



CITY COUNCIL MEETING REGULAR SESSION

Tuesday, December 17, 2024 at 6:00 PM

City Hall, 102 W. Ashley Wilson Rd, Sweeny, Texas

AGENDA

BE IT KNOWN that the City Council of the City of Sweeny will meet in **Regular Session** on **Tuesday, December 17, 2024 at 6:00 PM**, at City Hall, 102 W. Ashley Wilson Rd, Sweeny, Texas with the following agenda. Council is conducted under modified Roberts Rules of Order as approved by Resolution 102-16; July 19, 2016. In accordance with Chapter §551 of the Texas Government Code, if required, the Council may conduct an executive session on any of the agenda items provided the City Attorney is present.

CALL TO ORDER/ROLL CALL

PLEDGES & INVOCATION

CEREMONIAL PRESENTATIONS

1. Sweeny Beautification Committee's Yard of the Month
2. Proclamation(s): Stewart's Grocery; Dwain & Tina Stewart

Sweeny Fire Chief; Roger Barton

CITIZENS WISHING TO ADDRESS CITY COUNCIL

This item is available for those citizens wishing to address City Council on an issue not on the agenda. Any item discussed cannot be voted on but could be considered for placement on the agenda of the next regularly scheduled meeting. Limited to three (3) minutes.

CONSENT AGENDA

All of the following items on the Consent Agenda are considered to be self-explanatory by the Council and will be enacted with one motion. There will be no separate discussion of these items unless requested by the Mayor or a Council Member; in which event, the items will be removed from the consent agenda and considered separately.

- [3.](#) Minutes: Regular Session, November 19, 2024
4. Financial Statements
5. Personnel Status/Vacancies
6. Project Status Report
- [7.](#) Critical Equipment Report; Generator Hourly Activated Self Test Report

8. Gas Compliance Update

REGULAR AGENDA

9. Discussion and possible action to allow an Eagle Project to be constructed at Backyard Park and MLK Park; Parks & Recreation Board & Thomas Paniagua
10. Discussion and possible action to allow P66 to hold event within the Backyard Park on April 26, 2025; Russell Thompson
11. Discussion and possible action to agenda request received for allowance of Project Graduation's Annual Senior Bonfire, granting a variance to Ordinance §92.01 of the City's Code of Ordinances; Woodrow Tolley
12. Discussion and possible action to agenda request for variances to the Zoning Ordinance, Exhibit A, Section 110-69 and Chapter 150 of the City's Code of Ordinances, Building Regulations; Construction; Jennifer Johnson
13. Discussion and possible action to Waste Connections annual contractual CPI and fuel increase.
14. Discussion and possible action to requested variance to Ordinance §156.018 A(4)(d) for Illuminated Signage at 305 N McKinney; Sweeny Community Hospital
15. Discussion and possible action for needs of completion of project at 605 N Main.
16. Discussion and possible action on re-plat of 2.2974 acres within the Extra Territorial Jurisdiction (ETJ).
17. Discussion and possible action to approve Resolution 24-118 designating official bank signatories of the Sweeny Beautification Committee.
18. Discussion and possible action to agenda request regarding 1007 Mac Drive; proposed demolition of home and entering into a contract with the property owner for reimbursement of services; Councilman John Rambo
19. Discussion and possible action to resubmittal of application for TxDOT Transportation Alternatives 2025 Call for Projects Update.
20. Discussion and possible action on update to the Texas Water Development Board (TWDB) State Fiscal Year 2025 Drinking Water State Revolving Fund (DWSRF) application invitation for intent to apply.
21. Discussion and possible action to the Brazoria County Cities Association (BCCA) membership, participation, and hosting duties.
22. Discussion and possible action to proposed utility billing policy.

EXECUTIVE SESSION IN ACCORDANCE WITH THE TEXAS GOVERNMENT CODE SECTION 551.071, 551.072 AND 551.074

The City Council will now convene into executive session pursuant to the provision of Chapter 551 Texas Government Code, in accordance with the authority contained therein:

23. Deliberation of Personnel Matters regarding the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee, pursuant to Section 551.074 of the Texas Government Code; City Manager.

OPEN SESSION

The City Council will now adjourn Executive Session, reconvene into Open Session pursuant to the Provisions of Chapter 551 Texas Government Code and take action, if any, on item(s) discussed during Closed Executive Session.

24. Discussion and possible action, if any, on item discussed during Closed Executive Session pursuant to Section 551.074 of the Texas Government Code, to appoint City Manager and action related thereto.

ITEMS OF COMMUNITY INTEREST

ADJOURN REGULAR SESSION

I certify that the notice and agenda of items to be considered by the Sweeny City Council on **December 17, 2024** was posted on the City Hall bulletin board on the _____ day of _____, 2024, at approximately _____AM / PM.

Kaydi Smith, City Secretary

I hereby certify that this Public Notice was removed from the City Hall bulletin board on the _____ day of _____, 2024 at approximately _____AM / PM.

Kaydi Smith, City Secretary

CITY COUNCIL MEETING REGULAR SESSION

Item 3.

Tuesday, November 19, 2024 at 6:00 PM

City Hall, 102 W. Ashley Wilson Rd, Sweeny, Texas

MINUTES

BE IT KNOWN that the City Council of the City of Sween met in **Regular Session** on **Tuesday, November 19, 2024 at 6:00 PM.** at City Hall, 102 W. Ashley Wilson Rd, Sweeny, Texas with the following agenda.

CALL TO ORDER/ROLL CALL

Neal Bess Jr., Reese Cook, Brian Brooks, John Rambo, and Caniel “Shaun” Massey were in attendance.

PLEDGES & INVOCATION

Pledges were led by Shaun Massey.
Invocation was given by Attorney Stevenson.

CEREMONIAL PRESENTATIONS

1. Sweeny Beautification Committee's Yard of the Month
Mayor Hopkins recognized Mr. Dobson at 908 Brockman Street.

CITIZENS WISHING TO ADDRESS CITY COUNCIL

Mark Morgan Jr. approached Council stating that at the April 23rd meeting it was discussed to change the Main Street traffic light. He was asking if there was any headway with TxDot or changing.

Wayman Hutchings presented Chief Caudle a donation check for the Sweeny Police Departments Blue Santa program.

CONSENT AGENDA

2. Minutes: Regular Session, October 15, 2024
Mayor Hopkins asked for a motion to approve the minutes. Reese Cook stated so moved. John Rambo seconded. All in favor. Motion carried.

3. Financial Statements
Karla Wilson, Finance Director, gave the financial statements for the General and Enterprise funds ending October 31, 2024.

4. FY 2023/2024 Investment Report; 4th Quarter (July-September 30, 2024)
Karla Wilson, Finance Director, gave the 4th Quarter FY23/24 Investment Report
Mayor Hopkins asked for a motion to approve the 4th Quarter FY 23/24 Investment Report. Neal Bess Jr. stated so moved. Reese Cook seconded. All in favor. Motion carried.

5. Personnel Status Update
Interim City Manager, David Jordan, gave the personnel status report.

6. Project Status Update & Gas Compliance Update
Interim City Manager, David Jordan, gave the project status update and gas compliance update.

7. Critical Equipment Update
Interim City Manager, David Jordan, gave the critical equipment update.

REGULAR AGENDA

8. Discussion and possible action to agenda request received on utility dispute at 1111 Avenue B; Delores McCreary

Ms. McCreary was in attendance to dispute a large utility bill. She is the only occupant within the home and doesn't feel she used the amount of usage showing incurred. All City efforts indicate a leak on the customers side. She currently has a bad leak now that just happened recently, after the large bills were generated. A pipe running across the ceiling broke loose. Wayman Hutchings offered his services to help Ms. McCreary.

John Rambo moved for Ms. McCreary, at the address of 111 Avenue B, to inspect for any water leaks and repairs with cooperation of Wayman Hutchings and grandson, and to try and get those repaired, and then re-evaluate the billing to try to correct any overbilling, and try to correct with an average three (3) months of billing. Shaun Massey seconded. Neal Bess Jr., Brian Brooks, John Rambo, and Shaun Massey approved. Reese Cook opposed. Motion Carried.

9. Discussion and possible action to allow an Eagle Project to be constructed at Backyard Park; Thomas Paniagua

Thomas Paniagua approached Council seeking approval for an Eagle Project to be constructed at the Backyard Park. He is proposing a 12 x 12 sandbox, that are 12" high along with a pair of benches. Councilman Bess suggested that this project go before the Parks and Recreation Board foremost and be brought back to Council afterward. Paniagua would like to complete the project by the end of January. Discussion only; no action.

10. Discussion and possible action to agenda request regarding 1007 Mac Drive; proposed demolition of home and entering into a contract with the property owner for reimbursement of services; Councilman John Rambo.

Councilman Rambo stated that the resident at 1007 Mac Drive was affected by Hurricane Beryl and the home is inhabitable. Request would be for the City to demo the home at the City's expense and have the owner reimburse the City in installments. Attorney Stevenson stated the City has an ordinance for demolitions and an established procedure for completing. After following the procedures, if the City demolishes, the City may place a lien on the property. Those types of liens are inferior to tax and mortgage liens and the City may never recoup the funds. Discussion only; no action.

11. Discussion and possible action to variance requests to Zoning Ordinance Section 110, Exhibit A, Multi-Residential R4; 402 & 404 Pecan Street.

Wayman Hutchings approached Council on behalf of Bill Worrell, owner of the property. This property was previously discussed by Council. The zone change was approved contingent on the variances. The variances still require approval to proceed. The City has received letters of no objections from adjacent property owners.

Mayor asked for a motion to approve the variances requested to the Zoning Ordinance, Exhibit A, Section 110-71, R4 multifamily residence, at the addresses of 402 & 404 Pecan Street, consisting the minimum living area, depth of lot, minimum site area, and minimum yard setbacks with the exception of an approved replat to combine properties and adherence to the required plan review and permitting as established. Neal Bess Jr. stated so moved. Brian Brooks seconded. Neal Bess Jr., Brian Brooks, John Rambo, and Shaun Massey approved. Reese Cook opposed. Motion carried.

12. Discussion and possible action to proposed replat combining 402 and 404 Pecan.

Reese Cook moved to approve replat to combine 402 and 404 Pecan Street. John Rambo seconded. (Mayor stated seconded by Massey; however, Rambo in meeting and recording states second). All in favor. Motion carried.

13. Discussion and possible action to proposed blanket policy allowing for Sweeny Beautification to submit requests of usage of city owned property to City Administrator for future Farmers Markets.

Reese Cook moved to approve proposed policy allowing for Sweeny Beautification to submit requests for usage of city owned property to the City Administrator for future Farmers Markets. John Rambo seconded.

Discussion: Neal Bess Jr. stated the property was given to the City by the EDC. He feels most farmers markets are held on roadways, a square, or parks.

Reese Cook, Brian Brooks, and John Rambo seconded. Shuan Massey and Neal Bess Jr. opposed. Motion carried.

14. Discussion and possible action to Waste Connections annual CPI increase.

This is within the current contract that Waste Connections adjust annually for fuel and CPI. Council discussed the contract dates, possible future request for proposals, and accountability of services. Reese Cook moved to reject the rate adjustment presented by Waste Connections. Neal Bess Jr. seconded. All in favor. Motion carried.

15. Discussion and possible action on the drive thru drawer located at City Hall.

The utility drive thru drawer is not repairable as the parts are no longer manufactured. To replace the drawer would be approximately \$8,000.00, not including building remodeling adjustments needed. The City does not have the amount budgeted.

Reese Cook moved to do away with the drive thru window and not repair the drive thru drawer. Neal Bess Jr. seconded.

Discussion: Rambo notated that the drawer was built for a bank. Jordan stated we will still maintain the night depository. All in favor. Motion carried.

16. Discussion and possible action to adopt the proposed Prohibited Technologies Security Policy for the City of Sweeny, pursuant to the Governor's directive and SB 1893.

Reese Cook moved to approve the policy as presented. Shaun Massey seconded. All in favor. Motion carried.

17. Discussion and possible action to Resolution 24-117; nominating candidates for the Board of Directors of the Brazoria County Appraisal District.

Brian Brooks made the motion apply all eight (8) votes to Wayman Hutchings. Shaun Massey seconded. All in favor. Motion carried.

18. Discussion and possible action on the Texas Water Development Board (TWDB) State Fiscal Year 2025 Drinking Water State Revolving Fund (DWSRF) application invitation for intent to apply.

This is a continuation of the previously submitted application to the TWDB in the amount of \$39,268,000.00. The City has qualified to move to the next step. If the City wishes to continue, we must submit an intent to apply by December 6, 2024. The full application is due January 10, 2024.

Reese Cook moved to file a letter of intent as presented. Shaun Massey seconded.

Discussion: More definite figures to be added to the December agenda. Neal Bess Jr. stated he doesn't feel we have the money for this. Reese Cook mentioned loan forgiveness. Mr. Bess stated we need to utilize the interlocal agreements for the infrastructure, roads, and ditches. Mr. Jordan believes we need to fix underneath (utilities) before replacing the roads.

Reese Cook, Brian Brooks, John Rambo, and Shaun Massey approved. Neal Bess Jr. opposed. Motion carried.

19. Discussion and possible action to resubmittal of application for TxDOT Transportation Alternatives 2025 Call for Projects.

The City has received an invitation to re-apply for the 2025 Call for projects sidewalk grant. The City applied for this last year and was not awarded. Council discussed diminishing the scope of the original project in order to reduce the City's match amount.

Discussion only; no action.

20. Discussion and possible action on proposed amendments to the adopted fee schedule and correlating procedural changes pursuant to proposed amendments.

Council discussed the proposed fee schedule and would like to look at it more in depth, possibly at a special workshop.

Reese Cook moved to approve all fees that have been presented as follows: zoning, replats, variance request fees, animal control fees, permits, trade permits, culvert installations, and utilities, as presented in the updated comprehensive fee schedule. Seconded by Neal Bess Jr.

Approved by Reese Cook and Neal Bess Jr. John Rambo, Shaun Massey, and Brian Brooks opposed. Motion failed.

21. Discussion and possible action to establishing a Charter Review Committee.

Reese Cook moved that the City Council independently review the charter and have markups and a meeting to discuss those markups and changes by March 2025, and also establish a charter review committee in that meeting, in March 2025. Shaun Massey seconded the motion. Reese Cook, Brian Brooks, and Shaun Massey approved. Neal Bess Jr. and John Rambo opposed.

Motion carried.

22. Discussion and possible action on adopting the proposed 2025 City of Sweeny Holiday Schedule.

Shaun Massey moved to approve. Reese Cook seconded. All in favor. Motion carried.

ITEMS OF COMMUNITY INTEREST

Neal Bess Jr. addressed the streetlights that are out within town. Police Department is working to compile a list during the night shift. Mr. Bess Jr. stated he is a member of the Gulf Coast Transit Board and would like to see the transport system in the City.

Brian Brooks stated that Stewarts closing down will be a big hit to the City. He moved here in 3rd grade and worked there in 11th grade. Wants to thank him for all he's done for our community and the schools.

John Rambo stated Beautification is hosting Christmas in Park, coming up December 7th.

Shuan Massey stated the Community Thanksgiving Feast went good. Thanked Wayman Hutchings, Neal Bess Jr., and Brian Brooks and stated it was a long weekend.

David Jordan stated its been a busy week. You will notice finance changes taking place, this will include weekly updates coming to council on expenditures. Appreciates Council's confidence in him. Staff is doing more now than previously, learning more, and attitudes have changed. You should be seeing a lot of differences coming up. The Mayor no longer has an office in City Hall; he (Jordan) has moved into the Mayor's office to be more accessible to the community. Finance has moved into the prior City Manager's Office to allow more privacy. The City Secretary will be moving back towards the drive thru area. Job duty redistributions are being made to allow for a more efficient workflow and are more community oriented.

Mayor Hopkins stated Mr. Jodan made himself available during the water tower leak. He probably worked more than 32 hours and it shows.

ADJOURN REGULAR SESSION

Mayor adjourned the meeting at 8:25 P.M.

Financial reports are on file with the City Secretary's Office.

Staff and Affiliates Present:
David Jordan, Interim City Manager
Brad Caudle, Police Chief
Karla Wilson, Finance and Personnel Director
Terrence Bell, Director of Public Works
RC Stevenson, City Attorney
Kaydi Smith, City Secretary

Passed and approved this _____ day of _____, 2024.

Kaydi Smith, City Secretary

December 12, 2024

Critical Infrastructure Updates

Generators: We are still working on getting all the offsite Generators worked on and completely functional. We are down to a couple waiting for replacement parts. In the budget next year I will be requesting a new line item for a maintenance agreement to have them tested annually and properly serviced by qualified personnel.

Sewer Lift Stations: We are still working on lift stations one at a time to get them fully functional with 2 pumps and alternating on their own. This has been a slow process due to our cash flow issue right now. We have had an issue with a grinder station on Shari Lane. Upon investigating the issue we have relocated the sewer tap for one house and it appears that unit can be abandoned as it will no longer be needed. We are still doing follow up investigation before we abandon it totally.

Sewer Plant: We continue to work on the sewer plant adding back critical pumps and motors that were taken out of service. This too has been a slow process due to the cash flow of the City. The plant is operating and in compliance with regulations right now except for repairs required.

Water System: We have seen an increase in water leaks within our system. Our staff has been addressing them as quickly as possible. A couple have required an outside contractor to assist. With a little more time training staff, we will be performing almost all leak repairs in house.

Public Works Vehicles: We have had 2 trucks repaired and placed back in service. This along with an SUV and Tex's truck is still leaving them a little short handed. I have spoken with the Fire Marshal and we will be

transferring his vehicle to the Public Works Department to assist in filling the needs there.

December Update

Natural Gas Compliance.

We are still moving forward with gas line replacements. As I stated earlier, December will be a little difficult to see progress due to 2 weeks of Railroad Commission audits. Last week we were audited on the contents of our Operations, Maintenance, and Emergency manual. Sometime back the City of Sweeny hired a retired Commission auditor to rewrite the manual and update it. It is very obvious he used a cookie cutter format. The manual should only contain items that truly pertain to our system, unfortunately, there is a lot of items in the manual that does not pertain to or operations. We will have to completely review the document and remove what is not needed and add some things that have changed recently. I was able to offset some issues using a manual that I wrote for Brazoria several years ago but it is not up to date with current rules since my retirement.

Non of the alleged violations are finable offenses at this time as long as we follow the administrative corrective action. This is the procedure I followed in in the spring to correct those issues.

We will be participating in an operational audit with Railroad Commission the remainder of this week.



AGENDA MEMO

Business of the City Council City of Sweeny, Texas

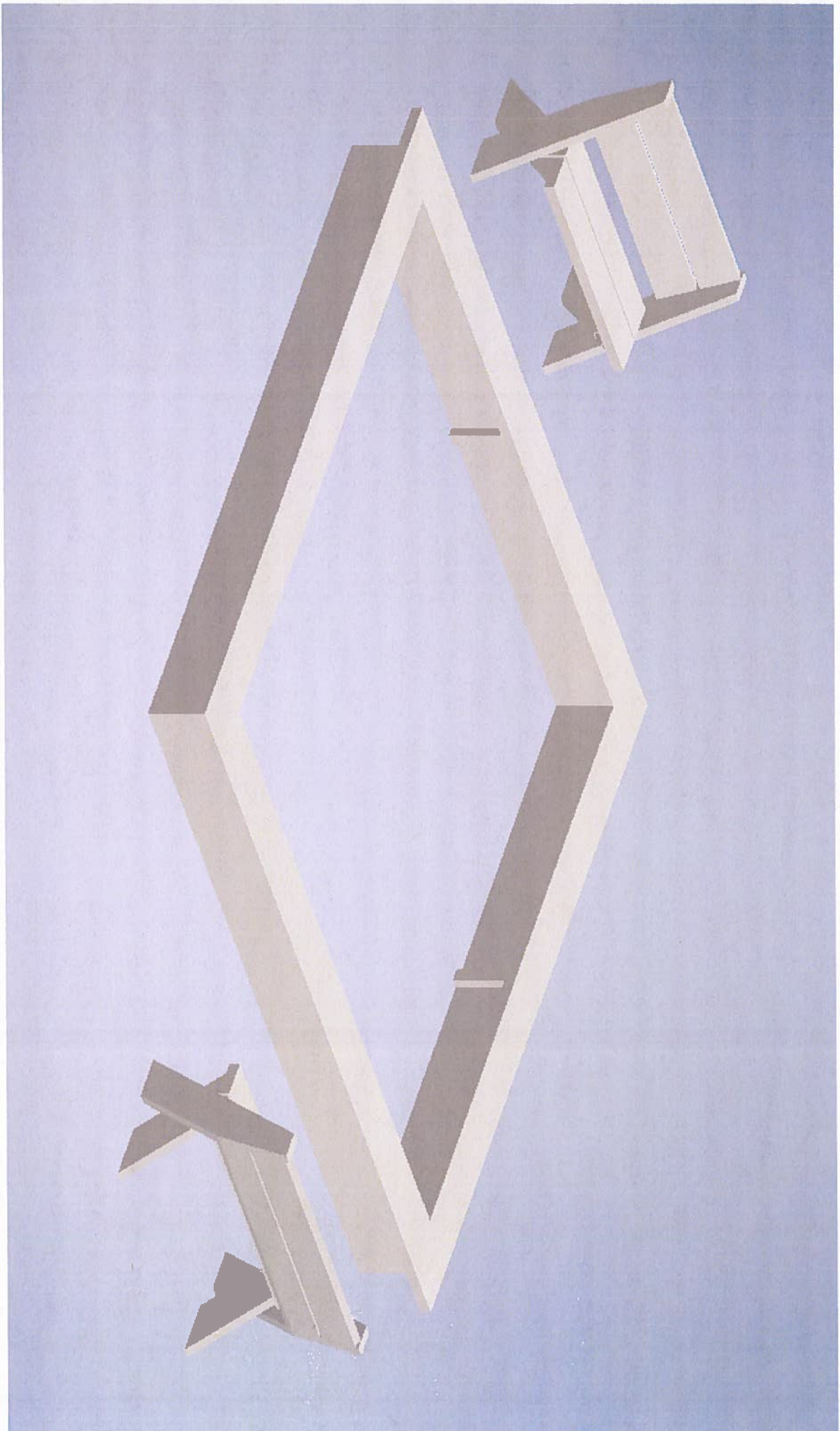
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|---|--|---------------------|--------------------------|
| Meeting Date | 12/17/2024 | Agenda Items | |
| Approved by City Manager | | Presenter(s) | Parks & Recreation Board |
| Reviewed by City Attorney | | Department | Parks |
| Subject | Discussion and possible action to allow an Eagle Project to be constructed at Backyard Park and MLK Park; Parks & Recreation Board | | |
| Council Strategic Goals | Sense of Community, Safe and Beautiful City | | |
| Attachments / Supporting documents | Pictorial of Proposed | | |
| Financial Information | Expenditure Required: | N/A | |
| | Amount Budgeted: | N/A | |
| | Account Number: | | |
| | Additional Appropriation Required: | | |
| | Additional Account Number: | | |

Executive Summary

The Parks and Recreation Board met with Mr. Thomas Paniagua about completing an Eagle Project at the Backyard Park and MLK Park consisting of benches and a sandbox.

