



Planning Board Special Meeting Agenda

Town of Swansboro

Thursday, October 3, 2024

I. Call to Order

II. Approval of Minutes

- a. September 3, 2024 Regular Meeting Minutes

III. Business

- a. **Brezza Lofts Special Use Permit- Lot 8 Ward Farm Town Center**
Presenter: Rebecca Brehmer, CFM, CZO, Town Planner

Lot 8 of the Ward Farm Town Center is a 1.22-acre parcel and is zoned B-3, Traditional Business. The applicant is asking to construct Townhome Dwellings which are allowed in the B-3 zone with a Special Use Permit.

Recommended Action: Motion to recommend approval, denial, or to table the Special Use Permit request based on the standards outlined in the UDO.

IV. Chairman/Board Thoughts/Staff Comments

V. Public Comments

VI. Adjournment

**Town of Swansboro
Planning Board
Regular Meeting Minutes
September 3, 2024**

Call to Order

The meeting was called to order at 5:29pm. board members in attendance were Christina Ramsey, Lauren Brown, Sherrie Hancock, Tim Vannoy, and Jerry Seddon. Clara Abalos was absent. There was one ETJ vacancy.

Approval of Minutes

On a motion by Ms. Brown, seconded by Mrs. Hancock, the August 6, 2024, Regular Meeting Minutes were amended by changing the word “astringent” on page 2 to “Stringent” and approved unanimously.

Business

UDO Text Amendment to § 152.179 Table of Permitted/Special Uses, § 152.180 Notes to the Table of Permitted/Special Uses, and § 152.016 Definitions of Basic Terms
Town Planner Brehmer shared that after a Board of Commissioners regular meeting on August 13, 2024, Staff was directed to propose a text amendment to limit new vape shops and similar establishments from coming to Town. The proposed text amendment would edit the current use of “Tobacco sales (retail)” to “Hookah, Vape, Tobacco & Similar Retail Establishments” in the Table of Permitted/Special Uses with a note to include specific criteria in B1 zoning district and eliminate it as permitted in B2HDO. Additionally, the use of “Cigar Store” would be defined and added in the Table of Permitted/Special Uses, as permitted in B2HDO in order to protect the current cigar shop that is located downtown.

***TITLE XV: LAND USAGE
CHAPTER 152: UNIFIED DEVELOPMENT ORDINANCE
§ 152.016 DEFINITIONS OF BASIC TERMS.***

Cigar Shop. A retail store specializing in selling rolls of fermented tobacco wrapped either in tobacco leaf or paper that contains tobacco or tobacco extract.

Hookah, Vape, Tobacco & Similar Retail Establishments. A specialized retail establishment primarily used for the sale or storage of tobacco products, electronic smoking/vaping devices, Kratom, CBD, Hemp derived Delta- 8, and related accessories. These products may include but are not limited to cigarettes, cigars, pipe tobacco, smokeless tobacco, vaping devices, e-liquids, and vaping accessories. An area may also be included whereby patrons share the tobacco or non-tobacco products or products from a communal hookah, water pipe, or similar device.

TITLE XV: LAND USAGE
CHAPTER 152: UNIFIED DEVELOPMENT ORDINANCE
§ 152.180 DEFINITIONS OF BASIC TERMS.

(BB) Note 28. Hookah, Vape, Tobacco & Similar Retail Establishments

1. Shall not be located within 500 feet measured property line to property line from the downtown residential district and/or any residential zoning district.
2. Shall not be located within 1,500 Feet measured property line to property line from a school (public or private), churches, daycare facility, youth facility, community center, City recreational facility, City park or hospital.
3. Shall not be located within 2,000 Feet measured property line to property line, from another Hookah Tobacco Vape or Similar Establishment. If an establishment is being proposed within 2, 000 feet of a location where a previous establishment has closed, a permit cannot be issued for the new location until after the previous establishment has been discontinued or abandoned in accordance with § 152.086 Nonconforming Uses.
4. All federal state and local laws rules and regulations must be adhered to in the operation of such establishments. This includes regulations pertaining to advertisements, age restrictions and the legality of products sold.
5. The required site plan shall meet all applicable Town standards to include all land uses within 2,500 feet measured property line to property line from the parcel proposed for a Hookah, Tobacco Vape and Similar Establishment use.
6. Hookah, Tobacco, Vape, and Similar Establishments that are legally existing on the effective date of the enacting ordinance codified in this section may continue to operate/expand/renovate in accordance with § 152.086 Nonconforming Uses.

In response to inquiries from the board, the following was clarified by Town Planner Brehmer:

- In the event that a special use permit application does not meet all the listed criteria, the board may deny the recommendation.
- Current vape shops would be grandfathered in and would be considered non-conforming however, if the building becomes damaged 50% or more or vacant for 180 days, they must undergo the special use approval process.
- In reference to (BB) Note 28. Number 1. The 500 feet measured property line to property line would be considered the minimum.
- The Town sign Ordinance already regulates signs, which prohibits flashing lights and bright fluorescent colors.
- The Definitions of Basic Terms was developed with the help of the Jacksonville Planner.

On a motion by Mr. Seddon, seconded by Ms. Brown the proposed text amendment to UDO Section 152.179 Table of Permitted/Special Uses, Section 152.180 Notes to the Table of Permitted/Special Uses, and Section 152.016 Definitions of Basic Terms, was unanimously recommended for approval to the Board of Commissioners along with the Comprehensive Plan Consistency Statement.

Chairman/Board Thoughts/Staff Comments

Town Planner Brehmer shared that on the Board of Commissioners approved the UDO Text Amendment to section 152.179 Table of Permitted/Special Uses and section 152.212 Use Standards related to boat/trailer storage.

Town Planner Brehmer requested to change the regular meeting scheduled for October 1, 2024, the board agreed unanimously to schedule a Special meeting for October 3, 2024.

Adjournment

On a motion by Mr. Seddon, seconded by Mr. Vannoy, the meeting adjourned at 5:45 pm.



Planning Board Meeting Agenda Item Submittal

Item To Be Considered: **Brezza Lofts Special Use Permit- Lot 8 Ward Farm Town Center**

Board Meeting Date: **October 3, 2024**

Prepared By: **Rebecca Brehmer, CFM, CZO, Town Planner**

Overview: Lot 8 of the Ward Farm Town Center is a 1.22-acre parcel and is zoned B-3, Traditional Business. The applicant is asking to construct Townhome Dwellings which are allowed in the B-3 zone with a Special Use Permit.

Prior to the Special Use Permit request, the applicant completed the process for text amendments to the UDO to make this project comply within the requirements needed for the Special Use Permit process and development guidelines outlined in the UDO. Brezza Lofts Site Plan has also gone through the Technical Review Committee which consists of department heads on Staff as well as representatives from ONWASA and made all necessary changes requested to comply with zoning, building code, fire code, etc.

As outlined in the application package, the requested townhomes consist of 16 units, 4 parking spaces per unit, and a private community pool and is consistent with Town Ordinance Section 152.210 Procedure for Special Use Permits and appears to be consistent with the Future Land Use Map found in the CAMA Land Use Plan Update which labels Ward Farm as a Traditional Town Center.

Background Attachment(s):

1. Brezza Lofts Special Use Permit Application
2. Elevations & Site Plan
3. Applicable Ordinance Sections

Recommended Action: Motion to recommend approval, denial, or to table the Special Use Permit request based on the standards outlined in the UDO.

Action: _____

TOWN OF SWANSBORO
Special Use Application

Item III - a.

APPLICANT'S NAME PROFORMA WARD FARM LOT 8, LLC / JOHN PLAGEMAN, MANAGER

MAILING ADDRESS 401 Point Drive, Swansboro Phone # 919-619-5012

OWNER'S NAME WARD FARM, LLC / PAUL WILLIAMS.

OWNER'S ADDRESS 205 WARD ROAD, SWANSBORO Phone # 910-389-5480

TAKE NOTICE THAT THE UNDERSIGNED HEREBY PETITIONS THE BOARD OF COMMISSIONERS OF THE TOWN OF SWANSBORO FOR A SPECIAL USE AS DESCRIBED BELOW AND AS ALLOWED BY ARTICLE 10 OF THE UNIFIED DEVELOPMENT ORDINANCE:

16 NEW townhomes with property swimming pool to be built on Lot 8 of WARD FARM town center.

ON THE PREMISES LOCATED AT: 200 WARD ROAD, SWANSBORO
LOT #8 BLOCK _____ MAP _____

THE PROPERTY IS ZONED: B3

THIS 16th DAY OF SEPTEMBER, 2024.

APPLICANT'S SIGNATURE John P. Plyer

DATE FILED 9/16/2024

RECIPIENT SIGNATURE _____

ZONING ADMINISTRATOR _____

APPLICANT OR APPLICANT REPRESENTATIVE MUST BE PRESENT FOR AN APPLICATION TO BE HEARD. IF SOMEONE OTHER THAN THE APPLICANT WILL BE THE REPRESENTATIVE, THE FOLLOWING MUST BE COMPLETED.

I /We PAUL WILLIAMS am /are the owner(s) of the property located at 200 WARD ROAD (Lot #8). I /We hereby authorize JOHN PLAGEMAN to appear my behalf in order to ask for a special use permit at this location. I /We understand that the special use permit, if granted, is permanent and runs with the land unless otherwise conditioned.

Paul Williams 9/16/2024
Owner Date

Owner Date

ONSLow County, North Carolina

I certify that the above person(s) personally appeared before me this day, each acknowledging to me that he/she voluntarily signed the foregoing document for the purpose stated herein.

Date: SEPTEMBER 16, 2024
(Official Seal) KETRA SWAIN
NOTARY PUBLIC
Onslow County
North Carolina
My Commission Expires April 10, 2029

Ketra Swain
Notary Public

SPECIAL USE PERMIT APPLICATION CHECKLIST***STOP***

If the following items are not included in your application submittal, your application will not be accepted. Please note that this is not a comprehensive list; there may be other items required following the review of your application.

- Fee(s) as prescribed by the current Town of Swansboro [Fee Schedule](#)
- Application submitted at least 17 days prior to the next Planning Board meeting
- Application must be filled out completely
- Owner affidavit on application must be completed if applicant is not the property owner
- A narrative describing the proposed use of the property. This should include proposed hours of operation, number of employees, etc. Items 1-4 under [Section 152.210](#) (B) of the Unified Development Ordinance (UDO) will also need to be addressed in this narrative.
- A report from a licensed real estate appraiser to address finding #3 on value is required
- A site plan depicting all existing and proposed structures, proposed outdoor dining areas, existing and proposed parking areas and circulation, proposed signage locations, utilities including hydrant locations, etc. is required with all applications. A comprehensive list can be found in [Appendix IV](#) to the UDO
- For new construction, or if the proposed cost of renovations to the structure exceed 50% of the building value per the Onslow County Tax Office, the [Building Design and Compatibility](#) standards of the UDO will apply, and detailed building elevations demonstrating compliance with these standards

Part 4

must be included. A private appraisal may be provided in lieu of the documented tax value

- The [Parking](#) standards will apply whenever there is new construction, when any principal building is enlarged or increased in capacity by adding dwelling units, guest rooms, seats, or floor area, or when there is a conversion from one type of use or occupancy to another. The number of spaces, dimensions, proposed layout, and circulation pattern need to be depicted on the site plan
- The [Landscaping Regulations](#) will apply to all new or changed uses of land, buildings, and structures and to any use of building or structure which sits idle more than 180 consecutive days or is abandoned, except for those uses exempted in sections (C)(1) through (C)(3) under [Section 152.525](#). A landscaping plan must be included with the application when required
- The [Lighting](#) standards of the UDO apply to any fixtures proposed to be installed. A lighting plan should be included to demonstrate compliance with the ordinance standards
- [Sidewalks](#) are required for property located in Town Limits when the development of vacant property occurs, the redevelopment of property occurs, or when there are substantial additions to property.

Additionally, sidewalks are required in the Extraterritorial Jurisdiction (ETJ) when the development or redevelopment of vacant commercial property occurs; provided that the development involves the razing, dismantling, or removal of all principal structures existing on a tract of land substantially to ground level. See [Section 152.180](#), Note 5

Proposed sidewalks must be shown on the site plan


 Applicant Signature


 Date

BREZZA LOFTS
LOT 8 AT WARD FARM TOWN CENTER
SWANSBORO, NORTH CAROLINA
SPECIAL USE APPLICATION NARRATIVE

Thank you for accepting this application for a special use permit for BREZZA LOFTS which is to be built upon lot #8 of Ward Farm Town Center. This narrative should satisfy the requirements of the special use application as well as provide a detailed description of our intent for this project.

The property is a 1.22 acre parcel which is part of the Ward Farm Town Center. This project consists of 16 townhome unit, ample parking, 4 per unit, and a private community pool.

Section 152.210(B)

- (1) This project meets all zoning requirements for the B3 zoning. Earlier in the year we successfully received text amendments to this zoning to further support this project.
- (2) This project is in-line with the intent of its designated use and as single-family townhome buildings will not materially endanger the public health safety and welfare. This project shall use building materials equal to its surrounding parcels and as required by the Ward Farm master covenants which include metal roofing, impact resistant windows and cementitious siding.
- (3) This property shall not injure property values of adjoining or abutting properties as described in the included appraisal from Realty Services of Eastern Carolina, Inc.
- (4) This project conforms to all zoning for B3 as well as the current Ward Farm design standards.

Should you require more detailed information please inquire anytime. My cell is 919-619-5012 and my email is john@pl-arch.com.

Sincerely,
John Plageman

www.realtyservicesec.com

Post Office Box 15069 (28561-5069)
2313 Grace Avenue
New Bern, NC 28562

Office (252) 633-6484, Ext. 227
Cell (910) 376-1874

August 13, 2024

Swansboro Planning Board
Swansboro Board of Commissioners
601 W. Corbett Avenue
Swansboro, NC 28584

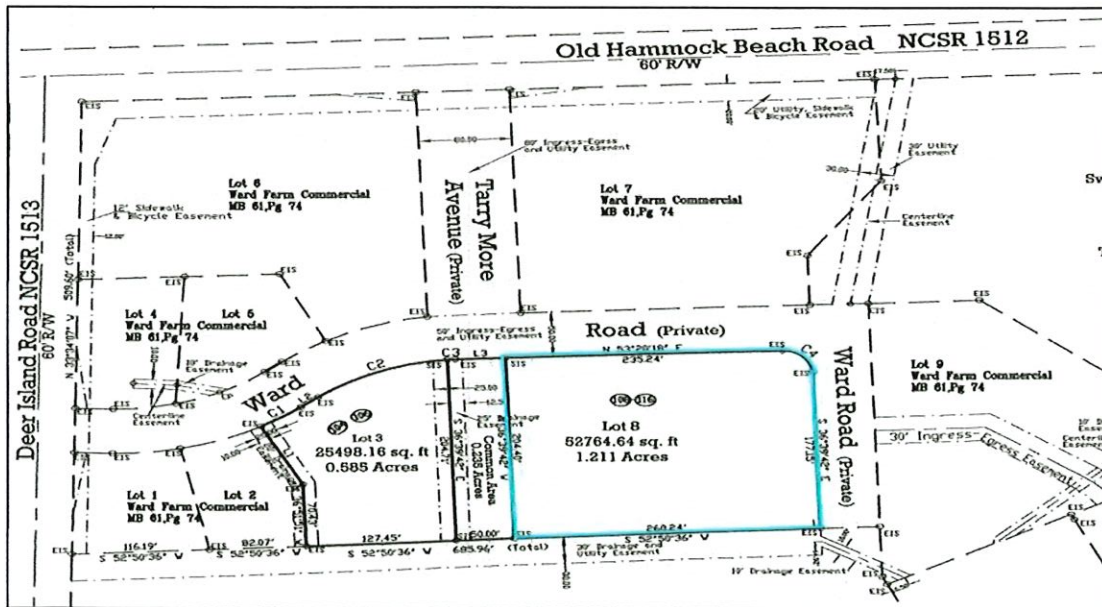
Via email

RE: Proposed Brezza Lofts at Ward Farm Town Center
200 Ward Road
Swansboro, Onslow County, North Carolina

The purpose of this report is to analyze the impact, if any, that the proposed Brezza Lofts at Ward Farm Town Center may have on surrounding properties. The proposed use will be located along Ward Road in Swansboro, Onslow County, North Carolina. The subject is further identified as Tax Parcel No. 152288. The property is currently under the ownership of Ward Farm, LLC. The Tax/GIS Aerial is provided below for convenience.

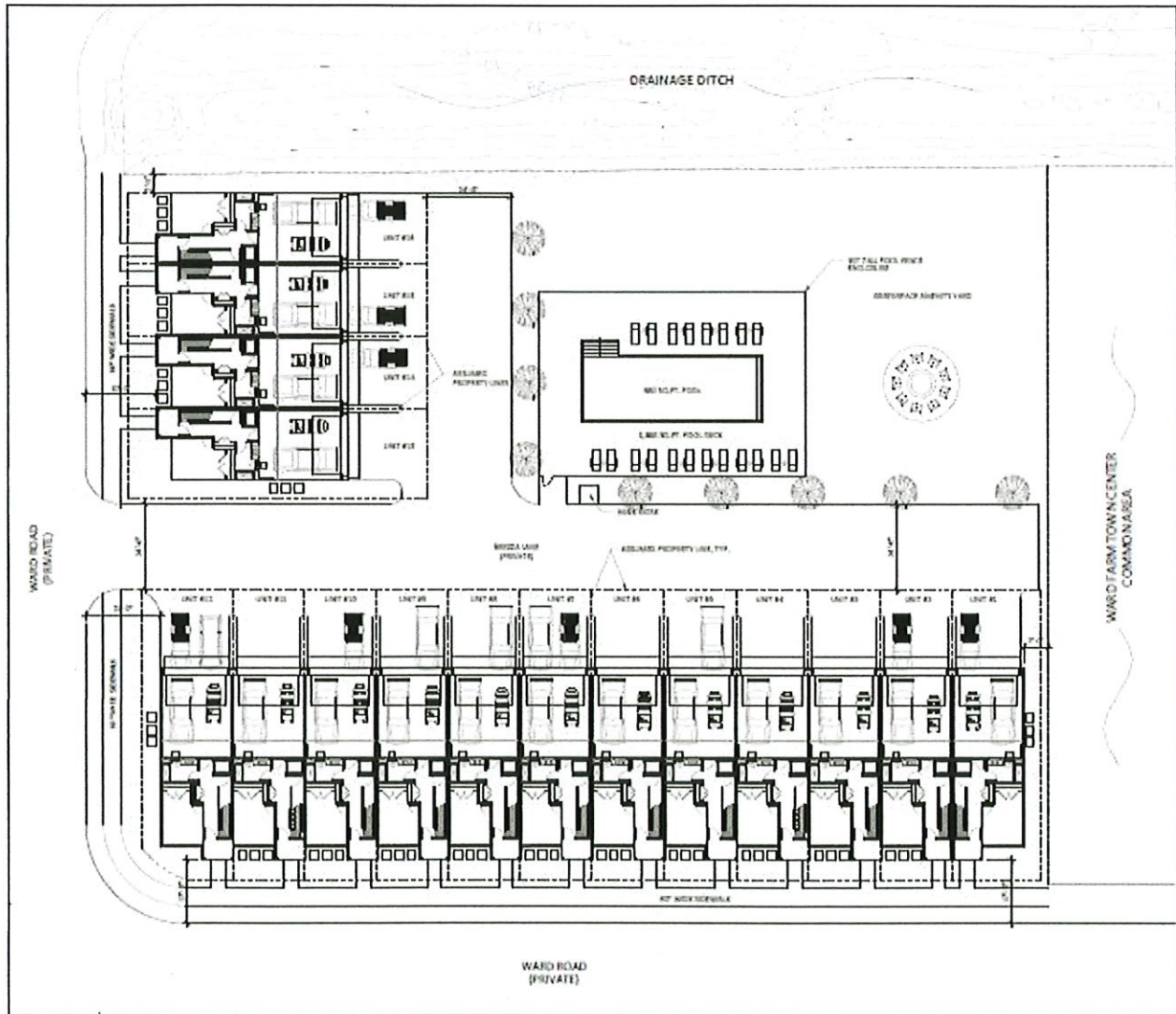


The subject property is identified as Lot 8 within Ward Farm Commercial Subdivision. Ward Farm Commercial Subdivision is an 11.41-acre tract designed and developed for 9 commercial lots. The subdivision is located on the southeast side of Old Hammock Road providing convenient access to Corbett Avenue (NC Highway 24) the main traffic artery in Swansboro. Lots 1-8 are currently vacant, and a portion of Lot 9 is improved with a 2-story multi-tenant office building and related site improvements.



