



TOWN OF SYLVA BOARD OF ADJUSTMENTS MEETING

Thursday, October 12, 2023 at 5:30 PM
Board Room, 83 Allen Street Sylva, North Carolina

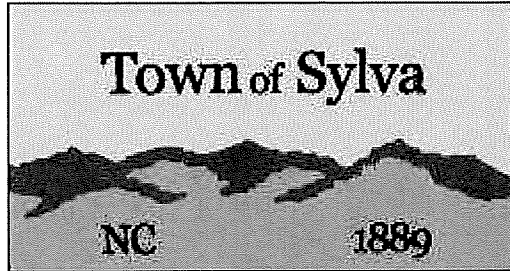
AGENDA

CALL TO ORDER

NEW BUSINESS

1. Zoning Variance Request--Mountain Modern Construction, LLC

ADJOURNMENT



83 Allen Street, Sylva, NC 28779

APPLICATION FOR ZONING TEXT OR MAP AMENDMENT

Submit this completed application and all supporting documentation that may be helpful in the review process. In order to ensure that the proposed text amendment or map amendment complies with the Town of Sylva's regulations, we recommend that the applicant review the Town of Sylva Zoning Ordinance prior to application submittal. The request for a Zoning text or Zoning Map amendment may only be initiated by the Town Board of Commissioners, the Town Planning Board, Planning Staff, the owner of property in the Town of Sylva or a citizen of the Town of Sylva.

All responses in this application must be legible and filled out completely. Illegible and/or incomplete applications will be returned to the applicant. The application fee for a text amendment or map amendment is set forth in the Town of Sylva's fee schedule, is non-refundable and must be submitted with the completed application. For map amendment requests, a current survey prepared and sealed by an NC Registered Surveyor will be required. Applications are not accepted via facsimile or email. Please submit application, fees and supporting documentation to the Town of Sylva, 83 Allen Street, Sylva, NC 28779 via hand delivery or U.S. Mail.

Application deadlines are 30 days prior to the Town of Sylva's Planning Board next scheduled meeting. The applicant will be notified of scheduled hearing dates and times. The average text or map amendment petition timeline is 45 days from date of application to Town Hall. Depending on the complexity of the request, it is not unusual for a petition to take up to 6 months to be considered before the Town Board of Commissioners. Hearing schedules are not guaranteed and subject to change.

Conditional Zoning Districts (CD) are a zoning tool, permitted in accordance with NCGS 160D-703.b., which may be utilized to create new unique, site-specific districts for uses or developments that may have particular benefits and/or impacts on both the immediate area and the community as a whole. The development of these uses may require deviation of the general district standards. The applicant must provide an initial Master Site Plan and zoning proposal that includes all proposed uses and standards for the conditional zoning district being proposed. It is not the intention of Conditional Zoning to circumvent, reduce, or eliminate particular regulations as they would normally be applied to any particular district or use but rather provide flexibility and design standards unique to the subject property and use.

This negotiated approach between the applicant and the Town through a legislative decision allows maximum flexibility to tailor regulations to a particular site and project. Special restrictions have been placed on Conditional zoning. Conditional Zoning Districts occur at the owner's request and conditions cannot be imposed without the owner's agreement. The individual conditions and site-specific standards that can be imposed are limited to those that are needed to bring a project into compliance with town ordinances and adopted plans and to those addressing the impacts reasonably expected to be generated by the use of the site. The town must assure that all of the factors defining reasonable spot zoning are fully considered and that the public hearing record reflects that consideration.

Conditional Zoning shall be subject to the specific procedural rules located in Articles 3 and 5.

**PLEASE COMPLETE ALL SECTIONS OF THE APPLICATION;
INCOMPLETE APPLICATIONS WILL BE RETURNED TO THE APPLICANT;
INDICATE "NOT APPLICABLE" OR "N/A" WHERE APPROPRIATE**

Contact Information:

Applicant/Agent: JEREMIAH WIGGINS

(This person will be the contact person and will receive all mailings)

Address: 1261 BETS BEACH RD BRYSON CITY NC 28713

Phone: (828) 788-3381 Fax: _____

Email: jeremiahrwiggins@gmail.com

Property Owner(s): MOUNTAIN MODERN CONSTRUCTION, LLC

(If the owner is different than the applicant)

Address: 371 OLD CULLOWHEE RD SYLVA NC 28779

Phone: (828) 788-3381 Fax: _____

Email: jeremiahrwiggins@gmail.com

Property Information:

Property Location/Address(es): KEENER STREET SYLVA NC 28779

Tax Parcel Identification Number(s): 7641-07-0338

Current Use of Property(ies): VACANT

Acreage to be Rezoned: NA

Deed Book: _____ Page: _____ Lot / Tract Size: 0.22 (acres)

Property Street Frontage / Width: ~68 Property Depth: ~128

Flood Plain: NO FIRM Panel: _____

Zoning Information:

Current Zoning District(s): LDR

Requested Zoning District(s): LDR

Purpose of Zoning Change (optional): _____

Spot Zoning Statement:

In the space below, please indicate whether the proposed rezoning *will* or *will not* constitute a spot zoning and explain *why* the proposed rezoning *will* or *will not* constitute a spot zoning. (For more information on spot zoning, refer to the attachment on spot zoning).

REQUESTING SETBACK MODIFICATIONS: FRONT SETBACK MODIFIED FROM 30' TO 20' AND SIDELINE FROM 10' TO 5'. MEETS ALL FIRE SEPARATION REQUIREMENTS AND IMPROVES AESTHETICS AND SPACING.

Town of Sylva LAND USE PLAN CONSISTENCY

All rezoning requests must be consistent with the Town of Sylva's *Land Use Map*

Current Land Use Classification(s): _____

This rezoning request is: Consistent with the Town's Land Use Map.

NOT consistent with the Town's Land Use Map.

IF THE REZONING REQUEST IS NOT CONSISTENT WITH THE LAND USE MAP:

A Land Use Map Amendment is *REQUIRED*. All rezoning requests **MUST BE CONSISTENT** with the Town of Sylva's *Land Use Map and/or the Town's Land Use Plan*. All Land Use Amendments must be consistent with one or more of the adopted Land Use Plan Policies located within the Town's Land Use Plan Update document and/or demonstrate a change in the character of the area that warrants a departure from the adopted Land Use Plan. In the space below, please explain *why* the proposed Land Use Amendment will be consistent with the Town of Sylva's Land Use Plan and how the character of the area has changed (A copy of the Town of Sylva's Land Use Plan and Map can be viewed at Town Hall).

APPLICATION REQUIREMENTS:

All written materials and photographs must be a minimum of 8½"x11" paper; maps, surveys and plans must be submitted on a minimum 11"x17" paper. For the first level of review with the Town of Sylva Planning Board, the applicant must supply one (1) original and ten (10) copies of the completed application, supporting documents, photographs and materials. For Clerk advertisement and Board of Commissioners consideration, the Planning Staff may request additional documents as necessary. Please plan to attend all meetings and be prepared to answer questions or present information as necessary to the Planning Board or Town Board of Commissioners. Failure to attend may result in a delay or denial of your application.

1. **Legal description and property survey:** For a Major map amendment or if the applicant is seeking to subdivide a property to amend, attach a complete legal description (metes and bounds) of the property. Provide an existing survey of the property, with a scale indicating dimensions. If the applicant is seeking a text amendment, please attach a tax map with PIN number.
2. **Requested zoning change and use:** Indicate the current zoning classification and the proposed zoning classification being requested.
3. **Adjacent property zoning and land use:** Provide the current zoning and land use for the parcels immediately adjacent to the subject property (include all directions – north, south, east and west). Do not include right-of-way when considering adjacent uses.
4. **Land use and future development:** Describe how land use and future development conditions have changed that make the existing zoning designation unsuitable; include detail as to why a rezoning would be compatible with the character of the area.
5. **Public need:** Indicate the perceived need for the additional land to be zoned to the requested classification stated above.
6. **Community impact:** Describe the impact the proposed rezoning would generate on the adjacent properties and the surrounding neighborhoods/communities/businesses. Include in your discussion: transportation, utilities, storm water management, fire, public safety, open space, topography, density, property access and economic development. Provide in detail why or why not (and if so, how) the proposed rezoning will affect the surrounding properties.
7. **Infrastructure demand:** Describe the impact the proposed rezoning would have on public services, facilities and infrastructure (e.g. schools, parks, recreational services, roads, senior services, etc.). Provide in detail estimated demand for existing and/or new services based upon build-out and population projections.
8. **Zoning Ordinance and Comprehensive Plan compliance:** Explain how the proposed rezoning or development will be in compliance with Town's Land Use Plan and/or Comprehensive Plan.

Notification:

All property and business owners within 100 feet of the property being considered for a text or map amendment must be mailed an Adjacent Property Owner Notification a minimum 10 days prior to the Town of Sylva Planning Board and Town Board of Commissioners meetings. The applicant is responsible for supplying a list of the names and mailing address for these properties and businesses affected by the possible text or map amendment change. In addition, the applicant must supply two (2) set of stamped, addressed #10 envelopes for each property and business owner within a 100' radius. The return address should read:

Town of Sylva
83 Allen Street
Sylva, NC 28779

SPOT ZONING

SPOT ZONING DEFINED:

"A zoning ordinance, or amendment, which singles out and reclassifies a relatively small tract owned by a single person and surrounded by a much larger area uniformly zoned, so as to impose upon the smaller tract greater restrictions than those imposed upon the larger area, or so as to relieve the small tract from restrictions to which the rest of the area is subjected, is called spot zoning."

How to determine whether a particular rezoning is spot zoning when a relatively small tract of land is:

- o Zoned differently from the surrounding area
- o Not taking into account the larger community context
- o Not in accordance with the comprehensive plan

Factors to Consider:**1. Size of Rezoning Area**

The smaller the area/tract the more likely the rezoning can be considered a spot zoning. The size of the tract must be looked at in context for the larger area.

2. Compatibility with the Plan

How consistent is the rezoning with the Land Use Plan(s). Relationship of the Town's Land use policies and objectives. Is the land suitable for the following:

- o Development (e.g., topography, soil types, wetland locations, and flood areas)
- o Availability of Services (e.g., water, sewer, roads)
- o Existing and Needed Land Uses.

3. Benefits & Detriments

Look at who will benefit and be harmed (if anyone) from the result of the rezoning (e.g. owner, adjacent owners & community at large).

4. Relationships of Uses

The relationship of the proposed uses versus the current uses on adjacent land.

Authorization:

Note: If the person requesting of The Town of Sylva, to take action on a particular piece of property is not the owner of the property, or under contract to purchase, then the actual owner of the land must complete this form with his/her signature notarized. If the property owner is the applicant please complete the section below and sign as indicated.

Fax, Scan or Copied images of the original document will not be accepted.

I, _____ (Land owner name) am the owner of the property located in the Town of Sylva Zoning Jurisdiction at:

Street address: _____ Property PIN: _____

I hereby authorize _____ (owner or applicant's name) to appear with my consent before the Town of Sylva Planning Board and Board of Commissioners in order to request a rezoning for the above noted location. I authorize the Town of Sylva to advertise and the applicant to present this matter in my name as the owner of the property. I hereby authorize the Town Officials to enter my property to conduct relevant site inspections as deemed necessary to process the application. All information submitted and required as part of the approval process shall become public records. I, as the land owner, hereby CERTIFY THAT THE INFORMATION CONTAINED HERIN IS TRUE TO THE BEST OF MY KNOWLEDGE; AND BY ACCEPTING THIS REZONING, if approved, shall in every respect conform to the terms of this application and to provisions of the Statutes and Ordinances regulating development in the Town of Sylva. Any VIOLATION of the terms above stated and/or Town Ordinances or Regulations will result in civil penalties. If there are any questions, you may contact me at:

Street Address: _____

City / State / Zip Code: _____

Phone Number: _____

Email Address: _____

Owners Signature: _____

Sworn to and subscribed before me, this the _____ day of _____, 20____

Notary Public

Seal

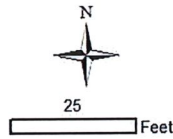
My commission expires: _____

Property Report for 7641-07-0338

9/15/2023



— Centerlines
 [Pink Box] Parcels



***WARNING: THIS IS NOT A SURVEY!** This map is prepared for inventory of real property within Jackson County. It is compiled from recorded deeds, plats, and public data records. Users of this map are hereby notified that the aforementioned public information sources should be consulted for verification. Jackson County or any County representative assumes no legal responsibility for the contents of this map.

<p>Parcel Information</p> <p>Parcel ID: 7641-07-0338 Parcel Address: KEENER ST Neighborhood Name: Cowan/Spring St Property Description: KEENER ST Sale Date: 2023-07-27 Sale Price: \$42,000 Plat Reference: None Transferring Reference: 2360/641 Township: SYLVA CITY Assessed Acres: 0.2200</p>	<p>Ownership Information</p> <p>Owner Name #1: MOUNTAIN MODERN CONSTRUCTION LLC Owner Name #2: Mailing Address 1: 371 OLD CULLOWHEE RD Mailing Address 2: City/State/Zip: SYLVA NC 28779 Owner Account: 193943</p>	<p>Tax/Value Information</p> <p>Fire District: None Building Value: \$0 Land Value: \$23,100 Assessed Total Value: \$23,100</p> <p>Zoning Information</p> <p>Zoning District: None Zoning Area: Sylva LDR - Low Density Residential Jurisdiction: None</p>
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Jackson County Planning Department
538 Scotts Creek Road, Suite 217
Sylva, North Carolina 28779
Phone (828) 631-2282
Email: johnjeleniewski@jacksonnc.org

Zoning Permit Number:
Date Received:
Date Approved:

Zoning Permit Application

TO BE COMPLETED BY APPLICANT

TO BE COMPLETED BY APPLICANT

OWNER AND PROPERTY INFORMATION
Property Owner: Mountain Modern Construction LLC
Property PIN: 7641-07-0338
Address: 371 OLD CULLOWHEE RD
Property Address: TBD Keener Street
City: Sylva State: NC Zip: 28779
City: Sylva State: NC Zip: 28779
Phone: 8287883381
Email: jeremiahrwiggins@gmail.com


BUSINESS INFORMATION (If Applicable)
Business / Project Name: Mountain Modern Construction, LLC
Business / Project Address: TBD Keener ST
Business Contact Person: Jeremiah Wiggins
City: Sylva State: NC Zip: 28779
Contact Phone: 8287883381
Business Phone: 8287883381
Contact Email: jeremiahrwiggins@gmail.com
Business Use (Retail, Restaurant, Hotel, Office, Etc.): Residential
Sign Permit Required: Yes No

FOR OFFICE USE
Ordinance Jurisdiction: 441 Development Corridor Cashiers Commercial Area
Cullowhee Planning Area Town of Dillsboro Forest Hills Town of Sylva Webster
Zoning District: Parcel Lot Size: Building Sq. Ft.:
Parking Spaces / Handicap: Building Floors: Floor Business Located on:
Front Bldg. Setback (ft.): Rear Bldg. Setback (ft.): Side Bldg. Setback (ft.):
Front Landscape Buffer (ft.): Rear Landscape Buffer (ft.): Side Landscape Buffer (ft.):
Road Right-of-Way: Building Frontage (ft.):
Building Type: Stand-alone Building Shopping Center
Building Improvements: New Construction Existing
Total Zoning Permit Fee:

