



Design Review Committee Agenda

Monday, February 10, 2025 at 5:00 PM

33 Church Street, Sutter Creek, CA 95685

The Agenda can be found on the City's Website: www.cityofsuttercreek.org

The City of Sutter Creek Design Review Meeting will be available via Zoom and in person.

Join Zoom meeting:

<https://us02web.zoom.us/j/81391466458?pwd=4jXmBm1AP5bEbiID3iDwuxk4GpreRY.1>

Please note: Zoom participation is only available for VIEWING the Council meeting.

Public Comment will not be taken from Zoom

Or Dial by phone: 301 715 8592 Webinar ID: 816 8589 0182 Passcode: 186036

Unless stated otherwise on the agenda, every item on the agenda is exempt from review under the California Environmental Quality Act ("CEQA") per CEQA Guidelines Sections 15060(c), 15061(b)(3), 15273, 15378, 15301, 15323 and/or Public Resources Code Section 21065.

- 1. Call to Order and Establish a Quorum for Regular Meeting**
- 2. Pledge of Allegiance to the Flag**
- 3. Public Forum**

Any person may address the Committee regarding matters not on the agenda and within their purview.

- 4. Consent Agenda**

Items listed on the consent agenda are considered routine and may be enacted in one motion. Any item may be removed for discussion at the request of the Committee or the Public.

- A. [Design Review Committee Minutes of Jan 13, 2025](#)**

Recommendation: Approval of Minutes

5. Design Clearance Applications

- A. 190 Mohoney Mill Road- Design Clearance for a carport structure within the Historic District
- B. 551 State Hwy 49 - IBS - The Taco Spot - Design Clearance for a 1,480 sf structure located
- C. 29 Spanish Street - Design Clearance for the construction of the new Accessory Dwelling Unit and detached garage

6. Adjournment



Design Review Committee Minutes

Monday, January 13, 2025 at 5:00 PM

33 Church Street, Sutter Creek, CA 95685

The Agenda can be found on the City's Website: www.cityofsuttercreek.org

The City of Sutter Creek Design Review Meeting was available via Zoom and in person.

1. Call to Order and Establish a Quorum for Regular Meeting

Attendees: John Otto, Susan Peters, Michael Neuschwanger, Sharyn Brown, Sandra Barraco

Staff: Erin Ventura, Tom DuBois

2. Pledge of Allegiance to the Flag

Chair Peters led the Pledge

3. Public Forum - None

Any person may address the Committee regarding matters not on the agenda and within their purview.

4. Consent Agenda

Items listed on the consent agenda are considered routine and may be enacted in one motion. Any item may be removed for discussion at the request of the Committee or the Public.

A. Design Review Committee Minutes of November 12, 2025

Recommendation: Approval of Minutes

Moved by Otto, Seconded by Neuschwanger

Passed 5 - 0

5. Design Clearance Applications

A. Design Clearance for a remodel and addition to an existing structure within the Historic District

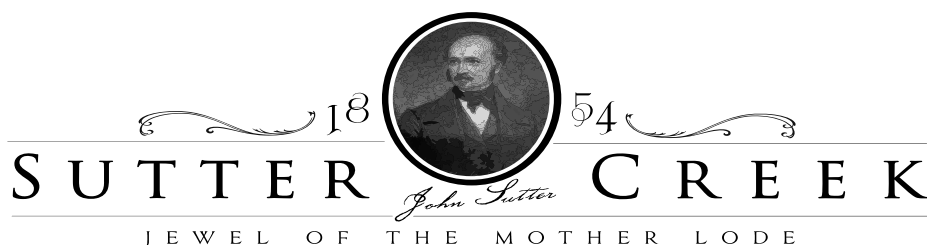
Committee thought it was a nice project. Any building envelope change needs to come to the design review committee. Discussion about sign design being reviewed.

Motion by Barraco, Second Brown

Passed 5 - 0

6. Adjourned at 5:09 PM

Next meeting is Feb 10, 2025



DATE: February 10, 2025

TO: Design Review Committee

FROM: Erin Ventura, Contract Planner

RE: 190 Mahoney Mill Road - Design Clearance for an accessory structure within the Historic District
(APN: 018-112-012)
Zoning: R-1 One Family Dwelling
Design Standard District: Historic District
Applicant: David & Kathy Ghormley

RECOMMENDATION:

Approve Design Clearance for an accessory structure located within the Historic District.

BACKGROUND:

The applicants, David & Kathy Ghormley, are proposing to construct a 16' by 29' (464 sf) metal carport type structure located within the R-1 zoning district.

	<u>Requirements for Design Clearance:</u>	<u>Proposed:</u>	<u>Design Criteria met:</u>	<u>Recommendations, if any to meet Design Clearance:</u>
Zoning	R-1	R-1	Yes	
District:	Historic District			
Lot Size:	--	3.740 acres	N/A	
Set Back requirements:				
Front	25'	18'	No	The applicant has requested a Variance.
Side	5'	9'	Yes	
Rear	15'	--	Yes	
Lot coverage	--	--	Yes	
Are there existing historic features?	No			
Structure Type	Accessory Structure	Accessory Structure	Yes	
Max Building height	35ft	12'	Yes	

DISCUSSION:

The applicant is proposing the construction of a 464 square foot metal carport. The carport will be grey in color. In the future, the applicant plans to re-side their existing house and paint it white with grey

trim, which will match the proposed carport. The applicant has already planted a hedge to soften the appearance of the structure from the road.

Section 5, Item A.

Due to the existing conditions of the lot and the topography the applicant is requesting a Variance. The Variance will be reviewed by the Planning Commission at a later date.

The Design Standards do not specifically address prefabricated metal structures in residential zones, only in industrial zones. However, the proposed carport will feature non-reflective materials and will align with the aesthetic of the existing house and detached garage, both of which have metal roofs.

Design Standards

The City's Design Standards provide additional direction regarding consideration for adjacent development, building and parking locations, landscaping, accessory facilities, and building design. This project is located within the Historic District, so in addition to Chapter 2.0, Design Standards that Apply to all Project, Chapter 3.0, Historic District Design Standards, also apply.

2.3 Design Standards That Apply to All Historic District Project

2.3.1 Architectural Style

- a. 4. Non-reflective corrugated metal roofs....

3.5 Additional Design Standards for Residential Structures in the Historic Districts

3.5.6 Roofs

- b. Roof materials shall be selected so as to match or simulate historic materials that are consistent with the building's style.

While the use of a prefabricated structure may not be the City's preferred aesthetic, similar structures have been approved throughout the City and have not been found to be visually intrusive.

Staff recommends that the Design Review Committee approve the project as presented.

**City of Sutter Creek
Design Review Application**

Section 5, Item A.

**For Residential Projects
Within the Historic District**

Please complete the "Existing & Proposed" Columns. Please submit your plans in print ready.pdf to be printed as 11 x 17. Please show: elevations, site plan, spot grades, and include elevations at the corners of buildings and also include any existing historic features.

DATE: 1-27-25
TO: DESIGN REVIEW COMMITTEE
FROM: Kathy Ghormley

REVIEWED and SUBMITTED BY: _____

Project Address: 190 mahoney mill Road

#	Design Standard Reference	Design Criteria Requirements:		Existing:	Proposed:	Has design criteria been met? Y/N?	Recommendations, if any to meet Design Criteria:
1.		Zoning					
2.		District:	Historic				
3.		Lot Size:	N/A	3.74 Acres			
4.		Set Back requirements:					
5.		Front	25'	N/A	18'		
6.		Side	5'		9'		
7.		Rear	10'		A lot!		
8.	2.2; 3.5	Siting:					
9.		Lot coverage			minimal		
10.	3.0; 3.3.1;3.3.5;	Are there existing historic features?		N/A	N/A		
11.		Structure Type		N/A	Steel		
12.		Max building height	35'	N/A	12'		

**City of Sutter Creek
Design Review Application**

Section 5, Item A.

**For Residential Projects
Within the Historic District**

**City of Sutter Creek
Design Review Application**

Section 5, Item A.

**For Residential Projects
Within the Historic District**

	Design Standard Reference	Design Criteria Requirements:		Existing:	Proposed:	Has design criteria been met? Y/N?	Recommendations, if any to meet Design Criteria:
13.	3.3;3.5	Historical Style	National, shotgun, Victorian, or craftsman	N/A	Parking Structure		
14.	3.5; 3.5.6; 3.5.11	Roof pitch	In new construction, reflect historic style		3:12		
15.	3.5; 3.5.6; 3.5.11	Roofing material	Historic style		Corrugated Sheet metal		
16.	3.5; 3.5.2; 3.5.11	Exterior Finish and color scheme			Grey (Painted)		
17.	3.5; 3.5.3; 3.5.11	Siding	Matching historic style		Corrugated Sheet metal		
18.	3.5; 3.5.3; 3.5.11	Doors	Consistent in shape and scale with building's style.		N/A		
19.	3.5; 3.5.4; 3.5.11	Windows			N/A		
20.	3.5; 3.5.7; 3.5.11	Porches	Match the home in historic character		N/A		

**City of Sutter Creek
Design Review Application**

Section 5, Item A.

**For Residential Projects
Within the Historic District**

	Design Standard Reference	Design Criteria Requirements:		Existing:	Proposed:	Has design criteria been met? Y/N?	Recommendations, if any to meet Design Criteria:
21.	3.5; 3.5.8	Lighting	Match architecturally	N/A	N/A		
22.	3.5.9	Existing fencing or rock walls?		Keystone Retaining Wall	—		
23.	3.5; 3.5.9; 3.5.10	Mechanical Equipment and Service Areas			N/A		
24.	3.2; 3.3	Does the structure blend as proposed? Compatibility Objectives?		✓			

Other Comments:

When reviewing, we hope you will consider the following:

- The proposed location is the best possible scenario considering the existing driveway and slope of the land.
- We have already retained the hillside and planted a hedge to soften the structure.
- We feel it will give our property a cleaner look rather than vehicles parked in the open.
- Our existing garage was built right against the property line on the road with no setback.
- This property is close to 4 acres in size and has a rural feel as opposed to the downtown neighborhoods. A steel structure is typically acceptable and normal for this type of property.
- We chose grey for the color because we intend to replace the siding on our home this summer and paint it white with grey trim – making the structures blend nicely.

Specifications

Structure Dimensions

ERECTED SIZE 16'W x 29'L x 10'H	ROOF PITCH 3:12	SHEET METAL COVERAGE Roof coverage is 29'
SIDE WALL HEIGHT 10'	PEAK HEIGHT 12'0"	ON CENTER SPACING 4.5'
TRUSS BRACE DESCRIPTION 0 - No Truss	GROUND TO TRUSS BRACE CLEARANCE 10' 7-5/8"	SPECIAL NOTE ON FRAME LENGTH Actual frame length is 27' long with 4.5' on center truss spacing

STEEL FRAME 2" x 3" 14 & 15 gauge tubing made of the highest quality domestic galvanized steel	SHEET METAL PANELS 21	SHEET METAL PANEL SIZE 10'0" (120") Roof Panel , 9'2" (110") Roof Panel
SHEET METAL GAUGE 29 gauge	PERMITTING NOTE If permitting is required by your city/ county, truss bracing is mandatory. Call VersaTube for additional information.	

Engineering Details

ON CENTER SPACING 4.5'	STEEL FRAME 2" x 3" 14 & 15 gauge tubing made of the highest quality domestic galvanized steel	SHEET METAL PANELS 21
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SHEET METAL PANEL SIZE 10'0" (120") Roof Panel , 9'2" (110") Roof Panel	SHEET METAL GAUGE 29 gauge	PERMITTING NOTE If permitting is required by your city/ county, truss bracing is mandatory. Call VersaTube for additional information.
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Snow and Wind Load

