



# Planning Board Agenda

## Town of Swansboro

Tuesday, March 03, 2026

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### I. Call to Order

### II. Approval of Minutes

- a. February 12, 2026 Special Meeting Minutes

### III. Business

- a. Election of Chair, and Vice Chair

- b. Brezza Lofts Special Use Permit- Lot 8 Ward Farm Town Center

*Presenter: Rebecca Brehmer, CFM, CZO- Town Planner*

Lot 8 of the Ward Farm Town Center is a 1.22-acre parcel and is zoned B-3, Traditional Business. The applicant is asking to construct a mixed-use development of condos and retail space which is permitted in B-3 zoning with issuance of a Minor Special Use Permit.

*Recommended Action: Motion to recommend approval, denial, or to table to the Board of Adjustment the Minor Special Use Permit request based on the standards outlined in the UDO.*

### IV. Chairman/Board Thoughts/Staff Comments

### V. Public Comments

### VI. Adjournment

**Town of Swansboro  
Planning Board  
Special Meeting Minutes  
February 12, 2026**

Item II - a.

**Call to Order**

The meeting was called to order at 5:31pm. Board members in attendance were Christina Ramsey, Tom Pieratti, Sherrie Hancock, Doug Rogers, Frank Tursi and Jamie Petani. Frank Jones was absent.

**Approval of Minutes**

On a motion by Mr. Pieratti, seconded by Mr. Rogers the December 2, 2025, Regular Meeting Minutes were unanimously approved.

**Business**

***Rezoning Request- Parcel ID 012535 (Swansboro Loop Road)***

Planner Rebecca Brehmer reviewed that Pinnacle Construction and Development, LLC, on behalf of property owners, Family Freedom, LLC had submitted a rezoning request for a property on Swansboro Loop Road from RA - Residential/Agricultural to R10SF - Residential. The property was located in Swansboro's ETJ, and was further identified as tax parcel ID 012535, and the total acreage requested for rezoning was +/- 1 acre.

Planner Brehmer shared that the applicant was under contract to purchase the property, contingent upon approval of the rezoning request. She explained that the applicant planned to subdivide the property to construct two to three single-family homes, which would not have been permitted under the existing RA zoning due to the minimum lot size requirement of 1.5 acres. She further noted that the CAMA Land Use Plan designated the property as Rural Agricultural, emphasizing the preservation of existing agricultural lands. Based on this designation, she stated that the rezoning request did not appear to be consistent with the Future Land Use Plan.

The application's history was also reviewed. She stated that the application was first heard by the Planning Board at its December 2, 2025, regular meeting, at which time the Planning Board did not recommend approval of the rezoning request to the Board of Commissioners due to inconsistency with the Future Land Use Plan. The request was subsequently reviewed at the January 27, 2026, regular meeting of the Board of Commissioners. At that meeting, the Board of Commissioners approved a motion to return the application to the Planning Board for further review and a new recommendation after receiving information that a Planning Board member's vote at the December 2, 2025, meeting had been made in error.

The Board engaged discussion regarding the relationship between the current zoning and the Future Land Use Plan. The discussion centered on the tension between adhering to the outdated plan and recognizing existing development patterns in the surrounding area.

Mr. Pieratti stated that the Future Land Use Plan was outdated, explaining that large areas designated as agricultural on the 2019 plan had since been rezoned for residential use and no longer reflected existing conditions or current zoning. He further emphasized that denying the rezoning request for the one-acre parcel, given the extent of surrounding development, would have been a disservice to the town and would have signaled an unwillingness to accommodate reasonable change or development.

Mr. Tursi stated that the request presented a difficult decision, noting that although the property was adjacent to residential zoning, those designations had resulted from prior amendments to the Land Use Plan. He explained that the 2019 Land Use Plan update had been a lengthy process involving extensive public input, while later changes had been made through board action. Mr. Tursi emphasized that the Board had to decide whether to continue approving incremental changes inconsistent with the plan or to adhere to it as adopted and to recommend denial based on that inconsistency.

On a motion by Mr. Tursi, seconded by Mrs. Hancock, the rezoning request for Parcel ID 012535 (Swansboro Loop Road) was recommended for denial to the Board of Commissioners along with finding that it was not consistent with the Comprehensive Plan. The motion passed 5:1.

Ayes: Mr. Tursi, Mrs. Ramsey, Mrs. Petani, Mr. Rogers, Mrs. Hancock

Noes: Mr. Pieratti

### **Public Comments**

Citizens were offered an opportunity to address the Board. No comments were made.

### **Adjournment**

On a motion by Mr. Pieratti, seconded by Mr. Tursi, the meeting adjourned at 5:54pm.



# Planning Board Meeting Agenda Item Submittal

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Item To Be Considered: **Brezza Lofts Special Use Permit- Lot 8 Ward Farm Town Center**

Board Meeting Date: **March 3, 2026**

Prepared By: **Rebecca Brehmer, CFM, CZO- Town Planner**

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**Overview:** Lot 8 of the Ward Farm Town Center is a 1.22-acre parcel and is zoned B-3, Traditional Business. The applicant is asking to construct a mixed-use development of condos and retail space which is permitted in B-3 zoning with issuance of a Minor Special Use Permit.

Lot 8 of the Ward Farm Town Center was granted a Special Use Permit in October of 2024 for the construction of 16 Townhomes. According to the applicant, after extensive market research and local interest in the project it has been determined that the best and highest use for this portion of Ward Farm Towne Center is to construct a mixed-use development instead. Given that this is a new use, a new Minor Special Use Permit will have to be granted.

Prior to applying for the Special Use Permit and Minor Special Use Permit, the applicant completed the process for text amendments to the UDO to make this project comply within the requirements needed for the Special Use Permit process and development guidelines outlined in the UDO. The Brezza Lofts Site Plan has also gone through the Technical Review Committee which consists of department heads on Staff as well as representatives from ONWASA and made all necessary changes requested to comply with zoning, building code, fire code, etc.

As outlined in the application package, the mixed-use development would consist of 13 for sale condominiums over approximately 13,200 +/- square feet of for lease commercial space. This project is consistent with Town Ordinance Section 152.210 Procedure for Special Use Permits and appears to be consistent with the Future Land Use Map found in the CAMA Land Use Plan Update which labels Ward Farm as a Traditional Town Center.

**Background Attachment(s):**

- 1. Brezza Lofts Minor Special Use Permit Application
- 2. Elevations & Site Plan
- 3. Applicable Ordinance Section

**Recommended Action:** Motion to recommend approval, denial, or to table to the Board of Adjustment the Minor Special Use Permit request based on the standards outlined in the UDO.

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**Action:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TOWN OF SWANSBORO  
Special Use Application

Mixed

Item III - b.

APPLICANT'S NAME Proforma WARD FARM lot 8, LLC / John PLAGEMAN

MAILING ADDRESS 401 Point Drive - Swansboro, NC Phone # 919-619-5012

OWNER'S NAME WARD FARM LLC / Paul Williams

OWNER'S ADDRESS ~~100 #99 WARD Road~~ 211 WILD OAK DR - Swansboro Phone # 910-389-5480

TAKE NOTICE THAT THE UNDERSIGNED HEREBY PETITIONS THE BOARD OF COMMISSIONERS OF THE TOWN OF SWANSBORO FOR A SPECIAL USE AS DESCRIBED BELOW AND AS ALLOWED BY ARTICLE 10 OF THE UNIFIED DEVELOPMENT ORDINANCE:

A NEW mixed use BUILDING of <sup>13</sup> ~~the~~ Condominiums (for SALE) and ~~13,200~~ <sup>13,200</sup> ~~sq ft~~ <sup>sq ft</sup> (a SF of) for LEASE Commercial Space (No VAPE or tobacco stores)

ON THE PREMISES LOCATED AT: 200 WARD Road, Swansboro, NC

Pin: 53640517676 / LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ MAP 152288 = PARID # \_\_\_\_\_

THE PROPERTY IS ZONED: B-3

THIS 13 DAY OF February, 2026.

APPLICANT'S SIGNATURE John Plegeman

DATE FILED 13 FEB 2026

RECIPIENT SIGNATURE Rebecca Brehmer

ZONING ADMINISTRATOR Rebecca Brehmer

APPLICANT OR APPLICANT REPRESENTATIVE MUST BY PRESENT FOR AN APPLICATION TO BE HEARD. IF SOMEONE OTHER THAN THE APPLICANT WILL BE THE REPRESENTATIVE, THE FOLLOWING MUST BE COMPLETED.

I /We Paul E. Williams am /are the owner(s) of the property located at 200 WARD Road - Swansboro, NC. I /We hereby authorize John PLAGEMAN to appear my behalf in order to ask for a special use permit at this location. I /We understand that the special use permit, if granted, is permanent and runs with the land unless otherwise conditioned.

Paul E. Williams \_\_\_\_\_  
Owner Date 2/13/2026

\_\_\_\_\_  
Owner Date \_\_\_\_\_

KETRA SWAIN  
NOTARY PUBLIC  
Onslow County  
North Carolina  
My Commission Expires April 10, 2029

Onslow County, North Carolina

I certify that the above person(s) personally appeared before me this day, each acknowledging to me that he/she voluntarily signed the foregoing document for the purpose stated herein

Date: 02/13/2026

Ketra Swain  
Notary Public KETRA SWAIN

(Official Seal)

**SPECIAL USE PERMIT APPLICATION CHECKLIST**

**\*STOP\***

**If the following items are not included in your application submittal, your application will not be accepted. Please note that this is not a comprehensive list; there may be other items required following the review of your application.**

- Fee(s) as prescribed by the current Town of Swansboro [Fee Schedule](#)
- Application submitted at least 17 days prior to the next Planning Board meeting
- Application must be filled out completely
- Owner affidavit on application must be completed if applicant is not the property owner

*NEED this written*

- A narrative describing the proposed use of the property. This should include proposed hours of operation, number of employees, etc. Items 1-4 under [Section 152.210](#) (B) of the Unified Development Ordinance (UDO) will also need to be addressed in this narrative.

*Print Appraisal*

A report from a licensed real estate appraiser to address finding #3 on value is required

*Drawings Plans*

- A site plan depicting all existing and proposed structures, proposed outdoor dining areas, existing and proposed parking areas and circulation, proposed signage locations, utilities including hydrant locations, etc. is required with all applications. A comprehensive list can be found in [Appendix IV](#) to the UDO

*Print 50% Set Back and HEUR CEUS & Plans*

- For new construction, or if the proposed cost of renovations to the structure exceed 50% of the building value per the Onslow County Tax Office, the [Building Design and Compatibility](#) standards of the UDO will apply, and detailed building elevations demonstrating compliance with these standards

must be included. A private appraisal may be provided in lieu of the documented tax value

- The [Parking](#) standards will apply whenever there is new construction, when any principal building is enlarged or increased in capacity by adding dwelling units, guest rooms, seats, or floor area, or when there is a conversion from one type of use or occupancy to another. The number of spaces, dimensions, proposed layout, and circulation pattern need to be depicted on the site plan
- The [Landscaping Regulations](#) will apply to all new or changed uses of land, buildings, and structures and to any use of building or structure which sits idle more than 180 consecutive days or is abandoned, except for those uses exempted in sections (C)(1) through (C)(3) under [Section 152.525](#). A landscaping plan must be included with the application when required
- The [Lighting](#) standards of the UDO apply to any fixtures proposed to be installed. A lighting plan should be included to demonstrate compliance with the ordinance standards
- [Sidewalks](#) are required for property located in Town Limits when the development of vacant property occurs, the redevelopment of property occurs, or when there are substantial additions to property.

Additionally, sidewalks are required in the Extraterritorial Jurisdiction (ETJ) when the development or redevelopment of vacant commercial property occurs; provided that the development involves the razing, dismantling, or removal of all principal structures existing on a tract of land substantially to ground level. See [Section 152.180](#), Note 5

Proposed sidewalks must be shown on the site plan

  
 \_\_\_\_\_  
 Applicant Signature

2/12/2026  
 Date



TOWN OF SWANSBORO  
 601 W. CORBETT AVE  
 SWANSBORO, NC 28584

Receipt Number:

R00020067

Cashier Name:

Item III - b.

Terminal Number:

1

Receipt Date: 2/13/2026 11:37:45 AM

John P Plageman  
 Cheryl W Plageman  
 401 Point Dr  
 Swansboro, NC 28584-9635

<b>Trans Code: Miscellaneous</b>	<b>Name: John P Plageman</b>	<b>\$400.00</b>
Product: Planning & Zoning Fees	Amount: 400.00	
Ward Farm/Brezza Loft Minor Special Use Permit		
	<b>Total Balance Due:</b>	<b>\$400.00</b>
Payment Method: Check	Reference: 3084	Amount: \$400.00
Payor: John P Plageman		
	<b>Total Payment Received:</b>	<b>\$400.00</b>
	<b>Change:</b>	<b>\$0.00</b>



February 16, 2026

Rebecca Brahmer  
Planner  
Town of Swansboro  
601 W. Corbett Avenue  
Swansboro, NC 28584

RE: Project Narrative for Minor Special Use for Brezza Lofts Mixed Use

Dear Rebecca,

Thank you for helping me navigate the minor special use process as it relates to Brezza Lofts Mixed Use located on Lot 8 of Ward Farm Towne Center. As you know, we are currently approved to build 16 townhomes on this lot. Through extensive market research and local interest in the project it has been determined that the best and highest use for this portion of Ward Farm Towne Center is to construct 13 for sale condominiums to be built over approximately 13,200 +/- square feet of for lease commercial space. The purpose of this letter is to provide a project narrative as well as address Items 1-4 under Section 152.210 (B) of our UDO.

### **Project Narrative**

Brezza Lofts is designed to be an extension of our beloved Historic Downtown Swansboro. The building uses the color pallets found in the Historical Downtown color charts as well as size and scale. The building will be a (2) story structure with residential condominiums on the first and second floor. There will be approximately 13,200 +/- for-lease commercial space on the ground floor as well. This project will also provide 13 golf cart parking garages clustered together in one structure.

We have accommodated the zoning requirements for B3 zoning designation as shown on the civil and architectural plans.

**Items 1-4 of Section 152.210 (B)**

Item #1: Rebecca, as I understand from the last round of approvals, you will provide this affirmation during the public meetings, correct?

Item #2: As the architect of the project, I can attest that this project will not materially harm the or endanger the health safety and welfare of the public in that it meets all building codes and uses and is in line with the proposed mixed use nature of the overall development which has been embraced positively by the Town of Swansboro.

Item #3: Please see the included appraisal from Realty Services of Eastern Carolina, Inc.

Item #4: I believe you will need to speak to this as well, but, as a citizen of Swansboro and an architect, this project will enhance the neighborhood and is in harmony with its surroundings as an extension of the historic downtown.

Thanks again for your help.

Sincerely,



John Plageman, AIA, NCARB  
Manager  
Proforma Studios

**REALTY SERVICES OF EASTERN CAROLINA, INC.**

*Appraisers, Consultants and Brokers*

*www.realtyservicesec.com*

Item III - b.

Parker D. Howard  
parker.howard@realtyservicesec.com  
Office (252) 633-6484, Ext. 4  
Cell (910) 548-8584

Suzanne H. Nelson, MAI  
suzanne.nelson@realtyservicesec.com  
Office (252) 633-6484, Ext. 2  
Cell (910) 376-1874

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Post Office Box 15069 (28561-5069)  
1723 S Glenburnie Road  
New Bern, NC 28562

February 26, 2026

Swansboro Planning Board  
Swansboro Board of Commissioners  
601 W. Corbett Avenue  
Swansboro, NC 28584

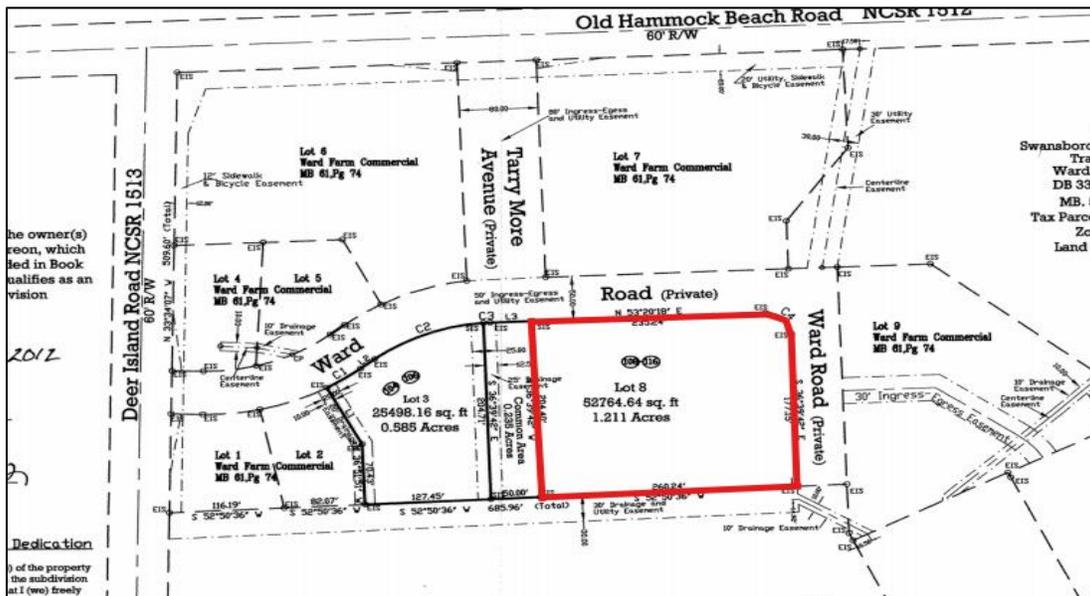
*Via email*

RE: Proposed Brezza Lofts at Ward Farm Town Center  
200 Ward Road  
Swansboro, Onslow County, North Carolina

The purpose of this report is to analyze the impact, if any, that the proposed Brezza Lofts at Ward Farm Town Center may have on surrounding properties. The proposed use will be located along Ward Road in Swansboro, Onslow County, North Carolina. The subject is further identified as Tax Parcel No. 152288. The property is currently under the ownership of Ward Farm, LLC. The Tax/GIS Aerial is provided below for convenience.

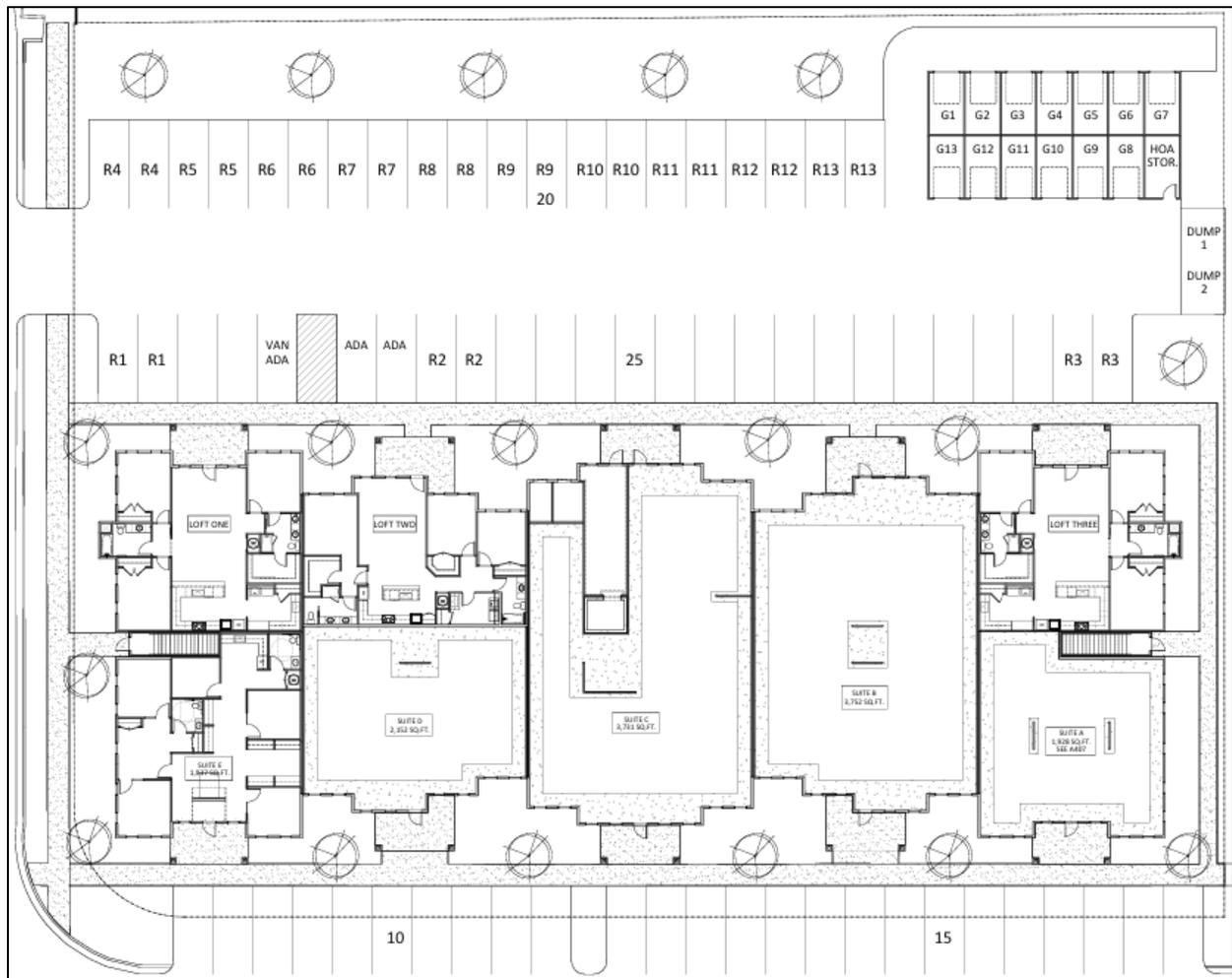


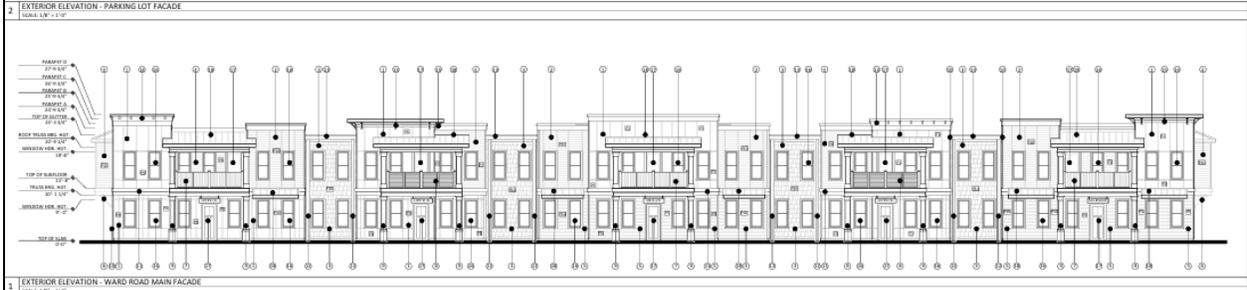
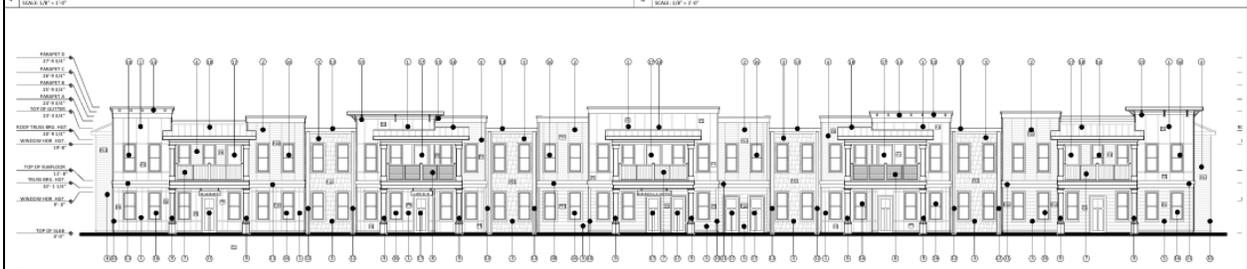
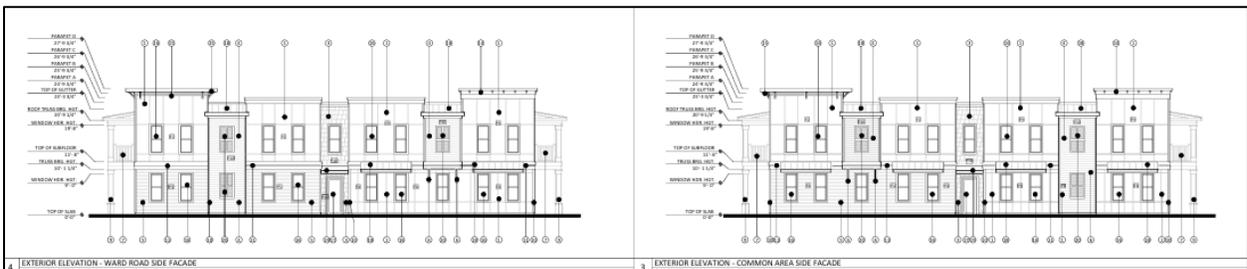
The subject property is identified as Lot 8 within Ward Farm Commercial Subdivision. Ward Farm Commercial Subdivision is an 11.41-acre tract designed and developed for 9 commercial lots. The subdivision is located on the southeast side of Old Hammock Road providing convenient access to Corbett Avenue (NC Highway 24) the main traffic artery in Swansboro. Lots 1-8 are currently vacant, and a portion of Lot 9 is improved with a 2-story multi-tenant office building and related site improvements.



The subject parcel containing 1.211 acres is proposed to be designed and developed for Brezza Lofts at Ward Farm Town Center. Upon completion, Brezza Lofts will consist of a 2-story mixed-use building, a golf cart storage building, and related site improvements. The mixed-use building will contain 36,450 square feet and is planned for five commercial units and thirteen residential units. The ground floor will feature all five commercial units along with three residential units, while the second floor will consist of ten residential units. The golf cart storage building will provide thirteen individual garages designated for residential unit occupants, and an HOA storage garage. Related site improvements will include two dumpster pads, concrete walks, landscaping, and asphalt-paved parking (70 Spaces).

The Site Plan for the proposed project is provided below for convenience.



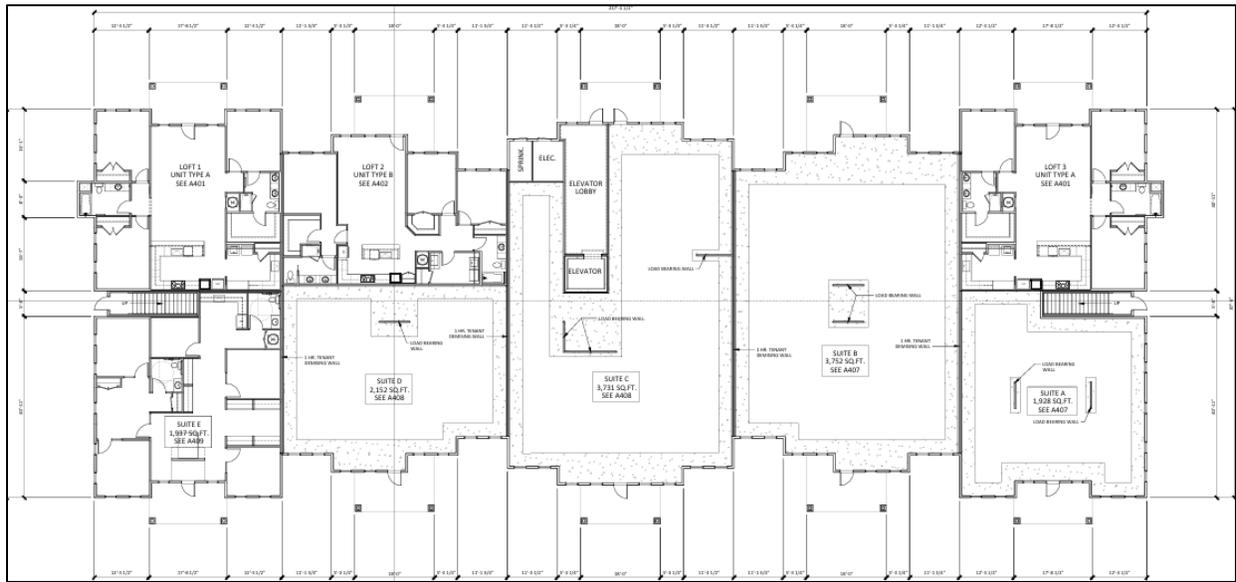


The basic physical construction consists of a reinforced concrete slab floor system. The wood-framed walls will be covered with Hardie siding, windows will be double hung in vinyl clad and the gable/hip design roof will have metal covering.

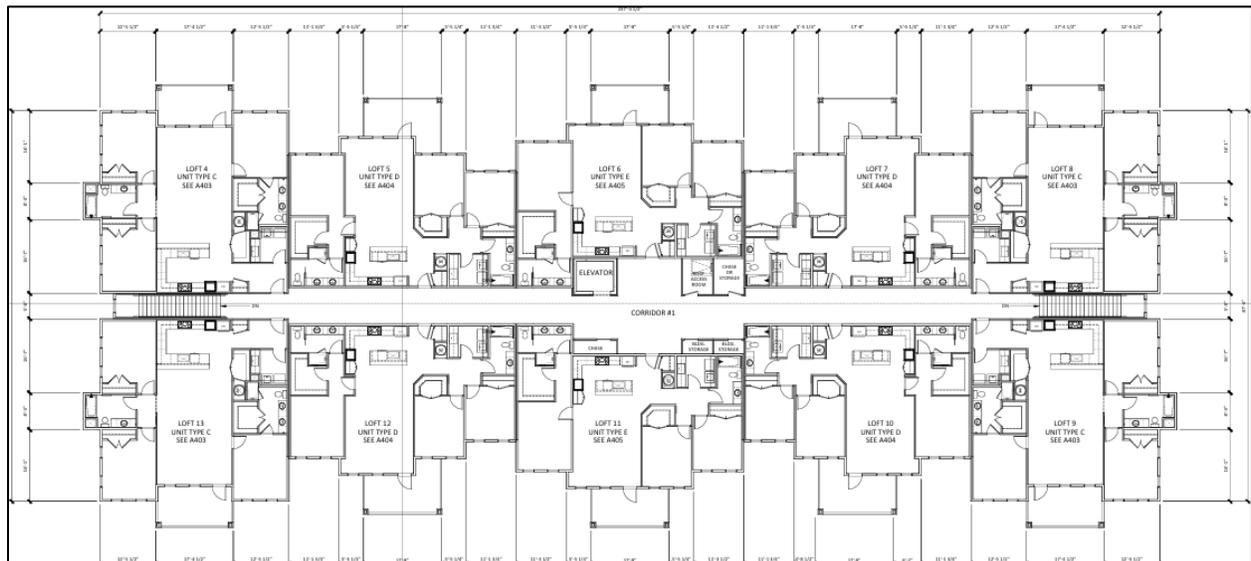
As proposed, the ground floor will consist of five commercial units and three residential loft units. The commercial spaces will range in size from approximately 1,928 square feet to 3,752 square feet and are intended to be delivered in a condition allowing future tenants to upfit the interior layouts as needed. The residential component includes a total of thirteen loft-style units, with three located on the ground floor and ten on the second floor. The building includes five loft layout types (Types A through E), which vary in size from

approximately 1,490 to 1,610 square feet but maintain a consistent functional design. Each loft unit is comprised of three bedrooms, two bathrooms, a living room, full kitchen, dining area, laundry room, and a private outdoor patio/porch, with differences limited to interior configuration rather than room count. The residential unit mix includes two Type A units, one Type B unit, four Type C units, four Type D units, and two Type E units. Access to the second-floor residential units is provided via an elevator and interior stairwells. Copies of the Floor Plans are provided for convenience.