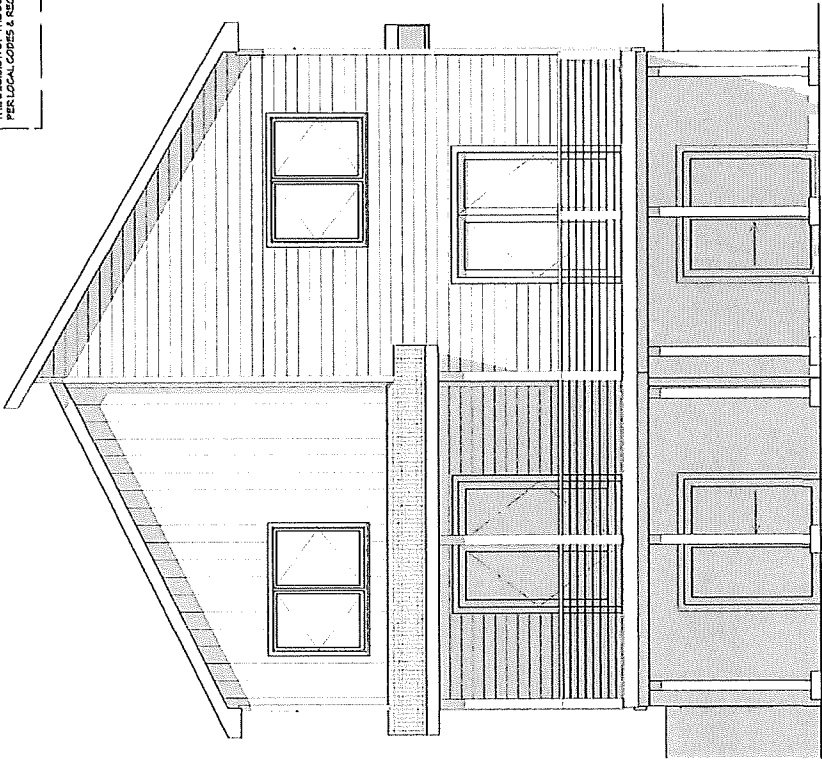
I affirm and certify that I understand and will comply with the provisions and regulations of any applicable Jackson County or District Ordinances. I further certify that the above statements and the statements and showings made in any paper or plans submitted herewith are true to the best of my knowledge and belief. Further, I understand that the application, attachments and fees become part of the Official Records of the Planning Department and are not returnable. I also recognize that if one or more deficiencies exist in the application, I will be notified of the deficient items, and the department shall take no further action on the application until the required information is submitted. I understand that misrepresentation of information contained within this application may be cause to void any development approvals associated with this application.

Applicant's Signature: [Signature] MEMBER MMC, LLC Date: 8/23/2023
Planning Department Approval Signature: Date:

Following the Approval Signature of the Planning Department, a Zoning Certificate of Compliance shall be issued.

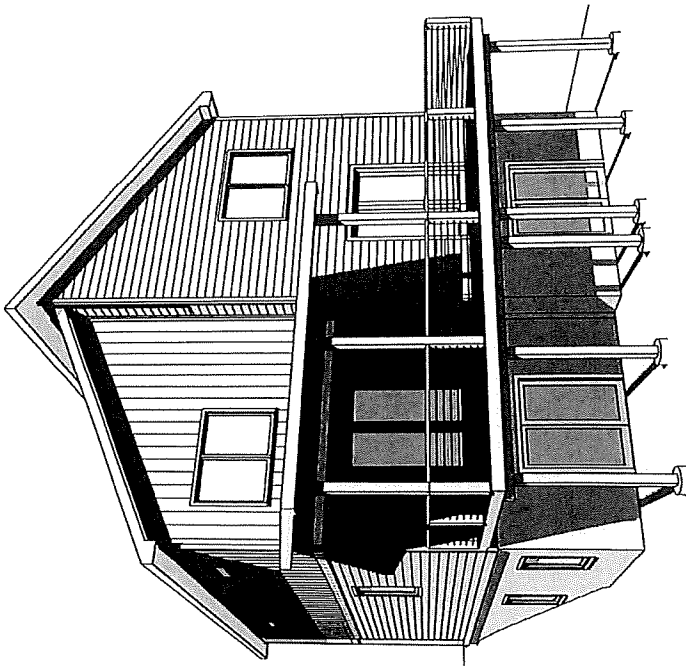
 CARDINAL HOMES PROJECT NO. 4580 FP. NUMBER - PRINT NO. - DATE 7/14/2023 DRAWN BY: J HUGHES SCALE: 3/16" = 1'-0" REVISIONS 7-17-23 JH 08-08-23 JM 08-15-23 JM	ELEVATION	SHEET: 1.3 OF 6
	© 2023 KITUWAH MANUFACTURING, LLC	

NOTE:
 PORCHES, DECKS AND/OR GARAGE TO BE
 THE DECISION OF THE BUILDER OR OWNER
 PER LOCAL CODES & REQUIREMENTS.




Exterior Elevation Back

WALNUT COVE MODIFIED A.I.C.
 1071 SQ. FT. FIRST FLOOR
 1071 SQ. FT. SECOND LEVEL
 2144 TOTAL SQ. FT.
KITUWAH BUILDERS, LLC.
 CUSTOMER -



NOTE:
 THESE RENDERINGS ARE AN ARTIST'S DEPICTION ONLY. MAY NOT REFLECT THE ACTUAL FINAL PRODUCT. PLAN UPDATES MAY NOT BE REFLECTED IN
 RENDERINGS. REFER TO THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

 CARDINAL HOMES	PROJECT NO. 4580	FP. NUMBER -	PRINT NO. -	DATE 7/10/2023	DRAWN BY: J HUGHES	SCALE: 3/16" = 1'-0"	© 2023 KITUWAH MANUFACTURING, LLC FLOOR PLAN	SHEET: 2.0 OF 6								
	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: left;">REVISIONS</th> </tr> <tr> <td>7-17-23 JHL</td> </tr> <tr> <td>08-14-2023</td> </tr> <tr> <td> </td> </tr> <tr> <td> </td> </tr> <tr> <td> </td> </tr> <tr> <td> </td> </tr> <tr> <td> </td> </tr> <tr> <td> </td> </tr> <tr> <td> </td> </tr> </table>							REVISIONS	7-17-23 JHL	08-14-2023						
REVISIONS																
7-17-23 JHL																
08-14-2023																

NOTE: TO SET/UP CONTRACTOR. INTERIOR MATE LINE DOORS ARE TEMPORARY INSTALLED. REMOVE THE TEMPORARY FASTENERS AND RESET THE DOOR FOR FINAL FINISH.

NOTE: TRADITIONAL VINYL WINDOW SIZES

NOTE: AT LEAST ONE EGRESS WINDOW SHALL BE INSTALLED IN EACH BEDROOM

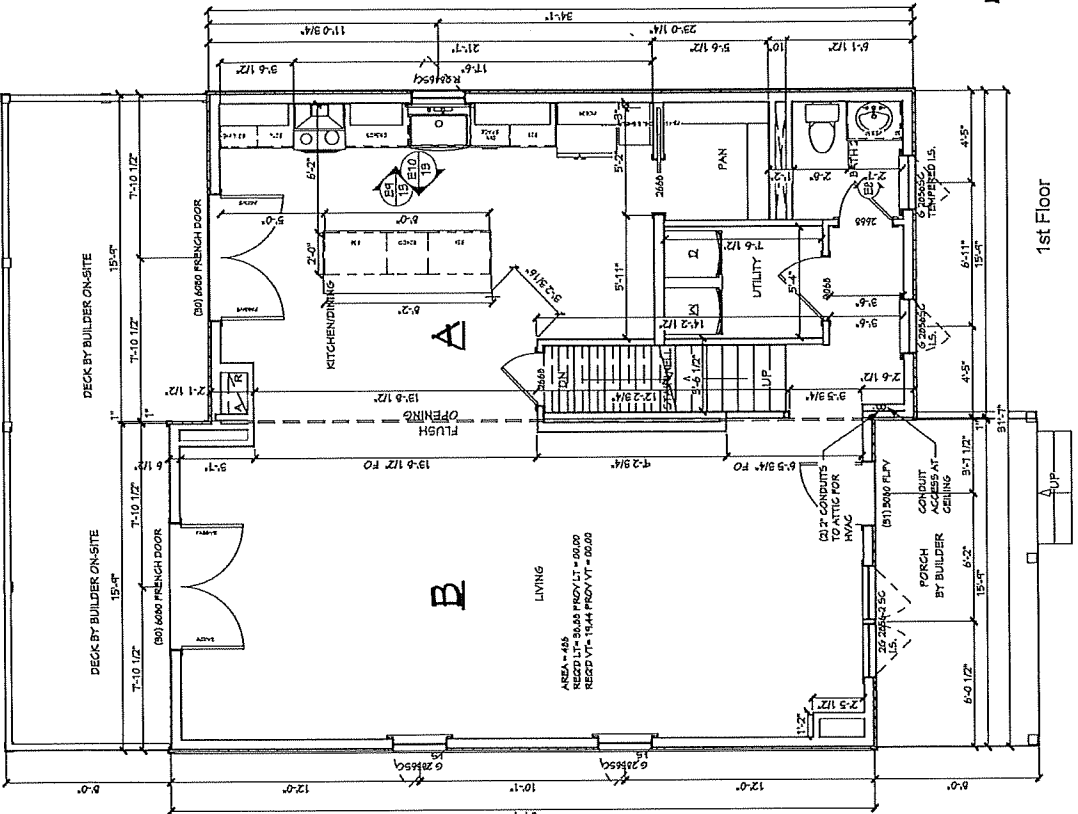
NOTE: 1ST FLOOR WINDOW HEADER UNLESS OTHERWISE NOTED (1) 2X4 FLAT ENERGY HEADER (USE 2X10 FLOOR RAIL ABOVE) (BIR PG 68)

NOTE: INTERIOR DOORS NOT ON A MARRIAGE LINE HAVE A 2X4 FLAT HEADER OTHER HEADER STRUCTURAL SUPPORT OPTIONS MAY BE LISTED ON FLOOR PLAN

WALNUT COVE MODIFIED ALT C

1071 SQ. FT. FIRST FLOOR
1071 SQ. FT. SECOND LEVEL
2144 TOTAL SQ. FT.

KITUWAH BUILDERS, LLC
CUSTOMER -




DOOR SCHEDULE 1ST FLOOR

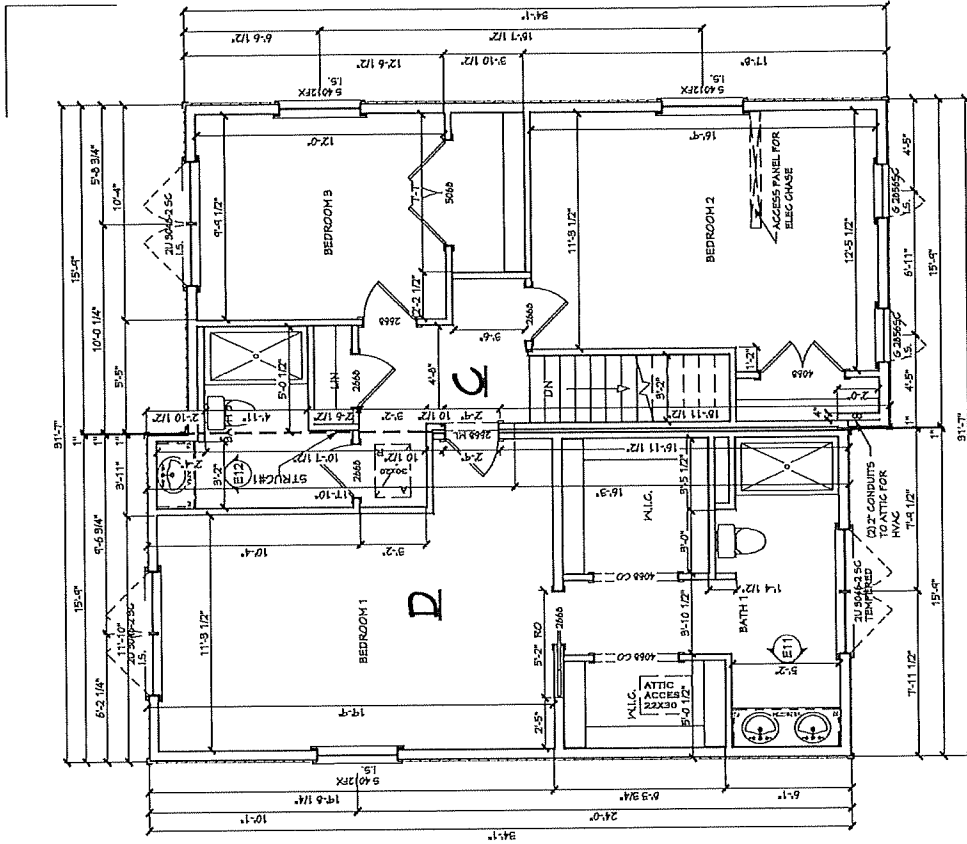
QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION
3060	L IN	3060	36	HINGED-PER ORDER
2660	L	2660	30	POCKET-PER ORDER
2660	L IN	2660	30	HINGED-PER ORDER
2660	L IN	2660	30	HINGED-PER ORDER
6080	R IN	75	90	EXT. DOUBLE HINGED GLASS PANEL
2660	R IN	32	90	HINGED-PER ORDER
2660	R IN	32	90	HINGED-PER ORDER
3080	R EX	30	96	EXT. HINGED GLASS PANEL

WINDOW SCHEDULE 1ST FLOOR

LABEL	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION
28565C	1	1	31 1/2	65 1/2	HR	SINGLE CASMENT-TEMPERED IS.
28565C	2	1	31 1/2	65 1/2	HR	SINGLE CASMENT-TEMPERED IS.
28565C	1	1	31 1/2	65 1/2	HR	SINGLE CASMENT-TEMPERED IS.
28562-SC	1	1	65	112	HR	MULLED UNIT
28565C	1	1	31 1/2	65 1/2	HR	SINGLE CASMENT-TEMPERED IS.
R 28465C	1	1	31 1/2	53 1/2	HL	SINGLE CASMENT

NOTE: IS = IN STOCK

 CARDINAL HOMES PROJECT NO. 4880 PP. NUMBER PRINT NO. DATE 7/14/2023 DRAWN BY: J HUGHES SCALE: 3/16" = 1'-0" REVISIONS 7-17-23 JH 08-15-23 JM	FLOOR PLAN © 2023 KITUAH MANUFACTURING, LLC		SHEET: 2.1 OF 6
	2nd Floor		



WALNUT COVE MODIFIED ALT C
 1071 SQ. FT. FIRST FLOOR
 1071 SQ. FT. SECOND LEVEL
 2144 TOTAL SQ. FT.
 KITUAH BUILDERS, LLC
 CUSTOMER -

NOTE:
 ALL EXTERIOR WINDOW & DOOR HEADERS TO BE (3)
 2x6 SFRZ MEMBER UNLESS OTHERWISE NOTED
 4x6 BA, BEAM SPANS

NOTE:
 ALL METALINE DOOR HEADERS TO
 BE C2x4 SFRZ HEADER
 -PER MODULE NO SPLICE
 -UNLESS OTHERWISE NOTED
 -4x6 2. BEAM SPANS


NOTE:
 TO SET UP COUNTERTOPS, INTERIOR METALINE
 DOORS ARE TEMPORARY INSTALLATIONS
 REMOVE THE TEMPORARY INSTALLATIONS AND
 RESET THE DOOR FOR FINAL FINISH.