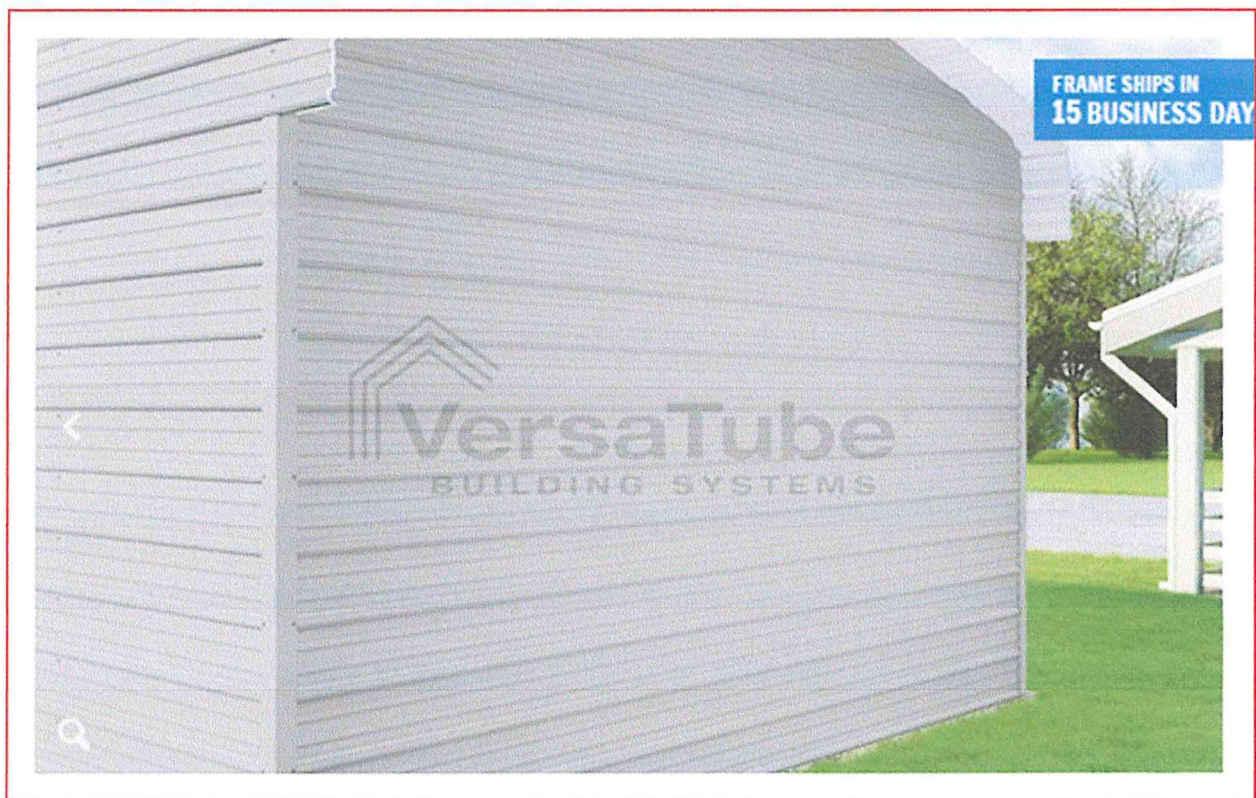
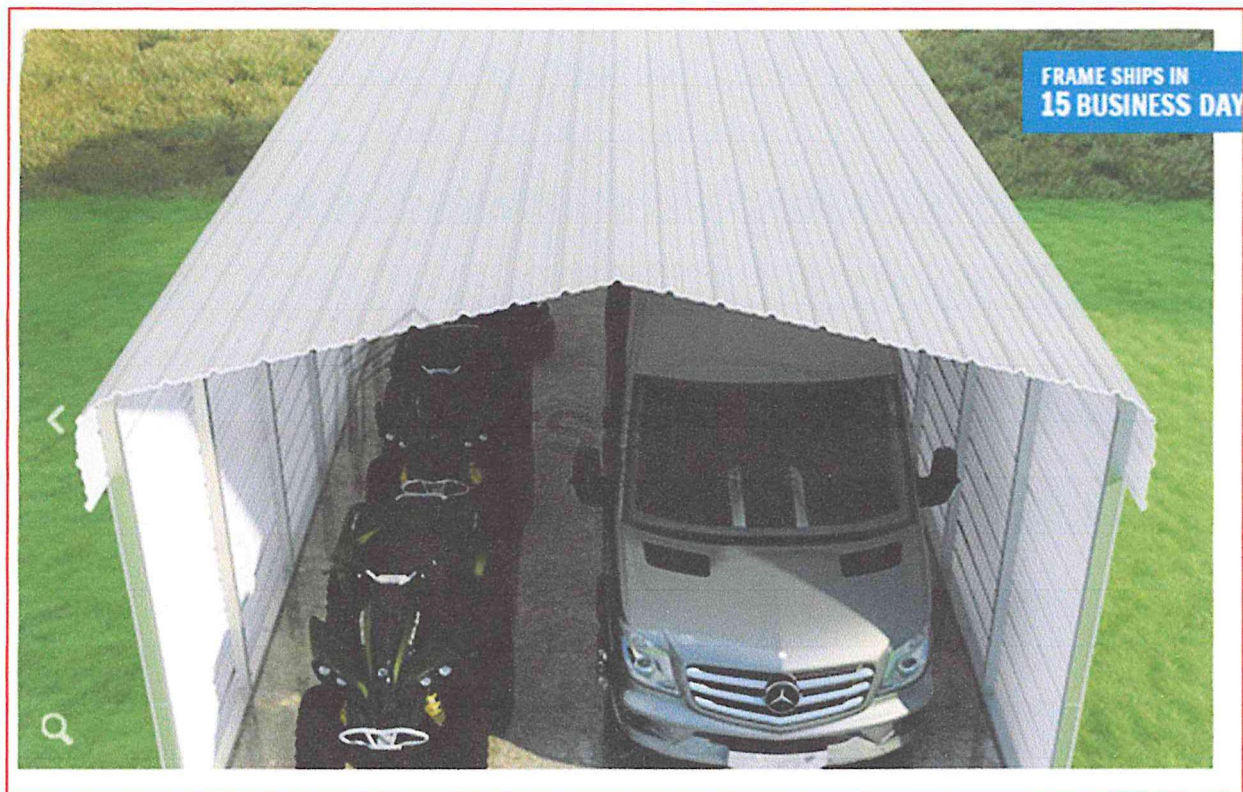
Wind Load Up to 130 MPH	Ground Snow Load Up to 33.1 PSF
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Disclaimer: Wind and snow ratings provided are for reference only and have been calculated by assuming an entirely and securely assembled anchored frame. These calculations are subjected to change by locations. Conformance to local codes is the responsibility of the purchaser.

16'W X 29'L X 10'H / Three sides / Color: Grey

* Choosing the color grey because we are planning to re-side our home this coming summer and plan to paint the home white with grey trim.





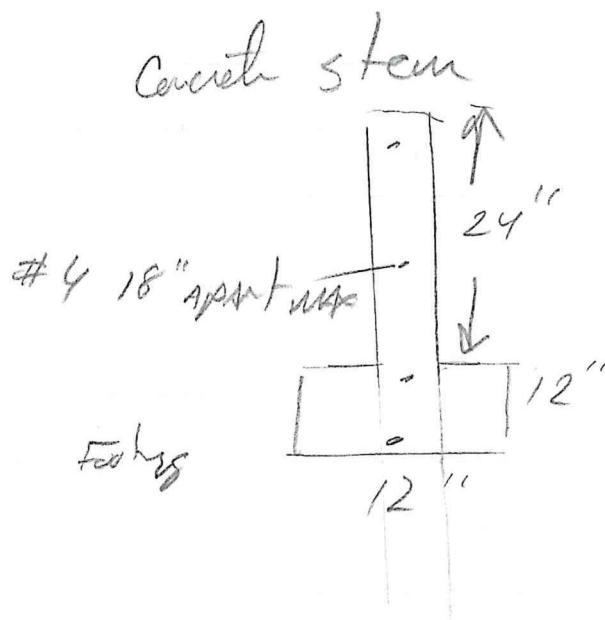
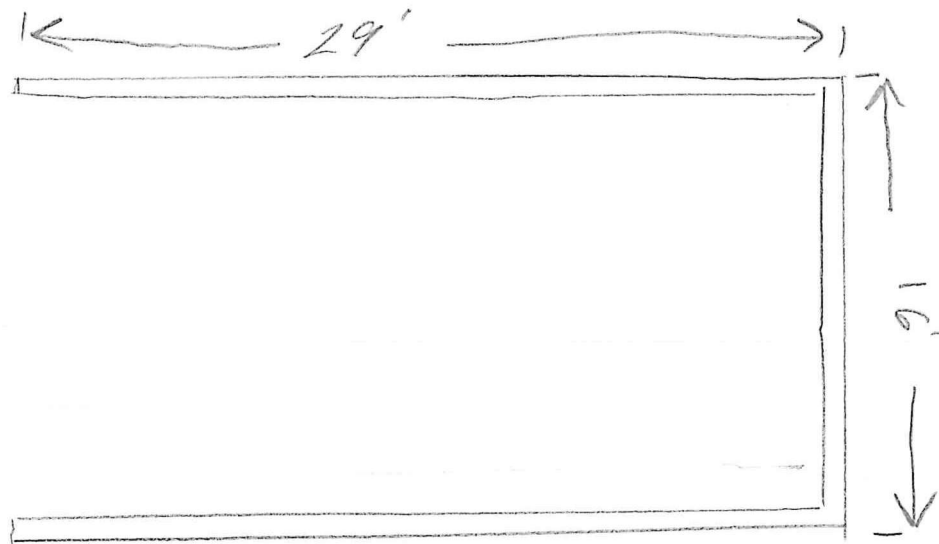


EXHIBIT MAP

MAHONEY

ER
01901

EXHIBIT "B"
16x29
Covered parking

ROAD

SANITARY SEWER

ADJUSTED PARCEL 3

3.74 ACRES +/-
162,917.55 Sq ft

SUTTER CREEK

ALLEN ET AL
490.0R.556

ADJUSTED PARCEL 2

1.45 ACRES +/-
63,149.49 Sq ft

SANITARY SEWER

HOUSE

SHED

PROPERTY HEREBY

LINE ABANDONED

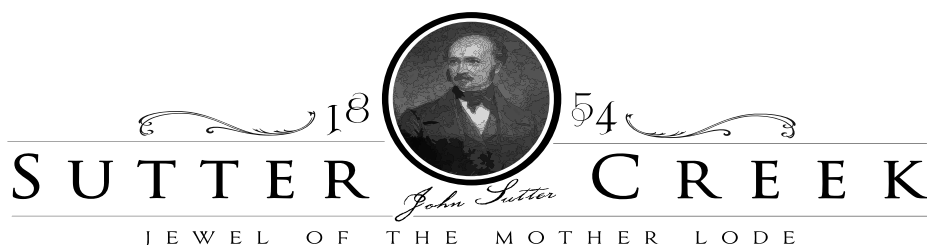
SSMH

5' B.S.L.

5' B.S.L.

5' B.S.L.

374.14' (R)



DATE: February 10, 2025

TO: Design Review Committee

FROM: Erin Ventura, Contract Planner

RE: 551 State Highway 49 - Design Clearance for an accessory structure
(APN: 044-020-086)
Zoning: C-2 Commercial
Design Standard District: Outside of the Historic District
Applicant: Italian Benevolent Society

RECOMMENDATION:

Approve Design Clearance for an accessory structure located within the C-2 zoning district and along Highway 49.

BACKGROUND:

The applicants, Italian Benevolent Society, are proposing to construct an approximate 46' by 30' (1,380 sf) metal structure over the existing seating area in front of the previously approved food truck, The Taco Spot.

	<u>Requirements for Design Clearance:</u>	<u>Proposed:</u>	<u>Design Criteria met:</u>	<u>Recommendations, if any to meet Design Clearance:</u>
Zoning	C-2	C-2	Yes	
District:	--	--		
Lot Size:	--	.31 acres	N/A	
Set Back requirements:				
Front	5'	30'	Yes	
Side	5'	--	Yes	
Rear	10'	--	Yes	
Lot coverage	--	--	Yes	
Are there existing historic features?	No			
Structure Type	Accessory Structure	Accessory Structure	Yes	
Max Building height	45ft	13' 2"	Yes	

DISCUSSION:

The applicant is proposing to construct a new metal structure that will be open on all four sides. The structure will be placed over the existing seating area in front of the food truck. The site has a

Conditional Use Permit in place which allows the placement of the food truck. The new structure will not take up any of the required parking.

The applicant will also be required to obtain Site Plan approval from the Planning Commission for the construction of a new building within the C-2 zone.

Design Standards

The City's Design Standards provide additional direction regarding consideration for adjacent development, building and parking locations, landscaping, accessory facilities, and building design. This project is located within the Historic District, so in addition to Chapter 2.0, Design Standards that Apply to all Project, Chapter 3.0, Historic District Design Standards, also apply.

Design Standards

The City's Design Standards provide additional direction regarding consideration for adjacent development, building and parking locations, landscaping, accessory facilities, and building design. This project is located within the Historic District, so in addition to Chapter 2.0, Design Standards that Apply to all Project, Chapter 3.0, Historic District Design Standards, also apply.

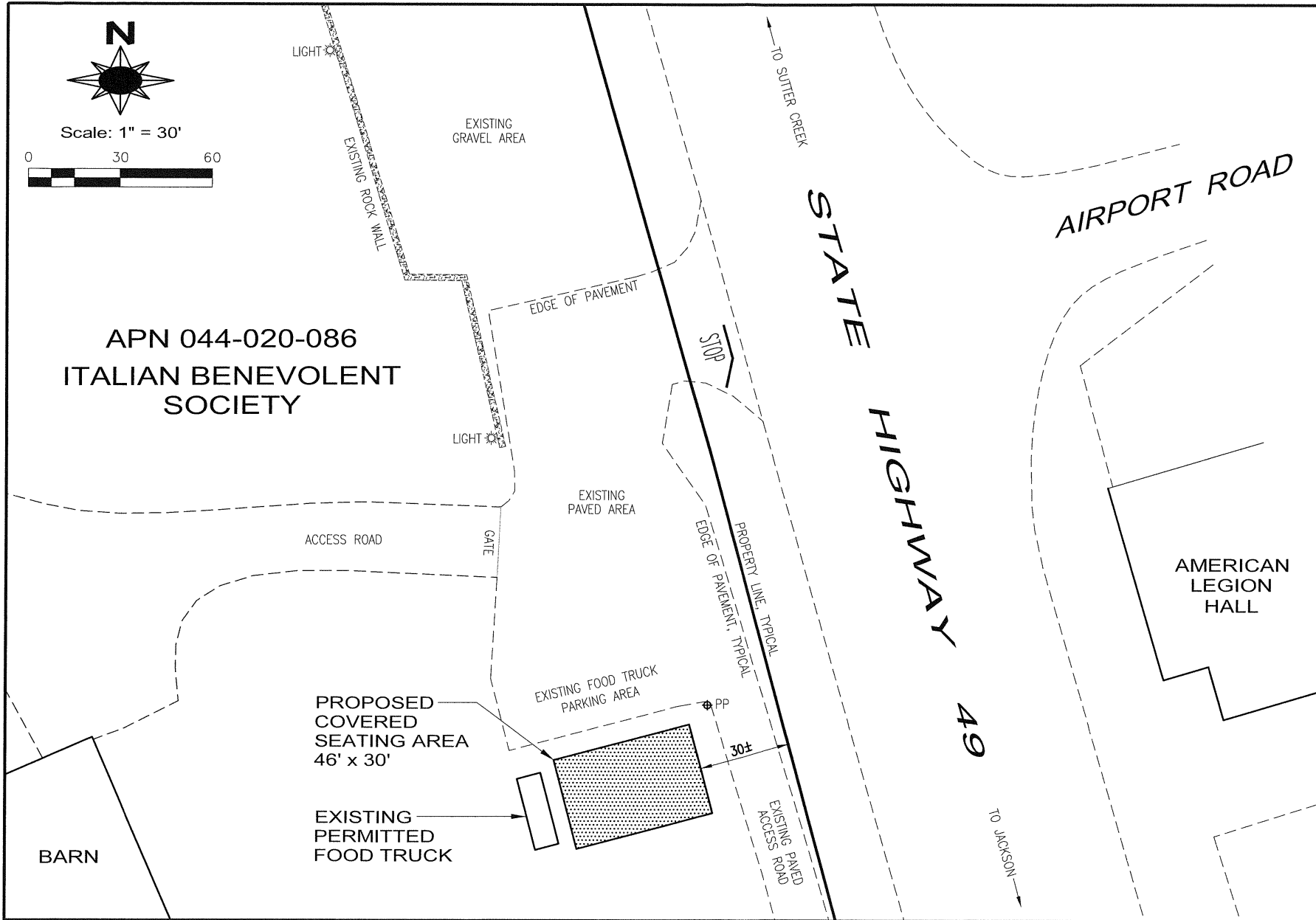
2.0 Design Standards That Apply to All Project

2. 1 Overall Design Objectives

- a. Keep it simple: The proposed structure is simple in design and similar to other structures located on Highway 49.
- d. Make new design compatible with its existing context: The proposed colors are in keeping with the colors of the Italian Picnic grounds.

