



Planning Commission Meeting Agenda

Monday, March 09, 2026 at 6:00 PM

33 Church Street, Sutter Creek, CA 95685

The Agenda can be found on the City's Website: www.cityofsuttercreek.org

The City of Sutter Creek City Planning Commission meeting will be available in person and LIVE on YouTube at <https://www.youtube.com/@CityofSutterCreek>.

You can also watch the meeting on Zoom (please note Zoom participation is only available for viewing.

<https://us02web.zoom.us/j/81391466458?pwd=4jXmBm1AP5bEbiID3iDwuxk4GpreRY.1>

Or Dial by phone: 301 715 8592 Webinar ID: 816 8589 0182 Passcode: 186036

Unless stated otherwise on the agenda, every item on the agenda is exempt from review under the California Environmental Quality Act ("CEQA") per CEQA Guidelines Sections 15060(c), 15061(b)(3), 15273, 15378, 15301, 15323 and/or Public Resources Code Section 21065.

- 1. Call to Order, Roll Call, and Establish a Quorum for Regular Meeting**
- 2. Pledge of Allegiance to the Flag**
- 3. Public Forum**

Discussion items only, no action to be taken. Any person may address the Commission at this time upon any subject within the jurisdiction of the Planning Commission; however, any matter that requires action may be referred to staff and/or Committee for a report and recommendation for possible action at a subsequent meeting. Please note – there is a five (5) minute limit per topic.

- 4. Annual Election of Planning Commission Chair and Vice Chair**

A. Election of Chair

Recommendation: *Nominate and elect Planning Commission Chair.*

B. Election of Vice Chair

Recommendation: Nominate and elect Planning Commission Vice Chair.

5. Consent Agenda

Items listed on the consent agenda are considered routine and may be enacted in one motion. Any item may be removed for discussion at the request of the Commission or the Public.

A. Planning Commission Regular Meeting Minutes of February 9, 2026

Recommendation: Approval of Minutes

6. Public Hearings

A. Proposal for 12 single family homes at 110-165 Bryson Court

Recommendation: Staff recommends the following:

1. Receive report from staff; and
2. Conduct a public hearing and receive public comment; and
3. Continue discussion and find that the project is Categorical Exempt under Section 15332 Class 32, Infill Development Projects of the California Environmental Quality Act (CEQA) Guidelines and instruct staff to file a Notice of Exemption; and
4. Adopt **Resolution 25-26-**** approving a Site Plan Permit and a Use Permit for the construction of 12 single family homes located at 110-165 Bryson Court (APNs 018-324-001 – 018-324-022) within the R-3 zoning district.

B. Public Hearing regarding Short-Term Rental (STR) Permits for 44 Opal Street and 70 Hayden Avenue

Recommendation: Staff recommends the following action:

1. Receive report from staff; and
2. Open the public hearing and receive public comment; and
3. Consider the revocation of the STR Permits issued for 44 Opal Street and 70 Hayden Avenue pursuant to the Conditions of Approval outlined in **Planning Commission Resolution No. 12-13-12** and **Planning Commission Resolution No. 15-16-08** due to failure to comply with required reporting and operational provisions

7. Administrative Agenda

A. 2025 Housing Community Development (HCD) Annual Progress Report

Recommendation: Review and provide recommendation to Council to approve

8. Adjournment



Planning Commission Meeting Minutes

Monday, February 09, 2026 at 6:00 PM
33 Church Street, Sutter Creek, CA 95685

1. Call to Order and Establish a Quorum for Regular Meeting

The meeting was called to order at 6:00 PM.

PRESENT: Vice Chair Thomas Baggett, and Commissioners Lucy Mulvey and Meredith Hansen

ABSENT: Chair Michael Kirkley and Commissioner Robert Trudgen

STAFF: Contract City Planner Erin Ventura and City Clerk Pam Caronongan

A. Chair and Vice Chair Elections

Recommendation: Conduct annual nomination and election process for Planning Commission Chair and Vice-Chair.

This agenda item will be continued to the next regular meeting of the Commission when all Commissioners are present.

2. Pledge of Allegiance to the Flag

Vice Chair Baggett led the Pledge of Allegiance.

3. Public Forum

Zero (0) public comment was received.

4. Consent Agenda

A. Planning Commission Minutes of January 12, 2026

Recommendation: Approval of Minutes

B. 46 Main Street Sign Permit- Taylered Marketing

Recommendation: Approve Sign Permit Application.

C. Sign- MACT 321 Highway 49

Recommendation: Approve Sign Permit Application for MACT.

Motion made by Commissioner Mulvey, seconded by Commissioner Hansen. **Motion passed 3-0 to approve all Consent Agenda items.**

- AYES:** Vice Chair Baggett, and Commissioners Mulvey and Hansen
- NOES:** None
- ABSENT:** Chair Kirkley and Commissioner Trudgen

5. Public Hearings

- A.** Site Plan- 551 Highway 49 (Italian Benevolent Society (Justin Velasquez): 2,062 square foot metal patio cover.

Staff recommends the following:

1. *Conduct a public hearing and receive public input, and*
2. *Find that the project is Categorical Exempt under 15303 (New Construction or Conversion of Small Structures) CEQA Guidelines; and*
3. *Adopt Resolution 25-26-** approving a Site Plan Permit for Italian Benevolent Society to construct a 2,062 square foot metal patio cover, based on the proposed Findings and subject to the proposed Conditions of Approval for APN 044-020-086.*

Contract City Planner Ventura provided the report before the Commission, and responded to inquiries and requests for clarification from the Commission.

Motion made by Commissioner Mulvey, seconded by Commissioner Hansen. **Motion passed 3-0 to adopt the Resolution approving the Site Plan Permit for the Italian Benevolent Society as presented by staff.**

- AYES:** Vice Chair Baggett, and Commissioners Mulvey and Hansen
- NOES:** None
- ABSENT:** Chair Kirkley and Commissioner Trudgen

6. Adjournment

Vice Chair Baggett adjourned the meeting at 6:13 PM.



TO: CITY OF SUTTER CREEK PLANNING COMMISSION

MEETING DATE: MARCH 9, 2026

FROM: ERIN VENTURA, CONTRACT PLANNER

SUBJECT: SITE PLAN PERMIT AND CONDITIONAL USE PERMIT FOR 110-165 BRYSON COURT (APNs 018-324-001 – 018-324-022)

RECOMMENDATION:

1. Conduct a public hearing and receive public input, and
2. Find that the project is Categorically Exempt under Section 15332 Class 32, Infill Development Projects of the CEQA Guidelines and instruct staff to file a Notice of Exemption; and
3. Adopt Resolution 25-26-** approving a Site Plan Permit and a Use Permit for the construction of 12 single family homes located at 110-165 Bryson Court (APNs 018-324-001 – 018-324-022) within the R-3 zoning district.

BACKGROUND AND PROJECT DESCRIPTION:

The applicant, Riverland Homes, Inc., proposes to construct 12 single-family homes on 12 existing undeveloped lots located on Bryson Court. The subdivision was originally approved in June 2008, and the final map was accepted in November 2009.

The property has received various approvals and zoning changes over the years but has remained undeveloped. In 2003, a 22-unit townhome project was approved for the site, prior to its subdivision into 12 individual lots. At that time, the property was zoned R-4 and C-2.

In 2008, the City approved a 12-lot subdivision. Pursuant to Resolution No. 07-08-35, the subdivision was approved to allow 12 residential lots capable of accommodating detached single-family dwellings. The resolution does not clearly identify the zoning designation in effect at the time of approval. The final tentative map was accepted by the City in 2009. At that time, the street improvements were completed, including installation of curb, gutter, drainage infrastructure, and utility stub-outs. The applicant did defer Conditions 7, 8, and 9 from the original approval. Those conditions of approval will be included in this approval.

Each lot is served by an individual water connection.

The parcels are currently zone [R-3 Multiple Family Dwelling](#).

Table 1. Relevant Summary of Proposed Site

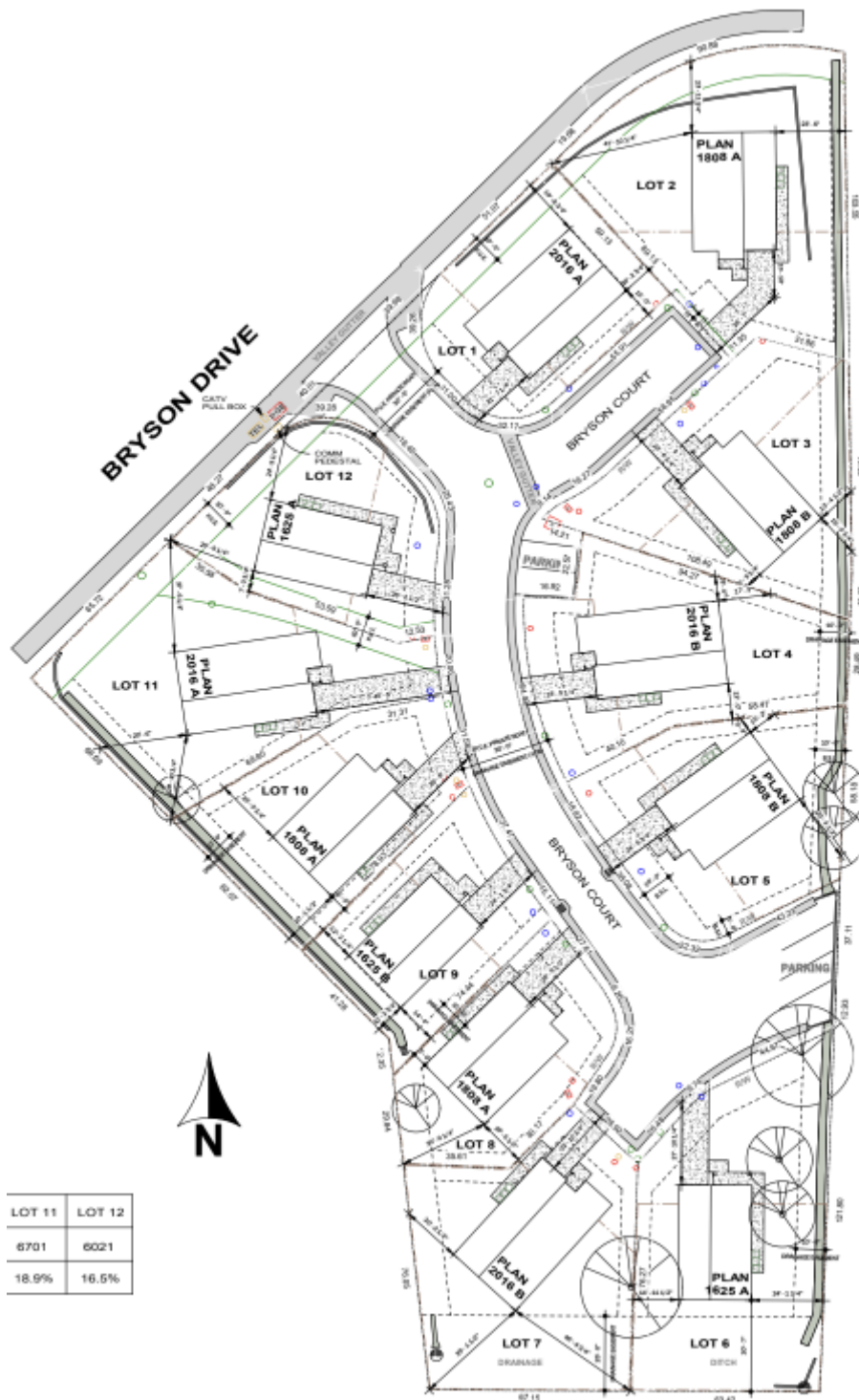
Description	Proposed	Meets Requirements?
Site	110-165 Bryson Court (018-324-001 – 018-324-022)	-
Building Plan	12 Single Family Dwellings 1,944 sf to 2,498 sf	No- requires a Use Permit
Lot Size	4,483 sf- 8,332 sf	Yes- 3,500 sf minimum lot size
Zoning	R-3	Yes
General Plan Land Use Description	RH-Residential High Density	Yes

Description	Proposed	Meets Requirements?	Section 6, Item A.
Is this in the Main Street Historic District?	No	-	
Historic District?	No	-	
Parking	1-2 garage spaces per unit plus 6 street parking spaces	Per SC Code : 2 spaces for each dwelling unit. Tandem parking may be allowed to satisfy off-street parking requirements for single-family dwellings, duplexes, second unit dwellings, and bed and breakfast inns.	
Access	Bryson Drive	Yes	
Fencing	Boundary line wooden fencing	Yes	
Trees and Landscaping per 13.24.120	No proposed tree removals	Yes. Applicant has a complete landscape plan proposed with tree replacement.	

Table 2- Lot Summary

Lot #	Lot square footage	Plan	Livable square footage	Lot Coverage	Parking
1	6,384	2016 A	2,016	19.9%	2 spaces (457 sf)
2	7,294	1808 A	1,808	15.9%	2 spaces (436 sf)
3	6,988	1808 B	1,808	16.6%	2 spaces (436 sf)
4	7,380	2016 B	2,016	17.2%	2 spaces (457 sf)
5	7,451	1808 B	1,808	15.6%	2 spaces (436 sf)
6	8,332	1625 A	1,627	11.9%	1 space (267 sf)
7	6,312	2016 B	2,016	20.1%	2 spaces (457 sf)
8	4,889	1808 A	1,808	23.8%	2 spaces (436 sf)
9	4,483	1625 B	1,627	22.1%	1 space (267 sf)
10	4,767	1808 A	1,808	24.4%	2 spaces (436 sf)
11	6,701	2016 A	2,016	18.9%	2 spaces (457 sf)
12	6,021	1625 A	1,627	16.5%	1 space (267 sf)





DISCUSSION:

The project site is situated in an area with a variety of housing types. Surrounding uses include duplexes to the north, single family and an apartment complex to the east, a mobile home park to the south, and Bryson Park to the west.

General Plan: The Project site is designated “RH” Residential High on the Land Use Diagram. The “RH” Residential High land use designation is applied to lands where multifamily housing development is preferred. The following development standards must be met and land use constraints due to soils, terrain,

access, services, aesthetics, open space, or other environmental features, must be considered in relation to project density.

- Minimum parcel or lot size is 3,500 square feet.
Consistent
- Maximum lot coverage of 75%.
Consistent
- Maximum allowable population density/building intensity is 16-29 dwelling units per acre.
Proposed density is 6.8 units per acre.
- Maximum building height is 40 feet.
Consistent

Zoning: The Project site is designated “R-3” Multiple Family Dwelling on the Zoning Map. The R-3 Zone is designated for multiple-family dwellings including apartments, condominiums, and townhouse units to achieve higher density housing. Single Family homes are not a permitted use in the R-3 Zone. Per SC Municipal Code [18.60.010- Conditional Use Permits](#), uses may be permitted by the planning commission and city council in zones from which they are prohibited by this title where such uses are deemed desirable to the public convenience or welfare, and are in harmony with the various elements or objectives of the comprehensive general plan.

The applicant has applied the R-3 regulations to the design and layout of the project. Included below are the R-3 regulations and R-1 and R-2 for comparison (*R-1/R-2*).

- Building height is limited to three stories and shall not exceed 40 feet. (*35 ft/35ft*)
- Front yard setback of no less than 10 feet. (*25ft/20ft*)
- Side yard setback of no less than five feet, except the street side of corner lots shall have at least a 10-foot setback. (*Same*)
- Rear yard setback of no less than 10 feet. (*15ft/10ft*)
- Minimum distance of six feet between buildings. (*Same*)
- Lot coverage shall not exceed 75%. (*50%/75%*)

Staff feels that even though they are proposing single family detached homes, the R-3 regulations should be applied. All of the lots meet the minimum front yard setbacks for the R-2 zoning district (20ft), and half meet the R-1 standard (25ft). Additionally, all garages are setback at minimum 20ft ([18.10.09 Yard Encroachments](#)).

Design Standards: The application was reviewed by the City’s Design Review Committee on November 20, 2025. The Committee reviewed the application, found it in compliance with the City’s Design Standards, and recommends the Planning Commission approve the project. They did request the following changes to improve the appearance from Bryson Drive:

- Lot 1, replace Plan 1808 with 2016
- Lot 2, replace Plan 2016 with 1808

These changes have been incorporated into the plans for your review.

Parking: 9 of the 12 units have tandem two car garages, the other 3 have single car garages. (The applicant incorrectly says there are two spaces per unit) Per the code each unit must have 2 parking spaces. The additional parking space for the 3 units with single car garages, is the driveway space in front of the garage. Additionally 6 parking spaces are provided on the street. Those spaces are already marked on site. No parking is allowed on the street, signs are already in place.

Access: Access is already in place and off of Bryson Drive. Internal project access via Bryson Court, which is a private road. The developer is proposing a road maintenance agreement. Either the creation of a Community Facilities District (CFD) or a road maintenance agreement must be in place for maintenance of the private roadway.

Landscaping: The applicant has provided a landscape plan. 24 trees will be planted across the front yard of the homes. Per [13.24.110](#) one street tree shall be planted per lot. The street tree must be at least 2 ft from the curb. This was also a condition of approval on the tentative map approval. The property owners must maintain the landscaping along Bryson Drive.

Fencing: The developer is proposing 6ft fencing between lots and along property lines.

California Environmental Quality Act (CEQA) Guidelines: This project qualifies for a Categorical Exemption under Section 15332, Class 32 (In-fill Development Projects), of the California Environmental Quality Act (CEQA) Guidelines. The project complies with the CEQA Categorical Exemption criteria, discussed below:

- a) The Project is consistent with the Sutter Creek General Plan, Zoning, and applicable regulations, with a Use Permit.
- b) The Project occurs within Sutter Creek’s city limits on a 1.76 acre site, which is less than the five acre criteria, and the site is substantially surrounded by urban uses, including apartments, duplexes, a mobile home park, a public park, and single family homes.
- c) The project site has no value as critical habitat for endangered, rare, or threatened species.

SITE PLAN:

Pursuant to Section [18.50 \(Site Plan Review\)](#), all development within the R-3 zoning district is required to obtain Site Plan approval. The applicant has submitted the necessary materials and plans to satisfy the submittal requirements for Site Plan review.

In order for the Planning Commission to grant approval of the Site Plan permit, they must make the following findings:

- A. The proposed site development is essential or desirable to the public convenience or welfare;
- B. The proposed site development will not impair the integrity and character of the area in which it is located, or the zoning district;
- C. The proposed site development will insure that adequate public utilities and services are provided so that the project would not be detrimental to public health, safety, or general welfare;

Staff has expanded on the findings in the Recommendation section of the staff report, for the Planning Commission’s consideration.

USE PERMIT:

Pursuant to Section [16.60 \(Conditional Use Permits\)](#), the Planning Commission and City Council may authorize uses that are otherwise prohibited within a zoning district when such uses are determined to be desirable for public convenience or welfare and consistent with the goals and policies of the General Plan. Although detached single-family dwellings are not a permitted use within the R-3 zoning district, staff believes the proposed development is consistent with the objectives and policies of the General Plan and would serve the community’s needs. The project proposes smaller, for-sale, market-rate homes—a housing type that is currently limited in the community and in demand.

Given the existing subdivision layout, constructing up to three units per lot, as would be permitted under the maximum R-3 density, would be impractical. The tentative map was originally approved for 12 lots intended to accommodate 12 detached single-family homes. It is staff’s understanding that the zoning designation was changed to R-3 after that approval.

In addition, individual water service connections have already been installed for each lot. Providing additional water services to accommodate higher-density development would be technically challenging and likely cost-prohibitive.

In order for the Planning Commission to grant approval of the Conditional Use Permit, they must make the following findings:

- A. The proposed uses of the property are desirable to the public convenience or welfare;
 - B. The proposed uses will not impair the integrity and character of the area in which it is located or the zoning district;
 - C. The proposed uses would not be detrimental to public health, safety, or general welfare
 - D. There are adequate public utilities and services available for the proposed uses; and
 - E. The proposed uses of the property are in harmony with the various elements or objectives of the general plan and the purposes of this title.
- Staff has expanded on the findings in the Recommendation section of the staff report, for the Planning Commission's consideration.

REFERRALS:

The initial application package was referred to City staff and affected agencies. The City received comments back from the following departments or agencies:

- Amador Water Agency
- City Engineering and Building Department
- City's Sewer Engineer
- Public Works

The comments received have either been incorporated into the proposal or included as Conditions of Approval.

BUDGET IMPACT:

None.

RECOMMENDATION:

Staff recommends approval of the Site Plan and Use Permit application as presented, with the following Findings and Conditions of Approval:

FINDINGS:

Site Plan

- A. The proposed site development is essential or desirable to the public convenience or welfare;

The project will construct 12 single-family homes on 12 existing undeveloped lots, providing additional for-sale housing opportunities within the community. The development makes efficient use of previously approved and improved lots and contributes to the local housing supply, which supports the public convenience and general welfare.
- B. The proposed site development will not impair the integrity and character of the area in which it is located, or the zoning district;

Although the R-3 zoning district does not permit detached single-family homes without approval of a use permit, the proposed development is residential in nature and consistent in scale with typical neighborhood development. The project will complete an existing subdivision and will not introduce uses or intensities that would be out of character with the surrounding residential area.
- C. The proposed site development will insure that adequate public utilities and services are provided so that the project would not be detrimental to public health, safety, or general welfare;

All necessary public improvements have previously been installed, including street improvements, drainage facilities, and utility stub-outs. Each lot has an individual water service connection installed in place. As a result, the project can be served by existing public utilities and services without requiring substantial new infrastructure, ensuring that the development will not be detrimental to public health, safety, or general welfare.

Use Permit

- A. The proposed uses of the property are desirable to the public convenience or welfare;

The project will allow for the construction of 12 single-family homes on 12 existing undeveloped lots, providing additional for-sale housing opportunities within the community. The development makes productive use of previously approved and improved residential lots and contributes to meeting local housing needs, which supports the public convenience and welfare.

- B. The proposed uses will not impair the integrity and character of the area in which it is located or the zoning district;

Although detached single-family dwellings are not permitted by right in the R-3 zoning district, the proposed use remains residential in nature and is consistent in scale and intensity with surrounding residential development. The subdivision was previously approved in 2008 for 12 single-family homes, and the lots were specifically created to accommodate that form of development. The current proposal is therefore consistent with the original subdivision design and intent. The project completes an existing, partially improved subdivision and does not introduce a use or level of intensity that would conflict with the established character of the neighborhood or undermine the integrity of the zoning district.

- C. The proposed uses would not be detrimental to public health, safety, or general welfare

The development consists of 12 single-family homes on legally created lots that were previously improved with streets, drainage, and utility infrastructure. Residential development of this scale is typical and will not generate impacts beyond those normally associated with housing, thereby protecting public health, safety, and general welfare.

- D. There are adequate public utilities and services available for the proposed uses; and

All necessary public improvements have already been constructed, including street improvements, drainage facilities, and utility stub-outs. Each lot has an individual water service connection installed. Existing public utilities and services are adequate to serve the proposed homes without the need for significant additional infrastructure.

- E. The proposed uses of the property are in harmony with the various elements or objectives of the general plan and the purposes of this title.

The proposed single-family homes further the General Plan’s residential objectives by providing additional ownership housing opportunities and utilizing existing residentially designated land. Although a use permit is required due to the current R-3 zoning designation, the project remains consistent with the broader goals of promoting orderly development, efficient use of infrastructure, and a range of housing options within the community.

CONDITIONS OF APPROVAL:

1. Applicant shall pay the \$50.00 CEQA Notice of Exemption (NOE) filing fee to the Amador County Recorder
2. Applicant shall comply with Section 18.06.090 and 18.06.100 of the Zoning Code regarding the 12-month period to implement the Project and/or Extension of time

Sewer

3. The existing sewer system in the development shall be flushed and cleaned. At the manhole connection point to the City's collection system all water and materials must be screened during the flushing process such that no rocks or unwanted materials are discharged into the City's system.
4. If the existing location of any of the sewer service cleanouts occurs within any of proposed driveway locations then the existing cleanouts must be covered by a concrete traffic weight box with the lid clearly marked "SEWER".
5. Cleanouts located within landscape areas must be covered with a plastic or PVC box clearly marked "SEWER".
6. Prior to occupancy of each residence, an application for sewer service must be completed at the City and connection fees must be paid for each residence.

Amador Water Agency

7. Any driveways installed adjacent to or surrounding existing AWA meter boxes which would allow vehicular traffic on or over the meter boxes shall require the meter boxes to be upgraded to traffic rated boxes at the expense of the Developer prior to initiation of service.
8. Each service shall require a completed new AWA water service application and applicable fees (meter setting, capacity fees, meter box upgrades as applicable, etc.) at the time of service remitted prior to initiation of service.
9. All AWA appurtenances shall be protected per AWA standards.

Building/Engineering

10. Previous Conditions of Approval #7, #8, #9 were deferred and will be applied individually to each lot at issuance. Applicant to comply with these previous requirements.
 - a. Resolution 07-08-35 #7 Provide street tree landscaping pursuant to Ordinance No. 274
 - b. Resolution 07-08-35 #8 Pay Parkland In Lieu fees pursuant to Ordinance No 258, based on the fair market value of the lots
 - c. Resolution 07-08-35 #9 Pay a Traffic Mitigation Fee equivalent to twelve single-family units
11. Applicant shall provide verification of completion of previous Condition of Approval #13 thru creation of private road maintenance district or other means acceptable to the City. No parking shall be permitted on Bryson Court through the use of appropriate signage and striping.
12. Applicant shall clean all existing concrete swales and storm drain pipes prior to issuance of the first building permit.
13. As part of each building permit application, developer is to provide a proposed site plan showing finished lot grading and drainage, (lot to lot drainage not permitted, except at existing rear yard drainage swales), location of driveway, existing utilities, proposed home, etc.
14. Applicant shall remove and replace existing ADA curb ramp at west entrance of Bryson Court from Bryson Drive.

Attachments:

1. Application
2. Plans
3. Resolution No. 07-08-35
4. Deferred Improvement Agreement
5. Bryson Cottages Subdivision Map
6. Resolution No. 25-06-XX Approving a Site Plan Permit and Use Permit for 110-165 Bryson Court

**PLAN: 1625
BUILDING AREA**

CONDITIONED FLOOR AREA LVL 1	
LIVING AREA	: 675.69 SF
TOTAL	: 675.69 SF
CONDITIONED FLOOR AREA LVL 2	
LIVING AREA	: 952.00
GROSS BUILDING AREA	: 1,627.00
ENCLOSED NON-CONDITIONED FLOOR AREA	
GARAGE & STORAGE	: 267.56 SF
TOTAL	: 267.56 SF
COVERED DECK (LANDING) SPACE	
TOTAL	: 49.33 SF
NET BUILDING AREA	: 1,944.58 SF

**PLAN: 1808
BUILDING AREA**

CONDITIONED FLOOR AREA LVL 1	
LIVING AREA	: 700 SF
CONDITIONED FLOOR AREA LVL 2	
LIVING AREA	: 1,108 SF
GROSS BUILDING AREA	: 1,808 SF
ENCLOSED NON-CONDITIONED FLOOR AREA	
GARAGE & STORAGE	: 436 SF
TOTAL	: 436 SF
PORCH ELEVATION A & B	
TOTAL	: 26 SF
NET BUILDING AREA A & B	: 2,270 SF

**PLAN: 2016
BUILDING AREA**

CONDITIONED FLOOR AREA LVL 1	
LIVING AREA	: 788 SF
CONDITIONED FLOOR AREA LVL 2	
LIVING AREA	: 1,228 SF
GROSS BUILDING AREA	: 2,016 SF
ENCLOSED NON-CONDITIONED FLOOR AREA	
GARAGE & STORAGE	: 457 SF
TOTAL	: 457 SF
PORCH ELEVATION A	
TOTAL	: 20 SF
PORCH ELEVATION B	
TOTAL	: 25 SF
NET BUILDING AREA A	: 2,493 SF
NET BUILDING AREA B	: 2,498 SF

**Sheet
Number**

- 1
- 1.1
- 1.2
- 2.1
- 2.2
- 2.3
- 3.1
- 3.2
- 3.3
- 4.1
- 4.2
- 4.3

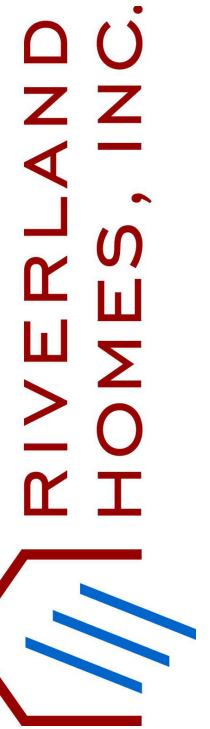
Sheet Name

- SITE-PLAN APPLICATION COVERSHEET
- BRYSON COTTAGES SITE PLAN
- BRYSON COTTAGES CONCEPTUAL LANDSCAPE PLAN
- 1625 - ELEVATION A
- 1625 - ELEVATION B
- 1808 - FLOORPLANS - A & B
- 1808 - ELEVATION A
- 1808 - ELEVATION B
- 2016 - FLOORPLANS - A & B
- 2016 - ELEVATION A
- 2016 - ELEVATION B
- 2016 - FLOORPLANS - A & B

BRYSON COTTAGES

DESIGN REVIEW

SUTTER CREEK, CA



RIVERLAND HOMES, INC
4170 Douglas Blvd., #150
Granite Bay, CA 95746
Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT:
BRYSON COTTAGES



1625 A



1808 A



2016 A



1625 B



1808 B



2016 B

DATE	1/26/26
PROJECT NO	N/A
REVISION	DATE

NOTES

**SITE-PLAN
APPLICATION
COVERSHEET**

SCALE: As indicated

1

DRAWN BY: RHI



RIVERLAND HOMES, INC
 4170 Douglas Blvd., #150
 Granite Bay, CA 95746
 Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT:
BRYSON COTTAGES SITE PLAN

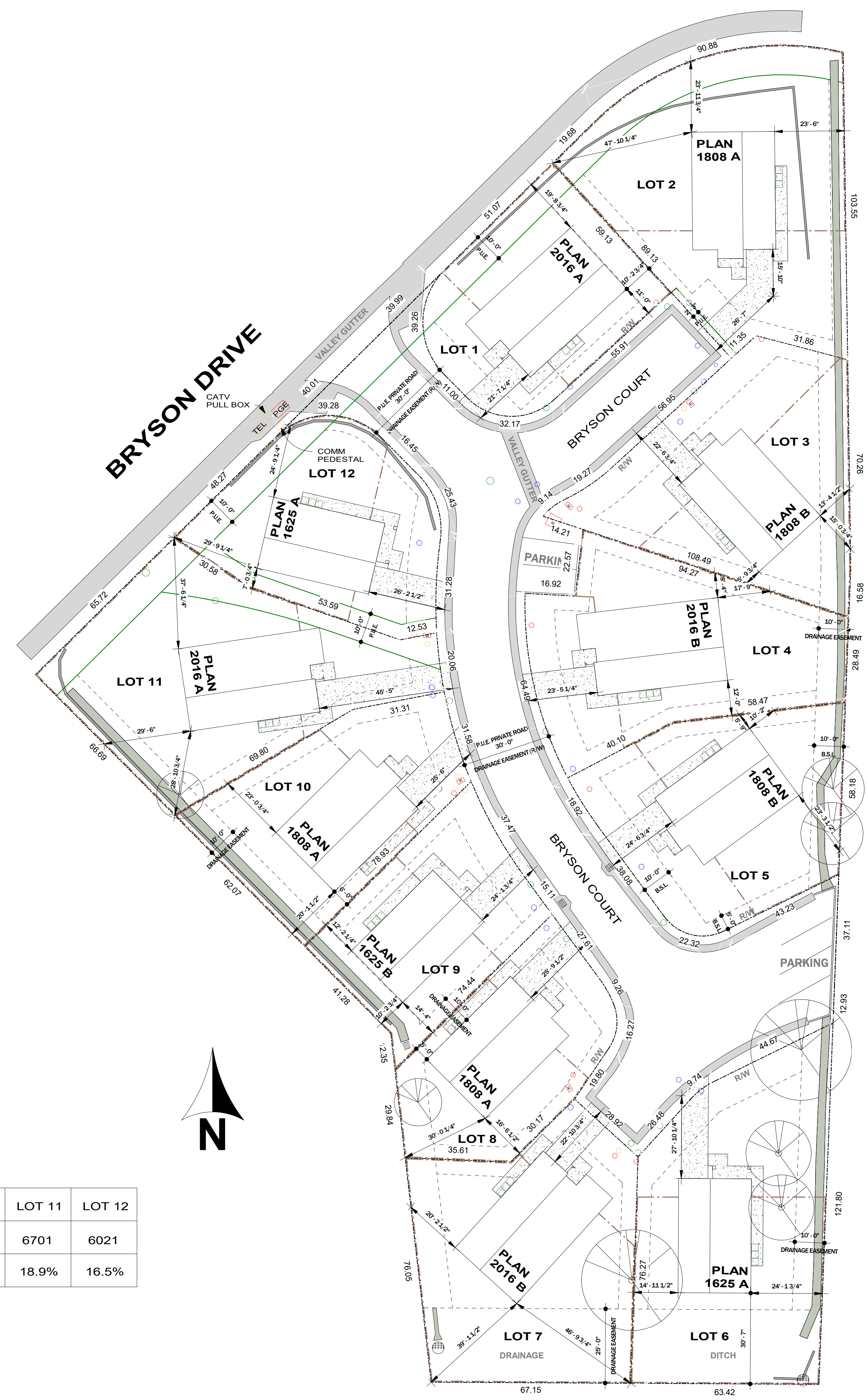
DATE	1.26.2026
PROJECT NO	
REVISION	DATE
NOTES	

BRYSON COTTAGES SITE PLAN

SCALE: As indicated

1.1

DRAWN BY: DAVID SUSHCH



LEGEND

- PROPERTY LINES
 - BUILDING SETBACK LINES
 - PUBLIC UTILITY EASEMENT
 - 6' WOOD FENCING
 - ⊙ EXISTING TREE
 - FRONT SETBACK: 10'
 - REAR YARD SETBACK: 10'
 - SIDE SETBACK: 5'
- PLANS USED**
- SAMPLE LAYOUT ONLY, SUBJECT TO CHANGE.
-
- DRIVEWAYS TO BE 9' WIDE
 - CMU/KEYSTONE WALLS
 - CURB AND SIDEWALK
 - CONCRETE LINED DITCH
 - DRIVEWAYS
 - SEWER
 - WATER
 - CULVERT
 - STORM DRAIN
 - TEL COM PED
 - JOINT TRENCH
 - SOLID WASTE ENCLOSURES

LOT COVERAGE CHART:

LOT #	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12
LOT SQUARE FOOTAGE	6384	7294	6988	7380	7451	8332	6312	4889	4483	4767	6701	6021
LOT COVERAGE	19.9%	15.9%	16.6%	17.2%	15.6%	11.9%	20.1%	23.8%	22.1%	24.4%	18.9%	16.5%

1 BRYSON COTTAGES
 SCALE: 3/64" = 1'-0"

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RIVERLAND HOMES, INC
4170 Douglas Blvd., #150
Granite Bay, CA 95746
Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT:
BRYSON COTTAGES SITE PLAN

