account Descriptions**

**REVENUE**

- Sales Tax: Those revenues received from the State of Texas and through the City of Tomball for the \$0.005 portion of the \$0.020 sales tax revenues collected within the City limits of Tomball.
- Interest: Those revenues received from financial institutions for balances on hand and from funds that have been invested.
- Grants: Those revenues received from additional sources such as CenterPoint Energy for support of the Corporation's activities, including the Annual Economic Outlook Event, marketing collateral, and continuing education.
- Other: Those revenues received from the sale or lease of TEDC-owned property.

**EXPENDITURES**

**Administrative:**

- Salaries - Administrative: The amount reimbursed to the City of Tomball for the salary paid to the Executive Director, Assistant Director, and Coordinator of the Tomball Economic Development Corporation. This amount includes holiday, vacation, sick, and longevity pay.
- Benefits: The amount reimbursed to the City of Tomball for the benefits paid to, or on behalf of, TEDC staff. This amount includes social security taxes, medicare taxes, employer matched funds to the Texas Municipal Retirement System, health insurance premiums, and worker compensation insurance.
- Wages: Wages for non-exempt (hourly) TEDC employees. Also includes overtime for hours worked during any FLSA-defined workweek, which exceeds 40 hours and are approved in advance by the Executive Director.

**Other Personnel Expenditures:**

- Auto Allowances: Monthly stipends for the Executive Director and Assistant Director allocated to cover business travel expenses and mileage within a 50-mile radius of Tomball.
- Phone Allowances: Monthly stipends allocated to cover business-related cell phone expenses for eligible TEDC staff.

- Local Travel Expenses: The amount allocated to cover business travel expenses and mileage within a 50-mile radius of Tomball for non-exempt TEDC staff.
- Dues and Subscriptions: Fees charged for memberships and related expenses to professional organizations, subscriptions and software.
- Seminar/Conference Registrations: Fees for the Tomball Economic Development Corporation staff and board members to attend conferences, events, and professional training seminars.
- Travel and Training: The costs associated with attending classes, seminars, events, trade shows and for related travel expenses. This includes hotel rooms where overnight stay is reasonable, the cost of related meals, airfare, and car rental where reasonable, parking and toll fees, and for mileage. Reimbursable mileage for exempt staff is limited to a destination that exceeds a 50-mile radius of the City of Tomball.

**Service and Supply Expenditures**

- Contracted Administrative Services: The cost of administrative services provided to the Tomball Economic Development Corporation by City of Tomball personnel as indicated in the Administrative Services Agreement entered into between the Tomball Economic Development Corporation and the City of Tomball.
- Bank Charges: The various service charges for maintaining a bank account, including wire transfer fees, safekeeping fees for investments, and actual operating account fees based on the account analysis.
- Insurance: The cost of surety bonding fees and insurance premiums including General Liability, Errors and Omissions, and Property.
- Computer Equipment and Maintenance: The cost of computer equipment and related expenses.
- Communication Services: The cost of telephone service, including land line phone base rate charges, DSL service, and long-distance charges.
- Legal Fees: Expenses incurred for legal services related to document and agreement preparation and obtaining advice and opinions from legal counsel related to Tomball Economic Development Corporation business activities.
- Lease Expense-GTACC: Payment to the Greater Tomball Area Chamber of Commerce for leased office space at 29201 Quinn Road, Suite B, Tomball, Texas.
- Office Equipment & Supplies: The cost of various office supplies, postage, and equipment.

## Indirect Economic Development Expenditures:

Item 12.

- Chamber Guide: Expenses related to the TEDC advertisement and publication of a map of the Tomball area in the annual Greater Tomball Area Chamber of Commerce magazine.
- Area Street Maps: The expenses incurred for the production and publication of maps of Tomball and the surrounding area that are issued free of charge to individuals and businesses to promote travel, tourism, and the commercial industry in Tomball.
- Marketing: Expenses related to marketing Tomball to attract business, industry, and visitors, including advertisements in printed and digital publications, information packages, brochures, and related marketing collateral material.
- Economic Impact Model License: The annual licensing fee for the economic impact analysis model utilized by the TEDC to calculate the economic impact of a prospect firm/project and related costs and benefits to the City of Tomball.
- Event Sponsorships: Costs to sponsor/co-sponsor events that foster relationships with businesses, site location consultants, brokers, real estate professionals, regional allies, and others influencing business location and capital investment decisions.
- Promotional Items: The costs associated with TEDC promotional products, giveaways, and event favors.
- Printing: The cost of printing various items including, but not limited to, Notice of Project/Public Hearing, brochures, presentation boards, community profiles, business resource guides, stationary, etc.
- Website and GIS: Costs to maintain the Tomball Economic Development Corporation's website, including web hosting, property database services, analytics platforms, and online GIS software.
- Professional Services: Consulting fees, engineering fees, photography, graphics and design services, and other professional services incurred in expanding the economic base of Tomball.
- Grow Tomball Initiative: Expenses related to developing a Grow Tomball initiative to highlight and promote local businesses, entrepreneurs, and products.
- Miscellaneous: Other expenses including, but not limited to, meals with potential business developers, name plates for Board meetings, post office box fees, etc.

## City Debt Service

- Southside Sewer Plant (1999 CO-2/15/2019): Contributions to debt repayment for the wastewater treatment plant built on the south side of Tomball to accommodate expanded industry in the City. Final debt payment was made in 2019.

- Utilities Expansion (2002 CO-2/15/2022): Contributions to debt repayment for the extension of utilities from FM 2920 south on Hufsmith-Kohrville Road to Holderrieth Road, west to SH 249 and north to Theiss Road. Final debt payment was made in 2022.
- Business Park (Series 2013): Contributions to debt repayment for the construction of utilities, roads, drainage facilities, etc. for the Tomball Business and Technology Park Project located at the northwest corner of Hufsmith-Kohrville and Holderrieth Roads.
- Medical Complex/Persimmon (Series 2016): Contributions to debt repayment for the construction of utilities, roads, drainage facilities, etc. for the extension of Medical Complex Drive Segment 4B and South Persimmon Street from Agg Road/Medical Complex Drive south to the Tomball Business & Technology Park.

### **Grants, Loans & Other Expenditures**

- Project Grants: Grant funds designated by the Tomball Economic Development Corporation's Board of Directors and approved by the Tomball City Council waiting for contract fulfillment in order to be disbursed.
- Sales Tax Reimbursement Grants (380): Sales tax reimbursements made in accordance with economic development incentive agreements approved by the Tomball Economic Development Corporation's Board of Directors and the Tomball City Council.
- Property Acquisition: Costs associated with the acquisition of land for economic development projects.
- Business Improvement Grants- Current Year: Funds allocated to enhance the economic development of the City of Tomball through matching grants for façade or exterior improvements to buildings, sign improvements, landscaping, or other exterior property improvements.
- Business Improvement Grants- Prior Year: Improvement grant funds approved in the prior fiscal year waiting for contract fulfillment in order to be disbursed.
- Old Town Façade Grants: Funds allocated to enhance the economic development of the City of Tomball through grants to property and business owners seeking to rehabilitate commercial buildings located in the Old Town Tomball area.
- Old Town Façade Grants- Prior Year: Improvement grant funds approved in the prior fiscal year waiting for contract fulfillment in order to be disbursed.
- Old Town Revitalization Projects: Targeted infrastructure improvements in Old Town Tomball including alleyways, parking, wayfinding, etc.
- South Live Oak Redevelopment: The costs associated with the redevelopment of the South Live Oak Business Park.
- Business Park Expenses: Expenses related to the development and maintenance of the Tomball Business & Technology Park.

**Tomball Economic Development Corporation**  
**FY 2024 Draft Budget**  
**October 1, 2023 to September 30, 2024**

	<b>FY 2020 Actuals</b>	<b>FY 2021 Actuals</b>	<b>FY 2022 Actuals</b>	<b>FY 2023 Adopted Budget</b>	<b>FY 2023 Year End Projections</b>	<b>FY 2024 Draft Budget</b>
<b>Beginning Fund Balance</b>	\$ 21,763,096	\$ 18,767,675	\$ 20,005,941	\$ 19,860,898	\$20,005,941	\$ 19,915,835
<b>REVENUE</b>						
Sales Tax	\$ 4,064,895	\$ 4,408,484	\$ 5,386,245	\$ 5,100,000	\$ 5,400,000	\$ 5,000,000
Interest	426,876	352,381	446,297	450,000	950,000	850,000
Grants	-	16,000	8,000	-	-	-
Other - Land Sales and Lease Payments	491,055	913,855	2,004,772	-	3,714,079	-
<b>Total Revenue</b>	<b>\$ 4,982,826</b>	<b>\$ 5,690,719</b>	<b>\$ 7,845,315</b>	<b>\$ 5,550,000</b>	<b>\$10,064,079</b>	<b>\$ 5,850,000</b>
<b>Total Available Resources</b>	<b>\$ 26,745,922</b>	<b>\$ 24,458,394</b>	<b>\$ 27,851,256</b>	<b>\$ 25,410,898</b>	<b>\$30,070,020</b>	<b>\$ 25,765,835</b>
<b>EXPENDITURES</b>						
<b>Administrative</b>						
Salaries - Administrative	\$ 213,843	\$ 215,952	\$ 286,262	\$ 367,036	\$ 367,036	\$ 396,590
Benefits	114,950	129,174	144,759	162,249	157,830	184,808
Wages - Full-Time	42,333	45,246	28,036	55,000	45,000	48,087
Wages - Other	-	-	21	8,300	150	3,000
<b>Total Salaries and Benefits</b>	<b>\$ 371,126</b>	<b>\$ 390,372</b>	<b>\$ 459,077</b>	<b>\$ 592,585</b>	<b>\$ 570,016</b>	<b>\$ 632,485</b>
Other Personnel Expenditures						
Auto Allowances	\$ 8,400	\$ 8,400	\$ 16,800	\$ 16,800	\$ 16,800	\$ 16,800
Phone Allowance - Executive Director	900	900	900	900	900	900
Phone Allowance - Assistant Director	900	900	900	900	900	900
Phone Allowance - Coordinator	-	-	-	900	900	900
Local Travel Expense	135	236	90	500	400	500
Dues and Subscriptions	9,482	7,681	11,492	13,100	11,000	13,100
Seminar/Conference Registrations	2,928	10,396	10,349	18,000	11,000	18,000
Travel and Training	11,727	3,440	17,655	30,000	11,000	30,000
<b>Total Other Personnel Expense</b>	<b>\$ 34,472</b>	<b>\$ 31,953</b>	<b>\$ 58,185</b>	<b>\$ 81,100</b>	<b>\$ 52,900</b>	<b>\$ 81,100</b>
Service and Supply Expenditures						
Contracted Administrative Services	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000
Bank Charges & Postage	1,920	3,017	2,197.75	3,500.00	1,500.00	3,500.00
Insurance	3,144	8,399	17,952.76	18,000.00	18,000.00	30,000.00
Computer Equipment & Maintenance	4,249	5,823	4,296.53	10,000.00	10,000.00	10,000.00
Communications Services	3,639	3,976	4,267.91	5,200.00	4,600.00	5,200.00
Legal Fees	31,915	31,996	4,690.53	40,000.00	15,000.00	40,000.00
Lease Expense-GTACC	25,629	24,574	25,055.65	25,000.00	25,000.00	26,500.00
Office Equipment & Supplies	3,557	(2,321)	4,259.31	10,000.00	5,500.00	10,000.00
<b>Total Service and Supply Expense</b>	<b>\$ 99,053</b>	<b>\$ 100,463</b>	<b>\$ 87,720</b>	<b>\$ 136,700</b>	<b>\$ 104,600</b>	<b>\$ 150,200</b>
<b>Total Administrative Expenditures</b>	<b>\$ 504,651</b>	<b>\$ 522,788</b>	<b>\$ 604,982</b>	<b>\$ 810,385</b>	<b>\$ 727,516</b>	<b>\$ 863,785</b>
<b>Indirect Economic Development Exp.</b>						
Chamber Guide	\$ 8,354	\$ 8,354	\$ 8,354	\$ 8,400	\$ 8,354	\$ 8,400
Area Street Maps	-	3,875	-	4,000	3,875	-
Marketing	90,768	76,150	83,115	105,000	105,000	175,000
Economic Impact Model License	4,299	4,428	4,561	4,565	4,565	4,698
Event Sponsorships	6,000	24,028	8,038	29,000	20,000	29,000
Promotional Items	6,515	1,160	4,715	6,500	6,500	10,000
Printing	6,915	5,404	1,122	6,500	6,500	6,500
Website and GIS	31,899	36,299	12,100	25,000	24,000	25,000
Professional Services	207,560	191,747	306,423	500,000	350,000	750,000
Grow Tomball Initiative	-	-	-	20,000	8,300	20,000
Miscellaneous	70,834	78,182	44,914	15,000	7,000	15,000
<b>Total Indirect Expenditures</b>	<b>\$ 433,144</b>	<b>\$ 429,626</b>	<b>\$ 473,342</b>	<b>\$ 723,965</b>	<b>\$ 544,094</b>	<b>\$ 1,043,598</b>
<b>City Debt Service</b>						
Utilities Expansion (2002 CO-2/15/2022)	370,000	370,000	370,000	-	-	-

Business Park Infrastructure (Series 2013)	533,462	535,663	537,663	539,463	539,463	546,013
Medical Complex/Persimmon (Series 2016)	222,222	222,222	222,222	222,222	222,222	222,222
<b>Total Debt Service</b>	<b>\$ 1,125,684</b>	<b>\$ 1,127,885</b>	<b>\$ 1,129,885</b>	<b>\$ 761,685</b>	<b>\$ 761,685</b>	<b>\$ 768,235</b>

**Grants, Loans & Other Expenditures**

Project Grants	\$ 219,848	\$ 210,108	\$ 620,825	\$ 2,500,000	\$ 1,800,000	\$ 3,500,000
Sales Tax Reimbursement Grants (380)	50,139	50,139	66,823	70,000	70,130	11,400
Property Acquisition	5,062,631	2,043,540	-	5,000,000	4,635,760	1,000,000
Business Improvement Grants- Current Year	130,891	62,078	121,344	350,000	302,000	350,000
Business Improvement Grants- Prior Year	139,082	67,000	197,302	250,000	288,000	250,000
Old Town Façade Grants- Current Year	54,269	-	-	250,000	70,000	250,000
Old Town Façade Grants- Prior Year	-	38,783	125,560	100,000	105,000	100,000
Old Town Projects	-	-	-	600,000	600,000	1,500,000
South Live Oak Redevelopment	-	71,341	76,553	5,000,000	30,000	5,000,000
Business Park Expenses	248,644	77,781	133,985	300,000	200,000	350,000
<b>Total Grants/Loans/Other</b>	<b>\$ 5,905,504</b>	<b>\$ 2,620,770</b>	<b>\$ 1,342,394</b>	<b>\$ 14,420,000</b>	<b>\$ 8,100,890</b>	<b>\$ 12,311,400</b>
<b>Total All Expenditures</b>	<b>\$ 7,968,983</b>	<b>\$ 4,701,069</b>	<b>\$ 3,550,602</b>	<b>\$ 16,716,035</b>	<b>\$ 10,134,185</b>	<b>\$ 14,987,018</b>
Revenues Over (Under) Expenditures	\$ (2,986,157)	\$ 989,650	\$ 4,294,712	\$ (11,166,035)	\$ (70,106)	\$ (9,137,018)
Other Income/Losses on Investments	\$ 9,264	\$ (248,616)	\$ (455,268)	\$ -	\$ 20,000	\$ -
<b>Ending Fund Balance</b>	<b>\$ 18,767,675</b>	<b>\$ 20,005,941</b>	<b>\$ 24,755,922</b>	<b>\$ 8,694,863</b>	<b>\$ 19,915,835</b>	<b>\$ 10,778,818</b>

## TEDC Debt Service Schedule

	Series 1999	Series 2002	Series 2013	Series 2016	Annual Payments
2016	\$ 188,148	\$ 370,000	\$ 528,012.50		\$ 1,086,160.50
2017	\$ 188,148	\$ 370,000	\$ 530,912.50		\$ 1,089,060.50
2018	\$ 188,148	\$ 370,000	\$ 533,612.50		\$ 1,091,760.50
2019	\$ 188,148	\$ 370,000	\$ 536,112.50		\$ 1,094,260.50
2020		\$ 370,000	\$ 533,462.50	\$ 222,222	\$ 1,125,684.50
2021		\$ 370,000	\$ 535,662.50	\$ 222,222	\$ 1,127,884.50
2022		\$ 370,000	\$ 537,662.50	\$ 222,222	\$ 1,129,884.50
2023			\$ 539,462.50	\$ 222,222	\$ 761,684.50
2024			\$ 546,012.50	\$ 222,222	\$ 768,234.50
2025			\$ 547,312.50	\$ 222,222	\$ 769,534.50
2026			\$ 548,412.50	\$ 222,222	\$ 770,634.50
2027			\$ 548,737.50	\$ 222,222	\$ 770,959.50
2028			\$ 548,275.00	\$ 222,222	\$ 770,497.00
2029			\$ 551,925.00	\$ 222,222	\$ 774,147.00
2030			\$ 549,056.25	\$ 222,222	\$ 771,278.25
2031			\$ 549,600.00	\$ 222,222	\$ 771,822.00
2032			\$ 549,075.00	\$ 222,222	\$ 771,297.00
2033			\$ 548,100.00	\$ 222,222	\$ 770,322.00
2034				\$ 222,222	\$ 222,222.00
2035				\$ 222,222	\$ 222,222.00
2036				\$ 222,222	\$ 222,222.00
2037				\$ 222,226	\$ 222,226.00
<b>Total</b>	<b>\$ 752,592</b>	<b>\$ 2,590,000</b>	<b>\$ 9,761,406.25</b>	<b>\$ 4,000,000</b>	<b>\$ 17,103,998.25</b>

### 2017-2019:

Southside Sewer Plant (1999 CO-2/15/2019)  
 Utilities Expansion (2002 CO- 2/15/2022)  
 Business Park Infrastructure (Series 2013)

### 2020-2022:

Utilities Expansion (2002 CO- 2/15/2022)  
 Business Park Infrastructure (Series 2013)  
 Series 2016, Medical Complex Drive-Section 4B, Persimmon Street

### 2023-2033:

Business Park Infrastructure (Series 2013)  
 Series 2016, Medical Complex Drive-Section 4B, Persimmon Street

### 2034-2037:

Series 2016, Medical Complex Drive-Section 4B, Persimmon Street



# Regular Tomball EDC Agenda Item Data Sheet

**Meeting Date:** August 8, 2023

**Topic:**

Consideration and possible action by Tomball EDC to approve out-of-state travel for FY 2023-2024 for TEDC Staff to attend conferences and trainings for professional and business development purposes.

**Background:**

Approval for out-of-state travel is being requested by TEDC staff to attend conferences and training courses in accordance with the 2023-2024 Fiscal Year Budget. Continuing education is required for staff to stay current with leading-edge strategies and techniques, legislative issues, and new technologies impacting the industry. Economic development conferences are excellent resources for learning from economic development experts on issues, trends, and best practices. Additionally, attendance at IEDC and SEDC Annual Conferences allow TEDC staff to earn recertification points to maintain their CEcD designation.

The 2023-2024 Out of State conference list is below:

**International Economic Development Council (IEDC):**

2024 Economic Future Forum  
June 16-18, 2024  
Spokane, WA

2024 Annual Conference  
September 15-18, 2024  
Denver, CO

**Economix/Consultant Connect**

November 29-30, 2023  
Charleston, SC

**Origination:** Kelly Violette, Executive Director, Tomball Economic Development Corporation

**Recommendation:** Staff recommends approval of out-of-state travel for FY 2023-2024.

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

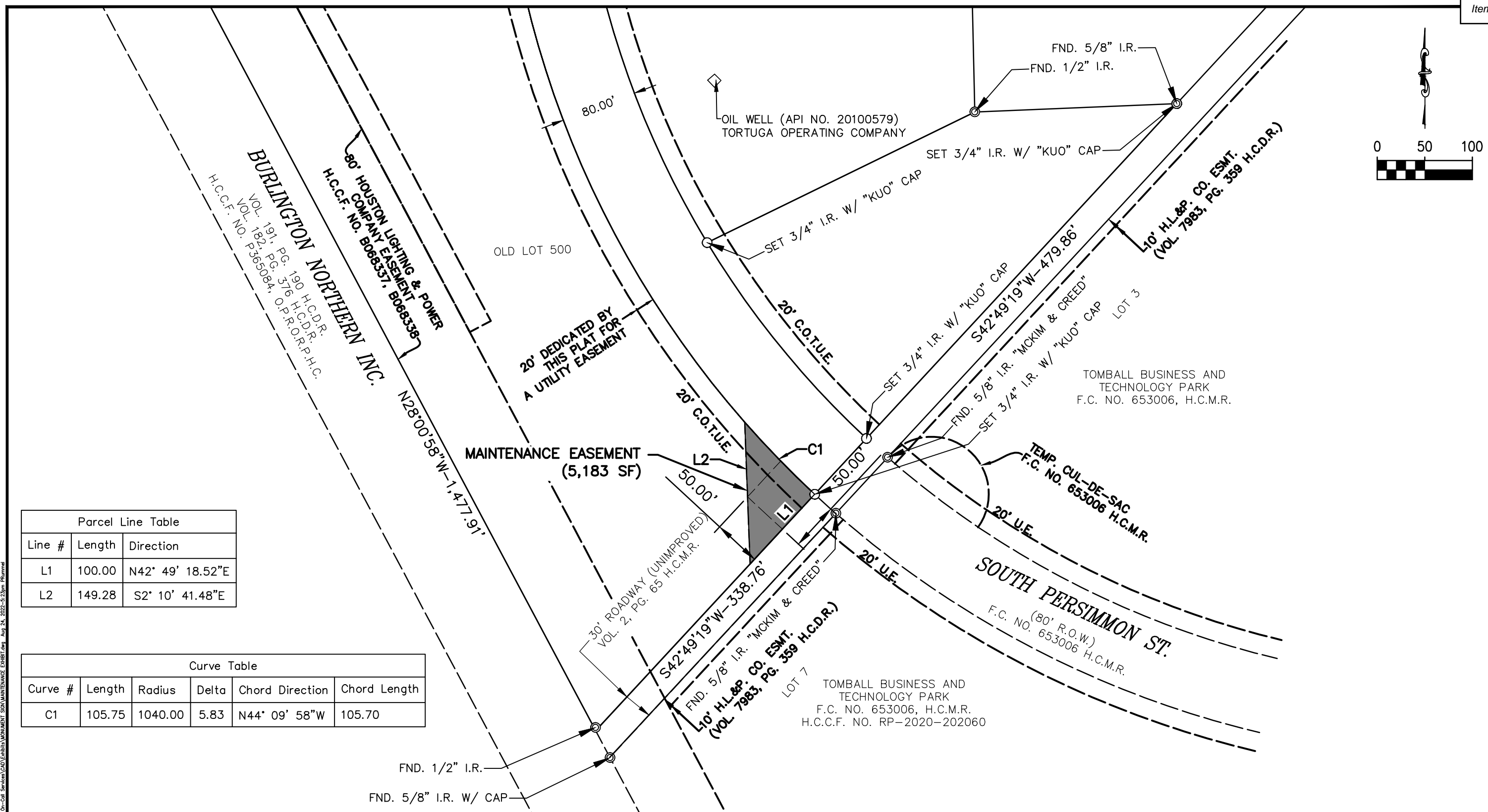
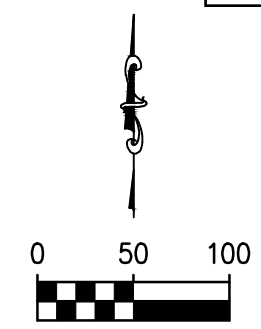
Yes: X      No:

If yes, specify Account Number: # Seminars and  
Conference Registration

If no, funds will be transferred from account # \_\_\_\_\_ To account # \_\_\_\_\_

Signed \_\_\_\_\_  
Staff Member-TEDC      Date

Approved by \_\_\_\_\_  
Executive Director-TEDC      Date



Parcel Line Table

Line #	Length	Direction
L1	100.00	N42° 49' 18.52"E
L2	149.28	S2° 10' 41.48"E

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	105.75	1040.00	5.83	N44° 09' 58"W	105.70

GUNDA CORPORATION \Users\gundacorp\Projects\2002-00 TBPE G-Cell Services\CAD\Utilities\Maintenance Exhibit.dwg Aug 24, 2022 5:23pm P:\m...

