



REGULAR CITY COUNCIL MEETING

City Hall Council Chambers, 298 West Washington Street
Tuesday, October 10, 2023 at 5:30 PM

AGENDA

CALL TO ORDER

PLEDGES OF ALLEGIANCE

INVOCATION

PRESENTATIONS AND RECOGNITIONS

[Proclamation](#) Recognizing 2023 World Teacher's Day

CITIZENS GENERAL DISCUSSION

REGULAR AGENDA

1. Consider Approval of Retail Strategies Branding Proposal
- [2.](#) Consider Approval of Award of Contract with Whirlix Design, Inc. for the Installation of Phase 2 of the Inclusive Playground at City Park
3. Consider Approval of a Request for a Variance from the City of Stephenville Code of Ordinances, Section 130.16 *Sale of Alcoholic Beverages* for BJ's Restaurant and Bar, located at 211 W McNeill St., being Block 8, Lot 1 of the S2600 City Addition to the City of Stephenville, Texas and identified as Parcel No. R29218 by the Erath County Appraisal District

PLANNING AND ZONING COMMISSION

Steve Killen, Director of Development Services

[4.](#) **Case No.: PD2023-002**

Applicant Ben Sanchez with Parkhill, Representing Stephenville ISD is Requesting a Rezone of a Property Located at 0 Wolfe Nursery Rd, Parcel R64240, Being BLOCK 156; LOT 7 (PT OF) of the 42.930 Acres, S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from City, Tarleton, School (CTS) to Planned Development (PD)

5. PUBLIC HEARING

Case No.: PD2023-002

- [6.](#) Consider Approval of Ordinance Rezoning Property Located at 0 Wolfe Nursery Rd, Parcel R64240, Being BLOCK 156; LOT 7 (PT OF) of the 42.930 Acres, S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from City, Tarleton, School (CTS) to Planned Development (PD)

[7.](#) **Case No.: SV2023-001**

Applicant Emanuel Glockzin, Representing Retirement Living for Seniors, is Requesting a Subdivision Waiver from Section 155.6.11 – Sidewalk Requirements, to be Constructed at W Lingleville Rd, Parcel R77868, being 7.664 Acres, A0520 Menefee Jarrett of the City of Stephenville, Erath County, Texas

8. PUBLIC HEARING

Case No.: SV2023-001

9. Consider Approval of Subdivision Waiver from Section 155.6.11 – Sidewalk Requirements, to be Constructed at W Lingleville Rd, Parcel R77868, being 7.664 Acres, A0520 Menefee Jarrett of the City of Stephenville, Erath County, Texas

10. Case No.: SV2023-002

Applicant Emanuel Glockzin, Representing Retirement Living for Seniors, is Requesting a Subdivision Waiver from Section 155.6.04(M) – Curb & Gutter Requirements, to be Constructed at W Lingleville Rd, Parcel R77868, being 7.664 Acres, A0520 Menefee Jarrett of the City of Stephenville, Erath County, Texas

11. PUBLIC HEARING

Case No.: SV2023-002

12. Consider Approval of a Subdivision Waiver from Section 155.6.04(M) – Curb & Gutter Requirements, to be Constructed at W Lingleville Rd, Parcel R77868, being 7.664 Acres, A0520 Menefee Jarrett of the City of Stephenville, Erath County, Texas

13. Case No.: CP2023-001

Applicants Thomas and Zana Gill are Requesting a Conditional Use Permit for Property Located at 1490 W. McNeill, R33490, being SOUTH SIDE ADDITION, BLOCK 6, LOT 1A, 1B, 2, 2A, 3, 4, 5 (Pt of 1B) of the City of Stephenville, Erath County, Texas

14. PUBLIC HEARING

Case No.: CP2023-001

15. Consider Approval of Conditional Use Permit for Property Located at 1490 W. McNeill, R33490, being SOUTH SIDE ADDITION, BLOCK 6, LOT 1A, 1B, 2, 2A, 3, 4, 5 (Pt of 1B) of the City of Stephenville, Erath County, Texas

NOMINATIONS COMMITTEE

Maddie Smith, Chair

16. Nominations Committee Report

17. Consider Approval of Nominations to Citizen Boards and Commissions

PUBLIC WORKS COMMITTEE

Mark McClinton, Chair

18. Public Works Committee Report - September 19, 2023

19. Consider Approval of Harbin Drive Improvements Project Change Orders

20. Consider Approval of Eastside Sewer Interceptor - Phase 1 Project Change Orders

FINANCE COMMITTEE

Justin Haschke, Chair

21. Finance Committee Report - September 19, 2023

22. Award Audit Services contract beginning with the fiscal year ending September 30, 2023

FINANCIAL REPORTS

Monica Harris, Director of Finance

23. Monthly Budget Report for the Period Ending August 31, 2023

CONSENT AGENDA

- [24.](#) Consider Approval of Regular City Council Meeting Minutes - September 5, 2023
- [25.](#) Consider Approval of Special City Council Meeting Minutes - September 19, 2023
- [26.](#) Consider Approval of Membership in the Texas Municipal League
- [27.](#) Consider Approval of Budgeted Purchase for Utility Department Backhoe
- [28.](#) Consider Approval of an Expenditure for 2022/2023 Patrol Unit Build Outs

COMMENTS BY CITY MANAGER

COMMENTS BY COUNCIL MEMBERS

EXECUTIVE SESSION

In compliance with the provisions of the Texas Open Meetings Law, Subchapter D, Government Code, Vernon's Texas Codes, Annotated, in accordance with

- 29. Section 551.074 Personnel Matters** to deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee, to wit: Municipal Judge

ACTION TAKEN ON ITEMS DISCUSSED IN EXECUTIVE SESSION, IF NECESSARY

ADJOURN

Note: The Stephenville City Council may convene into Executive Session on any matter related to any of the above agenda items for a purpose, such closed session allowed under Chapter 551, Texas Government Code.

In accordance with the Americans with Disabilities Act, persons who need accommodation to attend or participate in this meeting should contact City Hall at 254-918-1287 within 48 hours prior to the meeting to request such assistance.

CITY OF STEPHENVILLE TEACHERS' DAY PROCLAMATION

WHEREAS, the City of Stephenville's future strength depends on providing a high-quality education to all students; and

WHEREAS, teacher quality matters more to student achievement than any other school-related factor; and

WHEREAS, teachers spend countless hours preparing lesson plans and supporting students; and

WHEREAS, our teachers have demonstrated great resilience, adaptability, and creativity during the COVID-19 crisis; and

WHEREAS, our community recognizes and supports its teachers in educating the children of this community; and

WHEREAS, #TeachersCan is a statewide movement supported by more than 150 partnering businesses and organizations committed to elevating the teaching profession and honoring the critical role teachers play in the success of Texas; and

NOW, THEREFORE, I, Doug Svien, Mayor of the City of Stephenville, join #TeachersCan and its partnering entities across Texas in celebrating World Teachers' Day and proclaim October 5, 2023, to be Stephenville Teachers' Day.

IN WITNESS WHEREOF, I have hereby set my hand and caused to be affixed the seal of the City of Stephenville, Texas, this 10th day of October 2023.

Doug Svien, Mayor of Stephenville



Date: September 14, 2023
Project: Stephenville Dairy PH 2
Location: Stephenville TX

BUYBOARD CONTRACT #679-22, VENDOR # 3120

We are a self-reporting vendor for Buy Board. Please send all purchase orders, payments, etc. directly to The Whirlix Design team.

Custom Dairy Playground Equipment, Site work, Stone and Surfacing

Series: *Landscape Structures Custom Playground Equipment*
Surface: *Synthetic Turf by Synthetic Grass Pros*
Installation: *By Factory Trained and Certified Installers*
Quantity/Sizes: *See Attached Renders*

Ph 2 WeGoSwing Area: \$58,957.00
Installation: \$17,785.00
Freight: \$7,294.00
1460 sf Synthetic Grass Pros Synthetic Turf, 2" Safety Pad: \$30,531.00
Buy Board Discount: -\$5,729.00
\$108,838.00
(One Hundred Eight Thousand, Eight Hundred Thirty-Eight Dollars)

WeGoSwing Area Includes:

- Full Submittal Package
- Warranty As Specified
- WeGoSwing
- WeGoSwing Accessibility Ramp
- Custom Tractor Spring Rider
- Certified Installation
- 1460 SF Synthetic Turf w/Play Pad
- Freight
- ADA Compliant Play Structures

Base Bid Excludes:

- Sales Tax
- Excavation (1400 sf @ 8" Depth)
- Concrete Curb (62 LF 8"x 8")
- Drainage
- Construction Management Software Required for Project
- Demo and Disposal of Existing Equipment and Surfacing
- Payment, Performance, or Maintenance Bonds
- Demolition of Existing Structure
- Drilling Through Rocky Soil

Whirlix Design Inc.
1751 International Parkway, Suite 131
Richardson, TX 75081



- Hitting of New or Existing Sprinkler pipes
- Hitting of private electrical, water, sewer, internet, etc. that are not detectible during a commercial line location
- Sod Replacement due to Reasonable Path of Travel to Project or Play Area Location. We need access to project location.
- Surveying of Site
- Craning of Equipment
- Special Augers or Drilling Equipment
- Setting of Control Points or Benchmarks
- Remobilization Charges Due to Weather or Project Delays
- Offsite Storage of Equipment Due to Weather or Project Related Delays
- On Site Security
- Permitting and Inspections
- Third Party Inspections
- Wet Stamped Engineering Drawings
- Dumpster
- Soil Testing
- Geotechnical Report

Terms: Net 30 for Existing Customers. All new customers are subject to a credit check and Possible deposit.

Payment terms will be based, in part, on credit review that is pulled from The Experian Business Division.

Pursuant to Tex. Prop. Code § 53.159, Whirlix will need any and all Bond information at the time of Signed Proposal, Contract, and / or Deposit.

All taxes now or hereafter levied by federal, state or local authority upon the sale of any of the forgoing products to be paid for by the purchaser. All quotations are subject to the conditions printed on the following pages if any and when accepted are subject to the approval of an officer of this company.

Prepared by David Rushing · Whirlix Design Inc · drushing@whirlix.com · 972-658-7518

Acceptance of Approval: The above prices, specifications, and conditions are satisfactory and accepted. You are hereby authorized to provide all items described above. Any balances not paid within thirty (30) days of the date of the invoice shall accrue interest at the rate of 18% per annum. Any action to construe, declare or enforce this contract shall only be brought in a court of competent jurisdiction with venue lying solely and exclusively in Dallas County, Texas. The prevailing party in any action brought to construe, declare or enforce this contract shall be entitled to recover its actual attorney’s fees, attorney’s travel time charges and expenses, paralegal fees, computer access and utilization charges, expert witness fees and expenses, costs, expenses and expenses of investigation, discovery, and litigation. The parties to this contract expressly waive the right to trial by jury of any cause of action or defense pertaining to this contract. The above prices, specifications, and conditions are satisfactory and accepted. You are hereby authorized to provide all items described above.

Date: _____ Signature: _____



STAFF REPORT

SUBJECT: Case No.: PD2023-002
 Applicant Ben Sanchez with Parkhill, representing Stephenville ISD is requesting a rezone of a property located at Wolfe Nursery Rd, Parcel R64240, being BLOCK 156; LOT 7 (PT OF) of the Acres 42.930, S2600 CITY ADDITION of the City of Stephenville, Erath County, Texas from (CTS) City, Tarleton, School to (PD) Planned Development. The applicant will present the Planned Development.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen, Director of Development Services

RECOMMENDATION:

The Planning and Zoning Commission convened on September 20, 2023, and by a vote of 6/1, recommended the City Council approve the Development Plan and rezone request as presented.

BACKGROUND:

PROPERTY PROFILE:



STAFF COMMENTS:

Parkhill has listed the following as requested deviations:

CODE DEVIATIONS

1. USE OF JUNIOR HIGH OFFSITE PARKING (468 SPACES). TWO SIGNALIZED PEDESTRIAN CROSSINGS WILL BE PROVIDED ACROSS WEST FREY STREET.
2. PHASE TWO PAVED PARKING LOT (239 SPACES) SHALL BE CONSTRUCTED AT FUTURE TIME WHEN STADIUM DEMAND REACHES FULL CAPACITY.
3. TREES TO BE PLACED OUTSIDE OF PARKING AREAS INSTEAD OF EVERY 12 PARKING SPACES PER LANDSCAPE ORDINANCE. REQUIRED SITE TREE COUNTS WILL BE PROVIDED OUTSIDE OF PARKING AREAS, PROPOSED TREE QUANTITY WILL BE CONTINGENT UPON THE QUANTITY OF EXISTING TREES KEPT (TREE CREDITS). TREE SURVEY WILL BE PROVIDED.

Staff Comments:

1. The PD will required deviation from the 35' height limitations as presented in the PD.
2. All parking will be concrete as stated during the conceptual plan presentation.
3. Certain development reviews are pending The Developer has indicated full compliance with all requirements with exception to the specific deviations stated above.

Sec. 154.08. Planned development district (PD).

8.A Description.

- (1) Planned development districts are designed for greater flexibility and discretion in the application of residential and non-residential zoning and for increased compatibility and the more effective mitigation of potentially adverse impacts on adjacent land than in possible under standard district regulations. It is recognized that it is desirable for certain areas of the city to be developed in accordance with development plans prepared and approved as a part of the ordinance authorizing the zoning necessary for the proposed development.
- (2) Improvements in a "PD" District are subject to conformance with a development plan approved by the City Council on Planning and Zoning Commission recommendation and after public hearing thereon. No development plan may increase gross density in excess of that allowed by the base district.

8.B Permitted Uses. In a PD Development District, no land shall be used, and no building shall be installed, erected for/or converted to any use other than a hereinafter provided.

NON-RESIDENTIAL PLANNED DEVELOPMENTS. Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Non-residential uses are situated such that an appreciable amount of land is available for open space or joint use as parking space and is integrated throughout the planned development;
- (3) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (4) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional non-residential projects; and

- (5) The project provides a compatible transition between adjacent existing single-family residential projects and provides a compatible transition for the extension of future single-family projects into adjacent undeveloped areas.

RESIDENTIAL PLANNED DEVELOPMENT. Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Dwelling units are situated such that an appreciable amount of land for open space is available and is integrated throughout the planned development;
- (3) The project utilizes an innovative approach in lot configuration and mixture of single-family housing types;
- (4) Higher densities than conventional single-family projects of the same acreage is achievable with appropriate buffering between existing conventional single-family developments and increased open space;
- (5) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (6) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional single-family projects; and
- (7) The project provides a compatible transition between adjacent existing conventional single-family residential projects and provides a compatible transition for the extension of future conventional single-family projects into adjacent undeveloped areas.

8.C Prohibited Uses.

- (1) Any building erected or land used for other than the use shown on the Planned Development Site Plan, as approved by the City Council.
- (2) Any use of property that does not meet the required minimum lot size; front, side and rear yard dimensions; and/or lot width, or exceeds the maximum height, building coverage or density per gross acreage as shown in the development's recorded Planned Development Site Plan, as approved by City Council.
- (3) Any use deemed by the City Council as being detrimental to the health, safety or general welfare of the citizens of Stephenville.

8.D Ownership. An application for approval of a Planned Development Plan under the Planned Development District regulations may be filed by a person having legal ownership of the property to be included in the Development Plan. In order to ensure unified planning and development of the property, the applicant shall provide evidence, in form satisfactory to the City Attorney, prior to final approval of the Development Plan, that the property is held in single ownership or is under single control. Land shall be deemed to be held in single ownership or under single control if it is in joint tenancy, tenancy in common, a partnership, a trust or a joint venture. The Development Plan shall be filed in the name(s) of the record owner(s) of the property, which shall be included in the application.

8.E Development Schedule.

- (1) An application for a Planned Development District shall be accompanied by a development schedule indicating the approximate date on which construction is expected to begin and the rate of anticipated development to completion. The development schedule, adopted and approved by the City Council, shall become part of the Planned Development Ordinance and shall be adhered to by the owner, developer and their assigns of successors in interest.

- (2) Annually, upon the anniversary date, or more frequently if required, the developer shall provide a written report to the Planning and Zoning Commission concerning the actual development accomplished as compared with the development schedule.
- (3) The Planning and Zoning Commission may, if in its opinion the owner or owners of the property are failing or have failed to meet the approved development schedule, initiate proceedings to amend the Official Zoning map or the Planned Development District by removing all or part of the Planned Development District from the Official Zoning Map and placing the area involved in another appropriate zoning district. After the recommendation of the Planning and Zoning commission and for good cause shown by the owner and developer, the City Council may extend the development schedule as may be indicated by the facts and conditions of the case.

8.F Plat Requirements. No application for a building permit for the construction of a building or structure shall be approved unless a plat, meeting all requirement of the City of Stephenville has been approved by the City Council and recorded in the official records of Erath County.

8.G Concept Plan. The applicant for any PD Planned Development shall submit a concept plan to the Planning and Zoning Commission for review prior to submitting a Development Plan. The concept plan shall contain appropriate information to describe the general land use configuration, proposed densities or lot sizes, proposed amenities and proposed regulation.

8.H Development Plan Approval Required. No building permit or certificate of occupancy shall be issued, and no use of land, buildings or structures shall be made in the "PD" District until the same has been approved as part of a development plan in compliance with the procedures, terms and conditions of this section of the ordinance.

8.I Approval Procedures.

- (1) An application for development plan approval shall be filed with the Director of Community Development accompanied by a development plan.
- (2) The procedures for hearing a request for a zoning change to "PD" shall be the same as for a requested change to any other district as set forth Section 20 of the Zoning Ordinance.
- (3) Any substantive revision to a development plan between the public hearing before the Planning and Zoning Commission and the public hearing before the City Council shall necessitate the development plan being referred back to the Planning and Zoning Commission for review and evaluation unless the revision constitutes a minor change as provided below, or the change was condition of the approval.
- (4) Any revisions to the development plan after the public hearing before the City Council shall be submitted to the Director of Community Development for distribution, review and written evaluation by city staff prior to submission to and approved by the City Council.
- (5) Minor changes to an approved development plan, which will not cause any of the following circumstances to occur, may be authorized by the Director of Community Development or his or her designee:
 - (a) A change in the character of the development;
 - (b) An increase in the gross floor areas in structures;
 - (c) An increase in the intensity of use;
 - (d) A reduction in the originally approved separations between buildings;
 - (e) Any adverse changes in traffic circulation, safety, drainage and utilities;
 - (f) Any adverse changes in such external effects on adjacent property as noise, heat, light, glare, vibration, height scale or proximity;

- (g) A reduction in the originally approved setbacks from property lines;
 - (h) An increase in ground coverage by structures;
 - (i) A reduction in the ratio of off-street parking and loading space; and
 - (j) A change in the size, height, lighting or orientation of originally approved signs.
- (6) The decision of the Director of Community Development or his or her designee as to whether minor changes are being requested may be appealed to the Planning and Zoning Commission. Any change deemed not to be minor change, as indicated above, shall be processed as a new application in accordance with the provisions of this section and Section 20.1 of the Zoning Ordinance.

8.J Development Plan Requirements. The development plan submitted in support of a request for development plan approval shall contain sufficient information delineating the characteristics of the site, changes in those characteristics as may be proposed by the development, how the development will relate to public services and facilities and what protection features are included to insure that the development will be compatible with existing and allowable development on adjacent property. The development plan shall show at least the following items of information:

- (1) The location of all existing and planned non-single-family structures on the subject property;
- (2) Landscaping lighting and/or fencing and/or screening of common areas;
- (3) General locations of existing tree clusters, providing average size and number and indication of species;
- (4) Location and detail of perimeter fencing if applicable;
- (5) General description/location of ingress and egress with description of special pavement treatment if proposed;
- (6) Off-street parking and loading facilities, and calculations showing how the quantities were obtained for all non single-family purposes;
- (7) Height of all non-single-family structures;
- (8) Proposed uses;
- (9) Location and description of subdivision signage and landscaping at entrance areas;
- (10) Street names on proposed streets;
- (11) Proposed minimum area regulations including, set-backs, lot-sizes, widths, depths, side-yards, square footage or residential structures;
- (12) Indication of all development phasing and platting limits; and
- (13) Such additional terms and conditions, including design standards, as the Planning and Zoning Commission and the City Council deem necessary.

8.K Conditions for Development Plan Approval.

- (1) A development plan shall be approved only if all of the following conditions have been found during the review and process:
 - (a) That the uses will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values with the immediate vicinity;
 - (b) That the establishment of the use or uses will not impede the normal and orderly development and improvements of surrounding vacant property;
 - (c) That adequate utilities, access roads, drainage and other necessary supporting facilities have been or will be provided;

- (d) That the design, location and arrangement of all driveways and parking spaces provides for the safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
 - (e) That adequate nuisance prevention measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration;
 - (f) That directional lighting will be provided so as not to disturb or adversely affect neighboring properties.
- (2) In approving a development plan, the City Council may impose additional conditions necessary to protect the public interest and welfare of the community.

8.L Additional Conditions. Every Planned Development District approved under the provisions of this Ordinance shall be considered as an amendment to the Ordinance applicable to the property involved. In an approved Planned Development District, the City Council may impose conditions relative to the standard of development, and such conditions shall be complied with before a certificate of occupancy is issued for the use of the land or any structure which is part of the Planned Development District; and such condition shall not be construed as conditions precedent to the approval of the zoning amendment, but shall be constructed as conditions precedent to the granting of a certificate of occupancy.

8.M Revocation.

- (1) Approval of a development plan may be revoked or modified, after notice and hearing, for either of the following reasons:
 - (a) Approval was obtained or extended by fraud or deception; or
 - (b) That one or more of the conditions imposed by the City Council on the development plan has not been met or has been violated.
- (2) Development controls:
 - (a) The City Council may impose more restrictive requirements than those proposed in the development plan in order to minimize incompatibilities;
 - (b) A "PD" District shall have a minimum lot area of not less than one acre under unified control;
 - (c) The parking requirements of the Zoning Ordinance shall apply to all uses in the "PD" District unless otherwise specified on the development plan; and
 - (d) "PD" provisions may vary setbacks with approval.

FACTORS TO CONSIDER:

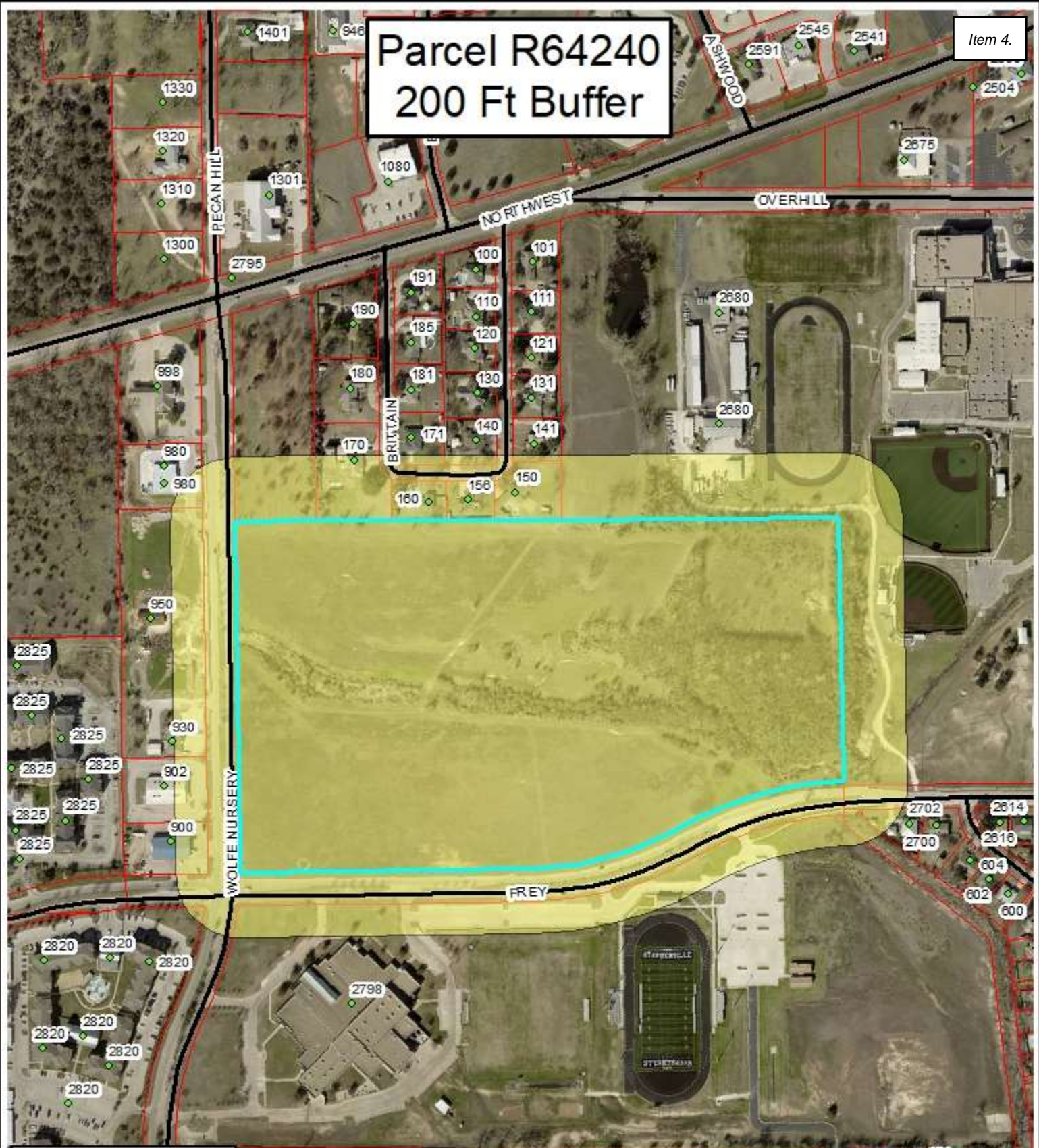
- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve

ALTERNATIVES:

- 1) Accept the recommendation of the Planning and Zoning Commission and approve the Development Plan and rezone request.
- 2) Deny the Development Plan and rezone request.

Parcel R64240 200 Ft Buffer

Item 4.

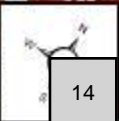


Legend

- ◆ Addresses
- Roads
- R64240 Buffer
- Parcels



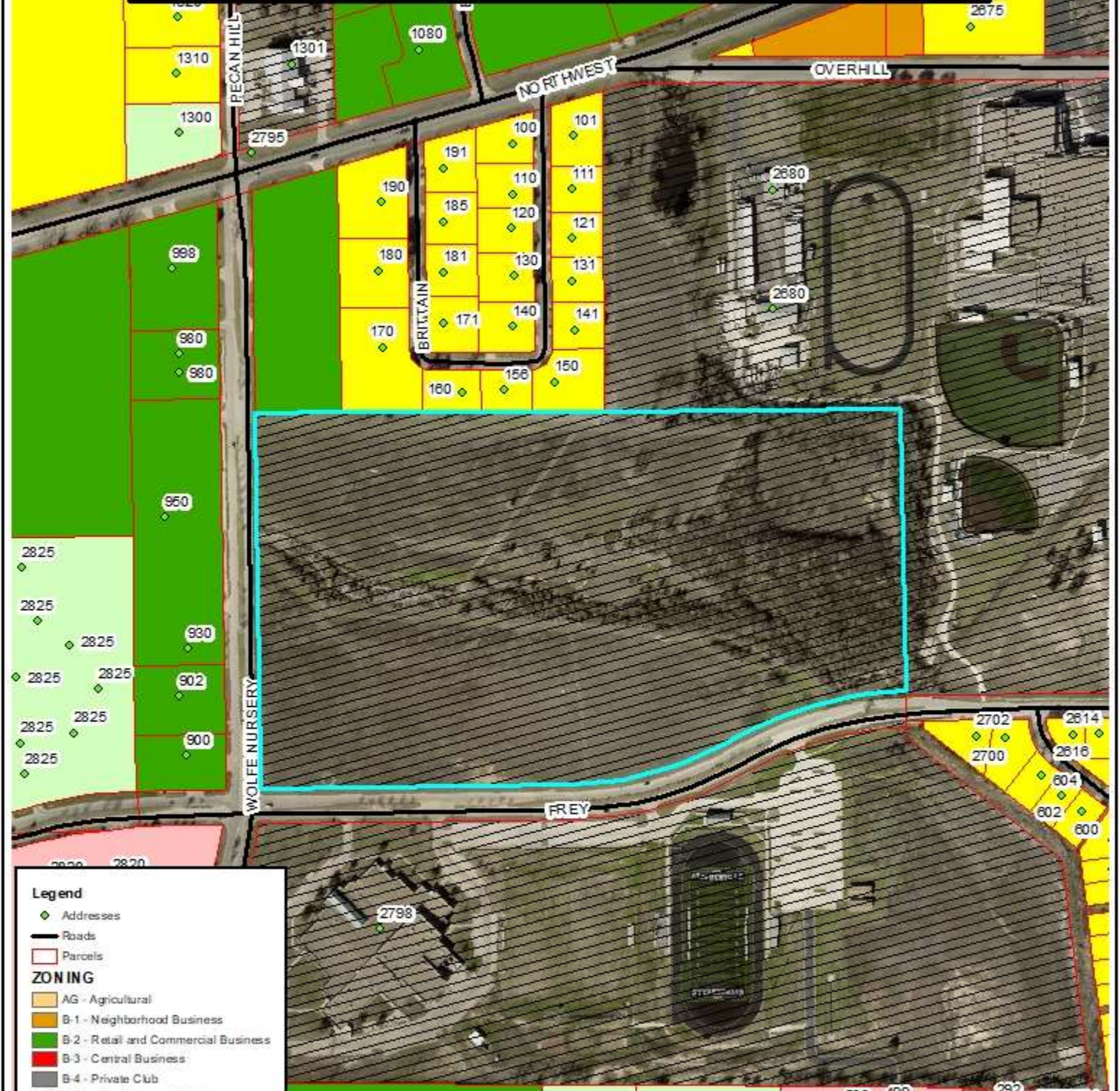
The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.



Parcel R64240

Current Zoning - CTS City, Tarleton, SISD

Item 4.

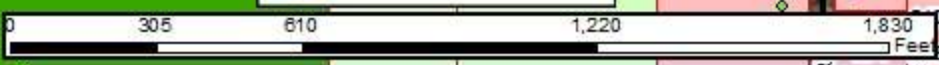


Legend

- ◆ Addresses
- Roads
- ▭ Parcels

ZONING

- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tarleton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 8,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre

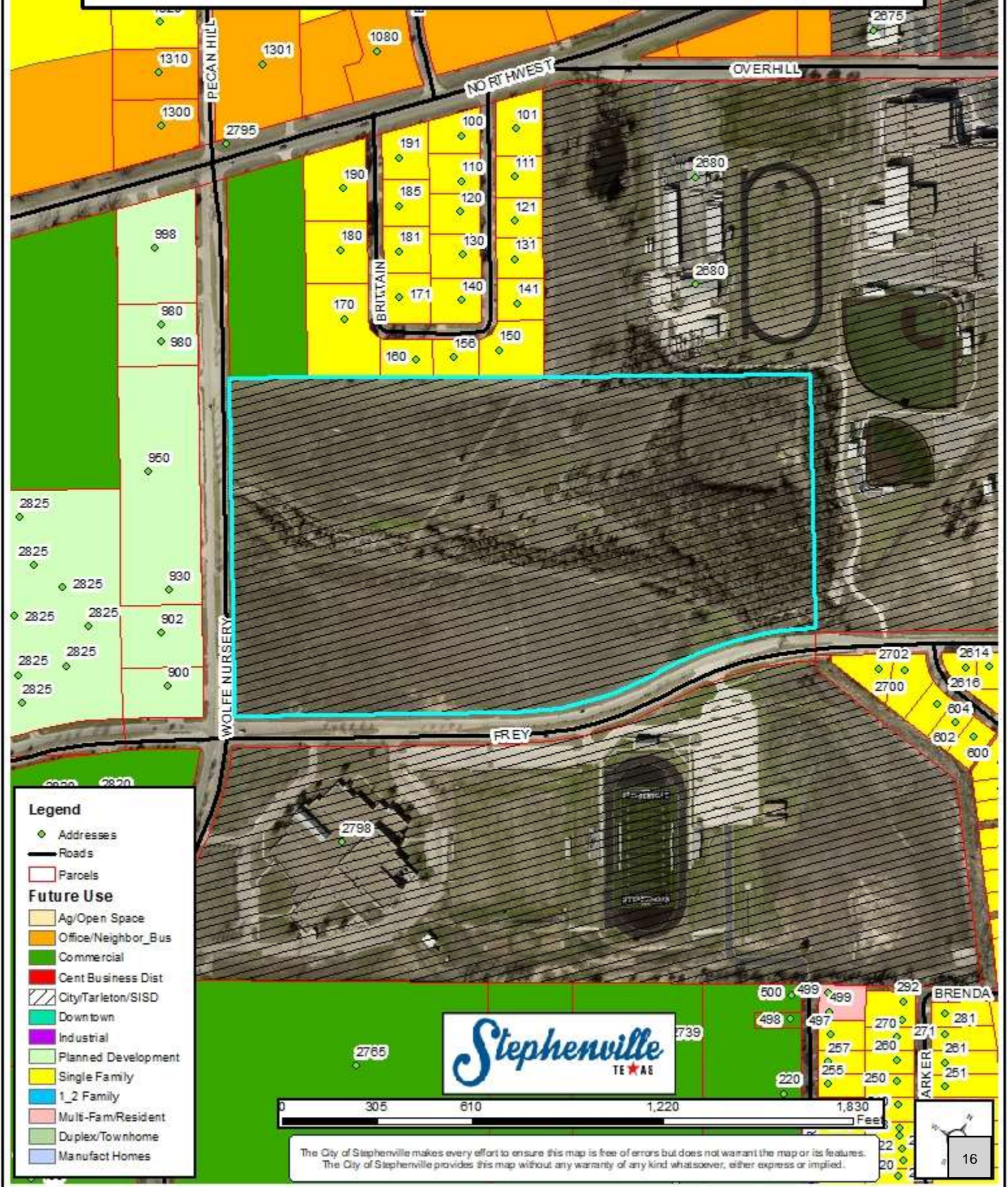


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Parcel R64240

Future Land Use - CTS - City, Tarleton, SISD

Item 4.



- Legend**
- ◆ Addresses
 - Roads
 - ▭ Parcels
- Future Use**
- Ag/Open Space
 - Office/Neighbor_Bus
 - Commercial
 - Cent Business Dist
 - City/Tarleton/SISD
 - Down town
 - Industrial
 - Planned Development
 - Single Family
 - 1_2 Family
 - Multi-Fam/Resident
 - Duplex/Townhome
 - Manufact Homes



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Parcel R64240 Water & Sewer Utilities

Item 4.

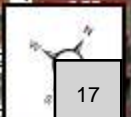


Legend

- ◆ Addresses
- Roads
- Parcels
- Sewer Lines
- Water Lines



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Parcel R64240 200 ft Buffer Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000064345	991 WOLFE NURSERY RD	ALLEN REAL PROPERTIES LTD	PO BOX 953	STEPHENVILLE	TX	76401
R000065805	0 FREY TO BRENDA	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401
R000055502	0 BRITAIN CIRCLE	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000059541	0 WOLFE NURSEY RD & W FREY	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000067011	900 WOLFE NURSERY RD	FEEMSTER ROLAND D & TINA LYNN	900 N WOLFE NURSERY RD	STEPHENVILLE	TX	76401
R000040839	170 BRITAIN CIRCLE	FITZPATRICK SEAN & DANA FITZPATRICK	170 BRITAIN CIRCLE	STEPHENVILLE	TX	76401
R000040841	160 BRITAIN CIRCLE	GORDEY JORDAN & LAURA	160 BRITAIN CIRCLE	STEPHENVILLE	TX	76401
R000022334	2820 W FREY	GPI MUSTANG LLC	4622 RIVERSTONE BLVD	MISSOURI CITY	TX	77459
R000052963	140 BRITAIN CIRCLE	HILL RICHARD D & LINDA G	140 BRITAIN CR	STEPHENVILLE	TX	76401
R000044250	156 BRITAIN CIRCLE	JENKINS AMY MICHELE	156 BRITAIN CIRCLE	STEPHENVILLE	TX	76401
R000040864	171 BRITAIN CIRCLE	MCPHERSON GARY	171 BRITAIN CIR	STEPHENVILLE	TX	76401
R000068878	930 WOLFE NURSERY RD	MIDDLE TRINITY GROUNDWATER CONSERVATION DISTRICT	930 WOLFE NURSERY RD	STEPHENVILLE	TX	76401
R000074087	980 WOLFE NURSERY RD	PARPRO LLC	1325 TIMBERCREEK DR	STEPHENVILLE	TX	76401
R000034239	2702 W FREY	SCHWERTNER THOMAS WAYNE JR	2702 W FREY	STEPHENVILLE	TX	76401
R000072994	902 WOLFE NURSERY RD	STEPHENVILLE DOCTORS REAL ESTATE, LLC	150 RIVER NORTH BLVD	STEPHENVILLE	TX	76401
R000064240	0 WOLFE NURSERY RD	STEPHENVILLE ISD	2655 W OVERHILL DR	STEPHENVILLE	TX	76401-0000
R000064350	2798 W FREY	STEPHENVILLE ISD	2655 W OVERHILL DR	STEPHENVILLE	TX	76401-0000
R000022339	2850 OVERHILL DR	STEPHENVILLE ISD	2655 W OVERHILL DR	STEPHENVILLE	TX	76401-0000
R000022416	150 BRITAIN CIRCLE	THOMPSON JOE B & SHELLEY T	150 BRITAIN CIRCLE	STEPHENVILLE	TX	76401-1931
R000055496	141 BRITAIN CIRCLE	WILSON J B & DIANNE	141 BRITAIN CIRCLE	STEPHENVILLE	TX	76401-0000

Stephenville ISD

Stephenville ISD Stadium

Development Plan

N West Frey & N Wolfe Nursery Rd.

Stephenville, TX 76401

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A01 Architecture

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CS501 Site Details
CU101 Utility Plan
CH001 Pre and Post Development Channel
CH002 Hydrology Data
C-101 Tree Survey
G-102 Existing Site Survey
G-103P Plat

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LT102 Tree Preservation and Protection Plan 'Area B'
LT103 Tree Preservation and Protection Plan 'Area C'
LT104 Tree Preservation and Protection Plan 'Area D'
LT105 Tree Preservation and Protection Plan 'Area E'
LT106 Tree Preservation and Protection Plan 'Area F'
LT107 Tree Preservation Data Tables
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L-503 Irrigation Details

Electrical

E-100 Electrical Site Plan
E-101 Parking Area Lighting
E-102 Project Summary & Illumination Summary
E-103 Illumination Summary & Equipment Layout

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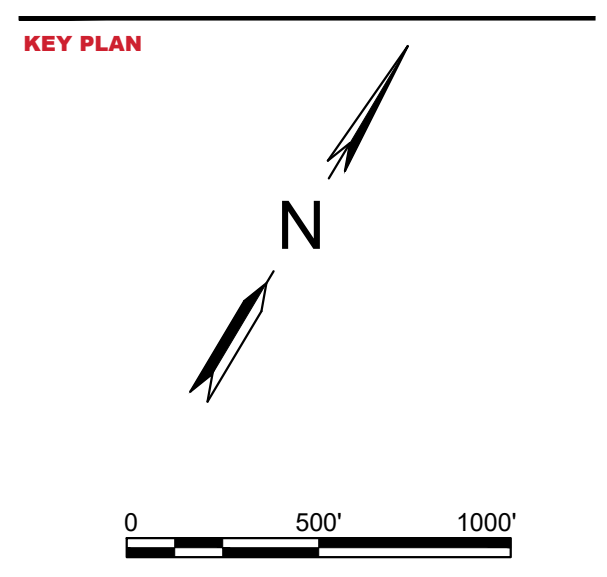
Stephenville ISD Stadium
Honeybees & Yellowjackets



CROSSLAND · Parkhill

CLIENT
Stephenville ISD
N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

PROJECT NO.
40108.22



#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Parkhill

3000 Internet Blvd.
Suite 550
Frisco, TX 75034
972.987.1670

Cover Sheet
G001

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PARKHILL, SMITH & COOPER, INC.
ARCHITECTURAL

09/08/2023

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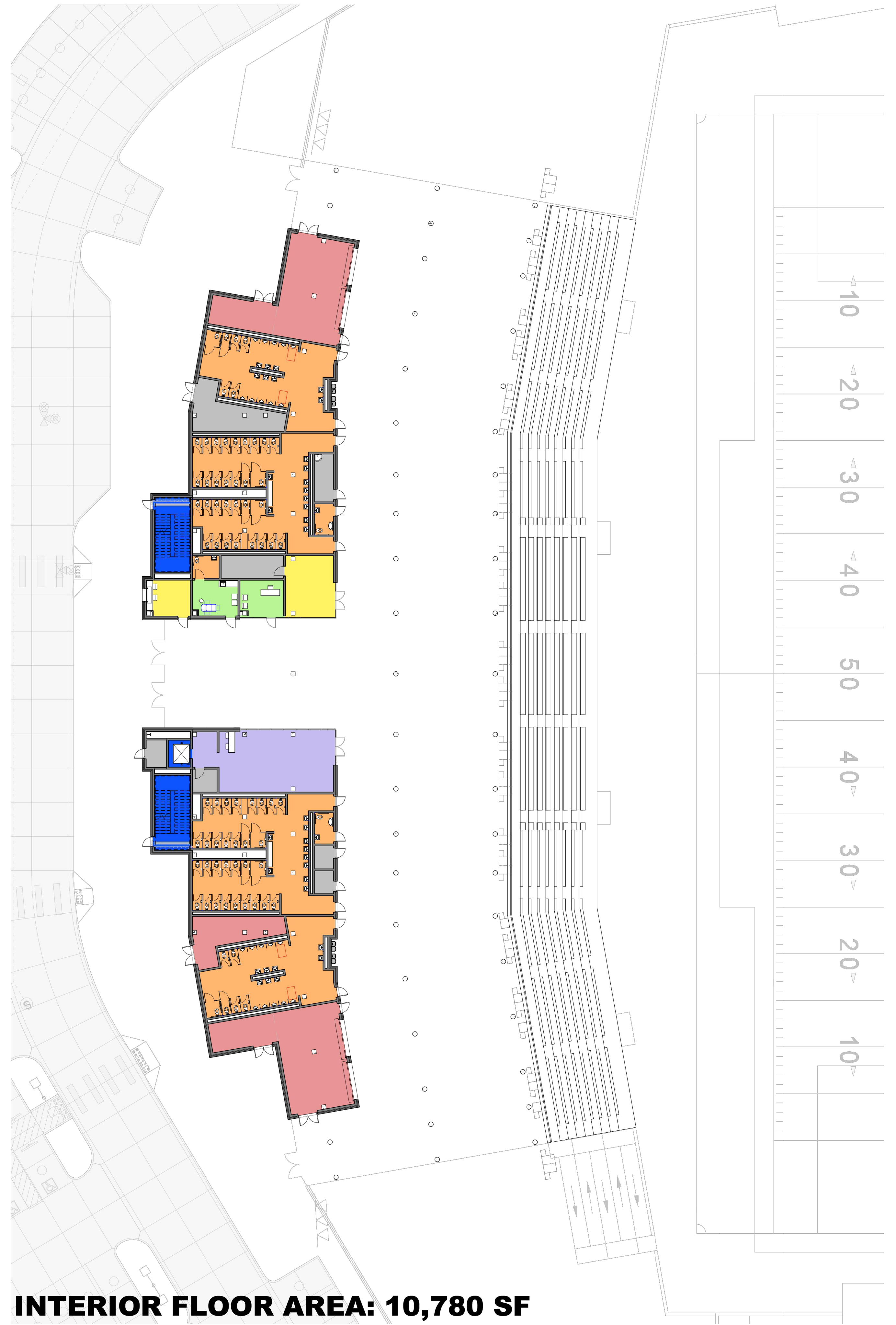
STEPHENVILLE ISD STADIUM

GROSS PROJECT SQUARE FOOTAGE
31,432 SF

HOME SIDE BUILDING DESIGN
GROSS SQUARE FEET: 21,081 SF

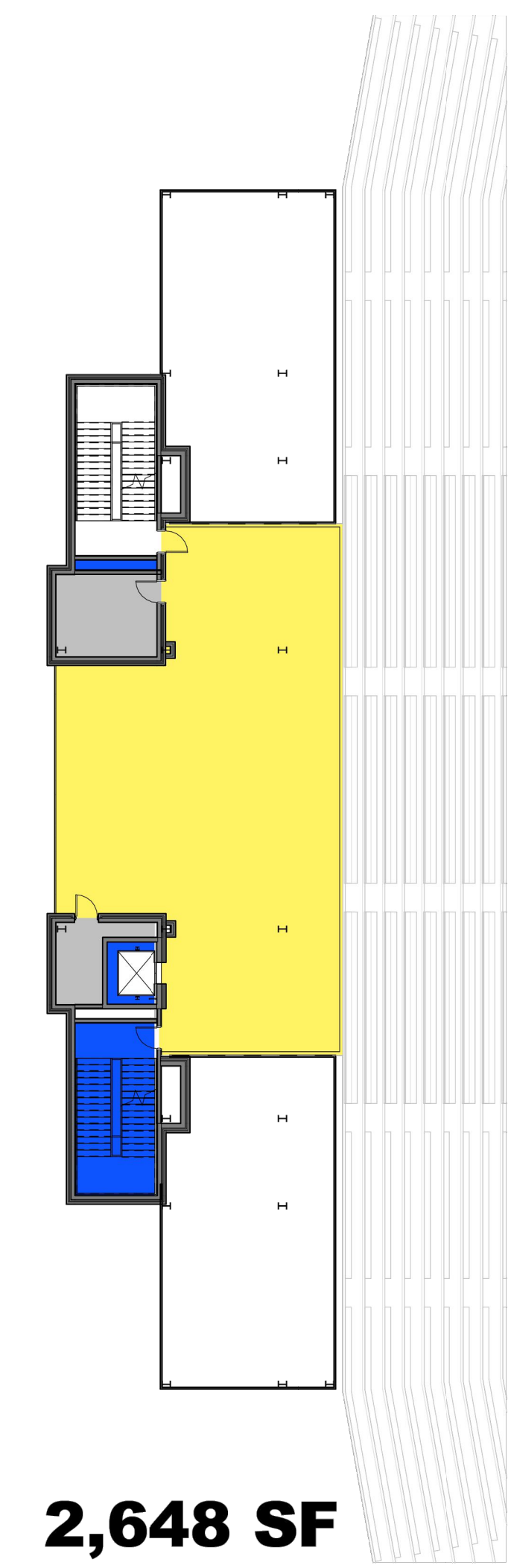
BUILDING HEIGHTS
HIGHEST OCCUPIABLE FLOOR: 74'-9"
STAIR TOWER PARAPET: 92'-1"

- GENERAL NOTES:**
1. Provided Renderings & Plans are for illustration purposes only as the design process is ongoing
 2. Final material selections to be defined with client & to meet Local & National standards
 3. Estimated preliminary percentages:
 - A. Split Face CMU = 32%
 - B. Metal Panel = 20%
 - C. Rainscreen Concrete Panel = 32%
 - D. Corrugated Perforated Metal = 15%
 - E. Vinyl Coated Poly Screening Mesh = Mounted over portions of exposed steel structure at pressbox & bleachers / grandstands



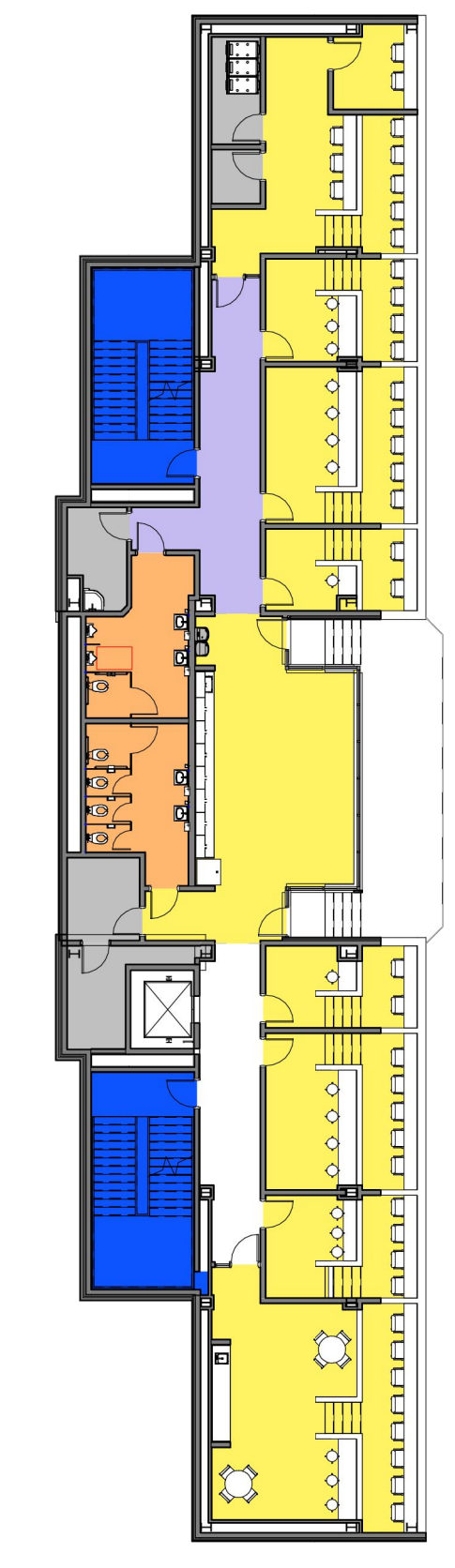
INTERIOR FLOOR AREA: 10,780 SF

1ST FLR - HOME CONCOURSE LEVEL



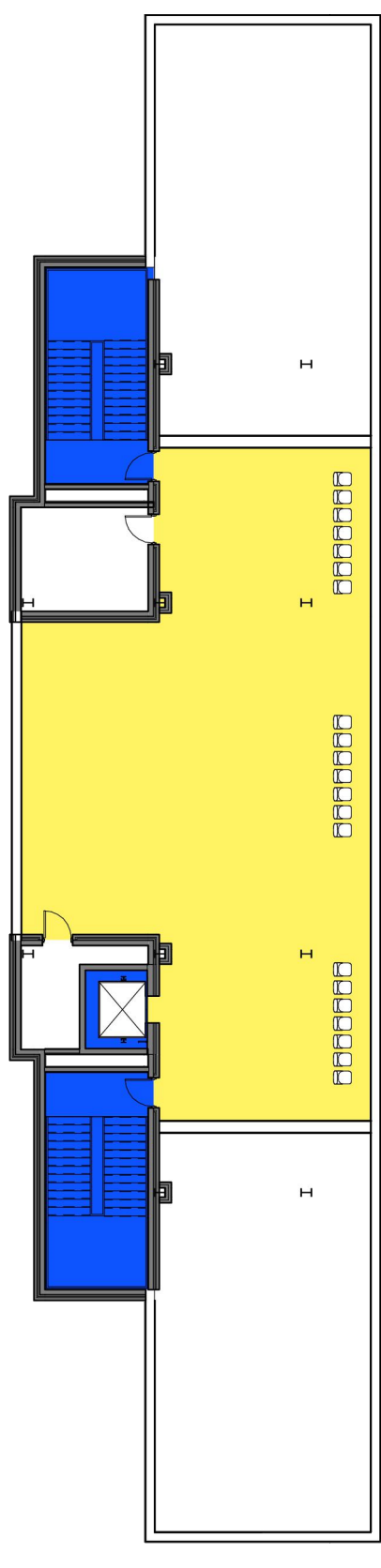
2,648 SF

2ND FLR - COMMUNITY TERRACE



5,005 SF

3RD FLR - PRESSBOX OPERATIONS



2,648 SF

4TH FLR - ROOF TERRACE

Stephenville ISD Stadium
Honeybees & Yellow Jackets



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Stephenville ISD
W Frey & N Wolfe Nursery Rd.
Stephenville, TX

PROJECT NO.
40108.22

KEY PLAN

09/08/2023 Development Plan Submittal

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PARKHILL, SMITH & COOPER, INC.
ARCHITECTURAL

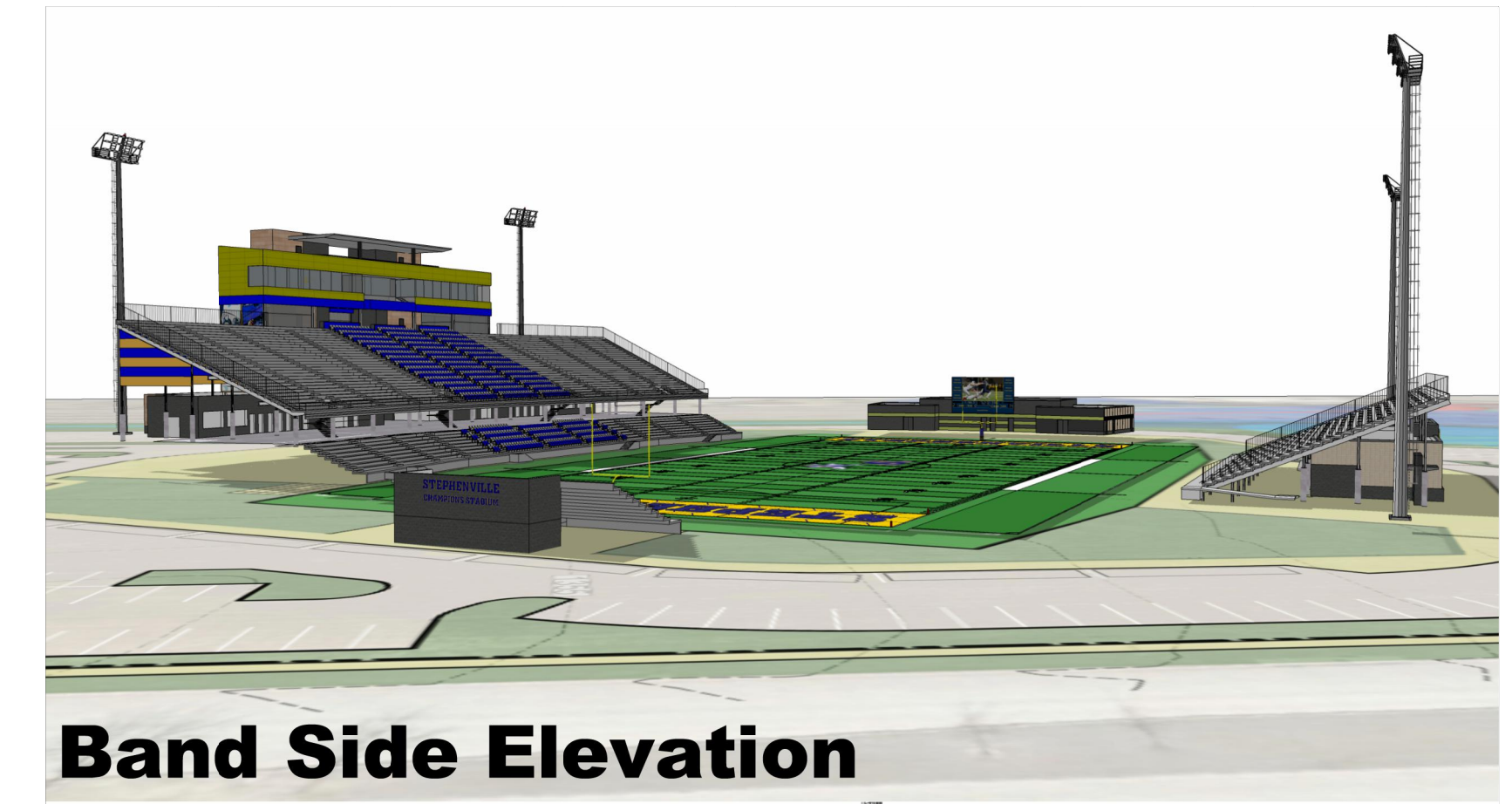
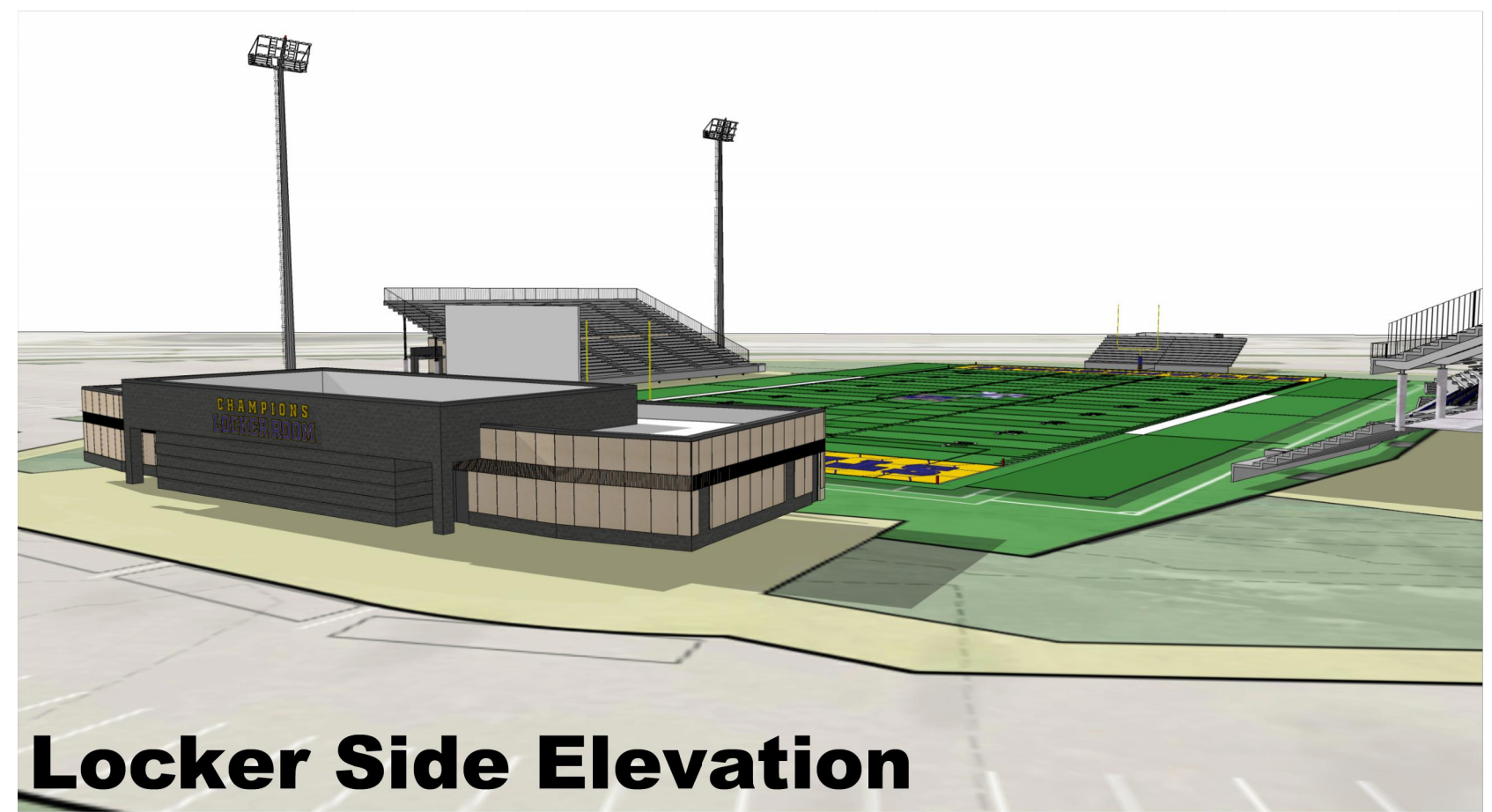
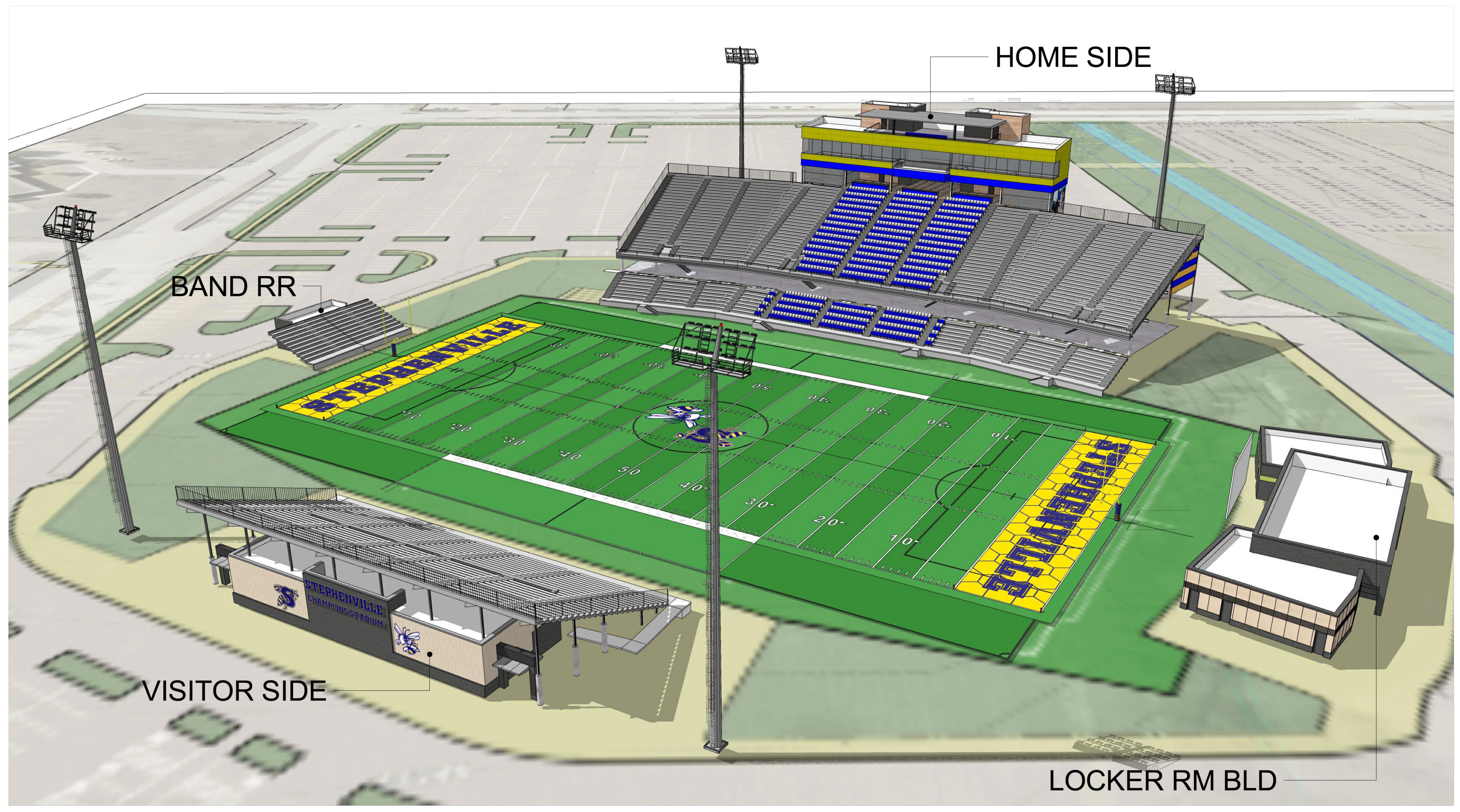
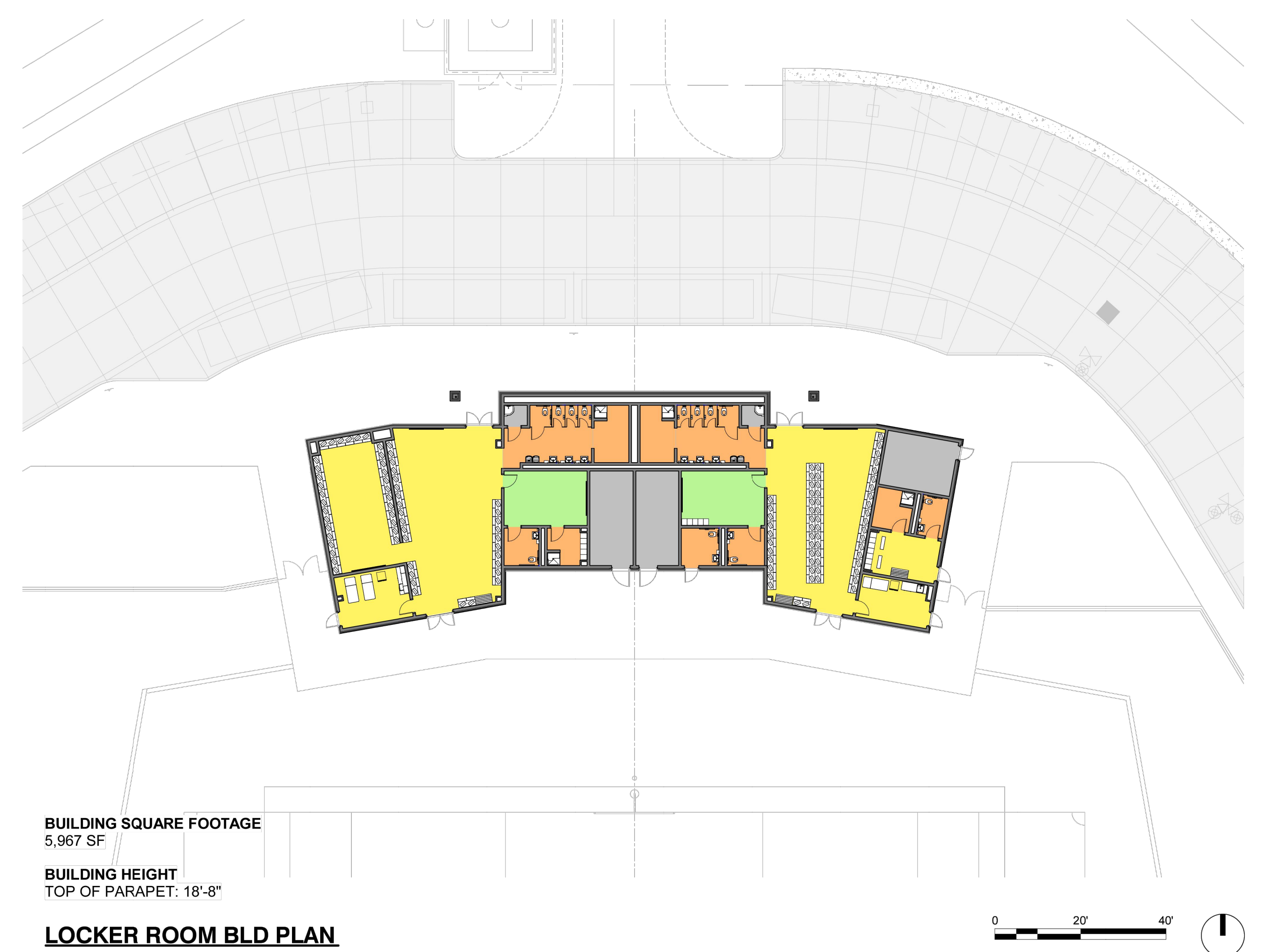
09/08/2023

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STEPHENVILLE ISD STADIUM

GROSS PROJECT SQUARE FOOTAGE
31,432 SF

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Stephenville ISD Stadium
Honeybees & Yellow Jackets



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Stephenville ISD
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Stephenville ISD Stadium

Honeybees & Yellowjackets

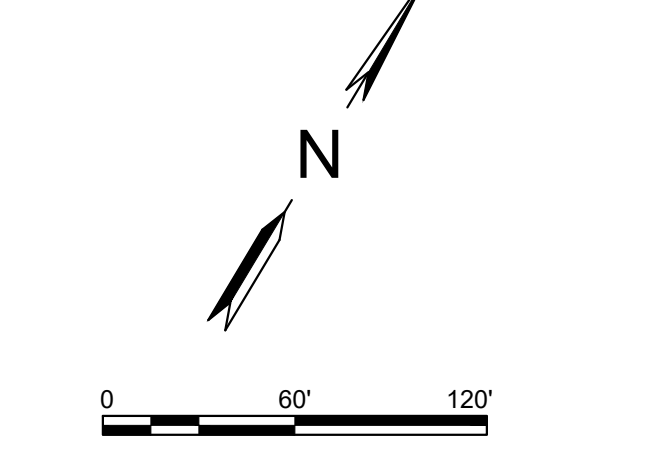


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N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

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Development Site Plan

CS101

PARKING COUNTS

HOME SIDE SEATS:	5,500
VISITOR SIDE SEATS:	2,000
BAND SEATS:	200
TOTAL SEATS:	7,700
PARKING:	
REQUIRED: 7,700 / 4 = 1925	4:1
PHASE 1:	
ONSITE PAVED:	1,218
JUNIOR HIGH OFFSITE:	468
PHASE 1 TOTAL:	1,686 (4.56:1)
PHASE 2:	
ONSITE PAVED	239
NORTH OF DRAINAGE CHANNEL:	239
PHASE 2 TOTAL:	239
TOTAL PARKING PROVIDED:	1,925 (4:1)

CODE DEVIATIONS

- USE OF JUNIOR HIGH OFFSITE PARKING (468 SPACES), TWO SIGNALIZED PEDESTRIAN CROSSINGS WILL BE PROVIDED ACROSS WEST FREY STREET.
- PHASE TWO PAVED PARKING LOT (239 SPACES) SHALL BE CONSTRUCTED AT FUTURE TIME WHEN STADIUM DEMAND REACHES FULL CAPACITY.
- TREES TO BE PLACED OUTSIDE OF PARKING AREAS INSTEAD OF EVERY 12 PARKING SPACES PER LANDSCAPE ORDINANCE. REQUIRED SITE TREE COUNTS WILL BE PROVIDED OUTSIDE OF PARKING AREAS, PROPOSED TREE QUANTITY WILL BE CONTINGENT UPON THE QUANTITY OF EXISTING TREES KEPT (TREE CREDITS). TREE SURVEY WILL BE PROVIDED.
- BUILDING HEIGHTS:
PRESS BOX: 74'-9"
HOME SIDE STAIR TOWERS: 82'-1"
STREET LIGHTING NOT PROVIDED DUE TO LIGHTING ALREADY EXISTING ALONG STREET.

KEY NOTES

- AS INDICATED BY: (C)
- BUS PARKING
 - DUAL USE BUS/AUTO PARKING
 - PAVED PARKING LOT - 9.5' X 18' STANDARD PARKING STALL SIZE
 - ADA PARKING STALLS
 - NEW ENTRY/EXIT DRIVE
 - SIGNALIZED PEDESTRIAN CROSSING
 - DETENTION POND
 - HOME DROP-OFF ZONE
 - PUBLISHED FEMA FLOODWAY AND FLOODPLAIN
 - MEDIAN IMPROVEMENTS
 - POTENTIAL WATER OF THE UNITED STATES, NO LETTER OF DETERMINATION FROM USACE
 - STADIUM LIGHTS

GENERAL NOTES

- UNLESS SPECIFIED OTHERWISE, ALL DEVELOPMENT TO BE DONE IN PHASE 1.
- ALL BUILDING HEIGHTS ARE GIVEN FROM CONCOURSE/FIELD LEVEL.
- ALL PARKING AREAS TO BE PAVED WITH CONCRETE.
- PHASE TWO DEVELOPMENT WILL BEGIN WHEN THE AVERAGE TICKET SALES OF THE SEASON ARE GREATER THAN OR EQUAL TO 5,395, OR WHEN THE AVERAGE OF 3 CONSECUTIVE YEARS HIGHEST TICKET SALES EXCEEDS 6,407.

LEGEND

- PROPERTY LINE
- 8" TALL ORNAMENTAL STEEL STADIUM FENCING - SEE LANDSCAPE PLANS
- EXISTING GUARD RAIL
- PROPOSED RAILING - SEE LANDSCAPE PLANS
- SETBACK LINE
- FIRE LANE MARKING
- FUTURE PHASE 2 DEVELOPMENT
- PROPOSED 25' LIGHT POLE + 2.5' BASE
- STANDARD DUTY CONCRETE PAVEMENT - 6"
- HEAVY DUTY CONCRETE PAVEMENT - 8"
- SIDEWALK - 4"

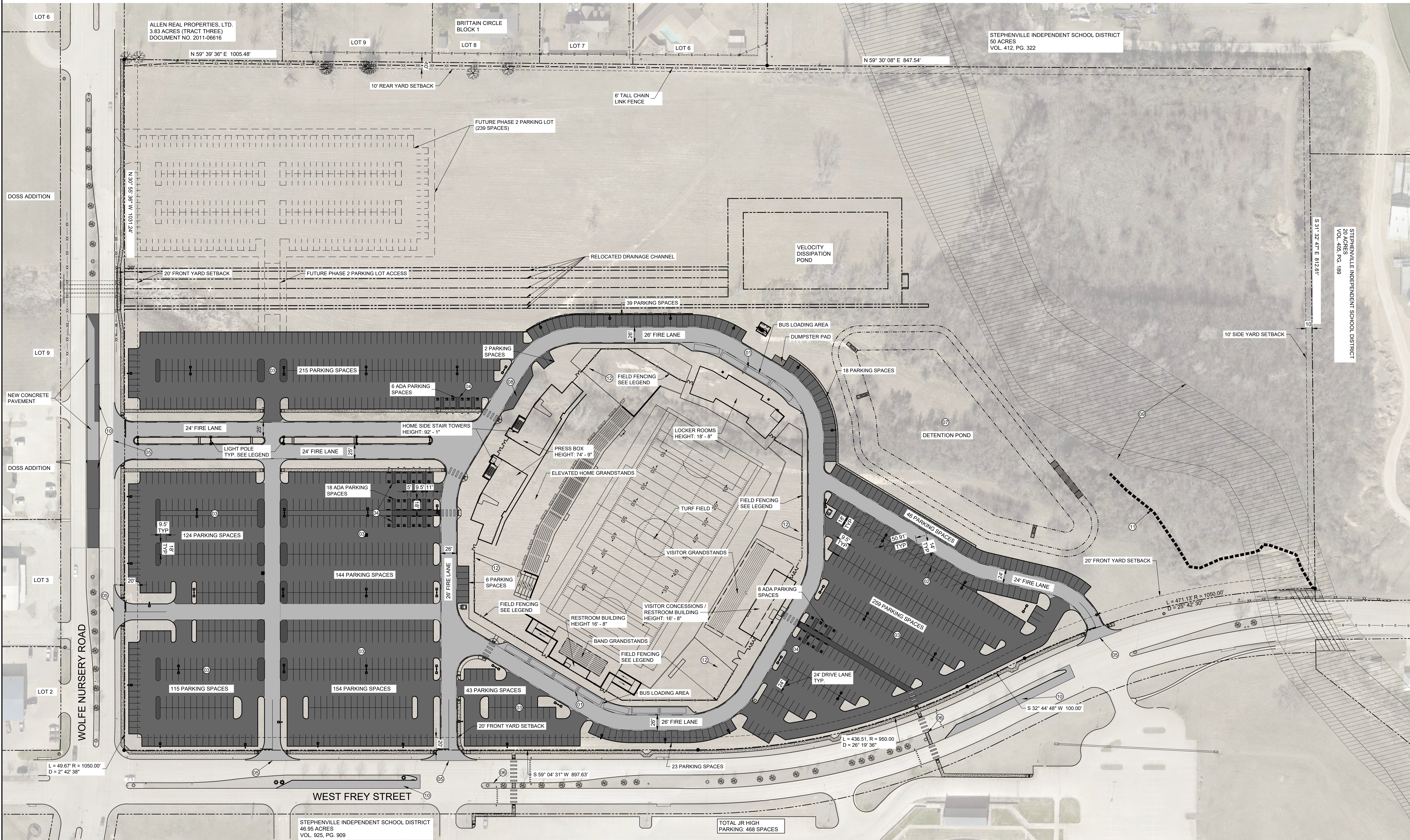
CONTACTS & PROPERTY INFORMATION

OWNER:
STEPHENVILLE ISD
(254) 966-7990

ENGINEER:
PARKHILL
BEN SANCHEZ
(972) 987-1670
bsanchez@parkhill.com

SURVEYOR:
PRICE SURVEYING
MATTHEW PRICE
(254) 965-5489
matthew@pricesurveying.com

PROPERTY INFORMATION:
S3260 CITY ADDITION, BLOCK 156, LOT 7 (PT OF)
42.93 AC.
CITY OF STEPHENVILLE



A1 DEVELOPMENT PLAN
1" = 60'

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Stephenville ISD Stadium
Honeybees & Yellowjackets



CROSSLAND - Parkhill

CLIENT

Stephenville ISD

N Frey & N Wolfe Nursery Rd.
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Site Details
CS501



PEDESTRIAN CROSSING SYSTEMS

ELTEC's Pedestrian Crossing System is designed to alert approaching motorists that a crosswalk is occupied.

ELTEC's Pedestrian Crossing System may be integrated for AC or solar power. All ELTEC solar powered systems never dim any signal during the day, maintaining the beacon's effectiveness and the warning system's integrity.

APPLICATIONS

- Jogging/Running Paths
- Hiking Trails
- Horse Trails
- Cyclist Crossings
- Golf Cart Crossings
- Middle-of-the-Block Crosswalks



Rural Bike and Pedestrian Crossing

ELTEC manufactures three mid-block pedestrian crossings:

- Standard: single or dual round amber signals per pole
- RRFB: Rectangular Rapid Flashing Beacon
- HAWK (hybrid): High Intensity Activated CrossWalk



Standard and Hawk Mid-block Pedestrian Crossings

Every ELTEC pedestrian crossing system is designed and manufactured to individual project specifications. Each solar powered system takes into consideration geographic location and system loads. On solar powered systems, ELTEC does not agree with the "one size fits all" philosophy.

Activation of the flashing signal(s) is initiated with a pedestrian push button, motion sensor, or camera. Our wireless radio communication eliminates the need to run conduit for hard-wiring. Once activated, the signals remain ON for an adjustable pre-set time period as determined by the signal technician.

ELTEC's wireless system can turn ON multiple signals from one activation point including medians or advance warnings. Each programmable transceiver is linked to one or more poles creating an isolated network with no 'cross talk'.

All ELTEC systems meet the Federal Highway Administration's MUTCD (Manual on Uniform Traffic Control Devices) and ITE (Institute of Transportation Engineers) standards.



RRFB with Pedestrian Verification Light

www.ELTECCORP.com

A typical system includes two or more poles with mounted beacon(s), RRFB light bar, or the HAWK crossing hybrid beacon face. Each pole supports a small cabinet housing the electronics with pre-assembled wiring for easy installation. If the unit is solar powered, a charge controller and battery are included, and a solar panel with a rack is mounted on each pole.

STANDARD FEATURES

- AC or Solar Powered
- Activation Options: pedestrian push button, motion sensor, camera
- System Flexibility: tailored to meet project requirements
- Programmable Timed Crossing
- No Trenching or Boring Cable with Wireless System
- 8" or 12" Amber Signal Heads: 1 or 2 per pole
- RRFB Light Bar
- Hybrid Beacon with Mikros EIC DC Controller
- Optional Night Dimming
- AC: optional battery back-up
- Meets MUTCD and ITE Standards



Mid-block Crossing with Island

When AC power is not available or practical, solar power is the solution. ELTEC's solar powered pedestrian crossings are sized for geographic location including average weather conditions, number of crossings (activation time), and electrical load for optimal effectiveness guaranteeing sufficient power for the flashing beacons throughout the year. As specified by the FHWA, "It is not acceptable to dim signal indications or flashing beacons during daytime conditions...."

ADDITIONAL FEATURES for SOLAR POWERED SYSTEMS

- No Electrical Bills: self-contained
- No Power Interruption
- Electrical Contractors Not Required for Installation
- Solar Panel Mounting Rack Options: side or top-of-pole
- Self-Cleaning Solar Panels Warranted for 20 Years
- No Maintenance AGM Sealed Batteries
- Controller with Display Showing Battery Voltage, Solar Amps, and Load Amps
- Solid State Flasher (FS-2 or FS-2B) or Mikros EIC for Hybrid Flash Pattern
- Sized by Computer Program: ensures power generated exceeds load requirements
- 12 Month Solar Sizing Report Supplied (no charge) with Each Project
- Flash Rate is Constant at Selected Rate: does not vary as a function of battery voltage



Wrap-around RRFB Light Bar with Required Signage

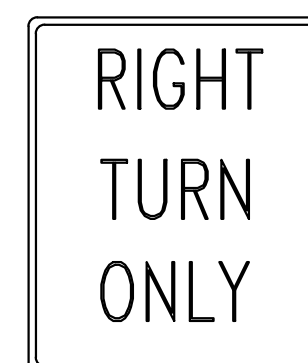
For more information or a quotation, contact ELTEC or your local ELTEC Dealer

ELECTROTECHNICS CORPORATION
1310 Commerce Street, Marshall, TX 75672 • 800-227-1734 903-938-1901 Fax 903-938-1977
sales@elteccorp.com

Rev. 0214



R1-1
30"X30"



24"X30"

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Honeybees & Yellowjackets

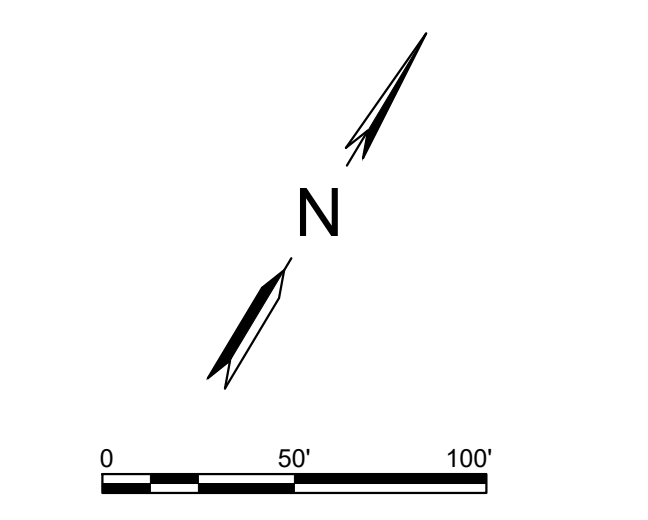


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CLIENT
Stephenville ISD
N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

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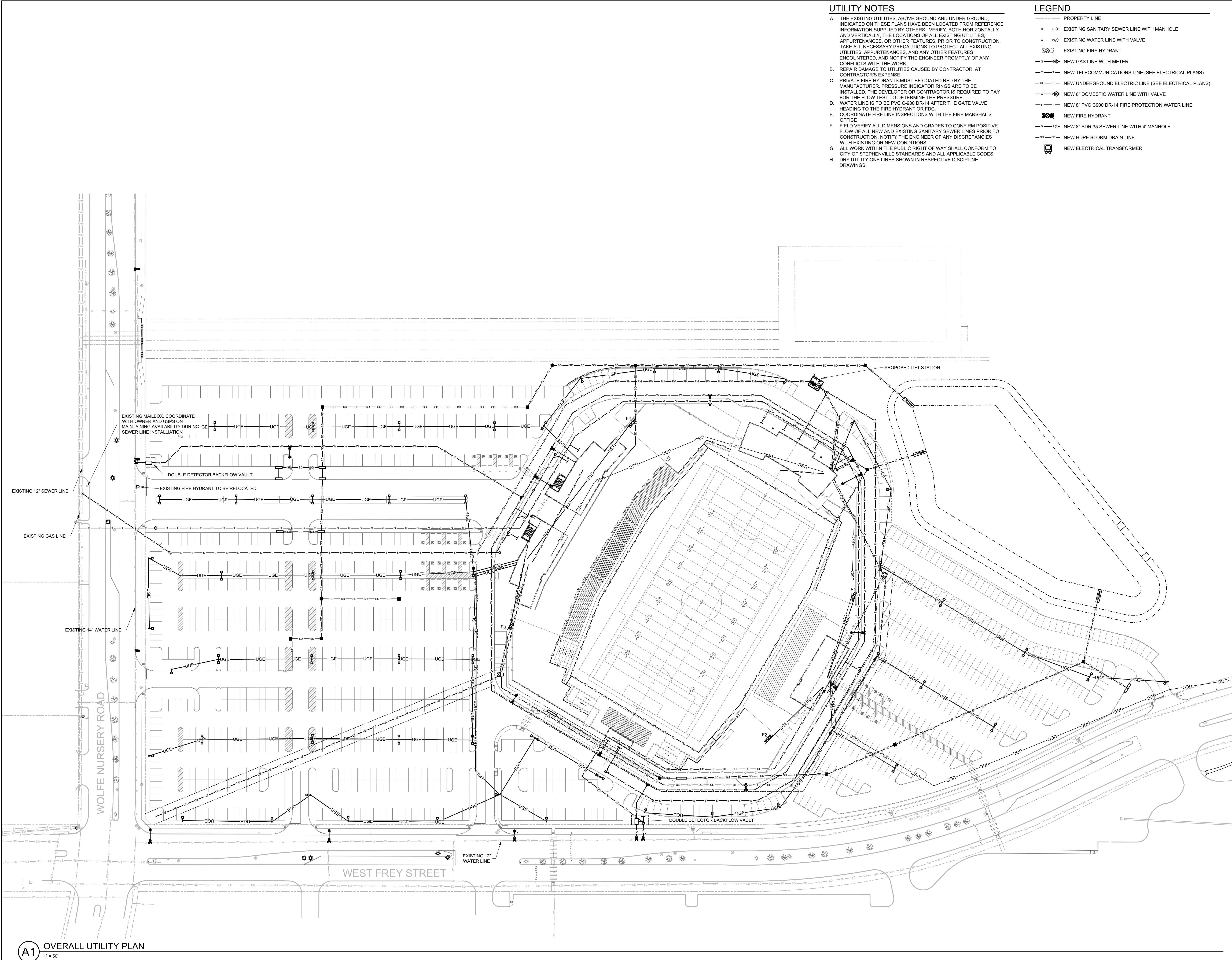
Utility Plan
CU101

UTILITY NOTES

- A. THE EXISTING UTILITIES, ABOVE GROUND AND UNDER GROUND, INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY OTHERS. VERIFY, BOTH HORIZONTALLY AND VERTICALLY, THE LOCATIONS OF ALL EXISTING UTILITIES, APPURTENANCES, OR OTHER FEATURES, PRIOR TO CONSTRUCTION. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES, APPURTENANCES, AND ANY OTHER FEATURES ENCOUNTERED, AND NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICTS WITH THE WORK.
- B. REPAIR DAMAGE TO UTILITIES CAUSED BY CONTRACTOR, AT CONTRACTOR'S EXPENSE.
- C. PRIVATE FIRE HYDRANTS MUST BE COATED RED BY THE MANUFACTURER. PRESSURE INDICATOR RINGS ARE TO BE INSTALLED. THE DEVELOPER OR CONTRACTOR IS REQUIRED TO PAY FOR THE FLOW TEST TO DETERMINE THE PRESSURE.
- D. WATER LINE IS TO BE PVC C-900 DR-14 AFTER THE GATE VALVE HEADING TO THE FIRE HYDRANT OR FDC.
- E. COORDINATE FIRE LINE INSPECTIONS WITH THE FIRE MARSHAL'S OFFICE.
- F. FIELD VERIFY ALL DIMENSIONS AND GRADES TO CONFIRM POSITIVE FLOW OF ALL NEW AND EXISTING SANITARY SEWER LINES PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH EXISTING OR NEW CONDITIONS.
- G. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO CITY OF STEPHENVILLE STANDARDS AND ALL APPLICABLE CODES.
- H. DRY UTILITY ONE LINES SHOWN IN RESPECTIVE DISCIPLINE DRAWINGS.

LEGEND

- PROPERTY LINE
- S—S— EXISTING SANITARY SEWER LINE WITH MANHOLE
- W—W— EXISTING WATER LINE WITH VALVE
- ⊗ EXISTING FIRE HYDRANT
- G—G— NEW GAS LINE WITH METER
- T—T— NEW TELECOMMUNICATIONS LINE (SEE ELECTRICAL PLANS)
- UE—UE— NEW UNDERGROUND ELECTRIC LINE (SEE ELECTRICAL PLANS)
- W—W— NEW 6" DOMESTIC WATER LINE WITH VALVE
- F—F— NEW 8" PVC C900 DR-14 FIRE PROTECTION WATER LINE
- ⊗ NEW FIRE HYDRANT
- S—S— NEW 8" SDR 35 SEWER LINE WITH 4" MANHOLE
- SD—SD— NEW HDPE STORM DRAIN LINE
- ⊞ NEW ELECTRICAL TRANSFORMER

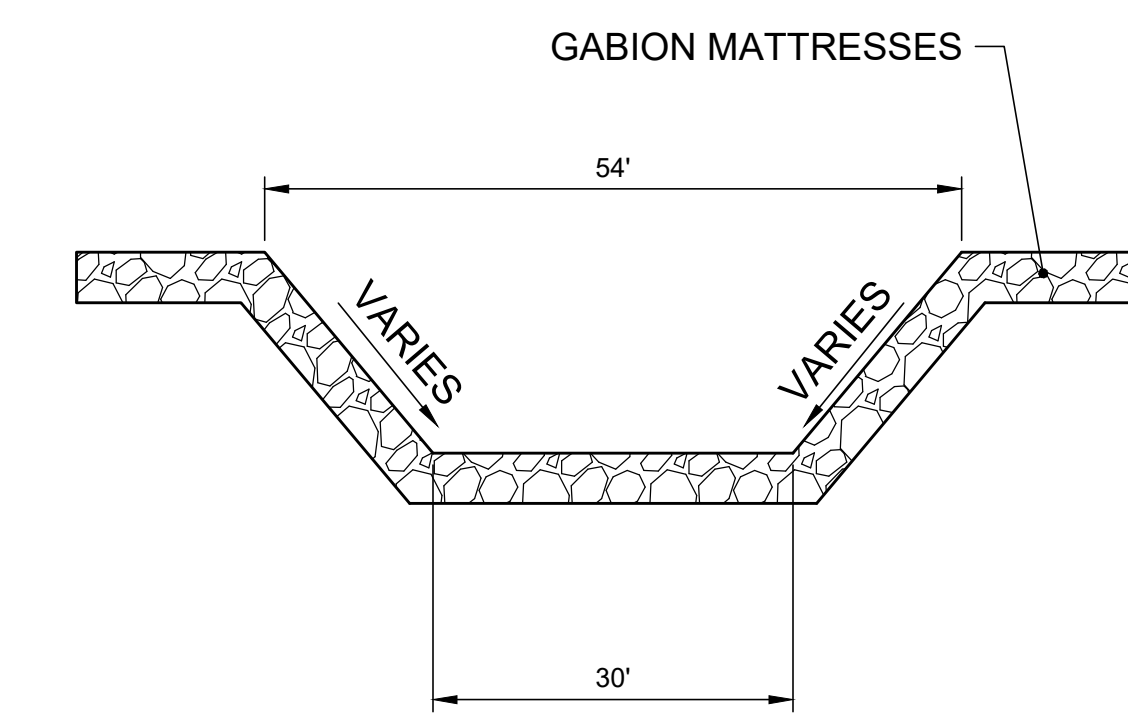
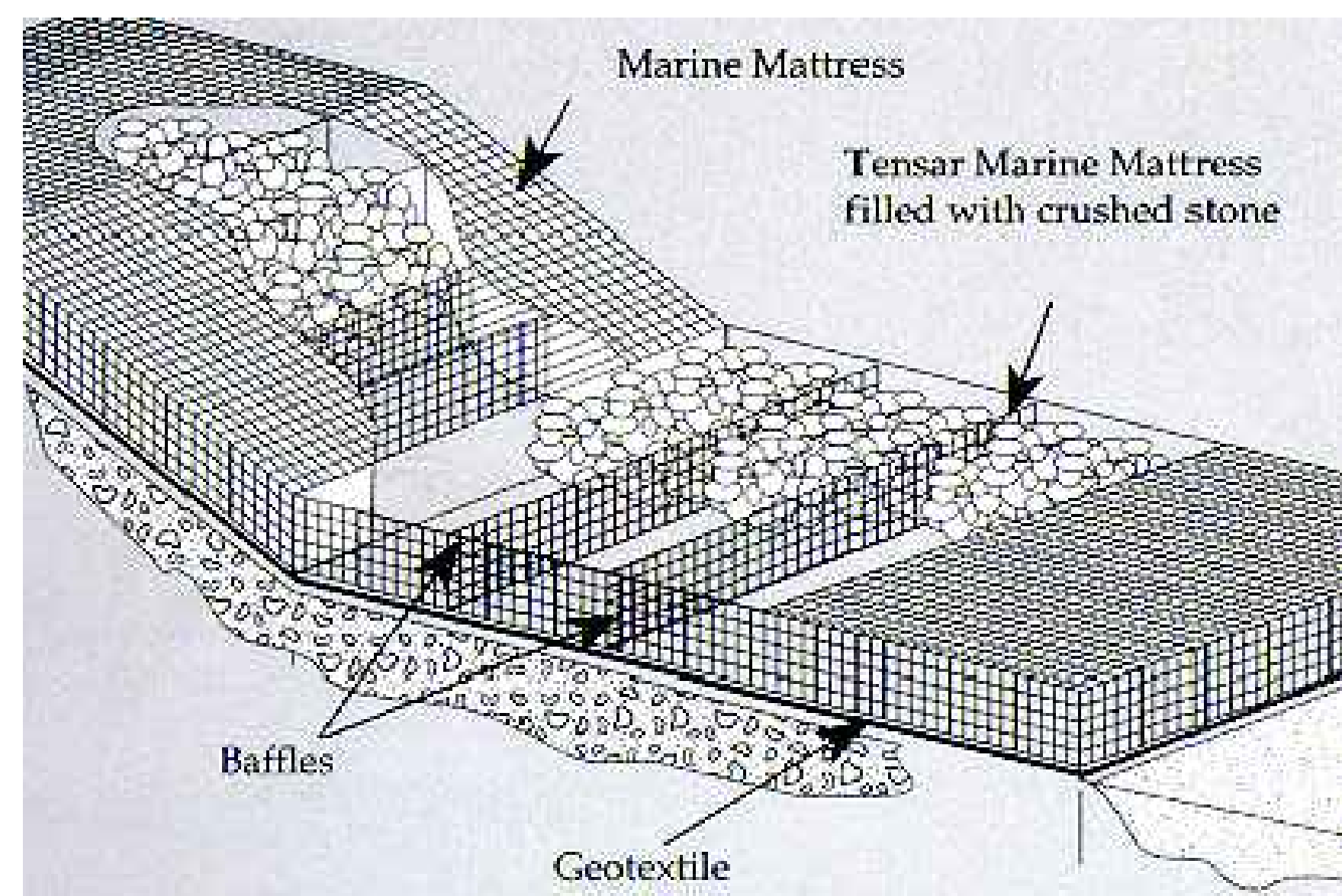


A1 OVERALL UTILITY PLAN
1" = 50'

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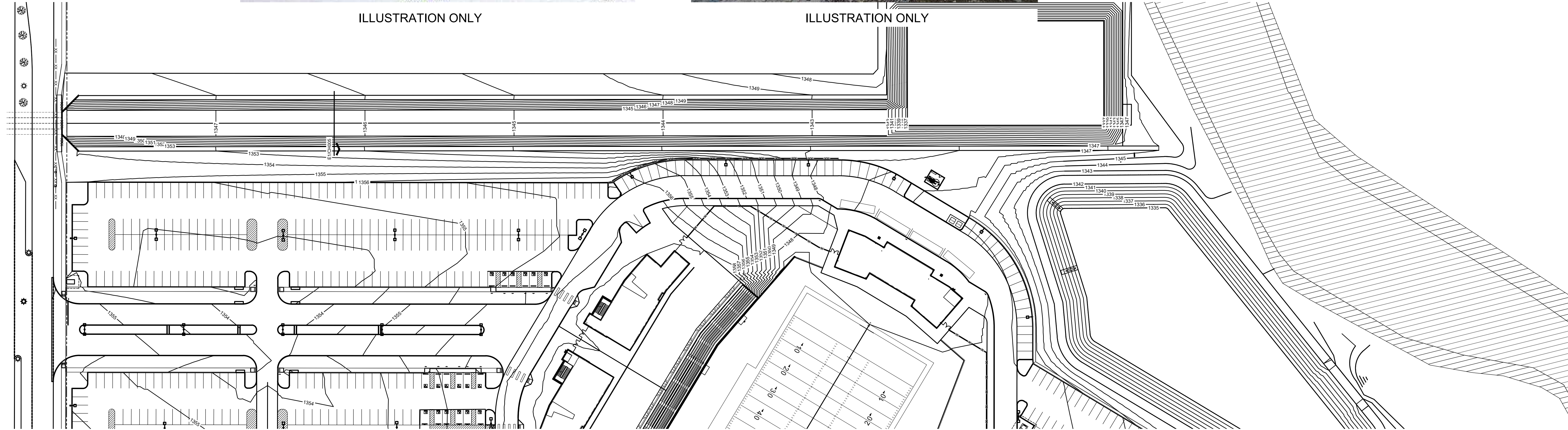
Parkhill.com



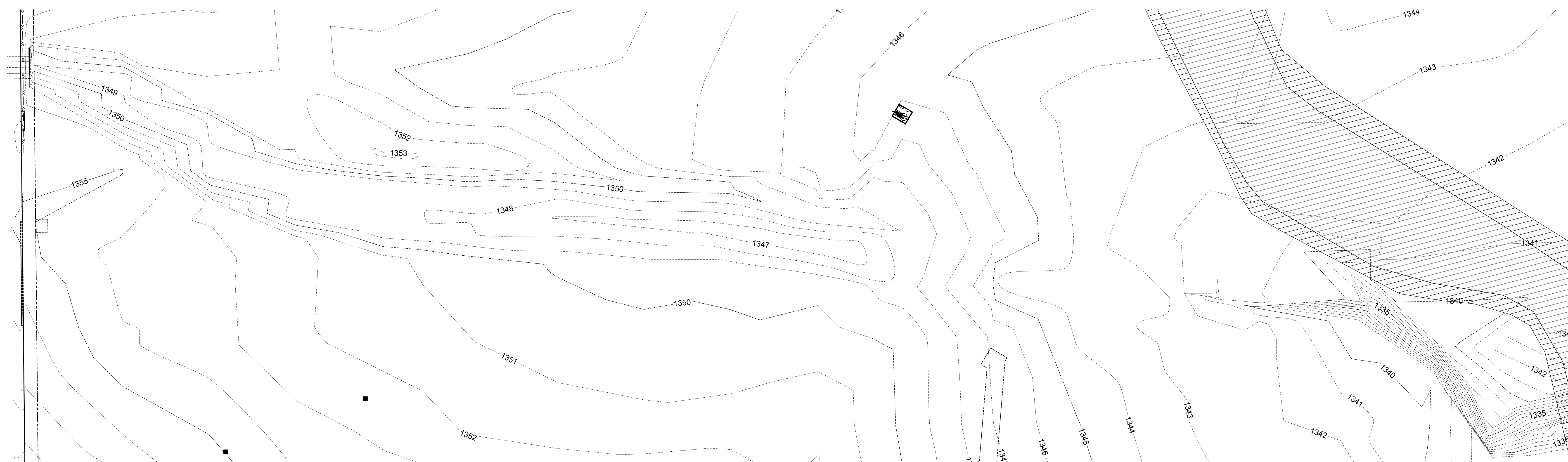
E6 CHANNEL X-SECTION DETAIL
NOT TO SCALE

ILLUSTRATION ONLY

ILLUSTRATION ONLY



C1 POST-DEVELOPMENT CHANNEL
1" = 50'



A1 PRE-DEVELOPMENT CHANNEL
1" = 50'

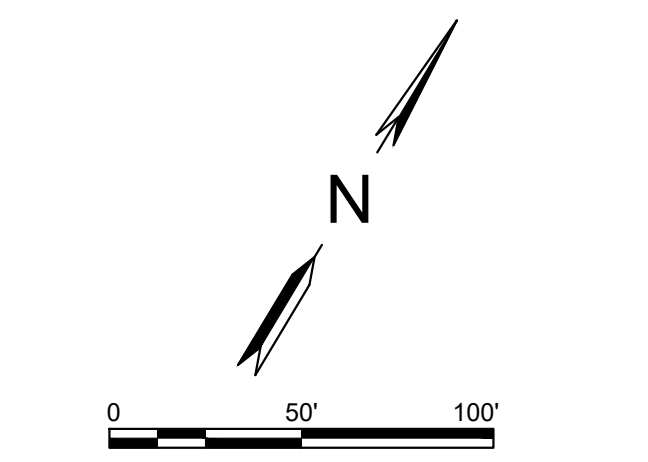
Stephenville ISD Stadium
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Stephenville, TX 76401

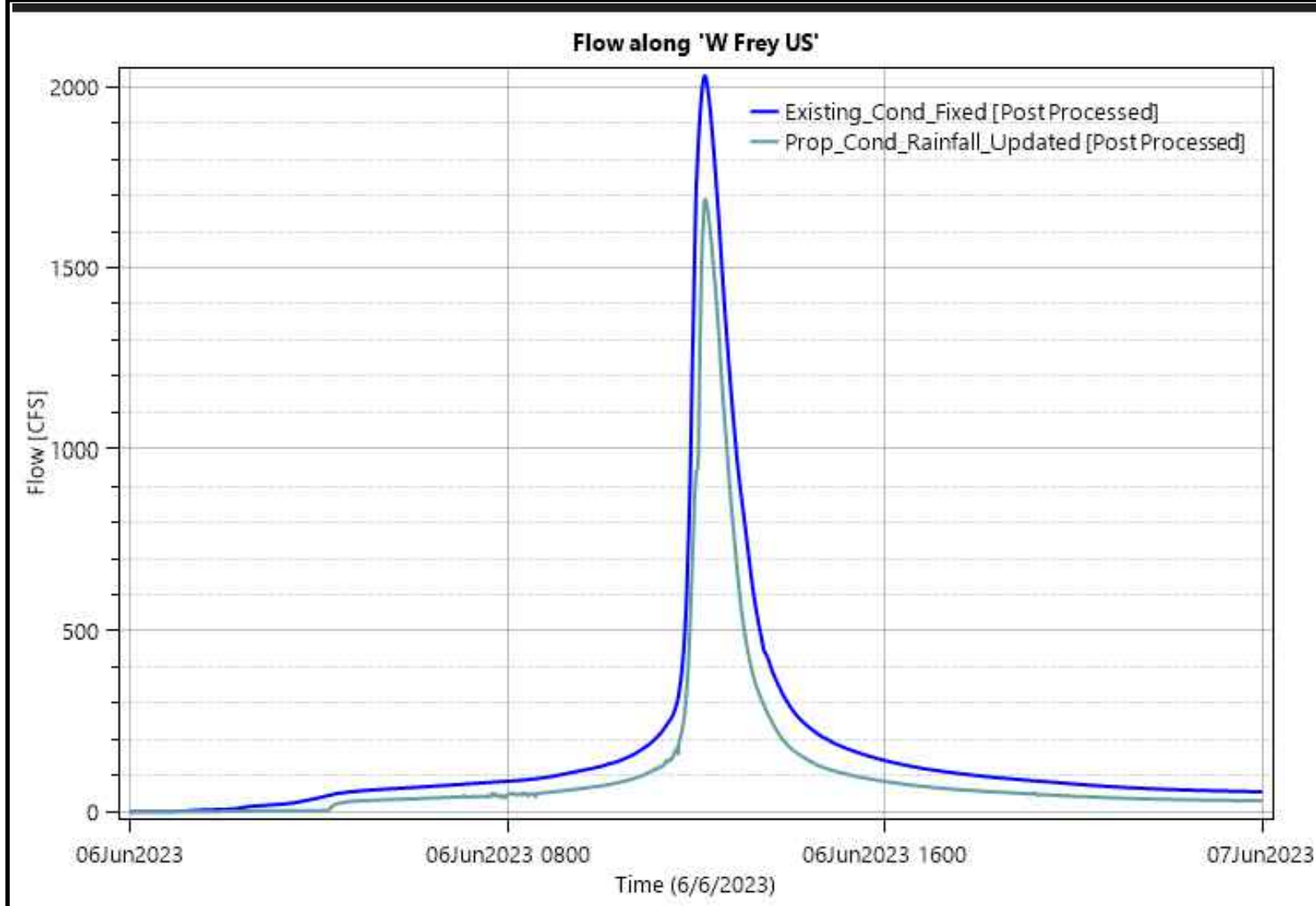
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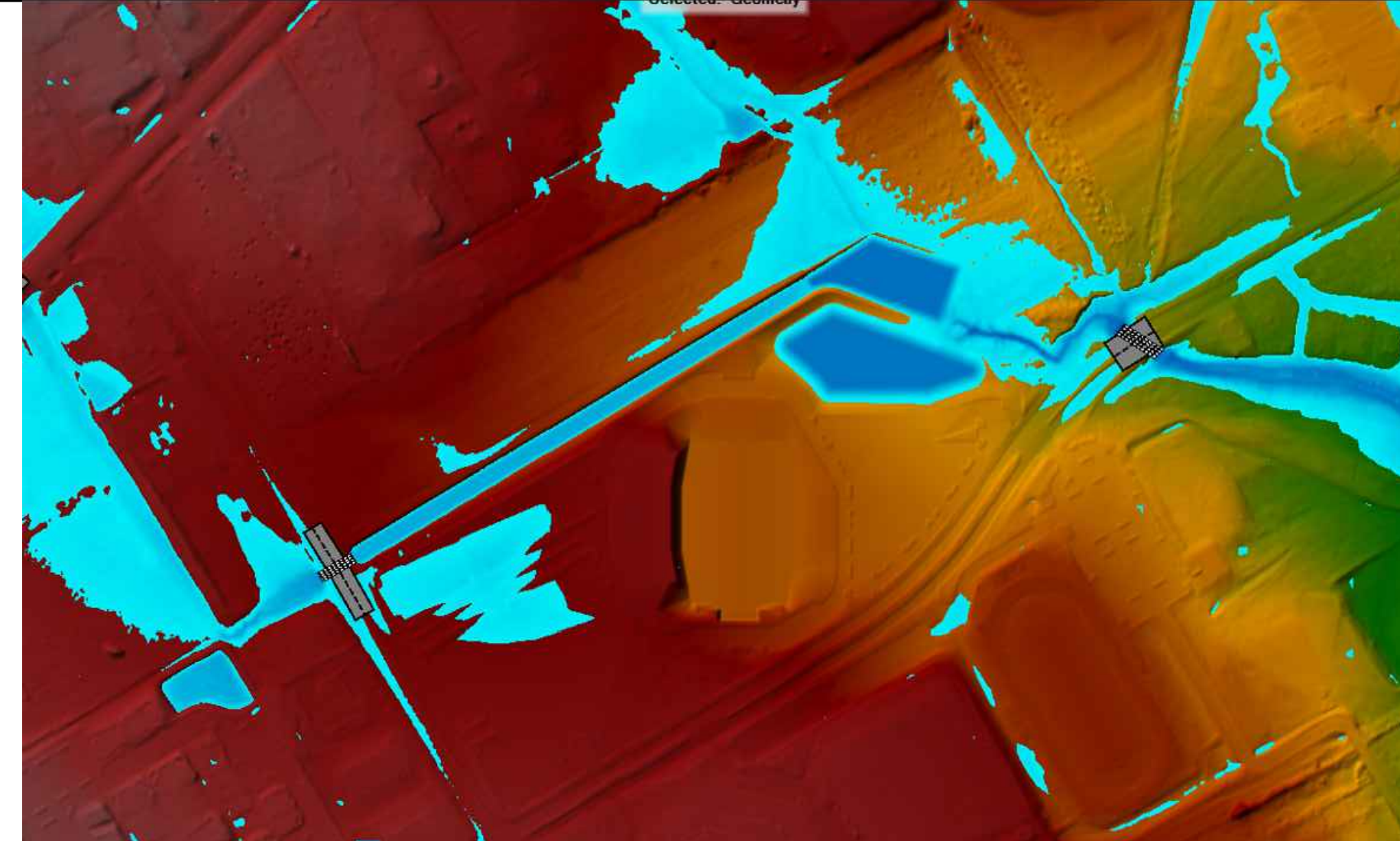
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Pre And Post Development Channel
CH001

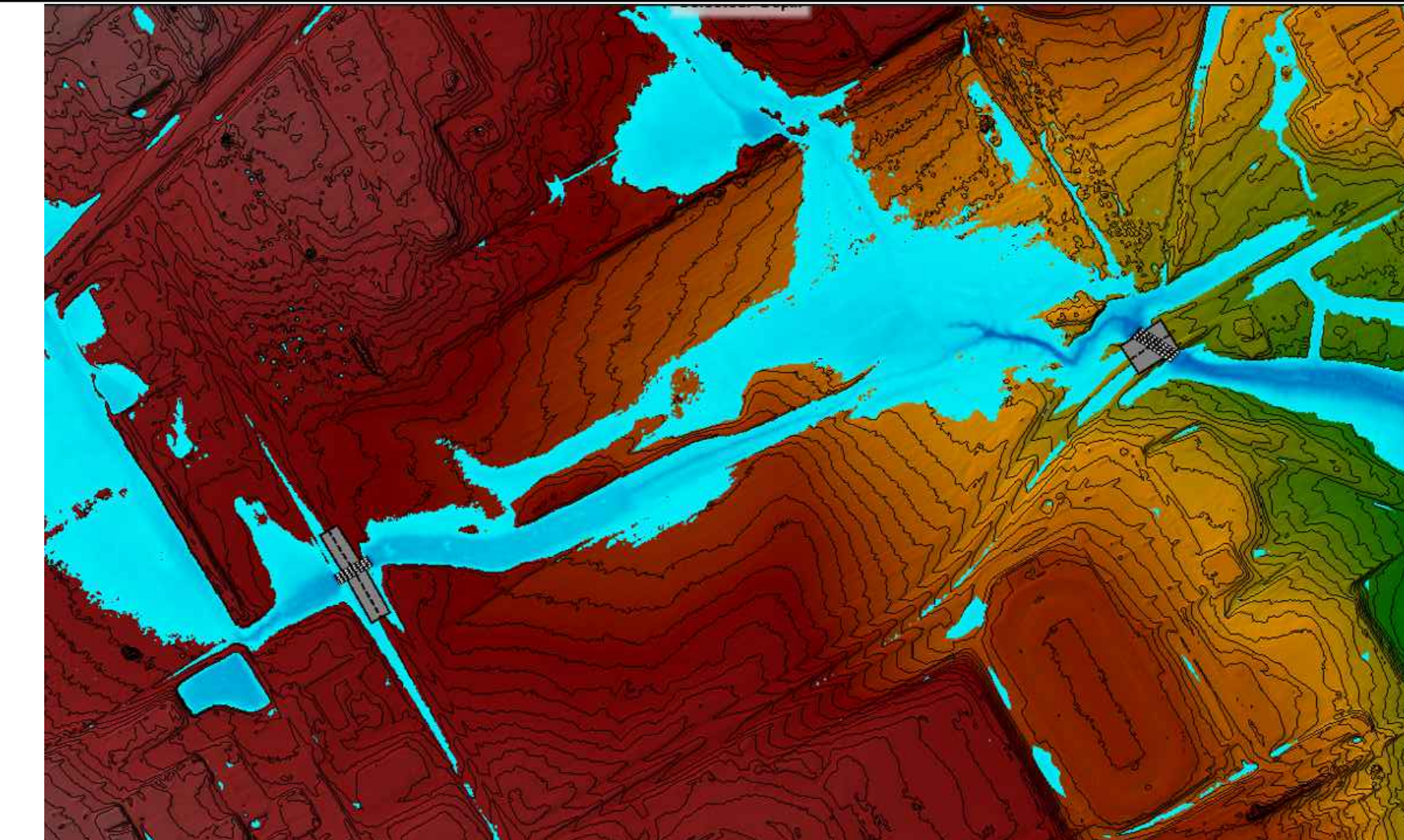
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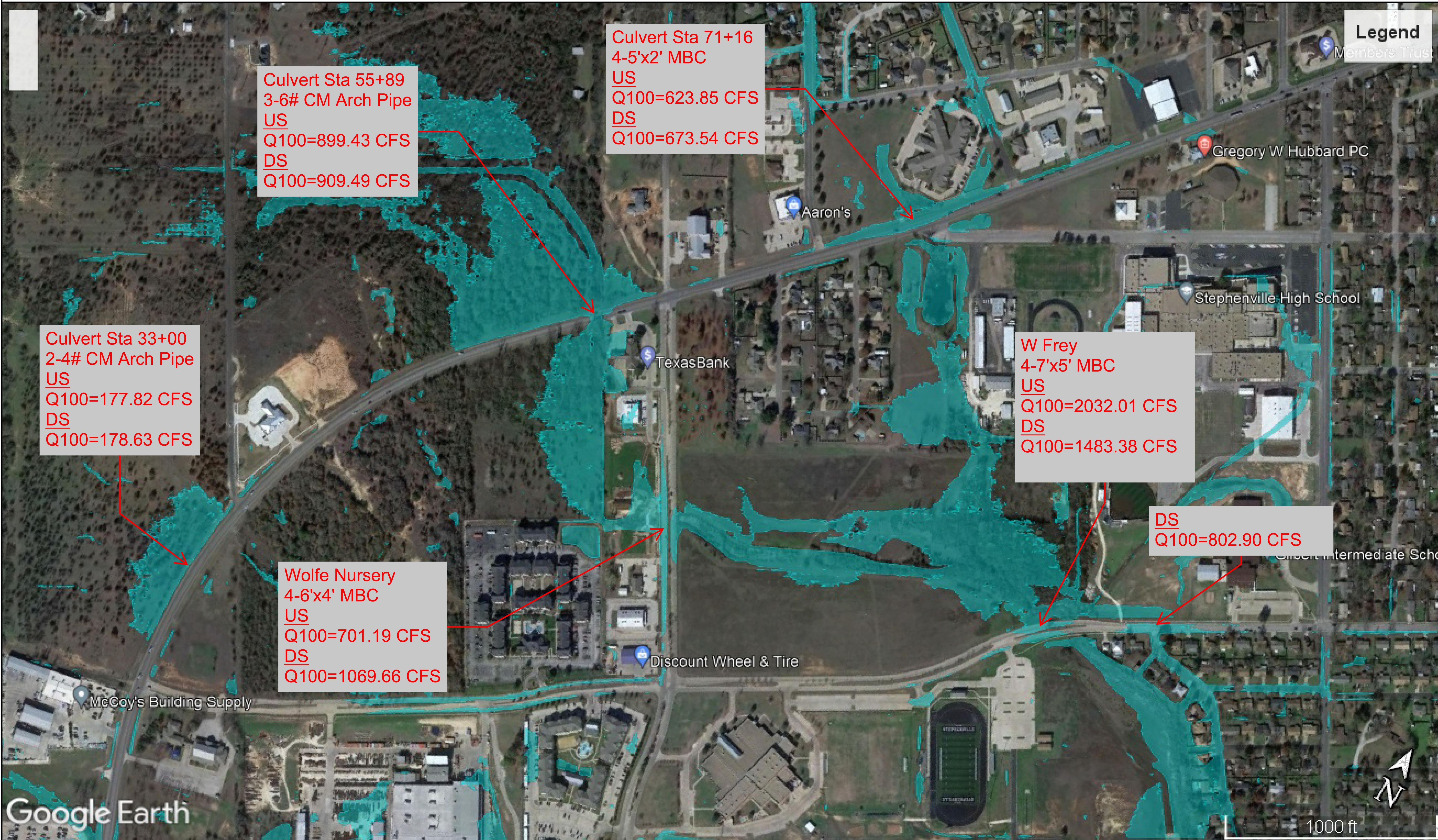
**FLOW COMPARISON
100 YR**



**DEPTH OF FLOODING - PROPOSED
CONDITION 1FT DEPTH**



**DEPTH OF FLOODING - EXISTING
CONDITION 1FT DEPTH**

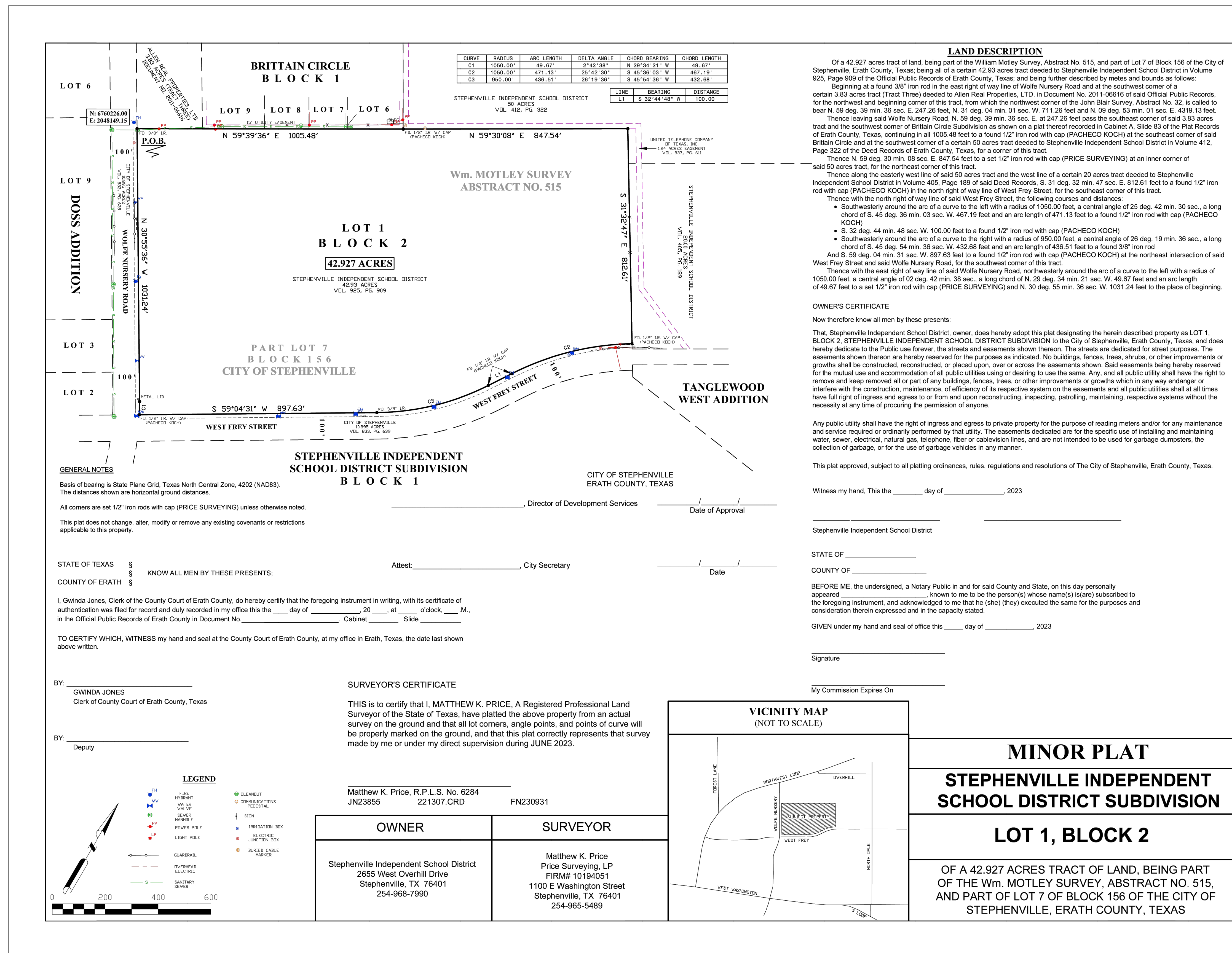


A:\2022\40108.22\03_DSG\060_CIVIL\06_ENTITLEMENTS_P\0601_DEVELOPMENT_PLAN\060_SHEETS\CH002-40108.DWG, 9/15/2023 7:47 AM, lpena



#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

THE PLAT INCLUDED ON THIS SHEET IS INCLUDED FOR REFERENCE PURPOSES ONLY. THE SEALING PROFESSIONAL FOR THIS CONSTRUCTION DRAWING SET TAKES NO OWNERSHIP OF THIS SHEET OR THE INFORMATION PROVIDED THEREON, BUT DOES AUTHORIZE IT TO BE PART OF THIS CONSTRUCTION DRAWING SET.



A:\2022\40108\22103_DSGN01_DWG\650_CVAL05_ENTITLEMENTS_P\PP001_DEVELOPMENT_PLAN\00_SHEETS\C-103-40108-PLAT.DWG, 8/15/2023 7:48 AM, jones

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Stephenville, TX 76401

PROJECT NO.
40108.22

KEY PLAN

D	E	F
A	B	C

#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Overall Tree Preservation And Protection Plan
LT100

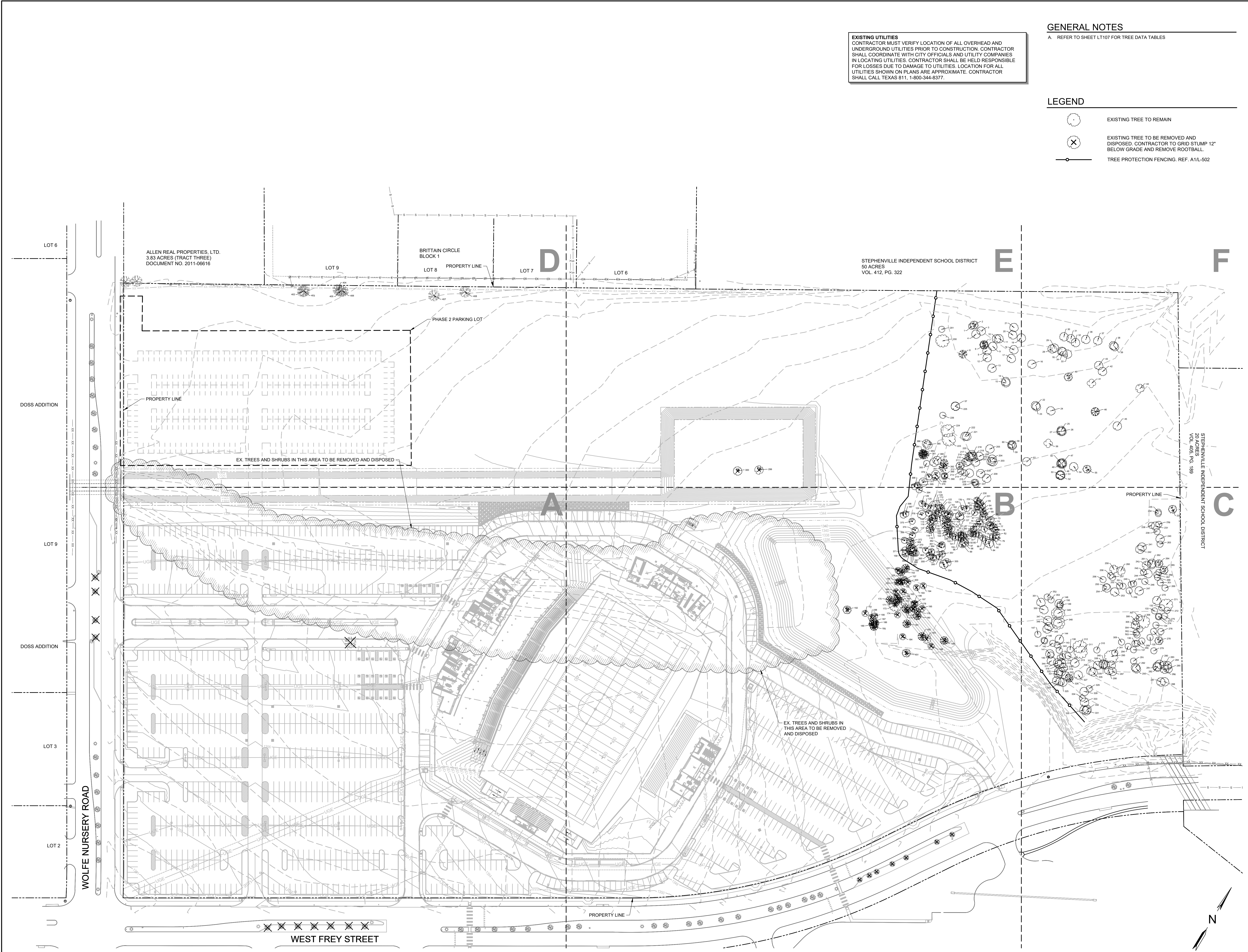
EXISTING UTILITIES
CONTRACTOR MUST VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH CITY OFFICIALS AND UTILITY COMPANIES IN LOCATING UTILITIES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR LOSSES DUE TO DAMAGE TO UTILITIES. LOCATION FOR ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL TEXAS 811, 1-800-344-8377.

GENERAL NOTES

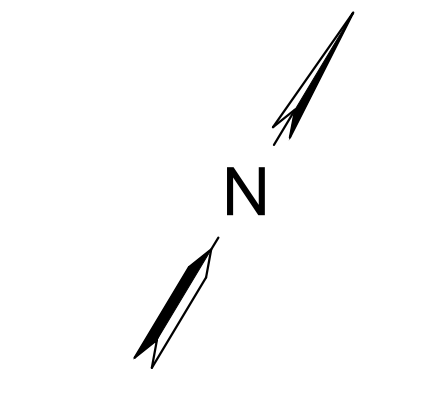
A. REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED AND DISPOSED. CONTRACTOR TO GRID STUMP 12" BELOW GRADE AND REMOVE ROOTBALL.
- TREE PROTECTION FENCING. REF. A1/L-502



A1 OVERALL TREE PRESERVATION AND PROTECTION PLAN
1" = 60'



A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEETS\UTILITY PACKAGE\LT100-40108.DWG, 9/14/2023 12:33 PM, smooey

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PROJECT NO.
40108.22
KEY PLAN

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A	B	C

#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Tree Preservation And Protection Plan 'Area A'
LT101

MATCH LINE (SEE SHEET LT104)

A

KEY NOTES

1. TREE PROTECTION FENCING PER A4L-502

GENERAL NOTES

- A. REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

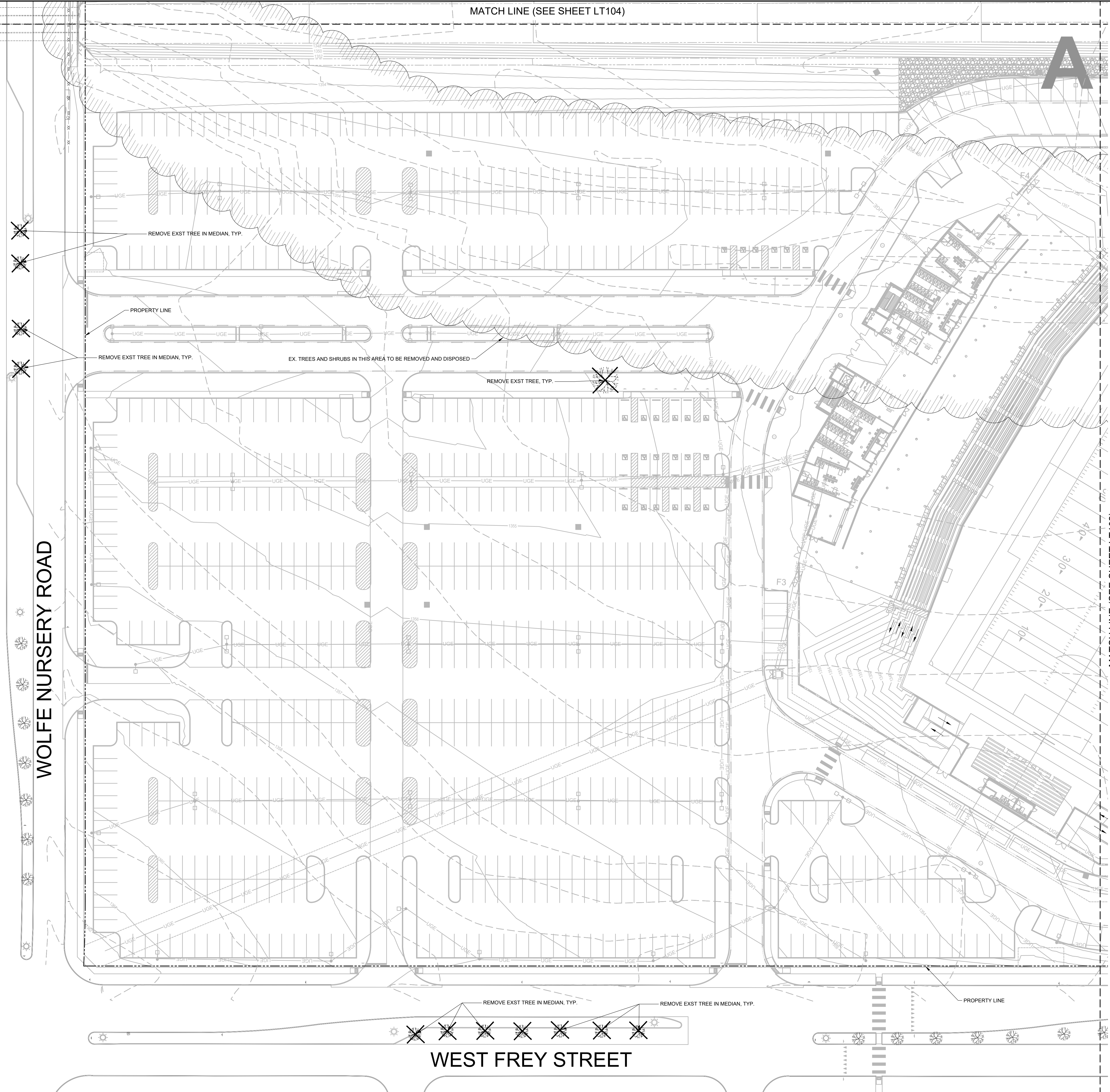
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED AND DISPOSED. CONTRACTOR TO GRID STUMP 12" BELOW GRADE AND REMOVE ROOTBALL.
- TREE PROTECTION FENCING. REF. A1L-502

EXISTING UTILITIES
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MATCH LINE (SEE SHEET LT102)

WOLFE NURSERY ROAD

WEST FREY STREET



A1 TREE PRESERVATION AND PROTECTION PLAN - AREA A
1" = 30'

A:\2022\40108.22\03_DS\G060_LAND\03_SHEETS\UTILITY PACKAGE\LT101-40108.DWG, 9/14/2023 12:34 PM, smooey

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PROJECT NO.
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1	08/25/2023	Development Plan Submittal

Tree Preservation And Protection Plan 'Area B'

LT102

MATCH LINE (SEE SHEET LT105)

B

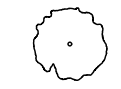

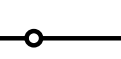
KEY NOTES

1. TREE PROTECTION FENCING PER A41L-502

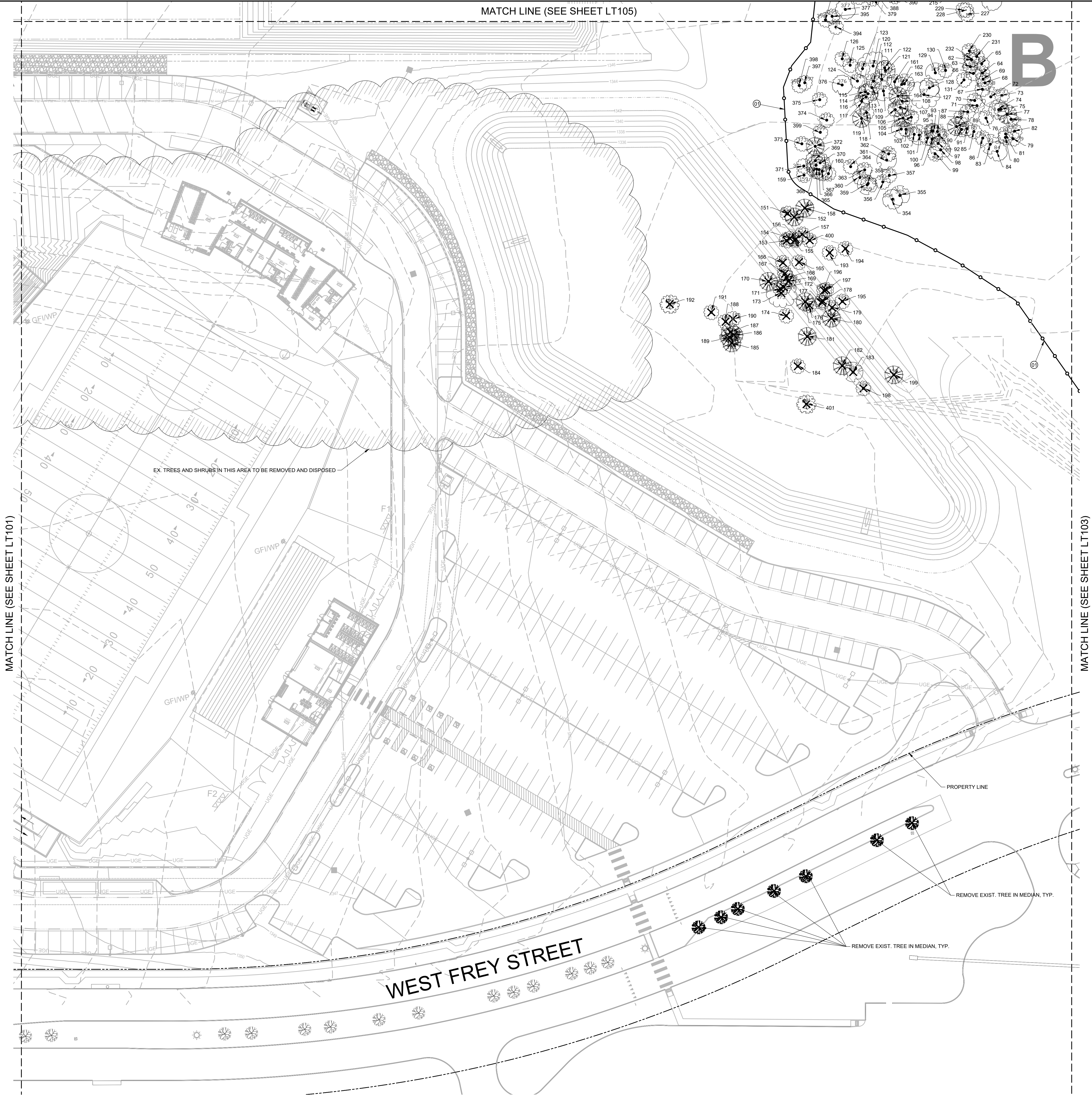
GENERAL NOTES

- A. REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED AND DISPOSED. CONTRACTOR TO GRID STUMP 12" BELOW GRADE AND REMOVE ROOTBALL.
-  TREE PROTECTION FENCING. REF. A11L-502

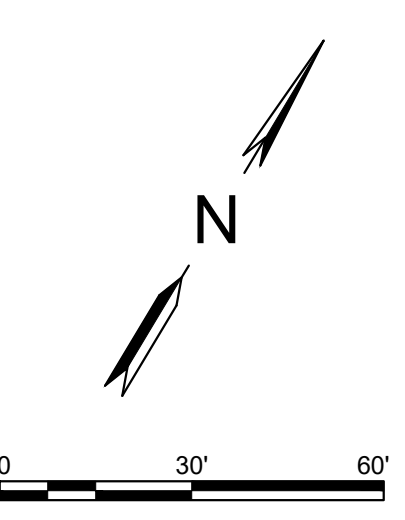
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MATCH LINE (SEE SHEET LT101)

MATCH LINE (SEE SHEET LT103)

A1 TREE PRESERVATION AND PROTECTION PLAN - AREA B
1" = 30'



A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LT102-40108.DWG, 9/14/2023 12:34 PM, smcody

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PROJECT NO.
40108.22

KEY PLAN

D	E	F
A	B	C

#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Tree Preservation And Protection Plan 'Area C'
LT103

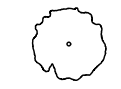

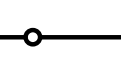
KEY NOTES

1. TREE PROTECTION FENCING PER A41L-502

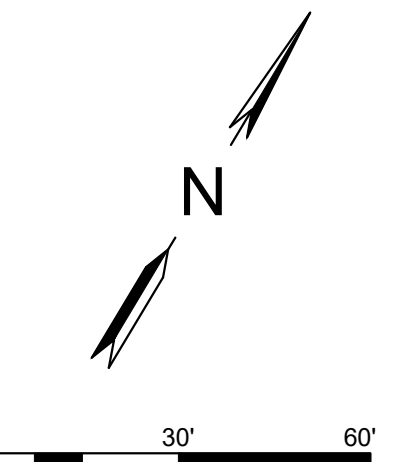
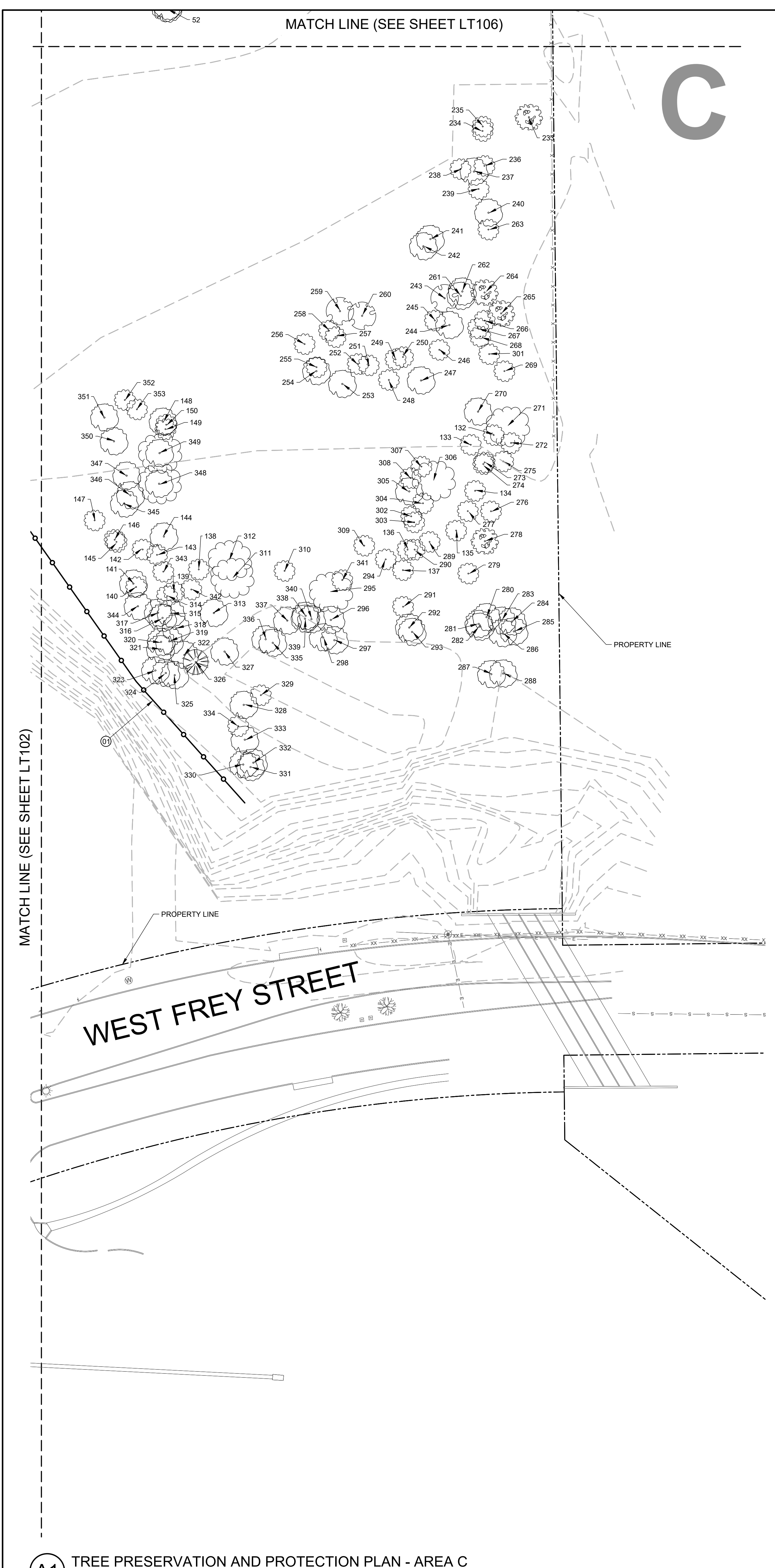
GENERAL NOTES

- A. REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED AND DISPOSED. CONTRACTOR TO GRID STUMP 12" BELOW GRADE AND REMOVE ROOTBALL.
-  TREE PROTECTION FENCING. REF. A11L-502

EXISTING UTILITIES
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A1 TREE PRESERVATION AND PROTECTION PLAN - AREA C
1" = 30'

A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEETS\UTILITY PACKAGE\LT103-40108.DWG, 9/14/2023 12:35 PM, smcody

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PROJECT NO.
40108.22

KEY PLAN

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A	B	C

#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
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1	08/25/2023	Development Plan Submittal

Tree Preservation And Protection Plan 'Area D'
LT104

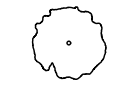

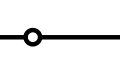
KEY NOTES

- TREE PROTECTION FENCING PER A41L-502

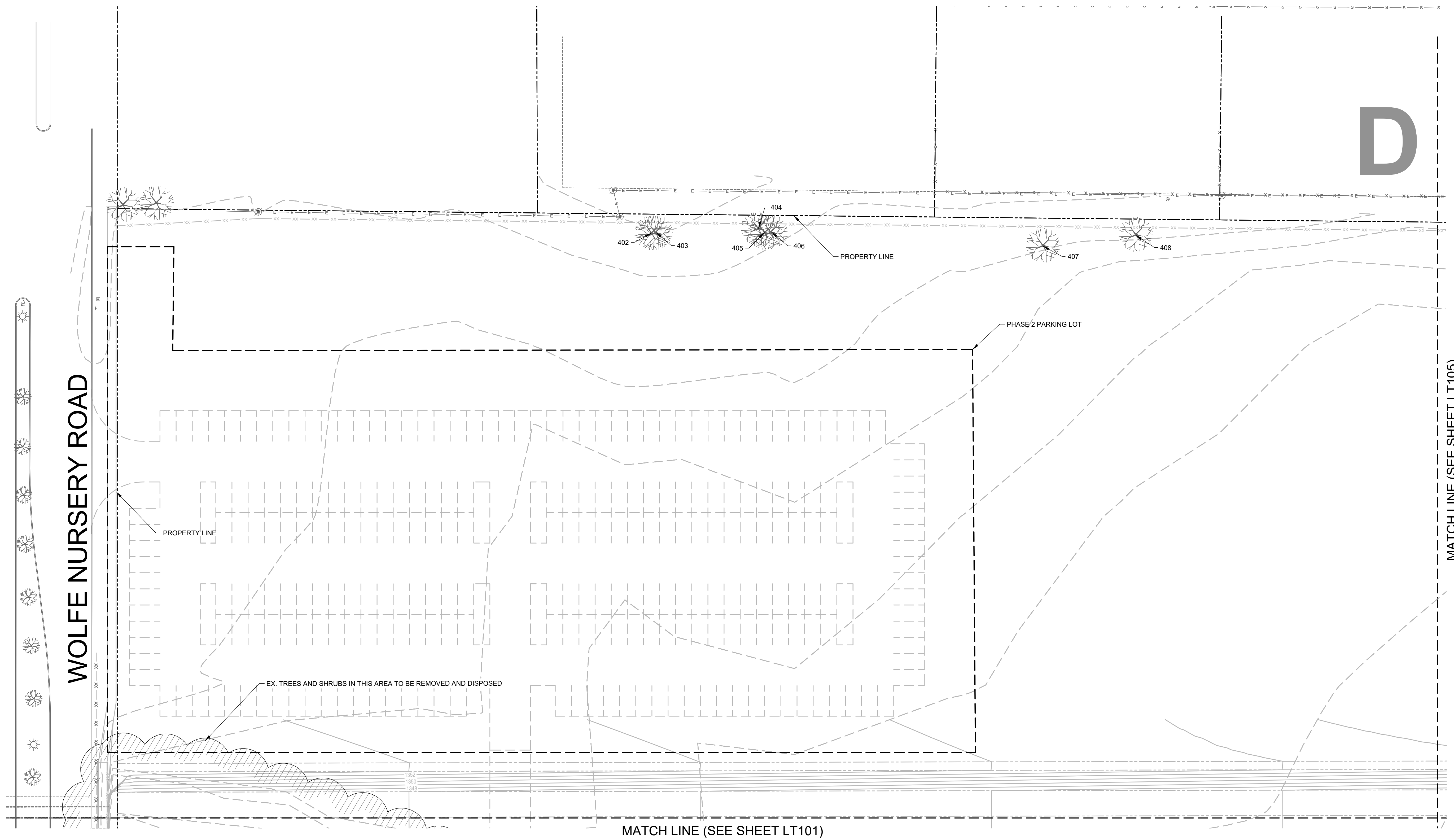
GENERAL NOTES

- REFER TO SHEET LT107 FOR TREE DATA TABLES

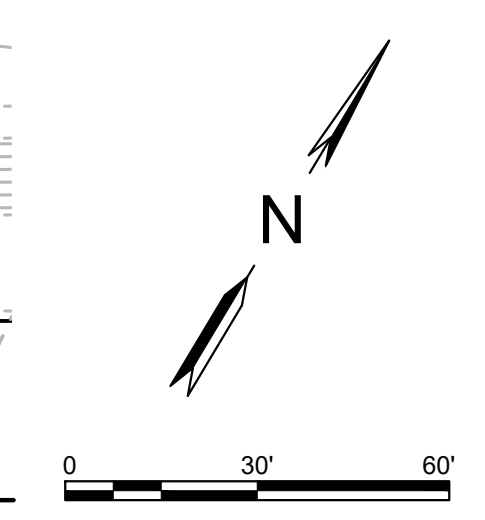
LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED AND DISPOSED. CONTRACTOR TO GRID STUMP 12" BELOW GRADE AND REMOVE ROOTBALL.
-  TREE PROTECTION FENCING. REF. A11L-502

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A1 TREE PRESERVATION AND PROTECTION PLAN - AREA D
1" = 30'



A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LT104-40108.DWG, 9/14/2023 12:35 PM, smooey

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PROJECT NO.
40108.22

KEY PLAN

D	E	F
A	B	C

#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

**Tree Preservation
And Protection
Plan 'Area E'**
LT105

KEY NOTES

- TREE PROTECTION FENCING PER A41L-502

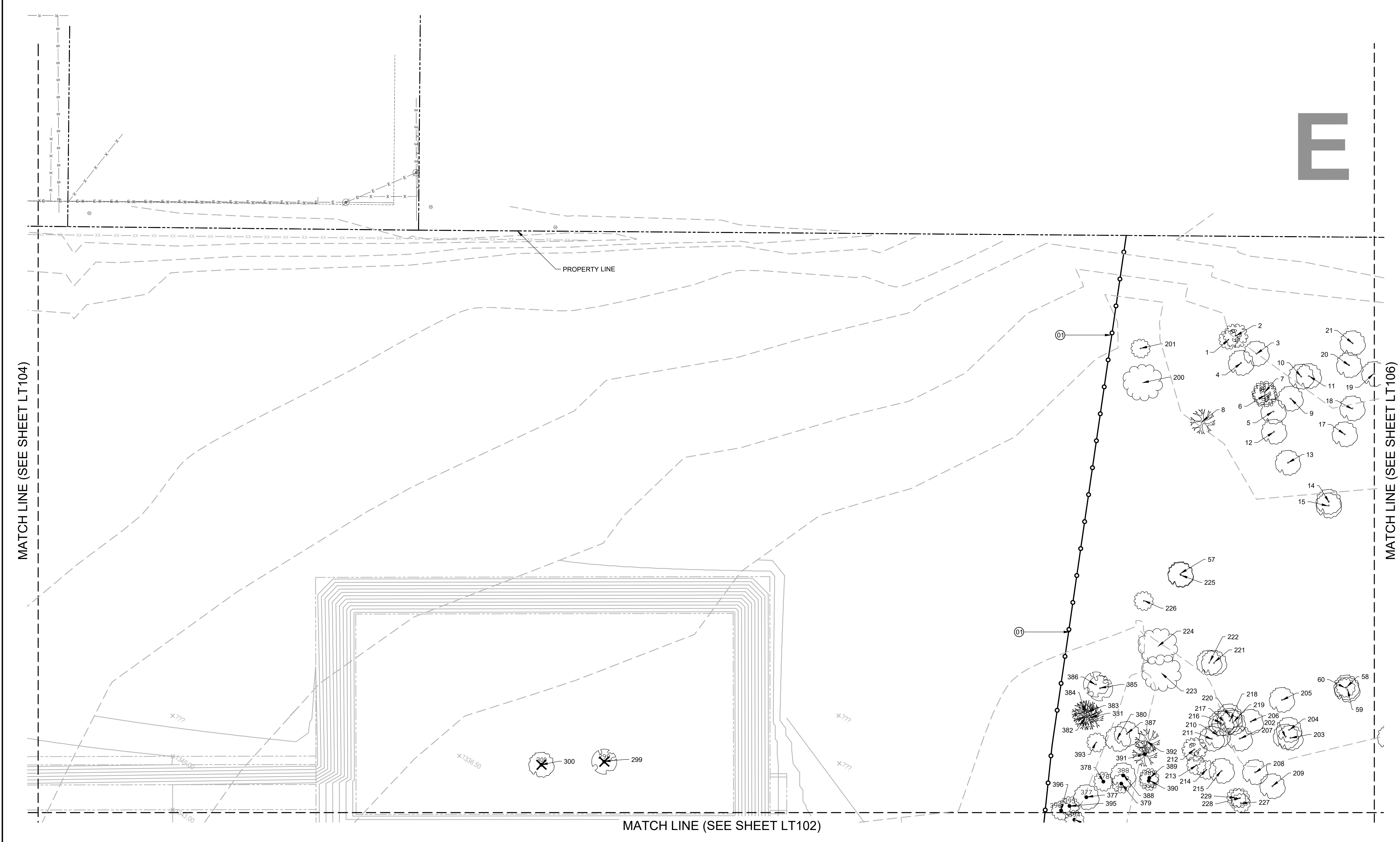
GENERAL NOTES

- REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

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- TREE PROTECTION FENCING. REF. A11L-502

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A1 TREE PRESERVATION AND PROTECTION PLAN - AREA E
1" = 30'

A:\2022\40108.22\03_DSGN01_DWG\060_LAND03_SHEETS\UTILITY PACKAGE\LT105-40108.DWG, 9/14/2023 12:36 PM, smcody

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PROJECT NO.
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KEY PLAN

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3	09/15/2023	Development Plan Re-Submittal
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1	08/25/2023	Development Plan Submittal
#	DATE	DESCRIPTION

**Tree Preservation
And Protection
Plan 'Area F'
LT106**

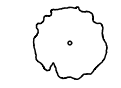

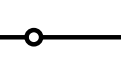
KEY NOTES

- TREE PROTECTION FENCING PER A41L-502

GENERAL NOTES

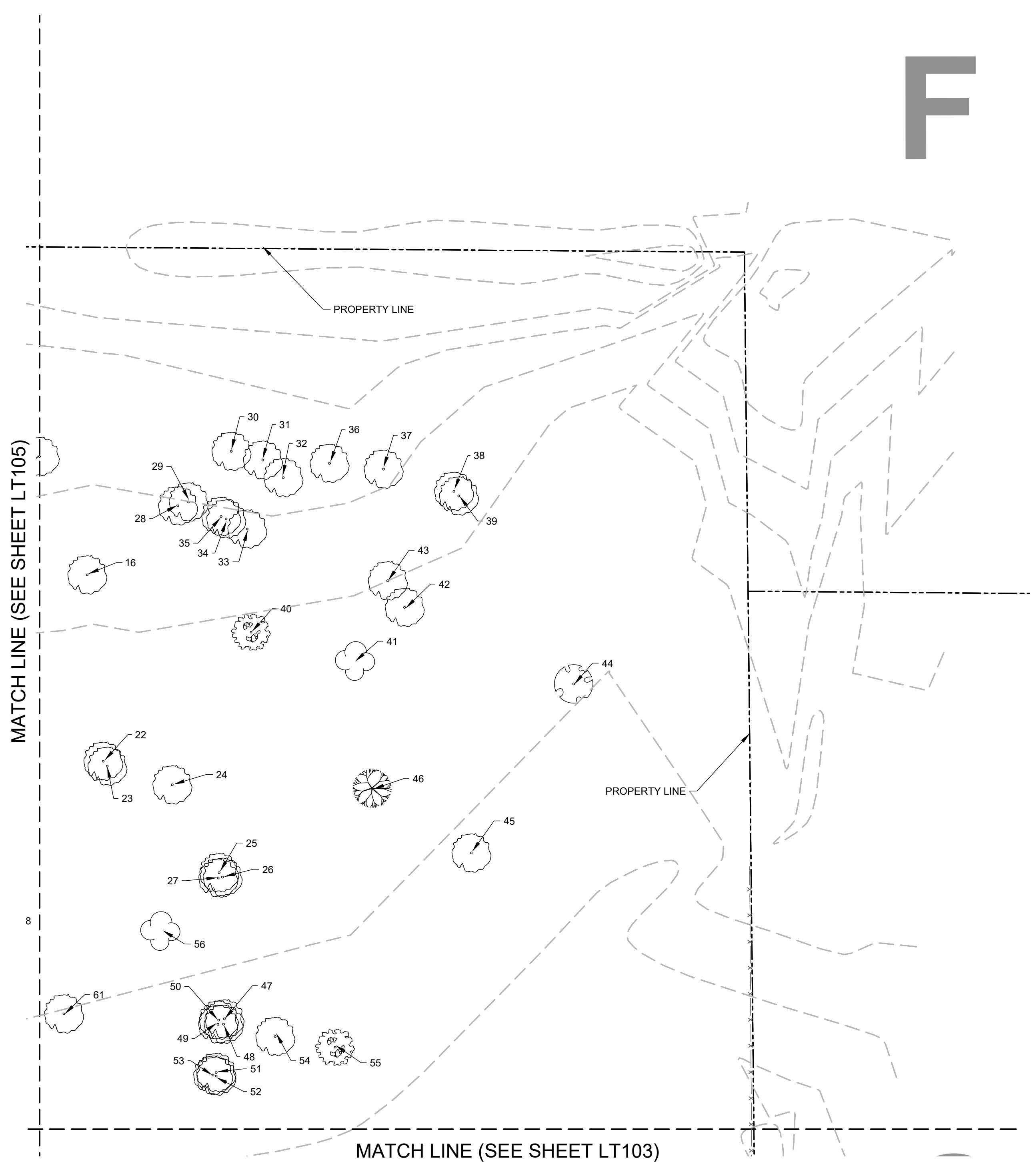
- REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

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F



A1 TREE PRESERVATION AND PROTECTION PLAN - AREA F
1" = 30'

A:\2022\40108.22\03_DS62\01_DWG\060_LAND\03_SHEETS\UTILITY PACKAGE\LT106-40108.DWG, 9/14/2023 12:37 PM, smcody

SITE LANDSCAPE CREDITS

TOTAL TREES TO BE REMOVED 48 TREES (370 CALIPER INCHES)
3"-5" CALIPER TREES PRESERVED 115 TREES (23,000 SF LANDSCAPE CREDITS)
6"+ CALIPER TREES PRESERVED 244 TREES (195,200 SF LANDSCAPE CREDITS)
TOTAL LANDSCAPE CREDITS 399 TREES (218,200 SF LANDSCAPE CREDITS)

NOTE ONLY TREES WITHIN LOT LISTED ABOVE



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PROJECT NO. 40108.22
KEY PLAN

Table with 2 columns: #, DATE, DESCRIPTION. Row 1: 3 09/15/2023 Development Plan Re-Submittal. Row 2: 2 09/08/2023 Development Plan Re-Submittal. Row 3: 1 08/25/2023 Development Plan Submittal.

Tree Preservation Data Tables LT107

Main table with columns: TREE #, SPECIES, DIA. (IN), PRESERVE / REMOVE. Contains 100 rows of tree data.

A:\2022\40108.22\03_SHEET\UTILITY PACKAGE\LT107-40108.DWG, 9/14/2023 12:37 PM, smooch

CONTACTS & PROPERTY INFORMATION

OWNER:
STEPHENVILLE ISD
(254)-968-7990

LANDSCAPE ARCHITECT:
PARKHILL
LONDON BELL
(972)-987-1670
lgbell@parkhill.com

ENGINEER:
PARKHILL
BEN SANCHEZ
(972)-987-1670
bsanchez@parkhill.com

SURVEYOR:
PRICE SURVEYING
MATTHEW PRICE
(254)-965-5489
matthew@pricesurveying.com

PROPERTY INFORMATION:
S2600 CITY ADDITION, BLOCK 156, LOT 7 (PT OF)
42.93 AC
CITY OF STEPHENVILLE

GENERAL NOTES

- A. REFER TO SHEET LP107 FOR PLANTING NOTES AND SCHEDULES.
- B. REFER TO SHEET L-501 FOR FENCING DETAILS.
- C. REFER TO SHEET L-502 FOR PLANTING DETAILS.

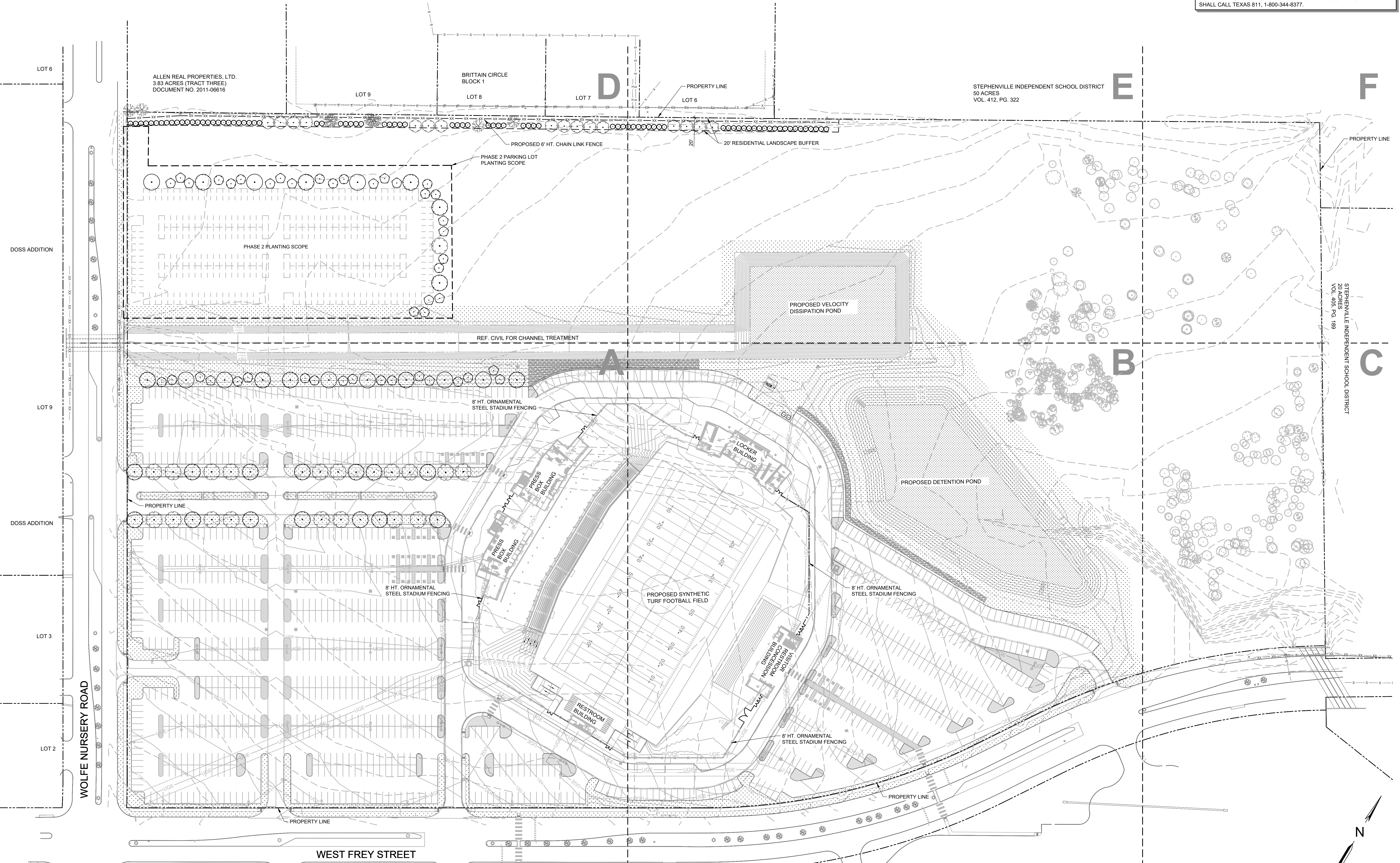
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TOTAL LANDSCAPE CREDITS 389 TREES (218,200 SF LANDSCAPE CREDITS)

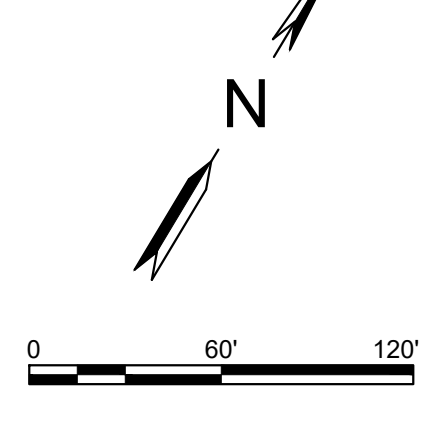
NOTE ONLY TREES WITHIN LOT LISTED ABOVE

CITY OF STEPHENVILLE LANDSCAPE ORDINANCE CALCULATIONS FOR STEPHENVILLE ISD STADIUM					
ORD. REF.	DESCRIPTION	REQUIRED	CREDITS	PROVIDED PHASE 1	PROVIDED PHASE 2
SEC 154.13.C.1	Required Landscaped Area	SITE BOUNDARY = 1,869,896.81 S.F. REQUIRED: 15% = 280,485 S.F.	218,200 S.F. (REF. SITE LANDSCAPE TABLE)	338,278 S.F. PROVIDED	26,132 S.F. SOFT PROVIDED
SEC 154.13.C.2	Required Tree Planting	63 CANOPY TREES, 126 ORNAMENTAL TREES: (62,285 S.F. / 1,000 S.F.)	218,200 S.F. (REF. SITE LANDSCAPE TABLE)	59 CANOPY TREES 100 ORNAMENTAL TREES	9 CANOPY TREES 26 ORNAMENTAL TREES
13.G ADDITIONAL REQUIREMENTS ADJACENT TO RESIDENTIAL					
SEC 154.13.G.1	20-foot wide landscape buffer against Residential Zoning	1,106 LINEAR FEET AT 20' WIDE = 22,120 S.F. BUFFER / 1,000 S.F. = 23 CANOPY TREES 46 ORNAMENTAL TREES	N/A	23 CANOPY TREES, 83 NON CANOPY TREES (LIVING SCREEN)	N/A
PARKING AREA REQUIREMENTS					
SEC 154.13.I.2	Parking Lot Trees (PHASE 1)	1 TREE PER 12 SPACES 1218 SPACES / 12 = 102 TREES	N/A	PER CODE DEVIATION 3 OF PLANNED DEVELOPMENT, PARKING LOT TREES WILL BE PLACED OUTSIDE OF PARKING AREAS.	N/A
SEC 154.13.I.2	Parking Lot Trees (PHASE 2)	1 TREE PER 12 SPACES 239 SPACES / 12 = 20 TREES	N/A	N/A	PER CODE DEVIATION 3 OF PLANNED DEVELOPMENT, PARKING LOT TREES WILL BE PLACED OUTSIDE OF PARKING AREAS.

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A1 OVERALL PLANTING PLAN
 1" = 60'



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 N Frey & N Wolfe Nursery Rd.
 Stephenville, TX 76401

PROJECT NO.
 40108.22

D	E	F
A	B	C

#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Overall Planting Plan
LP100

A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LP100-40108.DWG, 9/14/2023 12:38 PM, smooch

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Stephenville ISD Stadium

Honeybees & Yellowjackets



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Planting Plan 'Area A'

LP101

GENERAL NOTES

- A. REFER TO SHEET LP107 FOR PLANTING NOTES AND SCHEDULES.
- B. REFER TO SHEET LP100 FOR LANDSCAPE ORDINANCE CALCULATIONS.
- C. REFER TO SHEET L-502 FOR PLANTING DETAILS.

EXISTING UTILITIES
CONTRACTOR MUST VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH CITY OFFICIALS AND UTILITY COMPANIES IN LOCATING UTILITIES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR LOSSES DUE TO DAMAGE TO UTILITIES. LOCATION FOR ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL TEXAS 811, 1-800-344-8377.

MATCH LINE (SEE SHEET LP104)

REF. CIVIL FOR CHANNEL TREATMENT

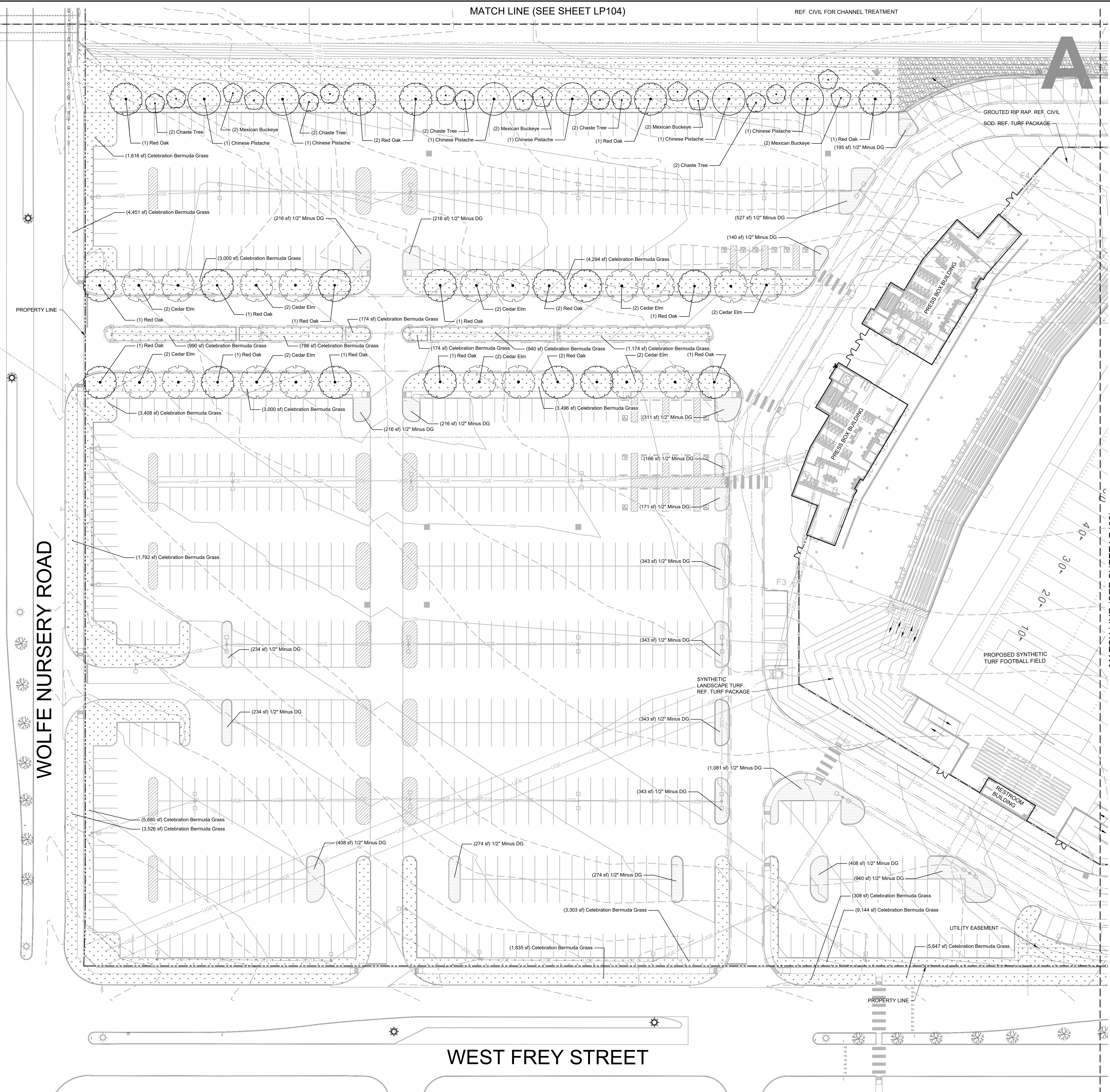
A

GRouted RIP RAP, REF. CIVIL
SOD, REF. TURF PACKAGE

MATCH LINE (SEE SHEET LP102)

WOLFE NURSERY ROAD

WEST FREY STREET



A1 PLANTING PLAN - AREA A
1" = 30'

A:\2022\40108.22\03_DS\G060_LAND\03_SHEETS\UTILITY PACKAGE\LP101-40108.DWG, 9/14/2023, 12:38 PM, smooch

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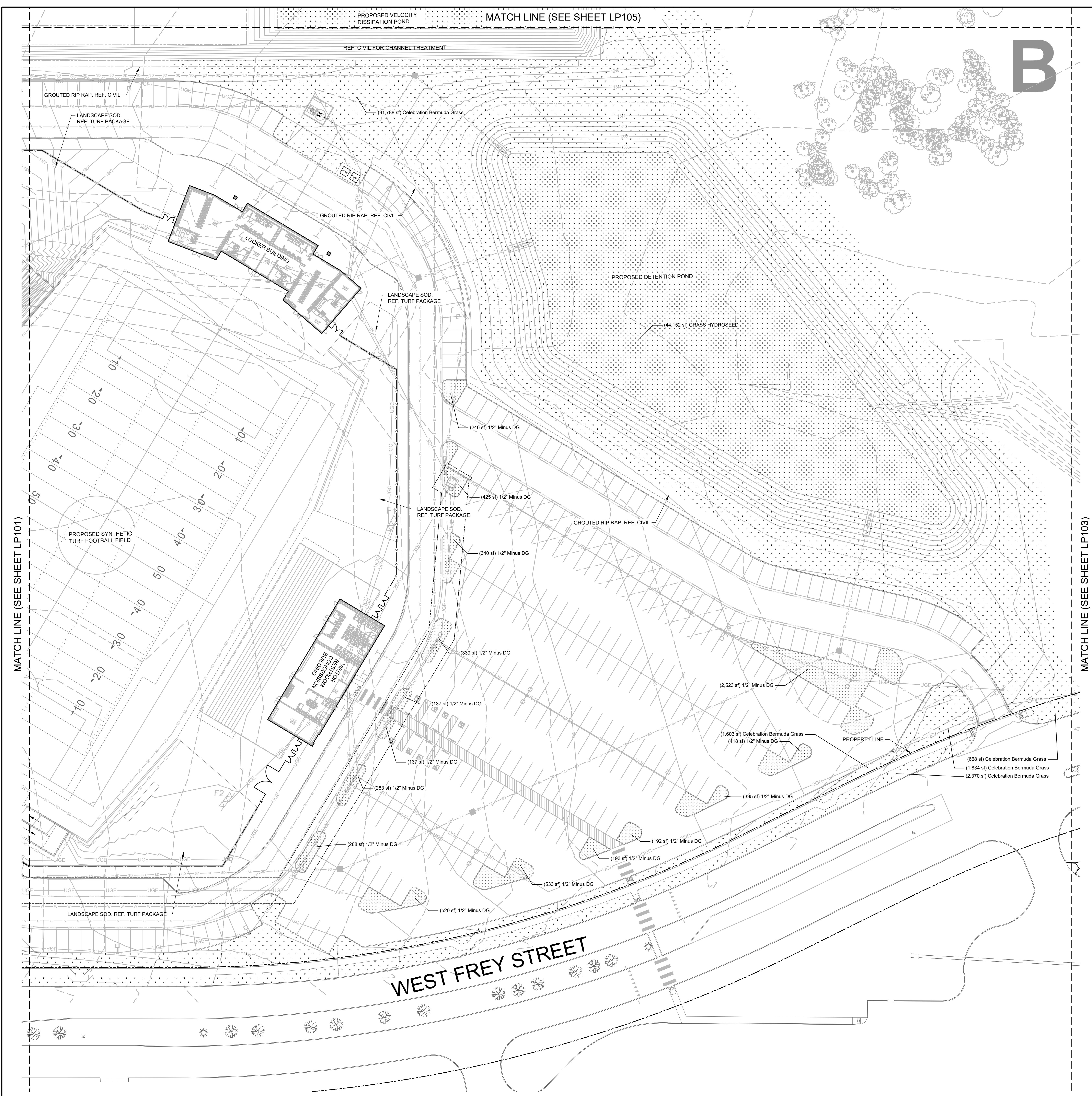
Planting Plan 'Area B'

LP102

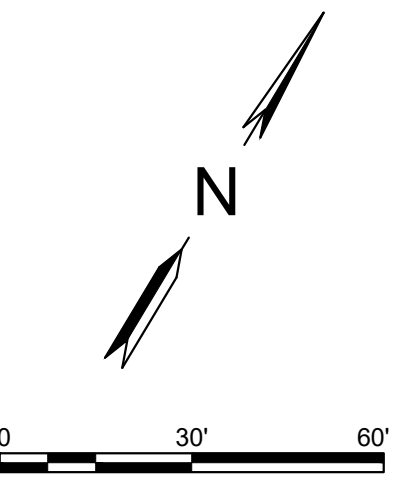
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A1 PLANTING PLAN - AREA B
1" = 30'



A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LP102-40108.DWG, 9/14/2023 12:39 PM, smoady

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Planting Plan
'Area C'
LP103

GENERAL NOTES

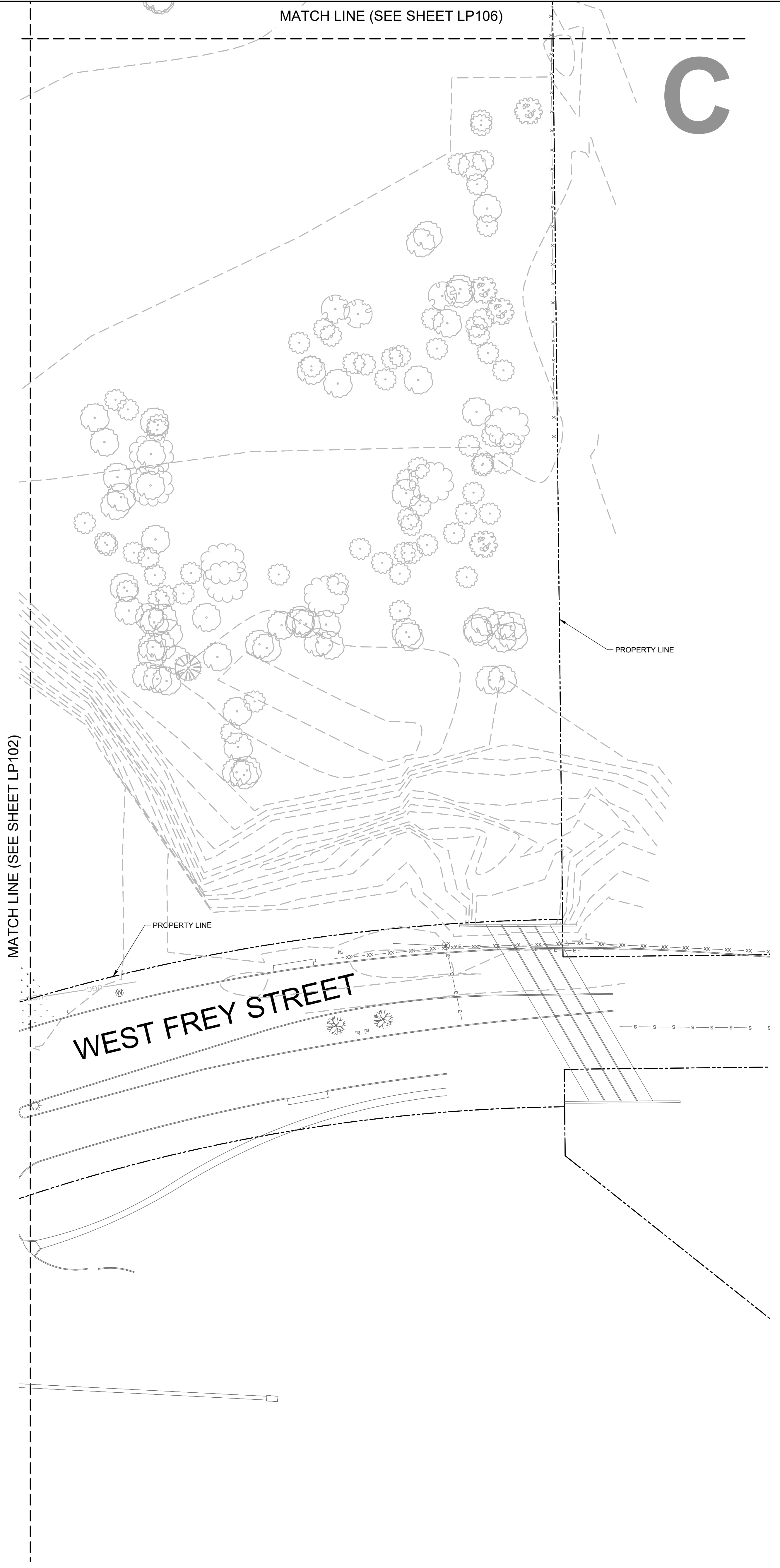
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MATCH LINE (SEE SHEET LP106)

C

MATCH LINE (SEE SHEET LP102)

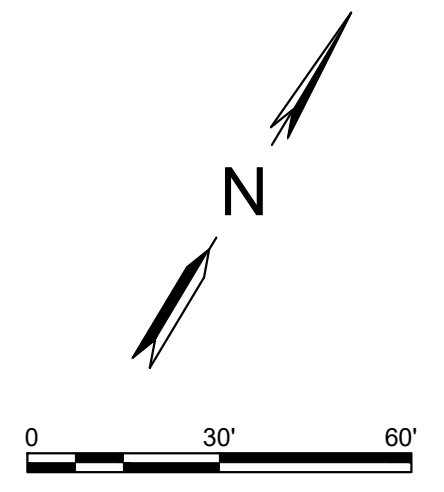


PROPERTY LINE

PROPERTY LINE

WEST FREY STREET

A1 PLANTING PLAN - AREA C
1" = 30'



A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEETS\UTILITY PACKAGE\LP103-40108.DWG, 9/14/2023 12:40 PM, smooody

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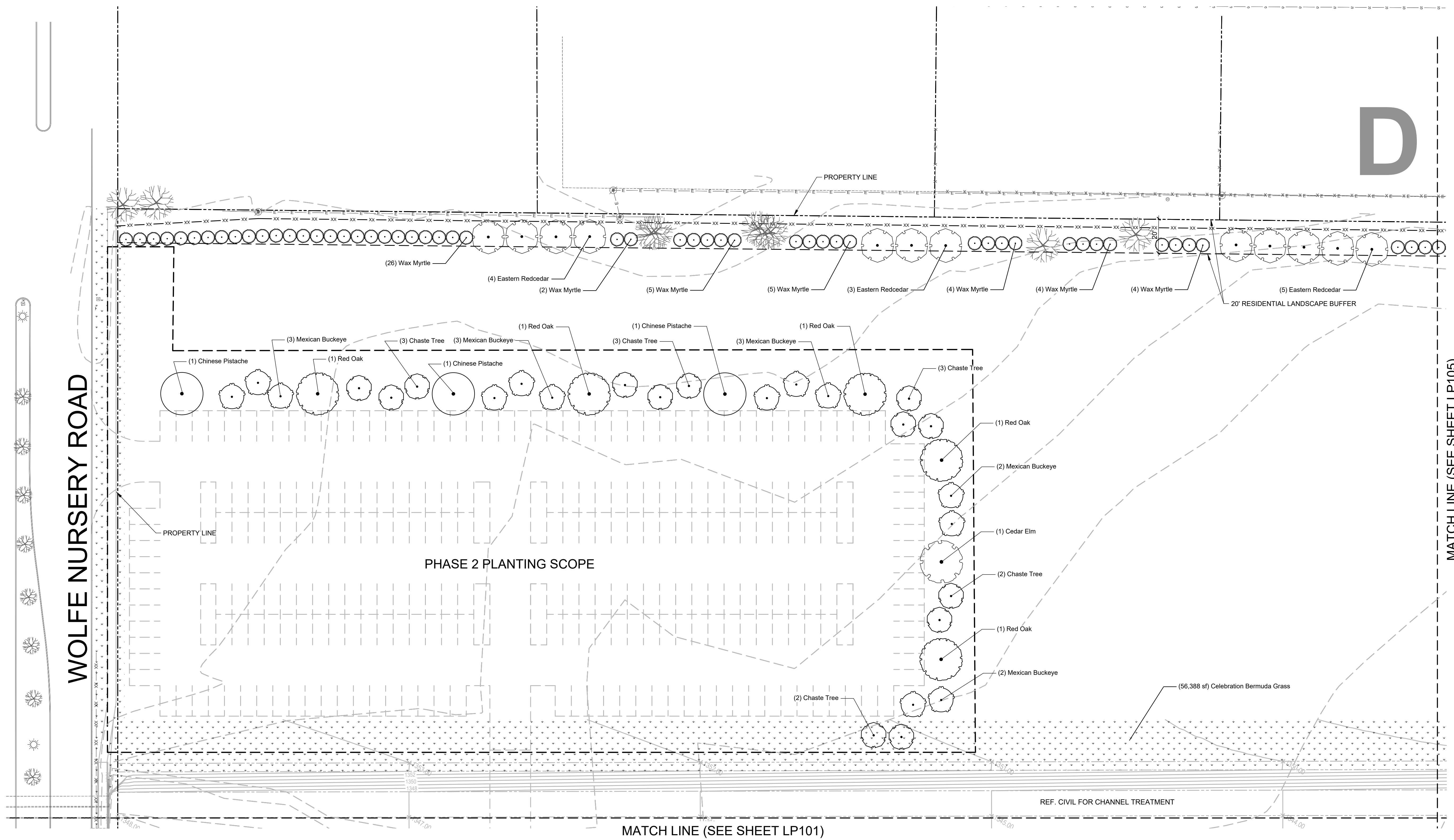
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Planting Plan
'Area D'
LP104

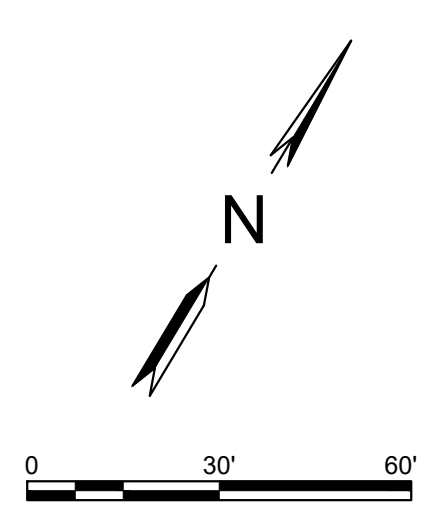
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A1 PLANTING PLAN - AREA D
1" = 30'



A:\2022\08\22\03_DSG\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LP104-0108.DWG, 9/14/2023 12:40 PM, smooey

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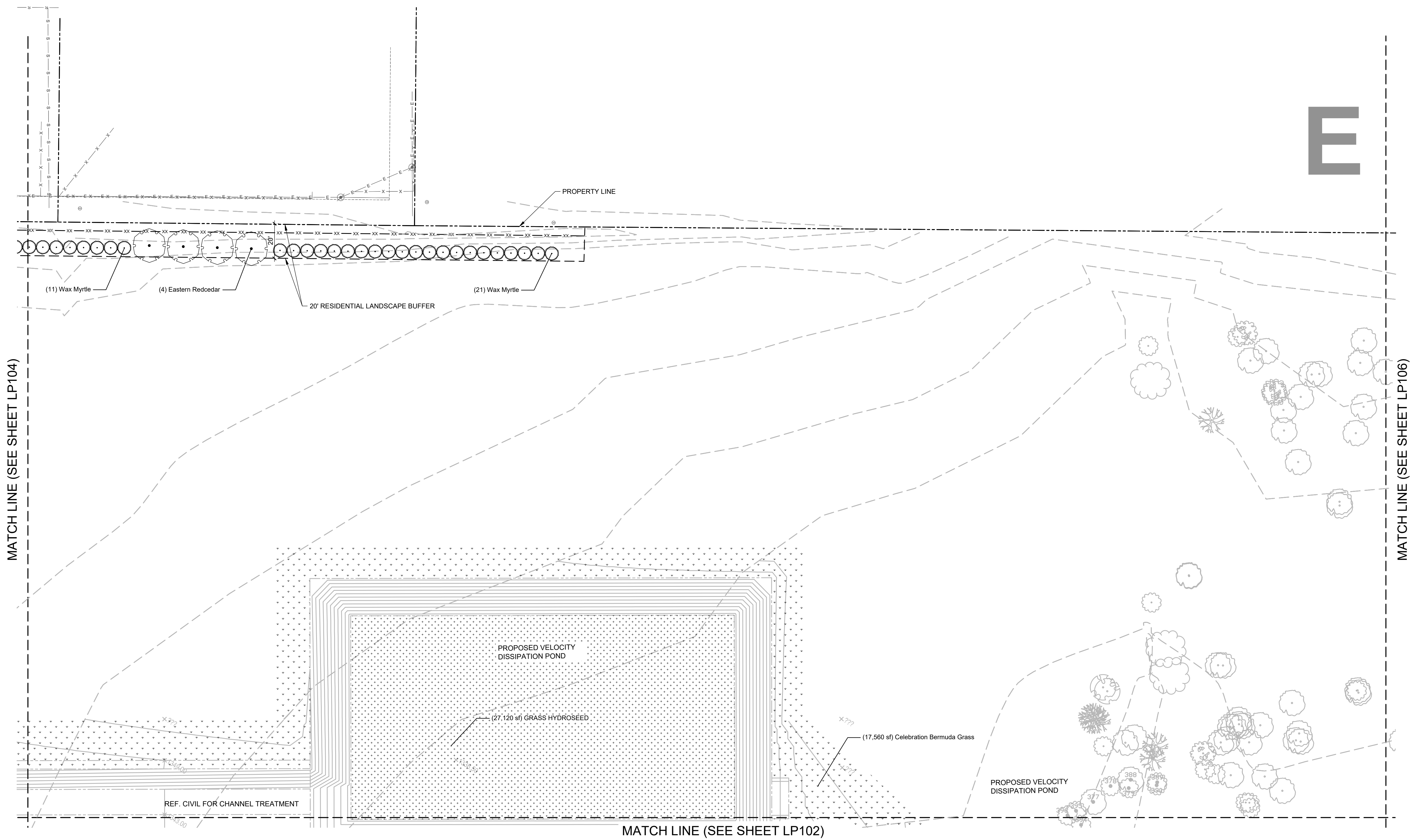
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Planting Plan
'Area E'
LP105

GENERAL NOTES

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A1 PLANTING PLAN - AREA E
1" = 30'

A:\2022\08\28\2023_DSGN01_DWG\060_LAND03_SHEETS\UTILITY PACKAGE\LP105-40108.DWG, 9/14/2023 12:41 PM, smooey

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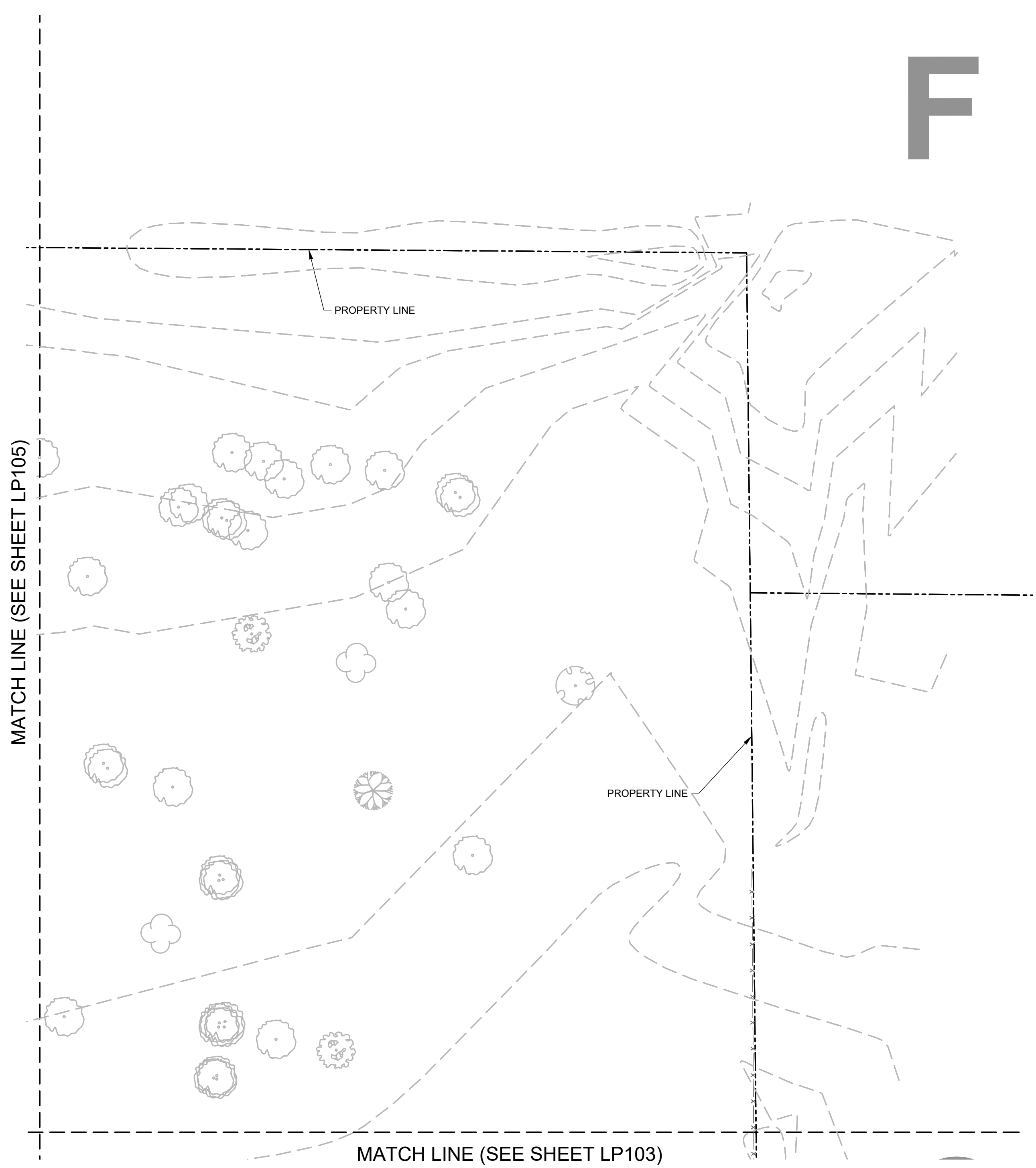
Planting Plan
'Area F'
LP106

GENERAL NOTES

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F



A1 PLANTING PLAN - AREA F
1" = 30'

A:\2022\08\28\2023_DSGN01_DWG\060_LAND\06_SHEETS\UTILITY PACKAGE\LP106-40108.DWG, 9/14/2023 12:41 PM, amoady

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**Planting Notes
 And Schedules
 LP107**

PLANTING GENERAL NOTES

- A. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF STEPHENVILLE STANDARDS.
- B. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT AND SPECIFICATIONS FOR REQUIREMENTS NOT LISTED HEREIN.
- C. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- D. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLAN SHOWN ON ALL DRAWINGS. PLANT COUNTS AND SQUARE FOOTAGES ARE PROVIDED AS A COURTESY ONLY.
- E. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
- F. IN THE CASE OF A DISCREPANCY BETWEEN THE CONTAINER SIZE CALLED OUT IN PLANT LIST AND THE CALIPER AND HEIGHT OF PLANT MATERIAL, THE SPECIFIED TREE MUST MEET THE CALIPER AND HEIGHT REQUIREMENTS SPECIFIED, EVEN IF THE LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS AT NO ADDITIONAL COST TO THE OWNER.
- G. ALL PLANTS TO BE GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
- H. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE PLANT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- I. LANDSCAPE CONTRACTOR SHALL LOCATE THE SOURCE OF AND SELECT ALL PLANTS FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
- J. ALL PLANT MATERIALS SHALL BE APPROVED PRIOR TO DELIVERY AT THE NURSERIES OR SUPPLIERS BY THE PROJECT LANDSCAPE ARCHITECT.
- K. AT THE OPTION OF THE LANDSCAPE ARCHITECT, PHOTOS OF ALL PLANT MATERIAL SHOWING CONTAINER SIZE, HEIGHT AND CALIPER CAN BE SUBMITTED FOR APPROVAL.
- L. ALL PLANTS TAGGED AS APPROVED AT NURSERY OR SUPPLIER SHALL BEAR THE SAME TAG WHEN DELIVERED ON SITE.
- M. THE RIGHT TO REJECT PLANT MATERIALS DELIVERED TO THE SITE THAT DO NOT BEAR APPROVAL TAGS IS RESERVED BY THE PROJECT LANDSCAPE ARCHITECT.
- N. IN AREAS WHERE PAVING SUBGRADES AND BUILDING PADS EXTEND INTO PLANT BED AREAS, 6 INCH HOLES SHALL BE DRILLED EVERY 3 FEET AND FILLED WITH 1 INCH DIAMETER GRAVEL TO PROVIDE PERCOLATION AND DRAINAGE FOR THE PLANTING BED. HOLES SHALL BE DRILLED THROUGH IMPROVED SUBGRADES INTO EXISTING SITE SOILS BUT NO DEEPER THAN FOUR FEET.
- O. ALL PLANTING BEDS TO RECEIVE 2 INCHES OF BACK TO EARTH COMPOST PER SQUARE FOOT AND 1 POUND OF A 4(N)-1(P)-2(K) RATIO FERTILIZER PER 100 SQUARE FEET. BOTH MATERIALS SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 12 INCHES.
- P. ALL FINAL PLANTING BED GRADES IN AREAS WHERE ORGANIC AND/OR INORGANIC MULCH IS BEING APPLIED SHOULD BE 3 OR 4 INCHES BELOW ADJACENT HARD SURFACES ACCORDING TO MULCH DEPTH INDICATED ON PLANS.
- Q. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING IS COMPLETE AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
- R. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING OR AS ESTABLISHED IN CONTAINER.
- S. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS.
- T. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN AS NEEDED DURING THE FIRST GROWING SEASON.
- U. ALL PLANTING BEDS SHALL RECEIVE ORGANIC AND/OR INORGANIC MULCH MATERIALS AS NOTED ON PLANS.
- V. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- W. THE CONTRACTOR SHALL PRUNE ALL BRANCHES 6 FEET ABOVE FINISH GRADE ON ALL DECIDUOUS TREES 12 FEET OR TALLER.
- X. AREAS TO BE FILLED WITH INORGANIC MULCHES WITH A DIAMETER LESS THAN 1/4 INCH IN SIZE SHALL BE COMPACTED TO 85% PROCTOR DENSITY BEFORE MULCH IS PLACED.
- Y. THE SITE SHALL BE FINE GRADED PRIOR TO ANY PLANT INSTALLATION. ANY AREAS DISTURBED BY PLANTING SHALL BE REGRADED AND SMOOTHED PRIOR TO GRASS PLANTING.
- Z. SOD SHALL BE USED AROUND DRAIN INLETS (5' BUFFER) AND IN AREAS WHERE THE SLOPE EXCEEDS 20% (1:5) UNLESS THE AREA IS A PLANTING BED.

PLANT SCHEDULE PHASE 1

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER
	16	JUNIPERUS VIRGINIANA EASTERN REDCEDAR	-	10-12 FT	3"
	6	PISTACIA CHINENSIS CHINESE PISTACHE	-	12-14 FT	3"
	19	QUERCUS RUBRA RED OAK	-	12-14 FT	3"
	18	ULMUS CRASSIFOLIA CEDAR ELM	-	12-14 FT	3"
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER
	82	MYRICA CERIFERA WAX MYRTLE	15 GAL.	4-6 FT	
	8	UNGNADIA SPECIOSA MEXICAN BUCKEYE	15 GAL.	4-6 FT	
	10	VITEX AGNUS-CASTUS CHASTE TREE	15 GAL.	4-6 FT	
GROUND COVERS	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER	SPACING
	COMMON BERMUDA - AS SPECIFIED GRASS HYDROSEED	HYDROSEED			
	DECOMPOSED GRANITE 1/2" MINUS DG	4" DEPTH			
SOD/SEED	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER	SPACING
	CYNODON DACTYLON "CELEBRATION" CELEBRATION BERMUDA GRASS	SOLID SOD			

PLANT SCHEDULE PHASE 2

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER
	3	PISTACIA CHINENSIS CHINESE PISTACHE	-	12-14 FT	3"
	5	QUERCUS RUBRA RED OAK	-	12-14 FT	3"
	1	ULMUS CRASSIFOLIA CEDAR ELM	-	12-14 FT	3"
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER
	13	UNGNADIA SPECIOSA MEXICAN BUCKEYE	15 GAL.	4-6 FT	
	13	VITEX AGNUS-CASTUS CHASTE TREE	15 GAL.	4-6 FT	
SOD/SEED	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER	SPACING
	CYNODON DACTYLON "CELEBRATION" CELEBRATION BERMUDA GRASS	SOLID SOD			

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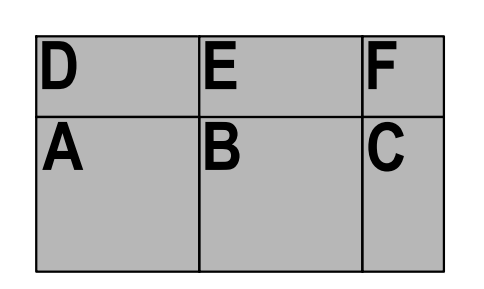


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KEY PLAN



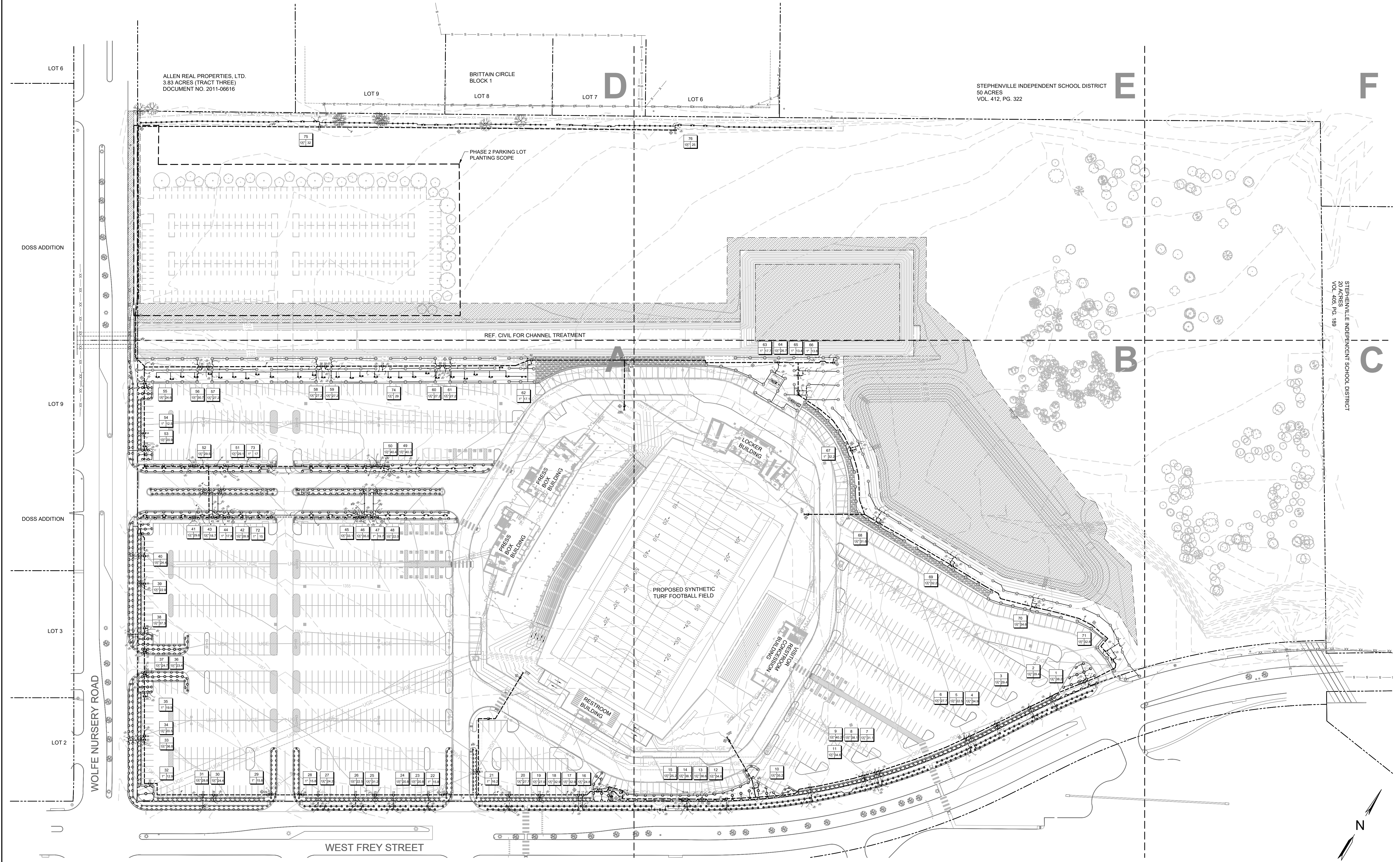
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Overall Irrigation Plan
LI100

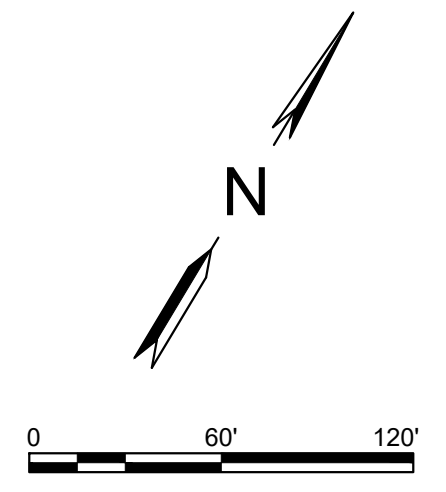
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A1 OVERALL IRRIGATION PLAN
1" = 60'



A:\2022\40108.22\03_DWG\03_SHEET\UTILITY PACKAGE\LI100-40108.DWG, 9/14/2023 12:43 PM, amoddy

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Irrigation Plan 'Area A'

LI101

MATCH LINE (SEE SHEET LI104)

REF. CIVIL FOR CHANNEL TREATMENT

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KEY NOTES

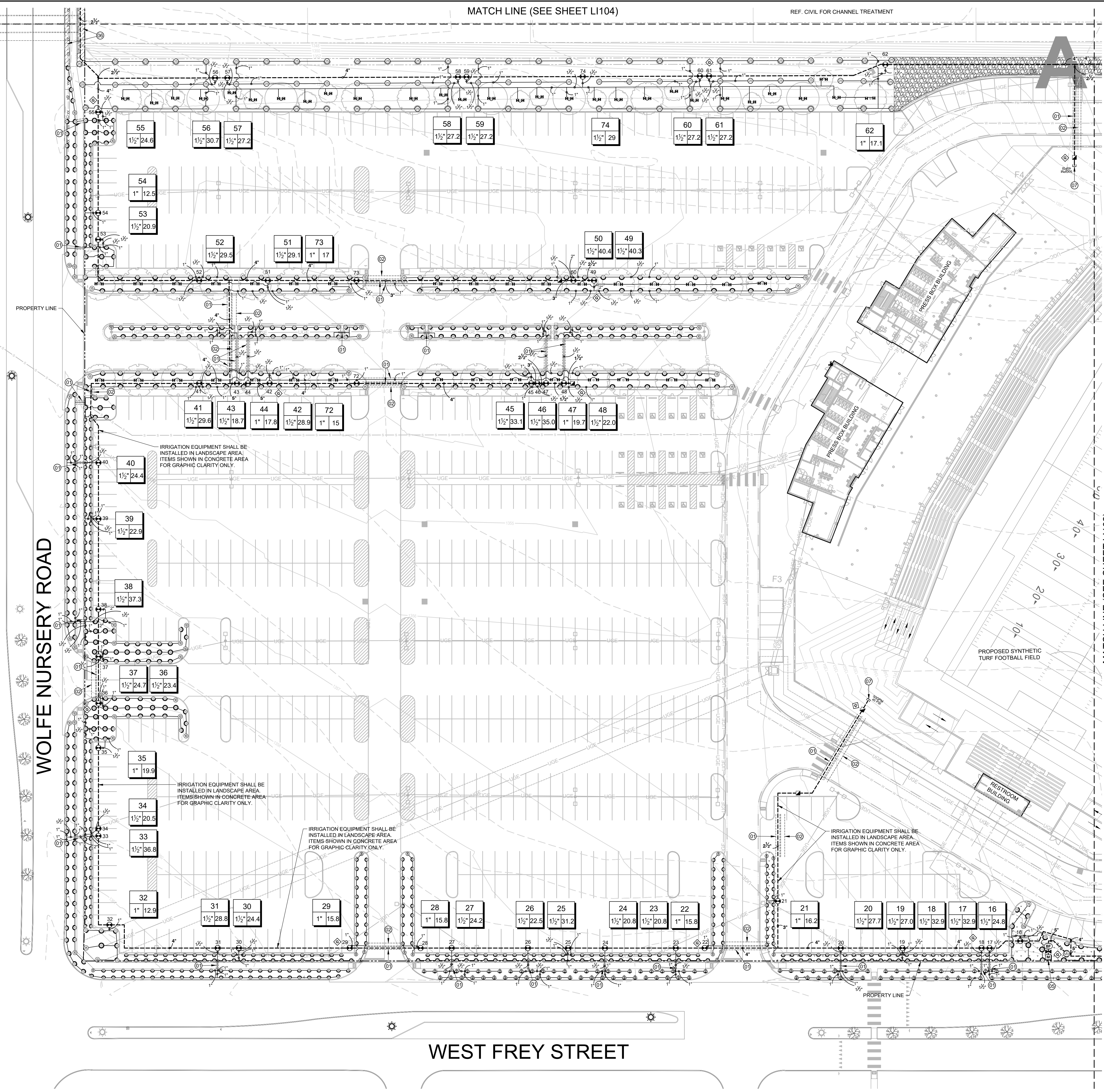
- AS INDICATED BY: (C)
- 1. COORDINATE SLEEVE INSTALLATION WITH PAVING POURS. SLEEVES SHALL BE TWO TIMES THE COMBINED DIAMETER OF THE LATERALS AND MAINLINES TO BE SLEEVED. LATERAL LINES SHALL BE SLEEVED SEPARATELY FROM MAINLINE. SLEEVES SHALL BE A MINIMUM OF 18" BELOW FINISH GRADE IN PARKING/DRIVE AREAS. SLEEVES SHALL EXTEND 18" PAST HARDSCAPE AND CURB EDGES.
- 2. SLEEVE FOR CONTROL WIRE ONLY.
- 3. CONTROLLER IN PEDESTAL. PROVIDE ALL CONDUIT AND POWER REQUIRED FOR CONTROLLER OPERATION. REF. C11-503.
- 4. RAIN/FREEZE SENSOR MOUNTED TO CONTROLLER PEDESTAL. REF. 501-503.
- 5. 3" IRRIGATION METER. REF. CIVIL. SYSTEM DESIGN PRESSURE AT METER = 76.7 PSI.
- 6. TEMPORARY IRRIGATION AREA. CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION FOR SOO OR HYDROSEED AREAS NOT RECEIVING PERMANENT IRRIGATION. TEMPORARY IRRIGATION SHALL REMAIN UNTIL FULL ESTABLISHMENT OF SOO/HYDROSEED IS OBTAINED AS SPECIFIED. EXTEND MAINLINE ACROSS DRIVE AND CAP FOR FUTURE USE. EXTEND 2 WIRE IN SEPARATE CONDUIT ACROSS DRIVE AND INSTALL GROUNDING AT END OF WIRE RUN.

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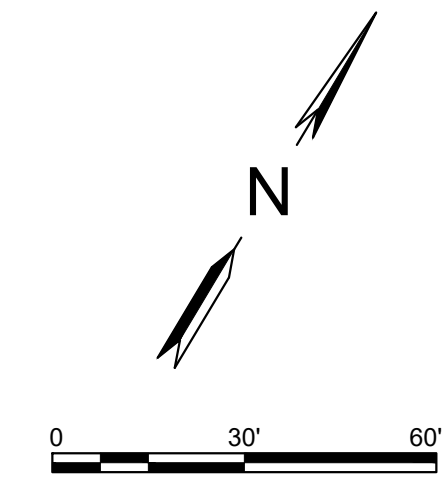
MATCH LINE (SEE SHEET LI102)

WOLFE NURSERY ROAD

WEST FREY STREET



A1 IRRIGATION PLAN - AREA A
1" = 30'



A:\2022\40108.22\03_SHEET\UTILITY PACKAGE\LI101-40108.DWG, 9/14/2023 12:43 PM, amody

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N Frey & N Wolfe Nursery Rd.
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PROJECT NO.
40108.22

D	E	F
A	B	C

#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Irrigation Plan 'Area B'

LI102

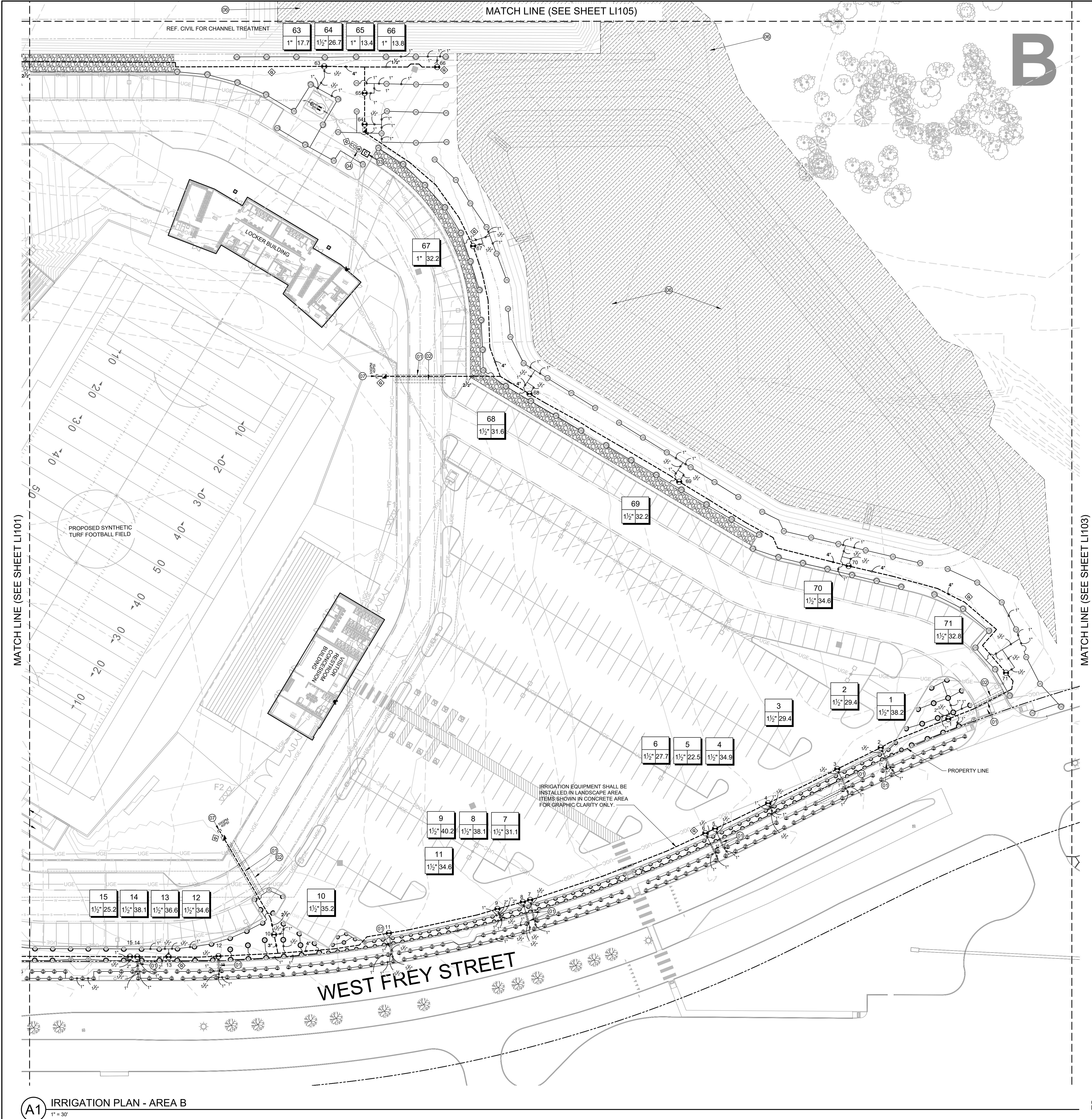
GENERAL NOTES

- A. REFER TO SHEET LP107 FOR PLANTING NOTES AND SCHEDULES.
- B. REFER TO SHEET LP100 FOR LANDSCAPE ORDINANCE CALCULATIONS.
- C. REFER TO SHEET L-501 FOR PLANTING DETAILS.

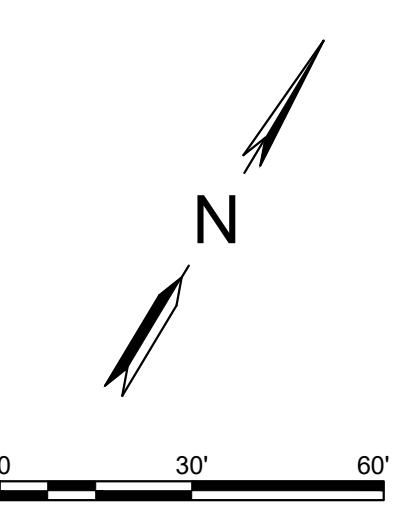
KEY NOTES

- AS INDICATED BY: (C)
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A1 IRRIGATION PLAN - AREA B
1" = 30'



A:\2022\40108.22\03_DSG\01_DWG\00_LAND\03_SHEET\UTILITY PACKAGE\LI102-40108.DWG, 9/14/2023 12:44 PM, amody

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Stephenville, TX 76401

PROJECT NO.
40108.22

KEY PLAN

D	E	F
A	B	C

#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
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1	08/25/2023	Development Plan Submittal

Irrigation Plan
'Area C'
LI103

GENERAL NOTES

- A. REFER TO SHEET LP107 FOR PLANTING NOTES AND SCHEDULES.
- B. REFER TO SHEET LP100 FOR LANDSCAPE ORDINANCE CALCULATIONS.
- C. REFER TO SHEET L-501 FOR PLANTING DETAILS.

KEY NOTES

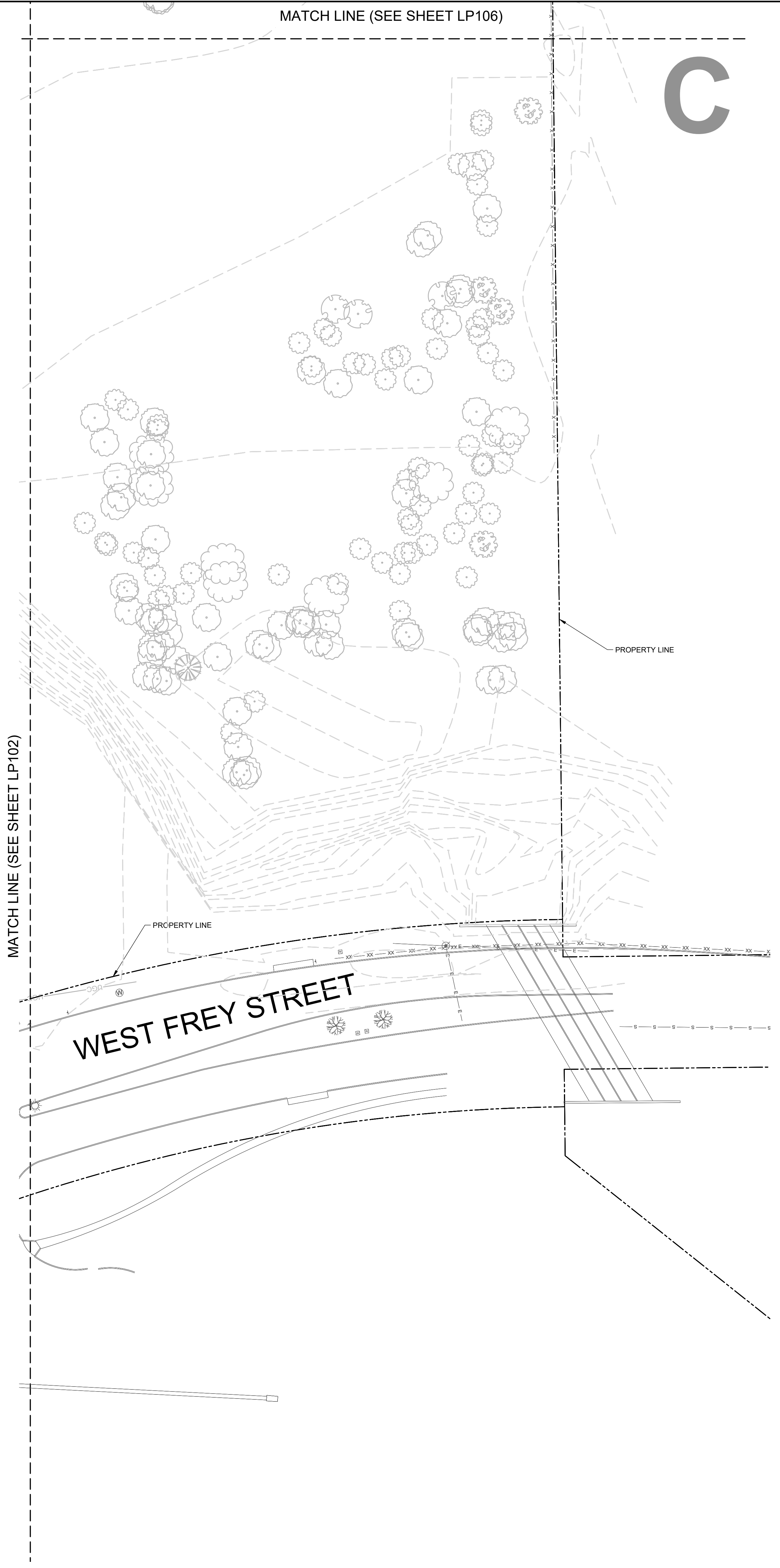
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MATCH LINE (SEE SHEET LP106)

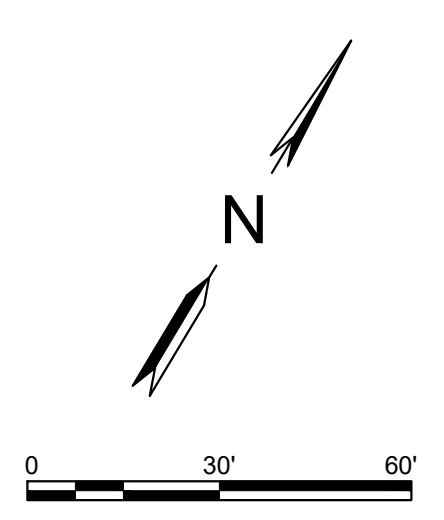
C

MATCH LINE (SEE SHEET LP102)



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A1 IRRIGATION PLAN - AREA C
1" = 30'



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PROJECT NO.
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KEY PLAN

D	E	F
A	B	C

#	DATE	DESCRIPTION
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1	08/25/2023	Development Plan Submittal

Irrigation Plan
'Area D'
LI104

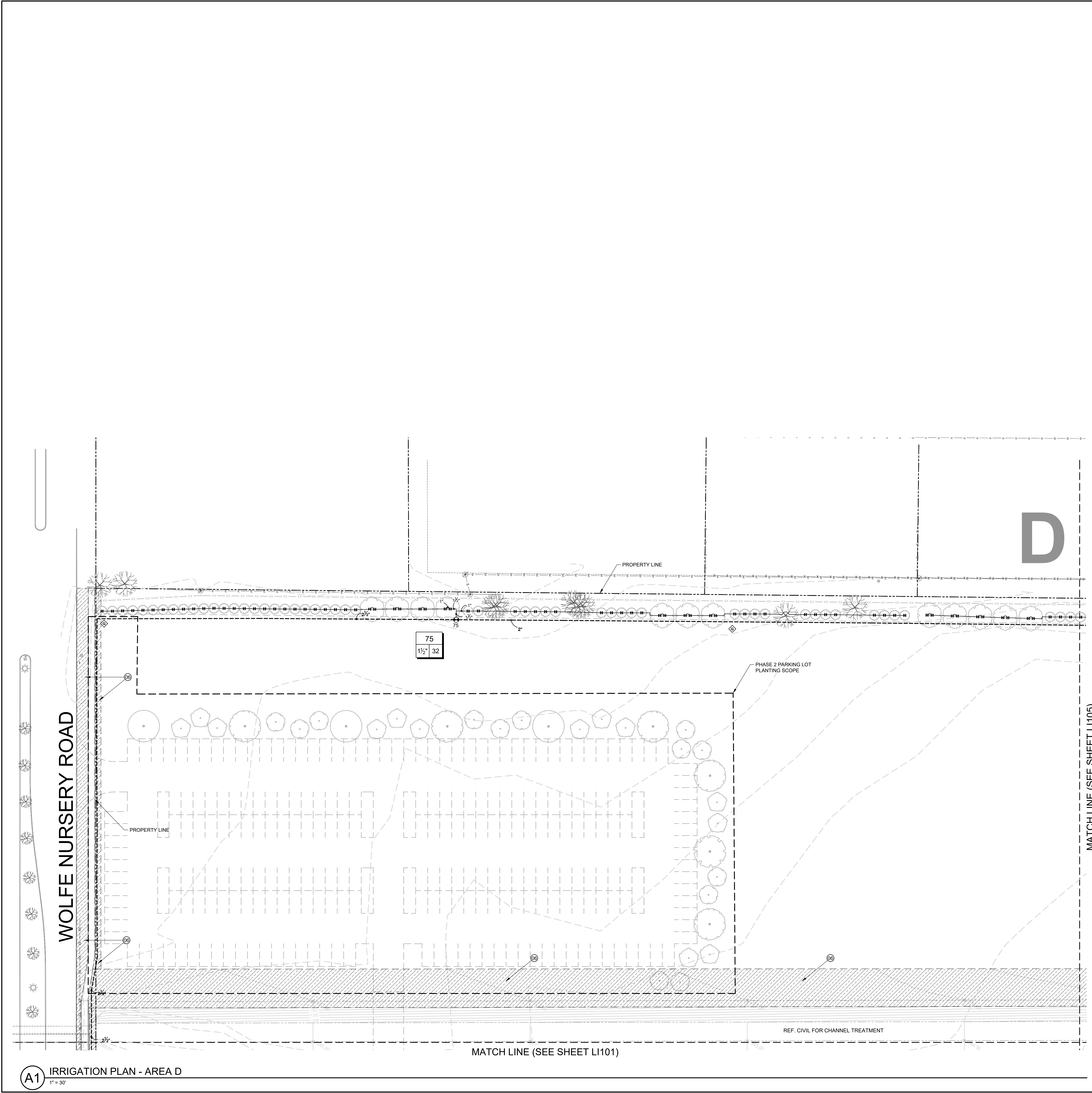
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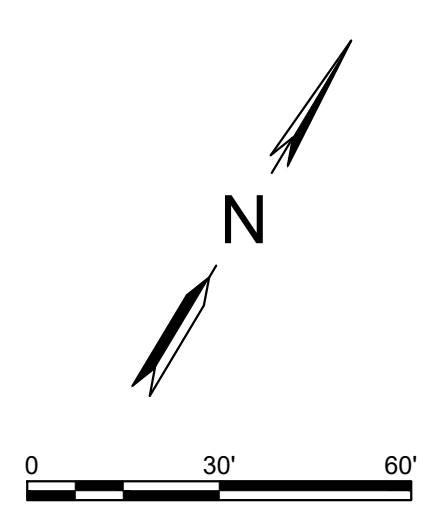
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A1 IRRIGATION PLAN - AREA D
1" = 30'



A:\2022\40108.22\03_DSGN01_DWG\060_LAND03_SHEET\UTILITY PACKAGE\LI104-40108.DWG, 9/14/2023 12:46 PM, amsoy

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PROJECT NO.
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KEY PLAN

D	E	F
A	B	C

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1	08/25/2023	Development Plan Submittal

Irrigation Plan
'Area E'
LI105

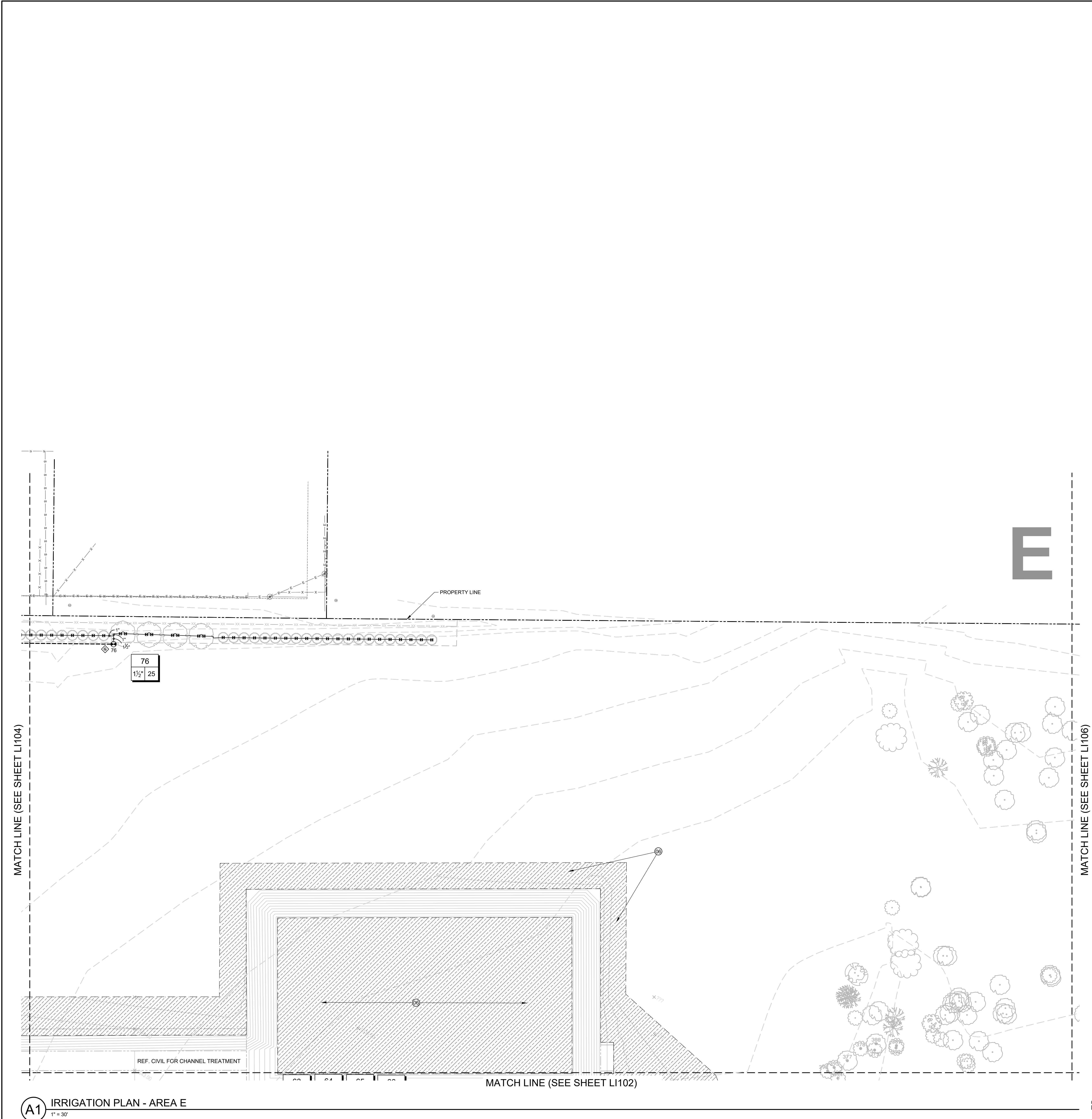
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A:\2022\40108.22\03_DSGN\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LI105-40108.DWG, 9/14/2023 12:46 PM, amsoy

A1 IRRIGATION PLAN - AREA E
1" = 30'

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PROJECT NO.
40108.22

KEY PLAN

D	E	F
A	B	C

#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Irrigation Plan
'Area F'
LI106

GENERAL NOTES

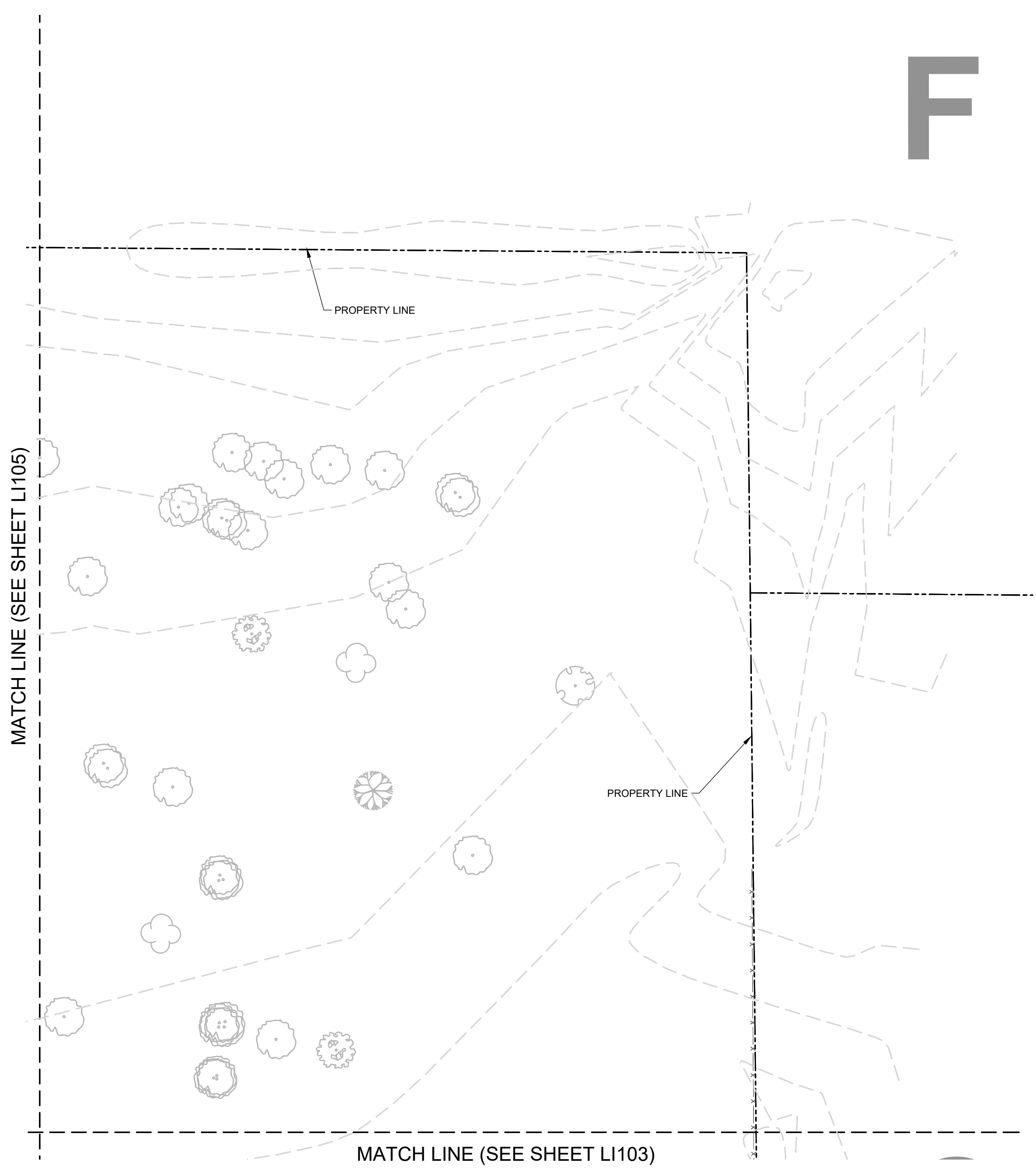
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F



A1 IRRIGATION PLAN - AREA F
1" = 30'

A:\2022\40108.22\03_DSGN\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LI106-40108.DWG, 9/14/2023 12:47 PM, amsoy



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PROJECT NO.
4108.22
KEY PLAN

Table with 2 columns: #, DATE, DESCRIPTION. Row 1: 3, 09/15/2023, Development Plan Re-Submittal. Row 2: 2, 09/08/2023, Development Plan Re-Submittal. Row 3: 1, 08/25/2023, Development Plan Submittal.

Irrigation Notes
And Schedules
LI107

IRRIGATION - GENERAL NOTES

- A. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO INITIATING WORK.
B. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE OR INTERRUPTION IN SERVICE CAUSED BY HIS EXCAVATIONS AND/OR WORK.
C. IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR ACCOMPLISHING FULL COVERAGE IN ALL AREAS WITH SPECIFIED EQUIPMENT. ANY DISCREPANCIES IN THE PLAN SHOULD BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION BEFORE BID.
D. WHERE TREES, LIGHT STANDARDS, ETC. ARE AN OBSTRUCTION OF PIPING AND DRIP EMITTERS THE IRRIGATION SHALL BE ADJUSTED AND/OR RELOCATED AS NECESSARY TO OBTAIN FULL COVERAGE WITH MINIMAL OVERSPRAY INTO NON-LANDSCAPE AREAS OR ONTO HARD CONSTRUCTION.
E. ALL FITTINGS AND NECESSARY EQUIPMENT REQUIRED TO MAKE THIS IRRIGATION SYSTEM OPERATE ACTUALLY AND TO COMPLY WITH LOCAL AND STATE CODES ARE INCIDENTAL TO THESE PLANS AND ARE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO CONSTRUCT PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH PLANS, WRITTEN SPECIFICATIONS, AND DETAILS.
F. THIS IRRIGATION SYSTEM WAS DESIGNED FOR A MINIMUM STATIC PRESSURE AT THE POINT OF CONNECTION AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN WHAT IS SPECIFIED ON THE PLANS THE CONTRACTOR SHALL RECEIVE DIRECTION FROM THE LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY.
G. CONTRACTOR WILL BE HELD LIABLE FOR GAINING ACCESS UNDER ALL PAVEMENTS. IF SLEEVES ARE INDICATED ON THE PLANS THEY SHOULD BE VERIFIED FOR FEASIBILITY AND PASSIBILITY BEFORE BID IS MADE. IF NOT, THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF SLEEVE PIPING WITH ALL TRADES TO INSURE THAT SLEEVES ARE INSTALLED PROPERLY PRIOR TO INSTALLATION OF CURB AND GUTTER, ASPHALT PAVING, SIDEWALKS, CONCRETE PADS, ETC.
H. THE CONTRACTOR SHALL LOCATE AND VERIFY WATER SUPPLY TO WHICH THE IRRIGATION SYSTEM WILL CONNECT. ALL EQUIPMENT AND INSTALLATION METHODS SHALL COMPLY WITH ALL LOCAL, REGIONAL, STATE, AND FEDERAL GUIDELINES.
I. THIS IRRIGATION SYSTEM HAS BEEN DESIGNED FOR THE USE OF WATER THAT IS NOTABLE.
J. CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS AND METERS REQUIRED FOR THE FULL IMPLEMENTATION OF THE SYSTEM.
K. THE CONTRACTOR SHALL IDENTIFY AND MARK "YIP-INS" LOCATIONS AND CONTROLLER CONNECTIONS WITH THE OWNERS' AGENT PRIOR TO INSTALLATION.
L. ALL VALVES SHALL BE LOCATED IN PLANTING AREAS WHERE SHOWN AND ALL PIPING SHALL BE INSTALLED PRIOR TO LATERAL PIPING WORK. IF NOT, THE CONTRACTOR SHALL SIZE VALVE BOXES TO HOUSE ENTIRE IRRIGATION ASSEMBLIES AS SHOWN. VALVE BOX EXTENSIONS AS MANUFACTURED BY THE VALVE BOX SUPPLIER SHALL BE INSTALLED TO MAINTAIN THE VALVE BOX COVER FLUSH WITH THE FINISHED GRADE AND THE VALVE BOX BASE A MINIMUM OF 2 INCHES BELOW THE BOTTOM OF ANY IRRIGATION ASSEMBLY.
M. NO TEES, ELLS, OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVING.
N. CONTRACTOR SHALL SIZE VALVE BOXES TO HOUSE ENTIRE IRRIGATION ASSEMBLIES AS SHOWN. VALVE BOX EXTENSIONS AS MANUFACTURED BY THE VALVE BOX SUPPLIER SHALL BE INSTALLED TO MAINTAIN THE VALVE BOX COVER FLUSH WITH THE FINISHED GRADE AND THE VALVE BOX BASE A MINIMUM OF 2 INCHES BELOW THE BOTTOM OF ANY IRRIGATION ASSEMBLY.
O. PIPE SIZES SHOWN AT POINTS OF CONNECTION AND WHERE CHANGES IN PIPE SIZE OCCUR. ALL PIPES SHALL BE THE SIZE OF THE LAST PRECEDING SIZE CALLED OUT UPSTREAM OF EACH SECTION OF PIPE UNLESS OTHERWISE NOTED. LATERAL LINES WITH FLOW OF 10 GPM OR LESS SHALL BE SIZE 3/4".
P. EACH CONTROLLER WILL HAVE AN INDEPENDENT COMMON WIRE.
Q. SPLICES OF REMOTE CONTROL VALVE WIRES IS NOT ALLOWED BETWEEN CONTROLLER & VALVE BOX FOR REMOTE CONTROL VALVE. WIRES MUST BE CONTINUOUS FROM CONTROLLER TO REMOTE CONTROL VALVE WITHOUT SPLICING.
R. CONTRACTOR TO FLUSH ALL LINES PRIOR TO INSTALLING HEADS AND EMITTERS.
S. ALL TRENCH BACKFILL SHALL BE CLEAN MATERIAL FROM EXCAVATION BACKFILL. TRENCH IS TO BE EVEN WITH EXISTING GRADES AFTER COMPACTION.
T. TRENCH BACKFILL MATERIAL SHALL BE WATER SETTLED AND COMPACTED.
U. ALL REMOTE CONTROL VALVE WIRES NEED TO BE LABELED AT VALVE WITH WEATHER (WATER) PROOF LABELS AND AT CONTROLLER WITH CORRESPONDING LABEL.
V. CONTRACTOR SHALL PLACE ALL SPRAY AND ROTARY HEADS AT LEAST 4" INSIDE FROM ANY CURBING, SIDEWALK, FENCING, OR BUILDING.
W. COORDINATE BACKFLOW PREVENTION ASSEMBLY TEST AS PER LOCAL REGULATIONS.
X. CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION FOR ALL PLANT MATERIAL AND TREES TO REMAIN DURING THE CONSTRUCTION DURATION WITHIN LIMITS OF CONSTRUCTION.
Y. NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN THE ROOT ZONES OF EXISTING TREES. HAND-DIG ONLY, WITHIN THE ROOT ZONES OF EXISTING TREES. NO ROOTS OVER 1" DIAMETER SHALL BE CUT. STAKE ALL PROPOSED TRENCH ROUTES NEAR EXISTING TREES FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS.

IRRIGATION - TCEQ GENERAL NOTES

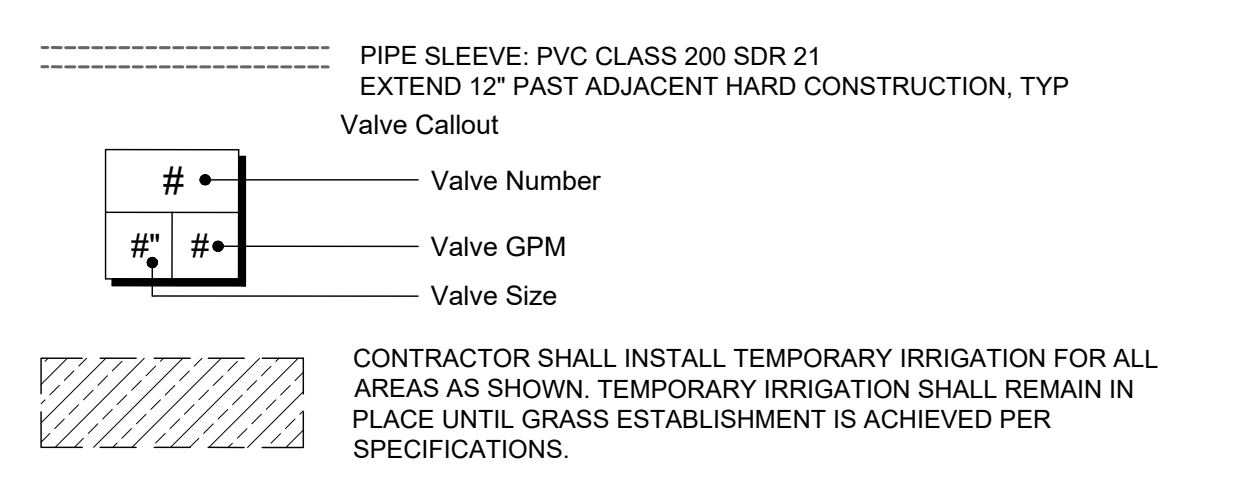
- 1. THIS IRRIGATION SYSTEM HAS BEEN DESIGNED AND SHALL BE INSTALLED ACCORDING TO TEXAS ADMINISTRATIVE CODE, TITLE 30 - ENVIRONMENTAL QUALITY, PART 1 - TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) CHAPTER 344 - LANDSCAPE IRRIGATION. THE FOLLOWING INFORMATION IS PROVIDED AS A COURTESY AND IS NOT A COMPLETE LIST OF TCEQ REQUIREMENTS.
2. THE MAXIMUM SPACING BETWEEN EMISSION DEVICES MUST NOT EXCEED THE MANUFACTURER'S PUBLISHED RADIUS OR SPACING OF THE DEVICE.
3. NEW IRRIGATION SYSTEMS SHALL NOT UTILIZE ABOVE-GROUND SPRAY EMISSION DEVICES IN LANDSCAPES THAT ARE LESS THAN 40 INCHES NOT INCLUDING THE INTERVIOUS SURFACES IN EITHER LENGTH OR WIDTH AND WHICH CONTAIN IMPERVIOUS PEDESTRIAN OR VEHICULAR TRAFFIC SURFACES ALONG TWO OR MORE PERIMETERS.
4. EMISSION DEVICES MUST BE INSTALLED TO OPERATE AT THE MINIMUM AND NOT ABOVE THE MAXIMUM SPRINKLER HEAD PRESSURE AS PUBLISHED BY THE MANUFACTURER FOR THE NOZZLE AND HEAD SPACING THAT IS USED.
5. IRRIGATION SYSTEMS SHALL NOT SPRAY WATER OVER SURFACES MADE OF CONCRETE, ASPHALT, BRICK, WOOD, STONES SET WITH MORTAR, OR ANY OTHER IMPERVIOUS MATERIAL, SUCH AS, BUT NOT LIMITED TO, WALLS, FENCES, SIDEWALKS, STREETS, ETC.
6. ALL NEW IRRIGATION SYSTEMS THAT ARE INSTALLED USING PVC PIPE AND FITTINGS SHALL BE PRIMED WITH A COLORED PRIMER PRIOR TO APPLYING THE PVC CEMENT.
7. THE IRRIGATION SYSTEM MUST INCLUDE AN ISOLATION VALVE BETWEEN THE WATER METER AND THE BACKFLOW PREVENTION DEVICE.
8. WATER CONTAINED WITHIN THE PIPING OF AN IRRIGATION SYSTEM IS DEEMED TO BE NON-POTABLE. NO DRINKING OR DOMESTIC WATER USAGE, SUCH AS, BUT NOT LIMITED TO, FILLING SWIMMING POOLS OR DECORATIVE FOUNTAINS, SHALL BE CONNECTED TO AN IRRIGATION SYSTEM.
9. HOSE BIBS MUST BE INSTALLED USING A QUICK COUPLER KEY OR A QUICK COUPLER INSTALLED IN A COVERED PURPLE VALVE BOX AND THE HOSE BIB AND ANY HOSES CONNECTED TO THE BIB MUST BE LABELED "NON-POTABLE, NOT FOR DRINKING WATER." AN ISOLATION VALVE MUST BE INSTALLED UPSTREAM OF A QUICK COUPLER CONNECTING A HOSE BIB TO AN IRRIGATION SYSTEM.
10. A LICENSED IRRIGATOR OR A LICENSED IRRIGATION TECHNICIAN SHALL BE ON-SITE AT ALL TIMES WHILE THE LANDSCAPE IRRIGATION SYSTEM IS BEING INSTALLED.
11. UPON COMPLETION OF THE IRRIGATION SYSTEM, THE IRRIGATOR OR IRRIGATION TECHNICIAN WHO PROVIDED SUPERVISION FOR THE ON-SITE INSTALLATION SHALL BE REQUIRED TO COMPLETE FOUR ITEMS: (1) A FINAL "WALK THROUGH" WITH THE IRRIGATION SYSTEM'S OWNER OR THE OWNER'S REPRESENTATIVE TO EXPLAIN THE OPERATION OF THE SYSTEM; (2) THE MAINTENANCE CHECKLIST ON WHICH THE IRRIGATOR OR IRRIGATION TECHNICIAN SHALL OBTAIN THE SIGNATURE OF THE IRRIGATION SYSTEM'S OWNER OR OWNER'S REPRESENTATIVE AND SHALL SIGN, DATE, AND SEAL THE CHECKLIST; (3) A PERMANENT STICKER WHICH CONTAINS THE IRRIGATOR'S NAME, LICENSE NUMBER, COMPANY NAME, TELEPHONE NUMBER AND THE DATES OF THE WARRANTY PERIOD SHALL BE AFFIXED TO EACH AUTOMATIC CONTROLLER INSTALLED BY THE IRRIGATOR OR IRRIGATION TECHNICIAN; (4) THE IRRIGATION PLAN INDICATING THE ACTUAL INSTALLATION OF THE SYSTEM MUST BE PROVIDED TO THE IRRIGATION SYSTEM'S OWNER OR OWNER REPRESENTATIVE.
12. THE ITEMS ON THE MAINTENANCE CHECKLIST SHALL INCLUDE BUT ARE NOT LIMITED TO: (A) THE MANUFACTURER'S MANUAL FOR THE AUTOMATIC CONTROLLER, IF THE SYSTEM IS AUTOMATIC; (B) A SEASONAL (SPRING, SUMMER, FALL, WINTER) WATERING SCHEDULE BASED ON EITHER CURRENT/REAL TIME EVAPOTRANSPIRATION OR MONTHLY HISTORICAL REFERENCE EVAPOTRANSPIRATION (HISTORICAL ET) DATA, MONTHLY EFFECTIVE RAINFALL ESTIMATES, PLANT LANDSCAPE COEFFICIENT FACTORS, AND SITE FACTORS; (C) A LIST OF COMPONENTS, SUCH AS THE NOZZLE, OR PUMP FILTERS, AND OTHER SUCH COMPONENTS THAT REQUIRE MAINTENANCE AND THE RECOMMENDED FREQUENCY FOR THE SERVICE; AND (D) THE STATEMENT, "THIS IRRIGATION SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL LAWS, ORDINANCES, RULES, REGULATIONS OR ORDERS. I HAVE TESTED THE SYSTEM AND DETERMINED THAT IT HAS BEEN INSTALLED ACCORDING TO THE IRRIGATION PLAN AND IS PROPERLY ADJUSTED FOR THE MOST EFFICIENT APPLICATION OF WATER AT THIS TIME."
13. THE IRRIGATOR SHALL PRESENT THE IRRIGATION SYSTEM'S OWNER OR OWNER'S REPRESENTATIVE WITH A WRITTEN WARRANTY COVERING MATERIALS AND LABOR FURNISHED IN THE NEW INSTALLATION OF THE IRRIGATION SYSTEM. THE IRRIGATOR SHALL BE RESPONSIBLE FOR ADHERING TO TERMS OF THE WARRANTY. IF THE IRRIGATOR'S WARRANTY IS LESS THAN THE MANUFACTURER'S WARRANTY FOR THE SYSTEM COMPONENTS, THEN THE IRRIGATOR SHALL PROVIDE THE IRRIGATION SYSTEM'S OWNER OR THE OWNER'S REPRESENTATIVE WITH APPLICABLE INFORMATION REGARDING THE MANUFACTURER'S WARRANTY PERIOD. THE WARRANTY MUST INCLUDE THE IRRIGATOR'S SEAL, SIGNATURE, AND DATE. WRITTEN WARRANTY ON NEW IRRIGATION SYSTEMS MUST SPECIFY THE IRRIGATOR'S NAME, BUSINESS ADDRESS, AND BUSINESS TELEPHONE NUMBER(S). MUST CONTAIN THE SIGNATURE OF THE IRRIGATION SYSTEM'S OWNER OR OWNER'S REPRESENTATIVE CONFIRMING RECEIPT OF THE WARRANTY AND MUST INCLUDE THE STATEMENT: "IRRIGATION IN TEXAS IS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ), MC-178, P.O. BOX 130897, AUSTIN, TEXAS 78711-3087. TCEQ'S WEBSITE IS: WWW.TCEQ.STATE.TX.US."
14. ON ALL MAINTENANCE, ALTERATIONS, REPAIRS, OR SERVICE TO EXISTING IRRIGATION SYSTEMS, AN IRRIGATOR SHALL PRESENT THE IRRIGATION SYSTEM'S OWNER OR OWNER'S REPRESENTATIVE A WRITTEN DOCUMENT THAT IDENTIFIES THE MATERIALS FURNISHED IN THE MAINTENANCE, ALTERATION, REPAIR, OR SERVICE AND ALL APPLICABLE WARRANTIES.

VALVE SCHEDULE

Table with columns: NUMBER, MODEL, SIZE, TYPE, GPM, DESIGN PSI, FRICTION LOSS, VALVE LOSS, PSI, PSI @ POC, PRECIP. Lists various valve specifications for different irrigation zones.

IRRIGATION SCHEDULE

Table with columns: SYMBOL, MANUFACTURER/MODEL/DESCRIPTION, PSI. Lists various irrigation components like rain birds, rotors, and sensors.



CRITICAL ANALYSIS

Generated: 2023-09-13 17:00
P.O.C. NUMBER: 01
Water Source Information: New 3" Irrigation Meter. Ref. Civil.
FLOW AVAILABLE
Water Meter Size: 3"
Flow Available: 225 GPM
PRESSURE AVAILABLE
Static Pressure at POC: 80 PSI
Elevation Change: 5.00 ft
Service Line Size: 4"
Length of Service Line: 20 ft
Pressure Available: 78 PSI
DESIGN ANALYSIS
Maximum Multi-valve Flow: 180 GPM
Flow Available at POC: 225 GPM
Residual Flow Available: 45 GPM
Critical Station: 76
Design Pressure: 30 PSI
Friction Loss: 2.92 PSI
Frings Loss: 0.29 PSI
Elevation Loss: 0 PSI
Loss through Valve: 3.76 PSI
Pressure Req. at Critical Station: 37.0 PSI
Loss for Fittings: 1.38 PSI
Loss for Main Line: 13.8 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 15.1 PSI
Loss for Master Valve: 2.2 PSI
Loss for Water Meter: 7.23 PSI
Critical Station Pressure at POC: 76.73 PSI
Pressure Available: 78 PSI
Residual Pressure Available: 1.29 PSI

THIS DOCUMENT IS RELEASED ON SEPTEMBER 15, 2023 FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF LANDON G. BELL, R.L.A. TEXAS LICENSE #3245. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES. PARKHILL, SMITH & COOPER, INC.

Parkhill.com

Stephenville ISD Stadium
Honeybees & Yellowjackets



CROSSLAND - Parkhill

CLIENT

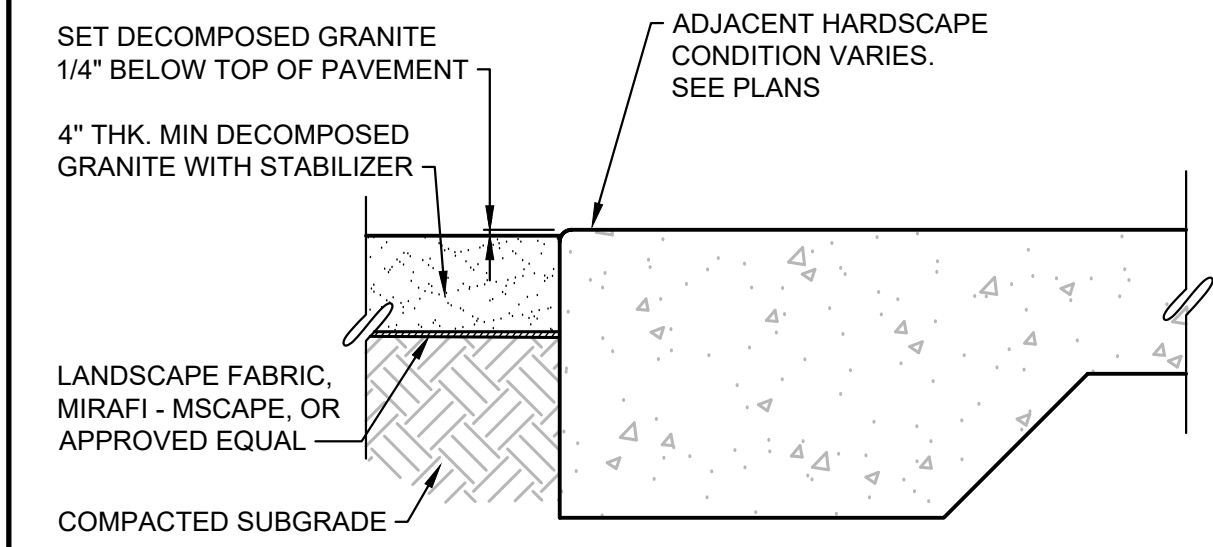
Stephenville ISD
N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

PROJECT NO.
40108.22

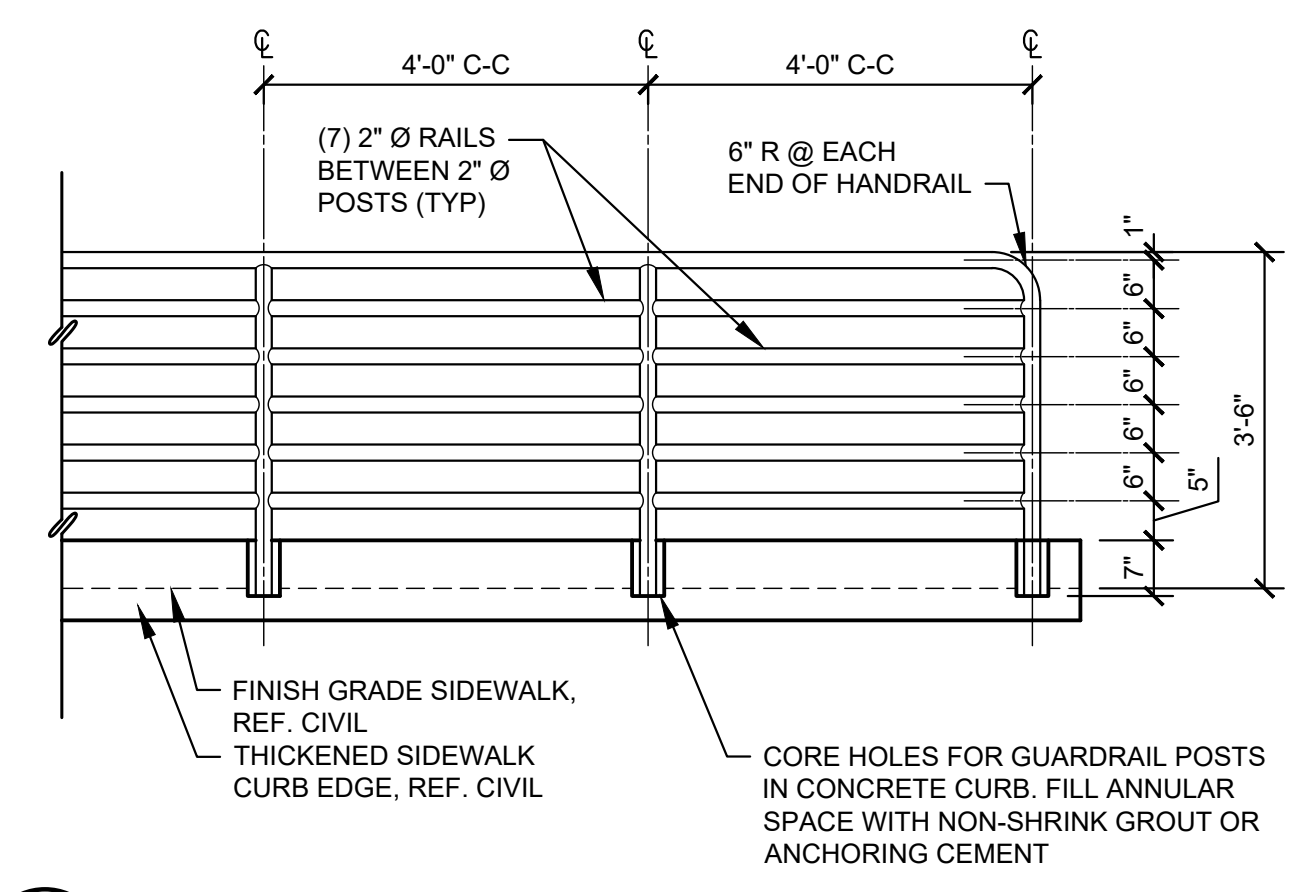
KEY PLAN

#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Landscape Details
L-501

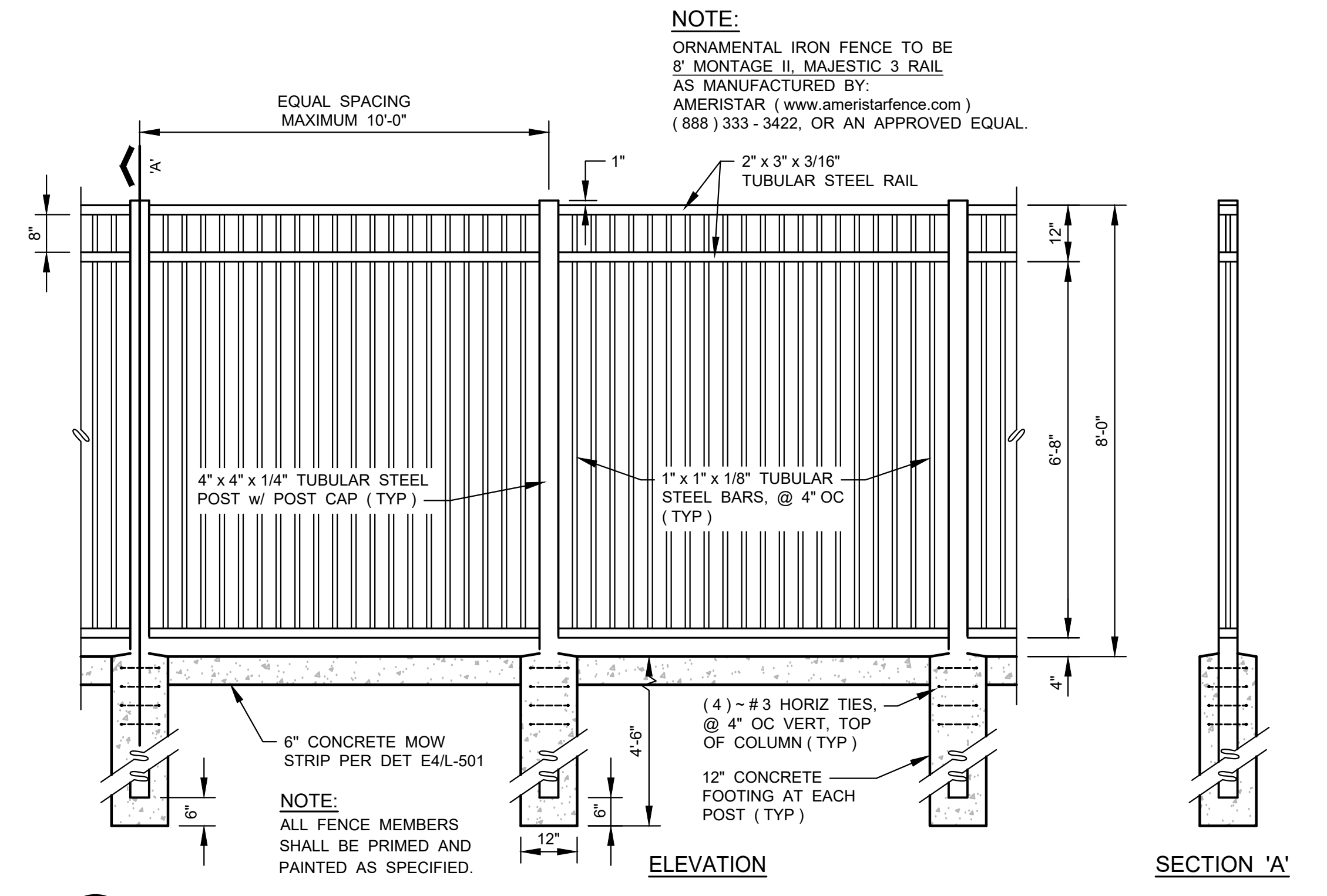


B1 DECOMPOSED GRANITE PAVING
1 1/2"=1'-0"
PVMT_DECOMP_GRANITE



B2 GUARD RAIL ELEVATION
SCALE: 1/2"=1'-0"
GARD_RAIL_ELEV.dwg

- GUARD RAIL NOTES**
- CENTER GUARD RAIL POSTS IN RAISED CURB.
 - RAIL POSTS SHALL BE VERTICAL.
 - GUARD RAIL SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION.
 - ALL WELDED AREAS TO BE GROUND SMOOTH PRIOR TO GALVANIZING.
 - ALL MEMBERS SHALL BE 2" DIA. SCHEDULE 40 STEEL PIPE.
 - GUARD RAIL SHALL BE PRIMED AND PAINTED. SUBMIT COLOR PALETTE FOR ARCHITECT AND OWNER SELECTION.
 - MAXIMUM OPEN SPACE BETWEEN RAILS IS 4".



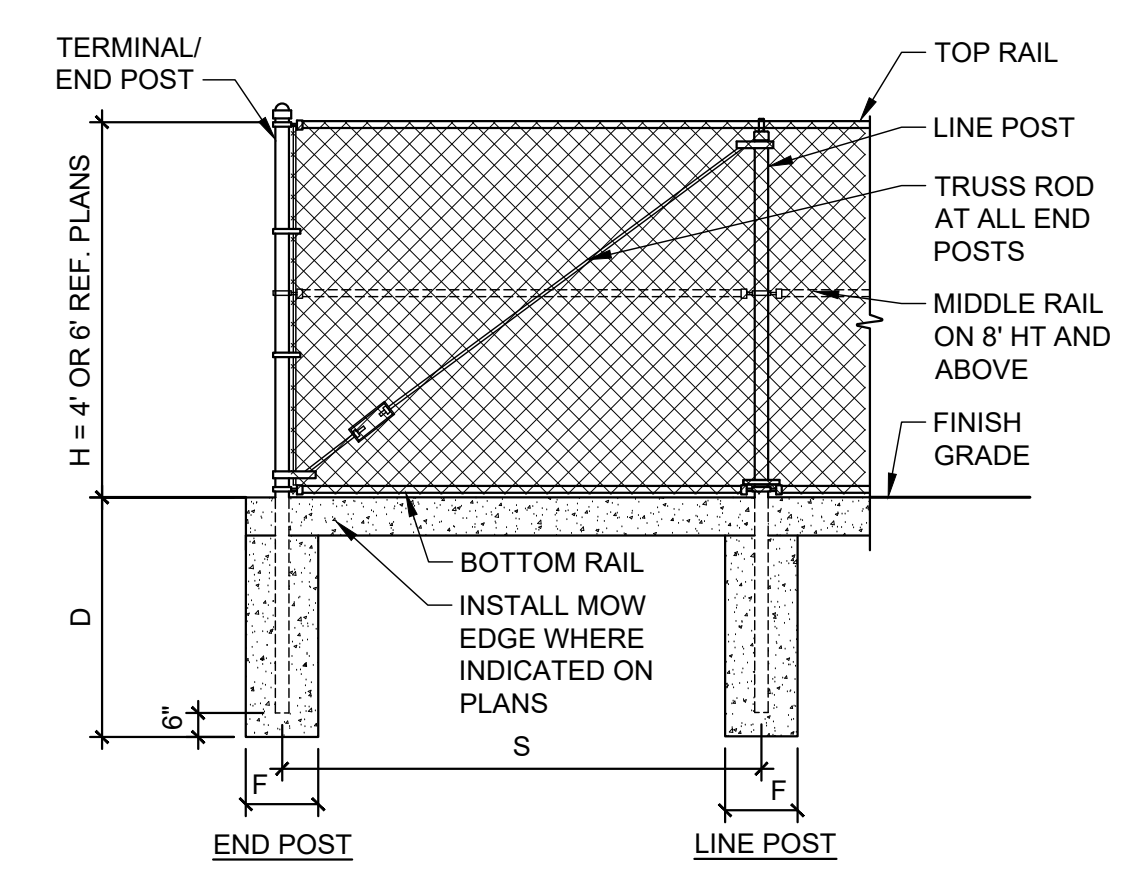
B4 8' ORNAMENTAL FENCE
1/2"=1'-0"
8_ORNA_FENC_01.dwg

NOTE:
ORNAMENTAL IRON FENCE TO BE 8' MONTAGE II, MAJESTIC 3 RAIL AS MANUFACTURED BY: AMERISTAR (www.ameristarfence.com) (888) 333-3422, OR AN APPROVED EQUAL.

NOTE:
ALL FENCE MEMBERS SHALL BE PRIMED AND PAINTED AS SPECIFIED.

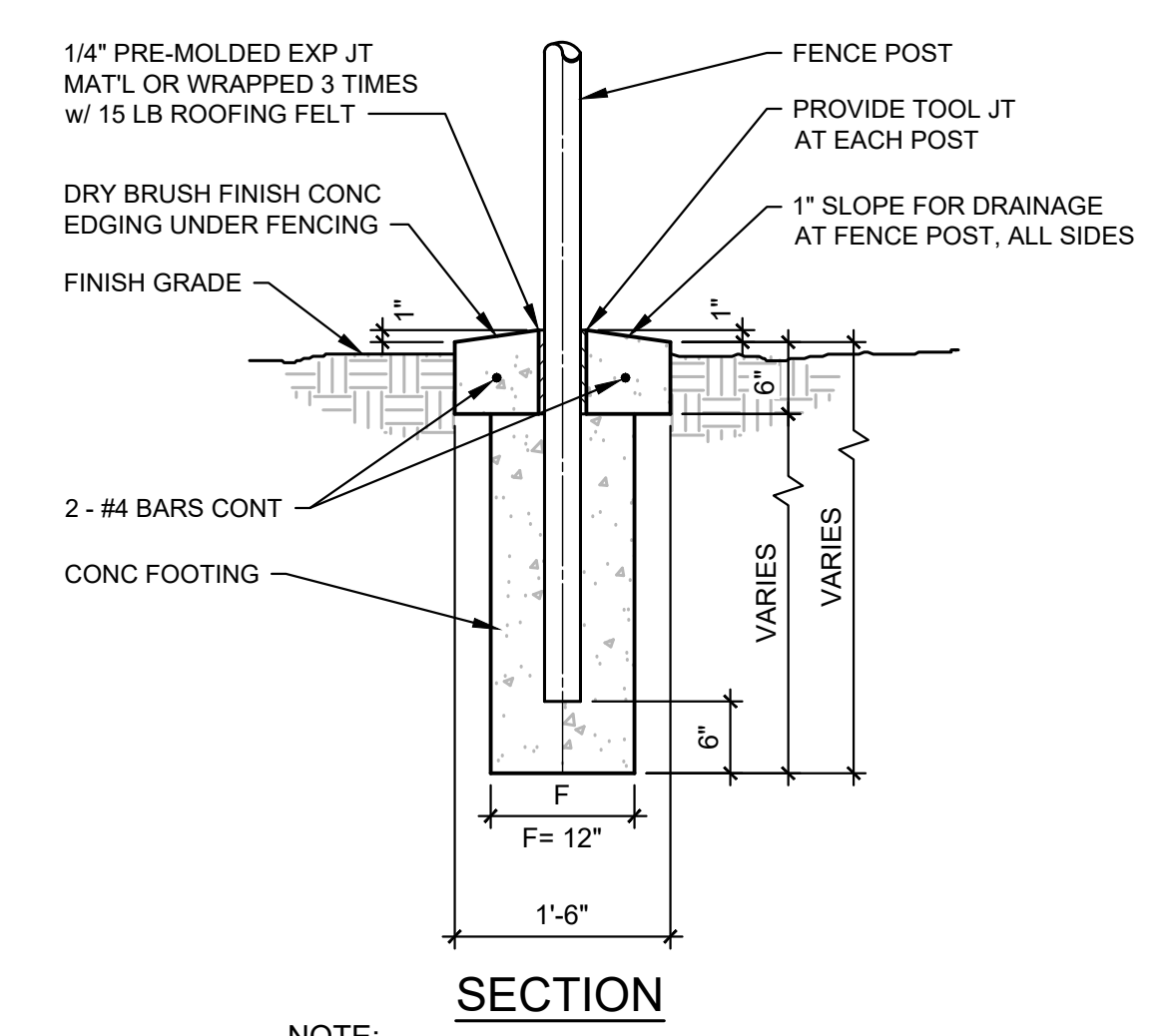
CHAIN LINK FENCE DATA (TYPE I - ASTM F1083-06 REG GRADE PIPE)

H = FENCE HEIGHT	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	10'-0"	12'-0"
END/TERMINAL/GATE POST SIZE	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 7/8" OD SCH 40	4" OD SCH 40	4" OD SCH 40	4" OD SCH 40
LINE POST SIZE	1 7/8" OD SCH 40	1 7/8" OD SCH 40	1 7/8" OD SCH 40	2 3/8" OD SCH 40	2 7/8" OD SCH 40	2 7/8" OD SCH 40	4" OD SCH 40
TOP AND BOTTOM RAIL	1 5/8" OD SCH 40	1 5/8" OD SCH 40	1 5/8" OD SCH 40	1 5/8" OD SCH 40	1 5/8" OD SCH 40	1 5/8" OD SCH 40	1 5/8" OD SCH 40
MIDDLE RAIL	N/A	N/A	N/A	N/A	1 5/8" OD SCH 40	1 5/8" OD SCH 40	1 5/8" OD SCH 40
GATE FRAME	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 3/8" OD SCH 40
D = FOOTING DEPTH	3'-6"	3'-6"	3'-6"	4'-0"	5'-6"	5'-6"	5'-6"
F = FOOTING DIAMETER	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
S = POST SPACING	10'-0" MAX OR AS SPEC'D	10'-0" MAX OR AS SPEC'D	10'-0" MAX OR AS SPEC'D	10'-0" MAX OR AS SPEC'D	10'-0" MAX OR AS SPEC'D	10'-0" MAX OR AS SPEC'D	10'-0" MAX OR AS SPEC'D
MESH SIZE	2"	2"	2"	2"	2"	1-3/4"	1-3/4"
FABRIC GAUGE	9	9	9	9	9	9	9

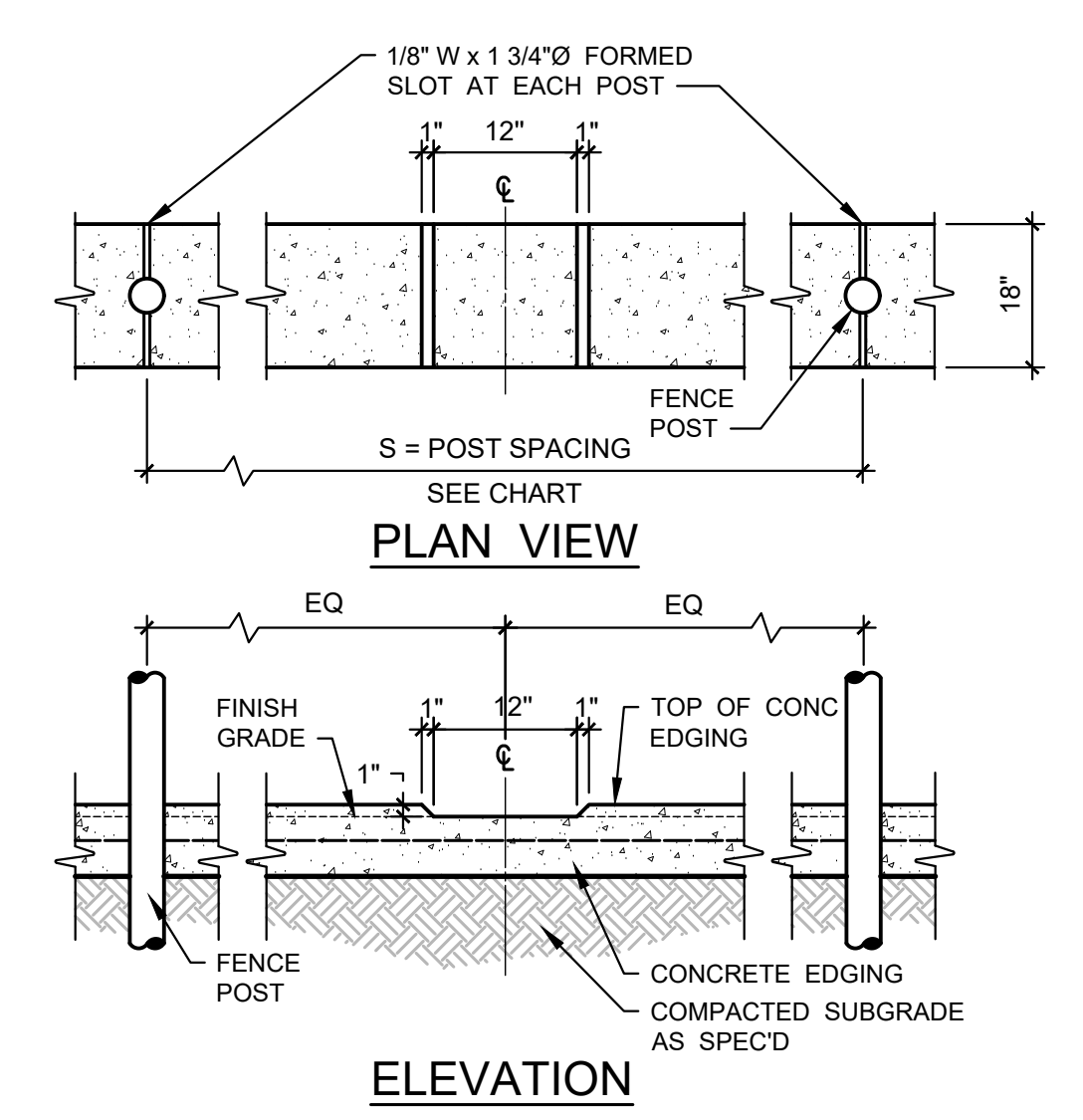


A1 CHAIN LINK FENCE (TYP)
1/4"=1'-0"

A2 CHAIN LINK FENCE SIZING CHARTS
FN_CH_LINK_CHART



A4 CONCRETE EDGING UNDER FENCE
3/4"=1'-0"

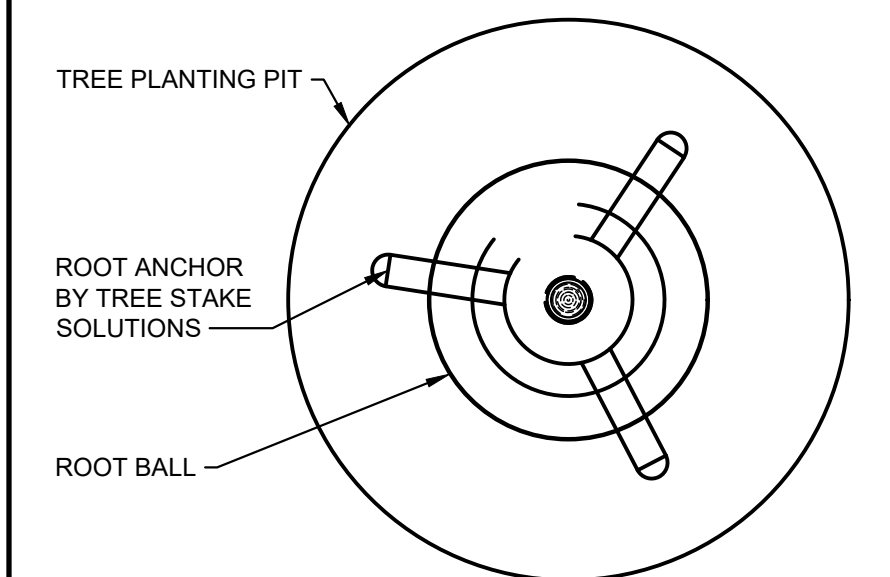


L_CONC_EDGE_UNDER_FENCE

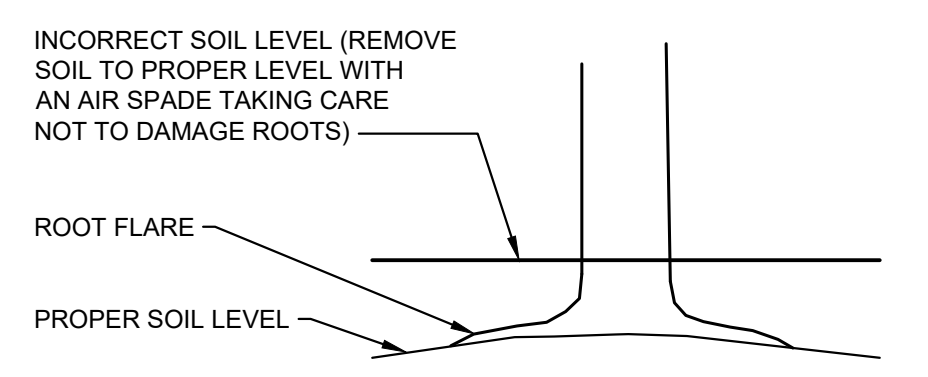
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#	DATE	DESCRIPTION
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal



PLAN VIEW



EXPOSED COVERED ROOT FLARE

* AFTER PLANTING, PRUNE ONLY CROSSING BRANCHES, BROKEN BRANCHES, DEAD BRANCHES AND/OR BRANCHES THAT POSE A HAZARD TO PARK USERS/PEDESTRIANS OR CLEARANCE OBSTRUCTIONS AT PARKING AND ALONG ROADWAYS.

TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE WILL BE REJECTED.

ROOT ANCHOR BY TREE STAKE SOLUTIONS. PROVIDE AND INSTALL THE APPROPRIATE SIZE ROOT ANCHOR AS RECOMMENDED BY THE MANUFACTURER. CONTACT 903-676-6143

1/2 ROOT BALL WIDTH (MINIMUM)

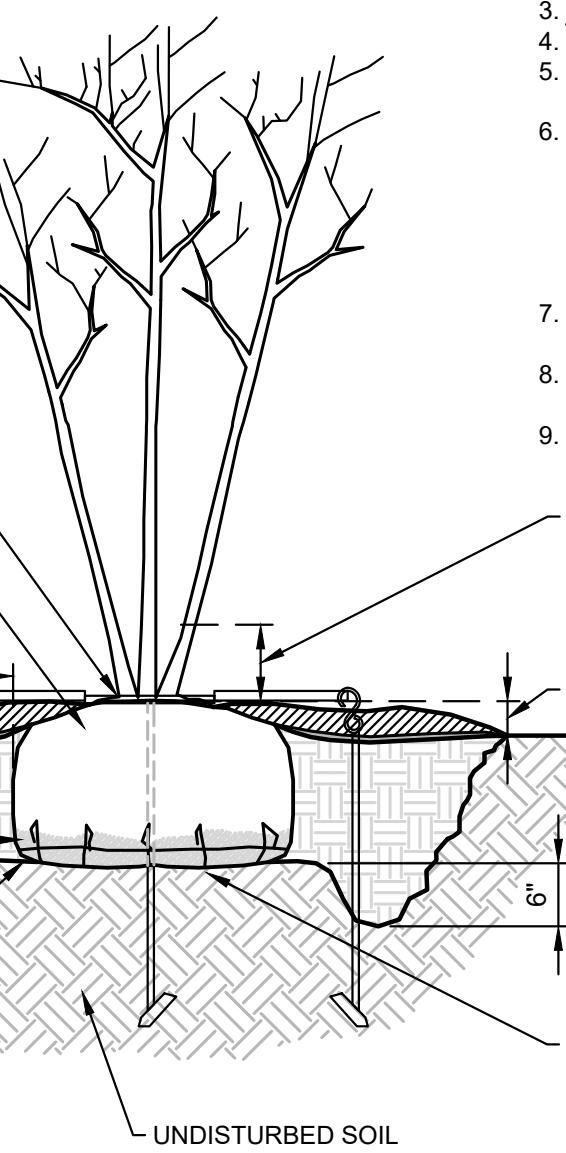
VARIES PER PLAN. 4" THK CRUSHED GRAVEL, AS SPEC'D OR 3" HARDWOOD MULCH AS SPEC'D. MULCH SHALL NOT BE PILED AROUND TRUNK, ROOT FLARE SHALL BE VISIBLE.

1" COMPOST, AS SPEC'D.

CUT AWAY AND REMOVE ALL GALVANIZED WIRE BASKET, TWINE, ROPE AND BURLAP FROM THE TOP TWO-THIRDS OF THE ROOT BALL BEFORE BACKFILLING THE PLANTING PIT. ALL TWINE, ROPE AND BURLAP MUST BE BIODEGRADABLE.

BACKFILL PLANTING PIT WITH NATIVE SOIL. MIX SOIL THOROUGHLY PRIOR TO BACKFILLING. SATURATE WITH WATER TO ELIMINATE VOIDS AND ENSURE FULL CONTACT WITH ROOT BALL.

SCARIFY BOTTOM AND SIDES OF PLANTING PIT. PLANTING PIT DEPTH TO BE 2" LESS THAN THE DEPTH OF THE ROOT BALL.



NOTES:

- TOP OF ROOT BALL SHALL BE TWO-INCHES (2") ABOVE FINISHED GRADE. ROOT FLARE MUST BE VISIBLE AFTER PLANTING AND MULCHING.
- DO NOT CONSTRUCT A WATER BASIN AROUND THE PLANTING PIT.
- DO NOT PILE MULCH AROUND THE TREE TRUNK.
- ROOT BOUND TREES WILL NOT BE ACCEPTED.
- TREES PLANTED TOO LOW, OR WITH THE ROOT FLARE COVERED, WILL NOT BE ACCEPTED.
- APPLY TREE WRAPPING MATERIAL ON SMOOTH BARKED TREES (i.e. MAPLES & RED OAK) INSTALLED DURING THE SPRING SEASON. WRAP TRUNK FROM GUYING STRAPS TO THE ROOT BALL. USE A WATERPROOF TAPE OR ADHESIVE TO AFFIX THE PRODUCT TO ITSELF. TREE WRAP IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF OCTOBER THAT SAME YEAR.
- TREE WRAP SHALL BE CLARK'S TREE WRAP BY WALTER E. CLARK & SON, INC., (203) 795-1235, OR APPROVED EQUAL.
- TREE STAKING IS TO BE REMOVED BY THE CONTRACTOR AFTER ONE (1) YEAR.
- REFERENCE PLANS AND PROJECT MANUAL FOR SPECIFICATIONS DEFINING SIZE, TYPE, QUALITY, ETC.

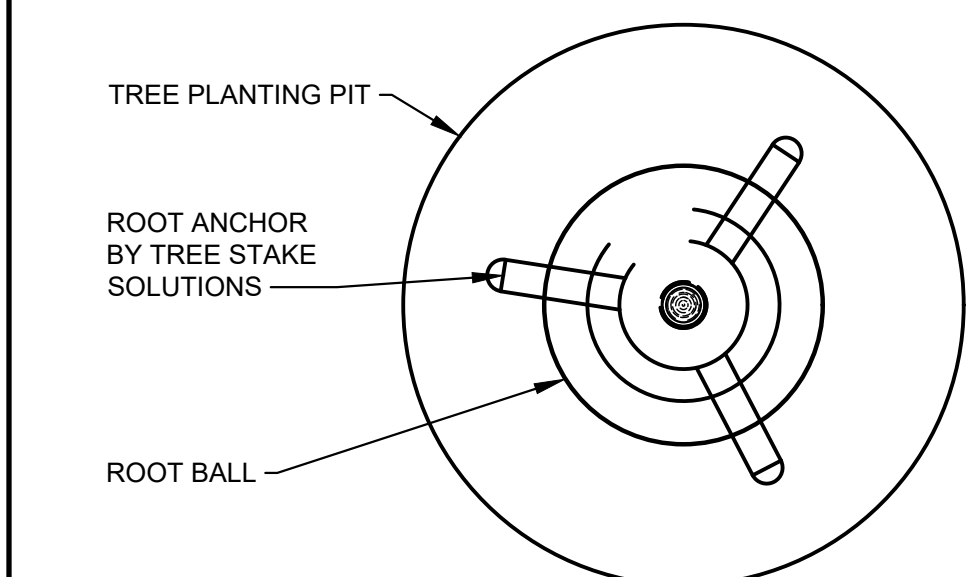
TREE CALIPER MEASURED ABOVE TOP OF ROOT BALL (6" FOR TREES LESS OR EQUAL TO 4" CALIPER AND 12" FOR TREES GREATER THAN 4" CALIPER).

SEE NOTE #1.

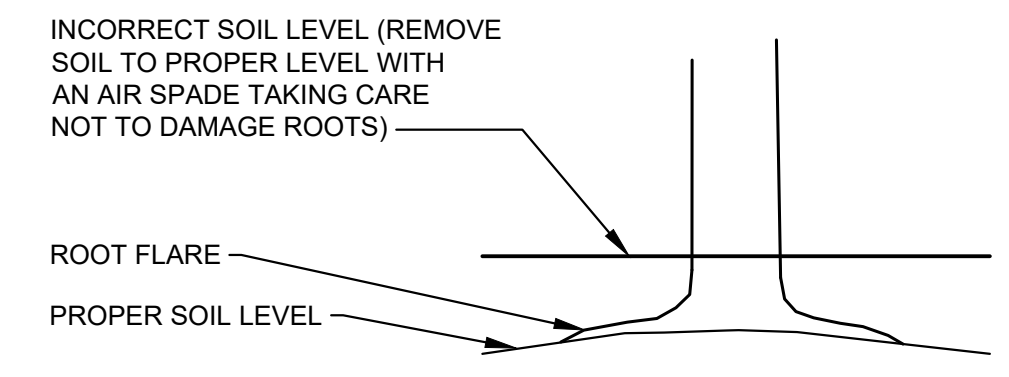
ROOT BALL TO BE PLACED ON UNDISTURBED SOIL. IF THE PLANTING PIT IS OVER-EXCAVATED, ADD FILL TO ACHIEVE THE PROPER PLANTING DEPTH AND TAMP THE SOIL TO COMPACT PRIOR TO PLANTING.

C1 MULTI-TRUNK TREE PLANTING AND STAKING
1/2"=1'-0"

L_PLANTING_TREE_MULTI-TRUNK 2



PLAN VIEW



EXPOSED COVERED ROOT FLARE

* AFTER PLANTING, PRUNE ONLY CROSSING BRANCHES, BROKEN BRANCHES, DEAD BRANCHES AND/OR BRANCHES THAT POSE A HAZARD TO PEDESTRIANS OR CLEARANCE OBSTRUCTIONS AT PARKING AND ALONG ROADWAYS.

TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE WILL BE REJECTED.

ROOT ANCHOR BY TREE STAKE SOLUTIONS. PROVIDE AND INSTALL THE APPROPRIATE SIZE ROOT ANCHOR AS RECOMMENDED BY THE MANUFACTURER. CONTACT 903-676-6143

1/2 ROOT BALL WIDTH (MINIMUM)

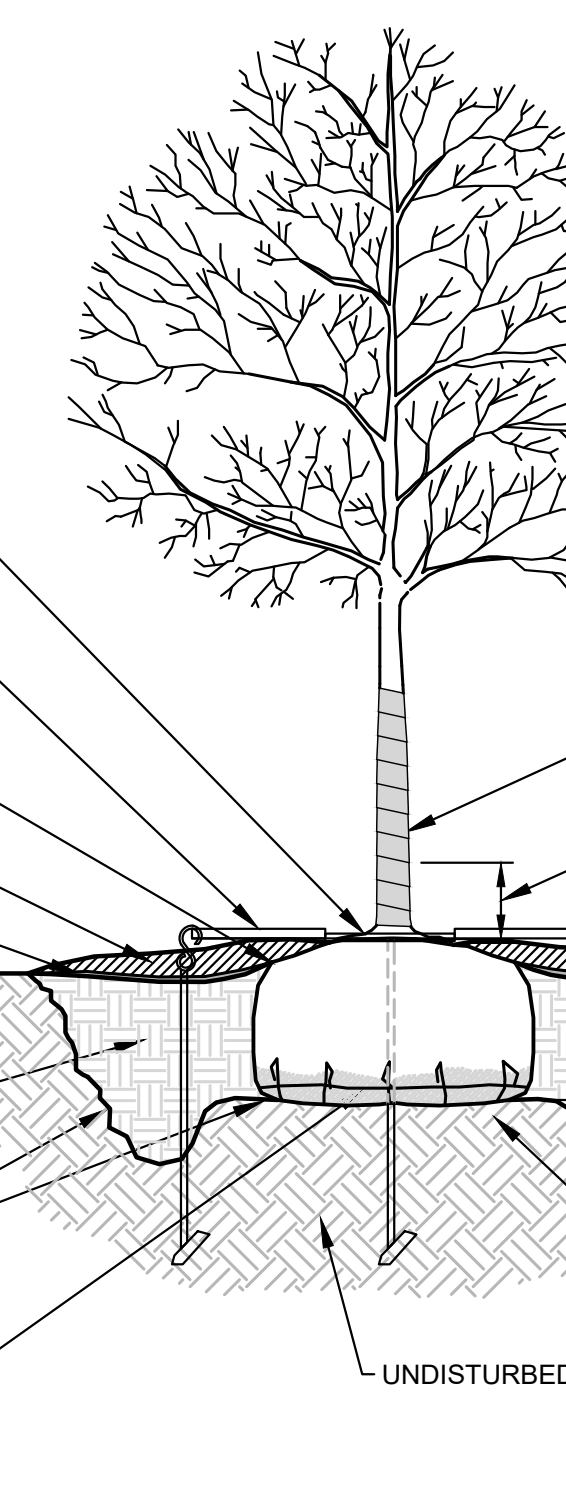
3" THK HARDWOOD MULCH AS SPEC'D. MULCH SHALL NOT BE PILED AROUND TRUNK, ROOT FLARE SHALL BE VISIBLE.

1" COMPOST, AS SPEC'D.

CUT AWAY AND REMOVE ALL GALVANIZED WIRE BASKET, TWINE, ROPE AND BURLAP FROM THE TOP TWO-THIRDS OF THE ROOT BALL BEFORE BACKFILLING THE PLANTING PIT. ALL TWINE, ROPE AND BURLAP MUST BE BIODEGRADABLE.

BACKFILL PLANTING PIT WITH NATIVE SOIL. MIX SOIL THOROUGHLY PRIOR TO BACKFILLING. SATURATE WITH WATER TO ELIMINATE VOIDS AND ENSURE FULL CONTACT WITH ROOT BALL.

SCARIFY BOTTOM AND SIDES OF PLANTING PIT. PLANTING PIT DEPTH TO BE 2" LESS THAN THE DEPTH OF THE ROOT BALL.



NOTES:

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- ROOT BOUND TREES WILL NOT BE ACCEPTED.
- TREES PLANTED TOO LOW, OR WITH THE ROOT FLARE COVERED, WILL NOT BE ACCEPTED.
- APPLY TREE WRAPPING MATERIAL ON SMOOTH BARKED TREES (i.e. MAPLES & RED OAK) INSTALLED DURING THE SPRING SEASON. WRAP TRUNK FROM GUYING STRAPS TO THE ROOT BALL. USE A WATERPROOF TAPE OR ADHESIVE TO AFFIX THE PRODUCT TO ITSELF. TREE WRAP IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF OCTOBER THAT SAME YEAR.
- TREE WRAP SHALL BE CLARK'S TREE WRAP BY WALTER E. CLARK & SON, INC., (203) 795-1235, OR APPROVED EQUAL.
- TREE STAKING IS TO BE REMOVED BY THE CONTRACTOR AFTER ONE (1) YEAR.
- REFERENCE PLANS AND PROJECT MANUAL FOR SPECIFICATIONS DEFINING SIZE, TYPE, QUALITY, ETC.

CLARK'S TREE WRAP AS SPEC'D, OR APPROVED EQUAL. SEE NOTE #6 FOR MORE INFORMATION.

TREE CALIPER MEASURED ABOVE TOP OF ROOT BALL (6" FOR TREES LESS OR EQUAL TO 4" CALIPER AND 12" FOR TREES GREATER THAN 4" CALIPER).

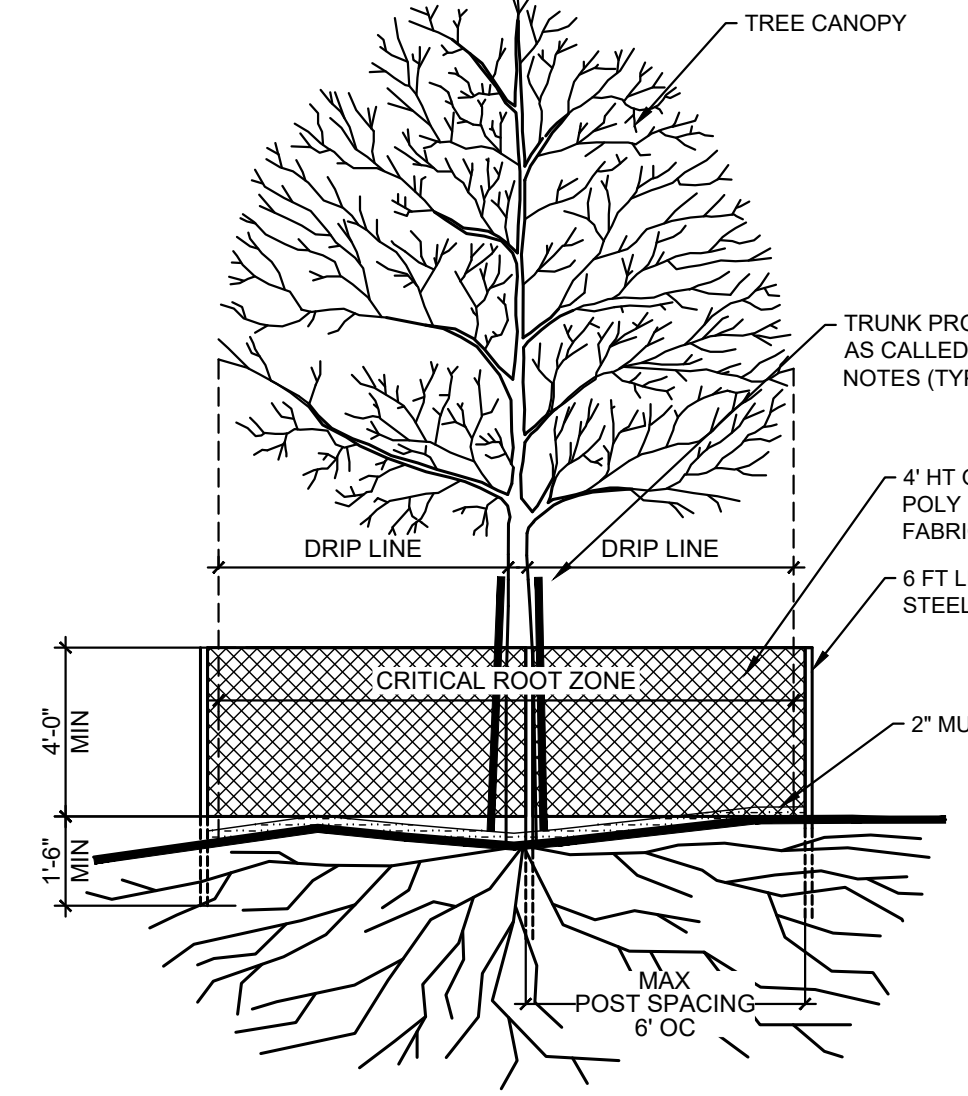
SEE NOTE #1.

ROOT BALL TO BE PLACED ON UNDISTURBED SOIL. IF THE PLANTING PIT IS OVER-EXCAVATED, ADD FILL TO ACHIEVE THE PROPER PLANTING DEPTH AND TAMP THE SOIL TO COMPACT PRIOR TO PLANTING.

A1 TREE PLANTING AND ANCHORING
1/2"=1'-0"

L_PLANTING_TREE_STANDARD

SINGLE TREE



***CRITICAL ROOT ZONE:**
THE AREA OF UNDISTURBED NATURAL SOIL AROUND A TREE DEFINED BY A CONCENTRIC CIRCLE WITH A RADIUS TO THE DISTANCE FROM THE TREE TRUNK TO THE OUTERMOST PORTION OF THE DRIP LINE.

DRIP LINE:
A VERTICAL LINE RUN THROUGH THE OUTERMOST PORTION OF THE CANOPY OF A TREE AND EXTENDING TO THE GROUND.

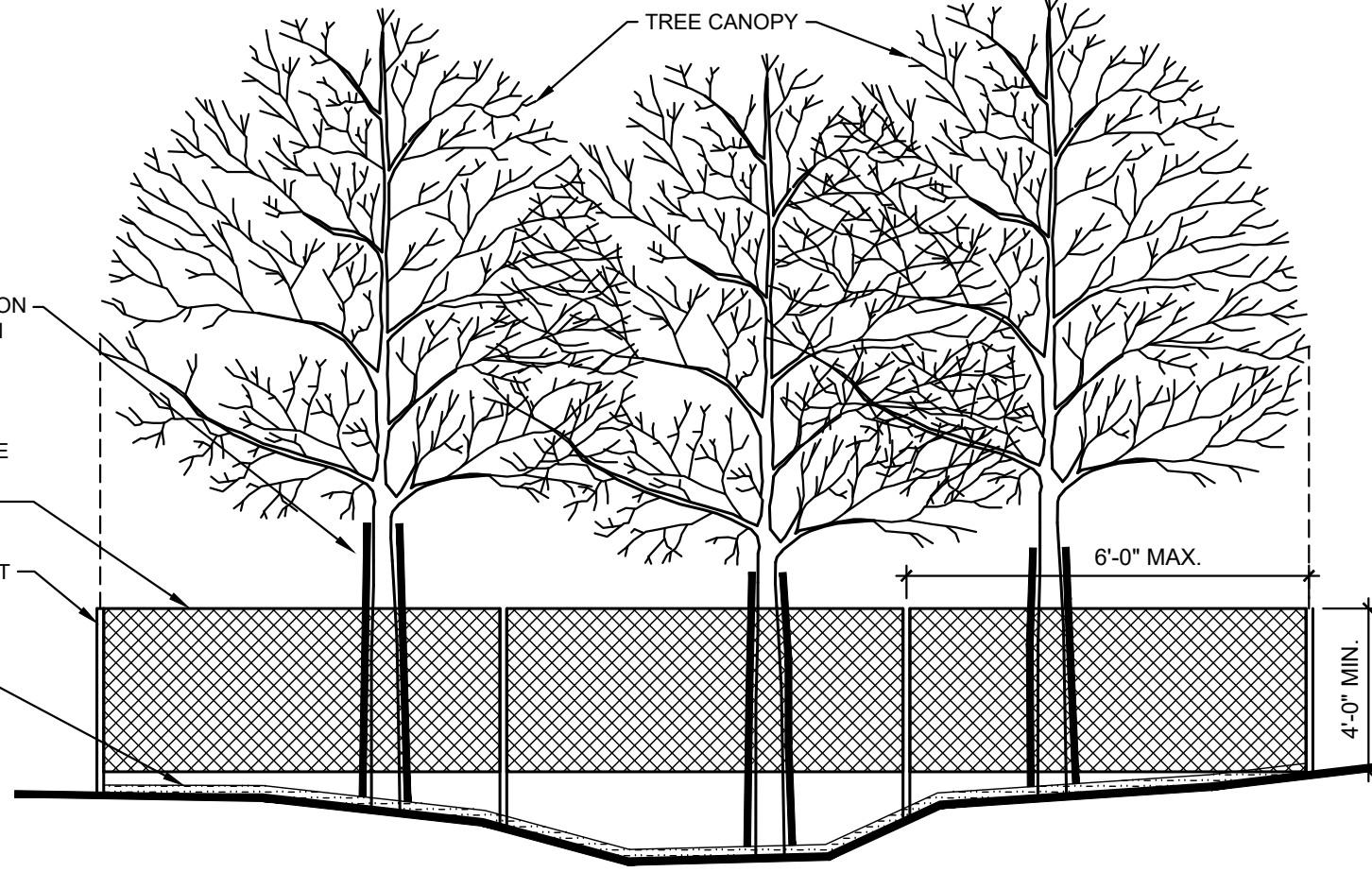
PROTECTIVE FENCING:
ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING, SNOW FENCING, OR OTHER SIMILAR FENCING AS SPECIFIED AT LEAST FOUR FEET (4') HIGH AND SUPPORTED AT A MAXIMUM OF SIX FOOT (6') INTERVALS BY APPROVED METHOD SUFFICIENT ENOUGH TO KEEP THE FENCE UPRIGHT AND IN PLACE. THIS FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL.

TREE PROTECTION NOTES

A. THE CONTRACTOR SHALL PROTECT THE TREE AND PLANT PROTECTION ZONE AT ALL TIMES FROM COMPACTION OF THE SOIL, DAMAGE OF ANY KIND TO TRUNKS, BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES WITH CONSTRUCTION MATERIALS, DEBRIS, SILT, FUELS, OILS, AND ANY CHEMICALS SUBSTANCE. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPILLS, COMPACTION OR DAMAGE AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.

B. THE CONTRACTOR SHALL NOT ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TREE AND PLANT PROTECTION ZONE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE, INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT; STORING SUPPLIES OR MATERIALS; LOCATING TEMPORARY FACILITIES INCLUDING TRAILERS OR PORTABLE TOILETS AND SHALL NOT PERMIT EMPLOYEES TO TRAVERSE THE AREA TO ACCESS ADJACENT AREAS OF THE PROJECT OR USE THE AREA FOR LUNCH OR ANY OTHER WORK BREAKS. PERMITTED ACTIVITY, IF ANY, WITHIN THE TREE AND PLANT PROTECTION AREA MAY BE INDICATED ON THE DRAWINGS ALONG WITH ANY REQUIRED REMEDIAL ACTIVITY AS LISTED BELOW.

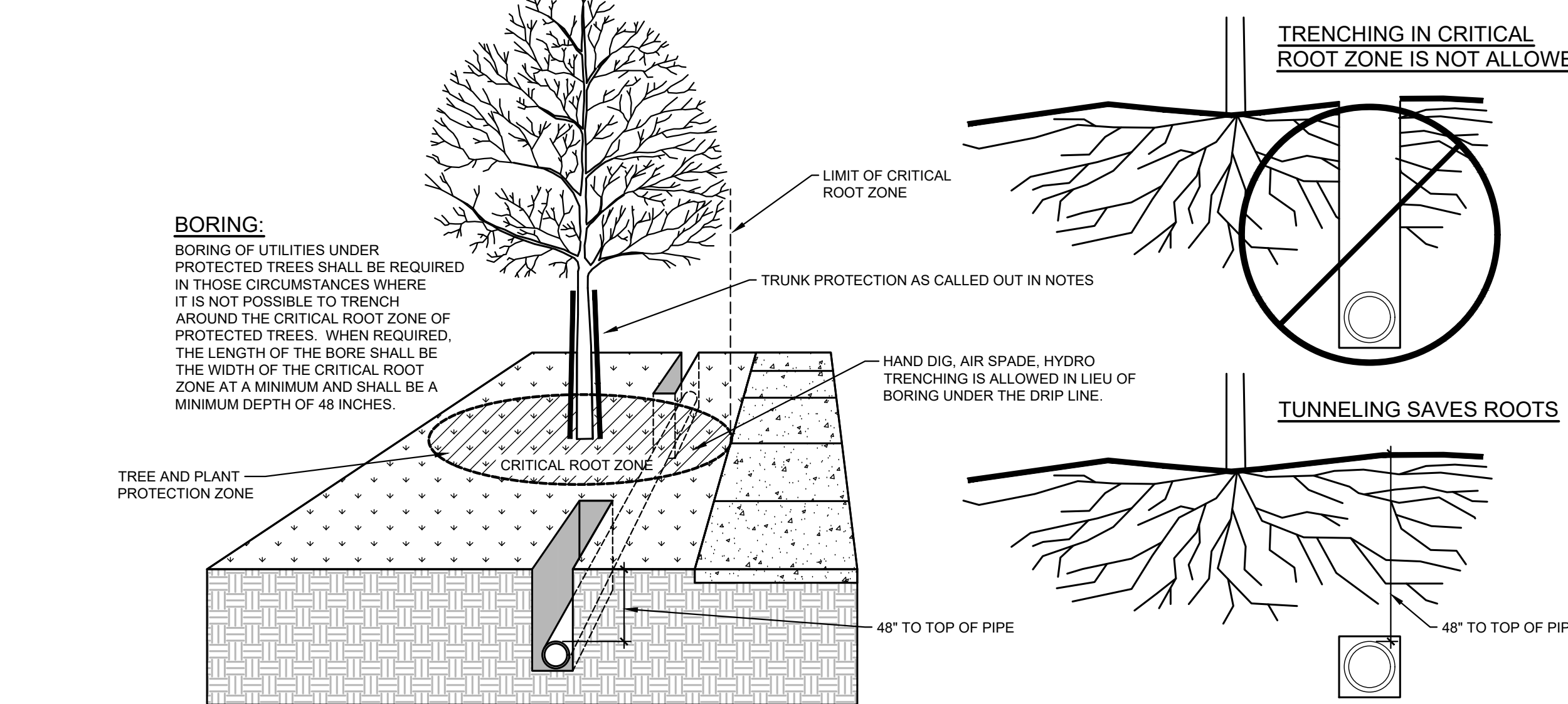
TREE CLUSTER



***THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY TREES TO REMAIN.**

- MATERIAL STORAGE:** NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE. EQUIPMENT CLEANING LIQUID DISPOSAL, NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW INTO THE CRITICAL ROOT ZONE OF A PROTECTED TREE.
- TREE ATTACHMENTS:** NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.
- VEHICULAR TRAFFIC:** NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.
- GRADE CHANGES:** PAVING WITHIN THE DRIP LINE SHALL BE APPROVED PRIOR TO CONSTRUCTION BY THE OWNER'S REPRESENTATIVE.
- IMPERVIOUS PAVING:** NO PAVING WITH ASPHALT, CONCRETE OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE.
- ROOT PRUNING:** ALL ROOTS ONE INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

TREE TRENCHING AND TUNNELING



TREE TRENCHING AND TUNNELING NOTES

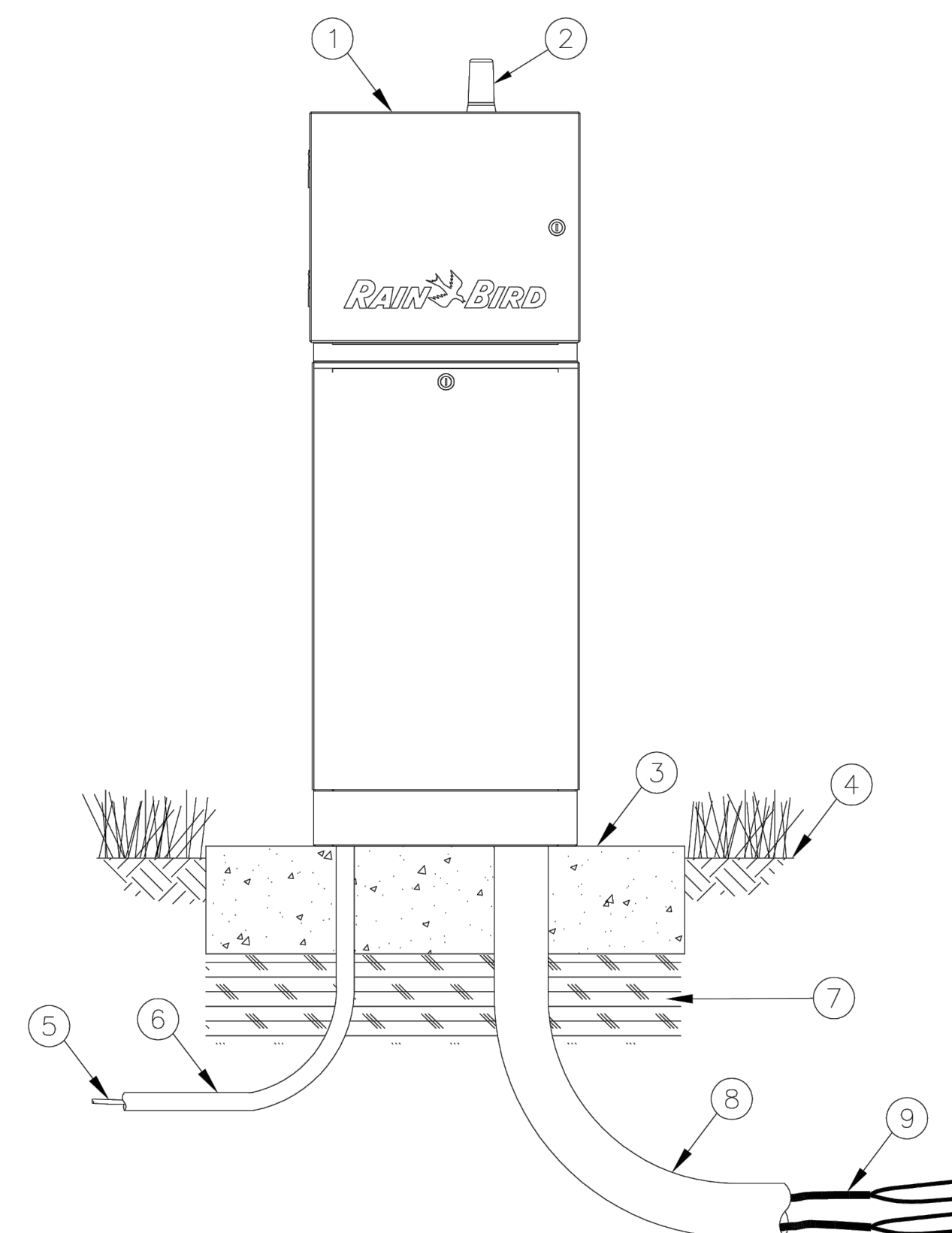
A. IN THE EVENT THAT CONSTRUCTION ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY, THE TIME PERIOD FOR THE ACTIVITY, AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. REMEDIAL ACTIONS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING: IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL.

B. WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN WOOD CHIPS AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER IN DIAMETER SHALL NOT BE CUT WITH OUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM. IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS POSSIBLE OVER EXPOSED ROOTS.

A4 TYPICAL TREE PROTECTION
1/2"=1'-0"

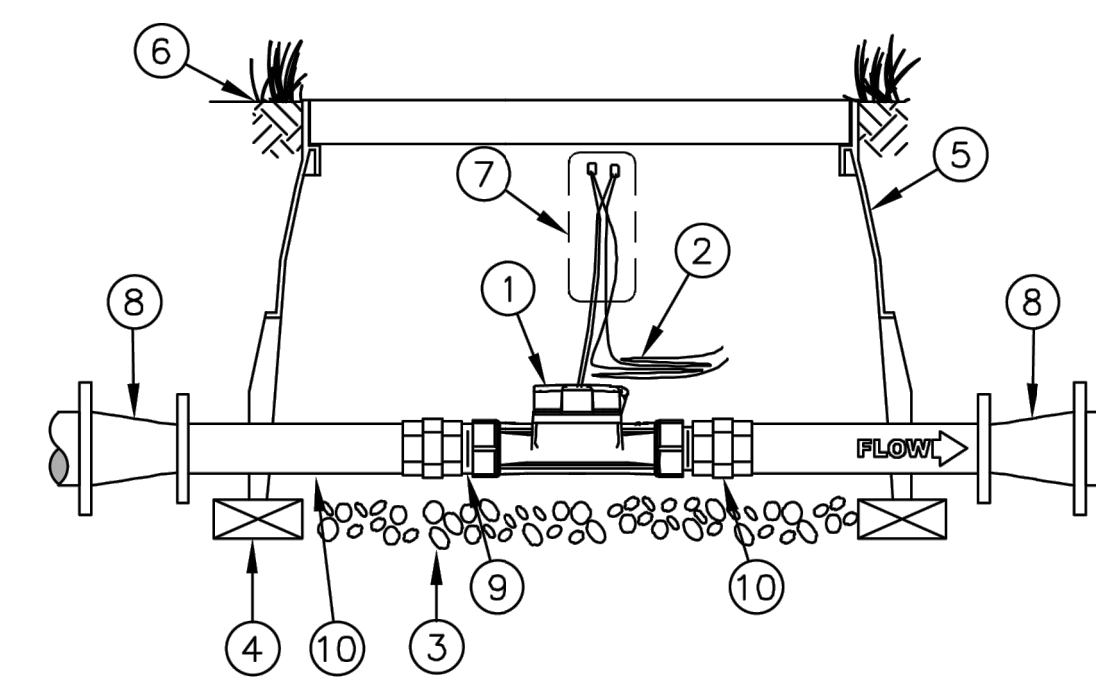
PLANT DET 6_REV

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- ① TWO-WIRE DECODER CONTROLLER:
RAIN BIRD IQ ESP-LXD SATELLITE TWO-WIRE DECODER CONTROLLER WITH IQ NCC GPRS CARTRIDGE IN LXMM METAL CABINET AND LXMPED METAL PEDESTAL. INSTALL CONTROLLER, CABINET AND PEDESTAL PER MANUFACTURER'S RECOMMENDATIONS.
- ② CELLULAR ANTENNA:
RAIN BIRD IQEXTANGP GPRS/CELLULAR EXTERNAL ANTENNA (FOR USE WITH LXMM METAL CABINET ONLY)
- ③ CONCRETE PAD: 6-INCH MINIMUM THICKNESS
- ④ FINISH GRADE
- ⑤ POWER SUPPLY WIRE
- ⑥ 1-INCH SCH 40 PVC CONDUIT, FITTINGS AND SWEEP ELL FOR POWER SUPPLY
- ⑦ COMPACTED SUBGRADE
- ⑧ 3-INCH SCH 40 PVC CONDUIT, FITTINGS AND SWEEP ELL FOR TWO WIRE CABLE
- ⑨ MAXICABLE TWO-WIRE PATH TO DECODERS
USE A DIFFERENT CABLE JACKET COLOR FOR EACH PATH

NOTES:
1. IQ ESP-LXD CONTROLLER COMES WITH 50 STATIONS AVAILABLE. TWO ADDITIONAL 75 STATION ESPLXD-SUM75 MODULES MAY BE ADDED TO EXPAND THE CONTROLLER UP TO 200 TOTAL STATIONS.
2. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.
3. OWNER IS RESPONSIBLE FOR PROVIDING CELLULAR SERVICE CAPABLE OF INTERFACING WITH NCC GPRS CARTRIDGE. INSTALL CONTROLLER IN A LOCATION TO MAXIMIZE ANTENNA RECEPTION. CONDUCT A SURVEY OF THE SITE TO ASSURE A VIABLE AND CONSISTENT CELLULAR CONNECTION BEFORE INSTALLING CONTROLLER.

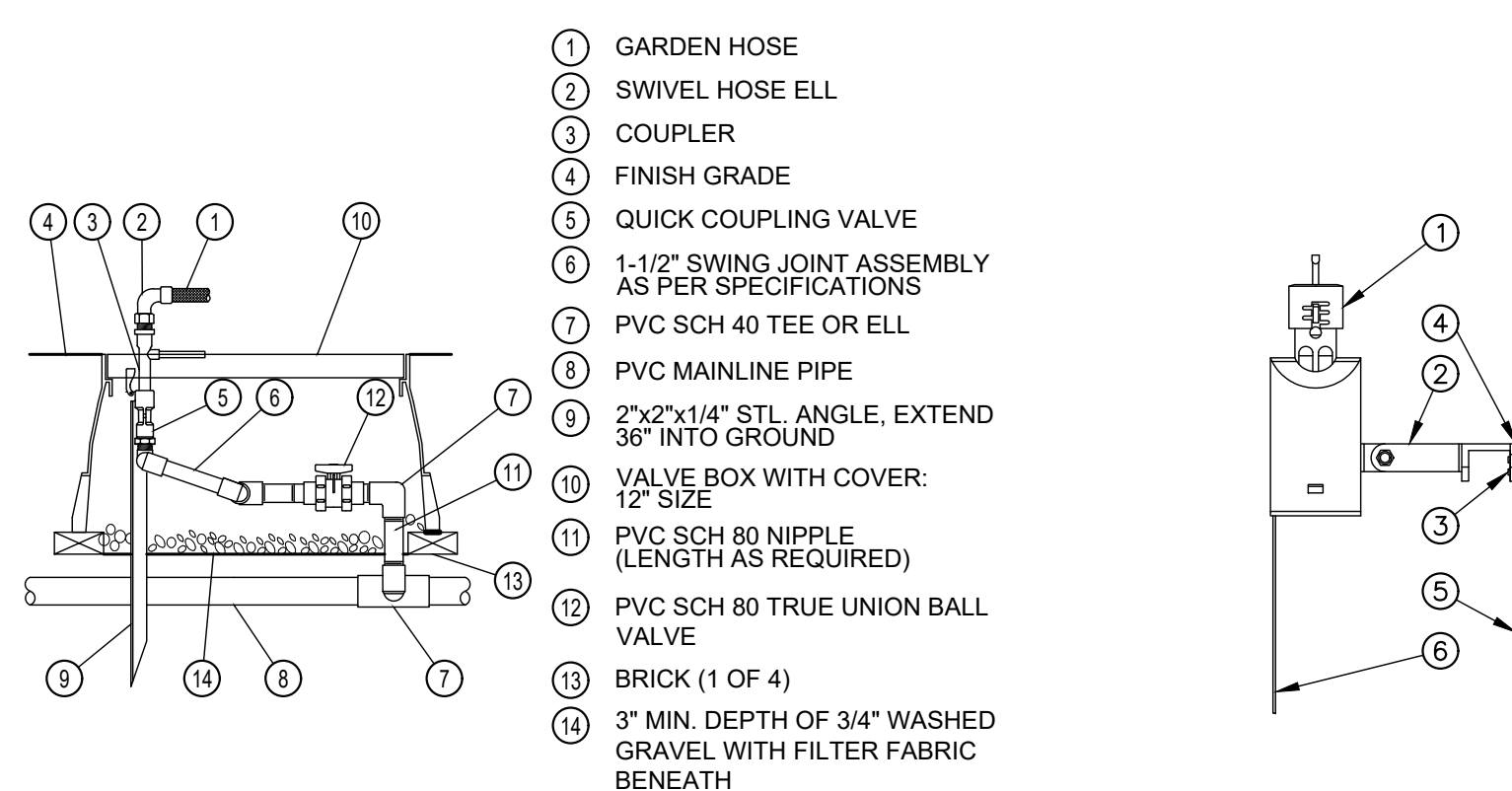


- ① RAIN BIRD UFS SERIES FLOW SENSOR
- ② 36" LENGTH OF COILED CONTROL WIRE
- ③ 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- ④ BRICK (1 OF 4)
- ⑤ STANDARD VALVE BOX WITH COVER
- ⑥ FINISH GRADE
- ⑦ SEE FLOW SENSOR WIRING DETAIL FOR WIRING DIAGRAM
- ⑧ CONCENTRIC REDUCER
- ⑨ PVC CLOSE NIPPLE (1 OF 2)
- ⑩ PVC UNION (1 OF 2)

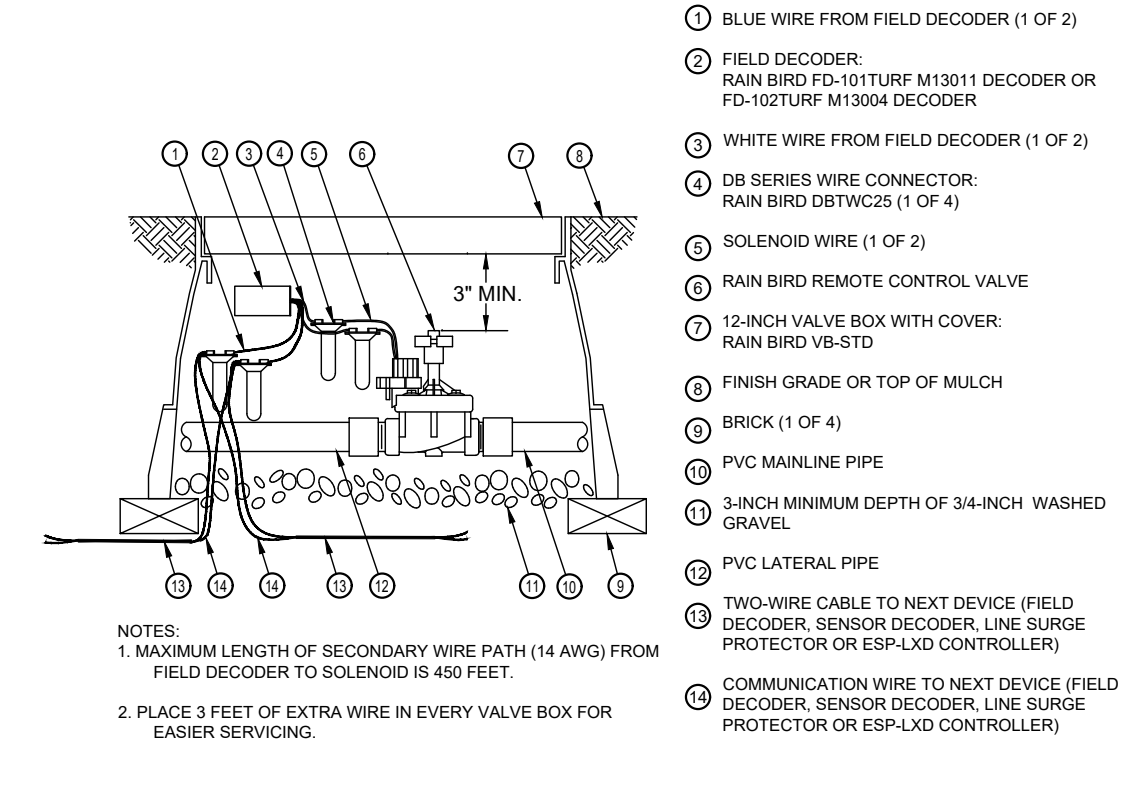
NOTES:
1. THE UFS CAN BE INSTALLED IN A VERTICAL POSITION WITH THE FLOW ARROW POINTING UPWARDS.
2. THE UFS SIZE MUST BE EQUAL TO OR SMALLER THAN THE INCOMING PIPE SIZE.
3. THE UFS DOES NOT REQUIRE STRAIGHT PIPE BEFORE OR AFTER SENSOR PLACEMENT.
4. NO BRICKS REQUIRED FOR RAIN BIRD VB-SERIES VALVE BOXES ONLY.

MODEL	SIZE	K	OFFSET	FLOW RANGE
UFS100	1"	0.25	0	0.3 – 50 GPM
UFS150	1.5"	1.70	-0.316	0.5 – 110 GPM
UFS200	2"	2.849	0.1439	1.0 – 200 GPM

C1 PEDESTAL CONTROLLER
NTS

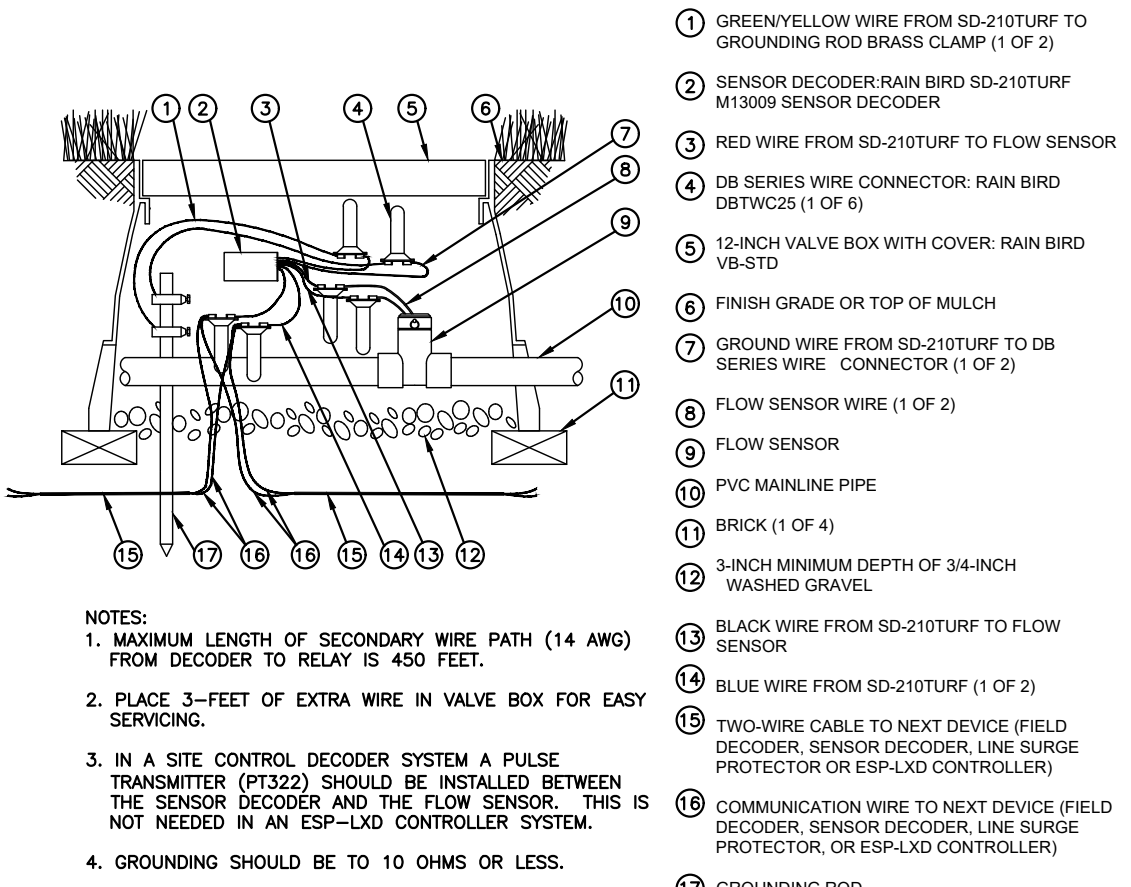


- ① WALL MOUNTED WIRELESS RAIN/FREEZE SENSOR. SEE PLAN FOR LOCATION
 - ② ADJUSTABLE MOUNTING BRACKET
 - ③ STAINLESS STEEL SCREWS FOR MOUNTING
 - ④ MOUNT TO BUILDING, MIN. 12' HEIGHT
 - ⑤ BUILDING
 - ⑥ ANTENNA
- NOTE:
MOUNT SENSOR VERTICALLY. AVOID PLACEMENT UNDER EYE OR TREE CANOPY. SEE PLAN FOR LOCATIONS



- ① BLUE WIRE FROM FIELD DECODER (1 OF 2)
- ② FIELD DECODER:
RAIN BIRD FD-10 TURF M3011 DECODER OR FD-10TURF M3004 DECODER
- ③ WHITE WIRE FROM FIELD DECODER (1 OF 2)
- ④ DB SERIES WIRE CONNECTOR:
RAIN BIRD DBTC25 (1 OF 2)
- ⑤ SOL ENCH WIRE (1 OF 2)
- ⑥ RAIN BIRD REMOTE CONTROL VALVE
- ⑦ 12-INCH VALVE BOX WITH COVER:
RAIN BIRD VB-STD
- ⑧ FINISH GRADE OR TOP OF MULCH
- ⑨ BRICK (1 OF 4)
- ⑩ PVC MAINLINE PIPE
- ⑪ 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- ⑫ PVC LATERAL PIPE
- ⑬ TWO-WIRE CABLE TO NEXT DEVICE (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR OR ESP-LXD CONTROLLER)
- ⑭ COMMUNICATION WIRE TO NEXT DEVICE (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR OR ESP-LXD CONTROLLER)
- ⑮ GROUNDING ROD

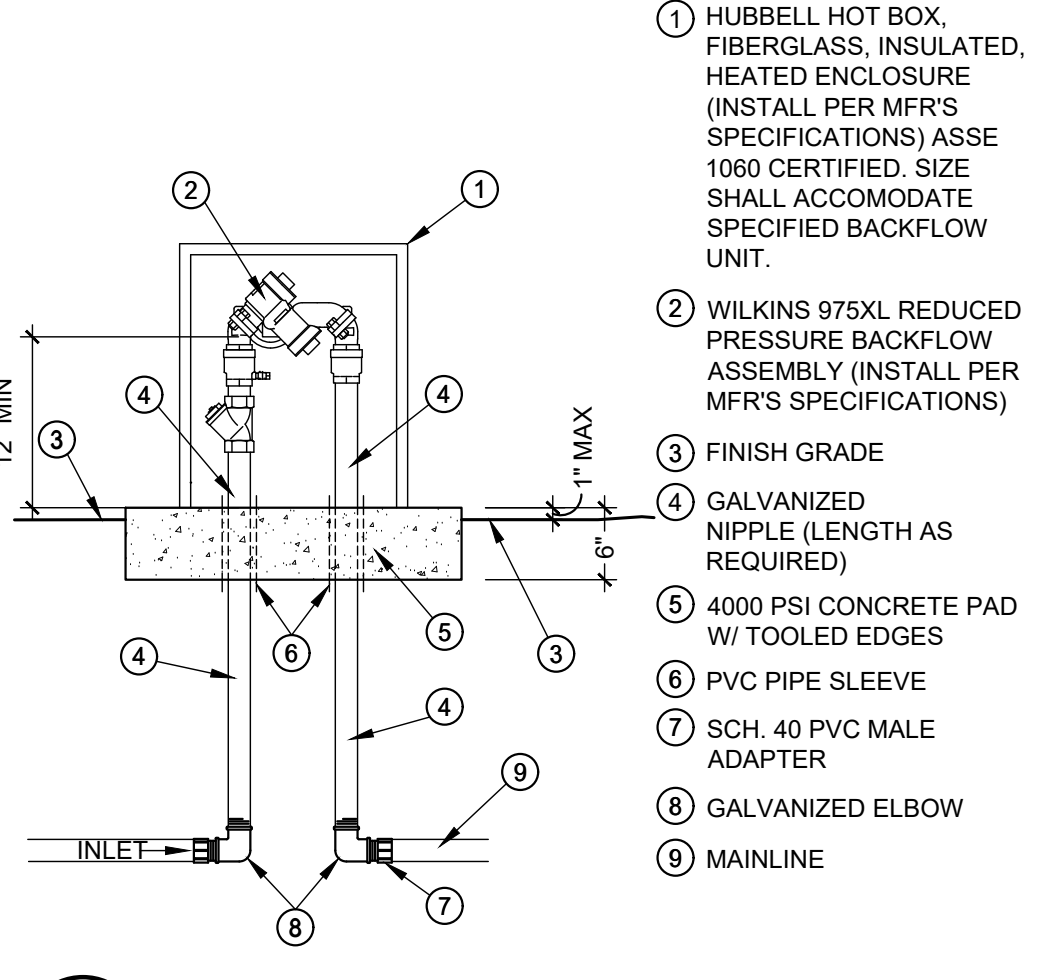
C4 FLOW SENSOR
NTS



- ① GREEN/YELLOW WIRE FROM SD-210TURF TO GROUNDING ROD BRASS CLAMP (1 OF 2)
- ② SENSOR DECODER RAIN BIRD SD-210TURF M3008 SENSOR DECODER
- ③ RED WIRE FROM SD-210TURF TO FLOW SENSOR
- ④ DB SERIES WIRE CONNECTOR:
RAIN BIRD DBTC25 (1 OF 2)
- ⑤ SWING VALVE BOX WITH COVER:
RAIN BIRD VB-STD
- ⑥ FINISH GRADE OR TOP OF MULCH
- ⑦ GROUND WIRE FROM SD-210TURF TO DB SERIES WIRE CONNECTOR (1 OF 2)
- ⑧ FLOW SENSOR WIRE (1 OF 2)
- ⑨ FLOW SENSOR
- ⑩ PVC MAINLINE PIPE
- ⑪ BRICK (1 OF 4)
- ⑫ 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- ⑬ BLACK WIRE FROM SD-210TURF TO FLOW SENSOR
- ⑭ BLUE WIRE FROM SD-210TURF (1 OF 2)
- ⑮ TWO-WIRE CABLE TO NEXT DEVICE (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR OR ESP-LXD CONTROLLER)
- ⑯ COMMUNICATION WIRE TO NEXT DEVICE (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR OR ESP-LXD CONTROLLER)
- ⑰ GROUNDING ROD

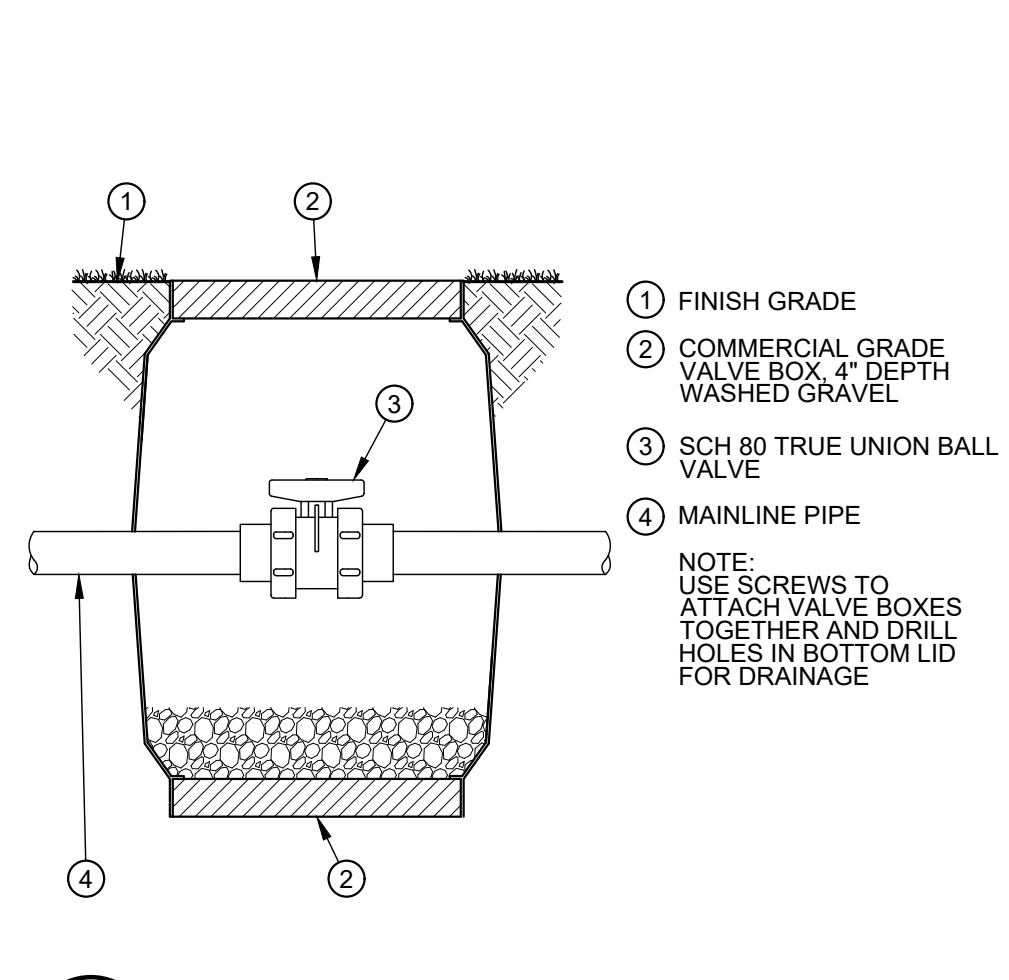
NOTES:
1. MAXIMUM LENGTH OF SECONDARY WIRE PATH (14 AWG) FROM DECODER TO RELAY IS 450 FEET.
2. PLACE 3'-FEET OF EXTRA WIRE IN VALVE BOX FOR EASY SERVICING.
3. IN A SITE CONTROL DECODER SYSTEM A PULSE TRANSMITTER (PT320) SHOULD BE INSTALLED BETWEEN THE SENSOR DECODER AND THE FLOW SENSOR. THIS IS NOT NEEDED IN AN ESP-LXD CONTROLLER SYSTEM.
4. GROUNDING SHOULD BE TO 10 OHMS OR LESS.

B1 QUICK COUPLER
1/2"x1'-0"



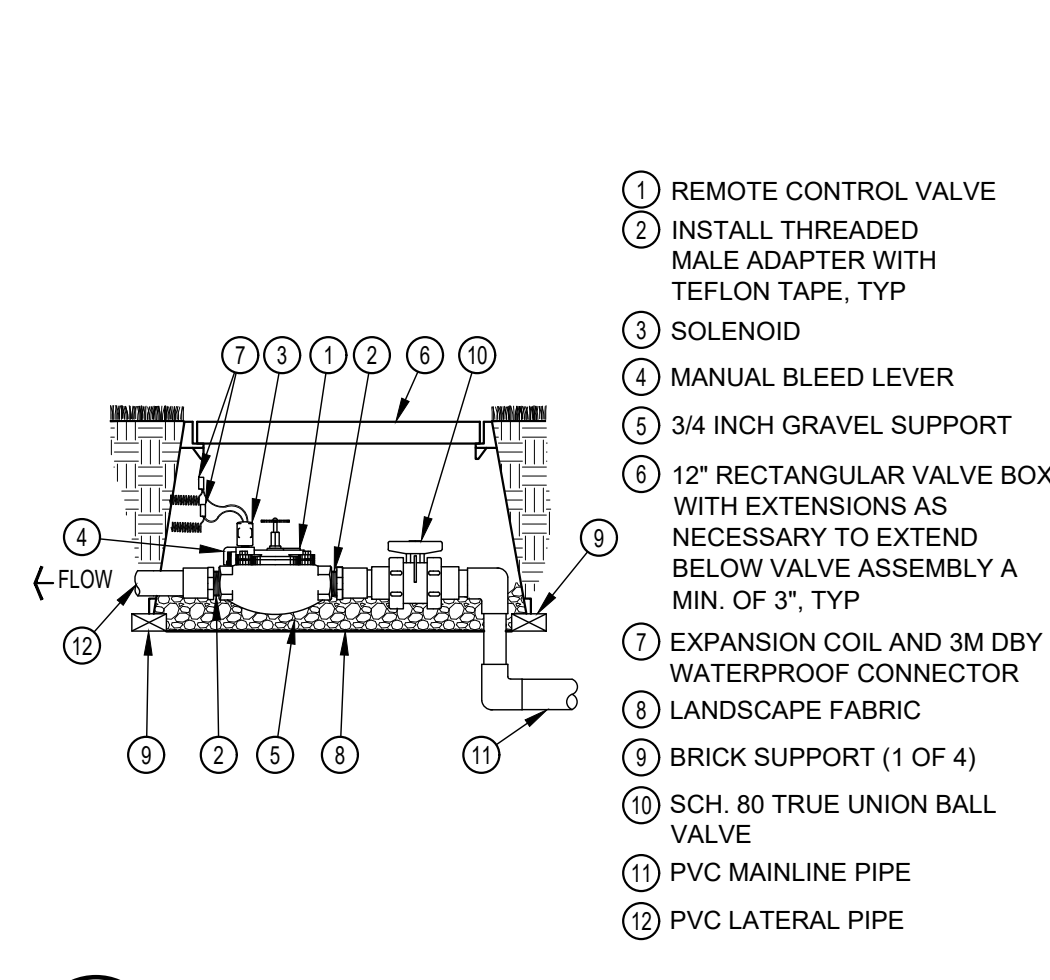
- ① HUBBELL HOT BOX, FIBERGLASS, INSULATED, HEATED ENCLOSURE (INSTALL PER MFR'S SPECIFICATIONS) ASSE 1060 CERTIFIED, SIZE SHALL ACCOMMODATE SPECIFIED BACKFLOW UNIT.
- ② WILKINS 975XL REDUCED PRESSURE BACKFLOW ASSEMBLY (INSTALL PER MFR'S SPECIFICATIONS)
- ③ FINISH GRADE
- ④ GALVANIZED NIPPLE LENGTH AS REQUIRED
- ⑤ 4000 PSI CONCRETE PAD W/ TOOLED EDGES
- ⑥ PVC PIPE SLEEVE
- ⑦ SCH. 40 PVC MALE ADAPTER
- ⑧ GALVANIZED ELBOW
- ⑨ MAINLINE

B2 RAIN / FREEZE SENSOR
3"x1'-0"



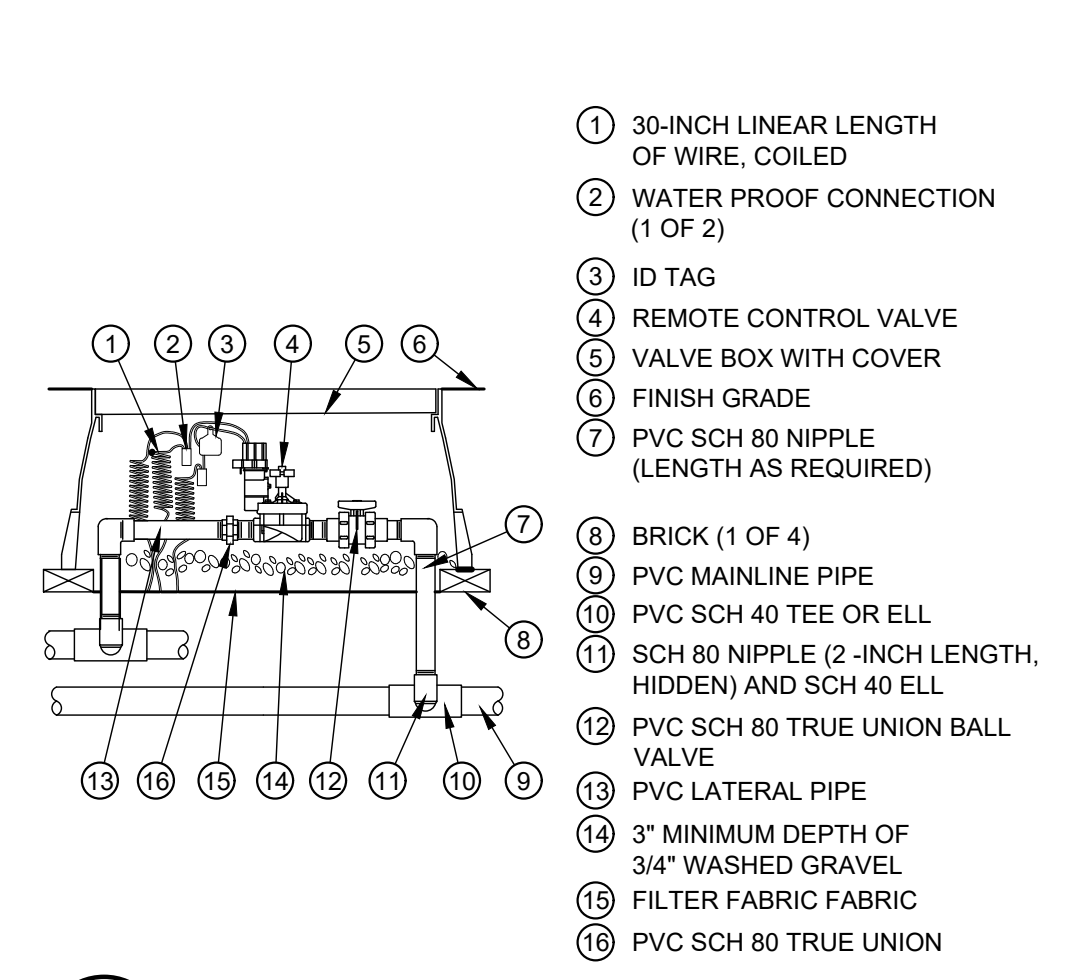
- ① FINISH GRADE
 - ② COMMERCIAL GRADE VALVE BOX, 4" DEPTH WASHED GRAVEL
 - ③ SCH 80 TRUE UNION BALL VALVE
 - ④ MAINLINE PIPE
- NOTE:
USE SCREWS TO ATTACH VALVE BOXES TOGETHER AND DRILL HOLES IN BOTTOM LID FOR DRAINAGE

B3 VALVE DECODER
NTS



- ① REMOTE CONTROL VALVE
- ② INSTALL THREADED MALE ADAPTER WITH TEFLON TAPE, TYP
- ③ SOLENOID
- ④ MANUAL BLEED LEVER
- ⑤ 3/4 INCH GRAVEL SUPPORT
- ⑥ 12" RECTANGULAR VALVE BOX WITH EXTENSIONS AS NECESSARY TO EXTEND BELOW VALVE ASSEMBLY A MIN. OF 3", TYP
- ⑦ EXPANSION COIL AND 3M DBY WATERPROOF CONNECTOR
- ⑧ LANDSCAPE FABRIC
- ⑨ BRICK SUPPORT (1 OF 4)
- ⑩ SCH. 80 TRUE UNION BALL VALVE
- ⑪ PVC MAINLINE PIPE
- ⑫ PVC LATERAL PIPE

B4 FLOW SENSOR DECODER
NTS

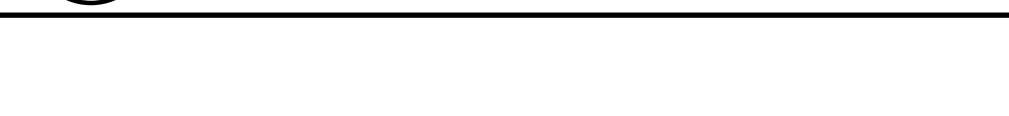


- ① 30-INCH LINEAR LENGTH OF WIRE, COILED
- ② WATER PROOF CONNECTION (1 OF 2)
- ③ ID TAG
- ④ REMOTE CONTROL VALVE
- ⑤ VALVE BOX WITH COVER
- ⑥ FINISH GRADE
- ⑦ PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- ⑧ BRICK (1 OF 4)
- ⑨ PVC MAINLINE PIPE
- ⑩ PVC SCH 40 TEE OR ELL
- ⑪ SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
- ⑫ PVC SCH 80 TRUE UNION BALL VALVE
- ⑬ PVC LATERAL PIPE
- ⑭ 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- ⑮ FILTER FABRIC FABRIC
- ⑯ PVC SCH 80 TRUE UNION

A1 BACKFLOW
3/4"x1'-0"



A2 ISO VALVE
1-1/2"x1'-0"



A3 MASTER VALVE
1"x1'-0"



A4 ZONE VALVE
1/2"x1'-0"



A5 POP-UP SPRAY HEAD
1-1/2"x1'-0"



A6 ROTOR
3"x1'-0"



SITE LIGHTING FIXTURE SCHEDULE							
TYPE	MANUFACTURER	MODEL	MOUNTING	INPUT WATTS	VOLTAGE	POLE TYPE	DESCRIPTION
AA	LITHONIA	DSX1 LED P7 40K 80CRI TSW MVOLT [FINISH] DM28AS	POLE	369 W	208V	RTS-25-5-9B	DOUBLE HEAD POLE MOUNTED PARKING LOT LUMINAIRE WITH TYPE FIVE DISTRIBUTION WITH 25' POLE.
BB	LITHONIA	DSX1 LED P6 40K 80CRI T5M MVOLT [FINISH] DM28AS	POLE	331 W	208V	RTS-25-5-9B	DOUBLE HEAD POLE MOUNTED PARKING LOT LUMINAIRE WITH TYPE FIVE DISTRIBUTION WITH 25' POLE.
CC	LITHONIA	DSX1 LED P6 40K 80CRI T4M MVOLT [FINISH] DM19AS	POLE	165 W	208V	RTS-25-5-9B	SINGLE HEAD POLE MOUNTED PARKING LOT LUMINAIRE WITH TYPE FIVE DISTRIBUTION WITH 25' POLE.

D-Series Size 1 LED Area Luminaire

DSX1 LED Px 40K 80CRI T
Stephenville ISD Stadium
SA/SB/SC

Specifications
EPA: 0.69 Ft (0.69m)
Length: 32.71" (831mm)
Width: 14.26" (362mm)
Height H1: 7.86" (200mm)
Height H2: 2.73" (69mm)
Weight: 34 lbs (15kg)

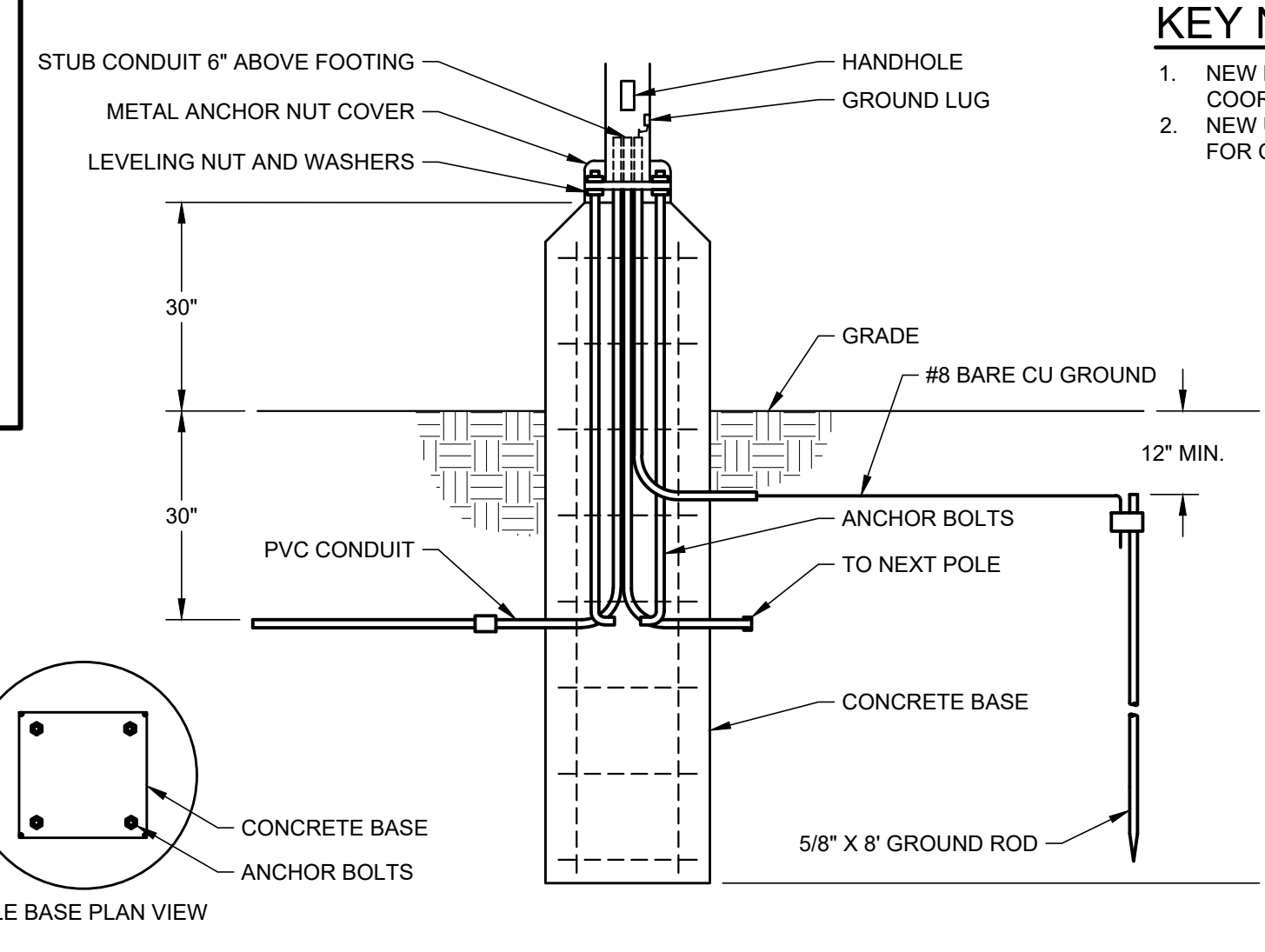
Introduction
The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information **EXAMPLE:** DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DBXBD
DSX1LED P7/P6/P6 40K 80CRI TSW/TSM/T4M MVOLT xPA

SPORTS LIGHT POLE FIXTURE SCHEDULE						
POLE ID	FIXTURE MANUFACTURER (SEE NOTE F)	LUMINAIRE TYPE	SOURCE	VOLTAGE/WATTAGE	MOUNTING HEIGHT	FIXTURE QTY.
F1-F2	MUSCO	TLC-LED-1500	LED 5700K 75 CRI	208V/1410W	120'	14
	MUSCO	TLC-LED-1500	LED 5700K 75 CRI	208V/1410W	120'	1
	MUSCO	TLC-RGBW	LED 5700K 75 CRI	208V/1410W	110'	3
F3-F4	MUSCO	TLC-LED-1500	LED 5700K 75 CRI	208V/1410W	130'	18
	MUSCO	TLC-LED-1500	LED 5700K 75 CRI	208V/1410W	130'	1
	MUSCO	TLC-RGBW	LED 5700K 75 CRI	208V/1410W	120'	3

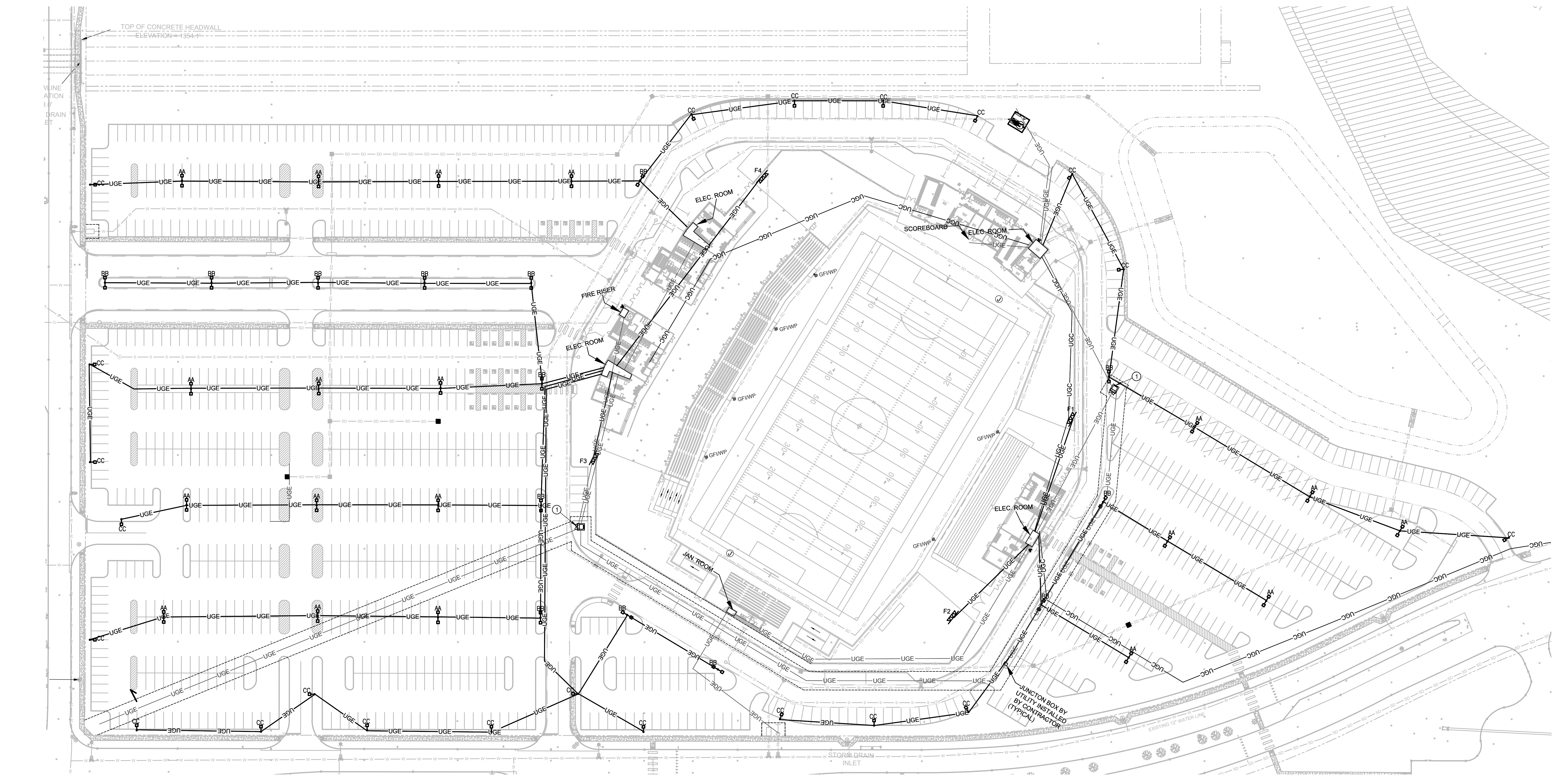
- NOTES:**
 A. REFER TO SPORTS LIGHTING MANUFACTURER FOR ADDITIONAL INFORMATION. CONFIRM ACTUAL LOADS BASED ON MANUFACTURERS SUBMITTED PRODUCT DATA. ADJUST CIRCUITRY AS REQUIRED.
 B. COORDINATE EXACT CONTROL AND POWER REQUIREMENTS WITH SPORTS LIGHTING PROVIDER.
 C. CONFIRM ACTUAL QUANTITY OF FIXTURES PER POLE, PER CONTROL ZONE WITH MANUFACTURERS SUBMITTED SHOP DRAWINGS.
 D. REFER TO MANUFACTURER FOR POLE AND CONTROL BOX LOCATIONS.
 E. COORDINATE EXACT LOCATIONS WITH LIGHTING MANUFACTURER, ARCHITECT AND CIVIL UTILITIES.
 F. SEE SPECIFICATIONS FOR OTHER APPROVED EQUALS AND MANUFACTURER APPROVED BY OWNER AND ENGINEER.
 G. COORDINATE SPORTS LIGHTING POLE BASE REQUIREMENTS WITH SPORTS LIGHTING MANUFACTURER.
 H. CONTRACTOR TO COORDINATE WITH SPORTS LIGHTING PROVIDER TO PROVIDE ALL REQUIRED DEVICES AND ACCESSORIES (INCLUDING WIRELESS ANTENNA).
 I. REFER TO SPORTS LIGHTING SPECIFICATIONS FOR MORE DETAILS.



POLE BASE DETAIL
NO SCALE

- GENERAL NOTES**
- COORDINATE WITH THE UTILITY SERVICE PROVIDERS FOR ALL REQUIREMENTS FOR DELIVERING POWER AND COMMUNICATION SERVICE TO THE NEW BUILDING.
 - REFER TO THE LIGHT FIXTURE SCHEDULE FOR FIXTURE TYPES. PROVIDE THE NUMBER OF FIXTURES AND ORIENTATION NOTED FOR POLE-MOUNTED FIXTURES. POLE EPA RATINGS SHALL BE FOR THE NUMBER OF FIXTURES SHOWN.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EARTH WORK.

- KEY NOTES**
- NEW PAD MOUNT TRANSFORMER BY UTILITY PROVIDER (ONCOR). CONTRACTOR SHALL COORDINATE ASSOCIATED PAD REQUIREMENTS WITH UTILITY.
 - NEW UNDERGROUND SECONDARY SERVICE ENTRANCE. REFER TO RISER DIAGRAM FOR CONDUIT AND WIRE SIZES.



A1 ELECTRICAL SITE PLAN
1"=30'-0"

Stephenville ISD Stadium



CROSSLAND · Parkhill

CLIENT
 Stephenville ISD
 N. West Frey & N. Wolfe Nursery Rd.
 Stephenville, TX 76401

PROJECT NO.
 40108.22

D	E	F
A	B	C

DATE	DESCRIPTION
09/13/2023	Permit and Bid Package

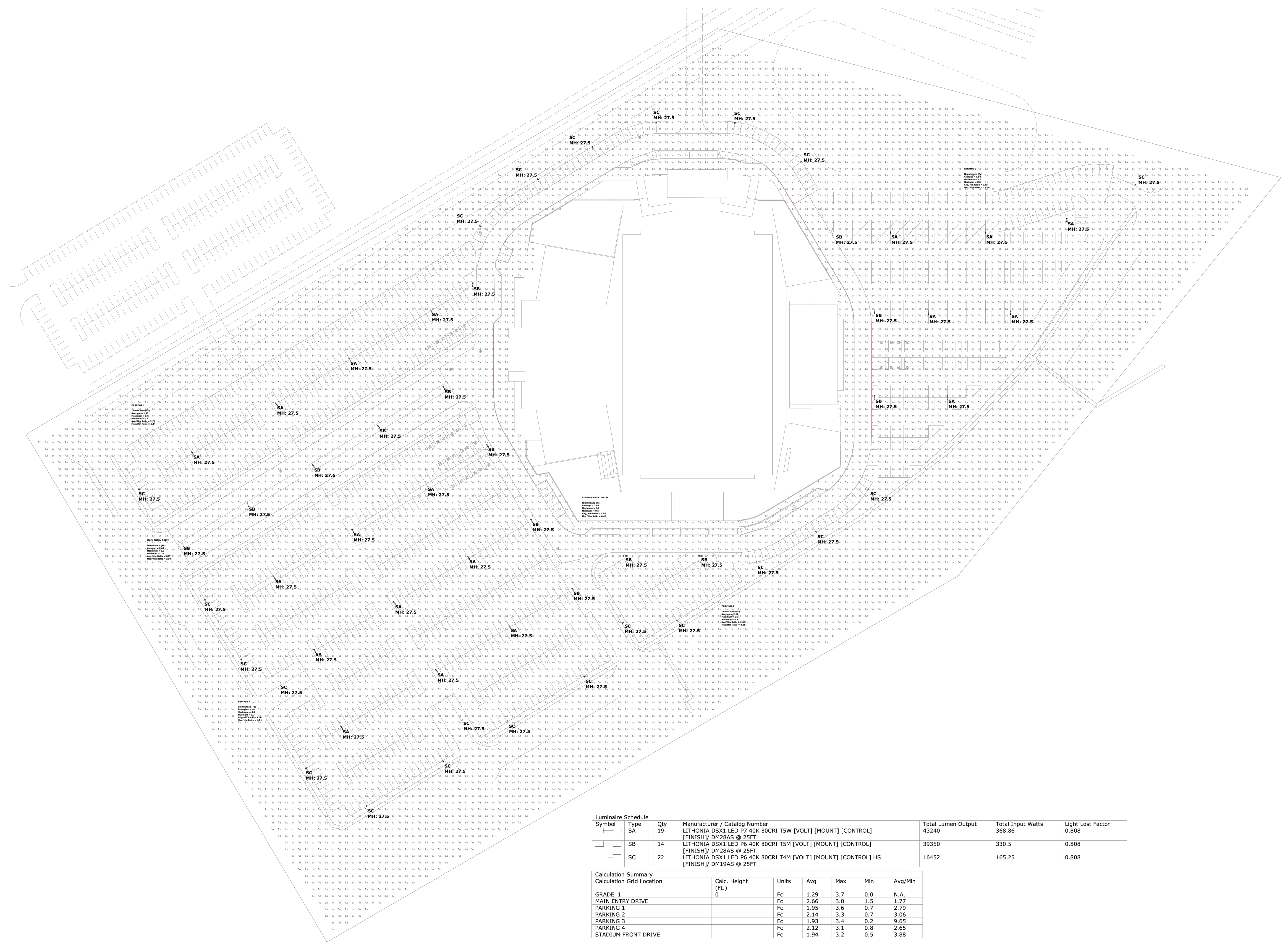
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2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

#	DATE	DESCRIPTION
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THE INFORMATION INCLUDED ON THIS SHEET IS INCLUDED FOR REFERENCE PURPOSES ONLY. THE SEALING PROFESSIONAL FOR THIS CONSTRUCTION DRAWING SET TAKES NO OWNERSHIP OF THIS SHEET OR THE INFORMATION PROVIDED THEREON, BUT DOES AUTHORIZE IT TO BE PART OF THIS CONSTRUCTION DRAWING SET.



Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Light Lost Factor
SA	SA	19	LITHONIA DSX1 LED P7 40K 80CRI T5W [VOLT] [MOUNT] [CONTROL] [FINISH] DM28AS @ 25FT	43240	368.86	0.808
SB	SB	14	LITHONIA DSX1 LED P6 40K 80CRI T5M [VOLT] [MOUNT] [CONTROL] [FINISH] DM28AS @ 25FT	39350	330.5	0.808
SC	SC	22	LITHONIA DSX1 LED P6 40K 80CRI T4M [VOLT] [MOUNT] [CONTROL] HS [FINISH] DM19AS @ 25FT	16452	165.25	0.808

Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE 1	0	Fc	1.29	3.7	0.0	N.A.
MAIN ENTRY DRIVE		Fc	2.66	3.0	1.5	1.77
PARKING 1		Fc	1.95	3.6	0.7	2.79
PARKING 2		Fc	2.14	3.3	0.7	3.06
PARKING 3		Fc	1.93	3.4	0.2	9.65
PARKING 4		Fc	2.12	3.1	0.8	2.65
STADIUM FRONT DRIVE		Fc	1.94	3.2	0.5	3.88

Notes:
 1. Surface reflectance: Vertical/Horizontal - 40/20
 2. Calculation values are at height indicated in summary table.
 3. Mounting heights are designated on drawing with "MH"
 4. Luminaire spacing does not necessarily reflect specification model number. Contact salesperson for verification.
 5. System lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 6. Lighting power density is calculated based on estimated ballast/over energy consumption. Engineer to verify.
 7. For lumens output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

PROJECT: STEPHENVILLE ISD STADIUM PARKING
 SALES/PERSON: MARK SCHMIDT
 SCALE: 1" = 80'-0"
 CALC BY: KB
 FILE: 202307_STEPHENVILLE ISD STADIUM PARKING_V2

2023-07-19

Architectural Lighting Alliance
 101 Turtle Creek Blvd, Dallas, TX 75207
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 www.ala.com

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#	DATE	DESCRIPTION
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

THE INFORMATION INCLUDED ON THIS SHEET IS INCLUDED FOR REFERENCE PURPOSES ONLY. THE SEALING PROFESSIONAL FOR THIS CONSTRUCTION DRAWING SET TAKES NO OWNERSHIP OF THIS SHEET OR THE INFORMATION PROVIDED THEREON, BUT DOES AUTHORIZE IT TO BE PART OF THIS CONSTRUCTION DRAWING SET.

Stephenville ISD Football Stadium

Stephenville, TX

Lighting System

Area ID	Pole Height	Mip Height	Fixture Qty	Luminaire Type	Load	Circuit
F1-F2	120'	120'	14	TLC-LED-1500	13.74 kW	A
		110'	3	TLC-RGBW	1.82 kW	C
F3-F4	130'	130'	18	TLC-LED-1500	25.38 kW	A
		120'	1	TLC-LED-1500	1.41 kW	B
		120'	3	TLC-RGBW	1.82 kW	C
4		80			103.56 kW	

Circuit Summary

Circuit	Description	Load	Fixture Qty
A	Football	90.24 kW	64
B	Eggn	5.64 kW	4
C	RGBW	7.68 kW	12

Fixture Type Summary

Fixture Type	Source	Wattage	Lumens	L80	L90	L70	Quantity
TLC-LED-1500	LED 5700K - 75 CRI	1410W	181,000	>120,000	>120,000	>120,000	68
TLC-RGBW	LED 5700K - 75 CRI	600W	28,500	>120,000	>120,000	>120,000	12

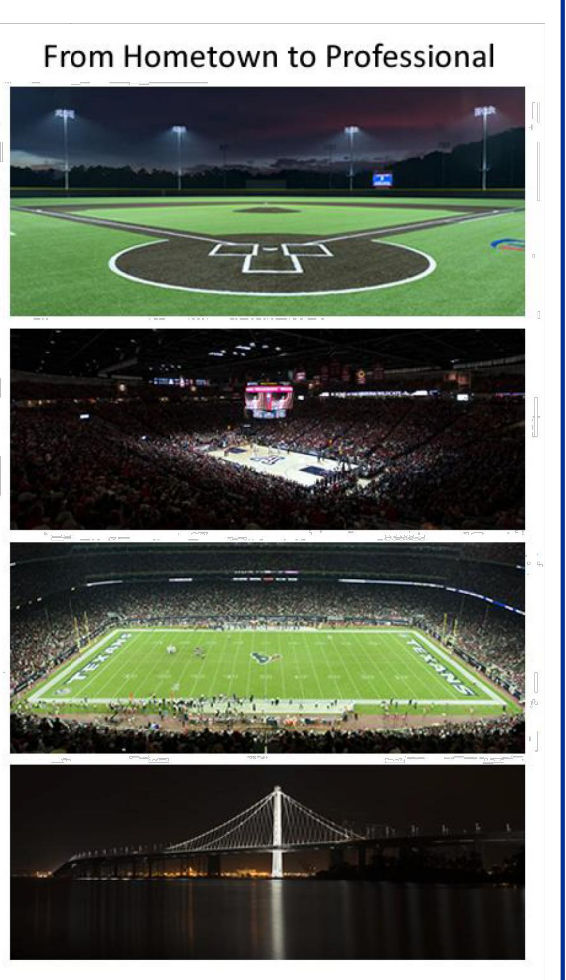
Single Luminaire Amperage Draw Chart

Driver (80 min power factor)	Max Line Amperage Per Luminaire
Single Phase Voltage	208 220 240 277 347 380 480
TLC-LED-1500	8.4 1.7 2.3 6.3 4.2 4.4 1.6
TLC-RGBW	4.5 4.3 3.8 3.3 2.7 1.9 1.9

Light Level Summary

Grid Name	Calculation Metric	Avg	Min	Illumination (fc)	Max/Min	Assoc.	Circuits	Fixture Qty
Football	Horizontal Illuminance	63.6	76	68	1.16	A	64	64
Football	Left Endzone	46.1	58	3.64	2.88	A	64	64
Football	Main TV	78.7	68	88	1.34	A	64	64
Football	Right Endzone	46.1	58	3.64	2.88	A	64	64
Home Bleachers	Horizontal	5.73	2	9	5.42	B	4	4
Visitor Bleachers	Horizontal	10.5	6	14	2.33	B	4	4

ENGINEERED DESIGN By: K.Dunkin - File #228490A - 28-Jul-23



PROJECT SUMMARY

Stephenville ISD Football Stadium

Stephenville, TX

EQUIPMENT LIST FOR AREAS SHOWN

QTY	LOCATION	POLE	SPACE ELEVATION	SCISSOR HEIGHT	TYPE	WATTAGE	PHASE	NO. OF POINTS	NO. OF SHEETS
2	F1-F2	120'	120'	120'	TLC-LED-1500	13.74	A	14	1
2	F3-F4	130'	130'	130'	TLC-LED-1500	25.38	A	18	1
4	TOTAL							80	64

ILLUMINATION SUMMARY

Guaranteed Average	Scan Average	Maximum	Minimum	Avg / Min	Max / Min	UG (adjacent pts)	CU	No. of Points	Applied Circuits	Total Load
76	78.71	88	76	1.30	1.16	1.20	0.45	72	A	90.24 kW

ENGINEERED DESIGN By: K.Dunkin - File #228490A - 28-Jul-23

Stephenville ISD Football Stadium

Stephenville, TX

EQUIPMENT LIST FOR AREAS SHOWN

QTY	LOCATION	POLE	SPACE ELEVATION	SCISSOR HEIGHT	TYPE	WATTAGE	PHASE	NO. OF POINTS	NO. OF SHEETS
2	F1-F2	120'	120'	120'	TLC-RGBW	1.82	C	3	1
2	F3-F4	130'	130'	130'	TLC-RGBW	1.82	C	3	1
4	TOTAL							6	2

ILLUMINATION SUMMARY

Guaranteed Average	Scan Average	Maximum	Minimum	Avg / Min	Max / Min	UG (adjacent pts)	CU	No. of Points	Applied Circuits	Total Load
85.62	86.2	96	76	1.30	1.16	1.20	0.45	72	A	90.24 kW

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Stephenville ISD Football Stadium

Stephenville, TX

EQUIPMENT LIST FOR AREAS SHOWN

QTY	LOCATION	POLE	SPACE ELEVATION	SCISSOR HEIGHT	TYPE	WATTAGE	PHASE	NO. OF POINTS	NO. OF SHEETS
2	F1-F2	120'	120'	120'	TLC-LED-1500	13.74	A	14	1
2	F3-F4	130'	130'	130'	TLC-LED-1500	25.38	A	18	1
4	TOTAL							80	64

ILLUMINATION SUMMARY

Guaranteed Average	Scan Average	Maximum	Minimum	Avg / Min	Max / Min	UG (adjacent pts)	CU	No. of Points	Applied Circuits	Total Load
46.09	46.09	58	36	2.89	3.64	1.73	0.45	72	A	90.24 kW

ENGINEERED DESIGN By: K.Dunkin - File #228490A - 28-Jul-23

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THE INFORMATION INCLUDED ON THIS SHEET IS INCLUDED FOR REFERENCE PURPOSES ONLY. THE SEALING PROFESSIONAL FOR THIS CONSTRUCTION DRAWING SET TAKES NO OWNERSHIP OF THIS SHEET OR THE INFORMATION PROVIDED THEREON, BUT DOES AUTHORIZE IT TO BE PART OF THIS CONSTRUCTION DRAWING SET.

Stephenville ISD Stadium
Honeybees & Yellowjackets



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Stephenville ISD

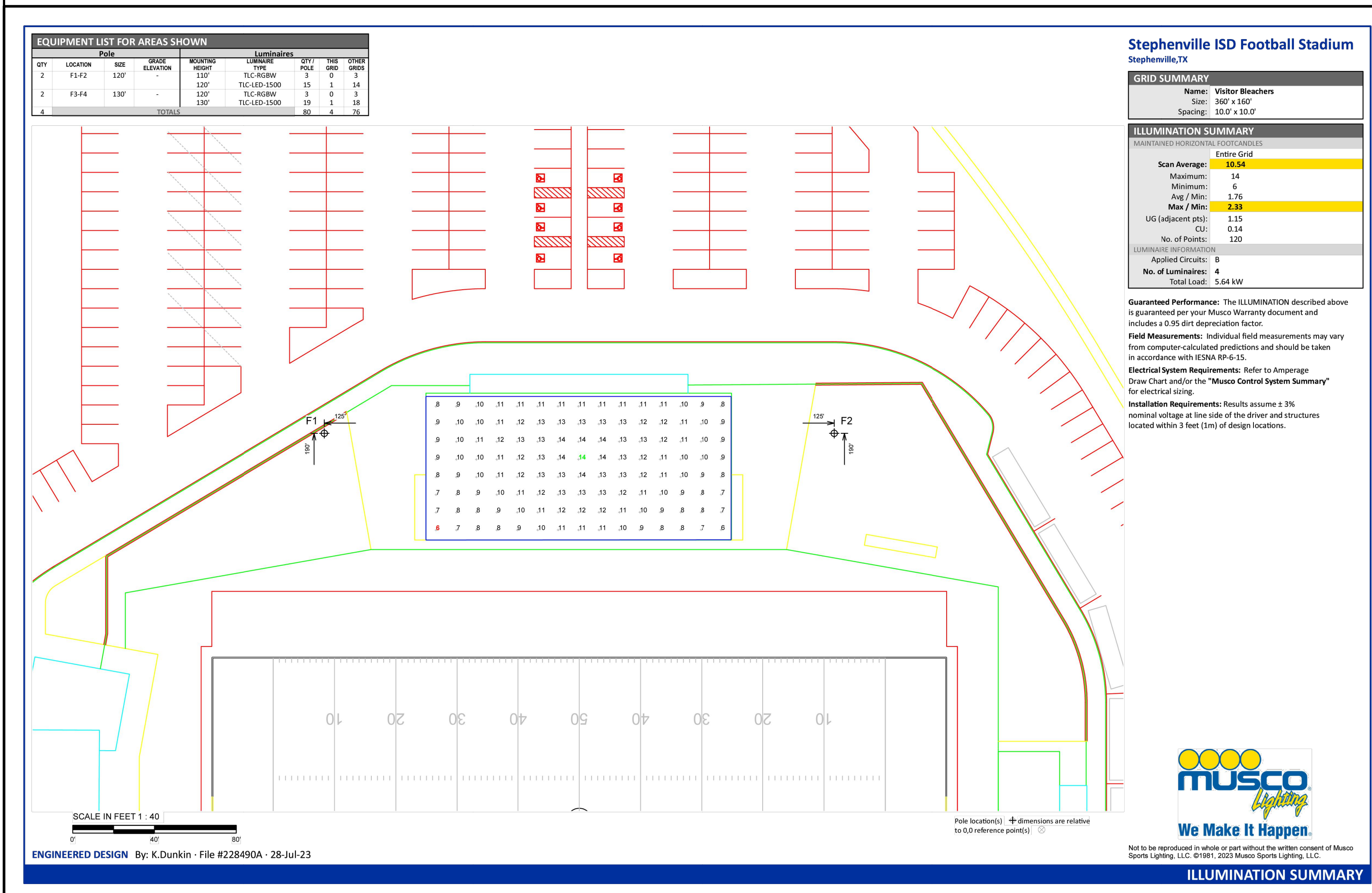
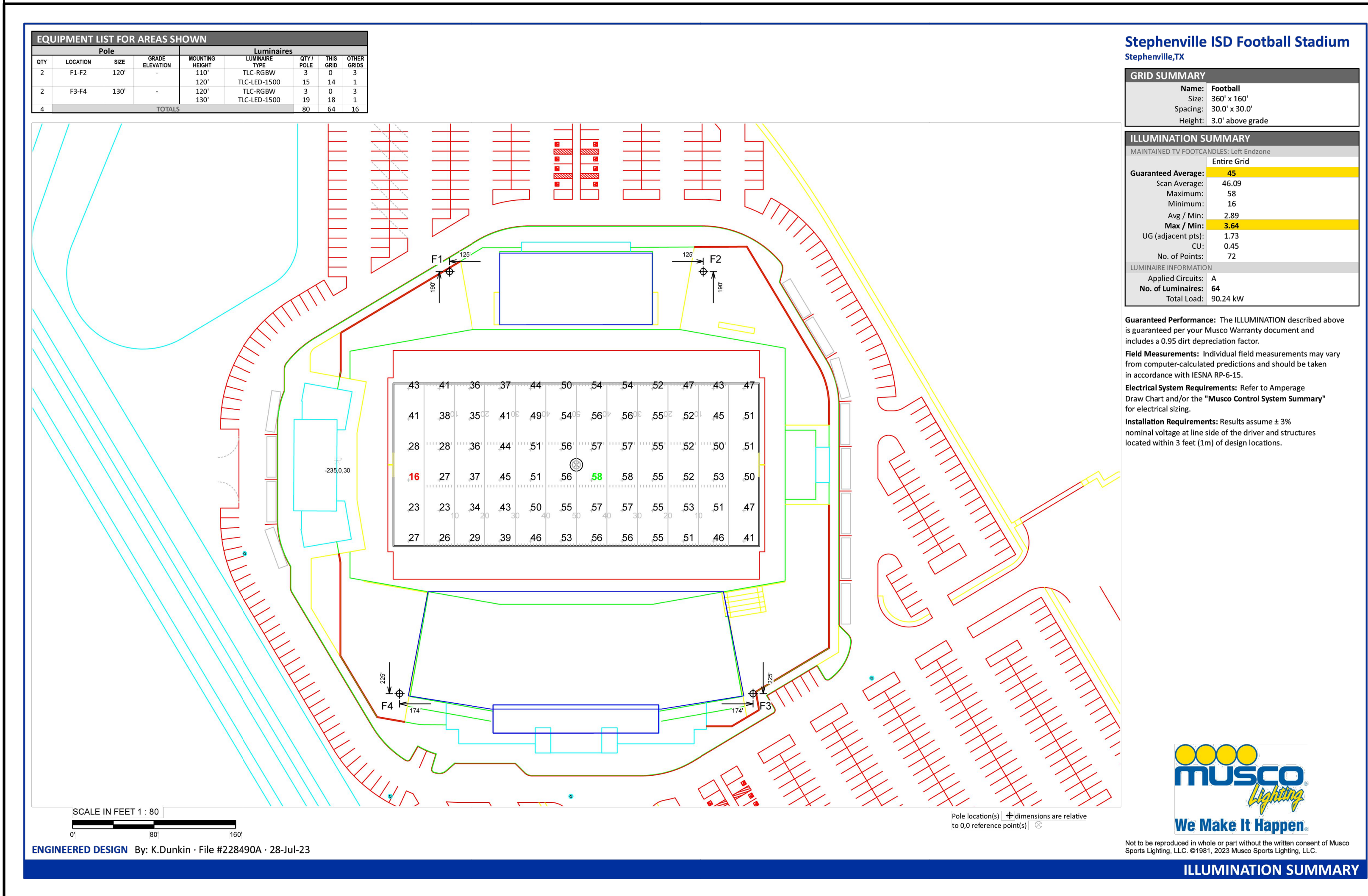
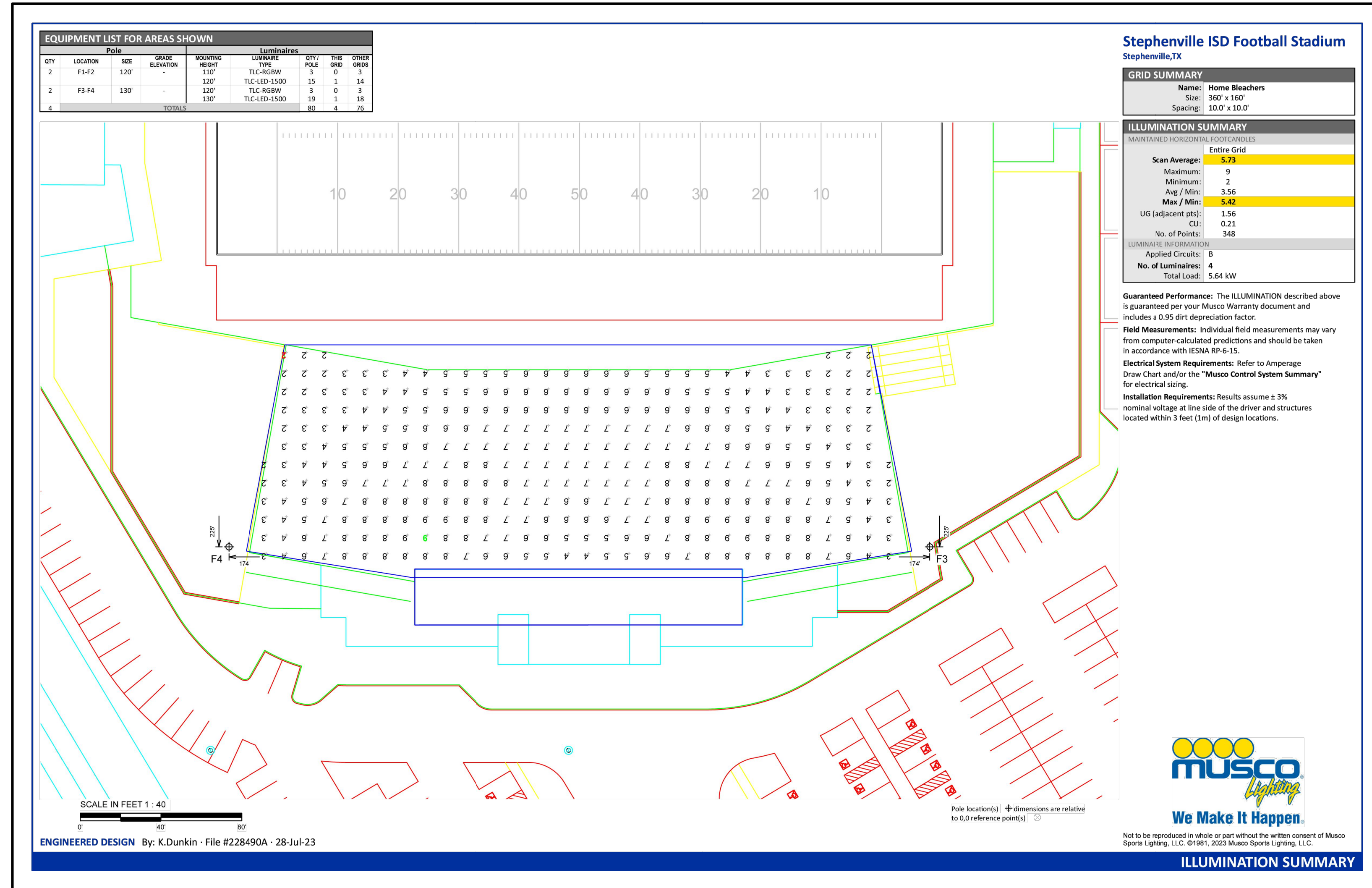
N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

PROJECT NO.
40108.22
KEY PLAN

#	DATE	DESCRIPTION
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Illumination Summary & Equipment Layout

E-103



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Stephenville ISD Stadium
Honeybees & Yellowjackets

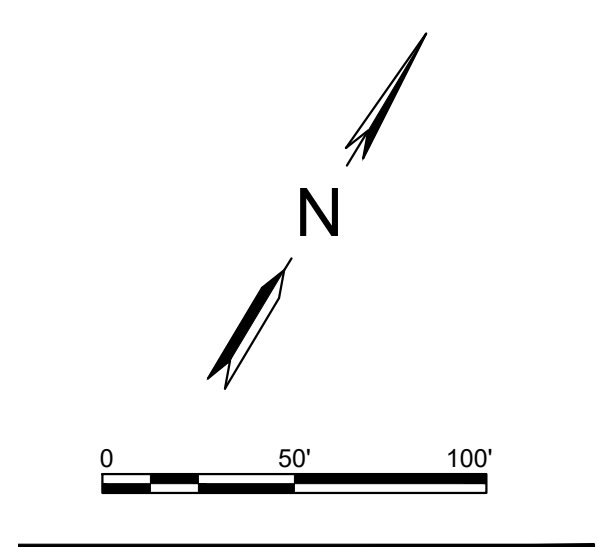


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Stephenville ISD
N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

PROJECT NO.
40108.22

KEY PLAN



#	DATE	DESCRIPTION
4	10/06/2023	Development Plan Re-Submittal
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

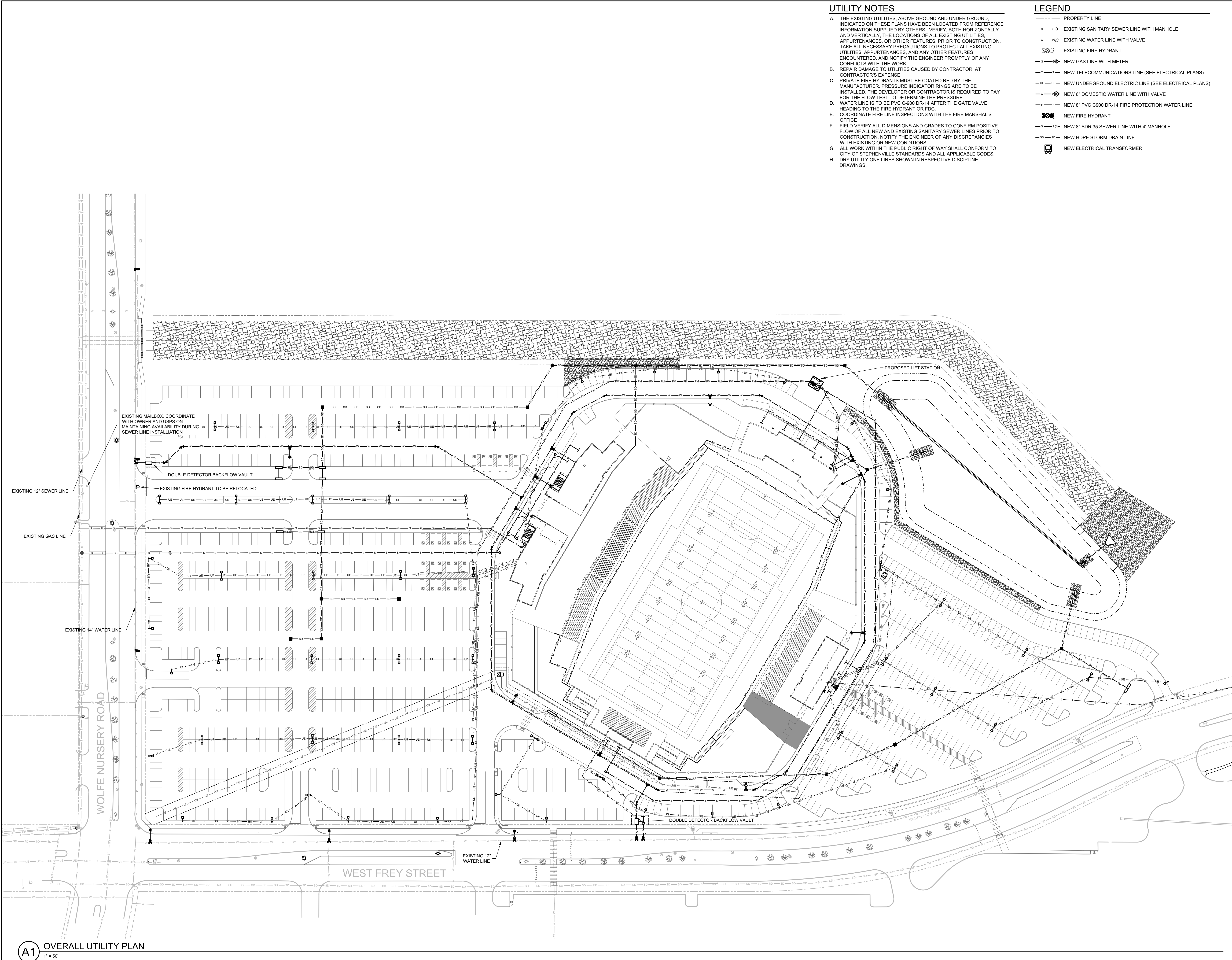
Utility Plan
CU101

UTILITY NOTES

- A. THE EXISTING UTILITIES, ABOVE GROUND AND UNDER GROUND, INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY OTHERS. VERIFY, BOTH HORIZONTALLY AND VERTICALLY, THE LOCATIONS OF ALL EXISTING UTILITIES, APPURTENANCES, OR OTHER FEATURES, PRIOR TO CONSTRUCTION. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES, APPURTENANCES, AND ANY OTHER FEATURES ENCOUNTERED, AND NOTIFY THE ENGINEER PROMPTLY OF ANY CONFLICTS WITH THE WORK.
- B. REPAIR DAMAGE TO UTILITIES CAUSED BY CONTRACTOR, AT CONTRACTOR'S EXPENSE.
- C. PRIVATE FIRE HYDRANTS MUST BE COATED RED BY THE MANUFACTURER. PRESSURE INDICATOR RINGS ARE TO BE INSTALLED. THE DEVELOPER OR CONTRACTOR IS REQUIRED TO PAY FOR THE FLOW TEST TO DETERMINE THE PRESSURE.
- D. WATER LINE IS TO BE PVC C-900 DR-14 AFTER THE GATE VALVE HEADING TO THE FIRE HYDRANT OR FDC.
- E. COORDINATE FIRE LINE INSPECTIONS WITH THE FIRE MARSHAL'S OFFICE.
- F. FIELD VERIFY ALL DIMENSIONS AND GRADES TO CONFIRM POSITIVE FLOW OF ALL NEW AND EXISTING SANITARY SEWER LINES PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH EXISTING OR NEW CONDITIONS.
- G. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO CITY OF STEPHENVILLE STANDARDS AND ALL APPLICABLE CODES.
- H. DRY UTILITY ONE LINES SHOWN IN RESPECTIVE DISCIPLINE DRAWINGS.

LEGEND

- PROPERTY LINE
- S-O --- EXISTING SANITARY SEWER LINE WITH MANHOLE
- W-V --- EXISTING WATER LINE WITH VALVE
- F-H --- EXISTING FIRE HYDRANT
- G-M --- NEW GAS LINE WITH METER
- T-E --- NEW TELECOMMUNICATIONS LINE (SEE ELECTRICAL PLANS)
- U-E --- NEW UNDERGROUND ELECTRIC LINE (SEE ELECTRICAL PLANS)
- W-V --- NEW 6" DOMESTIC WATER LINE WITH VALVE
- F-P --- NEW 8" PVC C900 DR-14 FIRE PROTECTION WATER LINE
- F-H --- NEW FIRE HYDRANT
- S-O --- NEW 8" SDR 35 SEWER LINE WITH 4" MANHOLE
- S-D --- NEW HDPE STORM DRAIN LINE
- E-T --- NEW ELECTRICAL TRANSFORMER

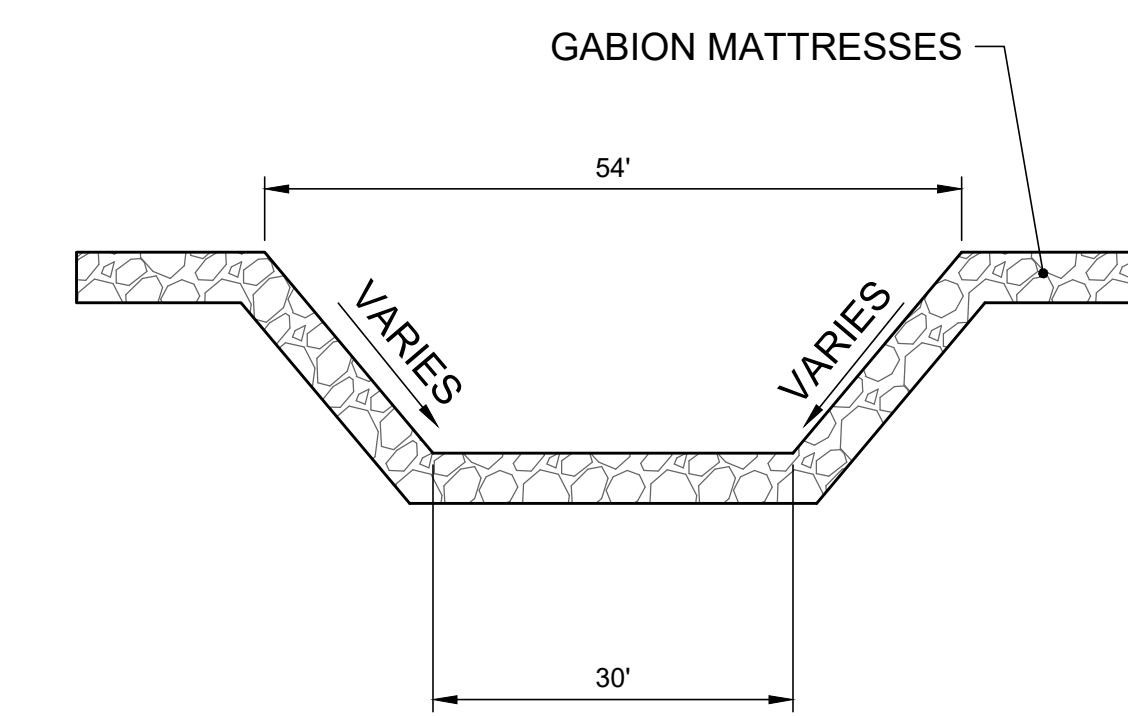
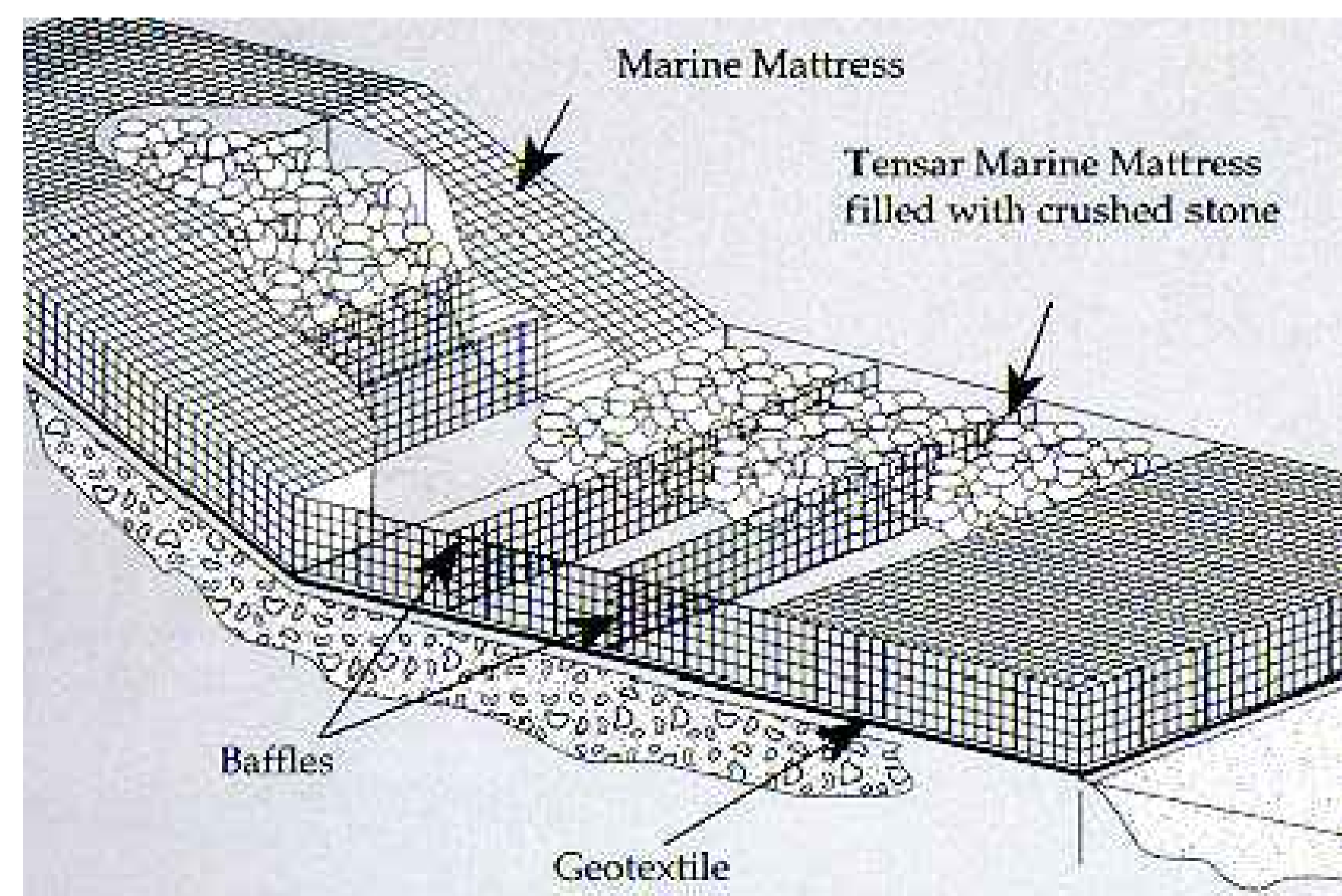


A1 OVERALL UTILITY PLAN
1" = 50'

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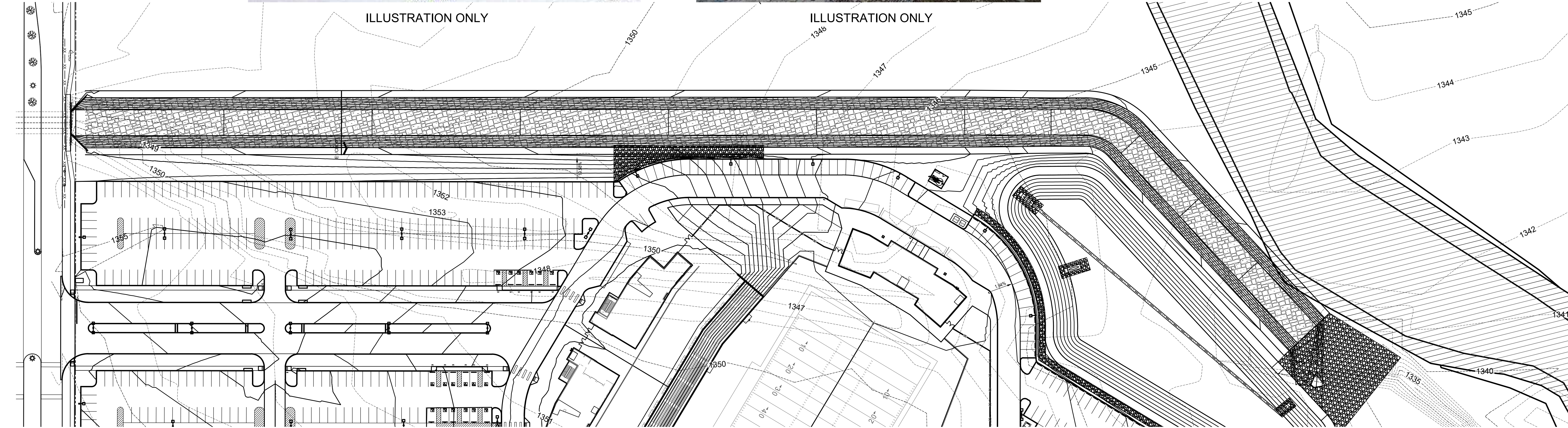
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E6 CHANNEL X-SECTION DETAIL

NOT TO SCALE



C1 POST-DEVELOPMENT CHANNEL

1" = 50'



A1 PRE-DEVELOPMENT CHANNEL

1" = 50'

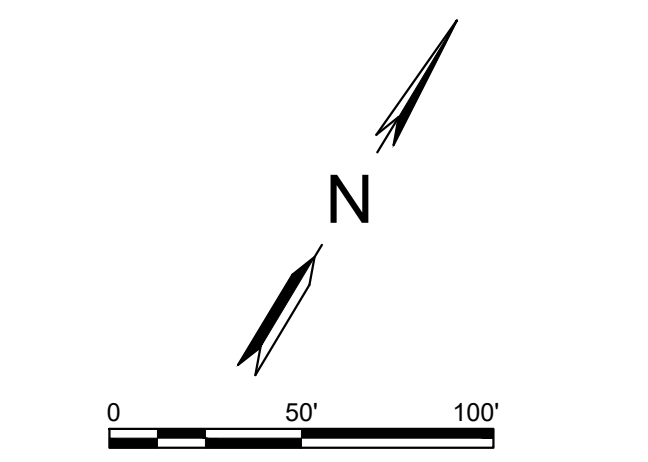
Stephenville ISD Stadium
Honeybees & Yellowjackets



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PROJECT NO.
40108.22



#	DATE	DESCRIPTION
4	10/06/2023	Development Plan Re-Submittal
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Pre And Post Development Channel

CH001

\\DATA\PROJECTS\2022\40108.22\03_DSGA01_DWG\050_CIVIL\06_ENTITLEMENTS_P\PP0101_DEVELOPMENT_PLAN\02_SHEETS\CH001-40108 PRE AND POST DEV CHANNEL FLOWS.DWG, 10/06/2023 11:52 AM, kstepper

SITE LIGHTING FIXTURE SCHEDULE							
TYPE	MANUFACTURER	MODEL	MOUNTING	INPUT WATTS	VOLTAGE	POLE TYPE	DESCRIPTION
AA	LITHONIA	DSX1 LED P7 40K 80CRI T5W MVOLT [FINISH] DM28AS	POLE	369 W	208V	RTS-25-5-9B	DOUBLE HEAD POLE MOUNTED PARKING LOT LUMINAIRE WITH TYPE FIVE DISTRIBUTION WITH 25' POLE.
BB	LITHONIA	DSX1 LED P6 40K 80CRI T5M MVOLT [FINISH] DM28AS	POLE	331 W	208V	RTS-25-5-9B	DOUBLE HEAD POLE MOUNTED PARKING LOT LUMINAIRE WITH TYPE FIVE DISTRIBUTION WITH 25' POLE.
CC	LITHONIA	DSX1 LED P6 40K 80CRI T4M MVOLT [FINISH] DM19AS	POLE	165 W	208V	RTS-25-5-9B	SINGLE HEAD POLE MOUNTED PARKING LOT LUMINAIRE WITH TYPE FIVE DISTRIBUTION WITH 25' POLE.

SPORTS LIGHT POLE FIXTURE SCHEDULE						
POLE ID	FIXTURE MANUFACTURER (SEE NOTE F)	LUMINAIRE TYPE	SOURCE	VOLTAGE/WATTAGE	MOUNTING HEIGHT	FIXTURE QTY.
F1-F2	MUSCO	TLC-LED-1500	LED 5700K 75 CRI	208V/1410W	120'	14
	MUSCO	TLC-LED-1500	LED 5700K 75 CRI	208V/1410W	120'	1
	MUSCO	TLC-RGBW	LED 5700K 75 CRI	208V/1410W	110'	3
F3-F4	MUSCO	TLC-LED-1500	LED 5700K 75 CRI	208V/1410W	130'	18
	MUSCO	TLC-LED-1500	LED 5700K 75 CRI	208V/1410W	130'	1
	MUSCO	TLC-RGBW	LED 5700K 75 CRI	208V/1410W	120'	3

D-Series Size 1 LED Area Luminaire

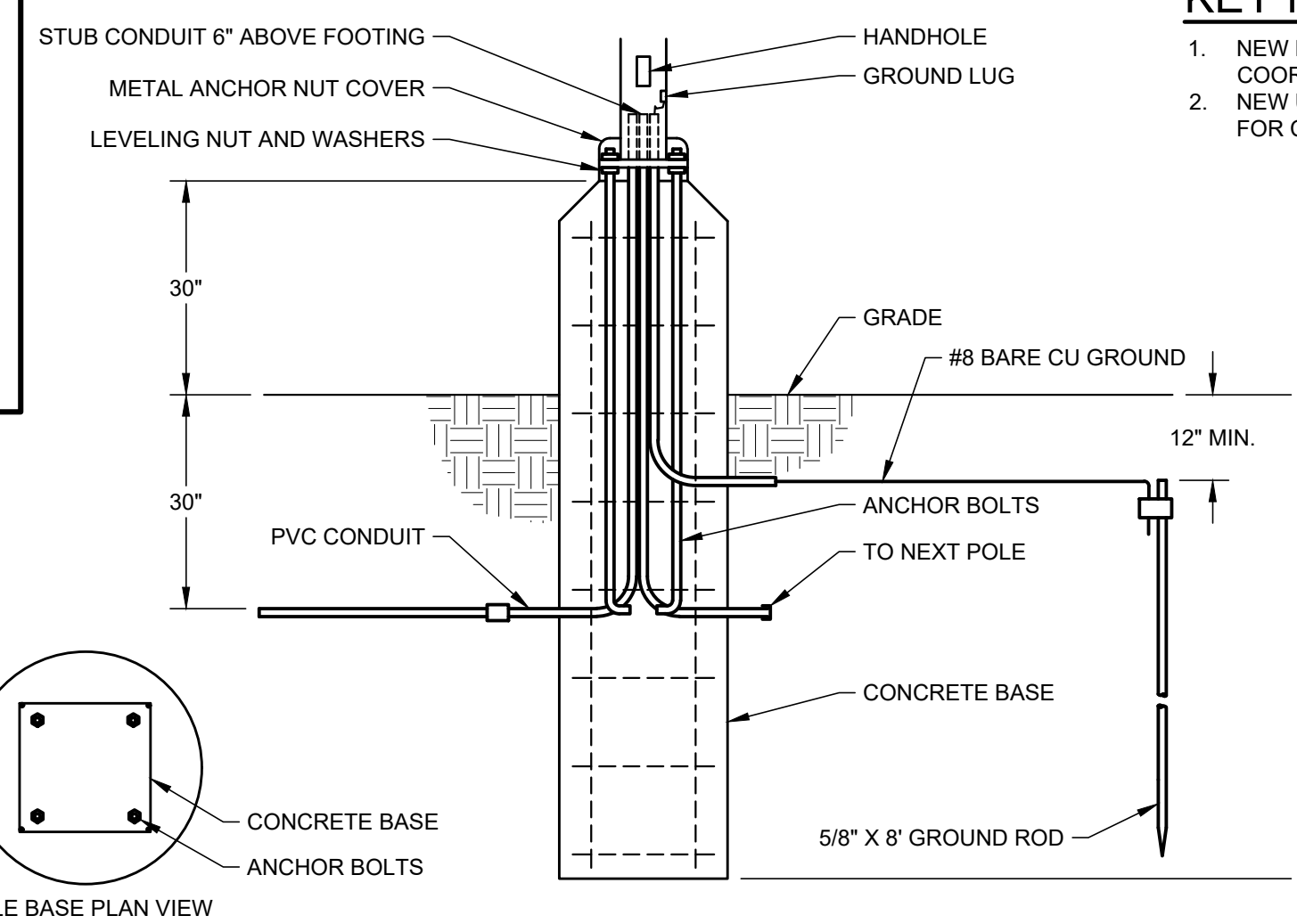
DSX1 LED Px 40K 80CRI T
Stephenville ISD Stadium
AA/BB/CC

Specifications
EPA: 0.69 ft (0.84m)
Length: 32.71" (831mm)
Width: 14.26" (362mm)
Height H1: 7.86" (200mm)
Height H2: 2.73" (69mm)
Weight: 34 lbs (15kg)

Introduction
The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information **EXAMPLE:** DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DOBXD
DSX1 LED P7/P6/P6 40K 80CRI TSW/TSM/T4M MVOLT xPA



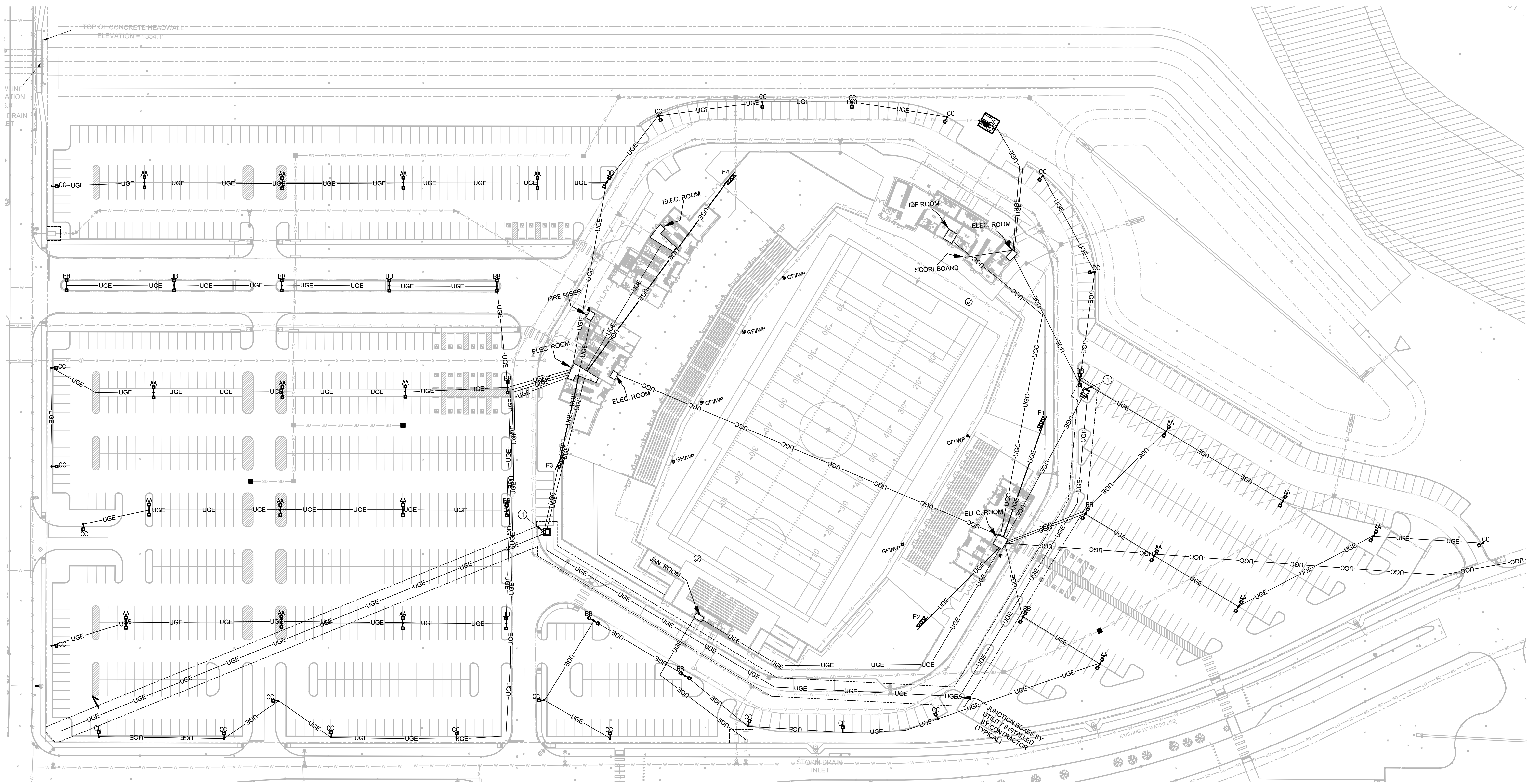
- #### GENERAL NOTES
- COORDINATE WITH THE UTILITY SERVICE PROVIDERS FOR ALL REQUIREMENTS FOR DELIVERING POWER AND COMMUNICATION SERVICE TO THE NEW BUILDING.
 - REFER TO THE LIGHT FIXTURE SCHEDULE FOR FIXTURE TYPES. PROVIDE THE NUMBER OF FIXTURES AND ORIENTATION NOTED FOR POLE-MOUNTED FIXTURES. POLE EPA RATINGS SHALL BE FOR THE NUMBER OF FIXTURES SHOWN.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EARTH WORK.

- #### KEY NOTES
- NEW PAD MOUNT TRANSFORMER BY UTILITY PROVIDER (ONCOR). CONTRACTOR SHALL COORDINATE ASSOCIATED PAD REQUIREMENTS WITH UTILITY.
 - NEW UNDERGROUND SECONDARY SERVICE ENTRANCE. REFER TO RISER DIAGRAM FOR CONDUIT AND WIRE SIZES.

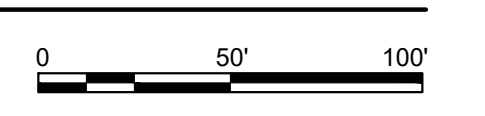
- NOTES:**
- REFER TO SPORTS LIGHTING MANUFACTURER FOR ADDITIONAL INFORMATION. CONFIRM ACTUAL LOADS BASED ON MANUFACTURERS SUBMITTED PRODUCT DATA. ADJUST CIRCUITRY AS REQUIRED.
 - COORDINATE EXACT CONTROL AND POWER REQUIREMENTS WITH SPORTS LIGHTING PROVIDER.
 - CONFIRM ACTUAL QUANTITY OF FIXTURES PER POLE, PER CONTROL ZONE WITH MANUFACTURERS SUBMITTED SHOP DRAWINGS.
 - REFER TO MANUFACTURER FOR POLE AND CONTROL BOX LOCATIONS.
 - COORDINATE EXACT LOCATIONS WITH LIGHTING MANUFACTURER, ARCHITECT AND CIVIL UTILITIES.
 - SEE SPECIFICATIONS FOR OTHER APPROVED EQUALS AND MANUFACTURER APPROVED BY OWNER AND ENGINEER.
 - COORDINATE SPORTS LIGHTING POLE BASE REQUIREMENTS WITH SPORTS LIGHTING MANUFACTURER.
 - CONTRACTOR TO COORDINATE WITH SPORTS LIGHTING PROVIDER TO PROVIDE ALL REQUIRED DEVICES AND ACCESSORIES (INCLUDING WIRELESS ANTENNA).
 - REFER TO SPORTS LIGHTING SPECIFICATIONS FOR MORE DETAILS.

NOTES
USE MANUFACTURER'S TEMPLATE TO POSITION ANCHOR BOLTS.

POLE BASE DETAIL
NO SCALE



A1 ELECTRICAL SITE PLAN
1"=30'-0"



Stephenville ISD Stadium



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Stephenville, TX 76401

PROJECT NO.
40108.22

D	E	F
A	B	C

#	DATE	DESCRIPTION
1	10/03/2023	Addendum #1
-	09/18/2023	Permit and Bid Package

Electrical Site Plan
E-100

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Honeybees & Yellowjackets

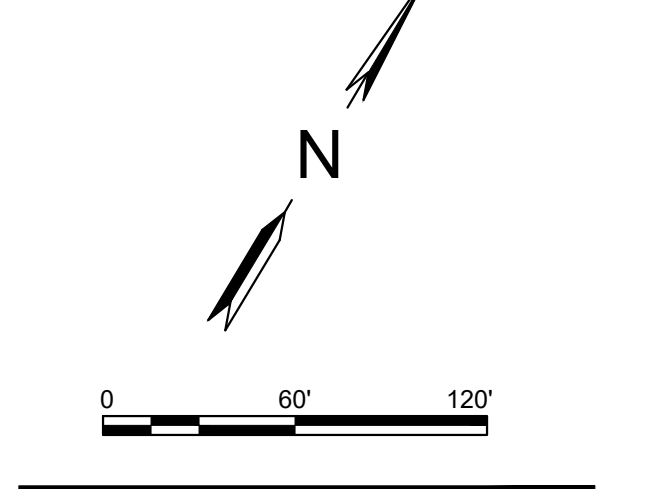


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Stephenville, TX 76401

PROJECT NO.
40108.22

KEY PLAN



#	DATE	DESCRIPTION
4	10/06/2023	Development Plan Re-Submittal
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Development Site Plan

CS101

PARKING COUNTS

HOME SIDE SEATS:	5,500
VISITOR SIDE SEATS:	2,000
BAND SEATS:	200
TOTAL SEATS:	7,700
PARKING:	
REQUIRED: 7,700 / 4 = 1925	4:1
PHASE 1:	
ONSITE PAVED:	1,218
JUNIOR HIGH OFFSITE:	468
PHASE 1 TOTAL:	1,686 (4.56:1)
PHASE 2:	
ONSITE PAVED	239
NORTH OF DRAINAGE CHANNEL:	239
PHASE 2 TOTAL:	239
TOTAL PARKING PROVIDED:	1,925 (4:1)

CODE DEVIATIONS

- USE OF JUNIOR HIGH OFFSITE PARKING (468 SPACES), TWO SIGNALIZED PEDESTRIAN CROSSINGS WILL BE PROVIDED ACROSS WEST FREY STREET.
- PHASE TWO PAVED PARKING LOT (239 SPACES) SHALL BE CONSTRUCTED AT FUTURE TIME WHEN STADIUM DEMAND REACHES FULL CAPACITY.
- TREES TO BE PLACED OUTSIDE OF PARKING AREAS INSTEAD OF EVERY 12 PARKING SPACES PER LANDSCAPE ORDINANCE. REQUIRED SITE TREE COUNTS WILL BE PROVIDED OUTSIDE OF PARKING AREAS, PROPOSED TREE QUANTITY WILL BE CONTINGENT UPON THE QUANTITY OF EXISTING TREES KEPT (TREE CREDITS). TREE SURVEY WILL BE PROVIDED.
- BUILDING HEIGHTS:
PRESS BOX: 74'-9"
HOME SIDE STAIR TOWERS: 82'-1"
STREET LIGHTING NOT PROVIDED DUE TO LIGHTING ALREADY EXISTING ALONG STREET.

KEY NOTES

- AS INDICATED BY: (C)
- BUS PARKING
 - DUAL USE BUS/AUTO PARKING
 - PAVED PARKING LOT - 9.5' X 18' STANDARD PARKING STALL SIZE
 - ADA PARKING STALLS
 - NEW ENTRY/EXIT DRIVE
 - SIGNALIZED PEDESTRIAN CROSSING
 - DETENTION POND
 - HOME DROP-OFF ZONE
 - PUBLISHED FEMA FLOODWAY AND FLOODPLAIN
 - MEDIAN IMPROVEMENTS
 - POTENTIAL WATER OF THE UNITED STATES, NO LETTER OF DETERMINATION FROM USACE
 - STADIUM LIGHTS

GENERAL NOTES

- UNLESS SPECIFIED OTHERWISE, ALL DEVELOPMENT TO BE DONE IN PHASE 1.
- ALL BUILDING HEIGHTS ARE GIVEN FROM CONCOURSE/FIELD LEVEL.
- ALL PARKING AREAS TO BE PAVED WITH CONCRETE.
- PHASE TWO DEVELOPMENT WILL BEGIN WHEN THE AVERAGE TICKET SALES OF THE SEASON ARE GREATER THAN OR EQUAL TO 5,395, OR WHEN THE AVERAGE OF 3 CONSECUTIVE YEARS HIGHEST TICKET SALES EXCEEDS 6,407.

LEGEND

- PROPERTY LINE
- 8" TALL ORNAMENTAL STEEL STADIUM FENCING - SEE LANDSCAPE PLANS
- EXISTING GUARD RAIL
- PROPOSED RAILING - SEE LANDSCAPE PLANS
- SETBACK LINE
- FIRE LANE MARKING
- FUTURE PHASE 2 DEVELOPMENT
- PROPOSED 25' LIGHT POLE + 2.5' BASE
- STANDARD DUTY CONCRETE PAVEMENT - 6"
- HEAVY DUTY CONCRETE PAVEMENT - 8"
- SIDEWALK - 4"
- ROCK RIP RAP

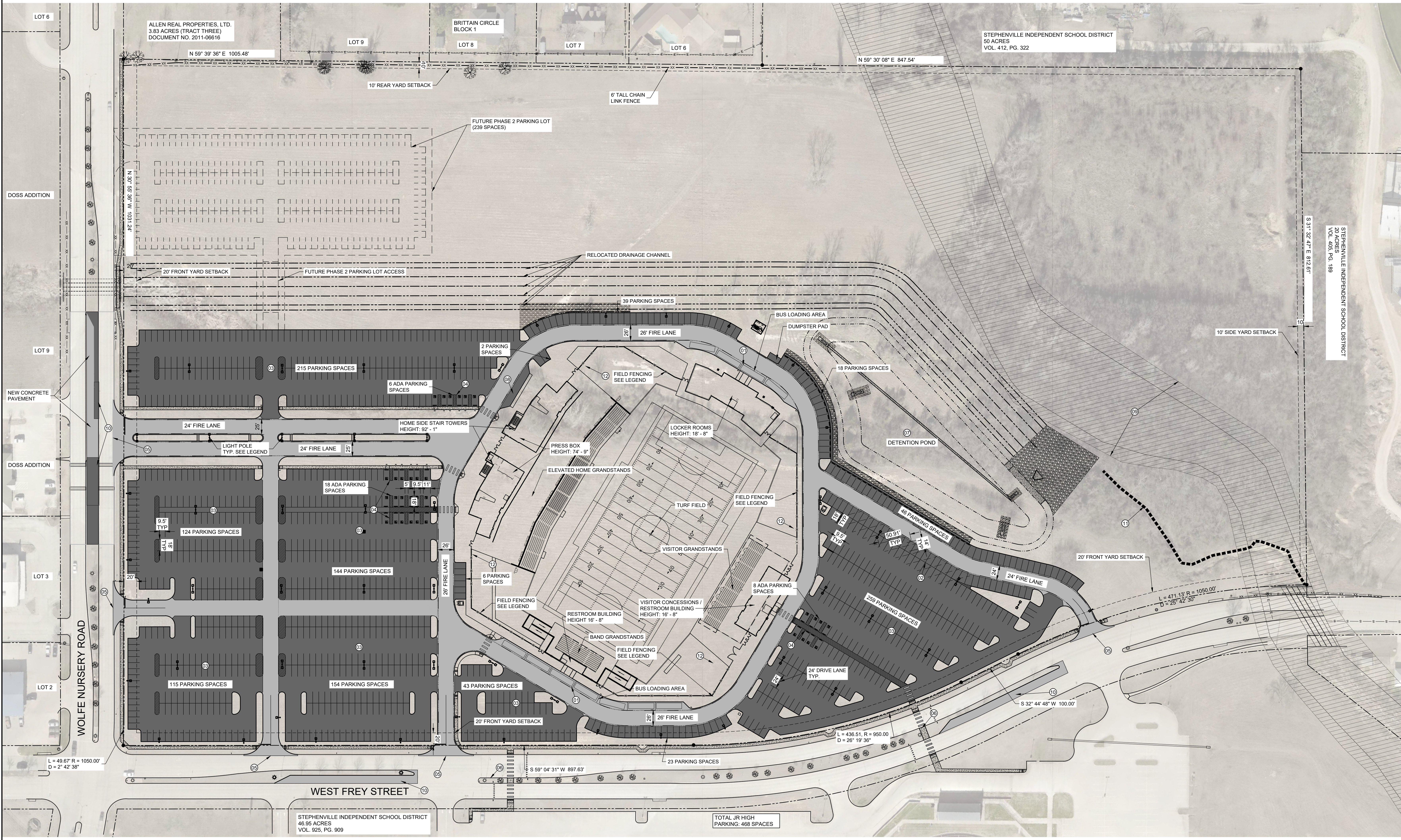
CONTACTS & PROPERTY INFORMATION

OWNER:
STEPHENVILLE ISD
(254) 968-7990

ENGINEER:
PARKHILL
BEN SANCHEZ
(972) 987-1670
bsanchez@parkhill.com

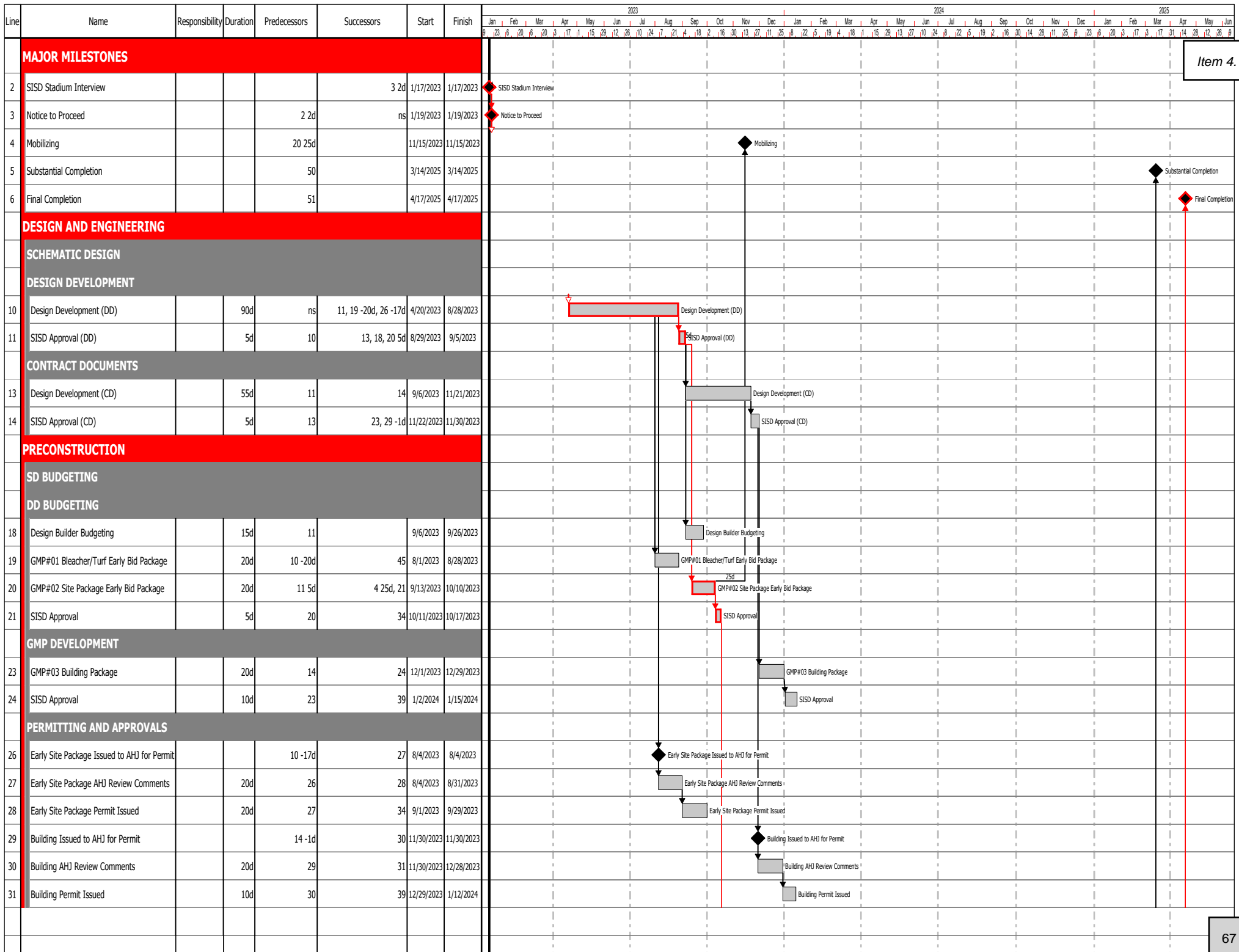
SURVEYOR:
PRICE SURVEYING
MATTHEW PRICE
(254) 965-5489
matthew@pricesurveying.com

PROPERTY INFORMATION:
S32600 CITY ADDITION, BLOCK 156, LOT 7 (PT OF)
42.93 AC.
CITY OF STEPHENVILLE

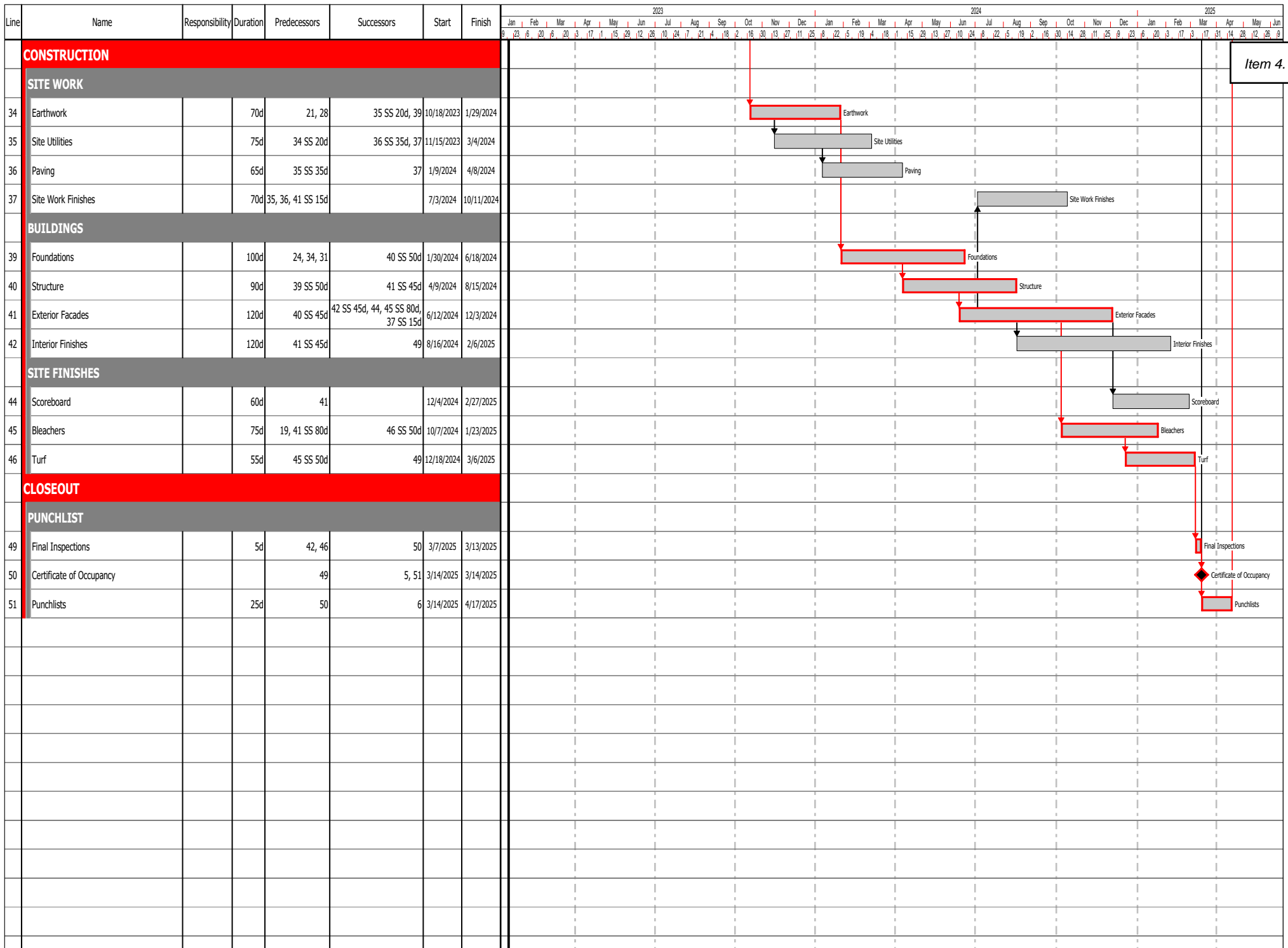


A1 DEVELOPMENT PLAN
1" = 60'

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Item 4.



From: [Steve Killen](#)
To: [Ben Sanchez](#); [Tina Cox](#)
Cc: [Landon G Bell](#); [Mildred Bautista](#)
Subject: RE: Stephenville PD Council Presentation
Date: Tuesday, October 10, 2023 12:03:01 PM
Attachments: [image001.png](#)
[image002.png](#)
[image004.png](#)
[image006.png](#)
[image008.png](#)
[image011.png](#)
[image015.png](#)

Received

Thank you for the clarification.

Steve Killen

Director
Development Services



P: (254) 918-1222 | **C:** (214) 677-8352

E: skillen@stephenvilletx.gov

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From: Ben Sanchez <BSanchez@Parkhill.com>
Sent: Tuesday, October 10, 2023 12:01 PM
To: Steve Killen <SKillen@stephenvilletx.gov>; Tina Cox <TCox@stephenvilletx.gov>
Cc: Landon G Bell <LGBell@Parkhill.com>; Mildred Bautista <MBautista@Parkhill.com>
Subject: Re: Stephenville PD Council Presentation

Hi Steve.

We are keeping the tree survey.

We are removing CH002 completely.

We are replacing CU101, CS101, C100, and CH001, with the sheets sent last Friday; redubmittal #3. We are also replacing all L sheets, with the sheets sent yesterday.

The presentation sent today does not replace any sheets. It is ONLY to present to council.

Landon and I will be heading to Stephenville at 2 pm. Call me if I need to clarify. Thanks.

Ben Sanchez, PE

Parkhill

972.987.1670 (O) | 806.790.6139 (M)
BSanchez@parkhill.com

Sent from my iPhone

From: Steve Killen <SKillen@stephenvilletx.gov>
Sent: Tuesday, October 10, 2023 11:08:26 AM
To: Ben Sanchez <BSanchez@Parkhill.com>; Tina Cox <TCox@stephenvilletx.gov>
Cc: Landon G Bell <LGBell@Parkhill.com>; Mildred Bautista <MBautista@Parkhill.com>
Subject: RE: Stephenville PD Council Presentation

The last submittals for the P&Z meeting included the following:

- [2023-09-15 Resubmittal #2.pdf](#) (86.99 MB)
- [2023.10.06 - Resubmittal #3 - CU101-40108-Utility-CU101 .pdf](#) (1.16 MB)
- [2023.10.06 - Resubmittal #3 - CH001-40108 Pre and Post Dev Channel Flows-CH001.pdf](#) (1.26 MB)
- [2023.10.06 - Resubmittal #3 - E-100-40108 SITE PLAN - SPORTS LIGHTING-Layout1.pdf](#) (2.56 MB)
- [2023.10.06 - Resubmittal #3 - CS101-40108-Development Plan-CS101.pdf](#) (6.21 MB)
- [Stvl ISD Tree Survey.pdf](#) (1.07 MB)
- [Stephenville Stadium Pre-Con Schedule 8-4-23.pdf](#) (0.15 MB)
- [2023-09-20_SISD Stadium_Presentation to P&Z.pdf](#) (6.88 MB)

With these updates, you are requesting we remove the Tree Survey and the Stadium Presentation and replace with the documents submitted today, correct?

Steve Killen

Director
Development Services



P: (254) 918-1222 | **C:** (214) 677-8352
E: skillen@stephenvilletx.gov



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This e-mail contains the thoughts and opinions of Steve Killen and does not represent

official City of Stephenville policy.

Note to elected officials: Please respond only to the sender of this message. Reply to all may result in a violation of the Texas Open Meetings Act.

From: Ben Sanchez <BSanchez@Parkhill.com>
Sent: Tuesday, October 10, 2023 10:21 AM
To: Steve Killen <SKillen@stephenvilletx.gov>; Tina Cox <TCox@stephenvilletx.gov>
Cc: Landon G Bell <LGBell@Parkhill.com>; Mildred Bautista <MBautista@Parkhill.com>
Subject: Stephenville PD Council Presentation

Steve-

See attached presentation.

Ben Sanchez, PE

Parkhill
972.987.1670 (O) | 806.790.6139 (M)
BSanchez@parkhill.com

Sent from my iPhone

From: Landon G Bell <LGBell@Parkhill.com>
Sent: Tuesday, October 10, 2023 8:50 AM
To: Ben Sanchez <BSanchez@Parkhill.com>
Subject: Stephenville PD Council Presentation

Ben,

See attached for current Council PD Presentation.

Thanks,

Landon G Bell, RLA
Landscape Architect | Associate

Parkhill
[469.200.7362](tel:469.200.7362) | LGBell@Parkhill.com

This email has been scanned for spam and viruses by Proofpoint Essentials. Click [here](#) to report this email as spam.



City Council Meeting
10/09/2023



CROSSLAND + Park III
CONSTRUCTION COMPANY, INC.

MISSION

BUILDING COMMUNITY by creating inventive, relevant built environments together

VISION

To **ENHANCE LIVES** and **INSPIRE PEOPLE** in the communities we build

COLLECTIVE VALUES

- | Real Innovation
- | Engaging Collaboration
- | Life Balance
- | **Enduring Relationships**

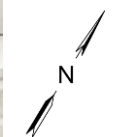
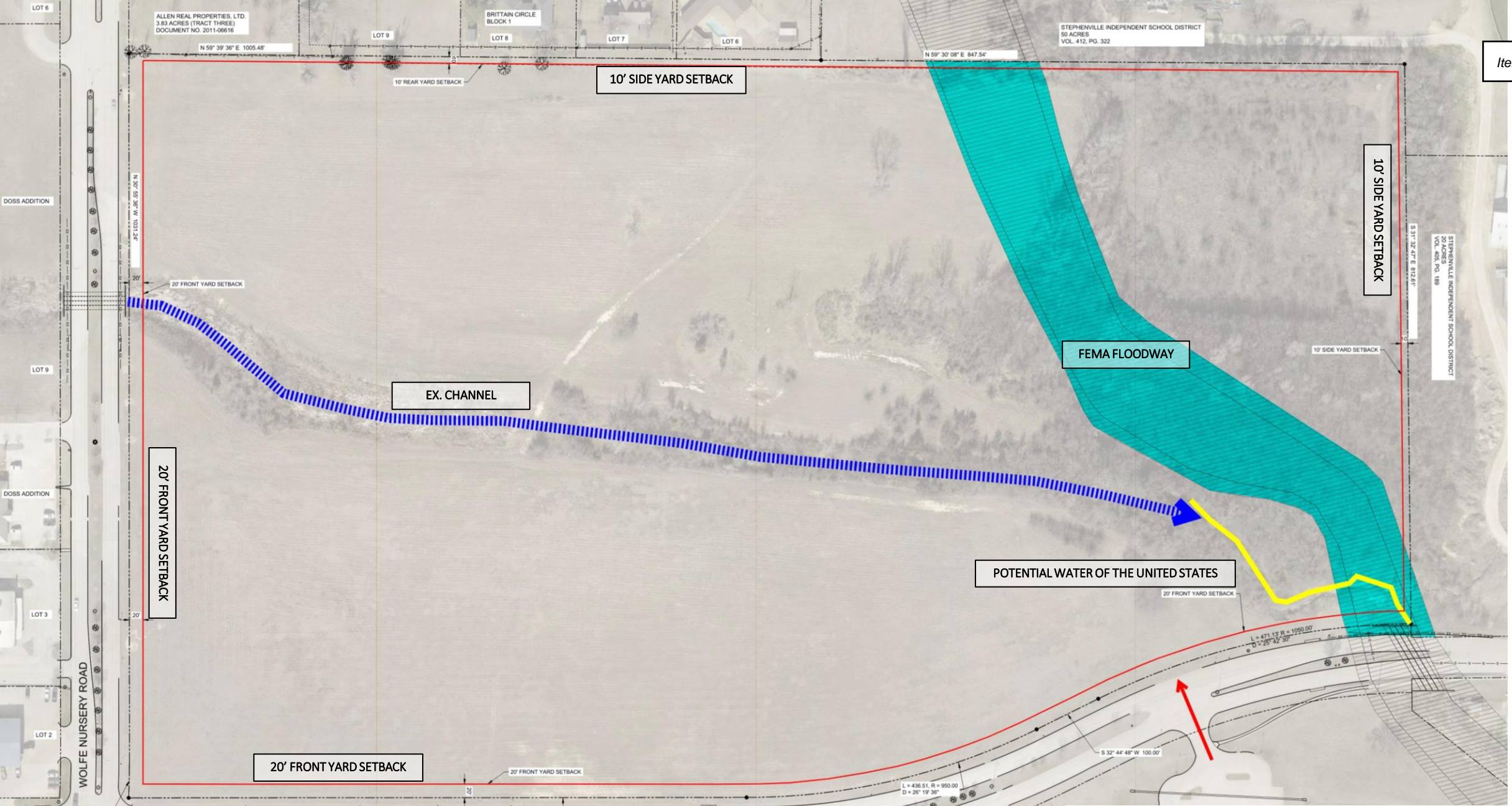
INDIVIDUAL VALUES

- | Personal Ownership
- | Deepening Credibility
- | Contagious Passion
- | Inspired Contribution
- | Unassuming Influence
- | Informed Insight
- | Humble Leadership

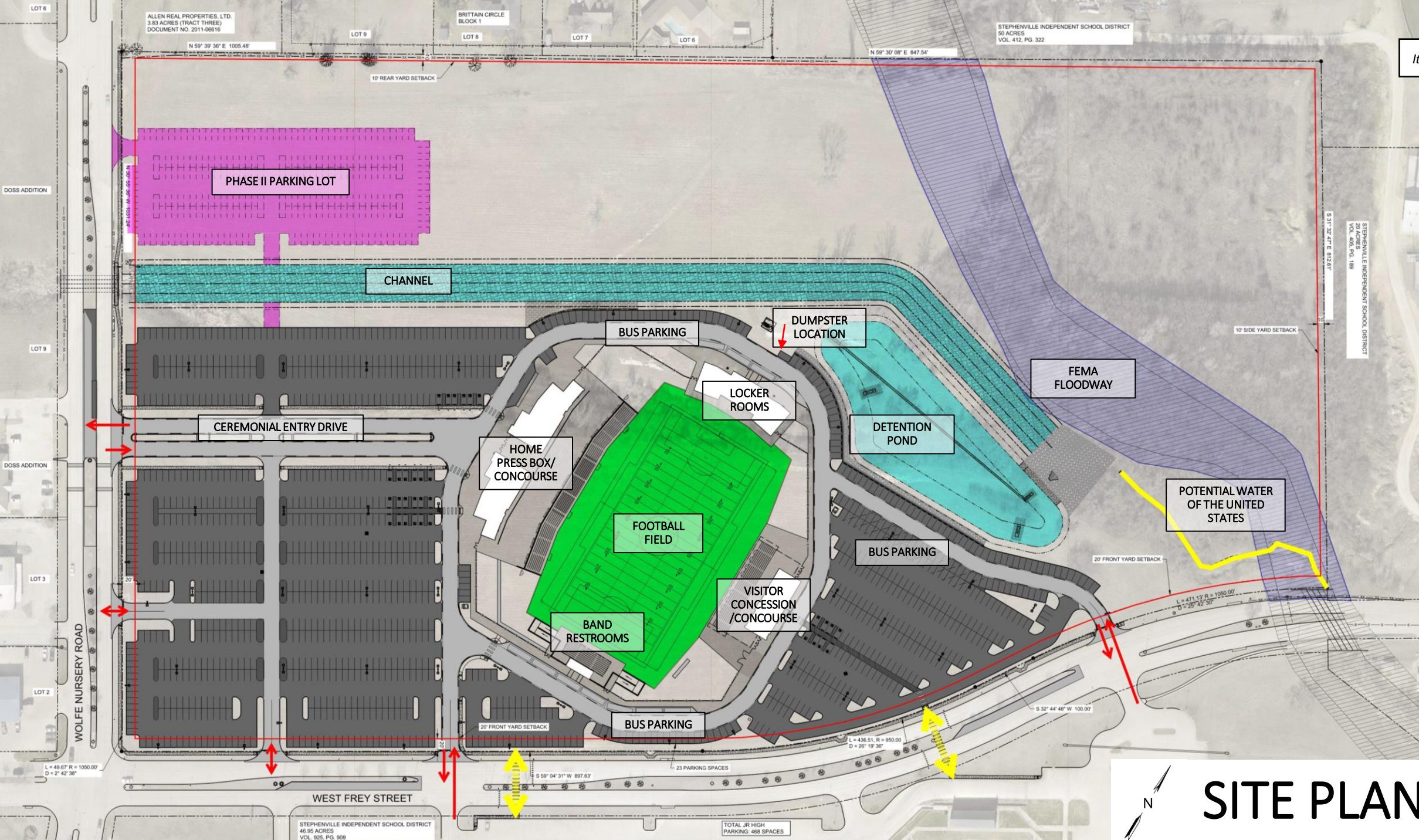
PROJECT OVERVIEW

REQUESTED CODE DEVIATIONS

SCHEDULE



EXISTING SITE



SITE PLAN



STADIUM PERSPECTIVE



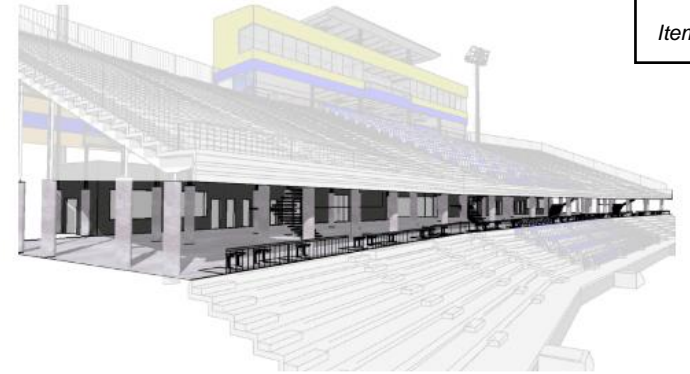
STADIUM PERSPECTIVE



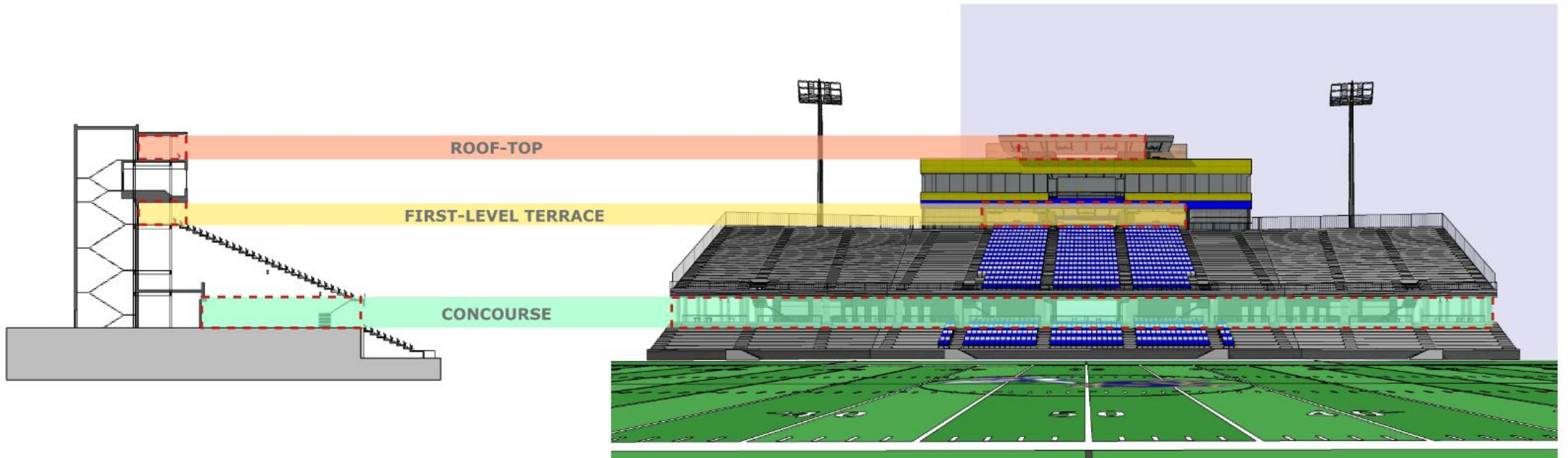
ROOF-TOP



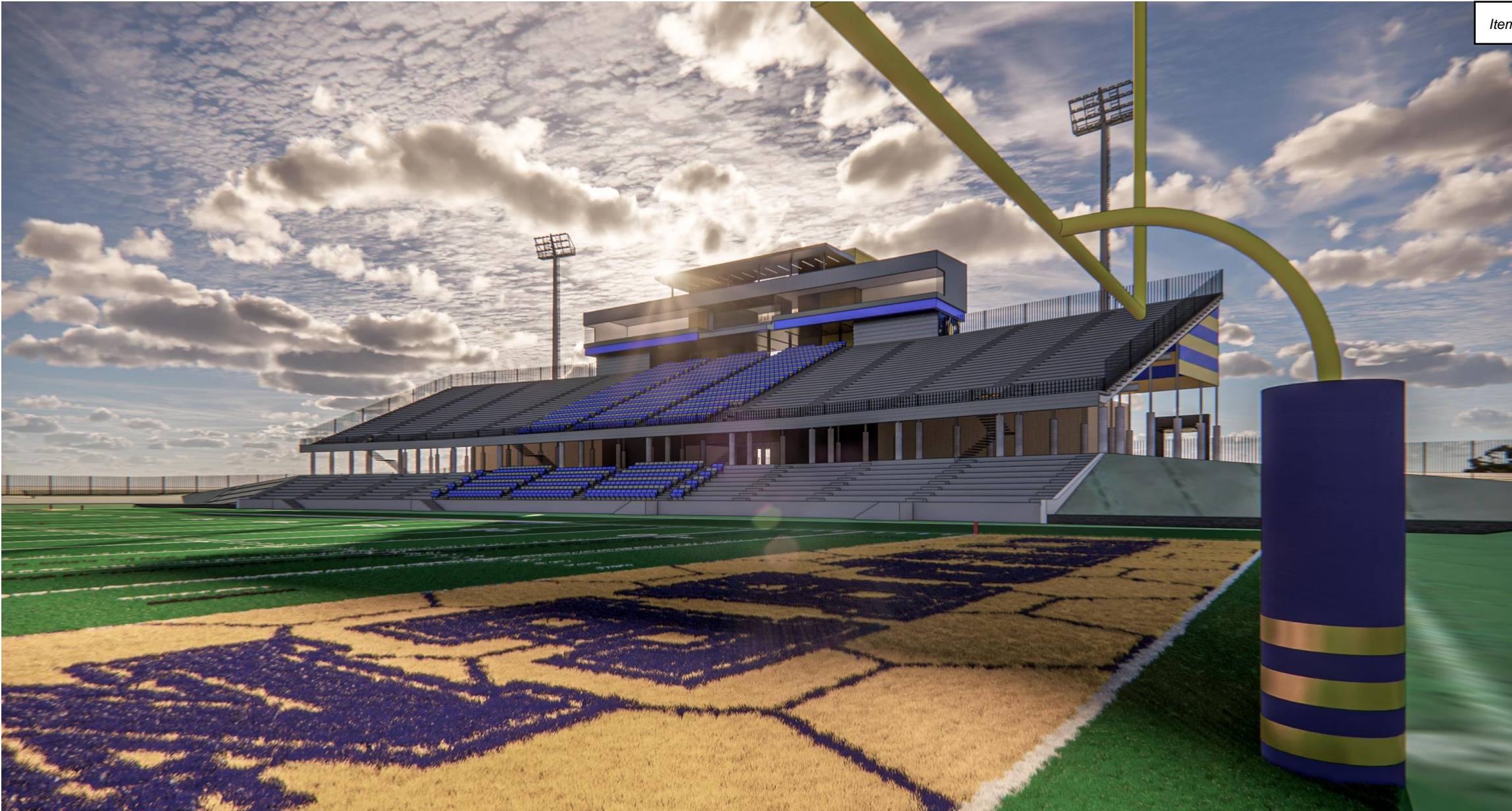
FIRST-LEVEL TERRACE



CONCOURSE



HOME SIDE LEVEL VIEWS



HOME GRANDSTANDS

GENERAL NOTES:

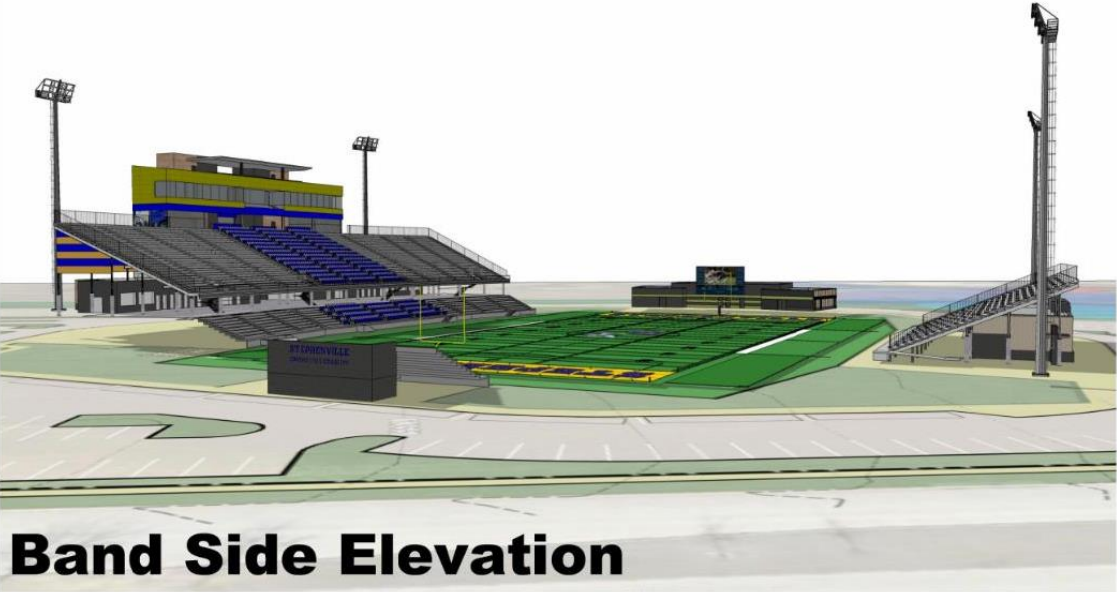
- 1. *Provided Renderings & Plans are for illustration purposes only as the design process is ongoing*
- 2. *Final material selections to be defined with client & to meet Local & National standards*
- 3. *Estimated preliminary percentages:*
 - A. Split Face CMU = 32%
 - B. Metal Panel = 20%
 - C. Rainscreen Concrete Panel = 32%
 - D. Corrugated Perforated Metal = 15%
 - E. Vinyl Coated Poly Screening Mesh = Mounted over portions of exposed steel structure at pressbox & bleachers / grandstands



Locker Side Elevation



Home Side Elevation



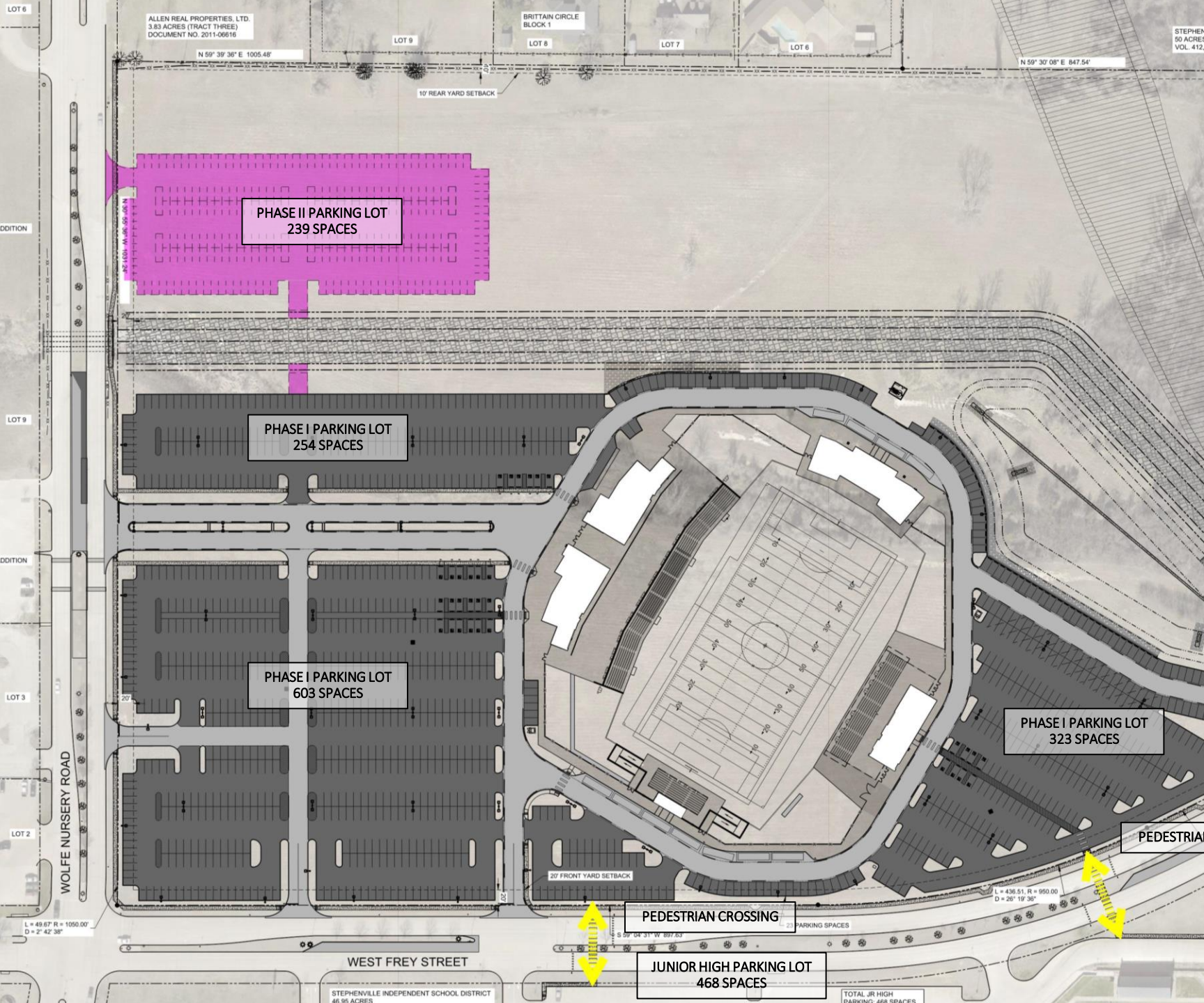
Band Side Elevation



Visitor Side Elevation

GENERAL NOTES:

- 1. *Provided Renderings & Plans are for illustration purposes only as the design process is ongoing*
- 2. *Final material selections to be defined with client & to meet Local & National standards*
- 3. *Estimated preliminary percentages:*
 - A. Split Face CMU = 32%
 - B. Metal Panel = 20%
 - C. Rainscreen Concrete Panel = 32%
 - D. Corrugated Perforated Metal = 15%
 - E. Vinyl Coated Poly Screening Mesh = Mounted over portions of exposed steel structure at pressbox & bleachers / grandstands



PARKING CALCULATION Item 4.

HOME SIDE SEATS:	5,500
VISITOR SIDE SEATS:	2,000
BAND SEATS:	200
TOTAL SEATS:	7,700

PARKING:
 REQUIRED: $7,700 / 4 =$ **1925 (4:1)**

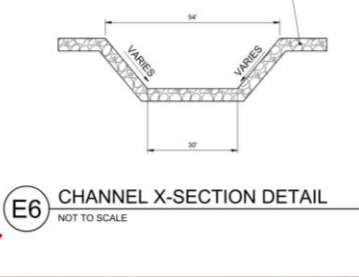
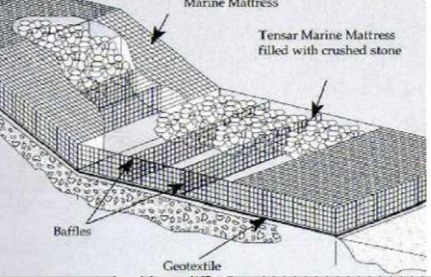
PHASE 1:
 ONSITE PAVED: **1,218**

JUNIOR HIGH OFFSITE:
PHASE 1 TOTAL: **1,686 (4.56:1)**

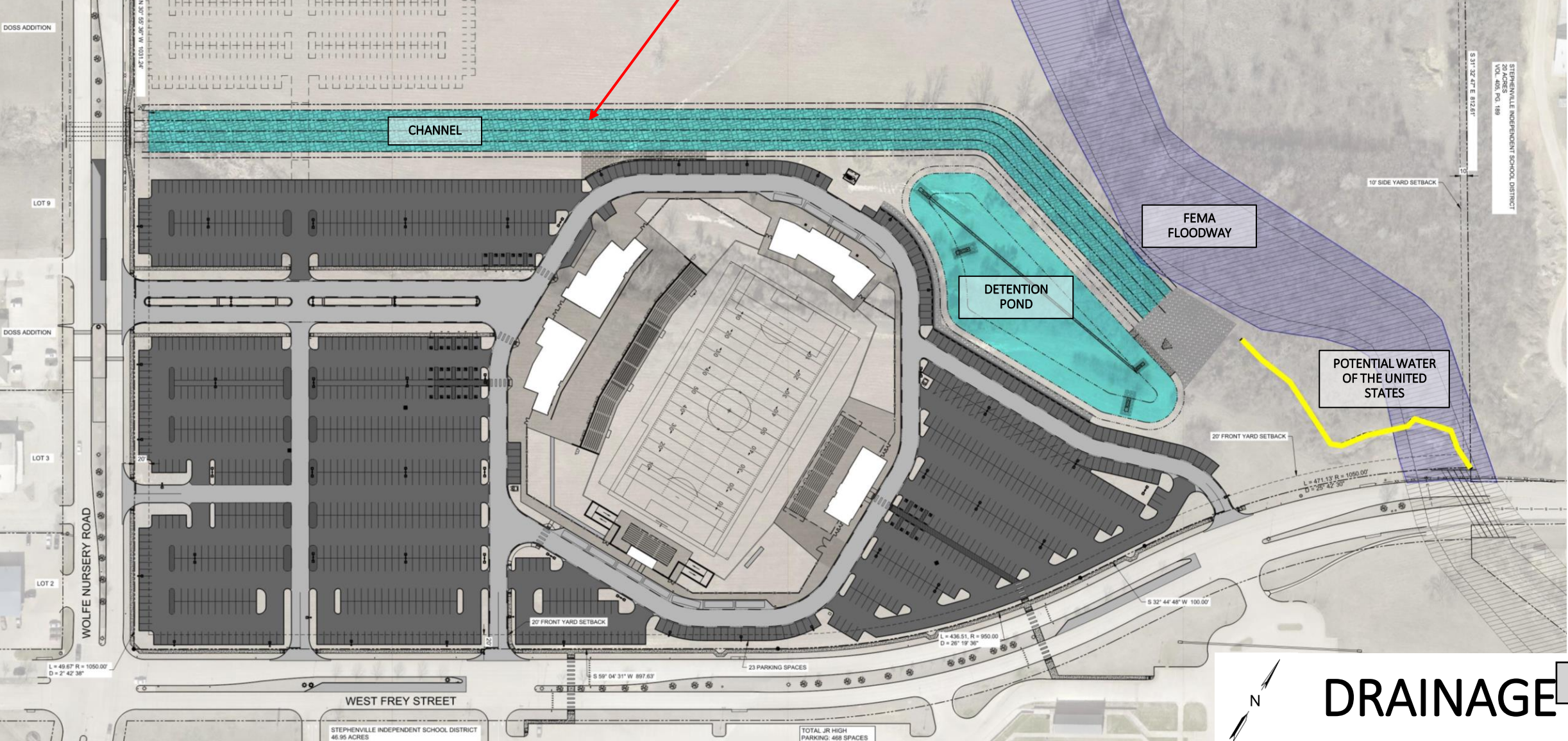
PHASE 2:
 ONSITE PAVED
 NORTH OF DRAINAGE CHANNEL:
PHASE 2 TOTAL: **239**

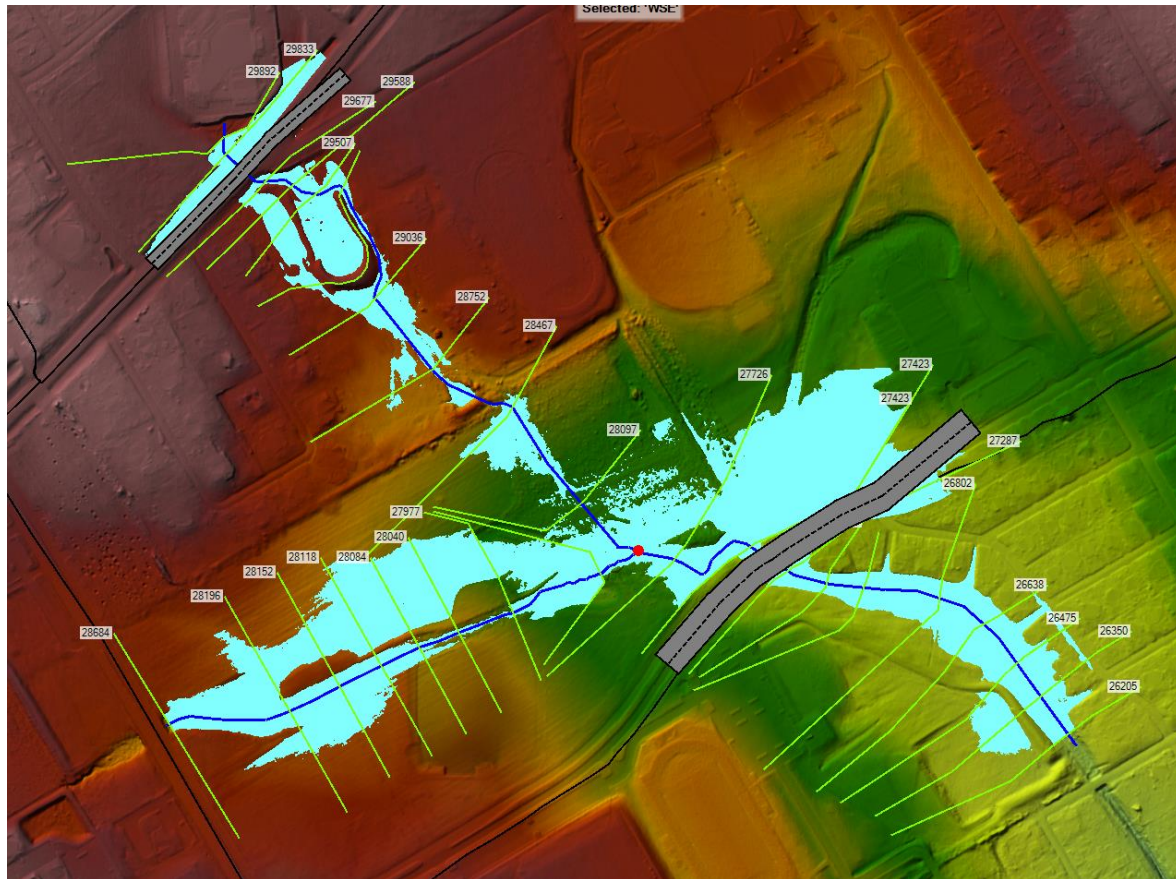
TOTAL PARKING PROVIDED: **1,925 (4:1)**

TIA IS CURRENTLY ON-GOING

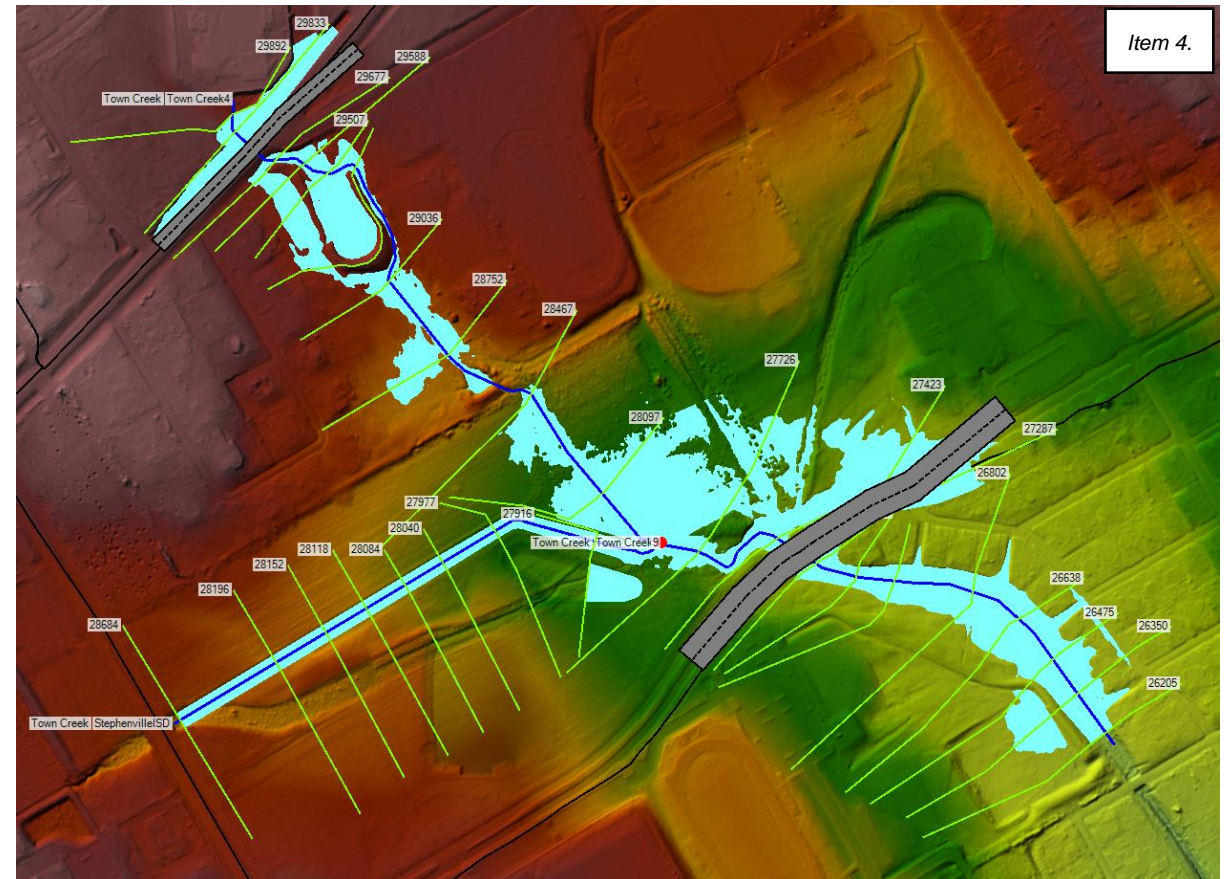


Item 4.

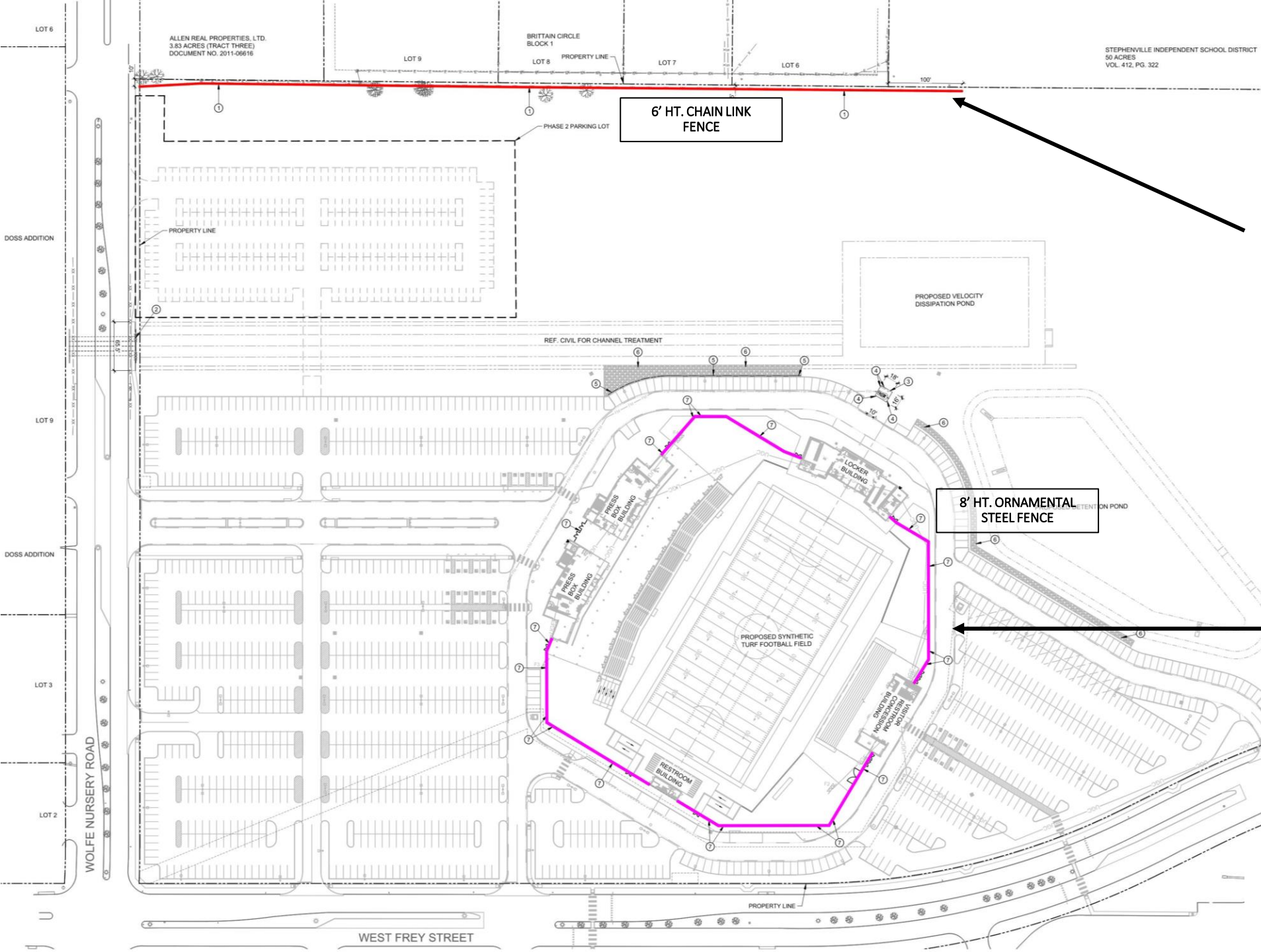




**DEPTH OF FLOODING
EXISTING CONDITION
6-INCH DEPTH**



**DEPTH OF FLOODING
PROPOSED CONDITION
6-INCH DEPTH**



6' HT. CHAIN LINK FENCE
REPRESENTATIVE PHOTO

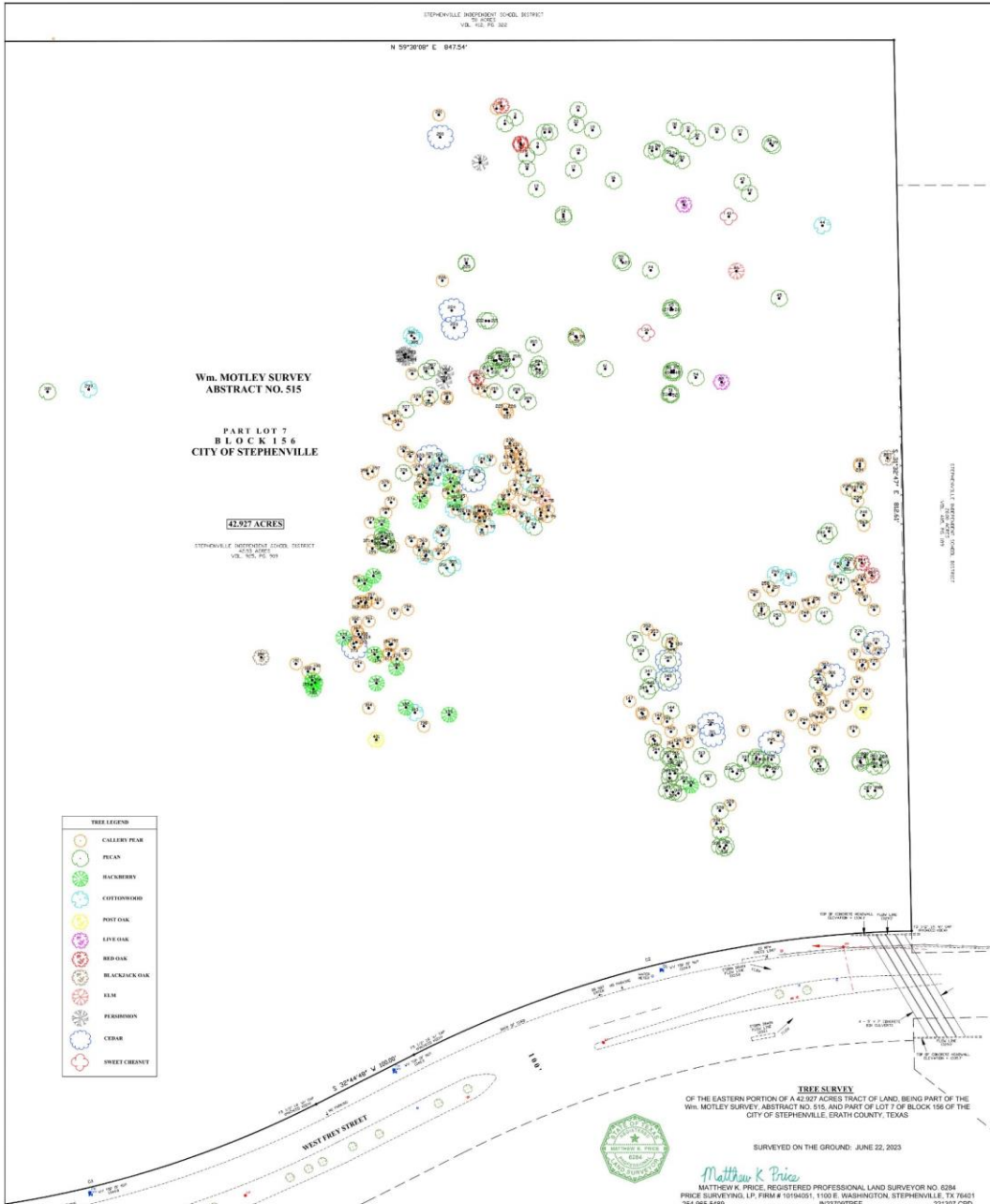


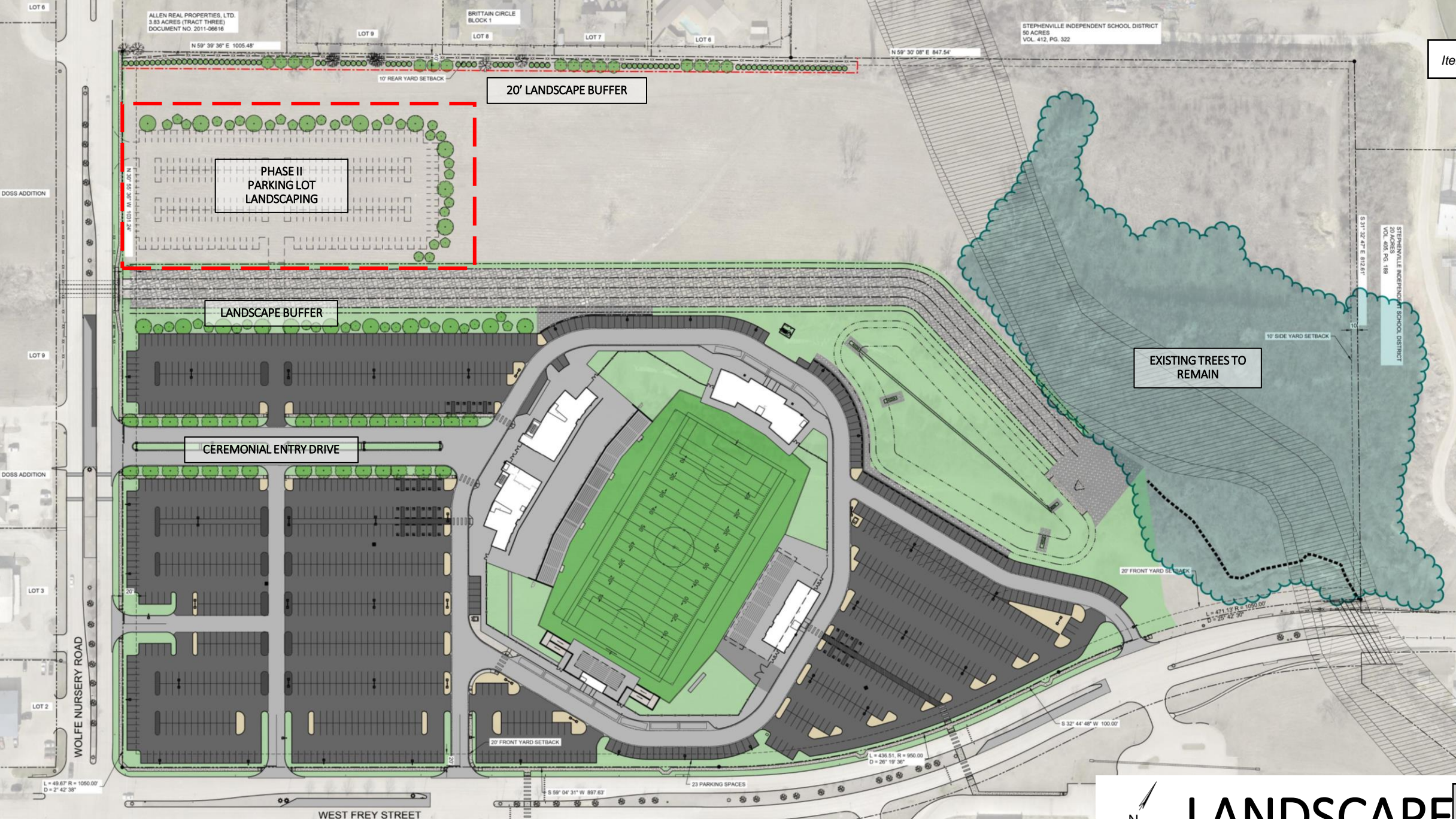
8' HT. ORNAMENTAL FENCE AROUND STADIUM – REPRESENTATIVE PHOTO

SITE FENCING

TREE SURVEY:

- OVER 400 TREES SURVEYED ON EASTERN SIDE PROPERTY
- TREES TO BE PRESERVED WILL BE USED FOR LANDSCAPE CREDIT





STEPHENVILLE INDEPENDENT SCHOOL DISTRICT
46.95 ACRES
VOL. 925, PG. 909

TOTAL JR HIGH
PARKING: 468 SPACES



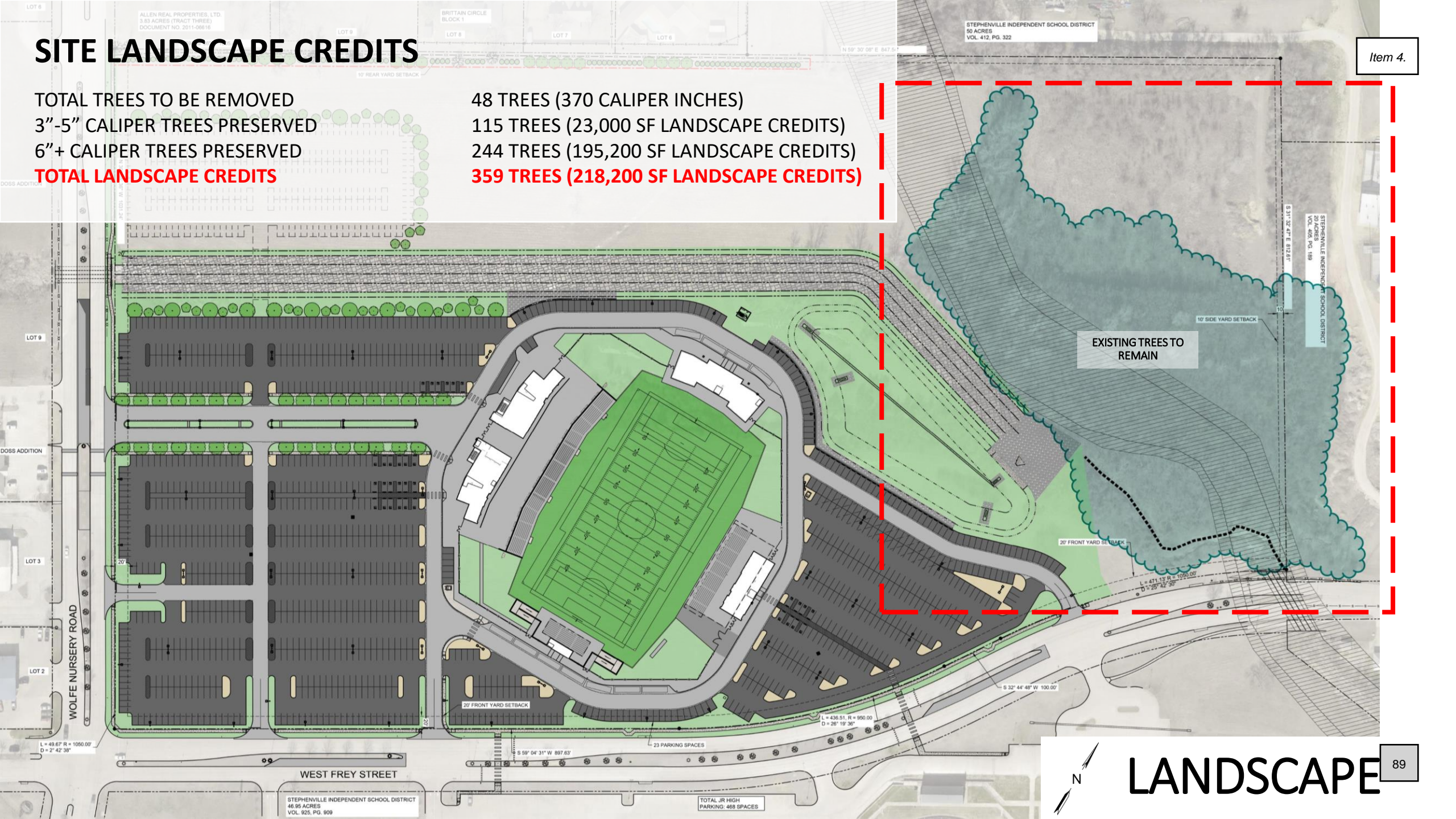
LANDSCAPE

SITE LANDSCAPE CREDITS

TOTAL TREES TO BE REMOVED
3"-5" CALIPER TREES PRESERVED
6"+ CALIPER TREES PRESERVED
TOTAL LANDSCAPE CREDITS

48 TREES (370 CALIPER INCHES)
115 TREES (23,000 SF LANDSCAPE CREDITS)
244 TREES (195,200 SF LANDSCAPE CREDITS)
359 TREES (218,200 SF LANDSCAPE CREDITS)

Item 4.



LANDSCAPE AREA

REQUIRED LANDSCAPE AREA:

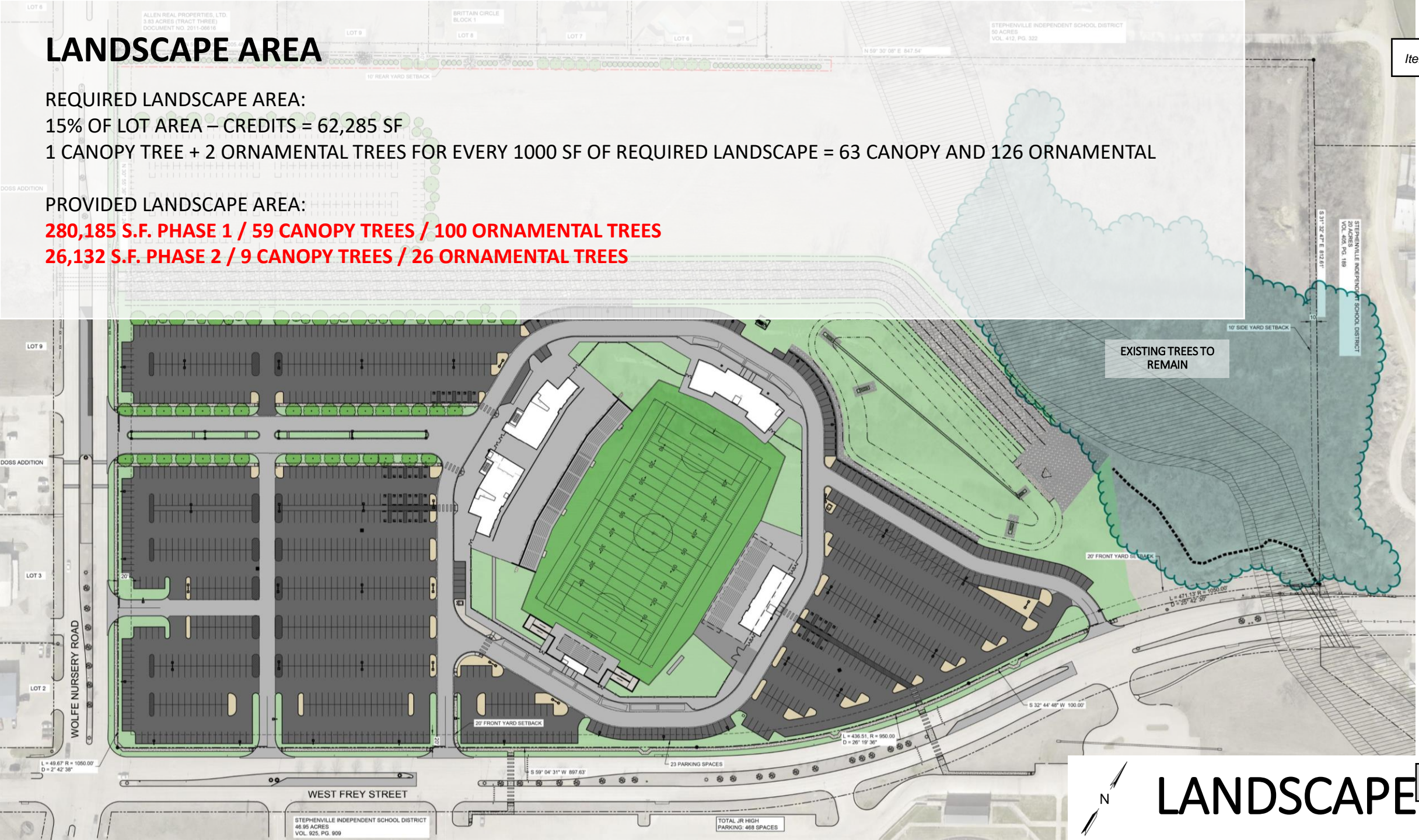
15% OF LOT AREA – CREDITS = 62,285 SF

1 CANOPY TREE + 2 ORNAMENTAL TREES FOR EVERY 1000 SF OF REQUIRED LANDSCAPE = 63 CANOPY AND 126 ORNAMENTAL

PROVIDED LANDSCAPE AREA:

280,185 S.F. PHASE 1 / 59 CANOPY TREES / 100 ORNAMENTAL TREES

26,132 S.F. PHASE 2 / 9 CANOPY TREES / 26 ORNAMENTAL TREES



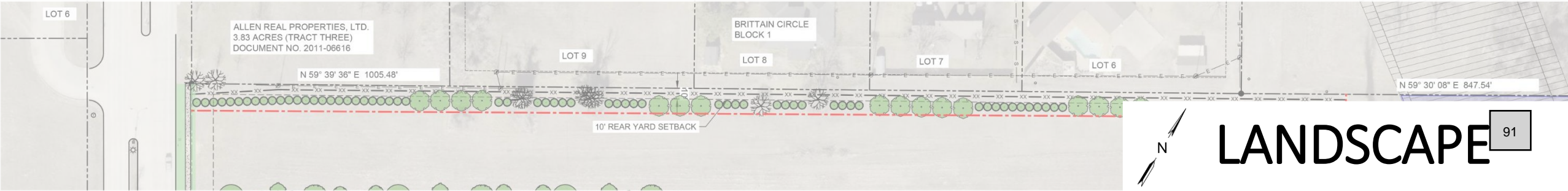
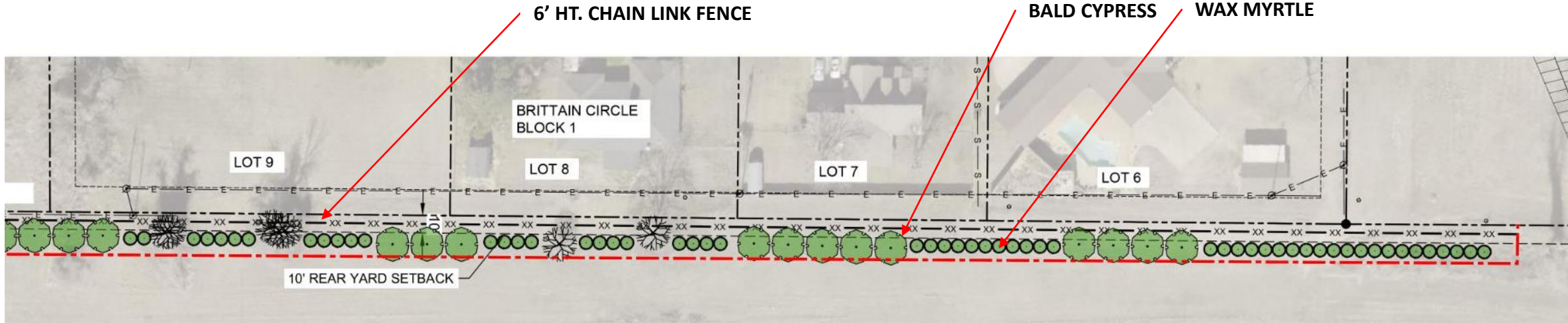
Item 4.

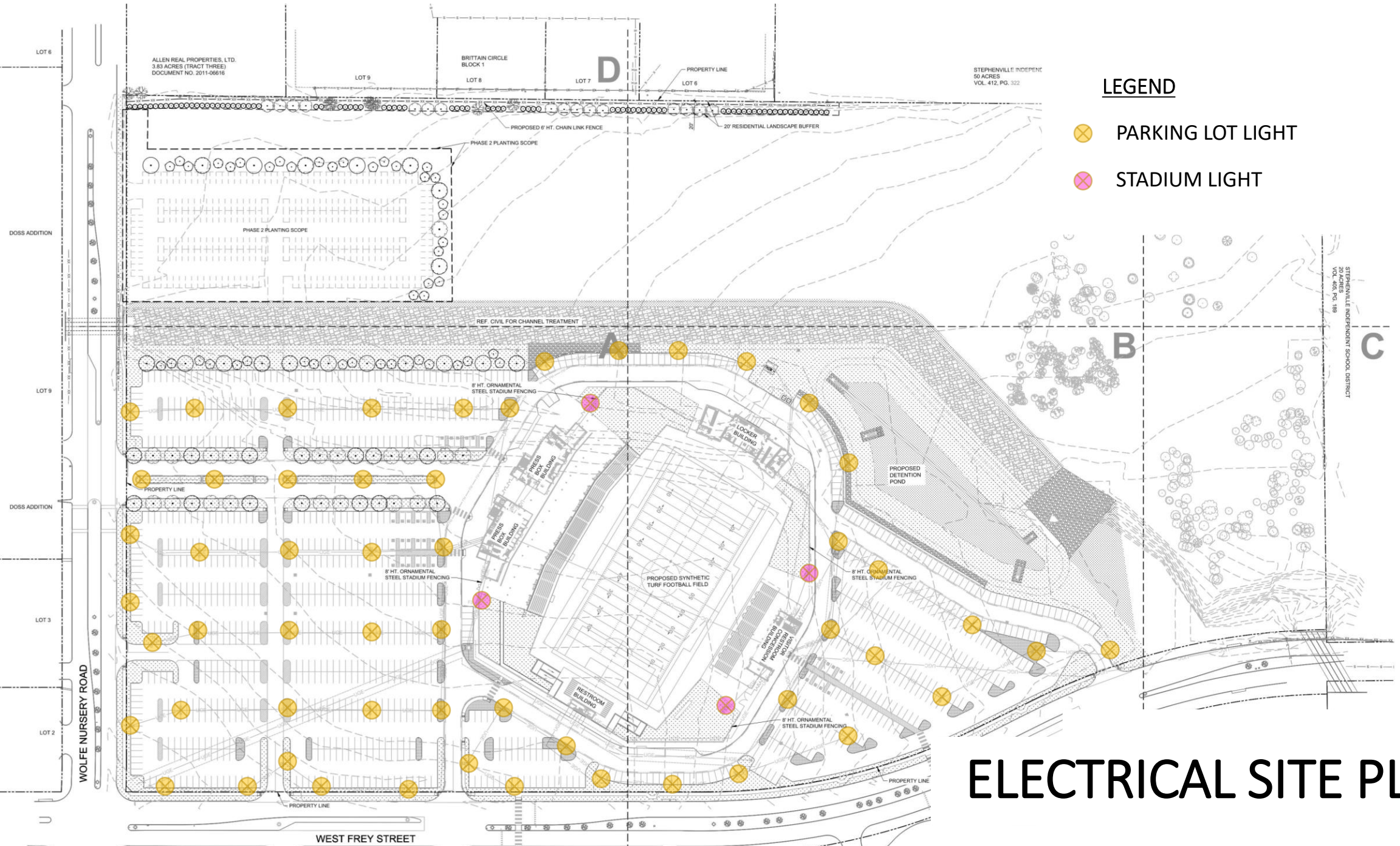
LANDSCAPE BUFFER AT BRITTAIN CIRCLE

REQUIRED LANDSCAPE AREA:
20' WIDE LANDSCAPE BUFFER AGAINST RESIDENTIAL ZONING
23 CANOPY TREES AND 46 ORNAMENTAL TREES REQUIRED

PROVIDED:
20' WIDE LANDSCAPE BUFFER W/ 23 CANOPY TREES AND 82 ORNAMENTAL TREES

Trees and Ornamental Trees will be irrigated





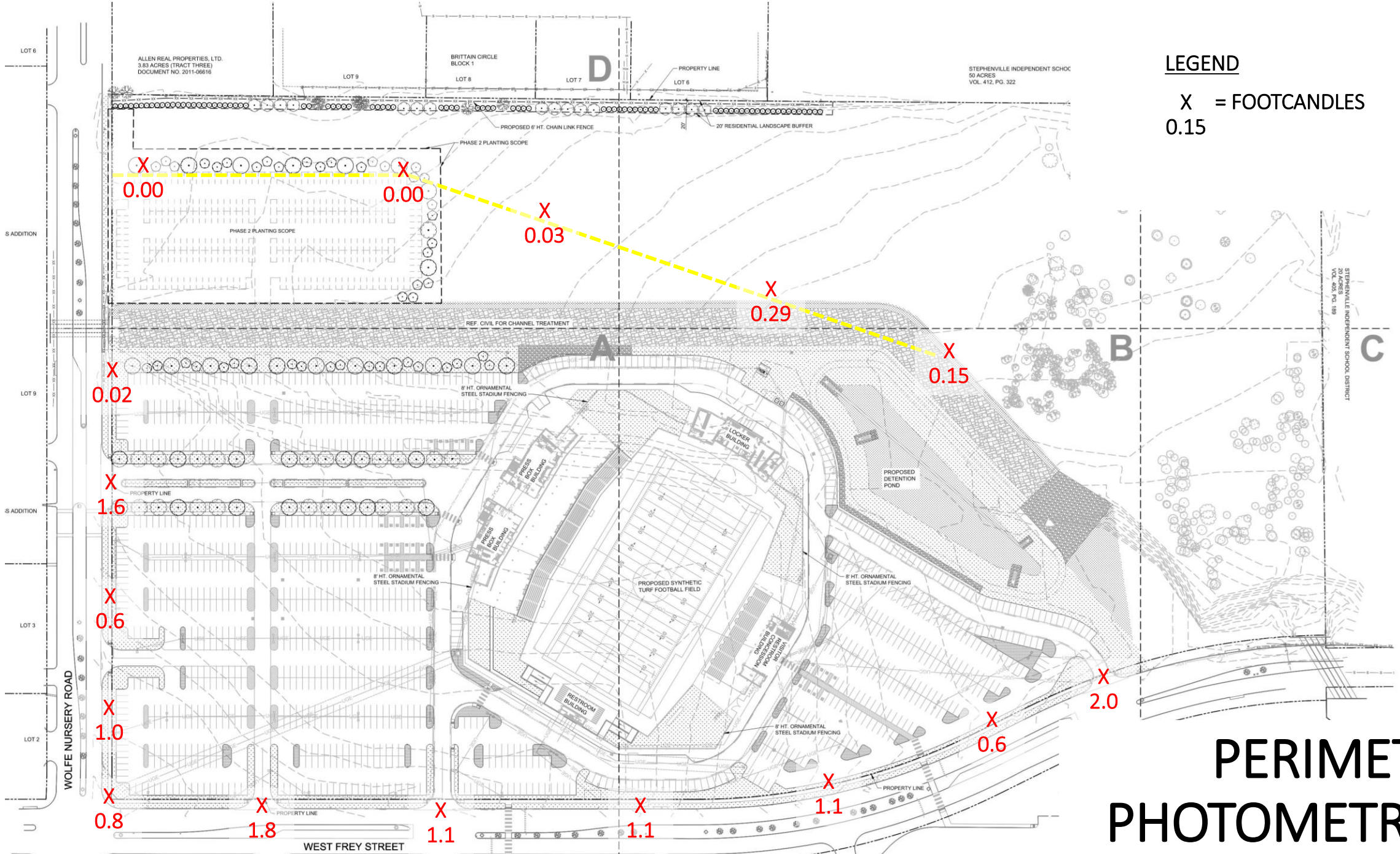
LEGEND

- ✕ PARKING LOT LIGHT
- ✕ STADIUM LIGHT

ELECTRICAL SITE PLAN

LEGEND

X = FOOTCANDLES
0.15



**PERIMETER
PHOTOMETRICS**



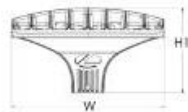
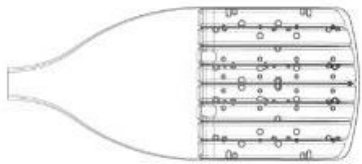
d[#]series

D-Series Size 1 LED Area Luminaire



Specifications

EPA:	0.69 ft ² (0.06 m ²)
Length:	32.71" (83.1 cm)
Width:	14.26" (36.2 cm)
Height H1:	7.88" (20.0 cm)
Height H2:	2.73" (6.9 cm)
Weight:	34 lbs (15.4 kg)



Catalog Number	DSX1 LED Px 40K 80CRI T
Notes	Stephenville ISD Stadium
Type	AA/BB/CC

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

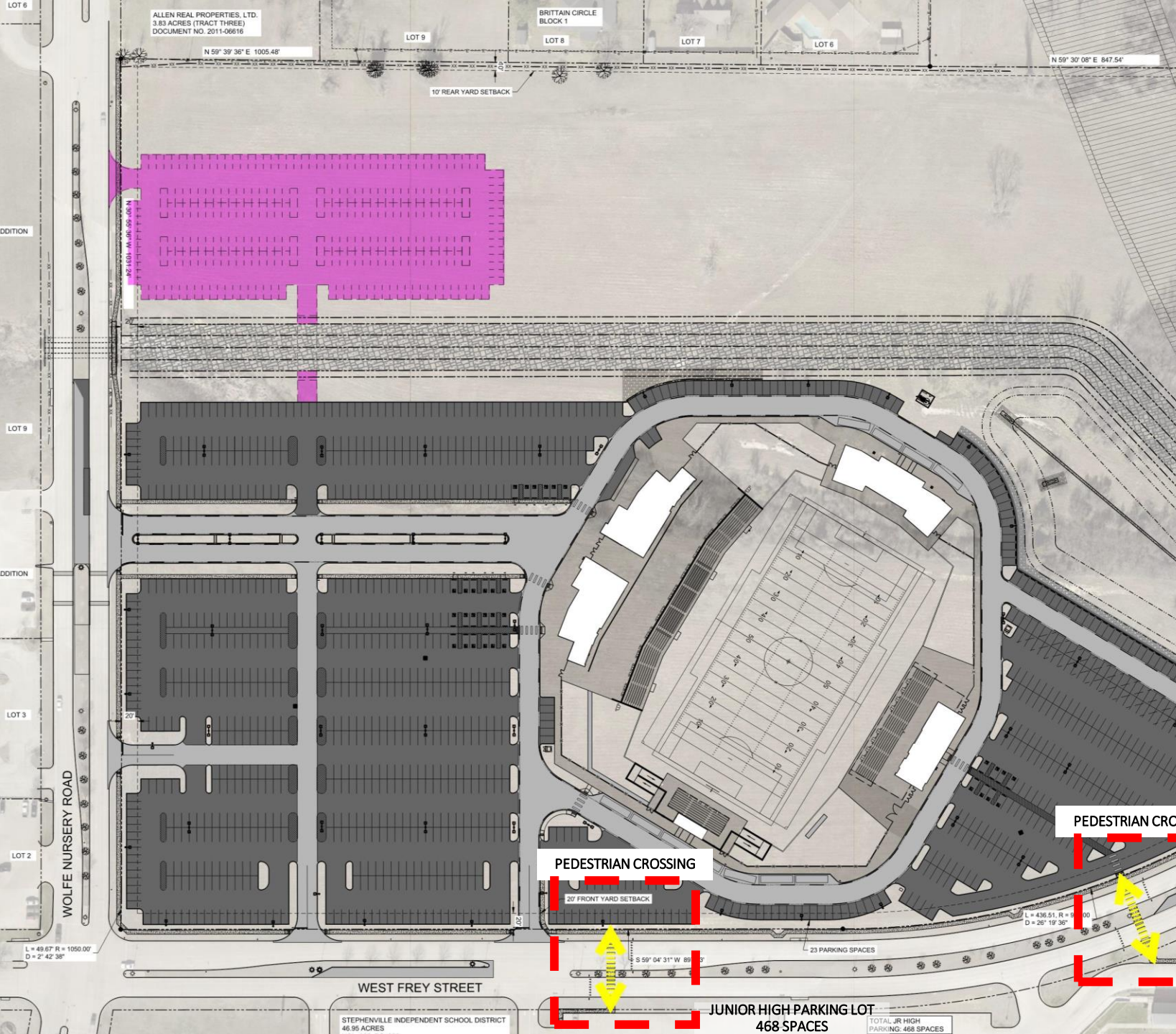
The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED	P7/P6/P6	40K	80CRI	T5W/T5M/T4M	MVOLT	xPA
----------	----------	-----	-------	-------------	-------	-----

TYPICAL PARKING LOT LIGHT POLE FIXTURE – 25' HEIGHT



CODE DEVIATION 1:
 USE OF JUNIOR HIGH OFFSITE
 PARKING (468 SPACES). TWO
 SIGNALIZED PEDESTRIAN
 CROSSINGS WILL BE PROVIDED
 ACROSS WEST FREY STREET

Item 4.

CODE DEVIATION 1



PEDESTRIAN CROSSING



MID-BLOCK CROSSING WITH ISLAND

CODE DEVIATION 1:
USE OF JUNIOR HIGH OFFSITE
PARKING (468 SPACES). **TWO**
SIGNALIZED PEDESTRIAN
CROSSINGS WILL BE PROVIDED
ACROSS WEST FREY STREET.

Item 4.

CODE DEVIATION 2:

PHASE TWO PAVED PARKING LOT (239 SPACES) SHALL BE CONSTRUCTED AT FUTURE TIME WHEN STADIUM DEMAND REACHES FULL CAPACITY.

SISD WILL CONSTRUCT PHASE TWO WHEN:

PHASE TWO DEVELOPMENT WILL BEGIN WHEN THE AVERAGE TICKET SALES OF THE SEASON ARE GREATER THAN OR EQUAL TO **5,395**

*Logic: 80% of parking spaces provided in **phase one** would be occupied.*

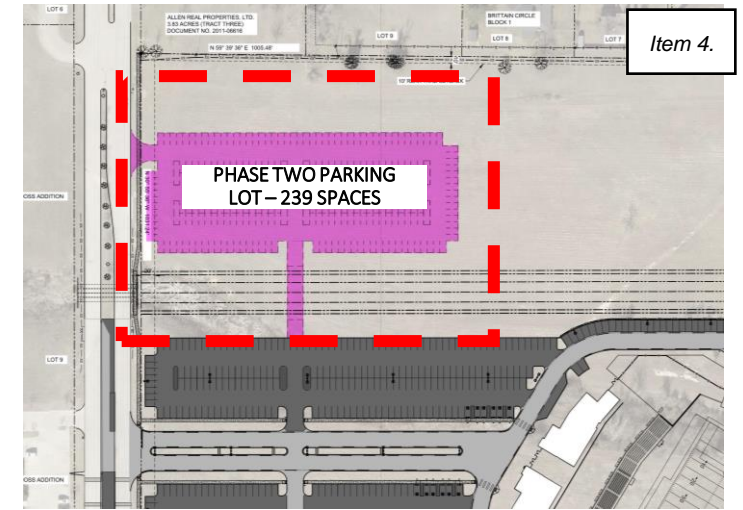
OR

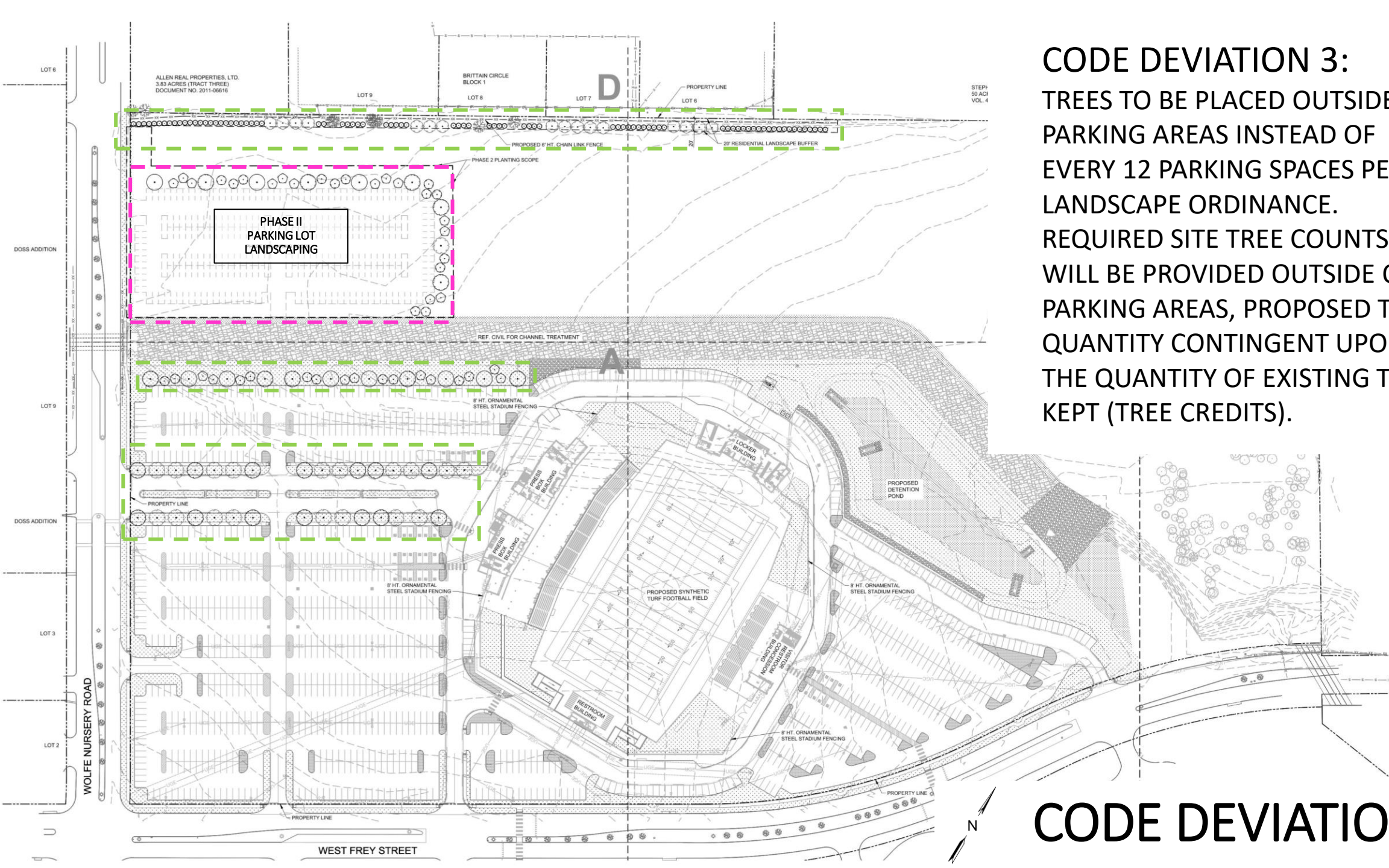
WHEN THE AVERAGE OF 3 CONSECUTIVE YEARS HIGHEST TICKET SALES EXCEEDS **6,407**

*Logic: 95% of **phase one** parking spaces would be occupied. Last years ticket sales were 5,468.*

$$5,395 / 4 = 1,348 / 1,686 = 80\%$$

$$6,407 / 4 = 1,601 / 1,686 = 95\%$$





CODE DEVIATION 3: Item 4.

TREES TO BE PLACED OUTSIDE OF PARKING AREAS INSTEAD OF EVERY 12 PARKING SPACES PER LANDSCAPE ORDINANCE. REQUIRED SITE TREE COUNTS WILL BE PROVIDED OUTSIDE OF PARKING AREAS, PROPOSED TREE QUANTITY CONTINGENT UPON THE QUANTITY OF EXISTING TREES KEPT (TREE CREDITS).

CODE DEVIATION 4:

BUILDING HEIGHTS:

PRESS BOX: 74'-9"

HOME SIDE STAIR TOWERS: 92'-1"



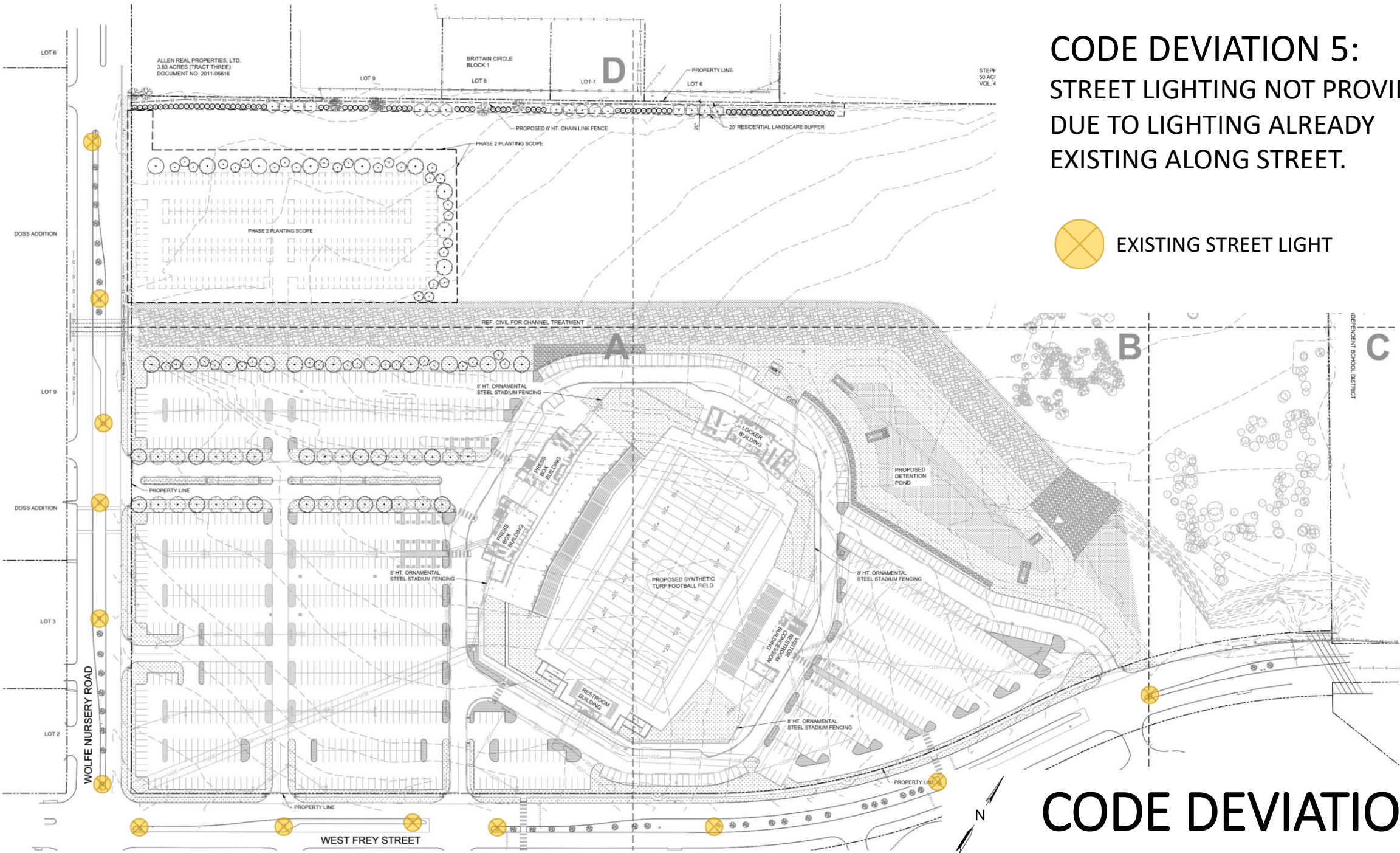
Home Side Elevation

STAIR TOWER PARAPET = 92'-1"

HIGHEST OCCUPIABLE FLOOR = 74'-9"

CODE DEVIATION 5: STREET LIGHTING NOT PROVIDED DUE TO LIGHTING ALREADY EXISTING ALONG STREET.

 EXISTING STREET LIGHT



	Date	Task	Attendees	Completed	Date Planned
1	4/20/2023	Pre-Development Meeting Site Concept	City, SISD, Parkhill, Crossland	✓	
2	8/14/2023	Submission Planning & Zoning Package	City, SISD, Parkhill, Crossland	✓	
3	8/16/2023	Initial Planning and Zoning Meeting	City, SISD, Parkhill, Crossland	✓	
4	8/25/2023	Submittal 1 Development Plan	Parkhill	✓	
5	9/15/2023	Submittal 2 Development Plan	Parkhill	✓	
6	9/8/2023	Drainage Discussion Meeting	City, F&N, SISD, Parkhill	✓	
7	9/15/2023	Incorporate City Comments	Parkhill	✓	
9	9/15/2023	Submit Final PD Package to P & Z	Parkhill, Crossland	✓	
8	9/18/2023	Site Utility Package Issue for Bid	Parkhill, Crossland		9/18/2023
10		P & Z Meeting	SISD, Parkhill, Crossland		9/20/2023
11		City Council Meeting	SISD, Parkhill, Crossland		10/10/2023
12		Bid Received Site Utility Package	Parkhill, Crossland		10/12/2023
13		SISD Review	SISD, Parkhill, Crossland		10/16/2023
14		Issue Civil Permit	Parkhill, Crossland		????
15		Mobilization	Parkhill, Crossland		10/18/2023
16		Ground Breaking	City, SISD, Parkhill, Crossland		10/14-21/2023
17		Stadium Package Issued for Bid	Parkhill		11/17/2023
18		Bids Received Stadium Package	Parkhill, Crossland		12/14-19/2023
19		SISD Review	SISD, Parkhill, Crossland		12/16/2023
20		Issue Building Permit	City, SISD, Parkhill, Crossland		????
21		Stadium Substantial Completion	Crossland, Parkhill		4/18/2025

PROJECT SCHEDULE



QUESTIONS

THIS DOCUMENT IS RELEASED ON OCTOBER 9, 2023 FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF LANDON G. BELL, R.L.A. TEXAS LICENSE #3245. IT IS NOT TO BE USED FOR REGULATORY APPROVAL, CONSTRUCTION, BIDDING OR PERMIT PURPOSES. PARKHILL, SMITH & COOPER, INC.

Parkhill.com

Stephenville ISD Stadium

Honeybees & Yellowjackets



CROSSLAND · Parkhill

CLIENT
Stephenville ISD
N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

PROJECT NO.
40108.22

D	E	F
A	B	C

#	DATE	DESCRIPTION
4	10/06/2023	Development Plan Re-Submittal
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Landscape Layout And Annotation Plan

LC100

LEGEND

- 6' HT. CHAIN LINK FENCE. REF. A1/L-501
- 6' HT. CHAIN LINK FENCE WITH CONCRETE EDGING. REF. A1/L-501
- 4' HT. CHAIN LINK FENCE AT LIFT STATION. REF. C-505
- 4' HT. CHAIN LINK FENCE WITH CONCRETE EDGING. FENCE SET 18" FROM BACK OF CURB. REF. A1/A4L-501
- GRouted RIP RAP. REF. CIVIL
- 8' HEIGHT ORNAMENTAL STEEL FENCE. REF. B4/L-501

KEY NOTES

- 6' HT. CHAIN LINK FENCE W/OUT CONCRETE EDGING. REF. A1/L-501
- GUARD RAIL. REF. B2/L-501
- CHAIN LINK SINGLE MAN GATE AT LIFT STATION. REF. C-505
- CHAIN LINK FENCE AT LIFT STATION. REF. C-505
- 4' HT. CHAIN LINK FENCE WITH CONCRETE EDGING. FENCE SET 18" FROM BACK OF CURB. REF. A1/A4L-501
- GRouted RIP RAP. REF. CIVIL

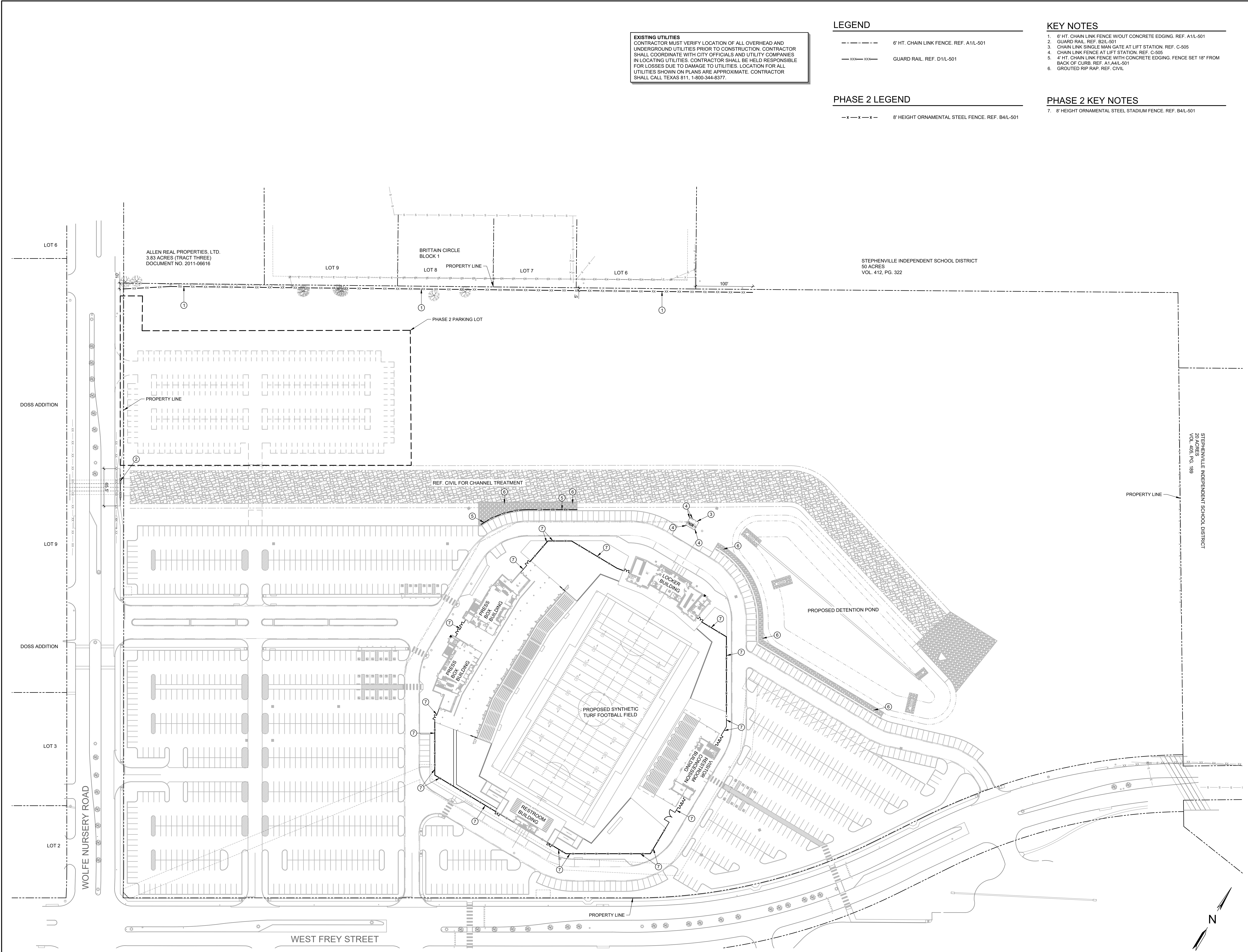
PHASE 2 LEGEND

- 8' HEIGHT ORNAMENTAL STEEL FENCE. REF. B4/L-501

PHASE 2 KEY NOTES

- 8' HEIGHT ORNAMENTAL STEEL STADIUM FENCE. REF. B4/L-501

EXISTING UTILITIES
CONTRACTOR MUST VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH CITY OFFICIALS AND UTILITY COMPANIES IN LOCATING UTILITIES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR LOSSES DUE TO DAMAGE TO UTILITIES. LOCATION FOR ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL TEXAS 811, 1-800-344-8377.



A1 OVERALL TREE PRESERVATION AND PROTECTION PLAN
1" = 60'

A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LC100-40108.DWG, 10/9/2023 1:52 PM, smsoy

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Parkhill.com

Stephenville ISD Stadium
Honeybees & Yellowjackets



CROSSLAND · Parkhill

CLIENT
Stephenville ISD
N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

PROJECT NO.
40108.22

KEY PLAN

D	E	F
A	B	C

#	DATE	DESCRIPTION
4	10/06/2023	Development Plan Re-Submittal
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

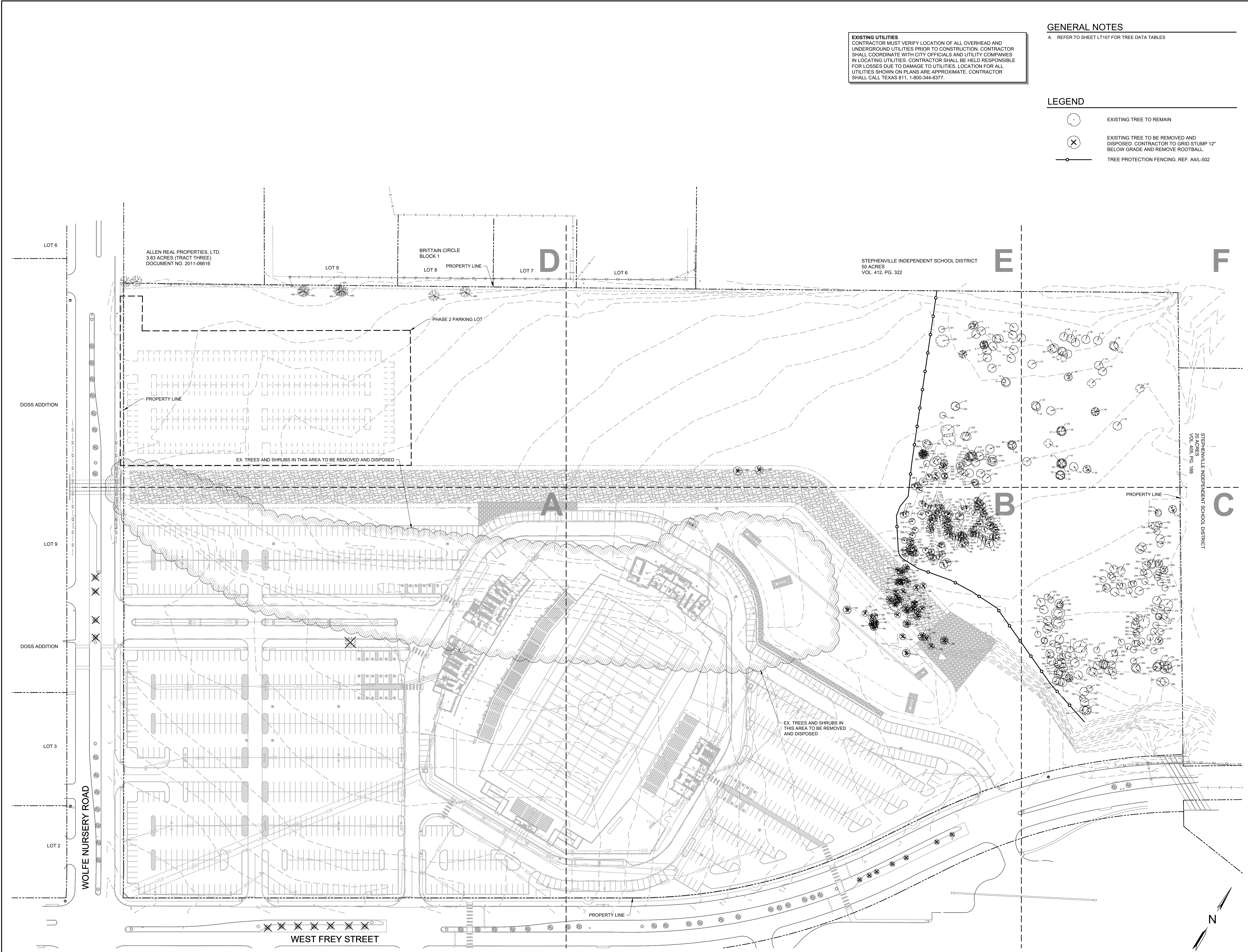
Overall Tree Preservation And Protection Plan
LT100

EXISTING UTILITIES
CONTRACTOR MUST VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH CITY OFFICIALS AND UTILITY COMPANIES IN LOCATING UTILITIES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR LOSSES DUE TO DAMAGE TO UTILITIES. LOCATION FOR ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL TEXAS 811, 1-800-344-8377.

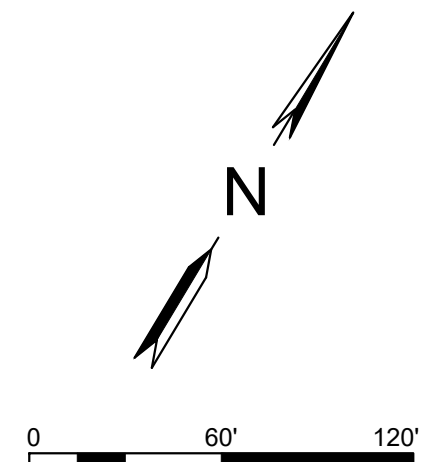
GENERAL NOTES
A. REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED AND DISPOSED. CONTRACTOR TO GRID STUMP 12" BELOW GRADE AND REMOVE ROOTBALL.
- TREE PROTECTION FENCING, REF. A4/L-502



A1 OVERALL TREE PRESERVATION AND PROTECTION PLAN
1" = 60'



A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEETS\UTILITY PACKAGE\LT100-40108.DWG, 10/9/2023 1:52 PM, amosby

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Parkhill.com

Stephenville ISD Stadium

Honeybees & Yellowjackets



CROSSLAND · Parkhill

CLIENT
Stephenville ISD
N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

PROJECT NO.
40108.22

KEY PLAN

D	E	F
A	B	C

#	DATE	DESCRIPTION
4	10/06/2023	Development Plan Re-Submittal
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Tree Preservation And Protection Plan 'Area A'

LT101

MATCH LINE (SEE SHEET LT104)

A

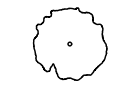

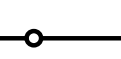
KEY NOTES

1. TREE PROTECTION FENCING PER A4L-502

GENERAL NOTES

- A. REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

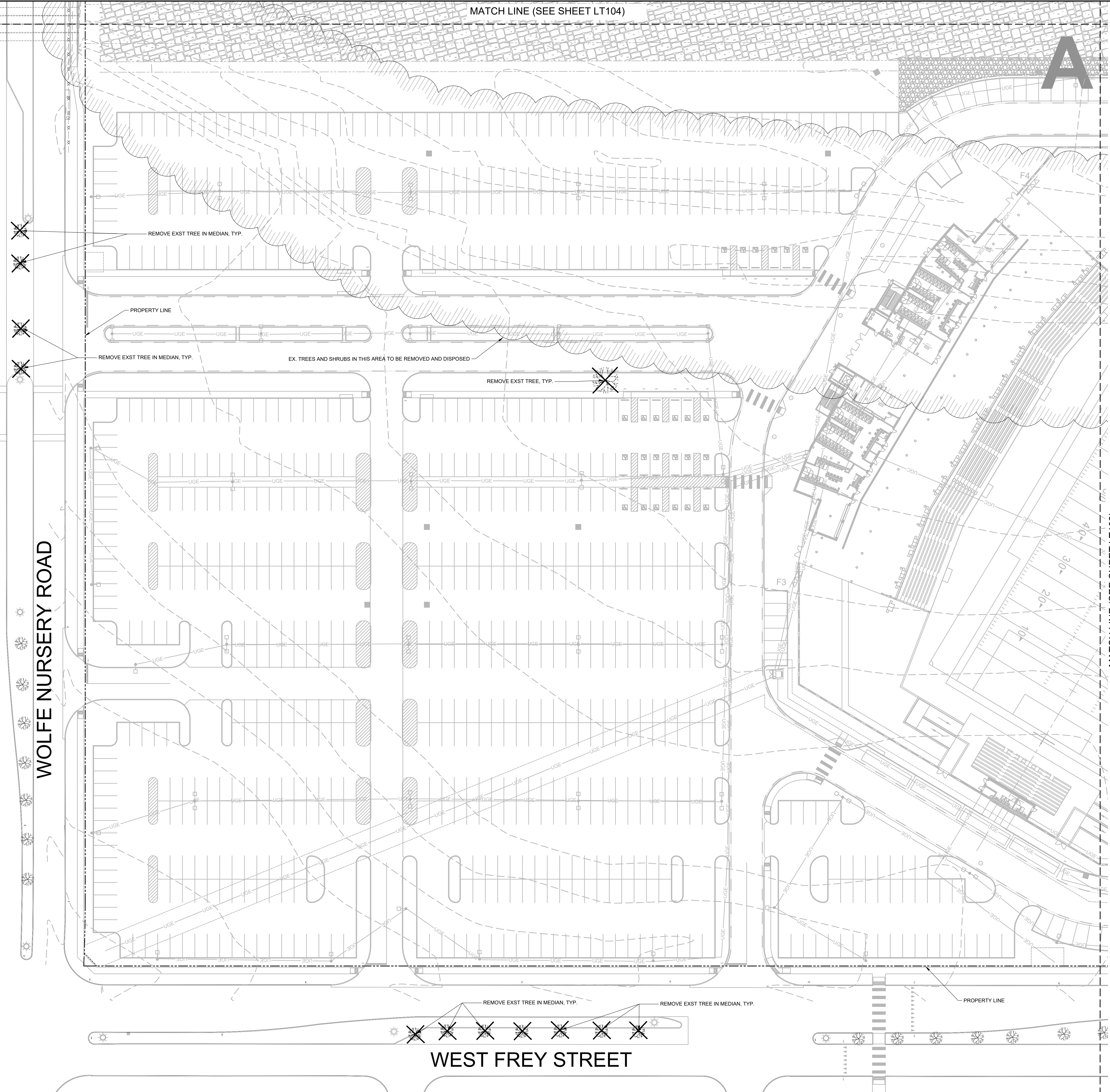
-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED AND DISPOSED. CONTRACTOR TO GRID STUMP 12" BELOW GRADE AND REMOVE ROOTBALL.
-  TREE PROTECTION FENCING. REF. A4L-502

EXISTING UTILITIES
CONTRACTOR MUST VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH CITY OFFICIALS AND UTILITY COMPANIES IN LOCATING UTILITIES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR LOSSES DUE TO DAMAGE TO UTILITIES. LOCATION FOR ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL TEXAS 811, 1-800-344-8377.

MATCH LINE (SEE SHEET LT102)

WOLFE NURSERY ROAD

WEST FREY STREET



A1 TREE PRESERVATION AND PROTECTION PLAN - AREA A
1" = 30'

A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEETS\UTILITY PACKAGE\LT101-40108.DWG, 10/9/2023 1:53 PM, amosby

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Tree Preservation And Protection Plan 'Area B'

LT102

MATCH LINE (SEE SHEET LT105)

B

KEY NOTES

1. TREE PROTECTION FENCING PER A4L-502

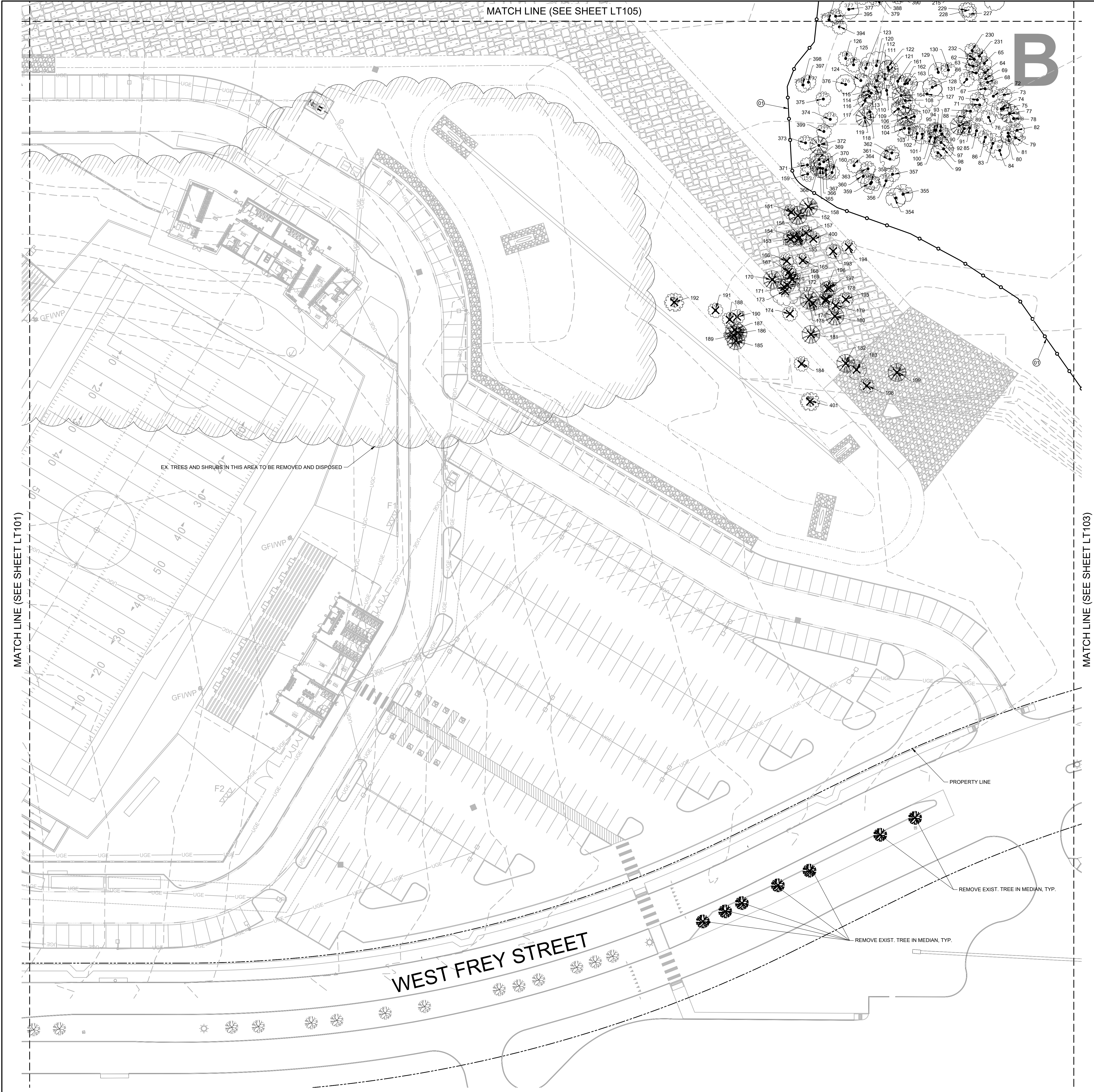
GENERAL NOTES

- A. REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

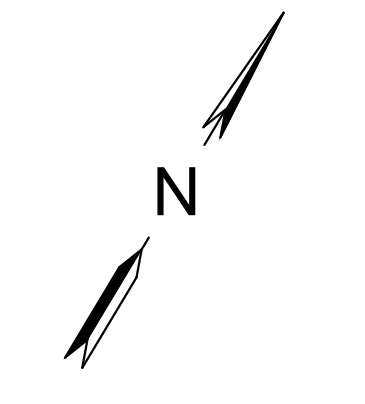
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED AND DISPOSED. CONTRACTOR TO GRID STUMP 12" BELOW GRADE AND REMOVE ROOTBALL.
- TREE PROTECTION FENCING. REF. A4L-502

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MATCH LINE (SEE SHEET LT101)

MATCH LINE (SEE SHEET LT103)



A1 TREE PRESERVATION AND PROTECTION PLAN - AREA B
1" = 30'

A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEETS\UTILITY PACKAGE\LT102-40108.DWG, 10/9/2023 1:53 PM, smcody

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Tree Preservation And Protection Plan 'Area C'
LT103

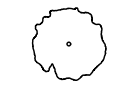

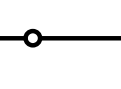
KEY NOTES

1. TREE PROTECTION FENCING PER A4/L-502

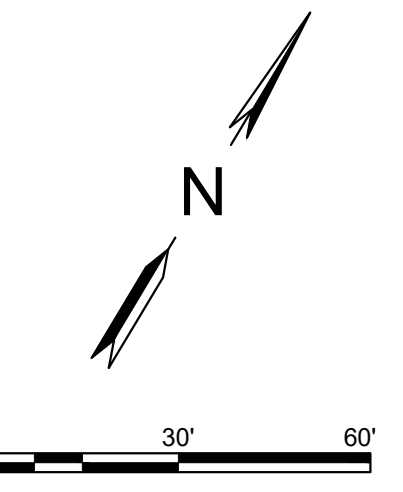
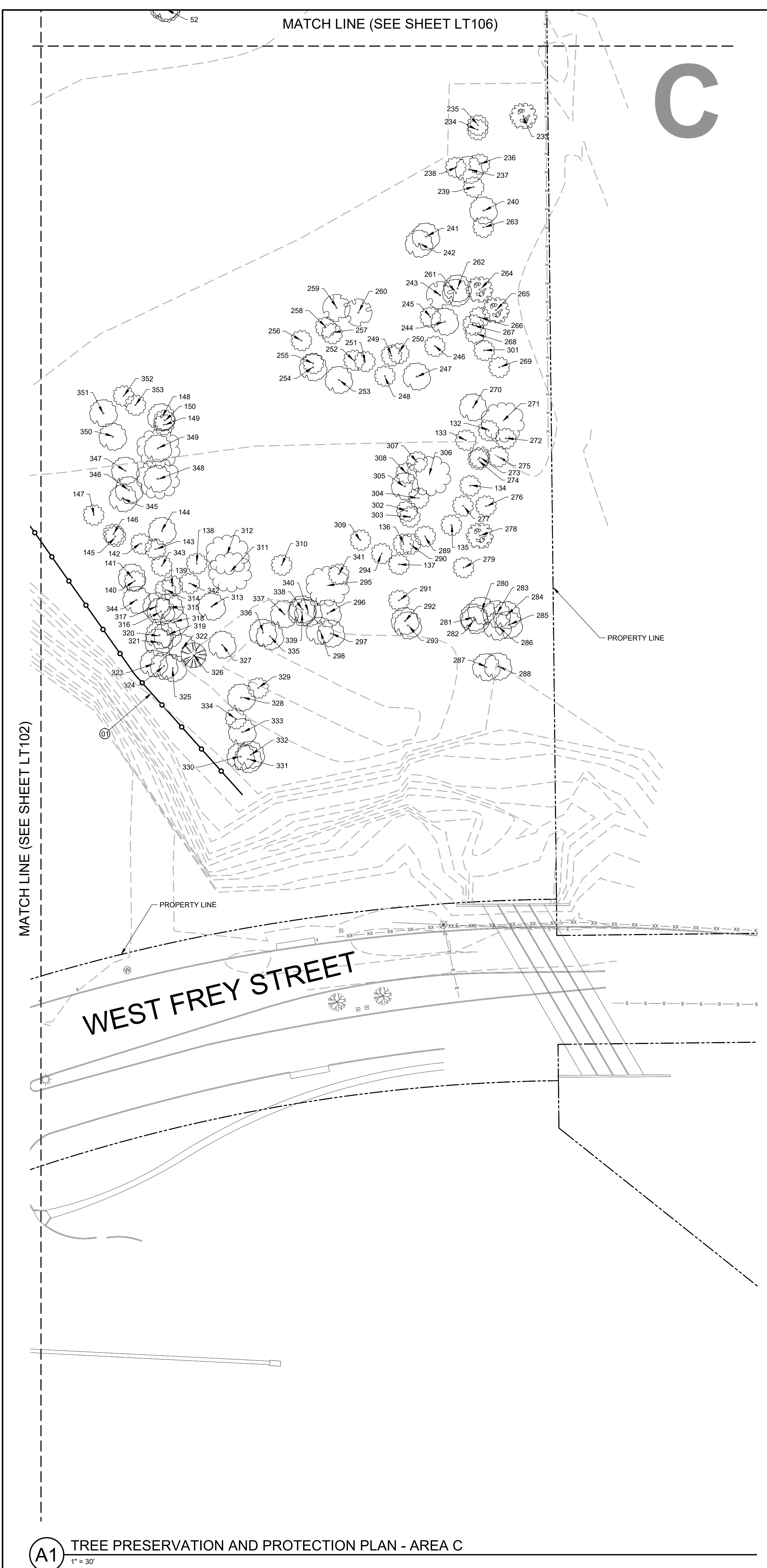
GENERAL NOTES

- A. REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED AND DISPOSED. CONTRACTOR TO GRID STUMP 12" BELOW GRADE AND REMOVE ROOTBALL.
-  TREE PROTECTION FENCING. REF. A4/L-502

EXISTING UTILITIES
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A1 TREE PRESERVATION AND PROTECTION PLAN - AREA C
1" = 30'

A:\2022\40108.22\03_DS6\01_DWG\060_LAND\03_SHEETS\UTILITY PACKAGE\LT103-40108.DWG, 10/9/2023 1:54 PM, amosdy

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1	08/25/2023	Development Plan Submittal

Tree Preservation And Protection Plan 'Area D'
LT104

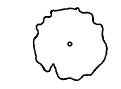

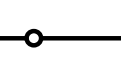
KEY NOTES

- TREE PROTECTION FENCING PER A4/L-502

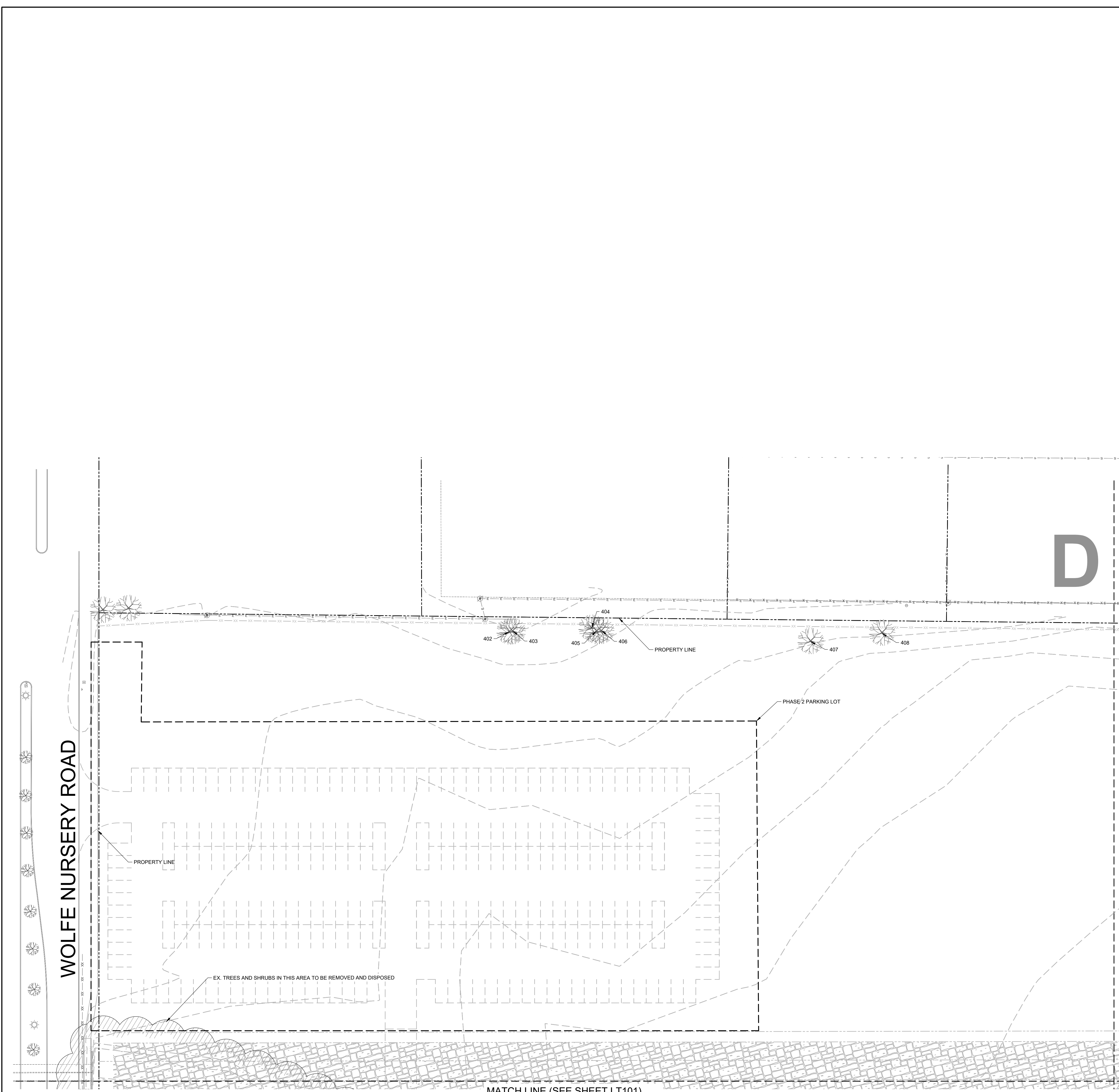
GENERAL NOTES

- REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED AND DISPOSED. CONTRACTOR TO GRID STUMP 12" BELOW GRADE AND REMOVE ROOTBALL.
-  TREE PROTECTION FENCING. REF. A4/L-502

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A1 TREE PRESERVATION AND PROTECTION PLAN - AREA D
1" = 30'

A:\2022\40108.22\03_DSGN01_DWG\060_LAND03_SHEET\UTILITY PACKAGE\LT104-40108.DWG, 10/9/2023 1:54 PM, emsody

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**Tree Preservation
And Protection
Plan 'Area E'**
LT105

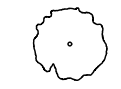

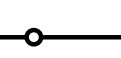
KEY NOTES

- TREE PROTECTION FENCING PER A4/L-502

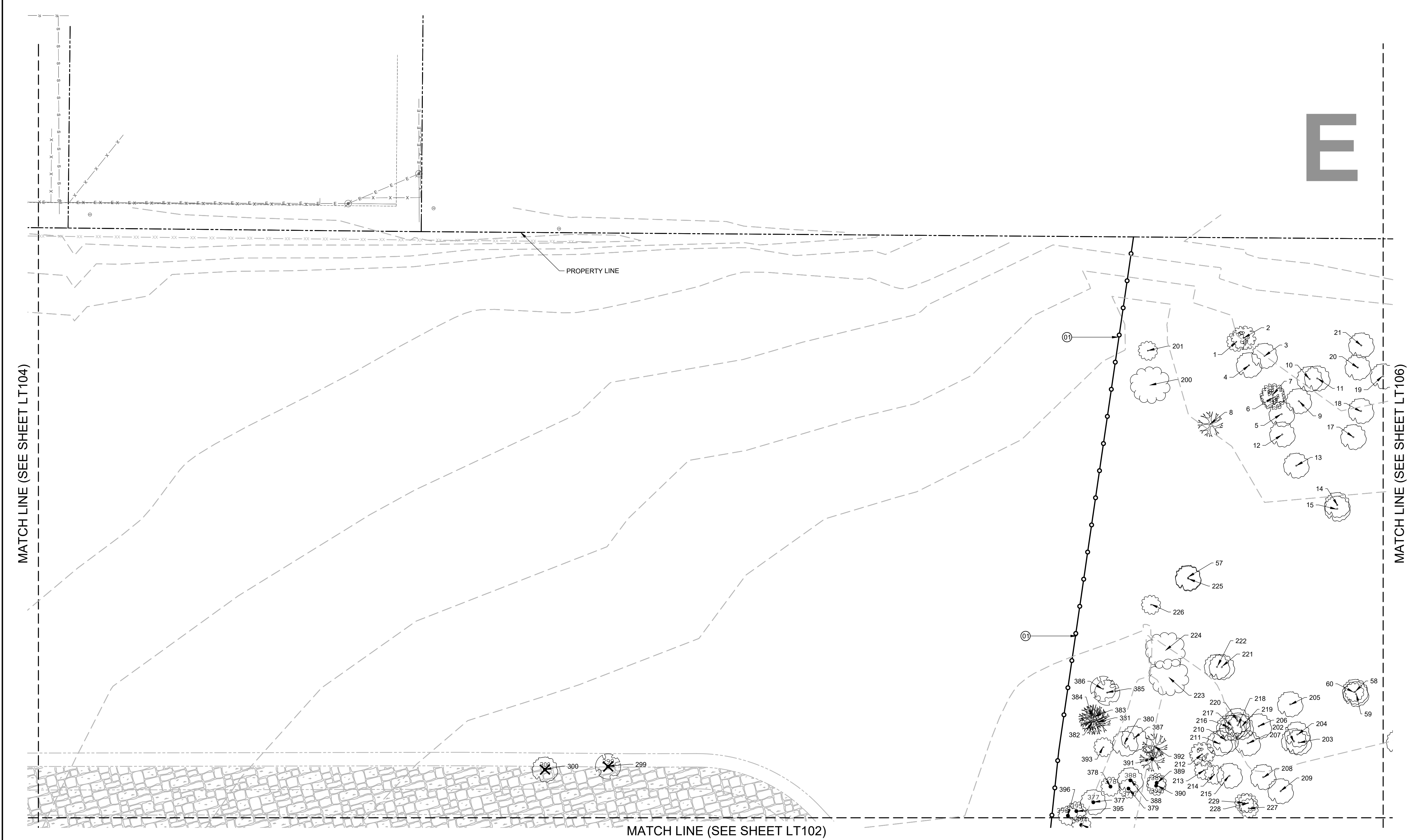
GENERAL NOTES

- REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED AND DISPOSED. CONTRACTOR TO GRID STUMP 12" BELOW GRADE AND REMOVE ROOTBALL.
-  TREE PROTECTION FENCING. REF. A4/L-502

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A1 TREE PRESERVATION AND PROTECTION PLAN - AREA E
1" = 30'

A:\2022\40108.22\03_DSGN01_DWG\060_LAND\03_SHEETS\UTILITY PACKAGE\LT105-40108.DWG, 10/05/2023 1:56 PM, amosdy

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Tree Preservation And Protection Plan 'Area F'
LT106

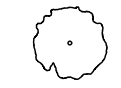

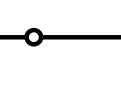
KEY NOTES

1. TREE PROTECTION FENCING PER A4/L-502

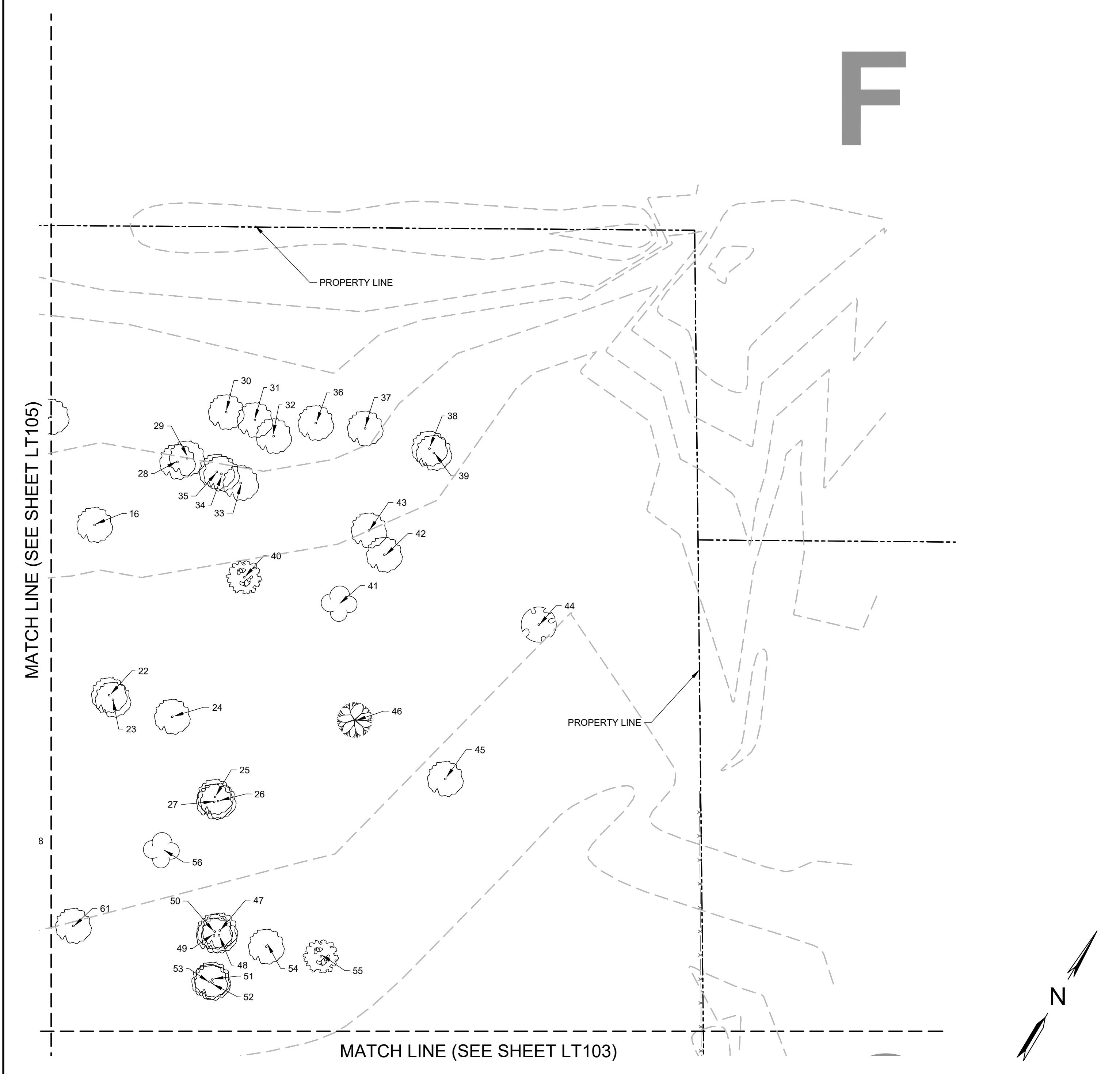
GENERAL NOTES

- A. REFER TO SHEET LT107 FOR TREE DATA TABLES

LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED AND DISPOSED. CONTRACTOR TO GRID STUMP 12" BELOW GRADE AND REMOVE ROOTBALL.
-  TREE PROTECTION FENCING, REF. A4/L-502

EXISTING UTILITIES
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A1 TREE PRESERVATION AND PROTECTION PLAN - AREA F
1" = 30'

A:\2022\40108.22\03_DS6\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LT106-40108.DWG, 10/9/2023 1:55 PM, amosby

SITE LANDSCAPE CREDITS

TOTAL TREES TO BE REMOVED 48 TREES (370 CALIPER INCHES)
3"-5" CALIPER TREES PRESERVED 115 TREES (23,000 SF LANDSCAPE CREDITS)
6"-8" CALIPER TREES PRESERVED 244 TREES (195,200 SF LANDSCAPE CREDITS)
TOTAL LANDSCAPE CREDITS 399 TREES (218,200 SF LANDSCAPE CREDITS)

NOTE ONLY TREES WITHIN LOT LISTED ABOVE

Table with 16 columns: TREE #, SPECIES, DIA. (IN), PRESERVE / REMOVE. It lists 100 rows of tree data for various species like Callery Pear, Pecan, Cottonwood, Elm, Live Oak, Sweet Chestnut, Black Jack, and Hackberry.



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CLIENT Stephenville ISD
N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

PROJECT NO. 40108.22
KEY PLAN

Table with 2 columns: DATE, DESCRIPTION. Shows revision history for the development plan.

Tree Preservation Data Tables LT107

CONTACTS & PROPERTY INFORMATION

OWNER:
STEPHENVILLE ISD
(254)-968-7990

LANDSCAPE ARCHITECT:
PARKHILL
LONDON BELL
(972)-987-1670
lgbell@parkhill.com

ENGINEER:
PARKHILL
BEN SANCHEZ
(972)-987-1670
bsanchez@parkhill.com

SURVEYOR:
PRICE SURVEYING
MATTHEW PRICE
(254)-965-5489
matthew@pricesurveying.com

PROPERTY INFORMATION:
S2600 CITY ADDITION, BLOCK 156, LOT 7 (PT OF)
42.93 AC
CITY OF STEPHENVILLE

GENERAL NOTES

- A. REFER TO SHEET LP107 FOR PLANTING NOTES AND SCHEDULES.
- B. REFER TO SHEET L-501 FOR FENCING DETAILS.
- C. REFER TO SHEET L-502 FOR PLANTING DETAILS.

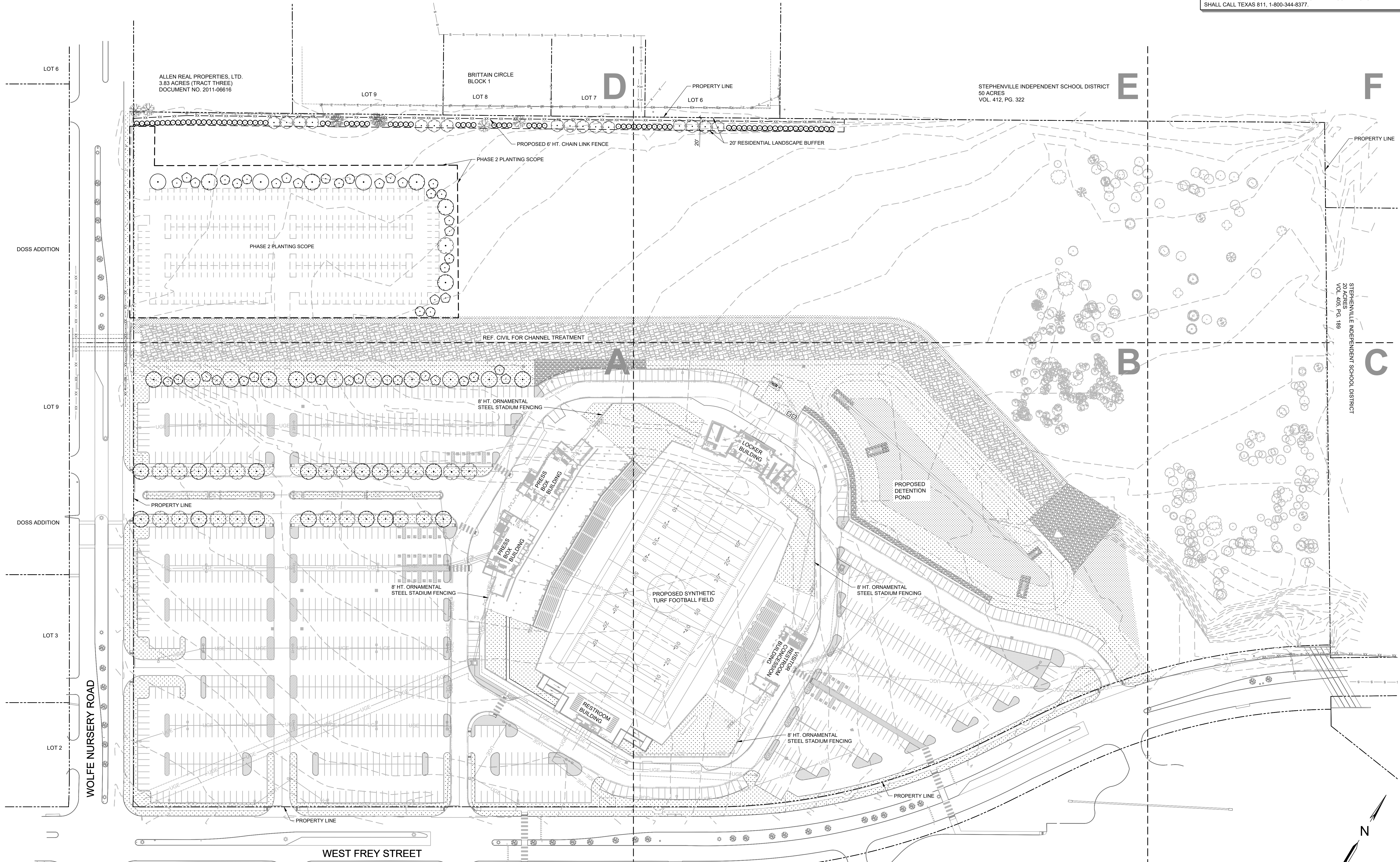
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TOTAL LANDSCAPE CREDITS 389 TREES (218,200 SF LANDSCAPE CREDITS)

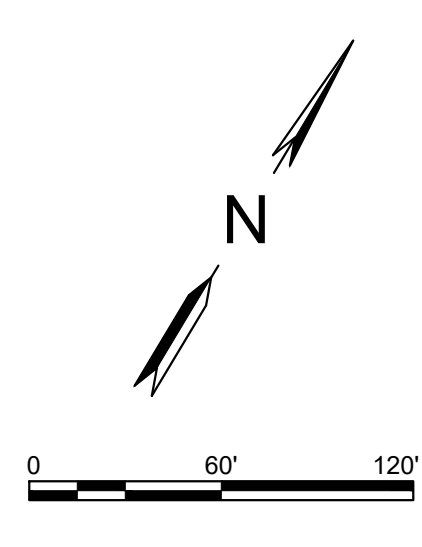
NOTE ONLY TREES WITHIN LOT LISTED ABOVE

CITY OF STEPHENVILLE LANDSCAPE ORDINANCE CALCULATIONS FOR STEPHENVILLE ISD STADIUM					
ORD. REF.	DESCRIPTION	REQUIRED	CREDITS	PROVIDED PHASE 1	PROVIDED PHASE 2
SEC 154.13.C.1	Required Landscaped Area	SITE BOUNDARY = 1,869,896.81 S.F. REQUIRED: 15% = 280,485 S.F.	218,200 S.F. (REF. SITE LANDSCAPE TABLE)	280,185 S.F. PROVIDED	26,132 S.F. SOFT PROVIDED
SEC 154.13.C.2	Required Tree Planting	63 CANOPY TREES, 126 ORNAMENTAL TREES: (62,285 S.F. / 1,000 S.F.)	218,200 S.F. (REF. SITE LANDSCAPE TABLE)	59 CANOPY TREES 100 ORNAMENTAL TREES	9 CANOPY TREES 26 ORNAMENTAL TREES
13-G ADDITIONAL REQUIREMENTS ADJACENT TO RESIDENTIAL					
SEC 154.13.G.1	20-foot wide landscape buffer against Residential Zoning	1,106 LINEAR FEET AT 20' WIDE = 22,120 S.F. BUFFER / 1,000 S.F. = 23 CANOPY TREES 46 ORNAMENTAL TREES	N/A	23 CANOPY TREES, 83 NON CANOPY TREES (LIVING SCREEN)	N/A
PARKING AREA REQUIREMENTS					
SEC 154.13.I.2	Parking Lot Trees (PHASE 1)	1 TREE PER 12 SPACES 1218 SPACES / 12 = 102 TREES	N/A	PER CODE DEVIATION 3 OF PLANNED DEVELOPMENT, PARKING LOT TREES WILL BE PLACED OUTSIDE OF PARKING AREAS.	N/A
SEC 154.13.I.2	Parking Lot Trees (PHASE 2)	1 TREE PER 12 SPACES 239 SPACES / 12 = 20 TREES	N/A	N/A	PER CODE DEVIATION 3 OF PLANNED DEVELOPMENT, PARKING LOT TREES WILL BE PLACED OUTSIDE OF PARKING AREAS.

EXISTING UTILITIES
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A1 OVERALL PLANTING PLAN
 1" = 60'



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Overall Planting Plan
LP100

A:\2022\40108.22\03_DSG\01_DWG\03_SHEET\UTILITY PACKAGE\LP100-40108.DWG, 10/9/2023, 1:56 PM, amosdy

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Planting Plan 'Area A'

LP101

GENERAL NOTES

- A. REFER TO SHEET LP107 FOR PLANTING NOTES AND SCHEDULES.
- B. REFER TO SHEET LP100 FOR LANDSCAPE ORDINANCE CALCULATIONS.
- C. REFER TO SHEET L-502 FOR PLANTING DETAILS.

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MATCH LINE (SEE SHEET LP104)

REF. CIVIL FOR CHANNEL TREATMENT

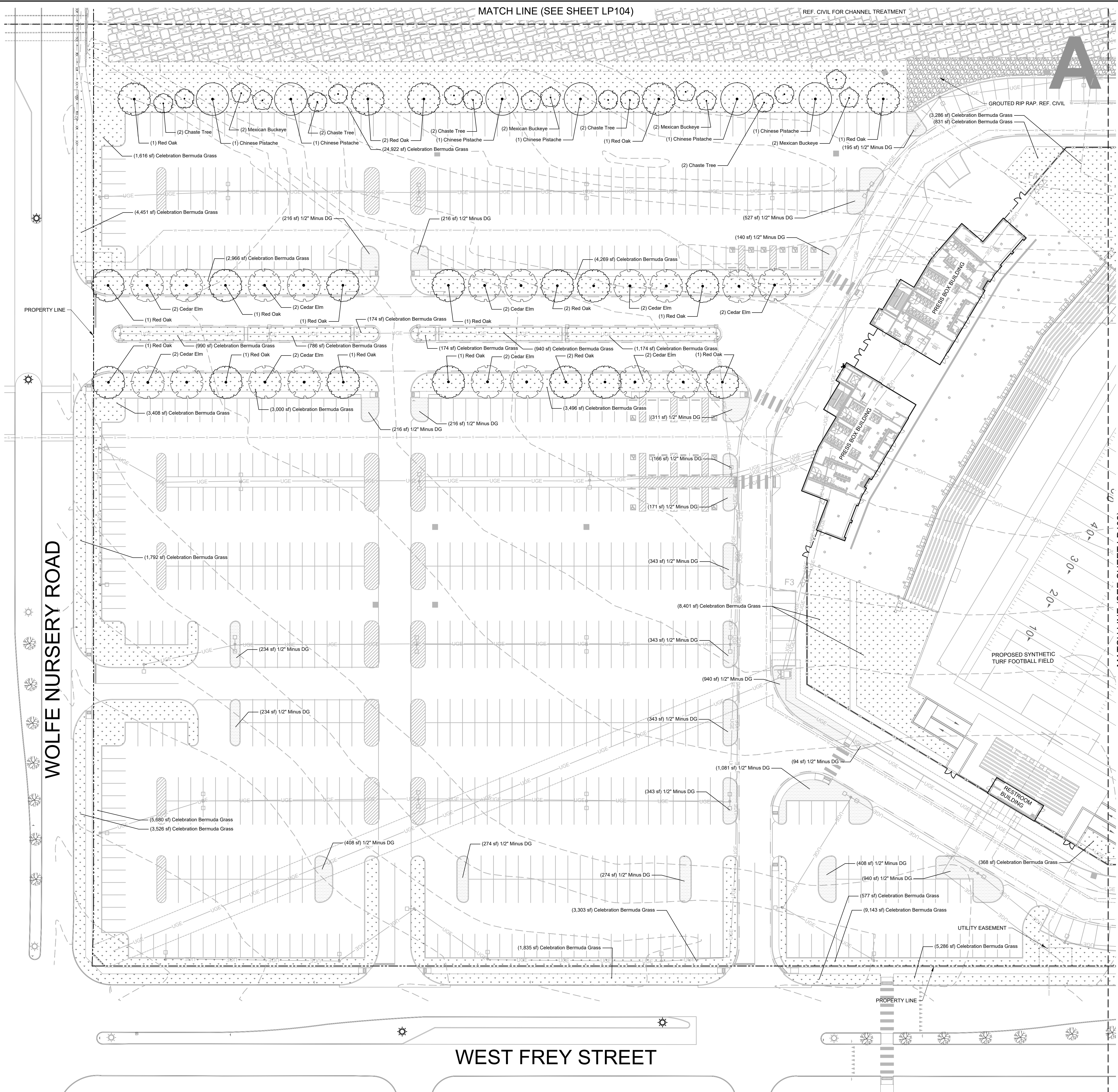
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GROUTED RIP RAP, REF. CIVIL

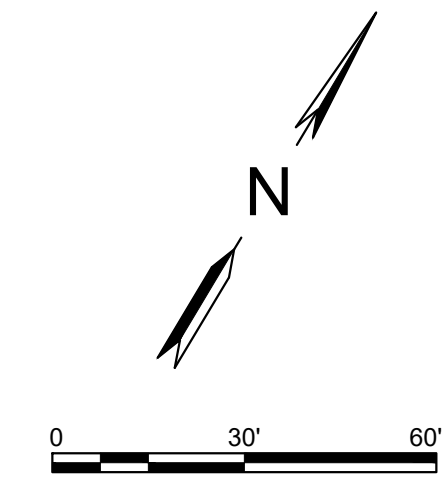
WOLFE NURSERY ROAD

WEST FREY STREET

MATCH LINE (SEE SHEET LP102)



A1 PLANTING PLAN - AREA A
1" = 30'



A:\2022\40108.22\03_DS\G060_LAND\03_SHEETS\UTILITY PACKAGE\LP101-40108.DWG, 10/9/2023, 1:57 PM, amosdy

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Parkhill.com

Stephenville ISD Stadium

Honeybees & Yellowjackets



CROSSLAND · Parkhill

CLIENT
Stephenville ISD
N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

PROJECT NO.
40108.22

KEY PLAN

D	E	F
A	B	C

#	DATE	DESCRIPTION
4	10/06/2023	Development Plan Re-Submittal
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Planting Plan 'Area B'

LP102

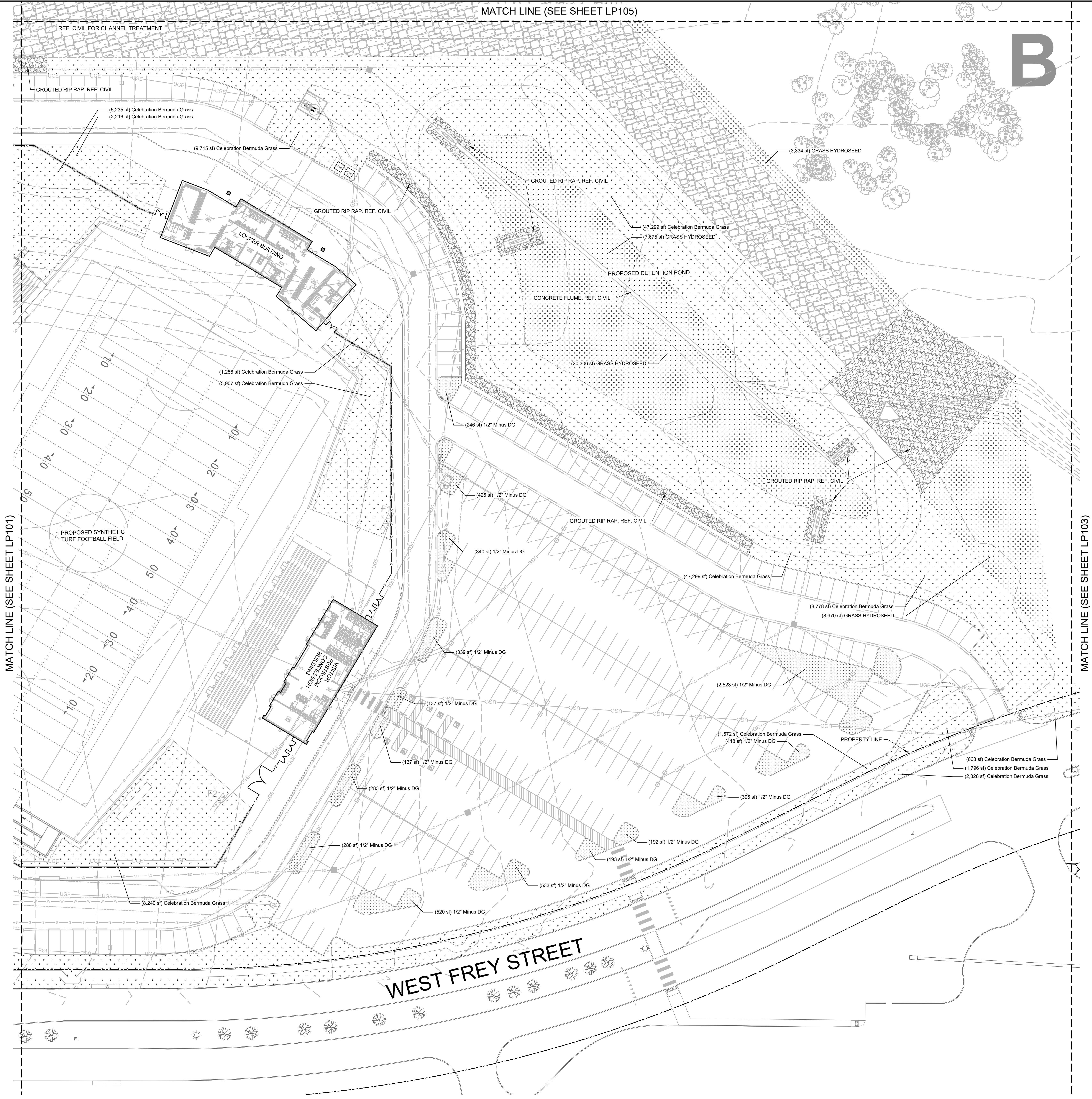
GENERAL NOTES

- A. REFER TO SHEET LP107 FOR PLANTING NOTES AND SCHEDULES.
- B. REFER TO SHEET LP100 FOR LANDSCAPE ORDINANCE CALCULATIONS.
- C. REFER TO SHEET L-502 FOR PLANTING DETAILS.

EXISTING UTILITIES
CONTRACTOR MUST VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH CITY OFFICIALS AND UTILITY COMPANIES IN LOCATING UTILITIES. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR LOSSES DUE TO DAMAGE TO UTILITIES. LOCATION FOR ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL TEXAS 811, 1-800-344-8377.

MATCH LINE (SEE SHEET LP105)

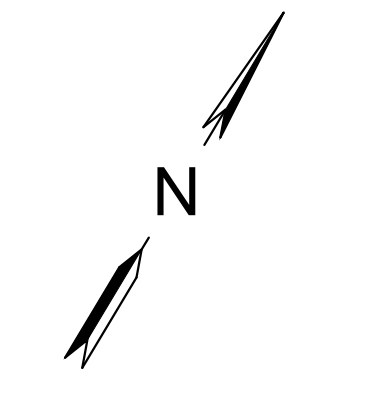
B



MATCH LINE (SEE SHEET LP101)

MATCH LINE (SEE SHEET LP103)

WEST FREY STREET



A1 PLANTING PLAN - AREA B
1" = 30'

A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LP102-40108.DWG, 10/9/2023, 1:58 PM, smoochy

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Planting Plan
'Area C'
LP103

GENERAL NOTES

- A. REFER TO SHEET LP107 FOR PLANTING NOTES AND SCHEDULES.
- B. REFER TO SHEET LP100 FOR LANDSCAPE ORDINANCE CALCULATIONS.
- C. REFER TO SHEET L-502 FOR PLANTING DETAILS.

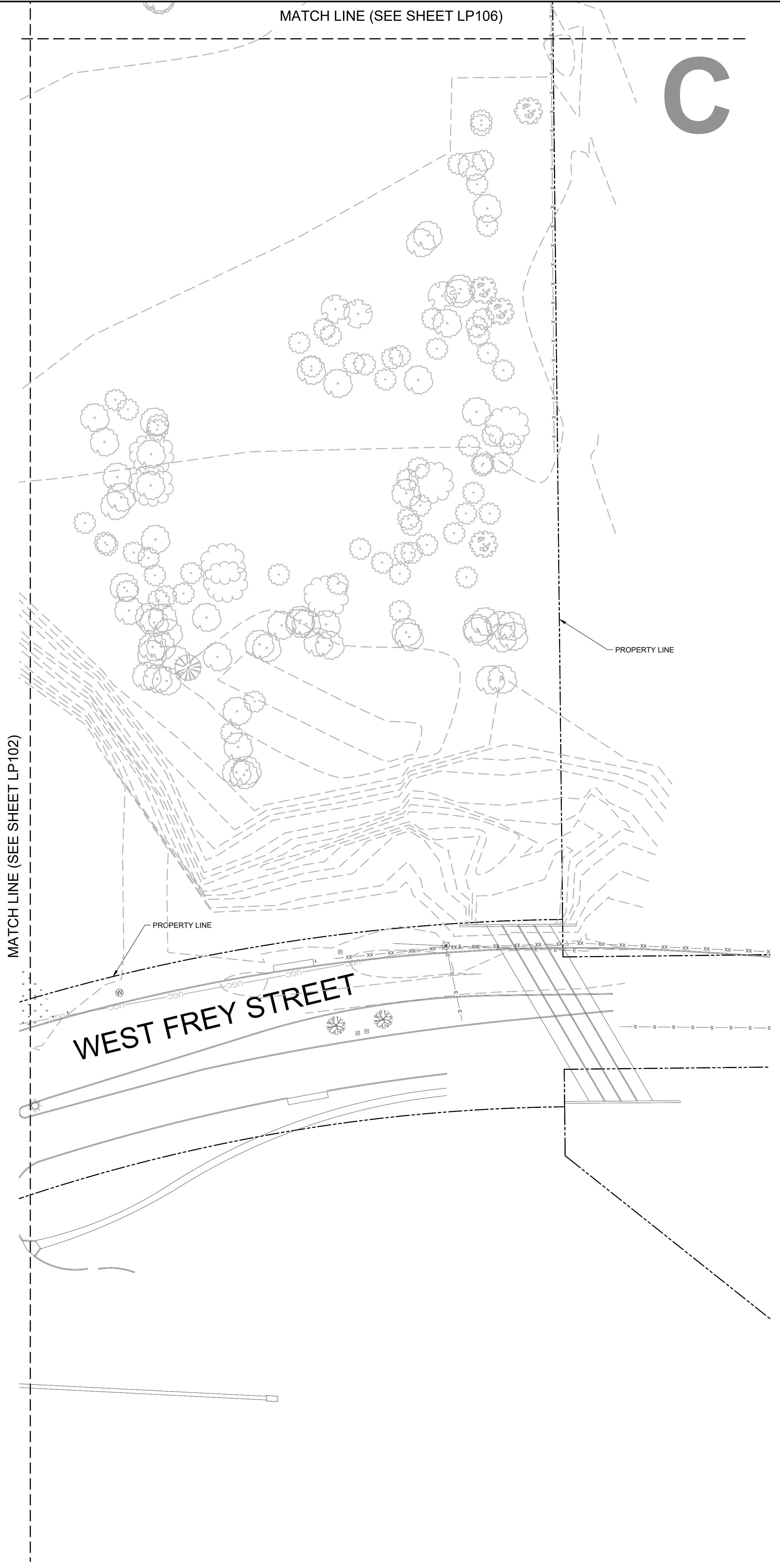
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MATCH LINE (SEE SHEET LP106)

C

MATCH LINE (SEE SHEET LP102)



A1 PLANTING PLAN - AREA C
1" = 30'

A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEETS\UTILITY PACKAGE\LP103-40108.DWG, 10/9/2023, 1:58 PM, smoochy

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Stephenville, TX 76401

PROJECT NO.
40108.22

KEY PLAN

D	E	F
A	B	C

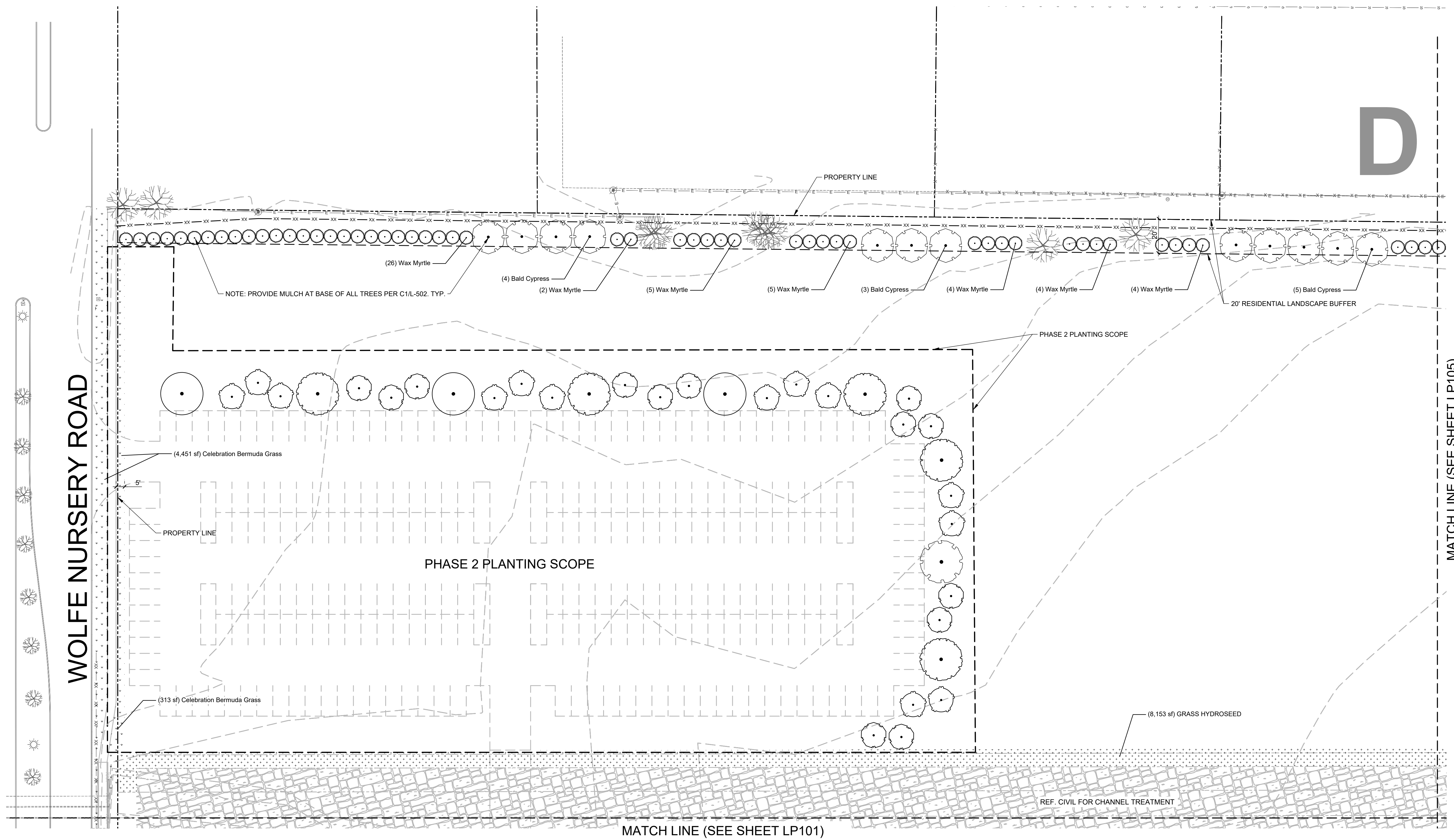
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Planting Plan
'Area D'
LP104

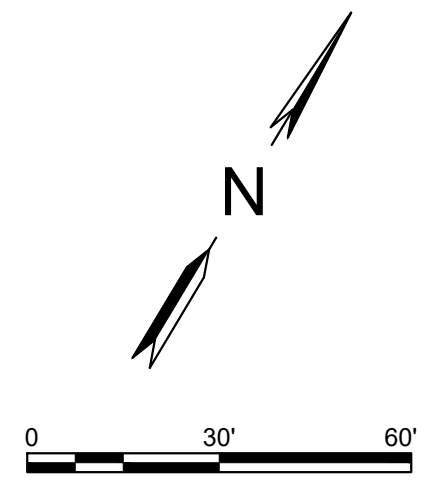
GENERAL NOTES

- A. REFER TO SHEET LP107 FOR PLANTING NOTES AND SCHEDULES.
- B. REFER TO SHEET LP100 FOR LANDSCAPE ORDINANCE CALCULATIONS.
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A1 PLANTING PLAN - AREA D
1" = 30'



A:\2022\08\22\03_DS62\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LP104-0108.DWG, 10/9/2023 1:59 PM, smoozy

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PROJECT NO.
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KEY PLAN

D	E	F
A	B	C

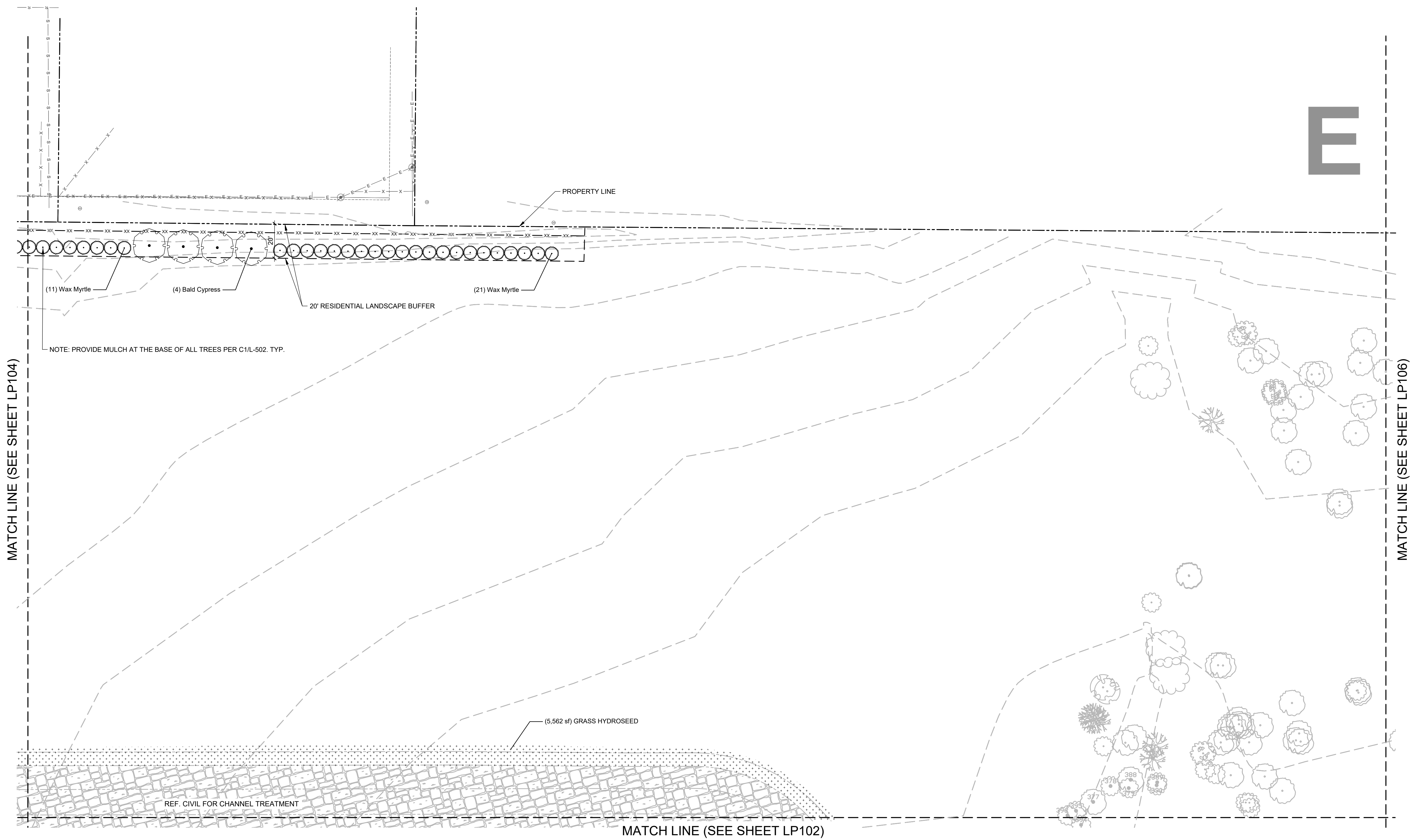
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Planting Plan
'Area E'
LP105

GENERAL NOTES

- A. REFER TO SHEET LP107 FOR PLANTING NOTES AND SCHEDULES.
- B. REFER TO SHEET LP100 FOR LANDSCAPE ORDINANCE CALCULATIONS.
- C. REFER TO SHEET L-502 FOR PLANTING DETAILS.

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A1 PLANTING PLAN - AREA E
1" = 30'

A:\2022\08\28\2023_DSGN01_DWG\060_LAND03_SHEETS\UTILITY PACKAGE\LP105-40108.DWG, 10/9/2023, 1:59 PM, amosdy

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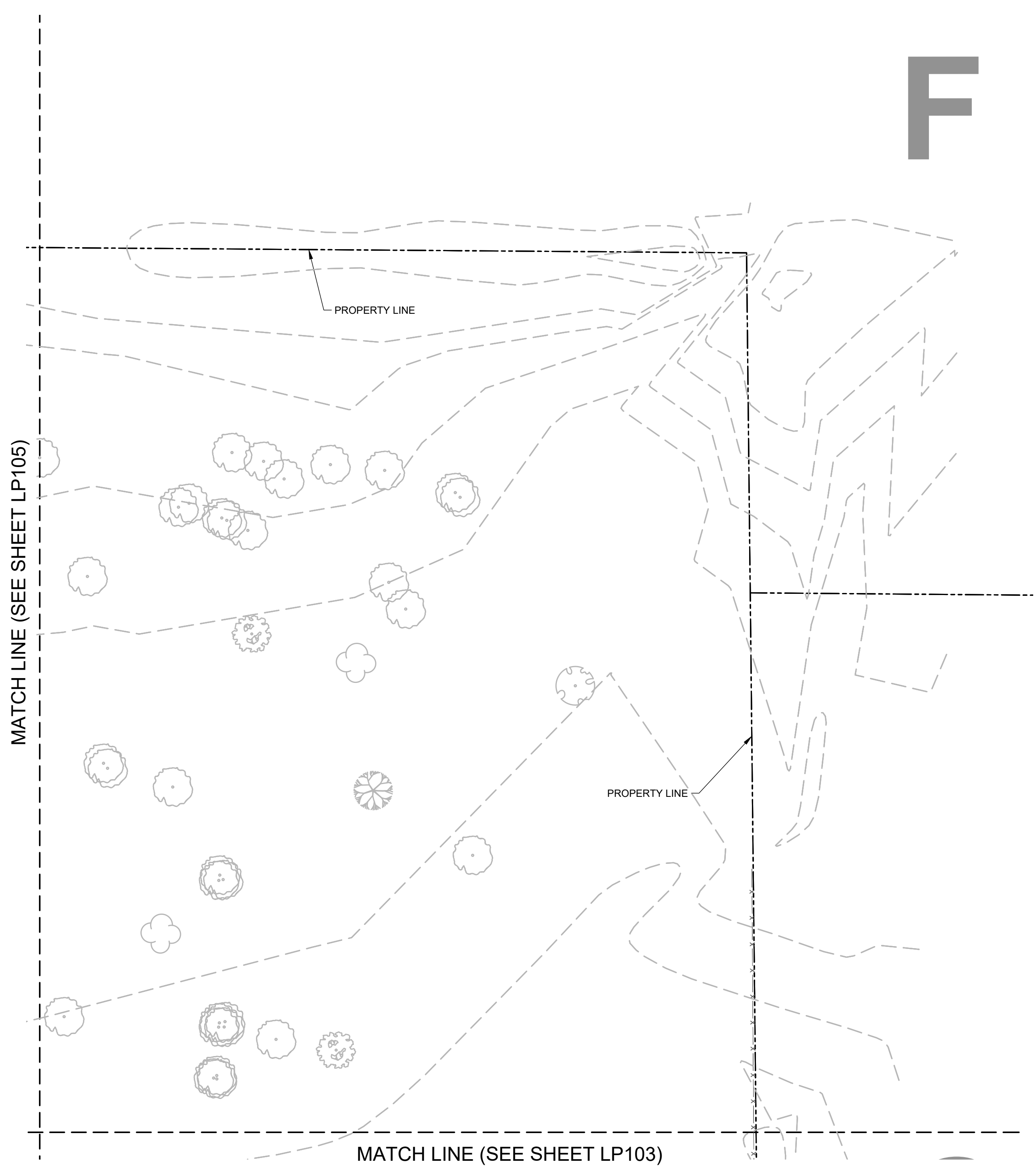
Planting Plan
'Area F'
LP106

GENERAL NOTES

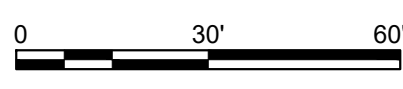
- A. REFER TO SHEET LP107 FOR PLANTING NOTES AND SCHEDULES.
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F



A1 PLANTING PLAN - AREA F
1" = 30'



A:\2022\01\08\23\03_DS62\01_DWG\060_LAND\03_SHEETS\UTILITY PACKAGE\LP106-40108.DWG, 10/9/2023 2:00 PM, smoochy

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**Planting Notes
 And Schedules
 LP107**

PLANTING GENERAL NOTES

- A. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF STEPHENVILLE STANDARDS.
- B. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT AND SPECIFICATIONS FOR REQUIREMENTS NOT LISTED HEREIN.
- C. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- D. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLAN SHOWN ON ALL DRAWINGS. PLANT COUNTS AND SQUARE FOOTAGES ARE PROVIDED AS A COURTESY ONLY.
- E. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
- F. IN THE CASE OF A DISCREPANCY BETWEEN THE CONTAINER SIZE CALLED OUT IN PLANT LIST AND THE CALIPER AND HEIGHT OF PLANT MATERIAL, THE SPECIFIED TREE MUST MEET THE CALIPER AND HEIGHT REQUIREMENTS SPECIFIED, EVEN IF THE LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS AT NO ADDITIONAL COST TO THE OWNER.
- G. ALL PLANTS TO BE GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
- H. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE PLANT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- I. LANDSCAPE CONTRACTOR SHALL LOCATE THE SOURCE OF AND SELECT ALL PLANTS FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
- J. ALL PLANT MATERIALS SHALL BE APPROVED PRIOR TO DELIVERY AT THE NURSERIES OR SUPPLIERS BY THE PROJECT LANDSCAPE ARCHITECT.
- K. AT THE OPTION OF THE LANDSCAPE ARCHITECT, PHOTOS OF ALL PLANT MATERIAL SHOWING CONTAINER SIZE, HEIGHT AND CALIPER CAN BE SUBMITTED FOR APPROVAL.
- L. ALL PLANTS TAGGED AS APPROVED AT NURSERY OR SUPPLIER SHALL BEAR THE SAME TAG WHEN DELIVERED ON SITE.
- M. THE RIGHT TO REJECT PLANT MATERIALS DELIVERED TO THE SITE THAT DO NOT BEAR APPROVAL TAGS IS RESERVED BY THE PROJECT LANDSCAPE ARCHITECT.
- N. IN AREAS WHERE PAVING SUBGRADES AND BUILDING PADS EXTEND INTO PLANT BED AREAS, 6 INCH HOLES SHALL BE DRILLED EVERY 3 FEET AND FILLED WITH 1 INCH DIAMETER GRAVEL TO PROVIDE PERCOLATION AND DRAINAGE FOR THE PLANTING BED. HOLES SHALL BE DRILLED THROUGH IMPROVED SUBGRADES INTO EXISTING SITE SOILS BUT NO DEEPER THAN FOUR FEET.
- O. ALL PLANTING BEDS TO RECEIVE 2 INCHES OF BACK TO EARTH COMPOST PER SQUARE FOOT AND 1 POUND OF A 4(N)-1(P)-2(K) RATIO FERTILIZER PER 100 SQUARE FEET. BOTH MATERIALS SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 12 INCHES.
- P. ALL FINAL PLANTING BED GRADES IN AREAS WHERE ORGANIC AND/OR INORGANIC MULCH IS BEING APPLIED SHOULD BE 3 OR 4 INCHES BELOW ADJACENT HARD SURFACES ACCORDING TO MULCH DEPTH INDICATED ON PLANS.
- Q. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING IS COMPLETE AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
- R. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING OR AS ESTABLISHED IN CONTAINER.
- S. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS.
- T. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN AS NEEDED DURING THE FIRST GROWING SEASON.
- U. ALL PLANTING BEDS SHALL RECEIVE ORGANIC AND/OR INORGANIC MULCH MATERIALS AS NOTED ON PLANS.
- V. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- W. THE CONTRACTOR SHALL PRUNE ALL BRANCHES 6 FEET ABOVE FINISH GRADE ON ALL DECIDUOUS TREES 12 FEET OR TALLER.
- X. AREAS TO BE FILLED WITH INORGANIC MULCHES WITH A DIAMETER LESS THAN 1/4 INCH IN SIZE SHALL BE COMPACTED TO 85% PROCTOR DENSITY BEFORE MULCH IS PLACED.
- Y. THE SITE SHALL BE FINE GRADED PRIOR TO ANY PLANT INSTALLATION. ANY AREAS DISTURBED BY PLANTING SHALL BE REGRADED AND SMOOTHED PRIOR TO GRASS PLANTING.
- Z. SOD SHALL BE USED AROUND DRAIN INLETS (5' BUFFER) AND IN AREAS WHERE THE SLOPE EXCEEDS 20% (1:5) UNLESS THE AREA IS A PLANTING BED.

PLANT SCHEDULE PHASE 1

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER
	6	PISTACIA CHINENSIS CHINESE PISTACHE	-	12-14 FT	3"
	19	QUERCUS RUBRA RED OAK	-	12-14 FT	3"
	16	TAXODIUM DISTICHUM BALD CYPRESS	-	12-14 FT	3"
	18	ULMUS CRASSIFOLIA CEDAR ELM	-	12-14 FT	3"
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER
	82	MYRICA CERIFERA WAX MYRTLE	15 GAL.	4-6 FT	
	8	UNGNADIA SPECIOSA MEXICAN BUCKEYE	15 GAL.	4-6 FT	
	10	VITEX AGNUS-CASTUS CHASTE TREE	15 GAL.	4-6 FT	
GROUND COVERS	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER	SPACING
	COMMON BERMUDA - AS SPECIFIED GRASS HYDROSEED	HYDROSEED			
	DECOMPOSED GRANITE 1/2" MINUS DG	4" DEPTH			
SOD/SEED	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER	SPACING
	CYNODON DACTYLON 'CELEBRATION' CELEBRATION BERMUDA GRASS	SOLID SOD			

PLANT SCHEDULE PHASE 2

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER
	3	PISTACIA CHINENSIS CHINESE PISTACHE	-	12-14 FT	3"
	5	QUERCUS RUBRA RED OAK	-	12-14 FT	3"
	1	ULMUS CRASSIFOLIA CEDAR ELM	-	12-14 FT	3"
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER
	13	UNGNADIA SPECIOSA MEXICAN BUCKEYE	15 GAL.	4-6 FT	
	13	VITEX AGNUS-CASTUS CHASTE TREE	15 GAL.	4-6 FT	
SOD/SEED	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	CALIPER	SPACING
	CYNODON DACTYLON 'CELEBRATION' CELEBRATION BERMUDA GRASS	SOLID SOD			

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PROJECT NO.
40108.22
KEY PLAN

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A	B	C

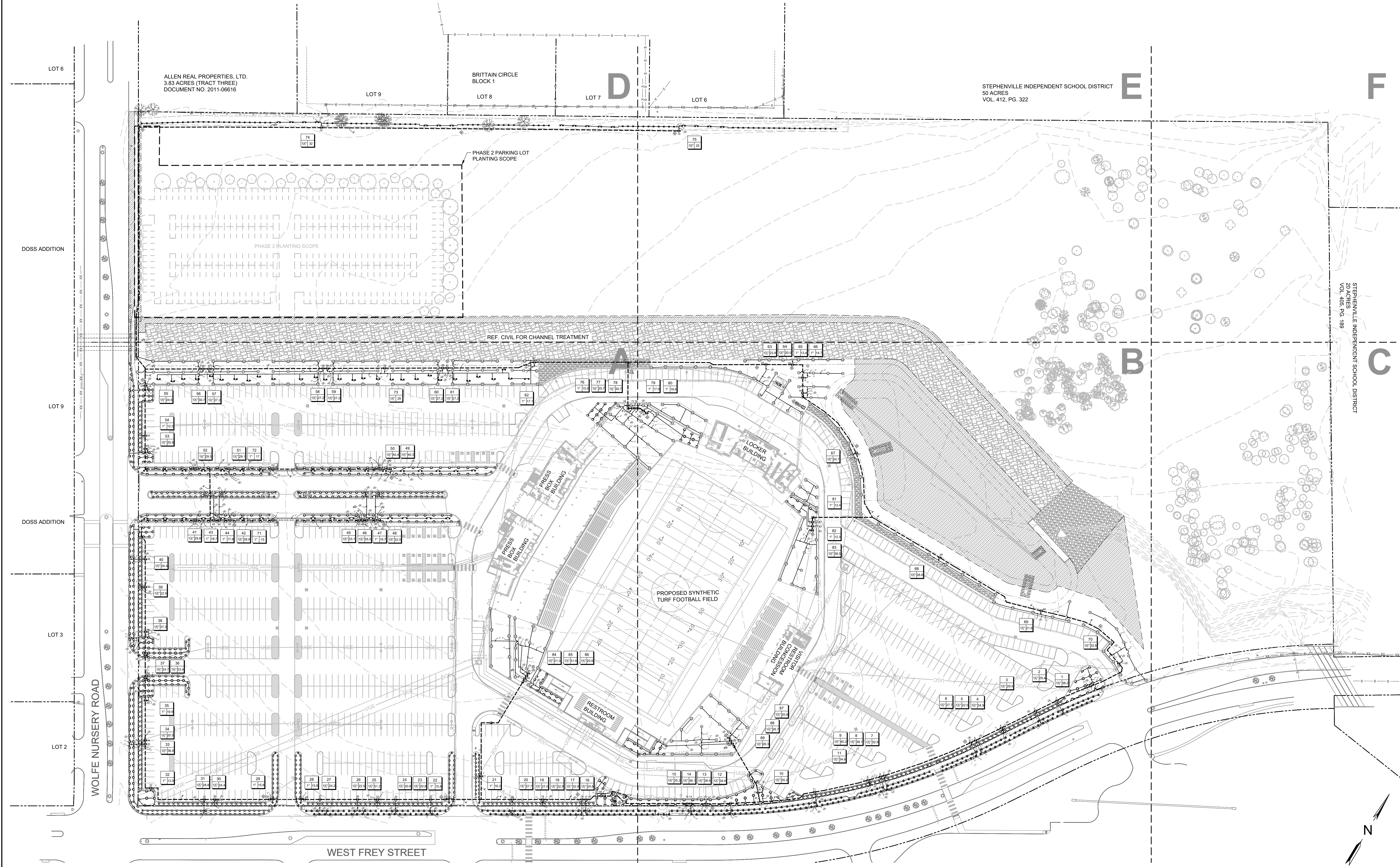
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1	08/25/2023	Development Plan Submittal

Overall Irrigation Plan
LI100

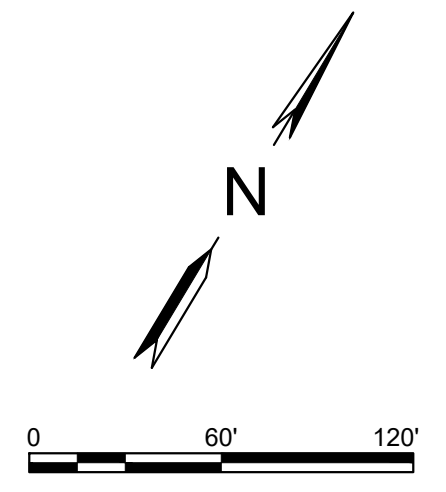
GENERAL NOTES

- A. REFER TO SHEET LI107 FOR IRRIGATION NOTES AND SCHEDULES.
- B. REFER TO SHEET L-503 FOR IRRIGATION DETAILS.

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A1 OVERALL IRRIGATION PLAN
1" = 60'



A:\2022\40108.22\03_DWG\03_SHEET\UTILITY PACKAGE\LI100-40108.DWG, 10/9/2023 2:01 PM, smoochy

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Irrigation Plan 'Area A'

LI101

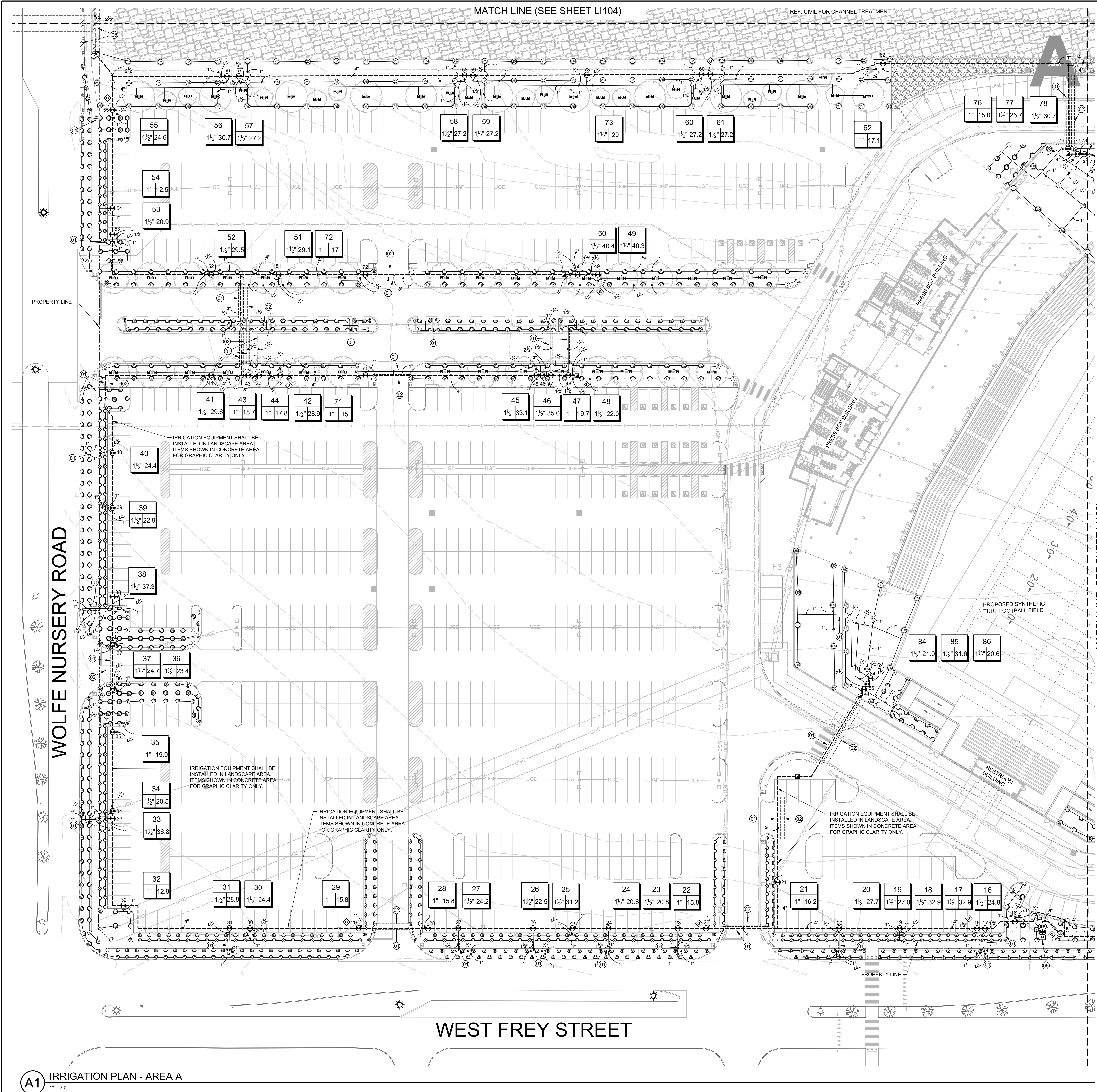
GENERAL NOTES

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- B. REFER TO SHEET L-503 FOR PLANTING DETAILS.

KEY NOTES

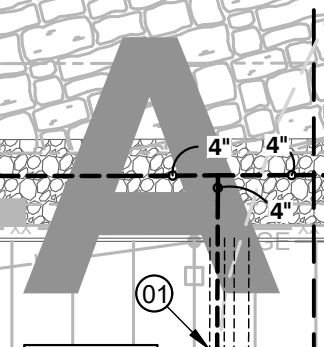
- AS INDICATED BY: (C)
- COORDINATE SLEEVE INSTALLATION WITH PAVING POURS. SLEEVES SHALL BE TWO TIMES THE COMBINED DIAMETER OF THE LATERALS AND MAINLINES TO BE SLEEVED. LATERAL LINES SHALL BE SLEEVED SEPARATELY FROM MAINLINE. SLEEVES SHALL BE A MINIMUM OF 18" BELOW FINISH GRADE IN PARKING/DRIVE AREAS. SLEEVES SHALL EXTEND 18" PAST HARDSCAPE AND CURB EDGES.
 - SLEEVE FOR CONTROL WIRE ONLY.
 - CONTROLLER IN PEDESTAL. PROVIDE ALL CONDUIT AND POWER REQUIRED FOR CONTROLLER OPERATION. REF. C11-503.
 - RAIN/FREEZE SENSOR MOUNTED TO CONTROLLER PEDESTAL. REF. 501-503.
 - 3" IRRIGATION METER. REF. CIVIL. SYSTEM DESIGN PRESSURE AT METER = 76.7 PSI.
 - TEMPORARY IRRIGATION AREA. CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION FOR SOO OR HYDROSEED AREAS NOT RECEIVING PERMANENT IRRIGATION. TEMPORARY IRRIGATION SHALL REMAIN UNTIL FULL ESTABLISHMENT OF SOO/HYDROSEED IS OBTAINED AS SPECIFIED.

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MATCH LINE (SEE SHEET LI104)

REF. CIVIL FOR CHANNEL TREATMENT

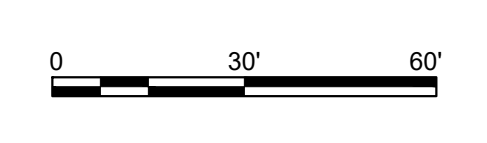


MATCH LINE (SEE SHEET LI102)

WOLFE NURSERY ROAD

WEST FREY STREET

A1 IRRIGATION PLAN - AREA A
1" = 30'



A:\2022\40108.22\03_DSGN01_DWG\060_LAND03_SHEET\UTILITY_PACK\LI101-40108.DWG, 10/9/2023 2:02 PM, smooey

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Stephenville ISD
N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

PROJECT NO.
40108.22
KEY PLAN

D	E	F
A	B	C

#	DATE	DESCRIPTION
4	10/06/2023	Development Plan Re-Submittal
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Irrigation Plan
'Area B'
LI102

GENERAL NOTES

- A. REFER TO SHEET LI107 FOR PLANTING NOTES AND SCHEDULES.
- B. REFER TO SHEET L-503 FOR PLANTING DETAILS.

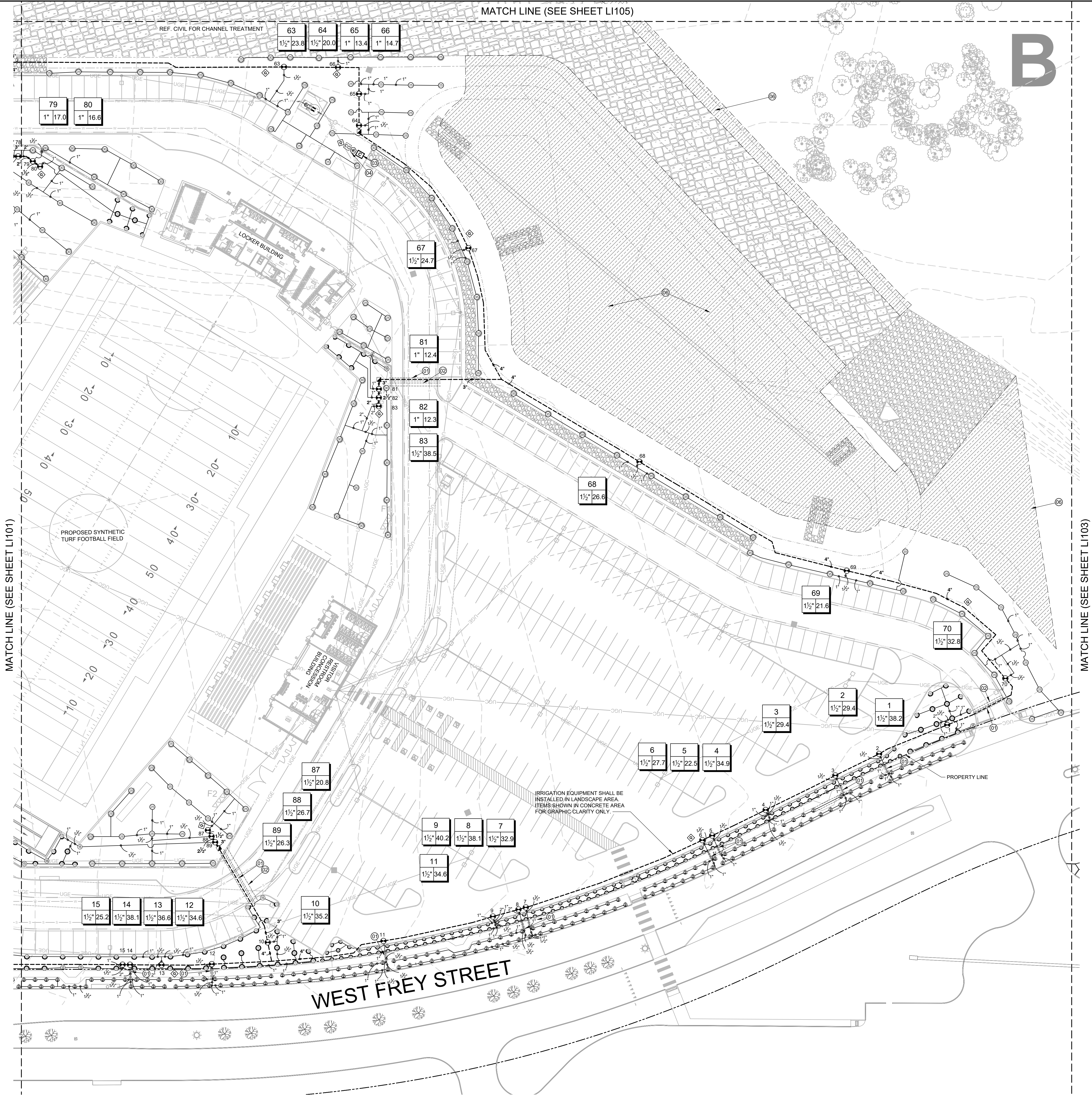
KEY NOTES

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EXISTING UTILITIES
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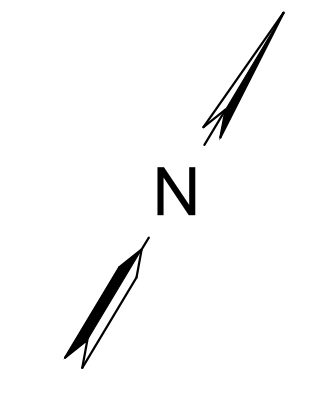
MATCH LINE (SEE SHEET LI105)

B



MATCH LINE (SEE SHEET LI101)

MATCH LINE (SEE SHEET LI103)



A1 IRRIGATION PLAN - AREA B
1" = 30'

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Irrigation Plan
'Area C'
LI103

GENERAL NOTES

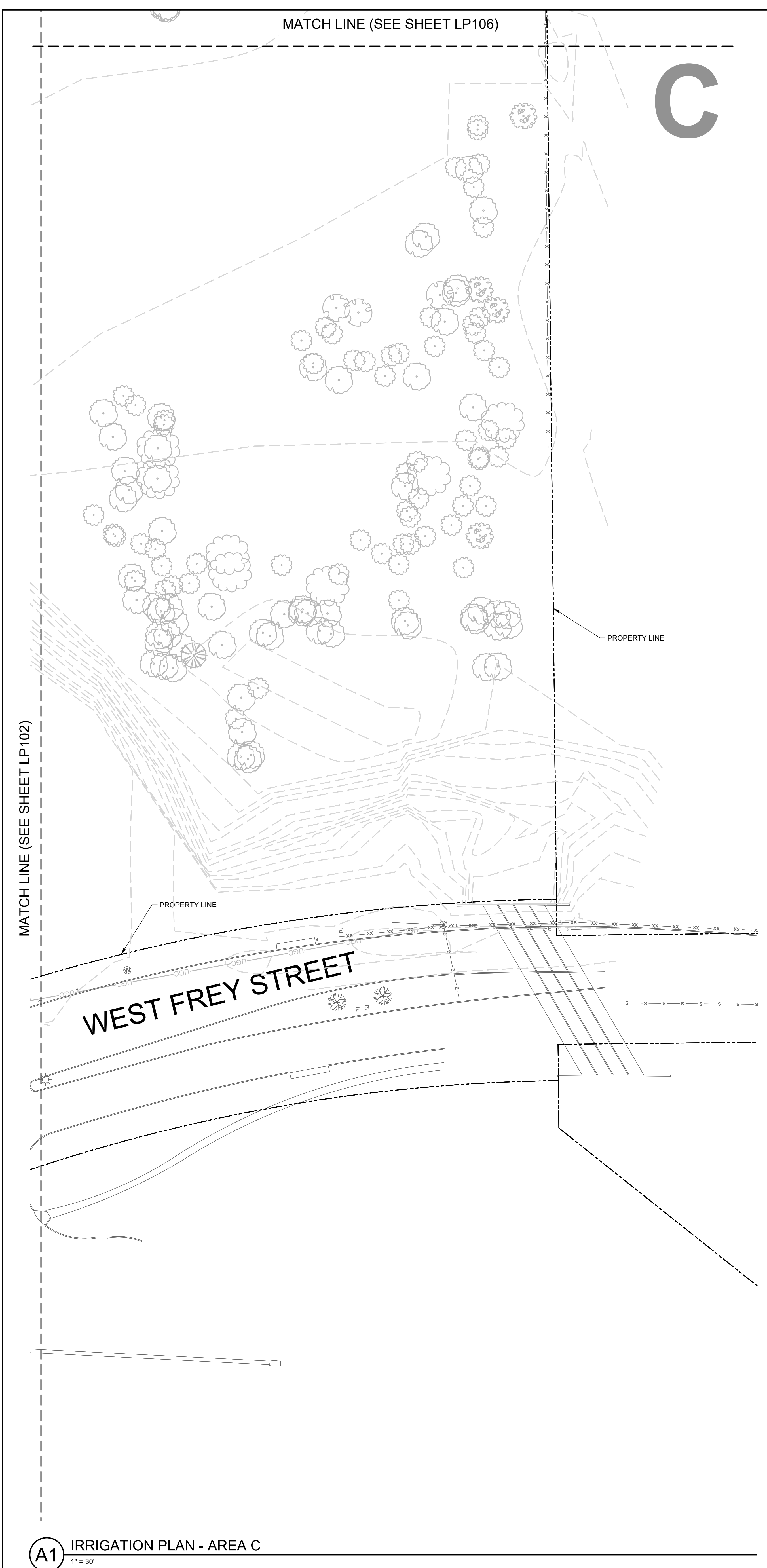
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A:\2022\40108.22\03_DSGN01_DWG\060_LAND\03_SHEETS\UTILITY PACKAGE\LI103-40108.DWG, 10/9/2023 2:04 PM, smooey

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Irrigation Plan
'Area D'
LI104

GENERAL NOTES

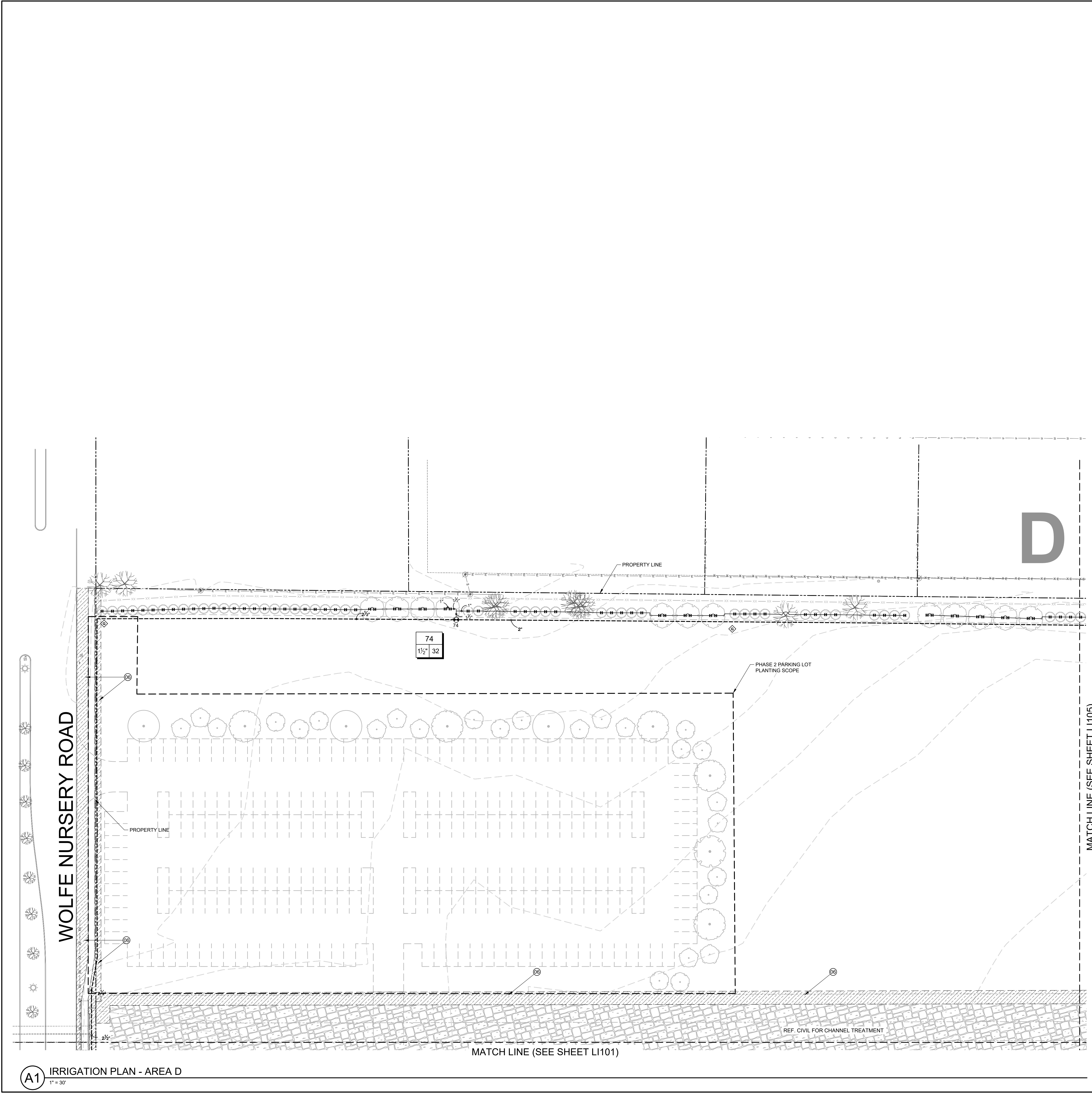
- A. REFER TO SHEET LI107 FOR PLANTING NOTES AND SCHEDULES.
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A1 IRRIGATION PLAN - AREA D
1" = 30'

A:\2022\40108.22\03_DSGN01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LI104-40108.DWG, 10/9/2023 2:04 PM, smooey

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Irrigation Plan
'Area E'
LI105

GENERAL NOTES

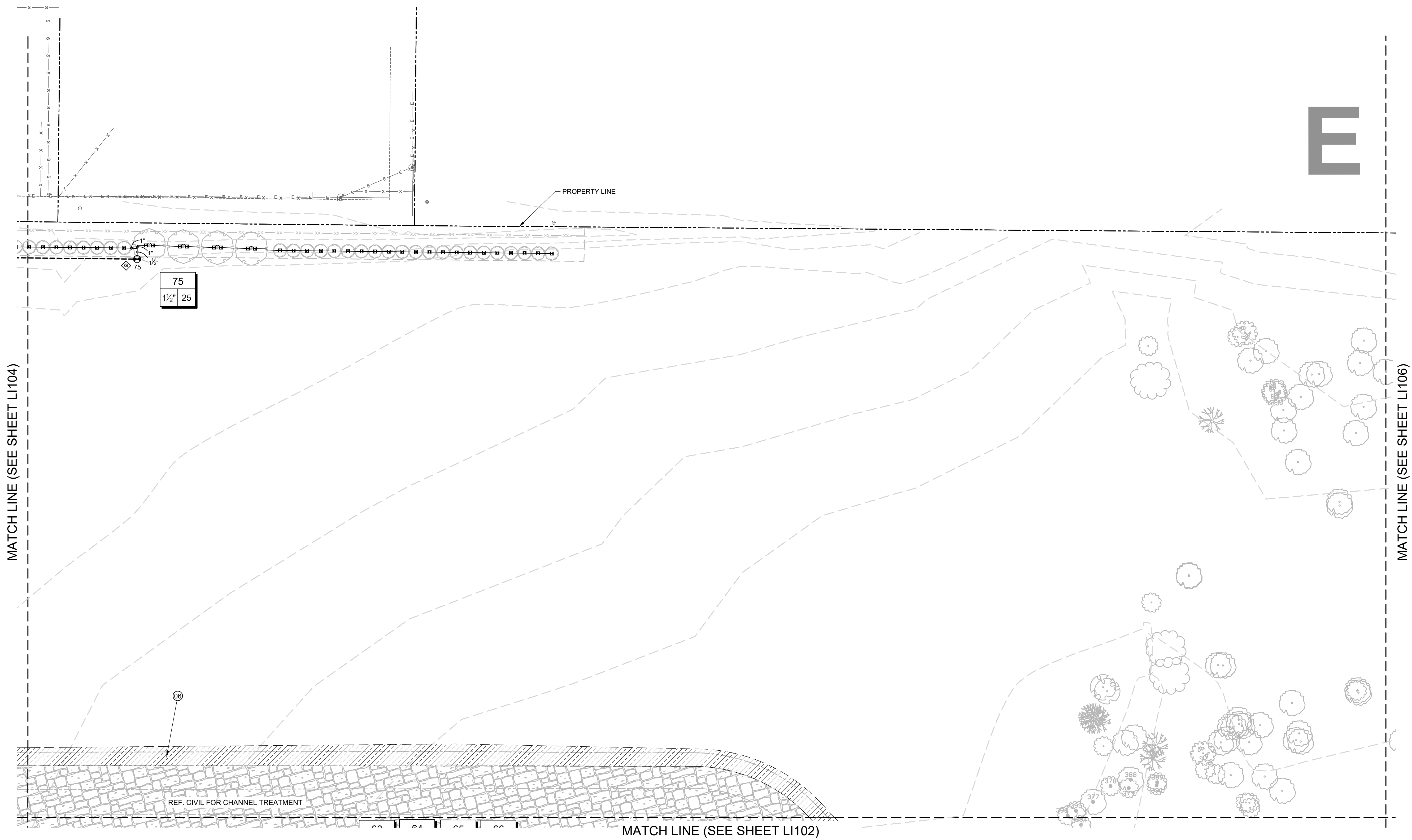
- A. REFER TO SHEET LI107 FOR PLANTING NOTES AND SCHEDULES.
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KEY NOTES

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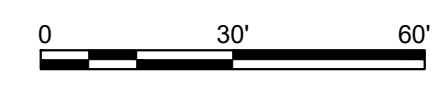
MATCH LINE (SEE SHEET LI104)

MATCH LINE (SEE SHEET LI106)

MATCH LINE (SEE SHEET LI102)

A1 IRRIGATION PLAN - AREA E

1" = 30'



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Irrigation Plan
'Area F'
LI106

GENERAL NOTES

- A. REFER TO SHEET LI107 FOR PLANTING NOTES AND SCHEDULES.
- B. REFER TO SHEET L-503 FOR PLANTING DETAILS.

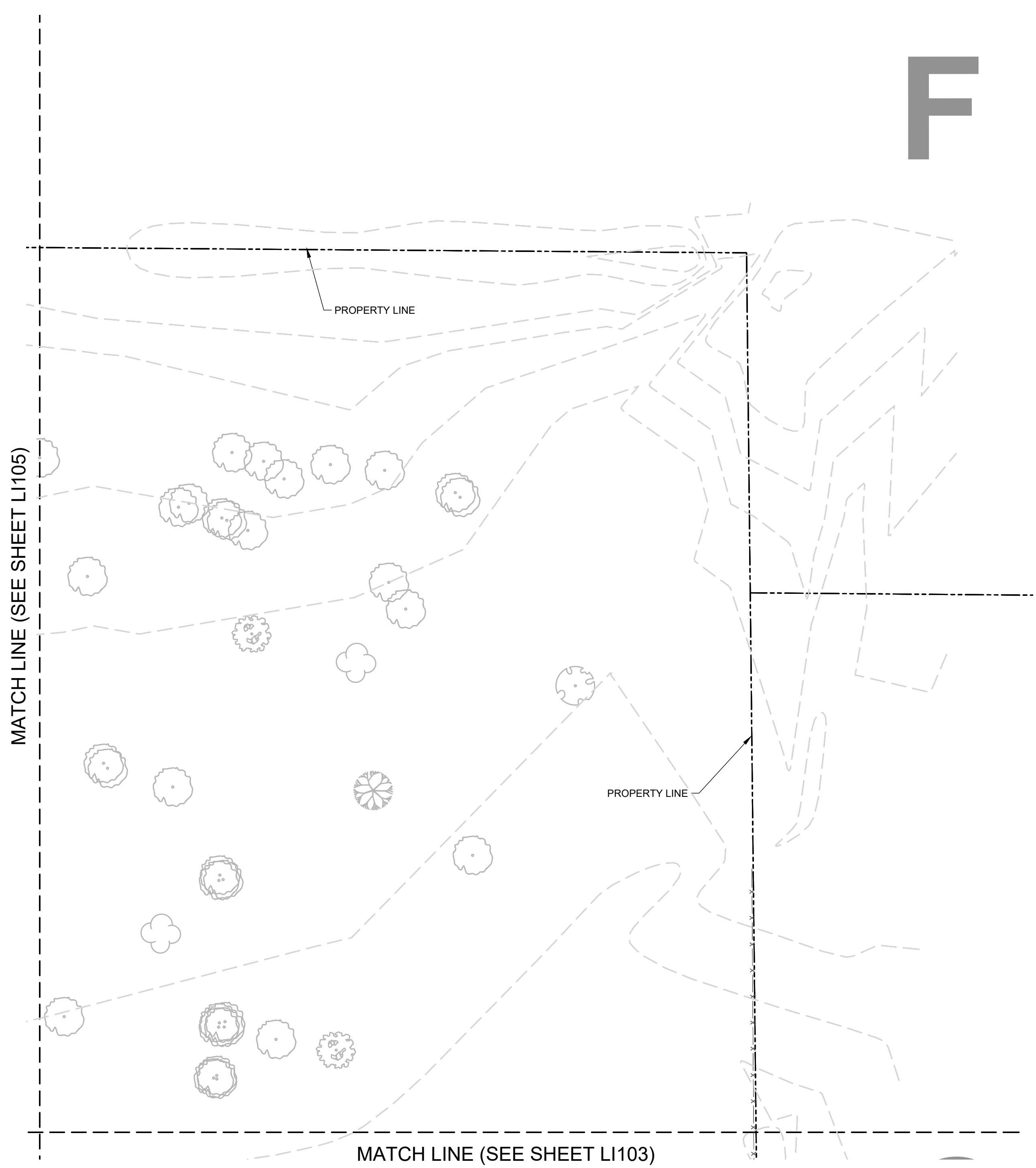
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F



A1 IRRIGATION PLAN - AREA F
1" = 30'

A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\LI106-40108.DWG, 10/9/2023 2:08 PM, smoochy



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Stephenville ISD Stadium Honeybees & Yellowjackets



CROSSLAND - Parkhill

CLIENT Stephenville ISD N Frey & N Wolfe Nursery Rd. Stephenville, TX 76401

PROJECT NO. 40108.22 KEY PLAN

Table with 2 columns: #, DATE, DESCRIPTION. Row 1: 4, 10/06/2023, Development Plan Re-Submittal. Row 2: 3, 09/15/2023, Development Plan Re-Submittal. Row 3: 2, 09/08/2023, Development Plan Re-Submittal. Row 4: 1, 08/25/2023, Development Plan Submittal.

Irrigation Notes And Schedules LI107

IRRIGATION - GENERAL NOTES

- A. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO INITIATING WORK. B. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE OR INTERRUPTION IN SERVICE CAUSED BY HIS EXCAVATIONS AND/OR WORK. C. IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR ACCOMPLISHING FULL COVERAGE IN ALL AREAS WITH SPECIFIED EQUIPMENT. ANY DISCREPANCIES IN THE PLAN SHOULD BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION BEFORE BID. D. WHERE TREES, LIGHT STANDARDS, ETC. ARE AN OBSTRUCTION OF PIPING AND DRIP EMITTERS THE IRRIGATION SHALL BE ADJUSTED AND/OR RELOCATED AS NECESSARY TO OBTAIN FULL COVERAGE WITH MINIMAL OVERSPRAY INTO NON-LANDSCAPE AREAS OR ONTO HARD CONSTRUCTION. E. ALL FITTINGS AND NECESSARY EQUIPMENT REQUIRED TO MAKE THIS IRRIGATION SYSTEM OPERATE PROPERLY AND TO COMPLY WITH LOCAL AND STATE CODES ARE INCIDENTAL TO THESE PLANS AND ARE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO CONSTRUCT PROPOSED IRRIGATION SYSTEM IN ACCORDANCE WITH PLANS, WRITTEN SPECIFICATIONS, AND DETAILS. F. THIS IRRIGATION SYSTEM WAS DESIGNED FOR A MINIMUM STATIC PRESSURE AT THE POINT OF CONNECTION AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN WHAT IS SPECIFIED ON THE PLANS THE CONTRACTOR SHALL RECEIVE DIRECTION FROM THE LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY. G. CONTRACTOR WILL BE HELD LIABLE FOR GAINING ACCESS UNDER ALL PAVEMENTS. IF SLEEVES ARE INDICATED ON THE PLANS THEY SHOULD BE VERIFIED FOR ACCESSIBILITY AND PASSABILITY BEFORE BID IS MADE. IF NOT, THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF SLEEVE PIPING WITH ALL TRADES TO INSURE THAT SLEEVES ARE INSTALLED PROPERLY PRIOR TO INSTALLATION OF CURB AND GUTTER, ASPHALT PAVING, SIDEWALKS, CONCRETE PADS, ETC. H. THE CONTRACTOR SHALL LOCATE AND VERIFY WATER SUPPLY TO WHICH THE IRRIGATION SYSTEM WILL CONNECT. ALL EQUIPMENT AND INSTALLATION METHODS SHALL COMPLY WITH ALL LOCAL, REGIONAL, STATE, AND FEDERAL GUIDELINES. I. THIS IRRIGATION SYSTEM HAS BEEN DESIGNED FOR THE USE OF WATER THAT IS REPRESENTATIVE. J. CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS AND METERS REQUIRED FOR THE FULL IMPLEMENTATION OF THE SYSTEM. K. THE CONTRACTOR SHALL COORDINATE WATER "TAP-IN" LOCATIONS AND CONTROLLER CONNECTIONS WITH THE OWNERS AGENT PRIOR TO INSTALLATION. L. ALL VALVES SHALL BE LOCATED IN PLANTING AREAS WHERE SHOWN AND ALL PIPING SHALL BE INSTALLED PRIOR TO LANDSCAPE PLANTING WORK. M. NO TEES, ELLS, OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVING. N. CONTRACTOR SHALL SIZE VALVE BOXES TO HOUSE ENTIRE IRRIGATION ASSEMBLIES AS SHOWN. VALVE BOX EXTENSIONS AS MANUFACTURED BY THE VALVE BOX SUPPLIER SHALL BE INSTALLED TO MAINTAIN THE VALVE BOX COVER FLUSH WITH THE FINISHED GRADE AND THE VALVE BOX BASE A MINIMUM OF 2 INCHES BELOW THE BOTTOM OF ANY IRRIGATION ASSEMBLY. O. PIPE SIZES SHOWN AT POINTS OF CONNECTION AND WHERE CHANGES IN PIPE SIZE OCCUR. ALL PIPES SHALL BE THE SIZE OF THE LAST PRECEDING SIZE CALLED OUT UPSTREAM OF EACH SECTION OF PIPE UNLESS OTHERWISE NOTED. LATERAL LINES WITH FLOW OF 10 GPM OR LESS SHALL BE SIZE 3/4". P. EACH CONTROLLER WILL HAVE AN INDEPENDENT COMMON WIRE. Q. SPLICES OF REMOTE CONTROL VALVE WIRES IS NOT ALLOWED BETWEEN CONTROLLER & VALVE BOX FOR REMOTE CONTROL VALVE. WIRES MUST BE CONTINUOUS FROM CONTROLLER TO REMOTE CONTROL VALVE WITHOUT SPLICING. R. CONTRACTOR TO FLUSH ALL LINES PRIOR TO INSTALLING HEADS AND EMITTERS. S. ALL TRENCH BACKFILL SHALL BE CLEAN MATERIAL FROM EXCAVATION BACKFILL. TRENCH IS TO BE EVEN WITH EXISTING GRADES AFTER COMPACTION. T. TRENCH BACKFILL MATERIAL SHALL BE WATER SETTLED AND COMPACTED. U. ALL REMOTE CONTROL VALVE WIRES NEED TO BE LABELED AT VALVE W/ WEATHER (WATER) PROOF LABELS AND AT CONTROLLER WITH CORRESPONDING LABEL. V. CONTRACTOR SHALL PLACE ALL SPRAY AND ROTARY HEADS AT LEAST 4" INSIDE FROM ANY CURBING, SIDEWALK, FENCING, OR BUILDING. W. COORDINATE BACKFLOW PREVENTION ASSEMBLY TEST AS PER LOCAL REGULATIONS. X. CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION FOR ALL PLANT MATERIAL AND TREES TO REMAIN DURING THE CONSTRUCTION DURATION WITHIN LIMITS OF CONSTRUCTION. Y. NO MACHINE TRENCHING SHALL BE PERMITTED WITHIN THE ROOT ZONES OF EXISTING TREES. HAND-DIG ONLY, WITHIN THE ROOT ZONES OF EXISTING TREES. NO ROOTS OVER 1" DIAMETER SHALL BE CUT. STAKE ALL PROPOSED TRENCH ROUTES NEAR EXISTING TREES FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS.

IRRIGATION - TCEQ GENERAL NOTES

- 1. THIS IRRIGATION SYSTEM HAS BEEN DESIGNED AND SHALL BE INSTALLED ACCORDING TO TEXAS ADMINISTRATIVE CODE, TITLE 30 - ENVIRONMENTAL QUALITY, PART 1 - TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) CHAPTER 344 - LANDSCAPE IRRIGATION. THE FOLLOWING INFORMATION IS PROVIDED AS A COURTESY AND IS NOT A COMPLETE LIST OF TCEQ REQUIREMENTS. 2. THE MAXIMUM SPACING BETWEEN EMISSION DEVICES MUST NOT EXCEED THE MANUFACTURER'S PUBLISHED RADIUS OR SPACING OF THE DEVICE. 3. NEW IRRIGATION SYSTEMS SHALL NOT UTILIZE ABOVE-GROUND SPRAY EMISSION DEVICES IN LANDSCAPES THAT ARE LESS THAN 48 INCHES NOT INCLUDING THE INTERVIEWS SURFACES IN EITHER LENGTH OR WIDTH AND WHICH CONTAIN IMPERVIOUS PEDESTRIAN OR VEHICULAR TRAFFIC SURFACES ALONG TWO OR MORE PERIMETERS. 4. EMISSION DEVICES MUST BE INSTALLED AT THE MINIMUM AND NOT ABOVE THE MAXIMUM SPRINKLER HEAD PRESSURE AS PUBLISHED BY THE MANUFACTURER FOR THE NOZZLE AND HEAD SPACING THAT IS USED. 5. IRRIGATION SYSTEMS SHALL NOT SPRAY WATER OVER SURFACES MADE OF CONCRETE, ASPHALT, BRICK, WOOD, STONES SET WITH MORTAR, OR ANY OTHER IMPERVIOUS MATERIAL, SUCH AS, BUT NOT LIMITED TO, WALLS, FENCES, SIDEWALKS, STREETS, ETC. 6. ALL NEW IRRIGATION SYSTEMS THAT ARE INSTALLED USING PVC PIPE AND FITTINGS SHALL BE PRIMED WITH A COLORED PRIMER PRIOR TO APPLYING THE PVC CEMENT. 7. THE IRRIGATION SYSTEM MUST INCLUDE AN ISOLATION VALVE BETWEEN THE WATER METER AND THE BACKFLOW PREVENTION DEVICE. 8. WATER CONTAINED WITHIN THE PIPING OF AN IRRIGATION SYSTEM IS DEEMED TO BE NON-POTABLE. NO DRINKING OR DOMESTIC WATER USAGE SUCH AS, BUT NOT LIMITED TO, FILLING SWIMMING POOLS OR DECORATIVE FOUNTAINS, SHALL BE CONNECTED TO AN IRRIGATION SYSTEM. 9. HOSE BIBS MUST BE INSTALLED USING A QUICK COUPLER KEY OR A QUICK COUPLER INSTALLED IN A COVERED PURPLE VALVE BOX AND THE HOSE BIB AND ANY HOSES CONNECTED TO THE BIB MUST BE LABELED "NON-POTABLE, NOT SAFE FOR DRINKING." AN ISOLATION VALVE MUST BE INSTALLED UPSTREAM OF A QUICK COUPLER CONNECTING A HOSE BIB TO AN IRRIGATION SYSTEM. 10. A LICENSED IRRIGATOR OR A LICENSED IRRIGATION TECHNICIAN SHALL BE ON-SITE AT ALL TIMES DURING IRRIGATION. 11. UPON COMPLETION OF THE IRRIGATION SYSTEM, THE IRRIGATOR OR IRRIGATION TECHNICIAN WHO PROVIDED SUPERVISATE FOR THE ON-SITE INSTALLATION SHALL BE REQUIRED TO COMPLETE FOUR ITEMS: (1) A FINAL "WALK THROUGH" WITH THE IRRIGATION SYSTEM'S OWNER OR THE OWNER'S REPRESENTATIVE TO EXPLAIN THE OPERATION OF THE SYSTEM; (2) THE MAINTENANCE CHECKLIST ON WHICH THE IRRIGATOR OR IRRIGATION TECHNICIAN SHALL OBTAIN THE SIGNATURE OF THE IRRIGATION SYSTEM'S OWNER OR OWNER'S REPRESENTATIVE AND SHALL SIGN, DATE, AND SEAL THE CHECKLIST; (3) A PERMANENT STICKER WHICH CONTAINS THE IRRIGATOR'S NAME, LICENSE NUMBER, COMPANY NAME, TELEPHONE NUMBER AND THE DATES OF THE WARRANTY PERIOD SHALL BE AFFIXED TO EACH AUTOMATIC CONTROLLER INSTALLED BY THE IRRIGATOR OR IRRIGATION TECHNICIAN; (4) THE IRRIGATION PLAN INDICATING THE ACTUAL INSTALLATION OF THE SYSTEM MUST BE PROVIDED TO THE IRRIGATION SYSTEM'S OWNER OR OWNER REPRESENTATIVE. 12. THE ITEMS ON THE MAINTENANCE CHECKLIST SHALL INCLUDE BUT ARE NOT LIMITED TO: (A) THE MANUFACTURER'S MANUAL FOR THE AUTOMATIC CONTROLLER, IF THE SYSTEM IS AUTOMATIC; (B) A SEASONAL (SPRING, SUMMER, FALL, WINTER) WATERING SCHEDULE BASED ON EITHER CURRENT/REAL TIME EVAPOTRANSPIRATION OR MONTHLY HISTORICAL REFERENCE EVAPOTRANSPIRATION (HISTORICAL ET) DATA, MONTHLY EFFECTIVE RAINFALL ESTIMATES, PLANT LANDSCAPE COEFFICIENT FACTORS, AND SITE FACTORS; (C) A LIST OF COMPONENTS, SUCH AS THE NOZZLE, OR PUMP FILTERS, AND OTHER SUCH COMPONENTS THAT REQUIRE MAINTENANCE AND THE RECOMMENDED FREQUENCY FOR THE SERVICE; AND (D) THE STATEMENT, "THIS IRRIGATION SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL LAWS, ORDINANCES, RULES, REGULATIONS OR ORDERS. I HAVE TESTED THE SYSTEM AND DETERMINED THAT IT HAS BEEN INSTALLED ACCORDING TO THE IRRIGATION PLAN AND IS PROPERLY ADJUSTED FOR THE MOST EFFICIENT APPLICATION OF WATER AT THIS TIME." 13. THE IRRIGATOR SHALL PRESENT THE IRRIGATION SYSTEM'S OWNER OR OWNER'S REPRESENTATIVE WITH A WRITTEN WARRANTY COVERING MATERIALS AND LABOR FURNISHED IN THE NEW INSTALLATION OF THE IRRIGATION SYSTEM. THE IRRIGATOR SHALL BE RESPONSIBLE FOR ADHERING TO TERMS OF THE WARRANTY. IF THE IRRIGATOR'S WARRANTY IS LESS THAN THE MANUFACTURER'S WARRANTY FOR THE SYSTEM COMPONENTS, THEN THE IRRIGATOR SHALL PROVIDE THE IRRIGATION SYSTEM'S OWNER OR THE OWNER'S REPRESENTATIVE WITH APPLICABLE INFORMATION REGARDING THE MANUFACTURER'S WARRANTY PERIOD. THE WARRANTY MUST INCLUDE THE IRRIGATOR'S SEAL, SIGNATURE, AND DATE. WRITTEN WARRANTY ON NEW IRRIGATION SYSTEMS MUST SPECIFY THE IRRIGATOR'S NAME, BUSINESS ADDRESS, AND BUSINESS TELEPHONE NUMBER(S). MUST CONTAIN THE SIGNATURE OF THE IRRIGATION SYSTEM'S OWNER OR OWNER'S REPRESENTATIVE CONFIRMING RECEIPT OF THE WARRANTY AND MUST INCLUDE THE STATEMENT: "IRRIGATION IN TEXAS IS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ), MC-178, P.O. BOX 130897, AUSTIN, TEXAS 78711-3087. TCEQ'S WEBSITE IS: WWW.TCEQ.STATE.TX.US." 14. ON ALL MAINTENANCE, ALTERATIONS, REPAIRS, OR SERVICE TO EXISTING IRRIGATION SYSTEMS, AN IRRIGATOR SHALL PRESENT THE IRRIGATION SYSTEM'S OWNER OR OWNER'S REPRESENTATIVE A WRITTEN DOCUMENT THAT IDENTIFIES THE MATERIALS FURNISHED IN THE MAINTENANCE, ALTERATION, REPAIR, OR SERVICE AND ALL APPLICABLE WARRANTIES.

VALVE SCHEDULE

Table with columns: NUMBER, MODEL, SIZE, TYPE, GPM, DESIGN PSI, FRICTION LOSS, VALVE LOSS, PSI, PSI @ POC, PRECIP. Lists 88 valve entries with their respective specifications.

CRITICAL ANALYSIS

Summary table for Critical Analysis including: Generated: 2023-10-09 09:17, P.O.C. NUMBER: 01, Water Source Information: New 3" Irrigation Meter, Ref. Civil, FLOW AVAILABLE: Water Meter Size: 3", Flow Available: 225 GPM, PRESSURE AVAILABLE: Static Pressure at POC: 80 PSI, Elevation Change: 5.00 ft, Service Line Size: 4", Length of Service Line: 20 ft, Pressure Available: 78 PSI, DESIGN ANALYSIS: Maximum Multi-valve Flow: 180 GPM, Flow Available at POC: 225 GPM, Residual Flow Available: 45 GPM, Critical Station: 75, Design Pressure: 30 PSI, Friction Loss: 2.92 PSI, Filtrings Loss: 0.75 PSI, Elevation Loss: 0 PSI, Loss through Valve: 3.75 PSI, Pressure Req. at Critical Station: 37.0 PSI, Loss for Filtrings: 1.36 PSI, Loss for Main Line: 13.8 PSI, Loss for POC to Valve Elevation: 0 PSI, Loss for Backflow: 15.1 PSI, Loss for Master Valve: 2.2 PSI, Loss for Water Meter: 7.23 PSI, Critical Station Pressure at POC: 78.7 PSI, Pressure Available: 78 PSI, Residual Pressure Available: 1.3 PSI

IRRIGATION SCHEDULE

Table with columns: SYMBOL, MANUFACTURER/MODEL/DESCRIPTION, PSI. Lists 48 irrigation symbols and their descriptions.

Table with columns: SYMBOL, MANUFACTURER/MODEL/DESCRIPTION, PSI. Lists 12 irrigation symbols and their descriptions.

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CONTRACTOR SHALL INSTALL TEMPORARY IRRIGATION FOR ALL AREAS AS SHOWN. TEMPORARY IRRIGATION SHALL REMAIN IN PLACE UNTIL GRASS ESTABLISHMENT IS ACHIEVED PER SPECIFICATIONS.

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Parkhill.com

Stephenville ISD Stadium

Honeybees & Yellowjackets



CROSSLAND · Parkhill

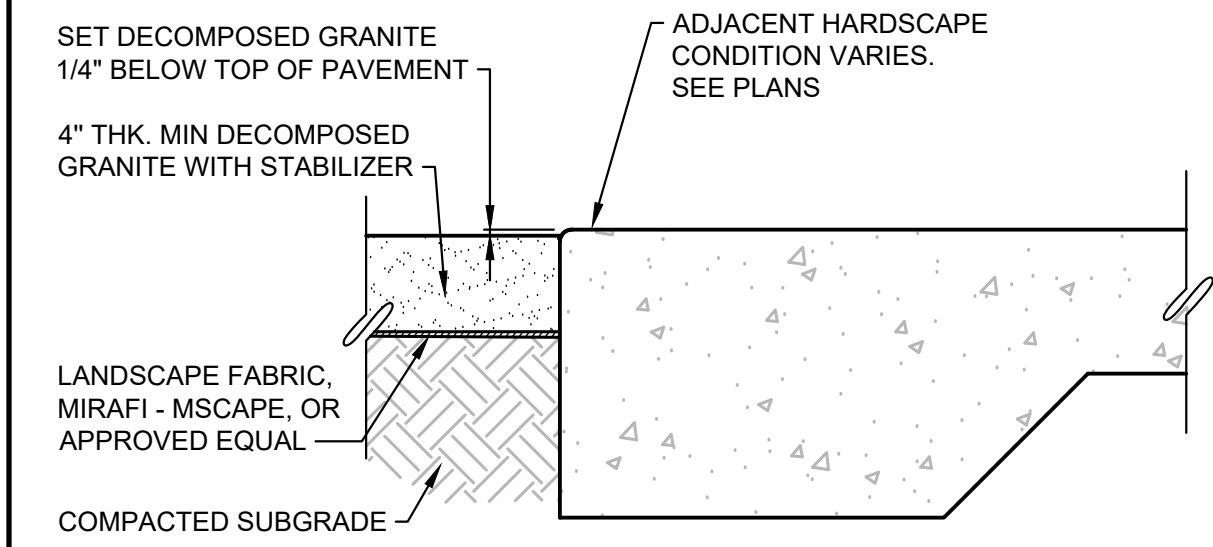
CLIENT
Stephenville ISD
N Frey & N Wolfe Nursery Rd.
Stephenville, TX 76401

PROJECT NO.
40108.22
KEY PLAN

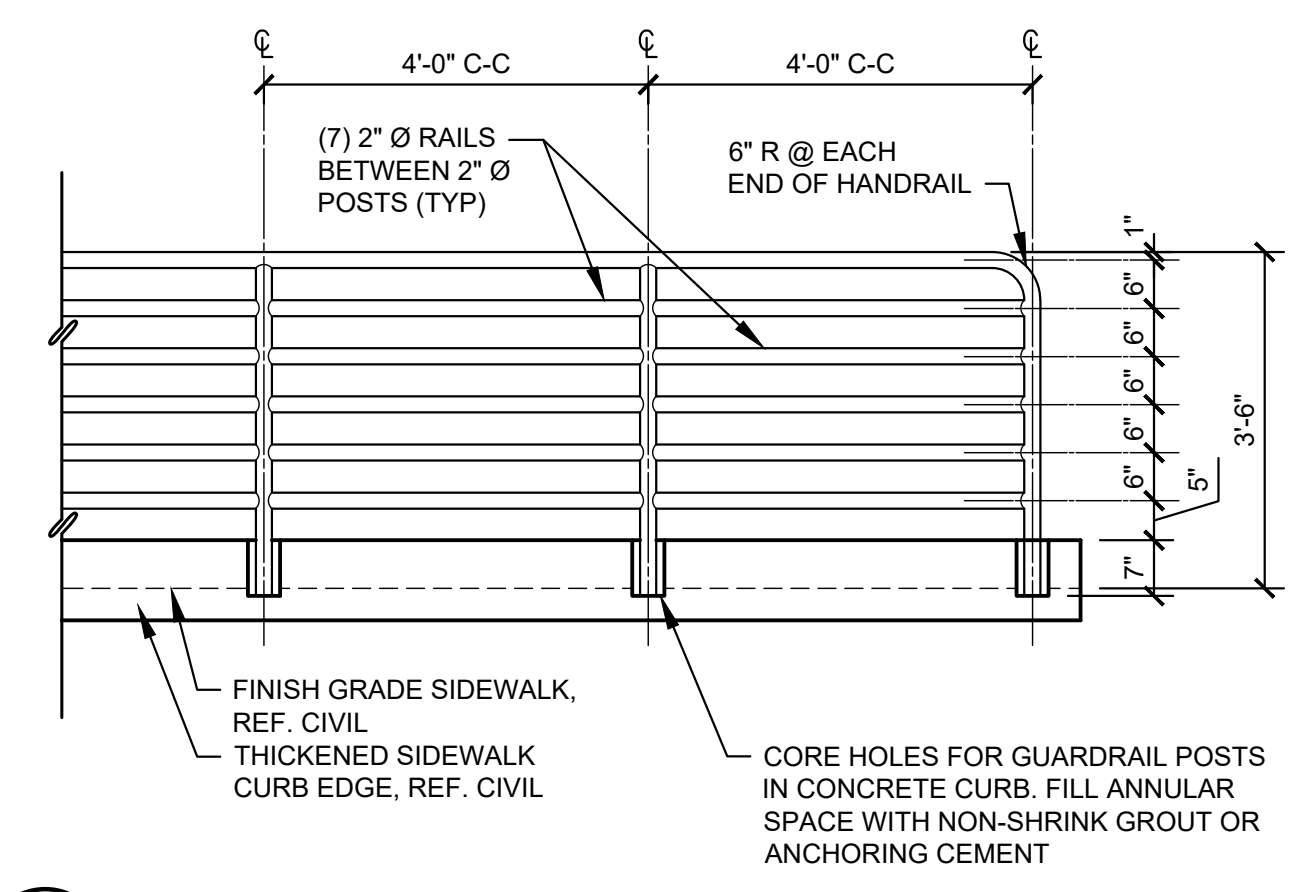
#	DATE	DESCRIPTION
4	10/06/2023	Development Plan Re-Submittal
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

Landscape Details

L-501

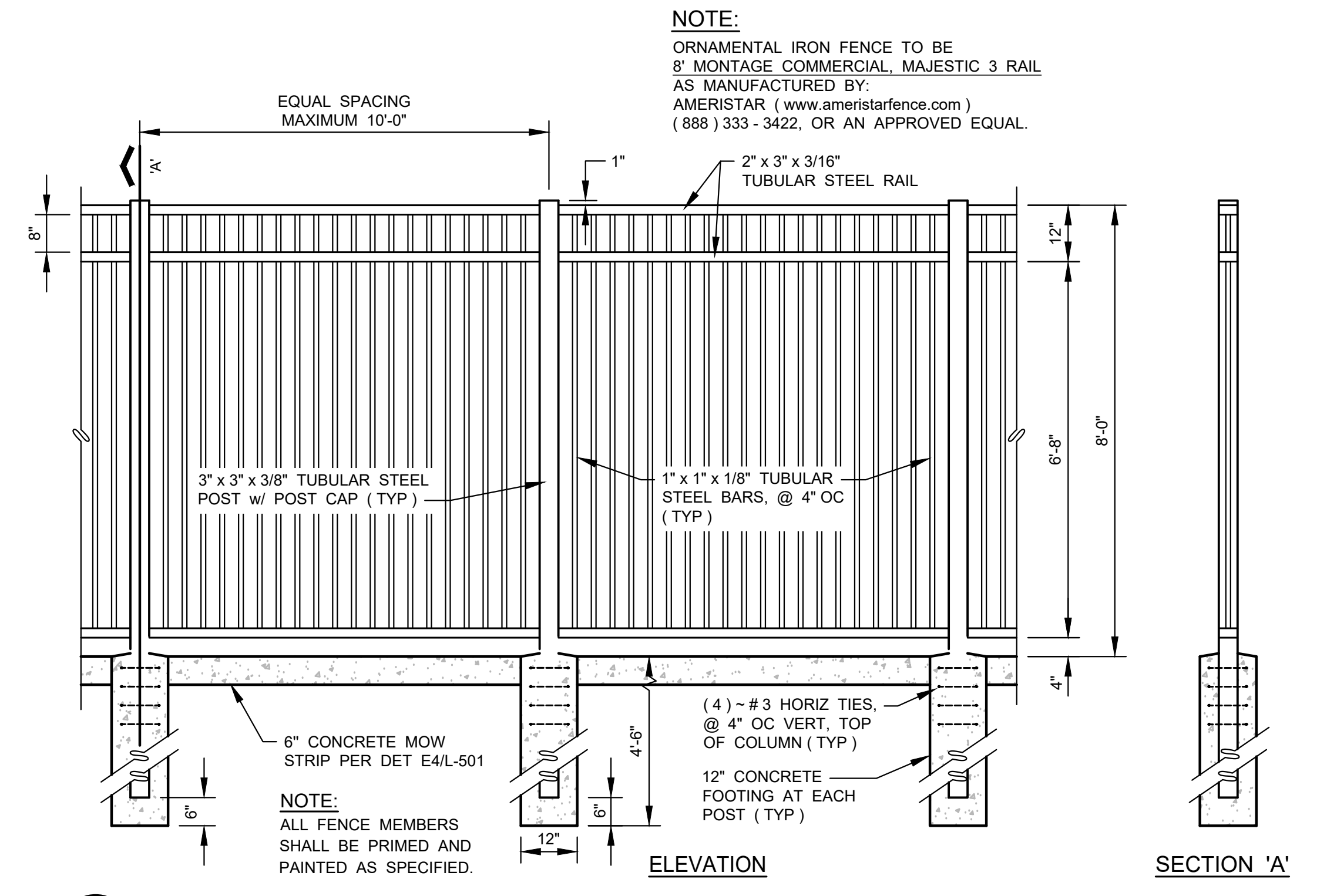


B1 DECOMPOSED GRANITE PAVING
1 1/2" = 1'-0"
PVMT_DECOMP_GRANITE



B2 GUARD RAIL ELEVATION
SCALE: 1/2" = 1'-0"
GARD_RAIL_ELEV.dwg

- #### GUARD RAIL NOTES
- CENTER GUARD RAIL POSTS IN RAISED CURB.
 - RAIL POSTS SHALL BE VERTICAL.
 - GUARD RAIL SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION.
 - ALL WELDED AREAS TO BE GROUND SMOOTH PRIOR TO GALVANIZING.
 - ALL MEMBERS SHALL BE 2" DIA. SCHEDULE 40 STEEL PIPE.
 - GUARD RAIL SHALL BE PRIMED AND PAINTED. SUBMIT COLOR PALETTE FOR ARCHITECT AND OWNER SELECTION.
 - MAXIMUM OPEN SPACE BETWEEN RAILS IS 4".

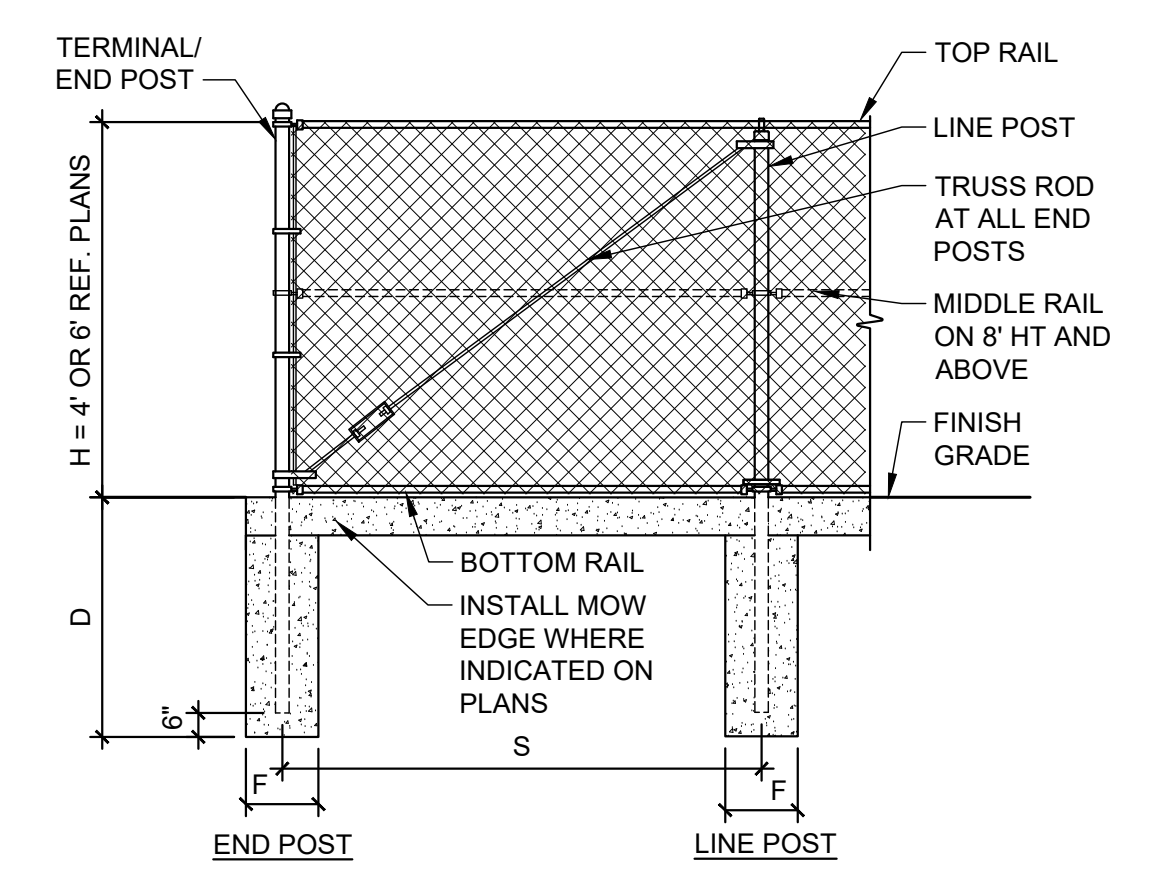


B4 8' ORNAMENTAL FENCE
1/2" = 1'-0"
8_ORNA_FENC_01.dwg

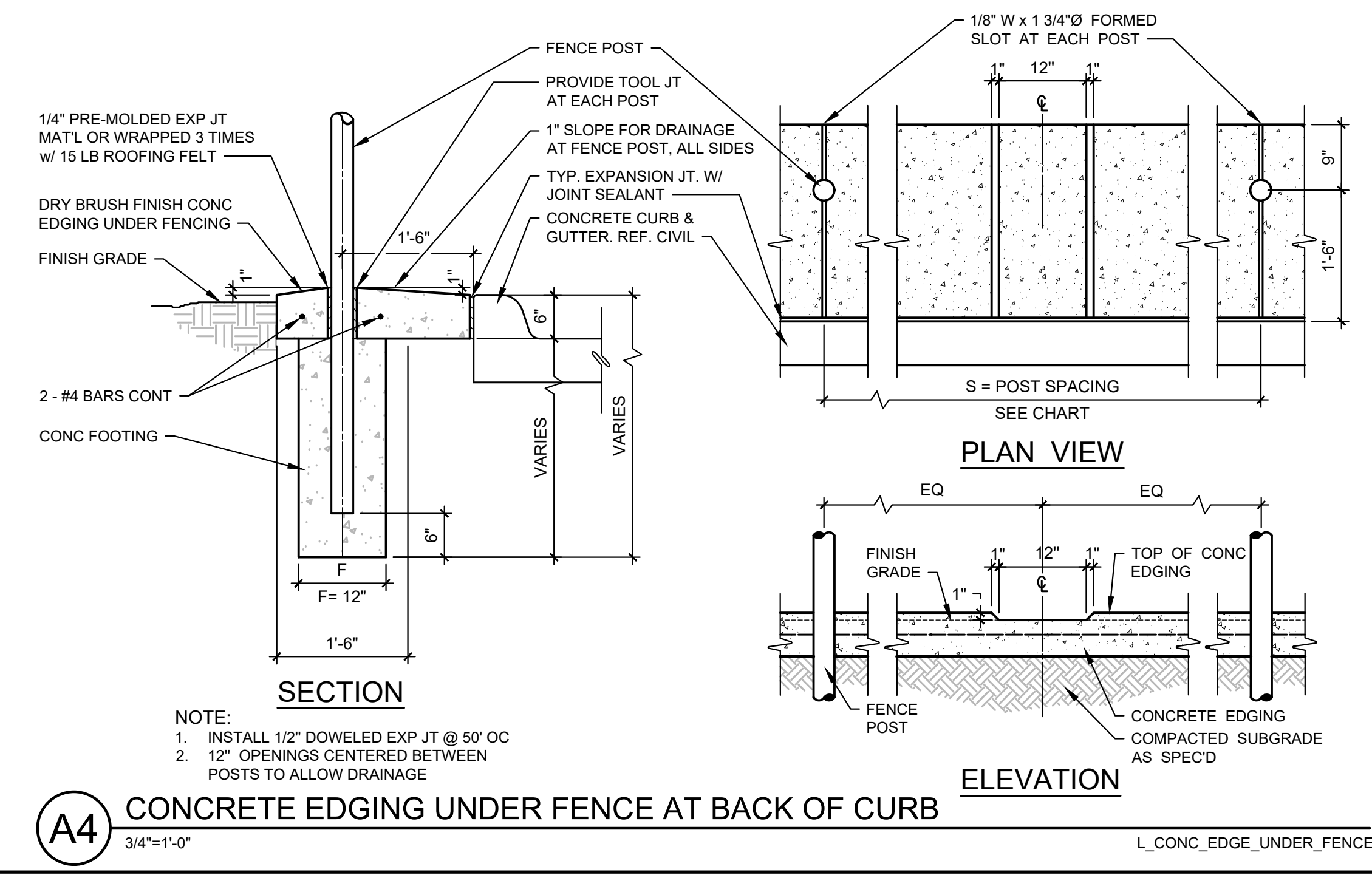
CHAIN LINK FENCE DATA (TYPE I - ASTM F1083-06 REG GRADE PIPE)

H = FENCE HEIGHT	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	10'-0"	12'-0"
END/TERMINAL/GATE POST SIZE	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 7/8" OD SCH 40	4" OD SCH 40	4" OD SCH 40	4" OD SCH 40
LINE POST SIZE	1 7/8" OD SCH 40	1 7/8" OD SCH 40	1 7/8" OD SCH 40	2 3/8" OD SCH 40	2 7/8" OD SCH 40	2 7/8" OD SCH 40	4" OD SCH 40
TOP AND BOTTOM RAIL	1 5/8" OD SCH 40	1 5/8" OD SCH 40	1 5/8" OD SCH 40	1 5/8" OD SCH 40	1 5/8" OD SCH 40	1 5/8" OD SCH 40	1 5/8" OD SCH 40
MIDDLE RAIL	N/A	N/A	N/A	N/A	1 5/8" OD SCH 40	1 5/8" OD SCH 40	1 5/8" OD SCH 40
GATE FRAME	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 3/8" OD SCH 40	2 3/8" OD SCH 40
D = FOOTING DEPTH	3'-6"	3'-6"	3'-6"	4'-0"	5'-6"	5'-6"	5'-6"
F = FOOTING DIAMETER	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
S = POST SPACING	10'-0" MAX OR AS SPEC'D	10'-0" MAX OR AS SPEC'D	10'-0" MAX OR AS SPEC'D	10'-0" MAX OR AS SPEC'D	10'-0" MAX OR AS SPEC'D	10'-0" MAX OR AS SPEC'D	10'-0" MAX OR AS SPEC'D
MESH SIZE	2"	2"	2"	2"	2"	1-3/4"	1-3/4"
FABRIC GAUGE	9	9	9	9	9	9	9

A2 CHAIN LINK FENCE SIZING CHARTS
1/4" = 1'-0"
FN_CH_LINK_CHART



A1 CHAIN LINK FENCE (TYP)
1/4" = 1'-0"



A4 CONCRETE EDGING UNDER FENCE AT BACK OF CURB
3/4" = 1'-0"
L_CONC_EDGE_UNDER_FENCE

A:\2022\01082203_DSGN01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\L-501-40108.DWG, 10/9/2023 2:08 PM, smcody

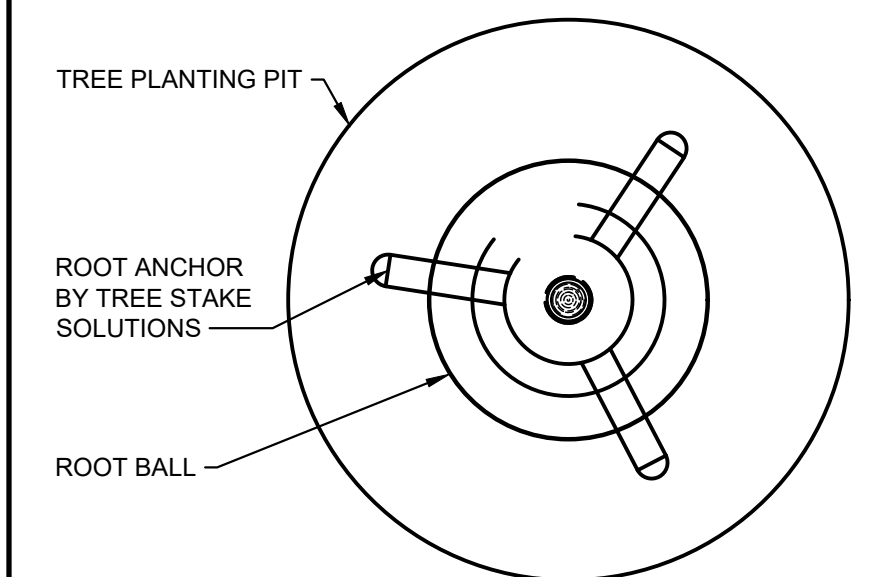
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PLAN VIEW

* AFTER PLANTING, PRUNE ONLY CROSSING BRANCHES, BROKEN BRANCHES, DEAD BRANCHES AND/OR BRANCHES THAT POSE A HAZARD TO PARK USERS/PEDESTRIANS OR CLEARANCE OBSTRUCTIONS AT PARKING AND ALONG ROADWAYS.

TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE WILL BE REJECTED.

ROOT ANCHOR BY TREE STAKE SOLUTIONS. PROVIDE AND INSTALL THE APPROPRIATE SIZE ROOT ANCHOR AS RECOMMENDED BY THE MANUFACTURER. CONTACT 903-676-6143

1/2 ROOT BALL WIDTH (MINIMUM)

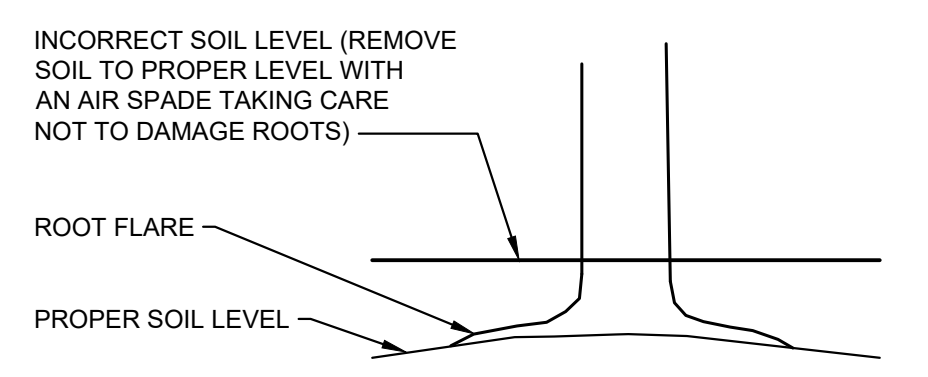
VARIES PER PLAN. 4" THK CRUSHED GRAVEL, AS SPEC'D OR 3" HARDWOOD MULCH AS SPEC'D. MULCH SHALL NOT BE PILED AROUND TRUNK, ROOT FLARE SHALL BE VISIBLE.

1" COMPOST, AS SPEC'D.

CUT AWAY AND REMOVE ALL GALVANIZED WIRE BASKET, TWINE, ROPE AND BURLAP FROM THE TOP TWO-THIRDS OF THE ROOT BALL BEFORE BACKFILLING THE PLANTING PIT. ALL TWINE, ROPE AND BURLAP MUST BE BIODEGRADABLE.

BACKFILL PLANTING PIT WITH NATIVE SOIL. MIX SOIL THOROUGHLY PRIOR TO BACKFILLING. SATURATE WITH WATER TO ELIMINATE VOIDS AND ENSURE FULL CONTACT WITH ROOT BALL.

SCARIFY BOTTOM AND SIDES OF PLANTING PIT. PLANTING PIT DEPTH TO BE 2" LESS THAN THE DEPTH OF THE ROOT BALL.



EXPOSED COVERED ROOT FLARE

INCORRECT SOIL LEVEL (REMOVE SOIL TO PROPER LEVEL WITH AN AIR SPADE TAKING CARE NOT TO DAMAGE ROOTS)

ROOT FLARE

PROPER SOIL LEVEL

NOTES:

1. TOP OF ROOT BALL SHALL BE TWO-INCHES (2") ABOVE FINISHED GRADE. ROOT FLARE MUST BE VISIBLE AFTER PLANTING AND MULCHING.
2. DO NOT CONSTRUCT A WATER BASIN AROUND THE PLANTING PIT.
3. DO NOT PILE MULCH AROUND THE TREE TRUNK.
4. ROOT BOUND TREES WILL NOT BE ACCEPTED.
5. TREES PLANTED TOO LOW, OR WITH THE ROOT FLARE COVERED, WILL NOT BE ACCEPTED.
6. APPLY TREE WRAPPING MATERIAL ON SMOOTH BARKED TREES (i.e. MAPLES & RED OAK) INSTALLED DURING THE SPRING SEASON. WRAP TRUNK FROM GUYING STRAPS TO THE ROOT BALL. USE A WATERPROOF TAPE OR ADHESIVE TO AFFIX THE PRODUCT TO ITSELF. TREE WRAP IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF OCTOBER THAT SAME YEAR.
7. TREE WRAP SHALL BE CLARK'S TREE WRAP BY WALTER E. CLARK & SON, INC., (203) 795-1235, OR APPROVED EQUAL.
8. TREE STAKING IS TO BE REMOVED BY THE CONTRACTOR AFTER ONE (1) YEAR.
9. REFERENCE PLANS AND PROJECT MANUAL FOR SPECIFICATIONS DEFINING SIZE, TYPE, QUALITY, ETC.

TREE CALIPER MEASURED ABOVE TOP OF ROOT BALL (6" FOR TREES LESS OR EQUAL TO 4" CALIPER AND 12" FOR TREES GREATER THAN 4" CALIPER).

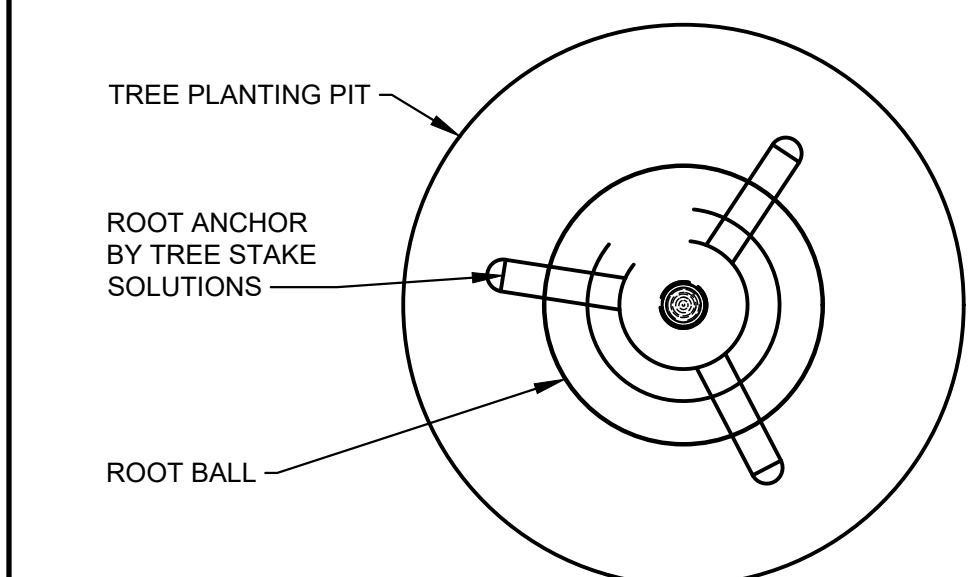
SEE NOTE #1.

ROOT BALL TO BE PLACED ON UNDISTURBED SOIL. IF THE PLANTING PIT IS OVER-EXCAVATED, ADD FILL TO ACHIEVE THE PROPER PLANTING DEPTH AND TAMP THE SOIL TO COMPACT PRIOR TO PLANTING.

C1 MULTI-TRUNK TREE PLANTING AND STAKING

1/2"=1'-0"

L_PLANTING_TREE_MULTI-TRUNK 2



PLAN VIEW

* AFTER PLANTING, PRUNE ONLY CROSSING BRANCHES, BROKEN BRANCHES, DEAD BRANCHES AND/OR BRANCHES THAT POSE A HAZARD TO PEDESTRIANS OR CLEARANCE OBSTRUCTIONS AT PARKING AND ALONG ROADWAYS.

TREE MUST BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE ROOT FLARE IS NOT VISIBLE WILL BE REJECTED.

ROOT ANCHOR BY TREE STAKE SOLUTIONS. PROVIDE AND INSTALL THE APPROPRIATE SIZE ROOT ANCHOR AS RECOMMENDED BY THE MANUFACTURER. CONTACT 903-676-6143

1/2 ROOT BALL WIDTH (MINIMUM)

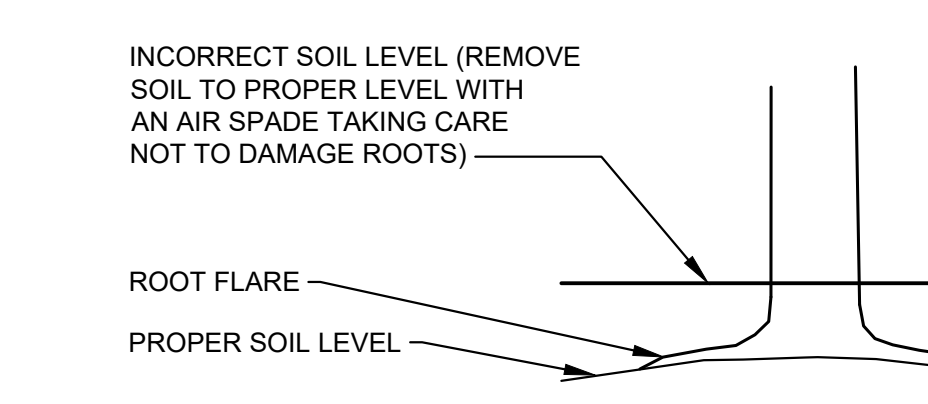
3" THK HARDWOOD MULCH AS SPEC'D. MULCH SHALL NOT BE PILED AROUND TRUNK, ROOT FLARE SHALL BE VISIBLE.

1" COMPOST, AS SPEC'D.

CUT AWAY AND REMOVE ALL GALVANIZED WIRE BASKET, TWINE, ROPE AND BURLAP FROM THE TOP TWO-THIRDS OF THE ROOT BALL BEFORE BACKFILLING THE PLANTING PIT. ALL TWINE, ROPE AND BURLAP MUST BE BIODEGRADABLE.

BACKFILL PLANTING PIT WITH NATIVE SOIL. MIX SOIL THOROUGHLY PRIOR TO BACKFILLING. SATURATE WITH WATER TO ELIMINATE VOIDS AND ENSURE FULL CONTACT WITH ROOT BALL.

SCARIFY BOTTOM AND SIDES OF PLANTING PIT. PLANTING PIT DEPTH TO BE 2" LESS THAN THE DEPTH OF THE ROOT BALL.



EXPOSED COVERED ROOT FLARE

INCORRECT SOIL LEVEL (REMOVE SOIL TO PROPER LEVEL WITH AN AIR SPADE TAKING CARE NOT TO DAMAGE ROOTS)

ROOT FLARE

PROPER SOIL LEVEL

NOTES:

1. TOP OF ROOT BALL SHALL BE TWO-INCHES (2") ABOVE FINISHED GRADE. ROOT FLARE MUST BE VISIBLE AFTER PLANTING AND MULCHING.
2. DO NOT CONSTRUCT A WATER BASIN AROUND THE PLANTING PIT.
3. DO NOT PILE MULCH AROUND THE TREE TRUNK.
4. ROOT BOUND TREES WILL NOT BE ACCEPTED.
5. TREES PLANTED TOO LOW, OR WITH THE ROOT FLARE COVERED, WILL NOT BE ACCEPTED.
6. APPLY TREE WRAPPING MATERIAL ON SMOOTH BARKED TREES (i.e. MAPLES & RED OAK) INSTALLED DURING THE SPRING SEASON. WRAP TRUNK FROM GUYING STRAPS TO THE ROOT BALL. USE A WATERPROOF TAPE OR ADHESIVE TO AFFIX THE PRODUCT TO ITSELF. TREE WRAP IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF OCTOBER THAT SAME YEAR.
7. TREE WRAP SHALL BE CLARK'S TREE WRAP BY WALTER E. CLARK & SON, INC., (203) 795-1235, OR APPROVED EQUAL.
8. TREE STAKING IS TO BE REMOVED BY THE CONTRACTOR AFTER ONE (1) YEAR.
9. REFERENCE PLANS AND PROJECT MANUAL FOR SPECIFICATIONS DEFINING SIZE, TYPE, QUALITY, ETC.

TREE CALIPER MEASURED ABOVE TOP OF ROOT BALL (6" FOR TREES LESS OR EQUAL TO 4" CALIPER AND 12" FOR TREES GREATER THAN 4" CALIPER).

SEE NOTE #1.

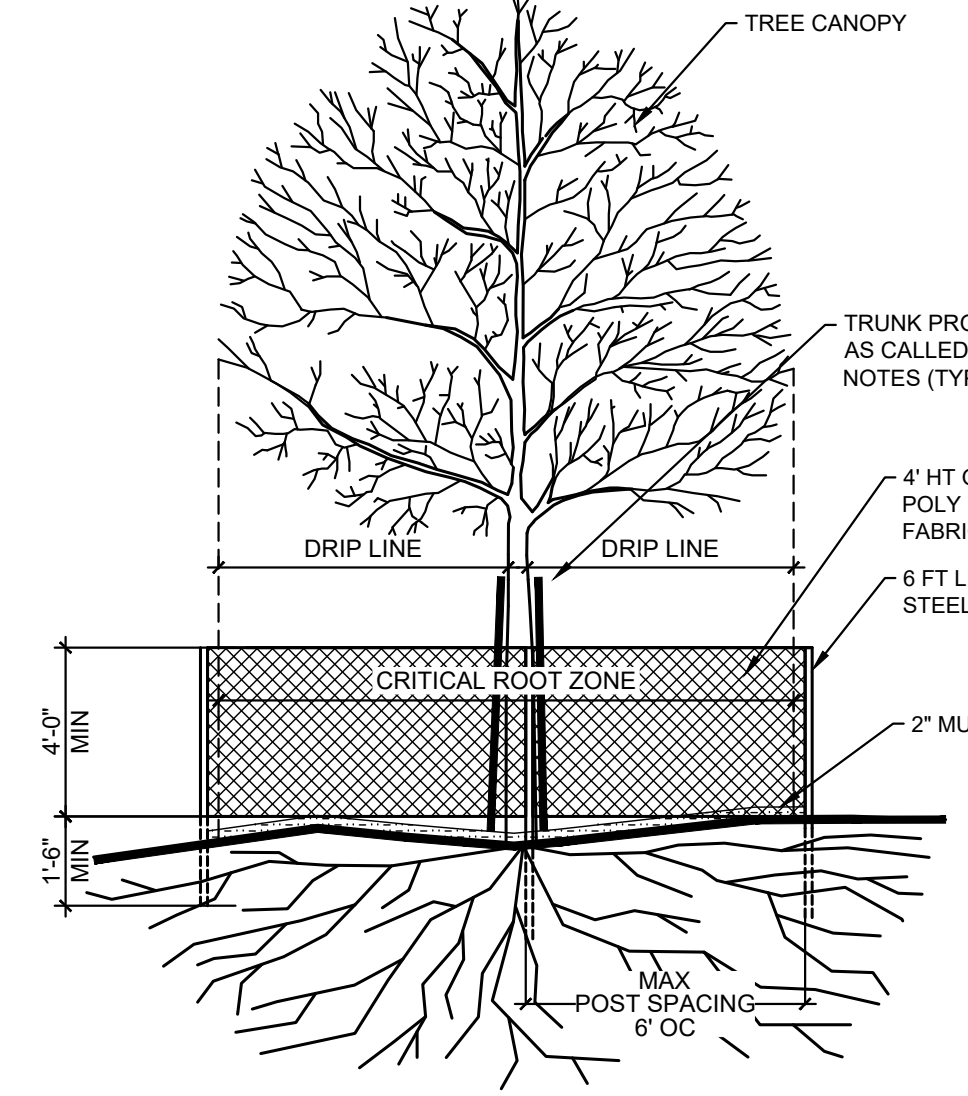
ROOT BALL TO BE PLACED ON UNDISTURBED SOIL. IF THE PLANTING PIT IS OVER-EXCAVATED, ADD FILL TO ACHIEVE THE PROPER PLANTING DEPTH AND TAMP THE SOIL TO COMPACT PRIOR TO PLANTING.

A1 TREE PLANTING AND ANCHORING

1/2"=1'-0"

L_PLANTING_TREE_STANDARD

SINGLE TREE

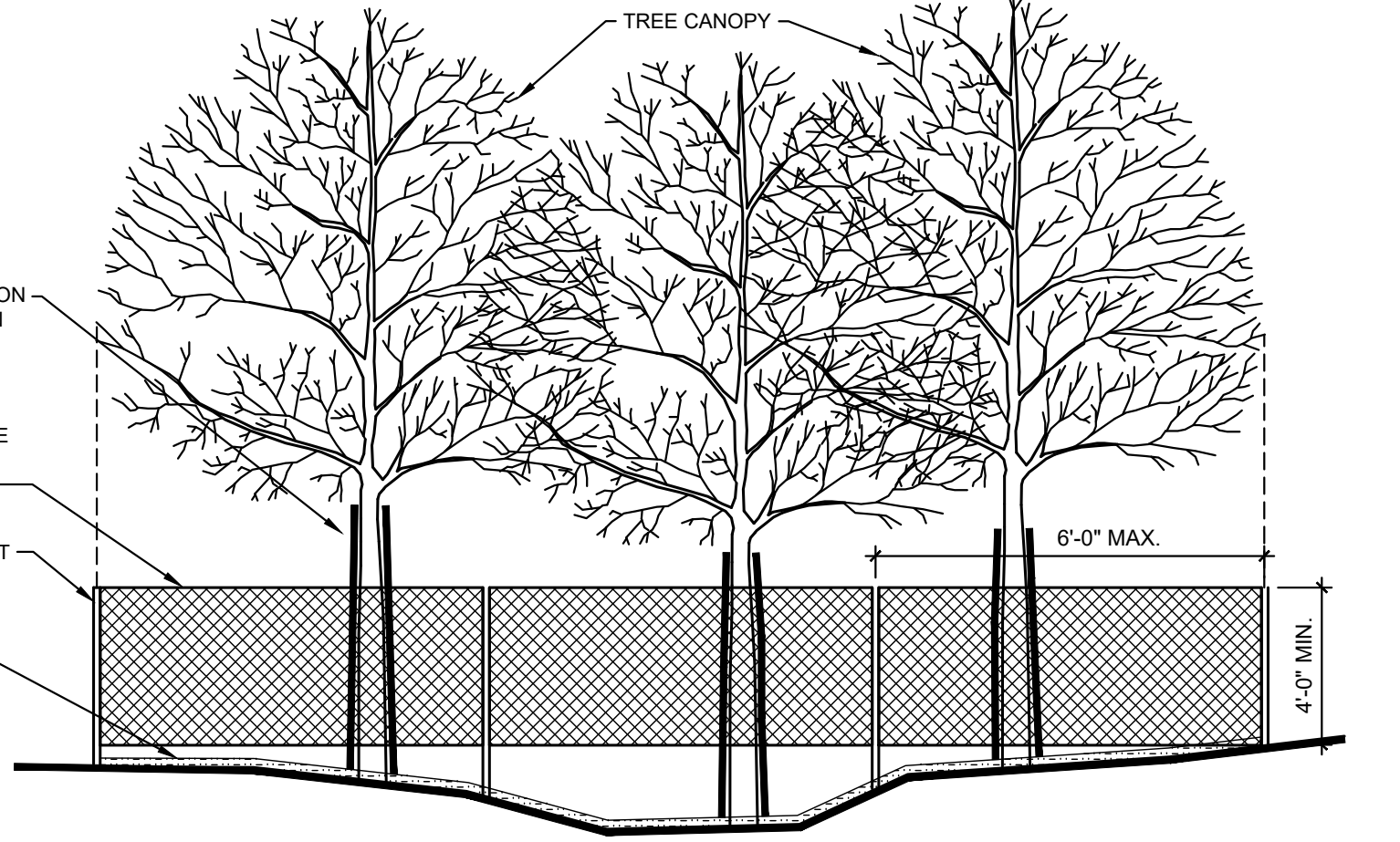


*CRITICAL ROOT ZONE:
THE AREA OF UNDISTURBED NATURAL SOIL AROUND A TREE DEFINED BY A CONCENTRIC CIRCLE WITH A RADIUS TO THE DISTANCE FROM THE TREE TRUNK TO THE OUTERMOST PORTION OF THE DRIP LINE.

DRIP LINE:
A VERTICAL LINE RUN THROUGH THE OUTERMOST PORTION OF THE CANOPY OF A TREE AND EXTENDING TO THE GROUND.

PROTECTIVE FENCING:
ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING, SNOW FENCING, OR OTHER SIMILAR FENCING AS SPECIFIED AT LEAST FOUR FEET (4') HIGH AND SUPPORTED AT A MAXIMUM OF SIX FOOT (6') INTERVALS BY APPROVED METHOD SUFFICIENT ENOUGH TO KEEP THE FENCE UPRIGHT AND IN PLACE. THIS FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL.

TREE CLUSTER



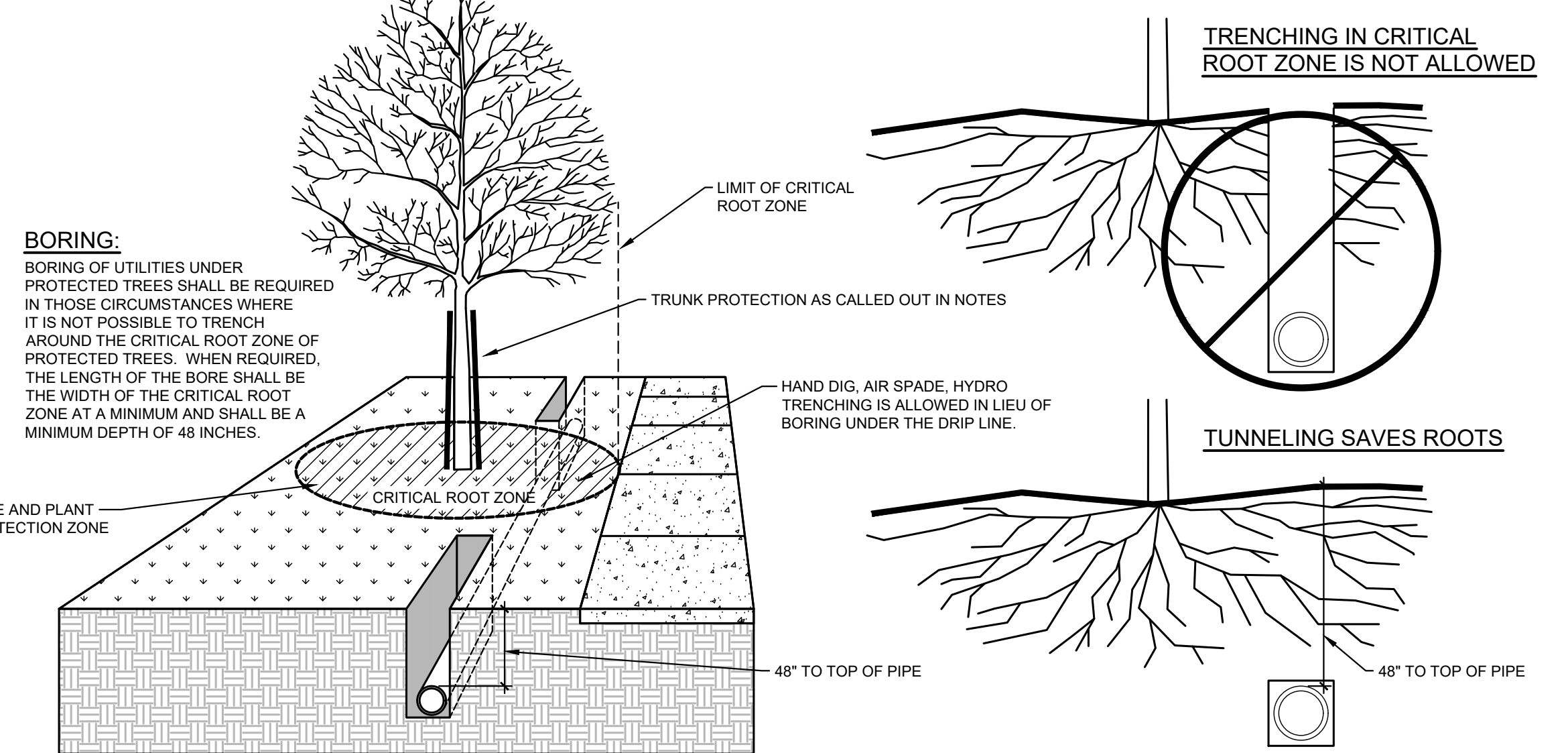
*THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY TREES TO REMAIN.

1. MATERIAL STORAGE: NO STORAGE OR PLACEMENT OF MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE. EQUIPMENT CLEANING LIQUID DISPOSAL, NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS, INCLUDING, WITHOUT LIMITATION, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR SIMILAR MATERIALS DEPOSITED OR ALLOWED TO FLOW INTO THE CRITICAL ROOT ZONE OF A PROTECTED TREE.
2. TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PROTECTED TREE.
3. VEHICULAR TRAFFIC: NO VEHICULAR AND/OR CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING SHALL TAKE PLACE WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE OTHER THAN ON EXISTING STREET PAVEMENT. THIS RESTRICTION DOES NOT APPLY TO SINGLE INCIDENT ACCESS WITHIN THE CRITICAL ROOT ZONE FOR PURPOSES OF ESTABLISHING THE BUILDING PAD AND ASSOCIATED LOT GRADING, VEHICULAR TRAFFIC NECESSARY FOR ROUTINE UTILITY MAINTENANCE, EMERGENCY RESTORATION OF UTILITY SERVICE, OR ROUTINE MOWING OPERATIONS.
4. GRADE CHANGES: PAVING WITHIN THE DRIP LINE SHALL BE APPROVED PRIOR TO CONSTRUCTION BY THE OWNER'S REPRESENTATIVE.
5. IMPERVIOUS PAVING: NO PAVING WITH ASPHALT, CONCRETE OR OTHER IMPERVIOUS MATERIAL SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE.
6. ROOT PRUNING: ALL ROOTS ONE INCHES OR LARGER IN DIAMETER WHICH ARE EXPOSED AS A RESULT OF TRENCHING OR OTHER EXCAVATION SHALL BE CUT OFF SQUARE WITH A SHARP MEDIUM TOOTH SAW AND COVERED WITH PRUNING COMPOUND WITHIN TWO HOURS OF INITIAL EXPOSURE.

TREE PROTECTION NOTES

- A. THE CONTRACTOR SHALL PROTECT THE TREE AND PLANT PROTECTION ZONE AT ALL TIMES FROM COMPACTION OF THE SOIL, DAMAGE OF ANY KIND TO TRUNKS, BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES WITH CONSTRUCTION MATERIALS, DEBRIS, SILT, FUELS, OILS, AND ANY CHEMICALS SUBSTANCE. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPILLS, COMPACTION OR DAMAGE AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.
- B. THE CONTRACTOR SHALL NOT ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TREE AND PLANT PROTECTION ZONE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE, INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT, STORING SUPPLIES OR MATERIALS, LOCATING TEMPORARY FACILITIES INCLUDING TRAILERS OR PORTABLE TOILETS AND SHALL NOT PERMIT EMPLOYEES TO TRAVERSE THE AREA TO ACCESS ADJACENT AREAS OF THE PROJECT OR USE THE AREA FOR LUNCH OR ANY OTHER WORK BREAKS. PERMITTED ACTIVITY, IF ANY, WITHIN THE TREE AND PLANT PROTECTION AREA MAY BE INDICATED ON THE DRAWINGS ALONG WITH ANY REQUIRED REMEDIAL ACTIVITY AS LISTED BELOW.
- C. TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF ROOTS SHALL BE IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES (ANSI A300, PART 6) AND BE PERFORMED UNDER SUPERVISION OF AN ARBORIST.
- D. TRUNK PROTECTION ONLY WHERE FENCE IS NOT CONSTRUCTIBLE. PROTECT THE TRUNK OF EACH TREE TO REMAIN BY COVERING IT WITH A RING OF 8 FOOT LONG 2 INCH X 6 - INCH PLANKS LOOSELY BANGED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE PLANKS AS NECESSARY TO HOLD THEM SECURELY IN PLACE THROUGHOUT THE CONSTRUCTION PERIOD. REMOVE TRUNK PROTECTION UPON SUBSTANTIAL COMPLETION.

TREE TRENCHING AND TUNNELING



TREE TRENCHING AND TUNNELING NOTES

- A. IN THE EVENT THAT CONSTRUCTION ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY, THE TIME PERIOD FOR THE ACTIVITY, AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. REMEDIAL ACTIONS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO THE FOLLOWING: IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL.
- B. WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN WOOD CHIPS AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER IN DIAMETER SHALL NOT BE CUT WITH OUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM. IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS POSSIBLE OVER EXPOSED ROOTS.

A4 TYPICAL TREE PROTECTION

1/2"=1'-0"

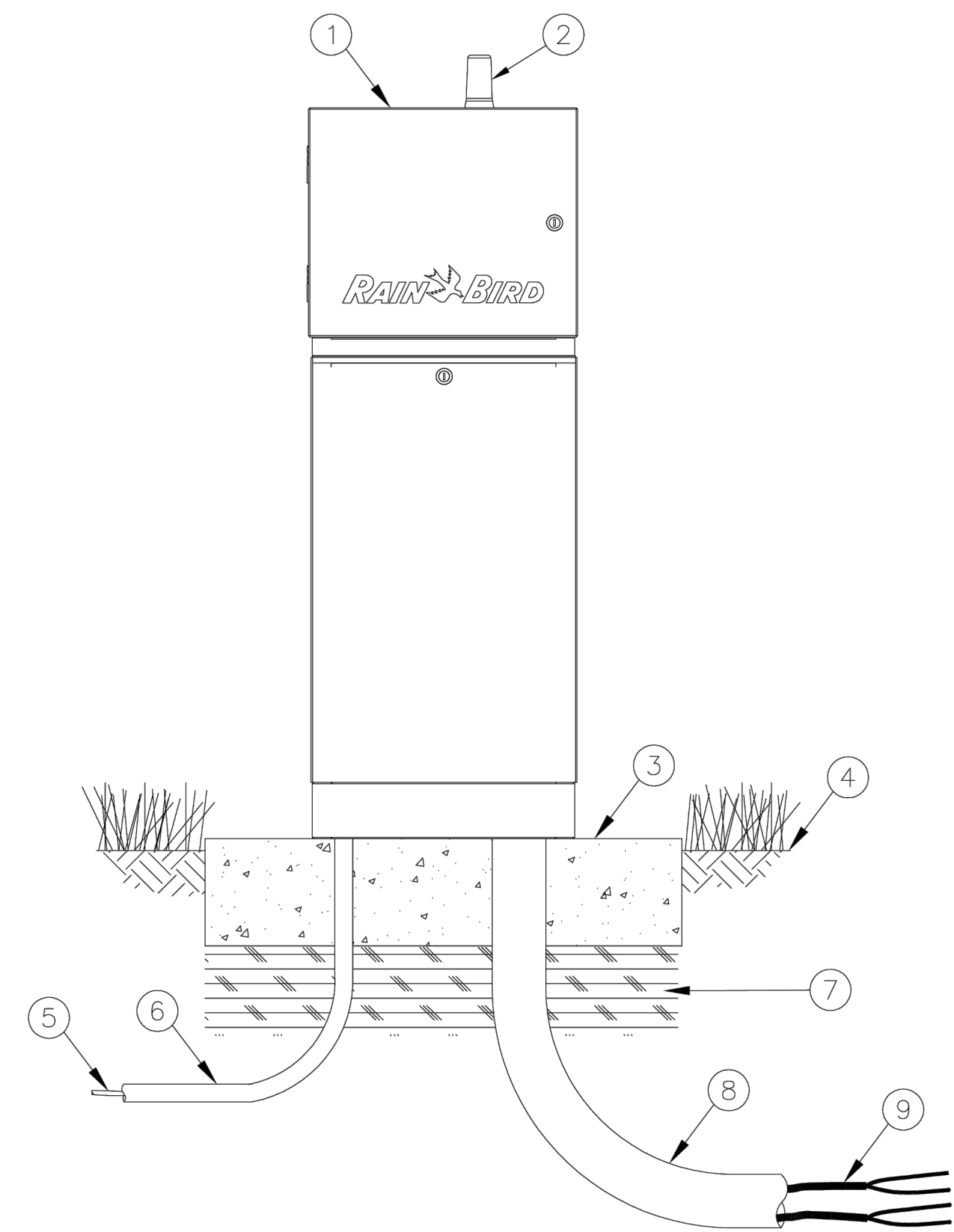
PLANT DET 6_REV

A:\2022\40108.22\03_DSG\01_DWG\060_LAND\03_SHEET\UTILITY PACKAGE\L-502-40108.DWG, 10/9/2023 2:07 PM, smoochy



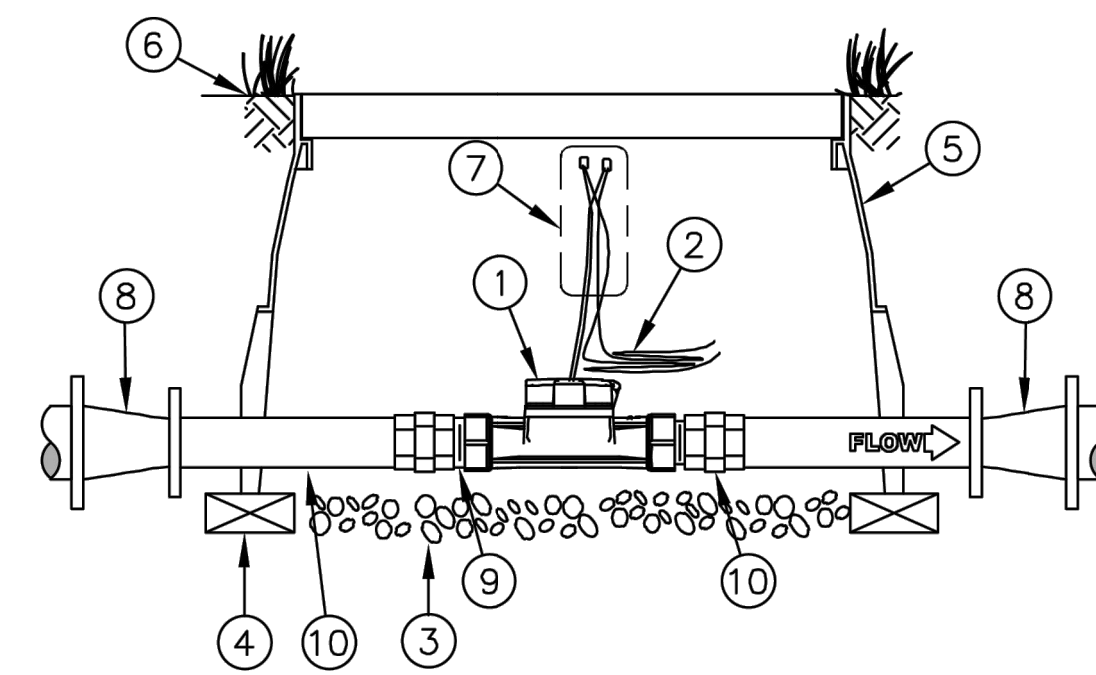
4	10/06/2023	Development Plan Re-Submittal
3	09/15/2023	Development Plan Re-Submittal
2	09/08/2023	Development Plan Re-Submittal
1	08/25/2023	Development Plan Submittal

DATE DESCRIPTION



- ① TWO-WIRE DECODER CONTROLLER: RAIN BIRD IQ ESP-LXD SATELLITE TWO-WIRE DECODER CONTROLLER WITH IQ NCC GPRS CARTRIDGE IN LXMM METAL CABINET AND LXMPED METAL PEDESTAL. INSTALL CONTROLLER, CABINET AND PEDESTAL PER MANUFACTURER'S RECOMMENDATIONS.
- ② CELLULAR ANTENNA: RAIN BIRD IQEXTANGP GPRS/CELLULAR EXTERNAL ANTENNA (FOR USE WITH LXMM METAL CABINET ONLY)
- ③ CONCRETE PAD: 6-INCH MINIMUM THICKNESS
- ④ FINISH GRADE
- ⑤ POWER SUPPLY WIRE
- ⑥ 1-INCH SCH 40 PVC CONDUIT, FITTINGS AND SWEEP ELL FOR POWER SUPPLY
- ⑦ COMPACTED SUBGRADE
- ⑧ 3-INCH SCH 40 PVC CONDUIT, FITTINGS AND SWEEP ELL FOR TWO WIRE CABLE
- ⑨ MAXICABLE TWO-WIRE PATH TO DECODERS USE A DIFFERENT CABLE JACKET COLOR FOR EACH PATH

NOTES:
1. IQ ESP-LXD CONTROLLER COMES WITH 50 STATIONS AVAILABLE. TWO ADDITIONAL 75 STATION ESPLXD-SUM75 MODULES MAY BE ADDED TO EXPAND THE CONTROLLER UP TO 200 TOTAL STATIONS.
2. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.
3. CONTRACTOR IS RESPONSIBLE FOR PROVIDING CELLULAR SERVICE CAPABLE OF INTERFACING WITH NCC GPRS CARTRIDGE. INSTALL CONTROLLER IN A LOCATION TO MAXIMIZE ANTENNA RECEPTION. CONDUCT A SURVEY OF THE SITE TO ASSURE A VIABLE AND CONSISTENT CELLULAR CONNECTION BEFORE INSTALLING CONTROLLER.

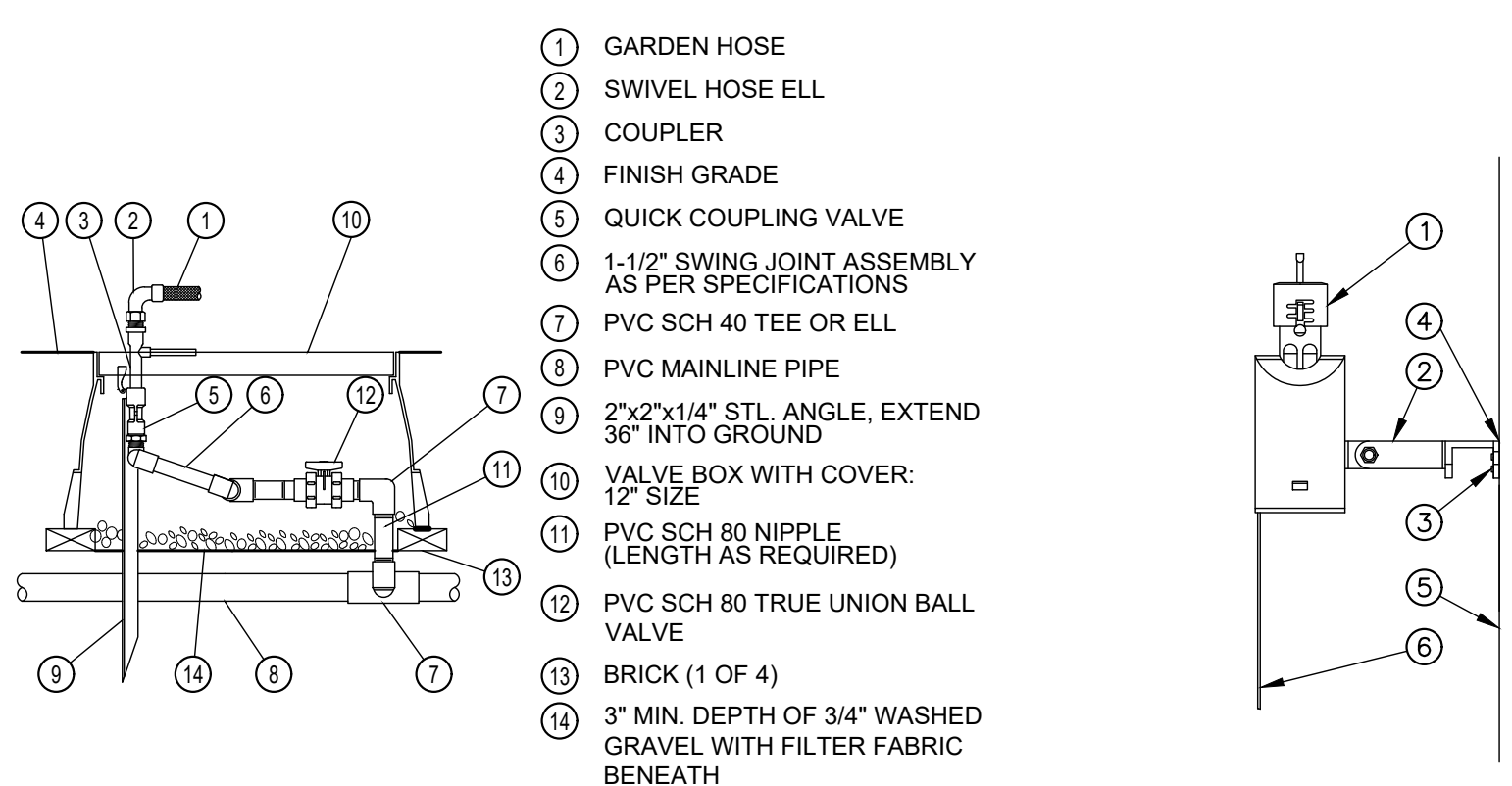


- ① RAIN BIRD UFS SERIES FLOW SENSOR
- ② 36" LENGTH OF COILED CONTROL WIRE
- ③ 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- ④ BRICK (1 OF 4)
- ⑤ STANDARD VALVE BOX WITH COVER
- ⑥ FINISH GRADE
- ⑦ SEE FLOW SENSOR WIRING DETAIL FOR WIRING DIAGRAM
- ⑧ CONCENTRIC REDUCER
- ⑨ PVC CLOSE NIPPLE (1 OF 2)
- ⑩ PVC UNION (1 OF 2)

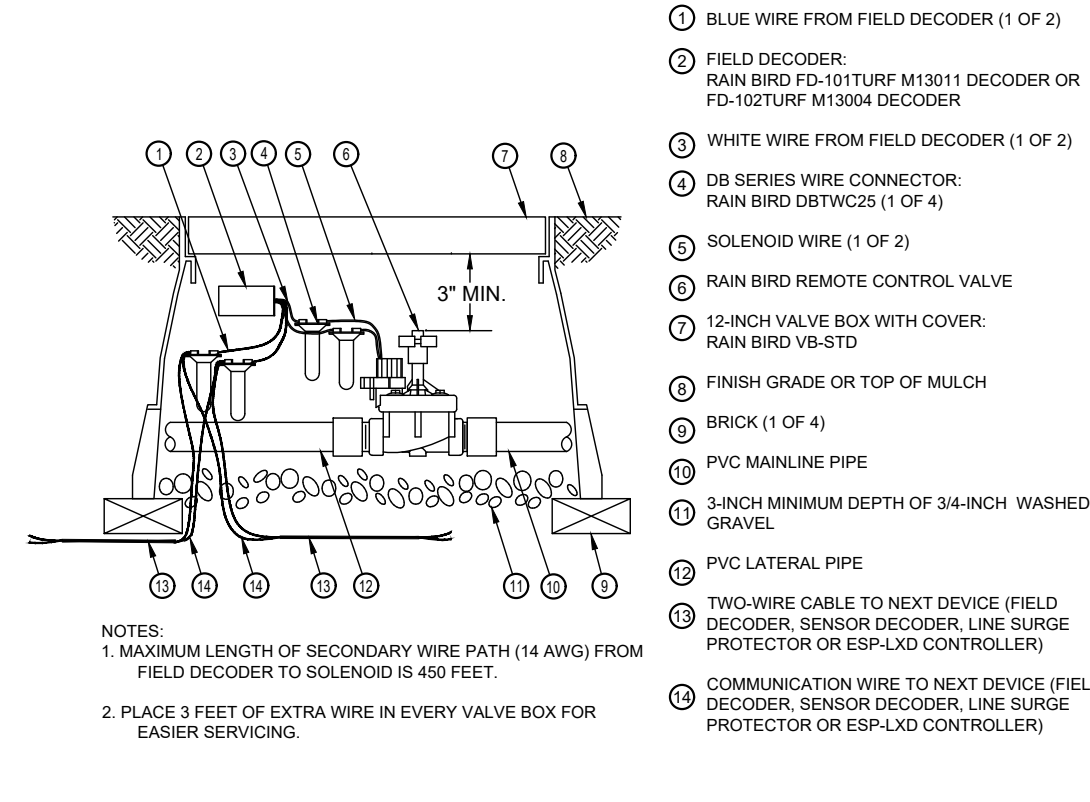
NOTES:
1. THE UFS CAN BE INSTALLED IN A VERTICAL POSITION WITH THE FLOW ARROW POINTING UPWARDS.
2. THE UFS SIZE MUST BE EQUAL TO OR SMALLER THAN THE INCOMING PIPE SIZE.
3. THE UFS DOES NOT REQUIRE STRAIGHT PIPE BEFORE OR AFTER SENSOR PLACEMENT.
4. NO BRICKS REQUIRED FOR RAIN BIRD VB-SERIES VALVE BOXES ONLY.

MODEL	SIZE	K	OFFSET	FLOW RANGE
UFS100	1"	0.25	0	0.3 - 50 GPM
UFS150	1.5"	1.70	-0.316	0.5 - 110 GPM
UFS200	2"	2.849	0.1439	1.0 - 200 GPM

C1 PEDESTAL CONTROLLER



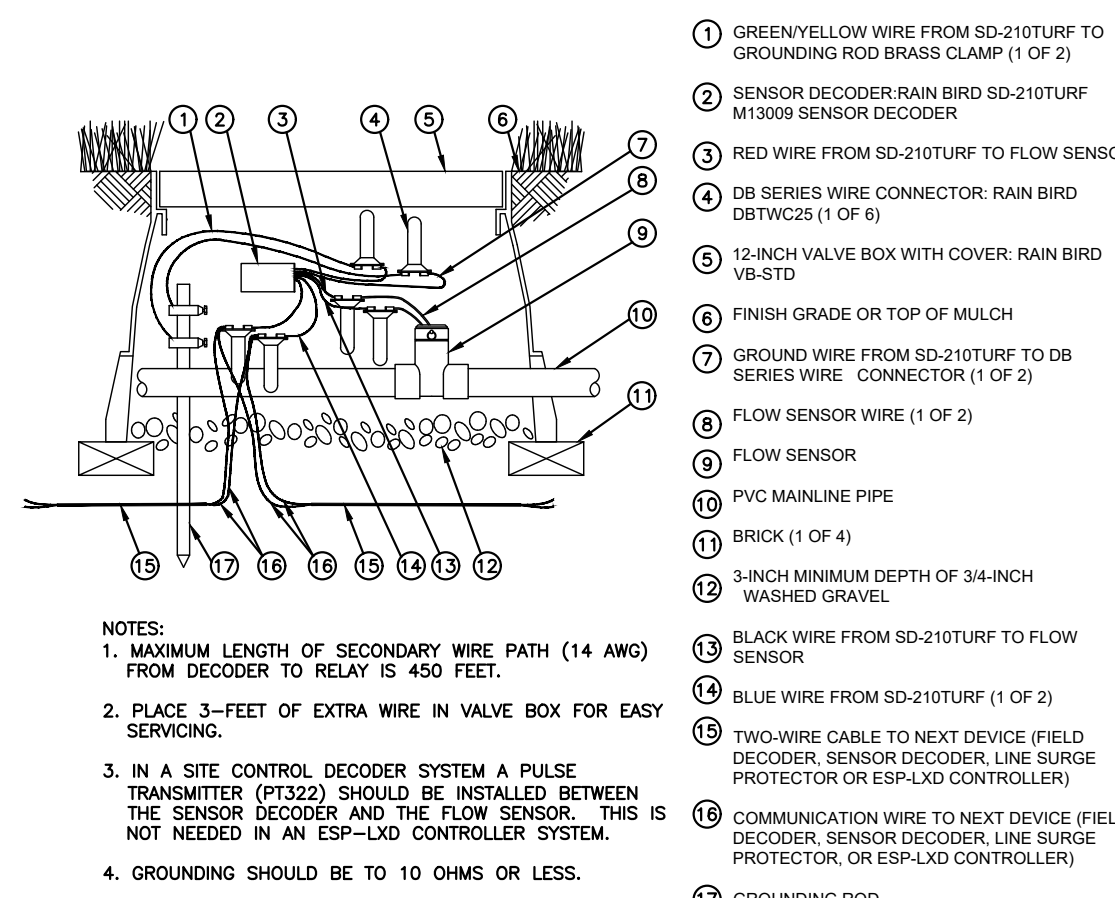
- ① PEDESTAL MOUNTED WIRELESS RAIN/FREEZE SENSOR. SEE PLAN FOR LOCATION
 - ② ADJUSTABLE MOUNTING BRACKET
 - ③ STAINLESS STEEL SCREWS FOR MOUNTING
 - ④ MOUNT TO PEDESTAL
 - ⑤ PEDESTAL
 - ⑥ ANTENNA
- NOTE:
MOUNT SENSOR VERTICALLY. AVOID PLACEMENT UNDER EYE OR TREE CANOPY. SEE PLAN FOR LOCATIONS



B3 VALVE DECODER

- ① BLUE WIRE FROM FIELD DECODER (1 OF 2)
 - ② FIELD DECODER: RAIN BIRD FD-10 TURF M301 DECODER OR FD-TURF M300 DECODER
 - ③ WHITE WIRE FROM FIELD DECODER (1 OF 2)
 - ④ DB SERIES WIRE CONNECTOR: RAIN BIRD DB-10 (1 OF 4)
 - ⑤ SOL ENCH WIRE (1 OF 2)
 - ⑥ RAIN BIRD REMOTE CONTROL VALVE
 - ⑦ 12-INCH VALVE BOX WITH COVER: RAIN BIRD VB-STD
 - ⑧ FINISH GRADE OR TOP OF MULCH
 - ⑨ BRICK (1 OF 4)
 - ⑩ PVC MAINLINE PIPE
 - ⑪ 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
 - ⑫ PVC LATERAL PIPE
 - ⑬ TWO-WIRE CABLE TO NEXT DEVICE (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR OR ESP-LXD CONTROLLER)
 - ⑭ COMMUNICATION WIRE TO NEXT DEVICE (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR OR ESP-LXD CONTROLLER)
 - ⑮ GROUNDING ROD
- NOTES:
1. MAXIMUM LENGTH OF SECONDARY WIRE PATH (14 AWG) FROM FIELD DECODER TO RELAY IS 450 FEET.
2. PLACE 3 FEET OF EXTRA WIRE IN EVERY VALVE BOX FOR EASIER SERVICING.

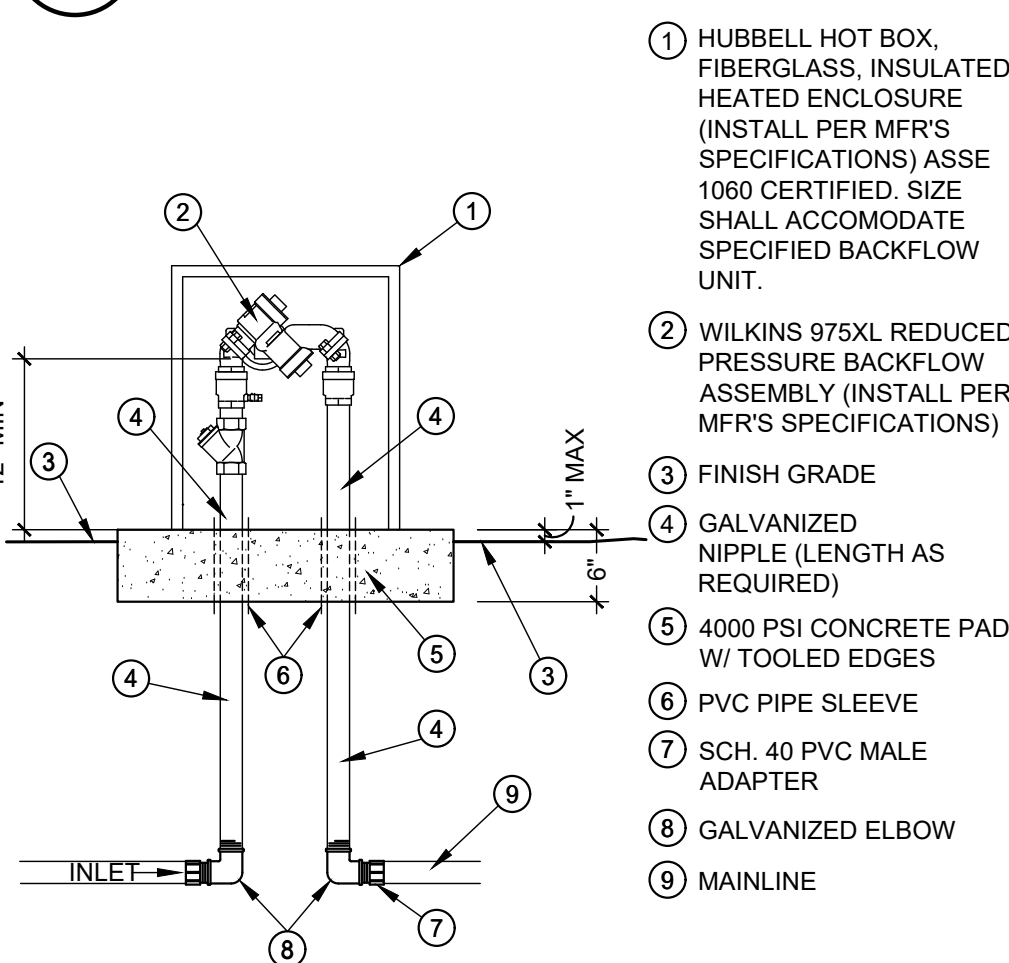
C4 FLOW SENSOR



B4 FLOW SENSOR DECODER

- ① GREEN/YELLOW WIRE FROM SD-210TURF TO GROUNDING ROD BRASS CLAMP (1 OF 2)
 - ② SENSOR DECODER: RAIN BIRD SD-210TURF M300 SENSOR DECODER
 - ③ RED WIRE FROM SD-210TURF TO FLOW SENSOR
 - ④ DB SERIES WIRE CONNECTOR: RAIN BIRD DB-TWC25 (1 OF 4)
 - ⑤ FINISH GRADE OR TOP OF MULCH
 - ⑥ GROUND WIRE FROM SD-210TURF TO DB SERIES WIRE CONNECTOR (1 OF 2)
 - ⑦ FLOW SENSOR WIRE (1 OF 2)
 - ⑧ FLOW SENSOR
 - ⑨ PVC MAINLINE PIPE
 - ⑩ BRICK (1 OF 4)
 - ⑪ 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
 - ⑫ BLACK WIRE FROM SD-210TURF TO FLOW SENSOR
 - ⑬ BLUE WIRE FROM SD-210TURF (1 OF 2)
 - ⑭ TWO-WIRE CABLE TO NEXT DEVICE (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR OR ESP-LXD CONTROLLER)
 - ⑮ COMMUNICATION WIRE TO NEXT DEVICE (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR OR ESP-LXD CONTROLLER)
 - ⑯ GROUNDING ROD
- NOTES:
1. MAXIMUM LENGTH OF SECONDARY WIRE PATH (14 AWG) FROM DECODER TO RELAY IS 450 FEET.
2. PLACE 3 FEET OF EXTRA WIRE IN VALVE BOX FOR EASY SERVICING.
3. IN A SITE CONTROL DECODER SYSTEM A PULSE TRANSMITTER (PT320) SHOULD BE INSTALLED BETWEEN THE SENSOR DECODER AND THE FLOW SENSOR. THIS IS NOT NEEDED IN AN ESP-LXD CONTROLLER SYSTEM.
4. GROUNDING SHOULD BE TO 10 OHMS OR LESS.

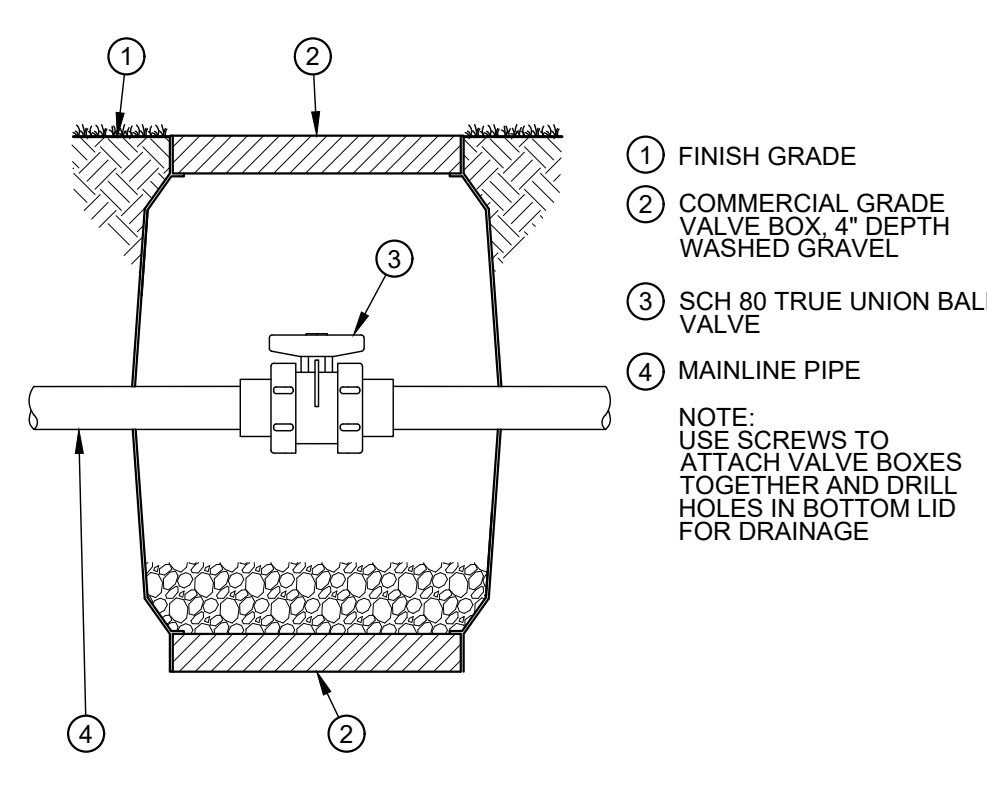
B1 QUICK COUPLER



A1 BACKFLOW

- ① HUBBELL HOT BOX, FIBERGLASS, INSULATED, HEATED ENCLOSURE (INSTALL PER MFR'S SPECIFICATIONS) ASSE 1060 CERTIFIED, SIZE SHALL ACCOMMODATE SPECIFIED BACKFLOW UNIT.
- ② WILKINS 975XL REDUCED PRESSURE BACKFLOW ASSEMBLY (INSTALL PER MFR'S SPECIFICATIONS)
- ③ FINISH GRADE
- ④ GALVANIZED NIPPLE LENGTH AS REQUIRED
- ⑤ 4000 PSI CONCRETE PAD W/ TOOLED EDGES
- ⑥ PVC PIPE SLEEVE
- ⑦ SCH. 40 PVC MALE ADAPTER
- ⑧ GALVANIZED ELBOW
- ⑨ MAINLINE

B2 RAIN / FREEZE SENSOR



A2 ISO VALVE

- ① FINISH GRADE
 - ② COMMERCIAL GRADE VALVE BOX, 4" DEPTH WASHED GRAVEL
 - ③ SCH 80 TRUE UNION BALL VALVE
 - ④ MAINLINE PIPE
- NOTE:
USE SCREWS TO ATTACH VALVE BOXES TOGETHER AND DRILL HOLES IN BOTTOM LID FOR DRAINAGE

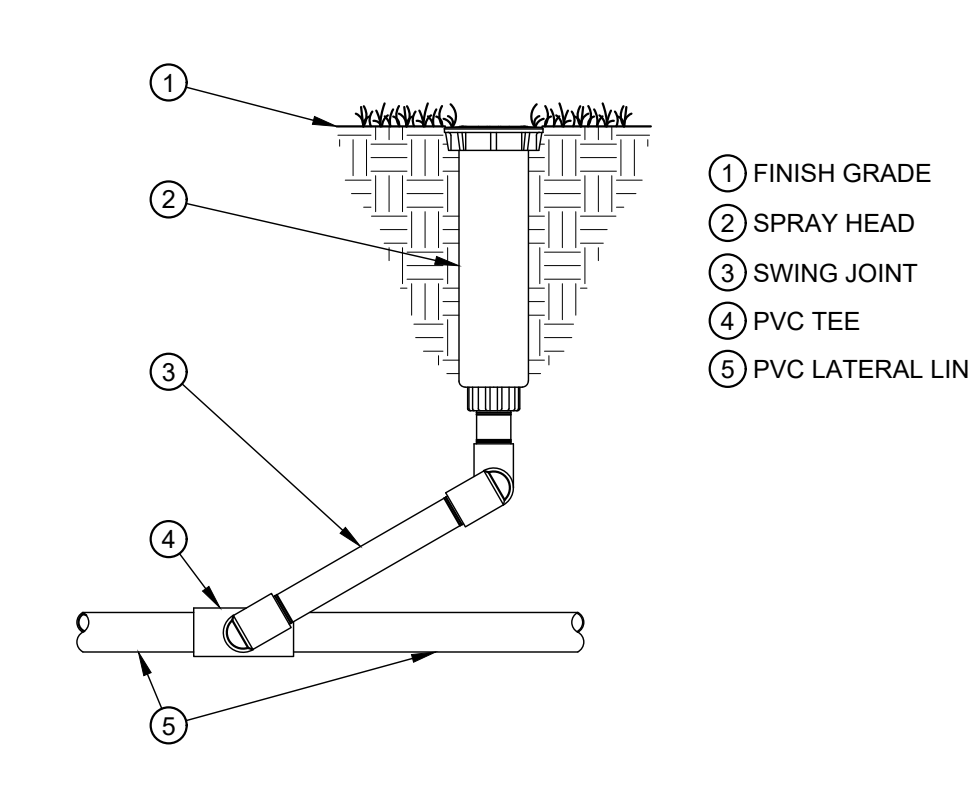
A3 MASTER VALVE

- ① REMOTE CONTROL VALVE
- ② INSTALL THREADED MALE ADAPTER WITH TEFLON TAPE, TYP
- ③ SOLENOID
- ④ MANUAL BLEED LEVER
- ⑤ 3/4 INCH GRAVEL SUPPORT
- ⑥ 12" RECTANGULAR VALVE BOX WITH EXTENSIONS AS NECESSARY TO EXTEND BELOW VALVE ASSEMBLY A MIN. OF 3", TYP
- ⑦ EXPANSION COIL AND 3M DBY WATERPROOF CONNECTOR
- ⑧ LANDSCAPE FABRIC
- ⑨ BRICK SUPPORT (1 OF 4)
- ⑩ SCH. 80 TRUE UNION BALL VALVE
- ⑪ PVC MAINLINE PIPE
- ⑫ PVC LATERAL PIPE

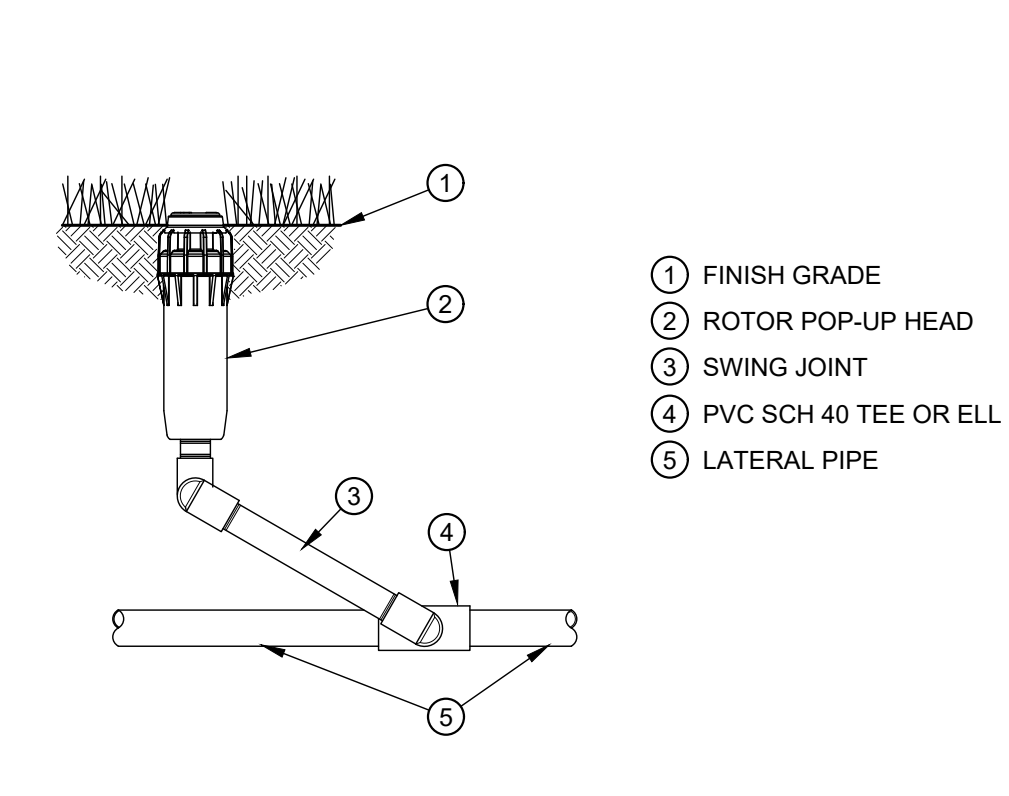
A4 ZONE VALVE

- ① 30-INCH LINEAR LENGTH OF WIRE, COILED
- ② WATER PROOF CONNECTION (1 OF 2)
- ③ ID TAG
- ④ REMOTE CONTROL VALVE
- ⑤ VALVE BOX WITH COVER
- ⑥ FINISH GRADE
- ⑦ PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- ⑧ BRICK (1 OF 4)
- ⑨ PVC MAINLINE PIPE
- ⑩ PVC SCH 40 TEE OR ELL
- ⑪ SCH 80 NIPPLE (2 INCH LENGTH, HIDDEN) AND SCH 40 ELL
- ⑫ PVC SCH 80 TRUE UNION BALL VALVE
- ⑬ PVC LATERAL PIPE
- ⑭ 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- ⑮ FILTER FABRIC FABRIC
- ⑯ PVC SCH 80 TRUE UNION

A5 POP-UP SPRAY HEAD



A6 ROTOR



- ① FINISH GRADE
- ② ROTOR POP-UP HEAD
- ③ SWING JOINT
- ④ PVC SCH 40 TEE OR ELL
- ⑤ LATERAL PIPE

ORDINANCE NO. 2023-O-____

AN ORDINANCE REZONING THE LAND DESCRIBED CITY, TARLETON, SCHOOL (CTS) TO PLANNED DEVELOPMENT (PD)

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF STEPHENVILLE, TEXAS, THAT:

All that lot, tract or parcel of land legally described as follows:

Being Block 156, Lot 7 (PT OF) of the S2600 City Addition to the City of Stephenville, Erath County, Texas, and identified as Parcel No. R64240, in the Erath County Appraisal District Records, located at 0 Wolfe Nursery Road

is hereby rezoned and the zoning classification changed from the classification of City, Tarleton, School (CTS) to Planned Development (PD), in accordance with the Zoning Ordinance of the City of Stephenville.

PASSED AND APPROVED this the 10th day of October 2023.

Doug Svien, Mayor

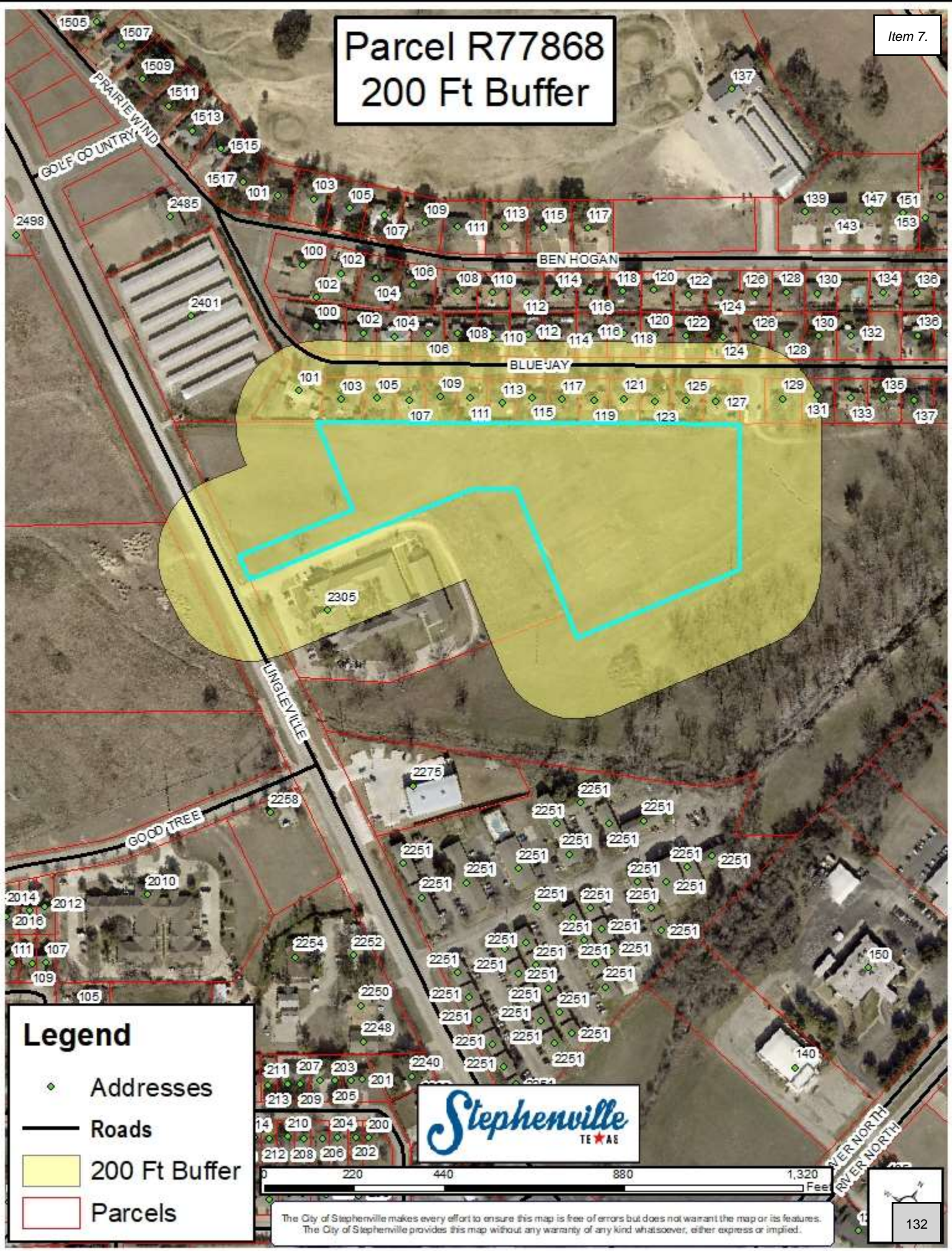
ATTEST:

Sarah Lockenour, City Secretary

Reviewed by Jason M. King,
City Manager

Randy Thomas, City Attorney
Approved as to form and legality

Parcel R77868 200 Ft Buffer



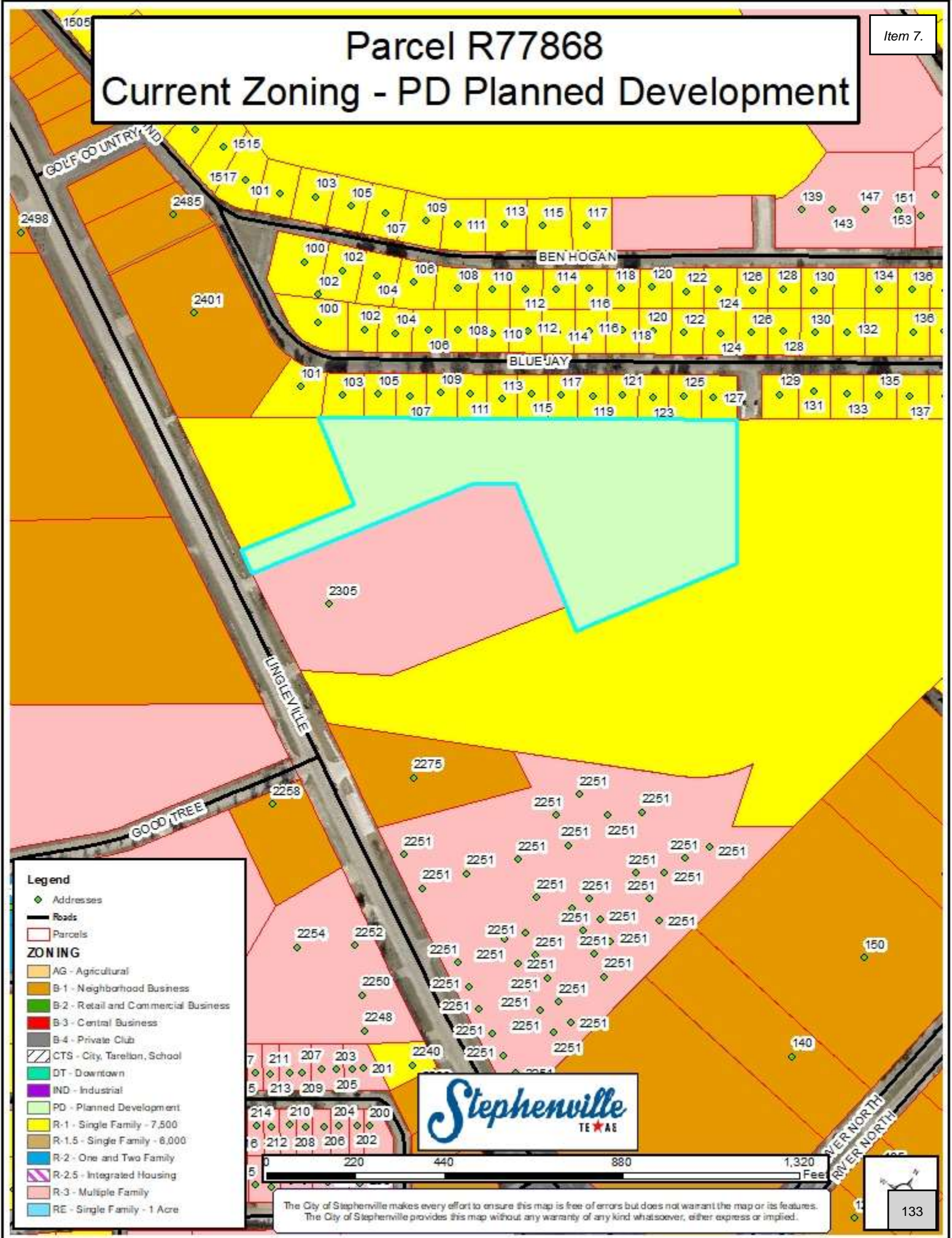
Legend

- ◆ Addresses
- Roads
- 200 Ft Buffer
- Parcels



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

Parcel R77868 Current Zoning - PD Planned Development



Legend

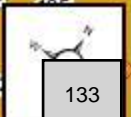
- ◆ Addresses
- Roads
- Parcels

ZONING

- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tarellan, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 8,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre

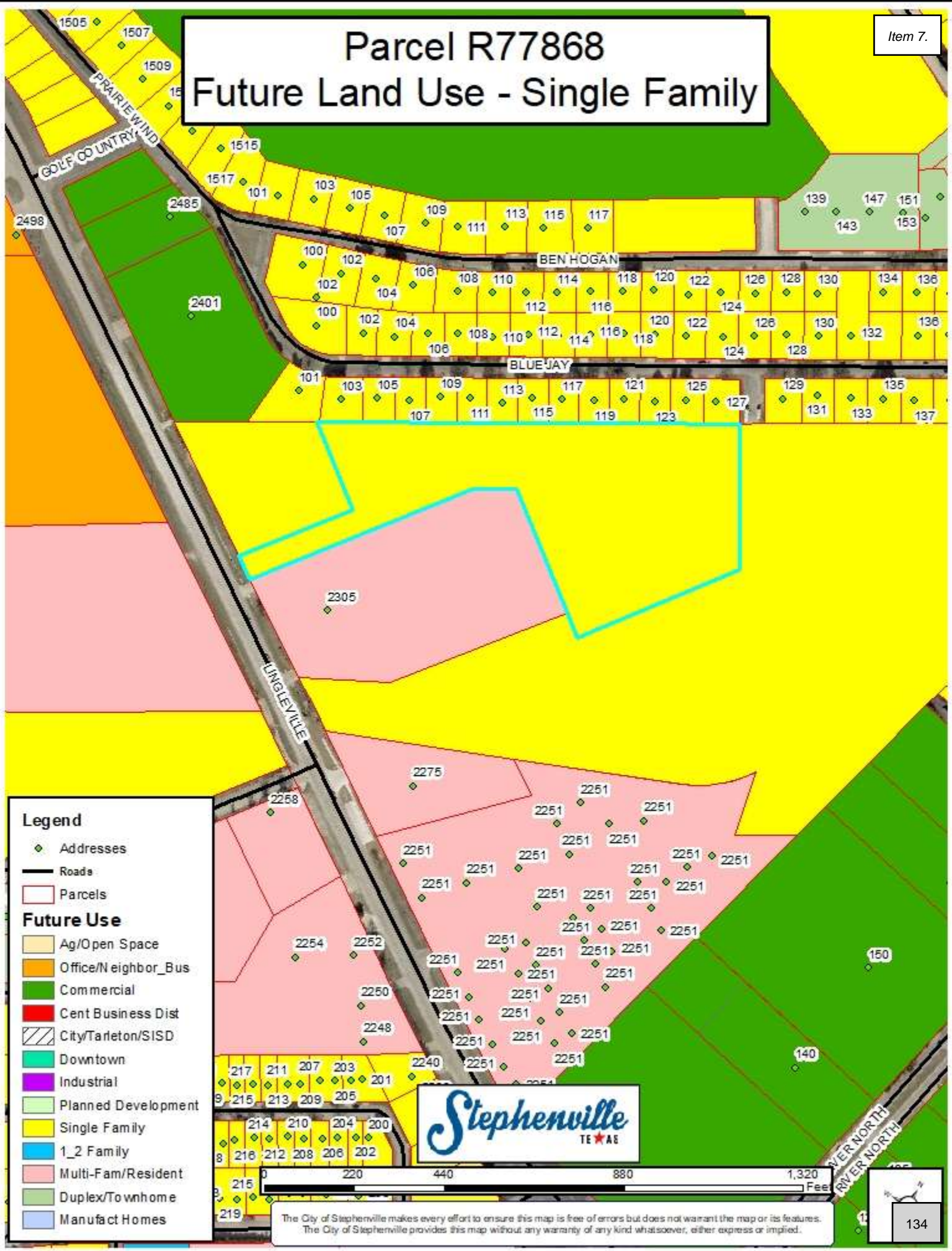


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Parcel R77868 Future Land Use - Single Family

Item 7.

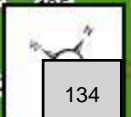


Legend

- ◆ Addresses
 - Roads
 - ▭ Parcels
- ### Future Use
- Ag/Open Space
 - Office/Neighbor_Bus
 - Commercial
 - Cent Business Dist
 - City/Tarleton/SISD
 - Downtown
 - Industrial
 - Planned Development
 - Single Family
 - 1_2 Family
 - Multi-Fam/Resident
 - Duplex/Townhome
 - Manufact Homes

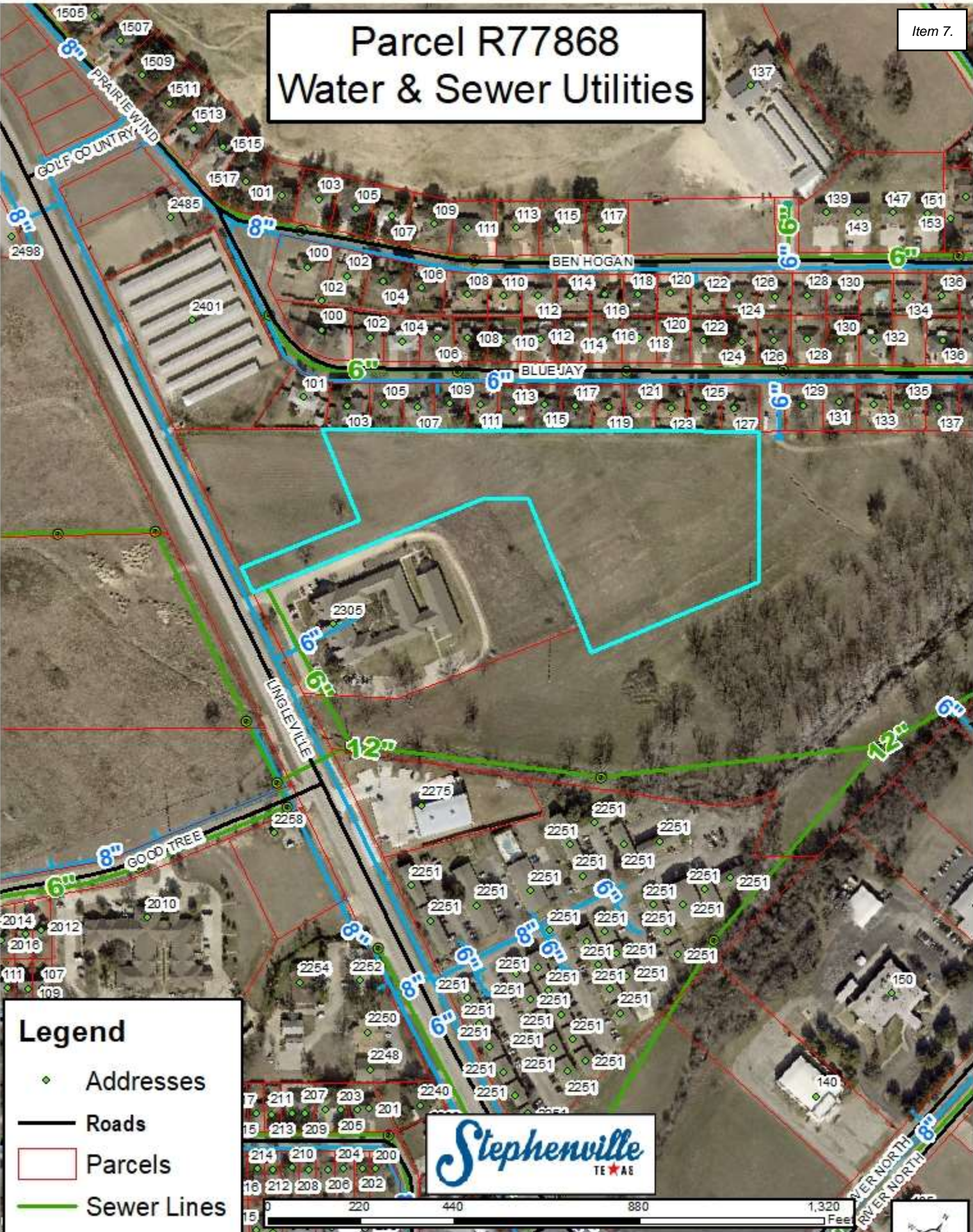


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Parcel R77868 Water & Sewer Utilities

Item 7.

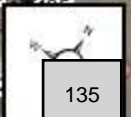


Legend

- ◆ Addresses
- Roads
- Parcels
- Sewer Lines
- Water Lines



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Parcel R77868 Address List

Item 7.

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000042841	117 BLUE JAY	ALLEN CALEB VAN & KRISTY RAE	117 BLUE JAY	STEPHENVILLE	TX	76401-5922
R000022557	0 W LINGLEVILLE RD	ALLEN REAL PROPERTIES LTD	PO BOX 953	STEPHENVILLE	TX	76401
R000031773	2401 W LINGLEVILLE RD	BACHUS JAMES O FAMILY TRUST	PO BOX 552	STEPHENVILLE	TX	76401-0552
R000042813	106 BLUE JAY	BOYLES PAMELA J	106 BLUE JAY	STEPHENVILLE	TX	76401
R000042835	101 BLUE JAY	BUCHER JAMES M & JANE E	101 BLUE JAY	STEPHENVILLE	TX	76401-5922
R000042819	118 BLUE JAY	CARLSON NORMAN E & BEVERLY A	118 BLUE JAY	STEPHENVILLE	TX	76401-0000
R000042824	128 BLUE JAY	CHESTER CAROLE S	128 BLUEJAY	STEPHENVILLE	TX	76401
R000042837	105 BLUE JAY	CORTA DOROTHY J & PETER J	105 BLUE JAY DR	STEPHENVILLE	TX	76401
R000022552	0 W LINGLEVILLE RD	COVENANT LEGACY LP	2915 W WASHINGTON	STEPHENVILLE	TX	76401
R000022552	0 W LINGLEVILLE RD	COVENANT LEGACY LP	2915 W WASHINGTON	STEPHENVILLE	TX	76401
R000042811	102 BLUE JAY	DAVIDSON DEL & JULIE	102 BLUE JAY	STEPHENVILLE	TX	76401
R000042822	124 BLUE JAY	DICKERSON SHERRY	124 BLUE JAY	STEPHENVILLE	TX	76401
R000042814	108 BLUE JAY	DREW VALERIE J	109 GREENVIEW DR	STEPHENVILLE	TX	76401
R000042847	129 BLUE JAY	EMMONS JOSH & ASHTON	129 BLUE JAY	STEPHENVILLE	TX	76401
R000042845	125 BLUE JAY	EVANS DONALD R LIVING TRUST	PO BOX 372	BLUFF DALE	TX	76433
R000063739	2305 W LINGLEVILLE RD	FRONTIER EXCHANGE LANDLORD GROUP LLC	4500 DORR ST	TOLEDO	OH	43615
R000042836	103 BLUE JAY	GRIMMER AARON & NIKOLE	103 BLUE JAY	STEPHENVILLE	TX	76401
R000042821	122 BLUE JAY	HENDRICKS KATHRYN J	122 BLUE JAY	STEPHENVILLE	TX	76401
R000042817	114 BLUE JAY	HILL CHARLES A & SANDRA K	114 BLUE JAY	STEPHENVILLE	TX	76401
R000042842	119 BLUE JAY	HIVELY CHRISTOPHER J & KIMBERLEE M HIVELY	12454 DAPPLE DR	RANCHO CUCAMONGA	CA	91739
R000042812	104 BLUE JAY	HODGES BILLY BOB & DONNA & HOLLY HODGES	18402 SHALLOW OAK CT	TOMBALL	TX	77377
R000042816	112 BLUE JAY	HODGES TERRY GLEN & REBECCA	112 BLUE JAY	STEPHENVILLE	TX	76401-0000
R000041981	107 BLUE JAY	HOLLOWAY LIVING TRUST	107 BLUE JAY ST	STEPHENVILLE	TX	76401
R000041982	109 BLUE JAY	HOWARD NETA FAYE (LIFE ESTATE)	109 BLUE JAY	STEPHENVILLE	TX	76401
R000022664	0 W LINGLEVILLE RD	IP KAM WOON	PO BOX 192	STEPHENVILLE	TX	76401-0000
R000042840	115 BLUE JAY	JAMES CAVIN & STACEY SHARON NOLAND (JAMES)	115 BLUE JAY	STEPHENVILLE	TX	76401
R000041983	111 BLUE JAY	KAISER MARK A & KIMBERLY	111 BLUE JAY DR	STEPHENVILLE	TX	76401-0000
R000041978	100 BLUE JAY	KOPLIN JEFFREY & LESLI KOPLIN	PO BOX 993	STEPHENVILLE	TX	76401
R000042838	113 BLUE JAY	MOSES COREY & KATHRYN	113 BLUE JAY	STEPHENVILLE	TX	76401
R000042844	123 BLUE JAY	PLANNERS EQUITY LP	181 S GRAHAM	STEPHENVILLE	TX	76401
R000042823	126 BLUE JAY	PORTER KELVIN B & KIMBERLY K ILEY	126 BLUE JAY	STEPHENVILLE	TX	76401
R000077868	0 W LINGLEVILLE RD	RETIREMENT LIVING FOR SENIORS LTD	PO BOX 3189	BRYAN	TX	77805
R000042818	116 BLUE JAY	SMITH RANDY & KELLY	116 BLUE JAY	STEPHENVILLE	TX	76401-0000
R000042843	121 BLUE JAY	STEPHENVILLE RENTALS LLC	181 S GRAHAM	STEPHENVILLE	TX	76401
R000042846	127 BLUE JAY	TRAINHAM SUSAN	PO BOX 139	LINGLEVILLE	TX	76461
R000042815	110 BLUE JAY	TROTTER MABEL L	126 BEN HOGAN DR	STEPHENVILLE	TX	76401-5915

STAFF REPORT

SUBJECT: Case No.: SV2023-001

Applicant Emanuel Glockzin, representing Retirement Living for Seniors, is requesting a Subdivision Waiver from Section 155.6.11 – Sidewalk Requirements, to be constructed at W Lingleville Rd, Parcel R77868, being Acres 7.664, A0520 Menefee Jarrett of the City of Stephenville, Erath County, Texas.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

RECOMMENDATION:

The Planning and Zoning Commission convened on September 20, 2023, and by a vote of 6/1, recommended the City Council deny the waiver request.

BACKGROUND:



SUBDIVISION ORDINANCE/SIDEWALKS

Sec. 155.6.11. - Sidewalks.

- A. *Sidewalks and Pedestrian ways are required as a part of Subdivision Plat approval to help the City achieve the following:*
1. Promote the mobility, health, safety, and welfare of residents, property owners, and visitors to the City and to implement objectives and strategies of the Comprehensive Plan,
 2. Improve the safety of walking by providing separation from motorized transportation and improving travel surfaces for pedestrians,
 3. Improve public welfare by providing an alternate means of access to transportation and social interaction, especially for children, other citizens without personal vehicles, or those with disabilities, and
 4. Facilitate walking as a means of physical activity recognized as an important provider of health benefits.
- B. *Sidewalk Location and Design.*

1. Sidewalks shall be constructed for both sides of all streets within the Subdivision.
2. Sidewalks shall be constructed along all lots adjoining dedicated streets, along Major Arterial/Thoroughfare Streets where lots do not adjoin the street, across power line easements and in other areas where pedestrian walkways are necessary.
3. Routing to clear poles, trees or other obstacles shall be subject to City Administrator approval.
4. The Plat or Construction Plans shall show the location of all proposed sidewalks and shall state at what stage of the project they will be constructed.
5. All sidewalks shall conform to Federal Americans with Disabilities Act (ADA) requirements and barrier-free ramps should be provided for access to the street.

C. *Sidewalk General Construction.*

1. Sidewalks shall be constructed by Class "A" concrete and shall have a width of not less than five (5) feet and a minimum thickness of four (4) inches.
2. Sidewalks along Major Arterial/Thoroughfare Streets shall be no less than six feet (6') in width.
3. Sidewalks adjacent to screening and retaining walls shall be five (5) feet in width and shall abut the wall, eliminating the landscape area found along the wall, thereby reducing maintenance.
4. Sidewalks shall be constructed one foot (1') from the property line within the street or Major Arterial/Thoroughfare Street Right-of-Way and shall extend along the full street frontage including both sides of corner lots and block ends.
5. Construction of sidewalks adjacent to curbs will be considered where driveway entrances are constructed from the rear of lots on each side of the street for the full length of the block or where mountable curbs are installed. In these instances, the sidewalks shall be a minimum of five feet (6') wide.
6. Sidewalk construction may be delayed until development of lots, but in locations not adjacent to lots and across bridges and culverts, the sidewalk shall be constructed with the other improvements to the Subdivision.

- D. *Sidewalks in Nonresidential Areas.* Sidewalks in nonresidential areas shall be a minimum width of five feet (6') or extend from the back of the curb to the building line as required by the City.

SUBDIVISION ORDINANCE/WAIVER REQUESTS

Sec. 155.7.01. - Petition for subdivision waiver.

- A. *Purpose.* The purpose of a petition for a Subdivision Waiver to a particular standard or requirement with these Subdivision Regulations, as such are applicable to Plats or Construction Plans, is to determine whether such particular standard or requirement should be applied to an Application.
- B. *Definitions.* Subdivision Waivers shall be classified as a Minor Subdivision Waiver or Major Subdivision Waiver.
- C. *Decision-Maker.*
 1. *Minor Subdivision Waiver.*
 - a. *Decision-Maker Authority.*
 - i. The City Administrator shall act upon a Minor Subdivision Waiver listed in Table 8.
 - b. *Appeal of a Minor Subdivision Waiver Decision.*
 - i. *Appeal Review and Recommendation.* An appeal of the Minor Subdivision Waiver decision may be considered by the Commission.
 - ii. *Appeal Decision.* If further appeal is made, the City Council shall then act on such an appeal. (See 7.01.J Minor Subdivision Waiver Appeal)

Table 8: Minor Subdivision Waiver		
Section	Standard	City Administrator
3.01.B	Waiver of Application Information	Approve
6.06.N	Dead-End Alleys	Approve
6.10.D	Right Angles for Side Lot Lines	Approve
6.05.D	Traffic Impact Analysis	Approve
6.13.A.5	Water Lines Extended to Subdivision Borders	Approve
6.14.A.5	Wastewater Lines Extended to Subdivision Borders	Approve

2. *Major Subdivision Waiver.*

- a. *Decision Maker Authority.* After review and recommendation from the Commission, the City Council shall decide a Major Subdivision Waiver.

D. *Subdivision Waiver Applicability.*

1. *Waiver of Standard or Requirement.*

- a. An Applicant may request a Subdivision Waiver of a particular standard or requirement applicable to a Preliminary Plat, to Construction Plans, or where no Preliminary Plat Application has been submitted for approval, to a Final Plat or a Replat.
- b. A Subdivision Waiver petition shall be specific in nature, and shall only involve relief consideration for one particular standard or requirement.
- c. An Applicant may, if desired, submit more than one Subdivision Waiver petition if there are several standards or requirements at issue.
- d. For processing a Subdivision Waiver in relationship with a Plat Application, an Applicant shall submit a Waiver of Right to 30-Day Action in accordance with 3.03.D Waiver of Right to 30-Day Action.

2. *Waiver Petition Acceptance.*

- a. A petition for a Subdivision Waiver shall not be accepted in lieu of:
- i. A Subdivision Proportionality Appeal (7.02); or
 - ii. A Subdivision Vested Rights Petition (7.03).
- b. If there is a question as to whether a Subdivision Proportionality Appeal or Subdivision Vested Rights Petition is required instead of a Subdivision Waiver petition, such determination shall be made by the City Administrator.

E. *Subdivision Waiver Submission Procedures.*

1. *Written Waiver Request with Application.*

- a. A request for a Subdivision Waiver shall be submitted in writing by the Applicant with the filing of a Preliminary Plat, Construction Plans, Final Plat or Replat, as applicable.
- b. No Subdivision Waiver may be considered or granted unless the Applicant has made such written request.

2. *Grounds for Waiver.*

- a. The Applicant's request shall state the grounds for the Subdivision Waiver request and all of the facts relied upon by the Applicant.
- b. Failure to do so, will result in denial of the Application unless the Applicant submits a Waiver of Right to 30-Day Action in accordance with 3.03.D Waiver of Right to 30-Day Action.

F. *Subdivision Waiver Criteria.*

1. *Undue Hardship Present.* A Subdivision Waiver to regulations within this Subdivision Ordinance may be approved only when, in the Decision-Maker's opinion, undue hardship will result from strict compliance to the regulations.
2. *Consideration Factors.* The Decision-Maker shall take into account the following factors:
 - a. The nature of the proposed land use involved and existing uses of the land in the vicinity;
 - b. The number of persons who will reside or work in the proposed development; and
 - c. The effect such Subdivision Waiver might have upon traffic conditions and upon the public health, safety, convenience and welfare in the vicinity.
3. *Findings.* No Subdivision Waiver shall be granted unless the Decision-Maker finds:
 - a. That there are special circumstances or conditions affecting the land involved or other constraints such that the strict application of the provisions of this Subdivision Ordinance would deprive the Applicant of the reasonable use of his or her land; and
 - b. That the Subdivision Waiver is necessary for the preservation and enjoyment of a substantial property right of the Applicant, and that the granting of the Subdivision Waiver will not be detrimental to the public health, safety or welfare or injurious to other property in the area; and
 - c. That the granting of the Subdivision Waiver will not have the effect of preventing the orderly subdivision of other lands in the area in accordance with the provisions of this Subdivision Ordinance.
4. *Intent of Subdivision Regulations.*
 - a. A Subdivision Waiver may be granted only when in harmony with the general purpose and intent of the Subdivision Ordinance so that the public health, safety and welfare may be secured and substantial justice done.
 - b. Financial hardship to the Applicant shall not be deemed to constitute undue hardship.
5. *Minimum Degree of Variation.* No Subdivision Waiver shall be granted unless it represents the minimum degree of variation of requirements necessary to meet the needs of the Applicant.
6. *Violations and Conflicts.* The Decision-Maker shall not authorize a Subdivision Waiver that would constitute a violation of, or conflict with, any other valid ordinance, code, regulation, master plan or Comprehensive Plan of the City.
7. *Falsification of Information.*
 - a. Any falsification of information by the Applicant shall be cause for the Subdivision Waiver request to be denied.
 - b. If the Subdivision Waiver request is approved based upon false information, whether intentional or not, discovery of such false information shall nullify prior approval of the Subdivision Waiver, and shall be grounds for reconsideration of the Subdivision Waiver request.

G. *Burden of Proof.* The Applicant bears the burden of proof to demonstrate that the requirement for which a Subdivision Waiver is requested, if uniformly applied, imposes an undue hardship or disproportionate burden on the Applicant. The Applicant shall submit the burden of proof with the original submittal.

H. *Subdivision Waiver Decision.*

1. The Decision-Maker shall consider the Subdivision Waiver petition and, based upon the criteria set forth in 7.01.F Subdivision Waiver Criteria, shall take one of the following actions:
 - a. Deny the petition, and impose the standard or requirement as it is stated in this Subdivision Ordinance; or

- b. Grant the petition, and waive in whole or in part the standard or requirement as it is stated in this Subdivision Ordinance.
2. Decision Process for a Minor Subdivision Waiver. The Decision-Maker shall deny or grant a request for a Minor Subdivision Waiver concurrently with the decision of a Preliminary Plat, Construction Plans, Final Plat or Replat, as applicable.
 3. Decision Process for a Major Subdivision Waiver.
 - a. Recommendation of the Planning and Zoning Commission.
 - i. The Commission shall consider the Major Subdivision Waiver request at a public meeting no later than thirty (30) calendar days after the date on which the notice of Major Subdivision Waiver is submitted to the City Administrator.
 - ii. The Commission shall recommend to the City Council to approve or deny a request for a Major Subdivision Waiver by majority vote.
 - b. Decision by City Council.
 - i. After the recommendation from the Commission has been made, the City Council shall consider the Major Subdivision Waiver request at a public meeting no later than thirty (30) calendar days after the date on which the Commission's recommendation was made.
 - ii. The City Council may or shall approve or deny a request for a Major Subdivision Waiver by a vote of all members.
 - iii. The decision of the City Council is final.
 - I. *Notification of Decision on Petition—14 Days.* The Applicant shall be notified of the decision on the Subdivision Waiver by the applicable Decision-Maker (e.g., the City Administrator, Commission or City Council, as applicable), within fourteen (14) calendar days following the decision.
 - J. *Minor Subdivision Waiver Appeal.*
 1. *Initiation of an Appeal.*
 - a. The Applicant may appeal a Minor Subdivision Waiver decision of the City Administrator, as allowed within the Subdivision Ordinance.
 - b. The written request to appeal shall be submitted to the City Administrator within thirty (30) calendar days following the denial decision.
 2. *Recommendation of the Planning and Zoning Commission.*
 - a. The Commission shall consider the appeal at a public meeting no later than thirty (30) calendar days after the date on which the notice of appeal is submitted to the City Administrator.
 - b. At this meeting, new information may be presented and considered, if available, that might alter the previous decision to deny the Minor Subdivision Waiver.
 - c. The Commission shall recommend to the City Council to affirm, modify or reverse the previous decision by simple majority vote.
 3. *Appeal to City Council.*
 - a. The Applicant may appeal the Commission's decision by submitting a written notice of appeal to the City Administrator within thirty (30) calendar days following the Commission's decision.
 - b. After the recommendation from the Commission has been made, the City Council shall consider the appeal at a public meeting no later than thirty (30) calendar days after the date on which the Commission's recommendation was made.
 - c. The City Council may affirm, modify or reverse the decision by simple majority vote.
 - d. The decision of the City Council is final.
 - K. *Effect of Approval.*
 1. *Submission and Processing.* Following the granting of a Subdivision Waiver, the Applicant may submit or continue the processing of a Plat or Construction Plans, as applicable.

2. *Expirations.* The Subdivision Waiver granted shall remain in effect for the period the Plat or Construction Plans are in effect, and shall expire upon expiration of either or both of those Applications.
3. *Extensions.* Extension of those Applications shall also result in extension of the Subdivision Waiver.

FACTORS TO CONSIDER:

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel - is land large enough and in proper location for proposed use?
- Reasonable Use of Property - does proposed change provide reasonable use of property?

ALTERNATIVES

- 1) Overrule the recommendation of the Planning and Zoning Commission and approve the waiver request.
- 2) Accept the recommendation of the Planning and Zoning Commission and deny the waiver request.

STAFF REPORT

SUBJECT: Case No.: SV2023-002

Applicant Emanuel Glockzin, representing Retirement Living for Seniors, is requesting a Subdivision Waiver from Section 155.6.04(M) – Curb & Gutter Requirements, to be constructed at W Lingleville Rd, Parcel R77868, being Acres 7.664, A0520 Menefee Jarrett of the City of Stephenville, Erath County, Texas.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

RECOMMENDATION:

The Planning and Zoning Commission convened on September 20, 2023, and by a unanimous vote of 7/0, recommended the City Council approve the waiver request.

BACKGROUND:



SUBDIVISION ORDINANCE/CURBS

M. *Curb and Gutter Options.*

1. A six (6) inch standard curb shall be constructed on both sides of all streets except as allowed in 2 and 3 below.
2. On residential local streets and any subdivision where all lots are one (1) acre or large, a "lay down" or "roll down" curb shall be permitted if designed in accordance with Engineering Standards Manual.
3. On subdivision where all lots are one acre or larger, a "ribbon curb" shall be permitted if designed in Engineering Standards Manual.

SUBDIVISION ORDINANCE/WAIVER REQUESTS

Sec. 155.7.01. - Petition for subdivision waiver.

- A. *Purpose.* The purpose of a petition for a Subdivision Waiver to a particular standard or requirement with these Subdivision Regulations, as such are applicable to Plats or Construction Plans, is to determine whether such particular standard or requirement should be applied to an Application.
- B. *Definitions.* Subdivision Waivers shall be classified as a Minor Subdivision Waiver or Major Subdivision Waiver.
- C. *Decision-Maker.*
 - 1. *Minor Subdivision Waiver.*
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 - i. The City Administrator shall act upon a Minor Subdivision Waiver listed in Table 8.
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 - i. *Appeal Review and Recommendation.* An appeal of the Minor Subdivision Waiver decision may be considered by the Commission.
 - ii. *Appeal Decision.* If further appeal is made, the City Council shall then act on such an appeal. (See 7.01.J Minor Subdivision Waiver Appeal)

Table 8: Minor Subdivision Waiver		
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6.05.D	Traffic Impact Analysis	Approve
6.13.A.5	Water Lines Extended to Subdivision Borders	Approve
6.14.A.5	Wastewater Lines Extended to Subdivision Borders	Approve

- 2. *Major Subdivision Waiver.*
 - a. *Decision Maker Authority.* After review and recommendation from the Commission, the City Council shall decide a Major Subdivision Waiver.
- D. *Subdivision Waiver Applicability.*
 - 1. *Waiver of Standard or Requirement.*
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- a. A petition for a Subdivision Waiver shall not be accepted in lieu of:
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E. *Subdivision Waiver Submission Procedures.*

1. *Written Waiver Request with Application.*

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2. *Grounds for Waiver.*

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F. *Subdivision Waiver Criteria.*

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 - c. That the granting of the Subdivision Waiver will not have the effect of preventing the orderly subdivision of other lands in the area in accordance with the provisions of this Subdivision Ordinance.
- 4. *Intent of Subdivision Regulations.*
 - a. A Subdivision Waiver may be granted only when in harmony with the general purpose and intent of the Subdivision Ordinance so that the public health, safety and welfare may be secured and substantial justice done.
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- 6. *Violations and Conflicts.* The Decision-Maker shall not authorize a Subdivision Waiver that would constitute a violation of, or conflict with, any other valid ordinance, code, regulation, master plan or Comprehensive Plan of the City.

7. *Falsification of Information.*

- a. Any falsification of information by the Applicant shall be cause for the Subdivision Waiver request to be denied.
- b. If the Subdivision Waiver request is approved based upon false information, whether intentional or not, discovery of such false information shall nullify prior approval of the Subdivision Waiver, and shall be grounds for reconsideration of the Subdivision Waiver request.

G. *Burden of Proof.* The Applicant bears the burden of proof to demonstrate that the requirement for which a Subdivision Waiver is requested, if uniformly applied, imposes an undue hardship or disproportionate burden on the Applicant. The Applicant shall submit the burden of proof with the original submittal.

H. *Subdivision Waiver Decision.*

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 - ii. The Commission shall recommend to the City Council to approve or deny a request for a Major Subdivision Waiver by majority vote.
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 - ii. The City Council may or shall approve or deny a request for a Major Subdivision Waiver by a vote of all members.
 - iii. The decision of the City Council is final.

I. *Notification of Decision on Petition—14 Days.* The Applicant shall be notified of the decision on the Subdivision Waiver by the applicable Decision-Maker (e.g., the City Administrator, Commission or City Council, as applicable), within fourteen (14) calendar days following the decision.

J. *Minor Subdivision Waiver Appeal.*

1. *Initiation of an Appeal.*
 - a. The Applicant may appeal a Minor Subdivision Waiver decision of the City Administrator, as allowed within the Subdivision Ordinance.
 - b. The written request to appeal shall be submitted to the City Administrator within thirty (30) calendar days following the denial decision.
2. *Recommendation of the Planning and Zoning Commission.*
 - a. The Commission shall consider the appeal at a public meeting no later than thirty (30) calendar days after the date on which the notice of appeal is submitted to the City Administrator.

- b. At this meeting, new information may be presented and considered, if available, that might alter the previous decision to deny the Minor Subdivision Waiver.
- c. The Commission shall recommend to the City Council to affirm, modify or reverse the previous decision by simple majority vote.

3. *Appeal to City Council.*

- a. The Applicant may appeal the Commission's decision by submitting a written notice of appeal to the City Administrator within thirty (30) calendar days following the Commission's decision.
- b. After the recommendation from the Commission has been made, the City Council shall consider the appeal at a public meeting no later than thirty (30) calendar days after the date on which the Commission's recommendation was made.
- c. The City Council may affirm, modify or reverse the decision by simple majority vote.
- d. The decision of the City Council is final.

K. *Effect of Approval.*

1. *Submission and Processing.* Following the granting of a Subdivision Waiver, the Applicant may submit or continue the processing of a Plat or Construction Plans, as applicable.
2. *Expirations.* The Subdivision Waiver granted shall remain in effect for the period the Plat or Construction Plans are in effect, and shall expire upon expiration of either or both of those Applications.
3. *Extensions.* Extension of those Applications shall also result in extension of the Subdivision Waiver.

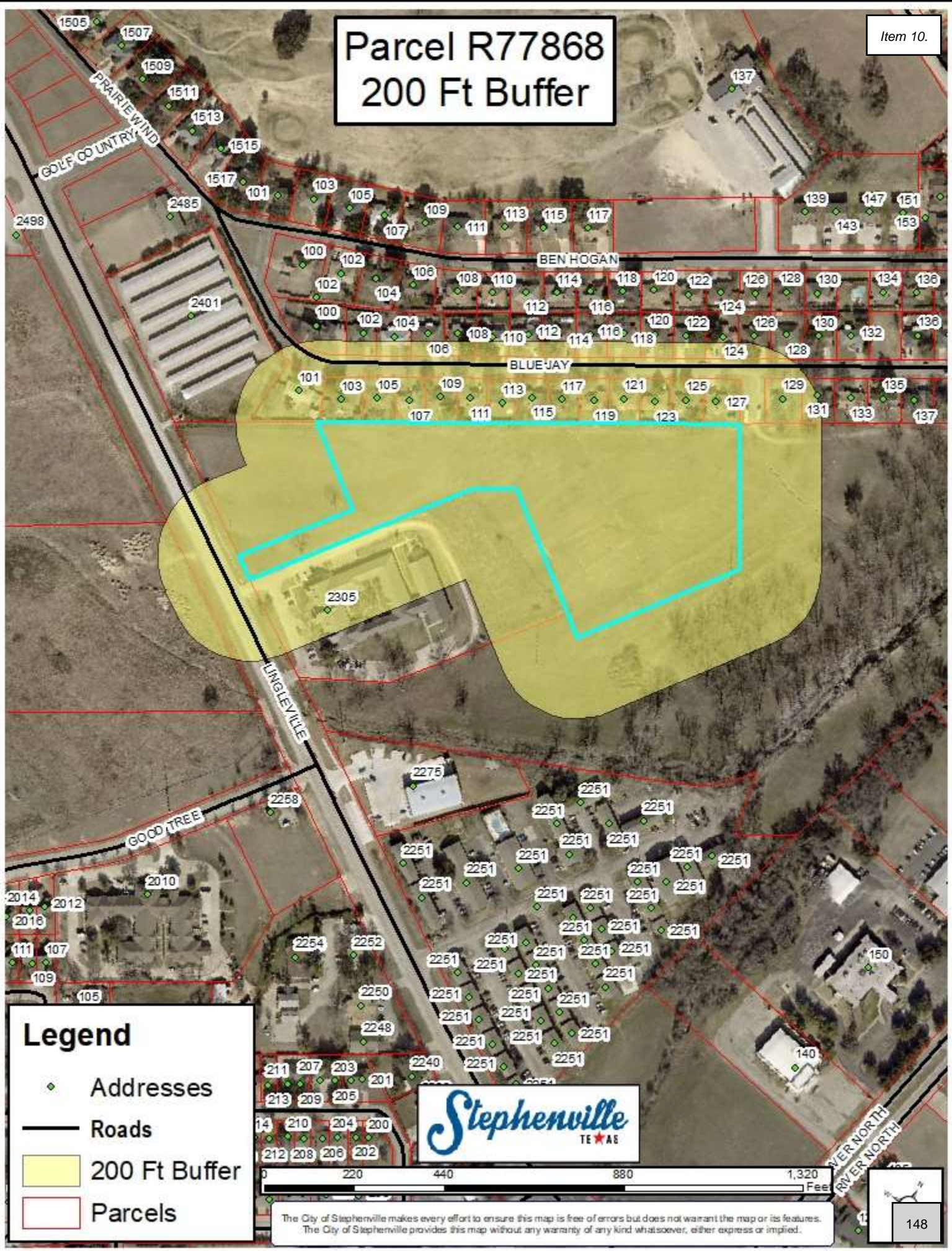
FACTORS TO CONSIDER:

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel - is land large enough and in proper location for proposed use?
- Reasonable Use of Property - does proposed change provide reasonable use of property?

ALTERNATIVES

- 1) Accept the recommendation of the Planning and Zoning Commission and approve the waiver request.
- 2) Overrule the recommendation of the Planning and Zoning Commission and deny the waiver request.

Parcel R77868 200 Ft Buffer



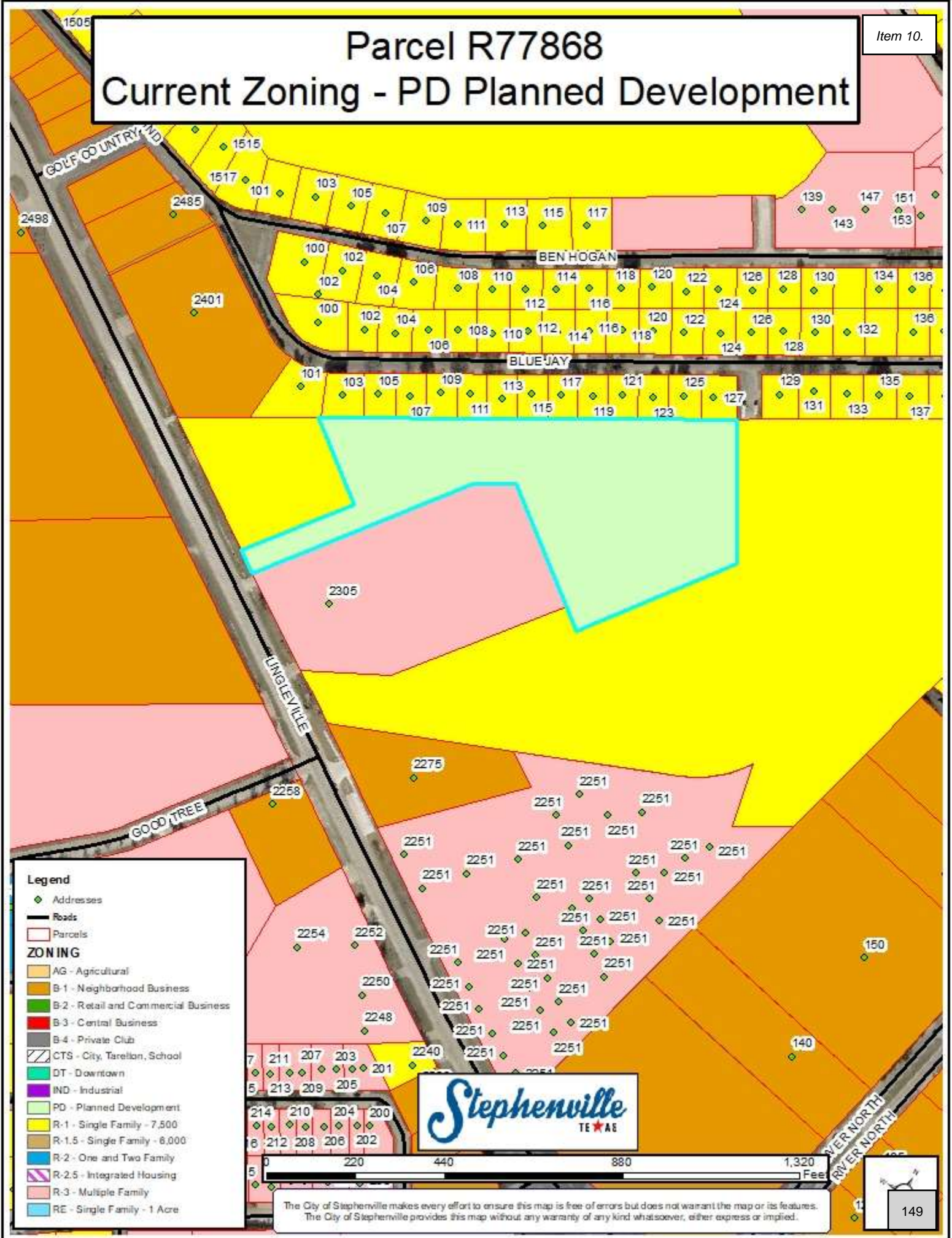
Legend

- ◆ Addresses
- Roads
- 200 Ft Buffer
- Parcels



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

Parcel R77868 Current Zoning - PD Planned Development



Legend

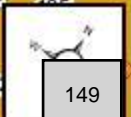
- ◆ Addresses
- Roads
- ▭ Parcels

ZONING

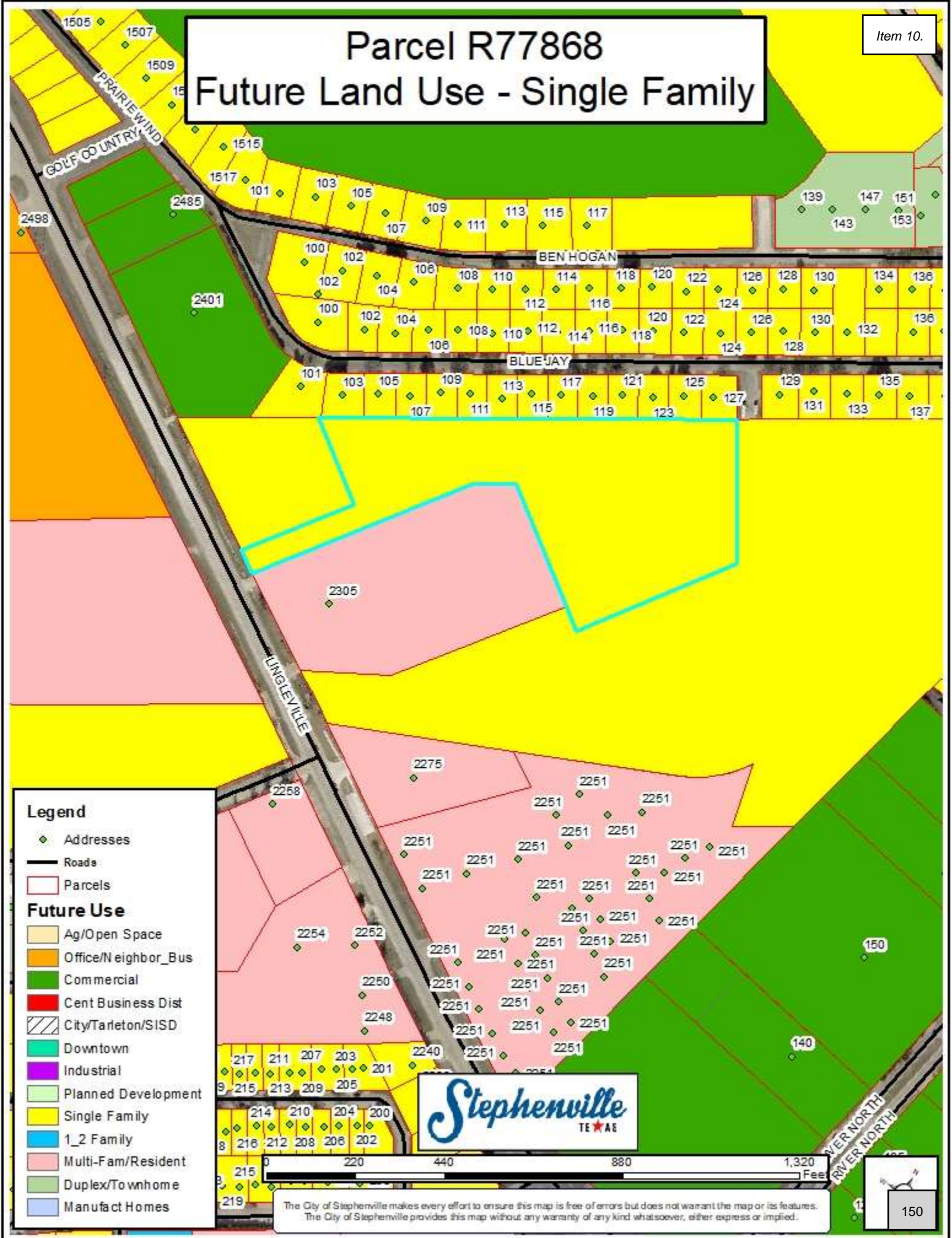
- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tarellon, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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Parcel R77868 Future Land Use - Single Family



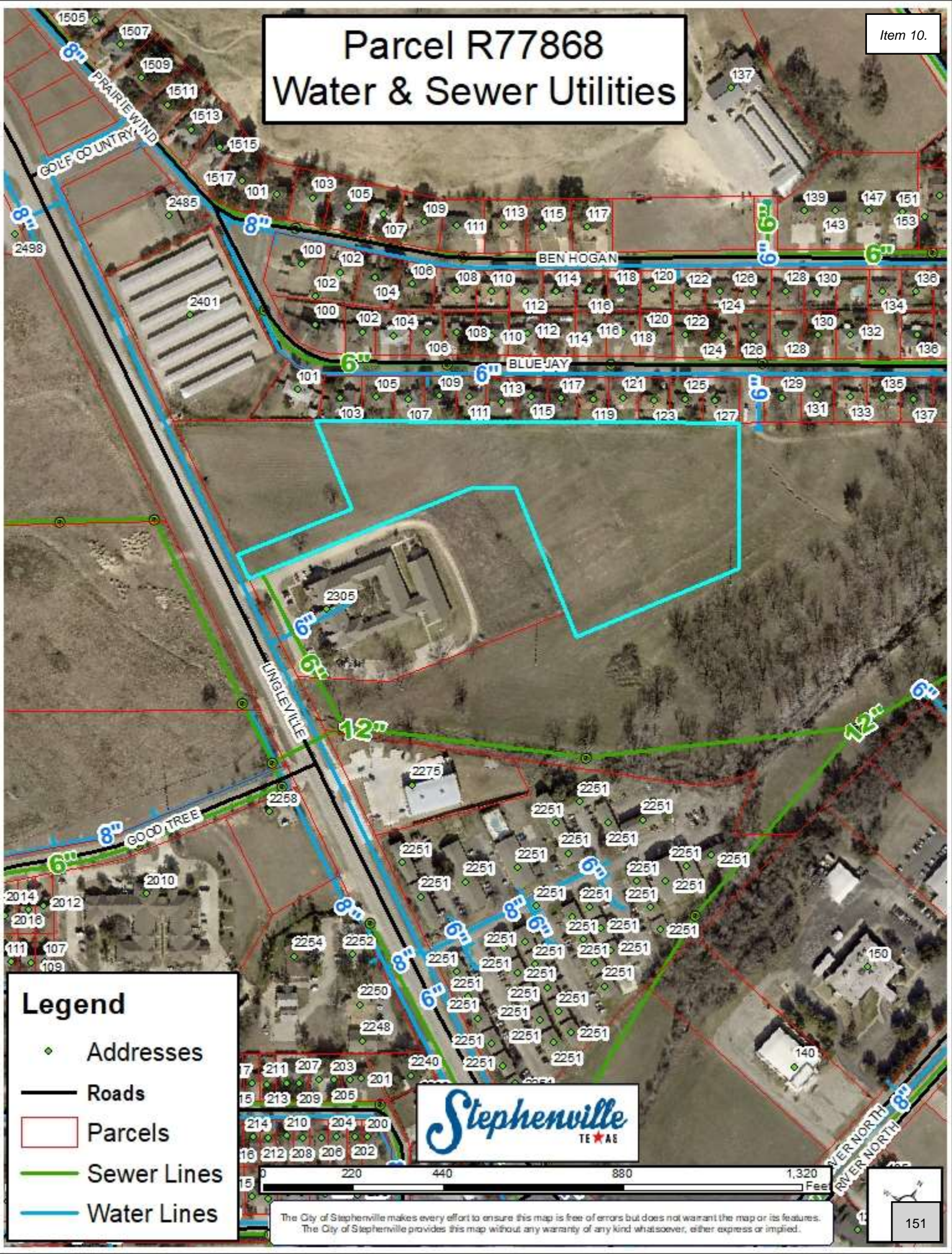
Legend

- ◆ Addresses
 - Roads
 - ▭ Parcels
- ### Future Use
- Ag/Open Space
 - Office/Neighbor_Bus
 - Commercial
 - Cent Business Dist
 - City/Tarleton/SISD
 - Downtown
 - Industrial
 - Planned Development
 - Single Family
 - 1_2 Family
 - Multi-Fam/Resident
 - Duplex/Townhome
 - Manufact Homes



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Parcel R77868 Water & Sewer Utilities



Legend

- ◆ Addresses
- Roads
- ▭ Parcels
- Sewer Lines
- Water Lines



0 220 440 880 1,320 Feet

The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

Parcel R77868 Address List

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000042841	117 BLUE JAY	ALLEN CALEB VAN & KRISTY RAE	117 BLUE JAY	STEPHENVILLE	TX	76401-5922
R000022557	0 W LINGLEVILLE RD	ALLEN REAL PROPERTIES LTD	PO BOX 953	STEPHENVILLE	TX	76401
R000031773	2401 W LINGLEVILLE RD	BACHUS JAMES O FAMILY TRUST	PO BOX 552	STEPHENVILLE	TX	76401-0552
R000042813	106 BLUE JAY	BOYLES PAMELA J	106 BLUE JAY	STEPHENVILLE	TX	76401
R000042835	101 BLUE JAY	BUCHER JAMES M & JANE E	101 BLUE JAY	STEPHENVILLE	TX	76401-5922
R000042819	118 BLUE JAY	CARLSON NORMAN E & BEVERLY A	118 BLUE JAY	STEPHENVILLE	TX	76401-0000
R000042824	128 BLUE JAY	CHESTER CAROLE S	128 BLUEJAY	STEPHENVILLE	TX	76401
R000042837	105 BLUE JAY	CORTA DOROTHY J & PETER J	105 BLUE JAY DR	STEPHENVILLE	TX	76401
R000022552	0 W LINGLEVILLE RD	COVENANT LEGACY LP	2915 W WASHINGTON	STEPHENVILLE	TX	76401
R000022552	0 W LINGLEVILLE RD	COVENANT LEGACY LP	2915 W WASHINGTON	STEPHENVILLE	TX	76401
R000042811	102 BLUE JAY	DAVIDSON DEL & JULIE	102 BLUE JAY	STEPHENVILLE	TX	76401
R000042822	124 BLUE JAY	DICKERSON SHERRY	124 BLUE JAY	STEPHENVILLE	TX	76401
R000042814	108 BLUE JAY	DREW VALERIE J	109 GREENVIEW DR	STEPHENVILLE	TX	76401
R000042847	129 BLUE JAY	EMMONS JOSH & ASHTON	129 BLUE JAY	STEPHENVILLE	TX	76401
R000042845	125 BLUE JAY	EVANS DONALD R LIVING TRUST	PO BOX 372	BLUFF DALE	TX	76433
R000063739	2305 W LINGLEVILLE RD	FRONTIER EXCHANGE LANDLORD GROUP LLC	4500 DORR ST	TOLEDO	OH	43615
R000042836	103 BLUE JAY	GRIMMER AARON & NIKOLE	103 BLUE JAY	STEPHENVILLE	TX	76401
R000042821	122 BLUE JAY	HENDRICKS KATHRYN J	122 BLUE JAY	STEPHENVILLE	TX	76401
R000042817	114 BLUE JAY	HILL CHARLES A & SANDRA K	114 BLUE JAY	STEPHENVILLE	TX	76401
R000042842	119 BLUE JAY	HIVELY CHRISTOPHER J & KIMBERLEE M HIVELY	12454 DAPPLE DR	RANCHO CUCAMONGA	CA	91739
R000042812	104 BLUE JAY	HODGES BILLY BOB & DONNA & HOLLY HODGES	18402 SHALLOW OAK CT	TOMBALL	TX	77377
R000042816	112 BLUE JAY	HODGES TERRY GLEN & REBECCA	112 BLUE JAY	STEPHENVILLE	TX	76401-0000
R000041981	107 BLUE JAY	HOLLOWAY LIVING TRUST	107 BLUE JAY ST	STEPHENVILLE	TX	76401
R000041982	109 BLUE JAY	HOWARD NETA FAYE (LIFE ESTATE)	109 BLUE JAY	STEPHENVILLE	TX	76401
R000022664	0 W LINGLEVILLE RD	IP KAM WOON	PO BOX 192	STEPHENVILLE	TX	76401-0000
R000042840	115 BLUE JAY	JAMES CAVIN & STACEY SHARON NOLAND (JAMES)	115 BLUE JAY	STEPHENVILLE	TX	76401
R000041983	111 BLUE JAY	KAISER MARK A & KIMBERLY	111 BLUE JAY DR	STEPHENVILLE	TX	76401-0000
R000041978	100 BLUE JAY	KOPLIN JEFFREY & LESLI KOPLIN	PO BOX 993	STEPHENVILLE	TX	76401
R000042838	113 BLUE JAY	MOSES COREY & KATHRYN	113 BLUE JAY	STEPHENVILLE	TX	76401
R000042844	123 BLUE JAY	PLANNERS EQUITY LP	181 S GRAHAM	STEPHENVILLE	TX	76401
R000042823	126 BLUE JAY	PORTER KELVIN B & KIMBERLY K ILEY	126 BLUE JAY	STEPHENVILLE	TX	76401
R000077868	0 W LINGLEVILLE RD	RETIREMENT LIVING FOR SENIORS LTD	PO BOX 3189	BRYAN	TX	77805
R000042818	116 BLUE JAY	SMITH RANDY & KELLY	116 BLUE JAY	STEPHENVILLE	TX	76401-0000
R000042843	121 BLUE JAY	STEPHENVILLE RENTALS LLC	181 S GRAHAM	STEPHENVILLE	TX	76401
R000042846	127 BLUE JAY	TRAINHAM SUSAN	PO BOX 139	LINGLEVILLE	TX	76461
R000042815	110 BLUE JAY	TROTTER MABEL L	126 BEN HOGAN DR	STEPHENVILLE	TX	76401-5915

STAFF REPORT

SUBJECT: Case No.: CP2023-001

Applicants Thomas and Zana Gill are requesting a Conditional Use Permit for property located at 1490 W. McNeill, R33490, being SOUTH SIDE ADDITION, BLOCK 6, LOT 1A, 1B, 2, 2A, 3, 4, 5 (Pt of 1B) of the City of Stephenville, Erath County, Texas.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen, Director of Development Services

RECOMMENDATION:

The property has a current zoning of Multi-Family Residential District (R-3).

BACKGROUND:

The applicant is requesting a conditional use permit for parking by Texas A&M Systems/Tarleton State University under a temporary lease agreement during the completion of TSU parking garage construction, while retaining the R-3 Multi-Family zoning for the owner's future development.

PROPERTY PROFILE:



Sec. 154.05.6. Multiple family residential district (R-3).

5.6.A Description. This residential district provides for medium to high-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, and multiple family housing buildings and complexes platted as one parcel and sole source management. All R-3 zoning will be appropriate to a city-style neighborhood. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the esthetic and functional well being of the intended district environment.

5.6.B Permitted Uses.

- (1) Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals;
- (2) Two-to-four family dwellings, with each family limited as in division (1) above;
- (3) Multiple family dwellings, with each family limited as in division (1) above; Student living complexes will be subject to a variance request for units designed to occupy more than three unrelated students per unit;
- (4) Assisted living center;
- (5) Convalescent, nursing or long term-care facility;
- (6) Retirement housing complex;
- (7) Accessory buildings;
- (8) Churches, temples, mosques and related facilities;
- (9) Community home;
- (10) Park or playground;
- (11) SISD school—public;
- (12) Bed and breakfast/boarding house;
- (13) Group day care home;
- (14) Registered family home;
- (15) Day care center; and
- (16) Fraternity or sorority house.

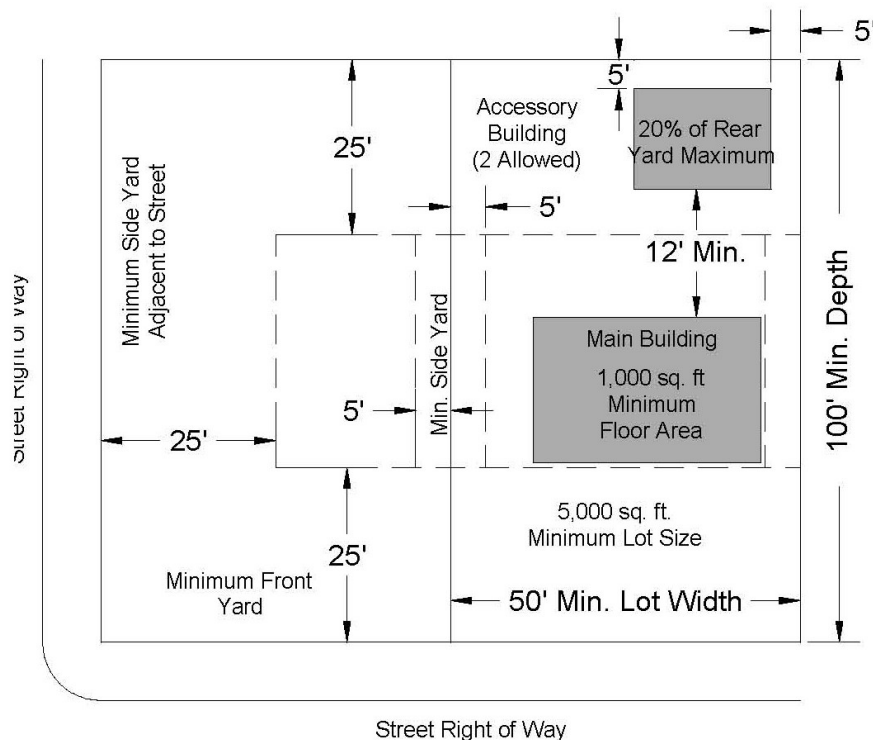
5.6.C Conditional Uses.

- (1) Home occupation;
- (2) Common facilities as the principal use of one or more platted lots in a subdivision;
- (3) Adult and/or children's day care centers;
- (4) Foster group home; and
- (5) Residence hall.

5.6.D Height, Area, Yard and Lot Coverage Requirements.

- (A) *Single family dwelling.*
 - (1) Minimum lot area: 5,000 ft².
 - (2) Minimum lot width and lot frontage: 50 feet.
 - (3) Minimum lot depth: 100 feet.
 - (4) Minimum depth of front setback: 25 feet.
 - (5) Minimum depth of rear setback: 25 feet.
 - (6) Minimum width of side setback:
 - (a) Internal lot: five feet.
 - (b) Corner lot: 25 feet from intersecting side street.
 - (7) Building size:
 - (a) Maximum coverage as a percentage of lot area: 40%.
 - (b) Single family dwelling: 1,000 ft².
 - (8) Accessory buildings:

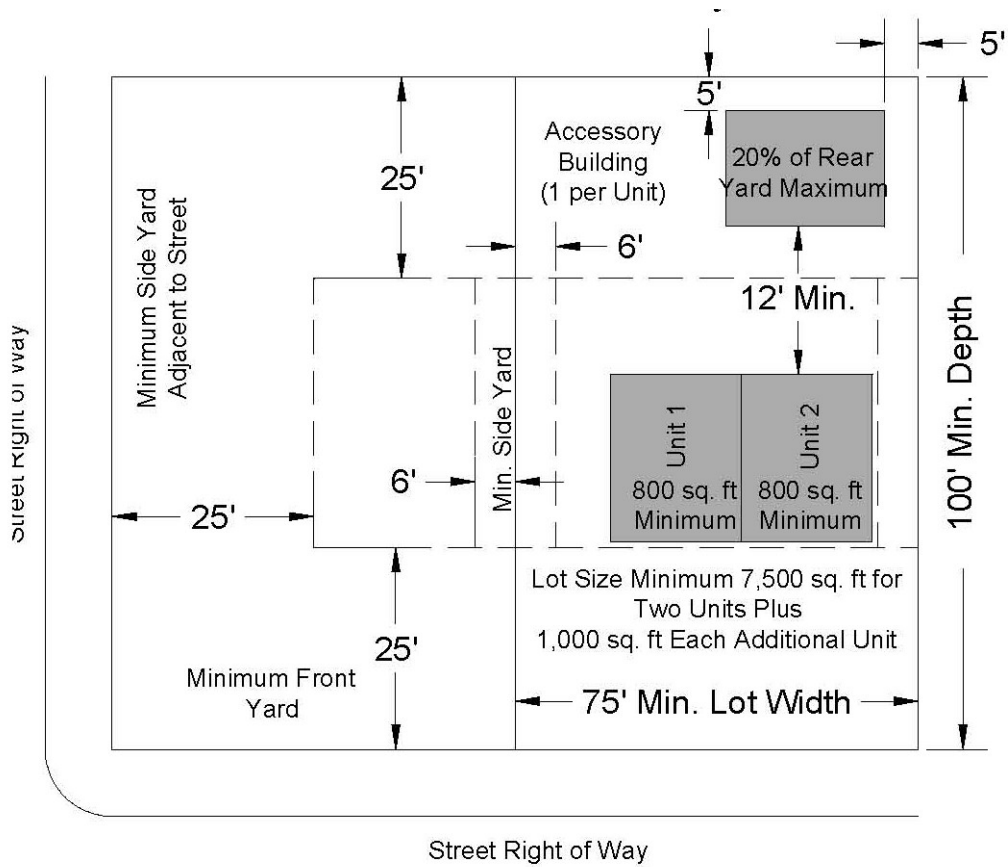
- (a) Maximum accessory buildings coverage of rear yard: 20%.
 - (b) Maximum number of accessory buildings: one.
 - (c) Minimum depth of side setback: five feet.
 - (d) Minimum depth of rear setback: five feet.
 - (e) Minimum depth from the edge of the main building: 12 feet.
- (9) Maximum height of structures: 35 feet.
 - (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



(B) *Two-to-four family.*

- (1) Minimum lot area: 7,500 ft² for two dwelling units, plus 1,000 ft² for each additional dwelling unit.
- (2) Minimum lot width and lot frontage: 75 feet.
- (3) Minimum lot depth: 100 feet.
- (4) Minimum depth of front setback: 25 feet.
- (5) Minimum depth of rear setback: 25 feet.
- (6) Minimum width of side setback:
 - (a) Internal lot: six feet.
 - (b) Corner lot: 25 feet from intersecting side street.
- (7) Building size:
 - (a) Maximum coverage as a percentage of lot area: 40%.
 - (b) Minimum area of each dwelling unit: 800 ft².
- (8) Accessory buildings:

- (a) Maximum accessory building coverage of rear yard: 20%.
 - (b) Maximum area of each accessory building: 200 ft².
 - (c) Maximum number of accessory buildings: one per unit.
 - (d) Minimum depth of side setback: five feet.
 - (e) Minimum depth of rear setback: five feet.
 - (f) Minimum depth from the edge of the main building: 12 feet.
- (9) Maximum height of structures: 35 feet.
 - (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.

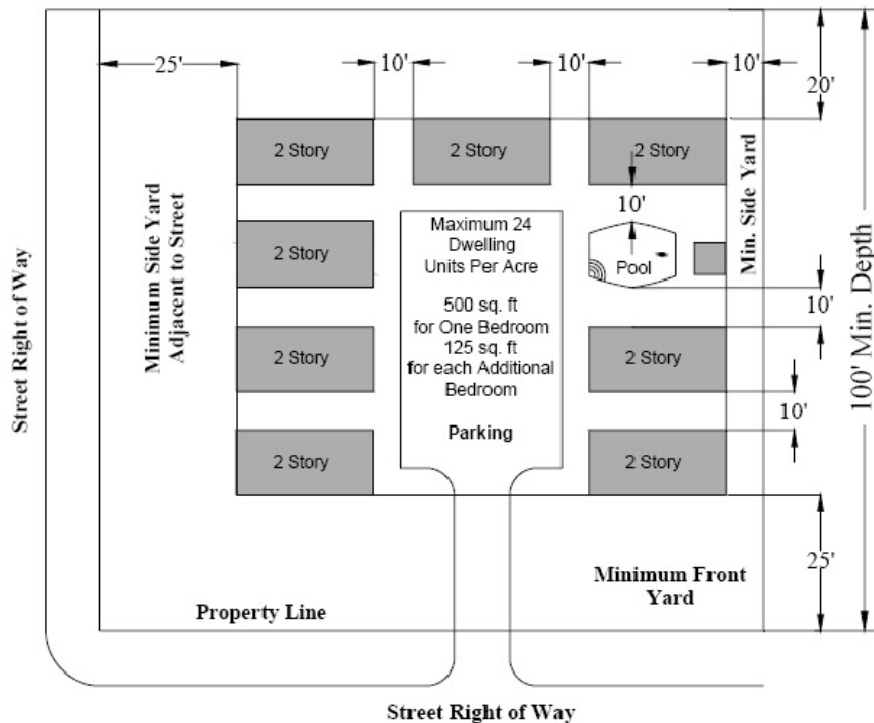


- (C) *Reserved.*
- (D) *Multiple family dwellings.*
 - (1) Minimum lot area: maximum density of 24 dwelling units per acre, which includes parking, access and all other area improvements.
 - (2) Minimum lot depth: 100 feet.
 - (3) Minimum depth of front setback: 25 feet.
 - (4) Minimum depth of rear setback: 20 feet.
 - (5) Minimum width of side setback:
 - (a) Internal lot: ten feet.
 - (b) Corner lot: 25 feet from intersecting side street.

- (6) Building size: Minimum area of each dwelling unit: 500 ft² for one bedroom or less plus 125 ft² of floor area for each additional bedroom.
- (7) Maximum height of structures: 35 feet.
- (8) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.

5.6.D Height, Area, Yard and Lot Coverage Requirements

Multiple Family Dwelling



5.6.E Parking Regulations. Lots in this District shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in Section 154.11 *Parking spaces for vehicles* of this ordinance. Student housing whereby individual rooms are leased by unit must require 1.5 spaces per rented bed.

5.6.F Type of Construction.

- (1) The exterior walls of all new dwellings to the top plate, shall be constructed of at least 80% of the total exterior walls of primary materials, excluding doors, windows, and porches. See Section 10.E(1): Exterior Building Material Standard—Primary Materials.
- (2) Any remaining exterior walls of all new dwellings shall construct the remaining exterior walls of alternative materials. See Section 10.E(2): Exterior Building Material Standard—Alternative Materials.
- (3) Existing dwellings expanding the total square footage of the building 50% or less, or modifying the exterior walls, may use the same exterior construction material as the existing primary building. If the material is not available, similar material may be used if approved by the Community Development Director.
- (4) Existing dwellings expanding the total square footage of the building more than 50%, or proposing to use a material inconsistent with the primary structure for any expansion, must meet the 80%

minimum primary materials, Section 10.E: Exterior Building Material Standard, for the total exterior walls of the structure.

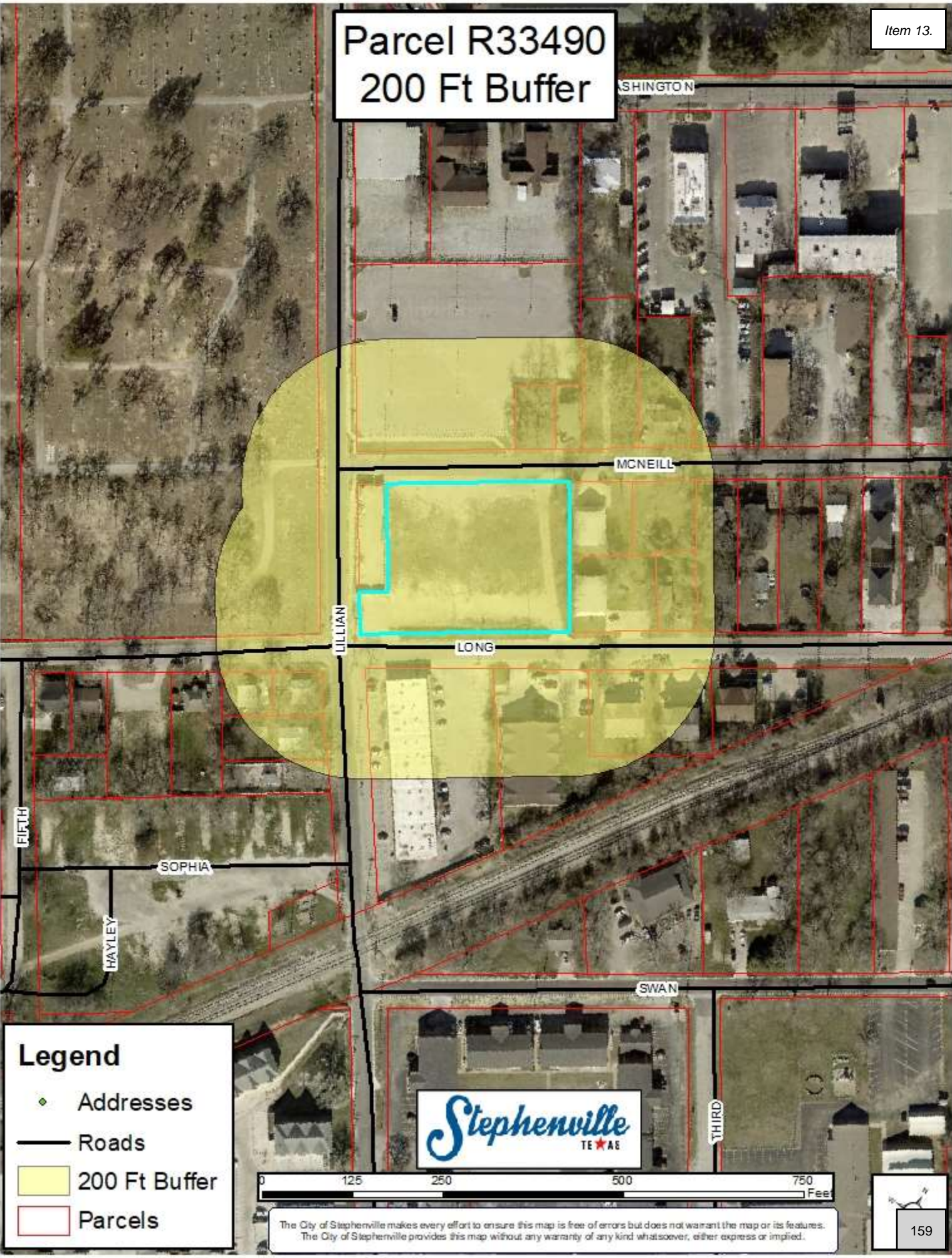


(Am. Ord. 2007-24, passed 12-4-2007; Am. Ord. 2008-13, passed 7-1-2008; Ord. 2011-26, passed 12-6-2011; Am. Ord. 2021-O-29, § 1, passed 9-7-2021)

ALTERNATIVES:

- 1) Recommend the City Council approve the conditional use request.
- 2) Recommend the City Council deny the conditional use request.

Parcel R33490 200 Ft Buffer



Legend

- ◆ Addresses
- Roads
- 200 Ft Buffer
- Parcels



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

Parcel R33490

Current Zoning - R3 Multifamily

Item 13.



Legend

- ◆ Addresses
- Roads
- ▭ Parcels
- ZONING**
- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- ▨ CTS - City, Tarleton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre

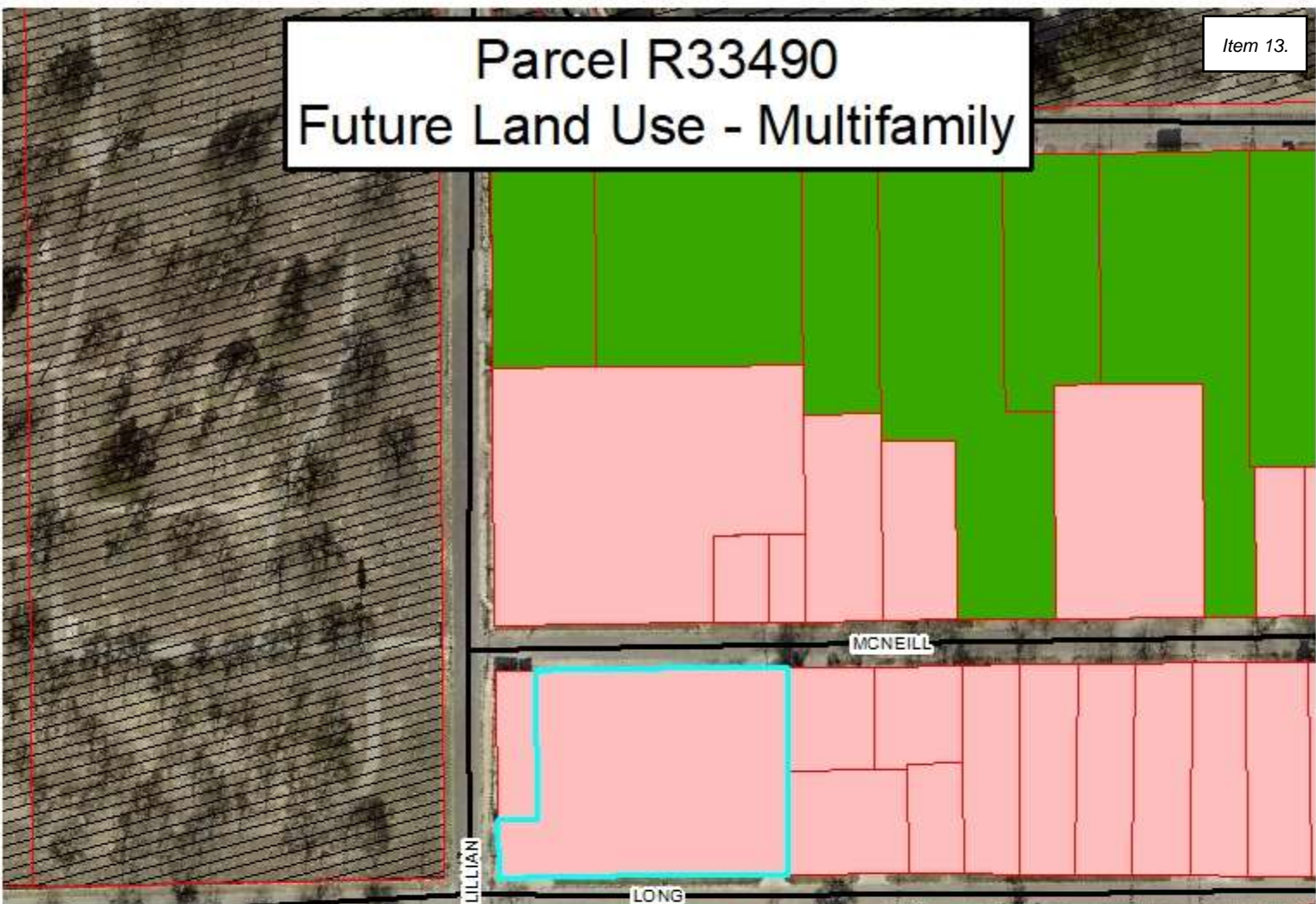


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Parcel R33490

Future Land Use - Multifamily

Item 13.



Legend

- ◆ Addresses
- Roads
- Parcels

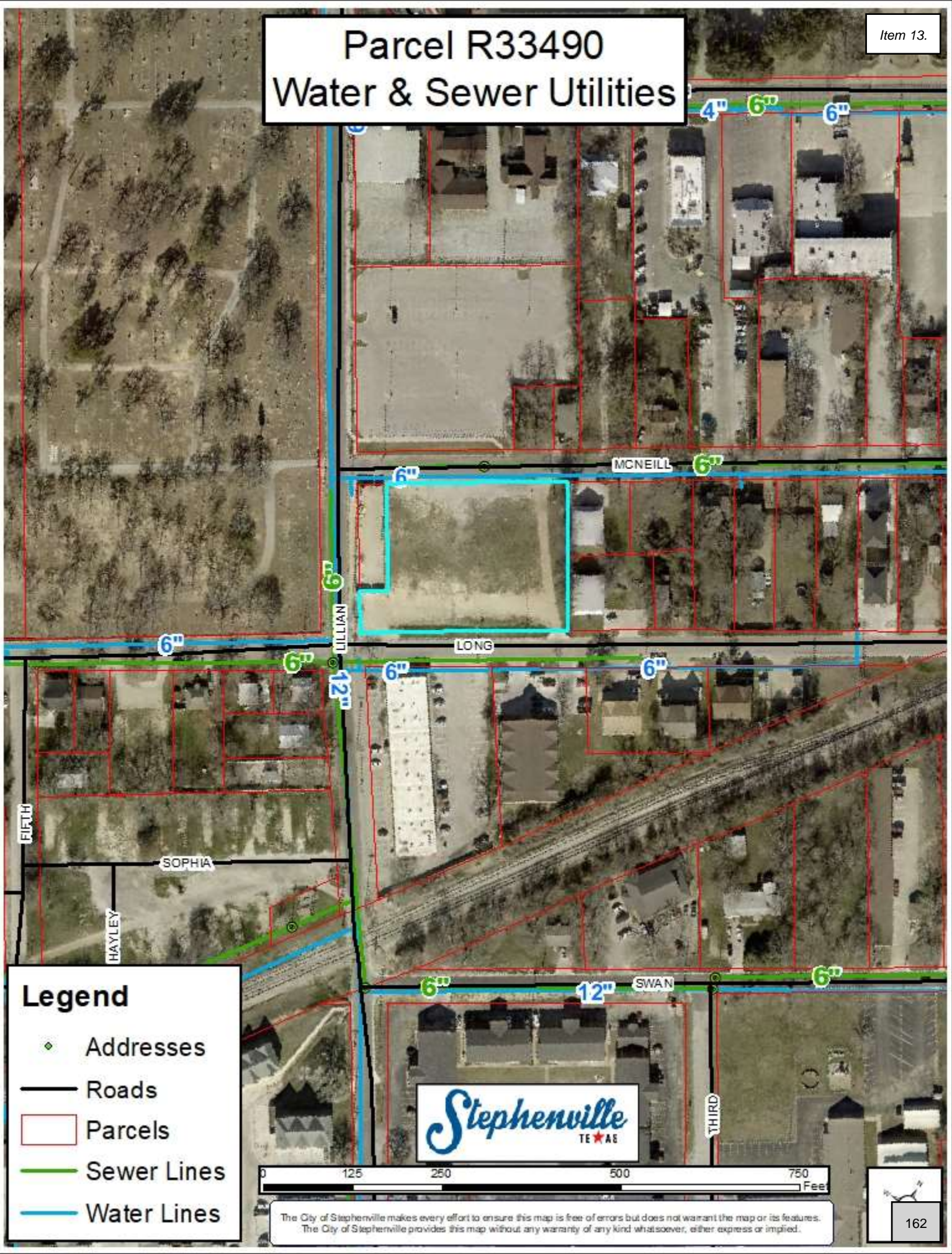
Future Use

- Ag/Open Space
- Office/Neighbor_Bus
- Commercial
- Cert Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



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Parcel R33490 Water & Sewer Utilities



Legend

- ◆ Addresses
- Roads
- Parcels
- Sewer Lines
- Water Lines



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Parcel R33490 200 ft Buffer Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Codes
R000033488	280 S LILLIAN	ATMOS ENERGY CORPORATION	PO BOX 650205	DALLAS	TX	75265-0205
R000030267	1435 W MCNEILL	BALLOW MICHAEL T	404 HERITAGE WAY	STEPHENVILLE	TX	76401
R000030259	1447 W MCNEILL	BOARD OF REGENTS OF THE TX A&M UNIVERSITY SYSTEM	301 TARROW STREET 6TH FLOOR	COLLEGE STATION	TX	77840-7896
R000030255	200 S LILLIAN	BOARD OF REGENTS OF THE TX A&M UNIVERSITY SYSTEM	301 TARROW STREET 6TH FLOOR	COLLEGE STATION	TX	77840-7896
R000033492	1403 LONG ST	BRAMLETT ERNEST C & JOYCE	1708 PR1113	STEPHENVILLE	TX	76401-9706
R000033493	1430 W MCNEILL	BRAMLETT ERNIE & JOYCE	1708 PR1113	STEPHENVILLE	TX	76401
R000033491	1450 W MCNEILL	BRAMLETT ERNIE & JOYCE & CLIFF E	1708 PR1113	STEPHENVILLE	TX	76401
R000030265	1441 MCNEILL	CATHOLIC DIOCESE OF FORT WORTH	3262 CR223	STEPHENVILLE	TX	76401
R000033490	1490 W MCNEILL	GILL THOMAS AND ZANA GILL	PO BOX 43	STEPHENVILLE	TX	76401
R000030257	1416 W WASHINGTON	MCDONALDS REAL ESTATE COMPANY	ONE MCDONALDS PLAZA	OAK BROOK	IL	60523
R000033527	1410 W LONG	MCGEHEE CLARK JOSEPH	133 DANCING LEAF DR	MARTINSBURG	WV	25403
R000030260	1445 MCNEILL	MCLEAN SETH	127 PARK DR	STEPHENVILLE	TX	76401
R000033519	1520 LONG	MULBARGER TODD & KIM	153 VALLEY OAK PLACE	WOODBIDGE	CA	95258
R000033495	1418 MCNEILL	PATTON SHARON RUTH	1418 W MCNEILL	STEPHENVILLE	TX	76401
R000033520	410 LILLIAN	PHILLIPS RENTALS LLC	279 CR707	COTTER	AR	72626
R000033521	420 LILLIAN	PHILLIPS RENTALS LLC	279 CR707	COTTER	AR	72626
R000033494	1431 LONG	SMITH DONNIE R	1431 W LONG ST	STEPHENVILLE	TX	76401-0000
R000033518	1530 LONG	SWECKER COLBY & VIANNEY SANCHEZ	1530 W LONG	STEPHENVILLE	TX	76401
R000040818	428 S LILLIAN	TEXAS COMMUNICATIONS OF BROWNWOOD LP	PO BOX 290	DE LEON	TX	76444
R000073705	1404 W LONG	TRAFALGAR HOMES OF TEXAS LLC	PO BOX 65	STEPHENVILLE	TX	76401
R000033487	1500 W WASHINGTON	WEST END CEMETERY	298 W WASHINGTON	STEPHENVILLE	TX	76401-0000
R000033524	301 S LILLIAN	WINDMASS VILLIAGE III PORTFOLIO OWNER LLC	100 CRESCENT CT, SUITE 270	DALLAS	TX	75201



COMMITTEE REPORT

REPORT TYPE: Nominations Committee Report

MEETING: September 19, 2023

Present: Maddie Smith, Lonn Reisman, Bob Newby, Brandon Greenhaw

Absent: none

DEPARTMENT: Administration

STAFF CONTACT: Sarah Lockenour, City Secretary

DISCUSS AND APPROVE NOMINATIONS TO CITIZEN BOARDS AND COMMISSIONS

DISCUSSION: The committee met on September 19, 2023, to review applications for Citizen Boards and Commissions.

COMMITTEE ACTION:

The following recommendations were made:

PLANNING AND ZONING COMMISSION:

MOTION by Maddie Smith, second by Brandon Greenhaw, to move Tyler Wright to Place 1 vacated by Allen Barnes. MOTION CARRIED to send a positive recommendation to Council.

RECOMMENDATION: The committee recommends moving Tyler Wright to Place 1 of the Planning and Zoning Commission.

Public Works Committee
COMMITTEE REPORT



MEETING: Public Works Committee Meeting – 19 SEP 2023
Present: P8 Mark McClinton, Chair; P2 Justin Haschke; P6 David Baskett
Absent: P1 LeAnn Durfey
DEPARTMENT: Public Works
STAFF CONTACT: Nick Williams

Agenda Item 4: Discuss and Approve Harbin Drive Improvements Project Change Orders

Discussion: The change orders for the Harbin Drive Improvements Project were presented. It was noted there have been several issues with missing or inadequate quantities in the design of the project. The project overage costs are being offset by funds for the annual pavement maintenance projects.

Committee Action: Following discussion, a motion was made by Mr. Haschke, seconded by Mr. Baskett, to forward a positive recommendation to the full council to approve Change Orders 4, 5, and 6 as presented.

Recommendation: The committee voted unanimously to forward a positive recommendation to the full council to approve the Change Orders 4, 5, and 6 as presented.

Agenda Item 5: Discuss and Approve Eastside Sewer Interceptor – Phase 1 Project Change Orders

Discussion: The proposed change order was presented along with photographs depicting the large concrete structure in conflict with the alignment of the Eastside Sewer pipeline. It was noted the cost of the change order was able to be offset by utility revenues exceeding the FY22-23 budget projections.

Committee Action: Following discussion, a motion was made by Mr. Haschke, seconded by Mr. Baskett, to forward a positive recommendation to the full council to approve the change order as presented.

Recommendation: The committee voted unanimously to forward a positive recommendation to the full council to approve the change order as presented.

Public Works
STAFF REPORT

SUBJECT: Harbin Drive Improvements Project – Change Orders
MEETING: Public Works Committee Meeting – 19 SEP 2023
DEPARTMENT: Public Works
STAFF CONTACT: Nick Williams

RECOMMENDATION:

Staff recommends approval of Change Orders 4, 5, and 6 to the contract with Jay Mills Contracting, Inc. for the Harbin Drive Improvements Project in the amount of \$130,706.

BACKGROUND:

On October 4, 2021, the City of Stephenville awarded the above referenced project to Jay Mills Contracting, Inc. for the Base Bid plus Bid Alternate #1, for concrete pavement, in the total amount of \$10,097,474.50.

The project includes the reconstruction of Harbin Drive from Washington Street to the Northwest Loop. The existing roadway is being reconstructed with concrete paving, curb and gutter, and sidewalks. Storm drainage infrastructure is being installed and existing water and sewer lines are being replaced.

PROJECT:

Below are summaries of Change Orders #1-6.

- Change Order #1: \$24,970.79
 - Adjustments to reflect lowering an existing 12-inch waterline at Swan, instead of an 8-inch, as originally shown.
- Change Order #2: \$11,620.00
 - Realignment of approximately 560 feet of existing sanitary sewer through the cemetery due to a conflict with the regraded drainage channel alignment not originally identified during the design phase.
 - Overruns were applied to existing pay items in the amount of \$106,265.00 for a total change order impact of \$117,885.
- Change Order #3: \$534,397.50
 - Realignment of the storm drain and existing well line from Tarleton Street to Turner Street as requested by Tarleton State University (TSU) to accommodate construction of a Convocation Center.
- Change Order #4: \$54,395.00
 - Additional waterline replacement at Mimosa, Overhill, and Northwest Loop intersections not identified during design phase.
 - Overruns were applied to existing pay items in the amount of \$211,425.00 for a total change order impact of \$265,820.
- Change Order #5: \$32,187.00
 - Signalization: (- \$183,840.75)
 - Modifications to the traffic signal designs for the signal at Washington and at the signal at Northwest Loop were identified during TxDOT’s final review which was completed after construction began.
 - Illumination: \$114,015.75
 - Addition of foundations, conduit, and pull boxes necessary to add street lighting in the medians along Harbin. Oncor to install poles and wiring.
 - Irrigation: \$102,012.00
 - Addition of conduit under pavement to allow for future irrigation line installation in the medians.
- Change Order #6: \$44,123.50
 - Adjustments to reflect installation of concrete pavement with monolithic curb (all one piece) instead of separate curb and gutter, resulting in a minor increase in the cost of additional concrete versus reduced labor and time for construction. Concrete paving within medians as identified in the construction plans.

Additional Overruns: \$186,061

- Overruns to existing line items, in addition to those identified in the change orders above, have been incorporated into the project including:
 - Removal and replacement of additional paving, curb and gutter, and sidewalk due the quantities identified for replacement being insufficient to perform the work.
 - Additional replacement and installation of water mains, service lines, and fire hydrants not originally identified during the design phase.
 - Field modifications due to existing conditions/conflicts found during construction.

FISCAL IMPACT SUMMARY:

Below are tabulations of project costs.

	Total Amount	TSU Reimbursement	City Obligation
Original Contract	\$ 10,097,475	\$ 1,400,000	\$ 8,497,475
TSU MOU No. 2		\$ 200,000	
Approved Change Orders	\$ 570,988	\$ 534,397	\$ 36,591
Pending Change Orders	\$ 130,706		\$ 130,706
Revised Contract	\$ 10,799,169	\$ 2,134,397	\$ 8,664,772
Change Order Overruns	\$ 317,690		\$ 317,690
Additional Overruns	\$ 186,061	\$ 26,054	\$ 160,007
Revised Total with Overruns	\$ 11,302,920	\$ 2,160,451	\$ 9,142,469

The below table shows a summary of project costs.

Change Order	Change Order Amount	Amount Applied To Existing Pay Items	Total
No. 1 (Approved)	\$ 24,971		\$ 24,971
No. 2 (Approved)	\$ 11,620	\$ 106,265	\$ 117,885
No. 3 (Approved)	TSU \$ 534,397		\$ 534,397
Approved CO Subtotal	\$ 570,988		\$ 677,253
No. 4 (Pending)	\$ 54,395	\$ 211,425	\$ 265,820
No. 5 (Pending)	\$ 32,187		\$ 32,187
No. 6 (Pending)	\$ 44,124		\$ 44,124
Pending CO Subtotal	\$ 130,706		\$ 342,131
Additional Overruns		\$ 186,061	\$ 186,061
Total	\$ 701,694	\$ 503,751	\$ 1,205,445

TSU agreed to cover university project costs of \$1.4 million, per Amendment #1 to the Memorandum of Understanding (MOU) executed 1/2/2022. The cost of Change Order #3, in the amount of \$534,397, plus \$200,000 for the original scope of work and \$50,000 in contingency, was authorized for reimbursement by TSU in a MOU Number 2 executed 1/3/2023.

The addition of the approved and pending change order amounts as well as the cost overruns to the original contract amount of \$10,097,475 yields a total contract amount of \$11,302,920 comprised of TSU's obligation of \$2,160,451 and the city's obligation of \$9,142,469. Original project funding was appropriated with \$8.5 million in FY21-22 bond proceeds. An additional \$807,000 was allocated from the FY21-22 and FY22-23 Annual Street Maintenance Programs to provide \$9.3 million to cover the cost of overruns for the project. The \$9.3 million currently allocated for the city's portion of the project leaves a positive balance of \$157,531 to address any additional unknowns encountered in the project.

Staff is also exploring options to incorporate brick in the medians.

Project completion is anticipated in the spring of 2024.

It is recommended that Change Orders 4, 5, and 6 be approved for a revised total contact amount of \$11,302,920.

ATTACHMENTS:

[Change Order #4](#), [Change Order #5](#), [Change Order #6](#)

PROJECT:	Harbin Drive Improvements		
OWNER:	City of Stephenville	OWNER PROJ #	ITB 3299
CONTRACTOR:	Jay Mills Contracting, Inc.	CONTRACTOR #	9377
ENGINEER:	Freese and Nichols, Inc.	ENG. PROJ. #	STE19752

CHANGE ORDER NO.	4	CHANGE ORDER DATE:	11/10/2022
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Change Order Description: Additional utility scope.
 Make following additions/deletions or modifications to work described in the Contract Documents:

	Pay Item	Quantity Change	Unit	Unit Cost	Applied to Pay App	Cost
E-02	12-Inch Waterline (AWWA C900, Class 3, DR-18)	170	LF	\$ 121.00	\$ 20,570.00	
E-03	6-Inch Waterline (AWWA C900, Class 3, DR-18)	817	LF	\$ 90.00	\$ 73,530.00	
E-05	12-Inch Gate Valve	2	EA	\$ 5,950.00	\$ 11,900.00	
E-06	6-Inch Gate Valve	9	EA	\$ 1,650.00	\$ 14,850.00	
E-07	Connection to Existing 12-Inch Waterline	2	EA	\$ 8,000.00	\$ 16,000.00	
E-08	Connection to Existing 6-Inch Waterline	7	EA	\$ 4,800.00	\$ 33,600.00	
E-09	1" Short Water Service Re-Connection	7	EA	\$ 825.00	\$ 5,775.00	
E-10	1" Long Water Service Re-Connection	4	EA	\$ 1,525.00	\$ 6,100.00	
E-11	Fire Hydrant	6	EA	\$ 4,850.00	\$ 29,100.00	
NEW	8-Inch Waterline (AWWA C900, Class 3, DR-18)	75	LF	\$ 120.00		\$ 9,000.00
NEW	Connection to Existing 8-Inch Waterline	2	EA	\$ 6,600.00		\$ 13,200.00
NEW	Remove 8-Inch Waterline	75	LF	\$ 66.00		\$ 4,950.00
NEW	Remove and Relocate Existing Fire Hydrant	2	EA	\$ 1,680.00		\$ 3,360.00
NEW	Additional Cut and Plug Waterline	5	EA	\$ 600.00		\$ 3,000.00
NEW	1-1/2" Water Service at Police Department	1	EA	\$ 2,160.00		\$ 2,160.00
NEW	Remove 12" Waterline	55	LF	\$ 66.00		\$ 3,630.00
NEW	Remove 6" Waterline	100	LF	\$ 66.00		\$ 6,600.00
NEW	Trench Safety (Waterline)	170	LF	\$ 5.50		\$ 935.00
NEW	Extra Long Sewer Service at Bank	60	LF	\$ 78.00		\$ 4,680.00
NEW	6" Cleanout	1	EA	\$ 2,160.00		\$ 2,160.00
NEW	Sewer Service Tees	2	EA	\$ 360.00		\$ 720.00

TOTAL COST APPLIED TO PAY APP:	\$ 211,425.00
TOTAL COST CHANGE ORDER 4:	\$54,395.00

The compensation agreed to upon in this change order is full, complete and final payment for all costs the Contractor may incur as a result of or related to this change whether said costs are known, unknown, foreseen or unforeseen at this time, including without limitation, any cost for delay, extended overhead, ripple or impact cost, or any other affect on changed or unchanged work as a result of this Change Order.

Contract Cost and/or Time Impacts:

Original Contract Amount	\$10,097,474.50
Previously Approved Change Order Amount	\$570,988.29
Adjusted Contract Amount	\$10,668,462.79
Proposed Change Order Amount (this change order)	\$54,395.00
Revised Contract Amount	\$10,722,857.79
Previous Contract Time	660
Previous Substantial Completion Date	10-Nov-23
Previous Final Completion Date	9-Jan-24
Proposed Change in Contract Time (this change order)	
Revised Contract Time	660
Revised Substantial Completion Date	10-Nov-23
Revised Final Completion Date	9-Jan-24

Recommended by:
 FREESE AND NICHOLS, INC.
 By _____ Date _____

Approved by:
 Jay Mills Contracting, Inc.
 By _____ Date _____

Approved by:
 City of Stephenville
 By _____ Date _____

PROJECT:	Harbin Drive Improvements		
OWNER:	City of Stephenville	OWNER PROJ #	ITB 3299
CONTRACTOR:	Jay Mills Contracting, Inc.	CONTRACTOR #	9377
ENGINEER:	Freese and Nichols, Inc.	ENG. PROJ. #	STE19752

CHANGE ORDER NO. 5	CHANGE ORDER DATE:
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Change Order Description: Traffic signal revisions requested by TxDOT and addition of illumination foundations/boxes/conduit
 Make following additions/deletions or modifications to work described in the Contract Documents:

	Pay Item	Quantity Change	Unit	Unit Cost	Cost
Traffic Signals					
G-01	Conduit (PVC)(SCH 40)(3")(Bore)	-221	LF	\$ 59.00	\$ (13,039.00)
G-02	Conduit (PVC)(SCH 40)(3")(Trench)	53	LF	\$ 31.00	\$ 1,643.00
G-03	Conduit (PVC)(SCH 40)(4")(Bore)	155	LF	\$ 62.00	\$ 9,610.00
G-04	Electrical Conductors (No.6)(Bare)	-342	LF	\$ 3.25	\$ (1,111.50)
G-05	Electrical Conductors (No.6)(XHHW)	-52	LF	\$ 3.25	\$ (169.00)
G-06	Tray Cable (8 AWG)(4CNDR)	-335	EA	\$ 3.25	\$ (1,088.75)
G-08	Vehicle Signal Section LED (12")(Green)	-1	EA	\$ 810.00	\$ (810.00)
G-10	Vehicle Signal Section LED (12")(Red)	-1	EA	\$ 810.00	\$ (810.00)
G-12	Vehicle Signal Section LED (12")(Yellow)	-1	EA	\$ 810.00	\$ (810.00)
G-13	Vehicle Signal Section LED (12")(Yellow Arrow)	1	EA	\$ 810.00	\$ 810.00
G-14	Back Plate (12")(1 SEC)	-9	EA	\$ 220.00	\$ (1,980.00)
G-15	Back Plate (12")(3 SEC)	-5	EA	\$ 270.00	\$ (1,350.00)
G-16	Back Plate (12")(4 SEC)	-1	LF	\$ 300.00	\$ (300.00)
G-18	Signal Cable (TY-A, 14 AWG)(2 CNDR)	-2,110	LF	\$ 3.25	\$ (6,857.50)
G-19	Signal Cable (TY-A, 14 AWG)(7 CNDR)	294	LF	\$ 4.50	\$ 1,323.00
G-20	Signal Cable (TY-A, 14 AWG)(16 CNDR)	-483	EA	\$ 6.50	\$ (3,139.50)
G-24	Install of (RPD) Vehicle Detectors	-18	EA	\$12,250.00	\$ (220,500.00)
G-25 (NEW)	Replace Luminaire w/ LED (250W EQ)	3	LF	\$ 775.00	\$ 2,325.00
G-26 (NEW)	Conduit (PVC)(SCH 40)(2")(Bore) (Signal)	90	LF	\$ 56.00	\$ 5,040.00
G-27 (NEW)	Conduit (PVC)(SCH 40)(2")(Trench) (Signal)	84	LF	\$ 25.00	\$ 2,100.00
G-28 (NEW)	Conduit (PVC)(SCH 40)(4")(Trench) (Signal)	20	LF	\$ 34.00	\$ 680.00
G-29 (NEW)	Tray Cable (12 AWG)(4 CNDR)	115	EA	\$ 4.50	\$ 517.50
G-30 (NEW)	Backplates (12")(3 SEC)(Refl Border)(Vented)(Aluminum)	9	EA	\$ 316.00	\$ 2,844.00
G-31 (NEW)	Backplates (12")(4 SEC)(Refl Border)(Vented)(Aluminum)	2	EA	\$ 400.00	\$ 800.00
G-32 (NEW)	Backplates (12")(5 SEC)(Refl Border)(Vented)(Aluminum)	1	EA	\$ 468.00	\$ 468.00
G-33 (NEW)	Electrical Service TY D 120/240 060(NS)SS(E)SP(O)	2	LF	\$ 8,850.00	\$ 17,700.00
G-34 (NEW)	Drill Shaft (TRF SIG POLE) (36 IN)	13	LF	\$ 510.00	\$ 6,630.00
G-35 (NEW)	Drill Shaft (TRF SIG POLE) (48 IN)	22	LF	\$ 595.00	\$ 13,090.00
G-36 (NEW)	Conduit (Prepare) (TxDOT 6027)	468	LF	\$ 3.00	\$ 1,404.00
G-37 (NEW)	Ground Box (Prepare) (TxDOT 6027)	3	EA	\$ 380.00	\$ 1,140.00
Illumination/Irrigation					
NEW	Conduit (PVC)(SCH 40)(2")(Trench) (Irrigation)	2,214	LF	\$ 18.00	\$ 39,852.00
NEW	Conduit (PVC)(SCH 40)(2")(Trench) (Illumination)	2,331	LF	\$ 18.25	\$ 42,540.75
NEW	Conduit (PVC)(SCH 40)(4")(Trench) (Irrigation)	2,220	LF	\$ 28.00	\$ 62,160.00
NEW	Illumination Pole Foundation (Installation Only)	13	EA	\$ 2,110.00	\$ 27,430.00
NEW	Illumination Ground Box	13	EA	\$ 1,965.00	\$ 25,545.00
NEW	Mobilization - Electrical	1	LS	\$18,500.00	\$ 18,500.00

TOTAL COST CHANGE ORDER 5:	\$32,187.00
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The compensation agreed to upon in this change order is full, complete and final payment for all costs the Contractor may incur as a result of or related to this change whether said costs are known, unknown, foreseen or unforeseen at this time, including without limitation, any cost for delay, extended overhead, ripple or impact cost, or any other affect on changed or unchanged work as a result of this Change Order.

Contract Cost and/or Time Impacts:

Original Contract Amount	\$10,097,474.50
Previously Approved Change Order Amount	\$625,383.29
Adjusted Contract Amount	\$10,722,857.79
Proposed Change Order Amount (this change order)	\$32,187.00
Revised Contract Amount	\$10,755,044.79
Previous Contract Time	660
Previous Substantial Completion Date	10-Nov-23
Previous Final Completion Date	9-Jan-24
Proposed Change in Contract Time (this change order)	
Revised Contract Time	660
Revised Substantial Completion Date	10-Nov-23
Revised Final Completion Date	9-Jan-24

Recommended by:
FREESE AND NICHOLS, INC.

By _____
Date

Approved by:
Jay Mills Contracting, Inc.

By _____
Date

Approved by:
City of Stephenville

By _____
Date

PROJECT:	Harbin Drive Improvements		
OWNER:	City of Stephenville	OWNER PROJ #	ITB 3299
CONTRACTOR:	Jay Mills Contracting, Inc.	CONTRACTOR #	9377
ENGINEER:	Freese and Nichols, Inc.	ENG. PROJ. #	STE19752

CHANGE ORDER NO. 6 CHANGE ORDER DATE: _____

Change Order Description: Concrete pavement and curb and gutter quantity adjustment to match construction method.
 Make following additions/deletions or modifications to work described in the Contract Documents:

	Pay Item	Quantity Change	Unit	Unit Cost	Cost
H-01	8" Reinforced Portland Cement Concrete	6,786	SY	\$ 49.75	\$ 337,603.50
D-05	Concrete Curb and Gutter	-24,360	LF	\$ 22.75	\$ (554,190.00)
NEW	Monolithic Curb	24,360	LF	\$ 9.00	\$ 219,240.00
NEW	Median Concrete Paving (4")	715	SY	\$ 58.00	\$ 41,470.00

TOTAL COST CHANGE ORDER 6: \$44,123.50

The compensation agreed to upon in this change order is full, complete and final payment for all costs the Contractor may incur as a result of or related to this change whether said costs are known, unknown, foreseen or unforeseen at this time, including without limitation, any cost for delay, extended overhead, ripple or impact cost, or any other affect on changed or unchanged work as a result of this Change Order.

Contract Cost and/or Time Impacts:

Original Contract Amount	\$10,097,474.50
Previously Approved Change Order Amount	\$657,570.29
Adjusted Contract Amount	\$10,755,044.79
Proposed Change Order Amount (this change order)	\$44,123.50
Revised Contract Amount	\$10,799,168.29
Previous Contract Time	660
Previous Substantial Completion Date	10-Nov-23
Previous Final Completion Date	9-Jan-24
Proposed Change in Contract Time (this change order)	
Revised Contract Time	660
Revised Substantial Completion Date	10-Nov-23
Revised Final Completion Date	9-Jan-24

Recommended by:
 FREESE AND NICHOLS, INC.
 By _____
Date

Approved by:
 Jay Mills Contracting, Inc.
 By _____
Date

Approved by:
 City of Stephenville
 By _____
Date

Public Works
STAFF REPORT



SUBJECT: Eastside Sewer Interceptor – Phase I Project – Change Order
MEETING: Public Works Committee Meeting – 19 SEP 2023
DEPARTMENT: Public Works
STAFF CONTACT: Nick Williams

RECOMMENDATION:

Staff recommends approval of Change Order #1 to the contract with MH Civil Constructors, Inc. for the Eastside Sewer Interceptor – Phase I Project in the total amount of \$164,500.

BACKGROUND:

On October 18, 2022, the City of Stephenville awarded the above referenced project to MH Civil Constructors, Inc. for the Base Bid amount of \$22,517,000.

The project includes the installation of approximately three miles of gravity sanitary sewer pipe ranging in size from 4-inch to 48-inch diameter using various installation methods including open-cut trenching, boring, and tunneling. The project spans from the Stephenville Wastewater Treatment Plant northwards to Collins Street along the east side of the Bosque River.

PROJECT:

Change Order #1 is needed for the demolition and removal of an existing subsurface concrete structure in conflict with the sewer alignment. The buried structure was unknown until excavation began for the proposed sewer line.

A transmittal letter from the design engineer at Parkhill is attached with additional details and photographs.

FISCAL IMPACT SUMMARY:

Project funding in the amount of \$22,661,479 was appropriated in FY22-23 from a combination of carryover, America Rescue Plan Act (ARPA) funds, cash reserves, and 2022 bonds. Discussions with the Finance Department confirm the FY22-23 revenues exceed budget projections for utility service charges and are sufficient to cover the change order.

Below are tabulations of project costs.

	Amount
Original Contract	\$ 22,517,000
Change Order No. 1	\$ 164,500
Revised Contract	\$ 22,681,500

It is recommended that Change Order #1 be approved for a revised total contact amount of \$22,681,500 and net increase of 10 contract days. Project completion is anticipated at the end of 2024.

ATTACHMENTS:

- [Change Order #1](#)
- [Parkhill Transmittal Letter](#)

PROJECT: Eastside Sewer Interceptor - Phase I
 OWNER: City of Stephenville
 CONTRACTOR: MH Civil Constructors, Inc.
 ENGINEER: Parkhill Smith & Cooper, Inc.

CHANGE ORDER NO.: 1 CHANGE ORDER DATE: _____

Make following additions/deletions or modifications to work described in the Contract Documents:

Item	Description	Qty.	Unit	Unit Cost	Cost
NEW	Removal of Concrete Structure	10	DAY	\$16,450.00	\$164,500.00

TOTAL COST OF THIS CHANGE ORDER: \$164,500.00

The compensation agreed to upon in this change order is full, complete and final payment for all costs the Contractor may incur as a result of or related to this change whether said costs are known, unknown, foreseen or unforeseen at this time, including without limitation, any cost for delay, extended overhead, ripple or impact cost, or any other affect on changed or unchanged work as a result of this Change Order.

Contract Cost and/or Time Impacts:

	Original Contract Amount	\$22,517,000.00
	Previously Approved Change Order Amount	\$0.00
	Adjusted Contract Amount	\$22,517,000.00
	Proposed Change Order Amount (this change order)	\$164,500.00
	Revised Contract Amount	\$22,681,500.00
	Previous Contract Time	540
	Previous Substantial Completion Date	8-Oct-24
	Previous Final Completion Date	7-Dec-24
	Net Change in Contract Time	10
	Revised Contract Time	550
	Revised Substantial Completion Date	18-Oct-24
	Revised Final Completion Date	17-Dec-24

Recommended by:
 Parkhill Smith & Cooper, Inc.

By _____
Date

Approved by:
 MH Civil Constructors, Inc.

By _____
Date

Approved by:
 City of Stephenville

By _____
Date

August 30, 2023

Mr. Nick Williams, PE
Director of Public Works
City of Stephenville
298 W Washington St.
Stephenville, TX 76401

RE: City of Stephenville Eastside Sewer Interceptor Phase I Project
Proposed Change Order 01

Dear Mr. Williams and Members of City Council:

The purpose of this letter is to provide you with information on the subject Project's required Change Order 01 to better inform you of its review process and added scope. Below is a description of services outlining such details.

This Change Order is due to an unforeseen underground conflict between the proposed sewer line and a large, subsurface concrete structure blocking the alignment. This change order accounts for the labor and time it took the General Contractor, MH Civil Constructors, to completely demolish, remove and stockpile on site the concrete material in the project area. The cost breakdown was per day of demolition, including labor and equipment rental for the water truck, hammer, excavator, and loader as shown in the Change Order General Scope of Work attached from the General Contractor. Costs associated with this change totaled **\$164,500.00** over a total of 10 days for an average cost per day of **\$16,450.00** which is slightly less than the original Change Order cost of **\$17,200.00** per day.

Initially, this Change Order was executed with the cost per day, but not knowing how long the demolition and removal process would take. After conferring with the Owner's field representative on-site coupled with site visits from the Engineer, we believe this time and cost from Change Order 1 is justified for the scope of work it entailed. Attached for your review are photos from the job site outlining the structure and the labor and machinery needed to perform the work.

If you have questions or would like to request additional information, please contact me at 817.633.0434. Thank you for your time and consideration.

Sincerely,

PARKHILL

By 
Ryan Kennerly, PE
Principal

RK/LA/kg

Enclosures

\\data1\Projects 2\2018\0963.18\05_CONSTR-2022_InterceptorPhase1\04_CHANGE\03_CHNG_ORDER\CHNG_ORDER_01\CO01-RecToCity_08022023.docx















COMMITTEE REPORT

REPORT TYPE: Finance Committee Report

MEETING: September 19, 2023

Present: Justin Haschke, chair; David Baskett, Brandon Greenhaw, Mark McClinton

Absent: None

DEPARTMENT: Finance

STAFF CONTACT: Monica Harris

DISCUSS AND APPROVE AUDIT PROPOSALS FOR AUDIT SERVICES BEGINNING WITH FISCAL YEAR ENDING SEPTEMBER 30, 2023

The City of Stephenville requested proposals for audit services for the fiscal year ending September 30, 2023, with the option to renew annually for the next four years. Four proposals were received and evaluated. Based upon the evaluations, BMY's proposal was chosen as the successful proposal.

The motion was made and seconded to forward the audit services award to BMY to the full Council with a positive recommendation for approval. The motion passed unanimously.

DISCUSS AND APPROVE FEE SCHEDULE FOR FISCAL YEAR 2023-2024

Staff presented the proposed fee schedule for fiscal year 2023-2024. The motion was made and seconded to forward the fee schedule to the full Council with a positive recommendation for approval. City Council adopted the fee schedule at the special council meeting on September 19, 2023.

**CITY OF STEPHENVILLE
PROPOSALS FOR AUDIT SERVICES
EVALUATION WORKSHEET**

	BMV	BW&C	PB&H	EideBailly		
I. Mandatory Criteria:						
A. Licensed CPAs	Yes	Yes	Yes	Yes		
B. Independent auditor	Yes	Yes	Yes	Yes		
C. No record of substandard work	None	None	Yes	None		
D. Meets all RFP requirements	Yes	Yes	Yes	Yes		
II. Technical Criteria						
A. Technical experience of firm						
1. City government (0-15)	15	15	15	15		
2. Other government entities (0-5)	5	4	5	5		
B. Characteristics of staff						
1. Size and structure (0-5)	3	4	5	3		
2. Qualifications (0-20)	20	20	20	20		
3. Supervision (0-15)	15	8	3	8		
C. Understanding of work to be performed						
1. Comprehensiveness of work plan (0-5)	3	5	5	5		
2. Realistic time estimate (0-10)	8	10	5	10		
III. Cost criteria (0-25)	25	22	19	19		
IV. Oral interview (if necessary) (0-15)						
Total points	94	88	77	85	-	-
Time Estimate	230	311	490	335		
Proposed costs 2023	45,000	49,500	56,250	53,000		
Proposed costs 2024	45,500	50,750	57,940	56,700		
Proposed costs 2025	46,000	52,000	59,680	60,675		
Proposed costs 2026	46,500	53,500	61,470	64,900		
Proposed costs 2027	47,000	55,000	63,310	69,450		
Total Proposal Cost	230,000	260,750	298,650	304,725		



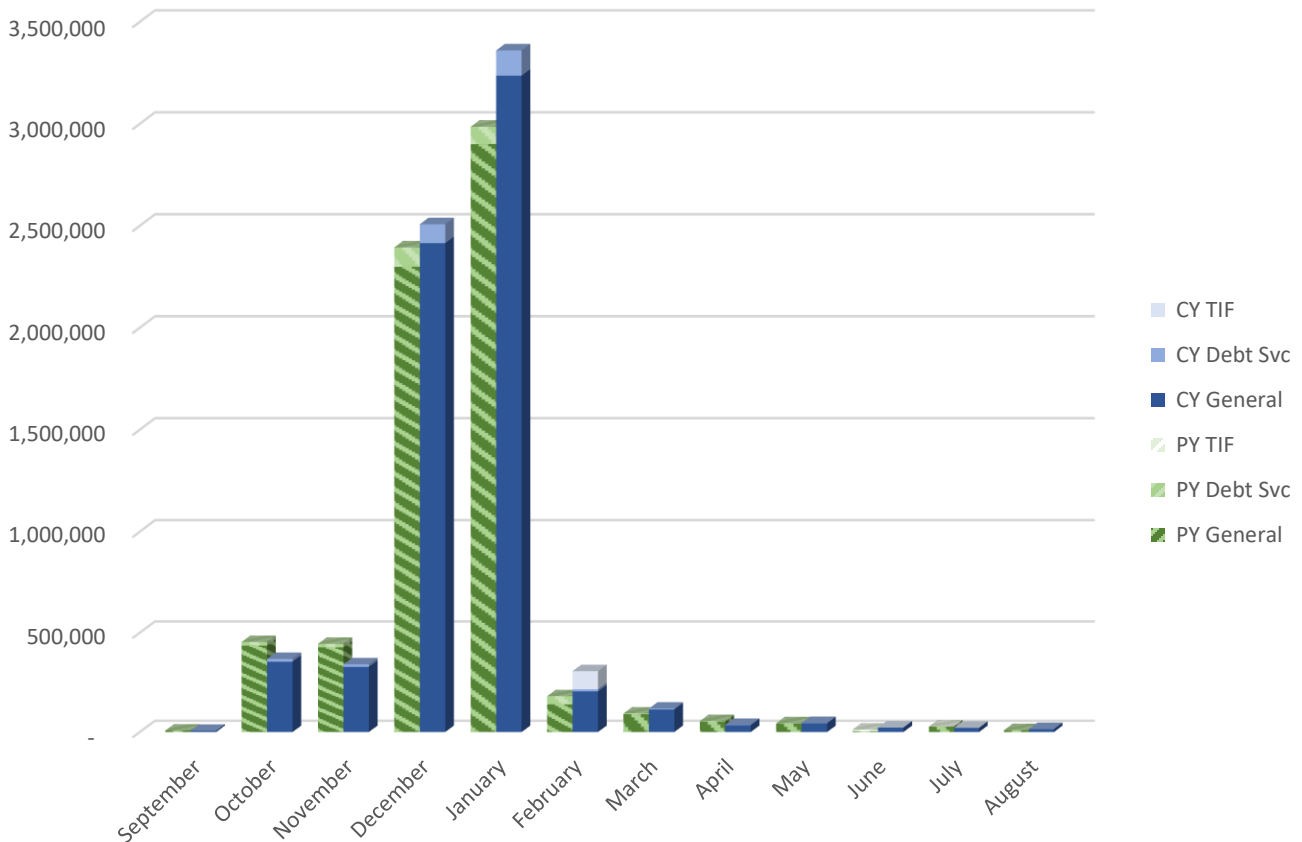
STAFF REPORT

SUBJECT: Monthly Budget Report for the Period Ending August 31, 2023
DEPARTMENT: Finance
STAFF CONTACT: Monica Harris

BACKGROUND:

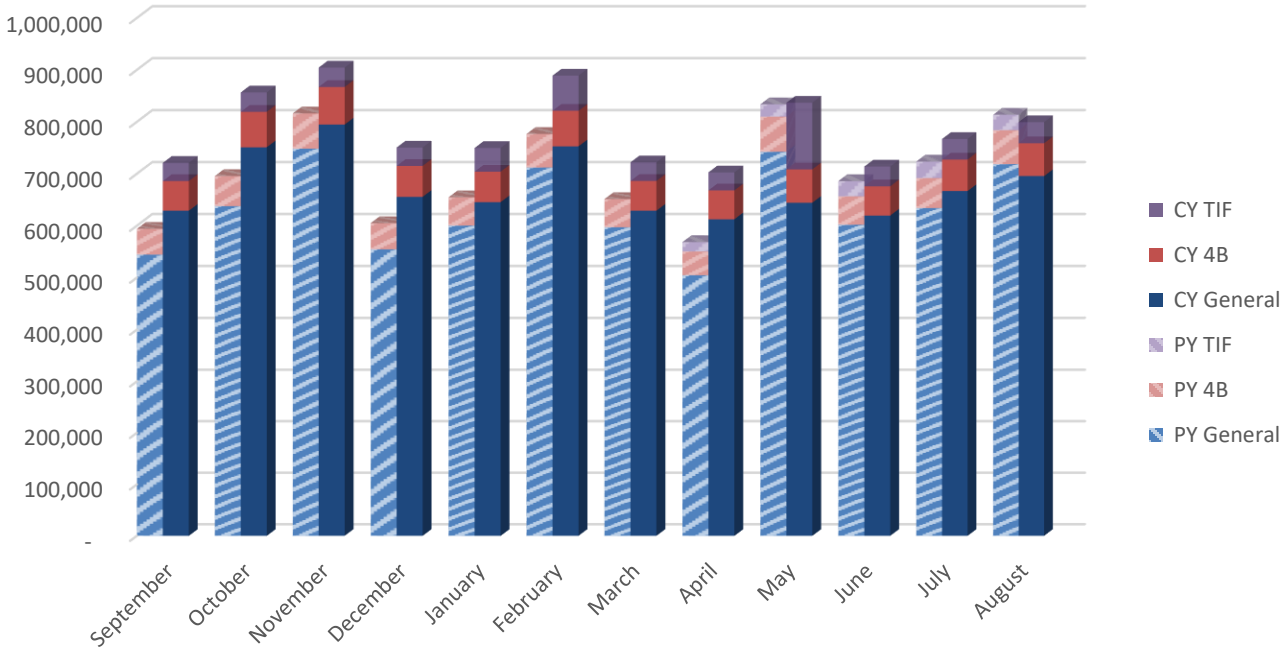
In reviewing the financial statements ending August 31, 2023, the financial indicators are overall as or better than anticipated.

Property Tax Collections
 2 year 12 month rolling comparison



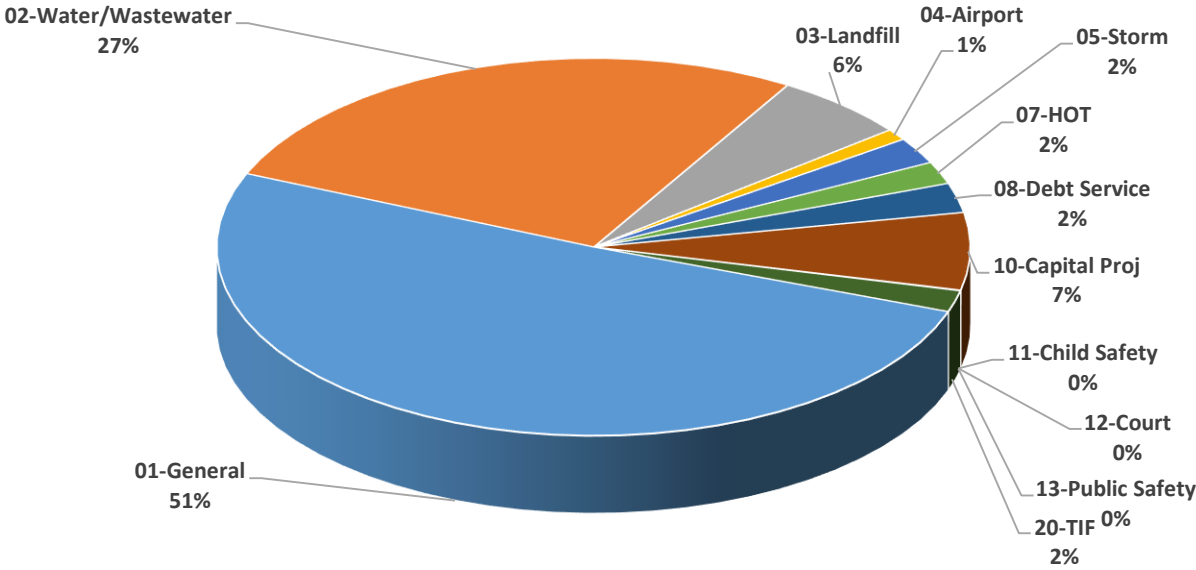
We received \$15K in property taxes in the month of August, resulting in a \$442K increase over the funds collected last fiscal year to date. The amount collected is 97% of the budget, which is \$178K less than anticipated.

Sales and Use Tax 2 year 12 month rolling comparison



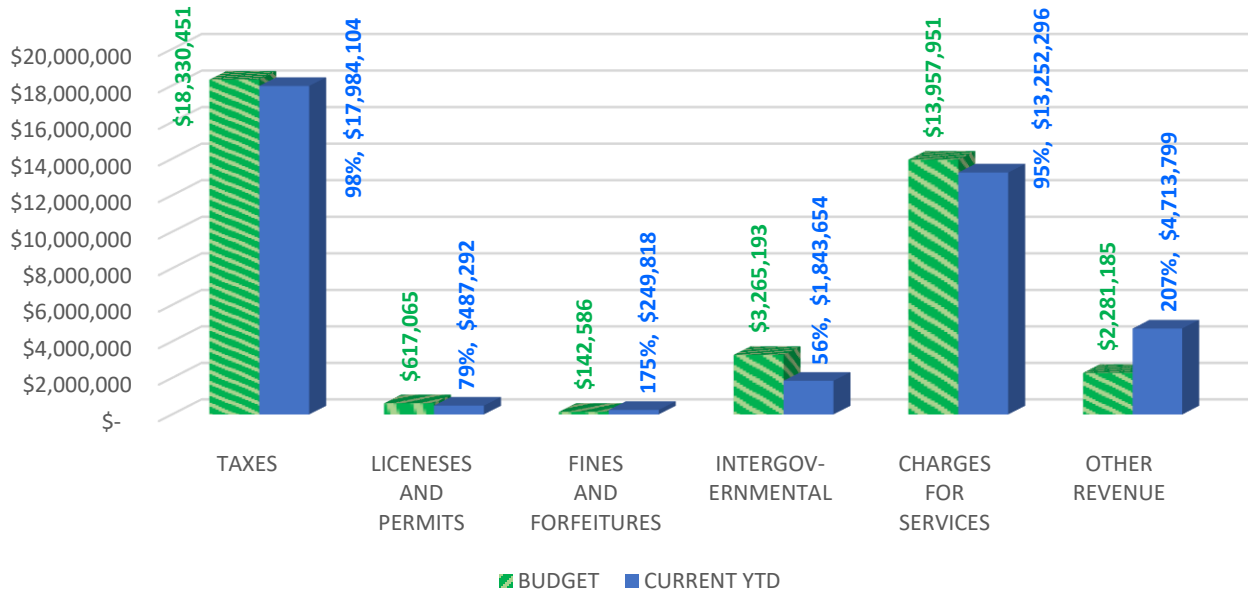
We received \$799K in sales tax in August, resulting in \$1 million or 13% more than the funds collected last fiscal year to date. The amount collected is 96% of the \$9 million budget, which is \$417K higher than anticipated.

Revenue by Fund



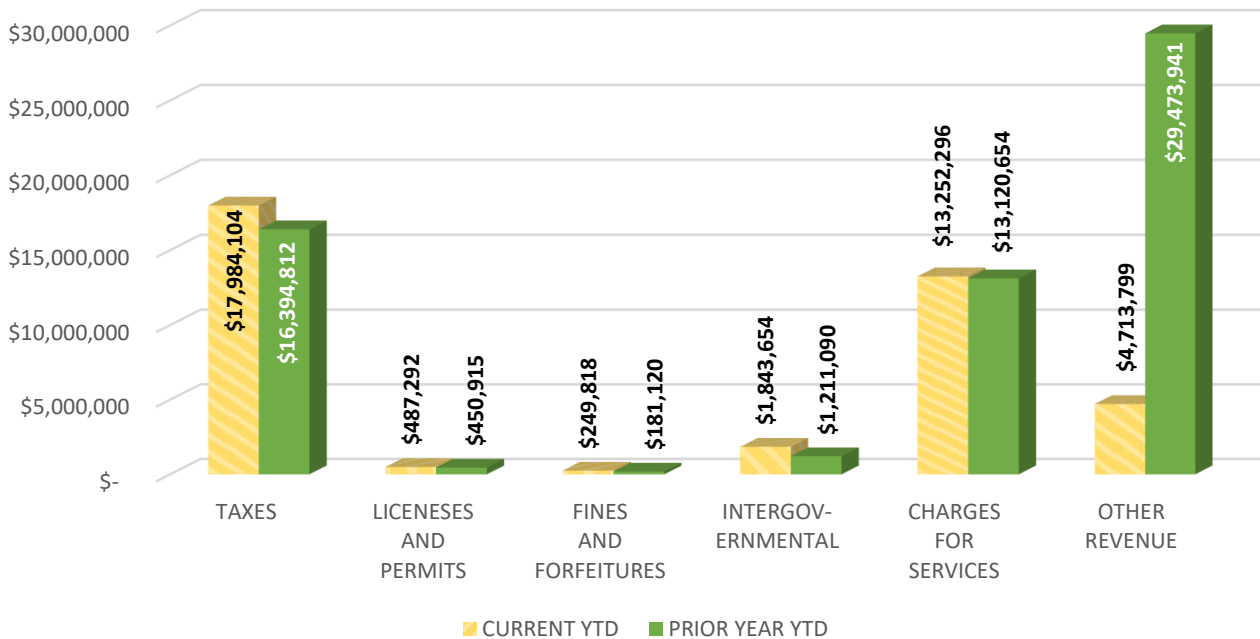
Of the \$42.9 million revenue received to date, 51% was received in the General Fund, 27% was received in the Water/Wastewater Fund and 6% was received in the Landfill Fund.

Revenue - Budget vs Actual



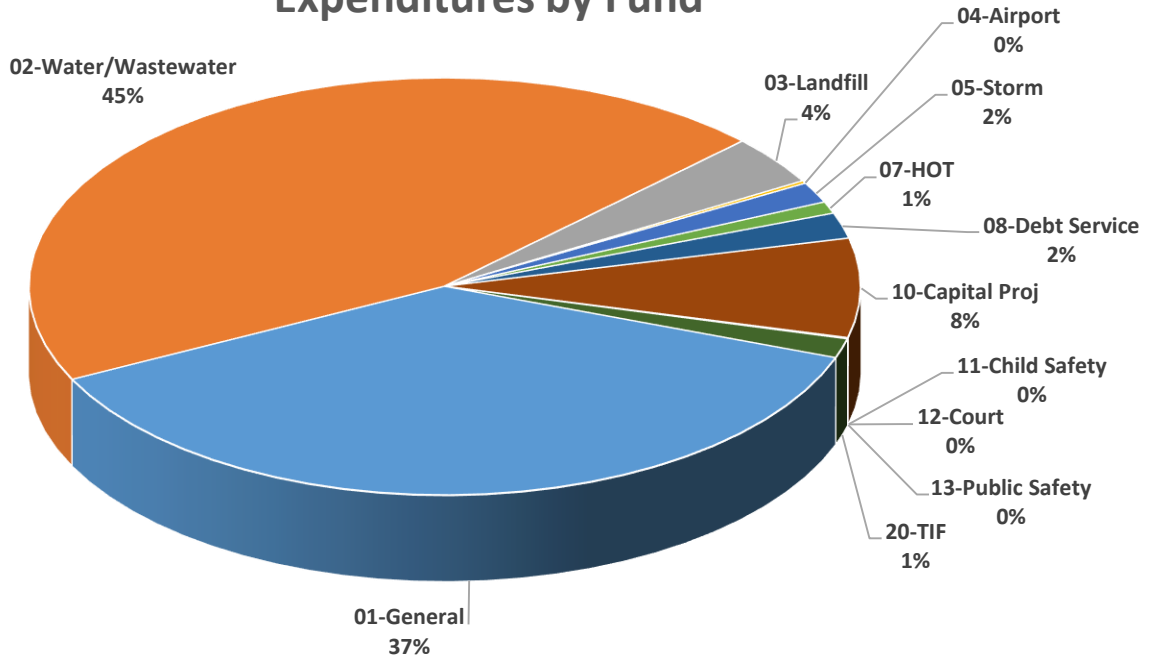
We have received almost 100% of the total budgeted revenues through August, which is \$3.3 million more than anticipated due to taxes, charges for services, and other revenue such as investment income, donations, and debt proceeds.

Revenue - Prior Year Comparison



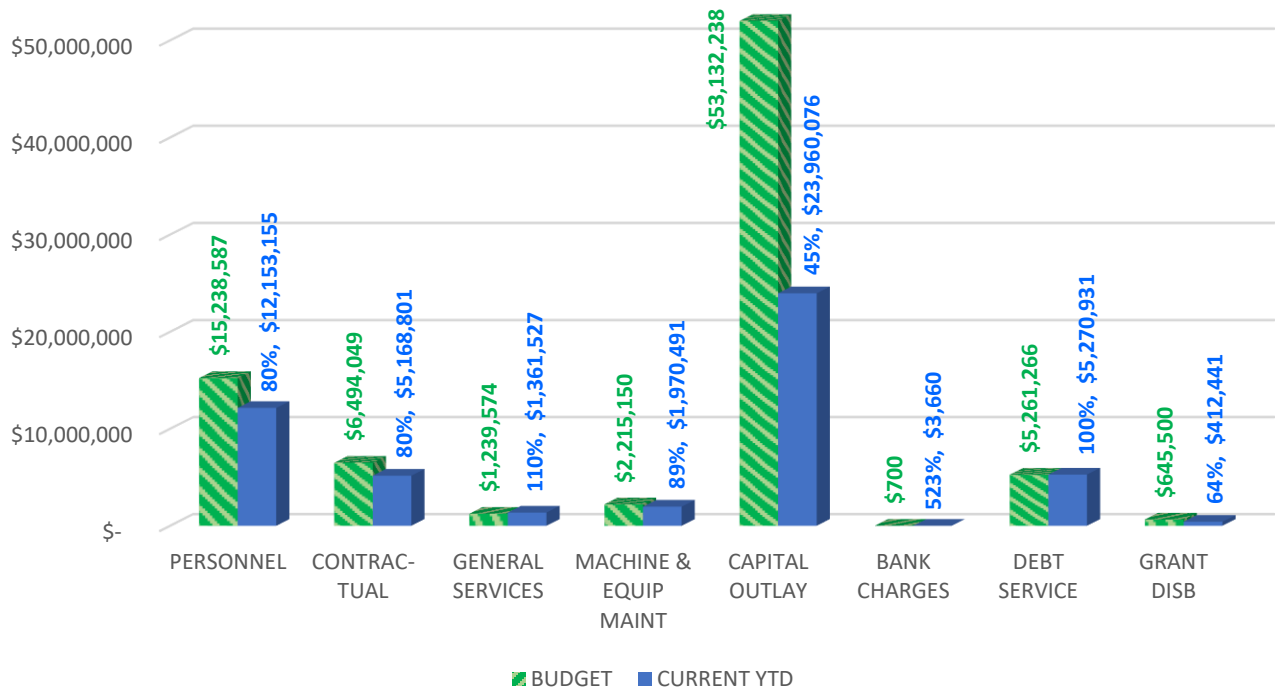
We received \$22.3 million less in revenue through August than last year to date due to debt proceeds; however, we have received \$1.6 million more in taxes, \$633K more in intergovernmental, and \$132K more in charges for services over last year to date.

Expenditures by Fund



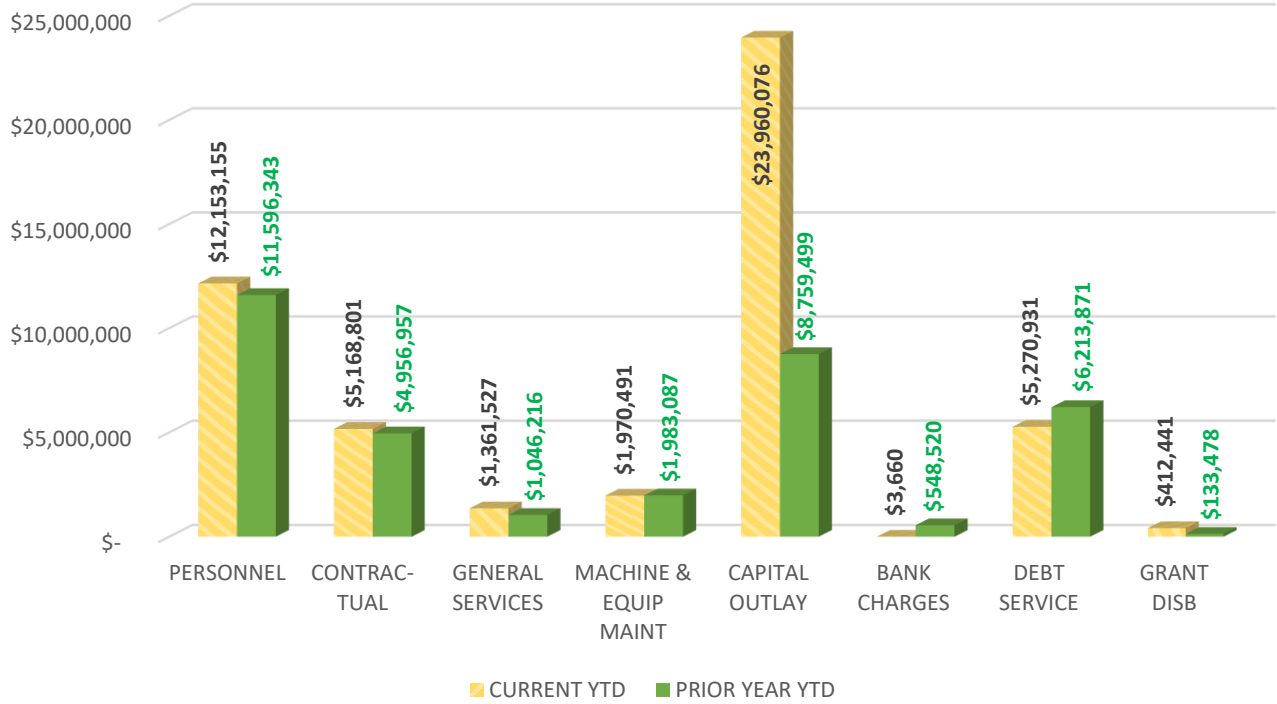
Of the \$54.7 million spent to date, 45% was expended in the Water/Wastewater Fund, 37% was expended in the General Fund, 8% was expended the Capital Projects Fund, and 4% was expended in the Landfill Fund.

Expenditures - Budget vs Actual



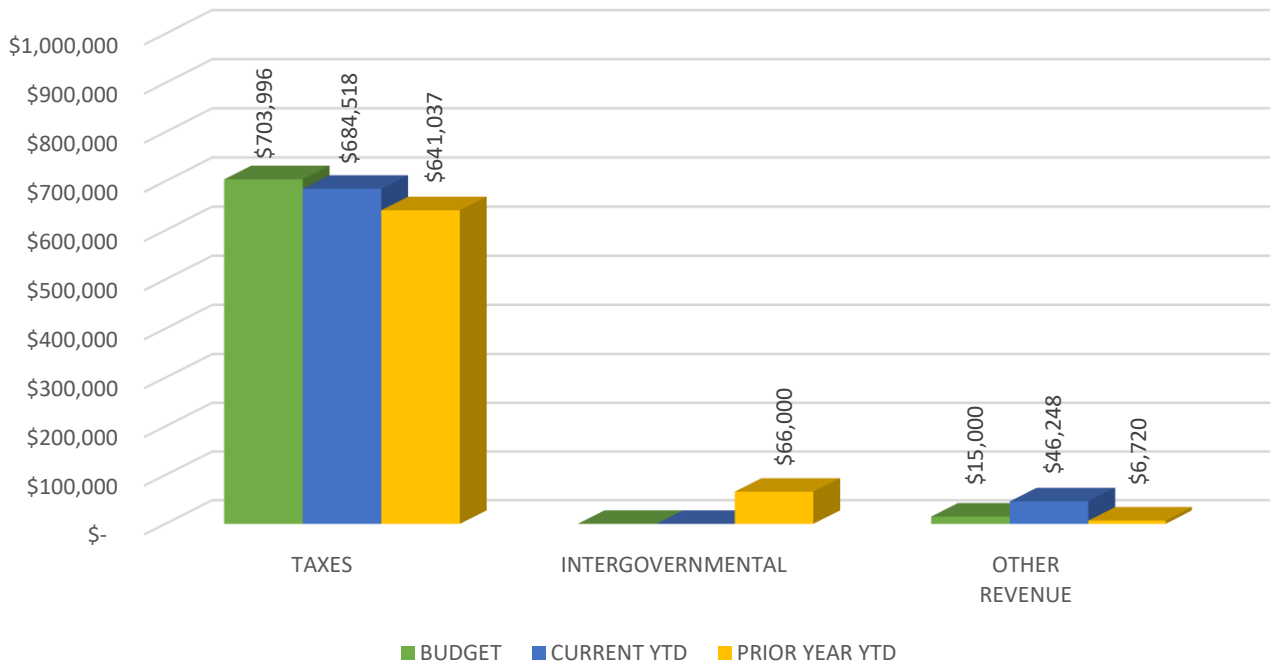
We have expended 60% of the total budgeted expenditures through August, which is \$26.5 million less than anticipated due to personnel, contractual and capital outlay.

Expenditures - Prior Year Comparison



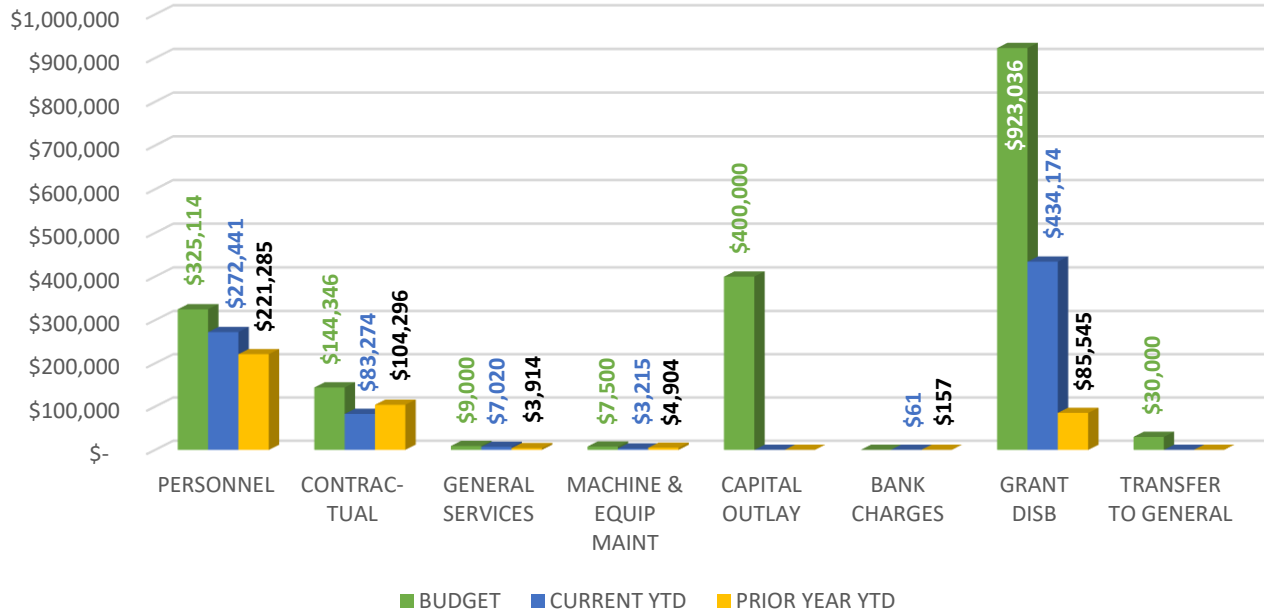
We spent \$15 million more in expenditures through August than last year to date, the bulk of which is capital outlay.

SEDA Revenue Comparison



SEDA has received an overall 102% of budgeted revenue through August, which is \$17K more than last year to date and \$76K more than anticipated due to taxes and interest income.

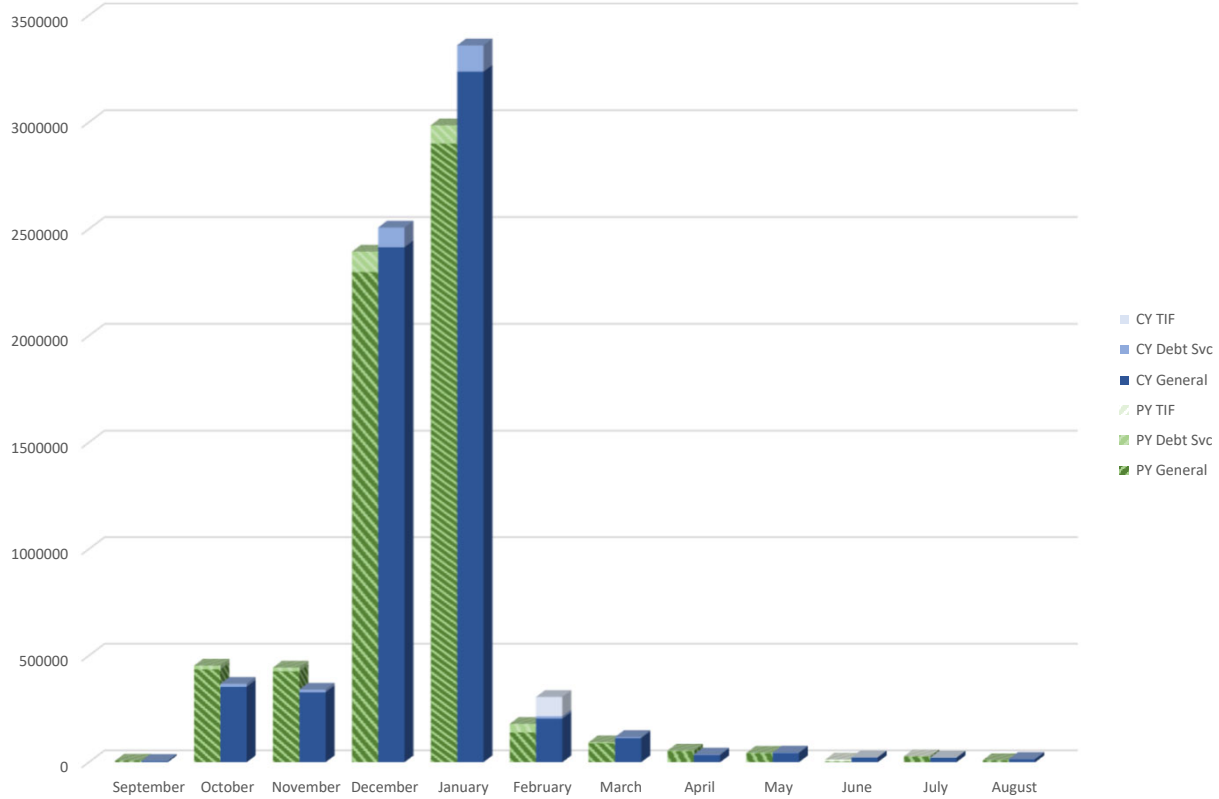
SEDA Expenditure Comparison



SEDA has spent an overall 44% of budgeted expenditures through August, which is \$380K more than last year to date due to personnel and grant disbursements but \$872K less than anticipated due to capital outlay and grant disbursements.



Property Tax Collections
2 year 12 month rolling comparison



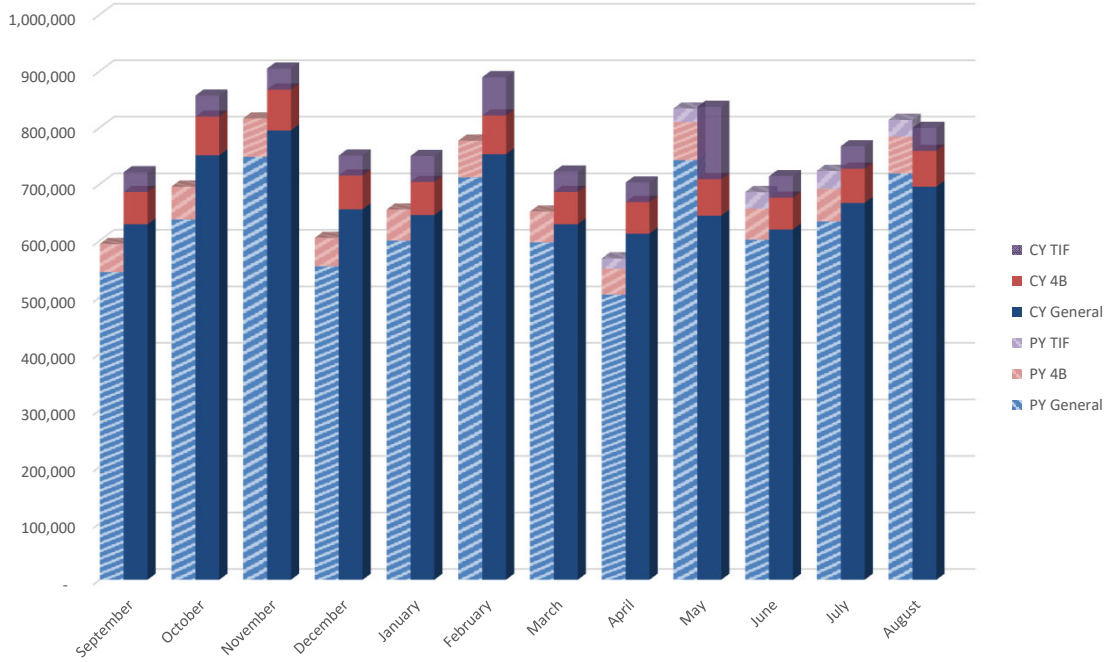
Month	General Fund	Debt Svc	TIF	Total	Month	General Fund	Debt Svc	TIF	Total
Sep-21	7,059	300	-	7,359	Sep-22	5,893	252	-	6,145
Oct-21	435,350	17,955	-	453,305	Oct-22	353,997	13,810	-	367,806
Nov-21	426,306	17,588	-	443,894	Nov-22	328,095	12,581	-	340,676
Dec-21	2,299,000	94,802	-	2,393,802	Dec-22	2,414,751	92,491	-	2,507,242
Jan-22	2,900,794	84,898	-	2,985,692	Jan-23	3,236,094	123,719	-	3,359,813
Feb-22	139,716	40,485	-	180,201	Feb-23	204,376	11,299	90,511	306,185
Mar-22	89,653	3,698	-	93,351	Mar-23	113,674	4,365	-	118,039
Apr-22	52,666	2,172	-	54,838	Apr-23	34,588	1,329	-	35,917
May-22	42,164	1,926	-	44,090	May-23	43,776	1,691	-	45,467
Jun-22	3,566	652	7,969	12,187	Jun-23	22,298	864	-	23,162
Jul-22	27,022	1,193	-	28,214	Jul-23	20,824	789	-	21,613
Aug-22	8,974	521	-	9,495	Aug-23	14,657	607	-	15,264
12 month total				<u>6,706,428</u>	12 month total				<u>7,147,328</u>
Oct 2021-Aug 2022				<u>6,699,070</u>	Oct 2022-Aug 2023				<u>7,141,184</u>
FY 2021-2022 Total				6,705,214	FY 2022-2023 Budget				7,332,322

Collection to date as percentage of fiscal year total 99.91%

Collection to date as percentage of fiscal year budget 97.39%



Sales and Use Tax
2 year 12 month rolling comparison



Month	General	4B	TIF	Total	Month	General	4B	TIF	Total	% Change +/-
Sep-21	544,489	49,499	-	593,988	Sep-22	628,870	57,170	35,054	721,094	21.40%
Oct-21	637,613	57,965	-	695,578	Oct-22	750,926	68,266	37,363	856,555	23.14%
Nov-21	748,251	68,023	-	816,274	Nov-22	794,878	72,262	37,299	904,439	10.80%
Dec-21	554,591	50,417	-	605,009	Dec-22	655,484	59,589	35,438	750,511	24.05%
Jan-22	600,295	54,572	-	654,868	Jan-23	645,364	58,669	45,703	749,737	14.49%
Feb-22	712,030	64,730	-	776,760	Feb-23	752,799	68,436	67,794	889,029	14.45%
Mar-22	597,069	54,279	-	651,348	Mar-23	628,988	57,181	35,931	722,100	10.86%
Apr-22	504,572	45,870	18,078	550,442	Apr-23	612,376	55,671	34,659	702,706	27.66%
May-22	742,430	67,494	23,768	809,924	May-23	644,203	64,276	128,365	836,844	3.32%
Jun-22	601,902	54,718	29,243	656,620	Jun-23	619,536	56,321	38,026	713,883	8.72%
Jul-22	634,088	57,644	31,769	691,733	Jul-23	666,728	60,612	39,634	766,973	10.88%
Aug-22	718,562	65,324	29,738	783,886	Aug-23	695,586	63,235	40,619	799,440	1.98%
12 month total				<u>8,286,429</u>	12 month total				<u>9,413,310</u>	13.60%
Oct 2021-Aug 2022				<u>7,692,441</u>	Oct 2022-Aug 2023				<u>8,692,216</u>	13.00%
FY 2021-2022 Total				8,546,130	FY 2022-2023 Budget				9,047,981	
Collection to date as percentage of fiscal year total				90.01%	Collection to date as percentage of fiscal year budget				96.07%	



Fund: 01 - GENERAL FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
REVENUE SUMMARY										
TAXES	827,316.30	839,439.40	(12,123.10)	16,369,800.15	15,875,388.21	494,411.94	98	16,675,797.00	(305,996.85)	2
LICENSES AND PERMITS	24,509.71	10,138.94	14,370.77	461,334.83	562,041.34	(100,706.51)	78	588,565.00	(127,230.17)	22
FINES AND FORFEITURES	(5,236.79)	12,804.76	(18,041.55)	237,382.28	128,499.56	108,882.72	178	133,325.00	104,057.28	-78
INTERGOVERNMENTAL	217,036.11	300.00	216,736.11	682,022.37	53,300.00	628,722.37	288	236,600.00	445,422.37	-188
CHARGES FOR SERVICES	89,544.78	108,157.40	(18,612.62)	961,270.74	1,026,546.81	(65,276.07)	80	1,203,208.00	(241,937.26)	20
OTHER REVENUE	91,125.88	53,832.89	37,292.99	1,419,336.52	198,248.30	1,221,088.22	552	256,920.00	1,162,416.52	-452
TRANSFER	0.00	0.00	0.00	1,679,307.00	1,679,307.00	0.00	100	1,679,307.00	0.00	0
TOTAL REVENUE	1,244,295.99	1,024,673.39	219,622.60	21,810,453.89	19,523,331.22	2,287,122.67	105	20,773,722.00	1,036,731.89	-5
EXPENSE SUMMARY										
CITY COUNCIL	16,862.62	44,617.49	27,754.87	1,157,129.88	500,166.03	(656,963.85)	212	546,280.00	610,849.88	-112
CITY MANAGER	30,491.72	31,828.76	1,337.04	261,899.48	364,324.36	102,424.88	63	416,165.00	(154,265.52)	37
CITY SECRETARY	2,257.97	12,377.07	10,119.10	135,196.23	137,946.85	2,750.62	87	155,487.00	(20,290.77)	13
EMERGENCY MANAGEMENT	199.98	1,508.99	1,309.01	15,381.72	16,598.89	1,217.17	85	18,108.00	(2,726.28)	15
MUNICIPAL BUILDING	13,181.38	16,183.27	3,001.89	125,080.55	182,405.63	57,325.08	63	199,936.00	(74,855.45)	37
MUNICIPAL SERVICES CTR	5,520.61	9,432.85	3,912.24	117,970.94	110,311.74	(7,659.20)	96	122,834.00	(4,863.06)	4
HUMAN RESOURCES	12,478.15	18,086.88	5,608.73	156,360.62	202,607.02	46,246.40	70	224,890.00	(68,529.38)	30
DOWNTOWN	21,368.77	18,483.48	(2,885.29)	201,214.95	205,635.30	4,420.35	88	228,123.00	(26,908.05)	12
FINANCE	38,276.94	69,504.20	31,227.26	575,740.21	785,360.67	209,620.46	65	881,636.00	(305,895.79)	35
INFORMATION TECHNOLOGY	25,421.83	35,264.14	9,842.31	386,678.67	394,622.80	7,944.13	88	440,022.00	(53,343.33)	12
TAX	44.80	16,732.74	16,687.94	197,453.76	184,060.14	(13,393.62)	98	200,793.00	(3,339.24)	2
LEGAL COUNSEL	10,683.00	11,034.89	351.89	106,694.41	121,551.79	14,857.38	80	132,587.00	(25,892.59)	20
MUNICIPAL COURT	11,283.88	10,458.49	(825.39)	124,756.58	117,679.20	(7,077.38)	95	131,170.00	(6,413.42)	5
STREET MAINTENANCE	101,381.20	85,044.61	(16,336.59)	701,298.43	977,005.85	275,707.42	65	1,083,683.00	(382,384.57)	35
PARKS & LEISURE ADM	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	

Budget Variance Report
Fund: 01 - GENERAL FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
PARKS & RECREATION	195,662.98	167,893.25	(27,769.73)	1,887,056.96	1,957,763.53	70,706.57	87	2,181,084.00	(294,027.04)	13
PARK MAINTENANCE	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
LIBRARY	20,543.22	21,890.19	1,346.97	230,621.38	250,355.57	19,734.19	82	282,811.00	(52,189.62)	18
SENIOR CENTER	11,496.31	103,413.69	91,917.38	158,333.92	1,144,587.77	986,253.85	13	1,252,674.00	(1,094,340.08)	87
AQUATIC CENTER	19,625.24	57,339.00	37,713.76	264,674.98	385,227.82	120,552.84	64	412,045.00	(147,370.02)	36
FIRE DEPARTMENT	393,323.76	298,175.40	(95,148.36)	4,403,845.12	3,666,264.68	(737,580.44)	105	4,195,841.00	208,004.12	-5
POLICE DEPARTMENT	475,920.34	471,477.04	(4,443.30)	6,528,967.99	5,810,596.84	(718,371.15)	100	6,542,936.00	(13,968.01)	0
DEVELOPMENT SERVICES	91,391.46	91,293.91	(97.55)	633,915.08	1,025,974.80	392,059.72	55	1,150,126.00	(516,210.92)	45
GIS	5,851.42	6,453.11	601.69	73,612.11	74,586.01	973.90	86	85,263.00	(11,650.89)	14
TRANSFERS	0.00	0.00	0.00	1,845,185.54	1,771,322.00	(73,863.54)	104	1,771,322.00	73,863.54	-4
TOTAL EXPENSE	1,503,267.58	1,598,493.45	95,225.87	20,289,069.51	20,386,955.29	97,885.78	90	22,655,816.00	2,366,746.49	10
REVENUE OVER/(UNDER) EXPENDITURE	(258,971.59)	(573,820.06)	314,848.47	1,521,384.38	(863,624.07)	2,385,008.45		(1,882,094.00)	(1,330,014.60)	

Budget Variance Report

Fund: 02 - WATER AND WASTEWATER FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
REVENUE SUMMARY										
LICENSES AND PERMITS	143.52	520.30	(376.78)	1,417.97	1,000.00	417.97	142	1,000.00	417.97	-42
INTERGOVERNMENTAL	0.00	219,708.41	(219,708.41)	24,000.00	2,416,792.51	(2,392,792.51)	1	2,637,556.00	(2,613,556.00)	99
CHARGES FOR SERVICES	1,148,180.20	1,052,510.44	95,669.76	9,975,886.30	9,415,147.79	560,738.51	95	10,471,363.00	(495,476.70)	5
OTHER REVENUE	152,782.80	131,610.56	21,172.24	1,608,979.09	354,731.80	1,254,247.29	348	463,000.00	1,145,979.09	-248
TRANSFER	0.00	0.00	0.00	82,662.00	82,662.00	0.00	100	82,662.00	0.00	0
TOTAL REVENUE	1,301,106.52	1,404,349.71	(103,243.19)	11,692,945.36	12,270,334.10	(577,388.74)	86	13,655,581.00	(1,962,635.64)	14
EXPENSE SUMMARY										
UTILITIES ADMINISTRATION	69,797.16	644,781.72	574,984.56	3,754,355.63	7,134,107.49	3,379,751.86	48	7,831,634.00	(4,077,278.37)	52
WATER PRODUCTION	166,395.37	452,920.49	286,525.12	4,858,052.94	5,011,768.17	153,715.23	89	5,477,117.00	(619,064.06)	11
WATER DISTRIBUTION	21,544.22	340,802.93	319,258.71	3,075,311.10	3,763,695.35	688,384.25	75	4,116,581.00	(1,041,269.90)	25
CUSTOMER SERVICE	21,768.25	24,482.04	2,713.79	334,835.41	280,128.43	(54,706.98)	106	314,470.00	20,365.41	-6
WASTEWATER COLLECTION	3,126,929.18	1,971,770.31	(1,155,158.87)	6,121,275.29	21,710,175.28	15,588,899.99	26	23,707,108.00	(17,585,832.71)	74
WASTEWATER TREATMENT	88,557.92	185,558.47	97,000.55	1,100,450.54	2,050,612.17	950,161.63	49	2,237,062.00	(1,136,611.46)	51
BILLING & COLLECTION	33,388.42	33,141.98	(246.44)	465,089.06	367,272.00	(97,817.06)	115	405,266.00	59,823.06	-15
NON-DEPARTMENTAL	538,507.36	518,270.62	(20,236.74)	4,952,988.79	4,928,340.82	(24,647.97)	96	5,183,089.00	(230,100.21)	4
TOTAL EXPENSE	4,066,887.88	4,171,728.56	104,840.68	24,662,358.76	45,246,099.71	20,583,740.95	50	49,272,327.00	24,609,968.24	50
REVENUE OVER/(UNDER) EXPENDITURE	(2,765,781.36)	(2,767,378.85)	1,597.49	(12,969,413.40)	(32,975,765.61)	20,006,352.21		(35,616,746.00)	(26,572,603.88)	

Budget Variance Report

Fund: 03 - SANITARY LANDFILL FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
<u>REVENUE SUMMARY</u>										
CHARGES FOR SERVICES	123,200.14	119,360.26	3,839.88	1,208,821.20	1,008,166.77	200,654.43	110	1,100,400.00	108,421.20	-10
OTHER REVENUE	9,649.99	4,207.06	5,442.93	1,267,909.50	12,689.92	1,255,219.58	7,308	17,350.00	1,250,559.50	7,208
TRANSFER	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
TOTAL REVENUE	132,850.13	123,567.32	9,282.81	2,476,730.70	1,020,856.69	1,455,874.01	222	1,117,750.00	1,358,980.70	-122
<u>EXPENSE SUMMARY</u>										
LANDFILL	47,625.42	76,366.47	28,741.05	2,092,616.86	949,863.88	(1,142,752.98)	201	1,040,961.00	1,051,655.86	-101
TOTAL EXPENSE	47,625.42	76,366.47	28,741.05	2,092,616.86	949,863.88	(1,142,752.98)	201	1,040,961.00	(1,051,655.86)	-101
REVENUE OVER/(UNDER) EXPENDITURE	85,224.71	47,200.85	38,023.86	384,113.84	70,992.81	313,121.03		76,789.00	2,410,636.56	

Budget Variance Report
Fund: 04 - AIRPORT FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
<u>REVENUE SUMMARY</u>										
INTERGOVERNMENTAL	0.00	0.00	0.00	0.00	0.00	0.00	0	10,000.00	(10,000.00)	100
CHARGES FOR SERVICES	8,286.79	10,814.56	(2,527.77)	120,218.39	118,546.86	1,671.53	92	130,350.00	(10,131.61)	8
OTHER REVENUE	0.00	118,539.21	(118,539.21)	0.00	1,303,931.31	(1,303,931.31)	0	1,423,040.00	(1,423,040.00)	100
TRANSFER	0.00	0.00	0.00	297,325.00	297,325.00	0.00	100	297,325.00	0.00	0
TOTAL REVENUE	8,286.79	129,353.77	(121,066.98)	417,543.39	1,719,803.17	(1,302,259.78)	22	1,860,715.00	(1,443,171.61)	78
<u>EXPENSE SUMMARY</u>										
AIRPORT	13,575.68	142,127.14	128,551.46	114,102.74	1,572,599.80	1,458,497.06	7	1,719,462.00	(1,605,359.26)	93
TOTAL EXPENSE	13,575.68	142,127.14	128,551.46	114,102.74	1,572,599.80	1,458,497.06	7	1,719,462.00	1,605,359.26	93
REVENUE OVER/(UNDER) EXPENDITURE	(5,288.89)	(12,773.37)	7,484.48	303,440.65	147,203.37	156,237.28		141,253.00	(3,048,530.87)	

Budget Variance Report

Fund: 05 - STORM WATER DRAINAGE FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
REVENUE SUMMARY										
LICENSES AND PERMITS	1,602.36	2,082.50	(480.14)	19,390.28	22,907.50	(3,517.22)	78	25,000.00	(5,609.72)	22
INTERGOVERNMENTAL	0.00	9,371.25	(9,371.25)	0.00	103,083.75	(103,083.75)	0	112,500.00	(112,500.00)	100
CHARGES FOR SERVICES	83,329.91	84,615.00	(1,285.09)	918,603.58	930,765.00	(12,161.42)	90	1,015,380.00	(96,776.42)	10
OTHER REVENUE	4,515.50	664.49	3,851.01	34,648.50	1,616.92	33,031.58	1,540	2,250.00	32,398.50	1,440
TOTAL REVENUE	89,447.77	96,733.24	(7,285.47)	972,642.36	1,058,373.17	(85,730.81)	84	1,155,130.00	(182,487.64)	16
EXPENSE SUMMARY										
STORM WATER DRAINAGE	105,732.65	110,804.99	5,072.34	878,704.29	1,033,506.89	154,802.60	83	1,062,812.00	(184,107.71)	17
TOTAL EXPENSE	105,732.65	110,804.99	5,072.34	878,704.29	1,033,506.89	154,802.60	83	1,062,812.00	184,107.71	17
REVENUE OVER/(UNDER) EXPENDITURE	(16,284.88)	(14,071.75)	(2,213.13)	93,938.07	24,866.28	69,071.79		92,318.00	(366,595.35)	

Budget Variance Report

Fund: 07 - HOTEL OCCUPANCY TAX FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
REVENUE SUMMARY										
TAXES	67,706.73	66,670.48	1,036.25	717,788.98	623,557.53	94,231.45	103	694,278.00	23,510.98	-3
INTERGOVERNMENTAL	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
CHARGES FOR SERVICES	0.00	0.00	0.00	61,202.49	24,750.00	36,452.49	247	24,750.00	36,452.49	-147
OTHER REVENUE	6,123.56	1,235.41	4,888.15	47,257.33	3,086.75	44,170.58	1,050	4,500.00	42,757.33	-950
TRANSFER	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
TOTAL REVENUE	73,830.29	67,905.89	5,924.40	826,248.80	651,394.28	174,854.52	114	723,528.00	102,720.80	-14
EXPENSE SUMMARY										
TOURISM	11,969.95	89,955.29	77,985.34	368,184.20	729,552.91	361,368.71	47	786,707.00	(418,522.80)	53
NON-DEPARTMENTAL	36,350.00	0.00	(36,350.00)	135,902.50	0.00	(135,902.50)		0.00	135,902.50	
TOTAL EXPENSE	48,319.95	89,955.29	41,635.34	504,086.70	729,552.91	225,466.21	64	786,707.00	282,620.30	36
REVENUE OVER/(UNDER) EXPENDITURE	25,510.34	(22,049.40)	47,559.74	322,162.10	(78,158.63)	400,320.73		(63,179.00)	(179,899.50)	

Budget Variance Report

Fund: 08 - DEBT SERVICE FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
<u>REVENUE SUMMARY</u>										
TAXES	770.71	515.44	255.27	265,173.99	270,323.71	(5,149.72)	98	270,443.00	(5,269.01)	2
OTHER REVENUE	124.99	115.29	9.70	2,605.28	378.40	2,226.88	521	500.00	2,105.28	-421
TRANSFER	0.00	0.00	0.00	823,850.00	823,850.00	0.00	100	823,850.00	0.00	0
TOTAL REVENUE	895.70	630.73	264.97	1,091,629.27	1,094,552.11	(2,922.84)	100	1,094,793.00	(3,163.73)	0
<u>EXPENSE SUMMARY</u>										
DEBT SERVICE	192,157.92	192,233.31	75.39	1,092,507.92	1,092,866.41	358.49	100	1,092,925.00	(417.08)	0
TOTAL EXPENSE	192,157.92	192,233.31	75.39	1,092,507.92	1,092,866.41	358.49	100	1,092,925.00	417.08	0
REVENUE OVER/(UNDER) EXPENDITURE	(191,262.22)	(191,602.58)	340.36	(878.65)	1,685.70	(2,564.35)		1,868.00	(3,580.81)	

Budget Variance Report

Fund: 10 - CAPITAL PROJECTS FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
REVENUE SUMMARY										
LICENSES AND PERMITS	840.00	208.25	631.75	5,148.75	2,290.75	2,858.00	206	2,500.00	2,648.75	-106
INTERGOVERNMENTAL	0.00	0.00	0.00	1,134,262.95	0.00	1,134,262.95	427	265,737.00	868,525.95	-327
CHARGES FOR SERVICES	3,202.50	1,041.25	2,161.25	6,293.13	11,453.75	(5,160.62)	50	12,500.00	(6,206.87)	50
OTHER REVENUE	31,339.16	29,340.44	1,998.72	306,173.17	82,224.03	223,949.14	272	112,500.00	193,673.17	-172
TRANSFER	0.00	0.00	0.00	1,384,897.00	1,384,897.00	0.00	100	1,384,897.00	0.00	0
TOTAL REVENUE	35,381.66	30,589.94	4,791.72	2,836,775.00	1,480,865.53	1,355,909.47	160	1,778,134.00	1,058,641.00	-60
EXPENSE SUMMARY										
STREET MAINTENANCE	241,333.12	679,176.13	437,843.01	3,211,271.54	7,470,937.43	4,259,665.89	39	8,153,375.00	(4,942,103.46)	61
PARKS & RECREATION	0.00	166,600.00	166,600.00	988,984.00	1,832,600.00	843,616.00	49	2,000,000.00	(1,011,016.00)	51
FIRE DEPARTMENT	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
TRANSFERS	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
NON-DEPARTMENTAL	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
TOTAL EXPENSE	241,333.12	845,776.13	604,443.01	4,200,255.54	9,303,537.43	5,103,281.89	41	10,153,375.00	5,953,119.46	59
REVENUE OVER/(UNDER) EXPENDITURE	(205,951.46)	(815,186.19)	609,234.73	(1,363,480.54)	(7,822,671.90)	6,459,191.36		(8,375,241.00)	(4,894,478.46)	

Budget Variance Report

Fund: 11 - CHILD SAFETY FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
REVENUE SUMMARY										
FINES AND FORFEITURES	53.67	63.10	(9.43)	1,771.48	2,281.22	(509.74)	71	2,500.00	(728.52)	29
OTHER REVENUE	43.67	19.91	23.76	362.72	53.13	309.59	484	75.00	287.72	-384
TOTAL REVENUE	97.34	83.01	14.33	2,134.20	2,334.35	(200.15)	83	2,575.00	(440.80)	17
EXPENSE SUMMARY										
CHILD SAFETY	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
TOTAL EXPENSE	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
REVENUE OVER/(UNDER) EXPENDITURE	97.34	83.01	14.33	2,134.20	2,334.35	(200.15)		2,575.00	(440.80)	

Budget Variance Report

Fund: 12 - COURT TECHNOLOGY FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
<u>REVENUE SUMMARY</u>										
FINES AND FORFEITURES	730.20	552.28	177.92	10,664.06	5,886.84	4,777.22	158	6,761.00	3,903.06	-58
OTHER REVENUE	132.63	40.36	92.27	975.63	104.69	870.94	650	150.00	825.63	-550
TOTAL REVENUE	862.83	592.64	270.19	11,639.69	5,991.53	5,648.16	168	6,911.00	4,728.69	-68
<u>EXPENSE SUMMARY</u>										
COURT TECHNOLOGY	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
TOTAL EXPENSE	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
REVENUE OVER/(UNDER) EXPENDITURE	862.83	592.64	270.19	11,639.69	5,991.53	5,648.16		6,911.00	4,728.69	

Budget Variance Report

Fund: 13 - PUBLIC SAFETY FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
<u>REVENUE SUMMARY</u>										
FINES AND FORFEITURES	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
INTERGOVERNMENTAL	0.00	0.00	0.00	3,369.07	2,800.00	569.07	120	2,800.00	569.07	-20
OTHER REVENUE	272.19	211.87	60.32	3,456.46	547.50	2,908.96	461	750.00	2,706.46	-361
TOTAL REVENUE	272.19	211.87	60.32	6,825.53	3,347.50	3,478.03	192	3,550.00	3,275.53	-92
<u>EXPENSE SUMMARY</u>										
PUBLIC SAFETY	4,443.76	1,731.55	(2,712.21)	45,487.92	19,047.05	(26,440.87)	219	20,787.00	24,700.92	-119
TOTAL EXPENSE	4,443.76	1,731.55	(2,712.21)	45,487.92	19,047.05	(26,440.87)	219	20,787.00	(24,700.92)	-119
REVENUE OVER/(UNDER) EXPENDITURE	(4,171.57)	(1,519.68)	(2,651.89)	(38,662.39)	(15,699.55)	(22,962.84)		(17,237.00)	27,976.45	

Budget Variance Report

Fund: 20 - TAX INCREMENT FINANCING FUND

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
<u>REVENUE SUMMARY</u>										
TAXES	40,618.90	56,520.00	(15,901.10)	631,340.50	638,393.00	(7,052.50)	92	689,933.00	(58,592.50)	8
OTHER REVENUE	3,490.53	34.57	3,455.96	22,094.82	113.43	21,981.39	4,730	150.00	21,944.82	4,630
TRANSFER	0.00	0.00	0.00	133,917.00	133,917.00	0.00	100	133,917.00	0.00	0
TOTAL REVENUE	44,109.43	56,554.57	(12,445.14)	787,352.32	772,423.43	14,928.89	96	824,000.00	(36,647.68)	4
<u>EXPENSE SUMMARY</u>										
TAX INCREMENT FINANCING	0.00	0.00	0.00	823,850.00	823,850.00	0.00	100	823,850.00	0.00	0
TOTAL EXPENSE	0.00	0.00	0.00	823,850.00	823,850.00	0.00	100	823,850.00	0.00	0
REVENUE OVER/(UNDER) EXPENDITURE	44,109.43	56,554.57	(12,445.14)	(36,497.68)	(51,426.57)	14,928.89		150.00	(36,647.68)	

Budget Variance Report
Fund: 79 - SEDA

	CURRENT MONTH			YEAR TO DATE				ANNUAL BUDGET		
	ACTUAL	BUDGETED	VARIANCE	ACTUAL	BUDGETED	VARIANCE	%	TOTAL	REMAINING	%
<u>REVENUE SUMMARY</u>										
TAXES	63,235.09	66,359.04	(3,123.95)	684,518.34	643,907.61	40,610.73	97	703,996.00	(19,477.66)	3
INTERGOVERNMENTAL	0.00	0.00	0.00	0.00	0.00	0.00		0.00	0.00	
OTHER REVENUE	4,360.55	3,970.54	390.01	46,248.07	10,572.87	35,675.20	308	15,000.00	31,248.07	-208
TOTAL REVENUE	67,595.64	70,329.58	(2,733.94)	730,766.41	654,480.48	76,285.93	102	718,996.00	11,770.41	-2
<u>EXPENSE SUMMARY</u>										
SEDA	42,771.15	148,429.06	105,657.91	800,183.79	1,671,823.81	871,640.02	44	1,838,996.00	(1,038,812.21)	56
TOTAL EXPENSE	42,771.15	148,429.06	105,657.91	800,183.79	1,671,823.81	871,640.02	44	1,838,996.00	1,038,812.21	56
REVENUE OVER/(UNDER) EXPENDITURE	24,824.49	(78,099.48)	102,923.97	(69,417.38)	(1,017,343.33)	947,925.95		(1,120,000.00)	(1,027,041.80)	



Prior-Year Comparative Income Statement Group Summary

Item 23.

For the Period Ending 08/31/2023

Category	2021-2022 Aug. Activity	2022-2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2021-2022 YTD Activity	2022-2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Fund: 01 - GENERAL FUND								
Revenue								
40 - TAXES	840,778.95	827,316.30	-13,462.65	-1.60%	15,395,862.57	16,369,800.15	973,937.58	6.33%
41 - LICENSES AND PERMITS	-1,441.74	24,509.71	25,951.45	1,800.01%	427,919.43	461,334.83	33,415.40	7.81%
42 - FINES AND FORFEITURES	-3,508.35	-5,236.79	-1,728.44	-49.27%	142,124.54	237,382.28	95,257.74	67.02%
43 - INTERGOVERNMENTAL	40,063.07	217,036.11	176,973.04	441.74%	186,885.87	682,022.37	495,136.50	264.94%
44 - CHARGES FOR SERVICES	93,349.22	89,544.78	-3,804.44	-4.08%	998,258.40	961,270.74	-36,987.66	-3.71%
45 - OTHER REVENUE	63,549.34	91,125.88	27,576.54	43.39%	3,521,663.89	1,419,336.52	-2,102,327.37	-59.70%
49 - TRANSFER	125,508.00	0.00	-125,508.00	-100.00%	957,579.00	1,679,307.00	721,728.00	75.37%
Revenue Total:	1,158,298.49	1,244,295.99	85,997.50	7.42%	21,630,293.70	21,810,453.89	180,160.19	0.83%
Expense								
Department: 101 - CITY COUNCIL								
51 - PERSONNEL	1,937.70	1,937.70	0.00	0.00%	19,643.73	21,080.65	-1,436.92	-7.31%
52 - CONTRACTUAL	17,897.10	12,301.09	5,596.01	31.27%	55,315.02	155,985.35	-100,670.33	-181.99%
53 - GENERAL SERVICES	0.00	676.83	-676.83	0.00%	491.73	3,994.75	-3,503.02	-712.39%
55 - CAPITAL OUTLAY	0.00	1,947.00	-1,947.00	0.00%	0.00	794,669.94	-794,669.94	0.00%
58 - GRANT DISBURSEMENTS	0.00	0.00	0.00	0.00%	0.00	181,399.19	-181,399.19	0.00%
Department 101 - CITY COUNCIL Total:	19,834.80	16,862.62	2,972.18	14.98%	75,450.48	1,157,129.88	-1,081,679.40	-1,433.63%
Department: 102 - CITY MANAGER								
51 - PERSONNEL	18,678.22	29,663.64	-10,985.42	-58.81%	499,115.83	251,374.05	247,741.78	49.64%
52 - CONTRACTUAL	794.40	631.00	163.40	20.57%	22,128.52	8,582.34	13,546.18	61.22%
53 - GENERAL SERVICES	38.72	197.08	-158.36	-408.99%	1,450.43	1,943.09	-492.66	-33.97%
Department 102 - CITY MANAGER Total:	19,511.34	30,491.72	-10,980.38	-56.28%	522,694.78	261,899.48	260,795.30	49.89%
Department: 103 - CITY SECRETARY								
51 - PERSONNEL	0.00	7,315.34	-7,315.34	0.00%	70,642.50	71,664.76	-1,022.26	-1.45%
52 - CONTRACTUAL	6,272.45	415.02	5,857.43	93.38%	35,536.11	21,384.64	14,151.47	39.82%
53 - GENERAL SERVICES	0.00	0.00	0.00	0.00%	1,130.52	869.97	260.55	23.05%
54 - MACHINE & EQUIPMENT MAI	0.00	-5,472.39	5,472.39	0.00%	39,868.63	41,276.86	-1,408.23	-3.53%
55 - CAPITAL OUTLAY	0.00	0.00	0.00	0.00%	21,038.11	0.00	21,038.11	100.00%
Department 103 - CITY SECRETARY Total:	6,272.45	2,257.97	4,014.48	64.00%	168,215.87	135,196.23	33,019.64	19.63%
Department: 104 - EMERGENCY MANAGEMENT								
52 - CONTRACTUAL	306.46	199.98	106.48	34.75%	14,756.01	15,381.72	-625.71	-4.24%
Department 104 - EMERGENCY MANAGEMENT Total:	306.46	199.98	106.48	34.75%	14,756.01	15,381.72	-625.71	-4.24%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022 Aug. Activity	2022-2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2021-2022 YTD Activity	2022-2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Department: 105 - MUNICIPAL BUILDING								
51 - PERSONNEL	1,576.93	2,026.72	-449.79	-28.52%	18,813.08	22,858.78	-4,045.70	-21.50%
52 - CONTRACTUAL	2,807.08	4,293.39	-1,486.31	-52.95%	22,432.99	36,079.65	-13,646.66	-60.83%
53 - GENERAL SERVICES	1,615.36	2,063.35	-447.99	-27.73%	10,702.26	12,633.37	-1,931.11	-18.04%
54 - MACHINE & EQUIPMENT MAI	5,025.00	3,829.64	1,195.36	23.79%	21,869.22	29,693.31	-7,824.09	-35.78%
55 - CAPITAL OUTLAY	0.00	968.28	-968.28	0.00%	0.00	23,815.44	-23,815.44	0.00%
Department 105 - MUNICIPAL BUILDING Total:	11,024.37	13,181.38	-2,157.01	-19.57%	73,817.55	125,080.55	-51,263.00	-69.45%
Department: 106 - MUNICIPAL SERVICES CTR								
51 - PERSONNEL	4,306.71	4,804.56	-497.85	-11.56%	49,882.42	54,217.77	-4,335.35	-8.69%
52 - CONTRACTUAL	2,157.20	2,246.63	-89.43	-4.15%	25,916.94	28,339.90	-2,422.96	-9.35%
53 - GENERAL SERVICES	2,054.63	-2,064.92	4,119.55	200.50%	27,095.10	21,688.16	5,406.94	19.96%
54 - MACHINE & EQUIPMENT MAI	1,358.93	534.34	824.59	60.68%	6,875.48	13,725.11	-6,849.63	-99.62%
Department 106 - MUNICIPAL SERVICES CTR Total:	9,877.47	5,520.61	4,356.86	44.11%	109,769.94	117,970.94	-8,201.00	-7.47%
Department: 107 - HUMAN RESOURCES								
51 - PERSONNEL	6,344.46	6,225.44	119.02	1.88%	78,947.58	78,751.13	196.45	0.25%
52 - CONTRACTUAL	1,198.72	5,722.92	-4,524.20	-377.42%	72,873.41	76,330.94	-3,457.53	-4.74%
53 - GENERAL SERVICES	143.56	529.79	-386.23	-269.04%	659.62	1,278.55	-618.93	-93.83%
Department 107 - HUMAN RESOURCES Total:	7,686.74	12,478.15	-4,791.41	-62.33%	152,480.61	156,360.62	-3,880.01	-2.54%
Department: 108 - DOWNTOWN								
51 - PERSONNEL	5,730.18	6,250.41	-520.23	-9.08%	42,398.76	67,545.68	-25,146.92	-59.31%
52 - CONTRACTUAL	11,383.02	6,893.36	4,489.66	39.44%	31,592.48	55,330.21	-23,737.73	-75.14%
53 - GENERAL SERVICES	0.00	0.00	0.00	0.00%	5,808.68	154.06	5,654.62	97.35%
55 - CAPITAL OUTLAY	0.00	8,225.00	-8,225.00	0.00%	25,127.19	78,185.00	-53,057.81	-211.16%
Department 108 - DOWNTOWN Total:	17,113.20	21,368.77	-4,255.57	-24.87%	104,927.11	201,214.95	-96,287.84	-91.77%
Department: 201 - FINANCE								
51 - PERSONNEL	34,799.68	37,092.36	-2,292.68	-6.59%	328,762.39	403,597.94	-74,835.55	-22.76%
52 - CONTRACTUAL	9,132.28	835.00	8,297.28	90.86%	97,876.73	93,848.87	4,027.86	4.12%
53 - GENERAL SERVICES	226.95	234.58	-7.63	-3.36%	1,373.54	1,217.69	155.85	11.35%
54 - MACHINE & EQUIPMENT MAI	0.00	0.00	0.00	0.00%	26,107.14	75,144.19	-49,037.05	-187.83%
55 - CAPITAL OUTLAY	0.00	0.00	0.00	0.00%	0.00	0.00	0.00	0.00%
56 - BANK CHARGES	650.00	115.00	535.00	82.31%	1,867.25	1,931.52	-64.27	-3.44%
Department 201 - FINANCE Total:	44,808.91	38,276.94	6,531.97	14.58%	455,987.05	575,740.21	-119,753.16	-26.26%
Department: 203 - INFORMATION TECHNOLOGY								
51 - PERSONNEL	20,467.02	14,998.93	5,468.09	26.72%	223,603.22	169,755.85	53,847.37	24.08%
52 - CONTRACTUAL	100.21	97.99	2.22	2.22%	3,995.21	1,517.22	2,477.99	62.02%
53 - GENERAL SERVICES	30,021.00	8,576.08	21,444.92	71.43%	56,791.99	44,636.96	12,155.03	21.40%
54 - MACHINE & EQUIPMENT MAI	5,542.38	1,748.83	3,793.55	68.45%	135,589.62	170,768.64	-35,179.02	-25.95%
55 - CAPITAL OUTLAY	0.00	0.00	0.00	0.00%	19,114.29	0.00	19,114.29	100.00%
Department 203 - INFORMATION TECHNOLOGY Total:	56,130.61	25,421.83	30,708.78	54.71%	439,094.33	386,678.67	52,415.66	11.94%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022 Aug. Activity	2022-2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2021-2022 YTD Activity	2022-2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Department: 204 - TAX								
52 - CONTRACTUAL	31.20	44.80	-13.60	-43.59%	173,199.04	197,453.76	-24,254.72	-14.00%
Department 204 - TAX Total:	31.20	44.80	-13.60	-43.59%	173,199.04	197,453.76	-24,254.72	-14.00%
Department: 301 - LEGAL COUNSEL								
51 - PERSONNEL	9,225.76	10,683.00	-1,457.24	-15.80%	93,572.97	106,184.67	-12,611.70	-13.48%
52 - CONTRACTUAL	0.00	0.00	0.00	0.00%	21,923.24	498.93	21,424.31	97.72%
53 - GENERAL SERVICES	0.00	0.00	0.00	0.00%	0.00	10.81	-10.81	0.00%
Department 301 - LEGAL COUNSEL Total:	9,225.76	10,683.00	-1,457.24	-15.80%	115,496.21	106,694.41	8,801.80	7.62%
Department: 302 - MUNICIPAL COURT								
51 - PERSONNEL	5,315.71	5,760.64	-444.93	-8.37%	63,434.74	65,446.12	-2,011.38	-3.17%
52 - CONTRACTUAL	4,732.39	4,754.76	-22.37	-0.47%	39,951.64	41,299.89	-1,348.25	-3.37%
53 - GENERAL SERVICES	372.78	768.48	-395.70	-106.15%	5,819.66	10,624.55	-4,804.89	-82.56%
54 - MACHINE & EQUIPMENT MAI	0.00	0.00	0.00	0.00%	4,531.88	7,386.02	-2,854.14	-62.98%
Department 302 - MUNICIPAL COURT Total:	10,420.88	11,283.88	-863.00	-8.28%	113,737.92	124,756.58	-11,018.66	-9.69%
Department: 402 - STREET MAINTENANCE								
51 - PERSONNEL	30,872.38	30,501.12	371.26	1.20%	340,507.08	351,256.09	-10,749.01	-3.16%
52 - CONTRACTUAL	17,016.04	17,083.89	-67.85	-0.40%	197,225.54	201,624.18	-4,398.64	-2.23%
53 - GENERAL SERVICES	3,235.81	5,060.34	-1,824.53	-56.39%	31,013.54	40,011.74	-8,998.20	-29.01%
54 - MACHINE & EQUIPMENT MAI	2,835.30	48,735.85	-45,900.55	-1,618.90%	66,479.66	108,406.42	-41,926.76	-63.07%
55 - CAPITAL OUTLAY	43,983.75	0.00	43,983.75	100.00%	103,290.18	0.00	103,290.18	100.00%
Department 402 - STREET MAINTENANCE Total:	97,943.28	101,381.20	-3,437.92	-3.51%	738,516.00	701,298.43	37,217.57	5.04%
Department: 501 - PARKS & RECREATION								
51 - PERSONNEL	68,095.82	83,825.63	-15,729.81	-23.10%	786,864.14	869,596.68	-82,732.54	-10.51%
52 - CONTRACTUAL	62,349.18	63,690.15	-1,340.97	-2.15%	382,179.97	373,885.14	8,294.83	2.17%
53 - GENERAL SERVICES	24,076.01	16,672.07	7,403.94	30.75%	149,811.79	171,304.40	-21,492.61	-14.35%
54 - MACHINE & EQUIPMENT MAI	5,101.98	7,282.14	-2,180.16	-42.73%	112,720.43	129,629.90	-16,909.47	-15.00%
55 - CAPITAL OUTLAY	10,230.00	24,192.99	-13,962.99	-136.49%	286,598.55	290,596.11	-3,997.56	-1.39%
56 - BANK CHARGES	0.00	0.00	0.00	0.00%	501.08	5.33	495.75	98.94%
57 - DEBT SERVICE	0.00	0.00	0.00	0.00%	52,039.40	52,039.40	0.00	0.00%
Department 501 - PARKS & RECREATION Total:	169,852.99	195,662.98	-25,809.99	-15.20%	1,770,715.36	1,887,056.96	-116,341.60	-6.57%
Department: 504 - LIBRARY								
51 - PERSONNEL	14,730.28	16,022.74	-1,292.46	-8.77%	168,154.22	181,252.43	-13,098.21	-7.79%
52 - CONTRACTUAL	5,796.79	2,750.70	3,046.09	52.55%	21,133.44	20,680.88	452.56	2.14%
53 - GENERAL SERVICES	2,714.22	1,684.78	1,029.44	37.93%	17,328.66	24,916.66	-7,588.00	-43.79%
54 - MACHINE & EQUIPMENT MAI	0.00	85.00	-85.00	0.00%	9,082.69	3,771.41	5,311.28	58.48%
55 - CAPITAL OUTLAY	0.00	0.00	0.00	0.00%	15,512.54	0.00	15,512.54	100.00%
Department 504 - LIBRARY Total:	23,241.29	20,543.22	2,698.07	11.61%	231,211.55	230,621.38	590.17	0.26%
Department: 506 - SENIOR CENTER								
51 - PERSONNEL	6,136.66	6,339.93	-203.27	-3.31%	65,197.99	70,545.44	-5,347.45	-8.20%
52 - CONTRACTUAL	3,120.46	2,676.87	443.59	14.22%	33,386.57	31,145.96	2,240.61	6.71%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022	2022-2023	Aug. Variance		2021-2022	2022-2023	YTD Variance	
	Aug. Activity	Aug. Activity	Favorable / (Unfavorable)	Variance %	YTD Activity	YTD Activity	Favorable / (Unfavorable)	Variance %
53 - GENERAL SERVICES	1,497.07	2,382.51	-885.44	-59.14%	10,711.32	15,091.93	-4,380.61	-40.90%
54 - MACHINE & EQUIPMENT MAI	135.34	97.00	38.34	28.33%	4,417.64	3,501.59	916.05	20.74%
55 - CAPITAL OUTLAY	0.00	0.00	0.00	0.00%	218,700.00	38,049.00	180,651.00	82.60%
Department 506 - SENIOR CENTER Total:	10,889.53	11,496.31	-606.78	-5.57%	332,413.52	158,333.92	174,079.60	52.37%
Department: 507 - AQUATIC CENTER								
51 - PERSONNEL	32,215.60	1,815.79	30,399.81	94.36%	86,602.33	44,581.49	42,020.84	48.52%
52 - CONTRACTUAL	18,922.20	8,386.30	10,535.90	55.68%	46,932.71	46,572.41	360.30	0.77%
53 - GENERAL SERVICES	2,599.47	1,624.15	975.32	37.52%	21,853.73	33,885.79	-12,032.06	-55.06%
54 - MACHINE & EQUIPMENT MAI	9,167.92	0.00	9,167.92	100.00%	356,528.38	124,799.29	231,729.09	65.00%
55 - CAPITAL OUTLAY	0.00	7,799.00	-7,799.00	0.00%	0.00	14,836.00	-14,836.00	0.00%
Department 507 - AQUATIC CENTER Total:	62,905.19	19,625.24	43,279.95	68.80%	511,917.15	264,674.98	247,242.17	48.30%
Department: 601 - FIRE DEPARTMENT								
51 - PERSONNEL	250,757.85	331,053.41	-80,295.56	-32.02%	2,924,424.21	3,084,393.91	-159,969.70	-5.47%
52 - CONTRACTUAL	23,380.42	11,938.48	11,441.94	48.94%	239,024.24	230,155.93	8,868.31	3.71%
53 - GENERAL SERVICES	10,911.31	31,280.37	-20,369.06	-186.68%	153,168.69	245,208.49	-92,039.80	-60.09%
54 - MACHINE & EQUIPMENT MAI	8,905.68	19,051.50	-10,145.82	-113.93%	98,230.22	143,950.37	-45,720.15	-46.54%
55 - CAPITAL OUTLAY	9,360.55	0.00	9,360.55	100.00%	326,731.86	531,160.12	-204,428.26	-62.57%
56 - BANK CHARGES	0.00	0.00	0.00	0.00%	1.03	0.00	1.03	100.00%
57 - DEBT SERVICE	0.00	0.00	0.00	0.00%	168,976.30	168,976.30	0.00	0.00%
Department 601 - FIRE DEPARTMENT Total:	303,315.81	393,323.76	-90,007.95	-29.67%	3,910,556.55	4,403,845.12	-493,288.57	-12.61%
Department: 701 - POLICE DEPARTMENT								
51 - PERSONNEL	340,393.45	348,084.04	-7,690.59	-2.26%	3,892,874.55	4,085,983.83	-193,109.28	-4.96%
52 - CONTRACTUAL	9,894.77	25,884.51	-15,989.74	-161.60%	309,225.57	373,427.40	-64,201.83	-20.76%
53 - GENERAL SERVICES	16,538.53	29,760.11	-13,221.58	-79.94%	186,033.44	252,196.70	-66,163.26	-35.57%
54 - MACHINE & EQUIPMENT MAI	4,719.24	6,233.34	-1,514.10	-32.08%	221,903.98	237,778.21	-15,874.23	-7.15%
55 - CAPITAL OUTLAY	43,049.21	65,958.34	-22,909.13	-53.22%	828,369.51	1,273,509.83	-445,140.32	-53.74%
56 - BANK CHARGES	0.00	0.00	0.00	0.00%	163.53	0.00	163.53	100.00%
57 - DEBT SERVICE	0.00	0.00	0.00	0.00%	366,690.71	306,072.02	60,618.69	16.53%
Department 701 - POLICE DEPARTMENT Total:	414,595.20	475,920.34	-61,325.14	-14.79%	5,805,261.29	6,528,967.99	-723,706.70	-12.47%
Department: 801 - DEVELOPMENT SERVICES								
51 - PERSONNEL	29,835.78	40,148.94	-10,313.16	-34.57%	330,878.98	417,925.13	-87,046.15	-26.31%
52 - CONTRACTUAL	3,258.03	48,988.36	-45,730.33	-1,403.62%	62,637.36	145,186.78	-82,549.42	-131.79%
53 - GENERAL SERVICES	1,019.05	1,946.16	-927.11	-90.98%	12,740.30	14,134.57	-1,394.27	-10.94%
54 - MACHINE & EQUIPMENT MAI	0.00	308.00	-308.00	0.00%	10,890.40	11,101.10	-210.70	-1.93%
55 - CAPITAL OUTLAY	0.00	0.00	0.00	0.00%	0.00	40,567.50	-40,567.50	0.00%
58 - GRANT DISBURSEMENTS	0.00	0.00	0.00	0.00%	0.00	5,000.00	-5,000.00	0.00%
Department 801 - DEVELOPMENT SERVICES Total:	34,112.86	91,391.46	-57,278.60	-167.91%	417,147.04	633,915.08	-216,768.04	-51.96%
Department: 804 - GIS								
51 - PERSONNEL	0.00	5,851.42	-5,851.42	0.00%	0.00	62,900.47	-62,900.47	0.00%
52 - CONTRACTUAL	0.00	0.00	0.00	0.00%	0.00	9,465.58	-9,465.58	0.00%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022	2022-2023	Aug. Variance		2021-2022	2022-2023	YTD Variance	
	Aug. Activity	Aug. Activity	Favorable / (Unfavorable)	Variance %	YTD Activity	YTD Activity	Favorable / (Unfavorable)	Variance %
53 - GENERAL SERVICES	0.00	0.00	0.00	0.00%	0.00	181.12	-181.12	0.00%
54 - MACHINE & EQUIPMENT MAI	0.00	0.00	0.00	0.00%	0.00	1,064.94	-1,064.94	0.00%
Department 804 - GIS Total:	0.00	5,851.42	-5,851.42	0.00%	0.00	73,612.11	-73,612.11	0.00%
Department: 900 - TRANSFERS								
57 - DEBT SERVICE	0.00	0.00	0.00	0.00%	0.00	73,863.54	-73,863.54	0.00%
59 - TRANSFER	154,698.00	0.00	154,698.00	100.00%	1,476,466.00	1,771,322.00	-294,856.00	-19.97%
Department 900 - TRANSFERS Total:	154,698.00	0.00	154,698.00	100.00%	1,476,466.00	1,845,185.54	-368,719.54	-24.97%
Expense Total:	1,483,798.34	1,503,267.58	-19,469.24	-1.31%	17,713,831.36	20,289,069.51	-2,575,238.15	-14.54%
Total Revenues	1,158,298.49	1,244,295.99	85,997.50	7.42%	21,630,293.70	21,810,453.89	180,160.19	0.83%
Fund 01 Surplus (Deficit):	-325,499.85	-258,971.59	66,528.26	20.44%	3,916,462.34	1,521,384.38	-2,395,077.96	-61.15%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022 Aug. Activity	2022-2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2021-2022 YTD Activity	2022-2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Fund: 02 - WATER AND WASTEWATER FUND								
Revenue								
41 - LICENSES AND PERMITS	2,063.21	143.52	-1,919.69	-93.04%	2,445.65	1,417.97	-1,027.68	-42.02%
43 - INTERGOVERNMENTAL	0.00	0.00	0.00	0.00%	5,202.37	24,000.00	18,797.63	361.33%
44 - CHARGES FOR SERVICES	1,269,743.37	1,148,180.20	-121,563.17	-9.57%	9,908,935.89	9,975,886.30	66,950.41	0.68%
45 - OTHER REVENUE	70,666.80	152,782.80	82,116.00	116.20%	20,622,373.24	1,608,979.09	-19,013,394.15	-92.20%
49 - TRANSFER	50,219.00	0.00	-50,219.00	-100.00%	50,219.00	82,662.00	32,443.00	64.60%
Revenue Total:	1,392,692.38	1,301,106.52	-91,585.86	-6.58%	30,589,176.15	11,692,945.36	-18,896,230.79	-61.77%
Expense								
Department: 000 - UTILITIES ADMINISTRATION								
51 - PERSONNEL	52,884.06	57,403.82	-4,519.76	-8.55%	449,212.05	609,378.96	-160,166.91	-35.66%
52 - CONTRACTUAL	744.34	1,828.08	-1,083.74	-145.60%	41,349.95	18,905.39	22,444.56	54.28%
53 - GENERAL SERVICES	86.95	75.41	11.54	13.27%	1,588.69	1,423.58	165.11	10.39%
54 - MACHINE & EQUIPMENT MAI	0.00	0.00	0.00	0.00%	0.00	62.61	-62.61	0.00%
55 - CAPITAL OUTLAY	22,413.38	10,489.85	11,923.53	53.20%	453,388.42	3,124,585.09	-2,671,196.67	-589.16%
Department 000 - UTILITIES ADMINISTRATION Total:	76,128.73	69,797.16	6,331.57	8.32%	945,539.11	3,754,355.63	-2,808,816.52	-297.06%
Department: 001 - WATER PRODUCTION								
51 - PERSONNEL	20,153.67	16,889.13	3,264.54	16.20%	219,665.29	210,035.82	9,629.47	4.38%
52 - CONTRACTUAL	45,371.98	48,679.17	-3,307.19	-7.29%	558,266.25	621,247.88	-62,981.63	-11.28%
53 - GENERAL SERVICES	837.75	1,500.87	-663.12	-79.15%	10,394.98	13,102.98	-2,708.00	-26.05%
54 - MACHINE & EQUIPMENT MAI	90,457.61	36,536.84	53,920.77	59.61%	229,126.88	214,756.61	14,370.27	6.27%
55 - CAPITAL OUTLAY	836,751.11	62,789.36	773,961.75	92.50%	1,183,708.05	3,798,909.65	-2,615,201.60	-220.93%
Department 001 - WATER PRODUCTION Total:	993,572.12	166,395.37	827,176.75	83.25%	2,201,161.45	4,858,052.94	-2,656,891.49	-120.70%
Department: 002 - WATER DISTRIBUTION								
51 - PERSONNEL	7,220.60	5,563.15	1,657.45	22.95%	103,315.59	77,900.92	25,414.67	24.60%
52 - CONTRACTUAL	13,716.99	10,309.80	3,407.19	24.84%	180,969.14	101,640.36	79,328.78	43.84%
53 - GENERAL SERVICES	7,405.97	2,574.99	4,830.98	65.23%	49,200.70	55,549.18	-6,348.48	-12.90%
54 - MACHINE & EQUIPMENT MAI	14,205.22	6,534.78	7,670.44	54.00%	281,649.20	173,711.19	107,938.01	38.32%
55 - CAPITAL OUTLAY	220,448.57	-3,438.50	223,887.07	101.56%	987,703.11	2,666,509.45	-1,678,806.34	-169.97%
Department 002 - WATER DISTRIBUTION Total:	262,997.35	21,544.22	241,453.13	91.81%	1,602,837.74	3,075,311.10	-1,472,473.36	-91.87%
Department: 003 - CUSTOMER SERVICE								
51 - PERSONNEL	10,215.93	13,213.82	-2,997.89	-29.35%	151,205.00	157,998.01	-6,793.01	-4.49%
52 - CONTRACTUAL	416.51	725.62	-309.11	-74.21%	30,945.26	75,924.43	-44,979.17	-145.35%
53 - GENERAL SERVICES	752.62	1,450.06	-697.44	-92.67%	9,430.22	10,269.78	-839.56	-8.90%
54 - MACHINE & EQUIPMENT MAI	1,326.17	6,378.75	-5,052.58	-380.99%	55,945.55	90,643.19	-34,697.64	-62.02%
Department 003 - CUSTOMER SERVICE Total:	12,711.23	21,768.25	-9,057.02	-71.25%	247,526.03	334,835.41	-87,309.38	-35.27%
Department: 011 - WASTEWATER COLLECTION								
51 - PERSONNEL	22,814.68	20,093.67	2,721.01	11.93%	239,061.45	222,875.53	16,185.92	6.77%
52 - CONTRACTUAL	246.67	458.10	-211.43	-85.71%	47,343.17	9,759.54	37,583.63	79.39%
53 - GENERAL SERVICES	2,114.74	1,433.59	681.15	32.21%	17,561.77	10,755.18	6,806.59	38.76%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022		2022-2023		Aug. Variance		YTD Variance	
	Aug. Activity	Aug. Activity	Favorable / (Unfavorable)	Variance %	YTD Activity	YTD Activity	Favorable / (Unfavorable)	Variance %
54 - MACHINE & EQUIPMENT MAI	1,547.04	18,587.11	-17,040.07	-1,101.46%	49,665.65	53,892.38	-4,226.73	-8.51%
55 - CAPITAL OUTLAY	0.00	3,086,356.71	-3,086,356.71	0.00%	88,677.36	5,823,992.66	-5,735,315.30	-6,467.62%
Department 011 - WASTEWATER COLLECTION Total:	26,723.13	3,126,929.18	-3,100,206.05	-11,601.21%	442,309.40	6,121,275.29	-5,678,965.89	-1,283.94%
Department: 012 - WASTEWATER TREATMENT								
52 - CONTRACTUAL	79,826.03	87,184.49	-7,358.46	-9.22%	895,001.21	986,669.81	-91,668.60	-10.24%
54 - MACHINE & EQUIPMENT MAI	5,445.68	1,373.43	4,072.25	74.78%	77,726.99	112,199.61	-34,472.62	-44.35%
55 - CAPITAL OUTLAY	24,266.05	0.00	24,266.05	100.00%	67,151.76	1,581.12	65,570.64	97.65%
Department 012 - WASTEWATER TREATMENT Total:	109,537.76	88,557.92	20,979.84	19.15%	1,039,879.96	1,100,450.54	-60,570.58	-5.82%
Department: 020 - BILLING & COLLECTION								
51 - PERSONNEL	6,893.32	7,296.86	-403.54	-5.85%	77,623.54	75,506.03	2,117.51	2.73%
52 - CONTRACTUAL	8,494.93	4,587.98	3,906.95	45.99%	77,852.60	103,286.06	-25,433.46	-32.67%
53 - GENERAL SERVICES	17,437.87	21,238.58	-3,800.71	-21.80%	166,536.97	232,110.13	-65,573.16	-39.37%
54 - MACHINE & EQUIPMENT MAI	395.00	265.00	130.00	32.91%	33,429.44	54,186.84	-20,757.40	-62.09%
Department 020 - BILLING & COLLECTION Total:	33,221.12	33,388.42	-167.30	-0.50%	355,442.55	465,089.06	-109,646.51	-30.85%
Department: 901 - NON-DEPARTMENTAL								
52 - CONTRACTUAL	0.00	80,563.28	-80,563.28	0.00%	0.00	689,404.37	-689,404.37	0.00%
56 - BANK CHARGES	400.00	177.13	222.87	55.72%	418,943.87	644.83	418,299.04	99.85%
57 - DEBT SERVICE	98,708.25	457,766.95	-359,058.70	-363.76%	1,408,731.50	2,761,076.59	-1,352,345.09	-96.00%
59 - TRANSFER	75,037.01	0.00	75,037.01	100.00%	1,440,348.41	1,501,863.00	-61,514.59	-4.27%
Department 901 - NON-DEPARTMENTAL Total:	174,145.26	538,507.36	-364,362.10	-209.23%	3,268,023.78	4,952,988.79	-1,684,965.01	-51.56%
Expense Total:	1,689,036.70	4,066,887.88	-2,377,851.18	-140.78%	10,102,720.02	24,662,358.76	-14,559,638.74	-144.12%
Total Revenues	1,392,692.38	1,301,106.52	-91,585.86	-6.58%	30,589,176.15	11,692,945.36	-18,896,230.79	-61.77%
Fund 02 Surplus (Deficit):	-296,344.32	-2,765,781.36	-2,469,437.04	-833.30%	20,486,456.13	-12,969,413.40	-33,455,869.53	-163.31%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022	2022-2023	Aug. Variance	Variance %	2021-2022	2022-2023	YTD Variance	Variance %
	Aug. Activity	Aug. Activity	Favorable / (Unfavorable)		YTD Activity	YTD Activity	Favorable / (Unfavorable)	
Fund: 03 - SANITARY LANDFILL FUND								
Revenue								
44 - CHARGES FOR SERVICES	112,863.28	123,200.14	10,336.86	9.16%	1,160,132.59	1,208,821.20	48,688.61	4.20%
45 - OTHER REVENUE	3,172.23	9,649.99	6,477.76	204.20%	8,599.52	1,267,909.50	1,259,309.98	14,643.96%
Revenue Total:	116,035.51	132,850.13	16,814.62	14.49%	1,168,732.11	2,476,730.70	1,307,998.59	111.92%
Expense								
Department: 030 - LANDFILL								
51 - PERSONNEL	20,283.64	21,309.92	-1,026.28	-5.06%	206,423.02	251,531.92	-45,108.90	-21.85%
52 - CONTRACTUAL	225.34	3,198.63	-2,973.29	-1,319.47%	84,331.37	121,169.05	-36,837.68	-43.68%
53 - GENERAL SERVICES	12,614.42	12,365.65	248.77	1.97%	94,441.81	140,066.15	-45,624.34	-48.31%
54 - MACHINE & EQUIPMENT MAI	3,741.03	18,839.30	-15,098.27	-403.59%	121,561.37	111,269.21	10,292.16	8.47%
55 - CAPITAL OUTLAY	20,003.87	-8,088.08	28,091.95	140.43%	176,263.43	1,195,528.86	-1,019,265.43	-578.26%
56 - BANK CHARGES	0.00	0.00	0.00	0.00%	10.73	0.00	10.73	100.00%
57 - DEBT SERVICE	0.00	0.00	0.00	0.00%	0.00	196,619.67	-196,619.67	0.00%
59 - TRANSFER	0.00	0.00	0.00	0.00%	81,539.00	76,432.00	5,107.00	6.26%
Department 030 - LANDFILL Total:	56,868.30	47,625.42	9,242.88	16.25%	764,570.73	2,092,616.86	-1,328,046.13	-173.70%
Expense Total:	56,868.30	47,625.42	9,242.88	16.25%	764,570.73	2,092,616.86	-1,328,046.13	-173.70%
Total Revenues	116,035.51	132,850.13	16,814.62	14.49%	1,168,732.11	2,476,730.70	1,307,998.59	111.92%
Fund 03 Surplus (Deficit):	59,167.21	85,224.71	26,057.50	44.04%	404,161.38	384,113.84	-20,047.54	-4.96%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022 Aug. Activity	2022-2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2021-2022 YTD Activity	2022-2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Fund: 04 - AIRPORT FUND								
Revenue								
44 - CHARGES FOR SERVICES	9,343.82	8,286.79	-1,057.03	-11.31%	120,926.24	120,218.39	-707.85	-0.59%
49 - TRANSFER	0.00	0.00	0.00	0.00%	0.00	297,325.00	297,325.00	0.00%
Revenue Total:	9,343.82	8,286.79	-1,057.03	-11.31%	120,926.24	417,543.39	296,617.15	245.29%
Expense								
Department: 040 - AIRPORT								
51 - PERSONNEL	317.73	968.48	-650.75	-204.81%	3,784.28	9,459.00	-5,674.72	-149.96%
52 - CONTRACTUAL	12,701.87	11,064.65	1,637.22	12.89%	52,770.78	57,947.90	-5,177.12	-9.81%
53 - GENERAL SERVICES	0.00	368.10	-368.10	0.00%	34.80	1,039.69	-1,004.89	-2,887.61%
54 - MACHINE & EQUIPMENT MAI	0.00	1,174.45	-1,174.45	0.00%	14,011.79	11,751.15	2,260.64	16.13%
55 - CAPITAL OUTLAY	3,601.50	0.00	3,601.50	100.00%	3,601.50	33,905.00	-30,303.50	-841.41%
Department 040 - AIRPORT Total:	16,621.10	13,575.68	3,045.42	18.32%	74,203.15	114,102.74	-39,899.59	-53.77%
Expense Total:	16,621.10	13,575.68	3,045.42	18.32%	74,203.15	114,102.74	-39,899.59	-53.77%
Total Revenues	9,343.82	8,286.79	-1,057.03	-11.31%	120,926.24	417,543.39	296,617.15	245.29%
Fund 04 Surplus (Deficit):	-7,277.28	-5,288.89	1,988.39	27.32%	46,723.09	303,440.65	256,717.56	549.44%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022 Aug. Activity	2022-2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2021-2022 YTD Activity	2022-2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Fund: 05 - STORM WATER DRAINAGE FUND								
Revenue								
41 - LICENSES AND PERMITS	13,008.24	1,602.36	-11,405.88	-87.68%	16,837.28	19,390.28	2,553.00	15.16%
43 - INTERGOVERNMENTAL	0.00	0.00	0.00	0.00%	1,016,222.95	0.00	-1,016,222.95	-100.00%
44 - CHARGES FOR SERVICES	84,483.42	83,329.91	-1,153.51	-1.37%	886,143.96	918,603.58	32,459.62	3.66%
45 - OTHER REVENUE	870.77	4,515.50	3,644.73	418.56%	3,212,994.33	34,648.50	-3,178,345.83	-98.92%
Revenue Total:	98,362.43	89,447.77	-8,914.66	-9.06%	5,132,198.52	972,642.36	-4,159,556.16	-81.05%
Expense								
Department: 050 - STORM WATER DRAINAGE								
52 - CONTRACTUAL	8,947.05	6,635.56	2,311.49	25.84%	280,151.34	118,841.29	161,310.05	57.58%
54 - MACHINE & EQUIPMENT MAI	0.00	16,910.40	-16,910.40	0.00%	3,366.00	46,020.52	-42,654.52	-1,267.22%
55 - CAPITAL OUTLAY	0.00	400.00	-400.00	0.00%	112,420.00	400.00	112,020.00	99.64%
56 - BANK CHARGES	0.00	175.00	-175.00	0.00%	84,918.72	778.79	84,139.93	99.08%
57 - DEBT SERVICE	63,258.08	81,611.69	-18,353.61	-29.01%	3,604,332.97	484,172.69	3,120,160.28	86.57%
59 - TRANSFER	175,727.00	0.00	175,727.00	100.00%	175,727.00	228,491.00	-52,764.00	-30.03%
Department 050 - STORM WATER DRAINAGE Total:	247,932.13	105,732.65	142,199.48	57.35%	4,260,916.03	878,704.29	3,382,211.74	79.38%
Expense Total:	247,932.13	105,732.65	142,199.48	57.35%	4,260,916.03	878,704.29	3,382,211.74	79.38%
Total Revenues	98,362.43	89,447.77	-8,914.66	-9.06%	5,132,198.52	972,642.36	-4,159,556.16	-81.05%
Fund 05 Surplus (Deficit):	-149,569.70	-16,284.88	133,284.82	89.11%	871,282.49	93,938.07	-777,344.42	-89.22%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022 Aug. Activity	2022-2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2021-2022 YTD Activity	2022-2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Fund: 07 - HOTEL OCCUPANCY TAX FUND								
Revenue								
40 - TAXES	63,088.62	67,706.73	4,618.11	7.32%	590,057.00	717,788.98	127,731.98	21.65%
44 - CHARGES FOR SERVICES	0.00	0.00	0.00	0.00%	46,257.15	61,202.49	14,945.34	32.31%
45 - OTHER REVENUE	9,811.75	6,123.56	-3,688.19	-37.59%	13,805.54	47,257.33	33,451.79	242.31%
Revenue Total:	72,900.37	73,830.29	929.92	1.28%	650,119.69	826,248.80	176,129.11	27.09%
Expense								
Department: 070 - TOURISM								
51 - PERSONNEL	4,943.06	5,171.20	-228.14	-4.62%	61,732.00	57,555.76	4,176.24	6.77%
52 - CONTRACTUAL	11,042.91	5,098.01	5,944.90	53.83%	114,952.47	83,359.60	31,592.87	27.48%
53 - GENERAL SERVICES	336.82	0.00	336.82	100.00%	3,040.74	1,227.41	1,813.33	59.63%
55 - CAPITAL OUTLAY	0.00	0.00	0.00	0.00%	13,482.97	0.00	13,482.97	100.00%
58 - GRANT DISBURSEMENTS	-688.57	1,700.74	-2,389.31	-347.00%	133,478.29	226,041.43	-92,563.14	-69.35%
Department 070 - TOURISM Total:	15,634.22	11,969.95	3,664.27	23.44%	326,686.47	368,184.20	-41,497.73	-12.70%
Department: 901 - NON-DEPARTMENTAL								
57 - DEBT SERVICE	0.00	36,350.00	-36,350.00	0.00%	0.00	135,902.50	-135,902.50	0.00%
Department 901 - NON-DEPARTMENTAL Total:	0.00	36,350.00	-36,350.00	0.00%	0.00	135,902.50	-135,902.50	0.00%
Expense Total:	15,634.22	48,319.95	-32,685.73	-209.07%	326,686.47	504,086.70	-177,400.23	-54.30%
Total Revenues	72,900.37	73,830.29	929.92	1.28%	650,119.69	826,248.80	176,129.11	27.09%
Fund 07 Surplus (Deficit):	57,266.15	25,510.34	-31,755.81	-55.45%	323,433.22	322,162.10	-1,271.12	-0.39%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022 Aug. Activity	2022-2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2021-2022 YTD Activity	2022-2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Fund: 08 - DEBT SERVICE FUND								
Revenue								
40 - TAXES	687.27	770.71	83.44	12.14%	268,328.07	265,173.99	-3,154.08	-1.18%
45 - OTHER REVENUE	96.00	124.99	28.99	30.20%	315.12	2,605.28	2,290.16	726.76%
49 - TRANSFER	343,650.00	0.00	-343,650.00	-100.00%	343,650.00	823,850.00	480,200.00	139.74%
Revenue Total:	344,433.27	895.70	-343,537.57	-99.74%	612,293.19	1,091,629.27	479,336.08	78.29%
Expense								
Department: 080 - DEBT SERVICE								
56 - BANK CHARGES	0.00	0.00	0.00	0.00%	300.00	300.00	0.00	0.00%
57 - DEBT SERVICE	205,050.00	192,157.92	12,892.08	6.29%	613,100.00	1,092,207.92	-479,107.92	-78.15%
Department 080 - DEBT SERVICE Total:	205,050.00	192,157.92	12,892.08	6.29%	613,400.00	1,092,507.92	-479,107.92	-78.11%
Expense Total:	205,050.00	192,157.92	12,892.08	6.29%	613,400.00	1,092,507.92	-479,107.92	-78.11%
Total Revenues	344,433.27	895.70	-343,537.57	-99.74%	612,293.19	1,091,629.27	479,336.08	78.29%
Fund 08 Surplus (Deficit):	139,383.27	-191,262.22	-330,645.49	-237.22%	-1,106.81	-878.65	228.16	20.61%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022	2022-2023	Aug. Variance		2021-2022	2022-2023	YTD Variance	
	Aug. Activity	Aug. Activity	Favorable / (Unfavorable)	Variance %	YTD Activity	YTD Activity	Favorable / (Unfavorable)	Variance %
Fund: 10 - CAPITAL PROJECTS FUND								
Revenue								
41 - LICENSES AND PERMITS	0.00	840.00	840.00	0.00%	3,712.20	5,148.75	1,436.55	38.70%
43 - INTERGOVERNMENTAL	0.00	0.00	0.00	0.00%	0.00	1,134,262.95	1,134,262.95	0.00%
44 - CHARGES FOR SERVICES	0.00	3,202.50	3,202.50	0.00%	0.00	6,293.13	6,293.13	0.00%
45 - OTHER REVENUE	17,911.35	31,339.16	13,427.81	74.97%	2,092,975.68	306,173.17	-1,786,802.51	-85.37%
49 - TRANSFER	0.00	0.00	0.00	0.00%	1,234,069.00	1,384,897.00	150,828.00	12.22%
Revenue Total:	17,911.35	35,381.66	17,470.31	97.54%	3,330,756.88	2,836,775.00	-493,981.88	-14.83%
Expense								
Department: 402 - STREET MAINTENANCE								
52 - CONTRACTUAL	91.96	0.00	91.96	100.00%	91.96	0.00	91.96	100.00%
54 - MACHINE & EQUIPMENT MAI	800.00	0.00	800.00	100.00%	1,508.66	0.00	1,508.66	100.00%
55 - CAPITAL OUTLAY	170,237.22	241,333.12	-71,095.90	-41.76%	3,828,619.88	3,211,271.54	617,348.34	16.12%
Department 402 - STREET MAINTENANCE Total:	171,129.18	241,333.12	-70,203.94	-41.02%	3,830,220.50	3,211,271.54	618,948.96	16.16%
Department: 501 - PARKS & RECREATION								
55 - CAPITAL OUTLAY	0.00	0.00	0.00	0.00%	0.00	988,984.00	-988,984.00	0.00%
56 - BANK CHARGES	0.00	0.00	0.00	0.00%	41,813.65	0.00	41,813.65	100.00%
Department 501 - PARKS & RECREATION Total:	0.00	0.00	0.00	0.00%	41,813.65	988,984.00	-947,170.35	-2,265.22%
Expense Total:	171,129.18	241,333.12	-70,203.94	-41.02%	3,872,034.15	4,200,255.54	-328,221.39	-8.48%
Total Revenues	17,911.35	35,381.66	17,470.31	97.54%	3,330,756.88	2,836,775.00	-493,981.88	-14.83%
Fund 10 Surplus (Deficit):	-153,217.83	-205,951.46	-52,733.63	-34.42%	-541,277.27	-1,363,480.54	-822,203.27	-151.90%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022 Aug. Activity	2022-2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2021-2022 YTD Activity	2022-2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Fund: 11 - CHILD SAFETY FUND								
Revenue								
42 - FINES AND FORFEITURES	65.00	53.67	-11.33	-17.43%	2,349.79	1,771.48	-578.31	-24.61%
45 - OTHER REVENUE	13.46	43.67	30.21	224.44%	35.95	362.72	326.77	908.96%
Revenue Total:	78.46	97.34	18.88	24.06%	2,385.74	2,134.20	-251.54	-10.54%
Total Revenues	78.46	97.34	18.88	24.06%	2,385.74	2,134.20	-251.54	-10.54%
Fund 11 Total:	78.46	97.34	18.88	24.06%	2,385.74	2,134.20	-251.54	-10.54%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022 Aug. Activity	2022-2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2021-2022 YTD Activity	2022-2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Fund: 12 - COURT TECHNOLOGY FUND								
Revenue								
42 - FINES AND FORFEITURES	674.42	730.20	55.78	8.27%	7,188.51	10,664.06	3,475.55	48.35%
45 - OTHER REVENUE	31.02	132.63	101.61	327.56%	80.48	975.63	895.15	1,112.26%
Revenue Total:	705.44	862.83	157.39	22.31%	7,268.99	11,639.69	4,370.70	60.13%
Total Revenues	705.44	862.83	157.39	22.31%	7,268.99	11,639.69	4,370.70	60.13%
Fund 12 Total:	705.44	862.83	157.39	22.31%	7,268.99	11,639.69	4,370.70	60.13%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022 Aug. Activity	2022-2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2021-2022 YTD Activity	2022-2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Fund: 13 - PUBLIC SAFETY FUND								
Revenue								
42 - FINES AND FORFEITURES	0.00	0.00	0.00	0.00%	29,457.61	0.00	-29,457.61	-100.00%
43 - INTERGOVERNMENTAL	0.00	0.00	0.00	0.00%	2,778.50	3,369.07	590.57	21.25%
45 - OTHER REVENUE	190.79	272.19	81.40	42.66%	493.05	3,456.46	2,963.41	601.04%
Revenue Total:	190.79	272.19	81.40	42.66%	32,729.16	6,825.53	-25,903.63	-79.15%
Expense								
Department: 130 - PUBLIC SAFETY								
52 - CONTRACTUAL	12,567.43	4,443.76	8,123.67	64.64%	12,567.43	16,468.02	-3,900.59	-31.04%
55 - CAPITAL OUTLAY	0.00	0.00	0.00	0.00%	0.00	29,019.90	-29,019.90	0.00%
Department 130 - PUBLIC SAFETY Total:	12,567.43	4,443.76	8,123.67	64.64%	12,567.43	45,487.92	-32,920.49	-261.95%
Expense Total:	12,567.43	4,443.76	8,123.67	64.64%	12,567.43	45,487.92	-32,920.49	-261.95%
Total Revenues	190.79	272.19	81.40	42.66%	32,729.16	6,825.53	-25,903.63	-79.15%
Fund 13 Surplus (Deficit):	-12,376.64	-4,171.57	8,205.07	66.29%	20,161.73	-38,662.39	-58,824.12	-291.76%

Prior-Year Comparative Income Statement

For the Period Ending 08/ Item 23.

Category	2021-2022		Aug. Variance		2021-2022		YTD Variance	
	Aug. Activity	2022-2023 Aug. Activity	Favorable / (Unfavorable)	Variance %	YTD Activity	2022-2023 YTD Activity	Favorable / (Unfavorable)	Variance %
Fund: 20 - TAX INCREMENT FINANCING FUND								
Revenue								
40 - TAXES	29,737.53	40,618.90	10,881.37	36.59%	140,563.88	631,340.50	490,776.62	349.15%
45 - OTHER REVENUE	254.38	3,490.53	3,236.15	1,272.17%	604.69	22,094.82	21,490.13	3,553.91%
49 - TRANSFER	154,698.00	0.00	-154,698.00	-100.00%	261,092.00	133,917.00	-127,175.00	-48.71%
Revenue Total:	184,689.91	44,109.43	-140,580.48	-76.12%	402,260.57	787,352.32	385,091.75	95.73%
Expense								
Department: 205 - TAX INCREMENT FINANCING								
59 - TRANSFER	343,650.00	0.00	343,650.00	100.00%	343,650.00	823,850.00	-480,200.00	-139.74%
Department 205 - TAX INCREMENT FINANCING Total:	343,650.00	0.00	343,650.00	100.00%	343,650.00	823,850.00	-480,200.00	-139.74%
Expense Total:	343,650.00	0.00	343,650.00	100.00%	343,650.00	823,850.00	-480,200.00	-139.74%
Total Revenues	184,689.91	44,109.43	-140,580.48	-76.12%	402,260.57	787,352.32	385,091.75	95.73%
Fund 20 Surplus (Deficit):	-158,960.09	44,109.43	203,069.52	127.75%	58,610.57	-36,497.68	-95,108.25	-162.27%

Prior-Year Comparative Income Statement

For the Period Ending 08/

Item 23.

Category	2021-2022 Aug. Activity	2022-2023 Aug. Activity	Aug. Variance Favorable / (Unfavorable)	Variance %	2021-2022 YTD Activity	2022-2023 YTD Activity	YTD Variance Favorable / (Unfavorable)	Variance %
Fund: 79 - SEDA								
Revenue								
40 - TAXES	65,323.82	63,235.09	-2,088.73	-3.20%	641,036.74	684,518.34	43,481.60	6.78%
43 - INTERGOVERNMENTAL	33,000.00	0.00	-33,000.00	-100.00%	66,000.00	0.00	-66,000.00	-100.00%
45 - OTHER REVENUE	2,336.02	4,360.55	2,024.53	86.67%	6,720.44	46,248.07	39,527.63	588.17%
Revenue Total:	100,659.84	67,595.64	-33,064.20	-32.85%	713,757.18	730,766.41	17,009.23	2.38%
Expense								
Department: 790 - SEDA								
51 - PERSONNEL	18,730.16	24,066.92	-5,336.76	-28.49%	221,284.61	272,440.55	-51,155.94	-23.12%
52 - CONTRACTUAL	1,591.16	4,561.28	-2,970.12	-186.66%	104,295.77	83,273.88	21,021.89	20.16%
53 - GENERAL SERVICES	630.39	496.00	134.39	21.32%	3,913.87	7,019.62	-3,105.75	-79.35%
54 - MACHINE & EQUIPMENT MAI	370.42	985.76	-615.34	-166.12%	4,903.77	3,215.00	1,688.77	34.44%
56 - BANK CHARGES	42.58	0.00	42.58	100.00%	156.91	60.72	96.19	61.30%
58 - GRANT DISBURSEMENTS	0.00	12,661.19	-12,661.19	0.00%	85,545.11	434,174.02	-348,628.91	-407.54%
Department 790 - SEDA Total:	21,364.71	42,771.15	-21,406.44	-100.20%	420,100.04	800,183.79	-380,083.75	-90.47%
Expense Total:	21,364.71	42,771.15	-21,406.44	-100.20%	420,100.04	800,183.79	-380,083.75	-90.47%
Total Revenues	100,659.84	67,595.64	-33,064.20	-32.85%	713,757.18	730,766.41	17,009.23	2.38%
Fund 79 Surplus (Deficit):	79,295.13	24,824.49	-54,470.64	-68.69%	293,657.14	-69,417.38	-363,074.52	-123.64%
Total Surplus (Deficit):	-767,350.05	-3,267,082.83	-2,499,732.78	-325.76%	25,888,218.74	-11,839,537.11	-37,727,755.85	-145.73%

Fund Summary

Fund	2021-2022		2022-2023		Aug. Variance		2021-2022		2022-2023		YTD Variance	
	Aug. Activity	Aug. Activity	Aug. Activity	Aug. Activity	Favorable / (Unfavorable)	Variance %	YTD Activity	YTD Activity	YTD Activity	YTD Activity	Favorable / (Unfavorable)	Variance %
01 - GENERAL FUND	-325,499.85	-258,971.59	-258,971.59	-258,971.59	66,528.26	20.44%	3,916,462.34	1,521,384.38	1,521,384.38	1,521,384.38	-2,395,077.96	-61.15%
02 - WATER AND WASTEWAT	-296,344.32	-2,765,781.36	-2,765,781.36	-2,765,781.36	-2,469,437.04	-833.30%	20,486,456.13	-12,969,413.40	-12,969,413.40	-12,969,413.40	-33,455,869.53	-163.31%
03 - SANITARY LANDFILL FUN	59,167.21	85,224.71	85,224.71	85,224.71	26,057.50	44.04%	404,161.38	384,113.84	384,113.84	384,113.84	-20,047.54	-4.96%
04 - AIRPORT FUND	-7,277.28	-5,288.89	-5,288.89	-5,288.89	1,988.39	27.32%	46,723.09	303,440.65	303,440.65	303,440.65	256,717.56	549.44%
05 - STORM WATER DRAINAGE	-149,569.70	-16,284.88	-16,284.88	-16,284.88	133,284.82	89.11%	871,282.49	93,938.07	93,938.07	93,938.07	-777,344.42	-89.22%
07 - HOTEL OCCUPANCY TAX	57,266.15	25,510.34	25,510.34	25,510.34	-31,755.81	-55.45%	323,433.22	322,162.10	322,162.10	322,162.10	-1,271.12	-0.39%
08 - DEBT SERVICE FUND	139,383.27	-191,262.22	-191,262.22	-191,262.22	-330,645.49	-237.22%	-1,106.81	-878.65	-878.65	-878.65	228.16	20.61%
10 - CAPITAL PROJECTS FUN	-153,217.83	-205,951.46	-205,951.46	-205,951.46	-52,733.63	-34.42%	-541,277.27	-1,363,480.54	-1,363,480.54	-1,363,480.54	-822,203.27	-151.90%
11 - CHILD SAFETY FUND	78.46	97.34	97.34	97.34	18.88	24.06%	2,385.74	2,134.20	2,134.20	2,134.20	-251.54	-10.54%
12 - COURT TECHNOLOGY FU	705.44	862.83	862.83	862.83	157.39	22.31%	7,268.99	11,639.69	11,639.69	11,639.69	4,370.70	60.13%
13 - PUBLIC SAFETY FUND	-12,376.64	-4,171.57	-4,171.57	-4,171.57	8,205.07	66.29%	20,161.73	-38,662.39	-38,662.39	-38,662.39	-58,824.12	-291.76%
20 - TAX INCREMENT FINANC	-158,960.09	44,109.43	44,109.43	44,109.43	203,069.52	127.75%	58,610.57	-36,497.68	-36,497.68	-36,497.68	-95,108.25	-162.27%
79 - SEDA	79,295.13	24,824.49	24,824.49	24,824.49	-54,470.64	-68.69%	293,657.14	-69,417.38	-69,417.38	-69,417.38	-363,074.52	-123.64%
Total Surplus (Deficit):	-767,350.05	-3,267,082.83	-3,267,082.83	-3,267,082.83	-2,499,732.78	-325.76%	25,888,218.74	-11,839,537.11	-11,839,537.11	-11,839,537.11	-37,727,755.85	-145.73%



REGULAR CITY COUNCIL MEETING

City Hall Council Chambers, 298 West Washington Street
Tuesday, September 05, 2023 at 5:30 PM

MINUTES

The City Council of the City of Stephenville, Texas, convened on Tuesday, September 05, 2023, in the City Hall Council Chambers, 298 West Washington Street, for the purpose of a Regular City Council Meeting, with the meeting being open to the public and notice of said meeting, giving the date, time, place and subject thereof, having been posted as prescribed by Chapter 551, Government Code, Vernon's Texas Codes Annotated, with the following members present, to wit:

COUNCIL PRESENT:

- Mayor Doug Svien
- Council Member LeAnn Durfey
- Council Member Justin Haschke
- Council Member Bob Newby
- Council Member Maddie Smith
- Council Member David Baskett
- Council Member Brandon Greenhaw (arrived at 6:32 PM)
- Council Member Mark McClinton

COUNCIL ABSENT: Council Member Lon Reisman

OTHERS ATTENDING:

- Jason M. King, City Manager
- Randy Thomas, City Attorney
- Sarah Lockenour, City Secretary

CALL TO ORDER

Mayor Svien called the Regular City Council Meeting to order at 5:30 PM.

PLEDGES OF ALLEGIANCE

Council Member Maddie Smith led the pledges to the flags of the United States and the State of Texas.

INVOCATION

Pastor Jarrod Brown of Grace Fellowship voiced the invocation.

PRESENTATIONS AND RECOGNITIONS

Proclamation Recognizing Milton Brown Day

The Mayor read the following proclamation:

WHEREAS, Milton Brown was born in Stephenville to cotton sharecroppers in 1903; and

WHEREAS, Milton Brown displayed great musical promise as a vocalist from a young age and formed the Wills Fiddle Band with his friends and family; and

WHEREAS, the Wills Fiddle Band gained notoriety at dance halls in and around Fort Worth, the birthplace of Western Swing; and

WHEREAS, in 1932, Milton Brown formed his own band, Milton Brown and His Musical Brownies – a prototypical western swing band that consisted of fiddles, guitars, banjo, bass, and piano – became a mainstay in North and Central Texas; and

WHEREAS, the ensemble offered a ray of joy during a bleak chapter of U.S. history, and its style influenced legendary artists such as Spade Cooley, Tex Williams, and Bob Wills; and

WHEREAS, after his tragic death in 1936, Milton was inducted into the Texas Music Hall of Fame and the Western Swing Society Hall of Fame, which cemented his status as a Texas music icon; and

WHEREAS, Milton Brown is buried in the Smith Springs Cemetery in Erath County; and

WHEREAS, Western Swing music stands as a shining example of Texas' contributions to American culture at large, and this legacy was built in no small part by Milton Brown, the Father of Swing; and

NOW, THEREFORE, I, Doug Svien, Mayor of the City of Stephenville, do hereby proclaim September 8, 2023, as **MILTON BROWN DAY** in the City of Stephenville and urge all residents and employees to join in celebrating his storied career and legacy left in Texas music history. I hope you are inspired to emulate the qualities that propelled him to greatness.

Moumin Quazi, as a member of the Langdon Review of the Arts in Texas, accepted the proclamation for Milton Brown Day.

Proclamation Recognizing Constitution Week

The Mayor read the following proclamation:

WHEREAS: September 17, 2023, marks the two hundred and thirty-sixth anniversary of the framing of the Constitution of the United States of America by the Constitutional Convention; and

WHEREAS: It is fitting and proper to accord official recognition to this magnificent document and its memorable anniversary, and to the patriotic celebrations which will commemorate it; and

WHEREAS: Public Law 915 guarantees the issuing of a proclamation each year by the President of the United States of America designating September 17 through 23 as Constitution Week,

NOW, THEREFORE I, Doug Svien by virtue of the authority vested in me as Mayor of the City of Stephenville do hereby proclaim the week of September 17 through 23 as **CONSTITUTION WEEK** and ask our citizens to reaffirm the ideals of the Framers of the constitution had in 1787 by vigilantly protecting the freedoms guaranteed to us through this guardian of our liberties, remembering that lost rights may never be regained.

Mary Watters and Melinda Schuck, members of the Daughters of the American Revolution, accepted the Constitution Week Proclamation.

CITIZENS GENERAL DISCUSSION

No one addressed the Council at this time.

REGULAR AGENDA

1. Consider Approval of Interlocal Cooperation Agreement for Erath County Joint Dispatch Center

City Manager Jason King presented this item to the Council.

MOTION by Mark McClinton, second by David Baskett, to approve the Interlocal Cooperation Agreement for Erath County Joint Dispatch Center as presented. MOTION CARRIED unanimously.

2. Consider Approval of the Lockhart Road At-Grade Crossing Agreement

Public Works Director Nick Williams presented this item to the Council.

The Lockhart Road Improvements Project was awarded to H4 Construction, Inc. for \$345,579 on June 6, 2023. A records search indicated a rail crossing agreement was not on file. The attached Public Roadway At-Grade Crossing Agreement formalizes the existing Lockhart Road crossing with FWWR and allows the Lockhart Road Improvements Project to commence. The agreement has been reviewed and approved by the city's insurance carrier and by the City Attorney. Given the long-standing history of the existing rail crossing of Lockhart Road, FWWR has agreed to not charge the City of Stephenville for the crossing agreement. Staff recommend approval of the Public Roadway At-Grade Crossing Agreement with the Fort Worth and Western Railroad Company (FWWR) to commence the Lockhart Road Improvements Project.

MOTION by Justin Haschke, second by LeAnn Durfey, to approve the At-Grade Crossing Agreement as presented. MOTION CARRIED unanimously.

3. Consider Resolution Approving a Negotiated Settlement Between the Atmos Cities Steering Committee ("ACSC") and Atmos Energy Corp., Mid-Tex Division Regarding the Company's 2023 Rate Review Mechanism Filing

City Manager Jason King presented this item to the Council.

The City, along with 181 other Mid-Texas cities served by Atmos Energy Corporation, Mid-Tex Division ("Atmos Mid-Tex" or "Company"), is a member of the Atmos Cities Steering Committee ("ACSC"). In 2007, ACSC and Atmos Mid-Tex settled a rate application filed by the Company pursuant to Section 104.301 of the Texas Utilities Code for an interim rate adjustment commonly referred to as a GRIP filing (arising out of the Gas Reliability Infrastructure Program legislation). That settlement created a substitute rate review process, referred to as Rate Review Mechanism ("RRM"), as a substitute for future filings under the GRIP statute.

Since 2007, there have been several modifications to the original RRM Tariff. The most recent iteration of an RRM Tariff was reflected in an ordinance adopted by ACSC members in 2018. On or about March 31, 2023, the Company filed a rate request pursuant to the RRM Tariff adopted by ACSC members. The Company claimed that its cost-of-service in a test year ending December 31, 2022, entitled it to additional system-wide revenues of \$165.9 million.

Application of the standards set forth in ACSC's RRM Tariff reduces the Company's request to \$156.1 million, \$113.8 million of which would be applicable to ACSC members. After reviewing the filing and

conducting discovery, ACSC's consultants concluded that the system-wide deficiency under the RRM regime should be \$130.9 million instead of the claimed \$156.1 million.

After several settlement meetings, the parties have agreed to settle the case for \$142 million. This is a reduction of \$23.9 million to the Company's initial request. This includes payment of ACSC's expenses. The settlement also includes an additional \$19.5 million for the securitization regulatory asset expenses related to Winter Storm Uri. This was previously approved by the Texas Legislature and Railroad Commission. The Effective Date for new rates is October 1, 2023. ACSC members should take action approving the Resolution/Ordinance before September 30, 2023.

ACSC has reached a settlement agreement with Atmos resolving the 2023 RRM filing. In its filing, the Company requested a rate increase of \$165.9 million on a system-wide basis. This was reduced to \$156.1 million due to limitations in the RRM tariff. Our consultants conducted discovery and prepared a report detailing adjustments totaling \$25.2 million. This translates into a \$130.9 million increase (i.e. \$156.1 - \$25.2 = \$130.9). The Company has agreed to settle the case for \$142 million. This is a reduction of \$23.9 million to the Company's initial request. This includes payment of ACSC's expenses. Based upon all of the factors, we believe this is a very good outcome and recommend approval.

MOTION by Mark McClinton, second by Justin Haschke, to approve Resolution No. 2023-R-13 as presented. MOTION CARRIED unanimously.

4. Consider Approval of Architect for City Building Located at 245 N Belknap Street and 299 N Belknap Street

City Manager Jason King presented this item to the Council. He recommends hiring Wilson Architects out of Granbury to complete the design work for the City and SEDA on the city building located at 245 N Belknap Street and 299 N Belknap Street.

MOTION by David Baskett, second by Bob Newby, to authorize City Manager to contract with the architect of his choosing for the city building on 245 N Belknap and 299 N Belknap as presented. MOTION CARRIED unanimously.

PLANNING AND ZONING COMMISSION

Steve Killen, Director of Development Services

5. PUBLIC HEARING

Case No.: RZ2023-006

Applicant Paxton Wooley, Representing JPW Consulting Company and Triple W Remodeling, is Requesting a Rezone of Property Located at 0 Stephen, Parcel R77402, Being S5000 CITY ADDITION, BLOCK 99; LOT 18 of the City of Stephenville, Erath County, Texas from Single-Family Residential (R-1) to One and Two-Family Residential District (R-2)

Director of Development Services Steve Killen presented this item to the Council.

The applicant is requesting a rezone to One and Two-Family Residential District (R-2) which will allow him to build a duplex. The properties located on the 900 block of Pecan are zoned Multi-family (R-3). The property has a current zoning of Single-Family Residential District (R-1). The Future Land Use for this property is designated as Single Family. The Planning and Zoning Commission held a Specially Called Meeting on August 30, 2023, and by a unanimous vote of 6-0, recommended the City Council deny the rezone request.

The Mayor opened the Public Hearing at 5:54 PM.

Paxton Wooley of Wylie, Texas spoke in favor of the rezone.

No one spoke in opposition.

The Public Hearing was closed at 5:56 PM.

5. Consider Approval of Ordinance Rezoning Property Located at 0 Stephen, Parcel R77402, Being S5000 CITY ADDITION; BLOCK 99; LOT 18 of the City of Stephenville, Erath County, Texas from Single-Family Residential (R-1) to One and Two-Family Residential District (R-2)

MOTION by Justin Haschke, second by David Baskett, to approve Ordinance No. 2023-O-22 rezoning property located at 0 Stephen, Parcel R77402, being S5000 City Addition; Block 99; Lot 18 from Single-Family Residential (R-1) to One and Two-Family Residential District (R-2). All voted in favor with Mark McClinton opposed. MOTION CARRIED.

Council Members expressed appreciation for Mr. Wooley's flexibility and adaptability with requests from P&Z and City staff regarding his development.

7. Case No.: PP2022-001 - UPDATE

Applicant Emanuel Glockzin, Representing Retirement Living for Seniors, LTD, Pursuant to the Requirements Set Forth by Section 154.08 of the City of Stephenville Zoning Ordinance, is Presenting an Update and Requesting an Extension of the Development Schedule for the Planned Development Located at 0 W Lingleville Rd, Parcel R77868, 7.664 Acres of A0520 Menefee Jarrett, of the City of Stephenville, Erath County, Texas

Director of Development Services Steve Killen presented this item to the Council.

The Planning and Zoning Commission convened on June 15, 2022, and by a vote of 4/2, recommended the City Council approve the rezoning request. Subsequently, on June 28, 2022, the City Council approved Ordinance No. 2022-O-17, rezoning the property from Single Family District (R-1) to Planned Development District (PD). City ordinance requires annual updates to the Commission. On August 16, the Planning and Zoning Commission received an update from Mr. Glockzin and by a unanimous vote of 7-0, recommended the City Council approve the updated Development Schedule.

8. Consider Approval of Ordinance Extending the Modified Development Schedule for Planned Development District (PD) Located at 0 W Lingleville Rd, Parcel R77868, 7.664 Acres of A0520 Menefee Jarrett, of the City of Stephenville, Erath County, Texas

MOTION by Mark McClinton, second by Justin Haschke, to approve Ordinance No. 2023-O-23 extending the Modified Development Schedule for Planned Development District (PD) located at 0 W Lingleville Road, Parcel R77868, 7.664 acres of A0520 Menefee Jarrett of Stephenville. MOTION CARRIED unanimously.

NOMINATIONS COMMITTEE

Maddie Smith, Chair

9. Nominations Committee Report

Committee Chair Maddie Smith presented this report.

The committee met on August 15, 2023, to review applications for the Western Heritage Advisory Board. The following recommendations were made:

Western Heritage Advisory Board

Darla Doty

Jerry Norris

Kari Haile

Marilyn Meador

Vanessa Halford

MOTION by Maddie Smith, second by Bob Newby, to recommend the five nominations as presented to the Nominations Committee to full Council. MOTION CARRIED unanimously.

10. Nominations to Western Heritage Advisory Board

MOTION by Maddie Smith, second by David Baskett, to approve the Western Heritage Advisory Board nominations as presented in the Committee Report. MOTION CARRIED unanimously.

TOURISM AND VISITORS BUREAU COMMITTEE

LeAnn Durfey, Chair

11. Tourism and Visitors Bureau Committee Report - August 15, 2023

Committee Chair LeAnn Durfey presented this report.

The committee met on August 15, 2023, to review applications for Non-voting, Ex Officio Members to the Western Heritage Advisory Board. The following recommendations were made:

Western Heritage Advisory Board Non-voting, Ex-Officio Members

Angie Ayers

Bob Doty

Mary J. Flatbush

MOTION by LeAnn Durfey, second by Maddie Smith, to recommend the three nominations as presented to the Tourism and Visitors Bureau Committee to full Council. MOTION CARRIED unanimously.

The committee met on August 15, 2023, to consider approval of the Downtown Strategies Strategic Plan. The following recommendations were made:

Downtown Strategies, a division of Retail Strategies, created a Strategic Plan for downtown. The Main Street advisory board voted to recommend approval of the Strategic Plan to move forward to Council.

Rita Cook, of 316 Tanglewood Circle, addressed the Tourism and Visitors Bureau Committee regarding the strategic plan and provided an update on the Mainstreet Committee.

MOTION by LeAnn Durfey, second by Bob Newby, to recommend approval of the Downtown Strategies Strategic Plan as presented to the Committee to full Council. MOTION CARRIED unanimously.

12. Nominations of Non-voting, Ex-Officio Members to Western Heritage Advisory Board

MOTION by LeAnn Durfey, second by Bob Newby, to approve the nominations of Non-Voting, Ex-Officio Members to the Western Heritage Advisory Board as presented in the Tourism And Visitors Bureau Committee Report. MOTION CARRIED unanimously.

13. Consider Approval of the Downtown Strategies Strategic Plan

MOTION by LeAnn Durfey, second by David Baskett, to approve the Downtown Strategies Strategic Plan as presented in the Tourism and Visitors Bureau Committee Report. MOTION CARRIED unanimously.

FINANCE COMMITTEE

Justin Haschke, Chair

14. Finance Committee Report - August 22, 2023

Finance Committee Chair Justin Haschke gave this report.

REVIEW AND DISCUSS ANNUAL COMPREHENSIVE FINANCIAL REPORT FOR THE PERIOD ENDING SEPTEMBER 30, 2022

Mike Brooks of Brooks, Watson & Co., the CPA firm that performed the annual audit, presented the Annual Comprehensive Financial Report for the fiscal year ending September 30, 2022. The audit received an unmodified “clean” opinion.

The motion was made and seconded to move forward to the full Council with a positive recommendation to accept the report. The motion passed unanimously.

BUDGET ADJUSTMENTS FOR FISCAL YEAR ENDING SEPTEMBER 30, 2023

Budget Adjustments for the fiscal year ending September 30, 2023, were presented.

The General Fund reserve will be reduced by \$2,427,763 for the purchase of 294 & 299 N. Belknap in the amount of \$794,670 and the carryover of unspent capital improvement project funds from FY 21-22 of \$1,633,093. The other adjustments in the General Fund are a net zero for reallocation of budget or the addition of expenditures with a related addition of revenue.

The Water and Wastewater Fund reserve will be reduced by \$1,568,348 related to the carryover of unspent capital improvement project funds from FY 21-22.

The Landfill Fund reserve will be increased by \$28,380 related to equipment financing. The other adjustments in the Landfill Fund are a net zero for the addition of expenditures with a related addition of revenue.

The Capital Projects Fund reserve will be decreased by \$576,661 due to the carryover of unspent capital improvement project funds from FY 21-22.

The Public Safety Fund reserve will be decreased by \$40,280 for the purchase of two motorcycles and related training for two traffic officers.

The motion was made and seconded to forward the budget adjustments to the full Council with a positive recommendation to approve the adjustments. The motion passed unanimously.

CONSIDER APPROVAL OF INVESTMENT POLICY

Staff presented the updated investment policy. The motion was made and seconded to forward the Investment policy to the full Council with a positive recommendation to approve. The motion passed unanimously.

15. Consider Acceptance of Annual Comprehensive Financial Report for Period Ending September 30, 2022

Mike Brooks of Brooks, Watson & Co., the CPA firm that performed the annual audit, presented the Annual Comprehensive Financial Report for the fiscal year ending September 30, 2022. The audit received an unmodified “clean” opinion.

MOTION by Justin Haschke, second by Bob Newby, to approve the Annual Comprehensive Financial Report for period ending September 30, 2022, as presented. MOTION CARRIED unanimously.

16. Consider Approval of Budget Adjustments for Fiscal Year Ending September 30, 2023

MOTION by Justin Haschke, second by Mark McClinton, to approve Ordinance No. 2023-O-24 approving budget adjustments for fiscal year ending September 30, 2023. MOTION CARRIED unanimously.

17. Consider Approval of Investment Policy Update

MOTION by Justin Haschke, second by LeAnn Durfey, to approve Resolution No. 2023-R-14 approving the Investment Policy Update as presented in the Finance Committee Report. MOTION CARRIED unanimously.

FINANCIAL REPORTS

Monica Harris, Director of Finance

18. Monthly Budget Report for the Period Ending July 31, 2023

In reviewing the financial statements ending July 31, 2023, the financial indicators are overall as or better than anticipated.

Property Tax Collections: We received \$21K in property taxes in the month of July, resulting in a \$436K increase over funds collected last fiscal year to date. The amount collected is 97% of the budget, which is \$180K less than anticipated.

Sales and Use Tax: We received \$767K in sales tax in July, resulting in \$984K or 14% more than the funds collected last fiscal year to date. The amount collected is 87% of the \$9 million budget, which is \$471K higher than anticipated.

Revenue (by Fund): Of the \$39.9 million revenue received to date, 51% is in the General Fund, 26% is in the Water/Wastewater Fund and 6% is in the Landfill Fund.

Revenue (Budget vs. Actual): We have received 92% of the total budgeted revenues through July, which is \$3.3 million more than anticipated due to taxes, charges for services, and other revenue such as investment income, donations, and debt proceeds.

Revenue (Prior Year Comparison): We received \$22.5 million less in revenue through July than last year to date due to debt proceeds; however, we have received \$1.6 million more in taxes, \$456K more in intergovernmental, and \$246K more in charges for services over last year to date.

Expenditures (by Fund): Of the \$48.4 million spent to date, 42% is in the Water/Wastewater Fund, 39% is in the General Fund, 8% in the Capital Projects Fund, and 4% in the Landfill Fund.

Expenditures (Budget vs. Actual): We have expended 52% of the total budgeted expenditures through July, which is almost \$25.5 million less than anticipated due to personnel, contractual and capital outlay.

Expenditures (Prior Year Comparison): We spent \$13 million more in expenditures through July than last year to date, the bulk of which is capital outlay.

SEDA Revenue Comparison: SEDA has received an overall 92% of budgeted revenue through July, which is \$50,000 more than last year to date and \$80,000 more than anticipated due to taxes and interest income.

SEDA Expenditure Comparison: SEDA has spent an overall 41% of budgeted expenditures through July, which is \$359,000 more than last year to date due to personnel and grant disbursements but \$766K less than anticipated due to capital outlay and grant disbursements.

STEPHENVILLE ECONOMIC DEVELOPMENT AUTHORITY REPORT

Jeff Sandford, Executive Director

SEDA Executive Director Jeff Sandford addressed the Council at tonight's Regular City Council Meeting. Mr. Sandford shared a historical recap and birthday rundown of September. He also updated the Council on SEDA's geofencing analytics and marketing tools. Lastly, Mr. Sandford announced the partnership with Stephenville ISD to create the Career Club which begins September 28 for current senior students and the Career Academy which will help seniors with skill set training to prepare them for the workforce.

CONSENT AGENDA

- 19. Consider Approval of Joint Resolution with Erath County for a Joint Election to be Conducted November 7, 2023**
- 20. Consider Approval of Contract with Erath County for Election Services**
- 21. Consider Approval of Regular City Council Meeting Minutes - August 1, 2023**
- 22. Consider Approval of Special City Council Meeting Minutes - August 8, 2023**
- 23. Consider Approval of City Council Work Session Minutes - August 14, 2023**
- 24. Consider Approval of Special City Council Meeting Minutes - August 15, 2023**
- 25. Consider Approval of City Council Work Session Minutes - August 15, 2023**
- 26. Consider Approval of Auction Items**
- 27. Consider Approval of Renewal of Food Inspection Services**
- 28. Consider Approval of Award of Contract to Vulcan Materials for the Purchase of Aggregate, Hot Mix and Flexible Base Materials for FY 2023-2024**
- 29. Consider Approval of Bid for Utility Billing Services**

MOTION by Mark McClinton, second by Brandon Greenhaw, to approve the Consent Agenda items as presented. MOTION CARRIED unanimously.

COMMENTS BY CITY MANAGER

No comments at this time.

COMMENTS BY COUNCIL MEMBERS

LeAnn Durfey

Busy month with the first TSU home game this weekend and the SISD homecoming football game next weekend. This month we also have the Cowboy Capital Pro Rodeo in their new arena. All are encouraged to attend all three exciting events!

David Baskett

Congratulations to Sargent Moore and Officer Lightfoot for completing their finishing their Basic Police Motor Vehicle Course.

Mayor Svien

Tarleton had their groundbreaking for their event center recently. That will be a great addition to the City of Stephenville.

Shout out to TXDOT for getting the traffic light at Lillian and Washington replaced.

Shout out to Dr. Hurley and Lon Reisman on working with SISD to move the Stephenville vs. Glen Rose football game back to Stephenville.

Mayor Svien recessed the Regular City Council Meeting at 6:40 PM and convened the Executive Session at 6:44 PM.

EXECUTIVE SESSION

In compliance with the provisions of the Texas Open Meetings Law, Subchapter D, Government Code, Vernon's Texas Codes, Annotated, in accordance with

31. **Section 551.072 Deliberation Regarding Real Property** - to deliberate the purchase, exchange, lease, or value of real property, to wit: **A0640 ROBERTS MATTHEW SURVEY**
32. **Section 551.072 Deliberation Regarding Real Property** - to deliberate the purchase, exchange, lease, or value of real property, to wit: real property located in **A0016 ANDREWS JOSEPH W; A0153 CONGER JAMES; A0236 ENSMINGER DANIEL; A0761 TAYLOR THURSTON M; BARN & STGS**
30. **Section 551.071 Consultation with Attorney** - to Consult Over a Pending or Contemplated Litigation

Mayor Svien adjourned the Executive Session at 7:29 PM and reconvened the Regular City Council Meeting at 7:30 PM.

ACTION TAKEN ON ITEMS DISCUSSED IN EXECUTIVE SESSION, IF NECESSARY

31. **Section 551.072 Deliberation Regarding Real Property** - to deliberate the purchase, exchange, lease, or value of real property, to wit: **A0640 ROBERTS MATTHEW SURVEY**

MOTION by Mark McClinton, second by David Baskett, authorizing the City Manager to negotiate on behalf of the City regarding property issues on A0640 Roberts Matthew Survey as discussed in Executive Session. MOTION CARRIED unanimously.

ADJOURN

Mayor Svien adjourned the Regular City Council meeting at 7:31 PM.

Note: The Stephenville City Council may convene into Executive Session on any matter related to any of the above agenda items for a purpose, such closed session allowed under Chapter 551, Texas Government Code.

Doug Svien, Mayor

ATTEST:

Sarah Lockenour, City Secretary



SPECIAL CITY COUNCIL MEETING

City Hall Council Chambers, 298 West Washington Street
Tuesday, September 19, 2023 at 5:30 PM

MINUTES

The City Council of the City of Stephenville, Texas, convened on Tuesday, September 19, 2023, in the City Hall Council Chambers, 298 West Washington Street, for the purpose of a Special City Council Meeting, with the meeting being open to the public and notice of said meeting, giving the date, time, place and subject thereof, having been posted as prescribed by Chapter 551, Government Code, Vernon's Texas Codes Annotated, with the following members present, to wit:

COUNCIL PRESENT:

- Mayor Doug Svien
- Council Member Justin Haschke
- Council Member Lonn Reisman
- Council Member Bob Newby
- Council Member Maddie Smith
- Council Member David Baskett
- Council Member Brandon Greenhaw
- Council Member Mark McClinton

COUNCIL ABSENT: Council Member LeAnn Durfey

OTHERS ATTENDING:

- Jason M. King, City Manager
- Randy Thomas, City Attorney
- Sarah Lockenour, City Secretary

CALL TO ORDER

Mayor Svien called the Special City Council Meeting to order at 5:47 PM.

REGULAR AGENDA

1. PUBLIC HEARING

Fiscal Year 2023-2024 Budget

Mayor Svien opened the Public Hearing at 5:47 PM. No one spoke on this agenda item and the Mayor closed the Public Hearing at 5:47 PM.

2. Consider Adoption of Ordinance for Annual Operating Budget for Fiscal Year 2023-2024

MOTION by Justin Haschke, second by Bob Newby to adopt Ordinance No. 2023-O-25 approving the Fiscal Year 2023-2024 Annual Operating Budget. MOTION CARRIED by the following roll-call vote:

AYES: Justin Haschke, Lonn Reisman, Bob Newby, Maddie Smith, David Baskett, Brandon Greenhaw, Mark McClinton, and Mayor Svien

NOES: none

3. Consider Ratifying the Property Tax Increase Reflected in the FY 2023-2024 Annual Operating Budget

City Manager Jason King reviewed the proposed Property Tax Increase.

MOTION by Justin Haschke, second by Bob Newby, to ratify the property tax increase reflected in the Fiscal Year 2023-2024 Annual Operating Budget. MOTION CARRIED by the following roll-call vote:

AYES: Justin Haschke, Lonn Reisman, Bob Newby, Maddie Smith, David Baskett, Brandon Greenhaw, Mark McClinton, and Mayor Svien

NOES: none

4. Consider Adoption of Ordinance Setting Fee Schedule for Fiscal Year 2023-2024

MOTION by Justin Haschke, second by Bob Newby, to adopt Ordinance No. 2023-O-26 establishing fees for services and providing an effective date. MOTION CARRIED unanimously.

5. PUBLIC HEARING

2023 Tax Rate

Mayor Svien opened the public hearing at 5:51 PM. No one spoke on this item and the Mayor closed the Public Hearing at 5:51 PM

6. Consider Adoption of Ordinance Setting Tax Rate for 2023

MOTION by Justin Haschke, second by David Baskett, to adopt Ordinance No. 2023-O-27 establishing for the property tax rate to be increased by the adoption of a tax rate of \$0.382 per \$100, which is effectively a 3.83 percent increase in the tax rate. MOTION CARRIED by the following roll-call vote:

AYES: Justin Haschke, Lonn Reisman, Bob Newby, Maddie Smith, David Baskett, Brandon Greenhaw, Mark McClinton, and Mayor Svien

NOES: none

7. Consider Approval of HOT Funds Expense for Promotional Opportunity

City Manager Jason King presented an opportunity for the city to be on PBS series called Viewpoint hosted by Dennis Quaid. This series would include a five-minute promotional video of the City of Stephenville to be aired on PBS forty-five to sixty times per quarter for a year and a one-minute promotional video to be aired on various national channels throughout the year. We would retain access and rights to the one-minute video. This opportunity will cost about \$30,000 and will provide nationwide exposure for the City of Stephenville. The City Manager recommends moving forward with this opportunity.

MOTION by Mayor Doug Svien, second by Bob Newby, to approve the expense of up to \$30,000 in HOT Funds for Viewpoint and give the City Manager and/or the Mayor the ability negotiate and approve a contract with Viewpoint. MOTION CARRIED 6:2 with David Baskett and Brandon Greenhaw opposed.

ADJOURN

With no further business, Mayor Svien adjourned the Special City Council Meeting at 6:01 PM.

Note: The Stephenville City Council may convene into Executive Session on any matter related to any of the above agenda items for a purpose, such closed session allowed under Chapter 551, Texas Government Code.

Doug Svien, Mayor

ATTEST:

Sarah Lockenour, City Secretary



1821 Rutherford Lane, Ste 400
Austin, TX 78754
512-231-7400

Item 26.

Renewal Notice

City of Stephenville
Sarah Lockenour
City Secretary
298 W Washington St
Stephenville, TX 76401-4257

Account No.	C-684
Date:	2023-09-07
Amount Due:	\$3,638.00

TML Federal ID No: 74-6000125

Member Service Fee

For the City's share of the cost of League services for the period 2023-12-01 - 2024-11-30.

Member Service Fees are based on population reported by the member city and supplemented by COG population estimates and/or Bureau of Census estimates, when available.

Texas Local Government Code Section 140.0045 requires that your proposed annual budget reflect expenditures your city makes for directly or indirectly influencing or attempting to influence the outcome of legislative or administrative action. TML member service fees are not used for advocacy and need not be included in that calculation.

If you would like TML to submit a conflict disclosure "form 1295," please contact Rachael Pitts on our staff at 512-231-7472 or rpitts@tml.org.

Please make a copy of this statement and return it with your remittance.

For Payments by EFT/ACH:

Bank: JPMorgan Chase
ABA# 111000614
Account # 9440682815

BILLED	\$3,638.00
PAID	\$0.00
ADJ	\$0.00
BALANCE	\$3,638.00

STAFF REPORT

SUBJECT: Utility Backhoe
MEETING: Council Meeting - 10 Oct 2023
DEPARTMENT: Public Works – Water/Sewer
STAFF CONTACT: Nick Williams

RECOMMENDATION:

Staff recommends approval to purchase a backhoe from Holt CAT as approved in the adopted FY23-24 budget.

BACKGROUND:

The city utilizes two backhoes as core pieces of equipment to perform routine maintenance, excavate, load, and clean construction areas.

PROPOSAL:

Attached is a Sourcewell quote received from Holt CAT for the purchase of a 420 backhoe in the amount of \$142,648.28. The utility department currently uses a similar machine and has had good success with power and efficiency.

FISCAL IMPACT SUMMARY:

The FY23-24 adopted budget includes \$145,000 for the backhoe. The total purchase cost of the machine is \$142,648.28 leaving a positive balance of \$2,350.72.

The Purchasing Manager has confirmed the city is able to purchase this equipment through the Sourcewell Cooperative purchasing agency and adhere to all purchasing requirements.

ALTERNATIVES:

The following alternatives are provided for consideration:

1. Do not recommend approval of the backhoe as presented, or
2. Purchase the backhoe with financing, or
3. Recommend an alternate backhoe.

ADVANTAGES:

1. The cost is under budget.
2. A recent machine has been held with CAT

DISADVANTAGES:

1. No disadvantages have been identified.

ATTACHMENTS:

[2023_10-10 – Holt CAT – Backhoe Quote](#)



DATE: Sept 21, 2023
 QUOTE #:321787-01

CITY OF STEPHENVILLE
 NICK WILLIAMS

Dunn, Patrick
 817.996.6348

298 W WASHINGTON ST
 STEPHENVILLE, TEXAS 76401-3414

One (1) New Caterpillar Inc Model: 420 Backhoe Loaders with all standard equipment in addition to the additional specifications listed below:

SALE PRICE	\$142,649.28
EXT WARRANTY	Included
TOTAL PRICE	\$142,649.28
<hr/>	
SUB TOTAL	\$142,649.28
TOTAL PURCHASE PRICE	\$142,649.28

WARRANTY

Standard Warranty: 12 Month/Unlimited Hours Total Machine
 Extended Warranty: 4 year or 2000 hour powertrain extended warranty

City of Stephanville sourcewell account number 131370

DATE: Sept 21,2023 #:Quote 321787-01

MACHINE SPECIFICATIONS

DESCRIPTION	REF.#
DCA2/ST/C4EX	617-5960
INCLUDES:	
542-7992 420 07A BACKHOE LOADER CFG2	542-7992
337-9696 COUNTERWEIGHT, 460 KGS (1015 LBS)	337-9696
491-6734 WORKLIGHTS (8) HALOGEN LAMPS	491-6734
541-9540 ENGINE, 74.5KW, C3.6 DITA, S5 (T4F)	541-9540
542-7774 HYDRAULICS, MP, 6FCN/8BNK, ST	542-7774
542-7810 AIR CONDITIONER, S5 (T4F)	542-7810
543-4284 STICK, EXTENDABLE, 4.3M (14FT)	543-4284
544-0883 CAB, DELUXE	544-0883
544-1066 PT, 4WD/2WS, POWERSHIFT	544-1066
545-5047 DISPLAY, STANDARD	545-5047

DESCRIPTION	REF.#
545-8548 LOADER BUCKET PINS	545-8548
551-6453 RIDE CONTROL	551-6453
551-6940 COLD WEATHER PACKAGE, 120V	551-6940
560-6797 PRODUCT LINK, CELLULAR, PLE643	560-6797
567-5090 AUTO-UP STABILIZERS	567-5090
582-7395 AUX READY, E-STICK	582-7395
611-0339 SEAT, DELUXE FABRIC	611-0339
BELT, SEAT, 2" SUSPENSION	206-1747
TIRES, 340 80-18/500 70-24, MX	533-0488
STABILIZER PADS, FLIP-OVER	9R-6007
BUCKET-GP, 1.5 YD3, PO	337-7401
COUPLER, PIN LOCK, BL F	544-1901
BUCKET-HD, 24", 7.3 FT3, PL	247-1950
LINES, AUX HYD,E-STICK	614-5697
STANDARD RADIO (12V)	540-2298
GUARD, STABILIZER	353-1389
PLATE GROUP - BOOM WEAR	423-7607
CUTTING EDGE, TWO PIECE,WIDE	9R-5320
INSTRUCTIONS, ANSI	559-0872
SERIALIZED TECHNICAL MEDIA KIT	421-8926
PACK, DOMESTIC TRUCK	0P-0210
SHIPPING/STORAGE PROTECTION	461-6839
RUST PREVENTATIVE APPLICATOR	462-1033

STANDARD EQUIPMENT

BOOMS, STICKS, AND LINKAGES

BACKHOE

- 14'4" Center pivot backhoe
4.3 Meters
- Boom and swing transport locks
- Pilot operated backhoe and electro hydraulic stabilizer controls
- Street type stabilizer shoes
- Anti-drift hydraulics (boom, stick, and E-stick)
- Cat Cushion Swing(tm) system

LOADER

- Single Tilt Loader
- Lift cylinder brace
- Self-leveling loader with single lever control
- Return-to-dig
(automatic bucket positioner)
- Transmission neutralizer switch
- Bucket level indicator

POWERTRAIN

- Water separator
- Thermal starting aid system
- Dry type axial seal air cleaner with integral precleaner
- Automatic dust ejection system
- Filter condition indicator
- Hydraulically boosted multi-plate

- Torque converter
- Transmission-four speed manual shift
- Neutral safety switch
- Spin-on filters for
Fuel
Engine oil
Transmission oil

wet disk brake with dual pedals & interlock
- Differential lock

- Outboard Planetary Rear Axles
- Diesel particulate filter
- Hydrostatic power steering

HYDRAULICS

- Pilot hoe and mechanical loader controls
- Load sensing, variable flow system with 43 gpm (162 L/min) axial piston pump
- 6 micron hydraulic filter

- Caterpillar XT-3 hose
- Hydraulic oil cooler
- Pilot control shutoff switch
- Flow-sharing hydraulic valves
- Hydraulic suction strainer

ELECTRICAL

- 12 volt electrical start
- Horn, front and rear
- Backup alarm
- Hazard flashers/turn signals
- Halogen head lights (2)
- Halogen rear flood lights (2)
- Stop and tail lights

- Audible system fault alarm
- Key start/stop system
- 850 CCA maintenance free battery
- Battery disconnect switch
- External Power Receptacle (12v)
- Diagnostic ports for engine and machine Electronic Control Modules

OPERATOR ENVIRONMENT

- Interior rearview mirror
- ROPS canopy, Rear Fenders
- 2-inch (50mm) retractable seat belt
- Tilt steering column
- Steering knob
- Hand and foot throttle

- Automatic Engine Speed Control
- One Touch Low Idle
- Floor mat and Coat Strap
- Lockable storage area
- Air suspension seat

FLUIDS

- Antifreeze - Extended Life Coolant

-20F (-30C)

OTHER STANDARD EQUIPMENT

- Standard Storage Box
- Transport tie-down points
- Ground line fill fuel tank with 42.3 gal (160L) capacity & 5 gal (19L) diesel exhaust fluid
- Rubber impact strips on radiator

guard
- CD-ROM Parts Manual
- Safety Manual
- Operations and Maintenance Manual
- Lockable hood
- Tire Valve Stem Protection

Sales Quote

DANA SAFETY SUPPLY, INC
4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

Sales Quote No.	496667-F
Customer No.	STEPHENPD

Bill To
STEPHENVILLE POLICE DEPARTMENT 356 N BELKNAP STEPHENVILLE, TX 76401

Ship To
STEPHENVILLE POLICE DEPARTMENT 356 N BELKNAP STEPHENVILLE, TX 76401

Contact: JAMES GRESHAM
Telephone: 254-918-1234

E-mail: JGRESHAM@STEPHENVILLETX.GOV

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Quote Date	Ship Via	F.O.B.	Customer PO Number	Payment Method	
08/07/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	N	INFO BUYBOARD 698-23 35% OFF MSRP Warehouse: FTWO	0.0000	0.00
1	1	N	INFO 2023 CHEVY 1500 STEPHENVILLE PD Warehouse: FTWO	0.0000	0.00
1	1	Y	MISC PUSH BUMPER Warehouse: FTWO	0.0000	0.00
1	1	Y	MISC SMC BK1527CHT221500 LIGHT READY SOI Warehouse: FTWO MPOWER 22-24 CHVY TRK	415.0000	415.00
1	1	Y	HK0809CHT221500 PB8 VS 22+ SILVERADO HEADLIGHT GUARD DOUBLE LOO Warehouse: FTWO	315.0000	315.00
10	10	Y	EMPS2STS5RBW SOI, MPWR FASCIA, 4", STM, BLK HSG, RED/BLU/WHT Warehouse: FTWO 4 FORWARD, 2 SIDES, 4 IN LIGHT GUARDS	119.0000	1,190.00
1	1	Y	MISC TOP LIGHTBAR Warehouse: FTWO	0.0000	0.00

Print Date	09/12/23
Print Time	09:29:00 AM
Page No.	1

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Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	MISC SOI EMPLB00Z68-3GG 55" MPOWER LIGHT BAR R/B/W Warehouse: FTWO	3,015.0000	3,015.00
1	1	Y	MISC CONTROL SYSTEM Warehouse: FTWO	0.0000	0.00
1	1	Y	ENGKTGD001 SOI BLUEPrint "Gold Package" Control System Warehouse: FTWO bluePRINT® Control System - Gold Package contains: - 2 ea ETSS100J5 Speakers - 2 ea ENGND04101 Remote Nodes - 1 ea ENGCC01243 Central Controller - 1 ea ENGSA07152 Siren 480 series 200w amp - 1 ea ENGCP18001 Control Panel - 2 ea ENGHNK03 Remote Node Harness - 1 ea ENGHNK04 Central control Harness	2,265.0000	2,265.00
1	1	Y	MISC SOI ENGLMVH004 HARNESS KIT CHEVY 1500 Warehouse: FTWO	60.0000	60.00
1	1	Y	ETSKLF100 SOI LOW FREQUENCY AFTERSHOCK SIREN W/1 SPEAKERS Warehouse: FTWO	400.0000	400.00

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Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	MISC SIDE MIRRORS Warehouse: FTWO	0.0000	0.00
2	2	Y	EMPS2QMS5RBW SOI, MPWR FASCIA, 4", QM, BLK HSG, RED/BLU/WHT Warehouse: FTWO NO SOI CONFIG ONLINE	119.0000	238.00
2	2	Y	PMP2WDG15B SOI MPOWER 4" 15 DEGREE WEDGE BLACK Warehouse: FTWO	9.0000	18.00
1	1	Y	MISC MOUNTED ON FRONT DOORS Warehouse: FTWO	0.0000	0.00
2	2	Y	EMPS203PL-8 SOI, MPWR FASCIA, 4", QM, WHT HSG, RED/BLU/WHT Warehouse: FTWO 4" mpower Fascia with Quick Mount 18 LED 9-32 Volt SAE with 1.5' Pigtail White Housing with Clear Lens RED/BLU/WHT	119.0000	238.00
1	1	Y	MISC RUNNING BOARDS Warehouse: FTWO	0.0000	0.00

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08/07/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	MISC TRIESTATE 113-5314 Warehouse: FTWO Round Steel Side-Step Nerf Bars (90° Bend, Black Powder Coated); These 3 Round Side-Step Nerf Bars are made of black powder-coated steel with 90° mandrel-bent ends & feature recessed step pads made from injection-molded polymer. Two nerf bars, mounting brackets, & all required hardware is included.	0.0000	0.00
1	1	Y	ESLRL61058 SOI, SL RUNNING, 61", 5MOD, R/B/W, 3CLR/TRIO Warehouse: FTWO RUNNING BOARDS. STEADY WHITE ALLEY.	340.6700	340.67
2	2	Y	PSLVBK02 SOI SL Running Light Mounting Kit 2015+ F150 Warehouse: FTWO Mounting Kit for SL Running Light includes: Bracket & Hardware Kit, Ford F-150 2015-2021	40.0000	80.00
1	1	Y	MISC REAR WINDOW Warehouse: FTWO	0.0000	0.00

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08/07/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
2	2	Y	EMPS4STS5RBW SOI, MPWR HD, 4", STM, CLR HSG, RED/BLU/WHT Warehouse: FTWO HD 4" Light, 18" hard wire w/ sync option, SAE Class 1 & CA Title 13, 9-32 Vdc, Clear Lens, 18 LED, Tricolor - Red/Blue/White	119.0000	238.00
2	2	Y	REAR WINDOW TOP CORNERS PMP2WSDDDB SOI 4" MPOWER DUAL WINDOW SHROUD-BLACK Warehouse: FTWO	22.0000	44.00
1	1	Y	MISC REAR LICENSE PLATE/TAILGATE Warehouse: FTWO	0.0000	0.00
2	2	Y	EMPS2QMS5RBW SOI, MPWR FASCIA, 4", QM, BLK HSG, RED/BLU/WHT Warehouse: FTWO NO SOI CONFIG ONLINE	0.0000	0.00
1	1	Y	REAR LICENSE PLATE EMPAKKT02 SOI, MPWR ARRW, 36" HARNESS, BOB, DIST HARNESS, 8LT Warehouse: FTWO	267.7500	267.75

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4809 KOGER BLVD
GREENSBORO, NC 27407

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08/07/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
6	6	Y	MISC SOI PMPAK2ST218RBA 3 WIRE FOR ARROW KIT Warehouse: FTWO UNDER TAILGATE ABOVE REAR BUMPER	119.0000	714.00
1	1	Y	MISC CONSOLE Warehouse: FTWO	0.0000	0.00
1	1	Y	CC-WBOS-20 TROY WIDE BODY CONSOLE 8" SLOPE 12" LEVEL + OPEN S Warehouse: FTWO	510.0000	510.00
1	1	Y	FACEPLATES: FP-H-XL200M-R FP-SO380R AC-CHV19-MNT TROY FLOOR PLATE REQUIRED FOR CONSOLE Warehouse: FTWO	133.0000	133.00
1	1	Y	AC-TB-ARMMNT-58 TROY bolt to back of consoles Warehouse: FTWO	105.0000	105.00

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08/07/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	AC-INBHG TRO 4" INTERNAL CONSOLE DUAL CUPHOLDER WITH FINGERS Warehouse: FTWO CUP HOLDERS HAVE RUBBER FINGERS REPLACES p/n # AC-INTBH WHICH IS NLA *****	48.0000	48.00
1	1	Y	DS-PAN-1115-2 HAV DOCKING STATION W/ DUAL PASS-THRU ANT. Warehouse: FTWO Docking Station with Dual Pass-Through Antenna Connections for Panasonic TOUGHBOOK 33, 2-in-1 Laptop with Power Supply **NO HDMI OR VGA INPUTS**	945.5000	945.50
1	1	Y	MMSU-1 MAGNETIC MIC SINGLE UNIT CONVERSION KIT Warehouse: FTWO	45.0000	45.00
2	2	Y	MISC SOIEBSDL0002-E 3" ROUND R/W Warehouse: FTWO HEADLINER OVER DRIVER AND PASSENGER	0.0000	0.00
2	2	Y	EBSDL0001-W SOI obSERVE+ Dome Light - 3" Round, Single Color – Whi Warehouse: FTWO FOOT WELL OF PARTITION	109.0000	218.00

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4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

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Quote Date	Ship Via	F.O.B.	Customer PO Number	Payment Method	
08/07/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	GK10342UHKSVSAXL SMC DUAL T-RAIL W/ 2 UNIVERSAL XL LOCKS H/C KEY OVRRID Warehouse: FTWO DUAL GUNLOCK FOR FULL SIZE SUV'S & TRUCKS SEE ATTACHED GUNLOCK ORDER FROM *****	340.0000	340.00
1	1	N	INFO PARTITION Warehouse: FTWO	0.0000	0.00
1	1	Y	MISC SMC 1K0574CHT191500 SINGLE PRISONER PARTITION Warehouse: FTWO	1,085.0000	1,085.00
1	1	Y	AC-CHV19-SET Troy Driver/Passenger Side Window Guards, Chevy 1500 1 Warehouse: FTWO	175.0000	175.00
1	1	Y	AC-CHV19-RWS 2019-21 Silverado 1500 rear cab window screen; square Warehouse: FTWO	150.0000	150.00
1	1	Y	MISC TROY DP-CHV19-SET REAR DOOR COVERS Warehouse: FTWO	285.0000	285.00

Print Date	09/12/23
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GREENSBORO, NC 27407

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Entered By	Salesperson	Ordered By	Resale Number		
Bryan Stevens	BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY			
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	MISC TRUCK BED Warehouse: FTWO	0.0000	0.00
1	1	Y	448130 MEYER BAKFLIP CARGO COVER - BLACK Warehouse: FTWO 2023 CHEVY 1500 BAKFLIP	1,225.0000	1,225.00
1	1	Y	ENGSYMD01 SOI SOUND OFF / BLUEPRINT SYNC MODULE Warehouse: FTWO	200.0000	200.00
1	1	Y	GRAPHICS GRAPHICS FOR VEHICLE Warehouse: FTWO THIS DOES NOT INCLUDE LABOR FOR GRAPHICS INSTALL.	1,295.0000	1,295.00
1	1	Y	GRAPHICS INSTALL GRAPHICS INSTALL Warehouse: FTWO	1,000.0000	1,000.00
1	1	N	INSTALL DSS INSTALLATION OF EQUIPMENT Warehouse: FTWO	3,600.0000	3,600.00

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Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	INSTALL KIT MISC INSTALLATION SUPPLIES I.E. Warehouse: FTWO LOOM, WIRE, HARDWARE, CONNECTORS, ETC *****	400.0000	400.00
1	1	Y	ESL461WC SOI PAR46 LED SPOT LIGHT INSERT Warehouse: FTWO	176.8500	176.85

Approved By: _____
 Approve All Items & Quantities

Quote Good for 30 Days

Print Date	09/12/23
Print Time	09:29:00 AM
Page No.	10

Subtotal	21,774.77
Freight	1,500.00
Order Total	23,274.77

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Sales Quote

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4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

Sales Quote No.	493048-F
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Bill To

STEPHENVILLE POLICE DEPARTMENT
 356 N BELKNAP
 STEPHENVILLE, TX 76401

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Quote Date	Ship Via	F.O.B.	Customer PO Number	Payment Method	
07/11/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By	Salesperson	Ordered By	Resale Number		
Bryan Stevens	BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY			
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
2	2	N	INFO STEPHENVILLE PD 2022 TAHOE- BLACK Warehouse: FTWO	0.0000	0.00
1	1	N	INFO BUYBOARD 698-23 35% OFF MSRP Warehouse: FTWO	0.0000	0.00
1	1	N	INFO PUSHBUMPER Warehouse: FTWO	0.0000	0.00
2	2	Y	BK1527TAH21 SMC PB450L6 LIGHT READY PUSH BUMBER 21+ TAHOE Warehouse: FTWO	360.0000	720.00
2	2	Y	mPOWER CUTOUTS HK2272TAH21 SMC PB10 W/PB9 STEEL Warehouse: FTWO	457.0000	914.00
20	20	Y	HK2272TAH21 EMPS2STS5RBW SOI MPOWER FASCIA 4"18-LED STUD MNT RED/BLUE/WHI Warehouse: FTWO MOUNT FOUR ACROSS FRONT OF PUSH BUMPER, MOUNT ON SIDES OF PUSH BUMPER, AND ON PIT BARS	119.0000	2,380.00

Print Date	08/31/23
Print Time	04:05:41 PM
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Printed By: Bryan Stevens

Sales Quote

DANA SAFETY SUPPLY, INC
4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

Sales Quote No.	493048-F
Customer No.	STEPHENPD

Bill To
STEPHENVILLE POLICE DEPARTMENT 356 N BELKNAP STEPHENVILLE, TX 76401

Ship To
STEPHENVILLE POLICE DEPARTMENT 356 N BELKNAP STEPHENVILLE, TX 76401

Contact: JAMES GRESHAM
Telephone: 254-918-1234

E-mail: JGRESHAM@STEPHENVILLETX.GOV

Contact: JAMES GRESHAM
Telephone: 254-918-1234

E-mail: JGRESHAM@STEPHENVILLETX.GOV

Quote Date	Ship Via	F.O.B.	Customer PO Number	Payment Method	
07/11/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	N	INFO LIGHTBAR / SIREN Warehouse: FTWO	0.0000	0.00
2	2	Y	EMPLB00K9Q-1NM SOI 55" MPOWER LIGHTBAR RED/BLUE WITH STRAP Warehouse: FTWO 55"/139cm 10-16 Volt MPOWER 6 INCH LED LIGHTBAR W/ LIN DSC TECHNOLOGY /D08/D08/D12/D12/D12/T18/D12/D12/D12/D08/D08\ /R_W/R_W/R_W/R_W/R_W/RBW/B_W/B_W/B_W/B_W/B_W\ D08 SILVER O D08 R_W CLEAR O B_W \D08\D08\ D12\D12\D12 T18 D12 D12 D12 /D08/D08/ \R_W\R_W R_A R_A R_A RBA B_A B_A B_A B_W//B_W/ Accessories - PNFLBSPLT1, AUTO-DIM Mount - Fixed Height Mount (PMPLBK08) Hook - PNFLBF38 Vehicle - Chevrolet Tahoe (2021) /-L-/-L-/-N- -N- -T- -N- -T- -N- -N- -L-\\-L-\ -L- -L- \\-L-\\-L-\\A- A- A- A- A- A- -L-//L-/ 	2,395.0000	4,790.00

Print Date	08/31/23
Print Time	04:05:41 PM
Page No.	2

Printed By: Bryan Stevens

Sales Quote

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07/11/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
2	2	Y	ENGKTGD001 SOI BLUEPrint "Gold Package" Control System Warehouse: FTWO bluePRINT® Control System - Gold Package contains: - 2 ea ETSS100N Speakers - 2 ea ENGND04101 Remote Nodes - 1 ea ENGCC01241 Central Controller - 1 ea ENGSA07152 Siren 480 series 200w amp - 1 ea ENGCP18002 Control Panel - 2 ea ENGHNK02 Remote Node Harness - 1 ea ENGHNK01 Central control Harness	2,265.0000	4,530.00
2	2	Y	ENGLMK001 SOI BLUPRINT LINK FOR 2021 TAHOE Warehouse: FTWO	272.0000	544.00
1	1	N	INFO LOW FREQUENCY SPEAKERS Warehouse: FTWO	0.0000	0.00
2	2	Y	ETSKLF200 SOI LOW FREQUENCY AFTERSHOCK SIREN W/2 SPEAKERS Warehouse: FTWO	370.0000	740.00
1	1	N	INFO FRONT DOOR LIGHTS Warehouse: FTWO	0.0000	0.00

Print Date	08/31/23
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Printed By: Bryan Stevens

Continued on Next Page

Sales Quote

DANA SAFETY SUPPLY, INC
4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

Sales Quote No.	493048-F
Customer No.	STEPHENPD

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Quote Date	Ship Via	F.O.B.	Customer PO Number	Payment Method	
07/11/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By	Salesperson	Ordered By	Resale Number		
Bryan Stevens	BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY			
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
4	4	Y	EMPS203PL-8 SOI 4" MPOWER FASCIA WITH QUICK MOUNT Warehouse: FTWO	119.0000	476.00
1	1	N	INFO RUNNING BOARD LIGHTS Warehouse: FTWO	0.0000	0.00
4	4	Y	ESLRL61058 SOI 61" SL RUNNING LIGHT RED/BLUE/WHITE - UNIVERSA Warehouse: FTWO RUNNING BOARDS. STEADY WHITE ALLEY.	340.0000	1,360.00
4	4	Y	PSLVBK03 SOI NLINE RUNNING LIGHTS MOUNT 2021 TAHOE Warehouse: FTWO	35.0000	140.00
1	1	N	INFO REAR CARGO SIDE WINDOW Warehouse: FTWO	0.0000	0.00
8	8	Y	EMPS4STS5RBW SOI MPOWER HD 4" 18-LED STUD MNT R/B/W Warehouse: FTWO	119.0000	952.00
4	4	Y	PMP2WSDDB SOI 4" MPOWER DUAL WINDOW SHROUD-BLACK Warehouse: FTWO	22.0000	88.00

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Print Time	04:05:41 PM
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Continued on Next Page

Sales Quote

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4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

Sales Quote No.	493048-F
Customer No.	STEPHENPD

Bill To
STEPHENVILLE POLICE DEPARTMENT 356 N BELKNAP STEPHENVILLE, TX 76401

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Quote Date	Ship Via	F.O.B.	Customer PO Number	Payment Method	
07/11/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	N	INFO SPOILER MOUNT LIGHTBAR Warehouse: FTWO	0.0000	0.00
2	2	Y	EMPAK00GCY SOI MPOWER ARROW KIT R/B/W Warehouse: FTWO	1,250.0000	2,500.00
1	1	N	INFO REAR PILLARS Warehouse: FTWO	0.0000	0.00
12	12	Y	EMPS2QMS5RBW SOI MPOWER FASCIA 4"18-LED QUICK MNT RED/BLUE/WH Warehouse: FTWO	119.0000	1,428.00
12	12	Y	PMP2WDG15B SOI MPOWER 4" 15 DEGREE WEDGE BLACK Warehouse: FTWO	5.0000	60.00
4	4	Y	ENGND04101 SOI BLUEPRINT REMOTE NODE Warehouse: FTWO	175.0000	700.00
1	1	N	INFO REAR LICENSE PLATE Warehouse: FTWO	0.0000	0.00

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Sales Quote

DANA SAFETY SUPPLY, INC
4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

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Quote Date	Ship Via	F.O.B.	Customer PO Number	Payment Method	
07/11/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
4	4	Y	EMPS2QMS5RBW SOI MPOWER FASCIA 4"18-LED QUICK MNT RED/BLUE/WH Warehouse: FTWO	119.0000	476.00
1	1	N	INFO CONSOLE Warehouse: FTWO	0.0000	0.00
2	2	Y	KITCC21TH18SMSARMDSF TROY CONSOLE KIT Warehouse: FTWO KITCC21TH18SMSARMDSF TROY PART#KIT-CC-21TH-18-SMS-ARM-DSFW	925.0000	1,850.00
2	2	Y	FACEPLATES NEEDED: FP-H-XL200M-R TRO HARRIS XL-200M FACEPLATE Warehouse: FTWO	0.0000	0.00
2	2	Y	FP-SO380R TROY BLUEPRINT FACEPLATE Warehouse: FTWO	0.0000	0.00

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Sales Quote

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GREENSBORO, NC 27407

Telephone: 800-845-0405

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Quote Date	Ship Via	F.O.B.	Customer PO Number	Payment Method	
07/11/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By	Salesperson	Ordered By	Resale Number		
Bryan Stevens	BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY			
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
2	2	Y	DS-PAN-1115-2 HAV DOCKING STATION W/ DUAL PASS-THRU ANT. Warehouse: FTWO Docking Station with Dual Pass-Through Antenna Connections for Panasonic TOUGHBOOK 33, 2-in-1 Laptop with Power Supply **NO HDMI OR VGA INPUTS**	945.5000	1,891.00
4	4	Y	MMSU-1 MAGNETIC MIC SINGLE UNIT CONVERSION KIT Warehouse: FTWO	30.0000	120.00
4	4	Y	MISC SOI EBSDL0002-E 3" ROUND R/W Warehouse: FTWO 1 OVER DRIVER, 1 OVER PASSENGER FRONT HEADLINER	51.2500	205.00
1	1	N	INFO REAR SEAT AREA Warehouse: FTWO	0.0000	0.00
2	2	Y	PK0602TAH21SCA SMC 10C-VS-RP 21 TAHOE Warehouse: FTWO	650.0000	1,300.00
2	2	Y	PK0602TAH21SCA QK2023TAH21 SMC #12 EXPANDED METAL W/ SEAT Warehouse: FTWO QK2023TAH21	1,065.0000	2,130.00

Print Date	08/31/23
Print Time	04:05:41 PM
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4809 KOGER BLVD
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07/11/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By	Salesperson	Ordered By	Resale Number		
Bryan Stevens	BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY			
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
2	2	Y	DK0100TAH21 SMC TPO DOOR PANELS TAHOE Warehouse: FTWO	4.0000	8.00
2	2	Y	DK0100TAH21 WK0514TAH21H SETINA REAR WINDOW BARS Warehouse: FTWO	160.0000	320.00
2	2	Y	WK0040TAH21 SETINA CARGO WINDOW BARS 2021 TAHOE Warehouse: FTWO	260.0000	520.00
4	4	Y	EBSDL0001-W SOI obSERVE+ Dome Light - 3" Round, Single Color - Whi Warehouse: FTWO 1 EACH SIDE OF FOOTWELL FACING REAR SEAT	47.5000	190.00
1	1	N	INFO REAR CARGO COMPARTMENT Warehouse: FTWO	0.0000	0.00
2	2	Y	SB-ECO-2D-2635-T TROY FTWO CARGO BOX Warehouse: FTWO SB-ECO-2D-2635-T	1,950.0000	3,900.00

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Sales Quote

DANA SAFETY SUPPLY, INC
4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

Sales Quote No.	493048-F
Customer No.	STEPHENPD

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STEPHENVILLE POLICE DEPARTMENT 356 N BELKNAP STEPHENVILLE, TX 76401

Ship To
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Quote Date	Ship Via	F.O.B.	Customer PO Number	Payment Method	
07/11/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
2	2	Y	GK10342UHKSVSAXL SMC DUAL T-RAIL W/ 2 UNIVERSAL XL LOCKS H/C KEY OVRRID Warehouse: FTWO DUAL GUNLOCK FOR FULL SIZE SUV'S & TRUCKS SEE ATTACHED GUNLOCK ORDER FROM *****	340.0000	680.00
1	1	N	INFO MISCELLANEOUS EQUIPMENT Warehouse: FTWO	0.0000	0.00
2	2	N	INSTALL DSS INSTALLATION OF EQUIPMENT Warehouse: FTWO INCLUDES INSTALLATION OF CUSTOMER SUPPLIED RADIO, AXON CAMERA, AND RADAR.	3,600.0000	7,200.00
2	2	Y	INSTALL KIT MISC INSTALLATION SUPPLIES I.E. Warehouse: FTWO LOOM, WIRE, HARDWARE, CONNECTORS, ETC *****	400.0000	800.00
2	2	Y	GRAPHICS-421394 Graphics-421394 Stephenville PD Warehouse: FTWO THIS DOES NOT INCLUDE LABOR FOR GRAPHICS INSTALL.	1,295.0000	2,590.00

Print Date	08/31/23
Print Time	04:05:41 PM
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Printed By: Bryan Stevens

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4809 KOGER BLVD
GREENSBORO, NC 27407

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07/11/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
2	2	Y	GRAPHICS INSTALL GRAPHICS INSTALL Warehouse: FTWO	1,000.0000	2,000.00
2	2	Y	5026B BLUESEA FUSE ST BLOCK Warehouse: FTWO	40.0000	80.00
2	2	Y	PDP-13 BI Power Distribution Panel w/ Timers Warehouse: FTWO	70.0000	140.00
2	2	Y	EWLPT005 SOI Scenelite SI7 Exterior Light Warehouse: FTWO	105.0000	210.00
4	4	Y	5032B BLUE SEA SYSTEM FUSE BLOCK ST BLADE Warehouse: FTWO	40.0000	160.00
2	2	Y	T62131B TIGER TOUGH 2021 TAHOE BUCKET SET BLACK Warehouse: FTWO	245.0000	490.00
4	4	Y	MISC TIGER TOUCH CUSTOM LOGO EACH SEAT COVER Warehouse: FTWO STEPHENVILLE POLICE DEPT LOGO	35.0000	140.00

Print Date	08/31/23
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Page No.	10

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Sales Quote

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4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

Sales Quote No.	493048-F
Customer No.	STEPHENPD

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Quote Date	Ship Via	F.O.B.	Customer PO Number	Payment Method	
07/11/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	ENGSYMD01 SOI SOUND OFF / BLUEPRINT SYNC MODULE Warehouse: FTWO *****POINT OF CONTACT***** CAPTAIN GRESHAM JGRESHAM@STEPHENVILLETX.GOV 254-918-1234	200.0000	200.00
			<p>Approved By: _____</p> <p><input type="checkbox"/> Approve All Items & Quantities</p> <p>Quote Good for 30 Days</p>		

Print Date	08/31/23
Print Time	04:05:41 PM
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Subtotal	49,922.00
Freight	2,500.00
Order Total	52,422.00

Printed By: Bryan Stevens



Stephenville

Police Department



Item 28.

To: Chief Harris

September 12th, 2023

From: Cpt. Gresham

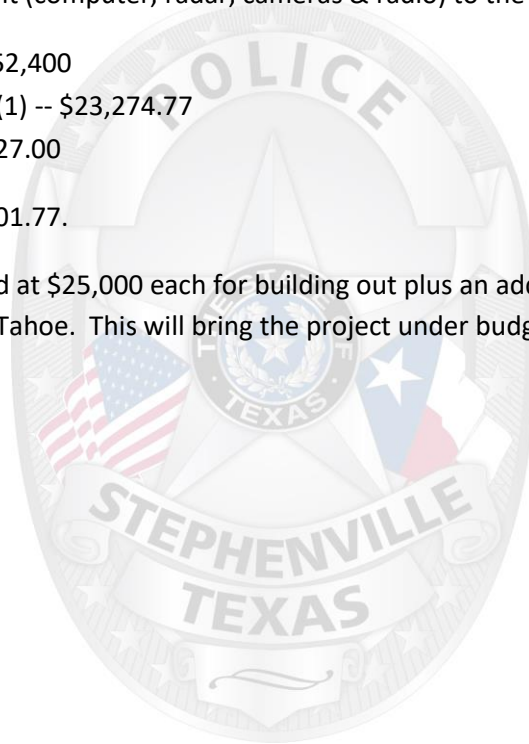
Subject: **Bid Exemption for Patrol Vehicle Build Out**

We recently obtained quotes from Dana Safety Supply to build out the 2023 Patrol vehicles. These build outs consist of two regular patrol Tahoes, 1 supervisor Silverado pickup, and 1 K9 Tahoe. The quotes were provided under Buyboard Contract #698-23. These costs include decommissioning the old vehicle, transferring certain equipment (computer, radar, cameras & radio) to the new vehicle.

- Patrol Tahoe (2) -- \$52,400
- Supervisor Silverado (1) -- \$23,274.77
- K9 Tahoe (1) -- \$30,427.00

Total build out costs: \$106,101.77.

For FY 22/23 we are budgeted at \$25,000 each for building out plus an additional \$8,500 for specific equipment related to the K9 Tahoe. This will bring the project under budget.



Sales Quote

DANA SAFETY SUPPLY, INC
4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

Sales Quote No.	499803-B
Customer No.	STEPHENPD

Bill To
STEPHENVILLE POLICE DEPARTMENT 356 N BELKNAP STEPHENVILLE, TX 76401

Ship To
STEPHENVILLE POLICE DEPARTMENT 356 N BELKNAP STEPHENVILLE, TX 76401

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08/30/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
2	2	N	INFO STEPHENVILLE PD 2022 TAHOE- BLACK Warehouse: FTWO	0.0000	0.00
1	1	N	INFO BUYBOARD 698-23 35% OFF MSRP Warehouse: FTWO	0.0000	0.00
1	1	N	INFO PUSHBUMPER Warehouse: FTWO	0.0000	0.00
1	1	Y	BK1527TAH21 SMC PB450L6 LIGHT READY PUSH BUMBER 21+ TAHOE Warehouse: FTWO	360.0000	360.00
1	1	Y	mPOWER CUTOUTS HK2272TAH21 SMC PB10 W/PB9 STEEL Warehouse: FTWO	457.0000	457.00
10	10	Y	HK2272TAH21 EMPS2STS5RBW SOI MPOWER FASCIA 4"18-LED STUD MNT RED/BLUE/WHI Warehouse: FTWO MOUNT FOUR ACROSS FRONT OF PUSH BUMPER, MOUNT ON SIDES OF PUSH BUMPER, AND ON PIT BARS	119.0000	1,190.00

Print Date	08/31/23
Print Time	04:06:40 PM
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Printed By: Bryan Stevens

Continued on Next Page

Sales Quote

DANA SAFETY SUPPLY, INC
4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

Sales Quote No.	499803-B
Customer No.	STEPHENPD

Bill To

STEPHENVILLE POLICE DEPARTMENT
 356 N BELKNAP
 STEPHENVILLE, TX 76401

Ship To

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 356 N BELKNAP
 STEPHENVILLE, TX 76401

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08/30/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By	Salesperson	Ordered By	Resale Number		
Bryan Stevens	BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY			
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	ENGKTGD001 SOI BLUEPrint "Gold Package" Control System Warehouse: FTWO bluePRINT® Control System - Gold Package contains: - 2 ea ETSS100N Speakers - 2 ea ENGND04101 Remote Nodes - 1 ea ENGCC01241 Central Controller - 1 ea ENGSA07152 Siren 480 series 200w amp - 1 ea ENGCP18002 Control Panel - 2 ea ENGHNK02 Remote Node Harness - 1 ea ENGHNK01 Central control Harness	2,265.0000	2,265.00
1	1	Y	ENGLMK001 SOI BLUPRINT LINK FOR 2021 TAHOE Warehouse: FTWO	272.0000	272.00
1	1	N	INFO LOW FREQUENCY SPEAKERS Warehouse: FTWO	0.0000	0.00
1	1	Y	ETSKLF200 SOI LOW FREQUENCY AFTERSHOCK SIREN W/2 SPEAKERS Warehouse: FTWO	370.0000	370.00
1	1	N	INFO FRONT DOOR LIGHTS Warehouse: FTWO	0.0000	0.00

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Sales Quote

DANA SAFETY SUPPLY, INC
4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

Sales Quote No.	499803-B
Customer No.	STEPHENPD

Bill To
STEPHENVILLE POLICE DEPARTMENT 356 N BELKNAP STEPHENVILLE, TX 76401

Ship To
STEPHENVILLE POLICE DEPARTMENT 356 N BELKNAP STEPHENVILLE, TX 76401

Contact: JAMES GRESHAM
Telephone: 254-918-1234

E-mail: JGRESHAM@STEPHENVILLETX.GOV

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Quote Date	Ship Via	F.O.B.	Customer PO Number	Payment Method	
08/30/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By	Salesperson	Ordered By	Resale Number		
Bryan Stevens	BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY			
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
2	2	Y	EMPS203PL-8 SOI 4" MPOWER FASCIA WITH QUICK MOUNT Warehouse: FTWO	119.0000	238.00
1	1	N	INFO RUNNING BOARD LIGHTS Warehouse: FTWO	0.0000	0.00
2	2	Y	ESLRL61058 SOI 61" SL RUNNING LIGHT RED/BLUE/WHITE - UNIVERSA Warehouse: FTWO RUNNING BOARDS. STEADY WHITE ALLEY.	340.0000	680.00
2	2	Y	PSLVBK03 SOI NLINE RUNNING LIGHTS MOUNT 2021 TAHOE Warehouse: FTWO	35.0000	70.00
1	1	N	INFO REAR CARGO SIDE WINDOW Warehouse: FTWO	0.0000	0.00
4	4	Y	EMPS4STS5RBW SOI MPOWER HD 4" 18-LED STUD MNT R/B/W Warehouse: FTWO	119.0000	476.00
2	2	Y	PMP2WSDDB SOI 4" MPOWER DUAL WINDOW SHROUD-BLACK Warehouse: FTWO	22.0000	44.00

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Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	N	INFO SPOILER MOUNT LIGHTBAR Warehouse: FTWO	0.0000	0.00
1	1	Y	EMPAK00GCY SOI MPOWER ARROW KIT R/B/W Warehouse: FTWO	1,250.0000	1,250.00
1	1	N	INFO REAR PILLARS Warehouse: FTWO	0.0000	0.00
6	6	Y	EMPS2QMS5RBW SOI MPOWER FASCIA 4"18-LED QUICK MNT RED/BLUE/WH Warehouse: FTWO	119.0000	714.00
6	6	Y	PMP2WDG15B SOI MPOWER 4" 15 DEGREE WEDGE BLACK Warehouse: FTWO	5.0000	30.00
2	2	Y	ENGND04101 SOI BLUEPRINT REMOTE NODE Warehouse: FTWO	175.0000	350.00
1	1	N	INFO REAR LICENSE PLATE Warehouse: FTWO	0.0000	0.00

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Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
2	2	Y	EMPS2QMS5RBW SOI MPOWER FASCIA 4"18-LED QUICK MNT RED/BLUE/WH Warehouse: FTWO	119.0000	238.00
1	1	N	INFO CONSOLE Warehouse: FTWO	0.0000	0.00
1	1	Y	KITCC21TH18SMSARMDSF TROY CONSOLE KIT Warehouse: FTWO KITCC21TH18SMSARMDSF TROY PART#KIT-CC-21TH-18-SMS-ARM-DSFW	925.0000	925.00
1	1	Y	FACEPLATES NEEDED: FP-H-XL200M-R TRO HARRIS XL-200M FACEPLATE Warehouse: FTWO	0.0000	0.00
1	1	Y	FP-SO380R TROY BLUEPRINT FACEPLATE Warehouse: FTWO	0.0000	0.00

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08/30/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By	Salesperson	Ordered By	Resale Number		
Bryan Stevens	BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY			
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	DS-PAN-1115-2 HAV DOCKING STATION W/ DUAL PASS-THRU ANT. Warehouse: FTWO Docking Station with Dual Pass-Through Antenna Connections for Panasonic TOUGHBOOK 33, 2-in-1 Laptop with Power Supply **NO HDMI OR VGA INPUTS**	945.5000	945.50
2	2	Y	MMSU-1 MAGNETIC MIC SINGLE UNIT CONVERSION KIT Warehouse: FTWO	30.0000	60.00
2	2	Y	MISC SOI EBSDL0002-E 3" ROUND R/W Warehouse: FTWO 1 OVER DRIVER, 1 OVER PASSENGER FRONT HEADLINER	51.2500	102.50
1	1	N	INFO K9 SYSTEM Warehouse: FTWO	0.0000	0.00
1	1	Y	CK2052TAH15-10 SMC ULTIMATE K-9 II W/FAN CUT OUT NO BOX Warehouse: FTWO	2,590.0000	2,590.00
1	1	Y	K9-A-336 HAV K9,ACSY,HTPOP,OPT,PAGER,SP Warehouse: FTWO	525.0000	525.00

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GREENSBORO, NC 27407

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Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	K9-A-301 HAV 10 INCH, 650 CFM FAN FOR K-9 TRANSPORT INSERT Warehouse: FTWO	355.0000	355.00

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GREENSBORO, NC 27407

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08/30/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
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Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	K9-A-201 HAV HOT-N-POP K-9 SYSTEM FOR K-9 TRANSPORT INSERT Warehouse: FTWO REPLACES PART # KK-K9-HP-5010B K9 transport option Includes heat alarm pro K9-A-203 Includes remote door pop system for sedans, SUV's and trucks Order optional C-EB35-RHP-1P or C-EB35-RHS-1P bracket if mounting control head in console Effective 12/1/10 K9-A-303 K9 remote pager/beeper module is no longer included as a standard feature with this item and must be purchased separately As of 10/1/12 K9-A-306 engine stall sensor is no longer included as a standard feature and must be purchased separately Sept 2011- sept 2012 the no K9 left behind feature was included, and now it is an optional feature. part # K9-A-304 must be purchased separately K9-A-201 includes: Control head Intelabox Protective relay module S.o.s horn honk output Siren activation output Lightbar activation output Dual window drop kit dual temperature sensors Remote with holster for door popper, Heavy-duty solenoid kit , gas spring with Heavy-duty stainless steel mounts, system wiring harnesses, installation instructions, vehicle specific wiring information *****	1,945.0000	1,945.00

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08/30/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
2	2	Y	EBSDL0001-W SOI obSERVE+ Dome Light - 3" Round, Single Color – Whi Warehouse: FTWO 1 EACH SIDE OF FOOTWELL FACING REAR SEAT	47.5000	95.00
1	1	N	INFO REAR CARGO COMPARTMENT Warehouse: FTWO	0.0000	0.00
1	1	Y	SB-ECO-2D-2635-T TROY FTWO CARGO BOX Warehouse: FTWO	1,950.0000	1,950.00
1	1	Y	SB-ECO-2D-2635-T GK10342UHKSVCAXL SMC DUAL T-RAIL W/ 2 UNIVERSAL XL LOCKS H/C KEY OVRRID Warehouse: FTWO DUAL GUNLOCK FOR FULL SIZE SUV'S & TRUCKS SEE ATTACHED GUNLOCK ORDER FROM *****	340.0000	340.00
1	1	N	INFO MISCELLANEOUS EQUIPMENT Warehouse: FTWO	0.0000	0.00

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4809 KOGER BLVD
GREENSBORO, NC 27407

Telephone: 800-845-0405

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Quote Date	Ship Via	F.O.B.	Customer PO Number	Payment Method	
08/30/23	GROUND SHIPMENT	QUOTED FREIGHT		NET30	
Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	N	INSTALL DSS INSTALLATION OF EQUIPMENT Warehouse: FTWO INCLUDES INSTALLATION OF CUSTOMER SUPPLIED RADIO, AXON CAMERA, AND RADAR.	4,000.0000	4,000.00
1	1	Y	INSTALL KIT MISC INSTALLATION SUPPLIES I.E. Warehouse: FTWO LOOM, WIRE, HARDWARE, CONNECTORS, ETC *****	400.0000	400.00
1	1	Y	GRAPHICS-421394 Graphics-421394 Stephenville PD Warehouse: FTWO THIS DOES NOT INCLUDE LABOR FOR GRAPHICS INSTALL.	1,295.0000	1,295.00
1	1	Y	GRAPHICS INSTALL GRAPHICS INSTALL Warehouse: FTWO	1,000.0000	1,000.00
1	1	Y	5026B BLUESEA FUSE ST BLOCK Warehouse: FTWO	40.0000	40.00
1	1	Y	PDP-13 BI Power Distribution Panel w/ Timers Warehouse: FTWO	45.0000	45.00

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Entered By		Salesperson	Ordered By	Resale Number	
Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price
1	1	Y	EWLPT005 SOI Scenelite SI7 Exterior Light Warehouse: FTWO	105.0000	105.00
2	2	Y	5032B BLUE SEA SYSTEM FUSE BLOCK ST BLADE Warehouse: FTWO	40.0000	80.00
1	1	Y	T62131B TIGER TOUGH 2021 TAHOE BUCKET SET BLACK Warehouse: FTWO	245.0000	245.00
1	1	Y	MISC TIGER TOUCH CUSTOM LOGO EACH SEAT COVER Warehouse: FTWO STEPHENVILLE POLICE DEPT LOGO	35.0000	35.00
1	1	Y	ENGSYMD01 SOI SOUND OFF / BLUEPRINT SYNC MODULE Warehouse: FTWO	200.0000	200.00
<p>*****POINT OF CONTACT***** CAPTAIN GRESHAM JGRESHAM@STEPHENVILLETX.GOV 254-918-1234</p> <p style="text-align: right;">Approved By: _____ <input type="checkbox"/> Approve All Items & Quantities</p> <p style="text-align: center;">Quote Good for 30 Days</p>					

Print Date	08/31/23
Print Time	04:06:40 PM
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Subtotal	28,677.00
Freight	1,750.00
Order Total	30,427.00

Printed By: Bryan Stevens

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4809 KOGER BLVD
GREENSBORO, NC 27407

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Bryan Stevens		BRYAN STEVENS-FORT WORT	SGT. MIKE DONLEY		
Order Quantity	Approve Quantity	Tax	Item Number / Description	Unit Price	Extended Price

Print Date	08/31/23
Print Time	04:06:40 PM
Page No.	1

Printed By: Bryan Stevens

Subtotal	28,677.00
Freight	1,750.00
Order Total	30,427.00



STAFF REPORT

SUBJECT: Approve an Expenditure for 2022/2023 Patrol Unit Build Outs

DEPARTMENT: Police

STAFF CONTACT: James Gresham

RECOMMENDATION:

Approve the budgeted expenditure for the build out of four (4) patrol units.

BACKGROUND:

For the last several years the City has used Dana Safety Supply to build out patrol units. This year they have submitted quotes to build out 4 units, 1 supervisor patrol pickup, 2 patrol Tahoes, and 1 K9 Tahoe. They are quoted using Buyboard #968-23 and do not require a bidding process.

FISCAL IMPACT SUMMARY:

The expenditure amount of \$106,101.77 is less than the budgeted amount of \$108,500.

ALTERNATIVES

- Seek alternate bids