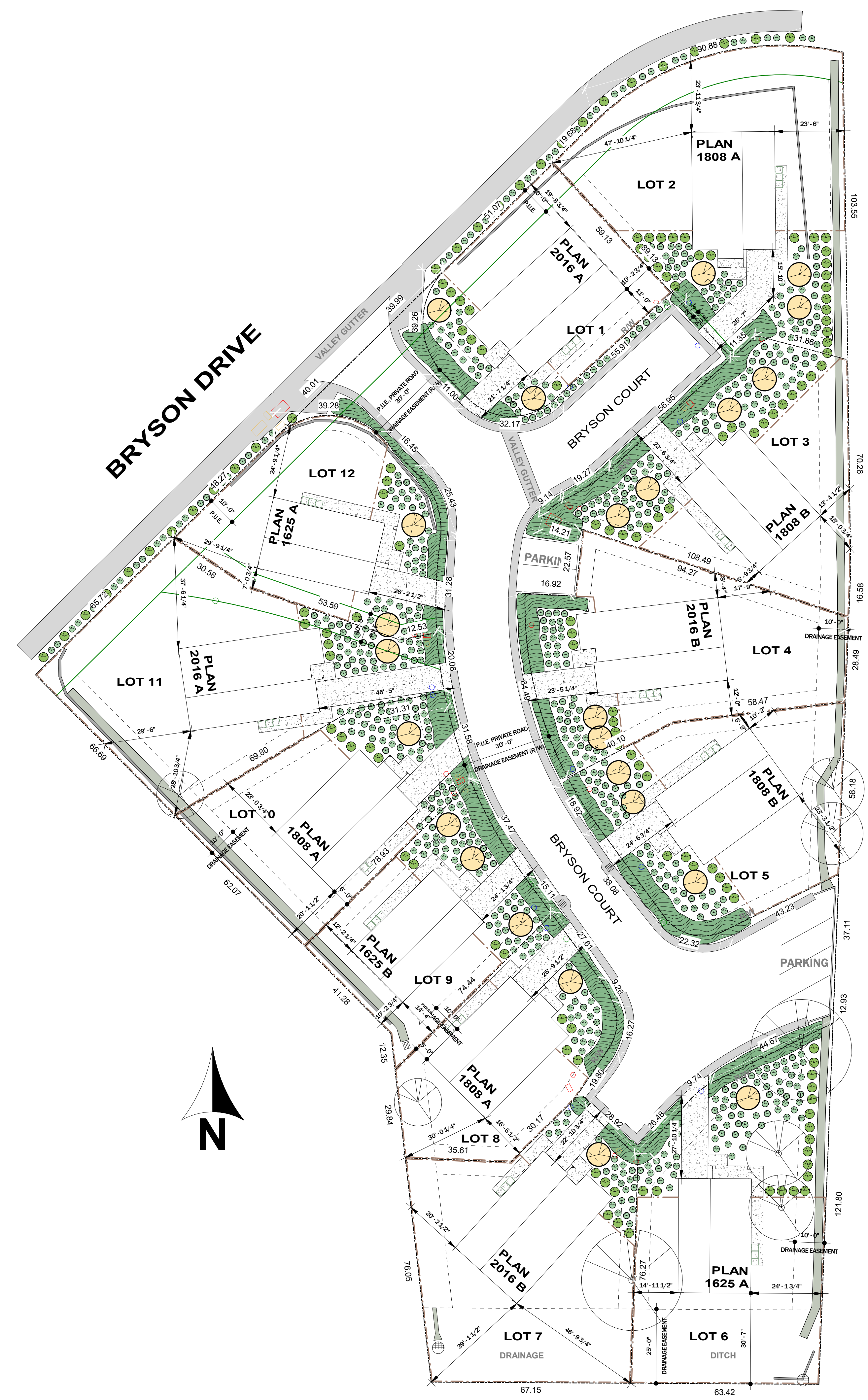
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REVISION: DATE:

NOTES

BRYSON COTTAGES CONCEPTUAL LANDSCAPE PLAN
SCALE: As indicated

1.2

DRAWN BY: DAVID SUSHCH



LEGEND

- PROPERTY LINES
 - BUILDING SETBACK LINES
 - PUBLIC UTILITY EASEMENT
 - 6' WOOD FENCING
 - EXISTING TREE
 - FRONT SETBACK: 10'
 - REAR YARD SETBACK: 10'
 - SIDE SETBACK: 5'
- PLANS USED**
- SAMPLE LAYOUT ONLY, SUBJECT TO CHANGE.
-
- DRIVEWAYS TO BE 9' WIDE
 - CMU/KEYSTONE WALLS
 - CURB AND SIDEWALK
 - CONCRETE LINED DITCH
 - DRIVEWAYS
 - SEWER
 - WATER
 - CULVERT
 - STORM DRAIN
 - TEL COM PED
 - JOINT TRENCH
 - SOLID WASTE ENCLOSURES

LS LEGEND

- ACCENT TREE: WHITE CREPE MYRTLE OR SIMILAR
- GROUNDCOVER: PURPLE TRAILING LANTANA OR SIMILAR
- LARGE SHRUB: ROSEMARY GREVILLEA OR SIMILAR
- SMALL SHRUB: COMPACT TAWHIWHI OR SIMILAR

2

BRYSON COTTAGES CONCEPTUAL LANDSCAPING PLAN

SCALE: 3/64" = 1'-0"

1/26/2026 2:20:35 S:\Shared\Folders\Riverland Homes Public\Drafting\29_BRYSON COTTAGES\SITE PLAN\BRYSON COTTAGES - 07162025.rvt AM



RIVERLAND HOMES, INC
4170 Douglas Blvd., #150
Granite Bay, CA 95746
Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT:
BRYSON COTTAGES SITE PLAN

DATE	02/03/26
PROJECT NO	
REVISION	DATE
NOTES	

BRYSON COTTAGES - ADJACENT BUILDINGS

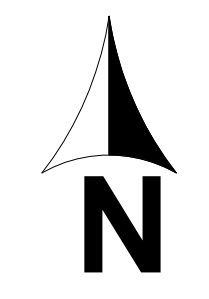
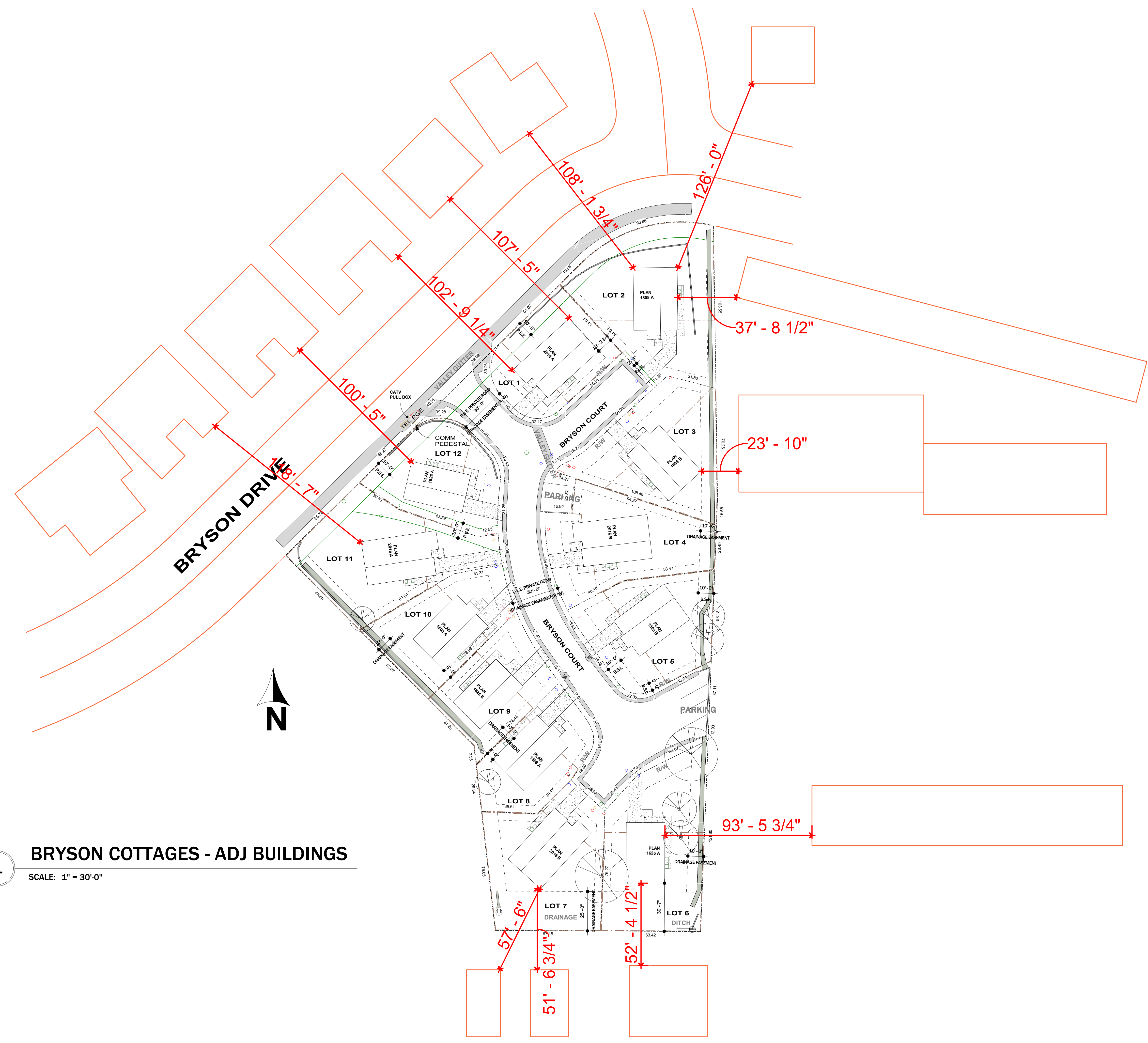
SCALE: 1" = 30'-0"

1.3

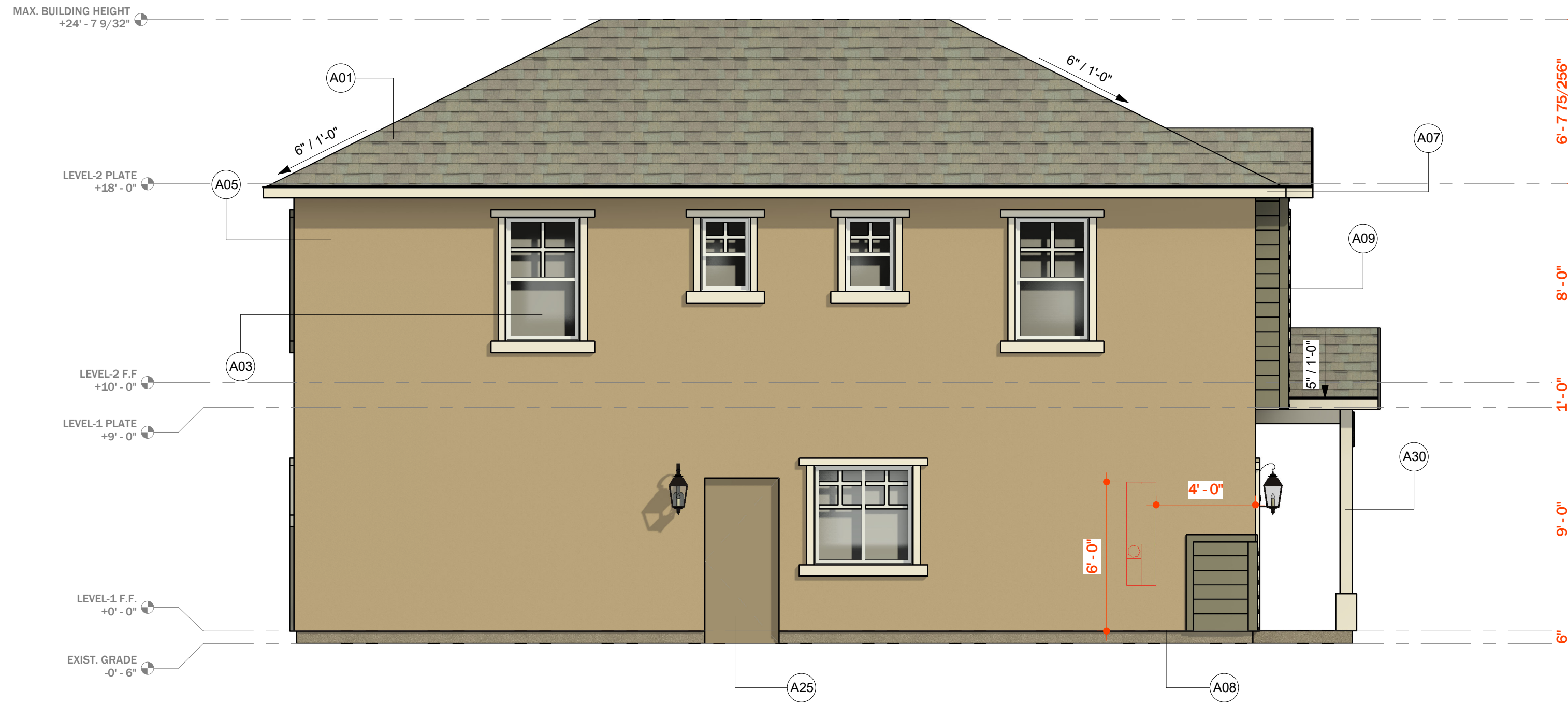
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1 BRYSON COTTAGES - ADJ BUILDINGS
SCALE: 1" = 30'-0"



COLOR PACKAGE 1



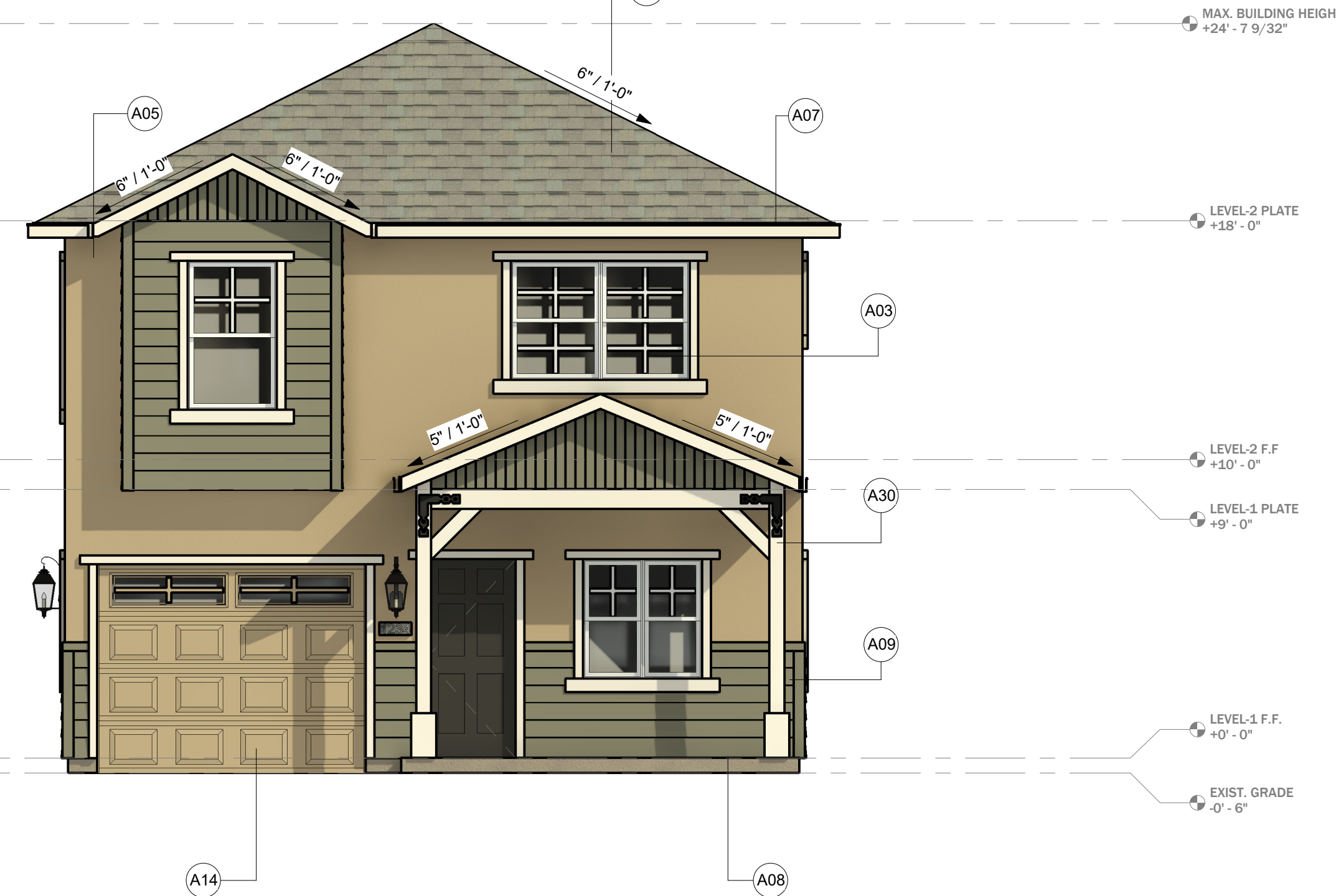
2 EXTERIOR ELEVATION - LEFT OPT A
SCALE: 1/4" = 1'-0"

SHEET KEYNOTES

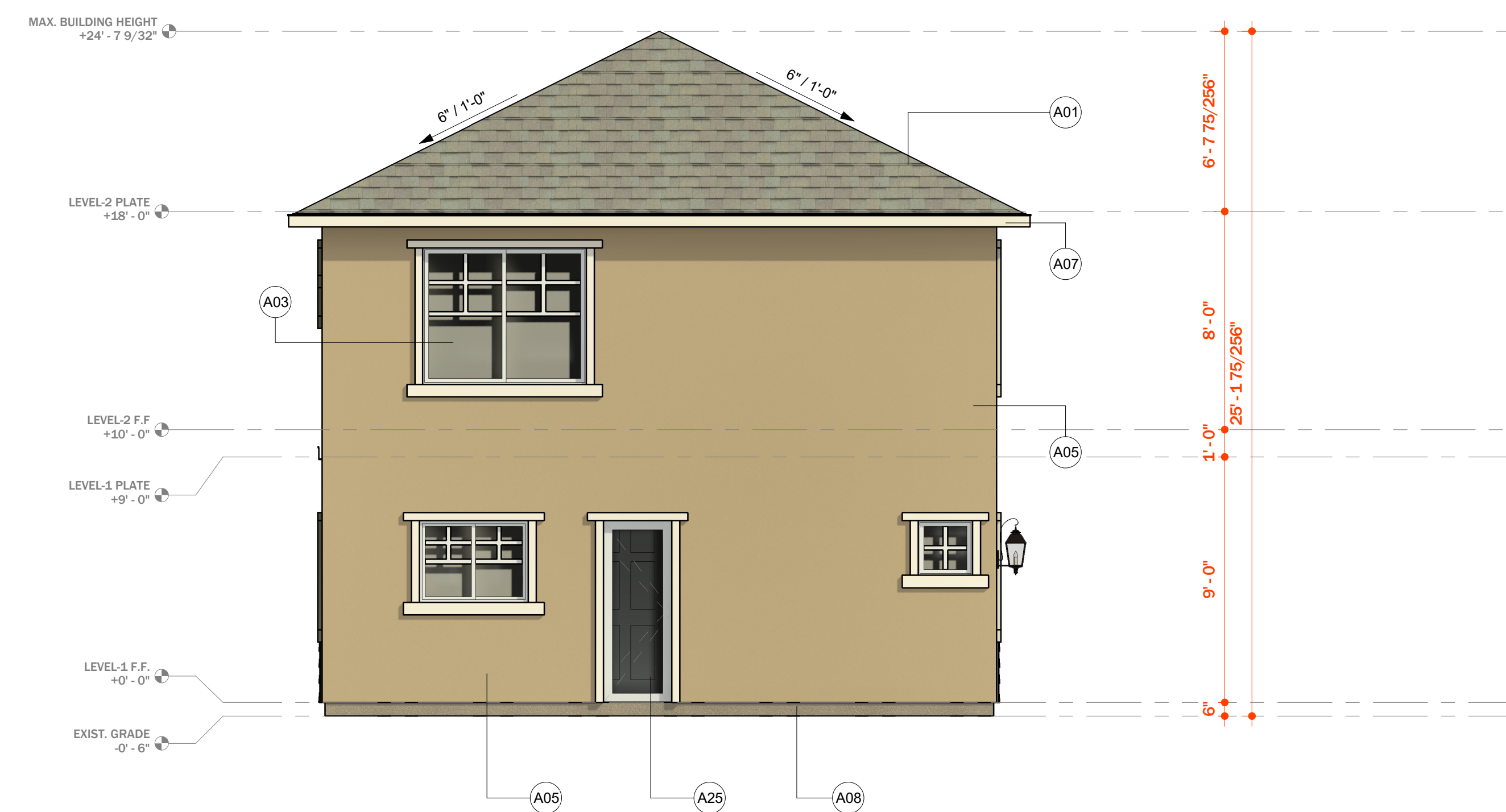
Key Value	Keynote Text
A01	ROOFING
A03	WINDOWS
A04	ENTRY DOOR
A05	EXTERIOR 1-COAT STUCCO SYSTEM
A07	ROOF FACIA GUTTER

SHEET KEYNOTES

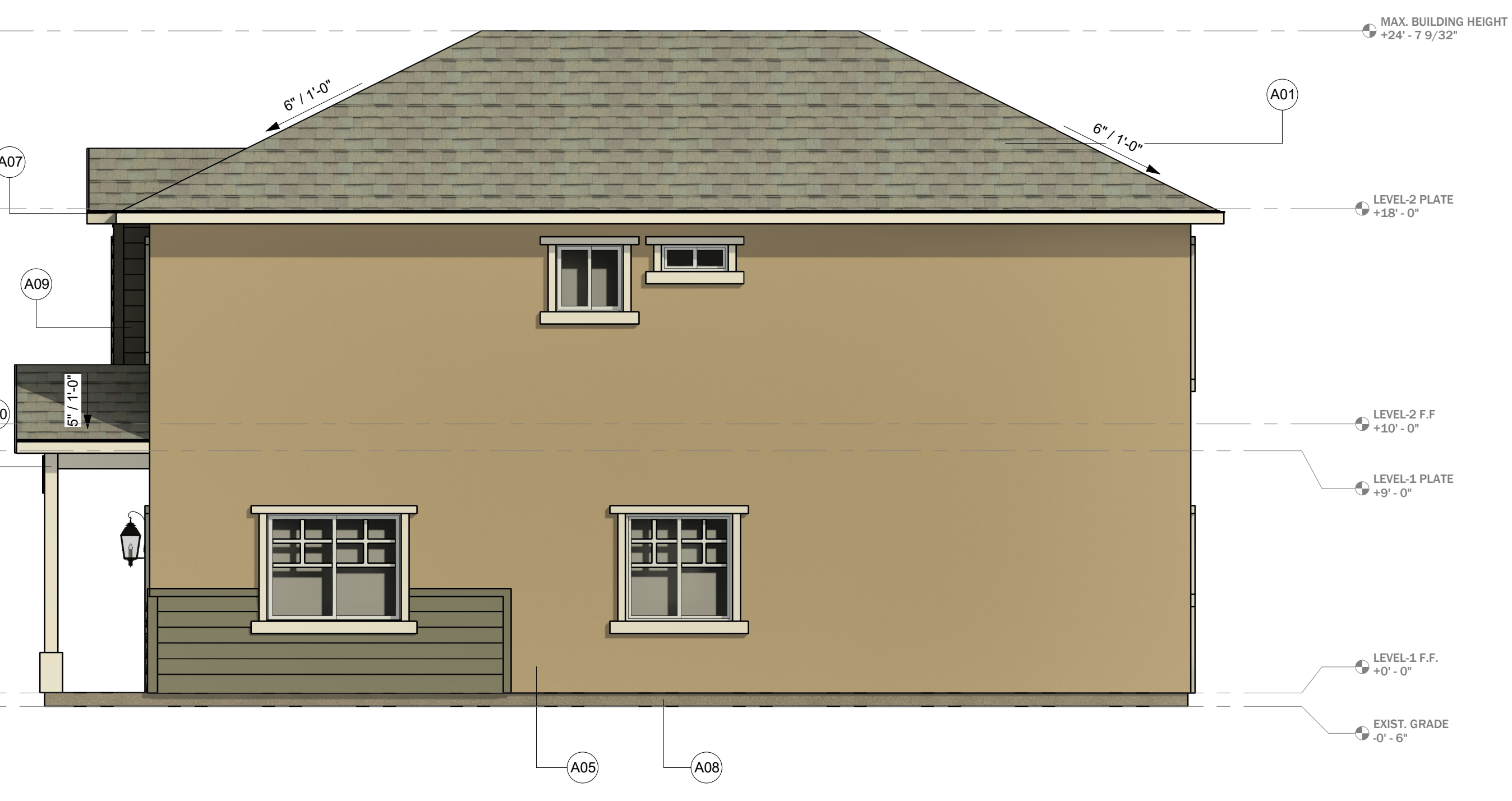
Key Value	Keynote Text
A08	SCREENED LINE
A09	LAP SIDING
A14	GARAGE DOOR
A18	MASONRY VENEER (BUILDERS CHOICE)
A25	EXTERIOR DOOR POST
A30	POST



1 EXTERIOR ELEVATION - FRONT OPT A
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION - REAR OPT A
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION - RIGHT OPT A
SCALE: 1/4" = 1'-0"



RIVERLAND HOMES, INC
4170 Douglas Blvd., #150
Granite Bay, CA 95746
Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT
BRYSON COTTAGES

DATE	1/26/26
PROJECT NO	N/A
REVISION	DATE

NOTES

1625 - ELEVATION A

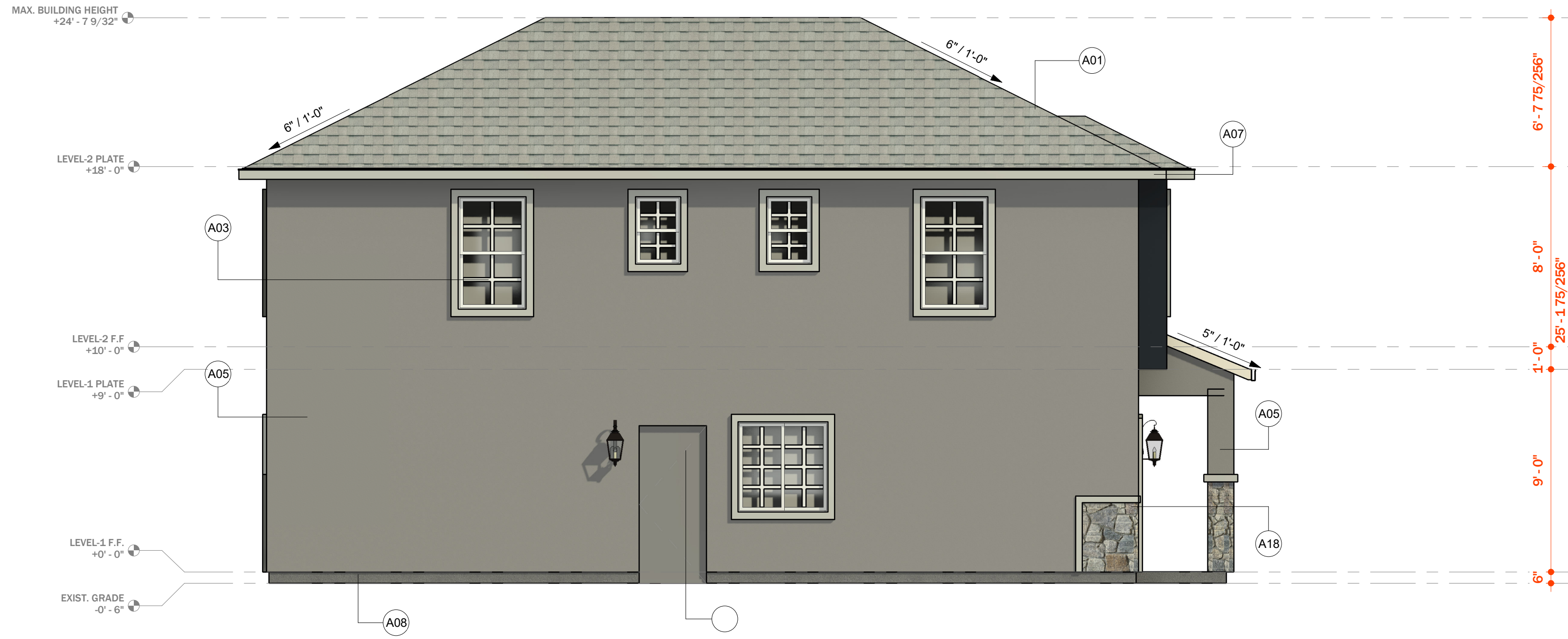
SCALE: 1/4" = 1'-0"

2.1

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COLOR PACKAGE 2



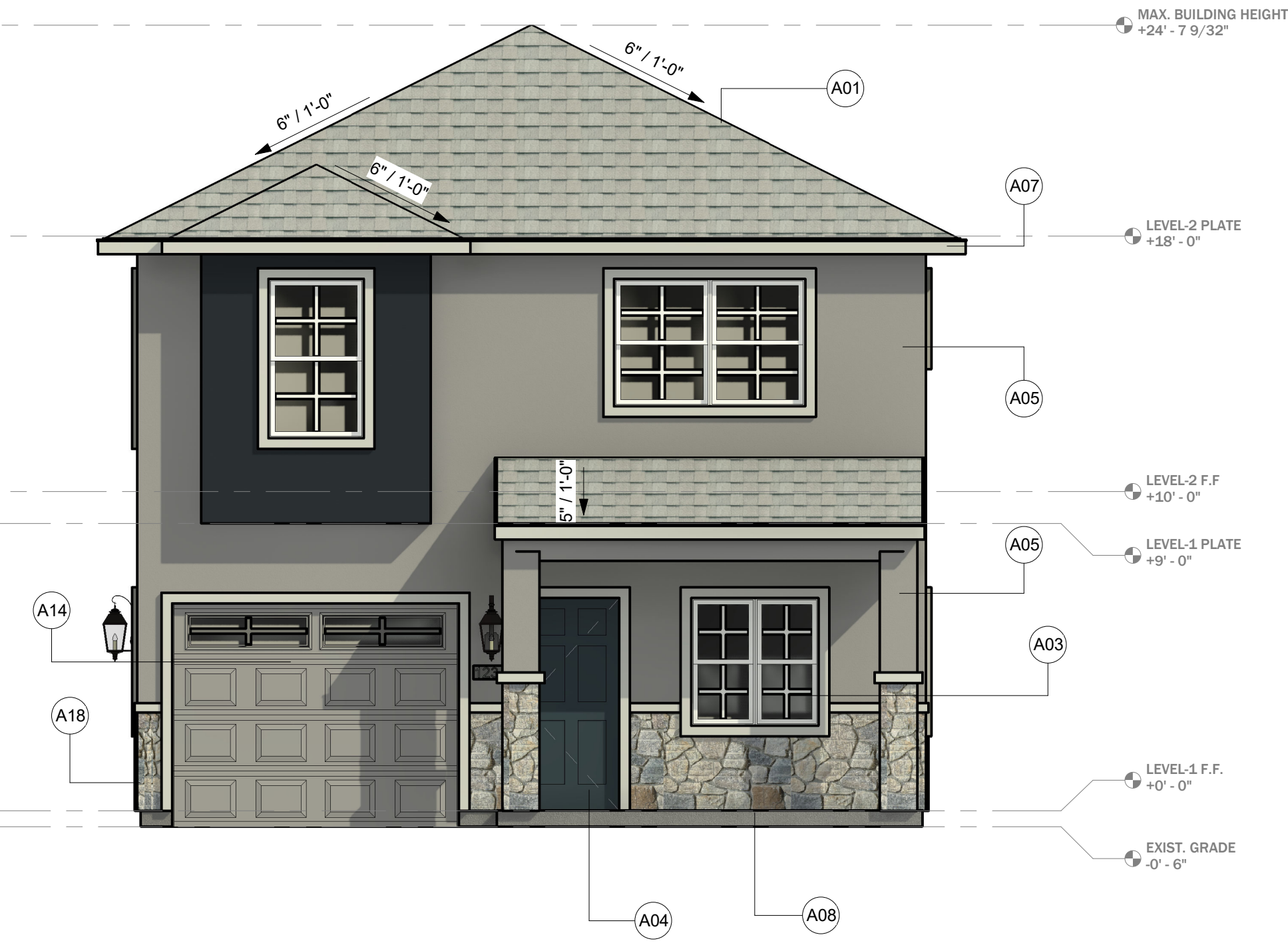
2 EXTERIOR ELEVATION - LEFT OPT B
SCALE: 1/4" = 1'-0"

SHEET KEYNOTES

Key Value	Keynote Text
A01	ROOFING
A03	WINDOWS
A04	ENTRY DOOR
A05	EXTERIOR 1-COAT STUCCO SYSTEM
A07	ROOF FACIA GUTTER

SHEET KEYNOTES

Key Value	Keynote Text
A08	SCREED LINE
A09	LAP SIDING
A14	GARAGE DOOR
A18	MASONRY VENEER (BUILDERS CHOICE)
A25	EXTERIOR DOOR POST
A30	POST



1 EXTERIOR ELEVATION - FRONT OPT B
SCALE: 1/4" = 1'-0"



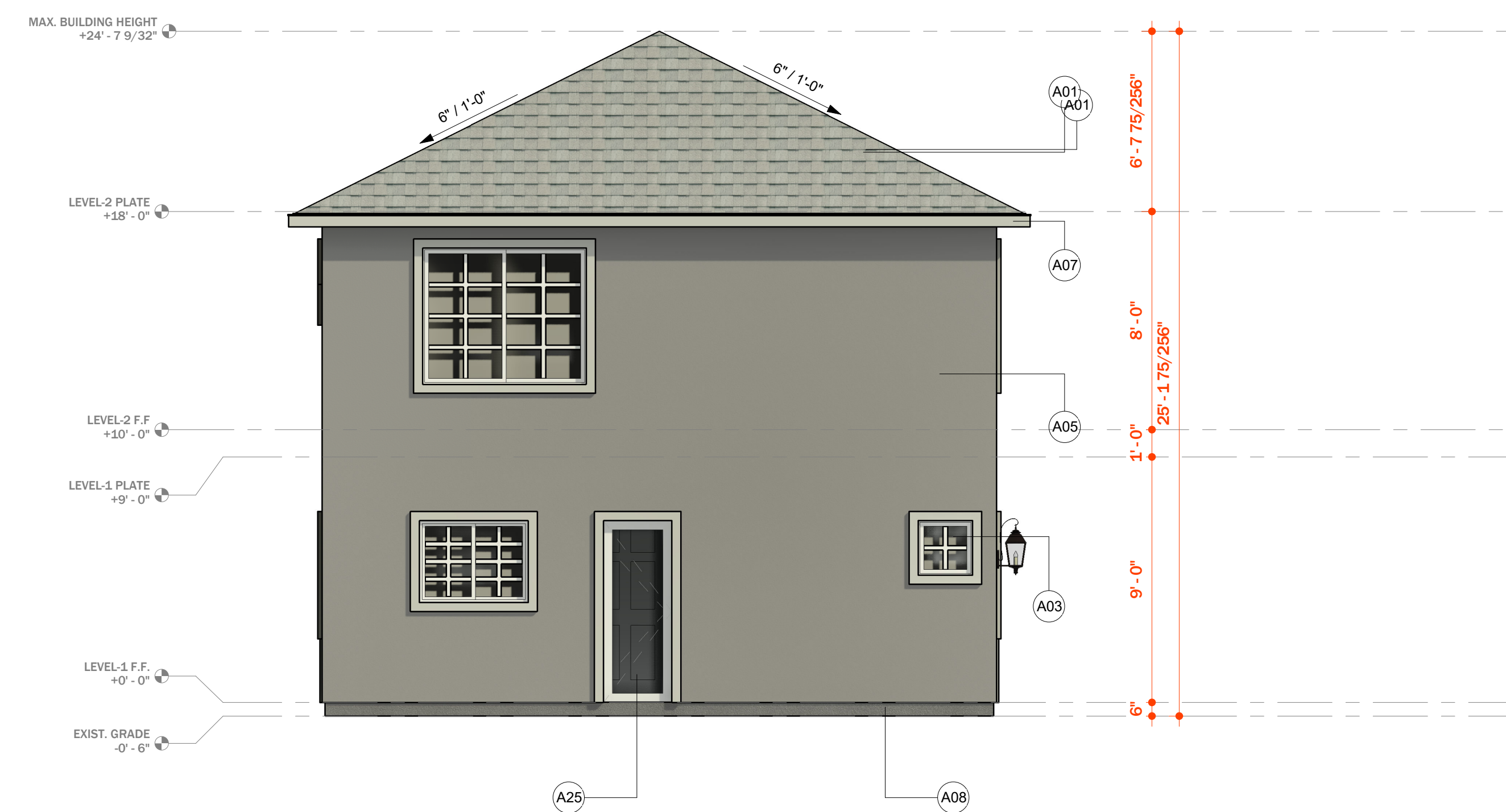
RIVERLAND HOMES, INC.
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Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