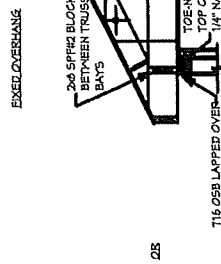
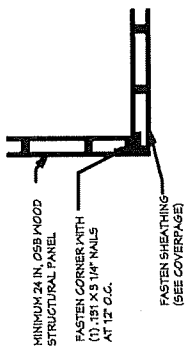
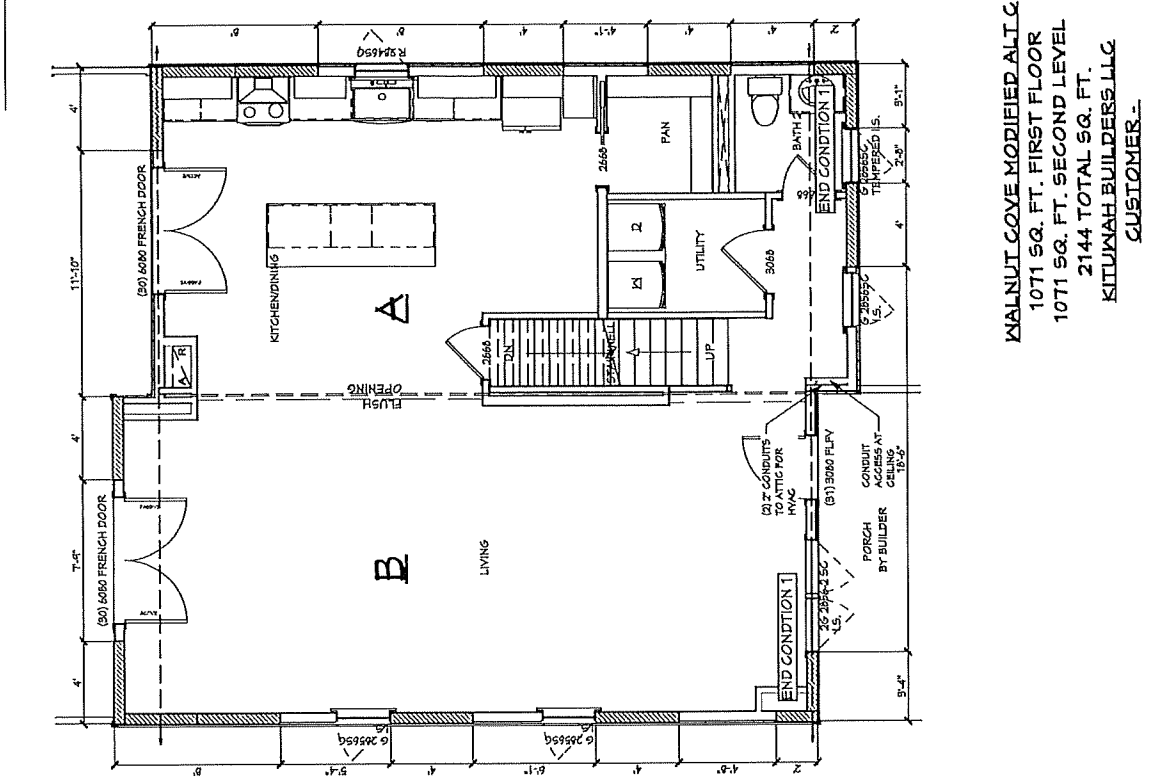
NOTE:
 TRADITIONAL VINYL WINDOW SIZES
 NOTE:
 AT LEAST ONE EGRESS WINDOW SHALL
 BE INSTALLED IN EACH BEDROOM

NOTE:
 I.S. = IN STOCK

WINDOW SCHEDULE 2ND FLOOR			
LABEL	QTY	FLOOR WIDTH	HEIGHT
2U 3046-2 SC	2	72"	54"
I.S.			
G 2856SC	2	31 1/2"	65 1/2"
I.S.			
2U 3046-2 SC	1	72"	54"
TEMPERED			
S 4012FX	1	47 1/2"	13 1/2"
I.S.			
S 4012FX	2	47 1/2"	13 1/2"
I.S.			

DOOR SCHEDULE 2ND FLOOR			
LABEL	QTY	FLOOR SIZE	DESCRIPTION
2668 ML	1	2668 R IN	HINGED-PER ORDER
2668	1	30"	POCKET-PER ORDER
2668	3	30"	HINGED-PER ORDER
2668	1	30"	HINGED-PER ORDER
4068	1	4068 L/R IN 48"	DOUBLE HINGED-PER ORDER
5068	1	5068 L/R IN 60"	DOUBLE HINGED-PER ORDER

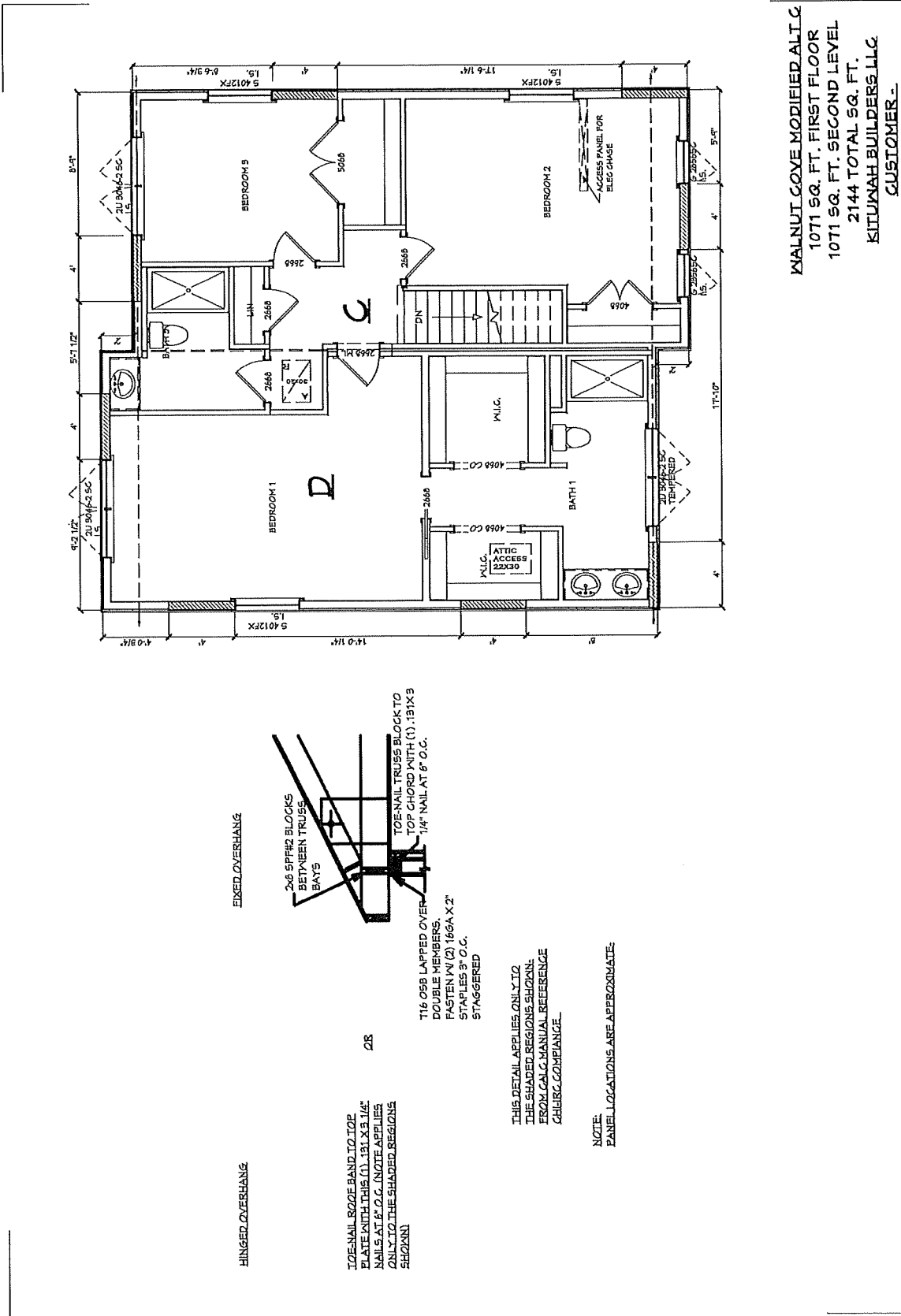
 CARDINAL HOMES PROJECT NO. 4580 PP. NUMBER PRINT NO. DATE 08-01-2023 DRAWN BY: J. MCCORMICK SCALE: 3/16" = 1'-0" REVISIONS	© 2023 KITUAH MANUFACTURING, LLC 1ST FLOOR BRACED WALLS	SHEET: 2.2 OF 6
	WALNUT COVE MODIFIED ALT C 1071 SQ. FT. FIRST FLOOR 2144 TOTAL SQ. FT. KITUAH BUILDERS, LLC CUSTOMER	



TOE-NAIL BLOCKS TO TOP CHORD WITH (1) 181 X 3 1/4" NAILS AT 8" O.C. (NOTE APPLIES ONLY TO UNBRACED REGIONS SHOWN)
 (B) 3069 FLYV
 (B) 3069 FLYV
 CONDUIT ACCESS AT CEILING
 CONDUIT ACCESS AT CEILING

THIS DETAIL APPLIES ONLY TO UNBRACED REGIONS. FOR BRACED REGIONS, REFER TO BRACED WALLS FROM CALC. MANUAL, REFERENCE CHUBBIC COMPANY.
 NOTE: PANEL LOCATIONS ARE APPROPRIATE

<p>CARDINAL HOMES PROJECT NO. 4580 FP. NUMBER PRINT NO. DATE 08-01-2023 DRAWN BY: J. MCCORMICK SCALE: 3/16" = 1'-0"</p>	<p>REVISIONS</p>
	<p>2023 KITUWAH MANUFACTURING, LLC</p>
<p>2ND FLOOR BRACED WALLS</p>	
<p>SHEET: 23 OF 6</p>	





PROJECT NO. 4580

FP. NUMBER

PRINT NO.

DATE 07-25-2023

DRAWN BY: T. YOUNGER

SCALE: 3/16" = 1'-0"

REVISIONS

08-01-23 JM

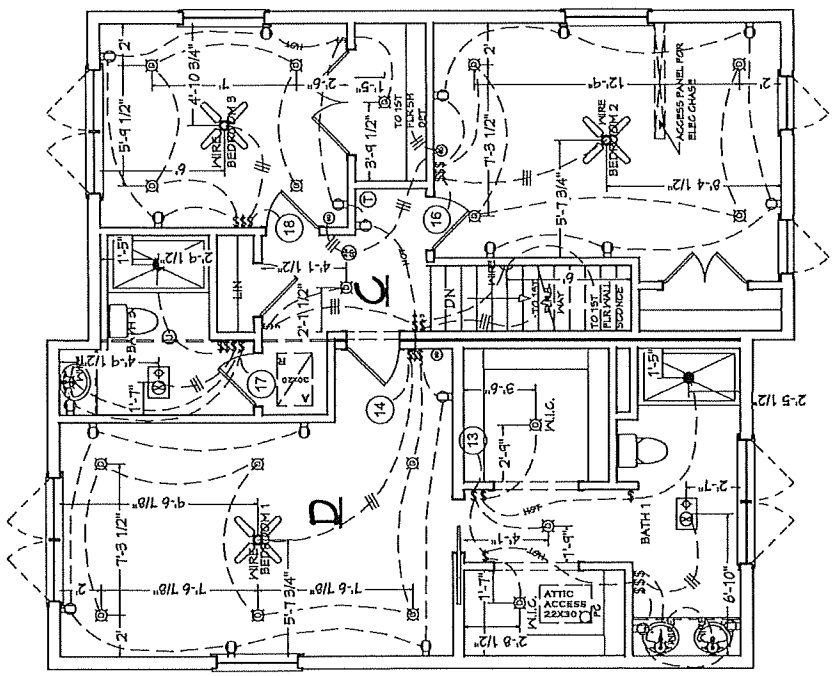
2ND FLOOR ELECTRICAL
© 2023 KITUWAH MANUFACTURING, LLC

SHEET: 3.1 OF 6

SYMBOL	DESCRIPTION
	Ceiling Fan (Wire Only)
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Recessed, Downlight, WP, Downlight, Heat Lamp, Low Voltage
	Down Light, WP, Downlight
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted Wall Jacks: CAT5, CAT6, TV/Cable (conduit only)
	Telephone Jack Conduit
	Thermostat
	Door Bell Transformer, Door Chime, Door Bell Button
	Smoke Detector, Carbon Monoxide / SD Combo
	Under Cabinet Lights
	Electrical Distribution Panel

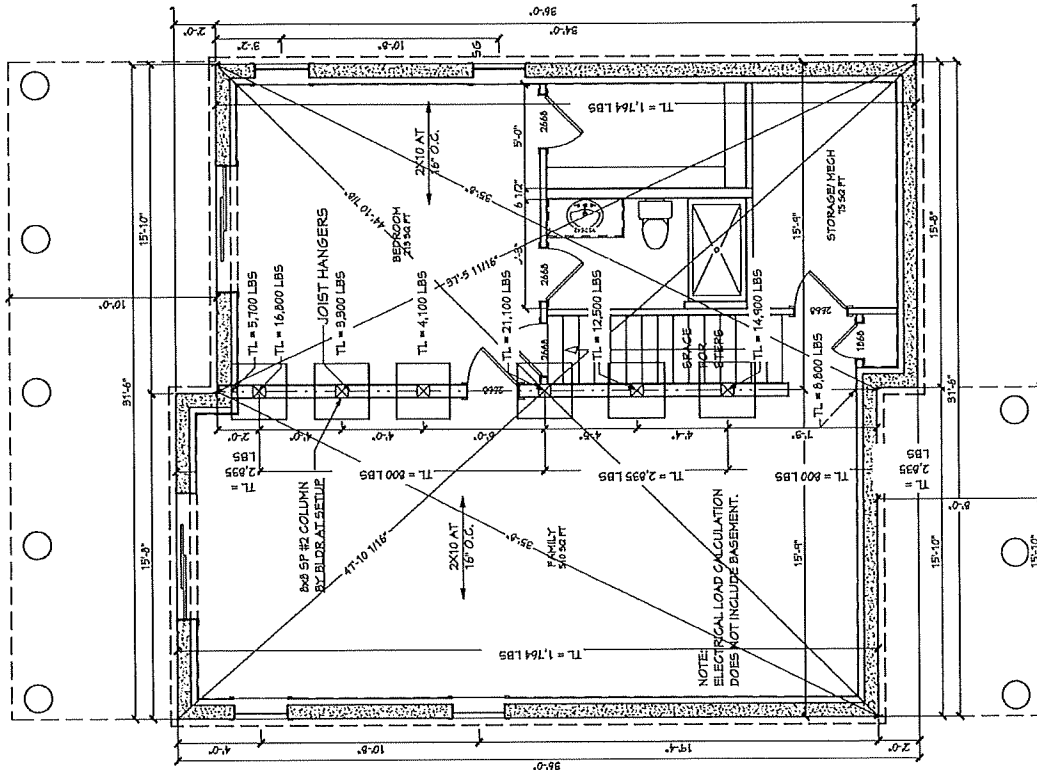
WALNUT COVE MODIFIED ALT G
 1071 SQ. FT. FIRST FLOOR
 1071 SQ. FT. SECOND LEVEL
 2144 TOTAL SQ. FT.
 KITUWAH BUILDERS LLC
 CUSTOMER