<p><b>GUNDA CORPORATION</b>                  Engineers, Planners &amp; Managers                  32731 Egypt Lane, Suite 501                  Magnolia, Texas 77354                  713.541.3530 • www.gundacorp.com                  TBPE Registration Number: F-3531</p>	PROJECT NAME:  <b>TOMBALL BUSINESS AND TECHNOLOGY PARK</b>	SHEET TITLE:  <b>MAINTENANCE EASEMENT EXHIBIT</b>
	GUNDA PROJ NO: <b>20002-00</b>	SHEET NO:  <b>1</b>
	DATE: <b>AUG, 2022</b>	

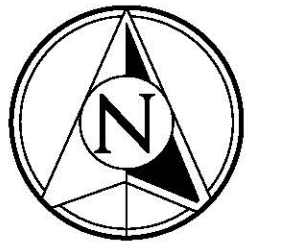


1923 VICTORIA GARDEN DR. RICHMOND, TX 77406  
KYLE@BRUNOLANDDESIGN.COM 409.382.0698

NO.	DATE	REVISION
1	10/06/2022	ISSUED FOR REVIEW

INTERIM REVIEW ONLY

Document incomplete; not intended for permit, bidding or construction.  
DATE: 10/06/2022  
LANDSCAPE ARCHITECT: Kyle M. Bruno  
REGISTRATION: 3211



PLAN NORTH  
SCALE 1" = 10'-0"



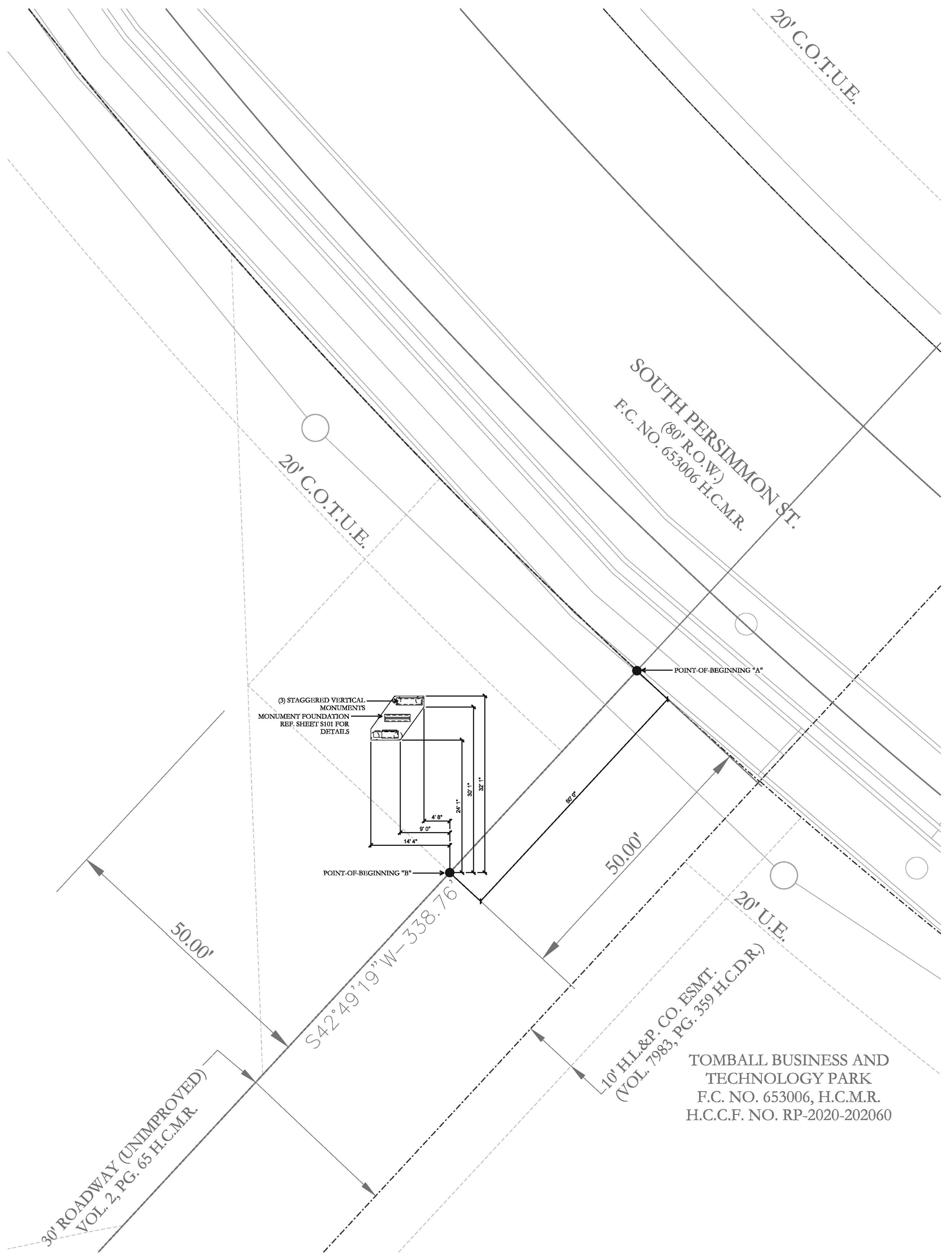
LANDSCAPE DEVELOPMENT

Monument Sign Layout

Tomball Business and Technology Park

29201 Quinn Rd., Suite B, Tomball, Texas 77375

SHEET NUMBER:  
L101



TOMBALL BUSINESS AND TECHNOLOGY PARK  
F.C. NO. 653006, H.C.M.R.  
H.C.C.F. NO. RP-2020-202060



1923 VICTORIA GARDEN DR. RICHMOND, TX 77406  
KYLE@BRUNOLANDDESIGN.COM 409.382.0698

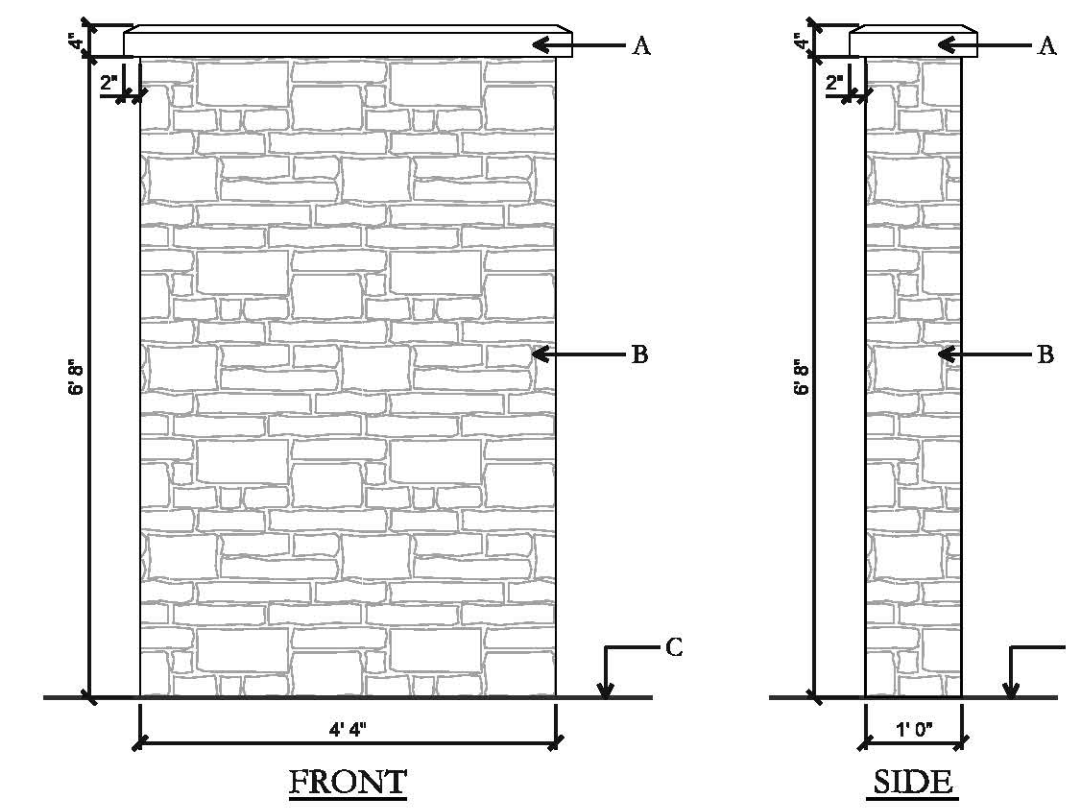
NO.	DATE:	REVISION:
1	10/06/2022	ISSUED FOR REVIEW

INTERIM REVIEW ONLY

Document incomplete; not intended for permit, bidding or construction.  
 DATE: 10/06/2022  
 LANDSCAPE ARCHITECT: Kyle M. Bruno  
 REGISTRATION: 3211

LANDSCAPE DEVELOPMENT  
 Monument Sign Details & Elevations  
 Tomball Business and Technology Park  
 29201 Quinn Rd., Suite B, Tomball, Texas 77375

- GENERAL NOTES:**
- ALL MATERIALS TO MATCH EXISTING MONUMENT SIGN. CONTRACTOR TO VERIFY MATERIALS & COLORS BEFORE CONSTRUCTION.
- CONSTRUCTION NOTES:**
- CAST STONE LEDGE CAP, REF. SHEET L102 / #5
  - STONE VENEER TO MATCH EXISTING MONUMENT. CONTRACTOR TO VERIFY MATERIAL.
  - FINISHED GRADE

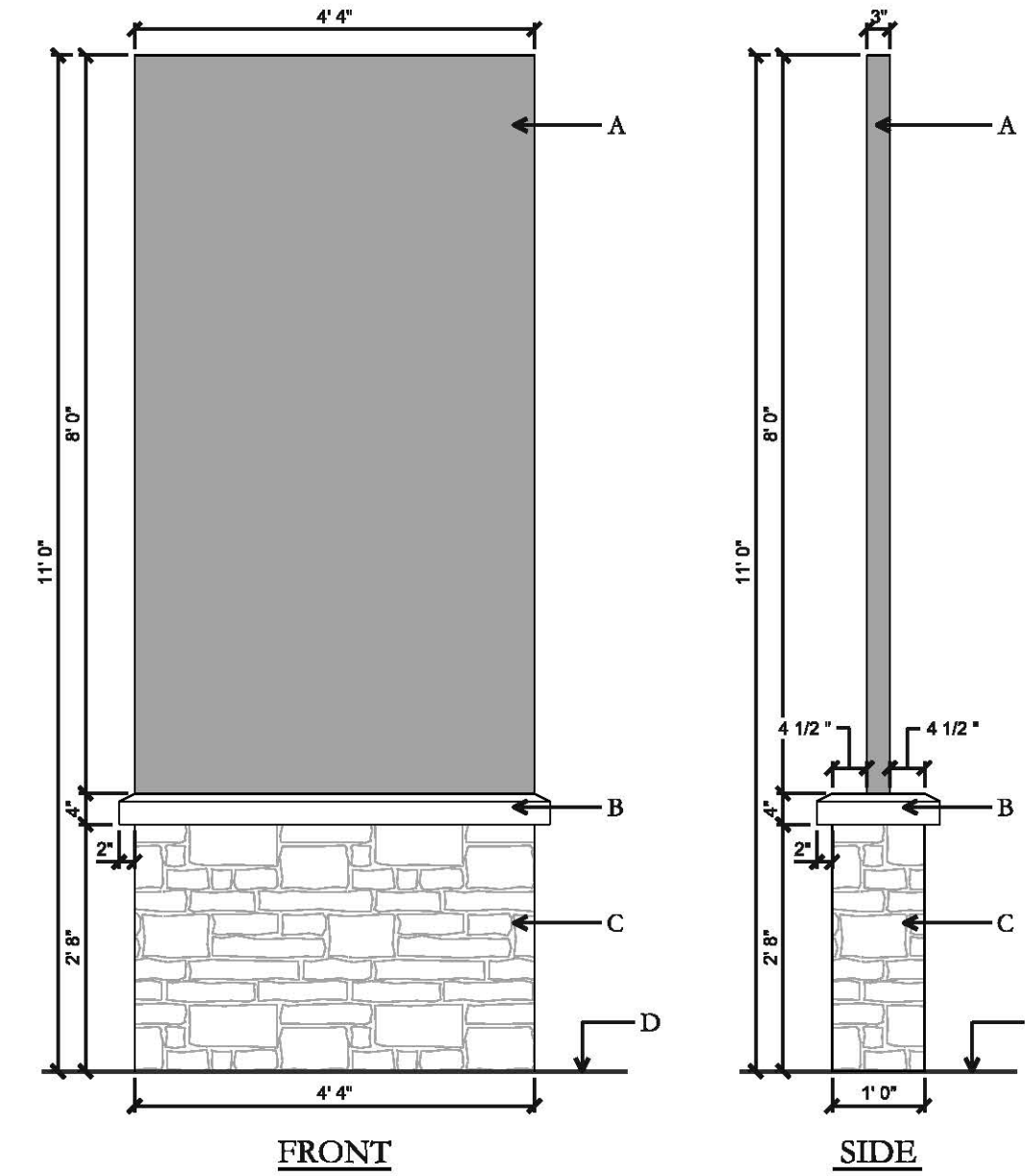


3 MASONRY MONUMENT WALL ELEVATIONS

SCALE: 1/2" = 1' 0"

- GENERAL NOTES:**
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF METAL CABINET, INCLUDING LIGHTING, TO CONTRACTOR BEFORE CONSTRUCTION.
  - ALL MATERIAL TO MATCH EXISTING MONUMENT SIGN. CONTRACTOR TO VERIFY MATERIALS & COLORS BEFORE CONSTRUCTION.
  - CONTRACTOR TO PROVIDE ALL ELECTRICAL DRAWINGS & SPECIFICATIONS FOR LIGHTING THE MONUMENT.
  - LIGHTING ELEMENTS TO MATCH EXISTING MONUMENT.

- CONSTRUCTION NOTES:**
- METAL CABINET, PAINTED, REF. SHEET L102 / #2
  - CAST STONE LEDGE CAP, REF. SHEET L102 / #6
  - STONE VENEER TO MATCH EXISTING MONUMENT. CONTRACTOR TO VERIFY MATERIAL.
  - FINISHED GRADE

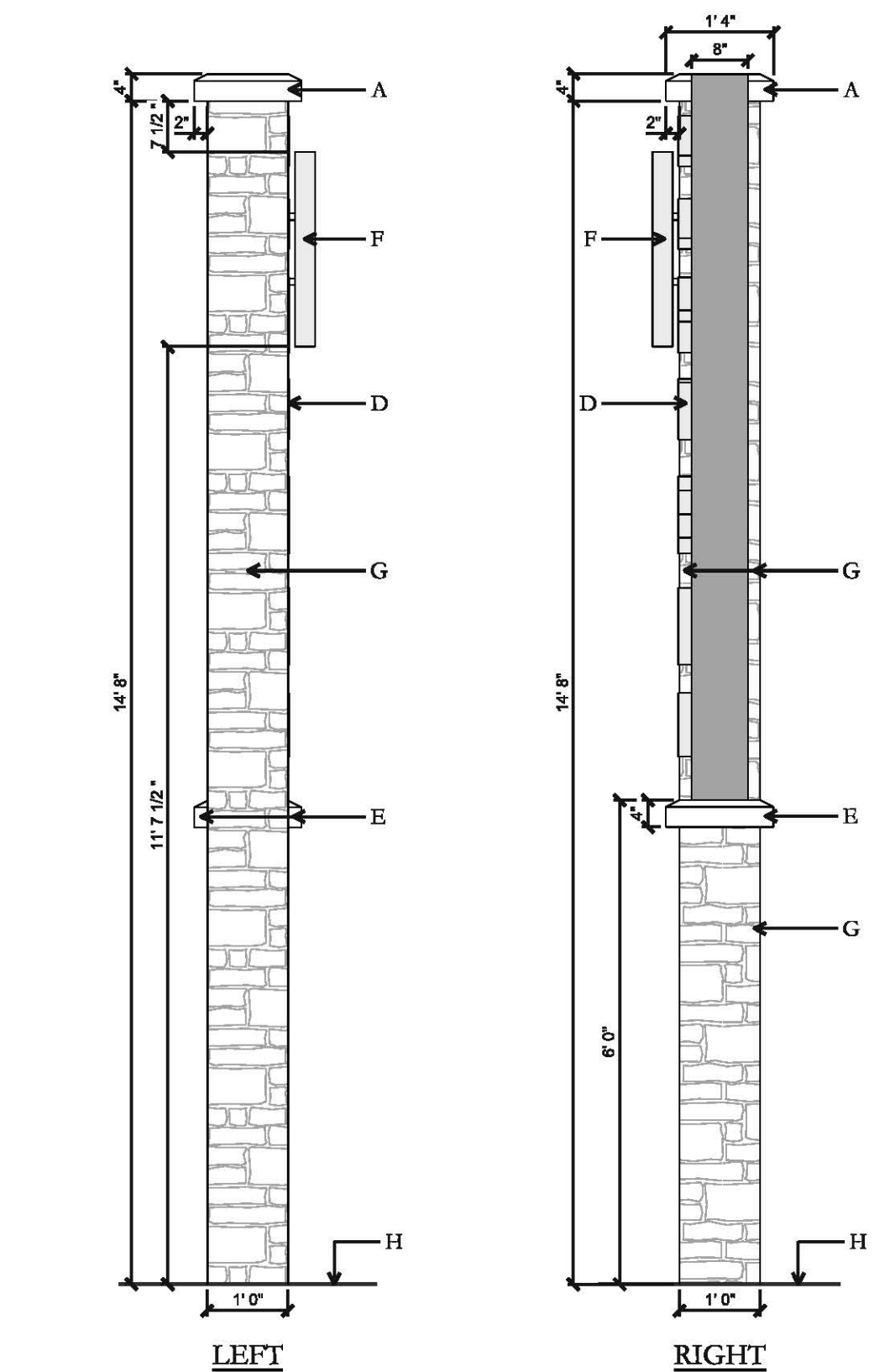


2 METAL CABINET MONUMENT WALL ELEVATIONS

SCALE: 1/2" = 1' 0"

- GENERAL NOTES:**
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF METAL CABINET, INCLUDING LIGHTING, TO CONTRACTOR BEFORE CONSTRUCTION.
  - ALL MATERIAL CHOICES TO MATCH EXISTING MONUMENT SIGN. CONTRACTOR TO VERIFY MATERIALS & COLORS BEFORE CONSTRUCTION.
  - CONTRACTOR TO PROVIDE ALL ELECTRICAL DRAWINGS & SPECIFICATIONS FOR LIGHTING THE MONUMENT.
  - LIGHTING ELEMENTS TO MATCH EXISTING MONUMENT.

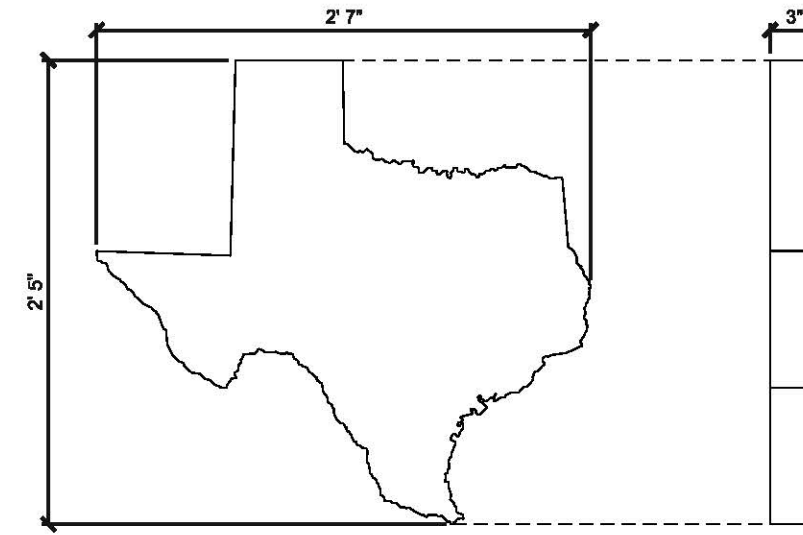
- CONSTRUCTION NOTES:**
- CAST STONE CAP, REF. SHEET L103 / #8
  - C CHANNEL, PAINTED, REF. SHEET L102 / #3
  - PERFORATED METAL
  - 12" DIMENSIONAL LETTERS, ARIAL FONT, PAINTED PER CITY SPECIFICATIONS
  - CAST STONE LEDGE CAP, REF. SHEET L103 / #7
  - REVERSE CHANNEL "TEXAS" LOGO, INTERIOR LIGHTED, REF. SHEET L102 / #9
  - STONE VENEER TO MATCH EXISTING MONUMENT. CONTRACTOR TO VERIFY MATERIAL.
  - FINISHED GRADE
  - ACCESS PANEL TO METAL CABINET



1 "TOMBALL" MONUMENT WALL ELEVATIONS

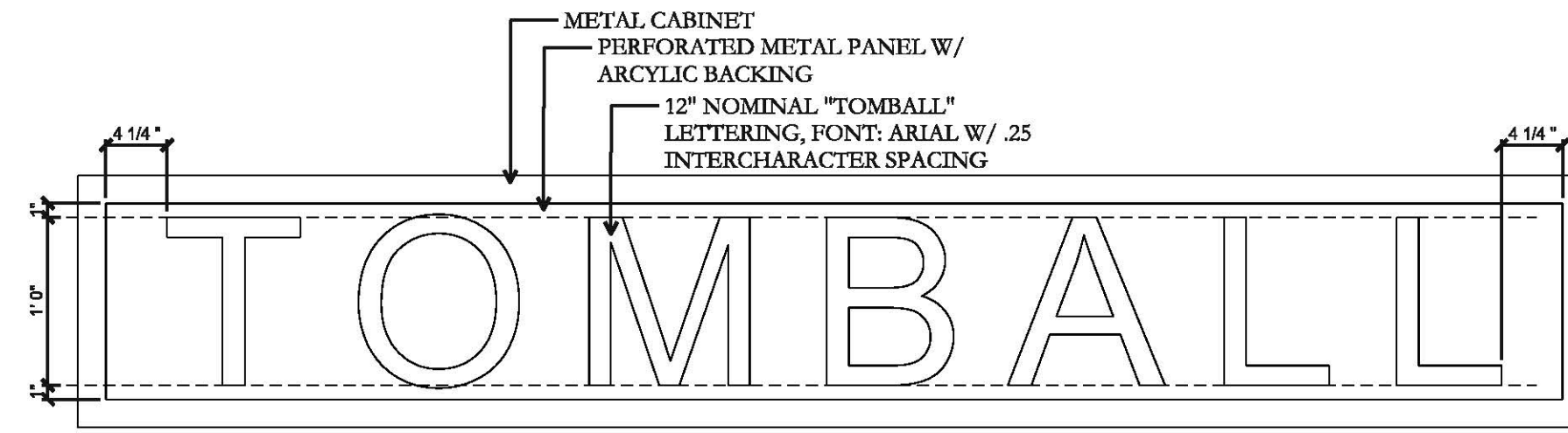
SCALE: 1/2" = 1' 0"

- GENERAL NOTES:**
- "TEXAS" LOGO TO BE REVERSE CHANNEL, PIN-MOUNTED, INTERIOR LIGHTED, REF. SHEET L103 / #5
  - COLOR TO MATCH EXISTING. CONTRACTOR TO VERIFY COLOR TO LANDSCAPE ARCHITECT



5 "TEXAS" LOGO EXHIBIT

SCALE: 1" = 1' 0"

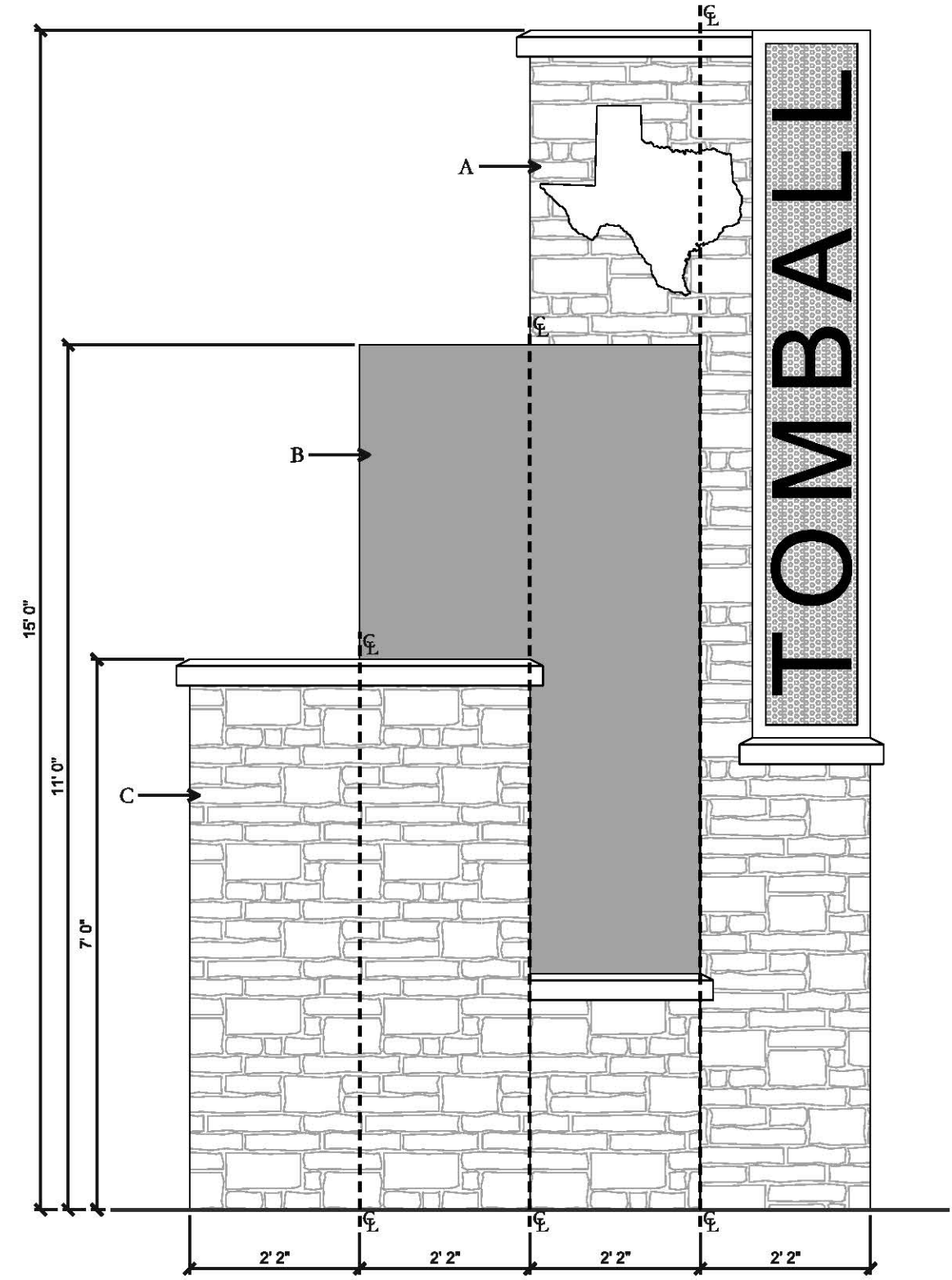


- GENERAL NOTES:**
- SIGN MANUFACTURER TO PROVIDE SHOP DRAWINGS TO CONTRACTOR & LANDSCAPE ARCHITECT.
  - LETTER COLOR "BLUE" TO MATCH EXISTING MONUMENT

4 "TOMBALL" LETTERING EXHIBIT

SCALE: 1" = 1' 0"

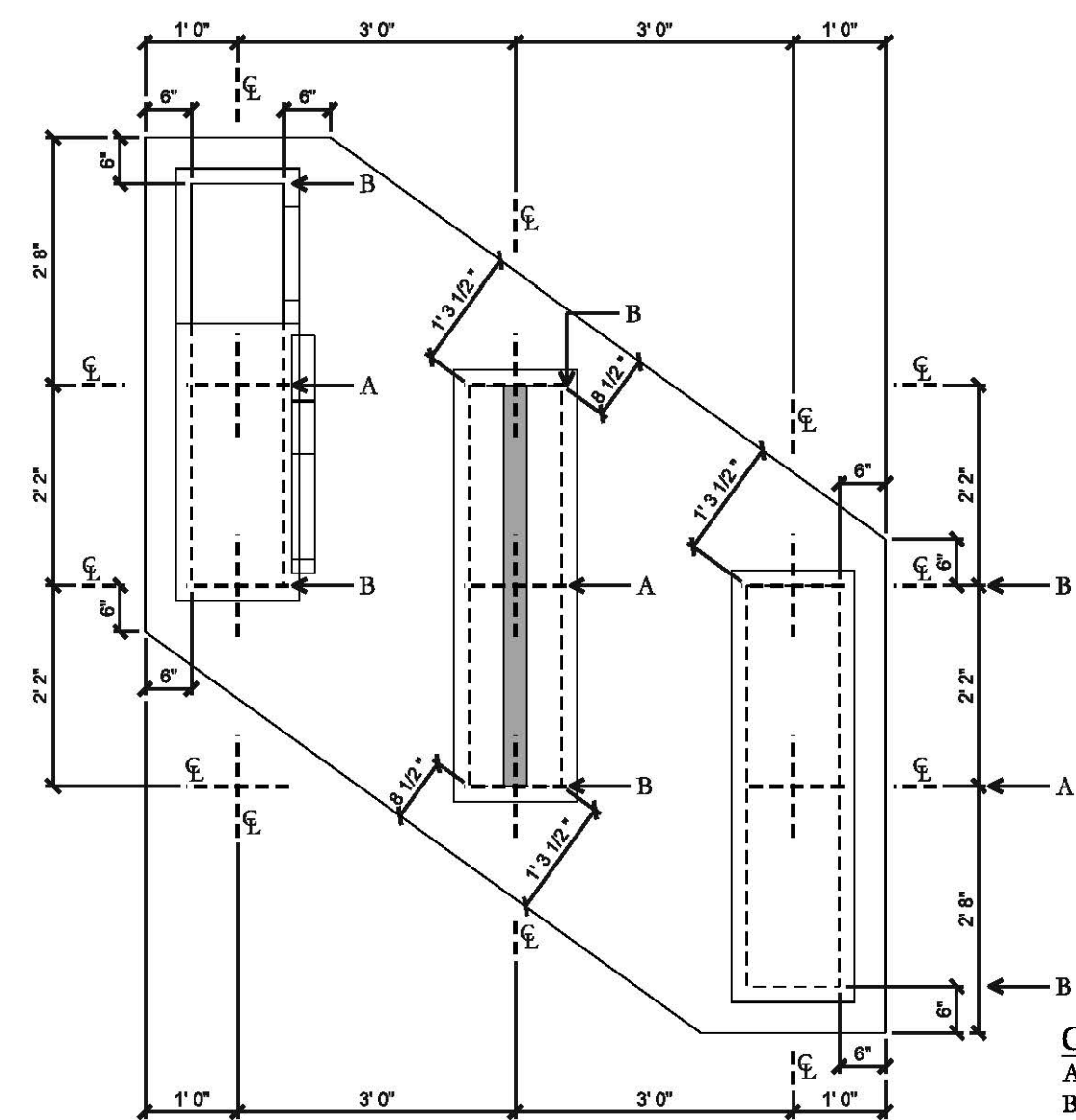
- CONSTRUCTION NOTES:**
- "TOMBALL" MONUMENT WALL, POSITIONED IN THE BACK, REF. #1 FOR ELEVATIONS
  - METAL CABINET MONUMENT WALL, POSITIONED IN THE MIDDLE, REF. #2 FOR ELEVATIONS
  - MASONRY MONUMENT WALL, POSITIONED IN THE FRONT, REF. #3 FOR ELEVATIONS



7 MONUMENT SIGN FRONT ELEVATION

SCALE: 1/2" = 1' 0"

- CONSTRUCTION NOTES:**
- MONUMENT CENTER ALIGNMENT
  - MONUMENT EDGE ALIGNMENT



6 MONUMENT SIGN ALIGNMENT LAYOUT

SCALE: 1/2" = 1' 0"