The subject parcel containing 1.211 acres is proposed to be designed and developed for Brezza Lofts at Ward Farm Town Center. Upon completion, Brezza Lofts will consist of sixteen 3-story townhome units, a community pool, greenspace amenity yard and related site improvements. Related site improvements will include an enclosed dumpster pad, landscaping, concrete walks, and asphalt-paved parking (64 spaces).

The Site Plan for the proposed project is provided below for convenience.

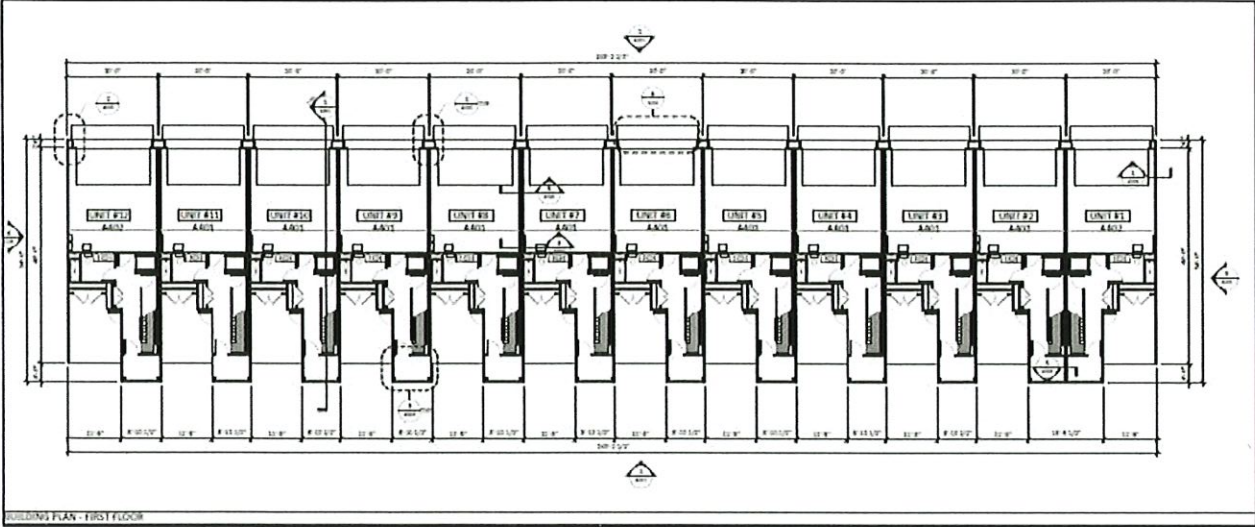




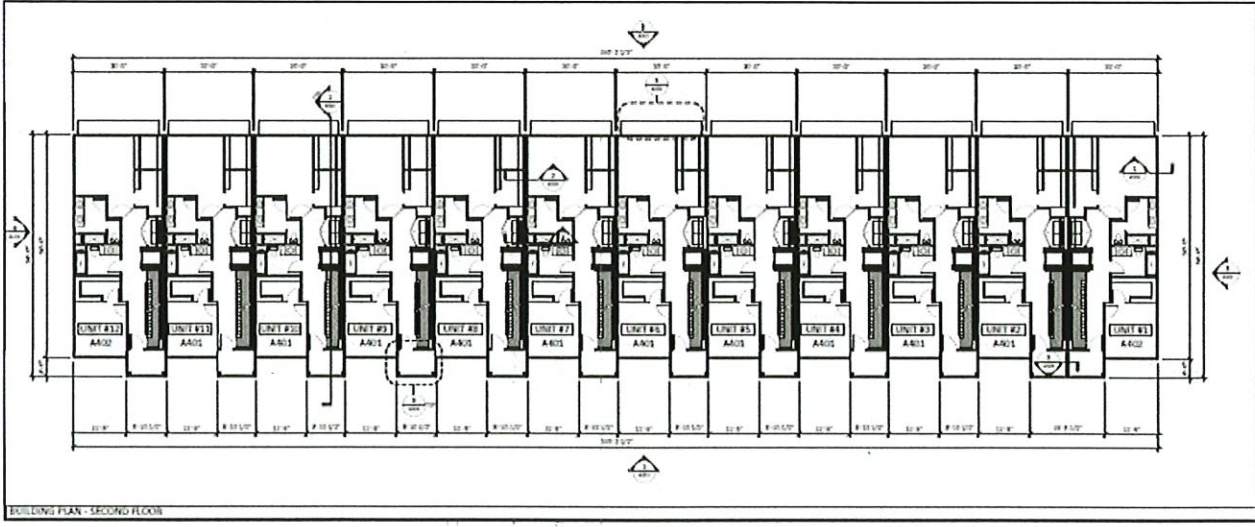
The basic physical construction consists of a reinforced concrete slab floor system. The wood-framed walls will be covered with Hardie siding, windows will be double hung in vinyl clad and the gable/hip design roof will have metal covering.

The interior floor plan of the ground floor will include one bedroom, one bathroom and a two-car garage with utility sink. The second floor will include two bedrooms, two bathrooms, and a laundry room. The third floor will include the living room, kitchen with walk-in pantry, powder-room and rooftop patio. In addition, each unit will have an option for an elevator.

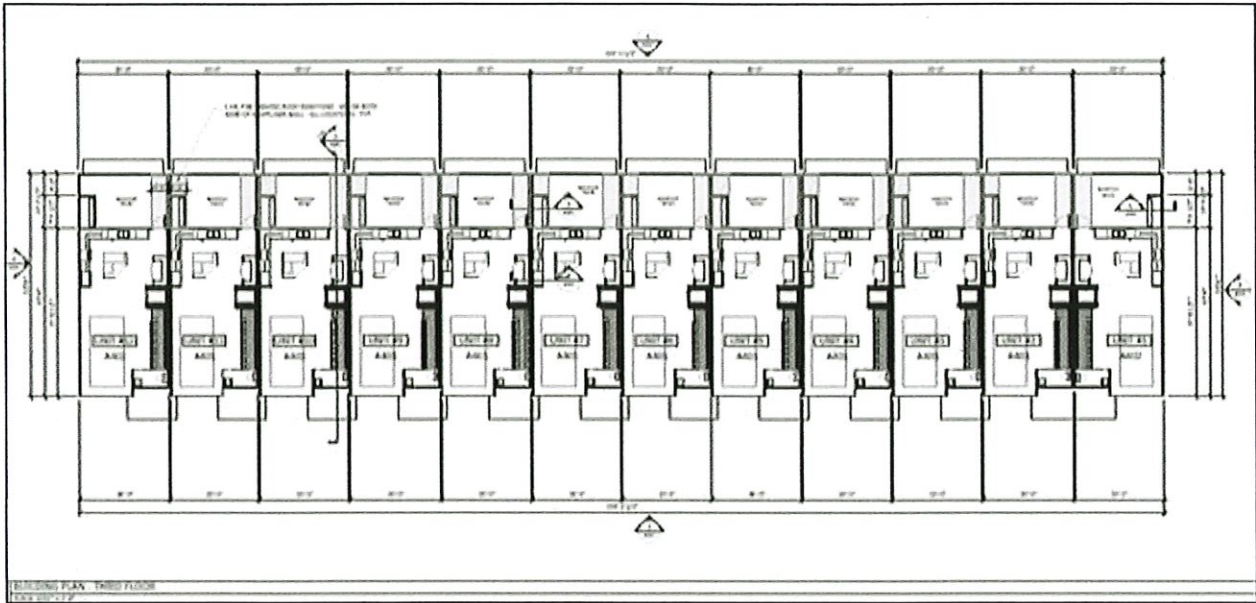
A copy of the Floor Plan is provided for convenience.



First Floor



Second Floor



Third Floor

As requested, the purpose of this report is to analyze the impact, if any, of the proposed Brezza Lofts at Ward Farm Town Center on adjoining/abutting properties. Therefore, our analysis includes a review of similar multi-family developments within Onslow County, Carteret County, and Craven County — The Hammocks at Port Swansboro Townhouses, Swann Harbour Condominiums (Phase 2), Madisen Townes Condominiums (Phases 3 & 5), Villas at Magens Bay Condominiums, and Hudson at Carolina Colours Apartments. We have analyzed each property, neighborhood, surrounding parcels, market transactions and historical tax-assessed values to determine if the existing multi-family developments have had a negative impact on the neighborhood and/or surrounding parcels.

The Hammocks at Port Swansboro is a townhome complex located along W. Corbett Avenue in Swansboro, Onslow County, North Carolina. The complex is situated between W. Corbett Avenue and Hammocks Beach Road. The 10.27-acre site was designed and developed in 2022 for an 83-unit townhome project (three 4-plex buildings, one five-plex building, and eleven six-plex buildings). The townhome units consist of two-story wood-frame dwellings with vinyl siding and stone-veneer accents. Each unit includes a covered porch, and the rear of each unit has a patio with a storage area. The floor plan for each unit consists of a living room, kitchen, dining area, pantry, and one 2-fixture restroom on the first floor. The second floor includes two bedrooms, laundry area, one 3-fixture restroom, one 4-fixture restroom, and closet/storage area. Neighborhood amenities include a pool and a clubhouse.



Due to the recent construction of the complex, few re-sales of adjoining properties were found; however, a survey of the tax values of adjoining properties revealed no negative/adverse impact on property values due to the development of The Hammocks at Port Swansboro. In addition, The Hammocks at Port Swansboro has not hindered the development along the Corbett Avenue corridor. The adjoining property was purchased in 2023 for the newly constructed Strickland Brothers Oil Change. In addition, the former ABC Store and former Nance Quick Lube & Car Wash located at 1071 and 1073 W. Corbett Avenue were acquired in 2022, for the development of a Wawa gas station/c-store.

The Swann Harbour Subdivision consists of a mixed-use development located along Main Street Extension, with frontage along the White Oak River in Swansboro, Onslow County, North Carolina. The subdivision has been constructed in phases and includes two condominium buildings, 15 single-family residential lots, and common area. Swann Harbour, Phase 2 is located along Harbour View Drive and consists of a 0.33-acre lot designed and developed in 2006 for one 3-story condominium building containing four total units. The building consists of wood-frame construction with brick-veneer. Each unit consists of 4-bedrooms/3.5-bathrooms with a den, kitchen, dining room, laundry room, private elevator, and single-car garage.



Our research of sales transactions within the Swann Harbour Subdivision revealed no negative/adverse impact on property values due to the development of Swann Harbour, Phase 2. For your convenience, we have provided the most recent re-sales of adjoining parcels.

Parcel No.	Address	Sales Transactions
059311	502 Main Street Extension - Unit 104	June 11, 2004 - \$196,000 January 28, 2022 - \$250,000
059312	502 Main Street Extension - Unit 105	April 27, 2012 - \$170,000 August 15, 2019 - \$195,000 July 29, 2022 - \$253,500
059313	502 Main Street Extension - Unit 106	October 15, 2010 - \$170,000 November 13, 2019 - \$189,000 March 9, 2021 - \$235,500
059314	502 Main Street Extension - Unit 107	September 16, 2005 - \$187,000 June 20, 2022 - \$240,000
059316	502 Main Street Extension - Unit 109	August 28, 2023 - \$195,000 February 13, 2018 - \$219,500 September 10, 2021 - \$270,000
033914	207 Harbour Drive	July 15, 2020 - \$375,000 August 16, 2022 - \$495,000

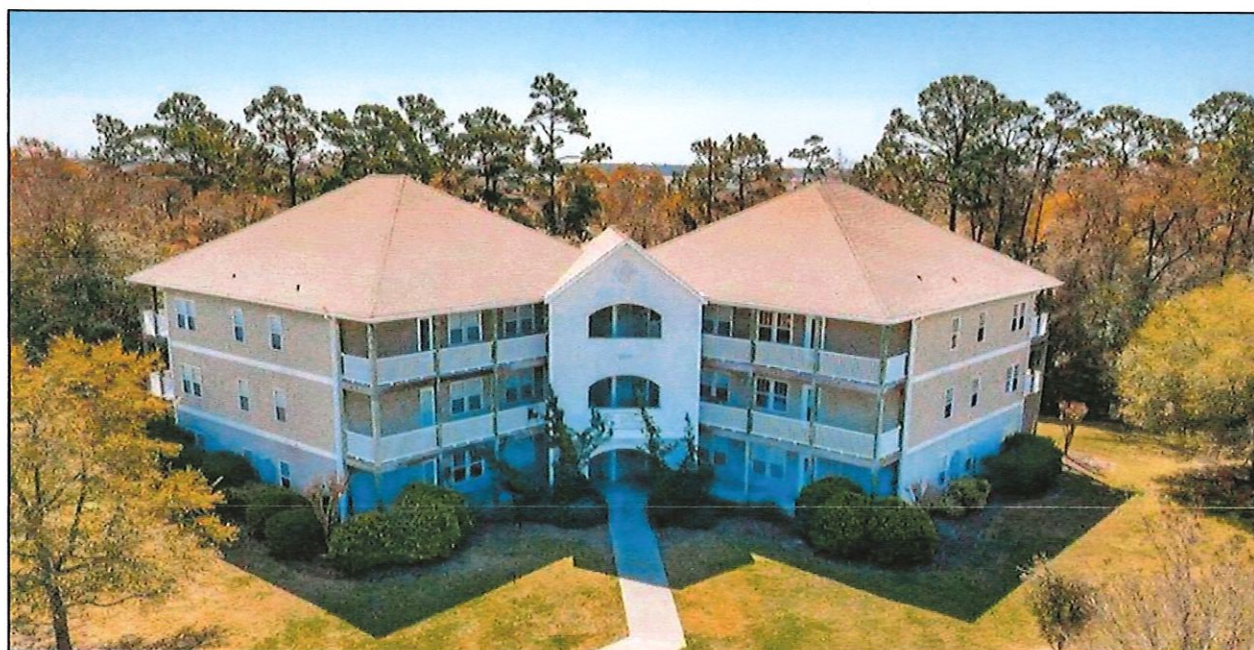
The Madison Park Subdivision consists of a multi-family development located along both sides of Penny Lane in Morehead City, Carteret County, North Carolina. The subdivision includes two condominium complexes: Madisen Court Condominiums and Madisen Townes Condominiums. Madisen Townes Condominiums was constructed in phases and consists of 17 units. Phases 3 and 5, the most recently developed phases consist of a 0.59-acre lot designed and developed in 2007 for one 2-story condominium building containing six units. The building consists of wood-frame construction with vinyl siding and brick-veneer. Each unit contains of 3-bedrooms/2.5-bathrooms with a living room, kitchen, laundry room, storage, and a two-car garage.



Our research of sales transactions within the Madisen Park Subdivision revealed no negative/adverse impact on property values due to the development of Madisen Townes Condominiums, Phases 3 and 5. For your convenience, we have provided the most recent re-sales of adjoining parcels.

Parcel No.	Address	Sales Transactions
63761434813900D	402 Penny Lane - Unit D	November 23, 2020 - \$150,500 January 31, 2023 - \$224,500
63761434813900I	402 Penny Lane - Unit I	May 1, 2023 - \$104,500 July 17, 2020 - \$136,000 July 27, 2023 - \$215,000
63761434813900L	402 Penny Lane - Unit L	July 18, 2008 - \$150,000 January 19, 2022 - \$187,000 May 6, 2022 - \$217,000
63761434902700F	404 Penny Lane - Unit F	November 22, 2006 - \$160,000 January 3, 2024 - \$190,000
63761434902700G	404 Penny Lane - Unit G	July 21, 2015 - \$92,000 February 15, 2021 - \$152,000 April 13, 2023 - \$210,000

Magens Bay Subdivision is a mixed-use development located along the south side of Cedar Point Boulevard in Cedar Point, Carteret County, North Carolina. The subdivision consists of 100+ single-family residential lots, four condominium buildings (three complete; one under construction), and commercial development tracts. Phases 1 - 3 of The Villas at Magens Bay, consist of a 4.28-acre site designed and developed in 2006/2007 for three 3-story condominium buildings containing a total of 36 total units. Phase 4 of The Villas at Magens Bay was recently constructed and actively listed on the market from \$319,000 - \$325,000 per unit. The buildings consist of wood-frame construction with vinyl siding and stucco. Each unit consists of 2-bedrooms/2-bathrooms with a living room, kitchen, dining room, and laundry room.



Few recent re-sales of adjoining properties were found; however, The Villas at Magens Bay has not hindered the development or marketability of properties along the Cedar Point Boulevard corridor. Over the past four years, The Village at Magens Bay Tract 3 and Tract 2 were purchased for investment purposes and Tract 1 with Phases 5 and 6 were purchased for the development of Carteret Health Care. There appears to be no negative/adverse impact on property values due to the development of The Villas at Magens Bay.

Carolina Colours is a mixed-use subdivision located in New Bern, Craven County, North Carolina. The neighborhood consists of over 1,800 acres developed for various uses, including single-family residential, multi-family residential, commercial/neighborhood business, and recreational uses. The development of Carolina Colours began in 2005 and has been constructed in phases over the past 18 years. The Hudson at Carolina Colours is a recently developed apartment complex located within Carolina Colours Subdivision. The first phase of the apartment complex consists of 240 units within 10 garden-style buildings. The units vary in size and consist of a mixture of 1-bedroom/1-bath; 2-bedroom/2-bath; and 3-bedroom/2-bath units.



Our research of sales transactions within the Carolina Colours Subdivision revealed no negative/adverse impact on property values due to the development of the site for an apartment complex. Sales transactions within the subdivision are provided below.