While the use of a prefabricated structure may not be the City's preferred aesthetic, similar structures have been approved throughout the City and have not been found to be visually intrusive.

Staff recommend that the Design Review Committee approve the project as presented.



TOMA & ASSOCIATES INC.



ENGINEERING - SURVEYING - PLANNING
41 Summit Street, Jackson, CA 95642
(209) 223-0156

PROPOSED COVERED SEATING AREA

ITALIAN BENEVOLENT SOCIETY

APN 044-020-086

551 STATE HIGHWAY 49
CITY OF SUTTER CREEK, AMADOR COUNTY, CALIFORNIA

DATE: 12.17.2024

SCALE: 1" = 30'

DRAWN BY: GMW

JOB NO.: 1302-01

SHEET
1
OF 1 SHEETS

581 CALIFORNIA STATE HIGHWAY 49, SUTTER CREEK, CA 95685
(AMADOR COUNTY, CA)
30' X 45' X 9'

1. TO PROVIDE STRUCTURAL DESIGN FOR THE PRE-FAB METAL BUILDING PER THE SPECIFIED DESIGN LOADS, AND APPLICABLE BUILDING CODES, ANY DISCREPANCIES IN DESIGN LOADS SHALL BE BROUGHT TO THE ATTN. OF THE ENGINEER OF RECORD.
2. **DOES NOT PROVIDE** ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.

1. THIS STRUCTURE IS DESIGNED FOR NON-HABITABLE USE. NO PERSONS ARE ALLOWED TO LIVE IN THIS BUILDING OR USE IT AS A LIVING SPACE. ONLY INCIDENTAL OCCUPANCY IS PERMITTED.
2. ALL WELDS ARE TO BE SHOP WELDS. **FIELD WELDING IS NOT PERMITTED NOR REQUIRED.** WELDING ELECTRODES PER AWS CODE, E70XX UNLESS NOTED OTHERWISE ON PLANS.
3. LIGHT GAUGE TUBING SHALL BE EITHER (OR EQUAL): ASTM A513-1035 (FY = 50 KSI, FU = 66 KSI) OR ASTM A500 GRADE C (FY = 50 KSI, FU = 65 KSI). ALL CHANNELS SHALL BE A653 (HSLA) GRADE 50 STEEL (FY = 50 KSI, FU = 65 KSI) OR EQUAL.
HOT ROLLED SHAPES (FY = 36 KSI, BASE ANGLES) EXPOSED TO THE ELEMENTS, SHALL HAVE ONE COAT OF RUST PROOF PRIMER FOLLOWED BY TWO COATS OF PAINT.
4. ALL STRUCTURAL FIELD CONNECTIONS SHALL BE #12-14 x 3/4" SDS PER ESR-2196 U.N.O. REF. TO DESIGN NOTES ON SHEET 2 FOR SHEATHING FASTENER TYPE.
5. ADEQUATE BRACING DURING ALL STAGES OF CONSTRUCTION IS REQUIRED. STRUCTURE AND FOUNDATION ARE DESIGNED FOR COMPLETED CONDITION ONLY. ADDITIONAL SUPPORT TO MAINTAIN STABILITY IS REQUIRED IN CASE OF ROOF ACCESS FOR MAINTENANCE.
6. GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA OF THIS STRUCTURE. U.N.O.

PREVAILING CODE:	CBC 2022
OCCUPANCY / USE GROUP:	U (CARPORT / SHED)
CONSTRUCTION TYPE:	V B (ANY MAT'L - IBC 602.5)
RISK CATEGORY:	I
BUILDING FOOTAGE:	1350 SQ.FT

- | | |
|---|--|
| 1. DEAD LOAD (D)
COLLATERAL LOAD | 2.0 PSF |
| 2. ROOF LIVE LOAD (Lr) | Lr = 20 PSF |
| 3. SNOW LOAD (S)
GROUND SNOW LOAD
IMPORTANCE FACTOR
THERMAL FACTOR
EXPOSURE FACTOR
ROOF SLOPE FACTOR
FLAT ROOF SNOW LOAD
SLOPED ROOF SNOW LOAD | Pg = 30 PSF
Is = 0.80
Ct = 1.2
Ce = 1.0
Cs = 1.0
Pf = 20 PSF
Ps = 20 PSF |
| 4. WIND LOAD (W)
DESIGN WIND SPEED
EXPOSURE | V = 88 MPH
C |
| 5. SEISMIC LOAD (E)
Ss / S1
SDs / SD1
DESIGN CATEGORY
SITE CLASS
IMPORTANCE FACTOR | 0.363/0.192
0.366/0.284
D
D (DEFAULT)
Ie = 1.00 |

- 1 COVER SHEET
- 2 ELEVATIONS
- 3A FOUNDATION PLAN & NOTES
- 3B FOUNDATION DETAILS & NOTES
- 4 COLUMN LAYOUT PLAN & DETAILS
- 5A FRAME SECTION & DETAILS
- 5B FRAME SECTION DETAILS
- 6A SIDE WALL FRAMING
- 6B SIDE WALL DETAILS
- 7A END WALL FRAMING
- 7B..... END WALL DETAILS

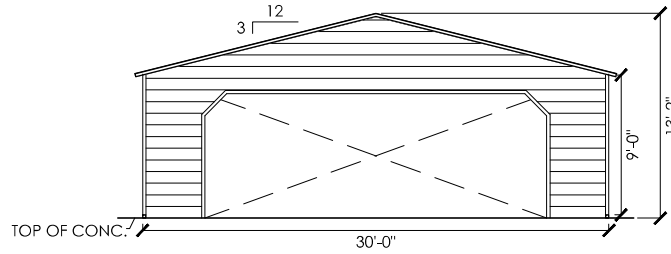
REVISIONS LIST		
MARK	COMMENTS	DATE
-	ISSUED FOR PERMIT	NOV 04 2024

STATEMENT OF SPECIAL INSPECTIONS		REQ'D	PERIODIC	CONTINUOUS
			P	C
<u>ANCHORAGE</u>				
1. POST-INSTALLED CONCRETE ANCHOR BOLTS (PER ICC-ESR REQUIREMENTS - REF SHEET 3B)		Y	X	-
THE OWNER SHALL HIRE LICENSED SPECIAL INSPECTOR AT THEIR OWN COST. THE OWNER MAY BRING TO THE ATTENTION OF THE ENGINEER, ANY ISSUES OF CONCERN NOTED BY THE INSPECTOR.				

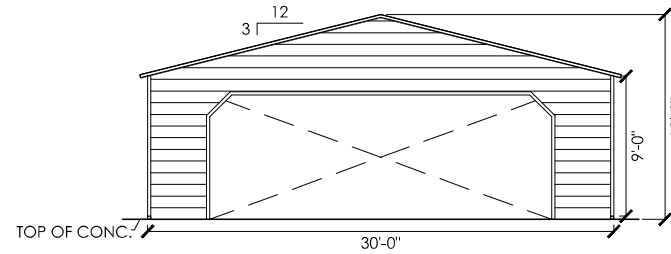
Rafael D Salgado

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

A circular professional engineer seal for the State of California. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "STATE OF CALIFORNIA" at the bottom. Inside the ring, the word "CIVIL" is centered above the name "RAFAEL D. SALGADO". Below the name is the license number "C95761". The seal is stamped over a background of project information from Sutter Creek, CA 95685, which includes the address "THE TACO SPOT", "581 CALIFORNIA STATE HIGHWAY", and "SUTTER CREEK, CA 95685". At the bottom of the stamp area, it says "EXPIRES: 3/31/2026" and "SIGNED : NOV. 04 2024".



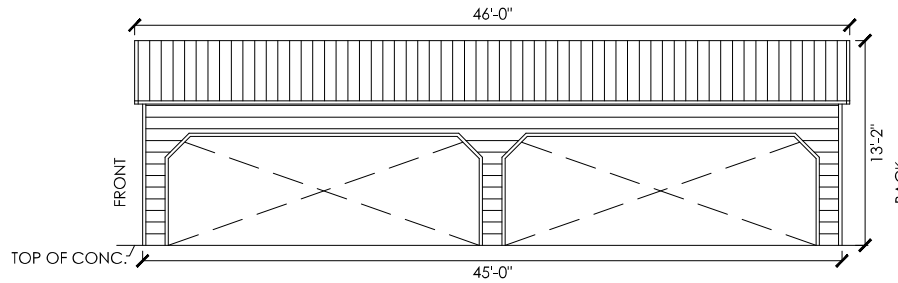
FRONT END WALL ELEVATION
SCALE: 1/8" : 1'



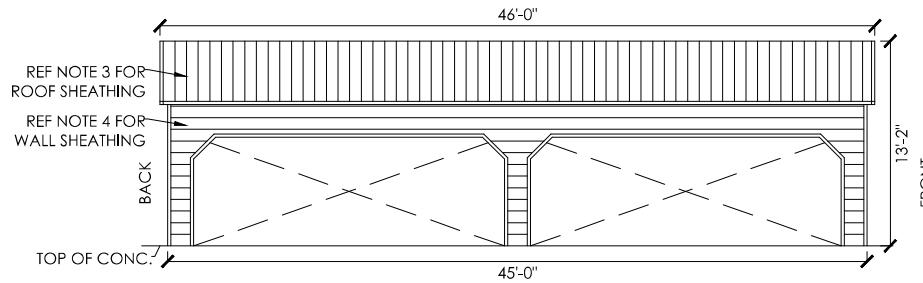
BACK END WALL ELEVATION
SCALE: 1/8" : 1'

DESIGN NOTES

1. THE INTENTION OF ELEVATIONS PROVIDED ON THIS SHEET IS TO INDICATE STRUCTURAL COMPONENTS, DIMENSIONS, AND BUILDING ORIENTATION ONLY.
2. ARCHITECTURAL DESIGN REQUIREMENTS ARE NOT COVERED IN THIS PLAN SET. THESE DESIGN REQUIREMENTS SHALL BE ADDRESSED IN A SEPARATE ARCHITECTURAL SET BY RESPONSIBLE LICENSED PROFESSIONALS IN CHARGE, AS NEEDED.
3. ALL EXT **ROOF** SHEATHING SHALL BE:
CLASS A RATED 29GA. **3/4" RIB HT** - GALV. OR PAINTED STEEL (FY=80 KSI) OR EQ.
(REF. SHT 5 FOR PROFILE AND FASTENER SCHD.)
4. ALL EXT **WALL** SHEATHING SHALL BE:
CLASS A RATED 29GA. **3/4" RIB HT** - GALV. OR PAINTED STEEL (FY=80 KSI) OR EQ.
(REF. SHT 5 FOR PROFILE AND FASTENER SCHD.)
5. **SHEATHING CONNECTIONS SHALL BE #12-14 X 3/4" SDS W/ BONDED NEOPRENE WASHER PER ESR 2196.**



RIGHT SIDE WALL ELEVATION
SCALE: 1/8" : 1'



LEFT SIDE WALL ELEVATION
SCALE: 1/8" : 1'