Recommended Action

To approve the Eagle Project at Backyard Park and MLK Park consisting of a sandbox and benches to be constructed.





AGENDA MEMO

Business of the City Council City of Sweeny, Texas

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|----------------------------------|--|---------------------|---------------------------|
| Meeting Date | 12/17/2024 | Agenda Items | |
| Approved by City Manager | | Presenter(s) | Administration/ Requestor |
| Reviewed by City Attorney | | Department | Administration |
| Subject | Discussion and possible action to allow P66 to hold event within the Backyard Park on April 26, 2025; Russell Thompson | | |
| Financial Information | Expenditure Required: | N/A | |
| | Amount Budgeted: | N/A | |
| | Account Number: | | |
| | Additional Appropriation Required: | | |
| | Additional Account Number: | | |

Executive Summary

Requestor, Russell Thompson, of P66 is requesting to hold a car show at Backyard Park on April 26, 2024 for BACA (Bikers Against Child Abuse). His requested is pasted below. This is the weekend prior to Sweeny Pride Day, in which preparations would be in progress. Does the City want to allow for P66 to sell within the park?

From: Thompson, Russell J
Sent: Monday, December 2, 2024 11:12:52 AM
To: jnmiller@sweenytx.gov <jnmiller@sweenytx.gov>
Subject: Car show in April 26 2025

Car show at backyard park for BACA (bikers against child abuse) we be raising money to support there cause. we were hoping to do it April 26 because it's child abuse awareness month. we will be selling food and hoping people will donate. The idea is to have 20.00 and stuff animal to register your car, truck or bike to be in show. Also would like to have local vendors set up and be able to sale there goods. We would like to start at 7am and end around 4pm but have enough time after for clean up.

7:00am - 10:00am register

11:00am - 1:00 voting

1:30 - 2:30 presentation

3:00 hand out trophy 🏆

Normal after trophy's at car everyone is ready to go. So hopefully we will start clean up around 3:30 4:00 and be out no later then 4:30-5:00

Sent via the Samsung Galaxy

Recommended Action

Council Discretion



AGENDA MEMO

Business of the City Council

City of Sweeny, Texas

| | | | |
|----------------------------------|---|---------------------|--------------------------------|
| Meeting Date | 12/17/2024 | Agenda Item | |
| Approved by City Manager | | Presenter(s) | Agenda Request; Woodrow Tolley |
| Reviewed by City Attorney | | Department | |
| Subject | Discussion and possible action to agenda request received for allowance of Project Graduation's Annual Senior Bonfire, granting a variance to Ordinance §92.01 of the City's Code of Ordinances; Woodrow Tolley | | |
| Council Strategic Goals | N/A | | |
| Attachments | Agenda Request; Property Owners Letter of Allowance | | |
| Financial Information | Expenditure Required: | | - |
| | Amount Budgeted: | | - |
| | Account Number: | | - |
| | Additional Appropriation Required: | | - |
| | Additional Account Number: | | - |

Executive Summary

Project Graduation is requesting allowance of the annual senior bonfire to be held on SISD property. Previous approved date was cancelled due to other school events. Proposed dates are listed below and within the agenda request. Due to scheduling and extracurricular activities, dates listed are potential dates for hosting, but have not been solidified. Requestor will be in attendance to answer any questions that may arise.

Request is to approve listed dates to host one bonfire upon deciding. Project graduation is aware of the required actions and notifications to be given to the Fire Marshal and Fire Department.

This request will require a variance to Ordinance 92.01; Outdoor burning of waste; Combustible material.

Administration requests, if allowed, the motion include language contingent on the burn ban, approvals from SFD and FM, and notification to the City of selected date.

Recommended Action

To approve the variance to Ordinance 92.01, allowing Project Graduation to hold one requested annual Senior's Bonfire on SISD property, as per the requested dates proposed, subject to a burn ban in effect, and to follow all Fire Department and Fire Marshal regulations with submittals for approvals to the respective agencies, and to notify the City of selected date prior too.



CITY OF SWEENY

102 W. Ashley Wilson Rd. • PO Box 248 • Sweeny, Texas 77480 • P: (979) 548-3321 • F: (979) 548-7745

The following will be used to request an item to be placed on the agenda with the Sweeny City Council.

Personal Information:

Name: Woodrow Tolley

Mailing Address: [REDACTED]

Physical Address: Same as above

Email(s): [REDACTED]

Phone(s): [REDACTED]

Please include specific details of the item you wish to be placed on the agenda.

I wish to come before council to submit proposed dates to hold the project graduation annual Bon Fire.

proposed dates will be:

January 11th 2025

February 1 2025

February 8 2025

Fubuary 15 2025

February 22 2025

March 1 2025

March 8 2025

After consulting all High School events as well as recieveing approved dates from Mr. Way, project graduation will decide on one of these dates to hold the Bon Fire at the elementry school and in accordance with all required actions put forth by the fire department and Fire marshall's office.

Signature: Woodrow Tolley Date: 12-10-24

Requests must be received by the City Manager by close of business 10 days prior to the scheduled meeting date for placement. Administration and/or their designee reserves the right to delay the item to the following regularly scheduled meeting if it is determined that more time is needed in order to compile information specific to the request.

Once Council has acted on an agenda item; that item cannot be placed on the agenda for a period of six (6) full months. Exception is provided if three members of Council ask that the item be returned early to the agenda, or the Mayor or City Manager determines it is in the interest of the City to do so.



December 10, 2024

Re: Project Graduation Senior Bonfire / Community Pep Rally

To Whom it May Concern:

Sweeny ISD is looking forward to the Project Graduation (PG) Senior Bonfire / Community Pep Rally that will take place on the selected date from the possible dates of: January 11, 2025, February 1,8,15, and 22, 2025 or March 1 and 8, 2025. This event will be held in the open green space behind Sweeny Elementary School. Sweeny ISD approves the use of district property for this event and releases liability from the City of Sweeny. PG agrees to adhere to the Fire Safety Guidelines as presented by the City of Sweeny Fire Marshal. PG is also aware that the Bonfire portion of this event is contingent upon current Burn Ban status.

Please let me know if you have questions or need additional information.

Educationally yours,

Daniel Fuller, M. Ed., Superintendent



AGENDA MEMO

Business of the City Council City of Sweeny, Texas

| | | | |
|---|--|---------------------|---------------------------|
| Meeting Date | 12/17/2024 | Agenda Items | |
| Approved by City Manager | | Presenter(s) | Administration/ Requestor |
| Reviewed by City Attorney | | Department | Permitting/Zoning |
| Subject | Discussion and possible action to agenda request for variances to the Zoning Ordinance, Exhibit A, Section 110-69 and Chapter 150 of the City's Code of Ordinances, Building Regulations; Construction; Jennifer Johnson | | |
| Attachments / Supporting documents | Agenda Request, Drawings | | |
| Financial Information | Expenditure Required: | N/A | |
| | Amount Budgeted: | N/A | |
| | Account Number: | | |
| | Additional Appropriation Required: | | |
| | Additional Account Number: | | |

Executive Summary

Requestor is seeking approval to use the accessory building moved onto location as a residential dwelling. Requestor previously moved accessory building onto 102 Travis without permit or primary dwelling (vacant lot). Requested utility connections were denied.

§110-2; Accessory building means building subordination to the principal building on a lot.

Accessory building does not meet the Zoning Ordinance, Exhibit A, Section 110-69 R2B minimum living area requirements of 800 sq. ft. Accessory building is approximately 640 sq. ft. Accessory building is not designed for human habitation as per the *Notes* stated on submitted plans. Plans additionally state utility shed. Plans do not conform with Chapter 150 of the City's Code of Ordinances for building regulations adopted under the 2015 IBC.

Requestor is seeking variance to the minimum living area and building codes in order to pull permits, connect utilities, and use as a residential dwelling (live within).

Requestor has submitted drawings to add onto the accessory building in order to encompass the required 800 sq. ft. However, a variance to the building codes would still be required if approved in order for staff to issue building permits as the structure is rated as an accessory structure, not for residential dwelling. Plans do not include an engineered foundation.

Property is under ownership of an estate. Ownership would still need to be rectified before permits would be issued in the event variances are approved. One car carport and/or garage is required.

Recommended Action

To deny requested variances to the City's code of ordinances due to conflicts associated with adopted codes and zoning requirements for residential structures.



CITY OF SWEENEY

Item 12.

102 W. Ashley Wilson Rd. • PO Box 248 • Sweeny, Texas 77480 • P: (979) 548-3321

The following will be used to request an item to be placed on the agenda with the Sweeny City Council.

Personal Information:

Name: Jocela Johnson / Jennifer Johnson

Mailing Address: [Redacted] Sweeny TX 77480

Physical Address: 102 N. Travis Street Sweeny TX 77480

Email(s): jeyjohnson1703@yahoo.com

Phone(s): [Redacted]

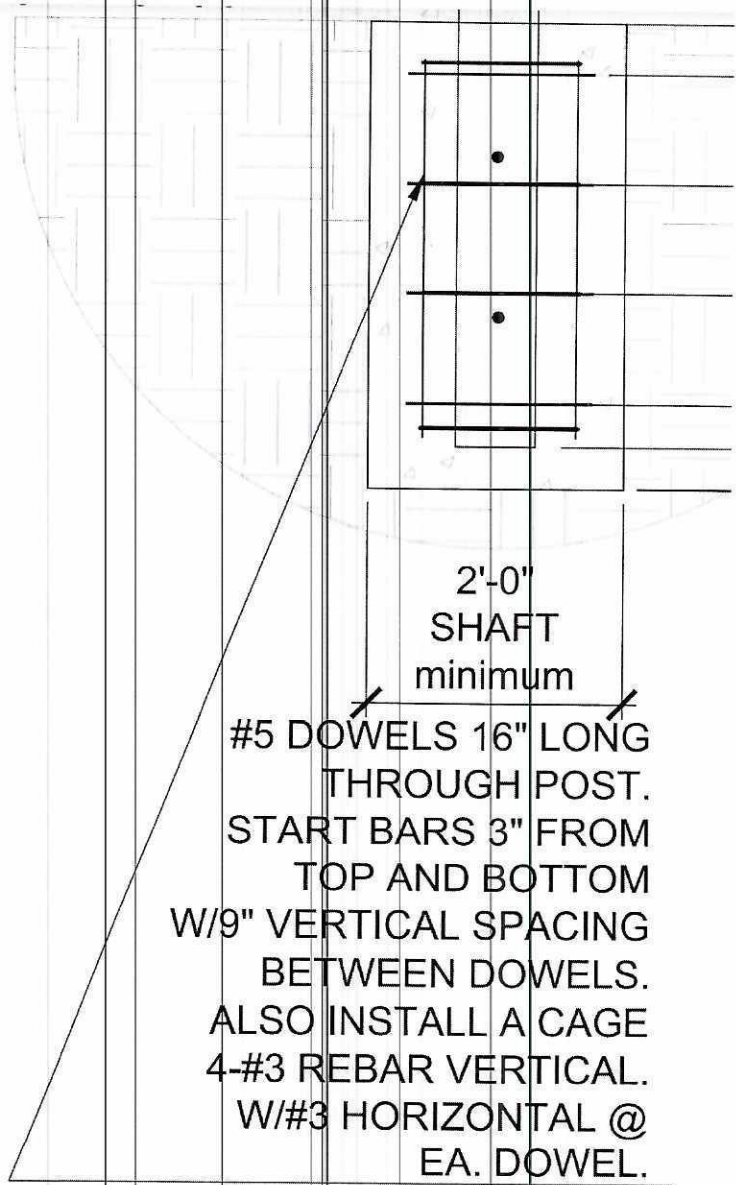
Please include specific details of the item you wish to be placed on the agenda.

I am requesting to be placed on the upcoming agenda to get a variance approval for a tiny home on my property address of 102 N. Travis in Sweeny. I am requesting to get approval to move forward with the addition of 1500 square feet to meet the city's requirement of 800 square feet. It is currently 650 square feet.

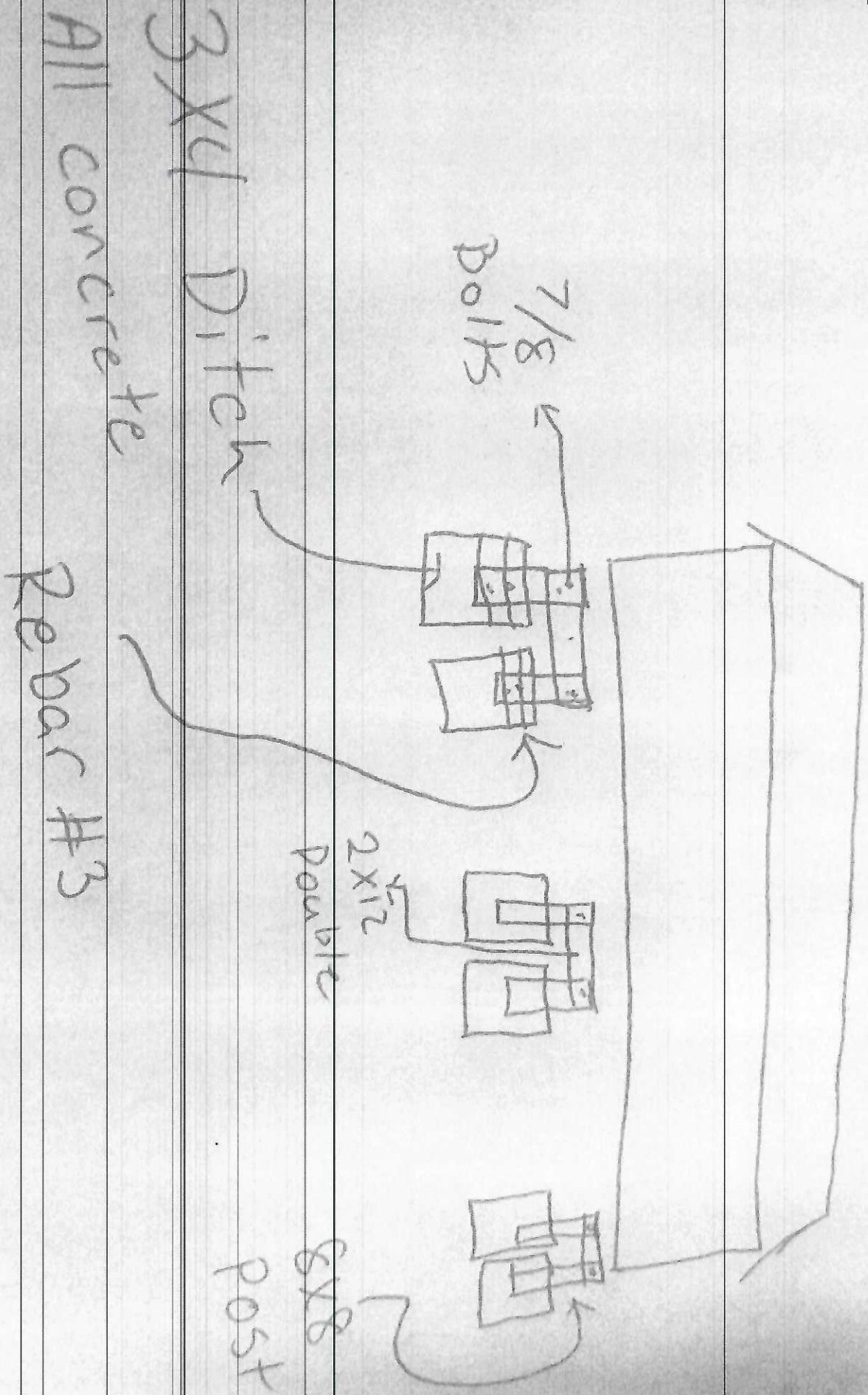
Signature: Jennifer Johnson Date: 11-8-2024

Requests must be received by the City Manager by close of business 10 days prior to the scheduled meeting date for placement. Administration and/or their designee reserves the right to delay the item to the following regularly scheduled meeting if it is determined that more time is needed in order to compile information specific to the request.

Once Council has acted on an agenda item; that item cannot be placed on the agenda for a period of six (6) full months. Exception is provided if three members of Council ask that the item be returned early to the agenda, or the Mayor or City Manager determines it is in the interest of the City to do so.



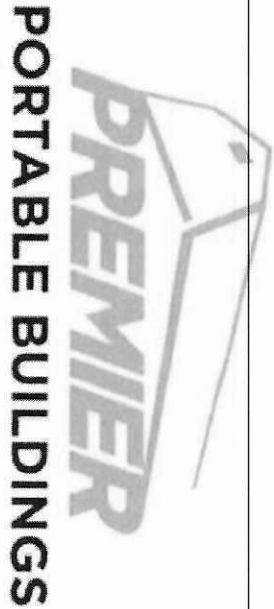
ADDITION WILL BE 160 SQ. FEET TO BACK SIDE OF CURRENT BUILDING



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UTILITY SHEED PLANS

STATE OF TEXAS (170 MPH) WINDS



WIND CHART

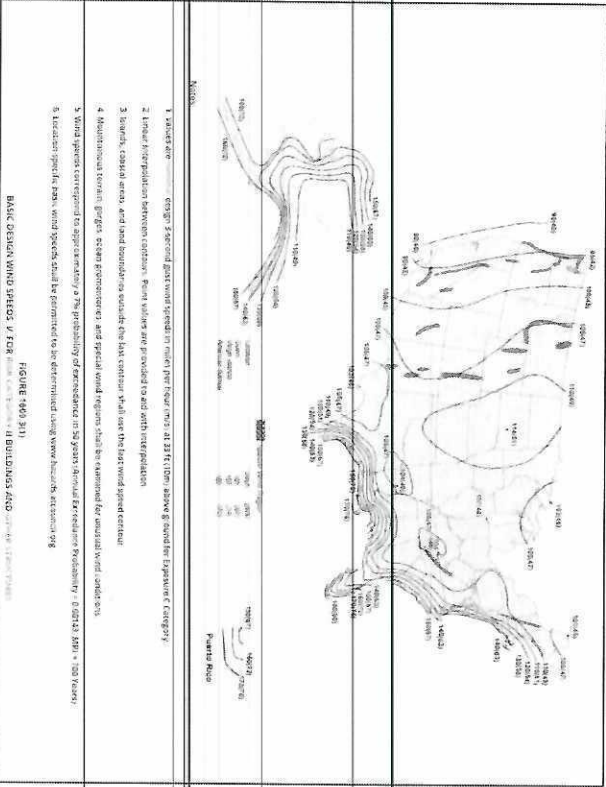


FIGURE (401-311)
BASIC DESIGN WIND SPEED, V FOR EXPOSURE CATEGORY III BUILDINGS AND 30-MINUTE RETURN PERIOD

1. Wind speed contours are shown in mph.
2. Interpolation between contours from values are provided and with interpolation.
3. Isolated terrain, rough, steeply sloping terrain, and special wind regions shall be determined by visual wind analysis.
4. Wind speed contours are shown in mph.
5. Isolated terrain, rough, steeply sloping terrain, and special wind regions shall be determined by visual wind analysis.