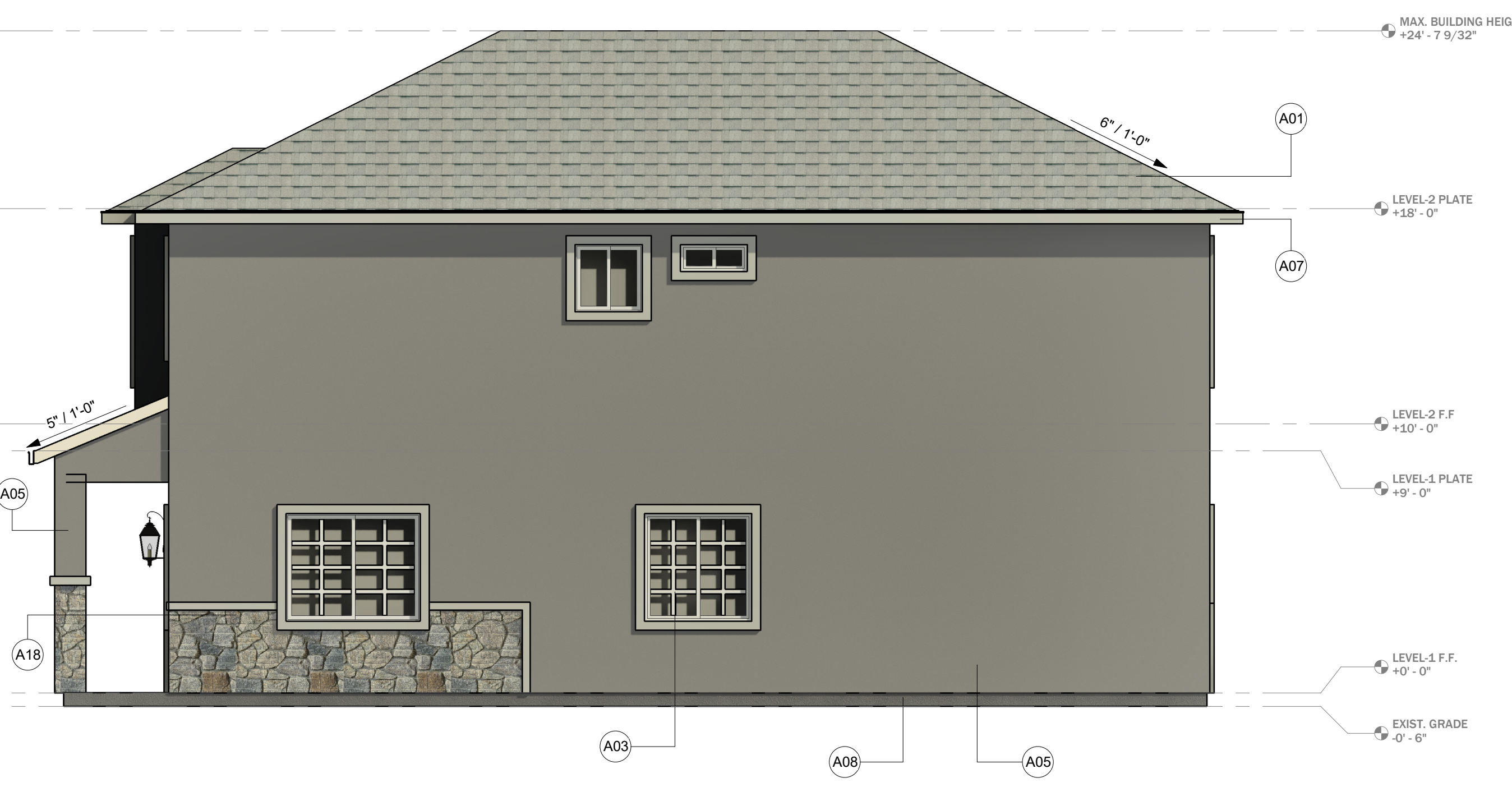
PROJECT:
BRYSON COTTAGES

DATE	1/26/26
PROJECT NO	N/A
REVISION	DATE

NOTES



4 EXTERIOR ELEVATION - REAR OPT B
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION - RIGHT OPT B
SCALE: 1/4" = 1'-0"

1625 - ELEVATION B

SCALE: 1/4" = 1'-0"

2.2

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DATE 1/26/26
PROJECT NO N/A
REVISION DATE

NOTES

1625 - FLOORPLANS - A & B

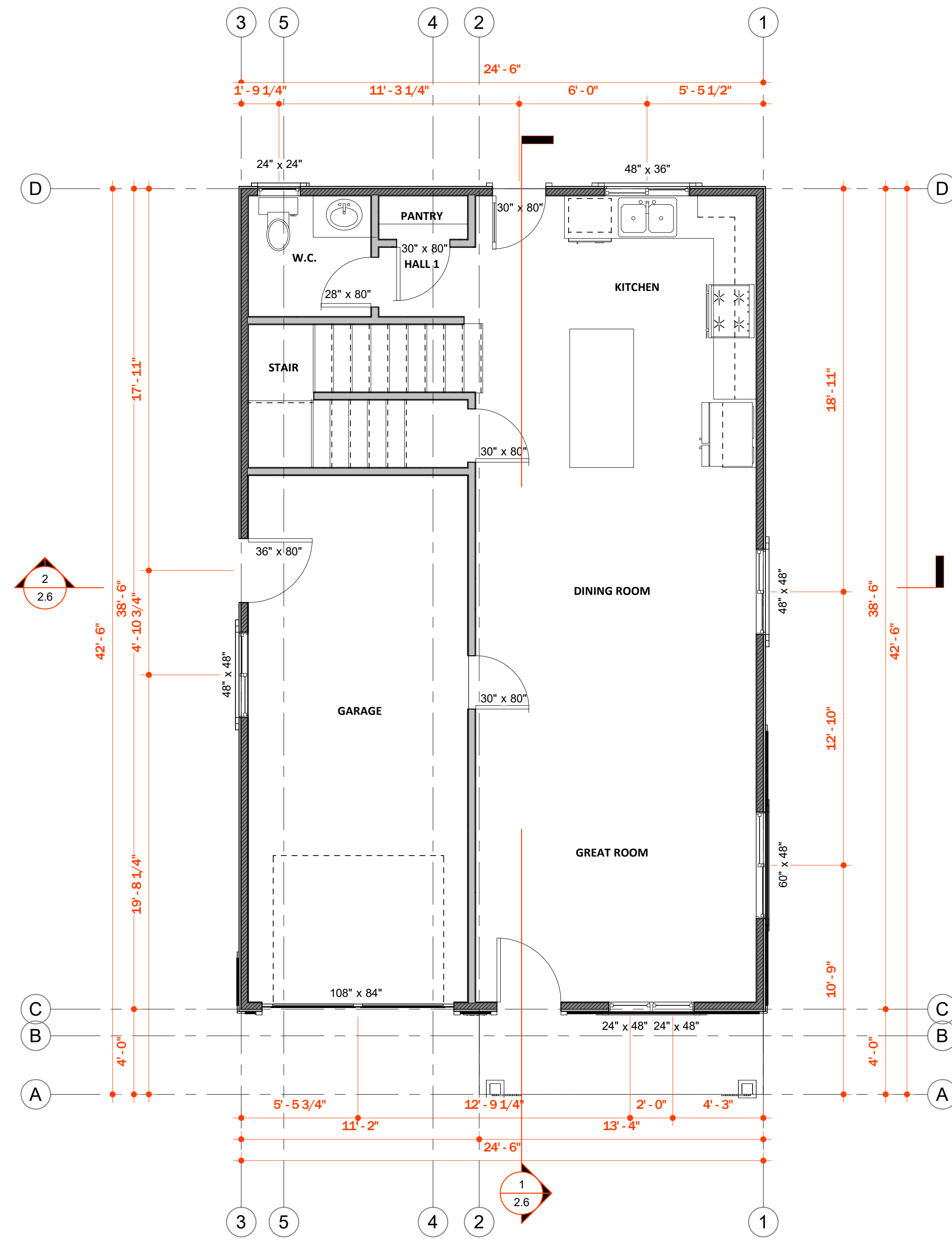
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2.3

DRAWN BY: RHI

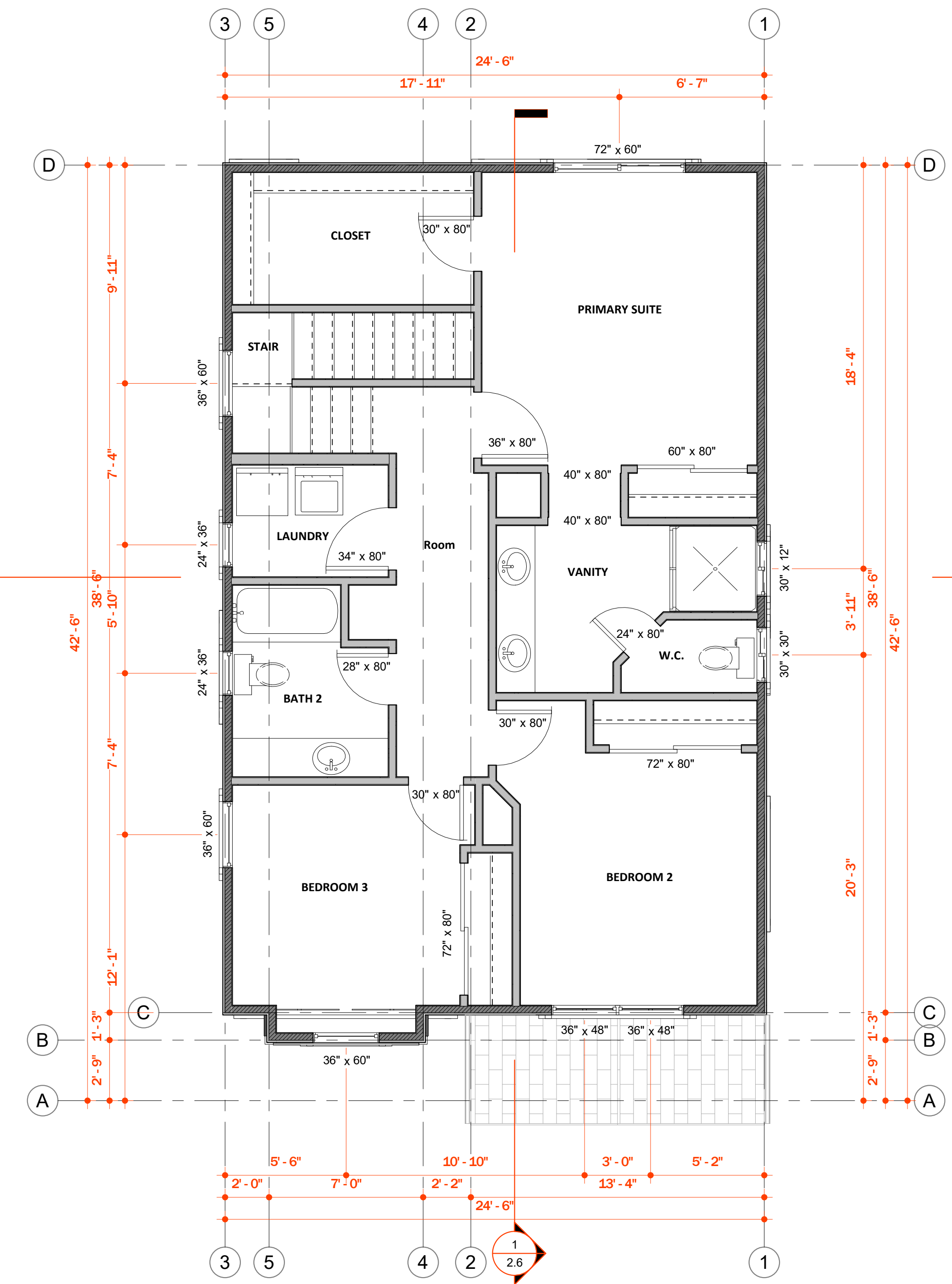
LEGEND: FLOOR PLAN

- (N) BED1 (REMOVED)
- WINDOW SYMBOL: SEE WINDOW SCHEDULE SHEET.
NOTE: ESCAPE OR RESCUE WINDOWS REQUIRED IN "R" OCCUPANCIES SHALL HAVE A MINIMUM NET CLEAR OPENABLE DIMENSIONS - AREA OF 5.7 S.F., HEIGHT 24", WIDTH 20", SILL HEIGHT 44" ABOVE FINISH FLOOR (TYP).
- DOOR SYMBOL: SEE DOOR SCHEDULE SHEET
- OPENING SYMBOL: SEE OPENING SCHEDULE SHEET
- NEW EXTERIOR WALL CONSTRUCTION - 2X4 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE. SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH.
- NEW INTERIOR WALL CONSTRUCTION - 2X4 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
- NEW INTERIOR WALL CONSTRUCTION - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
- NEW EXTERIOR WALL CONSTRUCTION - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
- DOORS-1: SEE SCHEDULE
COLOR: AS SELECTED BY OWNER- CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
DOOR TO HAVE LEVER HANDLES
- WINDOWS-1: SEE SCHEDULE
COLOR: AS SELECTED BY OWNER- CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
- (N) WATER CLOSET: AS SELECTED BY OWNER
- SHOWER KITS DETAILS TO BE DETERMINED BY OWNER
- (N) SHOWER KIT: AS SELECTED BY OWNER
SHOWER ENCLOSURE: PROVIDE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER A MOISTURE PROOF BARRIER TO A HEIGHT OF 70" (MIN) ABOVE DRAIN INLET SLOPING 1/4"=12" TOWARD FLOOR DRAIN AND AS REQUIRED PER THE CURRENT ADOPTED EDITION OF THE CBC. PROVIDE FLOOR DRAIN CENTERED ON FLOOR. PLACE SHOWER COLUMN SPRAYING AWAY FROM SHOWER ACCESS. PROVIDE MOISTURE SEALED, LATCHING, TEMPERED GLASS SHOWER ENCLOSURE DOOR PANEL IN COMPLIANCE WITH CBC.
- TUB ENCLOSURE: PROVIDE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER A MOISTURE PROOF BARRIER TO A HEIGHT OF 70" (MIN) ABOVE DRAIN INLET SLOPING 1/4"=12" TOWARD FLOOR DRAIN AND AS REQUIRED PER THE CURRENT ADOPTED EDITION OF THE CBC. PROVIDE FLOOR DRAIN CENTERED ON FLOOR. PLACE SHOWER COLUMN SPRAYING AWAY FROM SHOWER ACCESS. PROVIDE MOISTURE SEALED, LATCHING, TEMPERED GLASS SHOWER ENCLOSURE DOOR PANEL IN COMPLIANCE WITH CBC.
- (N) LAVATORY: AS SELECTED BY OWNER
OPTIONAL: MASTER BATHROOM VANITIES TO BE 36" COMFORT HEIGHT, WITH WHEELCHAIR ACCESSIBLE (OPEN KNEE SPACE).
OPTIONAL: SINGLE LEVER WATER CONTROLS.
- TOWEL RING
- TOWEL BAR
- ROBE HOOK
- (N) CABINETRY: AS SELECTED BY OWNER
(N) COUNTER TOPS: AS SELECTED BY OWNER
(N) BACKSPASHES: AS SELECTED BY OWNER
- (N) EXT CONCRETE PAD-1: LENGTH TO MATCH DOOR X 30" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ ALL EXTERIOR DOORWAYS AND GRADE MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4"=12" AWAY FROM BUILDING EDGE. PROVIDE 8" MAXIMUM STEP FOR IN-SWINGING DOORS AND 1" MAXIMUM FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD (TYP).
FRONT DOOR LANDING TO BE A MINIMUM OF 5'X5'.
- (N) RANGE: AS SELECTED BY OWNER
- (N) REFRIGERATOR: AS SELECTED BY OWNER
- (N) DISHWASHER: AS SELECTED BY OWNER
- (N) SINK: AS SELECTED BY OWNER



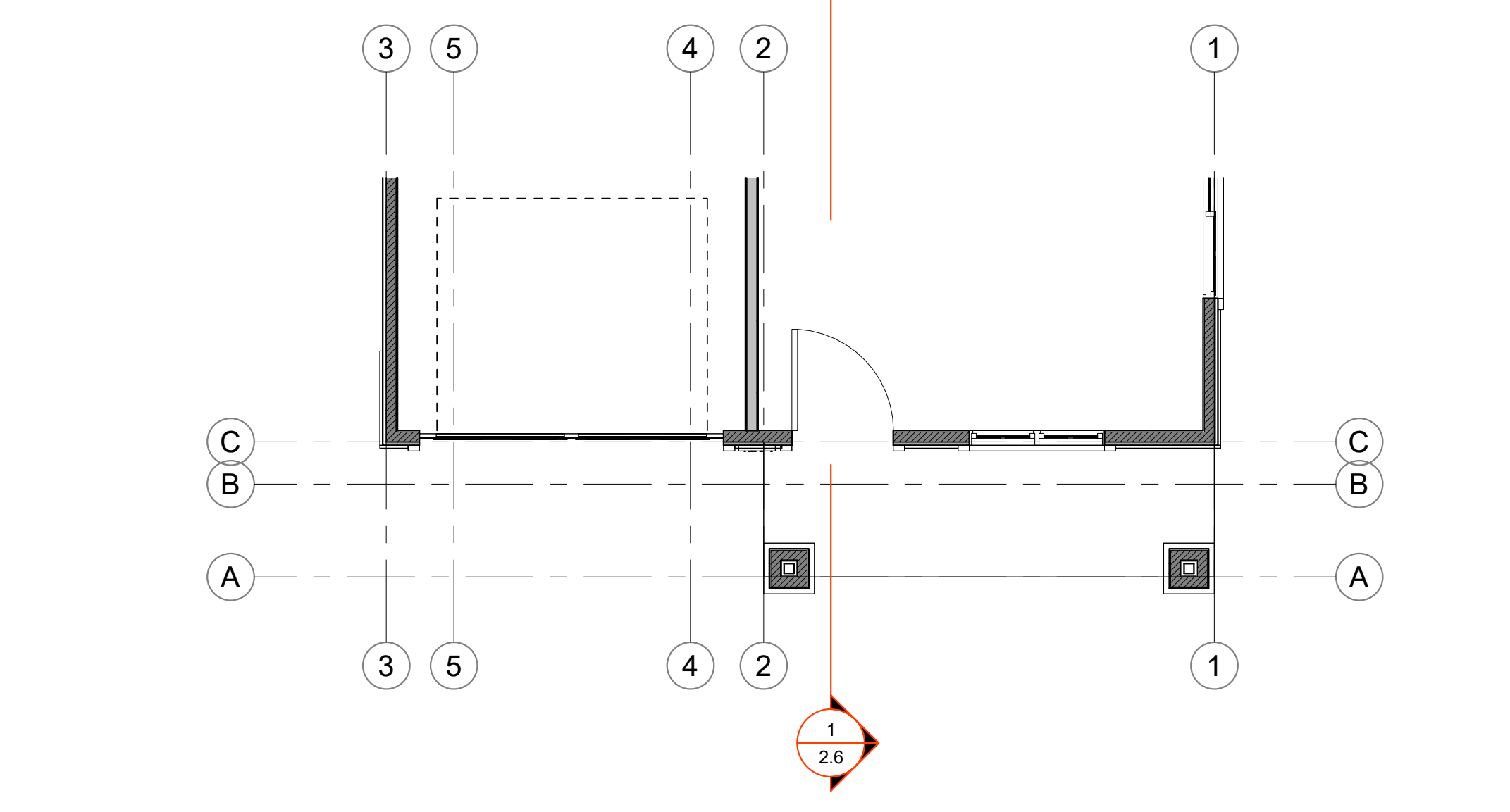
1 FLOOR PLAN - LEVEL 1 - OPT A

SCALE: 1/4" = 1'-0"



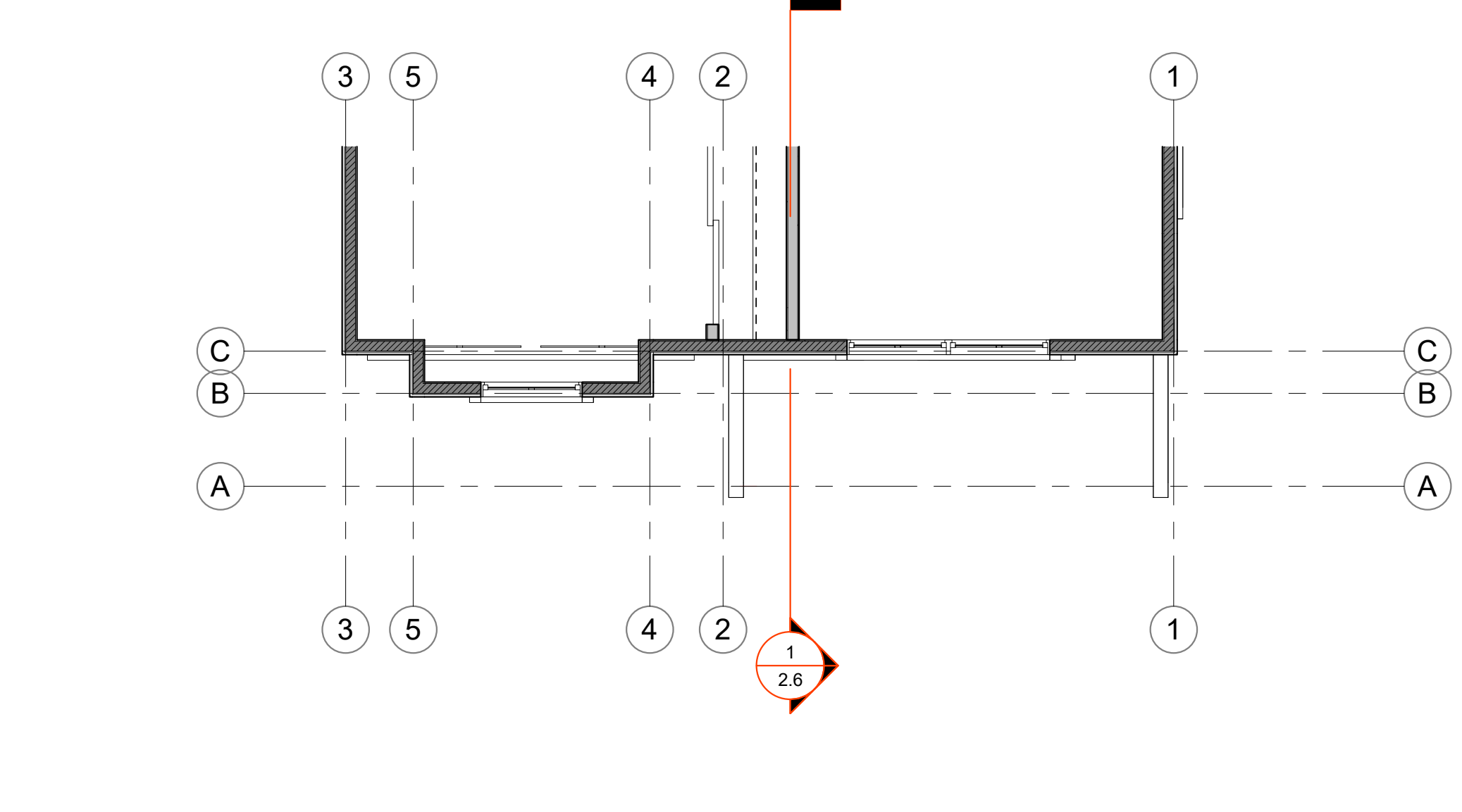
2 FLOOR PLAN - LEVEL 2 - OPT A

SCALE: 1/4" = 1'-0"



3 FLOOR PLAN - LEVEL 1 - OPT B

SCALE: 1/4" = 1'-0"



4 FLOOR PLAN - LEVEL 2 - OPT B

SCALE: 1/4" = 1'-0"

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COLOR PACKAGE 3

SHEET KEYNOTES

Key Value	Keynote Text
A01	ROOFING
A03	WINDOWS
A04	ENTRY DOOR
A05	EXTERIOR 1-COAT STUCCO SYSTEM
A07	ROOF FACIA GUTTER
A08	SCREENED LINE
A09	LAP SIDING
A12	STREET ADDRESS
A14	GARAGE DOOR
A17	STUCCO FOAM BOARD
A18	MASONRY VENEER (BUILDERS CHOICE)
A30	POST



RIVERLAND HOMES, INC.
4170 Douglas Blvd., #150
Granite Bay, CA 95746
Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT ADDRESS
BRYSON COTTAGES

DATE	1.26.2026
PROJECT NO	N/A
REVISION	DATE

NOTES

1808 - ELEVATION A

SCALE: 1/4" = 1'-0"

3.1

DRAWN BY: RHI

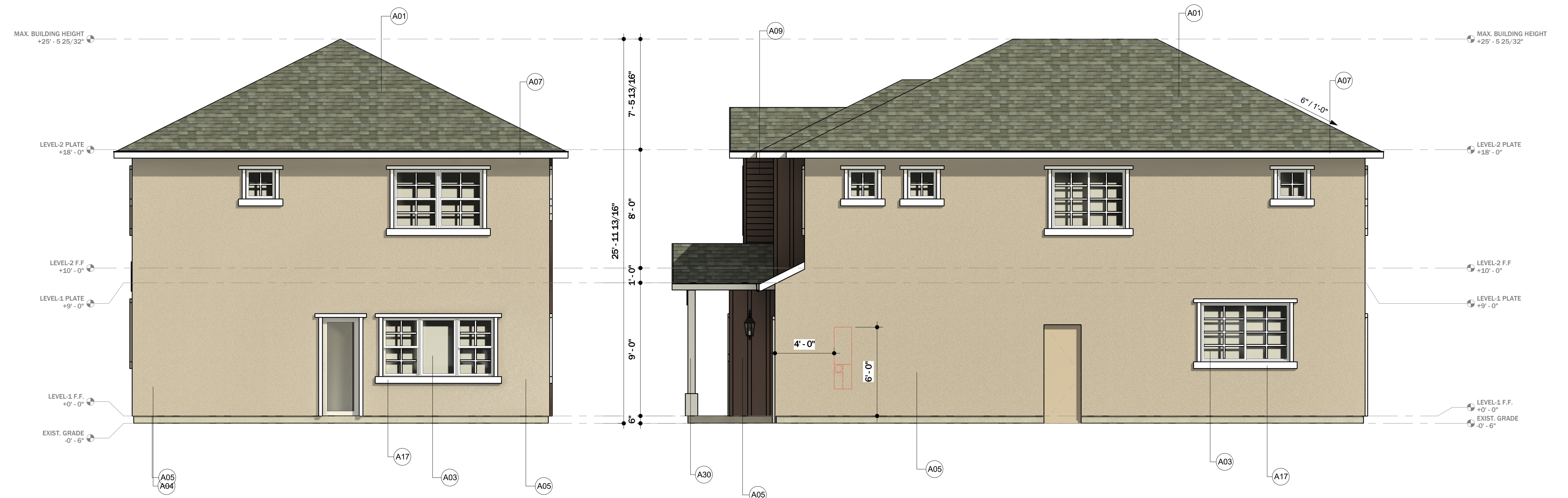
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 1/28/2026 8:31:23 AM



3 EXTERIOR ELEVATION A - LEFT
SCALE: 1/4" = 1'-0"

1 EXTERIOR ELEVATION A - FRONT
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION A - REAR
SCALE: 1/4" = 1'-0"

4 EXTERIOR ELEVATION A - RIGHT
SCALE: 1/4" = 1'-0"

COLOR PACKAGE 4

SHEET KEYNOTES

Key Value	Keynote Text
A01	ROOFING
A03	WINDOWS
A04	ENTRY DOOR
A05	EXTERIOR 1-COAT STUCCO SYSTEM
A07	ROOF FACIA GUTTER
A08	SCREED LINE
A09	LAP SIDING
A12	STREET ADDRESS
A14	GARAGE DOOR
A17	STUCCO FOAM BOARD
A18	MASONRY VENEER (BUILDERS CHOICE)
A30	POST



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 4170 Douglas Blvd., #150
 Granite Bay, CA 95746
 Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT ADDRESS
 BRYSON COTTAGES

DATE	1.26.2026
PROJECT NO	N/A
REVISION	DATE

NOTES

1808 - ELEVATION B

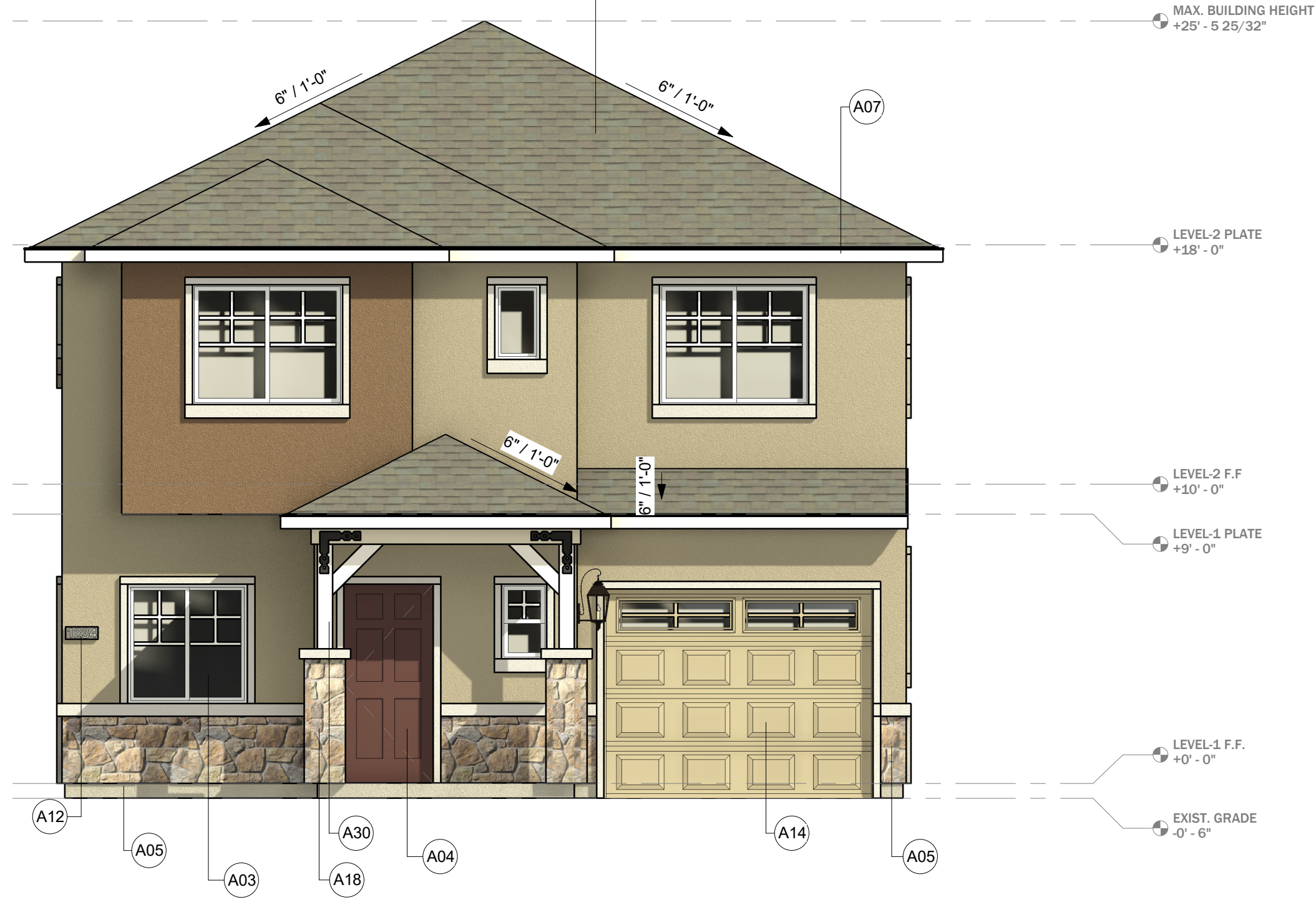
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3.2

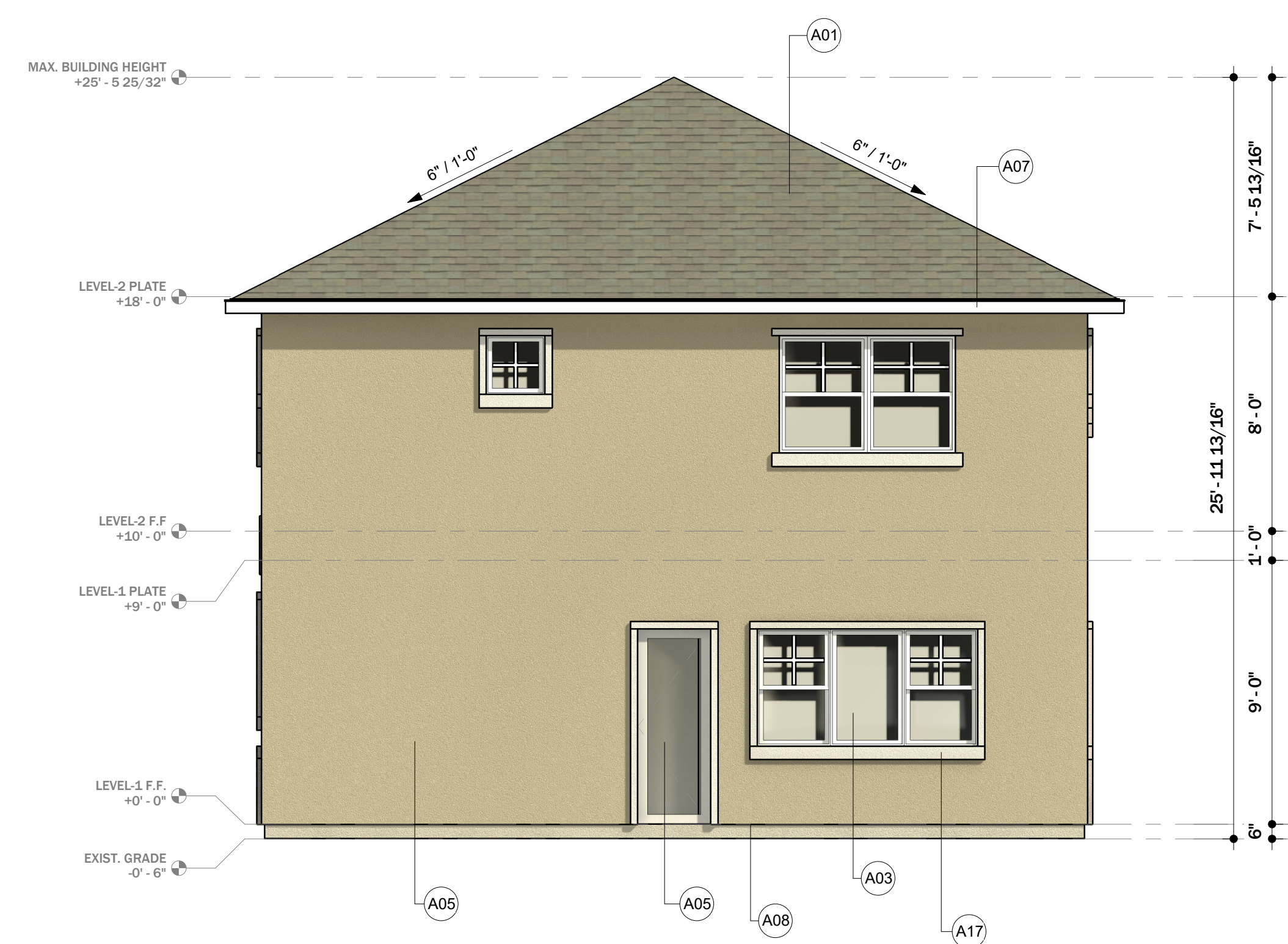
DRAWN BY: RHI



2 EXTERIOR ELEVATION B - LEFT
 SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION B - FRONT
 SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION B - REAR
 SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION B - RIGHT
 SCALE: 1/4" = 1'-0"