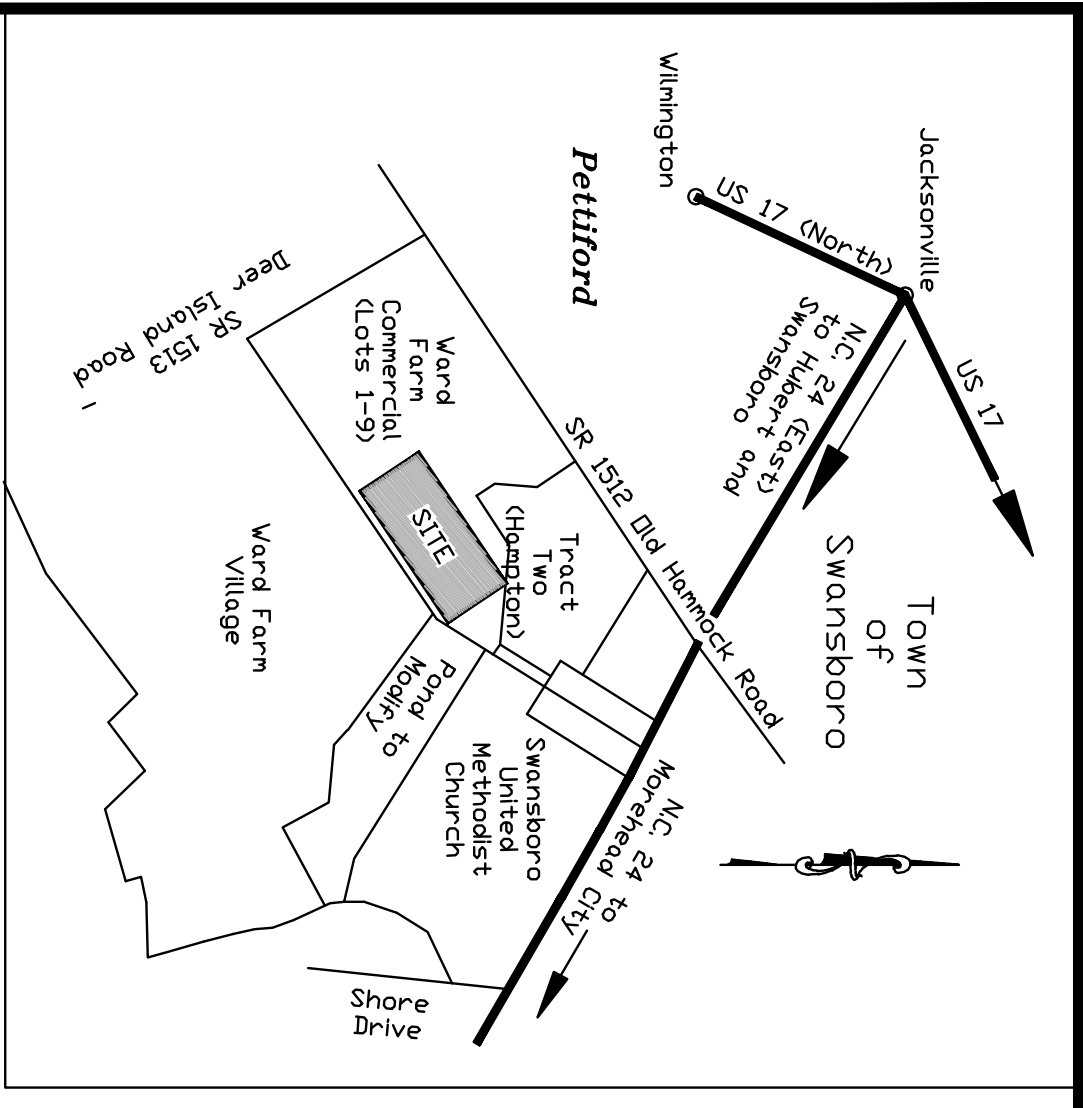
Parcel No.	Address	Sales Transactions
7-104-4-013	3514 Cranberry Ln	May 1, 2019 - \$335,000 December 22, 2022 - \$460,000
7-104-4-016	3508 Cranberry Ln	March 31, 2017 - \$347,000 July 8, 2022 - \$600,000
7-104-4-017	3506 Cranberry Ln	August 13, 2021 - \$67,000 July 31, 2023 - \$76,500
7-104-4-019	3502 Cranberry Ln	June 1, 2018 - \$357,500 September 6, 2022 - \$540,000
7-104-4-059	3904 Sienna Trl	December 30, 2021 - \$775,000 February 28, 2023 - \$838,000
7-104-14-208	4914 Spring Green Pass	May 13, 2021 - \$460,000 August 18, 2023 - \$585,000
7-104-14-011	4165 Cinnamon Run	April 24, 2020 - \$255,000 June 30, 2023 - \$400,000
7-104-4-100	4205 Sienna Pl	April 5, 2021 - \$59,000 July 9, 2021 - \$63,000 August 24, 2023 - \$80,000

Therefore, based on the physical characteristics of the proposed project, study of the neighborhood and analysis of existing multi-family communities, it is my opinion the proposed use of the subject site for Brezza Lofts at Ward Farm Town Center to be located at 200 Ward Road in Swansboro, Onslow County, North Carolina would be in harmony with the neighborhood. In addition, if the proposed project is designed and constructed as presented, adhering to the regulations and guidelines of the local municipality as well as the state of North Carolina, it will not substantially injure or alter the value of the adjoining or abutting property owners.

Respectfully,

Suzanne H. Nelson
Suzanne H. Nelson, MAI
NC Certified General Real Estate Appraiser A6424





Vicinity Map—Not to Scale

Project Contacts:

Water Distribution:
 ONWASA
 228 Georgetown Road
 Jacksonville, NC 28540
 (910) 455-2583

Zoning/Building Authority:

Town of Swansboro
 601 Corbett Avenue
 Swansboro, NC 28584
 (910) 326-4428

CONSTRUCTION DRAWINGS

for

Brezza Lofts

Lot 8 Ward Farm Commercial

SWANSBORO, NORTH CAROLINA
 Proforma Ward Farm Lot 8, LLC
 Swansboro, NC



SHEET INDEX

COVER SHEET	COVER
SHEET 1 OF 4	SITE / UTILITY / LANDSCAPE PLAN
SHEET 2 OF 4	GRADING, DRAINAGE, STORMWATER & ESC PLAN
SHEET 3 OF 4	WATER & SEWER PLAN & PROFILE
SHEET 4 OF 4	DETAILS

DESIGNED BY:
CRYSTAL COAST ENGINEERING, PA
 205-3 WARD ROAD
 SWANSBORO, NC 28584
 TEL: (910) 325-0006

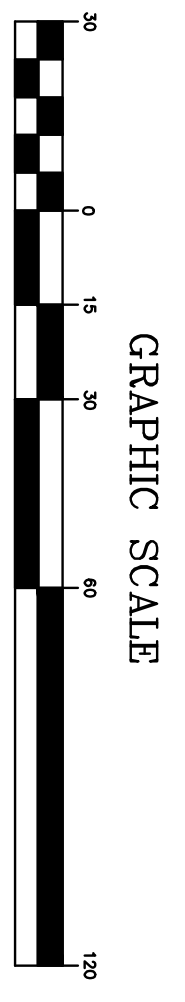
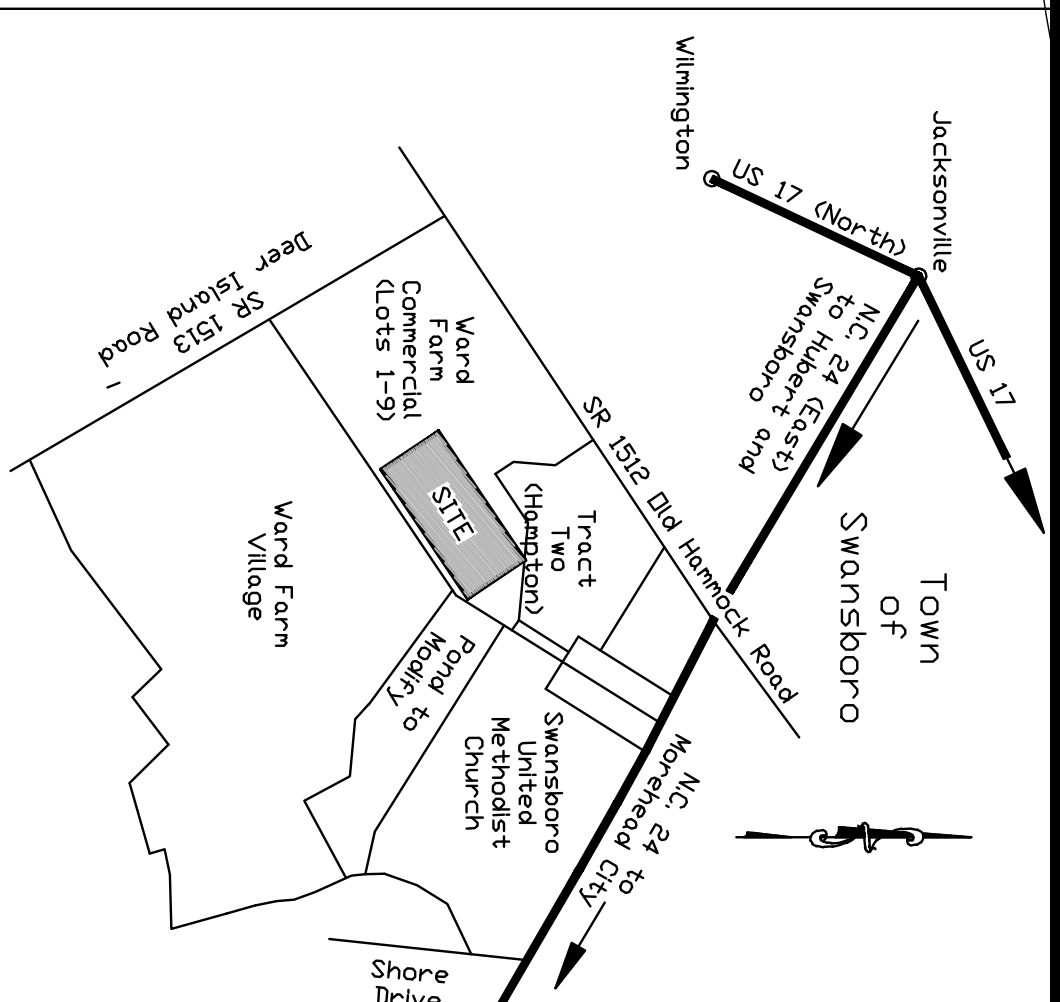
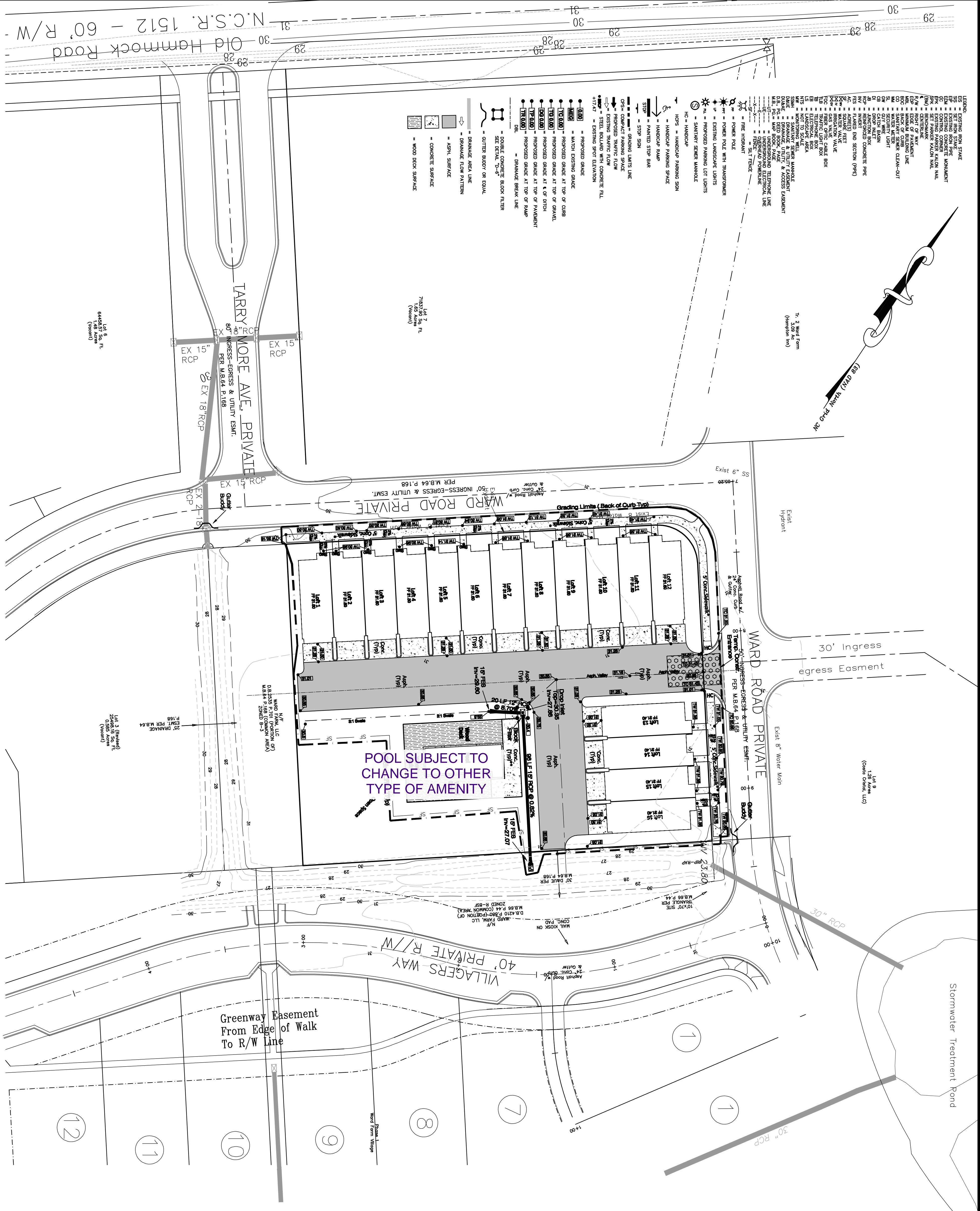
BOUNDARY/TOPO SURVEY AND BASEMAP PROVIDED BY:
John L. Pierce & Associates, PA
 405 Johnson Blvd, Jacksonville, NC

REVISIONS

Crystal Coast Engineering, P.A.
 Civil and Environmental Consulting Engineers
 John R. Freshwater, PE
 David K. Newsom, PE
 205-3 WARD ROAD, SWANSBORO, N.C. 28584
 PHONE: (910) 325-0006 ~ FAX: (910) 325-0060
 BUSINESS LICENSE #: C-2553

COVER SHEET
BREZZA LOFTS at WARD FARM TOWN CENTER
Lot 8
WARD FARM COMMERCIAL SUBDIVISION
 SWANSBORO TOWNSHIP ~ ONSLOW COUNTY
 PREPARED FOR
 Proforma Ward Farm Lot 8, LLC

SCALE:	NONE
DATE:	2/11/2024
PROJECT:	
DRAWN BY:	DKN
SHEET	COVER



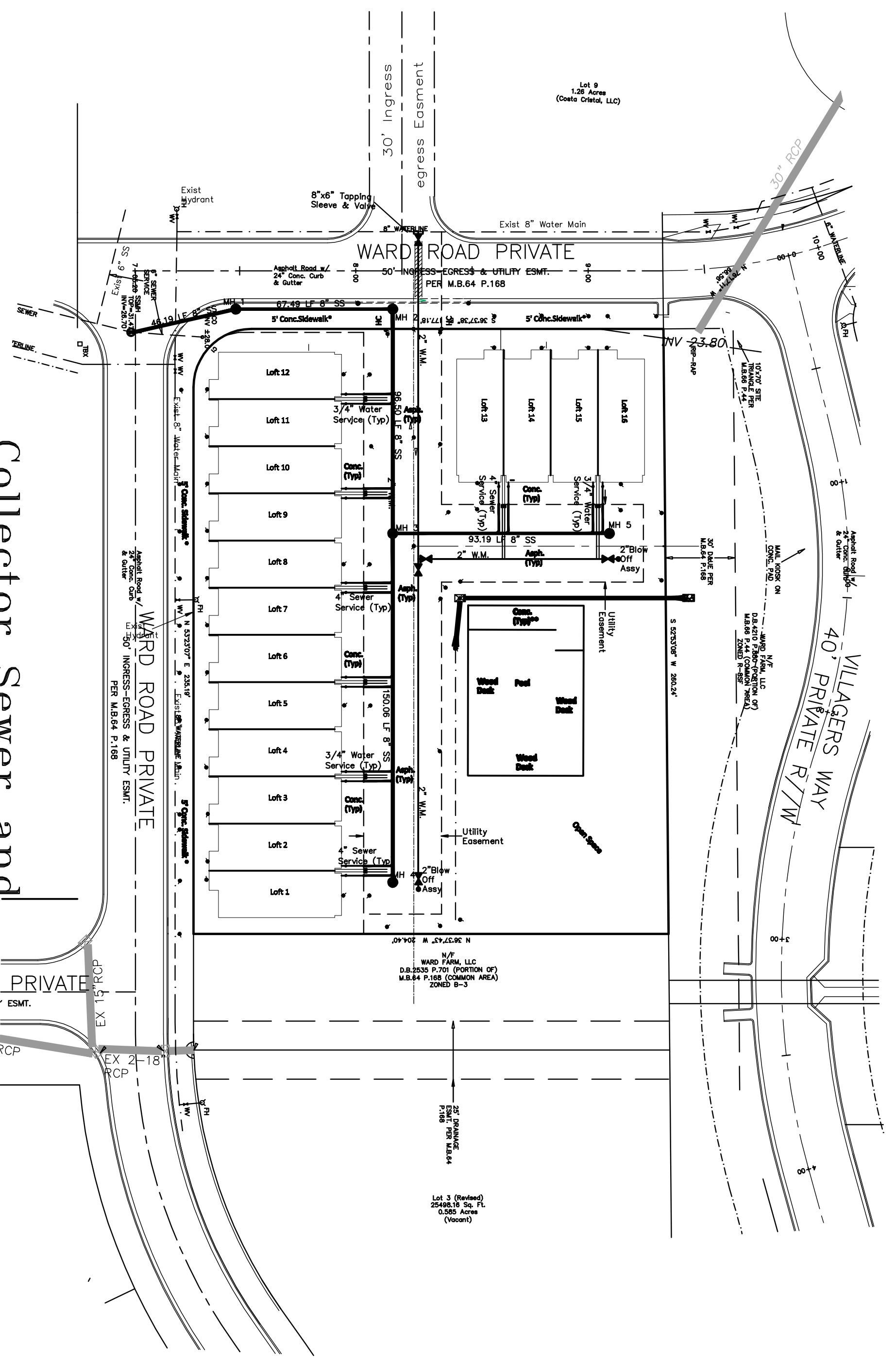
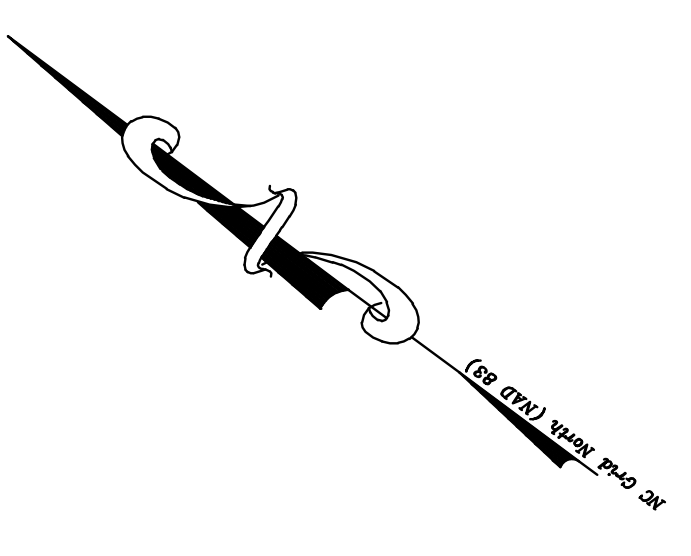
OWNER/DEVELOPER:
PROFORMA WARD FARM, LLC
 407 Peach Drive
 Swansboro, NC 28584
 919.283.9753

SITE ADDRESS:
 200 WARD ROAD

Stormwater and Erosion Control Data
 Project Site is tributary to Ward Farm Stormwater Treatment Facilities. This project is to be permitted as an Offsite Permit to Ward Farm Master SW Permit SW8 091001.
 Ultimate Receiving Surface Waters (after treatment in Ward Pond) is Ward Creek, Stream Index 23-53, Classification SC.
 Disturbed Area = 1.2 Ac.
 Predominant Soil Type: Onslow loamy fine sand

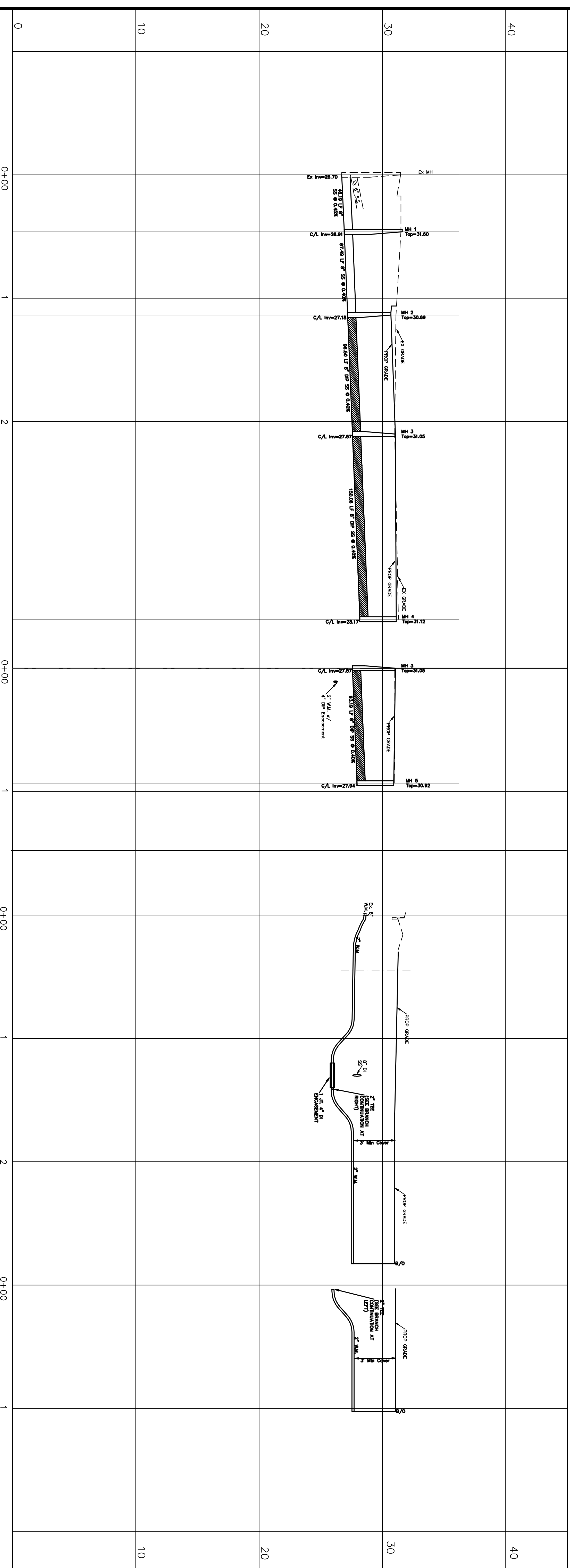
Permitting Set
 NOT RELEASED FOR CONSTRUCTION