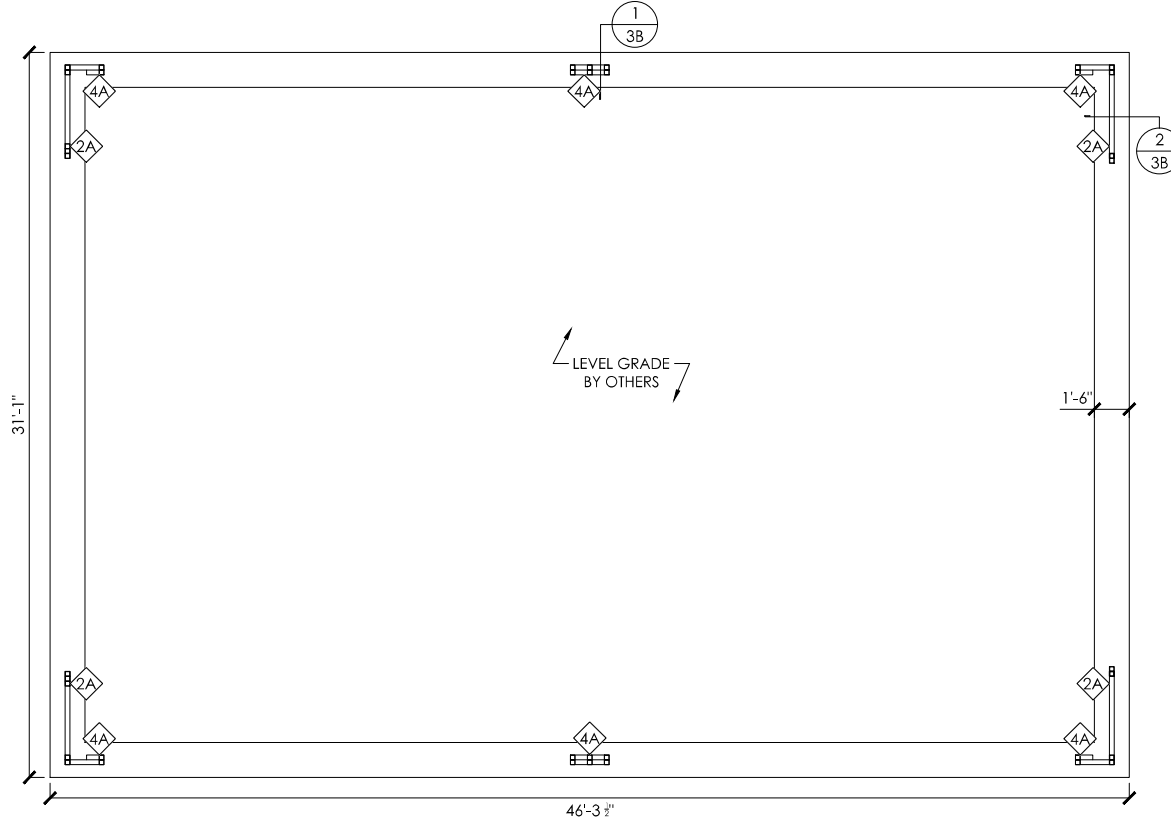
SHEET NO. 2 OF 7	
PROJECT NO. 233-24-2965	
DRAWN BY: S.O.	DATE: 11/04/2024
SHEET TITLE: ELEVATIONS	LOCATION: 581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685
	PROJECT TITLE: THE TACO SPOT
METAL BUILDING MANUFACTURER	
 457 N. Broadway, Joshua, TX 76058 1-866-730-9865	

WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685



EXPIRES: 3/31/2026
SIGNED: NOV 04 2024



FOUNDATION PLAN
SCALE: 3/16" : 1'

CONCRETE ANCHORAGE	
	(2) 1/2"Ø X 7" LG. POWER BULL WEDGEANCHOR (PER ESR 2254)
	(4) 1/2"Ø X 7" LG. POWER BULL WEDGEANCHOR (PER ESR 2254)

FOUNDATION NOTES:

1. CONCRETE ANCHORS SHALL BE LOCATED AS SHOWN ON THE FOUNDATION PLAN. A MINIMUM OF (2) ANCHORS ARE REQUIRED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. MINIMUM (2) ANCHORS ARE REQUIRED AT CORNERS OF ENCLOSED BUILDINGS, (1) ON EACH BASE RAIL.
2. MIN. FOOTING DEPTH NEEDED TO RESIST BUILDING LOADS IS INDICATED ON FOUNDATION DETAILS. HOWEVER, A GREATER FOOTER DEPTH MAYBE REQUIRED TO MEET THE LOCAL FROST LINE DEPTH PER CODE.
3. DEPTH OF FOOTINGS SHALL EXTEND INTO UNDISTURBED SOIL OR COMPACTED ENGINEERING FILL.
4. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
5. CONC STRENGTH TO BE A MIN OF 3000 PSI @ 28 DAYS FOR MODERATE WEATHERING POTENTIAL. SPECIAL INSPECTION IS NOT REQUIRED AS ALL CONC FOUNDATION DESIGN IS BASED ON A MAX COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.

SHEET NO: 3A OF 7	
PROJECT NO: 233-24-2965	
DRAWN BY: S.O.	DATE: 11/04/2024
FOUNDATION PLAN & NOTES LOCATION: 581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685	
PROJECT TITLE: THE TACO SPOT	
METAL BUILDING MANUFACTURER 457 N. Broadway, Joshua, TX 76058 1-866-730-9865	

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THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY 49
SUTTER CREEK, CA 95685

REGISTERED PROFESSIONAL ENGINEER
CIVIL
RAFAEL D. SALGADO
C95761
STATE OF CALIFORNIA

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY 49
SUTTER CREEK, CA 95685

EXPIRES: 3/31/2026
SIGNED: NOV 04 2024

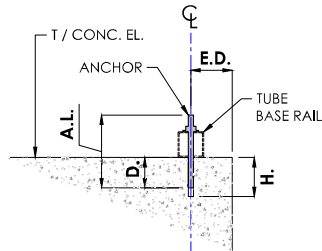
CONCRETE ANCHORAGE	
2A	(2) 1/2"Ø X 7" LG. POWER BULL WEDGEANCHOR (PER ESR 2254)
4A	(4) 1/2"Ø X 7" LG. POWER BULL WEDGEANCHOR (PER ESR 2254)

ANCHORAGE NOTES:

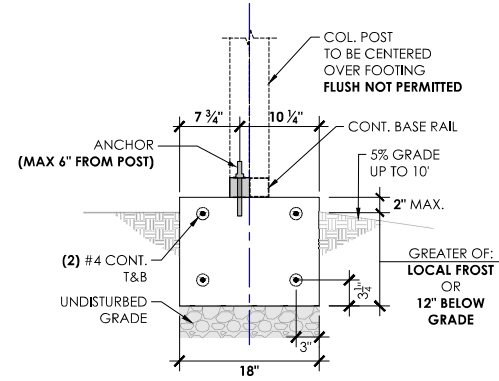
- ANCHOR INSTALLATION REQUIREMENTS (REF ANCHORAGE DETAIL):
E.D. - ANCHOR EDGE DISTANCE: MIN. 4" OR U.N.O.
H. - ANCHOR HOLE DEPTH: MIN. 3.125"
D. - CONCRETE EMBEDMENT DEPTH: MIN. 2.875"
 SPACING BETWEEN (2) ANCHORS: MIN. 3.75" OR U.N.O.
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS OR U.N.O.
- ANCHORS TO BE INSTALLED PER MANUFACTURER'S REQ. PER SPECIFIED ESR.

REINFORCEMENT NOTES:

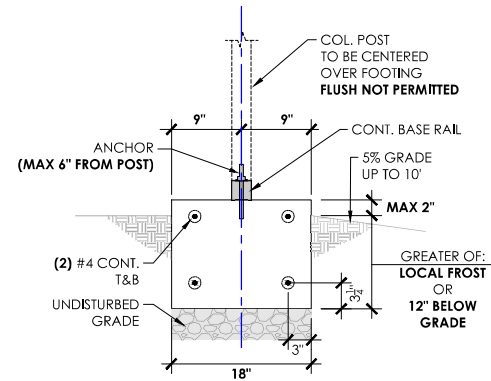
- REINFORCING STEEL: DEFORMED BARS CONFORMING TO ASTM A615, GRADE 40, WITH A MINIMUM YIELD OF 40 KSI FOR ALL BARS.
- CLEAR DISTANCE BETWEEN BARS SHALL BE NOT LESS THAN 1-1/2 TIMES THE MAXIMUM SIZE OF COARSE AGGREGATE OR U.N.O.
- CONCRETE REINFORCEMENT COVER SHALL BE NOT LESS THAN THE FOLLOWING:
 A. CONCRETE POURED AGAINST AND PERMANENTLY EXPOSED TO GROUND: 3"
 B. EXTERIOR FACE [EXPOSED TO WEATHER BUT NOT IN CONTACT WITH GROUND]: 2"



ANCHORAGE DETAIL
SCALE: NTS



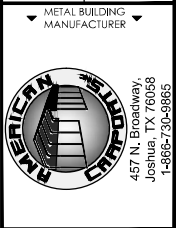
1 FOUNDATION DETAILS
SCALE: 3/4" : 1'



2 FOUNDATION DETAILS
SCALE: 3/4" : 1'

SHEET NO:	3B OF 7
PROJECT NO:	233-24-2965
DRAWN BY:	S.O.
DATE:	11/04/2024

SHEET TITLE:	FOUNDATION DETAILS & NOTES	
	LOCATION:	581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685
PROJECT TITLE:	THE TACO SPOT	

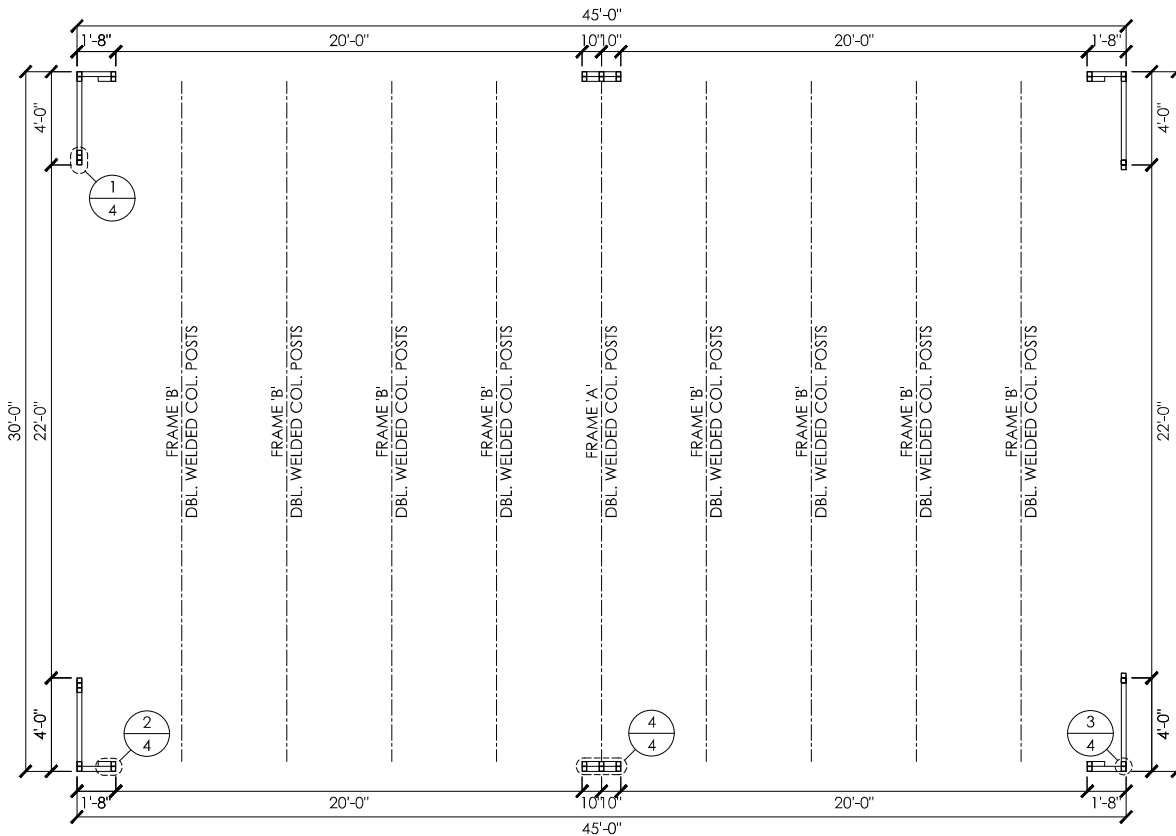


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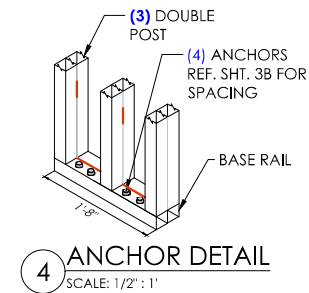
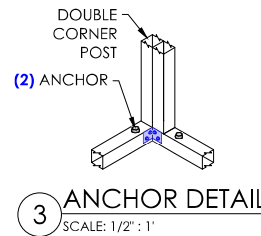
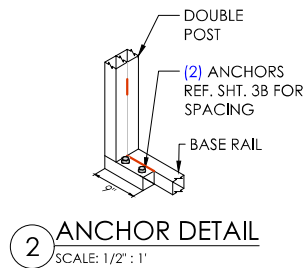
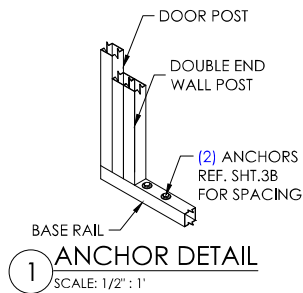
EXPIRES: 3/31/2026
SIGNED: NOV. 04 2024



COLUMN LAYOUT PLAN

SCALE: 3/16" : 1'

NOTE:
SEE SHEET 3A / 3B FOR ANCHOR TYPE
SEE SHEET 5A / 5B FOR FRAME SECTION AND DETAILS



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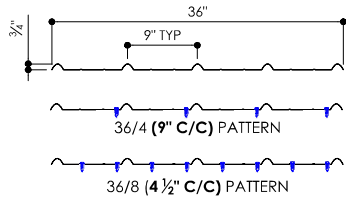


EXPIRES: 3/31/2026
SIGNED: NOV. 04 2024

SHEET NO: 4 OF 7	
PROJECT NO: 233-24-2965	
DRAWN BY: S.O.	DATE: 11/04/2024
SHEET TITLE: COLUMN LAYOUT PLAN	
PROJECT TITLE: THE TACO SPOT	LOCATION: 581 CALIFORNIA STATE HIGHWAY SUTTER CREEK, CA 95685
METAL BUILDING MANUFACTURER	
 457 N. Broadway, Joshua, TX 76058 1-866-730-9865	

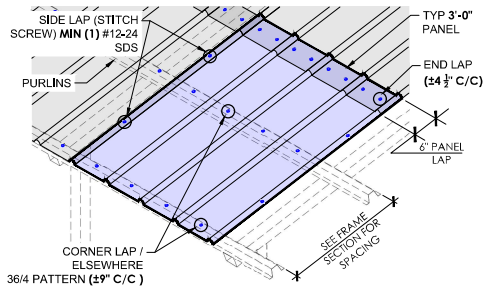
MEMBER PROPERTIES				
COLUMN POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED			
ROOF MEMBER	2 1/2" SQ. X 14GA TUBE			
BASE RAIL	2 1/2" SQ. X 14GA TUBE			
PEAK BRACE	2 1/2" SQ. X 14GA TUBE			
KNEE BRACE	(2) 4" X 1" X 14GA HAT CHANNEL			
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE			
PURLINS	4" X 1" X 14GA HAT CHANNEL			
SHEATHING FASTENER SCHEDULE				
LOCATION	CORNER PANEL	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" CC	MIN. 1	4 1/2" CC	9" CC
REF. DESIGN NOTE ON SHEET 2 FOR SHEATHING FASTENER TYPE.				