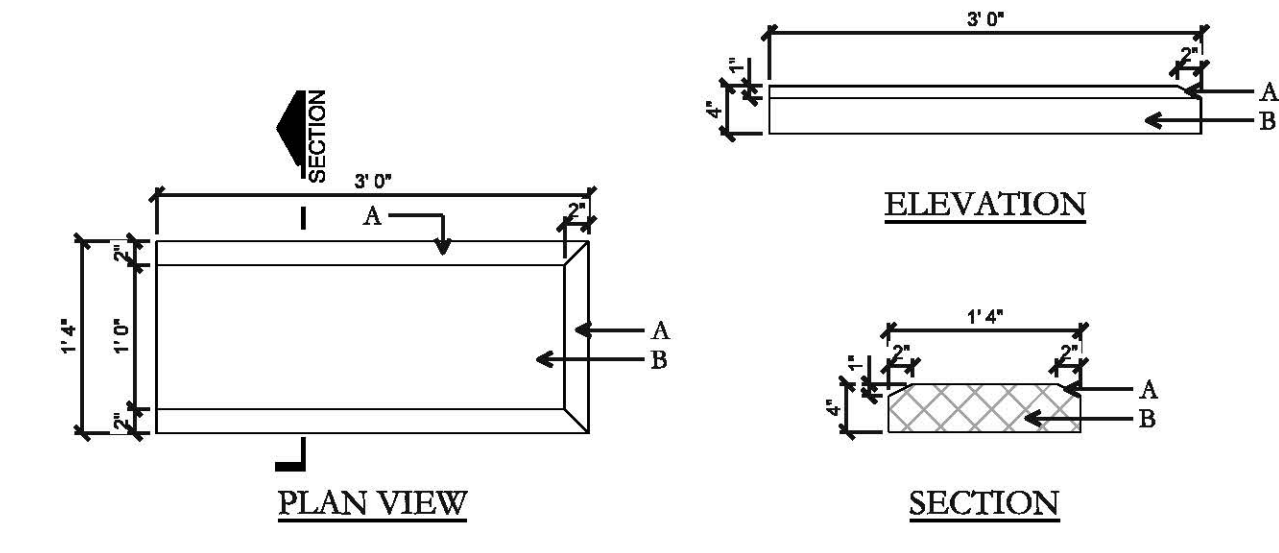
1923 VICTORIA GARDEN DR. RICHMOND, TX 77406  
KYLE@BRUNOLANDDESIGN.COM 409.382.0698

NO.	DATE:	REVISION:
1	10/06/2022	ISSUED FOR REVIEW

**INTERIM REVIEW ONLY**

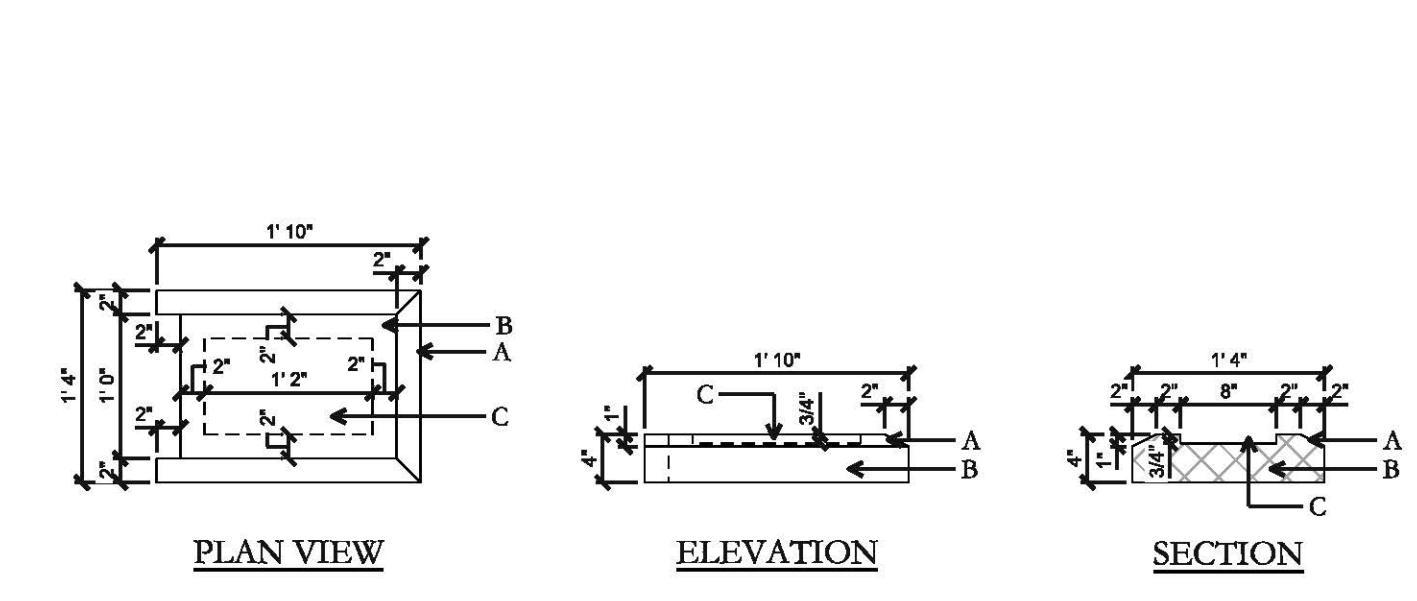
Document incomplete; not intended for permit, bidding or construction.

DATE: 10/06/2022  
 LANDSCAPE ARCHITECT: Kyle M. Bruno  
 REGISTRATION: 3211



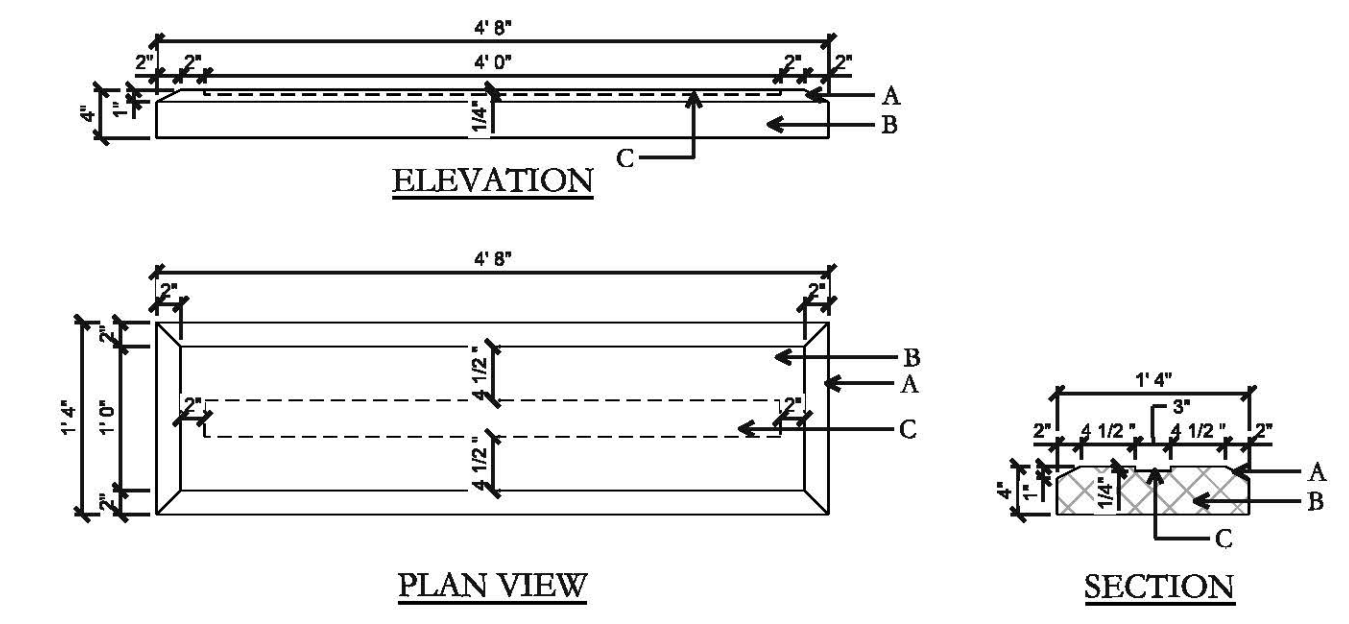
- GENERAL NOTES:**
- CAST CONCRETE SHALL BE NATURAL CONCRETE COLOR
  - CAST STONE TO HAVE SMOOTH TEXTURE FINISH
  - AT INSTALLATION CONTRACTOR TO PROVIDE A SLIGHT PITCH TO PROVIDE POSITIVE DRAINAGE
- CONSTRUCTION NOTES:**
- A CHAMFERED EDGE PER DIMENSIONS
  - B. PRE-CAST CONCRETE CAP

4 MONUMENT "TOMBALL" - CAST STONE CONCRETE CAP LAYOUT SCALE: 3/4" = 1' 0"



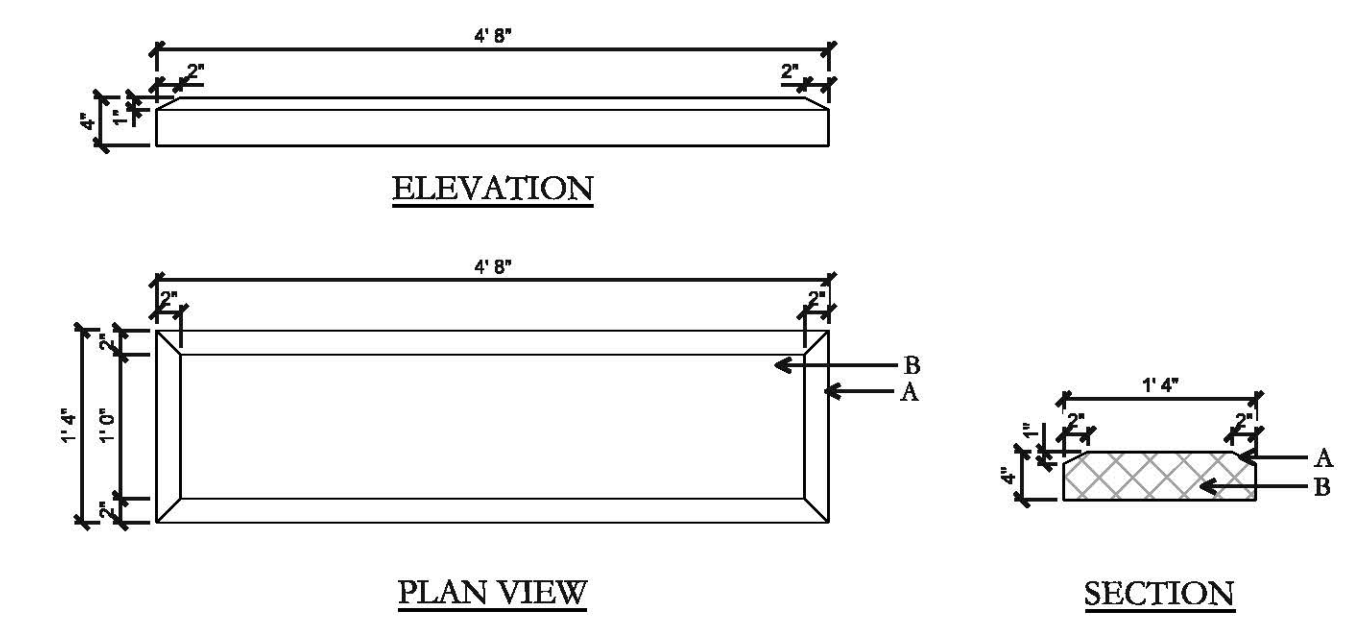
- GENERAL NOTES:**
- CAST CONCRETE SHALL BE NATURAL CONCRETE COLOR
  - CAST STONE TO HAVE SMOOTH TEXTURE FINISH
  - AT INSTALLATION CONTRACTOR TO PROVIDE A SLIGHT PITCH TO PROVIDE POSITIVE DRAINAGE
- CONSTRUCTION NOTES:**
- A CHAMFERED EDGE PER DIMENSIONS
  - B. PRE-CAST CONCRETE CAP
  - C. RECESSED CHANNEL FOR MOUNTED BRACKET

3 MONUMENT "TOMBALL" - CAST STONE CONCRETE CAP LAYOUT SCALE: 3/4" = 1' 0"



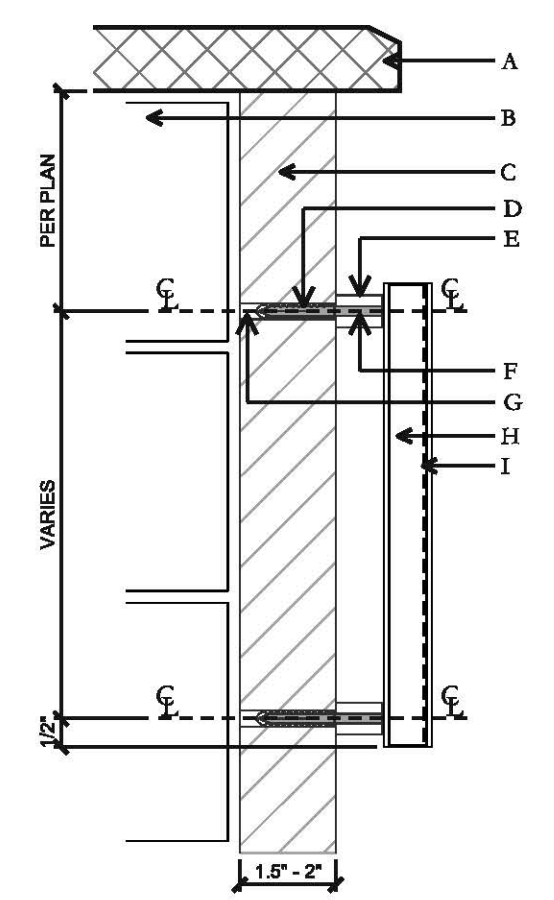
- GENERAL NOTES:**
- CAST CONCRETE SHALL BE NATURAL CONCRETE COLOR
  - CAST STONE TO HAVE SMOOTH TEXTURE FINISH
  - AT INSTALLATION CONTRACTOR TO PROVIDE A SLIGHT PITCH TO PROVIDE POSITIVE DRAINAGE
- CONSTRUCTION NOTES:**
- A CHAMFERED EDGE PER DIMENSIONS
  - B. PRE-CAST CONCRETE CAP
  - C. RECESSED CHANNEL FOR MOUNTED BRACKET

2 MONUMENT METAL PANEL- CAST STONE CONCRETE CAP LAYOUT SCALE: 3/4" = 1' 0"



- GENERAL NOTES:**
- CAST CONCRETE SHALL BE NATURAL CONCRETE COLOR
  - CAST STONE TO HAVE SMOOTH TEXTURE FINISH
  - AT INSTALLATION CONTRACTOR TO PROVIDE A SLIGHT PITCH TO PROVIDE POSITIVE DRAINAGE
- CONSTRUCTION NOTES:**
- A CHAMFERED EDGE PER DIMENSIONS
  - B. PRE-CAST CONCRETE CAP

1 MONUMENT MASONRY PANEL- CAST STONE CONCRETE CAP LAYOUT SCALE: 3/4" = 1' 0"



- GENERAL NOTES:**
- CONTRACTOR TO PROVIDE LIGHTING PLANS TO MATCH EXISTING MONUMENT SIGN
- CONSTRUCTION NOTES:**
- A. SIGN CAP (PER DETAILS)
  - B. CMU BLOCK (PER DETAILS)
  - C. STONE VENEER (PER DETAILS)
  - D. PIN-MOUNT PLUG
  - E. 1" PIN-MOUNT SPACES
  - F. PIN-MOUNT WELDED TO LETTERING
  - G. PIN-MOUNT DRILLED PILOT HOLE
  - H. REVERSE CHANNEL "TEXAS" LOGO
  - I. LED LIGHTING STRIP

5 PIN-MOUNT INSTALLATION DIAGRAM - REVERSE CHANNEL LOGO

LANDSCAPE DEVELOPMENT

Monument Sign Details

Tomball Business and Technology Park  
29201 Quinn Rd., Suite B, Tomball, Texas 77375

**GENERAL CONSTRUCTION NOTES**

**CAST-IN-PLACE CONCRETE**

- ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE 1 AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
- ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
- CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
- CHLORIDES SHALL NOT BE USED.
- MAXIMUM AGGREGATE SIZE = 1".

**CONCRETE REINFORCING STEEL**

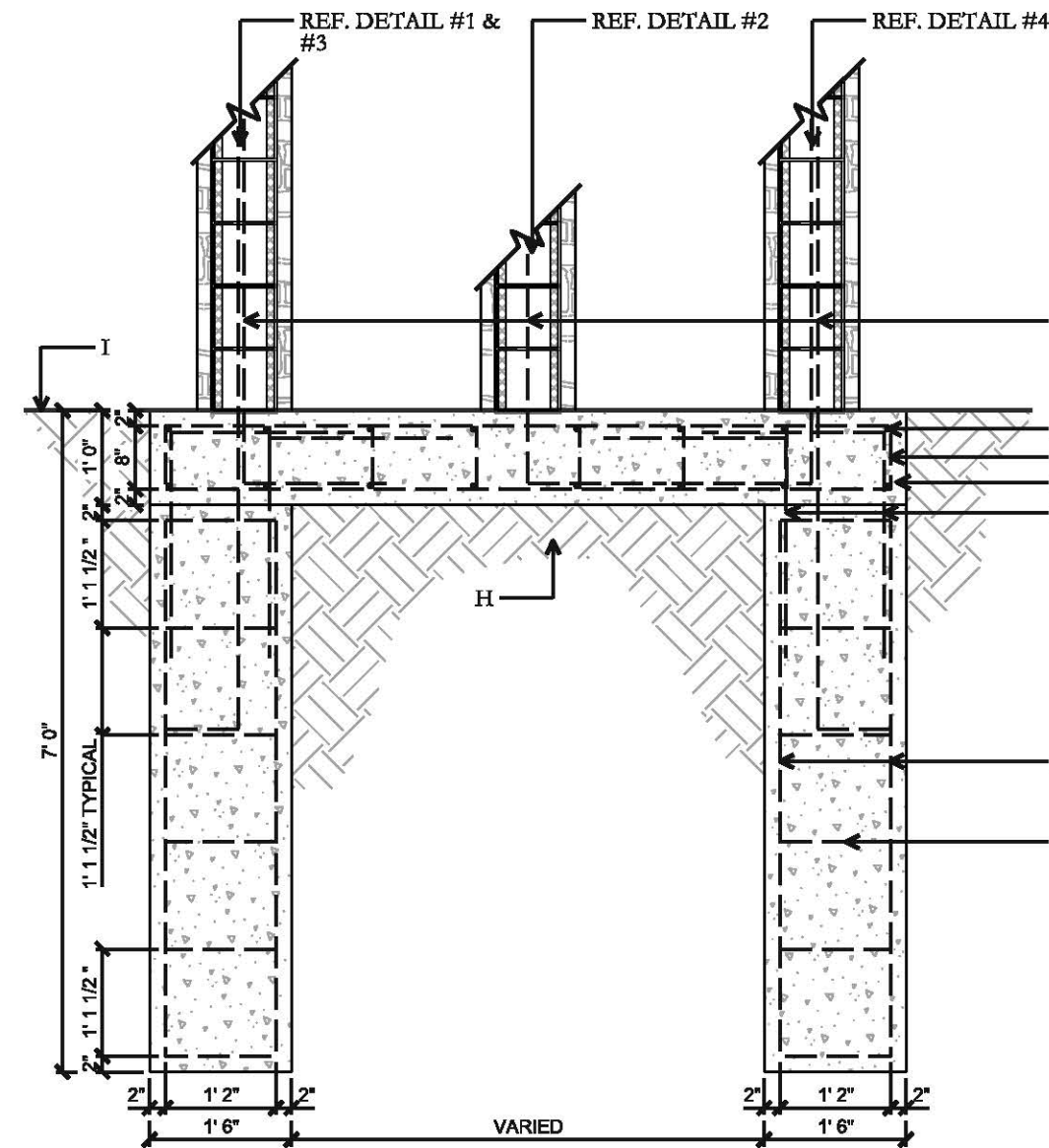
- ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A905. PROVIDE 3B BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
- PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
  - CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
  - CONCRETE EXPOSED TO EARTH OR WEATHER:
    - (A) BARS LARGER THAN NO. 5: 2 INCHES
    - (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
- CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
  - SLABS, WALLS AND JOISTS
    - (A) BARS, LARGER THAN NO. 11: 1-1/2 INCHES
    - (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
  - BEAMS AND COLUMNS: 1-1/2 INCHES
  - SHELLS AND FOLDED PLATES
    - (A) BAR LARGER THAN NO. 5: 3/4 INCHES
    - (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
- ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.

**DRILLED PIERS**

- PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
- PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
- STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
- PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED.
- PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.

**STRUCTURAL CONCRETE MASONRY UNIT**

- CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
- CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
- MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
- COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 1/2" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
- REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
- HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
- JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
- LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
- LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
- PLACE GROUT USING LOW-LIFT METHOD, 6'-8" MAXIMUM LIFTS.



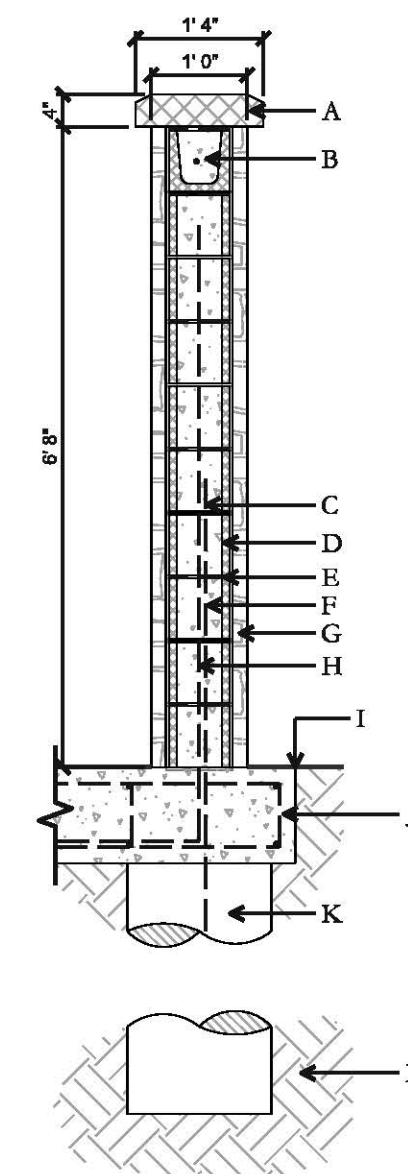
**7 MONUMENT SLAB & PIERS DETAIL** SCALE: 1/2" = 1' 0"

**GENERAL NOTES:**

- VERTICAL BAR POSITIONERS MUST BE PROVIDED AT THE TOP AND BOTTOM OF EACH VERTICAL BAR & AT INTERVALS NOT EXCEEDING 8". POSITIONERS SHALL BE MIN. 9 GA. DIAMETER PREFABRICATED FROM COLD-DRAWN STEEL WIRE CONFORMING TO ASTM A 1064, ASTM A82 & SHALL BE HOT-DIP GALVANIZED PER STM A 153.
- BARS MUST BE IN CONTACT & TIED TOGETHER OVRH SPLICE LENGTH

**CONSTRUCTION NOTES:**

- #5 REBAR VERTICAL TIE, EVERY OTHER VOID, VERTICAL SPLICE TO BE MIN. 50% THE HEIGHT OF THE MONUMENT STRUCTURE & 12" WITHIN PIER, BOTH TIED IN PLACE (REF. NOTE #1)
- #5 REBAR, TOP & BOTTOM, CONTINUOUS THROUGHOUT
- #5 REBAR STIRRUP, REF. MONUMENT SLAB STEEL LAYOUT FOR SPACING
- CONCRETE SLAB, REF. CONCRETE NOTES FOR SPECIFICATIONS
- (4) #5 REBAR VERTICAL, FRONT & BACK, LEFT & RIGHT
- UNDISTURBED SUBGRADE
- (6) #5 REBAR, FRONT & BACK
- UNDISTURBED SUBSURFACE SOIL.
- FINISHED GRADE



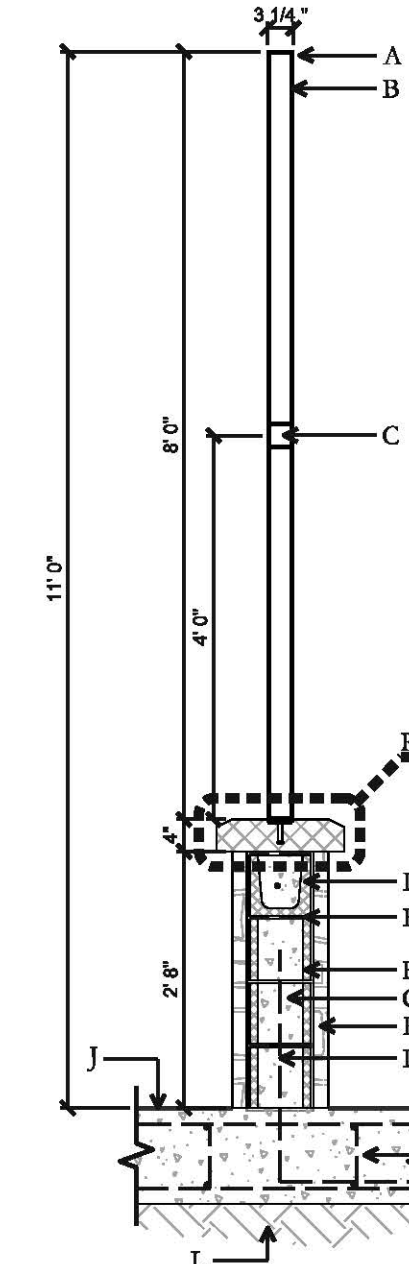
**4 MASONRY MONUMENT WALL SECTION** SCALE: 1/2" = 1' 0"

**GENERAL NOTES:**

- CONTRACTOR TO IDENTIFY & VERIFY MATERIALS TO MATCH EXISTING MONUMENT SIGN.
- MONUMENT SIGN MATERIALS & COLOR TO MATCH IDENTICAL TO EXISTING MONUMENT SIGN
- CONTRACTOR IS RESPONSIBLE FOR ALL LIGHTING ELEMENTS FOR MONUMENT SIGN
- SIGN MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR ALL METAL CABINET COMPONENTS

**CONSTRUCTION NOTES:**

- CAST STONE CONCRETE CAP, REF. SHEET L103 / #1
- CMU BOND BEAM W/ #5 REBAR CONTINUOUS THROUGHOUT
- #5 REBAR, VERTICAL SPLICE CONTINUOUS THROUGH PIER, REF. DETAIL #7
- 8X8 STANDARD CMU BLOCK
- HORIZONTAL JOINT REINFORCING @ 16" O.C. (VERTICAL SPACING)
- CONCRETE FILLED VOIDS WHERE REBAR IS INSTALLED
- VENEER STONE TO MATCH EXISTING MONUMENT
- #5 REBAR REINFORCING VERTICALS @ 24" O.C. (VERTICAL SPACING) SPLICED @ BOTTOM BAR OF SLAB
- FINISHED GRADE
- CONCRETE FOUNDATION W/ REBAR REINFORCEMENT, REF. DETAIL 7
- CONCRETE PIER W/ REBAR REINFORCEMENT, REF. DETAIL 7
- UNDISTURBED SUBSURFACE SOIL



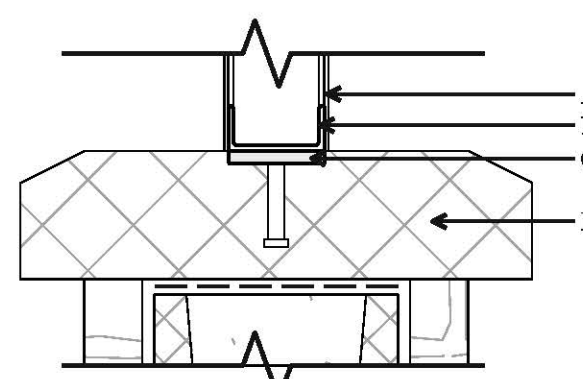
**2 METAL CABINET MONUMENT WALL SECTION** SCALE: 1/2" = 1' 0"

**GENERAL NOTES:**

- CONTRACTOR TO IDENTIFY & VERIFY MATERIALS TO MATCH EXISTING MONUMENT SIGN.
- MONUMENT SIGN MATERIALS & COLOR TO MATCH IDENTICAL TO EXISTING MONUMENT SIGN
- CONTRACTOR IS RESPONSIBLE FOR ALL LIGHTING ELEMENTS FOR MONUMENT SIGN
- SIGN MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR ALL METAL CABINET COMPONENTS

