



Planning Commission Meeting Agenda

Monday, March 10, 2025 at 6:00 PM

33 Church Street, Sutter Creek, CA 95685

The Agenda can be found on the City's Website: www.cityofsuttercreek.org

The City of Sutter Creek City Council Meeting will be available via Zoom and in person.

Join Zoom meeting:

<https://us02web.zoom.us/j/81391466458?pwd=4jXmBm1AP5bEbiID3iDwuxk4GpreRY.1>

Please note: Zoom participation is only available for VIEWING the Council meeting.

Public Comment will not be taken from Zoom

Or Dial by phone: 301 715 8592 Webinar ID: 816 8589 0182 Passcode: 186036

Unless stated otherwise on the agenda, every item on the agenda is exempt from review under the California Environmental Quality Act ("CEQA") per CEQA Guidelines Sections 15060(c), 15061(b)(3), 15273, 15378, 15301, 15323 and/or Public Resources Code Section 21065.

- 1. Call to Order and Establish a Quorum for Regular Meeting**
- 2. Pledge of Allegiance to the Flag**
- 3. Public Forum**

Discussion items only, no action to be taken. Any person may address the Commission at this time upon any subject within the jurisdiction of the Planning Commission; however, any matter that requires action may be referred to staff and/or Committee for a report and recommendation for possible action at a subsequent meeting. Please note – there is a five (5) minute limit per topic.

- 4. Consent Agenda**

Items listed on the consent agenda are considered routine and may be enacted in one motion. Any item may be removed for discussion at the request of the Commission or the Public.

A. Planning Commission Minutes of Jan 13, 2025

Recommendation: Approval of Minutes

B. Sign Permit Application: 32 Main St.. Applicant: Josh McEwen

Recommendation: Approval of sign application as submitted

5. Public Hearings

A. Variance Application for David and Kathy Ghormley requesting a reduction in front yard setback from 25' to 18' for an accessory structure located at 190 Mahoney Mill Road.

RECOMMENDATION:

1) Conduct a public hearing and receive public input; and

2) Adopt Resolution 2024-2025- approving the variance request for 190 Mahoney Mill Road.*

B. B. SITE PLAN PERMIT - 551 HWY 49, The Taco Spot/Italian Benevolent Society

1. Conduct a public hearing and receive public input, and

2. Find that the project is Categorically Exempt under 15301 (Existing) CEQA Guidelines; and

*3. Adopt Resolution 24-25-** approving a Site Plan Permit for the Italian Benevolent Society to construct an approximate 46' by 30' (1,380 sf) metal structure over the existing seating area in front of the previously approved food truck, The Taco Spot. (APN: 044-020-086)*

C. CONDITIONAL USE PERMIT FOR A SHORT-TERM RENTAL

90 Boston Alley APN 018-132-017

1. Conduct a public hearing and receive public input, and

2. Find that the project is Categorically Exempt under Class 32 of the CEQA Guidelines; and

3. Adopt Resolution 24-25- approving a Conditional Use Permit for Sandra Wilson to operate a Short-Term Rental, a room within the existing house, at 90 Boston Alley based on the proposed Findings and subject to the proposed Conditions of Approval.*

6. Adjournment



Planning Commission Meeting Minutes

Monday, January 13, 2025 at 6:00 PM

33 Church Street, Sutter Creek, CA 95685

The Agenda can be found on the City's Website: www.cityofsuttercreek.org

The City of Sutter Creek Planning Commission Meeting Was available via Zoom and in person.

1. Call to Order and Establish a Quorum for Regular Meeting

PRESENT: Andrea Macon, Thomas Baggett, Lucy Mulvey, Mike Kirkley, Lisa Ryan

STAFF: Erin Ventura, Tom DuBois

2. Pledge of Allegiance to the Flag

Led by Chair Kirkley

3. Public Forum

4. Consent Agenda

A. Planning Commission Minutes of Dec 9, 2024

Recommendation: Approval of Minutes

Motion Baggett, Second Mukvey

Passed 5 - 0

5. Public Hearings

A. Planning Commission City Council Joint Session Planning

Discussion item to create Planning Commission Update for Council

City Manager DuBois thanked Susan Peters for her letter. Clarified that the planning session was to focus on process discussion, not any specific projects. Discussion was about city priorities and the planning commission's role as an advisory body to City Council. A joint session is planned for March 3.

Commission Kirkley discussed a general plan update through a grant and felt there was a need to clean up zoning maps. He mentioned favoring infill and not annexation.

Commissioner Macon felt signs could be approved by staff but STR should return to the planning commission. Saw a need for smaller houses, community resources, shared gardens, and encouraging more of a mix of housing types.

Commissioner Mulvey wanted clear information on potential contamination and for environmental reports to be provided.

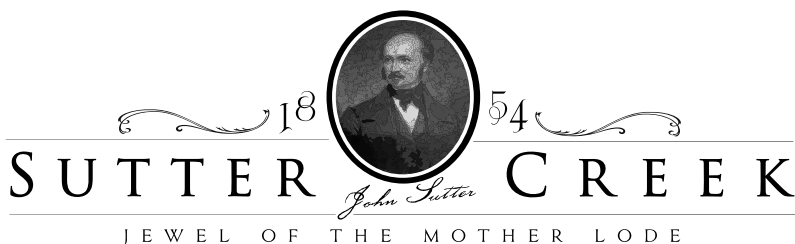
Commission Ryan would like packet information when notices are sent to neighbors. Staff releases packets 7 days before meetings but notices go out 10 days ahead of time. One option would be for commissioners to also get notices. Also felt we should determine if STRs approved before were still active.

Commissioner Baggett wanted to be careful not to influence planning commission decisions through pre screenings. Agreed that STR should come to the planning commission.

PUBLIC Comment

Susan Peters - doesn't recommend pre screenings in general. Public hearing de novo. Jackson uses a Priority allocation process which allows for some screening. Projects are submitted in the first part of the year, get scored by planning commission, There is policy work required with the Housing element, a lot of implementation measures that could be reviewed by planning commission , and some new policies needed.

6. Adjournment 6:43PM



STAFF REPORT

TO: PLANNING COMMISSION

MEETING DATE: MARCH 10, 2025

FROM: ERIN VENTUA, PLANNING CONSULTANT

SUBJECT: SIGN PERMIT APPROVAL
32 MAIN STREET- RE/MAX FOOTHILL PROPERTIES
APN 018-180-002

RECOMMENDATION:

Approve a sign permit application for 32 Main Street, RE/Max Foothill Properties, for a double sided (each side 2'x 2' = 4 sq. ft.) 8 sq. ft. sign and a 16 sq. ft wall mounted sign for a total square footage of 20 sf.

BACKGROUND:

Josh McEwen, from RE/Max Foothill Properties, submitted an application for a Sign Permit (Exhibit A) for 32 Main Street, Sutter Creek.

See Table 1 for proposed sign checklist.

Table 1. Proposed Sign Checklist

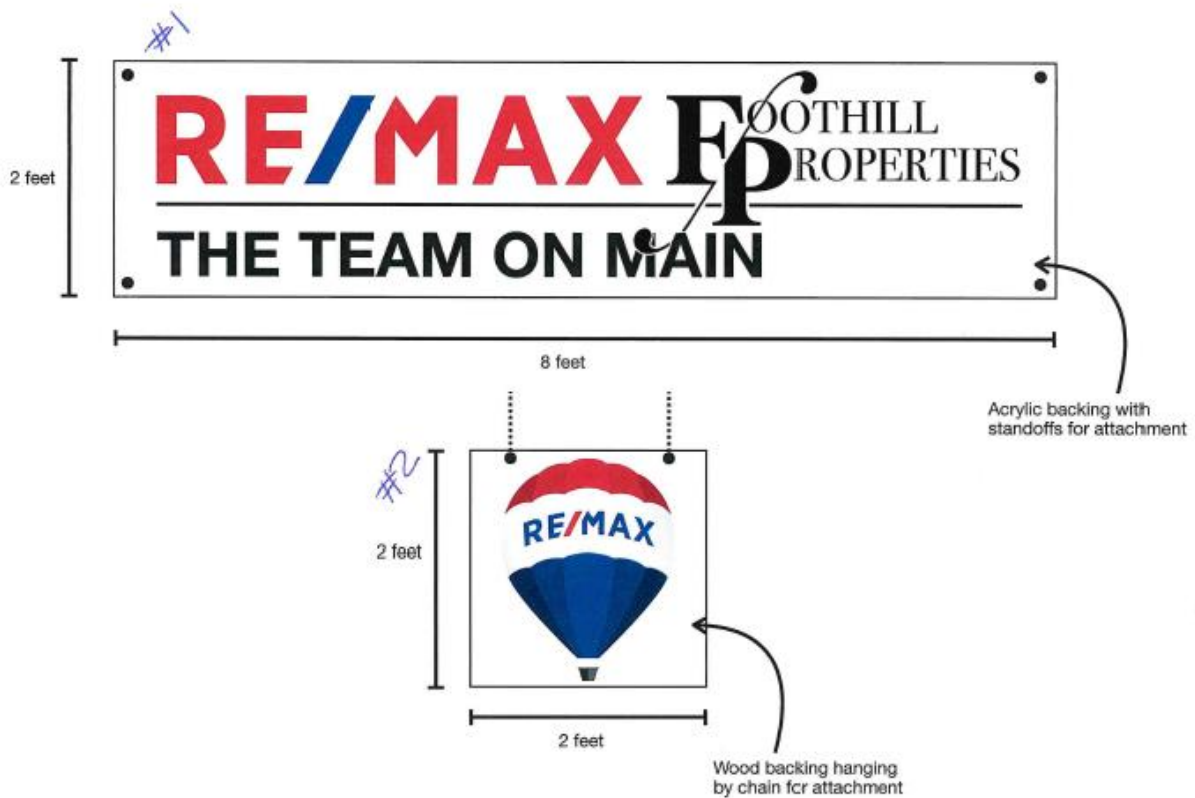
Site	32 Main Street (018-180-002)
Building Plan	N/A
Lot Size	.09 acres / 4,206 sq. ft.
Zoning	DTC- Downtown Commercial
General Plan Land Use Designation	DTC- Downtown Commercial
Main Street Historic District	Yes
Historic District	No
Building Frontage in Lineal Feet	24
Sign Preparer	Merzlak
Code Section	15.16 – Signs,
15.16.070 – Signs in Historical District	
A. Frontage length: 24 feet	Proposed: 24 sq. ft., Allowed: 25 sq. ft.
Property Owner Approval	Yes

DISCUSSION:

The sign as presented meets the Code requirements.

Section 4, Item B.

Table 2 Sign Specifications				
Sign Type	Measurements	Sq. ft.		Total sq. ft.
Red, White, and blue wood and acrylic	2'x 2' =	8 sf	Double sided	8 sf
	2'x 8' =	16 sf	Single sided	16sf
			Total Square Feet	24 sf



The proposed sign will serve the RE/Max Foothill Properties, a business located on Main Street within the Downtown Commercial Zoning District. The double sided sign will hang from the underside of an existing second story deck.

Section 4, Item B.



ENVIRONMENTAL:

The project is Class 11 CEQA exempt based on section 15311(a) On-premise signs. No further environmental review is required.

BUDGET IMPACT:

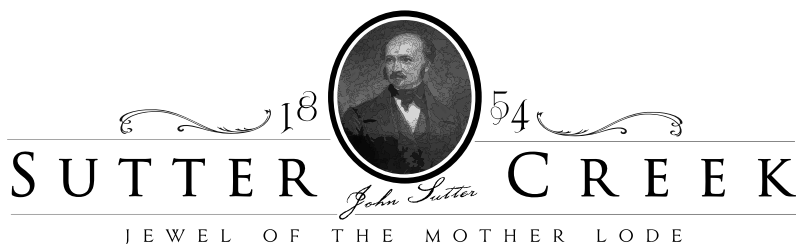
None.

* * * *

EXHIBIT A
32 MAIN STREET SIGN APPLICATION

Section 4, Item B.

City of Sutter Creek 18 Main Street Sutter Creek, CA 95685 209-267-5647 www.cityofsuttercreek.org		RECEIVED: <u>2/10/25</u> FEE PAID: <u>1100</u> <u>CC 091</u> <u>2/10/25</u>
Submission Requirements		
1- Application* 2- Sketch or Image of Sign(s)* 3- Fees (Refer to current fee schedule. All Fees must be paid at City Hall) <i>*All documentaion must be submitted via the application portal on the City website</i>		
SIGN PERMIT APPLICATION		
Page 1 of 9		
Project Applicant: <u>JOSH MCEWEN - RE/MAX FOOTHILL PROPERTIES</u>		
Project Address: <u>32 MAIN ST, SUTTER CREEK, CA 95685</u>		
Phone: <u>(209) 660-0078</u>	Email: <u>REALTOR@JOSHMCWEN.COM</u>	
APN: <u>018-180-002-000</u>	Is this located in the Historic District? Yes ☒ No ☐ If yes, please see checklist for Design Review.	
	Is this located in the Historic Corridor? Yes ☒ No ☒ Commercial ☒ Industrial ☐	
Property Owner:		
Name: <u>DEIDRE MEATH</u>	Phone: <u>(209) 304-0948</u>	
Mailing Address: <u>PO BOX 9915</u>	Email: <u>DMEATH9@HOTMAIL.COM</u>	
City: <u>SUTTER CREEK</u>	State: <u>CA</u>	Zip: <u>95685</u>
Is this person the project contact? If not, please specify who the contact person is. Name: <u>JOSH MCEWEN</u>		
Mailing Address: <u>32 MAIN ST, SUTTER CREEK, CA 95685</u>		
Phone: <u>(209) 660-0078</u>	Email: <u>REALTOR@JOSHMCWEN.COM</u>	
SIGNS TO BE PREPARED BY: <u>MERZLUK</u>		
BUILDING FRONTAGE @ PRIMARY ENTRANCE: <u>110 FEET</u> in LINEAL FEET		
EXISTING SIGNS: TO BE UTILIZED FOR THIS BUSINESS: (INCLUDE NUMBER OF SIDES AND DIMENSIONS FOR EACH SIGN) <u>N/A</u>		
PROPOSED SIGNS: FOR EACH PROPOSED SIGN ATTACH A SKETCH/PHOTO SHOWING THE FOLLOWING: (CHECK EACH BOX UPON COMPLETION)		
☒ Sign design: <u>ATTACHED GRAPHICS</u> (Attached lettering and graphics, drawn to scale)	☒ Type of Materials to be used: <u>WOOD/ACRYLIC</u> (briefly describe)	
☒ Total signage requested: <u>20</u> Sq.Ft.	☒ Method of attachment: <u>STAND-OFFS / CHAIN</u>	
☐ Total allowable signage: _____ Sq.Ft. (Per Sign Ordinance)	☒ Total number of sides: <u>3</u>	
☒ Location of sign(s): <u>ON BUILDING AND HANGING ABOVE WALKWAY</u>	☒ Colors: <u>RED, WHITE, BLUE</u> (Including letters, graphics, & background)	
I hereby certify that I am the Owner of the business applying for this Sign Permit (or the Owner's authorized representative) and agree to abide by the requirements of the Sutter Creek Sign Ordinance as codified in Chapter 15.16 of the Sutter Creek Municipal Code.		
APPLICANT'S SIGNATURE <u>Deidre Meath</u>		DATE <u>1/30/25</u>
PROPERTY OWNER SIGNATURE		DATE <u>02/07/25</u>
PLANNING COMMISSION ACTION:		
APPROVED: ☐	DENIED: ☐	MEETING DATE:



MEETING DATE: MARCH 10, 2025

TO: CITY OF SUTTER CREEK PLANNING COMMISSION

FROM: ERIN VENTURA, PLANNING CONSULTANT

**SUBJECT: REQUEST FOR VARIANCE – 190 MAHONEY MILL ROAD
(APN 018-112-012)**

RECOMMENDATION:

- 1) Conduct a public hearing and receive public input; and
- 2) Adopt Resolution 2024-2025-* approving the variance request for 190 Mahoney Mill Road.

BACKGROUND:

Location: 190 Mahoney Mill Road; APN 018-112-012

Zoning: R-1

General Plan: RSF Residential Single Family

Request: Request for a variance from the front yard setback requirements

DISCUSSION:

The owner is requesting a variance to construct an accessory structure located 18 ft from the front property line, where 25 ft is required. The proposed accessory structure is 16' by 29' (464sf). The entrance to the accessory structure, which is enclosed on three sides, will face the existing home on the site.

The parcel is 3.74 acres with an existing single family residence, barn and additional outbuildings. The barn is located on the property line. The lot slopes down from the street and has a very rural feel.

R-1 zoning requires a 25-foot front setback, five-foot side setback and 15-foot rear setback. The parcel is located within the Historic District and was reviewed by the Design Review Committee at their February 10, 2025 meeting.