SCALE: AS SHOWN DATE: 2/11/2024 PROJECT: DRAWN BY: DKN SHEET 2 OF 4	GRADING, DRAINAGE, STORMWATER & ESC PLAN BREZZA LOFTS at WARD FARM TOWN CENTER Lot 8 WARD FARM COMMERCIAL SUBDIVISION SWANSBORO TOWNSHIP ~ ONSLOW COUNTY PREPARED FOR Proforma Ward Farm Lot 8, LLC	Crystal Coast Engineering, P.A. Civil and Environmental Consulting Engineers John R. Freshwater, PE David K. Newsom, PE 205-3 WARD ROAD, SWANSBORO, N.C. 28584 PHONE: (910) 325-0006 ~ FAX: (910) 325-0060 BUSINESS LICENSE #: C-2553	REVISIONS 3/23/24 Per. Owner/DKMSK 3/21/24 Per. Owner 8/7/24 Per. Owner/TTC
---	---	--	---



**Collector Sewer and
Watermain Plan & Profile**

SCALE: HORIZONTAL = 1" = 40'
VERTICAL = 1" = 4'



REVISIONS

Crystal Coast Engineering, P.A.
 Civil and Environmental Consulting Engineers
 John R. Freshwater, PE
 David K. Newsom, PE
 205-3 WARD ROAD, SWANSBORO, N.C. 28584
 PHONE: (910) 325-0006 ~ FAX: (910) 325-0060
 BUSINESS LICENSE #: C-2553

Sanitary Sewer and Watermain Profiles
BREZZA LOFTS at WARD FARM TOWN CENTER
 Lot 8
WARD FARM COMMERCIAL SUBDIVISION
 SWANSBORO TOWNSHIP ~ ONSLOW COUNTY
 PREPARED FOR
 Proforma Ward Farm Lot 8, LLC

SCALE: 1" = 40'
 DATE: 2/11/2024
 PROJECT:
 DRAWN BY: DKN
 SHEET 3 OF 4

Crystal Coast Engineering, P.A.
 Civil and Environmental Consulting Engineers
 David K. Newson, PE
 205-3 WARD ROAD, SWANSBORO, N.C. 28584
 PHONE: (910) 325-0006 FAX: (910) 325-0060
 BUSINESS LICENSE #: C-2553

DETAILS - 1
BREZZA LOFTS at WARD FARM TOWN CENTER
 Lot 8
WARD FARM COMMERCIAL SUBDIVISION
 SWANSBORO TOWNSHIP ~ ONSLOW COUNTY
 PREPARED FOR
 Proforma Ward Farm Lot 8, LLC

SCALE: NTS
 DATE: 2/11/2024
 PROJECT: DRAIN, B.Y. JNC/DKN
 SHEET: 4A/4

EROSION AND SEDIMENTATION CONTROL NOTES:

1. Sediment control devices and structures shall be installed, maintained and operated as needed to provide effective control of accelerated sedimentation until the contributing construction site is stabilized.
2. Construction Sequence:
 - A. Notify Engineer, Owner and Land Quality Section prior to installation of any erosion control device.
 - B. Site fence, temporary diversion ditches, and sediment traps shall be installed where storm runoff is expected to occur.
 - C. Silt fence, temporary diversion ditches, and sediment traps shall be installed where storm runoff is expected to occur.
 - D. Sediment traps shall be installed where storm runoff is expected to occur.
 - E. Install Stormwater Structures and inlet protection if necessary.
 - F. Complete final grading activities. Install surface treatment (grass, concrete or ABC) as indicated.
 - G. Stabilize (seed and mulch) those areas not to be paved and/or built areas for Permanent Seeding.
 - H. Upon stabilizing site with permanent groundcover, remove seed-dates for Permanent Seeding.
 - I. Full functional control measures as needed to ensure completion of any phase of grading.
 - J. Upon completion of any phase of grading, remove accumulated sediment from stormwater storage basin and restore to design conditions.
 - K. Seed, fertilize, and mulch all disturbed areas within 15 days of completing any phase of the grading work, within 15 working days or no more than 21 calendar days following completion of any phase of grading.
 - L. Upon completion of any phase of grading, remove accumulated sediment from stormwater storage basin and restore to design conditions.
 - M. Sediment from stormwater storage basin and restore to design conditions.
 - N. Install necessary mechanical erosion and sedimentation control practices.
 - O. Sediment traps shall be installed where storm runoff is expected to occur.
 - P. Line and fertilizer needs shall be determined by soil test.
 - Q. NDA for additional information regarding seeding. When soil test one seedling mix chosen. Apply lime and fertilizer and work into 4-6 inches of soil by disk or other suitable means. Operate machinery on the contour, and avoid compaction of soil.
 - R. Complete seeded preservation by breaking up large clods and rolling into a smooth uniform surface. Broadcast seed to freshly loosened seedbed uniformly and covered with a clean straw mulch. All mulch shall be crimped or applied to help hold in place. Watered and application rates as indicated.

TEMPORARY SEEDING

Seeding Mixture	Winter/Early Spring	Summer	Fall
Seeds (lb/1000)	50	50	50
Annual Legume (lbs)	50	50	50
Common Bermuda	50	50	50
German millet	50	50	50

PERMANENT SEEDING

Seeding Mixture	Rate (lb/1000)
Seeds	100
Common Bermuda	100
German millet	100

Seeding Notes:

1. Where frost appearance is desired, omit surface mulch.
2. Where it cannot become a pest, Bermudagrass may be replaced with 5 lb/acre centipedegrass.

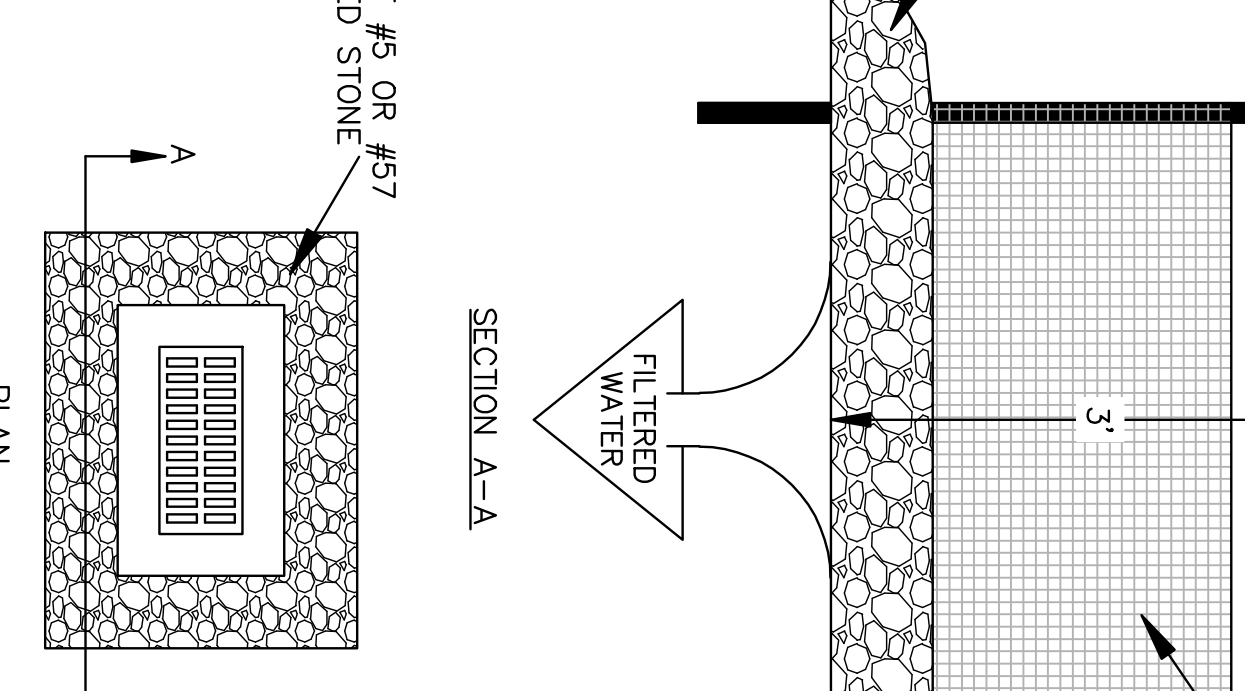
Soil Amendment:

1. Apply 4,000 lb/acre grain straw or equivalent cover of another crop or cover crop.
2. Apply 100 lb/acre of 10-10-10 fertilizer.

Workmanship:

1. Refer to the following April with 50 lb/acre nitrogen. Repeat as growth requires. Mow as often as needed.
2. Contractor is responsible for maintaining all erosion control measures and for remedying measures as required to prevent erosion.
3. Once all areas have been stabilized, contractor is to remove temporary erosion control measures, regrade, & mulch to meet final finish.
4. For additional requirements, see the approved erosion and sedimentation permit.

Hardware Cloth & Gravel Inlet Protection



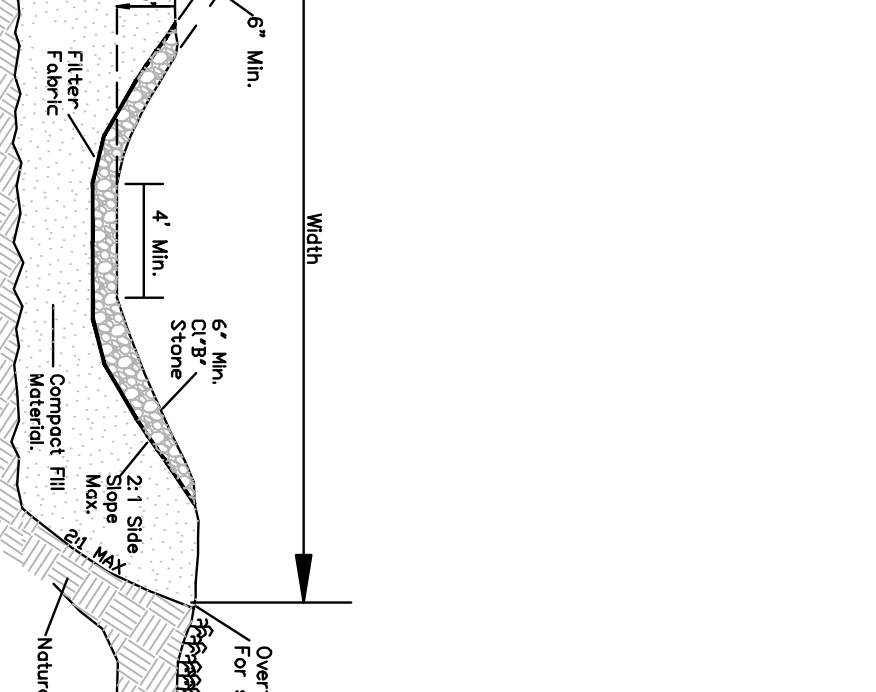
CONSTRUCTION SPECIFICATIONS:

1. Uniformly grade a shallow depression approaching the inlet.
2. Drive 5-foot steel posts 2 feet into the ground surrounding the inlet. Space posts evenly around the perimeter of the inlet, a maximum of 2 feet apart.
3. Surround the posts with wire mesh hardware cloth. Secure the wire mesh to the steel posts at the top, middle, and bottom. Ploching a 2-foot top of the wire mesh under the gravel for anchoring is acceptable.
4. Place clean gravel (No. 57 or #57 stone) on a 2:1 slope with a height of 16 inches around the wire, and smooth to an even grade.
5. Once the contributing drainage area has been stabilized, remove hardware cloth and gravel.
6. Compact the area properly and stabilize it with groundcover.

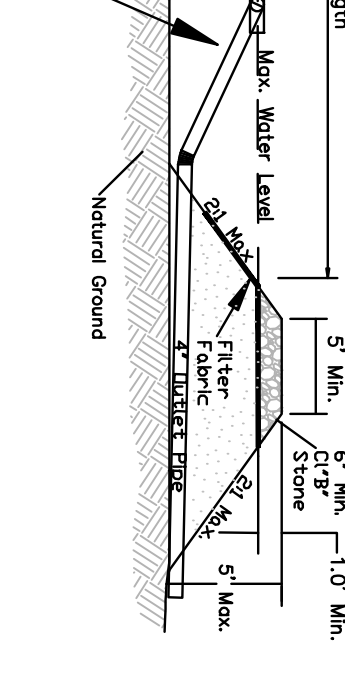
INSPECTION AND MAINTENANCE:

1. Inspect inlets at least weekly and after each significant (1/2 inch or greater) rainfall event. Clear the mesh wire of any debris or other objects to provide unobstructed flow.
2. Subsequent construction activities shall not damage the wire mesh during sediment removal. Repair stones as needed.

Swale Detail

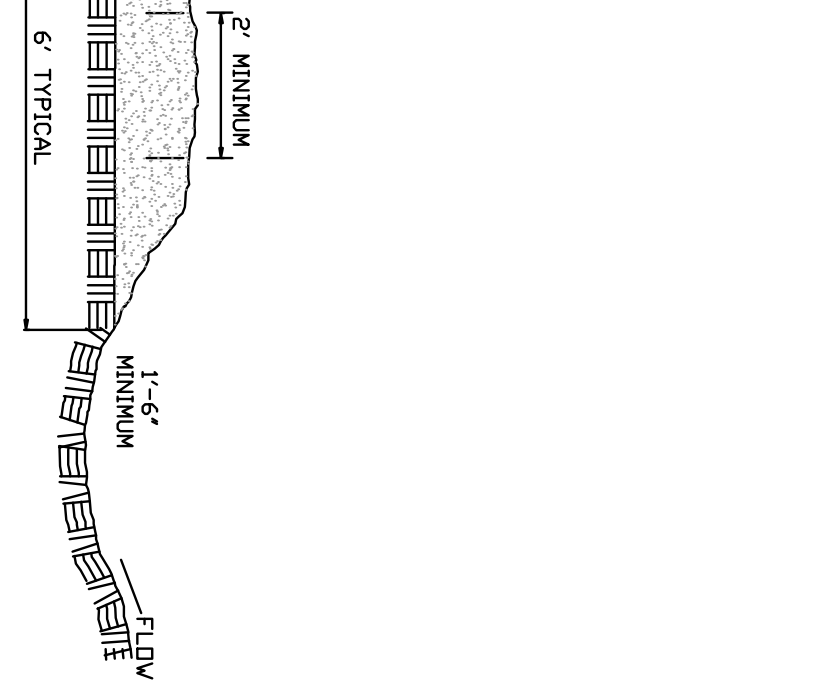


EMERGENCY SPILLWAY SECTION



GROSS-SECTION OF STONE OUTLET SECTION

Skimmer Sediment Basin Detail



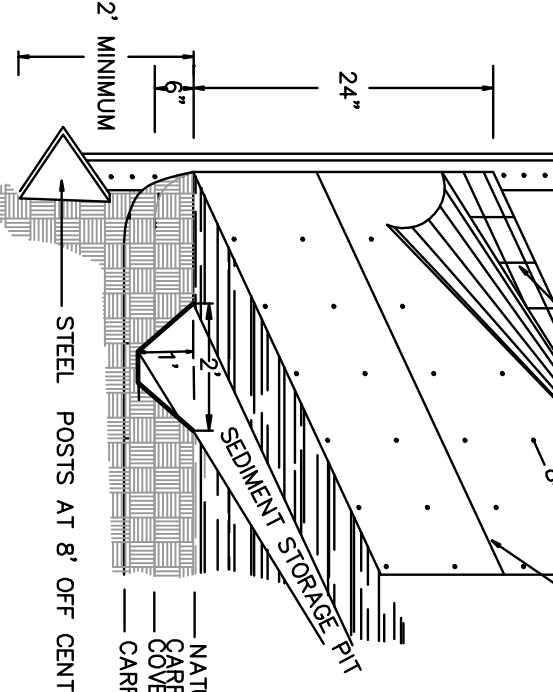
Temp. Diversion Ditch

1. Remove and properly dispose of all trees, brush, stumps and other objectionable material.
2. Design and construct a cross section meets all design requirements.
3. Ensure that the top of the dike is not lower at any point than the adjacent ground.
4. Provide sufficient room around diversions to permit machine regrading and cleanout.
5. Regrade and cleanout immediately after construction, unless it will be used for other purposes.

INSPECTION AND MAINTENANCE:

1. Inspect once a week and after every rainfall. Immediately remove sediment from the ditch.
2. Remove sediment from the ditch and make timely repairs as needed. When the protected area is permanently stabilized, remove the ridge and the channel to blend with the natural grade and appropriately stabilize it.

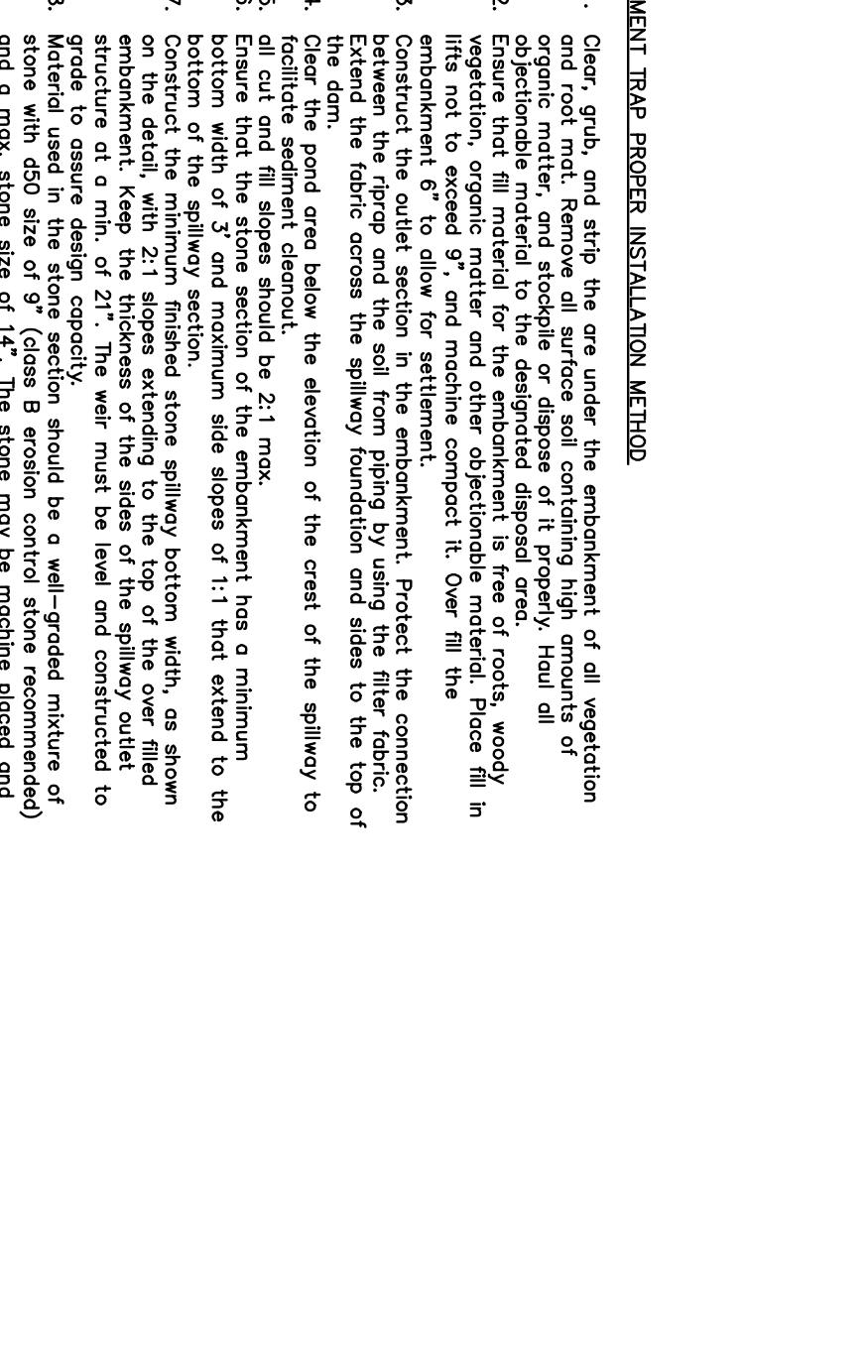
Silt Fence Detail



INSPECTION AND MAINTENANCE:

1. Inspect once a week and after every rainfall. Make any required repairs immediately. Should the fabric collapse, tear, decompose or become ineffective, replace it promptly. Remove sediment deposits as necessary to prevent the fabric from being pushed into the trench.
2. Take care to avoid undermining the fence during construction. Remove all fencing materials and unstable sediment deposits and debris from the trench immediately. It shall be the contractor's responsibility to ensure the trench is properly stabilized.

