



## CITY COUNCIL MEETING REGULAR SESSION

Tuesday, November 19, 2024 at 6:00 PM

City Hall, 102 W. Ashley Wilson Rd, Sweeny, Texas

### AGENDA

BE IT KNOWN that the City Council of the City of Sweeny will meet in **Regular Session** on **Tuesday, November 19, 2024 at 6:00 PM**, at City Hall, 102 W. Ashley Wilson Rd, Sweeny, Texas with the following agenda. Council is conducted under modified Roberts Rules of Order as approved by Resolution 102-16; July 19, 2016. In accordance with Chapter §551 of the Texas Government Code, if required, the Council may conduct an executive session on any of the agenda items provided the City Attorney is present.

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#### CALL TO ORDER/ROLL CALL

#### PLEDGES & INVOCATION

#### CEREMONIAL PRESENTATIONS

1. Sweeny Beautification Committee's Yard of the Month

#### CITIZENS WISHING TO ADDRESS CITY COUNCIL

*This item is available for those citizens wishing to address City Council on an issue not on the agenda. Any item discussed cannot be voted on but could be considered for placement on the agenda of the next regularly scheduled meeting. Limited to three (3) minutes.*

#### CONSENT AGENDA

*All of the following items on the Consent Agenda are considered to be self-explanatory by the Council and will be enacted with one motion. There will be no separate discussion of these items unless requested by the Mayor or a Council Member; in which event, the items will be removed from the consent agenda and considered separately.*

- [2.](#) Minutes: Regular Session, October 15, 2024
3. Financial Statements
4. FY 2023/2024 Investment Report; 4th Quarter (July-September 30, 2024)
- [5.](#) Personnel Status Update
- [6.](#) Project Status Update & Gas Compliance Update
- [7.](#) Critical Equipment Update

#### REGULAR AGENDA

- [8.](#) Discussion and possible action to agenda request received on utility dispute at 1111 Avenue B; Delores McCreary
- [9.](#) Discussion and possible action to allow an Eagle Project to be constructed at Backyard Park; Thomas Paniagua
- [10.](#) Discussion and possible action to agenda request regarding 1007 Mac Drive; proposed demolition of home and entering into a contract with the property owner for reimbursement of services; Councilman John Rambo.
- [11.](#) Discussion and possible action to variance requests to Zoning Ordinance Section 110, Exhibit A, Multi-Residential R4; 402 & 404 Pecan Street.
- [12.](#) Discussion and possible action to proposed replat combining 402 and 404 Pecan.
- [13.](#) Discussion and possible action to proposed blanket policy allowing for Sweeny Beautification to submit requests of usage of city owned property to City Administrator for future Farmers Markets.
- [14.](#) Discussion and possible action to Waste Connections annual CPI increase.
- [15.](#) Discussion and possible action on the drive thru drawer located at City Hall.
- [16.](#) Discussion and possible action to adopt the proposed Prohibited Technologies Security Policy for the City of Sweeny, pursuant to the Governor's directive and SB 1893.
- [17.](#) Discussion and possible action to Resolution 24-117; nominating candidates for the Board of Directors of the Brazoria County Appraisal District.
- [18.](#) Discussion and possible action on the Texas Water Development Board (TWDB) State Fiscal Year 2025 Drinking Water State Revolving Fund (DWSRF) application invitation for intent to apply.
- [19.](#) Discussion and possible action to resubmittal of application for TxDOT Transportation Alternatives 2025 Call for Projects.
- [20.](#) Discussion and possible action on proposed amendments to the adopted fee schedule and correlating procedural changes pursuant to proposed amendments.
- [21.](#) Discussion and possible action to establishing a Charter Review Committee.
- [22.](#) Discussion and possible action on adopting the proposed 2025 City of Sweeny Holiday Schedule.

## **ITEMS OF COMMUNITY INTEREST**

## **ADJOURN REGULAR SESSION**

I certify that the notice and agenda of items to be considered by the Sweeny City Council on November 19, 2024 was posted on the City Hall bulletin board on the 15th day of November, 2024, at approximately \_\_\_\_\_AM / PM.

\_\_\_\_\_  
Kaydi Smith, City Secretary

I hereby certify that this Public Notice was removed from the City Hall bulletin board on the \_\_\_\_ day of \_\_\_\_\_, 2024 at approximately \_\_\_\_\_AM / PM.

\_\_\_\_\_  
Kaydi Smith, City Secretary

# CITY COUNCIL MEETING REGULAR SESSION

Item 2.

Tuesday, October 15, 2024 at 6:00 PM

City Hall, 102 W. Ashley Wilson Rd, Sweeny, Texas

## MINUTES

BE IT KNOWN that the City Council of the City of Sweeny met in **Regular Session** on **Tuesday, October 15, 2024 at 6:00 PM.** at City Hall, 102 W. Ashley Wilson Rd, Sweeny, Texas with the following agenda.

### CALL TO ORDER/ROLL CALL

Mayor called the meeting to order at 6 PM.

Neal Bess Jr., Reese Cook, Brian Brooks, and Shaun Massey were in attendance. John Rambo was absent.

### PLEDGES & INVOCATION

Pledges were led by Neal Bess Jr. Invocation was given by Reese Cook.

### CEREMONIAL PRESENTATIONS

1. Sweeny Beautification Committee's Yard of the Month  
Yard of the month is 207 Avenue A, Jennifer Lee.

2. Proclamations (2): First Methodist Church of Sweeny; 100th Anniversary  
Veterans Day, November 11, 2024

Mayor stated the proclamations will be signed and hung in the foyer of City Hall recognizing the First Methodist Church of Sweeny on their 100<sup>th</sup> anniversary and proclaiming November 11<sup>th</sup>, 2024 as Veterans Day.

### CITIZENS WISHING TO ADDRESS CITY COUNCIL

Agatha Sanchez, President and founder of the Sweeny Community Thanksgiving Feast, stated that this is their 14<sup>th</sup> year. They continue to bring unity to the community in combination with 32 churches, the Sweeny Independent School District, and the Sweeny Hospital. She read a letter from a previous meal recipient of the feast. The organization has served over 15,000 plates within the Community. Members Evelyn Jammer of Grace United Methodist Church and Ms. Ruby Griggs of Allen Memorial Church were in attendance. The Feast will be Saturday November 16<sup>th</sup> and Ms. Sanchez is requesting volunteers in order to continue making this meal a success.

### CONSENT AGENDA

3. Minutes: Regular Session, September 17, 2024 & Special Session, September 26, 2024.  
Mayor Hopkins asked for a motion to approve the Regular Session, September 17, 2024 & Special Session, September 26, 2024 minutes. Brian Brooks stated so moved. Shaun Massey seconded. All in favor. Motion carried.

4. Personnel Status Update  
Mr. Jordan gave the personnel status report.

5. Project Status Report  
Mr. Jordan gave the project status report.

6. FY 2023/2024 Departmental Quarterly Reports; 4th Quarter (July-September 30, 2024)  
Quarterly reports were given by each department.

**REGULAR AGENDA**

7. Discussion and possible action to Ordinance 24-108, De-annexing 2.68 acres from the City of Sweeny.

Reese Cook moved to approve Ordinance 24-108, de-annexing 2.68 acres from the City of Sweeny. Shaun Massey seconded. All in favor. Motion carried.

8. Discussion and possible action to accept proposal from BTEL and allow Interim City Manager to enter into contract.

Albert Padilla, Director of Business Development for Btel, was in attendance to answer and elaborate on the proposed contract.

Neal Bess Jr. moved to approve the contract with Btel. Brian Brooks seconded. All in favor. Motion carried.

9. Discussion and possible action to appoint applicants to the Sweeny Economic Development Corporation Board.

Michelle Medina, SEDC Executive Director stated there are four positions available on the EDC board. Reese Cook moved to appoint Brittanie Hopkins, Neal Bess Jr., Katie Goff, and Brian Brooks to two-year terms, starting 2024 to 2026, to the Sweeny Economic Development Corporation. Shaun Massey seconded. Neal Bess Jr., Reese Cook, and Shaun Massey approved. Brian Brooks abstained. Motion carried.

10. Discussion and possible action to appoint applicants to the Parks and Recreation Board.

Reese Cook moved to appoint Jenny Massey and Woodrow Tolley to the Parks and Recreation Board to fill current terms expiring 2025 as presented. Neal Bess Jr. seconded. Neal Bess Jr., Reese Cook, and Brian Brooks approved. Shaun Massey abstained. Motion carried.

11. Discussion and possible action to Resolution 24-115, designating authorized signatories for contractual documents and documents requesting funds pertaining to the CDBG-MIT General Land Office State Contract No. 22-082-007-D205.

Reese Cook moved to approve Resolution 24-115, designating authorized signatories for contractual documents and documents requesting funds pertaining to the CDBG-MIT General Land Office State Contract No. 22-082-007-D205. Brian Brooks seconded.

Discussion: Neal Bess Jr. asked about the CDBG MLK project. Mr. Jordan stated that CDBG has requested additional information and there is no confirmation of funding at this time. Neal Bess Jr. stated there was a fire in that area previously.

All in favor. Motion carried.

12. Discussion and possible action to budget amendment requested for building maintenance.

Mr. Jordan stated this is a budget amendment request to repair the overhead doors at the public works shop as they prepare for the new animal shelter.

Neal Bess Jr. moved to amend the budget on the doors at the water treatment building, or behind it. Reese Cook seconded. All in favor. Motion carried.

13. Discussion and possible action to contractual agreement for Plumbing Inspections, Building Inspections, and Reviewal Services for FY 2024 / 2025.

Reese Cook moved to approve the annual Fiscal Year 2024/ 2025 contractual agreement with Don Malone for plumbing inspections, building inspections, and building reviewal services. Neal Bess Jr. seconded. All in favor. Motion carried.

14. Discussion and possible action to Resolution 24-116, designating a representative and alternative to the Houston-Galveston Area Council (HGAC), 2025 General Assembly.

Reese Cook moved to approve Resolution 24-116 designating John Rambo as the City of Sweeny’s representative and Shaun Massey as an alternate for the general assembly of the Houston-Galveston Area Council for the year 2025. Neal Bess Jr. seconded. All in favor. Motion carried.

15. Discussion and possible action to annual reminder of the functions, powers, and responsibilities of elected officials.

Discussion Only; No Action.

16. Discussion and possible action to the Texas Comptroller’s Office update on sales and use tax allocations for the Industrial Park.

Discussion Only; No Action.

**ITEMS OF COMMUNITY INTEREST**

Neal Bess Jr. stated he would like the streetlights repaired for dark spots. He recently drove the Lions Club disaster trailer to Perry Florida to deliver materials.

Mayor Hopkins announced two young men from Brazosport Christian School that were in attendance. Sheppard and Eric are in 11<sup>th</sup> grade and interested in seeing how a City Council Meeting is conducted.

Neal Bess Jr. stated Crab, Texas has the youngest City Council in Texas.

Shaun Massey reminded everyone of Halloween in the Park on October 26th, hosted by Old Ocean Volunteer Fire Department and the Sweeny Fire Department.

**ADJOURN REGULAR SESSION**

Mayor Hopkins adjourned the meeting at 7:24 PM.

*Staff or Members Present*

- Interim City Manager, David Jordan
- Corporal, Mitch Ferrell
- Director of Public Works, Terrence Bell
- Finance Director / Personnel Services, Karla Wilson
- City Secretary, Kaydi Smith

Passed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Kaydi Smith, City Secretary



# AGENDA MEMO

## Business of the City Council City of Sweeny, Texas

Item 5.

<b>Meeting Date</b>	11/19/2024	<b>Agenda Items</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	Karla Wilson
<b>Reviewed by City Attorney</b>		<b>Department</b>	Personnel
<b>Subject</b>	Personnel Status – Information Only		
<b>Council Strategic Goals</b>			
<b>Attachments / Supporting documents</b>			
<b>Financial Information</b>	Expenditure Required:	N/A	
	Amount Budgeted:	N/A	
	Account Number:		
	Additional Appropriation Required:		
	Additional Account Number:		

### Executive Summary

City Manager (Interim)	J. David Jordan
City Secretary	Kaydi Smith
Director of Finance and Personnel	Karla Wilson
Utility Billing Manager	Kyli Jones
Administrative Clerk	Jennifer Miller
Municipal Court Clerk	Brandi Anderson
Public Works Director	Tex Bell
Public Works Office Manager	Elizabeth Brown
Public Works Foreman	Jody Simmons
Water Plant Operator in Training	Daniel Wright
WWTP Operator in Training	VACANT
City Hall Liaison / Gas Ops in Training	Courtlyn Davidson
General Laborer - Parks	Gyler Thornton
General Laborer – Streets – Temporary Full Time	Dylan White
General Laborer - Drainage	Trevion Johnson
Chief of Police	Brad Caudle
Detective Sergeant	Cayton Barnett
Corporal / K-9 (night)	Mitchell Ferrel
Patrol Officer / K-9 (night)	Mario Reyes
Patrol Officer / Warrant Officer	Erica Harris



# AGENDA MEMO

## Business of the City Council

### City of Sweeny, Texas

Patrol Officer	VACANT
Patrol Officer	Darius Woodard-Smith
Patrol Officer	Emilio Peña
Patrol Officer	VACANT
PD Office Manager	Jessica Bailey
Animal Control Officer / Code Enforcement Officer	Rodger Larsen

Water Plant Operator and Wastewater Plant Operator jobs are posted on the City website.

### Recommended Action

Information only; no recommended action.



## Capital Projects Updates

**Water system project:** This project is progressing very well. The contractor is installing new lines along Second street now and will most likely have all the pipe installed around Thanksgiving. This will leave testing and the final connections to the existing system to complete. For the most part the contractor has done a great job working with the business world to prevent extended obstructions to the property. There has been a few complaints about dirt and mud but nothing that the contractor did not address when he was made aware of it.

**Wastewater Project:** Matula is almost to Silverleaf installing new lines. In the past few days due to equipment problems, they have gone back to the areas that have been completed and cleaned up everything they possibly could.

We did receive an extension from the GLO on this project that will allow the completion date to more closely match the contract with Matula. The original GLO contract was March of 2025. The extension allows us to finish the project and close it out by February 2026. I believe the construction is to be finished by August 2025.

**Gas Project:** Public Works has caught up on a some projects that we needed to complete before starting construction on the gas lines. Our plan is to start installing pipe next week.

I am still a little concerned about being able to totally commit staff to this project on a full time basis. We have 2 weeks of RailRoad Commissions audits scheduled in December that will prevent any progress during that time. We will push as hard as we can to get things completed.

**Computer Software Updates:** We are still on target to start our Software conversion shortly after the first of the year. This will be a phased in project that will take approximately 90 days to complete.

**Phone System Internet:** B-Tel has surveyed all of our buildings and the equipment has been ordered. Phone service will come on line first in January and the Fiber run to connect all our buildings together will be installed and completed with internet upgrades by the end of March. They are working with our IT people and all involved to make this a smooth transition.

## Capital Improvement Plan

### Updates

#### 2024 Capital projects

Water Valve Survey Enterprise fund	\$25,000.	
Sewer Plant Clarifier Rehab Enterprise Fund	25,000	
Lift Station pumps Enterprise Fund	11,000	
Drying Bed Rehab (in progress) Enterprise Fund	25,000	
Avenue A Sewer (in progress) 2019 CO	1,250,000	GLO/
Main Street Water 2019 CO	500,080	
Manganese Filters Enterprise	120,000	
MLK Pavilion (complete) Grant16,750	20,000	P-66
Gas Line Rehab ( Material here) Enterprise Fund	30,000	
	(\$43,991)	

#### 2025 Capital Projects

Avenue A Sewer (in Progress) GLO/2019 CO	3,750,000	
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Main Street Water (in progress )	1,000,160	2019 CO
Drying Bed Rehab Enterprise	25,000	
San Bernard LS upgrade Enterprise	90,750	
Mac Drive Smoke Testing Enterprise/Grant?	50,000	
Gas Line Rehab Enterprise	30,000	
Back Yard Walking Trails General	40,000	
Backyard Restrooms unknown	65,000	
MLK Restrooms unknown	40,000	
Lift Station Pumps Enterprise	11,000	
Sewer Plant Clarifiers Enterprise	100,000	
Pecan Street Water Enterprise/Grant	231,600	
West Side Water Enterprise	822,000	
Zone 1 Water Enterprise	926,250	
6 <sup>th</sup> /MLK Paving General	159,852	

6<sup>th</sup>/Cedar Paving  
General/ Bond

42,000



## Office of Public Works Update

### Utilities

#### Water

- Seventy-seven (77) water callouts. Approximately 40% were water leaks, they have been repaired.

#### Gas

- Gas audit preparations have been done and Public Works is ready for audit.

#### Streets

- Three (3) - Cave ins have been fixed
- Mossy Lane – We have not had a chance to do repairs due to water leaks and other issues that have taken precedence.

#### Sewer

- Six (6) call outs for sewer, Jetted lines
- Fixed main break at Azalea & San Bernard Street
- Motors that were ordered have been installed and are functioning at Cedar Lift Station
- New pumps in the Sewer plant were installed, misters are working, and approximately 8 leaks fixed at the sewer plant. The surroundings at the plant have been cleaned up and mowed.

#### Dirty Water

- Three (3) reports of Dirty water were checked and flushed.

#### Permits

- Twenty-two (22) permits have been addressed and completed.

### General

- Water Samples – Reports should be emailed by Friday 11/15/2024 cost is \$35.00/sample 40 bottles were taken totaling \$1,400.00.
- Generators – Coastal Power Products per their email are waiting on parts for three generator sites, repairs will be made, and update will be provided when completed.
- Animal Services Building – Approximately 80% has been cleared and cleaned. Progress will resume as time allows from work orders and water leaks.
- Fire Hydrants – Audit was performed on Friday, November 8, 2024.
- Water tower at Hackberry was repaired and functioning.
- Matula Matula - sewer line progress is running smoothly.
- JTM – progress is running smoothly; they are currently working on West 2<sup>nd</sup> Street.
- Flags – working on getting ropes on poles fixed to fly all 3 flags (US, Texas and City of Sweeny)
- Well #4 – Chaffin ran a camera down in the well to check for any damages. Waiting for their findings to see what all it will take to get the well back online.



# AGENDA MEMO

Business of the City Council  
City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Item</b>	McCreary – 1111 Ave B
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	
<b>Reviewed by City Attorney</b>	No	<b>Department</b>	Utility Billing
<b>Subject</b>	Mrs. McCreary is disputing accuracy of utility bills for 8/31 and 9/30/2024		
<b>Attachments</b>	Work orders – 31484976, 31638710, 32123302, 32274487, 32668430 Statement, signed leak agreement, billing history, reading history, 11/13 update.		
<b>Financial Information</b>	Expenditure Required:	N/A	
	Amount Budgeted:	N/A	
	Account Number:	N/A	
	Additional Appropriation Required:	N/A	
	Additional Account Number:	N/A	

**Executive Summary**

After exhausting all measures of research staff has concluded that there is an active leak at the location.

**Recommended Action**

Council discretion



# CITY OF SWEENY

102 W. Ashley Wilson Rd. • PO Box 248 • Sweeny, Texas 77480 • P: (979) 548-3321 • F: (979) 548-7745

The following will be used to request an item to be placed on the agenda with the Sweeny City Council.


**Personal Information:**

Name: Deborah & Joshua McCreary

Mailing Address: 1111 Ave B

Physical Address: ''

Email(s): 

Phone(s): 

**Please include specific details of the item you wish to be placed on the agenda.**

DISPUTING ACCURACY OF UTILITY BILLS

Signature: 

Date: 12-17-2024

*Requests must be received by the City Manager by close of business 10 days prior to the scheduled meeting date for placement. Administration and/or their designee reserves the right to delay the item to the following regularly scheduled meeting if it is determined that more time is needed in order to compile information specific to the request.*

*Once Council has acted on an agenda item; that item cannot be placed on the agenda for a period of six (6) full months. Exception is provided if three members of Council ask that the item be returned early to the agenda, or the Mayor or City Manager determines it is in the interest of the City to do so.*

Doc 10/17/24 2:25 PM JLD



McCreary – 1111 Ave B

During billing I noticed the customer had a high-water bill, so I put in a work order for PW to check for a water leak. Work order #31484976 – Flow rate showed at 1.8, and customer signed water leak agreement acknowledging she had a water leak and chose to keep the water on.

Once the customer received her bill, she called in requesting the water to be turned off. Work Order #31638710 – Flow rate still showed at 1.8, water was then turned off by PW.

Spoke with David about the issue as the customer expressed she could not afford a plumber and she wasn't using the water her bill was reflecting. David visited customers address and tried to make efforts to find the leak. Nothing was noticed outside, and customer would not let anyone in the home.

Resident called in about the high bill and expressed her concerns on thinking the meter/module was faulty. Work Order #32123302 PW went to the location and installed a new meter and module, water was left on for a few days. Flow rate of 2.3 shown on the module.

Customer visited city hall and paid a portion of her bill and got on the agenda for November. While in the office David spoke with her grandson on the phone, and he stated he would be visiting her house to help look and determine where this leak is.

Kyl Jones  
10/28/24

Status: Closed Priority: No

Submitted By	Phone	Email	Address
Kyli Jones		utilitybilling@sweenytx.gov	102 W. Ashley Wilson Rd

Type	Area	Room	Class	Assigned To
WATER		1111 Ave B		

Asset	GL Code	Transaction Vendor	Amount	Assigned Vendor
			\$	

Date Created	Date Modified	Resolution	Duration
08/26/2024 9:53 AM	08/26/2024 2:15 PM	0 Days 4 Hrs 22 Mins	0 Hrs 0 Mins

**Comments:**

1111 Ave B - check for water leak/flow rate  
WA [REDACTED] LR@1591

**Notes:**

water leak at this address they signed the form to keep water on  
reading - 166183  
flow rate 1.8  
meter and module numbers match  
Jody Simmons Mon Aug 26 14:15:27 CDT 2024

Gave paper w/o to Tex Kyli Jones on Mon Aug 26 10:00:19 CDT 2024



# City of Sweeny

P.O. BOX 248 \* 102 W. ASHLEY WILSON RD. \* SWEENY, TEXAS 77480

(979) 548-3321 \* FAX (979) 548-7745

**POSTED**  
KF 9/10/24

Date 8/26/24

The City of Sweeny has detected a water leak on your property.

By signing this agreement, you are taking responsibility for any and all charges that will incur with the excessive water usage in leaving the services connected. Those charges will reflect on your monthly city utility bill.

Address : 1111 Ave. B

[Handwritten Signature]

Resident's Signature

DM

Resident's Printed Name

[Handwritten Signature]

Department of Public Works Signature

M Reading - 166183

Flow Rate - 1.8

Status: Closed		Priority: Yes		
<b>Submitted By</b> Kyli Jones	<b>Phone</b>	<b>Email</b> utilitbilling@sweenytx.gov	<b>Address</b> 102 W. Ashley Wilson Rd	
<b>Type</b> WATER	<b>Area</b>	<b>Room</b> 1111 Ave B	<b>Class</b>	<b>Assigned To</b>
<b>Asset</b>	<b>GL Code</b>	<b>Transaction Vendor</b>	<b>Amount</b> \$	<b>Assigned Vendor</b>
<b>Date Created</b> 09/04/2024 3:34 PM	<b>Date Modified</b> 09/04/2024 4:51 PM	<b>Resolution</b> 0 Days 1Hrs 17Mins		<b>Duration</b> 0Hrs 0 Mins

**Comments:**

Turn water off at 1111 Ave B - Customer has a leak.  
Please notate the flow rate. Customer claims meter is so under mud that it cannot be read.  
WA [REDACTED] LR@1487

**Notes:**

MN [REDACTED] WR 189788 flow rate was 1.8 prior to my arrival the resident told me that she wanted the water off due to the price of her bill they also said that they had there grandson look in the yard and he found no signs of a leak and I also found no signs of a leak they also said they can t afford a plumber so I don t know when they want the water back on but the meter is reading properly and the shutoff completely turned the water off so no problems on our side I opened the faucet outside fully open and read the meter to make sure it was reading properly then I closed the faucet and closed the shutoff watched the flow rate zero out and left the shutoff closed they did request to speak to someone in charge so they will probably ask for David Jordan or tex to talk about there bill I did inform them that city hall will talk to her about it if she has questions. Daniel Wright closed the order it won t let me hit the button.

Called into Tex Kyli Jones on Wed Sep 04 15:35:03 CDT 2024.

Status: Closed Priority: No

Submitted By	Phone	Email	Address
Kyli Jones		utilitybilling@sweenytx.gov	102 W. Ashley Wilson Rd

Type	Area	Room	Class	Assigned To
WATER		1111 Ave B		

Asset	GL Code	Transaction Vendor	Amount \$	Assigned Vendor

Date Created	Date Modified	Resolution	Duration
10/07/2024 4.02 PM	10/07/2024 4.29 PM	0 Days 0Hrs 27Mins	0Hrs 0 Mins

Comments:

Please provide all details of efforts made at 1111 Ave B

Notes:

resident had a flow rate of 2.3. thinking that it was a faulty meter and module we put new ones in and it still showed a flow rate of 2.3 turned water off and let resident knowreading 200397 Courtlyn Davidson Mon Oct 07 16:29:39 CDT 2024

WA N [REDACTED] LR@1897 Kyli Jones on Mon Oct 07 16:02:33 CDT 2024

Status: Closed		Priority: Yes		
<b>Submitted By</b> Kyli Jones	<b>Phone</b>	<b>Email</b> utilitybilling@sweenytx.gov	<b>Address</b> 102 W. Ashley Wilson Rd	
<b>Type</b> WA & GA OFF/ON	<b>Area</b>	<b>Room</b> 1111 Ave B	<b>Class</b> 3-4	<b>Assigned To</b>
<b>Asset</b>	<b>GL Code</b>	<b>Transaction Vendor</b>	<b>Amount</b> \$	<b>Assigned Vendor</b>
<b>Date Created</b> 10/17/2024 3:31 PM	<b>Date Modified</b> 10/17/2024 4:05 PM	<b>Resolution</b> 0 Days 0Hrs 33Mins		<b>Duration</b> 0Hrs 0 Mins

**Comments:**

1111 Ave B  
 PER DAVID JORDAN please make contact with resident and with permission enter garage and turn off gas valve on water heater - once gas valve is off Please turn on water and gas  
 WA [REDACTED] LR@1897  
 GA [REDACTED] LR@2774  
 \*\*Resident does have a water leak, please DO NOT ask her to sign the form just turn on water and notate what the flow rate is in the comments

**Notes:**

wa m [REDACTED] reading 208397ga [REDACTED] reading 2777flow rate of 2.1 Courtlyn Davidson Thu Oct 17 16:04:57 CDT 2024

DATE: 10/28/2024  
 TIME: 08:52:51  
 USER: Admin - 1

CUSTOMER FINANCIAL SUMMARY  
 CITY OF SWEENEY

For - DELORES MCCREARY - From 10/17/2024 To 11/13/2023

Posting Date	Type	Charge Amount	Penalty Amount	Tax Amount	Pay Plan Amount	Transaction Amount	Arrears Plus Added Penalty	Balance
10/17/2024	Pay	\$518.29	\$81.71	\$0.00	\$0.00	\$600.00	\$1,039.85	\$500.81
10/17/2024	Pay	\$520.38	\$74.28	\$5.34	\$0.00	\$600.00	\$1,636.15	\$1,039.85
09/30/2024	Bill	\$644.81	\$88.99	\$1.78	\$0.00	\$735.58	\$900.57	\$1,636.15
08/31/2024	Bill	\$888.03	\$0.00	\$1.78	\$0.00	\$889.81	\$10.76	\$900.57
08/19/2024	Pay	\$99.12	\$8.42	\$0.00	\$0.00	\$107.54	\$107.54	\$10.76
07/31/2024	Bill	\$105.76	\$0.00	\$1.78	\$0.00	\$107.54	\$0.00	\$107.54
07/15/2024	Pay	\$66.82	\$0.00	\$1.78	\$0.00	\$68.60	\$68.60	\$0.00
06/30/2024	Bill	\$66.82	\$0.00	\$1.78	\$0.00	\$68.60	\$0.00	\$68.60
06/13/2024	Pay	\$65.53	\$0.00	\$1.78	\$0.00	\$67.31	\$67.31	\$0.00
05/31/2024	Bill	\$65.53	\$0.00	\$1.78	\$0.00	\$67.31	\$0.00	\$67.31
05/15/2024	Pay	\$69.49	\$2.34	\$3.56	\$0.00	\$75.39	\$75.39	\$0.00
04/30/2024	Bill	\$66.85	\$0.00	\$1.78	\$0.00	\$68.63	\$6.76	\$75.39
04/18/2024	Pay	\$63.16	\$4.42	\$0.00	\$0.00	\$67.58	\$67.58	\$6.76
03/31/2024	Bill	\$65.80	\$0.00	\$1.78	\$0.00	\$67.58	\$0.00	\$67.58
03/07/2024	Pay	\$65.01	\$0.00	\$1.78	\$0.00	\$66.79	\$66.79	\$0.00
02/29/2024	Bill	\$65.01	\$0.00	\$1.78	\$0.00	\$66.79	\$0.00	\$66.79
02/15/2024	Pay	\$80.36	\$0.00	\$1.78	\$0.00	\$82.14	\$82.14	\$0.00
01/31/2024	Bill	\$80.36	\$0.00	\$1.78	\$0.00	\$82.14	\$0.00	\$82.14
01/15/2024	Pay	\$76.43	\$0.00	\$1.61	\$0.00	\$78.04	\$78.04	\$0.00
12/31/2023	Bill	\$76.43	\$0.00	\$1.61	\$0.00	\$78.04	\$0.00	\$78.04
12/14/2023	Pay	\$75.61	\$0.00	\$1.61	\$0.00	\$77.22	\$77.22	\$0.00
11/30/2023	Bill	\$75.61	\$0.00	\$1.61	\$0.00	\$77.22	\$0.00	\$77.22
11/13/2023	Pay	\$77.61	\$0.00	\$1.61	\$0.00	\$79.22	\$79.22	\$0.00

12 months  
 Bill History

DATE: 10/28/2024  
TIME: 08:53:00  
USER: Admin - 1

CUSTOMER METER READING DETAIL  
CITY OF SWEENEY

PAGE  
INQUIRY Item 8.

For - DELORES MCCREARY - From 09/30/2024 To 10/31/2023

Account Number XXXXXXXXXX

Service	Bill Date	Present Read	Previous Read	Consumption	Read Date/Time	Read Type	Meter Change
WA	09/30/2024	1897	1487	410	09/18/2024 12:00:00	AM Actual	No
GA	09/30/2024	2774	2769	5	09/18/2024 12:00:00	AM Actual	No
WA	08/31/2024	1487	916	571	08/16/2024 12:00:00	AM Actual	No
GA	08/31/2024	2769	2765	4	08/16/2024 12:00:00	AM Actual	No
WA	07/31/2024	916	871	45	07/17/2024 12:00:00	AM Actual	No
GA	07/31/2024	2765	2761	4	07/17/2024 12:00:00	AM Actual	No
WA	06/30/2024	871	860	11	06/20/2024 12:00:00	AM Actual	No
GA	06/30/2024	2761	2756	5	06/20/2024 12:00:00	AM Actual	No
WA	05/31/2024	860	849	11	05/17/2024 12:00:00	AM Actual	No
GA	05/31/2024	2756	2752	4	05/17/2024 12:00:00	AM Actual	No
WA	04/30/2024	849	833	16	04/16/2024 06:00:00	PM Actual	No
GA	04/30/2024	2752	2748	4	04/16/2024 12:00:00	AM Actual	No
WA	03/31/2024	833	816	17	03/20/2024 12:00:00	AM Actual	No
GA	03/31/2024	2748	2747	1	03/20/2024 12:00:00	AM Actual	No
WA	02/29/2024	816	799	17	02/21/2024 12:00:00	AM Actual	No
GA	02/29/2024	2747	2747	0	02/21/2024 12:00:00	AM Actual	No
WA	01/31/2024	799	776	23	01/22/2024 12:00:00	AM Actual	No
GA	01/31/2024	2747	2739	8	01/22/2024 12:00:00	AM Actual	No
WA	12/31/2023	776	760	16	12/19/2023 12:00:00	AM Actual	No
GA	12/31/2023	2739	2723	16	12/19/2023 12:00:00	AM Actual	No
WA	11/30/2023	760	737	23	11/17/2023 12:00:00	AM Actual	No
GA	11/30/2023	2723	2718	5	11/17/2023 12:00:00	AM Actual	No
WA	10/31/2023	737	711	26	10/17/2023 03:00:00	PM Actual	No
GA	10/31/2023	2718	2715	3	10/17/2023 12:00:00	AM Actual	No

Mailing Address: 1111 AVENUE B.

Service Address: 1111 AVENUE B

SWEENEY, TX 77480

Account Status: Active

Telephone Nos.: XXXXXXXXXX

Penalty: Yes Private: No

Tax: Yes Medical: No

Member: No

Social Security: XXXXXXXXXX

Current Net Due: \$500.81

Current Gross Due: \$500.81

Driver's License:

Current Due Date: 10/15/2024

Last Billed Date: 09/30/2024

Last Payment Date: 10/17/2024

Last Payment Amt.: \$600.00

12 months  
Reading History



UPDATE - 11/13/2024

Work order placed on 11/13/2024 – TASK # 32668430. Work ordered showed no signs of a flow rate or leak and the reading provided is 2148. From 10/16/2024 to 11/13/2024 customer has used 6500 gallons (represented as 65 on bill). This is substantially lower than her past few bills, but not as low as her normal usage.

kg 11/13/24

update

Item 8.

Task # 32668430

City of Sweeny  
102 W. Ashley Wilson Rd, Sweeny, TX

Status: Closed Priority: No

Submitted By	Phone	Email	Address
Kyli Jones		utilitybilling@sweenytx.gov	102 W. Ashley Wilson Rd

Type	Area	Room	Class	Assigned To
WATER		1111 Ave B		

Asset	GL Code	Transaction Vendor	Amount \$	Assigned Vendor

Date Created	Date Modified	Resolution	Duration
11/13/2024 1:26 PM	11/13/2024 2:07 PM	0 Days 0Hrs 41Mins	0Hrs 0 Mins

Comments:

Please provide water reading for location  
WA [REDACTED] LR@2083

Notes:

wa [REDACTED]  
reading 214852  
customer has no flow rate  
Courtlyn Davidson Wed Nov 13 14:07:44 CST 2024

Update

DATE: 11/13/2024

TIME: 15:27:31

USER: Admin - 1

CUSTOMER METER READING DETAIL

CITY OF SWEENEY

For - DELORES MCCREARY - From 10/31/2024 To 05/31/2024

PAGE

Item 8.

INQUIRY

Account Number: [REDACTED]

Service	Bill Date	Present Read	Previous Read	Consumption	Read Date/Time	Read Type	Meter Change
WA	10/31/2024	2083	1897	186	10/16/2024 12:00:00 AM	Actual	No
GA	10/31/2024	2777	2774	3	10/16/2024 12:00:00 AM	Actual	No
WA	09/30/2024	1897	1487	410	09/18/2024 12:00:00 AM	Actual	No
GA	09/30/2024	2774	2769	5	09/18/2024 12:00:00 AM	Actual	No
WA	08/31/2024	1487	916	571	08/16/2024 12:00:00 AM	Actual	No
GA	08/31/2024	2769	2765	4	08/16/2024 12:00:00 AM	Actual	No
WA	07/31/2024	916	871	45	07/17/2024 12:00:00 AM	Actual	No
GA	07/31/2024	2765	2761	4	07/17/2024 12:00:00 AM	Actual	No
WA	06/30/2024	871	860	11	06/20/2024 12:00:00 AM	Actual	No
GA	06/30/2024	2761	2756	5	06/20/2024 12:00:00 AM	Actual	No
WA	05/31/2024	860	849	11	05/17/2024 12:00:00 AM	Actual	No
GA	05/31/2024	2756	2752	4	05/17/2024 12:00:00 AM	Actual	No

Mailing Address: 1111 AVENUE B.

Service Address: 1111 AVENUE B

SWEENEY, TX 77480

Account Status: Active

Telephone Nos.: [REDACTED]

Penalty: Yes

Private: No

Tax: Yes

Medical: No

Member: No

Social Security: [REDACTED]

Current Net Due: \$810.20

Current Gross Due: \$841.15

Driver's License:

Current Due Date: 11/15/2024

Last Billed Date: 10/31/2024

Last Payment Date: 10/17/2024

Last Payment Amt.: \$600.00

6 months history



# AGENDA MEMO

## Business of the City Council City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Items</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	Administration/ Thomas Paniagua
<b>Reviewed by City Attorney</b>		<b>Department</b>	Parks
<b>Subject</b>	Discussion and possible action to allow an Eagle Project to be constructed at Backyard Park; Thomas Paniagua		
<b>Council Strategic Goals</b>	Sense of Community, Safe and Beautiful City		
<b>Attachments / Supporting documents</b>	Pictorial of Proposed		
<b>Financial Information</b>	Expenditure Required:	N/A	
	Amount Budgeted:	N/A	
	Account Number:		
	Additional Appropriation Required:		
	Additional Account Number:		

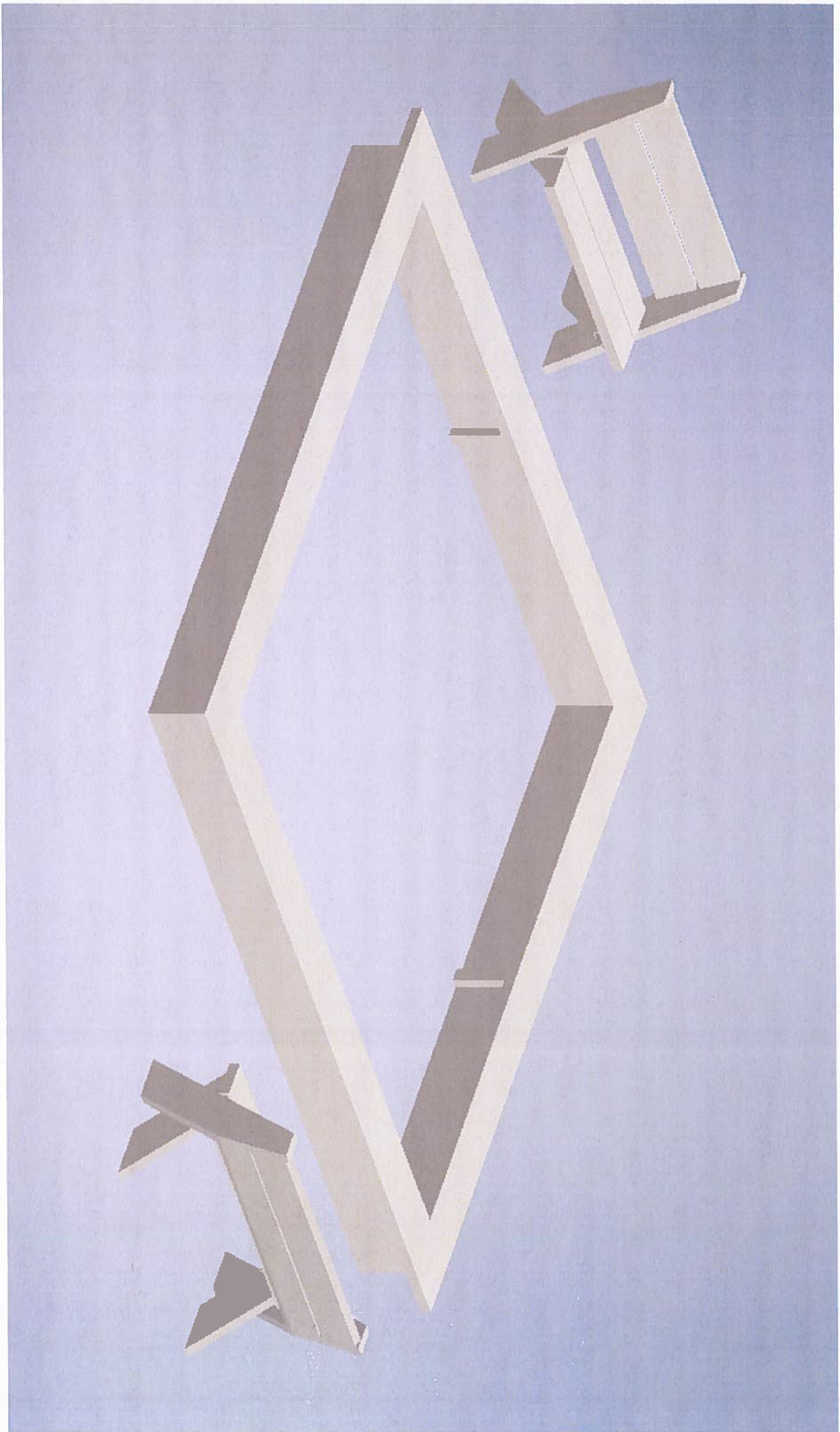
### Executive Summary

Thomas Paniagua has approached administration and would like to complete an Eagle Project at the Backyard Park consisting of benches and a sandbox.

Mr. Paniagua will be in attendance to request approval and explain his proposed vision further.

### Recommended Action

To approve the Eagle Project at Backyard Park consisting of a sandbox and benches constructed by Thomas Paniagua.



**Kaydi Smith**

---

**From:** John Rambo  
**Sent:** Friday, November 8, 2024 2:35 PM  
**To:** Kaydi Smith; David Jordan; Dusty Hopkins  
**Subject:** Agenda Request for 11/19/24 meeting

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Can I get Susan Pollock's home on Mac dr. on the agenda please, I'll try to make it a brief discussion.

I've spoken to David about this a few times about the city potentially entering a contract with Susan to have the city demo her house and she would agree to reimburse the city. David expressed to me the lack of cash flow and I totally understand the situation, I've communicated this to Susan and she understands and would feel better if we could at the very least get the ball rolling on the "paperwork " and any formal stuff so if and when the funds become available, hopefully then expedite the demo process.

This agenda request is to basically share this info with the other council members, gather their thoughts and opinions and hopefully move in a direction that benefits everyone.

Thanks,

John Rambo  
City Council Pos. 4  
City of Sweeny



# AGENDA MEMO

## Business of the City Council

### City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Items</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	
<b>Reviewed by City Attorney</b>		<b>Department</b>	Developmental Services
<b>Subject</b>	Discussion and possible action to variance requests to Zoning Ordinance Section 110, Exhibit A, Multi-Residential R4; 402 & 404 Pecan Street.		
<b>Attachments / Supporting documents</b>	Agenda Request Form, Letters (2), Prior Minutes, Prior Zoning Application, Plans, Survey		
<b>Financial Information</b>	Expenditure Required:	N/A	
	Amount Budgeted:	N/A	
	Account Number:		
	Additional Appropriation Required:		
	Additional Account Number:		

#### Executive Summary

Mr. Wayman Hutchings and property owner of 402 / 404 Pecan Street, Bill Worrell, are requesting variances to Section 110 of the City’s Zoning Ordinance, Exhibit A. Letters received from neighboring property owners, Wayman Hutchings & Masonic Lodge.

The property went thru the rezoning process in March of 2024. The motion carried to approve the Board of Commissioners recommendation that the property of 402 & 404 Pecan Street be rezoned to a multifamily residence, R4, as per Section 110-71 of the Zoning Ordinance, exhibit A, pending required variance approvals and replat required to follow. The variance item died for lack of second.

Requestors are seeking the below variances to the R4 Multifamily zone prior to proposed replat.