**CONSTRUCTION NOTES:**

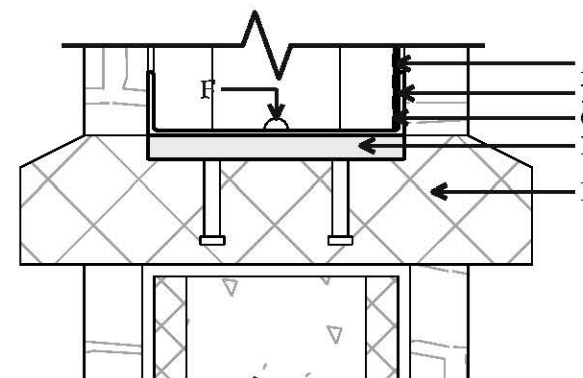
- 3C X 3.5 C CHANNEL WELDED FRAME, PAINTED TO MATCH EXISTING MONUMENT
- 3/16 ALUMINUM PANEL, PAINTED TO MATCH EXISTING
- 3" X 3" ALUMINUM TUBE REINFORCEMENT
- CMU BOND BEAM W/ #5 REBAR CONTINUOUS THROUGHOUT
- HORIZONTAL JOINT REINFORCING @ 16" O.C. (VERTICAL SPACING)
- 8X8 STANDARD CMU BLOCK
- CONCRETE FILLED VOIDS WHERE REBAR IS INSTALLED
- VENEER STONE TO MATCH EXISTING MONUMENT
- #5 REBAR REINFORCING VERTICALS @ 24" O.C. (VERTICAL SPACING) SPLICED @ BOTTOM BAR OF SLAB
- FINISHED GRADE
- CONCRETE FOUNDATION W/ REBAR REINFORCEMENT, REF. DETAIL 7
- UNDISTURBED SUBSURFACE SOIL



**10 MONUMENT SLAB LAYOUT** SCALE: 2" = 1' 0"

**CONSTRUCTION NOTES:**

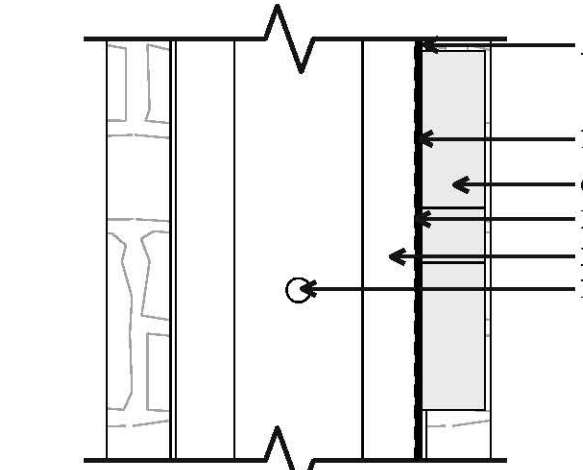
- 3/16 ALUMINUM PANEL, PAINTED TO MATCH EXISTING
- 3C X 3.5 C CHANNEL WELDED FRAME, PAINTED TO MATCH EXISTING MONUMENT
- PL 1/4" X 3" X 48" BRACKET W/ (5) 1/2" DIA. X 2 5/8" HEADED STUDS SPACED EVENLY
- CAST STONE CONCRETE CAP, REF. SHEET L103 / #2



**9 MONUMENT SLAB LAYOUT** SCALE: 2" = 1' 0"

**CONSTRUCTION NOTES:**

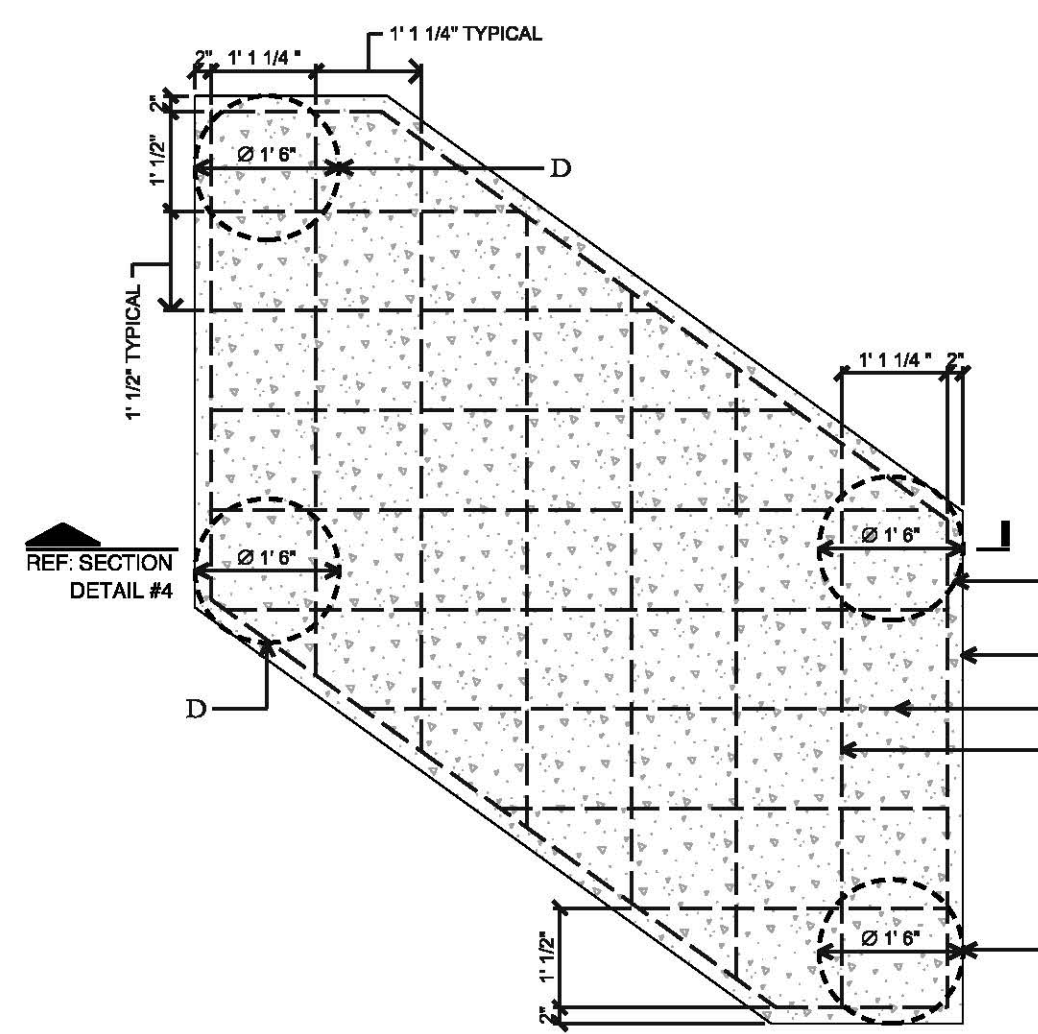
- 3/16 ALUMINUM PERFORATED PANEL, PAINTED TO MATCH EXISTING
- 8C X 11.5 C CHANNEL WELDED FRAME, PAINTED TO MATCH EXISTING MONUMENT
- ACRYLIC BACKING
- PL 1/2" X 14" X 8" BRACKET W/ (4) 1/2" DIA. X 2 5/8" HEADED STUDS
- CAST STONE CONCRETE CAP, REF. SHEET L103 / #3
- LED STRIP LIGHTING, TOP & BOTTOM



**8 MONUMENT SLAB LAYOUT** SCALE: 2" = 1' 0"

**CONSTRUCTION NOTES:**

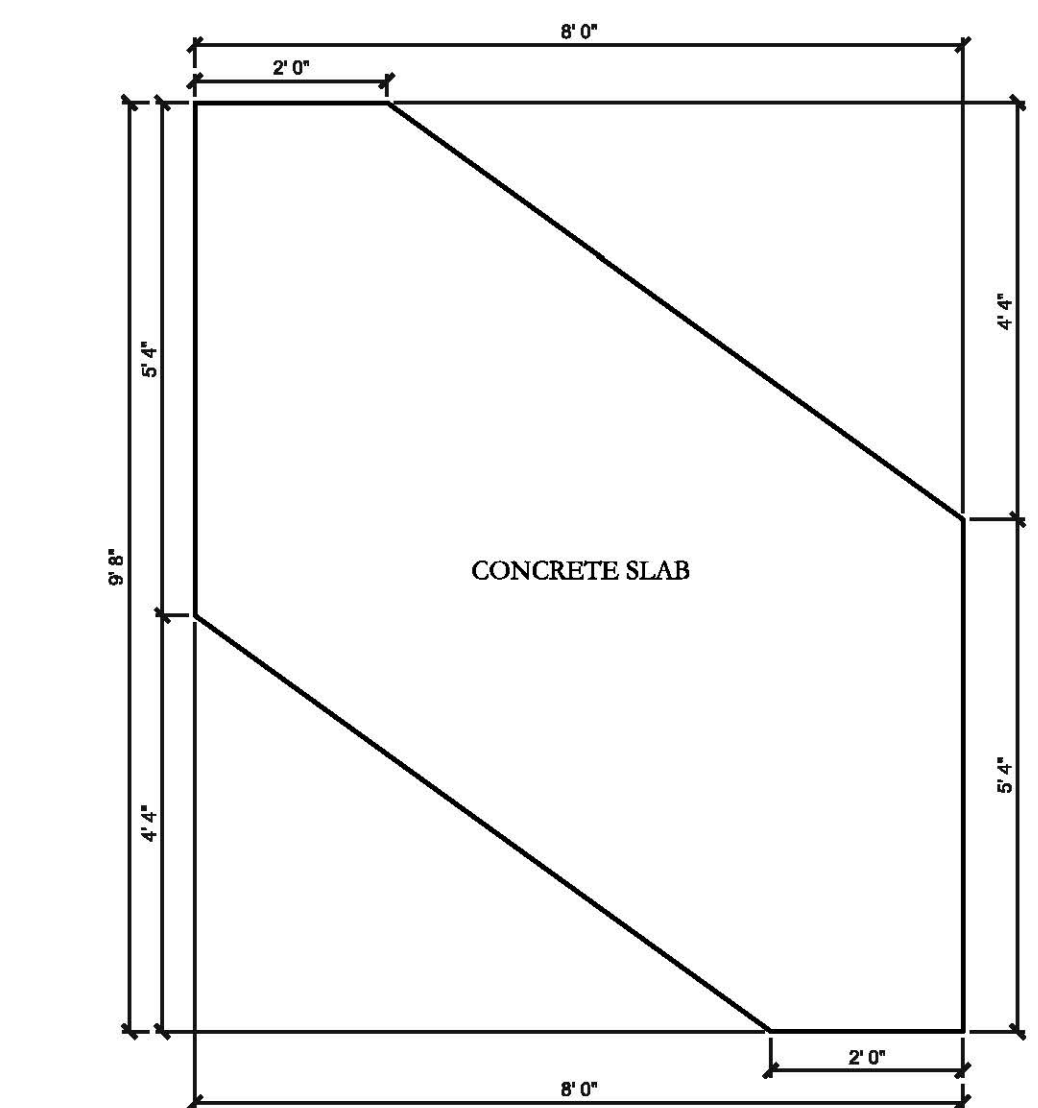
- 3/16 ALUMINUM PANEL, PAINTED TO MATCH EXISTING
- 3C X 3.5 C CHANNEL WELDED FRAME, PAINTED TO MATCH EXISTING MONUMENT
- 12" NOMINAL "TOMBALL" LETTERING
- ACRYLIC BACKING
- 8C X 11.5 C CHANNEL WELDED FRAME, PAINTED TO MATCH EXISTING MONUMENT
- (4) SS EXP BOLT, SPACED EVENLY



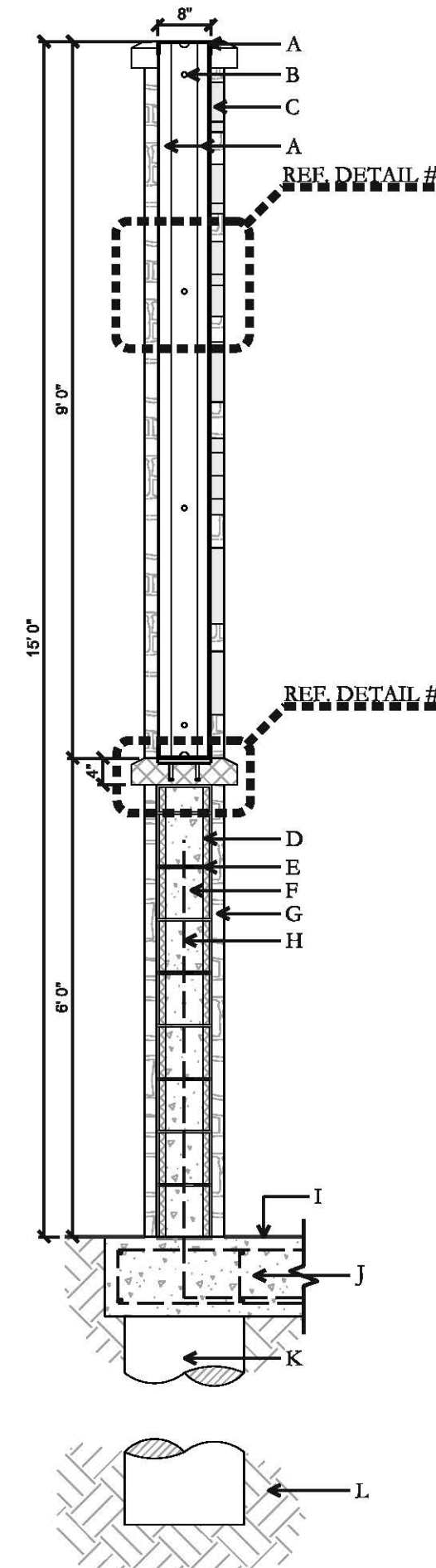
**6 MONUMENT SLAB STEEL LAYOUT** SCALE: 1/2" = 1' 0"

**CONSTRUCTION NOTES:**

- CONCRETE SLAB, REF. CONCRETE NOTES FOR SPECIFICATIONS
- #5 REBAR, TOP & BOTTOM, CONTINUOUS THROUGHOUT
- #5 REBAR, TOP & BOTTOM, CONTINUOUS THROUGHOUT
- 18" DRILLED PIER, REF. SHEET L102 / #4



**5 MONUMENT SLAB LAYOUT** SCALE: 1/2" = 1' 0"



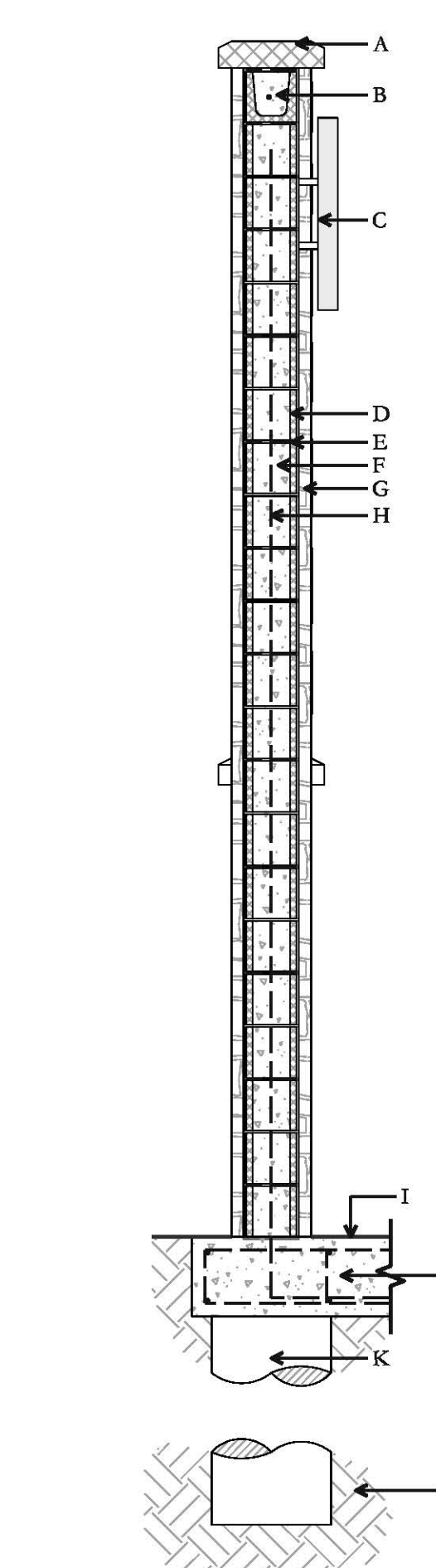
**3 "TOMBALL" MONUMENT WALL SECTION** SCALE: 1/2" = 1' 0"

**GENERAL NOTES:**

- CONTRACTOR TO IDENTIFY & VERIFY MATERIALS TO MATCH EXISTING MONUMENT SIGN.
- MONUMENT SIGN MATERIALS & COLOR TO MATCH IDENTICAL TO EXISTING MONUMENT SIGN
- CONTRACTOR IS RESPONSIBLE FOR ALL LIGHTING ELEMENTS FOR MONUMENT SIGN
- SIGN MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR ALL METAL CABINET COMPONENTS

**CONSTRUCTION NOTES:**

- 8C X 11.5 C CHANNEL WELDED FRAME, PAINTED TO MATCH EXISTING MONUMENT
- (4) SS EXP BOLT, SPACED EVENLY
- 12" NOMINAL DIMENSION "TOMBALL" LETTERING, REF. SHEET L102 / #4
- 8X8 STANDARD CMU BLOCK
- HORIZONTAL JOINT REINFORCING @ 16" O.C. (VERTICAL SPACING)
- CONCRETE FILLED VOIDS WHERE REBAR IS INSTALLED
- VENEER STONE TO MATCH EXISTING MONUMENT
- #5 REBAR REINFORCING VERTICALS @ 24" O.C. (VERTICAL SPACING) SPLICED @ BOTTOM BAR OF SLAB
- FINISHED GRADE
- CONCRETE FOUNDATION W/ REBAR REINFORCEMENT, REF. DETAIL 7
- CONCRETE PIER W/ REBAR REINFORCEMENT, REF. DETAIL 7
- UNDISTURBED SUBSURFACE SOIL



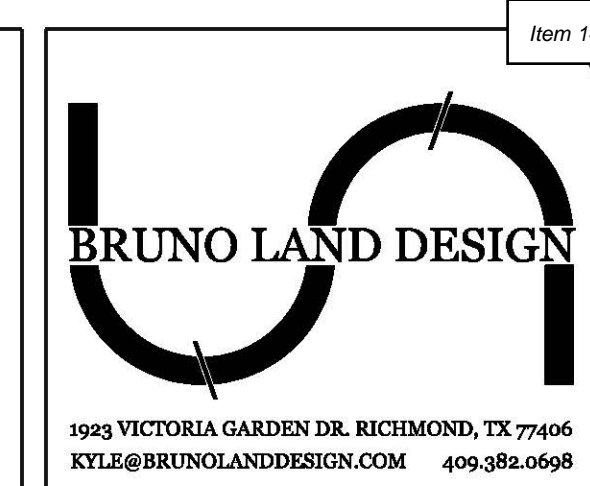
**1 "TOMBALL" MONUMENT WALL SECTION** SCALE: 1/2" = 1' 0"

**GENERAL NOTES:**

- CONTRACTOR TO IDENTIFY & VERIFY MATERIALS TO MATCH EXISTING MONUMENT SIGN.
- MONUMENT SIGN MATERIALS & COLOR TO MATCH IDENTICAL TO EXISTING MONUMENT SIGN
- CONTRACTOR IS RESPONSIBLE FOR ALL LIGHTING ELEMENTS FOR MONUMENT SIGN
- SIGN MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR REVERSE CHANNEL "TEXAS" LOGO, INCLUDING LIGHTING ELEMENTS

**CONSTRUCTION NOTES:**

- CAST STONE CONCRETE CAP, REF. SHEET L103 / #4
- CMU BOND BEAM W/ #5 REBAR CONTINUOUS THROUGHOUT
- REVERSE CHANNEL "TEXAS" LOGO, PIN-MOUNTED, PAINTED TO MATCH EXISTING MONUMENT SIGN LOGO
- 8X8 STANDARD CMU BLOCK
- HORIZONTAL JOINT REINFORCING @ 16" O.C. (VERTICAL SPACING)
- CONCRETE FILLED VOIDS WHERE REBAR IS INSTALLED
- VENEER STONE TO MATCH EXISTING MONUMENT
- #5 REBAR REINFORCING VERTICALS @ 24" O.C. (VERTICAL SPACING) SPLICED @ BOTTOM BAR OF SLAB
- FINISHED GRADE
- CONCRETE FOUNDATION W/ REBAR REINFORCEMENT, REF. DETAIL 7
- CONCRETE PIER W/ REBAR REINFORCEMENT, REF. DETAIL 7
- UNDISTURBED SUBSURFACE SOIL



NO.	DATE	REVISION
1	10/06/2022	ISSUED FOR REVIEW

**INTERIM REVIEW ONLY**

Document incomplete; not intended for permit, bidding or construction.

DATE: 10/06/2022  
 LANDSCAPE ARCHITECT: Kyle M. Bruno  
 REGISTRATION: 3211

**LANDSCAPE DEVELOPMENT**  
 Structural Details  
**Tomball Business and Technology Park**  
 29201 Quinn Rd., Suite B, Tomball, Texas 77375

**TREE SCHEDULE**

SYMBOL	QTY.	ABV.	BOTANICAL NAME / COMMON	CALIPER	HEIGHT	WIDTH	SIZE	NOTES
	6	(LP)	PINUS TAEDA / LOBLOLLY PINE	3"	12' - 14'	5'	65 GAL.	MATCHED, WELL ROOTED
	7	(VI)	VITEX AGNUS-CASTUS / VITEX	1 1/4" - 1 1/2"	8' - 9'	3' - 4'	50 GAL.	MATCHED, WELL ROOTED, MULTI

**PLANTING SCHEDULE**

SYMBOL	QTY.	ABV.	BOTANICAL NAME / COMMON	HEIGHT	WIDTH	SIZE	NOTES
<b>SHRUBS</b>							
	14	(MS)	SALVIA FARINACEA / MEALY BLUE SAGE	20"	18"	3 GAL.	FULL, WELL ROOTED, 24" O.C.
	27	(BI)	DIETES BICOLOR / BICOLOR IRIS	16"	8"	3 GAL.	FULL, WELL ROOTED, 24" O.C.
	24	(DKO)	ROSA 'DOUBLE KNOCK OUT' / DOUBLE KNOCKOUT ROSE	24"	22"	7 GAL.	FULL, WELL ROOTED, 30" O.C., FLOWER COLOR: RED DOUBLE BLOOM
	17	(SL)	LIGUSTRUM SINENSIS 'SUNSHINE' / SUNSHINE LIGUSTRUM	24"	24"	7 GAL.	FULL, WELL ROOTED, 36" O.C.
	21	(DWM)	MYRICA PUSILLA / DWARF WAX MYRTLE	24"	24"	7 GAL.	FULL, WELL ROOTED, 48" O.C.
<b>SOD</b>							
	2,375 SF	(BER)	CYNODON DACTYLON / BERMUDA GRASS				SOLID SOD

**PLANTING LEGEND**

SYMBOL / NOTATION	DESCRIPTION
	PROPOSED EVERGREEN TREE (PER PLAN)
	PROPOSED DECIDUOUS TREE (PER PLAN)
	STEEL EDGING - PER PLAN - REFERENCE DETAIL
	LIMIT OF SOD
	SHRUBS (PER PLAN)
	PROPOSED SOD (PER PLAN)

**GENERAL LANDSCAPE NOTES**

**GENERAL NOTES & SPECIFICATIONS:**

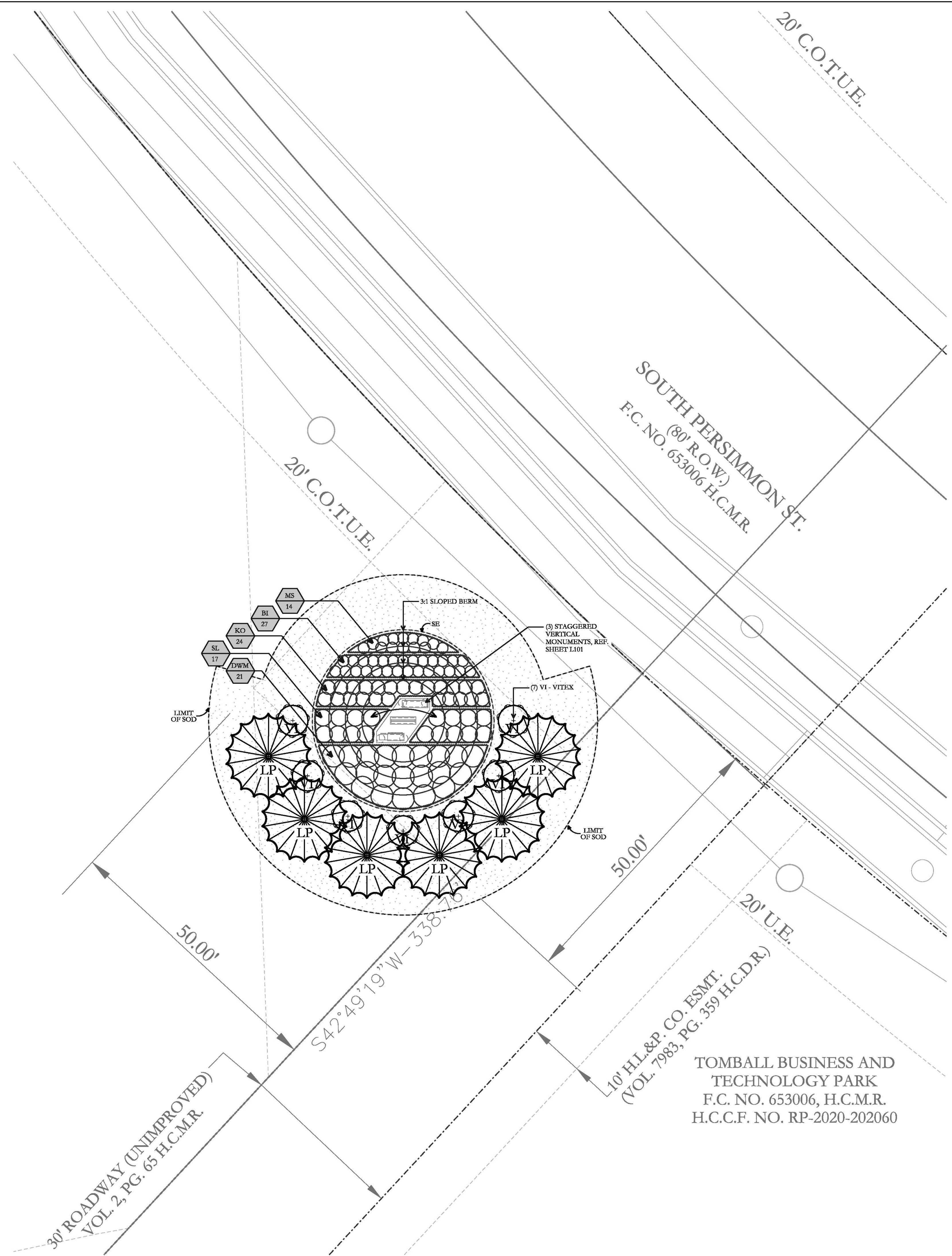
- NOTES PROVIDED HEREIN ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO THE DETAILS, ADDENDA AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF ALL EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH WORK TO BE DONE. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIALS, LABOR, AND EQUIPMENT TO COMPLETE ALL LANDSCAPING WORK IN STRICT ACCORDANCE WITH THE PLANTING PLAN, PLANT LIST, AND ALL ITEMS DESCRIBED IN THESE SPECIFICATIONS UNLESS OTHERWISE NOTED. THIS INCLUDES BUT IS NOT LIMITED TO FERTILIZER, MULCH, STAKES, TIES, GUY WIRES, CABLES, AND ALL OTHER NECESSARY EQUIPMENT TO COMPLETE THIS WORK.
- IF THE PLANTING PLAN DOES NOT AGREE WITH THE PLANT LIST THE QUANTITIES INDICATED GRAPHICALLY ON THE PLANTING PLANS SHALL GOVERN.
- IF THE PLANTING SCHEDULE DOES NOT AGREE WITH THE PLANT IDENTIFICATION TAG ON THE PLAN THE CONTRACTOR IS TO CALL THE LANDSCAPE ARCHITECT TO VERIFY PLANT IDENTIFICATION.
- ALL SUBSTITUTIONS OR ALTERATIONS TO THE LANDSCAPE AND IRRIGATION PLANS OR SPECIFICATIONS MUST BE SUBMITTED, IN WRITING, TO THE LANDSCAPE ARCHITECT FOR APPROVAL.