Conventional Sediment Trap Detail



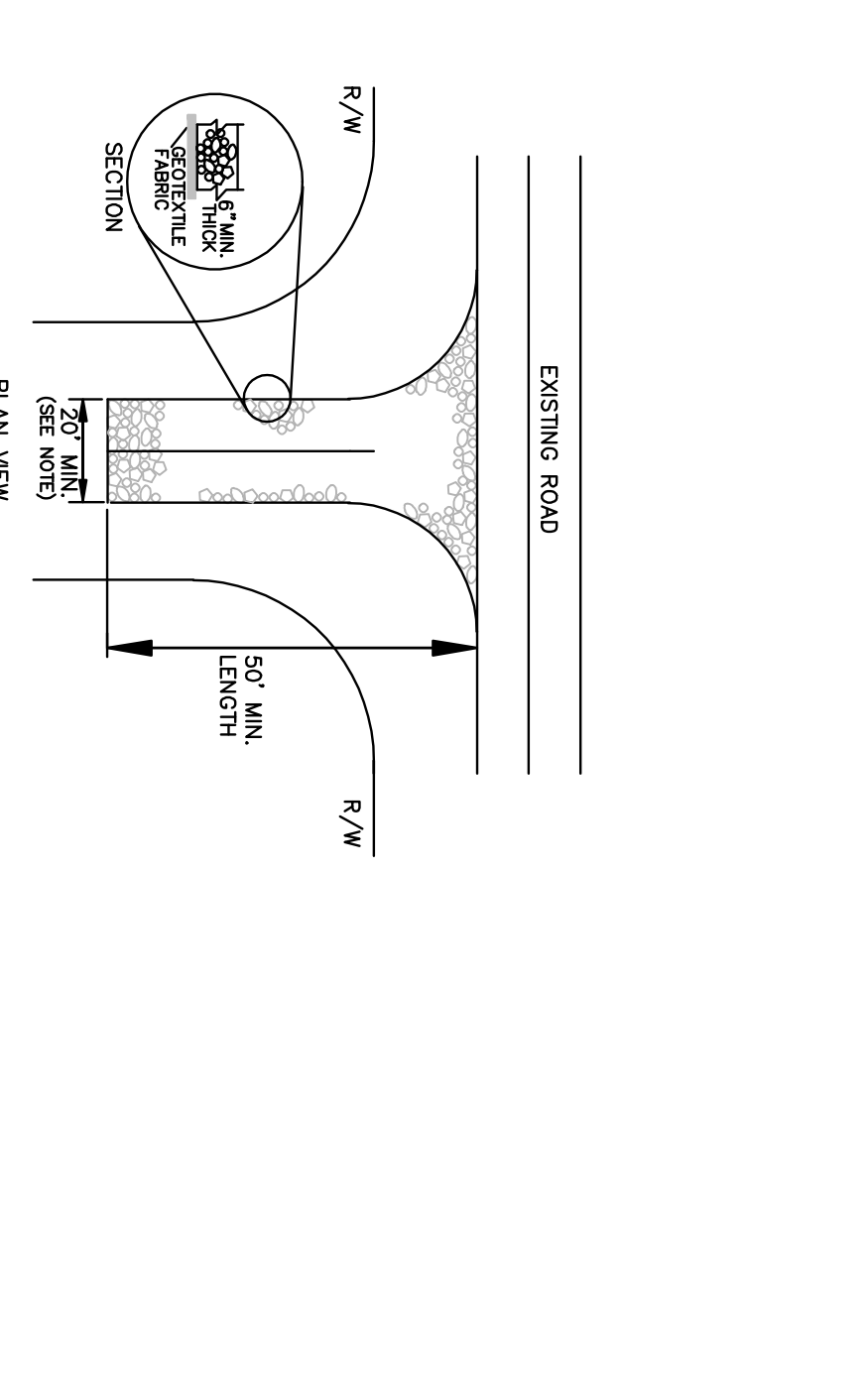
INSPECTION AND MAINTENANCE:

1. Clear, grub, and strip the area under the embankment or of vegetation and other debris.
2. Excavate the area under the embankment to a depth of 12 inches below the bottom of the embankment. Fill material for the embankment with rock, woody vegetation, organic matter and other objectionable material. Place fill in embankment 6" to 8" over settlement compact it. Over fill the embankment 6" to 8" over settlement compact it.
3. Construct the outlet section in the embankment. Protect the connection between the embankment and the spillway by placing a 2:1 slope on the embankment and a 2:1 slope on the spillway. Place a 2:1 slope on the embankment and a 2:1 slope on the spillway. Place a 2:1 slope on the embankment and a 2:1 slope on the spillway.
4. The dam, pond area below the elevation of the crest of the spillway to facilitate sediment cleanout.
5. All cut and fill slopes should be 2:1 max.
6. The embankment has a minimum bottom width of 3' and maximum side slopes of 1:1 that extend to the bottom of the spillway section.
7. Stone spillway bottom with as shown on the detail, with 2:1 slopes extending to the top of the over field embankment. Keep the thickness of the stone of the spillway outlet grade to assure design capacity.
8. Material used in the stone section should be a well-graded mixture of stone and sand. The stone should be a well-graded mixture of stone and sand. The stone should be a well-graded mixture of stone and sand.
9. The smaller stones worked into the voids of the larger stones. The stone should be a well-graded mixture of stone and sand.
10. Discharge inlet water into the basin in a manner to prevent erosion. Use temporary slope drains or diversions with outlet protection to direct both types of flow.
11. Use of the stone spillway section should be as shown on the detail.
12. Outlet velocity is acceptable for the receiving stream, keep the edge of the outlet velocity is acceptable for the receiving stream, keep the edge of the outlet velocity is acceptable for the receiving stream.
13. Direct emergency bypass to natural, stable areas. Locate bypass outlets to the center to confine the outflow stream.
14. Stabilize the embankment and of disturbed areas above the sediment cleanout level (Xs the design depth) on the plans and mark it in the field.
15. Install porous baffles if necessary.

SEDIMENT TRAP PROPER INSTALLATION METHOD:

1. Clear, grub, and strip the area under the embankment or of vegetation and other debris.
2. Excavate the area under the embankment to a depth of 12 inches below the bottom of the embankment. Fill material for the embankment with rock, woody vegetation, organic matter and other objectionable material. Place fill in embankment 6" to 8" over settlement compact it. Over fill the embankment 6" to 8" over settlement compact it.
3. Construct the outlet section in the embankment. Protect the connection between the embankment and the spillway by placing a 2:1 slope on the embankment and a 2:1 slope on the spillway. Place a 2:1 slope on the embankment and a 2:1 slope on the spillway.
4. The dam, pond area below the elevation of the crest of the spillway to facilitate sediment cleanout.
5. All cut and fill slopes should be 2:1 max.
6. The embankment has a minimum bottom width of 3' and maximum side slopes of 1:1 that extend to the bottom of the spillway section.
7. Stone spillway bottom with as shown on the detail, with 2:1 slopes extending to the top of the over field embankment. Keep the thickness of the stone of the spillway outlet grade to assure design capacity.
8. Material used in the stone section should be a well-graded mixture of stone and sand. The stone should be a well-graded mixture of stone and sand.
9. The smaller stones worked into the voids of the larger stones. The stone should be a well-graded mixture of stone and sand.
10. Discharge inlet water into the basin in a manner to prevent erosion. Use temporary slope drains or diversions with outlet protection to direct both types of flow.
11. Use of the stone spillway section should be as shown on the detail.
12. Outlet velocity is acceptable for the receiving stream, keep the edge of the outlet velocity is acceptable for the receiving stream, keep the edge of the outlet velocity is acceptable for the receiving stream.
13. Direct emergency bypass to natural, stable areas. Locate bypass outlets to the center to confine the outflow stream.
14. Stabilize the embankment and of disturbed areas above the sediment cleanout level (Xs the design depth) on the plans and mark it in the field.
15. Install porous baffles if necessary.

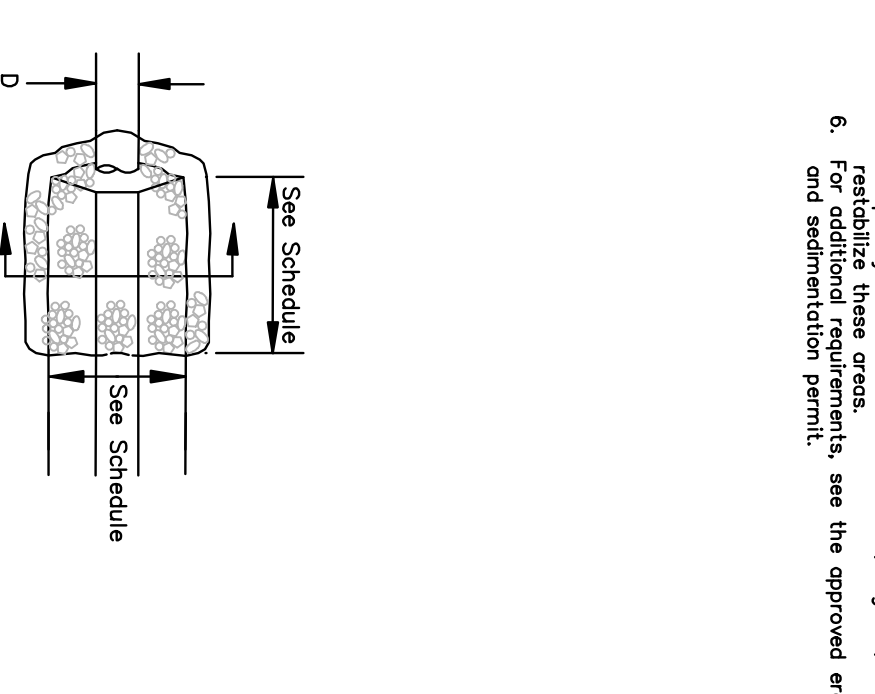
Temp. Construction Entrance



CONSTRUCTION SPECIFICATIONS:

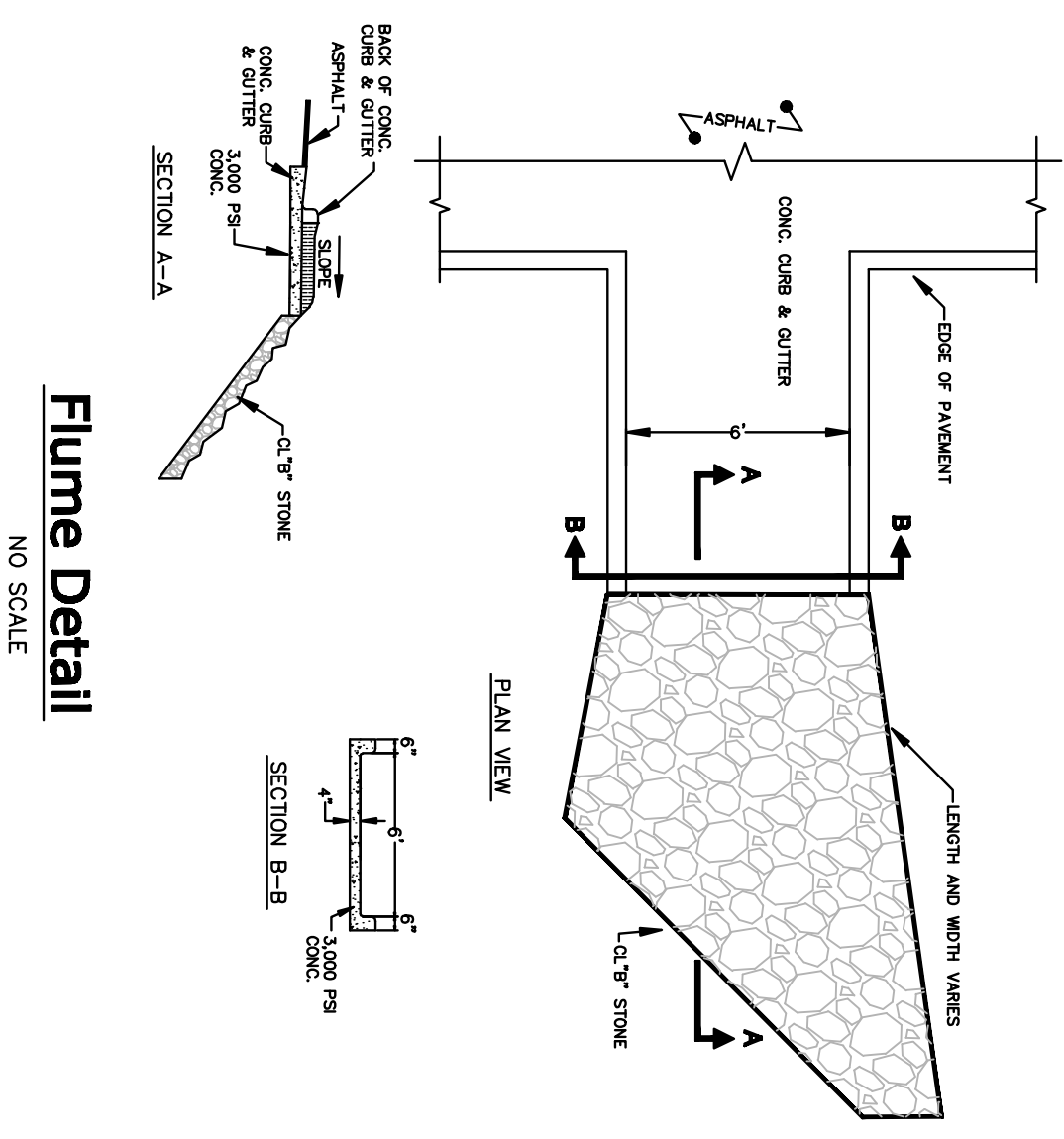
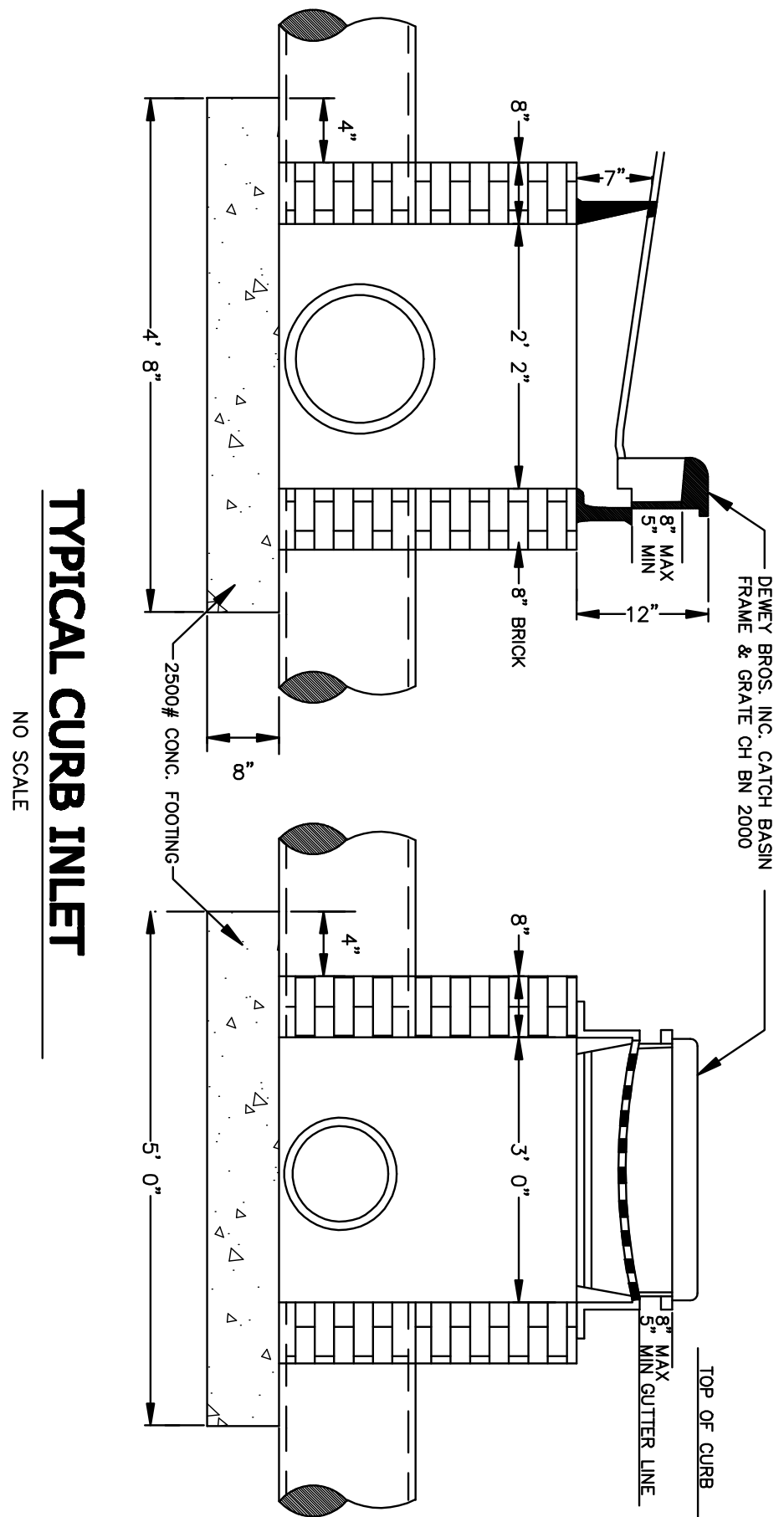
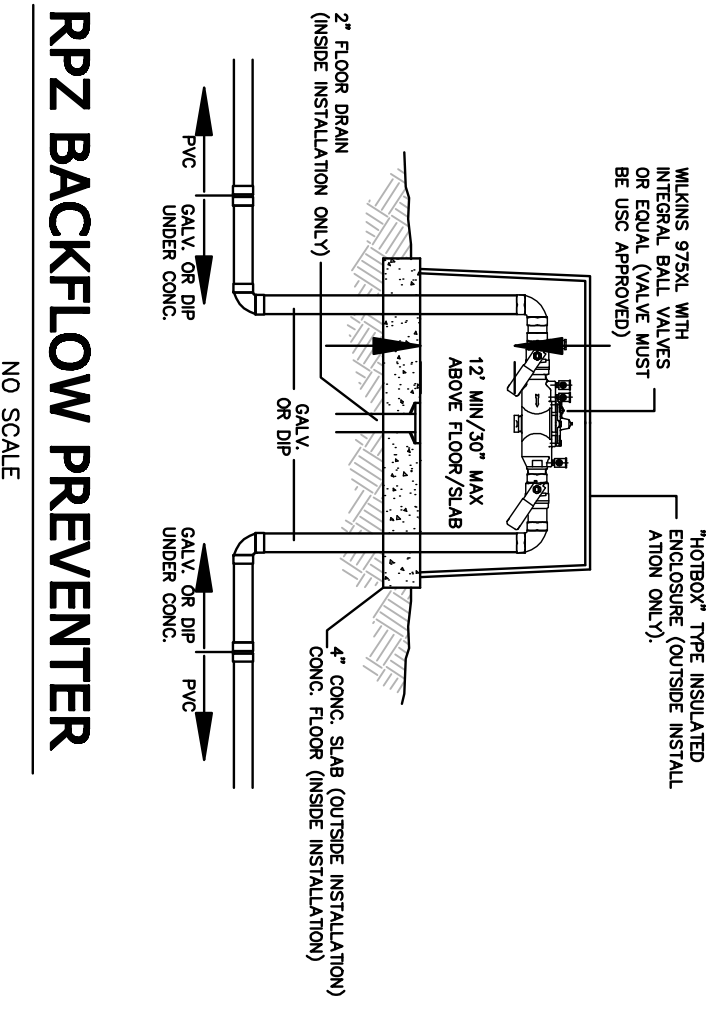
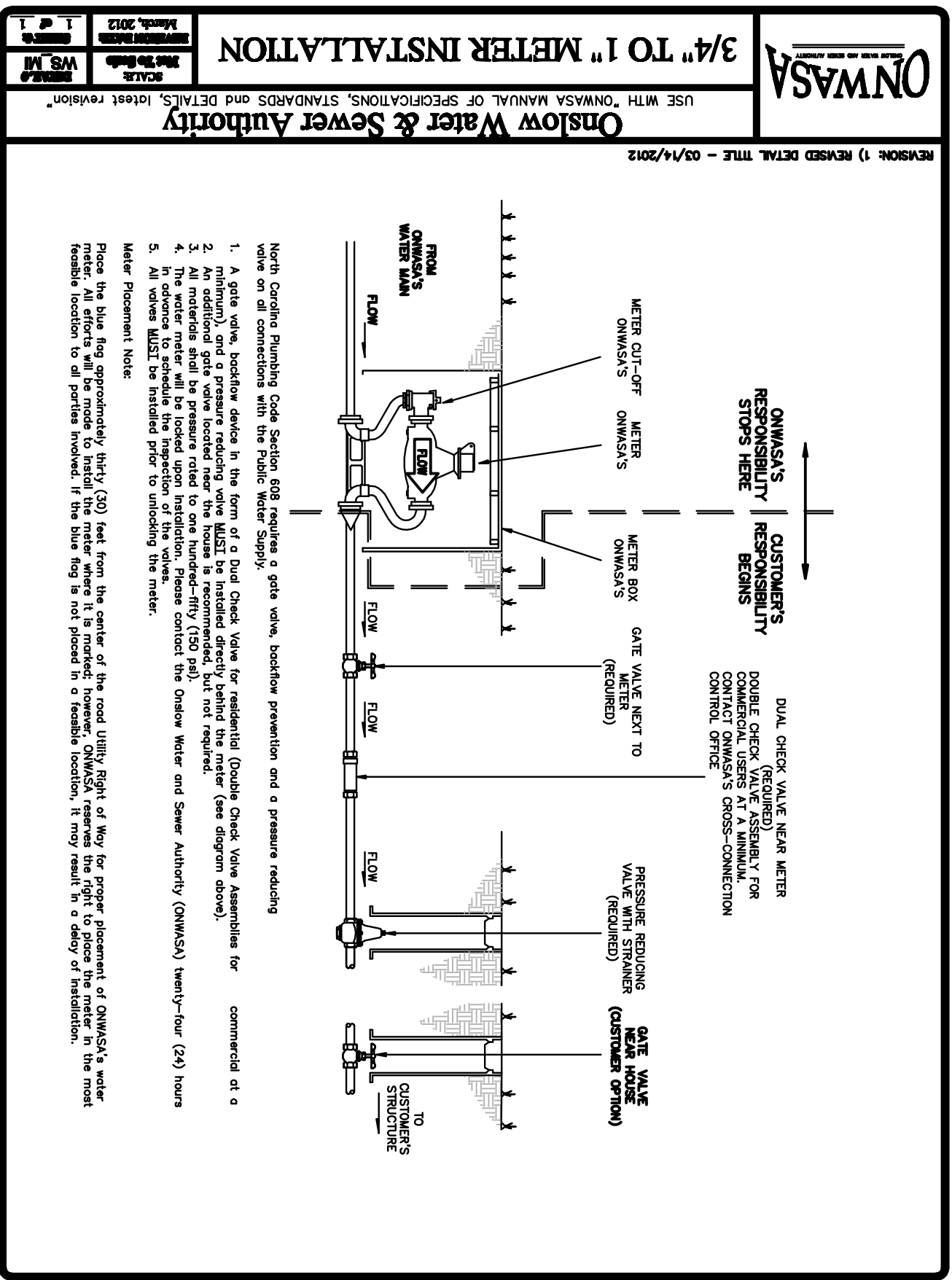
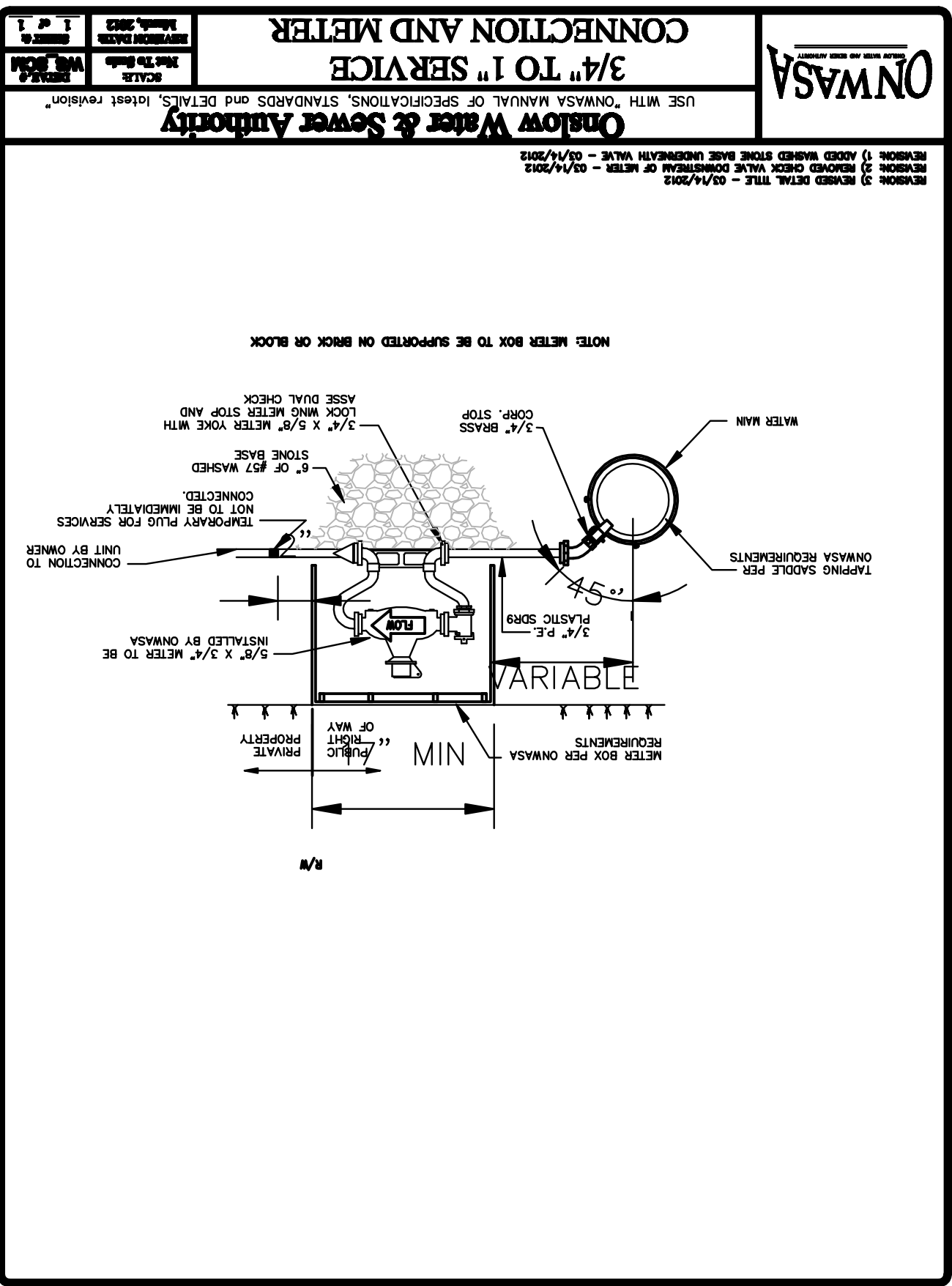
1. Stone size - Use MSHA size No. 2 (2 1/2" to 1") or ASTM 20 (No. 20) or No. 2 (1 1/2" to 1") size.
2. Length - As effective, but not less than 50 feet.
3. Width - Not less than full width of all points of ingress or egress. Minimum of 20 feet for all points of ingress or egress.
4. Height - Not less than full width of all points of ingress or egress.
5. The top of the dike shall be cleaned to remove sediment prior to entrance onto public right-of-way. Sediment shall be removed from the dike and stored in a designated area. Sediment shall be removed from the dike and stored in a designated area.
6. The top of the dike shall be cleaned to remove sediment prior to entrance onto public right-of-way. Sediment shall be removed from the dike and stored in a designated area. Sediment shall be removed from the dike and stored in a designated area.

Rip Rap Scour Pad

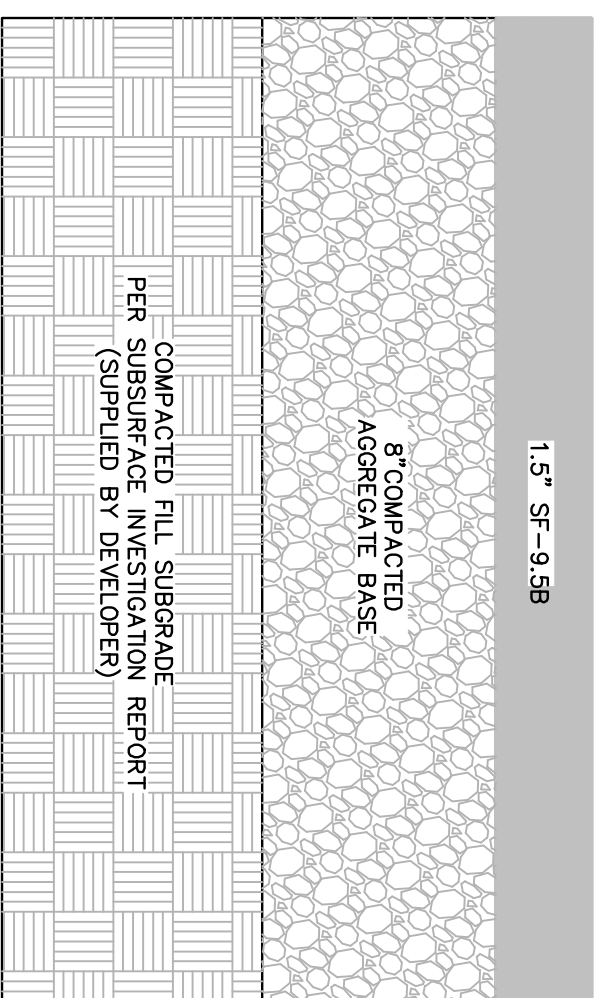
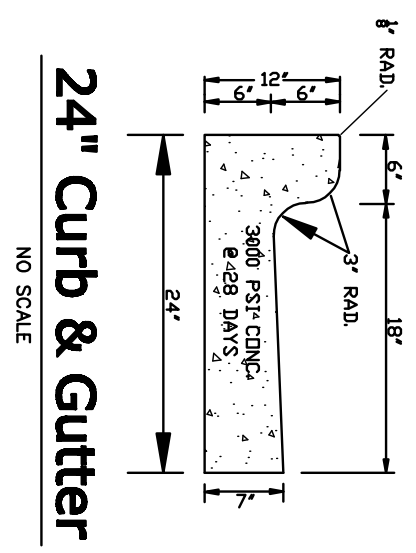
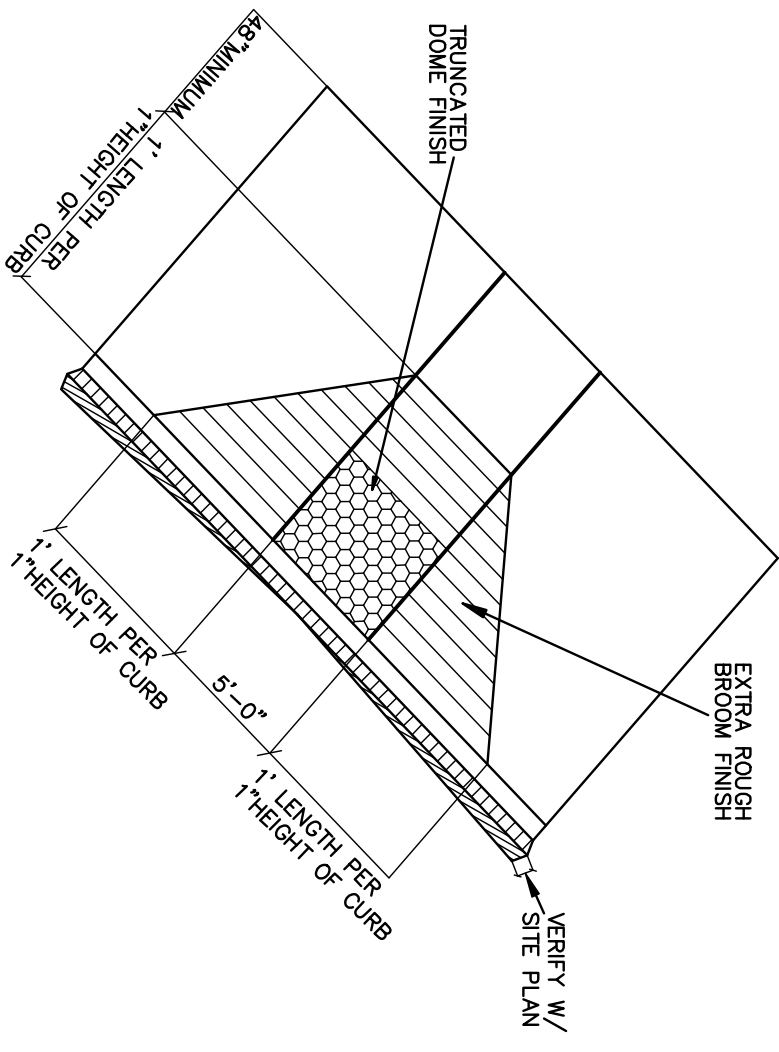


CONSTRUCTION SPECIFICATIONS:

1. D - LARGE DIAMETER OR WIDTH OF CURVE
2. MINIMUM STONE THICKNESS TO BE MAINTAINED UNDER
3. TWO TIMES STONE DIAMETER



Handicap Ramp Detail

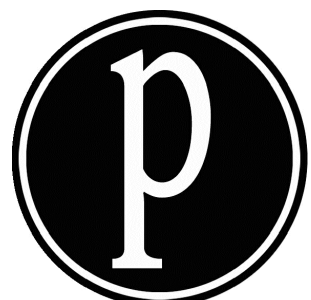


REVISIONS

Crystal Coast Engineering, P.A.
 Civil and Environmental Consulting Engineers
 David K. Newsom, PE
 205-3 WARD ROAD, SWANSBORO, N.C. 28584
 PHONE: (910) 325-0006 FAX: (910) 325-0060
 BUSINESS LICENSE #: C-2553

DETAILS - 2
BREZZA LOFTS at WARD FARM TOWN CENTER
 Lot 8
WARD FARM COMMERCIAL SUBDIVISION
 SWANSBORO TOWNSHIP ~ ONSLOW COUNTY
 PREPARED FOR
 Proforma Ward Farm Lot 8, LLC

SCALE: NTS
 DATE: 2/11/2024
 PROJECT: DRAWN BY: JNC/DKN
 SHEET 4B/4



PLAGEMAN ARCHITECTURE
SWANSBORO BURLINGTON

FOR REVIEW ONLY

NOT FOR CONSTRUCTION

CONSTRUCTION DRAWINGS FOR:
BREZZA LOFTS
A TOWNHOME COMMUNITY LOCATED IN WARD FARM TOWN CENTER
SWANSBORO, NORTH CAROLINA

REVISIONS

JOB NUMBER
PA2421

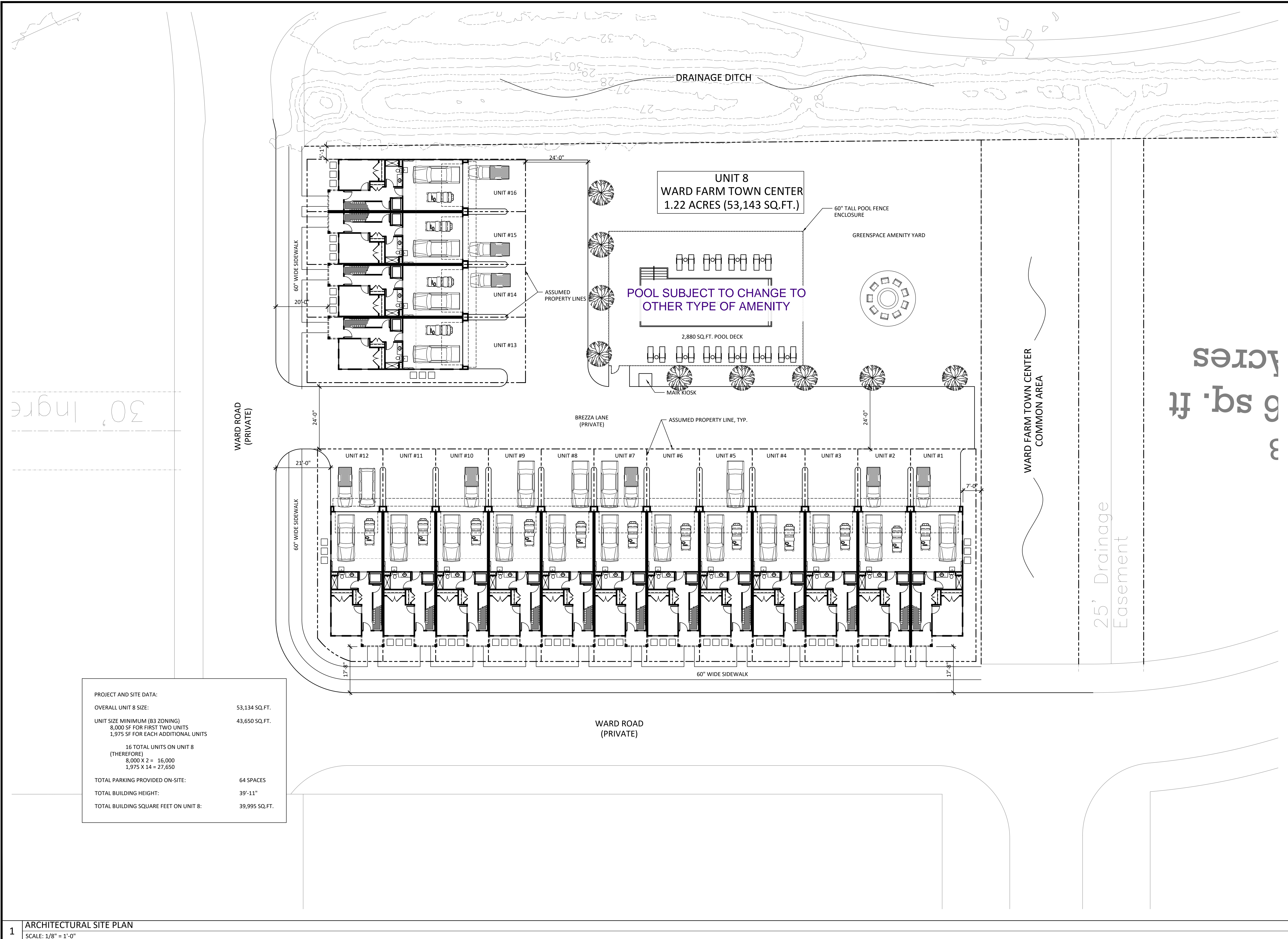
DRAWN BY: (PARCH)

SHEET NAME
ARCHITECTURAL SITE PLAN

SHEET NUMBER

A100

COPYRIGHT 2024 - PLAGEMAN ARCHITECTURE - THESE DRAWINGS ARE INSTRUMENTS OF SERVICE INTENDED FOR THE USE OF THIS PROJECT ONLY - ANY REUSE OR REPRODUCTION FOR ANOTHER PROJECT IS STRICTLY PROHIBITED.