- ELECTRICAL NOTES:**
- ALL GENERAL BRANCH CIRCUITS SHALL BE 20 AMP. ALL OTHER CIRCUITS LISTED AS DEDICATED ON THE ELECTRICAL PANEL CIRCUIT BREAKER SHALL BE SIZED AS REQUIRED BY LISTING FOR INDIVIDUAL ITEMS. ALL GENERAL BRANCH RECEPTACLES ARE TO BE TAMPER RESISTANT EXCEPT FOR RECEPTACLES LOCATED WITHIN A DESIGNATED SPACE FOR AN APPLIANCE THAT IN SUCH CASES SHALL BE PROVIDED WITH THIS 20 AMP PROTECTION.
 - GENERAL CIRCUITING INFORMATION:
 - ONE CENTRAL HEATING CIRCUIT (SPACE SHALL BE ALLOWED FOR ON MAIN PANEL UNLESS OTHERWISE NOTED) SHALL BE INSTALLED AND SUPPORTED AS PER 240V RECEPTACLE.
 - KITCHEN SHALL INCLUDE ALL APPLIANCES AND DRINKING AREA RECEPTACLES - 20 AMP CIRCUITS, MINIMUM NUMBER IS 3. ALL BATHING SPACES, INCLUDING DINING ROOM, DINING ROOMS, BREAKFAST ROOMS, ETC., SHALL BE PROVIDED WITH THIS 20 AMP PROTECTION.
 - RECEPTACLES IN BATH AND ONE DEDICATED TO ANY CIRCUIT FOR DRYER.
 - GENERAL LIGHTING AND CONVENIENCE RECEPTACLE BRANCH CIRCUITS AS DESIGNED PER PANEL BOARD ENCLOSURE FOR CIRCUIT IDENTIFICATION. THE NUMBERS 1 THROUGH 14 SHALL BE RESERVED FOR THE FOLLOWING DEDICATED CIRCUITS: RANGE, POWER HEATER, BATH CIRCUITS. THIS AND TO BE CONSIDERED DEDICATED CIRCUITS AND MAY NOT SERVE ANY OTHER ITEM IN COMBINATION WITH THE DEDICATED LISTING. ALL OTHER NUMBERS MAY BE USED FOR GENERAL BRANCH CIRCUITS OR AS REQUIRED FOR ADDITIONAL DEDICATED CIRCUITS.
 - NONMETALLIC CABLE (NM) IS USED THROUGHOUT AND IS INSTALLED AND SUPPORTED AS PER POWER AND LIGHTING DISTRIBUTION.
 - GENERAL USE RECEPTACLES SHALL BE DISTRIBUTED WITHIN THE RESIDENCE.
 - SMALL REFRIGERATORS AND OTHER CIRCUITS SHALL BE INSTALLED AS PER LISTING. RECEPTACLES TO SERVE ANY OTHER OUTLETS OR DEVICES, SHALL BE INSTALLED AS PER LISTING.
 - RECEPTACLES SHALL BE PROVIDED WITH GROUND FAULT PROTECTION. SMALL KITCHEN RECEPTACLES SHALL BE PROVIDED WITH GROUND FAULT PROTECTION. SMALL KITCHEN RECEPTACLES, EACH BATHROOM SHALL HAVE A MINIMUM OF ONE WALL RECEPTACLE INSTALLED ADJACENT TO EACH LAVATORY. THIS RECEPTACLE SHALL BE PROVIDED WITH GROUND FAULT PROTECTION.
 - RECEPTACLES SHALL BE PROVIDED WITH A MINIMUM OF TWO OUTDOOR GFCI RECEPTACLES ON SITE IF GRADE LEVEL DOES NOT ALLOW RECEPTACLE INSTALLATION AT THE LOCATION. THESE RECEPTACLES SHALL BE PROVIDED WITH GFCI PROTECTION.
 - ALL SHOCK DETECTORS SUPPLIED AND INSTALLED BY CARDINAL HOMES AND ALSO THOSE THAT ARE SITE INSTALLED SHALL BE APPROVED AND LISTED AS REQUIRED. THEY SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE POWER SOURCE SHALL BE FROM A CIRCUIT THAT WOULD BE IN NORMAL DAILY USE BY THE OCCUPANTS. THE SHOCK DETECTOR POWER SOURCE SHALL BE SO INSTALLED AS TO BE PROTECTED BY THE SAME CIRCUIT.
 - ARC FAULT BREAKERS SHALL BE INSTALLED AS PER LISTING. ALL SHOCK DETECTORS MUST BE INSTALLED IN BATHROOMS, RECREATION ROOMS, DINING ROOMS, LIVING ROOMS, PORCHES, TERRACES, DECKS, BEDROOMS, PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER IN ACCORDANCE WITH NORTH CAROLINA ELECTRICAL CODE SECTION 310.14.



	CARDINAL HOMES @	PROJECT NO.	FP. NUMBER	PRINT NO.	DATE	DRAWN BY:	SCALE:	REVISIONS 7-17-23 JH 	FOUNDATION	SHEET: 4.0 OF 6
		4580			7/14/2023	J HUGHES	3/16" = 1'-0"			

WALNUT COVE MODIFIED ALT C
 1071 SQ. FT. FIRST FLOOR
 1071 SQ. FT. SECOND LEVEL
 2144 TOTAL SQ. FT.
 KITUWAH BUILDERS, LLC
 CUSTOMER



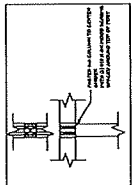
FOUNDATION PLAN IS FOR PERIMETER DIMENSIONS AND PIER LOCATIONS ONLY AND IS DESIGNED ON INFORMATION SUBMITTED. ANY ALTERATIONS TO THE EXTERIOR DIMENSIONS OR CHANGES TO PARTY WALL OPENINGS AFTER THE DESIGN SET HAS BEEN MADE MAY IMPACT THIS DESIGN AND ON DESIGN AND DISCREPANCY TO BE BY BUILDER. ON-SITE SUBJECT TO INSPECTION AND APPROVAL BY BUILDER. OFFICIAL BASED ON LOCAL SOIL CONDITIONS.


SIZE OF FDN. WALL AND FOOTING THICKNESS AS REQUIRED BY LOCAL PERMITS UNDER THE CONDITIONS: EGRESS BEYOND PROJECT LINE. ENTIRE FOUNDATION SUBJECT TO INSPECTION AND APPROVAL BY AUTHORITY HAVING JURISDICTION BY BUILDER ON-SITE.

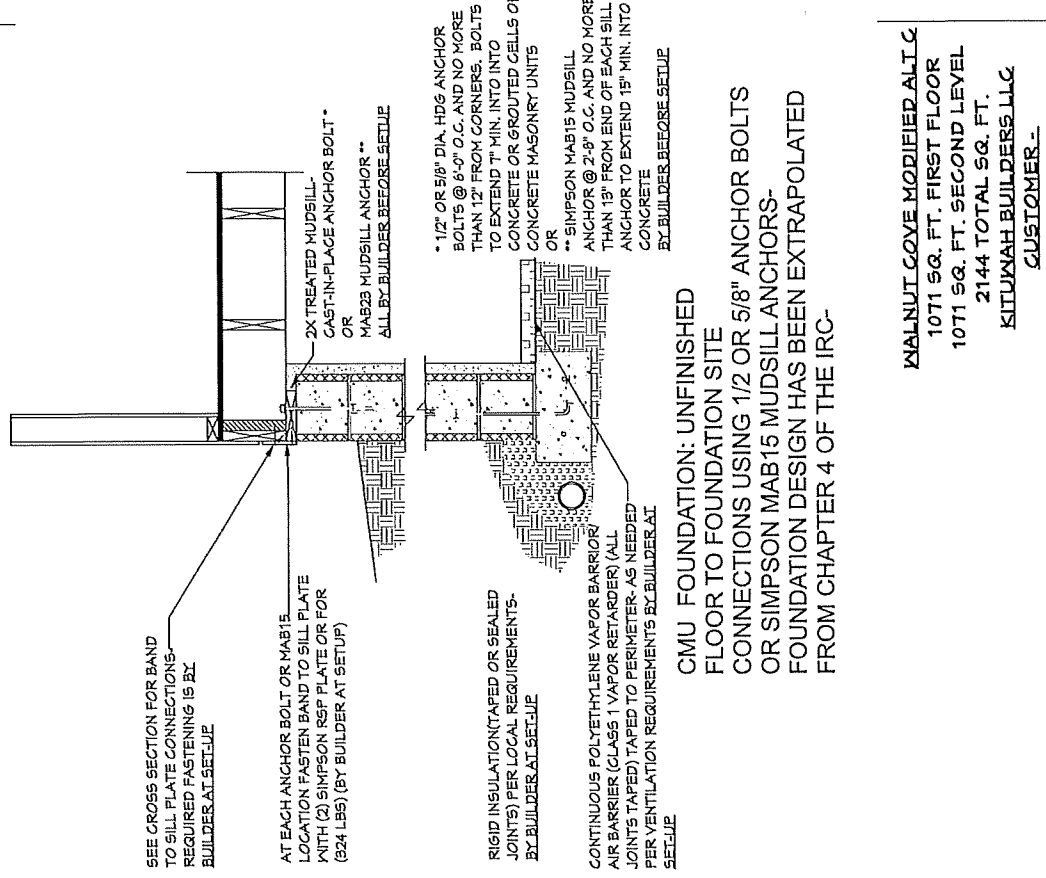
IMPORTANT:
 BUILDER SHALL THERMALLY ISOLATE THE CONDITIONED AND UNCONDITIONED SPACES- IT IS SUGGESTED AT A MINIMUM TO INSULATE THE BASEMENT STAIR WALLS, UNDER THE STAIR, AND UTILIZE AN INSULATED DOOR, NEITHER STRIPPED WITH A SPOOF- BY BUILDER ON-SITE.

IMPORTANT:
 BASEMENT ELECTRICAL REQUIREMENTS- SMOKE DETECTOR(S) SHALL TIE IN WITH THE CH SUPPLIED CIRCUIT. LIGHTING, RECEPTACLES, ETC. SHALL BE THE DECISION OF THE BUILDER OR OWNER & SUBJECT TO LOCAL INSPECTION- 100% BY BUILDER.

IMPORTANT:
 WINDOW AND EGRESS (EXIT) OPENING LOCATIONS TO BE THE DECISION OF THE BUILDER OR OWNER & SUBJECT TO LOCAL INSPECTION 100% BY BUILDER.




 CARDINAL HOMES PROJECT NO. 4860 FP. NUMBER - PRINT NO. - DATE 7/14/2023 DRAWN BY: J HUGHES SCALE: 3/16" = 1'-0" REVISIONS	FOUNDATION	SHEET: 4.1 OF 6
	© 2023 KITUAH MANUFACTURING, LLC	



FOUNDATION NOTES:
 1.) THIS FOUNDATION IS BASED UPON THE FOLLOWING LOADING CONDITIONS:
 ROOF LIVE LOAD: SEE COVERPAGE
 FLOOR LIVE LOAD: 40 P.S.F.
 WIND LOADING: SEE COVERPAGE
 MINIMUM ALLOWABLE SOIL BEARING: 2,000 P.S.F. (2,500 P.S.F. GA)
 IF THESE CONDITIONS CANNOT BE VERIFIED (FIELD), THEN THE FOUNDATION MUST BE ADJUSTED BY A REGISTERED ENGINEER OR ARCHITECT IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE.
 2.) BUILDER MUST CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
 3.) FOUNDATION PLAN IS FOR DIMENSIONS ONLY. FOUNDATION DESIGN AND COMPLETION TO BE BY BUILDER INCLUDING FOOTING DRAINS, VAPOR BARRIER, SILL PLATES, WATER-PROOFING, INSULATION, BACKFILL AND ALL FINISH WORK. ALL WORK MUST COMPLY WITH STATE AND LOCAL CODES AS WELL AS PROFESSIONAL STANDARDS.
 4.) ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH (f_c) OF 2,500 P.S.I. ALL STEEL TO BE GRADE 40 OR BETTER. STEEL MUST COMPLY WITH ASTM A615.
 5.) ALL MASONRY UNITS ARE TO BE LAID IN TYPE "M" OR "S" MORTAR. HOLLOW MASONRY PIERS TO BE CAPPED WITH 4" SOLID MASONRY FOR 1 STORY & 8" SOLID MASONRY FOR 2 & 2+ STORIES. SEE APPLICABLE CODES FOR ALTERNATE METHODS.
 6.) THE GRABSPACE MUST BE PROVIDED WITH AN ACCESS PANEL MEASURING 18" X 24". IF MECHANICAL EQUIPMENT IS LOCATED IN GRABSPACE AREA, THE ACCESS TO BE 22" WIDE X 30" HIGH MINIMUM.
 7.) GRABSPACE AREA SHALL BE PROVIDED WITH VENTILATION OPENINGS THROUGH THE FOUNDATION WALL. THE MINIMUM NET AREA OF VENTILATION SHALL BE 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR SPACE.
 THIS NUMBER MAY BE REDUCED DEPENDING ON LOCAL CODE JURISDICTIONS. THE VENTILATION OPENINGS SHALL BE PLACED WITHIN 3 FEET OF EACH CORNER OF THE BUILDING AND MAY BE CORROSION-RESISTANT WIRE MESH WITH THE LEAST DIMENSION BEING 1/8". EXCEPTIONS EXIST THAT MAY REDUCE THE NUMBER OF FOUNDATION VENTS, TYPE OF VENT OR REQUIRE AN APPROVED VAPOR BARRIER IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO COMPLY WITH LOCAL CODES & REQUIREMENTS.
 8.) ALL FOOTINGS SHALL BE SUPPORTED ON UNDISTURBED SOIL OR ENGINEERED FILL. EXTERIOR FOOTINGS SHALL EXTEND BELOW APPLICABLE FROST LINE AND AT LEAST 12" BELOW THE UNDISTURBED SOIL. SEE APPLICABLE CODE FOR EXCEPTIONS. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE FOR FOOTINGS SHALL BE 2500 PSI AFTER 28 DAYS.
 9.) FOUNDATION ANCHORAGE PER SECTION R403.1.6
 10.) FINISH GRADE SHALL FALL AWAY A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
 11.) PROVIDE TERMITTE SHIELDS AS REQUIRED BY LOCAL CODE AND SUSCEPTIBLY.
 12.) INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION.