**LANDSCAPE STANDARDS:**

- CONTRACTOR SHALL LAY OUT PLANT MATERIAL PER PLAN AND FACE TO GIVE BEST APPEARANCE OR RELATION TO ADJACENT PLANTS, STRUCTURES OR VIEWS.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- PLANT MATERIAL SHALL NOT BE INSTALLED IN AREA WHICH WILL CAUSE HARM TO ADJACENT STRUCTURES, SUCH AS OVERHEAD POWER, BUILDINGS, PAVEMENTS AND UNDERGROUND UTILITY APPURTENANCES. NOTIFY THE GENERAL CONTRACTOR SHOULD CONFLICTS ARISE.
- ALL SUBSTITUTIONS OF PLANT MATERIALS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT IN WRITTEN FORM FOR APPROVAL PRIOR TO INSTALLATION.
- ALL NEWLY PLANTED MATERIAL SHALL BE THOROUGHLY SOAKED WITH WATER WITHIN 3 HOURS OF PLANTING.
- CONTRACTOR SHALL IMPORT COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL, FREE OF WEEDS, RHIZOMES, ROCKS, STICKS, AND OTHER DELETERIOUS MATERIAL. CONTRACTOR SHALL BRING TO FINISH GRADE WITH 3" MIN. OF TOPSOIL IN ALL LAWN AREAS AND 3" MIN. TOPSOIL IN ALL PLANTING BEDS AND TILL TO A DEPTH OF 8". FINE GRADING SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING OPERATIONS.
- CONTRACTOR SHALL LOOSEN COMPACTED SUBSOILS BY TILLING AND IMPORTING NEW TOPSOIL AS REQUIRED TO RESTORE GRADES AND MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES.
- INSTALL 3" DEPTH HARD WOOD MULCH IN ALL PLANTER BEDS.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- A 3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

**MAINTENANCE STANDARDS:**

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

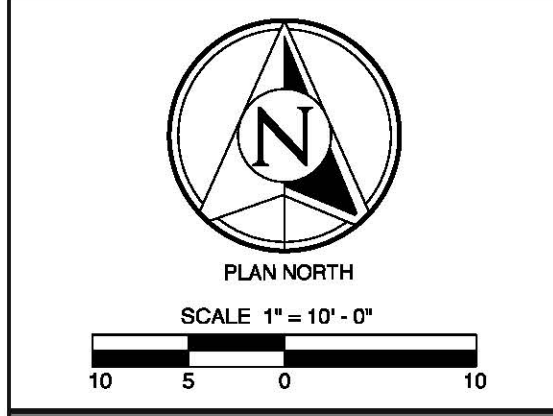


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1	10/06/2022	ISSUED FOR REVIEW

**INTERIM REVIEW ONLY**

Document incomplete; not intended for permit, bidding or construction.

DATE: 10/06/2022  
 LANDSCAPE ARCHITECT: Kyle M. Bruno  
 REGISTRATION: 3211



**LANDSCAPE DEVELOPMENT**  
 Planting Plan  
**Tomball Business and Technology Park**  
 29201 Quinn Rd., Suite B, Tomball, Texas 77375

SHEET NUMBER:  
**L301**





1923 VICTORIA GARDEN DR. RICHMOND, TX 77406  
 KYLE@BRUNOLANDDESIGN.COM 409.382.0698

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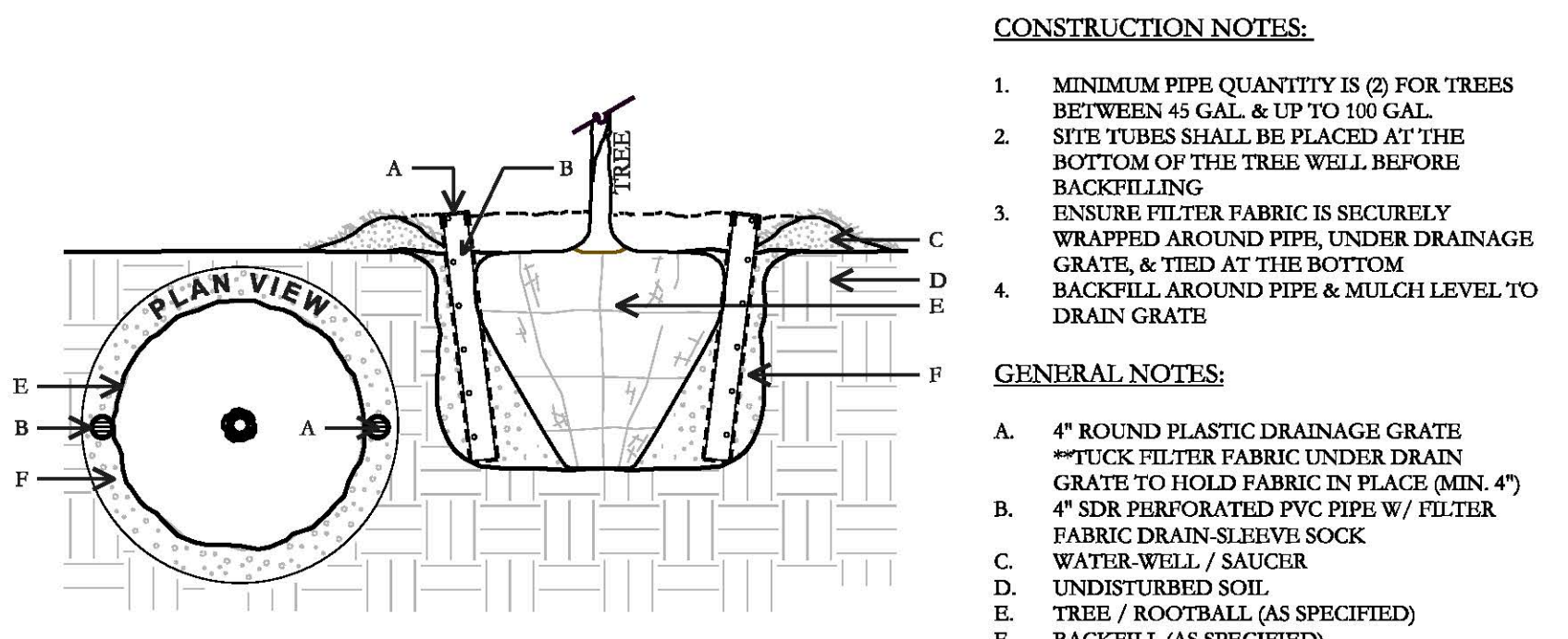
DATE: 10/06/2022  
 LANDSCAPE ARCHITECT: Kyle M. Bruno  
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**LANDSCAPE DEVELOPMENT**

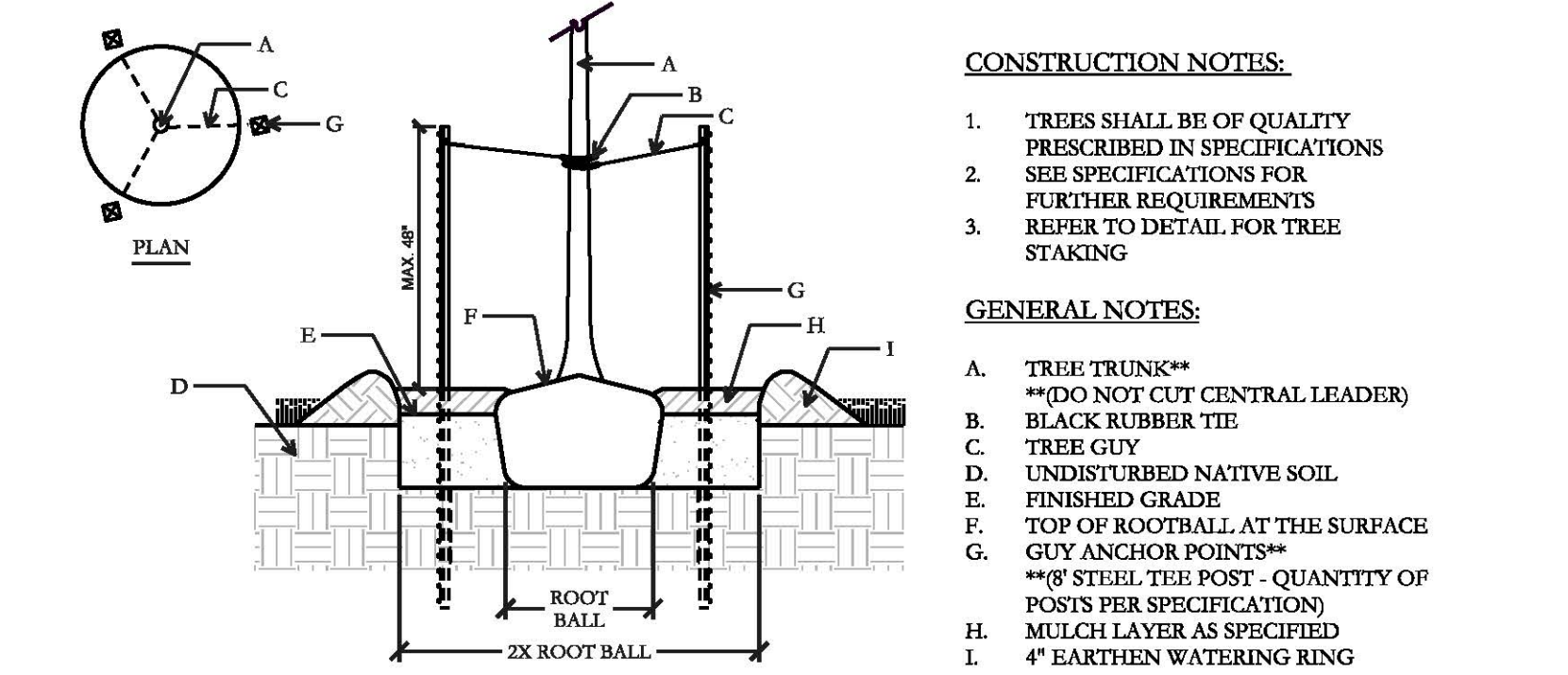
Planting Details, Schedule & Specifications

Tomball Business and Technology Park

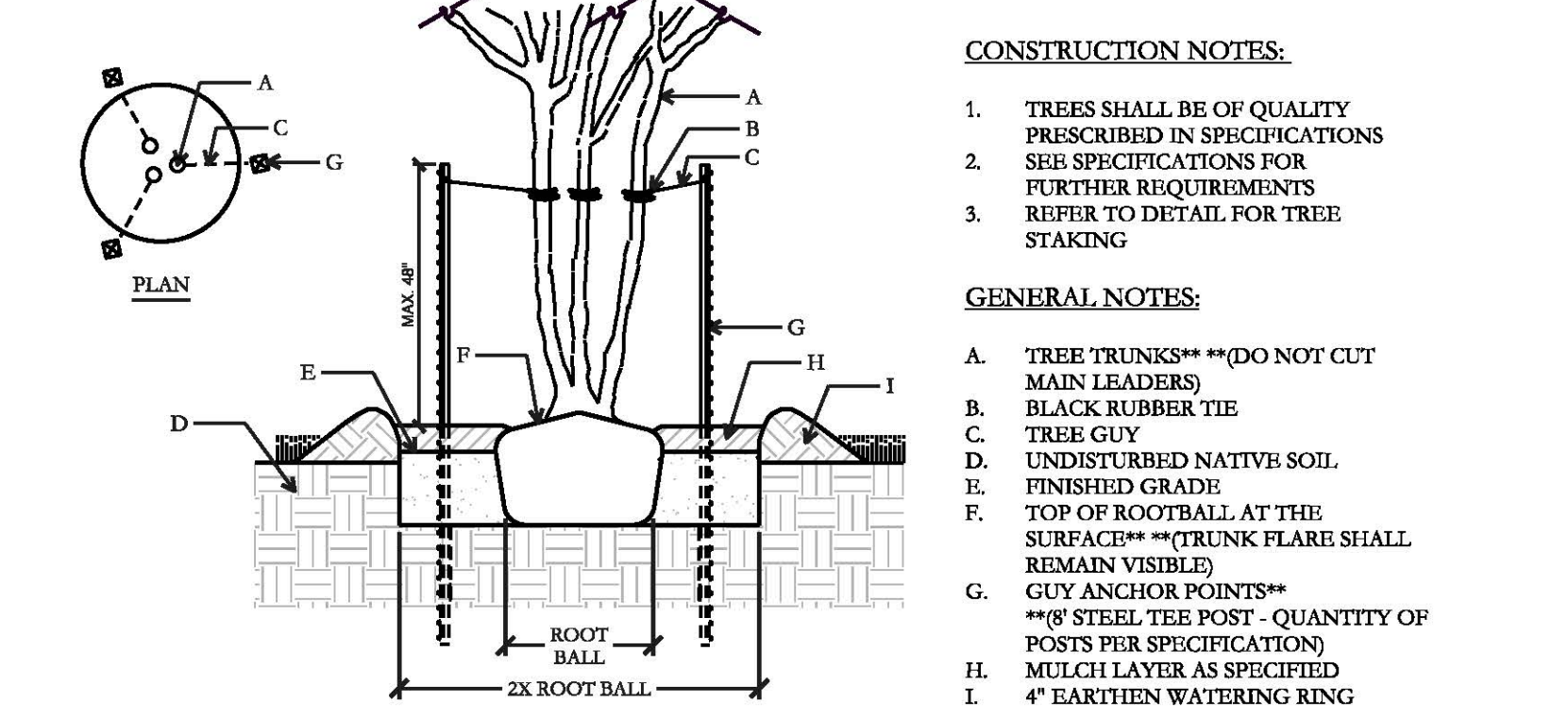
29201 Quinn Rd., Suite B, Tomball, Texas 77375



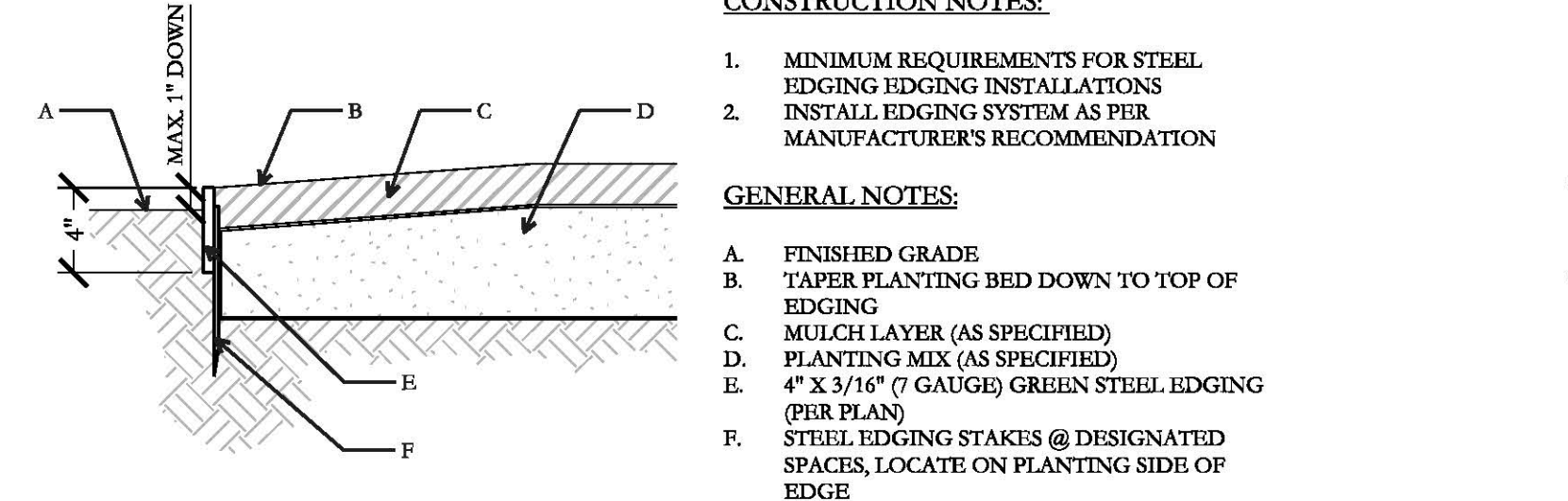
9 WATERING TUBE DETAIL - 2 TUBES SECTION NOT TO SCALE



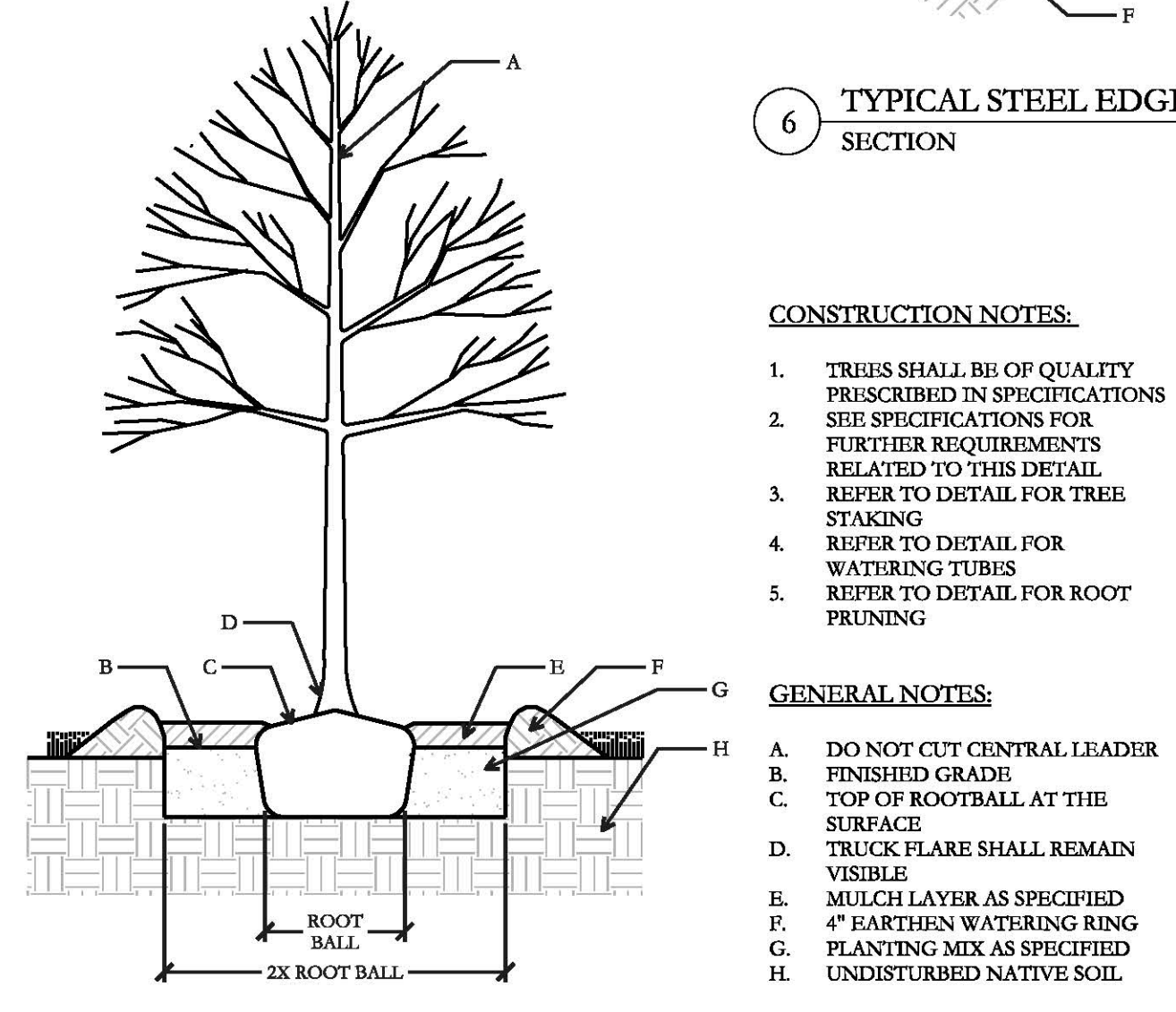
8 T-POSTS - SINGLE TRUNK STAKING DETAIL SECTION NOT TO SCALE



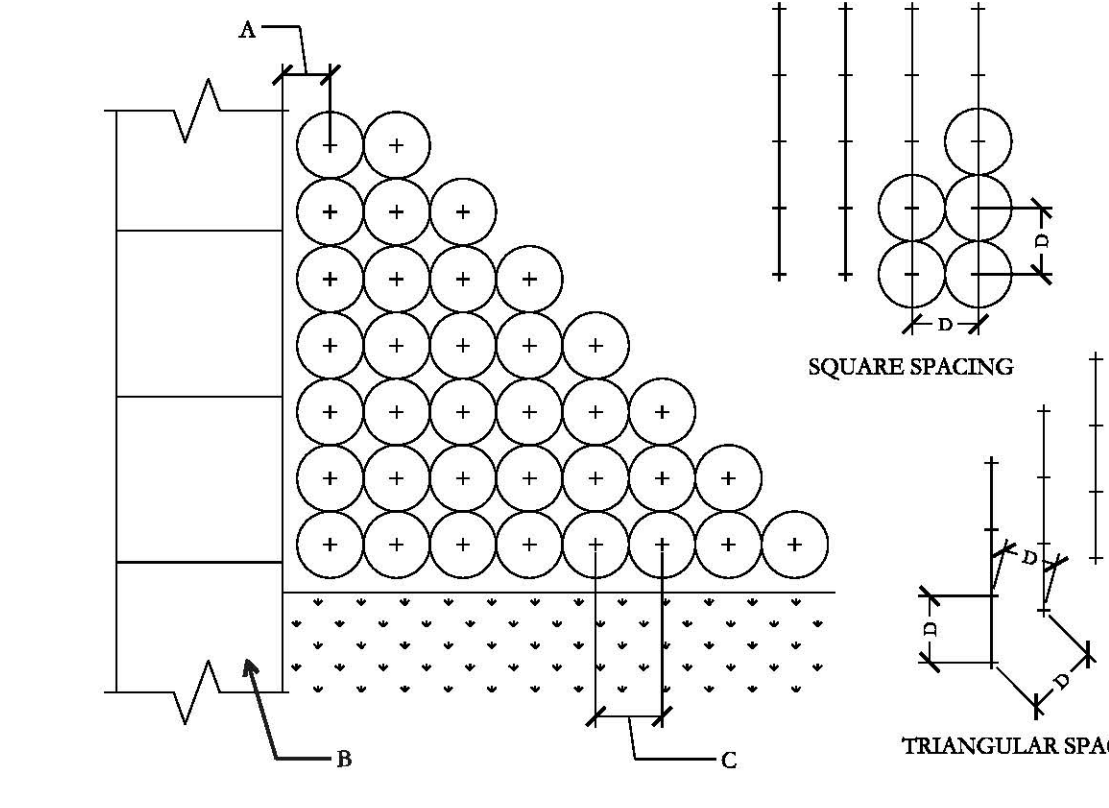
7 TEE POSTS - MULTI-TRUNK STAKING DETAIL SECTION NOT TO SCALE



6 TYPICAL STEEL EDGING - BED EDGING DETAIL SECTION NOT TO SCALE



5 TYPICAL TREE PLANTING SECTION NOT TO SCALE



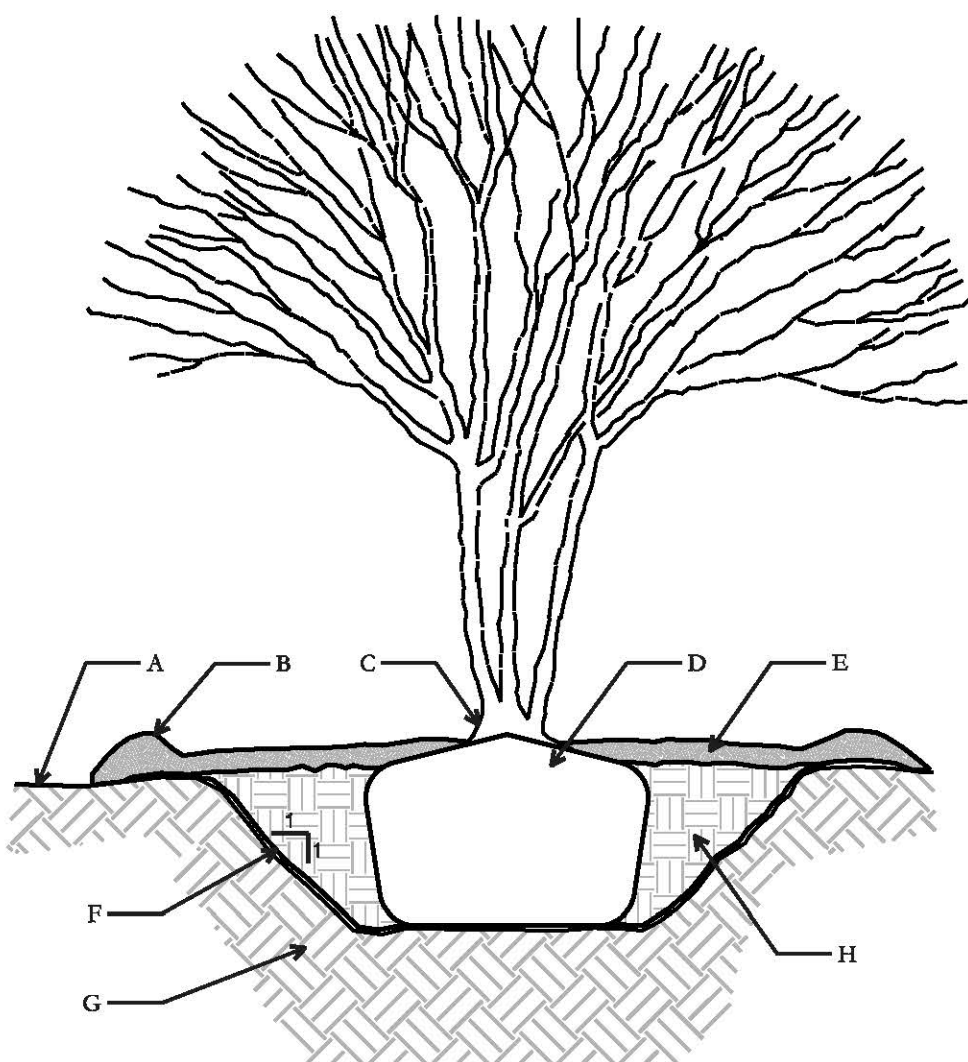
1 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION NOT TO SCALE

- CONSTRUCTION NOTES:**
1. MINIMUM PIPE QUANTITY IS (2) FOR TREES BETWEEN 45 GAL. & UP TO 100 GAL.
  2. SITE TUBES SHALL BE PLACED AT THE BOTTOM OF THE TREE WELL BEFORE BACKFILLING.
  3. ENSURE FILTER FABRIC IS SECURELY WRAPPED AROUND PIPE, UNDER DRAINAGE GRATE, & TIED AT THE BOTTOM BACKFILL AROUND PIPE & MULCH LEVEL TO DRAIN GRATE.
- GENERAL NOTES:**
- A. 4" ROUND PLASTIC DRAINAGE GRATE
  - B. TUCK FILTER FABRIC UNDER DRAIN GRATE TO HOLD FABRIC IN PLACE (MIN. 4")
  - C. 4" SDR PERFORATED PVC PIPE W/ FILTER FABRIC DRAIN-SLEEVE(SOCK)
  - D. WATER WELL / SAUCER
  - E. UNDISTURBED SOIL
  - F. TREE / ROOTBALL (AS SPECIFIED)
  - G. BACKFILL (AS SPECIFIED)