- Minimum Living Area: Required is 450 sq. ft.; one of the proposed is 280 sq. ft.; diff of 170 sq. ft.
- Depth of Lot: Required is 120 ft.; proposed replat is 100 ft. \* lot lines are not changing from original lot depth; requirements are different for the zone type
- Minimum Site Area: Required is 1 acre or 43,560 sq.ft. Proposed is 10,000 sq.ft.
- Variance to the minimum yard setbacks:
  - Side - Required is 25 feet; Closest to 5<sup>th</sup> Street side/406 Pecan is currently on property line
  - Rear – Required is 25 feet; Currently on property line
  - Side Street – Required is 15 feet; 4<sup>th</sup> Street side is currently 7/8 ft off of property line

#### Recommended Action

IF approving:

Move to approve variances requested to the Zoning Ordinance, Exhibit A, Section 110-71, R4 multifamily residence, at the addresses of 402 & 404 Pecan Street, consisting the minimum living area, depth of lot, minimum site area, and minimum yard setbacks with the exception of an approved replat to combine properties and adherence to the required plan review and permitting as established.



# CITY OF SWEENY

102 W. Ashley Wilson Rd. • PO Box 248 • Sweeny, Texas 77480 • P: (979) 548-3321

The following will be used to request an item to be placed on the agenda with the Sweeny City Council.

**Personal Information:**

Name: Wayman Hutchings

Mailing Address: 411 N Main Street

Physical Address: 411 N Main Street

Email(s): wayman.hutchings@adeptability.com

Phone(s): (979) 482-7124

**Please include specific details of the item you wish to be placed on the agenda.**

Re: SE Roofing Building at 402 & 404 Pecan Street

Dear City Council,

As an adjacent land owner next to SE Roofing Building at 402 & 404 Pecan Street, we would like to know what actions are need in order for this building to be complet

Signature:  Date: 10/07/2024

*Requests must be received by the City Manager by close of business 10 days prior to the scheduled meeting date for placement. Administration and/or their designee reserves the right to delay the item to the following regularly scheduled meeting if it is determined that more time is needed in order to compile information specific to the request.*

*Once Council has acted on an agenda item; that item cannot be placed on the agenda for a period of six (6) full months. Exception is provided if three members of Council ask that the item be returned early to the agenda, or the Mayor or City Manager determines it is in the interest of the City to do so.*



October 7, 2024

Wayman Hutchings  
407 N Main Street  
Sweeny, Texas 77480

Re: SE Roofing Building at 402 & 404 Pecan Street

Dear City Council,

As an adjacent land owner next to SE Roofing Building at 402 & 404 Pecan Street, we would like to know what actions are need in order for this building to be completed.

We do not have an issue with the location or the building other than it not being completed. It is my understanding that SE Roofing is building this building as a Storm Shelter in order for them to be available to the general public right after a major storm to assist with roofing issues.

We think this is a great plan and ideally great for our community. SE Roofing has more than once assisted us with our roof leaks after storms have damaged our roofs.

In closing, we would like to see this building completed and operational in order for SE Roofing to commence moving forward with their plans and completing the building.

Sincerely,

  
Wayman Hutchings

OLD OCEAN LODGE #1284

A.F. & A.M.



401 N. Main St

P.O. BOX 174

SWEENEY, TEXAS 77480

**We the members of Old Ocean Masonic Lodge No. 1284 located in Sweeny at 401 N. Main do not consider the property boundary any problem. S & E Roofing property is behind our property, and we have no problem with S & E Roofing completing the proposed project adjacent to our property.**

**Seal**

**Members:**

A handwritten signature in blue ink, appearing to read "John S. Smith". The signature is written in a cursive style with a large, looping initial "J".

Tuesday, March 19, 2024 at 5:00 PM

City Hall, 102 W. Ashley Wilson Rd, Sweeny, Texas

## MINUTES

BE IT KNOWN that the Planning and Zoning Board of Commissioners and the City Council of the City of Sweeny met in **Special Session** on **Tuesday, March 19, 2024 at 5:00 PM.** at City Hall, 102 W. Ashley Wilson Rd, Sweeny, Texas with the following agenda.

---

**CALL TO ORDER/ROLL CALL; CITY COUNCIL**

Mayor Hopkins called the meeting to order at 5:07 P.M.

Reese Cook, Brian Brooks, and John Rambo were in attendance for the City Council. Mark Morgan Jr. and Tim Pettigrew were absent.

**CALL TO ORDER/ROLL CALL; P & Z BOC**

Shaun Massey, Stephen Nance, Cerrington Massey, and Jenny Massey were in attendance for the Planning and Zoning Board of Commissioners.

**PUBLIC HEARINGS AND ACTION ITEMS**

1. 402 & 404 Pecan Street rezone request from Single Family to Multi-Residential R4

Mayor Hopkins opened the Public Hearing at 5:07 P.M. for 402 & 404 Pecan Street rezone request from Single Family to Multi-Residential R4 asking for anyone wishing to make comment to approach the podium. Mayor Hopkins closed the Public Hearing at 5:08 P.M.

**REGULAR AGENDA**

2. Discussion and possible action on requested rezone of 402 & 404 Pecan Street to R4 Multi-family Residential

City Manager stated this is a request to rezone from single family residential to multi-family residential. The property owner is requesting a rezone to 402 & 404 Pecan Street and if rezoned, there will be additional variances requested, and replat required. There is a structure already started that is spanning the two properties of 402 & 404 Pecan. No opposing comments have been received by City staff from the public. Staff is required to send out letters to all neighboring properties within 200 feet of the property lines of the requested rezone. The requestor, Bill Worrell, was in attendance.

*Jenny Massey of the Planning and Zoning Board of Commissioners made the recommendation for 402 & 404 Pecan Street to rezone from a R2 single family to multi-residential R4. Stephen Nance seconded. All were in favor. Motion of recommendation carried.*

*Reese Cook of the City Council moved to approve the Board of Commissioner's recommendation that the property of 402 & 404 Pecan Street be rezoned to a multifamily residence, R4, as per Section 110-71 of the Zoning Ordinance, exhibit A, pending required variance approvals and replat required to follow. John Rambo seconded. All in favor. Motion carried.*

3. Discussion and possible action to variance requests to the Zoning Ordinance Section 110, Exhibit A; 402 & 404 Pecan Street

City Manager stated the variances requested are required to comply to the newly established zone of R4 requirements to include yard setbacks and other requirements. Discussion ensued about the structure that is already constructed spanning two properties (402 & 404 Pecan). Councilman Brooks voiced his concern with granting the variances requested after work has already commenced. The construction was stopped due to not having the required permitting and zoning allowances. After meeting with Worrell and seeing his intention to have several different housing units onsite, staff felt multi-family is the best approach. Worrell met with City staff and is working to bring the property into compliance. Discussion about being mindful of precedence was noted as a concern, as we have to treat everyone equally when

granting variances. Mr. Worrell, owner, stated the intended use was for a storm shelter originally. He knows he broke the rules, but the project was not supposed to have happened as quickly as it did. Worrell stated the windstorm engineer has been in contact during the construction. He knows he encroached on the setback requirements and stated he owns a majority of the property in the area. He has also talked to the neighboring commercial property owners abutting the rear of the property. He has installed a gutter system to help alleviate the drainage problem and mitigate it to the city storm drains to help the commercial property abutting the rear of the property. City Manager stated we do offer pre development meetings prior to construction to help alleviate these types of issues and help property owners move forward. Board of Commissioners, Stephan Nance, questioned what will happen to the structure if the variances are not granted and the City says no? How do we keep others from doing the same? City Manager stated that if the variances are not granted, the City would send a letter requesting the structure be removed at the property owners expense. Mayor Hopkins asked if the structure could be moved to meet the required setbacks? Mr. Worrell stated it would be very hard to have it moved. The different zones were discussed of the surrounding properties and the process of amending the zoning ordinances already adopted.

*BOC recommendations are not required for variances.*

*John Rambo of the City Council moved to approve the variances requested to the Zoning Ordinance Section 110, Exhibit A, for 402 & 404 Pecan Street.*

*Motion died for lack of second.*

4. Discussion and possible action to establish a Mixed Use Zone within the Zoning Ordinance, Section 110, Exhibit A

Kaydi Smith, City Secretary, stated at the November meeting, Council directed staff to move forward with establishing a mixed use zone. This proposed encompasses Businesses, Commercial, and Light Industrial usage within the usage allowances. The Business Industrial Mixed Use Zone would prohibit residential development. This amendment is for a proposed future rezone at the Industrial Park. Both the Planning and Zoning Board of Commissioners and the City Council discussed the proposed zone and zoning allowances within the proposed zone.

*BOC recommendations are not required for ordinance adoption and/or amendments.*

*Reese Cook of the City Council moved to amend Section 110 of the City's Code of Ordinances, adding a business light industrial mixed use zone within Exhibit A. John Rambo seconded.*

*Reese Cook and John Rambo approved. Brian Brooks opposed. Motion carried.*

**ADJOURN REGULAR SESSION**

Mayor Hopkins adjourned the joint regular session at 5:46 PM.

*Staff present:*

- City Manager, Lindsay Koskiniemi
- Police Chief, Brad Caudle
- Director of Public Works, Terrance Bell
- Finance Director / Personnel Services, Karla Wilson
- City Secretary/ Developmental Services, Kaydi Smith

Passed and approved this 29 day of April, 2024.

  
\_\_\_\_\_  
Kaydi Smith - City Secretary



# CITY OF SWEENY

102 W. Ashley Wilson Rd. • PO Box 248 • Sweeny, Texas 77480 • P: (979) 548-3321 • F: (979) 548-7745

## Zoning Application

Please complete each field. Incomplete applications will **not** be accepted.

### TYPE OF APPLICATION:

- Zoning Change (from C1R2 (to) R4 \*Plat Types include: Amending, Replat, Finals
- P & Z Variance
- Special Exception
- Re-Plat Type: \_\_\_\_\_ \* All plats require an agenda request

### PROJECT INFORMATION:

- Residential
  - Commercial
- Project Name/Owners Name: Bill Worrell, Robert Goodrum  
 Brazoria County Appraisal District Property ID # \_\_\_\_\_  
 Project Address/Location: 404, 402 Pecan St.  
 Subdivision: \_\_\_\_\_ No. of Lots: 2  
 Total Acreage &/or Square Footage: \_\_\_\_\_

Brief Description of Property & Reason for Proposed Request: 1 Storm Building a Housing Corner Property that Borders Mason Building & Waymond Streets to the East - North, South, West are all streets or owned by Worrell, Goodrum.

When a completed application packet/package has been accepted and reviewed, additional information may be required by staff as a result of the review, therefore it may be necessary to postpone the proposed project and remove it from the scheduled agenda and place it on a future agenda. Zoning Changes are charged an advertisement fee of \$250.00 + an administrative fee of \$15.00 for a total of \$265.00. Additional fees assessed for additional pages. Re-plats/Mylars can only be accepted the 1<sup>st</sup> thru the 5<sup>th</sup> business day of the each month.

### PROPERTY OWNER'S INFORMATION:

Name: Bill Worrell  
Address: \_\_\_\_\_  
City: Sweeny State: TX Zip: 77480  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

### APPLICANT OR AGENT'S INFORMATION:

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

\*\*Property owner must be the current owner of the property at the time of submittal of the application, and not the party that has the property under contract.  
As owner and applicant, I hereby request approval of the above described request as provided for by The City of Sweeny.

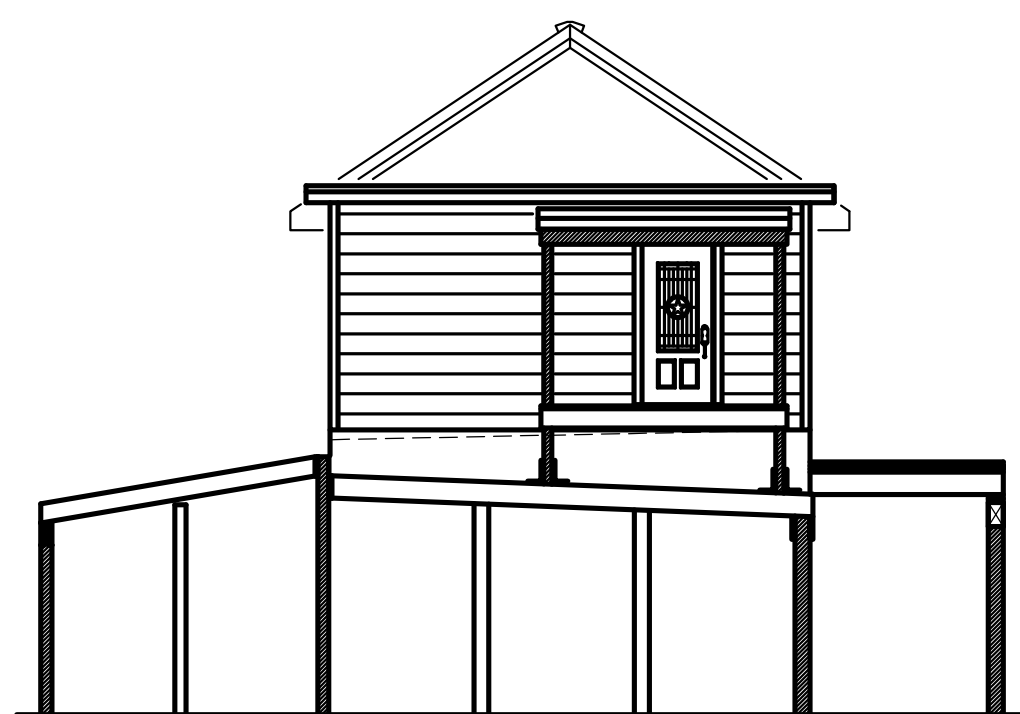
\*\*Owner's Signature: \_\_\_\_\_ Date: 1-18-24  
Agent's/Applicant's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

### OFFICE USE ONLY:

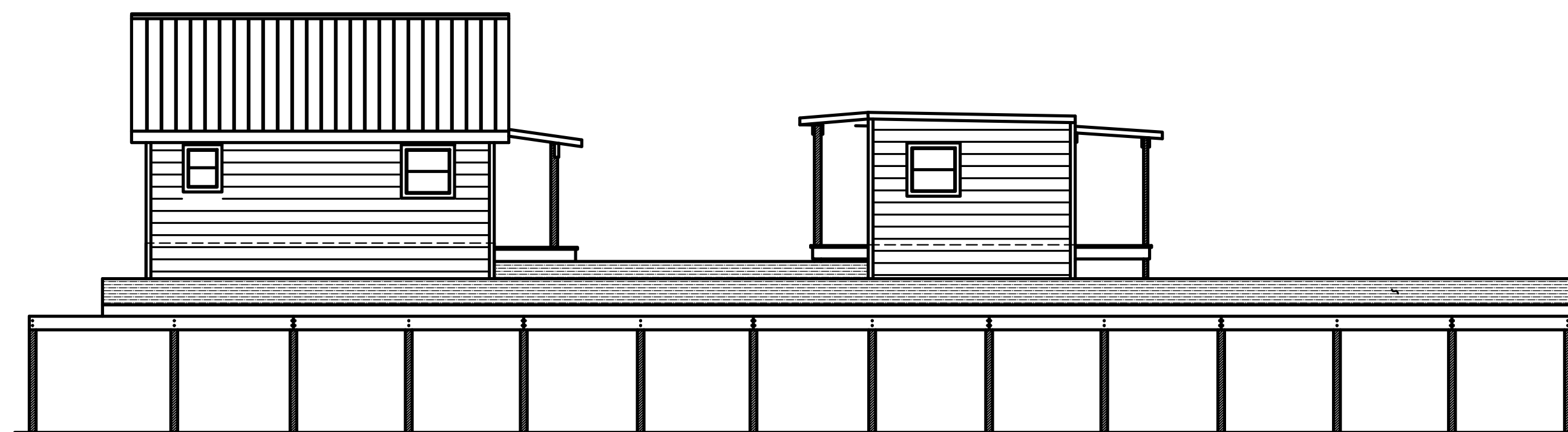
Date Received: 01-18-2024 Amount Collected: \$209.61 City Representative: Kels

see Attached  
Gen Rpt 1256  
ck# 2142  
prt rec'd 2/1/24

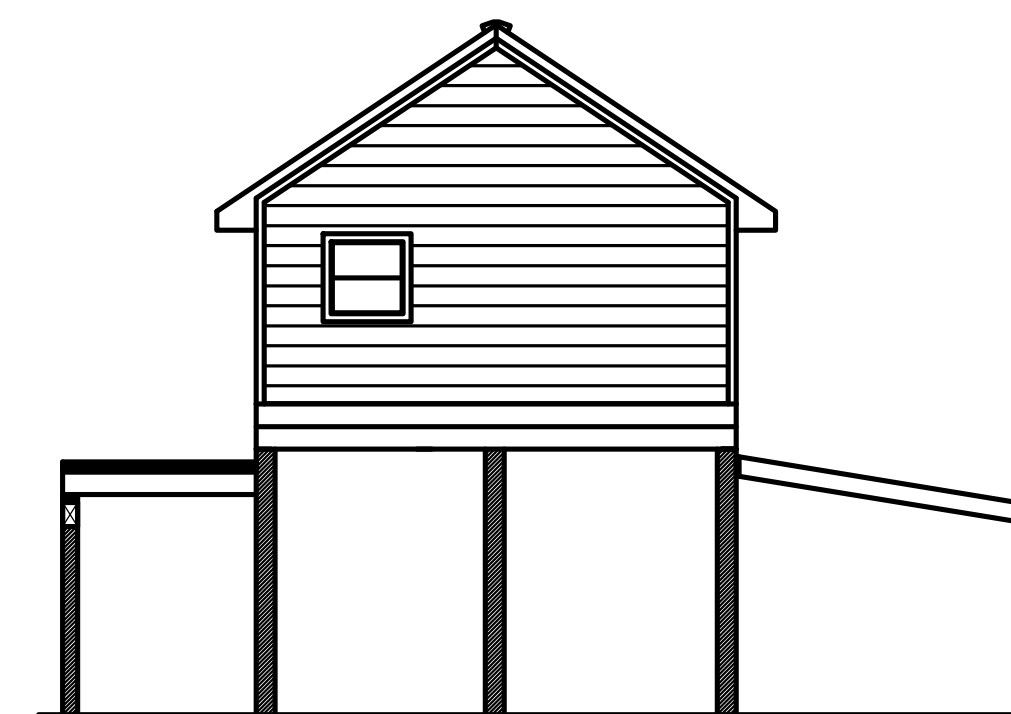
prod fee for newspaper - 1265



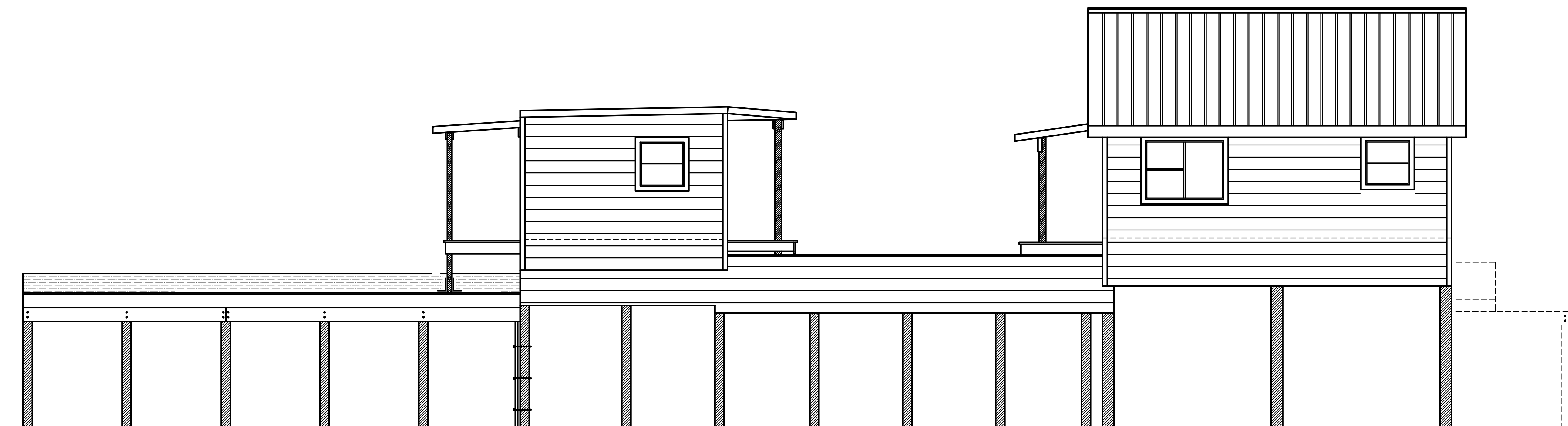
LEFT ELEVATION



BACK ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

# BILL WORREL - AS BUILT - NEW BUILDING

BOTTOM LEVEL - TOTAL COVERED AREA	3144 SQ. FT.
2ND FLOOR - ROOM 1	285 SQ. FT.
2ND FLOOR - ROOM 1 PORCH (NORTH)	50 SQ. FT.
2ND FLOOR - ROOM 1 PORCH (SOUTH)	109 SQ. FT.
2ND FLOOR - ROOM 2	479 SQ. FT.
2ND FLOOR - ROOM 2 PORCH (NORTH)	103 SQ. FT.
<b>GRAND TOTAL SQ FOOTAGE</b>	<b>4,170 SQ. FT.</b>

NOTE:  
DRAWING IS CREATED TO SCALE AS NOTED. HOWEVER, SCALE FACTOR ONLY APPLIES IF USING "D" SIZE (24x36) PAPER. WHEN USING "B" SIZE (11x17) PAPER, DRAWINGS ARE STILL TO SCALE, HOWEVER, SCALE FACTOR NOTED SHALL BE MULTIPLIED BY .5

**AS BUILT**

**DWGS4U**

TO THE BEST OF MY KNOWLEDGE THESE PLANS, SPECIFICATIONS, DETAILS, AND ALL OTHER INFORMATION SHOWN ON THIS SHEET AND ALL ATTACHED SHEETS ARE DRAWN TO COMPLY WITH OWNERS SPECIFICATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/OWNER/DEVELOPER TO VERIFY WITH LOCAL, COUNTY, CITY AND STATE CODE ENFORCEMENT AGENCIES, COMPLIANCE WITH BUILDING CODES AND ORDINANCES FOR THE AREA OF CONSTRUCTION. THIS MUST BE DONE PRIOR TO THE USE OF THIS DOCUMENT OR ANY ATTACHED DOCUMENTS FOR ANY PURPOSE. DESIGNER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION HAS STARTED.

DWG#: **J2314**

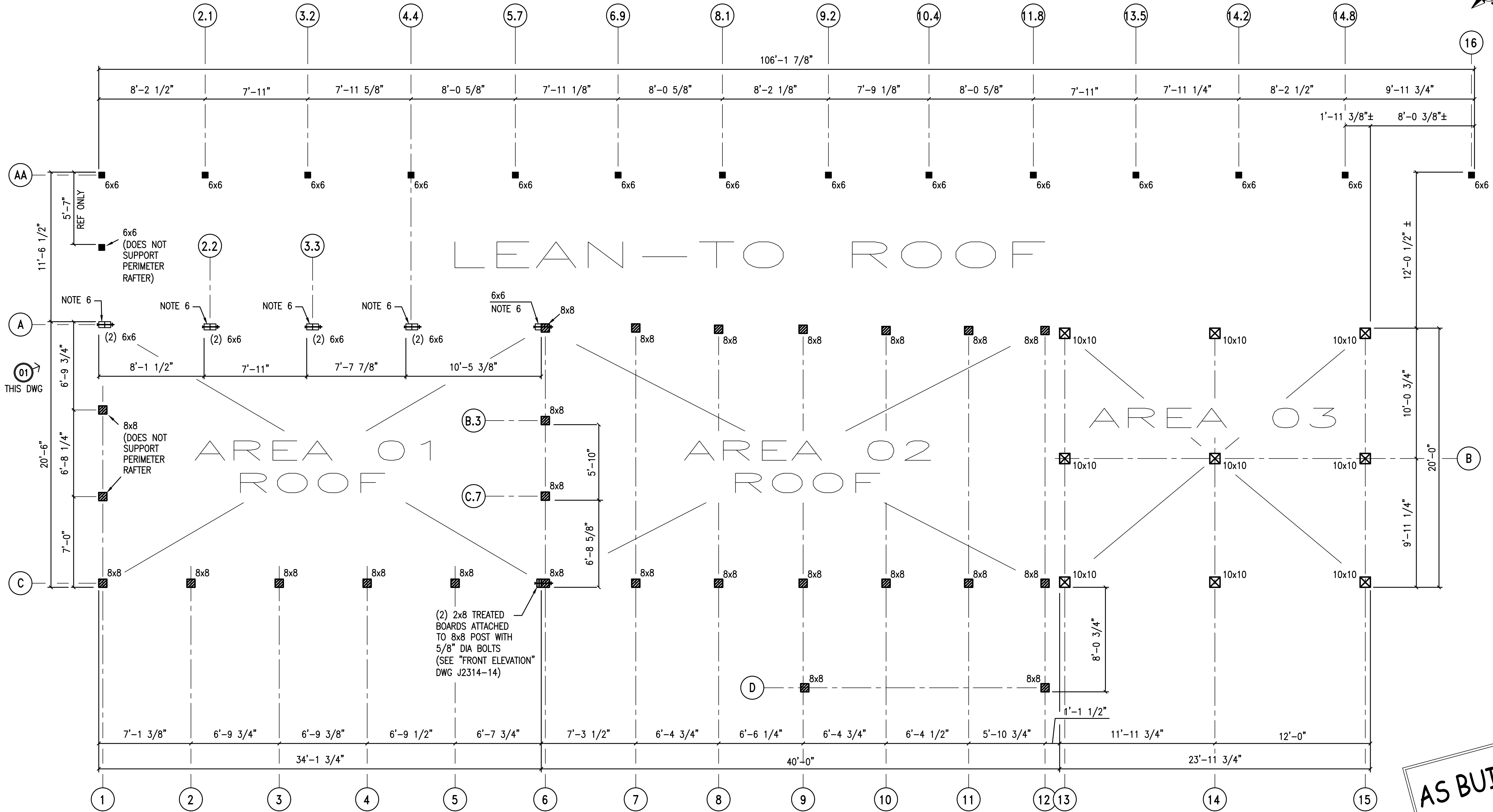
FOR: **BILL WORREL - NEW BUILDING - AS BUILT**

410 PECAN STREET  
SWEENEY, TX 77480

ELEVATIONS & SQUARE FT TOTALS

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DATE	PLAN:	DRAWN BY:	CHECKED BY:	REVISION:	SCALE:	REV.	DATE	ISSUE
		R. GARCIA		0	VARIES	0		CONSTRUCTION



DWG#: J2314-01

FOR: **BILL WORREL - NEW BUILDING - AS BUILT**

410 PECAN STREET  
SWEENEY, TX 77480

EXISTING POST LAYOUT PLAN

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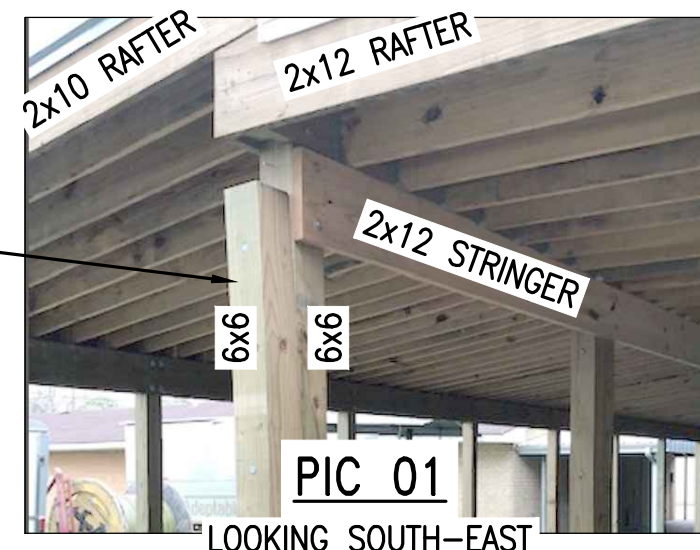
DATE	PLAN:	DRAWN BY:	CHECKED BY:	REVISION:	SCALE:	REV.	DATE	ISSUE
		R. GARCIA		0	1/4" = 1'-0"	0	12/23	CONSTRUCTION

**AS BUILT**

**DWGS4U**

NOTE:  
DRAWING IS CREATED TO SCALE AS NOTED. HOWEVER, SCALE FACTOR ONLY APPLIES IF USING "D" SIZE (24x36) PAPER. WHEN USING "B" SIZE (11x17) PAPER, DRAWINGS ARE STILL TO SCALE, HOWEVER, SCALE FACTOR NOTED SHALL BE MULTIPLIED BY .5

POST DOES NOT EXTEND TO THE TOP



**EXISTING POST LAYOUT PLAN**  
SEE DWGS J2314-02 THRU 18

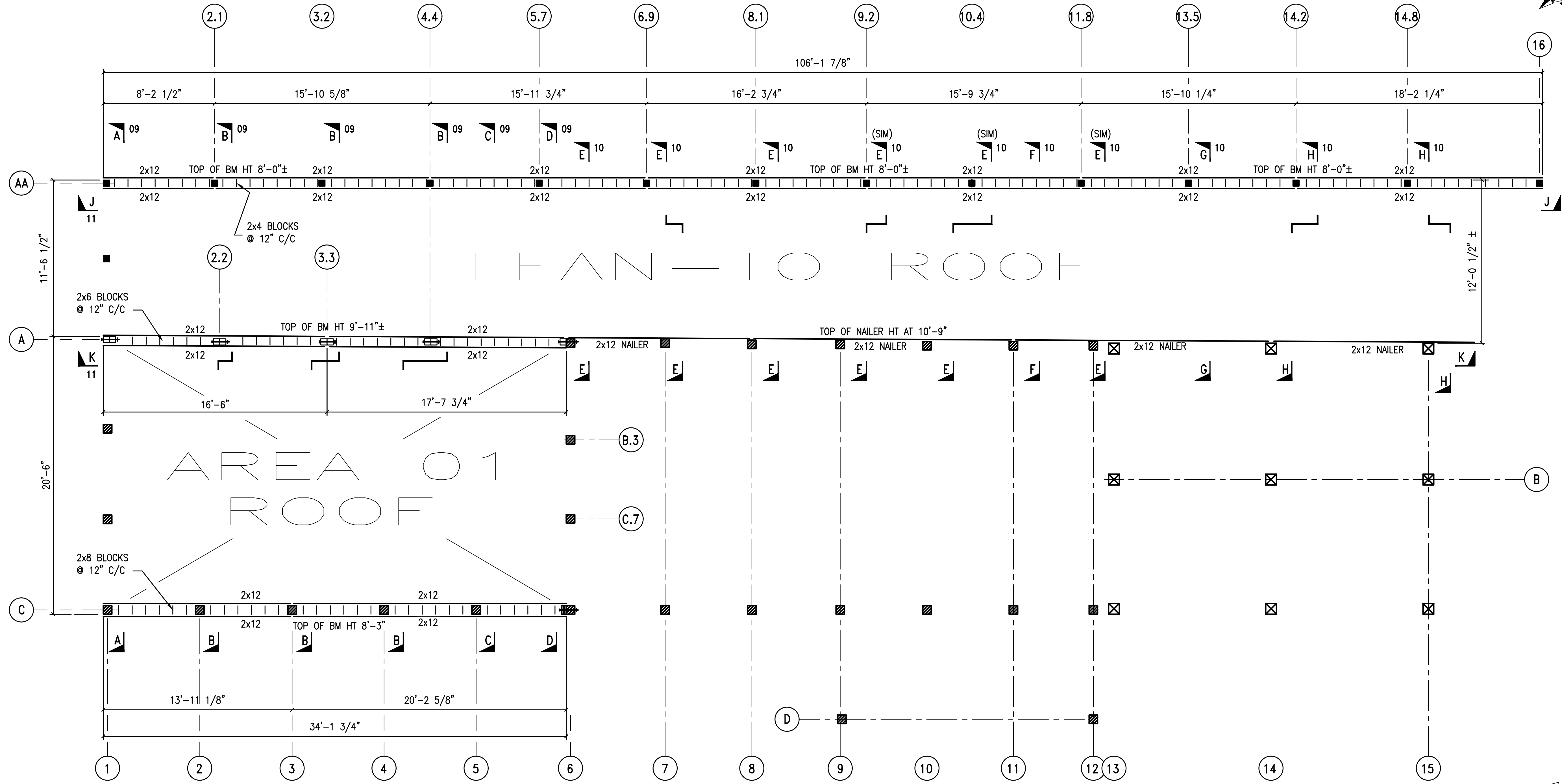
**NOTES**

- COLUMN BUBBLES SHOWN FOR REFERENCE PURPOSES
- ALL EXISTING STRUCTURAL POSTS ARE PRESSURE TREATED
- POST EMBEDMENT DEPTH NOT CONFIRMED BY DESIGNER
- EXIST POSTS/BUILDING IS OUT OF SQUARE  
- DIMS & ELEV'S ARE +/-
- DIMENSION BETWEEN COLUMN LINE "A" & "C" ON NORTH-WEST BLDG FACE DIFFERS FROM DIMENSION ON SOUTH-EAST FACE
- TOP OF (1) POST IS LOWER THAN THE OTHER SEE "PIC 01" (THIS DWG) POSTS ARE CONNECTED WITH 5/8" DIA BOLTS SEE "SECTION K-K" ON DWG J2314-11

**LEGEND**

xx → REPRESENTS PICTURE ORIENTATION & REFERENCE #

TO THE BEST OF MY KNOWLEDGE THESE PLANS, SPECIFICATIONS, DETAILS, AND ALL OTHER INFORMATION SHOWN ON THIS SHEET AND ALL ATTACHED SHEETS ARE DRAWN TO COMPLY WITH OWNERS SPECIFICATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/OWNER/DEVELOPER TO VERIFY WITH LOCAL, COUNTY, CITY AND STATE CODE ENFORCEMENT AGENCIES, COMPLIANCE WITH BUILDING CODES AND ORDINANCES FOR THE AREA OF CONSTRUCTION. THIS MUST BE DONE PRIOR TO THE USE OF THIS DOCUMENT OR ANY ATTACHED DOCUMENTS FOR ANY PURPOSE. DESIGNER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION HAS STARTED.



DWG#: J2314-02

FOR: BILL WORREL - NEW BUILDING - AS BUILT

410 PECAN STREET  
SWEENEY, TX 77480

LEAN-TO ROOF & AREA 01 ROOF  
BEAM, STRINGER BEAM & NAILER LAYOUT PLAN

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AS BUILT

DWGS4U

**LEAN-TO ROOF  
& AREA 01 ROOF  
BEAM, STRINGER BEAM  
& NAILER LAYOUT PLAN**

SEE DWGS J2314-01 THRU 18

**NOTES**

1. COLUMN BUBBLES SHOWN FOR REFERENCE PURPOSES ONLY
2. EXISTING POSTS/BUILDING IS OUT OF SQUARE - DIMENSIONS & ELEVATIONS ARE +/-
3. DIMENSION BETWEEN COLUMN LINE "A" & "C" ON NORTH-WEST BLDG FACE DIFFERS FROM DIMENSION ON SOUTH-EAST FACE

**LEGEND**

(SIM) — REPRESENTS A "SIMILAR" VIEW (ROOM 1 DOES NOT EXTEND THRU COLUMN LINES 9.2, 10.4 & 11.8)

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DWG#: J2314-03

FOR: BILL WORREL - NEW BUILDING - AS BUILT  
410 PECAN STREET  
SWEENEY, TX 77480  
AREA 02 ROOF & AREA 03  
BEAM & 2x12 STRINGER LAYOUT PLAN

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AREA 02 ROOF & AREA 03  
BEAM & 2x12 STRINGER LAYOUT PLAN  
SEE DWGS J2314-01 THRU 18

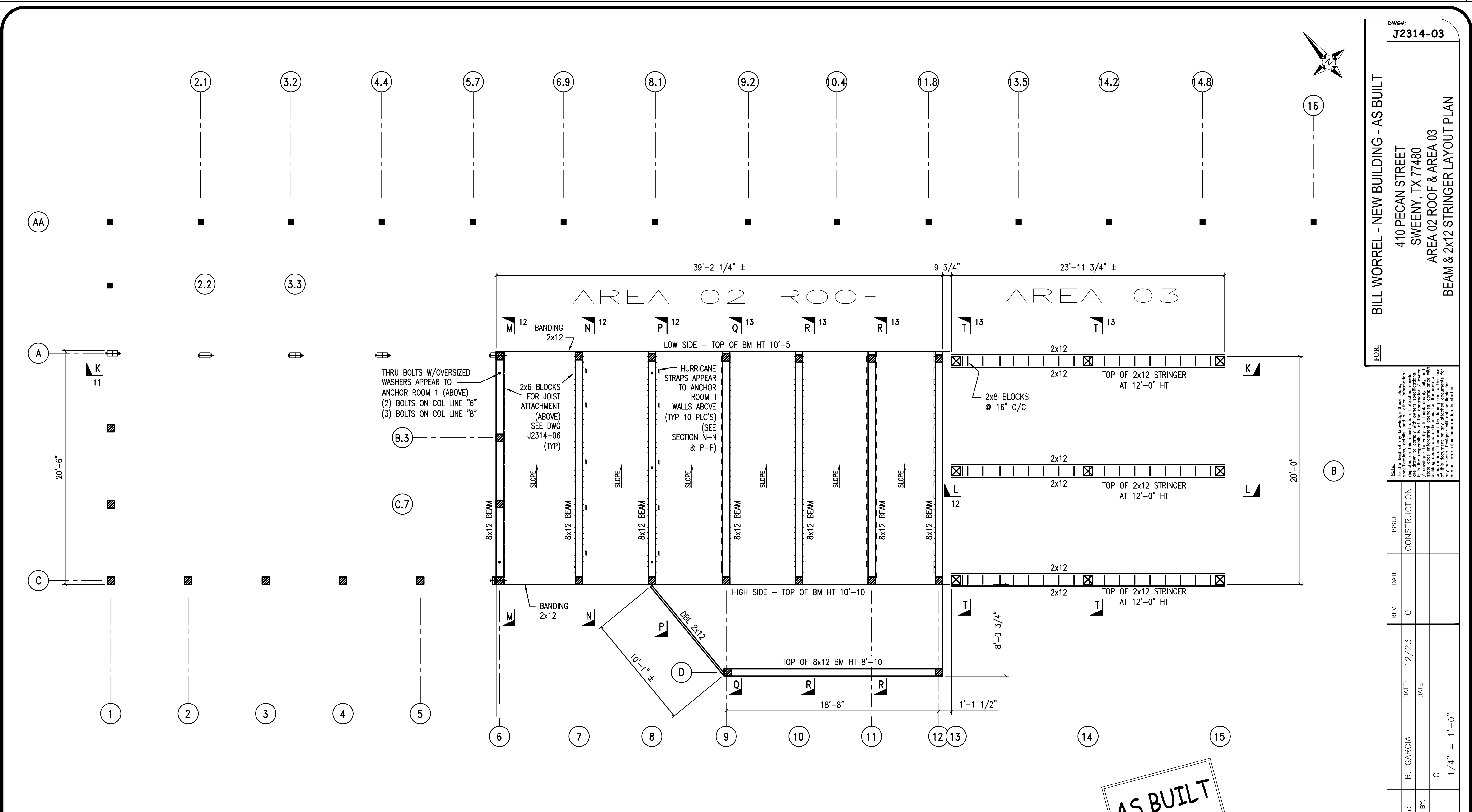
NOTES

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- DIMENSION BETWEEN COLUMN LINE "A" & "C"  
ON NORTH-WEST BLDG FACE DIFFERS FROM DIMENSION  
ON SOUTH-EAST FACE

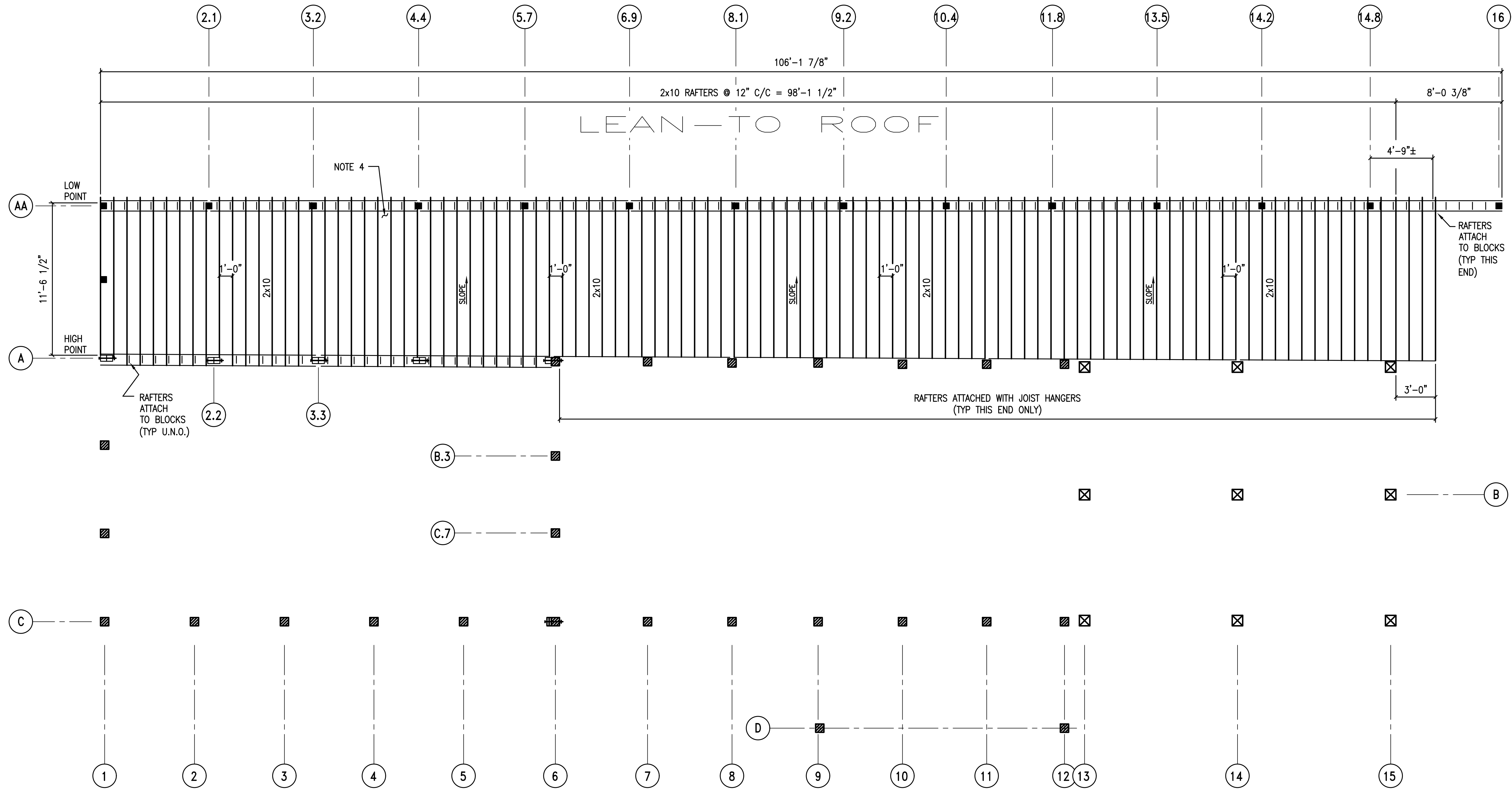
AS BUILT

DWGS4U

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DWG#: J2314-04

FOR: BILL WORREL - NEW BUILDING - AS BUILT

410 PECAN STREET  
SWEENEY, TX 77480  
LEAN-TO ROOF  
RAFTER LAYOUT PLAN

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	R. GARCIA			0	1/4" = 1'-0"	0	12/23	CONSTRUCTION