The applicant has indicated the variance is required due to the slope of their property. Although the parcel is large in size, there is a significant slope down from Mahoney Mill Road. The applicant intends to use the structure to store an existing recreational trailer, that is currently parked there. This location is flat and easily accessible from the road.

The structure is proposed to be painted grey, which will match the house when the house is repainted/resided later this year. The roof is metal, which also matches the house and existing barn that is visible from the street.

The applicant has planted a hedge to screen the proposed structure.

The site plan and proposed plans, including elevations, are attached.

FIGURE 1 – PARCEL LOCATION MAP – 190 Mahoney Mill Road

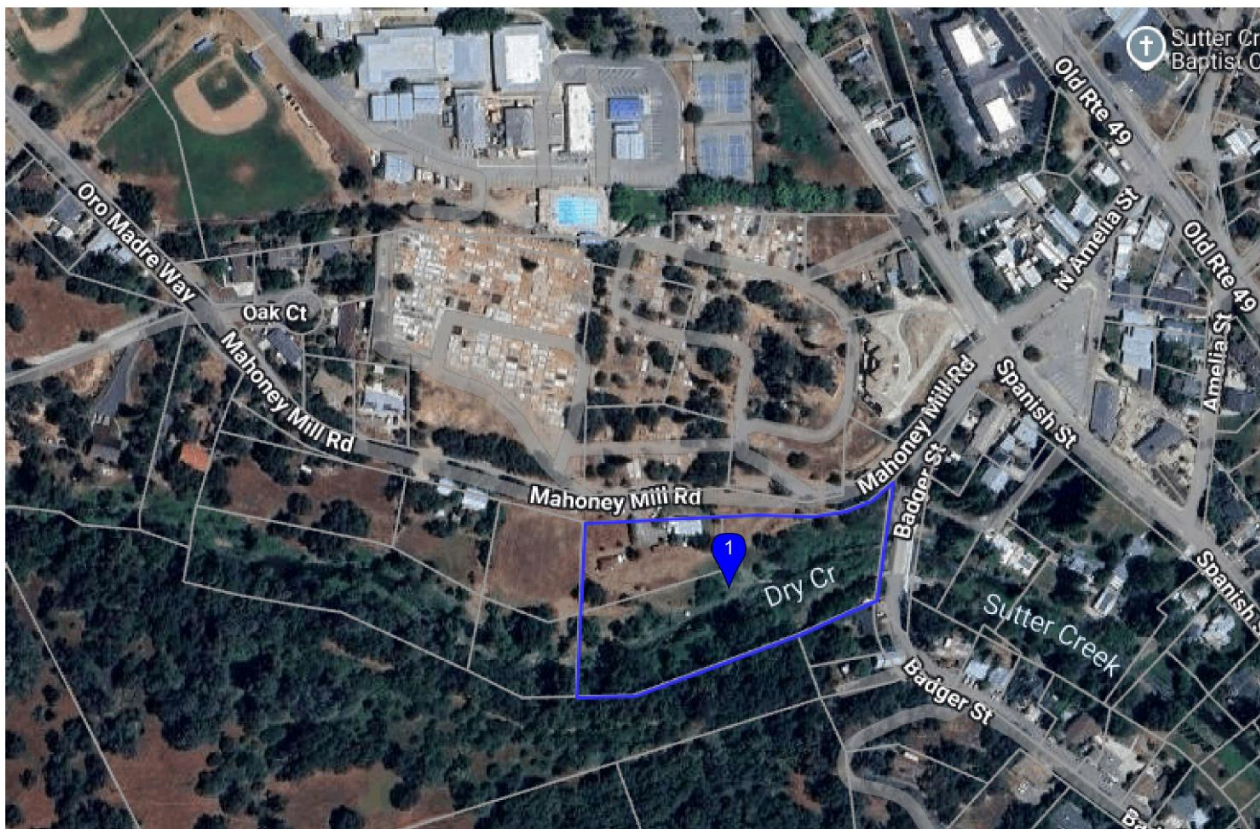


FIGURE 2 – STREET VIEW- 190 Mahoney Mill Road



FIGURE 3 – STREET VIEW- 190 Mahoney Mill Road

Section 5, Item A.

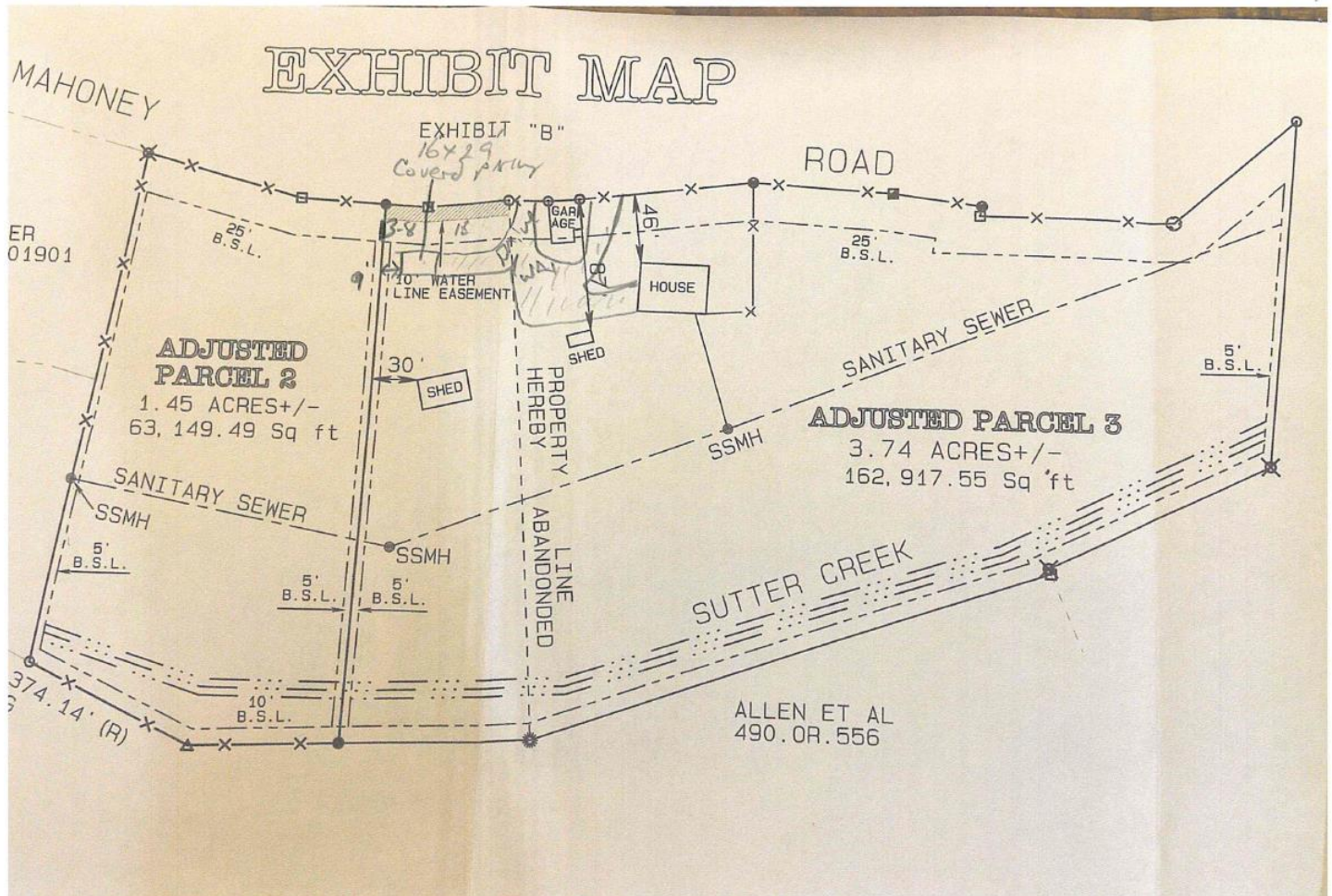


FIGURE 3 – ELEVATIONS - 190 Mahoney Mill Road



(Elevations represent the style but not the size)



FINDINGS

[Section 18.52.030](#) below outlines the necessary findings to be made to approve the variance.

18.52.030 - Necessary findings.

Before a variance may be granted, all of the following shall be shown:

- A. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to the property or class of use in the same zone or vicinity;

There is an exceptional circumstance applicable to the intended use of the property that does not apply generally to the class of use in the same zone or vicinity. The parcel is much larger than what is required in the R-1 zone and has a much greater slope than a typical R-1 lot. Due to the slope of the lot, the usable flat space is located within the front yard setback.

- B. That the granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in such zone or vicinity in which the property is located;

Intrusion into the setback does not affect the public welfare.

- C. That the property owner would suffer a unique hardship under the general zoning regulations due to the property being different from other properties to which the regulations apply;

The property owner would suffer a unique hardship due to the slope of the property which limits the flat usable area on the lot.

- D. That such variance is necessary for the preservation and enjoyment of a substantial property right of the applicant possessed by other property in the same zone and vicinity; and

Building into this setback area does not have negative ramifications for adjacent property owners and is necessary to accommodate a usable parking area, which is a property right of the applicant possessed by other property in the same zone and vicinity.

- E. That the granting of such variance will not adversely affect the comprehensive general plan.

Approval of this variance will have no bearing on the General Plan.

CONDITIONALS OF APPROVAL

Staff recommends approval as presented, with the following Findings and Conditions of Approval:

1. The 7-foot variance shall apply only to the front yard setback reduction from 25 feet to 18 feet for the purposes of the accessory.
2. The applicant shall maintain the existing vegetative screening.
3. The applicant shall obtain Design Clearance.

CEQA:

The project qualifies for a California Environmental Quality Act Categorical Exemption under Section 15300.1 – Ministerial Projects

BUDGET IMPACT:

None.

RESOLUTION NO. 24-25-**
A RESOLUTION OF THE PLANNING
COMMISSION OF THE CITY OF SUTTER
CREEK APPROVING A REQUEST FOR A
VARIANCE FOR 190 MAHONEY MILL ROAD

WHEREAS, the Planning Commission of the City of Sutter Creek did on Monday, March 10, 2025 hold a public hearing on a proposed Front yard setback Variance at 190 Mahoney Mill Road (APN 018-112-012); and

WHEREAS, the Planning Commission did at the public hearing receive a report from the planning staff, receive input from the Applicant's representative, and receive testimony from the public, and at the closing of said public hearing did deliberate and consider the same; and

WHEREAS, the Planning Commission does find the Request for Variance Permit is not inconsistent with the General Plan and Zoning Code; and

WHEREAS, the Planning Commission hereby responds with the following to grant the variance:

- A. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved, or to the intended use of the property, that do not apply generally to the property or class of use in the same zone or vicinity;

There is an exceptional circumstance applicable to the intended use of the property that does not apply generally to the class of use in the same zone or vicinity. The parcel is much larger than what is required in the R-1 zone and has a much greater slope than a typical R-1 lot. Due to the slope of the lot, the usable flat space is located within the front yard setback.

- B. That the granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in such zone or vicinity in which the property is located;

Intrusion into the setback does not affect the public welfare.

- C. That the property owner would suffer a unique hardship under the general zoning regulations due to the property being different from other properties to which the regulations apply;

The property owner would suffer a unique hardship due to the slope of the property which limits the flat usable area on the lot..

- D. That such variance is necessary for the preservation and enjoyment of a substantial property right of the applicant possessed by other property in the same zone and vicinity; and

Building into this setback area does not have negative ramifications for adjacent property owners and is necessary to accommodate a usable parking area, which is a property right of the applicant possessed by other property in the same zone and vicinity.

- E. That the granting of such variance will not adversely affect the comprehensive general plan.

Approval of this variance will have no bearing on the General Plan.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission of the City of Sutter Creek hereby approves a VARIANCE for 190 Mahoney Mill Road Assessor Parcel No. 018-112-012, subject to the following Condition of Approval:

- 1. The 7-foot variance shall apply only to the front yard setback reduction from 25 feet to 18 feet for the purposes of the accessory.
- 2. The applicant shall maintain the existing vegetative screening.
- 3. The applicant shall obtain Design Clearance.

The foregoing resolution was duly passed and adopted at a regular meeting of the Planning Commission of the City of Sutter Creek on the 10th day of March, 2025 by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

ATTEST:

Michael Kirkley, Chairman

Mason Peters, Deputy City Clerk

City of Sutter Creek

18 Main Street

Sutter Creek, CA 95685

209-267-5647

www.cityofsuttercreek.org

RECEIVED: _____

FEE PAID: _____

Submission Requirements

1- Application*

2- Map*

3- Fees (Refer to current fee schedule. All Fees must be paid at City Hall)

*All documentaion must be submitted via the application portal on the City website

VARIANCE APPLICATION

Page 1 of 4

Project Applicant: Kathy L. GhormleyProject Address: 190 mahoney mill RoadAPN: 018-112-012-000Is this located in the Historic District? Yes ☒ No ☐

If yes, please see checklist for Design Review.

Deed References (book and page):

BOOK 48, Page 72 (Lot line Adjusted 2016)
BOOK 64, Page 73

General description of location:

3.74 Acres on West corner of Badger St,
along mahoney mill Road and Following Sutter Creek

Zoning District: _____

General Plan Land Use Designation:

Residential Low density

Property Owner:

Name:

David & Kathy Ghormley

Mailing Address:

PO Box 1842

City:

Sutter Creek

State:

CA

Phone:

209-256-4128

Email:

kghormley@
proton.me

Zip:

95685Is this person the project contact? ^{yes} If not, please specify who the contact person is.

Name: _____

Email: _____

Mailing Address: _____

- A. I am requesting a variance in order to allow me to construct the facility shown on the attached site plan. This facility does not comply with requirement of the referenced zoning district for the following reasons:

Explain: The Front Set back would be
18 Feet, and not the required 25 Feet

- B. *What are the special circumstances applicable to the subject property, including size, shape, topography, and location of surroundings that would deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classifications?

Explain: The Slope of the land, relationship
to existing driveway, existing garage has
zero set back, there are no homes
across the street and never will be as it
is a cemetery

- C. *Would a variance granted per this request constitute a grant of special privileges to the subject property inconsistent with the limitations upon other properties in the vicinity and zone?

Explain: It is our observation that most
homes in the vicinity have structures
with less than 25' Feet of set back

- D. *Would the granting of a variance be detrimental to the public health, safety, convenience and welfare or injurious to property and improvements in the same vicinity and zone?

Explain: NO, it would be Fenced From
public Access

- E. *Would the granting of such variance conflict with the general plan of the City?

Explain: NO

***NOTE:** The law requires that the conditions set forth in Sections b,c,d, & e must be established before a variance CAN be granted. Answers to these Sections must be complete and full.

ENVIRONMENTAL INFORMATION

1. Describe Project: Covered parking structure
2. Existing use of property(ies): Single Family Residence
3. Will grading occur on slopes of 10% or more? No New grading will occur
4. Will any springs or wet areas be affected as a result of this project? NO
5. Estimated length of proposed roads and driveways: N/A
6. Estimated type and amount (acreage or number) of vegetation to be disturbed for grading, roads, driveways, building sites, or other alteration. (Examples: Approx. 1 acre of Manzanita and other Brush to be cleared for building pads; over 100 small shrubs and oak trees to be cleared, etc.):
N/A
7. Project description: Use space below and/or attach additional sheets giving project description in sufficient detail to allow adequate evaluation of potential effects.
 - a. Proposed facilities: Covered Parking Structure
 - b. Building Sizes: 16' x 29' x 10' (W, L, H)
 - c. Access: Existing Driveway
 - d. Parking: The project itself is for parking
 - e. Water Source: N/A
 - f. Estimated Water Consumption: N/A
 - g. Method of Sewage Disposal: N/A
 - h. Nature of Business: N/A
 - i. Estimated Daily Volume of Traffic: 1 X
 - j. Estimated Number of Employees: N/A
 - k. Estimated Energy Consumption: N/A
 - l. Percentage of lot to be covered by buildings/paving: 0.2890 (Building) *NO Paving
 - m. Construction schedule: AS SOON AS PERMITTED - SHOULD TAKE 1 WEEK
 - n. Any historical/archaeological features on property: Very old barn?
 - o. Other (please explain):
8. Describe special circumstances of the project or project site which may result in problems or adverse environmental effects. (Example: steep slopes, drainages, noisy equipment, hazardous access, lack of services.): NO

9. Indicate mitigation measures which may lessen problems or adverse environmental effects (including energy conservation) to be incorporated into project to eliminate or reduce adverse effects):

N/A

10. Describe most logical alternatives to project and how these alternatives would change the problems or effects discussed in items 13 and 14 above (include the alternative of "no project"):

Applicant certification, signature(s), and agreement to pay application processing costs.