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4170 Douglas Blvd., #150
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Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT ADDRESS
BRYSON COTTAGES

DATE 1.26.2026
PROJECT NO N/A
REVISION DATE

NOTES

1808 - FLOOR PLANS - A & B

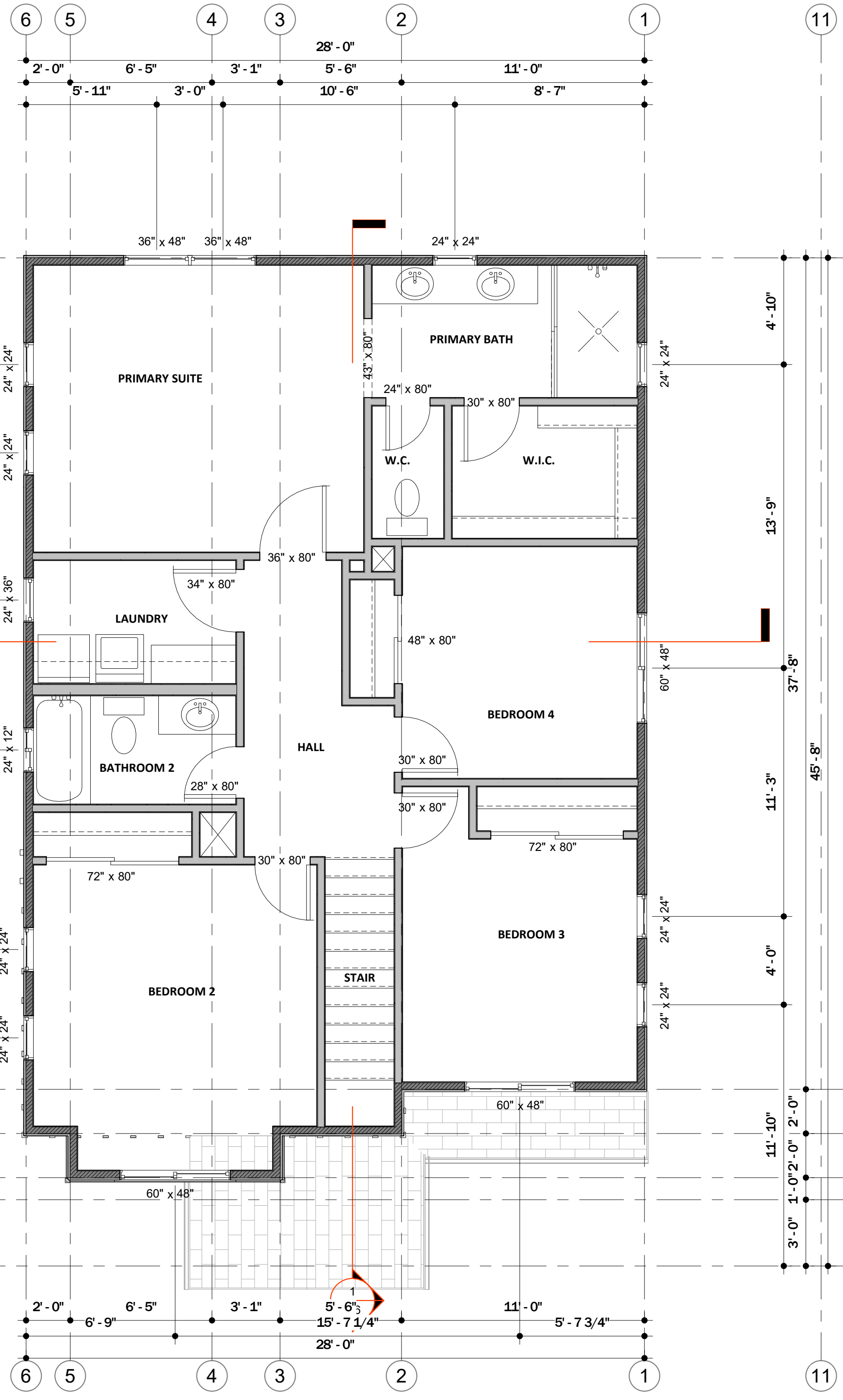
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3.3

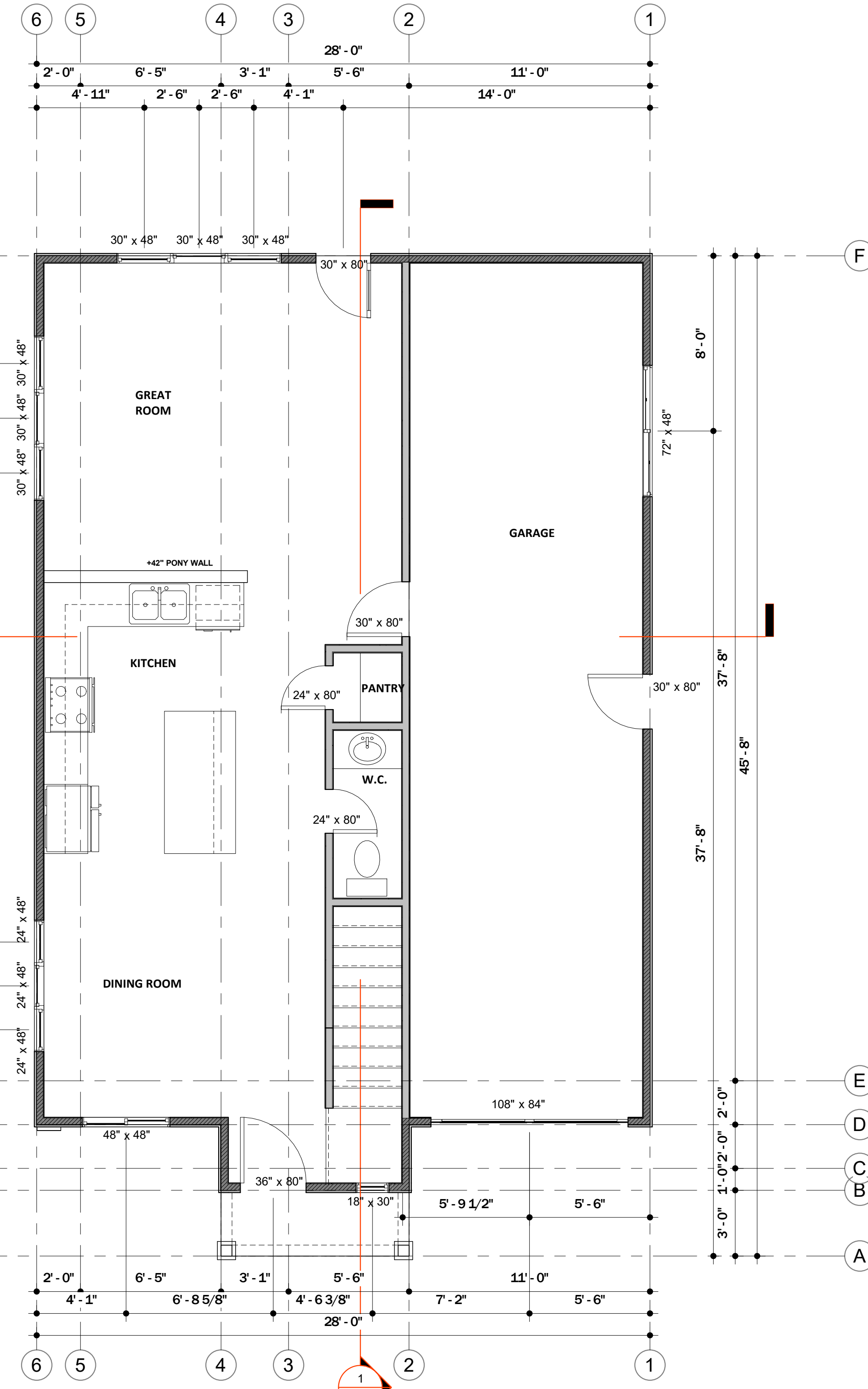
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LEGEND: FLOOR PLAN

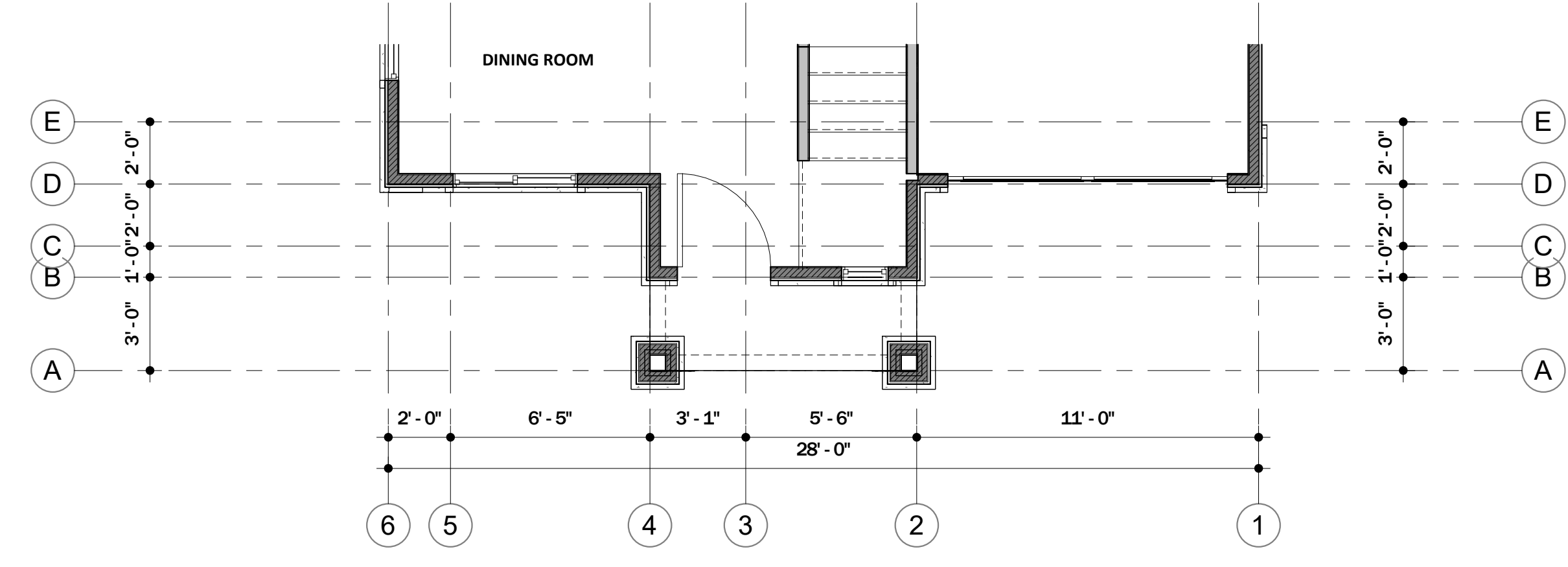
- (N) BED1 (R01R1)
- WINDOW SYMBOL: SEE WINDOW SCHEDULE SHEET. NOTE: ESCAPE OR RESCUE WINDOWS REQUIRED IN "R" OCCUPANCIES SHALL HAVE A MINIMUM NET CLEAR OPENABLE DIMENSIONS - AREA OF 5.7 S.F., HEIGHT 24", WIDTH 20", SILL HEIGHT 44" ABOVE FINISH FLOOR (TYP).
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- NEW INTERIOR WALL CONSTRUCTION: 2X4 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
- NEW INTERIOR WALL CONSTRUCTION: 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
- NEW EXTERIOR WALL CONSTRUCTION: 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
- DOORS-1: SEE SCHEDULE
COLOR: AS SELECTED BY OWNER - CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
DOOR TO HAVE LEVER HANDLES
- WINDOWS-1: SEE SCHEDULE
COLOR: AS SELECTED BY OWNER - CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
- (N) WATER CLOSET: AS SELECTED BY OWNER
- SHOWER KITS DETAILS TO BE DETERMINED BY OWNER
- (N) SHOWER KIT: AS SELECTED BY OWNER
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OPTIONAL: SINGLE LEVER WATER CONTROLS.
- TOWEL RING
- TOWEL BAR
- ROBE HOOK
- (N) CABINERY: AS SELECTED BY OWNER
(N) COUNTER TOPS: AS SELECTED BY OWNER
(N) BACKSPLASHES: AS SELECTED BY OWNER
- (N) EXT CONCRETE PAD-1: LENGTH TO MATCH DOOR X 30" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ ALL EXTERIOR DOORWAYS AND GRADE MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4"-12" AWAY FROM BUILDING EDGE. PROVIDE 8" MAXIMUM STEP FOR IN-SWINGING DOORS AND 1" MAXIMUM FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD (TYP).
FRONT DOOR LANDING TO BE A MINIMUM OF 5'X5'.
- (N) RANGE: AS SELECTED BY OWNER
- (N) REFRIGERATOR: AS SELECTED BY OWNER
- (N) DISHWASHER: AS SELECTED BY OWNER
- (N) SINK: AS SELECTED BY OWNER



2 ELEVATION A - LEVEL 2
SCALE: 1/4" = 1'-0"



1 ELEVATION A - LEVEL 1
SCALE: 1/4" = 1'-0"



3 ELEVATION B - LEVEL 1
SCALE: 1/4" = 1'-0"

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COLOR PACKAGE 5

SHEET KEYNOTES

Key Value Keynote Text

- A01 ROOFING
- A03 WINDOWS
- A04 ENTRY DOOR
- A07 ROOF FACIA GUTTER
- A08 SCREED LINE
- A09 LAP SIDING
- A12 STREET ADDRESS
- A14 GARAGE DOOR
- A15 TRIM HARDIEBOARD
- A17 STUCCO FOAM BOARD
- A25 EXTERIOR DOOR
- A27 EXTERIOR LIGHT POST
- A30 POST



RIVERLAND HOMES, INC.
4170 Douglas Blvd., #150
Granite Bay, CA 95746
Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT ADDRESS
BRYSON COTTAGES

DATE 1.26.2026
PROJECT NO N/A
REVISION DATE

NOTES

2016 -
ELEVATION A

SCALE: 1/4" = 1'-0"

4.1

DRAWN BY:

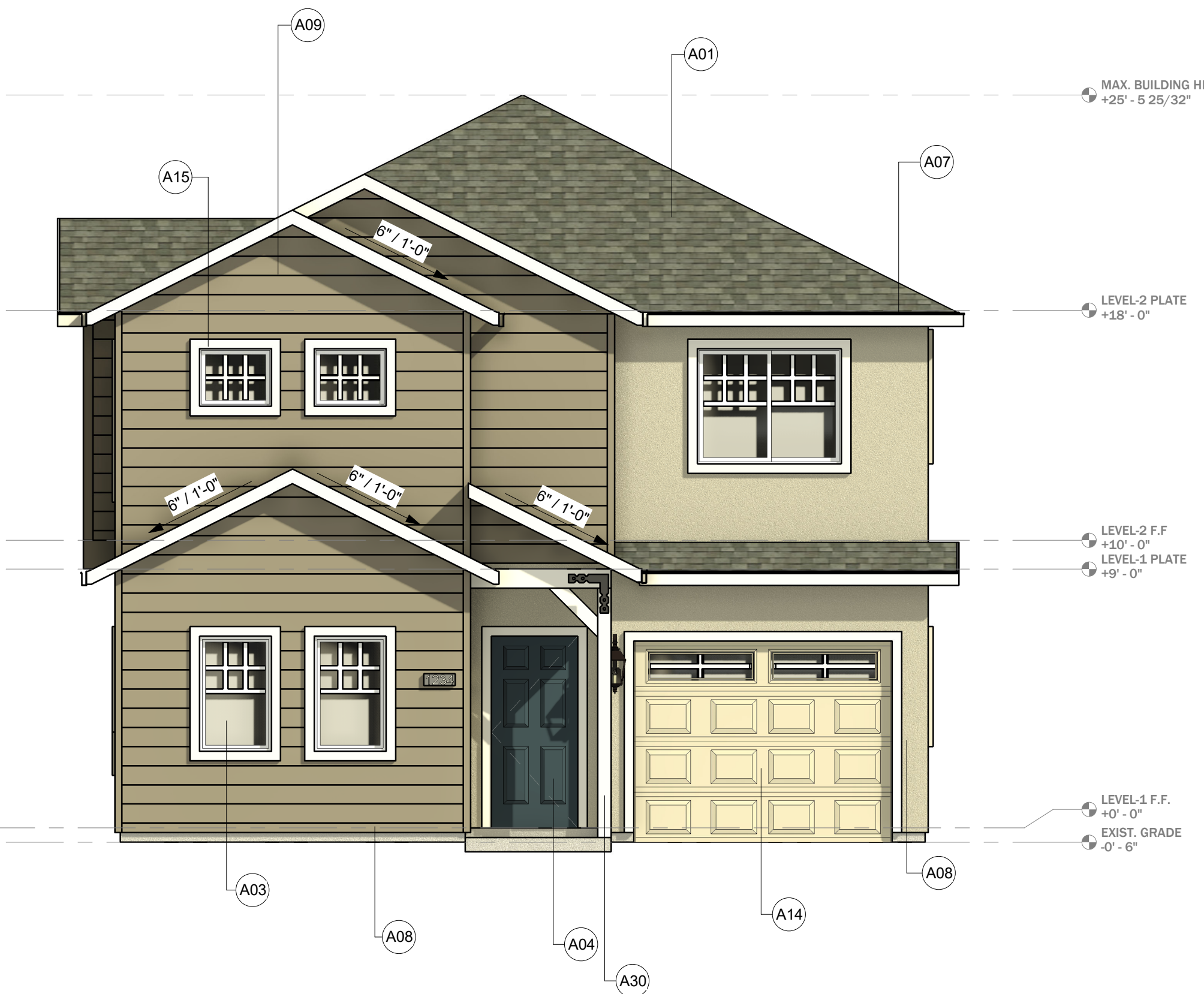
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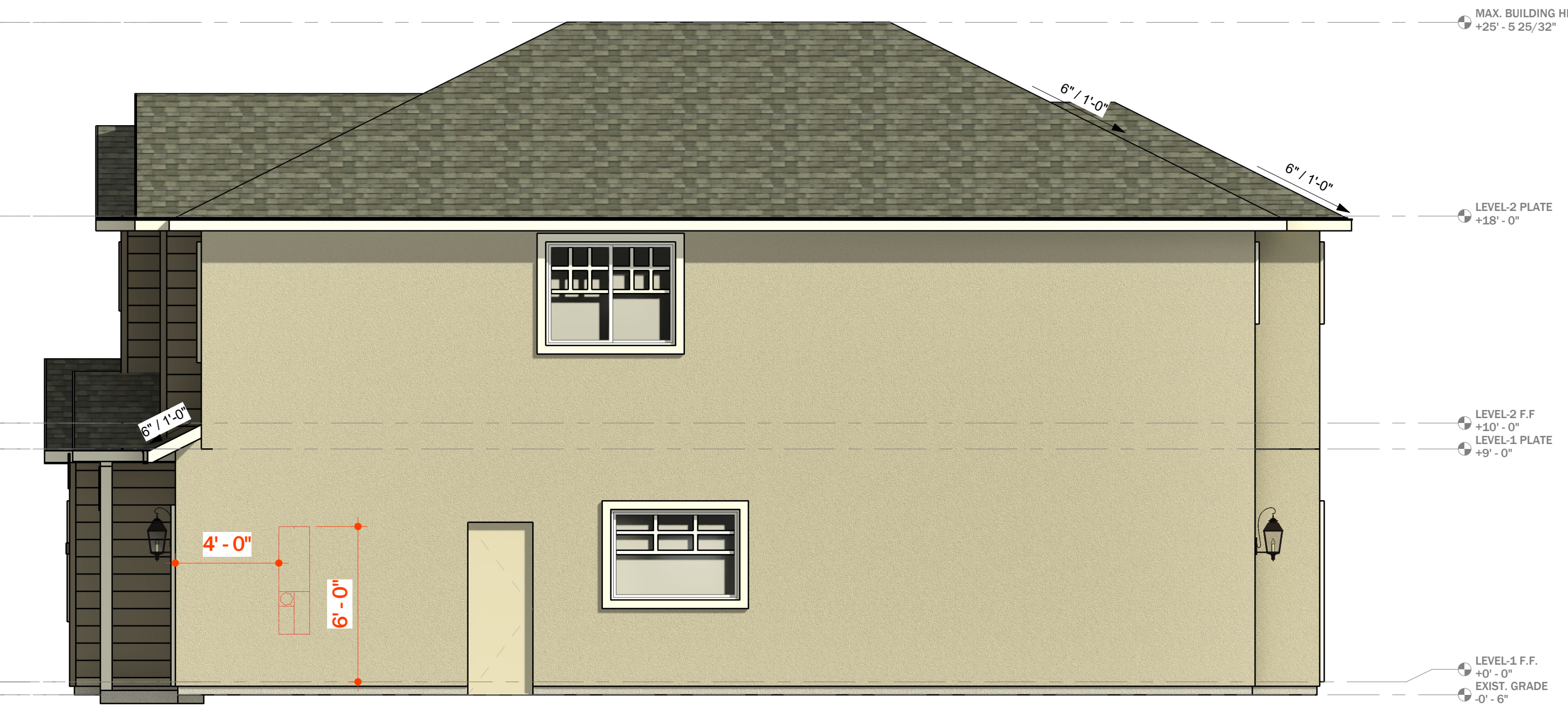
3 EXTERIOR ELEVATION A - LEFT
SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION A - FRONT
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION A - REAR
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION A - RIGHT
SCALE: 1/4" = 1'-0"

COLOR PACKAGE 6

SHEET KEYNOTES

Key Value Keynote Text

- A01 ROOFING
- A03 WINDOWS
- A04 ENTRY DOOR
- A07 ROOF FACIA GUTTER
- A08 SCREED LINE
- A09 LAP SIDING
- A12 STREET ADDRESS
- A14 GARAGE DOOR
- A15 TRIM HARDIEBOARD
- A17 STUCCO FOAM BOARD
- A25 EXTERIOR DOOR
- A27 EXTERIOR LIGHT POST
- A30 POST



RIVERLAND HOMES, INC.
4170 Douglas Blvd., #150
Granite Bay, CA 95746
Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT ADDRESS
BRYSON COTTAGES

DATE 1.26.2026
PROJECT NO N/A
REVISION DATE

NOTES

2016 -
ELEVATION
B

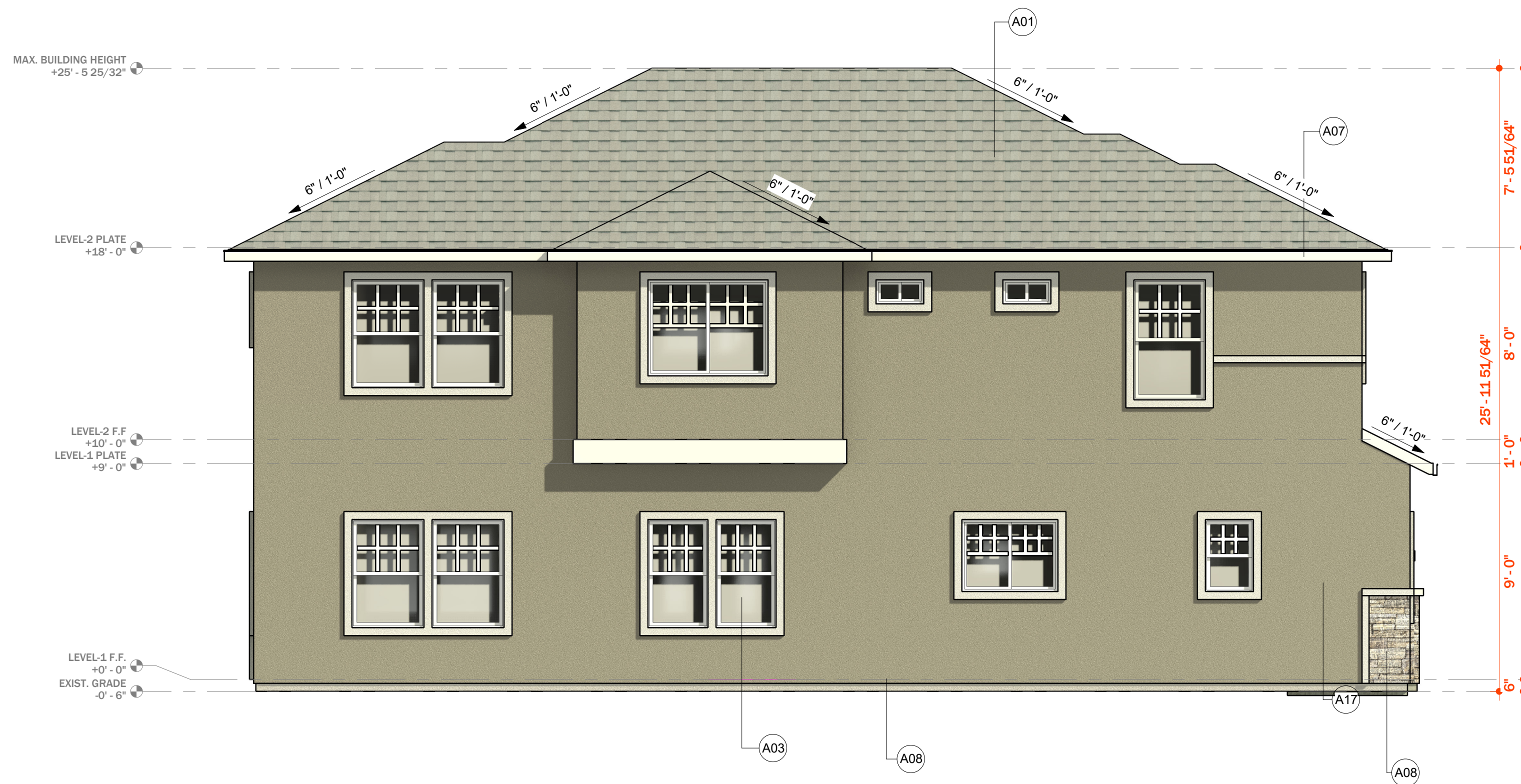
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4.2

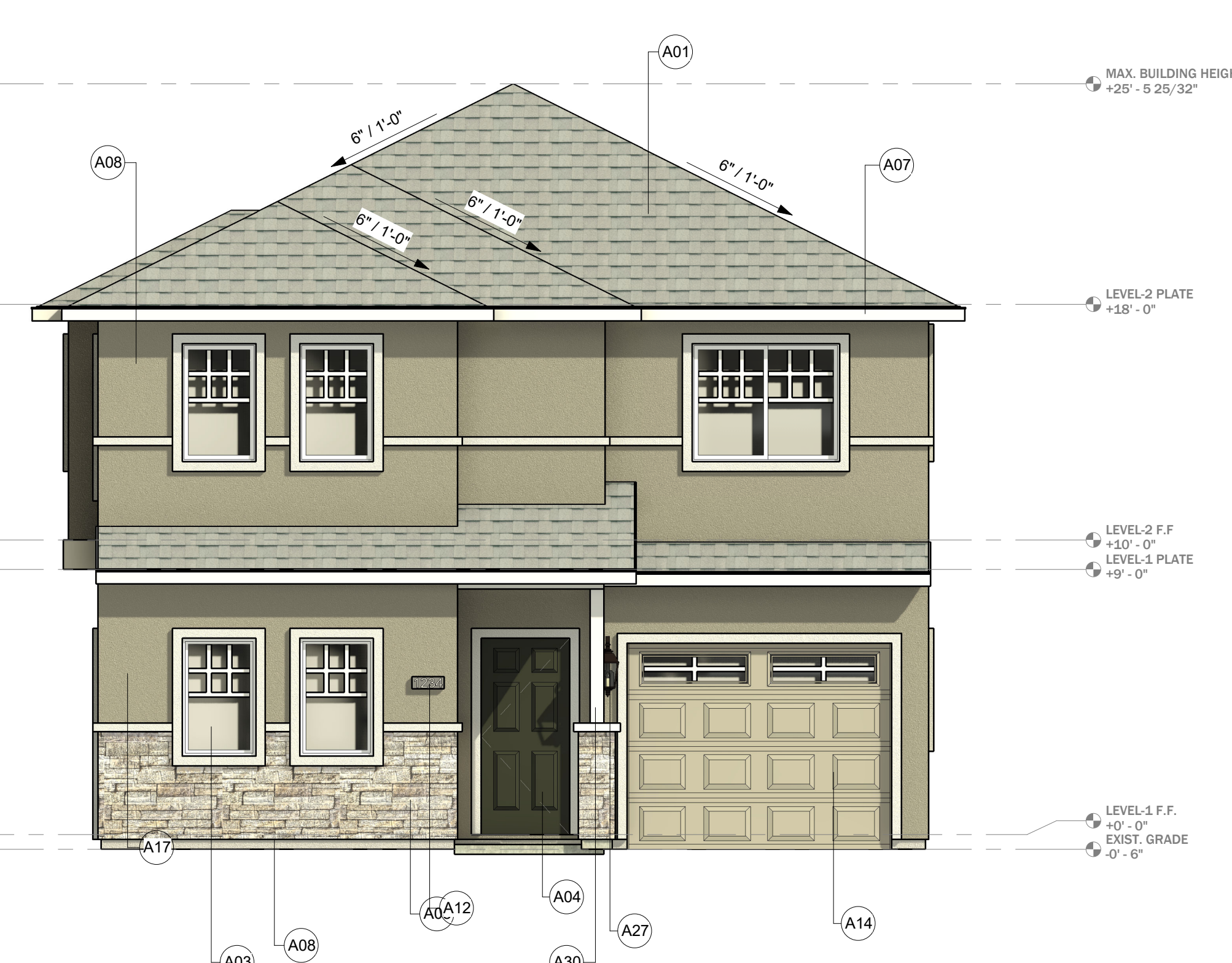
DRAWN BY: RHI

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF MOTIF DESIGN. ALL DESIGN INFORMATION CONTAINED IN THESE DRAWINGS IS FOR USE ONLY ON THIS SPECIFIC PROJECT.

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1/28/2026 8:34:15 AM



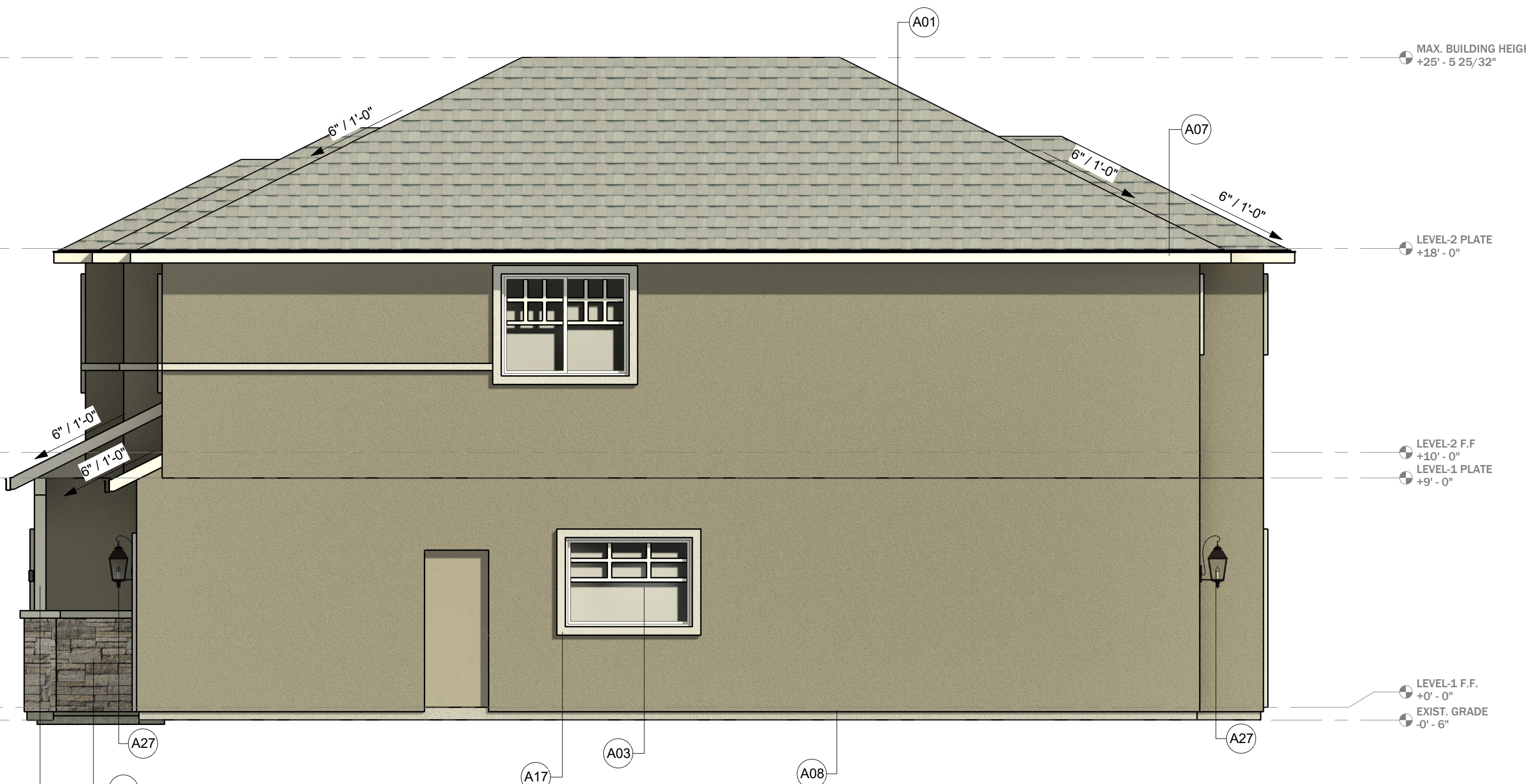
2 EXTERIOR ELEVATION B - LEFT
SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION B - FRONT
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION B - REAR
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION B - RIGHT
SCALE: 1/4" = 1'-0"



RIVERLAND HOMES, INC
4170 Douglas Blvd., #150
Granite Bay, CA 95746
Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT ADDRESS
BRYSON COTTAGES