PROJECT AND SITE DATA:	
OVERALL UNIT 8 SIZE:	53,134 SQ.FT.
UNIT SIZE MINIMUM (B3 ZONING)	43,650 SQ.FT.
8,000 SF FOR FIRST TWO UNITS	
1,975 SF FOR EACH ADDITIONAL UNITS	
16 TOTAL UNITS ON UNIT 8 (THEREFORE)	
8,000 X 2 = 16,000	
1,975 X 14 = 27,650	
TOTAL PARKING PROVIDED ON-SITE:	64 SPACES
TOTAL BUILDING HEIGHT:	39'-11"
TOTAL BUILDING SQUARE FEET ON UNIT 8:	39,995 SQ.FT.



PLAGEMAN ARCHITECTURE
SWANSBORO BURLINGTON

FOR REVIEW ONLY

NOT FOR CONSTRUCTION

CONSTRUCTION DRAWINGS FOR:
BREZZA LOFTS
A TOWNHOME COMMUNITY LOCATED IN WARD FARM TOWN CENTER
SWANSBORO, NORTH CAROLINA

REVISIONS

JOB NUMBER
PA2421

DRAWN BY: (PARCH)

SHEET NAME
EXTERIOR ELEVATIONS
BUILDING TYPE ONE

SHEET NUMBER

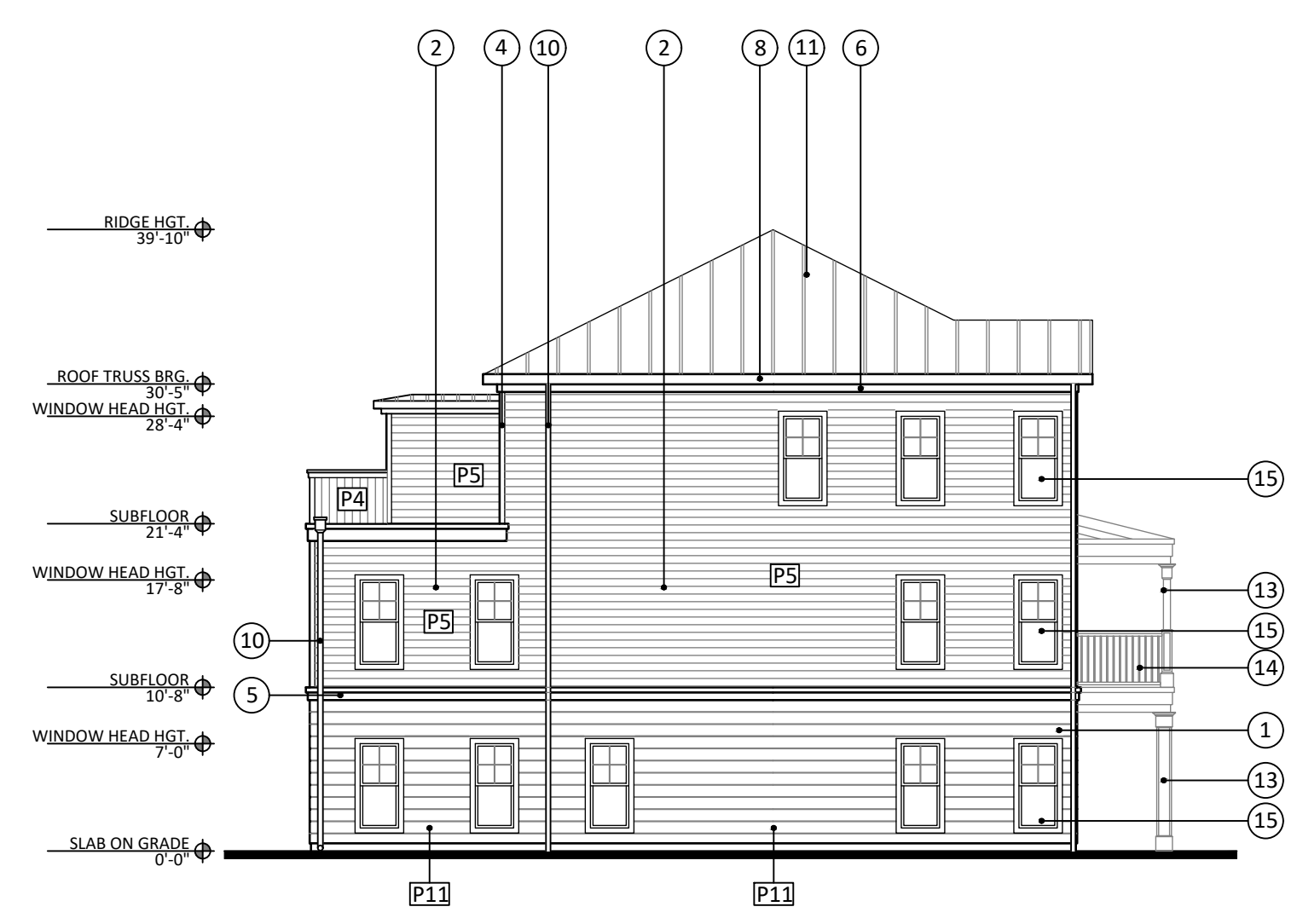
A201

COPYRIGHT 2024 - PLAGEMAN ARCHITECTURE - THESE DRAWINGS ARE INSTRUMENTS OF SERVICE INTENDED FOR THE USE OF THIS PROJECT ONLY - ANY REUSE OR REPRODUCTION FOR ANOTHER PROJECT IS STRICTLY PROHIBITED.

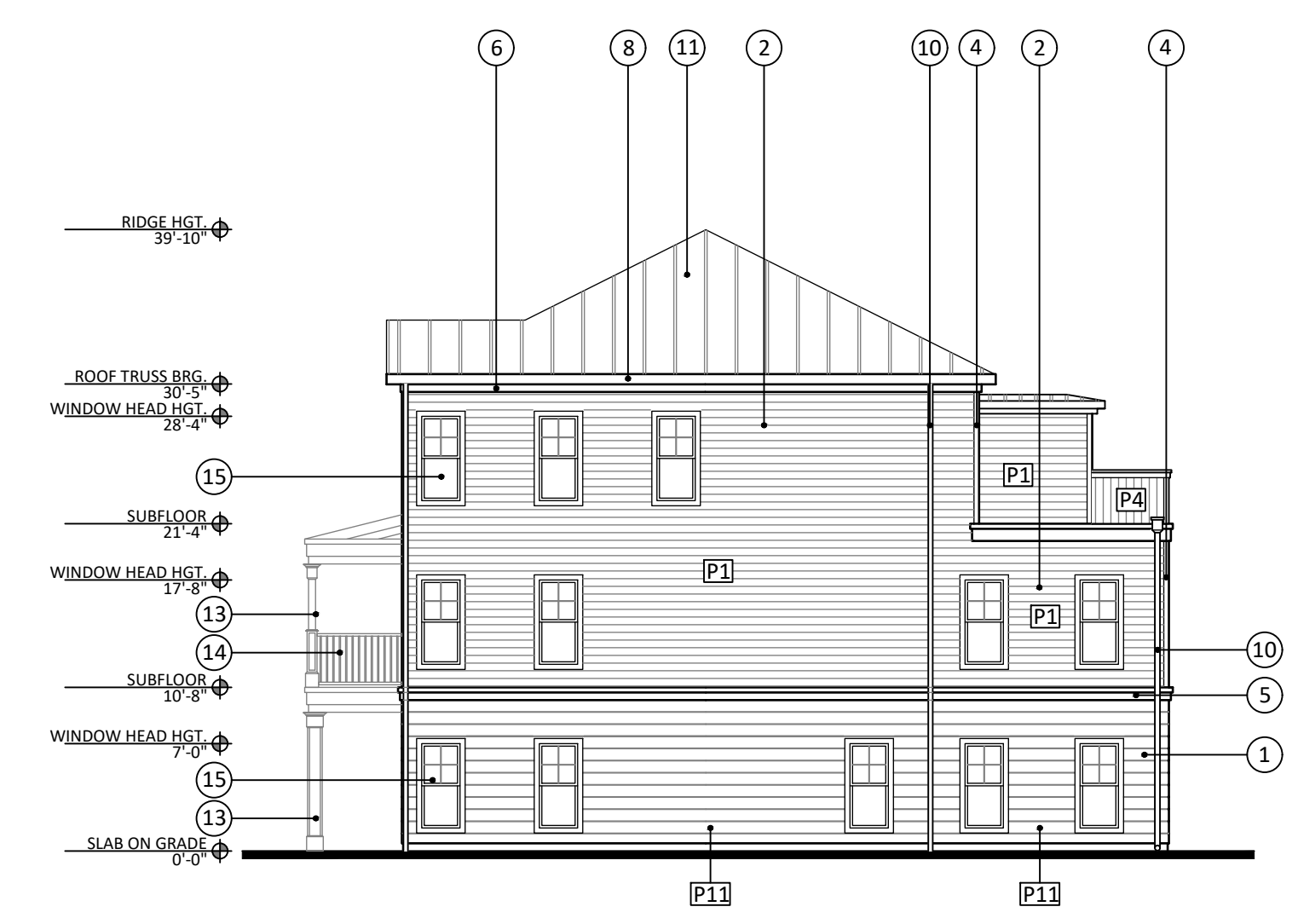
EXTERIOR ELEVATION MATERIALS LEGEND

TAG	DESCRIPTION
1	HARDIE ARTISAN SIDING - SQUARE CHANNEL - PRIMED
2	HARDIE PLANK LAP SIDING: 6" EXPOSURE SELECT CEDARMILL - PRIMED
3	HARDIE PANEL SELECT CEDARMILL - PRIMED W/ 2.5"W X .75" THICK BATTEN PRIMED.
4	5/4 SMOOTH HARDIE TRIM - 4.5" WIDE - PRIMED
5	5/4 SMOOTH HARDIE TRIM - 11.25" WIDE - PRIMED W/ 5/4 SMOOTH HARDIE TRIM - 4.5" WIDE - PRIMED ON TOP. SEE SECTIONS FOR DETAILS
6	5/4 SMOOTH HARDIE TRIM - 5.5" WIDE - PRIMED
7	5/4 SMOOTH HARDIE TRIM - 7.5" WIDE - PRIMED
8	SMOOTH HARDIE FASCIA - PRIMED
9	STRAIT EDGE PANEL HARDIE SHINGLE - PRIMED
10	4" Ø ROUND METAL DOWNSPOUT - WHITE
11	ADVANTAGE LOK - II METAL ROOF BY UNION CORRUGATING COMPANY - SNOW WHITE
12	48" X 4" BRACKET - WHITE (SEE DETAILS)
13	BUILT UP PORCH COLUMN - WHITE - SEE DETAILS
14	WOOD RAILING SYSTEM - WHITE - SEE DETAILS
15	SCHEDULED WINDOW
16	SCHEDULED DOOR
17	SCHEDULED GARAGE DOOR
18	HARDIE PANEL VERTICAL SIDING AND HARDIE TRIM BATTEN BOARDS
19	CLOPAY CANYON RIDGE ELEMENTS GARAGE DOOR - WHITE - ARC3A WINDOW - DESIGN 13
P1	EXTERIOR PAINT - EGGSHELL - SW6213 HALCYON GREEN
P2	EXTERIOR PAINT - EGGSHELL - SW6234 UNCERTAIN GRAY
P3	EXTERIOR PAINT - EGGSHELL - SW7551 GREEK VILLA
P4	EXTERIOR PAINT - EGGSHELL - SW7757 HIGH REFLECTIVE WHITE
P5	EXTERIOR PAINT - EGGSHELL - SW9056 FRENCH MOIRE
P6	EXTERIOR PAINT - EGGSHELL - SW65670 HAUTE PINK
P7	EXTERIOR PAINT - EGGSHELL - SW7603 POOLHOUSE CHAI
P8	EXTERIOR PAINT - EGGSHELL - SW9509 STEAMED CHAI
P9	EXTERIOR PAINT - EGGSHELL - SW9692 COTTON CANDY
P10	EXTERIOR PAINT - GLOSS - SW7757 HIGH REFLECTIVE WHITE
P11	EXTERIOR PAINT - EGGSHELL - SW6253 OLYMPUS WHITE

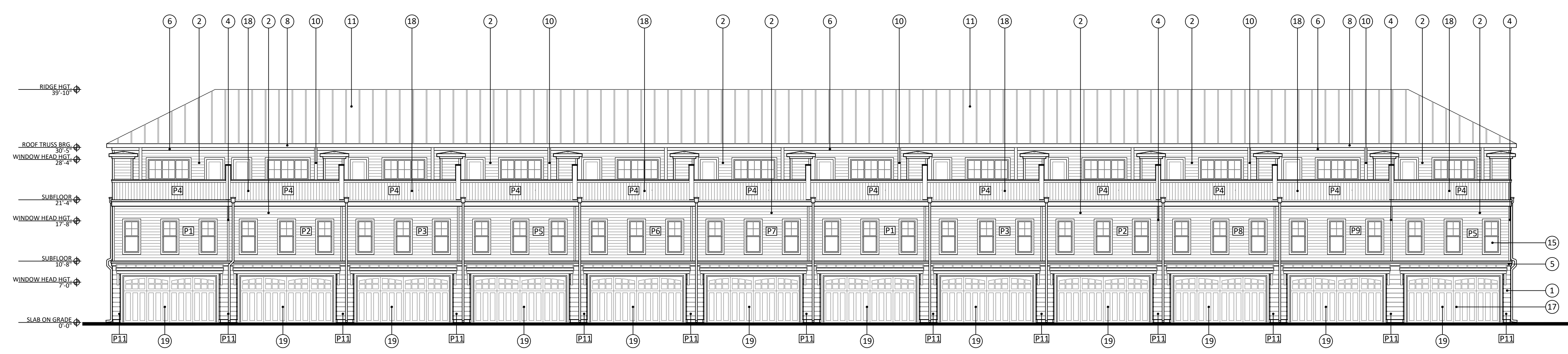
- NOTE:
- ALL EXTERIOR TRIM, COLUMNS, BRACKETS AND RAILINGS TO BE P10 - GLOSS
 - ALL COLORS IN BODY OF BUILDING TO BE EGGSHELL
 - NOT ALL COLORS OR MATERIALS ARE TAGGED IN THESE DRAWINGS. MATERIAL CALL OUTS ARE TYPICAL. COLORS ARE ORGANIZED BY UNIT. INQUIRE IF THERE ARE ANY QUESTIONS ON COLOR PLACEMENT.
 - ALL WINDOW INSTALLATIONS SHALL BE PER MANUFACTURER INSTALLATION AND WATERPROOFING. DO NOT VOID WINDOW WARRANTY BY DEVIATING FROM MANUFACTURERS INSTALLATION REQUIREMENTS.
 - INSTALL ALL SIDING AND FINISHES WITH MANUFACTURER RECOMMENDED GAPS, FLASHING AND CAULKING.
 - KEEP ALL FINISH MATERIALS AWAY FROM FINISHED GRADE PER MANUFACTURERS SPECIFICATIONS



4 EXTERIOR ELEVATION - SIDE
SCALE: 3/32" = 1'-0"



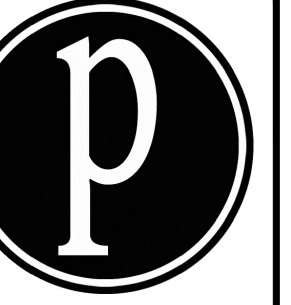
3 EXTERIOR ELEVATION - SIDE
SCALE: 3/32" = 1'-0"



2 EXTERIOR ELEVATION - BACK OF BUILDING
SCALE: 3/23" = 1'-0"



1 EXTERIOR ELEVATION - FRONT
SCALE: 3/32" = 1'-0"



PLAGEMAN ARCHITECTURE
SWANSBORO BURLINGTON

FOR REVIEW ONLY

NOT FOR CONSTRUCTION

CONSTRUCTION DRAWINGS FOR:
BREZZA LOFTS
A TOWNHOME COMMUNITY LOCATED IN WARD FARM TOWN CENTER
SWANSBORO, NORTH CAROLINA

REVISIONS

JOB NUMBER
PA2421

DRAWN BY: (PARCH)

SHEET NAME
EXTERIOR ELEVATIONS
BUILDING TYPE TWO

SHEET NUMBER

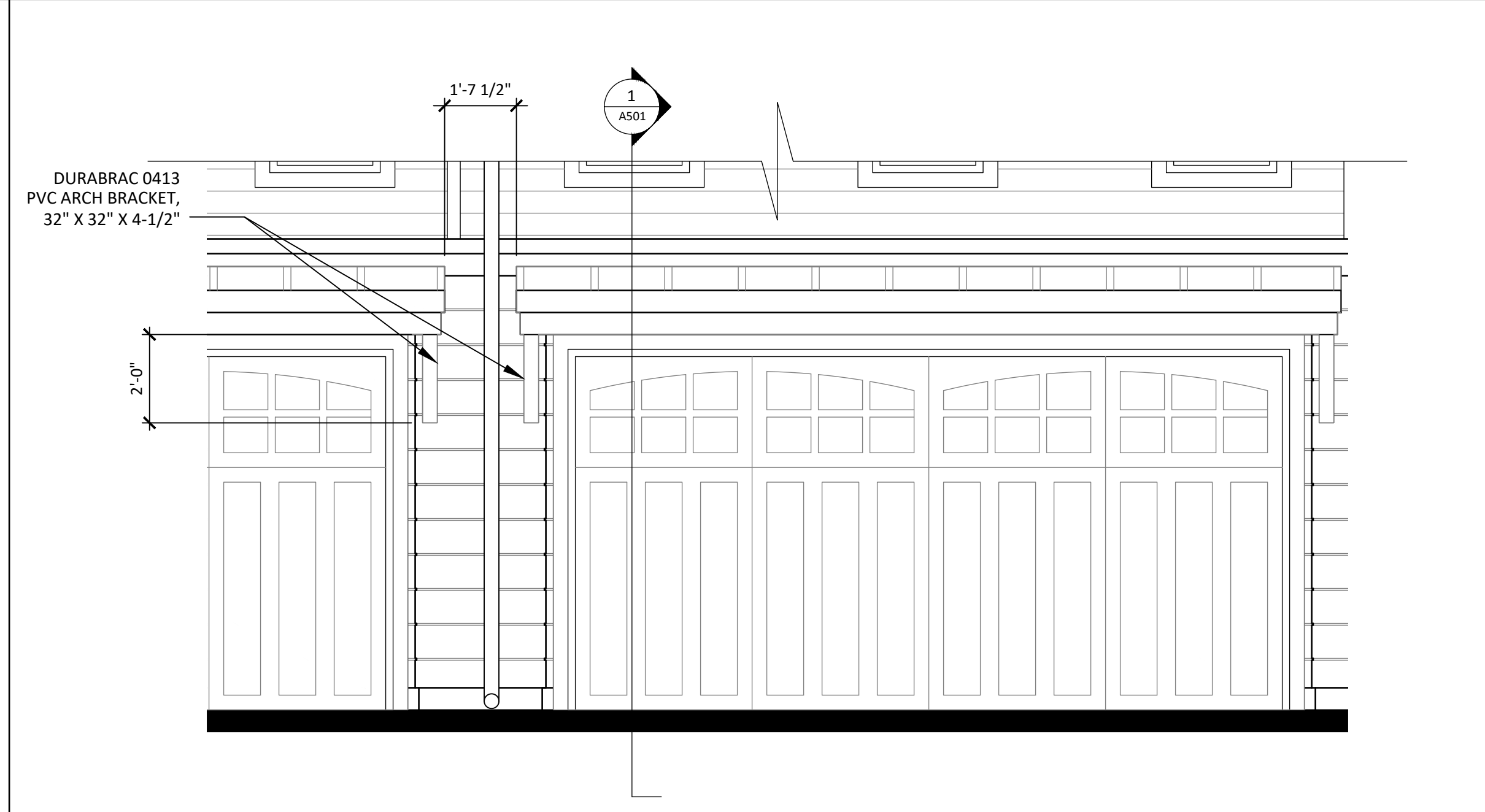
A202

COPYRIGHT 2024 - PLAGEMAN ARCHITECTURE - THESE DRAWINGS ARE INSTRUMENTS OF SERVICE INTENDED FOR THE USE OF THIS PROJECT ONLY - ANY REUSE OR REPRODUCTION FOR ANOTHER PROJECT IS STRICTLY PROHIBITED.