I hereby certify that the statements furnished herein and on any attached pages present the data required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

I hereby certify that I own or am the authorized representative of the owner of the land hereby requesting Variance approval and that I am aware of and do agree to pay the hourly rates as established by Resolution of the City of Sutter Creek for the time spent by the City staff as necessary to process, review and provide consultation to the City concerning this application. I am also aware that said hourly charges are in addition to set fees required for preliminary review and administration and may also include charges to monitor compliance with conditions of approval if my request is approved.

Printed Name _____

Date _____

Signature _____

Specifications

Structure Dimensions

ERECTED SIZE 16'W x 29'L x 10'H	ROOF PITCH 3:12	SHEET METAL COVERAGE Roof coverage is 29'
SIDE WALL HEIGHT 10'	PEAK HEIGHT 12'0"	ON CENTER SPACING 4.5'
TRUSS BRACE DESCRIPTION 0 - No Truss	GROUND TO TRUSS BRACE CLEARANCE 10' 7-5/8"	SPECIAL NOTE ON FRAME LENGTH Actual frame length is 27' long with 4.5' on center truss spacing

STEEL FRAME 2" x 3" 14 & 15 gauge tubing made of the highest quality domestic galvanized steel	SHEET METAL PANELS 21	SHEET METAL PANEL SIZE 10'0" (120") Roof Panel , 9'2" (110") Roof Panel
SHEET METAL GAUGE 29 gauge	PERMITTING NOTE If permitting is required by your city/ county, truss bracing is mandatory. Call VersaTube for additional information.	

Engineering Details

ON CENTER SPACING 4.5'	STEEL FRAME 2" x 3" 14 & 15 gauge tubing made of the highest quality domestic galvanized steel	SHEET METAL PANELS 21
---------------------------	---	--------------------------

SHEET METAL PANEL SIZE 10'0" (120") Roof Panel , 9'2" (110") Roof Panel	SHEET METAL GAUGE 29 gauge	PERMITTING NOTE If permitting is required by your city/ county, truss bracing is mandatory. Call VersaTube for additional information.
--	-------------------------------	---

Snow and Wind Load

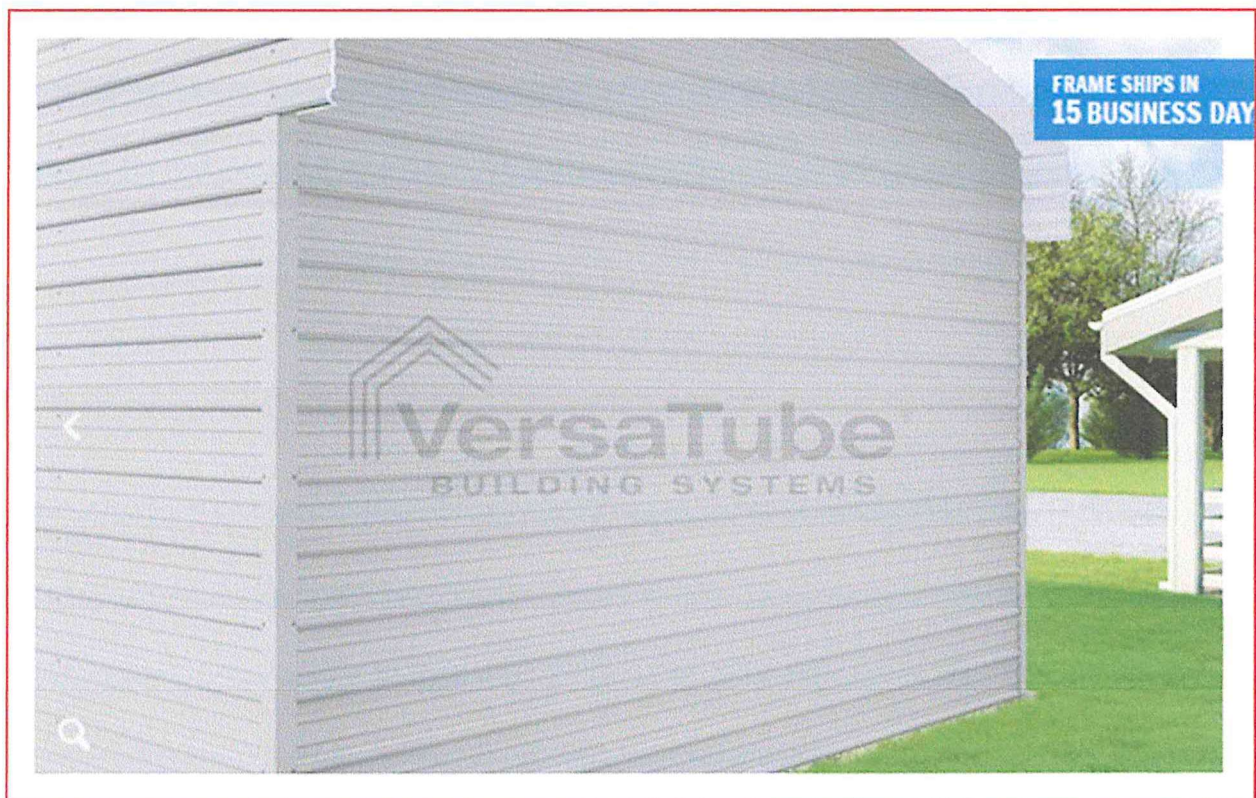
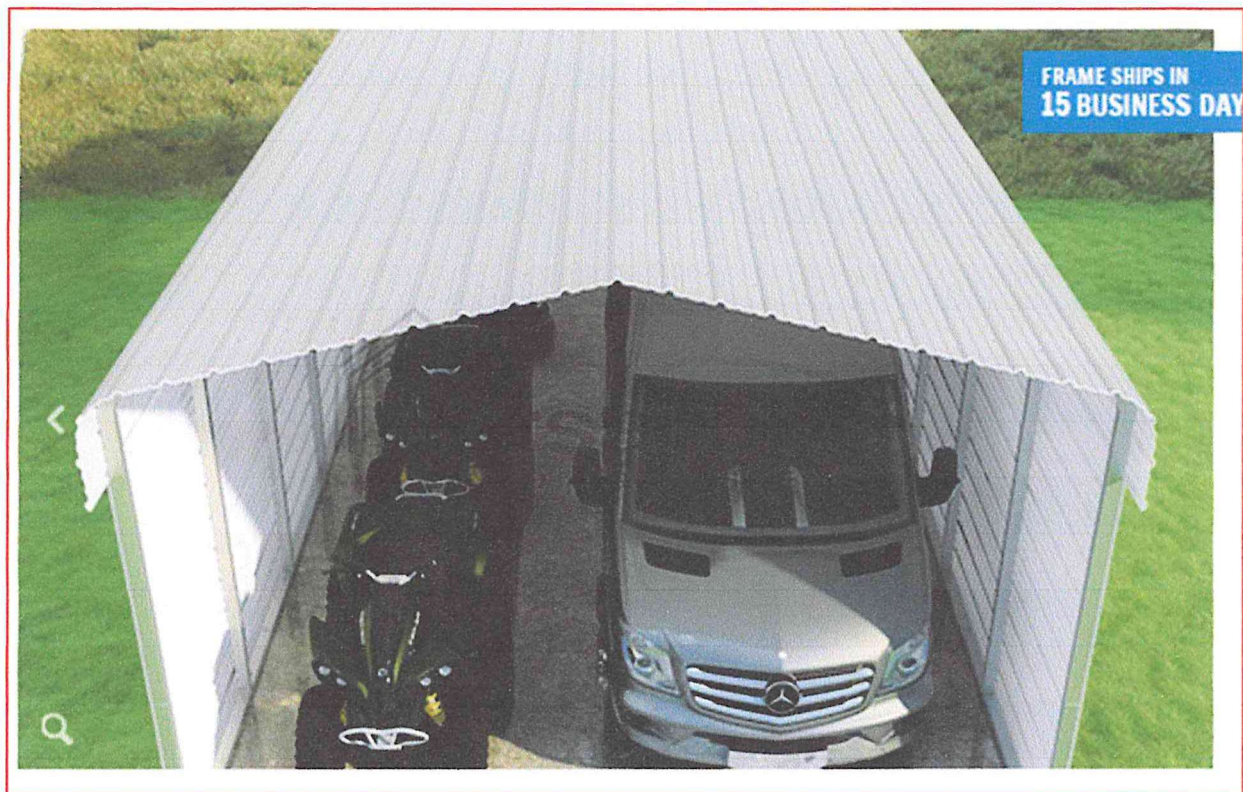
Wind Load Up to 130 MPH	Ground Snow Load Up to 33.1 PSF
----------------------------	------------------------------------

Disclaimer: Wind and snow ratings provided are for reference only and have been calculated by assuming an entirely and securely assembled anchored frame. These calculations are subjected to change by locations. Conformance to local codes is the responsibility of the purchaser.

16'W X 29'L X 10'H / Three sides / Color: Grey

* Choosing the color grey because we are planning to re-side our home this coming summer and plan to paint the home white with grey trim.





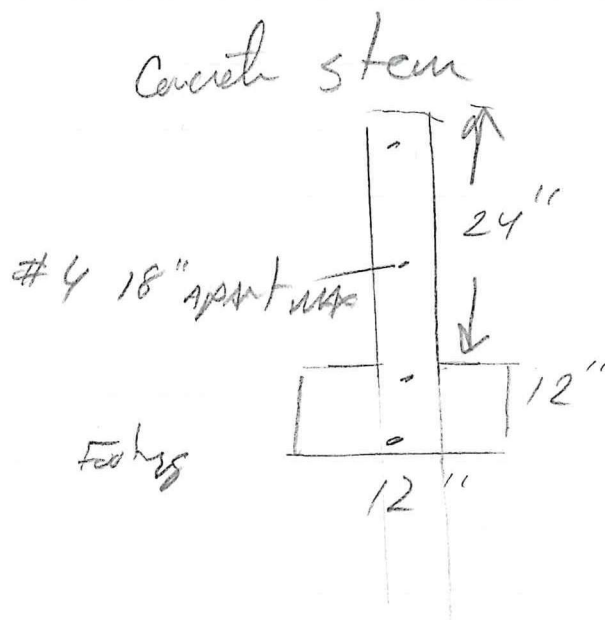
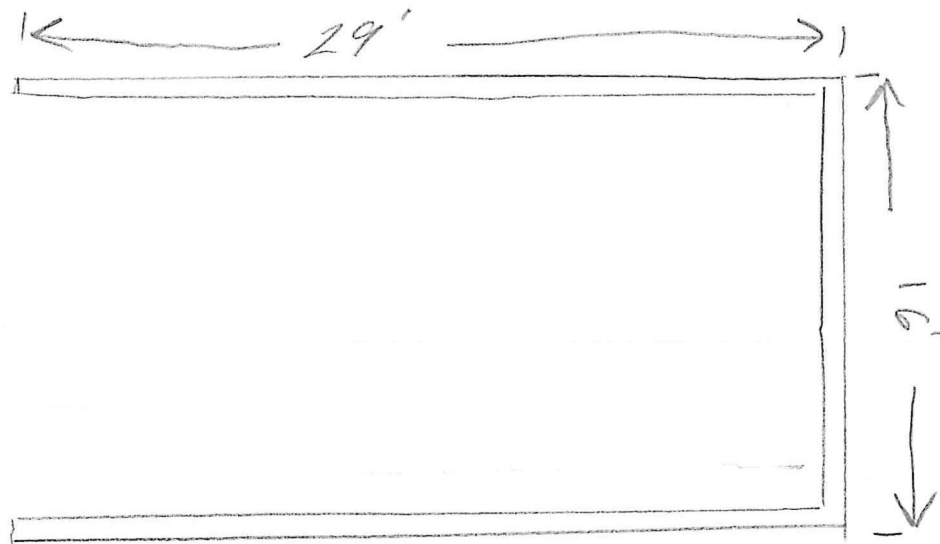


EXHIBIT MAP

MAHONEY

EXHIBIT "B"

16x29
Covered parking

ROAD

ER
01901

25'
B.S.L.

ADJUSTED
PARCEL 2

1.45 ACRES+/-
63,149.49 Sq ft

SANITARY SEWER

ADJUSTED PARCEL 3

3.74 ACRES+/-
162,917.55 Sq ft

10' WATER
LINE EASEMENT

PROPERTY
HEREBY

LINE
ABANDONED

SUTTER CREEK

ALLEN ET AL
490.0R.556

SANITARY SEWER

5'
B.S.L.

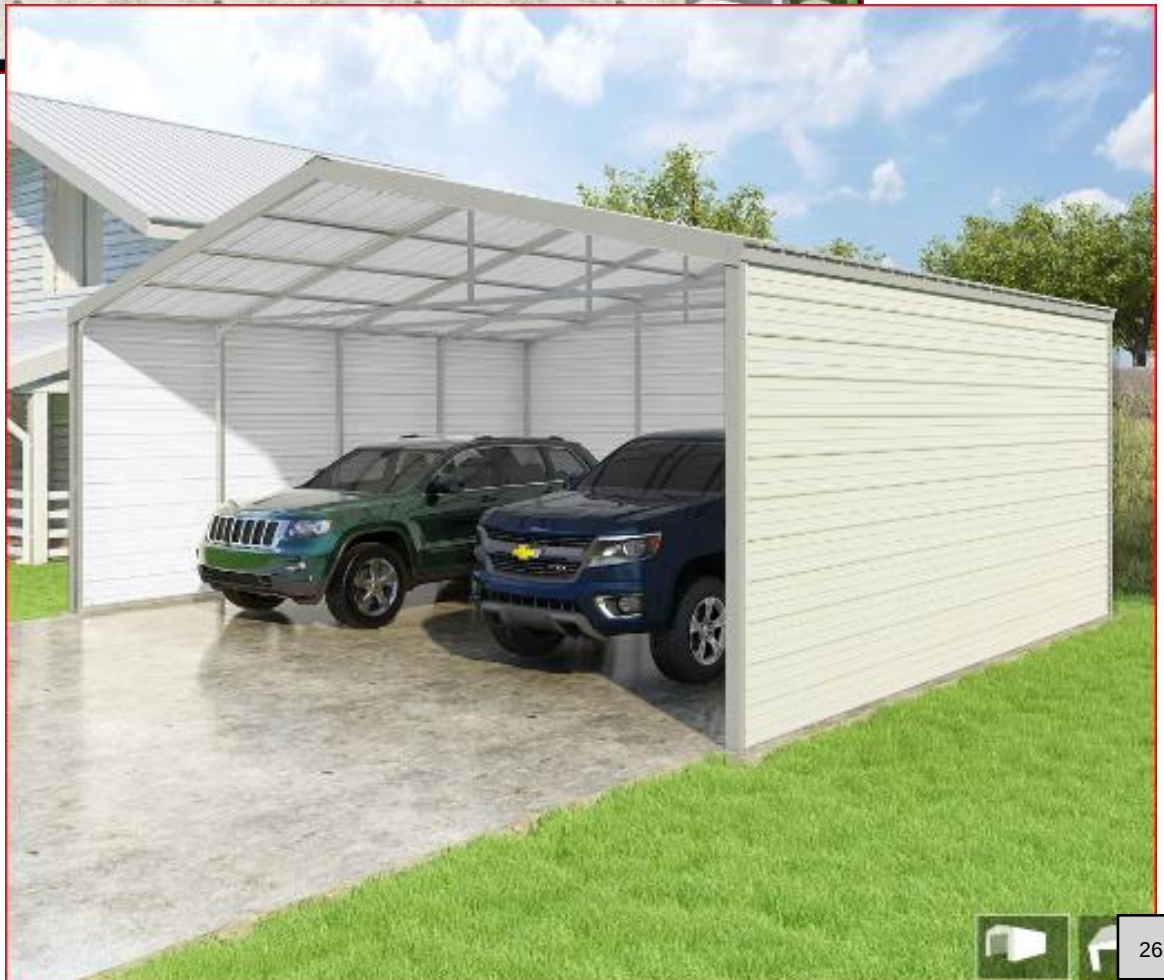
5'
B.S.L.

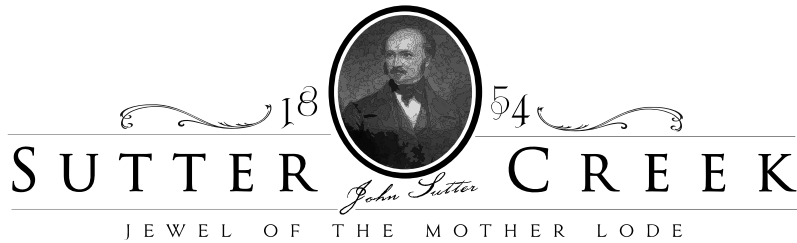
5'
B.S.L.

5'
B.S.L.

10'
B.S.L.