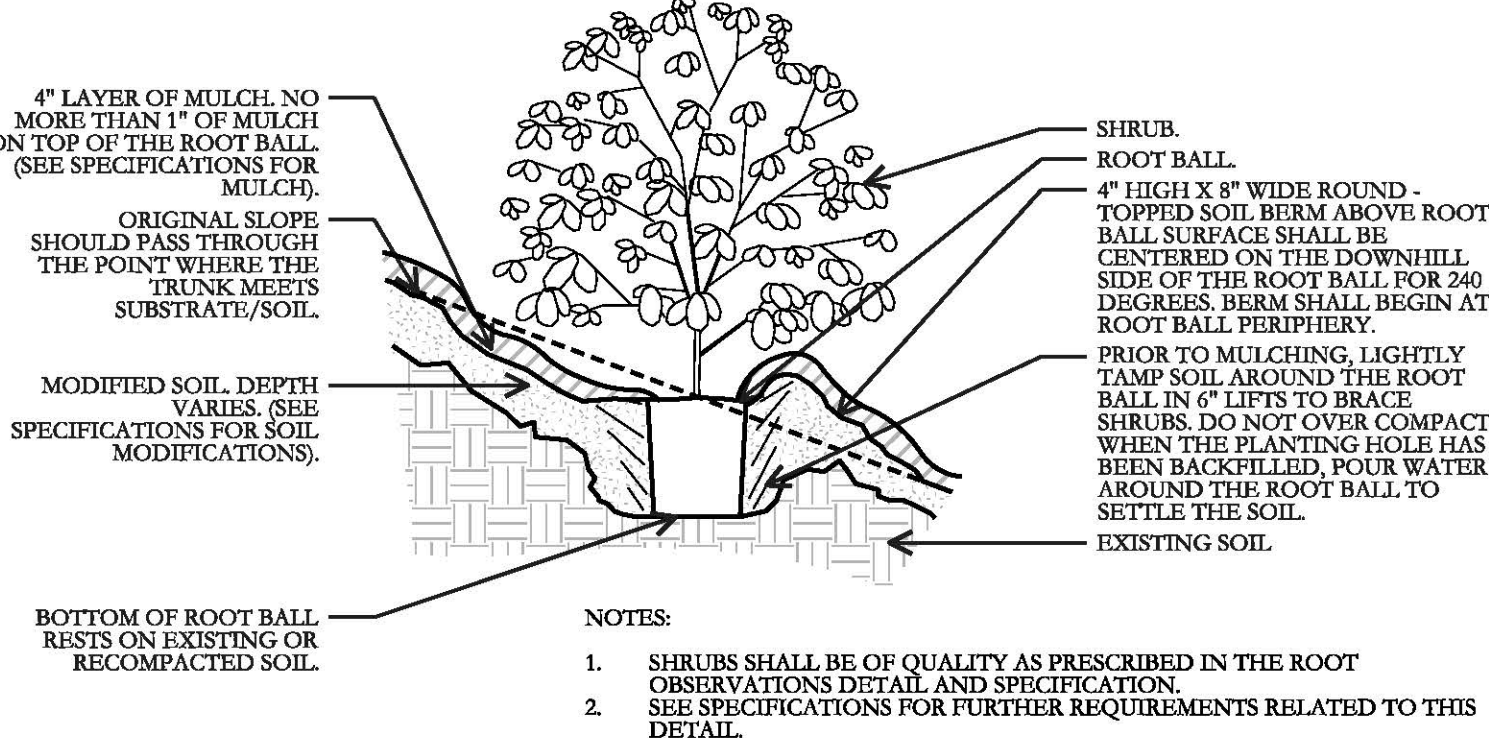
- CONSTRUCTION NOTES:**
1. TREES SHALL BE OF QUALITY PRESCRIBED IN SPECIFICATIONS
  2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS
  3. REFER TO DETAIL FOR TREE STAKING
- GENERAL NOTES:**
- A. TREE TRUNK\*\*
  - B. BLACK RUBBER TIE
  - C. TREE GUY
  - D. UNDISTURBED NATIVE SOIL
  - E. FINISHED GRADE
  - F. TOP OF ROOTBALL AT THE SURFACE
  - G. GUY ANCHOR POINTS\*\*
  - H. MULCH LAYER AS SPECIFIED
  - I. 4" EARTHEN WATERING RING

- CONSTRUCTION NOTES:**
1. TREES SHALL BE OF QUALITY PRESCRIBED IN SPECIFICATIONS
  2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS
  3. REFER TO DETAIL FOR TREE STAKING
- GENERAL NOTES:**
- A. TREE TRUNKS\*\* (DO NOT CUT MAIN LEADERS)
  - B. BLACK RUBBER TIE
  - C. TREE GUY
  - D. UNDISTURBED NATIVE SOIL
  - E. FINISHED GRADE
  - F. TOP OF ROOTBALL AT THE SURFACE\*\* (TRUNK FLARE SHALL REMAIN VISIBLE)
  - G. GUY ANCHOR POINTS\*\*
  - H. MULCH LAYER AS SPECIFIED
  - I. 4" EARTHEN WATERING RING

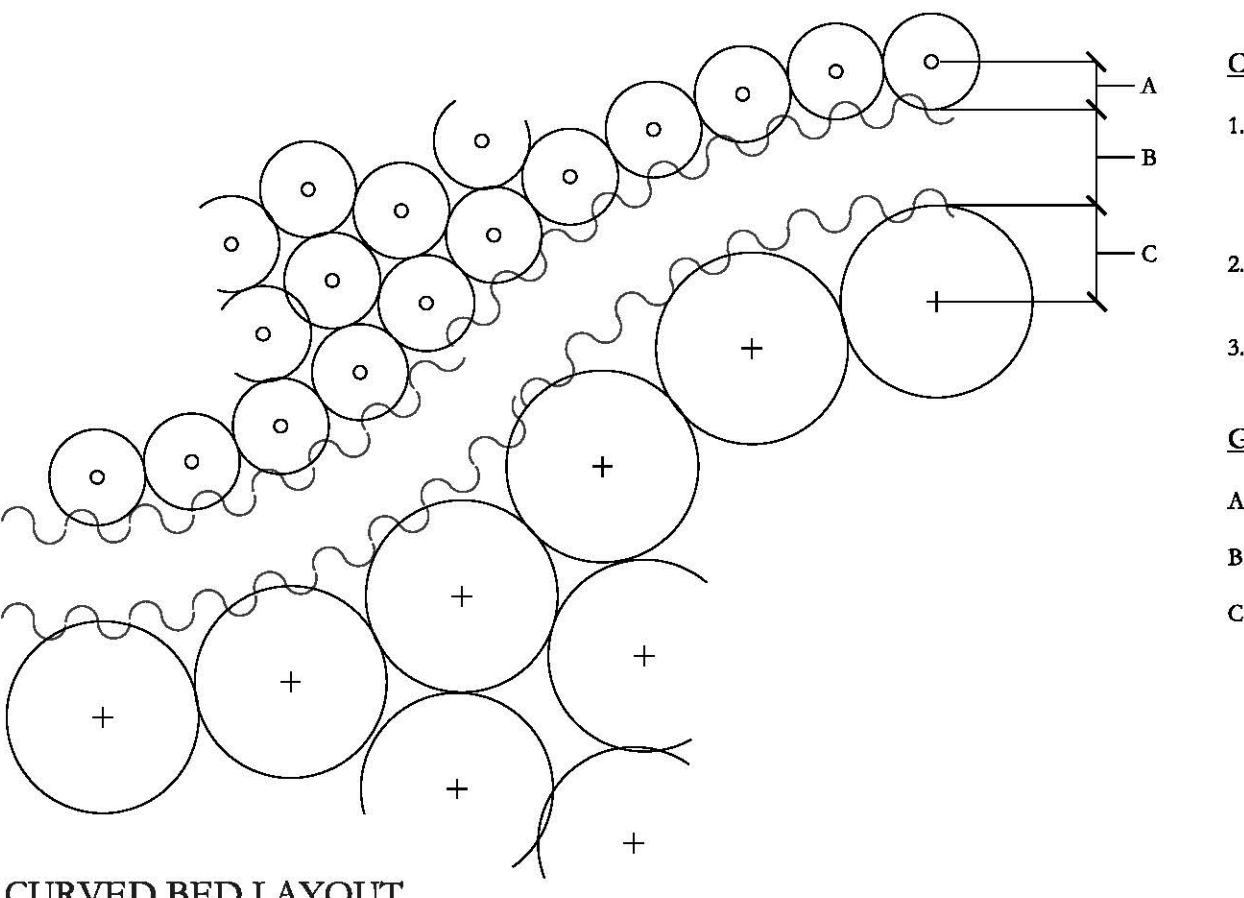
- CONSTRUCTION NOTES:**
1. MINIMUM REQUIREMENTS FOR STEEL EDGING INSTALLATIONS
  2. INSTALL EDGING SYSTEM AS PER MANUFACTURER'S RECOMMENDATION
- GENERAL NOTES:**
- A. FINISHED GRADE
  - B. TAPER PLANTING BED DOWN TO TOP OF EDGING
  - C. MULCH LAYER (AS SPECIFIED)
  - D. PLANTING MIX (AS SPECIFIED)
  - E. 4" X 3/16" (7 GAUGE) GREEN STEEL EDGING (PER PLAN)
  - F. STEEL EDGING STAKES @ DESIGNATED SPACES, LOCATE ON PLANTING SIDE OF EDGE



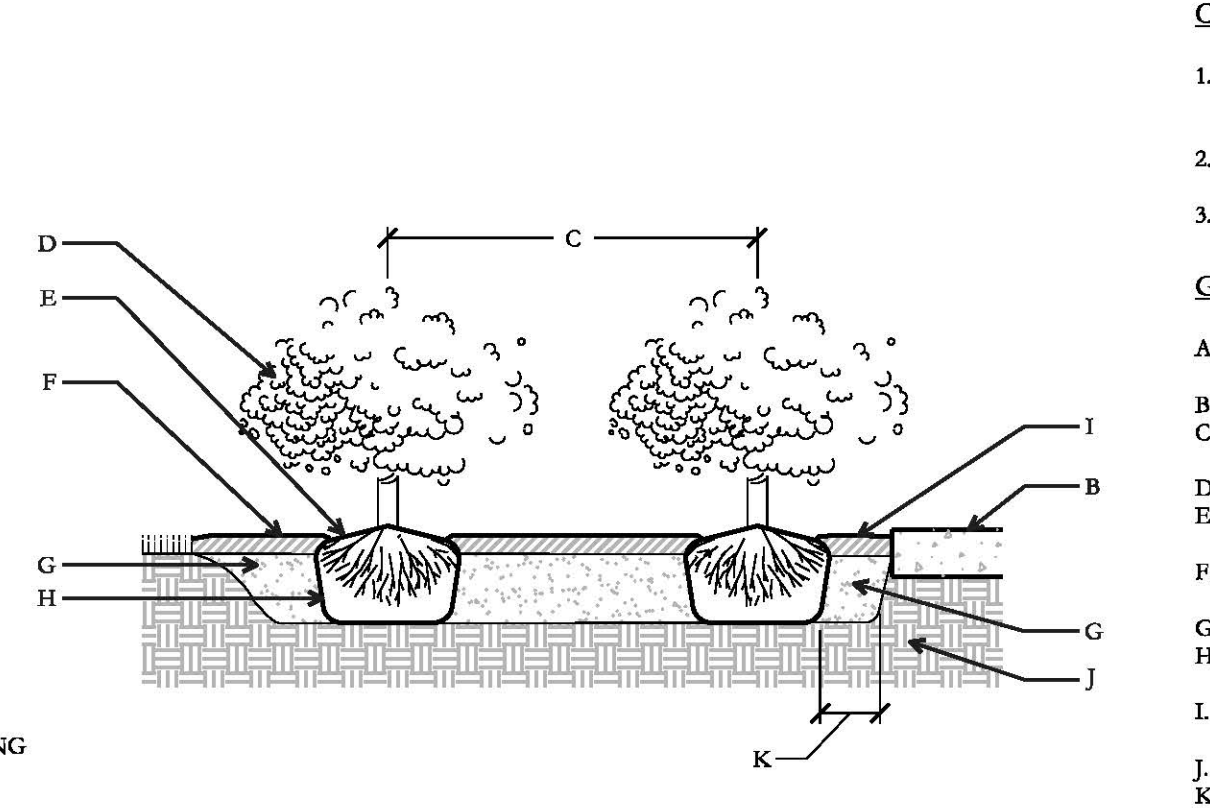
4 TYPICAL MULTI TRUNK TREE PLANTING SECTION NOT TO SCALE



3 SHRUB ON SLOPE 5% (20:1) TO 50% (2:1) - MODIFIED SOIL SECTION NOT TO SCALE



2 CURVED BED LAYOUT PLAN VIEW NOT TO SCALE



1 TYPICAL SHRUB AND GROUNDCOVER PLANTING SECTION NOT TO SCALE

- CONSTRUCTION NOTES:**
1. TREES SHALL BE OF QUALITY PRESCRIBED IN SPECIFICATIONS
  2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL
  3. REFER TO DETAIL FOR TREE STAKING
  4. REFER TO DETAIL FOR WATERING TUBES
  5. REFER TO DETAIL FOR ROOT PRUNING
- GENERAL NOTES:**
- A. FINISHED GRADE
  - B. WATERING SAUCER AROUND EDGE OF PIT - 4" HIGH
  - C. TRUNK FLARE SHALL REMAIN VISIBLE
  - D. TOP OF ROOTBALL AT THE SURFACE, AS SHOWN
  - E. MULCH LAYER AS SPECIFIED
  - F. 1:1 SLOPE FOR EDGE OF HOLE
  - G. UNDISTURBED NATIVE SOIL
  - H. PLANTING MIX AS SPECIFIED

- CONSTRUCTION NOTES:**
1. CONTRACTOR SHALL PLANT PERIMETER OF PLANTING ALONG CURVE. CONTRACTOR SHALL THEN PLANT REMAINDER OF BED TRIANGULAR AT SPECIFIED SPACING.
  2. TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS
  3. REFER TO DETAIL FOR ROOT PRUNING
- GENERAL NOTES:**
- A. 1/2 SPACING AS SHOWN ON PLANT LIST
  - B. 6" ZONE TO SEPARATE ADJACENT PLANT TYPES ALONG CURVE
  - C. 1/2 SPACING AS SHOWN ON PLANTING LIST

- CONSTRUCTION NOTES:**
1. TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS
  2. "D" EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND
  3. REFER TO DETAIL FOR ROOT PRUNING
- GENERAL NOTES:**
- A. 1/2 SPACING AS SHOWN ON PLANT LIST
  - B. CONCRETE SIDEWALK
  - C. SPACING AS SHOWN ON PLANTING LIST
  - D. REMOVE ALL LABELS & TAGS
  - E. SHALL BE 1" HIGHER THAN FINISHED GRADE WHEN PLANTED
  - F. MULCH/GRAVEL LAYER AS SPECIFIED
  - G. PLANTING MIX AS SPECIFIED
  - H. REMOVE CONTAINER AND PRUNE ANY CIRCLING ROOTS
  - I. TOP OF MULCH SHALL BE 1/2" BELOW SIDE WALK
  - J. UNDISTURBED NATIVE SOIL
  - K. 1/2 ROOTBALL DIAMETER

**IRRIGATION LEGEND AND SCHEDULE**

SYM	DESCRIPTION	MANUFACTURER	MODEL	SIZE / NOZZLE	NOTES
C	AUTOMATIC CONTROLLER	HUNTER	HC-608	N/A	INSTALL PER MANUFACTURER'S STANDARDS.
RS	RAIN SENSOR	HUNTER	RAIN CLIK SENSOR	N/A	INSTALL PER MANUFACTURER'S STANDARDS.
CV	DRIP IRRIGATION CONTROL VALVE	HUNTER	ICZ-101	1"	INSTALL PER DETAIL IN JUMBO VALVE BOX w/ BOLT DOWN LID. ROUT AND PAINT VALVE NUMBER ON LID.
DL	DRIP IRRIGATION (LANDSCAPE BEDS)	HUNTER	HDL-06-18	N/A	INSTALL PER DETAIL w/ 40 PSI AT OUTFLOW OF DRIP ZONE VALVE.
BB	TREE BUBBLERS	HUNTER	AFB	1.00 GPM	INSTALL PER MANUFACTURER'S DETAIL. REFER TO TREE BUBBLER DETAIL.
RCV	REMOTE CONTROL VALVE	HUNTER	ICV-101G	Refer to Plan for Size	INSTALL PER DETAIL IN 10" ROUND PENTEK VALVE BOX WITH BOLT DOWN LID. ROUT AND PAINT VALVE NUMBER ON LID.
LR	LAWN PGP LOW ANGLE ROTOR	HUNTER	PGP LOW ANGLE ROTOR	Red Nozzle Rack Refer to Plan for Nozzle Number	INSTALL PER DETAIL w/ 30 PSI AT BASE OF HEAD. INSTALL HUNTER SJ-712 SWING JOINTS ON ALL ROTORS. ADJUSTABLE ARC WITH RED NOZZLE RACK.
M	WATER METER	---	PER CITY	Refer to Plan for Size	INSTALLED BY GENERAL CONTRACTOR.
DCV	DOUBLE CHECK VALVE	Pebeco	850-BV Series	Refer to Plan for Size	FURNISH AND INSTALL PER LOCAL CODE BY LICENSED IRRIGATION CONTRACTOR.
I	ISOLATION VALVE	Nibco	*T-113	Line Size	INSTALL PER DETAIL IN 12"x17" PENTEK VALVE BOX WITH BOLT DOWN LID.
MCV	MASTER VALVE	Hunter	ICV-101G	Refer to Plan for Size	INSTALL PER DETAIL IN 12"x17" PENTEK VALVE BOX WITH BOLT DOWN LID.
IS	IRRIGATION SLEEVE	---	SCH. 40 w/ 12 GA. FULL WIRE IN SLEEVE	Refer to Plan for Size	DRIVEWAY SLEEVES INSTALLED BY GENERAL CONTRACTOR. SIDEWALK SLEEVES INSTALLED BY IRRIGATION CONTRACTOR.
ML	IRRIGATION MAIN LINE	---	SCH. 40	Refer to Plan for Size	18" INSTALLATION DEPTH.
LL	IRRIGATION LATERAL LINE	---	CLASS 200	Refer to Plan for Size	12" INSTALLATION DEPTH STANDARD. 18" INSTALLATION DEPTH UNDER PAVING.
DI	DRIP IRRIGATION ZONE IDENTIFIER (GRAPHIC USE ONLY)	---	---	---	---

<p>SPRAY IRRIGATION (SOD)</p> <p>Valve No. → XX GPM → 3 1"</p> <p>GPM → XX GPM → 3 1"</p> <p>Valve Size → 3 1"</p>	<p>DRIP IRRIGATION (BEDS)</p> <p>Valve No. → XX GPM → 3 1"</p> <p>GPM → XX GPM → 3 1"</p> <p>Drip Area → XX SF → 3 1"</p> <p>Valve Size → 3 1"</p>	<p>BUBBLER IRRIGATION (TREES)</p> <p>Valve No. → XX GPM → 3 1"</p> <p>GPM → XX GPM → 3 1"</p> <p>Tree Count → XX TREES → 3 1"</p> <p>Tree Count → XX TREES → 3 1"</p> <p>Valve Size → 3 1"</p>
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**IRRIGATION HEAD LEGEND, COUNT & NOTES**

SYMBOL	QUANTITY	OPERATING PRESSURE	DESCRIPTION & NOTES
DL	6	30 PSI	HUNTER PGP LOW ANGLE 4LA GRAY NOZZLE; ADJUSTABLE ARC
CV	4	N/A	HUNTER ICV-101G VALVES (INCLUDES MASTER VALVE)
CV	1	N/A	HUNTER ICZ-101 VALVES

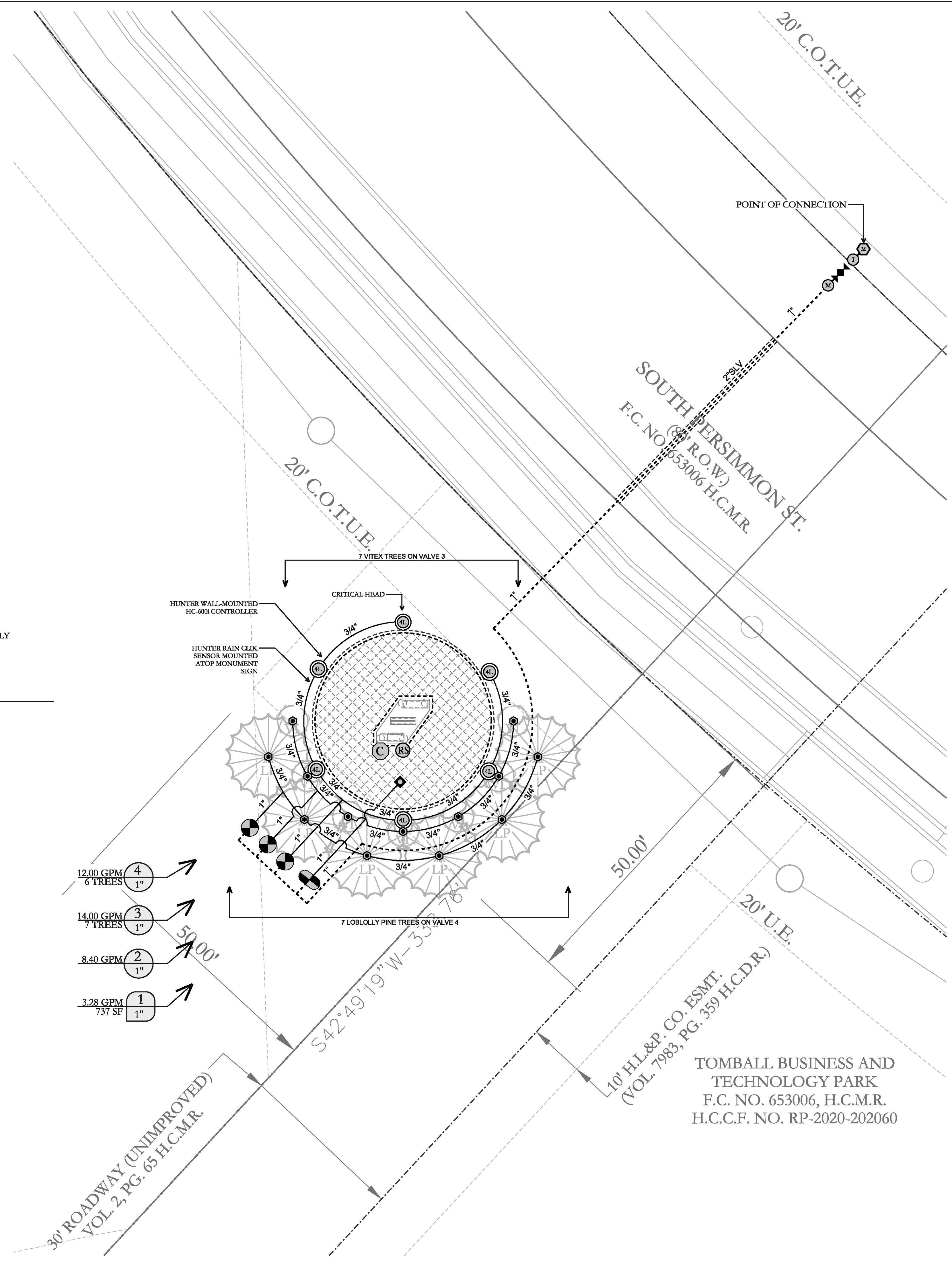
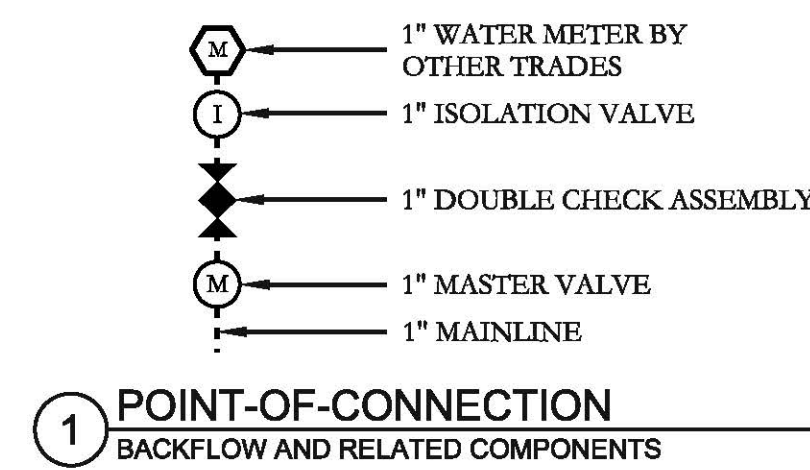
QUANTITIES PROVIDED ARE FOR CONTRACTOR ASSISTANCE ONLY. ACCURACY IS NOT GUARANTEED AND ALL QUANTITIES MUST BE VERIFIED.

**HYDRAULIC CALCULATION NOTES**

TEN DAYS PRIOR TO COMMENCING WORK, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN THE ASSUMED STATIC PRESSURE DO NOT START WORK UNTIL NOTIFIED IN WRITING TO PROCEED BY OWNER. IF CONTRACTOR PROCEEDS WITH WORK WITHOUT AUTHORIZATION FROM OWNER, THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE TO CORRECT, MODIFY OR REPAIR ANY ITEMS OR MATERIALS THAT MAY BE REQUIRED TO PROVIDE A FULLY FUNCTIONING AND OPERATIONAL IRRIGATION SYSTEM IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. HYDRAULIC CALCULATIONS FOR THIS SYSTEM ARE BASED ON THE STATIC PRESSURE AS STATED ABOVE. THE STATIC PRESSURE SHOWN IS AN ASSUMED PRESSURE, A PRESSURE MEASURED AT THE SITE, OR AN ESTIMATED PRESSURE PROVIDED BY THE COUNTY OR CITY. THE OWNER UNDERSTANDS THIS PROJECT MAY NOT PROVIDE 100% COVERAGE AT ALL TIMES.