| GENERAL NOTES | |
|---------------|--|
| 1. | THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2015 IBC & 2015 IS. |
| 2. | ALL MATERIALS AND LABORS SHALL BE IN ACCORDANCE WITH THE ABOVE CODE AND ALL OTHER APPLICABLE LOCAL CODES AT THE TIME OF CONSTRUCTION. |
| 3. | WORKER PROTECTION SHALL BE PROVIDED THROUGHOUT CONSTRUCTION. |
| 4. | THE FOUNDATION SHALL BE AS SHOWN, SET OF FOUNDATION BY LOCAL JURISDICTIONS. |
| 5. | CONCRETE FOUNDATION SHALL BE PROVIDED THROUGHOUT CONSTRUCTION WITH MINIMUM CONCRETE STRENGTH OF 3000 PSI (20.7 MPa) AND SHALL BE CAST IN PLACE. |
| 6. | ALL THE FOLLOWING MATERIALS SHALL BE PROVIDED THROUGHOUT CONSTRUCTION WITH MINIMUM CONCRETE STRENGTH OF 3000 PSI (20.7 MPa) AND SHALL BE CAST IN PLACE. |
| 7. | CONCRETE FOUNDATION SHALL BE PROVIDED THROUGHOUT CONSTRUCTION WITH MINIMUM CONCRETE STRENGTH OF 3000 PSI (20.7 MPa) AND SHALL BE CAST IN PLACE. |
| 8. | IF PRECAST CONCRETE FOUNDATION SHALL BE PROVIDED THROUGHOUT CONSTRUCTION WITH MINIMUM CONCRETE STRENGTH OF 3000 PSI (20.7 MPa) AND SHALL BE CAST IN PLACE. |
| 9. | IF ALUMINUM FOUNDATION SHALL BE PROVIDED THROUGHOUT CONSTRUCTION WITH MINIMUM ALUMINUM STRENGTH OF 3000 PSI (20.7 MPa) AND SHALL BE CAST IN PLACE. |
| 10. | ALL FOUNDATION AND CONCRETE FOUNDATION SHALL BE PROVIDED THROUGHOUT CONSTRUCTION WITH MINIMUM CONCRETE STRENGTH OF 3000 PSI (20.7 MPa) AND SHALL BE CAST IN PLACE. |
| 11. | ALL FOUNDATION AND CONCRETE FOUNDATION SHALL BE PROVIDED THROUGHOUT CONSTRUCTION WITH MINIMUM CONCRETE STRENGTH OF 3000 PSI (20.7 MPa) AND SHALL BE CAST IN PLACE. |
| 12. | FOR ROOFS WITH ASPHALT/FLY ASH OR FLAT ROOFS SHALL BE PROVIDED THROUGHOUT CONSTRUCTION WITH MINIMUM CONCRETE STRENGTH OF 3000 PSI (20.7 MPa) AND SHALL BE CAST IN PLACE. |
| 13. | CONCRETE FOUNDATION SHALL BE PROVIDED THROUGHOUT CONSTRUCTION WITH MINIMUM CONCRETE STRENGTH OF 3000 PSI (20.7 MPa) AND SHALL BE CAST IN PLACE. |
| 14. | CONCRETE FOUNDATION SHALL BE PROVIDED THROUGHOUT CONSTRUCTION WITH MINIMUM CONCRETE STRENGTH OF 3000 PSI (20.7 MPa) AND SHALL BE CAST IN PLACE. |
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| 17. | CONCRETE FOUNDATION SHALL BE PROVIDED THROUGHOUT CONSTRUCTION WITH MINIMUM CONCRETE STRENGTH OF 3000 PSI (20.7 MPa) AND SHALL BE CAST IN PLACE. |
| 18. | CONCRETE FOUNDATION SHALL BE PROVIDED THROUGHOUT CONSTRUCTION WITH MINIMUM CONCRETE STRENGTH OF 3000 PSI (20.7 MPa) AND SHALL BE CAST IN PLACE. |
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| SHEET NUMBER | SHEET TITLE |
|--------------|---|
| C-1 | COVER SHEET |
| C-2 | FASTENING SCHEDULE / WIND LOADING / SHEARWALL CHART |
| A-1 | FRAMING PLANS & DETAILS |
| A-2 | FRAMING PLANS & DETAILS |
| A-3 | SECTIONS |
| A-4 | PLANS & DETAILS |
| A-5 | TYPICAL DETAILS |
| A-6 | TYPICAL DETAILS |
| A-7 | OPTIONAL FORCH DETAILS |
| A-8 | ANCHORING DETAILS & SCHEDULES |
| A-9 | ANCHORING SFCO SHEETS |

| SHEET LIST | |
|------------|---------|
| DESIGN | DESIGN |
| DATE | DATE |
| BY | BY |
| CHECKED | CHECKED |
| DATE | DATE |
| BY | BY |

AREA FOR APPROVAL STAMPS

PROJECT: UTILITY SHEED

COVER SHEET & GENERAL NOTES

DON VAN GERNE, P.E.
SPECIALTY STRUCTURAL ENGINEER
890-500-9483

ALTERNATE DESIGN SOLUTIONS
ANALYSIS AND DESIGN SERVICES, INC.

ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH PLUM, TX 78257
WWW.PREMIERBUILDINGS.COM

| REVISION | DESCRIPTION | DATE | BY |
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| 1 | | | |
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DATE: 4/17/23
PROJECT NO.: 18008
DRAWING BY: JH
CHK BY: DVC
DATE NO.: C-1

4/17/23

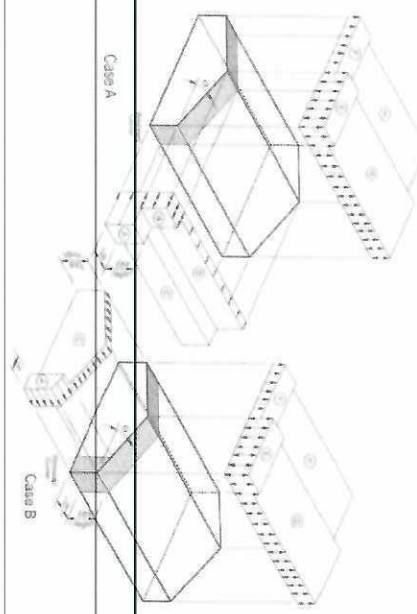
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FASTENING SCHEDULE (2304.9.1. MRC)

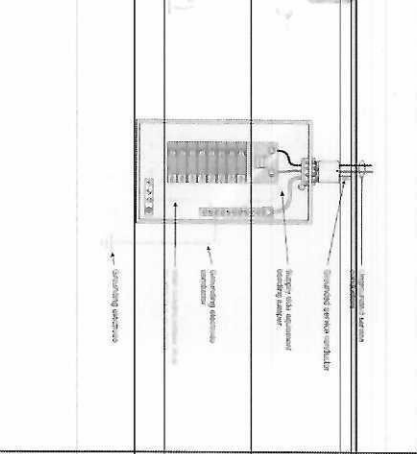
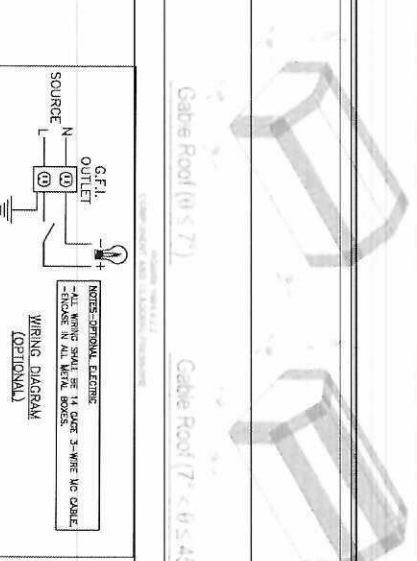
| CONNECTION | FASTENERS | LOCATION |
|--|--|---|
| 1. JOIST TO SILL OR GIRDER | 3 - 8d COMMON (25% x 0.117) 3 - 3" x 14 OCE STRIPES | TOP-WALL |
| 2. BRIDGING TO JOIST | 2 - 8d COMMON (25% x 0.117) 2 - 3" x 14 OCE STRIPES | TOP-WALL EACH BID |
| 3. GABLE PLATE TO JOIST OR BRIDGING | 16d (25% x 0.137) @ 16" o/c 3" x 14 OCE STRIPES @ 12" o/c | TYPOCAL FACE W/ET |
| 4. GIRT PLATE TO JOIST OR BRIDGING @ BRACED WALL PANEL | 2 - 16d (25% x 0.137) @ 16" o/c 4 - 3" x 14 OCE STRIPES @ 16" o/c | BRACED WALL PANELS |
| 5. TOP PLATE TO STUD | 2 - 16d (25% x 0.137) 2 - 3" x 14 OCE STRIPES | END WALL |
| 6. STUD TO GIRT PLATE | 4 - 8d COMMON (25% x 0.117) 4 - 3" x 14 OCE STRIPES | TOP-WALL |
| 7. DOUBLE STUDS | 16d (25% x 0.137) @ 16" o/c 3" x 14 OCE STRIPES @ 12" o/c | FACE WALL |
| 8. DOUBLE TOP PLATES | 3 - 8d COMMON (25% x 0.117) 3 - 3" x 14 OCE STRIPES 12 - 3" x 14 OCE STRIPES | TOP-WALL |
| 9. BRIDGING BETWEEN JOISTS OR PRESS TO TOP PLATE | 3 - 8d COMMON (25% x 0.117) 3 - 3" x 14 OCE STRIPES | TOP-WALL |
| 10. TOP PLATES, LIPS AND INTERSECTIONS | 3 - 8d COMMON (25% x 0.117) 3 - 3" x 14 OCE STRIPES | FACE WALL |
| 11. CONTINUOUS HANGER (2) PIECES | 8 - 8d COMMON (25% x 0.117) | 16" o/c ALONG EDGE |
| 12. CONTINUOUS HANGER (2) PIECES | 4 - 8d COMMON (25% x 0.117) | TOP-WALL |
| 13. BUILT-UP CORNER STUDS | 16d (25% x 0.137) @ 24" o/c 3" x 14 OCE STRIPES @ 16" o/c 3" x 14 OCE STRIPES @ 16" o/c | 9" 2x4 o/c 9" 6" o/c 9" 16" o/c |
| 14. DOUBLE TOP PLATES | 2 - 8d COMMON (25% x 0.117) 3 - 3" x 14 OCE STRIPES | FACE WALL @ TOP & BOTTOM STAGGERED ON GIRT STUDS |
| 15. JOIST TO BAND JOIST | 3 - 8d COMMON (25% x 0.117) 4 - 3" x 14 OCE STRIPES | FACE WALL @ BIDS AND AT EACH SPACE |
| 16. WOOD STRUCTURAL PANELS AND PERIMETER BOARD STRUCTURE, ROOF AND WALL SHEATHING (TO FRAMING) | 1/2" AND LESS 2x8 (25% x 0.117) WALL 2x10 (25% x 0.137) WALL 2x12 (25% x 0.157) WALL 2" 16 OCE | EXPOSED WALL |
| 17. 280d. STEEL SHANK (10 DRAWING) | 1/2" TO 1" 1/2" AND LESS 1/2" TO 1" 1/2" TO 1" | 10d OR 8d 10d OR 8d 10d OR 8d 10d OR 8d |
| 18. PERFORMING SHEATHING | 1/2" 3/8" | WALL @ 6" o/c IN FIELD AND 3" o/c ALONG ALL PANEL EDGES |

SHEARWALL CHART

| BUILDING WIDTH | OPENING WIDTH IN EXTERNAL WALL | MAX. LENGTH OF BUILDING | |
|----------------|--------------------------------|-------------------------|----------------------------------|
| | | 1/2" 1/1" | 3/8" 1/2" ALUMINUM OVER 1/4" OSB |
| 8'-0" | 3'-0" MAX | 24'-0" | 24'-0" |
| 10'-0" | 3'-0" MAX | 30'-0" | 30'-0" |
| 11'-2" | 3'-0" MAX | 36'-0" | 36'-0" |
| 14'-0" | 3'-0" MAX | 42'-0" | 42'-0" |
| 18'-0" | 3'-0" MAX | 48'-0" | 48'-0" |



1. COLUMN OR BOX WALL NOT FASTENED TO E-CORNER MUST BE CHANGING SIDES.
2. WALLS SHOWN @ 6" o/c AT EDGES, 12" AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. FOR WALLS OF 2" OCE STRIPES, WALLS SHALL BE 12" OCE STRIPES AT EDGES AND 16" OCE STRIPES IN FIELD.
3. COLUMN OR BRACED WALL (25% x 0.117) OR (25% x 0.137) OR (25% x 0.157).
4. COLUMN OR BRACED WALL (25% x 0.117) OR (25% x 0.137) OR (25% x 0.157).
5. INTERMEDIATE SUPPORTS SHALL BE 16" OCE STRIPES AT EDGES AND 12" OCE STRIPES IN FIELD.
6. INTERMEDIATE SUPPORTS SHALL BE 16" OCE STRIPES AT EDGES AND 12" OCE STRIPES IN FIELD.
7. INTERMEDIATE SUPPORTS SHALL BE 16" OCE STRIPES AT EDGES AND 12" OCE STRIPES IN FIELD.
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15. INTERMEDIATE SUPPORTS SHALL BE 16" OCE STRIPES AT EDGES AND 12" OCE STRIPES IN FIELD.



AREA FOR APPROVAL STAMPS

PRODUCT: UTILITY SHED

FASTENING SCHEDULE / WIND LOADING

DON VAN GEWIE, P.E.
SPECIALTY STRUCTURAL ENGINEER
800-500-9180

ALTERNATE DESIGN SOLUTIONS
1001 S. 40TH AVENUE, SUITE 200
DENVER, CO 80202

ENGINEERING SERVICES PROVIDED FOR:
PREMIER-FORRESTER-BUILDINGS
317 EAST STATE LINE ROAD
SOUTH PLUM, IN 46257
WWW.FORRESTERBUILDINGS.US

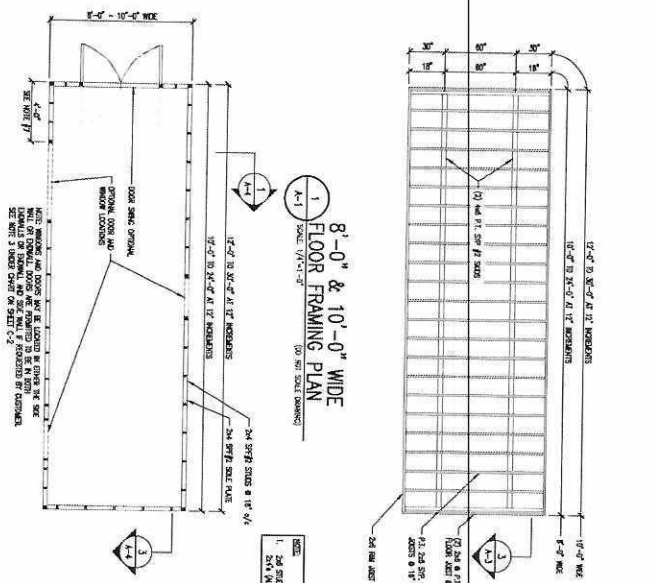
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DATE: 4/17/23
PROJECT NO.: 18095
DRAWING BY: JH
DATE BY: DWS

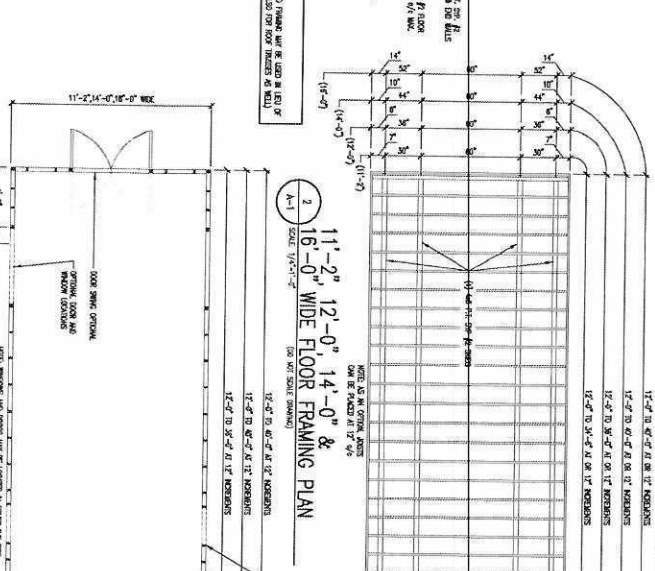
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4/17/23

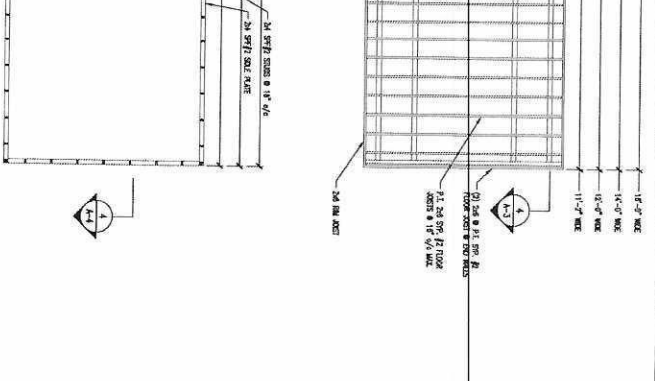
2 of 11



1 FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

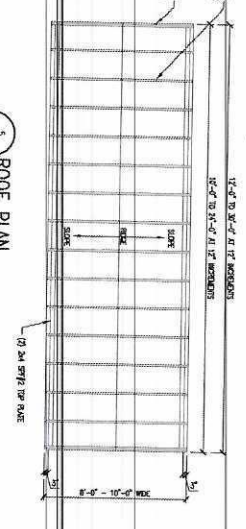


2 11'-2" 12'-0" 14'-0" & 16'-0" WIDE FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

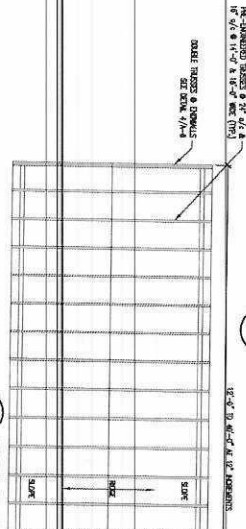


1 FLOOR DECK PLAN
SCALE: 1/4"=1'-0"

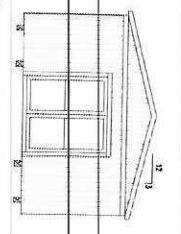
1 FLOOR DECK PLAN
SCALE: 1/4"=1'-0"



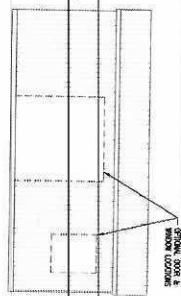
5 ROOF PLAN
SCALE: 1/4"=1'-0"



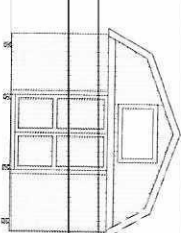
6 ROOF PLAN
SCALE: 1/4"=1'-0"



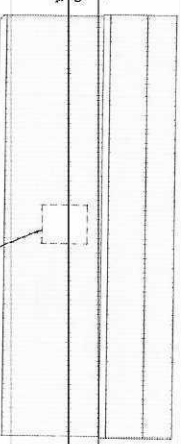
7 GABLE ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



8 SIDEWALL ELEVATION
SCALE: 1/4"=1'-0"



9 GAMBREL ENDWALL ELEVATION
SCALE: 1/4"=1'-0"



10 SIDEWALL ELEVATION
SCALE: 1/4"=1'-0"

- NOTES:
1. EXISTING WALL STUDS SHALL BE REINFORCED AS PER SECTION 05110-01-10.
 2. EXISTING EXTERIOR FINISHES SHALL REMAIN UNLESS OTHERWISE NOTED.
 3. ALL NEW CONSTRUCTION SHALL BE PERFORMED AS PER SECTION 05110-01-10.
 4. ALL NEW CONSTRUCTION SHALL BE PERFORMED AS PER SECTION 05110-01-10.
 5. EXISTING WALL, FLOOR, AND CEILING SHALL REMAIN UNLESS OTHERWISE NOTED.
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- NOTES:
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AREA FOR APPROVAL STAMPS

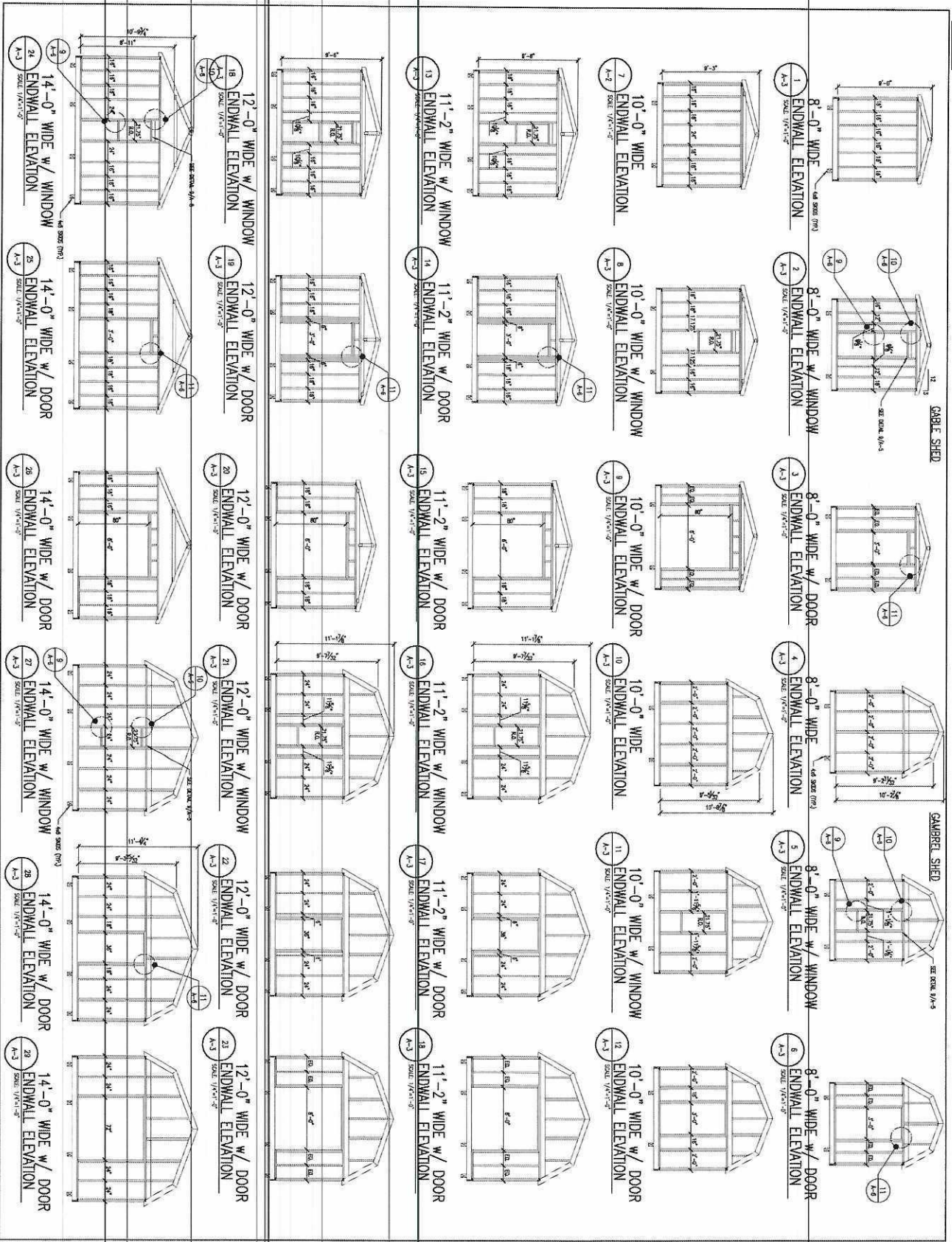
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| PROJ: UTILITY SHED | DATE: 4/17/23 |
| CLIENT: GIBBS & GIBBS, INC. | DRAWING NO.: 18008 |
| DESIGNER: DON VAN GERVE, P.E. | CHECK BY: DVG |
| PROJECT NO.: 650-500-9480 | DWG NO.: A-1 |
| PROPERTY: SOUTHERN RAILROAD | |
| ADDRESS: 317 EAST STATE LINE ROAD | |
| CITY: SOUTH FULTON, TN 38257 | |
| PHONE: WWW.PREMIERBUILDINGS.US | |