DATE 1.26.2026
PROJECT NO N/A
REVISION DATE

NOTES

2016 - FLOOR PLANS - A & B

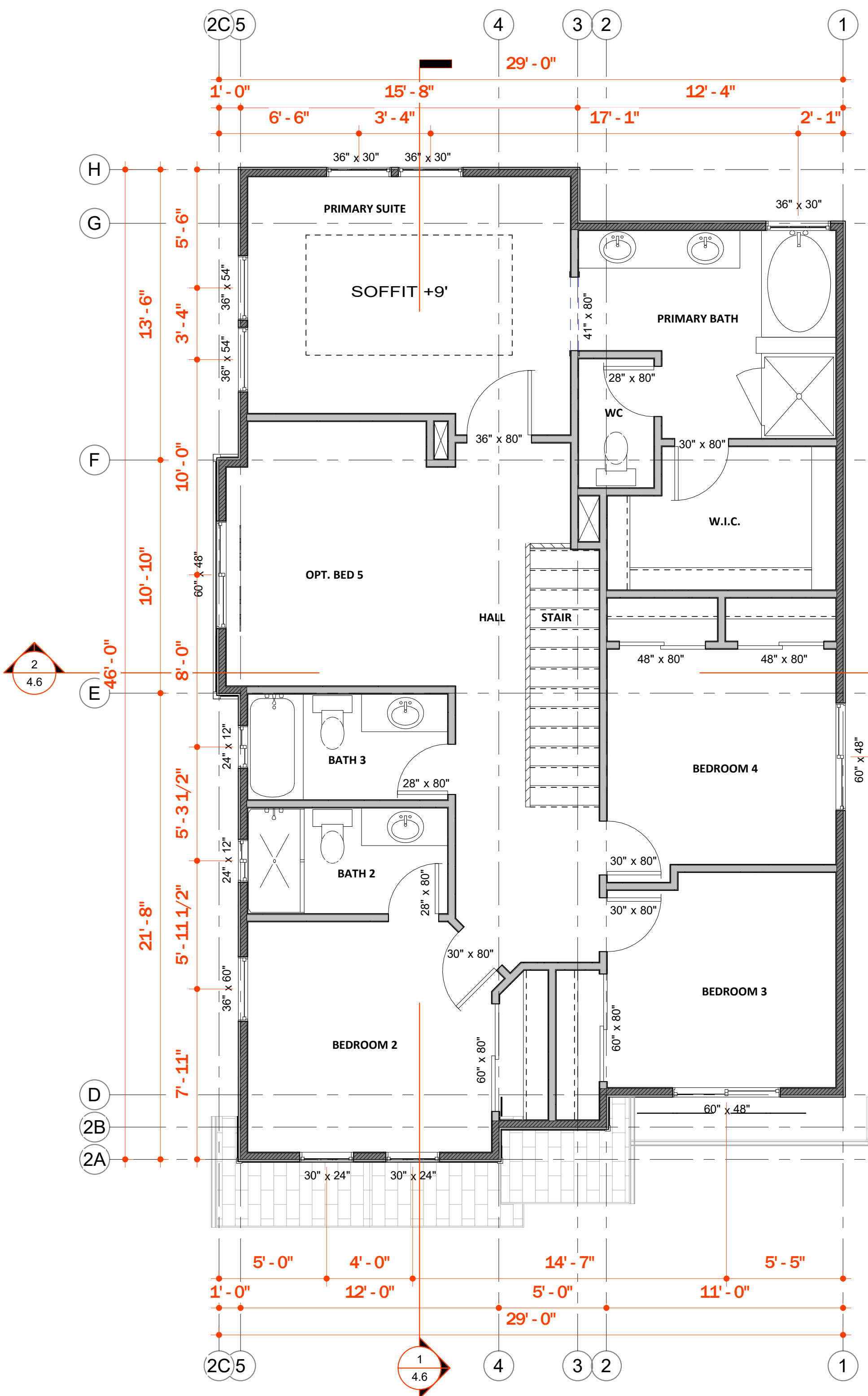
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4.3

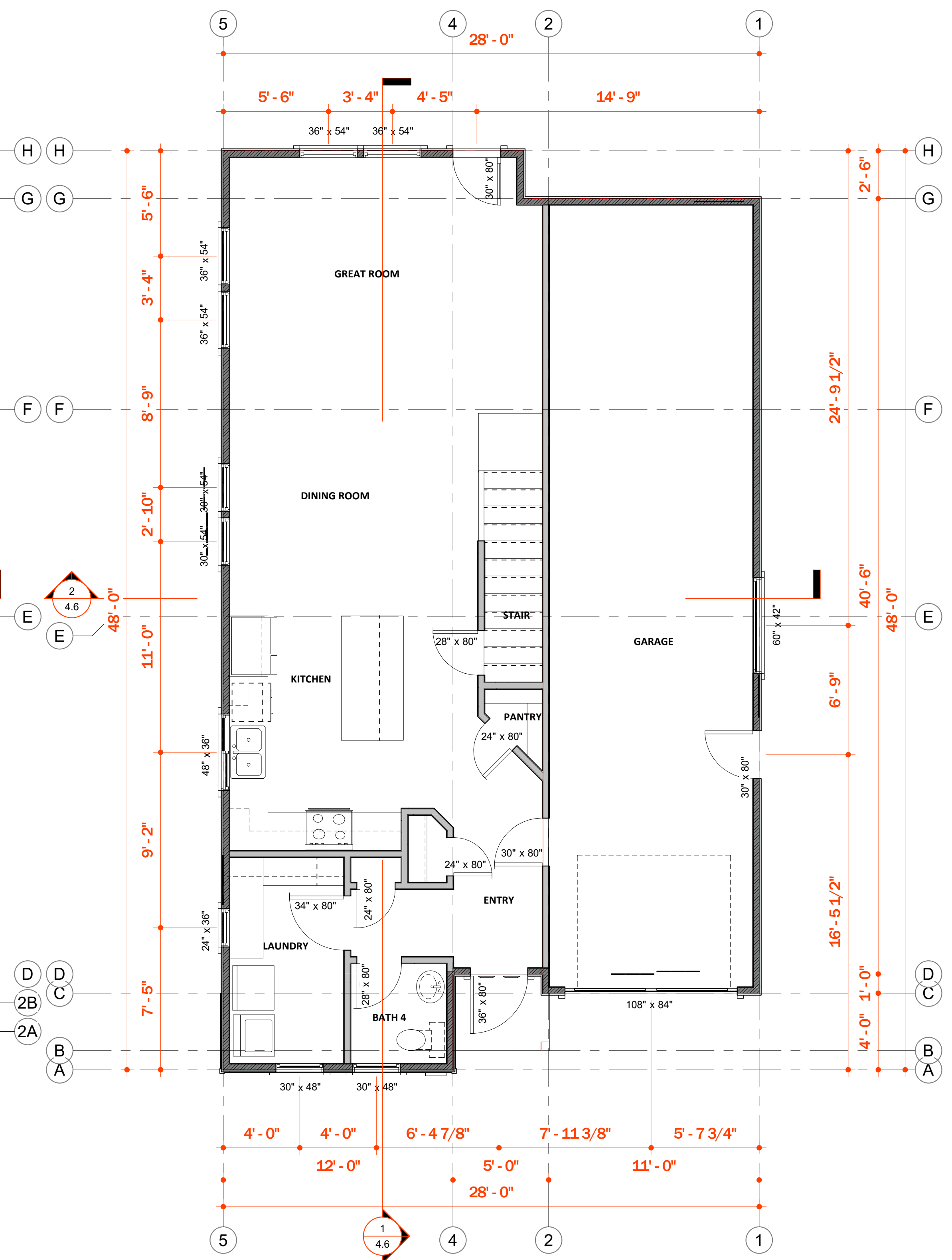
DRAWN BY: RHI 27

LEGEND: FLOOR PLAN

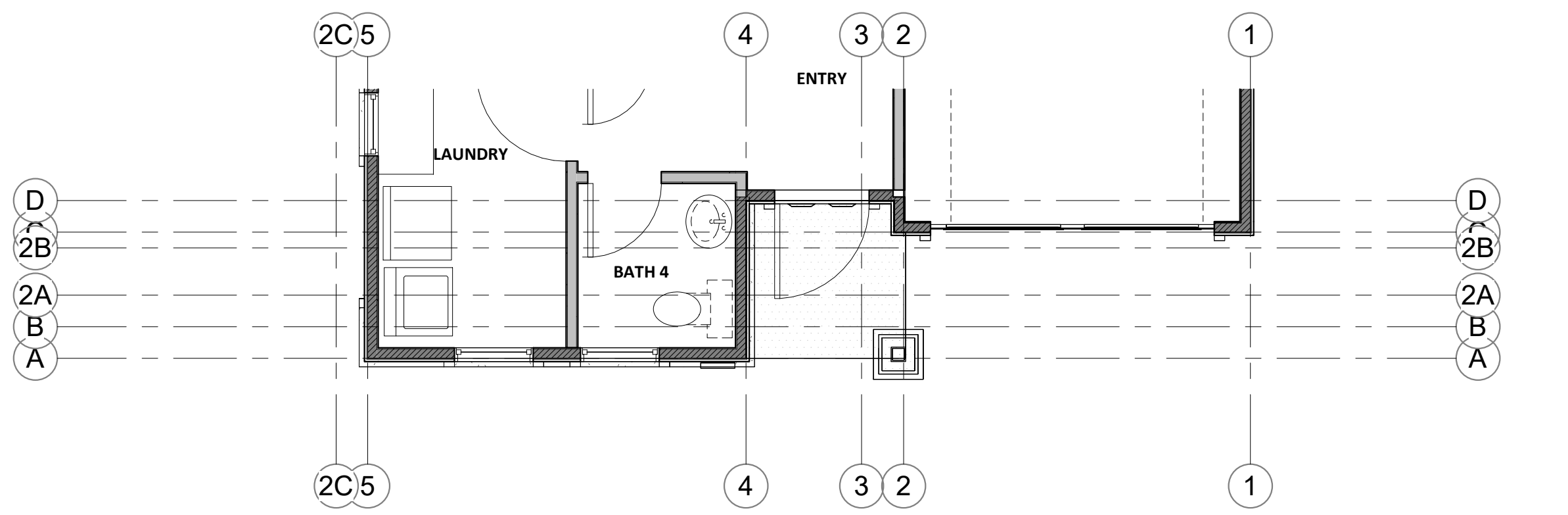
- (N) BED1 (80/91)
- WINDOW SYMBOL: SEE WINDOW SCHEDULE SHEET.
NOTE: ESCAPE OR RESCUE WINDOWS REQUIRED IN "R" OCCUPANCIES SHALL HAVE A MINIMUM NET CLEAR OPENABLE DIMENSIONS - AREA OF 5.7 S.F., HEIGHT 24", WIDTH 20", SILL HEIGHT 44" ABOVE FINISH FLOOR (TYP).
- DOOR SYMBOL: SEE DOOR SCHEDULE SHEET
- OPENING SYMBOL: SEE OPENING SCHEDULE SHEET
- NEW EXTERIOR WALL CONSTRUCTION: 2X4 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE.
- NEW INTERIOR WALL CONSTRUCTION: 2X4 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE.
- NEW INTERIOR WALL CONSTRUCTION: 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE.
- NEW EXTERIOR WALL CONSTRUCTION: 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE.
- DOORS-1: SEE SCHEDULE
COLOR: AS SELECTED BY OWNER - CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
DOOR TO HAVE LEVER HANDLES
- WINDOWS-1: SEE SCHEDULE
COLOR: AS SELECTED BY OWNER - CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
- (N) WATER CLOSET: AS SELECTED BY OWNER
- SHOWER KITS DETAILS TO BE DETERMINED BY OWNER
- (N) SHOWER KIT: AS SELECTED BY OWNER
SHOWER ENCLOSURE: PROVIDE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER A MOISTURE PROOF BARRIER TO A HEIGHT OF 70" (MIN) ABOVE DRAIN INLET SLOPING 1/4"-12" TOWARD FLOOR DRAIN AND AS REQUIRED PER THE CURRENT ADOPTED EDITION OF THE CBC. PROVIDE FLOOR DRAIN CENTERED ON FLOOR. PLACE SHOWER COLUMN SPRAYING AWAY FROM SHOWER ACCESS. PROVIDE MOISTURE SEALED, LATCHING, TEMPERED GLASS SHOWER ENCLOSURE DOOR PANEL IN COMPLIANCE WITH CBC.
- TUB ENCLOSURE: PROVIDE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER A MOISTURE PROOF BARRIER TO A HEIGHT OF 70" (MIN) ABOVE DRAIN INLET SLOPING 1/4"-12" TOWARD FLOOR DRAIN AND AS REQUIRED PER THE CURRENT ADOPTED EDITION OF THE CBC. PROVIDE FLOOR DRAIN CENTERED ON FLOOR. PLACE SHOWER COLUMN SPRAYING AWAY FROM SHOWER ACCESS. PROVIDE MOISTURE SEALED, LATCHING, TEMPERED GLASS SHOWER ENCLOSURE DOOR PANEL IN COMPLIANCE WITH CBC.
- (N) LAVATORY: AS SELECTED BY OWNER
OPTIONAL: MASTER BATHROOM VANITIES TO BE 36" COMFORT HEIGHT, WITH WHEELCHAIR ACCESSIBLE (OPEN KNEE SPACE).
OPTIONAL: SINGLE LEVER WATER CONTROLS.
- TOWEL RING
- TOWEL BAR
- ROBE HOOK
- (N) CABINERY: AS SELECTED BY OWNER
(N) COUNTER TOPS: AS SELECTED BY OWNER
(N) BACKSPLASHES: AS SELECTED BY OWNER
- (N) EXT CONCRETE PAD-1: LENGTH TO MATCH DOOR X 30" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ ALL EXTERIOR DOORWAYS AND GRADE MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4"-12" AWAY FROM BUILDING EDGE. PROVIDE 8" MAXIMUM STEP FOR IN-SWINGING DOORS AND 1" MAXIMUM FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD (TYP).
FRONT DOOR LANDING TO BE A MINIMUM OF 5'X5'.
- (N) RANGE: AS SELECTED BY OWNER
- (N) REFRIGERATOR: AS SELECTED BY OWNER
- (N) DISHWASHER: AS SELECTED BY OWNER
- (N) SINK: AS SELECTED BY OWNER



2 LEVEL 2 - ELEVATION A
SCALE: 1/4" = 1'-0"



1 LEVEL 1 - ELEVATION A
SCALE: 1/4" = 1'-0"



3 LEVEL 1 - ELEVATION B
SCALE: 1/4" = 1'-0"

1/26/2026 8:34:16 AM S:\Shared Folders\Riverland Homes Public\Drafting\29_BRYSON COTTAGES\20162016 BRYSON COTTAGES - 1002025.rvt THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF MOTIF DESIGN. ALL DESIGN INFORMATION CONTAINED IN THESE DRAWINGS IS FOR USE ONLY ON THIS SPECIFIC PROJECT.

Standard Exterior Features Booklet

BRYSON COTTAGES

Table of Contents

Exterior Color Packages	3-9
Exterior Fixtures & Hardware	10

BRYSON COTTAGES

1. Exterior Color Packages

#	PAINT COLORS*				STONE VENEER**		Roof Shingle
	Body	Trim	Accent	*Door Color	Color	Styles	Color
1	DE6214 Pigeon Gray	DE6155 Soft Ivory	DE6245 Aged Jade	DET628 Charcoal Sketch	Bucks County	CL	Aged Cedar 0668-0055
2	DET618 Industrial Age	DET617 Winter Morn	DE6342 Blue Steel	DET593 Made of Steel	Echo Ridge	DF	Crystal Gray 0668-0058
3	DEC751 Ash Gray	DEW383 Cool December	DE6042 Bear in Mind	DET628 Charcoal Sketch	Bucks County	CL	Weathered Wood 0668-0119
4	DET637 Seagull Wail	DE6211 Light Beige	DE6125 Carved Wood	DET699 Bourbon Truffle	Sevilla	DF	Aged Cedar 0668-0055
5	DET641 Doric White	DET653 Historic White	DE6210 Midnight Brown	DET593 Made of Steel	Echo Ridge	CL	Aged Cedar 0668-0055
6	DET625 Reclaimed Wood	DET648 White Picket Fence	DE6280 English Forest	DET628 Charcoal Sketch	Sevilla	DF	Crystal Gray 0668-0058
	Dunn Edwards Paint			*If Needed			
			Boral Cultured Stone LedgeStone, Dressed Fieldstone		Country		Composition Roof CertainTeed Landmark Solaris

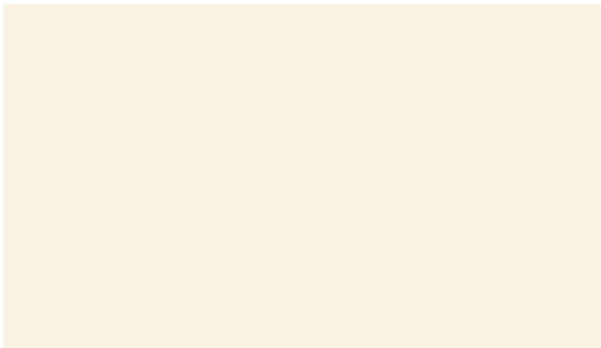
Exterior Color Package 1



Body: Pigeon Gray DE6214



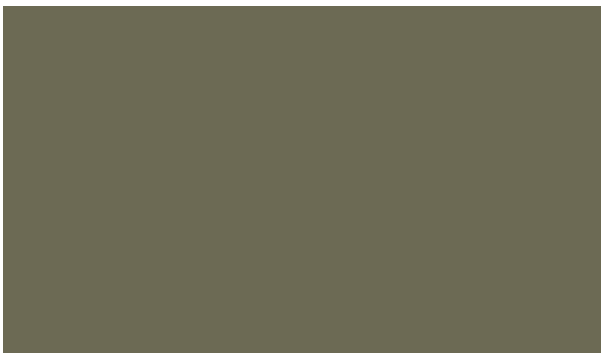
Door Color: Charcoal Sketch DET628



Trim: Soft Ivory DE6155



CertainTeed Landmark Solaris
Cool Roof Shingles
Aged Cedar 0668-0055



Accent: Aged Jade DE6245



Boral Cultured Stone
Country Ledgestone
Bucks County

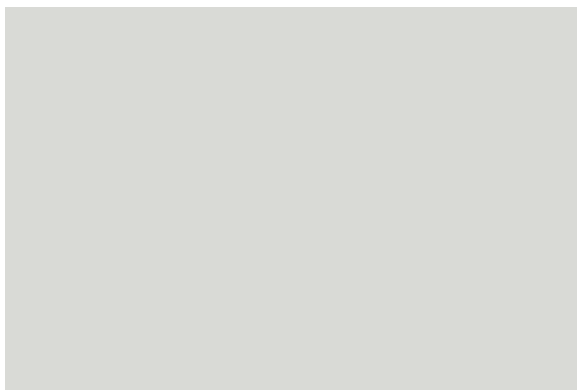
Exterior Color Package 2



Body: Industrial Age DET618



Door Color: Made of Steel DET593



Trim: Winter Morn DET617



CertainTeed Landmark Solaris Cool
Roof Shingles
Crystal Gray 0668-0058



Accent: Blue Steel DE6342



Boral Cultured Stone
Dressed Fieldstone
Echo Ridge

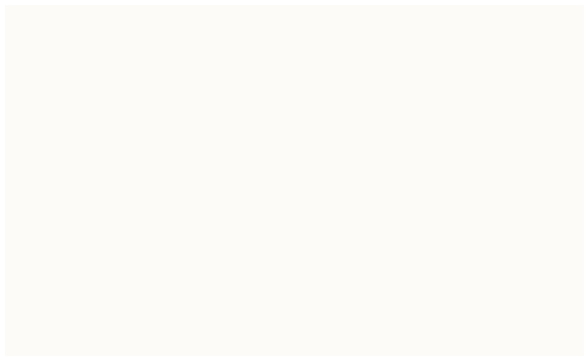
Exterior Color Package 3



Body: Ash Gray DEC751



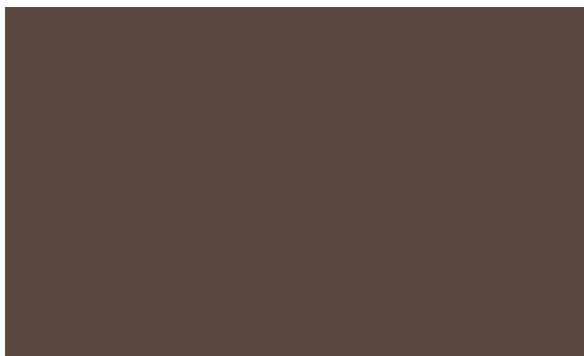
Door Color: Charcoal Sketch DET628



Trim: Cool December DEW383



CertainTeed Landmark Solaris
Cool Roof Shingles
Weathered Wood 0668-0119



Accent: Bear In Mind DE6042



Boral Cultured Stone
Country Ledgestone
Bucks County

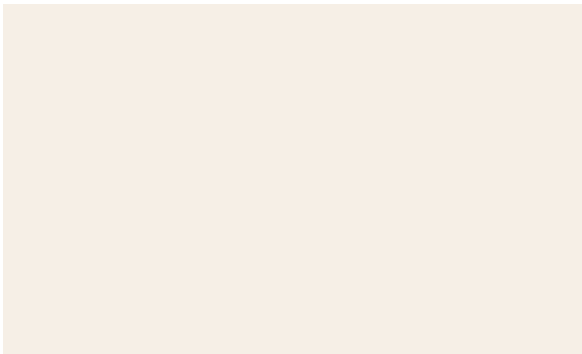
Exterior Color Package 4



Body: Seagull Wail DET637



Door Color: Bourbon Truffle DEC699



Trim: Light Beige DE6211



CertainTeed Landmark Solaris
Cool Roof Shingles
Aged Cedar 0668-0055

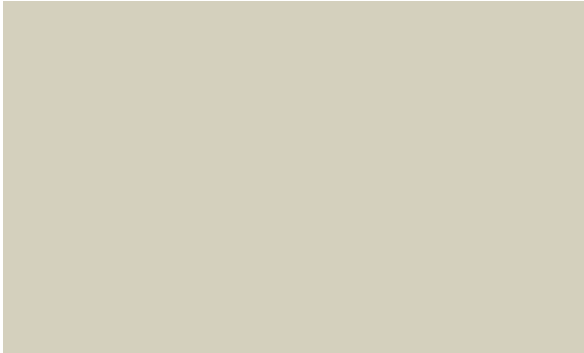


Accent: Carved Wood DE6125



Boral Cultured Stone
Dressed Fieldstone
Sevilla

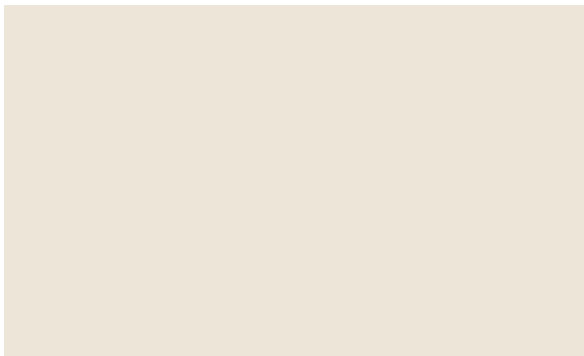
Exterior Color Package 5



Body: Doric White DET641



Door Color: DET593 Made of Steel



Trim: Historic White DET653



Boral Cultured Stone
Country Ledgestone
Echo Ridge



Accent: DEGR33 Sycamore Bark



CertainTeed Landmark Solaris
Cool Roof Shingles
Aged Cedar 0668-0055

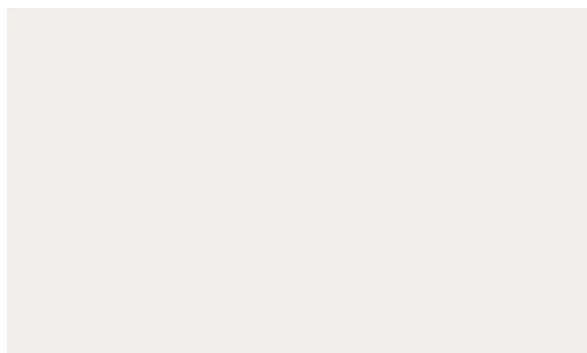
Exterior Color Package 6



Body: Reclaimed Wood DET625



Door Color: Charcoal Sketch DET628



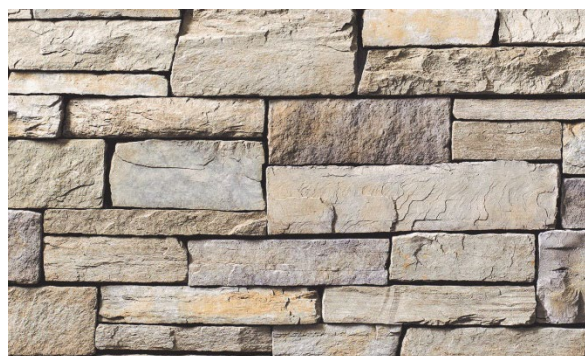
Trim: White Picket Fence DET648



CertainTeed Landmark Solaris
Cool Roof Shingles
Crystal Gray 0668-0058



Accent: English Forest DE6280



Boral Cultured Stone
Country Ledgestone
Ashfall

Exterior Fixtures & Hardware



Exterior Coach Light
Seagull



Entry Handle and Lock Set
Kwikset



Exterior Ceiling Light
Kichler

RESOLUTION NO. 07-08-35**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SUTTER CREEK
APPROVING THE BRYSON COTTAGES TENTATIVE SUBDIVISION MAP**

WHEREAS, the City Council of the City of Sutter Creek did on Monday, June 2, 2008, hold a public hearing on a proposed Tentative Subdivision Map for David Sidle (APN 018-342-002 & 003) after properly noticing said hearing , and

WHEREAS, the City Council did at the public hearing, receive a report from the planning staff, and Commission, receive input from the Applicant's representative, and receive testimony from the public, and at the closing of said public hearing did deliberate and consider the same; and

WHEREAS, the City Council found that the project would not have a significant impact on the environment based on the Negative Declaration that was prepared for the project.

NOW, THEREFORE BE IT RESOLVED that the City Council of the City of Sutter Creek hereby approves the Tentative Subdivision Map for Bryson Cottages based on the findings attached hereto as Exhibit A, and subject to the Conditions of Approval attached hereto as Exhibit B.

PASSED AND ADOPTED by the City Council of the City of Sutter Creek on this 2nd day of June, 2008 by the following vote:

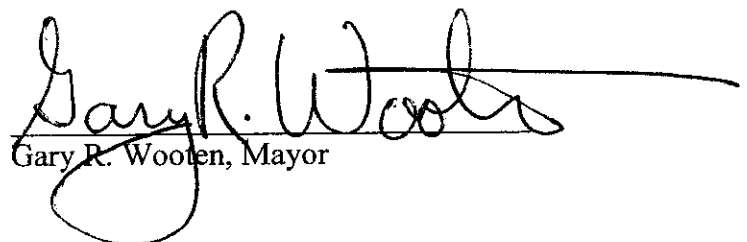
AYES: Council Member Crosby, Murphy and Parsons

NOES: None

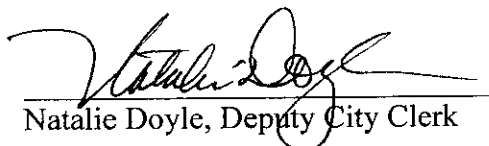
ABSENT: Council Member Hepworth

ABSTAIN: Council Member Wooten

CITY OF SUTTER CREEK


Gary R. Wooten, Mayor

ATTEST:


Natalie Doyle, Deputy City Clerk

**FINDINGS FOR THE
BRYSON COTTAGE TENTATIVE SUBDIVISION MAP**

1. The proposed map is consistent with applicable General Plan because the project site is designated Residential Low Density and no further changes to the General Plan Land Use designation are proposed other than those requested.
2. The design and improvement of the proposed parcel map is consistent with applicable General Plan. The General Plan residential policies have been considered in the project design.
3. The site is physically suitable for the type of development proposed. The proposed 12 residential lots can accommodate detached single family dwellings as allowable by the General Plan and Zoning Code.
4. The site is physically suitable for the proposed density of development and each parcel is of sufficient size to accommodate low density residential uses.
5. Neither the design of the subdivision map nor the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat because of the parcels are within a developed area.
6. Neither the design of the subdivision map nor the proposed improvements is likely to cause serious public health problems because sewer, water, and storm drainage improvements are in place or will be constructed as part of the project's improvements.
7. The proposed subdivision map will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed project because the existing and proposed easements are properly located.
8. The proposed dedication of land or improvements is consistent with the General Plan Circulation Policies. The site can be adequately served by existing facilities.
9. The design of the subdivision map provides, to the extent feasible, for the future passive or natural heating opportunities in the project because each lot is large enough and has sufficient southern exposure to facilitate solar orientation.

**CONDITIONS OF APPROVAL FOR THE
BRYSON COTTAGE TENTATIVE SUBDIVISION MAP**

All conditions shall be met prior to or concurrent with recordation of the Final Parcel Map.

1. Approval of this action includes a Tentative Subdivision Map for 12 single family residential lots. The map is valid for a period of 24 months from the date of approval unless a Final Map is recorded or an extension is granted.
2. Construct storm drainage improvements to City Standards in accordance with the storm drainage study.
3. Construct sidewalk, curb, gutter and drainage improvements along the property frontage of Bryson Drive consistent with City of Sutter Creek street standards as required by the City Engineer.
4. Submit a grading plan consistent with Chapter 33 of the Uniform Building Code for review and approval by the City of Sutter Creek.
5. Extend all utilities to property in accordance with a utility plan approved by the City Engineer.
6. Comply with Title 14 of the Municipal Code for sewer service including a main line extension and/or sewer service laterals to serve each lot.
7. Provide street tree landscaping pursuant to Ordinance No. 274.
8. Pay Parkland In Lieu fees pursuant to Ordinance No. 258, based on the fair market value of the lots.
9. Pay a Traffic Mitigation Fee equivalent to twelve single-family units.
10. All ordinance requirements of the Amador Water Agency shall be met.
11. All ordinance requirements of the Sutter Creek Fire District shall be met.
12. Prior to recordation of the first final map, the project shall annex into the County of Amador Community Facilities District No. 2006-1 to fund additional costs associated with fire protection services for the new development as per City of Sutter Creek Resolution No. 060706.
13. Prior to recordation of the first final map, the project applicant shall form or annex into a Community Facilities District (CFD), street maintenance assessment district or other financing district or will provide a similar funding mechanism

which is acceptable to the City of Sutter Creek to fund the project's fair share of ongoing roadway maintenance.

14. Meet the Sewer Facilities and connection requirements as specified by the City Sanitation Engineer.
15. All work shall be completed per City of Sutter Creek standard details and specifications.

RECEIVED
FEB 22 2010
By _____



Section 6, Item A.

Recording Requested By:

Amador County Recorder
Sheldon D. Johnson
DOC- 2009-0010603-00

Return to:

City of Sutter Creek
18 Main Street
Sutter Creek, CA 95685

REQD BY CITY OF SUTTER CREEK
Wednesday, DEC 30, 2009 12:02:55
Ttl Pd \$0.00 Nbr-0000189089
CT2/R1/1-11

**DEFERRED IMPROVEMENT AGREEMENT
BETWEEN CITY OF SUTTER CREEK
AND
BRYSON COTTAGES, LLC.**

**Agreement for Deferral of Subdivision Improvements
Between the City of Sutter Creek
And
Bryson Cottages, LLC.
Final Map No. 175**

CCMB
5/1

AGREEMENT FOR DEFERRAL OF SUBDIVISION
IMPROVEMENTS BETWEEN THE
CITY OF SUTTER CREEK AND BRYSON COTTAGES, LLC

Section 1. Recitals

A. This agreement is entered into by and between the City of Sutter Creek, a municipal corporation of the State of California (hereinafter “City”) and Bryson Creek Cottages, LLC (herein “Owner”).

B. Owner desires to record Final Subdivision Map No. 175 on file in the Office of the City Clerk, but wishes to defer the construction of certain improvements and defer compliance with certain conditions of approval as required by City.

C. City will allow such deference on the terms and conditions set forth in this agreement and subject to Owner’s compliance with Government Code Section 66411.1, Sutter Creek City Code Section 1724.030, and City Council Resolution No. 07-08-35, a true and correct copy of which is attached hereto and incorporated by reference herein as if fully set forth.

Section 2. Consideration and Interpretation

This agreement is entered for and in consideration of the mutual promises herein exchanged and other good and valuable consideration, the receipt and adequacy of which is hereby acknowledged. This agreement shall be interpreted in accordance with California law, provided however, it still be interpreted as of jointly prepared by the parties and no presumption shall arise from the identity of the drafter.

Section 3. Agreement Binding on Successors in Interest

This agreement is an instrument affecting the title or possession of the real property set forth on Final Subdivision Map No. 175. All the terms, covenants and conditions herein imposed are for the benefit of City and the real property or interest therein which constitutes the private driveway and utility system and shall be binding upon the successors in interest of Owner. The terms of this agreement shall apply separately to each parcel, and the owner of each parcel shall succeed to the obligations imposed on Owner by this agreement.

Section 4. Effective Date

This agreement shall be effective upon recordation of Final Map No. 175 in the official records of Amador County, California.

Section 5. Deferred Improvements and Conditions

A. Conditions 7, 8, and 9 required by City Council Resolution 07-08-35 will be applied individually to each lot at issuance of each building permit on any lot in said Subdivision Map No. 175.

Section 6. Performance of Work

In performing all work, Owner shall comply with the referenced conditions in City Council Resolution 07-08-35 and all other applicable provisions of law and complete all work at his sole expense. The work shall be done in accordance with all legal requirements in effect at the time improvements are constructed. Owner agrees to commence and complete the work within the time specified herein and shall give the City notice not less than 48 hours prior to start of work.

Section 7. Indemnity

The Owner shall defend, indemnify and save harmless the City, its officers, agents and employees, from every expense, liability or payment by reason of injury (including death) to persons or damage to property suffered through any act or omission, including passive negligence or act of negligence, or both, of Owner, his developer, contractors, subcontractors, employees, agents or anyone directly or indirectly employed by any of them, or arising in any way from work called for by this agreement, or any part of the property described in Exhibit "A", including those matters arising out of the deferment of permanent drainage facilities or the adequacy, safety, use or non-use of temporary drainage facilities, or the performance or nonperformance of the work. This provision shall not be deemed to require the Owner to indemnify the City against liability for damage arising from the sole negligence or willful misconduct of the City or its agents, servants, or independent contractors who are directly responsible to the City.

Section 8. Notice

Except as otherwise expressly provided by law, any and all notices or other communication required or permitted by this agreement or by law to be served on or delivered or given to a party by another party to this agreement shall be in writing, and shall be deemed duly served, given, or delivered when personally delivered to the party to whom it is directed or, in lieu of such personal service, two (2) days after such written notice is deposited in the United States Mail, First Class, postage paid, addressed to the party at the address identified for that party in this agreement. Any party may change their address for the purpose of this Section by giving written notice of such change to each other party in the manner provided by this Section.

Notice shall be provided as set forth below:

City of Sutter Creek
Attn: City Manager
18 Main Street
Sutter Creek, CA 95667

Bryson Cottages, LLC
Attn: David Sidle
P.O. Box 238
Mokelumne Hill, CA 95245

Section 9. No Continuing Waiver

The waiver by any party of any breach of any of the provisions of this agreement shall not constitute a continuing waiver or a waiver of any subsequent breach of the same, or of any other provision of this agreement.

Section 10. Effect of Partial Invalidity

Any provision of this agreement which proves to be invalid, void, or illegal, shall in no way affect, impair, or invalidate any other provisions of this agreement, and such other provisions shall remain in full force and effect.

Section 11. Remedies Cumulative

No remedy or election of remedies provided for in this agreement shall be exclusive, but shall be cumulative with all other remedies at law or in equity. Each remedy shall be construed to give it the fullest effect allowed by law.

Section 12. Time of Essence

Time is of the essence of this agreement, and all of the terms, covenants, conditions, and provisions of this agreement.

Section 13. Integrated Agreement, Future Amendments

This agreement contains all of the agreements and warranties of the parties with respect to any matter covered or mentioned in this agreement. No prior agreements, arrangements, or understandings pertaining to such matters shall be effective for any purpose. No provision of this agreement may be amended or added to except by an agreement in writing signed by each party or each party's successor in interest.

Section 14. Signator's Warranty

Each party warrants to each other that he or she is fully authorized and competent to enter into this agreement in the capacity indicated by his or her signature and agrees to be bound by this agreement as of the effective date of this agreement.

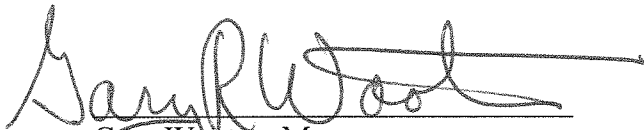
Section 15. Recordation

This agreement shall be recorded in the Official Records of Amador County, California, concurrently with Final Map No. 175 referenced above.

EXECUTED this 16th day of November, 2009, in the City of Sutter Creek, County of Amador, State of California.

CITY:

OWNER: BRYSON Cottages LLC.

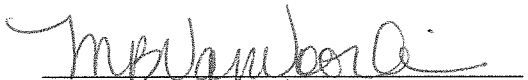


Gary Wooten, Mayor




David Sidle, Manager

ATTEST:



MARY BETH VAN VOORHIS, Secretary

APPROVED:



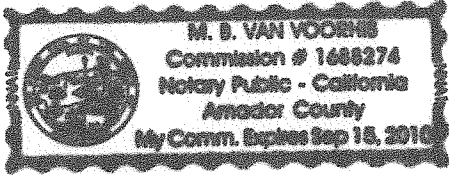
Dennis Crabb, City Attorney
As to Form

NOTARY PUBLIC CERTIFICATE

State of California
County of Amador SS.