REF. DESIGN NOTE ON SHEET 2 FOR SHEATHING FASTENER TYPE.



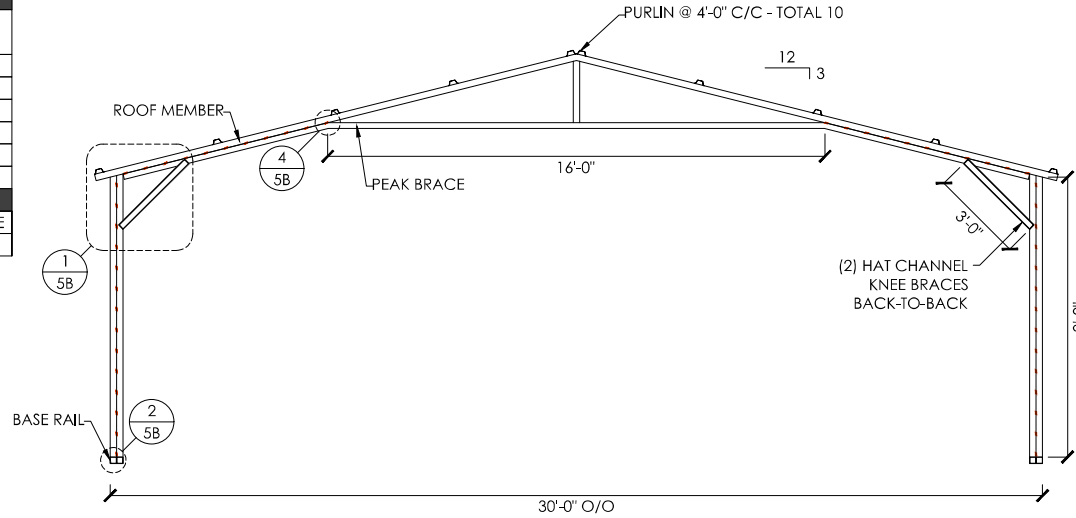
29GA. - 3/4" RIB - CORRUGATED SHEET

SCALE: 3/4" : 1'



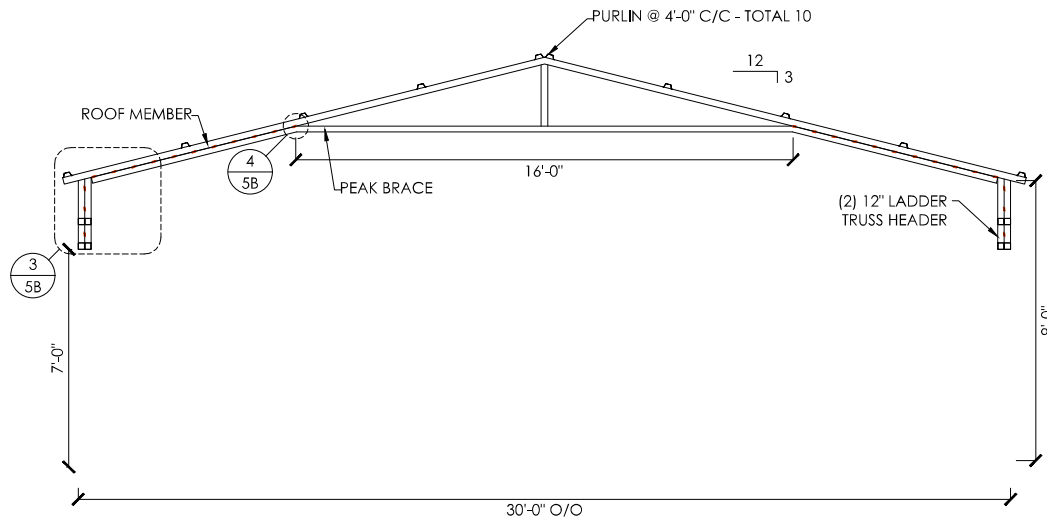
SHEATHING FASTENER PATTERN

SCALE: 3/16" : 1'



FRAME 'A' SECTION

SCALE: 1/4" : 1'



FRAME 'B' SECTION

SCALE: 1/4" : 1'

SHEET NO.	5A OF 7
PROJECT NO.	233-24-2965
DRAWN BY:	S.O.
DATE:	11/04/2024

SHEET TITLE:	FRAME SECTION & DETAILS
	PROJECT TITLE: THE TACO SPOT
LOCATION:	581 CALIFORNIA STATE HIGHWAY 49
	SUTTER CREEK, CA 95685



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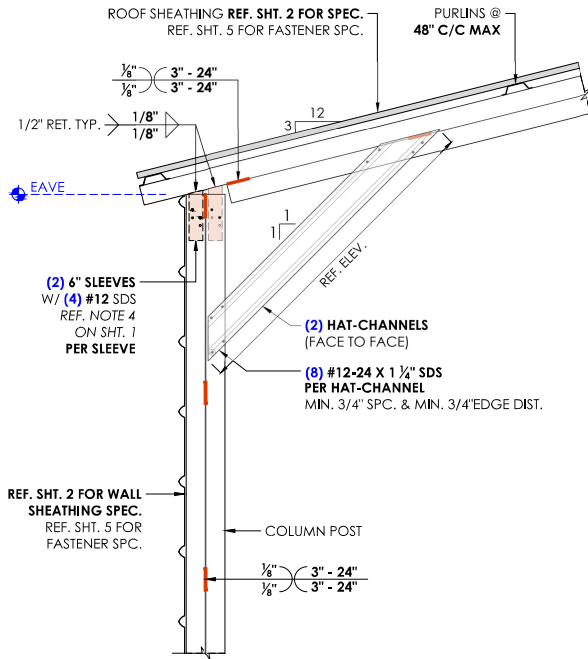
SHEET NO. 5B OF 7	
PROJECT NO. 233-24-2965	
DRAWN BY: S.O.	DATE: 11/04/2024
SHEET TITLE: FRAME SECTION DETAILS	LOCATION: 581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685
	PROJECT TITLE: THE TACO SPOT
METAL BUILDING MANUFACTURER	
	

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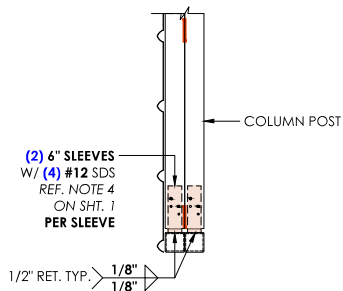
THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685
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SUTTER CREEK, CA 95685



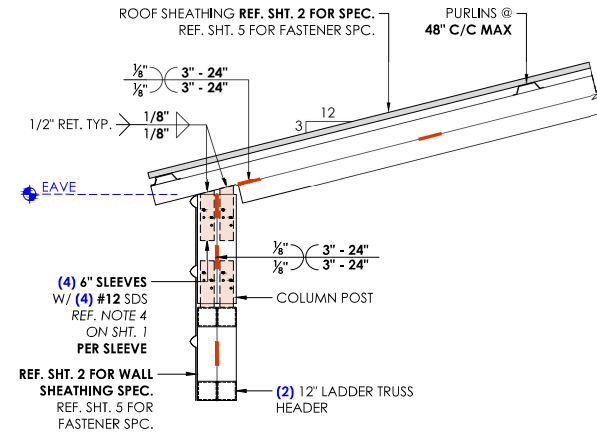
EXPIRES: 3/31/2026
SIGNED: NOV. 04 2024



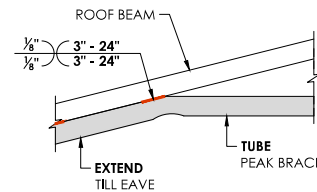
1 FRAME DETAIL
SCALE: 3/4" : 1'



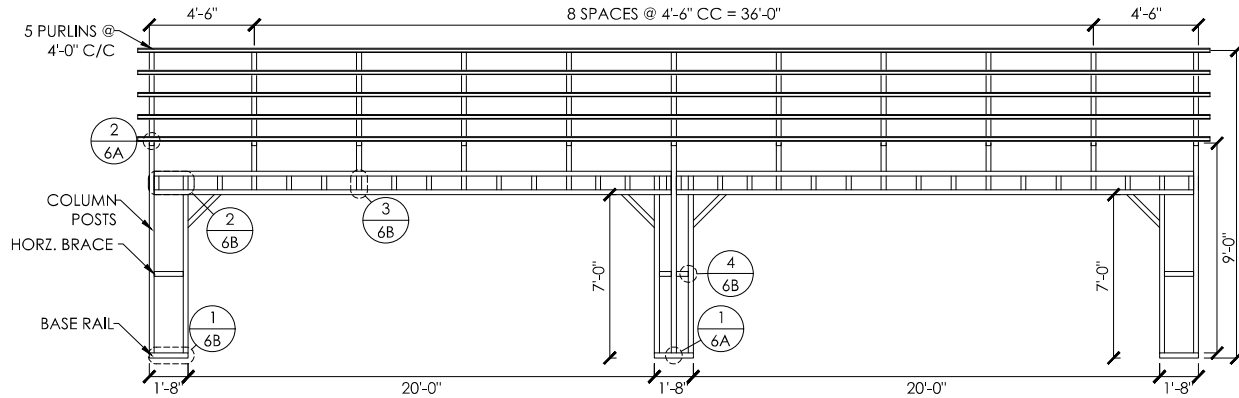
2 BASE DETAIL
SCALE: 3/4" : 1'



3 FRAME DETAIL
SCALE: 3/4" : 1'

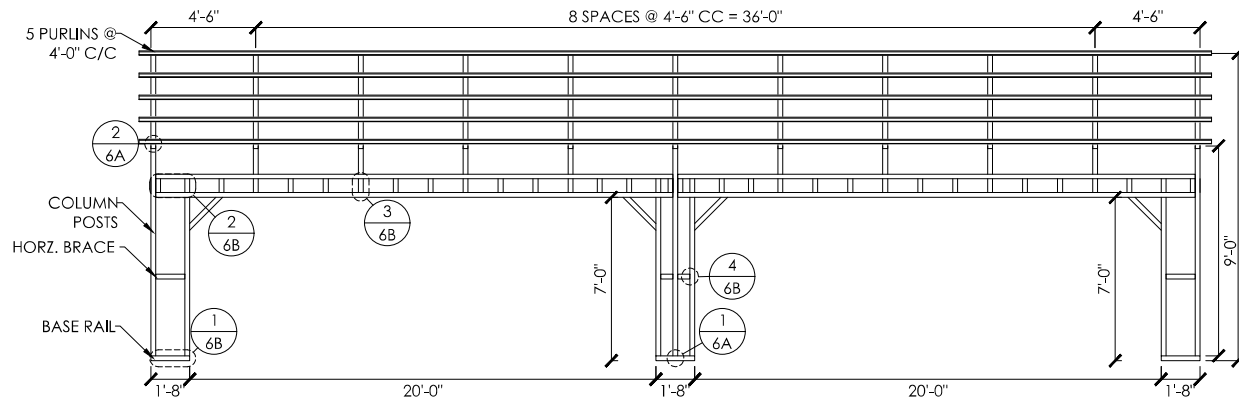


4 PEAK BRACE DETAIL
SCALE: 3/4" : 1'



RIGHT SIDE WALL FRAMING

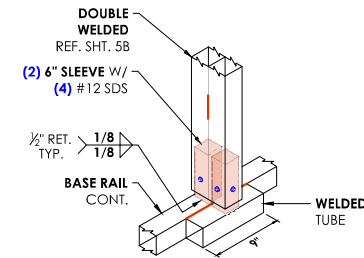
SCALE: 3/16" : 1'