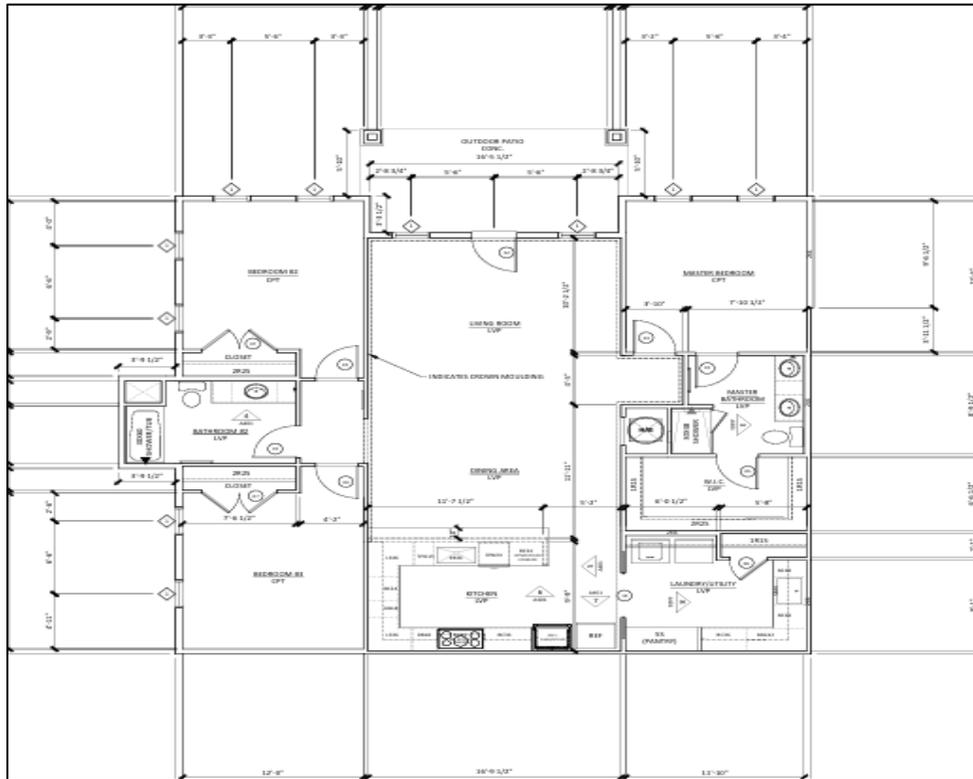
### First Floor



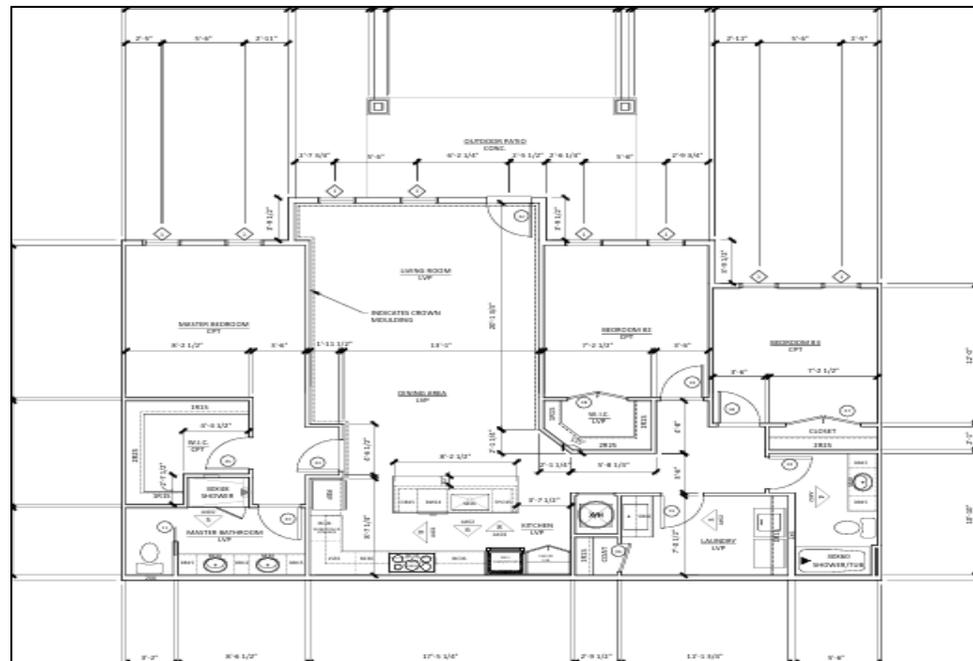
### Second Floor



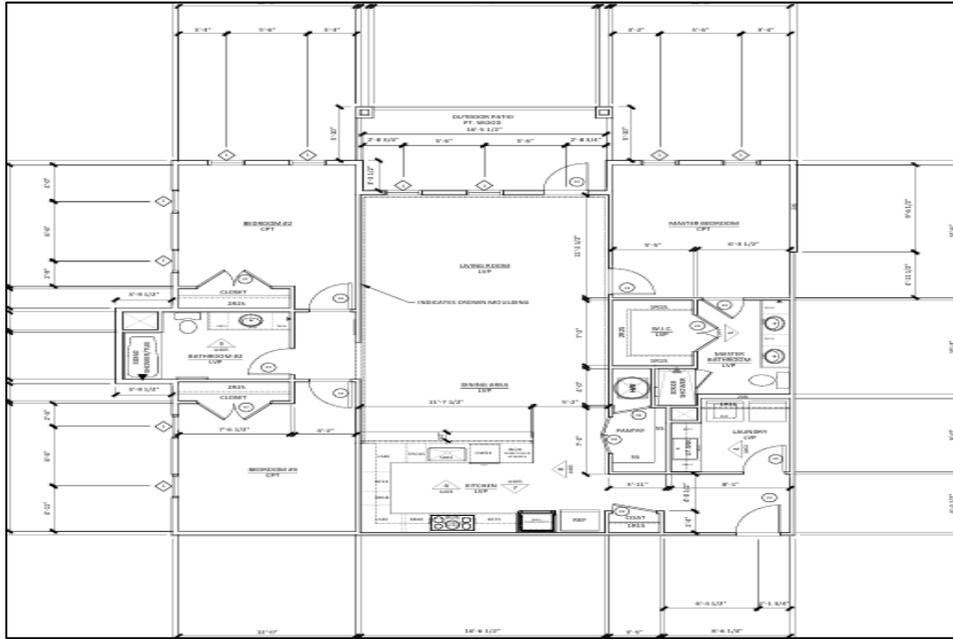
### Unit Type A



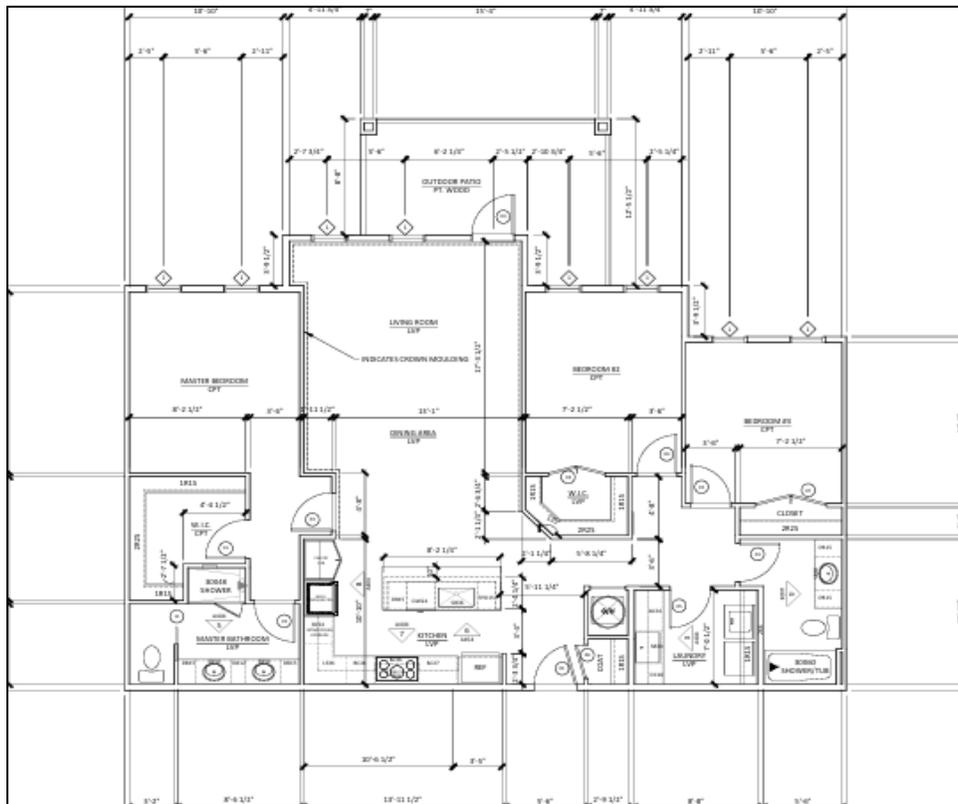
### Unit Type B



### Unit Type C



### Unit Type D





Village West is a recently developed mixed-use condominium community located in Emerald Isle, North Carolina, and serves as a relevant comparable due to its integrated commercial and residential design within a similar coastal market environment. The development consists of approximately 11 ground-floor commercial condominium units and 28 residential condominium units, with the residential units varying in size and interior layout. Constructed within the past several years, Village West reflects contemporary mixed-use development standards and includes shared amenities such as a community pool, common outdoor areas, and on-site parking, along with convenient access to nearby retail, dining, and public beach access.



While recent sales of immediately adjoining parcels were not available for direct comparison, resale activity within Village West over the past several years, including both residential and commercial condominium transactions, indicates continued market participation and acceptance of the mixed-use format. These transactions are presented for market context and do not indicate any value suppression attributable to the proximity of commercial uses.

Tax Parcel No.	Address	Sale Date	Sale Price
538310463265000	9011 Village West Dr	3/9/2023	\$614,000
		8/22/2025	\$770,000
53831046517800F	201 Islander Dr	8/12/2021	\$529,000
		1/18/2024	\$850,000
53831046419400I	9002 Louise Ave	9/24/2021	\$419,000
		6/20/2024	\$655,000
53831046417400J	9004 Louise Ave	8/30/2021	\$419,000
		9/6/2023	\$630,000
53831046414300K	9004 Louise Ave	10/15/2021	\$419,000
		3/15/2024	\$669,000
538310463170000	9008 Louise Ave	6/27/2022	\$750,000
		10/10/2025	\$990,000
538310462068000	9012 Louise Ave	6/3/2022	\$650,000
		5/17/2024	\$850,000
53831046514400G	201 Islander Dr	8/12/2021	\$503,000
		11/3/2023	\$820,000
538310465165007	201 Islander Dr	4/6/2022	\$300,000
		3/31/2025	\$365,000

In addition, a review of assessed values for surrounding properties indicates that values have remained stable or increased since development, suggesting no measurable negative impact associated with the project.

Taken together, the observed market behavior at Village West supports the conclusion that similarly scaled mixed-use developments in comparable coastal markets do not result in substantial injury to adjoining or nearby property values.

The Lookouts in The Grove is a mixed-use community developed around 2016, located in Atlantic Beach, North Carolina, and represents a relevant comparable due to its integrated commercial and residential design within a coastal market setting. The development consists of 6 ground-floor commercial condominium units and 23 residential units, comprised of a mix of condominiums and single-family residences, with varying sizes and layouts. The community is situated in the area commonly referred to as The Circle, which serves as a central hub where the Atlantic Beach Causeway intersects with the island's main street network. The town of Atlantic Beach has experienced increased redevelopment of existing sites for both commercial and residential use over the past several years, reflecting continued market demand for mixed-use projects in this area.



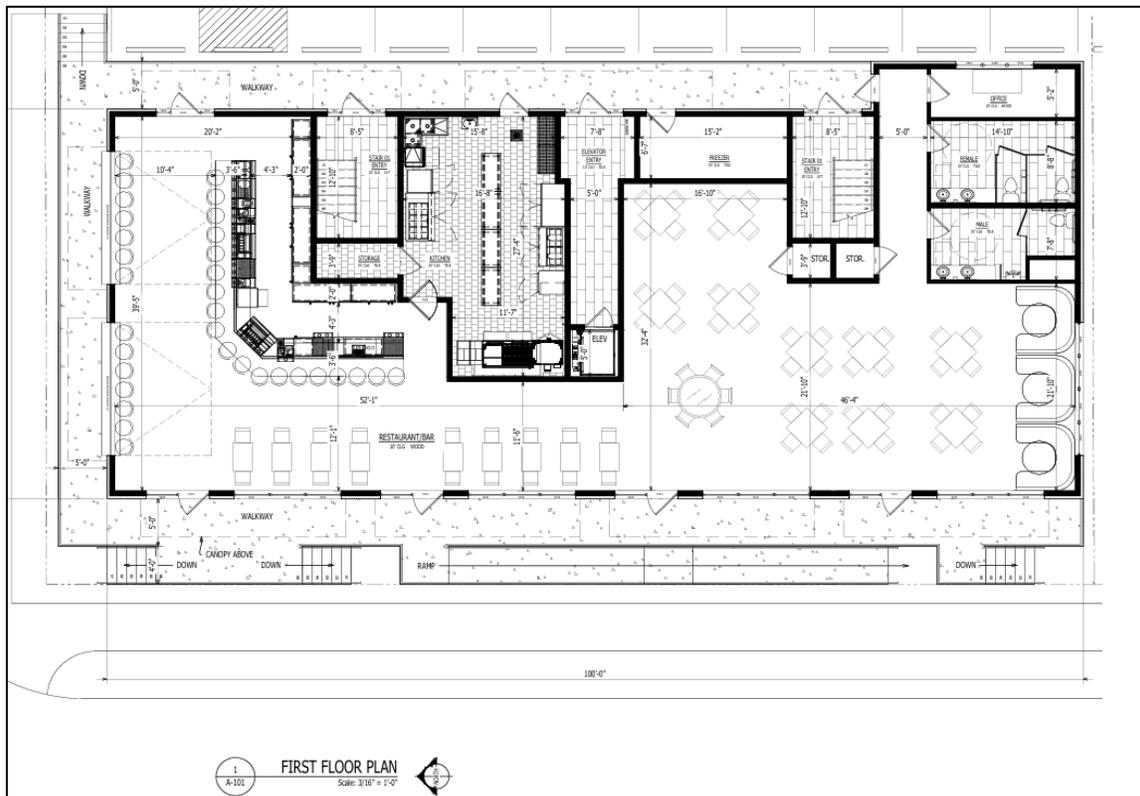
While recent sales of immediately adjoining parcels were not available for direct comparison, resale activity within The Lookouts in the Grove over the past several years, including both residential and commercial condominium transactions, indicates continued market participation and acceptance of the mixed-use format. These transactions are presented for market context and do not indicate any value suppression attributable to the proximity of commercial uses.

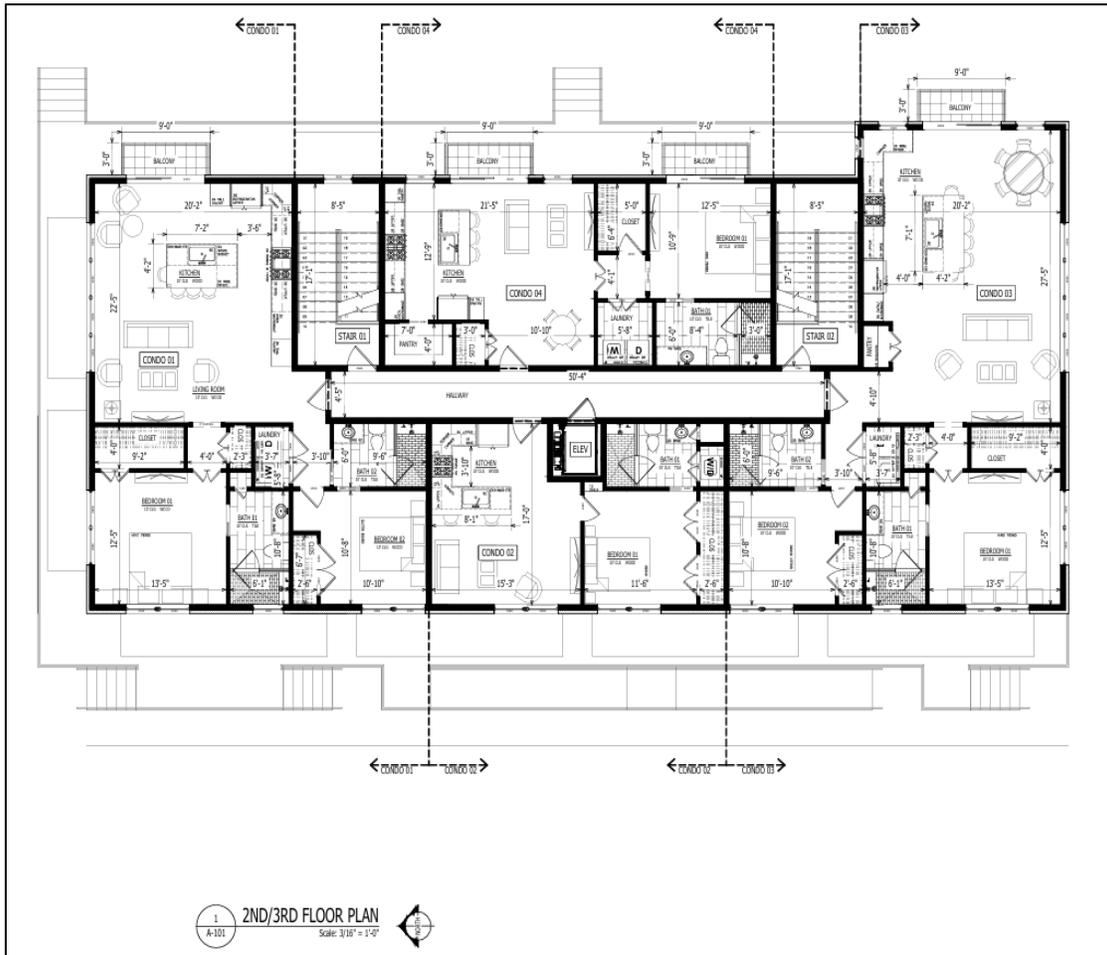
Tax Parcel No.	Address	Sale Date	Sale Price
637516934388000	108 West Dr	1/26/2018	\$77,000
		5/1/2018	\$98,000
637516934357000	110 West Dr	1/9/2018	\$221,000
		6/26/2019	\$325,000
		12/30/2020	\$330,000
637516934366000	110 West Dr	12/15/2017	\$77,000
		2/27/2019	\$93,000
637516934229000	114 West Dr	1/9/2018	\$101,000
		1/8/2020	\$105,000
637516934209000	114 West Dr	1/9/2018	\$219,000
		5/27/2020	\$325,000
637516933243000	102 W Terminal Blvd	6/2/2017	\$279,000
		3/16/2018	\$355,000
		12/5/2019	\$385,000
637516933249000	102 W Terminal Blvd	6/15/2017	\$261,000
		2/7/2020	\$360,000
637516933269000	102 W Terminal Blvd	5/12/2017	\$279,000
		8/28/2024	\$675,000
637516933289000	102 W Terminal Blvd	5/11/2017	\$259,000
		2/14/2024	\$650,000
637516933394000	107 W Bogue Blvd	3/24/2017	\$294,000
		7/6/2022	\$675,000
		2/15/2024	\$715,000
637516933344000	107 W Bogue Blvd	6/23/2017	\$307,500
		8/11/2023	\$700,000
637516933452000	107 W Bogue Blvd	4/19/2017	\$301,000
		11/30/2022	\$675,000
637516933472000	107 W Bogue Blvd	3/17/2017	\$249,000
		5/10/2019	\$346,000
		7/16/2021	\$450,000
637516933492000	107 W Bogue Blvd	5/31/2017	\$340,000
		5/23/2018	\$400,000
637516934422000	107 W Bogue Blvd	2/24/2017	\$301,000
		7/27/2022	\$600,000
637516934442000	107 W Bogue Blvd	5/18/2017	\$290,000
		10/5/2018	\$383,000

In addition, assessed values for surrounding properties have remained stable or increased, and it is reasonable to assume that tax values in the area have seen a significant increase since the construction of The Lookouts in 2016–2017, consistent with observed market trends.

Taken together, The Lookouts in the Grove provides market evidence that similarly scaled mixed-use developments in comparable coastal neighborhoods have functioned successfully without producing measurable negative impacts on the values of nearby properties. Observed market behavior, combined with the broader pattern of redevelopment and the stability of property values in Atlantic Beach, supports the conclusion that the proposed development is unlikely to result in substantial injury to adjoining or nearby parcels.

Currently proposed in New Bern is the Settineri – Commercial Building to be located at 226 E Front Street in downtown New Bern. The 0.29-acre site is proposed to be designed and developed for a three-story mixed-use building consisting of restaurant space on the ground floor and eight residential condos on the second floor. The project was approved by the City of New Bern Board of Adjustment on March 27, 2025. The approval of this project demonstrates the continued market demand and community acceptance for this type of mixed-use development.





In addition to the recently approved mixed-use project in New Bern, other established mixed-use developments within downtown New Bern provide further support that the integration of commercial and residential uses has not resulted in measurable negative impacts on adjoining or adjacent property values. These properties are located at 212 Middle Street, 249-250 Craven Street, and 415 Broad Street in New Bern. These developments represent comparable properties with similar mixed-use configurations that have been well-received in the market and demonstrate continued property value stability:

Well-designed mixed-use developments like the subject generally enhance rather than harm nearby property values. By combining residential and commercial uses in a compatible layout, these projects bring new residents, support local businesses, and add vitality to the neighborhood. Similar projects in comparable markets have demonstrated positive impacts on nearby property values. For a project of this scale and character, there is no reason to expect any measurable injury to adjoining or nearby parcels.

Therefore, based on the physical characteristics of the proposed project, study of the neighborhood and analysis of existing and analysis of comparable mixed-use developments, it is our opinion the proposed use of the subject site for Brezza Lofts at Ward Farm Town Center to be located at 200 Ward Road in Swansboro, Onslow County, North Carolina would be in harmony with the neighborhood. If designed and constructed as presented, adhering to the regulations and guidelines of the local municipality as well as the state of North Carolina, it will not substantially injure or alter the value of the adjoining or abutting property owners.

Respectfully,

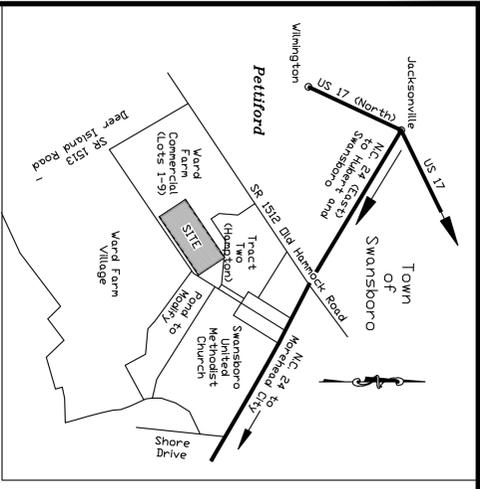


Suzanne H. Nelson, MAI  
NC Certified General Real Estate Appraiser A6424



Parker D. Howard  
NC Certified General Real Estate Appraiser A9334





Vicinity Map-Not to Scale

CONSTRUCTION DRAWINGS

for

# Brezza Lofts

## Lot 8 Ward Farm Commercial

SWANSBORO, NORTH CAROLINA  
 Proforma Ward Farm Lot 8, LLC  
 Swansboro, NC



Project Contacts:

ONWASA  
 228 Georgetown Road  
 Jacksonville, NC 28540  
 (910) 455-2583

Water Distribution:

Zoning/Building Authority:

Town of Swansboro  
 601 Corbett Avenue  
 Swansboro, NC 28584  
 (910) 326-4428

DESIGNED BY:

**CRYSTAL COAST ENGINEERING, PA**  
 205-3 WARD ROAD 28584  
 SWANSBORO, NC  
 TEL: (910) 325-0006

BOUNDARY/TOPO SURVEY AND BASEMAP PROVIDED BY:  
**John L. Pierce & Associates, PA**  
 405 Johnson Blvd, Jacksonville, NC

SHEET INDEX

COVER SHEET	COVER
SHEET 1 OF 4	SITE / UTILITY / LANDSCAPE PLAN
SHEET 2 OF 4	GRADING, DRAINAGE, STORMWATER & ESC PLAN
SHEET 3 OF 4	WATER & SEWER PLAN & PROFILE
SHEET 4 OF 4	DETAILS

REVISIONS

**Crystal Coast Engineering, P.A.**  
 Civil and Environmental Consulting Engineers  
 John R. Freshwater, PE  
 David K. Newsom, PE  
 205-3 WARD ROAD, SWANSBORO, N.C. 28584  
 PHONE: (910) 325-0006 ~ FAX: (910) 325-0060  
 BUSINESS LICENSE #: C-2553

COVER SHEET  
**BREZZA LOFTS at WARD FARM TOWN CENTER**  
**Lot 8**  
**WARD FARM COMMERCIAL SUBDIVISION**  
 SWANSBORO TOWNSHIP ~ ONSLOW COUNTY  
 PREPARED FOR  
 Proforma Ward Farm Lot 8, LLC

SCALE:	NONE
DATE:	1/1/2026
PROJECT:	
DRAWN BY:	DKN
SHEET	COVER







# BREZZA LOFTS MIXED USE

SWANSBORO, NC



PLAGEMAN ARCHITECTURE  
SWANSBORO  
BURLINGTON

FOR REVIEW ONLY  
02/20/2026

NOT FOR CONSTRUCTION



# BREZZA LOFTS MIXED USE

SWANSBORO, NC

CONSTRUCTION DRAWINGS - REVIEW SET  
FEBRUARY 20, 2026

ARCHITECT:  
**PLAGEMAN ARCHITECTURE**  
SWANSBORO, NC | BURLINGTON, NC  
919-619-5012

CIVIL:  
**CRYSTAL COAST ENGINEERING**  
SWANSBORO, NC  
910-548-2235

STRUCTURAL:  
**WOODS ENGINEERING**  
WILMINGTON, NC  
910-465-2895

MEP ENGINEERING:  
**LIGHTHOUSE ENGINEERING**  
RALEIGH, NC  
919-835-9781

### material symbols

- EARTH
- WASHED STONE
- CONCRETE
- CONCRETE MASONRY UNIT

- GYPSUM BOARD
- STEEL (LARGE SCALE)
- STONE
- FINISHED WOOD
- ROUGH WOOD - BLOCKING

- RIGID FOAM INSULATION
- BATT INSULATION
- GLASS
- BRICK
- PLYWOOD

### drawing symbols

- ELEVATION AND DETAIL NUMBER TAG
- INTERIOR ELEVATION AND DETAIL LETTER TAG
- DENOTES FINISHED CEILING HEIGHT AFF

- DENOTES WALL TYPE DESIGNATION
- DOOR NUMBER DESIGNATION
- WINDOW/GLASS NUMBER DESIGNATION

- ABC TYPE FIRE EXTINGUISHER
- DENOTES ELEVATION HEIGHT
- DENOTES STEP SLAB

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CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
SWANSBORO, NC 28584

REVISIONS

JOB NUMBER

PA2110

DRAWN BY: PARCH

SHEET NAME

COVER SHEET

SHEET NUMBER

**A000**



FOR REVIEW ONLY 02/20/2026

NOT FOR CONSTRUCTION

CONSTRUCTION DRAWINGS FOR: BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1 SWANSBORO, NC 28584

REVISIONS

JOB NUMBER PA2110 DRAWN BY: PARCH

SHEET NAME EXTERIOR ELEVATIONS

SHEET NUMBER

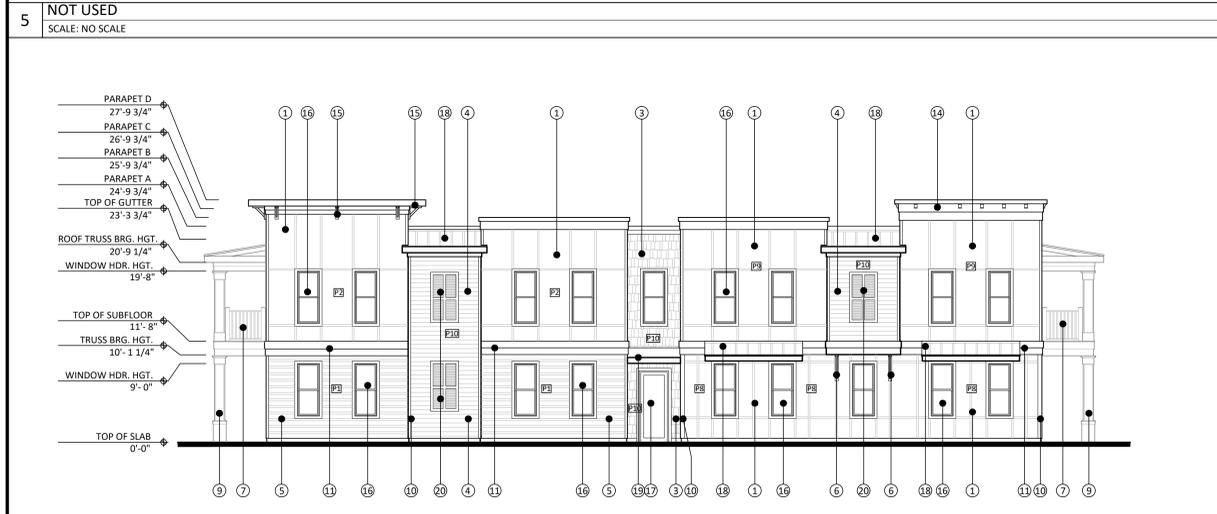
A201

EXTERIOR ELEVATION MATERIALS LEGEND

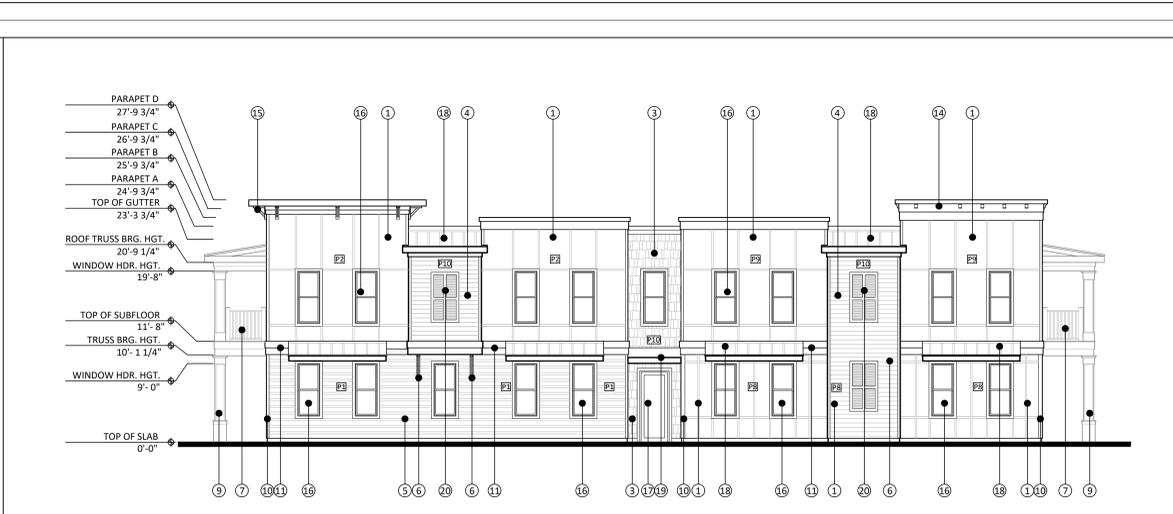
TAG	DESCRIPTION
1	HARDIE PANEL SELECT CEDARMILL - PRIMED W/ 2.5" X .75" BATTEN - PRIMED
2	HARDIE LAP SIDING: 5" EXPOSURE - SELECT CEDARMILL - W/ 2.5" X .75" PRIMED BATTEN
3	HARDIE SHINGLE SIDING - STAGGERED EDGE - PRIMED FOR PAINT
4	HARDIE LAP SIDING: 6.5" EXPOSURE - SELECT CEDARMILL
5	HARDIE LAP SIDING: DOUBLE EXPOSURE - 6.5" OVER 4" - SELECT CEDARMILL
6	PRIMED AND PAINTED PT WOOD BRACKET - SEE DETAILS FOR CONSTRUCTION - BRACKET TYPE A
7	RAILING STYLE A - SEE DETAILS
8	RAILING STYLE B - SEE DETAILS
9	BUILT-UP EXTERIOR COLUMN - SEE DETAILS
10	HARDIE CORNER TRIM - CEDAR MILL - PRIMED FOR PAINT - 3.5" WIDE
11	DOUBLE HARDIE TRIM BAND - SEE DETAILS
12	4" Ø METAL DOWNSPOUT - CONNECT TO STORM SYSTEM UNDERGROUND - ANTIQUE BRONZE COLOR
13	6W" X 5D" METAL GUTTER - ANTIQUE BRONZE COLOR
14	DECORATIVE CORBEL - PVC - 4" X 6" H X 3" W
15	PRIMED AND PAINTED PT WOOD BRACKET - SEE DETAILS FOR CONSTRUCTION - BRACKET TYPE B
16	WINDOWS AS SPECIFIED - SEE SCHEDULE
17	EXTERIOR DOOR AS SPECIFIED - SEE SCHEDULE
18	ADVANTAGE LOK - II METAL ROOF BY UNION CORRUGATING COMPANY - SNOW WHITE COLOR
19	BLACK ALUMINUM FRAME - BLACK CANVAS AWNING SYSTEM
20	FALUX ACCENT PANEL SYSTEM - SEE DETAILS FOR CONSTRUCTION