LEAN TO ROOF  
RAFTER LAYOUT PLAN  
SEE DWGS J2314-01 THRU 18

NOTES

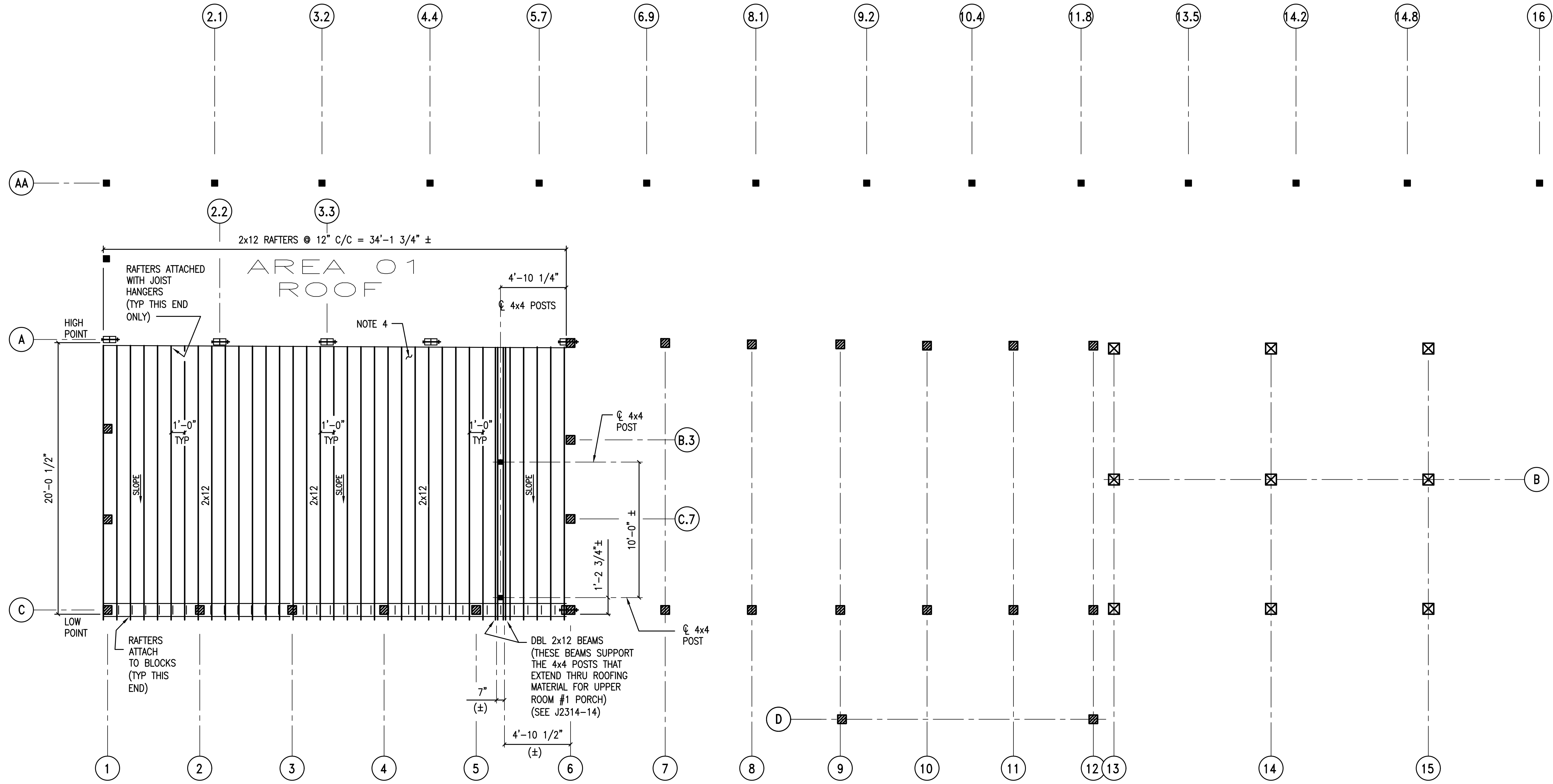
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- EXISTING POSTS/BUILDING IS OUT OF SQUARE  
- DIMENSIONS & ELEVATIONS ARE +/-
- DIMENSION BETWEEN COLUMN LINE "A" & "C" ON NORTH-WEST BLDG FACE DIFFERS FROM DIMENSION ON SOUTH-EAST FACE
- 1 1/8" THK PLYWOOD DECKING OVER RAFTERS

AS BUILT

DWGS4U

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DWG#: J2314-05

FOR: BILL WORREL - NEW BUILDING - AS BUILT  
 410 PECAN STREET  
 SWEENEY, TX 77480  
 AREA 01 ROOF  
 RAFTER LAYOUT PLAN

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**AREA 01 ROOF  
 RAFTER LAYOUT PLAN**  
 SEE DWGS J2314-01 THRU 18

**NOTES**

- COLUMN BUBBLES SHOWN FOR REFERENCE PURPOSES
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 - DIMENSIONS & ELEVATIONS ARE +/-
- DIMENSION BETWEEN COLUMN LINE "A" & "C" ON NORTH-WEST BLDG FACE DIFFERS FROM DIMENSION ON SOUTH-EAST FACE
- 1 1/8" THK PLYWOOD DECKING OVER RAFTERS

**AS BUILT**

**DWGS4U**

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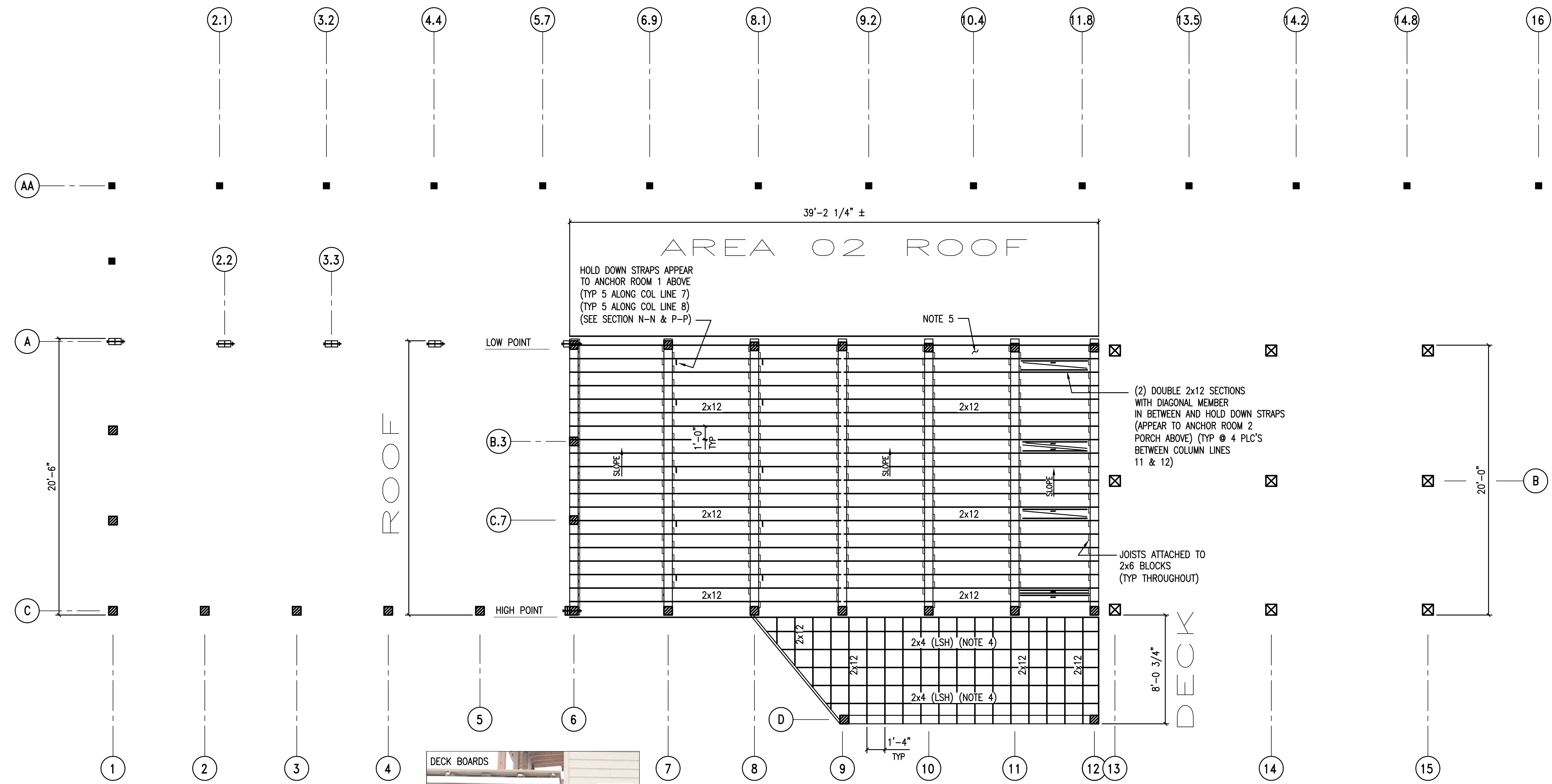
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DWG#: J2314-06

FOR: BILL WORREL - NEW BUILDING - AS BUILT  
410 PECAN STREET  
SWEENEY, TX 77480  
AREA 02 ROOF & DECK  
JOIST LAYOUT PLAN

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### AREA 02 ROOF

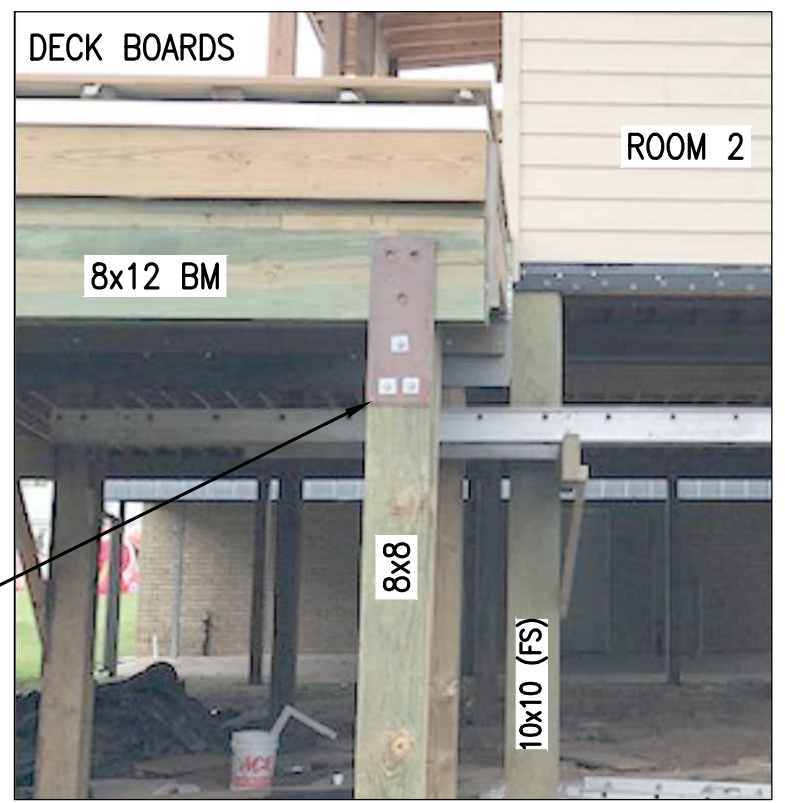
HOLD DOWN STRAPS APPEAR TO ANCHOR ROOM 1 ABOVE (TYP 5 ALONG COL LINE 7) (TYP 5 ALONG COL LINE 8) (SEE SECTION N-N & P-P)

NOTE 5

(2) DOUBLE 2x12 SECTIONS WITH DIAGONAL MEMBER IN BETWEEN AND HOLD DOWN STRAPS (APPEAR TO ANCHOR ROOM 2 PORCH ABOVE) (TYP @ 4 PLC'S BETWEEN COLUMN LINES 11 & 12)

JOISTS ATTACHED TO 2x6 BLOCKS (TYP THROUGHOUT)

8'-0 3/4" DECK



3/16" THK STEEL PLATE W/(3) 5/8" DIA BOLTS  
(1) PLATE NS  
(1) PLATE FS

### AREA 02 ROOF & DECK JOIST LAYOUT PLAN

SEE DWGS J2314-01 THRU 18

### NOTES

- COLUMN BUBBLES SHOWN FOR REFERENCE PURPOSES
- EXISTING POSTS/BUILDING IS OUT OF SQUARE - DIMENSIONS & ELEVATIONS ARE +/-
- DIMENSION BETWEEN COLUMN LINE "A" & "C" ON NORTH-WEST BLDG FACE DIFFERS FROM DIMENSION ON SOUTH-EAST FACE
- 2x4 PURLINS SPACED @ 16" C/C
- 1 1/8" THK PLYWOOD DECKING OVER 2x12 JOISTS

### LEGEND

- (LSH) - "LONG SIDE HORIZONTAL" SPC'D @ 16" C/C
- (xx) - REPRESENTS PICTURE ORIENTATION & REFERENCE #
- (FS) - "FAR SIDE"
- (NS) - "NEAR SIDE"
- - HOLD DOWN STRAPS ANCHORING STRUCTURE ABOVE

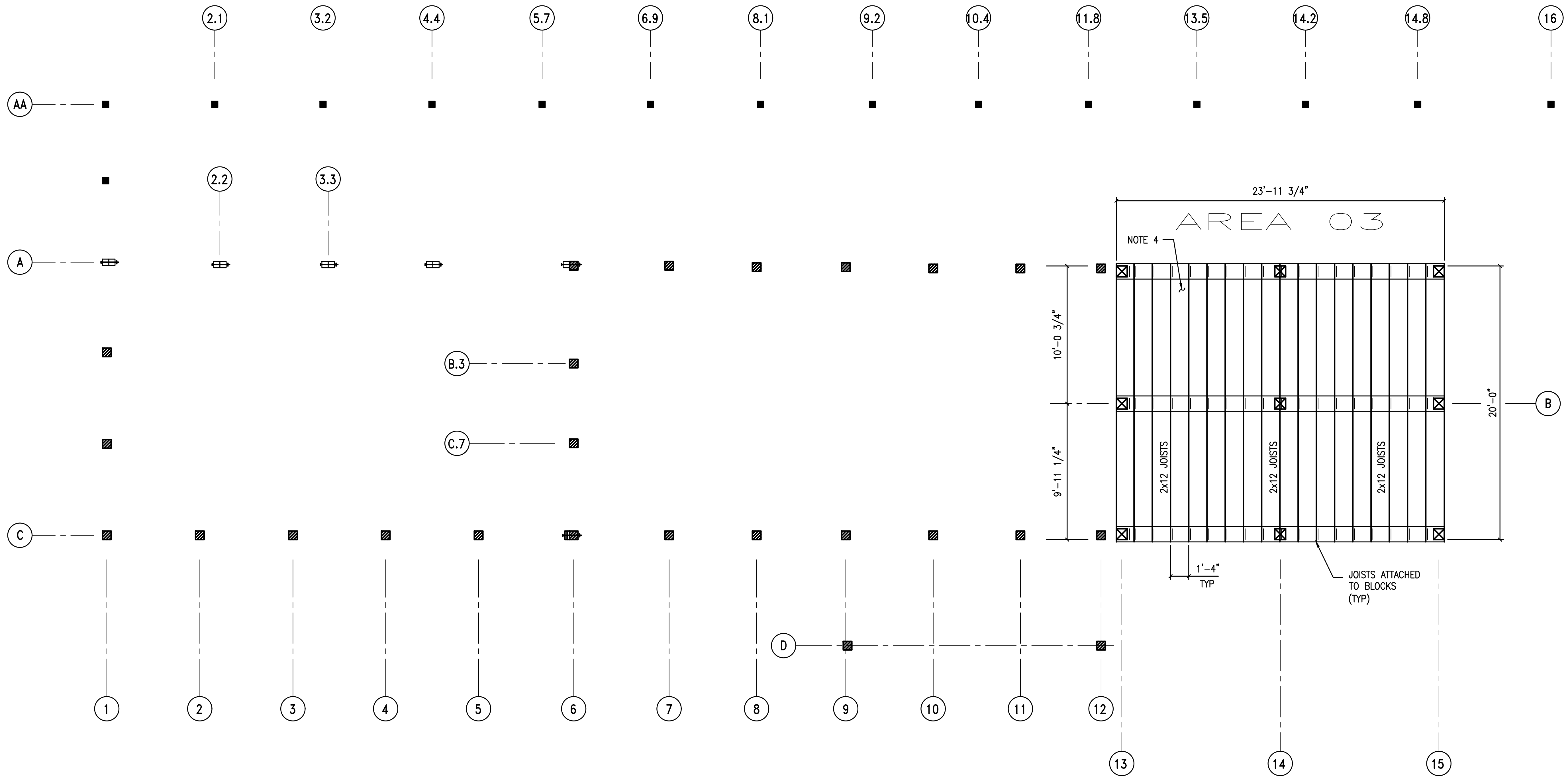
AS BUILT

DWGS4U

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PIC 02  
LOOKING NORTH-EAST



**AREA 03  
JOIST LAYOUT PLAN**  
SEE DWGS J2314-01 THRU 18

- NOTES**
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  2. EXISTING POSTS/BUILDING IS OUT OF SQUARE  
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  3. DIMENSION BETWEEN COLUMN LINE "A" & "C"  
ON NORTH-WEST BLDG FACE DIFFERS FROM DIMENSION  
ON SOUTH-EAST FACE
  4. 1 1/8" THK PLYWOOD DECKING OVER 2x12 JOISTS

**AS BUILT**

**DWGS4U**

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DWG#: <b>J2314-07</b>	
FOR: <b>BILL WORREL - NEW BUILDING - AS BUILT</b>	
410 PECAN STREET SWEENEY, TX 77480 AREA 03 JOIST LAYOUT PLAN	
DATE:	ISSUE:
DATE:	CONSTRUCTION
REV.:	0
DATE:	12/23
DATE:	
SCALE:	1/4" = 1'-0"
PLAN:	R. GARCIA
DRAWN BY:	
CHECKED BY:	0
REVISION:	

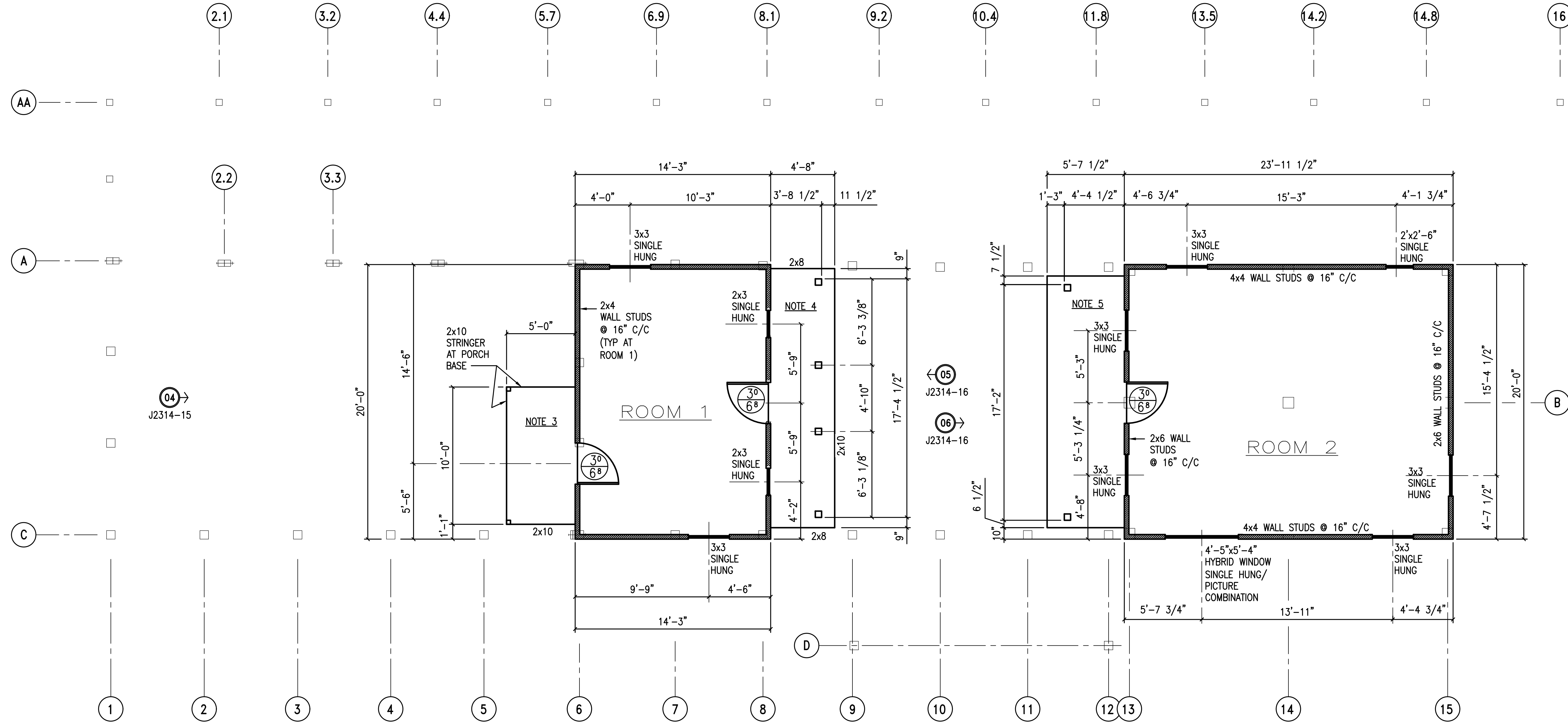
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DWG#: J2314-08

FOR: BILL WORREL - NEW BUILDING - AS BUILT  
410 PECAN STREET  
SWEENEY, TX 77480  
2ND FLOOR (ROOF TOP)  
ROOM 1 & 2 - LAYOUT PLAN

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**NOTES**

1. COLUMN BUBBLES SHOWN FOR REFERENCE PURPOSES
2. EXISTING POSTS/BUILDING IS OUT OF SQUARE - DIMENSIONS & ELEVATIONS ARE +/-
3. PORCH FLOOR FRAMING COMPOSED OF 2x10 PERIMETER STRINGER (AROUND 3 SIDES) AND 2x8 JOISTS @ 16" C/C SPANNING ACROSS SHORT DIRECTION.
4. PORCH FLOOR FRAMING COMPOSED OF (2) 2x8 STRINGERS (SHORT FACE) AND (1) 2x10 STRINGER (LONG FACE) WITH 2x8 JOISTS @ 16" C/C SPANNING ACROSS SHORT DIRECTION.
5. PORCH FLOOR FRAMING - NON-SYSTEMATIC - LAYOUT NOT DETERMINED.

**2ND FLOOR (ROOF TOP)  
ROOMS 1 & 2 LAYOUT PLAN**  
SEE DWGS J2314-01 THRU 18

**LEGEND**

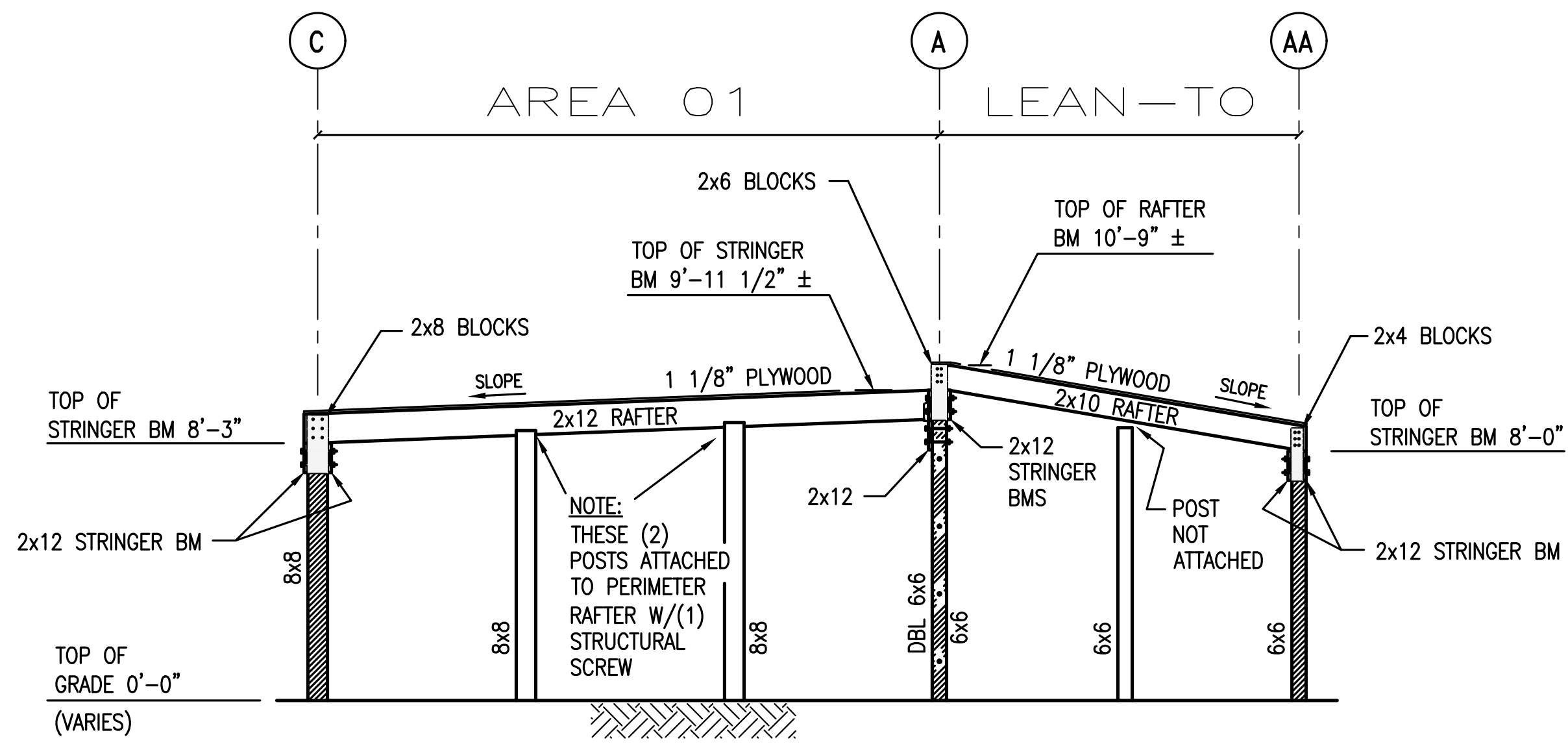
- xx - REPRESENTS PICTURE ORIENTATION & REFERENCE #

**AS BUILT**

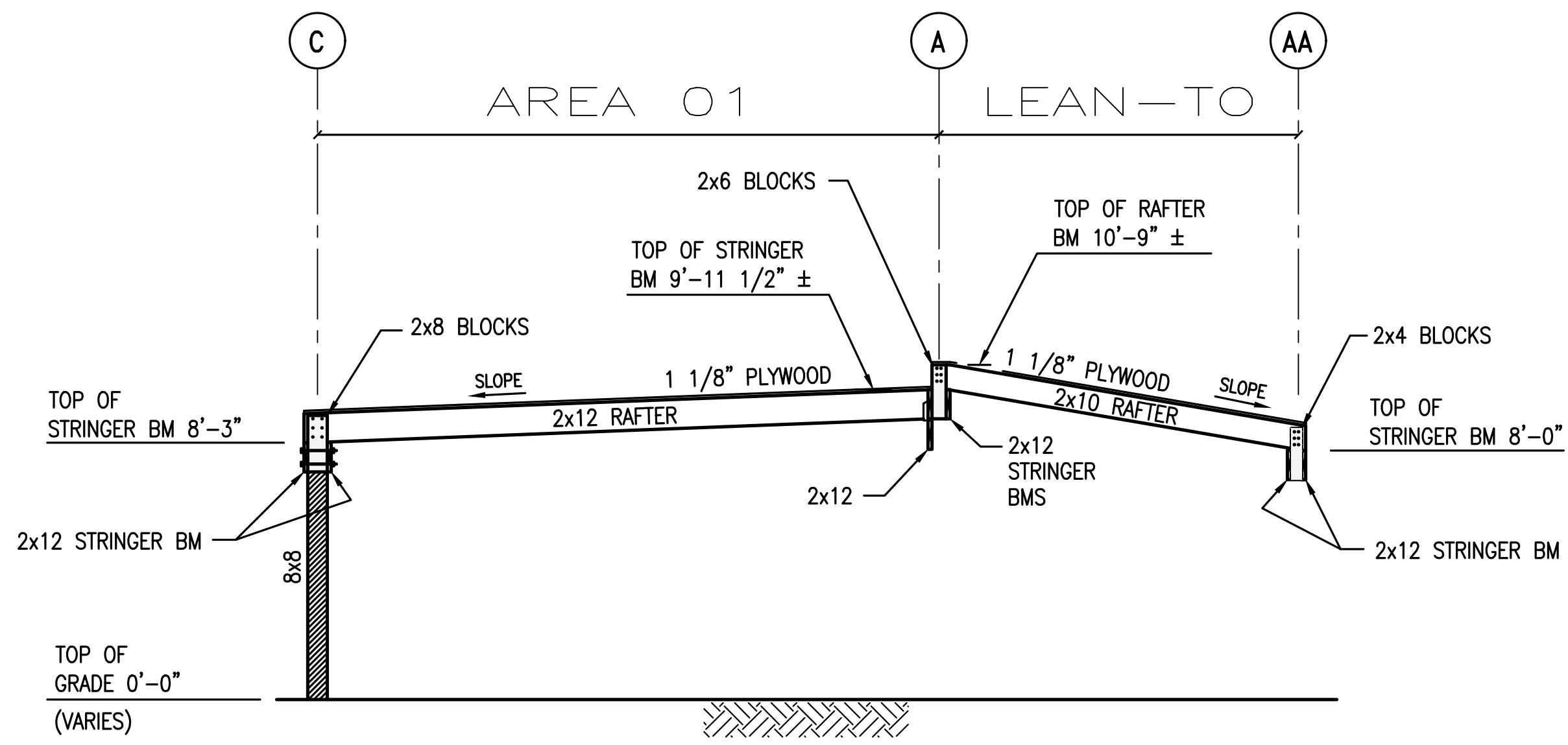
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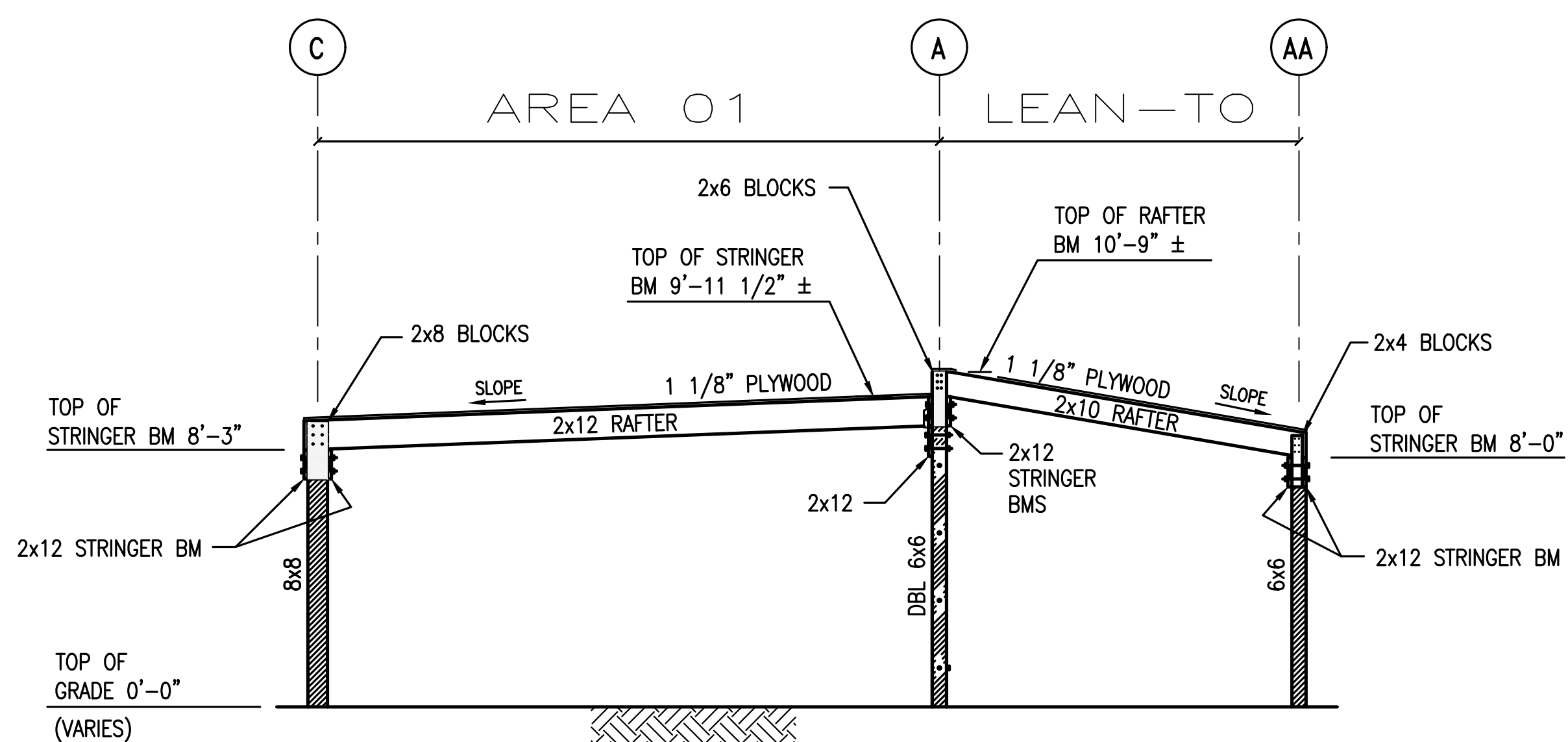
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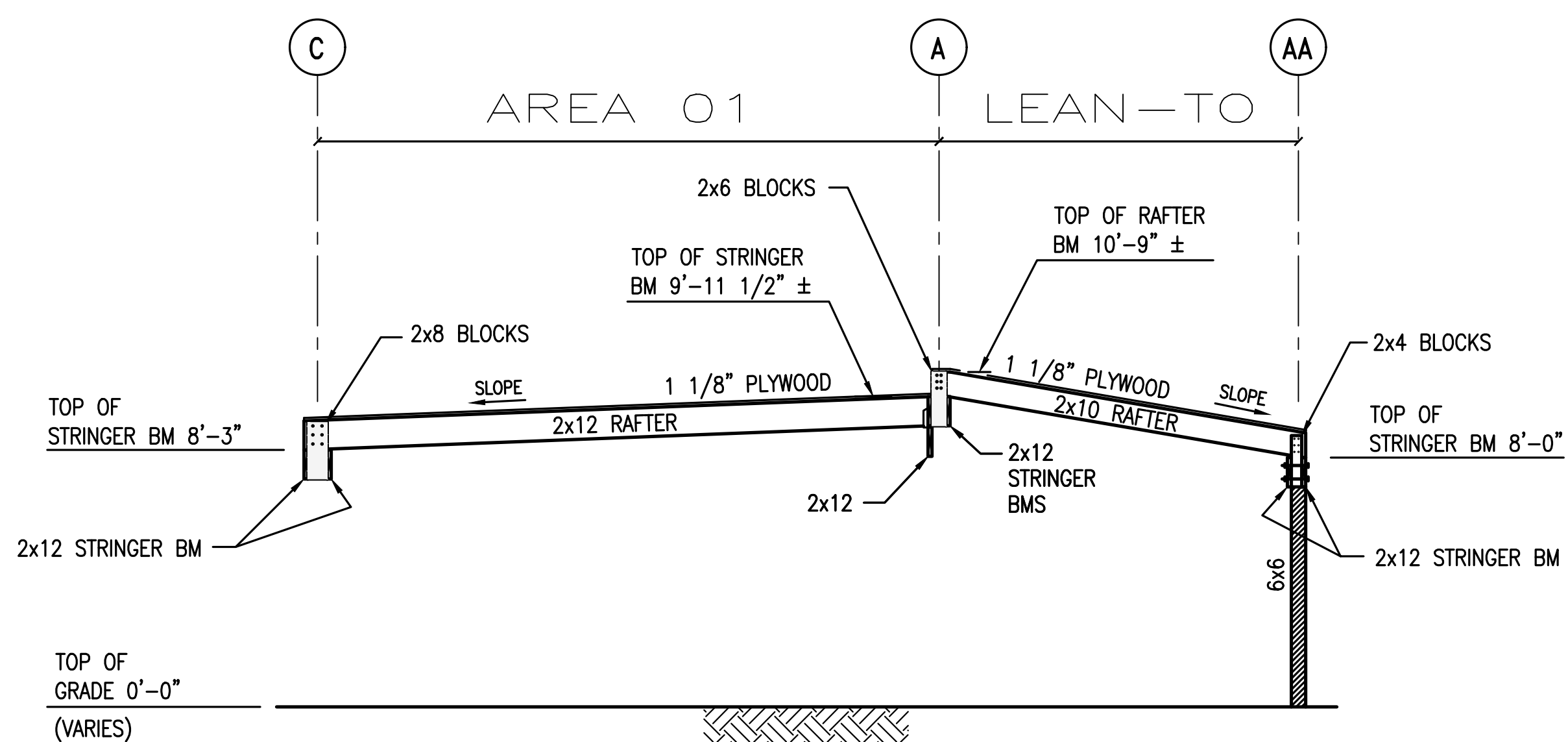
**SECTION A-A**  
LOOKING NORTH-WEST  
(SEE DWGS J2314-02 & 03)



**SECTION C-C**  
LOOKING NORTH-WEST  
(SEE DWGS J2314-02 & 03)



**SECTION B-B**  
LOOKING NORTH-WEST  
(SEE DWGS J2314-02 & 03)



**SECTION D-D**  
LOOKING NORTH-WEST  
(SEE DWGS J2314-02 & 03)

**AS BUILT**

**DWGS4U**

DWG#: **J2314-09**

FOR: **BILL WORREL - NEW BUILDING - AS BUILT**  
410 PECAN STREET  
SWEENEY, TX 77480  
LEAN-TO ROOF & AREA 01 ROOF  
SECTION A-A THRU SECTION D-D

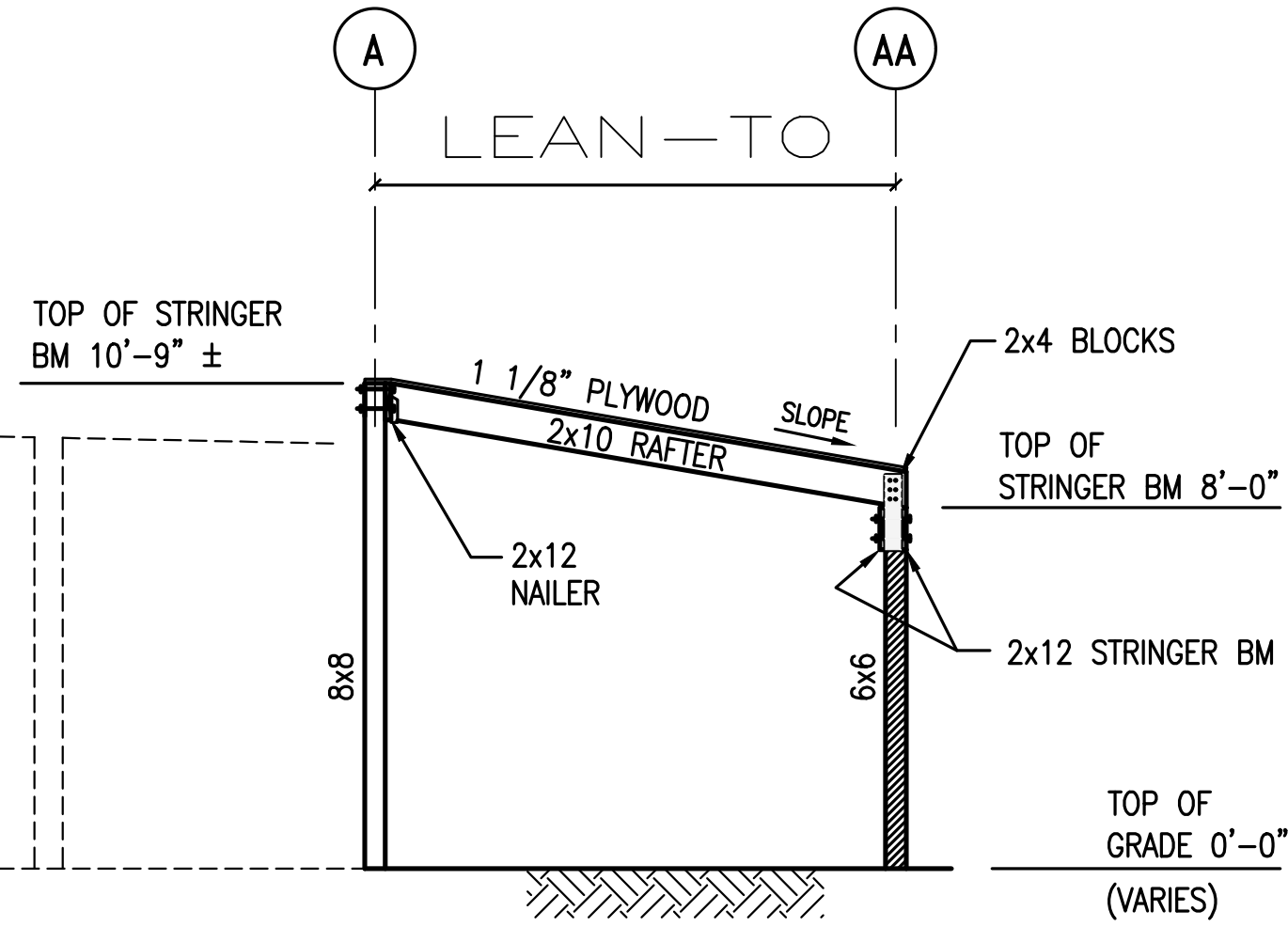
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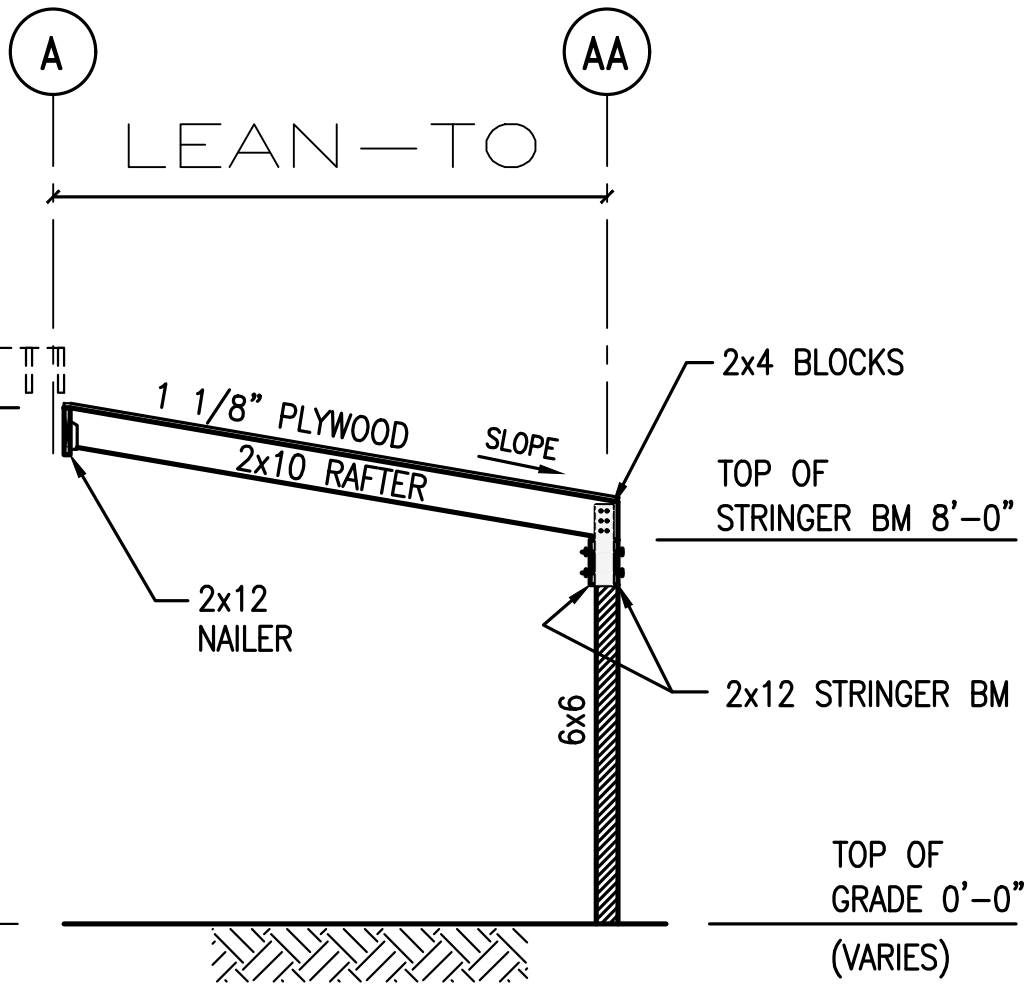
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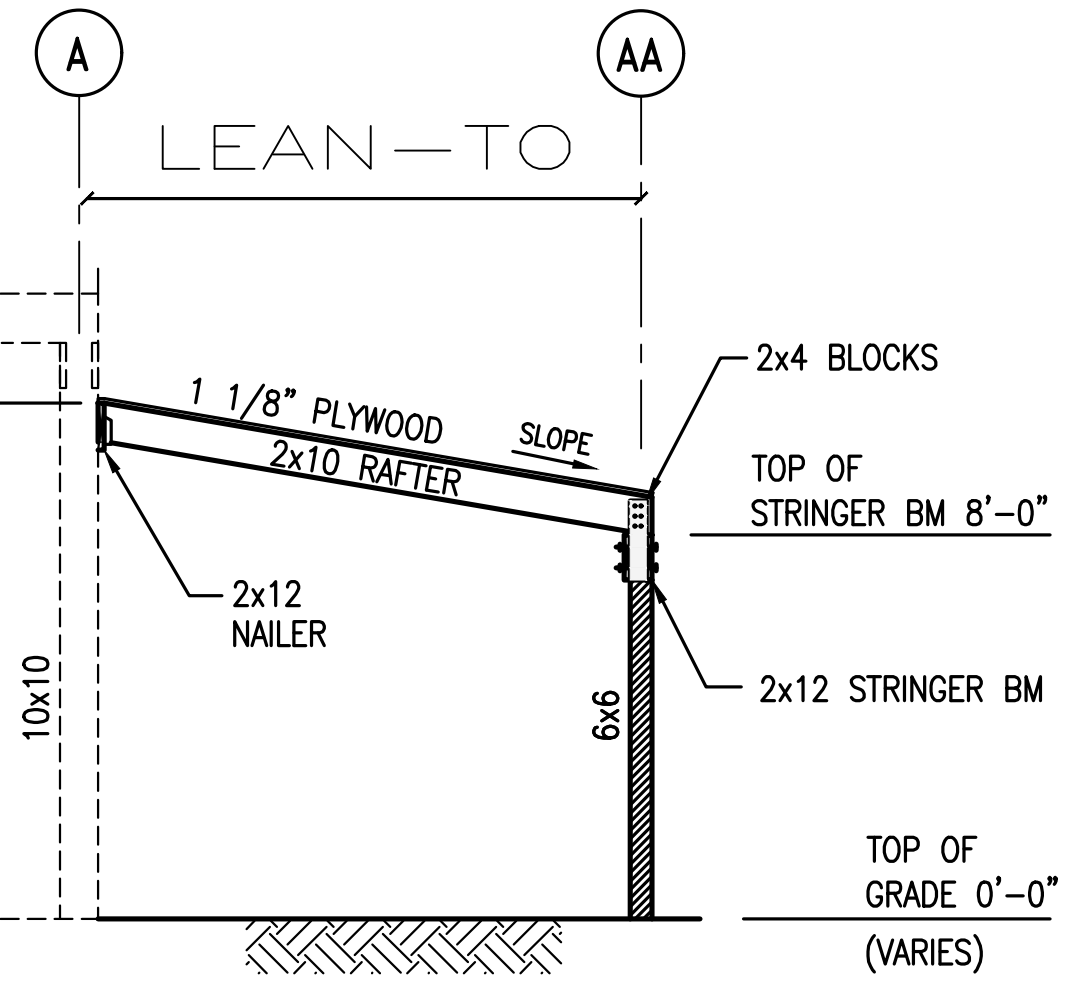
AREA 02  
ROOM 1  
(ROOM 1 DOES EXTEND THRU  
COLUMN LINES 9.2, 10.4 & 11.8)