**HYDRAULIC CALCULATION POINT-OF-CONNECTION (CRITICAL HEAD)**

ITEM	SIZE	PSI	NOTES
SERVICE	1"	0.26	TYPE "K" COPPER 10 LN. FT. (8.40 GPM)
WATER METER	1"	0.55	(8.40 GPM)
BALL VALVE	1"	1.00	(8.40 GPM)
BACKFLOW PREVENTER	1"	6.00	(8.40 GPM)
MASTER VALVE	1"	2.75	(8.40 GPM)
MAIN LINE	"	0.98	193 LINEAR FEET (8.40 GPM)
ZONE VALVE (#2)	1"	2.75	(8.40 GPM)
LATERAL PIPING	3/4" - 1"	0.84	
CRITICAL HEAD	N/A	30.00	
TOTAL LOSS		(-)45.13	
ASSUMED STATIC PRESSURE		55.00	
PRESSURE DIFFERENTIAL		(-)9.87	

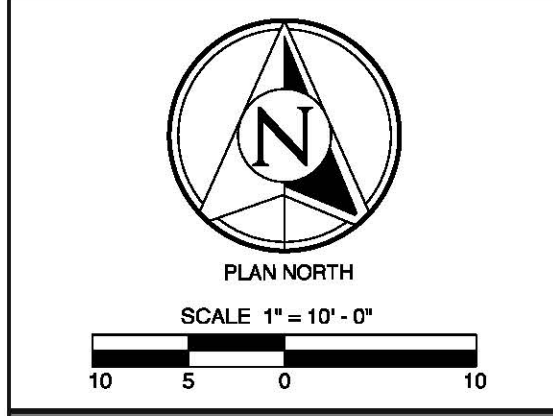


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**LANDSCAPE DEVELOPMENT**

Irrigation Plan, Schedule, & Calculations

**Tomball Business and Technology Park**

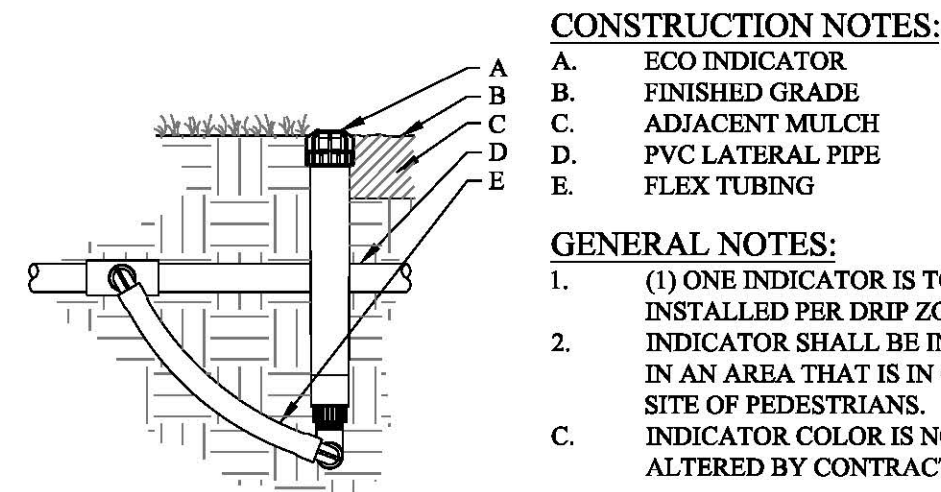
29201 Quinn Rd., Suite B, Tomball, Texas 77375

**TOMBALL BUSINESS AND TECHNOLOGY PARK**  
 F.C. NO. 653006, H.C.M.R.  
 H.C.C.F. NO. RP-2020-202060

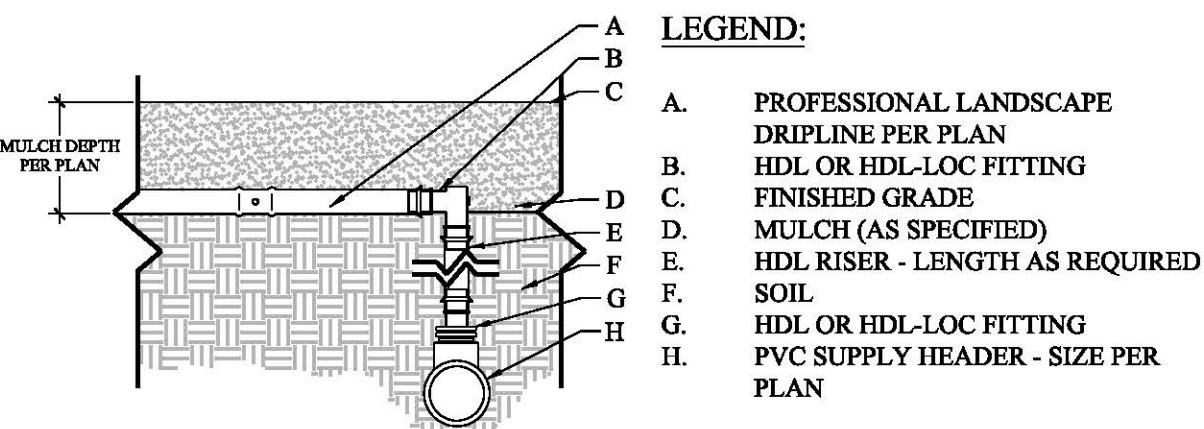




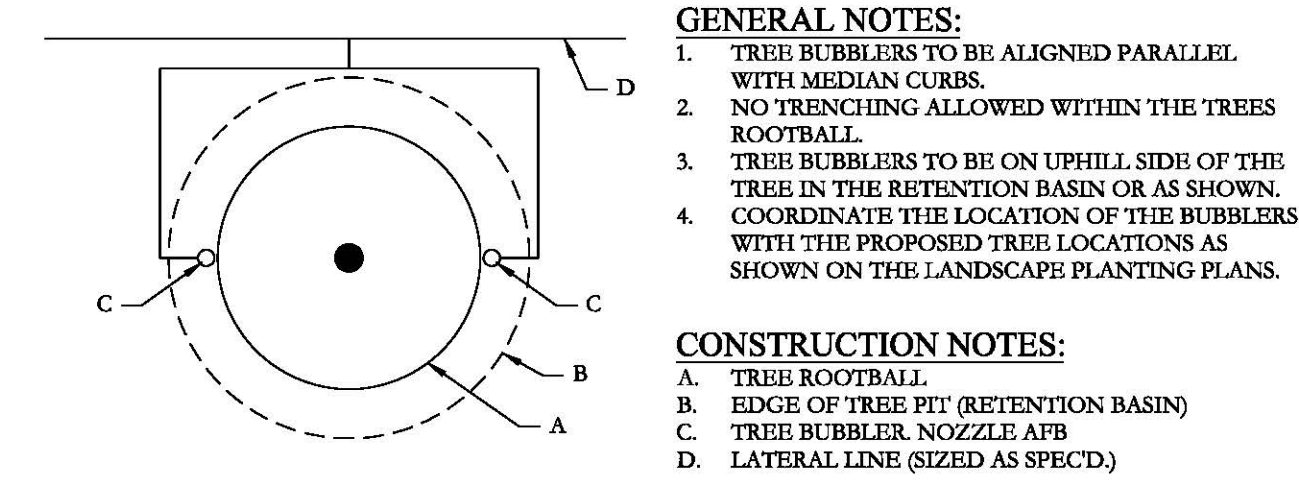
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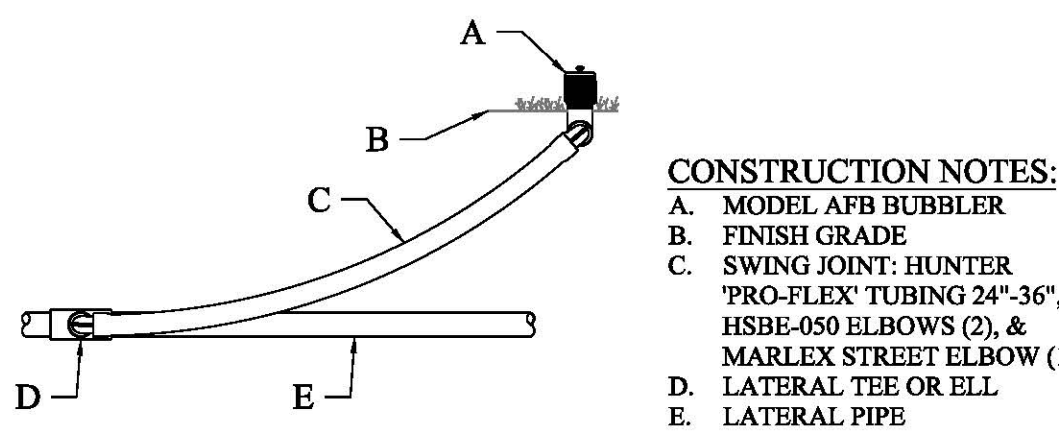
16 ECO INDICATOR - FLEX TUBING  
 NOT TO SCALE



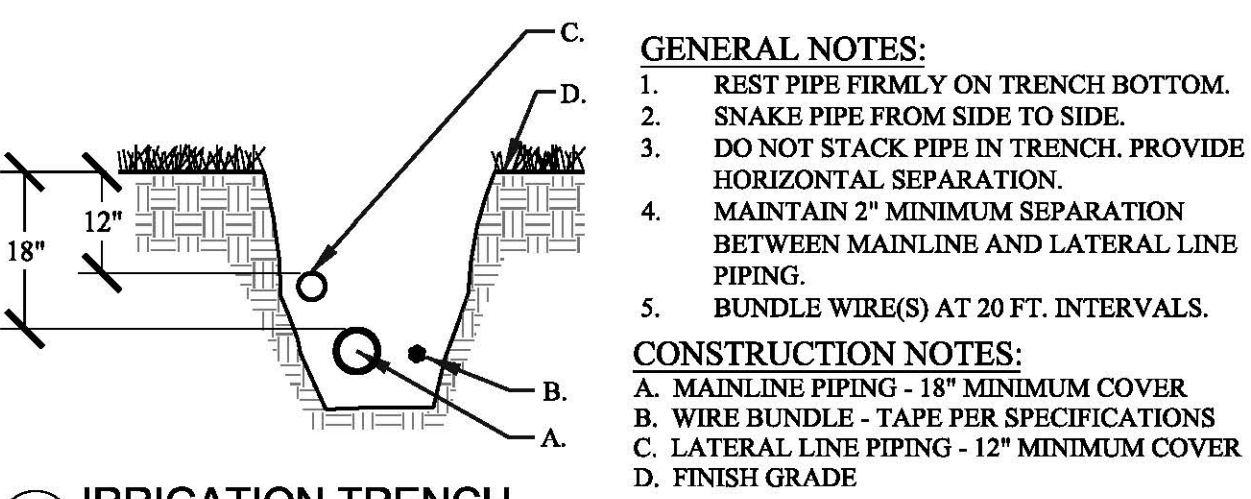
15 CONNECTION W/ DRIPLINE ELBOW  
 LANDSCAPE DRIPLINE NOT TO SCALE



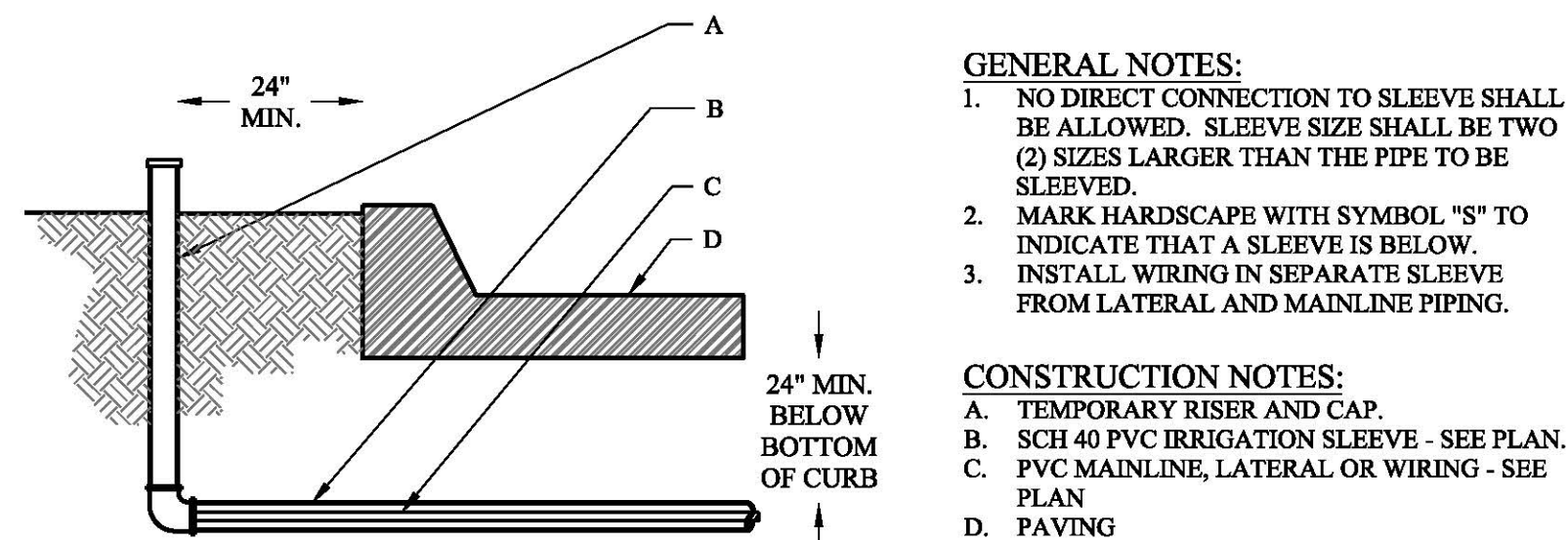
14 TREE BUBBLER PLAN  
 NOT TO SCALE



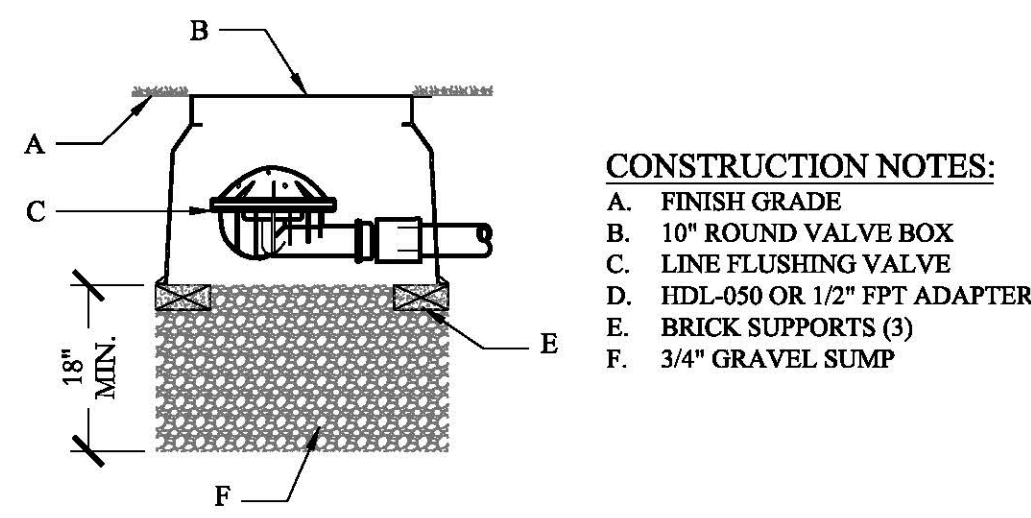
13 AFB BUBBLER  
 NOT TO SCALE



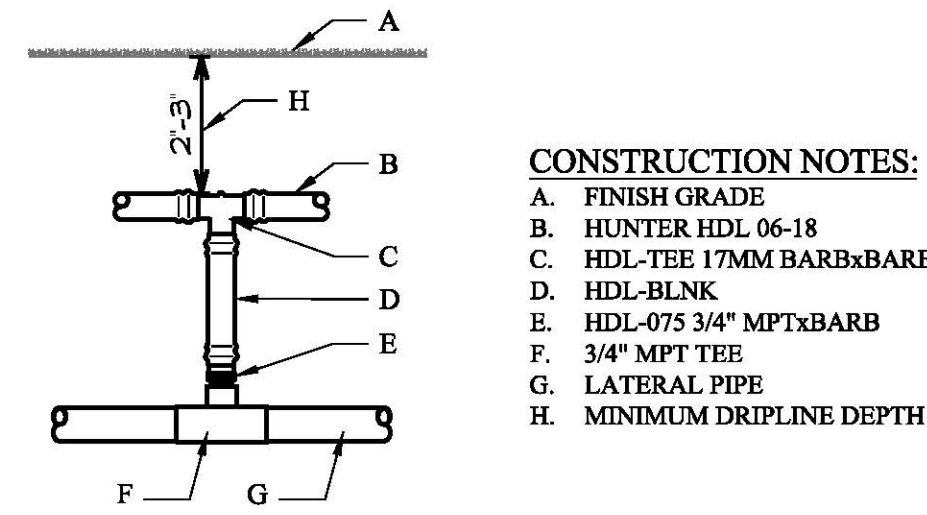
12 IRRIGATION TRENCH  
 NOT TO SCALE



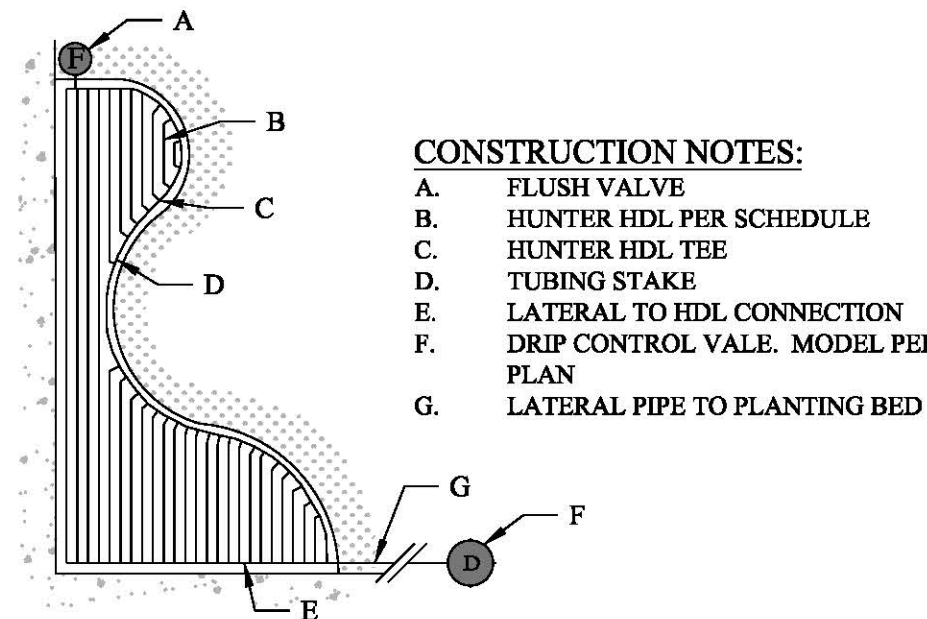
11 IRRIGATION SLEEVES  
 NOT TO SCALE



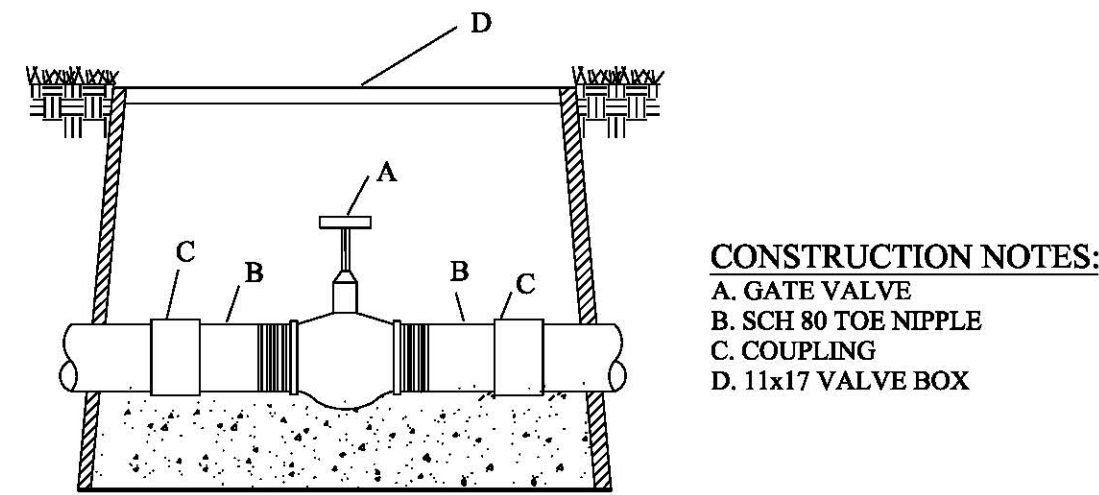
10 DRIP IRRIGATION - FLUSH VALVE  
 NOT TO SCALE



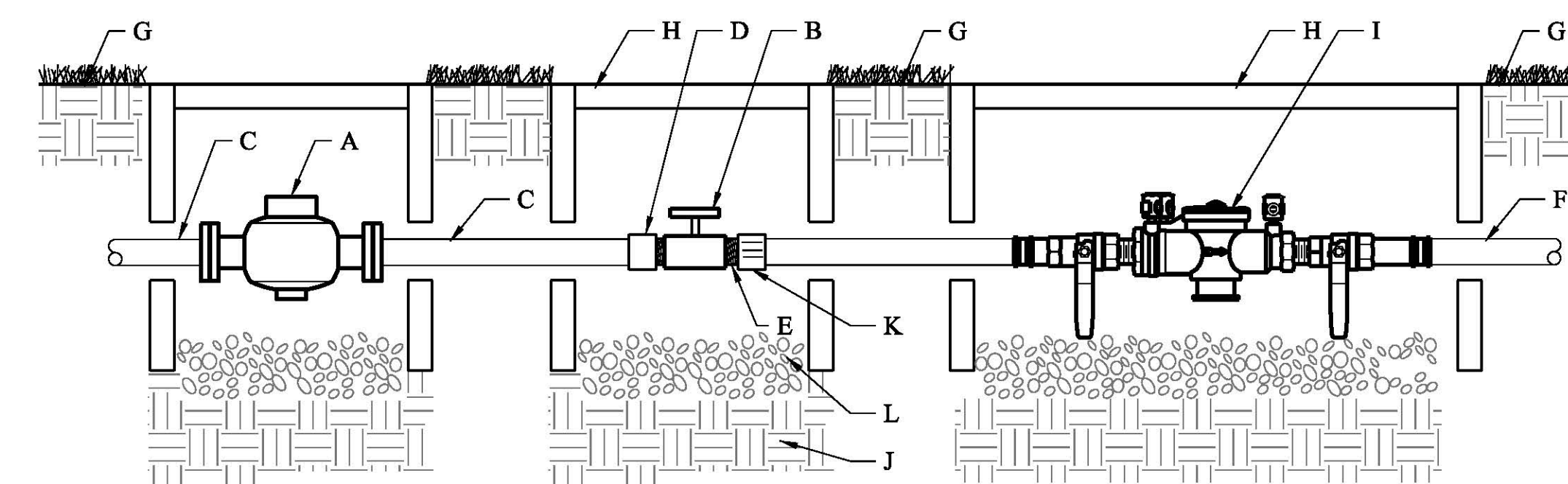
9 BELOW GRADE START CONNECTION  
 NOT TO SCALE



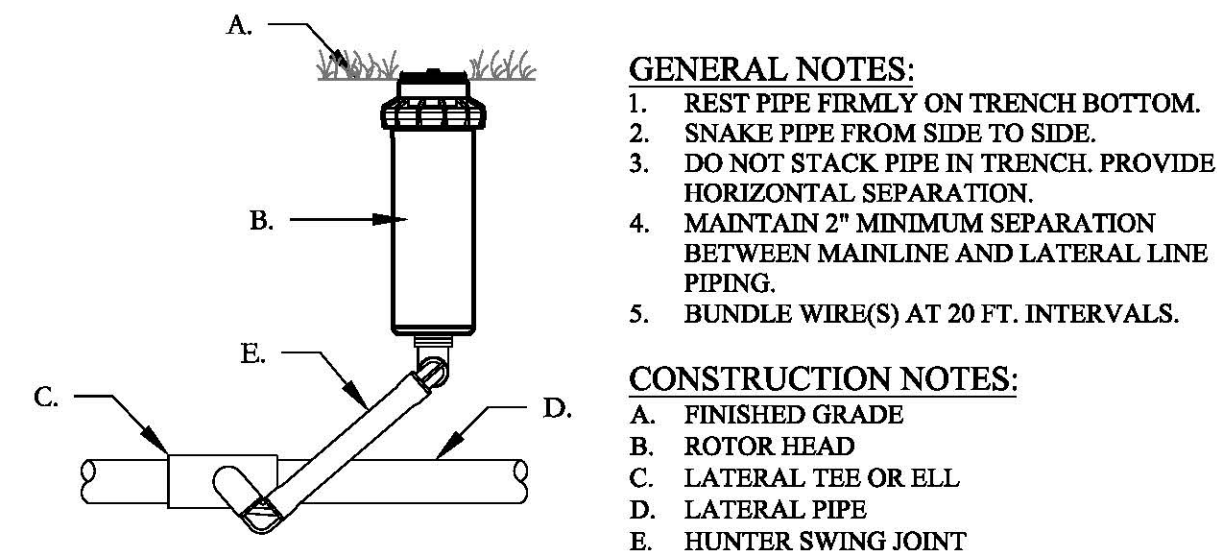
8 DRIP IRRIGATION - BED  
 NOT TO SCALE



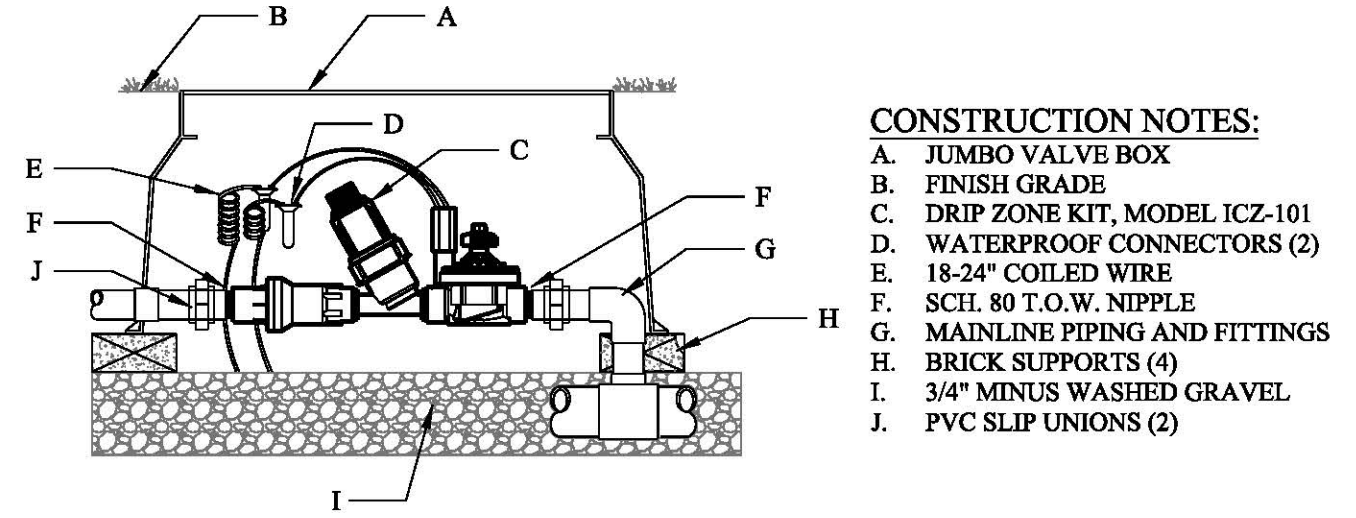
7 GATE VALVE  
 NOT TO SCALE



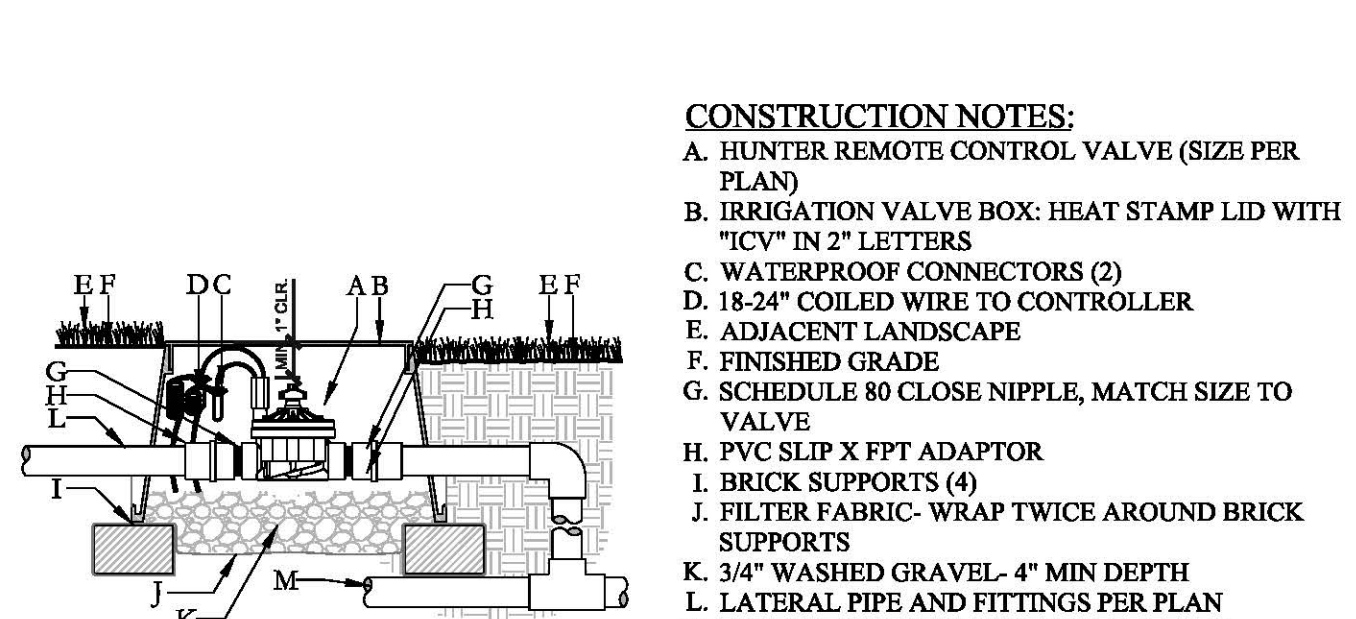
6 BACKFLOW PREVENTER CONNECTION  
 NOT TO SCALE



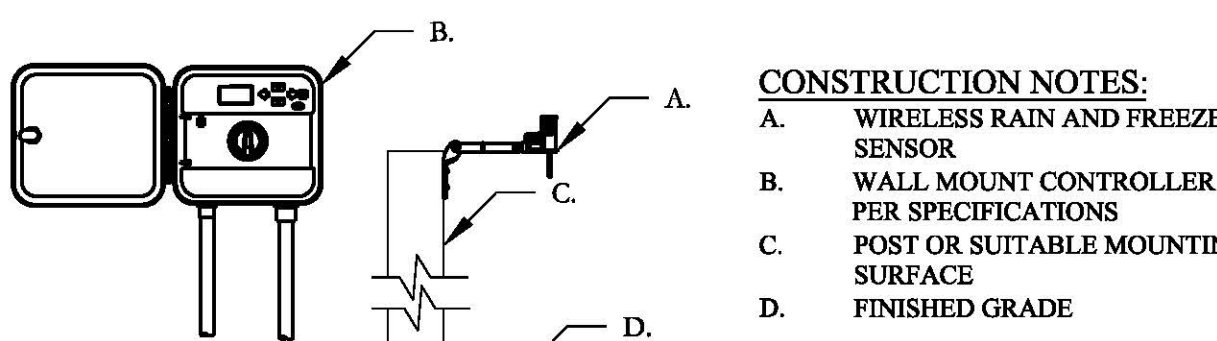
5 ROTOR HEAD  
 NOT TO SCALE



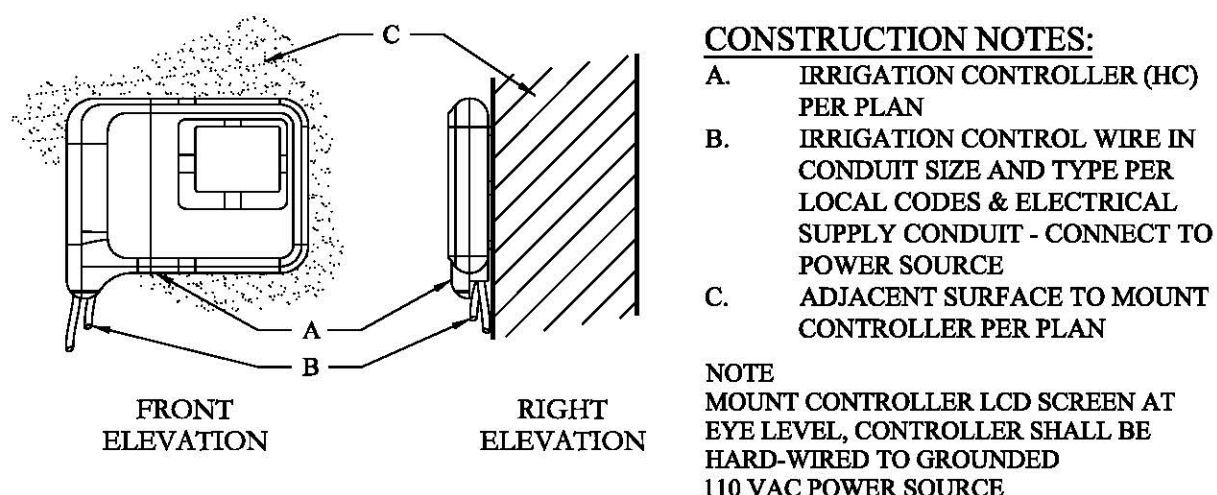
4 DRIP CONTROL ZONE VALVE  
 NOT TO SCALE



3 ICV IN-LINE VALVE  
 (SIZE PER PLAN) NOT TO SCALE



2 WIRELESS RAIN AND FREEZE CLIK  
 NOT TO SCALE



1 HC CONTROLLER  
 NOT TO SCALE

- GENERAL NOTES:**
1. REST PIPE FIRMLY ON TRENCH BOTTOM.
  2. SNAKE PIPE FROM SIDE TO SIDE.
  3. DO NOT STACK PIPE IN TRENCH. PROVIDE HORIZONTAL SEPARATION.
  4. MAINTAIN 2" MINIMUM SEPARATION BETWEEN MAINLINE AND LATERAL LINE PIPING.
  5. BUNDLE WIRE(S) AT 20 FT. INTERVALS.