LEFT SIDE WALL FRAMING

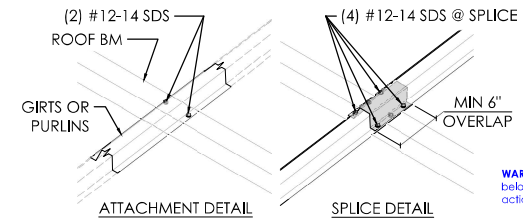
SCALE: 3/16" : 1'

MEMBER PROPERTIES	
CORNER POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
SIDE WALL POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
BASE RAIL	2 1/2" SQ. X 14GA TUBE
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE
PURLINS	4" X 1" X 14GA HAT CHANNEL
TRUSS HEADER	(2) 2 1/2" SQ. X 14GA TUBE W/ 12" TRUSS
HORZ. BRACE	2 1/4" SQ X 14GA TUBE



1 COLUMN-BASE DETAIL

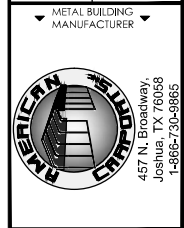
SCALE: 3/4" : 1'



2 GIRT/PURLIN DETAIL

SCALE: 3/4" : 1'

SHEET NO. 6A OF 7	
PROJECT NO. 233-24-2965	
DRAWN BY: S.O.	DATE: 11/04/2024
SHEET TITLE: SIDE WALL FRAMING	LOCATION: 581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685
	PROJECT TITLE: THE TACO SPOT

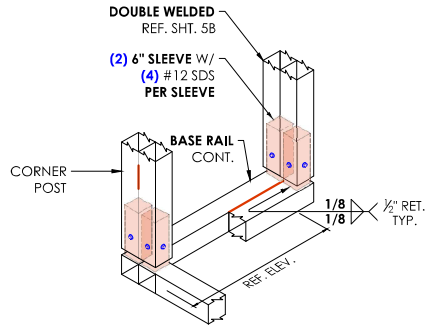


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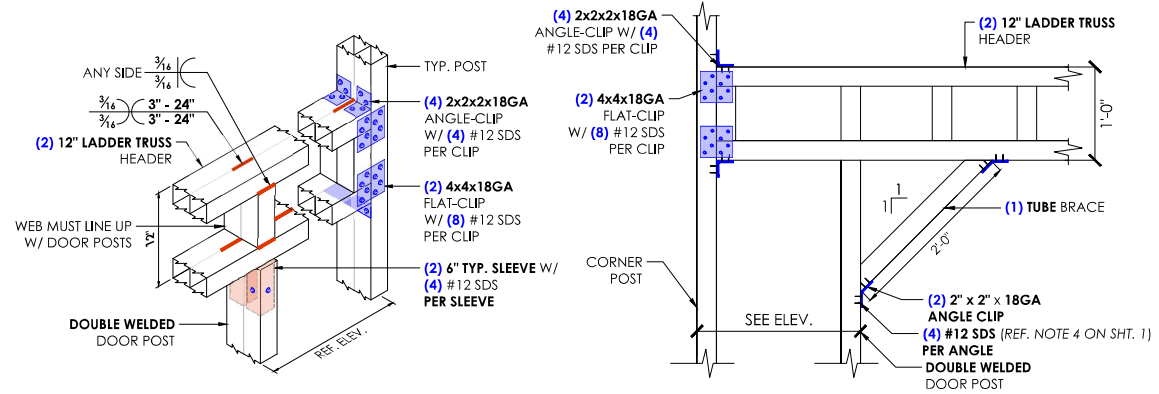
THE TACO SPOT
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SUTTER CREEK, CA 95685
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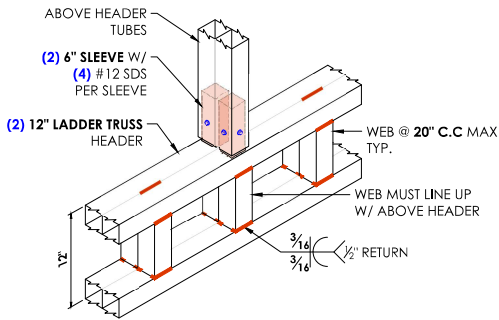
EXPIRES: 3/31/2026
SIGNED: NOV. 04 2024



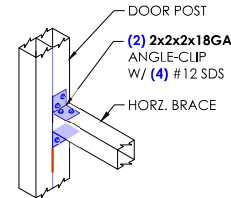
1 DOOR BASE DETAIL
SCALE: 3/4" : 1'



2 DOOR HEADER DETAIL
SCALE: 3/4" : 1'



3 ABOVE HEADER DETAIL
SCALE: 3/4" : 1'



4 HORZ. BRACE DETAIL
SCALE: 3/4" : 1'

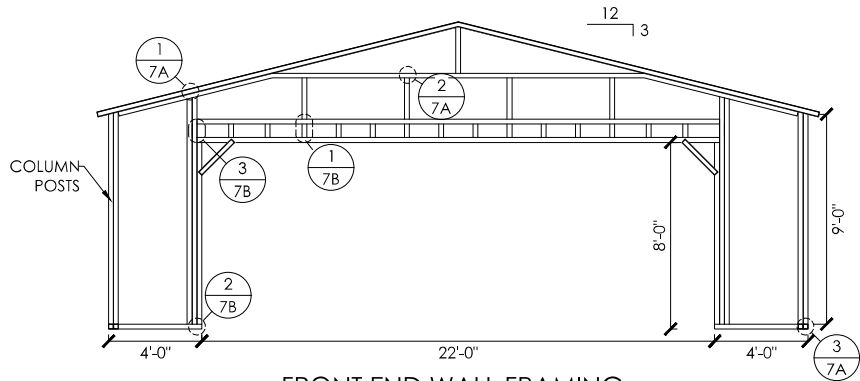
SHEET NO. 6B OF 7	
PROJECT NO. 233-24-2965	
DRAWN BY: S.O.	DATE: 11/04/2024
SHEET TITLE: SIDE WALL FRAMING DETAILS	LOCATION: 581 CALIFORNIA STATE HIGHWAY 49 SUTTER CREEK, CA 95685
	PROJECT TITLE: THE TACO SPOT
METAL BUILDING MANUFACTURER	
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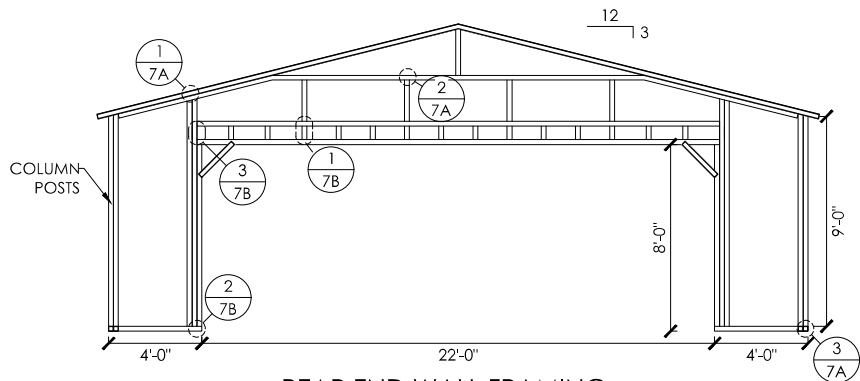


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FRONT END WALL FRAMING

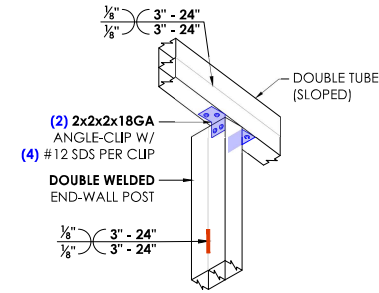
SCALE: 3/16" : 1"



REAR END WALL FRAMING

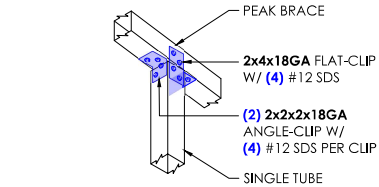
SCALE: 3/16" : 1"

MEMBER PROPERTIES	
CORNER POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
ROOF MEMBER	2 1/2" SQ. X 14GA TUBE
BASE RAIL	2 1/2" SQ. X 14GA TUBE
TRUSS HEADER	(2) 2 1/2" SQ. X 14GA TUBE W/ 12" TRUSS
DOOR POST	2 1/2" SQ. X 14GA TUBE
END WALL POSTS	2 1/2" SQ. X 14GA TUBE
PEAK BRACE	2 1/2" SQ. X 14GA TUBE



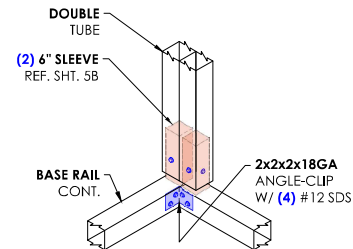
1 ROOF MEMBER DETAIL

SCALE: 3/4" : 1"



2 PEAK BRACE DETAIL

SCALE: 3/4" : 1"



3 CORNER DETAIL

SCALE: 3/4" : 1"

SHEET NO: **7A OF 7**

PROJECT NO: 233-24-2965

DRAWN BY: S.O. DATE: 11/04/2024

END WALL FRAMING & DETAILS

LOCATION: 581 CALIFORNIA STATE HIGHWAY 49
SUTTER CREEK, CA 95685

PROJECT TITLE: THE TACO SPOT

METAL BUILDING MANUFACTURER

AMERICAN STEEL

457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

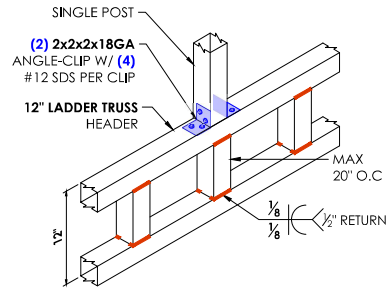
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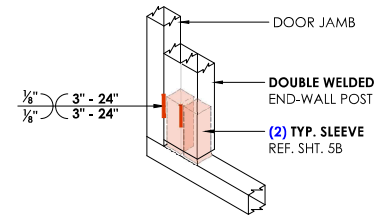
REGISTERED PROFESSIONAL ENGINEER
CIVIL
RAFAEL D. SALGADO
C95761
STATE OF CALIFORNIA

THE TACO SPOT
581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685

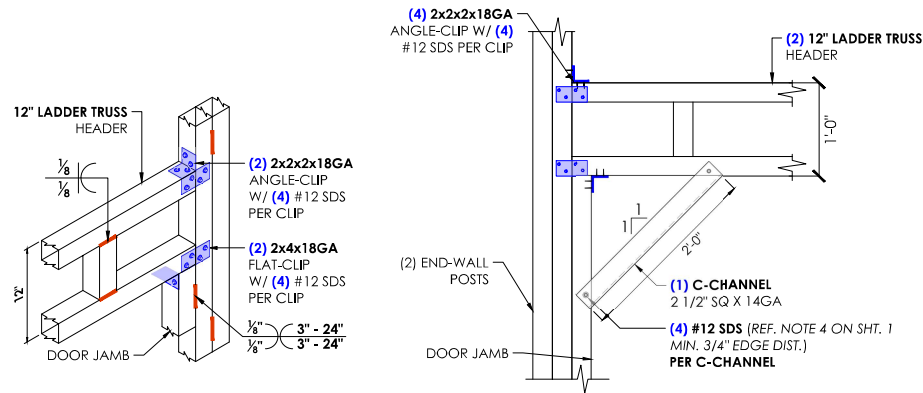
EXPIRES: 3/31/2026
SIGNED: NOV 04 2024



1 ABOVE HEADER DETAIL
SCALE: 3/4" : 1'



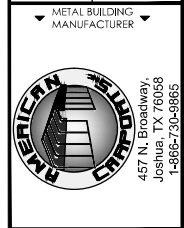
2 DOOR BASE DETAIL
SCALE: 3/4" : 1'



3 DOOR HEADER DETAIL
SCALE: 3/4" : 1'

SHEET NO: **7B OF 7**
PROJECT NO: 233-24-2965
DRAWN BY: S.O. DATE: 11/04/2024

END WALL FRAMING DETAILS
LOCATION: 581 CALIFORNIA STATE HIGHWAY 49
SUTTER CREEK, CA 95685
PROJECT TITLE: THE TACO SPOT



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581 CALIFORNIA STATE HIGHWAY
SUTTER CREEK, CA 95685



EXPIRES: 3/31/2026
SIGNED: NOV. 04 2024

Holly Boehme

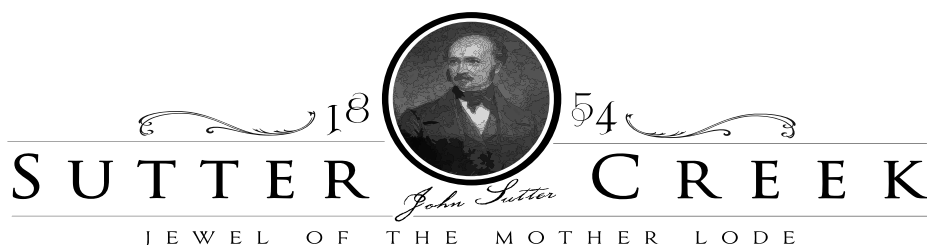
From: Jesus Campos <campos199021@gmail.com>
Sent: Thursday, January 30, 2025 10:13 AM
To: Holly Boehme



Holly Boehme

From: Jesus Campos <campos199021@gmail.com>
Sent: Thursday, January 30, 2025 10:13 AM
To: Holly Boehme
Subject: The taco spot





DATE: February 10, 2025

TO: Design Review Committee

FROM: Erin Ventura, Contract Planner

RE: 29 Spanish Street - Design Clearance for the construction of the new Accessory Dwelling Unit and detached garage
(APN: awaiting new APN)
Zoning: R-1
Design Standard District: Historic District
Applicant: Peter Rossi

RECOMMENDATION:

Approve Design Clearance for a new Accessory Dwelling Unit (ADU) and detached garage at 29 Spanish Street, which is located within the Historic District.