**SECTION E-E**  
LOOKING NORTH-WEST  
(SEE DWGS J2314-02 & 03)

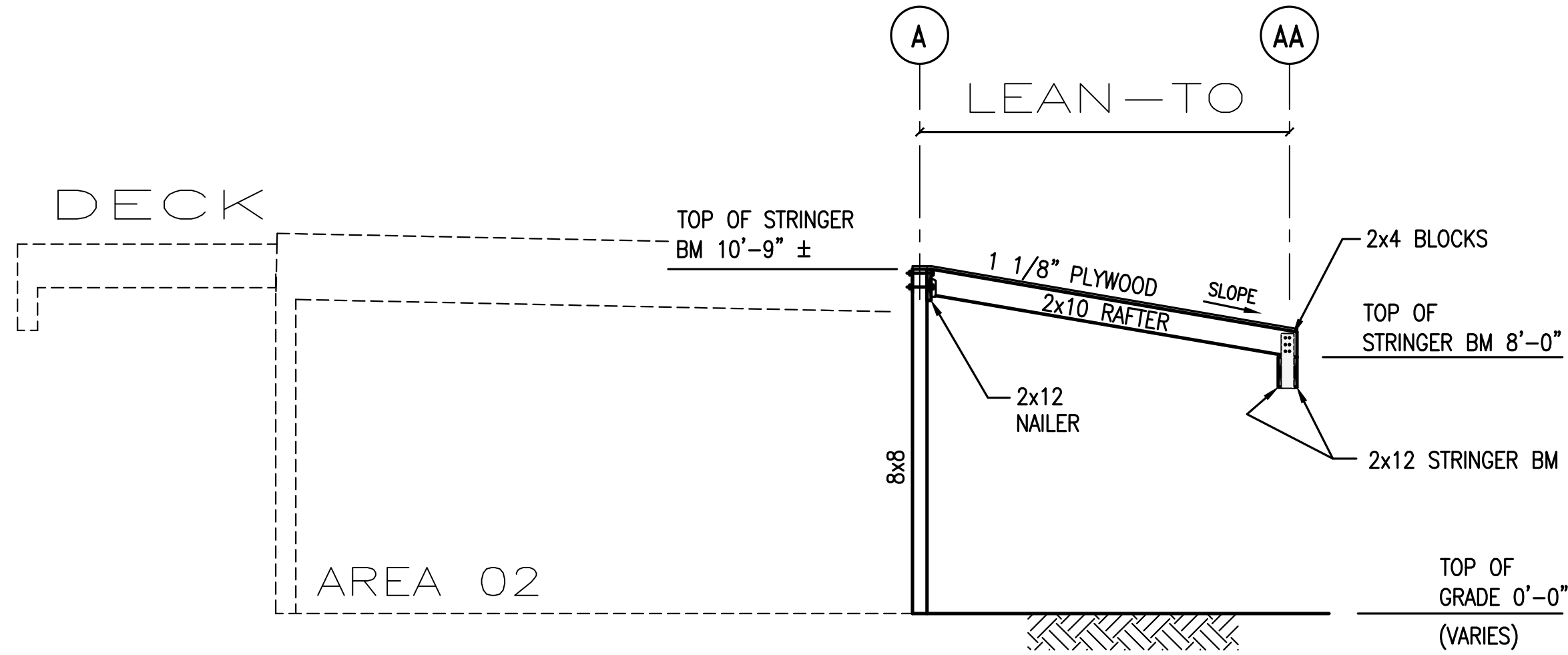


**SECTION G-G**  
LOOKING NORTH-WEST  
(SEE DWGS J2314-02 & 03)



**SECTION H-H**  
LOOKING NORTH-WEST  
(SEE DWGS J2314-02 & 03)

DECK



**SECTION F-F**  
LOOKING NORTH-WEST  
(SEE DWGS J2314-02 & 03)

AREA 03  
ROOM 2

**AS BUILT**

**DWGS4U**

DWG#: **J2314-10**

FOR: **BILL WORREL - NEW BUILDING - AS BUILT**  
410 PECAN STREET  
SWEENEY, TX 77480  
LEAN-TO ROOF  
SECTION E-E THRU SECTION H-H

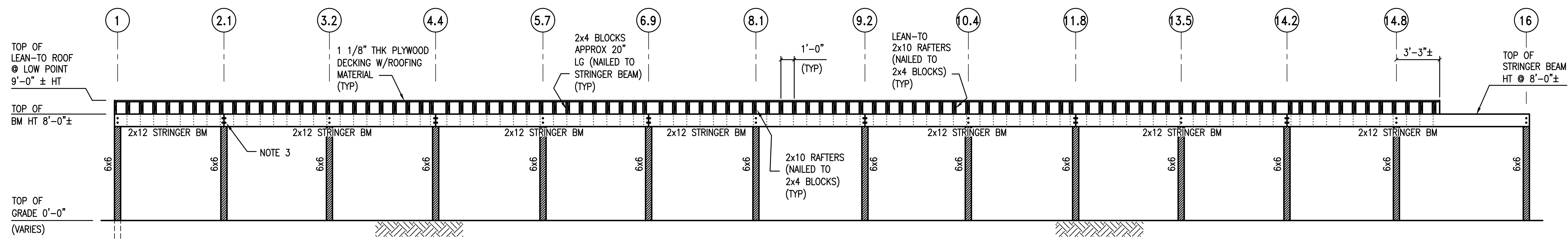
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		R. GARCIA		0	1/4" = 1'-0"	0	12/23	CONSTRUCTION

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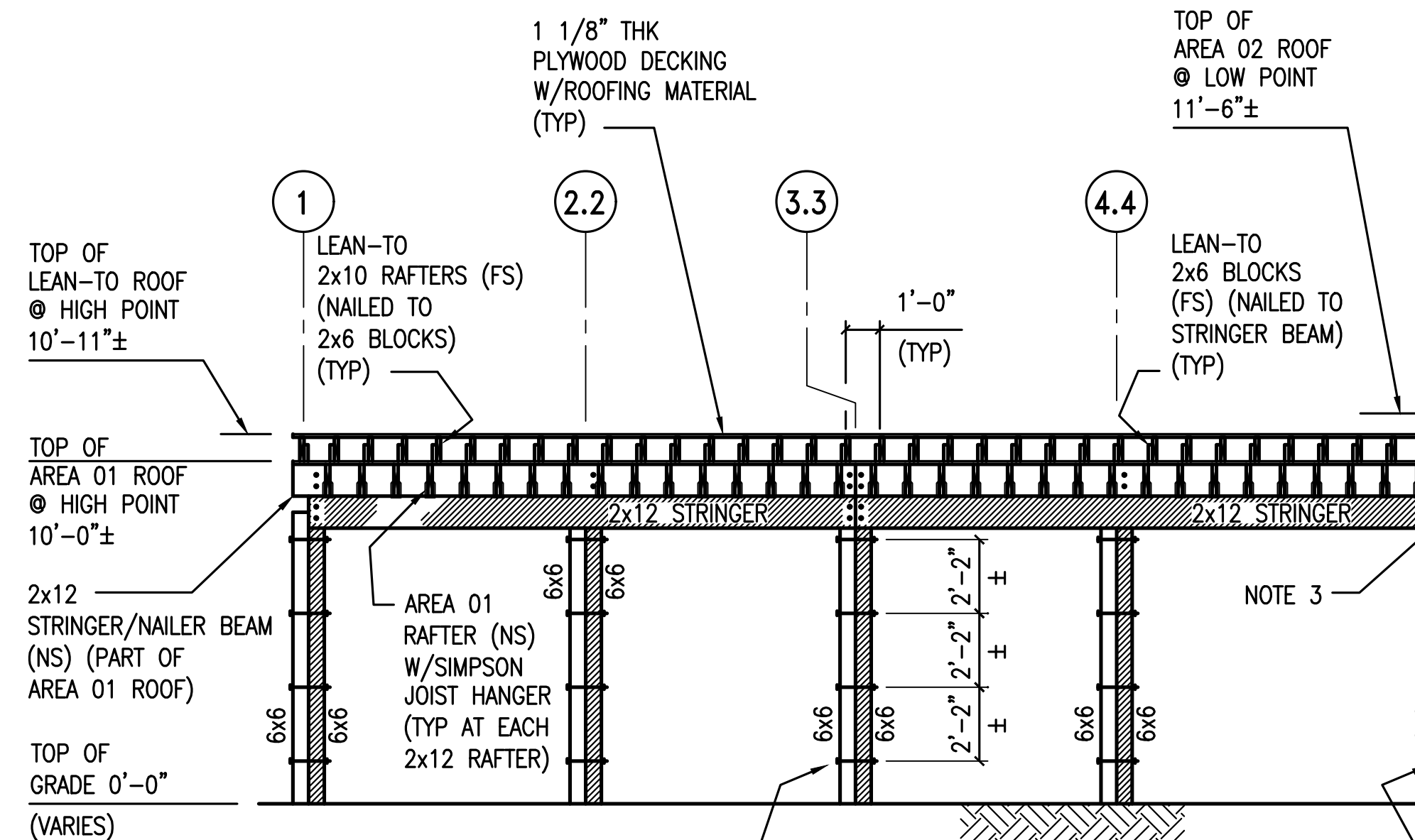
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**SECTION J-J**  
ALONG LEAN-TO ROOF  
LOOKING NORTH-EAST  
(SEE DWG J2314-02)

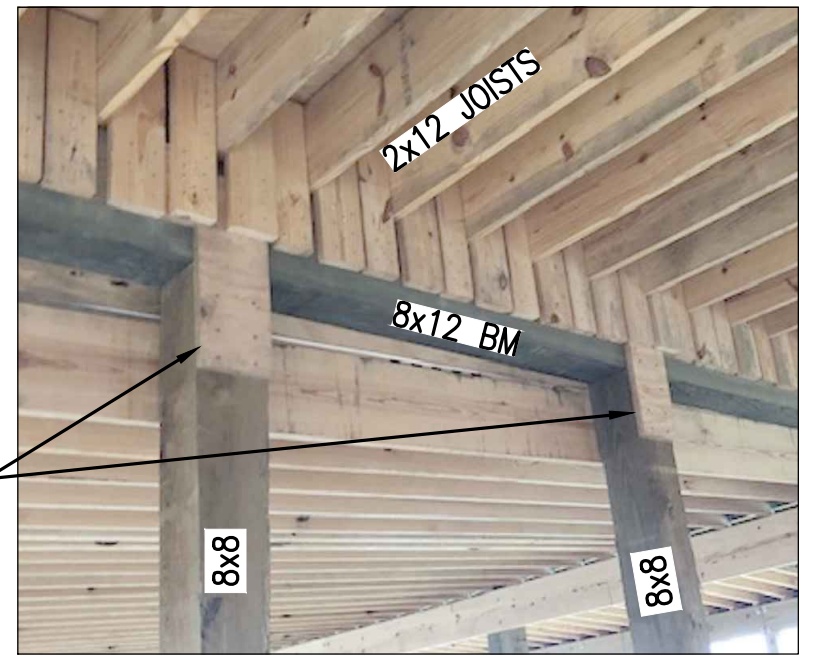
EXISTING 6x6 TREATED POSTS (TYP) EMBEDMENT DEPTH UNDETERMINED BY DESIGNER (ENGINEER TO CONSULT WITH O.R. FOR FURTHER SPEC'S) (TYP THROUGHOUT)



**SECTION K-K**  
LOOKING NORTH-EAST  
(SEE DWGS J2314-02 & 03)

(4) 5/8" DIA GALVANIZED THRU BOLTS (EVENLY SPACED & DRILLED AT C.L. OF POST (TYING (2) EXISTING 6x6 TREATED POSTS TOGETHER) (TYP @ (4) PLACES AS SHOWN)

EXISTING TREATED POSTS (TYP) EMBEDMENT DEPTH UNDETERMINED BY DESIGNER (ENGINEER TO CONSULT WITH O.R. FOR FURTHER SPEC'S) (TYP THROUGHOUT)



**PIC 03**  
LOOKING NORTH-EAST

**NOTES**

1. COLUMN BUBBLES SHOWN FOR REFERENCE PURPOSES
2. ALL EXISTING STRUCTURAL POSTS ARE PRESSURE TREATED
3. GALVANIZED 5/8" DIA BOLTS

**LEGEND**

- ⬆️ - REPRESENTS PICTURE ORIENTATION & REFERENCE #
- (NS) - "NEAR SIDE"
- (FS) - "FAR SIDE"
- TOG - "TOP OF GRADE"
- O.R. - "OWNERS REPRESENTATIVE"

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DWG#: **J2314-11**

**FOR: BILL WORREL - NEW BUILDING - AS BUILT**

410 PECAN STREET  
SWEENEY, TX 77480

LONGITUDINAL SECTIONS ALONG AREA 01 THRU 03  
SECTION J-J & SECTION K-K

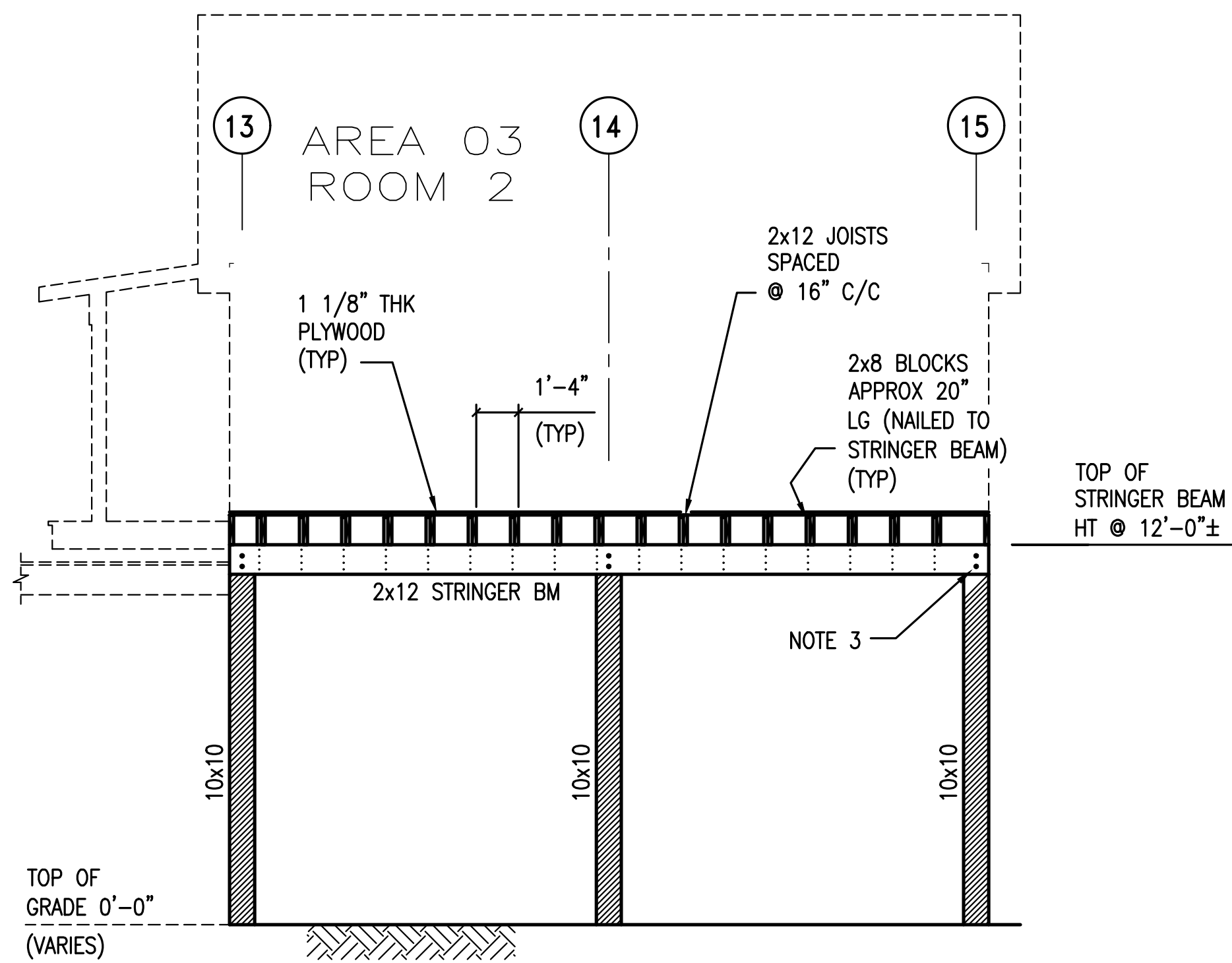
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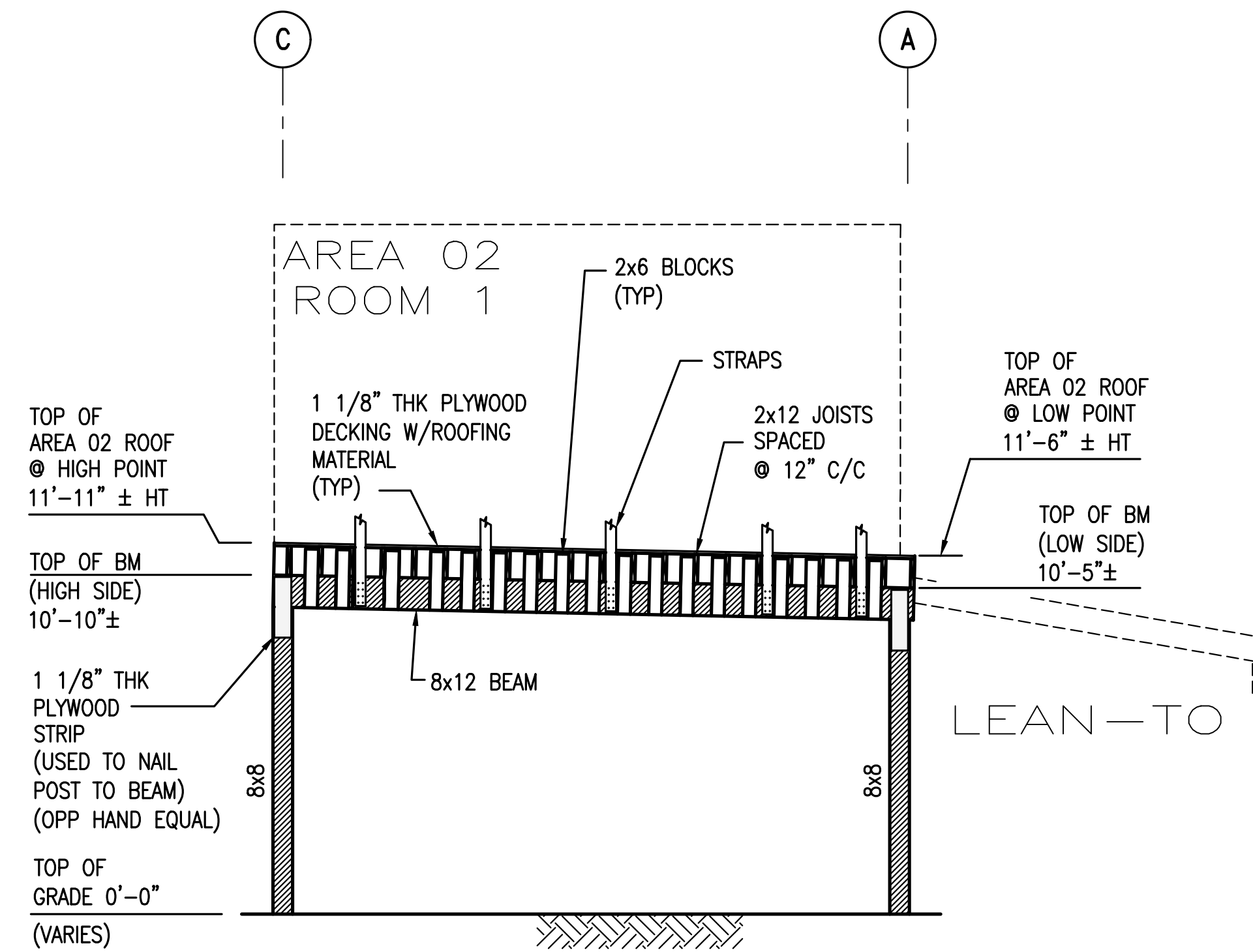
**AS BUILT**

**DWGS4U**

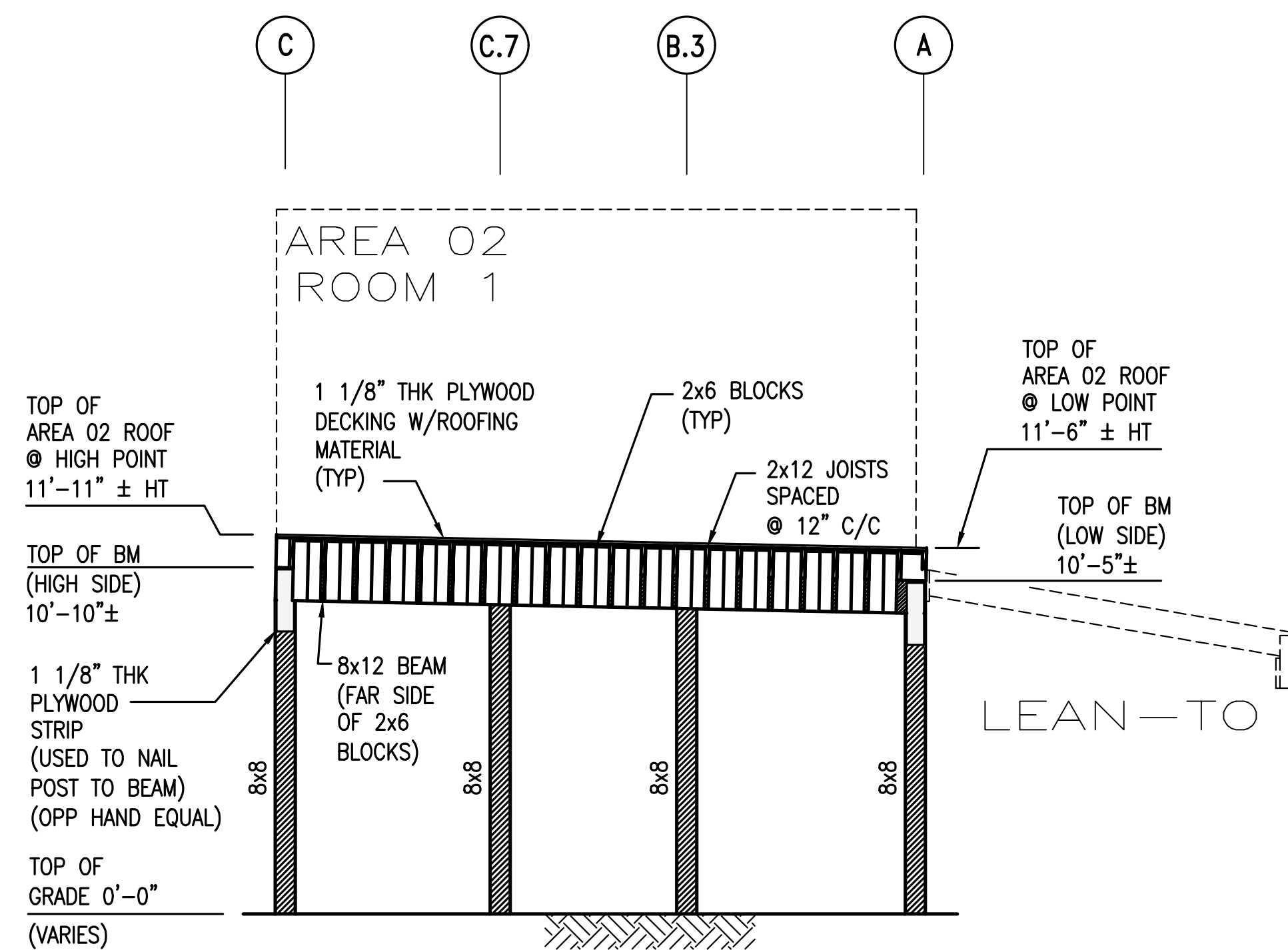
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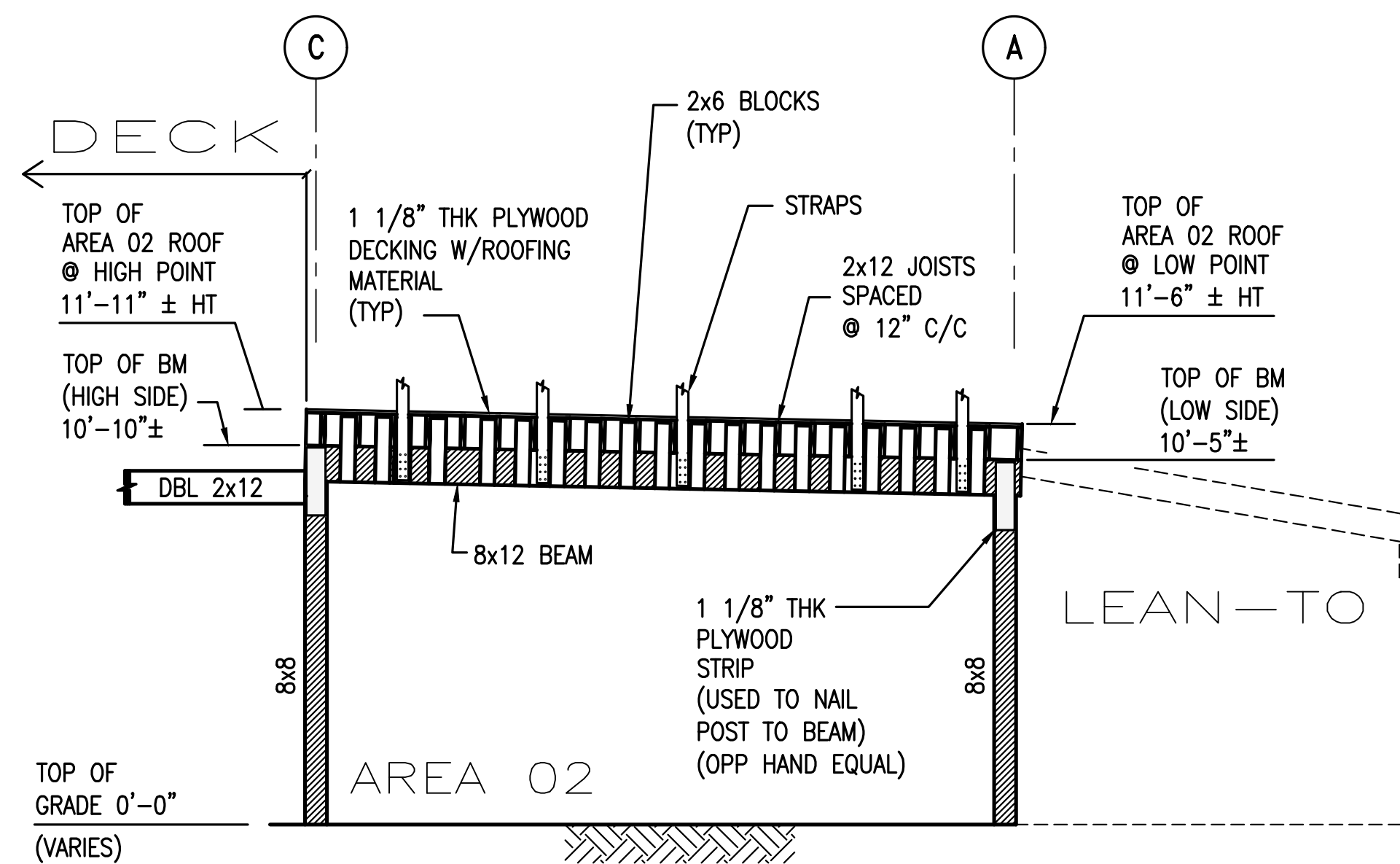
**SECTION L-L**  
LOOKING NORTH-EAST  
(SEE DWG J2314-03)



**SECTION N-N**  
LOOKING NORTH-WEST  
(SEE DWG J2314-03)



**SECTION M-M**  
LOOKING NORTH-WEST  
(SEE DWG J2314-03)



**SECTION P-P**  
LOOKING NORTH-WEST  
(SEE DWG J2314-03)

DWG#: **J2314-12**  
FOR: **BILL WORREL - NEW BUILDING - AS BUILT**  
410 PECAN STREET  
SWEENEY, TX 77480  
SECTIONS ACROSS AREA 02 & AREA 03  
SECTION L-L THRU SECTION P-P

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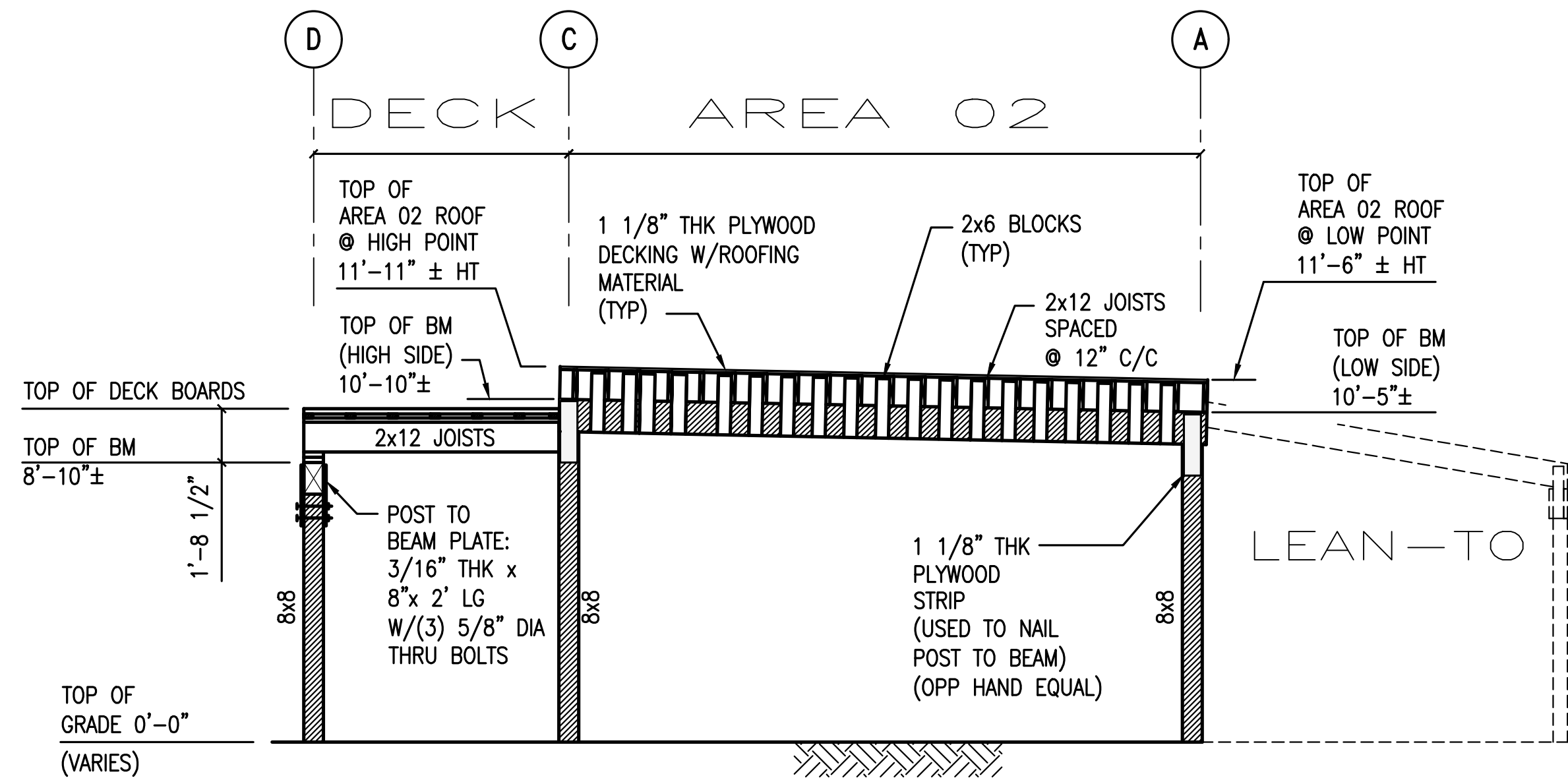
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		R. GARCIA		0	1/4" = 1'-0"	0	12/23	CONSTRUCTION

**AS BUILT**

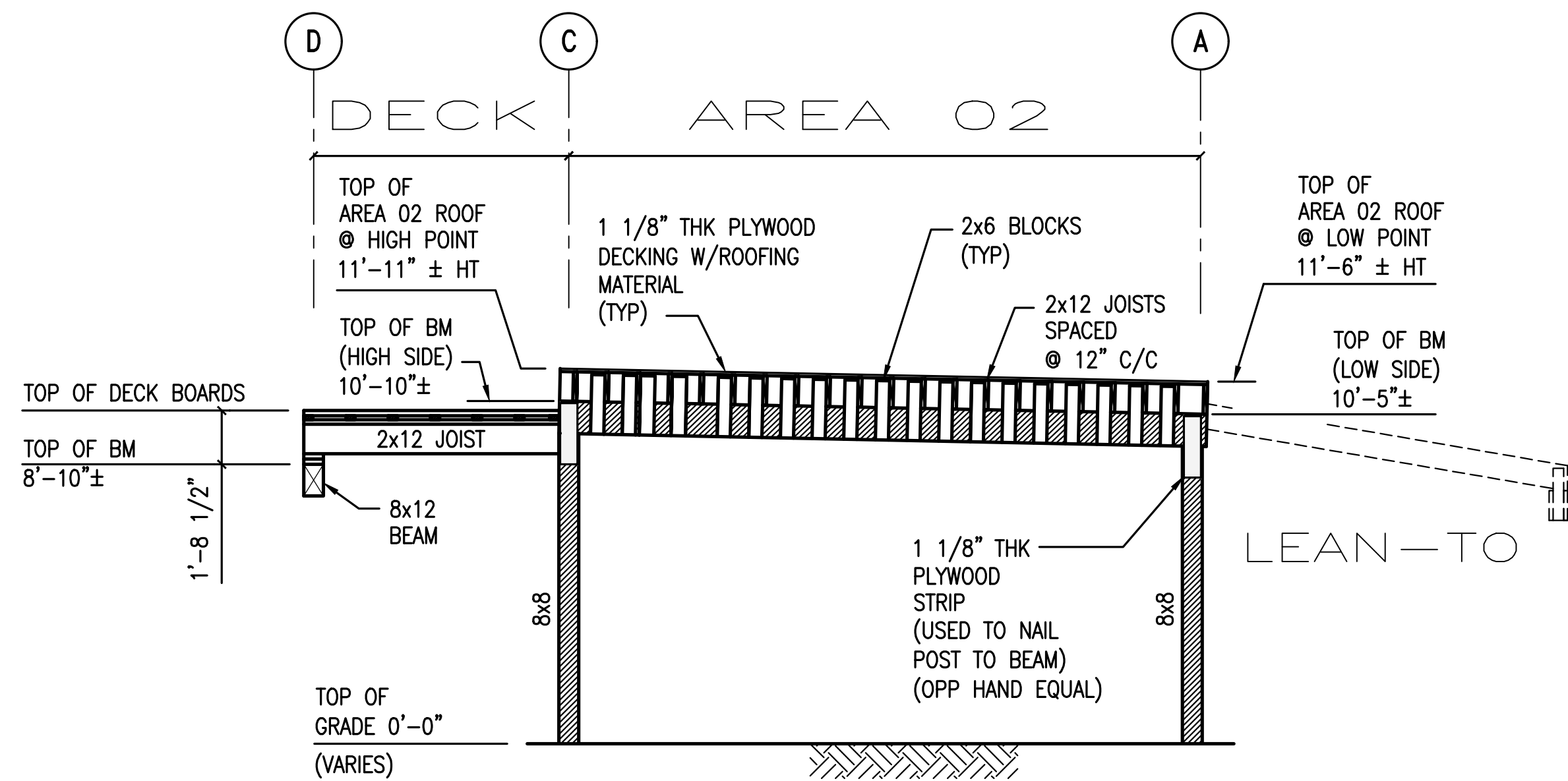
**DWGS4U**

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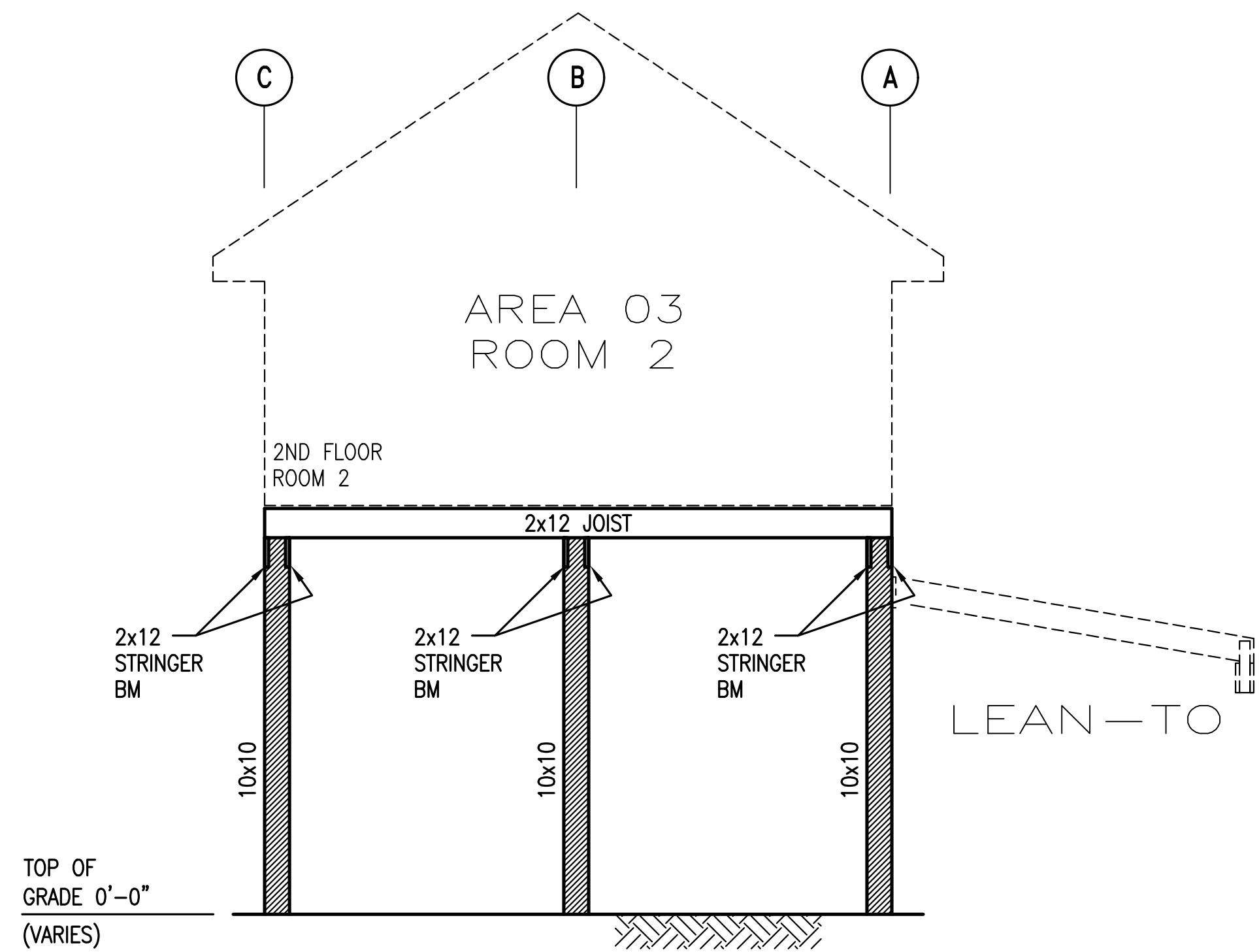
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**SECTION Q-Q**  
LOOKING NORTH-WEST  
(SEE DWG J2314-03)