TAG	PAINT COLOR
P1	SW 9056 - FRENCH MOIRE - SATIN
P2	SW 9054 - LITTLE BOY BLU - SATIN
P3	SW 9021 - NAPLES YELLOW - SATIN
P4	SW 6681 - BUTTER UP - SATIN
P5	SW 6522 - SPORTY BLUE - SATIN
P6	SW 6598 - DISHY CORAL - SATIN
P7	SW 6597 - HOPEFUL - SATIN
P8	SW 6213 - HALCYON GREEN - SATIN
P9	SW 6211 - RAINWASHED - SATIN
P10	SW 7757 - HIGH REFLECTIVE WHITE - SATIN
P11	SW 7005 - PURE WHITE - GLOSS

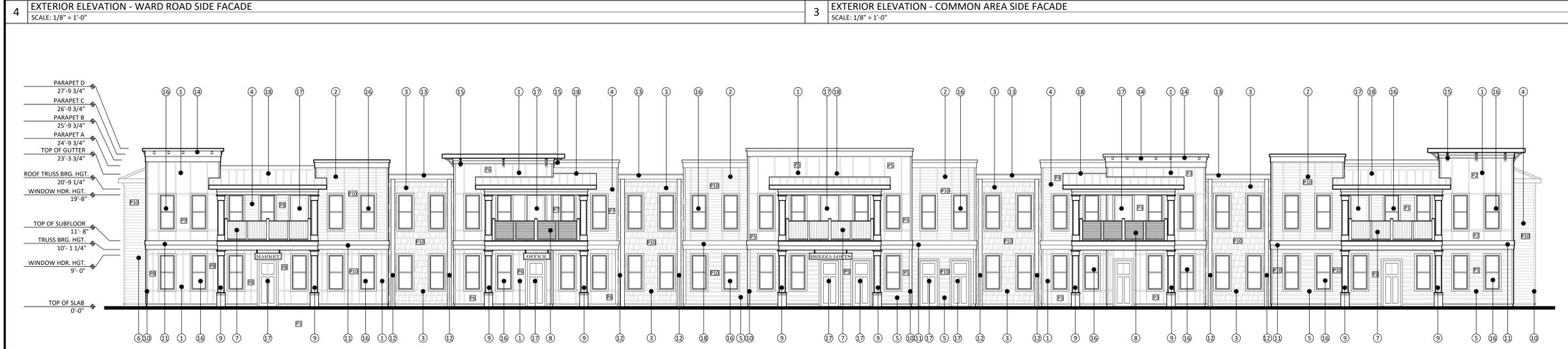
- NOTE:
- ALL EXTERIOR TRIM, COLUMNS, BRACKETS AND RAILING TO BE P1 - GLOSS
  - ALL COLORS IN BODY OF BUILDING TO BE SATIN
  - NOT ALL COLORS OR MATERIALS ARE TAGGED IN THESE DRAWINGS. MATERIAL CALL OUTS ARE TYPICAL. COLOR ARE ORGANIZED BY UNIT. INQUIRE IF THERE ARE ANY QUESTIONS ON COLOR PLACEMENT.
  - ALL WINDOW INSTALLATIONS SHALL BE PER MANUFACTURER INSTALLATION AND WATERPROOFING. DO NOT VOID WINDOW WARRANTY BY DEVIATING FROM MANUFACTURERS INSTALLATION REQUIREMENTS.
  - INSTALL ALL SIDING AND FINISHES WITH MANUFACTURER RECOMMENDED GAPS, FLASHING AND CAULKING.
  - KEEP ALL FINISH MATERIALS AWAY FROM FINISHED GRADE PER MANUFACTURERS SPECIFICATIONS



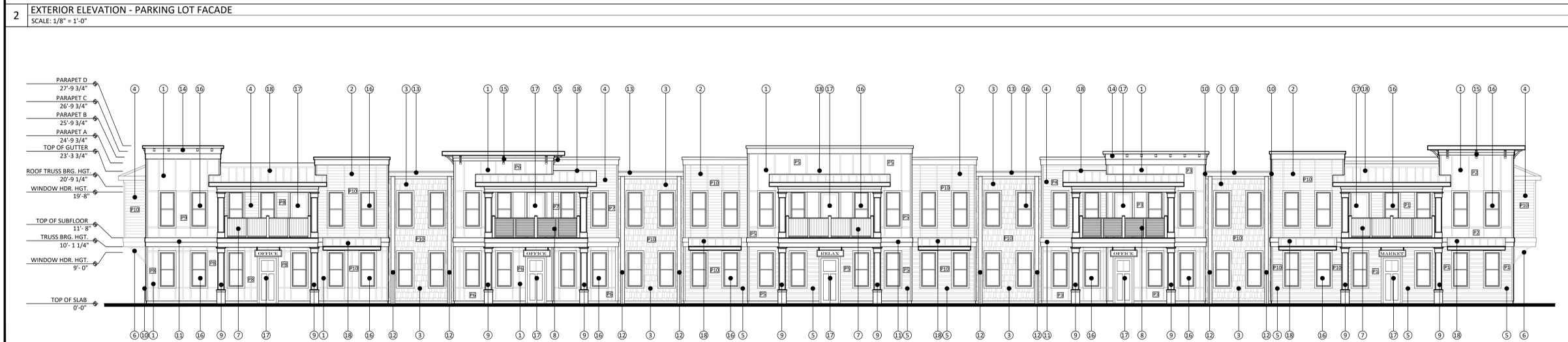
5 NOT USED SCALE: NO SCALE



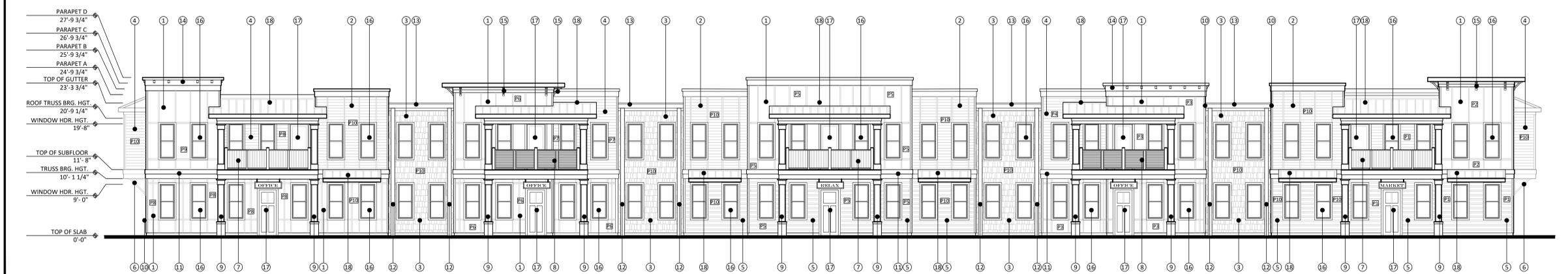
4 EXTERIOR ELEVATION - COMMON AREA SIDE FACADE SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - WARD ROAD SIDE FACADE SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - PARKING LOT FACADE SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - WARD ROAD MAIN FACADE SCALE: 1/8" = 1'-0"



PLAGEMAN ARCHITECTURE  
• SWANSBORO  
• BURLINGTON

FOR REVIEW ONLY  
02/20/2026

NOT FOR CONSTRUCTION

CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
SWANSBORO, NC 28584

REVISIONS

JOB NUMBER  
PA2110

DRAWN BY: PARCH

SHEET NAME

ARCHITECTURAL SITE  
PLAN - BREZZA LOFTS  
ONLY

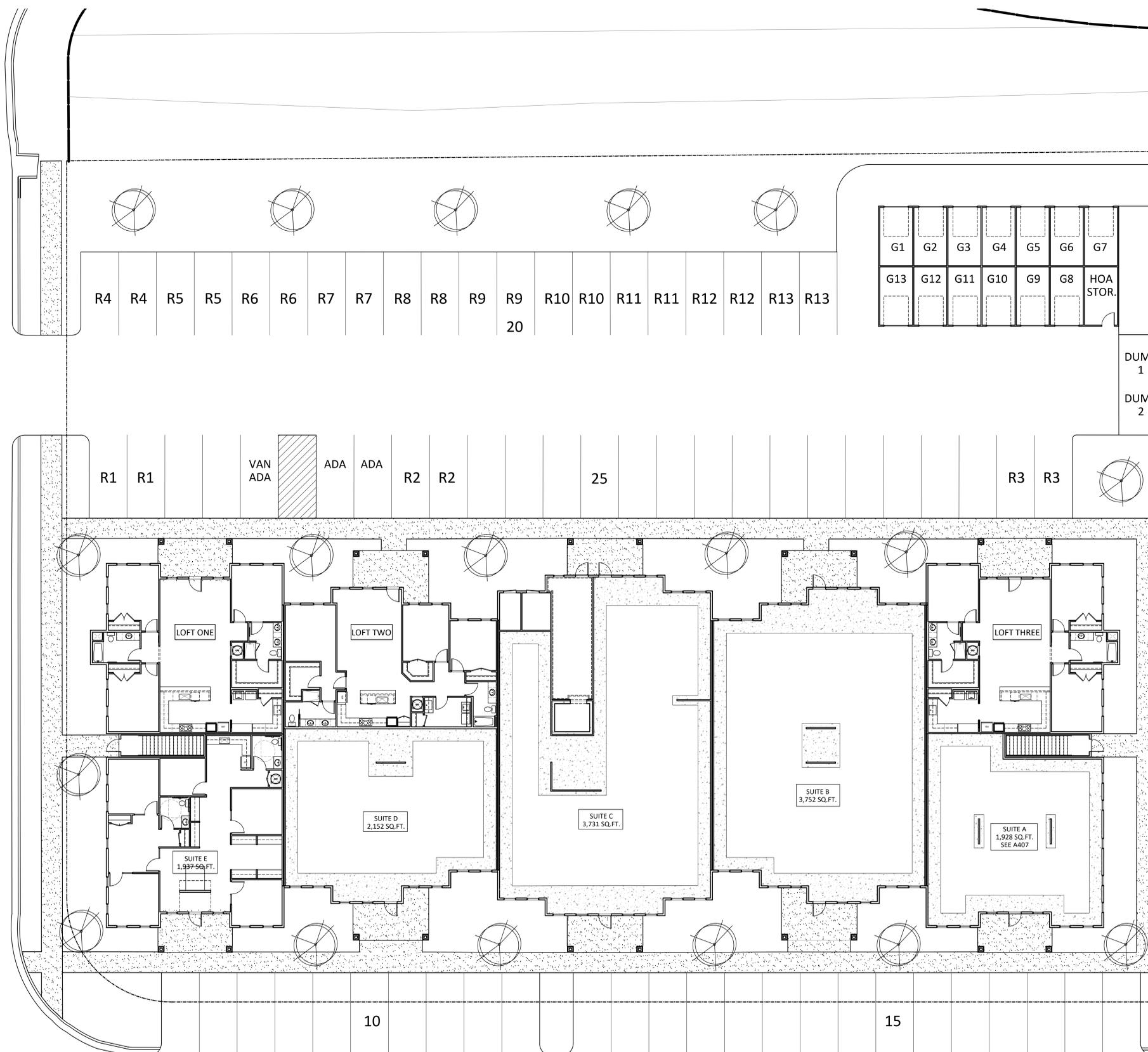
SHEET NUMBER

**A090**

PROJECT SUMMARY:  
(13) FOR SALE CONDOMINIUMS  
13,200 SQ.FT. OF NON-RESIDENTIAL SPACE  
  
26 RESIDENTIAL PARKING  
44 NON-RESIDENTIAL PARKING  
  
70 REQUIRED PARKING  
70 PROVIDED PARKING  
  
TOTAL BUILDING GROSS SQUARE FOOTAGE:  
36,450 GROSS SQUARE FEET

WARD ROAD (PRIVATE)

WARD ROAD (PRIVATE)





PLAN NOTES:

- REFER TO SHEET 060 FOR ALL GENERAL NOTES.
- DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- REFER TO SHEET A020 FOR CONSTRUCTION ASSEMBLIES.
- SEE UNIT TYPES ON A400'S SHEETS FOR ALL INTERIOR WALL TYPE TAGS.
- ALL TENANT SEPARATION WALLS ARE 1 HR. RATED, UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS ARE 1 HR. RATED, UNLESS NOTED OTHERWISE.
- REFER TO STRUCTURAL DRAWINGS FOR SHEAR AND BEARING WALL LOCATIONS AND FOR SIZE AND LOCATION OF BEAMS, HEADERS AND COLUMNS.
- BUILDING TO BE PROVIDED WITH A FIRE SPRINKLER SYSTEM PER NFPA13R FOR RESIDENTIAL USES AND NFPA 13 FOR NON-RESIDENTIAL USES. FIRE PROTECTION CONTRACTOR SHALL PROVIDE ENGINEERING SIGNED AND SEALED SHOP DRAWINGS THAT INCLUDE ALL PIPE SIZES, ELEVATIONS, HEAD LOCATIONS, VALVES, INSPECTOR TESTS, FLOW SWITCHES, TAMPER SWITCHES, DIMENSIONS, ECT. SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT, CITY FIRE PROTECTION OFFICER AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- FRAMING SUBCONTRACTOR SHALL COORDINATE PLUMBING WITH LOCATIONS OF HVAC VENTS, PLUMBING AND LIGHTING FIXTURES SO AS TO AVOID CONFLICT.
- STAIRS SHALL HAVE A MINIMUM OF 7'-0" CLEAR HEADROOM, MEASURED FROM THE SLOPE TANGENT TO THE NOSING. THE MAXIMUM STAIR RISER HEIGHT SHALL BE 7" AND THE MINIMUM TREAD DEPTH SHALL BE 11". PROVIDE HANDRAIL ON BOTH SIDES OF STAIRS, 30"-36" HIGH ABOVE NOSING.
- ALL STAIRS ARE STEEL STRINGERS WITH CONCRETE TREADS. SEE SECTIONS FOR DETAILS.
- ALL INTERIOR EGRESS DOORS AND A MINIMUM OF (1) EXTERIOR DOOR SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.
- DETAIL TAGS ARE TYPICAL. REFER TO ELEVATIONS FOR EXTERIOR WALL FINISHES.
- ALL RESIDENTIAL UNITS DESIGNED TO BE TYPE B UNITS, UNLESS OTHERWISE NOTED.

PLAN LEGEND:

- WALL
- WALL TYPE
- DOOR TAG
- WINDOW TAG
- FIRE RATED ACCESS PANEL
- SCHLUTER - SCHIENE VCT TO CARPET TRANSITION
- ALUMINUM EXTERIOR SILL PROVIDED WITH EXTERIOR DOOR- CONTRACTOR TO VERIFY ADA COMPLIANCE

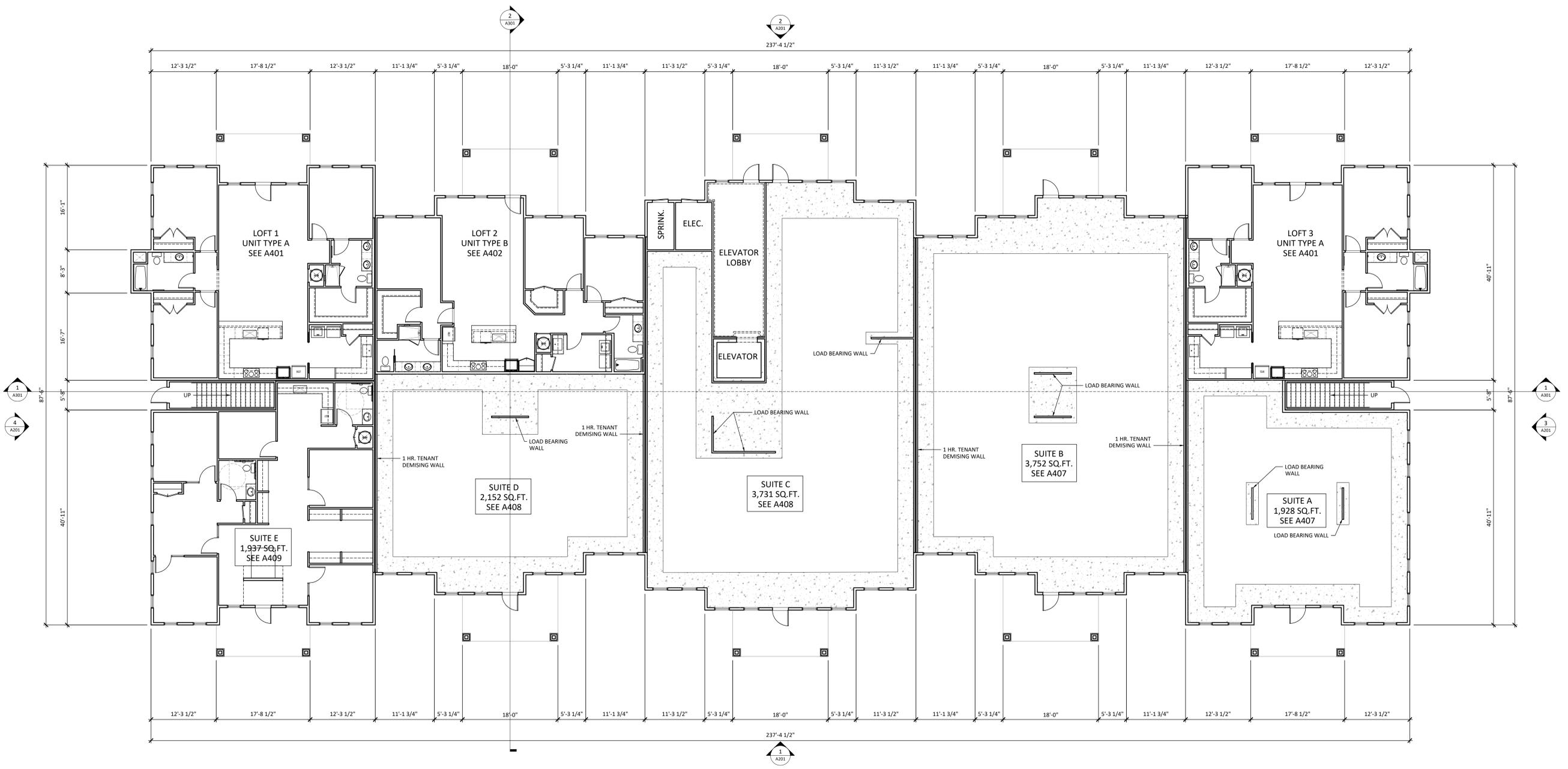
SHEET LEGEND

- UL U905 - SHAFT ENCLOSURE
- UL U305 - INTERIOR BEARING WALL
- UL U341 - SLEEPING UNIT SEPARATION
- UL U344 - 1 HOUR RATED BREEZEWAY WALLS
- UL U306 - EXTERIOR FIRE RATED WALLS

NOTE:  
 \* ALL FLOOR ASSEMBLIES TO BE UL # LS28  
 \* ALL ROOF ASSEMBLIES TO BE UL # PS22

FOR REVIEW ONLY  
02/20/2026

NOT FOR CONSTRUCTION



CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
 SWANSBORO, NC 28584

REVISIONS

JOB NUMBER  
PA2110  
 DRAWN BY: PARCH  
 SHEET NAME  
BREZZA LOFTS  
GROUND FLOOR  
 SHEET NUMBER

A110



PLAN NOTES:

- REFER TO SHEET 060 FOR ALL GENERAL NOTES.
- DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- REFER TO SHEET A020 FOR CONSTRUCTION ASSEMBLIES.
- SEE UNIT TYPES ON A400'S SHEETS FOR ALL INTERIOR WALL TYPE TAGS.
- ALL TENANT SEPARATION WALLS ARE 1 HR. RATED, UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS ARE 1 HR RATED, UNLESS NOTED OTHERWISE.
- REFER TO STRUCTURAL DRAWINGS FOR SHEAR AND BEARING WALL LOCATIONS AND FOR SIZE AND LOCATION OF BEAMS, HEADERS AND COLUMNS.
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- ALL STAIRS ARE STEEL STRINGERS WITH CONCRETE TREADS. SEE SECTIONS FOR DETAILS.
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PLAN LEGEND:

- WALL
- WALL TYPE
- DOOR TAG
- WINDOW TAG
- FIRE RATED ACCESS PANEL
- SCHLUTER - SCHIENE VCT TO CARPET TRANSITION
- ALUMINUM EXTERIOR SILL PROVIDED WITH EXTERIOR DOOR- CONTRACTOR TO VERIFY ADA COMPLIANCE

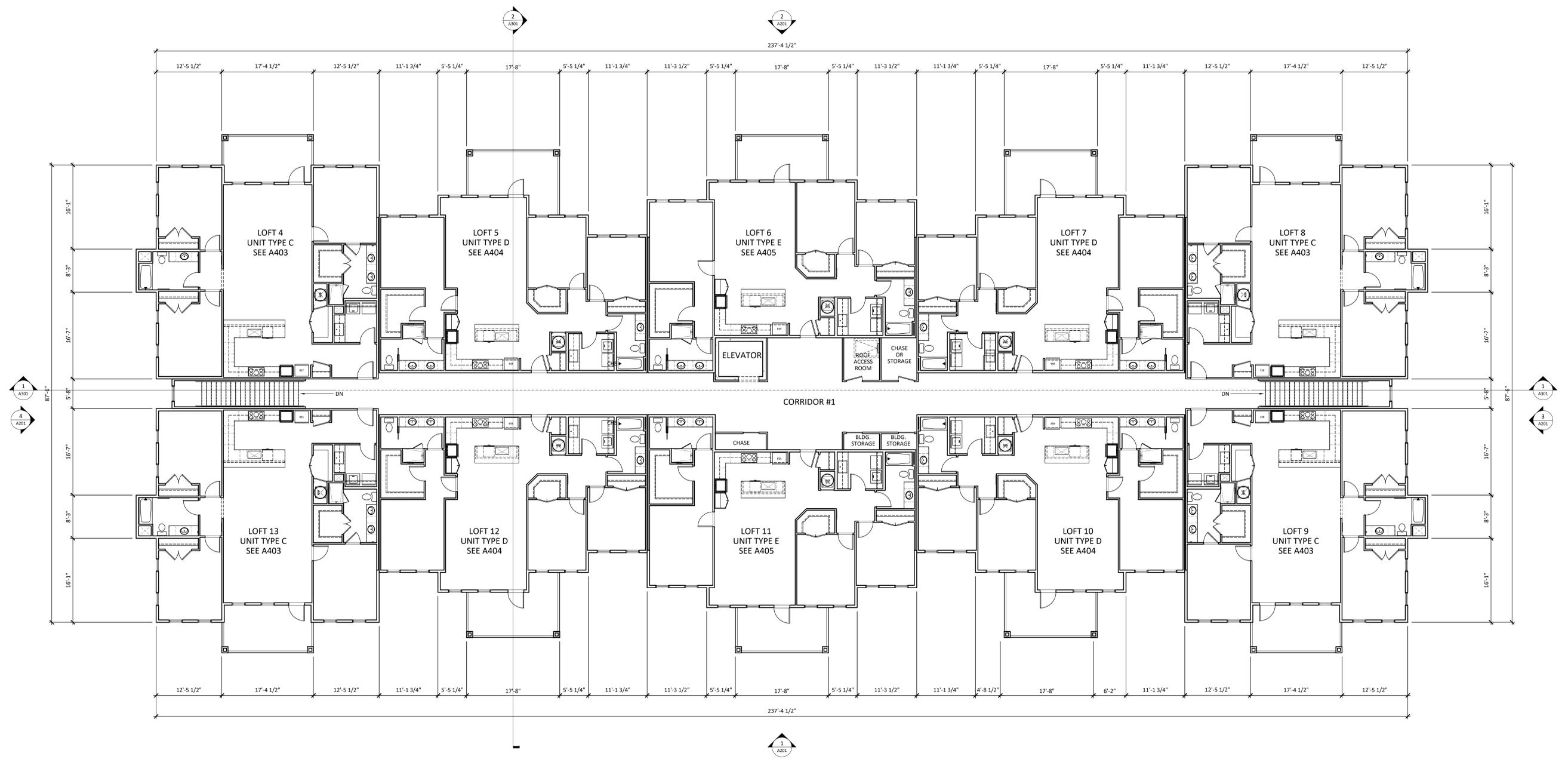
SHEET LEGEND

- UL U905 - SHAFT ENCLOSURE
- UL U305 - INTERIOR BEARING WALL
- UL U341 - SLEEPING UNIT SEPARATION
- UL U344 - 1 HOUR RATED BREEZEWAY WALLS
- UL U306 - EXTERIOR FIRE RATED WALLS

NOTE:  
 \* ALL FLOOR ASSEMBLIES TO BE UL # LS28  
 \* ALL ROOF ASSEMBLIES TO BE UL # PS22

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02/20/2026

NOT FOR CONSTRUCTION



CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
 SWANSBORO, NC 28584

REVISIONS

JOB NUMBER  
PA2110  
 DRAWN BY: PARCH  
 SHEET NAME  
BREZZA LOFTS  
SECOND FLOOR

SHEET NUMBER

**A111**



# BREZZA LOFTS MIXED USE

SWANSBORO, NC

DESIGN DEVELOPMENT DRAWINGS  
11/05/2025

ARCHITECT:  
**PLAGEMAN ARCHITECTURE**  
SWANSBORO, NC | BURLINGTON, NC  
919-619-5012

### material symbols

-  EARTH
-  WASHED STONE
-  CONCRETE
-  CONCRETE MASONRY UNIT

-  GYPSUM BOARD
-  STEEL (LARGE SCALE)
-  STONE
-  FINISHED WOOD
-  ROUGH WOOD - BLOCKING

-  RIGID FOAM INSULATION
-  BATT INSULATION
-  GLASS
-  BRICK
-  PLYWOOD

### drawing symbols

-  ELEVATION AND DETAIL NUMBER TAG
-  INTERIOR ELEVATION AND DETAIL LETTER TAG
-  DENOTES FINISHED CEILING HEIGHT AFF

-  DENOTES WALL TYPE DESIGNATION
-  DOOR NUMBER DESIGNATION
-  WINDOW/GLASS NUMBER DESIGNATION

-  ABC TYPE FIRE EXTINGUISHER
-  DENOTES ELEVATION HEIGHT
-  DENOTES STEP SLAB

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CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
SWANSBORO, NC 28584

### REVISIONS

JOB NUMBER  
PA2110  
DRAWN BY: PARCH  
SHEET NAME  
COVER SHEET

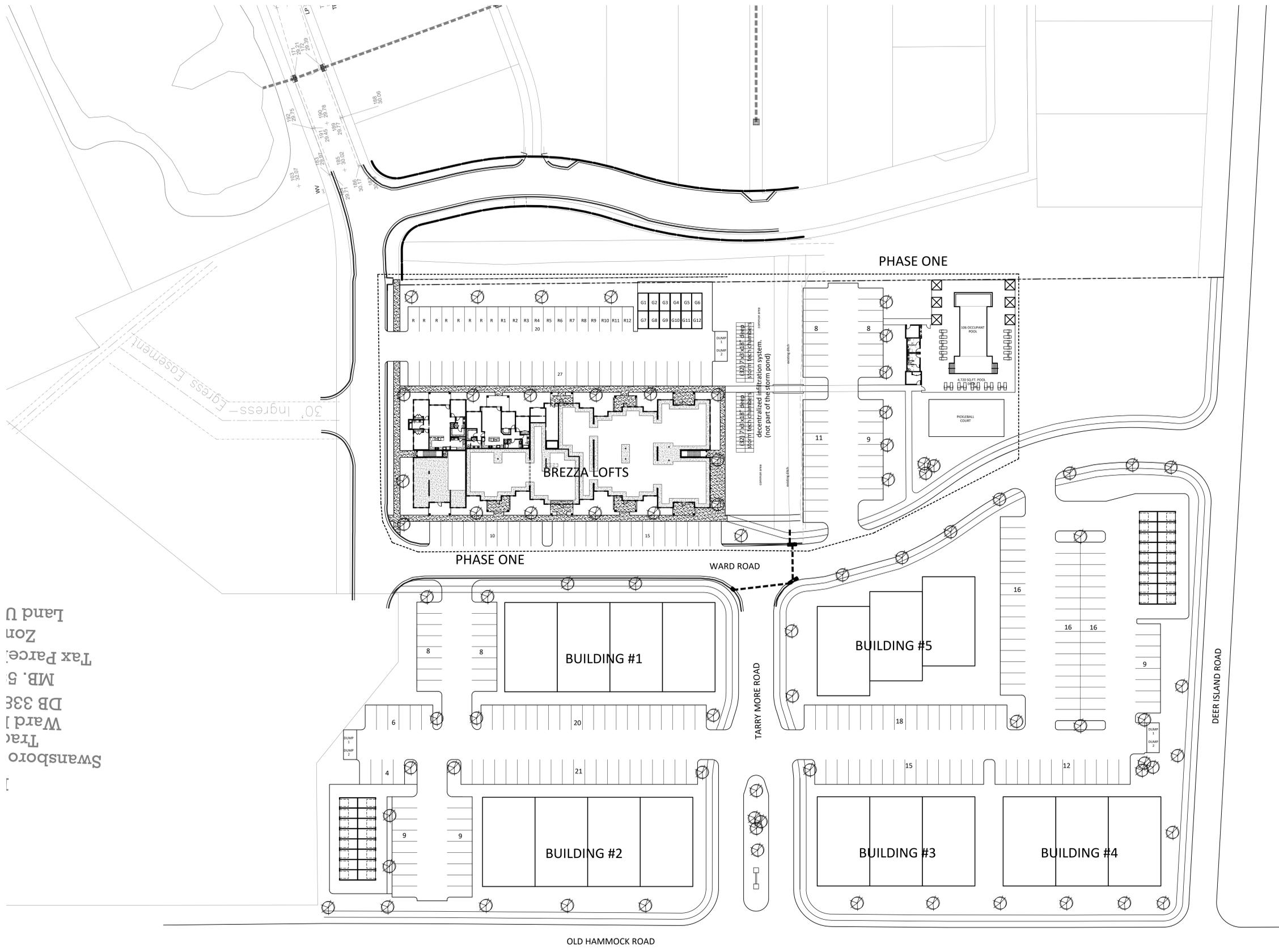
### SHEET NUMBER

**A000**





PLAGEMAN ARCHITECTURE  
• • •  
SWANSBORO BURLINGTON



Swansboro [Tra] Ward ] DB 33E MB. 5 Tax Parcel: Zon Land U



CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
SWANSBORO, NC 28584

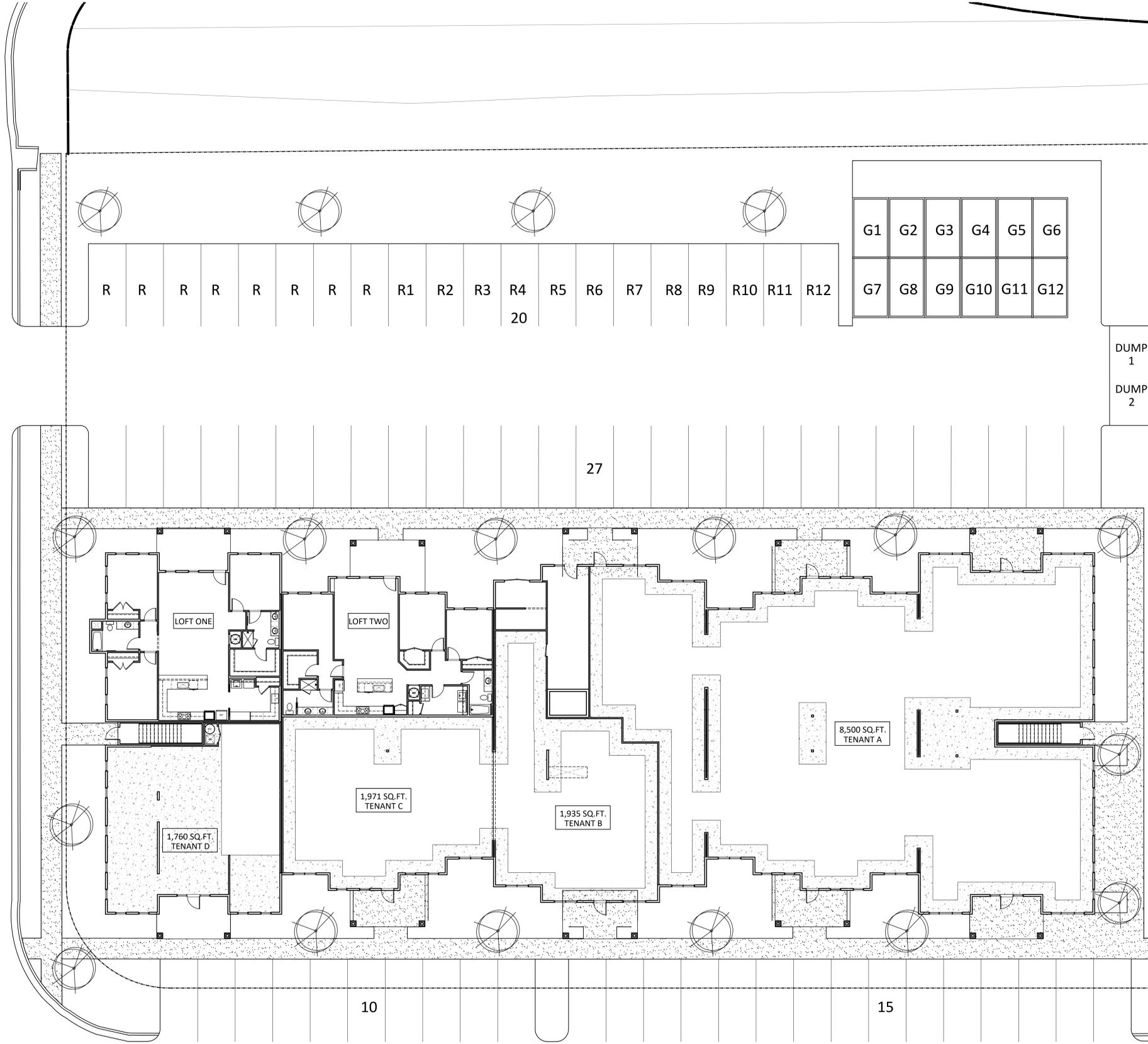
REVISIONS

JOB NUMBER  
PA2110  
DRAWN BY: PARCH  
SHEET NAME  
ARCHITECTURAL SITE PLAN  
SHEET NUMBER

**A100**



WARD ROAD (PRIVATE)



PROJECT SUMMARY:  
 (12) FOR SALE CONDOMINIUMS  
 14,100 SQ.FT. OF NON-RESIDENTIAL SPACE

24 RESIDENTIAL PARKING  
 47 NON-RESIDENTIAL PARKING

71 REQUIRED PARKING  
 72 PROVIDED PARKING

TOTAL BUILDING GROSS SQUARE FOOTAGE:  
 36,450 GROSS SQUARE FEET

DUMP 1  
DUMP 2

(32) 7'x3'x18" deep storm tech chambers

(32) 7'x3'x18" deep storm tech chambers

decentralized infiltration system.  
(not part of the storm pond)

WARD ROAD (PRIVATE)

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CONSTRUCTION DRAWINGS FOR:  
BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1  
SWANSBORO, NC 28584

REVISIONS

JOB NUMBER  
PA2110  
DRAWN BY: PARCH  
SHEET NAME  
ARCHITECTURAL SITE  
PLAN - BREZZA LOFTS  
ONLY  
SHEET NUMBER

A101



PLAGEMAN ARCHITECTURE  
● ● ●  
SWANSBORO BURLINGTON

CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
SWANSBORO, NC 28584

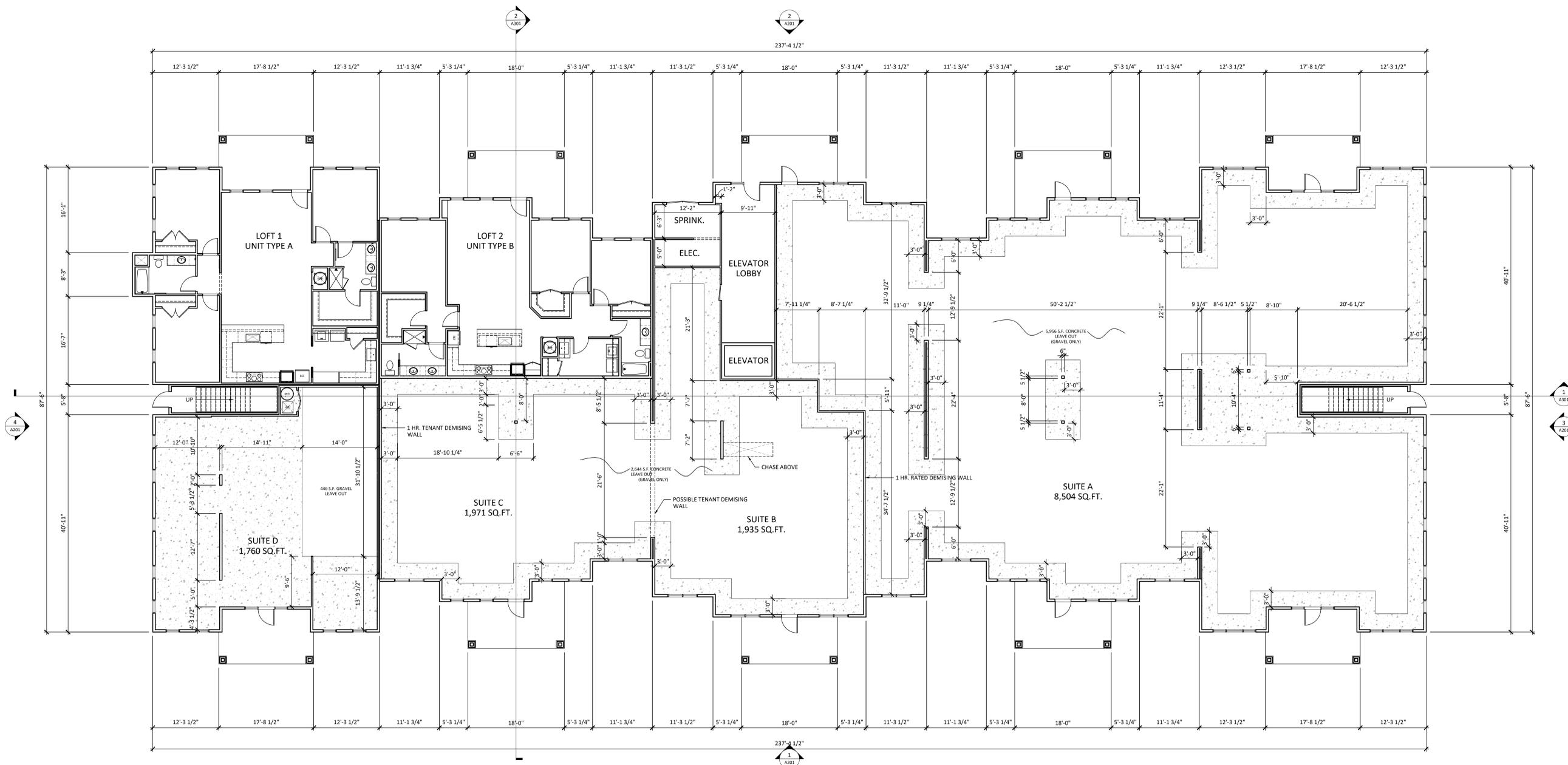
REVISIONS

JOB NUMBER  
PA2110  
DRAWN BY: PARCH  
SHEET NAME  
BREZZA LOFTS  
GROUND FLOOR

SHEET NUMBER

**A110**

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**1 BUILDING PLAN - GROUND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



PLAGEMAN ARCHITECTURE  
• • •  
SWANSBORO BURLINGTON

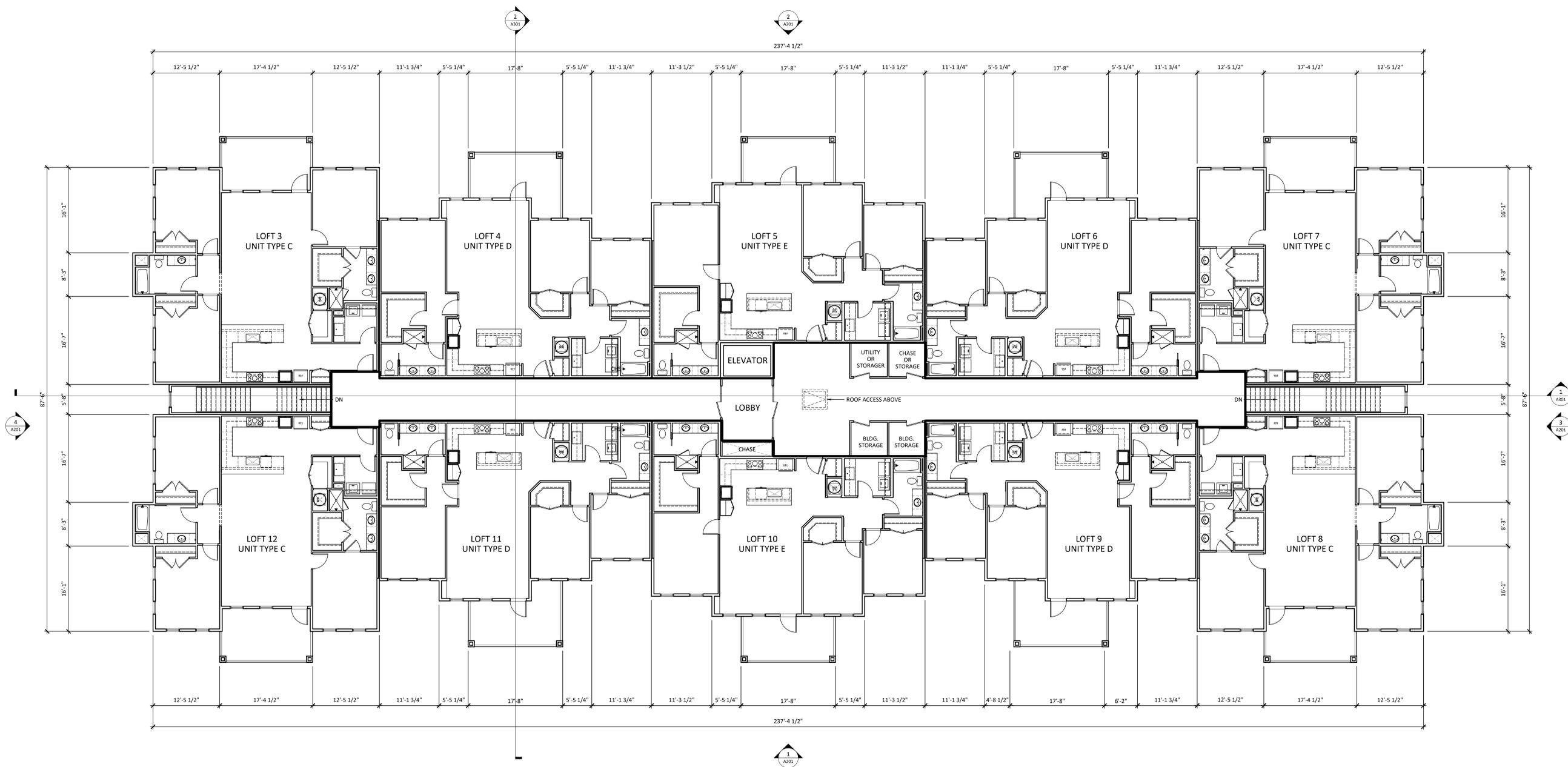
CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
SWANSBORO, NC 28584

REVISIONS

JOB NUMBER  
PA2110  
DRAWN BY: PARCH  
SHEET NAME  
BREZZA LOFTS  
SECOND FLOOR

SHEET NUMBER

**A111**



**1 BUILDING PLAN - SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



PLAGEMAN ARCHITECTURE  
● ● ●  
SWANSBORO BURLINGTON

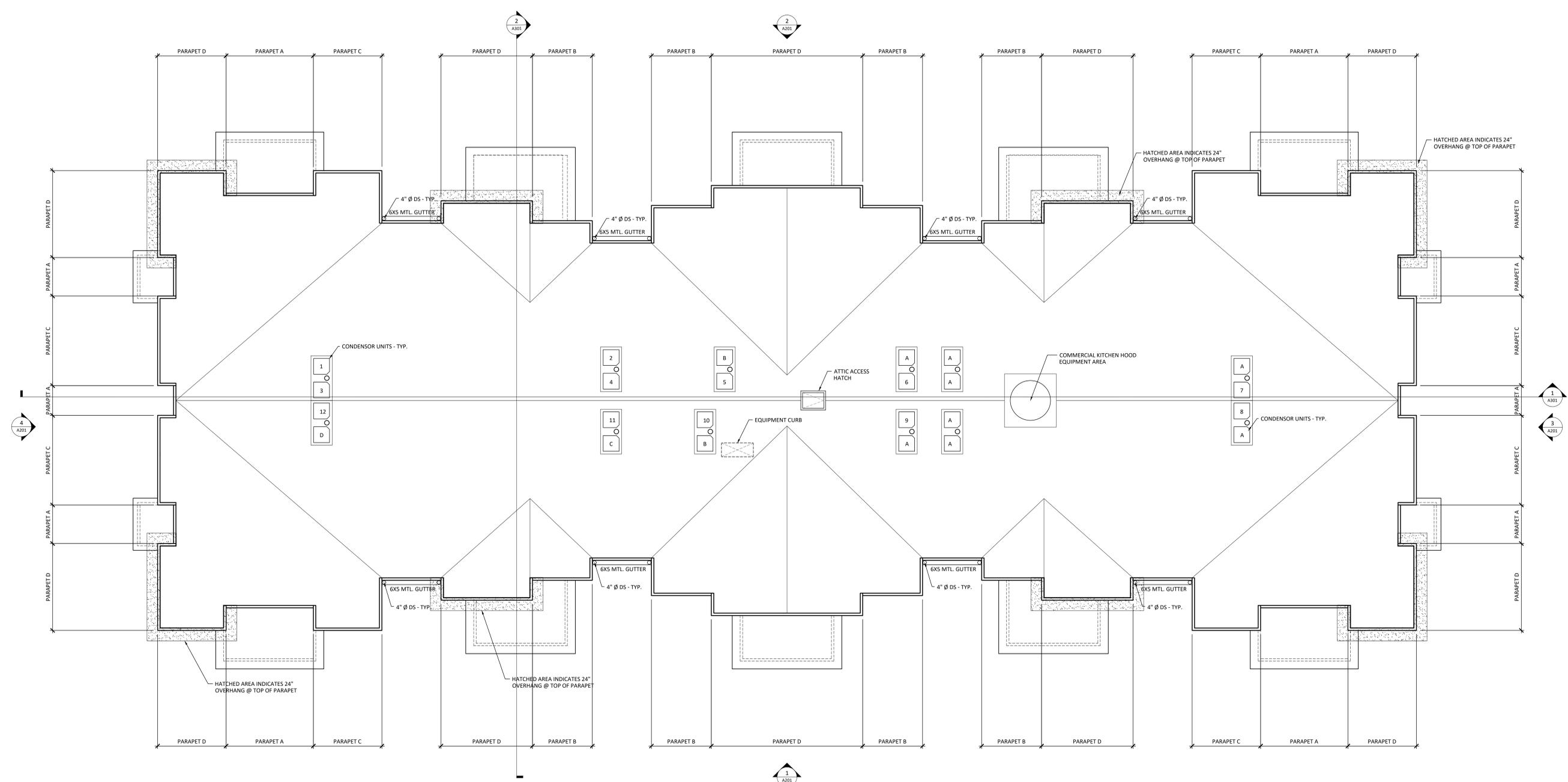
CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
SWANSBORO, NC 28584

REVISIONS

JOB NUMBER  
PA2110  
DRAWN BY: PARCH  
SHEET NAME  
BREZZA LOFTS ROOF PLAN

SHEET NUMBER

**A112**





EXTERIOR ELEVATION MATERIALS LEGEND

TAG	DESCRIPTION
1	HARDIE PANEL SELECT CEDARMILL - PRIMED W/ 2.5" X .75" BATTEN - PRIMED
2	HARDIE LAP SIDING: 6" EXPOSURE - SELECT CEDARMILL - W/ 2.5" X .75" PRIMED BATTEN
3	HARDIE SHINGLE SIDING - STAGGERED EDGE - PRIMED FOR PAINT
4	HARDIE LAP SIDING: 6" EXPOSURE - SELECT CEDARMILL
5	HARDIE ARTISAN SIDING - SQUARE CHANNEL - PRIMED FOR PAINT
6	PRIMED AND PAINTED PT WOOD BRACKET - SEE DETAILS FOR CONSTRUCTION - BRACKET TYPE A
7	RAILING STYLE A - SEE DETAILS
8	RAILING STYLE B - SEE DETAILS
9	BUILT-UP EXTERIOR COLUMN - SEE DETAILS
10	HARDIE CORNER TRIM - SMOOTH - PRIMED FOR PAINT - 3.5" WIDE
11	DOUBLE HARDIE TRIM BAND - SEE DETAILS
12	4" Ø METAL DOWNSPOUT - CONNECT TO STORM SYSTEM UNDERGROUND
13	6W" X 5D" METAL GUTTER
14	DECORATIVE CORBEL - PVC - 4" L X 6" H X 3" W
15	PRIMED AND PAINTED PT WOOD BRACKET - SEE DETAILS FOR CONSTRUCTION - BRACKET TYPE B
16	WINDOWS AS SPECIFIED - SEE SCHEDULE
17	STOREFRONT WINDOW/DOOR SYSTEMS AS SPECIFIED - SEE SCHEDULE
18	ADVANTAGE LOK - II METAL ROOF BY UNION CORRUGATING COMPANY - SNOW WHITE COLOR
19	BLACK ALUMINUM FRAME - BLACK CANVAS AWNING SYSTEM
20	FAUX ACCENT PANEL SYSTEM - SEE DETAILS FOR CONSTRUCTION
21	METAL OVERHEAD DOOR SYSTEM W/ LITES - WHITE - 7' T X 6' W
22	EXTERIOR LIGHT - BARN STYLE WALL SCONE - BLACK - XT-WT3294BU-BK

TAG	PAINT COLOR
P1	SW 9056 - FRENCH MOIRE - SATIN
P2	SW 9054 - LITTLE BOY BLU - SATIN
P3	SW 9509 - STEAMED CHAI - SATIN
P4	SW 9509 - STEAMED CHAI - 50% LIGHTENED - SATIN
P5	SW 6522 - SPORTY BLUE - SATIN
P6	SW 6570 - HAUGTE PINK - SATIN
P7	SW 6569 - CHILDLIKE - SATIN
P8	SW 6213 - HALCYON GREEN - SATIN
P9	SW 6211 - RAINWASHED - SATIN
P10	SW 7757 - HIGH REFLECTIVE WHITE - SATIN
P11	SW 7005 - PURE WHITE - GLOSS

NOTE:

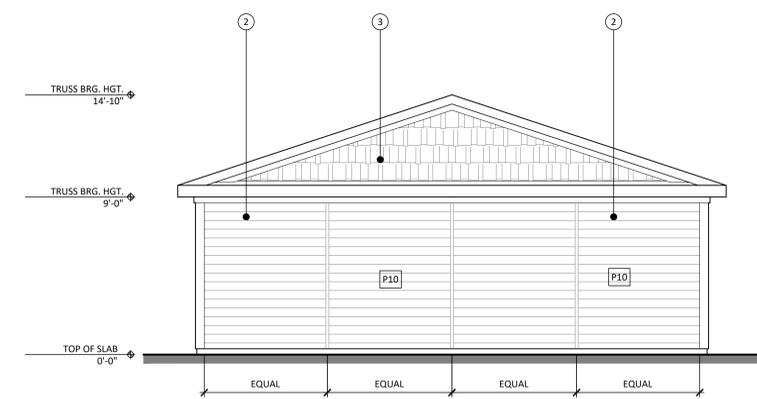
- ALL EXTERIOR TRIM, COLUMNS, BRACKETS AND RAILING TO BE P1 - GLOSS
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- ALL DOOR AND WINDOW INSTALLATIONS SHALL BE PER MANUFACTURER INSTALLATION AND WATERPROOFING. DO NOT VOID WARRANTY BY DEVIATING FROM MANUFACTURERS INSTALLATION REQUIREMENTS.
- INSTALL ALL SIDING AND FINISHES WITH MANUFACTURER RECOMMENDED GAPS, FLASHING AND CAULKING.
- KEEP ALL FINISH MATERIALS AWAY FROM FINISHED GRADE PER MANUFACTURERS SPECIFICATIONS
- GC TO CREATE MOCK UP PANEL REPRESENTING ALL COLORS PRIOR OR CONSTRUCTION FOR OWNER APPROVAL
- DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.

CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
 SWANSBORO, NC 28584

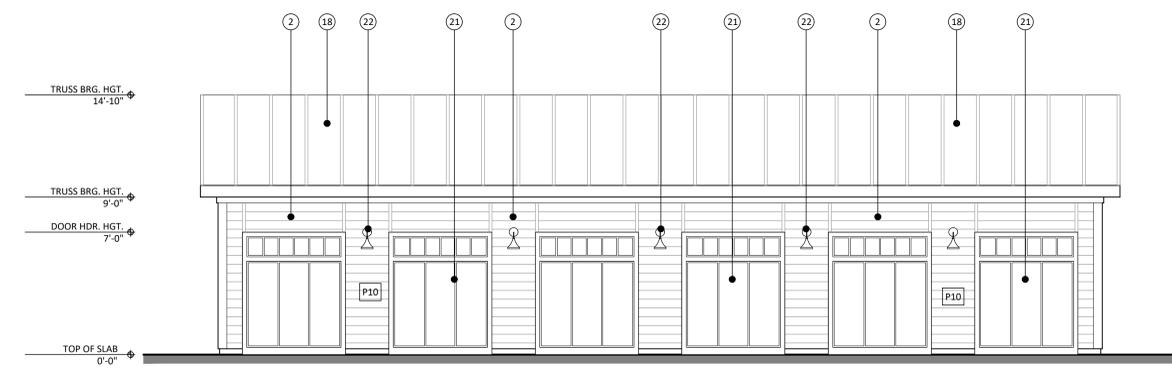
REVISIONS

JOB NUMBER  
PA2110  
DRAWN BY: PARCH  
SHEET NAME  
GOLF CART BARN  
PLANS AND ELEVATIONS  
SHEET NUMBER

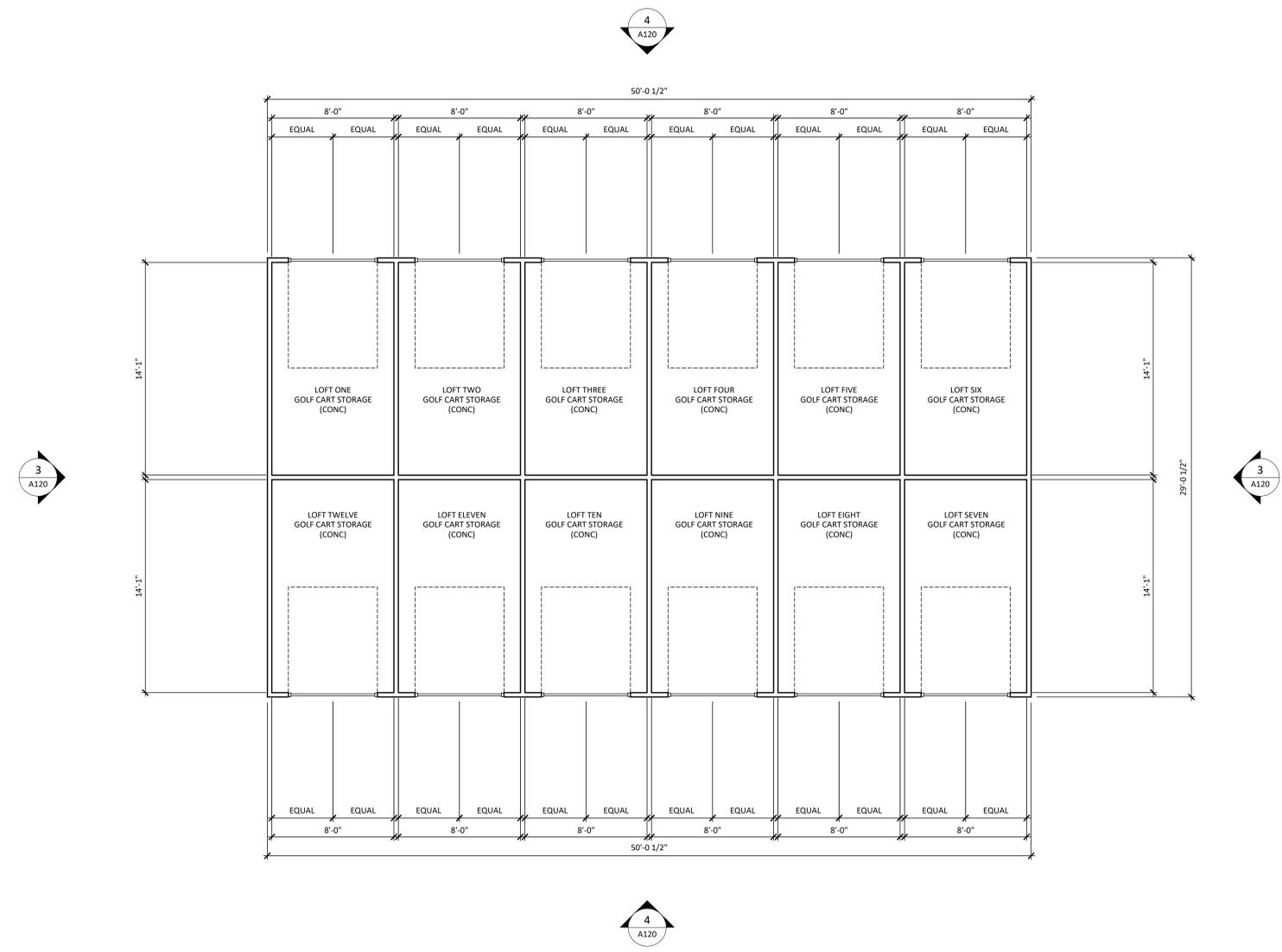
A120



3 EXTERIOR ELEVATION - SIDE - GOLF CART BARN - LOT 8  
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION - FRONT & REAR - GOLF CART BARN - LOT 8  
SCALE: 1/4" = 1'-0"



1 BUILDING PLAN - GOLF CART BARN LOT 8  
SCALE: 1/4" = 1'-0"

2 NOT USED  
SCALE: NO SCALE



PLAGEMAN ARCHITECTURE  
• SWANSBORO  
• BURLINGTON

### EXTERIOR ELEVATION MATERIALS LEGEND

TAG	DESCRIPTION
1	HARDIE PANEL SELECT CEDARMILL - PRIMED W/ 2.5" X .75" BATTEN - PRIMED
2	HARDIE LAP SIDING - 6" EXPOSURE - SELECT CEDARMILL - W/ 2.5" X .75" PRIMED BATTEN
3	HARDIE SHINGLE SIDING - STAGGERED EDGE - PRIMED FOR PAINT
4	HARDIE LAP SIDING - 6" EXPOSURE - SELECT CEDARMILL
5	HARDIE ARTISAN SIDING - SQUARE CHANNEL - PRIMED FOR PAINT
6	PRIMED AND PAINTED PT WOOD BRACKET - SEE DETAILS FOR CONSTRUCTION - BRACKET TYPE A
7	RAILING STYLE A - SEE DETAILS
8	RAILING STYLE B - SEE DETAILS
9	BUILT-UP EXTERIOR COLUMN - SEE DETAILS
10	HARDIE CORNER TRIM - SMOOTH - PRIMED FOR PAINT - 3.5" WIDE
11	DOUBLE HARDIE TRIM BAND - SEE DETAILS
12	4" Ø METAL DOWNSPOUT - CONNECT TO STORM SYSTEM UNDERGROUND
13	6W" X 5D" METAL GUTTER
14	DECORATIVE CORBEL - PVC - 4"L X 6"H X 3"W
15	PRIMED AND PAINTED PT WOOD BRACKET - SEE DETAILS FOR CONSTRUCTION - BRACKET TYPE B
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17	STOREFRONT WINDOW/DOOR SYSTEMS AS SPECIFIED - SEE SCHEDULE
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19	BLACK ALUMINUM FRAME - BLACK CANVAS AWNING SYSTEM
20	FALUX ACCENT PANEL SYSTEM - SEE DETAILS FOR CONSTRUCTION
21	METAL OVERHEAD DOOR SYSTEM W/ LITES - WHITE - 7' X 6' W
22	EXTERIOR LIGHT - BARN STYLE WALL SCONE - BLACK - XT-WT3294BU-BK

TAG	PAINT COLOR
P1	SW 9056 - FRENCH MOIRE - SATIN
P2	SW 9054 - LITTLE BOY BLU - SATIN
P3	SW 9509 - STEAMED CHAI - SATIN
P4	SW 9509 - STEAMED CHAI - 50% LIGHTENED - SATIN
P5	SW 6522 - SPORTY BLUE - SATIN
P6	SW 6570 - HAUGTE PINK - SATIN
P7	SW 6569 - CHILDLIKE - SATIN
P8	SW 6213 - HALCYON GREEN - SATIN
P9	SW 6211 - RAINWASHED - SATIN
P10	SW 7757 - HIGH REFLECTIVE WHITE - SATIN
P11	SW 7005 - PURE WHITE - GLOSS

NOTE:

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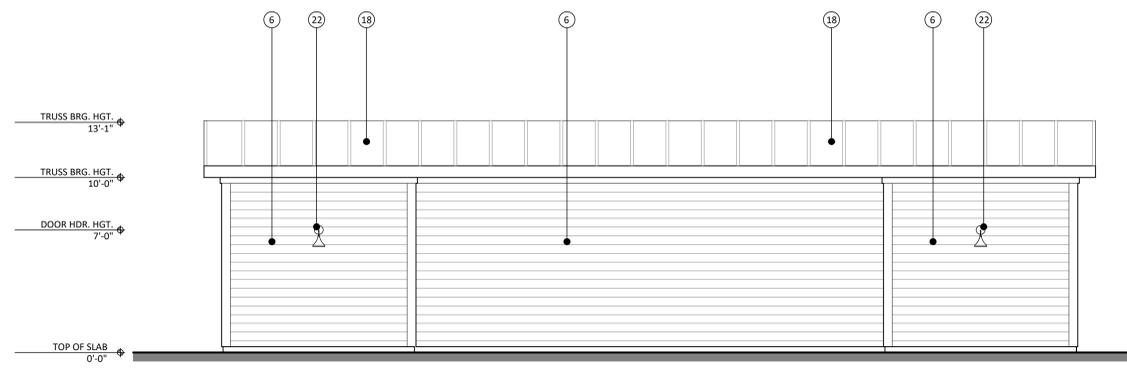
CONSTRUCTION DRAWINGS FOR:

BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1  
SWANSBORO, NC 28584

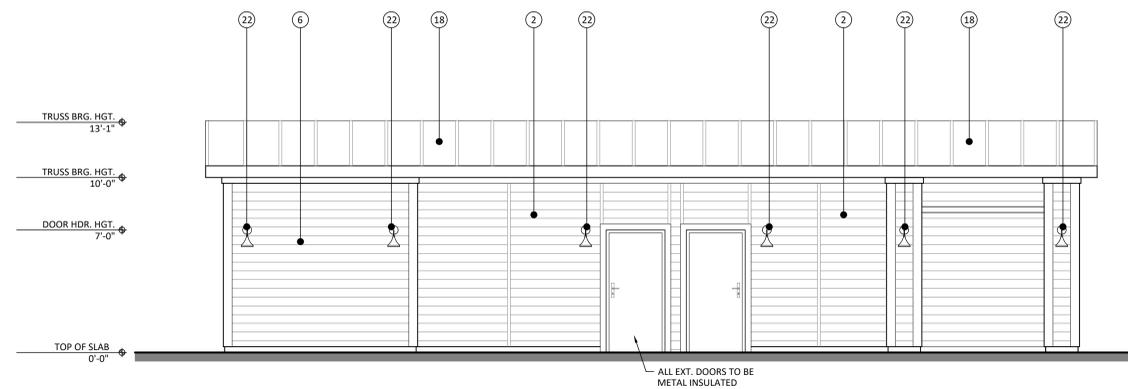
#### REVISIONS

JOB NUMBER  
PA2110  
DRAWN BY: PARCH  
SHEET NAME  
POOL HOUSE PLANS AND EXTERIOR ELEVATIONS  
SHEET NUMBER

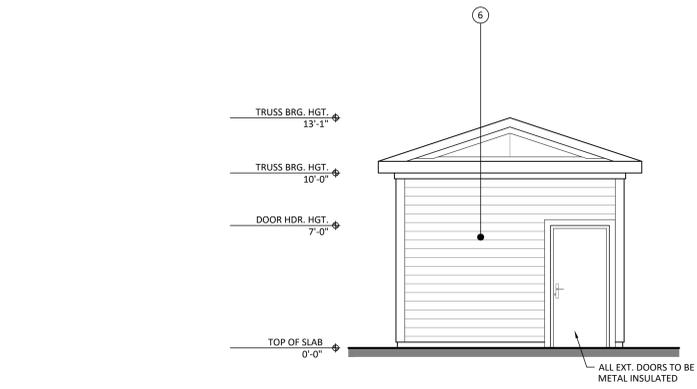
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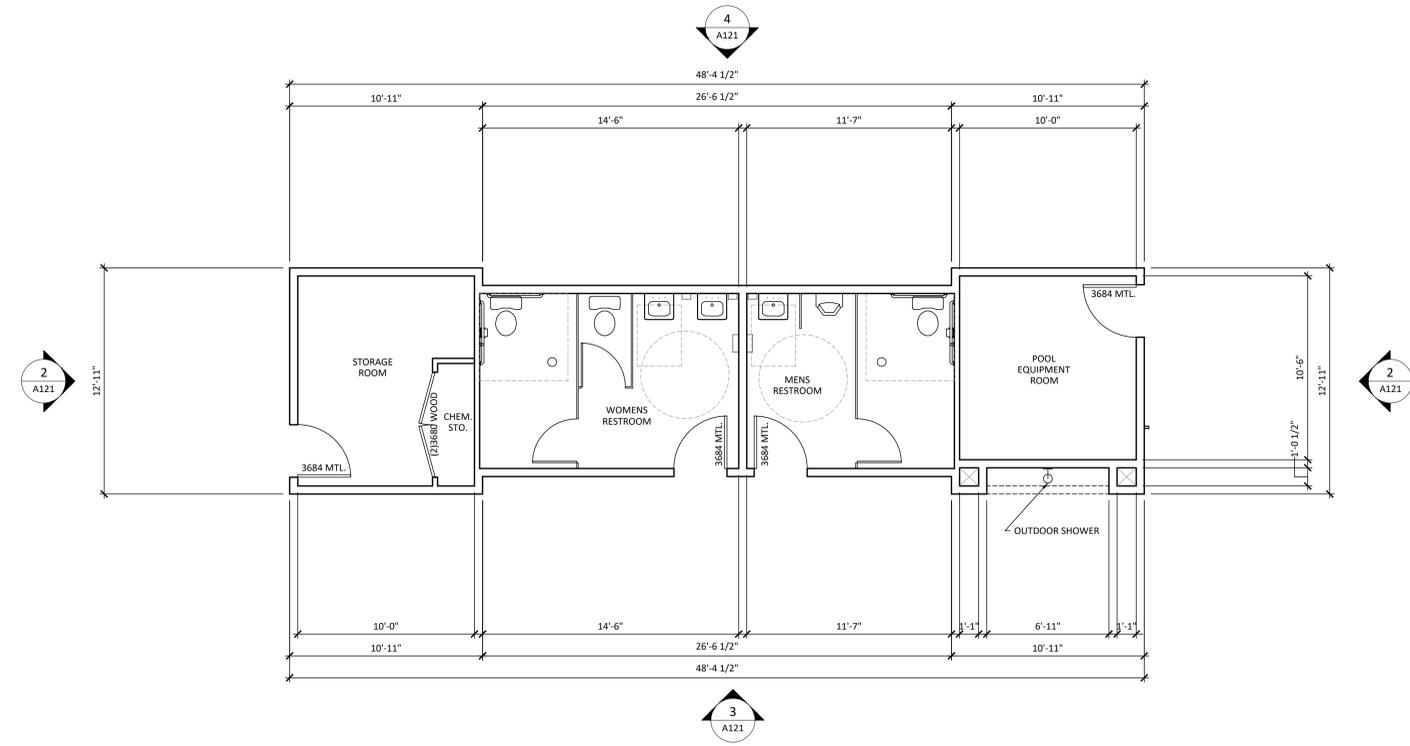
1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION MATERIALS LEGEND

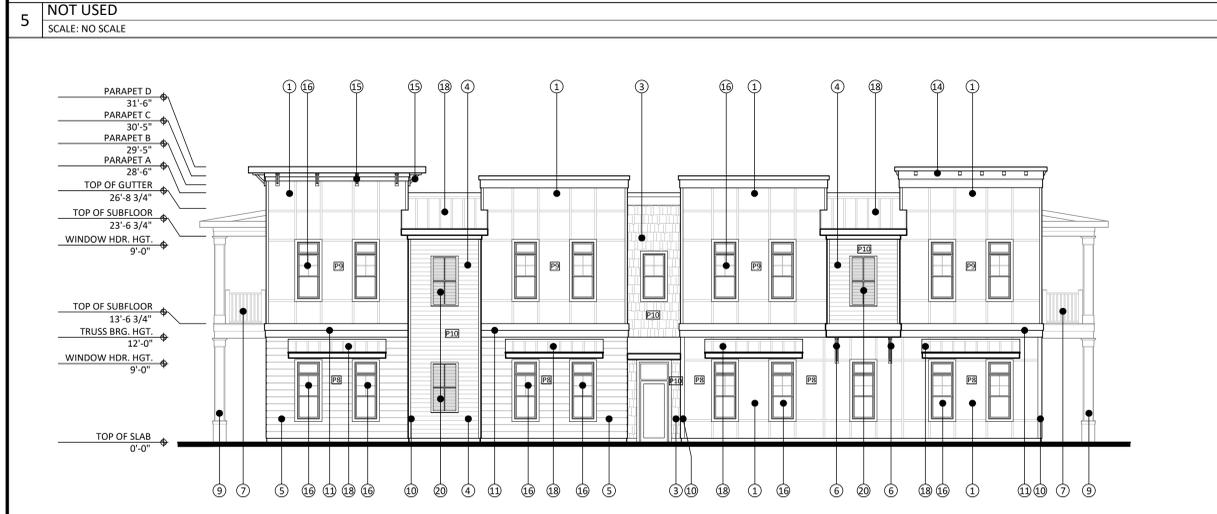
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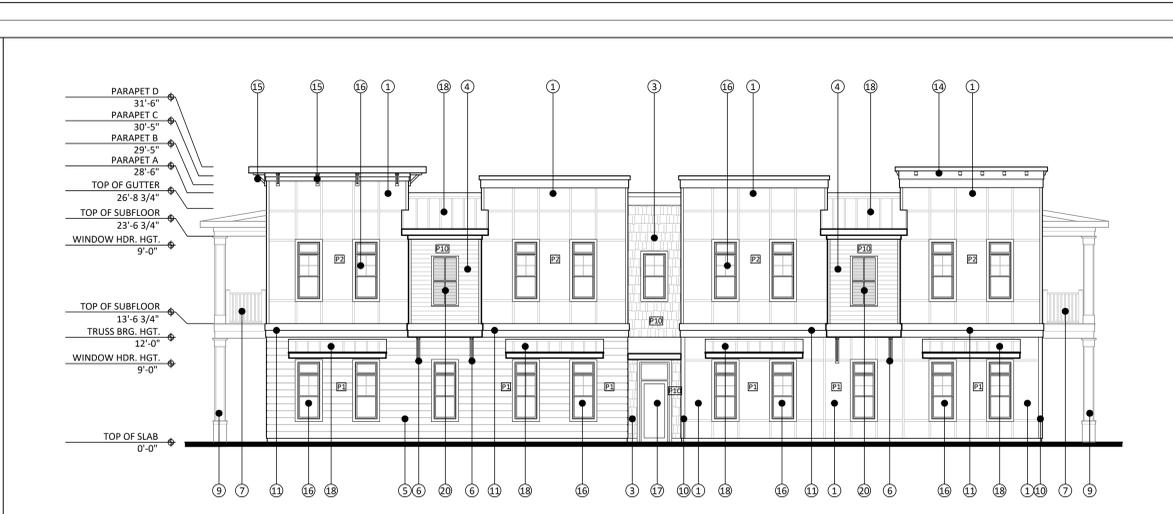
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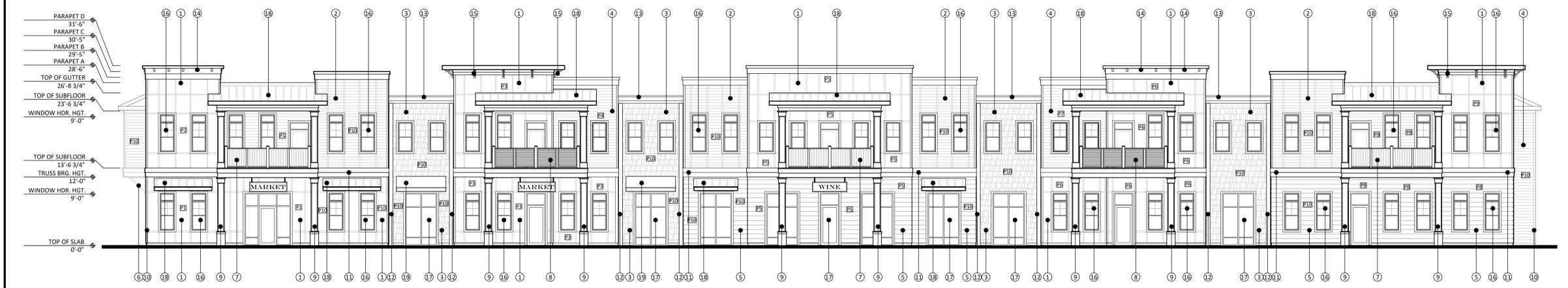
CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
 SWANSBORO, NC 28584



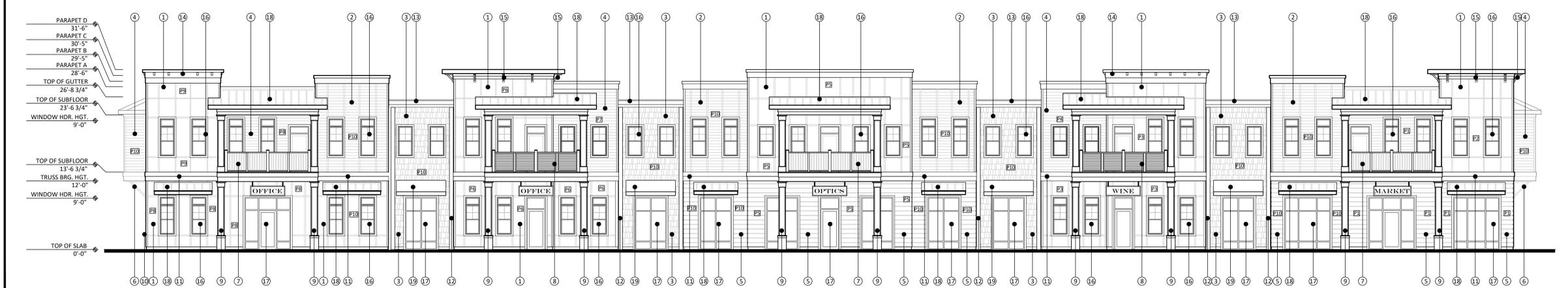
5 NOT USED  
SCALE: NO SCALE



3 EXTERIOR ELEVATION - COMMON AREA SIDE FACADE  
SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION - WARD ROAD SIDE FACADE  
SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - PARKING LOT FACADE  
SCALE: 1/8" = 1'-0"

1 EXTERIOR ELEVATION - WARD ROAD MAIN FACADE  
SCALE: 1/8" = 1'-0"

REVISIONS

JOB NUMBER  
PA2110  
DRAWN BY: PARCH  
SHEET NAME  
EXTERIOR ELEVATIONS  
SHEET NUMBER

A201

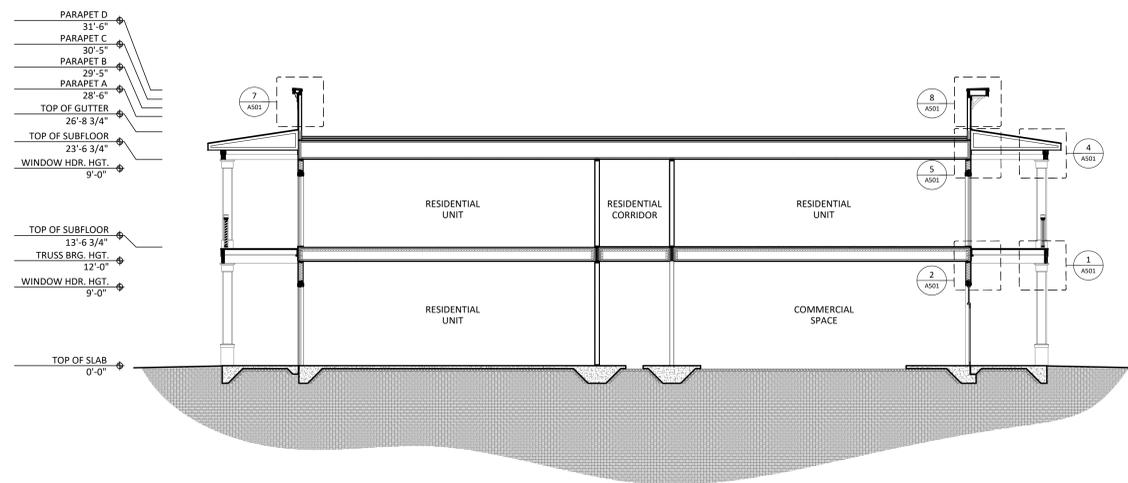


PLAGEMAN ARCHITECTURE  
• • •  
SWANSBORO BURLINGTON

- WALL SECTION NOTES:**
- REFER TO SHEET C32 FOR GENERAL NOTES.
  - REFER TO SHEET A010 FOR WALL TYPES.
  - SEE STRUCTURAL FOR ALL SIZES, SPACING AND SPECIFICATIONS FOR FRAMING, CONCRETE, FOUNDATION, REBAR, AND CONNECTION DETAILS.
  - WOOD TRUSS DRAWINGS ARE GRAPHICAL ONLY. SEE STRUCTURAL FOR TRUSS TYPE AND DESIGN.
  - SLOPE ALL MATERIALS ON VERTICAL AND SLOPING SURFACES IN A MANNER TO SHED WATER AWAY FROM THE BUILDING.
  - SEE A601 FOR ROOM FINISH SCHEDULE.
- WALL SECTION SPECIFICATIONS:**
- CONCRETE**
- SLAB VAPOR BARRIER - 6 MIL VAPOR BARRIER UNDER FOUNDATION SLAB.
  - GYPCRETE FLOORING - 3/4" GYPCRETE INSTALL WITH VAPOR BARRIER AS REQUIRED PER MANUFACTURER STANDARDS.
- WOOD**
- FLOOR DECKING - REF. STRUCT.
  - FLOOR TRUSSES - PREFABRICATED FLOOR TRUSSES REF. STRUCT.
  - ROOF TRUSSES - PREFABRICATED TRUSSES - REF. STRUCT.
  - EXTERIOR SHEATHING - REF. STRUCT.
  - ROOF SHEATHING - REF. STRUCT.
- WINDOW**
- SEE A601 FOR WINDOW AND STOREFRONT SPECIFICATIONS
- THERMAL AND MOISTURE PROTECTION**
- EXTERIOR SEALANT - SILICONE SEALANT
  - INTERIOR SEALANT - LATEX CAULK
  - AIR BARRIER - AIR-INFILTRATION BARRIER
  - FLEXIBLE MEMBRANE - "PEEL AND STICK" FLASHING, PRIME OSB SHEATHING TO ENSURE PROPER ADHESION
  - ALUMINUM FLASHING - PRE-FINISHED ALUMINUM FLASHING WITH FACTORY FORMED DRIP EDGE
  - INSULATION R VALUES - REFER TO ENERGY CODE SUMMARY
  - FIRE BLOCKING - STEEL WOOL OR BATT INSULATION AS REQ'D
  - GUTTERS AND DOWNSPOUTS - REFER TO ROOF PLAN FOR SIZES
- ROOFING**
- REFER TO ROOF PLAN FOR MATERIAL

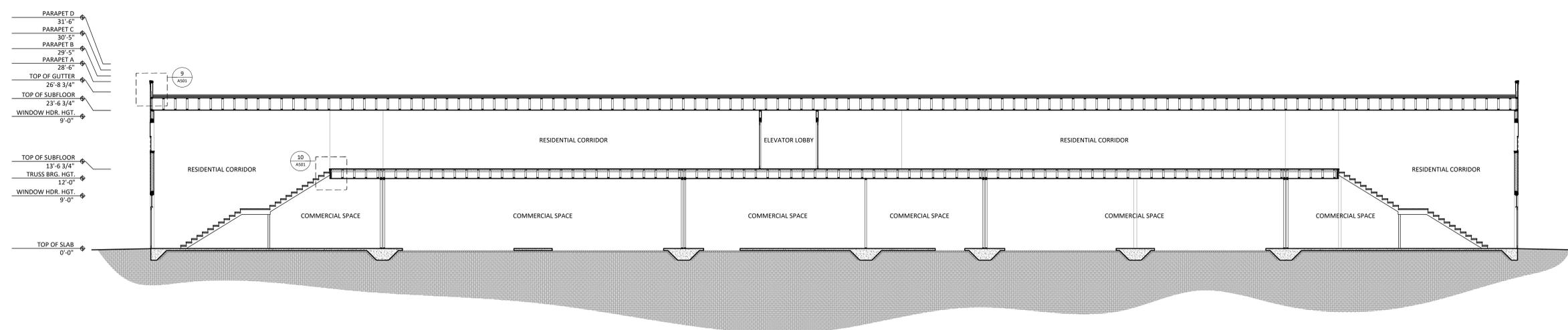
5 NOT USED  
SCALE: NO SCALE

4 NOT USED  
SCALE: NO SCALE



3 NOT USED  
SCALE: NO SCALE

2 BUILDING SECTION  
SCALE: 1/8" = 1'-0"



1 BUILDING SECTION  
SCALE: 1/8" = 1'-0"

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CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
SWANSBORO, NC 28584

REVISIONS

JOB NUMBER  
PA2110  
DRAWN BY: PARCH  
SHEET NAME  
BUILDING SECTIONS

SHEET NUMBER

**A301**



PLAGEMAN ARCHITECTURE  
SWANSBORO BURLINGTON

CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
SWANSBORO, NC 28584

REVISIONS

JOB NUMBER  
PA2110  
DRAWN BY: PARCH  
SHEET NAME  
UNIT TYPE A

SHEET NUMBER

**A401**

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**LEGEND:**

- 1 WALL TYPE REF: A020
- WINDOW TYPE REF: A600
- DOOR TYPE REF: A600
- LVT TO CARPET TRANSITION SCHLUTER RENO-TK
- LVT OR CARPET TO CONCRETE TRANSITION - SCHLUTER RENO-RAMP

**UNIT PLAN NOTES:**

- REFER TO SHEET A060 FOR GENERAL NOTES.
- REFER TO BUILDING PLANS FOR UNIT LOCATIONS WITHIN BUILDINGS.
- REFER TO SHEET A600 FOR DOOR SCHEDULES, WINDOW SCHEDULES, AND DETAILS.
- REFER TO WALL SECTIONS FOR LOCATION OF THERMAL INSULATION.
- REFER TO UNIT PLANS FOR LOCATION OF SOUND BATT INSULATION.
- ALL INTERIOR FRAMING TO BE 2X4 UNLESS NOTED OTHERWISE.
- ALL EXTERIOR FRAMING TO BE 2X6 UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE BLOCKING FOR ALL TOILET FIXTURES AND ACCESSORIES, GRAB BARS, AND CABINETRY AND TO SUPPORT ALL RODS AND SHELVES.

**NOTES:**

- SEE A201 FOR CEILING HEIGHTS.
- APPLY BRUSH ON WATERPROOFING OVER BACKER BOARD AT TUBS AND SHOWERS.
- INSTALL SCHLUTER TILE EDGE PROTECTION - RONDIC PROFILE AT TILE EDGES AND OUTSIDE CORNERS OF TILES SURFACES.
- VERIFY ALL EQUIPMENT, FINISHES, PAINT COLORS AND FIXTURES WITH INTERIOR DESIGNER AND OWNER PRIOR TO PURCHASE AND INSTALL.

**INTERIOR UNIT SPECIFICATIONS:**

**INTERIOR FINISHES AND TRIM**

- CARPET - REFER TO FINISH SCHEDULE
- LVT - REFER TO FINISH SCHEDULE
- INTERIOR WALL PAINT - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
- INTERIOR DOOR PAINT - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
- INTERIOR PAINT AT CEILINGS - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
- INTERIOR PAINT AT BATHROOM WALLS - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
- INTERIOR TRIM PAINT - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
- CLOSET SHELVING PAINT - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
- BACKSPLASH TILE - SOHO, SUBWAY WALL TILE, 3X6, COLOR: TBD
- KITCHEN COUNTER - LEVEL 2 GRANITE; EDGE: EASED
- BATHROOM COUNTER - LEVEL 2 GRANITE; EDGE: EASED

**INTERIOR DOORS AND HARDWARE**

- ENTRY DOORS - SEE DOOR SCHEDULE
- INTERIOR DOORS - SEE DOOR SCHEDULE
- PATIO DOORS - SEE DOOR SCHEDULE
- PROVIDE ACCESSIBLE THRESHOLDS AT ALL GROUND FLOOR EXTERIOR DOORS.
- ALL EXTERIOR HARDWARE TO BE SUITABLE WITH COASTAL ENVIRONMENTS.

**INTERIOR CASEWORK AND SHELVING**

- CABINETS - STANDARD GRADE = PLYWOOD BOX W/ THERMOFOL OR LAMINATE FACES, DOORS AND DRAWER FACES.
- CABINETS - PREMIUM GRADE = PLYWOOD BOX WITH HARDWOOD FACES, DOORS AND DRAWER FACES
- CABINET HARDWARE - BARS = SATIN NICKEL W/ BRASS UPGRADE. PULLS = SATIN NICKEL W/ BRASS UPGRADE
- ALL EXPOSED CABINETRY ENDS TO BE FINISHED.
- 2R2S INDICATES TWO RODS/TWO SHELVES. THE LOWER ROD IS TO BE MOUNTED 3'-3" A.F.F. THE UPPER ROD IS TO BE MOUNTED 6'-6".
- 1R1S INDICATES ONE ROD/ONE SHELF. THE ROD IS TO BE MOUNTED 5'-6" A.F.F.
- 5S INDICATES 5 SHELVES. THE LOWEST SHELF IS TO BE MOUNTED 21" A.F.F. THE REMAINING SHELVES ARE TO BE 15" ABOVE THE ONE BELOW UNLESS NOTE OTHERWISE.
- CLOSET SHELVING - PAINTED PINE WOOD SHELVES WITH WOOD BAR.
- MIRROR - ALL BATHROOM MIRRORS TO BE SLAB W/ PAINTED WOOD FRAME
- WINDOW SILL - BUILDER STANDARD PAINT GRADE WOOD; SEMI GLOSS, COLOR: SW7005 PURE WHITE
- WINDOW CASING - SIDE - BUILDER STANDARD PAINT GRADE WOOD; SEMI GLOSS, COLOR: SW7005 PURE WHITE
- DOOR TRIM - BUILDER STANDARD; 1X4; PAINT GRADE FJ PINE OR FACTORY PRIMED (ALL AROUND) MDF; PROFILE SQUARE
- BASE BOARD - BUILDER STANDARD; 1X6; PAINT GRADE FJ PINE OR FACTORY PRIMED (ALL AROUND) MDF; PROFILE SQUARE
- CROWN MOLDINGS - SEE PLANS FOR LOCATIONS INDICATED BY DASHED LINE
- WINDOW TREATMENTS - BLINDS; 2" FAUX WOOD; WHITE
- WALL/CEILING TEXTURE - SMOOTH

**KITCHEN & LAUNDRY RM. EQUIPMENT**

- RANGE - 36" DROP IN COOKTOP - TBD
- DISHWASHER - 24" DISHWASHER; FINISH: STAINLESS STEEL - MFG: TBD
- RANGE HOOD - CABINET FINISHED HOOD SYSTEM
- REFRIGERATOR - OWNER PROVIDED - MAX. WIDTH = 38"
- DISPOSAL - UNDER SINK - 1/2 HP
- WALL OVEN/MICROWAVE COMBO - 30" MAX. WIDTH - TBD - ALLOWANCE = \$3,250

**PLUMBING FIXTURES**

- KITCHEN SINK - KARRAN 32" UNDERMOUNT LARGE SINGLE BOWL (SS) WORKSTATION SINK W/ CUTTING BOARD, DISH DRYING RACK AND BOTTOM GRID - W9-37-PK1
- KITCHEN FAUCET - TBD, BUDGET \$300 PER FAUCET
- BATH SINK - KOHLER CAXTON VITREOUS CHINA UNDER MOUNT SINK
- BATH FAUCET - TBD, BUDGET \$200 PER BATHROOM FAUCET
- SHOWER ONLY TRIM - TBD - PRICE @ \$650 EACH
- SHOWER / TUB TRIM - TBD - PRICE @ \$500 EACH
- SHOWER - TILE REDI - 30 X 48 BASE - SINGLE DRAIN
- TUB SHOWER COMBO - STERLING TRAVERSE OR SIMILAR

**BATHROOM ACCESSORIES**

- SHOWER ROD - BUILDER STANDARD; CURVED; FINISH: BRUSHED NICKEL
- TOWEL BARS - TBD; FINISH: BRUSHED NICKEL; MOUNTED 48" A.F.F.
- TOILET PAPER HOLDER - TBD; COLOR: BRUSHED NICKEL; MOUNTED 19" A.F.F.
- ROBE HOOK - TBD; FINISH: BRUSHED NICKEL

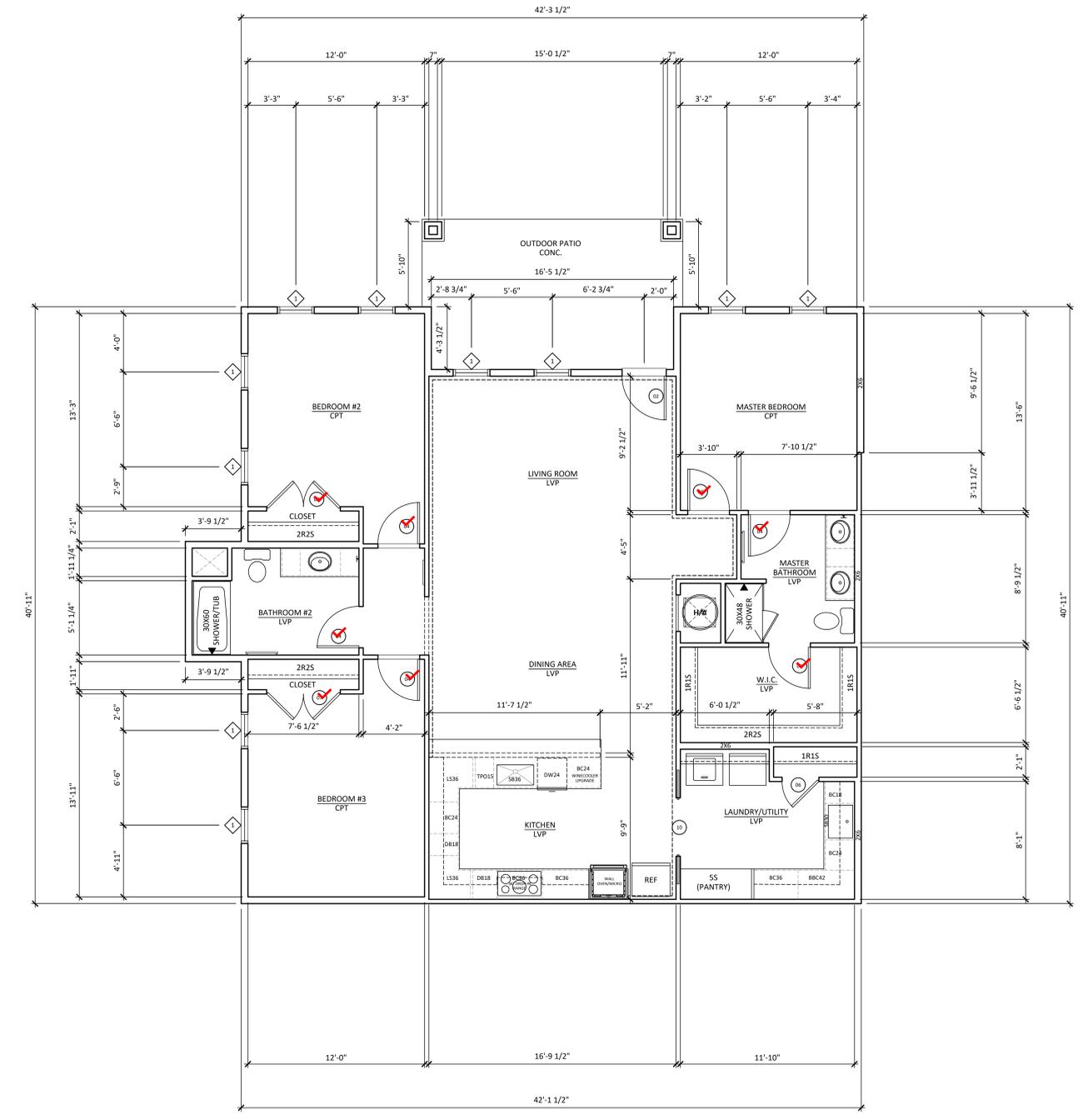
### CONDOMINIUM DOOR AND FRAME SCHEDULE

DOOR TAG	DOOR						FRAME		HARDWARE SET	NOTES	
	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	GLAZING	FIRE RATING	MATERIAL			TYPE
01	3'-0"	6'-8"	1 3/4"	D1	FIBERGLASS	--	20	WD	--	A	THERMA TRU STYLE # SSF120   2-PANEL   SHAKER STYLE
02	3'-0"	8'-0"	1 3/4"	D2	FIBERGLASS	YES	0	WD	--	B	THERMA TRU STYLE #CCAR7200   2 PANEL FLUSH GLAZED   CLEAR
03	3'-0"	6'-8"	1 3/4"	D2	FIBERGLASS	YES	0	WD	--	C	THERMA TRU STYLE # S2103   3/4 LITE   1 PANEL   4 GLASS PANEL CLEAR   DIVIDED LITE
04	2'-10"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	D	MASONITE   BAYSHORE   5 PANEL   SOLID CORE
05	2'-10"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	E	MASONITE   BAYSHORE   5 PANEL   SOLID CORE
06	2'-6"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	E	MASONITE   BAYSHORE   5 PANEL   SOLID CORE
07	5'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE DOOR]
08	4'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE DOOR]
09	3'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE DOOR]
10	4'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	G	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE POCKET DOOR]
11	3'-0"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	G	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [SINGLE POCKET DOOR]

**HARDWARE SCHEDULE**

SET A: MAIN ENTRY DOOR/KNOCKER/DOOR HANDLE W/ THUMB PIECE/KEYED/PEEP HOLE  
 SET B: MAIN ENTRY DOOR/KNOCKER/DOOR HANDLE W/ THUMB PIECE/KEYED  
 SET C: PATIO DOOR DEAD BOLT AND LEVER HANDLE  
 SET D: PRIVACY SET/ LEVER  
 SET E: PASSAGE SET/ LEVER  
 SET F: DUMMY SET/ FAUX LEVER WITH SPRING LATCH HEAD  
 SET G: POCKET DOOR HARDWARE

**DOOR SCHEDULE AND NOTES**  
SCALE: NO SCALE



**UNIT PLAN - UNIT TYPE A (1,610 SQ.FT. INTERIOR OF WALL)**  
SCALE: 1/4" = 1'-0"

**NOT USED**  
SCALE: 1/4" = 1'-0"

**NOT USED**  
SCALE: 1/4" = 1'-0"

**NOT USED**  
SCALE: 1/4" = 1'-0"

**UNIT PLAN NOTES AND SPECIFICATIONS**  
SCALE: NTS



### CONDOMINIUM DOOR AND FRAME SCHEDULE

DOOR TAG	DOOR						FRAME		HARDWARE SET	NOTES	
	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	GLAZING	FIRE RATING	MATERIAL			TYPE
01	3'-0"	6'-8"	1 3/4"	D1	FIBERGLASS	--	20	WD	--	A	THERMA TRU STYLE # SSF120   2-PANEL   SHAKER STYLE
02	3'-0"	8'-0"	1 3/4"	D2	FIBERGLASS	YES	0	WD	--	B	THERMA TRU STYLE # CCR87200   2 PANEL FLUSH GLAZED   CLEAR
03	3'-0"	6'-8"	1 3/4"	D2	FIBERGLASS	YES	0	WD	--	C	THERMA TRU STYLE # S2103   3/4 LITE   1 PANEL   4 GLASS PANEL CLEAR   DIVIDED LITE
04	2'-10"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	D	MASONITE   BAYSHORE   5 PANEL   SOLID CORE
05	2'-10"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	E	MASONITE   BAYSHORE   5 PANEL   SOLID CORE
06	2'-6"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	E	MASONITE   BAYSHORE   5 PANEL   SOLID CORE
07	5'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE DOOR]
08	4'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE DOOR]
09	3'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE DOOR]
10	4'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	G	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE POCKET DOOR]
11	3'-0"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	G	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [SINGLE POCKET DOOR]

**HARDWARE SCHEDULE**  
 SET A: MAIN ENTRY DOOR/KNOCKER/DOOR HANDLE W/ THUMB PIECE/KEYED/PEEP HOLE  
 SET B: MAIN ENTRY DOOR/KNOCKER/DOOR HANDLE W/ THUMB PIECE/KEYED  
 SET C: PATIO DOOR DEAD BOLT AND LEVER HANDLE  
 SET D: PRIVACY SET/LEVER  
 SET E: PASSAGE SET/LEVER  
 SET F: DUMMY SET/ FAUX LEVER WITH SPRING LATCH HEAD  
 SET G: POCKET DOOR HARDWARE

- LEGEND:**
- 1 WALL TYPE REF: A020
  - WINDOW TYPE REF: A600
  - DOOR TYPE REF: A600
  - LVT TO CARPET TRANSITION SCHLUTER RENO-TK
  - LVT OR CARPET TO CONCRETE TRANSITION - SCHLUTER RENO-RAMP
- UNIT PLAN NOTES:**
- A. REFER TO SHEET A600 FOR GENERAL NOTES.
  - B. REFER TO BUILDING PLANS FOR UNIT LOCATIONS WITHIN BUILDINGS.
  - C. REFER TO SHEET A600 FOR DOOR SCHEDULES, WINDOW SCHEDULES, AND DETAILS.
  - D. REFER TO WALL SECTIONS FOR LOCATION OF THERMAL INSULATION.
  - E. REFER TO UNIT PLANS FOR LOCATION OF SOUND BATT INSULATION.
  - F. ALL INTERIOR FRAMING TO BE 2X4 UNLESS NOTED OTHERWISE.
  - G. ALL EXTERIOR FRAMING TO BE 2X6 UNLESS NOTED OTHERWISE.
  - H. ALL DIMENSIONS ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
  - I. CONTRACTOR TO PROVIDE BLOCKING FOR ALL TOILET FIXTURES AND ACCESSORIES, GRAB BARS, AND CABINETS AND TO SUPPORT ALL RODS AND SHELVES.

- NOTES:**
1. SEE A201 FOR CEILING HEIGHTS.
  2. APPLY BRUSH ON WATERPROOFING OVER BACKER BOARD AT TUBS AND SHOWERS.
  3. INSTALL SCHLUTER TILE EDGE PROTECTION - RONDEK PROFILE AT TILE EDGES AND OUTSIDE CORNERS OF TILES SURFACES.
  4. VERIFY ALL EQUIPMENT, FINISHES, PAINT COLORS AND FIXTURES WITH INTERIOR DESIGNER AND OWNER PRIOR TO PURCHASE AND INSTALL.

- INTERIOR UNIT SPECIFICATIONS:**
- INTERIOR FINISHES AND TRIM**
- CARPET - REFER TO FINISH SCHEDULE
  - LVT - REFER TO FINISH SCHEDULE
  - INTERIOR WALL PAINT - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - INTERIOR DOOR PAINT - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
  - INTERIOR PAINT AT CEILINGS - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - INTERIOR PAINT AT BATHROOM WALLS - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
  - INTERIOR TRIM PAINT - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
  - CLOSET SHELVING PAINT - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - BACKSPLASH TILE - SOHO, SUBWAY WALL TILE, 3X6, COLOR: TBD
  - KITCHEN COUNTER - LEVEL 2 GRANITE; EDGE: EASED
  - BATHROOM COUNTER - LEVEL 2 GRANITE; EDGE: EASED

- INTERIOR DOORS AND HARDWARE**
- ENTRY DOORS - SEE DOOR SCHEDULE
  - INTERIOR DOORS - SEE DOOR SCHEDULE
  - PATIO DOORS - SEE DOOR SCHEDULE
  - PROVIDE ACCESSIBLE THRESHOLDS AT ALL GROUND FLOOR EXTERIOR DOORS.
  - ALL EXTERIOR HARDWARE TO BE SUITABLE WITH COASTAL ENVIRONMENTS.

- INTERIOR CASEWORK AND SHELVING**
- CABINETS - STANDARD GRADE = PLYWOOD BOX W/ THERMOFOL OR LAMINATE FACES, DOORS AND DRAWER FACES.
  - CABINETS - PREMIUM GRADE = PLYWOOD BOX WITH HARDWOOD FACES, DOORS AND DRAWER FACES
  - CABINET HARDWARE - BARS = SATIN NICKEL W/ BRASS UPGRADE. PULLS = SATIN NICKEL W/ BRASS UPGRADE
  - ALL EXPOSED CABINETRY ENDS TO BE FINISHED.
  - 2R2S INDICATES TWO RODS/TWO SHELVES. THE LOWER ROD IS TO BE MOUNTED 3'-3" A.F.F. THE UPPER ROD IS TO BE MOUNTED 6'-6".
  - 1R1S INDICATES ONE ROD/ONE SHELF. THE ROD IS TO BE MOUNTED 5'-6" A.F.F.
  - S5 INDICATES 5 SHELVES. THE LOWEST SHELF IS TO BE MOUNTED 21" A.F.F. THE REMAINING SHELVES ARE TO BE 15" ABOVE THE ONE BELOW UNLESS NOTE OTHERWISE.
  - CLOSET SHELVING - PAINTED PINE WOOD SHELVES WITH WOOD BAR.
  - MIRROR - ALL BATHROOM MIRRORS TO BE SLAB W/ PAINTED WOOD FRAME
  - WINDOW SILL - BUILDER STANDARD PAINT GRADE WOOD; SEMI GLOSS, COLOR: SW7005 PURE WHITE
  - WINDOW CASING - SIDES - BUILDER STANDARD PAINT GRADE WOOD; SEMI GLOSS, COLOR: SW7005 PURE WHITE
  - DOOR TRIM - BUILDER STANDARD; 1X4; PAINT GRADE FJ PINE OR FACTORY PRIMED (ALL AROUND) MDF; PROFILE SQUARE
  - BASE BOARD - BUILDER STANDARD; 1X6; PAINT GRADE FJ PINE OR FACTORY PRIMED (ALL AROUND) MDF; PROFILE SQUARE
  - CROWN MOLDINGS - SEE PLANS FOR LOCATIONS INDICATED BY DASHED LINE
  - WINDOW TREATMENTS - BLINDS; 2" FAUX WOOD; WHITE
  - WALL/CEILING TEXTURE - SMOOTH

- KITCHEN & LAUNDRY RM. EQUIPMENT**
- RANGE - 36" DROP IN COOKTOP - TBD
  - DISHWASHER - 24" DISHWASHER; FINISH: STAINLESS STEEL - MFG: TBD
  - RANGE HOOD - CABINET FINISHED HOOD SYSTEM
  - REFRIGERATOR - OWNER PROVIDED - MAX. WIDTH = 38"
  - DISPOSAL - UNDER SINK - 1/2 HP
  - WALL OVEN/MICROWAVE COMBO - 30" MAX. WIDTH - TBD - ALLOWANCE = \$3,250

- PLUMBING FIXTURES**
- KITCHEN SINK - KARRAN 32" UNDERMOUNT LARGE SINGLE BOWL (SS) WORKSTATION SINK W/ CUTTING BOARD, DISH DRYING RACK AND BOTTOM GRID - W5-37-PK1
  - KITCHEN FAUCET - TBD, BUDGET \$300 PER FAUCET
  - BATH SINK - KOHLER CAXTON VITREOUS CHINA UNDER MOUNT SINK
  - BATH FAUCET - TBD, BUDGET \$200 PER BATHROOM FAUCET
  - SHOWER ONLY TRIM - TBD - PRICE @ \$650 EACH
  - SHOWER / TUB TRIM - TBD - PRICE @ \$500 EACH
  - SHOWER - TILE REDI - 30 X 48 BASE - SINGLE DRAIN
  - TUB SHOWER COMBO - STERLING TRAVERSE OR SIMILAR

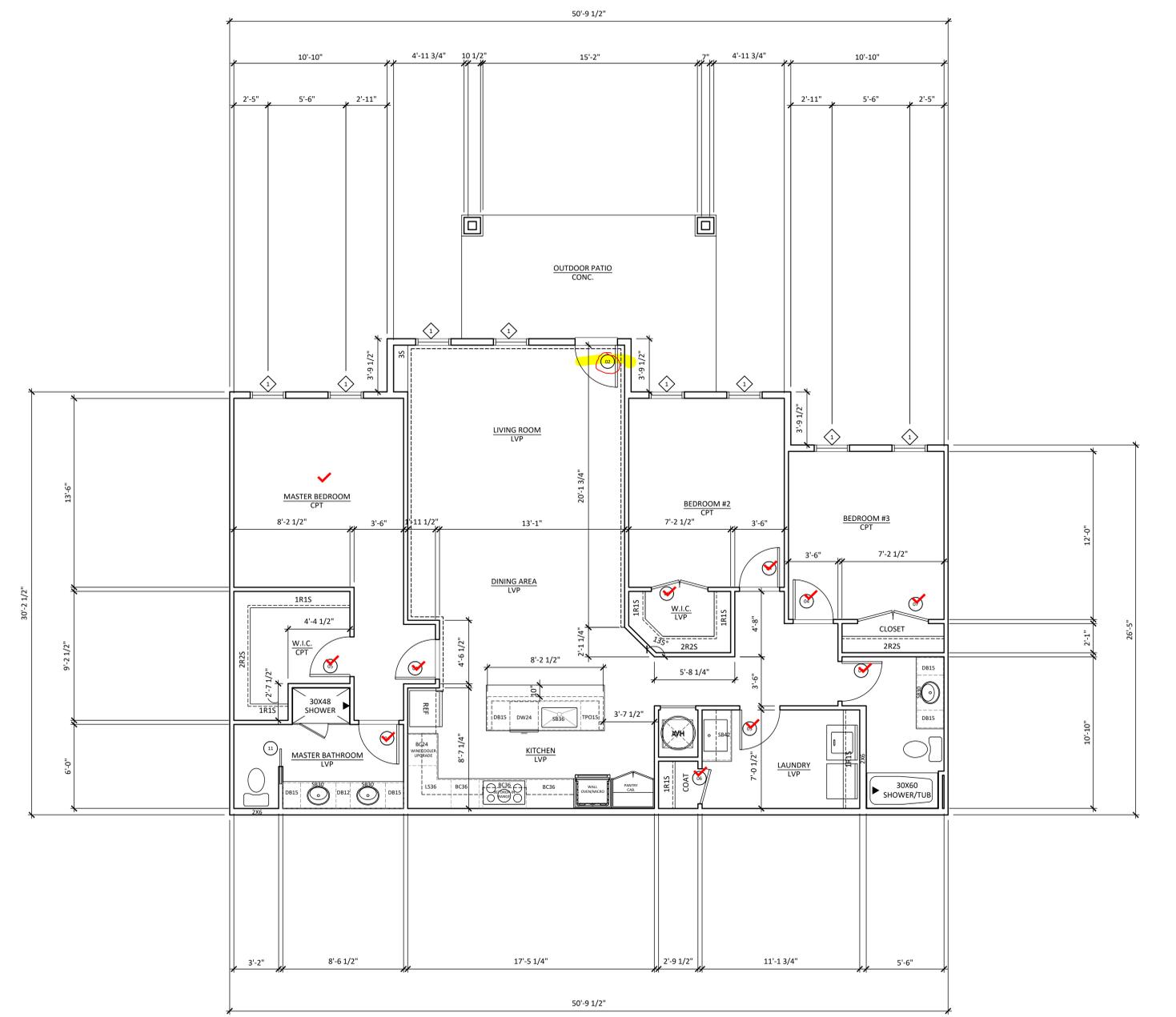
- BATHROOM ACCESSORIES**
- SHOWER ROD - BUILDER STANDARD; CURVED; FINISH: BRUSHED NICKEL
  - TOWEL BARS - TBD; FINISH: BRUSHED NICKEL; MOUNTED 48" A.F.F.
  - TOILET PAPER HOLDER - TBD; COLOR: BRUSHED NICKEL; MOUNTED 19" A.F.F.
  - ROBE HOOK - TBD; FINISH: BRUSHED NICKEL

6 NOT USED  
SCALE: 1/4" = 1'-0"

4 NOT USED  
SCALE: 1/4" = 1'-0"

3 NOT USED  
SCALE: 1/4" = 1'-0"

5 DOOR SCHEDULE AND NOTES  
SCALE: NO SCALE



2 UNIT PLAN - UNIT TYPE B (1,490 SQ.FT. INTERIOR OF WALL)  
SCALE: 1/4" = 1'-0"

1 UNIT PLAN NOTES AND SPECIFICATIONS  
SCALE: NTS

CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
 SWANSBORO, NC 28584

REVISIONS

JOB NUMBER  
PA2110

DRAWN BY: PARCH

SHEET NAME  
UNIT TYPE B

SHEET NUMBER  
**A402**

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### CONDOMINIUM DOOR AND FRAME SCHEDULE

DOOR TAG	WIDTH	HEIGHT	THICK	TYPE	DOOR MATERIAL	GLAZING	FIRE RATING	FRAME MATERIAL	FRAME TYPE	HARDWARE SET	NOTES
01	3'-0"	6'-8"	1 3/4"	D1	FIBERGLASS	--	20	WD	--	A	THERMA TRU STYLE # SSF120   2-PANEL   SHAKER STYLE
02	3'-0"	8'-0"	1 3/4"	D2	FIBERGLASS	YES	0	WD	--	B	THERMA TRU STYLE #CCAB7200   2 PANEL FLUSH GLAZED   CLEAR
03	3'-0"	6'-8"	1 3/4"	D2	FIBERGLASS	YES	0	WD	--	C	THERMA TRU STYLE # S2103   3/4 LITE   1 PANEL   4 GLASS PANEL CLEAR   DIVIDED LITE
04	2'-10"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	D	MASONITE   BAYSHORE   5 PANEL   SOLID CORE
05	2'-10"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	E	MASONITE   BAYSHORE   5 PANEL   SOLID CORE
06	2'-6"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	E	MASONITE   BAYSHORE   5 PANEL   SOLID CORE
07	5'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE DOOR]
08	4'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE DOOR]
09	3'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE DOOR]
10	4'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	G	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE POCKET DOOR]
11	3'-0"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	G	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [SINGLE POCKET DOOR]

#### HARDWARE SCHEDULE

SET A: MAIN ENTRY DOOR/KNOCKER/DOOR HANDLE W/ THUMB PIECE/KEYED/PEEP HOLE  
 SET B: MAIN ENTRY DOOR/KNOCKER/DOOR HANDLE W/ THUMB PIECE/KEYED  
 SET C: PATIO DOOR DEAD BOLT AND LEVER HANDLE  
 SET D: PRIVACY SET/ LEVER  
 SET E: PASSAGE SET/ LEVER  
 SET F: DUMMY SET/ FAUX LEVER WITH SPRING LATCH HEAD  
 SET G: POCKET DOOR HARDWARE

#### LEGEND:

- 1 WALL TYPE REF: A020
- WINDOW TYPE REF: A600
- DOOR TYPE REF: A600
- LVT TO CARPET TRANSITION SCHLUTER RENO-TK
- LVT OR CARPET TO CONCRETE TRANSITION - SCHLUTER RENO-RAMP

#### UNIT PLAN NOTES:

- A. REFER TO SHEET A060 FOR GENERAL NOTES.
- B. REFER TO BUILDING PLANS FOR UNIT LOCATIONS WITHIN BUILDINGS.
- C. REFER TO SHEET A600 FOR DOOR SCHEDULES, WINDOW SCHEDULES, AND DETAILS.
- D. REFER TO WALL SECTIONS FOR LOCATION OF THERMAL INSULATION.
- E. REFER TO UNIT PLANS FOR LOCATION OF SOUND BATT INSULATION.
- F. ALL INTERIOR FRAMING TO BE 2X4 UNLESS NOTED OTHERWISE.
- G. ALL EXTERIOR FRAMING TO BE 2X6 UNLESS NOTED OTHERWISE.
- H. ALL DIMENSIONS ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
- I. CONTRACTOR TO PROVIDE BLOCKING FOR ALL TOILET FIXTURES AND ACCESSORIES, GRAB BARS, AND CABINETS AND TO SUPPORT ALL RODS AND SHELVES.

#### INTERIOR UNIT SPECIFICATIONS:

- INTERIOR FINISHES AND TRIM**
- CARPET - REFER TO FINISH SCHEDULE
  - LVT - REFER TO FINISH SCHEDULE
  - INTERIOR WALL PAINT - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - INTERIOR DOOR PAINT - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
  - INTERIOR TRIM PAINT - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - INTERIOR PAINT AT CEILINGS - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - INTERIOR PAINT AT BATHROOM WALLS - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
  - INTERIOR TRIM PAINT - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
  - CLOSET SHELVING PAINT - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - BACKSPLASH TILE - SOHO, SUBWAY WALL TILE, 3X6, COLOR: TBD
  - KITCHEN COUNTER - LEVEL 2 GRANITE; EDGE: EASED
  - BATHROOM COUNTER - LEVEL 2 GRANITE; EDGE: EASED

- INTERIOR DOORS AND HARDWARE**
- ENTRY DOORS - SEE DOOR SCHEDULE
  - INTERIOR DOORS - SEE DOOR SCHEDULE
  - PATIO DOORS - SEE DOOR SCHEDULE
  - PROVIDE ACCESSIBLE THRESHOLDS AT ALL GROUND FLOOR EXTERIOR DOORS.
  - ALL EXTERIOR HARDWARE TO BE SUITABLE WITH COASTAL ENVIRONMENTS.

- INTERIOR CASEWORK AND SHELVING**
- CABINETS - STANDARD GRADE = PLYWOOD BOX W/ THERMOFOL OR LAMINATE FACES, DOORS AND DRAWER FACES.
  - CABINETS - PREMIUM GRADE = PLYWOOD BOX WITH HARDWOOD FACES, DOORS AND DRAWER FACES
  - CABINET HARDWARE - BARS = SATIN NICKEL W/ BRASS UPGRADE. PULLS = SATIN NICKEL W/ BRASS UPGRADE
  - ALL EXPOSED CABINETRY ENDS TO BE FINISHED.
  - 2R2S INDICATES TWO RODS/TWO SHELVES. THE LOWER ROD IS TO BE MOUNTED 3'-3" A.F.F. THE UPPER ROD IS TO BE MOUNTED 6'-6".
  - 1R1S INDICATES ONE ROD/ONE SHELF. THE ROD IS TO BE MOUNTED 5'-6" A.F.F.
  - S5 INDICATES 5 SHELVES. THE LOWEST SHELF IS TO BE MOUNTED 21" A.F.F. THE REMAINING SHELVES ARE TO BE 15" ABOVE THE ONE BELOW UNLESS NOTE OTHERWISE.
  - CLOSET SHELVING - PAINTED PINE WOOD SHELVES WITH WOOD BAR.
  - MIRROR - ALL BATHROOM MIRRORS TO BE SLAB W/ PAINTED WOOD FRAME
  - WINDOW SILL - BUILDER STANDARD PAINT GRADE WOOD; SEMI GLOSS, COLOR: SW7005 PURE WHITE
  - WINDOW CASING - SIDES - BUILDER STANDARD PAINT GRADE WOOD; SEMI GLOSS, COLOR: SW7005 PURE WHITE
  - DOOR TRIM - BUILDER STANDARD; 1X4; PAINT GRADE FJ PINE OR FACTORY PRIMED (ALL AROUND) MDF; PROFILE SQUARE
  - BASE BOARD - BUILDER STANDARD; 1X6; PAINT GRADE FJ PINE OR FACTORY PRIMED (ALL AROUND) MDF; PROFILE SQUARE
  - CROWN MOLDINGS - SEE PLANS FOR LOCATIONS INDICATED BY DASHED LINE
  - WINDOW TREATMENTS - BLINDS; 2" FAUX WOOD, WHITE
  - WALL/CEILING TEXTURE - SMOOTH

- KITCHEN & LAUNDRY RM. EQUIPMENT**
- RANGE - 36" DROP IN COOKTOP - TBD
  - DISHWASHER - 24" DISHWASHER; FINISH: STAINLESS STEEL - MFG: TBD
  - RANGE HOOD - CABINET FINISHED HOOD SYSTEM
  - REFRIGERATOR - OWNER PROVIDED - MAX. WIDTH = 38"
  - DISPOSAL - UNDER SINK - 1/2 HP
  - WALL OVEN/MICROWAVE COMBO - 30" MAX. WIDTH - TBD - ALLOWANCE = \$3,250

- PLUMBING FIXTURES**
- KITCHEN SINK - KARRAN 32" UNDERMOUNT LARGE SINGLE BOWL (SS) WORKSTATION SINK W/ CUTTING BOARD, DISH DRYING RACK AND BOTTOM GRID - WS-37-PK1
  - KITCHEN FAUCET - TBD, BUDGET \$300 PER FAUCET
  - BATH SINK - KOHLER CAXTON VITREOUS CHINA UNDER MOUNT SINK
  - BATH FAUCET - TBD, BUDGET \$200 PER BATHROOM FAUCET
  - SHOWER ONLY TRIM - TBD - PRICE @ \$650 EACH
  - SHOWER / TUB TRIM - TBD - PRICE @ \$500 EACH
  - SHOWER - TILE REDI - 30 X 48 BASE - SINGLE DRAIN
  - TUB SHOWER COMBO - STERLING TRAVERSE OR SIMILAR

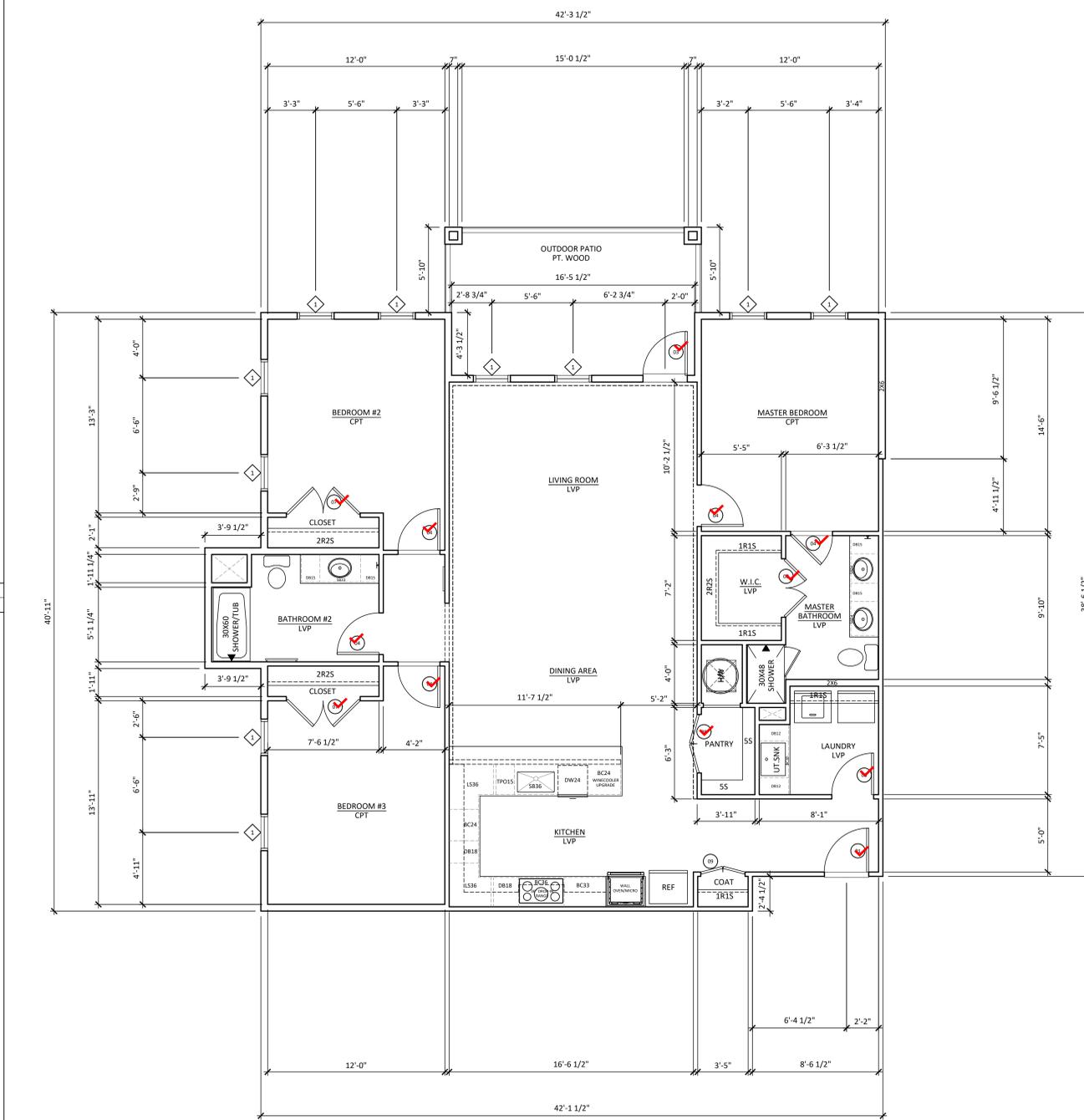
- BATHROOM ACCESSORIES**
- SHOWER ROD - BUILDER STANDARD; CURVED; FINISH: BRUSHED NICKEL
  - TOWEL BARS - TBD; FINISH: BRUSHED NICKEL; MOUNTED 48" A.F.F.
  - TOILET PAPER HOLDER - TBD; COLOR: BRUSHED NICKEL; MOUNTED 19" A.F.F.
  - ROBE HOOK - TBD; FINISH: BRUSHED NICKEL

6 NOT USED  
SCALE: 1/4" = 1'-0"

4 NOT USED  
SCALE: 1/4" = 1'-0"

3 NOT USED  
SCALE: 1/4" = 1'-0"

5 DOOR SCHEDULE AND NOTES  
SCALE: NO SCALE



2 UNIT PLAN - UNIT TYPE C (1,610 SQ.FT. INTERIOR OF WALL)  
SCALE: 1/4" = 1'-0"

1 UNIT PLAN NOTES AND SPECIFICATIONS  
SCALE: NTS

CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
SWANSBORO, NC 28584

REVISIONS

JOB NUMBER  
PA2110

DRAWN BY: PARCH

SHEET NAME  
UNIT TYPE C

SHEET NUMBER

**A403**



### CONDOMINIUM DOOR AND FRAME SCHEDULE

DOOR TAG	DOOR				GLAZING		FIRE RATING	FRAME		HARDWARE SET	NOTES
	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	TYPE		MATERIAL	TYPE		
01	3'-0"	6'-8"	1 3/4"	D1	FIBERGLASS	--	20	WD	--	A	THERMA TRU STYLE # 55F120   2-PANEL   SHAKER STYLE
02	3'-0"	8'-0"	1 3/4"	D2	FIBERGLASS	YES	0	WD	--	B	THERMA TRU STYLE #CCA87200   2-PANEL FLUSH GLAZED   CLEAR
03	3'-0"	6'-8"	1 3/4"	D2	FIBERGLASS	YES	0	WD	--	C	THERMA TRU STYLE # S2103   3/4 LITE   1-PANEL   4-GLASS PANEL CLEAR   DIVIDED LITE
04	2'-10"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	D	MASONITE   BAYSHORE   5-PANEL   SOLID CORE
05	2'-10"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	E	MASONITE   BAYSHORE   5-PANEL   SOLID CORE
06	2'-6"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	E	MASONITE   BAYSHORE   5-PANEL   SOLID CORE
07	5'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5-PANEL   SOLID CORE [DOUBLE DOOR]
08	4'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5-PANEL   SOLID CORE [DOUBLE DOOR]
09	3'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5-PANEL   SOLID CORE [DOUBLE DOOR]
10	4'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	G	MASONITE   BAYSHORE   5-PANEL   SOLID CORE [DOUBLE POCKET DOOR]
11	3'-0"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	G	MASONITE   BAYSHORE   5-PANEL   SOLID CORE [SINGLE POCKET DOOR]

**HARDWARE SCHEDULE**  
 SET A: MAIN ENTRY DOOR/KNOCKER/DOOR HANDLE W/ THUMB PIECE/KEYED/PEEP HOLE  
 SET B: MAIN ENTRY DOOR/KNOCKER/DOOR HANDLE W/ THUMB PIECE/KEYED  
 SET C: PATIO DOOR DEAD BOLT AND LEVER HANDLE  
 SET D: PRIVACY SET/ LEVER  
 SET E: PASSAGE SET/ LEVER  
 SET F: DUMMY SET/ FAUX LEVER WITH SPRING LATCH HEAD  
 SET G: POCKET DOOR HARDWARE

- LEGEND:**
- 1 WALL TYPE REF: A020
  - WINDOW TYPE REF: A600
  - DOOR TYPE REF: A600
  - LVT TO CARPET TRANSITION SCHLUTER RENO-TK
  - LVT OR CARPET TO CONCRETE TRANSITION - SCHLUTER RENO-RAMP
- UNIT PLAN NOTES:**
- REFER TO SHEET A060 FOR GENERAL NOTES.
  - REFER TO BUILDING PLANS FOR UNIT LOCATIONS WITHIN BUILDINGS.
  - REFER TO SHEET A600 FOR DOOR SCHEDULES, WINDOW SCHEDULES, AND DETAILS.
  - REFER TO WALL SECTIONS FOR LOCATION OF THERMAL INSULATION.
  - REFER TO UNIT PLANS FOR LOCATION OF SOUND BATT INSULATION.
  - ALL INTERIOR FRAMING TO BE 2X4 UNLESS NOTED OTHERWISE.
  - ALL EXTERIOR FRAMING TO BE 2X6 UNLESS NOTED OTHERWISE.
  - ALL DIMENSIONS ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO PROVIDE BLOCKING FOR ALL TOILET FIXTURES AND ACCESSORIES, GRAB BARS, AND CABINETRY AND TO SUPPORT ALL RODS AND SHELVES.

- NOTES:**
- SEE A201 FOR CEILING HEIGHTS.
  - APPLY BRUSH ON WATERPROOFING OVER BACKER BOARD AT TUBS AND SHOWERS.
  - INSTALL SCHLUTER TILE EDGE PROTECTION - RONDEC PROFILE AT TILE EDGES AND OUTSIDE CORNERS OF TILES SURFACES.
  - VERIFY ALL EQUIPMENT, FINISHES, PAINT COLORS AND FIXTURES WITH INTERIOR DESIGNER AND OWNER PRIOR TO PURCHASE AND INSTALL.

- INTERIOR UNIT SPECIFICATIONS:**
- INTERIOR FINISHES AND TRIM**
- CARPET - REFER TO FINISH SCHEDULE
  - LVT - REFER TO FINISH SCHEDULE
  - INTERIOR WALL PAINT - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - INTERIOR DOOR PAINT - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
  - INTERIOR PAINT AT CEILINGS - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - INTERIOR PAINT AT BATHROOM WALLS - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
  - INTERIOR TRIM PAINT - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
  - CLOSET SHELVING PAINT - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - BACKSPLASH TILE - SOHO, SUBWAY WALL TILE, 3X6, COLOR: TBD
  - KITCHEN COUNTER - LEVEL 2 GRANITE; EDGE: EASED
  - BATHROOM COUNTER - LEVEL 2 GRANITE; EDGE: EASED

- INTERIOR DOORS AND HARDWARE**
- ENTRY DOORS - SEE DOOR SCHEDULE
  - INTERIOR DOORS - SEE DOOR SCHEDULE
  - PATIO DOORS - SEE DOOR SCHEDULE
  - PROVIDE ACCESSIBLE THRESHOLDS AT ALL GROUND FLOOR EXTERIOR DOORS.
  - ALL EXTERIOR HARDWARE TO BE SUITABLE WITH COASTAL ENVIRONMENTS.

- INTERIOR CASEWORK AND SHELVING**
- CABINETS - STANDARD GRADE = PLYWOOD BOX W/ THERMOFOL OR LAMINATE FACES, DOORS AND DRAWER FACES.
  - CABINETS - PREMIUM GRADE = PLYWOOD BOX WITH HARDWOOD FACES, DOORS AND DRAWER FACES
  - CABINET HARDWARE - BARS = SATIN NICKEL W/ BRASS UPGRADE. PULLS = SATIN NICKEL W/ BRASS UPGRADE
  - ALL EXPOSED CABINETRY ENDS TO BE FINISHED.
  - 2R2S INDICATES TWO RODS/TWO SHELVES. THE LOWER ROD IS TO BE MOUNTED 3'-3" A.F.F. THE UPPER ROD IS TO BE MOUNTED 6'-6".
  - 1R1S INDICATES ONE ROD/ONE SHELF. THE ROD IS TO BE MOUNTED 5'-6" A.F.F.
  - 5S INDICATES 5 SHELVES. THE LOWEST SHELF IS TO BE MOUNTED 21" A.F.F. THE REMAINING SHELVES ARE TO BE 15" ABOVE THE ONE BELOW UNLESS NOTE OTHERWISE.
  - CLOSET SHELVING - PAINTED PINE WOOD SHELVES WITH WOOD BAR.
  - MIRROR - ALL BATHROOM MIRRORS TO BE SLAB W/ PAINTED WOOD FRAME
  - WINDOW SILL - BUILDER STANDARD PAINT GRADE WOOD; SEMI GLOSS, COLOR: SW7005 PURE WHITE
  - WINDOW CASING - SIDES - BUILDER STANDARD PAINT GRADE WOOD; SEMI GLOSS, COLOR: SW7005 PURE WHITE
  - DOOR TRIM - BUILDER STANDARD; 1X4; PAINT GRADE FJ PINE OR FACTORY PRIMED (ALL AROUND) MDF; PROFILE SQUARE
  - BASE BOARD - BUILDER STANDARD; 1X6; PAINT GRADE FJ PINE OR FACTORY PRIMED (ALL AROUND) MDF; PROFILE SQUARE
  - CROWN MOLDINGS - SEE PLANS FOR LOCATIONS INDICATED BY DASHED LINE
  - WINDOW TREATMENTS - BLINDS; 2" FAUX WOOD; WHITE
  - WALL/CEILING TEXTURE - SMOOTH

- KITCHEN & LAUNDRY RM. EQUIPMENT**
- RANGE - 36" DROP IN COOKTOP - TBD
  - DISHWASHER - 24" DISHWASHER; FINISH: STAINLESS STEEL - MFG: TBD
  - RANGE HOOD - CABINET FINISHED HOOD SYSTEM
  - REFRIGERATOR - OWNER PROVIDED - MAX. WIDTH = 38"
  - DISPOSAL - UNDER SINK - 1/2 HP
  - WALL OVEN/MICROWAVE COMBO - 30" MAX. WIDTH - TBD - ALLOWANCE = \$3,250

- PLUMBING FIXTURES**
- KITCHEN SINK - KARRAN 32" UNDERMOUNT LARGE SINGLE BOWL (SS) WORKSTATION SINK W/ CUTTING BOARD, DISH DRYING RACK AND BOTTOM GRID - W5-37-PK1
  - KITCHEN FAUCET - TBD, BUDGET \$300 PER FAUCET
  - BATH SINK - KOHLER CANTON VITREOUS CHINA UNDER MOUNT SINK
  - BATH FAUCET - TBD, BUDGET \$200 PER BATHROOM FAUCET
  - SHOWER ONLY TRIM - TBD - PRICE @ \$650 EACH
  - SHOWER / TUB TRIM - TBD - PRICE @ \$500 EACH
  - SHOWER - TILE REDI - 30 X 48 BASE - SINGLE DRAIN
  - TUB SHOWER COMBO - STERLING TRAVERSE OR SIMILAR

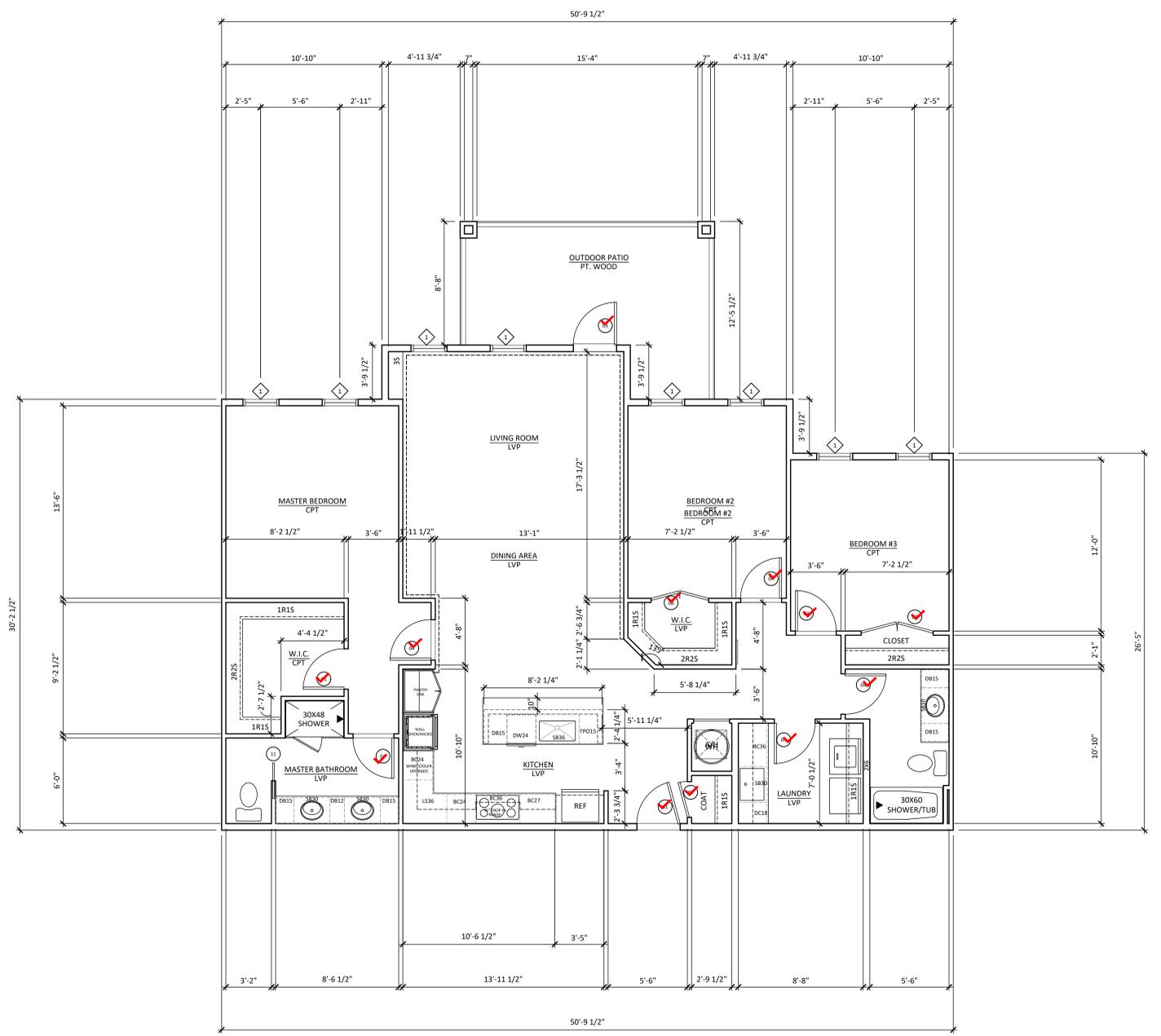
- BATHROOM ACCESSORIES**
- SHOWER ROD - BUILDER STANDARD; CURVED; FINISH: BRUSHED NICKEL
  - TOWEL BARS - TBD; FINISH: BRUSHED NICKEL; MOUNTED 48" A.F.F.
  - TOILET PAPER HOLDER - TBD; COLOR: BRUSHED NICKEL; MOUNTED 19" A.F.F.
  - ROBE HOOK - TBD; FINISH: BRUSHED NICKEL

6 NOT USED  
SCALE: 1/4" = 1'-0"

4 NOT USED  
SCALE: 1/4" = 1'-0"

3 NOT USED  
SCALE: 1/4" = 1'-0"

5 DOOR SCHEDULE AND NOTES  
SCALE: NO SCALE



2 UNIT PLAN - UNIT TYPE D (1,490 SQ.FT. INTERIOR OF WALL)  
SCALE: 1/4" = 1'-0"

1 UNIT PLAN NOTES AND SPECIFICATIONS  
SCALE: NTS

CONSTRUCTION DRAWINGS FOR:  
BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1  
SWANSBORO, NC 28584

REVISIONS

JOB NUMBER  
PA2110

DRAWN BY: PARCH

SHEET NAME  
UNIT TYPE D

SHEET NUMBER

A404



### CONDOMINIUM DOOR AND FRAME SCHEDULE

DOOR TAG	DOOR				GLAZING		FIRE RATING	FRAME		HARDWARE SET	NOTES
	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	TYPE		MATERIAL	TYPE		
01	3'-0"	6'-8"	1 3/4"	D1	FIBERGLASS	--	20	WD	--	A	THERMA TRU STYLE # 55F120   2-PANEL   SHAKER STYLE
02	3'-0"	8'-0"	1 3/4"	D2	FIBERGLASS	YES	0	WD	--	B	THERMA TRU STYLE #CCA87200   2 PANEL FLUSH GLAZED   CLEAR
03	3'-0"	6'-8"	1 3/4"	D2	FIBERGLASS	YES	0	WD	--	C	THERMA TRU STYLE # S2103   3/4 LITE   1 PANEL   4 GLASS PANEL CLEAR   DIVIDED LITE
04	2'-10"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	D	MASONITE   BAYSHORE   5 PANEL   SOLID CORE
05	2'-10"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	E	MASONITE   BAYSHORE   5 PANEL   SOLID CORE
06	2'-6"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	E	MASONITE   BAYSHORE   5 PANEL   SOLID CORE
07	5'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE DOOR]
08	4'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE DOOR]
09	3'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	F	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE DOOR]
10	4'-0"	6'-8"	1 3/4"	D4	MASONITE	--	0	WD	--	G	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [DOUBLE POCKET DOOR]
11	3'-0"	6'-8"	1 3/4"	D3	MASONITE	--	0	WD	--	G	MASONITE   BAYSHORE   5 PANEL   SOLID CORE [SINGLE POCKET DOOR]

**HARDWARE SCHEDULE**  
 SET A: MAIN ENTRY DOOR/KNOCKER/DOOR HANDLE W/ THUMB PIECE/KEYED/PEEP HOLE  
 SET B: MAIN ENTRY DOOR/KNOCKER/DOOR HANDLE W/ THUMB PIECE/KEYED  
 SET C: PATIO DOOR DEAD BOLT AND LEVER HANDLE  
 SET D: PRIVACY SET/ LEVER  
 SET E: PASSAGE SET/ LEVER  
 SET F: DUMMY SET/ FAUX LEVER WITH SPRING LATCH HEAD  
 SET G: POCKET DOOR HARDWARE

- LEGEND:**
- 1 WALL TYPE REF: A020
  - WINDOW TYPE REF: A600
  - DOOR TYPE REF: A600
  - LVT TO CARPET TRANSITION SCHLUTER RENO-TK
  - LVT OR CARPET TO CONCRETE TRANSITION - SCHLUTER RENO-RAMP
- UNIT PLAN NOTES:**
- REFER TO SHEET A060 FOR GENERAL NOTES.
  - REFER TO BUILDING PLANS FOR UNIT LOCATIONS WITHIN BUILDINGS.
  - REFER TO SHEET A600 FOR DOOR SCHEDULES, WINDOW SCHEDULES, AND DETAILS.
  - REFER TO WALL SECTIONS FOR LOCATION OF THERMAL INSULATION.
  - REFER TO UNIT PLANS FOR LOCATION OF SOUND BATT INSULATION.
  - ALL INTERIOR FRAMING TO BE 2X4 UNLESS NOTED OTHERWISE.
  - ALL EXTERIOR FRAMING TO BE 2X6 UNLESS NOTED OTHERWISE.
  - ALL DIMENSIONS ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO PROVIDE BLOCKING FOR ALL TOILET FIXTURES AND ACCESSORIES, GRAB BARS, AND CABINETRY AND TO SUPPORT ALL RODS AND SHELVES.

- NOTES:**
- SEE A201 FOR CEILING HEIGHTS.
  - APPLY BRUSH ON WATERPROOFING OVER BACKER BOARD AT TUBS AND SHOWERS.
  - INSTALL SCHLUTER TILE EDGE PROTECTION - RONDEK PROFILE AT TILE EDGES AND OUTSIDE CORNERS OF TILES SURFACES.
  - VERIFY ALL EQUIPMENT, FINISHES, PAINT COLORS AND FIXTURES WITH INTERIOR DESIGNER AND OWNER PRIOR TO PURCHASE AND INSTALL.

- INTERIOR UNIT SPECIFICATIONS:**
- INTERIOR FINISHES AND TRIM**
- CARPET - REFER TO FINISH SCHEDULE
  - LVT - REFER TO FINISH SCHEDULE
  - INTERIOR WALL PAINT - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - INTERIOR DOOR PAINT - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
  - INTERIOR PAINT AT CEILINGS - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - INTERIOR PAINT AT BATHROOM WALLS - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
  - INTERIOR TRIM PAINT - SHERWIN WILLIAMS SEMI GLOSS, COLOR: TBD; LOW/NO VOC.
  - CLOSET SHELVING PAINT - SHERWIN WILLIAMS FLAT, COLOR: TBD; LOW/NO VOC.
  - BACKSPLASH TILE - SOHO, SUBWAY WALL TILE, 3X6, COLOR: TBD
  - KITCHEN COUNTER - LEVEL 2 GRANITE; EDGE: EASED
  - BATHROOM COUNTER - LEVEL 2 GRANITE; EDGE: EASED

- INTERIOR DOORS AND HARDWARE**
- ENTRY DOORS - SEE DOOR SCHEDULE
  - INTERIOR DOORS - SEE DOOR SCHEDULE
  - PATIO DOORS - SEE DOOR SCHEDULE
  - PROVIDE ACCESSIBLE THRESHOLDS AT ALL GROUND FLOOR EXTERIOR DOORS.
  - ALL EXTERIOR HARDWARE TO BE SUITABLE WITH COASTAL ENVIRONMENTS.

- INTERIOR CASEWORK AND SHELVING**
- CABINETS - STANDARD GRADE = PLYWOOD BOX W/ THERMOFOL OR LAMINATE FACES, DOORS AND DRAWER FACES.
  - CABINETS - PREMIUM GRADE = PLYWOOD BOX WITH HARDWOOD FACES, DOORS AND DRAWER FACES
  - CABINET HARDWARE - BARS = SATIN NICKEL W/ BRASS UPGRADE. PULLS = SATIN NICKEL W/ BRASS UPGRADE
  - ALL EXPOSED CABINETRY ENDS TO BE FINISHED.
  - 2R2S INDICATES TWO RODS/TWO SHELVES. THE LOWER ROD IS TO BE MOUNTED 3'-3" A.F.F. THE UPPER ROD IS TO BE MOUNTED 6'-6".
  - 1R1S INDICATES ONE ROD/ONE SHELF. THE ROD IS TO BE MOUNTED 5'-6" A.F.F.
  - 5S INDICATES 5 SHELVES. THE LOWEST SHELF IS TO BE MOUNTED 21" A.F.F. THE REMAINING SHELVES ARE TO BE 15" ABOVE THE ONE BELOW UNLESS NOTE OTHERWISE.
  - CLOSET SHELVING - PAINTED PINE WOOD SHELVES WITH WOOD BAR.
  - MIRROR - ALL BATHROOM MIRRORS TO BE SLAB W/ PAINTED WOOD FRAME
  - WINDOW SILL - BUILDER STANDARD PAINT GRADE WOOD; SEMI GLOSS, COLOR: SW7005 PURE WHITE
  - WINDOW CASING - SIDES - BUILDER STANDARD PAINT GRADE WOOD; SEMI GLOSS, COLOR: SW7005 PURE WHITE
  - DOOR TRIM - BUILDER STANDARD; 1X4; PAINT GRADE FJ PINE OR FACTORY PRIMED (ALL AROUND) MDF; PROFILE SQUARE
  - BASE BOARD - BUILDER STANDARD; 1X6; PAINT GRADE FJ PINE OR FACTORY PRIMED (ALL AROUND) MDF; PROFILE SQUARE
  - CROWN MOLDINGS - SEE PLANS FOR LOCATIONS INDICATED BY DASHED LINE
  - WINDOW TREATMENTS - BLINDS; 2" FAUX WOOD; WHITE
  - WALL/CEILING TEXTURE - SMOOTH

- KITCHEN & LAUNDRY RM. EQUIPMENT**
- RANGE - 36" DROP IN COOKTOP - TBD
  - DISHWASHER - 24" DISHWASHER; FINISH: STAINLESS STEEL - MFGR. TBD
  - RANGE HOOD - CABINET FINISHED HOOD SYSTEM
  - REFRIGERATOR - OWNER PROVIDED - MAX. WIDTH = 38"
  - DISPOSAL - UNDER SINK - 1/2 HP
  - WALL OVEN/MICROWAVE COMBO - 30" MAX. WIDTH - TBD - ALLOWANCE = \$3,250

- PLUMBING FIXTURES**
- KITCHEN SINK - KARRAN 32" UNDERMOUNT LARGE SINGLE BOWL (SS) WORKSTATION SINK W/ CUTTING BOARD, DISH DRYING RACK AND BOTTOM GRID - W5-37-PK1
  - KITCHEN FAUCET - TBD, BUDGET \$300 PER FAUCET
  - BATH SINK - KOHLER CAXTON VITREOUS CHINA UNDER MOUNT SINK
  - BATH FAUCET - TBD, BUDGET \$200 PER BATHROOM FAUCET
  - SHOWER ONLY TRIM - TBD - PRICE @ \$650 EACH
  - SHOWER TUB TRIM - TBD - PRICE @ \$500 EACH
  - SHOWER - TILE REDI - 30 X 48 BASE - SINGLE DRAIN
  - TUB SHOWER COMBO - STERLING TRAVERSE OR SIMILAR

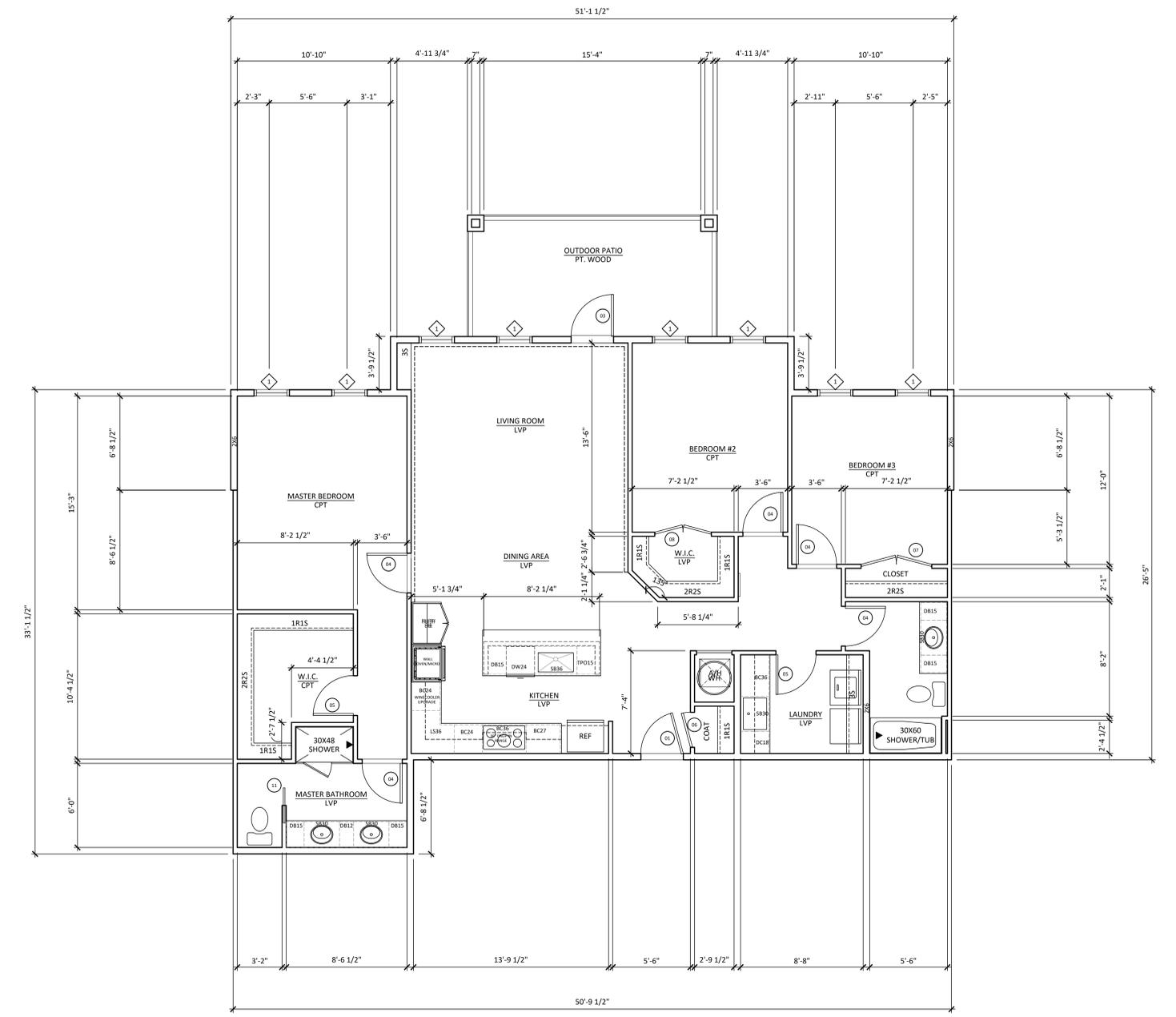
- BATHROOM ACCESSORIES**
- SHOWER ROD - BUILDER STANDARD; CURVED; FINISH: BRUSHED NICKEL
  - TOWEL BARS - TBD; FINISH: BRUSHED NICKEL; MOUNTED 48" A.F.F.
  - TOILET PAPER HOLDER - TBD; COLOR: BRUSHED NICKEL; MOUNTED 19" A.F.F.
  - ROBE HOOK - TBD; FINISH: BRUSHED NICKEL

6 NOT USED  
SCALE: 1/4" = 1'-0"

4 NOT USED  
SCALE: 1/4" = 1'-0"

3 NOT USED  
SCALE: 1/4" = 1'-0"

5 DOOR SCHEDULE AND NOTES  
SCALE: NO SCALE



2 UNIT PLAN - UNIT TYPE E (1,490 SQ.FT. INTERIOR OF WALL)  
SCALE: 1/4" = 1'-0"

1 UNIT PLAN NOTES AND SPECIFICATIONS  
SCALE: NTS

CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
 SWANSBORO, NC 28584

REVISIONS

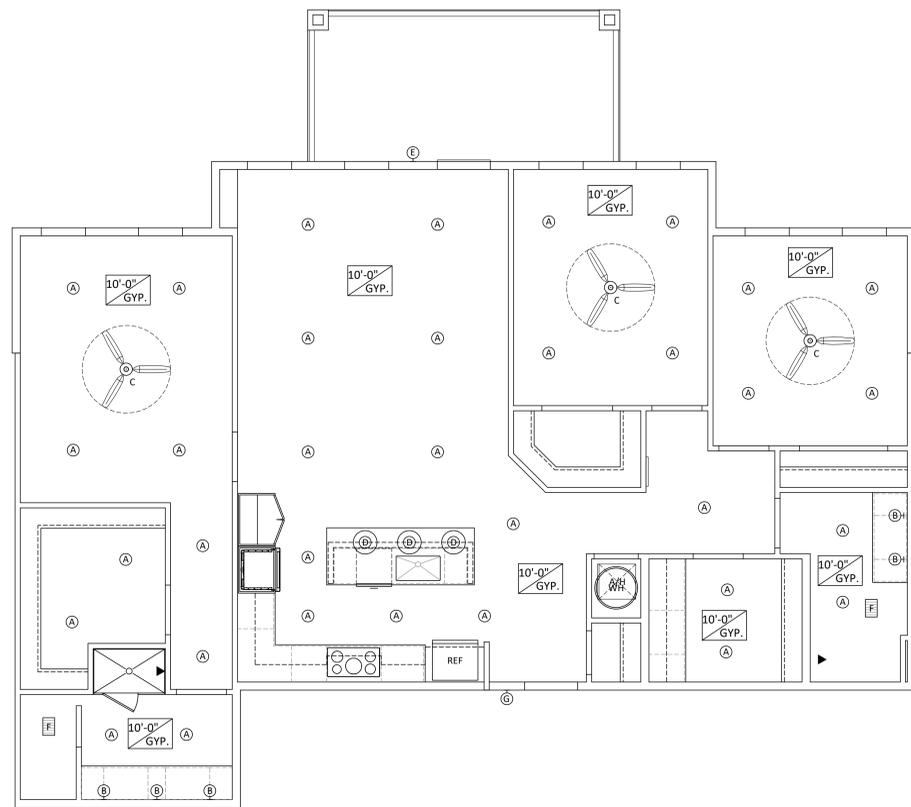
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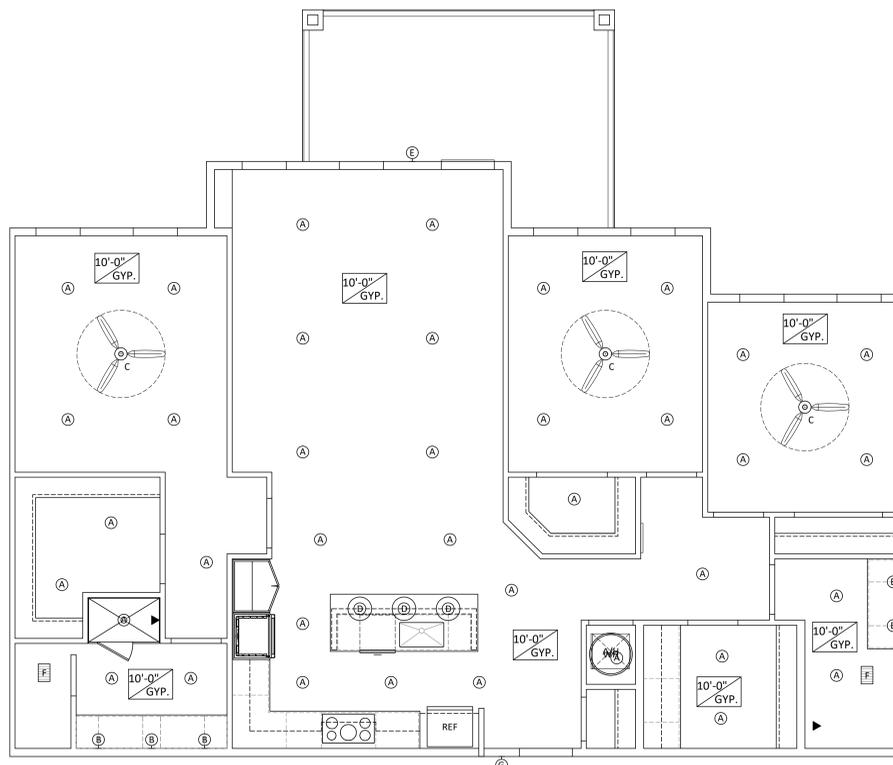
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SHEET NUMBER  
**A405**

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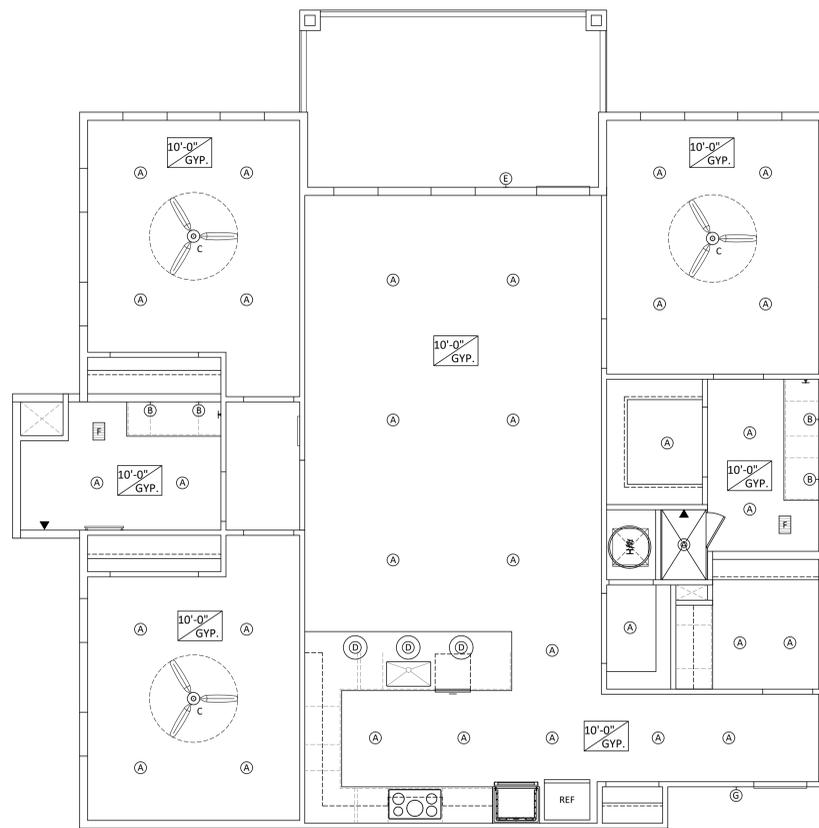


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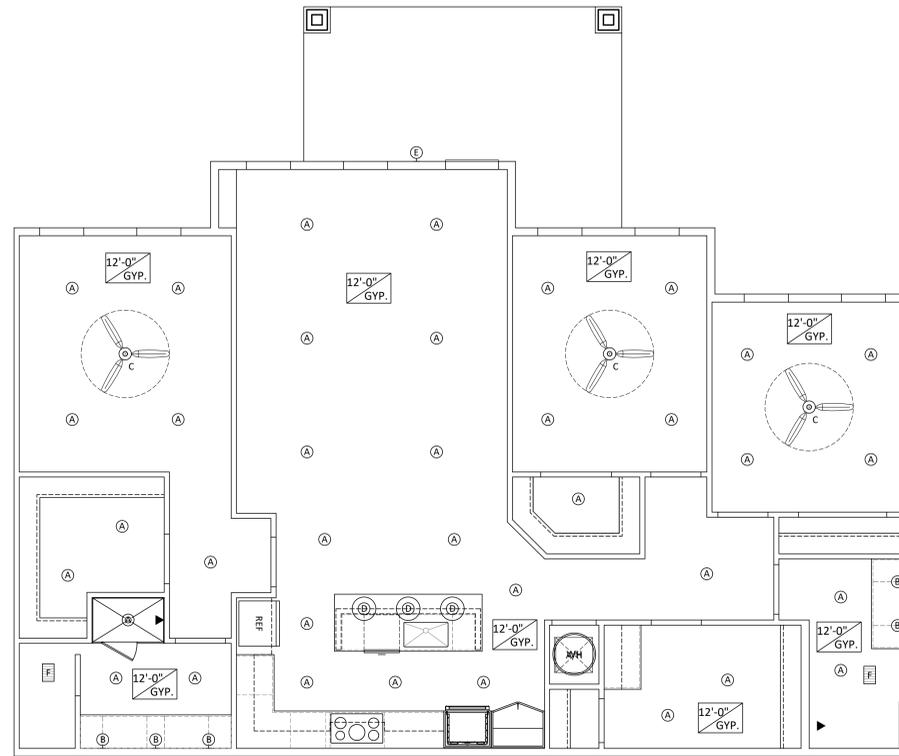


UNIT TYPE D

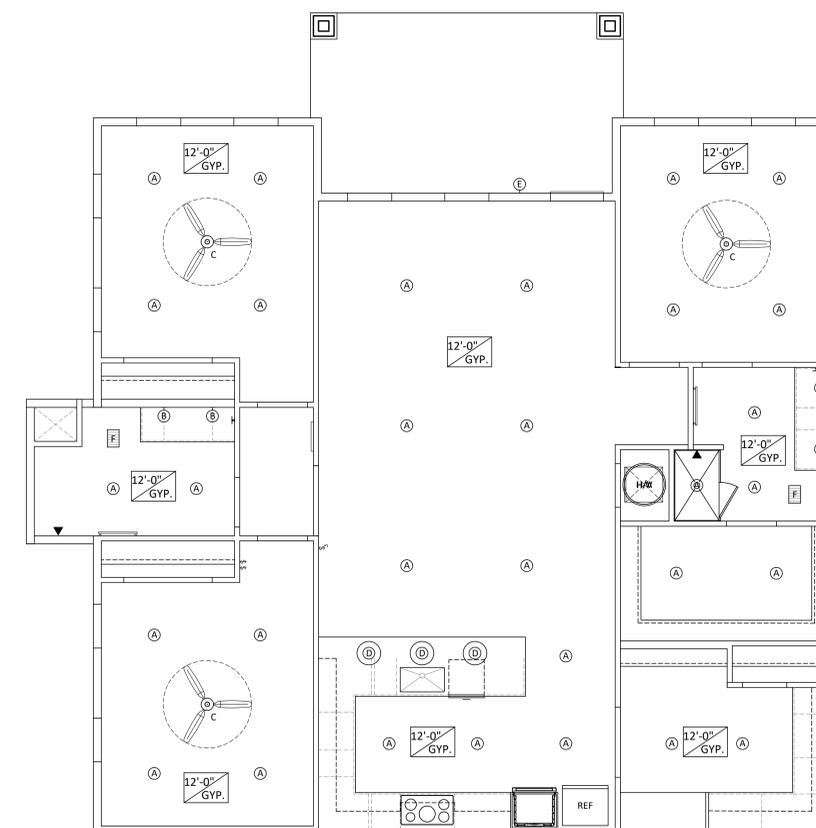
redline where you want outlets and stuff



UNIT TYPE C



UNIT TYPE B



UNIT TYPE A

REFERENCE	DESCRIPTION	REFLECTED CEILING PLAN NOTES:
(A)	PLT - 900 LUMENS - 15 WATT - NATURAL LIGHT - 7" - ROUND WHITE TRIM - LED SURFACE MOUNT DOWNLIGHT FIXTURE	1. ALL CEILINGS ARE TO BE 5/8" TYPE X GYPSUM BOARD, MOUNTED 12'-0" ABOVE FINISHED FLOOR (1ST FLOOR) AND 10'-0" ABOVE FINISHED FLOOR (2ND FLOOR) UNLESS NOTED OTHERWISE IN ROOM. 2. CONTRACTOR TO COORDINATE WITH ALL P.M.E. DRAWINGS. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE TYPES. 3. SPRINKLER HEADS ARE TO BE CENTERED WITHIN CEILING ELEMENTS, AND BETWEEN OTHER CEILING MOUNTED FIXTURES. 4. CONTRACTOR SHALL COORDINATE ALL HVAC EQUIPMENT AND DUCTWORK WITH LIGHTING LAYOUT TO ENSURE PROPER INSTALLATION OF BOTH SYSTEMS. 5. COORDINATE ALL SOFFITS HEIGHTS WITH MILLWORK ELEVATIONS AND MANUFACTURERS TO INSURE PROPER HEIGHTS AND CLEARANCES. 6. OPEN CEILING DENOTES - PAINTING EXPOSED AREAS INCLUDE STRUCTURAL STEEL AND HVAC DUCTS.
(B)	BATHROOM WALL SCONCE-LANDO 2 LIGHT BATH SCONCE GLV1042 SB IN SATIN BRASS BY GENERATION LIGHTING (INSTALLED GLASS FACING DOWN)	
(C)	CEILING FAN-IOVIE 52" 31VR52R2W IN MATTE WHITE BY GENERATION LIGHTING	
(D)	KITCHEN PENDANT- LORAS PENDANT P14595B IN SATIN BRASS BY GENERATION LIGHTING	
(E)	PATIO SCONCE-GALENA POCKET WALL LANTERN QL14400SBL IN SABLE BY VISUAL COMFORT	
(F)	BROAN 2.5-SONE 50-CFM WHITE LIGHTED BATHROOM FAN	
(G)	CORRIDOR WALL SCONCE-EGMONT TALL SCONCE DW11615B IN SATIN BRASS BY VISUAL COMFORT	

PLAGEMAN ARCHITECTURE  
● ● ●  
SWANSBORO BURLINGTON

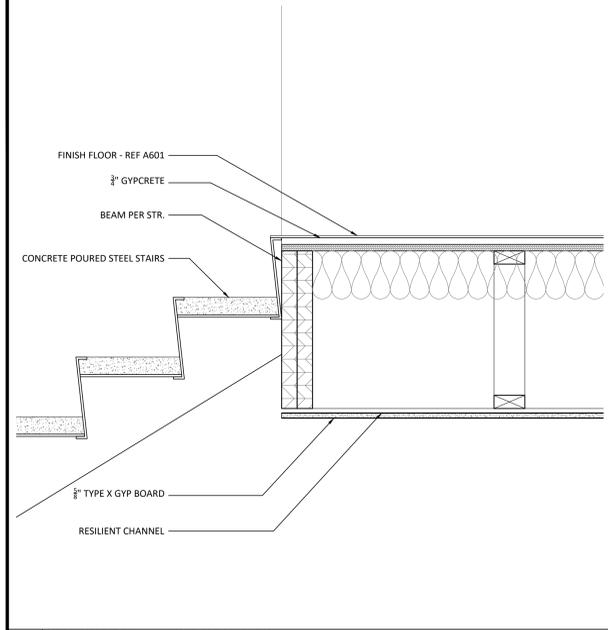
CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
SWANSBORO, NC 28584

REVISIONS

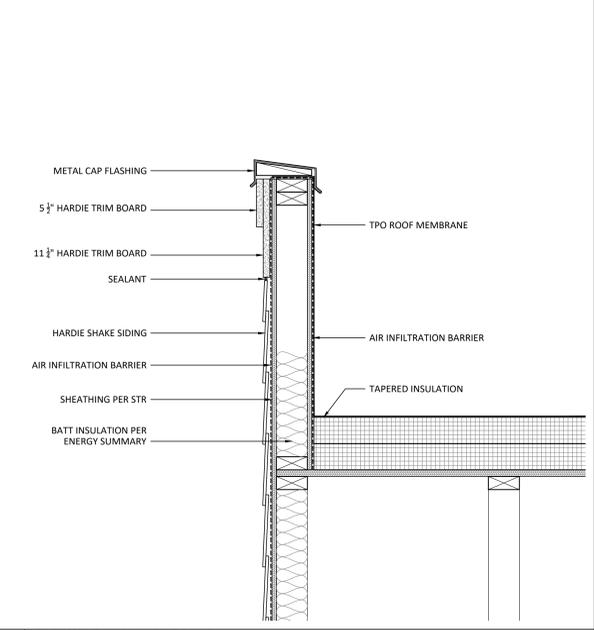
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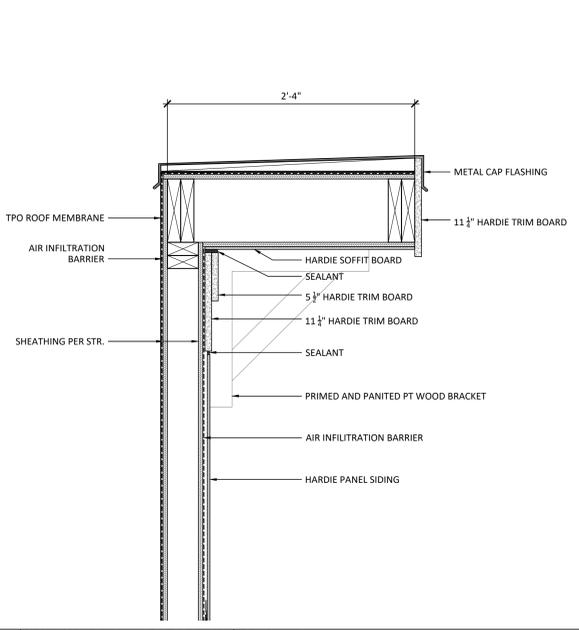
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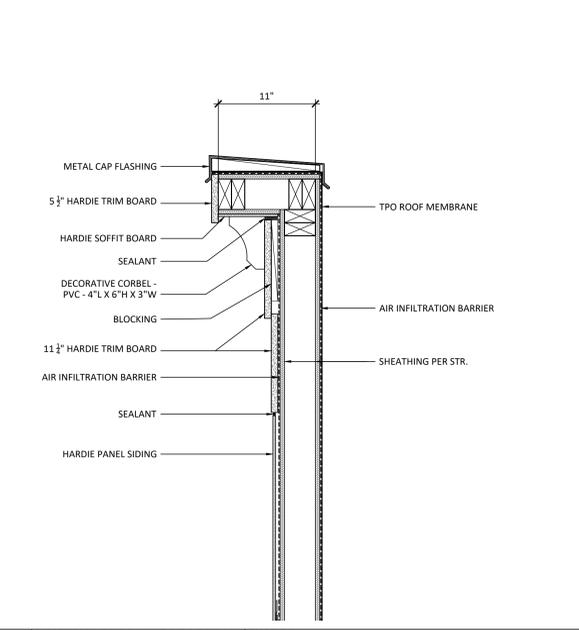
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SCALE: 1 1/2" = 1'-0"



9 SECTION DETAIL - PARAPET  
SCALE: 1 1/2" = 1'-0"

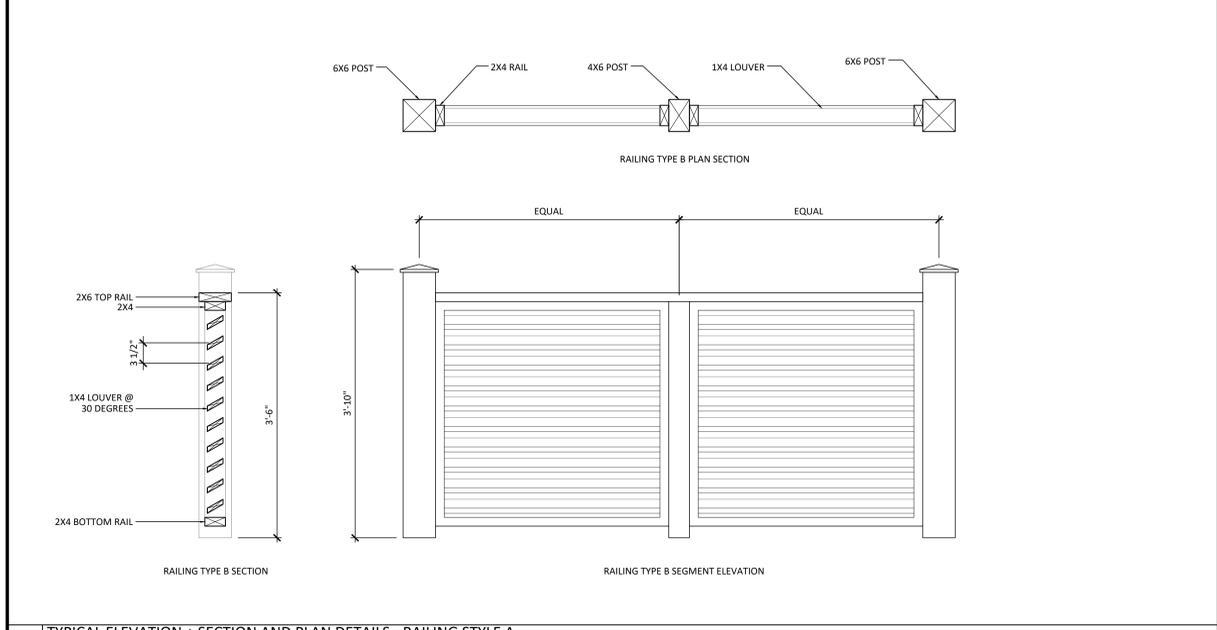


8 SECTION DETAIL - PARAPET W/ BRACKET  
SCALE: 1 1/2" = 1'-0"

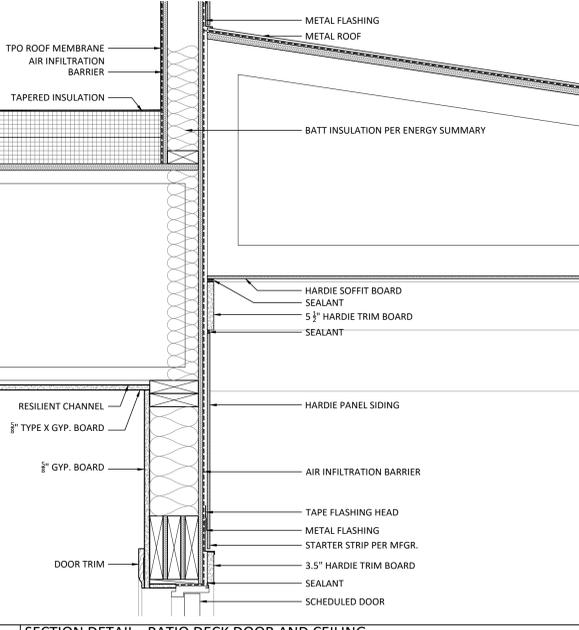


7 SECTION DETAIL - PARAPET W/ CORBEL  
SCALE: 1 1/2" = 1'-0"

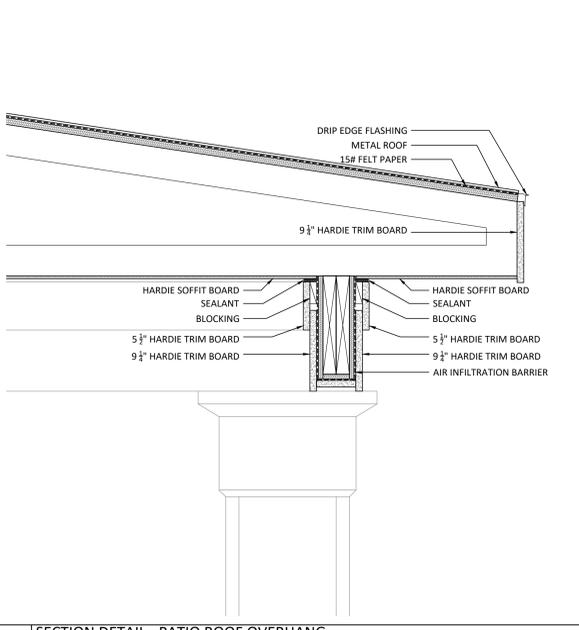
- WALL SECTION NOTES:**
- REFER TO SHEET C32 FOR GENERAL NOTES.
  - REFER TO SHEET A10 FOR WALL TYPES.
  - SEE STRUCTURAL FOR ALL SIZES, SPACING AND SPECIFICATIONS FOR FRAMING, CONCRETE, FOUNDATION, REBAR, AND CONNECTION DETAILS.
  - WOOD TRUSS DRAWINGS ARE GRAPHICAL ONLY. SEE STRUCTURAL FOR TRUSS TYPE AND DESIGN.
  - SLOPE ALL MATERIALS ON VERTICAL AND SLOPING SURFACES IN A MANNER TO SHED WATER AWAY FROM THE BUILDING.
  - SEE A601 FOR ROOM FINISH SCHEDULE.
- WALL SECTION SPECIFICATIONS:**
- CONCRETE**
- SLAB VAPOR BARRIER - 6 MIL VAPOR BARRIER UNDER FOUNDATION SLAB.
  - GYPCRETE FLOORING - 3/4" GYPCRETE INSTALL WITH VAPOR BARRIER AS REQUIRED PER MANUFACTURER STANDARDS.
- WOOD**
- FLOOR DECKING - REF. STRUCT.
  - FLOOR TRUSSES - PREFABRICATED FLOOR TRUSSES REF. STRUCT.
  - ROOF TRUSSES - PREFABRICATED TRUSSES - REF. STRUCT.
  - EXTERIOR SHEATHING - REF. STRUCT.
  - ROOF SHEATHING - REF. STRUCT.
- WINDOW**
- SEE A601 FOR WINDOW AND STOREFRONT SPECIFICATIONS
- THERMAL AND MOISTURE PROTECTION**
- EXTERIOR SEALANT - SILICONE SEALANT
  - INTERIOR SEALANT - LATEX CAULK
  - AIR BARRIER - AIR INFILTRATION BARRIER
  - FLEXIBLE MEMBRANE - "PEEL AND STICK" FLASHING. PRIME OSB SHEATHING TO ENSURE PROPER ADHESION
  - ALUMINUM FLASHING - PRE-FINISHED ALUMINUM FLASHING WITH FACTORY FORMED DRIP EDGE.
  - INSULATION R VALUES - REFER TO ENERGY CODE SUMMARY
  - FIRE BLOCKING - STEEL WOOL OR BATT INSULATION AS REQ'D
  - GUTTERS AND DOWNSPOUTS - REFER TO ROOF PLAN FOR SIZES
- ROOFING**
- REFER TO ROOF PLAN FOR MATERIAL



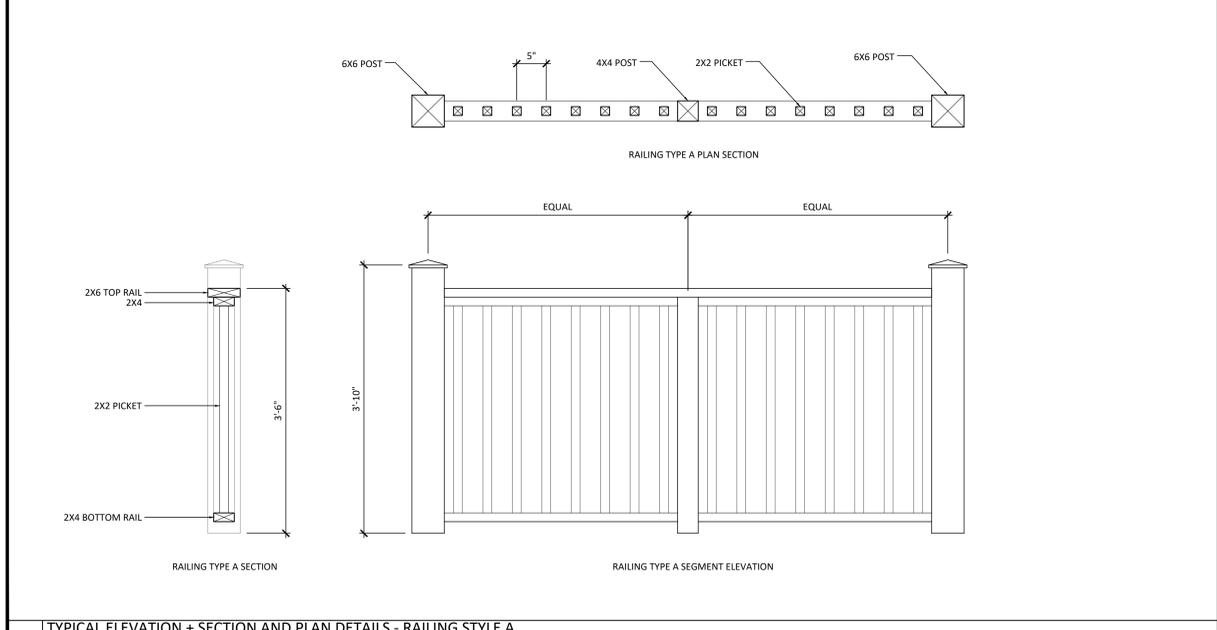
6 TYPICAL ELEVATION + SECTION AND PLAN DETAILS - RAILING STYLE A  
SCALE: 1" = 1'-0"



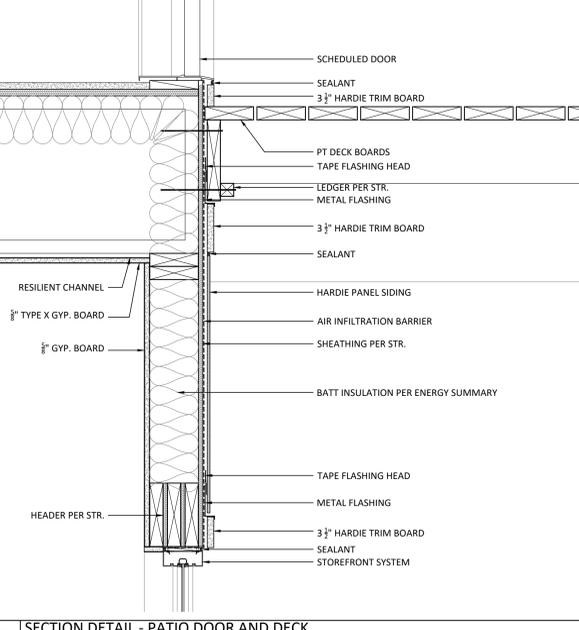
5 SECTION DETAIL - PATIO DECK DOOR AND CEILING  
SCALE: 1 1/2" = 1'-0"



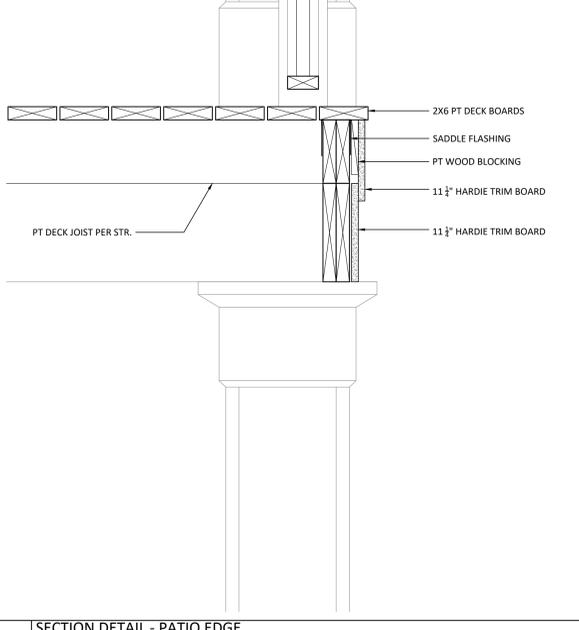
4 SECTION DETAIL - PATIO ROOF OVERHANG  
SCALE: 1 1/2" = 1'-0"



3 TYPICAL ELEVATION + SECTION AND PLAN DETAILS - RAILING STYLE A  
SCALE: 1" = 1'-0"



2 SECTION DETAIL - PATIO DOOR AND DECK  
SCALE: 1 1/2" = 1'-0"



1 SECTION DETAIL - PATIO EDGE  
SCALE: 1 1/2" = 1'-0"

CONSTRUCTION DRAWINGS FOR:  
**BREZZA LOFTS - WARD FARM TOWN CENTER PHASE 1**  
SWANSBORO, NC 28584

REVISIONS

NO.	DESCRIPTION

JOB NUMBER  
PA2110  
DRAWN BY: PARCH  
SHEET NAME  
WALL SECTIONS AND DETAILS  
SHEET NUMBER

**§ 152.179 Table of Permitted/Special Uses**

PERMITTED/ SPECIAL USES	CON	RA	R6	R6SF	R8SF	R10SF	R15SF	R20SF	R40SF	PUD*	MHP	MHS	MHS- 15SF	MHS-O*	O/I	G/E	B1*	B2*	B3*	B2HDO*	MP*
Mixed use																M S	M S	M S	M S	MS	

**§ 152.180 NOTES TO TABLE OF PERMITTED/SPECIAL USES. NOTE 37. B-3 TRADITIONAL BUSINESS DISTRICT.**

(KK) Note 37. B-3 Traditional Business District. In the B-3 Traditional Business zoning district, the uses “dwelling, multi-family and condominiums”, and “dwelling, townhouses” shall be limited to 20% of the first-floor area. Only parcel ID 1404-16.22 of the Ward Farm Town Center shall be exempt of this restriction. There shall be no limits placed on the use, “Dwelling Located Over a Business”, other than those specified in Note 13.

**§152.195 TABLE OF AREA, YARD, SQUARE FOOTAGE AND HEIGHT REQUIREMENTS, B-3 TRADITIONAL BUSINESS.**

<i>District</i>	<i>Minimum Lot Size</i>		<i>Minimum Yard Setbacks</i>				<i>Maximum Building Size</i>	
	<i>Min. Sq. Ft. per Bldg Lot (see Note 1)</i>	<i>Min. Width per Bldg. Lot</i>	<i>Interior Side (see Notes 2 and 8)</i>	<i>Corner Side</i>	<i>Front (see Note 3)</i>	<i>Rear</i>	<i>Max. Bldg. Height (see Notes 4 and 5)</i>	<i>Max. Bldg. Gross Square Footage (see Note 9)</i>

B-3 Traditional Business	8,000 sq. ft. for first two units plus 1,975 sq ft per unit thereafter.	25 ft.	0 ft.	5 ft.	5 ft.***	10 ft.	40ft.	40,000 sq. ft.
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## CAMA Land Use Plan Update- Future Land Use

5

# Traditional Town Center (TTC)

### Blocks

Block length of no more than 400 feet further promote walkability and discourage automobile use for short trips. Crosswalks and mid-block pedestrian connections should be used throughout.

### Parking

Off-street parking requirements for nonresidential uses may be lessened due to the walkable district and availability of on-street, shared or lots for parking. Front-loaded parking is discouraged.

### Appropriate Density / Intensity

This district should replicate the densities and intensities of those in downtown to provide an alternative to other housing and retail experiences in Swansboro. The norm should be:

- » Compact residential - Up to eight dwellings per acre single family or 12 for multi-family, with an exception of up to 18 for multifamily for B-3 Zoning.
- » Ground floor retail is encouraged but lobbies and entrances would be allowed.
- » Development of this intensity should employ stormwater control measures with extensive Low Impact Design

## § 152.210 PROCEDURE FOR SPECIAL USE PERMITS.

(A) Special use permits may be issued by the Administrator, after approval by the Board of Commissioners, for the uses as designated in the table of regulations for special uses. Applications shall include all of the requirements pertaining to it as specified in this section. A hearing shall be held, and all interested persons shall be permitted to offer relevant comments. The Town Board of Commissioners shall consider the application and may approve or deny the requested special use permit.

(B) In granting a special use permit, the Board of Commissioners shall give due regard to the nature and state of all adjacent structures and uses, and the districts within which the proposed use is to be located, and shall make written findings of fact concerning the existence or absence of the following criteria:

- (1) The special use is allowed pursuant to § [152.210](#) and meets all the required conditions and specifications, including without limitation, those set out in § [152.211](#).
- (2) The special use will not materially endanger the public health or safety if located where proposed and developed according to the plan as submitted and approved.

(3) The special use will not substantially injure the value of adjoining or abutting property. OR the special use is a public necessity.

(4) The location and character of the special use , if developed according to the plan as submitted and approved, will be in harmony with the area in which it is located. The special use shall demonstrate conformance to the Land Use Plan or other plan in effect at the time and address impacts of the project as required by G.S. §160A-382(b).

(5) Upon the issuance of any special use permit , the Board of Commissioners shall consider whether it is necessary or appropriate to affix conditions thereto for the purposes of protecting neighboring properties and/or the public interest assuring that the use is harmonious with the area, and ensuring that the use is consistent with the spirit of the ordinance, and shall affix to such permit such reasonable and appropriate conditions as it finds are necessary for any of those purposes. If any conditions affixed to any special use permit or any part thereof is held invalid by any competent authority, then said special use permit shall be void.

(C) *Orders of Board of Commissioners* . Upon its determination that all of the criteria set out in this section are met, the Board of Commissioners shall enter a written order with findings of fact and conclusions of law, and shall issue the special use permit as requested or with such conditions as it finds necessary and appropriate pursuant to this section.

(D) Upon its determination that one or more of the criteria set out in this section are not met, the Board of Commissioners shall issue its written order with findings of fact and conclusions of law and shall deny the requested special use permit.

(E) Any special use permit approved or approved with conditions shall be recorded in the office of the Register of Deeds of Onslow County, North Carolina.

(F) All such additional conditions shall be entered in the minutes of the meeting at which the special use permit is granted and also on the special use permit approval, and on the approved plans submitted therewith. All specific conditions shall run with the land and shall be binding on the original applicant for the special use permit , the heirs, successors, and assigns. In order to ensure that such conditions and requirements for each special use permit will be fulfilled, the petitioner for the special use permit may be required to enter into a contract with the Town of Swansboro providing for the installation of the physical improvements required as a basis for the issuance of the special use permit . Performance of said contract shall be secured by cash or surety bond which will cover the total estimated cost of the improvements as determined by the Town of Swansboro; provided, however, that said bond may be waived by the Town Board of Commissioners within its discretion.

(G) In addition to the conditions specifically imposed by the Town Board of Commissioners , special uses shall comply with the height, area, and parking regulations of the zone in which they are located (no variances from requirements within zoning ordinance are allowed).

(H) In the event of failure to comply with the plans approved by the Board of Commissioners or with any other conditions imposed upon the special use permit , the permit shall thereupon immediately become void and of no effect. No building permits for further construction nor a certificate of compliance under this special use permit shall be issued, and the use of all completed structures shall immediately cease and such completed structures not

thereafter be used for any purpose other than a use-by-right as permitted by the zone in which the property is located.

(I) Minor modifications to special use permits that do not involve a change in the uses permitted or the density of overall development permitted may be reviewed and approved administratively. Any other modification or revocation of a special use permit shall follow the same process for the original approval by the Town Board of Commissioners .

(Ord. 2005-O3, passed 3-15-2005; Am. Ord. 2006-11, passed 4-18-2006; Am. Ord. passed 6-16-200; Am. Ord. 2010-O20, Am. Ord. passed 7-20-2010; Am. Ord. passed 1-21-2014; Am. Ord. 2021-O3, passed 5-24-2021)