BACKGROUND:

The applicant, Peter Rossi, is proposing to construct a 462 sf ADU and 352 sf detached garage. The new structures will be located on a lot with an existing SFR. The lot recently underwent a Boundary Line Adjustment (BLA), where three lots were consolidated into two. The BLA has not yet been finalized, and it must be completed before building permits for the proposed new structures can be issued.

	<u>Requirements for Design Clearance:</u>	<u>Proposed:</u>	<u>Design Criteria met:</u>	<u>Recommendations, if any to meet Design Clearance:</u>
Zoning	R-1	R-1	Yes	
District:	Historic District			
Lot Size:	7,000 sf	13,181 sf	yes	
Set Back requirements:				
Front	25'	--	yes	
Side	5'	7'	yes	
Rear	4'	9'	yes	
Lot coverage	50%	14.6%	Yes	
Are there existing historic features?		Yes	Yes	The existing home has a Shotgun or National design, and the proposed structures will match.
Structure Type	Residential	Residential	Yes	
Max Building height	35 Ft.	14' 9"/16'6"	--	

DISCUSSION:

The proposed structures will match the existing SFR on the property. The existing home is or Shotgun style.

Design Standards

The City's Design Standards provide additional direction regarding consideration for adjacent development, building and parking locations, landscaping, accessory facilities, and building design. This project is located within the Historic District. Both Chapter 2.0, Design Standards that Apply to all Project and Chapter 3.0 Historic District Design Standards, apply to this project.

Based on the scope of the project only certain standards apply and have been included in this report.

2.3. General Building Design Standards

2.3.2 Façade Design. The proposed structures will match the existing home. The ADU will have a front porch which is in keeping with the traditional design of a National or Shotgun style home.

2.3.4 Roofs and Rooflines. The applicant is proposing metal roofs.

2.3.10 Colors. The proposed color is in keeping with the style of the existing home.

Staff recommend that the Design Review Committee approve the proposed application as presented with the condition that no building permits be issued until the BLA has been finalized.

City of Sutter Creek
Design Review Application

For Residential Projects
Within the Historic District

Please complete the "Existing & Proposed" Columns. Please submit your plans in print ready.pdf to be printed as 11 x 17. Please show: elevations, site plan, spot grades, and include elevations at the corners of buildings and also include any existing historic features.

DATE:

TO: DESIGN REVIEW COMMITTEE

FROM: Peter Rossi

1/26/25

REVIEWED and SUBMITTED BY:

Project Address:

29 Spanish st

#	Design Standard Reference	Design Criteria Requirements:		Existing:	Proposed:	Has design criteria been met? Y/N?	Recommendations if any to meet Design Criteria:
1.		Zoning		Residential R1	Res R1		
2.		District:	Historic				
3.		Lot Size:	N/A	9948	13,181		
4.		Set Back requirements:	ADU		ADU - Garage		
5.		Front	25'	U/A	23.5' 7		
6.		Side	5'	N/A	20' N/A		
7.		Rear	40'	N/A	9.2' 21		
8.	2.2; 3.5	Siting:					
9.		Lot coverage		1290	1590		
10.	3.0; 3.3.1; 3.3.5;	Are there existing historic features?		No	No		
11.		Structure Type		Residence/garage	Same		
12.		Max building height	35'	N/A	16'-6" 14'-8"		

ADU Garage

1

Section 5, Item C.

City of Sutter Creek
Design Review Application

For Residential Projects
Within the Historic District

Design Standard Reference	Design Criteria Requirements:		Existing:	Proposed:	Has design criteria been met? Y/N?	Recommendations, if any to meet Design Criteria:
	Historical Style	National, shotgun, Victorian, or craftsman				
13. 3.3;3.5		National, shotgun, Victorian, or craftsman	National	National		
14. 3.5; 3.5.6; 3.5.11	Roof pitch	In new construction, reflect historic style	G-12	G-12		
15. 3.5; 3.5.6; 3.5.11	Roofing material	Historic style	Metal	Metal		
16. 3.5; 3.5.2; 3.5.11	Exterior Finish and color scheme		Shiplap white	Shiplap white		
17. 3.5; 3.5.3; 3.5.11	Siding	Matching historic style	Shiplap	Shiplap		
18. 3.5; 3.5.3; 3.5.11	Doors	Consistent in shape and scale with building's style.	Farm house A lite	Farm house A lite		
19. 3.5; 3.5.4; 3.5.11	Windows		Marvin Infinity Double hung Black	Marvin Infinity Double hung Black		
20. 3.5; 3.5.7; 3.5.11	Porches	Match the home in historic character	National style	National style		

Section 5, Item C.

City of Sutter Creek
Design Review Application

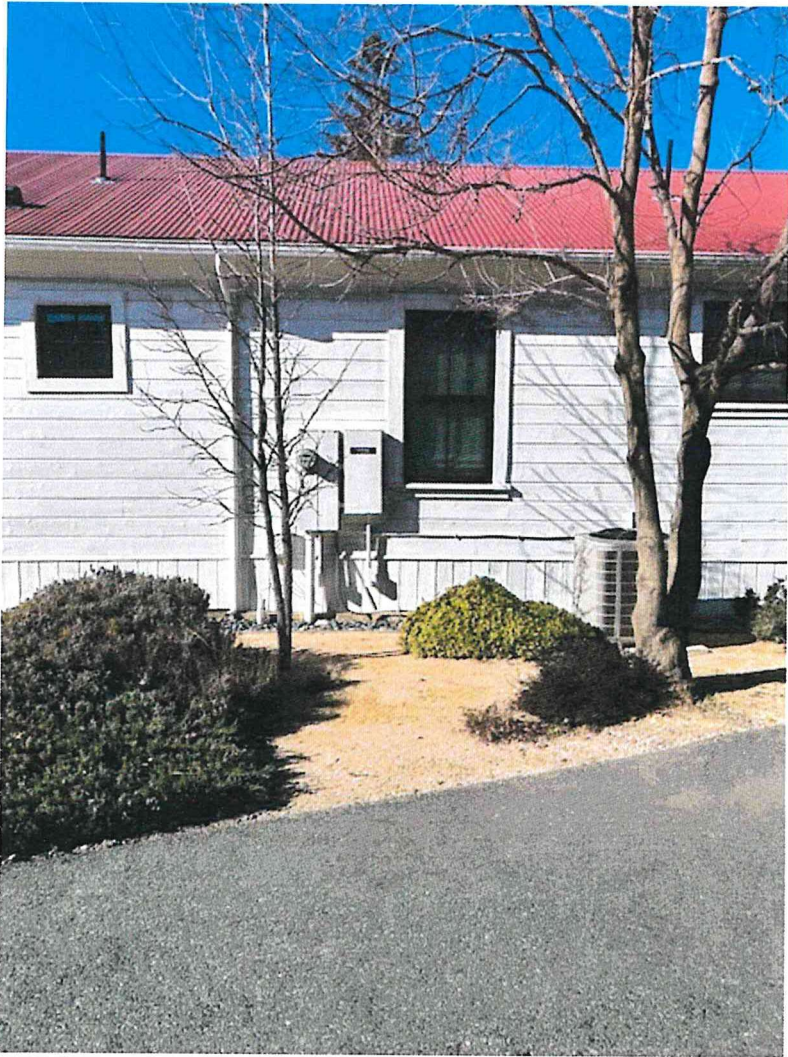
For Residential Projects
Within the Historic District

	Design Standard Reference	Design Criteria Requirements:		Existing:	Proposed:	Has design criteria been met? Y/N?	Recommendations, if any to meet Design Criteria:
		Lighting	Match architecturally				
21.	3.5; 3.5.8			Period Exterior Wall wanted	Period Exterior Wall wanted		
22.	3.5.9	Existing fencing or rock walls?		N/A	N/A		
23.	3.5; 3.5.9; 3.5.10	Mechanical Equipment and Service Areas		N/A	N/A		
24.	3.2; 3.3	Does the structure blend as proposed? Compatibility Objectives?		Yes	Yes		

Other Comments:



Existing porch and front door. Proposed unit would match



Existing windows and siding, proposed would match



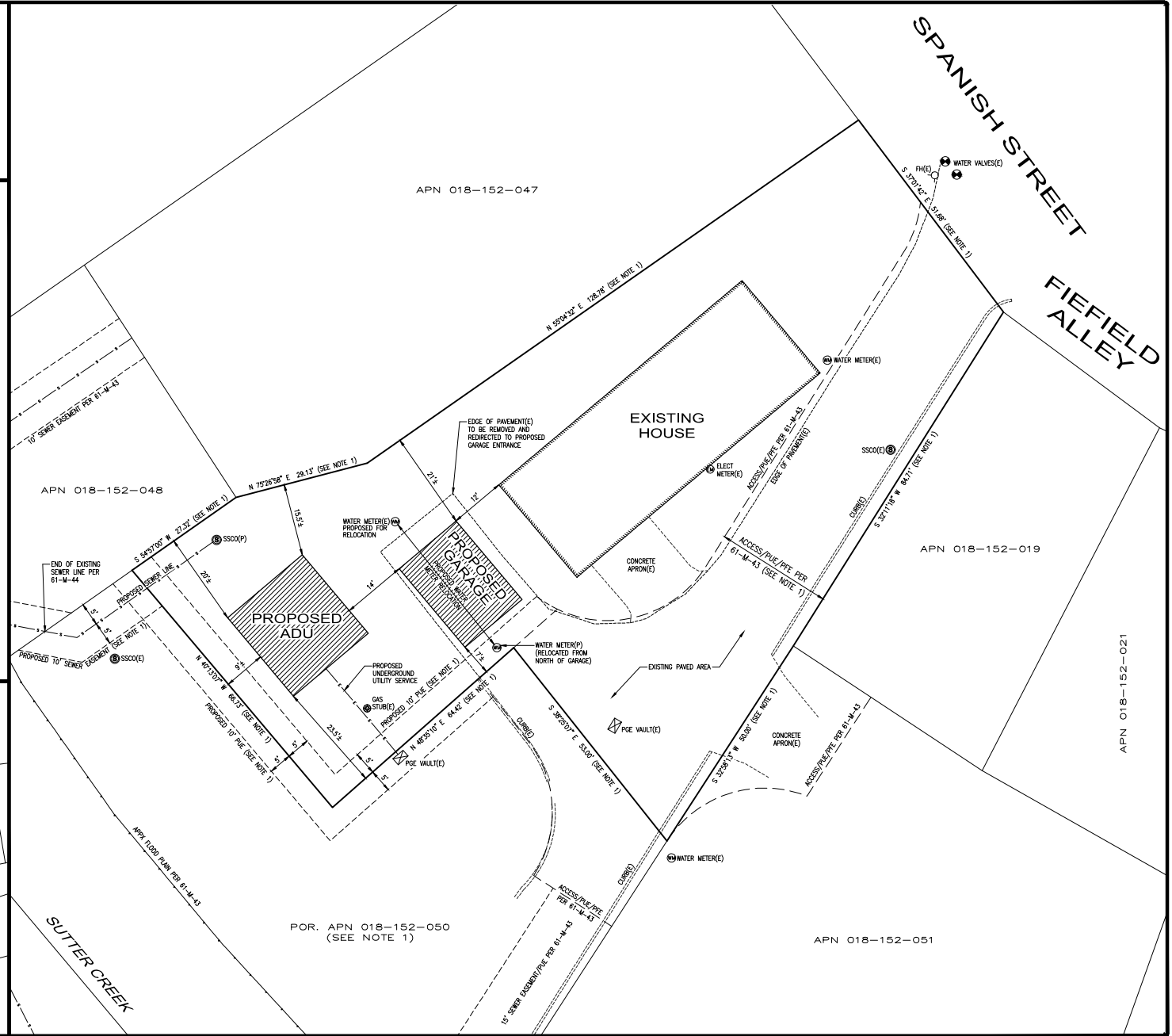
picture of proposed site

NOTES and LEGEND

——— PROPERTY LINE (SEE NOTE 1)
 - - - - - PUBLIC UTILITY EASEMENT (SEE NOTE 1)
 - - - - - ACCESS/PUE/PFE PER 61-M-43 (SEE NOTE 1)
 - - - - - SEWER LINE PER 61-M-43
 PUE PUBLIC UTILITY EASEMENT
 PFE PUBLIC FACILITIES EASEMENT
 BSL BUILDING SETBACK LINE
 (E) EXISTING
 (P) PROPOSED
 FH FIRE HYDRANT
 SSCO SANITARY SEWER CLEANOUT
 ADU ACCESSORY DWELLING UNIT

NOTE 1: SEE RESOLUTION NO. 24-25-14, PROPERTY LINES SHOWN ARE PER APPROVED BLA-MERGER IN PROGRESS. FINAL MAP NOT YET RECORDED.
 NOTE 2: ACCESSORY DWELLING UNIT SHALL CONFORM TO CRITERIA AND SETBACK REQUIREMENTS AS NOTED IN SUTTER CREEK MUNICIPAL CODE CHAPTER 18.61.
 NOTE 3: GARAGE SHALL CONFORM TO CRITERIA AND SETBACK REQUIREMENTS AS NOTED IN SUTTER CREEK MUNICIPAL CODE CHAPTER 18.15.

VICINITY MAP
NOT TO SCALE



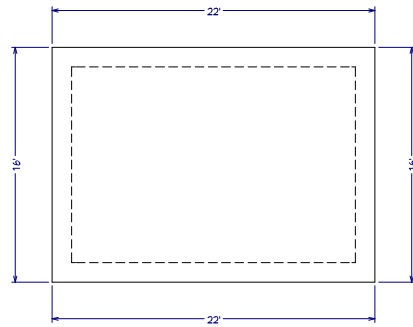
REVISION	BY

TOMA & ASSOCIATES INC.
 ENGINEERING - SURVEYING - PLANNING
 41 Summit Street, Jackson, CA 95642
 (209) 223-0156

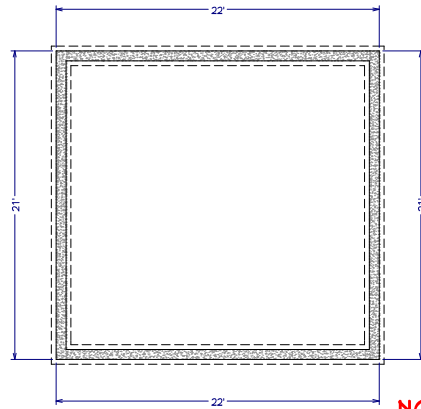
SITE PLAN
PROPOSED GARAGE AND
ACCESSORY DWELLING UNIT
 BEING A PORTION OF SECTION 7, T. 6 N., R. 11 E., M. 3, W. CITY OF SUTTER CREEK, ANADOR COUNTY, CALIFORNIA

SITE INFORMATION:
 29 SPANISH STREET
 SUTTER CREEK, CA 95685
 APN 018-152-045 AND
 AND POR. 1018-152-046
 (SEE NOTE 1)
PREPARED FOR:
 PETER ROSSI
 20 SPANISH STREET
 SUTTER CREEK, CA 95685
 (925) 878-9158
DATE: 1.27.2025
SCALE: 1" = 10'
DRAWN BY: CMW
JOB NO.: 2501-18
SHEET

1
OF 1 SHEETS

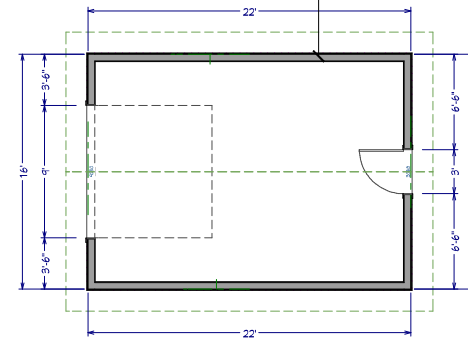


GARAGE FOUNDATION

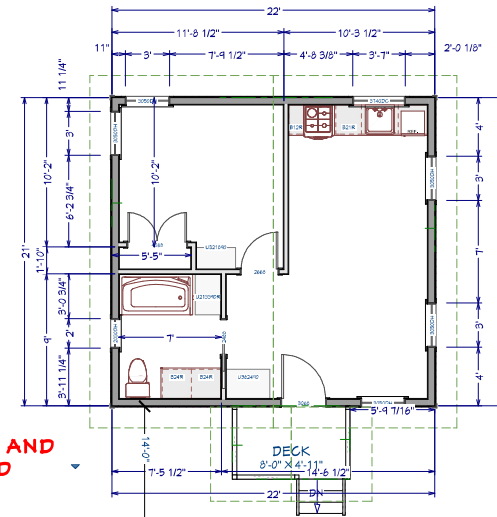


HOUSE FOUNDATION

NOTE: SEE SITE PLAN FOR SET BACKS AND DIMENSIONS BETWEEN BUILDINGS AND PROPERTY LINES.



GARAGE



FLOOR PLAN

Drafting & design by
Ravi R. Butler
Tel: 209.491.7597
e-mail: brr1441@volcano.net

Owner: Peter Rossi
Address: 29 Spanish St.
City: Sutter Creek Ca. 95642
Tel: 1-925-813-4155
E-mail: pross43@gmail.com

**Custom
ADU**

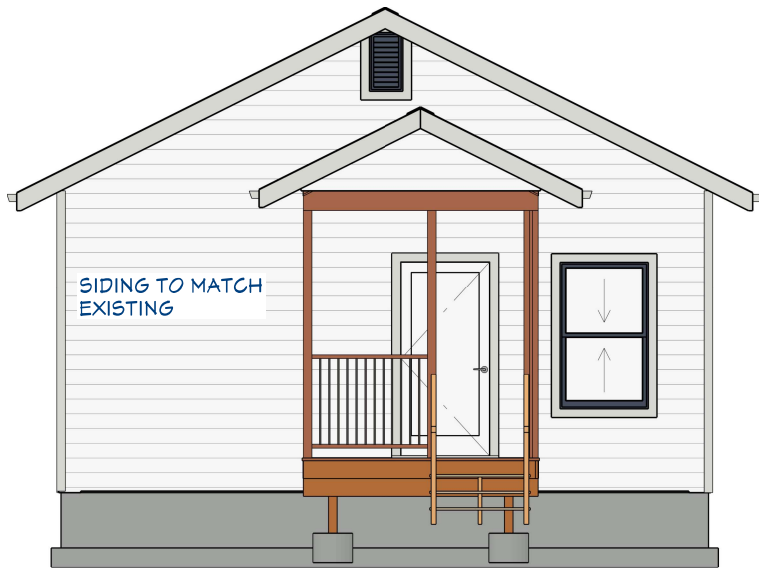
**FOUNDATION
FLOOR PLANS**

DATE:
1/28/2025

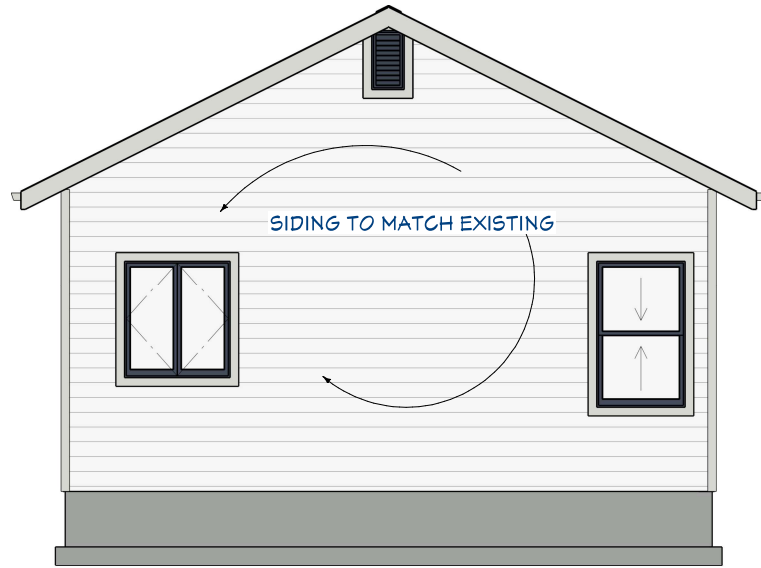
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1/4"=1'-0"

SHEET:

3



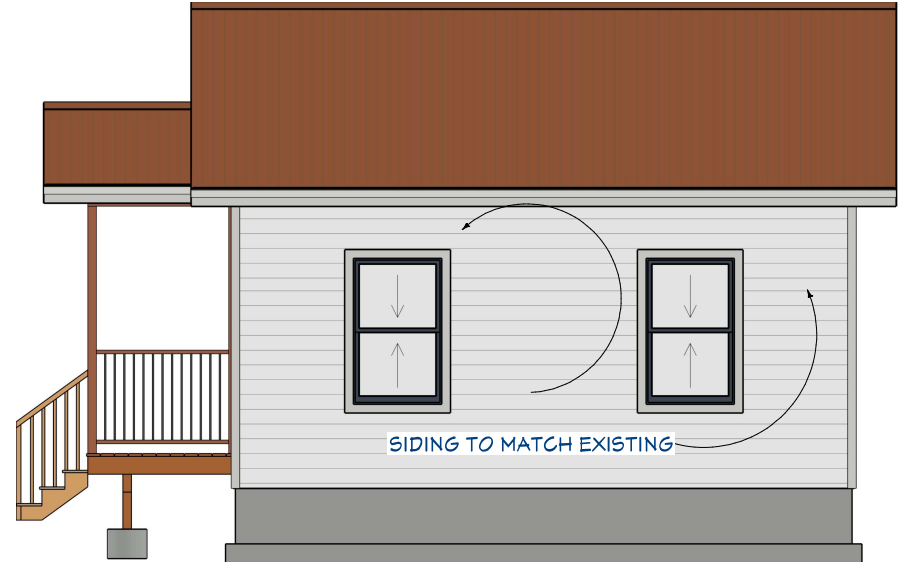
Elevation 1



Elevation 2



Elevation 3



Elevation 4

Drafting & design by
Ravi R. Butler
Tel: 209.491.7537
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Owner: Peter Rossi
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E-mail: pross43@gmail.com

Custom
ADU

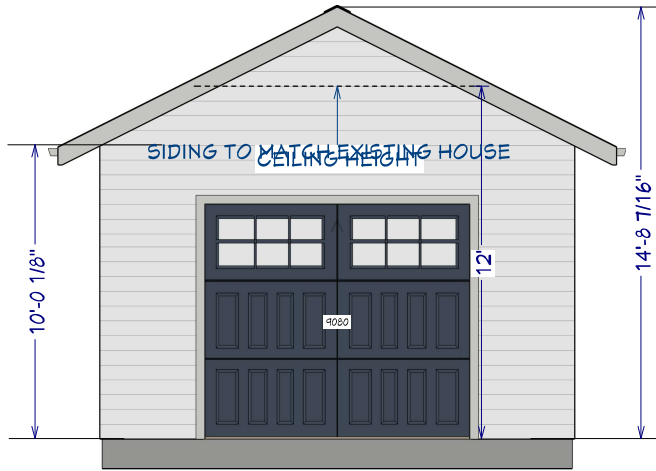
HOUSE ELEVATIONS

DATE:
1/28/2025

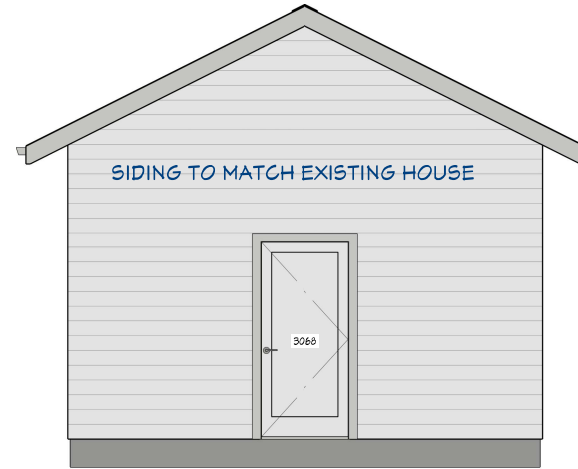
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SHEET:

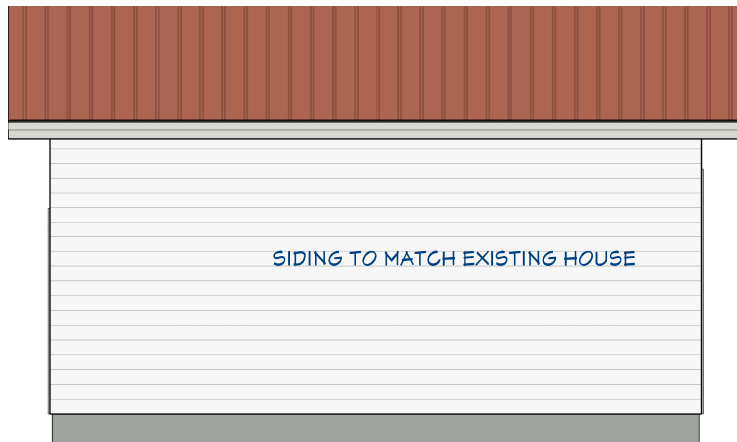
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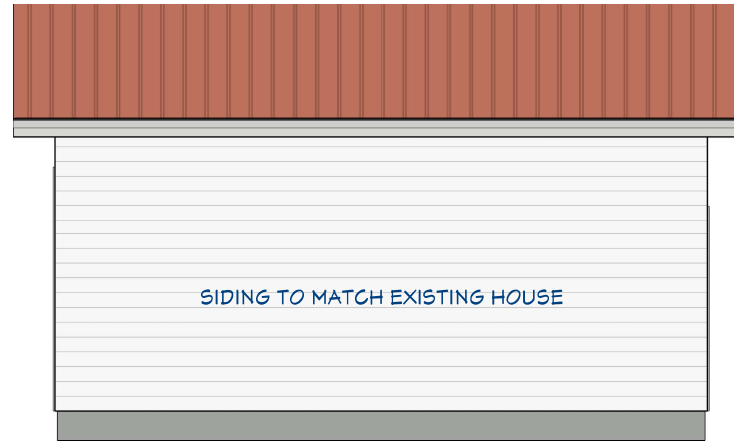
Elevation 1



Elevation 4



Elevation 2



Elevation 3

Drafting & design by
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e-mail: rrb1941@volcano.net

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City: Sutter Creek Ca. 95642
Tel: 1-925-813-4158
E-mail: pross43@gmail.com

Custom
ADU

GARAGE ELEVATIONS

DATE:
1/28/2025

SCALE:

SHEET:

5