374.14' (R)





TO: CITY OF SUTTER CREEK PLANNING COMMISSION

MEETING DATE: MARCH 10, 2025

FROM: ERIN VENTURA, PLANNING CONSULTANT

SUBJECT: SITE PLAN PERMIT, 551 HWY 49, THE TACO SPOT/ITALAIN BENEVOLENT SOCIETY (APN 044-020-086)

RECOMMENDATION:

1. Conduct a public hearing and receive public input, and
2. Find that the project is Categorically Exempt under 15301 (Existing) CEQA Guidelines; and
3. Adopt Resolution 24-25-** approving a Site Plan Permit for The Taco Spot/Italian Benevolent Society to construct a 1,380 sf metal shade structure over the existing seating area, which is located in front of the existing food truck based on the proposed Findings and subject to the proposed Conditions of Approval for APN 044-020-086.

BACKGROUND:

The applicant has submitted a Site Plan Permit application to build a metal structure designed to provide shade for the existing seating area in front of the approved food truck at the Italian Benevolent Society, located at 551 Highway 49 in Sutter Creek. The proposed metal structure will measure approximately 46' x 30' (1,380 sq. ft.) and will be open on all four sides. The current seating area is equipped with several umbrellas.

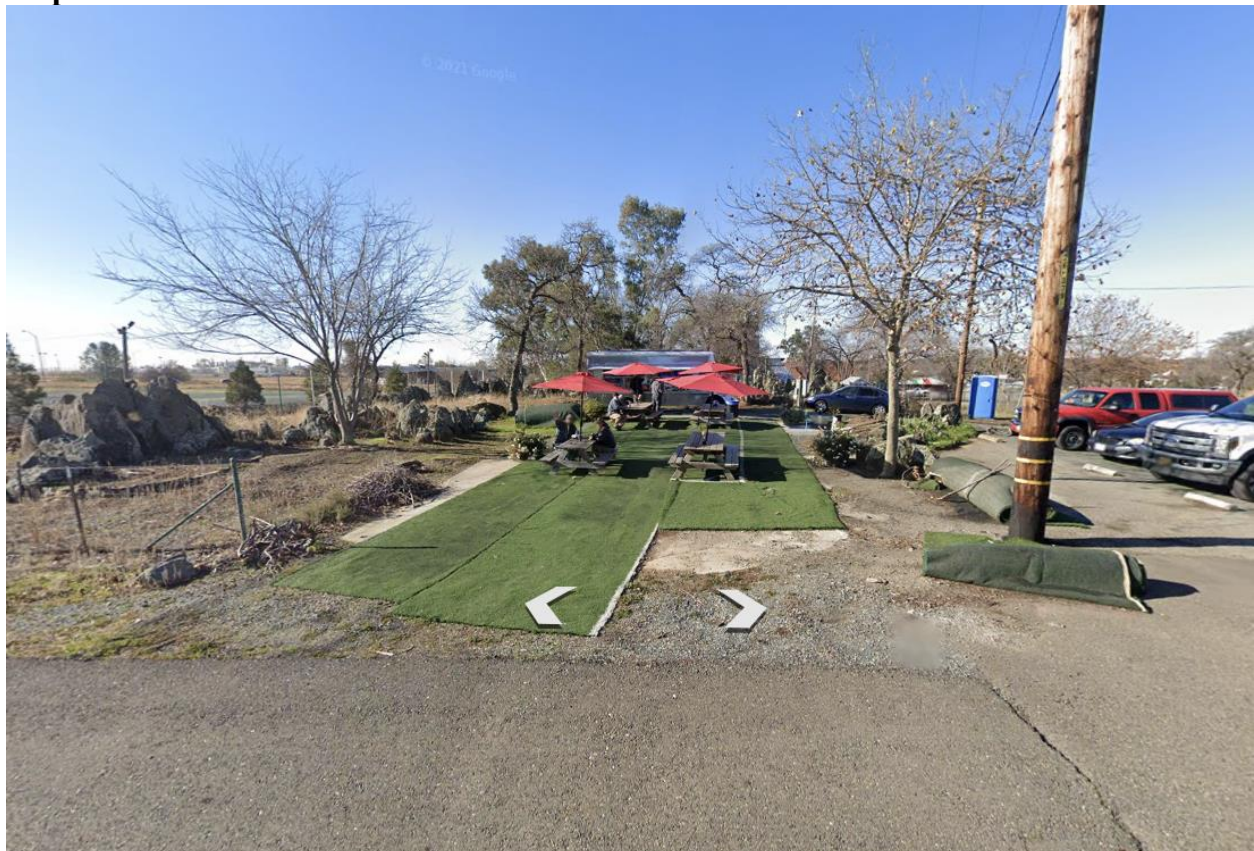
Table 1. Relevant Summary of Proposed Site

Description	Proposed	Meets Requirements?
Site	551 Highway 49	-
Building Plan	46' x30' (1,380 sf) metal building	Yes
Lot Size	.31 acres	Yes
Zoning	C-2	Yes
General Plan Land Use Description	Commercial	Yes
Is this in the Main Street Historic District?	No	-
Historic District?	No	-
Parking	No impact to parking	-
Access	Existing	Yes
Fencing	None proposed	-
Trees and Landscaping per 13.24.120	none	-

Map 1. Aerial Photo



Map 2. Street View



DISCUSSION:

General Plan: The use of the site is not changing and is consistent with the General Plan Land Use of Commercial.

Zoning: The site is zoned C-2 and the existing use is permitted. The proposed use is consistent with the uses of neighboring properties.

Parking: The applicant is not proposing to expand the existing use. The Building Department has requested a condition of approval of a van accessible ADA parking space with path of travel to the proposed seating area.

Access: Access is off of Highway 49 from an existing driveway. Cal Trans has reviewed the proposed plans and has no comment.

Landscaping: At this time the applicant is not changing the existing landscaping.

Design Review: The application was reviewed by the Design Review Committee at their February 10, 2025 meeting and Design Clearance was granted. The project site is not within the Historic District and therefore does not require DRC approval, but staff felt that since the structure is proposed on the highway and is prefabricated, that DRC Design Clearance was appropriate.

California Environmental Quality Act (CEQA) Guidelines: This application qualifies for a Categorical Exemption under 15301 (Existing Facilities).

REFERRALS:

The application was reviewed by the City Engineer, Building Inspector, and Cal Trans as part of the planning review process. The comments received have either been incorporated into the proposal or included as Conditions of Approval.

Staff recommends approval of the Site Plan application as presented, with the following Findings and Conditions of Approval:

FINDINGS:

1. The proposed use of the property is essential or desirable to the public convenience or welfare.
2. The proposed use is in compliance with the Sutter Creek General Plan goals, policies, and Commercial C-2 designation.
3. The proposed use will not impair the integrity and character of the zoning district because the use is consistent with activities within the C-2 Zone and the existing adjacent uses.
4. The proposed use would not be detrimental to public health, safety or general welfare because appropriate conditions of approval have been attached to the project.
5. The proposed use of the property implements the Sutter Creek General Plan and the purposes of the Planning Title.

CONDITIONS OF APPROVAL:

1. Any proposed signage must be approved prior to installation.
2. Maintain a valid City of Sutter Creek Business License.
3. Applicant to provide an ADA van accessible parking space and path of travel to the seating area.

RESOLUTION 24-25-*

**A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF SUTTER CREEK APPROVING THE SITE PLAN
FOR APN 044-020-086 AT 551 HIGHWAY 49**

WHEREAS, on the Planning Commission of the City of Sutter Creek did on Monday March 10, 2025, hold a public hearing for a site plan application for the construction of a 1,380 sf metal shade structure located over the existing seating area for the Taco Spot located at the Italian Benevolent Society, 551 Highway 49, Sutter Creek;

WHEREAS, the Planning Commission did at said public hearing receive a report from the planning staff, receive input from the Applicant and members of the public in attendance at said public hearing, and at the closing of said public hearing did deliberate and consider the same; and

WHEREAS, the Planning Commission does find the proposal is exempt from environmental review as a Class 15301 (Existing Facilities) Categorical Exemption under CEQA.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission of the City of Sutter Creek hereby approves a Site Plan Permit for APN 044-020-086 based on the following Findings:

1. The proposed use of the property is essential or desirable to the public convenience or welfare.
2. The proposed use is in compliance with the Sutter Creek General Plan goals, policies, and Commercial C-2 designation.
3. The proposed use will not impair the integrity and character of the zoning district because the use is consistent with activities within the C-2 Zone and the existing adjacent uses.
4. The proposed use would not be detrimental to public health, safety or general welfare because appropriate conditions of approval have been attached to the project.
5. The proposed use of the property implements the Sutter Creek General Plan and the purposes of the Planning Title.

BE IT FURTHER RESOLVED the Planning Commission hereby approves the Site Plan Permit, subject to the following Conditions of Approval:

1. Any proposed signage must be approved prior to installation.
2. Maintain a valid City of Sutter Creek Business License.
3. Applicant to provide an ADA van accessible parking space and path of travel to the seating area.

PASSED AND ADOPTED by the Planning Commission of the City of Sutter Creek on Monday the 10th day of March, 2025 by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

THE CITY OF SUTTER CREEK

Michael Kirkley, Chairman

ATTEST:

Mason Peters, Deputy City Clerk

City of Sutter Creek
18 Main Street
Sutter Creek, CA 95685
209-267-5647
www.cityofsuttercreek.org

RECEIVED
JAN 21 2025
FEE PAID: 2025
City of Sutter Creek

Submission Requirements

- 1- Application*
 - 2- Map*
 - 3- Fees (Refer to current fee schedule. All Fees must be paid at City Hall)
- *All documentaion must be submitted via the application portal on the City website

SITE PLAN APPLICATION

Page 1 of 8

Project Applicant:

Name: ITALIAN BENEVOLENT SOCIETY
Mailing Address: PO BOX 2132
City: JACKSON State: CA

Phone: (209) 969-0203
Email: matt@tomasurvey.com
Zip: 95642

Property Owner:

Name: ITALIAN BENEVOLENT SOCIETY
Mailing Address: PO BOX 2132
City: JACKSON State: CA

Phone: (209) 969-0203
Email: matt@tomasurvey.com
Zip: 95642

Is this person the project contact? If not, please specify who the contact person is.

Name: MATT TOMA
Mailing Address: 41 SUMMIT ST, JACKSON, CA 95642

Email: matt@tomasurvey.com

Project Location:

APN: 044-020-086
Project Address: SSI STATE HIGHWAY 49, SUTTER CREEK

Is this located in the Historic District? Yes ☐ No ☒
If yes, please see checklist for Design Review.

Deed References (book and page): 4-02-118

General description of location: SUTTER HILL @ INTX. OF HWYS

49 AND 104, ITALIAN PICNIC GROUNDS

Zoning District: C-2 CHRL W/ PD OVERLAY General Plan Land Use Designation: C-CHRL W/ PD OVERLAY

Applicant certification, signature(s), and agreement to pay application processing costs.

I hereby certify that the statements furnished herein and on any attached pages present the data required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

I hereby certify that I own or am the authorized representative of the owner of the land hereby requesting Certificate of Compliance approval and that I am aware of and do agree to pay the hourly rates as established by Resolution of the City of Sutter Creek for the time spent by the City staff as necessary to process, review and provide consultation to the City concerning this application. I am also aware that said hourly charges are in addition to set fees required for preliminary review and administration and may also include charges to monitor compliance with conditions of approval if my request is approved.

MATT TOMA - TRUSTEE
Printed Name

Signature

01-13-25
Date

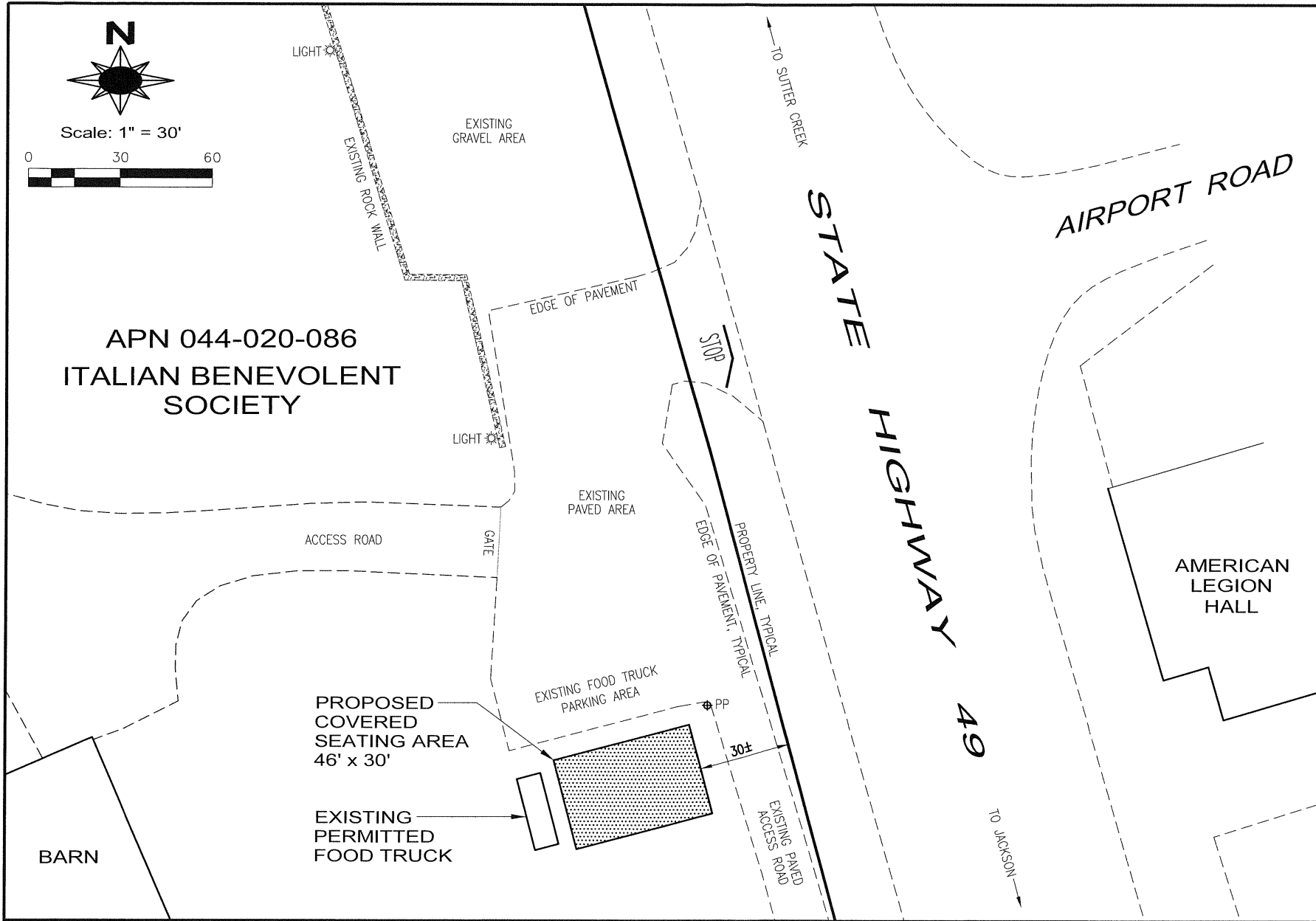
ENVIRONMENTAL INFORMATION

1. Describe Project: PROPOSED COVER OVER EXISTING 46'x30' SEATING AREA FOR EXISTING PERMITTED FOOD TRUCK / APPROVED USE PERMIT
2. Existing use of property(ies): ITALIAN PICNIC GROUNDS
3. Will grading occur on slopes of 10% or more? N/A
4. Will any springs or wet areas be affected as a result of this project? N/A
5. Estimated length of proposed roads and driveways: N/A (EXISTING)
6. Estimated type and amount (acreage or number) of vegetation to be disturbed for grading, roads, driveways, building sites, or other alteration. (Examples: Approx. 1 acre of Manzanita and other Brush to be cleared for building pads; over 100 small shrubs and oak trees to be cleared, etc.):
NONE DISTURBED. FOOD TRUCK SEATING AREA IS EXISTING.
7. Project description: Use space below and/or attach additional sheets giving project description in sufficient detail to allow adequate evaluation of potential effects.
 - a. Proposed facilities: COVER OVER EXISTING SEATING AREA
 - b. Building Sizes: PROPOSED 46'x30' COVERED AREA
 - c. Access: EXISTING PER APPD USE PERMIT
 - d. Parking: EXISTING PER APPD USE PERMIT
 - e. Water Source: EXISTING PER APPD USE PERMIT
 - f. Estimated Water Consumption: N/A (EXISTING)
 - g. Method of Sewage Disposal: EXISTING PER APPD USE PERMIT
 - h. Nature of Business: EXISTING PERMITTED FOOD TRUCK
 - i. Estimated Daily Volume of Traffic: N/A
 - j. Estimated Number of Employees: N/A
 - k. Estimated Energy Consumption: N/A
 - l. Percentage of lot to be covered by buildings/paving: N/A (SEATING AREA IS EXIST.)
 - m. Construction schedule: FEB 2025 THROUGH APR 2025
 - n. Any historical/archaeological features on property: NO
 - o. Other (please explain): N/A
8. Describe special circumstances of the project or project site which may result in problems or adverse environmental effects. (Example: steep slopes, drainages, noisy equipment, hazardous access, lack of services.): NONE. APPLICANT IS PROPOSING COVER OVER EXISTING SEATING AREA.