On December 22, 2009, before me, M.B. Van Voorhis, Notary Public, personally appeared David Sidle

who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.



Place Notary Seal Above

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

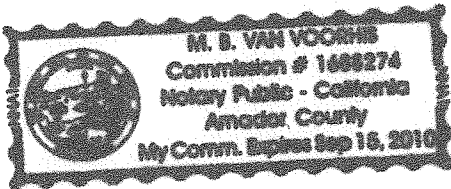
Signature: *M. B. Van Voorhis*
Signature of Notary Public

NOTARY PUBLIC CERTIFICATE

State of California
County of Amador SS.

On December 28, 2009, before me, M.B. Van Voorhis, Notary Public, personally appeared Gary R. Wooten

who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.



Place Notary Seal Above

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: *M. B. Van Voorhis*
Signature of Notary Public

EXHIBIT "A" LEGAL DESCRIPTION

THE LAND DESCRIBED HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF AMADOR, CITY OF SUTTER CREEK, AND IS DESCRIBED AS FOLLOWS:

LOT 12 AND 13 OF GOLD QUARTZ TERRACE, UNIT NO. 1 ACCORDING TO THE OFFICIAL MAP THEREOF FILED FOR RECORD ON FEBRUARY 25, 1980 IN BOOK 4 OF SUBDIVISION MAPS, AT PAGE 72, AMADOR COUNTY RECORDS.

EXCEPTING THEREFROM ALL MINERALS, WITH OUT THE RIGHT OF SURFACE ENTRY, HOWEVER, AS CONVEYED IN THAT DEED FROM PACIFIC INDUSTRIES, A CALIFORNIA CORPORATION, TO ROBERT BRYSON, RECORDED APRIL 15, 1960 IN BOOK 89 OF AMADOR COUNTY OFFICIAL RECORDS, AT PAGE 446.

APN: 018-342-002-000 AND 018-342-003-000

RESOLUTION NO. 07-08-35

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SUTTER CREEK
APPROVING THE BRYSON COTTAGES TENTATIVE SUBDIVISION MAP**

WHEREAS, the City Council of the City of Sutter Creek did on Monday, June 2, 2008, hold a public hearing on a proposed Tentative Subdivision Map for David Sidle (APN 018-342-002 & 003) after properly noticing said hearing , and

WHEREAS, the City Council did at the public hearing, receive a report from the planning staff, and Commission, receive input from the Applicant's representative, and receive testimony from the public, and at the closing of said public hearing did deliberate and consider the same; and

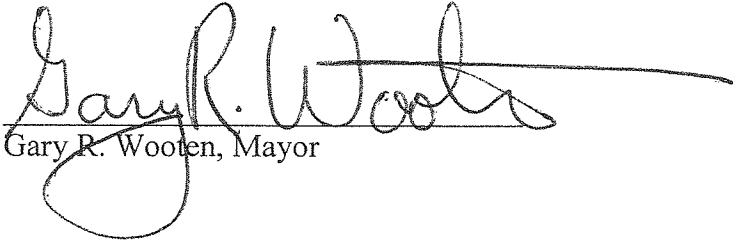
WHEREAS, the City Council found that the project would not have a significant impact on the environment based on the Negative Declaration that was prepared for the project.

NOW, THEREFORE BE IT RESOLVED that the City Council of the City of Sutter Creek hereby approves the Tentative Subdivision Map for Bryson Cottages based on the findings attached hereto as Exhibit A, and subject to the Conditions of Approval attached hereto as Exhibit B.

PASSED AND ADOPTED by the City Council of the City of Sutter Creek on this 2nd day of June, 2008 by the following vote:


- AYES: Council Member Crosby, Murphy and Parsons
- NOES: None
- ABSENT: Council Member Hepworth
- ABSTAIN: Council Member Wooten

CITY OF SUTTER CREEK



Gary R. Wooten, Mayor

ATTEST:



Natalie Doyle, Deputy City Clerk

FINDINGS FOR THE
BRYSON COTTAGE TENTATIVE SUBDIVISION MAP

1. The proposed map is consistent with applicable General Plan because the project site is designated Residential Low Density and no further changes to the General Plan Land Use designation are proposed other than those requested.
2. The design and improvement of the proposed parcel map is consistent with applicable General Plan. The General Plan residential policies have been considered in the project design.
3. The site is physically suitable for the type of development proposed. The proposed 12 residential lots can accommodate detached single family dwellings as allowable by the General Plan and Zoning Code.
4. The site is physically suitable for the proposed density of development and each parcel is of sufficient size to accommodate low density residential uses.
5. Neither the design of the subdivision map nor the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat because of the parcels are within a developed area.
6. Neither the design of the subdivision map nor the proposed improvements is likely to cause serious public health problems because sewer, water, and storm drainage improvements are in place or will be constructed as part of the project's improvements.
7. The proposed subdivision map will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed project because the existing and proposed easements are properly located.
8. The proposed dedication of land or improvements is consistent with the General Plan Circulation Policies. The site can be adequately served by existing facilities.
9. The design of the subdivision map provides, to the extent feasible, for the future passive or natural heating opportunities in the project because each lot is large enough and has sufficient southern exposure to facilitate solar orientation.

CONDITIONS OF APPROVAL FOR THE
BRYSON COTTAGE TENTATIVE SUBDIVISION MAP

All conditions shall be met prior to or concurrent with recordation of the Final Parcel Map.

1. Approval of this action includes a Tentative Subdivision Map for 12 single family residential lots. The map is valid for a period of 24 months from the date of approval unless a Final Map is recorded or an extension is granted.
2. Construct storm drainage improvements to City Standards in accordance with the storm drainage study.
3. Construct sidewalk, curb, gutter and drainage improvements along the property frontage of Bryson Drive consistent with City of Sutter Creek street standards as required by the City Engineer.
4. Submit a grading plan consistent with Chapter 33 of the Uniform Building Code for review and approval by the City of Sutter Creek.
5. Extend all utilities to property in accordance with a utility plan approved by the City Engineer.
6. Comply with Title 14 of the Municipal Code for sewer service including a main line extension and/or sewer service laterals to serve each lot.
7. Provide street tree landscaping pursuant to Ordinance No. 274.
8. Pay Parkland In Lieu fees pursuant to Ordinance No. 258, based on the fair market value of the lots.
9. Pay a Traffic Mitigation Fee equivalent to twelve single-family units.
10. All ordinance requirements of the Amador Water Agency shall be met.
11. All ordinance requirements of the Sutter Creek Fire District shall be met.
12. Prior to recordation of the first final map, the project shall annex into the County of Amador Community Facilities District No. 2006-1 to fund additional costs associated with fire protection services for the new development as per City of Sutter Creek Resolution No. 060706.
13. Prior to recordation of the first final map, the project applicant shall form or annex into a Community Facilities District (CFD), street maintenance assessment district or other financing district or will provide a similar funding mechanism

which is acceptable to the City of Sutter Creek to fund the project's fair share of ongoing roadway maintenance.

14. Meet the Sewer Facilities and connection requirements as specified by the City Sanitation Engineer.
15. All work shall be completed per City of Sutter Creek standard details and specifications.

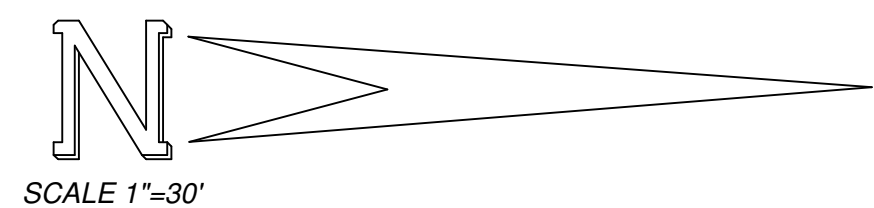
BRYSON COTTAGES SUBDIVISION

SUBDIVISION NUMBER 175

A COMBINATION AND RE-SUBDIVISION OF LOTS 12 AND 13 OF UNIT 1, GOLD QUARTZ TERRACE SUBDIVISION
 BEING A PORTION OF SECTION 7, TOWNSHIP 6 NORTH, RANGE 11 EAST, MOUNT DIABLO MERIDIAN
 ALSO BEING IN THE CITY OF SUTTER CREEK, AMADOR COUNTY CALIFORNIA

FOR: BRYSON COTTAGES L.L.C.
 DEED REF.: 2007-0007115

BY: WARD ASSOCIATES
 1493 CALAVERITAS ROAD
 SAN ANDREAS, CALIFORNIA 95249



CURVE TABLE

#	RADIUS	DELTA	LENGTH
1	90.00'	57°51'15"	90.88' (m)
	90.70'	57°44'30"	90.70' (a)
2	50.00'	21°26'31"	18.71'
3	41.00'	26°35'52"	19.03'
4	41.00'	04°50'13"	3.46'
5	41.00'	24°06'05"	17.25'
6	141.00'	10°42'02"	26.33'
7	141.00'	08°09'16"	20.07'
8	141.00'	09°05'25"	22.37'
9	141.00'	07°39'58"	18.87'
10	141.00'	08°36'13"	21.17'
11	50.00'	11°15'20"	9.82'
12	50.00'	27°19'54"	23.85'

LINE	BEARING	DISTANCE
L1	N 42°26'08" W	74.13'
L2	N 47°33'52" E	54.65'
L3	N 69°00'23" E	20.56'
L4	S 44°39'58" E	40.93'
L5	N 42°26'08" W	15.00'
L6	S 47°33'52" W	11.35'
L7	S 75°18'06" E	31.86'
L8	N 71°41'21" W	130.56'
L9	N 83°09'29" E	58.47'
L10	S 62°19'58" W	55.10'
L11	N 88°17'33" W	61.69'
L12	N 36°16'15" W	25.19'
L13	N 36°16'15" W	12.89'
L14	S 01°52'48" W	76.27'
L15	N 16°09'13" E	32.04'
L16	N 02°18'58" E	5.93'
L17	S 87°41'02" E	35.61'
L18	S 45°18'30" W	30.17'
L19	N 69°32'23" E	32.33'
L20	N 45°18'30" E	89.60'
L21	N 45°18'30" E	95.28'
L22	S 59°14'52" W	69.80'
L23	N 79°05'21" E	46.31'
L24	N 56°29'26" W	30.58'
L25	S 70°50'44" E	53.59'
L26	N 79°05'21" E	27.67'

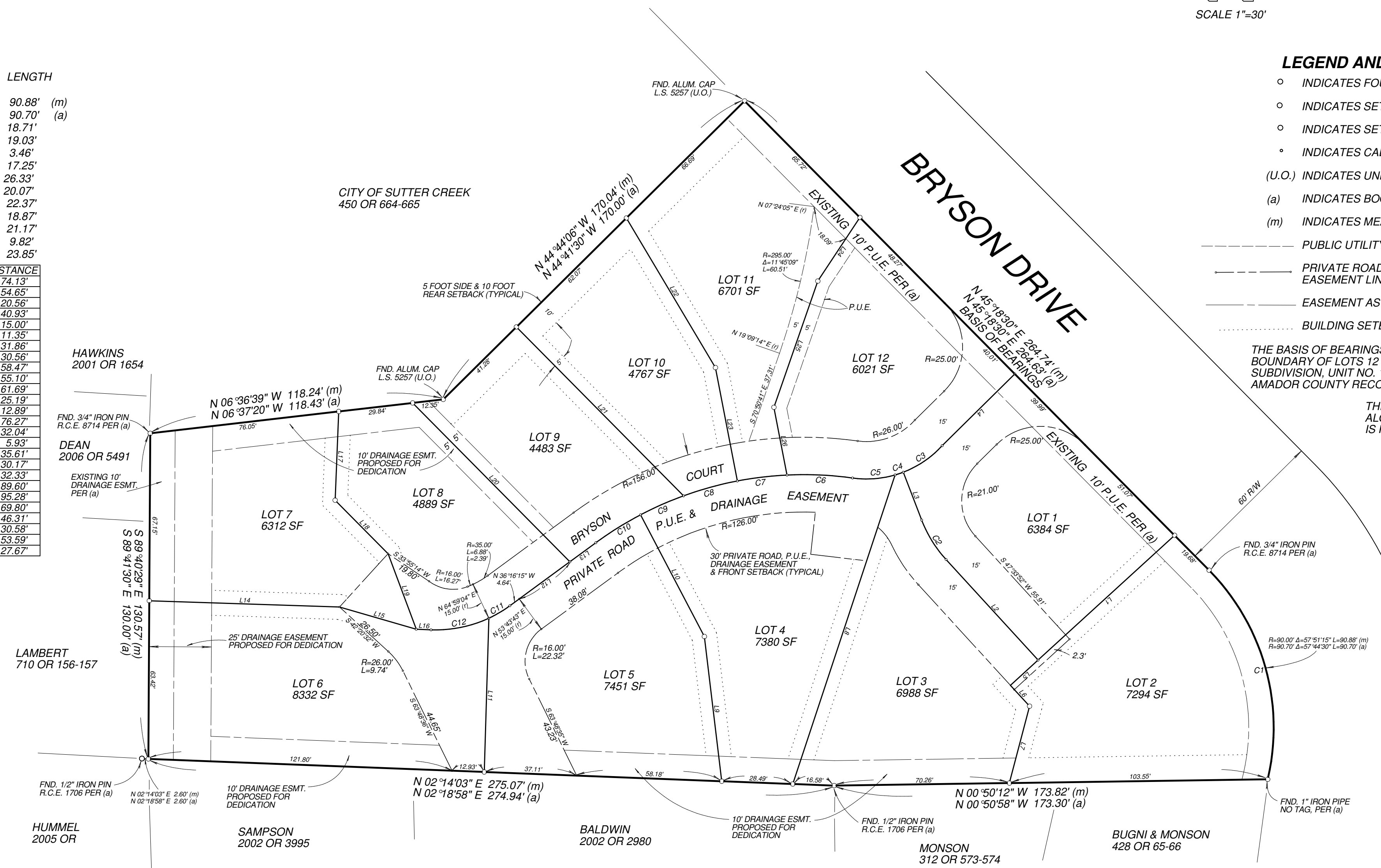
LEGEND AND NOTES

- INDICATES FOUND MONUMENTS AS NOTED.
- INDICATES SET 5/8" REBAR TAGGED L.S. 6425.
- INDICATES SET TAG L.S. 6425 IN TOP OF CONCRETE CURB
- INDICATES CALCULATED POINT, NOTHING SET.
- (U.O.) INDICATES UNKNOWN ORIGIN.
- (a) INDICATES BOOK 4 OF SUBDIVISIONS, PAGE 76-77.
- (m) INDICATES MEASURED ON THIS SURVEY.

- PUBLIC UTILITY EASEMENT
- PRIVATE ROAD, P.U.E. & DRAINAGE EASEMENT LINE
- EASEMENT AS NOTED
- BUILDING SETBACK LINE

THE BASIS OF BEARINGS FOR THIS MAP IS THE NORTHWESTERLY BOUNDARY OF LOTS 12 AND 13 OF GOLD QUARTZ TERRACE SUBDIVISION, UNIT NO. 1, BOOK 4 OF SUBDIVISIONS, PAGE 77, AMADOR COUNTY RECORDS: BEING N 45°18'30" E

THE 25' BUILDING SETBACK LINE ALONG BRYSON DRIVE PER (a) IS HEREBY ABANDONED.



City of Sutter Creek
18 Main Street
Sutter Creek, CA 95685
209-267-5647

RECEIVED: _____
FEE PAID: _____

www.cityofsuttercreek.org

Submission Requirements

- 1- Application*
 - 2- Map*
 - 3- Fees (*Refer to current fee schedule. All Fees must be paid at City Hall*)
- *All documentaion must be submitted via the application portal on the City website*

SITE PLAN APPLICATION

Page 1 of 8

Project Applicant:

Name: Riverland Homes, Inc. Phone: 916.850.0536
 Mailing Address: 4170 Douglas Blvd, #150 Email: _____
 City: Granite Bay State: CA Zip: 95746

Property Owner:

Name: Jackson Ranchiera Development Corporation Phone: _____
 Mailing Address: 12222 New York Ranch Rd Email: _____
 City: Jackson State: CA Zip: 95642

Is this person the project contact? If not, please specify who the contact person is.

Name: Heather Westaby Email: hwestaby@riverlandhomes.com
 Mailing Address: Applicant's address above

Project Location:

APN: 018-342-011 - 018-342-022
 Project Address: 110 -165 Bryson Court, Sutter Creek, CA

Is this located in the Historic District? Yes No
If yes, please see checklist for Design Review.

Deed References (book and page): Book 9, Page 58

General description of location: Lots 1-12 on Final Subdivision Map No. 175, Bryson Cottages

Zoning District: R-3 General Plan Land Use Designation: Limited Multi-Family

Applicant certification, signature(s), and agreement to pay application processing costs.

I hereby certify that the statements furnished herein and on any attached pages present the data required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

I hereby certify that I own or am the authorized representative of the owner of the land hereby requesting Certificate of Compliance approval and that I am aware of and do agree to pay the hourly rates as established by Resolution of the City of Sutter Creek for the time spent by the City staff as necessary to process, review and provide consultation to the City concerning this application. I am also aware that said hourly charges are in addition to set fees required for preliminary review and administration and may also include charges to monitor compliance with conditions of approval if my request is approved.

Heather Westaby



12/18/25

Printed Name

Signature

Date

ENVIRONMENTAL INFORMATION

- 1. Describe Project: 12 Single Family Homes

- 2. Existing use of property(ies): Vacant Already Developed Subdivision
- 3. Will grading occur on slopes of 10% or more? No.
- 4. Will any springs or wet areas be affected as a result of this project? No.
- 5. Estimated length of proposed roads and driveways: 20'
- 6. Estimated type and amount (acreage or number) of vegetation to be disturbed for grading, roads, driveways, building sites, or other alteration. (Examples: Approx. 1 acre of Manzanita and other Brush to be cleared for building pads; over 100 small shrubs and oak trees to be cleared, etc.):
Site is already graded. Improvements have been installed and accepted.

- 7. Project description: Use space below and/or attach additional sheets giving project description in sufficient detail to allow adequate evaluation of potential effects.
 - a. Proposed facilities: Single Family Homes only. Site already developed.
 - b. Building Sizes: 1625, 1808 and 2016 sf
 - c. Access: Bryson Drive to Subdivision
 - d. Parking: 2 garages spaces per home and 6 additional spaces in the subdivision
 - e. Water Source: Public
 - f. Estimated Water Consumption: unknown
 - g. Method of Sewage Disposal: Public
 - h. Nature of Business: n/a
 - i. Estimated Daily Volume of Traffic: unknown
 - j. Estimated Number of Employees: n/a
 - k. Estimated Energy Consumption: n/a
 - l. Percentage of lot to be covered by buildings/paving: 11.4% - 24/4% / _____
 - m. Construction schedule: April - September 2026
 - n. Any historical/archaeological features on property: No.
 - o. Other (please explain): _____

- 8. Describe special circumstances of the project or project site which may result in problems or adverse environmental effects. (Example: steep slopes, drainages, noisy equipment, hazardous access, lack of services.): These existing lots, w/previously approved single family homes, are oddly shaped and difficult to configure homes and driveways. We may request variances for driveways, etc. based on these constraints.

Type text here

9. Indicate mitigation measures which may lessen problems or adverse environmental effects (including energy conservation) to be incorporated into project to eliminate or reduce adverse effects):

n/a

10. Describe most logical alternatives to project and how these alternatives would change the problems or effects discussed in items 13 and 14 above (include the alternative of “no project”):

n/a

SITE PLAN APPLICATION PROCESS AND REQUIREMENTS

City Code Title 18 divides the City into different zoning districts and specifies all uses that may be allowed in each district. The uses allowed on any lot or parcel of land in the City is governed by the rules of the zoning district in which it is located.

Site Plan Approval is required by the City for the construction of any development in any zone except for the development of agricultural uses, the construction of single family dwellings and the construction of two family dwellings in one building. Site plans are not required for construction of buildings for which a Conditional Use Permit or Variance has been obtained.

The following process is developed consistent with Title 18 and related state laws to guide applications for Site Plan Approval through required levels or review and to the Planning Commission for approval, conditional approval or denial. Any Planning Commission determination can be appealed to the City Council.

18.50.030 - Site plan—Layout design.

A site plan drawn accurately to scale and showing the proposed development of the entire buildable lot shall be submitted, and shall include, but not be limited to, the following information:

- A. The location of all existing and proposed structures on the property together with their dimensions, distance between structures and setback distances from property lines;
- B. Approximate location of all streams, drainage channels, and/or bodies of water and an approximate indication of slope and elevations of the property;
- C. Names, locations, and widths of all existing and proposed streets and rights-of-way on or near the property;
- D. Proposed type and location of driveways, parking areas, curbs, gutters and sidewalks, solid waste enclosures, fences, landscaping, and signage consistent with city standards;
- E. Location of water, sewer, electrical, natural gas and storm drainage facilities to serve the proposed structure(s);
- F. The relationship of the proposed structure(s) to the existing buildings and structures in the immediate vicinity; and
- G. Exterior front elevation of each proposed buildings along with building height dimensions, type, color and pitch of roof, and exterior building materials and colors.

1. Application Submittal: Applicant submits three (3) copies of all items necessary to make a complete application package to the Planning Department. Forms and requirements for a complete application package are attached. All items must be complete and legible, folded and collated into separate packages approximately 9” x 12” in size, for the application to be accepted for processing.

Day 1

Date Achieved

- () a. preliminary review and application processing fees as explained on the following page;
- () b. a completed site plan application form;
- () c. site plan drawing(s) drawn legibly on paper 18” x 24” minimum and folded to approximately 9” x 12”
Showing all of the following:

- 1. location and dimensions of property lines, the location of all existing and proposed structures on the property together with their dimensions, distance between structures and setback distances from property lines;
- 2. approximate location of all streams, drainage channels, and/or bodies of water and an approximate indication of slope and elevations of the property;
- 3. names and locations of all existing and proposed streets including their widths, composition and associated improvements such as sidewalks, curbs and gutters. Location of all right-of-ways located on or near the property known to the owner and any proposed street dedications.
- 4. proposed type, dimensions and location of driveways, parking areas, sidewalks, fences, shrubs, landscaping, etc.;
- 5. the relation to the existing buildings and structures in the general vicinity and area;
- 6. dimensions, north point, and scale;
- 7. all proposed grading (existing and finish contours);
- 8. all proposed future development;
- 9. location map, naming and locating principal streets and lanes within the area sufficient to precisely locate the map area;
- 10. all proposed and existing easements;

- 11. design of proposed buildings and other improvements;
 - 12. height and area of buildings;
 - 13. type and pitch of roofs;
 - 14. exterior elevations showing detailed design of all 4 sides of proposed buildings;
 - 15. exterior building materials and colors to be used.
- () d. an environmental information form;
- () e. if the applicant is not the owner of the property involved, a letter bearing the original signature(s) of the person(s) owning record title to the land for which the site plan is requested indicating full awareness of the project and specifying one person as authorized to serve as his/her representative and applicant for the project.

2. Explanation of preliminary review and application processing fees:

- a. An application fee, as established by resolution, submitted together with two (2) copies of items a through e listed above (one copy of item #e shall contain original signatures).
- b. When the Planning Department has determined that the application package is complete for processing pursuant to Step #7 below, the applicant shall submit 25 more copies of items a through d plus an application process fee as established by resolution. In addition, the applicant shall, by signing the required application form, agree to pay the city for City Engineer’s, Planners, and Attorney’s hourly rates plus any administration fee as established by resolution for time spent directly involved in review and consultation to the city concerning the subject application and the monitoring of conditions and mitigation measures if the application is approved, to the extent such charges exceed the amount of the application processing fee that is collected.

3. City Planner’s Review. The City Planner reviews the application package for completeness with respect to “City of Sutter Creek Site Plan Approval Requirements” and determines if the application package is complete or not complete for processing.

Day 15

Date Achieved

4. Incomplete Application. The City Planner will notify the applicant in writing if the application package is incomplete and state specifically those parts of the application that are incomplete and the manner in which they may be made complete in accordance with “Sutter Creek Site Plan Approval Requirements”.

Day 15

Date Achieved

NOTE: The applicant is under no time limit for resubmittal of the application after it is determined to be incomplete. If, or when, the application is resubmitted, steps 1 through 4 are repeated. Each time an application is resubmitted the 30 day period required for determination of completeness will start over. The application will not proceed past step 4 until it is determined to be complete for processing. The applicant is hereby cautioned not to submit 25 copies of the application package until the City’s written acceptance is received. Additional fees may be required when an incomplete application is submitted more than one time or an appeal is filed.

5. Appeal of City Staff’s Determinations. If the application is resubmitted more than one time and the City staff determines in each instance that the application is not complete, the applicant may appeal the City staff’s decision in writing to the City Council. There shall be a written determination by the City Council within forty-five (45) calendar days after receipt of the applicant’s written appeal. If the written determination is not made within the 45 day period, the application will be deemed complete for processing.

6. Complete Application. When an application is determined to be complete, the City Planner will notify the applicant in writing that processing will begin.

Day 30

Date Achieved

7. Acceptance and Review. The Planning Department will mark all copies accepted for processing. The Planning Department will direct the transmittal of application copies to all persons or agencies that are determined to have an interest therein. Each person or agency receiving copies of the application shall be required to submit their written comments upon the application to the Planning Department by a specified date this will be 7 days before the scheduled Planning Commission meeting. The Planning Department will schedule a Planning Commission meeting within 30 days of the date the application is accepted.

New Day 1

Date Achieved

8. Environmental Review. Unless the project is clearly exempt from the California Environmental Quality Act (CEQA), the Planning Department shall review the project for its potential effects upon the environment. The Planning Department shall complete an initial study environmental checklist and a recommendation whether a Negative Declaration (ND) or an Environmental Impact Report (EIR) should be prepared. If the Planning Department recommends a ND, it will prepare a DRAFT Negative Declaration (DND). If the Planning Department determines that and EIR should be prepared, it will draft the focus for an EIR. If the Planning Department is undecided it will recommend that the applicant submit additional information deemed essential for an adequate Planning Department determination. The Planning Department will deliver its recommendation in writing to the applicant.

New Day 15

Date Achieved

New Day 50

Date Achieved

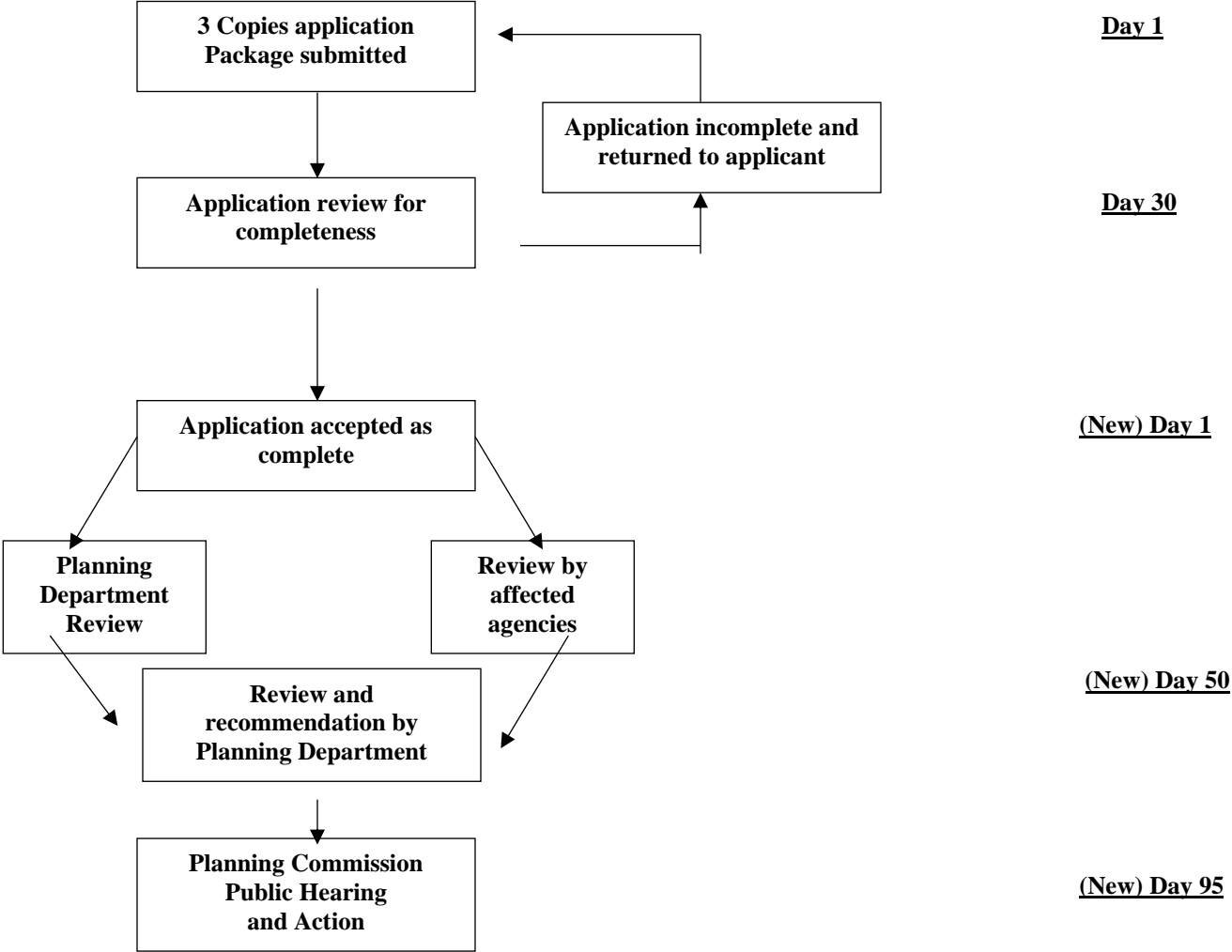
- 9. **Planning Department Recommendation.** The Planning Department will make a recommendation according to a,b,c, or d below and cause said recommendation to be presented in a written report to the Planning Commission together with supportive findings of fact and possible conditions.
 - a. **Exempt from CEQA.** When it is determined that a project is exempt from environmental review, the Planning Department shall direct that a notice of exemption be included in the Planner’s report to the Planning Commission. If there is any question that exempt status may not be upheld by the Planning Commission, a draft negative declaration shall also be included in the Planner’s report to the Planning Commission. Exempt status shall always be considered questionable when the Planning Department determines three or more conditions for approval are recommended.
 - b. **Draft Negative Declaration.** When the Planning Department determines that a project should be approved that is not exempt from environmental review and that the environmental effects of a project can be mitigated adequately by conditions, it will direct that a draft negative declaration with mitigation measures be included in the Planner’s report to the Planning Commission. The mitigation measures shall be the same as the recommended conditions for approval.
 - c. **EIR.** When the Planning Department determines that information available is inadequate to determine acceptable mitigation measures/conditions, the Planning Department may recommend to the Planning Commission that an EIR be prepared before a recommendation for approval or denial is made.
 - d. **Denial.** When the Planning Department finds that the project will have a significant and unacceptable negative effect on the physical or social/economic environment that cannot be mitigated or that the project cannot conform to findings required by relevant section of Title 18 or the goals, policies or objectives of the General Plan or Municipal Codes, then it may recommend denial to the Planning Commission. Projects recommended for denial will include either a draft negative declaration or recommendation for an EIR in case the Planning Commission does not accept the Planning Department recommendation.
- 10. **Public Notices and Review.** The Planning Department will establish a 30 day public review period unless the project is found to be exempt from environmental review in which case a 10 day public review period will be established. The Planning Department will cause a public hearing concerning the project to be scheduled by the Planning Commission within 45 days of the date the Planning Department makes its recommendation. The Planning Department will cause notice of the public hearing to be provided pursuant to California Government Code Section 65091 and CEQA Section 15072. Such notice will include all information required by Government Code Section 65094 and will state that the project application and Planning Department recommendations are available for public review at City Hall during normal working hours. When a project may directly affect any state agency, the Planning Department will provide immediate, proper notification to the State Clearinghouse pursuant to Section 15106 of CEQA Guidelines.
- 11. **Planner’s Staff Report.** The Planning Department will have a staff report prepared and transmitted to the applicant and Planning Commission members at least 7 days prior to the scheduled public hearing. The staff report will summarize the main steps and issues that have been involved in processing the application, it will reference laws or regulations which the Commission should consider and it will include the Planning Department’s recommendation(s).

New Day 88
Date Achieved
- 12. **Planning Commission Hearing and Action.** Upon completion of the public review period and the public hearing, the Planning Commission will make an action on the project. In preparing for their action the Commission will review and consider:
 - a. The project application and the staff report including proposed finding and conditions,
 - b. The notice of exemption or initial environmental study and negative declaration or reasons (focus) for an EIR, and
 - c. All public comments submitted in writing during the public review period or presented orally during the public hearing.

New Day 95
Date Achieved

In approving or denying the application the Planning Commission will state clear reasons (findings of fact to support their action). When the Commission denies a project it need not adopt a negative declaration or an EIR. When the Commission intends to approve a project for which a negative declaration has been prepared, it will first adopt the negative declaration. When the Commission determines that an EIR should be prepared, no action on the project will be taken until the EIR is certified pursuant to “The City of Sutter Creek, Environmental Impact Report (EIR) Process”.

PLANNING APPLICATION PROCESS DIAGRAM



Planning Commission decisions can be appealed to the City Council.