- CONSTRUCTION NOTES:**
- A. FINISHED GRADE
  - B. ROTOR HEAD
  - C. LATERAL TEE OR ELL
  - D. LATERAL PIPE
  - E. HUNTER SWING JOINT

- CONSTRUCTION NOTES:**
- A. JUMBO VALVE BOX
  - B. FINISHED GRADE
  - C. DRIP ZONE KIT, MODEL ICZ-101
  - D. WATERPROOF CONNECTORS (2)
  - E. 18-24" COILED WIRE
  - F. SCH. 80 T.O.W. NIPPLE
  - G. MAINLINE PIPING AND FITTINGS
  - H. BRICK SUPPORTS (4)
  - I. 3/4" MINUS WASHED GRAVEL
  - J. PVC SLIP UNIONS (2)

- CONSTRUCTION NOTES:**
- A. HUNTER REMOTE CONTROL VALVE (SIZE PER PLAN)
  - B. IRRIGATION VALVE BOX: HEAT STAMP LID WITH "ICV" IN 2" LETTERS
  - C. WATERPROOF CONNECTORS (2)
  - D. 18-24" COILED WIRE TO CONTROLLER
  - E. ADJACENT LANDSCAPE
  - F. FINISHED GRADE
  - G. SCHEDULE 80 CLOSE NIPPLE, MATCH SIZE TO VALVE
  - H. PVC SLIP X FPT ADAPTOR
  - I. BRICK SUPPORTS (4)
  - J. FILTER FABRIC- WRAP TWICE AROUND BRICK SUPPORTS
  - K. 3/4" WASHED GRAVEL- 4" MIN DEPTH
  - L. LATERAL PIPE AND FITTINGS PER PLAN
  - M. MAINLINE PIPE AND FITTINGS PER PLAN

- CONSTRUCTION NOTES:**
- A. WIRELESS RAIN AND FREEZE SENSOR
  - B. WALL MOUNT CONTROLLER PER SPECIFICATIONS
  - C. POST OR SUITABLE MOUNTING SURFACE
  - D. FINISHED GRADE

- CONSTRUCTION NOTES:**
- A. IRRIGATION CONTROLLER (HC) PER PLAN
  - B. IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES & ELECTRICAL SUPPLY CONDUIT - CONNECT TO POWER SOURCE
  - C. ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN
- NOTE  
 MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL, CONTROLLER SHALL BE HARD-WIRED TO GROUND  
 110 VAC POWER SOURCE

- CONSTRUCTION NOTES:**
- A. WATER METER (SIZE PER PLAN)
  - B. BALL VALVE (SIZE PER LINE)
  - C. TYPE "K" COPPER PIPE
  - D. COPPER SxT COUPLING
  - E. THE NIPPLE
  - F. PIPE PER CITY CODE
  - G. FINISHED GRADE
  - H. 12"x17" VALVE BOX. SET FLUSH WITH FINISHED GRADE
  - I. DOUBLE CHECK VALVE ASSEMBLY
  - J. COMPACTED SUBGRADE
  - K. MALE ADAPTER
  - L. WASHED PEA GRAVEL - 6" DEPTH MIN

- GENERAL NOTES:**
1. INSTALL WASHED PEA GRAVEL BELOW DCA TO ALLOW ACCESS TO TEST COCKS AND OPERATION OF BALL VALVES

INTERIM REVIEW ONLY

Document incomplete; not intended for permit, bidding or construction.  
 DATE: 10/06/2022  
 LANDSCAPE ARCHITECT: Kyle M. Bruno  
 REGISTRATION: 3211

LANDSCAPE DEVELOPMENT

Irrigation Details

Tomball Business and Technology Park

29201 Quinn Rd., Suite B, Tomball, Texas 77375



TWL, LLC  
 654 N. Sam Houston Parkway E, Ste 330  
 Houston, TX 77060  
 Phone: 713.893.4594, Fax: 713.837.7400

# PROPOSAL

<b>Proposal No.:</b>	230526a
<b>Date:</b>	5/26/2023

**TO**  
 Kelly Violette  
 Tomball EDC  
 Tomball Technology Park  
 Tomball, Tx

## Scope

Installation of entry monument, landscape, and irrigation at Tomball Technology Park. Includes all concrete foundations, monument walls with all masonry and signage. Includes electrical runs to monument and service installation. Includes all landscaping and irrigation. Pricing based on plans dated 10/6/2022 by Bruno Land Design.

## JOB

### TEDC N ENTRY MONUMENT

Description	Quantity	Amount	Total
1. Mobilization and General Conditions	1.00	\$37,300.00	<b>\$37,300.00</b>
2. Permits & Meter Allowance	1.00	\$5,500.00	<b>\$5,500.00</b>
3. Monument Complete	1.00	\$96,600.00	<b>\$96,600.00</b>
4. 65 gal Loblolly Pine	6.00	\$770.00	<b>\$4,620.00</b>
5. 30 gal Vitex	7.00	\$440.00	<b>\$3,080.00</b>
6. 3 gal Mealy Blue Sage	14.00	\$39.00	<b>\$546.00</b>
7. 3 gal Bicolor Iris	27.00	\$25.00	<b>\$675.00</b>
8. 7 gal Double Knockout Rose	24.00	\$60.00	<b>\$1,440.00</b>
9. 7 gal Sunshine Ligustrum	17.00	\$58.00	<b>\$986.00</b>
10. 7 gal Dwarf Wax Myrtle	21.00	\$55.00	<b>\$1,155.00</b>
11. Bed Prep	1.00	\$6,950.00	<b>\$6,950.00</b>
12. Irrigation System A (Monuments)	1.00	\$16,400.00	<b>\$16,400.00</b>
13. Solid Sod, SF	2,375.00	\$1.00	<b>\$2,375.00</b>
			<b>\$177,627.00</b>
		<b>Sales Tax</b>	<b>not included</b>
		<b>Grand Total</b>	<b>\$177,627.00</b>

## Notes and Clarifications:

1. No Sales Tax is included in this proposal.
2. Water Meters to be provided by Owner, Permitting is included.

Thank you for the opportunity to provide this proposal. We look forward to working with you at the Tomball Technology Park. Please let me know if you have any questions.

SIGNED: \_\_\_\_\_

DATE: 08/02/2023

ACCEPTED: \_\_\_\_\_

DATE: \_\_\_\_\_



# PROPOSAL

TWL, LLC  
 654 N. Sam Houston Parkway E, Ste 330  
 Houston, TX 77060  
 Phone: 713.893.4594, Fax: 713.837.7400

<b>Proposal No.:</b>	230526b
<b>Date:</b>	5/26/2023

**TO**  
 Kelly Violette  
 Tomball EDC  
 Tomball Technology Park  
 Tomball, Tx

## Scope

Installation of concrete retaining wall, concrete mow band, Omega fence as well as landscape and irrigation at the South Persimmon ditch crossing in the Tomball Business and Technology Park.

## JOB

### TEDC DITCH CROSSING LANDSCAPE

Description	Quantity	Amount	Total
1. Mobilization and General Conditions	1.00	\$5,500.00	\$5,500.00
2. Permits & Meter Allowance	1.00	\$5,000.00	\$5,000.00
3. Omega fence at Ditch Crossing; 5' HT	600.00	\$108.50	\$65,100.00
4. Concrete Retaining Wall	600.00	\$75.00	\$45,000.00
5. Irrigation System B (Crossing) Includes bore	1.00	\$14,250.00	\$14,250.00
6. Rough Grading, includes Excavation and Haul off (89 CY)	1.00	\$8,330.00	\$8,330.00
7. Bed Prep	1.00	\$5,860.00	\$5,860.00
9. 30 gal. Vitex	12.00	\$440.00	\$5,280.00
10. 7 gal Sunshine Ligustrum	64.00	\$55.00	\$3,520.00
11. 3 gal Double Knockout Rose	94.00	\$25.00	\$2,350.00
12. Bullrock Rip Rap, CY	18.00	\$105.00	\$1,890.00
			<b>\$162,080.00</b>
		<b>Sales Tax</b>	<b>not included</b>
		<b>Grand Total</b>	<b>\$162,080.00</b>

## Notes and Clarifications:

1. No Sales Tax is included in this proposal.
2. Water Meters to be provided by Owner, Permitting is included.
3. Excavation includes grading from sidewalk down to the headwall and removing the existing soil between the new retaining wall and the existing headwall and the mow band. Bullrock installed at the new retaining wall only.
4. Layout for this work can be provided.
5. Omega fence to match the existing Business Park fence.

Thank you for the opportunity to provide this proposal. We look forward to working with you at the Tomball Technology Park. Please let me know if you have any questions.

SIGNED: \_\_\_\_\_

*J.M. Fourn*

DATE: 08/02/23

ACCEPTED: \_\_\_\_\_

DATE: \_\_\_\_\_

# Regular Tomball EDC Agenda Item Data Sheet

Meeting Date: August 8, 2023

**Topic:**

Consideration and possible action by Tomball EDC to authorize the Executive Director to negotiate and approve a construction contract for the Tomball Business & Technology Park North Signage and Fencing Project with Texas Wall & Landscape, LLC in an amount not to exceed \$391,000.00.

**Background:**

In 2019, the TEDC awarded Texas Wall & Landscape, LLC the construction contract for entryway signage and landscaping at Spell/Hufsmith-Kohrville Road and South Persimmon/Holderrieth Road, as well as the community mailbox structures. At that time, an alternate item for the northern gateway at South Persimmon was included in the Request for Proposals. However, due to the timing of the South Persimmon roadway and utility construction, it was recommended not to move forward with the north signage at that time.

The proposed sign location is on the west side of South Persimmon Road within a 0.119-acre sign easement. The design will match the two existing entryway signs and will include three columns as well as related lighting, landscaping, and irrigation. Additionally, the project includes the construction of a concrete retaining wall and fence, landscaping and irrigation at the South Persimmon ditch crossing.

The cost breakdown of the project is below:

- Installation of entry monument, landscape and irrigation: \$177,627.00
- Installation of concrete retaining wall, omega fence, landscape and irrigation: \$162,080.00
- Estimated Total: \$339,707.00
- 15% Contingency: \$50,956.05
- Total w/Contingency: \$390,663.05

**Origination:** Kelly Violette, Executive Director, Tomball Economic Development Corporation

**Recommendation:**

**Party(ies) responsible for placing this item on agenda:** Kelly Violette

\_\_\_\_\_

**FUNDING (IF APPLICABLE)**

Are funds specifically designated in the current budget for the full amount required for this purpose?

Yes: X No:        If yes, specify Account Number: # Business Park Expenses

If no, funds will be transferred # \_\_\_\_\_ To account# \_\_\_\_\_  
from account \_\_\_\_\_





**THIS DOCUMENT HAS BEEN  
ELECTRONICALLY RECORDED**

**THE STATE OF TEXAS   §  
                                  §  
COUNTY OF HARRIS   §**

**KNOW ALL MEN BY THESE PRESENTS:**

**SIGN EASEMENT**

Tortuga Operating Company, a Texas corporation (the “GRANTOR”), for and in consideration of the mutual benefits to accrue to the parties, and the receipt and sufficiency of such consideration being hereby acknowledged, does hereby dedicate to the Tomball Economic Development Corporation, an economic development corporation created pursuant to the Development Corporation Act (the “GRANTEE”), its successors and assigns, a perpetual sign easement, triangular in shape, for the benefit of properties lying within the Tomball Business and Technology Park, to construct, operate, maintain, inspect, replace, and remove three monument signs on, across, and over five thousand one hundred eighty-three square feet (5,183 SF) of land in Harris County, Texas, described by metes and bounds in Exhibit ‘A’ attached hereto, and described by survey plat in Exhibit ‘B’ attached hereto, both exhibits being incorporated herein by this reference for all purposes (the “Easement”).

**GRANTEE** may plant and maintain conifer trees and other landscaping within the Easement, and operate all necessary machinery and equipment to cut, trim, and remove trees, brush, shrubbery, or weeds within the Easement. However, any trees placed within the Easement must be planted at least ten (10) feet from the perimeter boundary of the Easement.

**IMPROVEMENT AND MAINTENANCE OF THE EASEMENT.**

Maintenance of the Easement, including but not limited to any signs, trees, bushes, and landscaping installed by **GRANTEE**, shall be the responsibility of the **GRANTEE**. Additionally, the **GRANTEE** will maintain all trees, bushes, and landscaping planted within the Easement to ensure they do not grow beyond the boundaries of the Easement, maintaining them in accordance with the standards and appearance of all decorative landscaping existing throughout the Tomball Business and Technology Park.

**RESERVATION AND LIMITATION OF RIGHTS**

**GRANTOR** retains, reserves, and shall continue to enjoy the use of the surface of the Easement area for all purposes which do not interfere with or prevent the use by the **GRANTEE** of its rights within the Easement, subject to all applicable laws and regulations of the State of Texas or its political subdivisions.

**GRANTEE** shall replace in kind or better any improvements owned by the **GRANTOR** that are disturbed during construction, operations, maintenance, inspection, replacement, and removal of any signs or landscaping on, across, and over the Easement.

**GRANTEE** is limited to the placement of three (3) monument signs of heights no greater than fifteen (15) feet. All signs must be constructed of granite, stone, and brick.

**GRANTEE** may not construct and maintain any billboard or other commercial signage within the Easement. The sole purpose of any signs placed with the Easement shall be to identify

*Sm/Courtesy*

**STEWART TITLE /48/**

the area as being part of the Tomball Business and Technology Park.

Should GRANTEE fail to place and maintain a monument sign within the Easement area for a period of eighteen (18) consecutive months, then this Easement shall automatically terminate, and GRANTEE shall execute the appropriate instrument to file in the Real Property Records of Harris County, Texas, acknowledging the release of the Easement.

**GRANTING AND COVENANT CLAUSE**

The Easement and the rights and privileges herein granted shall be perpetual between GRANTOR and GRANTEE, subject to all valid and subsisting encumbrances, conditions, covenants, restrictions, reservations, exceptions, rights-of-way, and easements appearing of record in the Official Public Records of Real Property of Harris County, Texas, relative to the above-described property.

GRANTOR covenants that GRANTOR will not voluntarily convey any other easement, or any other right, within the easement area that conflicts with the purpose of this dedication.


This instrument shall be binding upon the successors and assigns of both GRANTOR and GRANTEE.

TO HAVE AND TO HOLD the above-described Easement unto GRANTEE, its successors and assigns, and GRANTOR hereby binds itself and its successors and assigns, to GRANTEE, its successors and assigns, against every person whomsoever lawfully claiming any part thereof, by, through or under GRANTOR, but not otherwise.

EXECUTED this 28<sup>th</sup> day of APRIL 2023.

**FOR GRANTOR:**

**FOR GRANTEE:**

  
Name [Signature]

  
Name [Signature]

**Peter L. Turbett**  
Name [Printed]

**Kelly Violette**  
Name [Printed]

**President**  
Title

**Executive Director**  
Title

**ACKNOWLEDGEMENTS**

**FOR GRANTOR**

**THE STATE OF TEXAS §**  
**COUNTY OF HARRIS §**

BEFORE ME, the undersigned authority, on this day personally appeared PETER L. TURBETT, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same as the President of TORTUGA OPERATING COMPANY, and for the purposes and consideration therein expressed.

**GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 25 day of APRIL 2023.**



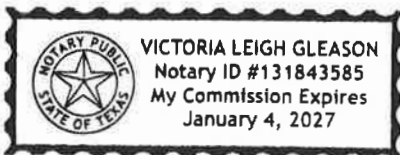
*Linda Jean Winquist*  
Notary Public in and for the State of Texas  
My Commission Expires:

**FOR GRANTEE**

**THE STATE OF TEXAS §**  
**COUNTY OF HARRIS §**

BEFORE ME, the undersigned authority, on this day personally appeared KELLY VIOLETTE, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same as the Executive Director for the TOMBALL ECONOMIC DEVELOPMENT CORPORATION, and for the purposes and consideration therein expressed.

**GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 26 day of APRIL 2023.**



*[Signature]*  
Notary Public in and for the State of Texas  
My Commission Expires:

**ADDRESS OF GRANTOR:**

TORTUGA OPERATING CO.  
7412 SHADY LANE  
HOUSTON, TEXAS 77375

**ADDRESS OF GRANTEE:**

TOMBALL EDC  
PO BOX 820  
TOMBALL, TEXAS 77377

**ATTACHMENTS:**

*Exhibit 'A' – Metes and Bounds description for the 5,183 SF Tomball Business and Technology Park Signage Easement*

*Exhibit 'B' – Survey Plat for the 5,183 SF Tomball Business and Technology Park Signage Easement*

*C & C Surveying, Inc.*

Firm Number 10009400  
33300 Egypt Lane, Suite F200  
Magnolia, Texas 77354  
Office: 281-259-4377 Metro: 281-356-5172

**Metes and Bounds  
Maintenance Easement**

**0.119 Acre (5,183 Square Feet)  
Jesse Pruitt Survey, Abstract 629  
Out of Tomball Business and Technology Park, Section Two  
Harris County, Texas**

*Being a 0.119 acre tract of land situated in the Jesse Pruitt Survey, Abstract Number 629, of Harris County, Texas, being out of Lot 4, of Tomball Business and Technology Park, Section Two, as recorded in Clerk's File Number 2021-659803 of the Real Property Records of Harris County, and said 0.119 acre being more particularly described as follows with all bearings based on said subdivision and proceeding;*

BEGINNING at a point for corner, for the East corner of the herein described tract, common with the East corner of said Lot 4 of said subdivision, being on the Southwest right-of-way line of South Persimmon Street (80 foot right-of-way), and being on the Northwest right-of-way line of an unnamed and unimproved road (30 foot right-of-way) as recorded in Volume 2, Page 65 of the Harris County Map Records;

THENCE, South 42 degrees 49 minutes 19 seconds West, along the Southeast line of the herein described tract, common with the Southeast line of said Lot 4, and being on the Northwest right-of-way line of said unnamed street, a distance of 100.00 feet, to a point for the South corner of the herein described tract;

THENCE, North 02 degrees 01 minutes 41 seconds West, along the West line of the herein described tract, departing said unnamed street, and severing said Lot 4, a distance of 149.28 feet, to a point for the North corner of the herein described, being on the Southwest right-of-way line of the aforementioned South Persimmon Street, and being on a curve to the left;

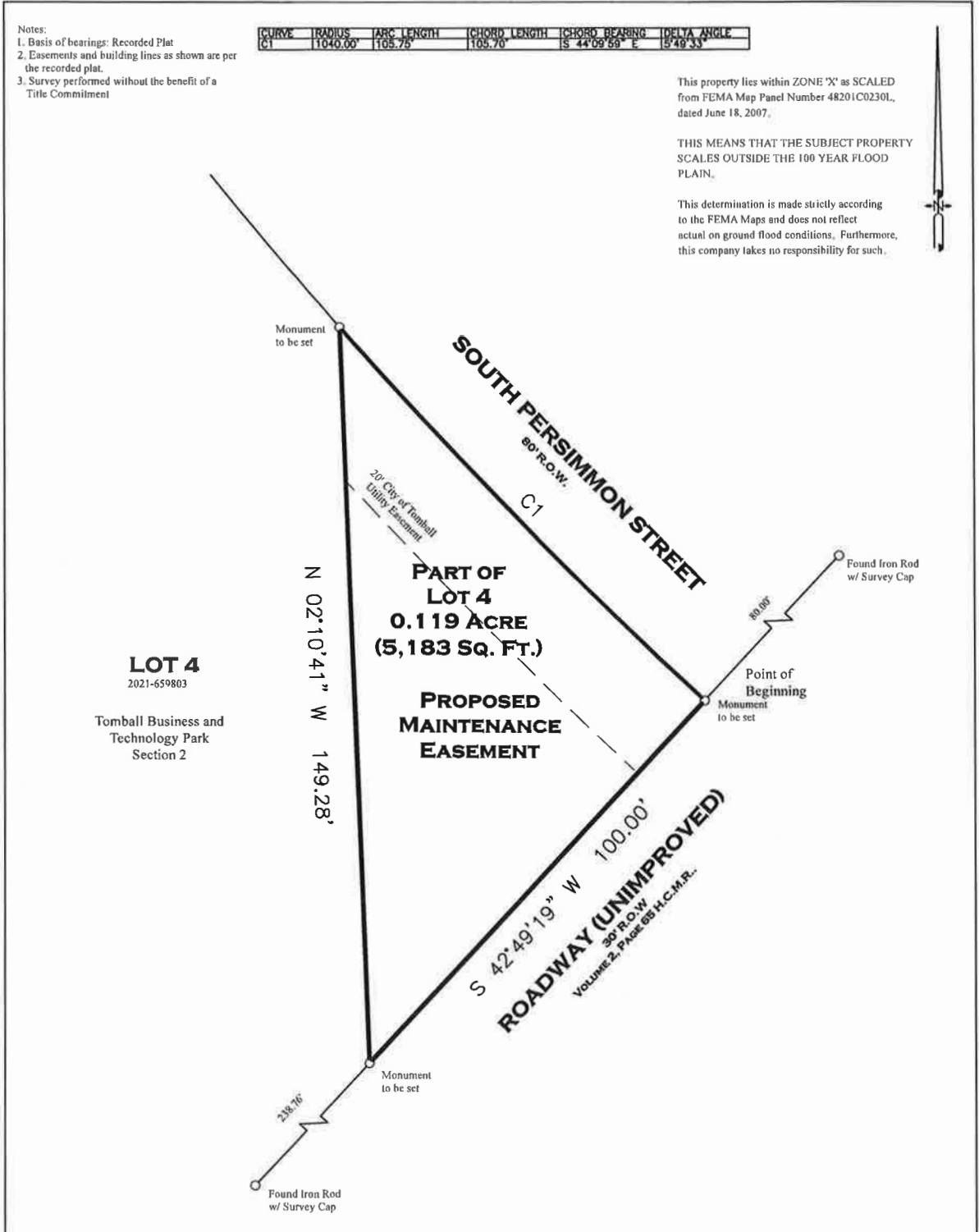
THENCE, along the Northeast line of the herein described tract, common with the Northeast line of said Lot 4, and the Southwest right-of-way line of South Persimmon Street, along said curve to the left, having a radius of 1,040.00 feet, a central angle of 05 degrees 49 minutes 33 seconds, an arc length of 105.75 feet, and a chord bearing South 44 degrees 09 minutes 59 seconds East, 105.70 feet, back to the **POINT OF BEGINNING** and containing 0.119 acre of land.

Steven L. Crews, Registered Professional Land Surveyor, Number 4141  
23-0081  
04/14/2023



# EXHIBIT B – SIGNAGE EASEMENT: SURVEY/PLAT

Item 14.



Proposed Maintenance Easement being a part of Lot Four (4), in of TOMBALL BUSINESS AND TECHNOLOGY PARK, Section 2, a subdivision in Harris County, Texas, according to the map or plat thereof, recorded in 2021-659803, of the Real Property Records of Harris County, Texas, situated in the Jesse Pruitt Survey, A-629.

Date: April 14, 2023	CF No. 12/16		Certified To: City of Tomball	
Job No. 23-0081	Scale: 1" = 20'		Client: Arduzza	
Address: South Persimmon Street	Drawn By: DJ	I HEREBY CERTIFY THIS SURVEY WAS MADE ON THE GROUND, AND THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY 1B, CONDITION III SURVEY, AND THAT THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.	Steven L. Crews R.P.L.S. # 4141	
City, State: Tomball, Texas	Zip: 77307			Rec: 0
<b>C &amp; C SURVEYING, INC.</b> Firm Number 10009400 33300 Egypt Lane, Suite F200 Magnolia, Texas 77354 Office: 281-356-5172 survey@surveying.com/www.ccsurveying.com				

RP-2023-164663  
# Pages 7  
05/08/2023 09:03 AM  
e-Filed & e-Recorded in the  
Official Public Records of  
HARRIS COUNTY  
TENESHIA HUDSPETH  
COUNTY CLERK  
Fees \$38.00

11 74040-1070000

RECORDERS MEMORANDUM  
This instrument was received and recorded electronically  
and any blackouts, additions or changes were present  
at the time the instrument was filed and recorded.

Any provision herein which restricts the sale, rental, or  
use of the described real property because of color or  
race is invalid and unenforceable under federal law.

THE STATE OF TEXAS  
COUNTY OF HARRIS  
I hereby certify that this instrument was FILED in  
File Number Sequence on the date and at the time stamped  
hereon by me; and was duly RECORDED in the Official  
Public Records of Real Property of Harris County, Texas.



*Teneshia Hudspeth*  
COUNTY CLERK  
HARRIS COUNTY, TEXAS

THE STATE OF TEXAS §  
  §  
COUNTY OF HARRIS §

**KNOW ALL MEN BY THESE PRESENTS:**

**SIGN EASEMENT**

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**GRANTEE** may not construct and maintain any billboard or other commercial signage within the Easement. The sole purpose of any signs placed with the Easement shall be to identify

3  
2  
1  
5  
7  
7  
1  
1

*M. Cortes*

**STEWART TITLE /48/**



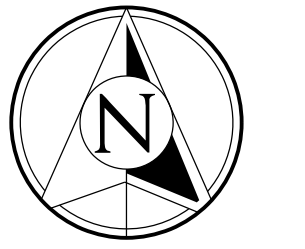


1923 VICTORIA GARDEN DR. RICHMOND, TX 77406  
KYLE@BRUNOLANDDESIGN.COM 409.382.6698

NO.	DATE	REVISION

INTERIM REVIEW ONLY

Document incomplete; not intended for permit, bidding or construction.  
 DATE: 08/25/2022  
 LANDSCAPE ARCHITECT: Kyle M. Bruno  
 REGISTRATION: 3211



PLAN NORTH  
SCALE 1" = 10'-0"

LANDSCAPE DEVELOPMENT

Monument Exhibit

Tomball Business and Technology Park

29201 Quinn Rd., Suite B, Tomball, Texas 77375

SHEET NUMBER:  
EX100