9. Indicate mitigation measures which may lessen problems or adverse environmental effects (including energy conservation) to be incorporated into project to eliminate or reduce adverse effects):

N/A

10. Describe most logical alternatives to project and how these alternatives would change the problems or effects discussed in items 13 and 14 above (include the alternative of "no project"): N/A



TOMA & ASSOCIATES INC.
ENGINEERING - SURVEYING - PLANNING
41 Summit Street, Jackson, CA 95642
(209) 223-0156

**PROPOSED COVERED SEATING AREA
ITALIAN BENEVOLENT SOCIETY
APN 044-020-086**
551 STATE HIGHWAY 49
CITY OF SUTTER CREEK, AMADOR COUNTY, CALIFORNIA

DATE: 12.17.2024
SCALE: 1" = 30'
DRAWN BY: GMW
JOB NO.: 1302-01
SHEET
1
OF 1 SHEETS

THE TACO SPOT

581 CALIFORNIA STATE HIGHWAY 49, SUTTER CREEK, CA 95685
(AMADOR COUNTY, CA)
30' X 45' X 9'

SCOPE OF PLANS:

1. TO PROVIDE STRUCTURAL DESIGN FOR THE PRE-FAB METAL BUILDING PER THE SPECIFIED DESIGN LOADS, AND APPLICABLE BUILDING CODES. ANY DISCREPANCIES IN DESIGN LOADS SHALL BE BROUGHT TO THE ATTN. OF THE ENGINEER OF RECORD.
2. **DOES NOT PROVIDE** ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.

GENERAL STRUCTURAL DESIGN NOTES

1. THIS STRUCTURE IS DESIGNED FOR NON-HABITABLE USE. NO PERSONS ARE ALLOWED TO LIVE IN THIS BUILDING OR USE IT AS A LIVING SPACE. ONLY INCIDENTAL OCCUPANCY IS PERMITTED.
2. ALL WELDS ARE TO BE SHOP WELDS. **FIELD WELDING IS NOT PERMITTED NOR REQUIRED.** WELDING ELECTRODES PER AWS CODE, E70XX UNLESS NOTED OTHERWISE ON PLANS.
3. LIGHT GAUGE TUBING SHALL BE EITHER (OR EQUAL): ASTM A513-1035 (FY = 50 KSI, FU = 66 KSI) OR ASTM A500 GRADE C (FY = 50 KSI, FU = 65 KSI). ALL CHANNELS SHALL BE A653 (HSLA) GRADE 50 STEEL (FY = 50 KSI, FU = 65 KSI) OR EQUAL. HOT ROLLED STEEL SHAPES (FY = 36 KSI, BASE ANGLES) EXPOSED TO THE ELEMENTS, SHALL HAVE ONE COAT OF RUST PROOF PRIMER FOLLOWED BY TWO COATS OF PAINT.
4. ALL STRUCTURAL FIELD CONNECTIONS SHALL BE #12-14 x 3/4" SDS PER ESR-2196 U.N.O. REF. TO DESIGN NOTES ON SHEET 2 FOR SHEATHING FASTENER TYPE.
5. ADEQUATE BRACING DURING ALL STAGES OF CONSTRUCTION IS REQUIRED. STRUCTURE AND FOUNDATION ARE DESIGNED FOR COMPLETED CONDITION ONLY. ADDITIONAL SUPPORT TO MAINTAIN STABILITY IS REQUIRED IN CASE OF ROOF ACCESS FOR MAINTENANCE.
6. GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA OF THIS STRUCTURE, U.N.O.

STRUCTURAL DESIGN CRITERIA

PREVAILING CODE: CBC 2022
OCCUPANCY / USE GROUP: U (CARPORT / SHED)
CONSTRUCTION TYPE: V B (ANY MAT'L - IBC 602.5)
RISK CATEGORY: I
BUILDING FOOTAGE: 1350 SQ.FT

1. DEAD LOAD (D)
COLLATERAL LOAD 2.0 PSF
2. ROOF LIVE LOAD (Lr) Lr = 20 PSF
3. SNOW LOAD (S)
GROUND SNOW LOAD Pg = 30 PSF
IMPORTANCE FACTOR Is = 0.80
THERMAL FACTOR Ct = 1.2
EXPOSURE FACTOR Ce = 1.0
ROOF SLOPE FACTOR Cs = 1.0
FLAT ROOF SNOW LOAD Pf = 20 PSF
SLOPED ROOF SNOW LOAD Ps = 20 PSF
4. WIND LOAD (W)
DESIGN WIND SPEED V = 88 MPH
EXPOSURE C
5. SEISMIC LOAD (E)
Ss / S1 0.363/0.192
SDs / SD1 0.366/0.284
DESIGN CATEGORY D
SITE CLASS D (DEFAULT)
IMPORTANCE FACTOR Ie = 1.00

STRUCTURAL DRAWING INDEX

- 1 COVER SHEET
- 2 ELEVATIONS
- 3A FOUNDATION PLAN & NOTES
- 3B FOUNDATION DETAILS & NOTES
- 4 COLUMN LAYOUT PLAN & DETAILS
- 5A FRAME SECTION & DETAILS
- 5B FRAME SECTION DETAILS
- 6A SIDE WALL FRAMING
- 6B SIDE WALL DETAILS
- 7A END WALL FRAMING
- 7B..... END WALL DETAILS

REVISIONS LIST		
MARK	COMMENTS	DATE
-	ISSUED FOR PERMIT	NOV 04 2024

STATEMENT OF SPECIAL INSPECTIONS	REQ'D	PERIODIC/CONTINUOUS	
		P	C
ANCHORAGE			
1. POST-INSTALLED CONCRETE ANCHOR BOLTS (PER ICC-ESR REQUIREMENTS - REF SHEET 3B)	Y	X	-
THE OWNER SHALL HIRE LICENSED SPECIAL INSPECTOR AT THEIR OWN COST. THE OWNER MAY BRING TO THE ATTENTION OF THE ENGINEER, ANY ISSUES OF CONCERN NOTED BY THE INSPECTOR.			

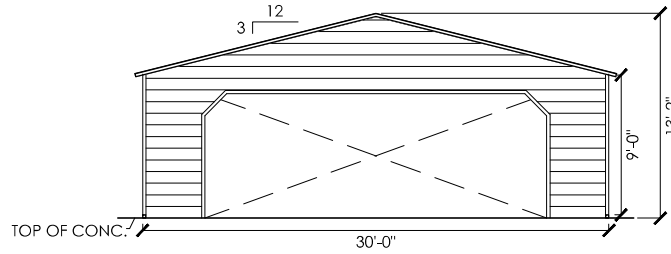
Rafael D Salgado

I am the author of this document
Toledo, OH
2024.11.06 14:26:56-05'00'

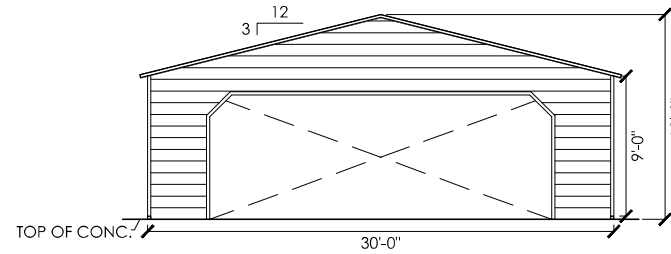
SHEET NO. 1 OF 7	
PROJECT NO. 233-24-2965	
DRAWN BY: S.O.	DATE: 11/04/2024
COVER SHEET LOCATION: 581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685 PROJECT TITLE: THE TACO SPOT	
FOR QUESTIONS, MODIFICATIONS, REVISIONS OR CORRECTIONS NEEDED TO PLANS, PLEASE CONTACT THE METAL BUILDINGS MANUFACTURER LISTED ON PLANS. ENGINEER OF RECORD REQUIRES AUTHORIZATION FROM THE METAL BUILDINGS MANUFACTURER TO MAKE ANY CHANGES TO PLANS. THE INFORMATION CONTAINED IN THESE DRAWINGS IS THE SOLE PROPERTY OF AMERICAN CARPORTS, INC. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AMERICAN CARPORTS, INC. IT IS PROHIBITED.	
METAL BUILDING MANUFACTURER  457 N. Broadway, Joshua, TX 76058 1-866-730-8865	

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
REGISTERED PROFESSIONAL ENGINEER
CIVIL
RAFAEL D. SALGADO
C95761
STATE OF CALIFORNIA
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
EXPIRES: 3/31/2026
SIGNED: NOV 04 2024



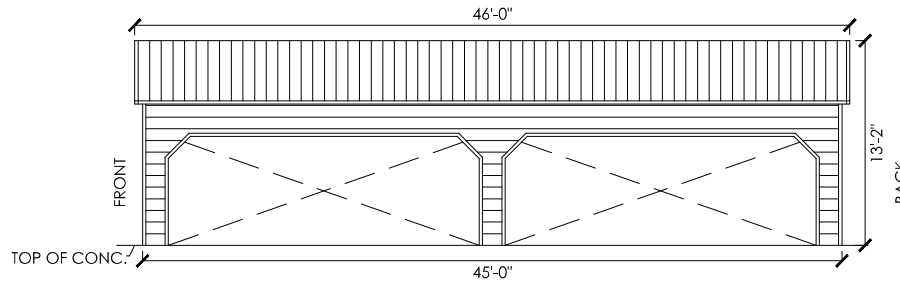
FRONT END WALL ELEVATION
SCALE: 1/8" : 1'



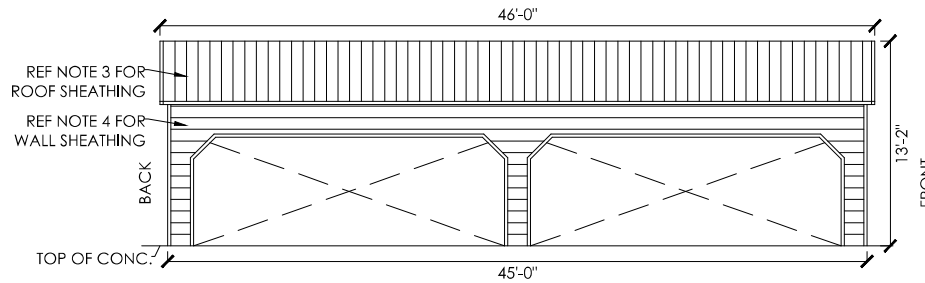
BACK END WALL ELEVATION
SCALE: 1/8" : 1'

DESIGN NOTES

1. THE INTENTION OF ELEVATIONS PROVIDED ON THIS SHEET IS TO INDICATE STRUCTURAL COMPONENTS, DIMENSIONS, AND BUILDING ORIENTATION ONLY.
2. ARCHITECTURAL DESIGN REQUIREMENTS ARE NOT COVERED IN THIS PLAN SET. THESE DESIGN REQUIREMENTS SHALL BE ADDRESSED IN A SEPARATE ARCHITECTURAL SET BY RESPONSIBLE LICENSED PROFESSIONALS IN CHARGE, AS NEEDED.
3. ALL EXT **ROOF** SHEATHING SHALL BE:
CLASS A RATED 29GA. **3/4" RIB HT** - GALV. OR PAINTED STEEL (FY=80 KSI) OR EQ.
(REF. SHT 5 FOR PROFILE AND FASTENER SCHD.)
4. ALL EXT **WALL** SHEATHING SHALL BE:
CLASS A RATED 29GA. **3/4" RIB HT** - GALV. OR PAINTED STEEL (FY=80 KSI) OR EQ.
(REF. SHT 5 FOR PROFILE AND FASTENER SCHD.)
5. **SHEATHING CONNECTIONS SHALL BE #12-14 X 3/4" SDS W/ BONDED NEOPRENE WASHER PER ESR 2196.**



RIGHT SIDE WALL ELEVATION
SCALE: 1/8" : 1'



LEFT SIDE WALL ELEVATION
SCALE: 1/8" : 1'

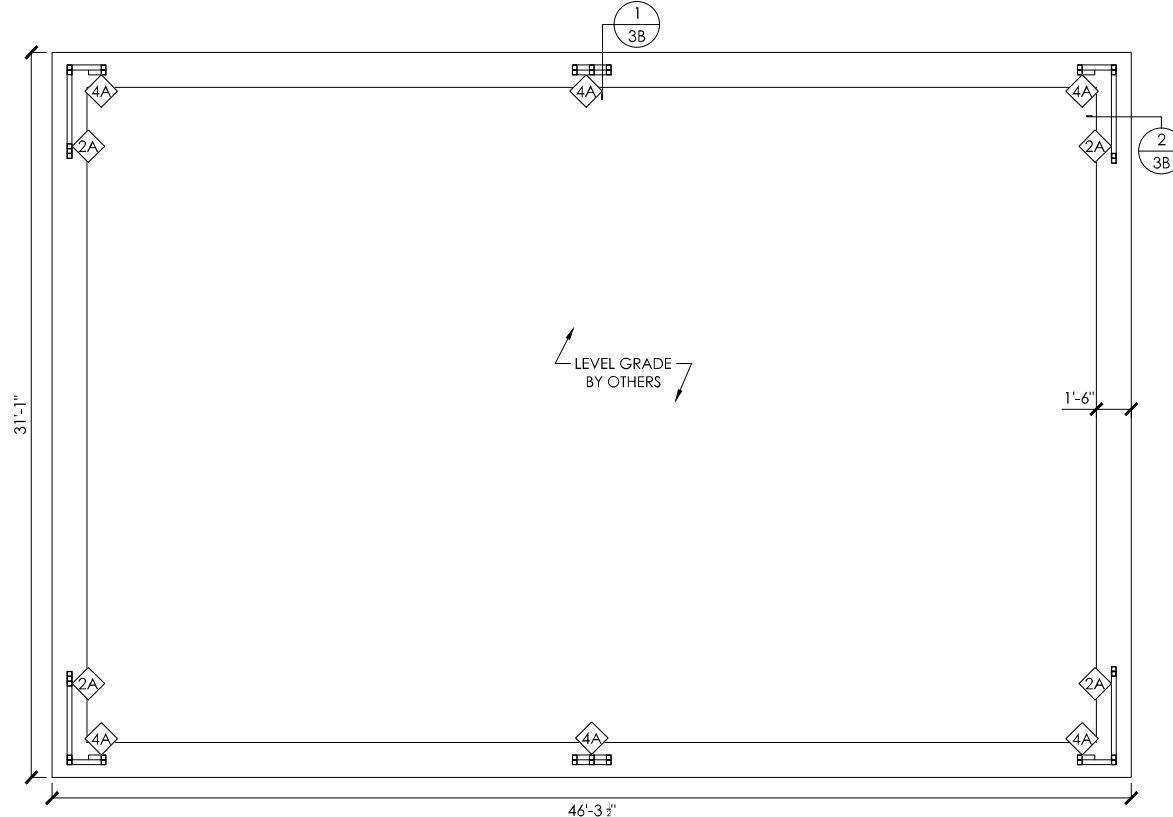
SHEET NO. 2 OF 7	
PROJECT NO. 233-24-2965	
DRAWN BY: S.O.	DATE: 11/04/2024
SHEET TITLE: ELEVATIONS	LOCATION: 581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685
	PROJECT TITLE: THE TACO SPOT
METAL BUILDING MANUFACTURER  457 N. Broadway, Joshua, TX 76058 1-866-730-9865	

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685



EXPIRES: 3/31/2026
SIGNED: NOV 04 2024



FOUNDATION PLAN
SCALE: 3/16" : 1'

CONCRETE ANCHORAGE	
	(2) 1/2"Ø X 7" LG. POWER BULL WEDGEANCHOR (PER ESR 2254)
	(4) 1/2"Ø X 7" LG. POWER BULL WEDGEANCHOR (PER ESR 2254)

FOUNDATION NOTES:

1. CONCRETE ANCHORS SHALL BE LOCATED AS SHOWN ON THE FOUNDATION PLAN. A MINIMUM OF (2) ANCHORS ARE REQUIRED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. MINIMUM (2) ANCHORS ARE REQUIRED AT CORNERS OF ENCLOSED BUILDINGS, (1) ON EACH BASE RAIL.
2. MIN. FOOTING DEPTH NEEDED TO RESIST BUILDING LOADS IS INDICATED ON FOUNDATION DETAILS. HOWEVER, A GREATER FOOTER DEPTH MAYBE REQUIRED TO MEET THE LOCAL FROST LINE DEPTH PER CODE.
3. DEPTH OF FOOTINGS SHALL EXTEND INTO UNDISTURBED SOIL OR COMPACTED ENGINEERING FILL.
4. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
5. CONC STRENGTH TO BE A MIN OF 3000 PSI @ 28 DAYS FOR MODERATE WEATHERING POTENTIAL. SPECIAL INSPECTION IS NOT REQUIRED AS ALL CONC FOUNDATION DESIGN IS BASED ON A MAX COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.