ADS ALTERNATE DESIGN SOLUTIONS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US

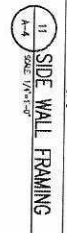
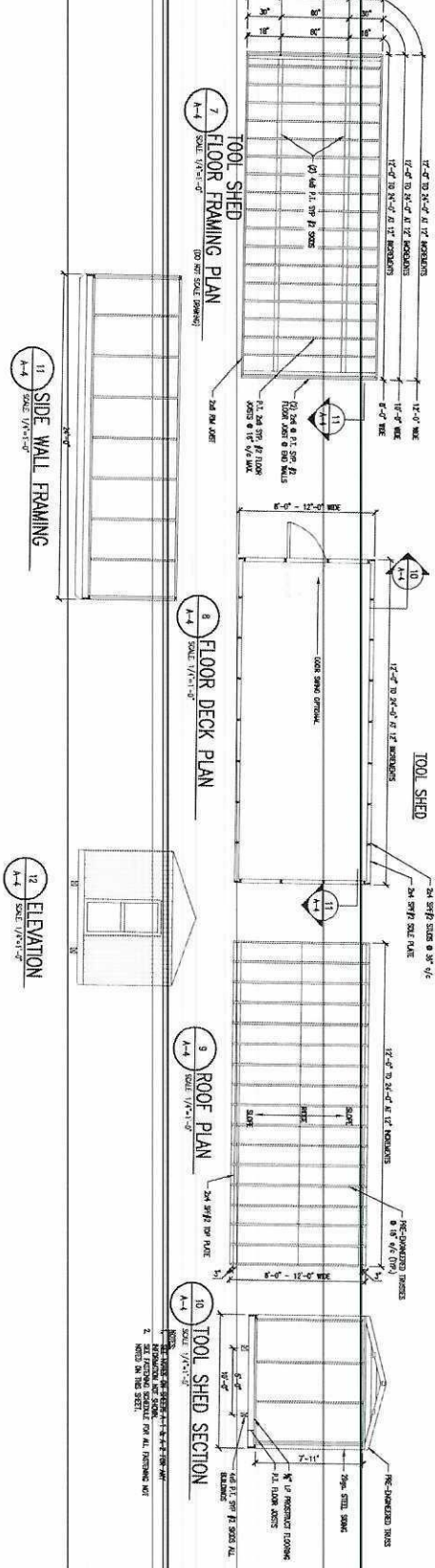
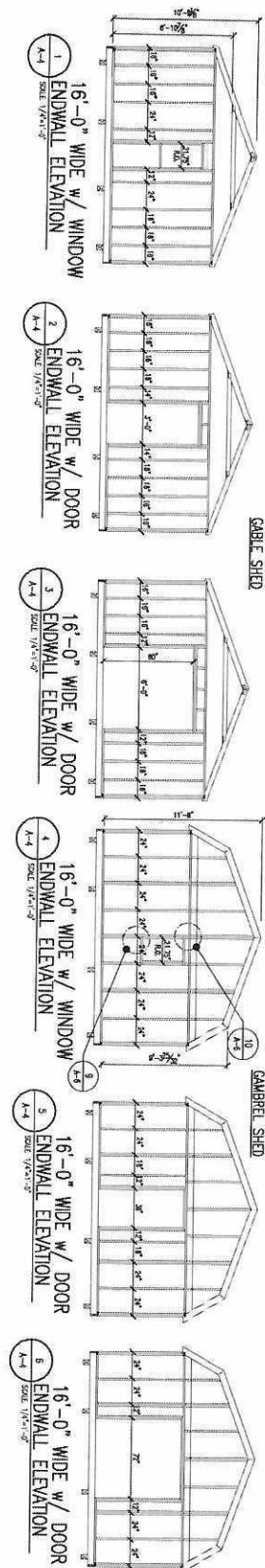
ENGINEERING SERVICES PROVIDED FOR PREMIER-PORABLE-BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US

| REVISION | DESCRIPTION | DATE | BY |
|----------|-------------|------|----|
| | | | |
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AREA FOR APPROVAL STAMPS



| <p>PROJECT NO. 18008</p> <p>DATE: 4/17/23</p> <p>DRAWING BY: JH</p> <p>CHECK BY: DWS</p> <p>DATE NO. 4/17/23</p> | | <p>REVISION</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> | | NO. | DESCRIPTION | DATE | BY | | | | |
|---|-------------|---|----|-----|-------------|------|----|--|--|--|--|
| NO. | DESCRIPTION | DATE | BY | | | | | | | | |
| | | | | | | | | | | | |
| <p>ENGINEERING SERVICES PROVIDED FOR:</p> <p>PREMIER-FORSTABLE-BUILDINGS</p> <p>317 EAST STATE LINE ROAD</p> <p>SOUTH PLUM, IN 46257</p> <p>WWW.PREMIERBUILDINGS.US</p> | | | | | | | | | | | |
| <p>ADSS ALTERNATE DESIGN SOLUTIONS</p> <p>1000 S. W. 10TH AVENUE</p> <p>MIAMI, FL 33135</p> | | | | | | | | | | | |
| <p>DON VAN GERICKE, P.E.</p> <p>SPECIAL STRUCTURAL ENGINEER</p> <p>850-500-9180</p> | | | | | | | | | | | |
| <p>SECTION: UTILITY SHED</p> | | | | | | | | | | | |
| <p>5 of 11</p> | | | | | | | | | | | |



AREA FOR APPROVAL SIGNS

PROJECT: UTILITY SHED

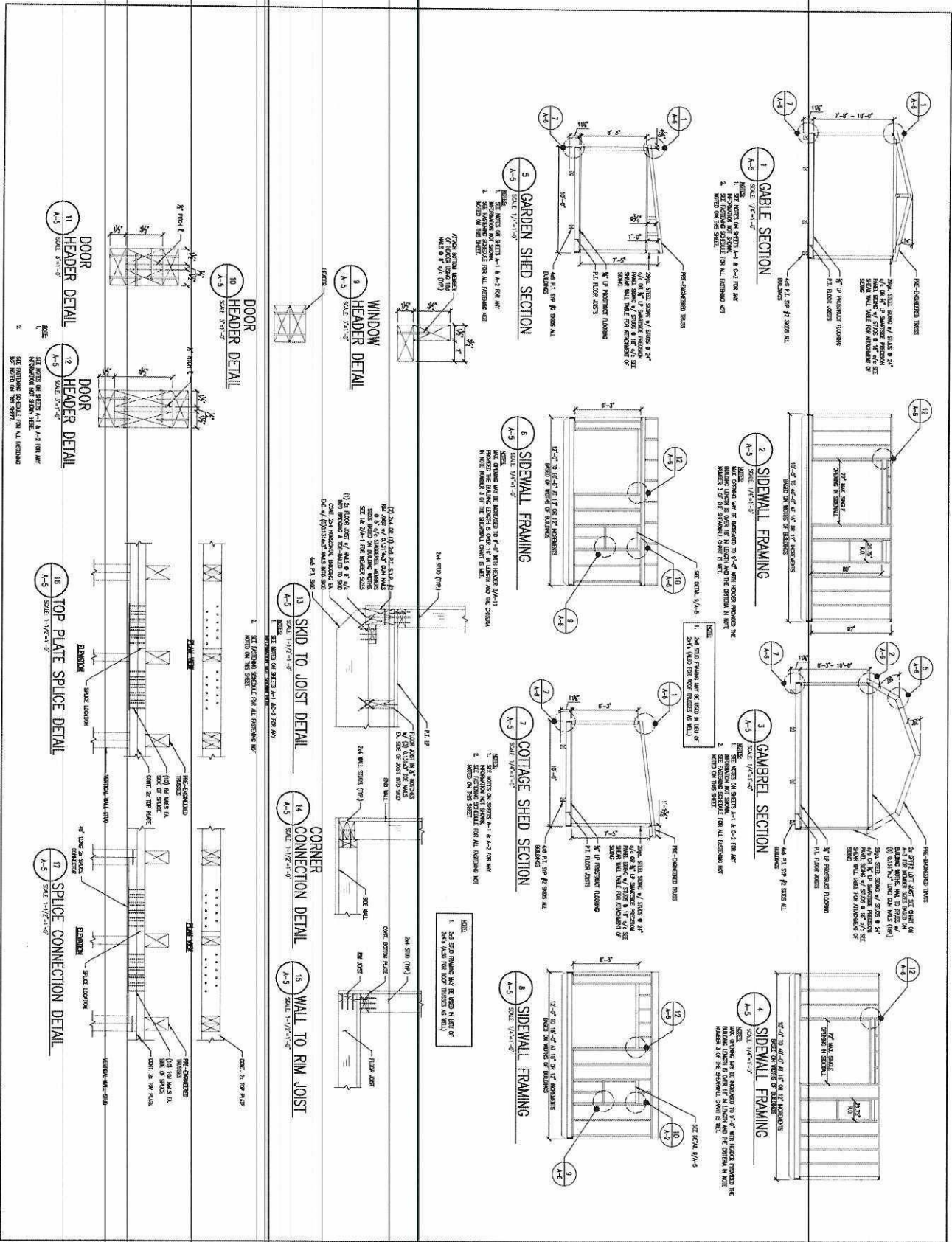
SECTION CUTS
 GARAGE & TOOL SHED
 DON VAN GEMPE, P.E.
 SPECIALTY STRUCTURAL DESIGNER
 860-500-9480
 www.premierbuildings.us

ENGINEERING SERVICES PROVIDED FOR
 PREMIER-FORGEABLE BUILDINGS
 317 EAST STATE LINE ROAD
 SOUTH TULSA, TN 38257
 WWW.PREMIERBUILDINGS.US

| REVISION | DESCRIPTION | DATE | BY |
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DATE: 4/17/23
 PROJECT NO.: 18208
 DRAWING BY: JH
 CHK BY: DVS
 DWG NO.: A-4

4/17/23
 98643
 98643
 98643



AREA FOR APPROVAL STAMPS

PROJECT: UTILITY SHED

TYPICAL DETAILS

DESIGNER: DON VAN GEMPE, P.E.
SPECIALTY STRUCTURAL ENGINEER
800-500-5480

CLIENT: PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH PLUM, TN 38257
WWW.PREMIERBUILDINGS.COM

DATE: 4.17.23

PROJECT NO.: 18008

DRAWN BY: JH

CHECK BY: DWG

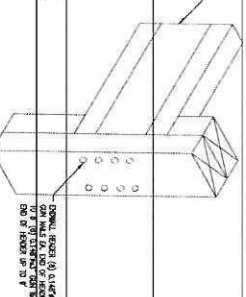
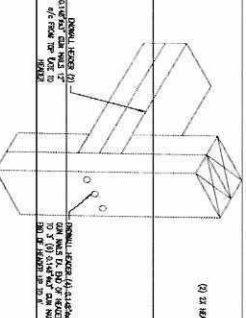
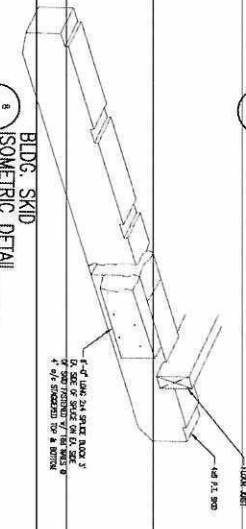
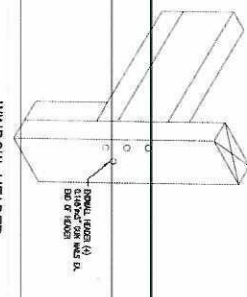
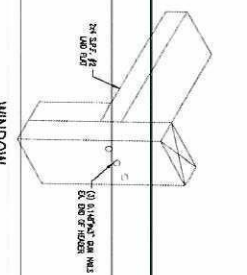
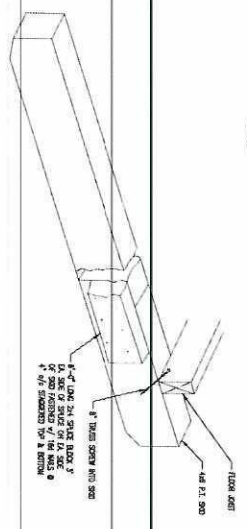
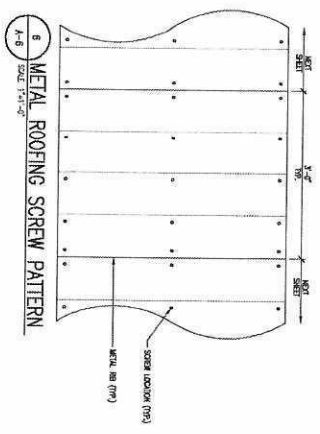
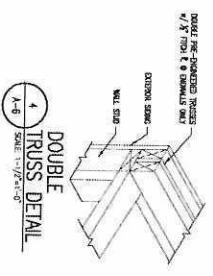
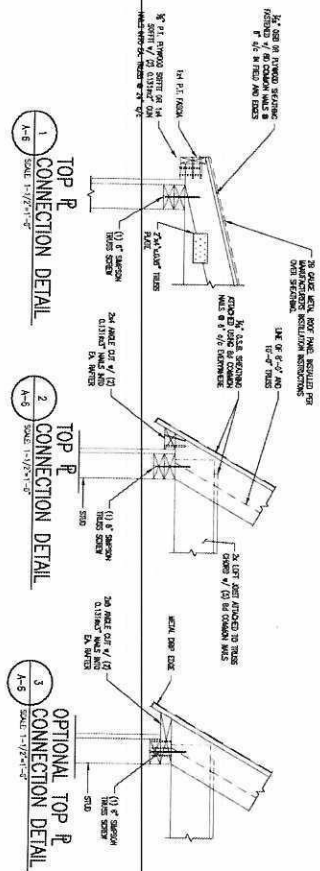
DATE: 4.17.23

SCALE: A-5

REVISION:

| NO. | DESCRIPTION | DATE | BY |
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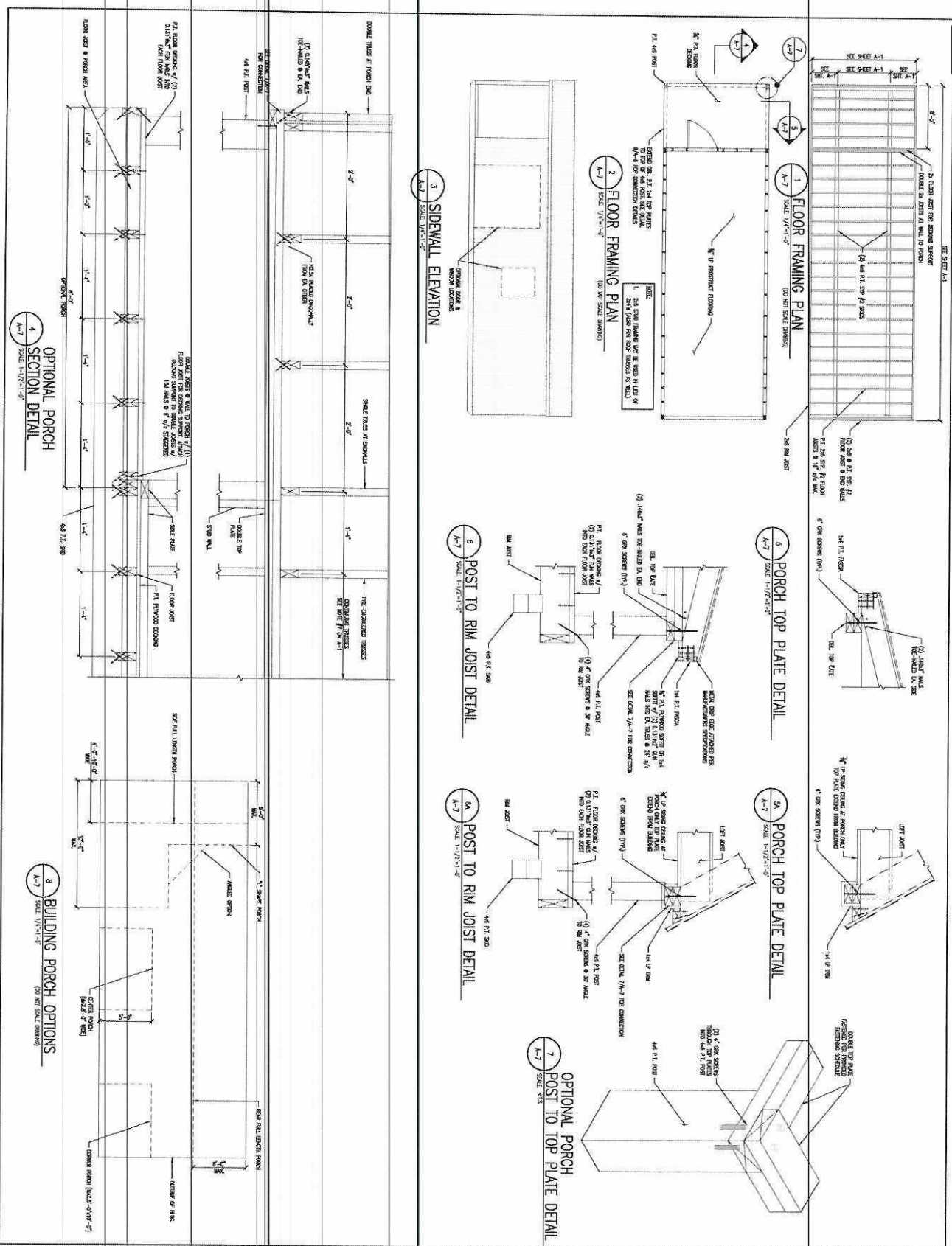
7 of 11



1. SEE NOTES ON SHEET 14-1-100 AND 14-1-101 FOR MATERIALS AND FINISHES.
2. SET FINISHING SCHEDULE FOR ALL FINISHING AND HARDWARE ON THIS SHEET.

AREA FOR APPROVAL STAMPS

| <p>PROJECT: UTILITY SHED</p> <p>TYPICAL DETAILS</p> <p>DON VAN GEMPE, P.E. SPECIALTY STRUCTURAL ENGINEER 880-500-9480</p> <p>ADSS ALTERNATE DESIGN SOLUTIONS 3701 S. UNIVERSITY BLVD., SUITE 200 MEMPHIS, TN 38117</p> <p>ENGINEERING SERVICES PROVIDED FOR: PREMIER PORTABLE BUILDINGS 317 EAST STATE PARK ROAD SOUTH PLAZA, TN 38227 WWW.PREMIERBUILDINGS.US</p> | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|-------------|-------------|------|----|---|--|--|--|---|--|--|--|---|--|--|--|---|--|--|--|---|--|--|--|--|
| <table border="1"> <thead> <tr> <th>REVISION</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> <td></td> </tr> </tbody> </table> | REVISION | DESCRIPTION | DATE | BY | 1 | | | | 2 | | | | 3 | | | | 4 | | | | 5 | | | | <p>DATE: 4.17.23</p> <p>PROJECT NO.: 18206</p> <p>DRAWN BY: JH</p> <p>CHECK BY: DVS</p> <p>DWG. NO.: A-6</p> |
| REVISION | DESCRIPTION | DATE | BY | | | | | | | | | | | | | | | | | | | | | | |
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| <p>8 of 11</p> | | | | | | | | | | | | | | | | | | | | | | | | | |



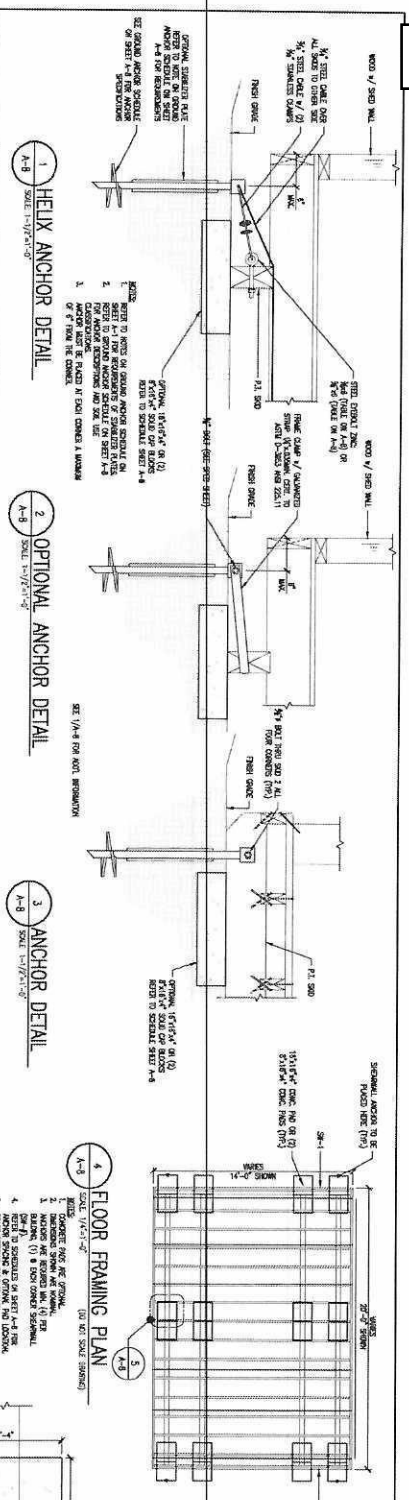
AREA FOR APPROVAL STAMPS

| | |
|--------------|----------------------------|
| PROJECT: | UTILITY SHED |
| DESIGNER: | ALTERNATE DESIGN SOLUTIONS |
| DATE: | 4/17/23 |
| PROJECT NO.: | 18008 |
| DESIGNED BY: | JH |
| CHECKED BY: | DWG |
| DATE: | 4/17/23 |
| SCALE: | A-7 |

ALTERNATE DESIGN SOLUTIONS
 DON VAN GERME, P.E.
 SPECIALTY STRUCTURAL ENGINEER
 860-500-5980

ENGINEERING SERVICES PROVIDED FOR:
 PREMIER EQUESTRIAN BUILDINGS
 317 EAST STATE LINE ROAD
 SOUTH ELMO, TN 38257
 WWW.PREMIERBUILDINGS.US





| MODEL # | PART # | DESCRIPTION | SOIL CLASS |
|---------|-------------|---|------------|
| W1215/8 | 5900 / 5901 | 48" x 3/4" ROD W/ (1) 5" HELIX | 4A |
| W1215/4 | 5905 / 5904 | 48" x 3/4" ROD W/ (1) 5" HELIX | 4A |
| W1215/4 | 5912B | 42" x 3/4" ROD W/ (2) 4" HELIX | 4A |
| W1215/4 | 5906 | 48" x 3/4" ROD W/ (2) 4" HELIX | 4A |
| W1215/4 | 5925B | 36" x 3/4" ROD W/ (1) 5" HELIX & (1) 5" HELIX | 4A |
| W1215/4 | 5905 | 48" x 3/4" ROD W/ (1) 5" HELIX | 4A |
| W1215/4 | 5904 | 48" x 3/4" ROD W/ (1) 5" HELIX | 4A |
| W1215/4 | 5903 | 60" x 3/4" W/ (1) 7" HELIX | 4B |
| W1215/4 | 5904 | 60" x 3/4" W/ (1) 5" HELIX | 4B |

| BUILDING WIDTH | OPTIONAL PAD SCHEDULE FOR ALL WIND SPEEDS AND EXPOSURES | | | | | | | | | | | | | | | |
|----------------|---|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--|
| | NUMBER OF PADS BY LENGTH UNDER EACH SKID | | | | | | | | | | | | | | | |
| 10'-0" | 12'-0" | 14'-0" | 16'-0" | 18'-0" | 20'-0" | 22'-0" | 24'-0" | 26'-0" | 28'-0" | 30'-0" | 32'-0" | 34'-0" | 36'-0" | 38'-0" | 40'-0" | |
| 8'-0" | 3 | 3 | 3 | 3 | 4 | 4 | 4 | 4 | N/A | N/A | N/A | N/A | N/A | N/A | N/A | |
| 10'-0" | 3 | 3 | 3 | 4 | 4 | 4 | 5 | 5 | 5 | N/A | N/A | N/A | N/A | N/A | N/A | |
| 11'-2" | 2 | 2 | 3 | 3 | 3 | 3 | 3 | 3 | 4 | 4 | 4 | N/A | N/A | N/A | N/A | |
| 12'-0" | 2 | 2 | 3 | 3 | 3 | 3 | 3 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | N/A | |
| 14'-0" | 2 | 3 | 3 | 3 | 3 | 3 | 4 | 4 | 4 | 4 | 4 | 4 | 5 | 5 | 5 | |
| 16'-0" | 2 | 3 | 3 | 3 | 3 | 3 | 4 | 4 | 4 | 4 | 4 | 5 | 5 | 5 | 5 | |

| BUILDING WIDTH | ANCHORING FOR 170 M.P.H. WIND SPEED, EXPOSURE "C" - 3/8" ANCHOR BOLT | | | | | | | | | | | | | | | |
|----------------|--|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--|
| | NUMBER OF ANCHORS EACH SIDE WALL | | | | | | | | | | | | | | | |
| 10'-0" | 12'-0" | 14'-0" | 16'-0" | 18'-0" | 20'-0" | 22'-0" | 24'-0" | 26'-0" | 28'-0" | 30'-0" | 32'-0" | 34'-0" | 36'-0" | 38'-0" | 40'-0" | |
| 8'-0" | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | |
| 10'-0" | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | |
| 11'-2" | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | |
| 12'-0" | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | |
| 14'-0" | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | |
| 16'-0" | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | 3 | |

| BUILDING HEIGHT | ANCHORING FOR 170 M.P.H. WIND SPEED, EXPOSURE "C" - 5/8" ANCHOR BOLT | | | | | | | | | | | | | | | |
|-----------------|--|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--|
| | NUMBER OF ANCHORS EACH SIDE WALL | | | | | | | | | | | | | | | |
| 10'-0" | 12'-0" | 14'-0" | 16'-0" | 18'-0" | 20'-0" | 22'-0" | 24'-0" | 26'-0" | 28'-0" | 30'-0" | 32'-0" | 34'-0" | 36'-0" | 38'-0" | 40'-0" | |
| 8'-0" | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | |
| 10'-0" | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | |
| 11'-2" | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | |
| 12'-0" | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | |
| 14'-0" | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | |
| 16'-0" | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | 4 | |

GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY NOTICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY AGREEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS.
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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTS.

PROJ. NO.: UTILITY SHED

PREPARED BY: DON VAN GEMPE, P.E.

CHECKED BY: SPECIALTY STRUCTURAL ENGINEER

DATE: 8/20/2018

SCALE: 1/2" = 1'-0"

PROJECT NO.: 18008

DATE: 4/17/23

DESIGNER: JHT

DATE: 4/17/23

DESIGNER: DVS

PROJECT NO.: 18008

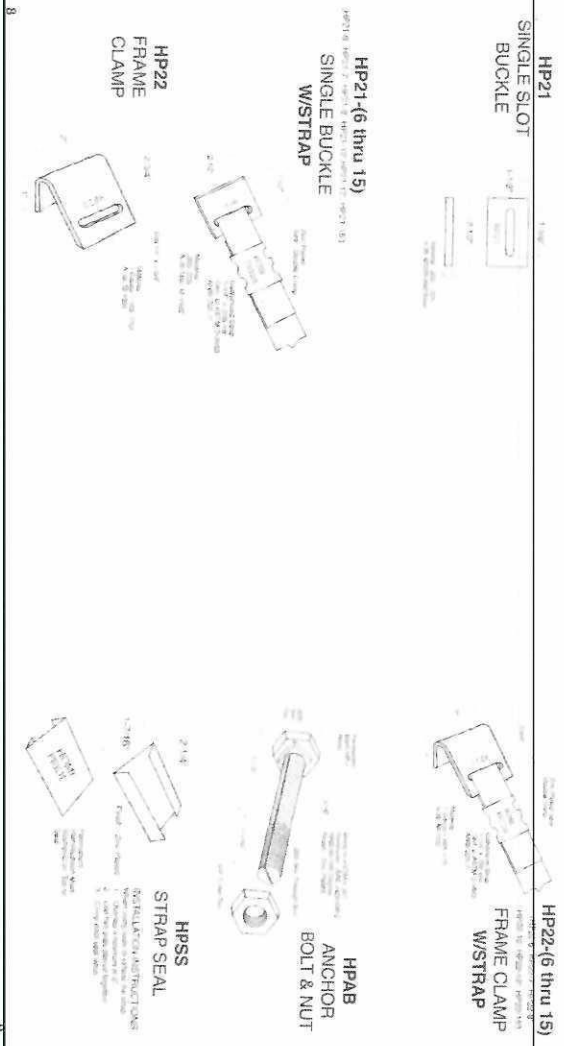
DATE: 4/17/23

DESIGNER: JHT

DATE: 4/17/23

DESIGNER: DVS





AREA FOR APPROVAL STAMPS

PROJECT: UTILITY SHED

PRODUCT OUR SHEETS

DON VAN GERWE, P.E.
SPECIALTY STRUCTURAL ENGINEER
890-500-9480

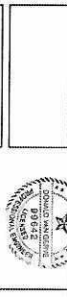


ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317-BST STATE LINE ROAD
SOUTH FULTON, IN 46257
WWW.PREMIERBUILDINGS.US

| REVISION | DESCRIPTION | DATE | BY |
|----------|-------------|------|----|
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |

DATE: 4/17/23
PROJECT NO.: 18009
DRAWING DWG: JT
CWE BY: DW

DWG NO.: **A-9**





AGENDA MEMO

Business of the City Council City of Sweeny, Texas

| | | | |
|---|--|---------------------|--------------|
| Meeting Date | 12/17/20204 | Agenda Items | |
| Approved by City Manager | | Presenter(s) | Karla Wilson |
| Reviewed by City Attorney | | Department | Finance |
| Subject | Waste Connections contractual CPI and fuel increase requests | | |
| Council Strategic Goals | Letter from Waste Connections re: Annual Rate Adjustment | | |
| Attachments / Supporting documents | | | |
| Financial Information | Expenditure Required: | N/A | |
| | Amount Budgeted: | N/A | |
| | Account Number: | | |
| | Additional Appropriation Required: | | |
| | Additional Account Number: | | |

Executive Summary

The City currently contracts with Waste Connections for residential and commercial garbage services. The contract stipulates that the rate increases may be requested by Waste Connections based on the Consumer Price Index and on fuel costs. Waste Connections is requesting a CPI increase adjustment of 3.8% and a fuel adjustment of 1.41% for a total rate adjustment of 5.21%, effective January 1, 2025.

Recommended Action

Motion to accept a rate adjustment, effective January 1, 2025, of 3.8% to reflect an annual CPI increase and 1.41% to reflect an annual fuel cost increase for a total increase of 5.21% to our current residential and commercial garbage rates as billed by Waste Connections, with proportionate increases to City customer garbage billing rates.



WASTE CONNECTIONS INC.
Connect with the Future®

October 28, 2024
City of Sweeny
Attn: City Manager
102 West Ashley Wilson road
Sweeny, Texas 77408

RE: Annual Rate Adjustment

Dear City Manager

Waste Connections would like to sincerely thank you for the great opportunity we have had to serve the citizens and community of Sweeny. We thoroughly enjoy and appreciate the relationship between Waste Connections and the City of Sweeny.

Each year we evaluate the CPI-U, PADD-3 fuel prices, and costs per our contract with the city. This year the CPI-U adjustment is 3.8% and the fuel adjustment is 1.41% for a total rate adjustment of 5.21%. I have enclosed further details of these adjustments with this letter.

We would like to adjust these rates on the January billing cycle.

Should you have any questions or concerns regarding this adjustment or anything else, please feel free to contact me at the office at 281-331-0810.

Best Regards,

Zachary Ryan
District Manager
Waste Connections of TX
Zachary.Ryan@wasteconnections.com

| Rate Adjustment | Percentage Increase |
|---|--|
| Fuel | 1.41% **See tab Fuel for supporting documentation |
| CPI-U | 3.80% **See tab CPI-U for supporting documentation |
| Total City of Sweeny Rate Adjustment | 5.21% |

City of Sweeny 1-2025

Residential Cart Service

| | |
|-------------------------|----------|
| Residential 95 gal Cart | \$ 21.21 |
| Extra Cart | \$ 6.12 |
| *Cart replacement | \$ 87.37 |

*Excludes normal wear & tear & stolen carts(must file police report)

City will quote, set up, and bill RESI
 Trash : 1 x week, Monday -blue cart
 Recycle: Every other Thursday -1 green cart
 Extra cart resi (no limit): WC bill- \$60 upfront

Commercial Cart Service

| | |
|------------------------|----------|
| Commercial 95 Gal Cart | \$ 44.26 |
| Extra Cart | \$ 12.15 |

Heavy Trash
 *Monday- Brush, 5 yards
 Saturday- Bulky items, 5 yards
 No C&D or regular trash

*Not to exceed 5ft., 50lbs. & 18 inches in diameter.

Commercial Frontload Rates

| Size | 1x | 2x | 3x | 4x | 5x | Extra PU | Lock |
|------|-----------|-----------|-----------|-----------|-----------|----------|---------|
| 2 | \$ 59.80 | \$ 106.03 | \$ 153.58 | \$ 199.89 | \$ 247.35 | \$ 53.66 | \$ 6.56 |
| 3 | \$ 81.55 | \$ 134.57 | \$ 187.56 | \$ 240.55 | \$ 293.55 | \$ 56.34 | \$ 6.56 |
| 4 | \$ 95.16 | \$ 154.93 | \$ 212.79 | \$ 273.18 | \$ 331.61 | \$ 59.02 | \$ 6.56 |
| 6 | \$ 123.41 | \$ 202.52 | \$ 286.80 | \$ 371.03 | \$ 455.29 | \$ 64.38 | \$ 6.56 |
| 8 | \$ 144.85 | \$ 258.26 | \$ 371.06 | \$ 482.49 | \$ 595.28 | \$ 73.78 | \$ 6.56 |

Commercial Compactor Rates

| Size | 1x | 2x | 3x | 4x | 5x | Delivery |
|------|-----------|-----------|-----------|-----------|-------------|----------|
| 2 | \$ 117.41 | \$ 209.24 | \$ 303.13 | \$ 394.36 | \$ 488.25 | \$90 |
| 3 | \$ 160.96 | \$ 265.59 | \$ 370.21 | \$ 474.84 | \$ 579.47 | |
| 4 | \$ 187.78 | \$ 305.82 | \$ 421.19 | \$ 539.23 | \$ 654.57 | |
| 6 | \$ 246.81 | \$ 399.72 | \$ 566.06 | \$ 732.37 | \$ 898.71 | |
| 8 | \$ 289.72 | \$ 509.72 | \$ 732.37 | \$ 952.37 | \$ 1,175.01 | |

Roll off/ Roll off Compactor Rates

| Rolloff - Trash | Rate/Haul | Deposit |
|-----------------|-----------|-----------|
| 20 yd Open Top | \$ 416.86 | \$ 636.39 |
| 30 yd Open Top | \$ 463.17 | \$ 686.52 |
| 40 yd Open Top | \$ 496.27 | \$ 722.36 |

\$23.67 per ton after 6 tons of disposal

| Roll off Compactor | Rate/Haul |
|--------------------|-----------|
| 28 yd Compactor | \$ 455.97 |
| 30 yd Compactor | \$ 476.40 |
| 35 yd Compactor | \$ 509.51 |
| 40 yd Compactor | \$ 476.40 |
| 42 yd Compactor | \$ 509.51 |

| | | | |
|-----------|-----------------------------------|----|--------------|
| \$ 119.21 | Rental Per month per Container | \$ | 3.98 |
| \$ 171.03 | Delivery Fee per Rolloff Delivery | | Daily Rental |

300052-001 - Residential
 300001-001 - Commercial



AGENDA MEMO

Business of the City Council

City of Sweeny, Texas

| | | | |
|----------------------------------|---|---------------------|--------------------------------------|
| Meeting Date | 12/17/2024 | Agenda Item | |
| Approved by City Manager | | Presenter(s) | Requestor; Sweeny Community Hospital |
| Reviewed by City Attorney | | Department | Developmental Services |
| Subject | Discussion and possible action to requested variance to Ordinance §156.018 A(4)(d) for Illuminated Signage at 305 N McKinney; Sweeny Community Hospital | | |
| Attachments | Variance Request with Supporting Information, EM Signage Drawing | | |
| Financial Information | Expenditure Required: | - | |
| | Amount Budgeted: | - | |
| | Account Number: | - | |
| | Additional Appropriation Required: | - | |
| | Additional Account Number: | - | |

Executive Summary

Contractors for the Sweeny Hospital have submitted plans for lighted signage to the awning of the emergency department. Signage depicted in attached shows the proposed *Emergency* internally illuminated letters to be adhered to the edge of the awning. The illuminated signage will be facing Ross Street (residential property), in which would require a variance by Council for allowance. Chapter 156 of the City’s Code of ordinances states illuminated signs may not be installed **facing** adjacent or adjoining residential areas.

TEXAS ADMINISTRATIVE CODE
 TITLE 25 HEALTH SERVICES
 PART 1 DEPARTMENT OF STATE HEALTH SERVICES
 CHAPTER 133 HOSPITAL LICENSING
 SUBCHAPTER I PHYSICAL PLANT AND CONSTRUCTION REQUIREMENTS
 RULE §133.163 Spatial Requirements for New Construction

- (I) Emergency entry signage. An emergency sign shall be provided at the entry from the public road(s) or street(s) serving the site. The emergency sign at the entry to the site shall be illuminated and connected to the emergency essential electrical system. Additional sign(s) on-site may be required to direct patients to the emergency treatment area entrance when the emergency treatment area is not visible from the site entry. The letters on the entry sign shall be red with a contrasting background, all capitalized, at least eight inches in height, and an arrow indicating direction.

§ 156.046 VARIANCES; City of Sweeny Ordinance

(A) *Application and fee required.* A variance is written approval to depart from the strict application of the provisions of this chapter. Any person, business or other organization desiring to continue to construct, reconstruct, place, install, repair, maintain, relocate, alter or use any sign which does not conform to the provisions of this article may make application to the City Council for a variance to the provisions of this subchapter. The application shall be filed with the City Manager, accompanied by the appropriate fees established by the city, which are set out in the city's fee schedule for each application for variance.

(B) *Standards for variances.* The City Council may approve a variance only if it makes affirmative findings, reflected in the minutes of the City Council's proceedings, as to all of the followings:

- (1) The variance will not authorize a type of sign which is specifically prohibited by this subchapter;
- (2) The variance is not contrary to the goals and objectives outlined by the City of Sweeny's comprehensive plan;
- (3) The variance is not contrary to the public interest; and



AGENDA MEMO

Business of the City Council

City of Sweeny, Texas

(4) Due to special conditions, a literal enforcement of the ordinance would result in unnecessary hardship. Ordinarily, hardship that is self-induced or that is common to other similarly classified properties will not satisfy this requirement. Financial or economic hardship alone will not ordinarily satisfy this requirement.

(5) The spirit and purpose of the ordinance will be observed, and substantial justice will be done.

(C) *Conditions of variances.* The City Council may impose such conditions or requirements in a variance as are necessary in the City Council's judgment to achieve the fundamental purposes of this article. A violation of such conditions or requirements shall constitute a violation of this subchapter. A variance, if granted, shall be for a specific event, use or other application of a business and shall not continue with the property. If a variance is granted and the activity authorized is not substantially underway within six months of the date of approval of the variance, the variance shall lapse and become of no force or effect.

Recommended Action

Council Discretion:

If approving, Council must make affirmative findings per §156.046(B) to be stated in the motion.



CITY OF SWEENY

102 W. Ashley Wilson Rd. • PO Box 248 • Sweeny, Texas 77480 • P: (979) 548-3321 • F: (979) 548-7745

Zoning Application

Please complete each field. Incomplete applications will **not** be accepted.

TYPE OF APPLICATION:

- Zoning Change (from) _____ (to) _____
 - P & Z Variance
 - Special Exception
 - Re-Plat Type: _____
- *Plat Types include: Amending, Replat, Finals
- * All plats require an agenda request

PROJECT INFORMATION:

- Residential
 - Commercial
- Project Name/Owners Name: SCH New Build
- Brazoria County Appraisal District Property ID # 705240
- Project Address/Location: 305 N McKinney
- Subdivision: _____ No. of Lots: 1
- Total Acreage &/or Square Footage: 7.67 acres

Brief Description of Property & Reason for Proposed Request:

Sweeny Community Hospital is requesting a variance to a city ordinance. Per Texas Administrative Code, SCH must have an illuminated emergency sign on the entrance. This will be placed on the awning at the entrance to the emergency department to signify where patients should enter in. It will face Ross street.

When a completed application packet/package has been accepted and reviewed, additional information may be required by staff as a result of the review, therefore it may be necessary to postpone the proposed project and remove it from the scheduled agenda and place it on a future agenda. Zoning Changes are charged an advertisement fee of \$250.00 + an administrative fee of \$15.00 for a total of \$265.00. Additional fees assessed for additional pages. Re-plats/Mylars can only be accepted the 1st thru the 5th business day of the each month.

PROPERTY OWNER'S INFORMATION:

Name: _____

Address: 305 N McKinney

City: Sweeny State: Texas Zip: 77480

Phone: 9795481500 Fax: _____

Email: _____

APPLICANT OR AGENT'S INFORMATION:

Name: Kari Schroeter


Address: 305 N McKinney

City: Sweeny State: Texas Zip: 77480

Phone: _____ Fax: _____

Email: KSchroeter@SweenyHospital.org

****Property owner must be the current owner of the property at the time of submittal of the application, and not the party that has the property under contract.**
 As owner and applicant, I hereby request approval of the above described request as provided for by The City of Sweeny.

**Owner's Signature:  Date: 12/4/2024

Agent's/Applicant's Signature: _____ Date: _____

OFFICE USE ONLY:

Date Received: 12/4/24 Amount Collected: _____ City Representative: jm



CITY OF SWEENY

102 W. Ashley Wilson Rd. • PO Box 248 • Sweeny, Texas 77480 • P: (979) 548-3321

The following will be used to request an item to be placed on the agenda with the Sweeny City Council.

Personal Information:

Name: Sweeny Community Hospital

Mailing Address: 305 N McKinney, Sweeny, Texas 77480

Physical Address: 305 N McKinney, Sweeny, Texas 77480

Email(s): KSchroeter@SweenyHospital.org

Phone(s): 9795481877 [REDACTED]

Please include specific details of the item you wish to be placed on the agenda.

Sweeny Community Hospital is requesting a variance to a city ordinance. Per Texas Administrative Code, SCH must have an illuminated emergency sign on the entrance. This will be placed on the awning at the entrance to the emergency department to signify where patients should enter in. It will face Ross street.

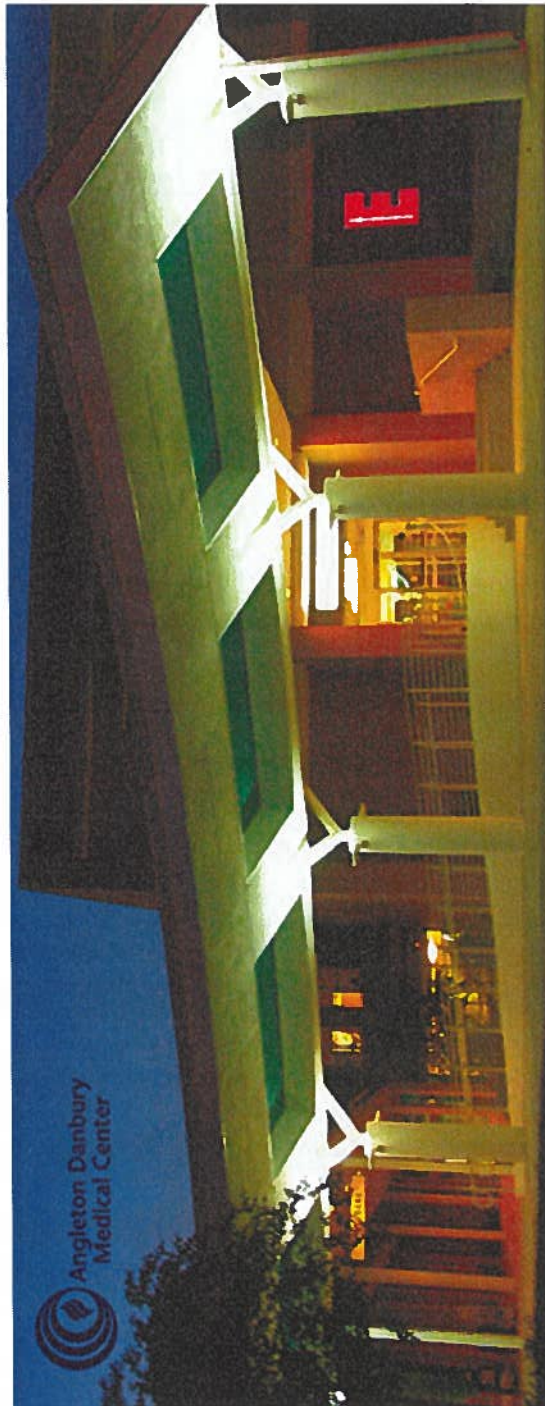
Signature: [Handwritten Signature]

Date: 12/4/2024

Requests must be received by the City Manager by close of business 10 days prior to the scheduled meeting date for placement. Administration and/or their designee reserves the right to delay the item to the following regularly scheduled meeting if it is determined that more time is needed in order to compile information specific to the request.

Once Council has acted on an agenda item; that item cannot be placed on the agenda for a period of six (6) full months. Exception is provided if three members of Council ask that the item be returned early to the agenda, or the Mayor or City Manager determines it is in the interest of the City to do so.





Texas Administrative Code

TITLE 25

HEALTH SERVICES

PART 1

DEPARTMENT OF STATE HEALTH SERVICES

CHAPTER 133

HOSPITAL LICENSING

SUBCHAPTER I

PHYSICAL PLANT AND CONSTRUCTION REQUIREMENTS

RULE §133.163

Spatial Requirements for New Construction

(A) Exhaust hoods shall have an indicator light indicating that the exhaust fan is in operation.

(B) The electrical circuit(s) to equipment in wet areas shall be provided with five milliamperere GFCI.

(f) Emergency suite. This subsection applies to all hospitals (general or special) included under the hospital license, including those licensed as a multiple-location hospital.

(1) Architectural requirements.

(A) Emergency treatment area.

(i) Emergency treatment room. As a minimum requirement, all hospitals shall provide at least one emergency treatment room and facilities to handle emergencies. The room(s) and facilities shall meet the following requirements.

(I) The emergency treatment room for a single patient shall have a minimum clear area of 120 square feet clear floor area exclusive of fixed and movable cabinets and shelves. The minimum clear room dimension exclusive of fixed cabinets and built-in shelves shall be 10 feet. The emergency treatment room shall contain cabinets, medication storage, work counter, examination light, and a hand washing fixture with hands-free operable controls.

(II) When a multiple-bed emergency treatment room is provided, the clearance between the side of a bed/gurney and a wall/partition shall be a minimum of four feet. The clearance between the sides of beds/gurneys shall be a minimum of six feet. The minimum distance at the foot of the bed/gurney shall not be less than seven feet for single load area/room or ten feet for double load area/room. Four feet of the passage space at the foot of the bed may be shared between two beds/gurneys. The multiple-bed emergency treatment room shall contain cabinets, medication storage, work counter, examination light, and a hand washing fixture with hands-free operable controls. The fixed and movable cabinets and shelves shall not encroach upon the bed/gurney clear floor space/area. The requirements of this subclause are illustrated in Table 8, Diagram C of §133.169(h) of this title.

(III) One hand washing fixture with hands-free operable controls shall be provided for each bed/gurney location. One hand washing fixture may serve two beds/gurneys if distributed appropriately between the two.

(IV) Storage space shall be provided within the room or suite and be under staff control for general medical-surgical emergency supplies and medications. Adequate space shall be provided for emergency equipment such as emergency treatment trays, ventilator, defibrillator, splints, cardiac monitor, etc.

(V) Locked storage space shall be provided for drugs and an area for preparation of medication with a work counter, refrigerator, and hand washing fixture with hands-free operable controls.

(VI) An alcove shall be provided for stretcher and wheelchair storage. The storage shall be located out of the line of traffic.

(VII) Patient toilet room(s) shall be provided and shall be convenient to treatment rooms, examination rooms, and holding rooms, and a hand washing fixture with hands-free operable controls.

(VIII) In a special hospital, comprehensive medical rehabilitation hospital, or pediatric and adolescent hospital, the emergency treatment room and facilities may be located anywhere in the hospital.

(ii) Additional requirements for a general hospital. Except for comprehensive medical rehabilitation hospitals and pediatric and adolescent hospitals that generally provide care that is not administered for or in expectation of compensation, a general hospital shall also meet the following requirements.

(I) Emergency entry signage. An emergency sign shall be provided at the entry from the public road(s) or street(s) serving the site. The emergency sign at the entry to the site shall be illuminated and connected to the emergency essential electrical system. Additional sign(s) on-site may be required to direct patients to the emergency treatment area entrance when the emergency treatment area is not visible from the site entry. The letters on the entry sign shall be red with a contrasting background, all capitalized, at least eight inches in height, and an arrow indicating direction.

(II) Entrances. Separate ambulance and pedestrian entrances at grade level shall be well-illuminated, identified by signs, and protected from inclement weather. The ambulance entry shall have a drive under canopy for protection from inclement weather. The emergency access to permit discharge of patients from automobile and ambulances shall be paved. Parking shall be provided near and convenient to the pedestrian entrance.

(III) Control station. A registration, reception, discharge or control station shall be located to permit staff observation and control of access to treatment room(s), pedestrian and ambulance entrances, and public waiting area(s). When a dedicated triage space is provided, it shall include a counter with a hand washing fixture with hands-free operable controls.

(IV) Public waiting room. A public waiting room shall be provided.

(V) Public facilities. Toilet facilities, public telephone(s), and drinking fountain(s) shall be provided for the exclusive use of the waiting room.

(VI) Diagnostic radiographic (X-ray) room. Imaging facilities for diagnostic services shall be readily available to the emergency suite. If a separate radiographic (X-ray) room is installed within the emergency suite, it shall comply with the requirements in subsection (I)(1)(A) of this section. When the diagnostic X-ray room is exclusively used for the emergency treatment area, the dressing rooms may be omitted.

(VII) Laboratory unit. Laboratory services shall be made available to the emergency suite. If a separate laboratory workroom is installed within the emergency suite, it shall comply with the requirements in subsection (n)(1)(C)(i) of this section. All laboratory services provided on site or by contractual arrangement shall comply with §133.41(h) of this title (relating to Hospital Functions and Services).

(VIII) Medical staff work area and charting area(s). A medical staff work area and charting area(s) shall be provided. The area may be combined with the reception and control area.

(IX) Clean storage room. A clean storage room shall be provided for clean supplies, linens and medications as needed. A hand washing fixture shall be provided with hands-free operable controls.

(X) Soiled workroom. The workroom shall contain a work counter, a clinical sink or equivalent flushing type fixture, hand washing fixture with hands-free operable controls, waste receptacles, and soiled linen receptacles.

(XI) Housekeeping room. The housekeeping room shall contain a floor receptor or service sink, storage space for housekeeping supplies and equipment, and be located within the suite. When automatic film processors are used, a receptacle of adequate size with hot and cold water for cleaning the processor racks shall

be provided.

(XII) Staff toilets. Toilets may be outside the suite but shall be convenient for staff use and include hand washing fixtures with hands-free operable controls. When a department has four or more treatment or examination rooms, toilet facilities shall be in the suite.

(iii) Other rooms. If a hospital provides the following rooms, the rooms shall meet these requirements.

(I) Examination room. When provided, the examination room for a single patient shall have a minimum clear area of 100 square feet clear floor area exclusive of fixed and movable cabinets and shelves. The minimum clear room dimension exclusive of fixed cabinets and built-in shelves shall be 9 feet. The examination room shall contain cabinets, medication storage, work counter, examination light, and a hand washing fixture with hands-free operable controls.

(II) Multi-bed examination room. In a multiple-bed examination room the clearance between the side of the bed/gurney and a wall/partition shall be a minimum of three feet. The clearance between sides of the beds/gurneys shall be a minimum of six feet. The minimum distance at the foot of the bed/gurney shall not be less than seven feet for single load area/room or ten feet for double load area/room. Four feet of the passage space at the foot of the bed may be shared between two beds/gurneys. The multiple-bed examination room shall contain cabinets, work counters, and a hand washing fixture with hands-free operable controls. One hand washing fixture shall be provided for every four beds/gurneys or fraction thereof. Fixtures shall be uniformly distributed. The fixed and moveable cabinets and shelves shall not encroach upon the bed/gurney clear floor space/area.

(III) Isolation room. The need for an airborne infection isolation room in the emergency suite shall be determined by the hospital and the infection risk assessment. When the hospital provides treatment rooms to perform procedures on persons who are known or suspected of having an airborne infectious disease, these procedures shall be performed in a designated treatment room meeting airborne infection isolation ventilation requirements. The isolation room shall have functional space in accordance with clause (i)(I) of this subparagraph, and meet the ventilation requirements contained in Table 3 of §133.169(c) of this title.

Cont'd...

[Next Page](#)

[Previous Page](#)

List of Titles

Back to List

HOME

TEXAS REGISTER

TEXAS ADMINISTRATIVE CODE

OPEN MEETINGS

Texas Administrative Code

TITLE 25

HEALTH SERVICES

PART 1

DEPARTMENT OF STATE HEALTH SERVICES

CHAPTER 133

HOSPITAL LICENSING

SUBCHAPTER I

PHYSICAL PLANT AND CONSTRUCTION REQUIREMENTS

RULE §133.163

Spatial Requirements for New Construction

(a) Administration and public suite.

(1) Architectural requirements. The following rooms or areas shall be provided.

(A) Primary entrance. An entrance at grade level shall be accessible and protected from inclement weather with a drive under canopy for loading and unloading passengers.

(B) Lobby. A main lobby shall be located at the primary entrance and shall include a reception and information counter or desk, waiting space(s), public toilet facilities, public telephones, drinking fountain(s), and storage room or alcove for wheelchairs.

(C) Admissions area. An admissions area shall include a waiting area, work counters or desk, private interview spaces, and storage room or alcove for wheelchairs. The waiting area and wheelchair storage may be shared with similar areas located in the main lobby. The admission area may be omitted if exclusive bedside registration is used.

(D) General or individual office(s). Office space shall be provided for business transactions, medical and financial records, and administrative and professional staffs.

(E) Multipurpose room(s). Room(s) shall be provided for conferences, meetings, and health education purposes including provisions for showing visual aids.

(F) Storage. Storage for office equipment and supplies shall be provided. The construction protection for the storage room or area shall be in accordance with the National Fire Protection Association 101, Life Safety Code, 2003 edition (NFPA 101), §18.3.2. All documents published by the NFPA as referenced in this section may be obtained by writing or calling the NFPA at the following address and telephone number: Post Office Box 9101, 1 Batterymarch Park, Quincy, Massachusetts 02269-9101, (800) 344-3555; the NFPA website address is <http://catalog.nfpa.org>.

(2) Details and finishes. Details and finishes shall be in accordance with §133.162(d)(2) of this title (relating to New Construction Requirements).

(3) Mechanical requirements. Mechanical requirements shall be in accordance with §133.162(d)(3) of this title.

(4) Piping systems and plumbing fixtures. Piping systems and plumbing fixtures shall be in accordance with §133.162(d)(4) of this title.

(5) Electrical requirements. Electrical requirements shall be in accordance with §133.162(d)(5) of this title.

(b) Cart cleaning and sanitizing unit.

(1) Architectural requirements.

(A) Cart cleaning, sanitizing and storage facilities shall be provided for carts serving central services, clinical services, and linen services.

(B) Cart facilities may be provided for each service or be centrally located.

(C) Hand washing fixtures shall be provided in cart cleaning, sanitizing and storage areas.

(2) Details and finishes. When interior cart cleaning facilities are provided, details and finishes shall be in accordance with §133.162(d)(2) of this title and this paragraph.

(A) Flooring in the cart cleaning and sanitizing unit shall be of the seamless type, or ceramic or quarry tile as required by §133.162(d)(2)(B)(iii)(III) or (IV) of this title.

(B) Ceilings in the cart cleaning and sanitizing unit shall be the monolithic type as required by §133.162(d)(2)(B)(vi)(III) of this title.

(3) Mechanical requirements. Mechanical requirements shall be in accordance with §133.162(d)(3) of this title.

(4) Piping systems and plumbing fixtures. Piping systems and plumbing fixtures shall be in accordance with §133.162(d)(4) of this title and this paragraph.

(A) Hand washing fixtures shall be provided with hot and cold water. Hot and cold water fixtures shall be provided in cart cleaning and sanitizing locations regardless of whether or not they are interior or exterior.

(B) Where floor drains or floor sinks are installed, they shall be of a type that can be easily cleaned by removal of the cover. Removable stainless steel mesh shall be provided in addition to a grilled drain cover to prevent entry of large particles of waste which might cause stoppages. Floor drains and floor sinks shall be located to avoid conditions where removal of covers for cleaning is difficult.

(5) Electrical requirements. Electrical requirements shall be in accordance with §133.162(d)(5) of this title.

(c) Central sterile supply suite.

(1) Architectural requirements.

(A) General. When obstetrical or surgical services are provided, the following rooms or areas shall be provided.

(i) Decontamination room. This room shall be physically separated from all other areas of the suite. The room shall include work counters or tables, flush type utility sink, equipment for initial disinfection, and hand washing facilities with hands-free operable controls. Materials shall be transferred from the decontamination room to the clean assembly room by way of pass-through doors, windows or washer equipment. The dirty side of the decontamination room may be combined with a soiled utility room if all functions for each space are provided within the room.

(ii) Clean and assembly room. The room shall include counters or tables, equipment for sterilizing and hand washing facilities with hands-free operable controls. Clean and soiled work areas shall be physically separated.

(iii) Breakdown storage room. A storage room for breakdown of supplies shall be provided. The storage room shall have adequate areas and counters for breakdown of prepackaged supplies.

(iv) Sterile and clean supply room. A sterile and clean supply room shall be provided. Storage of sterile and clean supplies shall not occur within the breakdown room.

(v) Equipment storage. An equipment storage room shall be provided.

(vi) Cart storage room. The storage room for distribution carts shall be adjacent to clean and sterile storage areas and close to main distribution points.

(vii) Multipurpose room. The equipment storage and cart storage room can be combined into a multipurpose room.

(B) Service areas. The central supply suite shall provide the following.

(i) Office space. Office space for director of central services.

(ii) Staff toilets. Facilities may be outside the unit but must be convenient for staff use and shall contain hand washing fixtures with hands-free operable controls.

(iii) Locker room. When provided, the locker room for staff shall include lockers, toilets, lavatories, showers, and male and female dressing rooms or cubicles. A central changing locker room may be shared and made available within the immediate area of the central sterile supply suite.

(iv) Housekeeping room. A housekeeping room shall be provided and contain a floor receptor or service sink and storage space for housekeeping supplies and equipment. The housekeeping room shall be located on the decontamination/soiled side of the central sterile supply suite.

(2) Details and finishes. Details and finishes shall be in accordance with §133.162(d)(2) of this title and this paragraph.

(A) Details. Mirrors shall not be installed at hand washing fixtures in clean and sterile supply areas.

(B) Finishes.

(i) Flooring used in the decontamination room and the clean assembly room shall be of the seamless type as required by §133.162(d)(2)(B)(iii)(III) of this title.

(ii) Ceilings in the decontamination room, clean assembly room, and supply storage room shall be the monolithic type in accordance with §133.162(d)(2)(B)(vi)(III) of this title.

(3) Mechanical Requirements. Mechanical requirements shall be in accordance with §133.162(d)(3) of this title and this paragraph.

(A) The sterile supply room and the clean and assembly room shall include provisions for ventilation, humidity, and temperature control.

(B) When provided, installations of ethylene oxide (EO) sterilizers shall comply with the requirements of 30 TAC §106.417 (relating to Ethylene Oxide Sterilizers), administered by the Texas Commission on Environmental Quality (TCEQ), and the following requirements.

(i) All source areas shall be exhausted, including the sterilizer equipment room, service and aeration areas, over sterilizer door, and the aerator. If the EO cylinders are not located in a well-ventilated unoccupied equipment space, an exhaust hood shall be provided over the cylinders. The relief valve shall be terminated in a well-ventilated, unoccupied equipment space, or outside the building.

(ii) General airflow shall be away from sterilizer operators and towards the sterilizers.

Cont'd...

List of Titles

Back to List

Item 14.

HOME

TEXAS REGISTER

TEXAS ADMINISTRATIVE CODE

OPEN MEETINGS



Proposal Drawing
 Final Drawing

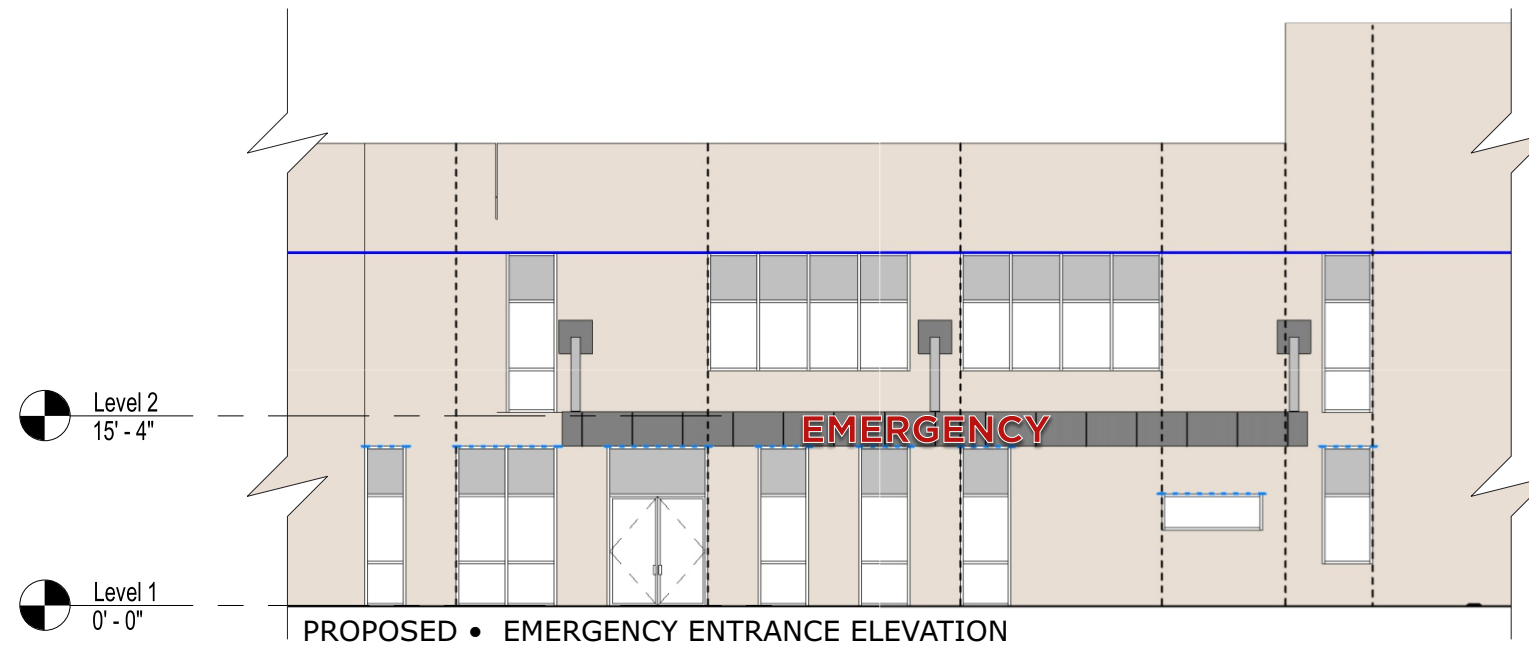
Client: Sweeny Comm. Hosp.
 Location:
 305 N. McKinney St.
 Sweeny, TX 77480
 Salesperson: Peter Schirra
 Prj. Mngr.: Peter Schirra
 Date: 02/27/2023
 Designer: Michael Reta
 File Name: 79639 R2
 Sweeny Community
 Hospital [ground signs].cdr
 Proposal #: 79639-R2
 Job #: n/a

Revisions (M/D/Y)-(initials): desc.
 Note:

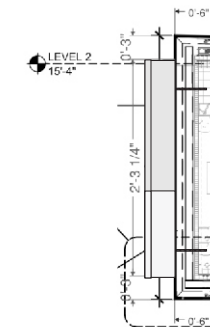
Scope of Work:

Manufacture and install set of internally illuminated channel letters.

- 1/8" #2793 Red acrylic letter faces.
- 1" Trim-cap [white].
- .040" x 5" deep aluminum returns [pre-finished white].
- Red LED illumination.



PROPOSED • EMERGENCY ENTRANCE ELEVATION



D

INTERNALLY ILLUMINATED CHANNEL LETTERS

QTY: ONE (1)

Scale: 3/8" = 1'-0"

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____



TDLR: 18010 • MET: E113766

Corporate Office
 5003 Stout Drive
 San Antonio, TX 78219
 (210) 341-7244

Dallas
 2703 Mockingbird Lane
 Dallas, TX 75235
 (972) 870-1594

Houston
 7630 Hansen Road
 Houston, TX 77061
 (713) 943-1831

Austin
 11209 Conroy Ln.
 Austin, TX 78652
 (512) 374-9300

Tyler
 2971 Elkton Trail
 Tyler, TX 75703
 (903) 561-4995



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AGENDA MEMO

Business of the City Council
City of Sweeny, Texas

| | | | |
|---|--|---------------------|-----------------------------------|
| Meeting Date | 12/17/2024 | Agenda Items | |
| Approved by City Manager | | Presenter(s) | Administration; Owners 605 N Main |
| Reviewed by City Attorney | | Department | Developmental Services |
| Subject | Discussion and possible action for needs of completion of project at 605 N Main. | | |
| Attachments / Supporting documents | LNO DD | | |
| Financial Information | Expenditure Required: | N/A | |
| | Amount Budgeted: | N/A | |
| | Account Number: | | |
| | Additional Appropriation Required: | | |
| | Additional Account Number: | | |

Executive Summary

Update and discussion on the current needs of the convenience store located at 605 N Main. Owner and/or owners associate will be in attendance for further discussion.

TxDot has confirmed the hydraulic approval for updated plans. They are still waiting on their time extension to be approved as their permit is expired.

LNO has been issued by the Drainage District of proposed revisions.

Item mainly for discussion only.

Recommended Action

Council Discretion

WEST BRAZORIA COUNTY DRAINAGE DISTRICT PRE-CONSTRUCTION LETTER OF NO OBJECTION

PROJECT NAME AND LOCATION: Milt’s Mini Mart, 605 North Main, Sweeny, TX 77480

BRIEF DESCRIPTION OF PROJECT: New Convenience store and Gas Station to replace old facility.

APPLICANT AND CONTACT INFORMATION (including email) Makmo Design LLC, 86 Zenith Lane, Sugar Land, TX 77498 832-231-7047 Ashley Rice, Engineer

OWNER NAME AND ADDRESS: Sohil Maredia, Navroj Business, 605 N. Main, Sweeny, TX 77480, 832-270-1710

CONDITIONS:

1. Maintenance of all detention facilities and on-site drainage structures and ditches is the responsibility of the owner/operator of the facility.
2. Drainage improvements must begin in the initial phase of construction.
3. Use of this Letter of No Objection for obtaining construction permits must be exercised within 6 months of the date herein. In order to secure final approval, submit this letter, along with construction plans to David Jordan, City Manager, City of Sweeny
4. During connection of down spouts to detention pond, contact John Richers 979-285-8564

POST CONSTRUCTION Letter of No Objection must be obtained with 30 days of completion of construction. At least one week notice must be given to the West Brazoria County Drainage District prior to the need for the final inspection.

AUTHORIZATION:

Randy L. Stroud, P. E. 50839 Firm No F-572, District Engineer

201 South Velasco
Angleton, TX 77515
979-248-0620

Randy L. Stroud, P.E.
Signature

Date: 12-12-2024

COPIES TO:

- Applicant- Makmo Design
- Michael Bendit, District Accountant
- Natalie Broaddus, District’s Attorney
- Section Director- John Richers
- Appropriate Building Official- David Jordan
- P. T. Brunner



AGENDA MEMO

Business of the City Council City of Sweeny, Texas

| | | | |
|---|--|---------------------|------------------------|
| Meeting Date | 12/17/2024 | Agenda Items | |
| Approved by City Manager | | Presenter(s) | |
| Reviewed by City Attorney | | Department | Developmental Services |
| Subject | Discussion and possible action on re-plat of 2.2974 acres within the Extra Territorial Jurisdiction (ETJ). | | |
| Attachments / Supporting documents | Agenda Request; Re-plat | | |
| Financial Information | Expenditure Required: | N/A | |
| | Amount Budgeted: | N/A | |
| | Account Number: | | |
| | Additional Appropriation Required: | | |
| | Additional Account Number: | | |

Executive Summary

Replat to combine two properties making a 2.2974 acre tract. The proposed replat is located within the City’s ETJ on C.R. 409. This replat is to combine 0.2874 acres and 2.01 acres into one lot, known as lot 1, a 2.2974 acre tract.

Legal description: ARCH MCDONALD SD TR 6-7-11-12 (A0046 C Breen) Lot 13 & ARCH MCDONALD (A0046 C Breen) Lot 2A-3A-3A2 (Rainbow Ridge Unrcd)

HB 3167 allows for 30 days to approve or deny with written explanation as to rejection reasoning.

Recommended Action

Recommendation to approve replat of 2.2974 acres located within the City of Sweeny’s Extra Territorial Jurisdiction (ETJ).

IF APPROVED, Mylars will need to be signed by all Council members.



CITY OF SWEENEY

Rev. 0 (4/2/2020)

102 W. Ashley Wilson Rd. • PO Box 248 • Sweeny, Texas 77480 • P: (979) 548-3321 • F: (979) 548-7745

Zoning Application

Please complete each field. Incomplete applications will not be accepted.

TYPE OF APPLICATION:

- Zoning Change (from) _____ (to) _____ *Plat Types include: Amending, Replat, Finals
- P & Z Variance
- Special Exception
- Re-Plat Type: _____ * All plats require an agenda request

PROJECT INFORMATION:

Residential
 Commercial

Project Name/Owners Name: Mary Susan Salyer
 Brazoria County Appraisal District Property ID # 182395
 Project Address/Location: C.R. 409
 Subdivision: _____ No. of Lots: _____
 Total Acreage &/or Square Footage: _____

Brief Description of Property & Reason for Proposed Request:

Surveyed 2.2974 out of 42.4077 acres

When a completed application packet/package has been accepted and reviewed, additional information may be required by staff as a result of the review, therefore it may be necessary to postpone the proposed project and remove it from the scheduled agenda and place it on a future agenda. Zoning Changes are charged an advertisement fee of \$250.00 + an administrative fee of \$15.00 for a total of \$265.00. Additional fees assessed for additional pages. Re-plats/Mylars can only be accepted the 1st thru the 5th business day of the each month.

PROPERTY OWNER'S INFORMATION:

Name: Mary Susan Salyer
 Address: _____
 City: Sweeny State: TX Zip: 77480
 Phone: _____
 Email: _____

APPLICANT OR AGENT'S INFORMATION:

Name: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Phone: _____ Fax: _____
 Email: _____

****Property owner must be the current owner of the property at the time of submittal of the application, and not the party that has the property under contract.**
 As owner and applicant, I hereby request approval of the above described request as provided for by The City of Sweeny.

**Owner's Signature: Susan Salyer Date: 11-13-2024
 Agent's/Applicant's Signature: _____ Date: _____

OFFICE USE ONLY:

Date Received: _____ Amount Collected: _____ City Representative: _____



CITY OF SWEENY

102 W. Ashley Wilson Rd. • PO Box 248 • Sweeny, Texas 77480 • P: (979) 548-3321 • F: (979) 548-7745

The following will be used to request an item to be placed on the agenda with the Sweeny City Council.

For Replat Items Only

Personal Information:

Name: Mary Susan Salyer

Mailing Address: [REDACTED]

Physical Address: Sweeny, TX 77480

Email(s): [REDACTED]

Phone(s): _____

Please include specific details of the item you wish to be placed on the agenda.

Had a survey ordered for 2.2974 acres out of larger plat of 42.4077 acres off of CR 409 for Replat.
Survey has been orderd by Doyle and Wachstetter and mylar copies will be provided prior to council meeting.

Signature: Susan Salyer Date: 11-13-2024

Requests must be received by the City Manager by close of business 10 days prior to the scheduled meeting date for placement. Administration and/or their designee reserves the right to delay the item to the following regularly scheduled meeting if it is determined that more time is needed in order to compile information specific to the request.

Once Council has acted on an agenda item; that item cannot be placed on the agenda for a period of six (6) full months. Exception is provided if three members of Council ask that the item be returned early to the agenda, or the Mayor or City Manager determines it is in the interest of the City to do so.



AGENDA MEMO

Business of the City Council City of Sweeny, Texas

| | | | |
|---|---|---------------------|-----------------------------------|
| Meeting Date | 12/17/2024 | Agenda Items | |
| Approved by City Manager | | Presenter(s) | Administration/Finance |
| Reviewed by City Attorney | | Department | Beautification Committee/ Finance |
| Subject | Discussion and possible action to approve Resolution 24-118 designating official bank signatories of the Sweeny Beautification Committee. | | |
| Council Strategic Goals | Government Sustainability; Protecting the City's Financial Integrity | | |
| Attachments / Supporting documents | Resolution 24-118; SBC Minutes | | |
| Financial Information | Expenditure Required: | N/A | |
| | Amount Budgeted: | N/A | |
| | Account Number: | | |
| | Additional Appropriation Required: | | |
| | Additional Account Number: | | |

Executive Summary

The City's most recently adopted financial policy requires all signors on City accounts to be approved by Resolution; Section I(E) & Section XII (A)(2).

Attached Resolution, 24-118, reflects the updated signatories for the Sweeny Beautification Committee, and are additionally listed below.

- Ashley Rambo
- Sanci Kennedy
- Erica Landriault
- J'Cee Winchester
- Karla Wilson- City's Finance Director

Recommended Action

To approve Resolution 24-118 designating the official bank signatories of the Sweeny Beautification Committee.

RESOLUTION NO. 24-118

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SWEENY, BRAZORIA COUNTY, TEXAS, AUTHORIZING AND DESIGNATING OFFICIAL BANK SIGNATURES OF THE SWEENY BEAUTIFICATION COMMITTEE; AND FINDING FACT.

WHEREAS, the Sweeny Beautification Committee has a duly authorized bank account located at the First State Bank of Louise, which maintains a branch location in Sweeny, Texas; and

WHEREAS, the Sweeny Beautification Committee is a committee of the City of Sweeny, Texas, which has authorized the bank account under the authority and terms of the City of Sweeny Financial Policy; and

WHEREAS, the City of Sweeny desires to designate persons who are authorized to sign the disbursements and take any other action necessary to deal with the account located at said bank; and

WHEREAS, the City Council is now convened in Open Session;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL

OF THE CITY OF SWEENY, TEXAS:

SECTION ONE (1):

The recitals of fact and findings above are found to be true and correct and that it is in the best interest of the City of Sweeny to adopt this Resolution.

SECTION TWO (2):

The City of Sweeny hereby designates the following individuals to sign on the Sweeny Beautification Committee account located at the First State Bank of Louise.

Name – ASHLEY RAMBO

Signature

Name – SANCI KENNEDY

Signature

Name – ERICA LANDRIAULT

Signature

Name – J’CEE WINCHESTER

Signature

Name- KARLA WILSON; CITY OF SWEENY’S FINANCE DIRECTOR

Signature

Section Three (3):

The authority conferred upon the above named Agents shall be and remain in full force and effect until written notice of any amendment or revocation thereof shall have been delivered to the Financial Institution at the location where an account is maintained.

Section Three (3):

This resolution shall serve as a certification that the Resolution now stands of record on the books of the City and that it is full force and effect and has not been modified in any manner.

PASSED AND ADOPTED, this the 17th day of December, A. D. 2024.

DUSTY HOPKINS, MAYOR OF THE
CITY OF SWEENY, TEXAS

ATTEST:

KAYDI SMITH, CITY SECRETARY,
CITY OF SWEENY, TEXAS

Minutes: October 3, 2024

ATTENDANCE: Ashley Rambo, Joanna Rambo, Candice Byers, Sancu Kennedy, Erica Landriault, J'Cee Winchester, Ellen Farley, Melanie Mullins, Starr Fitch, Shelby Hinds

TREASURER'S REPORT: **\$23,088.36**

Motion made by Ashley and seconded by Erica to approve the previous minutes from September 5, 2024. All in favor. Motion carried.

BUSINESS:

SWEAR IN ELECTED 2025 OFFICERS:

- President: Sancu
- Vice President: Ashley
- Secretary: Joanna
- Treasurer: Erica
- Co-treasurer: J'Cee
- Motion made by Joanna and seconded by Starr to add Sancu, Erica, and J'Cee to the bank account and to remove Joanna.
 - All in favor. Motion carried.

BY-LAWS:

- Motion made by Erica and seconded by J'Cee to adopt the by-laws and standing rules that were approved at the last meeting.
 - All in favor. Motion carried.

FARMERS MARKET:

- City council has approved for us to use the lot next to city hall to hold farmer's markets on November 9, 2024 and April 5, 2025.
- Flyer and forms have been posted on Facebook for November 9.

FALL RECYCLING CONTEST:

- Flyers and guidelines were given to faculty at Sweeny Elementary and classrooms have begun working on entries.
- Judges needed – discussion about getting someone from city council to judge for us.

FALL SWEEP CLEANUP:

- Saturday, October 19, 2024
- 8am – 10:30am
- Gazebo Park
- Water to be provided by P66

HALLOWEEN IN THE PARK:

- Beautification will have a booth at the event.
 - Starr, Erica, Sancu, and J'Cee will be working the booth.

HALLOWEEN 5K:

- Saturday, October 26, 2024 (Chairperson: Melanie)
- Begins at 8:30am
- Gazebo Park
- Motion made by Joanna and seconded by Erica to approve a \$125 budget for Halloween 5k.
 - All in favor. Motion carried.
- Melanie has the flyer prepared and plans on using a digital signup.
 - Ashley is waiting on response from the city about linking our bank account for the signups.

HALLOWEEN DANCE:

- Friday, October 25, 2024 (Chairperson: Ellen)
- 6 – 9pm, setup begins at 5pm
- Methodist Church Family Life Center

FALL BAKE SALE:

- Thursday, November 21, 2024
- 9:30 am – 2pm
- Bulldog Cafe

MAIN STREET CLEANUP:

- Saturday, November 16, 2024
- 8am – 10:30am
- Gazebo Park
- Water to be provided by P66; Breakfast to be provided by CPChem

LIBRARY ART MURAL:

- Estimating costs for paint, artist, etc.
- Deliverance Painting has agreed to consult the artist for exterior painting

CHRISTMAS IN THE PARK:

- Sponsorship letters have been sent out to local businesses
 - P66 has done a gold level sponsorship and will be paying for the petting zoo again
- Chairpersons are as follows:
 - Parade: Erica with help from J’Cee
 - Vendors: Candice
 - Walk of Trees: Candice with help from Ellen, Erica, and Melanie
 - Entertainment: Nicky
 - Children’s Entertainment: Sancı
 - Beautification Booth: Starr and Sancı as co-chairs

Meeting adjourned at 6:43 pm

NEXT MEETING: NOVEMBER 7, 2024

Respectfully Submitted,

Joanna Rambo

Joanna Rambo, Secretary

Kaydi Smith

From: John Rambo
Sent: Friday, November 8, 2024 2:35 PM
To: Kaydi Smith; David Jordan; Dusty Hopkins
Subject: Agenda Request for 11/19/24 meeting

Follow Up Flag: Follow up
Flag Status: Completed

Can I get Susan Pollock's home on Mac dr. on the agenda please, I'll try to make it a brief discussion.

I've spoken to David about this a few times about the city potentially entering a contract with Susan to have the city demo her house and she would agree to reimburse the city. David expressed to me the lack of cash flow and I totally understand the situation, I've communicated this to Susan and she understands and would feel better if we could at the very least get the ball rolling on the "paperwork " and any formal stuff so if and when the funds become available, hopefully then expedite the demo process.

This agenda request is to basically share this info with the other council members, gather their thoughts and opinions and hopefully move in a direction that benefits everyone.

Thanks,

John Rambo
City Council Pos. 4
City of Sweeny



AGENDA MEMO

Business of the City Council
City of Sweeny, Texas

| | | | |
|----------------------------------|------------------------------------|---------------------|------------------|
| Meeting Date | 12/17/2024 | Agenda Item | |
| Approved by City Manager | David Jordan | Presenter(s) | Chief Caudle |
| Reviewed by City Attorney | | Department | Code Enforcement |
| Subject | 1007 Mac Dr. | | |
| Attachments | | | |
| Financial Information | Expenditure Required: | | N/A |
| | Amount Budgeted: | | N/A |
| | Account Number: | | |
| | Additional Appropriation Required: | | |
| | Additional Account Number: | | |

Executive Summary

Discuss/Take Action on consideration for demolition of 1007 Mac Dr.

Recommended Action



Sweeny Police Department

Est. 1909 | Home of the Unknown Soldier
123 N. Oak Street | Sweeny, Texas 77480
Dispatch | 979-548-3111 | Office | 979-548-3112
Brad Caudle, Chief of Police



Item 18.

08/12/2024

To whom it may concern,

This letter is written regarding the premises located at 1007 Mac Drive, Sweeny Texas 77480. Upon inspection of said premises I, as the head Law Enforcement Officer for the City of Sweeny and Director over Code Enforcement, has determined the structure to be unfit for human occupancy per International Property Maintenance Code Section 108, subsection 108.1 (Unsafe Structures), 108.1.3 (Structure unfit for human occupancy) and 108.1.5 (Dangerous structure or premises). The structure has been found to be unsafe and dangerous to life, health and safety for the occupants and public. Damage sustained by a large tree has left the structure unsafe, leaving it probable for a partial collapse.

This structure has been found to have severe structural damage throughout and has no gas or power. Gaping holes in the roof and soffits has left the premises unsecure and exposed to the elements for several weeks as well as not being secure from insects and vermin.

This structure has no safe or adequate means of ingress or egress and is clearly unsafe for its use and occupancy. The damage received from the large tree collapsing on the structure constitutes a hazard to any occupants of the structure.

If you have any questions, please don't hesitate to contact me.

Thank you,

Brad Caudle
Chief of Police
Sweeny Police Department
bbcaudle@sweenytx.gov



Sweeny Police Department

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123 N. Oak Street | Sweeny, Texas 77480
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Brad Caudle, Chief of Police



Item 18.

08/12/2024

Susan Pollock
1007 Mac Dr.
Sweeny, Texas 77480

Re: Unsafe Structure at 1007 Mac Dr., Sweeny Texas 77480
LEGAL DESCRIPTION: High School (Sweeny) Lot 18

Dear Sir/Ma'am:

An inspection of the above referenced property was made on 07/25/2024. As a result of this inspection, the condition(s) described on page two were observed.

The condition described is in violation of 150.33 INSPECTION OF BUILDINGS of the Code of Ordinances, which states, The Building Official shall inspect, or cause to be inspected, every building, or portion thereof, reported to be unsafe. If the building, or any portion thereof, is determined to be unsafe, the Building Official shall give the responsible party notice in accordance with the requirements set forth in this subchapter. (Ord. 103-95, passed 10-25-94).

You are hereby given 30 days to comply with said Ordinance.

Your cooperation in this matter is greatly appreciated. If we can be of further assistance to you, or can answer any questions regarding this matter, please contact this office at (979) 548-3112.

Sincerely,

Rodger Larsen
Code Enforcement
CASE# 24-0054



Sweeny Police Department

Est. 1909 | Home of the Unknown Soldier
123 N. Oak Street | Sweeny, Texas 77480
Dispatch | 979-548-3111 | Office | 979-548-3112
Brad Caudle, Chief of Police



Item 18.

International Property Maintenance Code Section 108, Subsection 108.1(Unsafe Structures)

The structure located at the above-named location has been identified as a Dangerous Premise and has been inspected in accordance with the provisions of Chapter 108 of the 2018 International Property Maintenance Code. This comes as a result of a large fallen tree, which was located in the front yard. The tree along with debris caused severe damage. The following violations were found at the time of the inspection:

1. The front door, aisle, passageway, exit and other means of egress do not conform to the approved building code.
2. The walking surface of the aisle, passageway, stairway, exit and other means of egress is so damaged, and torn as to not provide safe and adequate means of egress.
3. The building has been damaged by hurricane force winds and rain (Hurricane Beryl) resulting in a large tree falling into the residence to such an extent that it is likely to partially or completely collapse, or to become detached or dislodged.
4. The exterior of the building is not of sufficient strength or stability, and is not so anchored, attached or fastened in place so as to be capable of resisting natural or artificial loads of one and one-half the original designed value.
5. The building, because of damage, deterioration, is likely to partially or completely collapse, and the foundation or underpinning of the building or structure is likely to fail or give way.
6. The building is clearly unsafe for its use and occupancy.
7. The building or structure is damaged, dilapidated, unsecured and abandoned and has become an attractive nuisance to children who might play in the building or structure to their danger.
8. The building presents a substantial risk of fire, building collapse and threat to life and safety.
9. The building, which was used for dwelling purposes, because of damage, dilapidation, is determined by the code official to be unsanitary, unfit for human habitation and in such a condition that is likely to cause injury, sickness or disease.
10. The building, because of a lack of sufficient or proper fire-resistance-rated construction, fire protection systems, electrical system, fuel connections, mechanical system, and plumbing system, is determined by the code official to be a threat to life or health.
11. The building is abandoned so as to constitute an unattractive nuisance or hazard to the public.



Sweeny Police Department

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Dispatch | 979-548-3111 | Office | 979-548-3112
Brad Caudle, Chief of Police



Item 18.

Date of Inspection: 07/25/2024
Address: 1007 Mac Dr.
Legal: High School (Sweeny) Lot 18

REPORT OF INSPECTION

The structure located at the above-named location has been identified as a Dangerous Premise and has been inspected in accordance with the provisions of Chapter 108 of the 2018 International Property Maintenance Code. This comes as a result of a large fallen tree, which was located in the front yard. The tree along with debris caused severe damage. The following violations were found at the time of the inspection:

1. The front door, aisle, passageway, exit and other means of egress do not conform to the approved building code.
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8. The building presents a substantial risk of fire, building collapse and threat to life and safety.



Sweeny Police Department

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Brad Caudle, Chief of Police



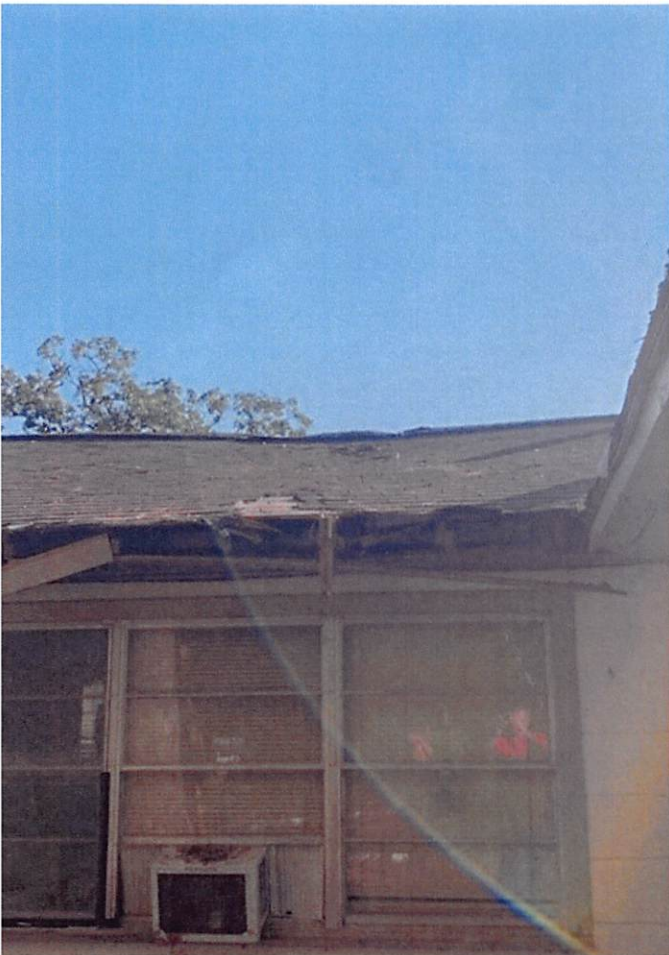
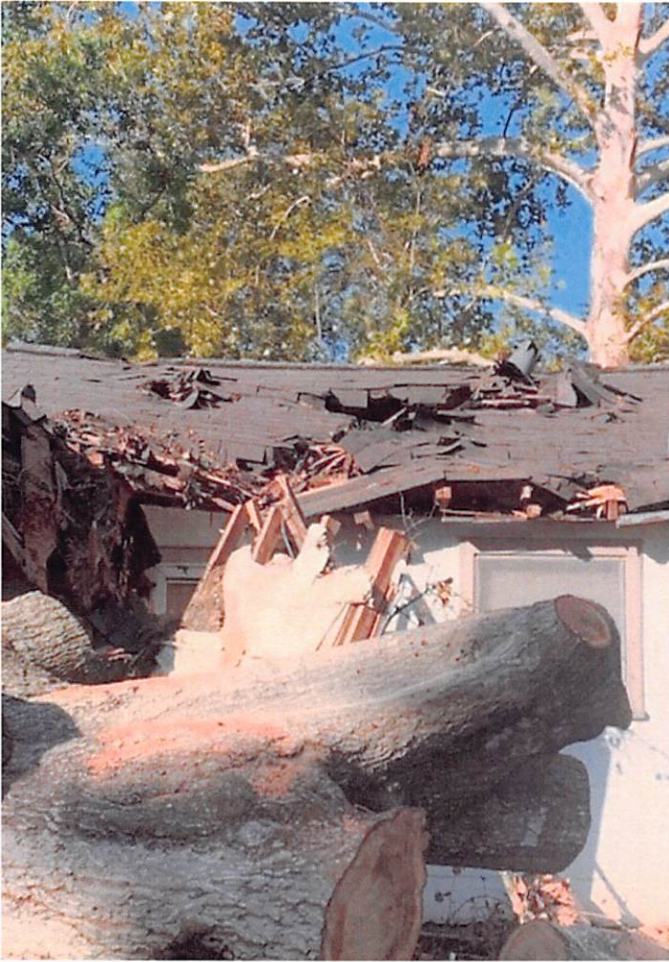
Item 18.

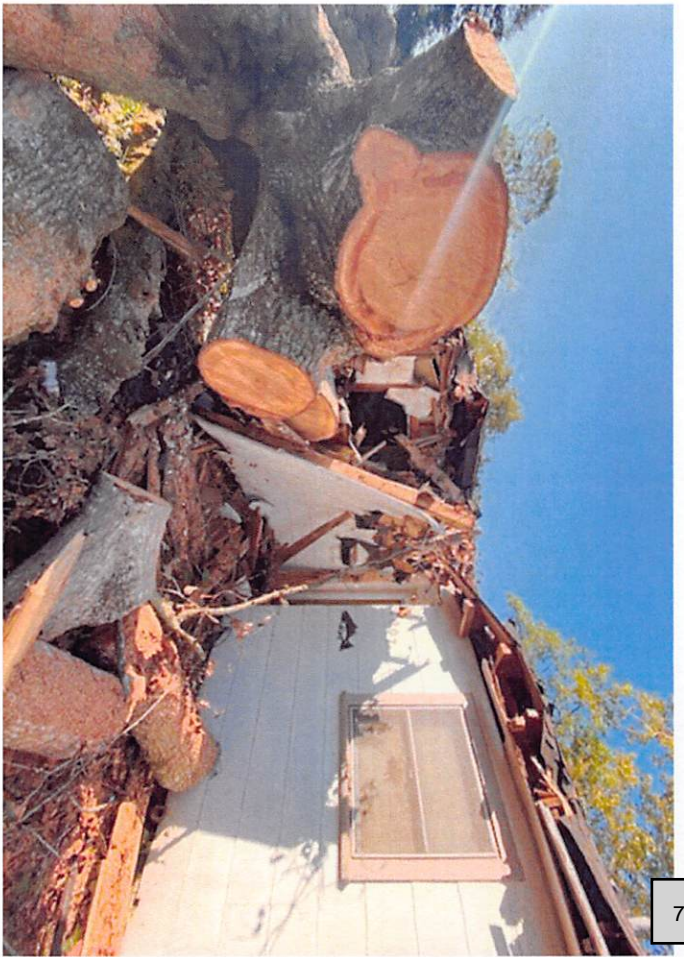
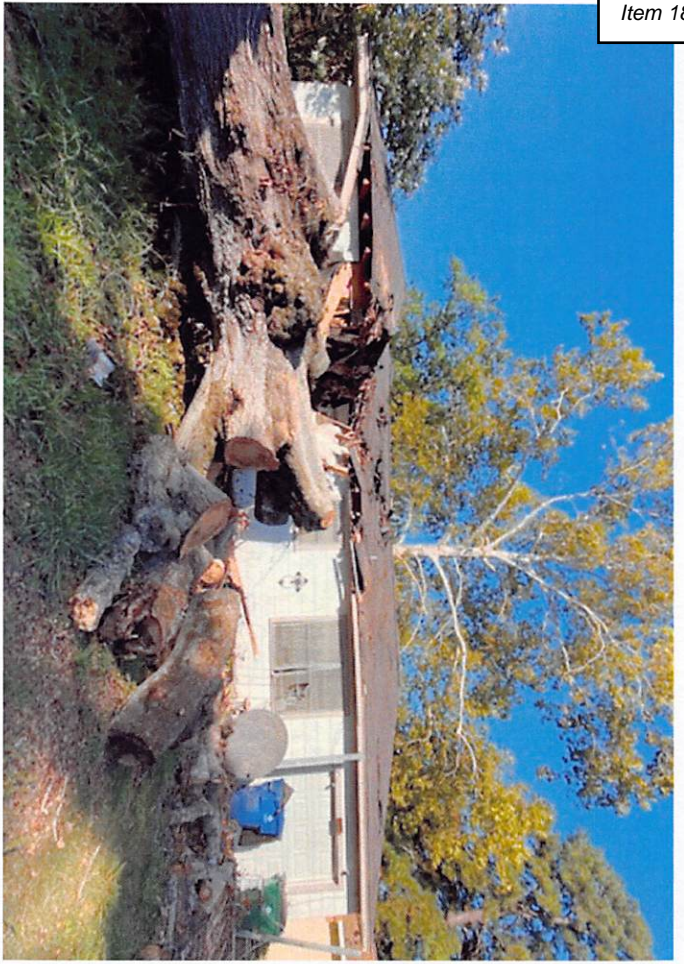
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11. The building is abandoned so as to constitute an unattractive nuisance or hazard to the public.

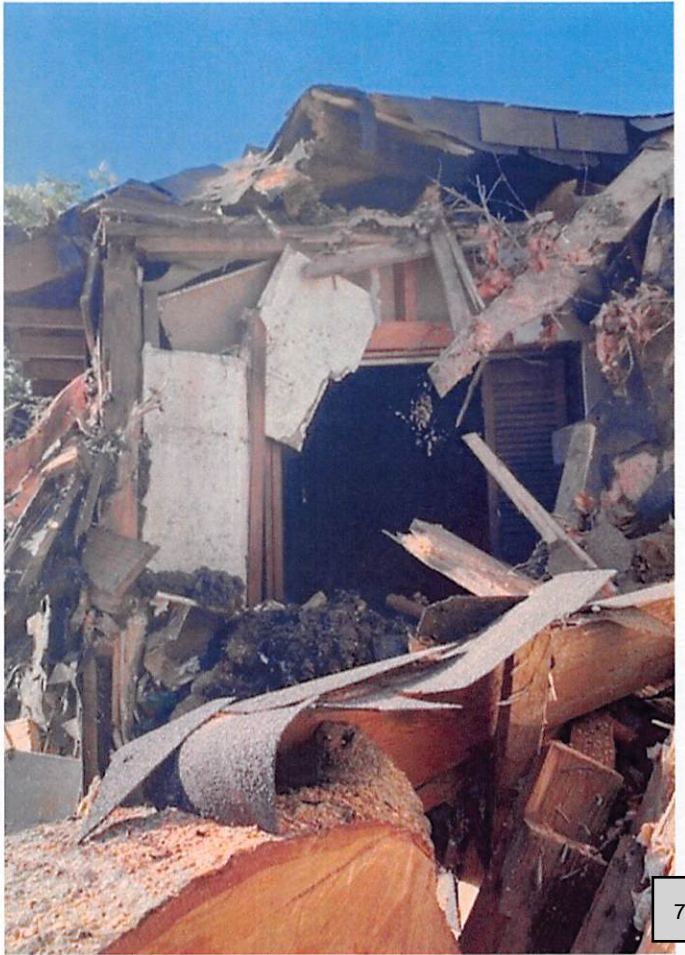
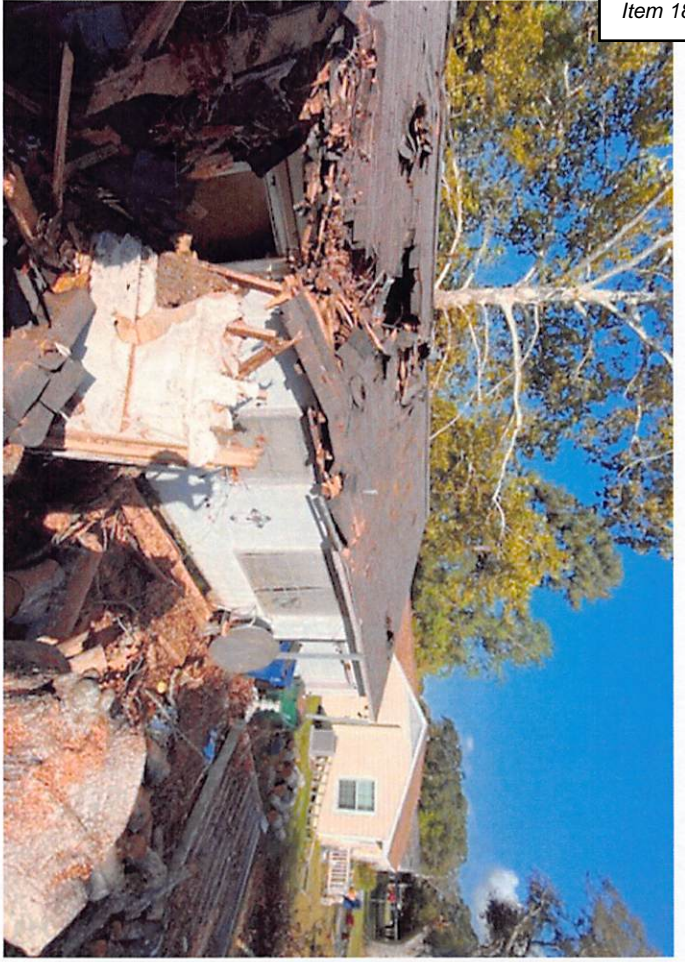
Brad Caudle
Chief of Police
City of Sweeny, Texas
bbcaudle@sweenytx.gov

Rodger Larsen
Code Enforcement
City of Sweeny, Texas
relarsen@sweenytx.gov













AGENDA MEMO

Business of the City Council

City of Sweeny, Texas

| | | | |
|---|--|---------------------|----------------|
| Meeting Date | 12/17/2024 | Agenda Items | |
| Approved by City Manager | | Presenter(s) | Administration |
| Reviewed by City Attorney | | Department | Administration |
| Subject | Discussion and possible action to resubmittal of application for TxDOT Transportation Alternatives 2025 Call for Project Update. | | |
| Council Strategic Goals | Government Sustainability and Infrastructure Investment | | |
| Attachments / Supporting documents | TxDot TA | | |
| Financial Information | Expenditure Required: | \$417,000.00 + | |
| | Amount Budgeted: | | |
| | Account Number: | | |
| | Additional Appropriation Required: | | |
| | Additional Account Number: | | |

Executive Summary

After the 11/19/24 meeting, staff contacted TxDot to establish the debriefing meeting in order to proceed with the 2025 call for projects, the first step of initiating. Staff will be completing the debriefing meeting on 12/19/2024. This will give staff a better understanding of options for submittal, financing requirements, and eligibility for diminishing the scope of the original project. Txdot has confirmed the call will open in January 2025, but the preliminary applications will not be due until the end of February, in which is a tentative date at this point. The full application will be due mid-June, with an award date of November.

It is not required that the City secure the funding for the match before the project is awarded, only that the City states in a resolution that they support submission of the application, are committed to providing the 20% match if the project is awarded, and that if awarded they would enter into an advance funding agreement with Txdot.

In order for TxDOT to spend funds or other resources on a transportation project with a local government (LG), a written contract must first be executed between the parties. At TxDOT, an Advance Funding Agreement (AFA) is the form of contract most frequently used for development of projects with LGs. When TxDOT contracts with another party, usually a private firm, for a well-defined good or service such as engineering plans, environmental studies or asphalt for a highway, a procurement contract is used. However, the AFA is not a procurement contract. The AFA is an agreement under which TxDOT and the LG allocate participation in a transportation improvement project. The AFA allows TxDOT and the LG to "jointly" provide for the implementation of a specific project. The term "advance funding agreement" is used throughout the Manual and Local Government Project Management (LGPM) Guide as a generic term for a variety of joint-funding agreements between TxDOT and LGs.

This submittal is funded on a 80/20 cash match. (COS 20%) Previously the City requested approximately \$2M, in which the City's local share of 20% would be approximately \$417K for construction and design of sidewalks.

At this time we do not have a full scope package of expenditures. The above amount does **NOT** include additional engineering, bid process, bond counsel, loan origination fees, grant management or consultants, etc.

Council previously discussed diminishing the scope of the project to align with the amount the City could financially complete without outside resourcing for loans. Diminishing the scope and allowances will be discussed further with Txdot and engineering. Staff will continue to gather more information to disperse to Council at a later date.

Recommended Action

Update Only



AGENDA MEMO

Business of the City Council City of Sweeny, Texas

| | | | |
|---|---|---------------------|----------------|
| Meeting Date | 12/17/2024 | Agenda Items | |
| Approved by City Manager | | Presenter(s) | Administration |
| Reviewed by City Attorney | | Department | Administration |
| Subject | Discussion and possible action on update to the Texas Water Development Board (TWDB) State Fiscal Year 2025 Drinking Water State Revolving Fund (DWSRF) application invitation for intent to apply. | | |
| Council Strategic Goals | Government Sustainability and Infrastructure Investment | | |
| Attachments / Supporting documents | N/A | | |
| Financial Information | Expenditure Required: | | |
| | Amount Budgeted: | | |
| | Account Number: | | |
| | Additional Appropriation Required: | | |
| | Additional Account Number: | | |

Executive Summary

The City files the intent to apply to the TWDB DWSRF on 11/21/2024. TWDB confirmed receipt of intent to apply on 12/02/2024. The City has requested a pre-application meeting as required several time, but have not received a response as of yet. Application is to be completed by 01/10/2025.

The project has been identified as eligible for principal forgiveness, subject to funding availability and the amount. The final principal forgiveness eligibility is determined following a detailed review of the full application budget.

The City would need to discuss loan options, to include selling bonds to the TWDB, in which bond counsel or financial advisors are required on a short time line.

We currently do not have a full package associating possible costs incurred to the City other than the original estimated amount of \$39M. This does not include the bidding, engineering, bond counsel, loan origination fees, grant consulting and management services, etc.

Recommended Action

Update only; Action as requested or needed per Councils discretion.



AGENDA MEMO

Business of the City Council City of Sweeny, Texas

| | | | |
|----------------------------------|--|---------------------|-----------------------------------|
| Meeting Date | | Agenda Items | |
| Approved by City Manager | | Presenter(s) | Kaydi Smith |
| Reviewed by City Attorney | | Department | Council/ Mayor |
| Subject | Discussion and possible action to the Brazoria County Cities Association (BCCA) membership, participation, and hosting duties. | | |
| | | | |
| Financial Information | Expenditure Required: | | Approx. \$1K after Reimbursements |
| | Amount Budgeted: | | Event Planning \$500.00 |
| | Account Number: | | |
| | Additional Appropriation Required: | | |
| | Additional Account Number: | | |

Executive Summary

All Cities have the option to participate in the Brazoria County Cities Association. City officials and representatives have the option to meet monthly at the hosting City's location of choosing to include a catered meal. Due to lack of participation, does the City still wish to continue?

The City is set to host in February. Hosting City is responsible for a catered meal, setup, door prizes, and obtain a guest speaker. Last hosting was in May of 2023; total payout was approximately \$2,050.00. After attendee reimbursement of meal costs, an estimated total expenditure for hosting was approximately \$750.00.

Recommended Action

Council Discretion:

Continue participation- no action needed.

Withdrawal participation- motion requested.



AGENDA MEMO

Business of the City Council
City of Sweeny, Texas

| | | | |
|----------------------------------|--|---------------------|-------------------------|
| Meeting Date | 12/17/24 | Agenda Items | |
| Approved by City Manager | | Presenter(s) | Administration/ Finance |
| Reviewed by City Attorney | | Department | Utilities |
| Subject | Discussion and possible action to proposed utility billing policy. | | |
| Council Strategic Goals | Government Sustainability | | |
| Financial Information | Expenditure Required: | N/A | |
| | Amount Budgeted: | N/A | |
| | Account Number: | | |
| | Additional Appropriation Required: | | |
| | Additional Account Number: | | |

Executive Summary

Proposed utility billing policy was previously discussed in the Council Workshop.
To enact, policy would need to be adopted by Council action and reflective within the minutes.

Recommended Action

To approve the proposed utility billing policy.
AND/OR to approve the proposed utility billing policy with reflective changes:
_____.