EXAMPLE SITE PLAN

APPLICANT/OWNER

POROTHY PARKER
111 SOUTH ST.
CITY, CA 93666

AGENT

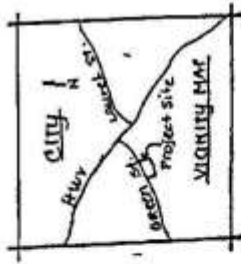
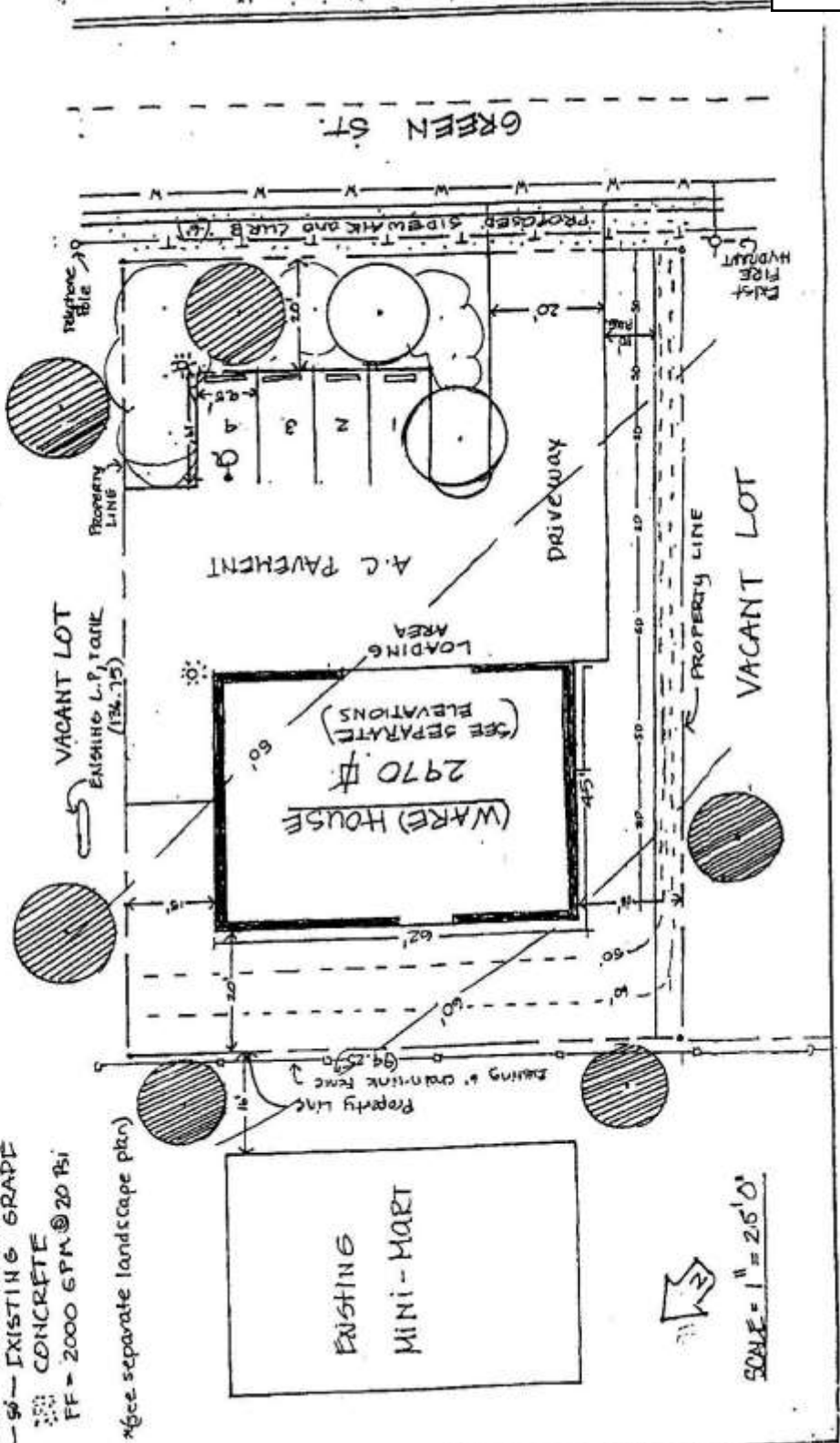
XYZ ENGINEERING
372 MAPLE ST.
CITY, CA 95236

AP # 53-016-23

ZONING/GENERAL PLAN : C, Commercial

- SEWER, WATER AND P.E. LINES LOCATED WITHIN 10' R.O.L.E. ON-SITE
- SD- STORM DRAINAGE (12" RIGID SMOOTH PIPE)
- X- OUTDOOR LIGHTING
- PROPOSED TREE *
- ⊗ EXISTING TREE *
- ⊞ PROPOSED GROUND COVER
- ⊞ HANDICAPPED PARKING
- - - FINISHED GRADE
- - - EXISTING GRADE
- ▒ CONCRETE
- FF = 2000 GPM @ 20 PSI

Agree separate landscape plan



A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SUTTER CREEK APPROVING THE SITE PLAN AND CONDITIONAL USE PERMIT FOR 110-165 BRYSON COURT (APNs 018-324-001 – 018-324-022)

WHEREAS, on the Planning Commission of the City of Sutter Creek did on Monday March 9, 2026, hold a public hearing for a Site Plan and Use Permit application for twelve (12) detached single family homes located at 110-165 Bryson Court, ; and

WHEREAS, the Planning Commission did at the public hearing receive a report from the planning staff, receive input from the Applicant and members of the public in attendance, and at the close of the public hearing did deliberate; and

WHEREAS, the Planning Commission does find the proposal is exempt from environmental review as a Class 15332 (In-fill Development) Categorical Exemption under CEQA.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission of the City of Sutter Creek hereby approves a Site Plan Permit for 110-165 BRYSON COURT (APNs 018-324-001 – 018-324-022) based on the following Findings:

1. The proposed site development is essential or desirable to the public convenience or welfare;
2. The proposed site development will not impair the integrity and character of the area in which it is located, or the zoning district;
3. The proposed site development will insure that adequate public utilities and services are provided so that the project would not be detrimental to public health, safety, or general welfare;

BE IT FURTHER RESOLVED that the Planning Commission of the City of Sutter Creek hereby approves a Conditional Use Permit for 110-165 BRYSON COURT (APNs 018-324-001 – 018-324-022) based on the following Findings:

1. The proposed uses of the property are desirable to the public convenience or welfare;
2. The proposed uses will not impair the integrity and character of the area in which it is located or the zoning district;
3. The proposed uses would not be detrimental to public health, safety, or general welfare
4. There are adequate public utilities and services available for the proposed uses; and
5. The proposed uses of the property are in harmony with the various elements or objectives of the general plan and the purposes of this title.

BE IT FURTHER RESOLVED the Planning Commission hereby approves the Site Plan Permit, subject to the following Conditions of Approval:

1. Applicant shall pay the \$50.00 CEQA Notice of Exemption (NOE) filing fee to the Amador County Recorder
2. Applicant shall comply with Section 18.06.090 and 18.06.100 of the Zoning Code regarding the 12-month period to implement the Project and/or Extension of time

Sewer

3. The existing sewer system in the development shall be flushed and cleaned. At the manhole at the connection point to the City's collection system all water and materials must be screened during the flushing process such that no rocks or unwanted materials are discharged into the City's system.
4. If the existing location of any of the sewer service cleanouts occurs within any of proposed driveway locations then the existing cleanouts must be covered by a concrete traffic weight box with the lid clearly marked "SEWER".

- 5. Cleanouts located within landscape areas must be covered with a plastic or PVC box clearly marked "SEWER".
- 6. Prior to occupancy of each residence, an application for sewer service must be completed at the City and connection fees must be paid for each residence.

Amador Water Agency

- 7. Any driveways installed adjacent to or surrounding existing AWA meter boxes which would allow vehicular traffic on or over the meter boxes shall require the meter boxes to be upgraded to traffic rated boxes at the expense of the Developer prior to initiation of service.
- 8. Each service shall require a completed new AWA water service application and applicable fees (meter setting, capacity fees, meter box upgrades as applicable, etc.) at the time of service remitted prior to initiation of service.
- 9. All AWA appurtenances shall be protected per AWA standards.

Building/Engineering

- 10. Previous Conditions of Approval #7, #8, #9 were deferred and will be applied individually to each lot at issuance. Applicant to comply with these previous requirements.
 - a. Resolution 07-08-35 #7 Provide street tree landscaping pursuant to Ordinance No. 274
 - b. Resolution 07-08-35 #8 Pay Parkland In Lieu fees pursuant to Ordinance No 258, based on the fair market value of the lots
 - c. Resolution 07-08-35 #9 Pay a Traffic Mitigation Fee equivalent to twelve single-family units
- 11. Applicant shall provide verification of completion of previous Condition of Approval #13 thru creation of private road maintenance district or other means acceptable to the City. No parking shall be permitted on Bryson Court through the use of appropriate signage and striping.
- 12. Applicant shall clean all existing concrete swales and storm drain pipes prior to issuance of the first building permit.
- 13. As part of each building permit application, developer is to provide a proposed site plan showing finished lot grading and drainage, (lot to lot drainage not permitted, except at existing rear yard drainage swales), location of driveway, existing utilities, proposed home, etc.
- 14. Applicant shall remove and replace existing ADA curb ramp at west entrance of Bryson Court from Bryson Drive.

PASSED AND ADOPTED by the Planning Commission of the City of Sutter Creek on Monday the 9th day of March, 2026 by the following vote:

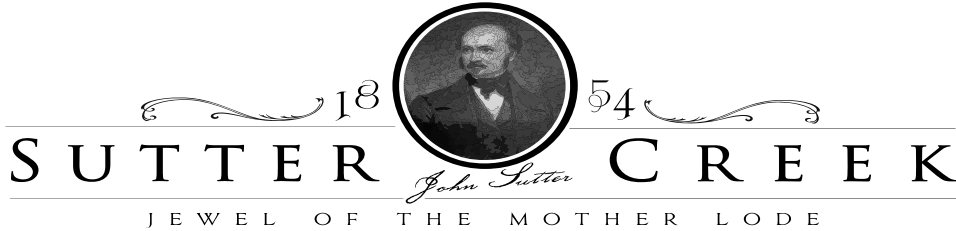
AYES:
NOES:
ABSTAIN:
ABSENT:

THE CITY OF SUTTER CREEK

Michael Kirkley, Chairman

ATTEST:

Pam Caronongan, City Clerk



STAFF REPORT

TO: PLANNING COMMISSION
MEETING DATE: MARCH 9, 2026
FROM: ERIN VENTURA, CONTRACT PLANNER
SUBJECT: REVOCATION OF SHORT TERM RENTAL PERMITS FOR 44
 OPAL STREET AND 70 HAYDEN ALLEY

RECOMMENDATION:

Conduct a public hearing and consider revoking the following Short-Term Rental (STR) Permits pursuant to the Conditions of Approval outlined in Resolutions 12-13-12 and 15-16-08 due to failure to comply with required reporting and operational provisions:

1. **Owner/Operator:** Carma Berglund / Michael Zisman
Property Address: 44 Opal Street, Sutter Creek
2. **Owner/Operator:** Carma Berglund / Michael Zisman
Property Address: 70 Hayden Alley, Sutter Creek

BACKGROUND:

The purpose of this hearing is to provide the owner/operator an opportunity to show cause why the short-term rental permits should not be revoked due to failure to comply with applicable requirements governing short-term rentals.

Pursuant to [Chapter 18.06.120](#) of the Municipal Code: **Revocation of a planning permit.** A planning permit approved under the provisions of this title may be revoked for noncompliance with the condition of the permit or for the creation of a nuisance as herein defined. The review procedure for a planning permit revocation proceeding shall be a public hearing by the review authority that approved the permit. Said proceeding can only be initiated by the community development director, planning commission, or city council after determining if there are sufficient reasons to conduct the hearing.

The City has complied with the required notice provisions set forth in the [code](#).

DISCUSSION:

1. **44 Opal Street (Zisman – Opal)**
 - No reported short-term rental activity since **September 2019**.
 - No required STR reporting forms submitted since **April 2025**.

- Compliance reminder letter sent **December 30, 2025**.
- Public notice to consider revocation published in the ledger on **February 13, 2026**.
- Certified notice of public hearing mailed **February 19, 2026**.

The operator has failed to maintain required reporting and compliance documentation as required under the STR regulations.

2. 70 Hayden Alley (Zisman – Hayden)

- No reported short-term rental activity since **May 2025**.
- Rental activity has been inconsistent (“spotty”) since **2022**.
- No required STR reporting forms submitted since **May 2025**.
- Compliance reminder letter sent **December 30, 2025**.
- Public notice to consider revocation published in the ledger on **February 13, 2026**.
- Certified notice of public hearing mailed **February 19, 2026**.

The operator has failed to maintain consistent reporting and compliance as required by the STR ordinance.

The STR CUP requires permit holders to:

- Maintain active compliance with all operational standards;
- Submit required reporting documentation; and
- Remit applicable taxes and filings, **even if no rental activity occurs**, as required by City regulations.

Failure to submit required forms and maintain compliance constitutes a violation of the Conditional Use Permit and the Code and authorizes the Planning Commission to revoke a permit after proper notice and hearing.

The City has:

- Issued written compliance reminders;
- Provided certified notice of the public hearing;
- Published notice in the local newspaper; and
- Scheduled this public hearing to allow the owner/operator to show cause.

Based on the documented lack of reporting, inactivity, and failure to comply with administrative requirements, staff finds sufficient grounds to revoke both permits.

CONCLUSION

Staff finds that the owner/operator has failed to comply with the reporting and operational requirements of the Short-Term Rental Conditional Use Permit for both 44 Opal Street and 70 Hayden Alley. Proper notice has been provided in accordance with the municipal code.

Therefore, staff recommends that the Planning Commission revoke the Short-Term Rental Permits for both properties.

Attachments:

1. Resolution 12-13-12
2. Resolution 15-16-08
3. Letter from owner

**Planning Commission
RESOLUTION NO. 15-16-08
A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF SUTTER CREEK APPROVING
A CONDITIONAL USE PERMIT FOR
Carma M. Berglund-Zisman and Michael Zisman
70 HAYDEN ALLEY – APN 018-153-009**

WHEREAS, the Planning Commission of the City of Sutter Creek did on Monday, January 11, 2016, hold a public hearing on a Conditional Use Permit for Carma M. Berglund-Zisman and Michael Zisman for Vacation Rental Use of the residential dwelling located at 70 Hayden Alley, Assessor Parcel No. 018-153-009 after properly noticing said hearing; and

WHEREAS, the Planning Commission did at said public hearing receive a report from the planning staff, receive input from the Applicant and members of the public in attendance at said public hearing, and at the closing of said public hearing did deliberate and consider the same; and

WHEREAS, the Planning Commission does find the proposal is exempt from environmental review as a Class 32 Categorical Exemption under CEQA.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission of the City of Sutter Creek hereby approves a Conditional Use Permit for Carma M. Berglund-Zisman and Michael Zisman based on the Findings attached hereto as "Exhibit A," and subject to the Conditions of Approval attached hereto as "Exhibit B."

PASSED AND ADOPTED by the Planning Commission of the City of Sutter Creek on this Monday the 11th Day of January, 2016 by the following vote:

- AYES:** Arata, Cunha, Kirkley, Larson.
- NOES:** None.
- ABSTAIN:** None.
- ABSENT:** None.

ATTEST:



Mary Beth Van Voorhis, Secretary



Frank Cunha, Chairman

EXHIBIT A

FINDINGS

1. The proposed use of the property is essential or desirable to the public convenience or welfare because it will provide an important tourist-related service to the community.
2. The proposed use is in compliance with the Sutter Creek General Plan goals, policies, and Residential Single Family Land Use designation.
3. The proposed use will not impair the integrity and character of the zoning district because the use is consistent with activities within the R-1 Zone – One Family Dwelling Zone and Historic District.
4. The proposed use would not be detrimental to public health, safety or general welfare because appropriate conditions of approval have been attached to the project.
5. The proposed use of the property, implements the Sutter Creek General Plan and the purposes of the Planning Title, because the General Plan and Zoning Ordinance recognize the importance of providing visitor lodging to promote and encourage commercial activity in the community.

EXHIBIT B

CONDITIONS OF APPROVAL

1. Maintain the exterior appearance of the vacation rental unit as a single-family residence.
2. Provide one (1) off-street parking space for each guest room (two (2) bedrooms is equivalent to two (2) guest rooms) and one (1) space for each five guest rooms, a total of three (3) parking spaces.
3. No advertisement signs shall be allowed for this project.
4. Maintain a valid City of Sutter Creek Business License.
5. Pay the monthly Transient Occupancy Tax to the City of Sutter Creek.
6. Pay the Notice of Exemption filing fee to the Amador County Recorder (\$50.00).
7. Meet Design Review Standards for any exterior modifications.
8. Meet the ordinance requirements of the Sutter Creek Fire District.
9. Meet the ordinance requirements of the Amador Water Agency.

**City of Sutter Creek
Planning Commission
RESOLUTION NO. 12-13-12
A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF SUTTER CREEK APPROVING
A CONDITIONAL USE PERMIT FOR
44 OPAL STREET LESAGE**

WHEREAS, the Planning Commission of the City of Sutter Creek did on Monday, June 10, 2013 hold a public hearing on a Conditional Use Permit for Carma M. Berglund-Zisman and Michael Zisman for Vacation Rental Use of the residential dwelling located at 44 Opal Street Assessors Parcel No. 018-293-053 after properly noticing said hearing; and

WHEREAS, the Planning Commission did at said public hearing receive a report from the planning staff, receive input from the Applicant and members of the public in attendance at said public hearing, and at the closing of said public hearing did deliberate and consider the same; and

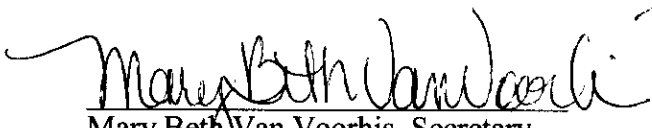
WHEREAS, the Planning Commission does find the proposal is exempt from environmental review as a Class 32 Categorical Exemption under CEQA.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission of the City of Sutter Creek hereby approves a Conditional Use Permit for Carma M. Berglund-Zisman and Michael Zisman based on the Findings attached hereto as "Exhibit A," and subject to the Conditions of Approval attached hereto as "Exhibit B."

PASSED AND ADOPTED by the Planning Commission of the City of Sutter Creek on this Monday the 10th Day of June 2013 by the following vote:

- AYES: Arata, Cunha, Larson, Kirkley, Nash.
- NOES: None.
- ABSTAIN: None.
- ABSENT: None.

ATTEST:


Mary Beth Van Voorhis, Secretary



Michael Kirkley, Chairman

EXHIBIT A

FINDINGS

1. The proposed use of the property is essential or desirable to the public convenience or welfare because it will provide an important tourist-related service to the community.
2. The proposed use is in compliance with the Sutter Creek General Plan goals, policies, and Residential Single Family Land Use designation.
3. The proposed use will not impair the integrity and character of the zoning district because the use is consistent with activities within the R-1 Zone – One Family Dwelling Zone.
4. The proposed use would not be detrimental to public health, safety or general welfare because appropriate conditions of approval have been attached to the project.
5. The proposed use of the property, implements the Sutter Creek General Plan and the purposes of the Planning Title, because the General Plan and Zoning Ordinance recognize the importance of providing visitor lodging to promote and encourage commercial activity in the community.

EXHIBIT B

CONDITIONS OF APPROVAL

1. Maintain the exterior appearance of the vacation rental unit as a single-family residence.
2. Provide one (1) off-street parking space for each guest room (two (2) bedrooms is equivalent to two (2) guest rooms) and one (1) space for each five guest rooms, a total of four (3) parking spaces.
3. Driveway to be maintained in a dust free condition at all times.
4. One sign, not to exceed two square feet in area, attached to and parallel with the front wall of the building shall be allowed.
5. Maintain a valid City of Sutter Creek Business License.
6. Pay the monthly Transient Occupancy Tax to the City of Sutter Creek.
7. Pay the Notice of Exemption filing fee to the Amador County Recorder.
8. Meet the ordinance requirements of the Sutter Creek Fire District.
9. Meet the ordinance requirements of the Amador Water Agency.
10. Meet the requirements of the City Engineer as outlined in comments received May 30, 2013 (Exhibit D).

* * * *

DEAR BROOKE -

FOR THE PERIOD OF APRIL - DECEMBER
OF 2025, WE HAD LONG-TERM RENTERS
IN OUR HOME AT 44 ORAL STREET -
WHICH DID NOT ALLOW US TO
ACCEPT ANY SHORT-TERM
RENTAL TENANTS.

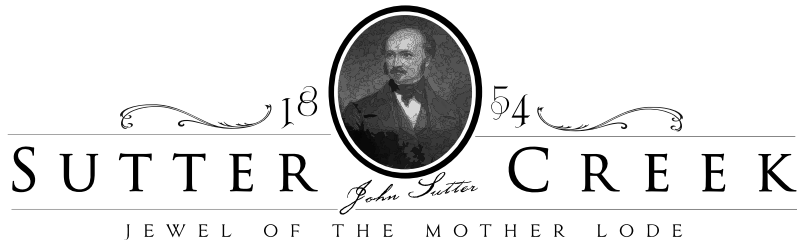
FOR THE SAME PERIOD AT OUR
PROPERTY LOCATED AT 70 HAYDEN
ALLEY WE HAD A FURNACE / GAS
FIREPLACE REPAIR PROJECT
THAT PREVENTED US FROM
ACCEPTING ANY SHORT TERM
RENTALS.

LET US KNOW ANY QUESTIONS.

CARMA ZIGMAN

OWNER

415.519.3083



MEETING DATE: MARCH 9, 2026

TO: PLANNING COMMISSION

FROM: ERIN VENTURA, PLANNING CONSULTANT

SUBJECT: SUTTER CREEK HOUSING ELEMENT ANNUAL PROGRESS REPORT- 2025

RECOMMENDATION:

1. Review report and provide comments to staff.

BACKGROUND:

Local jurisdictions are required to submit a Housing Element Annual Report (APR) to the Governor's Office of Planning and Research (OPR) and the Housing and Community Development (HCD) by April 1 of each year. This report provides information to the State, and the public, on the implementation of the Housing Element and progress toward our Regional Housing Needs Allocation (RHNA) numbers.

APRs must be presented to the local legislative body for its review and acceptance, usually as a consent or discussion item on a regular meeting agenda.

DISCUSSION:

Staff prepared the Sutter Creek Housing Element APR for the year 2025. The 6th Cycle Housing Element was adopted at the end of 2023 and certified by the State in January 2025. Over the past year, progress has been made on several programs outlined in the Housing Element (see Table D). Below is a summary of key programs that staff worked on in 2025:

- **Program 1: Countywide Housing Working Group (CWHWG)**
 - The CWHWG held multiple meetings in 2025
- **Program 4: Accessory Dwelling Units**
 - Information was added to the City's website
- **Program 7: Historically Significant Structures**
 - The Design Review Committee (DRC) continues to review modifications to buildings within the Historic District.
 - Gold Dust Trail
- **Program 9: Affordable and Special Needs Housing Assistance and Incentives**
 - The City assisted DANCO in apply for Homekey + funding and the project was successfully awarded funding on October 13, 2025.
- **Program 19: Water and Wastewater Infrastructure Capacity**
 - The City has entered into a design-build contract for a new Wastewater plant which is designed to handle future growth in Both Martell and Sutter Creek
 - The City initiated a Nexus Study in 2025.
 - The City is near completion of wastewater collection capacity extension that will support Sutter Hill area including the new low income housing project.

In 2025, the City permitted or entitled four (4) units (see Table A2). All four units are currently under construction. Additionally, the City assisted DANCO with their Homekey + application. In October 2025, DANCO received funding for their supportive housing project.

BUDGET IMPACT:

There is no budget impact directly. The APR recommends implementation of programs that may have budget impacts that will be addressed in each annual City budget.

Please Start Here

General Information	
Jurisdiction Name	Sutter Creek
Reporting Calendar Year	2025
Contact Information	
First Name	Erin
Last Name	Ventura
Title	Contract Planner
Email	eventura@haugebrueck.com
Phone	2092675647
Mailing Address	
Street Address	18 Main Street
City	Sutter Creek
Zipcode	95685

Optional: Click here to import last year's data. This is best used when the workbook is new and empty. You will be prompted to pick an old workbook to import from. Project and program data will be copied exactly how it was entered in last year's form and must be updated. If a project is no longer has any reportable activity, you may delete the project by selecting a cell in the row and typing ctrl + d.

[Click here to download APR Instructions](#)

Click here to add rows to a table. If you add too many rows, you may select a cell in the row you wish to remove and type ctrl + d.

v_01_30_26

Jurisdiction	Sutter Creek	
Reporting Year	2025	(Jan. 1 - Dec. 31)
Housing Element Planning Period	6th Cycle	09/15/2021 - 09/15/2029

Building Permits Issued by Affordability Summary		
Income Level		Current Year
Acutely Low	Deed Restricted	0
	Non-Deed Restricted	1
Extremely Low	Deed Restricted	0
	Non-Deed Restricted	0
Very Low	Deed Restricted	0
	Non-Deed Restricted	0
Low	Deed Restricted	0
	Non-Deed Restricted	0
Moderate	Deed Restricted	0
	Non-Deed Restricted	2
Above Moderate		1
Total Units		4

Units by Structure Type	Entitled	Permitted	Completed
Single-family Attached	0	0	0
Single-family Detached	0	1	0
2 to 4 units per structure	0	2	0
5+ units per structure	0	0	0
Accessory Dwelling Unit	0	1	0
Mobile/Manufactured Home	0	0	0
Total	0	4	0

Infill Housing Developments and Infill Units Permitted	# of Projects	Units
Indicated as Infill	3	4
Not Indicated as Infill	0	0

Housing Applications Summary	
Total Housing Applications Submitted:	3
Number of Proposed Units in All Applications Received:	4
Total Housing Units Approved:	0
Total Housing Units Disapproved:	0

Use of SB 423 Streamlining Provisions - Applications	
Number of SB 423 Streamlining Applications	0
Number of SB 423 Streamlining Applications Approved	0

Units Constructed - SB 423 Streamlining Permits			
Income	Rental	Ownership	Total
Acutely Low	0	0	0
Extremely Low	0	0	0
Very Low	0	0	0
Low	0	0	0
Moderate	0	0	0
Above Moderate	0	0	0
Total	0	0	0

Streamlining Provisions Used - Permitted Units	# of Projects	Units
SB 9 (2021) - Duplex in SF Zone	0	0
SB 9 (2021) - Residential Lot Split	0	0
AB 2011 (2022)	0	0
SB 6 (2022)	0	0
SB 423 (2023)	0	0

Ministerial and Discretionary Applications	# of	Units
Ministerial	3	4
Discretionary	0	0

Density Bonus Applications and Units Permitted	
Number of Applications Submitted Requesting a Density Bonus	0
Number of Units in Applications Submitted Requesting a Density Bonus	0
Number of Projects Permitted with a Density Bonus	0
Number of Units in Projects Permitted with a Density Bonus	0

Housing Element Programs Implemented and Sites Rezoned	Count
Programs Implemented	2
Sites Rezoned to Accommodate the RHNA	0

Jurisdiction	Sutter Creek	
Reporting Year	2025	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	09/15/2021 - 09/15/2029

**ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation**

This table is auto-populated once you enter your jurisdiction name and current year data. Past year information comes from previous APRs.
Please contact HCD if your data is different than the material supplied here

Table B Regional Housing Needs Allocation Progress Permitted Units Issued by Affordability														
		1	Projection Period	2									3	4
Income Level		RHNA Allocation by Income Level	Projection Period - 12/31/2018-09/14/2021	2021	2022	2023	2024	2025	2026	2027	2028	2029	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Acutely Low	Deed Restricted			-	-	-	-	-	-	-	-	-	-	
	Non-Deed Restricted			-	-	-	-	1	-	-	-	-	-	1
Extremely Low	Deed Restricted			-	-	-	-	-	-	-	-	-	-	
	Non-Deed Restricted			-	-	-	-	-	-	-	-	-	-	
Very Low	Deed Restricted	15		-	-	-	-	-	-	-	-	-	-	1
	Non-Deed Restricted			-	-	-	-	-	-	-	-	-	-	14
Low	Deed Restricted	12		-	-	-	-	-	-	-	-	-	-	12
	Non-Deed Restricted			-	-	-	-	-	-	-	-	-	-	
Moderate	Deed Restricted	13		-	-	-	-	-	-	-	-	-	-	3
	Non-Deed Restricted			-	-	-	-	1	2	-	-	-	-	10
Above Moderate		34	7	1	1	4	-	1	-	-	-	-	14	20
Total RHNA		74		7	1	1	4	1	4	-	-	-	18	56
Total Units				7	1	1	4	1	4	-	-	-	18	56

*For years prior to 2025, Acutely Low-Income units are reported within the Extremely Low-Income category

*For jurisdictions that received RHNA determinations for the current cycle prior to the passage of AB 3093 (September 19, 2024):
 - You were not allocated Acutely Low-Income and Extremely Low-Income RHNA targets, therefore the allocations in Field 1 are listed as "0"
 - If you wish to set your own targets in these income categories for informational purposes, contact HCD staff at apr@hcd.ca.gov.
 - All Acutely Low-Income and Extremely Low-Income units reported during the cycle are counted towards Very-Low Income RHNA progress

*For years prior to 2025, data on deed-restricted vs. non-deed restricted Extremely Low-Income units is approximated from whether the projects reported any deed-restricted Very Low-Income Units. If you wish to edit this historical data for accuracy or have any questions about the data, you may login to HCD's online APR system, or contact HCD staff at apr@hcd.ca.gov.

Please Note: Table B does not currently contain data from Table F or Table F2 for prior years. You may login to the APR system to see Table B that contains this data.

Please note: The APR form can only display data for one planning period. To view progress for a different planning period, you may login to HCD's online APR system, or contact HCD staff at apr@hcd.ca.gov.

ANNUAL ELEMENT PROGRESS REPORT Housing Element Implementation

Jurisdiction Sutter Creek								
Reporting Year 2025 (Jan. 1 - Dec. 31)								
Table D								
Program Implementation Status pursuant to GC Section 65583								
Housing Programs Progress Report								
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.								
1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
Program 1: Countywide Housing Working Group	<ul style="list-style-type: none"> • Amador County, and the Cities of Amador City, Ione, Jackson, Plymouth, and Sutter Creek to establish a Countywide Housing Working Group, including one representative from each jurisdiction's Planning Department, by February 2024 to discuss and implement housing strategies. The Countywide Housing Working Group shall meet on a regular basis. • Each jurisdiction shall annually evaluate the effectiveness of the CHWG in the implementation of programs. If the CHWG is determined to be ineffective in implementing any of the programs, each jurisdiction shall identify alternative actions within six months, including a schedule to implement the alternative actions on a semi-annual basis (e.g., actions that each jurisdiction will implement at least two times each year) for the remainder of the planning period, to facilitate the implementation of relevant programs. 	Feb-24	6th Cycle	Continuous	Countywide meeting 3/10/25 Amador City, Ione, Jackson, and Sutter Creek meet the 2nd Monday of each month to discuss on going planning topics and issues within the County.	Meetings		
Program 2: Housing Element Monitoring/Annual Reporting	Review the Housing Element annually and provide opportunities for public participation, in conjunction with the submission of the Annual Progress Report to the State Department of Housing and Community Development by April 1st of each year.	1-Apr	6th Cycle	Continuous	The APR is reviewed annually during a public meeting of both the Planning Commission and the City Council.	Other		

<p>Program 3: Adequate Sites</p>	<ul style="list-style-type: none"> Each jurisdiction shall develop a formal ongoing procedure to evaluate development proposals, rezones, and other land use decisions and update the inventory and capacity of sites by income groups as necessary by the end of 2023. Each jurisdiction to work with the Amador-Tuolumne Community Action Agency (ATCAA) and private developers on an ongoing basis to find suitable sites for affordable housing and special needs groups, including extremely low income, transitional, supportive, and single heads of households housing with an emphasis on prioritizing housing opportunities in higher resource areas. 	<p>Dec-23</p>	<p>6th Cycle</p>	<p>In Progress</p>	<p>Implementation in progress and ongoing. The Housing Element includes a citywide inventory of potential infill sites. The inventory list contained in the Housing Element is available at the Community Development Department offices and at Sutter Creek City Hall counter, and is posted on the City's website, www.cityofsuttercreek.org. The inventory was updated at the time the Housing Element was updated. Between updates of the Housing Element, City staff will maintain a database of the housing inventory, and vacant or infill sites with modifications entered each time a building permit or use permit is approved. The Planning staff will post the database on the City website and make available at the City Hall and Community Development counters.</p>	<p>Units</p>		
<p>Program 3: Adequate Sites</p>	<ul style="list-style-type: none"> Each jurisdiction to maintain adequate sites to accommodate the RHNA throughout the 6th Cycle pursuant to Government Code Section 65863 (No Net Loss Law): Sutter Creek: 15 very low, 12 low, 13 moderate, and 34 above moderate income units The Zoning Code for each jurisdiction shall be updated to allow residential use by right for housing developments in which at least 20 percent of the units are affordable to lower income households for: 1) lower income sites that are vacant and have been included in the inventory from two or more consecutive planning periods, and 2) lower income sites that are underutilized (nonvacant) and have been included in the inventory from a prior planning period consistent with the requirements of Government Code Section 65583.2. The attachment to the Annex for each jurisdiction identifies lower income sites that have been included in prior Housing Elements. 	<p>Dec-23</p>	<p>6th Cycle</p>	<p>Completed</p>	<p>Zoning Ordinance was updated in Fall 2023.</p>	<p>Other</p>		<p>https://library.municode.com/ca/sutter_creek/codes/code_of_ordinances?nodeId=15183</p>
<p>Program 4: Accessory Dwelling Units, Junior Accessory Dwelling Units, and SB9 Units</p>	<p>Amador County, Amador City, Jackson, Plymouth, and Sutter Creek to update their codes to allow ADUs, JADUs, and SB 9 units, as applicable, consistent with the requirements of State law by May 2025 and submit the amended ADU and JADU provisions to HCD for review.</p> <ul style="list-style-type: none"> If HCD identifies any inconsistencies between State law and the updated ADU provisions, each jurisdiction shall amend its code to accommodate ADUs and JADUs consistent with the requirements of State law within 6 months of HCD review. Housing Working Group to coordinate development of a Countywide web page by December 2024 to promote ADU and SB 9 opportunities to interested residents that includes examples of successful ADU projects, an ADU resource guide, and links to the ADU and SB 9 requirements for each jurisdiction. Each jurisdiction shall provide technical and resource guides online, including lot split provisions per SB 9 by December 2023. 	<p>May-25</p>	<p>6th Cycle</p>	<p>In Progress</p>	<p>The Working Group has reviewed materials provided by Amador County for ADUs. Materials will be coordinated between jurisdictions and made available.</p> <p>Staff is currently working on informational materials to be presented to the Planning Commission for review and input.</p> <p>HCD provided comments to the City regarding our current ADU Ord. Revisions were made and sent back to HCD for review.</p> <p>Additional information added to the City website</p>	<p>Units</p>		<p>https://motherlodeadu.org/ https://www.hcd.ca.gov/sites/default/files/docs/policy-and-research/adu-handbook-update.pdf</p>

<p>Program 4: Accessory Dwelling Units, Junior Accessory Dwelling Units, and SB9 Units</p>	<ul style="list-style-type: none"> Each jurisdiction shall conduct outreach and education on ADU and SB 9 options and requirements to homeowners and Homeowners' Associations on an annual basis (2023-2029) to expand opportunities throughout the jurisdiction, with an emphasis on outreach to homeowners' associations and property owners in higher opportunity areas within each jurisdiction. Each jurisdiction shall pursue State funding available to assist lower- and moderate income homeowners in the construction of ADUs on an annual basis (2024, 2026, 2028). Each jurisdiction shall provide financial assistance to qualified property owners to build ADUs when State funds (such as CalHOME) or other funds are available on an ongoing basis. By December 2025, assess each jurisdiction's progress in ADU construction; evaluate incentives to further promote ADUs if construction goals are not met. Sutter Creek: 5 ADUs/JADUs 	<p>Dec-25</p>	<p>6th Cycle</p>	<p>In Progress</p>	<p>Planning staff will continue to pursue State funds. If funding is available staff will provide assistance to qualified homeowners.</p>	<p>Units</p>	<p>2</p>	
<p>Program 5: Affordable Housing Land Acquisition</p>	<p>Amador Countywide:</p> <ul style="list-style-type: none"> Countywide Housing Working Group to work with the Amador-Tuolumne Community Action Agency (ATCAA) and private developers to identify potential suitable affordable housing sites for land acquisition on a regular basis. <p>Each Jurisdiction:</p> <ul style="list-style-type: none"> Individual jurisdictions to evaluate sites identified by the Countywide Housing Working Group to determine site acquisition feasibility, and work with for-profit and nonprofit resources as necessary to obtain such lands. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>Not yet implemented due to staff and budget constraints.</p>	<p>Units</p>		
<p>Program 5B: Homeless Services Coordination</p>	<ul style="list-style-type: none"> Countywide, by 2027, work with developers and service providers to provide 30 new shelter or transitional housing beds, with at least 2 beds provided apiece in Amador City and Plymouth, 3 beds provided apiece in Lone, Plymouth, and Sutter Creek, and 10 beds provided apiece in Jackson and the unincorporated County. Beginning in 2024, Housing Working Group shall coordinate annually with the administration, Police Department, and Planning staff of each jurisdiction has information available regarding services for the homeless and at-risk population. 	<p>Dec-27</p>	<p>6th Cycle</p>	<p>In Progress</p>	<p>Planning entitlements have been granted for 43 unit supportive housing development in Sutter Creek. It is anticipated that building permits will be issued in 2026</p>	<p>Units</p>	<p>43</p>	
<p>Program 6: Affordability Targets</p>	<p>NA</p>				<p>NA</p>			

<p>Program 7: Historically Significant Structures</p>	<p>Coordinate the rehabilitation and adaptive reuse of at least 1 historically significant structures as appropriate on an ongoing basis by December 2027.</p>	<p>Dec-27</p>	<p>6th Cycle</p>	<p>Completed</p>	<p>Implemented, November 2023. The Design Review Committee reviewed renovation plans for a historical home on Main Street within our Historical Downtown District. Extra attention was given to make sure that the renovations were in keeping with the existing character of the home and period. Additionally in August 2025 the DRC reviewed plans for the renovation of a structure on Gold Dust Trail. The building has historical significance to the gold mining era.</p>	<p>Units</p>		
<p>Program 8: Neighborhood Beautification and Housing Rehabilitation</p>	<ul style="list-style-type: none"> ● Countywide Housing Working Group to identify funding sources for housing rehabilitation, weatherization, energy-efficient improvements, emergency repair, and wildland urban interface/fire hardening on an annual basis. ○ Housing Working Group to coordinate with individual jurisdictions to determine if available funding should be sought at the regional level or by individual jurisdictions. ○ Housing Working Group to coordinate with individual jurisdictions to identify a single entity to assist in the implementation of housing rehabilitation programs in order to provide efficient and effective assistance throughout the County. ○ Potential funding sources include USDA Section 504 Home Repair, Community Development Block Grant (CDBG), HOME, and CalFIRE Wildfire Prevention Grant programs. 	<p>Jun-23</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>As staff availability provides, the City will pursue funding.</p>	<p>Other</p>		
<p>Program 8: Neighborhood Beautification and Housing Rehabilitation</p>	<ul style="list-style-type: none"> ● Individual jurisdictions to promote the available housing rehabilitation, energy efficiency, accessibility, and home improvement programs on each jurisdiction's website, through social media, and by way of handouts available at the public counter as well as through the local real estate community by June 2023. ● Individual jurisdictions to continue to respond to code complaints as complaints are received. ● Each jurisdiction's Planning Department shall work with property owners, residents, and Homeowner Associations to ensure safe and decent housing. Staff will identify concentrations of housing in need of repair and multifamily developments in need of significant repair and connect property owners with resources for rehabilitation and junk removal on an ongoing basis. 	<p>Jun-23</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>As staffing is available, additional outreach will be completed.</p>	<p>Other</p>		
<p>Program 8: Neighborhood Beautification and Housing Rehabilitation</p>	<ul style="list-style-type: none"> ● Secure funding, either individually or Countywide, for rehabilitation, improvement, and/or emergency repair of housing: Sutter Creek: 3 extremely low, 3 very low, and 2 low income units to determine if available funding should be sought at the regional level or by individual jurisdictions. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>As staff availability provides, the City will pursue funding.</p>	<p>Other</p>		

<p>Program 9: Affordable and Special Needs Housing Assistance and Incentives</p>	<p>Countywide Housing Working Group will review available funding sources for housing affordable to extremely low, very low, low, and moderate income households and housing for special needs groups at least twice each year.</p> <ul style="list-style-type: none"> Countywide Housing Working Group will actively pursue federal, State, County and private funding sources that are available at the regional level and to determine the feasibility of developing a Regional Affordable Housing Trust Fund. Countywide Housing Working Group will proactively reach out annually to affordable housing providers and special needs housing providers, including homeless service providers interested in constructing extremely low income housing, emergency shelters, transitional housing, and supportive housing, agricultural worker housing providers, senior and disability housing providers, and providers serving large families and/or single heads of household with children to assist in identifying appropriate sites for development and connecting providers with assistance, including fundings and incentives for housing. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Continuous</p>	<p>The City assisted DANCO in apply for Homekey + funding and the project was successfully awarded funding on October 13, 2025.</p>	<p>Units</p>	<p>43</p>	
<p>Program 9: Affordable and Special Needs Housing Assistance and Incentives</p>	<ul style="list-style-type: none"> Each jurisdiction within Amador County to actively pursue federal, State, and private funding sources for affordable housing as a means of leveraging local funds and maximizing assistance, and also support developers in securing outside funding sources. If multiple projects are proposed for funding, jurisdictions shall prioritize projects that improve very low/low income access to the most resources and most positive environmental, educational, economic, and transportation outcomes. Amador County to actively pursue federal, State, or other funding sources to assist developers and property owners in meeting the State's wildfire safety standards for residential and mixed uses in the Very High Fire Hazard Severity Zone. If interest in affordable or special needs housing exceeds federal, State, and private funding resources for affordable housing, prioritize assisting projects located in TCAC highest resource areas. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Continuous</p>	<p>City staff worked with DANCO, on funding for their supportive housing project. The applicant was granted funding in 2025. Construction will begin in 2026.</p>	<p>Units</p>		

<p>Program 9: Affordable and Special Needs Housing Assistance and Incentives</p>	<ul style="list-style-type: none"> By December 2024, each jurisdiction shall identify a menu of incentives, including permit streamlining, reduced or deferred development fees, ministerial review of minor lot line adjustments, technical assistance to acquire funding, and modification of development requirements through Planned Development overlays or similar provisions for affordable and special needs housing. Incentives shall be specifically identified for extremely low income housing, which may include adopting priority processing, granting fee waivers or deferrals, modifying development standards, and granting concessions and incentives. Sutter Creek and Plymouth shall also identify reduced or deferred fees for deed-restricted moderate income housing. Each jurisdiction to promote affordable and special needs housing, as well as a variety of housing types, when reviewing and implementing Planned Development, Specific Plan, and any large-scale projects to ensure new residential development provides for a variety of housing types and affordability levels. 	<p>Dec-24</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>Not yet implemented</p>	<p>Units</p>		
<p>Program 9: Affordable and Special Needs Housing Assistance and Incentives</p>	<ul style="list-style-type: none"> To promote and incentivize affordable and special needs housing, each jurisdiction shall annually email regional affordable housing developers and nonprofits the menu of incentives, the inventory of sites for very low and low income housing, a list of available financial resources, and the jurisdiction's dedicated contact to discuss affordable housing opportunities. In conjunction with other programs promoting affordable housing and reducing barriers to a variety of housing types, approve and permit development of new affordable and special needs units as follows: Sutter Creek: 8 extremely low, 7 very low, and 12 low income units 	<p>Dec-25</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>Not yet implemented</p>	<p>Units</p>		
<p>Program 10: Preservation of Existing Affordable Housing</p>	<ul style="list-style-type: none"> Annually monitor each jurisdiction's affordable housing stock to ensure that deed-restricted units are preserved. Should any of the assisted properties become at risk of converting to market rate, the jurisdiction(s) will work with property owners, interest groups, and the State and federal governments to ensure compliance with State law and implement the following: <ul style="list-style-type: none"> Technical Assistance: Provide technical assistance where feasible to public and non-profit agencies interested in purchasing and/or managing units at risk. Preservation Programs: Provide information to owners of at-risk properties regarding rehabilitation assistance and/or mortgage financing in exchange for extending affordability restrictions. Tenant Education: Hold public hearings upon receipt of any Notice of Intent to Sell or Notice of Intent to Convert to Market Rate Housing, pursuant to Section 65863.10 of the Government Code and provide tenant education on housing rights Retain all assisted multifamily housing (Ione – 43 units, Jackson – 258 unit, and Sutter Creek – 34 units) 	<p>Dec-25</p>	<p>6th Cycle</p>	<p>In Progress</p>	<p>The City annually monitors deed-restricted affordable housing units. During the reporting year, no units were lost and all units remain in compliance with recorded affordability restrictions.</p> <p>No properties were identified as at risk of conversion, and the City did not receive any Notice of Intent to Sell or Convert pursuant to Government Code Section 65863.10.</p> <p>The City will continue annual monitoring and remains prepared to provide technical assistance, preservation program information (including resources available through the California Department of Housing and Community Development and the U.S. Department of Housing and Urban Development), and tenant education if a property becomes at risk.</p>	<p>Units</p>		

<p>Program 11: Preserve Multifamily and Mobile Home Opportunities</p>	<ul style="list-style-type: none"> Update the code by December 2025 to establish provisions addressing the conversion or demolition of multifamily rental housing and mobile home parks with the intent of retaining multifamily units (701 units as identified in Background Report Table II-25) and mobile homes (1,432 units as identified in Background Report Table II-25) in all jurisdictions and assisting any households subject to relocation due to a multifamily or mobile home park demolition or conversion. The provisions shall address: <ul style="list-style-type: none"> Identification of affected households by income, household size, and special housing needs Notification to households at least 6 months prior to a required move-out date. Assistance to all lower income and special needs households in identifying affordable housing opportunities. 	<p>Dec-25</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>The required code update addressing demolition or conversion of multifamily units and mobile home units has not yet been adopted. Adoption remains scheduled for completion by the end of the cycle.</p> <p>No applications involving demolition or conversion were received during the reporting year; therefore, no relocation actions were required.</p> <p>The future ordinance will require: (1) identification of affected households by income, household size, and special needs; (2) at least six months' notice prior to move-out; and (3) assistance to lower-income and special needs households in identifying alternative affordable housing.</p>	<p>Households</p>		
<p>Program 11: Preserve Multifamily and Mobile Home Opportunities</p>	<ul style="list-style-type: none"> Moving costs to all affected households. Rental assistance for a minimum period of time to all lower income households who are not able to procure housing that is affordable to their income group (extremely low, very low, low). Option for all affected households to receive priority for any new or rehabilitated housing built on the same site within 3 years of move-out. 	<p>Dec-25</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>Not yet implemented</p>	<p>Households</p>		
<p>Program 12: Fair Housing Services</p>	<ul style="list-style-type: none"> As a means of furthering fair housing education and outreach in the community, each jurisdiction in Amador County will advertise the fair housing program through placement of fair housing information brochures on their websites, at the public counters, and in the local library(ies) by December 2023. Each jurisdiction to provide an annual outreach event to promote fair housing and to educate the community, landlords, and real estate professionals regarding fair housing requirements. Each jurisdiction shall continue to provide referrals to CDFEH and HUD and any locally designated providers on an ongoing basis, including promoting fair housing practices, review and enforcement assistance with fair housing complaints, and education to housing providers. 	<p>Dec-23</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>The fair housing outreach program has not yet been implemented.</p> <p>Fair housing brochures have not yet been distributed via the City website, public counter, or local library. An annual fair housing outreach event has not yet been conducted.</p> <p>As staff time and funding become available, staff will work on this.</p>	<p>Households</p>		
<p>Program 12: Fair Housing Services</p>	<ul style="list-style-type: none"> Housing Working Group to coordinate with ATCAA in 2023/2024 to determine if ATCAA can offer fair housing services to all County residents. If ATCAA cannot offer fair housing services, the Housing Working Group to contact fair housing advocates to identify interest in providing fair housing services to the County and identify a single Countywide point of contact for fair housing concerns by the end of 2024. 	<p>Dec-24</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>The Housing Working Group has not yet coordinated with the Amador-Tuolumne Community Action Agency (ATCAA) to determine the availability of countywide fair housing services.</p>	<p>Households</p>		
<p>Program 13: Affirmatively Further Fair Housing</p>	<p>Implement measures to affirmatively further fair housing on an ongoing basis, and as further outlined in Table 1.</p>	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>Not yet implemented due to staff and budget constraints.</p>	<p>Households</p>		

<p>Program 14: Affordable Housing Resources for Renters and Owners</p>	<ul style="list-style-type: none"> Develop an outreach program by December 2024 to connect lower income residents and the lower income workforce with new rental and ownership opportunities and access to resources for home ownership, housing rehabilitation, fair housing, temporary and long-term assistance in the event of a disaster, and other housing assistance programs as those become available, promoting fair housing choice and access to safe and decent housing within the community. Information shall be provided on each jurisdiction's website and social media channels, via announcements at the Board of Supervisors and City Council meetings, at the public counters, and in the local library(ies). Update outreach program materials at least annually to reflect correct contacts and program information. 	<p>Dec-24</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>The outreach program connecting lower-income residents and workforce households with rental and homeownership opportunities, housing rehabilitation programs, fair housing resources, and disaster-related housing assistance has not yet been developed.</p> <p>The City will prepare and implement the outreach program, if staff time and budget are available. Information will be posted on the City website and social media, announced at public meetings, and made available at public counters and local libraries. Outreach materials will be reviewed and updated at least annually to ensure accurate contact and program information.</p>	<p>Households</p>		
<p>Program 15: Adopt a Reasonable Accommodation Procedure for Housing</p>	<ul style="list-style-type: none"> Amador County, Amador City, Jackson, Plymouth, and Sutter Creek: Review and amend the Municipal Code a necessary to provide individuals with disabilities reasonable accommodation (in full compliance with Senate Bill 520) in rules, policies, practices, and procedures that may be necessary to ensure equal access to housing by December 2023. Include the following information: <ul style="list-style-type: none"> Providing notice to the public of the availability of an accommodation process. The notice will be provided at all counters where applications are made for a permit, license, or other authorization for siting, funding, development, or use of housing. Procedures for requesting reasonable accommodation, including preparation of a Fair Housing Accommodation Request form and designating the appropriate individual, committee, commission, or body responsible for acting on requests. 	<p>Dec-23</p>	<p>6th Cycle</p>	<p>In Progress</p>	<p>Partially implemented. Chapter 18.58-Accommodations of Persons with Disabilities was added to the Municipal Code in November 2023.</p>	<p>Other</p>		
<p>Program 15: Adopt a Reasonable Accommodation Procedure for Housing</p>	<ul style="list-style-type: none"> Review procedures for requests for reasonable accommodation, including provisions for issuing a written decision within 30 days of the date of the application. Criteria to be used in considering requests for reasonable accommodation. Appeal procedure for denial of a request for reasonable accommodation. The procedure should establish that there is no fee for processing requests for reasonable accommodation or for appealing an adverse decision related to a request for reasonable accommodation. All Jurisdictions: Create a public information brochure on reasonable accommodation for disabled persons and provide that information on each jurisdiction's website. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>Public information and brochures have not yet been provided.</p>	<p>Other</p>		

<p>Program 15B: Smoke-free Multi-unit Housing</p>	<ul style="list-style-type: none"> In 2024, review methods to reduce exposure to second-hand smoke in multi-unit and mixed use residential projects and identify at least three methods for implementation in 2025-2029. Methods may vary from jurisdiction to jurisdiction and may include: <ul style="list-style-type: none"> Consideration of a smoke-free ordinance, encouraging compliance through education, signage requirements, and property manager actions rather than police, fines, or evictions. Targeted education to landlords and tenants on the benefits of a smoke-free housing policy. Targeted outreach to landlords with resources including language to include in leases, assistance available to purchase signage, and local resources for residents who want to quit tobacco. 	<p>Dec-24</p>	<p>6th Cycle</p>	<p>In Progress</p>	<p>Not yet implemented On March 10, 2025 the working group met with Amador County Public Health to see how they can assist in helping the jurisdictions draft a Smoke Free MUH Ordinance.</p>	<p>Other</p>		
<p>Program 16: Federal Voucher Program</p>	<ul style="list-style-type: none"> Countywide Housing Working Group to contact the Stanislaus County Regional Housing Authority (StanCoHA) and ATCAA annually to invite StanCoHA to attend a meeting and provide information regarding the number of vouchers issued within the county, to identify opportunities to access additional assistance programs, including the Family Unification Program, currently unavailable in Amador County, to determine if additional vouchers may become available, and to identify if there are unused vouchers that should be advertised to County residents. If vouchers are available to Amador County residents or the waitlist opens up, the Countywide Housing Working Group shall coordinate outreach via each jurisdiction's website and announcements at the Board of Supervisors and City Council meetings. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>The Countywide Housing Working Group has not yet contacted Stanislaus County Regional Housing Authority or Amador-Tuolumne Community Action Agency regarding voucher availability or program outreach.</p>	<p>Other</p>		
<p>Program 16: Federal Voucher Program</p>	<ul style="list-style-type: none"> Continue to facilitate the use of the HCV and other Housing Authority and ATCAA programs throughout the County by advertising programs semiannually (double the current advertising schedule) on each jurisdiction's website, in community newsletters, and via each jurisdiction's social media accounts to reach a Countywide audience. Conduct annual targeted education to landlords and tenants in the area of the County with the highest proportions of persons with disabilities and in areas with the highest resources. Provide information on the availability of the Housing Choice Voucher Program on the County's and each jurisdiction's website and review information bi-annually to ensure contact information is correct. Work with StanCoHA to increase the number of households receiving Housing Choice Vouchers by 5%. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>Implementation will occur if staff time and budget permit and will include: semiannual advertising of HCV and other programs via websites, newsletters, and social media; annual targeted education for landlords and tenants in areas with the highest disability populations and resources; posting and bi-annual review of HCV program information online; coordinating with StanCoHA to identify vouchers, including Family Unification and unused vouchers; and increasing households receiving vouchers by 5%.</p>	<p>Other</p>		

<p>Program 17: Development Code/Zoning Code Amendments</p>	<p>Each jurisdiction to complete the following zoning and development amendments to its code to streamline definitions, encourage and support a variety of housing types, including special needs housing and affordable housing, by July 2024 (note: refer to Chapter III (Housing Constraints) for a detailed analysis of revisions required to each jurisdiction's code): <ul style="list-style-type: none"> o Definitions- Family (Amador County, Amador City, Sutter Creek): Define "family" and "household" to include unrelated members of a household who reside together, to not regulate the relationship of members, and to impose no restriction on the number of persons who may reside together as a family or household. </p>	<p>Jul-24</p>	<p>6th Cycle</p>	<p>Completed</p>	<p>The definition of family was amended in September 2023.</p>	<p>Other</p>		
<p>Program 17: Development Code/Zoning Code Amendments</p>	<ul style="list-style-type: none"> o Low Barrier Navigation Centers (Amador County, Amador City, Jackson, Plymouth, and Sutter Creek): Define and permit low barrier navigation centers consistent with the requirements of Government Code Sections 65660 through 65668, including treating low barrier navigation centers as a by-right use in areas zoned for mixed use and in nonresidential zones permitting multi-family uses (if applicable). o Transitional and Supportive Housing (Amador County, Amador City, Jackson, Plymouth, and Sutter Creek): Revise as necessary to ensure that transitional and supportive housing are allowed in residential and mixed-use zones in accordance with Government Code Section 65583(c)(3), and to allow eligible supportive housing in zones where multi-family and mixed uses are permitted in accordance with Government Code Sections 65650 through 65656. 	<p>Jul-24</p>	<p>6th Cycle</p>	<p>Completed</p>	<p>Low barrier navigation centers and Transitional and Supportive housing were added to the Zoning Ordinance in September 2023.</p>	<p>Other</p>		
<p>Program 17: Development Code/Zoning Code Amendments</p>	<ul style="list-style-type: none"> o Special Needs Housing (Amador County, Amador City, Plymouth, and Sutter Creek): Revise as necessary to ensure that special needs housing is accommodated in accordance with California Health and Safety (HSC) Code Section 1566.3, which establishes requirements for residential facilities that serve six or fewer persons including that residential care homes serving six or fewer persons will be treated in the same manner as a residence of the same type and not be subject to additional standards (such as parking). o Persons with Disabilities - Group homes 7 or more persons (Amador County, Amador City, lone, Jackson, Plymouth, and Sutter Creek): Permit these uses in all zones allowing residential uses with objectivity and only subject to the requirements of other residential uses of the same type in the same zone. 	<p>Jul-24</p>	<p>6th Cycle</p>	<p>Completed</p>	<p>Special Needs Housing was added to the Zoning Ordinance in September 2023.</p>	<p>Other</p>		

<p>Program 17: Development Code/Zoning Code Amendments</p>	<ul style="list-style-type: none"> o Employee Housing (Amador County, Amador City, Jackson, and Plymouth, and Sutter Creek): Ensure that employee housing serving six or fewer employees shall be deemed a single family structure and shall be treated subject to the standards for a single family dwelling in the same zone per requirements of Health and Safety Code Section 17021.5. o Farmworker Housing (Amador County, Jackson, Sutter Creek): Ensure that agricultural employee housing is allowed in zones that permit agricultural uses consistent with the requirements of Health and Safety Code Sections 17021.6 and 17021.8. o Farmworker Housing (Plymouth): Ensure that agricultural employee housing is allowed consistent with the requirements of Health and Safety code Section 17021.8. 	<p>Jul-24</p>	<p>6th Cycle</p>	<p>Completed</p>	<p>Employee Housing was added to the Zoning Ordinance in September 2023.</p>	<p>Other</p>		
<p>Program 17: Development Code/Zoning Code Amendments</p>	<ul style="list-style-type: none"> o Emergency Shelters: (Amador County, Amador City, Jackson, and Sutter Creek): Revise as necessary to ensure that emergency shelters are accommodated in accordance with the federal Religious Land Use and Institutionalized Persons Act and Government Code Section 65583, which requires each jurisdiction to identify one or more zoning districts where emergency shelters are allowed without a discretionary permit, including ensuring that emergency shelters are allowed in zones where residential uses are also permitted consistent with the requirements of Government Code Section 65583(a)(4)(H) and are defined consistent with Government Code Sections 65582 and 65583(a)(4)(C). Require sufficient parking to accommodate all staff working in an emergency shelter, provided that the standards will not require more parking for emergency shelters than other residential or commercial uses within the same zone. o Emergency Shelters: (Jackson): Revise to allow 25 beds within each emergency shelter. 	<p>Jul-24</p>	<p>6th Cycle</p>	<p>Completed</p>	<p>Emergency Shelters were added to the Zoning Ordinance in September 2023.</p>	<p>Other</p>		
<p>Program 17: Development Code/Zoning Code Amedments</p>	<ul style="list-style-type: none"> o Emergency Shelters (All jurisdictions): Update the definition of emergency shelter to be consistent with Government Code Section 65583(a)(4)(C) and ensure that emergency shelters are permitted ministerially when ancillary to permitted places of worship and churches. 	<p>Jul-24</p>	<p>6th Cycle</p>	<p>Completed</p>	<p>The definition of Emergency Shelters was updated in the Zoning Ordinance in September 2023.</p>	<p>Other</p>		

<p>Program 17: Development Code/Zoning Code Amendments</p>	<p>o Mobile Homes and Manufactured Homes (Amador County, Amador City, Plymouth, and Sutter Creek): Review and amend as necessary to remove restrictions on mobile homes and manufactured homes that conflict with the provisions of Government Code Section 65852.3, which require that manufactured and mobile homes on a permanent foundation be subject to the same requirements as a single family residence, with certain exceptions for architectural requirements, age of the home, and sites listed on the National Register of Historic Places. Additional jurisdiction-specific updates are as follows: • Sutter Creek: Limit the restriction of manufactured homes within the "Historic District" designations or the HR Combining Zone to places, buildings, structures, or objects listed on the National Register of Historic Places, with manufactured homes subject to the same review requirements as other residential unit development in this district.</p>	<p>Jun-24</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>Not yet implemented.</p>	<p>Other</p>		
<p>Program 17: Development Code/Zoning Code Amedments</p>	<p>o Application Streamlining (Amador County, Amador City, Plymouth, Sutter Creek, and Jackson): To facilitate residential development and to comply with State law, each jurisdiction will be updated to ensure that eligible multi-family projects with an affordable housing component are provided streamlined review and are subject only to objective design standards consistent with relevant provisions of SB 35 and SB 330, as provided for by applicable sections of the Government Code, including but not limited to Sections 65905.5, 65913.4, 65940, 65941.1, 65950, and 66300. State law defines objective design standards as those that "involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant and public official prior to submittal." Each jurisdiction will review and modify the Design Review criteria to ensure application processing timelines comply with the requirements of applicable State laws, including Government Code Sections 65950-65957.5), streamline and simplify the process, including a limitation on the maximum number of hearings per project, and ensure objective standards and findings are applied to projects subject to Design Review.</p>	<p>Jul-24</p>	<p>6th Cycle</p>	<p>Completed</p>	<p>Included as part of the September 2023 Zoning Ordinance Amendment.</p>	<p>Other</p>		

<p>Program 17: Development Code/Zoning Code Amendments</p>	<p>o Objective Design & Development Standards (Amador County, Amador City, Jackson, Plymouth, and Sutter Creek). Each jurisdiction will adopt objective design and development standards for multifamily housing, including ministerial (by-right) residential and mixed-use development, and will ensure that the standards, including floor area ratio, unit size, height, setback, and parking requirements, accommodate the maximum densities permitted, and provide flexibility with the design of building types and units to accommodate irregular lots and steep slopes. These objective standards will replace any subjective standards, including site plan review findings, design review standards, and other standards required for single family and multifamily housing or will remove or include objective definitions and/or illustrations of any subjective terms, such as "compatibility", "orderly", "harmonious", "character", and "integrity".</p>	<p>Jul-24</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>Sutter Creek has not yet adopted objective design and development standards for multifamily housing. Implementation is pending staff availability and budget. When completed, the standards will ensure by-right residential and mixed-use development accommodates maximum densities, provides flexibility for irregular lots and steep slopes, and replaces or clarifies subjective terms such as "compatibility," "orderly," and "harmonious."</p>	<p>Other</p>		
<p>Program 17: Development Code/Zoning Code Amendments</p>	<p>o Density Bonus (Amador County, Amador City, lone, Jackson, Plymouth, and Sutter Creek). Revise to reflect current requirements of the State's density bonus law, including alternative parking ratios, which shall also be reflected in the jurisdiction's parking standards section(s) of its code, including 1 space per studio (0 bedroom) and 1-bedroom units and 1.5 spaces per 2- and 3-bedroom units for projects that include affordable and special needs housing, and establish application requirements and decision-making criteria (Government Code Section 65915). o Reasonable Accommodations (Amador County, Amador City, Jackson, Plymouth, and Sutter Creek). Provide for reasonable accommodation for persons with a disability consistent with the HCD Reasonable Accommodation Model Ordinance, including objective findings for the approval of a reasonable accommodation application. o Accessibility (All jurisdictions): Require new development projects with 10 or more units to include accessibility options for buyers as part of each home plan.</p>	<p>Jul-24</p>	<p>6th Cycle</p>	<p>Completed</p>	<p>Included as part of the September 2023 Zoning Ordinance Amendment.</p>	<p>Other</p>		

<p>Program 17: Development Code/Zoning Code Amedments</p>	<p>o Density Range (All jurisdictions): Require new development on the sites identified for very low, low, and moderate income to occur at 75% of allowed densities or higher, with exceptions provided for site-specific development constraints, affordable housing, and special needs housing. o Conversion of Multifamily Rental to Ownership or Non-Residential Uses: Establish provisions to ensure that the conversion of multifamily rental to ownership or non-residential uses addresses the potential for displacement of households, including adequate notice (6 or more months), identification of affordable housing opportunities in the region, assistance to lower income and special needs housing with locating replacement housing, moving assistance, and priority for any residents interested in new ownership opportunities at the location.</p>	<p>Jul-24</p>	<p>6th Cycle</p>	<p>Completed</p>	<p>Included as part of the September 2023 Zoning Ordinance Amendment.</p>	<p>Other</p>		
<p>Program 17: Development Code/Zoning Code Amendments</p>	<p>o Reduce Constraints to a Variety of Housing Types: - Encourage developer constructed affordable housing in large, undeveloped portions of the City's planning area through use of the Planned Development (PD) land use zoning designation, including provisions to encourage clustering of units on small lots to reduce the cost of lots, housing construction, improvements, site preparation, and infrastructure.</p>	<p>Jul-24</p>	<p>6th Cycle</p>	<p>Completed</p>	<p>Sutter Creek encourages affordable housing through the Planned Development (PD) zoning designation, allowing clustered units to reduce costs. This approach has been applied in the 150-lot Sutter Creek Ranch development through the use of a Specific Plan.</p>	<p>Units</p>		
<p>Program 18: Code Reivew</p>	<p>Review and update local codes to address requirements of State law. Codes shall be reviewed every 3 years to implement any housing laws or any changes identified, including changes identified by HCD as part of its review of implementation of the Housing Element or review of ordinances where provided by the Government Code, to comply with existing housing laws. <ul style="list-style-type: none"> Review local code requirements annually to ensure that amendments are made where necessary to reduce impacts to life and property. Review updates to the California Building Standards Code on a triennial basis and adopt updates to code requirements accordingly. </p>	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Continuous</p>	<p>Sutter Creek reviews local codes annually and the California Building Standards Code triennially. Updates identified by HCD or new State housing laws will be adopted as staffing and time allow.</p>	<p>Other</p>		

<p>Program 19: Water and Wastewater Infrastructure Capacity</p>	<ul style="list-style-type: none"> • In 2023, the Housing Working Group shall meet with AWA to identify necessary steps and resources to address water and wastewater system improvements where needed to accommodate the RHNA. • Housing Working Group to identify methods to encourage water conservation and reduce wastewater effluent by December 2025, including coordinating with the water and wastewater providers to promote conservation and reviewing opportunities to increase efficiencies in new construction and rehabilitation projects. • Continue to work cooperatively with AWA, ARSA, and other agencies that own or operate water and sewer infrastructure on an ongoing basis and each jurisdiction shall review efforts annually and the Housing Working Group shall meet with water and wastewater providers at least annually.. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Continuous</p>	<p>The City has entered into a design-build contract for a new Wastewater plant which is designed to handle future growth in Both Martell and Sutter Creek</p>	<p>Other</p>		
<p>Program 19: Water and Wastewater Infrastructure Capacity</p>	<ul style="list-style-type: none"> • Housing Working Group to support infrastructure providers in pursuing funding to complete necessary improvements or to assist developers and agencies to complete these capital improvement projects as necessary on an ongoing basis to increase the availability of housing for low and very low income households, with efforts to identify potential applications and submittal of applications at least annually. • Housing Working Group to investigate establishment of assessment districts with a capital facilities fee on an ongoing basis to assist in funding infrastructure improvements by December 2026. • Submit a funding application to the USDA's Small Communities Rural Utilities Service Grants & Loans Program annually. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Continuous</p>	<p>The Working Group will continue to work with both AWA and ARSA on an as needed basis to address infrastructure constraints.</p>	<p>Other</p>		
<p>Program 19: Water and Wastewater Infrastructure Capacity</p>	<ul style="list-style-type: none"> • Each jurisdiction shall adopt any necessary fee programs and shall seek funding resources to support improvement and expansion of water and wastewater systems to accommodate the RHNA by December 2025. • The City of Lone shall develop a program to complete wastewater system improvements to expand its treatment capacity by 2024/2025 in order to accommodate its RHNA. • Coordinate with AWA and the cities to update Figures III-1 and III-2 X every 3 years (December 2026, December 2029) to identify parcels that are proximate to existing water and sewer service and planned water and sewer service as well as parcels where the cost to extend services would be considerable to assist developers in targeting locations for housing proposals. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>In Progress</p>	<p>The City initiated a Nexus Study in 2025. The City is near completion of wastewater collection capacity extension that will support Sutter Hill area including the new low income housing project.</p>	<p>Other</p>		

<p>Program 19: Water and Wastewater Infrastructure Capacity</p>	<ul style="list-style-type: none"> Where applicable, use development agreements or other mechanisms to ensure fair-share funding of off-site infrastructure and facility improvements on an ongoing basis and review projects at least annually to ensure implementation. Following adoption of the Housing Element, each jurisdiction shall provide the adopted Housing Element within 30 days to its water and sewer providers and shall include a cover letter identifying the requirements of Government Code Section 65589.7(a) requiring priority service for developments that provide housing for lower income households. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Continuous</p>	<p>As development occurs, the adoption of a Development Agreement will be considered.</p>	<p>Other</p>		
<p>Program 20: Partnerships with Affordable Housing Developers</p>	<ul style="list-style-type: none"> Facilitate land divisions, lot line adjustments, and specific plans resulting in parcel sizes that facilitate multi-family developments affordable to lower income households. Work with property owners and non-profit developers to target and market the availability of sites with the best potential for development, including annual outreach to property owners and non-profit developers identifying very low and low income sites included in the inventory of residential land. Host an annual meeting with affordable housing developers and non-profits to identify housing opportunities and to identify City programs and incentives that support affordable housing development through provision of land writedowns, regulatory incentives, and/or direct assistance. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>Not yet implemented</p>	<p>Other</p>		
<p>Program 20: Partnerships with Affordable Housing Developers</p>	<ul style="list-style-type: none"> Annually meet with County representatives, developers, and major farmworker employers to discuss farmworker housing needs and to identify opportunities and potential applications for funding, with an objective of submitting at least two funding applications during the planning period for farmworker housing projects, including one new construction project and one rehabilitation project (rehabilitation may be existing housing primarily serving farmworkers or developing a rehabilitation loan/grant program targeted toward farmworker housing). 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Continuous</p>	<p>City staff will continue to work with developers on potential affordable housing projects.</p>	<p>Other</p>		
<p>Program 21: Child Care Program</p>	<ul style="list-style-type: none"> Continue to promote the provision of childcare in conjunction with residential development, including affordable housing projects, on an ongoing basis. 	<p>Dec-29</p>	<p>6th Cycle</p>	<p>Continuous</p>	<p>Zoning Ordinance updated to include childcare as an allowed use, September 2023.</p>	<p>Other</p>		
<p>Program 22: Application Processing Procedures</p>	<ul style="list-style-type: none"> Review application processing procedures in 2025 and 2028 and make any necessary amendments to reduce constraints to housing approvals and ensure development proposals are processed in accordance with State law, including the time periods identified by the Permit Streamlining Act. 	<p>Dec-25</p>	<p>6th Cycle</p>	<p>Continuous</p>	<p>Procedure will be reviewed annual and updated as staffing and budget permit</p>	<p>Other</p>		

<p>Program 23: Ongoing Community Education and Outreach</p>	<ul style="list-style-type: none"> • Provide information on ADUs, JADUs, SB 9 units, and streamlined permitting opportunities for eligible housing development projects at the public counter of each jurisdiction, at local libraries, and on each jurisdiction's website by June 2023 and update information bi-annually. • Amador County to maintain the County's existing webpage providing links and contact information for of the County's housing and job-training organizations (e.g., Amador County Association of Realtors, Gold Country Alliance for the Mentally Ill, ATCAA, Voices for Families, Area 12 Agency on Aging, Amador Affordable Housing Coalition, Amador Economic Development Corporation, Amador County Department of Health & Human Services, and similar organizations) and review page annually to update contact information as necessary. 	<p>Jun-23</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>Not yet implemented due to staff constraints.</p>	<p>Units</p>		
<p>Program 23: Ongoing Community Education and Outreach</p>	<ul style="list-style-type: none"> • Provide information regarding housing rehabilitation, energy efficiency programs, weatherization, emergency repair assistance, and free energy audits (when available) at the public counter of each jurisdiction, at local libraries, and on each jurisdiction's website by June 2023 and update information biannually. • In coordination with ATCAA, encourage low income homeowners or renters to apply for free energy audits and home weatherization through ATCAA by June 2023. <ul style="list-style-type: none"> o Provide handouts at the public counter and website of each jurisdiction. o Promote these programs through the senior centers for seniors seeking assistance with home maintenance. 	<p>Jun-23</p>	<p>6th Cycle</p>	<p>Not Yet Started</p>	<p>Not yet implemented due to staff and budget constraints.</p>	<p>Units</p>		
<p>Program 23: Ongoing Community Education and Outreach</p>	<ul style="list-style-type: none"> • Continue to make available published materials and resource referral information for renters on the following subjects: housing discrimination, landlord/tenant relations, access to legal aid services for housing complaints, and information on housing advocacy programs and similar information. Information should be made available at each jurisdiction's public counter and website, at the Health and Human Services Agency, at the County library (and its branches), and similar locations where individuals may be in need of fair housing information by June 2023. • Provide information on the availability of the Housing Choice Voucher Program at each jurisdiction's public counter and website by June 2023. 	<p>Jun-23</p>	<p>6th Cycle</p>	<p>Continuous</p>	<p>Information is currently available on the City's Website.</p>	<p>Other</p>		
<p>Program 24: Governmental Transparency</p>	<p>All jurisdictions to provide fiscal documents to ensure transparency pursuant to Government Code Section 65940 no later than December 2024:</p> <ul style="list-style-type: none"> • Sutter Creek to update its website to provide its building permit fee schedule and its five previous annual fee reports, and archive of impact fee nexus studies, cost of service studies, or equivalent conducted on or after January 1, 2018. 	<p>Dec-24</p>	<p>6th Cycle</p>	<p>Continuous</p>	<p>City staff regularly updates the City's website with fiscal documents.</p>	<p>Other</p>		