SHEET NO: 3A OF 7	
PROJECT NO: 233-24-2965	
DRAWN BY: S.O.	DATE: 11/04/2024
FOUNDATION PLAN & NOTES LOCATION: 581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685	
PROJECT TITLE: THE TACO SPOT	
METAL BUILDING MANUFACTURER	
 457 N. Broadway, Joshua, TX 76058 1-866-730-9865	

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY 49
SUTTER CREEK, CA 95685

REGISTERED PROFESSIONAL ENGINEER
CIVIL
RAFAEL D. SALGADO
C95761
STATE OF CALIFORNIA

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY 49
SUTTER CREEK, CA 95685

EXPIRES: 3/31/2026
SIGNED: NOV 04 2024

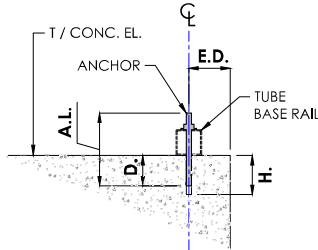
CONCRETE ANCHORAGE	
2A	(2) 1/2"Ø X 7" LG. POWER BULL WEDGEANCHOR (PER ESR 2254)
4A	(4) 1/2"Ø X 7" LG. POWER BULL WEDGEANCHOR (PER ESR 2254)

ANCHORAGE NOTES:

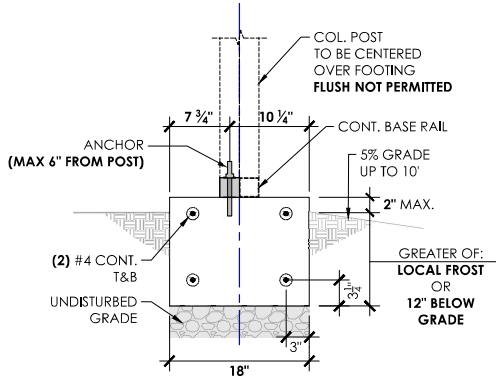
- ANCHOR INSTALLATION REQUIREMENTS (REF ANCHORAGE DETAIL):
 - E.D.** - ANCHOR EDGE DISTANCE: MIN. 4" OR U.N.O.
 - H.** - ANCHOR HOLE DEPTH: MIN. 3.125"
 - D.** - CONCRETE EMBEDMENT DEPTH: MIN. 2.875"
 - SPACING BETWEEN (2) ANCHORS: MIN. 3.75" OR U.N.O.
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS OR U.N.O.
- ANCHORS TO BE INSTALLED PER MANUFACTURER'S REQ. PER SPECIFIED ESR.

REINFORCEMENT NOTES:

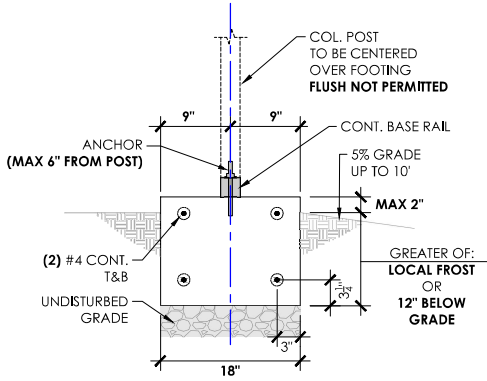
- REINFORCING STEEL: DEFORMED BARS CONFORMING TO ASTM A615, GRADE 40, WITH A MINIMUM YIELD OF 40 KSI FOR ALL BARS.
- CLEAR DISTANCE BETWEEN BARS SHALL BE NOT LESS THAN 1-1/2 TIMES THE MAXIMUM SIZE OF COARSE AGGREGATE OR U.N.O.
- CONCRETE REINFORCEMENT COVER SHALL BE NOT LESS THAN THE FOLLOWING:
 - A. CONCRETE POURED AGAINST AND PERMANENTLY EXPOSED TO GROUND: 3"
 - B. EXTERIOR FACE [EXPOSED TO WEATHER BUT NOT IN CONTACT WITH GROUND]: 2"



ANCHORAGE DETAIL
SCALE: NTS



1 FOUNDATION DETAILS
SCALE: 3/4" : 1'



2 FOUNDATION DETAILS
SCALE: 3/4" : 1'

SHEET NO:	3B OF 7
PROJECT NO:	233-24-2965
DRAWN BY:	S.O.
DATE:	11/04/2024

SHEET TITLE:	FOUNDATION DETAILS & NOTES	
	LOCATION:	581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685
PROJECT TITLE:	THE TACO SPOT	

METAL BUILDING MANUFACTURER

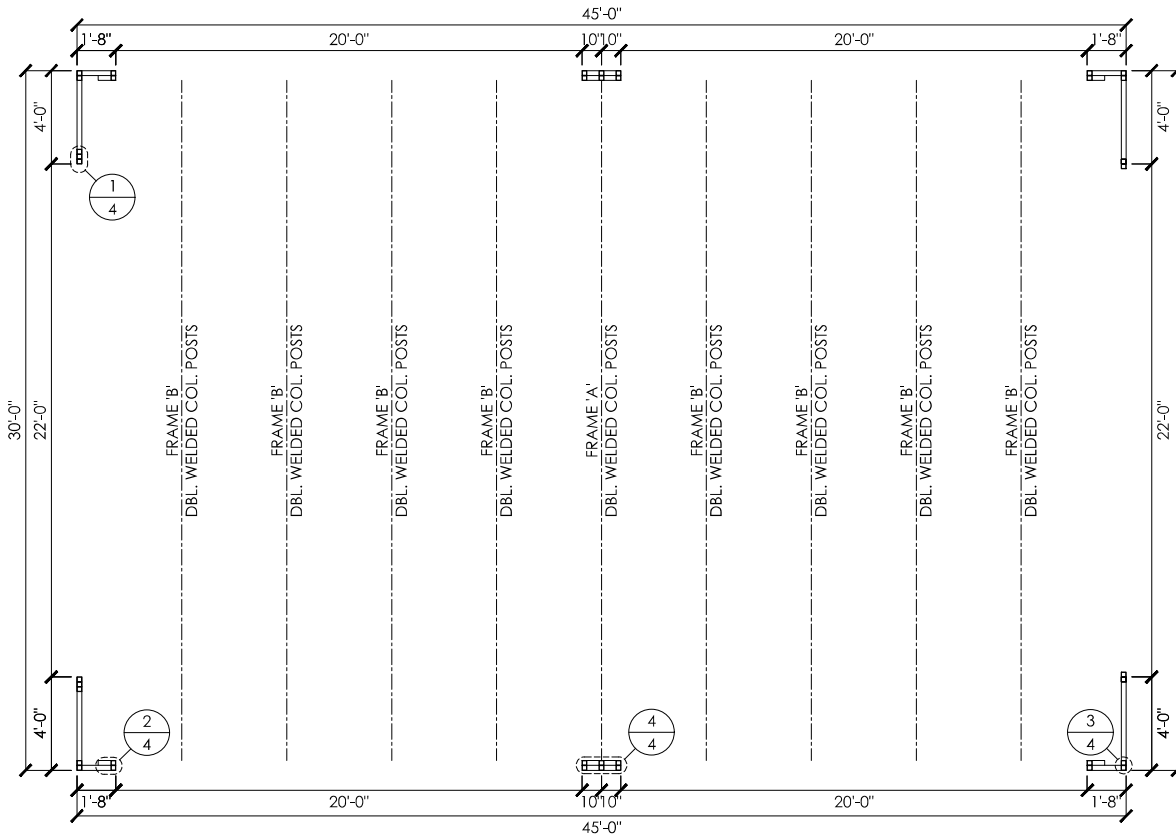
457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685



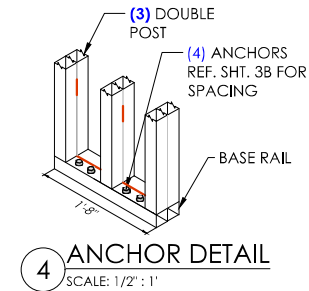
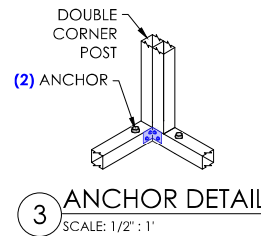
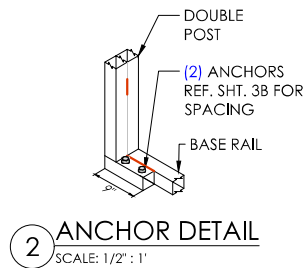
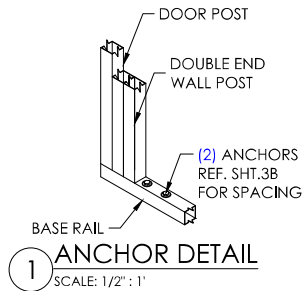
EXPIRES: 3/31/2026
SIGNED: NOV 04 2024



COLUMN LAYOUT PLAN

SCALE: 3/16" : 1'

NOTE:
SEE SHEET 3A / 3B FOR ANCHOR TYPE
SEE SHEET 5A / 5B FOR FRAME SECTION AND DETAILS



WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685



EXPIRES: 3/31/2026
SIGNED: NOV 04 2024

SHEET NO: 4 OF 7
PROJECT NO: 233-24-2965
DRAWN BY: S.O. DATE: 11/04/2024

SHEET TITLE: COLUMN LAYOUT PLAN

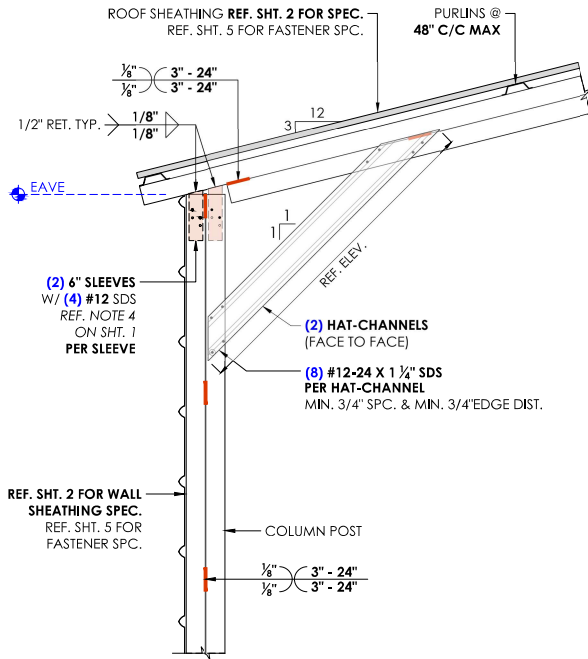
PROJECT TITLE: THE TACO SPOT

LOCATION: 581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685

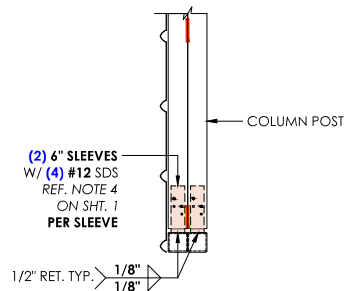
METAL BUILDING MANUFACTURER

457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

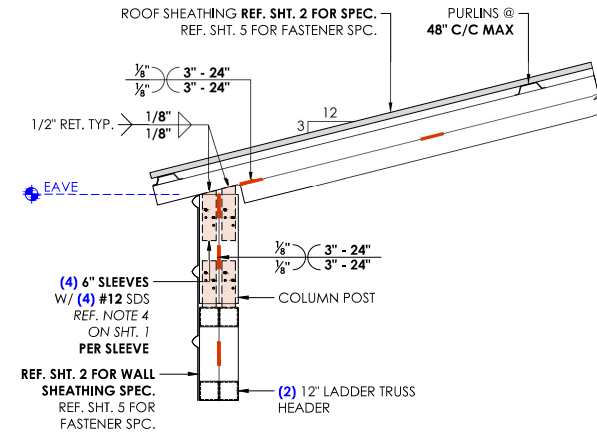
SHEET NO. 5B OF 7	
PROJECT NO. 233-24-2965	
DRAWN BY: S.O.	DATE: 11/04/2024
SHEET TITLE: FRAME SECTION DETAILS	LOCATION: 581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685
	PROJECT TITLE: THE TACO SPOT
METAL BUILDING MANUFACTURER	
	



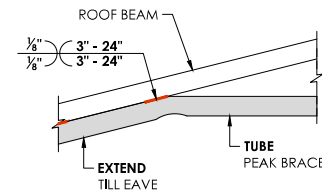
1 FRAME DETAIL
SCALE: 3/4" : 1'



2 BASE DETAIL
SCALE: 3/4" : 1'



3 FRAME DETAIL
SCALE: 3/4" : 1'



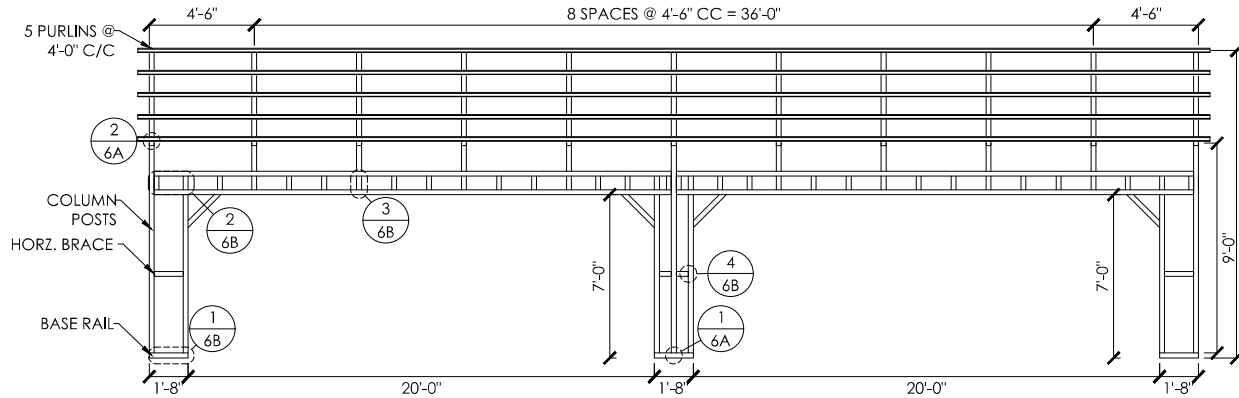
4 PEAK BRACE DETAIL
SCALE: 3/4" : 1'

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685

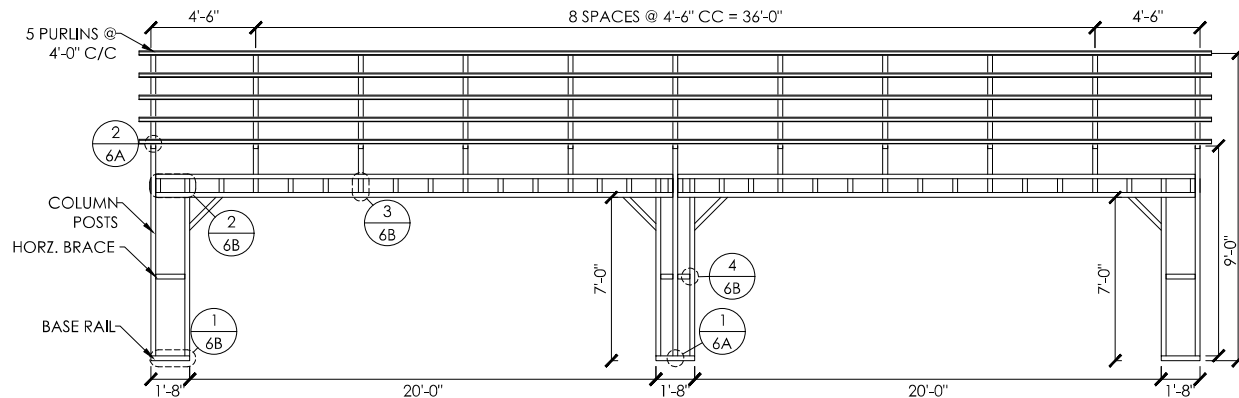


EXPIRES: 3/31/2026
SIGNED: NOV 04 2024



RIGHT SIDE WALL FRAMING

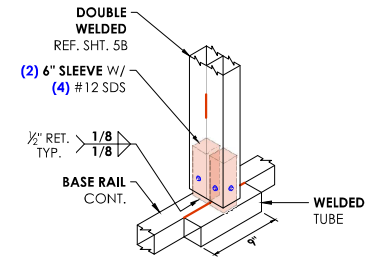
SCALE: 3/16" : 1'