EXTERIOR ELEVATION MATERIALS LEGEND

TAG	DESCRIPTION
1	HARDIE ARTISAN SIDING - SQUARE CHANNEL - PRIMED
2	HARDIE PLANK LAP SIDING: 6" EXPOSURE SELECT CEDARMILL - PRIMED
3	HARDIE PANEL SELECT CEDARMILL - PRIMED W/ 2.5"W X .75" THICK BATTEN PRIMED.
4	5/4 SMOOTH HARDIE TRIM - 4.5" WIDE - PRIMED
5	5/4 SMOOTH HARDIE TRIM - 11.25" WIDE - PRIMED W/ 5/4 SMOOTH HARDIE TRIM - 4.5" WIDE - PRIMED ON TOP. SEE SECTIONS FOR DETAILS
6	5/4 SMOOTH HARDIE TRIM - 5.5" WIDE - PRIMED
7	5/4 SMOOTH HARDIE TRIM - 7.5" WIDE - PRIMED
8	SMOOTH HARDIE FASCIA - PRIMED
9	STRAIT EDGE PANEL HARDIE SHINGLE - PRIMED
10	4" Ø ROUND METAL DOWNSPOUT - WHITE
11	ADVANTAGE LOK - II METAL ROOF BY UNION CORRUGATING COMPANY - SNOW WHITE
12	48" X 4" BRACKET - WHITE (SEE DETAILS)
13	BUILT UP PORCH COLUMN - WHITE - SEE DETAILS
14	WOOD RAILING SYSTEM - WHITE - SEE DETAILS
15	SCHEDULED WINDOW
16	SCHEDULED DOOR
17	SCHEDULED GARAGE DOOR
18	HARDIE PANEL VERTICAL SIDING AND HARDIE TRIM BATTEN BOARDS
19	CLOPAY CANYON RIDGE ELEMENTS GARAGE DOOR - WHITE - ARC3A WINDOW - DESIGN 13
P1	EXTERIOR PAINT - EGGSHELL - SW6213 HALCYON GREEN
P2	EXTERIOR PAINT - EGGSHELL - SW6234 UNCERTAIN GRAY
P3	EXTERIOR PAINT - EGGSHELL - SW7551 GREEK VILLA
P4	EXTERIOR PAINT - EGGSHELL - SW7757 HIGH REFLECTIVE WHITE
P5	EXTERIOR PAINT - EGGSHELL - SW9056 FRENCH MOIRE
P6	EXTERIOR PAINT - EGGSHELL - SW65670 HAUTE PINK
P7	EXTERIOR PAINT - EGGSHELL - SW7603 POOLHOUSE
P8	EXTERIOR PAINT - EGGSHELL - SW9509 STEAMED CHAI
P9	EXTERIOR PAINT - EGGSHELL - SW9692 COTTON CANDY
P10	EXTERIOR PAINT - GLOSS - SW7757 HIGH REFLECTIVE WHITE
P11	EXTERIOR PAINT - EGGSHELL - SW6253 OLYMPUS WHITE

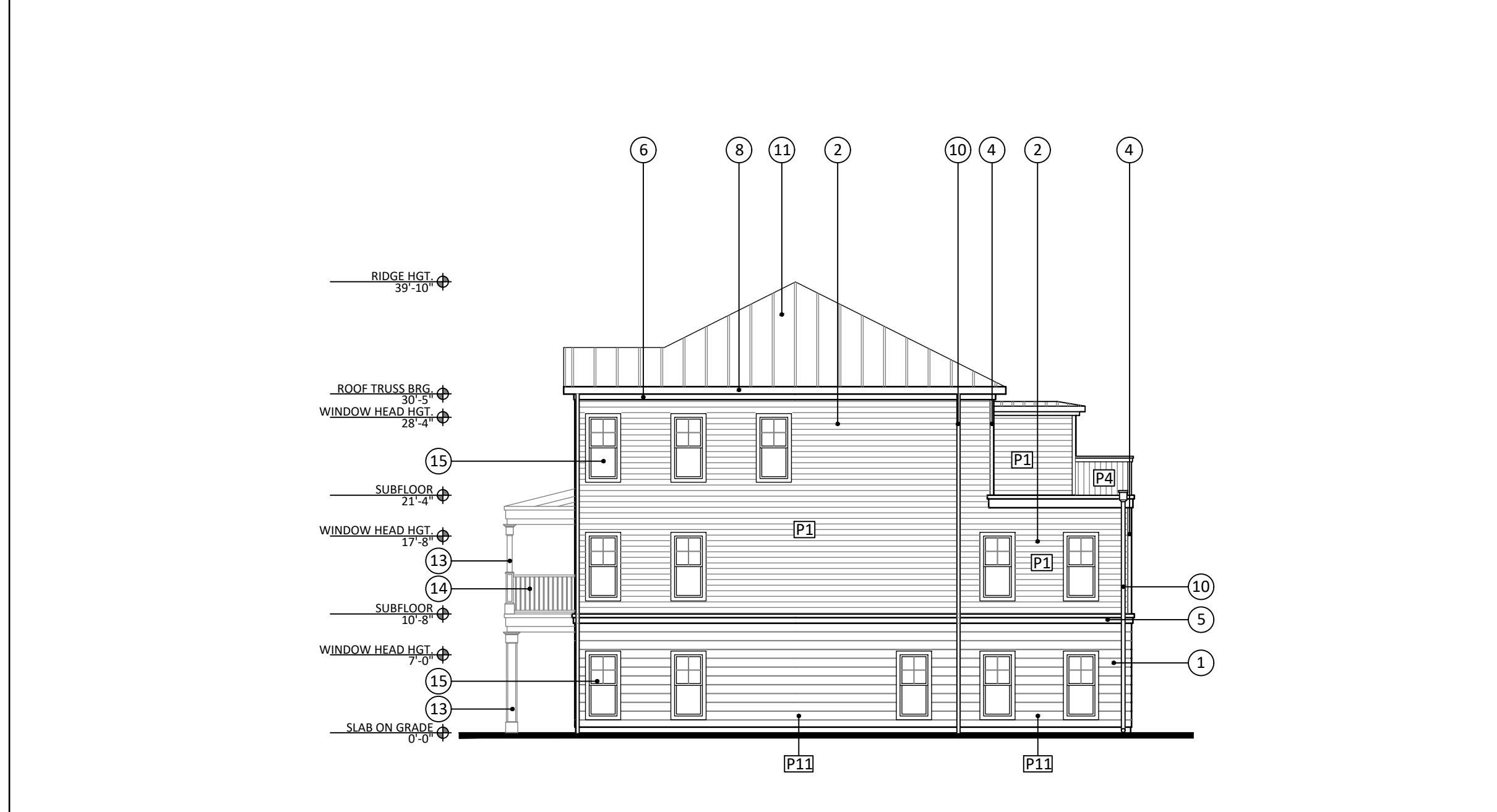
- NOTE:
- ALL EXTERIOR TRIM, COLUMNS, BRACKETS AND RAILINGS TO BE P10 - GLOSS
 - ALL COLORS IN BODY OF BUILDING TO BE EGGSHELL
 - NOT ALL COLORS OR MATERIALS ARE TAGGED IN THESE DRAWINGS. MATERIAL CALL OUTS ARE TYPICAL. COLORS ARE ORGANIZED BY UNIT. INQUIRE IF THERE ARE ANY QUESTIONS ON COLOR PLACEMENT.
 - ALL WINDOW INSTALLATIONS SHALL BE PER MANUFACTURER INSTALLATION AND WATERPROOFING. DO NOT VOID WINDOW WARRANTY BY DEVIATING FROM MANUFACTURERS INSTALLATION REQUIREMENTS.
 - INSTALL ALL SIDING AND FINISHES WITH MANUFACTURER RECOMMENDED GAPS, FLASHING AND CAULKING.
 - KEEP ALL FINISH MATERIALS AWAY FROM FINISHED GRADE PER MANUFACTURERS SPECIFICATIONS



5 GARAGE DOOR AND AWNING ENLARGED VIEW
SCALE: 3/8" = 1'-0"



6 NOT USED
NO SCALE



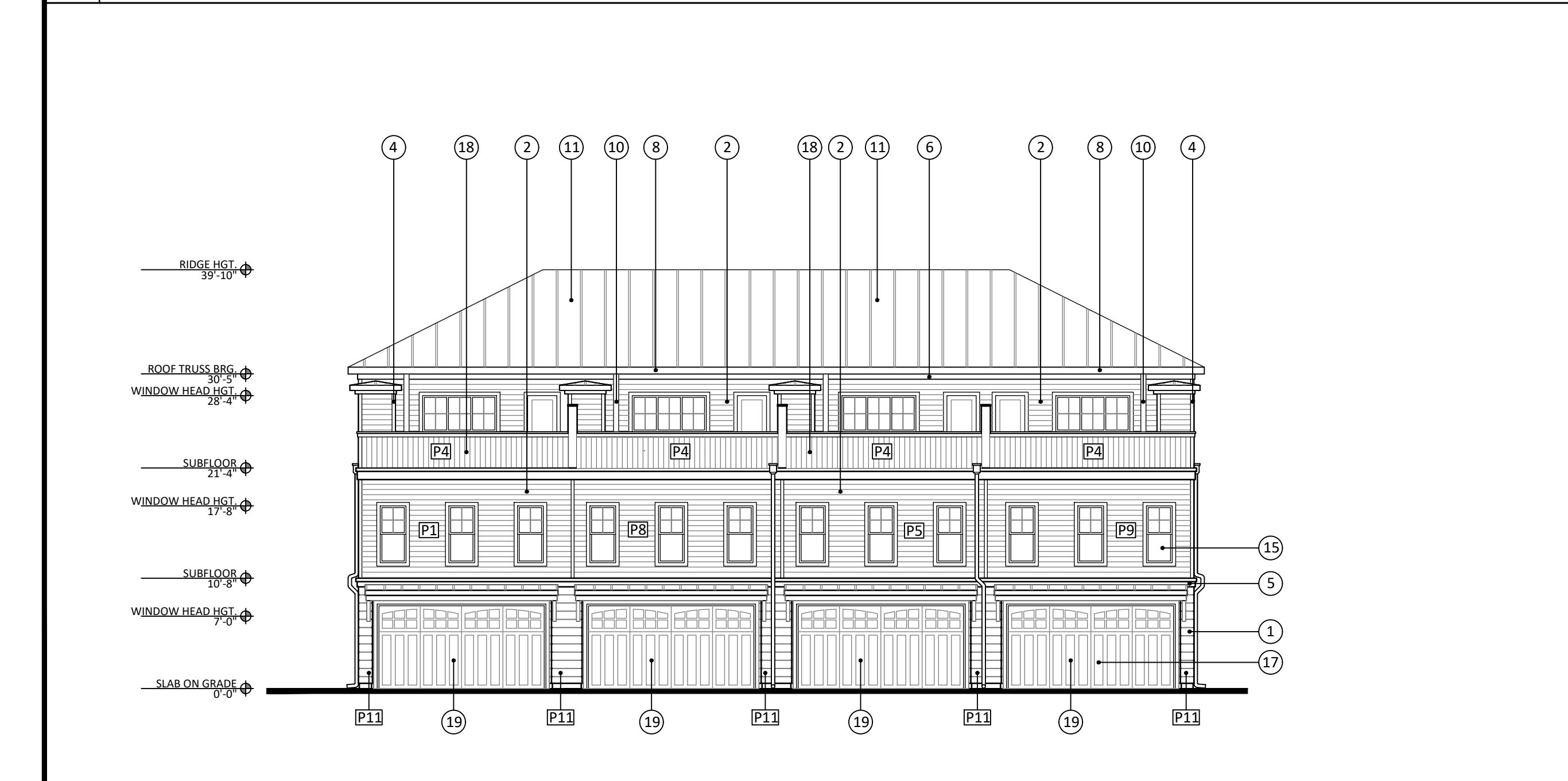
3 EXTERIOR ELEVATION - SIDE
SCALE: 3/32" = 1'-0"



4 EXTERIOR ELEVATION - SIDE
SCALE: 3/32" = 1'-0"



1 EXTERIOR ELEVATION - FRONT
SCALE: 3/32" = 1'-0"



2 EXTERIOR ELEVATION - BACK OF BUILDING
SCALE: 3/32" = 1'-0"











POOL SUBJECT TO CHANGE TO
OTHER TYPE OF AMENITY



POOL SUBJECT TO CHANGE TO
OTHER TYPE OF AMENITY

§ 152.179 Table of Permitted/Special Uses

PERMITTED/ SPECIAL USES	CON	RA	R6	R6SF	R8SF	R10SF	R15SF	R20SF	R40SF	PUD*	MHP	MHS	MHS- 15SF	MHS-O*	O/I	G/E	B1*	B2*	B3*	B2HDO*	MI*
Dwelling, townhouses (see note 37, § 152.180)			S							S							S	S	S		

§ 152.180 NOTES TO TABLE OF PERMITTED/SPECIAL USES. NOTE 37. B-3 TRADITIONAL BUSINESS DISTRICT.

(KK) Note 37. B-3 Traditional Business District. In the B-3 Traditional Business zoning district, the uses “dwelling, multi-family and condominiums”, and “dwelling, townhouses” shall be limited to 20% of the first-floor area. Only parcel ID 1404-16.22 of the Ward Farm Town Center shall be exempt of this restriction. There shall be no limits placed on the use, “Dwelling Located Over a Business”, other than those specified in Note 13.

§152.195 TABLE OF AREA, YARD, SQUARE FOOTAGE AND HEIGHT REQUIREMENTS, B-3 TRADITIONAL BUSINESS.

<i>District</i>	<i>Minimum Lot Size</i>		<i>Minimum Yard Setbacks</i>				<i>Maximum Building Size</i>	
	<i>Min. Sq. Ft. per Bldg Lot (see Note 1)</i>	<i>Min. Width per Bldg. Lot</i>	<i>Interior Side (see Notes 2 and 8)</i>	<i>Corner Side</i>	<i>Front (see Note 3)</i>	<i>Rear</i>	<i>Max. Bldg. Height (see Notes 4 and 5)</i>	<i>Max. Bldg. Gross Square Footage (see Note 9)</i>
B-3 Traditional Business	8,000 sq. ft. for first two units plus 1,975 sq ft per unit thereafter.	25 ft.	0 ft.	5 ft.	5 ft.***	10 ft.	40ft.	40,000 sq. ft.

CAMA Land Use Plan Update- Future Land Use

5

Traditional Town Center (TTC)

Blocks

Block length of no more than 400 feet further promote walkability and discourage automobile use for short trips. Crosswalks and mid-block pedestrian connections should be used throughout.

Parking

Off-street parking requirements for nonresidential uses may be lessened due to the walkable district and availability of on-street, shared or lots for parking. Front-loaded parking is discouraged.

Appropriate Density / Intensity

This district should replicate the densities and intensities of those in downtown to provide an alternative to other housing and retail experiences in Swansboro. The norm should be:

- » Compact residential - Up to eight dwellings per acre single family or 12 for multi-family, with an exception of up to 18 for multifamily for B-3 Zoning.
- » Ground floor retail is encouraged but lobbies and entrances would be allowed.
- » Development of this intensity should employ stormwater control measures with extensive Low Impact Design

§ 152.210 PROCEDURE FOR SPECIAL USE PERMITS.

(A) Special use permits may be issued by the Administrator, after approval by the Board of Commissioners, for the uses as designated in the table of regulations for special uses. Applications shall include all of the requirements pertaining to it as specified in this section. A hearing shall be held, and all interested persons shall be permitted to offer relevant comments. The Town Board of Commissioners shall consider the application and may approve or deny the requested special use permit.

(B) In granting a special use permit, the Board of Commissioners shall give due regard to the nature and state of all adjacent structures and uses, and the districts within which the proposed use is to be located, and shall make written findings of fact concerning the existence or absence of the following criteria:

- (1) The special use is allowed pursuant to § [152.210](#) and meets all the required conditions and specifications, including without limitation, those set out in § [152.211](#).
- (2) The special use will not materially endanger the public health or safety if located where proposed and developed according to the plan as submitted and approved.

(3) The special use will not substantially injure the value of adjoining or abutting property. OR the special use is a public necessity.

(4) The location and character of the special use , if developed according to the plan as submitted and approved, will be in harmony with the area in which it is located. The special use shall demonstrate conformance to the Land Use Plan or other plan in effect at the time and address impacts of the project as required by G.S. §160A-382(b).

(5) Upon the issuance of any special use permit , the Board of Commissioners shall consider whether it is necessary or appropriate to affix conditions thereto for the purposes of protecting neighboring properties and/or the public interest assuring that the use is harmonious with the area, and ensuring that the use is consistent with the spirit of the ordinance, and shall affix to such permit such reasonable and appropriate conditions as it finds are necessary for any of those purposes. If any conditions affixed to any special use permit or any part thereof is held invalid by any competent authority, then said special use permit shall be void.

(C) *Orders of Board of Commissioners* . Upon its determination that all of the criteria set out in this section are met, the Board of Commissioners shall enter a written order with findings of fact and conclusions of law, and shall issue the special use permit as requested or with such conditions as it finds necessary and appropriate pursuant to this section.

(D) Upon its determination that one or more of the criteria set out in this section are not met, the Board of Commissioners shall issue its written order with findings of fact and conclusions of law and shall deny the requested special use permit.

(E) Any special use permit approved or approved with conditions shall be recorded in the office of the Register of Deeds of Onslow County, North Carolina.

(F) All such additional conditions shall be entered in the minutes of the meeting at which the special use permit is granted and also on the special use permit approval, and on the approved plans submitted therewith. All specific conditions shall run with the land and shall be binding on the original applicant for the special use permit , the heirs, successors, and assigns. In order to ensure that such conditions and requirements for each special use permit will be fulfilled, the petitioner for the special use permit may be required to enter into a contract with the Town of Swansboro providing for the installation of the physical improvements required as a basis for the issuance of the special use permit . Performance of said contract shall be secured by cash or surety bond which will cover the total estimated cost of the improvements as determined by the Town of Swansboro; provided, however, that said bond may be waived by the Town Board of Commissioners within its discretion.

(G) In addition to the conditions specifically imposed by the Town Board of Commissioners , special uses shall comply with the height, area, and parking regulations of the zone in which they are located (no variances from requirements within zoning ordinance are allowed).

(H) In the event of failure to comply with the plans approved by the Board of Commissioners or with any other conditions imposed upon the special use permit , the permit shall thereupon immediately become void and of no effect. No building permits for further construction nor a certificate of compliance under this special use permit shall be issued, and the use of all completed structures shall immediately cease and such completed structures not

thereafter be used for any purpose other than a use-by-right as permitted by the zone in which the property is located.

(I) Minor modifications to special use permits that do not involve a change in the uses permitted or the density of overall development permitted may be reviewed and approved administratively. Any other modification or revocation of a special use permit shall follow the same process for the original approval by the Town Board of Commissioners .

(Ord. 2005-O3, passed 3-15-2005; Am. Ord. 2006-11, passed 4-18-2006; Am. Ord. passed 6-16-200; Am. Ord. 2010-O20, Am. Ord. passed 7-20-2010; Am. Ord. passed 1-21-2014; Am. Ord. 2021-O3, passed 5-24-2021)

§ 152.211 Specific Criteria for Certain Special Uses

(D) *Use - dwelling, townhouses.*

(1) *Special use district:* R6, PUD, B1, B2, and B3.