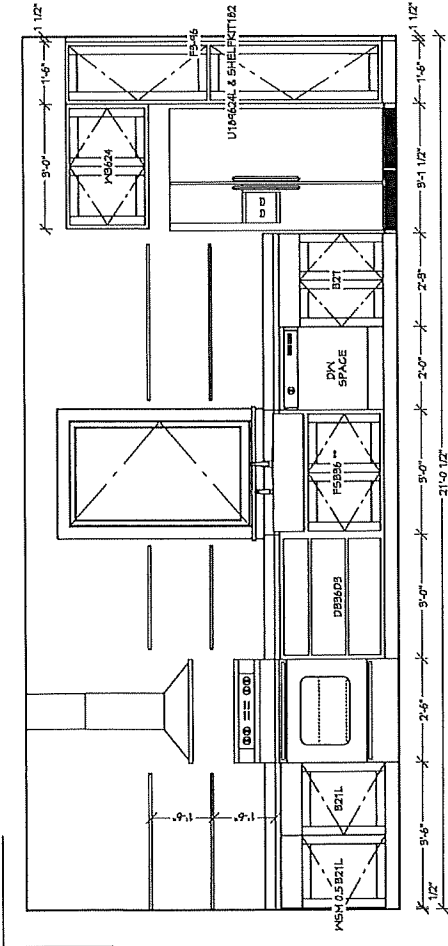
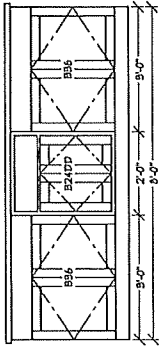
WALNUT COVE MODIFIED ALT C
 1071 SQ. FT. FIRST FLOOR
 1071 SQ. FT. SECOND LEVEL
 2144 TOTAL SQ. FT.
 KITUAH BUILDERS, LLC
 CUSTOMER

CMU FOUNDATION: UNFINISHED FLOOR TO FOUNDATION SITE CONNECTIONS USING 1/2 OR 5/8" ANCHOR BOLTS OR SIMPSON MAB15 MUDSILL ANCHORS- FOUNDATION DESIGN HAS BEEN EXTRAPOLATED FROM CHAPTER 4 OF THE IRC-

 CARDINAL HOMES PROJECT NO. 4890 FP. NUMBER - PRINT NO. - DATE 07-25-2023 DRAWN BY: T. YOUNGER SCALE: 3/8" = 1'-0"	REVISIONS 08-09-23 J.M. 08-15-23 J.M.	© 2023 KITUWAH MANUFACTURING, LLC	SHEET: CABINETS

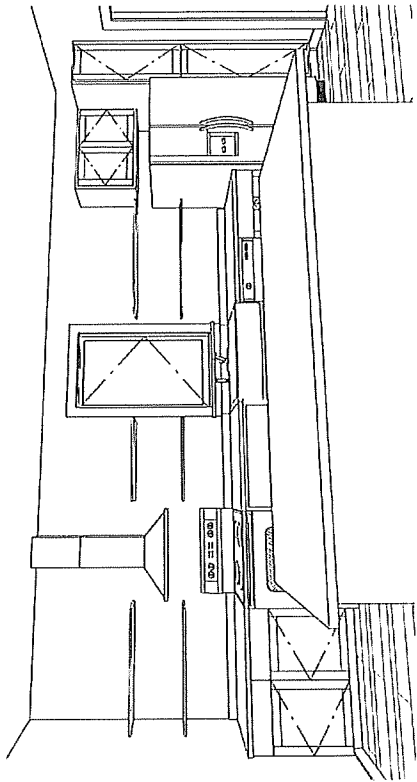
LABEL	CABINET SCHEDULE	QTY	FLOOR
B27L		2	1
B27		1	1
FSB36 **		1	1
WSM 0.5		1	1
B36		2	1
DB36D3		1	1
F3-96		1	0
F330		1	1
F330		1	1
F330		4	2
U189624L & SHELFKIT182		1	1
VSB30		1	1
VSB60DB4		1	2
VSDR36		1	2
VSD842		1	0
WS624		1	1
B24DD		1	1

CABINET BLOCKING SCHEDULE	HEIGHT
LOCATION TO TOP	34-1/2"
BASE	54"
WALL BOTTOM	84IN
WALL AT TOP	90IN
30IN WALL	96IN
42IN WALL	96IN

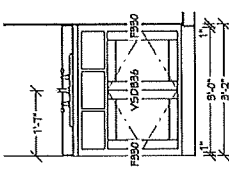


KITCHEN 2

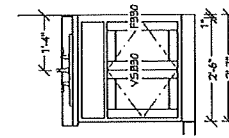
KITCHEN 1



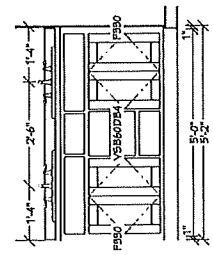
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 1071 SQ. FT. FIRST FLOOR
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 2144 TOTAL SQ. FT.
 KITUWAH BUILDERS LLC
 CUSTOMER



BATH 3




BATH 2



BATH 1

NOTE:
 THESE RENDERINGS ARE AN ARTIST'S DEPICTION ONLY. MAY NOT REFLECT THE ACTUAL FINAL PRODUCT. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. REFER TO THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

SHOP DRAWING GENERAL INFORMATION PAGE

<p>CODES & STANDARDS</p> <p>Building Code: 2012/2015/2018/2019 IRC, 2012 IBC, 2018 NRCR ESR Report number: ESR-1662 August 2018 3rd Party Inspection Agency: PFS Corporation, Madison WI Quality Assurance Manual: Superior Walls of America 2005 Edition Site Preparation Guide: Superior Walls Builder Guideline Booklet Rev. June 2022 Fire Test Standards: ASTM E119 ANSIIUL 1715</p> <p>WALL MATERIALS</p> <p>Concrete Compressive Strength: Min. 5,000 PSI water/cement Ratio: <0.40 Reinforcing Steel: No. 4 and larger - 60,000 PSI No. 3 and smaller - 40,000 PSI Secondary Reinforcement: Polypropylene Fiber Embedded Wood Blocking: Preservatively Pressure Treated EPS Foam Insulation: Flame Spread: 20 XPS Foam Insulation: Smoke Development: 240 Smoke Development: 165</p> <p>SITE/WALL CONDITIONS</p> <p>Frost Depth: assumed Bearing Capacity: assumed Seismic Category: A, B, C Basic Wind Speed: 155 maximum PSF Wall Loading: 7,500 Pounds/LF (uniform) Maximum Brickledge Loading: 2,900 Pounds/LF Maximum Crushed Stone Footing Depth: Min. 6 inches thick or more (see table in Builder Guideline Booklet Table R403.4) Crushed Stone Footing Width: See Crushed Stone Footing Chart in Builder Guideline Booklet Crushed Stone Size: 3/4 inch and smaller (cleaned) Backfill Material: 100 LB/CF Equivalent Fluid Pressure Max (see Builder Guideline booklet for more information) Beam Pocket(s) & Point Load(s): 38,000 Pound Maximum - Data supplied by Customer/Builder (see plan for location and sizes)</p> <p>GENERAL NOTES</p> <ol style="list-style-type: none"> Jobsite shall be prepared by the builder in accordance with the Superior Walls of America builder Guideline Booklet - Site Preparation and Framing Attachment Requirements (Rev. January 2016). Auxiliary drain pipe must be four (4) inch diameter perforated, covered with filter fabric and directed to a sump pit or daylight. Builder shall establish the elevation benchmark (if necessary) Builder shall insure proper site access for trucks and crane. <p>INSTALLATION NOTES</p> <ol style="list-style-type: none"> Installation shall be supervised by a Superior Walls certified installer. Certification is obtained through Superior Walls of America, Ltd. Installation shall comply with Superior Walls of America's Installation Manual (Rev. July 2011). <p>DRAWING NOTES</p> <ol style="list-style-type: none"> All measurements for brick, stone, or support ledges are from Top Of Wall (TOW). Drawings are not to scale. 	<p>DAMP PROOFING</p> <p>Superior Walls are recognized by the ICC-ES as an alternative method of providing foundation wall damp proofing. No additional damp proofing is required. (See ESR-1662 & ICC-ES Legacy Report 21-72)</p> <p>PLEASE NOTE</p> <p>To comply with building code requirements, the framing/decking connections at the top of the Superior Walls and floor slab at the bottom of the Superior Wall MUST be completed PRIOR to backfilling.</p> <p>CUSTOMER RELEASE</p> <p>The attached drawing was created from information and dimensions provided by the customer/builder. Superior Walls of North Carolina, Inc. is not responsible for deviations from the Blue Print or information provided by the customer/builder.</p> <p>I have reviewed the attached drawing & all of the dimensions and objects therein; I understand the Superior Walls will be custom manufactured per this drawing specifically for my project. By signing below I am certifying that I have reviewed the attached drawing and all of its listed dimensions and I accept FULL RESPONSIBILITY of any and all measurements and information provided by me/my associates/my company.</p> <p style="text-align: center;">CUSTOMER MUST SIGN & DATE BELOW</p> <hr/> <p style="text-align: right;">Customer/Builder Signature & Date</p>	<p>PROJECT:</p> <p>Job Number: - Job Name: Kituwah_Kreener Ave Job Address: Kreener Ave Lot #: -</p> <p>BUILDER:</p> <p>Company: Kituwah Contact: - Phone/Email: -</p> <p>MUNICIPALITY:</p> <p>Jackson County SYLVA, NC</p> <div style="text-align: center;">  <p>3570 S. Main Street Salisbury, NC 28147 Phone: 704-636-6200 Toll-Free: 877-896-9255 www.superiorwallsnc.com</p> </div> <p>DRAWING DATA:</p> <p>Job Number: - Sales Rep: B.BAUER</p> <p>Drawn By: JG Date Created: Jul. 21, 2023 Date Modified: Jul. 27, 2023 Revision: 2</p> <p>Pages: 5</p>
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Superior Walls® FOUNDATION DRAWING

10' WALLS - TOTAL LENGTH: 135'
 1/2" DIA. x 6" BOLTS FOR SILL PLATE
 2 1/2" INSULATION

#	DESCRIPTION	WIDTH	HEIGHT	FROM TOP OF WALL	FROM BOT OF WALL	MAX HDR CAPACITY
32	SLAB CONNECTOR					
ID #	OBJECT					
A 2	DOOR	72"	80"	36"	4"	3400 PLF
B 4	WINDOW	36"	60"	36"	24"	5500 PLF

PLEASE NOTE:
 Adjustments made after sign-offs may incur an additional \$200 service charge

- BUILDER CHECK LIST:**
- RO'S/DIMS/WALL HEIGHT CORRECT?
 - OBJECT OPENINGS CORRECT?
 - WOOD BUTTS IND./RECID?
 - SUPPORT/BRICK LEDGES CORRECT?
 - EXTRA SUPPORT IND. FOR PT. LOAD?

SIGNATURE: _____
 DATE: _____

OWNER/BUILDER NOTIFICATION:
 BY SIGNING THESE DRAWINGS YOU ARE ACKNOWLEDGING THAT THE WALLS WILL BE BUILT TO THE DIMENSIONS INDICATED ON THESE PLANS, AND THAT YOU ARE ASSUMING ANY AND ALL LIABILITY THAT MAY RESULT FROM THE WALLS BEING MANUFACTURED AS SHOWN

THESE DRAWINGS ARE APPROVED FOR FINAL PRODUCTION AS ILLUSTRATED AND NOT SUBJECT TO CHANGE.
 CUSTOMER SIGNATURE: _____ DATE: _____

Superior Walls®
 North Carolina
 3570 S. Main Street
 Salisbury, NC 28147
 Phone: 704-636-6200
 Toll-Free: 877-898-9255

REV.	DATE	BY
1	07-21-23	JG
2	07-27-23	JG

PROJECT: _____
 BUILDER: _____

STATUS: ISSUED FOR APPROVAL


SALESMAN: B. EBLIET

FILE NAME: Plans_Superior Walls

SHEET TITLE: SUMMARY

SHEET NO. 2 of 5

Kreener Ave
 Kituwah

 3570 S. Main Street Salisbury, NC 28147 Phone: 704-636-6200 Toll-Free: 877-896-9255	<table border="1" style="width: 100%; border-collapse: collapse;"><thead><tr><th>REV.</th><th>DATE</th><th>BY</th></tr></thead><tbody><tr><td>1</td><td>07-21-23</td><td>JG</td></tr><tr><td>2</td><td>07-27-23</td><td>JG</td></tr></tbody></table>	REV.	DATE	BY	1	07-21-23	JG	2	07-27-23	JG	<h2 style="margin: 0;">Kreener Ave Kituwah</h2>
REV.	DATE	BY									
1	07-21-23	JG									
2	07-27-23	JG									
PROJECT: _____											
BUILDER: _____											
STATUS: ISSUED FOR APPROVAL											
SALESMAN: B. BAUER											
RELEASE: _____											
SHEET TITLE: PLAN W/O DIMS											
SHEET NO. 3 of 5											

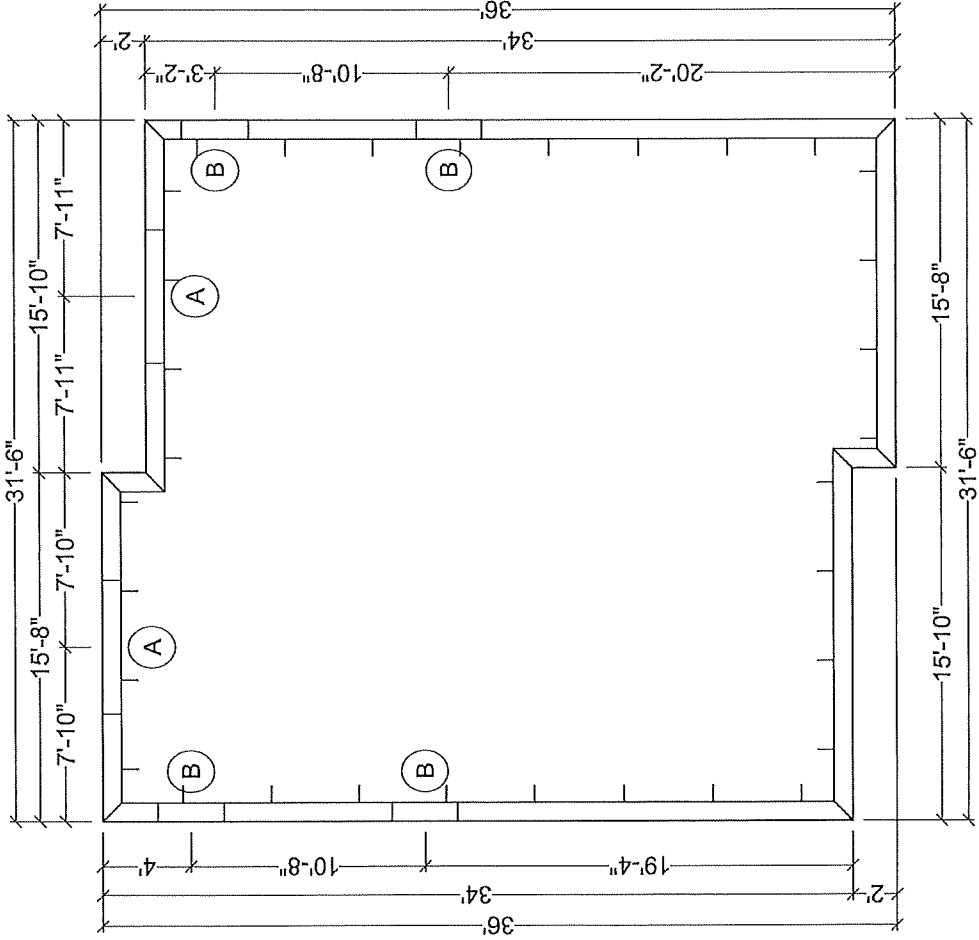
B. BAUER
KITUWAH
KREENER AVE

10' Walls

MIN STONE DEPTH
FOR 2,000 PSF SOIL BEARING
1-STORY - 6"
2-STORY - 8"
3-STORY - 14"
MIN STONE WIDTH:
SEE BUILDER GUIDELINE BOOK


Shear walls may be required,
refer to builder guideline
booklet for more information

Top of wall slab detail
per builder guideline
book must be adhered to



The drawing shows a rectangular foundation plan with overall dimensions of 36'-0" by 36'-0". The perimeter walls are 10 feet high. Callouts 'A' and 'B' indicate specific wall sections. Dimensions for wall segments are provided: top wall (15'-10", 7'-11", 7'-11", 2'-0"), right wall (15'-8", 31'-6", 15'-10", 2'-0"), bottom wall (19'-4", 10'-8", 34'-0", 2'-0"), and left wall (7'-10", 7'-10", 15'-8", 31'-6", 7'-10", 15'-10", 7'-11", 7'-11", 2'-0").

CUSTOMER SIGNATURE: _____ DATE: _____

 3570 S. Main Street Salisbury, NC 28147 Phone: 704-636-6200 Toll-Free: 877-896-9255										
	REV.	DATE	BY							
1	07-21-23	JG								
2	07-27-23	JG								

Kreener Ave
Kituwah

PROJECT: _____
DRAWN: _____

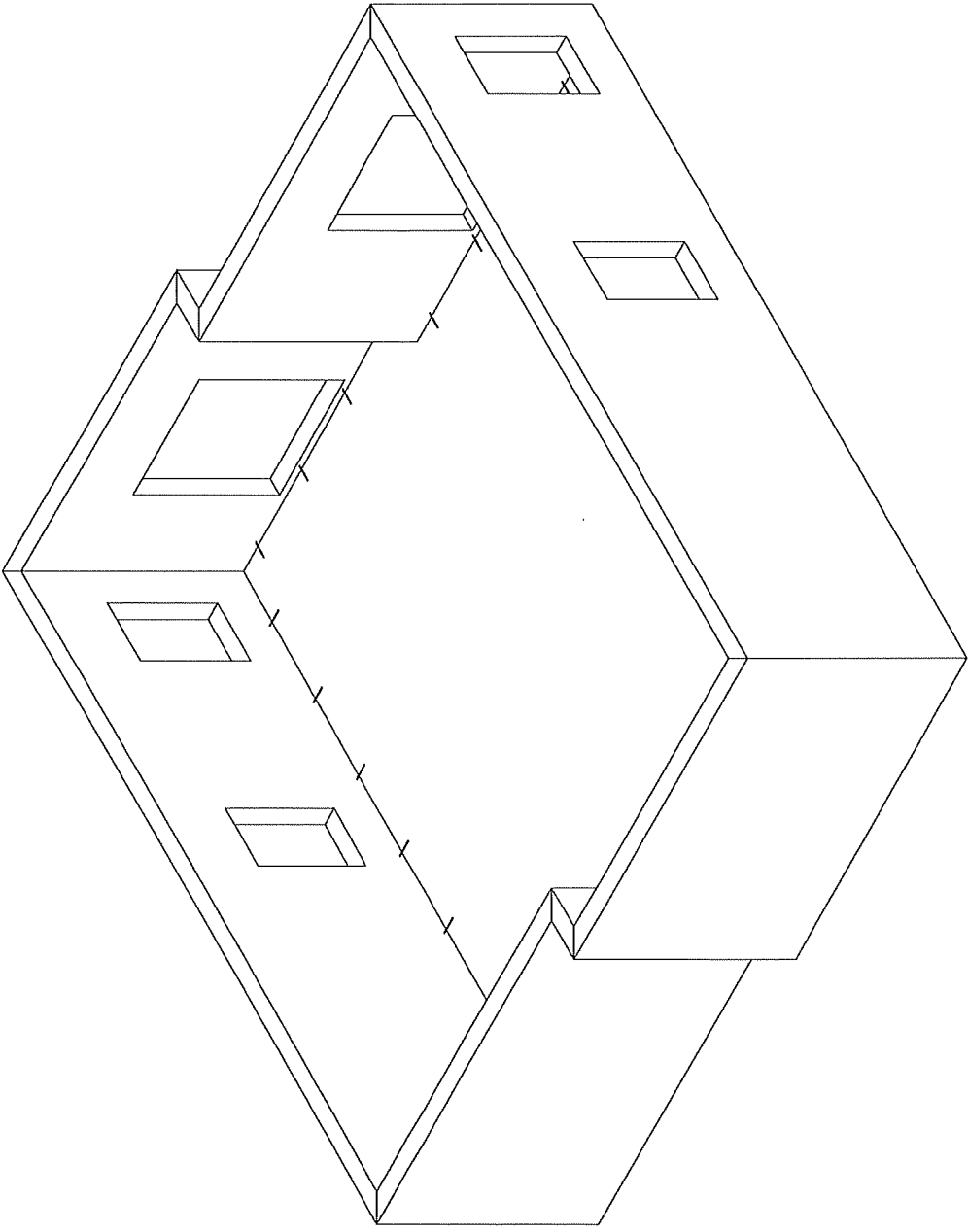
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SALESMAN: B. BAUER


FILENAME: *Kreener Ave*

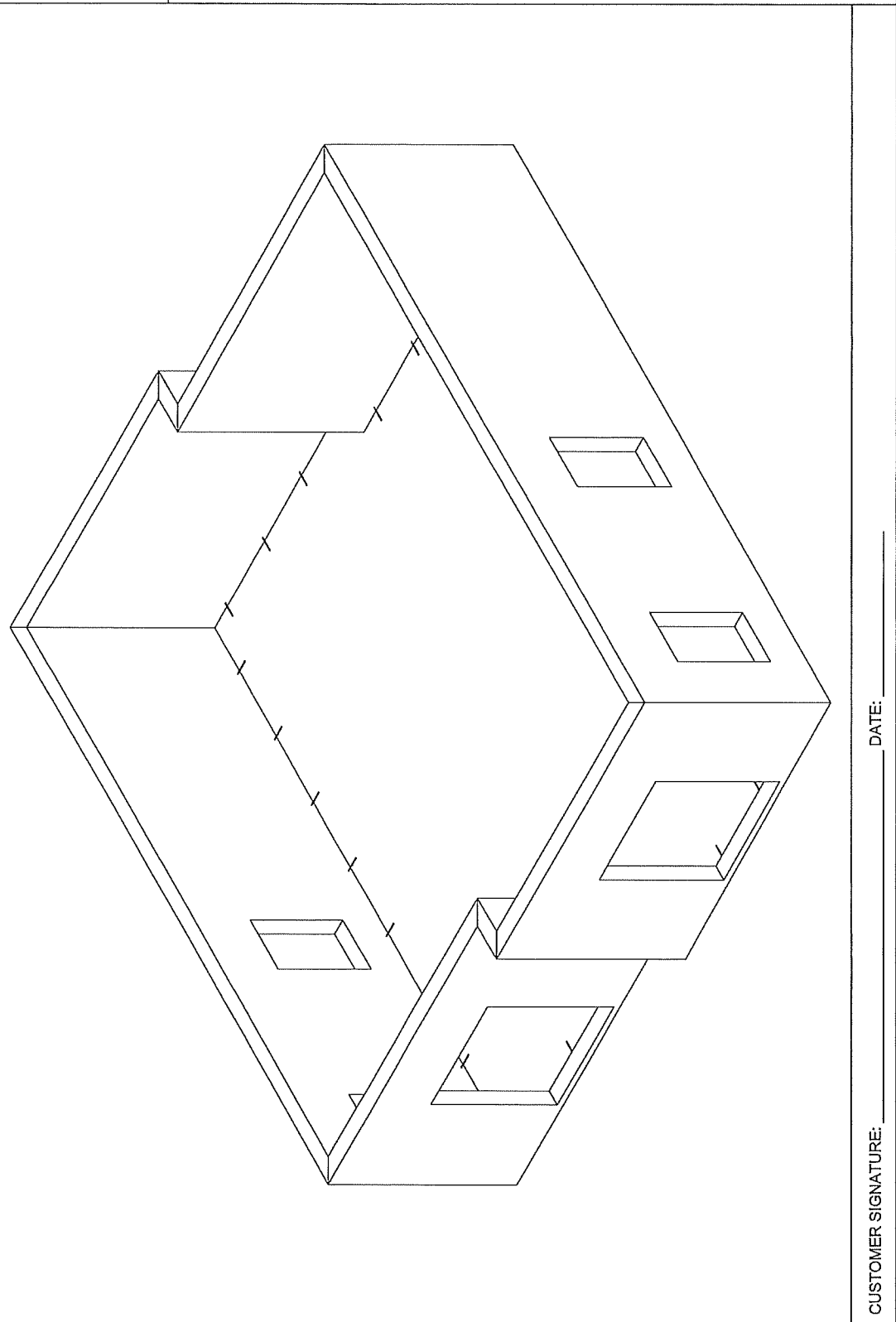
SHEET TITLE: ISOMETRIC 1

SHEET NO. 4 of 5



CUSTOMER SIGNATURE: _____ DATE: _____

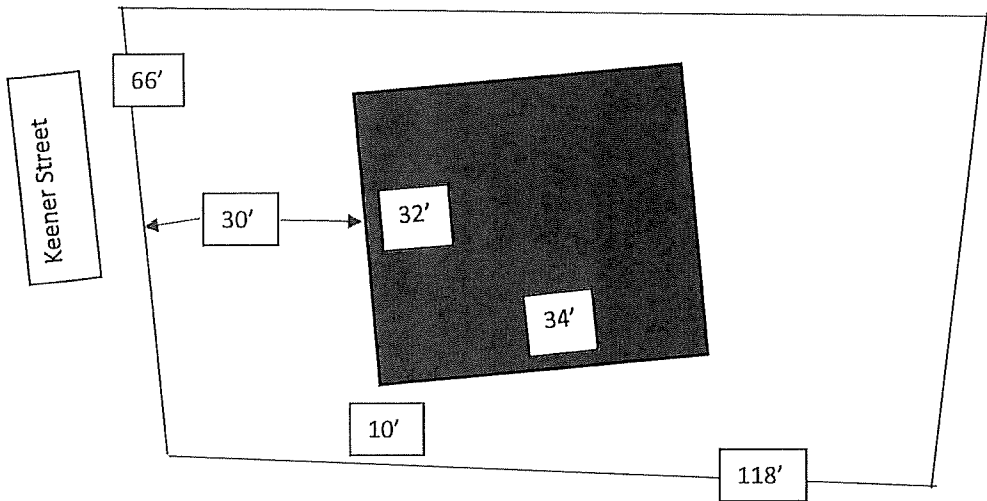
 <p>3570 S. Main Street Salisbury, NC 28147 Phone: 704-636-6200 Toll-Free: 877-896-9255</p>	<table border="1"> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>																									<table border="1"> <tr><th>REV.</th><th>DATE</th><th>BY</th></tr> <tr><td>1</td><td>07-21-23</td><td>JG</td></tr> <tr><td>2</td><td>07-27-23</td><td>JG</td></tr> </table>	REV.	DATE	BY	1	07-21-23	JG	2	07-27-23	JG	<p>Kreener Ave Kituwah</p>	<p>PROJECT: _____ BUILDER: _____</p>	<p>STATUS: ISSUED FOR APPROVAL</p>	<p>SALESMAN: B. BAUER</p>	<p>FILE NAME: <small>Sheet_01.dwg</small></p>	<p>SHEET TITLE: ISOMETRIC 2</p>	<p>SHEET NO. 5 of 5</p>
REV.	DATE	BY																																								
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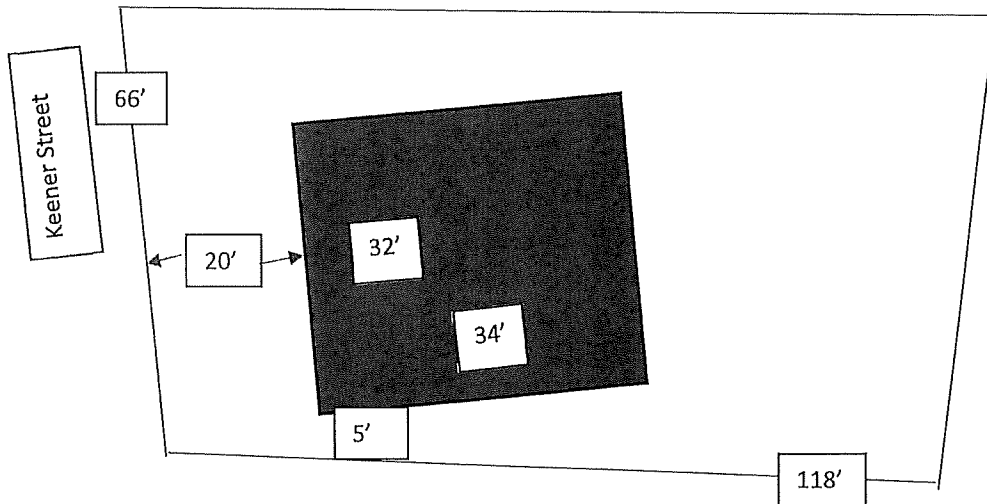
CUSTOMER SIGNATURE: _____ DATE: _____



Mountain Modern Construction LLC


7641-07-0338



Site Alternative 20' Front, Side 5' – Pending October Planning Board



	PROJECT NUMBER 4580	PRINT NO. 06/22/2018	SCALE: N.T.S.	CARDINAL HOMES 525 BARNESVILLE HIGHWAY WYLLIEBURG, VA, 23976 © 2023 KITUWAH MANUFACTURING, LLC Email: cardinal@cardinalhomes.com Fax: 1-434-735-8111 Pht: 1-434-735-8111		COVER PAGE A																																															
<p>GENERAL NOTES</p> <p>1) THE ENCLOSED PLANS (SPECIFICATIONS ARE THE SOLE PROPERTY OF KITUWAH MANUFACTURING, LLC DBA CARDINAL HOMES) (CH, CHL & CARDINAL) ANY UNAUTHORIZED USE OF THESE DRAWINGS WITHOUT THE SOLE WRITTEN CONSENT FROM CARDINAL IS PROHIBITED.</p> <p>2) CARDINAL WILL BE CONSIDERED AS A MATERIAL PROVIDER IN ALL BUILDING PROJECTS. CARDINAL IS SUPPLYING BUILDING COMPONENTS TO A LICENSED GENERAL CONTRACTOR.</p> <p>3) DETAILS ON THE ATTACHED PLANS DRAWN OR OUTLINED BY THE FOLLOWING LINE TYPE: _____ OR NOTED BY BUILDER OR AS NOTED BY BUILDER AT SETUP. HELP DEPICT THE BUILDING IN A MORE COMPLETED STATE. CARDINAL'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND FABRICATION OF MODULES IN ITS PRODUCTION FACILITY. ALL SITE CONSTRUCTION IS PERFORMED UNDER THE DIRECTION OF THE BUILDER. THE BUILDER MUST MAKE SURE THAT ALL ACCESSORY STRUCTURES, INCLUDING BUT NOT LIMITED TO: PORCH ROOFS, DECKS, GARAGES, OVER-FRAMING, AND BUMP-OUT DORMERS, COMPLY WITH ALL APPLICABLE BUILDING CODES. THESE SITE-BUILT ACCESSORY STRUCTURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE AUTHORITY HAVING JURISDICTION.</p> <p>4) NOTES ON THE PLANS MARKED WITH A BR OR B.R. MEANS BUILDER REQUEST</p> <p>5) IT IS THE RESPONSIBILITY OF THE PURCHASER TO INSURE THESE PLANS CONFORM TO LOCAL ORDINANCES IN RESPECT TO BUILDING SIZE, HEIGHT, SETBACK, OR AESTHETICS WHICH IS ENFORCED BY THE AUTHORITY HAVING JURISDICTION.</p> <p>6) IT SHALL BE THE PURCHASER'S RESPONSIBILITY TO JUSTIFY ANY MODIFICATIONS, ADDITIONS, SITE COMPLETION OF UNFINISHED ATTIC/SBONUS AREAS AND ARE SUBJECT TO INSPECTION BY THE AUTHORITY HAVING JURISDICTION.</p> <p>7) PLANS MAY BE REVERSED. PLANS MAY BE MASTERED.</p> <p>ATTENTION LOCAL INSPECTION DEPARTMENT</p> <ul style="list-style-type: none"> THE FOLLOWING ITEMS HAVE NOT BEEN COMPLETED BY CARDINAL, HAVE NOT BEEN INSPECTED BY THE THIRD PARTY RADC0, AND ARE NOT CERTIFIED BY THE RADC0 FOR THESE ITEMS. THE RADC0 IS RESPONSIBLE FOR THESE ITEMS TO BE DETERMINED AT THE LOCAL LEVEL. ANY STRUCTURE OR ITEMS NOTED AS NOT INCLUDED IN THESE PLANS, ANY PLAN SET WHICH DOES NOT INCLUDE AN ATTACHED ENTITLED "FIELD INSTALLATION" ARE INCOMPLETE. IF THIS STRUCTURE IS IN A THERMAL ZONE MORE STRINGENT THAN THAT LISTED ON THESE PLANS, IS SET ON PILINGS, OR IS INSTALLED AT A MOUNTAIN REGION OR COASTAL HIGH HAZARD OR OCEAN HAZARD SITE SUCH THAT WIND OR OTHER DESIGN PARAMETERS ARE INCREASED, THE DESIGN MUST BE DETERMINED TO BE ADEQUATE FOR ACTUAL SITE CONDITIONS. ALTERATIONS MAY BE REQUIRED TO BRING THE HOME INTO COMPLIANCE WITH THE MORE STRINGENT CONDITIONS. <p>BUILDING SITE INSTALLATION REQUIREMENTS</p> <ul style="list-style-type: none"> FOUNDATION, INCLUDES THE ATTACHMENT OF CARDINAL'S MODULES TO THE FOUNDATION MODULAR INTER-CONNECTIONS, ADJUSTMENTS, AND FINISHING, AND ATTACHING BAY WINDOWS AND SIMILAR ASSEMBLIES WHERE FACTORY INSTALLATION WOULD COMPLICATE THE DELIVERY OF THE MODULES. SIDING (IE END WALLS, 2ND STORY), ROOF CRICKETS, & ROOFING (IE PORCH AREAS, VALLEYS) NOT INSTALLED BY CARDINAL. BUILDERS MAY REQUEST THAT SOME AREAS BE LEFT UNFINISHED, OR CARDINAL MAY DETERMINE THAT SOME SIDING OR ROOFING SHOULD BE LEFT-OFF TO GAIN EFFICIENCY OVERALL IN THE BUILDING PROCESS. ELECTRICAL INTER-CONNECTIONS (E.G. CONNECTION TO PUBLIC UTILITIES, TERMINATING WIRES LEFT UNCONNECTED TO ACCOMMODATE SITE INSTALLED FIXTURES, CONNECTIONS BETWEEN MODULES, UNCOMPLETED HOME RUNS AND SUB-FEEDS TO MAIN PANEL, PANELS SHIPPED LOOSE FOR INSTALLATION IN BASEMENT OR GARAGE, MAIN DISCONNECT IF REQUIRED, CRAWLSPACE LIGHTS AND RECEPTACLES, SMOKE DETECTORS ABOVE OR BELOW THE MAIN LEVELS) <p style="text-align: right;">CONTINUE ON NEXT PAGE</p>																																																					
<p>BUILDING CODES</p> <p style="text-align: center;">NORTH CAROLINA</p> <p>CITY OR COUNTY: SWAIN COUNTY</p> <p>(* - Indicates Jurisdiction has Approved Amendments)</p> <p>BUILDING- NC RESIDENTIAL CODE, 2018 EDITION</p> <p>PLUMBING- NC RESIDENTIAL CODE, 2018 EDITION</p> <p>MECHANICAL- NC RESIDENTIAL CODE, 2018 EDITION</p> <p>ENERGY- CH, 11 NC RESIDENTIAL CODE, 2018 EDITION (RESCHECK PER 2018 IECC)</p> <p>ELECTRICAL- NC ELECTRICAL CODE, 2017 ED.</p> <p>ACCESSIBILITY- NA</p>																																																					
<p>CONSTRUCTION</p> <p>FRAMING: 2X10 SPP#2 AT 16" O.C. 9 1/4" I-JOIST MAY BE USED AS AN ALTERNATE OPEN WEB JOISTS MAY BE USED AS AN ALTERNATE</p> <p>RAILS: 2X10 OUTER RAIL & 9/4" LVL INNER RAIL AT MARRIAGE WALL & 2X10 OUTER AND INNER RAIL AT SIDEWALL</p> <p>DECKING: 3/4" TAG DECKING GULDED W/ CONSTRUCTION ADHESIVE AND FASTENED WITH : 113 X 2" NAILS AT 6" O.C. EDGE & 12" O.C. FIELD</p> <p>WALLS: 2x6 SPP#2, SP#2, OR BETTER AT 16" OC</p> <p>SHEATHING: WALL SHEATHING EXTERIOR SIDE - 7/16" SHEATHING GULDED WITH CONSTRUCTION ADHESIVE AND FASTENED WITH 7/16" CROWN X 1 1/2" LEG STAPLES - 3" O.C. EDGES & 6" O.C. FIELD.</p> <p>WALL FINISH: 1/2" GYPSUM, PRIMED</p> <p>CEILING (LOWER FLOOR OF STACKED MODULES) IF APPLICABLE 2X6 #2 SPP OR BETTER = 24" O.C. ≤141', >141' = 16" O.C. CEILING FINISH: 1/2" GYPSUM, PRIMED</p> <p>FRAMING: SEE PROFILE OF TRUSS OR RAFTER FOR MATERIALS SPACING AND CONNECTIONS</p> <p>ROOF SHEATHING: 7/16 OSB SHEATHING FASTENED WITH .089 X 2 1/4" NAILS AT 5" O.C. AT EDGE AND 6" O.C. FIELD</p> <p>LVL LVL WILL HAVE A MINIMUM VALUE OF 20E, 3100 P#1, 750 Fsp UNLESS OTHERWISE NOTED ON PLANS</p>																																																					
<p>DESIGN CRITERIA</p> <table border="0"> <tr> <td>CONSTRUCTION TYPE:</td> <td>V-8</td> </tr> <tr> <td>DURABILITY:</td> <td>R-3</td> </tr> <tr> <td>NUMBER OF STORIES:</td> <td>2</td> </tr> <tr> <td>FIRE RATING ON EXT. WALLS:</td> <td>NA</td> </tr> <tr> <td>FIRE PROTECTION PROVISIONS:</td> <td>NO</td> </tr> <tr> <td>FLOOD HAZARD ZONE:</td> <td>NO</td> </tr> <tr> <td>SPRINKLER SYSTEM:</td> <td>NO</td> </tr> <tr> <td>COASTAL CONSTRUCTION:</td> <td>NO</td> </tr> </table> <p>WIND: 120 MPH (3 SEC GUST) Vult. EXP. - B</p> <table border="0"> <tr> <td>BUILDING CATEGORY</td> <td>II</td> </tr> <tr> <td>IMPORTANCE FACTOR</td> <td>1.00</td> </tr> <tr> <td>Gpp-</td> <td>.18 / -.18</td> </tr> </table> <p>SEISMIC DESIGN CATEGORY: ZONE C</p> <table border="0"> <tr> <td>ROOF:</td> <td>30 PSF</td> </tr> <tr> <td>GROUND SNOW LOAD</td> <td>10 PSF</td> </tr> <tr> <td>DEAD LOAD</td> <td>23 PSF</td> </tr> <tr> <td>LIVE LOAD</td> <td>23 PSF</td> </tr> <tr> <td>MAXIMUM DESIGN MEAN ROOF HEIGHT</td> <td>23 FT</td> </tr> </table> <p>FLOOR: DEAD LOAD 10 PSF LIVE LOAD 40 PSF 2ND FLOOR LIVE LOAD 30 PSF (SLEEPING AREAS)</p> <p>INSULATION SCHEDULE (UNFACED INSULATION IS PERMITTED)</p> <table border="0"> <tr> <td>CEILING: R-</td> <td>38</td> <td>FIBERGLASS</td> </tr> <tr> <td>SLOPED: R-</td> <td>NA</td> <td>FIBERGLASS (IF APPLICABLE)</td> </tr> <tr> <td>WALL: R-</td> <td>18</td> <td>FIBERGLASS</td> </tr> <tr> <td>KNEEWALL: R-</td> <td>NA</td> <td>FIBERGLASS (IF APPLICABLE)</td> </tr> <tr> <td>FLOOR: R-</td> <td>30</td> <td>FIBERGLASS</td> </tr> </table> <p>THERMAL REQUIREMENTS ZONE 4 HEAT DEGREE DAYS SEE RESCHECK</p> <p>LABELS RADC0 STATE LABELS LOCATED ON THE INSIDE OF THE ELECTRICAL PANEL COVER (1) STATE VALIDATION STAMP (LABEL) PER DETAILING UNIT (1) STATE VALIDATION STAMP (LABEL) ATTACHED TO EACH PANELIZED MODULE COMPONENT (1) THE RADC0 LABEL PER MODULE AND EACH MODULAR COMPONENT IF SEPARATE</p> <p>1 STATE VALIDATION STAMP AND 4 RADC0 LABELS DATA PLATE LOCATED IN THE INSIDE OF THE ELECTRICAL PANEL COVER</p>							CONSTRUCTION TYPE:	V-8	DURABILITY:	R-3	NUMBER OF STORIES:	2	FIRE RATING ON EXT. WALLS:	NA	FIRE PROTECTION PROVISIONS:	NO	FLOOD HAZARD ZONE:	NO	SPRINKLER SYSTEM:	NO	COASTAL CONSTRUCTION:	NO	BUILDING CATEGORY	II	IMPORTANCE FACTOR	1.00	Gpp-	.18 / -.18	ROOF:	30 PSF	GROUND SNOW LOAD	10 PSF	DEAD LOAD	23 PSF	LIVE LOAD	23 PSF	MAXIMUM DESIGN MEAN ROOF HEIGHT	23 FT	CEILING: R-	38	FIBERGLASS	SLOPED: R-	NA	FIBERGLASS (IF APPLICABLE)	WALL: R-	18	FIBERGLASS	KNEEWALL: R-	NA	FIBERGLASS (IF APPLICABLE)	FLOOR: R-	30	FIBERGLASS
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PROJECT NUMBER
4580

PRINT NO.
06/2023 LC08

SCALE:
NTS

525 BARNESVILLE HIGHWAY WYLLIESBURG VA, 23076
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CARDINAL HOMES®



COVER PAGE B

BUILDING SITE INSTALLATION REQUIREMENTS (CONTINUED)

- PLUMBING INTER-CONNECTIONS (E.G. SITE INSTALLED FIXTURES (PLUMB ONLY), CONNECTION TO PUBLIC SEWER OR PRIVATE SEPTIC SYSTEMS, CONNECTIONS LISTED AS "SITE INSTALLED" CONNECTIONS SUCH AS HORIZONTAL DRAIN LINES)
- THIS STRUCTURE MUST BE CONNECTED TO A PUBLIC WATER SUPPLY AND SEWER SYSTEM IF THESE SYSTEMS ARE AVAILABLE
- ALL ASPECTS OF HEATING & COOLING SYSTEM, AIR RETURN BOX OUT IS SUPPLIED, BUT IS NOT DESIGNED AS AN AIR RETURN-METAL DUCT TO BE SUPPLIED AND INSTALLED BY BUILDER ON-SITE-10KVA ASSUMED FOR HVAC SYSTEMS AND THE MINIMUM GUARDRAIL HEIGHT ABOVE THE FLOOR OR ABOVE GRADE LEVEL, SUPPLIED AND INSTALLED BY BUILDER ON-SITE- THE MINIMUM GUARDRAIL HEIGHT IS 36 INCHES-
- GARAGE FIRE SEPARATION WALLS OR ATTICS AS WELL AS BASEMENT STAIRS AND WALLS, INCLUDING ALL REQUIRED INSULATION.
- IMPROVED DRAINAGE SYSTEM - 1/4" GA. SLOPE, EDGE - 1/8" SLOPE, CORNER - 1/8" SLOPE
- WILL BE THE RESPONSIBILITY OF THE BUILDER TO PROVIDE AN ENERGY COMPLIANCE CERTIFICATE AS REQUIRED PER THE ENERGY CODE (LOCATE IN THE ELEC. PANEL COVER).
- ALL TRUSS LISTED BY BUILDER ON-SITE OR BY BUILDER AT SETUP IN PLAN SETS
- SEE TRUSS SECTION(S) FOR SITE INSTALLATION REQUIREMENTS FOR THE ROOF SYSTEM
- ALL PREVISIONS REGARDING RADON CONTROL METHODS
- FIRE SEPARATION SHALL BE EQUAL TO OR GREATER THAN 10FT
- BLOWER DOOR TEST AS REQUIRED BY THE ENERGY CODE WILL BE PERFORMED BY THE BUILDER ON-SITE
- DRYER EXHAUST DISCHARGED TO OUTSIDE OR THROUGH ROOF VENT (A LINT TRAP IS REQUIRED IF THE VENT IS DUCTED VERTICALLY)
- RADCO STATE LABELS LOCATED ON THE INSIDE OF THE ELECTRICAL PANEL COVER (1) STATE VALIDATION STAMP (LABEL) PER DWELLING UNIT; (1) STATE VALIDATING STAMP (LABEL) ATTACHED TO EACH PANELIZED MODULAR COMPONENT; (1) THIRD PARTY LABEL PER MODULE
- WINDOW FALL PROTECTION: ALL OPERABLE PORTION OF WINDOWS ARE 24" OR GREATER ABOVE FINISHED FLOOR AND 8FT OR MORE ABOVE FINISHED GRADE OR WILL BE SUPPLIED WITH AN OPENING LIMITING DEVICE
- CAPE / UNFINISHED ATTIC AREAS, IT WILL BE THE RESPONSIBILITY OF THE BUILDER TO BE IN COMPLIANCE WITH LOCAL BUILDING CODE AND REQUIREMENTS FOR LIGHT AND VENT
- DRIP EDGE IS PARTIALLY INSTALLED BY CARDINAL - BUILDER TO INSTALL REMAINDER AT SET-UP.
- THIS STRUCTURE HAS BEEN DESIGNED FOR ERECTION OR INSTALLATION ON A SITE BUILT PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED.

WINDOW SCHEDULE

VIEW	TYPE	DESCRIPTION	SIZE	R.O.	U-VAL	SHGC	MINIMUM PR.PRF	LIGHT.SFR.	VENT.SFR.	EGRS.SFR.
GS	West	3062 Cabinet	2'-9 1/2" X 5'-9 1/2"	2'-9 1/2" X 5'-9 1/2"	0.35	0.29	29	10.5	16.5	9.25
R	West	244 Cabinet	2'-9 1/2" X 4'-9 1/2"	2'-9 1/2" X 4'-9 1/2"	0.35	0.29	29	21	16.5	9.25
S	West	407FX	3'-1 1/2" X 1'-9"	4'-0 1/2" X 1'-2 1/2"	0.35	0.29	29	21.8	19.7	9.85
ZU	West	3062 Cabinet	0'-2 1/2" X 4'-9"	6'-0 1/2" X 4'-9"	0.35	0.29	29			

EXT. DOOR SCHEDULE

DOOR	TYPE	DESCRIPTION	SIZE	R.O.	U-VAL	SHGC	MINIMUM PR.PRF	LIGHT.SFR.	VENT.SFR.
30	1/2" Solid Core	Finish door	6'-0" X 8'-0"	6'-3" X 8'-2 1/2"	0.43	0.45	33	16.5	39.2
31	1/2" Solid Core	Finish door	3'-0" X 8'-0"	3'-2 1/2" X 8'-2 1/2"	0.3	0.24			19.5

SEALS/STAMPS

STATE SPECIFIC NOTES / REQUIREMENTS

SOFFIT MATERIALS FOR THIS UNIT ASSUME THAT THE BUILDING FACE WILL BE 10FT OR GREATER FROM THE PROPERTY LINE. UNDERLAYMENT AND VENTILATION IN ACCORDANCE WITH SECTION R703.11.3, NC RESIDENTIAL CODE, MUST BE PROVIDED AND INSTALLED AT THE SIDE AND INSPECTED BY THE LOCAL JURISDICTION.

SPECIAL MOUNTAIN REGION. ELEVATION PER WIND SPEED DESIGN MAXIMUM OF 3,000 FEET FOR 120 MPH WIND

IF THIS STRUCTURE IS IN A THERMAL ZONE MORE STRINGENT THAN THAT LISTED ON THESE PLANS, IS SET ON PILINGS, OR IS INSTALLED AT A MOUNTAIN REGION OR COASTAL HIGH HAZARD SITE SUCH THAT WIND OR OTHER DESIGN PARAMETERS ARE INCREASED, THE DESIGN MUST BE DETERMINED TO BE ADEQUATE FOR ACTUAL SITE CONDITIONS. ALTERATIONS MAY BE REQUIRED TO BRING THE HOME INTO COMPLIANCE WITH THE MORE STRINGENT

THIS MODEL NOT TO BE LOCATED IN A COASTAL HIGH HAZARD OR OCEAN HAZARD AREA.

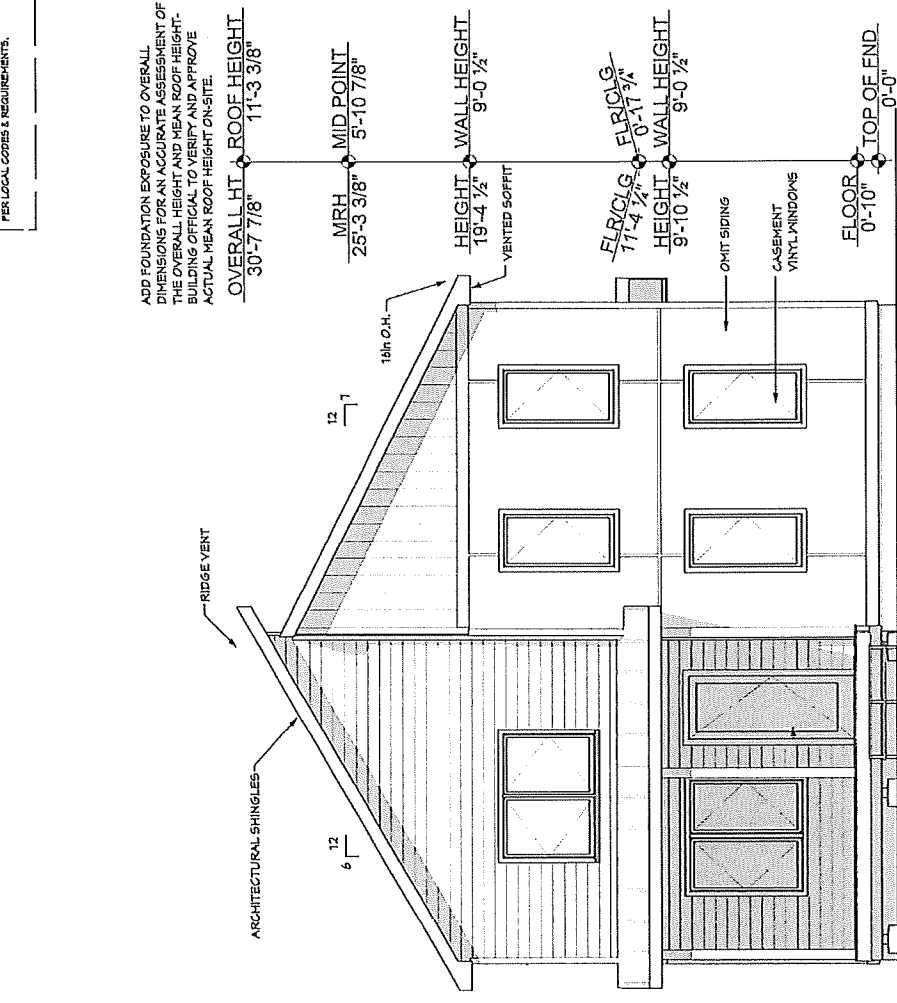
CARDINAL HOMES
 PROJECT NO. 4580
 FR. NUMBER -
 PRINT NO. -
 DATE 7/14/2023
 DRAWN BY: J HUGHES
 SCALE: 3/16" = 1'-0"
 REVISIONS:
 7-17-23 JH
 08-08-23 JM
 08-15-23 JM

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ELEVATION

SHEET:
1.0 OF 6


NOTE:
 PORCHES, DECKS AND/OR GARAGES TO BE THE DECISION OF THE BUILDER OR OWNER PER LOCAL CODES & REQUIREMENTS.

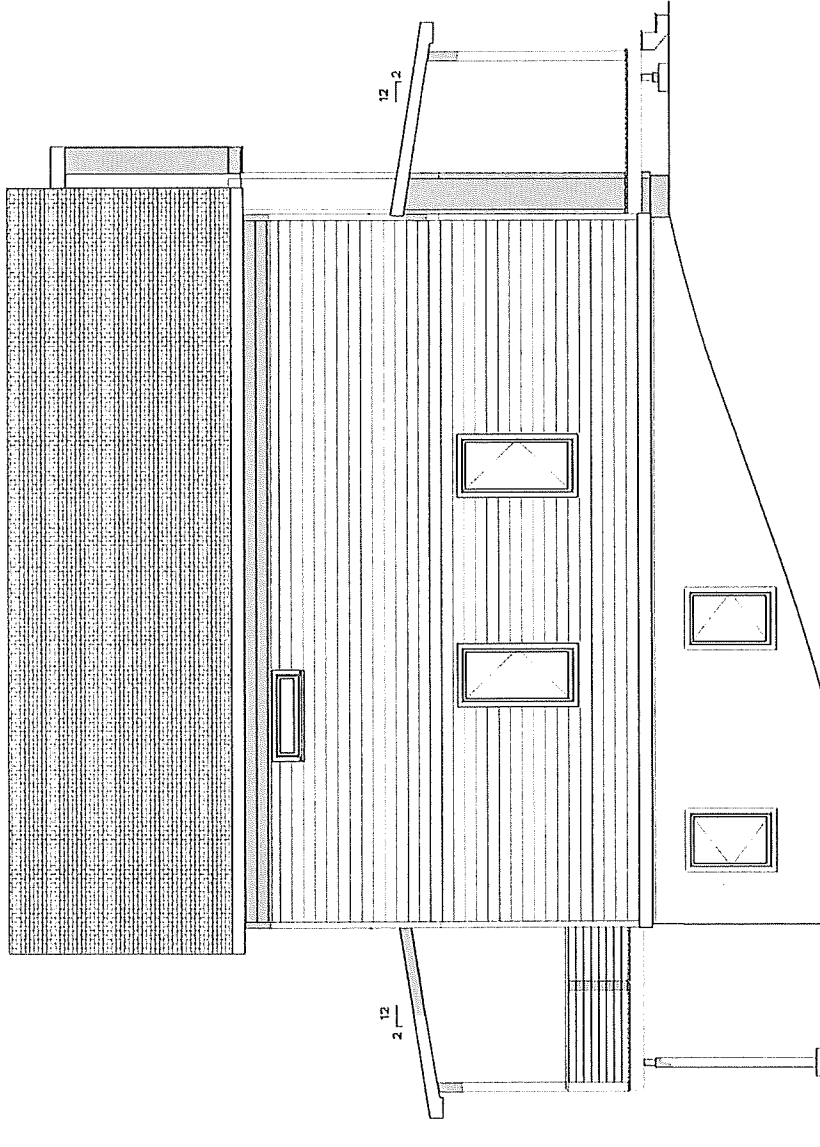


WALNUT COVE MODIFIED ALT C
 1071 SQ. FT. FIRST FLOOR
 1071 SQ. FT. SECOND LEVEL
 2144 TOTAL SQ. FT.
 KITUAH BUILDERS, LLC
 CUSTOMER -

Exterior Elevation Front

NOTE:
 THESE RENDERINGS ARE AN ARTIST'S DEPICTION ONLY. MAY NOT REFLECT THE ACTUAL FINAL PRODUCT. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. REFER TO THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.


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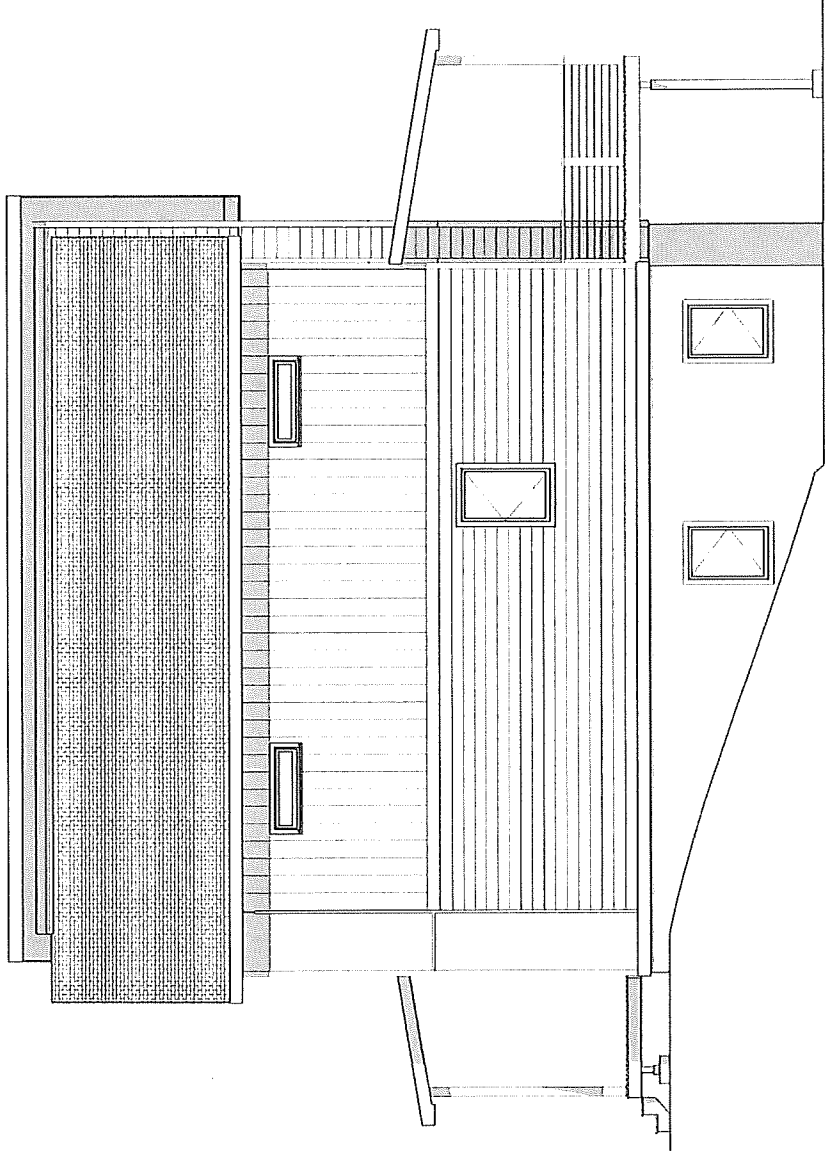
Exterior Elevation Left

WALNUT COVE MODIFIED ALG
 1071 SQ. FT. FIRST FLOOR
 1071 SQ. FT. SECOND LEVEL
 2144 TOTAL SQ. FT.
KITUWAH BUILDERS, LLC
 CUSTOMER -

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WALNUT COVE MODIFIED ALT. C
 1071 SQ. FT. FIRST FLOOR
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 2144 TOTAL SQ. FT.
 KITUWAH BUILDERS, LLC
 CUSTOMER-

Exterior Elevation Right

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