LEFT SIDE WALL FRAMING

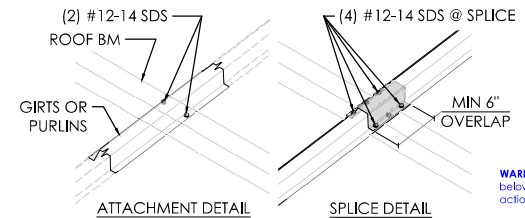
SCALE: 3/16" : 1'

MEMBER PROPERTIES	
CORNER POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
SIDE WALL POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
BASE RAIL	2 1/2" SQ. X 14GA TUBE
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE
PURLINS	4" X 1" X 14GA HAT CHANNEL
TRUSS HEADER	(2) 2 1/2" SQ. X 14GA TUBE W/ 12" TRUSS
HORZ. BRACE	2 1/4" SQ X 14GA TUBE



1 COLUMN-BASE DETAIL

SCALE: 3/4" : 1'



2 GIRT/PURLIN DETAIL

SCALE: 3/4" : 1'

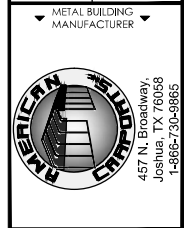
WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

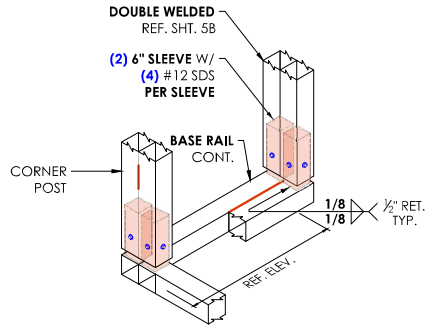
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685



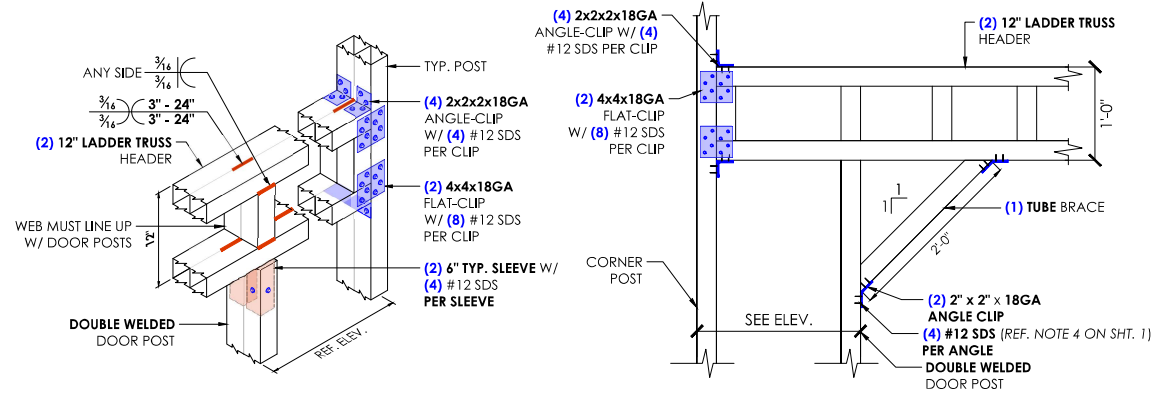
EXPIRES: 3/31/2026
SIGNED: NOV. 04 2024

SHEET NO: **6A OF 7**
PROJECT NO: 233-24-2965
DRAWN BY: S.O. DATE: 11/04/2024
SHEET TITLE: **SIDE WALL FRAMING**
LOCATION: 581 CALIFORNIA STATE HIGHWAY 49
SUTTER CREEK, CA 95685
PROJECT TITLE: THE TACO SPOT

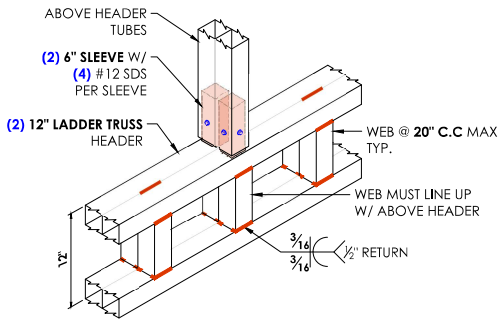




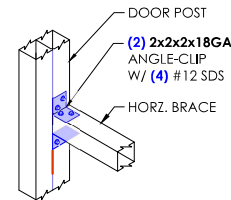
1 DOOR BASE DETAIL
SCALE: 3/4" : 1'



2 DOOR HEADER DETAIL
SCALE: 3/4" : 1'



3 ABOVE HEADER DETAIL
SCALE: 3/4" : 1'



4 HORZ. BRACE DETAIL
SCALE: 3/4" : 1'

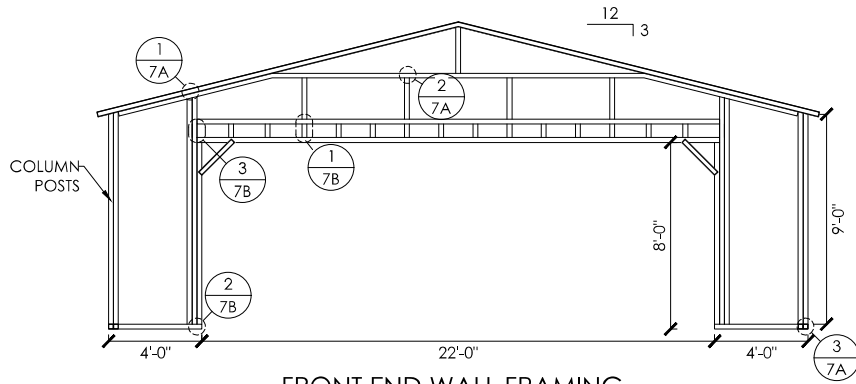
SHEET NO. 6B OF 7	
PROJECT NO. 233-24-2965	
DRAWN BY: S.O.	DATE: 11/04/2024
SHEET TITLE: SIDE WALL FRAMING DETAILS	LOCATION: 581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685
	PROJECT TITLE: THE TACO SPOT
METAL BUILDING MANUFACTURER	
 457 N. Broadway, Joshua, TX 76058 1-866-730-9865	

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685

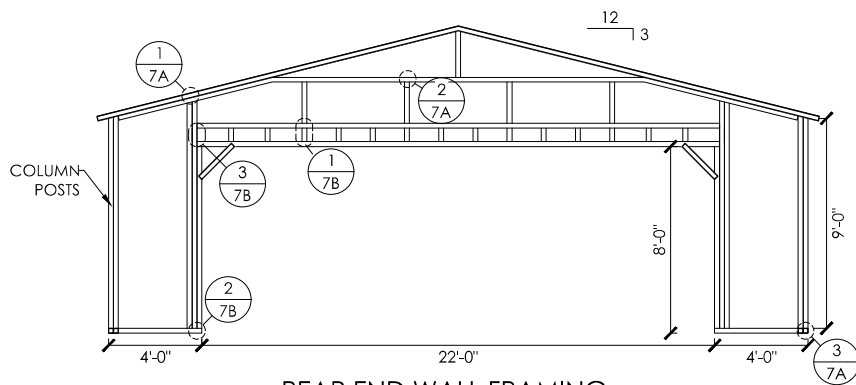


EXPIRES: 3/31/2026
SIGNED: NOV. 04 2024



FRONT END WALL FRAMING

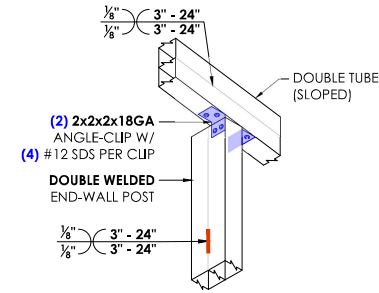
SCALE: 3/16" : 1"



REAR END WALL FRAMING

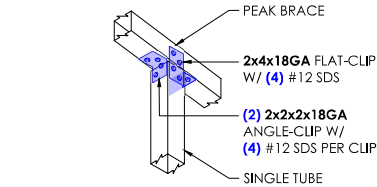
SCALE: 3/16" : 1"

MEMBER PROPERTIES	
CORNER POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
ROOF MEMBER	2 1/2" SQ. X 14GA TUBE
BASE RAIL	2 1/2" SQ. X 14GA TUBE
TRUSS HEADER	(2) 2 1/2" SQ. X 14GA TUBE W/ 12" TRUSS
DOOR POST	2 1/2" SQ. X 14GA TUBE
END WALL POSTS	2 1/2" SQ. X 14GA TUBE
PEAK BRACE	2 1/2" SQ. X 14GA TUBE



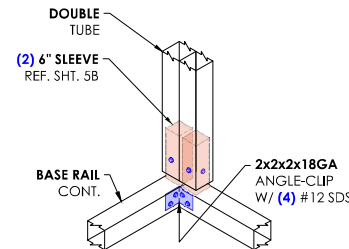
1 ROOF MEMBER DETAIL

SCALE: 3/4" : 1"



2 PEAK BRACE DETAIL

SCALE: 3/4" : 1"



3 CORNER DETAIL

SCALE: 3/4" : 1"

SHEET NO: **7A OF 7**

PROJECT NO: 233-24-2965

DRAWN BY: S.O. DATE: 11/04/2024

LOCATION: 581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685

PROJECT TITLE: THE TACO SPOT

SHEET TITLE: **END WALL FRAMING & DETAILS**

METAL BUILDING MANUFACTURER

AMERICAN BUILDING

457 N. Broadway, Joshua, TX 76058 1-866-730-9865

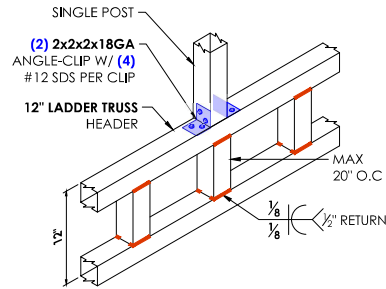
WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685

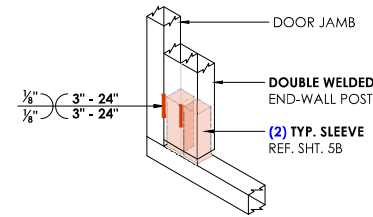
REGISTERED PROFESSIONAL ENGINEER
CIVIL
RAFAEL D. SALGADO
C95761
STATE OF CALIFORNIA

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685

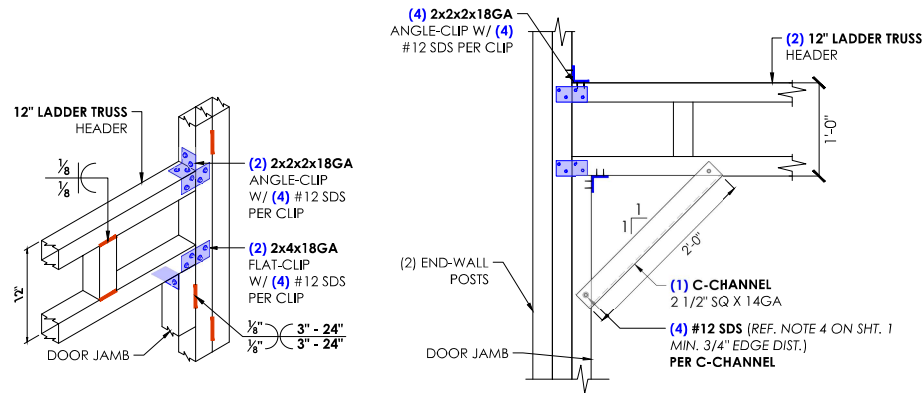
EXPIRES: 3/31/2026
SIGNED: NOV 04 2024



1 ABOVE HEADER DETAIL
SCALE: 3/4" : 1'



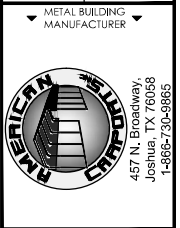
2 DOOR BASE DETAIL
SCALE: 3/4" : 1'



3 DOOR HEADER DETAIL
SCALE: 3/4" : 1'

SHEET NO: **7B OF 7**
PROJECT NO: 233-24-2965
DRAWN BY: S.O. DATE: 11/04/2024

END WALL FRAMING DETAILS
LOCATION: 581 CALIFORNIA STATE HIGHWAY 49
SUTTER CREEK, CA 95685
PROJECT TITLE: THE TACO SPOT



WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685



EXPIRES: 3/31/2026
SIGNED: NOV. 04 2024

Holly Boehme

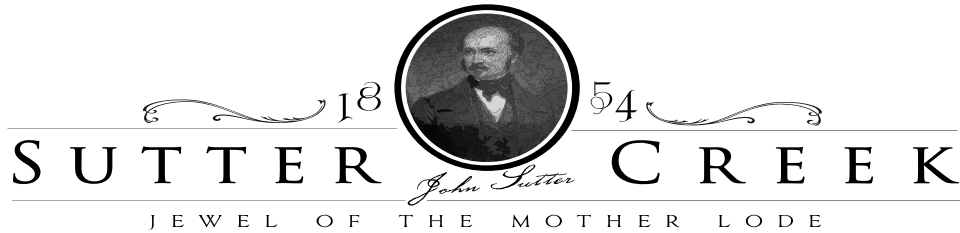
From: Jesus Campos <campos199021@gmail.com>
Sent: Thursday, January 30, 2025 10:13 AM
To: Holly Boehme



Holly Boehme

From: Jesus Campos <campos199021@gmail.com>
Sent: Thursday, January 30, 2025 10:13 AM
To: Holly Boehme
Subject: The taco spot





STAFF REPORT

TO: PLANNING COMMISSION
MEETING DATE: MARCH 10, 2025
FROM: ERIN VENTURA, PLANNER
SUBJECT: CONDITIONAL USE PERMIT FOR A SHORT-TERM RENTAL
 90 BOSTON ALLEY, SUTTER CREEK, APN 018-132-017

RECOMMENDATION:

1. Conduct a public hearing and receive public input, and
2. Find that the project is Categorically Exempt under Class 32 of the CEQA Guidelines; and
3. Adopt Resolution 24-25-* approving a Conditional Use Permit for Sandra Burns to operate a Short-Term Rental at 90 Boston Alley based on the proposed Findings and subject to the proposed Conditions of Approval.

BACKGROUND:

Property owner, Sandra Burns, have submitted an application for a Conditional Use Permit (Exhibit A) to use a single bedroom and bathroom in the existing house as a short term rental. The house located at 90 Boston Alley. The bedroom and bathroom are separated from the main house by two deadbolted doors.

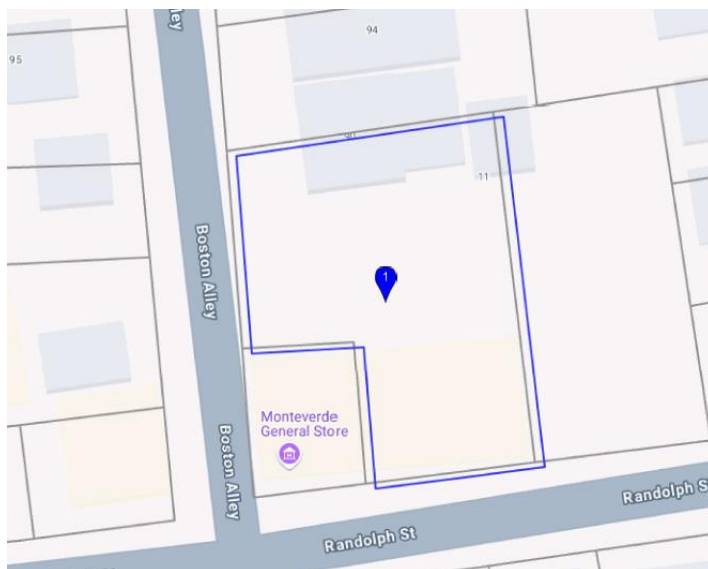


Figure 1: Location Map

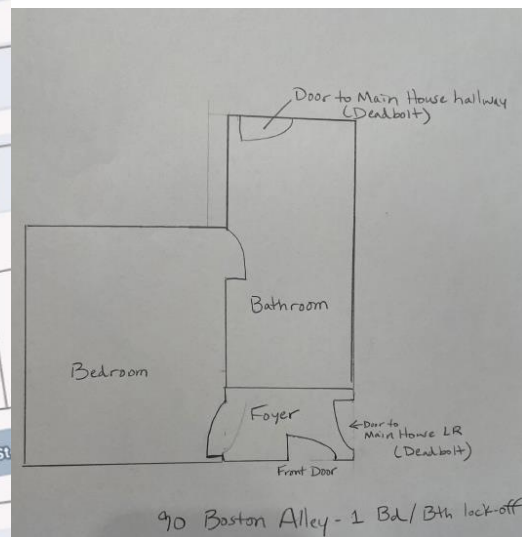


Figure 2: Floor Plan

Site Location	90 Boston Alley (APN 018-132-017)
Building Plan	1 bedroom, 1 bath in existing house
Lot size	11,325 Sq. Ft.
Zoning	R1 (Single Family Residential)
General Plan Land Use Designation	RSF (Residential Single Family)
Main Street Historic District	No
Historic District	Yes
Parking Required per Municipal Code Section 18.48.030 Parking Requirements by Land Use, Transient occupancy. The requirement is one (1) space for each guest room plus one (1) space for each five (or less) guest rooms.	1 spaces required.