**SECTION R-R**  
LOOKING NORTH-WEST  
(SEE DWG J2314-03)



**SECTION T-T**  
LOOKING NORTH-WEST  
(SEE DWG J2314-03)

**AS BUILT**

DWG#: **J2314-13**

**FOR: BILL WORREL - NEW BUILDING - AS BUILT**  
410 PECAN STREET  
SWEENEY, TX 77480  
SECTIONS ACROSS AREA 02 & AREA 03  
SECTION Q-Q THRU SECTION T-T

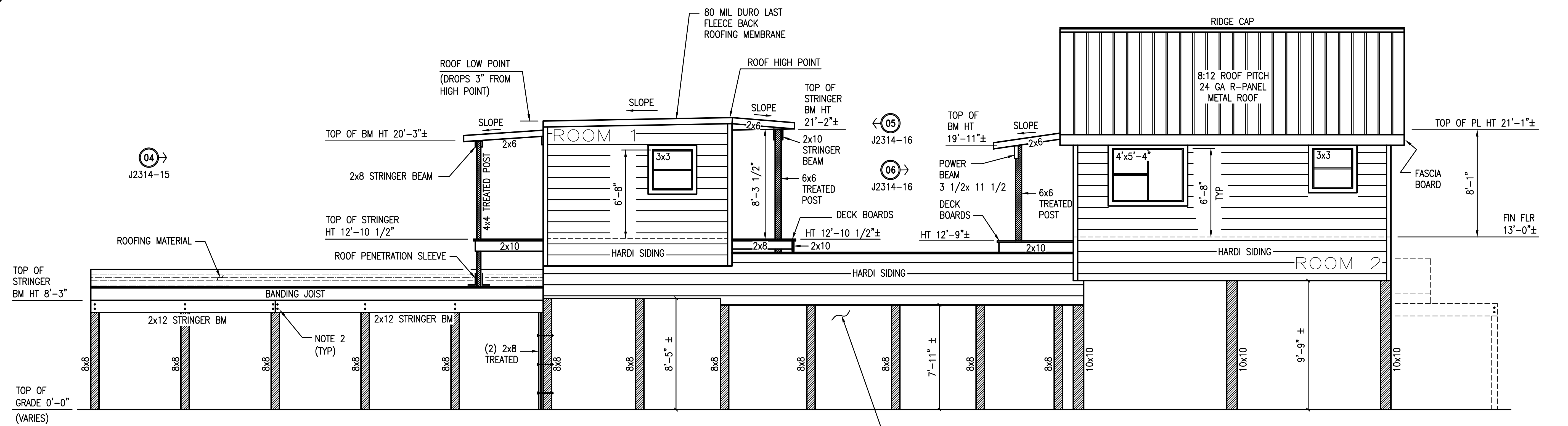
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**DWGS4U**

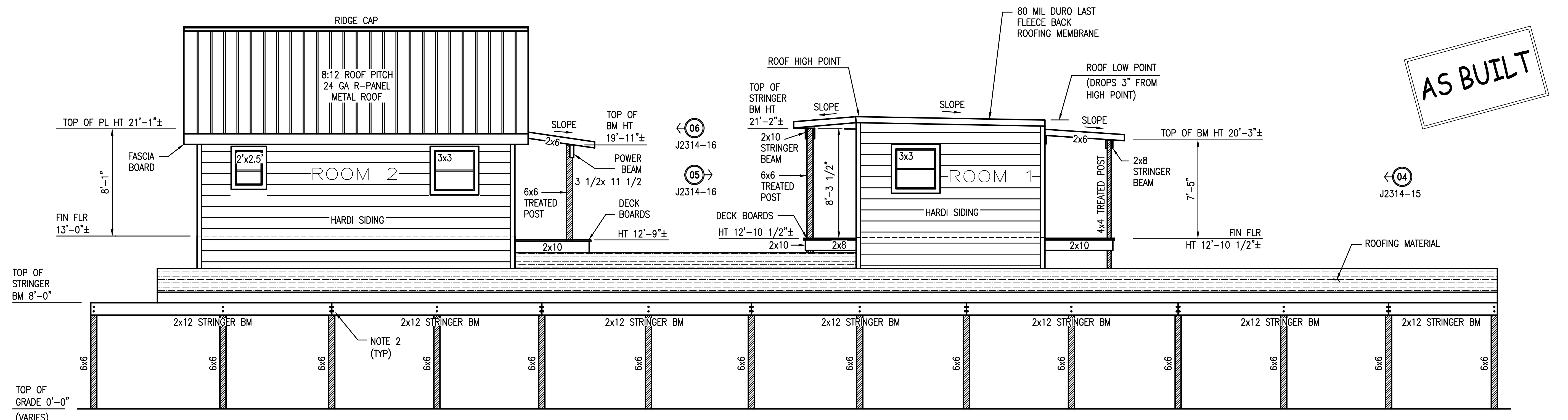
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**FRONT ELEVATION**  
LOOKING NORTH-EAST

**NOTE**  
"DECK" NOT SHOWN FOR ELEVATION CLARITY PURPOSES



**BACK ELEVATION**  
LOOKING SOUTH-WEST

**NOTES**

1. FOR STRUCTURAL LAYOUT DIMENSIONS SEE DWGS J2314-01 THRU 08
2. (2) GALVANIZED 5/8" DIA BOLTS (TYP AT EACH STRINGER BEAM TO POST CONNECTION)
3. EXISTING POSTS/BUILDING IS OUT OF SQUARE

**LEGEND**

- REPRESENTS PICTURE ORIENTATION & REFERENCE #

**AS BUILT**

DWG#: **J2314-14**

**BILL WORREL - NEW BUILDING - AS BUILT**

FOR: **410 PECAN STREET  
SWEENEY, TX 77480  
FRONT & BACK ELEVATIONS**

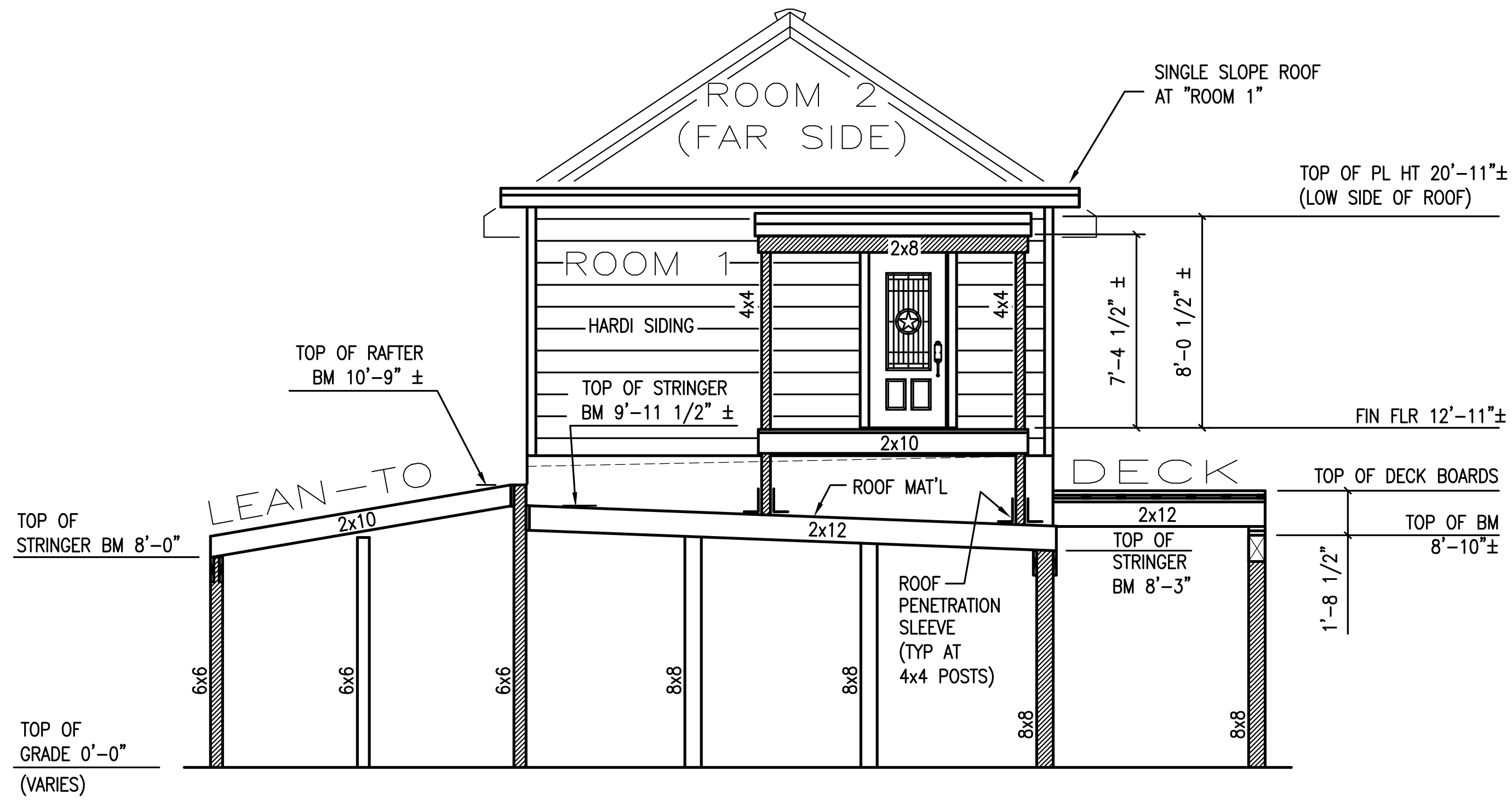
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	SCALE: 1/4" = 1'-0"			

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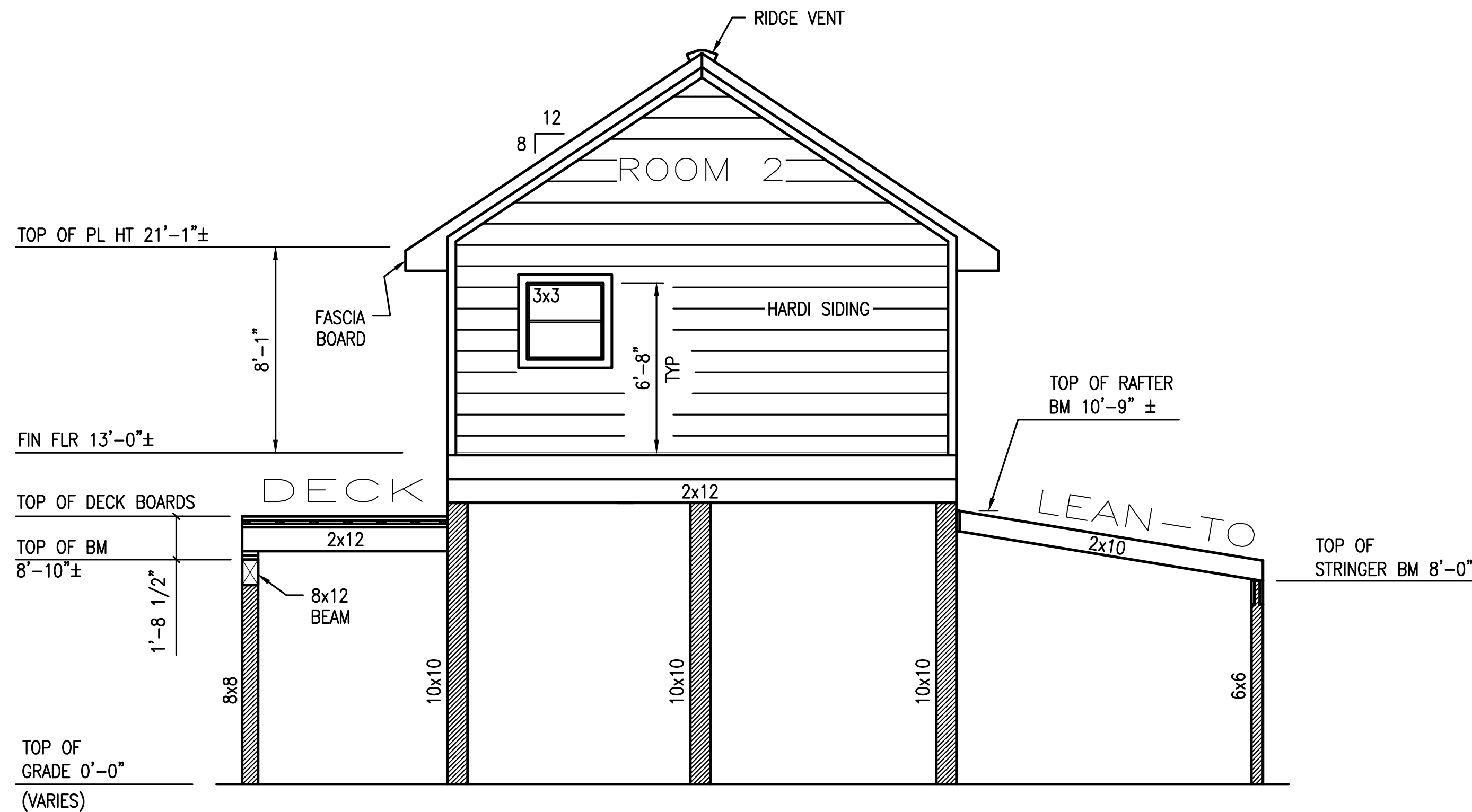
**DWGS4U**



**LEFT ELEVATION**  
LOOKING SOUTH-EAST



**PIC 04**  
LOOKING SOUTH-EAST  
(SEE DWG J2314-08 & 14)



**RIGHT ELEVATION**  
LOOKING NORTH-WEST

**NOTES**

1. FOR STRUCTURAL LAYOUT DIMENSIONS SEE DWGS J2314-01 THRU 08
2. EXISTING POSTS/BUILDING IS OUT OF SQUARE - DIMENSIONS & ELEVATIONS ARE +/-

**AS BUILT**

**DWGS4U**

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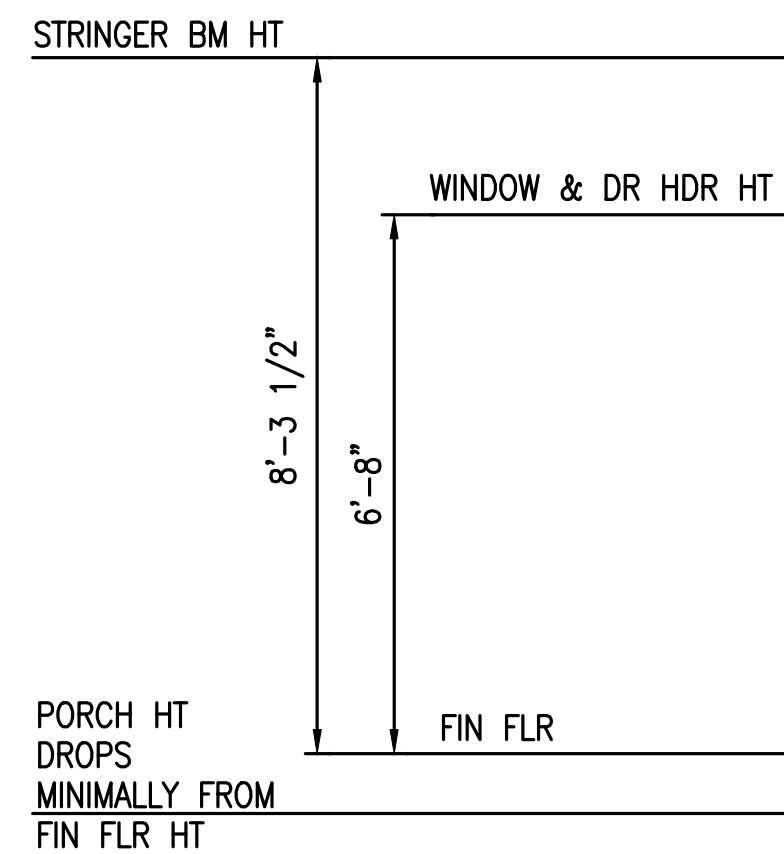
DWG#: **J2314-15**

FOR: **BILL WORREL - NEW BUILDING - AS BUILT**

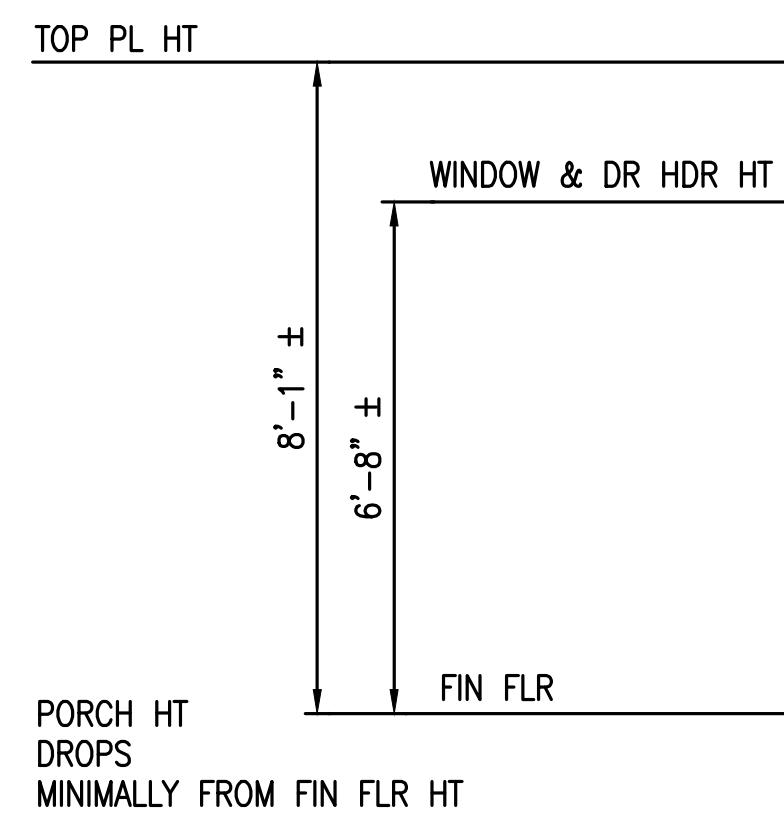
**410 PECAN STREET  
SWEENEY, TX 77480  
LEFT, RIGHT ELEVATIONS & PICTURE 04**

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PIC 05  
LOOKING NORTH-WEST  
(SEE DWG J2314-08 & 14)



PIC 06  
LOOKING SOUTH-EAST  
(SEE DWG J2314-08 & 14)

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AS BUILT

DWGS4U

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DWG#: <b>J2314-16</b>	
FOR: <b>BILL WORREL - NEW BUILDING - AS BUILT</b>	
410 PECAN STREET SWEENEY, TX 77480 PICTURES 05 & 06	
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DATE	DATE
REV.	ISSUE
0	CONSTRUCTION
DATE: 12/23	DATE:
R. GARCIA	
DRAWN BY:	CHECKED BY:
0	REVISION:
NOT TO SCALE	SCALE:

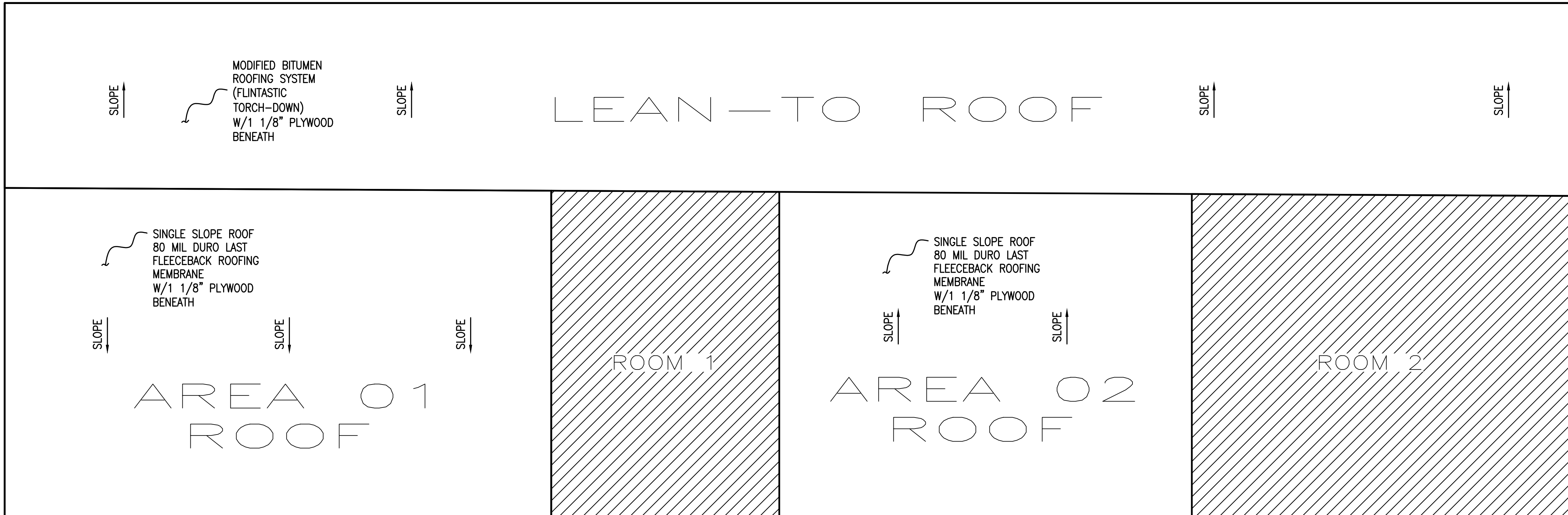
DWG#: J2314-17

FOR: BILL WORREL - NEW BUILDING - AS BUILT

410 PECAN STREET  
SWEENEY, TX 77480  
LOWER ROOF OVERALL LAYOUT PLAN

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LEAN-TO ROOF

AREA 01 ROOF

AREA 02 ROOF

ROOM 1

ROOM 2

LOWER ROOF OVERALL LAYOUT PLAN

NOTES

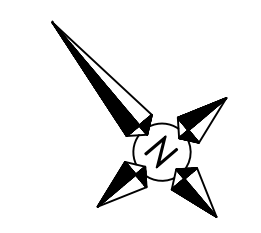
1. FOR STRUCTURAL FRAMING LAYOUT PLANS SEE DWGS J2314-01 THRU 08
2. FOR ELEVATIONS & REFERENCE PICTURES SEE DWGS J2314-09 THRU 16
3. ROOFING MATERIAL VARIES THROUGHOUT
4. FOR ROOF & RAFTER LAYOUT PLANS FOR ROOMS 1 & 2 SEE DWG J2314-18

AS BUILT

DWGS4U

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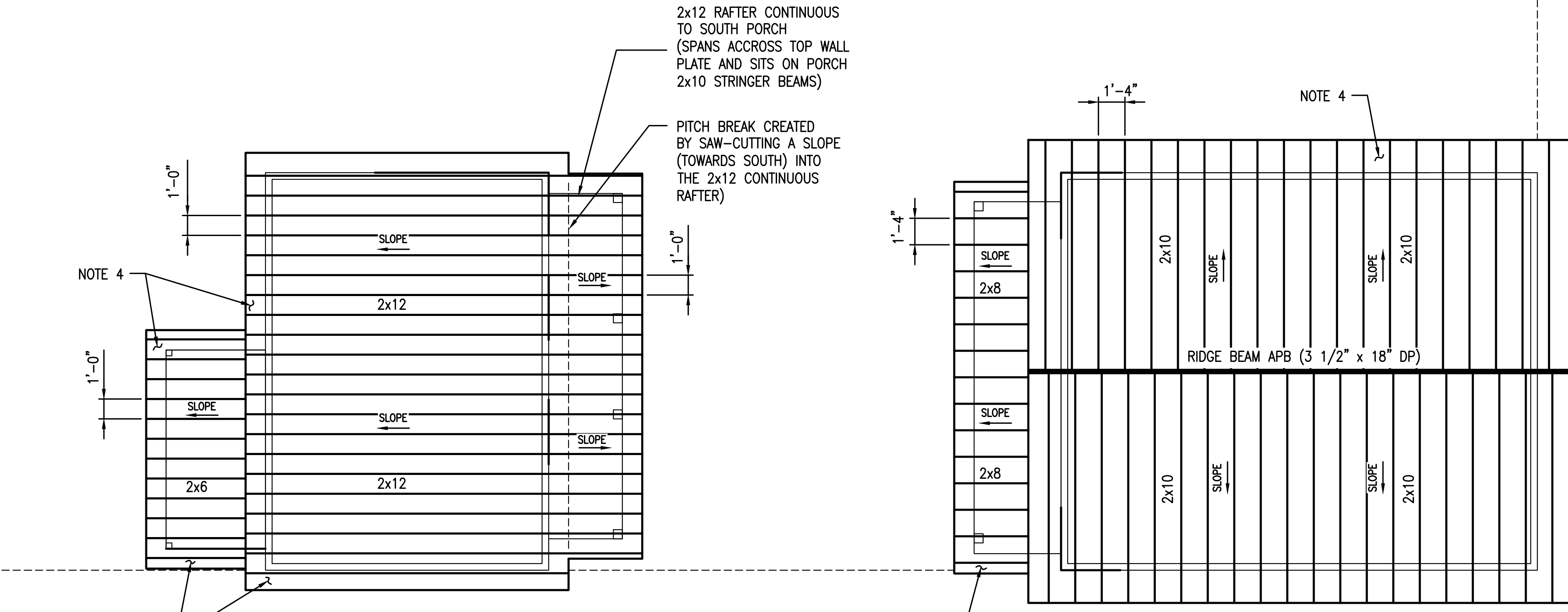
DWG#: **J2314-18**

FOR: **BILL WORREL - NEW BUILDING - AS BUILT**

410 PECAN STREET  
SWEENEY, TX 77480  
2ND FLOOR (ROOF TOP)  
ROOM 1 & 2 - ROOF LAYOUT PLAN

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SINGLE SLOPE ROOF  
80 MIL DURO LAST  
FLEECEBACK ROOFING  
MEMBRANE  
W/1 1/8" PLYWOOD  
BENEATH

**2ND FLOOR (ROOF TOP)  
ROOMS 1 & 2 ROOF LAYOUT PLAN**

- NOTES**
1. FOR STRUCTURAL FRAMING LAYOUT PLANS SEE DWGS J2314-01 THRU 08
  2. FOR ELEVATIONS & REFERENCE PICTURES SEE DWGS J2314-09 THRU 16
  3. ROOFING MATERIAL VARIES THROUGHOUT
  4. 1 1/8" THK PLYWOOD DECKING OVER RAFTERS
  5. FOR LOWER ROOF LAYOUT PLAN SEE DWG J2314-17

**AS BUILT**

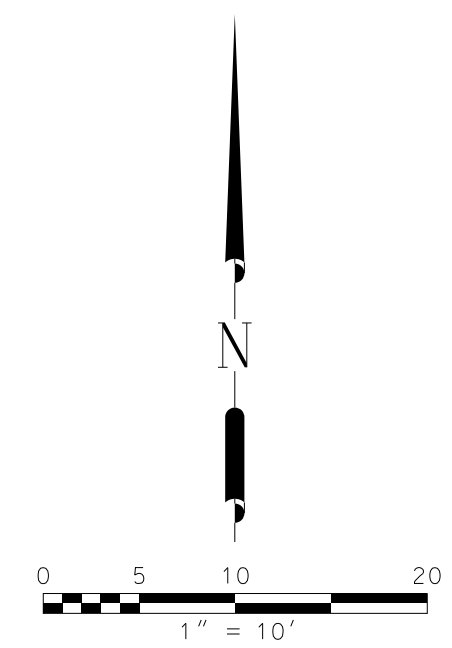
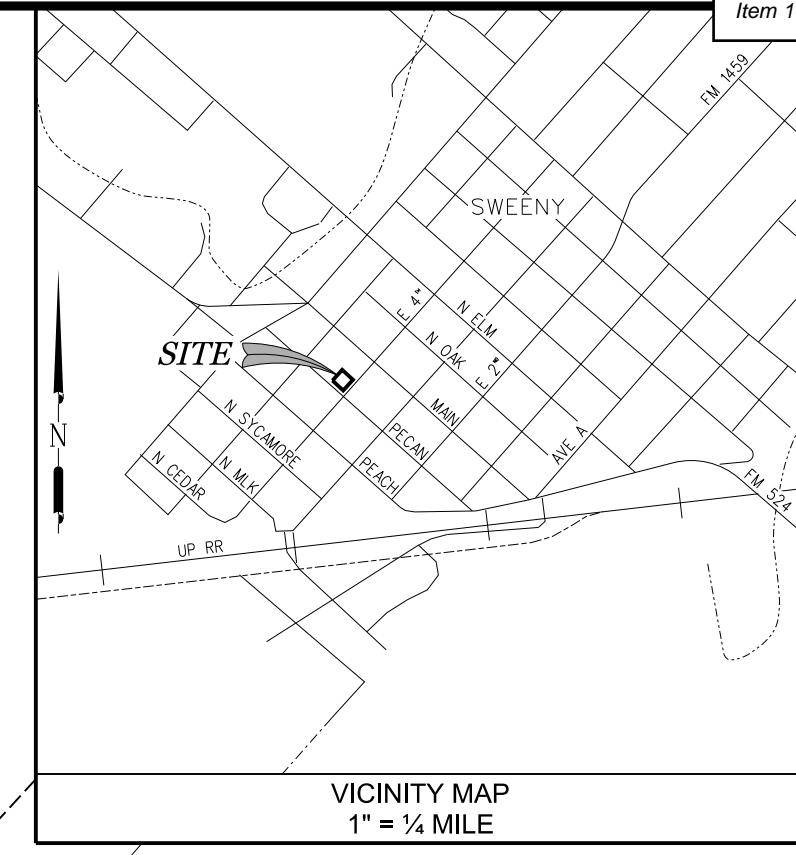
**DWGS4U**

TO THE BEST OF MY KNOWLEDGE THESE PLANS, SPECIFICATIONS, DETAILS, AND ALL OTHER INFORMATION SHOWN ON THIS SHEET AND ALL ATTACHED SHEETS ARE DRAWN TO COMPLY WITH OWNERS SPECIFICATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/OWNER/DEVELOPER TO VERIFY WITH LOCAL, COUNTY, CITY AND STATE CODE ENFORCEMENT AGENCIES, COMPLIANCE WITH BUILDING CODES AND ORDINANCES FOR THE AREA OF CONSTRUCTION. THIS MUST BE DONE PRIOR TO THE USE OF THIS DOCUMENT OR ANY ATTACHED DOCUMENTS FOR ANY PURPOSE. DESIGNER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION HAS STARTED.

NOTE:  
DRAWING IS CREATED TO SCALE AS NOTED. HOWEVER, SCALE FACTOR ONLY APPLIES IF USING "D" SIZE (24x36) PAPER. WHEN USING "B" SIZE (11x17) PAPER, DRAWINGS ARE STILL TO SCALE, HOWEVER, SCALE FACTOR NOTED SHALL BE MULTIPLIED BY .5



SWEENEY TOWNSITE VOLUME 2, PAGES 59-60 B.C.P.R.



STATE OF TEXAS COUNTY OF BRAZORIA WE, WILLIAM W. WORRELL, JR. AND ROBERT W. GOODRUM, JR., OWNERS OF LOT 8 AND LOT 9, BLOCK 18 OF THE SWEENEY TOWNSITE, AS RECORDED IN VOLUME 2, PAGE 59, OF THE BRAZORIA COUNTY PLAT RECORDS IN THE IMLA KEEP LEAGUE, ABSTRACT 79, BRAZORIA COUNTY, TEXAS, DO HEREBY MAKE REPLAT OF SAID PROPERTY ACCORDING TO THE LOT LINES, BUILDING LINES AND EASEMENTS AS SHOWN HEREON AND DO HEREBY DEDICATE TO THE PUBLIC FOR USE THE EASEMENTS SHOWN HEREON FOREVER, AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

WITNESS MY HAND IN \_\_\_\_\_ COUNTY, TEXAS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

WILLIAM W. WORRELL, JR., OWNER

ROBERT W. GOODRUM, JR., OWNER

NOTARY PUBLIC STATE OF TEXAS COUNTY OF BRAZORIA

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED WILLIAM W. WORRELL, JR., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC STATE OF TEXAS COUNTY OF BRAZORIA

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ROBERT W. GOODRUM, JR., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

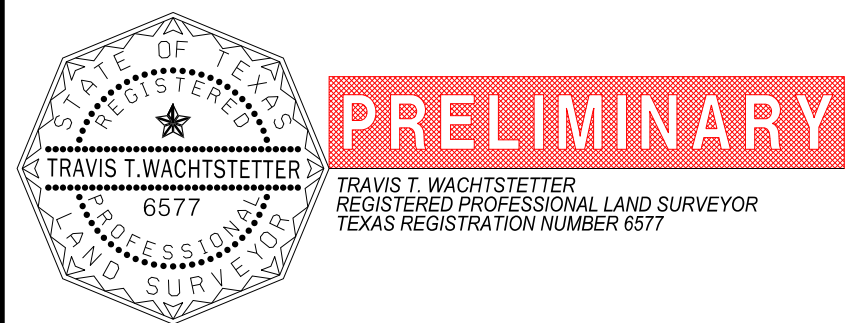
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES \_\_\_\_\_, 20\_\_.

CITY OF SWEENEY, CITY OFFICIALS

THIS IS TO CERTIFY THAT THE MAYOR AND CITY COUNCIL OF THE CITY OF SWEENEY, TEXAS HAVE APPROVED THIS NAVROU BUSINESS, INC. REPLAT, IN THE IMLA KEEP LEAGUE, ABSTRACT 79, IN THE CITY OF SWEENEY, TEXAS AS SHOWN HEREON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

DUSTY HOPKINS, MAYOR MARK MORGAN, JR., POSITION 1 REESE C. COOK, POSITION 2 BRIAN BROOKS, POSITION 3 JOHN RAMBO, POSITION 4 (MAYOR PRO-TEM) TIM PETTIGREW, POSITION 5 KAYDI SMITH, CITY SECRETARY R.C. STEVENSON, CITY ATTORNEY

STATE OF TEXAS COUNTY OF BRAZORIA I, TRAVIS T. WACHTSTETTER, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE PLAT OF THE REPLAT OF LOTS 8 AND 9, BLOCK 18 OF THE SWEENEY TOWNSITE, OUT OF THE IMLA KEEP SURVEY, ABSTRACT 79, BRAZORIA COUNTY, TEXAS WAS PREPARED FROM AN ACTUAL SURVEY ON THE GROUND AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME, DATE SURVEYED: DECEMBER 2023



- NOTES: 1. ALL COORDINATES AND BEARINGS ARE RELATIVE TO THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83). 2. ● DENOTES FOUND IRON ROD/PIPE 3. ○ DENOTES SET 5/8" IRON ROD W/TTW CAP 4. ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS. (SF = 0.99987900048) 5. THIS SURVEY DID NOT RELY ON A CURRENT TITLE COMMITMENT. THE INFORMATION CONTAINED ON THIS SURVEY WAS COMPILED FROM DATA BOTH PRIVATE AND PUBLIC, AND FROM THE BRAZORIA COUNTY COURTHOUSE. IT DOES NOT REPRESENT A COMPLETE DEED RESEARCH AND THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS OR OWNERSHIP TITLE EVIDENCE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. 6. THIS PROPERTY APPEARS TO BE LOCATED WITHIN THE LIMITS OF ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 48039C056K, DATED: DECEMBER 30, 2020. 7. THE PURPOSE OF THIS SURVEY IS TO COMBINE LOT 8 AND LOT 9 INTO LOT 8A. 8. THERE ARE ADDITIONAL IMPROVEMENTS ON THIS PROPERTY NOT SHOWN HEREON. 9. THIS PROPERTY MAY BE SUBJECT TO BUILDING RESTRICTIONS PER THE CITY OF SWEENEY.

REPLAT OF LOTS 8 AND 9, BLOCK 18

OF THE SWEENEY TOWNSITE AS RECORDED IN VOLUME 2, PAGE 59 OF THE BRAZORIA COUNTY PLAT RECORDS IN THE IMLA KEEP SURVEY ABSTRACT 79 CITY OF SWEENEY BRAZORIA COUNTY, TEXAS DECEMBER 2023

OWNERS: WILLIAM W. WORRELL, JR. & ROBERT W. GOODRUM, JR. 410 PECAN ST. SWEENEY, TX 77480

SURVEYOR: DOYLE & WACHTSTETTER, INC. 151 COMMERCE STREET CLUTE, TX 77531 (979) 265-3622



**PRODUCT DESIGN PRESSURE REQUIREMENTS  
ROOFS WITH MEAN ROOF HEIGHT OF 20'**

PRODUCT	140 MPH	145 MPH	150 MPH
	EXP C	EXP C	EXP C
WINDOWS	36.12 psf	38.7 psf	41.28 psf
DOORS	33.54 psf	36.12 psf	38.7 psf
GARAGE DOOR (16x7)	28.38 psf	30.32 psf	32.25 psf
SIDING	36.12 psf	38.7 psf	41.28 psf

**PRODUCT DESIGN PRESSURE REQUIREMENTS  
ROOFS WITH MEAN ROOF HEIGHT OF 30'**

PRODUCT	140 MPH	145 MPH	150 MPH
	EXP C	EXP C	EXP C
WINDOWS	39.2 psf	42 psf	44.8 psf
DOORS	36.4 psf	39.2 psf	42 psf
GARAGE DOOR (16x7)	30.8 psf	32.9 psf	35 psf
SIDING	39.2 psf	42 psf	44.8 psf

**PRODUCT DESIGN PRESSURE REQUIREMENTS  
ROOFS WITH MEAN ROOF HEIGHT OF 40'**

PRODUCT	140 MPH	145 MPH	150 MPH
	EXP C	EXP C	EXP C
WINDOWS	41.7 psf	44.7 psf	47.7 psf
DOORS	38.74 psf	41.7 psf	44.7 psf
GARAGE DOOR (16x7)	32.8 psf	35 psf	37.25 psf
SIDING	41.7 psf	44.7 psf	47.7 psf

**2x6 RAFTER SPAN FOR WIND LOADING  
16" o.c. (FT) (IRC 2018)**

SPACING	ROOF SLOPE	140 MPH EXP. C	145 MPH EXP. C	150 MPH EXP. C
SYP#2, 16" O.C.	0-3:12	9'-1"	8'-8"	8'-4"
SYP#2, 16" O.C.	4:12	9'-0"	8'-6"	8'-2"
SYP#2, 16" O.C.	5:12	8'-9"	8'-4"	7'-11"
SYP#2, 16" O.C.	6:12	8'-6"	8'-1"	7'-9"
SYP#2, 16" O.C.	7:12	10'-0"	9'-7"	9'-2"
SYP#2, 16" O.C.	8:12	9'-9"	9'-3"	8'-10"
SYP#2, 16" O.C.	9:12	9'-4"	8'-10"	8'-6"
SYP#2, 16" O.C.	10:12	9'-0"	8'-6"	8'-2"
SYP#2, 16" O.C.	11:12	8'-7"	8'-2"	7'-10"
SYP#2, 16" O.C.	12:12	8'-3"	7'-10"	7'-6"

HORIZONTAL RAFTER SPAN SHALL NOT EXCEED THE SPECIFIED RAFTER SPAN FOR WIND LOADING. RAFTERS SHALL BE BRACED TO A LOAD BEARING WALL OR MIN. 2-2x12 BEAM AND ANCHORED TO RESIST 400# PER RAFTER BRACE

**2x8 RAFTER SPAN FOR WIND LOADING  
16" o.c. (FT) (IRC 2018)**

SPACING	ROOF SLOPE	140 MPH EXP. C	145 MPH EXP. C	150 MPH EXP. C
SYP#2, 16" O.C.	0-3:12	12'-5"	11'-11"	11'-4"
SYP#2, 16" O.C.	4:12	12'-2"	11'-8"	11'-2"
SYP#2, 16" O.C.	5:12	11'-10"	11'-4"	10'-10"
SYP#2, 16" O.C.	6:12	11'-6"	11'-0"	10'-7"
SYP#2, 16" O.C.	7:12	13'-7"	13'-1"	12'-6"
SYP#2, 16" O.C.	8:12	13'-2"	12'-8"	12'-1"
SYP#2, 16" O.C.	9:12	12'-7"	12'-1"	11'-7"
SYP#2, 16" O.C.	10:12	12'-2"	11'-8"	11'-2"
SYP#2, 16" O.C.	11:12	11'-7"	11'-2"	10'-8"
SYP#2, 16" O.C.	12:12	11'-2"	10'-9"	10'-3"

**SHEARWALL LEGEND**

Wall Type	Sheathing [in]		Fasteners		Spcg [in]		Framing Members [in]				Apply		
	Grp	Surf	Material	Thick	Size	Type	Edg	Fld	Blkg	Species		G	Spc
SW6	Ext		OSB/PLYWOOD	7/16	10d	Nail	6	12	yes	S-P-F	0.50	1'-4"	1,3
SW4	Ext		OSB/PLYWOOD	7/16	10d	Nail	4	12	yes	S-P-F	0.50	1'-4"	1,3
SW3	Ext		OSB/PLYWOOD	7/16	10d	Nail	3	12	yes	S-P-F	0.50	1'-4"	1,3
SW2	Ext		OSB/PLYWOOD	7/16	10d	Nail	2	12	yes	S-P-F	0.50	1'-4"	1,2*,3

Grp - Wall Design Group; Surf - Exterior or interior surface of exterior wall; Spcg - Edge or field nail spacing; Blkg - Blocked; G - Specific gravity; Spc - Wall stud spacing  
Notes: (1.) Capacity has been reduced according to IBC specific gravity adjustment. (2)\* Framing at adjoining panel edges shall be 3-inch nominal or wider, and nails shall be staggered where nails are 2" o.c. (3). Shear capacity for current design has been increased to the value for 15/32" sheathing with same nailing because stud spacing is 16" max. or panel orientation is horizontal.

**EXTERIOR SHEARWALLS**  
ALL EXTERIOR WALLS SHALL BE FULLY SHEATHED USING WALL TYPE SW4 SHEARWALLS AND SHALL EXTEND TO THE ROOF FRAMING UNLESS NOTED OTHERWISE.

**\*\* INTERIOR SHEARWALLS**  
ALL INTERIOR SHEARWALLS SHALL EXTEND TO THE ROOF FRAMING ABOVE WITH A DOUBLE RAFTER DRAG STRUT AT THE TOP SEE DETAIL M1 WS2-2

**ALL SHEARWALLS SHALL BE FULL HEIGHT FROM THE SOLE PLATE TO THE ROOF DIAPHRAGM.**

**CORROSION RESISTANT FASTENERS**

GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER

**HOLDDOWN CONNECTOR LEGEND AND FOUNDATION NOTES**

- SIMPSON SHD14 CONNECTOR OR EQUIV. PLACED PRIOR TO FOUNDATION POUR ACCORDING TO DETAIL A1, OR SIMPSON HIT4 CONNECTOR OR EQUIV. PLACED AFTER POUR ACCORDING TO DETAIL A2, WINDSTORM DETAIL SHEET WS 1-2 4800#
- SIMPSON HIT5KI CONNECTOR OR EQUIV. SET AFTER POUR ACCORDING TO DETAIL A2, WINDSTORM DETAIL SHEET WS 1-2 5500#
- SIMPSON HDQ8-SDS3 CONNECTOR OR EQUIV. SET TO 4X4 POST AFTER POUR ACCORDING TO DETAIL A3, WINDSTORM DETAIL SHEET WS 1-2 7600#

**ANCHOR BOLT NOTES:**

- ANCHOR BOLTS SHALL BE 5/8" DIAMETER X 10" BOLTS PLACE 32" O.C. EMBEDDED 7" INTO SLAB.
- RETRO FIT BOLTS SHALL BE 5/8" DIA. AND HAVE A TENSION CAPACITY OF 1,300 LBS.

**UPLIFT REQUIREMENTS**

UPLIFT LOAD PATH MUST BE CONTINUOUS FROM THE ROOF TO THE FOUNDATION ANCHORAGE POINTS AND ACCEPTABLE HURRICANE CONNECTORS PER TABLE 3, CS 1-1

**-RAFTER AND STUD ANCHORAGE (PER MEMBER)-**

	ANCHORAGE
RAFTER TO TOP PLATE:	600 LBS
TOP PLATE TO STUD:	600 LBS
STUD TO SOLE PLATE:	420 LBS

**-HEADER ANCHORAGE-**

HEADER STUDS TO HEADER AND SOLE PLATE:	ANCHORAGE
OPENING SIZE 3'	600 LBS
6'	1125 LBS

**-OVERHANG ANCHORAGE-**

	ANCHORAGE
RAFTER TO BEAM:	600 LBS
POST TO BEAM/POST TO SLAB:	4,000 LBS

**REVISED: 2018 IRC/IBC  
HOLDDOWN CONNECTOR LEGEND FOR SECOND FLOOR**

HD 1	INDICATES 1-36" CS14 COIL STRAPS FROM DBL STUD PACK ABV TO STRINGER/PERP. BEAM/DBL STUD PACK BELOW SHEET WS2-2 (2,490#)
HD 2	INDICATES 2-36" CS14 COIL STRAPS FROM DBL STUD PACK ABV TO STRINGER/ PERP. BEAM/ DBL STUD PACK BELOW SHEET WS2-2 (4,980#)
HD 3	INDICATES 3-36" CS14 COIL STRAPS FROM DBL STUD PACK ABV TO STRINGER/ PERP. BEAM/ DBL STUD PACK BELOW SHEET WS2-2 (7,470#)
HD 4	INDICATES MSTC52 (48 NAILS) STRAP FROM DBL STUD PACK ABV TO STRINGER/ PERP. BEAM/ DBL STUD PACK BELOW SHEET WS2-2 (4,610#)
HD 5	INDICATES MSTC66 (68 NAILS) FROM DBL STUDS TO STRINGER/PERP. BEAM/DBL STUD PACK BELOW SHEET WS2-2 (5,850#)
HD P	INDICATES 2-LSTA12 FROM POST DIRECTLY TO STRINGER/ PERP. BEAM/ DBL STUD PACK BELOW

**PROJECT INFORMATION:**

**TYPE OF PROJECT:**  
ADDITION  
**BUILDER/ HOME OWNER:**  
WORRELL RESIDENCE  
**PROJECT ADDRESS:**  
410 PECAN STREET  
SWEENEY, TX

THE 2018 IRC WILL MEET OR EXCEED THE 2009/2012/2015 IRC CODE.

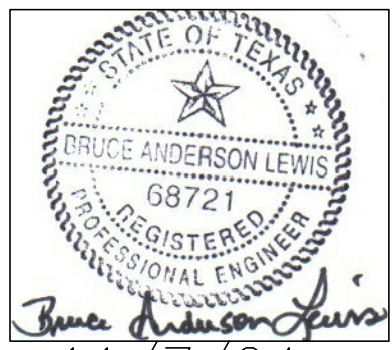
**DESIGN CRITERIA/STANDARD:**

2018 WOOD FRAME CONSTRUCTION MANUAL, CHAPTER 2 AND ASCE 7-16  
ULTIMATE WIND SPEED: **145** MPH  
EXPOSURE CATEGORY: C  
DESIGN MEAN ROOF HEIGHT: **30'**

**OTHER DESIGN CRITERIA:**

ALL OTHER CONSTRUCTION SHALL BE PER CONSTRUCTION STANDARD SHEET CS 1-1, AND WINDSTORM DETAIL SHEETS WS 1-2 AND WS 2-2. WHERE THE CONSTRUCTION STANDARD AND THIS DOCUMENT VARY, THIS TEMPLATE SHALL TAKE PRECEDENCE. THIS DESIGN IS FOR WIND ONLY.

OTHER OR NON SPECIFIED CONSTRUCTION DETAILS, MATERIAL REQUIREMENTS AND LOADS SHALL BE PER THE 2018 INTERNATIONAL RESIDENTIAL CODE.



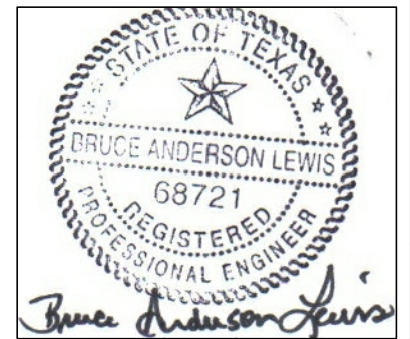
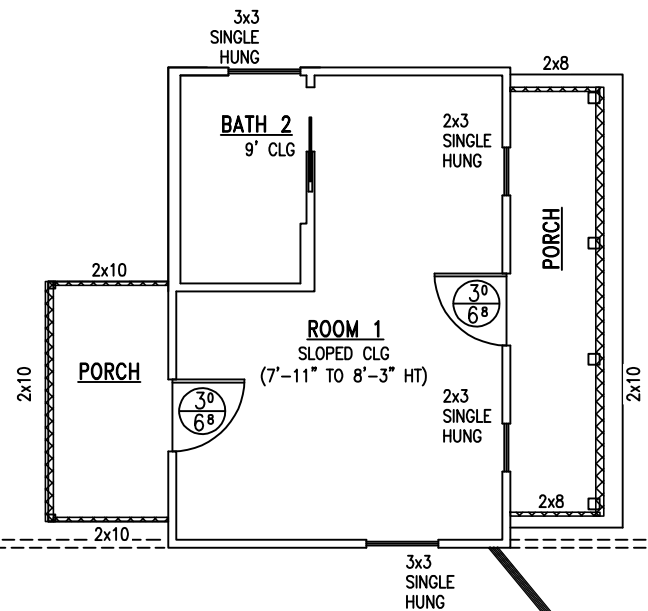
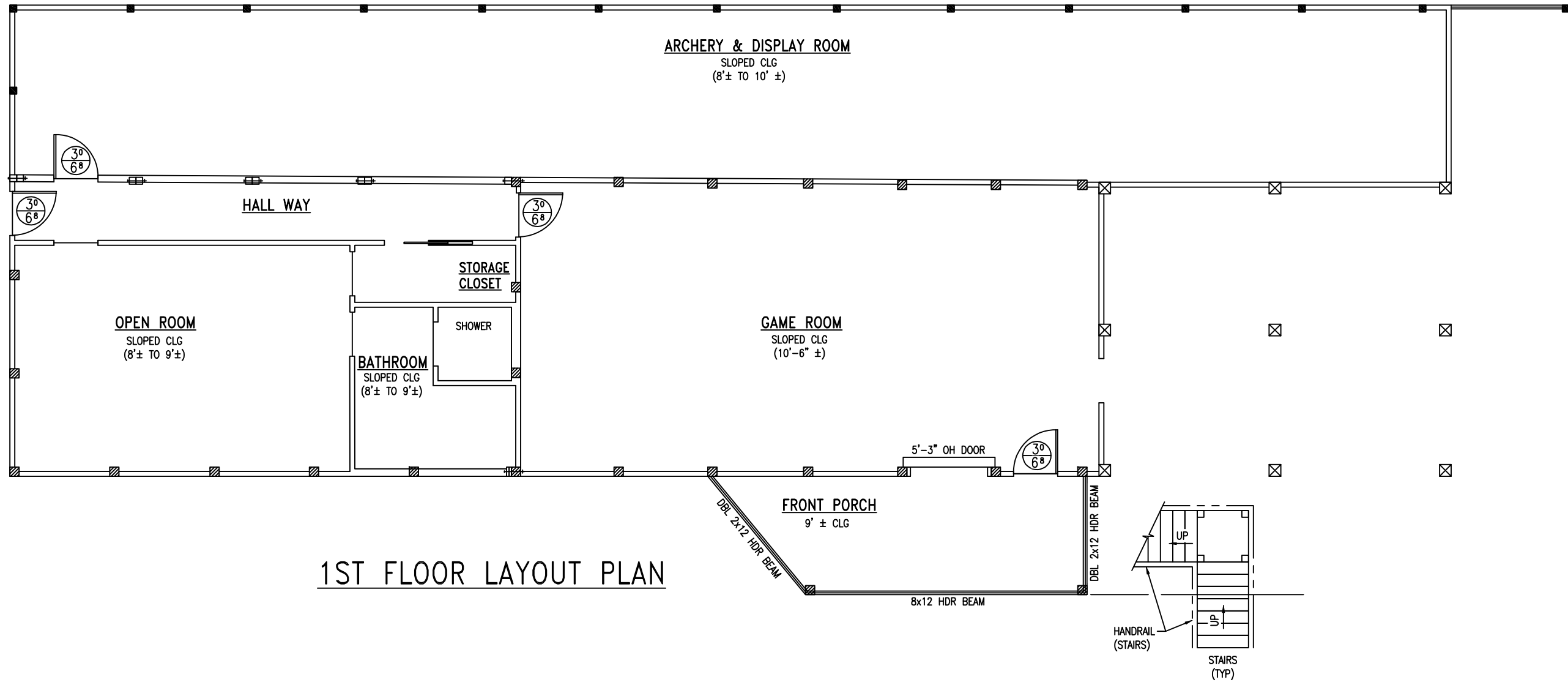
11/7/24

**\*\*THIS SHEET MUST REMAIN ATTACHED TO THE WINDSTORM DESIGN\*\***

Item 11.  
WWW.CBWINSTORM.COM  
798 FM 517  
ALVIN, TEXAS 77511  
(281) 331-0788  
REC# F-003193

COASTAL BUILDING INSPECTIONS  
Engineering WINDSTORM F-003193

PLEASE NOTE THAT ANY CHANGE TO THE DESIGN AFTER ENGINEERING HAS BEEN COMPLETED WILL RESULT IN A MINIMUM REVISION FEE OF \$500.00



2nd FLOOR LAYOUT PLAN

WWW.CBWINDESTORM.COM  
798 FM 517  
ALVIN, TEXAS 775  
(281) 331-0788  
REG# F-003193



WINDSTORM  
DESIGN  
PLANS

PROJECT INFORMATION  
WINDSTORM DESIGN PLAN - 145C  
410 PECAN STREET  
SWEENEY  
11/2024

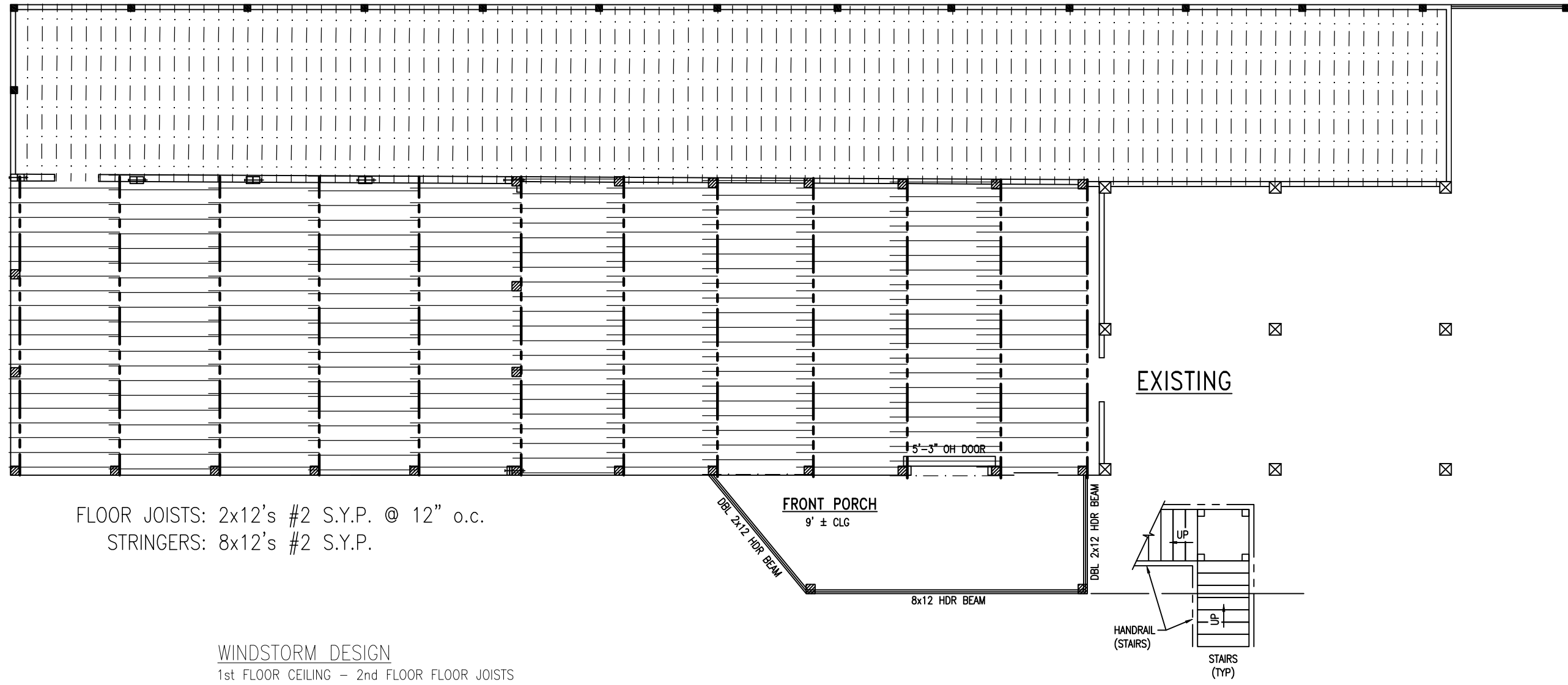
CUSTOMER INFORMATION  
WORRELL RESIDENCE  
ALLSIDES INSPECTIONS

PLAN NO:  
ADDTN

SHEET 1: 59

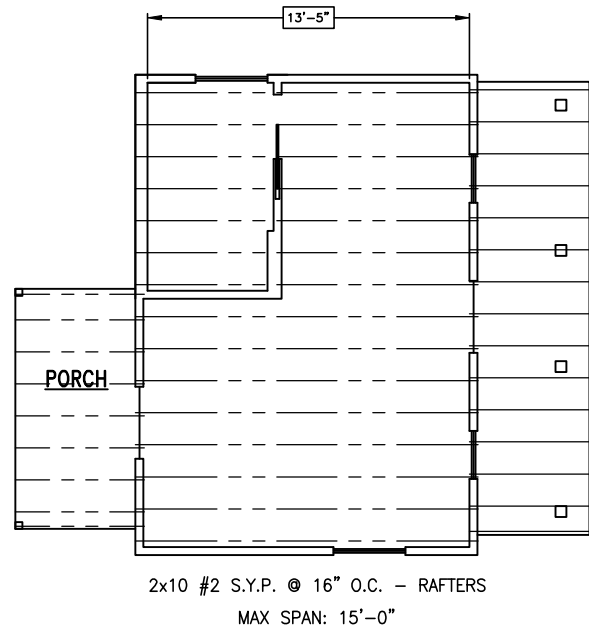
11/7/24

CEILING JOISTS: 2x10's #2 S.Y.P. @ 12" o.c.



FLOOR JOISTS: 2x12's #2 S.Y.P. @ 12" o.c.  
 STRINGERS: 8x12's #2 S.Y.P.

WINDSTORM DESIGN  
 1st FLOOR CEILING - 2nd FLOOR FLOOR JOISTS



SPACING	ROOF SLOPE	140 MPH EXP. C	145 MPH EXP. C	150 MPH EXP. C
SYP#2, 16" O.C.	0-3:12	15'-9"	15'-0"	14'-4"
SYP#2, 16" O.C.	4:12	15'-5"	14'-8"	14'-0"
SYP#2, 16" O.C.	5:12	15'-0"	14'-4"	13'-9"
SYP#2, 16" O.C.	6:12	14'-7"	13'-11"	13'-4"
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SYP#2, 16" O.C.	8:12	16'-8"	15'-11"	15'-2"
SYP#2, 16" O.C.	9:12	16'-0"	15'-3"	14'-7"
SYP#2, 16" O.C.	10:12	15'-5"	14'-8"	14'-0"
SYP#2, 16" O.C.	11:12	14'-8"	14'-0"	13'-5"
SYP#2, 16" O.C.	12:12	14'-2"	13'-6"	12'-11"

HORIZONTAL RAFTER SPAN SHALL NOT EXCEED THE SPECIFIED RAFTER SPAN FOR WIND LOADING. RAFTERS SHALL BE BRACED TO A LOAD BEARING WALL OR MIN. 2-2x12 BEAM AND ANCHORED TO RESIST 400# PER RAFTER BRACE



11/7/24

WWW.CBWINDESTORM.COM  
 798 FM 517  
 ALVIN, TEXAS 775  
 (281) 331-0788  
 REG# F-003193  
 Item 11.

COASTAL BUILDING INSPECTIONS  
 Engineering WINDSTORM

WINDSTORM DESIGN PLANS

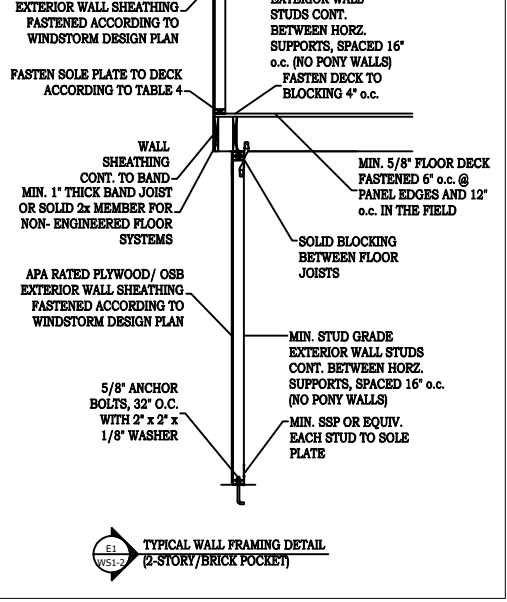
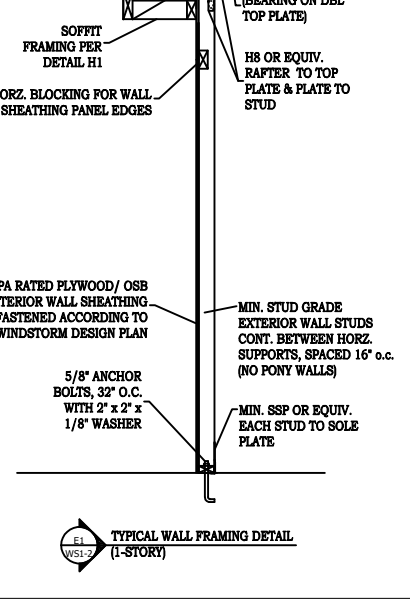
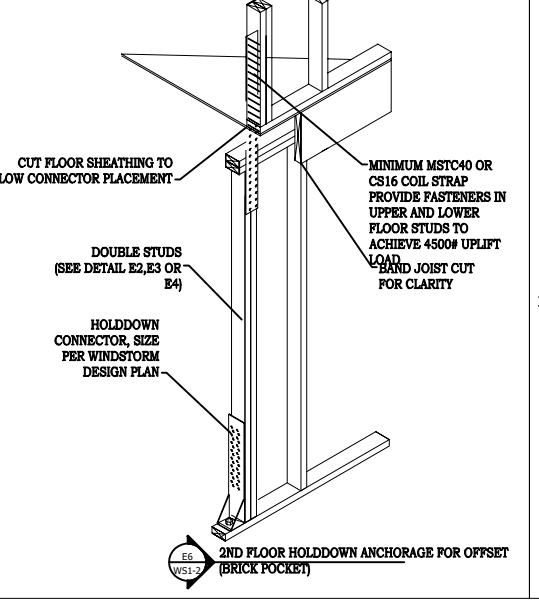
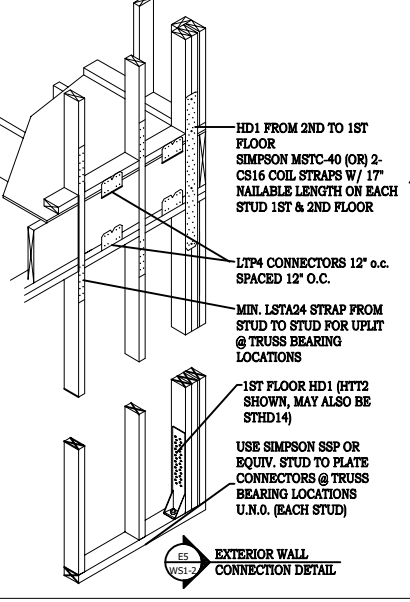
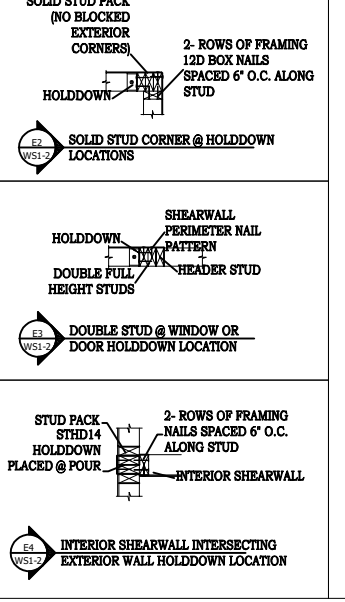
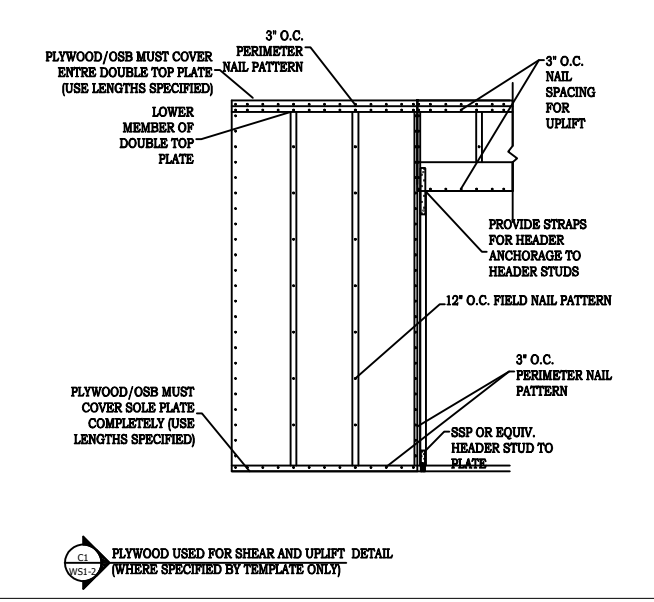
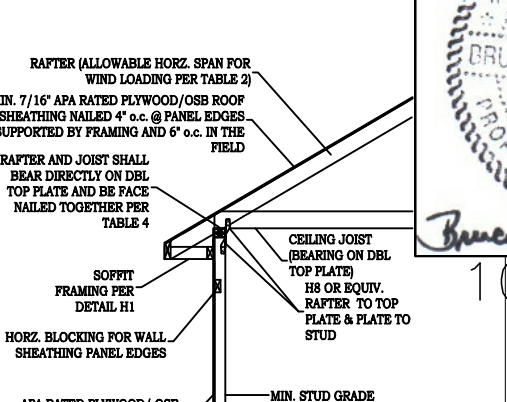
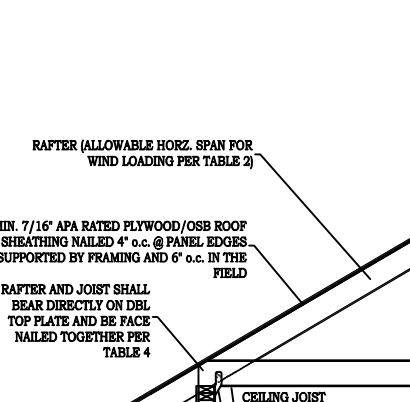
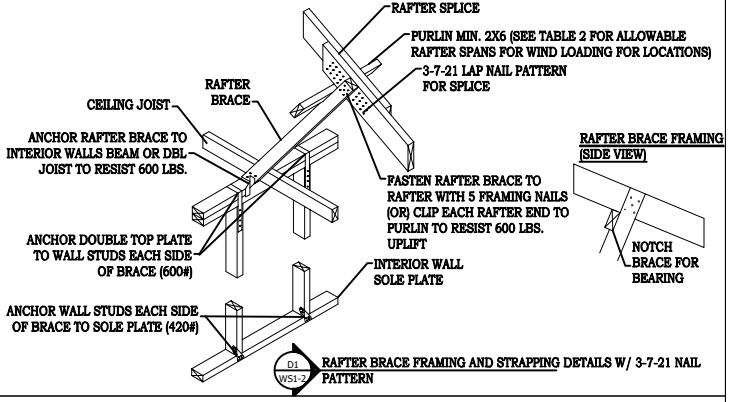
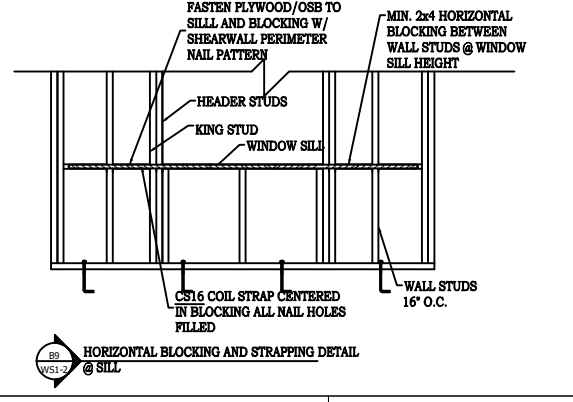
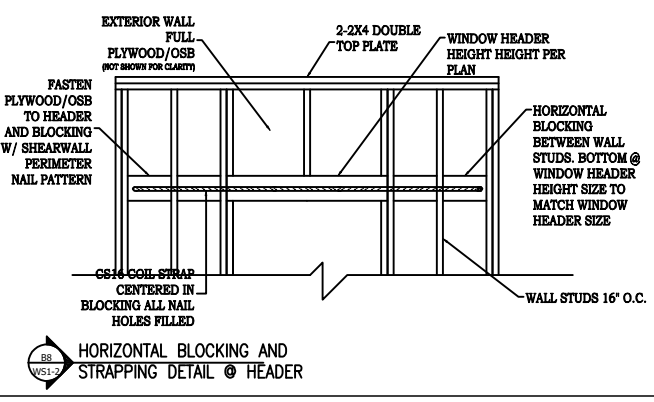
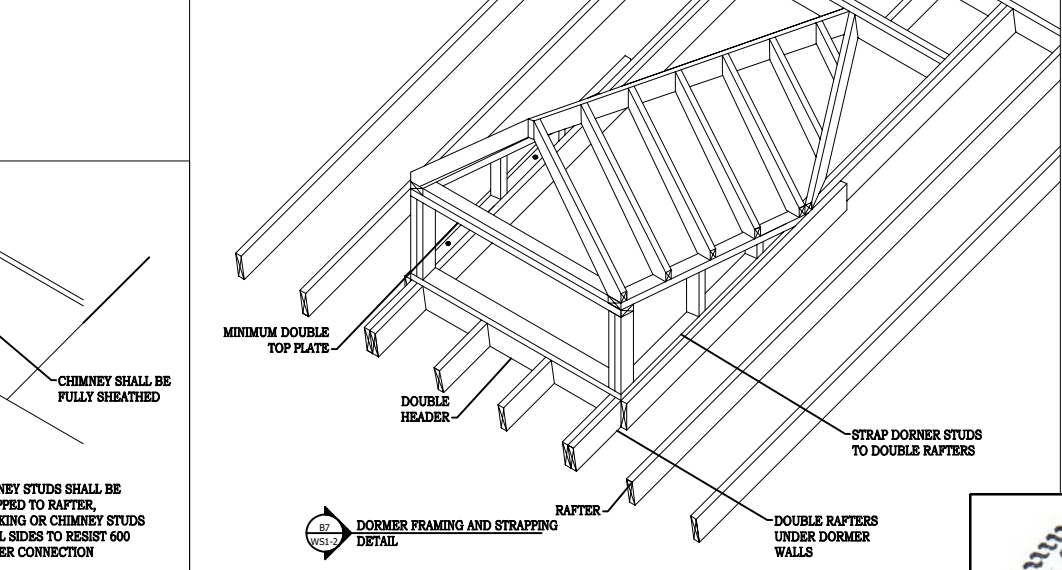
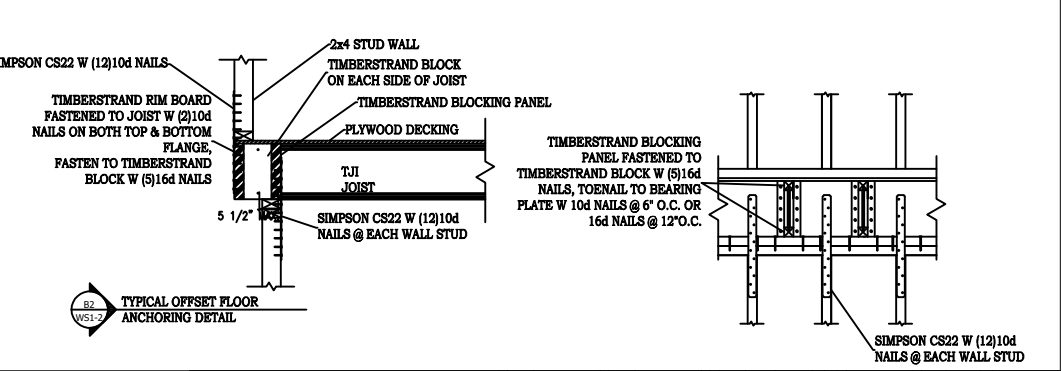
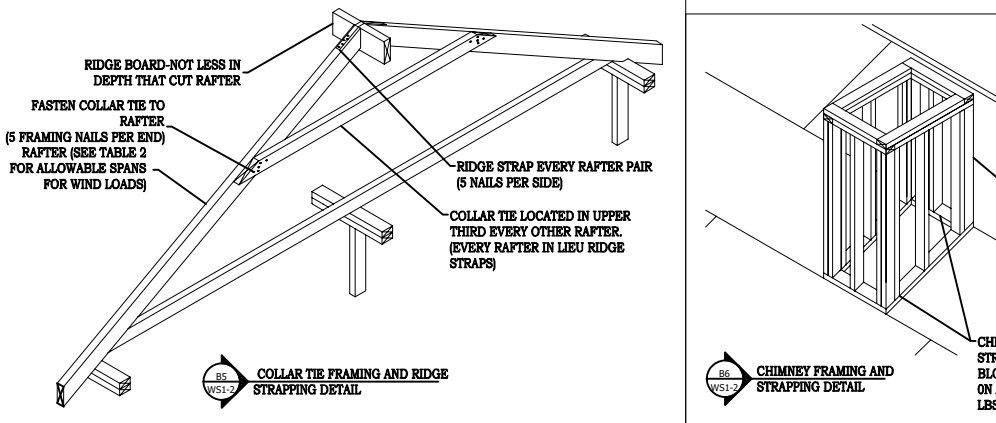
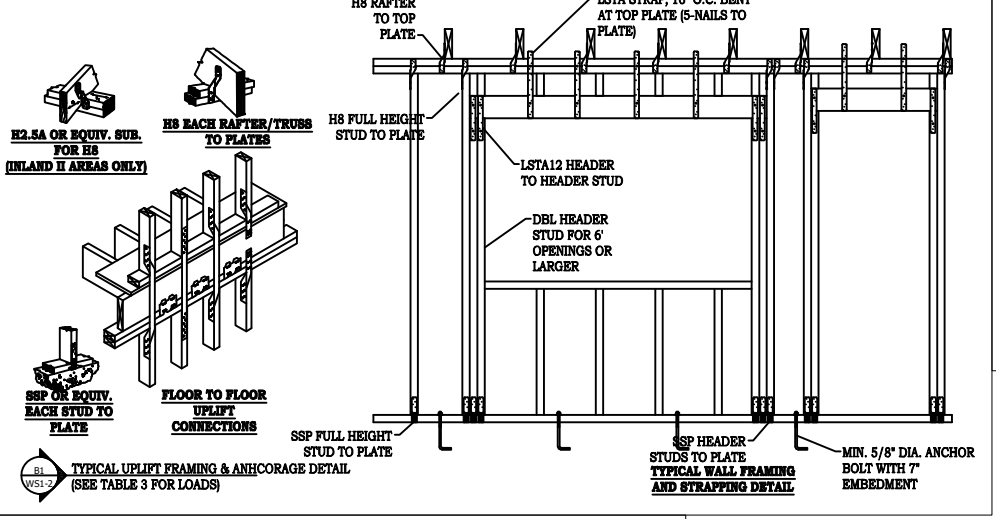
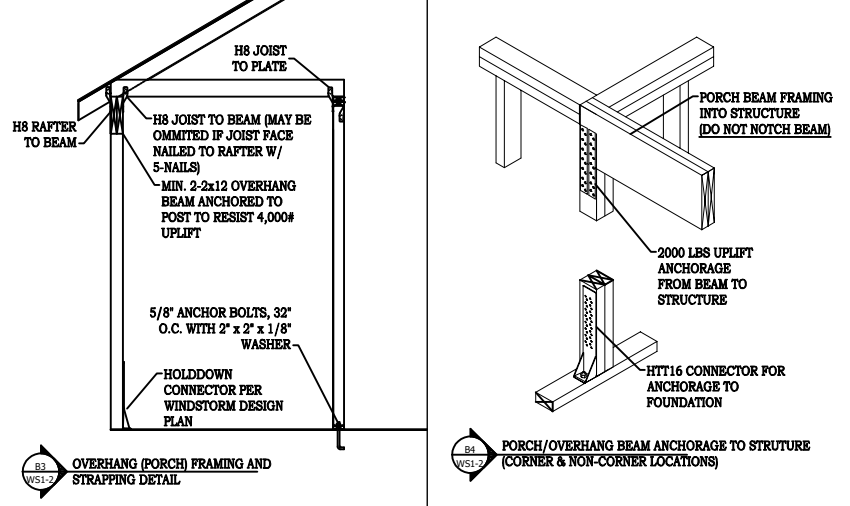
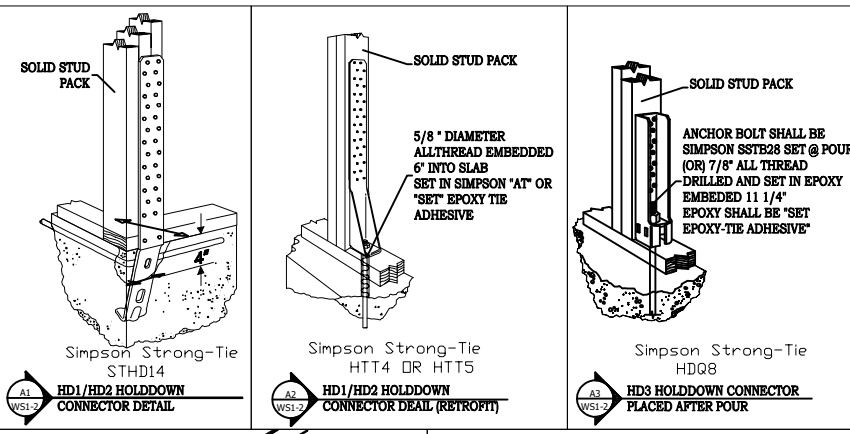
PROJECT INFORMATION  
 WINDSTORM DESIGN PLAN - 145C  
 410 PECAN STREET  
 SWEENEY  
 11/2024

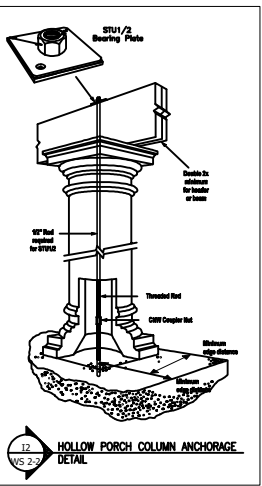
CUSTOMER INFORMATION  
 WORRELL RESIDENCE  
 ALLSIDES INSPECTIONS

PLAN NO:  
 ADDTN

SHEET 2 OF 60



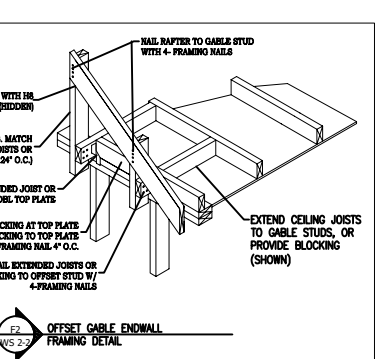




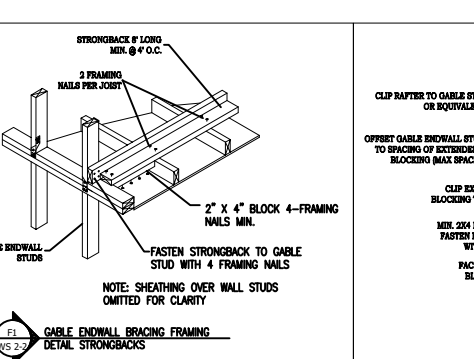
E12 VS 2-2 HOLLOW PORCH COLUMN ANCHORAGE DETAIL



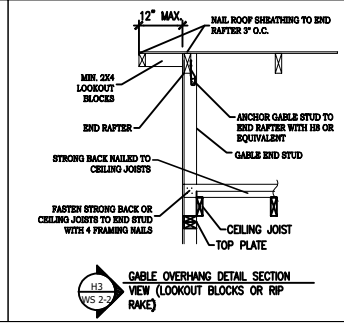
E2 VS 2-2 OFFSET GABLE ENDWALL FRAMING DETAIL



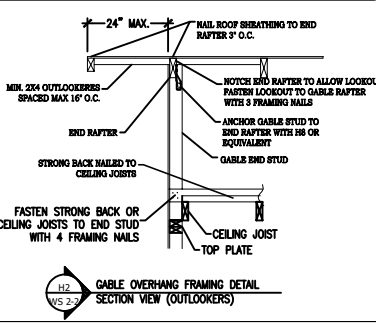
E1 VS 2-2 CABLE ENDWALL BRACING FRAMING DETAIL STRONGBACKS



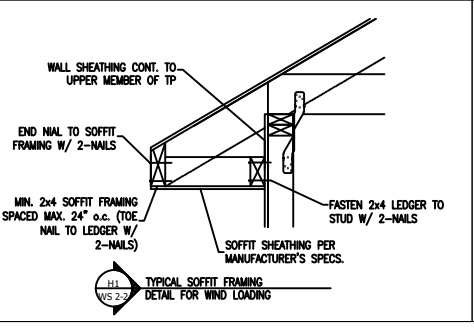
E3 VS 2-2 TYPICAL SOFFIT FRAMING DETAIL FOR WIND LOADING



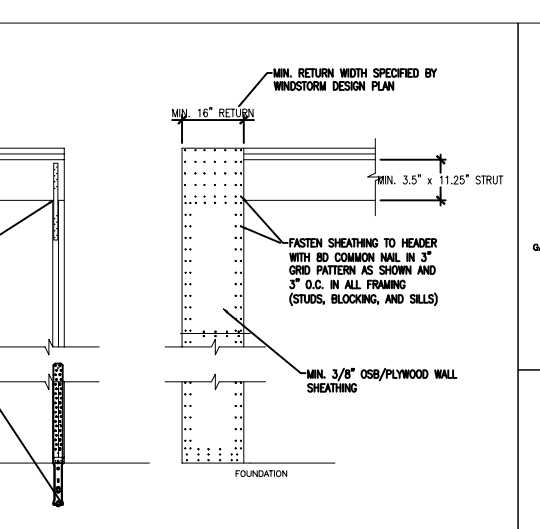
E13 VS 2-2 CABLE OVERHANG DETAIL SECTION VIEW (LOOKOUT BLOCKS OR RIP RAKE)



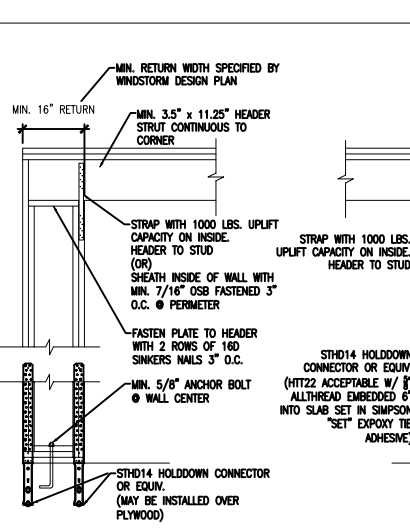
E12 VS 2-2 CABLE OVERHANG FRAMING DETAIL SECTION VIEW (OUTLOOKERS)



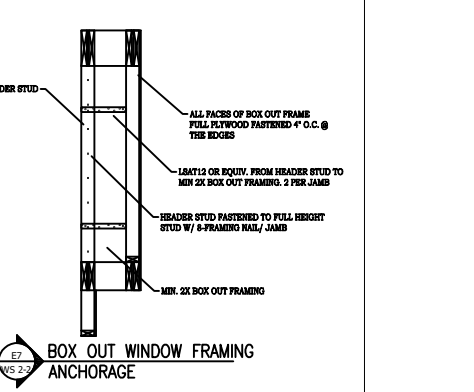
E11 VS 2-2 TYPICAL SOFFIT FRAMING DETAIL FOR WIND LOADING



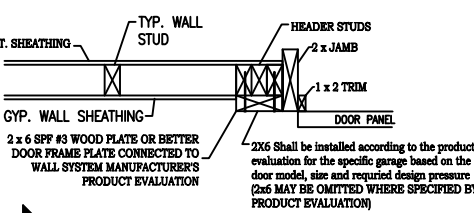
E9 VS 2-2 SPECIAL RETURN DETAIL SHEATHING APPLICATION



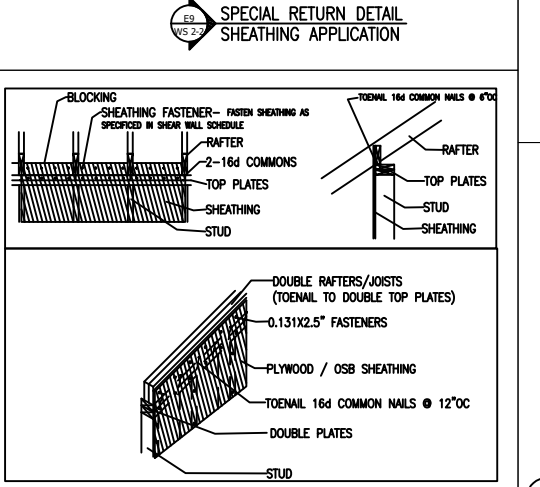
E8 VS 2-2 SPECIAL RETURN DETAIL FRAMING



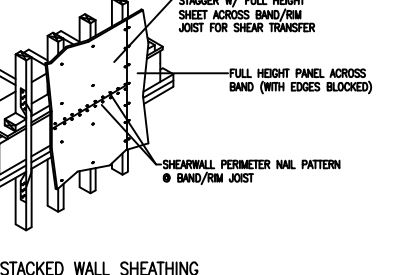
E7 VS 2-2 BOX OUT WINDOW FRAMING ANCHORAGE



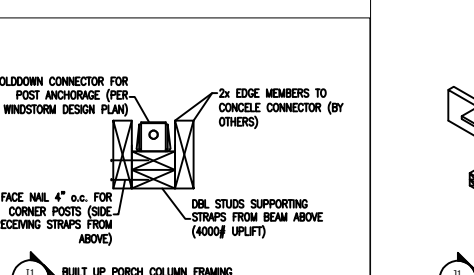
E6 VS 2-2 GARAGE DOOR FRAMING DETAIL



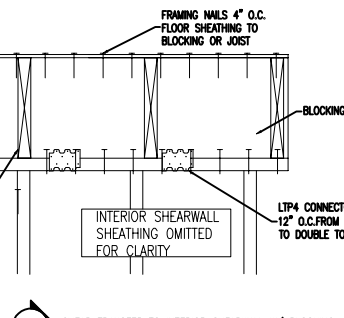
E11 VS 2-2 ROOF/EXTENDED SHEARWALL CONNECTION DETAIL



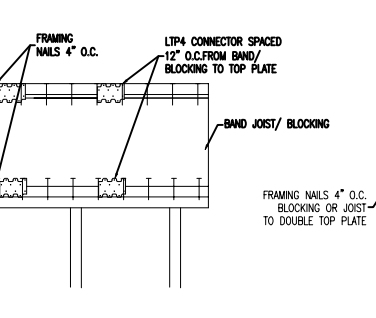
E11 VS 2-2 STACKED WALL SHEATHING APPLICATION DETAIL



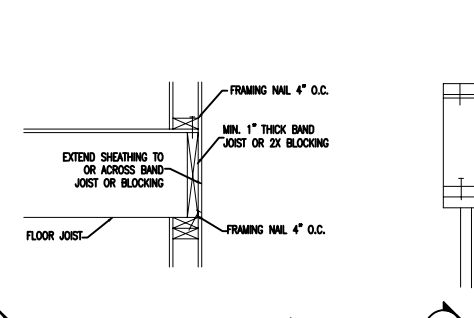
E11 VS 2-2 BUILT UP PORCH COLUMN FRAMING DETAIL



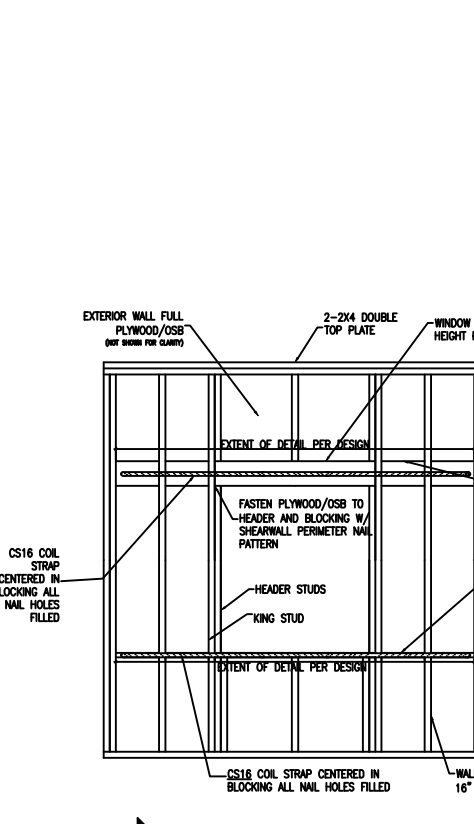
E14 VS 2-2 SHEAR TRANSFER TO INTERIOR SHEARWALL W/ BLOCKING (SHEATHING DOES NOT EXTEND ACROSS BAND OR BLOCKING)



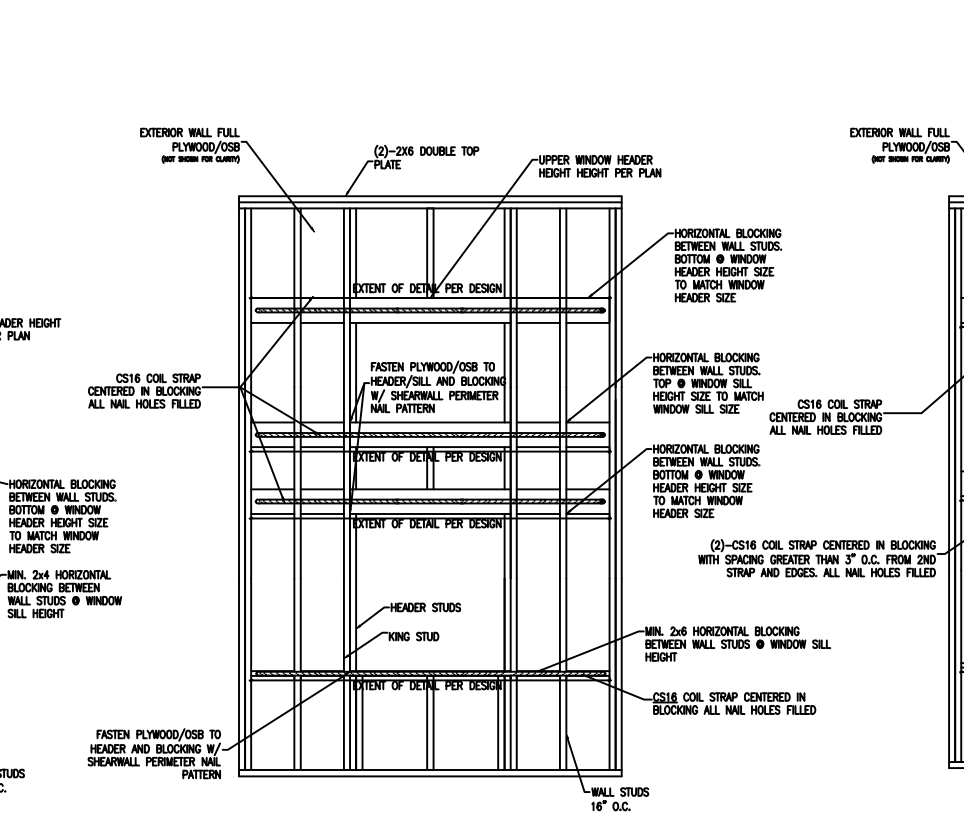
E13 VS 2-2 SHEAR TRANSFER EXTERIOR WALL OR INTERIOR SHEARWALL W/ BLOCKING (SHEATHING DOES NOT EXTEND ACROSS BAND OR BLOCKING)



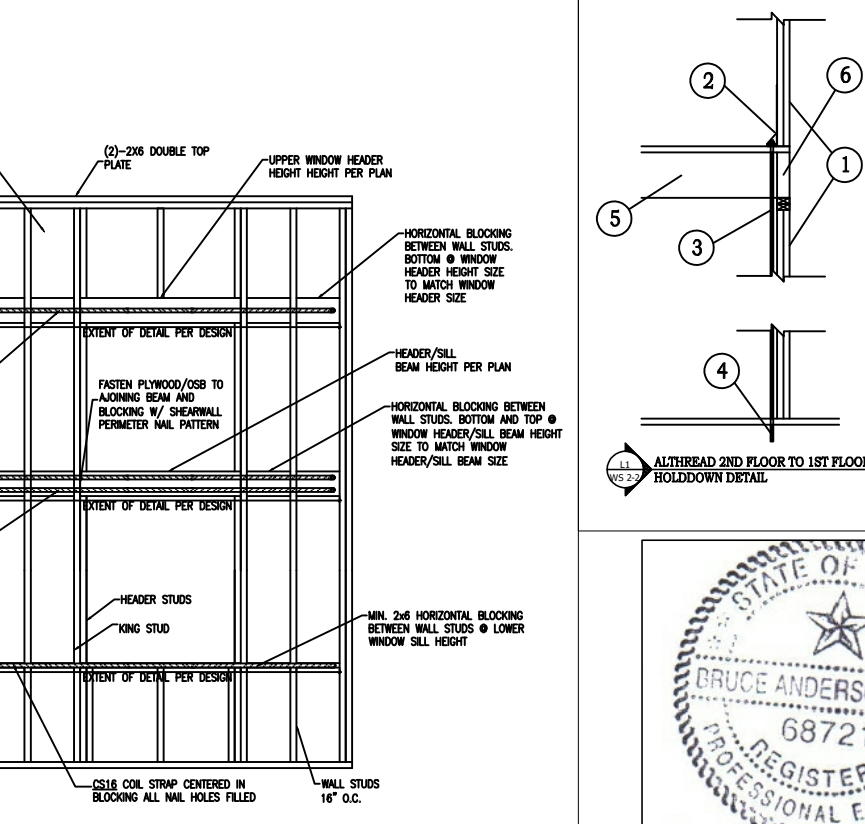
E12 VS 2-2 SHEAR TRANSFER EXTERIOR WALL OR INTERIOR WALL W/ BLOCKING (SHEATHING EXTENDS ACROSS BAND OR BLOCKING)



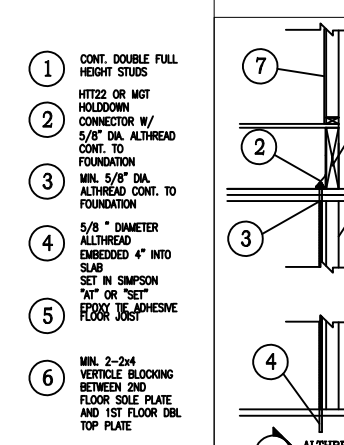
E11 VS 2-2 HORIZONTAL BLOCKING AND STRAPPING DETAIL WITH ONE OPENING FOR WALLS LESS THAN 12' IN HEIGHT



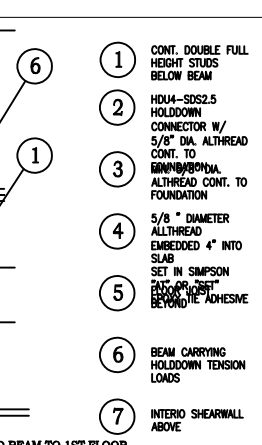
E12 VS 2-2 BALLOON-FRAMED HORIZONTAL BLOCKING AND STRAPPING DETAIL WITH WALL SPACE BTW OPENINGS



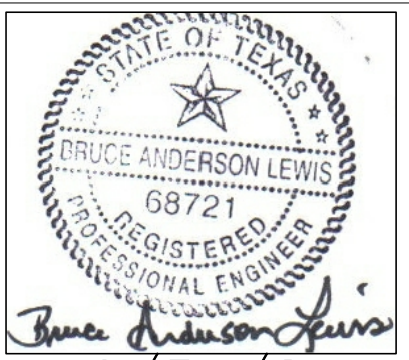
E13 VS 2-2 BALLOON-FRAMED HORIZONTAL BLOCKING AND STRAPPING DETAIL WITH HEADER/SILL BEAM BTW OPENINGS



E12 VS 2-2 ALTHREAD 2ND FLOOR TO 1ST FLOOR HOLDDOWN DETAIL



E13 VS 2-2 ALTHREAD BEAM TO 1ST FLOOR HOLDDOWN DETAIL



10/31/24



# AGENDA MEMO

Business of the City Council  
City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Items</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	
<b>Reviewed by City Attorney</b>		<b>Department</b>	Developmental Services
<b>Subject</b>	Discussion and possible action to proposed replat combining 402 and 404 Pecan.		
<b>Attachments / Supporting documents</b>	Survey		
<b>Financial Information</b>	Expenditure Required:	N/A	
	Amount Budgeted:	N/A	
	Account Number:		
	Additional Appropriation Required:		
	Additional Account Number:		

**Executive Summary**

Replat proposed to combine the properties of 402 and 404 Pecan Street.

Due to the situation and prior agenda item related to the proposed replat, mylars will not be printed for signatures until voted upon. If approved, requestor will print and submit mylars for signatures.

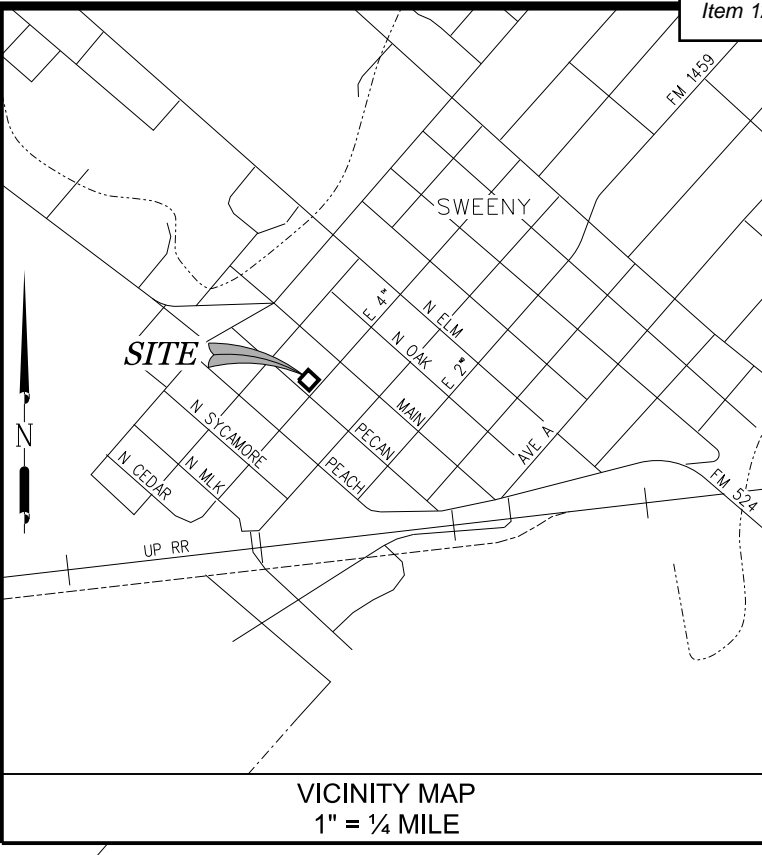
HB 3167 allows for 30 days to approve or deny with written explanation as to rejection reasoning.

**Recommended Action**

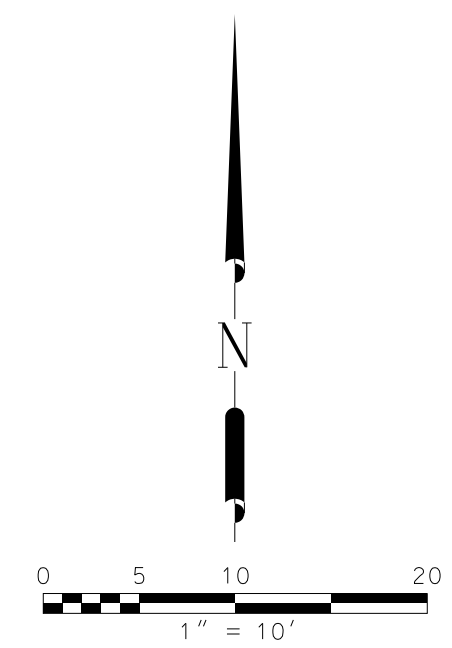
Recommendation to approve replat to combine 402 and 404 Pecan Street.



SWEENEY TOWNSITE VOLUME 2, PAGES 59-60 B.C.P.R.



VICINITY MAP 1" = 1/4 MILE



STATE OF TEXAS COUNTY OF BRAZORIA WE, WILLIAM W. WORRELL, JR. AND ROBERT W. GOODRUM, JR., OWNERS OF LOT 8 AND LOT 9, BLOCK 18 OF THE SWEENEY TOWNSITE, AS RECORDED IN VOLUME 2, PAGE 59, OF THE BRAZORIA COUNTY PLAT RECORDS IN THE IMLA KEEP LEAGUE, ABSTRACT 79, BRAZORIA COUNTY, TEXAS, DO HEREBY MAKE REPEAT OF SAID PROPERTY ACCORDING TO THE LOT LINES, BUILDING LINES AND EASEMENTS AS SHOWN HEREON AND DO HEREBY DEDICATE TO THE PUBLIC FOR USE THE EASEMENTS SHOWN HEREON FOREVER, AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

WITNESS MY HAND IN \_\_\_\_\_ COUNTY, TEXAS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

WILLIAM W. WORRELL, JR., OWNER

ROBERT W. GOODRUM, JR., OWNER

NOTARY PUBLIC STATE OF TEXAS COUNTY OF BRAZORIA

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED WILLIAM W. WORRELL, JR., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC STATE OF TEXAS COUNTY OF BRAZORIA

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ROBERT W. GOODRUM, JR., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

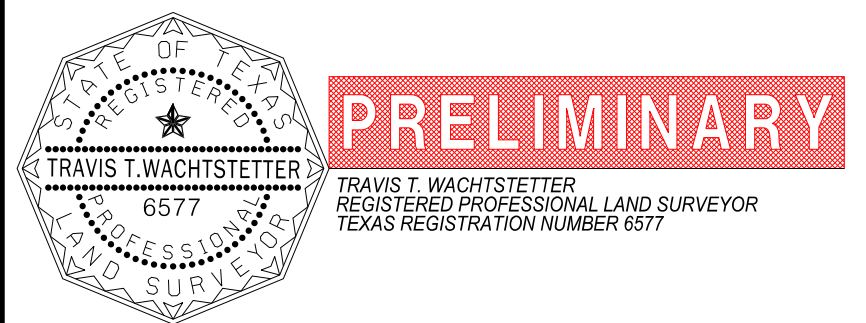
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS MY COMMISSION EXPIRES \_\_\_\_\_, 20\_\_.

CITY OF SWEENEY, CITY OFFICIALS

THIS IS TO CERTIFY THAT THE MAYOR AND CITY COUNCIL OF THE CITY OF SWEENEY, TEXAS HAVE APPROVED THIS NAVROU BUSINESS, INC. REPLAT, IN THE IMLA KEEP LEAGUE, ABSTRACT 79, IN THE CITY OF SWEENEY, TEXAS AS SHOWN HEREON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

DUSTY HOPKINS, MAYOR MARK MORGAN, JR., POSITION 1 REESE C. COOK, POSITION 2 BRIAN BROOKS, POSITION 3 JOHN RAMBO, POSITION 4 (MAYOR PRO-TEM) TIM PETTIGREW, POSITION 5 KAYDI SMITH, CITY SECRETARY R.C. STEVENSON, CITY ATTORNEY

STATE OF TEXAS COUNTY OF BRAZORIA I, TRAVIS T. WACHTSTETTER, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE PLAT OF THE REPLAT OF LOTS 8 AND 9, BLOCK 18 OF THE SWEENEY TOWNSITE, OUT OF THE IMLA KEEP SURVEY, ABSTRACT 79, BRAZORIA COUNTY, TEXAS WAS PREPARED FROM AN ACTUAL SURVEY ON THE GROUND AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME, DATE SURVEYED: DECEMBER 2023



PRELIMINARY

- NOTES: 1. ALL COORDINATES AND BEARINGS ARE RELATIVE TO THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83). 2. ● DENOTES FOUND IRON ROD/PIPE 3. ○ DENOTES SET 5/8" IRON ROD W/TTW CAP 4. ALL DISTANCES ARE HORIZONTAL SURFACE LEVEL LENGTHS. (SF = 0.99987900048) 5. THIS SURVEY DID NOT RELY ON A CURRENT TITLE COMMITMENT. THE INFORMATION CONTAINED ON THIS SURVEY WAS COMPILED FROM DATA BOTH PRIVATE AND PUBLIC, AND FROM THE BRAZORIA COUNTY COURTHOUSE. IT DOES NOT REPRESENT A COMPLETE DEED RESEARCH AND THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS OR OWNERSHIP TITLE EVIDENCE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. 6. THIS PROPERTY APPEARS TO BE LOCATED WITHIN THE LIMITS OF ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 48039C056K, DATED: DECEMBER 30, 2020. 7. THE PURPOSE OF THIS SURVEY IS TO COMBINE LOT 8 AND LOT 9 INTO LOT 8A. 8. THERE ARE ADDITIONAL IMPROVEMENTS ON THIS PROPERTY NOT SHOWN HEREON. 9. THIS PROPERTY MAY BE SUBJECT TO BUILDING RESTRICTIONS PER THE CITY OF SWEENEY.

REPLAT OF LOTS 8 AND 9, BLOCK 18

OF THE SWEENEY TOWNSITE AS RECORDED IN VOLUME 2, PAGE 59 OF THE BRAZORIA COUNTY PLAT RECORDS IN THE IMLA KEEP SURVEY ABSTRACT 79 CITY OF SWEENEY BRAZORIA COUNTY, TEXAS DECEMBER 2023

OWNERS: WILLIAM W. WORRELL, JR. & ROBERT W. GOODRUM, JR. 410 PECAN ST. SWEENEY, TX 77480

SURVEYOR: DOYLE & WACHTSTETTER, INC. 131 COMMERCE STREET CLUTE, TX 77531 (979) 265-3622





# AGENDA MEMO

## Business of the City Council City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Items</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	Administration
<b>Reviewed by City Attorney</b>		<b>Department</b>	Administration
<b>Subject</b>	Discussion and possible action to proposed blanket policy allowing for Sweeny Beautification to submit requests of usage of city owned property to City Administrator for future Farmers Markets.		
<b>Council Strategic Goals</b>	Sense of Community; Safe and Beautiful City		
<b>Attachments / Supporting documents</b>	Proposed Policy		
<b>Financial Information</b>	Expenditure Required:	N/A	
	Amount Budgeted:	N/A	
	Account Number:		
	Additional Appropriation Required:		
	Additional Account Number:		

### Executive Summary

Council previously requested a blanket policy allowing for Sweeny Beautification to use city owned property adjacent to City Hall for future Farmers Markets, without the need of Council approval on each date.

Attached is a proposed policy along with a proposed request for usage application (Exhibit A) that would be submitted by Beautification for proposed events prior too, dependent on approval of proposed policy.

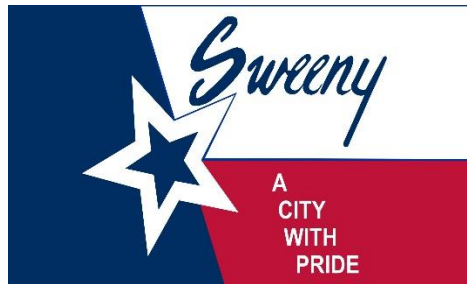
### Recommended Action

To approve proposed policy (and/or with recommended changes) allowing for Sweeny Beautification to submit requests for usage of city owned property to the City Administrator for future Farmers Markets.

# CITY OF SWEENY

## Farmers Market Request Policy Sweeny Beautification Committee

### Usage of City Owned Property



## Table of Contents

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<b>Table of Contents:</b>	<b>Page: 2</b>
<b>1. Policy</b>	<b>3</b>
<b>1.1 Purpose</b>	<b>3</b>
<b>1.2 Scope/Policy</b>	
<b>1.3 Definitions &amp; Statutes</b>	<b>3</b>
<b>1.4 Policy Review</b>	<b>4</b>
<b>1.5 Exhibit A; Request for Usage Application</b>	<b>5</b>

# 1. Introduction

## 1.1 Purpose

The City of Sweeny welcomes the Sweeny Beautification Committee in hosting Farmers Markets, allowing usage of city owned property, adjacent to City Hall, for said events. This event helps to provide a growing sense of community, promote environmental stewardship, and allow Beautification to expand their revenue source.

## 1.2 Scope/ Policy

Farmers Market requests will consist of an application for usage to the City Manager or his or her designee. All requests for usage are at the discretion of the City Manager and must be submitted at least sixty (60) days in advance of the proposed event.

The City reserves the right to pre-empt any scheduled program, activity, event, or otherwise if need be, provided advance notice is given, if able.

No alcohol will be consumed, dispersed, or sold on City property during any event.

All trash will be picked up and disposed of properly. Any items left will be disposed of by City crews and may forfeit future use of property.

Any event that spans over two (2) hours, will be required to provide a hand washing station and porta-can for the duration of the event.

The Sweeny Beautification Committee will require all vendors to complete and sign an Indemnity Clause or Hold Harmless for each and every event. Following the event, all forms will be submitted to the City for retention purposes.

The Sweeny Beautification Committee will follow all State mandated and County Health requirements as per Chapter 437 of the Local Government Code.

## 1.3 Definitions & Statutes

Farmers Markets are to consist of “farm” produced items, cottage food production operation items, home grown products, or locally made craft items. Food trucks, jewelry, or clothes are not considered meeting the rules of “craft” items and are not allowed.

*“Farmers’ markets”* are designated locations used primarily for the distribution and sale directly to consumers of food by farmers or other producers.

*“Farm”* produced item examples are cottage foods, baked foods, canned items and jellies, fresh, whole produce or fruits, fresh herbs/plants, yard eggs (if refrigerated), and coffee sales when using a safe water supply.

*“Craft”* items are locally made or produced tangible items that involve a skill in making things by hand.

*“Cottage Food Production Operation Items”* are defined as an individual’s operating out of the individual’s home or who produces at the individual’s home: a baked good that is not a time and temperature control for safety food (TCS food); candy; coated and uncoated nuts; unroasted nut butters; fruit butters; a canned jam or jelly; a fruit pie; dehydrated fruit or vegetables, including dried beans; popcorn and popcorn snacks; cereal, including granola; dry mix; vinegar; pickled fruit or vegetables, including beets and carrots, that are preserved in vinegar, etc.

All Cottage Food Production Operation Items are required to follow packaging, labeling, and statement requirements.

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#### **1.4 Policy Review**

This policy will be reviewed and updated as necessary to reflect changes in state law or as requested by City Council to suit the needs of the City of Sweeny and the Sweeny Beautification Committee.

Passed and approved by City Council the 19<sup>th</sup> day of November, 2024.

---

David Jordan, *Interim City Manager*



# CITY OF SWEENY

102 W. Ashley Wilson Rd. • PO Box 248 • Sweeny, Texas 77480 • P: (979) 548-3321

## SWEENY BEAUTIFICATION COMMITTEE'S FARMERS MARKET REQUEST FOR USAGE APPLICATION

**DATE OF REQUESTED USE** \_\_\_\_\_

**USAGE TIMES** \_\_\_\_\_

**NAME & TITLE OF REQUESTOR** \_\_\_\_\_

**CONTACT NO.** \_\_\_\_\_

**EMAIL** \_\_\_\_\_

**NUMBER OF EXPECTED VENDORS** \_\_\_\_\_

**Are you requesting any additional needs?** \_\_\_\_\_

This application is to secure a date for a proposed farmers market to be held on city owned property adjacent to City Hall. Applicant is required to initial the below agreeing to the statements and requirements set forth by the City of Sweeny.

\_\_\_\_\_ The Sweeny Beautification Committee will require all vendors to complete and sign an indemnity clause on behalf of the City of Sweeny. All indemnity clauses will be submitted to the City following the event.

\_\_\_\_\_ The Sweeny Beautification Committee has or will obtain a hand washing station and porta-can if the event is to be longer than two (2) hours in length.

\_\_\_\_\_ The Sweeny Beautification Committee agrees that only "farm" produced items such as cottage food baked goods, canned items and jellies, fresh, whole produce or fruits, fresh herbs/plants, yard eggs (if refrigerated), and coffee sales when using a safe water supply are allowed. Food trucks, jewelry, or clothes are NOT considered meeting the rules of "craft" items and are not allowed.

\_\_\_\_\_ All requests are to be submitted 60 days in advance and are subject to the City Managers discretion. The City reserves the right to pre-empt any scheduled program, activity, event, or otherwise if need be, provided advance notice is given, if able.

\_\_\_\_\_ NO alcoholic beverages are allowed on City owned property nor allowed to be sold at the function.

\_\_\_\_\_ All trash will be picked up and disposed of properly. Any left items will be disposed of immediately by City crews. Any trash left after event, may forfeit future usage of city owned property.

**Signature**

**Date**

**OFFICE USE:**

**Received Date**

**Received Time**

**Received By**



# AGENDA MEMO

## Business of the City Council City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Items</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	Karla Wilson
<b>Reviewed by City Attorney</b>		<b>Department</b>	Finance
<b>Subject</b>	Waste Connections contractual CPI and fuel increase requests		
<b>Council Strategic Goals</b>	Letter from Waste Connections re: Annual Rate Adjustment		
<b>Attachments / Supporting documents</b>			
<b>Financial Information</b>	Expenditure Required:	N/A	
	Amount Budgeted:	N/A	
	Account Number:		
	Additional Appropriation Required:		
	Additional Account Number:		

### Executive Summary

The City currently contracts with Waste Connections for residential and commercial garbage services. The contract stipulates that the rate increases may be requested by Waste Connections based on the Consumer Price Index and on fuel costs. Waste Connections is requesting a CPI increase adjustment of 3.8% and a fuel adjustment of 1.41% for a total rate adjustment of 5.21%, effective January 1, 2025.

### Recommended Action

Motion to accept a rate adjustment, effective January 1, 2025, of 3.8% to reflect an annual CPI increase and 1.41% to reflect an annual fuel cost increase for a total increase of 5.21% to our current residential and commercial garbage rates as billed by Waste Connections, with proportionate increases to City customer garbage billing rates.





**WASTE CONNECTIONS INC.**  
*Connect with the Future®*

October 28, 2024  
City of Sweeny  
Attn: City Manager  
102 West Ashley Wilson road  
Sweeny, Texas 77408

RE: Annual Rate Adjustment

Dear City Manager

Waste Connections would like to sincerely thank you for the great opportunity we have had to serve the citizens and community of Sweeny. We thoroughly enjoy and appreciate the relationship between Waste Connections and the City of Sweeny.

Each year we evaluate the CPI-U, PADD-3 fuel prices, and costs per our contract with the city. This year the CPI-U adjustment is 3.8% and the fuel adjustment is 1.41% for a total rate adjustment of 5.21%. I have enclosed further details of these adjustments with this letter.

We would like to adjust these rates on the January billing cycle.

Should you have any questions or concerns regarding this adjustment or anything else, please feel free to contact me at the office at 281-331-0810.

Best Regards,

Zachary Ryan  
District Manager  
Waste Connections of TX  
Zachary.Ryan@wasteconnections.com

<b>Rate Adjustment</b>	<b>Percentage Increase</b>
Fuel	1.41% **See tab Fuel for supporting documentation
CPI-U	3.80% **See tab CPI-U for supporting documentation
<b>Total City of Sweeny Rate Adjustment</b>	<b>5.21%</b>

# City of Sweeny 1-2025

## Residential Cart Service

Residential 95 gal Cart	\$ 21.21
Extra Cart	\$ 6.12
*Cart replacement	\$ 87.37

\*Excludes normal wear & tear & stolen carts(must file police report)

City will quote, set up, and bill RESI  
 Trash : 1 x week, Monday -blue cart  
 Recycle: Every other Thursday -1 green cart  
 Extra cart resi (no limit): WC bill- \$60 upfront

## Commercial Cart Service

Commercial 95 Gal Cart	\$ 44.26
Extra Cart	\$ 12.15

Heavy Trash  
 \*Monday- Brush, 5 yards  
 Saturday- Bulky items, 5 yards  
 No C&D or regular trash

\*Not to exceed 5ft., 50lbs. & 18 inches in diameter.

## Commercial Frontload Rates

Size	1x	2x	3x	4x	5x	Extra PU	Lock
2	\$ 59.80	\$ 106.03	\$ 153.58	\$ 199.89	\$ 247.35	\$ 53.66	\$ 6.56
3	\$ 81.55	\$ 134.57	\$ 187.56	\$ 240.55	\$ 293.55	\$ 56.34	\$ 6.56
4	\$ 95.16	\$ 154.93	\$ 212.79	\$ 273.18	\$ 331.61	\$ 59.02	\$ 6.56
6	\$ 123.41	\$ 202.52	\$ 286.80	\$ 371.03	\$ 455.29	\$ 64.38	\$ 6.56
8	\$ 144.85	\$ 258.26	\$ 371.06	\$ 482.49	\$ 595.28	\$ 73.78	\$ 6.56

## Commercial Compactor Rates

Size	1x	2x	3x	4x	5x	Delivery
2	\$ 117.41	\$ 209.24	\$ 303.13	\$ 394.36	\$ 488.25	\$90
3	\$ 160.96	\$ 265.59	\$ 370.21	\$ 474.84	\$ 579.47	
4	\$ 187.78	\$ 305.82	\$ 421.19	\$ 539.23	\$ 654.57	
6	\$ 246.81	\$ 399.72	\$ 566.06	\$ 732.37	\$ 898.71	
8	\$ 289.72	\$ 509.72	\$ 732.37	\$ 952.37	\$ 1,175.01	

## Roll off/ Roll off Compactor Rates

Rolloff - Trash	Rate/Haul	Deposit
20 yd Open Top	\$ 416.86	\$ 636.39
30 yd Open Top	\$ 463.17	\$ 686.52
40 yd Open Top	\$ 496.27	\$ 722.36

\$23.67 per ton after 6 tons of disposal

Roll off Compactor	Rate/Haul
28 yd Compactor	\$ 455.97
30 yd Compactor	\$ 476.40
35 yd Compactor	\$ 509.51
40 yd Compactor	\$ 476.40
42 yd Compactor	\$ 509.51

\$ 119.21	Rental Per month per Container	\$	3.98
\$ 171.03	Delivery Fee per Rolloff Delivery		Daily Rental

300052-001 - Residential  
 300001-001 - Commercial



# AGENDA MEMO

## Business of the City Council City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Items</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	Administration
<b>Reviewed by City Attorney</b>		<b>Department</b>	Utility Department
<b>Subject</b>	Discussion and possible action on the drive thru drawer located at City Hall.		
<b>Council Strategic Goals</b>	N/A		
<b>Financial Information</b>	Expenditure Required:	\$8,000.00 +	
	Amount Budgeted:	\$0.00	
	Account Number:		
	Additional Appropriation Required:		
	Additional Account Number:		

### Executive Summary

The City Hall's drive thru drawer is broken and needs a full replacement. The cost is approximately \$8,000.00 plus, dependent on the build out costs due to modifications needed. The current drawer is not eligible for repair due to age. Additional costs include electrical and safety upgrades.

Currently the drive thru window is closed. City Hall is accepting payments via online, by mail, in office, or within the night depository.

The City does not have the estimated amount for replacement budgeted.

Does the Council wish to pursue replacement and interior/exterior remodeling to accommodate a new drawer?

### Recommended Action

Council Discretion



# AGENDA MEMO

## Business of the City Council City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Items</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	Administration
<b>Reviewed by City Attorney</b>		<b>Department</b>	Administration
<b>Subject</b>	Discussion and possible action to adopt the proposed Prohibited Technologies Security Policy for the City of Sweeny, pursuant to the Governor’s directive and SB 1893.		
<b>Attachments / Supporting documents</b>	Prohibited Technologies Security Policy		
<b>Financial Information</b>	Expenditure Required:	N/A	
	Amount Budgeted:	N/A	
	Account Number:		
	Additional Appropriation Required:		
	Additional Account Number:		

### Executive Summary

Pursuant to the Governor’s directive and SB 1893, municipalities are required to adopt a prohibited technology policy by November 20, 2024, prohibiting the use of TikTok and certain other social media applications and services on governmental devices. The bill specifically requires cities and other political subdivisions to adopt a policy: (1) prohibiting the installation of TikTok or another covered application on any device owned or leased by the governmental entity; and (2) requiring the removal of covered applications from those devices.

Proposed policy is attached.

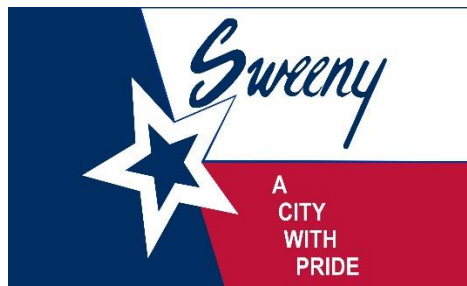
[88\(R\) SB 1893 - Enrolled version](#)

### Recommended Action

To approve the City of Sweeny’s Prohibited Technologies Security Policy, pursuant to SB 1893.

# CITY OF SWEENY

## Prohibited Technologies Security Policy



## Table of Contents

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<b>Table of Contents:</b>	<b>Page:</b>
<b>1. Introduction</b>	<b>3</b>
<i>1.1 Purpose</i>	<b>3</b>
<i>1.2 Scope</i>	<b>3</b>
<b>2. Policy</b>	<b>3</b>
<i>2.1 City-Owned Devices</i>	<b>3</b>
<i>2.2 Ongoing and Emerging Technology Threats</i>	<b>4</b>
<i>2.3 Policy compliance</i>	<b>4</b>
<i>2.4 Exceptions</i>	<b>4</b>
<i>2.5 Policy Review</i>	<b>4</b>
<b>Addendum A Prohibited Technologies</b>	<b>5</b>
<b>Addendum B Agreement Form</b>	<b>6</b>

# 1. Introduction

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## 1.1 Purpose

On September 1, 2023, the Legislature of the State of Texas enacted SB 1893 prohibiting the use of TikTok, and certain social media applications covered under Chapter 620 on devices owned or leased by governmental entities and requiring the removal of covered applications from those devices. In addition to TikTok, The City of Sweeny may add other software and hardware products with security concerns to this policy and will be required to remove prohibited technologies which are on the Texas Department of Information Resources (DIR) prohibited technology list. Throughout this Policy, "Prohibited Technologies" shall refer to TikTok and any additional hardware or software products added to this policy.

## 1.2 Scope

This policy applies to all City of Sweeny's full-time employees, part-time employees, volunteers, and elected officials. All City of Sweeny employees are responsible for complying with the terms and conditions of this policy.

# 2. Policy

---

## 2.1 City-Owned Devices

Except where approved exceptions apply, the use or download of prohibited applications or websites is prohibited on all city-owned devices, including cell phones, tablets, desktop and laptop computers, and other internet capable devices.

The City of Sweeny must identify, track, and control city-owned devices to prohibit the installation of or access to all prohibited applications. This includes the various prohibited applications for mobile, desktop, or other internet capable devices.

The City of Sweeny must manage all city-issued mobile devices by implementing the security controls listed below:

- a. Restrict access to "app stores" or non-authorized software repositories to prevent the installation of unauthorized applications.
- b. Maintain the ability to remotely wipe non-compliant or compromised mobile devices.
- c. Maintain the ability to remotely uninstall un-authorized software from mobile devices.
- d. Deploy secure baseline configurations, for mobile devices, as determined by The City of Sweeny.



**2.2 Ongoing and Emerging Technology Threats**

To provide protection against ongoing and emerging technological threats to the City’s sensitive information and critical infrastructure, DIR will regularly monitor and evaluate additional technologies posing concerns for inclusion in this policy.

DIR will host a site that lists all prohibited technologies including apps, software, hardware, or technology providers. The prohibited technologies list current as of January 23, 2023, can be found at Addendum A.

The City of Sweeny will implement the removal and prohibition of any listed technology. The City of Sweeny may prohibit technology threats in addition to those identified by DIR.

**2.3 Policy Compliance**

An employee found to have violated this policy may be subject to disciplinary action, including termination of employment.

**2.4 Exceptions**

TikTok may be installed and used to the extent necessary for providing law enforcement or developing or implementing information security measures and used in compliance with documented measures to mitigate risks to the security of The City of Sweeny’s information.

**2.5 Policy Review**

This policy will be reviewed and updated as necessary to reflect changes in state law, additions to applications identified under Government Code Section 620.006, updates to the prohibited technology list posted to DIR’s website, or to suit the needs of the City of Sweeny.

This policy is to be enforced in tandem and correlating with the City of Sweeny’s personnel guidelines, Section 6.6, Social Media, along with the prior Memorandum addressed to all employees, 01/03/2023, Communications with the Press, Social Media Management, and Job Postings.

\_\_\_\_\_  
Employee, Official, or Board Member’s Written Name Affiliation

\_\_\_\_\_  
Signature

PASSED, APPROVED AND ADOPTED by CITY COUNCIL this \_\_\_\_ Day of November, 2024.

\_\_\_\_\_  
David Jordan, *Interim City Manager*

## **ADDENDUM A**

The up-to-date list of prohibited technologies is published at <https://dir.texas.gov/information-security/prohibited-technologies>. The following list is current as of January 23, 2023.

### **Prohibited Software/Applications/Developers**

- TikTok
- Kaspersky
- ByteDance Ltd.
- Tencent Holdings Ltd.
- Alipay
- CamScanner
- QQ Wallet
- SHAREit
- WMate
- WeChat
- WeChat Pay
- WPS Office
- Any subsidiary or affiliate of an entity listed above.

### **Prohibited Hardware/Equipment/Manufacturers**

- Huawei Technologies Company
- ZTE Corporation
- Hangzhou Hikvision Digital Technology Company
- Dahua Technology Company
- SZ DJI Technology Company
- Hytera Communications Corporation
- Any subsidiary or affiliate of an entity listed above.

# CITY OF SWEENY

## Prohibited Technologies Security Policy

### Addendum B- Agreement Form

I have read and will abide by the City of Sweeny’s Prohibited Technologies Security Policy. I do understand that a copy of this signed policy will be placed within my personnel file.

---

Employee, Official, or Board Member’s Written Name Affiliation

---

Signature Date

This policy is to be added within the Personnel Guidelines, as an exhibit to Section 6.6.

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# AGENDA MEMO

## Business of the City Council

### City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Item</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	City Manager
<b>Reviewed by City Attorney</b>		<b>Department</b>	Administration
<b>Subject</b>	Discussion and possible action to Resolution 24-117; nominating candidates for the Board of Directors of the Brazoria County Appraisal District.		
<b>Attachments</b>	Letter, BCAD Ballot, BCAD Resolution		
<b>Financial Information</b>	Expenditure Required:	-	
	Amount Budgeted:	-	
	Account Number:	-	
	Additional Appropriation Required:	-	
	Additional Account Number:	-	

#### Executive Summary

The City is entitled to cast 8 votes. You may cast all votes for one candidate OR distribute votes among any number of candidates. To cast nominations, we must submit a written resolution to accompany the ballot.

Nominees are Kristin Bulanek, Eric Hayes, Wayman Hutchings, Glen Jones, Tommy King, Arnetta Murray, Marinell Music, Patrick O'Day, Gail Robinson, George Sandars, Susan Spoor.

Current Board members are Kristin Bulanek, Elizabeth Day, Tommy King, John Luquette, Patrick O'Day, Gail Robinson, George Sandars, Susan Spoor, and Robert York-Westbrook.

#### Recommended Action

To approve Resolution 24-117 nominating \_\_\_\_\_ for all eight votes.

OR

To approve Resolution 24-117 nominating \_\_\_\_, \_\_\_\_, \_\_\_\_, \_\_\_\_, \_\_\_\_, \_\_\_\_, \_\_\_\_, & \_\_\_\_.  
(8 votes distributed any way you wish)

# BRAZORIA COUNTY APPRAISAL DISTRICT

Item 17.

## MEMBERS OF THE BOARD

Kristin Bulanek  
Elizabeth Day  
Tommy King  
John Luquette  
Patrick O'Day  
Gail Robinson  
George Sandars  
Susan Spoor  
Robert York-Westbrook

## CHIEF APPRAISER

Marcel Pierel III  
500 N. Chenango  
Angleton, Texas 77515  
979-849-7792  
Fax 979-849-7984

October 21, 2024

Ms. Lindsay Koskiniemi  
City Manager of Sweeny  
PO Box 248  
Sweeny, TX 77480

Dear Ms. Koskiniemi,

Thirty-four voting taxing units were entitled to submit by written resolution, nominations to appoint five-members to the board of directors of the Brazoria County Appraisal District for the year 2025. **Attached is the official ballot with the nominations we received.**

**CITY OF SWEENEY IS ENTITLED TO CAST 8 VOTE(S).**

Each voting unit must vote by **Written Resolution** and submit it to the chief appraiser before **December 15, 2024**. The governing body of the taxing unit may cast all its votes for one candidate or distribute the votes among any number of candidates. When you add the column of your votes, your total should not be greater than your allotted number.

A voting unit must cast its votes for a person, or persons nominated and named on the ballot. There is no provision for write-in candidates. The chief appraiser may not count votes cast for someone not listed on the official ballot.

Please complete the ballot and return to Marcel Pierel III, Chief Appraiser, by mail to 500 North Chenango, Angleton, Texas 77515, email [mpierel@brazoriacad.org](mailto:mpierel@brazoriacad.org) or fax to 979-849-7984 **along with a Written Resolution before December 15, 2024.** If you have any questions about the format of your resolution or any other matter, give me a call immediately.

It is important that you return your **Ballot and Resolution** to the chief appraiser before **December 15, 2024**, so that we may count the votes, declare the winners, and notify all taxing units and candidates of the results.

Sincerely,



Marcel Pierel III  
Chief Appraiser

MP/td  
Enclosure

**BRAZORIA COUNTY APPRAISAL DISTRICT  
BOARD OF DIRECTORS ELECTION 2024**

**OFFICIAL BALLOT**

<u>NOMINATIONS/CANDIDATES</u>		<u>VOTE(S) CAST</u>
1.	<u>Kristin Bulanek</u>	1. _____
2.	<u>Eric Hayes</u>	2. _____
3.	<u>Wayman Hutchings</u>	3. _____
4.	<u>Glen Jones</u>	4. _____
5.	<u>Tommy King</u>	5. _____
6.	<u>Arnetta Murray</u>	6. _____
7.	<u>Marinell Music</u>	7. _____
8.	<u>Patrick O'Day</u>	8. _____
9.	<u>Gail Robinson</u>	9. _____
10.	<u>George Sandars</u>	10. _____
11.	<u>Susan Spoor</u>	11. _____

**PLEASE ATTACH YOUR RESOLUTION TO THIS FORM.**

SUBMITTED BY: \_\_\_\_\_

VOTES ENTITLED TO: \_\_\_\_\_

VOTES CAST: \_\_\_\_\_

**RESOLUTION NO. \_\_\_\_\_**

**WHEREAS**, the official ballot containing the names of the duly nominated candidates for the Board of Directors of the Brazoria County Appraisal District has been received from the Chief Appraiser of the Brazoria County Appraisal District; and

**WHEREAS**, the \_\_\_\_\_ wishes to cast its votes thereon;

**NOW, THEREFORE, BE IT RESOLVED**, the \_\_\_\_\_ does hereby determine and cast its votes for the candidates for the Board of Directors of the Brazoria County Appraisal District as follows:

**BE IT FURTHER RESOLVED** that the official ballot be marked in accordance with this resolution and returned to the Chief Appraiser of the Brazoria County Appraisal District with a copy of this resolution attached hereto prior to December 15, 2024.

**PASSED AND APPROVED** this \_\_\_\_\_ Day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Presiding Officer

ATTEST:

\_\_\_\_\_  
Secretary



# AGENDA MEMO

## Business of the City Council City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Items</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	Administration
<b>Reviewed by City Attorney</b>		<b>Department</b>	Administration
<b>Subject</b>	Discussion and possible action on the Texas Water Development Board (TWDB) State Fiscal Year 2025 Drinking Water State Revolving Fund (DWSRF) application invitation for intent to apply.		
<b>Council Strategic Goals</b>	Government Sustainability and Infrastructure Investment		
<b>Attachments / Supporting documents</b>	Intent to Apply Letter and Form		
<b>Financial Information</b>	Expenditure Required:		
	Amount Budgeted:		
	Account Number:		
	Additional Appropriation Required:		
	Additional Account Number:		

### Executive Summary

The City of Sweeny has been invited to submit an application for funding to the TWDB- DWSRF. The project has been identified as eligible for principal forgiveness, subject to funding availability and the amount. The final principal forgiveness eligibility is determined following a detailed review of the full application budget.

To be considered for funding, the INTENT TO APPLY must be completed by 12/06/2024 with the application to be completed by 01/10/2025.

The City would need to discuss loan options, to include selling bonds to the TWDB, in which bond counsel or financial advisors are required. **If approving** the intent to apply, it is suggested to involve bond counsel prior to the submittal of the full application (01/10/2025).

Does the City wish to pursue? Strand Engineering was selected in the recent RFQ for the initial application. We currently do not have a full package associating possible costs incurred to the City other than the original estimated amount of \$39M. This does not include the bidding, engineering, bond counsel, loan origination fees, grant consulting and management services, etc.

### Recommended Action

To file the letter of intent, potentially moving forward, giving staff time to review the capital improvement plan with potential costs incurred, prior to filing an application in January.





P.O. Box 13231, 1700 N. Congress Ave.  
Austin, TX 78711-3231, www.twdb.texas.gov  
Phone (512) 463-7847, Fax (512) 475-2053

Official Electronic Mail Sent Via Email. No hard copy to follow.

November 6, 2024

Ms. Lindsay Koskiniemi  
City Manager  
City of Sweeny  
[citymanager@sweenytx.gov](mailto:citymanager@sweenytx.gov)

**Re: State Fiscal Year 2025 Drinking Water State Revolving Fund (DWSRF)  
Application Invitation**

Dear Ms. Koskiniemi:

Congratulations! We are pleased to notify you that the City of Sweeny is hereby invited to submit an application for funding through the Texas Water Development Board's (TWDB) Drinking Water State Revolving Fund.

Your project is listed in the Intended Use Plan (IUP) as being eligible to receive funding as shown below:

Project Description	Emergency Drinking Water System Improvements
Eligible Phases	Planning Design & Construction
Project Information Form Number	16002
Eligible Project Cost	\$ 39,268,000.00

*The maximum loan/bond commitment amount a project may receive under the SFY 2025 IUP is \$49 million. The maximum amount of principal forgiveness that may be committed to a project under the SFY 2025 IUP from all funding options is \$10 million.*

**Principal Forgiveness Eligibility**

Your project has been identified as eligible for principal forgiveness. This eligibility is subject to funding availability and the amount, depending on the funding option, may be dependent on others who may elect to apply. The final principal forgiveness eligibility is determined following a detailed review of the full application budget and will be documented in a Funding Determination Letter prior to the Board taking formal action on the funding request.

<b>Our Mission</b>	:	<b>Board Members</b>
Leading the state's efforts	:	Brooke T. Paup, Chairwoman   L'Oreal Stepney, P.E., Board Member   Tonya R. Miller, Board Member
in ensuring a secure	:	
water future for Texas	:	Bryan McMath, Executive Administrator

### **Asset Management Funding Option**

If you indicated in your PIF that you will be preparing an asset management plan as part of your project, you may be eligible for up to \$100,000 in loan funding with an interest rate of 0% to prepare the plan under the DWSRF Program. Please ensure you mention the asset management plan in your project scope and include funds for these activities in your application budget, if interested.

### **Required Documentation and Deadlines**

To be considered for funding under the SFY 2025 DWSRF Program, please follow the requirements stated below:

- (1) **You must submit your Intent to Apply form by completing our [Online Microsoft Form](#) or send a copy of the attached form to [DWSRF@twdb.texas.gov](mailto:DWSRF@twdb.texas.gov) by 5:00 P.M., CST on **December 6, 2024**.** If you fail to fully complete and submit the Intent to Apply Form by the deadline, your project will not be considered for funding. This will allow the TWDB to invite in rank order additional projects on the lists if an invited entity does not wish to pursue SRF funding for their project at this time.
- (2) If you intend to apply, **your complete application must be received by TWDB no later than 5:00 P.M., CST on **January 10, 2025**.** Applications will not be accepted after the deadline. We encourage you to submit your application before the deadline, which will allow us to begin a review of your application earlier. Application materials, such as, submittal instructions, guidance documents, frequently asked questions, and a link to our online application portal may be found on our website at [www.twdb.texas.gov/financial/applications/](http://www.twdb.texas.gov/financial/applications/).
- (3) **A pre-application meeting is required** for all DWSRF projects to ensure that the applicant and the corresponding TWDB staff discuss the project and ask initial questions prior to the application being submitted.

If you submit an Intent to Apply, please contact Ms. Diana Sanchez by phone at 512-475-1554 or by e-mail at [Diana.Sanchez@twdb.texas.gov](mailto:Diana.Sanchez@twdb.texas.gov) to schedule a pre-application meeting with [WSI-RWPD-Team4@twdb.texas.gov](mailto:WSI-RWPD-Team4@twdb.texas.gov). She will be able to assist you with scheduling a meeting prior to your submission of the application.

To assist you in being successful, please take note of the following tips and reminders which are based on TWDB's experience reviewing prior SRF applications:

- Applicants that will be requesting a SRF loan will most likely be selling bonds to the TWDB. As such, a financial advisor and bond counsel will be required. We highly encourage you to engage these consultants prior to submitting the application and follow the [DBE requirements](#) (equivalency only) if you seek to fund their work using SRF monies.
- Be sure any changes to the project amount are reflected in both the Intent to Apply Form and the application budget.

- For bond purposes only, TWDB SRF loan amounts must be rounded up to the nearest \$5,000. Please round up any loan numbers in the application budget and confirm the dollar amounts with your TWDB project team before passing resolutions to minimize adjustment during the review period.

We look forward to working with the City of Sweeny on its SRF project and are committed to providing excellent customer service and prompt responses to any questions as you complete your application. Should you have any questions or concerns, please contact Heather O'Keefe, Team Lead SRF General Activities, by phone at (512) 475-1835 or by email at [DWSRF@twdb.texas.gov](mailto:DWSRF@twdb.texas.gov).

Sincerely,

*Marvin Cole-Chaney*

Marvin Cole-Chaney  
Director, Program Administration and Reporting  
Water Supply and Infrastructure

Attachment: Intent to Apply Form  
[Online Microsoft Form](#)

cc: Mr. Joshua Berryhill, P.E., Vice President and Technical Director, Enprotec/Hibbs & Todd - [joshua.berryhill@e-ht.com](mailto:joshua.berryhill@e-ht.com)  
Nancy Richards, Team Manager; [WSI-RWPD-Team4@twdb.texas.gov](mailto:WSI-RWPD-Team4@twdb.texas.gov)

# Drinking Water State Revolving Fund SFY 2025

## Intent to Apply

### Instructions

Please indicate your intention to apply for funding from the Drinking Water State Revolving Fund (DWSRF) in the amount listed in the [DWSRF 2025 IUP](#).

**Deadline to submit your Intent to Apply is December 6, 2024.**

Submit this document as an attachment to [DWSRF@twdb.texas.gov](mailto:DWSRF@twdb.texas.gov).

Failure to return this form by the deadline will be considered as no intention to apply and your project will not be considered for funding.

### General Information

PIF #: Click or tap here to enter text.

Entity (Applicant) Name: Click or tap here to enter text.

Project Name: Click or tap here to enter text.

### Intent to Apply

Entity intends to submit an application for this project:  Yes  No

Requested funding amount appearing in SFY 2025 DWSRF Intended Use Plan is confirmed:  
 Yes  No

If "No" above, please explain in the space provided below. Please note that due to limited program capacity, only decreases may be considered. TWDB staff may contact you to follow up on any requested adjustments:

Click or tap here to enter text.

\_\_\_\_\_  
Signature

Click or tap here to enter text.

\_\_\_\_\_  
Printed

Click or tap here to enter text.

\_\_\_\_\_  
Title

Click or tap here to enter text.

\_\_\_\_\_  
Email Address



# AGENDA MEMO

## Business of the City Council City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Items</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	Administration
<b>Reviewed by City Attorney</b>		<b>Department</b>	Administration
<b>Subject</b>	Discussion and possible action to resubmittal of application for TxDOT Transportation Alternatives 2025 Call for Projects.		
<b>Council Strategic Goals</b>	Government Sustainability and Infrastructure Investment		
<b>Attachments / Supporting documents</b>	TxDot TA		
<b>Financial Information</b>	Expenditure Required:	\$417,000.00 +	
	Amount Budgeted:		
	Account Number:		
	Additional Appropriation Required:		
	Additional Account Number:		

### Executive Summary

TxDot has contacted the City to resubmit for the upcoming 2025 Transportation Alternatives Call For Projects. This submittal is funded on a 80/20 cash match. (COS 20%)

Grant submittals will open in January 2025 with an award date of November. Previously the City requested approximately \$2M, in which the City's local share of 20% would be approximately \$417K for construction and design of sidewalks. This project was previously applied for and the City was not granted funding.

This project includes an ADA accessible 10' wide shared path along N. Hackberry from Ashley Wilson Road to E. 6<sup>th</sup> Street. This project would require storm sewer improvements, drainage, culverts, and an ADA ramp. This project also included a 4' sidewalk from N. Hackberry to N. Elm along Ashley Wilson Road.

Does the City wish to pursue with the January deadline for an additional submittal? The City has not budgeted for this amount. Previously, a limited tax note, series 2023, was authorized by the City for \$2.5M in May of 2023 for a prior submittal of this project.

At this time we do not have a full scope package of expenditures. The above amount does **NOT** include additional engineering, bid process, bond counsel, loan origination fees, grant management or consultants, etc. The City does not have the funds to complete upfront. The first payment of the 20% match is required within 30 days of execution of the contract and the City must vouch for the money required.

*Staff is simply asking if Council wishes to proceed with the intent to re-apply to the TX Dot TA in January of 2025.*

If Council wishes to proceed, we would need meet with bond counsel, have additional meetings with SISD, and determine additional costs of proceeding. The Sidewalk fund has approximately \$349K at this time, in which would not cover incurred expenses nor the final local share of 20%. SISD previously submitted a letter of support.

### Recommended Action

Staff is not recommending moving forward with the project. If Council agrees, no motion is needed.

[< Grants and funding](#)

# Bicycle and pedestrian local and federal funding programs




TxDOT's Public Transportation Division administers federal funding programs, including Federal Highway Administration funds relating to TxDOT's Bicycle and Pedestrian Program and [Federal Transit Administration funds](#) for transit in Texas. These funds are for specific purposes and have separate eligibility and funding requirements. The Public Transportation Division requests applications for specific funding sources through calls for projects.

## Transportation Alternatives Set-aside (TA) Program

TxDOT administers TA funds for locally sponsored bicycle and pedestrian infrastructure projects in communities across the state. In large urbanized areas with populations over 200,000, TA funds are also distributed directly to Metropolitan Planning Organizations (MPO) to administer according to their needs. MPOs and TxDOT are responsible for selecting projects independently of one another.

### 2025 TA call for projects

TxDOT is planning to open the TxDOT 2025 TA call for projects in **January 2025** and has hosted three informational webinars providing an overview of the 2025 TxDOT TA call for projects approach. Topics include funding types, schedule, funding amounts, eligible project sponsors and project types, application process, and application writing tips. This informational webinar is helpful to potential project sponsors, consultants, and other interested parties desiring to know more about this major initiative to fund more active transportation infrastructure around Texas. Below please find the webinar recording, slides, and frequently asked questions document from the webinar.

- [TxDOT 2025 TA Call for Projects Informational Webinar Recording](#) 
-  [TxDOT 2025 TA Call for Project Informational Webinar PowerPoint Slides](#)
-  [TxDOT 2025 TA Call for Projects Informational Webinar Frequently Asked Questions](#)

## 2023 TA call for projects

The 2023 TA program call ended on Oct. 26, 2023.

For this Statewide call for projects, new project categories expanded eligibility to include all population areas across Texas; additionally, non-infrastructure projects (active transportation plans) were eligible for funding awards. To explore the 2023 TA Program's awarded projects, visit the ArcGIS Online StoryMap below.

To explore the 2023 TA Program's awarded projects, visit the ArcGIS Online StoryMap below.



[Explore the 2023 awarded projects](#)

## Unique aspects of TxDOT's TA program

## RESOLUTION NO. 23-102

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SWEENY, BRAZORIA COUNTY, TEXAS, AUTHORIZING THE SUBMISSION OF A TEXAS DEPARTMENT OF TRANSPORTATION ALTERNATIVES GRANT FOR AN ADA TRANSITION PLAN; AND AUTHORIZING THE CITY MAYOR OR CITY MANAGER TO ACTS AS THE CITY'S EXECUTIVE OFFICER AND AUTHORIZED REPRESENTATIVE IN ALL MATTERS PERTAINING TO THE CITY'S TXDOT APPLICATION AND PARTICIPATION IN THE TXDOT ALTERNATIVES PROGRAM.

**WHEREAS**, The City Council of the City of Sweeny (City) finds it in the best interest of the citizens of the City, that an application be made to the TXDOT Alternatives Grant program for the ADA Transition Plan; and

**WHEREAS**, City Council of said City agrees to provide applicable matching funds for the said project as required by the TXDOT grant application; and

**WHEREAS**, City Council of said City designates the City's Mayor or the City's City Manager as the City's authorized official. The authorized official is given the power to apply for, accept, reject, alter or terminate the grant on behalf of the applicant agency.

**NOW THEREFORE, BE IT RESOLVED** by the City Council of the City of Sweeny, Texas;

## SECTION ONE (1):

That the City Council approves the submission of the grant application for the ADA Transitions Plan to the Texas Department Transportation or other appropriate state body for consideration.

## SECTION TWO (2):

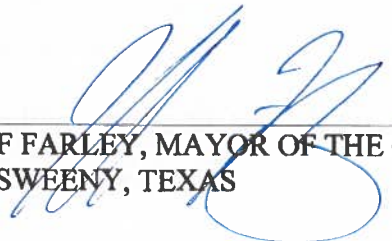
That all funds will be used in accordance with all applicable federal, state, local and programmatic requirements including procurement, environmental review, labor standards, real property acquisition and civil rights requirements.

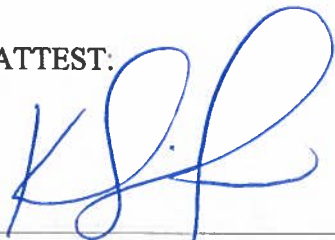
## SECTION THREE (3):



This resolution shall take effect immediately upon its passage and approval as required by law.

PASSED AND ADOPTED, this the 17<sup>th</sup> day of January,  
A. D. 2023.

  
\_\_\_\_\_  
JEFF FARLEY, MAYOR OF THE CITY  
OF SWEENEY, TEXAS

ATTEST:  
  
\_\_\_\_\_  
KAYDI SMITH, CITY SECRETARY,  
CITY OF SWEENEY, TEXAS

23-103

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SWEENY, BRAZORIA COUNTY, TEXAS, AUTHORIZING THE SUBMISSION OF A TEXAS DEPARTMENT OF TRANSPORTATION ALTERNATIVES GRANT FOR THE HACKBERRY STREET SIDEWALK PROJECT; AND AUTHORIZING THE CITY MAYOR OR CITY MANANGER TO ACTS AS THE CITY'S EXECUTIVE OFFICER AND AUTHORIZED REPRESENTATIVE IN ALL MATTERS PERTAINING TO THE CITY'S TXDOT APPLICATION AND PARTICIPATION IN THE TXDOT ALTERNATIVES PROGRAM.

**WHEREAS,** The City Council of the City of Sweeny (City) finds it in the best interest of the citizens of the City, that an application be made to the TXDOT Alternatives Grant program for the Hackberry Street Sidewalk Project; and

**WHEREAS,** City Council of said City agrees to provide applicable matching funds for the said project as required by the TXDOT grant application; and

**WHEREAS,** City Council of said City designates the City's Mayor or the City's City Manager as the City's authorized official. The authorized official is given the power to apply for, accept, reject, alter or terminate the grant on behalf of the applicant agency.

**NOW THEREFORE, BE IT RESOLVED** by the City Council of the City of Sweeny, Texas;

SECTION ONE (1):

That the City Council approves the submission of the grant application for the Hackberry Street Sidewalk Project to the Texas Department Transportation or other appropriate state body for consideration.

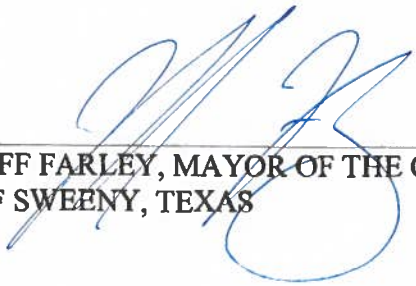
SECTION TWO (2):


That all funds will be used in accordance with all applicable federal, state, local and programmatic requirements including procurement, environmental review, labor standards, real property acquisition and civil rights requirements.

SECTION THREE (3):

This resolution shall take effect immediately upon its passage and approval as required by law.

PASSED AND ADOPTED, this the 17<sup>th</sup> day of January,  
A. D. 2023.

  
\_\_\_\_\_  
JEFF FARLEY, MAYOR OF THE CITY  
OF SWEENEY, TEXAS

ATTEST:  
  
\_\_\_\_\_  
KAYDI SMITH, CITY SECRETARY,  
CITY OF SWEENEY, TEXAS



# AGENDA MEMO

## Business of the City Council City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Items</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	Administration
<b>Reviewed by City Attorney</b>		<b>Department</b>	Administration
<b>Subject</b>	Discussion and possible action on proposed amendments to the adopted fee schedule and correlating procedural changes pursuant to proposed amendments.		
<b>Council Strategic Goals</b>	Government Sustainability		
<b>Attachments / Supporting documents</b>	Proposed Updated Fee Schedule		
<b>Financial Information</b>	Expenditure Required:	\$400 + for American Legal Codification purposes	
	Amount Budgeted:		
	Account Number:		
	Additional Appropriation Required:		
	Additional Account Number:		

### Executive Summary

Attached is a markup of the adopted fee schedule with proposed changes notated. Staff has several questions/ options that may alter the procedures in which staff operates dependent on Council decisions. The main changes are shown below separated by department, including requests for Council’s direction. Final changes will need to be adopted by Ordinance.

**Zoning:** Replats and variance requests have been added

**Animal Control Fees:** Do we want to continue to allow surrenders? Do we want to discuss charging an animal registration fee? The City owns a chip scanner to allow with the assistance of ownership.

**Parks:** We have removed the camping site rentals at BY Park, as we no longer have restroom facilities. Do we want to charge for usage of parks (BY and MLK) for events and/or pavilions? This will take additional staffing and including arrangements for reservations. Other cities charge \$100-\$150 a day, or more, if nonresident.

**Building Rentals:** Do we want to specify the non-profit rate as *Sweeny* Non Profits only for the Community Center? Do we want to establish an annual usage fee for groups using the Seniors building (Actions would not be subject to the fee). This would help the City from subsidizing janitorial and utility costs. We pay approximately \$7,200.00 in janitorial fees annually for the Seniors building. The City also pays for the electric and phone services.

**Permits-** Fees have been increased according to other city comparisons and currently charged inspection rates of our contracted provider of inspection services.

**Utilities-** Connection fee and water deposit only have been updated. Installation of Meter & Taps have been updated reflective of neighboring city comparisons and/or charges incurred in house for completion of previously installed.

### Recommended Action

To approve the proposed amendments to the City’s adopted fee schedule, with recommended changes.



**Comprehensive Fee Schedule**

<b>ADMINISTRATIVE FEES</b>	
Open Records / Public Information Request Fees	Texas Attorney General Public Information Cost Estimate Model
Returned Check Fee	\$30.00
Lien Filing Fees (City Use Only)	Per Current Brazoria County Clerks Fees
Lien Release Fees (City Use Only)	Per Current Brazoria County Clerks Fees
Lien Filing Fee + Perdue Brandon Collections (City Use Only)	Per Current Brazoria County Clerks Fees + Applicable Collections Fees

<b>ZONING FEES, REPLATS, VARIANCE REQUEST FEES</b>	
<b>Zoning Change</b>	Current advertising rates with city adopted official newspaper plus <del>\$15.00</del> <b>\$20.00</b> administrative fee
Administrative Fees	<del>\$15.00</del> <b>\$20.00</b> /hour
<b>Replats</b>	<b>\$50.00 + Filing Fee as per the Brazoria County Clerks Office if the City Completes the Filing</b>
<b>Variance Requests- Variance requests are not a guaranteed approval</b>	<b>\$50.00 each</b>

<b>ANIMAL CONTROL FEES</b>	
Surrender Fee	<del>\$40.00</del> per animal
Adoption Fee	<del>\$20.00</del> <b>\$50.00</b> per animal
Impoundment	<del>\$20.00</del> <b>\$35.00</b> First day + <del>\$5.00</del> <b>\$20.00</b> each day thereafter
<b>Animal Registration Fee</b>	<b>\$</b>

<b>PARKS</b>	
<i>Backyard Park and MLK Park are a First Come/First Serve Basis</i>	<b>Do we want to start charging for usage?</b>
<b>Backyard Park Site Rentals</b>	
Water & Electric 30 amp Only	\$20.00 per night
Dump Station Only/ No Sewer Connection	Maximum stay is 7 days
<b>Backyard Park</b>	
Pavilion Rental Fee	<b>\$150-\$200 per day</b>
<b>MLK Park</b>	
Pavilion Rental Fee	<b>\$150-\$200 per day</b>
<b>Gazebo Park</b>	
Gazebo Pavilion Rental Fee	\$25.00 per day + \$25.00 refundable deposit

<b>BUILDING RENTALS</b>	
<b>Community Center- Rental Rates &amp; Required Deposit</b>	
Non Profit (501 C3) - <b>To Sweeny Non Profits Only?</b>	\$215.00 First Day, \$125.00 for each consecutive rental thereafter



# CITY OF SWEENY

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Updated 02/27/2024

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	\$100.00 Damage Deposit - Required
Regular Rental	\$290.00 First Day, \$200.00 for each consecutive rental thereafter \$150.00 Damage Deposit - Required
<b>Seniors Building</b>	
Annual Usage Fee for Non Profit Groups (meeting only)	\$50.00-\$100.00 Annual Fee

<b>TRASH BAGS</b>	
30 Gallon- Lawn & Garden Trash Bags	\$10.16 + applicable taxes
13 Gallon- Kitchen size Trash Bags	\$6.47 + applicable taxes

<b>PERMITS</b>	
<b>Contractors Registration</b> – All Contractors Must Register <b>Annual Registration ** Would require Ordinance Amendment</b>	<del>\$25.00 one time charge</del> ; <b>\$50.00 Annual Fee</b> starting Jan 01 each calendar year Electricians, Mechanical Contractors & Plumbers fees are waived per the State of Texas
Work done without a permit	2x the permit fee
<b>Right of Way (ROW) Permits</b>	
Franchised Utility Work	\$200.00 Per Application
Non-Franchised Utility Work	\$1000.00 Minimum Per Application
<b>Commercial Construction</b>	
Plan Reviewal Fee	\$.20 sq. ft.; ( <del>1/2</del> <b>the permit fee</b> )
Commercial Construction Fees	<del>\$.30</del> <b>\$.40</b> sq. ft.
Civil Site Work/ Grading; <b>Includes Rebar &amp; Pre-pour Inspection</b>	<b>\$50.00 Permit Fee + Valuation Fees</b> ; \$16.50 for the 1 <sup>st</sup> \$1,000.00 of valuation plus \$5.50 for each \$1,000.00 of valuation or fraction thereof thereafter.
RV Park Permit Application	<del>\$25.00</del> <b>\$250.00</b> + plan reviewal fees
<b>Commercial Engineering Consultant Fees</b>	<b>Engineers Cost + 2 %</b>
<b>COO for Existing Building ** Fire Inspection Separate</b>	<b>\$200.00</b> (includes final building, electrical, mechanical, & plumbing)
<b>Demolition Permit</b>	<b>\$200.00</b>
<b>Roof Permit</b>	<b>\$50.00 Per Structure</b>
<b>Residential Construction</b>	
Residential Construction Fees, Manufactured Home Permit Fees	<del>\$.20</del> <b>\$.30</b> sq. ft. or \$25.00 minimum
<b>Residential Engineering Consultant Fees</b>	<b>Engineers Cost + 2 %</b>
<b>Residential Plan Reviewal Fees</b>	<b>\$.20 sq. ft. of construction</b>
Civil Site Work/Grading/ Concrete Work; <b>Includes Rebar &amp; Pre-pour Inspection</b>	<b>\$50.00 Permit Fee + Valuation Fees</b> ; \$16.50 for the 1 <sup>st</sup> \$1,000.00 of valuation plus \$5.50 for each \$1,000.00 of valuation or fraction thereof thereafter.
<b>Generator Permits; Includes Plan Review for plumbing, electrical, and civil issuance- required. Permits are issued and charged separately. Meter upgrades are separate.</b>	<b>\$350.00</b>
<b>Solar Panel Permit (requires electrical permit to accompany)</b>	<b>\$.20 sq. ft. of installation/ panels + \$100.00 plan reviewal fee</b>
<b>Building Move Permit</b>	<b>\$100.00</b>



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Demolition Permit	\$100.00
Roof	<del>\$25.00</del> <b>\$50.00</b>
Inground Swimming Pool ** (requires Fence and/or permit)	<del>\$25.00</del> <b>\$350.00 Pool Includes Plan Reviewal Fees</b>
Above Ground Swimming Pool ** (requires Fence and/or permit)	<b>\$25.00</b>
Tree	\$25.00 all contractors; homeowners no charge
Illuminated Sign- ** (must have accompanying electrical permit)	<del>\$50.00</del> <b>\$150.00</b>
Non – Illuminated Sign	<del>\$25.00</del> <b>\$50.00</b>
Small cell permits up to 5	\$500.00
Small cell permits per additional beyond 5	\$250.00
Peddler/Solicitor Permit-Annual Permit	<del>\$50.00</del> <b>\$100.00</b>
Roadside Vendor/ Pushcart Vendors	<del>\$50.00</del> <b>\$100.00</b>
Pushcart/Roadside Food/Temperature Related Vendors	\$50.00 Annually
Temporary Food Unit/Vendor (Day Use 24-hour max.) Must include Fire Marshal Inspection Annually	<del>\$75.00</del> <b>\$100.00</b>
Permanent Food Unit (Trucks and/or Trailers Only) Must include Fire Marshal Inspection Annually	\$150.00 Annually
<b>Other Permitting</b>	
Golf Cart Permits (previously not added to FS)	<b>\$50.00</b>
Beer, & Wine, & Mixed Beverages Permits	<b>\$30.00 Annual (State determines the amount)</b>
<b>Film Friendly Permitting Costs:</b>	
Total or disruptive use (regular operating hours) of a public building, park, right of way, or public area	\$500.00 per calendar day
Partial, Non-disruptive use of a public building, park, right of way, or public area	\$250.00 per calendar day
Total closure or obstruction of public street or right of way, including parking lots and on-street parking	\$50.00 per calendar day
Partial closure or obstruction of public street or right of way, including parking lots and on street parking	\$25.00 per calendar day
Use of City parking lots, parking areas, and City streets( for the purpose of parking film trailers, buses, catering trucks, and other large vehicles	\$50.00 per calendar day

<b>TRADE PERMITS: Commercial &amp; Residential</b>	
<b>Electrical</b>	
<b>Permit &amp; Inspection Fee (required)</b>	<del>\$20.00</del> <b>\$50.00</b>
Services (all services, meter loops, temporary poles)	<del>\$7.50</del> <b>\$10.00</b>
Outlets (first 4 included in service or meter loop), Lighting Fixtures, Motors <1/2 hp	\$.50 each
Solar Panel Fixtures	<b>\$1.00 per fixture</b>
Solar Panel TCI Inspection – Requiring Shutdown	<b>\$50.00</b>
Domestic Electrical Appliances	\$1.00 each
Motors ½- <10 hp	\$2.00



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Motors 10-<50 hp	\$4.00
Motors 50-<100 hp	\$6.00
Motors 100- <150 hp	\$8.00
Motors 150 & over	\$10.00
Remodels and/or new construction requiring additional inspections to include rough in, cover up, insulation, and final inspection ** not exhausted listing—dependent on the scope of work performed for said project	\$50.00 per additional inspection required
Electrical Re Connect	\$25.00 + Electrical Permit& Inspection Fee
Swimming Pools; Including all Inspections	\$200.00
Reinspection	<del>\$25.00</del> \$50.00
Afterhours	<del>\$50.00</del> \$100.00
<b>Plumbing</b>	
<b>Permit &amp; Inspection Fee (required)</b>	<del>\$50.00</del> <b>\$60.00</b>
Water Piping, Sewer Line, Gas Piping (1-4 outlets included)	\$5.00 each
Water Closets, Tubs/Showers, Disposals, Dishwashers, Drinking Fountains, Sinks, Washing Machines, Water Heaters, Floor Drains, A/C Drains, Ice Makers, Vented Wall Furnaces, Vacuum Breakers (1-5), Backflow Devices (1-5), Any Additional Miscellaneous Plumbing ** Gas Water Heater Require Additional Fee for Pressure Test	\$2.50 each
Grease Traps	\$10.00 each
Vacuum Breakers, Backflow Devices (5 +)	\$1.50 each
Additional Gas Outlets (1-4 included with gas piping), Additional Vented Wall Furnaces after 1	\$1.00 each
Conversion Burners, Floor Furnaces, Incinerators, Boilers, Central Heating, Central A/C -original units	\$5.00
Additional units of Conversion Burners, Floor Furnaces, Incinerators, Boilers, Central Heating, Central A/C	\$1.00 per additional unit
Pressure Test (required for all gas permits)	\$15.00
Upsized Gas Meters	Dependent on Suppliers Charge + Shipping and Labor Charges
Labor Charges for Meter Installations	\$100.00 per hour/ 1 hour minimum
Swimming Pool; Includes all inspections	\$300.00
Remodels and/or new construction requiring additional inspections to include rough in, cover up, insulation, and final inspection ** not exhausted listing—dependent on the scope of work performed for said project	\$50.00 per additional inspection required
Reinspection Fee	<del>\$25.00</del> \$50.00
After-Hours Inspection	<del>\$50.00</del> \$100.00
<b>Mechanical</b>	
Residential- Install/replace HVAC system (outside unit only)	<del>\$35.00</del> \$50.00 per structure
Residential Duct Work; Inspection Required	\$50.00
Commercial- Install/replace HVAC system	\$100.00 per unit
Remodels and/or new construction requiring additional inspections to include rough in, cover up, insulation, and final inspection ** not exhausted listing—dependent on the scope of work performed for said project	\$50.00 per additional inspection required





# CITY OF SWEENEY

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<b>Fire Permits</b>	
<b>Permit &amp; Inspection Fee (required)</b>	\$100.00
Hydro Testing Fee	\$50.00 each
Aboveground Storage Tank Installation, Underground Fire Lines (plus additional required hydro testing fee for fire lines)	\$100.00 each
Aboveground and/or Underground Tank Repair/Removal	\$50.00 each
Underground Storage Tank Installation	\$200.00 each
New Sprinkler System	\$30.00 Per Riser + \$1.00 per Head
Changes to Existing Sprinkler System	\$75.00 up to 10 heads + \$1.00 per additional beyond 10
Fire Pump, Jockey Pump	\$5.00 each
Water Tank Storages, Generators	\$25.00 each
Fire Alarm System	\$25.00 per FACP + \$1.00 per device
Hood Suppressions, Paint Booth Suppressions	\$25.00 per system + \$1.00 per device
New Commercial Business Fire Inspections, Annual Fire Inspections for Daycares, Schools, Foster Homes	\$50.00 Annually
Mobile or Permanent Food Unit/Vendor Fire Inspections	\$80.00 Annually

<b>CULVERT INSTALLATIONS</b>	
Culverts- Installation Charge	<del>\$5.00</del> <b>\$10.00</b> per foot
Caliche	<del>\$125.00</del> <b>\$150.00 per bucket</b> per 2-yards (bucket)

<b>POLICE DEPARTMENT</b>	
Open Records / Public Information Request Fees	Texas Attorney General Public Information Cost Estimate Model
Fingerprints (1 <sup>st</sup> set)	\$20.00
Fingerprints (additional sets)	\$5.00 / each

<b>UTILITIES</b>	
Utility Connection and Service Fee	<del>\$30.00</del> <b>\$40.00</b>
Late Fee	10% of bill amount
Water Deposit	<del>\$75.00</del> <b>\$100.00</b>
Gas Deposit	\$100.00
Water & Gas Deposit	<del>\$175.00</del> <b>\$200.00</b>
1 <sup>st</sup> Meter re-read in a billing period	Free
Any meter re-reads in the same billing period thereafter	<del>\$35.00</del> <b>\$40.00</b> each
Calibration Testing	Current third-party calibration services rate(s)
<b>Upsized Water and/or Gas Meter</b>	<b>Dependent on Suppliers Charge + Shipping and Labor Charges</b>
<b>Labor Charges of Installation</b>	<b>\$100.00 per hour/ 1 hour minimum</b>
<b>Water Taps- Includes normal ¾" meter installation</b>	To begin at <del>\$400.00</del> <b>\$500.00</b> with the exception of additional fees for lines deeper than five (5) feet and are contingent of results of exploratory work. <b>To begin at \$1,000.00 if road bore required.</b>



# CITY OF SWEENY

Adopted (03/18/2014) **Item 20.**  
 Updated 02/27/2014

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<p><b>Sewer Taps</b> Includes installation of a 4" tap with clean out within the City Right of Way (ROW)</p>	<p>To begin at <del>\$400.00</del> \$500.00 with the exception of additional fees for lines deeper than five (5) feet and are contingent of results of exploratory work.          To begin at \$1,000.00 if road bore required.</p>
<p><b>Gas Taps</b> Includes normal 1" meter; upsizing will require additional charges, upsized meter, and labor charges.</p>	<p>To begin at <del>\$400.00</del> \$500.00 with the exception of additional fees for lines deeper than five (5) feet and are contingent of results of exploratory work.          To begin at \$1,000.00 if road bore required.</p>

<b>WATER RATES</b>	
<i>Inside City Limits</i>	
Base Rate: 0-1,500 Gallons of Water Consumption	\$15.67
1,500-6,500 Gallons of Water Consumption	Base Rate + \$7.35
6,501-11,500 Gallons of Water Consumption	Base Rate + \$8.19
11,501- 16,500 Gallons of Water Consumption	Base Rate + \$8.26
16,501-26,500 Gallons of Water Consumption	Base Rate + \$8.40
Over 26,500 Gallons of Water Consumption	Base Rate + \$8.60
<i>Outside City Limits</i>	
Base Rate: 0-1,500 Gallons of Water Consumption	\$17.73
1,500-6,500 Gallons of Water Consumption	Base Rate + \$8.40
6,501-11,500 Gallons of Water Consumption	Base Rate + \$9.30
11,501- 16,500 Gallons of Water Consumption	Base Rate + \$9.45
16,501-26,500 Gallons of Water Consumption	Base Rate + \$9.60
Over 26,500 Gallons of Water Consumption	Base Rate + \$9.83
<b>Bulk Water</b>	
Loading Charge	\$30.00 each load
0-2000 Gallons of Water Purchased	\$20.00 each load
Each additional 1000 Gallons of Water Purchased Beyond 2000	\$10.00 each load
<b>SEWER RATES</b>	
Base Rate: 0-1,500 Gallons of Water Consumption	\$15.67
1,500-6,500 Gallons of Water Consumption	Base Rate + \$5.91
6,501-11,500 Gallons of Water Consumption	Base Rate + \$6.56
11,501- 16,500 Gallons of Water Consumption	Base Rate + \$6.69
16,501-26,500 Gallons of Water Consumption	Base Rate + \$6.76
Over 26,500 Gallons of Water Consumption	Base Rate + \$6.89
<b>GAS RATES</b>	
	Fee Determined by Purchase Rate from Kinder Morgan ** Fee is subjected to fluctuation
<b>TRASH RATES- reflective on monthly utility bill</b>	
Residential Cart Service	95 gal Cart \$21.57 / monthly
Commercial Cart Service	95 gal Cart \$45.01/ monthly
<b>CPI Adjustment</b>	
	As determined by contractual provider



# CITY OF SWEENY

Adopted (03/1  
Updated 02/3  
**Item 20.**

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# AGENDA MEMO

## Business of the City Council City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Items</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	Administration
<b>Reviewed by City Attorney</b>		<b>Department</b>	Administration
<b>Subject</b>	Discussion and possible action to establishing a Charter Review Committee.		
<b>Council Strategic Goals</b>	Vibrant Economy; to strengthen the City’s Charter and Code of Ordinances		
<b>Attachments / Supporting documents</b>			
<b>Financial Information</b>	Expenditure Required:	N/A	
	Amount Budgeted:	N/A	
	Account Number:		
	Additional Appropriation Required:		
	Additional Account Number:		

### Executive Summary

Council previously discussed reviewing the City’s Charter for possible amendments. Does the Council want to proceed? If so, does the Council want to act as the Charter Review Committee or establish a committee for review.

Any amendments to the City’s Charter must be placed before voters. It would be advantageous of Council to start reviewing or setting up a committee now. This would allow for the start of the reviewal process in order to allow enough time. Amendments would appear within a Special Election for the May 2026 General Election.

By placing on the 2026 Election, if wanted, would allow staff to prepare, the committee to complete a full review and make amendments, and allow for budgeting purposes. The Special Election and codification processes would increase financial expenditures for the correlating fiscal year.

### Recommended Action

Council discretion.



# AGENDA MEMO

Business of the City Council  
City of Sweeny, Texas

<b>Meeting Date</b>	11/19/2024	<b>Agenda Item</b>	
<b>Approved by City Manager</b>		<b>Presenter(s)</b>	Administration
<b>Reviewed by City Attorney</b>		<b>Department</b>	Administration
<b>Subject</b>	Discussion and possible action on adopting the proposed 2025 City of Sweeny Holiday Schedule.		
<b>Attachments</b>	2025 Proposed Holiday Schedule; Approved 2024 Holiday Schedule		
<b>Financial Information</b>	Expenditure Required:		
	Amount Budgeted:		
	Account Number:		-
	Additional Appropriation Required:		-
	Additional Account Number:		-

**Executive Summary**

Proposed 2025 Holiday schedule is concurrent with the 2024 Holiday schedule. No additional dates have been added.

Additionally attached is the approved 2024 Holiday Schedule.

**Recommended Action**

To approve the proposed 2025 City of Sweeny employee holiday schedule.



## 2025 Holiday Schedule

<u>Date</u>	<u>Holiday</u>	<u>Day of Week</u>
January 1	New Year's Day	Wednesday
January 20	Martin Luther King Jr. Day	Monday
February 17	Washington's Birthday /Presidents' Day	Monday
April 18	Good Friday	Friday
May 26	Memorial Day	Monday
June 19	Juneteenth	Thursday
July 4	Independence Day	Friday
September 1	Labor Day	Monday
November 11	Veteran's Day	Tuesday
November 26*, 27, & 28	Thanksgiving	Wednesday*, Thursday, & Friday
December 24*, 25 & 26	Christmas	Wednesday*, Thursday, & Friday

\*Denotes an early leave of 12:00 PM (noon) -- November 26<sup>th</sup>, December 24<sup>th</sup>



**2024 Holiday Schedule**

<u>Date</u>	<u>Holiday</u>	<u>Day of Week</u>
January 1	New Year's Day	Monday
January 15	Martin Luther King Jr. Day	Monday
February 19	Washington's Birthday	Monday
March 29	Good Friday	Friday
May 27	Memorial Day	Monday
June 19	Juneteenth	Wednesday
July 4	Independence Day	Thursday
September 2	Labor Day	Monday
November 11	Veteran's Day	Monday
November 27*, 28, & 29	Thanksgiving	Wednesday*, Thursday, & Friday
December 24*, 25 & 26	Christmas	Tuesday*, Wednesday, & Thursday

\*Denotes an early leave of 12:00 PM (noon) -- November 27<sup>th</sup>, December 24<sup>th</sup>