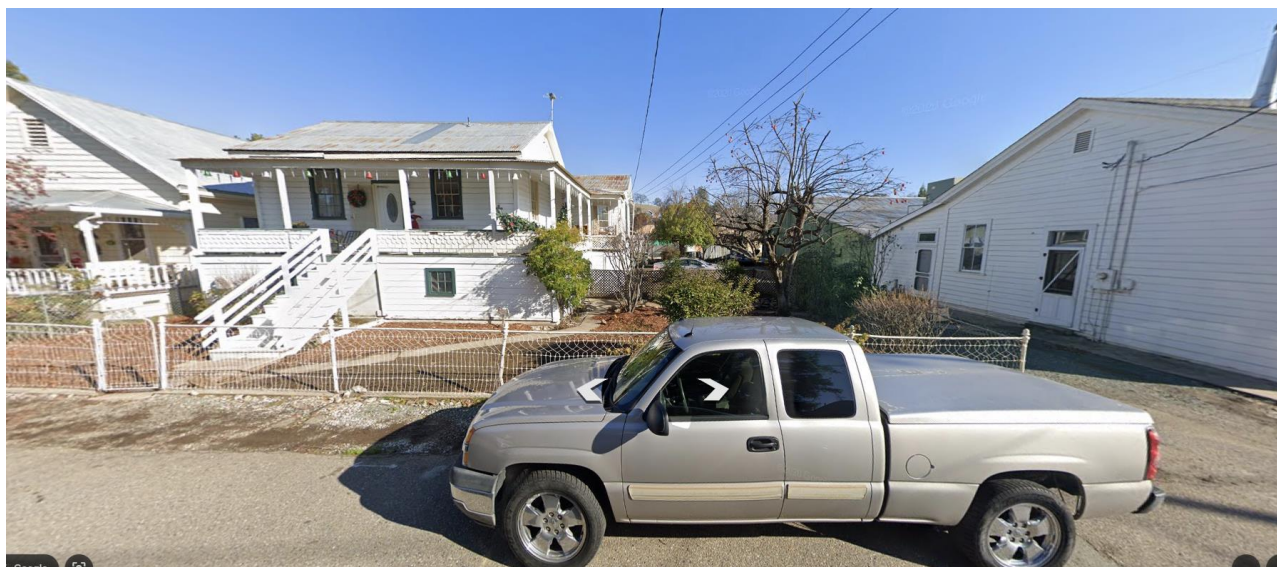


Figure 3: Street View

DISCUSSION:

During the Council meeting on November 25, 2019, the Council instructed staff to keep track of the number of approved short-term rentals and to report back when the total reached twenty. Currently, there are eighteen active short-term rentals. In Fall of 2024, we returned to the City Council to discuss short term rentals and if they felt there needed to be any changes. At this time no additional changes to the ordinance are recommended and we will provide an update as the City receives more applications.

General Plan and Zoning

The home is located in a single-family Residential Zone (R-1). Short-term rental units are functionally equivalent to Bed and Breakfast Inns. Bed and Breakfast Inns are permitted in any zone upon securing a Conditional Use Permit. (Municipal Code Section 18.60.020(B)).

Parking

The home has a driveway that can accommodate an additional car.

California Environmental Quality Act (CEQA) Guidelines

This use qualifies for a Categorical Exemption under Class 32 (In-Fill Development Projects)

Staff recommends the following conditions of approval:

1. Maintain the exterior appearance of the vacation rental unit compatible with the single-family residence.
2. Maintain three (1) off-street parking space that is available for use by vacationing families.
3. Maintain a valid City of Sutter Creek Business License.
4. Provide the City with proof of insurance.
5. Provide the City with a Site Plan and Floor Plan for the short-term rental.
6. Pay the monthly Transient Occupancy Tax to the City of Sutter Creek.
7. Provide a completed checklist for fire safety (fire extinguishers, smoke alarms, carbon monoxide detectors, etc.) It is the owner's responsibility to ensure that the short-term rental is and remains in substantial compliance with all applicable codes regarding fire, building and safety, health and safety, and other relevant laws.
8. The maximum number of overnight guests for a short-term rental unit shall not exceed two persons per bedroom, except that children under the age of four shall not be counted for purposes of calculating this limitation so long as the children sleep in the same bedroom as at least one of their parents or legal guardians. Additional daytime guests are allowed between the hours of 7:00 a.m. and 10:00 p.m., with the maximum daytime guests not to exceed two persons per bedroom plus four.
9. Occupants of the short-term rental unit shall comply with all standards and regulations stated in Chapter 10.50 of this Code concerning noise.
10. The owner or operator shall provide each occupant of the short-term rental unit with the following information prior to occupancy of the unit and shall post such information in a prominent location within the unit:
 - A. The contact information for the operator, with 24-hour availability.
 - B. The maximum number of overnight occupants and the maximum number of daytime occupants as permitted under this permit;
 - C. Trash pick-up day and applicable rules and regulations pertaining to leaving or storing trash on the exterior of the property;

- D. A copy of the Chapter 10.50 of this Code concerning noise; and
 - E. Notification that the occupant or owner may be cited or fined by the City in accordance with this Code.
11. While a short-term rental unit is rented, the owner, operator, or local contact person shall be available 24 hours per day, seven days per week for the purpose of responding within 60 minutes to complaints regarding the condition, operation, or conduct of occupants of the short-term rental unit or their guests.
 12. The owner, operator, or local contact person shall use reasonably prudent business practices to ensure that the occupants and/or guests of the short-term rental unit do not create unreasonable noise or disturbances, engage in disorderly conduct, or violate any applicable law, rule or regulation pertaining to the use and occupancy of the short-term rental unit.
 13. Prior to occupancy of a short-term rental unit, the owner or operator shall obtain the name, address, and a copy of a valid government identification of the responsible person and require such responsible person to execute a formal acknowledgement that he or she is legally responsible for compliance by all occupants of the short-term rental unit and their guests with all applicable laws, rules, and regulations pertaining to the use and occupancy of the short-term rental unit.
 14. The owner, operator, or local contact person shall upon notification that the responsible person and/or any occupant and/or guest of the short-term rental unit has created unreasonable noise or disturbances, engaged in disorderly conduct, or committed violations of any applicable law, rule or regulation pertaining to the use and occupancy of the subject short-term unit, promptly respond within 60 minutes and appropriate manner to immediately halt or prevent a recurrence of such conduct by the responsible person and/or any occupants and/or guests. Failure of the owner, and/or operator to respond to calls or complaints regarding the condition, operation, or conduct of occupants and/or guests of the short-term rental unit within 60 minutes and appropriate manner shall be subject to all administrative, legal, and equitable remedies available to the City.
 15. The owner, operator, or local contact person shall report to the City Manager the name, violation, date, and time of disturbance of each person involved in *any* disorderly conduct activities, disturbances, or other violations of any applicable law, rule, or regulation pertaining to the use and occupancy of the subject short-term unit.
 16. Trash and refuse shall not be left stored within public view, except in proper containers for the purpose of collection by the City's authorized waste hauler on scheduled trash collection days. The owner or operator shall use reasonably prudent business practices to ensure compliance with all the provisions of Chapter 9.08 of the City's Municipal Code.
 17. A violation of any provision of this Chapter by any occupant, owner, or operator shall constitute grounds for modification, suspension, or revocation of the short-term rental

permit. In addition, the failure of the owner or operator to satisfy any of its obligations and requirements of Chapter 4.16 concerning transient occupancy taxes shall be an independent basis for modification, suspension, or revocation of any permit issued under this Chapter.

18. Whenever any owner or operator fails to comply with any provision of this Chapter, the City, after giving the operator or owner ten days written notice specifying the time and place of a hearing before the Planning Commission, and requiring him to show cause why the short-term rental permit should not be modified, suspended, or revoked, may modify, suspend, or revoke the permit held by the operator or owner.
19. The City may enforce this Chapter, including the terms and conditions of any permit granted under this Chapter, by any means provided for in Chapter 1.16 of this Code or by any other means authorized by law.
20. This is a non-transferrable permit.

RESOLUTION 24-25-
A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF SUTTER CREEK APPROVING
A CONDITIONAL USE PERMIT FOR
SANDRA BURNS
90 BOSTON ALLEY, SUTTER CREEK, CA 95685
APN 018-132-017

WHEREAS, the Planning Commission of the City of Sutter Creek did on Monday, March 10, 2025, held a public hearing on a Conditional Use Permit for SANDRA BURNS for Vacation Rental Use of a bedroom and bathroom located within the single family residence at 90 Boston Alley, Assessor Parcel No. 018-132-017 after properly noticing said hearing; and

WHEREAS, the Planning Commission did at said public hearing receive a report from the planning staff, receive input from the Applicant and members of the public in attendance at said public hearing, and at the closing of said public hearing did deliberate and consider the same; and

WHEREAS, the Planning Commission does find the proposal is exempt from environmental review as a Class 32 Categorical Exemption under CEQA.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission of the City of Sutter Creek hereby approves a Conditional Use Permit for Troy Fine based on the following Findings:

1. The proposed use of the property is essential or desirable to the public convenience or welfare because it will provide an important tourist-related service to the community.
2. The proposed use is in compliance with the Sutter Creek General Plan goals, policies, and Residential Single-Family Land Use designation.
3. The proposed use will not impair the integrity and character of the zoning district because the use is consistent with activities within the R-1 Zone – One Family Dwelling.
4. The proposed use would not be detrimental to public health, safety or general welfare because appropriate conditions of approval have been attached to the project.
5. The proposed use of the property implements the Sutter Creek General Plan and the purposes of the Planning Title, because the General Plan and Zoning Ordinance recognize the importance of providing visitor lodging to promote and encourage commercial activity in the community.

BE IT FURTHER RESOLVED, the Planning Commission hereby approves the Use Permit, subject to the following Conditions of Approval:

1. Maintain the exterior appearance of the vacation rental unit compatible with the single-family residence and detached accessory structure.
2. Maintain three (3) off-street parking spaces available for use by vacationing families.

3. Maintain a valid City of Sutter Creek Business License.
4. Provide the City with proof of insurance.
5. Provide the City with a Site Plan and Floor Plan for the short-term rental.
6. Pay the monthly Transient Occupancy Tax to the City of Sutter Creek.
7. Provide a completed checklist for fire safety (fire extinguishers, smoke alarms, carbon monoxide detectors, etc.) It is the owner's responsibility to ensure that the short-term rental is and remains in substantial compliance with all applicable codes regarding fire, building and safety, health and safety, and other relevant laws.
8. The maximum number of overnight guests for a short-term rental unit shall not exceed two persons per bedroom, except that children under the age of four shall not be counted for purposes of calculating this limitation so long as the children sleep in the same bedroom as at least one of their parents or legal guardians. Additional daytime guests are allowed between the hours of 7:00 a.m. and 10:00 p.m., with the maximum daytime guests not to exceed two persons per bedroom plus four.
9. Occupants of the short-term rental unit shall comply with all standards and regulations stated in Chapter 10.50 of this Code concerning noise.
10. The owner or operator shall provide each occupant of the short-term rental unit with the following information prior to occupancy of the unit and shall post such information in a prominent location within the unit:
 - A. The contact information for the operator, with 24-hour availability;
 - B. The maximum number of overnight occupants and the maximum number of daytime occupants as permitted under this permit;
 - C. Trash pick-up day and applicable rules and regulations pertaining to leaving or storing trash on the exterior of the property;
 - D. A copy of the Chapter 10.50 of this Code concerning noise; and
 - E. Notification that the occupant or owner may be cited or fined by the City in accordance with this Code.
11. While a short-term rental unit is rented, the owner, operator, or local contact person shall be available 24 hours per day, seven days per week for the purpose of responding within 60 minutes to complaints regarding the condition, operation, or conduct of occupants of the short-term rental unit or their guests.
12. The owner, operator, or local contact person shall use reasonably prudent business practices to ensure that the occupants and/or guests of the short-term rental unit do not create unreasonable noise or disturbances, engage in disorderly conduct, or

violate any applicable law, rule or regulation pertaining to the use and occupancy of the short-term rental unit.

13. Prior to occupancy of a short-term rental unit, the owner or operator shall obtain the name, address, and a copy of a valid government identification of the responsible person and require such responsible person to execute a formal acknowledgement that he or she is legally responsible for compliance by all occupants of the short-term rental unit and their guests with all applicable laws, rules, and regulations pertaining to the use and occupancy of the short-term rental unit.
14. The owner, operator, or local contact person shall upon notification that the responsible person and/or any occupant and/or guest of the short-term rental unit has created unreasonable noise or disturbances, engaged in disorderly conduct, or committed violations of any applicable law, rule or regulation pertaining to the use and occupancy of the subject short-term unit, promptly respond within 60 minutes and appropriate manner to immediately halt or prevent a recurrence of such conduct by the responsible person and/or any occupants and/or guests. Failure of the owner, and/or operator to respond to calls or complaints regarding the condition, operation, or conduct of occupants and/or guests of the short-term rental unit within 60 minutes and appropriate manner shall be subject to all administrative, legal, and equitable remedies available to the City.
15. The owner, operator, or local contact person shall report to the City Manager the name, violation, date, and time of disturbance of each person involved in *any* disorderly conduct activities, disturbances, or other violations of any applicable law, rule, or regulation pertaining to the use and occupancy of the subject short-term unit.
16. Trash and refuse shall not be left stored within public view, except in proper containers for the purpose of collection by the City's authorized waste hauler on scheduled trash collection days. The owner or operator shall use reasonably prudent business practices to ensure compliance with all the provisions of Chapter 9.08 of the City's Municipal Code.
17. A violation of any provision of this Chapter by any occupant, owner, or operator shall constitute grounds for modification, suspension, or revocation of the short-term rental permit. In addition, the failure of the owner or operator to satisfy any of its obligations and requirements of Chapter 4.16 concerning transient occupancy taxes shall be an independent basis for modification, suspension, or revocation of any permit issued under this Chapter.
18. Whenever any owner or operator fails to comply with any provision of this Chapter, the City, after giving the operator or owner ten days written notice specifying the time and place of a hearing before the Planning Commission, and requiring him to show cause why the short-term rental permit should not be modified, suspended, or revoked, may modify, suspend, or revoke the permit held by the operator or owner.
19. The City may enforce this Chapter, including the terms and conditions of any permit

granted under this Chapter, by any means provided for in Chapter 1.16 of this Code or by any other means authorized by law.

20. This is a non-transferrable permit.

PASSED AND ADOPTED by the Planning Commission of the City of Sutter Creek on this Monday the 10^h day of March, 2025 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

ATTEST:

Michael Kirkley, Chairman

Mason Peters, Deputy City Clerk

City of Sutter Creek

18 Main Street

Sutter Creek, CA 95685

209-267-5647

www.cityofsuttercreek.org

RECEIVED:

Section 5, Item C.

FEE PAID:

RECEIVED

JAN 06 2025

City of Sutter Creek

Submission Requirements

1- Application*

2- Map*

3- Fees (Refer to current fee schedule. All Fees must be paid at City Hall)

*All documentaion must be submitted via the application portal on the City website

CONDITIONAL USE PERMIT APPLICATION

Page 1 of 1

Project Applicant:

Sandra Burns

Project Address:

90 Boston Alley, SC 95685

Phone:

(805) 423-2718

Email:

micjanhan@icloud.com

APN:

018-132-017-000

Is this located in the Historic District? Yes ☒ No ☐

If yes, please see checklist for Design Review.

Property Owner:

Name:

Sandra Burns

Mailing Address:

P.O. Box 1140

City:

Sutter Creek

State:

CA

Zip:

95685

Phone:

(805) 423-2718

Email:

micjanhan@icloud.com

Is this person the project contact? If not, please specify who the contact person is.

Name:

Yes!

Mailing Address:

Phone:

Email:

Description of work to be performed: (please provide a detailed description using the back if necessary)

This is being submitted as part of an application to register my property as an Airbnb.

Decription of Property:

Single family home with cottage behind it.

Proposed Use of Property:

Short-term rental (s): *Cottage (1bd/1bth) AND front 1bd/bth in main house.

*Intermittent ST rental - May rotate w/ longer term rental.

Describe how land is being used currently on adjacent parcels

North:

Private residence.

East:

Vacant lot

South:

My barn (next door to Monteverde Museum)

West:

Commercial properties

Additional Information: