



## PLANNING AND ZONING COMMISSION MEETING

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City Hall Council Chambers, 298 W. Washington  
Wednesday, May 18, 2022 at 5:30 PM

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### AGENDA

#### CALL TO ORDER

#### MINUTES

- [1.](#) Approval of April 20, 2022 Minutes
- [2.](#) Approval of Minutes May 4, 2022 Specially Called Meeting

#### PUBLIC HEARING

[3.](#) **Case No.: CP2022-001**

Applicant Collin Parsons is requesting a Conditional Use permit for a home occupation to be operated at 1317 Inglewood Drive, Parcel R31164, being Lot 2 & 3 of Block 1 of the Dale Avenue North Addition to the City of Stephenville, Erath County, Texas.

[4.](#) **Case No.: RZ2022-011**

Applicant Ryan Studdard, authorized representative of Preshcer Custom Homes, is requesting a rezone of property located at 715 Miller, Parcel R32524, being Block 2, Lot 2 & 3 (S PT of 3) of the Miller Addition to the City of Stephenville, Erath County, Texas, from (B-1) Neighborhood Business to (R-1) Single Family Residential.

[5.](#) **Case No.: PD2022-001**

Consideration of the development plan and rezoning from Single Family Residential District (R-1) to Planned Development District (PD) for 1300 Pecan Hill Drive, Parcel R50244, 1.190 Acres S5465 Glasgow Addition, Lot 1, of the City of Stephenville, Erath County, Texas.

[6.](#) **Case No.: PD2022-003**

Applicant Scott Allen, representing Stephenville Rentals LLC, is requesting a rezone of property located at 157 W. Washington, Parcel R29179, being Block 5, Lot C of City Addition to the City of Stephenville, Erath County, Texas, from (DT) Downtown to (PD) Planned Development. The applicant will present a conceptual plan.

[7.](#) **Case No.: PD2022-004**

Applicant Scott Allen, representing Stephenville Rentals LLC, is requesting a rezone of property located at 171 W. Washington, Parcel R29178, being Block 5, Lot B of City Addition to the City of Stephenville, Erath County, Texas, from (DT) Downtown to (PD) Planned Development. The applicant will present a conceptual plan.

**8. Case No.: PD2022-005**

Applicant Tom Brooks, representing Covenant Legacy LLC, is requesting a rezone of property located at W FM8, Parcel R22552, of Menefee Jarrett to the City of Stephenville, Erath County, Texas, from (R-1) Single Family Residential to (PD) Planned Development. The rezone is for 7.664 acres of the 29.751 acres. The applicant will present a conceptual plan.

**9. Case No.: RZ2022-006**

Applicant Tom Brooks, representing Covenant Legacy LLP, is requesting a rezone of property located at W FM8, Parcel R22552, of Menefee Jarrett to the City of Stephenville, Erath County, Texas, from (R-1) Single Family Residential to (B-2) Retail and Commercial District. The rezone is for 2.119 acres of the 29.751 acres.

**ADJOURN**

***In accordance with the Americans with Disabilities Act, persons who need accommodation to attend or participate in this meeting should contact City Hall at 254-918-1287 within 48 hours prior to the meeting to request such assistance.***



## PLANNING AND ZONING COMMISSION MEETING

City Hall Council Chambers, 298 W. Washington  
 Wednesday, April 20, 2022, at 5:30 PM

### MINUTES

The Planning and Zoning Commission of the City of Stephenville, Texas, convened on Wednesday, April 20, 2022 at 5:30 PM, in the Council Chambers at City Hall, 298 West Washington Street, for the purpose of a Regular Business Meeting, with the meeting being open to the public and notice of said meeting, giving the date, time, place and subject thereof, having been posted as prescribed by Chapter 551, Government Code, Vernon's Texas Codes Annotated, with the following members present, to wit:

**COMMISSIONERS PRESENT:** Lisa LaTouche, Chairperson  
 Brian Lesley, Vice Chair  
 Justin Allison  
 Bruce Delater  
 Mary Beach McGuire  
 Nick Robinson  
 Tom Hines

**OTHERS ATTENDING:** Steve Killen, Director of Development Services  
 Tina Cox, Commission Secretary

### CALL TO ORDER

Chairperson LaTouche called the meeting to order at 5:30 p.m.

### MINUTES

1. **Consider Approval of Minutes – March 16, 2022**  
 MOTION by Bruce Delater, second by Mary Beach McGuire to approve the minutes for March 16, 2022. MOTION CARRIED by unanimous vote.

### PUBLIC HEARING

2. **Case No.: SV2022-002**  
**Applicant Daniel Toof is requesting a Subdivision Waiver from Section 155.6.11 – Sidewalk Requirements, to be constructed at 191 Davis Avenue, Parcel R76719, being Lot 17 of Block 2 of the S5200 McAlister Second of the City of Stephenville, Erath County, Texas.**

Steve Killen, Development Services Director, briefed the commission on the case. Mr. Killen stated that because the current neighborhood does not include sidewalks, the Applicant is requesting a waiver from the sidewalk requirements. Mr. Killen concluded his brief by stating that staff supports the request.

Applicant Daniel Toof was not present to answer any questions.

Chairperson LaTouche opened the public hearing.

No one came forward to speak in favor of or against.

Chairperson LaTouche closed the public hearing.

MOTION by Mary Beach McGuire, second by Nick Robinson, to approve Case No. SV2022-002 and forward a positive recommendation to Council. MOTION CARRIED with a 6-1 vote.

AYES: Bruce Delater, Justin Allison, Mary Beach McGuire, Lisa LaTouche, Brian Lesley, Nick Robinson

NOES: Tom Hines

### 3. Case No.: SV2022-003

**Applicant Dee Stephens, representing Erath County, is requesting a Subdivision Waiver from Section 155.06.08.C. for Sight Visibility Easement from 45' x 45' non-residential to 20' x 20' for minimum residential for property located at 222 E College, Parcel R29239, being Lot 1,2,3, &4 of Block 14 of City Addition to the City of Stephenville, Erath County, Texas.**

Steve Killen, Development Services Director, briefed the commission on the case. Mr. Killen stated that the applicant is requesting a waiver from sight visibility easement requirements because of existing conditions on College Street. Mr. Killen concluded his brief by stating that staff supports the request.

Applicant Dee Stephens was not present to answer any questions.

Chairperson LaTouche opened the public hearing.

No came forward to speak in favor of or against.

Chairperson LaTouche closed the public hearing.

MOTION by Brian Lesley, second by Mary Beach McGuire, to approve Case No. SV2022-003 and forward a positive recommendation to Council.

MOTION by Bruce Delater, second by Tom Hines, to amend the motion to approve Case No. SV2022-003 with the condition that all four corners of the intersection have stop signs. MOTION FAILED with a 2-5 vote.

AYES: Bruce Delater, Tom Hines

NOES: Justin Allison, Mary Beach McGuire, Lisa LaTouche, Brian Lesley, Nick Robinson

MOTION by Brian Lesley, second by Mary Beach McGuire, to approve Case No. SV2022-003 and forward a positive recommendation to Council. MOTION CARRIED with a 5-2 vote.

AYES: Justin Allison, Mary Beach McGuire, Lisa LaTouche, Brian Lesley, Nick Robinson

NOES: Bruce Delater, Tom Hines

### 4. Case No.: SV2022-004

**Applicant Dee Stephens, representing Erath County, is requesting a Subdivision Waiver from Section 155.06.05.G. to reduce the distance between driveways along city-maintained streets from 100' to 50' for property located at 222 E College, Parcel R29239, being Lot 1,2,3, &4 of Block 14 of City Addition to the City of Stephenville, Erath County, Texas.**

Steve Killen, Development Services Director, briefed the commission on the case. Mr. Killen stated that the applicant is requesting a waiver from distance between driveways requirements because entire block is being constructed for one use and because of existing conditions on College Street. Mr. Killen concluded his brief by stating that staff supports the request.

Applicant Dee Stephens was not present to answer any questions.

Chairperson LaTouche opened the public hearing.

No one came forward to speak in favor of or against.

Chairperson LaTouche closed the public hearing.

MOTION by Mary Beach McGuire, second by Bruce Delater, to approve Case No. SV2022-004 and forward a positive recommendation to Council. **MOTION CARRIED by unanimous vote.**

**5. Case No.: RZ2022-004**

**Applicant William Oxford is requesting a rezone of property located at 855 College Farm Road, Parcel R29923 of Block 87, Lot 2, S2600 City Addition of the City of Stephenville, Erath County, Texas, from Neighborhood Business District (B-1) to One- and Two-Family Residential District (R-2).**

Steve Killen, Development Services Director, briefed the commission on the case. Mr. Killen stated that the applicant is requesting to rezone the property to R-2 one- and two-family residential district in order to add a new single family dwelling unit. The Comprehensive Plan for future land use designates this property to be One and Two Family Residential. Mr. Killen concluded his brief by stating that staff supports the request.

Applicant Bill Oxford was present to answer any questions.

Chairperson LaTouche opened the public hearing.

No one came forward to speak in favor of.

Judy Koch, 605 College Farm Rd, emailed a letter against the request.

Chairperson LaTouche closed the public hearing.

MOTION by Bruce Delater, second by Justin Allison, to approve Case No. RZ2022-004 and forward a positive recommendation to Council. **MOTION CARRIED by a unanimous vote.**

**6. Case No.: FP2022-001**

**Applicant J Gary Shelton, representing GMS RCP LP, is requesting a final plat of property located at 2820 W Washington, Parcel R22350, being Block 1 of Lot 1-R of FAI Addition to the City of Stephenville, Erath County, Texas.**

Steve Killen, Development Services Director, briefed the commission on the case. Mr. Killen stated that the project is nearing completion pending final inspections, acceptance of the public improvements and receipt of the required two-year maintenance bond for the improvements.

Applicant J Gary Shelton was not present to answer any questions.

Chairperson LaTouche opened the public hearing.

No one came forward to speak in favor of or against.

Chairperson LaTouche closed the public hearing.

MOTION by Brian Lesley, second by Nick Robinson, to approve Case No. FP2022-001 with the following conditions:

1. Public Improvements be accepted by the City of Stephenville Public Works Department.

2. A maintenance bond be submitted to the City of Stephenville Public Works Department.

**MOTION CARRIED by a unanimous vote.**

**7. Case No.: RZ2022-005, RZ2022-006 & RP2022-002**

**Applicant Tom Brooks is requesting a rezone of property located at W FM8, Parcel R22552 being 29.751 Acres, A0520 Menefee Jarrett, of the City of Stephenville, Erath County, Texas, from Single Family Residential (R-1) to Multiple Family Residential (R-3) and Retail and Commercial Business (B-2) with simultaneous replating.**

Steve Killen, Development Services Director, briefed the commission on the case. Mr. Killen stated that the Applicant is requesting to replat the property into three separate parcels. The current parcel surrounds an existing assisted living and memory care facility with an overhead utility easement that bisects the property southeast of the existing facility. Proposed development of two parcels to be rezoned are located northwest of the overhead utility easement. The proposed, approximately 2-acre parcel with frontage on W. Lingleville Road is requesting a rezone to (B-2) Retail and Commercial Business. The future land use map shows the adjacent parcel to be commercial use. A second, approximately 7.7-acre parcel is requesting a rezone to (R-3) Multiple Family Residential in order to construct a senior housing development. The senior housing development has 13 buildings, including a community building with an office, and 1.5 parking spaces provided per bedroom. Future land use maps show adjacent multiple family residential districts. Mr. Killen concluded his brief with stating that the Comprehensive Plan for future land use designates this property to be Single Family Residential with adjacent Commercial and Multiple Family.

Mr. Wade Bienski was present to answer any questions.

Chairperson LaTouche opened the public hearing.

Sherry Carrol, 2605 Phelps, came forward in favor of request.

Mark Kaiser, 111 Blue Jay, speaking against for the following petitioners:

Aaron Grimmer, 103 Blue Jay

James Bucher, 101 Blue Jay

Perter Corta, 105 Blue Jay

Holly Hodges, 104 Blue Jay

Pamela Boyles, 106 Blue Jay

Neta Faye Howard, 109 Blue Jay

Lace Phillips, 108 Blue Jay

Corey Moses, 113 Blue Jay

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Sandra Hill, 114 Blue Jay

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Charles Bradshaw, 120 Blue Jay

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Randy Smith, 116 Blue Jay

Sherry Dickerson, 124 Blue Jay

Josh Emmons, 129 Blue Jay

Josh Basham, 130 Blue Jay

James Stephenson, 135 Blue Jay

Gayla Garner, 136 Blue Jay

Becky Hodges, 112 Blue Jay

Louis Garcia, 145 Blue Jay

Vince Lewallen, 149 Blue Jay

Beth Lewallen, 149 Blue Jay

Dell Goodwin, 151 Blue Jay

Brenda Guise, 713 Spring Meadow, came forward to speak against request.

David Guise, 713 Spring Meadow, came forward to speak against request.

Councilmember Ricky Thurman, 107 Sandra Palmer, came forward to clarify and give a rebuttal to Mr. Kaiser's comments.

Chairperson LaTouche closed the public hearing.

MOTION by Brian Lesley, second by Tom Hines, to deny Case No. RZ2022-005, RZ2022-006 & RP2022-002 and send a negative recommendation to Council. **MOTION CARRIED unanimously with Chairperson LaTouche abstaining from the vote.**

**8. Case No.: PD2022-001**

**Applicant 2828 Real Estate LLC is requesting a rezone from Single Family Residential District (R-1) to Planned Development (PD) for address 1300 Pecan Hill Drive, Parcel R50244, 1.190 Acres S5465 Glasgow Addition, Lot 1, of the City of Stephenville, Erath County, Texas.**

Steve Killen, Development Services Director, briefed the commission on the case. Mr. Killen stated that as with all Planned Developments, the commissioners are to review and make recommendations to the conceptual plans. Mr. Killen shared that the applicant will be returning for the rezone to a Planned Development District and the approval of the development plan at a later date.

Applicant Justin Haschke was present to answer any questions.

Chairperson LaTouche opened the public hearing.

No one came forward or against the conceptual plan review.

Tom Hines expressed concern regarding trees and landscaping.

Chairperson LaTouche closed the public hearing.

No action required.

The meeting was adjourned at 7:06 p.m.

APPROVED:

\_\_\_\_\_  
Lisa LaTouche, Chair

ATTEST:

\_\_\_\_\_  
Tina Cox, Commission Secretary





## PLANNING AND ZONING COMMISSION MEETING

City Hall Council Chambers, 298 W. Washington  
 Wednesday, April 20, 2022, at 5:30 PM

### MINUTES

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**COMMISSIONERS PRESENT:** Lisa LaTouche, Chairperson  
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 Justin Allison  
 Bruce Delater  
 Mary Beach McGuire  
 Nick Robinson  
 Tom Hines

**OTHERS ATTENDING:** Steve Killen, Director of Development Services  
 Tina Cox, Commission Secretary

### CALL TO ORDER

Chairperson LaTouche called the meeting to order at 5:30 p.m.

### MINUTES

- 1. Consider Approval of Minutes – March 16, 2022**  
 MOTION by Bruce Delater, second by Mary Beach McGuire to approve the minutes for March 16, 2022. MOTION CARRIED by unanimous vote.

### PUBLIC HEARING

- 2. Case No.: SV2022-002**  
**Applicant Daniel Toof is requesting a Subdivision Waiver from Section 155.6.11 – Sidewalk Requirements, to be constructed at 191 Davis Avenue, Parcel R76719, being Lot 17 of Block 2 of the S5200 McAlister Second of the City of Stephenville, Erath County, Texas.**

Steve Killen, Development Services Director, briefed the commission on the case. Mr. Killen stated that because the current neighborhood does not include sidewalks, the Applicant is requesting a waiver from the sidewalk requirements. Mr. Killen concluded his brief by stating that staff supports the request.

Applicant Daniel Toof was not present to answer any questions.

Chairperson LaTouche opened the public hearing.

No one came forward to speak in favor of or against.

Chairperson LaTouche closed the public hearing.

MOTION by Mary Beach McGuire, second by Nick Robinson, to approve Case No. SV2022-002 and forward a positive recommendation to Council. MOTION CARRIED with a 6-1 vote.

AYES: Bruce Delater, Justin Allison, Mary Beach McGuire, Lisa LaTouche, Brian Lesley, Nick Robinson

NOES: Tom Hines

### 3. Case No.: SV2022-003

**Applicant Dee Stephens, representing Erath County, is requesting a Subdivision Waiver from Section 155.06.08.C. for Sight Visibility Easement from 45' x 45' non-residential to 20' x 20' for minimum residential for property located at 222 E College, Parcel R29239, being Lot 1,2,3, &4 of Block 14 of City Addition to the City of Stephenville, Erath County, Texas.**

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AYES: Bruce Delater, Tom Hines

NOES: Justin Allison, Mary Beach McGuire, Lisa LaTouche, Brian Lesley, Nick Robinson

MOTION by Brian Lesley, second by Mary Beach McGuire, to approve Case No. SV2022-003 and forward a positive recommendation to Council. MOTION CARRIED with a 5-2 vote.

AYES: Justin Allison, Mary Beach McGuire, Lisa LaTouche, Brian Lesley, Nick Robinson

NOES: Bruce Delater, Tom Hines

### 4. Case No.: SV2022-004

**Applicant Dee Stephens, representing Erath County, is requesting a Subdivision Waiver from Section 155.06.05.G. to reduce the distance between driveways along city-maintained streets from 100' to 50' for property located at 222 E College, Parcel R29239, being Lot 1,2,3, &4 of Block 14 of City Addition to the City of Stephenville, Erath County, Texas.**

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Chairperson LaTouche opened the public hearing.

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**6. Case No.: FP2022-001**

**Applicant J Gary Shelton, representing GMS RCP LP, is requesting a final plat of property located at 2820 W Washington, Parcel R22350, being Block 1 of Lot 1-R of FAI Addition to the City of Stephenville, Erath County, Texas.**

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Chairperson LaTouche opened the public hearing.

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MOTION by Brian Lesley, second by Nick Robinson, to approve Case No. FP2022-001 with the following conditions:

1. Public Improvements be accepted by the City of Stephenville Public Works Department.

2. A maintenance bond be submitted to the City of Stephenville Public Works Department.

**MOTION CARRIED by a unanimous vote.**

**7. Case No.: RZ2022-005, RZ2022-006 & RP2022-002**

**Applicant Tom Brooks is requesting a rezone of property located at W FM8, Parcel R22552 being 29.751 Acres, A0520 Menefee Jarrett, of the City of Stephenville, Erath County, Texas, from Single Family Residential (R-1) to Multiple Family Residential (R-3) and Retail and Commercial Business (B-2) with simultaneous replating.**

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Mr. Wade Bienski was present to answer any questions.

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Sherry Carrol, 2605 Phelps, came forward in favor of request.

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Councilmember Ricky Thurman, 107 Sandra Palmer, came forward to clarify and give a rebuttal to Mr. Kaiser's comments.

Chairperson LaTouche closed the public hearing.

MOTION by Brian Lesley, second by Tom Hines, to deny Case No. RZ2022-005, RZ2022-006 & RP2022-002 and send a negative recommendation to Council. **MOTION CARRIED unanimously with Chairperson LaTouche abstaining from the vote.**

**8. Case No.: PD2022-001**

**Applicant 2828 Real Estate LLC is requesting a rezone from Single Family Residential District (R-1) to Planned Development (PD) for address 1300 Pecan Hill Drive, Parcel R50244, 1.190 Acres S5465 Glasgow Addition, Lot 1, of the City of Stephenville, Erath County, Texas.**

Steve Killen, Development Services Director, briefed the commission on the case. Mr. Killen stated that as with all Planned Developments, the commissioners are to review and make recommendations to the conceptual plans. Mr. Killen shared that the applicant will be returning for the rezone to a Planned Development District and the approval of the development plan at a later date.

Applicant Justin Haschke was present to answer any questions.

Chairperson LaTouche opened the public hearing.

No one came forward or against the conceptual plan review.

Tom Hines expressed concern regarding trees and landscaping.

Chairperson LaTouche closed the public hearing.

No action required.

The meeting was adjourned at 7:06 p.m.

APPROVED:

\_\_\_\_\_  
Lisa LaTouche, Chair

ATTEST:

\_\_\_\_\_  
Tina Cox, Commission Secretary



## PLANNING AND ZONING COMMISSION MEETING

City Hall Council Chambers, 298 W. Washington  
Wednesday, May 4, 2022, at 5:30 PM

### MINUTES

The Planning and Zoning Commission of the City of Stephenville, Texas, convened on Wednesday, May 4, 2022 at 5:30 PM, in the Council Chambers at City Hall, 298 West Washington Street, for the purpose of a Regular Business Meeting, with the meeting being open to the public and notice of said meeting, giving the date, time, place and subject thereof, having been posted as prescribed by Chapter 551, Government Code, Vernon's Texas Codes Annotated, with the following members present, to wit:

**COMMISSIONERS PRESENT:** Lisa LaTouche, Chairperson  
Brian Lesley, Vice Chair  
Justin Allison  
Mary Beach McGuire  
Nick Robinson  
Tom Hines

**COMMISSIONERS ABSENT:** Bruce Delater

**OTHERS ATTENDING:** Steve Killen, Director of Development Services  
Tina Cox, Commission Secretary

### CALL TO ORDER

Chairperson LaTouche called the meeting to order at 5:30 p.m.

### PUBLIC HEARING

**1. Case No.: FP2022-002**

**Applicant Vidal Garcia, representing the Stables Development and EG Tejas LLC, is requesting approval of a final plat of the property located at 2798 W Washington, Parcel R22338, of A0515 MOTLEY WILLIAM & CITY ADDITION, Block 157, Lot 10 & 12 (PT Of 12) of the City of Stephenville, Erath County, Texas.**

Steve Killen, Development Services Director, briefed the commission on the case. Mr. Killen stated that the applicant has submitted a Final Plat which, outside minor revisions, conforms with the Preliminary Plat approved by the Commission in May 2021. The Plat has been reviewed by staff and the following comments have been provided to the applicant:

1. All public improvements must be completed and accepted through the submission of an Engineers' Letter of Certification of Completed Record Drawings – Ordinance 155.5.06.D

- a. Test reports must be submitted including water line, sewer line – mandrel CTY scan and water flow.
- b. Street lights must be installed per plans.
- c. Storm Water Facility Maintenance Agreement must be approved.
- 2. A two-year maintenance bond for public improvements must be provided.
- 3. All review and development fees due to the city must be paid in full.
- 4. Tax Certificates must be obtained for Recordation with the County. Ordinance 115.04.06.H.4.e
- 5. Provide the City’s required plat language.
- 6. Add “All public improvements shall be approved and accepted by the City of Stephenville prior to the issuance of Certificates of Occupancy.”
- 7. Verify accuracy of State of Texas Right of Way, Diamond Shaped #3 note in Easement Legend.
- 8. Add a plat note that each lot will have shared access points to adjacent lots.

Staff is requesting that the Planning and Zoning Commission grant Conditional Approval of the Final Plat pending completion of aforementioned items. Upon completion, the Final Plat will be submitted for recordation purposes.

Applicant Vidal Garcia was not present to answer any questions.

Chairperson LaTouche opened the public hearing.

No one came forward to speak in favor of or against.

Chairperson LaTouche closed the public hearing.

MOTION by Mary Beach McGuire, second by Nick Robinson, to approve Case No. FP2022-002 with the stated conditions. MOTION CARRIED by unanimous vote.

APPROVED:

\_\_\_\_\_  
Lisa LaTouche, Chair

ATTEST:

\_\_\_\_\_  
Tina Cox, Commission Secretary





## STAFF REPORT

**SUBJECT:** Case No.: CP2022-001

Applicant Collin Parsons is requesting a Conditional Use permit for a home occupation to be operated at 1317 Inglewood Drive, Parcel R31164, being Lot 2 & 3 of Block 1 of the Dale Avenue North Addition to the City of Stephenville, Erath County, Texas.

**DEPARTMENT:** Development Services

**STAFF CONTACT:** Steve Killen

### RECOMMENDATION:

To consider granting the Conditional Use Permit for a home occupation.

### BACKGROUND:

The applicant is requesting a conditional use permit to allow a home occupation for firearm sales.

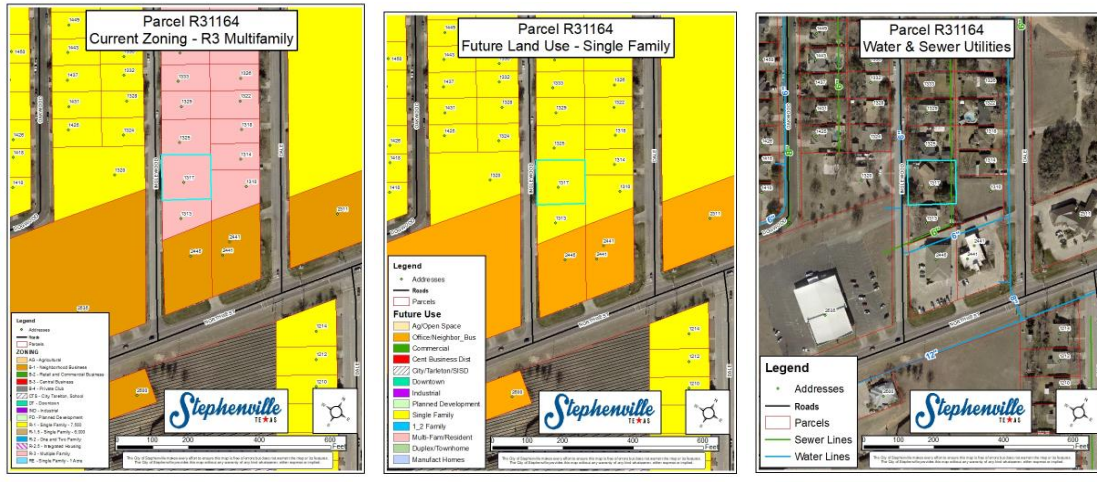
In May, 2021, a similar request was approved for a residential property in Golf Country Estates. In that case, the Bureau of Alcohol, Tobacco and Firearms (ATF) was considering license revocation for the following requirements set forth by the Bureau:

1. Any transaction involving firearm transfers must occur at the locale listed on the licensee's application and;
2. The licensee must comply with all local ordinance and regulations and therefore,
3. The applicant was deemed to be in violation as City Ordinance prohibits home occupations that result in the generation of significant traffic to the property.

On May 13, 2022, staff contacted the ATF and confirmed that they will not issue a permit from their office unless the local municipality approves the use.

If the request is approved, Staff recommends the Conditional Use be granted with the stipulation that the use must comply with all criteria applicable to home occupations and violation thereof will result in revocation.

### PROPERTY PROFILE



## ZONING

### Sec. 154.05.6. Multiple family residential district (R-3).

**5.6.A Description.** This residential district provides for medium to high-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, and multiple family housing buildings and complexes platted as one parcel and sole source management. All R-3 zoning will be appropriate to a city-style neighborhood. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the esthetic and functional well being of the intended district environment.

#### 5.6.B Permitted Uses.

- (1) Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals;
- (2) Two-to-four family dwellings, with each family limited as in division (1) above;
- (3) Multiple family dwellings, with each family limited as in division (1) above; Student living complexes will be subject to a variance request for units designed to occupy more than three unrelated students per unit;
- (4) Assisted living center;
- (5) Convalescent, nursing or long term-care facility;
- (6) Retirement housing complex;
- (7) Accessory buildings;
- (8) Churches, temples, mosques and related facilities;
- (9) Community home;
- (10) Park or playground;
- (11) SISD school—public;
- (12) Bed and breakfast/boarding house;
- (13) Group day care home;
- (14) Registered family home;
- (15) Day care center; and

(16) Fraternity or sorority house.

#### 5.6.C Conditional Uses.

- (1) Home occupation;
- (2) Common facilities as the principal use of one or more platted lots in a subdivision;
- (3) Adult and/or children's day care centers;
- (4) Foster group home; and
- (5) Residence hall.

### HOME OCCUPATION

#### Sec. 154.03 - Definitions.

*Home occupation.* An occupation carried on in a dwelling unit, or in an accessory building to a dwelling unit, by a resident of the premises, which occupation is clearly incidental and secondary to the use of the premises zoned for residential purposes. A *home occupation* must comply with all the following specific criteria:

- (1) Home occupations shall be allowed without the necessity of a conditional use permit, if such uses relate solely to the use of home areas as further detailed herein by the resident of the premises, and such use does not create on-street parking, significant neighborhood traffic, or other disruption to the residential character of the property.
- (2) The occupation shall produce no alterations or change in the character appearance of the principal building from that of a dwelling and no signage or advertisement of the home occupation or property address is allowed in the yellow pages advertisements in a telephone directory nor via electronic media, or classified advertisements of the property where the home occupation is being conducted.
- (3) The occupation shall not require or provide for the employment of more than one additional person other than members of the household in which the home occupation occurs.
- (4) Not more than two business-related vehicles shall be present at one time, and the proprietor shall provide adequate, paved off-street parking for such vehicles and customer vehicles on the property where the use is located.
- (5) Such use shall be incidental and secondary to the use of the premises for residential purposes and shall not utilize an area exceeding 20% of combined gross floor area of the dwelling units and accessory building used for the home occupation and no outdoor/exterior storage (related to the home occupation) will be allowed.
- (6) The occupation shall not violate any other rules or regulations in the Code of Ordinances.
- (7) The occupation shall not offer a ready inventory of any commodity for sale on the premises.

#### FACTORS TO CONSIDER:

#### Sec. 154.20.3. Planning and zoning commission—Conditional use permit.

**20.3.A Definition.** A conditional use permit is defined in Section 154.03. The terms "Conditional Use Permit" and "Special Use Permit" may be used interchangeably.

**20.3.B Effective Date.** A Conditional Use Permit shall be deemed effective upon the date approved by the City Council.

**20.3.C Termination of Conditional Use Permit.** A Conditional Use Permit shall terminate and become null and void as follows:

- (1) Failure to Commence the Use: Upon a finding by the City Manager that the conditional use for which the Conditional Use Permit was issued has not commenced within 180 calendar days after the effective date of the

Conditional Use Permit or the date set forth in the Conditional Use Permit, whichever is applicable. For purposes of this paragraph, the use shall be deemed to have commenced:

- a. If no new construction or renovation of an existing building is required, when actual use for the purposes described in the permit commences; or
  - b. If new construction or renovation of an existing building is required before the use can commence, when a completed application for a building permit, all required construction drawings, and the applicable permit fees have been delivered to the City Building Inspections Department;
- (2) Failure to Commence Actual Use Within Two Years of New Construction or Renovation: If new construction or renovation of an existing building is required before the use can commence, upon a finding by the City Manager that actual use of the property has not commenced within two (2) years after the effective date of the Conditional Use Permit or the date set forth in the permit, whichever is applicable;
- (3) Cessation of Use Not Related to Destruction of Property: After commencement of the actual use of the property for the purpose set forth in the permit, upon a finding by the City Manager that actual use of the property for the purpose for which the Conditional Use Permit was approved:
- a. Has not occurred for a period of 180 consecutive days after the commencement of the actual use for which the Conditional Use Permit was approved; and
  - b. That the conditional use ceased for reasons other than destruction of buildings due to fire, flood, or windstorm;
- (4) Cessation of Use Related to Destruction of Property: After commencement of the actual use of the property for the purpose set forth in the permit, upon a finding by the City Manager that actual use of the property for the purpose for which the Conditional Use Permit was approved has not occurred for a period of two consecutive years after the date of destruction by fire, flood, or windstorm of the buildings in which the use was occurring; Upon a finding of the City Manager that the use of the property has not been or is not in compliance with the provisions of the permit, the City Manager shall send written notice that the permit will be terminated fifteen (15) days from the date of the receipt of the notice, said notice to be sent by certified mail, return receipt requested to the owner of the property at the last known address indicated on the property rolls of the Erath County Appraisal District, a copy of which notice shall also be placed on the property. Said notification shall contain a summary of the findings by the City Manager citing the provisions of the permit or City Code which have been violated.

#### **20.3.D Appeals.**

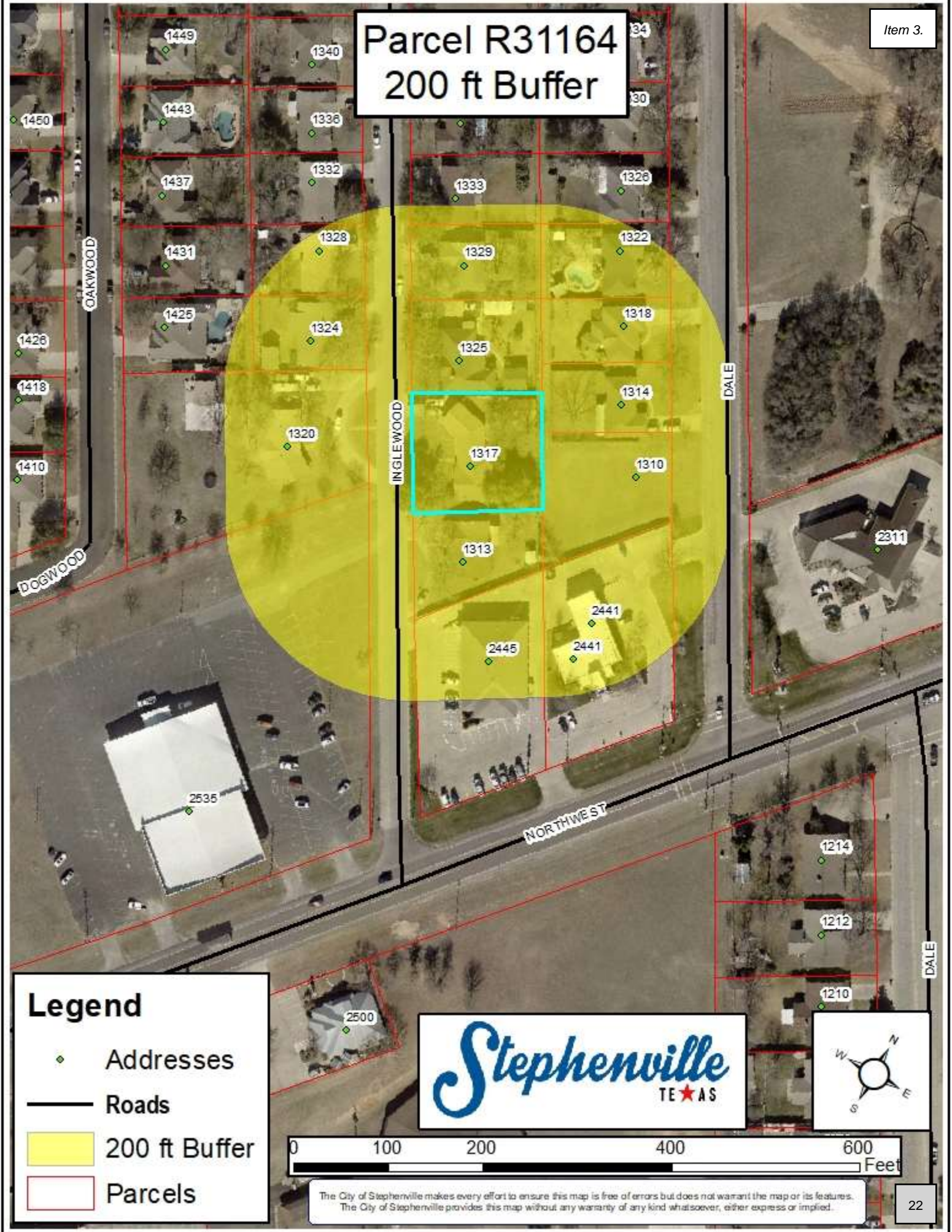
- (1) Appeal of Termination for Non-Compliance: The owner of the property may file a written appeal of the City Manager's decision with the City Council by delivering to the City Secretary a summary of the property owner's basis for appeal not later than ten (10) calendar days from receipt of the City Manager's notice. The appeal shall be heard at the next regular City Council meeting which occurs on or after the tenth calendar day following the receipt of the notice of appeal. The appeal to the City Council shall be conducted in accordance with procedures adopted by the City Council.
- On appeal, the City Council may:
- a. Uphold the decision of the City Manager and terminate the permit;
  - b. Uphold the decision of the City Manager, but grant additional time for compliance, after which date the permit shall terminate if the City Council determines that compliance has not been achieved during the additional time; or
  - c. Overrule the decision of the City Manager. The decision of the City Council shall be final.
- (2) Failure to File an Appeal: If the owner of the property fails to file an appeal as set forth in Section 1, above, on the fifteenth day following delivery of written notice to the owner of the property for which a Conditional Use Permit is issued that the City Manager has determined that violates the provisions of the permit, the conditional use permit will be terminated.

(Ord. No. 2018-O-28 , 8-7-2018)

## ALTERNATIVES

- 1) Recommend the City Council approve the request for a conditional use.
- 2) Recommend the City Council deny the request for a conditional use.

# Parcel R31164 200 ft Buffer



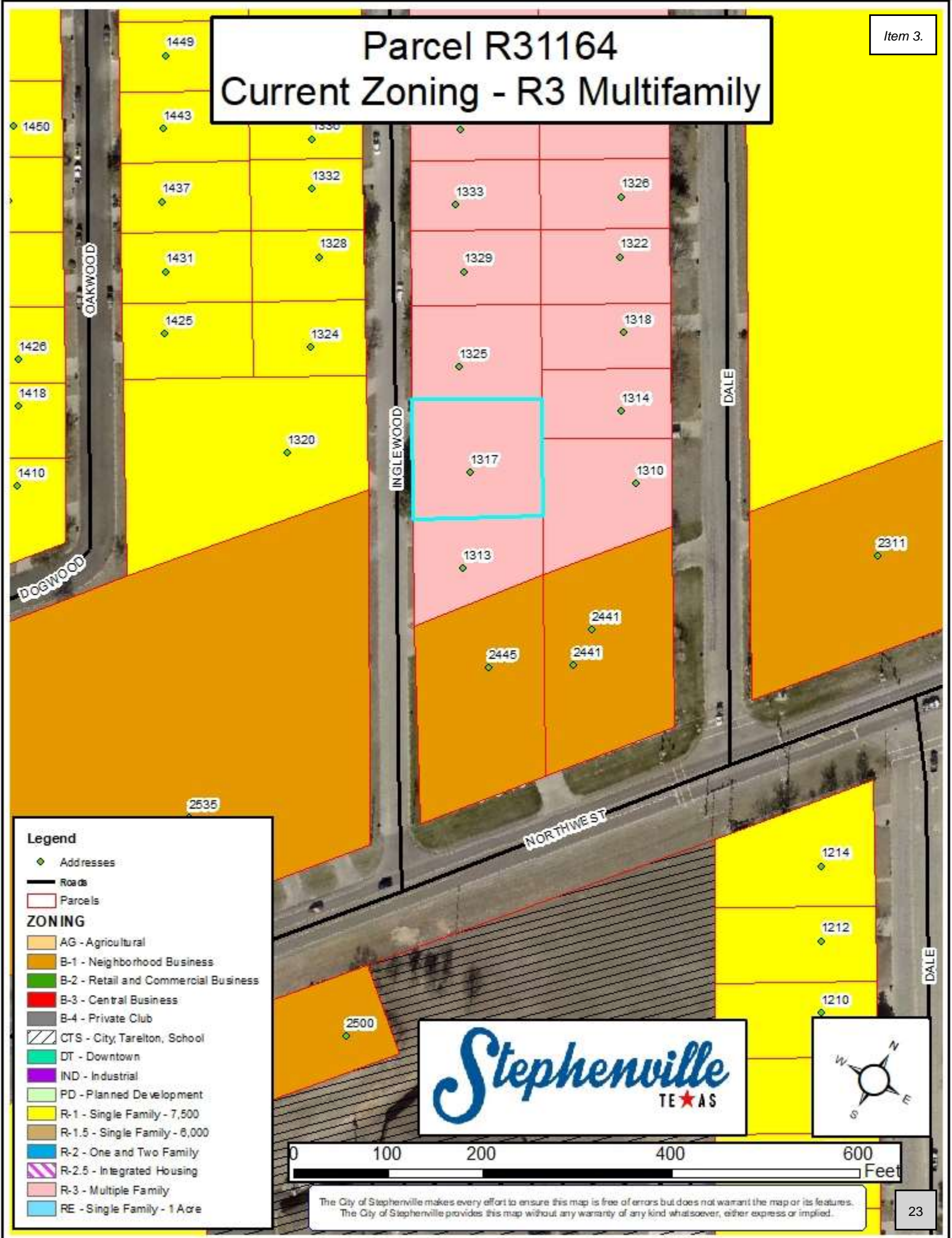
**Legend**

- ◆ Addresses
- Roads
- 200 ft Buffer
- Parcels



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# Parcel R31164 Current Zoning - R3 Multifamily



**Legend**

- ◆ Addresses
- Roads
- ▭ Parcels

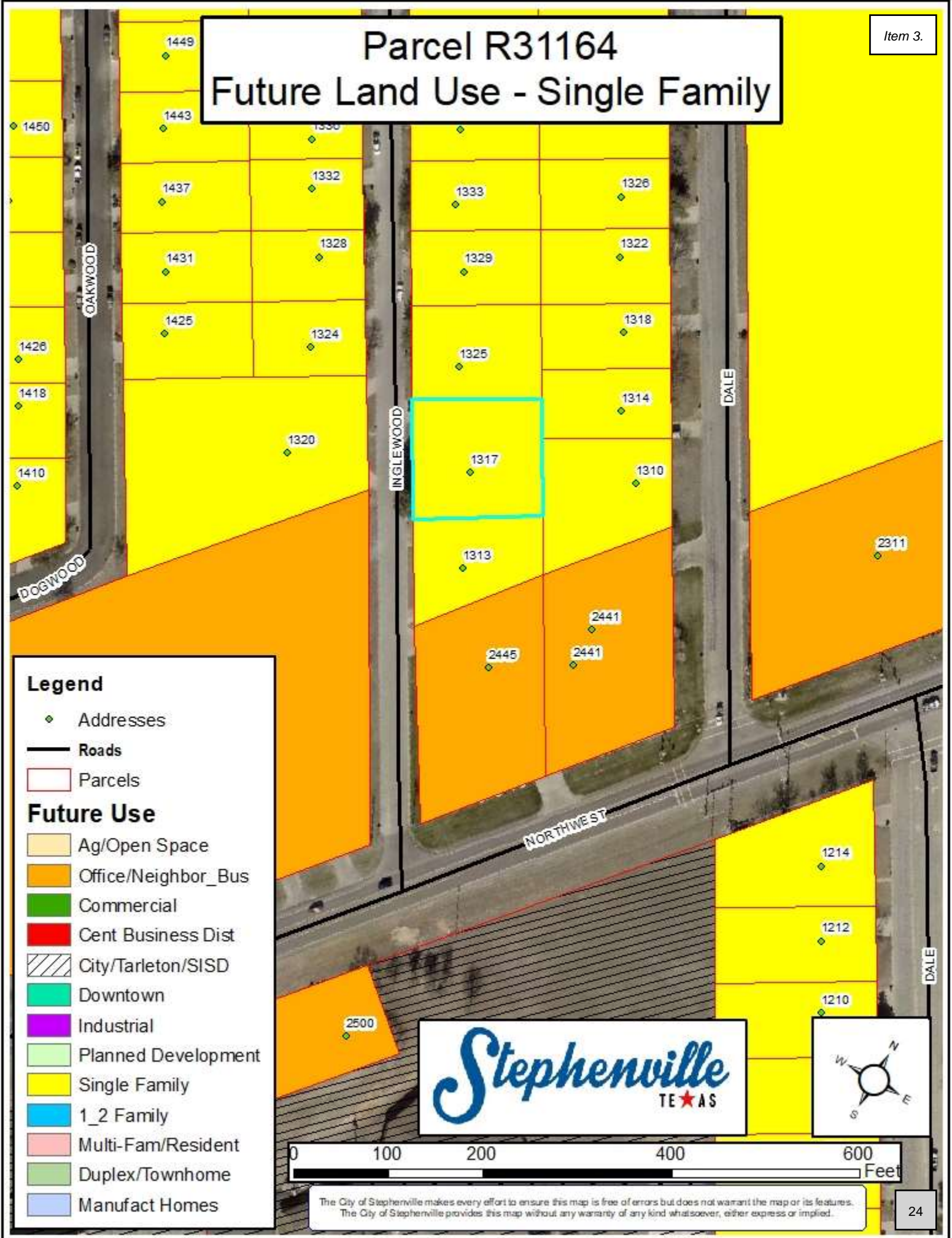
**ZONING**

- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tareyton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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# Parcel R31164 Future Land Use - Single Family



### Legend

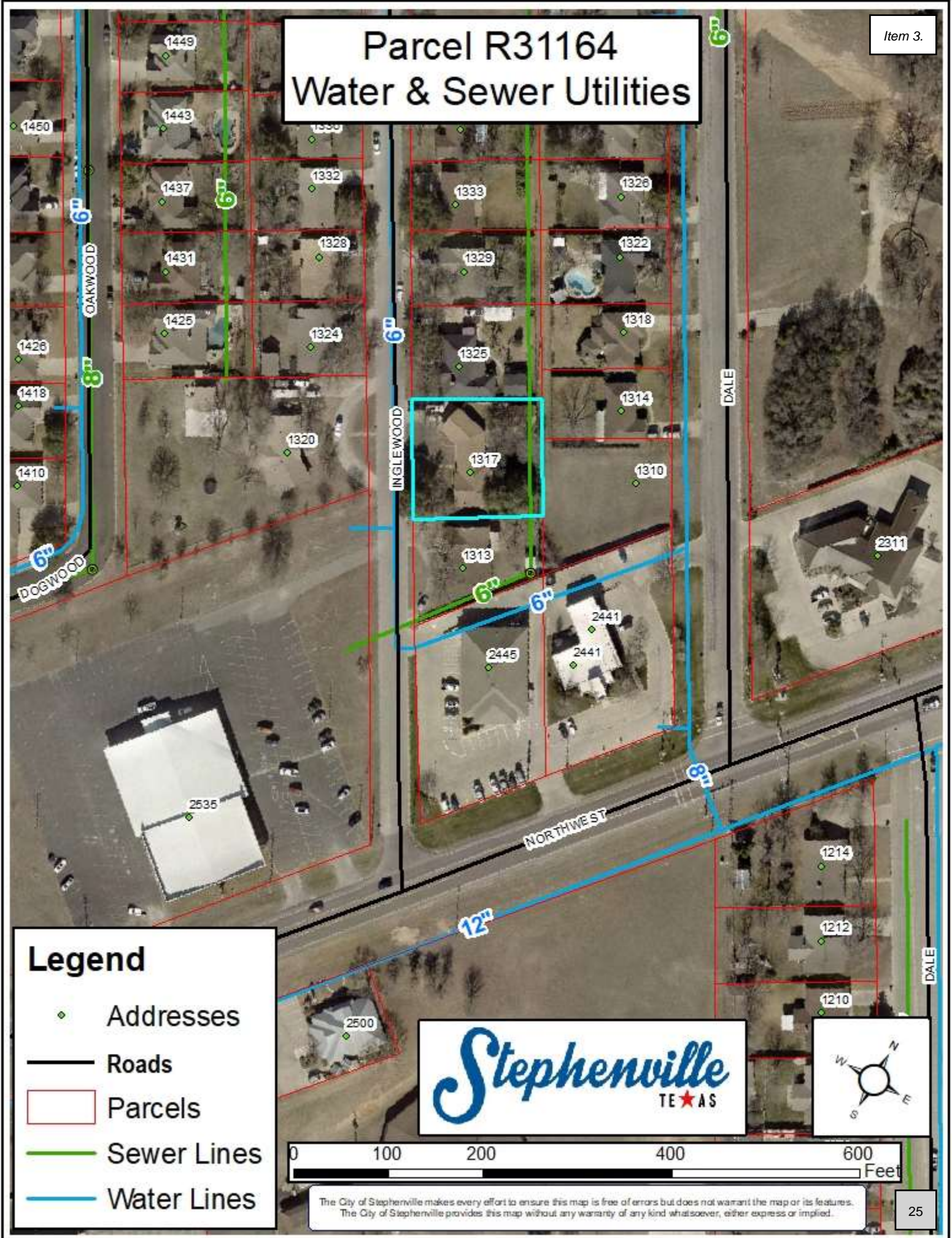
- ◆ Addresses
- Roads
- ▭ Parcels
- Future Use**
- Ag/Open Space
- Office/Neighbor\_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1\_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



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# Parcel R31164 Water & Sewer Utilities



### Legend

- ◆ Addresses
- Roads
- Parcels
- Sewer Lines
- Water Lines



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# Parcel R31164 Address List

Item 3.

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000031187	1326 DALE AVE	ALMOND JACK OR GENEVA	1326 N DALE	STEPHENVILLE	TX	76401-0000
R000031167	1329 INGLEWOOD DR	CARLSON PETE & KATHY	1329 INGLEWOOD DR	STEPHENVILLE	TX	76401
R000031163	1313 INGLEWOOD DR	FIGUEROA KIA JENNA & EMANUEL FIGUEROA	1313 INGLEWOOD DR	STEPHENVILLE	TX	76401
R000031235	1320 INGLEWOOD DR	GERBER MARK & SHERRY	1320 INGLEWOOD DR	STEPHENVILLE	TX	76401
R000022422	2535 NORTHWEST LOOP	HILLCREST CHURCH OF CHRIST	2535 NORTHWEST LOOP	STEPHENVILLE	TX	76401-0000
R000061550	2441 NORTHWEST LOOP	HORTON CAROLYN & ED	2445-A NORTHWEST LOOP	STEPHENVILLE	TX	76401
R000061549	2445 NORTHWEST LOOP	HORTON EDMUND R & CAROLINE S	2445-A NORTHWEST LOOP	STEPHENVILLE	TX	76401-0000
R000031188	1322 N DALE AVE	JIMENEZ JULIO L & EMMA	1322 N DALE	STEPHENVILLE	TX	76401-0000
R000031189	1318 DALE AVE	JOHNSON DAVID	1318 N DALE AVE	STEPHENVILLE	TX	76401
R000062563	1431 OAKWOOD	KAMMERER WILLIAM A III & RACHEL L	1431 OAKWOOD DRIVE	STEPHENVILLE	TX	76401
R000031168	1333 INGLEWOOD DR	LINDERMAN ELIZABETH LAUREN & CODY WILLIAM OSBORN	1333 INGLEWOOD DR	STEPHENVILLE	TX	76401
R000031234	1324 INGLEWOOD DR	MCCLESKEY MINDY RAYE	1324 INGLEWOOD	STEPHENVILLE	TX	76401
R000031166	1325 INGLEWOOD DR	MCCLESKEY RICHARD KEITH & LINDA MCMAHON PARTAIN	1325 INGLEWOOD	STEPHENVILLE	TX	76401
R000062564	1425 OAKWOOD	OLSOVSKY JO CAROLYN	1425 OAKWOOD	STEPHENVILLE	TX	76401
R000031164	1317 INGLEWOOD DR	PARSONS COLLIN D & CASEY M PARSONS	1317 INGLEWOOD	STEPHENVILLE	TX	76401
R000031191	1310 DALE AVE	PEACOCK INVESTMENTS LLC	1279 DIANA LANE	STEPHENVILLE	TX	76401
R000031190	1314 DALE AVE	PERRY SEAN M	1314 N DALE AVE	STEPHENVILLE	TX	76401
R000031233	1328 INGLEWOOD DR	PRIDY W T & RACHEL PRIDY KAMMERER	1328 INGLEWOOD	STEPHENVILLE	TX	76401
R000031232	1332 INGLEWOOD DR	SPARKS JAMIE R	1332 INGLEWOOD DR	STEPHENVILLE	TX	76401

Members of the permit and zoning board,

My name is Collin Parsons. I have been a resident of Stephenville and Erath county since 2011. I received an engineering degree at Tarleton State and have remained in the community as the general manager of Stephenville Golf Carts. I have also been a practicing machinist, fabricator, and gunsmith for many years. I primarily pursue this as a hobby, but I am regularly asked by friends and family to do repairs and modifications to their firearms. It is legal to do gunsmithing work on firearms belonging to someone else without holding a federal firearms license. However, a gunsmith is not permitted to be in the possession of anyone's firearm for more than 24 hours without holding a federal firearms license and keeping record of said firearms changing possession. Many gunsmithing operations require more time than that for machining, curing of epoxies and coatings, or simply waiting on components to arrive. I am requesting a waiver to operate a business out of my home so that I may apply for a federal firearms license. I do not want to try to operate a retail business or even a business that would become my primary source of income. I simply want to be able to legally work on firearms for a small number of friends and family, or conduct transfers for them. I appreciate that my home is in a safe, family friendly neighborhood and I will not let that change on my account. Safety is paramount to everything I do with machining and firearms. I have many years of machining and firearms experience, gained from some extremely talented, accomplished professionals within this community. My shop is a separate secure structure from my home that stays locked unless I am in it. Any firearms in my shop are also secured in a safe or locked metal cabinet, and are NEVER loaded with live ammunition while on my property.

I hope that you will consider my request for this zoning waiver with regards to my intentions. I welcome any questions about my processes or safety precautions.

Thank you for your time,

Collin Parsons  
1317 Inglewood Drive  
Stephenville, Tx 76401



# STAFF REPORT

**SUBJECT:** Case No.: RZ2022-011

Applicant Ryan Studdard, authorized representative of Preshcer Custom Homes, is requesting a rezone of property located at 715 Miller, Parcel R32524, being Block 2, Lot 2 & 3 (S PT of 3) of the Miller Addition to the City of Stephenville, Erath County, Texas, from (B-1) Neighborhood Business to (R-1) Single Family Residential.

**DEPARTMENT:** Development Services

**STAFF CONTACT:** Steve Killen, Director of Development Services

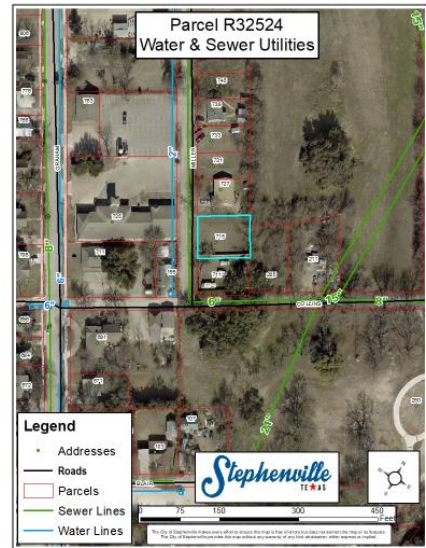
## RECOMMENDATION:

The Comprehensive Plan for future land use designates this property to be single family.

## BACKGROUND:

Applicant is requesting rezoning to allow for the construction of a 1,500 square foot residence. Please see the following submittals for additional detail.

## PROPERTY PROFILE:



**DESCRIPTION OF REQUESTED ZONING:****Sec. 154.05.3. Single-family residential district (R-1) (7,500 ft<sup>2</sup>).**

**5.3.A Description.** This residential district provides for a generally lesser density city neighborhood development. The primary land use allows for single-family dwelling development appropriate to a city-style neighborhood. Other uses within this district shall contribute to the nature of the neighborhood. Development within this district is intended to be separate from and protected from the encroachment of land activities that do not contribute to the esthetic and functional well being of the intended district environment.

**5.3.B Permitted Uses.**

- (1) Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals;
- (2) Accessory buildings;
- (3) Churches, temple, mosques and related facilities;
- (4) Community home;
- (5) Park or playground; and
- (6) SISD school—public.

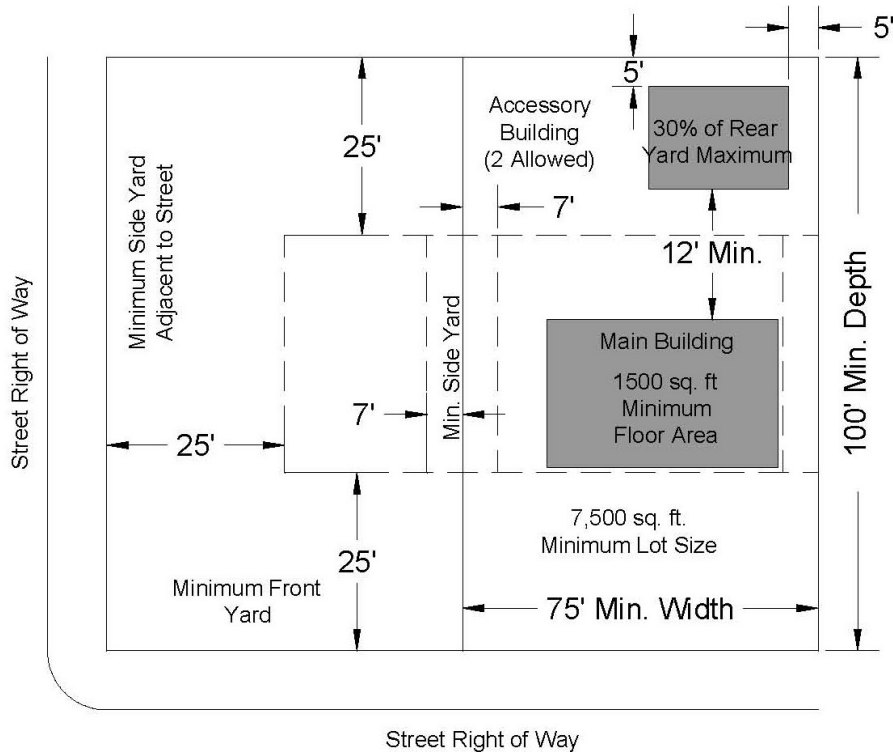
**5.3.C Conditional Uses.**

- (1) Home occupation;
- (2) Common facilities as the principal use of one or more platted lots in a subdivision; and
- (3) Child care—registered family home.

**5.3.D Height, Area, Yard and Lot Coverage Requirements.**

- (1) Maximum density: one dwelling unit per lot.
- (2) Minimum lot area: 7,500 ft<sup>2</sup>.
- (3) Minimum lot width and lot frontage: 75 feet.
- (4) Minimum lot depth: 100 feet.
- (5) Minimum depth of front setback: 25 feet.
- (6) Minimum depth of rear setback: 25 feet.
- (7) Minimum width of side setback:
  - (a) Internal lot: seven feet.
  - (b) Corner lot: 25 feet from intersecting side street.
- (8) Building size:
  - (a) Maximum main building coverage as a percentage of lot area: 40%.
  - (b) Minimum area of main building: 1,500 ft<sup>2</sup>.
- (9) Accessory buildings:
  - (a) Maximum accessory buildings coverage of rear yard: 30%.
  - (b) Maximum number of accessory buildings: two.
  - (c) Minimum depth of side setback: five feet.
  - (d) Minimum depth of rear setback: five feet.

- (e) Minimum depth from the edge of the main building: 12 feet.
- (10) Maximum height of structures: 35 feet.
- (11) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.

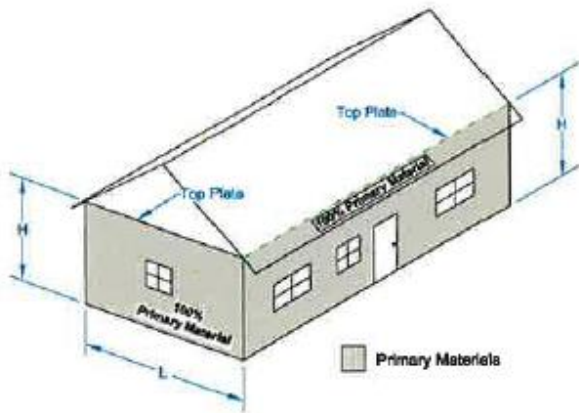


**5.3.E Parking Regulations.** A Single-Family, R-1 District lot shall provide a minimum of two vehicle parking spaces, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in this ordinance, Section 11, Parking Regulations of this ordinance.

**5.3.F Type of Construction.**

- (1) The exterior walls of all new dwellings to the top plate, shall be constructed exclusively of primary materials, excluding doors, windows, and porches. See Section 10.E(1): Exterior Building Material Standard—Primary Materials.
- (2) Existing dwellings expanding the total square footage of the building 50% or less, or modifying the exterior walls, may use the same exterior construction material as the existing primary building. If the material is not available, similar material may be used if approved by the Community Development Director.
- (3) Existing dwellings expanding the total square footage of the building by more than 50%, or proposing to use a material consistent with the primary structure for any expansion must use primary materials, Section 10.E(1): Exterior Building Material Standard—Primary Materials, for the expansion area.

### 5.3.F Exterior Building Material Standards



#### NEW CONSTRUCTION

Total Exterior Wall shall equal,  
100% of Primary Materials.  
(Windows & Doors are excluded)

#### EXISTING STRUCTURES

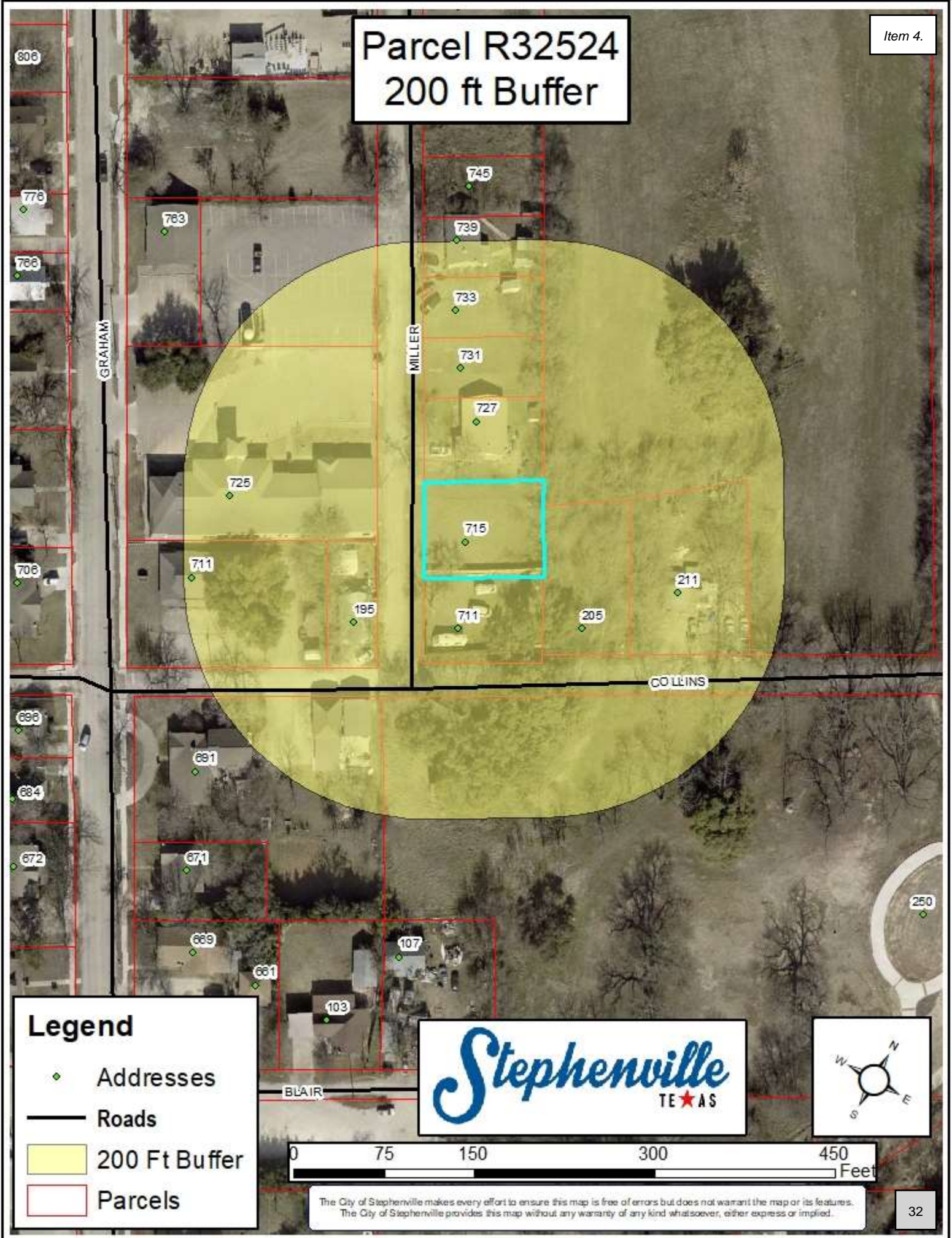
1. Expanding or modifying the footage of the building 50% or less, may use the same exterior material as the existing primary building. If not available, approval is need from the Community Development Director.
2. Expanding or modifying the footage of the building 50% or more, must use 100% Primary Materials of the exterior wall.
3. Windows and Doors are excluded.

(Ord. 2011-26, passed 12-6-2011)

#### ALTERNATIVES:

- 1) Recommend the City Council approve the rezoning request.
- 2) Recommend the City Council deny the request for rezoning.

# Parcel R32524 200 ft Buffer



**Legend**

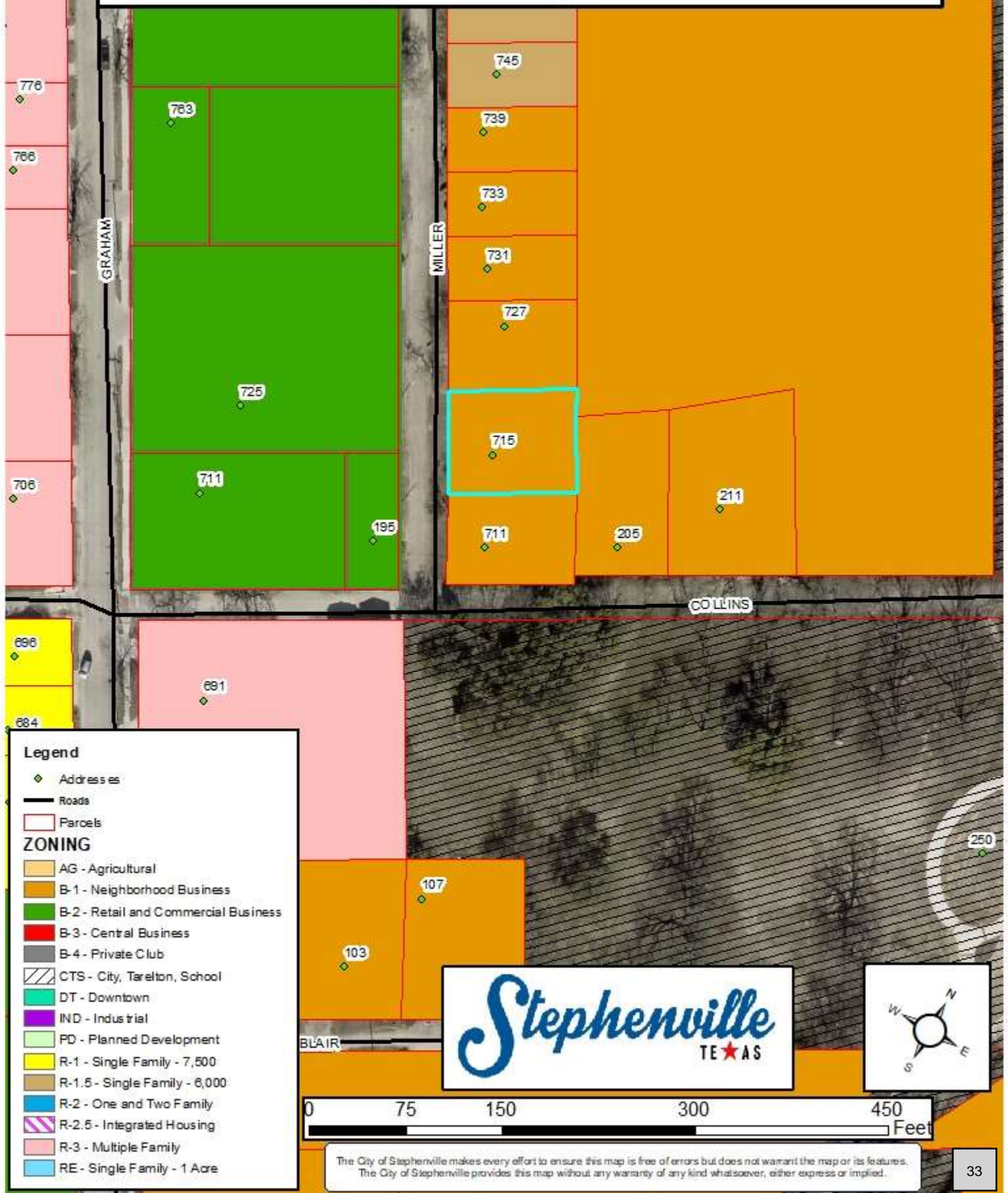
- ◆ Addresses
- Roads
- 200 Ft Buffer
- Parcels



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# Parcel R32524 Current Zoning - B1 Neighborhood Business



### Legend

- ◆ Addresses
- Roads
- ▭ Parcels
- ZONING**
- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTC - City, Tareyton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre

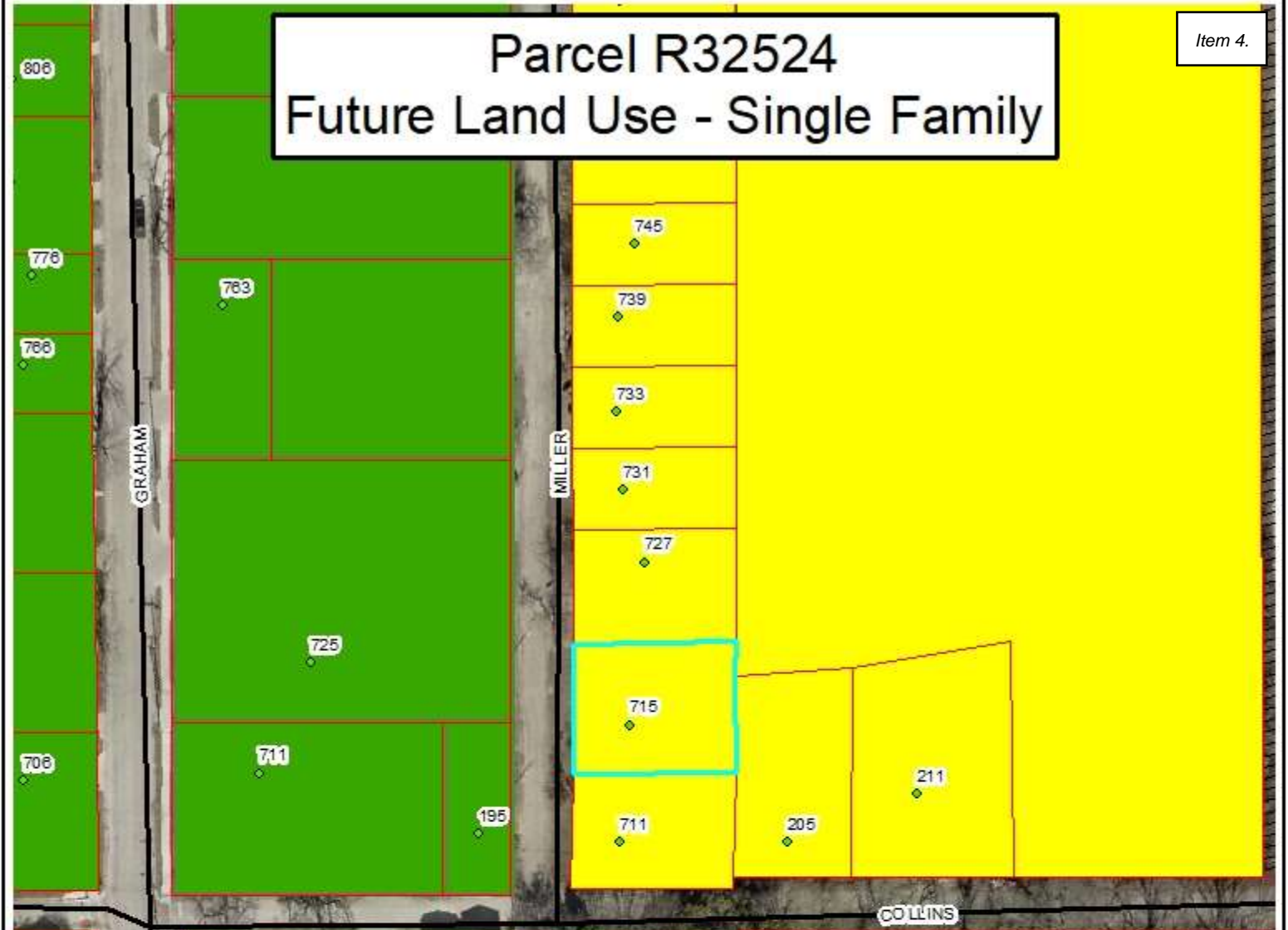


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# Parcel R32524

## Future Land Use - Single Family

Item 4.



**Legend**

- ◆ Addresses
- Roads
- ▭ Parcels

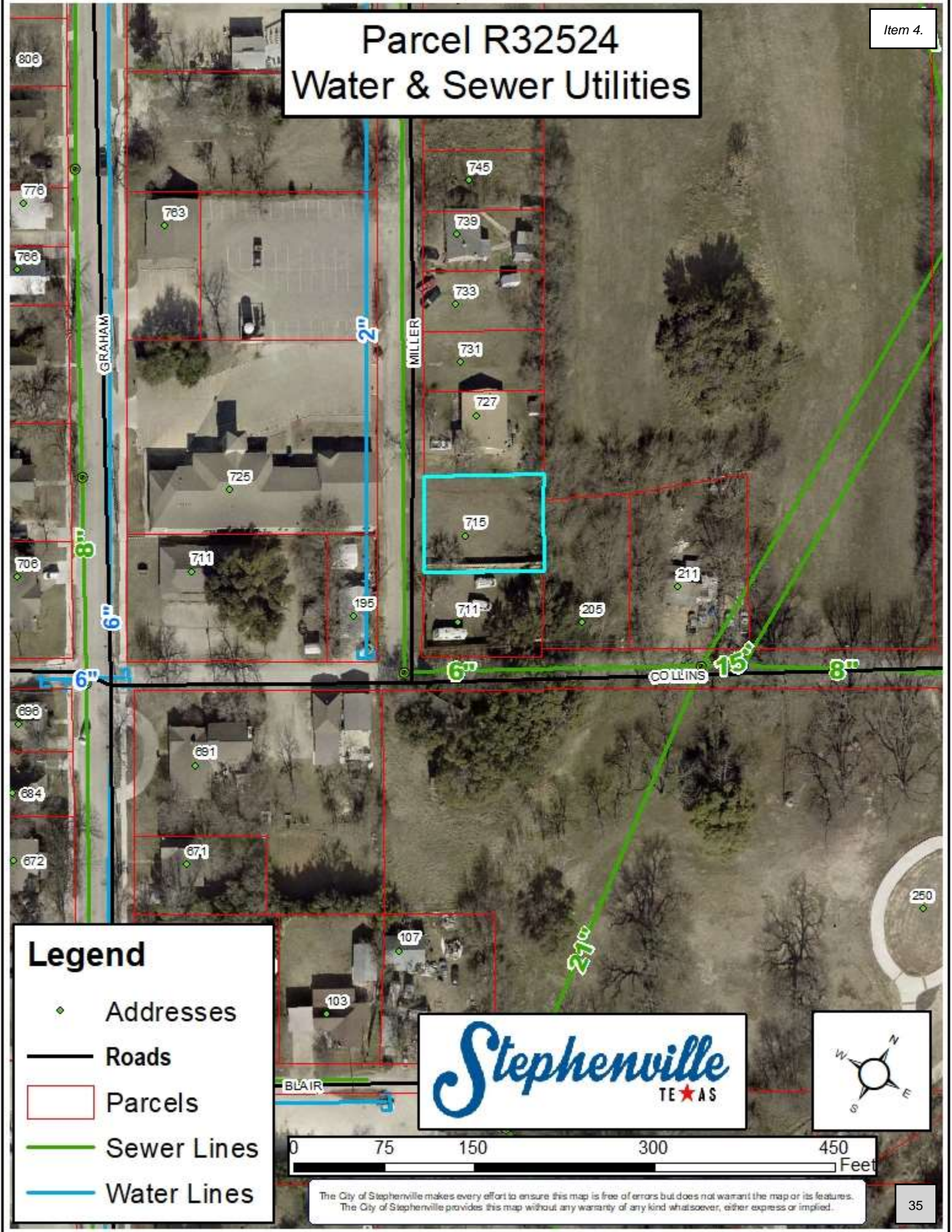
**Future Use**

- Ag/Open Space
- Office/Neighbor\_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1\_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



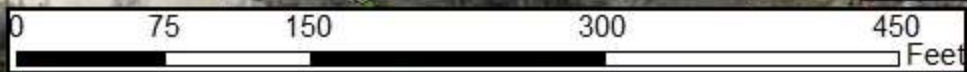
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# Parcel R32524 Water & Sewer Utilities



## Legend

- ◆ Addresses
- Roads
- Parcels
- Sewer Lines
- Water Lines



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# Parcel R32524 Address List

Item 4.

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000032524	715 MILLER	AYERS SUSAN & GILBERT AYERS	8713 VISTA ROYALE DR	FORT WORTH	TX	76108
R000032525	727 N MILLER	BENHAM WANDA	553 TIMBERWOLF TRAIL	STEPHENVILLE	TX	76401
R000032517	711 N GRAHAM	BOUCHER DAVID	400 TIMBER RIDGE DR	STEPHENVILLE	TX	76401
R000063036	0 E COLLINS	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000029629	0 E COLLINS ST	GOODMAN EDWIN DWAIN (LIFE ESTATE)	PO BOX 1713	STEPHENVILLE	TX	76401
R000032523	711 MILLER	GUERRERO GUADALUPE	660 CR 260	DUBLIN	TX	76446
R000032518	725 N GRAHAM	HARRIS METHODIST ERATH CO	611 RYAN PLAZA DR SUITE 660	ARLINGTON	TX	76011
R000062853	0 MILLER	HARRIS PROFESSIONAL BUILDING CORP	611 RYAN PLAZA DR SUITE 660	ARLINGTON	TX	76011
R000029624	691 N GRAHAM	KEENE SHERRI	PO BOX 2423	STEPHENVILLE	TX	76401
R000032516	195 COLLINS	KOHO JENNY BARRETT	195 COLLINS	STEPHENVILLE	TX	76401
R000029630	205 COLLINS	MEDRANO AMPARO AVALOS	608 E LONG	STEPHENVILLE	TX	76401
R000040206	211 E COLLINS	MEDRANO AMPARO AVALOS	608 E LONG	STEPHENVILLE	TX	76401
R000032528	739 MILLER	NAVARRO JOSE JUIS, RAUL, & MARIA TERESA VILLAREAL	739 N MILLER ST	STEPHENVILLE	TX	76401
R000032526	731 MILLER	VILLAREAL RAUL NAVARRO	739 N MILLER ST	STEPHENVILLE	TX	76401
R000032527	733 MILLER	VILLAREAL RAUL NAVARRO	739 N MILLER ST	STEPHENVILLE	TX	76401

Document No. 2022-02746

DEED

Parties: AYRES SUSAN  
to  
PRESCHER CUSTOM HOMES LLC

FILED AND RECORDED  
REAL RECORDS  
On: 04/20/2022 at 11:02 AM

Document Number: 2022-02746  
Receipt No. 113471  
Amount: \$34.00

By: Imorales  
Gwinda Jones, County Clerk  
Erath County, Texas

4 Pages



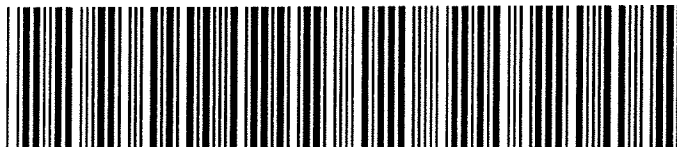
STATE OF TEXAS  
County of Erath

I hereby certify that this instrument was filed on the date and time stamped hereon by me and was duly recorded under the Document Number stamped hereon of the Official Public Records of Erath County.

Gwinda Jones, County Clerk

A handwritten signature in cursive script that reads "Gwinda Jones".

Record and Return To:  
TRULY TITLE INC  
101 NW ELLISON  
SUITE 10  
BURLESON , TX 76028



Truly Title GF # 22004125-30

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

General Warranty Deed

Executed this 18 day of April, 2022

Grantor: Susan Ayres and Gilbert Ayers

Grantor's Mailing Address: 942 Diana Lane, Stephenville, TX 76401

Grantee: Prescher Custom Homes, LLC

Grantee's Mailing Address: 10049 Eldorado Drive, Burleson, TX 76028

Consideration: Ten Dollars (\$10.00) and other good and valuable consideration the receipt and sufficiency of which is hereby acknowledged.

Property (including any improvements):

ATTACHED AS "EXHIBIT A"

Reservations from Conveyance: None.

Exceptions to Conveyance and Warranty: Liens described as part of the Consideration and any other liens described in this deed as being either assumed or subject to which title is taken; validly existing easements, rights-of-way, and prescriptive rights, whether of record or not; all presently recorded and validly existing instruments, other than conveyances of the surface fee estate, that affect the Property; and taxes for 2022 and subsequent years, which Grantee assumes and agrees to pay.

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's heirs, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

When the context requires, singular nouns and pronouns include the plural.

Susan Ayres  
Susan Ayres

Gilbert Ayers  
Gilbert Ayers

STATE OF TEXAS

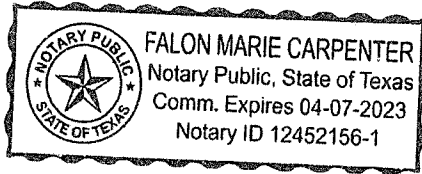
COUNTY OF Johnson

This instrument was acknowledged before me on April 18, 2022, by Susan Ayres and Gilbert Ayers.

(Notary Seal)

Falón Marie Carpenter

Notary Public, State of Texas



After recording return to:  
Prescher Custom Homes, LLC  
10049 Eldorado Drive  
Burleson TX 76028

## EXHIBIT A

Being the same tract or parcel of land situated in the City of Stephenville, Erath County, Texas and being all of Lot 2, and a part of Lot 3, Block 2. Miller Addition in the City of Stephenville, Erath County, Texas, according to Kings 1956 Map of the City as adopted by ordinance and recorded in Volume 381, Page 105, Deed Records, Erath County, Texas;

Beginning at a 1/2" iron rod found for corner in the northeast line of N. Miller Avenue, being the southwest corner of said Lot 2 and the northwest corner of Lot 1 of said addition;

Thence North  $31^{\circ} 23' 31''$  West with the northeast line of said N. Miller Avenue and the southwest line of said Lot 2, Block 2 passing the northwest corner of said Lot 2 and the southwest corner of said Lot 3 at 50.00 feet continuing in all a distance of 76.73 feet to a 3/8" iron rod found for corner in the northeast line of said N. Miller Avenue and the southwest line of said Lot 3, Block 2, being the northwest corner of this tract;

Thence North  $59^{\circ} 20' 37''$  East a distance of 100.00 feet to a chain link fence post found for corner in the northeast line of said Lot 3, Block 2, being the northeast corner of this tract;

Thence South  $31^{\circ} 46' 39''$  East with the northeast line of said Lot 3, Block 2, passing the northeast corner of said Lot 2 and the southeast corner of said Lot 3 at 27.09 feet continuing in all a distance of 77.09 feet to a 1/2" iron rod found for corner in the northeast line of said Block 2, being the northwest corner of said Lot 1 and the southeast corner of said Lot 2;

Thence South  $59^{\circ} 32' 46''$  West with the common line between said Lot 1 and said Lot 2 and a wood fence a distance of 100.52 feet to the Point of Beginning containing 7,711 square feet, more or less as surveyed on the ground April 13, 2022 by Tucker Surveyors.





# STAFF REPORT

**SUBJECT:** Case No.: PD2022-001

Consideration of the development plan and rezoning from Single Family Residential District (R-1) to Planned Development District (PD) for 1300 Pecan Hill Drive, Parcel R50244, 1.190 Acres S5465 Glasgow Addition, Lot 1, of the City of Stephenville, Erath County, Texas.

**DEPARTMENT:** Development Services

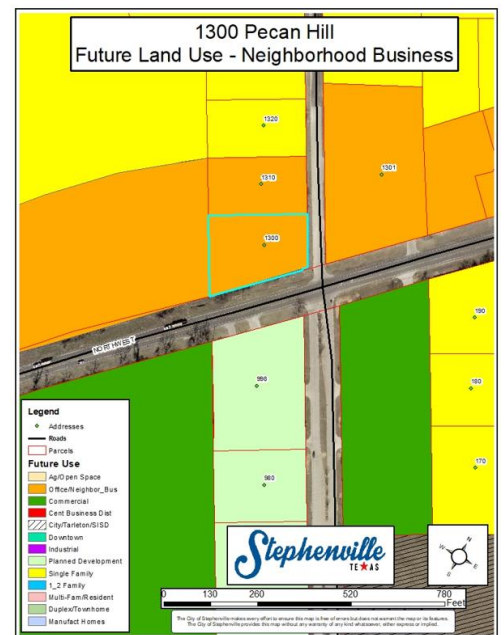
**STAFF CONTACT:** Steve Killen, Director of Development Services

**RECOMMENDATION:**

A conceptual plan for the proposed Planned Development District was presented at the April, 2022 meeting. The applicant is now requesting approval of rezone and the development plan. The applicant has met all requirements of a Planned Development.

**BACKGROUND:**

**PROPERTY PROFILE:**



**STAFF NOTES:**

1. The PD is requested in lieu of Future Land Use designation of B-1, Neighborhood Business District, in order to ensure the property will be limited to office space use.
2. The Planned Development meets the zoning requirements of the B-1 future land use designation with exception to:  
 Right of Way Dedication: Pecan Hill is a collector requiring a 70' ROW. A minor waiver application is pending.

**B-1, Neighborhood Business District - Height, Area, Yard and Lot Coverage Requirements.**

- (1) Maximum density: There is no maximum density requirement.
- (2) Minimum lot area: There is no minimum area requirement.
- (3) Minimum lot width: There is no minimum width requirement.
- (4) Minimum lot depth: There is no minimum depth requirement.
- (5) Minimum depth of front setback: 25 feet.
- (6) Minimum depth of rear setback: There is no minimum rear setback requirement unless the lot abuts upon a Residential District, then a minimum 25 feet is required.
- (7) Minimum width of side setback:
  - (a) Internal lot: There is no minimum side setback requirement unless the lot abuts upon a Residential District, then a minimum 25 feet is required.
  - (b) Corner lot: 25 feet
- (8) Building size: There are no minimum size regulations
- (9) Maximum height of structures: 35 feet.
- (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.

Height, Area, Yard and Lot Coverage Requirements



Note: No rear or side yard except when the lot abuts upon a Residential District, then the minimum setback is 25 feet.

**6.1.EMiscellaneous Provisions.** Wherever a Neighborhood Business District adjoins a residential district and is not separated by a street, a six-foot or taller solid sight-barring fence or landscape barrier will be constructed and

maintained along the boundary or property line as permanent screening. All outside lighting features will be placed and reflected so as to not create annoyances, nuisances or hazards.

**6.1.F Type of Construction.** No longer applicable by Statute.

**6.1.G Parking Regulations.** One space every 200 square feet.

**6.1.H Sign Regulation.** See Section 12 for Sign Regulations.

**6.1.I Exceptions to Use, Height and Area Regulations.** See Section 10.

**6.1.J Garbage Regulations.** Neighborhood Business District businesses will provide a serviceable area specifically for refuse collection designed for refuse canisters. Each designated canister area will be nine feet wide and eight feet deep (72 square feet), with a cement slab base. If the location of the cement slab is adjacent to a residential district, the slab must be at least five feet from the property line. The refuse area will be enclosed on three sides by a privacy fence. Approach areas will meet the requirements of Subsection 6.1.K.

**6.1.K Loading and Unloading Regulations.** All loading, unloading and maneuvering of vehicles connected with the activity must be on the premises and will not be permitted in any street. Loading and unloading areas must be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced.

## **Sec. 154.08. Planned development district (PD).**

### **8.A Description.**

- (1) Planned development districts are designed for greater flexibility and discretion in the application of residential and non-residential zoning and for increased compatibility and the more effective mitigation of potentially adverse impacts on adjacent land than in possible under standard district regulations. It is recognized that it is desirable for certain areas of the city to be developed in accordance with development plans prepared and approved as a part of the ordinance authorizing the zoning necessary for the proposed development.
- (2) Improvements in a "PD" District are subject to conformance with a development plan approved by the City Council on Planning and Zoning Commission recommendation and after public hearing thereon. No development plan may increase gross density in excess of that allowed by the base district.

**8.B Permitted Uses.** In a PD Development District, no land shall be used and no building shall be installed, erected for/or converted to any use other than a hereinafter provided.

*NON-RESIDENTIAL PLANNED DEVELOPMENTS.* Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Non-residential uses are situated such that an appreciable amount of land is available for open space or joint use as parking space and is integrated throughout the planned development;
- (3) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (4) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional non-residential projects; and
- (5) The project provides a compatible transition between adjacent existing single-family residential projects and provides a compatible transition for the extension of future single-family projects into adjacent undeveloped areas.

*RESIDENTIAL PLANNED DEVELOPMENT.* Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Dwelling units are situated such that an appreciable amount of land for open space is available and is integrated throughout the planned development;
- (3) The project utilizes an innovative approach in lot configuration and mixture of single-family housing types;
- (4) Higher densities than conventional single-family projects of the same acreage is achievable with appropriate buffering between existing conventional single-family developments and increased open space;
- (5) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (6) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional single-family projects; and
- (7) The project provides a compatible transition between adjacent existing conventional single-family residential projects and provides a compatible transition for the extension of future conventional single-family projects into adjacent undeveloped areas.

#### 8.C Prohibited Uses.

- (1) Any building erected or land used for other than the use shown on the Planned Development Site Plan, as approved by the City Council.
- (2) Any use of property that does not meet the required minimum lot size; front, side and rear yard dimensions; and/or lot width, or exceeds the maximum height, building coverage or density per gross acreage as shown in the development's recorded Planned Development Site Plan, as approved by City Council.
- (3) Any use deemed by the City Council as being detrimental to the health, safety or general welfare of the citizens of Stephenville.

**8.D Ownership.** An application for approval of a Planned Development Plan under the Planned Development District regulations may be filed by a person having legal ownership of the property to be included in the Development Plan. In order to ensure unified planning and development of the property, the applicant shall provide evidence, in form satisfactory to the City Attorney, prior to final approval of the Development Plan, that the property is held in single ownership or is under single control. Land shall be deemed to be held in single ownership or under single control if it is in joint tenancy, tenancy in common, a partnership, a trust or a joint venture. The Development Plan shall be filed in the name(s) of the record owner(s) of the property, which shall be included in the application. CITY ATTORNEY ACCEPTED PROOF OF OWNERSHIP.

#### 8.E Development Schedule.

- (1) An application for a Planned Development District shall be accompanied by a development schedule indicating the approximate date on which construction is expected to begin and the rate of anticipated development to completion. The development schedule, adopted and approved by the City Council, shall become part of the Planned Development Ordinance and shall be adhered to by the owner, developer and their assigns of successors in interest. INCLUDED WITH SUBMITTAL.
- (2) Annually, upon the anniversary date, or more frequently if required, the developer shall provide a written report to the Planning and Zoning Commission concerning the actual development accomplished as compared with the development schedule.
- (3) The Planning and Zoning Commission may, if in its opinion the owner or owners of the property are failing or have failed to meet the approved development schedule, initiate proceedings to amend the Official Zoning map or the Planned Development District by removing all or part of the Planned

Development District from the Official Zoning Map and placing the area involved in another appropriate zoning district. After the recommendation of the Planning and Zoning commission and for good cause shown by the owner and developer, the City Council may extend the development schedule as may be indicated by the facts and conditions of the case.

**8.F Plat Requirements.** No application for a building permit for the construction of a building or structure shall be approved unless a plat, meeting all requirements of the City of Stephenville has been approved by the City Council and recorded in the official records of Erath County.

**8.G Concept Plan.** The applicant for any PD Planned Development shall submit a concept plan to the Planning and Zoning Commission for review prior to submitting a Development Plan. The concept plan shall contain appropriate information to describe the general land use configuration, proposed densities or lot sizes, proposed amenities and proposed regulation.

**8.H Development Plan Approval Required.** No building permit or certificate of occupancy shall be issued and no use of land, buildings or structures shall be made in the "PD" District until the same has been approved as part of a development plan in compliance with the procedures, terms and conditions of this section of the ordinance.

**8.I Approval Procedures.**

- (1) An application for development plan approval shall be filed with the Director of Community Development accompanied by a development plan.
- (2) The procedures for hearing a request for a zoning change to "PD" shall be the same as for a requested change to any other district as set forth Section 20 of the Zoning Ordinance.
- (3) Any substantive revision to a development plan between the public hearing before the Planning and Zoning Commission and the public hearing before the City Council shall necessitate the development plan being referred back to the Planning and Zoning Commission for review and evaluation unless the revision constitutes a minor change as provided below, or the change was condition of the approval.
- (4) Any revisions to the development plan after the public hearing before the City Council shall be submitted to the Director of Community Development for distribution, review and written evaluation by city staff prior to submission to and approved by the City Council.
- (5) Minor changes to an approved development plan, which will not cause any of the following circumstances to occur, may be authorized by the Director of Community Development or his or her designee:
  - (a) A change in the character of the development;
  - (b) An increase in the gross floor areas in structures;
  - (c) An increase in the intensity of use;
  - (d) A reduction in the originally approved separations between buildings;
  - (e) Any adverse changes in traffic circulation, safety, drainage and utilities;
  - (f) Any adverse changes in such external effects on adjacent property as noise, heat, light, glare, vibration, height scale or proximity;
  - (g) A reduction in the originally approved setbacks from property lines;
  - (h) An increase in ground coverage by structures;
  - (i) A reduction in the ratio of off-street parking and loading space; and
  - (j) A change in the size, height, lighting or orientation of originally approved signs.

- (6) The decision of the Director of Community Development or his or her designee as to whether minor changes are being requested may be appealed to the Planning and Zoning Commission. Any change deemed not to be minor change, as indicated above, shall be processed as a new application in accordance with the provisions of this section and Section 20.1 of the Zoning Ordinance.

**8.J Development Plan Requirements.** The development plan submitted in support of a request for development plan approval shall contain sufficient information delineating the characteristics of the site, changes in those characteristics as may be proposed by the development, how the development will relate to public services and facilities and what protection features are included to insure that the development will be compatible with existing and allowable development on adjacent property. The development plan shall show at least the following items of information:

- (1) The location of all existing and planned non-single-family structures on the subject property; [SITE PLAN PROVIDED.](#)
- (2) Landscaping lighting and/or fencing and/or screening of common areas; [LIGHTING PLAN PROVIDED.](#)
- (3) General locations of existing tree clusters, providing average size and number and indication of species; [LANDSCAPE PLAN PROVIDED.](#)
- (4) Location and detail of perimeter fencing if applicable; [NOT APPLICABLE.](#)
- (5) General description/location of ingress and egress with description of special pavement treatment if proposed; [SITE PLAN DEFINED.](#)
- (6) Off-street parking and loading facilities, and calculations showing how the quantities were obtained for all non single-family purposes; [ADEQUATE PARKING AND LOADING SPACE PROVIDED WITH 34 SPACES. NO OFF-STREET PARKING OR LOADING WILL OCCUR.](#)
- (7) Height of all non-single-family structures; [LESS THAN 35', ESTIMATED AT 21 FEET.](#)
- (8) Proposed uses; [OFFICE SPACE.](#)
- (9) Location and description of subdivision signage and landscaping at entrance areas; [MONUMENT SIGN AT INGRESS POINT.](#)
- (10) Street names on proposed streets; [NOT APPLICABLE.](#)
- (11) Proposed minimum area regulations including, set-backs, lot-sizes, widths, depths, side-yards, square footage or residential structures; [SITE PLAN DEFINED. REGULATIONS MET.](#)
- (12) Indication of all development phasing and platting limits; and [NOT PHASED.](#)
- (13) Such additional terms and conditions, including design standards, as the Planning and Zoning Commission and the City Council deem necessary.

**8.K Conditions for Development Plan Approval.**

- (1) A development plan shall be approved only if all of the following conditions have been found during the review and process:
  - (a) That the uses will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values with the immediate vicinity;
  - (b) That the establishment of the use or uses will not impede the normal and orderly development and improvements of surrounding vacant property;
  - (c) That adequate utilities, access roads, drainage and other necessary supporting facilities have been or will be provided;
  - (d) That the design, location and arrangement of all driveways and parking spaces provides for the safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;

- (e) That adequate nuisance prevention measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration;
  - (f) That directional lighting will be provided so as not to disturb or adversely affect neighboring properties.
- (2) In approving a development plan, the City Council may impose additional conditions necessary to protect the public interest and welfare of the community.

**8.L Additional Conditions.** Every Planned Development District approved under the provisions of this Ordinance shall be considered as an amendment to the Ordinance as applicable to the property involved. In an approved Planned Development District, the City Council may impose conditions relative to the standard of development, and such conditions shall be complied with before a certificate of occupancy is issued for the use of the land or any structure which is part of the Planned Development District; and such condition shall not be construed as conditions precedent to the approval of the zoning amendment, but shall be constructed as conditions precedent to the granting of a certificate of occupancy.

**8.M Revocation.**

- (1) Approval of a development plan may be revoked or modified, after notice and hearing, for either of the following reasons:
  - (a) Approval was obtained or extended by fraud or deception; or
  - (b) That one or more of the conditions imposed by the City Council on the development plan has not been met or has been violated.
- (2) Development controls:
  - (a) The City Council may impose more restrictive requirements than those proposed in the development plan in order to minimize incompatibilities;
  - (b) A "PD" District shall have a minimum lot area of not less than one acre under unified control;
  - (c) The parking requirements of the Zoning Ordinance shall apply to all uses in the "PD" District unless otherwise specified on the development plan; and
  - (d) "PD" provisions may vary setbacks with approval.

**FACTORS TO CONSIDER:**

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve

**ALTERNATIVES:**

- 1) Recommend approval of the rezone and planned development.
- 2) Recommend denial of the rezone and planned development.

# 1300 Pecan Hill 200 ft Buffer

Item 5.



## Legend

- ◆ Addresses
- Roads
- 200 ft Buffer
- Parcels



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.



# 1300 Pecan Hill Current Zoning - R1- Single Family

Item 5.



**Legend**

- ◆ Addresses
- Roads
- ▭ Parcels

**ZONING**

- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tareyton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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# 1300 Pecan Hill Future Land Use - Neighborhood Business

Item 5.



### Legend

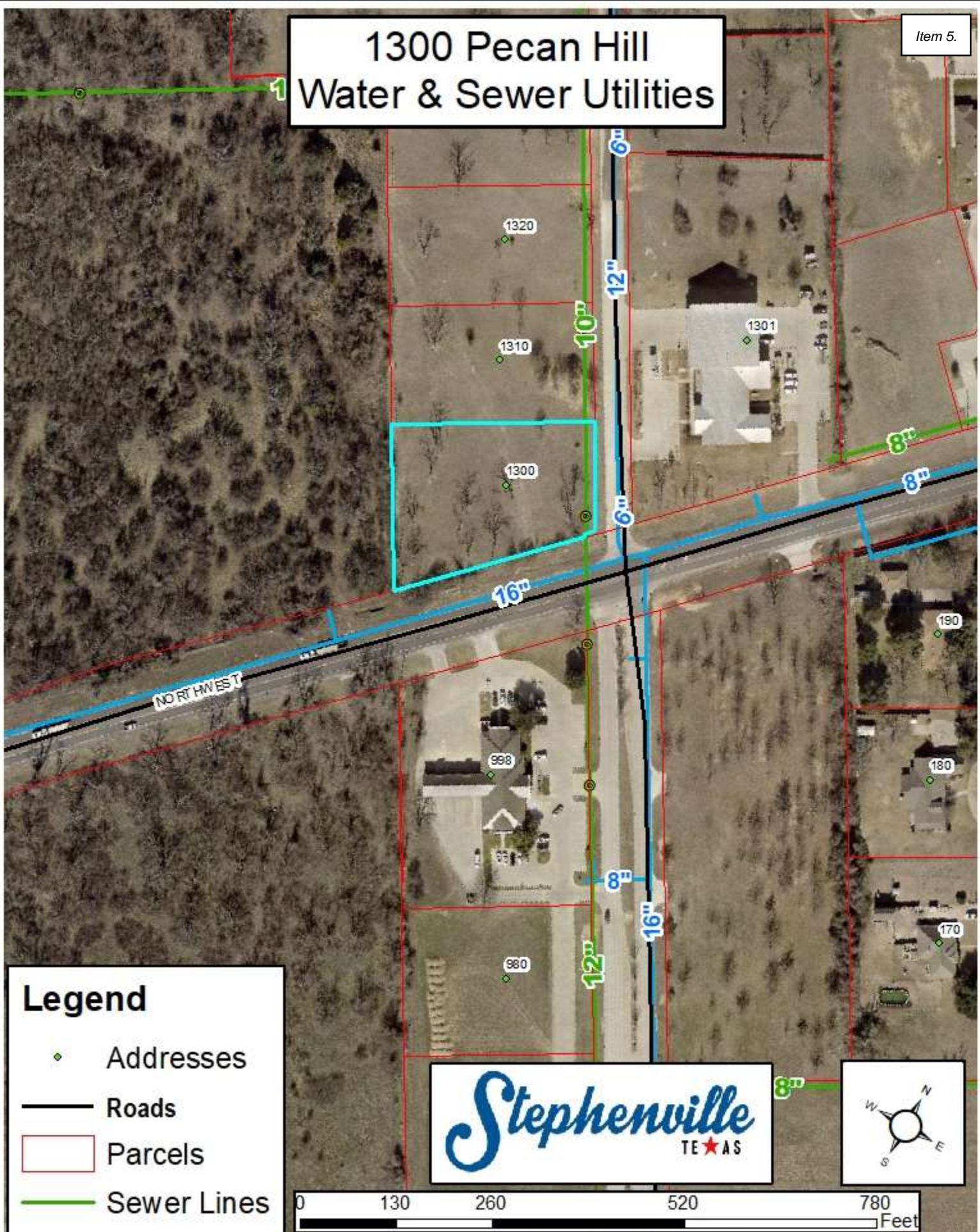
- ◆ Addresses
- Roads
- Parcels
- Future Use**
- Ag/Open Space
- Office/Neighbor\_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1\_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



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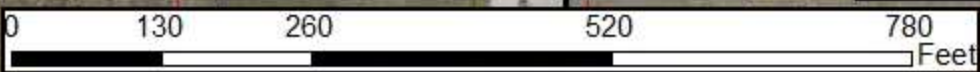
# 1300 Pecan Hill Water & Sewer Utilities

Item 5.



**Legend**

- ◆ Addresses
- Roads
- Parcels
- Sewer Lines
- Water Lines



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

# 1300 Pecan Hill Address List

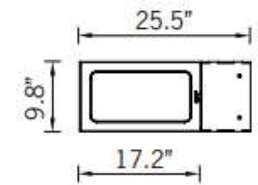
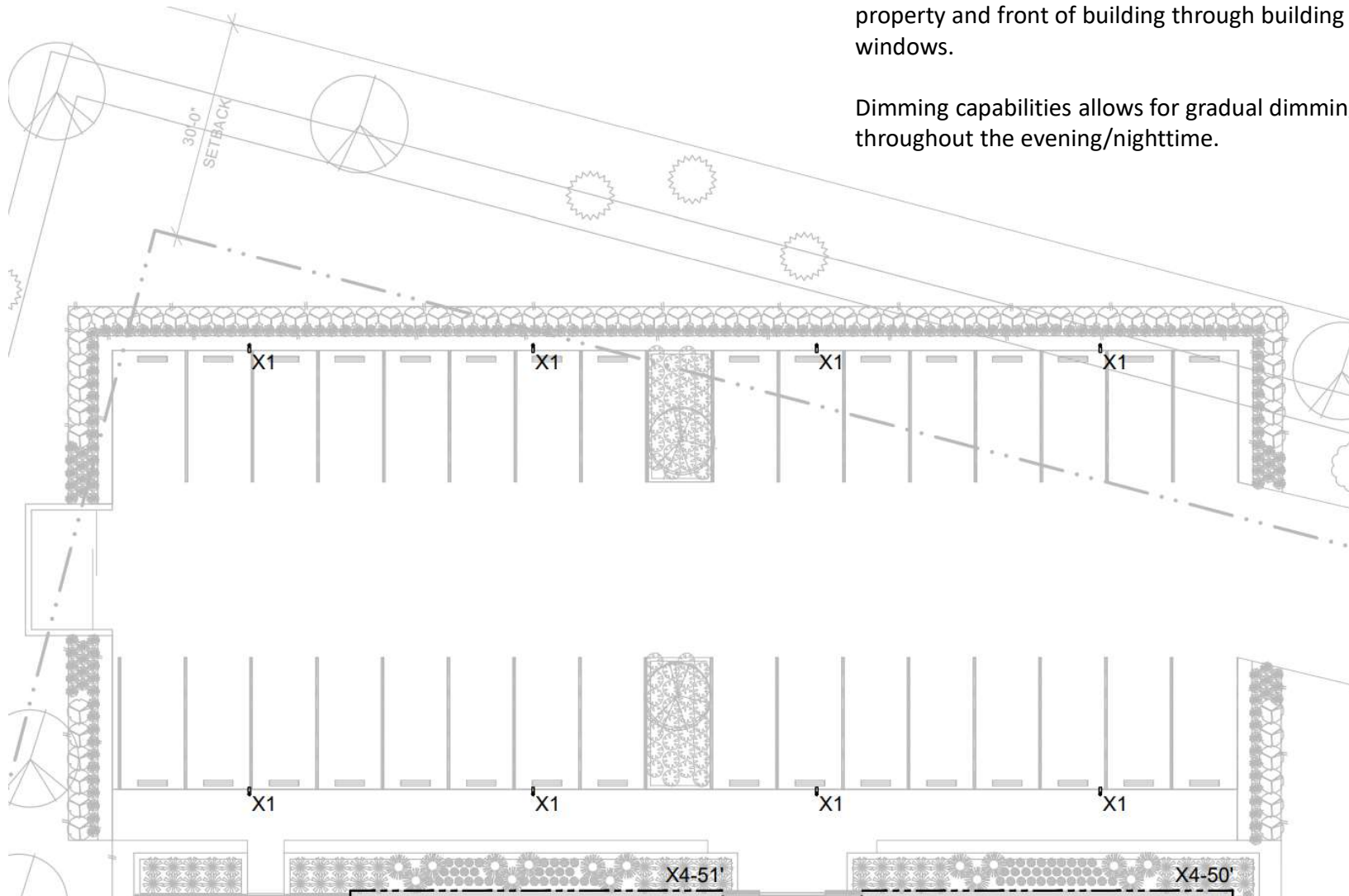
Item 5.

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000050244	1300 PECAN HILL DRIVE	2828 REAL ESTATE LLC	505 N GRAHAM	STEPHENVILLE	TX	76401
R000076924	1310 PECAN HILL DRIVE	2828 REAL ESTATE LLC	505 N GRAHAM	STEPHENVILLE	TX	76401
R000064345	991 WOLFE NURSERY RD	ALLEN REAL PROPERTIES LTD	PO BOX 953	STEPHENVILLE	TX	76401
R000073125	0 NORTHWEST LOOP	BACHUS JAMES O FAMILY TRUST	PO BOX 552	STEPHENVILLE	TX	76401-0552
R000064826	0 PECAN HILL DRIVE	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401
R000050276	1301 PECAN HILL DRIVE	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401
R000059541	0 WOLFE NURSEY RD & W FREY	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000060086	0 PECAN HILL DR	ERATH COUNTY	100 W WASHINGTON	STEPHENVILLE	TX	76401-0000
R000076925	1320 PECAN HILL DRIVE	HASCHKE JUSTIN & MIKAH TAYLOR	1313 PRAIRIE WIND BLVD	STEPHENVILLE	TX	76401-5910
R000022438	0 NORTHWEST LOOP	SLADE CAPITAL LLC	530 W 30TH ST 16C	NEW YORK	NY	10001
R000066704	998 WOLFE NURSERY RD	TEXAS BANK	PO BOX 1429	BROWNWOOD	TX	76804

# PARKING

Contemporary 20' linear poles and rectilinear post top reference linear elements from the building. Housing side shield added to block lighting from trespassing onto residential property and front of building through building windows.

Dimming capabilities allows for gradual dimming throughout the evening/nighttime.

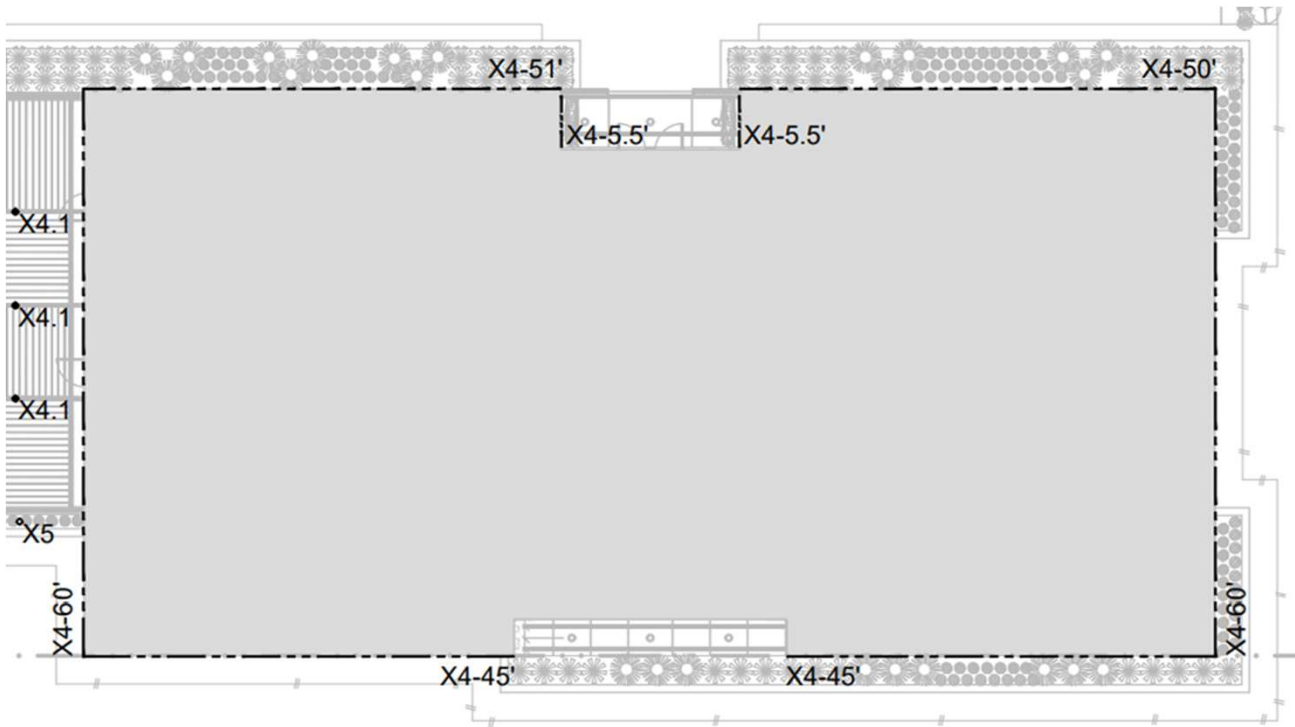


## BUILDING FAÇADE

### Option 1 – Linear wall grazers

Building façade features Type X4 wall grazer illuminating down the vertical wood elements and complies with Dark Sky requirements.

Throughout the course of the evening to nighttime, the lighting around the perimeter of the building will dim down gradually to the minimum while illuminating the sidewalks, planters, and ground plane.



Item 5.

# BUILDING FAÇADE

Option 2 – Sconces Type X3.2 or Type X3.3 to trace top of facade

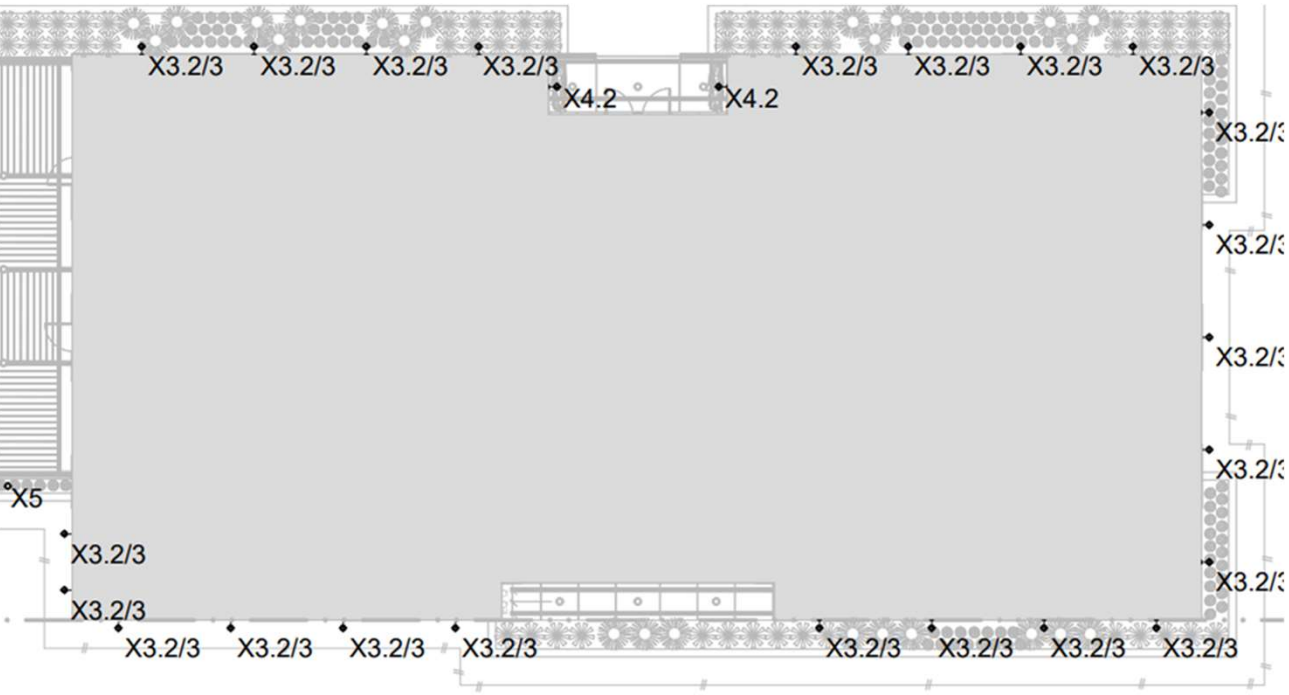
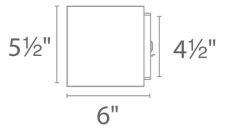
## Type X3.2:

We are not sure which aesthetic you wish for this. Shown here is a with an industrial shade and curved element in black finish. These illuminate down the vertical wood elements and are set at 12ft spacing. Dimming available and encouraged.



## Type X3.3:

Square sconce aesthetic relates to clean lines of the architecture, and more in keeping with the minimal style parking fixtures. Also, with respect to Dark sky requirements, sconces will illuminate downwards. Dimming available and encouraged.

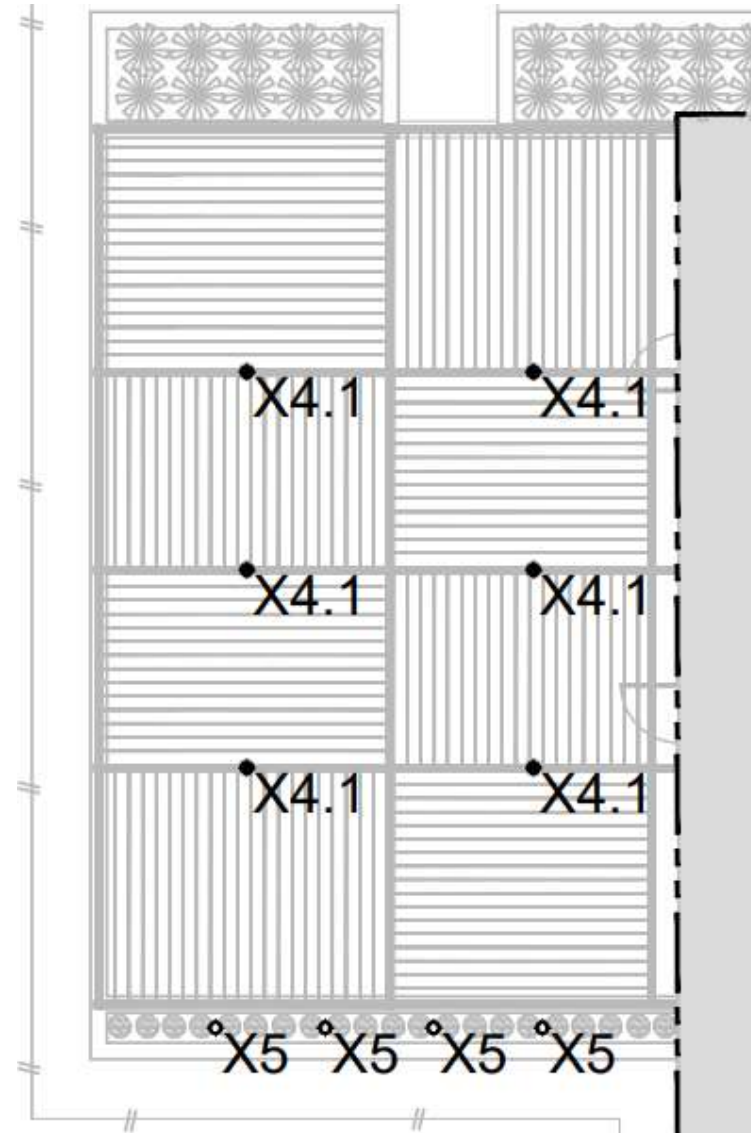
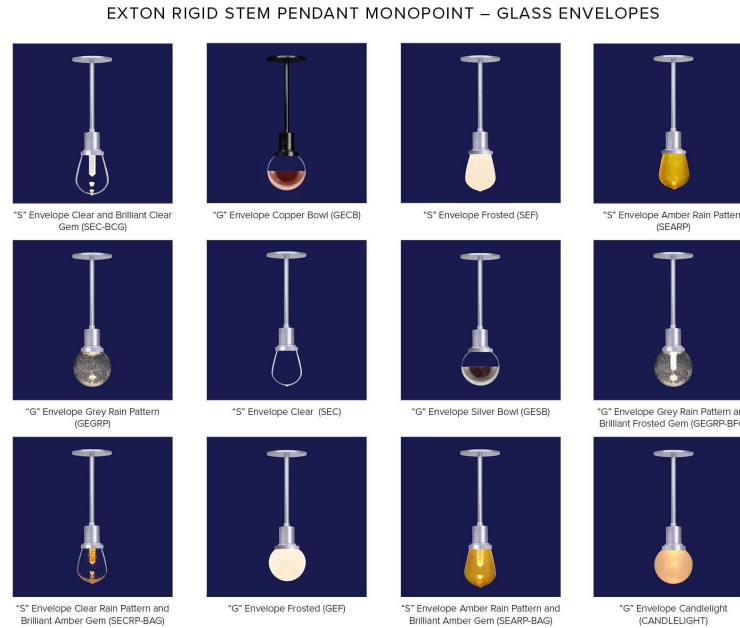
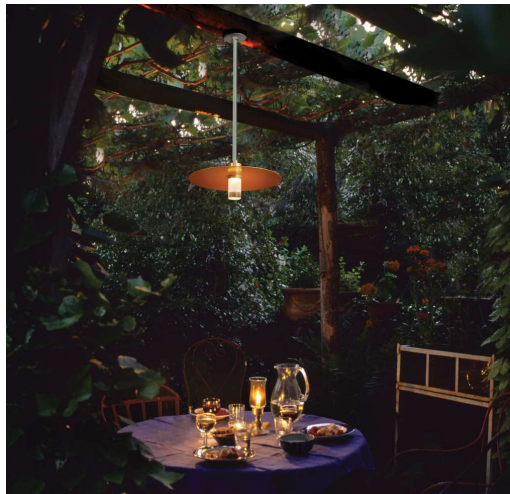


# PATIO

## Option 1 – Pendants – Type X4.1

In conjunction with building façade option 1, the patio features stem mounted pendant downlighting.

Tegan Lighting offers a variety of monopoint glass designs. If desired, upper disk is available to block light from spilling upward. Dimming available.

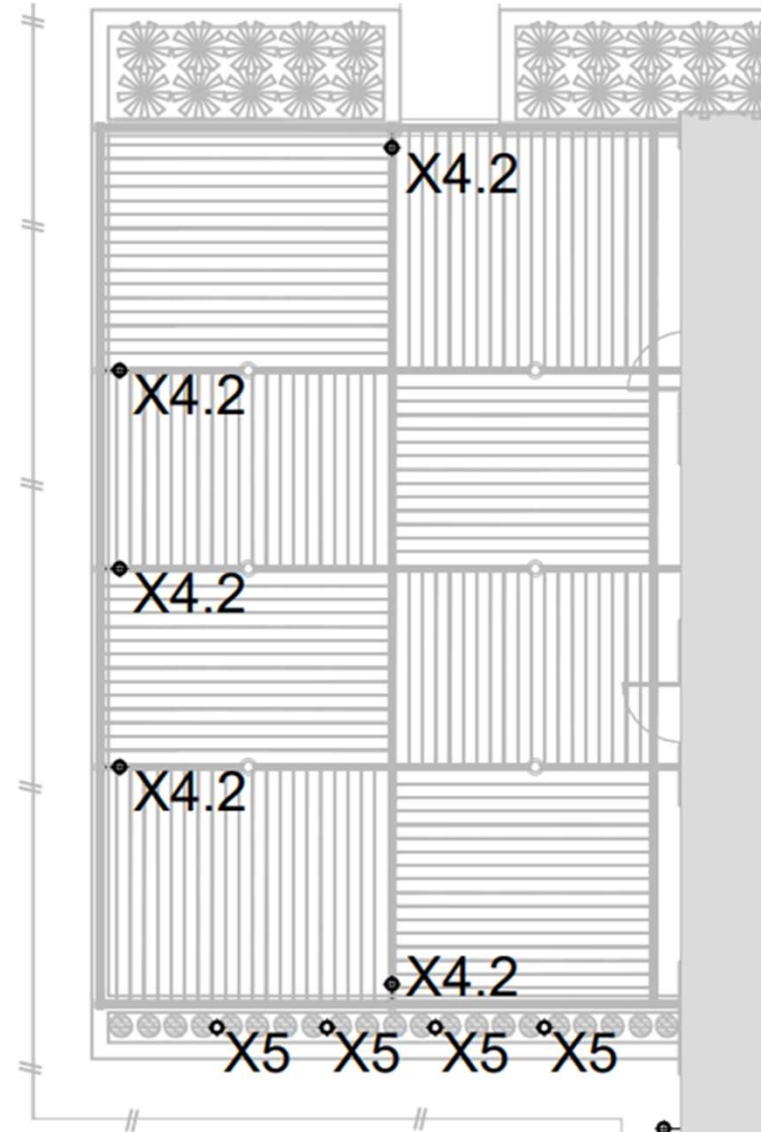
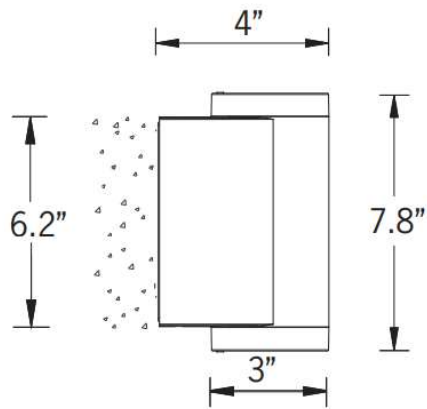




# PATIO

## Option 2 – Sconces – Type X4.2

In conjunction with building façade option 2, the patio can incorporate sconces mounted onto posts. These can be mounted at mid-post height with a small amount of uplight glow or up closer to the trellis shining down only. Various styles available.

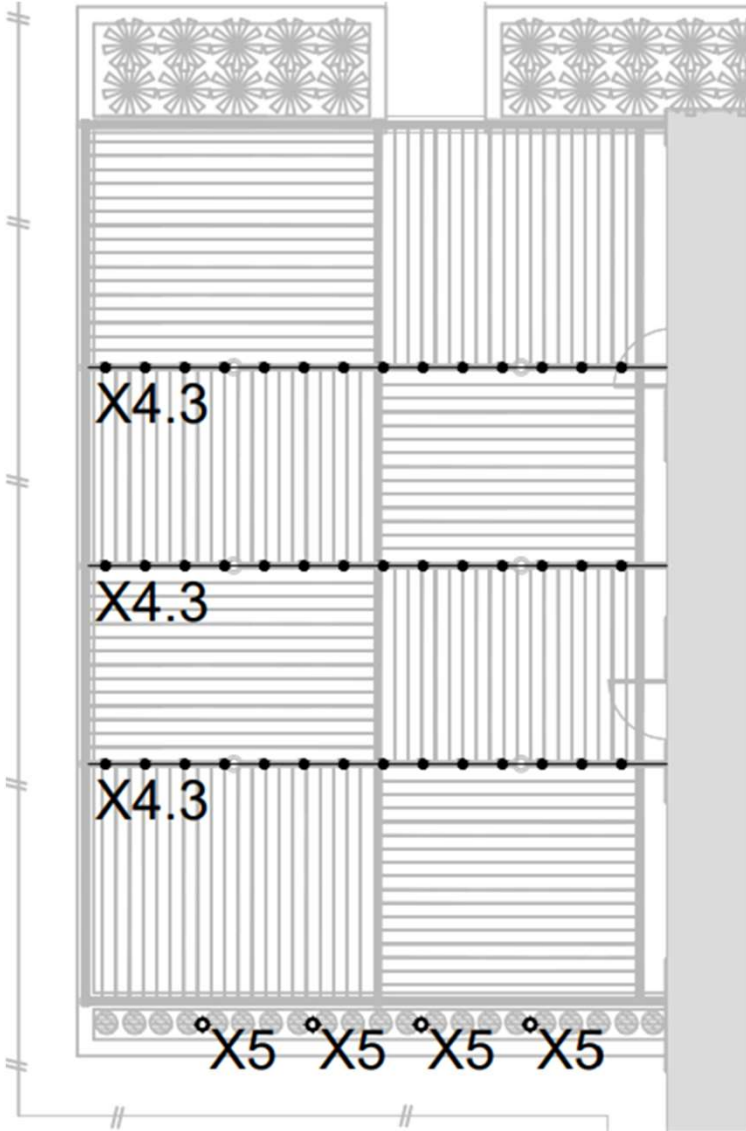


# PATIO

## Option 3 – Catenary System – Type X4.3

Patio features a Tegan catenary system running length of 30ft (x3) with fixtures spaced 2ft from each other. Fixture selection offers a festive aesthetic where occupants of the office come to relax and detach.

If desired, disk is available to block light from spilling upward.  
Dimming available and encouraged.



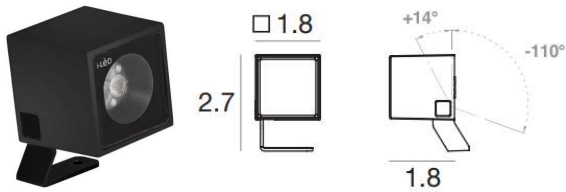
# ACCENT LIGHTING

Tree Lighting, Patio Planters, and Signage

## Type X2:

Very small tree mounted adjustable downlights on two trees on opposite ends of the building add interest points for people entering facility or just passing by.

1. North tree has 7 fixtures.
2. South tree has 5 fixtures.



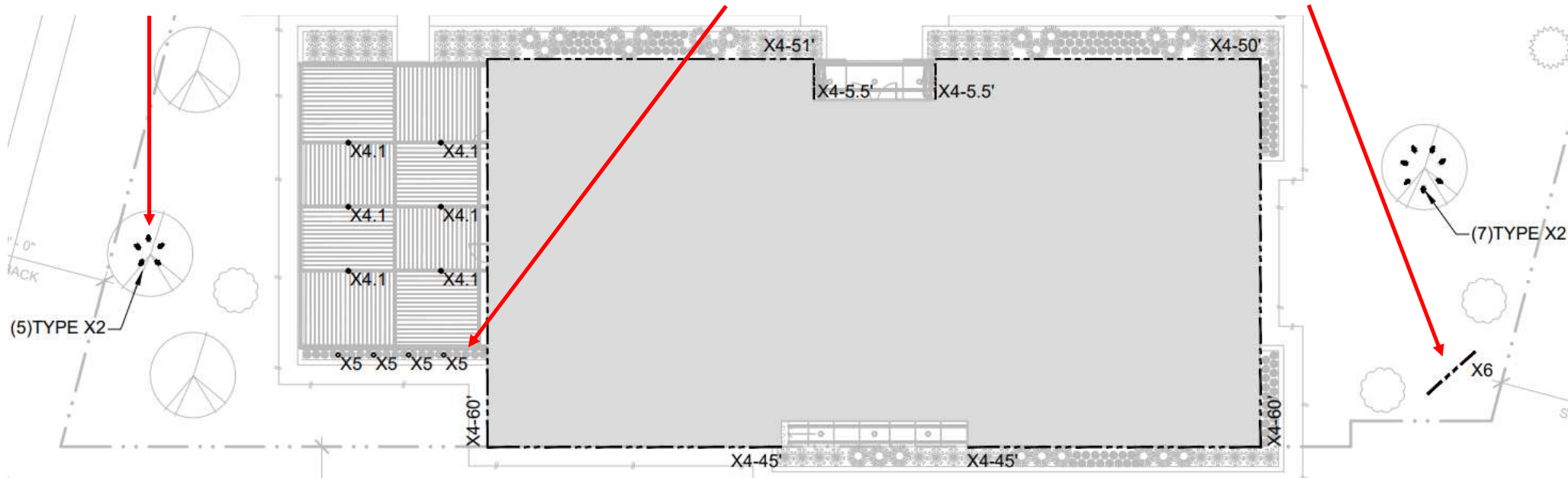
## Type X5:

Patio planters accent lighting



## Type X6:

Linear down grazing signage wall with dimming capabilities.



# STEPHENVILLE OFFICE

**FOR REGULATORY APPROVAL ONLY**





**FOR REGULATORY APPROVAL ONLY**

**MAIN ENTRY**



**FOR REGULATORY APPROVAL ONLY**

**MAIN ENTRY**



**FOR REGULATORY APPROVAL ONLY**

**STREET VIEW**



**FOR REGULATORY APPROVAL ONLY**

**CONFERENCE ROOM**







**FOR REGULATORY APPROVAL ONLY**

**WORKROOM**





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**ENTRY LOBBY**



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Design Team  
 Consultant Address Phone Fax e-mail  
 Consultant Address Phone Fax e-mail

CLIENT  
**NAME:** Justin Haschke  
**ADDRESS:** FM 988 NW & Pecan Hill Dr.

PROJECT  
**Stephenville Office**



ARCHITECT STAMP

**NOT FOR CONSTRUCTION**  
**FOR PD REGULATORY APPROVAL ONLY**

REVISIONS

No.	Description	Date

SHEET TITLE  
**COVER SHEET**

DWG INFO  
**PROJECT:** 2004  
**ISSUE DATE:** 05/13/2022  
**DRAWN BY:** SS  
**CHECKED BY:** SS

**SHEET G000**

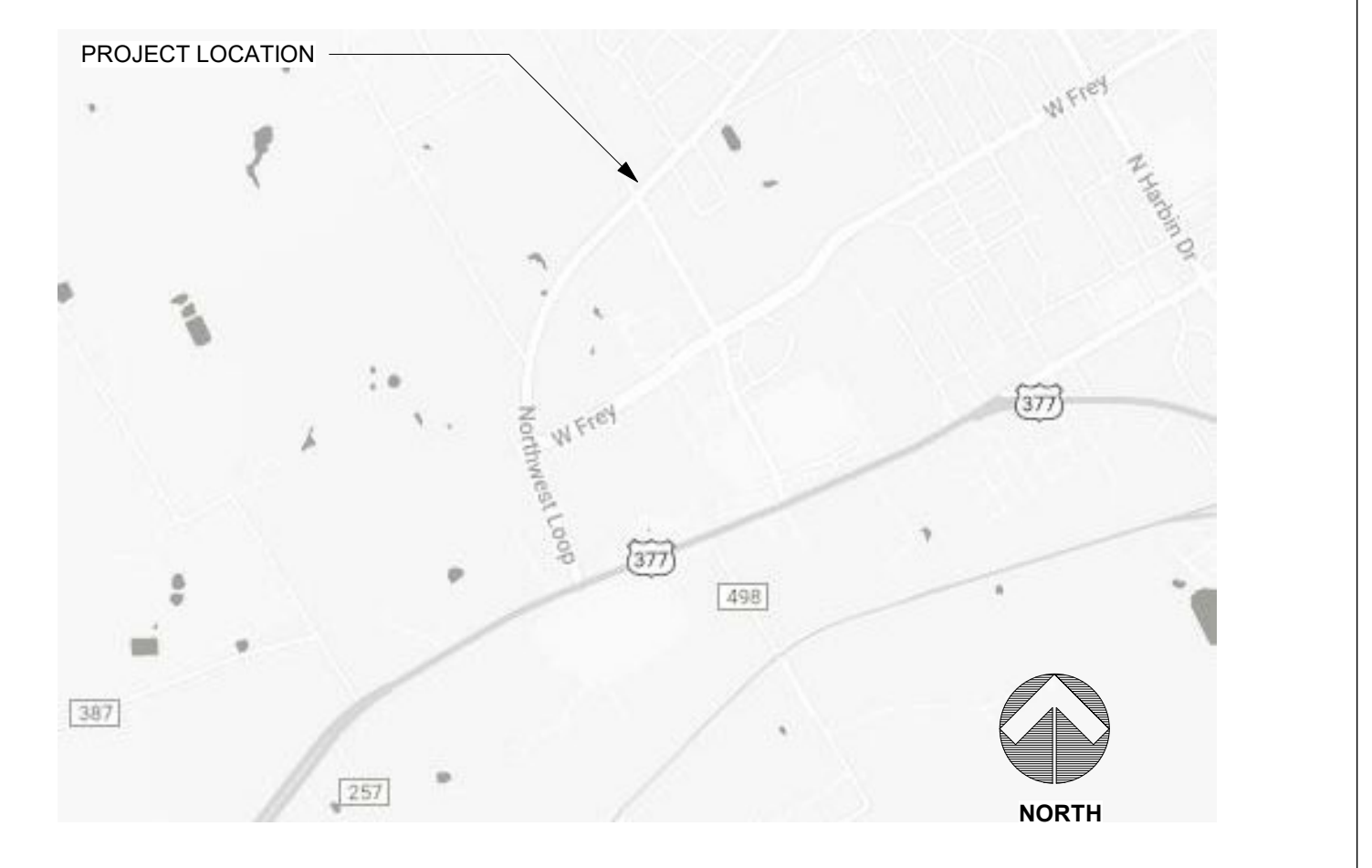
**PROJECT DESCRIPTION**

NEW CONSTRUCTION OF A SINGLE STORY OFFICE BUILDING THE BUILDING WILL NOT BE SPRINKLED.

**SHEET LIST**

SHEET LIST			
Sheet Discipline	Sheet Number	Sheet Name	Sheet Issue Date
00 GEN	G000	COVER SHEET	01/07/2022
01 CIVIL	EXH	ZONING EXHIBIT - SITE PLAN	01/07/22
02 ARCH	A001	DRAWING INFORMATION	01/07/2022
02 ARCH	A010	LIFE SAFETY PLAN	01/07/2022
02 ARCH	A100	SITE PLAN	01/07/2022
02 ARCH	A110	FLOOR PLAN	01/07/2022
02 ARCH	A115	REFLECTED CEILING PLAN	01/07/2022
02 ARCH	A120	ROOF PLAN	01/07/2022
02 ARCH	A200	ELEVATIONS	01/07/2022
02 ARCH	A300	BUILDING SECTIONS	01/07/2022
02 ARCH	A900	3D VIEWS	01/07/2022

**LOCATION PLAN** FM 988 & PECAN HILL DR.



**RENDERING**



**CODE INFORMATION**

CLIENT..... BMY WEALTH MANAGMENT  
 PROJECT ADDRESS..... FM 988 & PECAN HILL DR. STEPHENVILLE , TX 76401

**APPLICABLE CODES**  
 BUILDING CODE..... 2015 IBC  
 FIRE CODE..... 2015 IFC  
 MECHANICAL CODE..... 2015 IMC  
 PLUMBING CODE..... 2015 IPC  
 ELECTRICAL CODE..... 2014 NEC  
 ENERGY CODE..... 2018 IECC

**CODE ANALYSIS**  
 SINGLE STORY STUD FRAMED STRUCTURE. NON SPRINKLED W/ B (OFFICE) OCCUPANCY.  
 PROPOSED ZONING..... PD  
 TYPE OF CONSTRUCTION..... V-B  
 NUMBER OF STORIES..... 1  
 ALLOWABLE HEIGHT (S)..... 35'  
 OCCUPANCY GROUP..... B (OFFICE)  
 ALLOWABLE BUILDING AREA (NON-SPRINKLED)..... 9,000 SQFT

**GROSS BUILDING SQUARE FOOTAGE**  
 GROSS FLOOR AREA..... 6,800 SQFT

**EXIT CALCULATIONS**  
 PER IBC TABLE  
 CORRIDOR WIDTH REQUIRED 1005.3.2, 1020.2.....36" (M, B, S)

EXIT WIDTH REQUIRED 1010.1.....32" CLEAR  
 MINIMUM NUMBER OF EXITS (BUSINESS) ..... 2  
 (1006.2.1, 1006.3.2)

MAXIMUM COMMON PATH TRAVEL DISTANCE..... 75'  
 (1006.2.1)  
 MAXIMUM EXIT ACCESS TRAVEL DISTANCE..... 200'  
 (1017.2)

NO FIRE RATED INTERIOR PARTITIONS REQD.

**GENERAL NOTES**

- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE, ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL DRAWINGS OR SPECIFICATIONS, ADDENDUM, BULLETINS, OR OTHER DOCUMENT, SHALL BE AS BINDING AS IF REQUIRED BY ALL. CONTRACTOR SHALL USE ONLY COMPLETE SETS OF CONTRACT DOCUMENTS FOR EACH AND EVERY ITEM OF WORK.
- CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODE, ORDINANCE, A.D.A., T.A.S AND REGULATIONS OF ALL GOVERNING BODIES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES AND STANDARD SPECIFICATIONS OF ALL AGENCIES THAT HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS PER THESE PLANS AND SPECIFICATIONS IN THIS LOCALITY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT. OWNER WILL PAY FOR BUILDING PERMIT.
- WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY AND COORDINATE HIS WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR AND ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
- ALL TRAFFIC CONTROLS ON THIS PROJECT SHALL ADHERE TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE OWNER SHALL NOT BE LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE CONSENT OF THE OWNER OF THE OTHER PROPERTY.
- THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION PROPERLY AND PROVIDE ALL SUITABLE FILL MATERIAL AS APPROVED BY THE SOILS ENGINEER, AND THE COST SHALL BE INCLUDED IN THE PRICE BID FOR THE RELATED ITEMS.
- EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND/OR STATE REQUIREMENTS. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT, OR DEBRIS ONTO PUBLIC OR ADJACENT PROPERTY. ANY MUD OR DEBRIS ON PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY.
- ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS AND IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND THAT THE CONTRACTOR SHALL REPLACE OR REPAIR ANY WORK OR MATERIAL FOUND TO BE DEFECTIVE.
- CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE IS USING ARE THE VERY LATEST PLANS AND SPECIFICATIONS.
- SHOULD THE CONTRACTOR ENCOUNTER CONFLICTS BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT ISSUING AGENCIES, HE SHALL SEEK CLARIFICATION IN WRITING FROM THE ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURE AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAK OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED, IF EXISTING UTILITY CONSTRUCTION CONFLICTS WITH REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS EXCEPT THAT THE SPECIFICATIONS, WHERE MORE STRINGENT, SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TAPS, EXTENSIONS, WATER AND ELECTRICITY FOR ALL PROJECT FUNCTIONS, OFFICE, STORAGE, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN TELEPHONE, FAX MACHINE, TOILET, VALVES, OR OTHER DEVICES NECESSARY TO RUN POWER TOOLS AND EQUIPMENT. SUCH MODIFICATIONS TO EXISTING UTILITIES SHALL BE REMOVED AT COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT IN A TIMELY MANNER THAT WILL ALLOW NOT LESS THAN TEN DAYS FOR REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT CORRECT NUMBER REQUIRED, BUT NOT LESS THAN FOUR COPIES.
- THE GENERAL CONTRACTOR SHALL PROVIDE STREET NUMBERING ON THE BUILDING IN COMPLIANCE WITH LOCAL AUTHORITY.
- ALL PENETRATIONS THRU WALLS SHALL BE SEALED AIR/WATER TIGHT AND CAULKED WITH TWO PART SEALANT EACH SIDE.
- THE GENERAL CONTRACTOR SHALL PROVIDE ONE COPY OF AS-BUILT DRAWINGS TO THE OWNER AT THE COMPLETION OF THE PROJECT. AS-BUILT DRAWINGS SHALL BE KEPT ON THE JOB AT ALL TIMES AND UPDATED THROUGHOUT THE CONSTRUCTION PHASE.
- UNLESS NOTED OTHERWISE, SITE PLAN DIMENSIONS, ARE TO FACE OF CURB. FLOOR PLAN DIMENSIONS ARE TO FACE OF STUDS, FRAMING, MASONRY, CONCRETE WALL PANELS, OR FOUNDATION WALLS.
- SPECIAL INSPECTIONS NOTE:  
 AT THE COMPLETION OF CONSTRUCTION, A FINAL REPORT OF REQUIRED SPECIAL INSPECTIONS PREPARED BY THE REGISTERED DESIGN PROFESSION IN RESPONSIBLE CHARGE THAT CONFIRMS THAT THE LISTED REQUIRED SPECIAL INSPECTIONS HAVE BEEN CONDUCTED AND COMPLETED WILL BE SUBMITTED TO THE BUILDING OFFICIAL, VIA THE OWNER. IT IS OUR UNDERSTANDING THAT A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED BY THE CITY OF SAN ANTONIO UNTIL THIS FINAL REPORT IS RECEIVED. REFER TO DOCUMENT LABELED "DETERMINATION OF REQUIRED SPECIAL INSPECTIONS" AS WELL AS STRUCTURAL SHEET OR REQUIRED INSPECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE DOCUMENTATION THAT ALL REQUIRED INSPECTIONS HAVE BEEN CONDUCTED AND ALL REPORTED NON-COMPLYING ITEMS HAVE BEEN RESOLVED.
- GOVERNING CODE AND FIRE DEPARTMENT, FIELD INSPECTORS SHALL DICTATE SIZE, TYPE, QUANTITY AND LOCATIONS OF BOTH TEMPORARY AND PERMANENT PORTABLE FIRE EXTINGUISHERS.
- ALL EXPOSED ELECTRICAL EQUIPMENT, CONDUITS, PLUMBING LINES, ETC. SHALL BE PAINTED W/ MIN (2) COATS OF PAINT TO MATCH ADJACENT SURFACES.
- KNOX BOX-LOCATE PER LOCAL FIRE DEPARTMENT REQUIREMENTS.

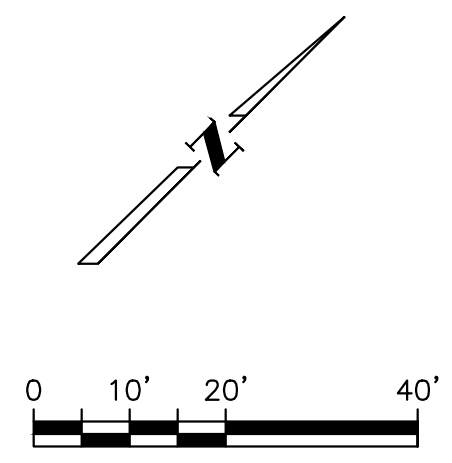
NOT AUTHORIZED FOR  
CONSTRUCTION PRIOR TO  
FORMAL CITY APPROVAL



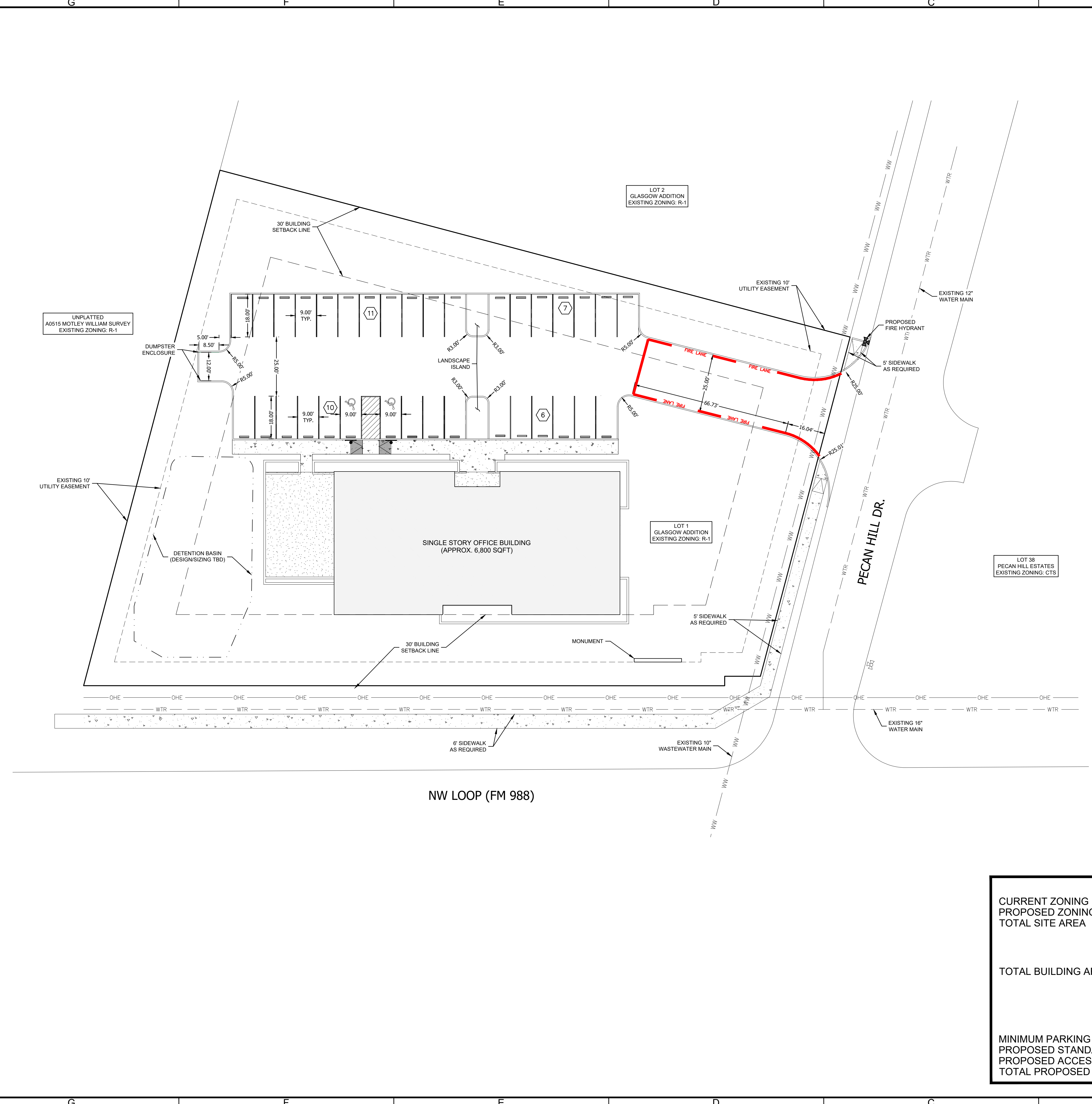
PROJECT:  
OFFICE  
PECAN HILL DR. & FM 988  
STEPHENVILLE, ERATH COUNTY, TEXAS 76401

ZONING EXHIBIT - SITE PLAN  
SHEET TITLE:  
SHEET  
EXH  
OF

PLAT NO. 69



- LEGEND**
- BOUNDARY / RIGHT OF WAY
  - - - EASEMENT
  - - - BUILDING SETBACK LINE
  - WW --- EXISTING WASTEWATER LINE
  - - - WTR --- EXISTING WATER LINE
  - - - OHE --- EXISTING OVERHEAD ELECTRIC LINE
  - PROPOSED SIDEWALK
  - PROPOSED FIRE LANE
  - ⊠ PARKING COUNT
  - ⊠ PROPOSED FIRE HYDRANT



SITE DATA TABLE	
CURRENT ZONING	R-1
PROPOSED ZONING	PD
TOTAL SITE AREA	51,820 SF / 1.18 AC
BUILDING DATA	
TOTAL BUILDING AREA	6,800 SF
PROVIDED PARKING	
MINIMUM PARKING (1 PARKING STALL PER EVERY 200 SQ FT)	34
PROPOSED STANDARD PARKING STALL	32
PROPOSED ACCESSIBLE PARKING STALL	02
TOTAL PROPOSED PARKING	34

Lot Modified: May 13, 2022 11:04 AM  
20220512 BMY OFFICE ZONING SITE PLAN 5/13/2022 11:05 AM



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Design Team  
Consultant Address Phone Fax e-mail  
R.A. RETURN AIR  
R.D. ROOF DRAIN  
R.H. RIGHT HAND  
R.O. ROUGH OPENING  
R.O.W. RIGHT OF WAY  
RAD. RADIUS  
RFG. ROOFING  
RFL. REFLECT(ED), (IVE), (OR)  
REF. REFERENCE  
REFR. REFRIGERATOR  
REM. REMOVE  
RES. RESILIENT  
RET. RETURN  
REV. REVISION  
RM. ROOM

CLIENT  
NAME: Justin Haschke  
ADDRESS: FM 988 NW & Pecan Hill Dr.

PROJECT  
**Stephenville Office**



ARCHITECT STAMP

**NOT FOR CONSTRUCTION**  
**FOR PD REGULATORY APPROVAL ONLY**

Table with 3 columns: No., Description, Date

SHEET TITLE

# DRAWING INFORMATION

DWG INFO

PROJECT: 2004  
ISSUE DATE: 05/13/2022  
DRAWN BY: SS  
CHECKED BY: SS

# SHEET A001

## SHEET NUMBERING

### A401

EACH SHEET OF DRAWINGS IS NUMBERED IN THE LOWER RIGHT HAND CORNER. SHEETS ARE NUMBERED FIRST BY SECTION LETTER THEN BY SHEET NUMBER WITHIN THE SECTION. FOR EXAMPLE, SHEET A401 REPRESENTS SHEET 401 WITHIN THE ARCHITECTURAL SECTION.

## DRAWINGS

DRAWINGS ARE ORGANIZED ACCORDING TO A "SECTION FORMAT". WITH EACH SECTION DESCRIBING A GENERAL ASPECT OF THE CONSTRUCTION. THE FOLLOWING LISTING ILLUSTRATES A TYPICAL SEQUENCE OF DRAWINGS DEVELOPED FOR A LOGICAL SECTION OF WORK.

Table with 2 columns: SECTION, GENERAL PROJECT INFORMATION & DRAWINGS

## GENERAL NOTES

THIS PROJECT COMPLIES WITH THE 20D9 INTERNATIONAL CODE SERIES, AS ADOPTED BY \_\_\_\_\_, AND WITH THE CODE ORDINANCES OF \_\_\_\_\_

MATERIALS SHALL BE NEW, EXCEPT AS NOTED OTHERWISE, AND SHALL CONFORM TO THE LATEST STANDARDS OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, THE AMERICAN INSTITUTE FOR STEEL CONSTRUCTION, THE AMERICAN CONCRETE INSTITUTE, AND LOCAL APPLICABLE BUILDING CODES, AND HANDLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

ALL WORK SHALL BE PERFORMED TO THE HIGHEST STANDARD FOR FIRST QUALITY CONSTRUCTION BY MECHANICS AND ARTISANS SKILLED IN THEIR RESPECTIVE TRADES

ALL TRADES SHALL PROTECT THEIR OWN WORK TO PREVENT DAMAGE BY OTHERS DURING THE COURSE OF CONSTRUCTION

THE GENERAL CONTRACTOR SHALL EXAMINE THE CONTRACT DOCUMENTS AND BE FAMILIAR WITH ALL OF THE MATERIAL CONTAINED HEREIN AND SHALL MAKE ANY AND ALL INFORMATION CONTAINED HEREIN AVAILABLE TO ANY AND ALL OF THE GENERAL CONTRACTOR'S SUBCONTRACTORS AND MATERIAL SUPPLIERS, AND TO MAKE CERTAIN THEY ARE FAMILIAR WITH THE APPLICABLE INFORMATION HEREIN

ALL BIDS SUBMITTED AND ACCEPTED UNDER THIS CONTRACT SHALL INCLUDE ALL MATERIAL AND LABOR NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE DOCUMENTS

REASONABLE PROFESSIONAL CARE AND DILIGENCE IS ASSUMED IN THE PREPARATION OF THESE DOCUMENTS. SHOULD ERRORS AND/OR OMISSIONS OCCUR, ALL WORK ON THE AFFECTED AREA OF THE PROJECT WILL STOP AT ONCE, AND SAID ERRORS AND/OR OMISSIONS SHALL BE REFERRED TO THE DESIGNER FOR RESOLUTION. WORK ON THE AFFECTED AREA OF THE PROJECT SHALL RESUME ONLY UPON WRITTEN APPROVAL BY THE DESIGNER

PROPERTY DIMENSIONS, BEARINGS, SETBACKS, EASEMENTS AND UTILITIES ARE SUPPLIED TO THE DESIGNER BY OTHERS AND ASSUMED ACCURATE. THE DESIGNER SHALL MAKE EVERY EFFORT TO INSURE THE ACCURACY OF THE WORK PROVIDED BY OTHERS, BUT CANNOT GUARANTEE OR BE RESPONSIBLE FOR WORK PROVIDED BY OTHERS

NO SUBSTITUTION, DEVIATION, OR CHANGE FROM THE CONTRACT DOCUMENTS SHALL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE DESIGNER

DRAWINGS ARE NOT TO BE SCALED. IF NOTED DIMENSIONS DO NOT ADEQUATELY DESCRIBE AN AREA, REFER AT ONCE TO THE DESIGNER

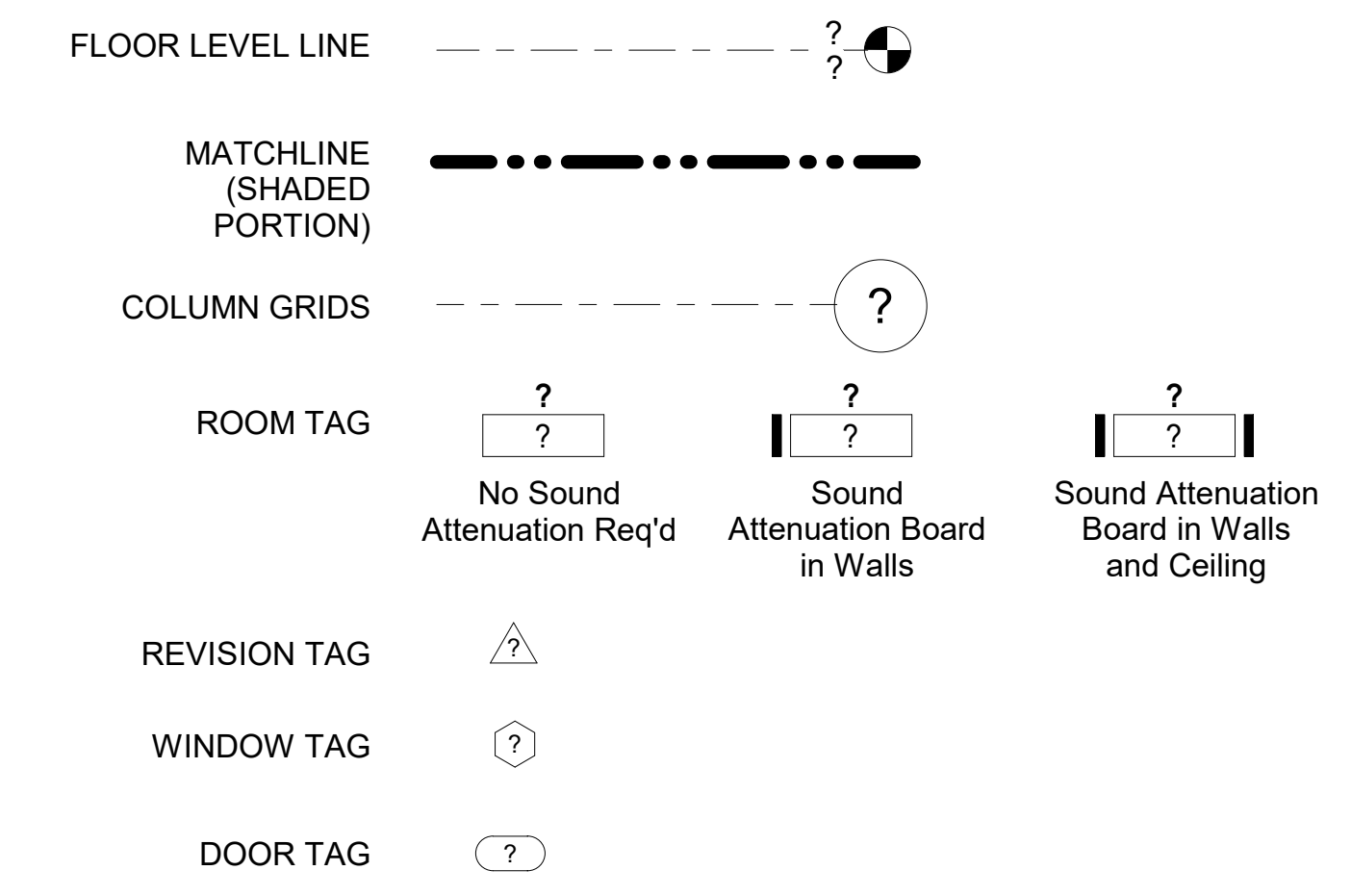
FIELD VERIFY ALL CABINETS, MIRRORS, WINDOWS, DOORS, ETC. PRIOR TO FABRICATION AND/OR INSTALLATION

FINAL LOCATIONS OF ALL SWITCHES, OUTLETS, GRILLES, ETC. SHALL BE DETERMINED AT THE SITE IN CONSULTATION WITH THE OWNER. ALL SUBCONTRACTORS SHALL VERIFY THAT ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS CAN BE INSTALLED IN THE SPACE ALLOCATED

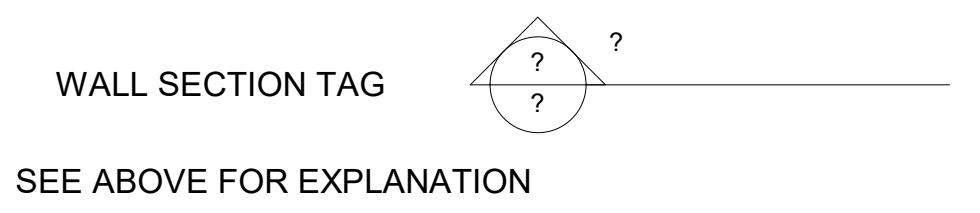
TEMPORARY FACILITIES FOR THE PROTECTION OF MATERIALS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR

## SYMBOLS

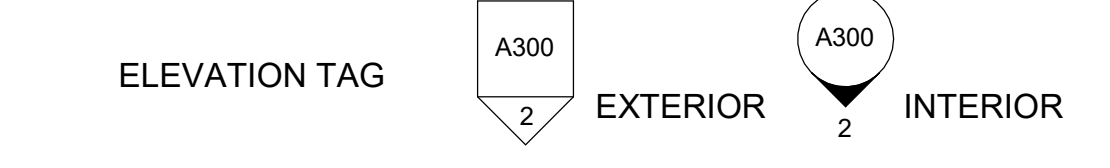
THE FOLLOWING DRAWINGS SYMBOLS INCLUDE, BUT ARE NOT LIMITED TO THOSE TYPICALLY FOUND IN A SET OF CONSTRUCTION DOCUMENTS



THE SECTION IS TAKEN ALONG THE STRAIGHT LINE OF THE SYMBOL. THE ARROW POINTS IN THE DIRECTION OF THE VIEW FOR THE SECTION. THE NUMBER IS A REFERENCE TO THE SECTION DRAWING.



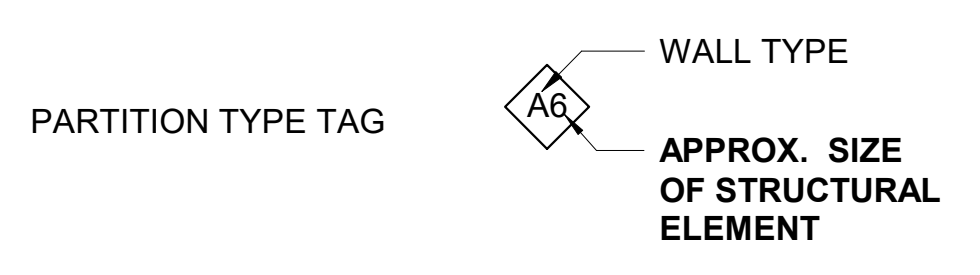
SEE ABOVE FOR EXPLANATION



THE ARROW POINTS IN THE DIRECTION OF THE VIEW FOR THE ELEVATION. THE NUMBER IS A REFERENCE TO THE ELEVATION DRAWING. IN THIS EXAMPLE, DRAWING 2 ON SHEET A300



THIS SYMBOL IS A KEY TO A DETAIL DRAWN OF THE AREA WITHIN THE DASHED LINES. THE NUMBER IS A REFERENCE TO THE DETAIL DRAWING. FOR EXAMPLE, DRAWING 1/A101 REPRESENTS DRAWING 1 ON SHEET A101



## INDEX

Table with 4 columns: ARCHITECTURAL, ELECTRICAL, ELECTRICAL, OTHER

## ABBREVIATIONS

Table of abbreviations and their meanings, including terms like ABOVE FINISHED FLOOR, FINISH(ED), PERIMETER, etc.



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 Address  
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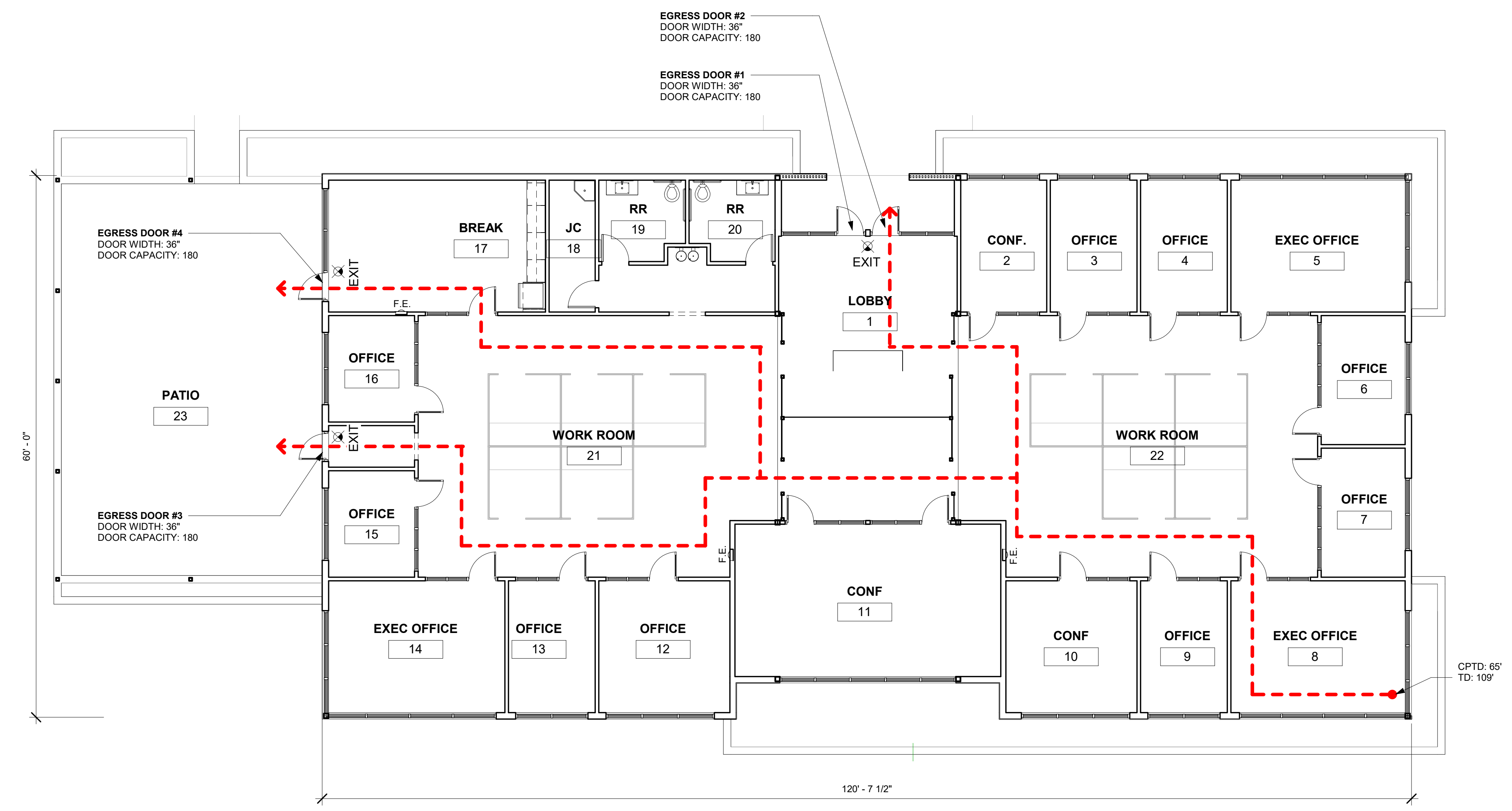
**PLUMBING FIXTURE CALCULATIONS 2015 IBC (TABLE 2902.1.1)**

**PLUMBING FIXTURES - OFFICE (BUSINESS OCCUPANCY)**

OCC. LOAD	WC		LAV.		SERVICE SINK	DRINKING FOUNTAIN
50	1/25 (M) = 1 WC		1/40 (M) = 1 LAV		1 REQUIRED	1 REQUIRED
	1/25 (F) = 1 WC		1/40 (F) = 1 LAV			
	REQ'D WC'S		REQ'D LAV'S			
	M	F	M	F		
	1	1	1	1		

**OCCUPANCY CALCULATIONS 2015 IBC (TABLE 1004.5)**

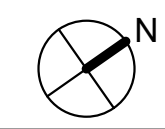
<u>BUSINESS</u>		AREA (S.F.)	OCC. LOAD
FUNCTION	OCC. FACTOR		
OFFICE/CONF. ROOM	100 GROSS	6,800	68 (PROPOSED 50 MAX)



① LEVEL 1 - LIFE SAFETY  
 1/8" = 1'-0"

CLIENT  
**NAME:** Justin Haschke  
**ADDRESS:** FM 988 NW & Pecan Hill Dr.

PROJECT  
**Stephenville Office**



PROJECT KEY

ARCHITECT STAMP

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**FOR PD REGULATORY**  
**APPROVAL ONLY**

REVISIONS

No.	Description	Date

SHEET TITLE  
**LIFE SAFETY PLAN**

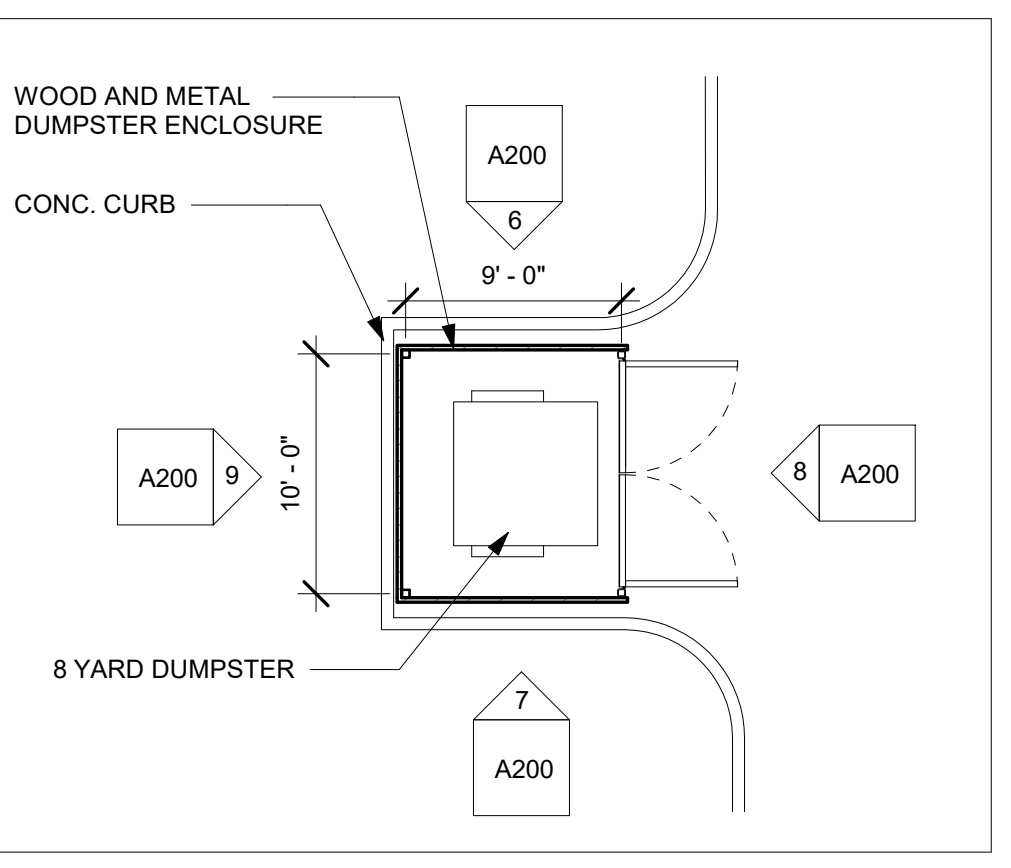
DWG INFO  
**PROJECT:** 2004  
**ISSUE DATE:** 05/13/2022  
**DRAWN BY:** SS  
**CHECKED BY:** SS

**SHEET A010**

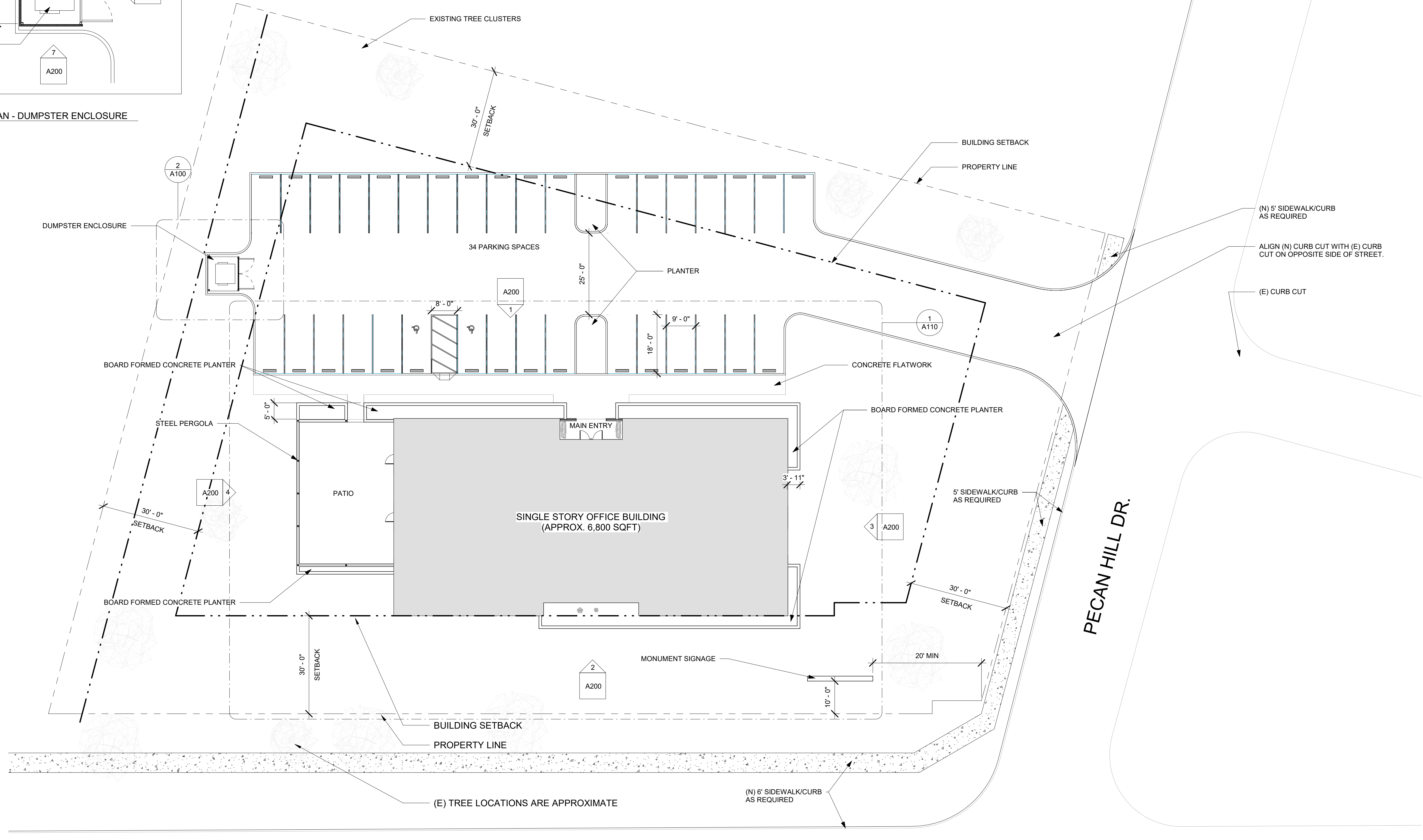
**NOT FOR CONSTRUCTION**  
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REVISIONS

No.	Description	Date



2 FLOOR PLAN - DUMPSTER ENCLOSURE  
 1/8" = 1'-0"



NW LOOP (FM 988)

1 Site  
 1/16" = 1'-0"





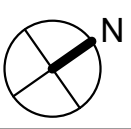
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Design Team  
Consultant  
Address  
Address  
Phone  
Phone  
Fax  
Fax  
e-mail  
e-mail

CLIENT  
NAME: Justin Haschke  
ADDRESS: FM 988 NW & Pecan Hill Dr.

PROJECT  
Stephenville Office

PROJECT KEY



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REVISIONS

No.	Description	Date

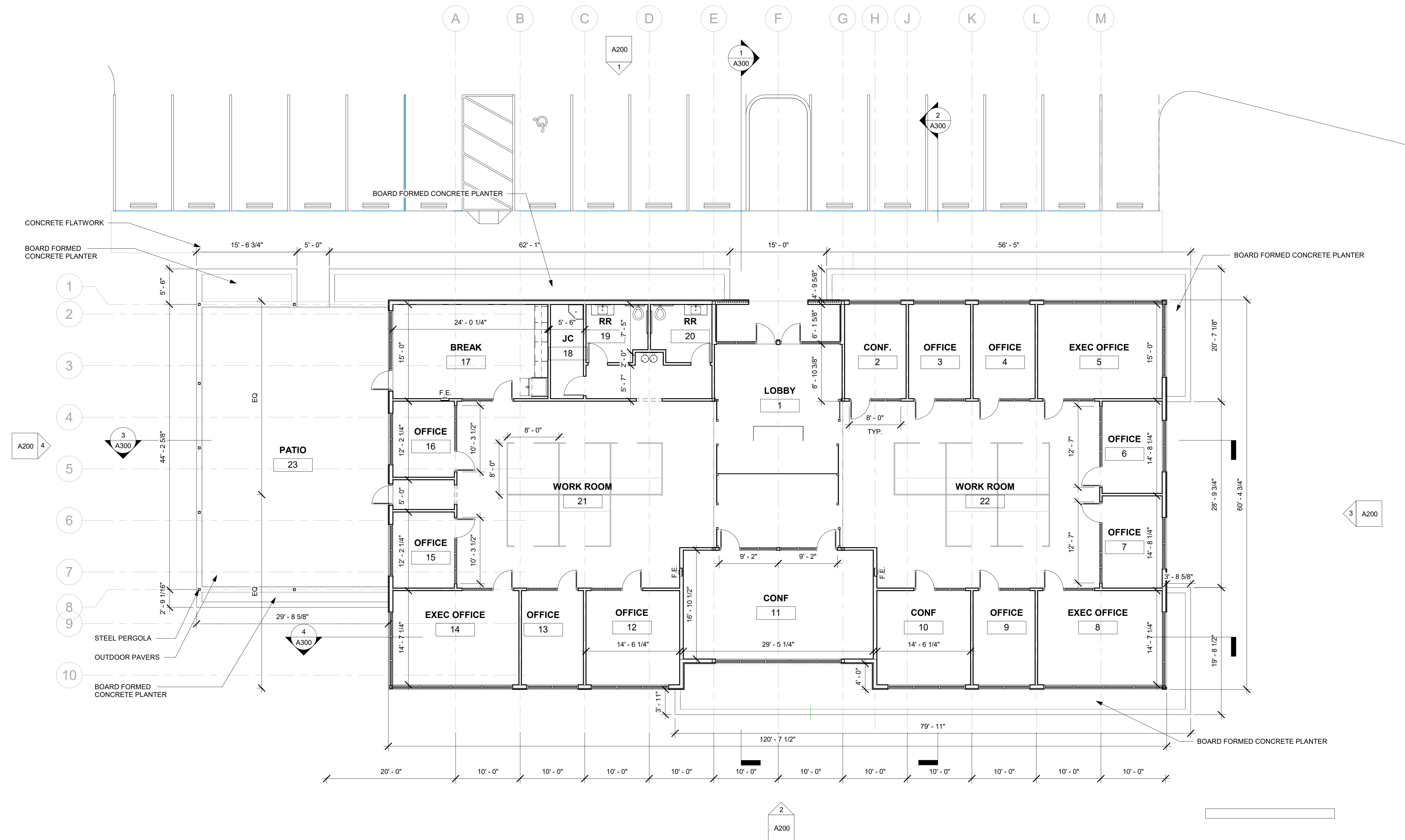
SHEET TITLE

FLOOR PLAN

DWG INFO

PROJECT: 2004  
ISSUE DATE: 05/13/2022  
DRAWN BY: SS  
CHECKED BY: SS

SHEET **A110**



1 LEVEL 1  
1/8" = 1'-0"



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CLIENT  
NAME: Justin Haschke  
ADDRESS: FM 988 NW & Pecan Hill Dr.

PROJECT  
Stephenville Office



PROJECT KEY

ARCHITECT STAMP

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FOR PD REGULATORY  
APPROVAL ONLY

REVISIONS

No.	Description	Date

SHEET TITLE  
**REFLECTED CEILING PLAN**

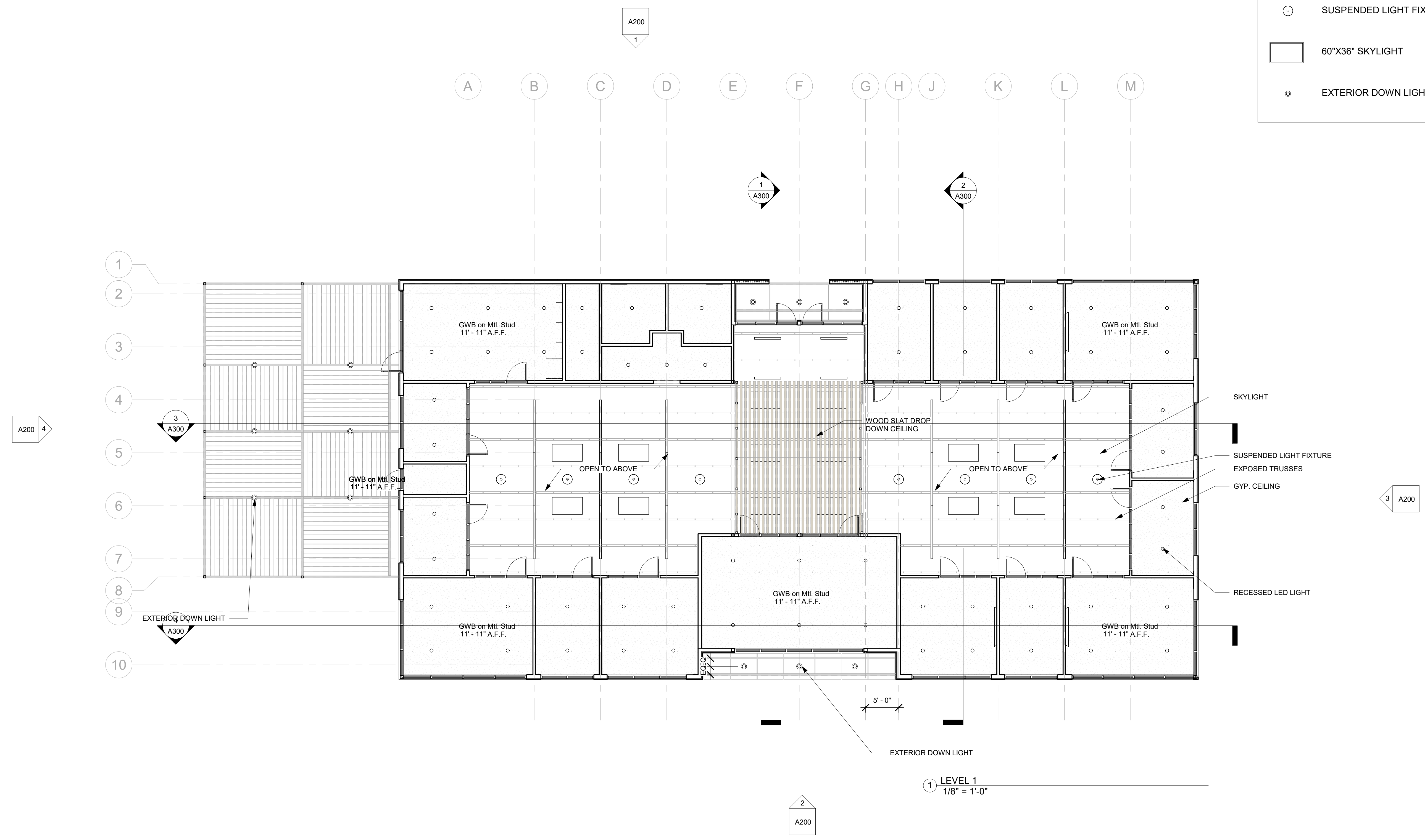
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PROJECT: 2004  
ISSUE DATE: 05/13/2022  
DRAWN BY: SS  
CHECKED BY: SS

SHEET **A115**

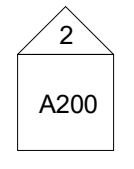
NOTES:  
1. GENERAL CONTRACTOR TO USE PROVIDED FINISH AND LIGHT FIXTURE INFORMATION AS BASIS OF DESIGN AND PRESENT ALTERNATIVE MANUFACTURER'S TO OWNER AS REQ'D.  
2. SWITCH LOCATIONS TO BE VERIFIED WITH OWNER/ARCHITECT PRIOR TO INSTALLATION.

REFLECTED CEILING PLAN LEGEND

	GYP. BOARD
	WOOD SLATS - STAINED
	RECESSED LED LIGHT
	4' RECTANGULAR SURFACE MOUNTED LIGHT
	SUSPENDED LIGHT FIXTURE
	60\"X36\" SKYLIGHT
	EXTERIOR DOWN LIGHT



1 LEVEL 1  
1/8" = 1'-0"





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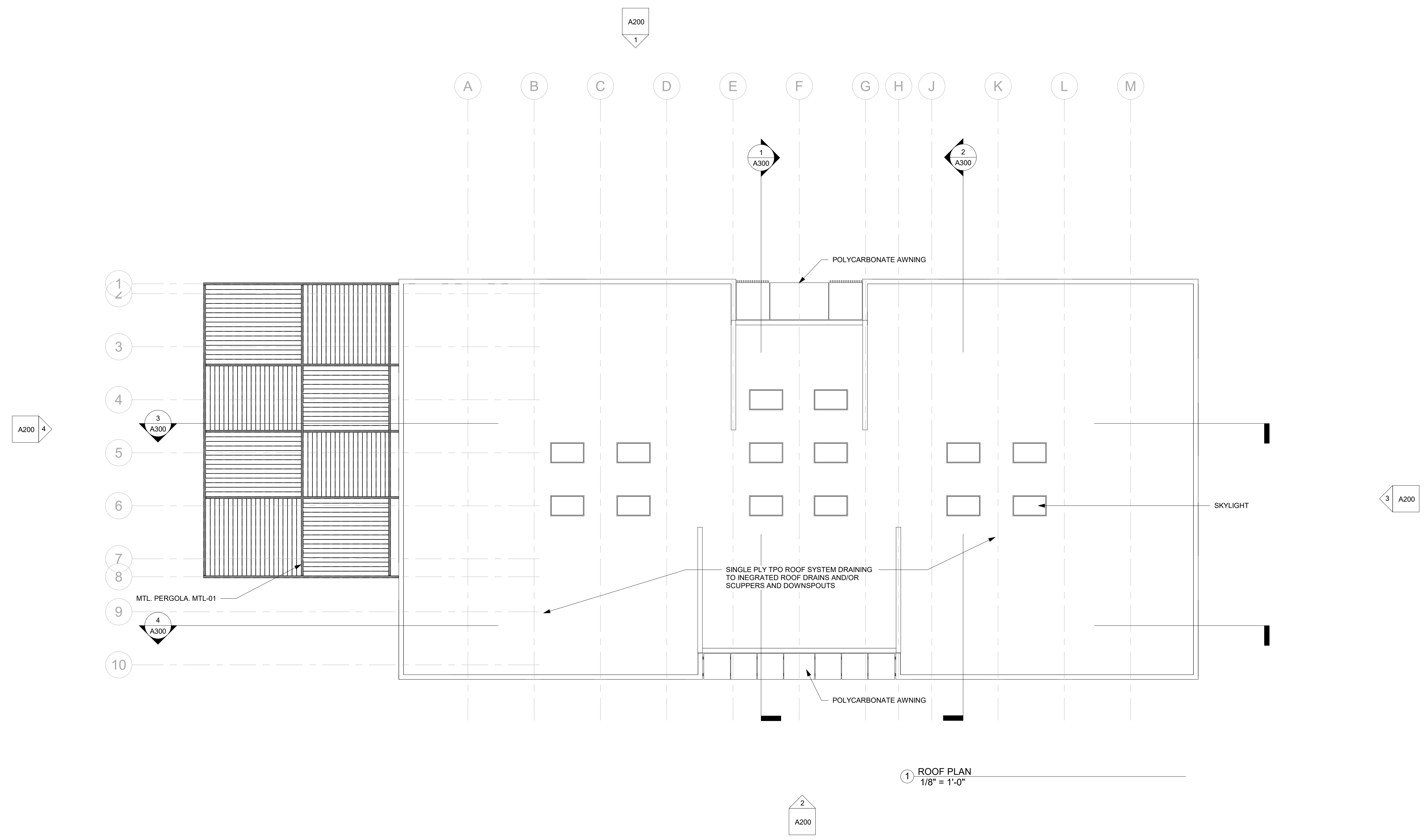
SHEET TITLE

ROOF PLAN

DWG INFO

PROJECT: 2004  
ISSUE DATE: 05/13/2022  
DRAWN BY: SS  
CHECKED BY: SS

SHEET A120



1 ROOF PLAN  
1/8" = 1'-0"



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No.	Description	Date

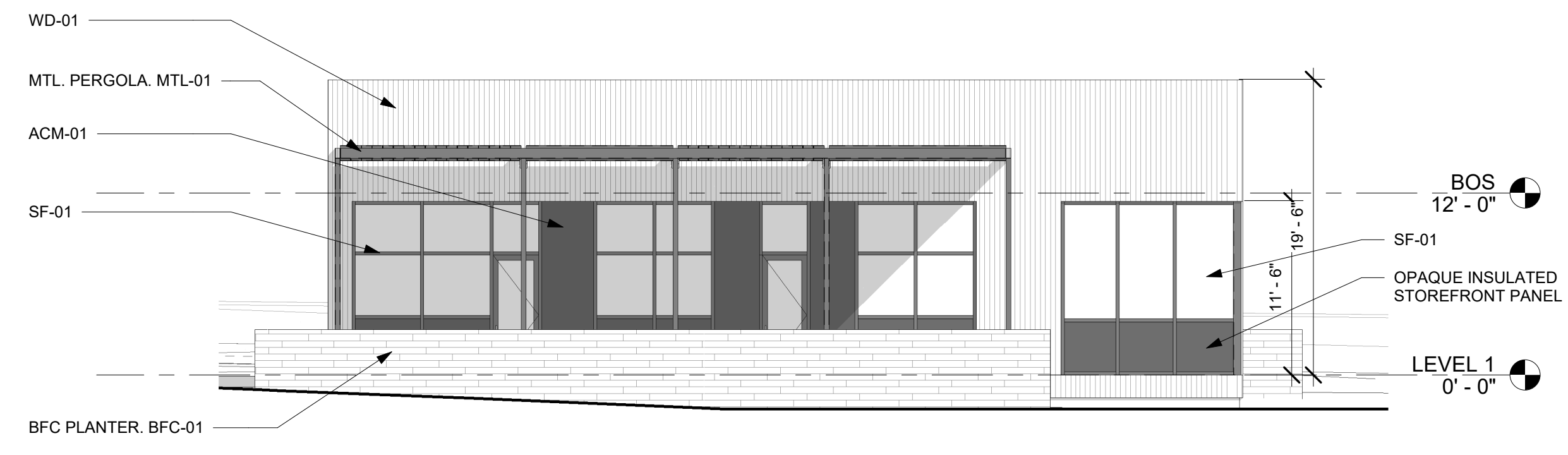
SHEET TITLE  
ELEVATIONS

DWG INFO  
PROJECT: 2004  
ISSUE DATE: 05/13/2022  
DRAWN BY: SS  
CHECKED BY: SS

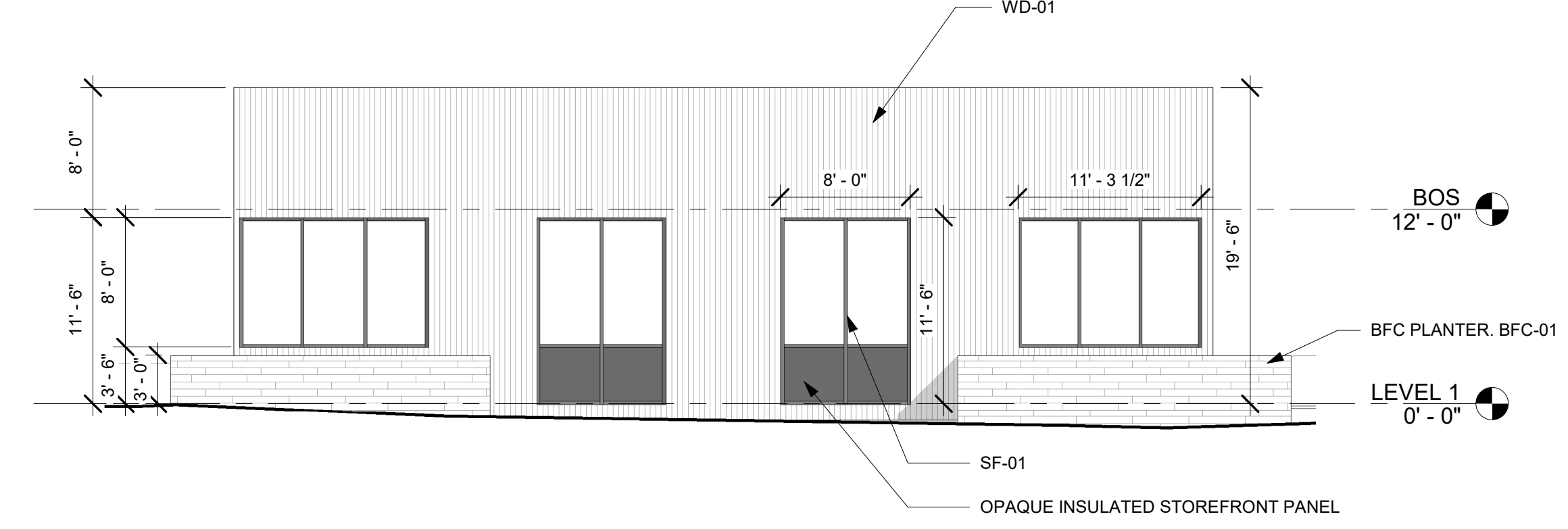
SHEET A200

EXTERIOR LEGEND

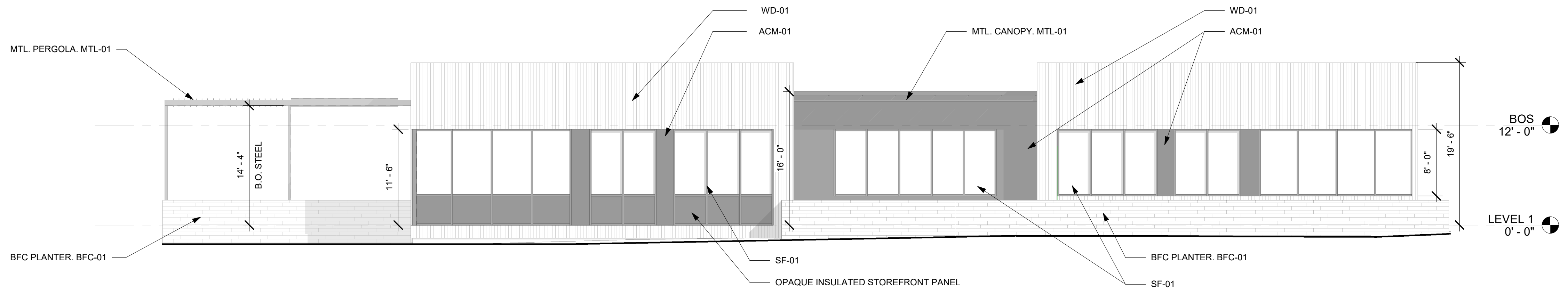
SYMBOL	DESCRIPTION
WD-01	VERTIAL WOOD RAINSCREEN FACADE WESTERN RED CEDAR RAINSCREEN FACADE
ACM-01	ALUM. COMPOSITE METAL PANEL ALUMINUM COMPOSITE METAL PANEL SYSTEM INSTALLED OVER C.I.
BFC-01	BOARD FORMED CONCRETE BOARED FORMED CONCRETE WALL / PLANTER
MTL-01	PAINTED METAL PAINTED EXPOSED METAL
SF-01	ALUMINUM STOREFRONT THERMALLY BORKEN ANNOIDIZED ALUMINUM STOREFRONT SYSTEM
D-01	ALUMINUM FRAMED DOORS THERMALLY BORKEN ANNOIDIZED ALUMINUM FRAMED SLIDING DOORS. REFER TO DOOR SCHEDULES



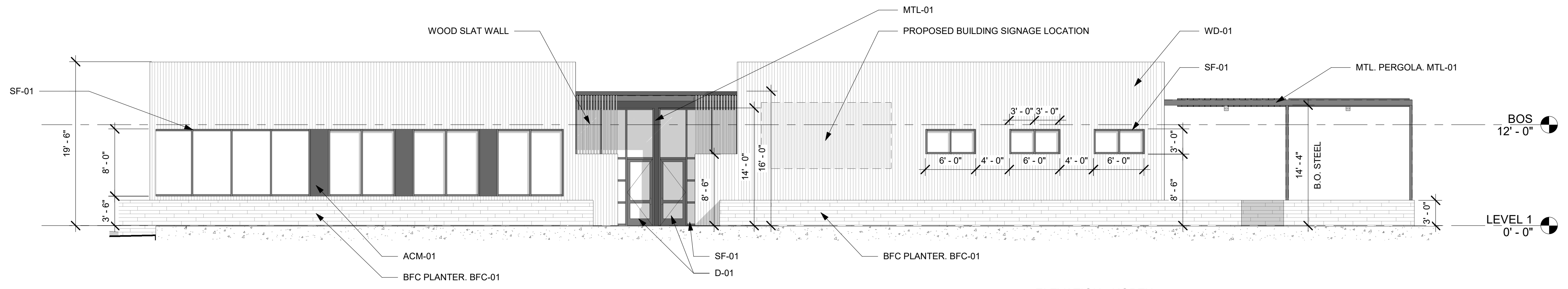
4 ELEVATION - WEST  
1/8" = 1'-0"



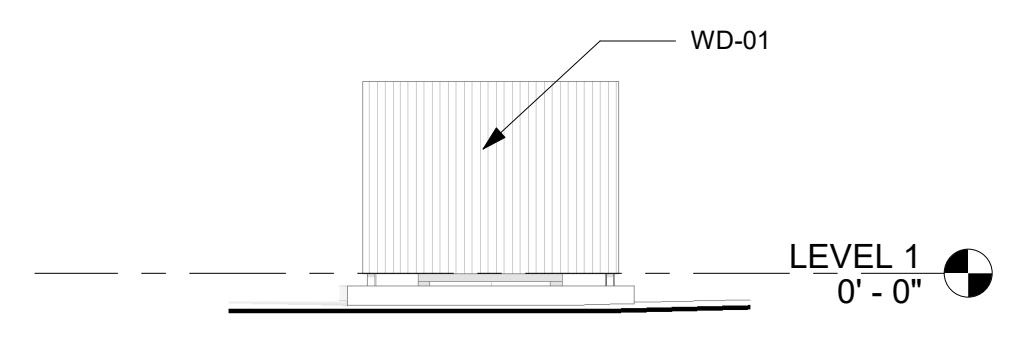
3 ELEVATION - EAST  
1/8" = 1'-0"



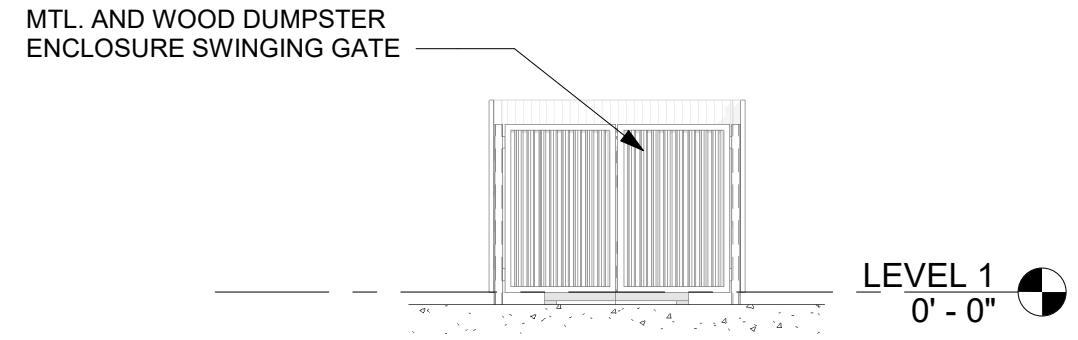
2 ELEVATION - SOUTH  
1/8" = 1'-0"



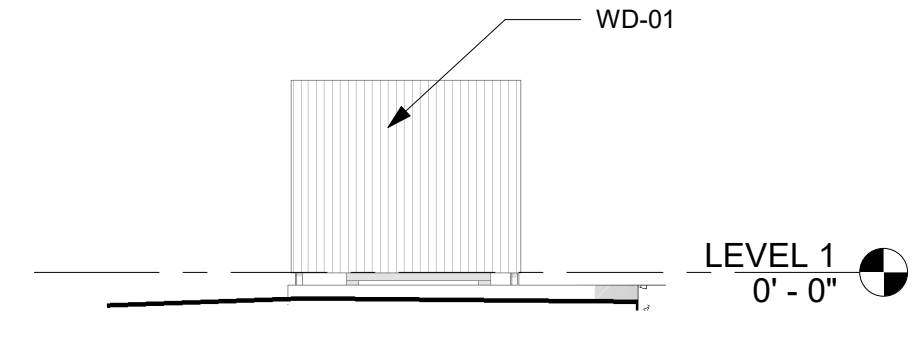
1 ELEVATION - NORTH  
1/8" = 1'-0"



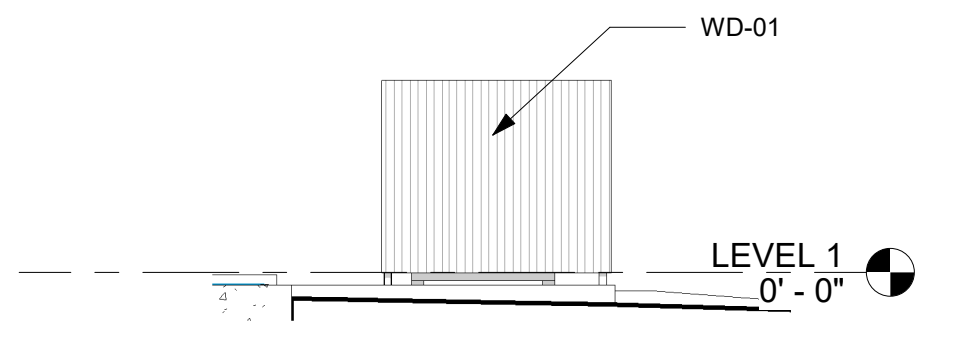
9 DUMPSTER ENCLOSURE - WEST ELEV.  
1/8" = 1'-0"



8 DUMPSTER ENCLOSURE - EAST ELEV.  
1/8" = 1'-0"



7 DUMPSTER ENCLOSURE - SOUTH ELEV.  
1/8" = 1'-0"



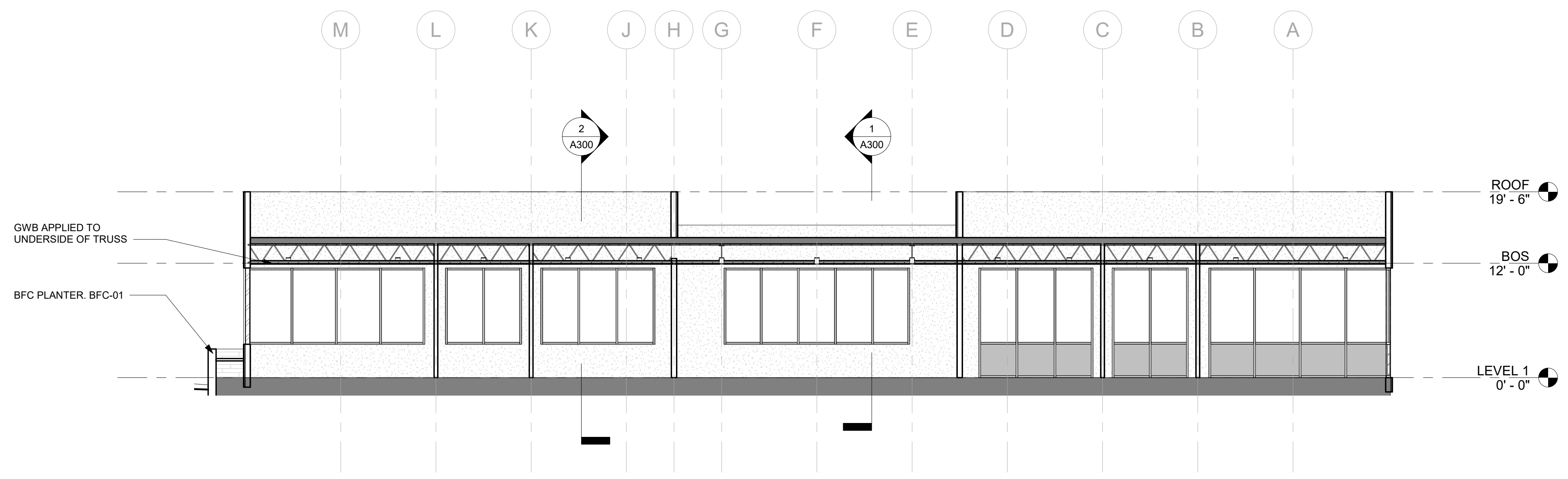
6 DUMPSTER ENCLOSURE - NORTH ELEV.  
1/8" = 1'-0"

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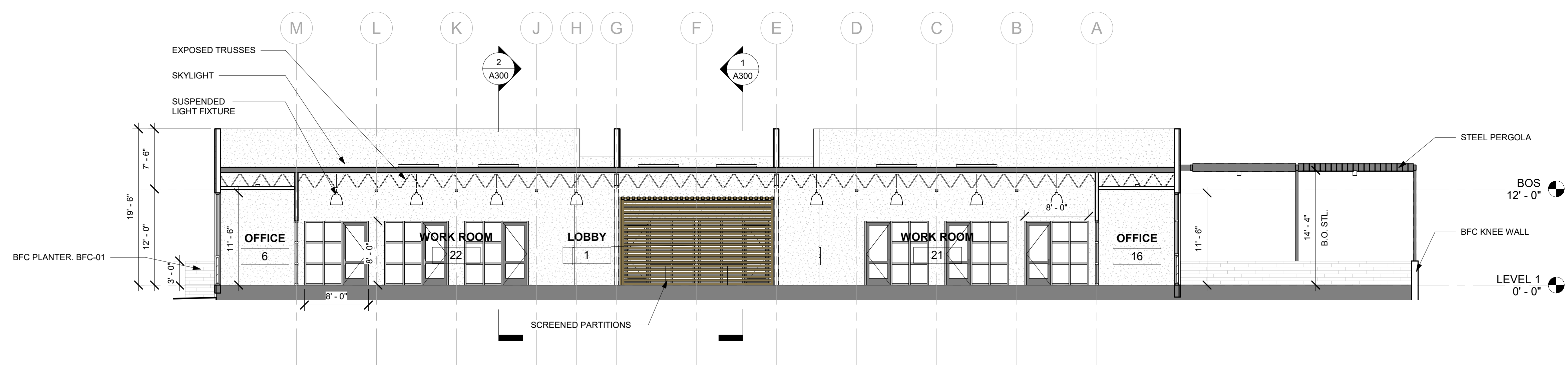
REVISIONS

No.	Description	Date

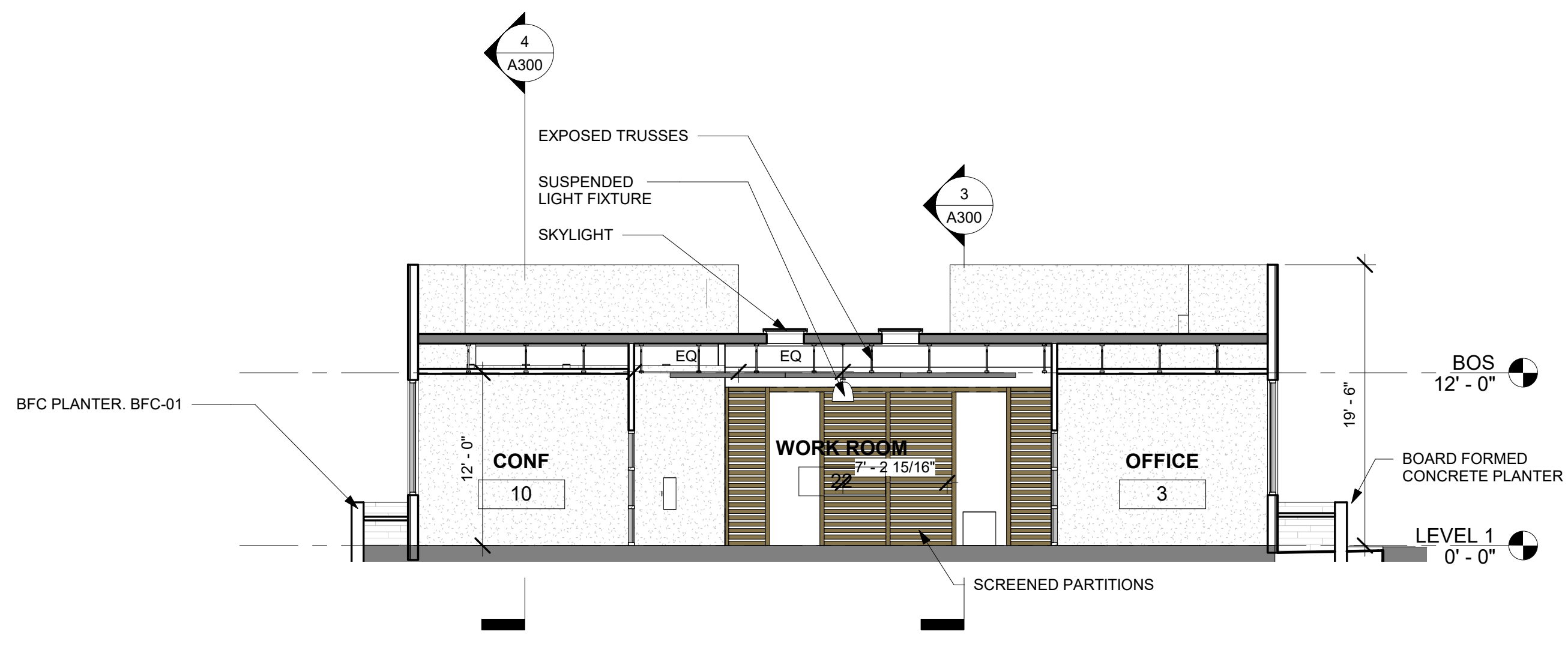
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**BUILDING SECTIONS**  
 DWG INFO  
 PROJECT: 2004  
 ISSUE DATE: 05/13/2022  
 DRAWN BY: SS  
 CHECKED BY: SS



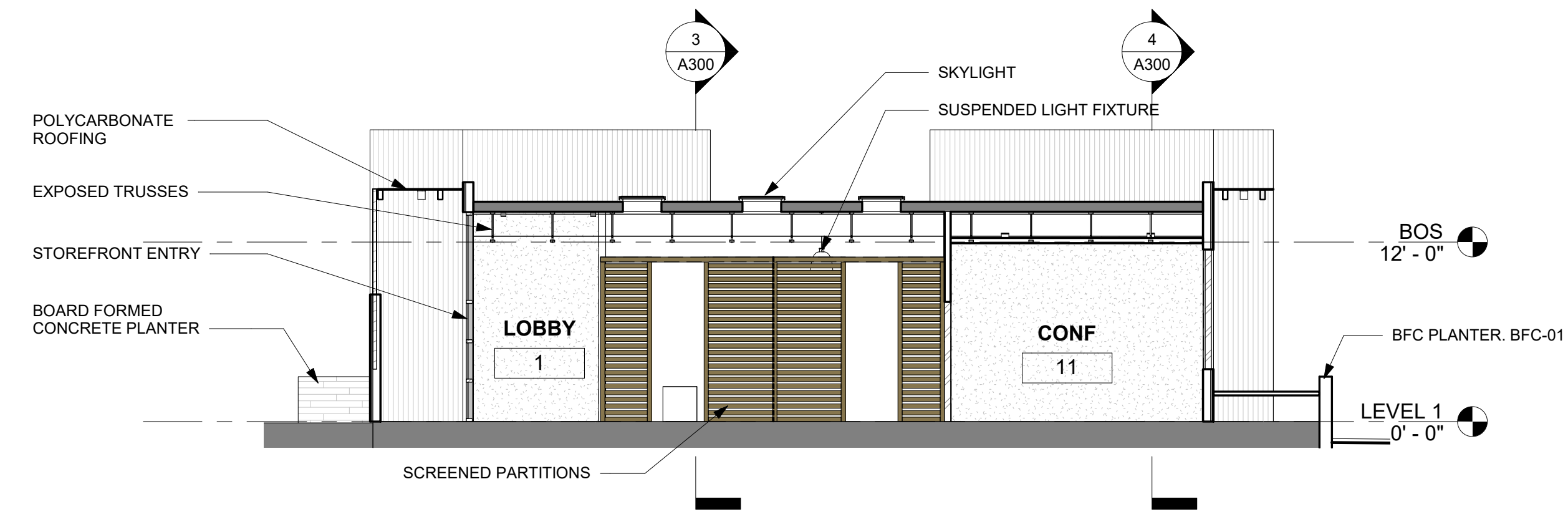
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 1/8" = 1'-0"



3 BLDG. SECTION 03  
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2 BLDG. SECTION 02  
 1/8" = 1'-0"



1 BLDG. SECTION 01  
 1/8" = 1'-0"

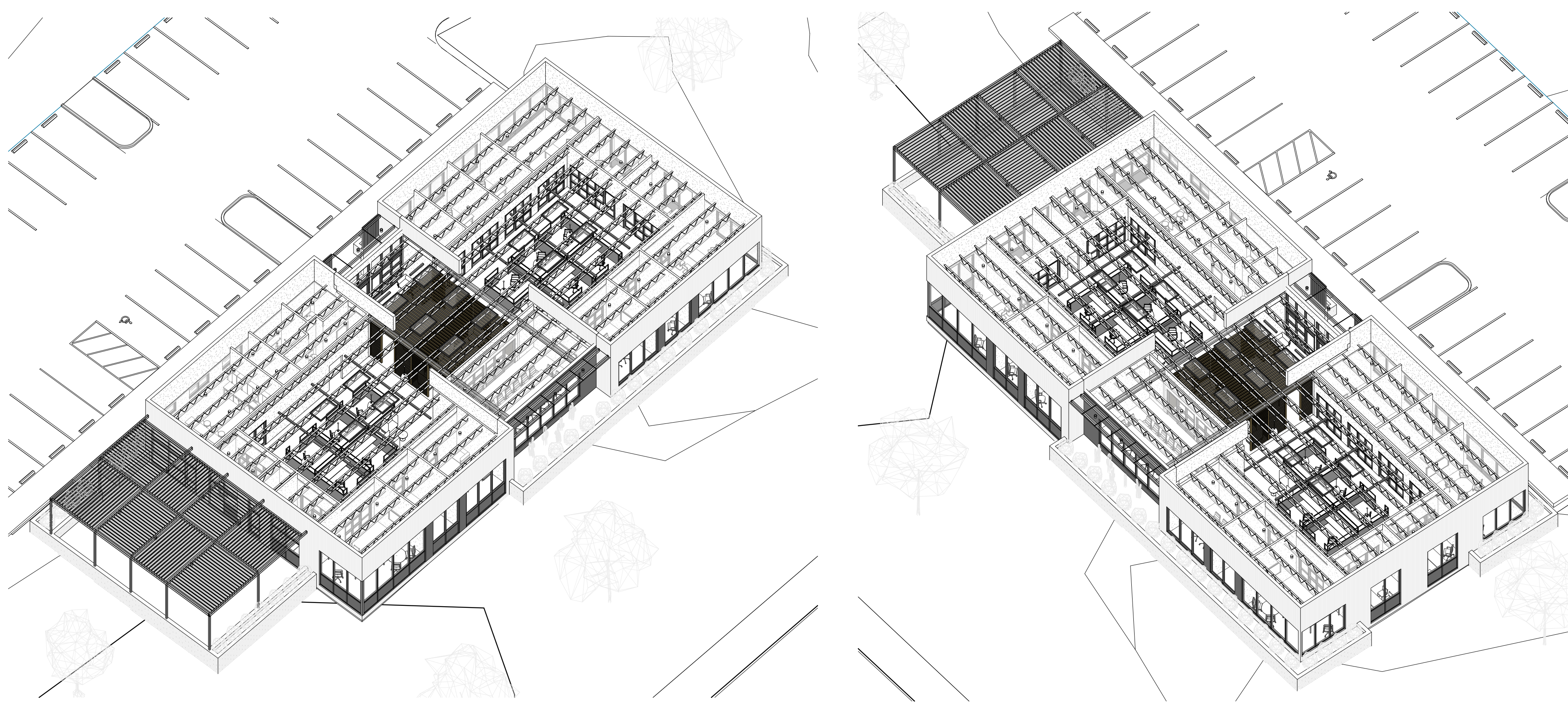
Design Team

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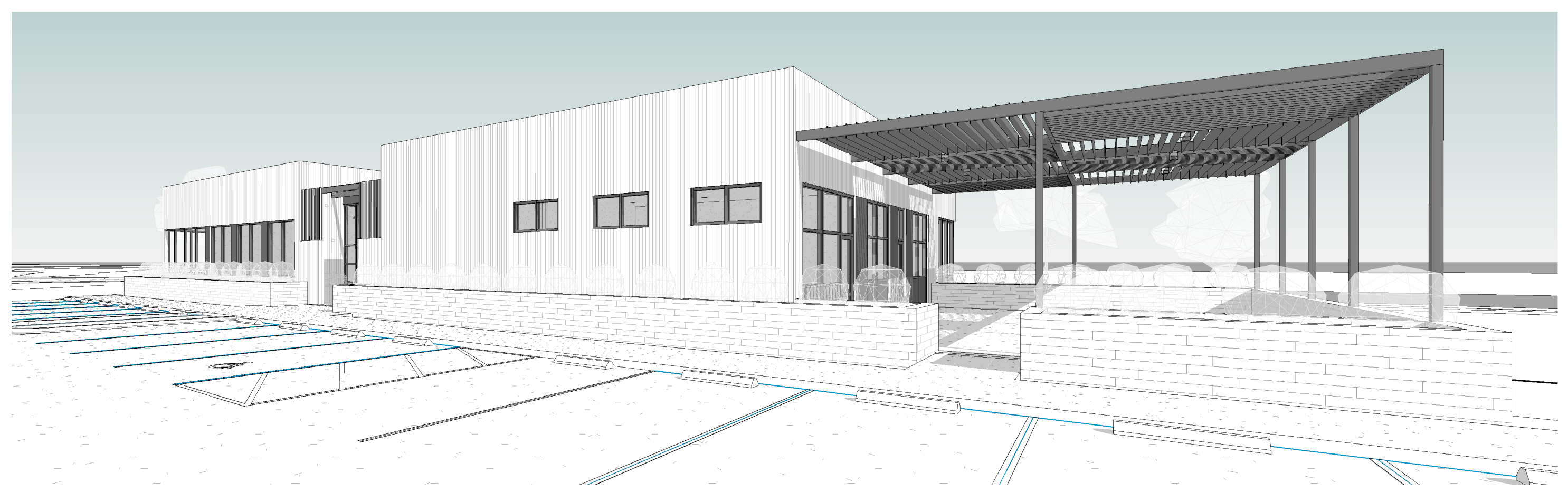
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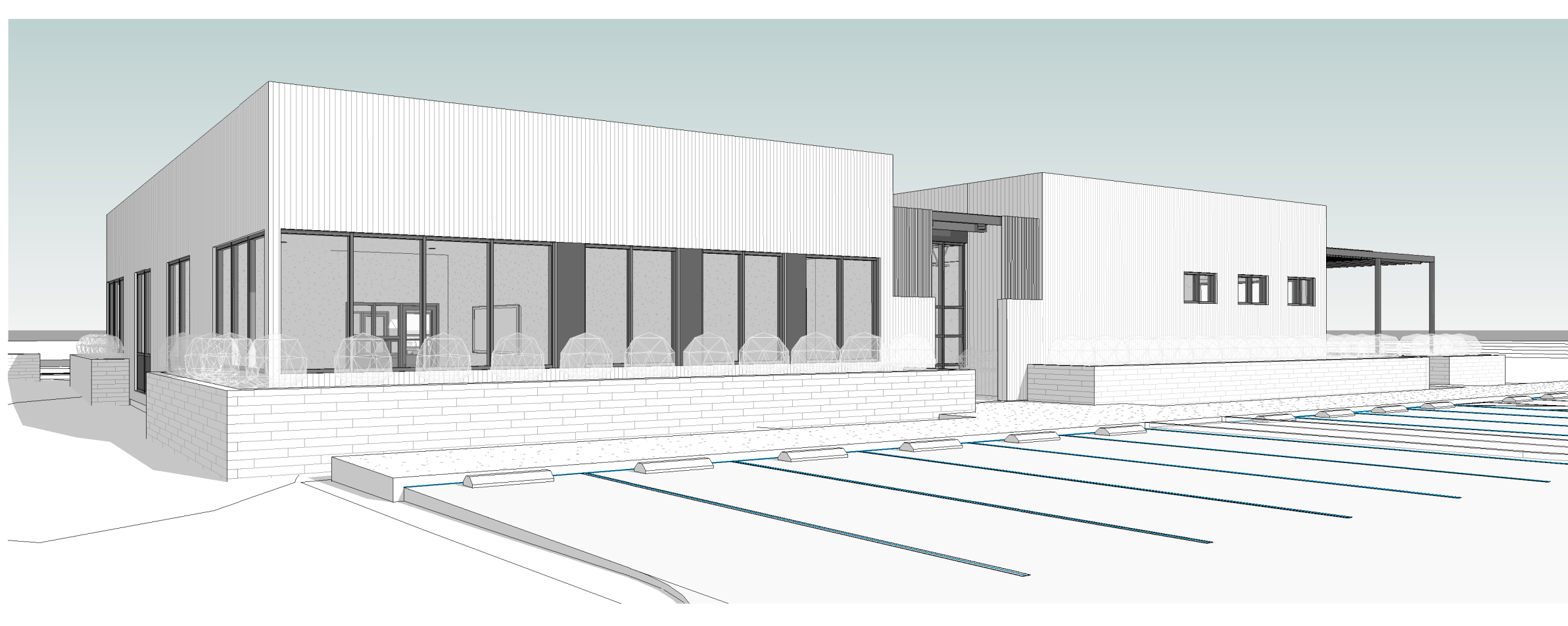


6 3D View 6

5 3D View 5



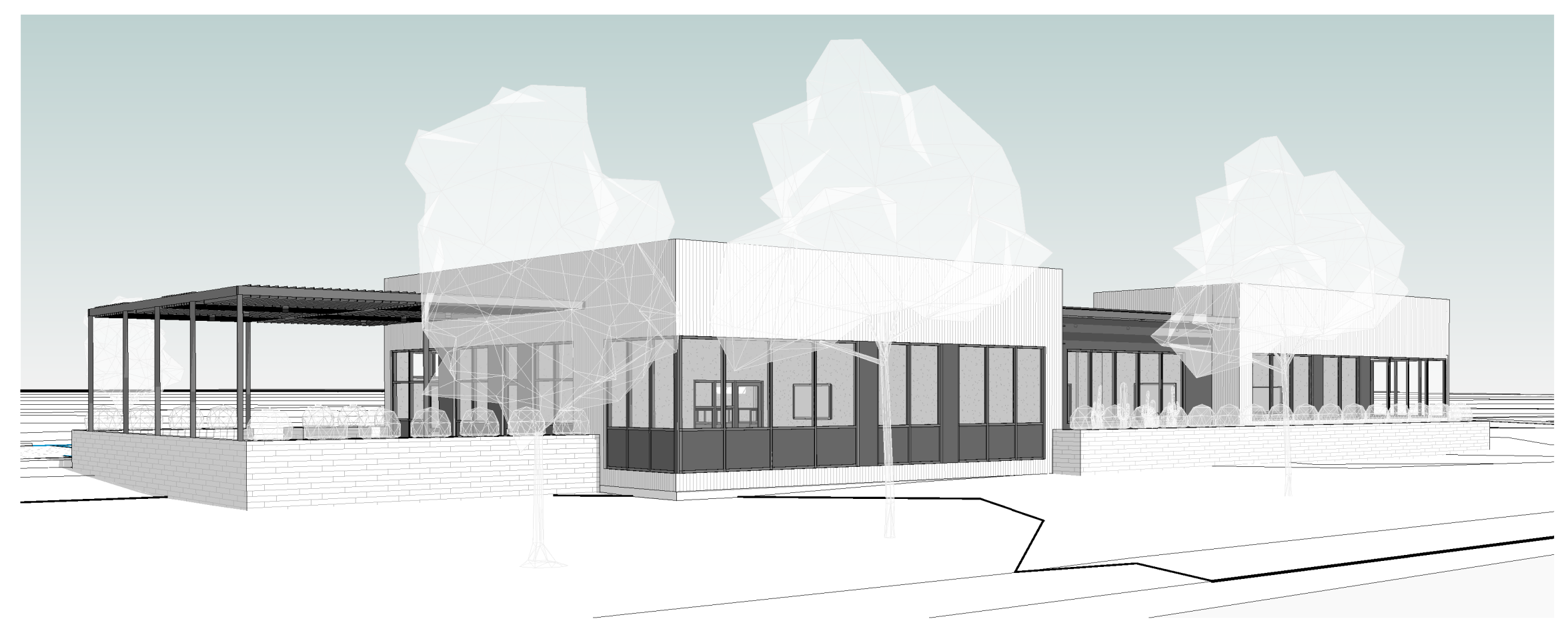
3 3D View 4



2 3D View 3



1 3D View 2



4 3D View 1

CLIENT

---

**NAME:** Justin Haschke  
**ADDRESS:** FM 988 NW & Pecan Hill Dr.

PROJECT

---

**Stephenville Office**



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REVISIONS

No.	Description	Date

SHEET TITLE

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**3D VIEWS**

DWG INFO

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**PROJECT:** 2004  
**ISSUE DATE:** 05/13/2022  
**DRAWN BY:** SS  
**CHECKED BY:** SS



## Stephenville Corporate Office – Lighting Design Narrative

Lighting design scope only includes lighting attached to the exterior of building, site, and landscape. Contractor to verify all narrated components are covered in pricing exercise and provide allowances for any owner-requested or other added items.

- Parking Lighting
  - Contemporary 20' linear poles and rectilinear post top reference linear elements from the building. Houseside shield added to block lighting from trespassing onto residential property and front of building through building windows. Use (8) Type X1 - Ligman ULI-21331-105W-T4-W30-01-20'-120/277V-DIM-HSS. Dimming capabilities allow for gradual dimming throughout the evening/nighttime. Contractor to add exterior dimmable lighting to interior lighting dimming control panel. Or if there is not interior dimming system, ensure one is provided for the exterior zones. Ensure an astronomical timeclock is included with the system,
- Building Façade
  - Option 1:
    - Building façade continuous linear wall grazers, mounted to top of wood façade, detail for mounting yet to be determined however this would incorporate either U-shaped channel in which the linear lighting would sit, or the linear lighting would be affixed to the façade on small standoffs (no more than 2”) and an L-bracket would act as a shield to prevent direct view of the lighting diodes from most viewing angles. Linear lighting effect is to evenly graze down the vertical wood elements of the façade and lights the sidewalks, planters, and ground plane. Solution would comply with Dark Sky requirements. Use (311ft) Type X4 - Lumenpulse LOG RO-120-48-30K-15x25-WAM2-SI-DIM-ETE for pricing estimates.
    - Throughout the course of the evening to nighttime, the lighting around the perimeter of the building will dim down gradually to a minimum value.
  - Option 2: - either Type X3.2 or X3.3
    1. Option 2a - Keeping in context with the surrounding community, sconces with a curved mounting element in black finish are selected pricing. Use (23) Type X3.2 Barn Light Electric BLE-G-SBD14-100-G22-980-NA-NA-NA-NA-LED11-3000K-FL. Sconces illuminate down the vertical wood elements set 12ft distance from each other. South wall has two sconces 6ft apart. Remote driver

allows flat plate attachment to facade.

2. Option 2b – Simple square sconce selection to work with linear elements of the building and parking fixture head style. With respect to Dark Sky requirements, sconces will illuminate down. Dimming capabilities allows for gradual dimming. Use (23) Modern Forms WS-W9201-3000K-AL

- Entry vestibule:
  - Option 1:
    - Entry vestibule features linear wall grazers illuminating down the vertical wood elements. Use (2) Type X4 - Lumenpulse LOG RO-120-48-30K-15x25-WAM2-SI-DIM-ETE for pricing estimates.
  - Option 2:
    - Entry vestibule features two sconces (one on opposite walls) illuminating down to planting and ground plane. Use (2) Type X4.2 - Ligman UMV-30001-11W-W-W30-01-120/277V-DIM.
- Patio Lighting
  - Option 1:
    1. Simple stem mounted pendant downlights, mounted to underside of trellis beam. Tegan Lighting offers a variety of monopoint glass designs, or simple cylinders. For decorative styles, an upper disk is available to block any light from spilling upward. Dimming available. Use (5) Type X4.1 - Tegan Lighting EX5-K-P24-4MP-RGS-SEC-BAG-BLK-DS-BLK-D-DM-60W-120/277-IP66-LRPSE-GY for pricing.
  - Option 2:
    1. In conjunction with building façade option 2, the patio will carry with downlighting sconces mounted onto posts. Fixtures have dimming capabilities to create desired ambiance. Use (6) Ligman UMV-30001-11W-W-W30-01-120/277V-DIM for pricing.
  - Option 3:
    1. Fixture selection offers a festive distraction where occupants come to relax and detach. This option features a Tegan catenary system running length of 30ft (x3) with (14 x 3 = 42) fixtures placed 2ft from each other. Mounted onto the trellis posts and building wall, these dimmable catenary fixtures can have an upper disk to block any light from spilling upward. Use Tegan EX-C-BLK cable, with EX-EX-BLK endcaps, EX-SOBR-BLK standoff brackets, and either EX-SWB-2-BLK mounting brackets, or EX-TSEB-BLK tension end bracket, and EX-PF-BLK power feed for remote power supply, and (21) EX5-K-C-SEC-BAG-BLK fixtures with D-DM-240W-120/277-IP66-LRPSE-GY remote power supply.



- Accent Landscape Lighting
  - Tree Lighting - Tree mounted adjustable downlights on two trees on opposite ends of the building. Use (12) Type X2 - Inter-lux E90520-W-60 fixtures with remote driver (2) SOLO100W-500 and fixing kit (12) E99802.
    1. North tree has 7 fixtures.
    2. South tree has 5 fixtures.
  - Patio Planters – utilize accent lighting to illuminate down onto planting. Use (5) Type X5 - Holm aLNC-6-ZD-1LED-24-FB with remote driver.
  - Signage Lighting – Linear fixture grazing signage down with dimming capabilities. Use (1) Type X6 - GVA Lighting STR9-G3-length per length of sign-CM-3W-3000K-20X60-AC-internal louver. Include remote driver in pricing.
- Architectural Lighting Controls
  - All lighting fixtures will be on a lighting control system. Each fixture type will be controlled separately. Scenes will be programmed to run via astronomical time clock with an override keypad located within the building. In addition, the architectural lighting controls can be overridden during times of night events. Energy saving scenes used at late night and early morning where only fixtures required for safety purposes are used. All lighting controls must comply with IECC 2015 or the latest IECC adopted by the local jurisdiction.



DATES: 6-May-22 Permit Issue

Stephenville Corporate Office - Stephenville, TX

**LIGHTING EQUIPMENT SCHEDULE**

**PART I - GENERAL NOTES**

- 1 Lighting drawings and their scheduled data are intended as design drawings indicating light fixture types and exact locations, and are not to be interpreted as engineering drawings. Also see electrical drawings for other lighting and further information.
- 2 No substitution of material or equipment noted on the drawings and in the equipment schedule will be made without specific approval by the ELDS. All items marked "Or Approved Equal" must be approved by ELDS prior to being considered for bid pricing, purchase or installation.
- 3 All items in the following specifications (light fixtures & dimming equipment) shall be included in submittal review. NOTE: A specified item not included in the submittal package shall not be considered omitted from the project. An additional fixture/ item not included in the specification but submitted in the submittal package shall not be considered an approved item unless specifically stamped as such.
- 4 The lighting design meets the 2019 I.E.C. Energy Conservation Code (ASHRAE/IES 90.1-2019). Any changes to the design by the electrical contractor, general contractor or others may cause non-compliance. ELDS is not responsible for contractor-initiated changes not approved by ELDS. Electrical code compliance and local governing regulations are the responsibility of the electrical engineer/installation contractor as are any required inspections.
- 5 Coordinate above-ceiling clearances required for specified fixtures with other trades. Notify Lighting Designer and Architect of any dimensional discrepancies encountered prior to installation.
- 6 All equipment listed is to be installed in accordance with the manufacturer's printed instructions and in compliance with local and national electrical codes.
- 7 All linear lighting (LED, cathode fluorescent or xenon) lengths must be field verified prior to order to achieve continuous coverage as shown on lighting (L, LD or LT) drawings.
- 8 Recessed fixture housing "throat", which projects through ceiling hole, must be flush with bottom of hole at the ceiling line to allow proper installation of reflector cones. Recessed light fixture housings must be properly secured to structure so that when cones are installed fixture does not move upwards. Fixture must not merely rest on top of ceiling but must be affixed per code requirements.
- 9 All lamps must be new and substantially unused at time of punch-list. Temporary lamps or fixtures are required for use during construction. Fluorescent sources on dimming ballasts must be burned for 100 hours at full before dimming. LED sources must be operated and observed for imperfections between 100 and 150 hours of burn time. LED sources that are schedule to dim, must be dimmed to their lowest level and operated there for at least 24 hours, then viewed for imperfections. Contractor to advise ELDS of observations of these results (flickering, burned out sections or nodes, color temperature shift, etc.) after the prescribed burn-in times.
- 10 Recessed light fixture reflector cones/trims must not be installed when ceiling is wet from plaster or paint (only install in dry ceilings to prevent cones from adhering to ceiling). Any damage to the cones or ceiling finish will be the responsibility of the Contractor. No silicone or other adhesive product foreign to the fixture shall be used to permanently affix the cones to the housing and/or ceiling. Any damage caused by such product (either during or subsequent to installation) shall be the responsibility of the electrical contractor.
- 11 Contractor to coordinate final aiming and dimming levels with ELDS during period of punch-list. A minimum of 3-weeks notice is required to schedule this procedure. Contractor shall provide ladders or equipment as necessary, and coordinate presence of electricians or other trades as required. A minimum of two electricians very familiar with the job will be required to be on-site throughout the final aiming and tuning process. Contractor to provide fixture access and aiming assistance during this period. Check with ELDS for an estimated duration of this process (minimum 3 evenings, 8 hours each), include in labor bid.
- 12 Contractor is to follow all manufacturer's installation instructions. For any questions regarding fixture installation, contact manufacturer for directions. ELDS is not responsible for any damages associated with incorrectly installed product.
- 13 The lighting equipment for this project has been specified in the month and year listed above. Due to the rapid development in lighting technology, if the lighting for this project is not ordered within 12 months of this date, ELDS will require a technology current review (TCR) A TCR ensures that the products previously specified are not obsolete, and advises if newer generations of the product are now available and advisable. This process prevents outdated materials from being included on the job. If a TCR is not requested within 3 months of fixture order, and a fixture is not available, obsolete, or otherwise outdated, it will become the responsibility of the contractor to troubleshoot any issues associated with the fixture due to these reasons.
- 14 All fixture indicated to be on the dimming system, must dim. Contractor to supply any emergency egress lighting power transfer relays necessary to integrate dimmed circuits into dimming system and allow dimming of fixtures during normal power condition. Consult MEP for more information. Provide UL924 emergency power transfer relays as required.
- 15 Essential Light requires an invitation to the contractor bid meeting, construction kick-off meeting or any other meeting where installation particulars can be discussed early in the process. Failure to discuss such details early may result in incorrect installation. ELDS is not responsible for any incorrect installation or for contractor not following manufacturer's installation instructions. If written instructions are not found within the luminaire packing materials, contractor is to source instructions online, and/or request written instructions.
- 16 For all LED fixtures, percent amplitude modulation (percent flicker) must be less than 30 percent at frequencies less than 200Hz.
- 17 Lighting drawings indicate luminaire locations and mounting style, it is the responsibility of the contractor to install in a manner that is clean and consistent with any design notes indicated. Wiring and conduit routing is per contractor and should be clean and consistent with any design notes indicated.

**PART II - LIGHTING EQUIPMENT SCHEDULE**

Type	Description	Manufacturer/Catalog #	Source	Watts	Volts	Location	Finish	Dimming Protocol	Design Team Notes	Contractor Notes
X1	Pole linear post top Type 4 distribution with house side shield	Ligman LEL-2133-105w-14-W30-01 (Finish TBD)-20'-120/277V-DIM HSS	LED 3000K 80 CRI 1400 Lumens Type 4 distribution	105W	120/277V	Site Parking	TBD	0-10V	Coordinate with team fixture finish.	
X2	Free mounted LED downlight	Inter-lux E30523-W-60 with remote driver SOL0100W-500 and fixing kit EP9802	LED 3000K 80 CRI 659 Lumens	6W	voltage	Site Trees	Black Aluminum	0-10V		
X3.1	Linear LED wall grazer	Luminaire LOG R0-120-48-30K-15X25-WAM2-SI-DIM-ETE	LED 3000K 80 CRI 464 Lumens per foot	8.5w/ft	120V	Building Façade	Silver Sandek	0-10V		
X3.2	Wall mounted square LED downlighting sconce	Barn Light Electric BLE-G-SB012-100 Finish-G22-900-NA-NA-NA-NA-LED1-3000K-FL with LMD25-driver	LED 3000K 90 CRI 850 Lumens	11W	voltage	Building Façade	Antracite Grey Aluminum	0-10V		
X3.3	Wall mounted square LED downlighting sconce	Modern Forms MF-W920L-3000K-AL	LED 3000K 90 CRI 187 Lumens	16.5W	120-277V	Building Façade	Brushed Aluminum	0-10V; 5%		
X4.1	Rigid stem monopoint LED with amber gem, clear glass envelope, and black disk shade	Tegan Lighting EX5-A-P24-4MP-RG5-SEC-BAG-BLK-DS-BLK with remote driver	LED 2700K 82-85 CRI 500 Lumens	5W	24VDC	Deck	Powdercoated Black	0-10V		
X4.2	Wall mounted square downlighting sconce	Ligman LMV-3000-14w-W-300-01-12/0/277v-DIM	LED 3000K 80 CRI 976 Lumens	11W	120/277V	Deck	Black	0-10V		
X4.3	Catenary LED with amber gem and clear glass envelope	Tegan Lighting EX5-A-C-SEC-BAG-BLK with remote driver	LED 2700K 82-85 CRI 500 Lumens	5W	24VDC	Deck	Black	0-10V		
X5	Slake mounted LED fixture	Helm ALNC-6-Z0-LED-24-FB with remote driver	LED 2700K 83 CRI 73 Lumens	2W	10-15V	Planting Bed	Black			
X6	Linear LED grazer downlighting	GVA Lighting STRP-G3-900-BM-3W-3000K (TBD)-200k-Optics (TBD)-voltage-louwer	LED 3000K 80 CRI 720 Lumens per foot	3w/ft	120-277V	Signage	Black	0-10V		



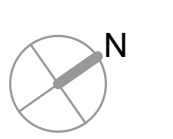
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Stephenville Office



PROJECT KEY

ARCHITECT STAMP

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REVISIONS

No.	Description	Date
1	PERMIT ISSUE	05/13/2022

SHEET TITLE  
**LIGHTING SCHEDULE**  
DWG INFO  
PROJECT: 2022-01  
ISSUE DATE: 01/07/2022  
DRAWN BY: DN  
CHECKED BY: DN, JK  
**SHEET LT1.1**



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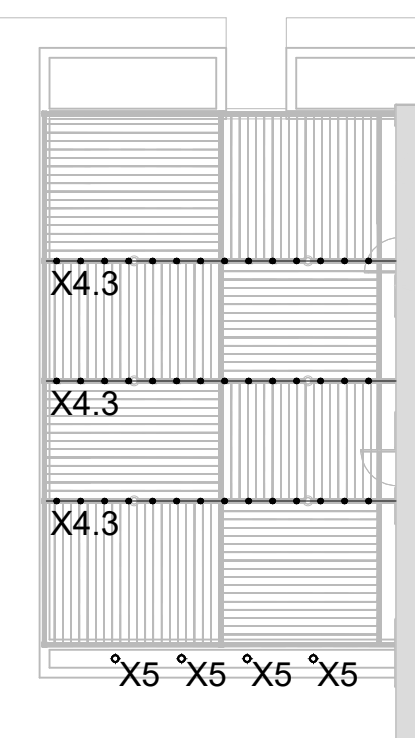
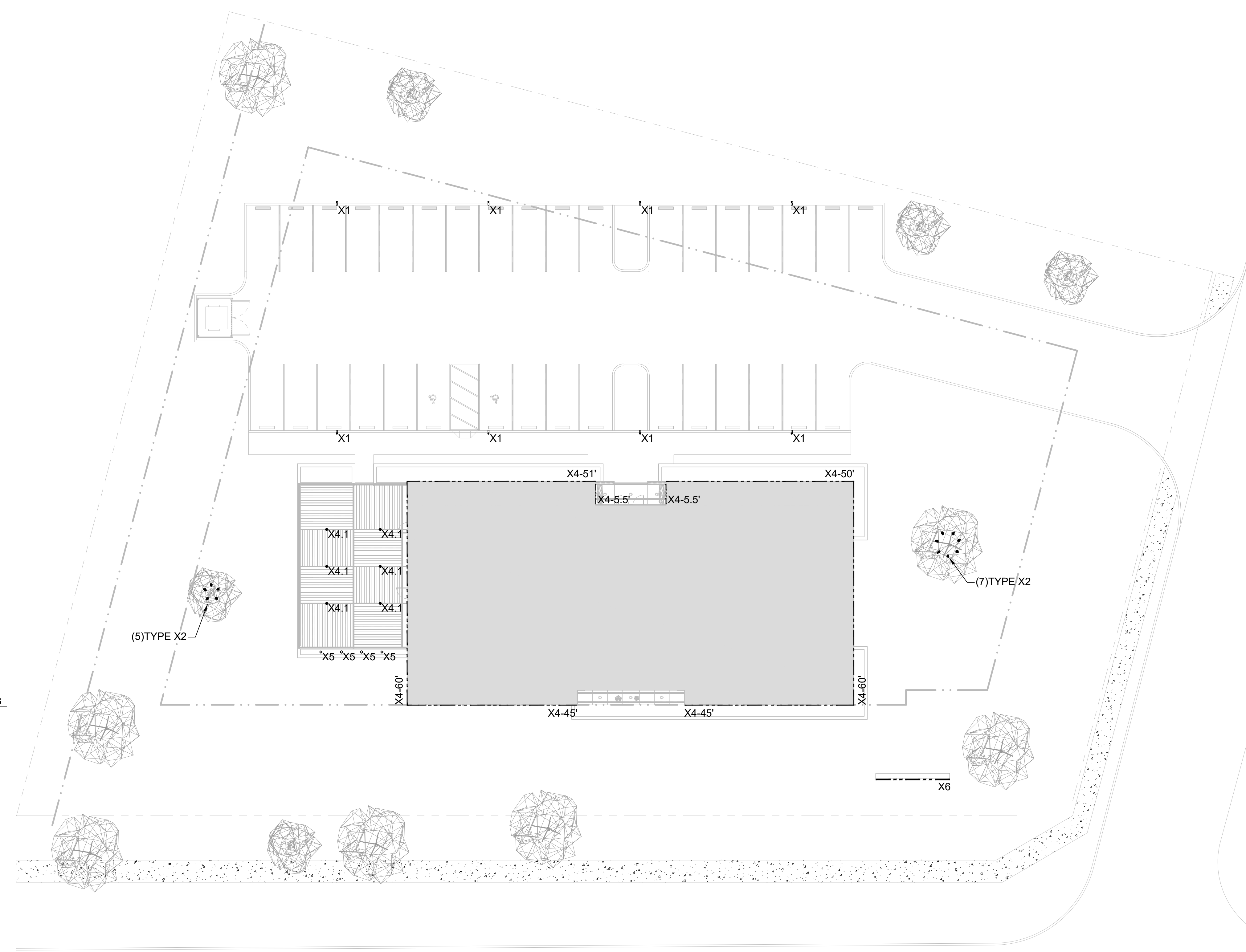
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No.	Description	Date
1	PERMIT ISSUE	05/13/2022

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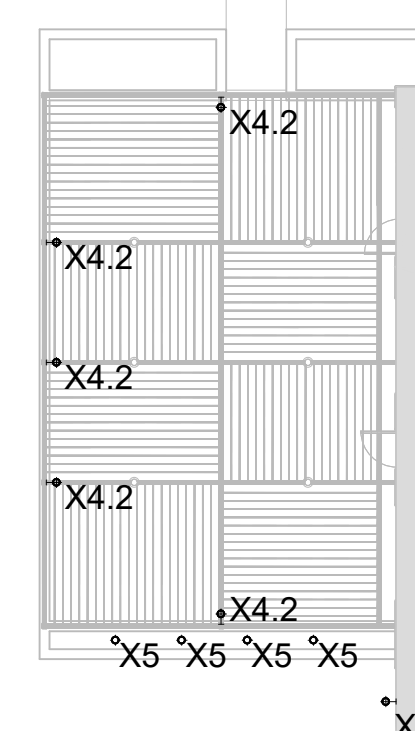
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PROJECT: 2022-01  
ISSUE DATE: 01/07/2022  
DRAWN BY: DN  
CHECKED BY: DN, JK

SHEET **LT1.1**

- Lighting Legend**
- Wall Mounted Adjustable
  - ⊙ Wall Mounted Ceiling Wash
  - ⊙ Ceiling Mounted Adjustable
  - ⊙ Ceiling Mounted Wallwash
  - ⊙ Recessed Adjustable Accent
  - Recessed Fixture
  - ⊙ Recessed Wall Washer
  - ⊙ Recessed Double Wall Washer
  - ⊙ Recessed Corner Wall Washer
  - ⊙ Stake Mounted Fixture
  - ⊙ Surface Mounted Fixture
  - ⊙ Decorative Wall Sconce
  - ⊙ Decorative Pendant, Chandelier or Ceiling Mount
  - ⊙ Decorative Table or Floor Lamp
  - PAR Cove Lighting
  - Linear Lighting (Horizontal)
  - Linear Lighting (Vertical)
  - Track Fixture
  - Fluorescent Strip
  - Recessed 1x4
  - Recessed 2x2
  - Recessed 2x4
  - ▨ Recessed 1x4 with louver
  - ▨ Wall Mounted Linear Strip w/Lens
  - ▨ Suspended Linear
  - ▨ Fiber Optic Illuminator - must be accessible
  - ⊙ Stem Mounted Rectangular Accent
  - ⊙ Ceiling Mounted Rectangular Accent
  - ⊙ Recessed Rectangular Wall Washer
  - ⊙ Step Light
  - ⊙ Well Light
  - ⊙ Stake Mounted Adjustable
  - ⊙ Stake Mounted Horiz/Linear/Adjustable
  - ⊙ Fan with Light Kit
  - ⊙ Pole Mounted Single Head
  - ⊙ Pole Mounted Double Head - Back to Back
  - ⊙ Bollard
  - ⊙ Exit Sign
  - ⊙ Remote Transformer (xxx=VA Rating)
  - ⊙ Dimmed Floor Receptacle (NEMA 6-20R Note 2)
  - ⊙ Dimmed Duplex Receptacle (NEMA 6-20R Note 2)
  - ⊙ Wallbox Dimmer or Switch
  - ⊙ Remote Keypad
  - ⊙ Partition Control
  - ⊙ Lighting Control Panel - Dimmer Rack



1 PATIO LIGHTING PLAN - OPTION 3  
1/16" = 1'-0"



1 PATIO LIGHTING PLAN - OPTION 2  
1/16" = 1'-0"

1 SITE LIGHTING PLAN - BUILDING FACADE OPTION 1  
1/16" = 1'-0"



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ADDRESS: FM 988 NW & Pecan Hill Dr.

PROJECT  
Stephenville Office



ARCHITECT STAMP

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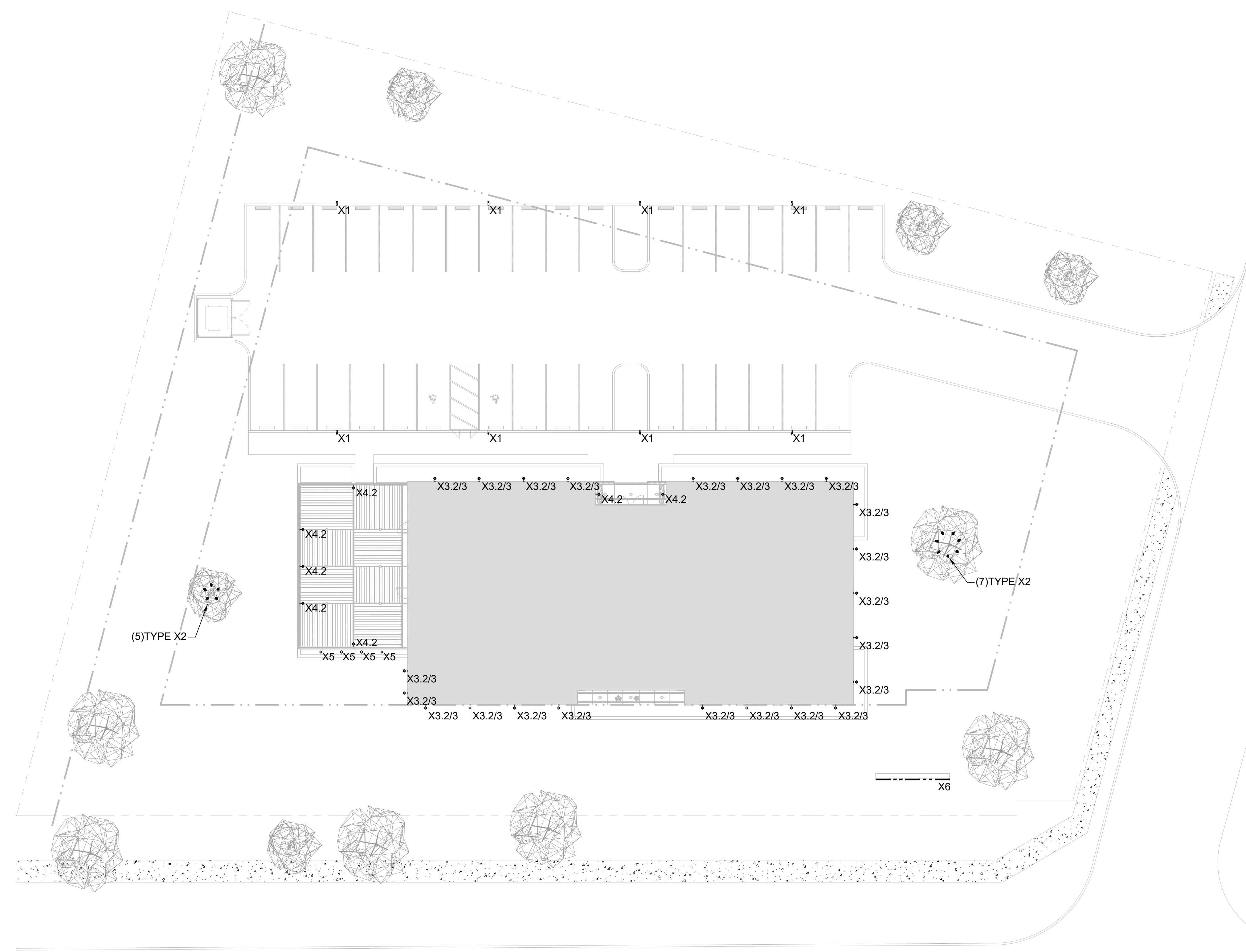
REVISIONS		
No.	Description	Date
1	PERMIT ISSUE	05/13/2022

SHEET TITLE  
**SITE LIGHTING  
PLANS**

DWG INFO  
PROJECT: 2022-01  
ISSUE DATE: 01/07/2022  
DRAWN BY: DN  
CHECKED BY: DN, JK

SHEET **LT1.2**

- Lighting Legend**
- Wall Mounted Adjustable
  - Wall Mounted Ceiling Wash
  - Ceiling Mounted Adjustable
  - Ceiling Mounted Wallwash
  - Recessed Adjustable Accent
  - Recessed Fixture
  - Recessed Wall Washer
  - Recessed Double Wall Washer
  - Recessed Corner Wall Washer
  - Stake Mounted Fixture
  - Surface Mounted Fixture
  - Decorative Wall Sconce
  - Decorative Pendant, Chandelier or Ceiling Mount
  - Decorative Table or Floor Lamp
  - PAR Cove Lighting
  - Linear Lighting (Horizontal)
  - Linear Lighting (Vertical)
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  - Fluorescent Strip
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  - Recessed 2x2
  - Recessed 2x4
  - Recessed 1x4 with louver
  - Wall Mounted Linear Strip w/Lens
  - Suspended Linear
  - Fiber Optic Illuminator - must be accessible
  - Stem Mounted Rectangular Accent
  - Ceiling Mounted Rectangular Accent
  - Recessed Rectangular Wall Washer
  - Step Light
  - Well Light
  - Stake Mounted Adjustable
  - Stake Mounted Horiz/Linear/Adjustable
  - Fan with Light Kit
  - Pole Mounted Single Head
  - Pole Mounted Double Head - Back to Back
  - Bollard
  - Exit Sign
  - Remote Transformer (xxx=VA Rating)
  - Dimmed Floor Receptacle (NEMA 6-20R Note 2)
  - Dimmed Duplex Receptacle (NEMA 6-20R Note 2)
  - Wallbox Dimmer or Switch
  - Remote Keypad
  - Partition Control
  - Lighting Control Panel - Dimmer Rack



1 SITE LIGHTING PLAN - BUILDING FACADE OPTION 2  
1/16" = 1'-0"

Project: Stephenville Office  
 CREO Project #: 2004  
 Project Schedule - DRAFT  
 04/29/2022 (Revision 01)

			2022												2023		
			APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	JANUARY	FEB - JULY	AUGUST	SEPTEMBER		
<b>Proposal / Contractor Solicitation</b>																	
	Start:	5/2/2022															
	Finish:	6/15/2022															
	Milestones:																
	Solicit Design Consultant Proposals	5/9/2022															
	PRELIMINARY ZONING HEARING	5/18/2022															
	COUNCIL MEETING (ZONING APPROVAL)	6/6/2022															
	Prelim Pricing From Potential Contractors	6/15/2022															
<b>Consultant Design Development (DD)</b>																	
	Start:	6/16/2022															
	Finish:	8/15/2022															
	Milestones:																
	DD Worksession #1	6/16/2022															
	Consultant Design Narrative For Pricing	7/14/2022															
	100 % DD / Updated Pricing	8/15/2022															
<b>Construction Documents (CD)</b>																	
	Start:	8/16/2022															
	Finish:	5/25/2022															
	Milestones:																
	CD Worksession #1	8/28/2022															
	50% CD Package	9/13/2022															
	95% CD Package	10/16/2022															
	Final CD Package / PERMIT SET ISSUED	10/30/2022															
<b>Bidding and Contracting</b>																	
	Start:	11/1/2022															
	Finish:	11/30/2022															
<b>Contract Administration (CA)</b>																	
	(Estimate Only)																
	Start: PERMIT ISSUED	12/1/2022															
	Finish:	9/1/2023															



February 23, 2022

30217554.00

Mr. Justin Haschke

Stephenville, TX 76401

RE: Traffic Impact Summary  
 BMY Stephenville Office  
 Pecan Hill Dr. and FM 988

Dear Mr. Haschke,

Based on our review of the City of Stephenville Engineering Standards Manual, a traffic impact analysis is not required for the proposed land use unless the office facility generates more than 500 average daily trips, the development consists of over 100 acres, or the proposed work changes the city's throughfare plan. None of these scenarios apply to the proposed BMY office development.

The proposed development will consist of an approximate 6,800 square foot single tenant office/professional services building. A summary of the traffic impact from this development is shown below, derived from the 11th edition of the Institute of Transportation (ITE) trip generation manual.

ITE#	Main LU Type	Sub LU Type	Method	Units	Unit Type
715	Office	Single Tenant Office Building (Pk Hr, AM & PM)	Linear Rate	6.8	1,000 Square Feet Gross Floor Area

Weekday			AM Peak			PM Peak		
Daily	In	Out	Total	In	Out	Total	In	Out
77	38	38	12	11	1	12	2	10

Based on this summary, it is our opinion that the traffic generated from this development will have a negligible impact on the City of Stephenville's thoroughfare system.

If you should have any questions about the information contained herein, please do not hesitate to contact our WGI office for clarification.

Regards,

**WGI, Inc.**

Dustan DeWinne, P.E.  
 Asst. Team Leader

GENERAL LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS ARE TO BE PLANTED WITHIN .1' OF PROPOSED FINISH GRADE AND FREE FROM ALL TRASH AND DEBRIS.

2. ALL TREES ARE TO BE PLANTED IN PITS TWICE THE DIAMETER OF THE TREE BALL AND NO DEEPER THAN THE DEPTH OF THE BALL. SCARIFY ALL TREE PIT SIDES PRIOR TO PLANTING. ALL TREES ARE TO BE PLANTED PLUMB AND AT OR SLIGHTLY ABOVE FINISH GRADE. ALL TREE PITS ARE TO HAVE A 3" WATERING SAUCER FORMED AROUND THE PERIMETER OF THE PIT. ALL TREE PITS ARE TO BE TOP DRESSED WITH A 2" LAYER OF SHREDDED HARDWOOD MULCH. STAKE AND / OR GUY TREES ONLY AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.

3. ROTOVATE THE EXISTING SOIL OF ALL PLANTING BEDS TO A MINIMUM DEPTH OF 6". ADD A 3" LAYER OF PREMIUM COMPOST AS SUPPLIED BY LIVING EARTH TECHNOLOGY AND TILL INTO THE TOP 3" OF THE EXISTING SOIL. INSTALL ALL SHRUBS 1" ABOVE FINISH GRADE AND FERTILIZE WITH AGRI-FORM SLOW RELEASE FERTILIZER TABLETS AT THE MANUFACTURER'S RECOMMENDED RATES OF APPLICATION. TOP DRESS ALL PLANTING BEDS WITH A 2" LAYER OF SHREDDED HARDWOOD MULCH.

4. ALL PLANTING BEDS NOT FORMED BY A CONCRETE CURB OR SIDEWALK ARE TO EDGED WITH STEEL EDGING (3/16" X 4" PAINTED GREEN) OR AN APPROVED EQUAL. ALL EDGING STAKES ARE TO BE PLACED TO THE INSIDE OF THE BED AND THE TOP OF THE EDGING IS TO BE NO LESS THAN 1" AND NO MORE THAN 1.5" ABOVE PROPOSED FINISH GRADE.

5. ALL TURF AREAS ARE TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE PLAN.

6. HYDROMULCH WITH BERMUDAGRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND APRIL 1, ALL HYDROMULCH AREAS TO BE WINTER RYEGRASS AT A RATE OF FOUR (4) POUNDS PER THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDAGRASS THE FOLLOWING

PROJECT INFORMATION

DESCRIPTION: NEW OFFICE BUILDING

LANDSCAPE: 15-FOOT WIDE LANDSCAPE EASEMENT = 14,070 SF

SF AREAS: TOTAL SITE = 51,820 SF
PAVEMENT = 13,220 SF
BUILDING AREA = 8,635 SF
OPEN SPACE/ LANDSCAPE = 29,965 SF
TOTAL AC SF 51,820 SF

SITE FRONTAGE = PECAN HILL DRIVE = 150 LF
FM 988 NW = 285 LF
LANDSCAPE: 15% of 51,820 SF = 7,773 SF REQUIRED
= 29,965 SF PROVIDED
PARKING LOT LANDSCAPE REQUIREMENTS:
1 SHADE TREE PER 12 PARKING SPACES
1 LANDSCAPED PARKING ISLAND PER 12 PARKING SPACES
MINIMUM PLANTINGS: 1000 SF OF 7,773 SF =

REQUIRED: 8 - 3" CALIPER SHADE TREES, 16 - ORNAMENTAL TREES, IRRIGATION SYSTEM, 2 - SHADE TREES IN PARKING LOT
PROVIDED: 8 - 3" CALIPER SHADE TREES(existing to remain), 16 - ORNAMENTAL TREES, IRRIGATION SYSTEM, 2 - SHADE TREES IN PARKING LOT

NOTES:

- 1) ALL QUANTITIES ARE ESTIMATED AND ARE TO BE VERIFIED BY THE CONTRACTOR
2) THE CENTRAL LEADER SHALL BE INTACT.

PLANT TABULATION

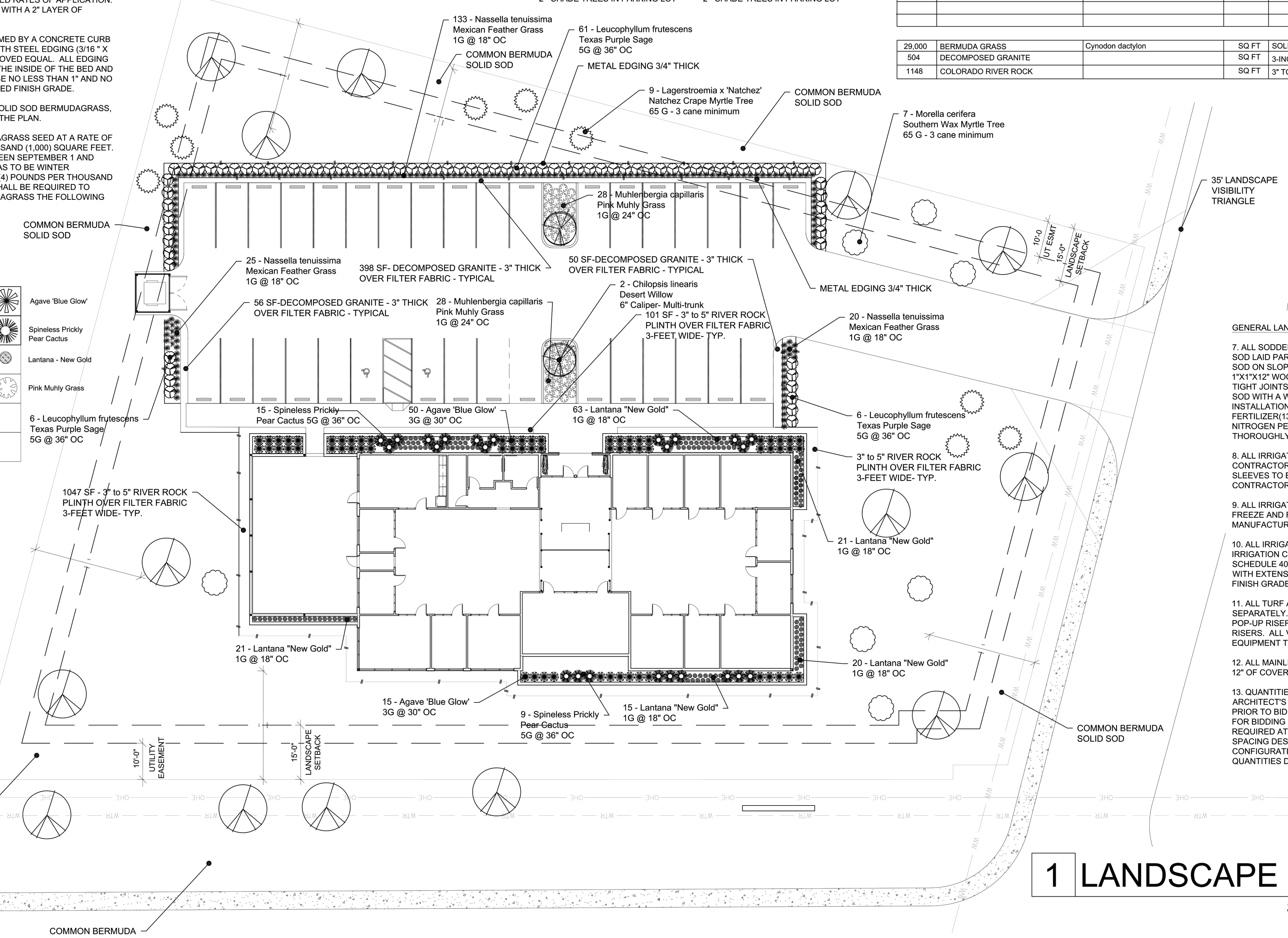
Table with 5 columns: QUANTITY, COMMON NAME, BOTANICAL NAME, SIZE, NOTES. Lists plants like Desert Willow, Natchez Crape Myrtle Tree, Southern Wax Myrtle Tree.

Table with 5 columns: QUANTITY, COMMON NAME, BOTANICAL NAME, SIZE, NOTES. Lists plants like Mexican Feathergrass, Spineless Prickly Pear Cactus, Texas Purple Sage, Pink Muhly Grass, Agave 'Blue Glow', Lantana 'New Gold'.

Table with 5 columns: QUANTITY, COMMON NAME, BOTANICAL NAME, SIZE, NOTES. Lists materials like Bermuda Grass, Decomposed Granite, Colorado River Rock.

PLANT LEGEND

- Wax Myrtle Tree, Crape Myrtle- White, Existing Tree, Chinese Pistachio, Texas Sage, Mexican Feathergrass, Agave 'Blue Glow', Spineless Prickly Pear Cactus, Lantana - New Gold, Pink Muhly Grass, 6 - Leucophyllum frutescens Texas Purple Sage 5G @ 36" OC



GENERAL LANDSCAPE NOTES

7. ALL SODDED AREAS ARE TO RECEIVE COMMON BERMUDA SOD LAID PARALLEL TO THE CONTOUR OF THE LAND. ALL SOD ON SLOPES GREATER THAN 1:4 IS TO BE PINNED WITH 1"X1"X12" WOODEN STAKES. ALL SOD IS TO BE LAID WITH TIGHT JOINTS AND WITH ALL JOINTS STAGGERED. ROLL ALL SOD WITH A WATER BALLAST LAWN ROLLER UPON INSTALLATION AND FERTILIZE WITH A COMPLETE FERTILIZER(13-13-13) AT THE RATE OF 1.5# ACTUAL NITROGEN PER 1000 SQUARE FEET.WATER ALL SOD THOROUGHLY.

8. ALL IRRIGATION METER(S) ARE TO BE BY UTILITY CONTRACTORS AS PER LOCAL CODES. IRRIGATION SLEEVES TO BE INSTALLED BY LICENSED IRRIGATION CONTRACTOR AS PER THE PLAN.

9. ALL IRRIGATION CONTROLLERS ARE TO HAVE MINI-CLICK FREEZE AND RAIN STATS INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS.

10. ALL IRRIGATION SLEEVES TO BE BY LICENSED IRRIGATION CONTRACTOR.ALL SLEEVES TO BE PVC SCHEDULE 40 WITH 90 DEGREE ELBOWS ON BOTH ENDS WITH EXTENSIONS PROTRUDING 18" ABOVE PROPOSED FINISH GRADE.

11. ALL TURF AND PLANTING BEDS TO BE ZONED SEPARATELY. ALL PLANTING BED HEADS TO BE ON 12" POP-UP RISERS. ALL TURF HEADS TO BE ON 4"POP-UP RISERS. ALL VALVES TO BE PLASTIC VALVES.ALL EQUIPMENT TO BE RAINBIRD OR APPROVED EQUAL.

12. ALL MAINLINE AND LATERAL LINE TO HAVE A MINIMUM OF 12" OF COVER AND TO BE SDR (CLASS 200) PIPE.

13. QUANTITIES SHOWN ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR SHALL BE RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT M SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON THE PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT LIST.



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CLIENT
NAME: Justin Haschke
ADDRESS: FM 988 NW & Pecan Hill Dr.

PROJECT
Stephenville Office

PROJECT KEY

ARCHITECT STAMP

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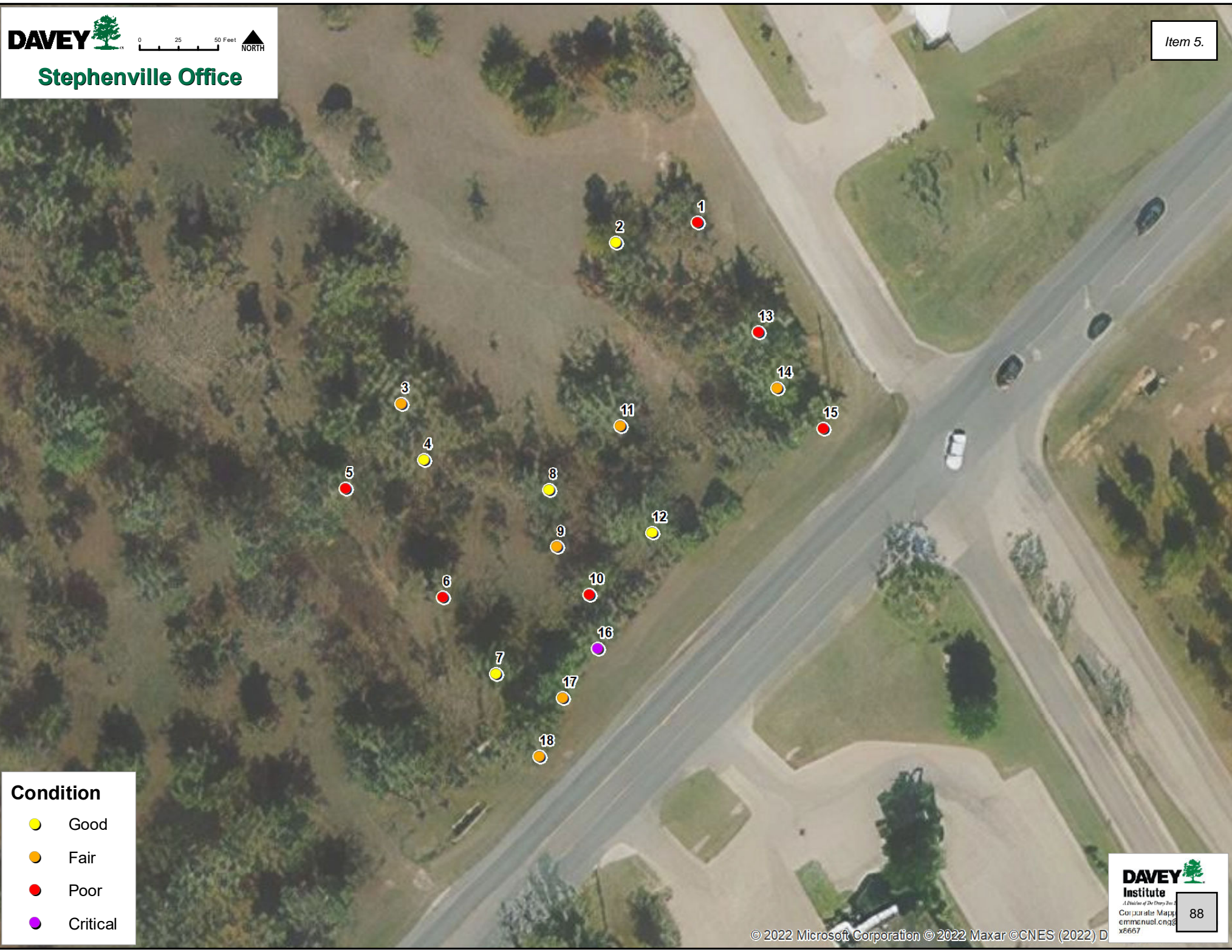
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SHEET TITLE
DRAWING INFORMATION

DWG INFO
PROJECT: 2004
ISSUE DATE: 03/14/2022
DRAWN BY: JRP
CHECKED BY: DDG

SHEET LP001

1 LANDSCAPE PLAN
SCALE: 1/16" = 1'-0" NORTH



**Condition**

-  Good
-  Fair
-  Poor
-  Critical





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PROJECT  
Stephenville Office



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No.	Description	Date
1	PD REQUEST	5/16/22

SHEET TITLE  
DRAWING  
INFORMATION

DWG INFO  
PROJECT: 2004  
ISSUE DATE: 04/08/2022  
DRAWN BY: JRP  
CHECKED BY: DDG

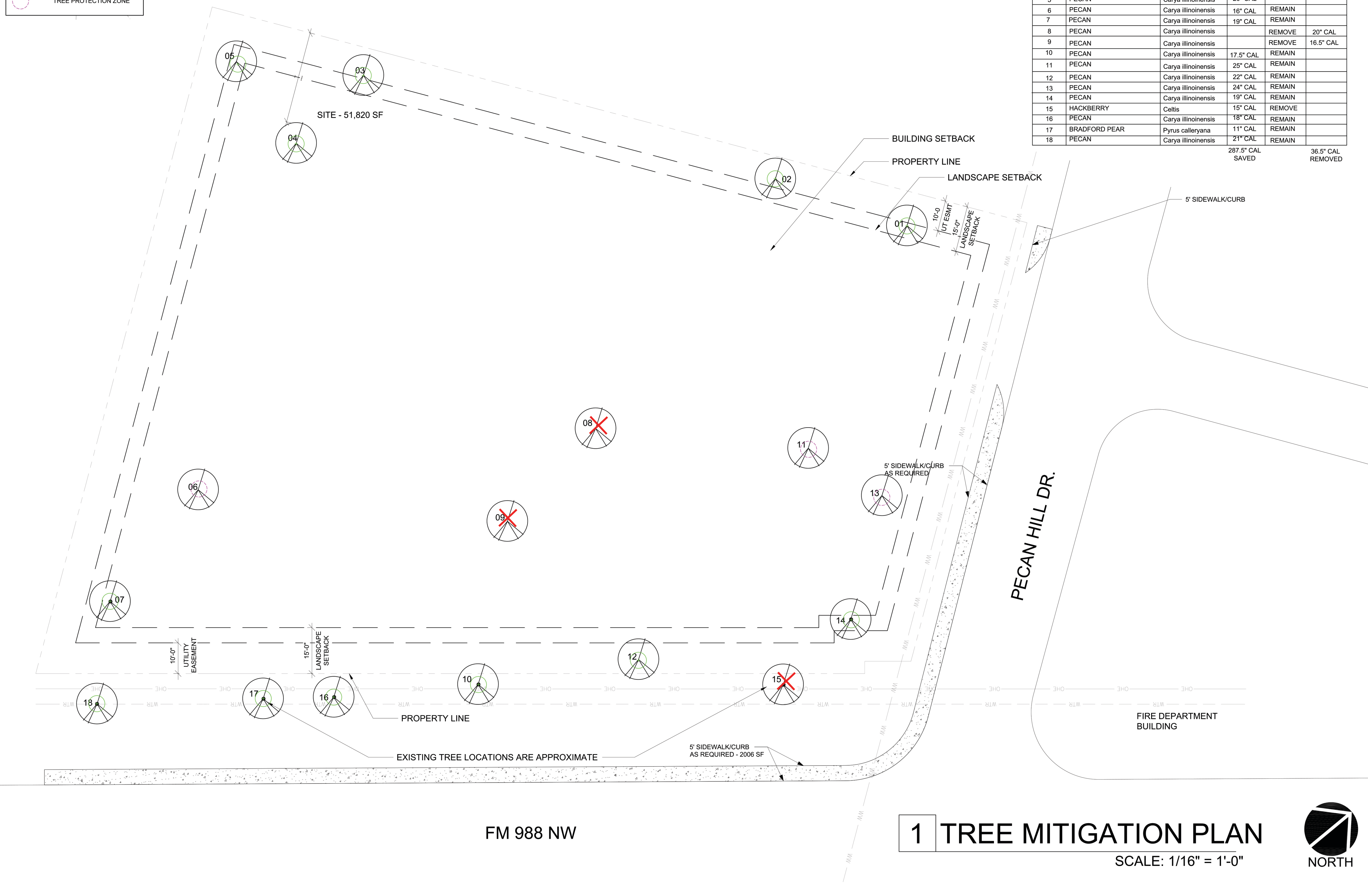
SHEET **LP002**

TOTAL INCHES TO BE MITIGATED = 36.5

TREE ID	COMMON NAME	BOTANICAL NAME	DBH		DBH
1	BLACKJACK OAK	Quercus marilandica	6" CAL	REMAIN	
2	POST OAK	Quercus stellata	11" CAL	REMAIN	
3	PECAN	Carya illinoensis	25" CAL	REMAIN	
4	PECAN	Carya illinoensis	17" CAL	REMAIN	
5	PECAN	Carya illinoensis	20" CAL	REMAIN	
6	PECAN	Carya illinoensis	16" CAL	REMAIN	
7	PECAN	Carya illinoensis	19" CAL	REMAIN	
8	PECAN	Carya illinoensis		REMOVE	20" CAL
9	PECAN	Carya illinoensis		REMOVE	16.5" CAL
10	PECAN	Carya illinoensis	17.5" CAL	REMAIN	
11	PECAN	Carya illinoensis	25" CAL	REMAIN	
12	PECAN	Carya illinoensis	22" CAL	REMAIN	
13	PECAN	Carya illinoensis	24" CAL	REMAIN	
14	PECAN	Carya illinoensis	19" CAL	REMAIN	
15	HACKBERRY	Celtis	15" CAL	REMOVE	
16	PECAN	Carya illinoensis	18" CAL	REMAIN	
17	BRADFORD PEAR	Pyrus calleryana	11" CAL	REMAIN	
18	PECAN	Carya illinoensis	21" CAL	REMAIN	
			287.5" CAL SAVED		36.5" CAL REMOVED

**SYMBOLS LEGEND**

- REMOVE TREE
- PRESERVE TREE
- TREE PROTECTION ZONE



# 1 TREE MITIGATION PLAN

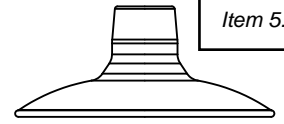
SCALE: 1/16" = 1'-0"



FM 988 NW

**DOMINION INTEGRATED LED SERIES**

JOB NAME: \_\_\_\_\_ FIXTURE TYPE: \_\_\_\_\_



BLE - \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

**A**                  **B**                  **C**                  **D**                  **E**                  **F**                  **G**

                  \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

**H**                  **I**                  **J**                  **K**                  **L**

Order Example: BLE - F - SBD14 - 307 - FM - 307 - NA - WC - 100 - LED16 - 2700K - DL

**A - MOUNTING STYLE**

<b>C</b>	Cord Hung
<b>CN</b>	Chain Hung
<b>F</b>	Flush Mount
<b>G</b>	Gooseneck
<b>S</b>	Stem Mount

**B - SHADE SIZE****DOMINION:**

**SBD12**  
**SBD14**  
**SBD16**

**C - SHADE FINISH****PORCELAIN FINISHES<sup>3</sup>:**

<b>150</b>	Black
<b>250</b>	White
<b>350</b>	Vintage Green
<b>355</b>	Jadite
<b>455</b>	Cherry Red
<b>550</b>	Yellow
<b>650</b>	Bronze
<b>750</b>	Cobalt Blue
<b>765</b>	Delphite Blue
<b>850</b>	Graphite
<b>950</b>	Metallic Chrome

**POWDER COAT FINISHES<sup>4</sup>:**

<b>100</b>	Black
<b>105</b>	Textured Black
<b>200</b>	White
<b>300</b>	Dark Green
<b>307</b>	Emerald Green
<b>311</b>	Jadite
<b>370</b>	Mint
<b>380</b>	Chartreuse
<b>390</b>	Teal
<b>400</b>	Barn Red
<b>420</b>	Orange
<b>470</b>	Watermelon
<b>480</b>	Blush Pink
<b>490</b>	Magenta
<b>495</b>	Sherbet Orange
<b>500</b>	Buttery Yellow
<b>570</b>	Sunflower
<b>600</b>	Bronze
<b>601</b>	Chocolate
<b>605</b>	Rust
<b>615</b>	Oil-Rubbed Bronze
<b>700</b>	Royal Blue
<b>705</b>	Navy
<b>710</b>	Cobalt Blue
<b>715</b>	Delphite Blue

**C - SHADE FINISH (CONTINUED)****POWDER COAT FINISHES<sup>4</sup>:**

<b>790</b>	Lavender
<b>800</b>	Industrial Grey
<b>805</b>	Charcoal Granite
<b>810</b>	Graphite
<b>975</b>	Galvanized

**NATURAL METALS<sup>6</sup>:**

<b>995</b>	Raw Copper
<b>996</b>	Weathered Copper
<b>997</b>	Raw Brass
<b>998</b>	Weathered Brass
<b>999</b>	Oil-Rubbed Copper

**D - MOUNTING**

Please Note: If Flush Mount [F] is selected in Section A, please select **NA**

<b>NA</b>	Not Applicable
-----------	----------------

**CSA LISTED CORDS:**

<b>SBK</b>	Standard Black
<b>SWH</b>	Standard White
<b>CSB</b>	Black Cloth
<b>CSW</b>	White Cloth
<b>CMG</b>	Grey Cloth
<b>CSR</b>	Red Cloth
<b>CRZ</b>	Red Chevron Cloth
<b>CSBB</b>	Black & Brown Cloth
<b>CSRW</b>	Red & White Cloth
<b>CSGW</b>	Gold & White Cloth
<b>CSBG</b>	Black & Gold Cloth
<b>CSBW</b>	Black & White Cloth
<b>CSBP</b>	Black & Pink Cloth
<b>CSUW</b>	Blue & White Cloth

**CHAIN MOUNT OPTIONS:**

<b>CN36</b>	3' of Chain <sup>1</sup>
<b>CN48</b>	4' of Chain <sup>1</sup>
<b>CN60</b>	5' of Chain <sup>1</sup>
<b>CN72</b>	6' of Chain <sup>1</sup>

**GOOSENECK OPTIONS:**

<b>G1<sup>1</sup></b>	<b>G11<sup>1</sup></b>	<b>G26<sup>1</sup></b>
<b>G2<sup>1</sup></b>	<b>G12<sup>1</sup></b>	<b>G32</b>
<b>G3<sup>1,2</sup></b>	<b>G13</b>	<b>G34<sup>1</sup></b>
<b>G4<sup>2</sup></b>	<b>G14</b>	<b>G35<sup>1</sup></b>
<b>G5<sup>1</sup></b>	<b>G15</b>	<b>G36<sup>1</sup></b>
<b>G6</b>	<b>G16<sup>1</sup></b>	<b>G64<sup>1</sup></b>
<b>G7</b>	<b>G17</b>	<b>G65<sup>1</sup></b>
<b>G8</b>	<b>G22</b>	
<b>G9</b>	<b>G24</b>	
<b>G10</b>	<b>G25</b>	

**D - MOUNTING (CONTINUED)****STEM MOUNT OPTIONS:**

<b>ST506</b>	.5" Stem Mount, 6" <sup>1</sup>
<b>ST512</b>	.5" Stem Mount, 12" <sup>1</sup>
<b>ST518</b>	.5" Stem Mount, 18" <sup>1</sup>
<b>ST524</b>	.5" Stem Mount, 24" <sup>1</sup>
<b>ST536</b>	.5" Stem Mount, 36" <sup>1</sup>
<b>ST548</b>	.5" Stem Mount, 48" <sup>1</sup>
<b>ST706</b>	.75" Stem Mount, 6"
<b>ST712</b>	.75" Stem Mount, 12"
<b>ST718</b>	.75" Stem Mount, 18"
<b>ST724</b>	.75" Stem Mount, 24"
<b>ST736</b>	.75" Stem Mount, 36"
<b>ST748</b>	.75" Stem Mount, 48"

**E - MOUNTING FINISH**

Please Note: See **Section C** for Finish Options. 980-Brushed Aluminum is also available for Gooseneck and Stem mounting styles. If a Porcelain shade finish is selected, mounting will be powder coat painted-to-match. Porcelain shade finishes are not available with a Natural Metal mounting finish  
(I) If Cord Hung [C], selection identifies canopy finish  
(II) If Chain Hung [CN] Mounting Style, selection identifies chain and canopy finish. Natural Metals are not applicable  
(III) If Stem Mount [S] Mounting Style, selection identifies stem and canopy finish  
(IV) If Flush Mount [F] Mounting Style, selection identifies hex coupler and canopy finish. Natural Metals are not applicable

<b>980</b>	Brushed Aluminum
------------	------------------

**F - CORDS<sup>5</sup>**

<b>NA</b>	Not Applicable
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Please Note: See **Section D** for all applicable CSA Listed Cord Options

**G - SHADE ACCESSORIES**

<b>NA</b>	None
<b>WC</b>	Wire Cage <sup>1</sup>

**H - SHADE ACCESSORY FINISH**

Please Note: See **Section C** for Finish Options. Natural Metals not applicable with Acrylic Diffuser or Wire Cage. If Porcelain Finish is selected, accessory will be powder coat painted-to-match

<b>NA</b>	Not Applicable
-----------	----------------

**I - MOUNTING ACCESSORY**

Please Note: Mounting Accessories below are only applicable with select Mounting Styles. Please refer to product listings on our website for further detail.

<b>NA</b>	None/Not Applicable
<b>HSC</b>	Hang Straight Canopy <sup>17</sup>
<b>LDBPC</b>	LED Decorative Backing Plate Cover <sup>8</sup>
<b>LDCHX</b>	LED Decorative Backing Plate Cover & Hex Cover <sup>8</sup>

**J - LIGHT SOURCE**

<b>LED11</b>	850 Lumen, 11W LED
<b>LED16</b>	1250 Lumen, 16W LED
<b>LED27</b>	2000 Lumen, 27W LED
<b>LED38</b>	3000 Lumen, 38W LED
<b>LED43</b>	4000 Lumen, 43W LED

**K - COLOR TEMPERATURE**

<b>2700K</b>	2700K, Warm White
<b>3000K</b>	3000K, Neutral White
<b>3500K</b>	3500K, Bright White
<b>4000K</b>	4000K, Cool White

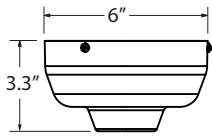
**L - LED LENS**

<b>DL</b>	Domed Lens
<b>FL</b>	Flat Lens

**IMPORTANT:** (1) Not available in Natural Metals (2) Not compatible with 16" shade size (3) All Porcelain Enamel finished shades feature a white interior and a black outer rim (4) All Powder Coat finished shades, Galvanized excluded, feature a white interior (5) Only applicable if Chain Hung Mounting Style selected in Section A, select NA if another Mounting Style is selected (6) Natural Metals have a longer estimated manufacturing time, please check the website for exact lead time. There are no returns accepted on Natural Metals (7) Only applicable if Stem Mounting Style is selected in Section A (8) Not available with G36 Gooseneck option

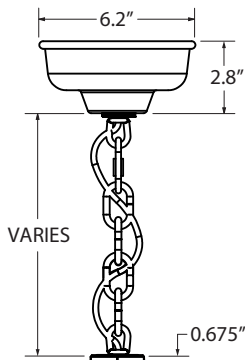
**MOUNTING STYLE**

**HIGH LUMEN CANOPY FOR PENDANT & FLUSH MOUNT**



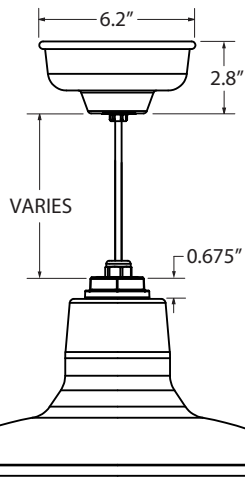
Required if LED 27, 38, 43 Light Source selected in Section J

**CHAIN HUNG PENDANT (CN)**



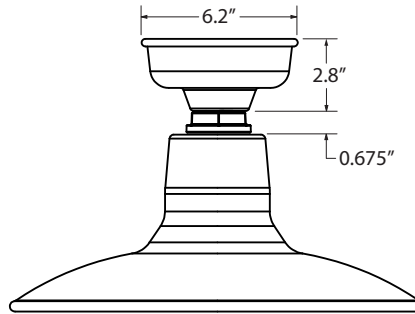
Canopy shown required if LED 11 & 16 Light Source selected in Section J

**CORD HUNG PENDANT (C)**



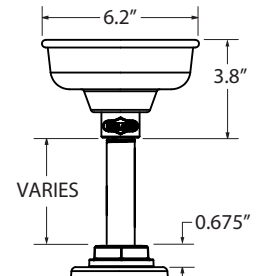
Canopy shown required if LED 11 & 16 Light Source selected in Section J

**FLUSH MOUNT (F)**



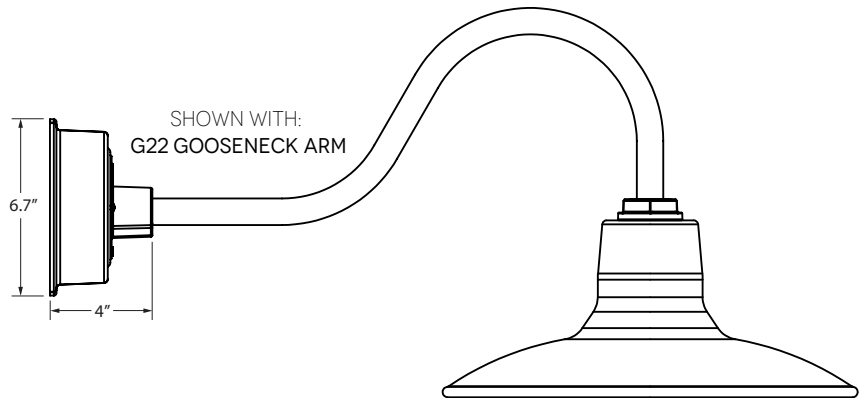
Canopy shown required if LED 11 & 16 Light Source selected in Section J

**STEM MOUNT PENDANT (S)**

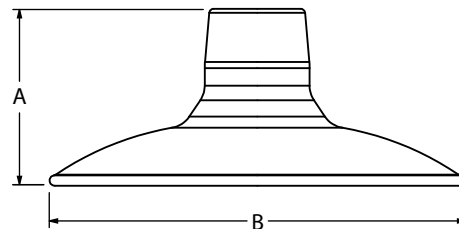


Canopy shown required if LED 11 & 16 Light Source selected in Section J

**GOOSENECK (G)**



**LUMINAIRE DIMENSIONS**



SHADE CODE	HEIGHT (A)	DIAMETER (B)
SBD12	5.25"	12"
SBD14	6"	14"
SBD16	6.75"	16"

**SPECIFICATIONS**

**LED 11, 16, 27, 38, 43 LIGHT SOURCE**

LED TYPE: CREE LMH2 MODULE  
 INITIAL LUMENS DELIVERED: UP TO 4000 LUMENS  
 L90(6K) > 36,300 HOURS  
 AVAILABLE CCT: 2700K, 3000K, 3500K, 4000K  
**Custom Temperatures Available upon Request**  
 90+ CRI  
 2 STEP MACADAMS ELLIPSE  
 EFFICACY: UP TO 93 LPW  
**High Efficacy Available upon Request, Consult Factory for Additional Information**

**DIMMING**

LED 11 & 16  
**Triac Dimming at 100-120VAC, Able to Dim down to 5%.  
 Dependent on Specific Dimmer.  
 0-10V & ELV Dimming Available upon Request.**  
 LED 27, 38 & 43  
**0-10V Dimming, Able to Dim down to 10%.  
 Dependent on Specific Dimmer.  
 Triac & ELV Dimming Available upon Request.**  
 TRIAC & ELV DIMMING AT 230 VAC  
**Available by Request**  
 COMPATIBLE DIMMERS  
**Consult Factory for Additional Information on Dimming**

**LED 27, 38, 43 ELECTRICAL/LED DRIVER**

DRIVER TYPE: LMD400      DRIVE CURRENT: 940mA  
 POWER FACTOR > 0.95      EFFICIENCY: UP TO 81% TYPICAL  
 INPUT VOLTAGE: 120-277 VAC (SEE DIMMING SECTION)  
 CLASS 2 POWER SUPPLY  
 LED DRIVER LIFETIME: > 50,000 HOURS (@ 25 DEG C AMBIENT)  
 CONDUCTED AND RADIATED EMI  
**Compliant with FCC CFR Title 47 Part 15 Class B (120 VAC), Class A (277 VAC) and EN55015 (CISPR 15) at 230 VAC**

**CERTIFICATIONS, LISTINGS & WARRANTY**

MADE IN THE USA  
**Manufactured and Hand-Crafted in Our 60,000 Square Foot Facility  
 Located in Titusville, FL**  
 CSA LISTED FOR WET LOCATIONS  
**Includes All Gooseneck, Stem and Flush Mounting Styles**  
 CSA LISTED FOR DAMP LOCATIONS  
**Includes All Chain and Select Cord Hung Mounting Styles**  
 LIMITED WARRANTY  
**For Additional Information on Our Limited Warranty, Please See  
 Our Terms & Conditions**  
 OPERATING TEMPERATURE  
 -30°C to 40°C

**LED 11, 16 ELECTRICAL/LED DRIVER**

DRIVER TYPE: LMD125  
 DRIVE CURRENT: 440mA  
 POWER FACTOR > 0.9  
 EFFICIENCY: UP TO 81% TYPICAL  
 INPUT VOLTAGE: 100-120 VAC (SEE DIMMING SECTION)  
 CLASS 2 POWER SUPPLY  
 LED DRIVER LIFETIME: > 50,000 HOURS (@ 25 DEG C AMBIENT)  
 CONDUCTED AND RADIATED EMI  
**Compliant with FCC CFR Title 47 Part 15 Class B (120 VAC), Class A (277 VAC) and EN55015 (CISPR 15) at 230 VAC**

**SHADE & FINISHES**

POWDER COAT SHADE  
**Hand-Spun from High Purity 0.050" Thick 3003-O Temper  
 Aluminum**  
 PORCELAIN SHADE  
**Hand-Spun from 20 Gauge Sheet Metal**  
 POWDER COAT FINISHES  
**Polyester Powder Coat Finishes Are Electro-Statically Applied and  
 Thermocured**  
 PORCELAIN FINISHES  
**Applied by Hand and Fired in a High Temperature Oven**  
 COPPER  
**Hand-Spun from High Purity .032 Thick C11000-O60 ETP Copper**  
 BRASS  
**Hand-Spun from High Purity .050" Thick C2600-O60 Brass**

**MOUNTING**

STEM  
**1/2" Nominal (0.84" Actual) or 3/4" Nominal (1.05" Actual) Sch 40,  
 6063 Aluminum Mounting Stem. Custom Lengths Available upon  
 Request.**  
 GOOSENECK  
**1/2" Nominal (0.84" Actual) or 3/4" Nominal (1.05" Actual) Sch 40,  
 6063 Aluminum Gooseneck**  
 CORD  
**Cord-Hung Pendants Include 7' of Standard Cord or 5' of Cloth  
 Cord, +/- For Socket Orientation**  
 CHAIN  
**4-Gauge Chain Complete with Quick Link for On-Site Adjustments  
 to Chain's Length**  
 MAX FIXTURE WEIGHT  
**10 lbs**

Project:

Item 5.

Location:

Fixture Type:

Catalog Number:



**AVAILABLE FINISHES:**



# Bloc

WS-W9201

**PRODUCT DESCRIPTION**

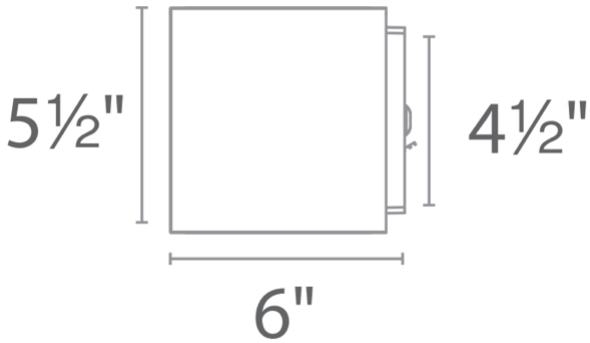
Crafted from die-cast aluminum for a seamless appearance, Bloc is minimalist in form and maximalist in performance, delivering superior LED light through a factory-sealed glass lens silk-screened with ceramic for diffuse even illumination. Cubism never looked so good.

**FEATURES**

- 2700K and 4000K CCT option available for special order.
- Driver concealed within the fixture
- Silk-screened glass
- IDA Dark Sky compliant in color temperatures of 3000K or lower

**SPECIFICATIONS**

<b>Rated Life</b>	50000 Hours
<b>Standards</b>	ETL, cETL, Wet Location Listed, IP66, Title 24 JA8: 2019 Compliant, Dark Sky Friendly
<b>Input</b>	120-277V, 50/60Hz
<b>Dimming</b>	ELV, 0-10V
<b>Mounting</b>	Can be mounted on wall vertically or upside down
<b>Color Temp</b>	3000K
<b>CRI</b>	90
<b>Construction</b>	Die cast aluminum construction with silk-screened glass



Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
○ WS-W9201 6"	3000K	○ AL Brushed Aluminum	16.5W	1167	945
	3000K	○ BK Black	16.5W	1167	945
	3000K	○ BZ Bronze	16.5W	1167	945
	3000K	○ WT White	16.5W	1167	945

Example: **WS-W9201-WT**

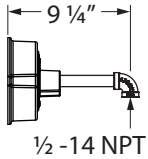
•For '2700K' add "-27"; '4000K' add "-40" before the finish: WS-W9201-40-WT

For custom requests please contact [customs@modernforms.com](mailto:customs@modernforms.com)

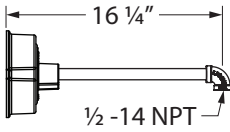


# LED GOOSENECK LIGHTING

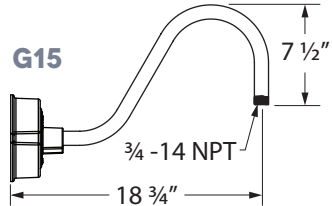
With their iconic style and practical purpose, our selection of LED compatible gooseneck arms contains the ideal option for every space. To properly illuminate interior and exterior settings, a variety of angles and shapes focus light onto sidewalks, tables and more. Every gooseneck arm is constructed in our Florida-based manufacturing facility. Please Note: Select gooseneck arms cannot be used with certain designs and shades. For additional information, please visit the individual product listing. Additionally, gooseneck arms indicated with an asterisk are not available in copper and brass finishes.



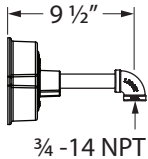
G3\*



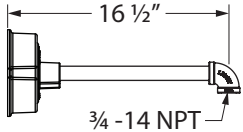
G1\*



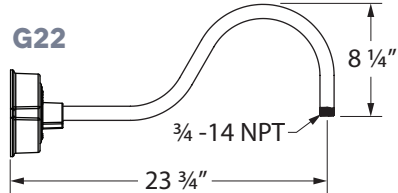
G15



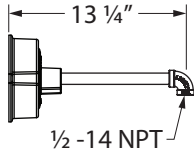
G4



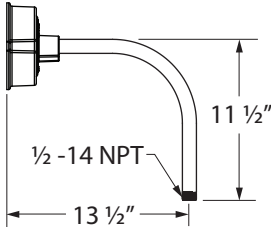
G14



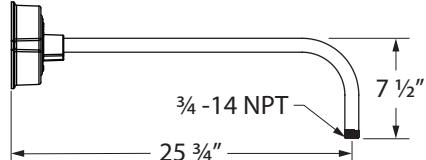
G22



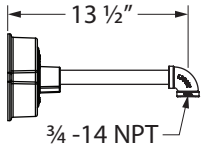
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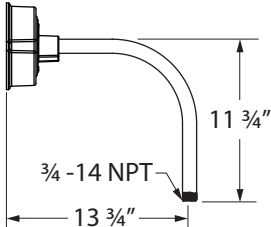
G12\*



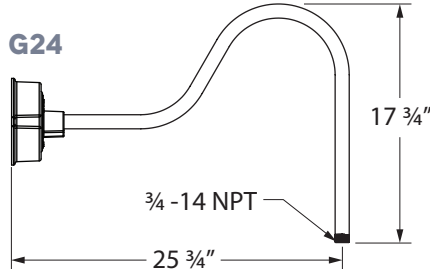
G8



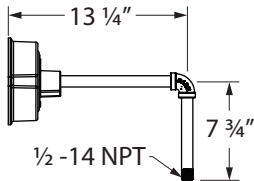
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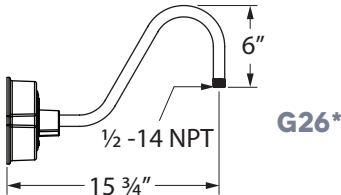
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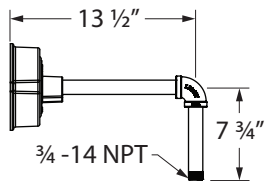
G24



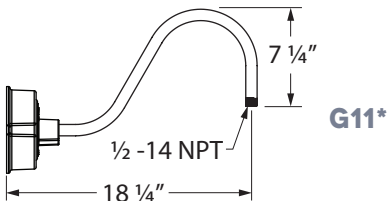
G35\*



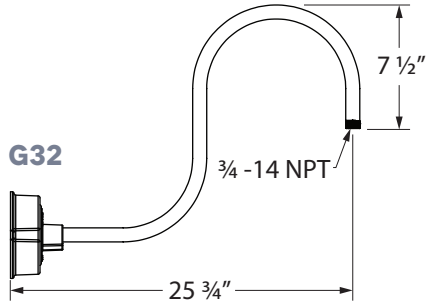
G26\*



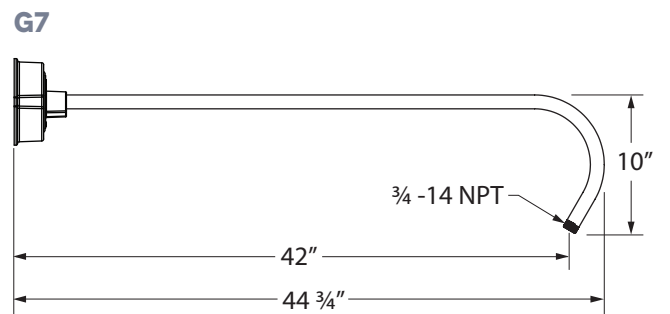
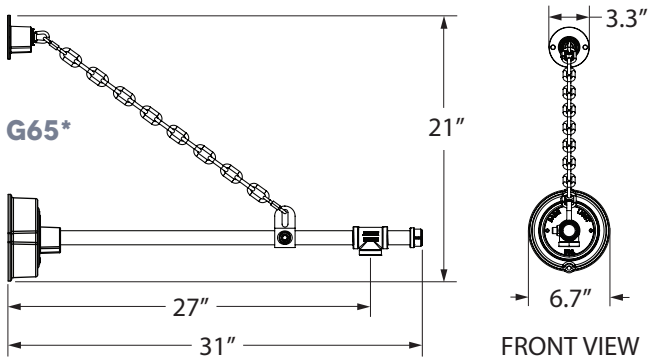
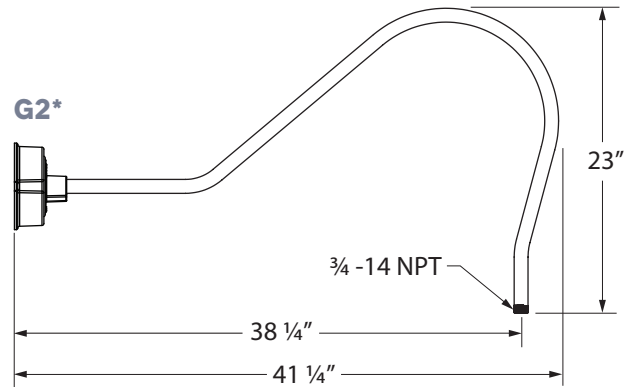
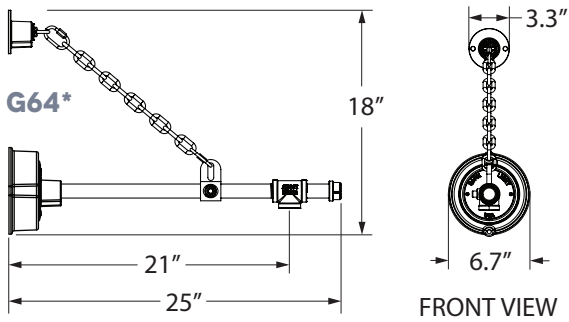
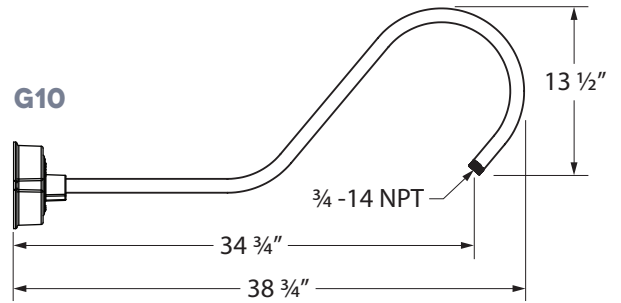
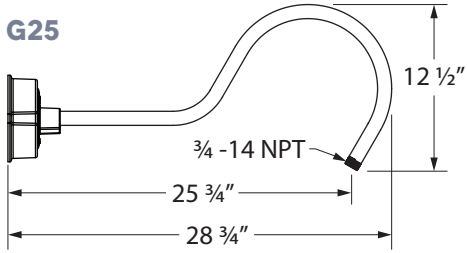
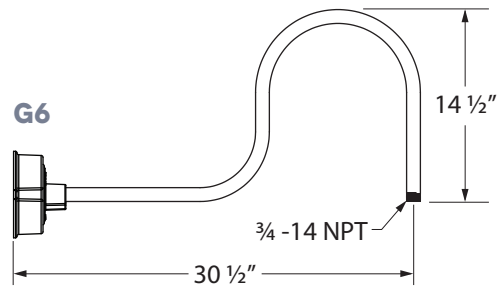
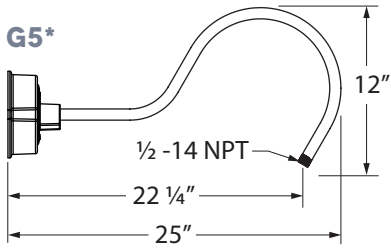
G34\*

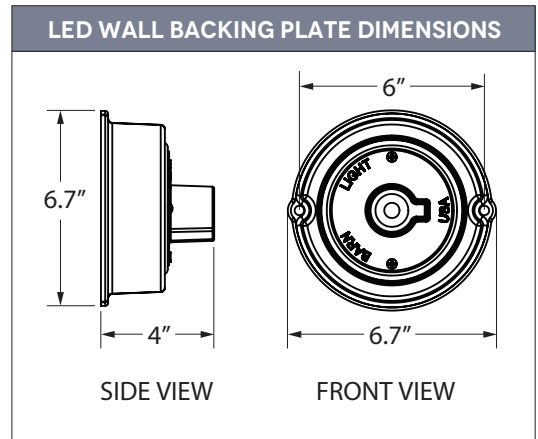
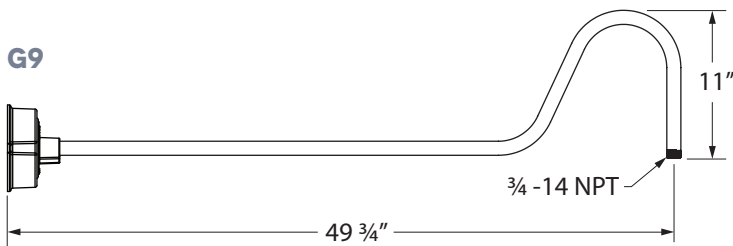
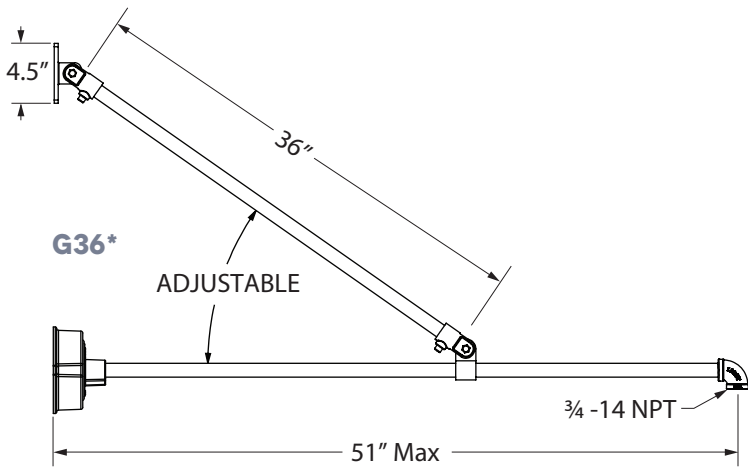


G11\*



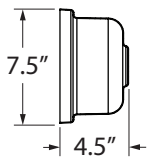
G32





**OPTIONAL MOUNTING ACCESSORIES**

For a more formal and refined aesthetic, a decorative cover can conceal the gooseneck’s backing plate. With an array of powder coat colors, the backing plate takes on various looks, ranging from playful to simple and timeless, while natural copper and brass finishes offer a more sophisticated style.



**LDBPC**  
LED Decorative  
Backing Plate Cover

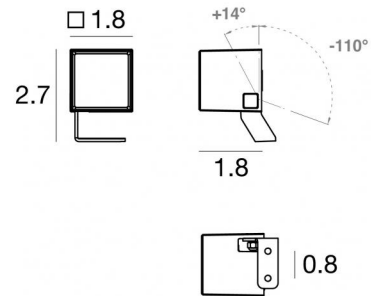


# Periskop

Project: \_\_\_\_\_  
 Type: \_\_\_\_\_



Projectors | 1 x powerLED 6 W | CRI 80 | 3000K | Wide Flood | Embossed black RAL 9005 |  
 Wet location | 500mA  
**LL-E90520-W-60**



Technical data	
Type	Surface
Installation position	Wall lights - Ceiling - Floor
Installation environment	Outdoor
Light Source	LED
Optics	Wide Flood
Light emission direction	frontal
Power	6 W
Operation	500mA
Source lumens	659 lm
CCT	3000 K
Color rendering index	80 Ra
Safety class	Class 2
IP	IP66
IK	IK05
Glow wire test	850°
Direct mounting on normally flammable surfaces	Yes
CE	Yes
ETL	Yes
Dimmable article	No
Directional	Swivelling
total angle (vertical plane)	124 °
Tilting	No
Walk-over	No
Drive-over	No
Cable included	Yes
Cable length	3.28 ft
Resin potting	Yes
Type of light emission	Single emission
Net weight	0.55 lbs
Electrostatic discharge protection	No
Surge protection	No
Product technological characteristics	Acquastop - TVS
Ordinary temperature on the glass	104 °F

Finishing casing	
Material	Die-cast Aluminum EN AB - 46100
Color	Embossed black RAL 9005
Process	Open pore anodizing + Powder Coating

Finishing diffuser	
Material	Extra clear glass - Tempered
Color	transparent
Process	Silk-screening

Finishing bracket	
Material	Aluminum 5754
Color	Anodized Black
Process	15 µm Anodizing

Cables Electrification	
Cable connector	No

**Notes:**


Projectors | 1 x powerLED 6 W | CRI 80 | 3000K | Wide Flood | Embossed black RAL 9005 |  
 Wet location | 500mA | Base  
**LL-E90520-W-60**

Single emission projectors for outdoor application. The warm white LED light source with a wide flood light distribution is composed of 1 powerLED LEDs with CCT of 3000 K and a CRI 80; the source luminous flux is 659 lm, with a 109.8 lm/W nominal luminous efficacy.

The device body is made of die-cast aluminium en ab - 46100 and features a embossed black ral 9005 finish, processed by means of open pore anodizing + powder coating; the diffuser is made of extra clear glass - tempered with a silk-screening treatment. The ingress protection degree is IP66; the total weight is of 0.551 lbs.

The total absorbed power is 6 W. The power supply cable is included and features a 3.281 ft lenght.

and can be wall lights, ceiling or floor-mounted.

Compliant with the EN 60598-1 standard and its specific provisions.

### Energy efficiency class

This product contains a light source of energy efficiency class E.

### Led features

Light Output Ratio (LOR)	68 %
Source lumens	659 lm
Delivered lumens	454 lm
Power	6 W
Luminaire efficacy	75 lm/W
Color temperature	3000 K
Standard Deviation of Colour Matching	3 Step MacAdam
Color rendering index	80 Ra
Black Body Locus	On

### LED Life / Failure Ratio

L70 B10 C0 247450h (at Tj 60 Ta 25 )

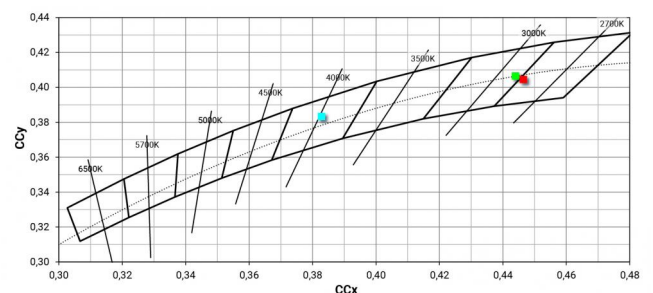
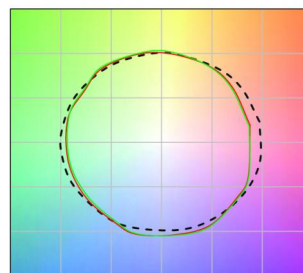
### UGR

UGR axial	23.6
UGR transversal	23.5
X=4H   Y=8H	S=0.25H
Reflection factor	70/50/20

### OPTICAL

Light distribution symmetry	Symmetrical
C0/C180 optics	49°

COLOR VECTOR GRAPHIC



# Periskop

Projectors | 1 x powerLED 6 W | CRI 80 | 3000K | Wide Flood | Embossed black RAL 9005 |

Wet location | 500mA | Base

## LL-E90520-W-60

Single emission projectors for outdoor application. The warm white LED light source with a wide flood light distribution is composed of 1 poweredLEDs with CCT of 3000 K and a CRI 80; the source luminous flux is 659 lm, with a 109.8 lm/W nominal luminous efficacy.

The device body is made of die-cast aluminium en ab - 46100 and features a embossed black ral 9005 finish, processed by means of open pore anodizing + powder coating; the diffuser is made of extra clear glass - tempered with a silk-screening treatment. The ingress protection degree is IP66; the total weight is of 0.551 lbs.

The total absorbed power is 6 W. The power supply cable is included and features a 3.281 ft lenght.

and can be wall lights, ceiling or floor-mounted.

Compliant with the EN 60598-1 standard and its specific provisions.

### Energy efficiency class

This product contains a light source of energy efficiency class E.

### Led features

Light Output Ratio (LOR)	68 %
Source lumens	659 lm
Delivered lumens	454 lm
Power	6 W
Luminaire efficacy	75 lm/W
Color temperature	3000 K
Standard Deviation of Colour Matching	3 Step MacAdam
Color rendering index	80 Ra
Black Body Locus	On

### LED Life / Failure Ratio

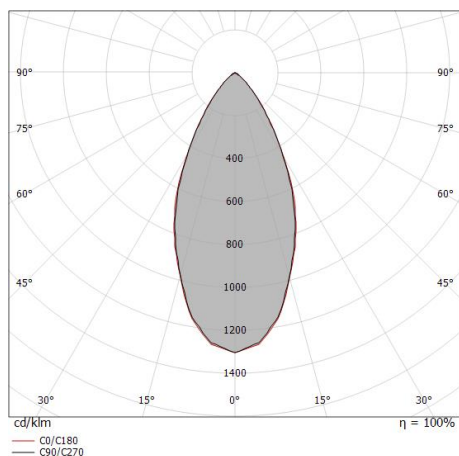
L70 B10 C0 247450h (at Tj 60 Ta 25 )

### UGR

UGR axial	23.6
UGR transversal	23.5
X=4H   Y=8H	S=0.25H
Reflection factor	70/50/20

### OPTICAL

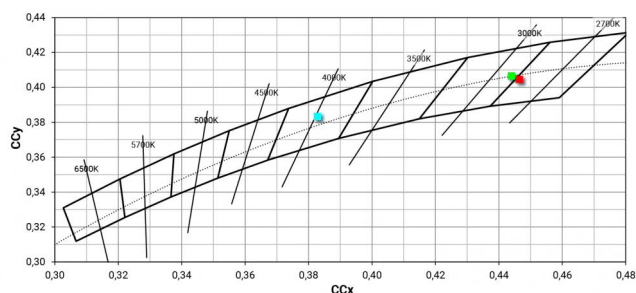
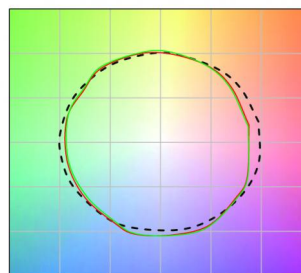
Light distribution symmetry	Symmetrical
C0/C180 optics	49°



Distance [m]	Cone diameter [m]	illuminance [lx]
0.5	0.46 0.47	E(0°) 2362 E(C90) 892 E(C0) 881
1.0	0.92 0.93	E(0°) 591 E(C90) 24.6° 223 E(C0) 25.0° 220
1.5	1.37 1.40	E(0°) 262 E(C90) 24.6° 99 E(C0) 25.0° 98
2.0	1.83 1.87	E(0°) 148 E(C90) 24.6° 56 E(C0) 25.0° 55
2.5	2.29 2.33	E(0°) 94 E(C90) 24.6° 36 E(C0) 25.0° 35
3.0	2.75 2.80	E(0°) 66 E(C90) 24.6° 25 E(C0) 25.0° 24

— C0/C180 (Half-peak divergence: 50.0°)  
— C90/C270 (Half-peak divergence: 49.2°)

### COLOR VECTOR GRAPHIC



# Periskop

Item 5.

Periskop | Projectors | Accessories  
**LL-E90520-W-60**



Anchor  
installation position: land,Cover material: aisi 304 steel

**Code**  
E98624



Anchor  
installation position: land,Cover material: aisi 304 steel

**Code**  
E98550

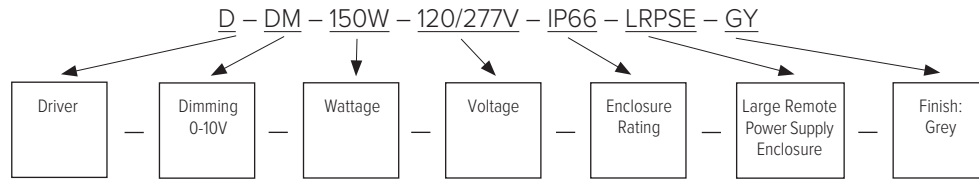


Fixing kit

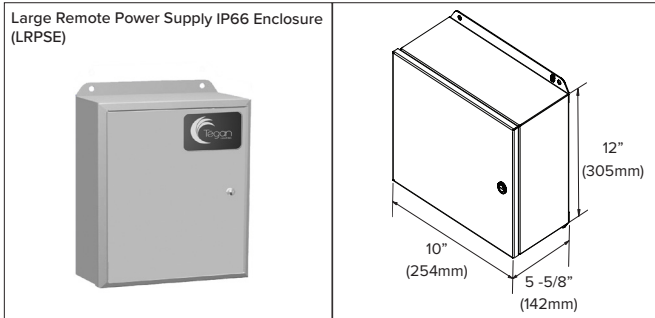
**Code**  
E99802

# IP66 Power Supplies

## CATALOG NUMBER LOGIC



## Exton IP66 24VDC Power Supply



**40W - Will operate 4 Kore-EX5 Modules or 5-ft of Solo<sup>1</sup>**

Catalog Number

Non-Dimming Driver D-40W-120/277V-IP66-LRPSE-GY

0-10V Dimming Driver D-DM-40W-120/277V-IP66-LRPSE-GY

**60W - Will operate 7 Kore-EX5 Modules or 8-ft of Solo<sup>1</sup>**

Catalog Number

Non-Dimming Driver D-60W-120/277V-IP66-LRPSE-GY

0-10V Dimming Driver D-DM-60W-120/277V-IP66-LRPSE-GY

**100W - Will operate 11 Kore-EX5 Modules or 14-ft of Solo<sup>1</sup>**

Catalog Number

Non-Dimming Driver D-100W-120/277V-IP66-LRPSE-GY

0-10V Dimming Driver D-DM-100W-120/277V-IP66-LRPSE-GY

**150W - Will operate 17 Kore-EX5 Modules or 20-ft of Solo<sup>1</sup>**

Catalog Number

Non-Dimming Driver D-150W-120/277V-IP66-LRPSE-GY

0-10V Dimming Driver D-DM-150W-120/277V-IP66-LRPSE-GY

**240W - Will operate 27 Kore-EX5 Modules or 32-ft of Solo<sup>1</sup>**

Catalog Number

Non-Dimming Driver D-240W-120/277V-IP66-LRPSE-GY

0-10V Dimming Driver D-DM-240W-120/277V-IP66-LRPSE-GY

**288W - Will operate 32 Kore-EX5 Modules or 38-ft of Solo<sup>1</sup>**

Catalog Number

0-10V Dimming Driver D-DM-288W-120/277V-IP66-LRPSE-GY

**320W - Will operate 36 Kore-EX5 Modules or 42-ft of Solo<sup>1</sup>**

Catalog Number

Non-Dimming Driver D-320W-120/277V-IP66-LRPSE-GY

Notes:

<sup>1</sup>To calculate max capacity for combined EX5-Module and EX-SOLO fixtures on same span, start with max module count and remove (1) module for every (1) foot of Solo added.

## IP66 Power Supplies

## 24VDC Power Supplies - LED Drivers - IP66 EXTERIOR MOUNTING

Description	Max # of Kore-EX5 Modules	Catalog #	Watts <sup>1</sup>	Min / Max <sup>3</sup>	Tegan Enclosure Size	Typical Driver Links
40W Non-Dimming Driver	4	D-40W-120/277V-IP66-LRPSE-GY	40W	1W / 30W	Large 12" H x 10" W x 5 3/8" D	<a href="#">40W Non-Dimming Driver</a>
40W 0-10V Dimming Driver	4	D-DM-40W-120/277V-IP66-LRPSE-GY	40W	1W / 30W	Large 12" H x 10" W x 5 3/8" D	<a href="#">40W Driver &amp; Dimming Module</a>
60W Non-Dimming Driver	7	D-60W-120/277V-IP66-LRPSE-GY	60W	1W / 49W	Large 12" H x 10" W x 5 3/8" D	<a href="#">60W Non-Dimming Driver</a>
60W 0-10V Dimming Driver	7	D-DM-60W-120/277V-IP66-LRPSE-GY	60W	1W / 49W	Large 12" H x 10" W x 5 3/8" D	<a href="#">60W Driver &amp; Dimming Module</a>
100W Non-Dimming Driver	11	D-100W-120/277V-IP66-LRPSE-GY	100W	1W / 77W	Large 12" H x 10" W x 5 3/8" D	<a href="#">100W Non-Dimming Driver</a>
100W 0-10V Dimming Driver	11	D-DM-100W-120/277V-IP66-LRPSE-GY	100W	1W / 77W	Large 12" H x 10" W x 5 3/8" D	<a href="#">100W Driver &amp; Dimming Module</a>
150W Non-Dimming Driver	17	D-150W-120/277V-IP66-LRPSE-GY	150W	1W / 119W	Large 12" H x 10" W x 5 3/8" D	<a href="#">150W Non-Dimming Driver</a>
150W 0-10V Dimming Driver	17	D-DM-150W-120/277V-IP66-LRPSE-GY	150W	1W / 119W	Large 12" H x 10" W x 5 3/8" D	<a href="#">150W Driver &amp; Dimming Module</a>
240W Non-Dimming Driver	27	D-240W-120/277V-IP66-LRPSE-GY	240W	1W / 189W	Large 12" H x 10" W x 5 3/8" D	<a href="#">240W Non-Dimming Driver</a>
240W 0-10V Dimming Driver	27	D-DM-240W-120/277V-IP66-LRPSE-GY	240W	1W / 189W	Large 12" H x 10" W x 5 3/8" D	<a href="#">240W Driver &amp; Dimming Module</a>
320W Non-Dimming Driver	36	D-320W-120/277V-IP66-LRPSE-GY	320W	1W / 252W	Large 12" H x 10" W x 5 3/8" D	<a href="#">320W Non-Dimming Driver</a>
288W 0-10V Dimming Driver	32	D-DM-288W-120/277V-IP66-LRPSE-GY	288W	1W / 230W	Large 12" H x 10" W x 5 3/8" D	<a href="#">320W Driver &amp; 288W Dimming Module</a>

**Notes:**

- <sup>1</sup> Refer to manufacturer's specsheets (see links in blue above) for recommended remote mount distance.
- <sup>2</sup> Load power supplies at 80% of their maximum nominal output.
- <sup>3</sup> Do not exceed 150 feet between last EX5 module (i.e. the module farthest away from the Power Supply) and the Power Supply.
- <sup>4</sup> Do not group EX5 modules near the end of a long run; on a 110 foot span, keep the average distance from EX5s to Power Supply about 75 feet.
- <sup>5</sup> The length of the Powerspan Cable, and any intermediate remote wiring, must be counted together (ie with a 100' span, and 50' of building wire between the start of the span and the powersupply, one would be at the maximum 150' distance).
- <sup>6</sup> Do not operate in environments above 40C/104F ambient air temperature.
- <sup>7</sup> Do not operate where the sun's radiation causes any metal surface to be greater than 40C/104F.
- <sup>8</sup> Do not operate below 0C/-32F.
- <sup>9</sup> The Polarity of the drivers output to the Exton Powerspan Cable does not matter.
- <sup>10</sup> Do not exceed a maximum of 40 Exton LED Fixtures per run/circuit.
- <sup>11</sup> VOLTAGE DROP: To calculate the maximum Exton span, add the desired span distance to the wiring distance between the power supply and the start of the Exton span cable. This is the "total run." All wiring used between the power supply and the start of the Exton cable should be 10AWG or thicker. At 250W loads, the maximum advisable total run length is 150'. At 100W loads, the total run length is 250'.
- <sup>12</sup> Due to the rapidly evolving technology for Semiconductor products, Tegan driver options are subject to change at any time, without notice. In addition, if any of the standard drivers are out of stock or discontinued, Tegan Lighting will supply an equal as needed. Tegan can also supply alternative drivers upon request; contact the factory for details.
- <sup>13</sup> Tegan LED emitters, like all LEDs, undergo a natural depreciation in lumen output. This depreciation is within the specifications of LM-80. Extreme ambient temperatures, dusty environments, and power conditions may affect the depreciation. Wattage requirements and lumen output are subject to change with ongoing developments in LED technology.
- <sup>14</sup> Enclosures can be field painted to match the structure or contact the factory for custom colors.
- <sup>15</sup> Exton System, Monopoints and LED Modules are specified separately. Refer to the linked Specification Sheets on p. 3 for more details
- <sup>16</sup> We have listed the maximum number of Kore-EX5 Modules for each Driver option above based on the following common practice:  
Recommended De-Rating: Like all electronic power supplies, life is significantly increased when loads are 75/80% or less of the nominal power capacity. Best life is in climate controlled conditions, or when the power supply stays below 70C. The type of enclosure and ambient environment can affect the operating temperature, and therefore the lifetime of the power supply. For all Tegan Lighting enclosures, load power supplies to only 75/80% of their nominal. These are general suggestions to increase the life of the supply in moderate climates; the actual operating lifetime of the power supply depends on the actual environment and use. Do not operate the power supplies during the day with direct sunlight with extreme hot temperatures.
- <sup>17</sup> See previous page for capacities with Solo fixtures.



## IP66 Power Supplies



**Category:** Tegan Lighting offers a wide variety of 24VDC drivers that are compatible with Exton Monopoints and Powerspan Cable Systems for various layouts. Specify 0-10V dimming controls with dimming LED drivers. Refer to the linked driver specification sheets in the chart on page 2 for details.

**Exterior Enclosure:** **IP66 Exterior mount.**  
Large - 12" H x 10" W x 5-5/8" D - Exterior, NEMA Type 3R, 4, 12 and 13, Remote Power Supply Enclosure (IP66-LRPSE). Remote mounting the power supplies provide a clean minimalist aesthetic. Nema 4 Enclosure provides greater level of protection, resistant to any sort of sprayed or driven water jets from any direction. Requires installers to drill housing and install waterproof fittings to allow attachment to supply power, as well as to Kore-EX Powerspan cable. This allows flexibility regarding installation position and supply connections while preserving full IP66 rating.

**Material:** Steel.

**Finish:** Grey powdercoat.

**Systems:** Specified separately. [Exton Monopoint](#), [Exton Powerspan Cable](#), [Exton Rigid Trac](#). Remote Power Supplies are required for all Exton Powerspan and Monopoint systems. Refer to linked Specsheets and Installation Sheets for system details

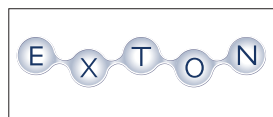
**Drivers:** Refer to p. 2 for details. [Exton Systems can only be used with Tegan Lighting's Power Supply Enclosures and Driver\(s\)](#). Any substitution "by others" will void the warranty and listing. Refer to notes under power supply charts regarding derating recommendations.

**LED Modules:** Kore-EX5: Total Input Power 6.5W, EX-SOLO: Total Input Power 5.5W/Ft.

**Installation:** Electrical contractor to connect electrical wire from the transformer to the system power feed utilizing the correct gauge to provide the proper voltage at the Systems/Monopoints per local standards and codes. The wire gauge used to supply power to the Systems/Monopoints should be sized according to the distance between the transformer and the Systems/Monopoints. Enclosure and power supply are provided as a kit. Refer to [Exton Cable Installation Instructions](#), [Exton Monopoint Installation Instructions](#) or [Exton Rigid Trac Installation Instructions](#) for details. Refer to [Exton Application Guide](#) for layout and specification assistance.

**Labels:** IP66 Enclosure - Exterior Listed. ETL & CE Listed to UL Standard 2108 Low Voltage Lighting; Tested to UL 1574 - Issue: 2004/09/07 Ed: 3 Rev:2012/01/25 UL Standard for Safety Track Lighting Systems. IP66.

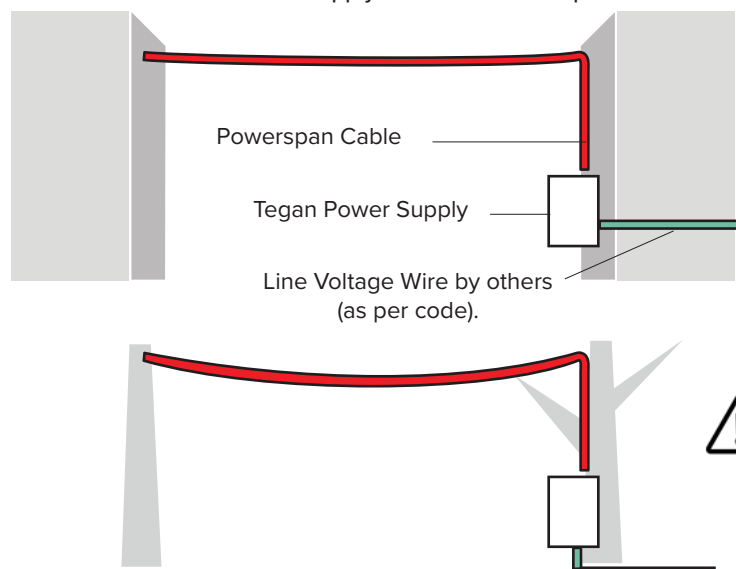
Refer to linked Power Supply Specsheets on the previous page for Manufacturer's listing. In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials. Technical specification sheets that appear on [teganlighting.com](http://teganlighting.com) are the most recent version and supersede all other versions that exist in any other printed or electronic form.



# IP66 Power Supplies

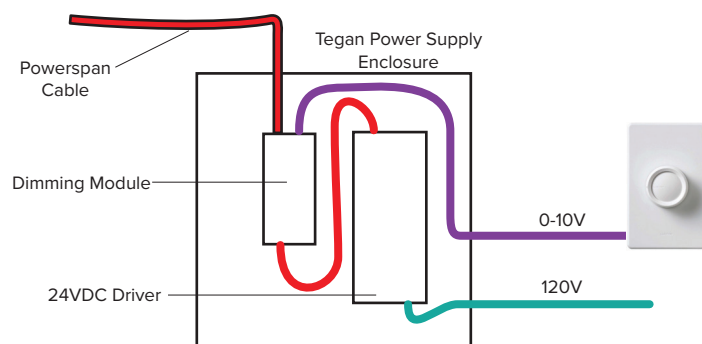
## Power Supply - Installation Guidelines at a Glance

### Exterior Power Supply with Direct Hookup



Tegan's IP66 Power Supply may be mounted on outside of building, tree, or pole, with Exton Powerspan Cable directly running into it with waterproof fitting (by others). Line Voltage (green) enters through building, or through external conduit, or through underground feeder cable, by others. The Power Supply outputs 24VDC (red). Each EX5 module draws 7W, or .3A.

### Optional Dimming - Controls



Tegan's Power Supplies consist of an enclosure with a 24VDC driver and an optional Dimmer Module. **Wire into the output of a dedicated Exton 24VDC driver provided by Tegan Lighting (only).**

### Loading and Operation Guidelines:

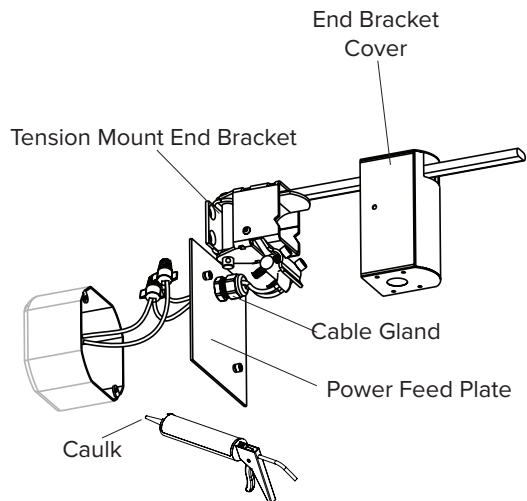
It's important not to exceed these guidelines in order to prevent damage to the Power Supply or cause problems with performance:

- Load power supplies at 80% of their maximum nominal output.
- Do not exceed 150 feet between last EX5 module (i.e. the module farthest away from the Power Supply) and the Power Supply.
- Do not group EX5 modules near the end of a long run; on a 150 foot span, keep the average distance from EX5s to Power Supply about 75 feet.
- The length of the Powerspan Cable, and any intermediate remote wiring, must be counted together (ie with a 100' span, and 50' of building wire between the start of the span and the powersupply, one would be at the maximum 150' distance).
- Do not operate in environments above 40C/104F ambient air temperature.
- Do not operate where the sun's radiation causes any metal surface to be greater than 40C/104F.
- Do not operate below 0C/-32F.
- The Polarity of the drivers output to the Exton Powerspan Cable does not matter.



# IP66 Power Supplies

## Power Supply - Installation Guidelines at a Glance

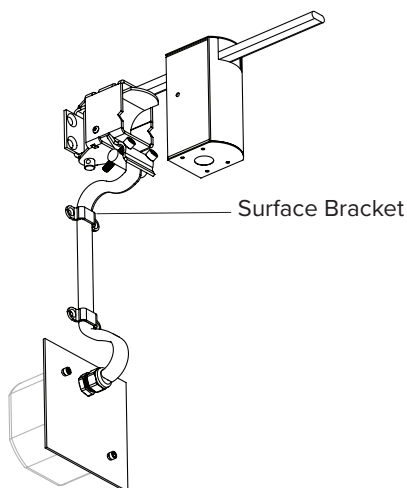


### Hookup to Adjacent Remote Power Feed

The Power Feed may be placed so the wire gland which seals around the conductors is under the Cover of the Tension Mount End Bracket. In this case, the conductors are passed through and then connected to the building wires coming from the Tegan Lighting Exton Power Supply. Note that the Power Feed can not be used as an end feed; it is not structural.

Be sure to caulk behind the Power Feed Plate, as well as behind the screws.

Polarity does not matter.



### Hook-up to Remote Power Feed

If the Remote Powerfeed is farther away, use Surface Brackets every 12" and within 2" of the start and end.

Exton Powerspan Cable and LED Module connections should not be made below the outdoor ambient temperature of 50F/10C.

Refer to [Installation Sheet](#) for more details.

# UMV-30001

## Marvik 1 Surface Downlight



### Construction

**Aluminum**  
Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

**Pre paint**  
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

**Memory Retentive -Silicon Gasket**  
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

**Thermal management**  
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

**Surge Suppression**  
Standard 10kv surge suppressor provided with all fixtures.

**BUG Rating**  
B1 - U0 - G0

**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

**Paint**  
UV Stabilized 4.9mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

**Inspired by Nature Finishes**  
The Inspired by nature Finishing is a unique system of decorative powder coating. Our metal decoration process can easily transform the appearance of metal or aluminum product into a wood grain finish.

This patented technology enables the simulation of wood grain, and even marble or granite finish through the use of decorative powder coating.

The wood grain finish is so realistic that it's almost undistinguishable from real wood, even from a close visual inspection. The system of coating permeates the entire thickness of the coat and as a result, the coating cannot be removed by normal rubbing, chipping, or scratching.

**The Coating Process**  
After pre-treatment the prepared parts are powder coated with a specially formulated polyurethane powder. This powder provides protection against wear, abrasion, impact and corrosion and acts as the relief base color for the finalized metal decoration.

The component is then wrapped with a sheet of non-porous film with the selected decoration pattern printed on it using special high temperature inks.

This printed film transfer is vacuum-sealed to the surface for a complete thermo print and then transferred into a customized oven. The oven transforms the ink into different forms within the paint layer before it becomes solid. Finally, the film is removed, and a vivid timber look on aluminum remains.

Wood grain coating can create beautiful wood-looking products of any sort. There are over 300 combinations of designs currently in use. Wood grains can be made with different colors, designs, etc.

Our powder coatings are certified for indoor and outdoor applications and are backed by a comprehensive warranty. These coatings rise to the highest conceivable standard of performance excellence and design innovation.

- Added Benefits**
- Resistance to salt-acid room, accelerated aging
  - Boiling water, lime and condensed water resistant
  - Anti-Graffiti, Anti-Slip, Anti-Microbial, Anti-Scratch
  - Super durable (UV resistant)
  - TGIC free (non-toxic)

**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.

**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

**Optics & LED**  
Precise optic design provides exceptional light control and precise distribution of light.  
LED CRI > 80

**Lumen - Maintenance Life**  
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

**Cylindrical, single or double-sided wall family. Compact and decorative appearance belies powerful outputs and technical optics for perfect task illumination**

A stunning new waterproof & dust proof wall cylinder range, designed with no visible fasteners, a one-piece body and integrated driver housing.

This smart mechanical modern designed luminaire with cylindrical body provides a stylish solution to wall mounted cylinders.

This innovative design houses a variety of COB wattages to suit designer's specific requirements as well as a selection of field interchangeable reflector optics, that include narrow, medium, wide and very wide distributions. This series is available in 3 different diameters, namely 3", 4" & 6" to suit lighting design requirements.

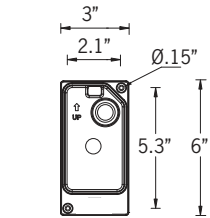
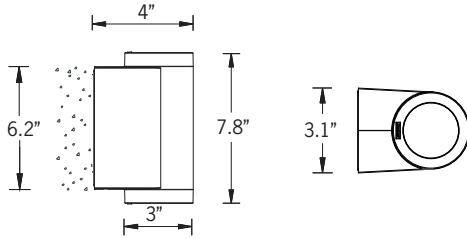
These luminaires are suitable for various facade lighting requirements along with accent lighting, building columns and architectural highlighting etc. The Marvik 1 protrudes 4" from the wall, making this product suitable for ADA applications.

This luminaire range can be provided with a bayonet lock baffle to reduce glare, as well as a frosted lens option. The SCE surface conduit entry box option can be provided as an option for an attractive solution to surface conduit entry.

Ligman can also provide custom made boxes to fit on a round surface like a column, pillar or pole.



11w COB 976 Lumens  
IP65 • Suitable For Wet Locations  
IK08 • Impact Resistant (Vandal Resistant)  
Weight 3.5 lbs

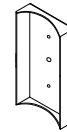


Mounting Detail

### Additional Options (Consult Factory For Pricing)



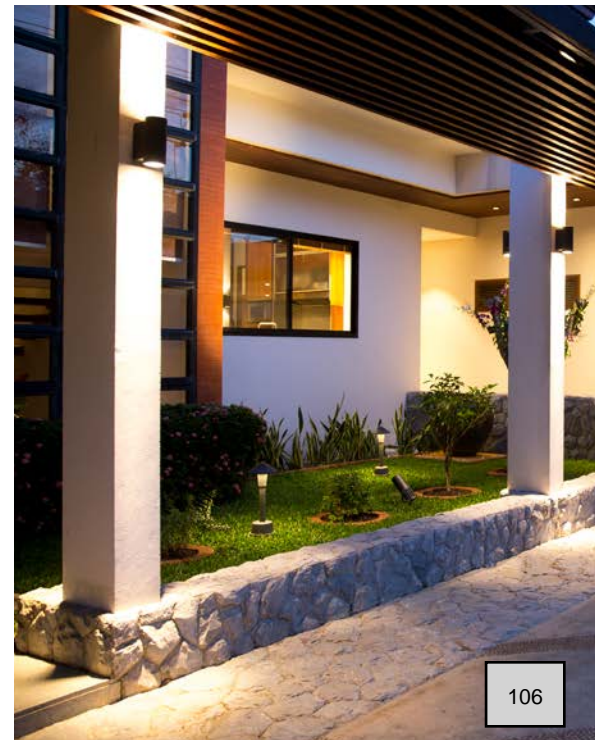
SCDT  
Surface Conduit  
Decorative Trim



RPA  
Round Pole Adapter



B  
Baffle



# UMV-30001

## Marvik 1 Surface Downlight

<b>PROJECT</b>		<b>DATE</b>	
----------------	--	-------------	--

<b>QUANTITY</b>		<b>TYPE</b>		<b>NOTE</b>	
-----------------	--	-------------	--	-------------	--

### ORDERING EXAMPLE || UMV - 30001 - 11w - M - W30 - 02 - 120/277v - Options

<b>UMV-30001</b>					
<b>LAMP</b>	<b>BEAM</b>	<b>LED COLOR</b>	<b>FINISH COLOR</b>	<b>VOLTAGE</b>	
11w COB 976 Lumens	N - Narrow 23° M - Medium 25° W - Wide 37° VW - Very Wide 71°	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

--	--	--

### ADDITIONAL OPTIONS

- |  |                          |
|--|--------------------------|
| NAT - Natatorium Rated                 | RPA - Round Pole Adapter |
| 4MP - 4" Mounting Plate                | B - Baffle               |
| DIM - 0-10v Dimming                    | F - Frosted Lens         |
| SCDT - Surface Conduit Decorative Trim |                          |

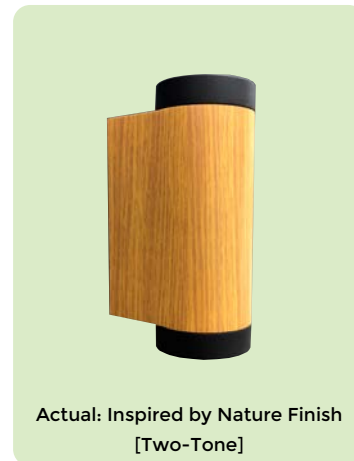
#### INSPIRED BY NATURE FINISHES

- SW01 - OAK FINISH
- SW02 - WALNUT FINISH
- SW03 - PINE FINISH
- DF - DOUGLAS FIR FINISH
- CW - CHERRY WOOD FINISH
- NW - NATIONAL WALNUT FINISH
- SU01 - CONCRETE FINISH
- SU02 - SOFTSCAPE FINISH
- SU03 - STONE FINISH
- SU04 - CORTEN FINISH

THERE IS AN ADDITIONAL COST FOR THESE FINISHES

### More Custom Finishes Available Upon Request

Consult factory for pricing and lead times



# Marvik Product Family

Item 5.



Marvik 1

- UMV-30001-11w-976lm
- UMV-30002-20w-1674lm



Marvik 2

- UMV-30011-20w-1802lm
- UMV-30012-27w-2387lm
- UMV-30013-10w-893lm



Marvik 3

- UMV-30021-40w-3795lm
- UMV-30022-48w-4622lm
- UMV-30023-20w-1627lm



Marvik 4

- UMV-30031-2x11w-2x976lm



Marvik 5

- UMV-30041-2x13w-2x1245lm
- UMV-30042-2x10w-2x893lm



Marvik 6

- UMV-30051-2x26w-2x2722lm
- UMV-30052-2x20w-2x1627lm

# ULI-21331

## Light Linear PT-X 13 Single Head Streetlight



**105w LED**  
15294 Lumens

**IP65**  
Suitable for wet locations

**IK08**  
Impact Resistant [Vandal Resistant]

**EPA - 1.20**

**Weight 35.2 lbs**  
(Head Only)

**POLE INCLUDED**

### Construction

**Aluminum**  
Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

**Pre paint**  
8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

**Memory Retentive -Silicon Gasket**  
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

**Thermal management**  
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

**Surge Suppression**  
Standard 10kv surge suppressor provided with all fixtures.

**BUG Rating**  
Contact Factory

**Finishing**  
All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

**Paint**  
UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

**Inspired by Nature Finishes**  
The Inspired by nature Finishing is a unique system of decorative powder coating. Our metal decoration process can easily transform the appearance of metal or aluminum product into a wood grain finish.

This patented technology enables the simulation of wood grain, and even marble or granite finish through the use of decorative powder coating.

The wood grain finish is so realistic that it's almost indistinguishable from real wood, even from a close visual inspection. The system of coating permeates the entire thickness of the coat and as a result, the coating cannot be removed by normal rubbing, chipping, or scratching.

#### The Coating Process

After pre-treatment the prepared parts are powder coated with a specially formulated polyurethane powder. This powder provides protection against wear, abrasion, impact and corrosion and acts as the relief base color for the finalized metal decoration.

The component is then wrapped with a sheet of non-porous film with the selected decoration pattern printed on it using special high temperature inks.

This printed film transfer is vacuum-sealed to the surface for a complete thermo print and then transferred into a customized oven. The oven transforms the ink into different forms within the paint layer before it becomes solid. Finally, the film is removed, and a vivid timber look on aluminum remains.

Wood grain coating can create beautiful wood-looking products of any sort. There are over 300 combinations of designs currently in use. Wood grains can be made with different colors, designs, etc.

Our powder coatings are certified for indoor and outdoor applications and are backed by a comprehensive warranty. These coatings rise to the highest conceivable standard of performance excellence and design innovation.

- Added Benefits**
- Resistance to salt-acid room, accelerated aging
  - Boiling water, lime and condensed water resistant
  - Anti-Graffiti, Anti-Slip, Anti-Microbial, Anti-Scratch
  - Super durable (UV resistant)
  - TGIC free (non-toxic)

**Hardware**  
Provided Hardware is Marine grade 316 Stainless steel.

**Anti Seize Screw Holes**  
Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

**Crystal Clear Low Iron Glass Lens**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

**Optics & LED**  
Precise optic design provides exceptional light control and precise distribution of light.  
LED CRI > 80

**Lumen - Maintenance Life**  
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

**Proportionately sized for tall mounting heights, High Lumen packages and MicroVos™ technology, providing high performance, superior uniformity and maximum spacing.**

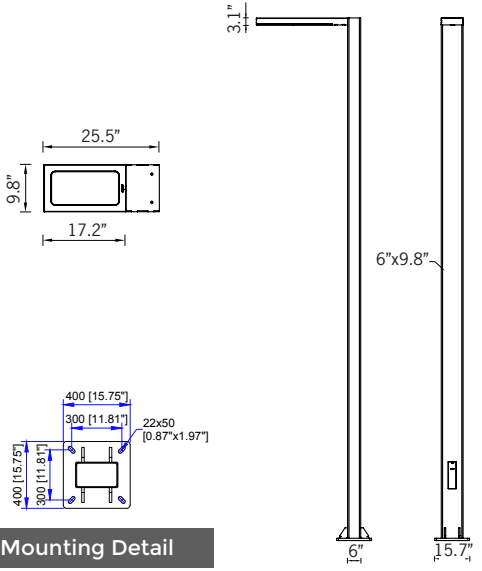
**Light Linear PT-X** is an elegant larger version of the Light Linear PT in both form factor and lumen output. The PT-X is suitable for both modern and classic architecture, specifically designed for mounting heights up to 33ft with higher lumen packages whilst maintaining the consistent look of the Light Linear PT family line. Ideal for creating visual guidance with exceptional visual comfort. The dual sealed optical chamber with integrated heat sinks houses a range of field interchangeable optically controlled LED's, providing Type II, III, & IV distribution, as well as variations of this for precise light distribution requirements.

An example of this, is using a combination of Type II and Type IV distribution optics inside the same fixture. This product range is available in multiple wattage options and as single & double head styles. Customer specific wattages can be provided, contact the factory for more information.

This luminaire complies to Dark Sky requirements. The sleek and minimalistic shape provides distinctive lighting effects by night and decorative urban effect during the day. Urban art suitable for use in pedestrian precincts, building surrounds, shopping centers, squares, parks and parking lots.

This product range is complemented with high performance optics in the bollard and wall mounted luminaires, to provide a consistent range of design aesthetics for the project. See website for more information. Poles can be provided with GFCI boxes positioned to specific heights specified by the customer. A flat low profile hand hole cover with vandal resistant screws is provided for easy installation.

Internal house side shields are available as an option. Available with a selection of integral electronic drivers and dimming electronic drivers as well as a provision to install wireless lighting controls to integrate with building management systems, as well as pole mounted occupancy sensors [contact the factory for more information] Easy access to the luminaire for maintenance. (WATT-ADJ) This luminaire is provided with a programmable driver so that specific wattage requirements can be achieved. These settings are done at the factory during assembly. (See options on page 2)



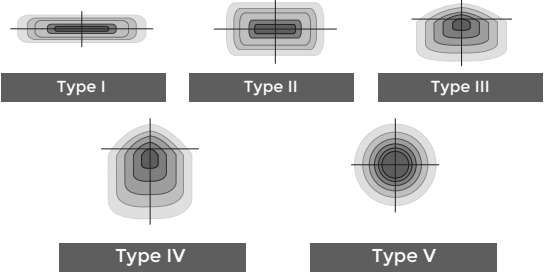
Mounting Detail

### Additional Options (Consult Factory For Pricing)

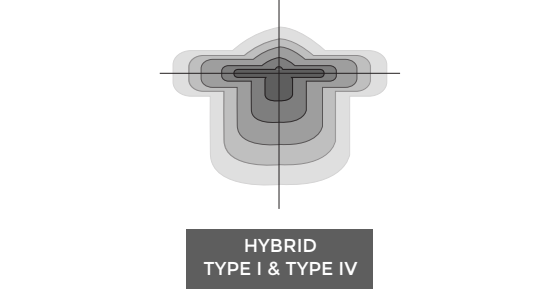
A90991 Zhaga Book 18	A90891 NEMA 7	OS Occupancy Sensor



Ligman's micro Variable Optical System provides the ability to interchange, mix & rotate optics to provide specific light distributions for optimized spacing and uniformity.



The variable optic system allows for the designer to create hybrid distributions for precise lighting requirements.



**LIGHCONNECT IoT Ready Light Linear**  
(Shown with up & down configuration) 109

# ULI-21331

Light Linear PT-X 13 Single Head Streetlight

<b>PROJECT</b>		<b>DATE</b>	
----------------	--	-------------	--

<b>QUANTITY</b>		<b>TYPE</b>		<b>NOTE</b>	
-----------------	--	-------------	--	-------------	--

**ORDERING EXAMPLE || ULI - 21331 - 105w - T2 - W30 - 02 - 18' - 120/277v - Options**

<b>ULI-21331</b>					
<b>LAMP</b>	<b>BEAM</b>	<b>LED COLOR</b>	<b>FINISH COLOR</b>	<b>POLE HEIGHT</b>	<b>VOLTAGE</b>
105w LED 14600 Lumens  WATT-ADJ Specify Watts (105w MAX)	T1 - Type I Distribution T2 - Type II Distribution T3 - Type III Distribution T4 - Type IV Distribution T5 - Type V Distribution	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	8' - 33' (For over 33', contact factory) Nature Finishes 20' & Under	120/277v Other - Specify


### ADDITIONAL OPTIONS

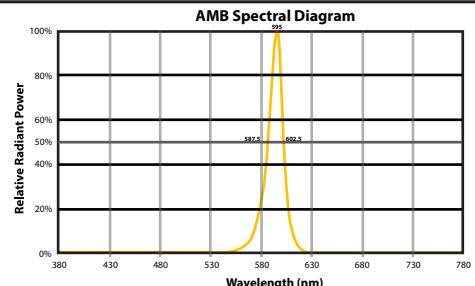
- |                                  |   |
|----------------------------------|---|
| DIM - 0-10v Dimming              | F - Frosted Lens  |
| NAT - Natatorium Rated           | A90991-U - Zhaga Book 18 Mounted On Top of Fixture        |
| AMB - Turtle Friendly Amber LED  | A90991-D - Zhaga Book 18 Mounted Below Fixture            |
| GFCI - GFCI Box                  | A90891 - NEMA 7   |
| WLC - Wireless Lighting Controls | OS - FSP Occupancy Sensor [See last page]                 |
| HSS - House Side Shield          | FSIR - Occupancy Sensor Remote Programmer [See last page] |

**INSPIRED BY NATURE FINISHES**

- SW01 - OAK FINISH
- SW02 - WALNUT FINISH
- SW03 - PINE FINISH
- DF - DOUGLAS FIR FINISH
- CW - CHERRY WOOD FINISH
- NW - NATIONAL WALNUT FINISH
- SU01 - CONCRETE FINISH
- SU02 - SOFTSCAPE FINISH
- SU03 - STONE FINISH
- SU04 - CORTEN FINISH

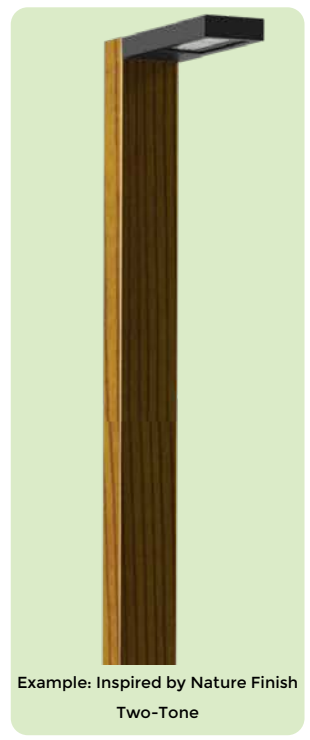
THERE IS AN ADDITIONAL COST FOR THESE FINISHES (FOR POLES 20' & UNDER)

### CITY OF FLAGSTAFF & TURTLE FRIENDLY COMPLIANT



**Narrow-Spectrum Amber LEDs**  
Peak wavelength between 585 & 595 nanometers and a full width of 50% power no greater than 15 nanometers.

**More Custom Finishes Available Upon Request**  
Consult factory for pricing and lead times



Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

# Light Linear PT Product Family

Item 5.



Light Linear PT 1

- ULI-10021-28w-3169lm
- ULI-10022-54w-6240lm



Light Linear PT 2

- ULI-10031-2x28w-2x3169lm
- ULI-10032-2x54w-2x6240lm



Light Linear PT 3

- ULI-21171-54w-6193lm
- ULI-21173-82w-8448lm



Light Linear PT 4

- ULI-21172-105w-12518lm
- ULI-21291-155w-16891lm



Light Linear PT 5

- ULI-21181-2x54w-2x6193lm
- ULI-21183-2x82w-2x8448lm



Light Linear PT 6

- ULI-21182-2x105w-2x12518lm
- ULI-21321-2x155w-2x16891lm



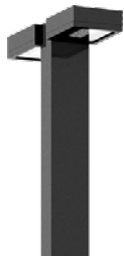
Light Linear PT 7

- ULI-21231-28w-3169lm



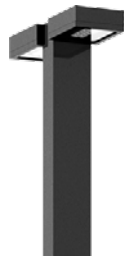
Light Linear PT 8

- ULI-21241-54w-6193lm



Light Linear PT 9

- ULI-21181-2x54w-2x6193lm
- ULI-21183-2x82w-2x8448lm



Light Linear PT 10

- ULI-21182-2x105w-2x12518lm
- ULI-21321-2x155w-2x16891lm



Light Linear PT 11

- ULI-30021-28w-3169lm
- ULI-30022-37w-4636lm



Light Linear PT 12

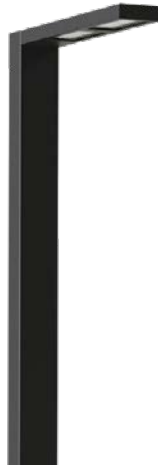
- ULI-30011-37w-4601lm
- ULI-30012-54w-6193lm

# Light Linear PT-X



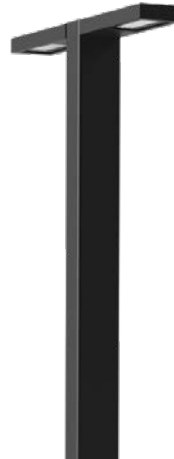
Light Linear PT-X 13

- ULI-21331-104w-15294lm
- ULI-21332-136w-19320lm



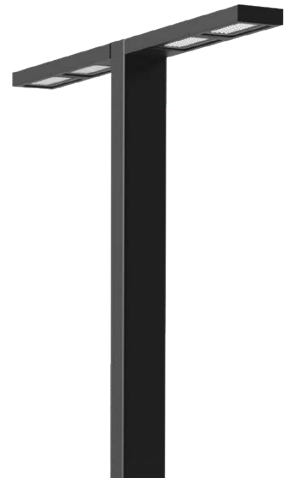
Light Linear PT-X 14

- ULI-21333-215w-30588lm
- ULI-21334-272w-38640lm



Light Linear PT-X 15

- ULI-21341-2x104w-2x15294lm
- ULI-21342-2x136w-2x19320lm

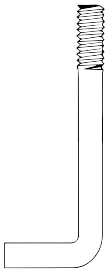


Light Linear PT-X 16

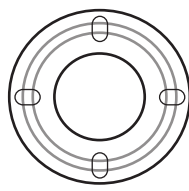
- ULI-21343-2x215w-2x30588lm
- ULI-21344-2x272w-2x38640lm


# Anchor Bolt Installation for Poles

### What's Included Per Pole

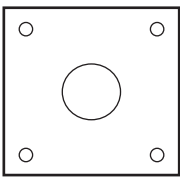


**x 4**



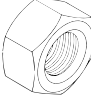


**x 4**



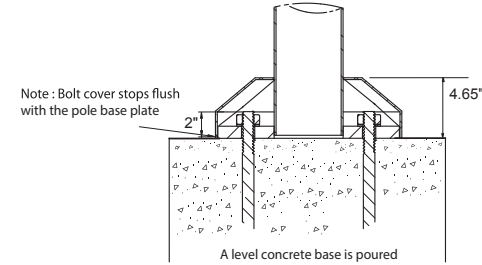
A single anchor bolt template is provided per pole size to be used for the poles on the project.

Anchor bolt template may be round or square dependant upon which pole is being used.



**x 4**

### Preferred Pole Installation



Note: Bolt cover stops flush with the pole base plate

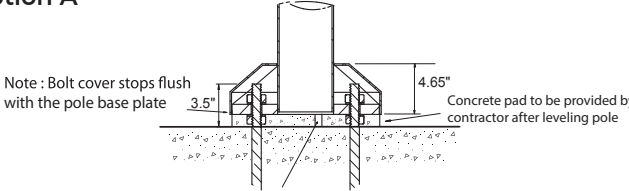
A level concrete base is poured and finished flush. This provides a uniform load displacement pad for the forces created by wind and luminaire weight

Failing to do this voids pole warranty  
Foundation and Design by Others

### In rare instances where leveling bolts have to be used, it is important that a flush concrete surface is created to mount the pole base plate.

**NOTE: When using leveling bolts, bolt projection should be 3.5"**

#### Using Leveling Bolts Option A



Note: Bolt cover stops flush with the pole base plate

Concrete pad to be provided by contractor after leveling pole

Slot to be provided in concrete to allow water to drain

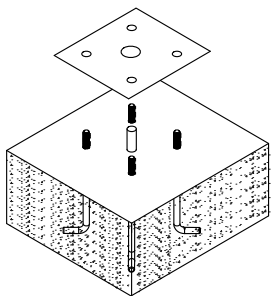
When using leveling bolts.

After establishing a level platform the space between the original concrete surface and the pole base should be filled with concrete and finished flush.

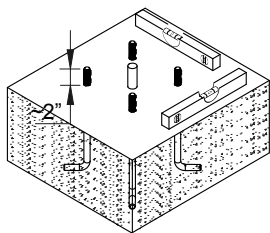
This provides a uniform load displacement pad for the forces created by wind and luminaire weight

Foundation and Design by Others

①



②



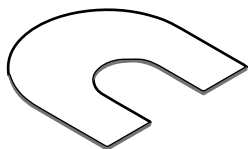
Use anchor bolt template to set anchor bolts into concrete as per civil engineering instructions.

Ensure that the concrete is plumb using a level. Failing to do this will result in pole being uneven or tilted.

**Ligman does not provide foundation details. A local engineer that is familiar with the site soil conditions should provide this information.**

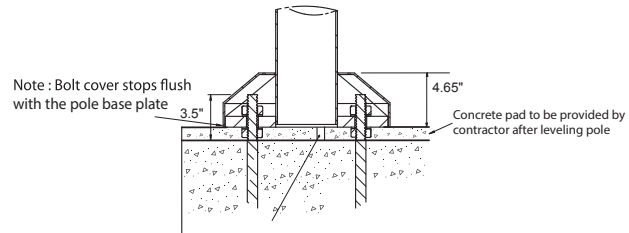
**NOTE:**  
Ligman does not recommend using leveling bolts for pole installations.

Leveling shims can be provided, contact Ligman for more information.



Leveling Shim Example

#### Using Leveling Bolts Option B



Note: Bolt cover stops flush with the pole base plate

Concrete pad to be provided by contractor after leveling pole

Slot to be provided in concrete to allow water to drain

When using leveling bolts.

After establishing a level platform the space between the original concrete surface and the pole base should be filled with concrete and finished flush.

This provides a uniform load displacement pad for the forces created by wind and luminaire weight



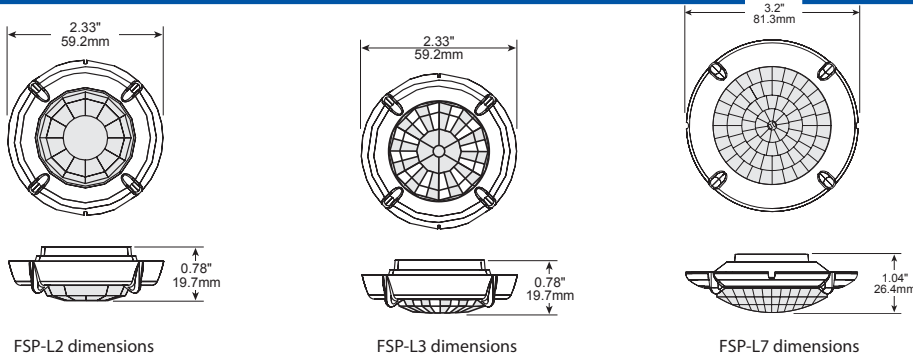
# HIGH/LOW/OFF PIR OUTDOOR PHOTO/MOTION SENSOR IP66 - **legrand**® Integrated photocell

Ligman provides integrated photocell control using the wattstopper legrand FSP-211B. These units are installed inside the fixture housing with only the external lenses being visible



FSP-211B

## Dimensions of Lens Options



## Product Overview

The FSP-221B is a family of passive infrared (PIR) outdoor sensors that raise or lower the electric lighting level to high, low or off based on motion and/or daylight contribution. Typically, once the sensor stops detecting movement and the time delay elapses, lights will first fade to low mode, and eventually switch off. When motion is detected, the sensor ramps the light level to high mode unless the daylight contribution is sufficient.

The integral photocell can also switch the lights on and off for dusk to dawn control, so that lighting remains on overnight even without motion detection.

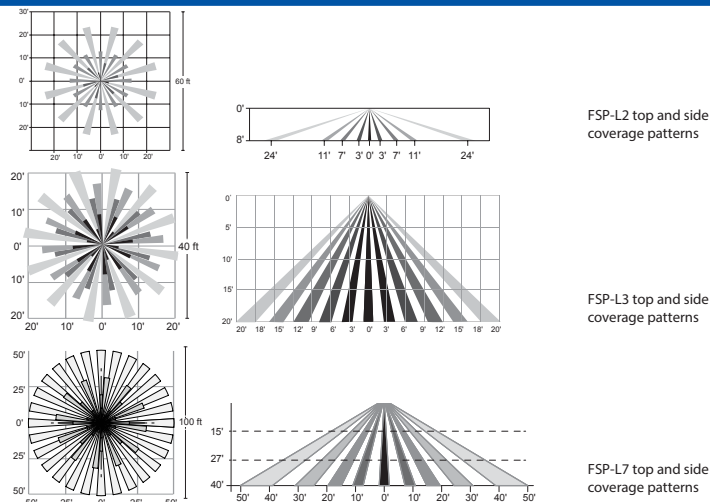
The sensors control 0-10VDC or nondimming LED drivers or ballasts.

The low voltage FSP-201B may be used with dim-to-off drivers or ballasts.

Initial setup and subsequent sensor adjustments are made using a Wireless Handheld Configuration Tool (FSIR-100). This tool enables adjustment of sensor parameters including high/low mode, sensitivity, time delay, cut off and more.

The FSIR-100 can read current parameter settings, and stores up to six sensor parameter profiles to speed commissioning of multiple sensors.

## Coverage



## Models

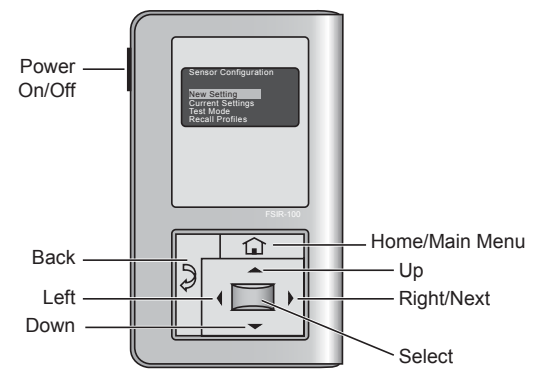
- FSP-211B, 120-277 VAC
- FSP-221B, 100-347 VAC

## Specifications and Features

- Three interchangeable lenses for mounting between 8' and 40'
- Remote setup and adjustment with handheld wireless configuration tool
- Adjustable high and low modes (high: 0 to 10V, low: off, 0 to 9.8V)
- Adjustable time delay (30 seconds, 1 to 30 minutes)
- Adjustable cut off delay (none, 1 to 59 minutes, 1 to 5 hours)
- Adjustable sensitivity/service mode (low, med, max; on-fix, off-fix)
- Adjustable setpoints: hold off setpoint (none, 1 to 250 fc, auto); photocell on/off setpoint (1 to 250 fc)
- Adjustable ramp and fade times (1 to 60 seconds)
- Operating temperature: -40°F to +167°F (-40°C to +75°C)
- IP66 rated
- Five year warranty

## Factory Defaults

- High mode: 10V
- Low mode: 1V
- Time delay: 5 minutes
- Cut off: 1 hour
- Setpoint: Disabled
- Sensitivity: Max
- Ramp up time: Disabled
- Fade down time: Disabled
- Photocell On/Off: Disabled



The FSIR-100 is a convenient handheld remote tool for sensor setting. Adjustable settings can be changed as needed for specific applications.

Catalog #	Color	Description
<input type="checkbox"/> FSP-L2	White/Grey/Black/Brown <small>The Trim color option will be selected to closest match fixture color. e.g. (Matte silver fixture - grey trim)</small>	360° lens, maximum coverage 48' diameter from 8' height
<input type="checkbox"/> FSP-L3	White/Grey/Black/Brown <small>The Trim color option will be selected to closest match fixture color. e.g. (Matte silver fixture - grey trim)</small>	360° lens, maximum coverage 40' diameter from 40' height
<input type="checkbox"/> FSP-L7	White/Grey/Black/Brown <small>The Trim color option will be selected to closest match fixture color. e.g. (Matte silver fixture - grey trim)</small>	360° lens, maximum coverage 100' diameter from 100' height
<input type="checkbox"/> FSIR-100	Black	Remote Handheld Configuration Tool

NEW

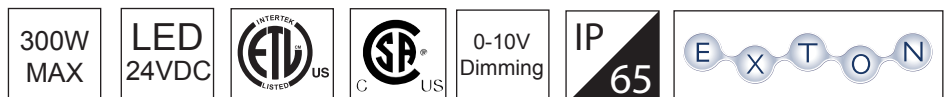
Kore EX5 **Item 5.**

# Exton Monopoint System

Rigid Stem 4" Monopoint Pendant  
"S" Envelopes, Brilliant Gems & Disk Shades



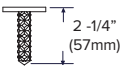
- Category:** Exton 24" Rigid Stem Monopoint with a glass "S" (Sign) Envelope, Brilliant Gem and architectural Disk Shade. Remote Power Supply Enclosure with Driver. Optional 0-10V Dimming.
- Material:** **Monopoint/Stem:** Powdercoated Stainless Steel.  
**Kore EX5 LED Module:** UV stable exterior anodized aluminum, UV stable polycarbonate, rubber O-rings.  
**Envelope:** Hand blown, tooled glass. Note: Tegan's Glass Envelopes are hand blown with tooling. While the tooling provides consistency in scale, the Envelopes will have minor variations from Envelope-to-Envelope and batch-to-batch in scale and appearance. There also can be minor bubbles (clear/frosted versions) and tool marks on the surface. These are all common attributes of blown glass.  
**Gem:** Faceted glass, tooled.  
**Architectural Metal Shade:** Powdercoated Aluminum.
- Finish:** **Kore EX5 LED Module:** Exterior rated, brushed, two-step electrolytic color anodizing. Anodized Black (BLK) or Anodized Aluminum (AL).  
**S Envelope:** Clear/Frosted, Clear Rain Bubble Pattern, Amber Rain Bubble Pattern.  
**Shade:** Powdercoated Black.  
**24" (max) Rigid Stem:** Field cuttable, finish to match Module.
- Power Supply Enclosure:** Refer to [Exton Power Supply IP20 Specs sheet](#), [IP24 Specs sheet](#) or [IP66 Specs sheet](#) for details.
- Kore-EX5 LED:** 5W Kore EX5 LED Pendant - Anodized Aluminum or Anodized Black finish.
- LED:** High Wattage Array Cree LED, 2-Step Macadam. 5W @ 500 Lumen Output with 2700K 82-85 CRI typical. All values are initial lumens. For exact lumen output and wattage consumption data, please consult IES reports. Online power consumption does not include driver losses. Contact factory for 3000K, 3500K, 4000K or 90 CRI.
- Electrical:** 24VDC. Total input watts: 6.5W. 300W max. per circuit.
- Optics:** A 15° reflector is supplied in all decorative options to maximize decorative element illumination. Refer to photometric report for details.
- Remote Power Supply Option:** The Exton System can be used with a Remote Power Supply Enclosure and Driver. Refer to [Exton Power Supply IP20 Specs sheet](#), [IP24 Specs sheet](#) or [IP66 Specs sheet](#) for details. Use of Tegan Lighting Power Enclosures and Drivers only. If supplied "by others" the warranty and listing are void.
- Envelopes:** "S" (Sign) Glass Envelope Clear (SEC), "S" (Sign) Glass Envelope Frosted (SEF), "S" (Sign) Glass Envelope Clear Rain Bubble Pattern (SECRP), "S" (Sign) Glass Envelope Amber Rain Bubble Pattern (SEARP). Contact factory for alternative stock or custom colors (100+ units).
- Glass Gems:** Faceted "Brilliant" Clear Sparkle Gem (BCG), Faceted "Brilliant" Frosted Gem (BFG), Faceted "Brilliant" Amber Sparkle Gem (BAG). Contact factory for alternative stock or custom colors.
- Architectural Shade:** 12" Disk Shade; Powdercoated Black (DS-BLK). Contact factory for one-tone or two-tone custom colors (no minimum quantity).
- Accessories:** 22K Color Correction Filter (EX5-CCT-22K), 24K Color Correction Filter (EC5-CCT-24K). Note: CCT22/24 = Kelvin Temperature results when used with the standard 27K Cree LED.
- Installation:** Kore EX5 LED Pendant mounts to a 4" metal IP65 J-Box by others rated between 50-150lbs fixture support securely mounted to building structure. Refer to installation instruction drawings for secure mounting examples. Refer to [Installation Instructions #24](#) for details. For system layout, and specification assistance, refer to the [Exton IP65 Application Guide](#) for details.
- Labels:** ETL Listed; Tested to UL 2108 Low Voltage Lighting Systems. In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials. Technical specification sheets that appear on [teganlighting.com](#) are the most recent version and supersede all other versions that exist in any other printed or electronic form. Kore EX5 Module, Monopoint Mounting - 3 year warranty.



# Exton Monopoint System

## Rigid Stem 4" Monopoint Pendant "S" Envelopes, Brilliant Gems & Disk Shades

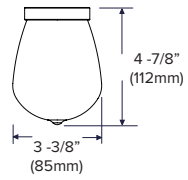
### Exton - Kore-EX5 Glass "Gem" Types



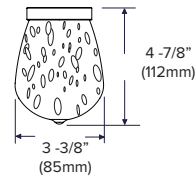
Exton Brilliant Clear, Frosted or Amber Gem  
Multifaceted "Brilliant" Sparkle glass Gem for Kore-EX5 Module.

1. Contact factory for a custom design gem Refer to page 1 for minimum units.

### Exton - Kore EX5 Glass Envelopes - Sign (S) Types



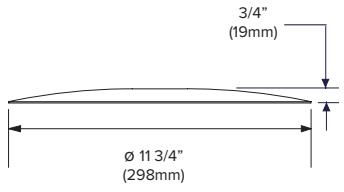
"S" Glass Envelope, Clear  
Hand Blown, Clear Sign (S) Shape Glass Envelope for Kore-EX5.



"S" Glass Envelope, Clear or Amber Bubble Pattern  
Hand Blown, Clear or Amber Rain Bubble Pattern Sign (S) Shape Glass Envelope for Kore-EX5.

1. Contact Factory for alternative color options. Refer to page 1 for minimum units.


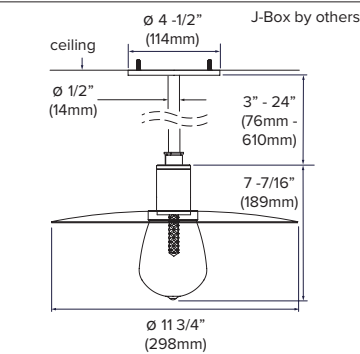
### Exton - Kore EX5 Architectural Shade - Metal Type



12" Dysk Shade, Black finish.

1. Can be field painted or contact factory for custom colors

### Exton - 4" Rigid Stem Monopoint - Kore EX5 24VDC Pendant with "S" Envelope, Gem & Disk Shade

Kore EX5 Stem Pendant Monopoint with S Envelope Clear, Brilliant Clear Gem, Dysk Shade, shorter field-cut length shown. 24" Field-cutttable rigid stem, 3" length minimum.

Kore EX5/Stem: Aluminum or Black finish.  
Dysk Shade: Black finish.

(EX5-K-P24-4MP-RGS-SEC-BCG-AL-DS-BLK)  
(EX5-K-P24-4MP-RGS-SEC-BCG-BLK-DS-BLK)

Kore EX5 Stem Pendant Monopoint with S Envelope Clear, Brilliant Frosted Gem, Dysk Shade, shorter field-cut length shown. 24" Field-cutttable rigid stem, 3" length minimum.

Kore EX5/Stem: Aluminum or Black finish.  
Dysk Shade: Black finish.

(EX5-K-P24-4MP-RGS-SEC-BFG-AL-DS-BLK)  
(EX5-K-P24-4MP-RGS-SEC-BFG-BLK-DS-BLK)

Kore EX5 Stem Pendant Monopoint with S Envelope Clear, Brilliant Amber Gem, Dysk Shade, shorter field-cut length shown. 24" Field-cutttable rigid stem, 3" length minimum.

Kore EX5/Stem: Aluminum or Black finish.  
Dysk Shade: Black finish.

(EX5-K-P24-4MP-RGS-SEC-BAG-AL-DS-BLK)  
(EX5-K-P24-4MP-RGS-SEC-BAG-BLK-DS-BLK)

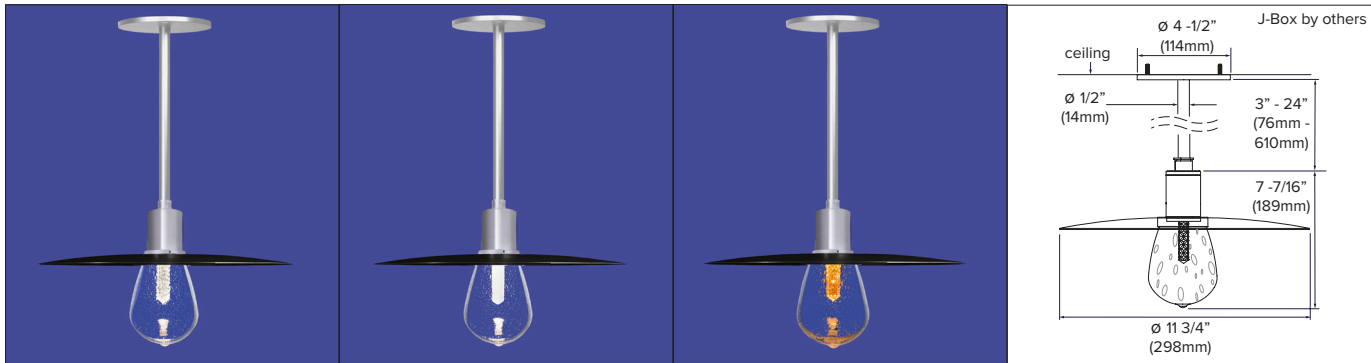
1. Order Remote Power Supplies separately. Refer to [Exton Power Supply IP20 Specs sheet](#), [IP24 Specs sheet](#) or [IP66 Specs sheet](#) for options.
2. Order Accessories separately.
3. 24VDC Operation.



# Exton Monopoint System

Rigid Stem 4" Monopoint Pendant  
 "S" Envelopes, Brilliant Gems & Disk Shades

## Exton - 4" Rigid Stem Monopoint - Kore EX5 24VDC Pendant with "S" Envelope, Gem & Disk Shade



Kore EX5 Stem Pendant Monopoint with S Envelope Clear Rain Bubble Pattern, Brilliant Clear Gem, Disk Shade, shorter field-cut length shown. 24" Field-cutttable rigid stem, 3" length minimum.

Kore EX5/Stem: Aluminum or Black finish.  
 Disk Shade: Black finish.

(EX5-K-P24-4MP-RGS-SECRP-BCG-AL-DS-BLK)  
 (EX5-K-P24-MP-JBPS-SECRP-CG-BLK-DS-BLK)

Kore EX5 Stem Pendant Monopoint with S Envelope Clear Rain Bubble Pattern, Brilliant Frosted Gem, Disk Shade, shorter field-cut length shown. 24" Field-cutttable rigid stem, 3" length minimum.

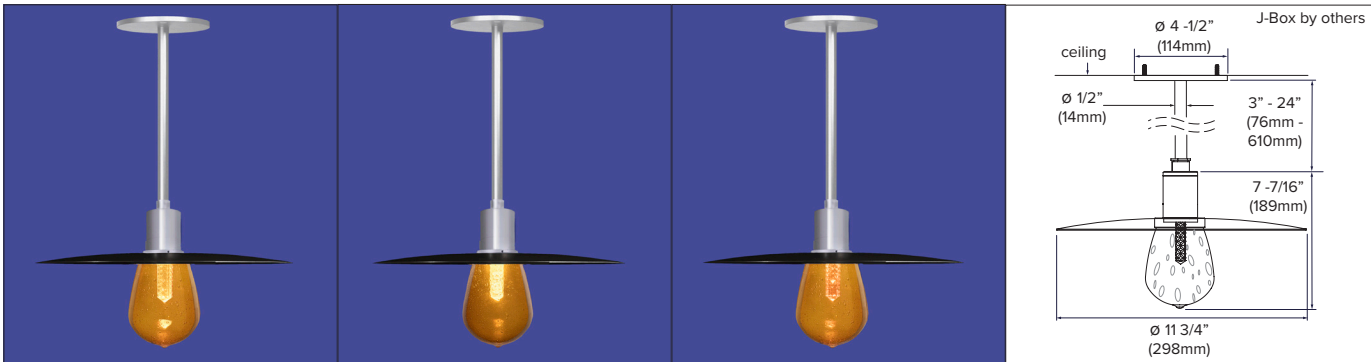
Kore EX5/Stem: Aluminum or Black finish.  
 Disk Shade: Black finish.

(EX5-K-P24-4MP-RGS-SECRP-BFG-AL-DS-BLK)  
 (EX5-K-P24-MP-JBPS-SECRP-BFG-BLK-DS-BLK)

Kore EX5 Stem Pendant Monopoint with S Envelope Clear Rain Bubble Pattern, Brilliant Amber Gem, Disk Shade, shorter field-cut length shown. 24" Field-cutttable rigid stem, 3" length minimum.

Kore EX5/Stem: Aluminum or Black finish.  
 Disk Shade: Black finish.

(EX5-K-P24-4MP-RGS-SECRP-BAG-AL-DS-BLK)  
 (EX5-K-P24-4MP-RGS-SECRP-BAG-BLK-DS-BLK)



Kore EX5 Stem Pendant Monopoint with S Envelope Clear, Brilliant Clear Gem, Disk Shade, shorter field-cut length shown. 24" Field-cutttable rigid stem, 3" length minimum.

Kore EX5/Stem: Aluminum or Black finish.  
 Disk Shade: Black finish.

(EX5-K-P24-4MP-RGS-SEC-BCG-AL-DS-BLK)  
 (EX5-K-P24-4MP-RGS-SEC-BCG-BLK-DS-BLK)

Kore EX5 Stem Pendant Monopoint with S Envelope Clear, Brilliant Frosted Gem, Disk Shade, shorter field-cut length shown. 24" Field-cutttable rigid stem, 3" length minimum.

Kore EX5/Stem: Aluminum or Black finish.  
 Disk Shade: Black finish.

(EX5-K-P24-4MP-RGS-SEC-BFG-AL-DS-BLK)  
 (EX5-K-P24-4MP-RGS-SEC-BFG-BLK-DS-BLK)

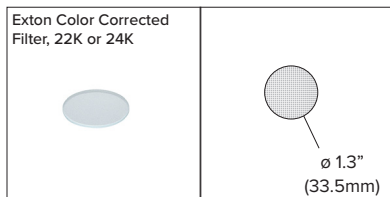
Kore EX5 Stem Pendant Monopoint with S Envelope Clear, Brilliant Amber Gem, Disk Shade, shorter field-cut length shown. 24" Field-cutttable rigid stem, 3" length minimum.

Kore EX5/Stem: Aluminum or Black finish.  
 Disk Shade: Black finish.

(EX5-K-P24-4MP-RGS-SEC-BFAG-AL-DS-BLK)  
 (EX5-K-P24-4MP-RGS-SEC-BAG-BLK-DS-BLK)

1. Order Remote Power Supplies separately. Refer to [Exton Power Supply IP20 Specs sheet](#), [IP24 Specs sheet](#) or [IP66 Specs sheet](#) for options.
2. Order Accessories separately.
3. 24VDC Operation.

## Exton - Kore-EX5 LED - Accessories



Exton Color Corrected Filter, 22K or 24K

(EX5-CCT-22K/24K)

22K or 24K Kelvin Temperature results when used with the standard 27K Cree LED.



Click on the linked images below to visit the [Exton IP65 Gallery](#).

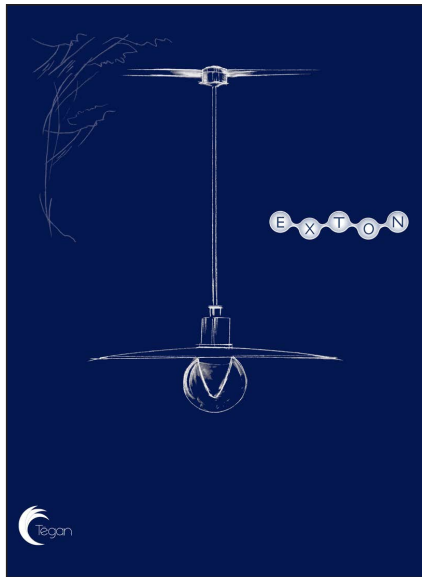


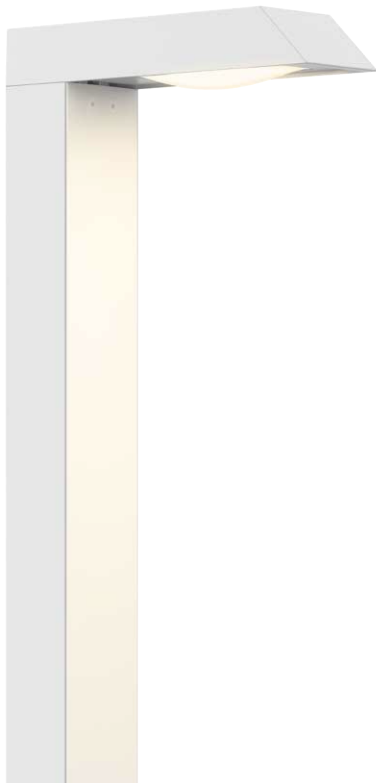
Kore EX5 LED Rigid Stem Monopoint Pendant, Black, Remote Power Supply, G Envelope Frosted, Disk Shade



Kore EX5 LED Rigid Stem Monopoint Pendant, Black, Remote Power Supply, S Envelope Amber Rain Bubble Pattern, Disk Shade

Click on the image below to visit the [Exton IP65 Application Guide](#).





TYPE
CATALOG #
PROJECT
NOTES

## LED AREA LUMINAIRE

### aLance-6

The ultra-modern aLance-6 area luminaire combines the versatility of die-cast aluminum with minimalist aesthetics to complement a range of contemporary installations.

#### Quick Facts

- Die-cast aluminum
- Two-layer marine-grade anodization and powder coat finish
- Cree® integrated LEDs
- Tamper-resistant features
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V
- 5-year limited warranty



## *aLance*-6 SPECIFICATIONS

Output	1LED	ZDC
Total Lumens <sup>†</sup>	73	36
Input Voltage	10 to 15V	11 to 15V
Input Power (W)	2.0	3.6
VA	2.4	4.3
Efficacy (Lumens/Watts)	36	21
Color Rendering Index (CRI)	83	82
Center Beam Candlepower	85	25
Dimming	PWM, Phase**	PWM, Phase**
RGBW Available	No	Yes
<b>Luxor<sup>®</sup> Compatibility</b>		
Default	Zoning	Zoning
ZD Option	Zoning/Dimming	Zoning/Dimming
ZDC Option	N/A	Color
Minimum Rated Life (L70)	50,000 Hrs	50,000 Hrs

\*\* For optimal performance, use a trailing-edge, phase-cut dimmer.

<sup>†</sup> Measured using the 3,900K CCT lens. Multipliers for other CCTs include 0.80 (2,700K), 0.65 (4,500K), and 0.65 (5,200K).

### Holm

Holm. Born from an industry demand for a comprehensive offering of distinctive line- and low-voltage luminaires for the commercial market. Our products are designed to meet required specifications while echoing the aesthetics of the project. Holm is a Hunter Industries company with more than three decades of engineering expertise, now bringing its Luxor technology to the commercial architectural and landscape lighting market.

### Materials

Die-cast aluminum A380 housing and shroud with stainless steel hardware.

### Lamp

Integrated module with Cree LEDs. Gold-plated connectors and conformal coated for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses firmware-controlled temperature regulation, maximizing LED life. Field upgradeable and replaceable, the LEDs are rated to 50,000 hrs. Maximum drive current: 1 A.

**Ambient Operating Temperature**  
0°F to 140°F (-18°C to 60°C)

### Optics

Polycarbonate color temperature adjustment lenses included with luminaire: 2,700K (preinstalled) and 3,900K (clear lens). Color temperature lenses are field serviceable.

### Socket

Socket contains MoistureBlock™ technology, preventing moisture from wicking up into sealed areas of the luminaire.

### Wiring

18 AWG SPT-1W 105°C 300V  
3-meter length.

### Power

Input 10-15VAC/VDC 50/60Hz.  
Remote transformer required (specify separately).

### Housing

Die-cast aluminum housing with capacity for rectangular 1LED integrated LED.

### Lens

Frosted polycarbonate lens with high tolerance for thermal expansion, stress, and abuse.

### Hardware

Tamper-resistant stainless steel hardware.

### Finish

Two-layer protection of sulfuric acid anodization and polyester TGIC powder coat, providing superior outdoor weathering in all conditions. Tested to ASTM standards.

### Weight

3.2 lbs. (1.45 kg)

### Installation Requirements

Designed for installation in the downward lighting direction only.

### Control

ZDlink or ZDclink utilizes Luxor technology to zone luminaires in up to 250 groups, dim each group in 1% increments between 0 and 100%, or change to one of 30,000 colors with RGBW LEDs. Select the ZD option for zoning/dimming or ZDC for zoning/dimming/color. Standard luminaire is zoneable with ZDlink or ZDclink.

### Sustainability

Innovation meets conservation in the design and manufacturing of our products. Where we can, we use recycled materials while maintaining superior functionality. Our LED products provide high-quality light at optimal energy efficiency, lifespan, and durability.

### Warranty

5-year limited warranty






### Manufacturing

ISO 9001:2015 certified facility

### Listings



# aLance-6 ORDERING INFORMATION

Luminaire-Size	Luxor Option	Output	Listing	Height	Options	Finish
aLNC-6	<input type="checkbox"/> [default] Zone	<input type="checkbox"/> 1LED 73 Lumens	<input type="checkbox"/> [default] UL listed	<input type="checkbox"/> 24 24" Nominal	<input type="checkbox"/> [default] Ground Mount with Conduit	<input type="checkbox"/> BZ Bronze Metallic 
	<input type="checkbox"/> ZD Zone/Dim		<input type="checkbox"/> E CE approved		<input type="checkbox"/> DM Deck Mount	<input type="checkbox"/> SV Silver 
	<input type="checkbox"/> ZDC Zone/Dim/Color	<input type="checkbox"/> [default ZDC Option] 36 Lumens				<input type="checkbox"/> FB Black 
						<input type="checkbox"/> FW Flat White 
						<input type="checkbox"/> RL RAL Color 

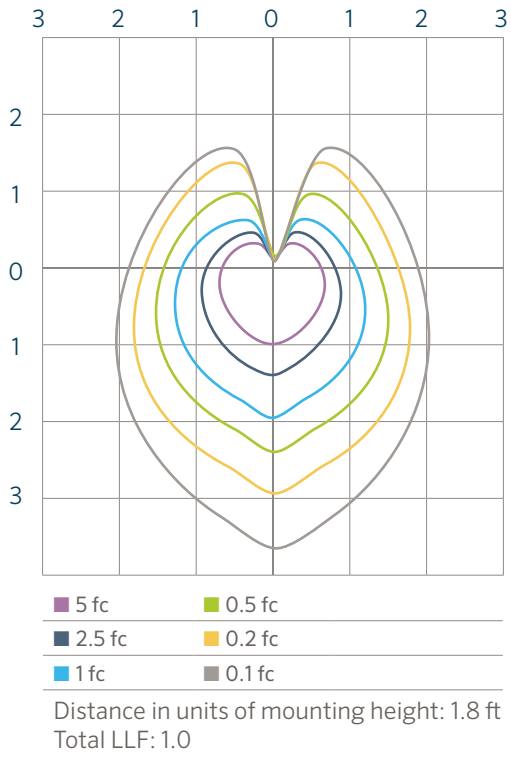
EXAMPLE LUMINAIRE CONFIGURATION: aLNC-6-ZD-1LED-24-DM-SV



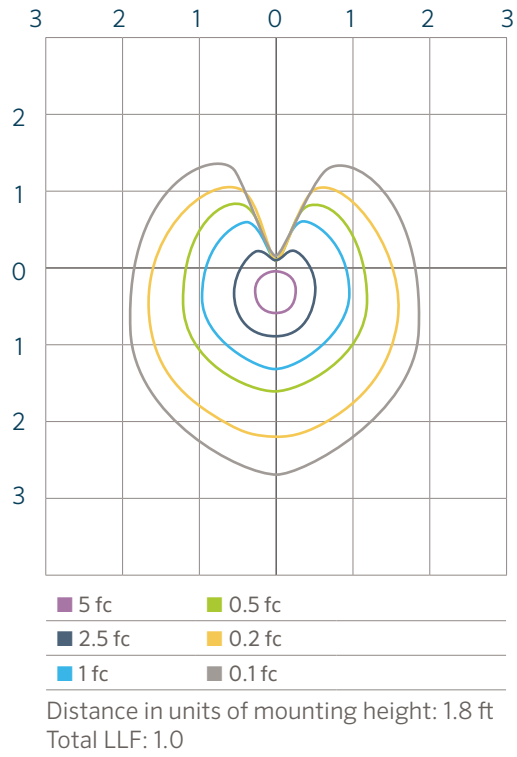


# *aLance*-6 PHOTOMETRICS

*aLNC6* 1LED 24 Isofootcandle Plot

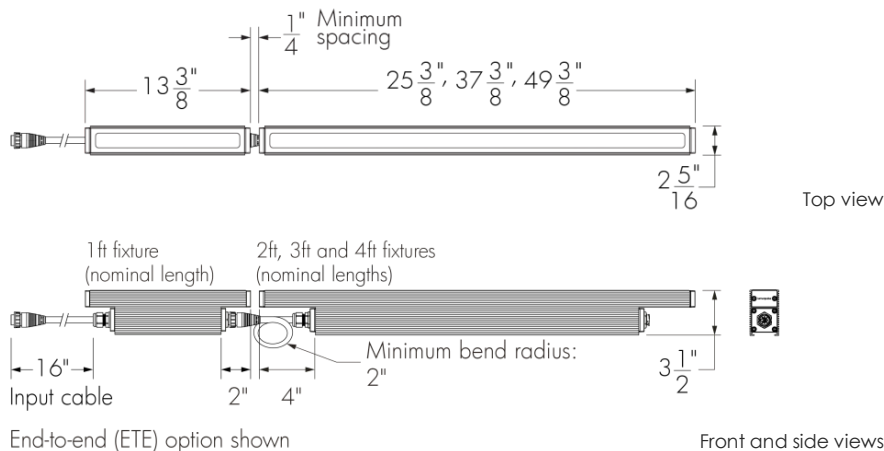


*aLNC6* ZDC 1LED 24 Isofootcandle Plot



Project Name \_\_\_\_\_ Qty \_\_\_\_\_

Type \_\_\_\_\_ Catalog / Part Number \_\_\_\_\_

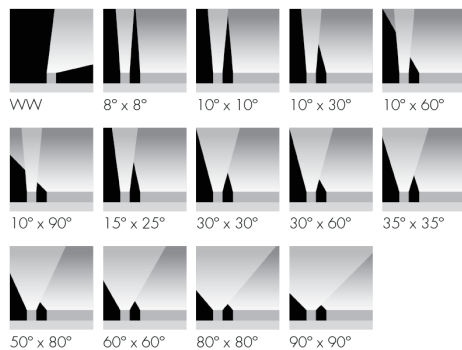


**Photometric Summary**

	Delivered output (lm)	Intensity (peak cd)
<b>WW</b>	3,592	5,159
<b>8°x8°</b>	4,045	77,896
<b>10°x10°</b>	3,830	38,346
<b>10°x30°</b>	3,885	30,056
<b>10°x60°</b>	3,984	17,736
<b>10°x90°</b>	3,576	7,897
<b>15°x25°</b>	3,880	24,730
<b>30°x30°</b>	3,765	14,726
<b>30°x60°</b>	3,848	5,106
<b>35°x35°</b>	3,921	9,999
<b>50°x80°</b>	3,767	3,449
<b>60°x60°</b>	3,435	3,007
<b>80°x80°</b>	3,881	2,530
<b>90°x90°</b>	3,588	1,886

Based on HO 4000K, 4ft [1219mm] configuration. Photometric performance is measured in compliance with IESNA LM-79-08.

**Optics**



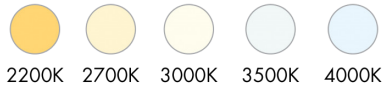
**Description**

The Lumenfacade is a high-performance linear LED luminaire for grazing or floodlighting exterior walls and facades. Featuring second generation LED technology, the luminaire is available in 12 in, 24 in, 36 in or 48 in sections, and can be configured with a wide number of options, including: optics for grazing or flood lighting; a choice of outputs (ASHRAE 5 W/ft, RO 8.5 W/ft or HO 15.25 W/ft); various color temperatures or static colors; various mounting options, finishes, accessories and controls. The Lumenfacade is also available with a unique asymmetric wallwash distribution, providing exceptional uniformity and brightness for walls and signage.

**Features**

<b>Color and Color Temperature</b>	2200K, 2700K, 3000K, 3500K, 4000K, Red, Green, Blue
<b>Length (nominal)</b>	12 in, 24 in, 36 in, 48 in
<b>Optics</b>	Asymmetric Wallwash, 8° x 8°, 10° x 10°, 10° x 30°, 10° x 60°, 10° x 90°, 15° x 25°, 30° x 30°, 30° x 60°, 35° x 35°, 50° x 80°, 60° x 60°, 80° x 80°, 90° x 90°
<b>Options</b>	End-to-end configuration (factory installed 16 in black input cable included), Corrosion-resistant coating for hostile environments, 3G ANSI C136.31-2010 Vibration Rating for bridge applications, CE (certification covers European Economic Area)
<b>Power Consumption</b>	5 W/ft (meets ASHRAE standards for linear lighting on building facades - not available for 12 in fixture lengths), 8.5 W/ft (RO version), 15.25 W/ft (HO version), Typically 20% higher for 12 in fixture lengths
<b>Warranty</b>	5-year limited warranty
<b>Performance</b>	
<b>Illuminance at Distance</b>	Minimum 1 fc at 133 ft (HO 4000K, 48 in fixture, 10° x 60°, DMX/RDM)
<b>Color Consistency</b>	2 SDCM, 3 SDCM (2200K)

**Colors and Color Temperatures**



**Controls**

ON/OFF    0-10V    DALI



**Ratings**

IP66    IK07\*  
\*asymmetric wallwash lens is IK06 rated

**Certifications**



<b>Color Rendering</b>	Minimum CRI 80
<b>Lumen Maintenance</b>	L70 280,000 hrs, L95 35,000 hrs

**Physical**

<b>Housing Material</b>	Low copper content extruded aluminum
<b>Lens Material</b>	Clear tempered glass
<b>Hardware Material</b>	Stainless steel
<b>End Cap Material</b>	Machined aluminum
<b>Gasket Material</b>	Silicone
<b>Surface Finish</b>	Electrostatically applied polyester powder coat
<b>Weight</b>	12 in: 4.5 lbs, 24 in: 7 lbs, 36 in: 10.5 lbs, 48 in: 14 lbs

**Electrical and control**

<b>Voltage</b>	100 to 277 volts, 347 volts available (consult factory for details)
<b>Fixture Cable</b>	Power and data in one cable, End-to-end option (ETE): 16 in black input cable (no jumper cable needed for minimum spacing between two fixtures)
<b>Leader Cable Conductor</b>	5C #16-5
<b>Maximum Cable and Fixture Run Length</b>	252 ft (On/Off, 277V, RO version), 164 ft (On/Off, 277V, HO version)
<b>Control</b>	On/Off control, Lumentalk, 0-10V dimming, DALI dimming, Lutron® EcoSystem® Enabled dimming, DMX/RDM enabled
<b>Resolution (DMX/RDM)</b>	Per foot or per fixture (configured with LumenID V3 software), 8-bit or 16-bit

**Environmental**

<b>Storage Temperature</b>	-40 °F to 185 °F (device must reach start-up temperature value before operating)
<b>Start-up Temperature</b>	-13 °F to 122 °F
<b>Operating Temperature</b>	-40 °F to 122 °F
<b>Ingress Protection Rating</b>	IP66, Wet location rated
<b>Impact Resistance Rating</b>	IK07 (asymmetric wallwash lens is IK06 rated)

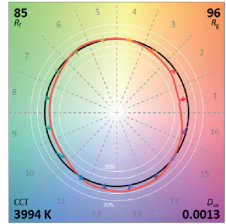
**Accessories (order separately)**

<b>Optical Accessories</b>	Lumenfacade Radial Louver
<b>Cables</b>	Leader cable (standard), Jumper cable (standard), Leader cable (ETE), Jumper cable (ETE)
<b>Control Boxes</b>	DMX/RDM enabled (daisy chain or star configuration), Ethernet enabled (daisy chain or star configuration), Lumentalk Data Bridge
<b>Control Systems</b>	Lumentone™ 2, Pharos® kit
<b>Diagnostic and Addressing Tools</b>	LumenID, LumentalkID

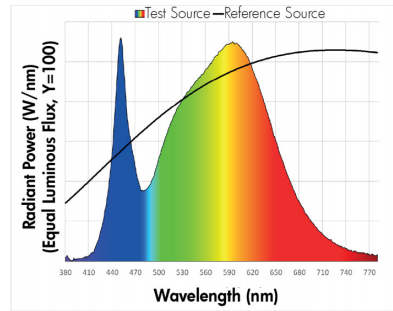
**Chromaticity Data**

TM-30 - 4000K

CCT	CIE		TM-30	
4000K	R <sub>a</sub>	83	85	R <sub>f</sub>
	R <sub>s</sub>	1.4	96	R <sub>g</sub>

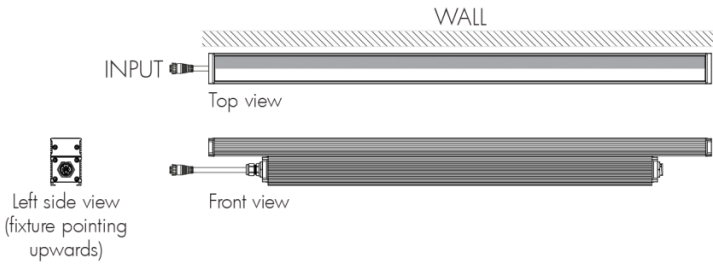


**Spectral Power Distribution**

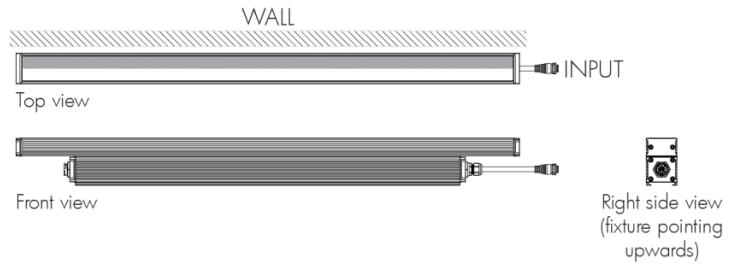


**Asymmetric wallwash optic details**

**WWLF - Asymmetric wallwash optic, left feed**



**WWRF - Asymmetric wallwash optic, right feed**

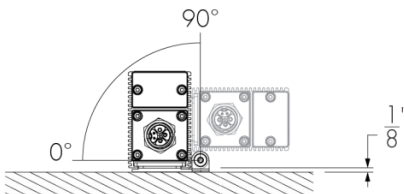


- Always position frosted side toward the wall.
- Fixture's feeding side is based on upright installations. Feeding sides are reversed when fixture is used in a downlight application.
- Recommended setback from wall is 1/10 of the wall height. Example: 2 ft setback for a 20 ft wall.

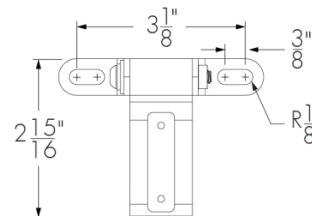
**Mounting options**

**Surface Mount**

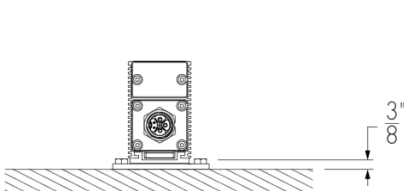
**SAM - Slim Adjustable Mounting**



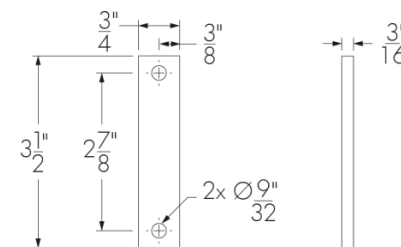
**SAM - Mounting hole pattern**



**UMP - Fixed Mounting**

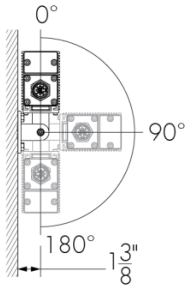


**UMP - Mounting hole pattern**

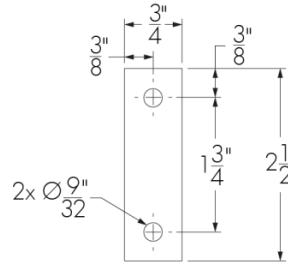


Wall Mount

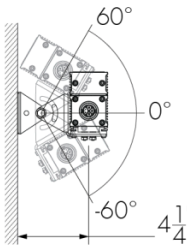
UMAS - Universal Adjustable Mounting



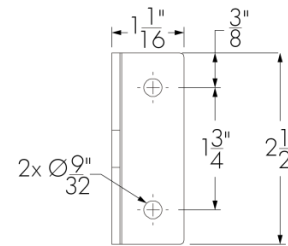
UMAS - Mounting hole pattern



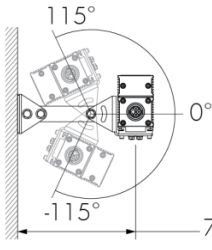
WAM2 - Adjustable Wall Mounting 2 in



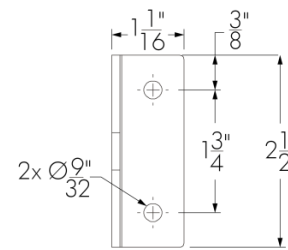
WAM2 - Mounting hole pattern



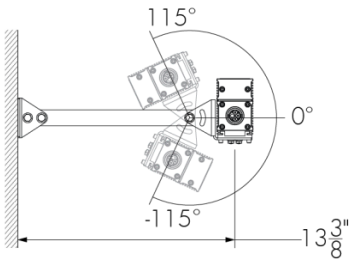
WAM6 - Adjustable Extended Arm Mounting 6 in



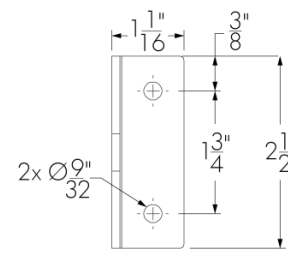
WAM6 - Mounting hole pattern



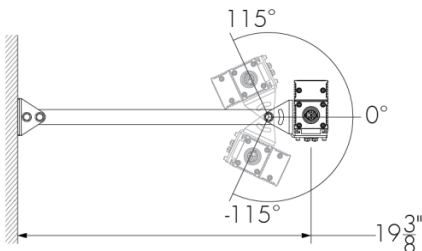
WAM12 - Adjustable Extended Arm Mounting 12 in



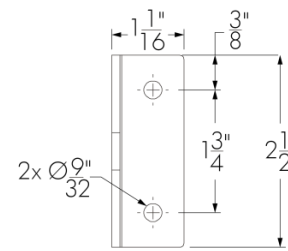
WAM12 - Mounting hole pattern



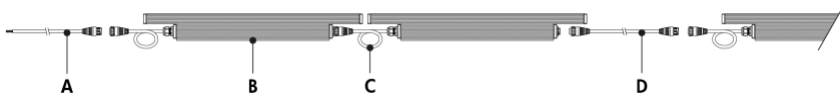
WAM18 - Adjustable Extended Arm Mounting 18 in



WAM18 - Mounting hole pattern



**End-to-end configuration option (ETE)**

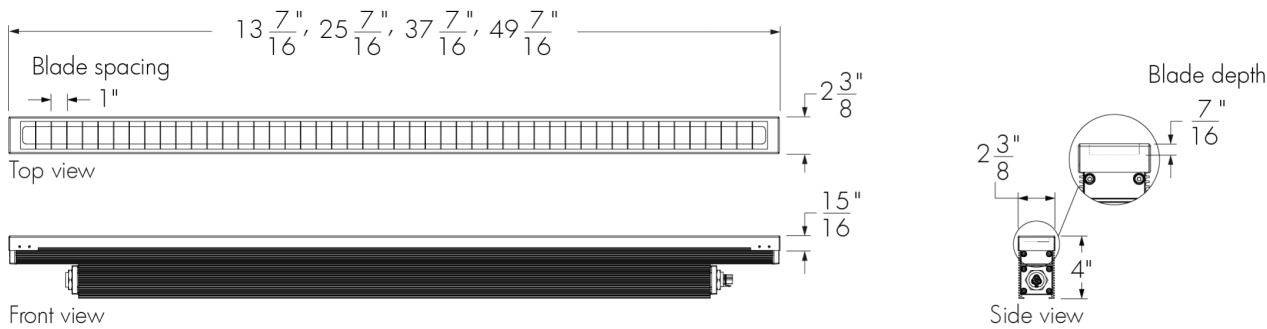


- A** - ETE leader cable (order separately)
- B** - Lumenfacade with ETE option
- C** - ETE 1/6 in black input cable (minimum bend radius: 2 in)
- D** - ETE jumper cable (order separately)

Includes a factory installed 1/6 in black input cable. A jumper cable is not required for minimum spacing between two end-to-end (ETE) fixtures. An ETE jumper cable is required only if a longer distance between two adjacent ETE fixtures is needed, or to connect two continuous runs of ETE fixtures together.

**Optical accessories (order separately)**

**LOGRD - Radial louver for Lumenfacade**



**LOGRD-LENGTH-FINISH-OPTIONS**



Please specify:

**LENGTH:** 12 in, 24 in, 36 in or 48 in; **FINISH:** BK - Black Sandtex®, BRZ - Bronze Sandtex®, SI - Silver Sandtex®, WH - Smooth white or CC - custom color and finish (please specify RAL color); **OPTIONS:** CRC - Corrosion-resistant coating for hostile environments

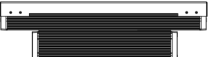

- The addition of a louver will affect beam distribution. Consult factory for application support.
- Not suitable for asymmetric wallwash optic.

**EPA Guide**

**Fixture**

	LOG 12 in	LOG 24 in	LOG 36 in	LOG 48 in
<b>EPA front (sq ft)</b> 	0.274	0.579	0.980	1.386
<b>EPA side (sq ft)</b> 	0.040	0.040	0.044	0.047

**Fixture with radial louver accessory**

	LOG 12 in	LOG 24 in	LOG 36 in	LOG 48 in
<b>EPA front (sq ft)</b> 	0.322	0.656	1.137	1.720
<b>EPA side (sq ft)</b> 	0.045	0.047	0.052	0.055

**Cables (order separately)**

**LOGLC - Leader cable for Lumenfacade**



Standard construction  
LOGLC-CERTIFICATION-STD-LENGTH-CABLE COLOR



End-to-end (ETE) option  
LOGLC-CERTIFICATION-ETE-LENGTH-CABLE COLOR

Please specify:

**CERTIFICATION:** UL or CE; **LENGTH:** 10 ft, 25 ft, 50 ft, 100 ft, 150 ft or 200 ft; **CABLE COLOR:** black or white (connectors are black as standard; ETE fixture input cables are black as standard)

- Suitable for dimming/data and non-dimming applications.
- Sealing end cap is mandatory for any unused connector. One (1) included with every leader cable.
- Consult Lumenfacade leader cable specification sheet for details.

**LOGJC - Jumper cable for Lumenfacade**



Standard construction  
LOGJC-CERTIFICATION-STD-LENGTH-CABLE COLOR



End-to-end (ETE) option  
LOGJC-CERTIFICATION-ETE-LENGTH-CABLE COLOR

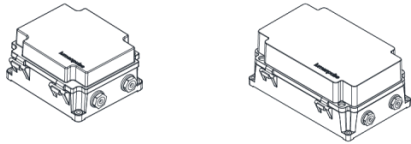
Please specify:

**CERTIFICATION:** UL or CE; **LENGTH:** 1 ft (available for ETE option only), 2 ft to 30 ft (available in 1 ft increments) or 50 ft; **CABLE COLOR:** black or white (connectors are black as standard; ETE fixture input cables are black as standard)

- Suitable for dimming/data and non-dimming applications.
- Consult Lumenfacade jumper cable specification sheet for details.

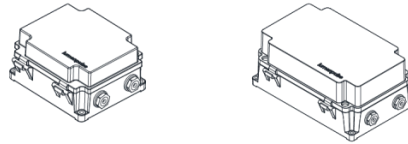
**Control boxes (order separately)**

**CBX-DMX/RDM - DMX/RDM enabled (daisy chain or star configuration)**



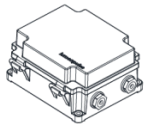
DMX/RDM control box. Up to six power and data outputs to fixtures or fixture runs. Consult CBX specification sheet and installation instructions for details. Lumenterminators provided with CBX (2x for daisy chain configuration, 6x for star configuration), consult factory to order spares.

**CBX-ENET - Ethernet enabled (daisy chain or star configuration)**



Ethernet control box. Up to four power and data outputs to fixture or fixture runs. Consult Ethernet CBX specification sheet and installation instructions for details.

**LDB - Lumentalk Data Bridge**



Lumentalk Data Bridge, 0-10V or DMX output. Consult LDB specification sheet for details.

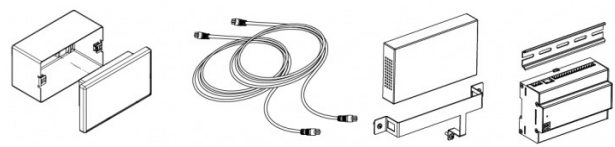
**Control systems (order separately)**

**LTN2 - Lumentone™ 2**



Lumentone 2 is a simple pre-programmed DMX 512 controller with a push button rotary dial and live feedback.

**PHAROS - Pharos® kit**



The Pharos kit, available for 1 or 2 DMX universes, allows for complete control of large lighting installations. 2 DMX universes kit shown.

**Diagnostic and addressing tools (order separately)**

**LID - LumenID**



LumenID is a diagnostic and addressing DMX/RDM tool. It must be specified on all DMX applications. Consult LID specification sheet for details.

**LID-LT - LumentalkID**



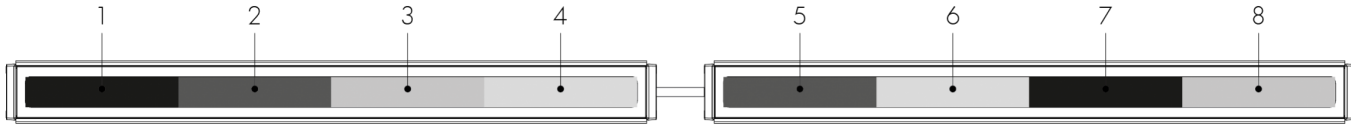
LumentalkID is a diagnostic and addressing tool. It must be specified for all Lumentalk (LT) applications. Consult LID-LT specification sheet for details.



**Resolution details**

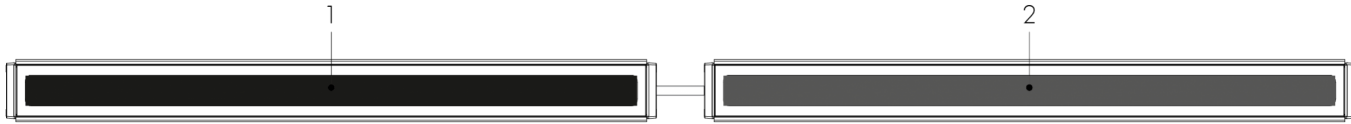
DMX/RDM control, resolution per foot: each 12 in section is addressed independently

DMX addresses:



DMX/RDM control, resolution per fixture: each fixture is addressed independently

DMX addresses:



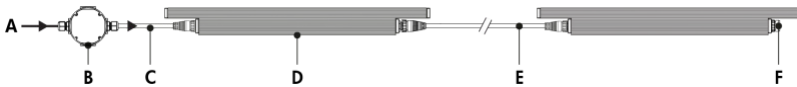
- 48 in fixtures shown.
- Applicable for DMX/RDM control option only. Fixture resolution can be configured on-site within the LumenID V3 software. A DMX/RDM enabled CBX is required.

**Typical wiring diagrams**

**Wiring color code**

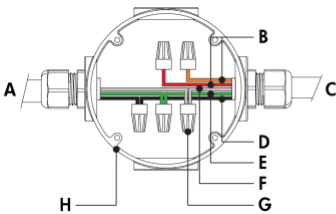
UL Color Code	USE
Green	Ground
Black	Line
White	Line/Neutral
Red or Purple	0-10V / Data +
Orange	0-10V / Data -

**On/Off Control (NO)**



- A - Power input (100-277V, wiring by others)
- B - Junction box (by others)
- C - Leader cable (LOGLC)
- D - Lumenfacade
- E - Jumper cable (LOGJC)
- F - Sealing end cap

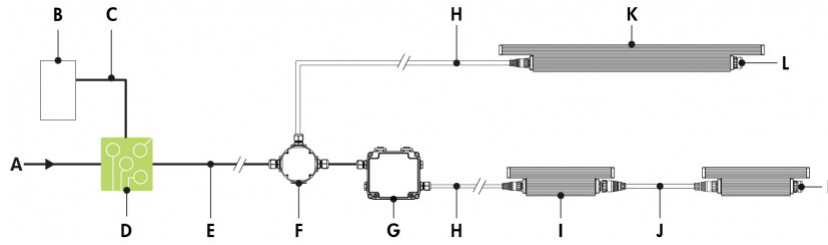
**On/Off Control (NO) - wiring detail**



- A - Power input
- B - Not required
- C - To fixture
- D - Line
- E - Ground
- F - Line/Neutral
- G - Wire-nuts (by others)
- H - Junction box (by others)

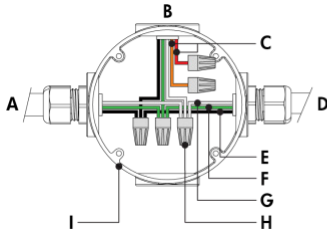
- Consult factory for specific applications and maximum fixture count/cable length recommendations.
- ASHRAE version (not available for 12 in fixture lengths): 5 W/ft; Regular Output version: 8.5 W/ft; High Output version: 15.25 W/ft.

**Lumentalk (LT)**



- A** - Power input (100-277V AC, wiring by others)
- B** - Dimmer/controller (order separately from Lumenpulse, or by others)
- C** - Data wiring (by others)
- D** - Lumentranslator 2 (LTL2-DIM, -DMX, -TRIAC, -DALI)
- E** - Power wiring (by others)
- F** - Junction box (by others)
- G** - Lumentalk Data Bridge (LDB-DIM or LDB-DMX)
- H** - Leader cable (LOGLC)
- I** - Lumenfacade 12 in
- J** - Jumper cable (LOGJC)
- K** - Lumenfacade (24 in, 36 in or 48 in fixture lengths)
- L** - Sealing end cap

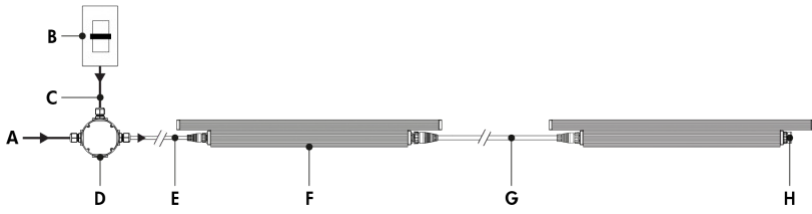
**Lumentalk (LT) - wiring detail**



- A** - Power input (control over power line via Lumentalk system)
- B** - To fixture
- C** - Not required
- D** - To Lumentalk Data Bridge (for run lengths with 12 in fixtures)
- E** - Line
- F** - Ground
- G** - Line/Neutral
- H** - Wire-nuts (by others)
- I** - Junction box (by others)

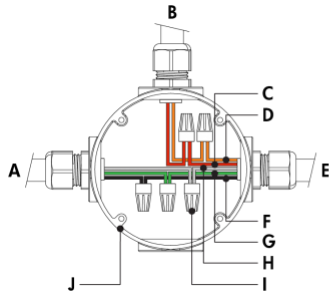
- Consult factory for specific applications and maximum fixture count/cable length recommendations.
- Lumentalk Data Bridge required for 12 in fixture lengths, see LDB installation instructions for details.
- For applications with all fixtures controlled as 1 zone: fixtures and Lumentalk Data Bridge must be specified as DIM. Maximum of 10 fixtures per LDB-DIM, consult factory for applications that require additional capabilities.
- For applications with fixtures controlled individually: fixtures and Lumentalk Data Bridge must be specified as DMX, 2-step commissioning process: 1 - DMX/RDM system using LumenID software and a LID, 2 - Lumentalk system using LumentalkID software and a LID-LT. Maximum of 32 fixtures per LDB-DMX. Consult factory for details.
- For DMX applications: 1 DMX controller per Lumentalk network, maximum of 48 DMX channels per Lumentalk network (minimum step transition update rate is 1 second, minimum fade time between two colors is 1 minute). Consult factory for applications that require additional capabilities.
- Maximum of 1 transmitter (Lumentranslator or Lumenlink) per system.
- No third party fixtures allowed on the same circuit.
- Consult factory for DALI Lumentalk applications.
- 1% minimum dimming value.
- ASHRAE version (not available for 12 in fixture lengths): 5 W/ft; Regular Output version: 8.5 W/ft; High Output version: 15.25 W/ft.

**0-10V dimming (DIM)**



- A - Power input (100-277V, wiring by others)
- B - Dimmer (by others)
- C - Data wiring (by others)
- D - Junction box (by others)
- E - Leader cable (LOGLC)
- F - Lumenfacade
- G - Jumper cable (LOGJC)
- H - Sealing end cap

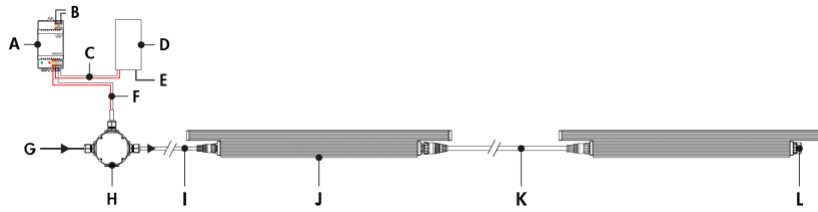
**0-10V dimming (DIM) - wiring detail**



- A - Power input
- B - From dimmer (by others)
- C - 0-10 V +
- D - 0-10 V -
- E - To fixture
- F - Line
- G - Ground
- H - Neutral
- I - Wire-nuts (by others)
- J - Junction box (by others)

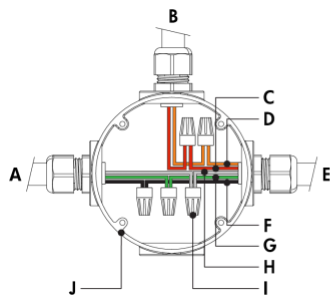
- Consult factory for specific applications and maximum fixture count/cable length recommendations.
- 0-10V mA ratings: passive dimmer (Current Sink): 3 mA per fixture, active dimmer (Current Source): 0.5 mA per fixture.
- 1% minimum dimming value.
- ASHRAE version (not available for 12 in fixture lengths): 5 W/ft; Regular Output version: 8.5 W/ft; High Output version: 15.25 W/ft.

**DALI dimming (DALI)**



- A** - DALI bus power supply (by others)
- B** - Power input for DALI bus power supply (wiring by others)
- C** - Data output to DALI controller (wiring by others)
- D** - DALI controller (by others)
- E** - Power input for DALI controller (wiring by others)
- F** - Data output to fixture (wiring by others)
- G** - Power input (100-277V, wiring by others)
- H** - Junction box (by others)
- I** - Leader cable (LOGLC)
- J** - Lumenfacade
- K** - Jumper cable (LOGJC)
- L** - Sealing end cap

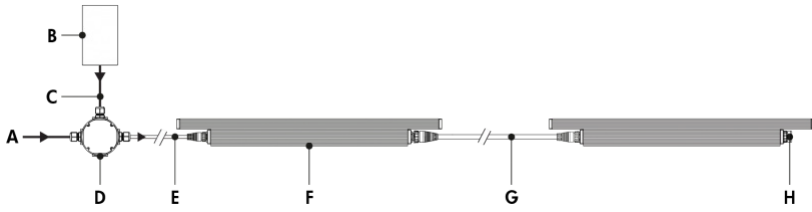
**DALI dimming (DALI) - wiring detail**



- A** - Power input
- B** - From DALI controller (by others)
- C** - DA +
- D** - DA -
- E** - To fixture
- F** - Line
- G** - Ground
- H** - Neutral
- I** - Wire-nuts (by others)
- J** - Junction box (by others)

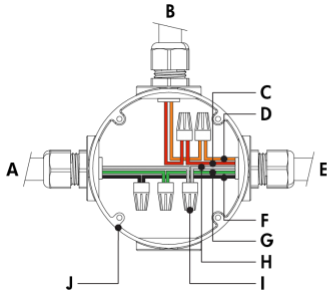
- Consult factory for specific applications and maximum fixture count/cable length recommendations.
- Maximum of 64 DALI fixtures per DALI loop.
- 1% minimum dimming value.
- ASHRAE version (not available for 12 in fixture lengths): 5 W/ft; Regular Output version: 8.5 W/ft; High Output version: 15.25 W/ft.
- Commissioning may be required based on the selection of 3rd party DALI controller. Controller and commissioning provided by others.

**Lutron® EcoSystem® Enabled dimming (ES)**



- A** - Power input (100-277V, wiring by others)
- B** - Lutron® EcoSystem® controller (by others)
- C** - Data wiring (by others)
- D** - Junction box (by others)
- E** - Leader cable (LOGLC)
- F** - Lumenfacade (24 in, 36 in or 48 in fixture lengths)
- G** - Jumper cable (LOGJC)
- H** - Sealing end cap

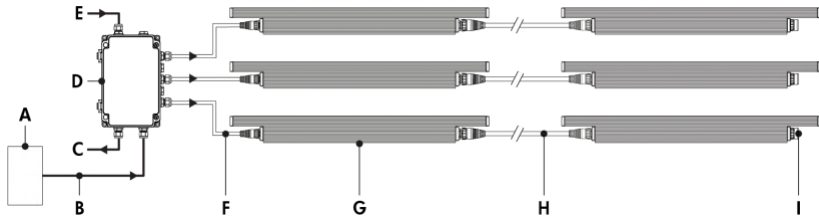
**Lutron® EcoSystem® Enabled dimming (ES) - wiring detail**



- A** - Power input
- B** - From Lutron® EcoSystem® controller (by others)
- C** - Data +
- D** - Data -
- E** - To fixture
- F** - Line
- G** - Ground
- H** - Neutral
- I** - Wire-nuts (by others)
- J** - Junction box (by others)

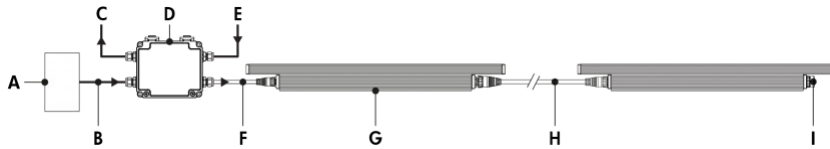
- Consult factory for specific applications and maximum fixture count/cable length recommendations.
- Each Lutron® EcoSystem® enabled fixture has its own address; for the example shown, there are a total of 2 EcoSystem® addresses.
- 1% minimum dimming value.
- ASHRAE version (not available for 12 in fixture lengths): 5 W/ft; Regular Output version: 8.5 W/ft; High Output version: 15.25 W/ft.

**Star Layout (DMX/RDM)**



- A** - DMX/RDM controller (order separately from Lumenpulse, or by others)
- B** - Data input (Belden 9841 or equivalent, by others)
- C** - Data output to next CBX (optional, not isolated/not boosted)
- D** - CBX-ST
- E** - Power input (100-277V, wiring by others)
- F** - Leader cable (LOGLC)
- G** - Lumenfacade
- H** - Jumper cable (LOGJC)
- I** - Sealing end cap

**Daisy Chain Layout (DMX/RDM)**



- A** - DMX/RDM controller (order separately from Lumenpulse, or by others)
- B** - Data input (Belden 9841 or equivalent, by others)
- C** - Data output to next CBX (optional, not isolated/not boosted)
- D** - CBX-DS
- E** - Power input (100-277V, wiring by others)
- F** - Leader cable (LOGLC)
- G** - Lumenfacade
- H** - Jumper cable (LOGJC)
- I** - Sealing end cap

**Maximum Run of Fixtures, Lumenfacade® LOG ASHRAE White & Static Colors 5 W/ft**

Voltage	120V	240V	277V
Maximum Run of Fixtures*	128ft		

**Maximum Run of Fixtures, Lumenfacade® LOG RO White & Static Colors 8.5 W/ft**

Voltage	120V	240V	277V
Maximum Run of Fixtures*	120ft	128ft	128ft

**Maximum Run of Fixtures, Lumenfacade® LOG HO White & Static Colors 15.25 W/ft**

Voltage	120V	240V	277V
Maximum Run of Fixtures*	68ft	80ft	88ft

Based on 15A maximum, 50ft leader cable.

\*Example: 120V = 120ft maximum run of end to end fixtures (30 fixtures maximum for 4ft LOG RO).

Based on 15A maximum, 50 ft leader cable.

- Consult CBX installation instructions for additional wiring details.
- Consult factory for specific applications and maximum fixture count/cable length recommendations. Maximum run length calculations are typically based on 48 in fixtures.
- The DMX/RDM protocol states a maximum of 32 DMX/RDM enabled fixtures on any single run.
- Maximum of 4 DMX/RDM repeaters/CBX cascading in line.
- Maximum of 6 outputs per CBX-ST; maximum of 1 output per CBX-DS.
- Each fixture requires 1 DMX address.
- 1% minimum dimming value.
- ASHRAE version (not available for 12 in fixture lengths): 5 W/ft; Regular Output version: 8.5 W/ft; High Output version: 15.25 W/ft.

How to order

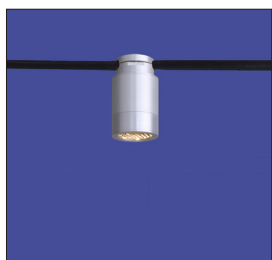
Housing <sup>(2)</sup>	Voltage <sup>(3)</sup>	Length	Color and Color Temperature <sup>(5)</sup>	Optics	Mounting Options	Finish	Control	Options
<b>LOG ASHRAE</b> Lumenfacade™, 5 W/ft ASHRAE compliant <sup>(1)</sup>  <b>LOG RO</b> Lumenfacade™ Regular Output, 8.5 W/ft  <b>LOG HO</b> Lumenfacade™ High Output, 15.25 W/ft	<b>100</b> 100 volts	<b>12</b> 13 3/8 in (4.5 lbs) <sup>(2)</sup>	<b>22K</b> 2200K	<b>WWLF</b> Asymmetric Wallwash, left feed	<b>SAM</b> Slim Adjustable Mounting	<b>BK</b> Black Sandtex®	<b>NO</b> On/Off control	<b>ETE</b> End-to-end configuration (factory installed 16 in black input cable included)
	<b>120</b> 120 volts	<b>24</b> 25 3/8 in (7 lbs)	<b>27K</b> 2700K	<b>WWRF</b> Asymmetric Wallwash, right feed	<b>UMP</b> Fixed Mounting <sup>(8)</sup>	<b>BRZ</b> Bronze Sandtex®	<b>LT</b> Lumentalk <sup>(4) (12) (13)</sup>	<b>CRC</b> Corrosion-resistant coating for hostile environments <sup>(14) (17)</sup>
	<b>208</b> 208 volts	<b>36</b> 37 3/8 in (10.5 lbs)	<b>30K</b> 3000K	<b>8x8</b> 8° x 8° <sup>(7)</sup>	<b>UMAS</b> Universal Adjustable Mounting <sup>(8)</sup>	<b>SI</b> Silver Sandtex®	<b>DIM</b> 0-10V dimming	<b>3GV</b> 3G ANSI C136.31-2010 Vibration Rating for bridge applications <sup>(18)</sup>
	<b>220</b> 220 volts	<b>48</b> 49 3/8 in (14 lbs)	<b>35K</b> 3500K	<b>10x10</b> 10° x 10° <sup>(7)</sup>	<b>WAM2</b> Adjustable Wall Mounting 2 in	<b>WH</b> Smooth white	<b>DALI</b> DALI dimming	<b>CE</b> CE (certification covers European Economic Area) <sup>(19)</sup>
	<b>240</b> 240 volts		<b>40K</b> 4000K	<b>10x30</b> 10° x 30°	<b>WAM6</b> Adjustable Extended Arm Mounting 6 in	<b>CC</b> Custom color and finish (please specify RAL color) <sup>(9) (10) (11)</sup>	<b>ES</b> Lutron® EcoSystem® Enabled dimming <sup>(14)</sup>	
	<b>277</b> 277 volts		<b>RD</b> Red <sup>(4)</sup>	<b>10x60</b> 10° x 60°	<b>WAM12</b> Adjustable Extended Arm Mounting 12 in		<b>DMX/RDM</b> DMX/RDM enabled <sup>(15)</sup>	
			<b>GR</b> Green <sup>(4)</sup>	<b>10x90</b> 10° x 90°	<b>WAM18</b> Adjustable Extended Arm Mounting 18 in			
			<b>BL</b> Blue <sup>(4)</sup>	<b>15x25</b> 15° x 25°				
				<b>30x30</b> 30° x 30°				
				<b>30x60</b> 30° x 60°				
				<b>35x35</b> 35° x 35°				
				<b>50x80</b> 50° x 80°				
				<b>60x60</b> 60° x 60°				
				<b>80x80</b> 80° x 80°				
				<b>90x90</b> 90° x 90°				

Notes:

- ASHRAE version not available for 12 in fixture lengths.
- Power consumption is typically 20% higher for 12 in fixture lengths.
- 347 volts available, consult factory for details.
- To connect 12 in fixture lengths to the Lumentalk system, DIM or DMX/RDM must be specified as the control option, and a Lumentalk Data Bridge (LDB) is required. See the typical wiring diagrams in the specification sheet for details.
- Consult factory for availability of static Royal Blue, 6500K and 90+ CRI.
- Static colors made to order 8-10 weeks.
- For best results use with HO fixtures at a 6 in setback from surface. Contact factory for application support.
- Suitable to use when 3GV option is specified.
- Lumenpulse offers a wide selection of RAL CLASSIC (K7) colors with a smooth texture and high-gloss finish. Please consult factory for a list of available K7 colors, other RAL textures and glosses, or to match alternate color charts. Final color matching results may vary.
- Setup charges apply for RAL colors. Consult factory for details.
- Longer lead times can be expected for custom RAL color finishes.
- Available for 24 in, 36 in and 48 in fixture lengths only.
- A Lumentranslator 2 (LTL2) and LumentalkID (LIDL) must be specified for Lumentalk applications. Consult Lumentranslator 2 and Lumentalk pages and specification sheets for details.
- Available for 24 in (ASHRAE and RO only), 36 in and 48 in fixture lengths only.
- A control box (CBX) and LumenID (LID) must be specified.
- Use only when exposed to salt spray. This option is not required for normal outdoor exposure.
- Setup charges apply. Consult factory for details.
- Available with UMP and UMAS mounting options only.
- Consult European specification sheet and installation instructions for CE wiring information.

# Exton Powerspan Cable System

Kore-EX5 IP65  
Cable Mount Downlight



- Category:** Exton features Tegan's exclusive Powerspan Cable. Tensioned or swagged mounting with various Gems, Glass Envelopes and Shades. Designed for use with a remote Power Supply Enclosure with Driver. Optional 0-10V Dimming.
- Material:** Power Cable: Embedded stainless steel wire in the center of the Custom Cable with 10 gauge conductors inside a IP-65 Self-Sealing Jacket.  
Mounting: Powdercoated or anodized steel and aluminum.  
Kore-EX5 LED Module: UV stable exterior anodized aluminum, UV stable polycarbonate glass lenses, rubber O-rings.
- Finish:** Powerspan Cable: Black (BLK). Custom finishes not available.  
Kore-EX5 LED Module: Exterior rated, brushed, two-step electrolytic color anodizing. Anodized Black (BLK) or Anodized Aluminum (AL).  
Mounting: Anodized Aluminum or Powder Coat Black.
- Power Supply Enclosure:** Refer to [Exton Power Supply IP20 Specs sheet](#), [IP24 Specs sheet](#) or [IP66 Specs sheet](#) for details.
- Powerspan Cable:** Exton Powerspan, Self-Sealing Cable is IP-65 for interior/exterior use. Supplied in 1' (30.5cm) increments, with End Cap, as a stand alone to be tensioned or swagged. Field cuttable.
- Mounting:** Surface Mount 2" Wrap Bracket, Black (EX-SWB-2-BLK), Surface Mount 3" Wrap Bracket, Black (EX-SWB-3-BLK), Vertical Surface Mount Bracket, Black finish (EX-VSB-BLK), Horizontal Surface Mount Bracket, Black finish (EX-HSMB-BLK), Standoff Bracket, Black finish (SOBR-BLK) Surface Mount "Drape" Bracket, Black finish (EX-FSDB-BLK), Tensioning Surface End Bracket, Black finish (EX-TSEB), Tree Strap & Buckle, Black finish (EX-TSB-BLK). Exton End Cap - Black finish (EX-EC-BLK).
- Pole Mounting:** Tegan has partnered with AV Poles & Lighting. Poles can be ordered from Tegan Lighting. AV is well-versed on the Exton System and has installed many similar tensioned projects. As required, engineering services will be provided in the quote to insure proper structural installation per code requirements. Refer to [Exton Application Guide](#) for information and more details. Poles can also be provided by others; engineering is required by others to ensure structural integrity. Note: **Tegan will not be responsible for Poles/Engineering provided by others.**
- Cable Span:** Maximum Cable mounting is 110' (33.5m). Note that the cable must be a continuous run without interruption. 250W max. per circuit. When specifying cable length, add 20% to the run length for installation.
- Kore-EX5 LED Module:** Kore-EX5 LED Pendant - Anodized Aluminum or Anodized Black finish.
- Kore-EX5 Accessories:** Exton Sandblasted Lens (EX5-SBL), Exton Solite Lens (EX5-SOL), Exton 22K Color Correction Filter (EX-CCT-22K), 24K Color Correction Filter (EX-CCT-24K), Exton Honeycomb Louver 16 - Black (EX-HCLB-BLK).  
Note: CCT22/24 = Kelvin Temperature results when used with the standard 27K Cree LED.
- Power Feed:** Exton IP-65 Power Feed for Remote Power Supply - Black Finish (EXPF-BLK); Field paintable; contact Factory for custom colors. J-Box by others.
- LED:** High Wattage Array Cree LED, 2-Step Macadam. 5W @ 500 (estimated; in testing) with 2700K 82-85 CRI typical. All values are initial lumens. For exact lumen output and wattage consumption data, please consult LM79 reports. Online power consumption does not include driver losses. Contact factory for 2400K, 3500K, 4000K or 90 CRI.

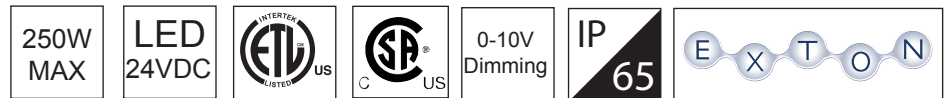




# Exton Powerspan Cable System

Kore-EX5 IP65  
Cable Mount Downlight

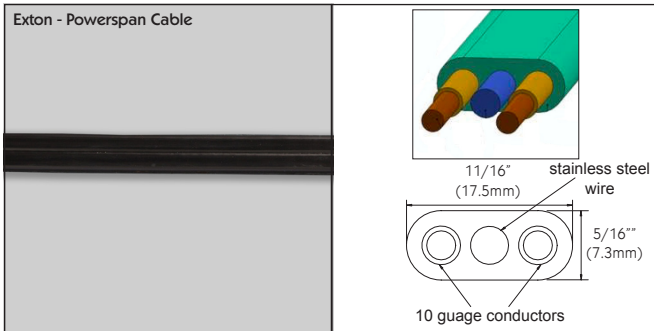
<b>Optics:</b>	15°   24°   35° for Kore-EX5 Downlight and Adjustable Downlight. Refer to photometric report for details (testing in process). 15° is supplied in all decorative options for maximum decorative element illumination.
<b>Electrical:</b>	24VDC. Total input watts: 6.5W. 250W max. per circuit.
<b>Remote Power Supply:</b>	The Exton System is designed for use with a Remote Power Supply Enclosure and Driver. Refer to <a href="#">Exton Power Supply IP20 Specs sheet</a> , <a href="#">IP24 Specs sheet</a> or <a href="#">IP66 Specs sheet</a> for details. <b>Use of Tegan Lighting Power Enclosures and Drivers only.</b> If supplied "by others" the warranty and listing are void.
<b>Engineering:</b>	Due to mathematical laws, tightening and loading any taut end-supported flexible cable puts tensile loads upon its supports (walls, trees, posts, etc.) that is orders of magnitude greater than the weight of the cable and its dynamic loading. Taut installations require extremely strong end supports, and it is up to the specifier and installer to match the strength of the end support structures with the combined level of tautness and static (weight of cable/fixtures) and dynamic (e.g. wind/ice/vermin) load of the cable.
<b>Installation:</b>	Exton is not approved or listed for indoor pool/sauna installations. Refer to <a href="#">Installation Instructions #23</a> for details. For system layout, and specification assistance, refer to the <a href="#">Exton Application Guide</a> for details.
<b>Labels:</b>	ETL Listed; Tested to UL 2108 Low Voltage Lighting Systems. In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials. Technical specification sheets that appear on <a href="#">teganlighting.com</a> are the most recent version and supersede all other versions that exist in any other printed or electronic form. Kore-EX5 Module and Cable - 3 year warranty. Envelopes and Architectural Shades: <b>limited three year warranty.</b> Refer to <a href="#">Exton Application Guide</a> for details. Consult with an Arborist for proper tree installation per the type of tree(s). Tegan Lighting is not liable for any damage/injury as a result of tree installation. Refer to <a href="#">Installation Instructions #23</a> for more details.



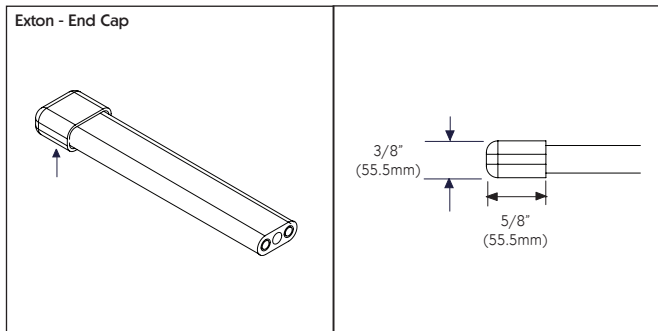
# Exton Powerspan Cable System

Kore-EX5 IP65  
Cable Mount Downlight

## Exton - Powerspan Cable

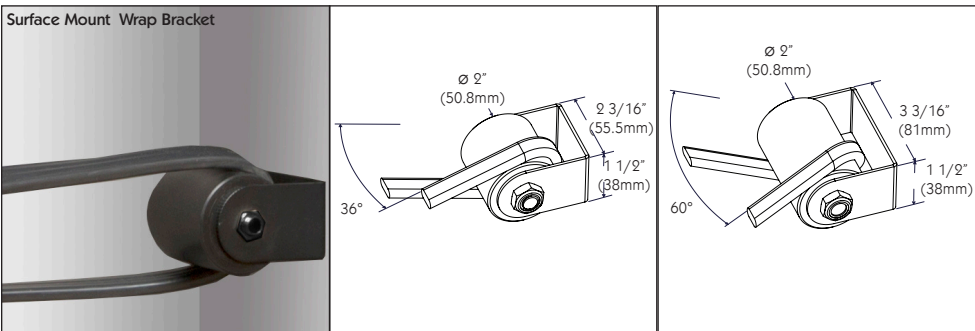


**Exton - Powerspan Cable - Black (EX-C-BLK)**  
Exton Self-Sealing Powerspan Cable is IP-65 for interior/exterior applications. Order in 1' (30.5cm) increments for up to 110' (33.5m) maximal span. Field cuttable. 24VDC at 250W Max. per run. Available in Black finish (only). Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details.

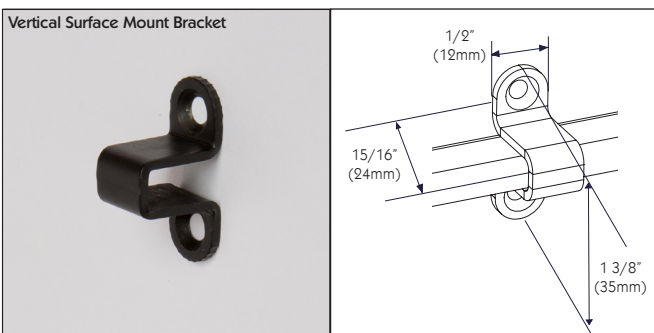


**Exton End Cap - Black Finish (EX-EC-BLK)**  
Exton End Cap is for interior/exterior applications. One (1) required per run. Available in Black finish (only). Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details.

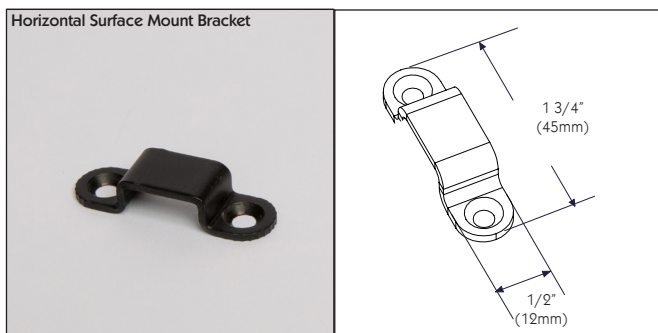
## Exton - Cable - Mounting Brackets



**Surface Mount 2" Wrap Bracket, Black (EX-SWB-2-BLK)**  
**Surface Mount 3" Wrap Bracket, Black (EX-SWB-3-BLK)**  
Surface Mount Wrap Bracket, 2 3/16" (55.5mm) or 3 3/16" (81mm), for Exton Powerspan Cable mounting to any suitable surface; wall, tree, pole, beam, etc. to continue up to a 110' (33.5m) run. 250W per run. Available in anodized Black (BLK) finish. Can be field painted or contact factory for custom colors. Hardware provided by others. Use fasteners as per the specification of a licensed structural engineer for the mounting substrate. Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details. Refer to page one for mounting Exton Brackets to Pole(s).



**Vertical Surface Mount Bracket, Black (EX-VSB-BLK)**  
Vertical Surface Mount Bracket for Exton Powerspan Cable can be mounted to any suitable surface; wall, tree, pole, beam, etc. 250W per run, for up to a 110' run. Available in anodized Black (BLK) finish. Can be field painted or contact factory for custom colors. Hardware provided by others. Use fasteners as per the specification of a licensed structural engineer for the mounting substrate. Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details. Refer to page one for mounting Exton Brackets to Pole(s).

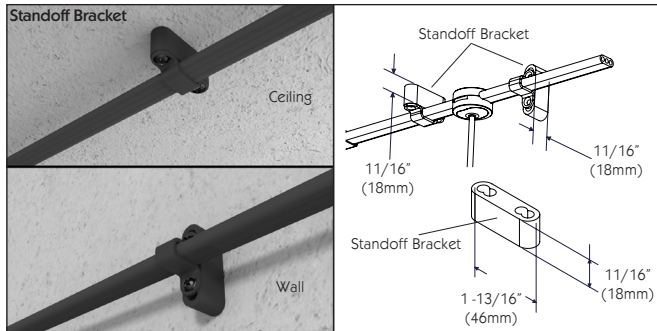


**Horizontal Surface Mount Bracket, Black (EX-HSMB-BLK)**  
Horizontal Surface Mount Bracket for Exton Powerspan Cable can be mounted to any suitable surface; wall, tree, pole, beam, etc. 250W per run, for up to a 110' run. Available in anodized Black (BLK). Can be field painted or contact factory for custom colors. Hardware provided by others. Use fasteners as per the specification of a licensed structural engineer for the mounting substrate. Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details. Refer to page one for mounting Exton Brackets to Pole(s).

# Exton Powerspan Cable System

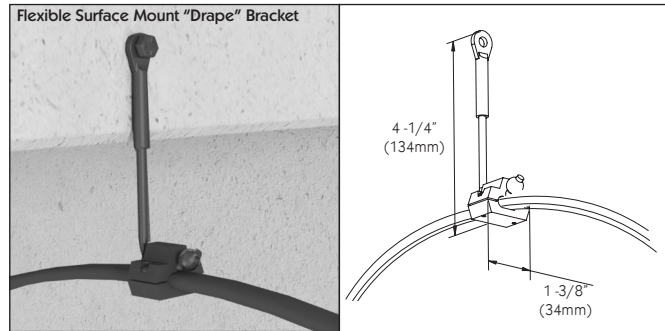
Kore-EX5 IP65  
Cable Mount Downlight

## Exton - Cable - Mounting Brackets



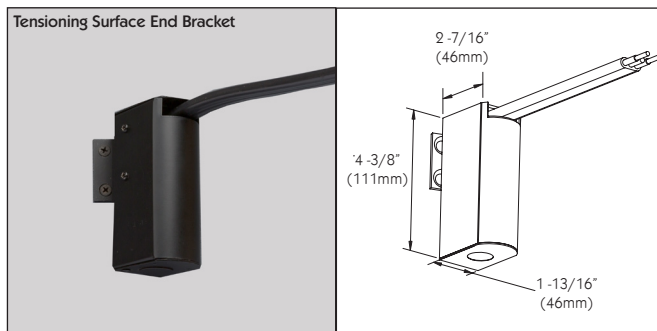
**Standoff Bracket, Black (EX-SOBR-BLK)**

Spacer to be used with Vertical or Horizontal Surface Mount Brackets to allow room for the EX5 module and the cable clamp when the module is positioned nearby the mounting surface. Hardware provided by others. Use fasteners as per the specification of a licensed structural engineer for the mounting substrate. Available in Black (BLK). Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details.



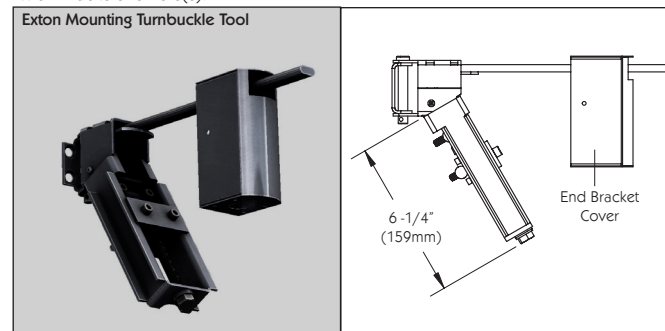
**Flexible Surface Mount "Drape" Bracket, Black (EX-FSDB-BLK)**

Flexible Surface Mount Bracket for Exton Powerspan Cable "Draped" installations. Can mount to any suitable surface; wall, tree, pole, beam, etc. 4.25" (115mm) AC length. Contact factory for alternative lengths. Stainless steel and Black anodized aluminum. Hardware provided by others. Use fasteners as per the specification of a licensed structural engineer for the mounting substrate. Refer to [Installation Instructions Sheet](#) and [Exton Application Guide](#) for details. Refer to page one for mounting Exton Brackets to Pole(s).



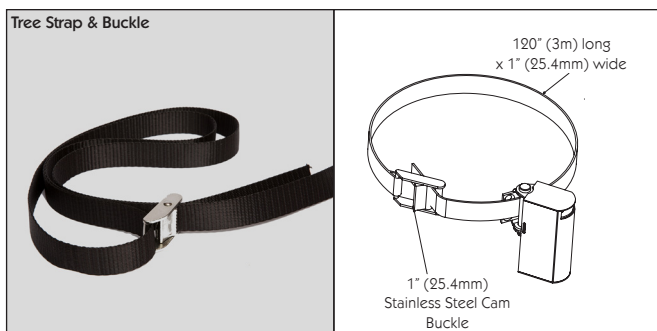
**Tensioning Surface End Bracket, Black (EX-TSEB-BLK)**

Tensioning Surface End Bracket for Exton Powerspan Cable installations. Can be mounted to any suitable surface; wall, tree, pole, beam, etc. 25° Horizontal side adjustment. **Two Tensioning brackets required per tensioned run.** Brackets can be installed side-by-side for multiple runs. 250W per run. Available in anodized Black (BLK) finish. Can be field painted or contact factory for custom colors. Hardware provided by others. Use fasteners as per the specification of a licensed structural engineer for the mounting substrate. Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details.



**Exton Mounting Turnbuckle Tool (EX-MTBT-BLK)**

The Turnbuckle Tool's Sliding Clamp is used to incrementally pull and make the Powerspan Cable taught. Tighten cable by manually pulling it through the End Mount before using the Tool. The Tensioning Tool should only be used to tighten away the last few inches off swag. Be sure to loosen the End Mount Screws before using the Bolt, or you may damage the cable. Allow 6" of sag in the middle of the Powerspan Cable per 20' of span. For example, 40' of span (2 x 20') requires 2 x 6" (12") of sag. Keeping it tighter may create higher tension than the cable can withstand. Do not exceed 450 lbs of tension. Use provided tensioning device if necessary. Maximum Span: 110' (33" sag). Maximum # of LED Modules per Run/Circuit: 40. Maximum Shade weight: 5lb.



**Tree Strap & Buckle (EX-TSB)**

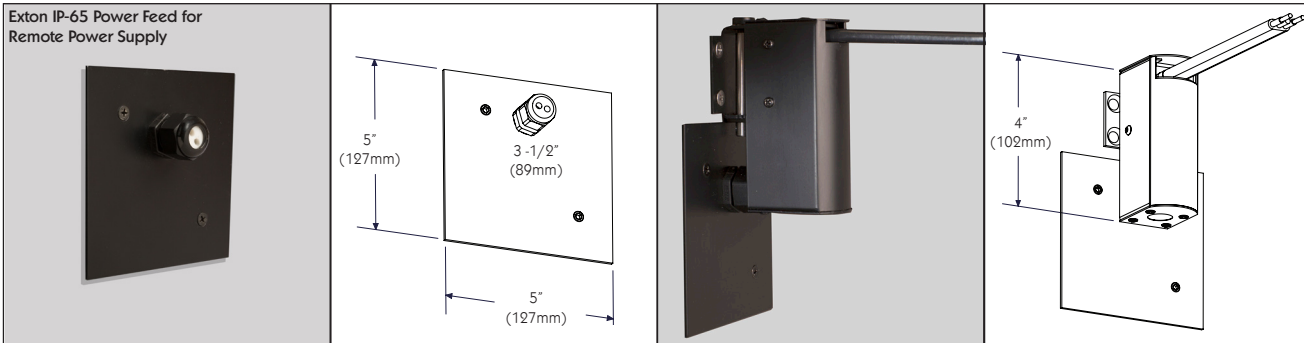
Tree Strap & Buckle Bracket for Exton Powerspan Cable mounting to a tree. 1500 lb. test, UV-resistant, water-resistant. Field-cuttable. 10' (3m) long; contact factory for alternative strap lengths longer than 10' in 1' increments. Available in Black (BLK) finish (only). Galvanized Stainless Steel buckle. **Tensioning Bracket shown is ordered separately.** Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details.



# Exton Powerspan Cable System

Kore-EX5 IP65  
Cable Mount Downlight

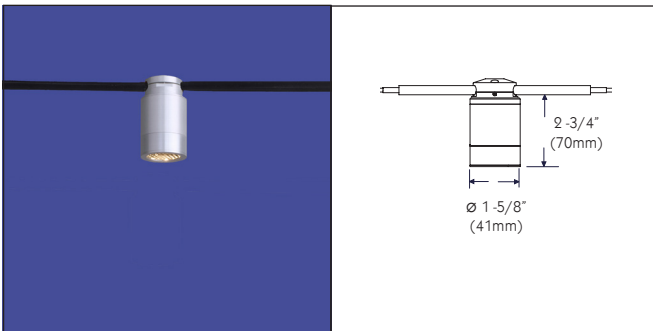
## Exton - Cable - Power Feed



### Exton IP-65 Power Feed for Remote Power Supply (EX-PF-BLK)

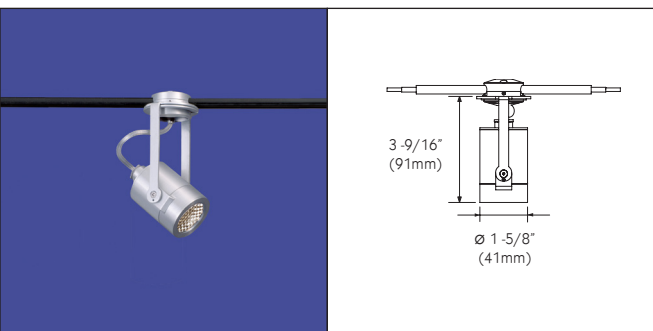
The IP-65 Power Feed will allow the Exton Power Cable to be feed into a building or Pole for connection to a Remote Power Supply. The Power Feed is not structural. It is for feeding wire (only) into a building, pole, etc. to make an electrical connection. It can not be used for tensioning. Field-paintable. Can mount to a building structure or pole. Available in Black (BLK) finish. Contact factory for custom colors. **Tensioning Bracket shown is ordered separately.** Remote Power Supply; refer to Specification Sheet 24 for options. Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details.

## Exton - Kore-EX5 LED Cable Mount Downlight



### Kore-EX5 LED, Cable Mount Downlight, Aluminum/Black (EX5-K-C-15/24/35-DL-AL/BLK)

Kore-EX5 LED Downlight that fits "snug" to Exton Powerspan Cable. Features a 27K, 5W LED source with an integral current controller for 24V DC operation. Contact factory for 24K. All systems must be powered by a Tegan Lighting driver. Remote Power Supply; refer to [Power Supplies](#) for options. Available with 15°, 24° or 35° beam pattern. Flush, integral two (2) Media Holder. Image shown with Black Hexel Louver; Order Media separately. Available in anodized Aluminum (AL) or Black (BLK) finish.



### Kore-EX5 LED, Cable Mount Adjustable Downlight (EX5-K-C-15/24/35-ADJDL-AL/BLK)

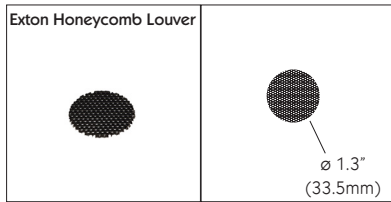
Kore-EX5 LED Adjustable Downlight for Exton Powerspan Cable. Features a 360° horizontal and 120° vertical lockable design with set screw (tool provided). Features a 27K, 5W LED source with an integral current controller for 24V DC operation. Contact factory for 24K. All systems must be powered by a Tegan Lighting Driver. Remote Power Supply; refer to [Power Supplies](#) for options. Available with 15°, 24° or 35° beam pattern. Flush, integral two (2) Media Holder. Image shown with Black Hexel Louver; Order Media separately. Available in anodized Black (BLK) or Aluminum (AL) finish.



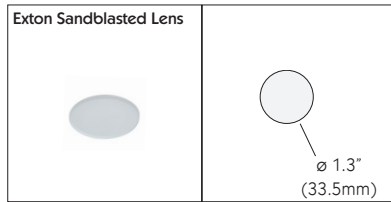
# Exton Powerspan Cable System

Kore-EX5 IP65  
Cable Mount Downlight

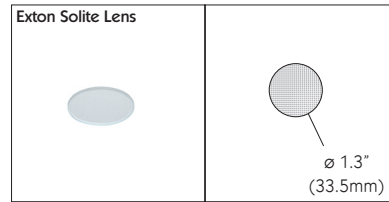
## Exton - Kore-EX5 LED Cable Mount Downlight - Accessories



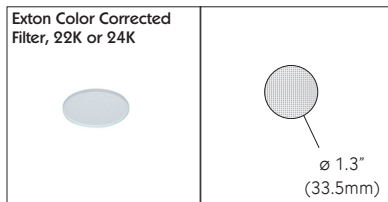
**Exton Honeycomb Louver, Black (EX5-HCL-BLK)**  
1/8" Hexcell black metal. Controls spill illumination and glare.



**Exton Sandblasted Lens (EX5-SBL)**  
Creates an uniform beam pattern that is useful for wall washing. Tempered glass.

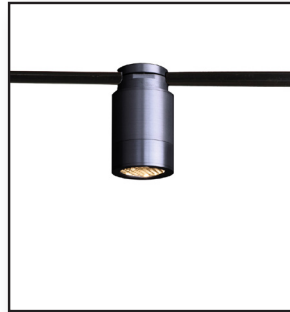


**Exton Solite Lens (EX5-SOL)**  
Tempered glass with a stipple effect that provides obscurity while retaining high transmission values. This low-iron optically clear glass offers maximum transmission and minimal absorption.



**Exton Color Corrected Filter, 22K or 24K (EX5-CCT-22K/24K)**  
22K or 24K Kelvin Temperature results when used with the standard 27K Cree LED.

Click on the linked images below to visit the [Exton Gallery](#).

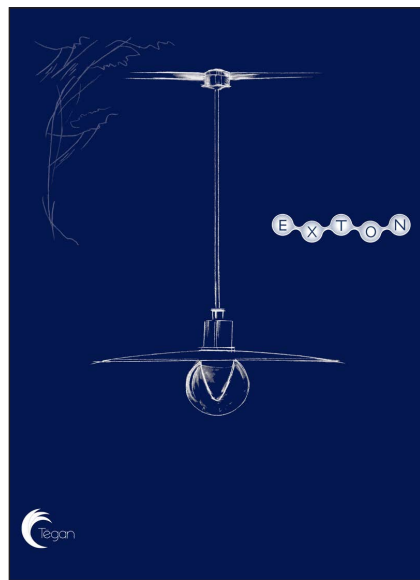


Kore-EX5 LED Module, Downlight,  
Black finish, Cable Mount



Kore-EX5 LED Module, Adjustable  
Downlight, Black finish, Cable Mount

Tegan's [Exton Application Guide](#) features installation examples with complete BOM! Click on the linked image below.



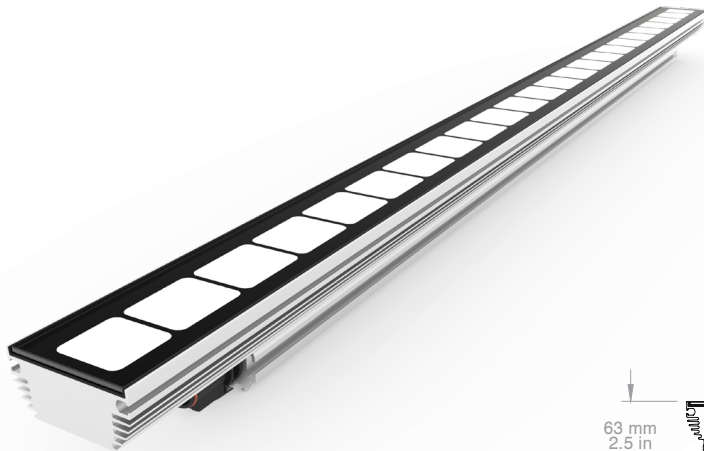
# STR9<sup>®</sup> GEN3

INFINITY<sup>®</sup> UNIBODY<sup>®</sup>  
GVA TECHNOLOGY GVA TECHNOLOGY



## Monochromatic Linear Wall Washing and Grazing LED Lighting

## PRODUCT SPECIFICATION SHEET

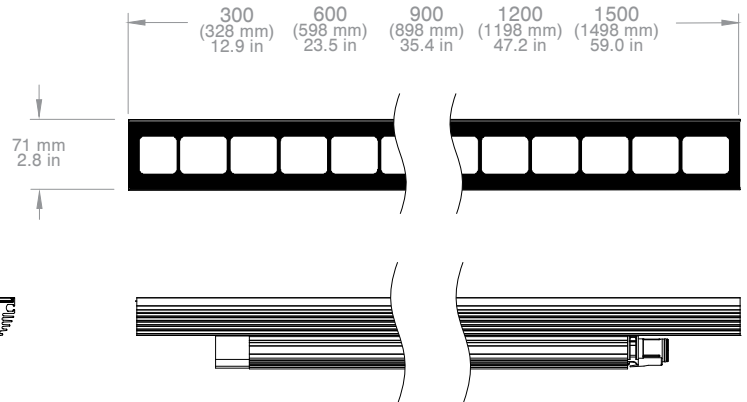


DATE: \_\_\_\_\_

TYPE: \_\_\_\_\_

COMPANY: \_\_\_\_\_

PROJECT: \_\_\_\_\_



### FEATURES:

#### Lighting Performance:

- Up to 3755 delivered lumens/meter (1144 lumens/foot)
- Superior quality of white light: excellent LED to LED color consistency
- Diffusing optical film creates uniform light output immediately adjacent to luminaire
- LED pitch is maintained within and between luminaires (no dark spots between fixtures)

#### Mechanical Details:

- Compact size, only 63 mm (2.5 in) high x 71 mm (2.8 in) wide
- IP66 rated with proprietary sealing process and solid extruded, anodized aluminum UNIBODY™ design
- Electronic micro leak detection test performed for each hermetically sealed fixture
- Meets 3G ANSI C136.31-2010 Vibration Standard for Bridge and Overpass Applications
- Optically clear tempered glass lens (no yellowing over time)
- Through wiring for end-to-end connection via snap-in and lock connectors
- IK06 rated fixture body construction, IK10 accessories available upon request<sup>1</sup>

#### Control:

- DMX, DALI or 0-10V dimming through GVA's power-data equipment
- 300mm resolution, each 300mm section can be addressed individually, self-addressing fixtures

**Projected Lifetime:** L70 > 100,000hrs @ t<sub>a</sub> = 25°C (77°F)

**Operating Temperatures:** -40°C to +50°C (-40°F to 122°F)

### OPTIONS:

**Power Source:** 48VDC, 120VAC, 220-240VAC, 277VAC, 380VDC

**Power Options:** 3W, 5W (ASHRAE/IESNA), 10W, or 15W per 300mm (1ft)

**Nominal Length:** 300 mm (1ft)<sup>1</sup>, 600mm (2ft), 900mm (3ft), 1200mm (4ft) and 1500mm (5ft)

**Beam Distribution:** Range of symmetrical and elliptical beam angles available  
**Body Color:** Black matte and clear matte anodized or custom color<sup>2</sup>

#### Accessories:

- Adjustable and non-adjustable mounting brackets
- Glare control louvers

#### LED Color:

- Custom LED color combinations available

### SPECIFICATION LOGIC: STR9 MONOCHROMATIC

FAMILY	NOMINAL LENGTH	BODY COLOR	POWER per 300mm (1ft)	LED COLOR	OPTICS (FWHM)	INPUT VOLTAGE	OPTIONAL
STR9-G3	300 <sup>2</sup>	CM - Clear Matte Anodized	3W	2200K	5 - 5°x5°	ELV - 48VDC AC - 120 to 277VAC INF - 380VDC	NL - No Louver MLH- Micro Louver, Horizontal MLV- Micro Louver, Vertical
	600	BM - Black Matte Anodized	5W - ASHRAE/IESNA	2700K	8 - 8°x8°		
	900		10W	3000K	10 - 10°x10°		
	1200		15W	3500K	30 - 30°x30°		
	1500			4000K	60 - 60°x60°		
				5000K	80 - 80°x80°		
				6500K	100 - 100°x100°		
				RD - Red	5x10 - 5°x10°		
				AM - Amber	5x30 - 5°x30°		
				GR - Green	5x60 - 5°x60°		
				BL - Blue	10x30 - 10°x30°		
				RB - Royal Blue	10x60 - 10°x60°		
					10x90 - 10°x90°		
				20x60 - 20°x60°			
				30x60 - 30°x60°			
					Other distributions available; consult factory.		

### PRODUCT CONFIGURATION

1. IK10 is not a standard configuration; consult factory  
2. Actual length of 328mm. Pitch is not maintained.



## Monochromatic Linear Wall Washing and Grazing LED Lighting

## PRODUCT SPECIFICATION SHEET

PRODUCT SPECIFICATIONS: STR9 MONOCHROMATIC			300	600	900	1200	1500
Nominal Length							
Electrical		Nominal Wattage					
	Power Consumption for 48VDC Input	3W/ft	3W	6W	9W	12W	15W
		5W/ft	5W	10W	15W	20W	25W
		10W/ft	10W	20W	30W	40W	50W
		15W/ft	15W	30W	45W	60W	75W
	Power Consumption <sup>1</sup> for 120-277VAC Input	3W/ft	5.3W	8.5W	11.6W	14.8W	18.5W
		5W/ft	7.5W	12.7W	18.0W	23.7W	29.0W
		10W/ft	12.7W	23.7W	34.3W	45.0W	56.1W
		15W/ft	18.0W	34.3W	50.6W	67.5W	84.3W
Power Consumption for 380VDC Input	3W/ft	3W	6W	9W	12W	15W	
	5W/ft	5W	10W	15W	20W	25W	
	10W/ft	10W	20W	30W	40W	50W	
	15W/ft	15W	30W	45W	60W	75W	
Optical	Light Source	6 x High Power LEDs per 300mm (1ft)					
	CRI	>80					
	Lumen Output (typical) <sup>2,3</sup>	3W	240 lm	480 lm	720 lm	960 lm	1,200 lm
		5W	397 lm	794 lm	1,191 lm	1,588 lm	1,985 lm
		10W	780 lm	1,560 lm	2,340 lm	3,120 lm	3,900 lm
15W		1,119 lm	2,238 lm	3,357 lm	4,476 lm	5,595 lm	
Projected Lumen Maintenance	L70 > 100,000hrs @ t <sub>a</sub> =25°C (77°F)						
Control	Control Protocol	DMX, DALI or 0-10V control through GVA Power-Data Equipment					
	Control Protocol for ELV and AC	DMX	300mm (1ft) resolutions				
		DALI	Each run is 1 address				
		0-10V					
	Control Protocol for INF	DMX	1 fixture resolution				
		DALI	Each run is 1 address				
0-10V							
Physical	Length	328 mm (12.9 in)	598 mm (23.54 in)	898 mm (35.35 in)	1,198 mm (47.17 in)	1,498 mm (58.98 in)	
	Width x Height	71 mm x 63 mm (2.8 in x 2.5 in)					
	Weight (ELV)	1.1 kg (2.4 lbs)	1.9 kg (4.2 lbs)	2.85 kg (6.28 lbs)	3.85 kg (8.5 lbs)	4.85 kg (10.7 lbs)	
	Weight (INF)	1.2 kg (2.6 lbs)	2 kg (4.4 lbs)	3 kg (6.6 lbs)	4 kg (8.8 lbs)	5 kg (11 lbs)	
	Weight (AC)	1.2 kg (2.6 lbs)	2 kg (4.4 lbs)	3 kg (6.6 lbs)	4 kg (8.8 lbs)	5 kg (11 lbs)	
	Housing & Lens	Aluminum body and tempered flat glass lens, IK06 rated, Optional IK10					
	Fixture Connections	IP68 sealed input and output connectors, with audible "click" snap-in & lock					
Temperature Ranges	Rated Operation Temperature	-40°C to +50°C (-22°F to 122°F)					
	Minimum Starting Temperature	-30°C (-22°F)					
	Storage Temperature	-40°C to +85°C (-22°F to 185°F)					
Certification & Safety	IES Classifications	Class 1 LED Luminaire					
	Certifications						
	Environment	QPS (US Field Evaluation) or ETL (Special Electrical Equipment Inspection) where applicable CE Certified RoHS Compliant Constructed to meet requirements outlined in UL1598 & IEC60598 Meets ANSI C136.31, 3G Vibration standard for bridge and overpass applications Dry, damp, or wet locations, 0-100% humidity, IP66					

1. Measured for 120VAC input voltage  
 2. Data provided for 4000K, with 10 Degree beam angles. Warmer color temperatures typically have a lower lumen output.  
 3. Please consult factory for most recent photometric data.  
 4. IK10 is not a standard configuration; consult factory

These figures are subject to change due to further development and innovations of LED light sources



# STR9<sup>®</sup> GEN3

INFINITY<sup>®</sup>  
GVA TECHNOLOGY

UNIBODY<sup>®</sup>  
GVA TECHNOLOGY



## Monochromatic Linear Wall Washing and Grazing LED Lighting

## PRODUCT SPECIFICATION SHEET

MAXIMUM RUN LENGTHS <sup>1</sup>										
		3W	5W	10W	15W		3W	5W	10W	15W
ELV	300	51.3 m	30.6 m	15.3 m	10.2 m		168.3 ft	100.4 ft	50.2 ft	33.5 ft
	600	51.0 m	30.6 m	15.6 m	10.2 m		167.3 ft	100.4 ft	51.2 ft	33.5 ft
	900	51.3 m	30.6 m	15.3 m	9.9 m		168.3 ft	100.4 ft	50.2 ft	32.5 ft
	1200	51.6 m	31.2 m	15.6 m	10.8 m		169.3 ft	102.4 ft	51.2 ft	35.4 ft
	1500	51.0 m	30.0 m	15.0 m	10.5 m		167.3 ft	98.4 ft	49.2 ft	34.4 ft
120VAC	300	100.2 m	71.7 m	42.3 m	29.7 m		328.7 ft	235.2 ft	138.8 ft	97.4 ft
	600	126.0 m	84.6 m	45.6 m	31.2 m		413.4 ft	277.6 ft	149.6 ft	102.4 ft
	900	137.7 m	89.1 m	46.8 m	31.5 m		451.8 ft	292.3 ft	153.5 ft	103.3 ft
	1200	144.0 m	91.2 m	46.8 m	15.6 m		472.4 ft	299.2 ft	153.5 ft	51.2 ft
	1500	148.5 m	93.0 m	48.0 m	15.0 m		487.2 ft	305.1 ft	157.5 ft	49.2 ft
240VAC	300	210.6 m	147.3 m	85.2 m	59.7 m		690.9 ft	483.3 ft	279.5 ft	195.9 ft
	600	256.8 m	170.4 m	92.4 m	63.6 m		842.5 ft	559.1 ft	303.1 ft	208.7 ft
	900	279.9 m	179.1 m	95.4 m	64.8 m		918.3 ft	587.6 ft	313.0 ft	212.6 ft
	1200	290.4 m	184.8 m	97.2 m	32.4 m		952.8 ft	606.3 ft	318.9 ft	106.3 ft
	1500	298.5 m	189.0 m	97.5 m	31.5 m		979.3 ft	620.1 ft	319.9 ft	103.3 ft
277VAC <sup>2</sup>	300	5.4 m	5.4 m	5.4 m	5.4 m		17.7 ft	17.7 ft	17.7 ft	17.7 ft
	600	10.8 m	10.8 m	10.8 m	10.8 m		35.4 ft	35.4 ft	35.4 ft	35.4 ft
	900	16.2 m	16.2 m	16.2 m	16.2 m		53.1 ft	53.1 ft	53.1 ft	53.1 ft
	1200	21.6 m	21.6 m	21.6 m	10.8 m		70.9 ft	70.9 ft	70.9 ft	35.4 ft
	1500	27.0 m	27.0 m	27.0 m	13.5 m		88.6 ft	88.6 ft	88.6 ft	44.3 ft
INF <sup>3</sup>	300		288.0 m	144.0 m	96.0 m			944.9 ft	472.4 ft	315.0 ft
	600		288.0 m	144.0 m	96.0 m			944.9 ft	472.4 ft	315.0 ft
	900		288.0 m	144.0 m	96.3 m			944.9 ft	472.4 ft	315.9 ft
	1200		288.0 m	144.0 m	96.0 m			944.9 ft	472.4 ft	315.0 ft
	1500		288.0 m	144.0 m	96.0 m			944.9 ft	472.4 ft	315.0 ft

Ratings are for 30°C, de-rating will be used for higher ambient temperatures. Contact factory for applications support.

1. Run lengths may vary depending on luminaire length combination chosen. Please consult factory for layout configuration. Values calculated for 3 m leader cable and end to end configuration.

2. Type D breaker required for 277VAC

3. INF run length values determined using PS-INF-6000


## Monochromatic Linear Wall Washing and Grazing LED Lighting

## PRODUCT SPECIFICATION SHEET

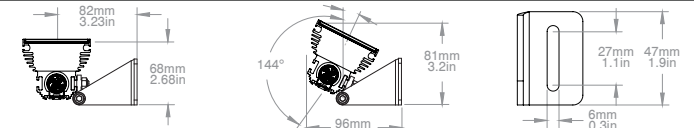
### ORDERING LOGIC: STR9 MOUNTING ACCESSORIES

#### WX - ADJUSTABLE WALL MOUNT BRACKET KIT

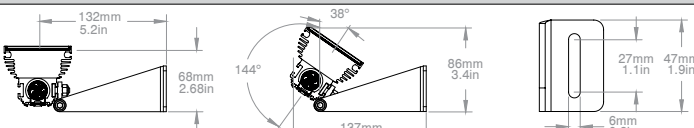
##### W40 ADJUSTABLE WALL MOUNT

PART NUMBER	COLOR	WEIGHT	
121128 121129	Clear Matte Anodized Black Matte Anodized	0.10 kg (0.21 lbs)	

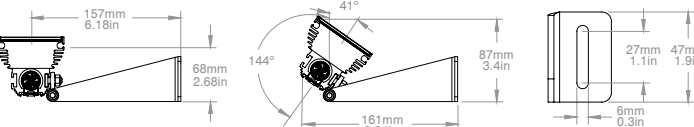
##### W80 ADJUSTABLE WALL MOUNT

PART NUMBER	COLOR	WEIGHT	
121130 121131	Clear Matte Anodized Black Matte Anodized	0.12 kg (0.27 lbs)	

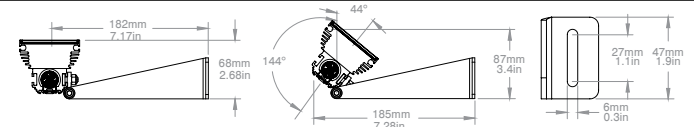
##### W130 ADJUSTABLE WALL MOUNT

PART NUMBER	COLOR	WEIGHT	
121132 121133	Clear Matte Anodized Black Matte Anodized	0.15 kg (0.32 lbs)	

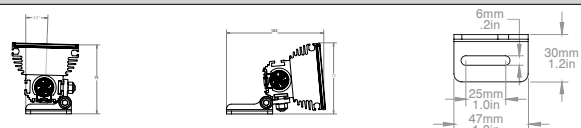
##### W155 ADJUSTABLE WALL MOUNT

PART NUMBER	COLOR	WEIGHT	
121134 121135	Clear Matte Anodized Black Matte Anodized	0.16 kg (0.35 lbs)	

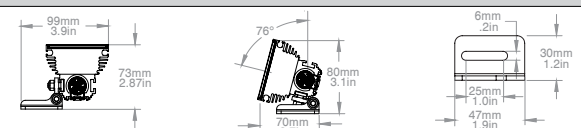
##### W180 ADJUSTABLE WALL MOUNT

PART NUMBER	COLOR	WEIGHT	
121136 121137	Clear Matte Anodized Black Matte Anodized	0.17 kg (0.38 lbs)	


#### SMA-I - INSIDE ADJUSTABLE SURFACE MOUNT BRACKET KIT

PART NUMBER	COLOR	WEIGHT	
121138 121139	Clear Matte Anodized Black Matte Anodized	0.09 kg (0.20 lbs)	

#### SMA-O - OUTSIDE ADJUSTABLE SURFACE MOUNT BRACKET KIT

PART NUMBER	COLOR	WEIGHT	
121825 121826	Clear Matte Anodized Black Matte Anodized	0.09 kg (0.20 lbs)	

#### SML - SURFACE MOUNT BRACKET KIT, NON-ADJUSTABLE

PART NUMBER	COLOR	WEIGHT	
121140 121141	Clear Matte Anodized Black Matte Anodized	0.08 kg (0.18 lbs)	



## Monochromatic Linear Wall Washing and Grazing LED Lighting

## PRODUCT SPECIFICATION SHEET

### ORDERING LOGIC: STR9 MOUNTING ACCESSORIES

#### CLP - CLIP MOUNT KIT, NON-ADJUSTABLE

PART NUMBER	COLOR	WEIGHT	
124859	STAINLESS STEEL	0.21 kg (0.47 lbs)	

#### MCD - CANTILEVER BRACKET, NON-ADJUSTABLE

PART NUMBER	COLOR	WEIGHT	
121146	STAINLESS STEEL	0.94 kg (2.08 lbs)	

#### CH - ADJUSTABLE HORIZONTAL CANTILEVER BRACKET KIT - 100 MM TO 500 MM

CM	BM	TYPE	WEIGHT		
123336	123355	CH-100	0.77 kg (1.69 lbs)		
123337	123356	CH-150	0.87 kg (1.92 lbs)		
123338	123357	CH-200	0.98 kg (2.16 lbs)		
123339	123358	CH-250	1.08 kg (2.39 lbs)		
123340	123359	CH-300	1.19 kg (2.62 lbs)		
123341	123360	CH-350	1.29 kg (2.85 lbs)		
123342	123361	CH-400	1.40 kg (3.08 lbs)		
123343	123362	CH-450	1.50 kg (3.31 lbs)		
123344	123363	CH-500	1.61 kg (3.54 lbs)		
					*Surface mount fixture bracket not included, please order separately. Only 1 arm is shown, kit includes both arms.

#### CV - ADJUSTABLE VERTICAL CANTILEVER BRACKET KIT - 100 MM TO 500 MM

CM	BM	TYPE	WEIGHT		
123374	123393	CV-100	0.59 kg (1.30 lbs)		
123375	123394	CV-150	0.70 kg (1.53 lbs)		
123376	123395	CV-200	0.80 kg (1.77 lbs)		
123377	123396	CV-250	0.91 kg (2.00 lbs)		
123378	123397	CV-300	1.01 kg (2.23 lbs)		
123379	123398	CV-350	1.12 kg (2.46 lbs)		
123380	123399	CV-400	1.22 kg (2.69 lbs)		
123381	123400	CV-450	1.33 kg (2.92 lbs)		
123382	123401	CV-500	1.43 kg (3.15 lbs)		
					*Surface mount fixture bracket not included, please order separately. Only 1 arm is shown, kit includes both arms.



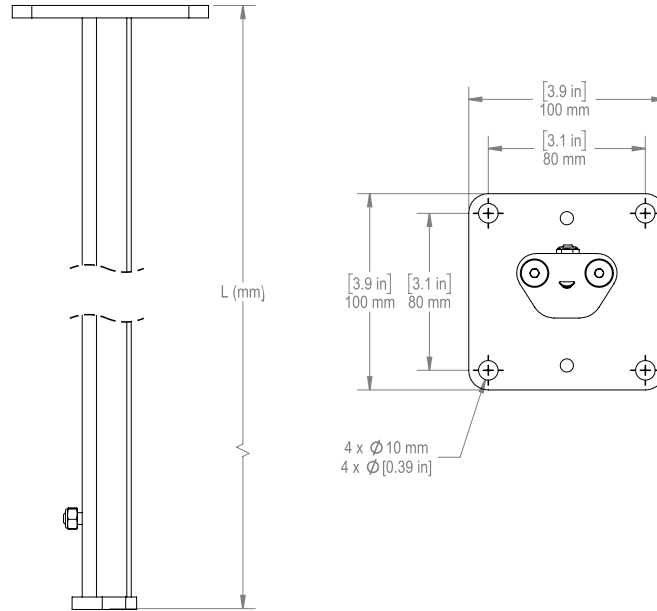
## Monochromatic Linear Wall Washing and Grazing LED Lighting

## PRODUCT SPECIFICATION SHEET

### ORDERING LOGIC: STR9 MOUNTING ACCESSORIES

#### CC - ADJUSTABLE CEILING MOUNT CANTILEVER BRACKET KIT - 100 MM TO 1000 MM

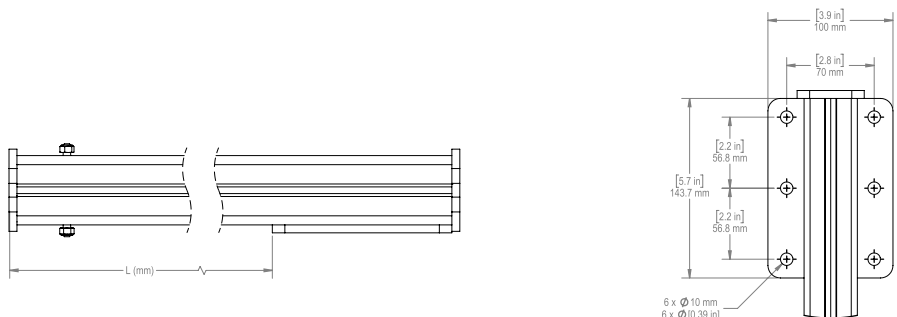
CM	BM	TYPE	WEIGHT
123766	123785	CC-100	0.62 kg (1.37 lbs)
123767	123786	CC-150	0.72 kg (1.60 lbs)
123768	123787	CC-200	0.83 kg (1.83 lbs)
123769	123788	CC-250	0.93 kg (2.06 lbs)
123770	123789	CC-300	1.04 kg (2.29 lbs)
123771	123790	CC-350	1.14 kg (2.52 lbs)
123772	123791	CC-400	1.25 kg (2.75 lbs)
123773	123792	CC-450	1.35 kg (2.98 lbs)
123774	123793	CC-500	1.46 kg (3.22 lbs)
123775	123794	CC-550	1.56 kg (3.45 lbs)
123776	123795	CC-600	1.67 kg (3.68 lbs)
123777	123796	CC-650	1.77 kg (3.91 lbs)
123778	123797	CC-700	1.88 kg (4.14 lbs)
123779	123798	CC-750	1.98 kg (4.37 lbs)
123780	123799	CC-800	2.09 kg (4.60 lbs)
123781	123800	CC-850	2.19 kg (4.83 lbs)
123782	123801	CC-900	2.30 kg (5.06 lbs)
123783	123802	CC-950	2.40 kg (5.30 lbs)
123784	123803	CC-1000	2.51 kg (5.53 lbs)



\*Surface mount fixture bracket not included, please order separately. Only 1 arm is shown, kit includes both arms.

#### DCH - ADJUSTABLE HORIZONTAL DOUBLE CANTILEVER BRACKET KIT - 100 MM TO 500 MM

CM	BM	TYPE	WEIGHT
123709	123728	DCH-100	1.93 kg (4.25 lbs)
123710	123729	DCH-150	2.14 kg (4.71 lbs)
123711	123730	DCH-200	2.35 kg (5.17 lbs)
123712	123731	DCH-250	2.56 kg (5.63 lbs)
123713	123732	DCH-300	2.77 kg (6.10 lbs)
123714	123733	DCH-350	2.98 kg (6.56 lbs)
123715	123734	DCH-400	3.18 kg (7.02 lbs)
123716	123735	DCH-450	3.39 kg (7.48 lbs)
123717	123736	DCH-500	3.60 kg (7.95 lbs)



\*Surface mount fixture bracket not included, please order separately. Only 1 arm is shown, kit includes both arms.



## Monochromatic Linear Wall Washing and Grazing LED Lighting

## PRODUCT SPECIFICATION SHEET

### ORDERING LOGIC: STR9 MOUNTING ACCESSORIES

#### DCV-C - ADJUSTABLE VERTICAL & CEILING MOUNT DOUBLE CANTILEVER BRACKET KIT - 100 MM TO 500 MM

CM	BM	TYPE	WEIGHT
123628	123647	DCV-C-100	1.17 kg (2.57 lbs)
123629	123648	DCV-C-150	1.38 kg (3.04 lbs)
123630	123649	DCV-C-200	1.58 kg (3.50 lbs)
123631	123650	DCV-C-250	1.80 kg (3.96 lbs)
123632	123651	DCV-C-300	2.01 kg (4.42 lbs)
123633	123652	DCV-C-350	2.22 kg (4.88 lbs)
123634	123653	DCV-C-400	2.46 kg (5.35 lbs)
123635	123654	DCV-C-450	2.64 kg (5.81 lbs)
123636	123655	DCV-C-500	2.84 kg (6.27 lbs)

\*Surface mount fixture bracket not included, please order separately. Only 1 arm is shown, kit includes both arms.

#### ANGLE ADJUSTMENT AND INSTALLATION TOOLS FOR SMA - ANGLES FROM 1° TO 20°

PART NUMBER	TYPE
310168	3°
310169	4°
310170	5°
310171	6°
310172	7°
310173	8°
310174	9°
310175	10°
310176	11°
310177	12°
310178	13°
310179	14°
310180	15°
310181	16°
310182	17°
310183	18°
310184	19°
310185	20°



## Monochromatic Linear Wall Washing and Grazing LED Lighting

## PRODUCT SPECIFICATION SHEET

### ORDERING LOGIC: COMMON COMPONENTS

#### STR9 LEADER CABLE ELV

PART NUMBER	NOMINAL LENGTH	WEIGHT	INPUT	OUTPUT
141481	3.0 m (9 ft)	420 g (0.93 lbs)		
141484	6.0 m (19 ft)	815 g (1.80 lbs)		
141487	9.0 m (30 ft)	1210 g (2.67 lbs)		
141489	15.0m (50 ft)	2000 g (4.41 lbs)		
141492	30.0 m (100 ft)	3975 g (8.76 lbs)		

#### STR9 REVERSE LEADER CABLE ELV (ONLY USED WITH PDR)

PART NUMBER	NOMINAL LENGTH	WEIGHT	INPUT	OUTPUT
142231	3.0 m (9 ft)	420 g (0.93 lbs)		
142234	6.0 m (19 ft)	815 g (1.80 lbs)		
142237	9.0 m (30 ft)	1210 g (2.67 lbs)		
142239	15.0m (50 ft)	2000 g (4.41 lbs)		
142242	30.0 m (100 ft)	3975 g (8.76 lbs)		

#### STR9 JUMPER CABLE ELV

PART NUMBER	NOMINAL LENGTH	WEIGHT	INPUT	OUTPUT
141603	END to END	105 g (0.23 lbs)		
141740	0.6 m (2 ft)	129 g (0.28 lbs)		
141741	0.9 m (3 ft)	169 g (0.37 lbs)		
141742	1.2 m (4 ft)	208 g (0.46 lbs)		
141743	1.5 m (5 ft)	248 g (0.55 lbs)		
141744	1.8 m (6 ft)	287 g (0.63 lbs)		
141758	6.0 m (20 ft)	840 g (1.85 lbs)		
141768	9.0 m (30 ft)	1235 g (2.72 lbs)		

\*Not all jumper lengths are shown. Lengths available in 300mm increments. It is mandatory to include jumpers to connect STR9 GEN3 luminaires.

#### STR9 LEADER CABLE INF

PART NUMBER	NOMINAL LENGTH	WEIGHT	INPUT	OUTPUT
141495	3.0 m (9 ft)	420 g (0.93 lbs)		
141498	6.0 m (19 ft)	815 g (1.80 lbs)		
141501	9.0 m (30 ft)	1210 g (2.67 lbs)		
141503	15.0m (50 ft)	2000 g (4.41 lbs)		
141506	30.0 m (100 ft)	3975 g (8.76 lbs)		

#### STR9 REVERSE LEADER CABLE INF (ONLY USED WITH PDR)

PART NUMBER	NOMINAL LENGTH	WEIGHT	INPUT	OUTPUT
142201	3.0 m (9 ft)	420 g (0.93 lbs)		
142204	6.0 m (19 ft)	815 g (1.80 lbs)		
142207	9.0 m (30 ft)	1210 g (2.67 lbs)		
142209	15.0m (50 ft)	2000 g (4.41 lbs)		
142212	30.0 m (100 ft)	3975 g (8.76 lbs)		

#### STR9 LEADER CABLE AC

PART NUMBER	NOMINAL LENGTH	WEIGHT	INPUT	OUTPUT
141509	3.0 m (9 ft)	420 g (0.93 lbs)		
141512	6.0 m (19 ft)	815 g (1.80 lbs)		
141515	9.0 m (30 ft)	1210 g (2.67 lbs)		
141517	15.0m (50 ft)	2000 g (4.41 lbs)		
141520	30.0 m (100 ft)	3975 g (8.76 lbs)		

#### STR9 REVERSE LEADER CABLE AC (ONLY USED WITH PDR)

PART NUMBER	NOMINAL LENGTH	WEIGHT	INPUT	OUTPUT
142792	3.0 m (9 ft)	420 g (0.93 lbs)		
142795	6.0 m (19 ft)	815 g (1.80 lbs)		
142798	9.0 m (30 ft)	1210 g (2.67 lbs)		
142800	15.0m (50 ft)	2000 g (4.41 lbs)		
141803	30.0 m (100 ft)	3975 g (8.76 lbs)		

#### STR9 JUMPER CABLE INF & AC

PART NUMBER	NOMINAL LENGTH	WEIGHT	INPUT	OUTPUT
141602	END to END	105 g (0.23 lbs)		
141790	0.6 m (2 ft)	129 g (0.28 lbs)		
141791	0.9 m (3 ft)	169 g (0.37 lbs)		
141792	1.2 m (4 ft)	208 g (0.46 lbs)		
141793	1.5 m (5 ft)	248 g (0.55 lbs)		
141794	1.8 m (6 ft)	287 g (0.63 lbs)		
141808	6.0 m (20 ft)	840 g (1.85 lbs)		
141818	9.0 m (30 ft)	1235 g (2.72 lbs)		

\*Not all jumper lengths are shown. Lengths available in 300mm increments. It is mandatory to include jumpers to connect STR9 GEN3 luminaires.

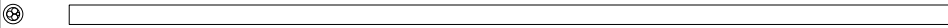


## Monochromatic Linear Wall Washing and Grazing LED Lighting

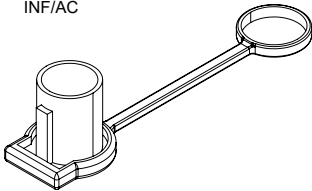
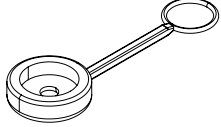
## PRODUCT SPECIFICATION SHEET

### ORDERING LOGIC: COMMON COMPONENTS

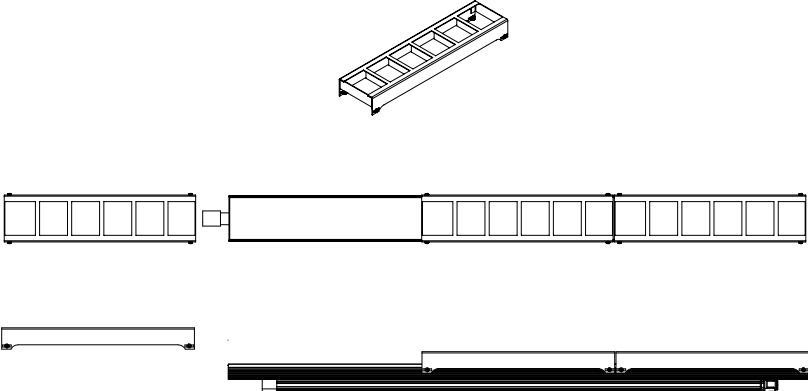
#### STR9 CABLE 3X14 AWG + 1X24 AWG

PART NUMBER	NOMINAL LENGTH	WEIGHT	
280253	Sold per m	132 g (0.291 lbs)	 <p>*Raw cable cut to length. Please specify required length.</p>

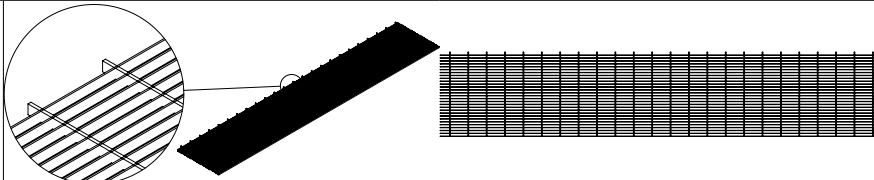
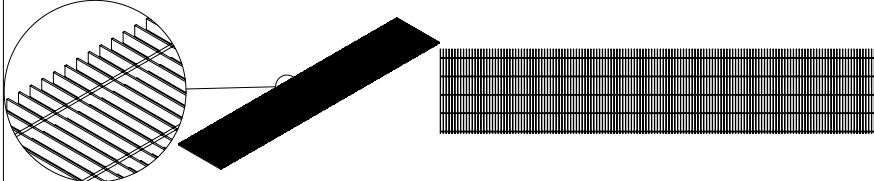
#### STR9 CONNECTOR CAP, IP67 (Must be used at the end of each run)

PART NUMBER	TYPE	WEIGHT	
231182	STR9-ELV	3.40 g (0.11 oz)	
230855	STR9-INF/AC	6.24 g (0.22 oz)	
			

#### STR9 GLARE CONTROL LOUVERS - 300 MM

PART NUMBER	COLOR	WEIGHT	
122737	BLACK	0.08 kg (0.18 lbs)	

### OPTIONAL ACCESSORIES

TYPE	COLOR	WEIGHT (Per 300mm)	
MLH - Micro Louver, Horizontal	BLACK	10 g 0.35 oz	 <p>*Please select option in the specification logic table if required. Item is factory installed only.</p>
MLV - Micro Louver, Vertical	BLACK	10 g 0.35 oz	 <p>*Please select option in the specification logic table if required. Item is factory installed only.</p>



## Monochromatic Linear Wall Washing and Grazing LED Lighting

## PRODUCT SPECIFICATION SHEET

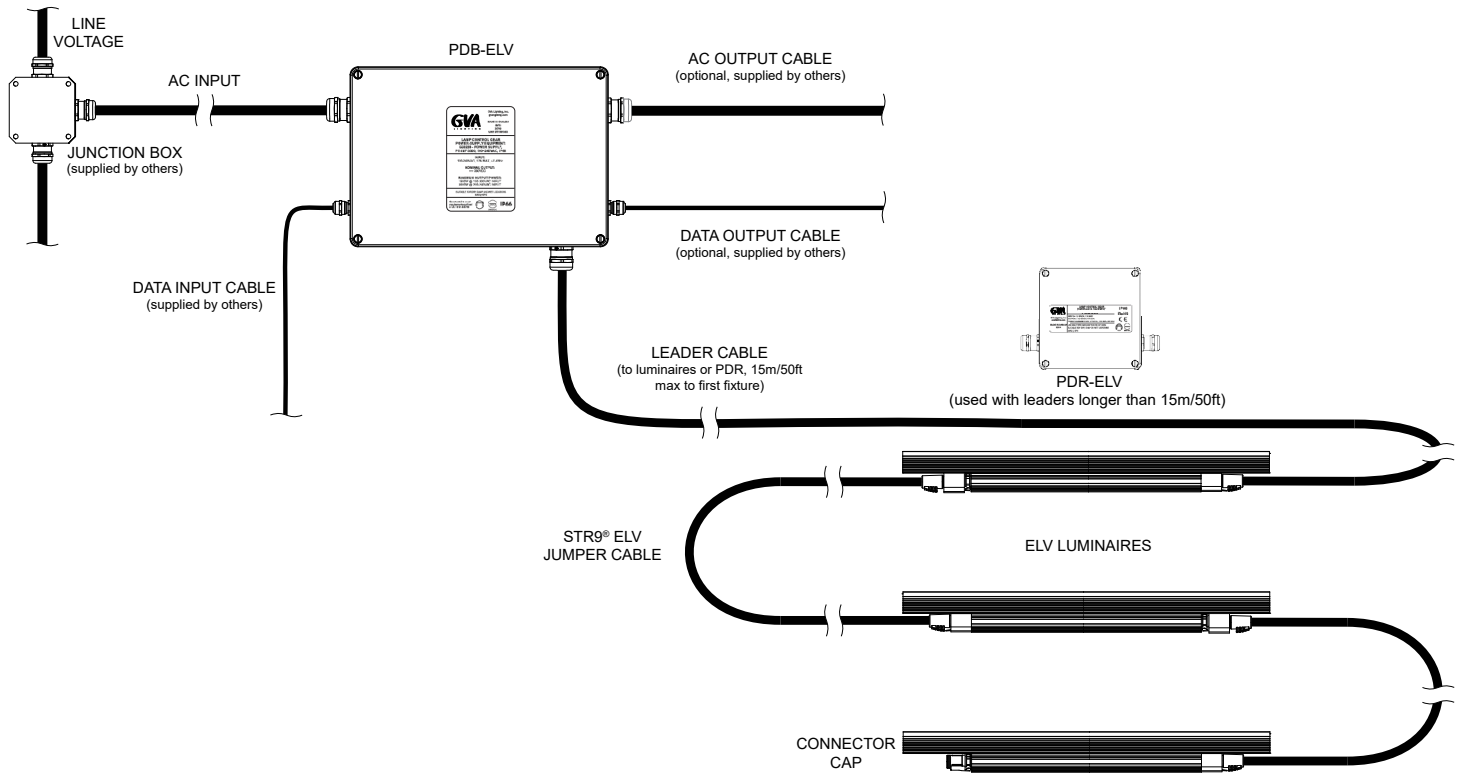
ORDERING LOGIC: POWER SUPPLIES AND POWER DATA EQUIPMENT							
ELV POWER DATA BOXES							
FAMILY	OUTPUT VOLTAGE	POWER (Watts)		CONTROL INPUT	CONTROL OUTPUT	INPUT VOLTAGE	CONSTRUCTION
PS	ELV (48V)	240W 320W	480W 640W	-	-	120~277VAC	IP66 IP30
PDB	ELV (48V)	240W 320W	480W 640W	DALI/ 0~10V DMX	48V POWER & ZH DATA	120~277VAC	IP66 IP30
INFINITY POWER SUPPLIES IP66							
PART NUMBER	DESCRIPTION	LENGTH	WIDTH	HEIGHT	WEIGHT		
G20337 G20338 G20341	PS-INF-3000-120VAC PS-INF-3000-208/240VAC PS-INF-3000-220/230/240VAC	260 mm 10.26 in	160 mm 6.30 in	91 mm 3.58 in	10.98 kg 24.2 lbs		
POWER-DATA CONVERTERS IP66							
PART NUMBER	DESCRIPTION	LENGTH	WIDTH	HEIGHT	WEIGHT		
G20510 G20514 G20520 G20524	PDC-AC-120-1W+N+PE INPUT-1DMX PDC-AC-208~240-1W+N+PE INPUT-1DMX PDC-AC-277-1W+N+PE INPUT-1DMX PDC-AC-208~240-1W+N+PE INPUT-1DMX	260 mm 10.24 in	160 mm 6.30 in	91 mm 3.58 in	3.35 kg 7.39 lbs		
G20511 G20515 G20521 G20525	PDC-AC-120-1W+N+PE INPUT-DALI/0~10V PDC-AC-208~240-1W+N+PE INPUT-DALI/0~10V PDC-AC-277-1W+N+PE INPUT-DALI/0~10V PDC-AC-208~240-1W+N+PE INPUT-DALI/0~10V						
G20342 G20431 G20343	PDC-INF-1DMX PDC-INF-2DMX PDC-INF-DALI/0~10V	160 mm 6.30 in	160 mm 6.30 in	91 mm 3.58 in	2.06 kg 4.54 lbs		
POWER-DATA CONVERTERS IP30							
PART NUMBER	DESCRIPTION	LENGTH	WIDTH	HEIGHT	WEIGHT		
G20512 G20516 G20522 G20526	PDC-AC-120-1W+N+PE INPUT-1DMX PDC-AC-208~240-1W+N+PE INPUT-1DMX PDC-AC-277-1W+N+PE INPUT-1DMX PDC-AC-208~240-1W+N+PE INPUT-1DMX	266 mm 10.5 in	160 mm 6.30 in	90 mm 3.54 in	3.35 kg 7.39 lbs		
G00513 G20517 G20523 G20527	PDC-AC-120-1W+N+PE INPUT-DALI/0~10V PDC-AC-208~240-1W+N+PE INPUT-DALI/0~10V PDC-AC-277-1W+N+PE INPUT-DALI/0~10V PDC-AC-208~240-1W+N+PE INPUT-DALI/0~10V						
G20452 G20453 G20454	PDC-INF-1DMX PDC-INF-2DMX PDC-INF-DALI/0~10V	160 mm 6.30 in	160 mm 6.30 in	90 mm 3.54 in	2.06 kg 4.54 lbs		
POWER-DATA REPEATERS IP66							
PART NUMBER	DESCRIPTION	LENGTH	WIDTH	HEIGHT	WEIGHT		
G20445 G20446	PDR-ELV-INF PDR-AC	160 mm 6.30 in	160 mm 6.30 in	91 mm 3.58 in	2.13 kg 4.70 lbs		
POWER-DATA REPEATERS IP30							
PART NUMBER	DESCRIPTION	LENGTH	WIDTH	HEIGHT	WEIGHT		
G20442	PDR-ELV-INF	160 mm 6.30 in	160 mm 6.30 in	91 mm 3.58 in	2.06 kg 4.54 lbs		



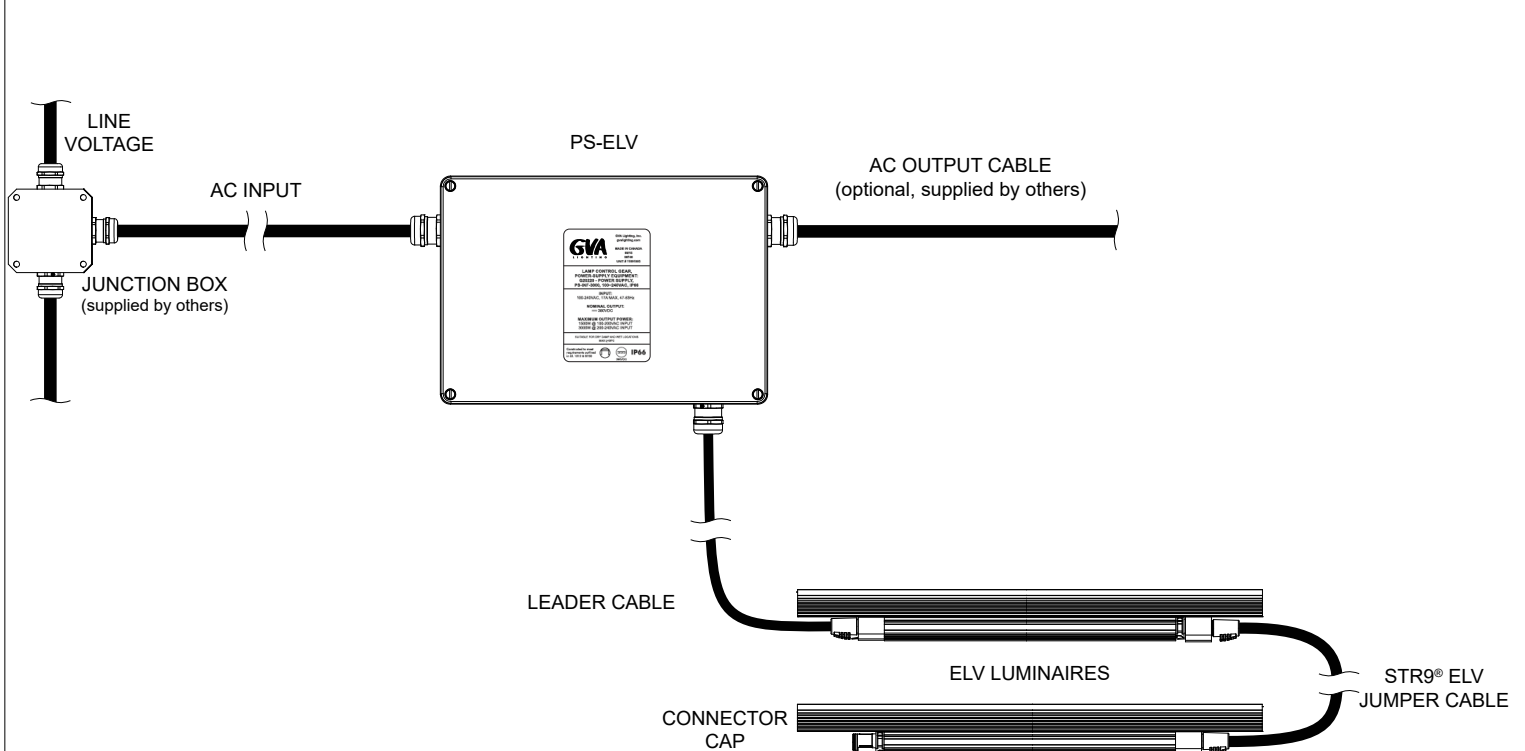
## Monochromatic Linear Wall Washing and Grazing LED Lighting

## PRODUCT SPECIFICATION SHEET

### TYPICAL SYSTEM DIAGRAM: ELV WITH CONTROL



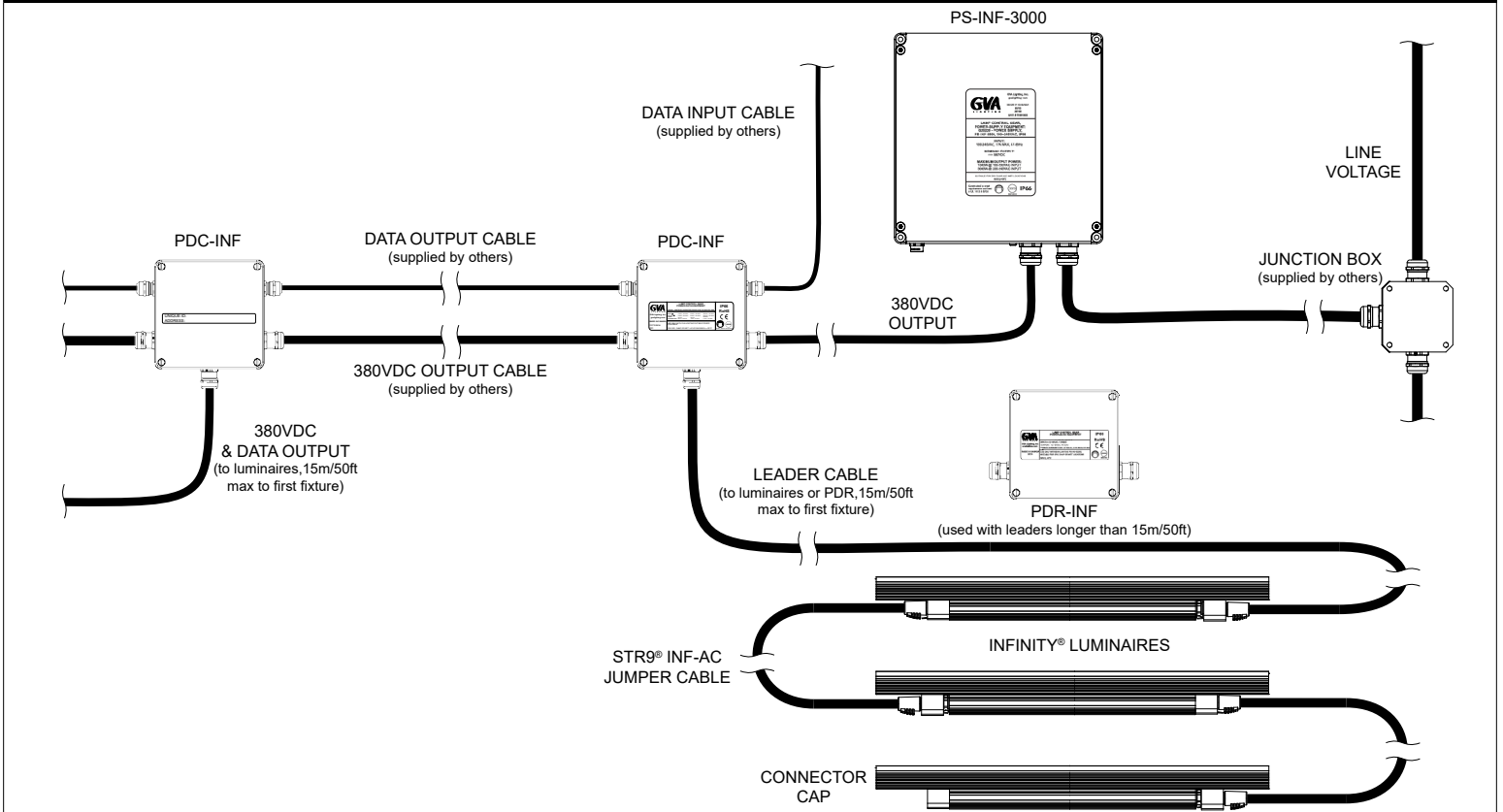
### TYPICAL SYSTEM DIAGRAM: ELV WITHOUT CONTROL



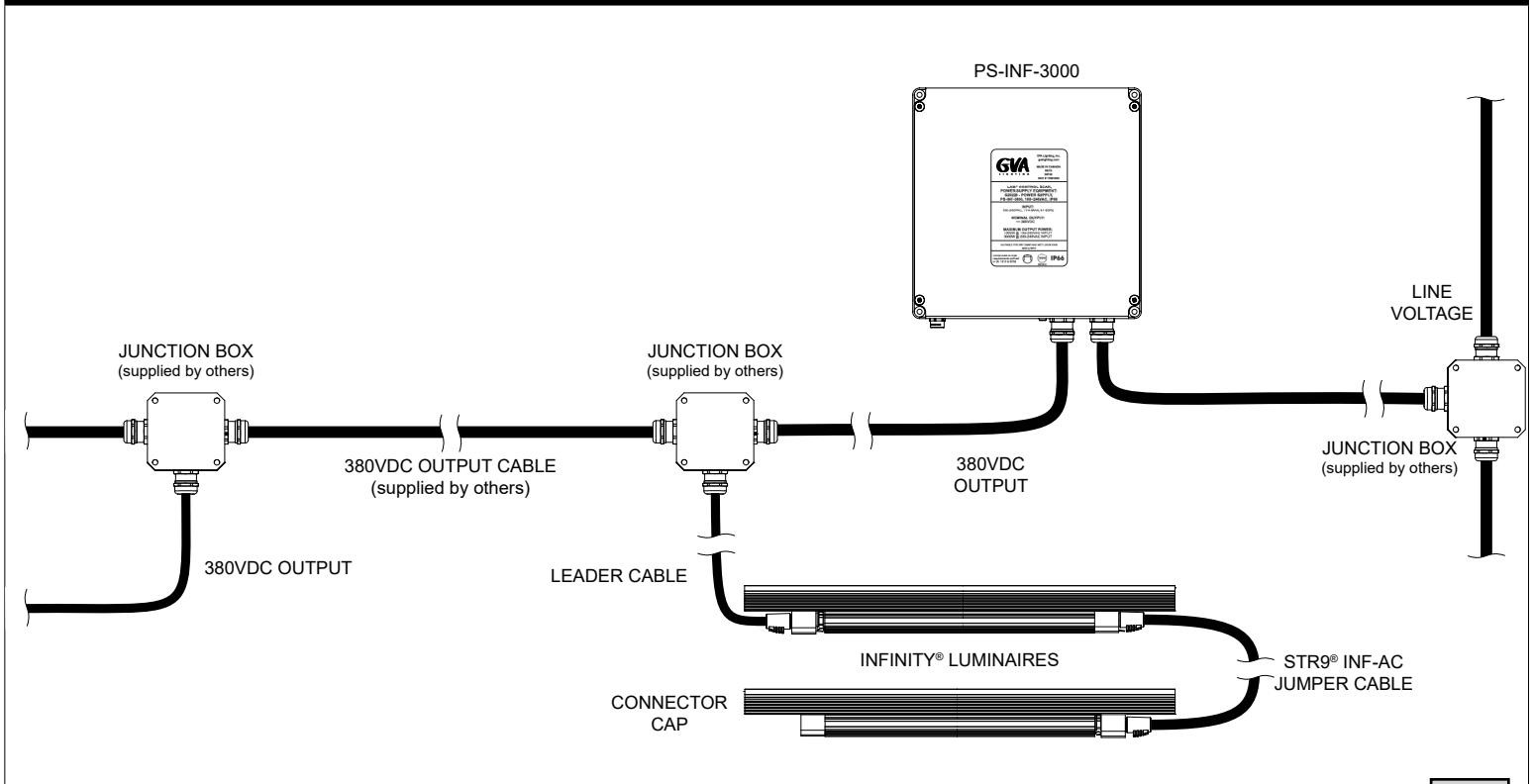
Monochromatic Linear Wall Washing and Grazing LED Lighting

PRODUCT SPECIFICATION SHEET

**TYPICAL SYSTEM DIAGRAM: INFINITY WITH CONTROL**



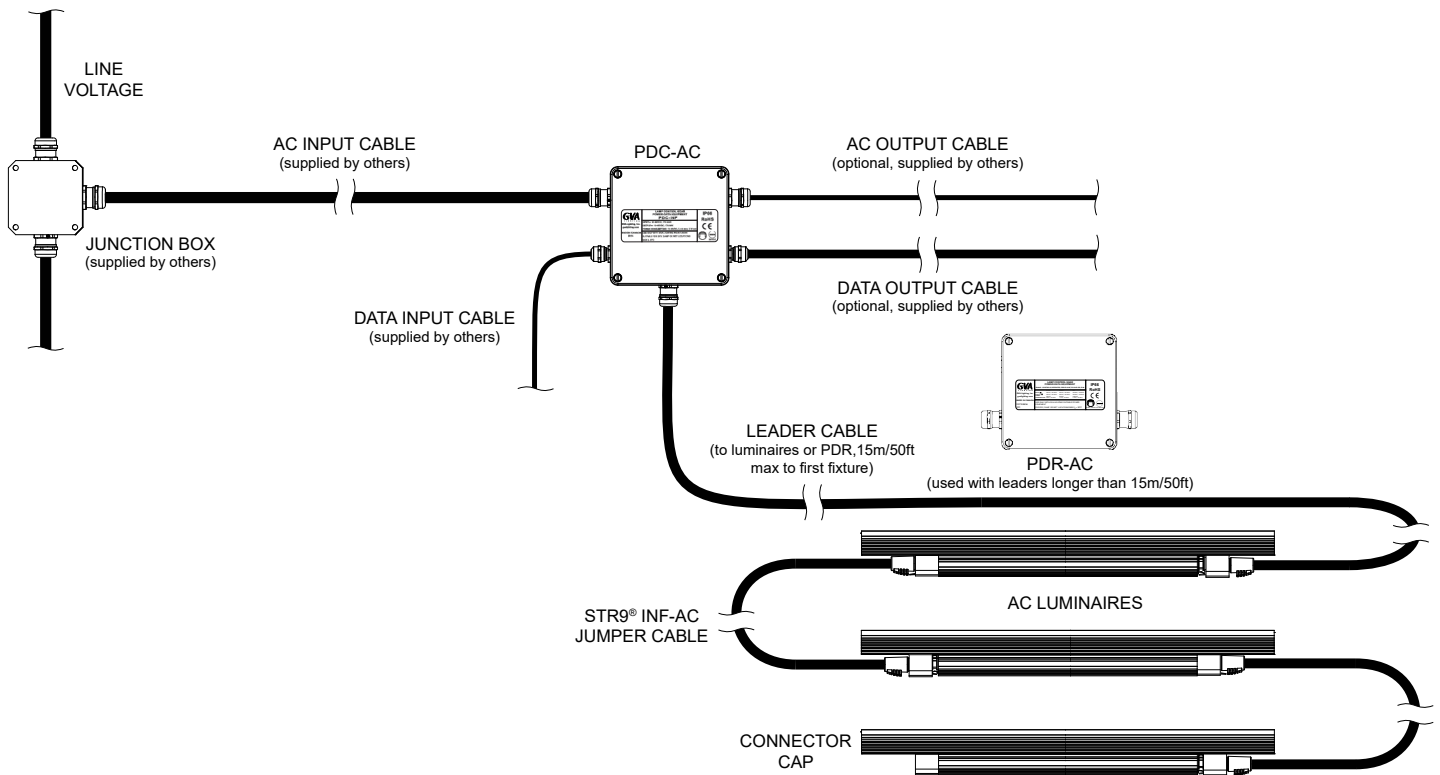
**TYPICAL SYSTEM DIAGRAM: INFINITY WITHOUT CONTROL**



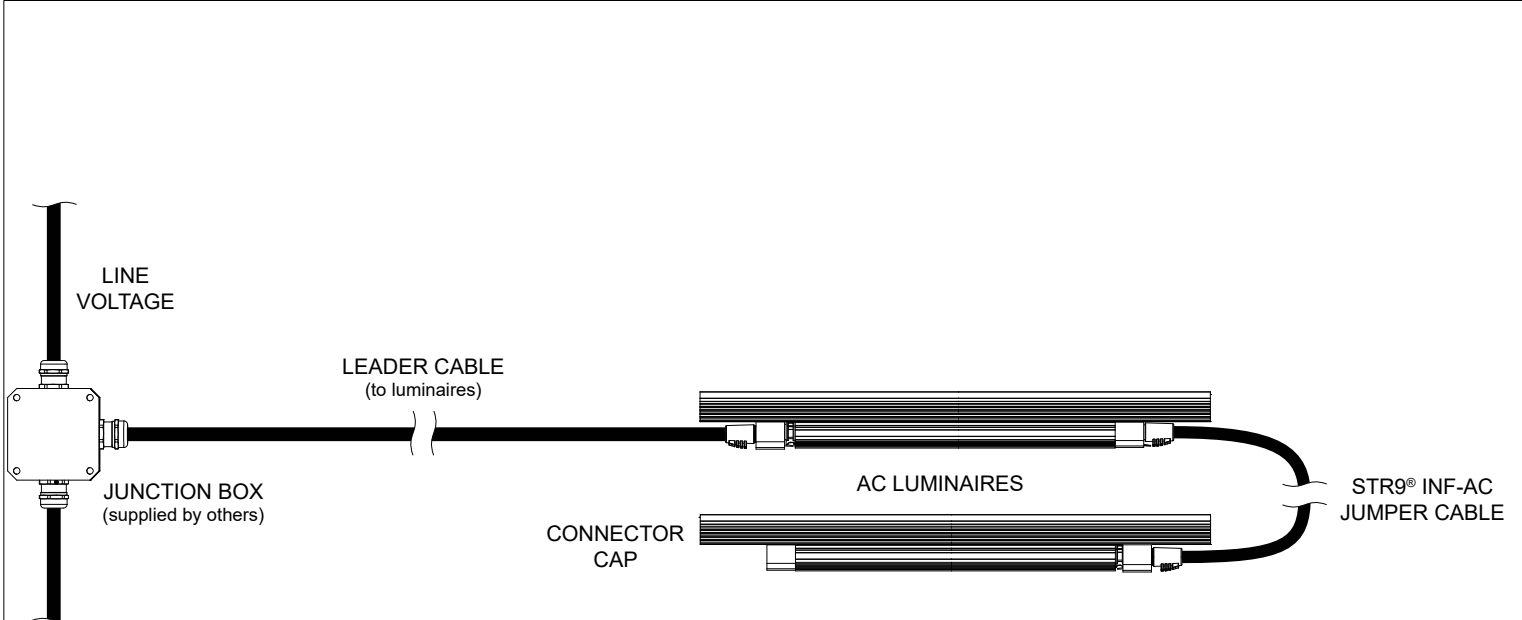
## Monochromatic Linear Wall Washing and Grazing LED Lighting

## PRODUCT SPECIFICATION SHEET

### TYPICAL SYSTEM DIAGRAM: AC WITH CONTROL



### TYPICAL SYSTEM DIAGRAM: AC WITHOUT CONTROL



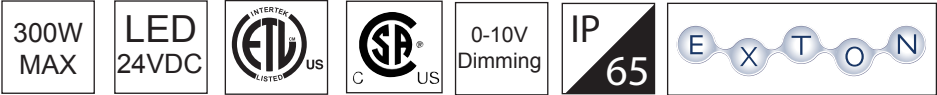
# Exton Powerspan Cable System



- Category:** Exton Direct Mount Module with S Envelope and Brilliant Gem features Tegan's exclusive Powerspan Cable. Can be installed with tensioned or swagged mounting. Designed for use with a remote Power Supply Enclosure with Driver. Optional 0-10V Dimming.
- Material:** Powerspan Cable: Embedded stainless steel wire in the center of the custom cable with 10 gauge conductors inside a IP-65 Self-Sealing Jacket.  
Mounting: Powdercoated or anodized steel and aluminum.  
Kore-EX5 LED Module: UV stable exterior anodized aluminum, UV stable polycarbonate, glass lenses, O-rings.  
Gem: Faceted glass, tooled.  
Envelope: Hand blown, tooled glass. **Note:** Tegan's Glass Envelopes are hand blown with tooling. While the tooling provides consistency in scale, the Envelopes will have minor variations from Envelope-to-Envelope and batch-to-batch in scale and appearance. There also can be minor bubbles (clear/frosted versions) and tool marks on the surface. These are all common attributes of blown glass.
- Finish:** Powerspan Cable: Black (BLK). Custom finishes not available.  
Kore-EX5 LED Module: Exterior rated, brushed, two-step electrolytic color anodizing. Anodized Black (BLK) or Anodized Aluminum (AL).  
Gem: Faceted Clear, Faceted Frosted, Faceted Amber.  
Envelope: Clear/Frosted, Clear Rain Bubble Pattern, Amber Rain Bubble Pattern.  
Mounting: Powdercoated Black.
- Power Supply Enclosure:** Refer to [Exton Power Supply IP20 Specs sheet](#), [IP24 Specs sheet](#) or [IP66 Specs sheet](#) for details.
- Powerspan Cable:** Exton Powerspan, Self-Sealing Cable is IP-65 for interior/exterior use. Supplied in 1' (30.5cm) increments, with End Cap, as a stand alone to be tensioned or swagged. Field cuttable. Refer to [Installation Instructions](#) for max Powerspan runs.
- Mounting:** Surface Mount 2" Wrap Bracket, Black Finish (EX-SWB-2-BLK), Surface Mount 3" Wrap Bracket, Black Finish (EX-SWB-3-BLK), Vertical Surface Mount Bracket, Black Finish (EX-VSB-BLK), Horizontal Surface Mount Bracket, Black Finish (EX-HSMB-BLK), Standoff Bracket, Black Finish (SOBR-BLK) Surface Mount "Drape" Bracket, Black Finish (EX-FSDB-BLK), Tensioning Surface End Bracket, Black Finish (EX-TSEB), 10' (3m) Tree Strap & Buckle, Black Finish (EX-10-TSB-BLK). Exton End Cap - Black Finish (EX-EC-BLK).
- Pole Mounting:** Tegan has partnered with AV Poles & Lighting. Poles can be ordered from Tegan Lighting. AV is well-versed on the Exton System and has installed many similar tensioned projects. As required, engineering services will be provided in the quote to insure proper structural installation per code requirements. Refer to Exton Application Guide for information and more details. Poles can also be provided by others; engineering is required by others to ensure structural integrity. **Note: Tegan is not responsible for Poles/Engineering provided by others.**
- Cable Span:** Maximum Cable mounting is 110' (33.5m). Note that the cable must be a continuous run without interruption. 300W max. per circuit. When specifying cable length, add 20% to the run length for installation.
- Power Feed:** Exton IP-65 Power Feed for Remote Power Supply - Black Finish (EXPF-BLK); Field paintable; contact Factory for custom colors. Mounts to IP65 J-Box (for exterior Install), by others. **Note: Power Feed cannot be used for structural Powerspan Cable support.** Refer to [Installation Instructions](#) for details.
- LED:** High Wattage Array Cree LED, 2-Step Macadam. 5W @ 500 Lumen Output with 2700K 82-85 CRI typical. All values are initial lumens. For exact lumen output and wattage consumption data, please consult LM79 reports. Online power consumption does not include driver losses. Contact factory for 3000K, 3500K, 4000K or 90 CRI.
- Electrical:** 24VDC. Total input watts per EX-5 Module: 6.5W. 300W max. per circuit.
- Optics:** A 15° reflector is supplied in all S Envelope options to maximize decorative element illumination.
- Remote Power Supply:** The Exton System is designed for use with a Remote Power Supply Enclosure and Driver. Refer to [Exton Power Supply IP20 Specs sheet](#), [IP24 Specs sheet](#) or [IP66 Specs sheet](#) for details. Use of Tegan Lighting Power Enclosures and Drivers only. If supplied "by others" the warranty and listing are void.

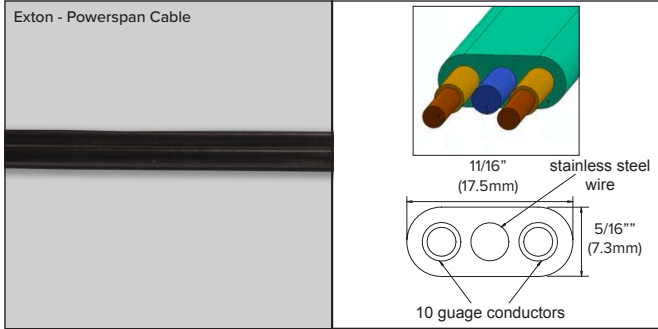
# Exton Powerspan Cable System

- Glass Gems:** Faceted “Brilliant” Clear Sparkle Gem (BCG), Faceted “Brilliant” Frosted Gem (BFG), Faceted “Brilliant” Amber Sparkle Gem (BAG). Contact factory for alternative stock or custom colors (100+ units).
- Envelopes:** “S” (Sign) Glass Envelope Clear (SEC), “S” (Sign) Glass Envelope Clear Rain Bubble Pattern (SECRP), “S” (Sign) Glass Envelope Amber Rain Bubble Pattern (SEARP). Contact factory for alternative stock or custom colors (over 100 units).
- Accessories:** 22K Color Correct Filter (CCT-22K), 24K Color Correct Filter (CCT-24K).  
**Note:** CCT22/24 = Kelvin Temperature results when used with the standard 27K Cree LED.
- Engineering:** Due to mathematical laws, tightening and loading any taut end-supported flexible cable puts tensile loads upon its supports (walls, trees, posts, etc.) that is orders of magnitude greater than the weight of the cable and its dynamic loading. Taut/tensioned installations require extremely strong end supports, and it is up to the Structural Engineer/specifier and installer to match the strength of the end support structures with the combined level of tautness and static (weight of cable/fixtures) and dynamic (e.g. wind/ice/vermin) load of the cable. Refer to [Installation Instructions](#) for details.
- Installation:** Exton is not approved or listed for indoor pool/sauna installations. Refer to [Installation Instructions #23](#) for details. For system layout, and specification assistance, refer to the [Exton Application Guide](#) for details.
- Labels:** ETL Listed; Tested to UL 2108 Low Voltage Lighting Systems. In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials. Technical specification sheets that appear on [teganlighting.com](http://teganlighting.com) are the most recent version and supersede all other versions that exist in any other printed or electronic form. Kore-EX5 Module and Cable - 3 year warranty. Envelopes and Architectural Shades: limited three year warranty. Refer to [Exton Application Guide](#) for details. Consult with an Arborist for proper tree installation per the type of tree(s). Tegan Lighting is not liable for any damage/injury as a result of tree installation. Refer to [Installation Instructions](#) for more details.



# Exton Powerspan Cable System

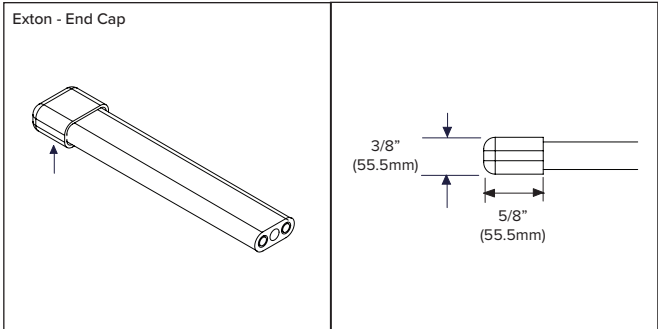
## Exton - Powerspan Cable



Exton - Powerspan Cable - Black

(EX-C-BLK)

Exton Self-Sealing Powerspan Cable is IP-65 for interior/exterior applications. Order in 1' (30.5cm) increments. Exton Powerspan Cable contains two #10 AWG stranded copper conductors alongside a central strand of steel support cable. Field cuttable. 24VDC at 250W Max. per run. Polarity does not matter. Available in Black finish (only). Refer to [Installation Instructions Sheet](#) and [Exton Application Guide](#) for details.

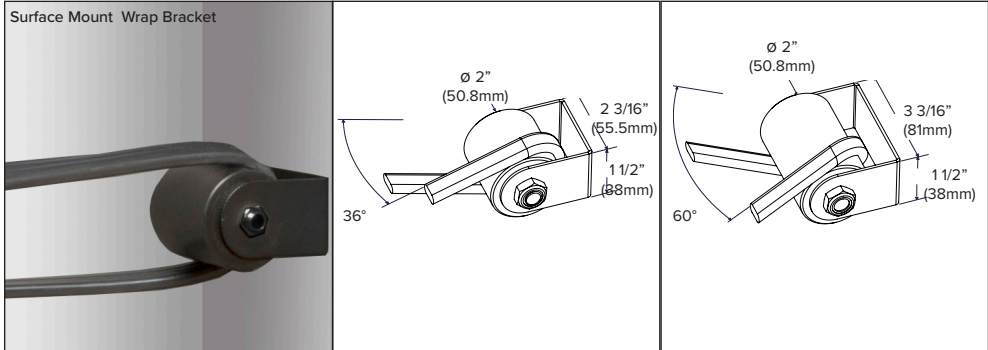


Exton End Cap - Black Finish

(EX-EC-BLK)

Exton End Cap is for interior/exterior applications. One (1) required per run. Available in Black finish (only). Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details.

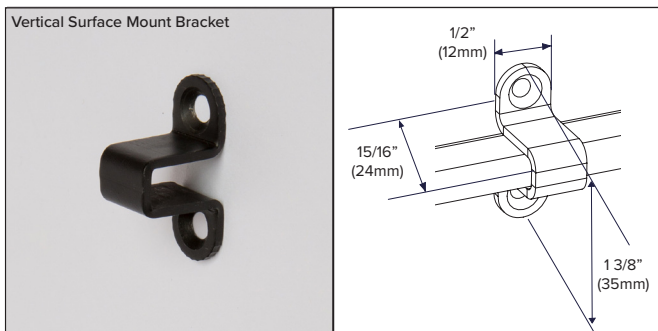
## Exton - Cable - Mounting Brackets



Surface Mount 2" Wrap Bracket, Black  
 Surface Mount 3" Wrap Bracket, Black

(EX-SWB-2-BLK)  
 (EX-SWB-3-BLK)

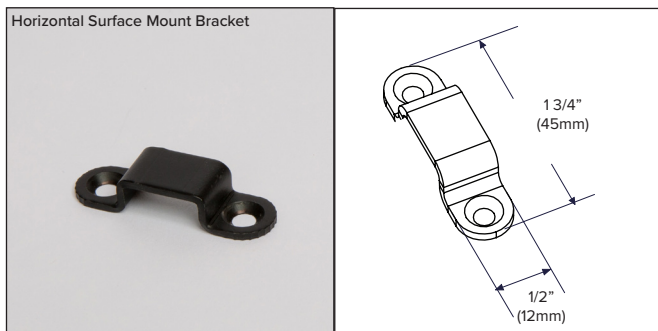
Surface Mount Wrap Bracket, 2 3/16" (55.5mm) or 3 3/16" (81mm), for Exton Powerspan Cable mounting to any suitable surface; wall, tree, pole, beam, etc. to continue up to a 110' (33.5m) run. 250W per run. Available in anodized Black (BLK) finish. Can be field painted or contact factory for custom colors. Hardware provided by others. Use fasteners as per the specification of a licensed structural engineer for the mounting substrate. Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details. Refer to page one for mounting Exton Brackets to Pole(s).



Vertical Surface Mount Bracket, Black

(EX-VSB-BLK)

Vertical Surface Mount Bracket for Exton Powerspan Cable can be mounted to any suitable surface; wall, tree, pole, beam, etc. 250W per run, for up to a 110' run. Available in anodized Black (BLK) finish. Can be field painted or contact factory for custom colors. Hardware provided by others. Use fasteners as per the specification of a licensed structural engineer for the mounting substrate. Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details. Refer to page one for mounting Exton Brackets to Pole(s).



Horizontal Surface Mount Bracket, Black

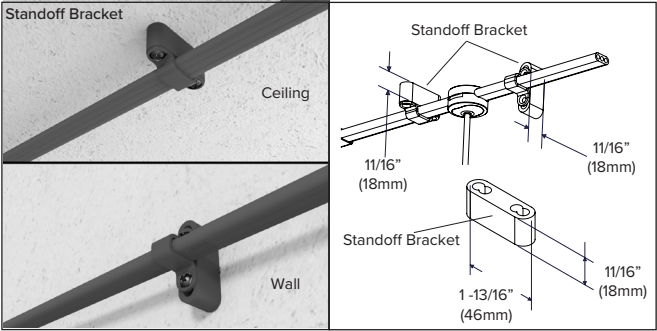
(EX-HSMB-BLK)

Horizontal Surface Mount Bracket for Exton Powerspan Cable can be mounted to any suitable surface; wall, tree, pole, beam, etc. 250W per run, for up to a 110' run. Available in anodized Black (BLK). Can be field painted or contact factory for custom colors. Hardware provided by others. Use fasteners as per the specification of a licensed structural engineer for the mounting substrate. Refer to [Installation Instructions Sheet 23](#) and [Exton Application Guide](#) for details. Refer to page one for mounting Exton Brackets to Pole(s).



# Exton Powerspan Cable System

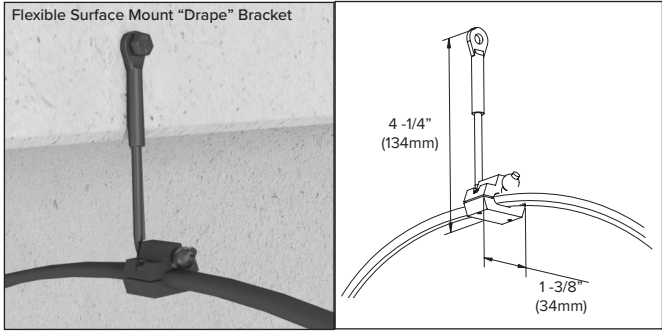
## Exton - Cable - Mounting Brackets



Standoff Bracket, Black

(EX-SOBR-BLK)

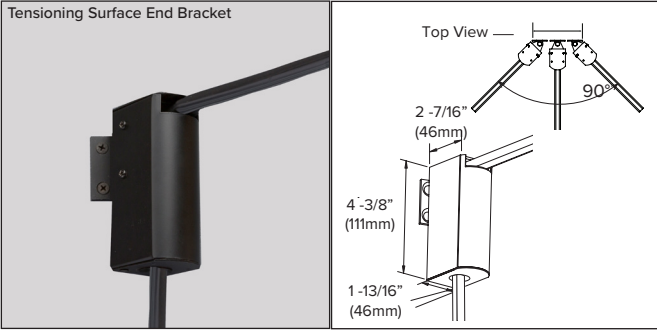
Standoff to be used with Vertical or Horizontal Surface Mount Brackets to allow room for the EX5 module and the cable clamp when the module is positioned close to the mounting surface. Available in Black (BLK). Hardware provided by others. Use fasteners as per the specification of a licensed structural engineer for the mounting substrate. Refer to [Installation Instructions Sheet](#) and [Exton Application Guide](#) for details.



Flexible Surface Mount "Drape" Bracket, Black

(EX-FSDB-BLK)

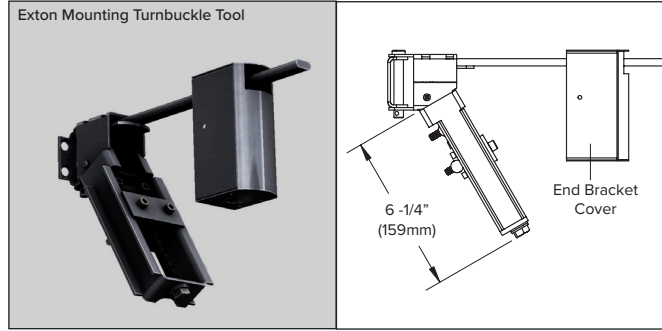
Flexible Surface Mount Bracket for Exton Powerspan Cable "Draped" installations. Can mount to any suitable surface; wall, tree, pole, beam, etc. 4.25" (115mm) AC length. Contact factory for alternative lengths. Stainless steel and Black anodized aluminum. Hardware provided by others. Use fasteners as per the specification of a licensed structural engineer for the mounting substrate. Refer to [Installation Instructions Sheet](#) and [Exton Application Guide](#) for details. Refer to page one for mounting Exton Brackets to Pole(s).



Tensioning Surface End Bracket, Black

(EX-TSEB-BLK)

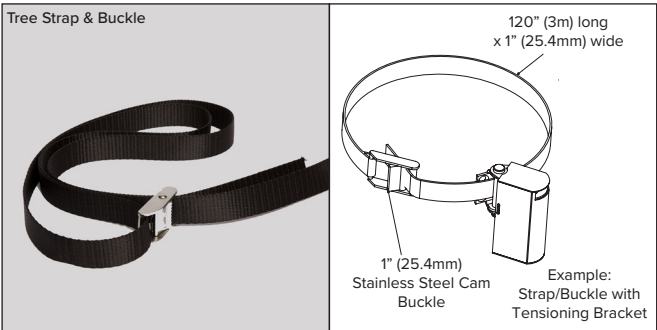
Tensioning Surface End Bracket for Exton Powerspan Cable installations. Can be mounted to any suitable surface; wall, tree, pole, beam, etc. 25° Horizontal side adjustment. **Two Tensioning brackets required per tensioned run.** Brackets can be installed side-by-side for multiple runs. Tension Mount Brackets can hold Powerspan Cable so it angles at up to 45° away from perpendicular, for a total adjustability of 90° left and right. The Tension Mount Bracket can be used in tensioned or loose "swagged" installations. Available in anodized Black (BLK) finish. Can be field painted or contact factory for custom colors. Hardware provided by others. Use fasteners as per the specification of a licensed structural engineer for the mounting substrate. Refer to [Installation Instructions Sheet](#) and [Exton Application Guide](#) for details.



Exton Mounting Turnbuckle Tool

(EX-MTBT-BLK)

The Turnbuckle Tool's Sliding Clamp is used to incrementally pull and make the Powerspan Cable taught. Tighten cable by manually pulling it through the End Mount before using the Tool. The Tensioning Tool should only be used to tighten away the last few inches off swag. Be sure to loosen the End Mount Screws before using the Bolt, or you may damage the cable. Allow 6" of sag in the middle of the Powerspan Cable per 20' of span. For example, 40' of span (2 x 20') requires 2 x 6" (12") of sag. Keeping it tighter may create higher tension than the cable can withstand. Do not exceed 450 lbs of tension. Use provided tensioning device if necessary. Maximum Span: 110' (33" sag). Maximum # of LED Modules per Run/Circuit: 40. Maximum Shade weight: 5lb.



Tree Strap & Buckle

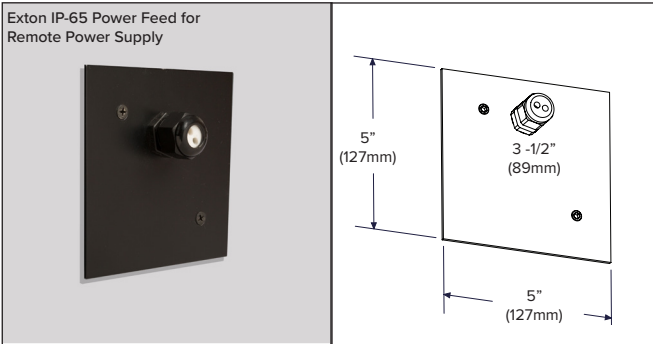
(EX-10-TSB)

Tree Strap & Buckle Bracket for Exton Powerspan Cable mounting to a tree. 1500 lb. test, UV-resistant, water-resistant. Field-cutttable. 10' (3m) Strap length; contact factory for alternative strap lengths over 10' in 1' increments. Strap available in Black (BLK) finish (only). Galvanized Stainless Steel buckle (only). Tensioning Bracket shown is ordered separately. Refer to [Installation Instructions Sheet](#) and [Exton Application Guide](#) for details.



# Exton Powerspan Cable System

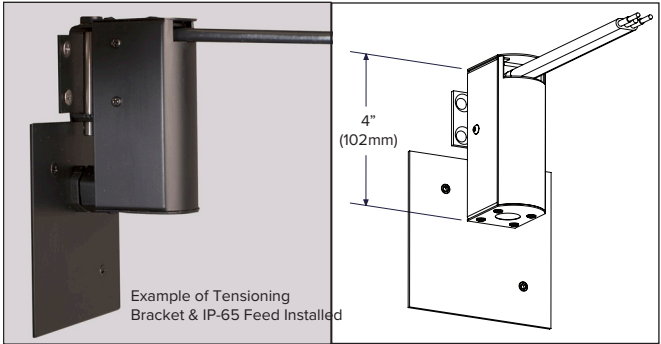
## Exton - Cable - Power Feed



Exton IP-65 Power Feed for Remote Power Supply

(EX-PF-BLK)

The IP-65 Power Feed will allow the Exton Power Cable to feed into a building or Pole for connection to a Remote Power Supply. The Power Feed is not structural. It is for feeding wire (only) into a building, pole, etc. to make an electrical connection. It can not be used alone for tensioning/swag mounting. Field-paintable. Can mount to a building structure or pole. Available in Black (BLK) finish. Contact factory for custom colors (backplate only). Tensioning Bracket shown is ordered separately. Remote Power Supply; refer to Specification Sheet 24 for options. Refer to [Installation Instructions Sheet](#) and [Exton Application Guide](#) for details.

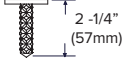


Example of Tensioning Bracket & IP-65 Feed Installed



# Exton Powerspan Cable System

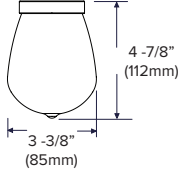
## Exton - Kore-EX5 Glass "Gem" Types



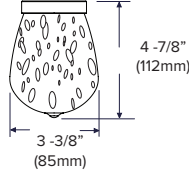
Exton Brilliant Clear, Frosted, or Amber Glass Gem Multifaceted "Brilliant" Sparkle glass Gem for Kore-EX5 Module.

1. Contact factory for a custom design gem. Refer to p. 2 for minimum units

## Kore-EX5 - Glass Envelopes - Sign (S) Types



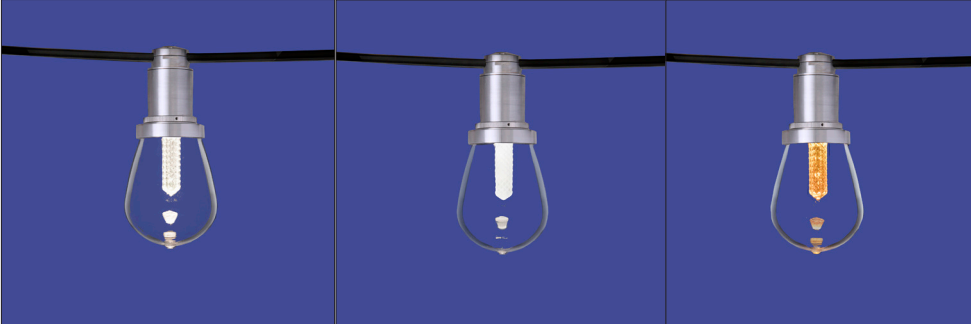
"S" Glass Envelope, Clear Hand Blown, Clear Sign (S) Shape Glass Envelope for Kore-EX5.

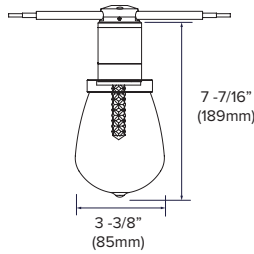


"S" Glass Envelope, Clear or Amber Bubble Pattern Hand Blown, Clear or Amber Rain Bubble Pattern Sign (S) Shape Glass Envelope for Kore-EX5.

1. Contact Factory for alternative color options. Refer to page 2 for minimum units.

## Exton - Cable - Kore-Ex5 24VDC Direct Mount Module with "S" Envelope & Gem - Combinations





Kore-EX5 LED Module, Cable Mount, S Envelope Clear, "Brilliant" Clear Gem. Aluminum (AL) or Black (BLK) finish.  
 (EX5-K-C-SEC-BCG-AL)  
 (EX5-K-C-SEC-BCG-BLK)

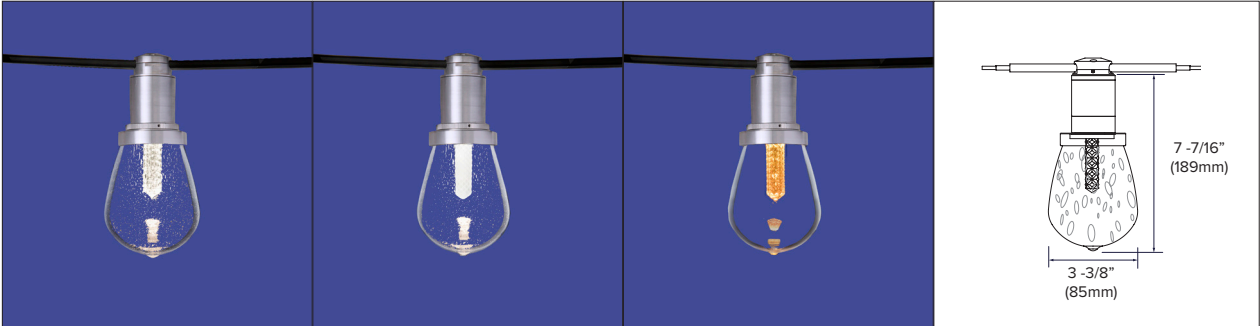
Kore-EX5 LED Module, Cable Mount, S Envelope Clear, "Brilliant" Frosted Gem. Aluminum (AL) or Black (BLK) finish.  
 (EX5-K-C-SEC-BFG-AL)  
 (EX5-K-C-SEC-BFG-BLK)

Kore-EX5 LED Module, Cable Mount, S Envelope Clear, "Brilliant" Amber Gem. Aluminum (AL) or Black (BLK) finish.  
 (EX5-K-C-SEC-BAG-AL)  
 (EX5-K-C-SEC-BAG-BLK)

1. Order Power Supplies separately. Refer to [Power Supplies](#) for options.
2. Order Accessories on p. 2 separately.

# Exton Powerspan Cable System

## Exton - Cable - Kore-EX5 24VDC Direct Mount Module with "S" Envelope & Gem - Combinations



Kore-EX5 LED Module, Cable Mount, S Envelope Clear Rain Bubble Pattern, "Brilliant" Clear Gem. Aluminum (AL) or Black (BLK) finish.

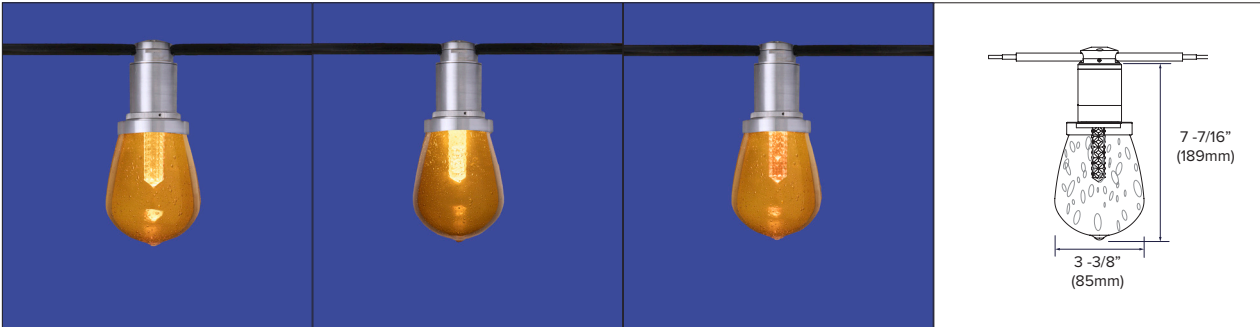
(EX5-K-C-SECRP-BCG-AL)  
 (EX5-K-C-SECRP-BCG-BLK)

Kore-EX5 LED Module, Cable Mount, S Envelope Clear Rain Bubble Pattern, "Brilliant" Frosted Gem. Aluminum (AL) or Black (BLK) finish.

(EX5-K-C-SECRP-BFG-AL)  
 (EX5-K-C-SECRP-BFG-BLK)

Kore-EX5 LED Module, Cable Mount, S Envelope Clear Rain Bubble Pattern, "Brilliant" Amber Gem. Aluminum (AL) or Black (BLK) finish.

(EX5-K-C-SECRP-BAG-AL)  
 (EX5-K-C-SECRP-BAG-BLK)



Kore-EX5 LED Pendant, Cable Mount, S Envelope Amber Rain Bubble Pattern, Brilliant Clear Gem. Aluminum or Black Finish.

(EX5-K-C-SEARP-BCG-AL)  
 (EX5-K-C-SEARP-BCG-BLK)

Kore-EX5 LED Pendant, Cable Mount, S Envelope Amber Rain Bubble Pattern, Brilliant Frosted Gem. Aluminum or Black Finish.

(EX5-K-C-SEARP-BFG-AL)  
 (EX5-K-C-SEARP-BFG-BLK)

Kore-EX5 LED Pendant, Cable Mount, S Envelope Amber Rain Bubble Pattern, Brilliant Amber Gem. Aluminum or Black Finish.

(EX5-K-C-SACRP-BAG-AL)  
 (EX5-K-C-SACRP-BAG-BLK)

1. Order Power Supplies separately. Refer to [Power Supplies](#) for options.
2. Order Accessories on p. 2 separately.

# E X T O N

Click on the linked image below to visit the [Exton Gallery](#).

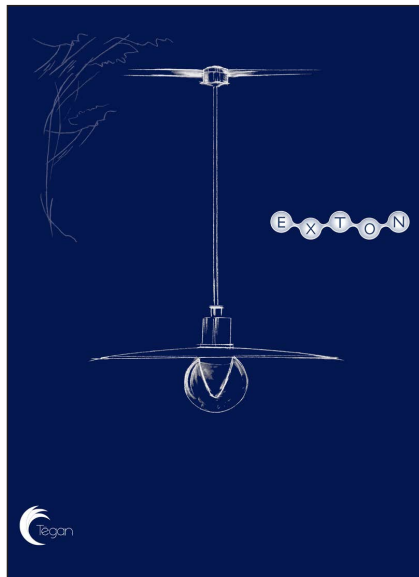


Kore-EX5 LED Pendant, Cable Mount  
Black Finish, S Envelope Amber Rain  
Bubble Pattern, Brilliant Clear Gem



Kore-EX5 LED Pendant, Cable Mount  
Black Finish, S Envelope Clear Rain Bubble  
Pattern, Brilliant Amber Gem

Tegan's [Exton Application Guide](#) features installation examples with complete BOM! Click on the linked image below.





# STAFF REPORT

**SUBJECT:** Case No.: PD2022-003

Applicant Scott Allen, representing Stephenville Rentals LLC, is requesting a rezone of property located at 157 W. Washington, Parcel R29179, being Block 5, Lot C of City Addition to the City of Stephenville, Erath County, Texas, from (DT) Downtown to (PD) Planned Development. The applicant will present a conceptual plan.

**DEPARTMENT:** Development Services

**STAFF CONTACT:** Steve Killen, Director of Development Services

## RECOMMENDATION:

Review and make recommendations to the conceptual plan. The applicant will return for the rezone to a Planned Development District and the approval of the development plan.

## BACKGROUND:

### PROPERTY PROFILE:



## **Sec. 154.08. Planned development district (PD).**

### **8.A Description.**

- (1) Planned development districts are designed for greater flexibility and discretion in the application of residential and non-residential zoning and for increased compatibility and the more effective mitigation of potentially adverse impacts on adjacent land than is possible under standard district regulations. It is recognized that it is desirable for certain areas of the city to be developed in accordance with development plans prepared and approved as a part of the ordinance authorizing the zoning necessary for the proposed development.
- (2) Improvements in a "PD" District are subject to conformance with a development plan approved by the City Council on Planning and Zoning Commission recommendation and after public hearing thereon. No development plan may increase gross density in excess of that allowed by the base district.

**8.B Permitted Uses.** In a PD Development District, no land shall be used and no building shall be installed, erected for/or converted to any use other than a hereinafter provided.

*NON-RESIDENTIAL PLANNED DEVELOPMENTS.* Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Non-residential uses are situated such that an appreciable amount of land is available for open space or joint use as parking space and is integrated throughout the planned development;
- (3) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (4) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional non-residential projects; and
- (5) The project provides a compatible transition between adjacent existing single-family residential projects and provides a compatible transition for the extension of future single-family projects into adjacent undeveloped areas.

*RESIDENTIAL PLANNED DEVELOPMENT.* Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Dwelling units are situated such that an appreciable amount of land for open space is available and is integrated throughout the planned development;
- (3) The project utilizes an innovative approach in lot configuration and mixture of single-family housing types;
- (4) Higher densities than conventional single-family projects of the same acreage is achievable with appropriate buffering between existing conventional single-family developments and increased open space;
- (5) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (6) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional single-family projects; and

- (7) The project provides a compatible transition between adjacent existing conventional single-family residential projects and provides a compatible transition for the extension of future conventional single-family projects into adjacent undeveloped areas.

#### **8.C Prohibited Uses.**

- (1) Any building erected or land used for other than the use shown on the Planned Development Site Plan, as approved by the City Council.
- (2) Any use of property that does not meet the required minimum lot size; front, side and rear yard dimensions; and/or lot width, or exceeds the maximum height, building coverage or density per gross acreage as shown in the development's recorded Planned Development Site Plan, as approved by City Council.
- (3) Any use deemed by the City Council as being detrimental to the health, safety or general welfare of the citizens of Stephenville.

**8.D Ownership.** An application for approval of a Planned Development Plan under the Planned Development District regulations may be filed by a person having legal ownership of the property to be included in the Development Plan. In order to ensure unified planning and development of the property, the applicant shall provide evidence, in form satisfactory to the City Attorney, prior to final approval of the Development Plan, that the property is held in single ownership or is under single control. Land shall be deemed to be held in single ownership or under single control if it is in joint tenancy, tenancy in common, a partnership, a trust or a joint venture. The Development Plan shall be filed in the name(s) of the record owner(s) of the property, which shall be included in the application.

#### **8.E Development Schedule.**

- (1) An application for a Planned Development District shall be accompanied by a development schedule indicating the approximate date on which construction is expected to begin and the rate of anticipated development to completion. The development schedule, adopted and approved by the City Council, shall become part of the Planned Development Ordinance and shall be adhered to by the owner, developer and their assigns of successors in interest.
- (2) Annually, upon the anniversary date, or more frequently if required, the developer shall provide a written report to the Planning and Zoning Commission concerning the actual development accomplished as compared with the development schedule.
- (3) The Planning and Zoning Commission may, if in its opinion the owner or owners of the property are failing or have failed to meet the approved development schedule, initiate proceedings to amend the Official Zoning map or the Planned Development District by removing all or part of the Planned Development District from the Official Zoning Map and placing the area involved in another appropriate zoning district. After the recommendation of the Planning and Zoning commission and for good cause shown by the owner and developer, the City Council may extend the development schedule as may be indicated by the facts and conditions of the case.

**8.F Plat Requirements.** No application for a building permit for the construction of a building or structure shall be approved unless a plat, meeting all requirement of the City of Stephenville has been approved by the City Council and recorded in the official records of Erath County.

**8.G Concept Plan.** The applicant for any PD Planned Development shall submit a concept plan to the Planning and Zoning Commission for review prior to submitting a Development Plan. The concept plan shall contain appropriate information to describe the general land use configuration, proposed densities or lot sizes, proposed amenities and proposed regulation.

**8.H Development Plan Approval Required.** No building permit or certificate of occupancy shall be issued and no use of land, buildings or structures shall be made in the "PD" District until the same has been approved as

part of a development plan in compliance with the procedures, terms and conditions of this section of the ordinance.

### 8.I Approval Procedures.

- (1) An application for development plan approval shall be filed with the Director of Community Development accompanied by a development plan.
- (2) The procedures for hearing a request for a zoning change to "PD" shall be the same as for a requested change to any other district as set forth Section 20 of the Zoning Ordinance.
- (3) Any substantive revision to a development plan between the public hearing before the Planning and Zoning Commission and the public hearing before the City Council shall necessitate the development plan being referred back to the Planning and Zoning Commission for review and evaluation unless the revision constitutes a minor change as provided below, or the change was condition of the approval.
- (4) Any revisions to the development plan after the public hearing before the City Council shall be submitted to the Director of Community Development for distribution, review and written evaluation by city staff prior to submission to and approved by the City Council.
- (5) Minor changes to an approved development plan, which will not cause any of the following circumstances to occur, may be authorized by the Director of Community Development or his or her designee:
  - (a) A change in the character of the development;
  - (b) An increase in the gross floor areas in structures;
  - (c) An increase in the intensity of use;
  - (d) A reduction in the originally approved separations between buildings;
  - (e) Any adverse changes in traffic circulation, safety, drainage and utilities;
  - (f) Any adverse changes in such external effects on adjacent property as noise, heat, light, glare, vibration, height scale or proximity;
  - (g) A reduction in the originally approved setbacks from property lines;
  - (h) An increase in ground coverage by structures;
  - (i) A reduction in the ratio of off-street parking and loading space; and
  - (j) A change in the size, height, lighting or orientation of originally approved signs.
- (6) The decision of the Director of Community Development or his or her designee as to whether minor changes are being requested may be appealed to the Planning and Zoning Commission. Any change deemed not to be minor change, as indicated above, shall be processed as a new application in accordance with the provisions of this section and Section 20.1 of the Zoning Ordinance.

**8.J Development Plan Requirements.** The development plan submitted in support of a request for development plan approval shall contain sufficient information delineating the characteristics of the site, changes in those characteristics as may be proposed by the development, how the development will relate to public services and facilities and what protection features are included to insure that the development will be compatible with existing and allowable development on adjacent property. The development plan shall show at least the following items of information:

- (1) The location of all existing and planned non-single-family structures on the subject property;
- (2) Landscaping lighting and/or fencing and/or screening of common areas;

- (3) General locations of existing tree clusters, providing average size and number and indication of species;
- (4) Location and detail of perimeter fencing if applicable;
- (5) General description/location of ingress and egress with description of special pavement treatment if proposed;
- (6) Off-street parking and loading facilities, and calculations showing how the quantities were obtained for all non single-family purposes;
- (7) Height of all non-single-family structures;
- (8) Proposed uses;
- (9) Location and description of subdivision signage and landscaping at entrance areas;
- (10) Street names on proposed streets;
- (11) Proposed minimum area regulations including, set-backs, lot-sizes, widths, depths, side-yards, square footage or residential structures;
- (12) Indication of all development phasing and platting limits; and
- (13) Such additional terms and conditions, including design standards, as the Planning and Zoning Commission and the City Council deem necessary.

#### **8.K Conditions for Development Plan Approval.**

- (1) A development plan shall be approved only if all of the following conditions have been found during the review and process:
  - (a) That the uses will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values with the immediate vicinity;
  - (b) That the establishment of the use or uses will not impede the normal and orderly development and improvements of surrounding vacant property;
  - (c) That adequate utilities, access roads, drainage and other necessary supporting facilities have been or will be provided;
  - (d) That the design, location and arrangement of all driveways and parking spaces provides for the safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
  - (e) That adequate nuisance prevention measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration;
  - (f) That directional lighting will be provided so as not to disturb or adversely affect neighboring properties.
- (2) In approving a development plan, the City Council may impose additional conditions necessary to protect the public interest and welfare of the community.

**8.L Additional Conditions.** Every Planned Development District approved under the provisions of this Ordinance shall be considered as an amendment to the Ordinance as applicable to the property involved. In an approved Planned Development District, the City Council may impose conditions relative to the standard of development, and such conditions shall be complied with before a certificate of occupancy is issued for the use of the land or any structure which is part of the Planned Development District; and such condition shall not be construed as conditions precedent to the approval of the zoning amendment, but shall be constructed as conditions precedent to the granting of a certificate of occupancy.

#### **8.M Revocation.**



- (1) Approval of a development plan may be revoked or modified, after notice and hearing, for either of the following reasons:
  - (a) Approval was obtained or extended by fraud or deception; or
  - (b) That one or more of the conditions imposed by the City Council on the development plan has not been met or has been violated.
- (2) Development controls:
  - (a) The City Council may impose more restrictive requirements than those proposed in the development plan in order to minimize incompatibilities;
  - (b) A "PD" District shall have a minimum lot area of not less than one acre under unified control;
  - (c) The parking requirements of the Zoning Ordinance shall apply to all uses in the "PD" District unless otherwise specified on the development plan; and
  - (d) "PD" provisions may vary setbacks with approval.

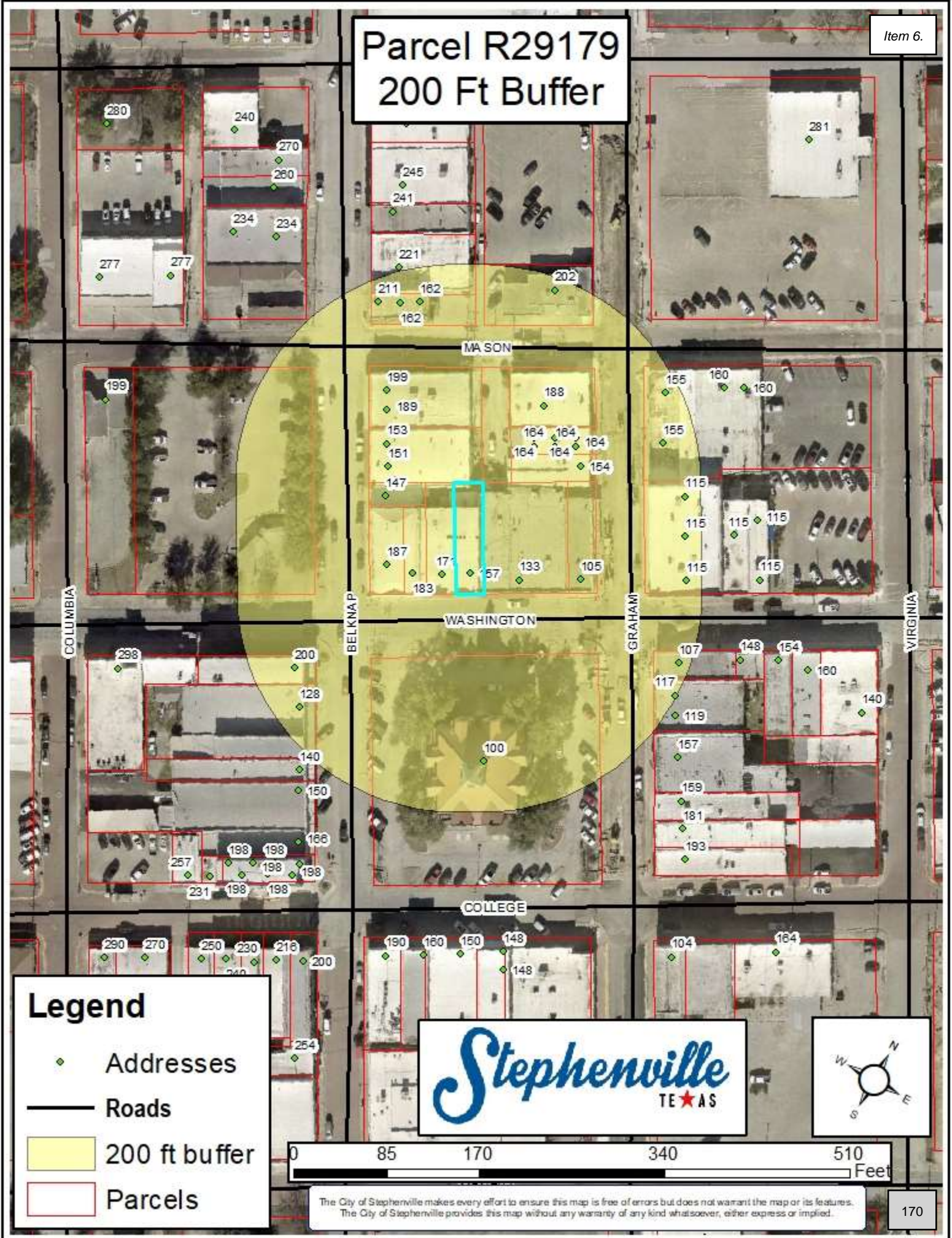
#### **FACTORS TO CONSIDER:**

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve

#### **ALTERNATIVES:**

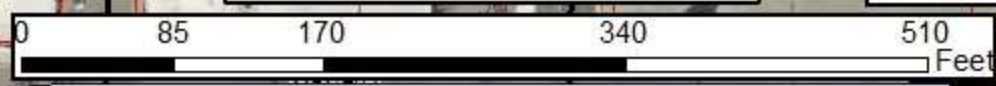
- 1) Accept the Conceptual Plan as presented.
- 2) Make recommendations to the applicant in regards to the development plan.

# Parcel R29179 200 Ft Buffer



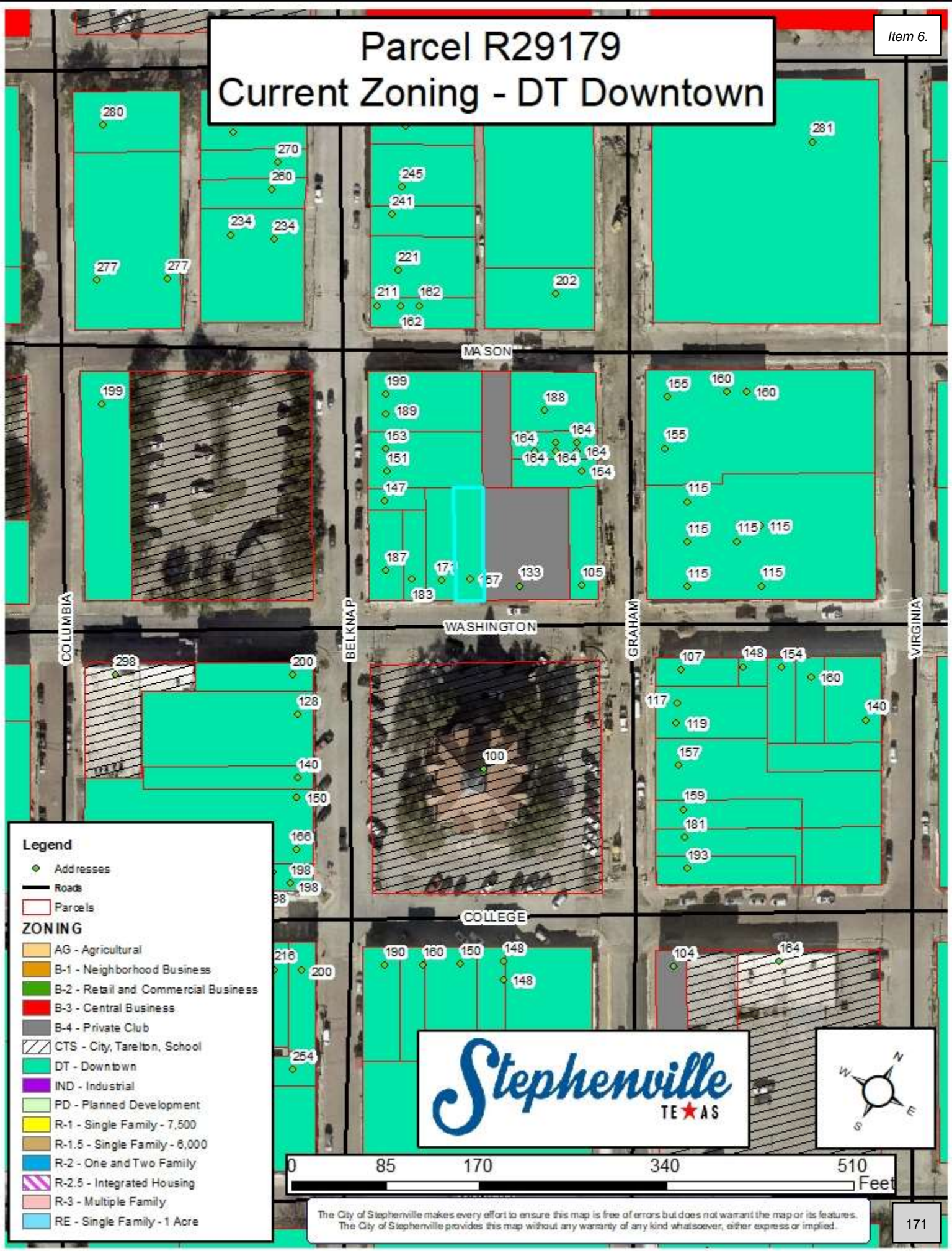
**Legend**

- ◆ Addresses
- Roads
- 200 ft buffer
- Parcels



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

# Parcel R29179 Current Zoning - DT Downtown



**Legend**

- ◆ Addresses
- Roads
- ▭ Parcels

**ZONING**

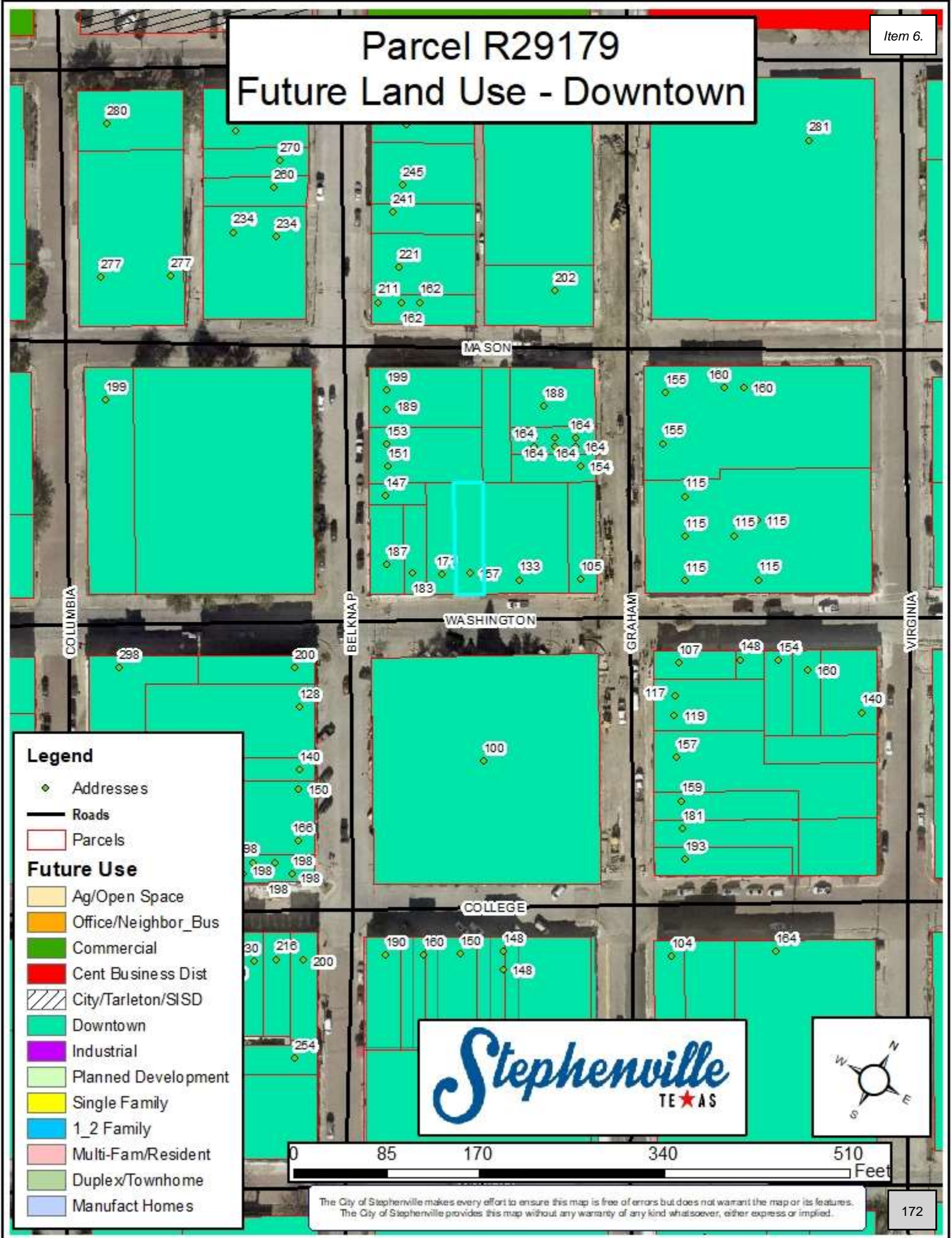
- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tareln, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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# Parcel R29179 Future Land Use - Downtown

Item 6.



### Legend

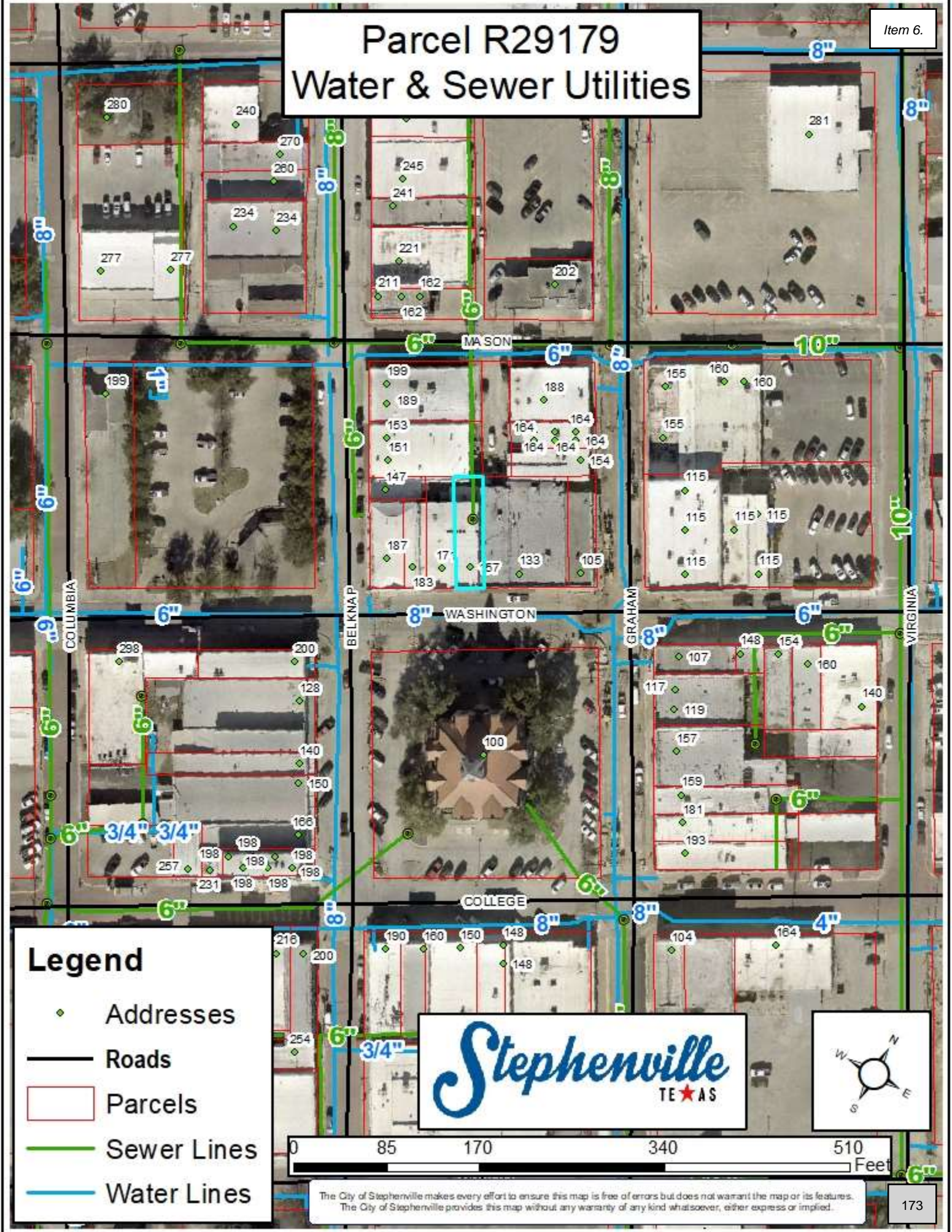
- ◆ Addresses
- Roads
- ▭ Parcels
- Future Use**
- Ag/Open Space
- Office/Neighbor\_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1\_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



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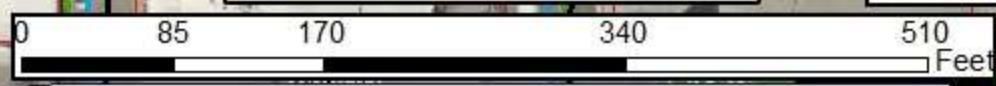
# Parcel R29179 Water & Sewer Utilities

Item 6.



### Legend

- ◆ Addresses
- Roads
- Parcels
- Sewer Lines
- Water Lines

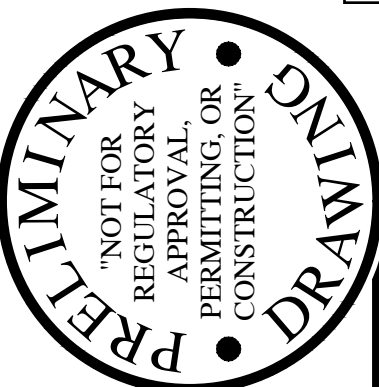


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# Parcel R29179 Address List

Item 6.

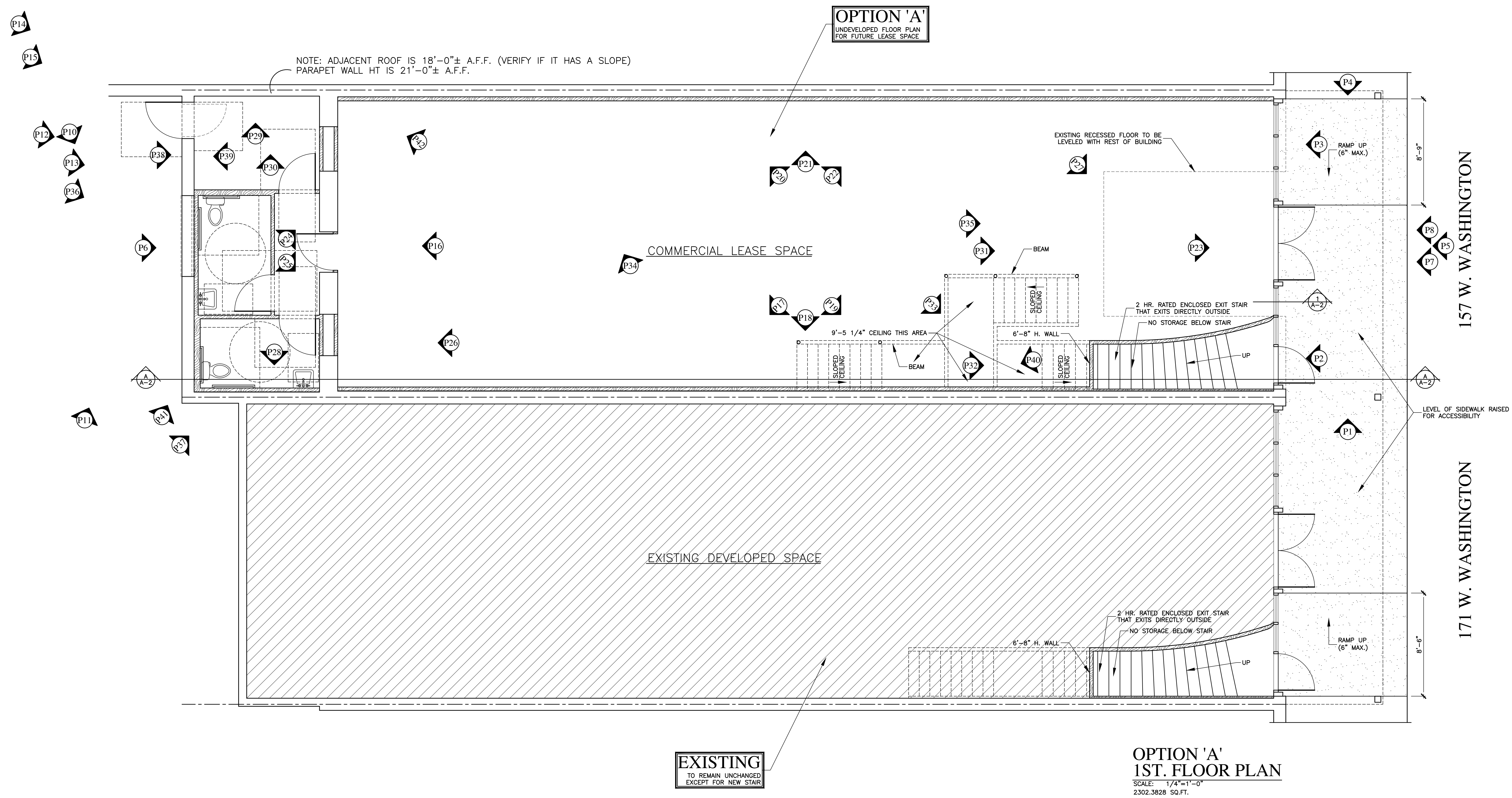
Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000029175	115 N GRAHAM	BMF PROPERTIES LLC	115 N GRAHAM ST #202	STEPHENVILLE	TX	76401
R000029189	153 N BELKNAP	BURDICK RENEE W	702 PRAIRIE WIND	STEPHENVILLE	TX	76401
R000029183	105 W WASHINGTON	BUTCHER ALLAN K JR	PO BOX 690394	SAN ANTONIO	TX	78269-0394
R000029181	133 W WASHINGTON	CAFE TRIFLES INC	133 W WASHINGTON	STEPHENVILLE	TX	76401
R000029187	0 MASON	CAFE TRIFLES INC	133 W WASHINGTON	STEPHENVILLE	TX	76401
R000029191	200 MASON	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000029202	200 W WASHINGTON	CJW PARTNERS LLC	PO BOX 909	STEPHENVILLE	TX	76401
R000029168	119 S GRAHAM	COATS JIM & PATSY	1187 AZALEA LN	STEPHENVILLE	TX	76401-0000
R000029201	128 S BELKNAP	COATS JIM & PATSY	1187 AZALEA LN	STEPHENVILLE	TX	76401-0000
R000029190	147 N BELKNAP	DOUBLE W INVESTMENTS LLC	6440 N. CENTRAL EXPRESSWAY	DALLAS	TX	75206
R000029150	100 W WASHINGTON	ERATH COUNTY	100 W WASHINGTON	STEPHENVILLE	TX	76401-0000
R000029199	150 S BELKNAP	EVATT INVESTMENTS	1425 PECAN HILL RD	STEPHENVILLE	TX	76401-9656
R000029257	0 N GRAHAM	GRAHAM ST CHURCH OF CHRIST CORP	PO BOX 6	STEPHENVILLE	TX	76401-0000
R000029252	211 N BELKNAP	J BAR F RENTALS LLC	137 SANDRA PALMER	STEPHENVILLE	TX	76401
R000029188	199 N BELKNAP	K PENDRAY PROPERTIES LLC	2345 CR177	STEPHENVILLE	TX	76401
R000029262	202 N GRAHAM	KEUNG LEUNG YIP	1607 AUSTIN AVE	BROWNWOOD	TX	76801
R000029169	107 S GRAHAM	SHAHAN DEDRA	107 S GRAHAM	STEPHENVILLE	TX	76401
R000029177	187 W WASHINGTON	STEPHENVILLE CHAMBER OF COMMERCE IN	PO BOX 306	STEPHENVILLE	TX	76401-0000
R000043723	183 W WASHINGTON	STEPHENVILLE CHAMBER OF COMMERCE INC	187 WEST WASHINGTON	STEPHENVILLE	TX	76401
R000029176	155 N GRAHAM	STEPHENVILLE PROPERTIES LLC	155 N GRAHAM	STEPHENVILLE	TX	76401
R000029178	171 W WASHINGTON	STEPHENVILLE RENTALS LLC	181 S GRAHAM	STEPHENVILLE	TX	76401
R000029179	157 W WASHINGTON	STEPHENVILLE RENTALS LLC	181 S GRAHAM	STEPHENVILLE	TX	76401
R000029184	154 N GRAHAM	STEPHENVILLE RENTALS LLC	181 S GRAHAM	STEPHENVILLE	TX	76401
R000029185	164 N GRAHAM	STEPHENVILLE RENTALS LLC & GEN-GRACE EQUITY LP	181 SOUTH GRAHAM	STEPHENVILLE	TX	76401
R000029186	188 N GRAHAM	TEXOR LLC	3338 CR253	STEPHENVILLE	TX	76401
R000029253	221 N BELKNAP	WOOLEY GEORGE ALLEN & KATHRYN WARD	221 BELKNAP	STEPHENVILLE	TX	76401

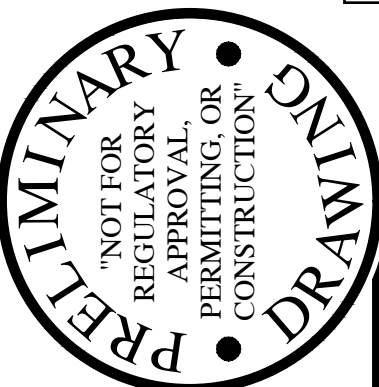


ARCHITECT JOHN G. BEVERLY ARCHITECTS  
STEPHENVILLE, TEXAS 76401  
P.O. BOX 1990  
(254) 968-4211 O. (254) 396-9999 M.  
john@jgarch.com

DRAWINGS THIS SHEET: 1ST. FLOOR PLAN-VACANT LEASE SPACE

SHEET NO. A-1 OF 1  
JOB NUMBER: 18C08  
START DATE: 4/30/18  
REVISED BY: J.G.B.  
REVISED: 5/16/22





DUPLEX OVER COMMERCIAL DEVELOPMENT OF THE JAKE WILSON & THEO BAUER BUILDINGS  
STEPHENVILLE, TEXAS 76401  
john@jgbeverly.com

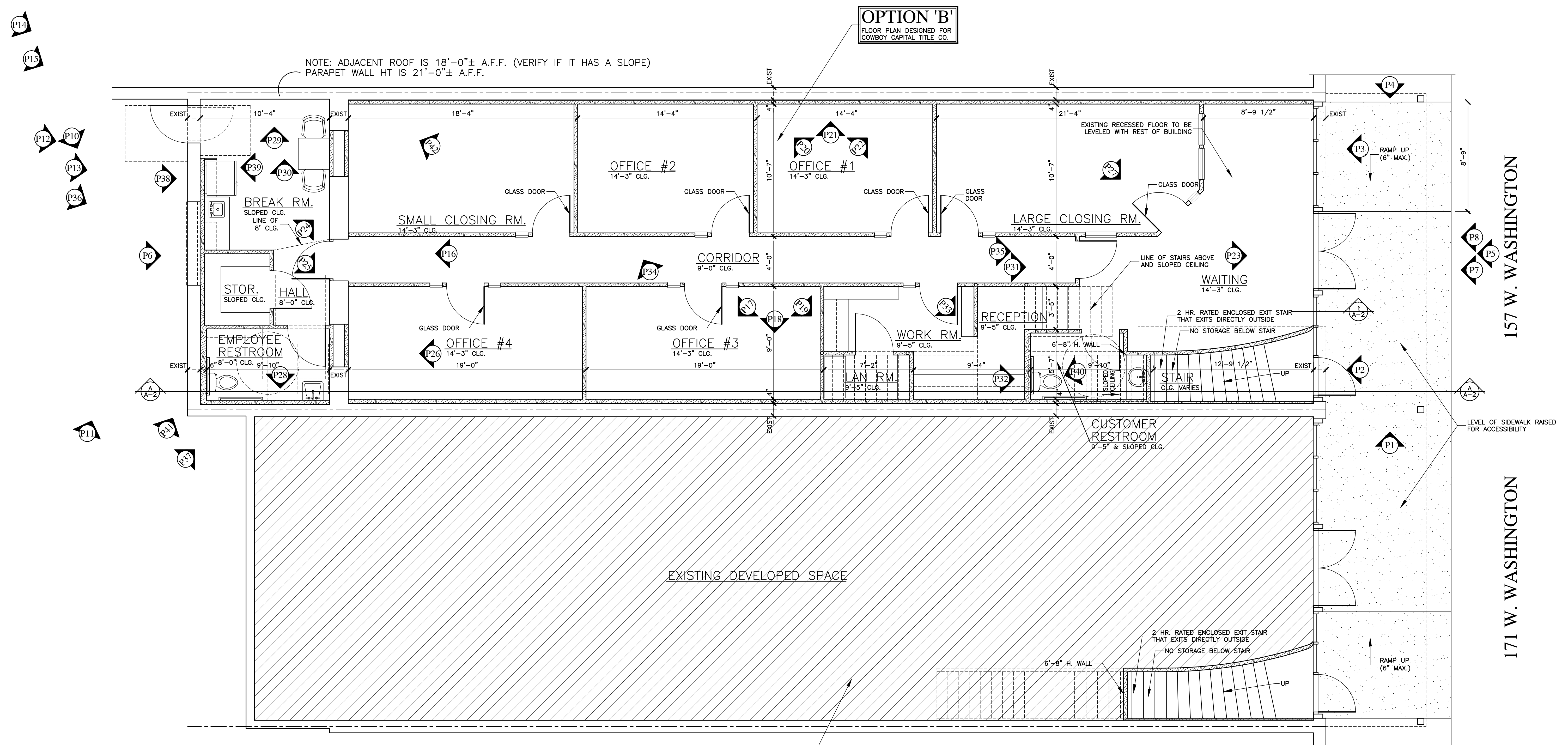
ARCHITECT JOHN G. BEVERLY  
P.O. BOX 1990 STEPHENVILLE, TEXAS 76401  
(254) 968-4211 O. (254) 396-9999 M.

DRAWINGS THIS SHEET: 1ST FLOOR PLAN-COWBOY COUNTRY TITLE

START DATE: 4/30/18  
REVISED: 5/16/22

JOB NUMBER: 18C08  
DRAWN BY: J.G.B.

SHEET NO: A-2  
OF: .



**OPTION 'B'**  
FLOOR PLAN DESIGNED FOR  
COWBOY CAPITAL TITLE CO.

NOTE: ADJACENT ROOF IS 18'-0"± A.F.F. (VERIFY IF IT HAS A SLOPE)  
PARAPET WALL HT IS 21'-0"± A.F.F.

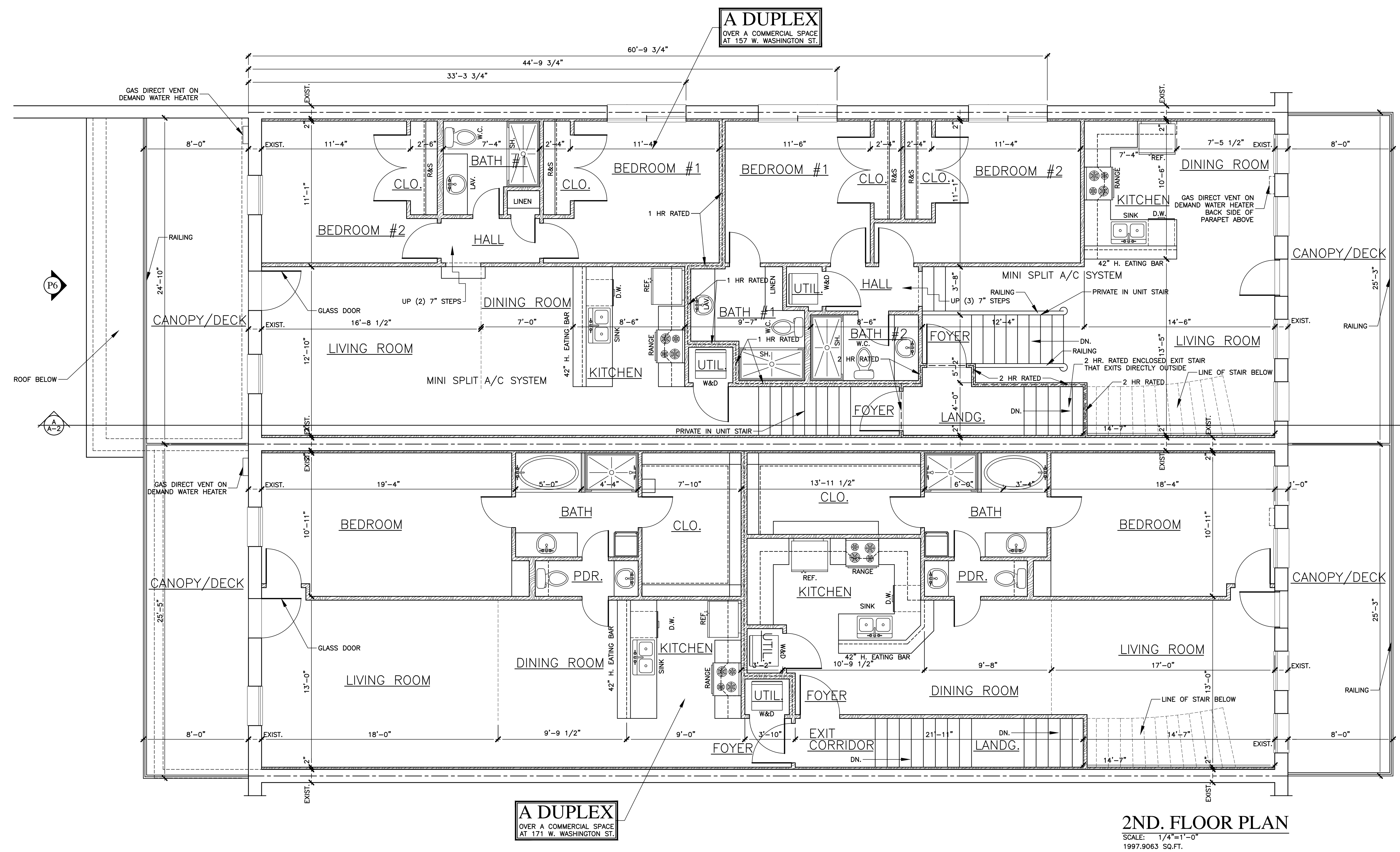
**EXISTING**  
TO REMAIN UNCHANGED  
EXCEPT FOR NEW STAIR

**OPTION 'B'**  
**1ST. FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
2302.3828 SQ.FT.

157 W. WASHINGTON

171 W. WASHINGTON





**2ND. FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
1997.9063 SQ.FT.

157 W. WASHINGTON

171 W. WASHINGTON

P14  
P15  
P12  
P10  
P13  
P36

P6

P9

P5

A-2

A-2

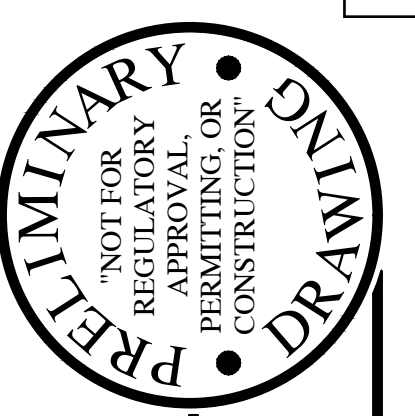
**ARCHITECT**  
DUPLEX OVER COMMERCIAL DEVELOPMENT OF THE  
**JAKE WILSON & THEO BAUER BUILDINGS**  
STEPHENVILLE, TEXAS 76401  
john@jgarch.com

**JOHN G. BEVERLY**  
P.O. BOX 1990  
STEPHENVILLE, TEXAS 76401  
(254) 968-4211 O. (254) 396-9999 M.

**DRAWINGS THIS SHEET:**  
2ND. FLOOR PLAN

**SHEET NO:** A-3  
**JOB NUMBER:** 18C08  
**START DATE:** 4/30/18  
**REVISED:** 5/16/22  
**DRAWN BY:** J.G.B.



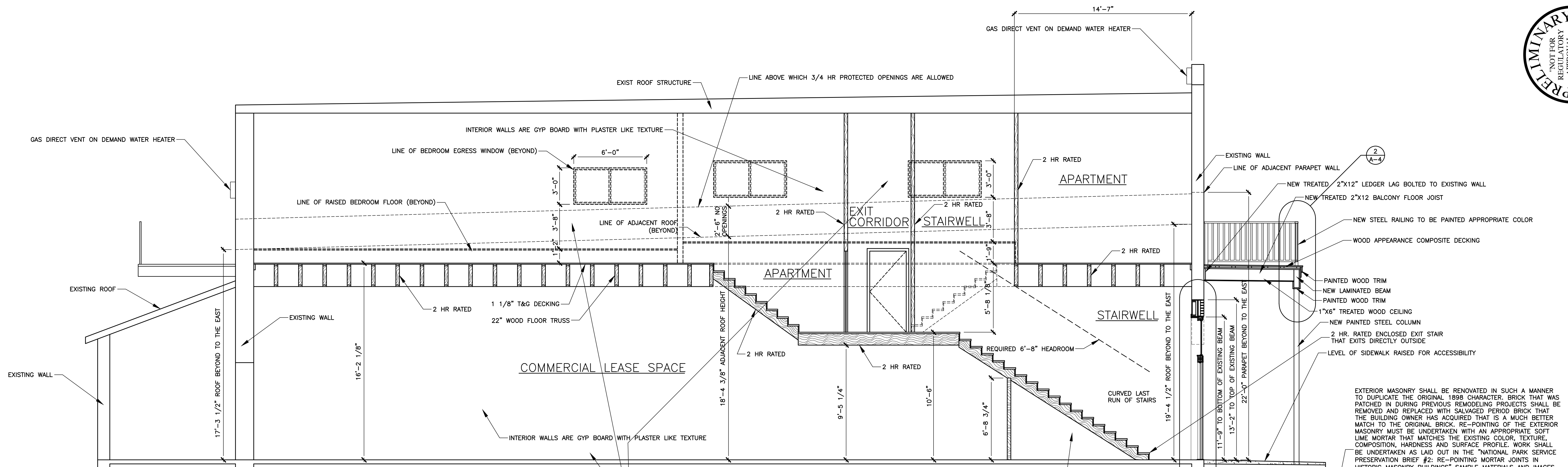


DUPLEX OVER COMMERCIAL DEVELOPMENT OF THE JAKE WILSON & THEO BAUER BUILDINGS 157 & 171 WEST WASHINGTON STREET, STEPHENVILLE, TEXAS

ARCHITECT JOHN G. BEVERLY P.O. BOX 1990 STEPHENVILLE, TEXAS 76401 (254) 968-4211 O. (254) 396-9999 M. jgbev@jgbevchc.com

DRAWINGS THIS SHEET: BUILDING SECTION FRONT ELEVATION

START DATE: 4/30/18 JOB NUMBER: 18C08 SHEET NO: A-4 OF: 18

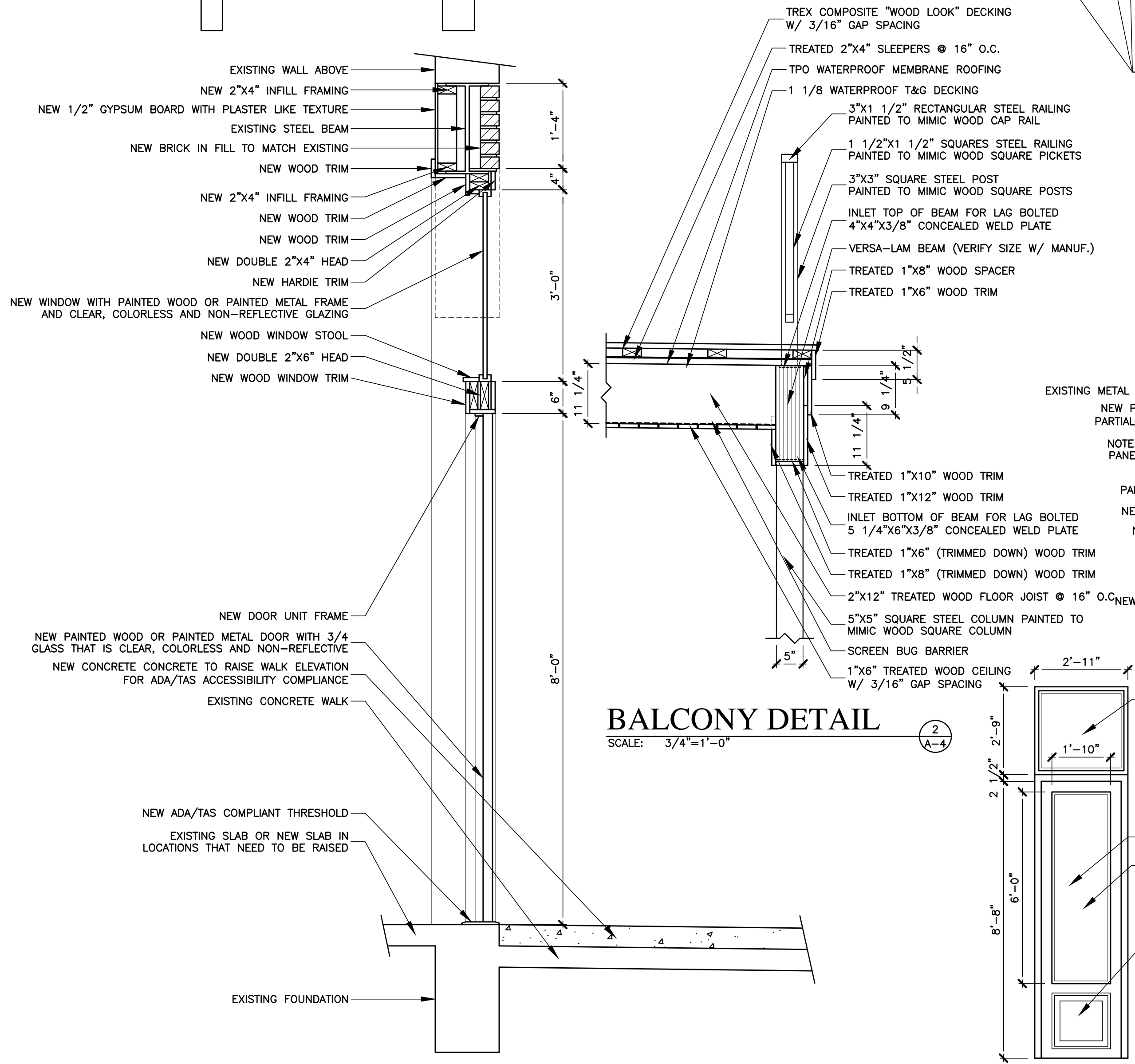


BUILDING SECTION

SCALE: 1/4"=1'-0"

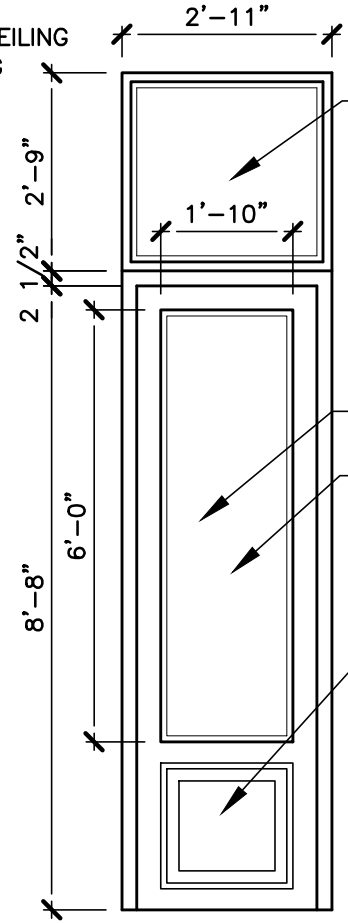
INTERIOR FINISHES SHALL BE, AS THE BUILDING HISTORICALLY HAD IN THE PAST. ALL SURFACES INCLUDING WALLS, CEILINGS, AND FLOORS SHALL HAVE SMOOTH FINISHES THAT CONCEAL THE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. INTERIOR WOOD TRIM INCLUDING WINDOW AND DOOR CASINGS, BASEBOARDS, CROWN MOLDING, AS WELL AS INTERIOR DOORS SHALL BE SIMPLE AND COMPATIBLE WITH THE HISTORIC BUILDING FLOORING IN THE MAIN SPACES ON THE FIRST FLOOR SHALL BE WOOD OR TILE. WOOD LOOK VINYL IS NOT ACCEPTABLE. SELECTIONS OF THE ABOVE ITEMS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. TENANT FINISH-OUT INCLUDING INTERIOR FINISH WORK AND SIGNAGE IS ALSO SUBJECT TO REVIEW AND APPROVAL WHEN A TENANT HAS BEEN SECURED. IF NO TENANT HAS BEEN SECURED, THE PROJECT MAY BE CERTIFIED IF THE SPACE HAS BEEN BROUGHT TO A BASIC "WHITE BOX" CONDITION (FINISH SURFACES, CONCEALED SYSTEMS).

EXTERIOR MASONRY SHALL BE RENOVATED IN SUCH A MANNER TO DUPLICATE THE ORIGINAL 1898 CHARACTER. BRICK THAT WAS PATCHED IN DURING PREVIOUS REMODELING PROJECTS SHALL BE REMOVED AND REPLACED WITH SALVAGED PERIOD BRICK THAT THE BUILDING OWNER HAS ACQUIRED THAT IS A MUCH BETTER MATCH TO THE ORIGINAL BRICK. RE-POINTING OF THE EXTERIOR MASONRY MUST BE UNDERTAKEN WITH AN APPROPRIATE SOFT LIME MORTAR THAT MATCHES THE EXISTING COLOR, TEXTURE, COMPOSITION, HARDNESS AND SURFACE PROFILE. WORK SHALL BE UNDERTAKEN AS LAID OUT IN THE "NATIONAL PARK SERVICE PRESERVATION BRIEF #2: RE-POINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS" SAMPLE MATERIALS AND IMAGES OF PROPOSED WORK SHALL BE PRESENTED TO THE STATE HISTORIC PRESERVATION OFFICE FOR REVIEW BEFORE EXTENSIVE MASONRY RENOVATION IS DONE. GOOD QUALITY, CLOSE UP COLOR PHOTOS, BOTH BEFORE AND AFTER RE-POINTING AND BRICK REPLACEMENT SHALL BE TAKEN AND SUBMITTED WITH THE PART 3: REQUEST FOR CERTIFICATION OF COMPLETED WORK.



BALCONY DETAIL

SCALE: 3/4"=1'-0"

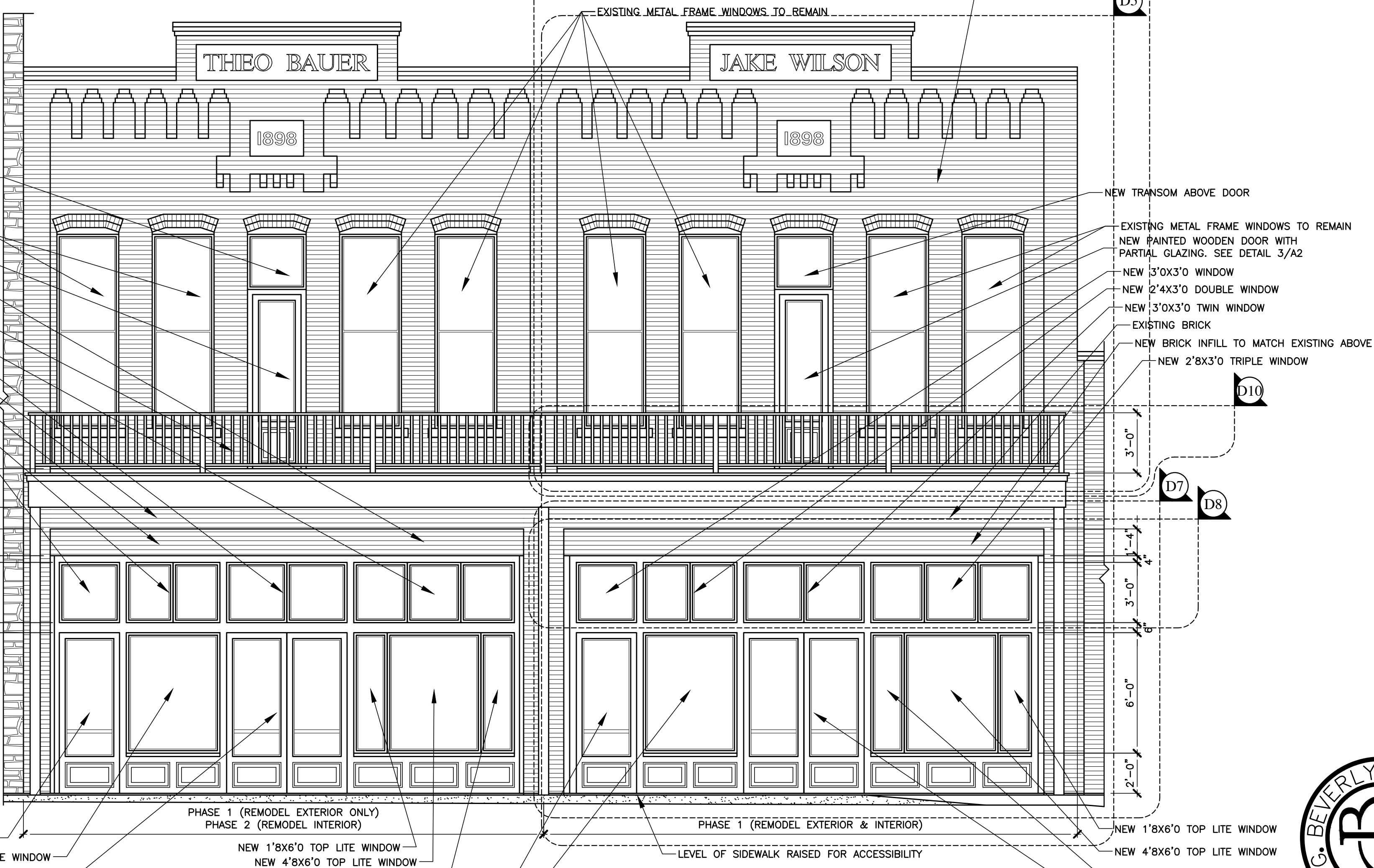


DOOR DETAIL

SCALE: 1/4"=1'-0"

FRONT ELEVATION

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE: 1/4"=1'-0"

PHASE 1 (REMODEL EXTERIOR ONLY) PHASE 2 (REMODEL INTERIOR)

PHASE 1 (REMODEL EXTERIOR & INTERIOR)



# STAFF REPORT

**SUBJECT:** Case No.: PD2022-004

Applicant Scott Allen, representing Stephenville Rentals LLC, is requesting a rezone of property located at 171 W. Washington, Parcel R29178, being Block 5, Lot B of City Addition to the City of Stephenville, Erath County, Texas, from (DT) Downtown to (PD) Planned Development. The applicant will present a conceptual plan.

**DEPARTMENT:** Development Services

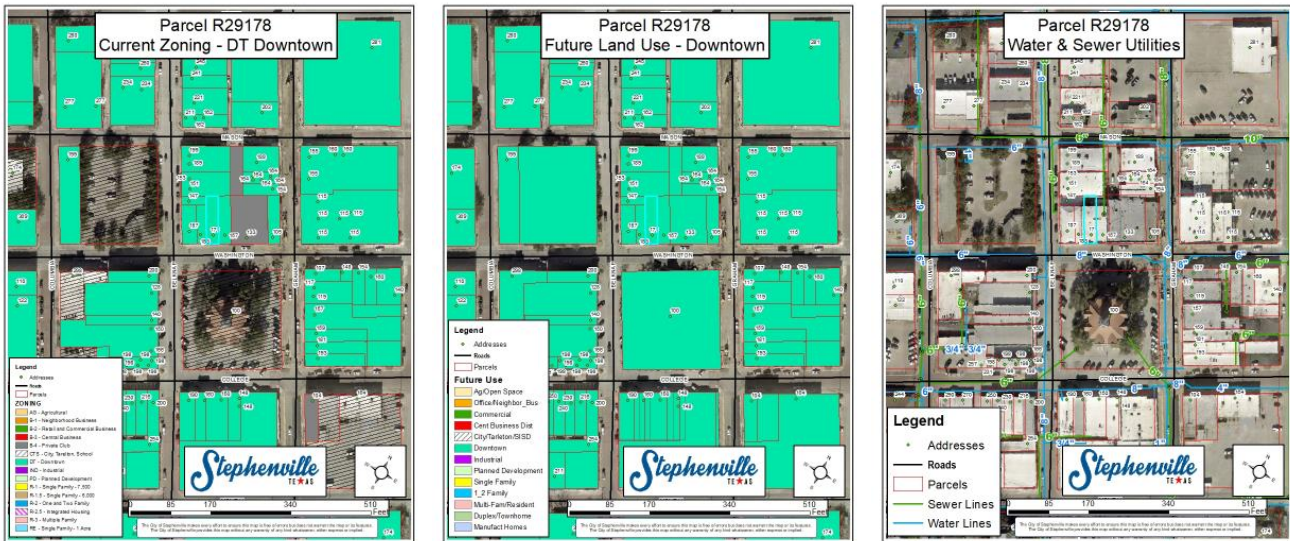
**STAFF CONTACT:** Steve Killen, Director of Development Services

## RECOMMENDATION:

Review and make recommendations to the conceptual plan. The applicant will return for the rezone to a Planned Development District and the approval of the development plan.

## BACKGROUND:

### PROPERTY PROFILE:



## **Sec. 154.08. Planned development district (PD).**

### **8.A Description.**

- (1) Planned development districts are designed for greater flexibility and discretion in the application of residential and non-residential zoning and for increased compatibility and the more effective mitigation of potentially adverse impacts on adjacent land than is possible under standard district regulations. It is recognized that it is desirable for certain areas of the city to be developed in accordance with development plans prepared and approved as a part of the ordinance authorizing the zoning necessary for the proposed development.
- (2) Improvements in a "PD" District are subject to conformance with a development plan approved by the City Council on Planning and Zoning Commission recommendation and after public hearing thereon. No development plan may increase gross density in excess of that allowed by the base district.

**8.B Permitted Uses.** In a PD Development District, no land shall be used and no building shall be installed, erected for/or converted to any use other than a hereinafter provided.

*NON-RESIDENTIAL PLANNED DEVELOPMENTS.* Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Non-residential uses are situated such that an appreciable amount of land is available for open space or joint use as parking space and is integrated throughout the planned development;
- (3) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (4) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional non-residential projects; and
- (5) The project provides a compatible transition between adjacent existing single-family residential projects and provides a compatible transition for the extension of future single-family projects into adjacent undeveloped areas.

*RESIDENTIAL PLANNED DEVELOPMENT.* Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Dwelling units are situated such that an appreciable amount of land for open space is available and is integrated throughout the planned development;
- (3) The project utilizes an innovative approach in lot configuration and mixture of single-family housing types;
- (4) Higher densities than conventional single-family projects of the same acreage is achievable with appropriate buffering between existing conventional single-family developments and increased open space;
- (5) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (6) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional single-family projects; and

- (7) The project provides a compatible transition between adjacent existing conventional single-family residential projects and provides a compatible transition for the extension of future conventional single-family projects into adjacent undeveloped areas.

#### **8.C Prohibited Uses.**

- (1) Any building erected or land used for other than the use shown on the Planned Development Site Plan, as approved by the City Council.
- (2) Any use of property that does not meet the required minimum lot size; front, side and rear yard dimensions; and/or lot width, or exceeds the maximum height, building coverage or density per gross acreage as shown in the development's recorded Planned Development Site Plan, as approved by City Council.
- (3) Any use deemed by the City Council as being detrimental to the health, safety or general welfare of the citizens of Stephenville.

**8.D Ownership.** An application for approval of a Planned Development Plan under the Planned Development District regulations may be filed by a person having legal ownership of the property to be included in the Development Plan. In order to ensure unified planning and development of the property, the applicant shall provide evidence, in form satisfactory to the City Attorney, prior to final approval of the Development Plan, that the property is held in single ownership or is under single control. Land shall be deemed to be held in single ownership or under single control if it is in joint tenancy, tenancy in common, a partnership, a trust or a joint venture. The Development Plan shall be filed in the name(s) of the record owner(s) of the property, which shall be included in the application.

#### **8.E Development Schedule.**

- (1) An application for a Planned Development District shall be accompanied by a development schedule indicating the approximate date on which construction is expected to begin and the rate of anticipated development to completion. The development schedule, adopted and approved by the City Council, shall become part of the Planned Development Ordinance and shall be adhered to by the owner, developer and their assigns of successors in interest.
- (2) Annually, upon the anniversary date, or more frequently if required, the developer shall provide a written report to the Planning and Zoning Commission concerning the actual development accomplished as compared with the development schedule.
- (3) The Planning and Zoning Commission may, if in its opinion the owner or owners of the property are failing or have failed to meet the approved development schedule, initiate proceedings to amend the Official Zoning map or the Planned Development District by removing all or part of the Planned Development District from the Official Zoning Map and placing the area involved in another appropriate zoning district. After the recommendation of the Planning and Zoning commission and for good cause shown by the owner and developer, the City Council may extend the development schedule as may be indicated by the facts and conditions of the case.

**8.F Plat Requirements.** No application for a building permit for the construction of a building or structure shall be approved unless a plat, meeting all requirement of the City of Stephenville has been approved by the City Council and recorded in the official records of Erath County.

**8.G Concept Plan.** The applicant for any PD Planned Development shall submit a concept plan to the Planning and Zoning Commission for review prior to submitting a Development Plan. The concept plan shall contain appropriate information to describe the general land use configuration, proposed densities or lot sizes, proposed amenities and proposed regulation.

**8.H Development Plan Approval Required.** No building permit or certificate of occupancy shall be issued and no use of land, buildings or structures shall be made in the "PD" District until the same has been approved as

part of a development plan in compliance with the procedures, terms and conditions of this section of the ordinance.

### 8.I Approval Procedures.

- (1) An application for development plan approval shall be filed with the Director of Community Development accompanied by a development plan.
- (2) The procedures for hearing a request for a zoning change to "PD" shall be the same as for a requested change to any other district as set forth Section 20 of the Zoning Ordinance.
- (3) Any substantive revision to a development plan between the public hearing before the Planning and Zoning Commission and the public hearing before the City Council shall necessitate the development plan being referred back to the Planning and Zoning Commission for review and evaluation unless the revision constitutes a minor change as provided below, or the change was condition of the approval.
- (4) Any revisions to the development plan after the public hearing before the City Council shall be submitted to the Director of Community Development for distribution, review and written evaluation by city staff prior to submission to and approved by the City Council.
- (5) Minor changes to an approved development plan, which will not cause any of the following circumstances to occur, may be authorized by the Director of Community Development or his or her designee:
  - (a) A change in the character of the development;
  - (b) An increase in the gross floor areas in structures;
  - (c) An increase in the intensity of use;
  - (d) A reduction in the originally approved separations between buildings;
  - (e) Any adverse changes in traffic circulation, safety, drainage and utilities;
  - (f) Any adverse changes in such external effects on adjacent property as noise, heat, light, glare, vibration, height scale or proximity;
  - (g) A reduction in the originally approved setbacks from property lines;
  - (h) An increase in ground coverage by structures;
  - (i) A reduction in the ratio of off-street parking and loading space; and
  - (j) A change in the size, height, lighting or orientation of originally approved signs.
- (6) The decision of the Director of Community Development or his or her designee as to whether minor changes are being requested may be appealed to the Planning and Zoning Commission. Any change deemed not to be minor change, as indicated above, shall be processed as a new application in accordance with the provisions of this section and Section 20.1 of the Zoning Ordinance.

**8.J Development Plan Requirements.** The development plan submitted in support of a request for development plan approval shall contain sufficient information delineating the characteristics of the site, changes in those characteristics as may be proposed by the development, how the development will relate to public services and facilities and what protection features are included to insure that the development will be compatible with existing and allowable development on adjacent property. The development plan shall show at least the following items of information:

- (1) The location of all existing and planned non-single-family structures on the subject property;
- (2) Landscaping lighting and/or fencing and/or screening of common areas;

- (3) General locations of existing tree clusters, providing average size and number and indication of species;
- (4) Location and detail of perimeter fencing if applicable;
- (5) General description/location of ingress and egress with description of special pavement treatment if proposed;
- (6) Off-street parking and loading facilities, and calculations showing how the quantities were obtained for all non single-family purposes;
- (7) Height of all non-single-family structures;
- (8) Proposed uses;
- (9) Location and description of subdivision signage and landscaping at entrance areas;
- (10) Street names on proposed streets;
- (11) Proposed minimum area regulations including, set-backs, lot-sizes, widths, depths, side-yards, square footage or residential structures;
- (12) Indication of all development phasing and platting limits; and
- (13) Such additional terms and conditions, including design standards, as the Planning and Zoning Commission and the City Council deem necessary.

#### **8.K Conditions for Development Plan Approval.**

- (1) A development plan shall be approved only if all of the following conditions have been found during the review and process:
  - (a) That the uses will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values with the immediate vicinity;
  - (b) That the establishment of the use or uses will not impede the normal and orderly development and improvements of surrounding vacant property;
  - (c) That adequate utilities, access roads, drainage and other necessary supporting facilities have been or will be provided;
  - (d) That the design, location and arrangement of all driveways and parking spaces provides for the safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
  - (e) That adequate nuisance prevention measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration;
  - (f) That directional lighting will be provided so as not to disturb or adversely affect neighboring properties.
- (2) In approving a development plan, the City Council may impose additional conditions necessary to protect the public interest and welfare of the community.

**8.L Additional Conditions.** Every Planned Development District approved under the provisions of this Ordinance shall be considered as an amendment to the Ordinance as applicable to the property involved. In an approved Planned Development District, the City Council may impose conditions relative to the standard of development, and such conditions shall be complied with before a certificate of occupancy is issued for the use of the land or any structure which is part of the Planned Development District; and such condition shall not be construed as conditions precedent to the approval of the zoning amendment, but shall be constructed as conditions precedent to the granting of a certificate of occupancy.

#### **8.M Revocation.**

- (1) Approval of a development plan may be revoked or modified, after notice and hearing, for either of the following reasons:
  - (a) Approval was obtained or extended by fraud or deception; or
  - (b) That one or more of the conditions imposed by the City Council on the development plan has not been met or has been violated.
- (2) Development controls:
  - (a) The City Council may impose more restrictive requirements than those proposed in the development plan in order to minimize incompatibilities;
  - (b) A "PD" District shall have a minimum lot area of not less than one acre under unified control;
  - (c) The parking requirements of the Zoning Ordinance shall apply to all uses in the "PD" District unless otherwise specified on the development plan; and
  - (d) "PD" provisions may vary setbacks with approval.

#### **FACTORS TO CONSIDER:**

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve

#### **ALTERNATIVES:**

- 1) Accept the Conceptual Plan as presented.
- 2) Make recommendations to the applicant in regards to the development plan.



# Parcel R29178 200 Ft Buffer



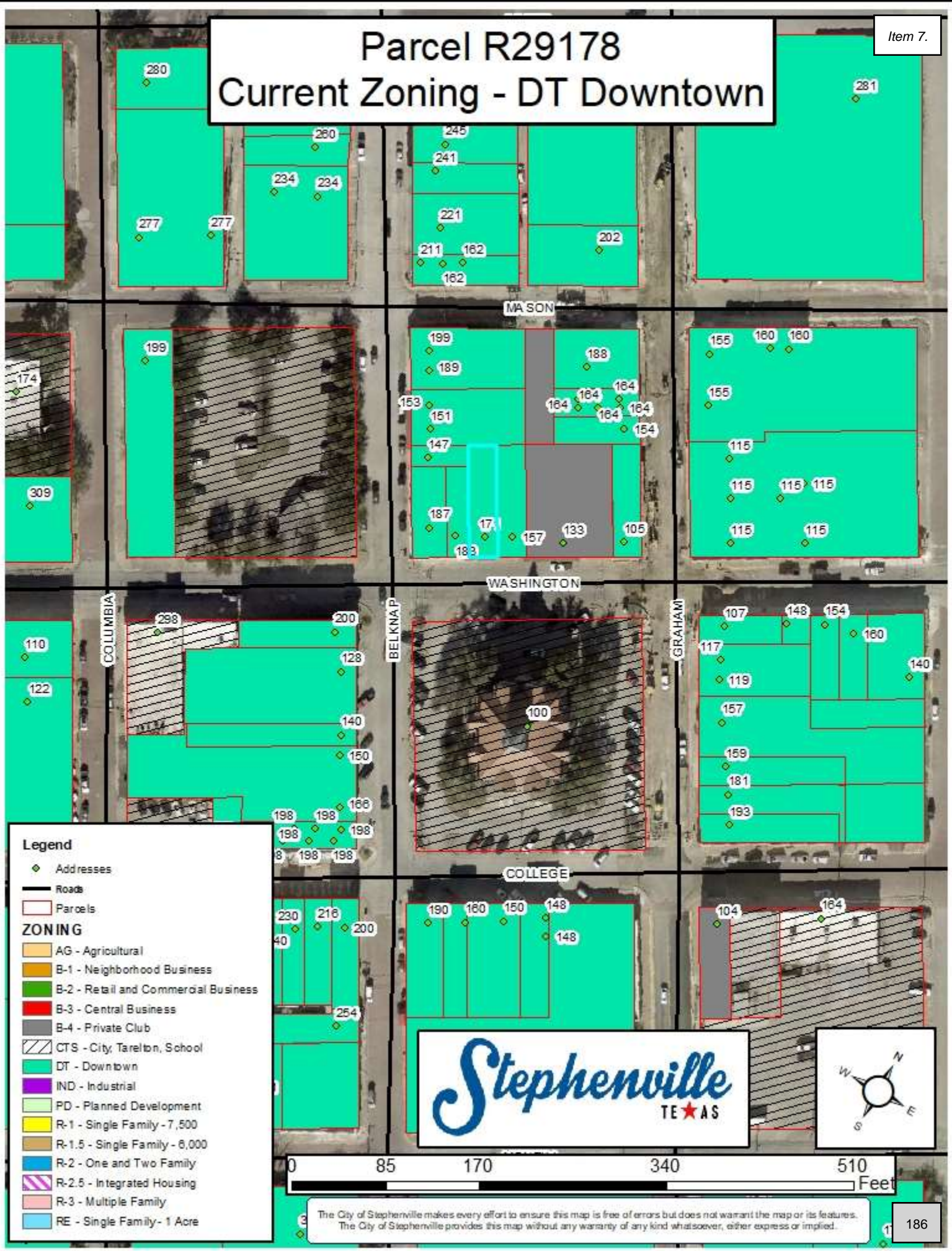
**Legend**

- ◆ Addresses
- Roads
- 200 ft buffer
- Parcels



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

# Parcel R29178 Current Zoning - DT Downtown



**Legend**

- ◆ Addresses
- Roads
- ▭ Parcels

**ZONING**

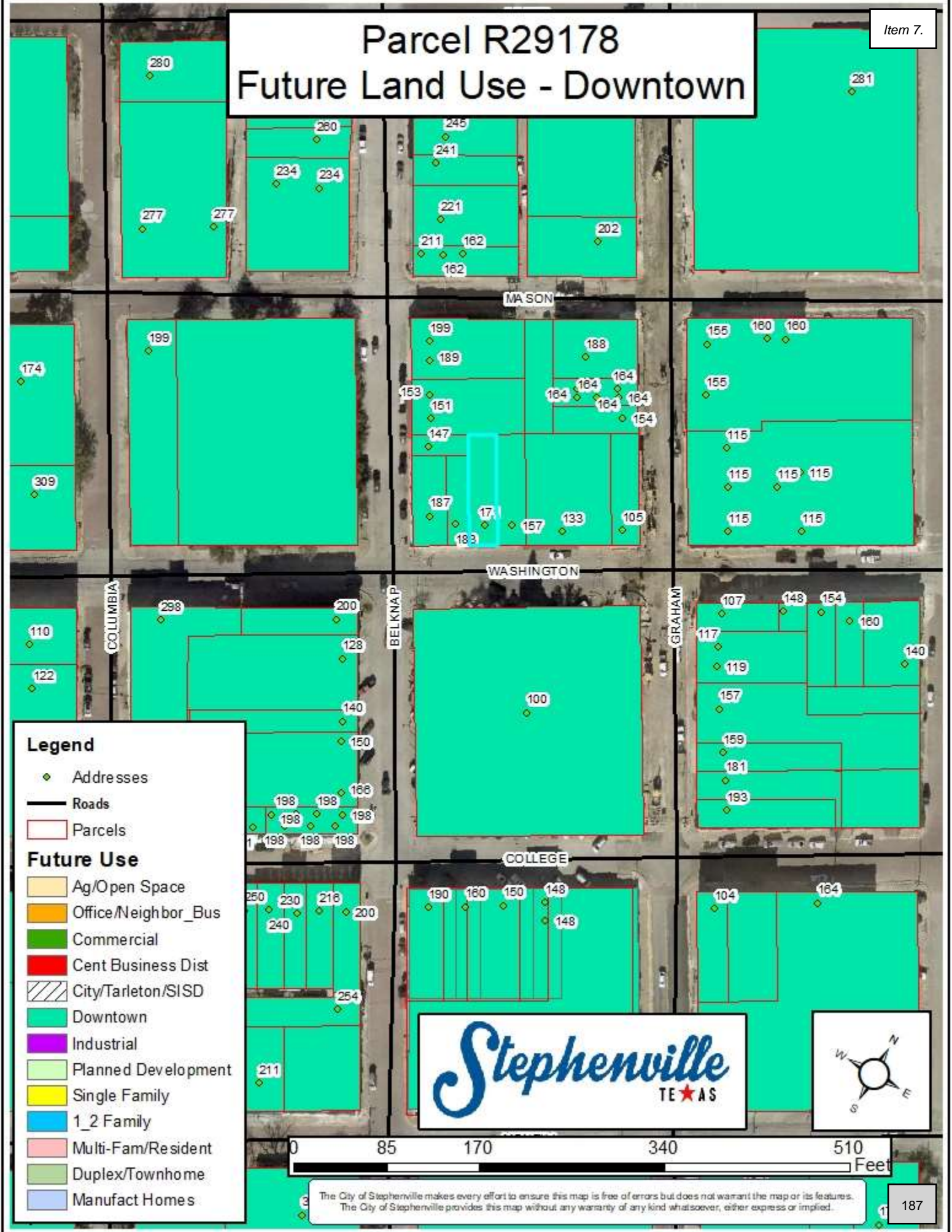
- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- ▨ CTS - City, Tareyton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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# Parcel R29178 Future Land Use - Downtown

Item 7.

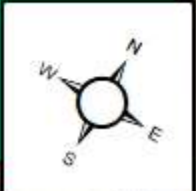


**Legend**

- ◆ Addresses
- Roads
- ▭ Parcels

**Future Use**

- Ag/Open Space
- Office/Neighbor\_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1\_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.



# Parcel R29178 Address List

Item 7.

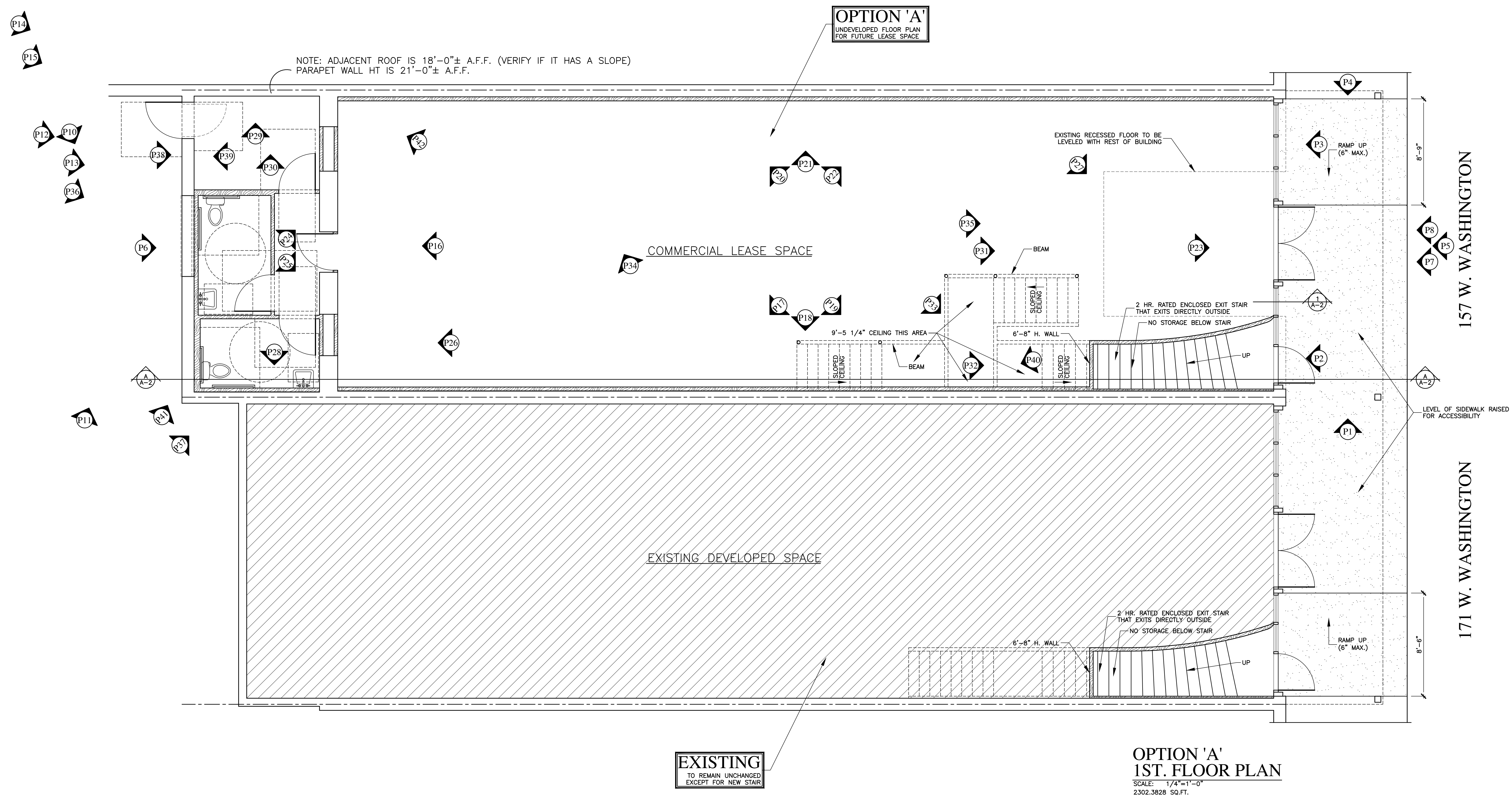
Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000029175	115 N GRAHAM	BMF PROPERTIES LLC	115 N GRAHAM ST #202	STEPHENVILLE	TX	76401
R000029189	153 N BELKNAP	BURDICK RENEE W	702 PRAIRIE WIND	STEPHENVILLE	TX	76401
R000029183	105 W WASHINGTON	BUTCHER ALLAN K JR	PO BOX 690394	SAN ANTONIO	TX	78269-0394
R000029181	133 W WASHINGTON	CAFE TRIFLES INC	133 W WASHINGTON	STEPHENVILLE	TX	76401
R000029187	0 MASON	CAFE TRIFLES INC	133 W WASHINGTON	STEPHENVILLE	TX	76401
R000029191	200 MASON	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000029202	200 W WASHINGTON	CJW PARTNERS LLC	PO BOX 909	STEPHENVILLE	TX	76401
R000029168	119 S GRAHAM	COATS JIM & PATSY	1187 AZALEA LN	STEPHENVILLE	TX	76401-0000
R000029201	128 S BELKNAP	COATS JIM & PATSY	1187 AZALEA LN	STEPHENVILLE	TX	76401-0000
R000029190	147 N BELKNAP	DOUBLE W INVESTMENTS LLC	6440 N. CENTRAL EXPRESSWAY	DALLAS	TX	75206
R000029150	100 W WASHINGTON	ERATH COUNTY	100 W WASHINGTON	STEPHENVILLE	TX	76401-0000
R000029199	150 S BELKNAP	EVATT INVESTMENTS	1425 PECAN HILL RD	STEPHENVILLE	TX	76401-9656
R000029252	211 N BELKNAP	J BAR F RENTALS LLC	137 SANDRA PALMER	STEPHENVILLE	TX	76401
R000029188	199 N BELKNAP	K PENDRAY PROPERTIES LLC	2345 CR177	STEPHENVILLE	TX	76401
R000029262	202 N GRAHAM	KEUNG LEUNG YIP	1607 AUSTIN AVE	BROWNWOOD	TX	76801
R000029263	234 N BELKNAP	KIRBO & STEWART LLC	PO BOX 2249	BROWNWOOD	TX	76804
R000029169	107 S GRAHAM	SHAHAN DEDRA	107 S GRAHAM	STEPHENVILLE	TX	76401
R000029177	187 W WASHINGTON	STEPHENVILLE CHAMBER OF COMMERCE IN	PO BOX 306	STEPHENVILLE	TX	76401-0000
R000043723	183 W WASHINGTON	STEPHENVILLE CHAMBER OF COMMERCE INC	187 WEST WASHINGTON	STEPHENVILLE	TX	76401
R000029176	155 N GRAHAM	STEPHENVILLE PROPERTIES LLC	155 N GRAHAM	STEPHENVILLE	TX	76401
R000029178	171 W WASHINGTON	STEPHENVILLE RENTALS LLC	181 S GRAHAM	STEPHENVILLE	TX	76401
R000029179	157 W WASHINGTON	STEPHENVILLE RENTALS LLC	181 S GRAHAM	STEPHENVILLE	TX	76401
R000029184	154 N GRAHAM	STEPHENVILLE RENTALS LLC	181 S GRAHAM	STEPHENVILLE	TX	76401
R000029185	164 N GRAHAM	STEPHENVILLE RENTALS LLC & GEN-GRACE EQUITY LP	181 SOUTH GRAHAM	STEPHENVILLE	TX	76401
R000029186	188 N GRAHAM	TEXOR LLC	3338 CR253	STEPHENVILLE	TX	76401
R000029198	166 S BELKNAP	THEMIS INVESTMENT PROPERTIES LLC AND	166 S BELKNAP	STEPHENVILLE	TX	76401
R000029253	221 N BELKNAP	WOOLEY GEORGE ALLEN & KATHRYN WARD	221 BELKNAP	STEPHENVILLE	TX	76401

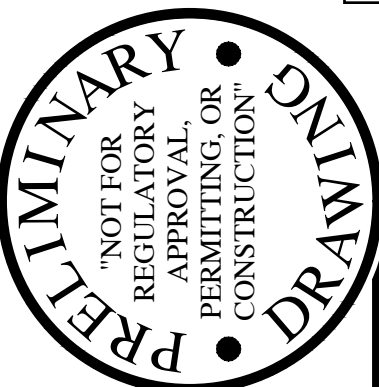


ARCHITECT JOHN G. BEVERLY ARCHITECTS  
STEPHENVILLE, TEXAS 76401  
P.O. BOX 1990  
(254) 968-4211 O. (254) 396-9999 M.  
john@jgarch.com

DRAWINGS THIS SHEET: 1ST. FLOOR PLAN-VACANT LEASE SPACE

SHEET NO. A-1 OF 1  
JOB NUMBER: 18C08  
START DATE: 4/30/18  
REVISED BY: J.G.B.  
REVISED: 5/16/22





DUPLEX OVER COMMERCIAL DEVELOPMENT OF THE JAKE WILSON & THEO BAUER BUILDINGS  
STEPHENVILLE, TEXAS 76401  
john@jgbeverly.com

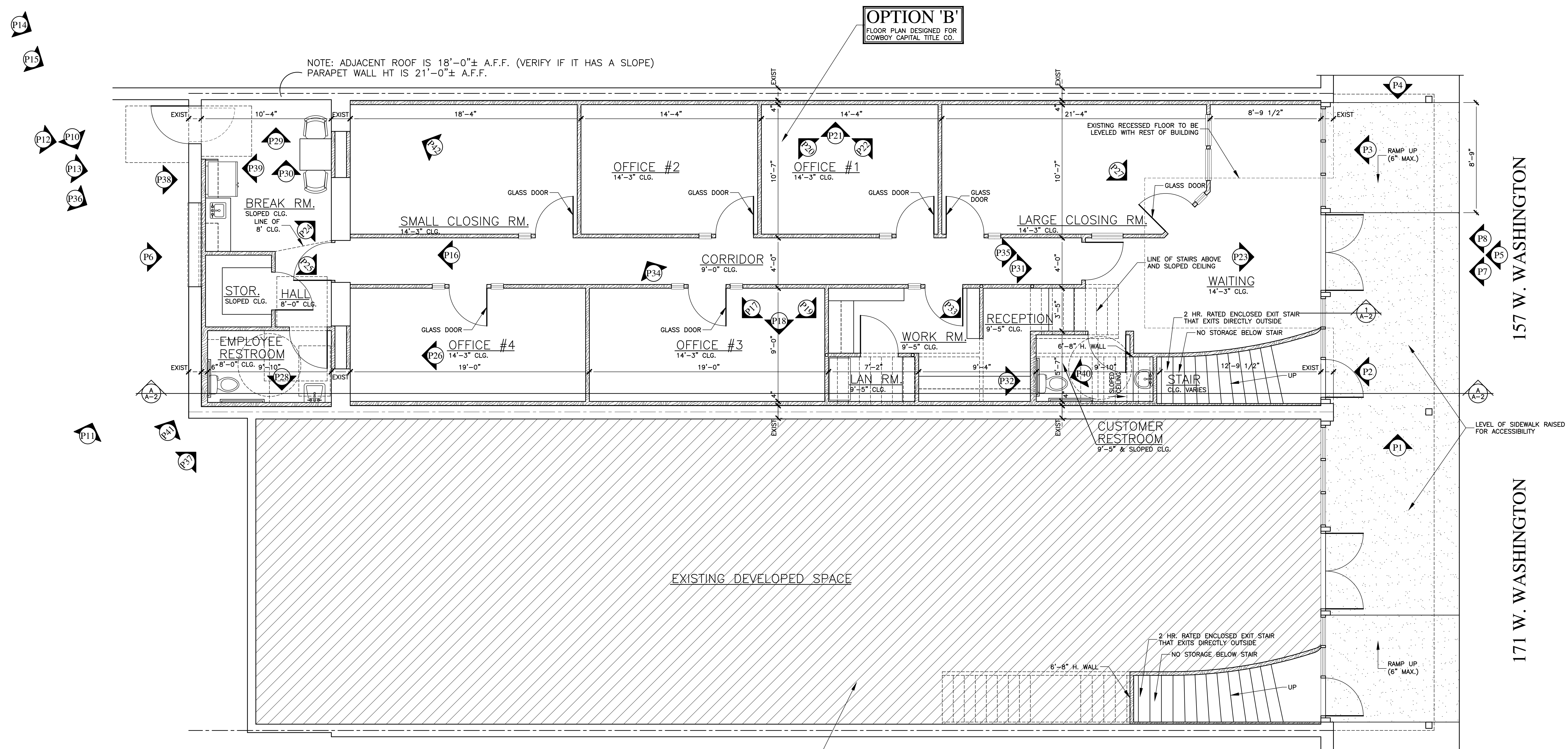
ARCHITECT JOHN G. BEVERLY  
P.O. BOX 1990 STEPHENVILLE, TEXAS 76401  
(254) 968-4211 O. (254) 396-9999 M.

DRAWINGS THIS SHEET: 1ST. FLOOR PLAN-COWBOY COUNTRY TITLE

START DATE: 4/30/18  
REVISED: 5/16/22

JOB NUMBER: 18C08  
DRAWN BY: J.G.B.

SHEET NO: A-2  
OF: .



**OPTION 'B'**  
FLOOR PLAN DESIGNED FOR  
COWBOY CAPITAL TITLE CO.

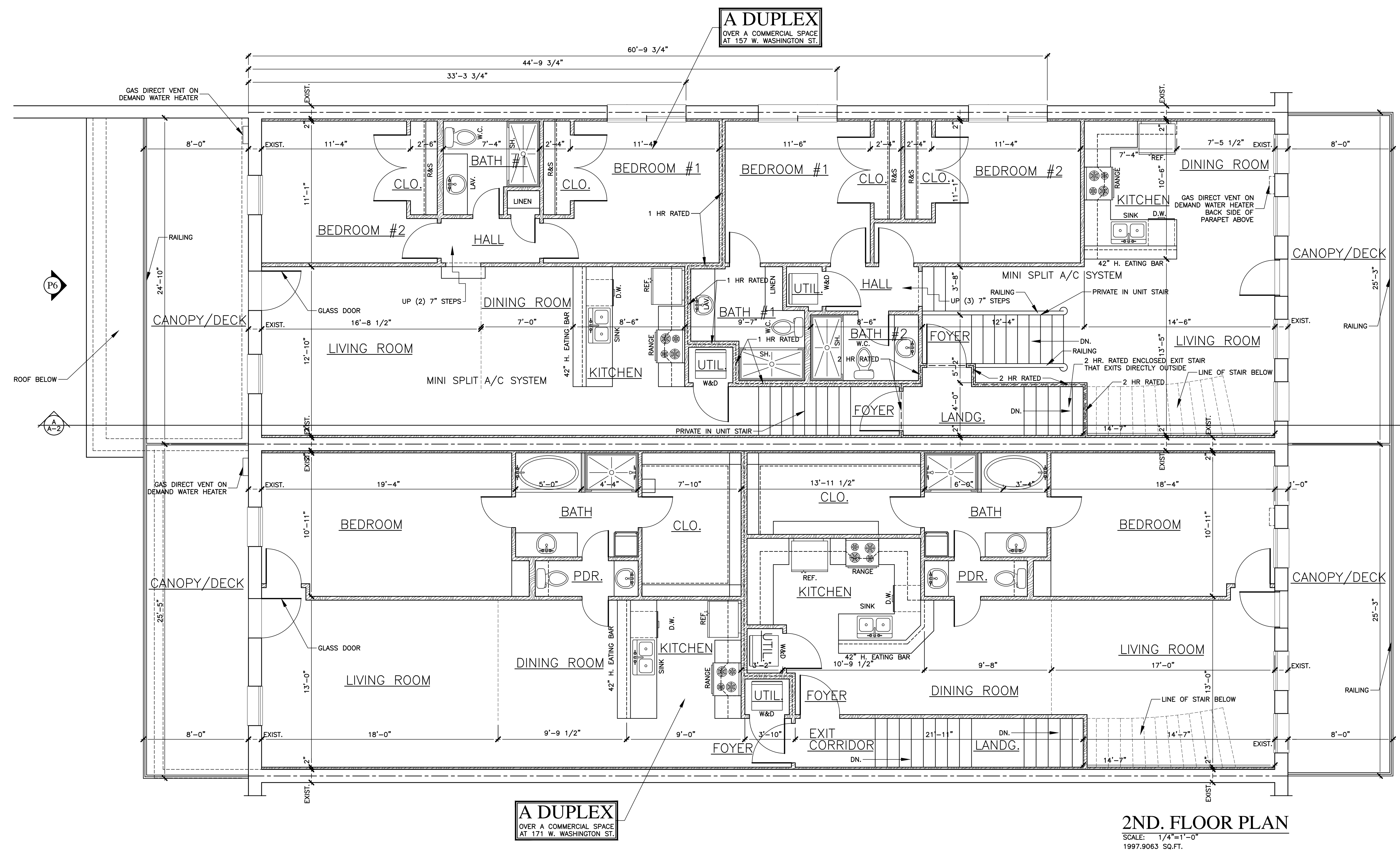
NOTE: ADJACENT ROOF IS 18'-0"± A.F.F. (VERIFY IF IT HAS A SLOPE)  
PARAPET WALL HT IS 21'-0"± A.F.F.

**EXISTING**  
TO REMAIN UNCHANGED  
EXCEPT FOR NEW STAIR

**OPTION 'B'**  
**1ST. FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
2302.3828 SQ.FT.

157 W. WASHINGTON

171 W. WASHINGTON



**2ND. FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
1997.9063 SQ.FT.

157 W. WASHINGTON

171 W. WASHINGTON

P14  
P15  
P12  
P10  
P13  
P36

P6

P9

P5

A-2

A-2

**ARCHITECT**  
DUPLICATE OVER COMMERCIAL DEVELOPMENT OF THE  
**JAKE WILSON & THEO BAUER BUILDINGS**  
STEPHENVILLE, TEXAS 76401  
john@jgarch.com

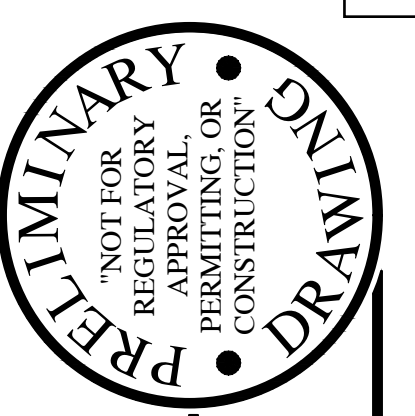
**JOHN G. BEVERLY**  
P.O. BOX 1990  
STEPHENVILLE, TEXAS 76401  
(254) 968-4211 O. (254) 396-9999 M.

**DRAWINGS THIS SHEET:**  
2ND. FLOOR PLAN

**SHEET NO.** 18C08  
**JOB NUMBER:** 18C08  
**START DATE:** 4/30/18  
**REVISED:** 5/16/22  
**DRAWN BY:** J.G.B.  
**OF . . .** A-3





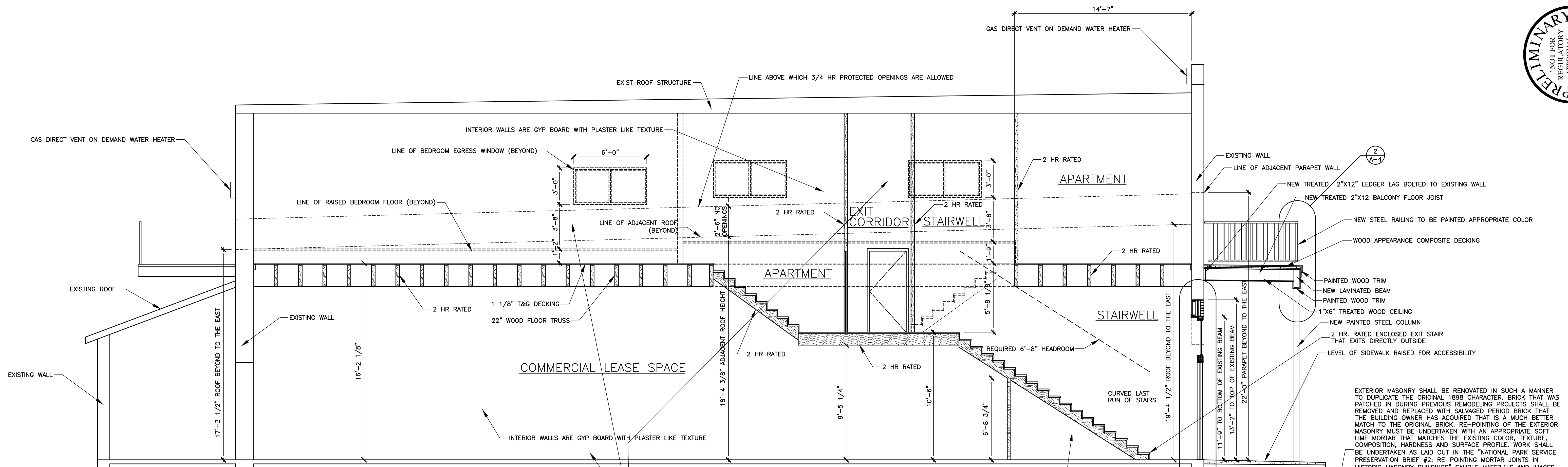
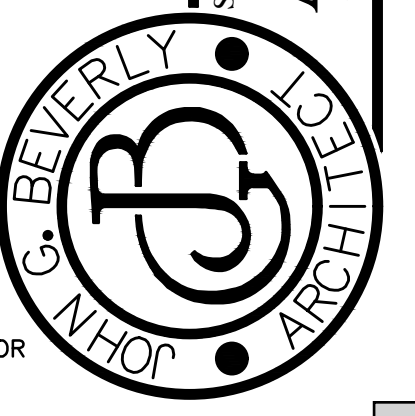


DUPLEX OVER COMMERCIAL DEVELOPMENT OF THE JAKE WILSON & THEO BAUER BUILDINGS 157 & 171 WEST WASHINGTON STREET, STEPHENVILLE, TEXAS

ARCHITECT JOHN G. BEVERLY P.O. BOX 1990 STEPHENVILLE, TEXAS 76401 (254) 968-4211 O. (254) 396-9999 M. jgib@jgibarchi.com

DRAWINGS THIS SHEET: BUILDING SECTION FRONT ELEVATION

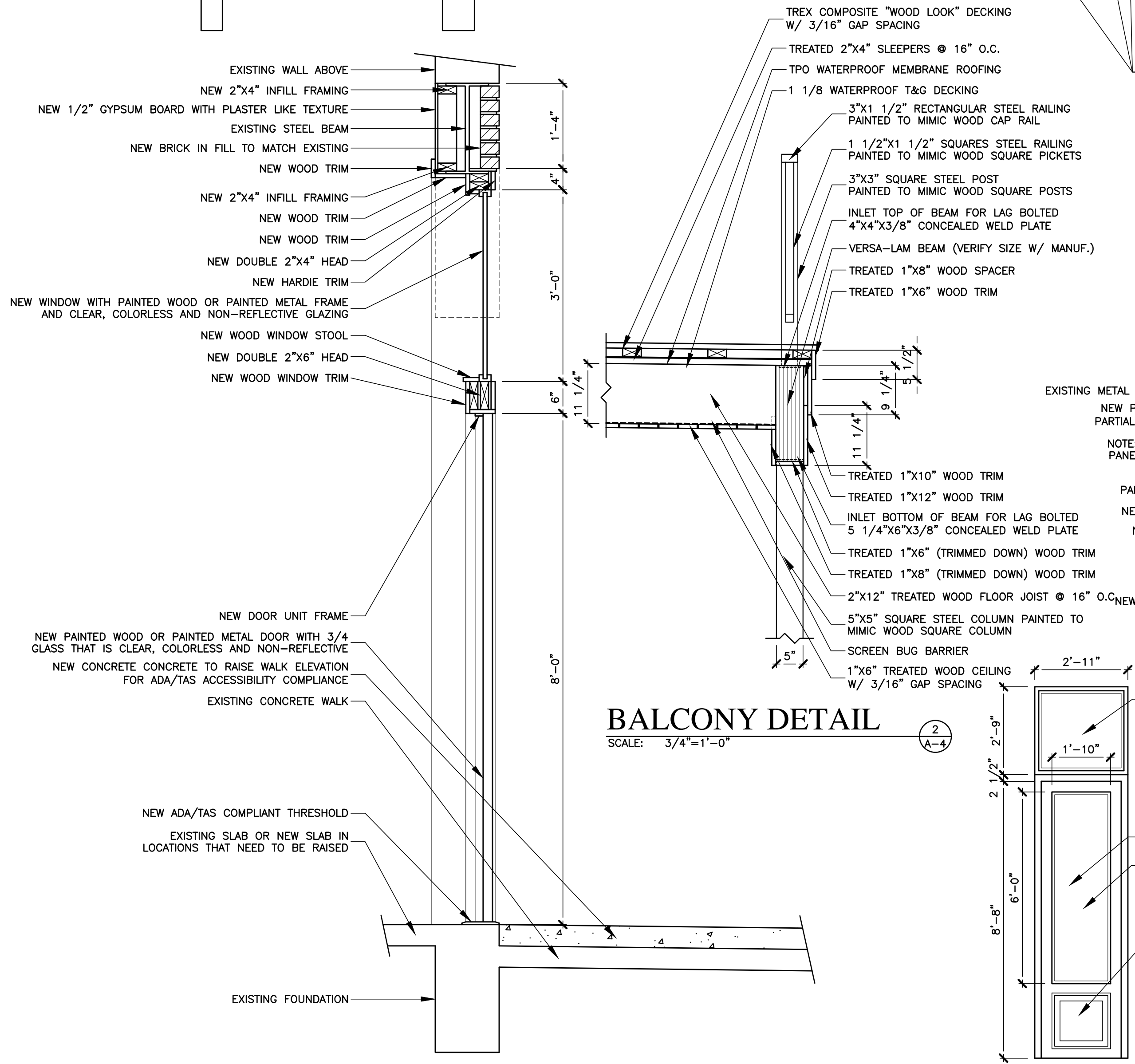
START DATE: 4/30/18 JOB NUMBER: 18C08 SHEET NO: A-4 OF: 18



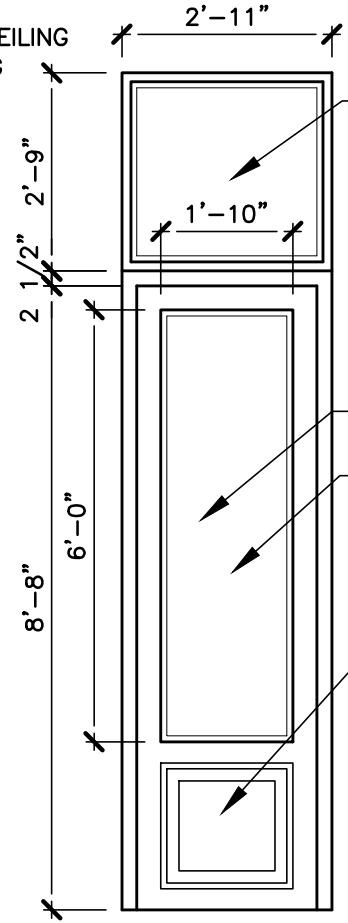
BUILDING SECTION SCALE: 1/4"=1'-0"

INTERIOR FINISHES SHALL BE, AS THE BUILDING HISTORICALLY HAD IN THE PAST. ALL SURFACES INCLUDING WALLS, CEILINGS, AND FLOORS SHALL HAVE SMOOTH FINISHES THAT CONCEAL THE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. INTERIOR WOOD TRIM INCLUDING WINDOW AND DOOR CASINGS, BASEBOARDS, CROWN MOLDING, AS WELL AS INTERIOR DOORS SHALL BE SIMPLE AND COMPATIBLE WITH THE HISTORIC BUILDING FLOORING IN THE MAIN SPACES ON THE FIRST FLOOR SHALL BE WOOD OR TILE. WOOD LOOK VINYL IS NOT ACCEPTABLE. SELECTIONS OF THE ABOVE ITEMS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. TENANT FINISH-OUT INCLUDING INTERIOR FINISH WORK AND SIGNAGE IS ALSO SUBJECT TO REVIEW AND APPROVAL WHEN A TENANT HAS BEEN SECURED. IF NO TENANT HAS BEEN SECURED, THE PROJECT MAY BE CERTIFIED IF THE SPACE HAS BEEN BROUGHT TO A BASIC "WHITE BOX" CONDITION (FINISH SURFACES, CONCEALED SYSTEMS).

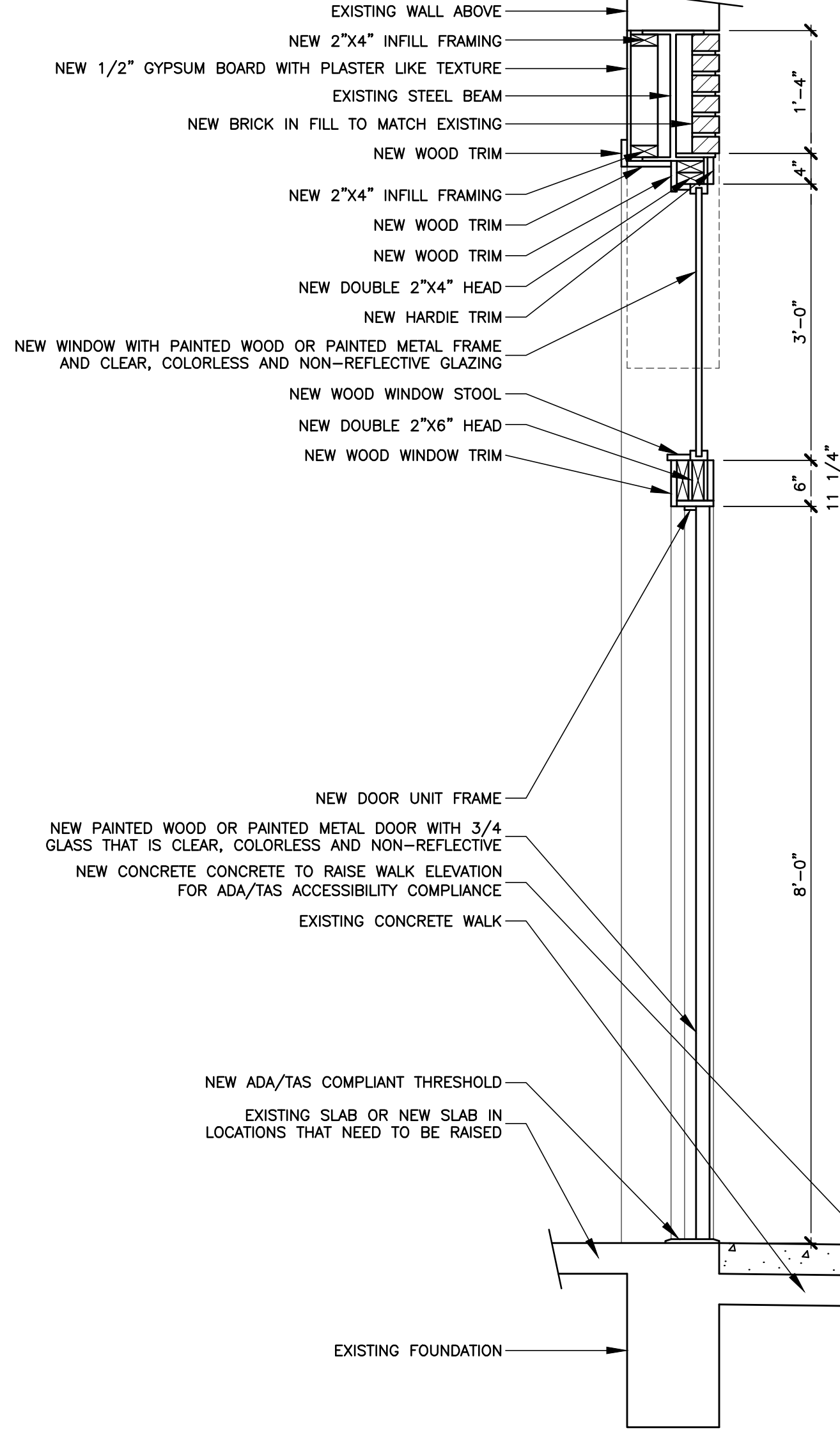
EXTERIOR MASONRY SHALL BE RENOVATED IN SUCH A MANNER TO DUPLICATE THE ORIGINAL 1898 CHARACTER. BRICK THAT WAS PATCHED IN DURING PREVIOUS REMODELING PROJECTS SHALL BE REMOVED AND REPLACED WITH SALVAGED PERIOD BRICK THAT THE BUILDING OWNER HAS ACQUIRED THAT IS A MUCH BETTER MATCH TO THE ORIGINAL BRICK. RE-POINTING OF THE EXTERIOR MASONRY MUST BE UNDERTAKEN WITH AN APPROPRIATE SOFT LIME MORTAR THAT MATCHES THE EXISTING COLOR, TEXTURE, COMPOSITION, HARDNESS AND SURFACE PROFILE. WORK SHALL BE UNDERTAKEN AS LAID OUT IN THE "NATIONAL PARK SERVICE PRESERVATION BRIEF #2: RE-POINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS" SAMPLE MATERIALS AND IMAGES OF PROPOSED WORK SHALL BE PRESENTED TO THE STATE HISTORIC PRESERVATION OFFICE FOR REVIEW BEFORE EXTENSIVE MASONRY RENOVATION IS DONE. GOOD QUALITY, CLOSE UP COLOR PHOTOS, BOTH BEFORE AND AFTER RE-POINTING AND BRICK REPLACEMENT SHALL BE TAKEN AND SUBMITTED WITH THE PART 3: REQUEST FOR CERTIFICATION OF COMPLETED WORK.



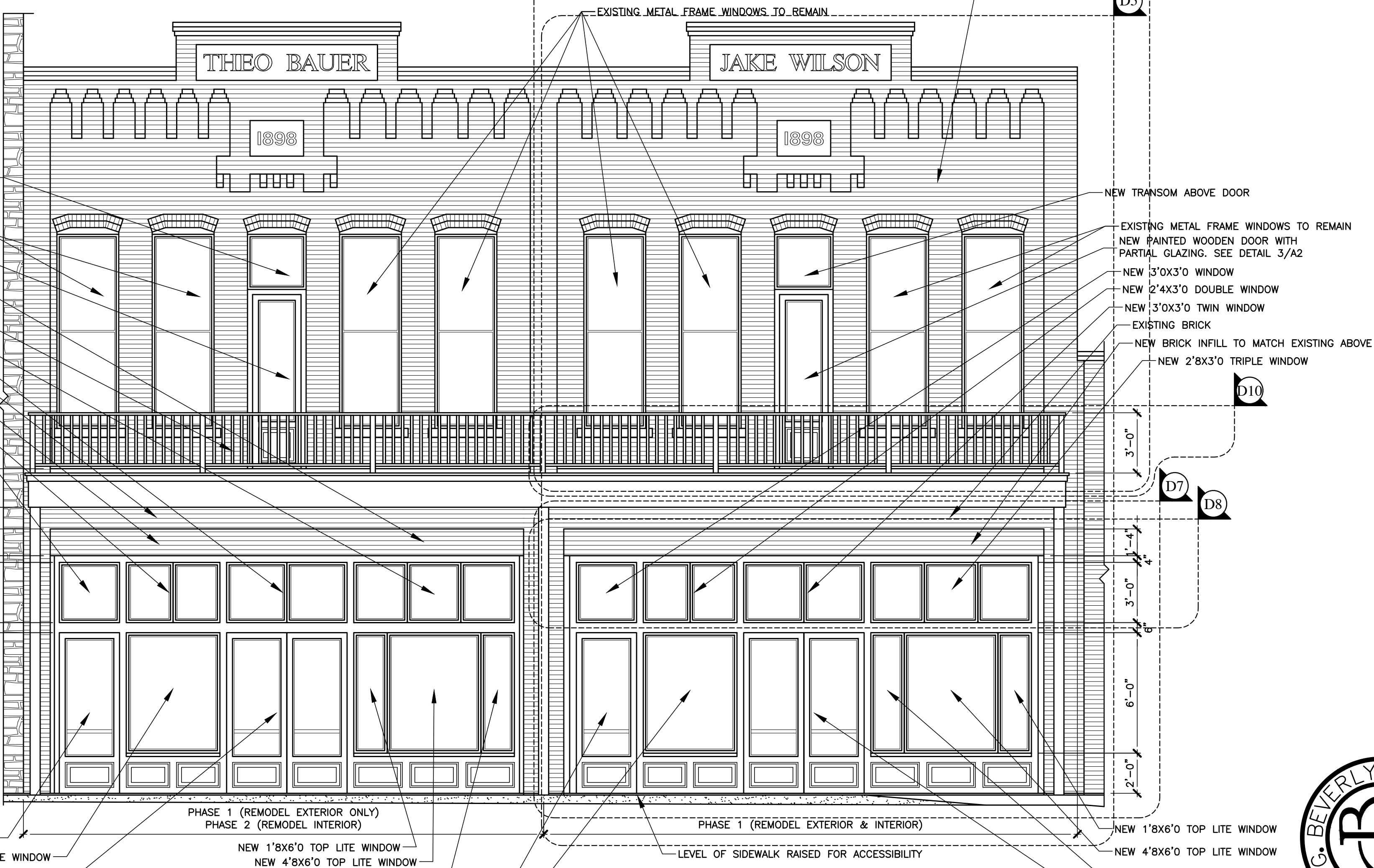
BALCONY DETAIL SCALE: 3/4"=1'-0"



DOOR DETAIL SCALE: 1/4"=1'-0"



FRONT ELEVATION SCALE: 1/4"=1'-0"



FRONT ELEVATION SCALE: 1/4"=1'-0"

PHASE 1 (REMODEL EXTERIOR ONLY) PHASE 2 (REMODEL INTERIOR)



# STAFF REPORT

**SUBJECT:** Case No.: PD2022-005

Applicant Tom Brooks, representing Covenant Legacy LLC, is requesting a rezone of property located at W FM8, Parcel R22552, of Menefee Jarrett to the City of Stephenville, Erath County, Texas, from (R-1) Single Family Residential to (PD) Planned Development. The rezone is for 7.664 acres of the 29.751 acres. The applicant will present a conceptual plan.

**DEPARTMENT:** Development Services

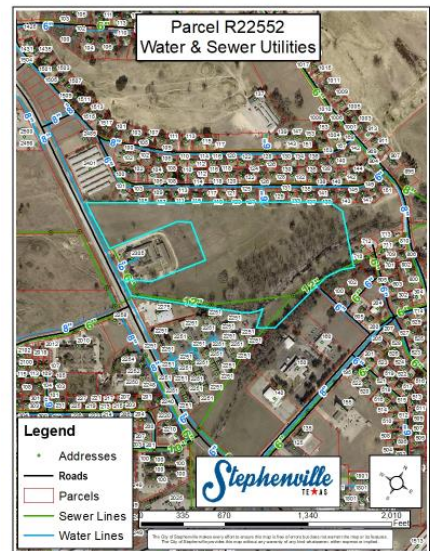
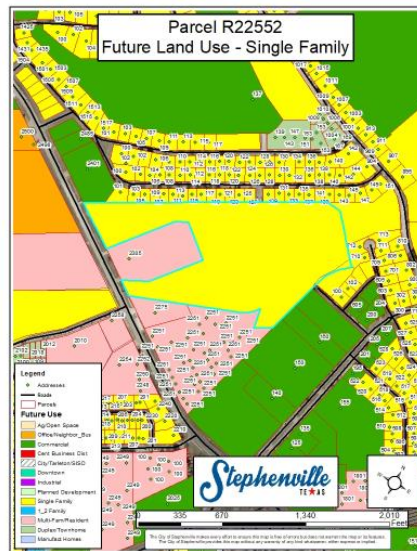
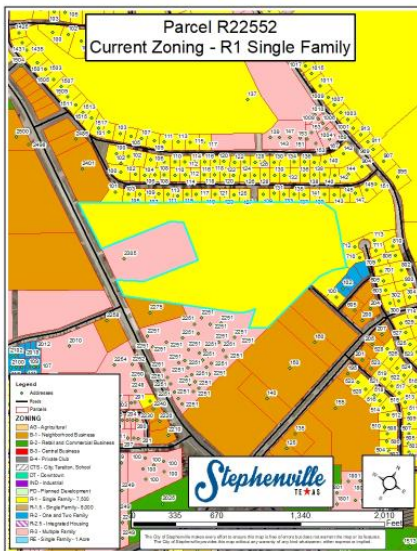
**STAFF CONTACT:** Steve Killen, Director of Development Services

**RECOMMENDATION:**

Review and make recommendations to the conceptual plan. The applicant will return for the rezone to a Planned Development District and the approval of the development plan.

**BACKGROUND:**

**PROPERTY PROFILE:**



## Sec. 154.08. Planned development district (PD).

### 8.A Description.

- (1) Planned development districts are designed for greater flexibility and discretion in the application of residential and non-residential zoning and for increased compatibility and the more effective mitigation of potentially adverse impacts on adjacent land than is possible under standard district regulations. It is recognized that it is desirable for certain areas of the city to be developed in accordance with development plans prepared and approved as a part of the ordinance authorizing the zoning necessary for the proposed development.
- (2) Improvements in a "PD" District are subject to conformance with a development plan approved by the City Council on Planning and Zoning Commission recommendation and after public hearing thereon. No development plan may increase gross density in excess of that allowed by the base district.

**8.B Permitted Uses.** In a PD Development District, no land shall be used and no building shall be installed, erected for/or converted to any use other than a hereinafter provided.

*NON-RESIDENTIAL PLANNED DEVELOPMENTS.* Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Non-residential uses are situated such that an appreciable amount of land is available for open space or joint use as parking space and is integrated throughout the planned development;
- (3) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (4) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional non-residential projects; and
- (5) The project provides a compatible transition between adjacent existing single-family residential projects and provides a compatible transition for the extension of future single-family projects into adjacent undeveloped areas.

*RESIDENTIAL PLANNED DEVELOPMENT.* Considered appropriate where the following conditions prevail:

- (1) The project utilized innovative land development concepts and is consistent with the Comprehensive Land Use plan and the goals and objectives of the city;
- (2) Dwelling units are situated such that an appreciable amount of land for open space is available and is integrated throughout the planned development;
- (3) The project utilizes an innovative approach in lot configuration and mixture of single-family housing types;
- (4) Higher densities than conventional single-family projects of the same acreage is achievable with appropriate buffering between existing conventional single-family developments and increased open space;
- (5) The site exhibits environmentally natural features which should be considered for preservation and/or enhancement;
- (6) Aesthetic amenities may be provided in the planned development design which are not economically feasible to provide in conventional single-family projects; and

- (7) The project provides a compatible transition between adjacent existing conventional single-family residential projects and provides a compatible transition for the extension of future conventional single-family projects into adjacent undeveloped areas.

#### **8.C Prohibited Uses.**

- (1) Any building erected or land used for other than the use shown on the Planned Development Site Plan, as approved by the City Council.
- (2) Any use of property that does not meet the required minimum lot size; front, side and rear yard dimensions; and/or lot width, or exceeds the maximum height, building coverage or density per gross acreage as shown in the development's recorded Planned Development Site Plan, as approved by City Council.
- (3) Any use deemed by the City Council as being detrimental to the health, safety or general welfare of the citizens of Stephenville.

**8.D Ownership.** An application for approval of a Planned Development Plan under the Planned Development District regulations may be filed by a person having legal ownership of the property to be included in the Development Plan. In order to ensure unified planning and development of the property, the applicant shall provide evidence, in form satisfactory to the City Attorney, prior to final approval of the Development Plan, that the property is held in single ownership or is under single control. Land shall be deemed to be held in single ownership or under single control if it is in joint tenancy, tenancy in common, a partnership, a trust or a joint venture. The Development Plan shall be filed in the name(s) of the record owner(s) of the property, which shall be included in the application.

#### **8.E Development Schedule.**

- (1) An application for a Planned Development District shall be accompanied by a development schedule indicating the approximate date on which construction is expected to begin and the rate of anticipated development to completion. The development schedule, adopted and approved by the City Council, shall become part of the Planned Development Ordinance and shall be adhered to by the owner, developer and their assigns of successors in interest.
- (2) Annually, upon the anniversary date, or more frequently if required, the developer shall provide a written report to the Planning and Zoning Commission concerning the actual development accomplished as compared with the development schedule.
- (3) The Planning and Zoning Commission may, if in its opinion the owner or owners of the property are failing or have failed to meet the approved development schedule, initiate proceedings to amend the Official Zoning map or the Planned Development District by removing all or part of the Planned Development District from the Official Zoning Map and placing the area involved in another appropriate zoning district. After the recommendation of the Planning and Zoning commission and for good cause shown by the owner and developer, the City Council may extend the development schedule as may be indicated by the facts and conditions of the case.

**8.F Plat Requirements.** No application for a building permit for the construction of a building or structure shall be approved unless a plat, meeting all requirement of the City of Stephenville has been approved by the City Council and recorded in the official records of Erath County.

**8.G Concept Plan.** The applicant for any PD Planned Development shall submit a concept plan to the Planning and Zoning Commission for review prior to submitting a Development Plan. The concept plan shall contain appropriate information to describe the general land use configuration, proposed densities or lot sizes, proposed amenities and proposed regulation.

**8.H Development Plan Approval Required.** No building permit or certificate of occupancy shall be issued and no use of land, buildings or structures shall be made in the "PD" District until the same has been approved as

part of a development plan in compliance with the procedures, terms and conditions of this section of the ordinance.

### 8.I Approval Procedures.

- (1) An application for development plan approval shall be filed with the Director of Community Development accompanied by a development plan.
- (2) The procedures for hearing a request for a zoning change to "PD" shall be the same as for a requested change to any other district as set forth Section 20 of the Zoning Ordinance.
- (3) Any substantive revision to a development plan between the public hearing before the Planning and Zoning Commission and the public hearing before the City Council shall necessitate the development plan being referred back to the Planning and Zoning Commission for review and evaluation unless the revision constitutes a minor change as provided below, or the change was condition of the approval.
- (4) Any revisions to the development plan after the public hearing before the City Council shall be submitted to the Director of Community Development for distribution, review and written evaluation by city staff prior to submission to and approved by the City Council.
- (5) Minor changes to an approved development plan, which will not cause any of the following circumstances to occur, may be authorized by the Director of Community Development or his or her designee:
  - (a) A change in the character of the development;
  - (b) An increase in the gross floor areas in structures;
  - (c) An increase in the intensity of use;
  - (d) A reduction in the originally approved separations between buildings;
  - (e) Any adverse changes in traffic circulation, safety, drainage and utilities;
  - (f) Any adverse changes in such external effects on adjacent property as noise, heat, light, glare, vibration, height scale or proximity;
  - (g) A reduction in the originally approved setbacks from property lines;
  - (h) An increase in ground coverage by structures;
  - (i) A reduction in the ratio of off-street parking and loading space; and
  - (j) A change in the size, height, lighting or orientation of originally approved signs.
- (6) The decision of the Director of Community Development or his or her designee as to whether minor changes are being requested may be appealed to the Planning and Zoning Commission. Any change deemed not to be minor change, as indicated above, shall be processed as a new application in accordance with the provisions of this section and Section 20.1 of the Zoning Ordinance.

**8.J Development Plan Requirements.** The development plan submitted in support of a request for development plan approval shall contain sufficient information delineating the characteristics of the site, changes in those characteristics as may be proposed by the development, how the development will relate to public services and facilities and what protection features are included to insure that the development will be compatible with existing and allowable development on adjacent property. The development plan shall show at least the following items of information:

- (1) The location of all existing and planned non-single-family structures on the subject property;
- (2) Landscaping lighting and/or fencing and/or screening of common areas;

- (3) General locations of existing tree clusters, providing average size and number and indication of species;
- (4) Location and detail of perimeter fencing if applicable;
- (5) General description/location of ingress and egress with description of special pavement treatment if proposed;
- (6) Off-street parking and loading facilities, and calculations showing how the quantities were obtained for all non single-family purposes;
- (7) Height of all non-single-family structures;
- (8) Proposed uses;
- (9) Location and description of subdivision signage and landscaping at entrance areas;
- (10) Street names on proposed streets;
- (11) Proposed minimum area regulations including, set-backs, lot-sizes, widths, depths, side-yards, square footage or residential structures;
- (12) Indication of all development phasing and platting limits; and
- (13) Such additional terms and conditions, including design standards, as the Planning and Zoning Commission and the City Council deem necessary.

#### **8.K Conditions for Development Plan Approval.**

- (1) A development plan shall be approved only if all of the following conditions have been found during the review and process:
  - (a) That the uses will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values with the immediate vicinity;
  - (b) That the establishment of the use or uses will not impede the normal and orderly development and improvements of surrounding vacant property;
  - (c) That adequate utilities, access roads, drainage and other necessary supporting facilities have been or will be provided;
  - (d) That the design, location and arrangement of all driveways and parking spaces provides for the safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
  - (e) That adequate nuisance prevention measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration;
  - (f) That directional lighting will be provided so as not to disturb or adversely affect neighboring properties.
- (2) In approving a development plan, the City Council may impose additional conditions necessary to protect the public interest and welfare of the community.

**8.L Additional Conditions.** Every Planned Development District approved under the provisions of this Ordinance shall be considered as an amendment to the Ordinance as applicable to the property involved. In an approved Planned Development District, the City Council may impose conditions relative to the standard of development, and such conditions shall be complied with before a certificate of occupancy is issued for the use of the land or any structure which is part of the Planned Development District; and such condition shall not be construed as conditions precedent to the approval of the zoning amendment, but shall be constructed as conditions precedent to the granting of a certificate of occupancy.

#### **8.M Revocation.**

- (1) Approval of a development plan may be revoked or modified, after notice and hearing, for either of the following reasons:
  - (a) Approval was obtained or extended by fraud or deception; or
  - (b) That one or more of the conditions imposed by the City Council on the development plan has not been met or has been violated.
- (2) Development controls:
  - (a) The City Council may impose more restrictive requirements than those proposed in the development plan in order to minimize incompatibilities;
  - (b) A "PD" District shall have a minimum lot area of not less than one acre under unified control;
  - (c) The parking requirements of the Zoning Ordinance shall apply to all uses in the "PD" District unless otherwise specified on the development plan; and
  - (d) "PD" provisions may vary setbacks with approval.

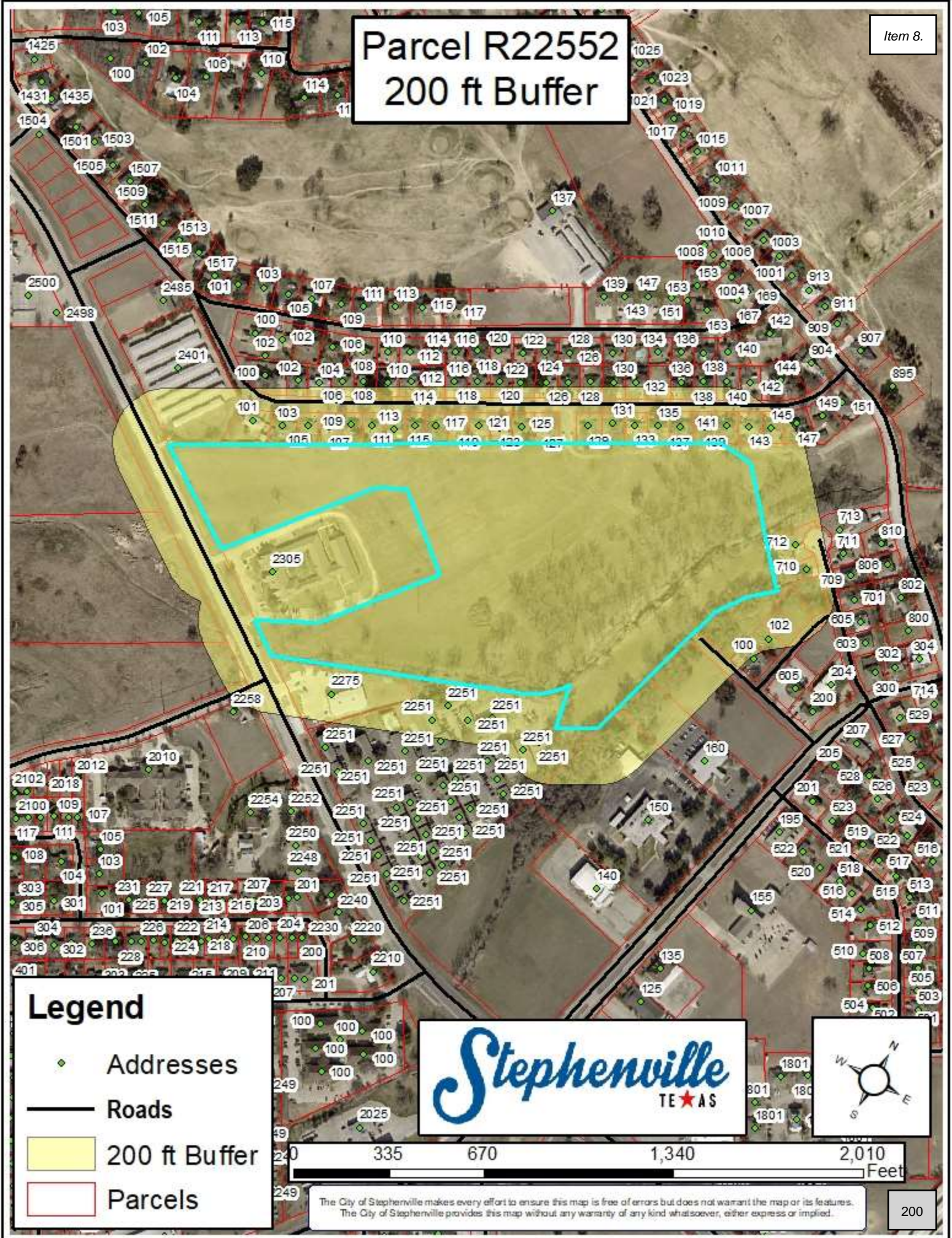
**FACTORS TO CONSIDER:**

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel – is land large enough and in property location for proposed use?
- Reasonable Use of Property – does proposed change provide reasonable use of property?
- Zoning has great discretion – deny if applicant has not proven it is in the best interest of City to approve

**ALTERNATIVES:**

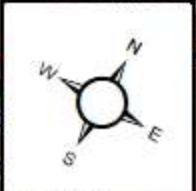
- 1) Accept the Conceptual Plan as presented.
- 2) Make recommendations to the applicant in regards to the development plan.

# Parcel R22552 200 ft Buffer



**Legend**

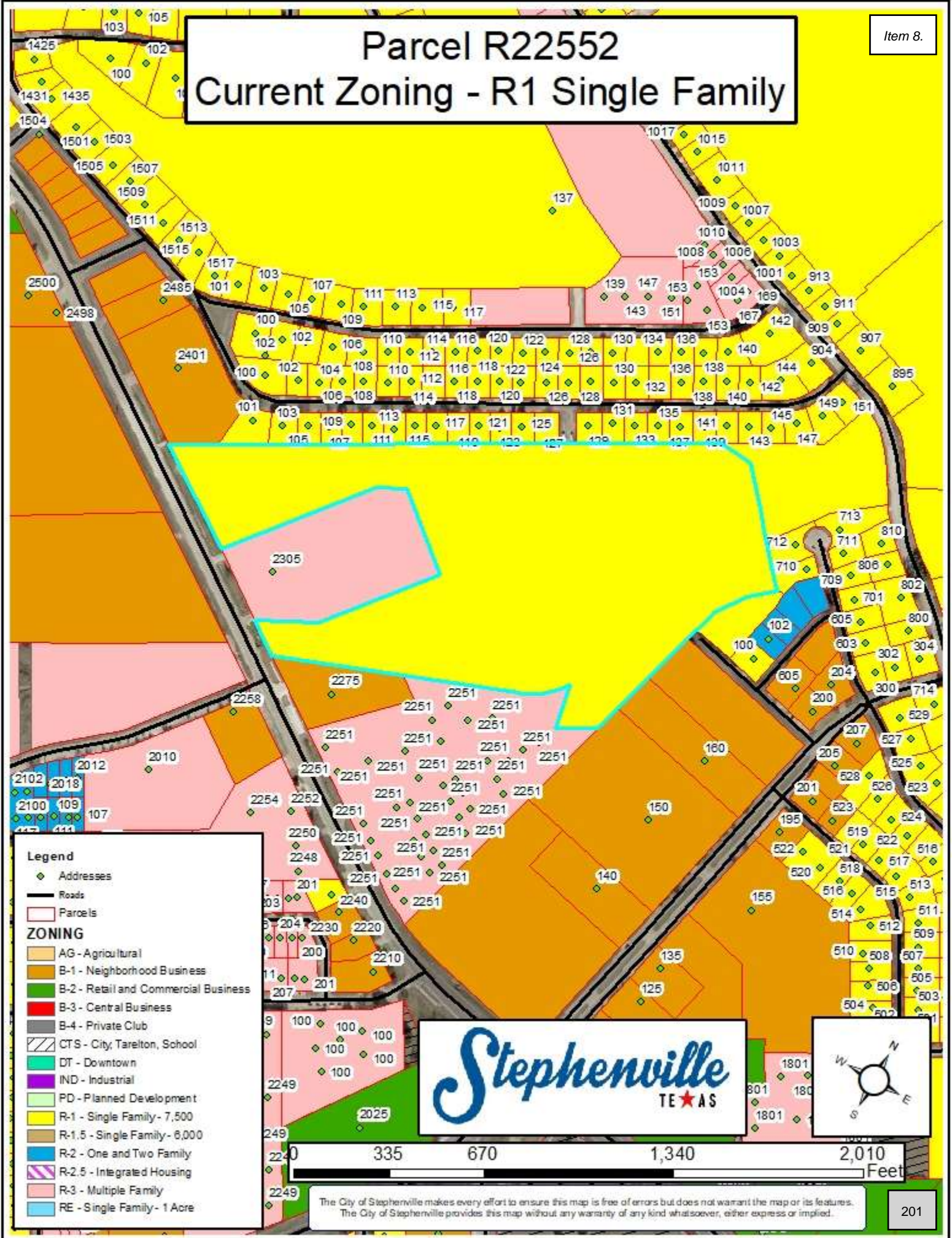
- ◆ Addresses
- Roads
- 200 ft Buffer
- Parcels



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.



# Parcel R22552 Current Zoning - R1 Single Family

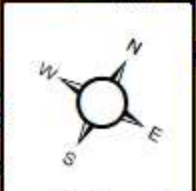


**Legend**

- ◆ Addresses
- Roads
- ▭ Parcels

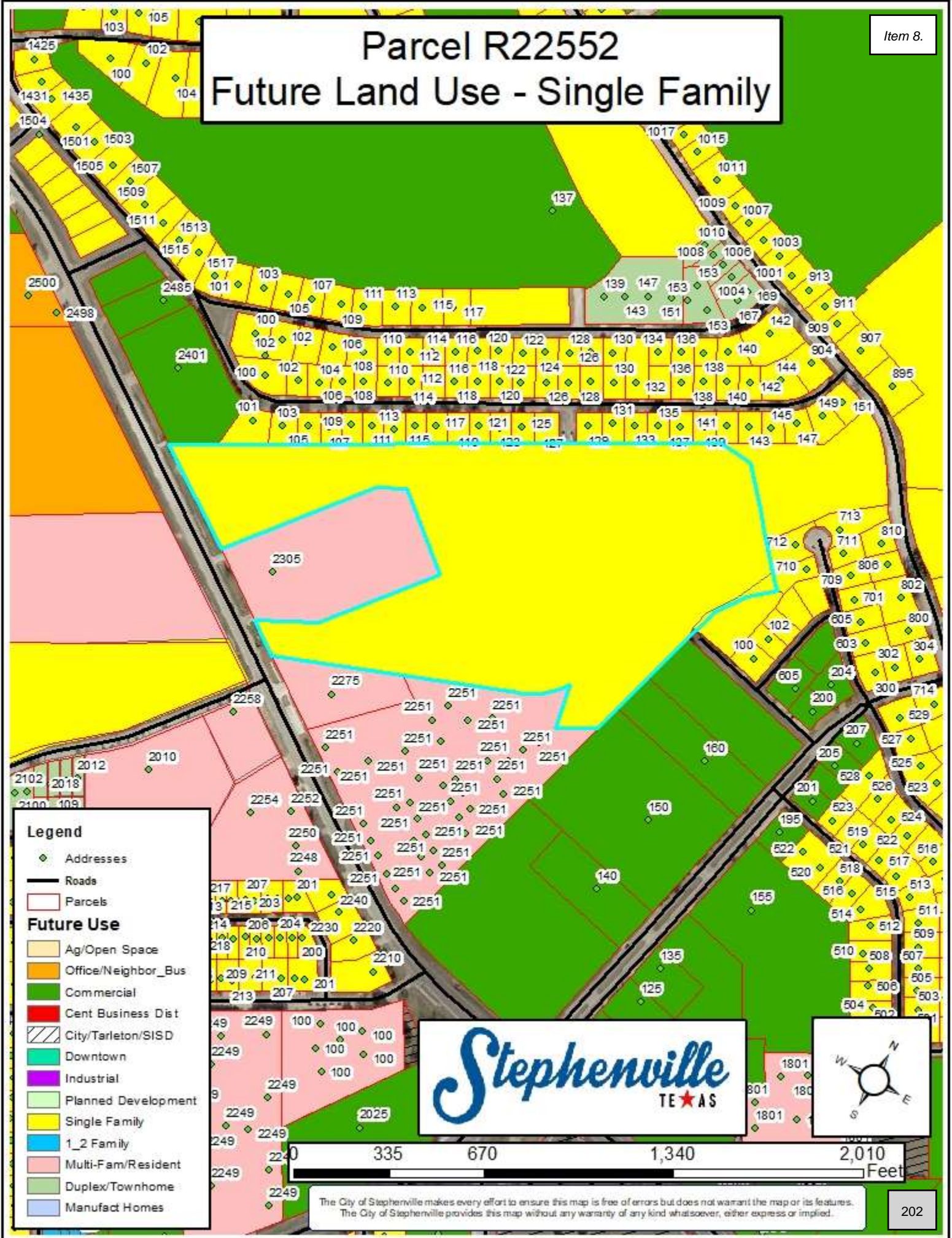
**ZONING**

- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tarelton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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# Parcel R22552 Future Land Use - Single Family



**Legend**

- Addresses
- Roads
- Parcels

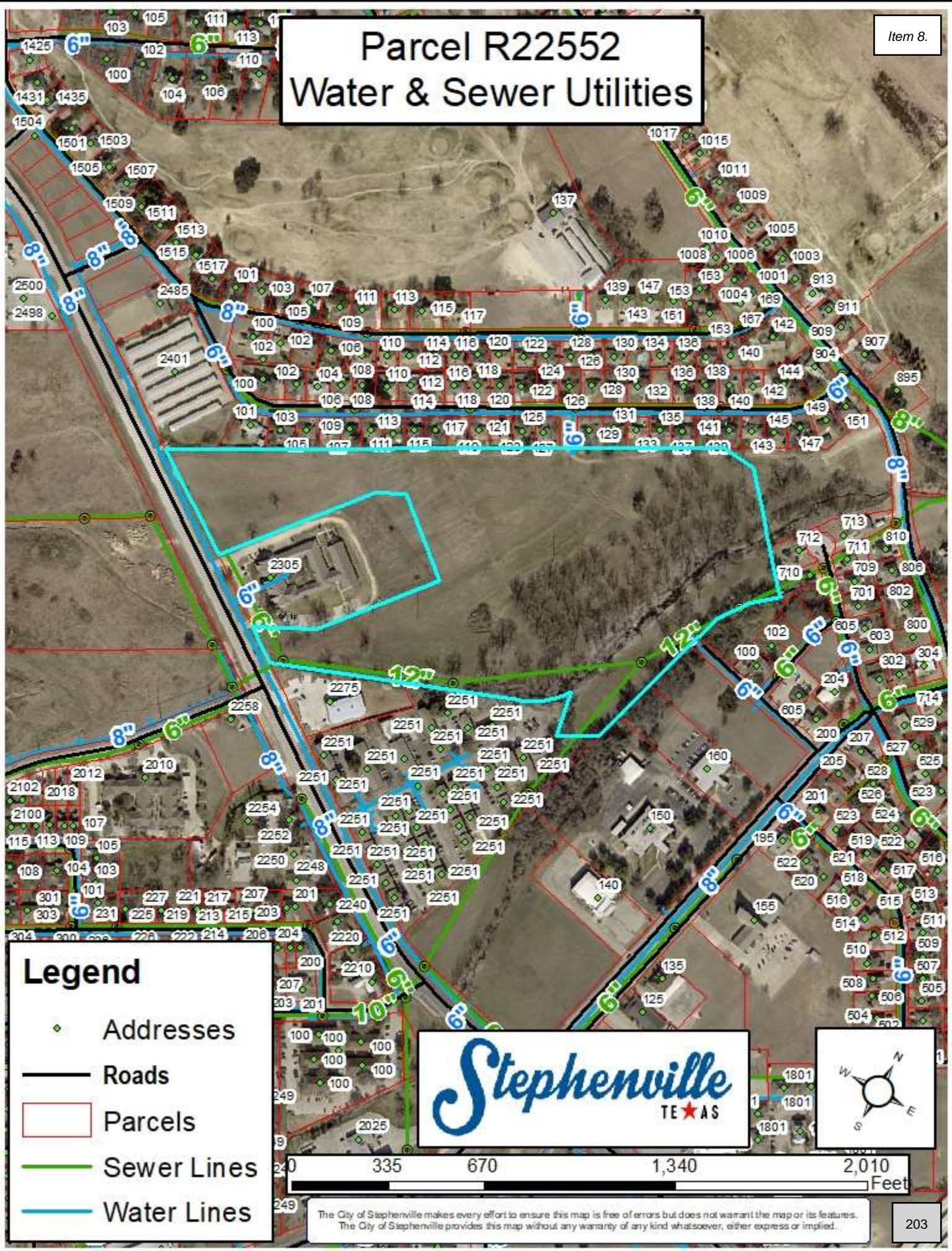
**Future Use**

- Ag/Open Space
- Office/Neighbor\_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1\_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



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# Parcel R22552 Water & Sewer Utilities



**Legend**

- ◆ Addresses
- Roads
- Parcels
- Sewer Lines
- Water Lines



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

## Parcel R22552 Address List

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000042841	117 BLUE JAY	ALLEN CALEB VAN & KRISTY RAE	117 BLUE JAY	STEPHENVILLE	TX	76401-5922
R000063775	0 GOOD TREE	ALLEN REAL PROPERTIES LTD	PO BOX 953	STEPHENVILLE	TX	76401
R000063790	0 GOOD TREE	ALLEN REAL PROPERTIES LTD	PO BOX 953	STEPHENVILLE	TX	76401
R000022557	0 W LINGLEVILLE RD	ALLEN REAL PROPERTIES LTD	PO BOX 953	STEPHENVILLE	TX	76401
R000031773	2401 W LINGLEVILLE RD	BACHUS JAMES O FAMILY TRUST	PO BOX 552	STEPHENVILLE	TX	76401-0552
R000042825	130 BLUE JAY	BASHAM JOSHUAH THOMAS & RACHEAL JANINE BASHAM	130 BLUE JAY	STEPHENVILLE	TX	76401
R000075582	712 SPRING MEADOW	BOSWELL RODNEY W & MELISSA J	712 SPRING MEADOW	STEPHENVILLE	TX	76401
R000042813	106 BLUE JAY	BOYLES PAMELA J	106 BLUE JAY	STEPHENVILLE	TX	76401
R000042835	101 BLUE JAY	BUCHER JAMES M & JANE E	101 BLUE JAY	STEPHENVILLE	TX	76401-5922
R000042819	118 BLUE JAY	CARLSON NORMAN E & BEVERLY A	118 BLUE JAY	STEPHENVILLE	TX	76401-0000
R000033190	0 RIVER NORTH BLVD	CEDARS NATHAN ET AL	1826 CR393	STEPHENVILLE	TX	76401-0000
R000042824	128 BLUE JAY	CHESTER CAROLE S	128 BLUEJAY	STEPHENVILLE	TX	76401
R000063792	0 GOOD TREE	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000042820		CONFIDENTIAL				
R000042848		CONFIDENTIAL				
R000042837	105 BLUE JAY	CORTA DOROTHY J & PETER J	105 BLUE JAY DR	STEPHENVILLE	TX	76401
R000022552	0 W FM8	COVENANT LEGACY LLP	2915 W WASHINGTON	STEPHENVILLE	TX	76401
R000062664	0 ADOBE DR	CROSS TIMBERS FINE ARTS COUNCIL INC	PO BOX 1172	STEPHENVILLE	TX	76401
R000042811	102 BLUE JAY	DAVIDSON DEL & JULIE	102 BLUE JAY	STEPHENVILLE	TX	76401
R000042822	124 BLUE JAY	DICKERSON SHERRY	124 BLUE JAY	STEPHENVILLE	TX	76401
R000042814	108 BLUE JAY	DREW VALERIE J	109 GREENVIEW DR	STEPHENVILLE	TX	76401
R000041984	137 BLUE JAY	DUKE DEBORAH P	137 BLUE JAY	STEPHENVILLE	TX	76401
R000041986	141 BLUE JAY	EILAND EDDIE & JAN	21160 S FM219	DUBLIN	TX	76446
R000042847	129 BLUE JAY	EMMONS JOSH & ASHTON	129 BLUE JAY	STEPHENVILLE	TX	76401
R000033179	102 ADOBE DR	EQUITY CRP, LP	PO BOX 953	STEPHENVILLE	TX	76401
R000033180	104 ADOBE DR	EQUITY CRP, LP	PO BOX 953	STEPHENVILLE	TX	76401
R000033181	106 ADOBE DR	EQUITY CRP, LP	PO BOX 953	STEPHENVILLE	TX	76401
R000033182	108 ADOBE DR	EQUITY CRP, LP	PO BOX 953	STEPHENVILLE	TX	76401
R000042845	125 BLUE JAY	EVANS DONALD R LIVING TRUST	PO BOX 372	BLUFF DALE	TX	76433
R000063739	2305 W LINGLEVILLE RD	FRONTIER EXCHANGE LANDLORD GROUP LLC	4500 DORR ST	TOLEDO	OH	43615
R000042851	145 BLUE JAY	GARCIA LARAE & LOUIS GARCIA	145 BLUE JAY	STEPHENVILLE	TX	76401
R000042828	136 BLUE JAY	GARNER GAYLA BOTTLINGER	136 BLUE JAY	STEPHENVILLE	TX	76401
R000066982	2275 W LINGLEVILLE RD	GREATER GOOD X LLC	3195 S ACCESS RD	ENGLEWOOD	FL	34224
R000042823	126 BLUE JAY	GRESHAM JOHN H	PO BOX 1	BLUFF DALE	TX	76433
R000042836	103 BLUE JAY	GRIMMER AARON & NIKOLE	103 BLUE JAY	STEPHENVILLE	TX	76401
R000074582	713 SPRING MEADOW	GUISE DAVID LLOYD & BRENDA SUE	713 SPRING MEADOW ST	STEPHENVILLE	TX	76401-1843
R000042826	132 BLUE JAY	HAYES WAYNE LEROY	PO BOX 2410	STEPHENVILLE	TX	76401
R000042831	142 BLUE JAY	HENDON DAVE W & DIXIE L	142 BLUE JAY	STEPHENVILLE	TX	76401
R000042821	122 BLUE JAY	HENDRICKS KATHRYN J	122 BLUE JAY	STEPHENVILLE	TX	76401
R000042817	114 BLUE JAY	HILL CHARLES A & SANDRA K	114 BLUE JAY	STEPHENVILLE	TX	76401
R000042842	119 BLUE JAY	HIVELY CHRISTOPHER J & KIMBERLEE M HIVELY	12454 DAPPLE DR	RANCHO CUCAMONGA	CA	91739
R000042812	104 BLUE JAY	HODGES BILLY BOB & DONNA & HOLLY HODGES	18402 SHALLOW OAK CT	TOMBALL	TX	77377
R000042816	112 BLUE JAY	HODGES TERRY GLEN & REBECCA	112 BLUE JAY	STEPHENVILLE	TX	76401-0000
R000041981	107 BLUE JAY	HOLLOWAY LIVING TRUST	107 BLUE JAY ST	STEPHENVILLE	TX	76401
R000041982	109 BLUE JAY	HOWARD NETA FAYE (LIFE ESTATE)	109 BLUE JAY	STEPHENVILLE	TX	76401
R000022664	0 W LINGLEVILLE RD	IP KAM WOON	PO BOX 192	STEPHENVILLE	TX	76401-0000
R000042840	115 BLUE JAY	JAMES CAVIN & STACEY SHARON NOLAND (JAMES)	115 BLUE JAY	STEPHENVILLE	TX	76401
R000042849	133 BLUE JAY	JOHNSON DAVID HUNTER	1600 SUNSET DRIVE	MARBLE FALLS	TX	78654
R000042829	138 BLUE JAY	JONES GWINDA L	PO BOX 1979	STEPHENVILLE	TX	76401
R000041983	111 BLUE JAY	KAISER MARK A & KIMBERLY	111 BLUE JAY DR	STEPHENVILLE	TX	76401-0000
R000041985	139 BLUE JAY	KDH RENTALS LLC	1610 W CEDAR ST	STEPHENVILLE	TX	76401
R000041978	100 BLUE JAY	KOPLIN JEFFREY & LESLI KOPLIN	PO BOX 993	STEPHENVILLE	TX	76401
R000042827	134 BLUE JAY	LAKE GRANBURY DEVELOPERS LP	3080 W WASHINGTON ST	STEPHENVILLE	TX	76401-3728
R000031784	0 PRAIRIE WIND	LAKE GRANBURY DEVELOPERS LP	PO BOX 2579	STEPHENVILLE	TX	76401
R000042320	143 BLUE JAY	MCDANEL RUSSELL EDWARD	PO BOX 974	STEPHENVILLE	TX	76401-0000
R000033177	703 VANTAGE DR	MCDONALD & BACHUS FAMILY TRUSTS	PO BOX 552	STEPHENVILLE	TX	76401-0552
R000042838	113 BLUE JAY	MOSES COREY & KATHRYN	113 BLUE JAY	STEPHENVILLE	TX	76401
R000042844	123 BLUE JAY	PLANNERS EQUITY LP	181 S GRAHAM	STEPHENVILLE	TX	76401
R000042830	140 BLUE JAY	PLANNERS EQUITY LP	181 S GRAHAM	STEPHENVILLE	TX	76401
R000042349	147 BLUE JAY	REAGAN JACK & SHEILA	147 BLUE JAY ST	STEPHENVILLE	TX	76401-5926
R000042818	116 BLUE JAY	SMITH RANDY & KELLY	116 BLUE JAY	STEPHENVILLE	TX	76401-0000
R000042850	135 BLUE JAY	STEPHENSON JAMES HERRING	135 BLUE JAY ST	STEPHENVILLE	TX	76401
R000033191	150 RIVER NORTH BLVD	STEPHENVILLE MED DEV CO	BOX 1317	STEPHENVILLE	TX	76401-0000
R000065896	160 RIVER NORTH BLVD	STEPHENVILLE MED DEV CO #3	150 RIVER NORTH BLVD	STEPHENVILLE	TX	76401
R000042843	121 BLUE JAY	STEPHENVILLE RENTALS LLC	181 S GRAHAM	STEPHENVILLE	TX	76401
R000033178	100 ADOBE DR	TERRY VETERANS TRUST	100 ADOBE DR	STEPHENVILLE	TX	76401
R000042846	127 BLUE JAY	TRAINHAM SUSAN	PO BOX 139	LINGLEVILLE	TX	76461
R000042815	110 BLUE JAY	TROTTER MABEL L	126 BEN HOGAN DR	STEPHENVILLE	TX	76401-5915
R000014951	2251 W LINGLEVILLE RD	WINDMASS VILLIAGE III PORTFOLIO OWNER LLC	100 CRESCENT CT, SUITE 270	DALLAS	TX	75201
R000066710	710 SPRING MEADOW	WOOTAN GARY MARK	710 SPRING MEADOW ST	STEPHENVILLE	TX	76401

Document No. 2009-04635

DEED

Parties: BROOKS TOM J  
to  
COVENANT LEGACY LLP

FILED AND RECORDED  
REAL RECORDS  
On: 10/13/2009 at 02:04 PM

Document Number: 2009-04635  
Receipt No. 7472  
Amount: \$28.00

By: gallen  
Gwinda Jones, County Clerk  
Erath County, Texas

5 Pages



STATE OF TEXAS  
County of Erath

I hereby certify that this instrument was filed on the date and time stamped hereon by me and was duly recorded under the Document Number stamped hereon of the Official Public Records of Erath County.

Gwinda Jones, County Clerk

Record and Return To:  
KING ABSTRACT COMPANY



NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

**WARRANTY DEED**

**GF:** 09-22846  
**DATE:** October 13, 2009  
**GRANTOR:** Tom J. Brooks  
**GRANTEE:** Covenant Legacy, LLP

**GRANTEE'S MAILING ADDRESS:** 2915 W Washington, Stephenville, Texas 76401

**CONSIDERATION:** TEN AND NO/100 DOLLARS and other valuable consideration to the undersigned paid by the grantee herein named, the receipt of which is hereby acknowledged and for which no liens, either express or implied, are retained against the property.

**PROPERTY (including any improvements):**

All that certain 37.34 acre tract of land, being part of the Jarrett Menafee Survey, Abstract No. 50 in the City of Stephenville, Erath County, Texas and being more fully described in Exhibit A attached hereto and fully incorporated herein for all purposes.

**RESERVATIONS FROM AND EXCEPTIONS TO CONVEYANCE AND WARRANTY:**

Easements, rights-of-way, and prescriptive rights, whether of record or not; all presently recorded restrictions, reservations, covenants, conditions, oil and gas leases, mineral severance, and other instruments, other than liens and conveyances, that affect the property; rights of adjoining owners in any walls and fences situated on a common boundary; any discrepancies, conflicts, or shortages in area or boundary lines; any encroachments or overlapping of improvements.

Grantor, for the consideration and subject to the reservations from and exceptions to conveyance and warranty, grants, sells, and conveys to Grantee the property, together with all and singular the rights and appurtenances thereto in any wise belonging, to have and hold it to Grantee, Grantee's heirs, executors, administrators, successors, or assigns forever. Grantor hereby binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the property to Grantee and Grantee's heirs, executors, administrators, successors and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the reservations from and exceptions to warranty.

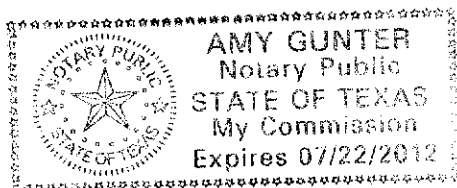
When the context requires, singular nouns and pronouns include the plural.

  
**TOM J BROOKS**

**ACKNOWLEDGMENT**

STATE OF TEXAS       §  
COUNTY OF ERATH   §

This instrument was acknowledged before me on the 13<sup>th</sup> day of October, 2009, by Tom J Brooks.



Amy Gunter  
Notary Public, State of Texas

**NOTICE**

This instrument has been prepared solely from information and on instructions furnished by our client. No title opinion or other title evidence has been furnished to us in connection with its preparation.

**William H. Oxford, Attorney**

**PREPARED IN THE LAW OFFICE OF:**  
William H. Oxford  
159 South Graham  
Stephenville, Texas 76401

**AFTER RECORDING RETURN TO:**  
King Abstract Company  
159 South Graham  
Stephenville, Texas 76401

## EXHIBIT "A"

All that certain 37.34 acre tract of land, being part of the Jarrett Menefee Survey, Abstract No. 520, in the City of Stephenville, Erath County, Texas, being part of that certain 39.40 acre tract of land described as Tract II in Substitute Trustee's Deed from Rebecca S. Ragsdale, Substitute Trustee to Amwest Savings Association, dated November 6, 1990 and recorded in Volume 808, Page 107 of the Deed Records of Erath County, Texas, including all of Lots 1 and 2 of Block 7 of the Oak Tree Addition, Phase IV to the City of Stephenville as shown on a plat thereof recorded in Cabinet A, Slide 185 of the Plat Records of Erath County, Texas and described as follows: BEGINNING at an iron rod set in the present northeast right of way line of Farm Road No. 8 (Ungleville Highway), being the SW corner of Lot 1 and the most westerly NW corner of Lot 3 of Block 7 of the Oak Tree Addition, Phase IV, for the SW corner of this tract;

THENCE N 55° 25' 37" W along the present northeast right of way line of Farm Road No. 8, passing the NW corner of Lot 1 and the SW corner of Lot 2, passing the NW corner of said Lot 2, containing in all 1128.82' to an iron rod set at the NW corner of said 39.40 acre tract, being the SW corner of Lot 1 of Block 15 of Golf Country Addition to the City of Stephenville as shown on a plat recorded in Volume 2, Page 7 of the Plat Records of Erath County, Texas, for the NW corner of this tract;

THENCE N 60° 08' 53" E, 180.90' to an iron rod found at the SE corner of said Lot 1 of Block 15, and the SW corner of Lot 1 of Block 2 of the Oak Tree Addition to the City of Stephenville as shown on a plat thereof recorded in Volume 2, Page 71 of the Plat Records of Erath County, Texas, for a corner of this tract;

THENCE N 60° 39' 31" E along the south lines of Block 2 and 3 of the Oak Tree Addition, 1777.98' to an iron rod set at the most northerly corner of said 39.40 acre tract, for the most northerly corner of this tract;

THENCE along the northeast lines of said 39.40 acre tract as follows, S 86° 07' 35" E, 122.10' to an iron rod set and S 42° 01' 08" E, 452.12' to an iron rod set at the most easterly corner of said 39.40 acre tract and a corner of Lot 1 of Block 18 of the River North Phase II Addition to the City of Stephenville, Erath County, Texas, for the most easterly corner of this tract;

THENCE along a fence line along the east line of said 39.40 acre tract and west lines of Block 18 and Block 20 of the River North Addition Phase II as follows, S 50° 21' 43" W, 116.96' to an iron spike found in a post oak tree fence corner, S 33° 38' 25" W, 130.51' to an iron rod set, S 09° 45' W, 32.60' to an iron spike found in an elm tree fence corner, S 17° 32' 48" W, 68.69' to an iron spike found in a hackberry tree fence corner and S 14° 15' 36" W, 477.72' to an iron rod found at the most easterly NE corner of Lot 3 of Block 7 of the Oak Tree Addition Phase IV, for a corner of this tract;

THENCE S 59° 59' 59" W along the south line of the Jarrett Menefee Survey, 152.28' to an iron rod found at an inner corner of said Lot 3, for a corner of this tract;

THENCE N 10° 33' 02" W, 162.97' to an iron rod set at the most northerly NE corner of Lot 3, for a corner of this tract;

TJB



THENCE along the north line of said Lot 3 as follows, being along a curve to the right, radius = 314.65', long chord = S 51° 22' 22" W, 187.19' along a curve distance of 190.06' to an iron rod found at the end of said curve, and S 68° 40' 40" W, 411.77' to an iron rod found at the most easterly NW corner of Lot 3 and the NE corner of Lot 2 of said Block 7, for a corner of this tract; THENCE S 55° 18' 27" E, 207.65' to an iron rod found at an inner corner of Lot 3 and the SE corner of Lot 2, for a corner of this tract;

THENCE along the common lines of Lot 3, Block 7 and Lots 1 and 2, Block 7, as follows:

1. S 59° 59' 59" W, 90.64' to an iron rod found;
2. N 56° 01' 13" W, 77.68' to an iron rod found;
3. S 34° 50' 48" W, 48.55' to an iron rod found;
4. S 56° 01' 13" E, 54.72' to an iron rod found;
5. And S 59° 59' 59" W, 283.27' to the place of beginning and containing 37.34 acres of land.

SAVE AND EXCEPT from the above-described 37.34 acre tract of land, 5.459 acres as described in a Warranty Deed dated April 29, 1996 from Tom J. Brooks to K. L. Karnes Construction Co., Inc. recorded in Volume 911, Page 573 Real Records of Erath County, Texas.

AND FURTHER SAVE AND EXCEPT from the above-described 37.34 acre tract of land, 0.420 acres (18,315.3 square feet) of land out of Lots 1 and 2, Block 7, Oak Tree Addition, Phase IV as described in Spedal Warranty Deed of Gift dated December 13, 2001 from Tom J. Brooks to Wentwood Elwood I, L.P. recorded in Volume 1059, Page 655 Real Records of Erath County, Texas.

TJB

# Retirement Living for Seniors, Ltd Planned Development Timeline

## 1. Predevelopment:

Upon full approval by the Stephenville City Council, it is the intent of the Developer to produce and submit final engineering plans and building plans to the Building Department for review. Once approved, the Developer will immediately begin construction of all civil improvements (roads, utilities, drainage, etc...). The development consists of combination of twenty-four (24) – one (1) bedroom units which will consist of six (6) buildings and twenty-four (24) – two (2) bedroom units which will consist of six (6) buildings. The development will serve the Elderly population with forty-two (42) units will be income restricted under the Housing Tax-Credit program and six (6) units will be at market rate. The units will each have amenities such as washer and dryer connections, carpet and vinyl flooring, refrigerator, range, disposal and window coverings. Included will be a furnished community room, a community laundry room, gazebo with sitting area and barbeque grills with picnic tables. The office will provide Supportive services for the seniors. There are floorplans per building that are both one (1) bedroom one (1) bath and two (2) bedrooms one (1) bath. All units will be handicap accessible. The buildings will have uniform exteriors consisting of 90% brick and balance hardy plank including thirty 30-year shingled roofs.

## 2. Civil Improvements:

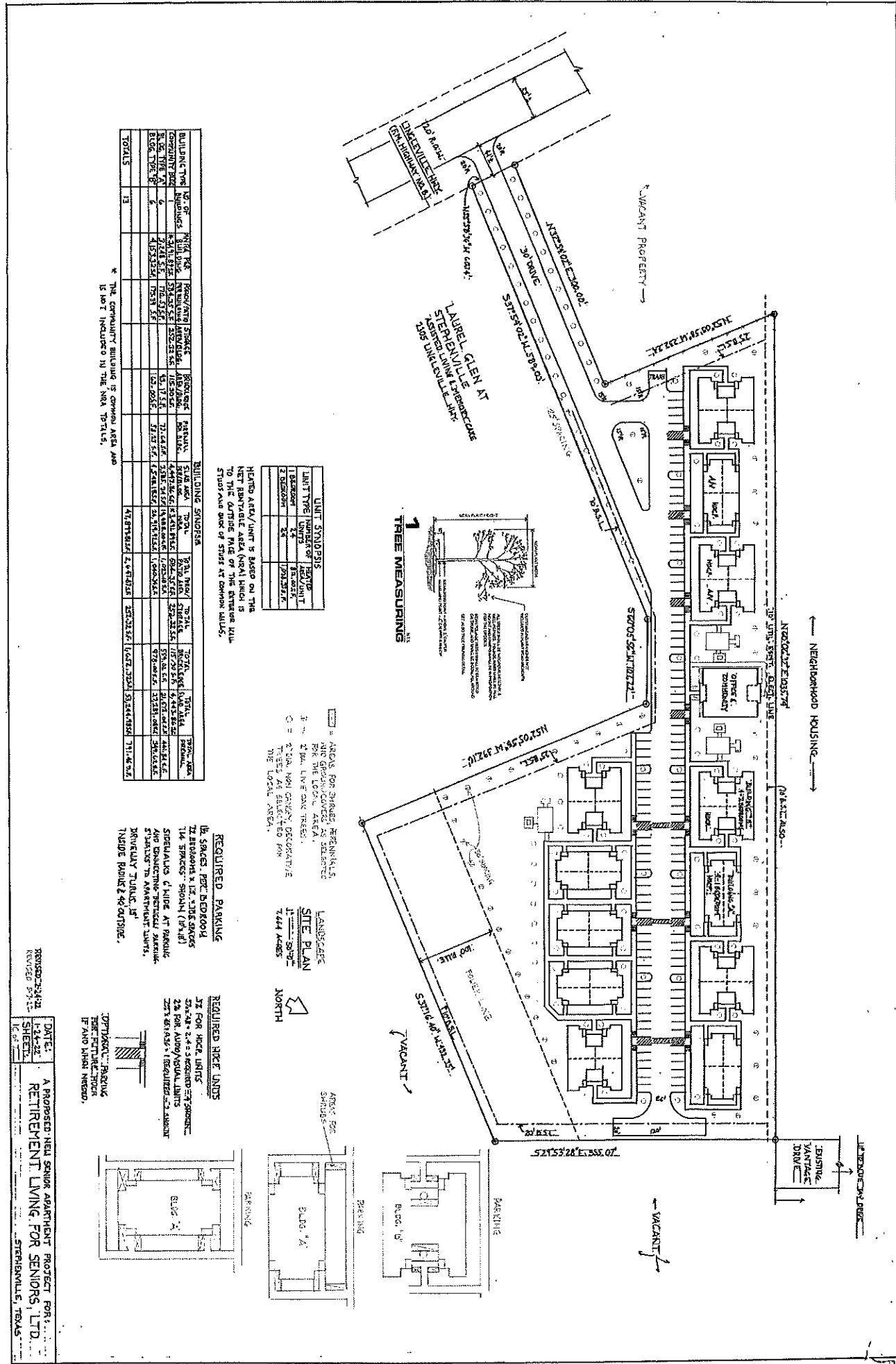
Once final engineering has been approved, the Developer will begin construction on all civil improvements and complete them in one phase.

## 3. General Construction:

The Developer plans to commence construction on the forty-eight (48) units and community building as soon as permits are approved and issued. Construction of each building is estimated at approximately ninety (90) days. After evaluating past development projects currently under construction, the Developer anticipates the completion of all forty-eight (48) residential units within twelve (12) months of initial construction. Upon approval of the Planned Development, the Developer will produce a more defined development timeline including start and completion dates.





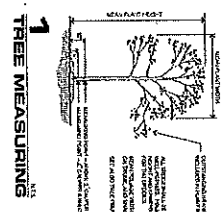


BUILDING TYPE	NO. OF UNITS	NO. OF BLDGS	RESIDENTIAL SQUARE FEET	RESIDENTIAL PER UNIT	RESIDENTIAL PER BLDG	TOTAL RESIDENTIAL SQUARE FEET	TOTAL RESIDENTIAL PER UNIT	TOTAL RESIDENTIAL PER BLDG
COMMUNITY BLDG	1	1	5,241.81 SF	5,241.81 SF	5,241.81 SF	5,241.81 SF	5,241.81 SF	5,241.81 SF
BLDG. TYPE 'B'	6	6	4,853.93 SF	808.99 SF	4,853.93 SF	4,853.93 SF	808.99 SF	4,853.93 SF
<b>TOTALS</b>	<b>13</b>	<b>13</b>	<b>10,095.74 SF</b>	<b>777.40 SF</b>	<b>10,095.74 SF</b>	<b>10,095.74 SF</b>	<b>777.40 SF</b>	<b>10,095.74 SF</b>

\* THE COMMUNITY BUILDING IS COMMON AREA AND IS NOT INCLUDED IN THE NHA TOTALS.

UNIT SYNOPSIS	UNIT TYPE	NO. OF UNITS	RESIDENTIAL SQUARE FEET	RESIDENTIAL PER UNIT
1 BR/1 BATH	1 BR/1 BATH	1	5,241.81 SF	5,241.81 SF
2 BR/2 BATH	2 BR/2 BATH	6	4,853.93 SF	808.99 SF

HEATED AREA/UNIT IS BASED ON THE NET HEATED AREA (NHA) WHICH IS TO THE CENTER LINE OF THE EXTERIOR WALLS AND OUT OF 30" AT COMMON WALLS.

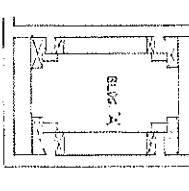


- 1 - AREA FOR SHRUBS, TREES, AND GRASS/COVERS AS SELECTED FOR THE LOCAL AREA.
- 2 - BAL. LIVE OAK TREES.
- 3 - 2" DIA. HOH CROWN, DECIDUOUS TREES AS SELECTED FOR THE LOCAL AREA.

LANDSCAPE  
SITE PLAN  
1" = 20'-0"  
7/24/05  
7444 ACRES

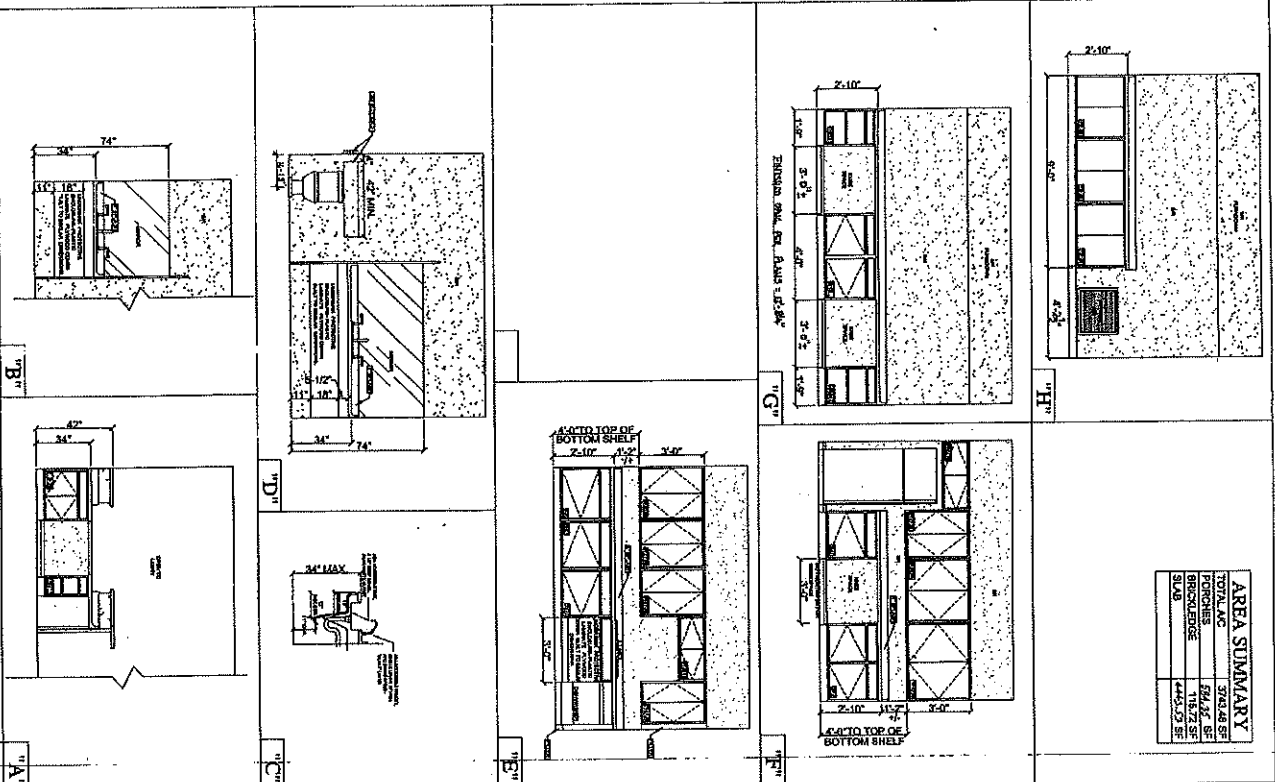
**REQUIRED PARKING**  
14 SPACES PER BEDROOM  
14 SPACES PER 1.5 BDRM UNITS  
14 SPACES PER 2 BDRM UNITS  
SINGLES, 1.5 UNITS AT PARKING AND DOUBLETS, TRIPLES, QUARTETS, FIFTEENS TO APARTMENT UNITS.  
BICYCLE STORAGE 10'  
TRUCKS PARKING 40' OUTSIDE.

**REQUIRED FIRE UNITS**  
17 FOR HOUSING  
24 FOR COMMERCIAL  
24 FOR ALPHAVISUAL UNITS  
24 FOR SERVICE (REQUIRED) 24 UNITS



REVISIONS:  
REVISED 5/24/02  
SHEET 1-24-22  
DATE: 1-24-22  
A PROPOSED NEW SENIOR APARTMENT PROJECT FOR RETIREMENT LIVING FOR SENIORS, LTD.  
STERLINGVILLE, TEXAS

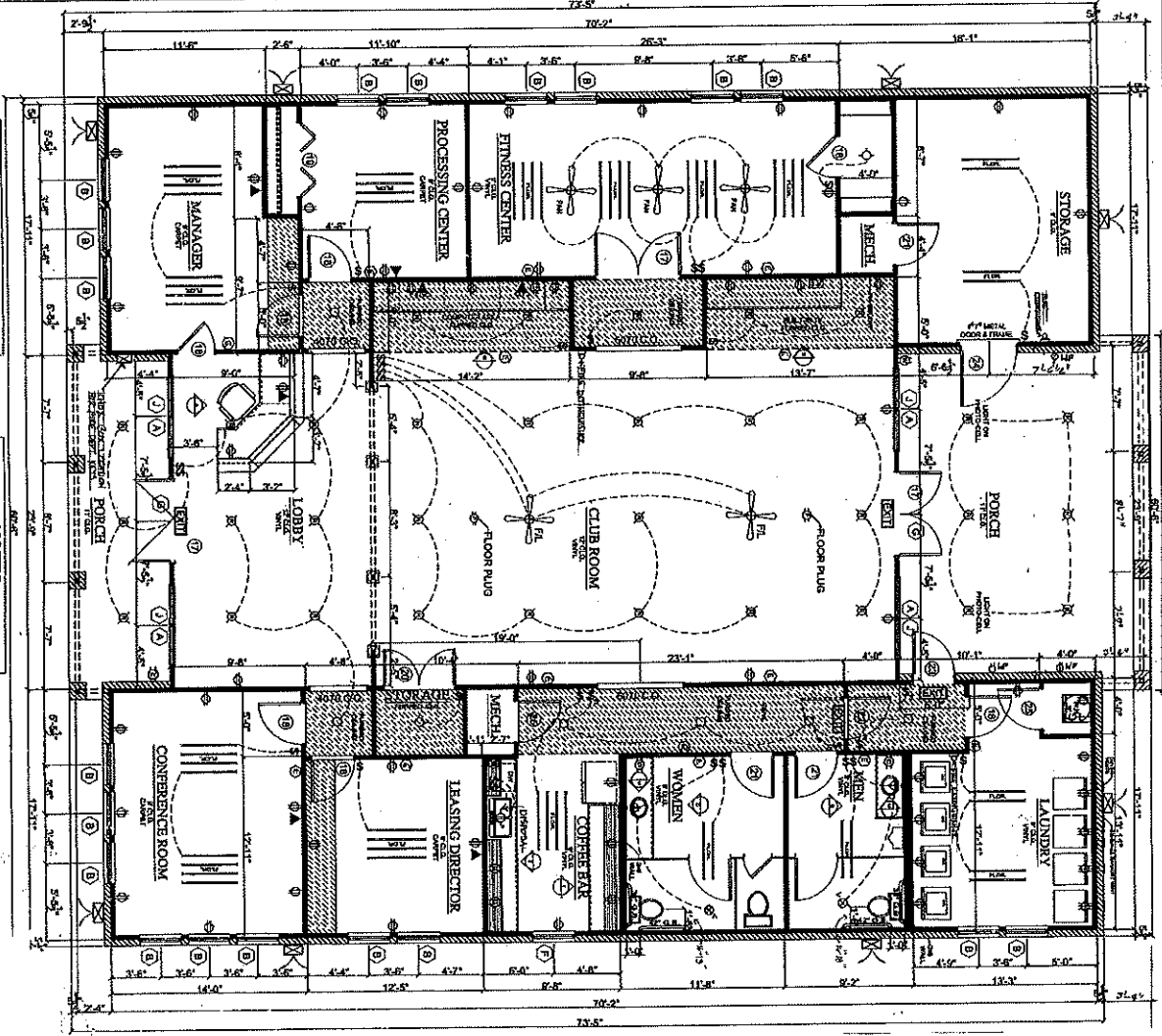
CABINET ELEVATIONS



02 CLUBHOUSE FLOOR PLAN

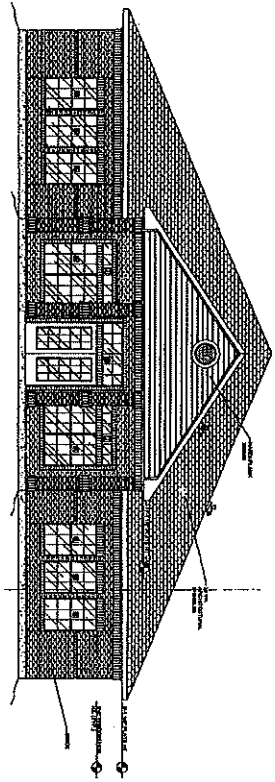
**ELECTRICAL NOTE:**  
FLOOR AND PORCH LIGHTS ON HOLES WITHIN AND PHOTOCELL ON THEM.

**NOTES:**  
1. WAGON WHEELS AT 8' P  
2. EXTERIOR WALL PLATE AT 4' P  
3. WALL PLATE AT PORCHES - 12'



SCALE: 1/4" = 1'-0" 01

DATE: 1-24-22  
SHEET: 2 of 7  
A PROPOSED NEW SENIOR APARTMENT PROJECT FOR:  
RETIREMENT LIVING FOR SENIORS, LTD.  
STEPHENVILLE, TEXAS

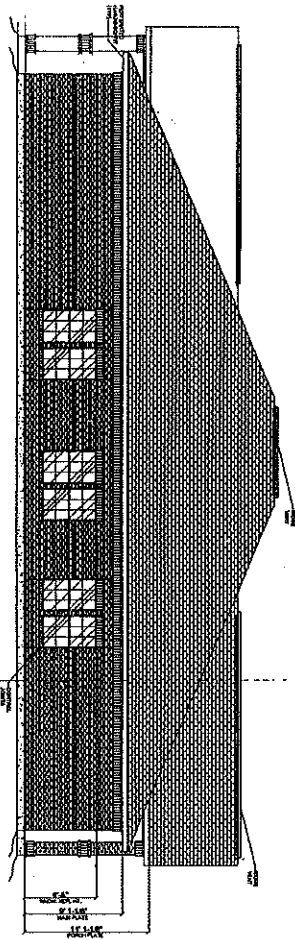
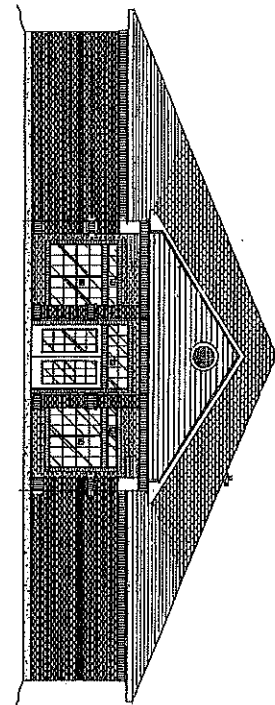


CLUBHOUSE FRONT ELEVATION

SCALE: 3/16" = 1'-0"

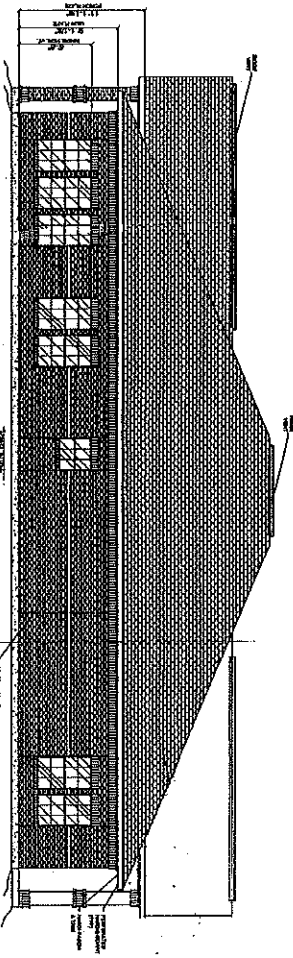
CLUBHOUSE REAR ELEVATION

SCALE: 3/16" = 1'-0"



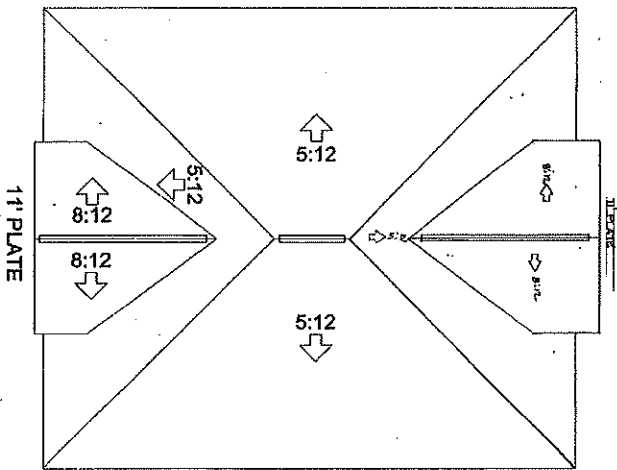
CLUBHOUSE LEFT ELEVATION

SCALE: 3/16" = 1'-0"



CLUBHOUSE RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

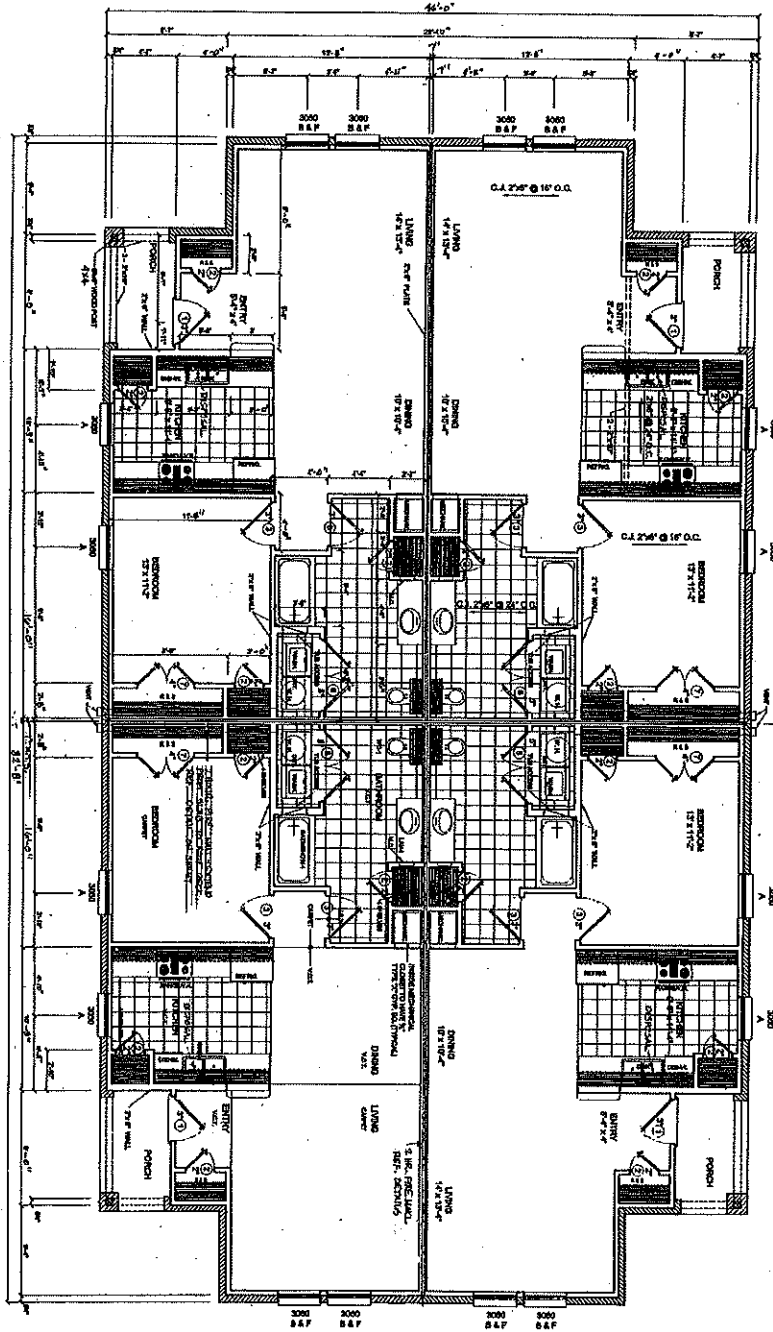


NOTE: ALL PLATES 9' AND  
ALL ROOF SLOPES 5:12  
UNLESS OTHERWISE NOTED

14' PLATE

CLUBHOUSE ROOF PLAN

DATE: 1-24-22  
SHEET: 3 of 7  
A PROPOSED NEW SENIOR APARTMENT PROJECT - SRB -  
RETIREMENT LIVING FOR SENIORS, LTD  
STENOUILLE, TEXAS



**FLOOR PLAN**  
 1/4" = 1'-0"  
**BUILDING 'A' - ONE BEDROOM FOURPLEX**  
 ALL CEILING HEIGHT 8'-0"

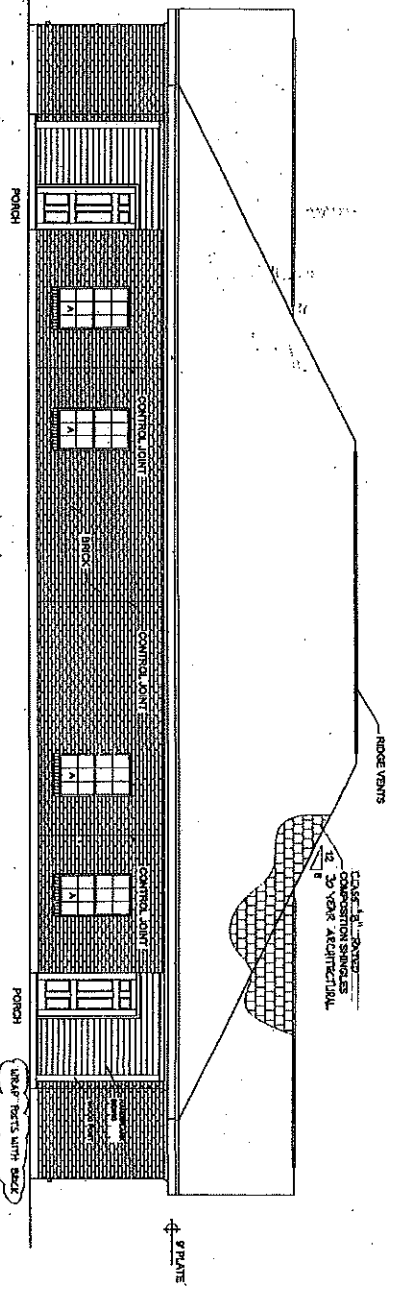
NET BUILDING AREA (APPROX.) 2,345 S.F.  
 NET BUILDING AREA (APPROX.) 1,917 S.F.  
 NET BUILDING AREA (APPROX.) 1,917 S.F.  
 NET BUILDING AREA (APPROX.) 1,917 S.F.  
 NET BUILDING AREA (APPROX.) 1,917 S.F.



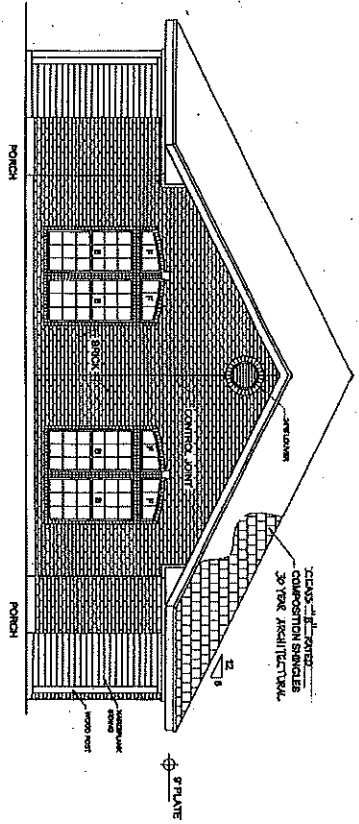
DATE: 1-24-22  
 SHEET: 1 of 7  
 A PROPOSED NEW SENIOR APARTMENT PROJECT FOR  
 RETIREMENT LIVING FOR SENIORS, LTD.  
 STENOUILLES, TEXAS



SIDE ELEVATION  
1/4" = 10'-0"  
BUILDING "A" - ONE BEDROOM FOURPLEX



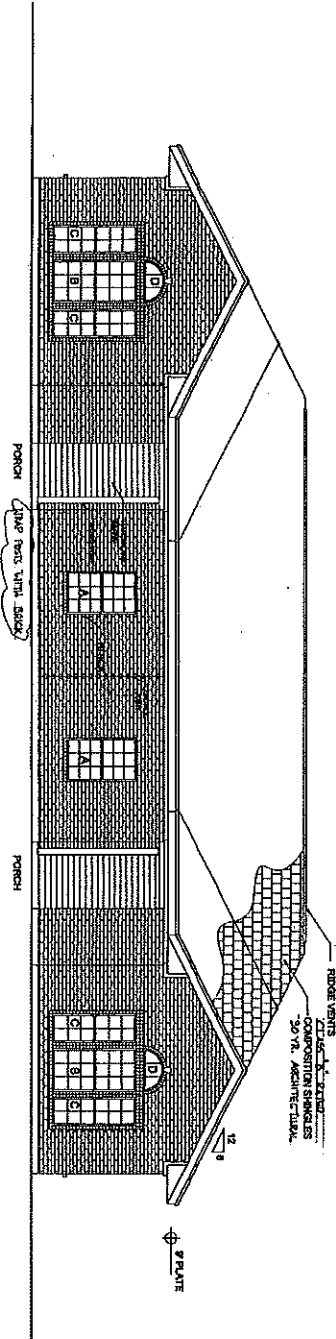
END ELEVATION  
1/4" = 10'-0"



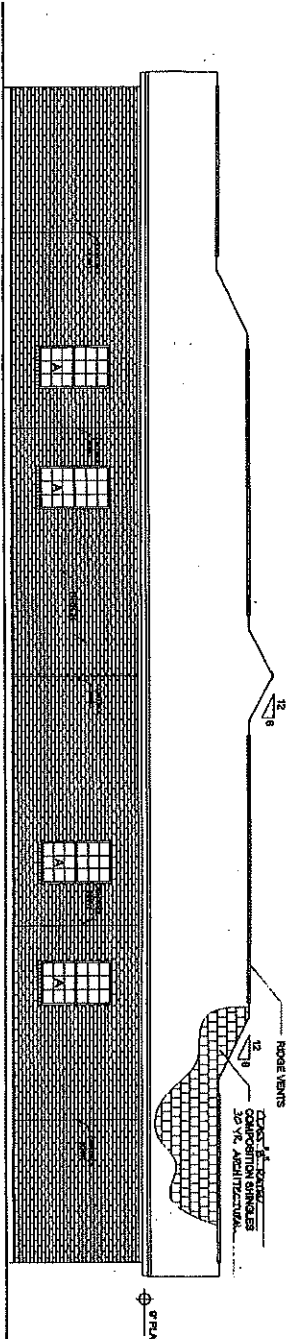
DATE: 1-24-12  
 SHEET: 50471  
 A PROPOSED NEW SENIOR APARTMENT PROJECT FOR:  
 RETIREMENT LIVING FOR SENIORS, LTD  
 STEPHENVILLE, TEXAS



END ELEVATION  
1/4" = 10'

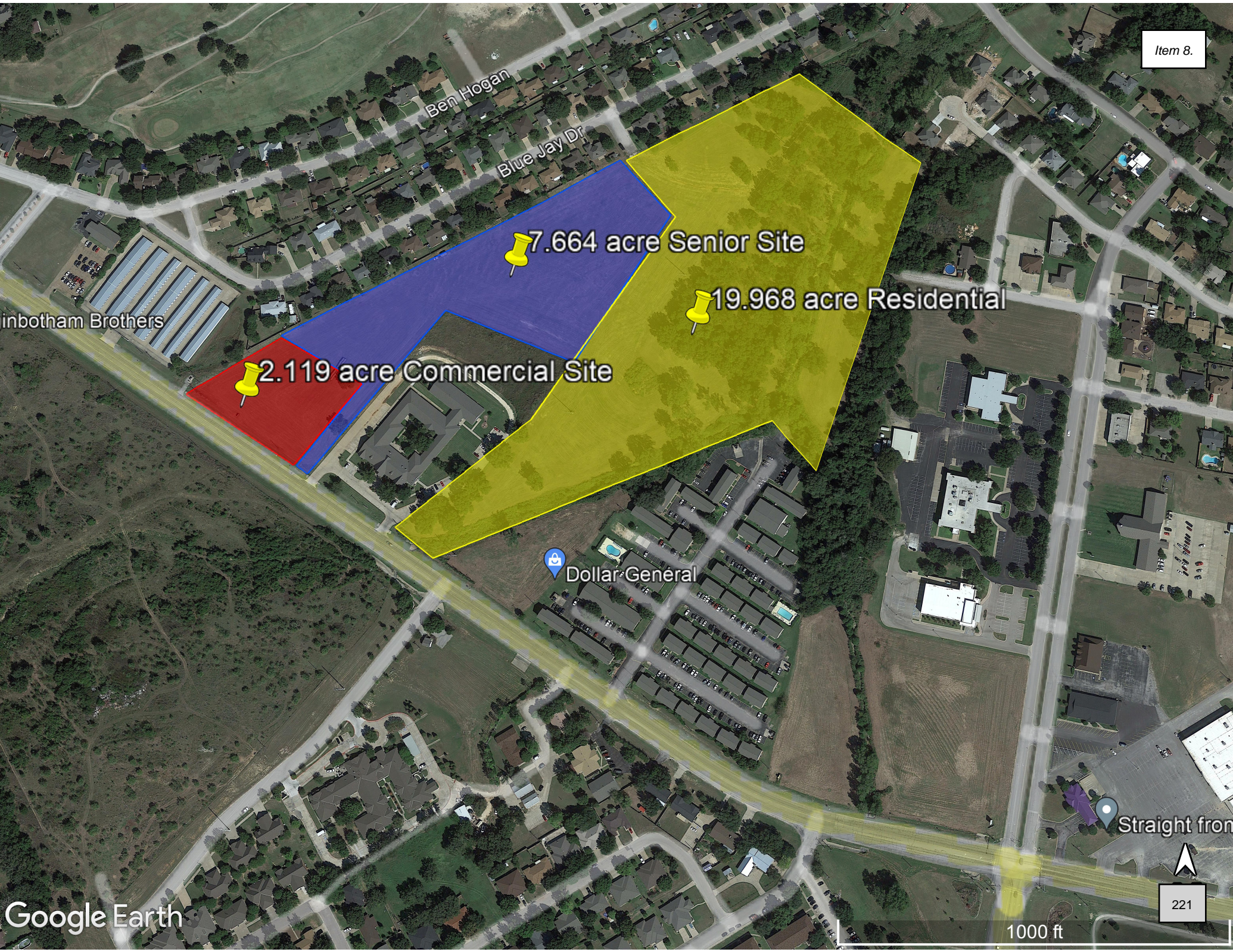


SIDE ELEVATION  
1/4" = 10'  
BUILDING 'B' - TWO BEDROOM FOURPLEX



DATE: 12-4-82  
SHEET: 7 OF 7  
A PROPOSED NEW SENIOR APARTMENT PROJECT FOR:  
RETIREMENT LIVING FOR SENIORS, LTD  
SPRINGHILL, TEXAS





Inbotham Brothers

Ben Hogan

Blue Jay Dr

7.664 acre Senior Site

19.968 acre Residential

2.119 acre Commercial Site

Dollar General

Straight from





# STAFF REPORT

**SUBJECT:** Case No.: RZ2022-006

Applicant Tom Brooks, representing Covenant Legacy LLP, is requesting a rezone of property located at W FM8, Parcel R22552, of Menefee Jarrett to the City of Stephenville, Erath County, Texas, from (R-1) Single Family Residential to (B-2) Retail and Commercial District. The rezone is for 2.119 acres of the 29.751 acres.

**DEPARTMENT:** Development Services

**STAFF CONTACT:** Steve Killen, Director of Development Services

## RECOMMENDATION:

The Comprehensive Plan for future land use designates this property to be Single Family Residential.

## BACKGROUND:

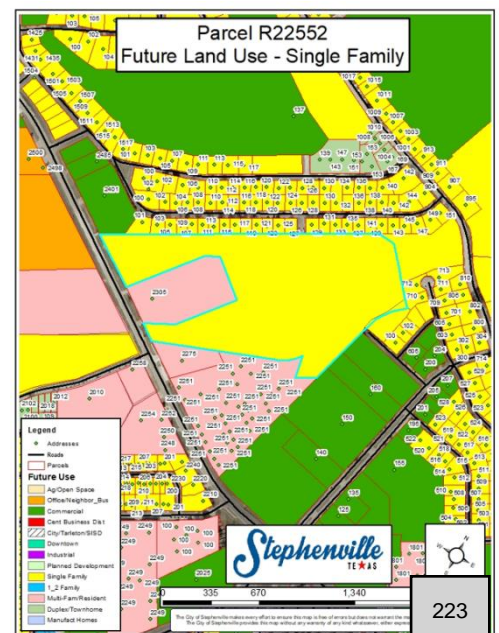
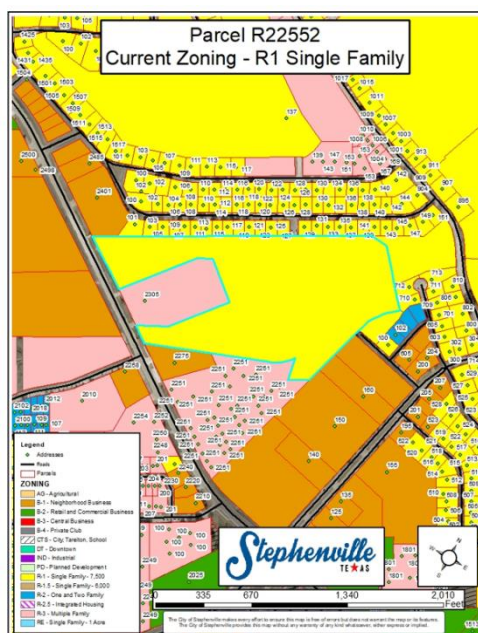
### APPLICANT REQUEST:

The applicant has retracted previous submittals from April, 2022. The applicant is now presenting two submittals relating to the parcel. If the rezoning is approved, the applicant will return for the replat.

Applicant is requesting to rezone property to allow approximately 2.2 acres for retail and commercial development at the NW corner of the parcel, with frontage on W. Lingleville road. The current parcel surrounds an existing assisted living and memory care facility with an overhead utility easement that bisects the property southeast of the existing facility.

An adjacent parcel with Lingleville Hwy frontage is currently zoned B-1, Neighborhood Business District, with future land use being commercial.

### PROPERTY PROFILE:



## DESCRIPTION OF REQUESTED ZONING:

### Sec. 154.06.2. Retail and commercial business district (B-2).

**6.2.A Description.** The Retail and Commercial Business District provides areas for the grouping of retail shops and stores offering goods and services for the residents in general. These shopping areas will generally be more densely concentrated and more traffic intensive than allowed in the Neighborhood Business Districts.

#### 6.2.B Permitted Uses.

- (1) Animal grooming;
- (2) Antique shop/art gallery—sales in building;
- (3) Assisted living center;
- (4) Athletic field;
- (5) Automobile service station and car care center;
- (6) Auto parking lot or building (commercial);
- (7) Auto parts sales;
- (8) Auto repair/mechanic garage;
- (9) Auto sales;
- (10) Automobile rental;
- (11) Bail bond service;
- (12) Bakery—Retail;
- (13) Banks or other financial institutions;
- (14) Bicycle sales and rental;
- (15) Boat sales;
- (16) Bottling works (wholesale);
- (17) Building material sales;
- (18) Cabinet and upholstery shop;
- (19) Car wash;
- (20) Care facility for narcotic, alcoholic or psychiatric patients;
- (21) Cemetery/mausoleum;
- (22) Church, temple or mosque;
- (23) Civic/community center;
- (24) Cleaning and pressing—small shop, pickup and delivery;
- (25) Clinic;
- (26) College or university;
- (27) Commercial amusement (indoor);
- (28) Commercial amusement (outdoor);
- (29) Convalescent, nursing or long term care facility;
- (30) Convenience/grocery store (without pumps) convenience store (with pumps);



- (31) Construction equipment rental and sales;
- (32) Construction yard (temporary);
- (33) Contractor shop and storage yard;
- (34) Department store;
- (35) Discount warehouse store;
- (36) Drapery, needlework or weaving shop;
- (37) Farmers Market;
- (38) Feed, seed and fertilizer store—no bulk storage;
- (39) Field office (temporary);
- (40) Florist;
- (41) Fraternal organization, lodge or civic club;
- (42) Furniture or appliance store;
- (43) Golf course or country club, driving range;
- (44) Greenhouse or nursery for retail plant sales with outside storage;
- (45) Handcraft shop;
- (46) Health club, weight and aerobic center;
- (47) Home improvement center;
- (48) Hospital—general acute care (human);
- (49) Hotels and motels;
- (50) Household appliance service and repair;
- (51) Kennel;
- (52) Kiosk;
- (53) Laboratory (medical);
- (54) Landscaping service;
- (55) Laundry and cleaning (self service);
- (56) Lawn equipment and small engine sales and services;
- (57) Micro brewery;
- (58) Mini storage/warehouses;
- (59) Monument retail sales (outside storage);
- (60) Mortuary or funeral home;
- (61) Moving company;
- (62) Neighborhood grocery store (no fuel service);
- (63) Office—professional and general administration;
- (64) Park, playground, public community recreation center;
- (65) Pawn shop;
- (66) Personal service shop (beauty, barber and the like);

- (67) Pet shop—small animals within building;
- (68) Plumbing shop;
- (69) Portable building sales;
- (70) Printing;
- (71) Produce stand;
- (72) Psychic/Tarot card reader;
- (73) Recreational vehicle sales;
- (74) Recycling kiosk;
- (75) Research lab (non-hazardous);
- (76) Restaurant (drive-in type);
- (77) Restaurant or cafeteria—without drive-in service;
- (78) Restaurant with alcoholic beverage service;
- (79) Retail shops and stores other than listed;
- (80) Roofing and siding supply;
- (81) Sale of alcohol as licensed by the Texas Alcoholic Beverage Commission;
- (82) Schools—public, private and parochial;
- (83) Shopping center;
- (84) Storage or repair of furniture and appliances (display inside of building);
- (85) Studio (photographer, musician, artist);
- (86) Studio for radio and television;
- (87) Tattoo parlor/body piercing studio;
- (88) Taxidermy;
- (89) Theater—indoor;
- (90) Tobacco shop;
- (91) Tool and equipment rental shop;
- (92) Trailer rental and sales;
- (93) Veterinary clinic or hospital; and
- (94) Veterinary services.

#### **6.2.C Conditional Uses (Special Use Permit required).**

- (1) Day care center—12 or more children;
- (2) Flea market;
- (3) Frozen foods locker;
- (4) Scientific and research laboratories;
- (5) Theater (drive-in); and
- (6) Trade and commercial schools.

#### **6.2.D Height, Area, Yard and Lot Coverage Requirements.**

- (1) Maximum density: There is no maximum density requirement.
- (2) Minimum lot area: There is no minimum area requirement.
- (3) Minimum lot width: There is no minimum width requirement.
- (4) Minimum lot depth: There is no minimum depth requirement.
- (5) Minimum depth of front setback: 20 feet.
- (6) Minimum depth of rear setback: There is no minimum rear setback requirement unless the lot abuts upon a Residential District, then a minimum ten feet is required.
- (7) Minimum width of side setback:
  - (a) Internal lot: There is no minimum side setback requirement unless the lot abuts upon a Residential District, then a minimum five feet is required.
  - (b) Corner lot: 20 feet.
- (8) Building size: There are no minimum size regulations.
- (9) Maximum height of structures: 35 feet.
- (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.

Height, Area, Yard and Lot Coverage Requirements



Note: No rear or side yard except when the lot abuts upon a Residential District, then the minimum setback for rear yard is 10 feet and side yard is five feet.

6.2.E Parking Regulations. All uses permitted in the B-2 District: See Section 11 Parking Regulations.

6.2.F Sign Regulation. See Section 12 for Sign Regulations.

6.2.G Exceptions to Use, Height and Area Regulations. See Section 10.

6.2.H Garbage Regulations. Retail and Commercial District businesses will provide a serviceable area specifically for refuse collection designed for refuse canisters. Each designated canister area will be nine feet wide and eight feet deep (72 square feet), with a cement slab base. If the location of the cement slab is adjacent to a residential district, the slab must be at least five feet from the property line. The refuse area will be enclosed on three sides by a privacy fence. Approach areas will meet the requirements of Subsection 6.2.1.

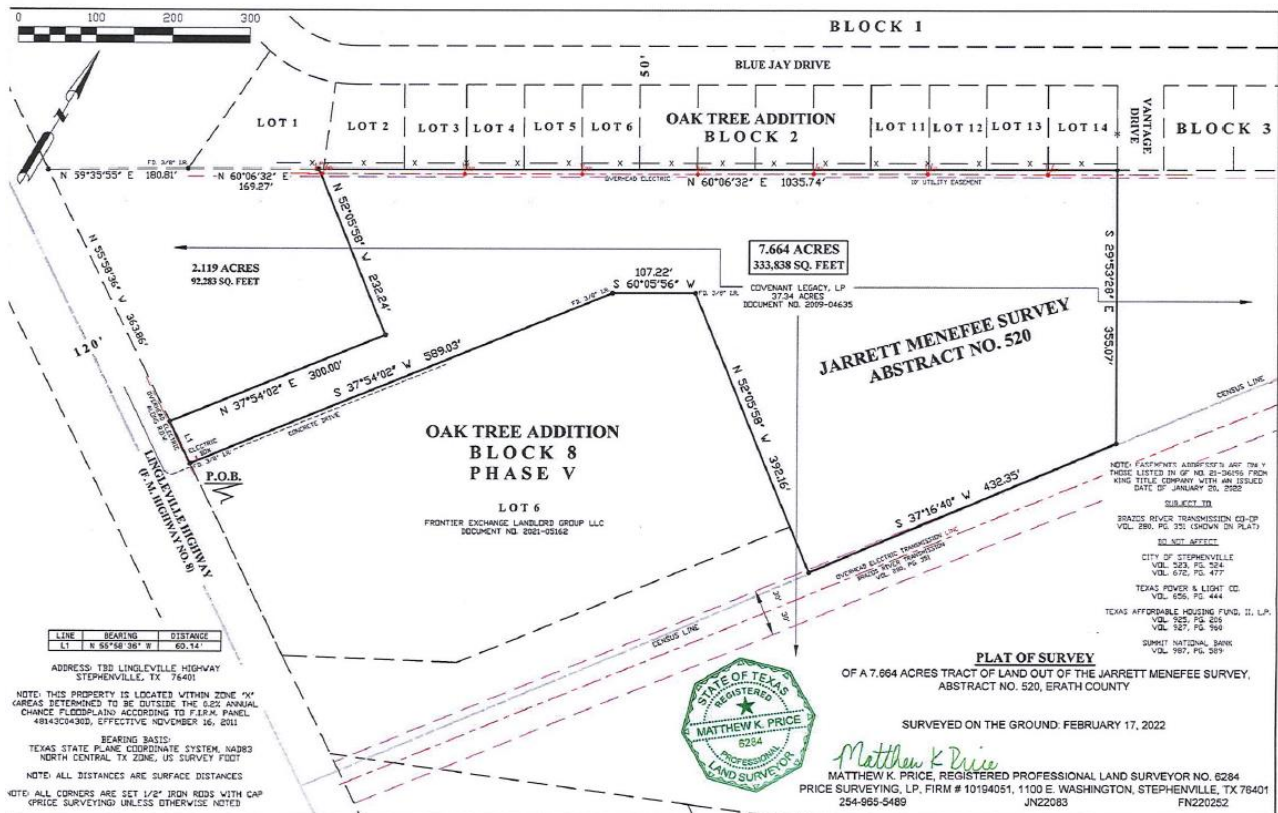
6.2.I Loading and Unloading Regulations. All loading, unloading and maneuvering of vehicles connected with the activity must be on the premises and will not be permitted in any street. Loading and unloading areas must be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced.

(Am. Ord. 2008-07, passed 5-6-2008; Am. Ord. 2009-23, passed 12-1-2009; Am. Ord. No. 2018-O-25 , § 1, 8-7-2018; Ord. No. 2021-O-17 , §§ 1, 3, passed 6-1-2021; Ord. No. 2021-O-32 , § 1, passed 8-3-2021)

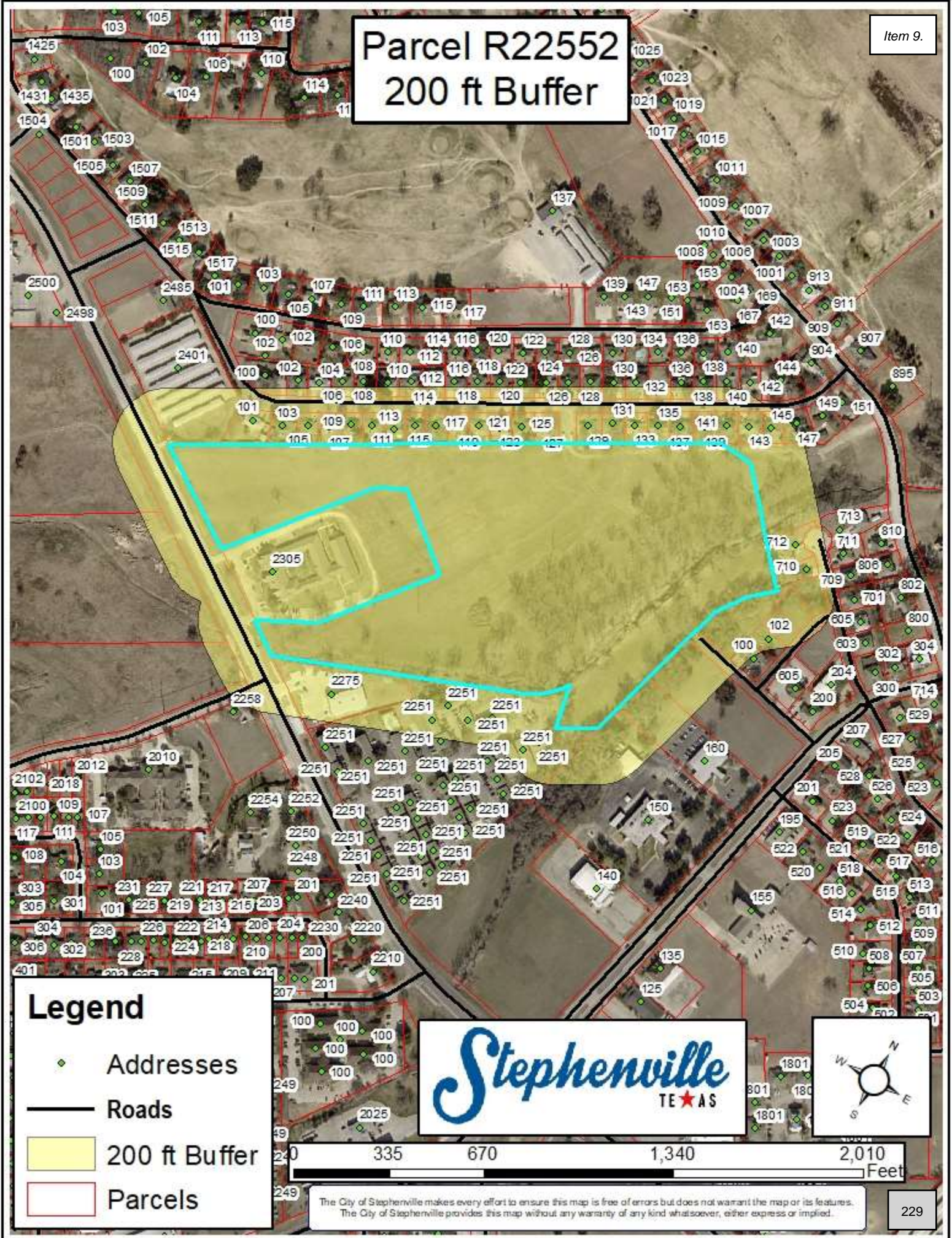
**ALTERNATIVES:**

- 1) Recommend the City Council approve the rezoning request.
- 2) Recommend the City Council deny the rezoning request.

**Exhibit – Proposed Survey**

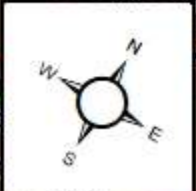


# Parcel R22552 200 ft Buffer



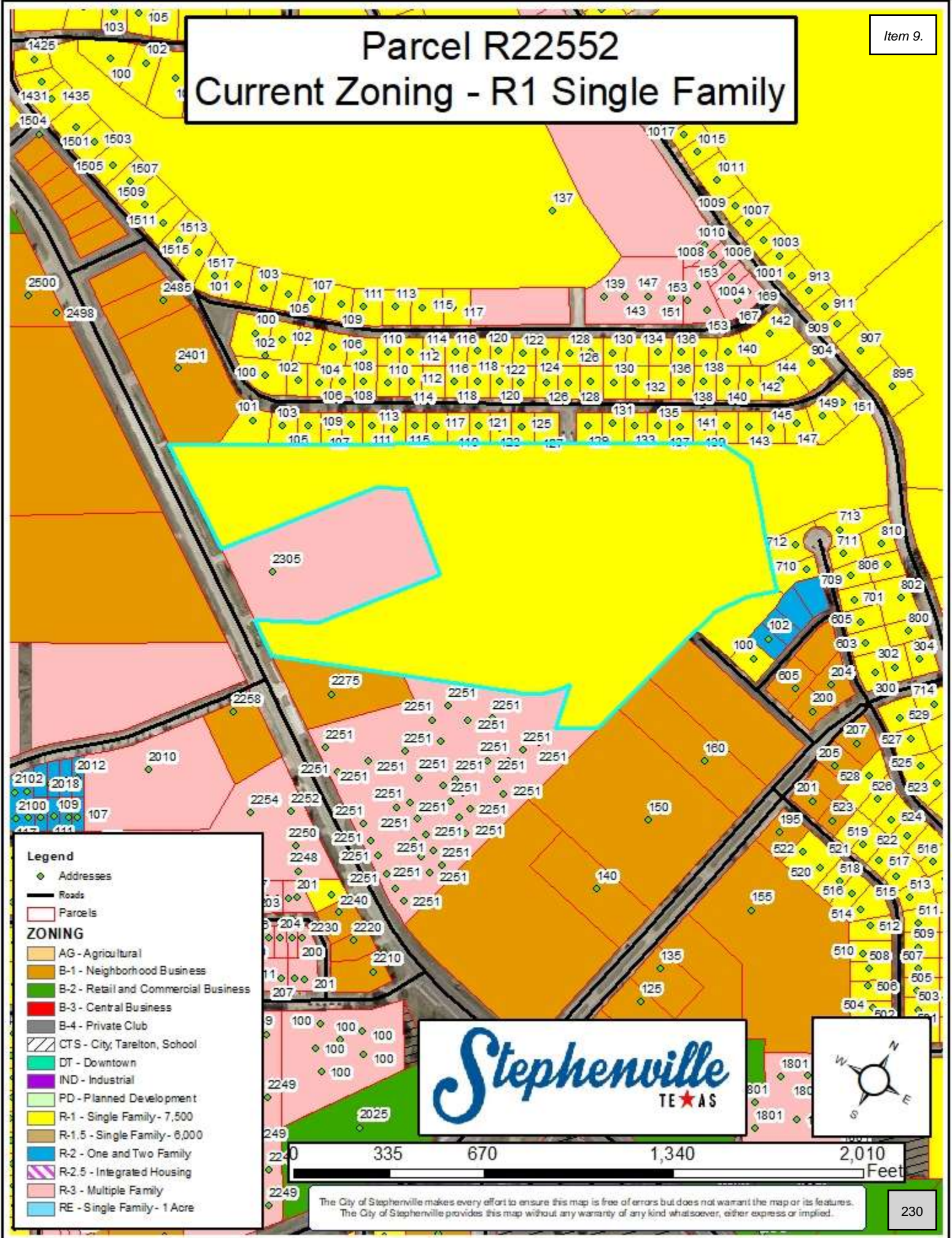
**Legend**

- ◆ Addresses
- Roads
- 200 ft Buffer
- Parcels



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

# Parcel R22552 Current Zoning - R1 Single Family



**Legend**

- ◆ Addresses
- Roads
- ▭ Parcels

**ZONING**

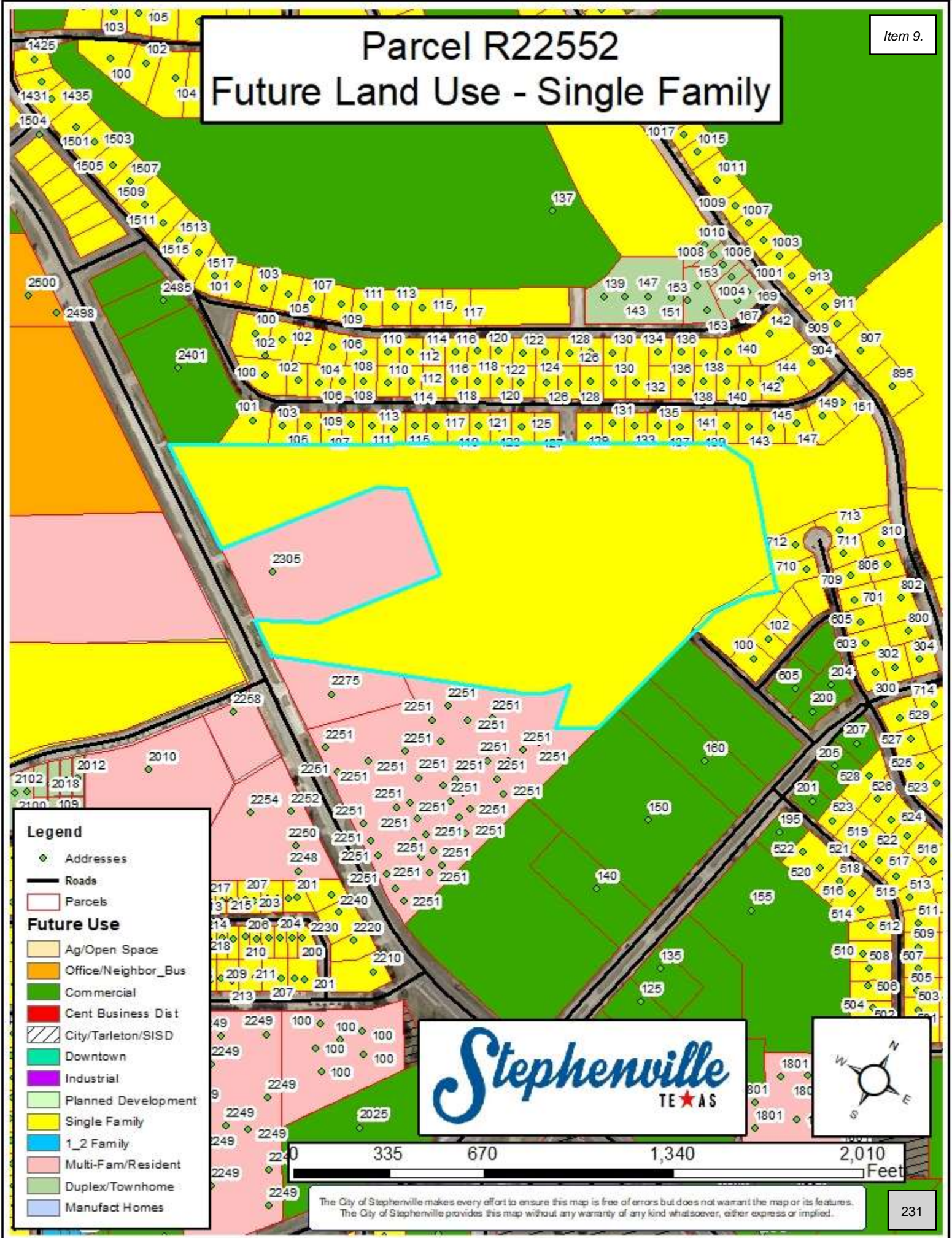
- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tareyton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



0 335 670 1,340 2,010 Feet

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# Parcel R22552 Future Land Use - Single Family



**Legend**

- ◆ Addresses
- Roads
- ▭ Parcels

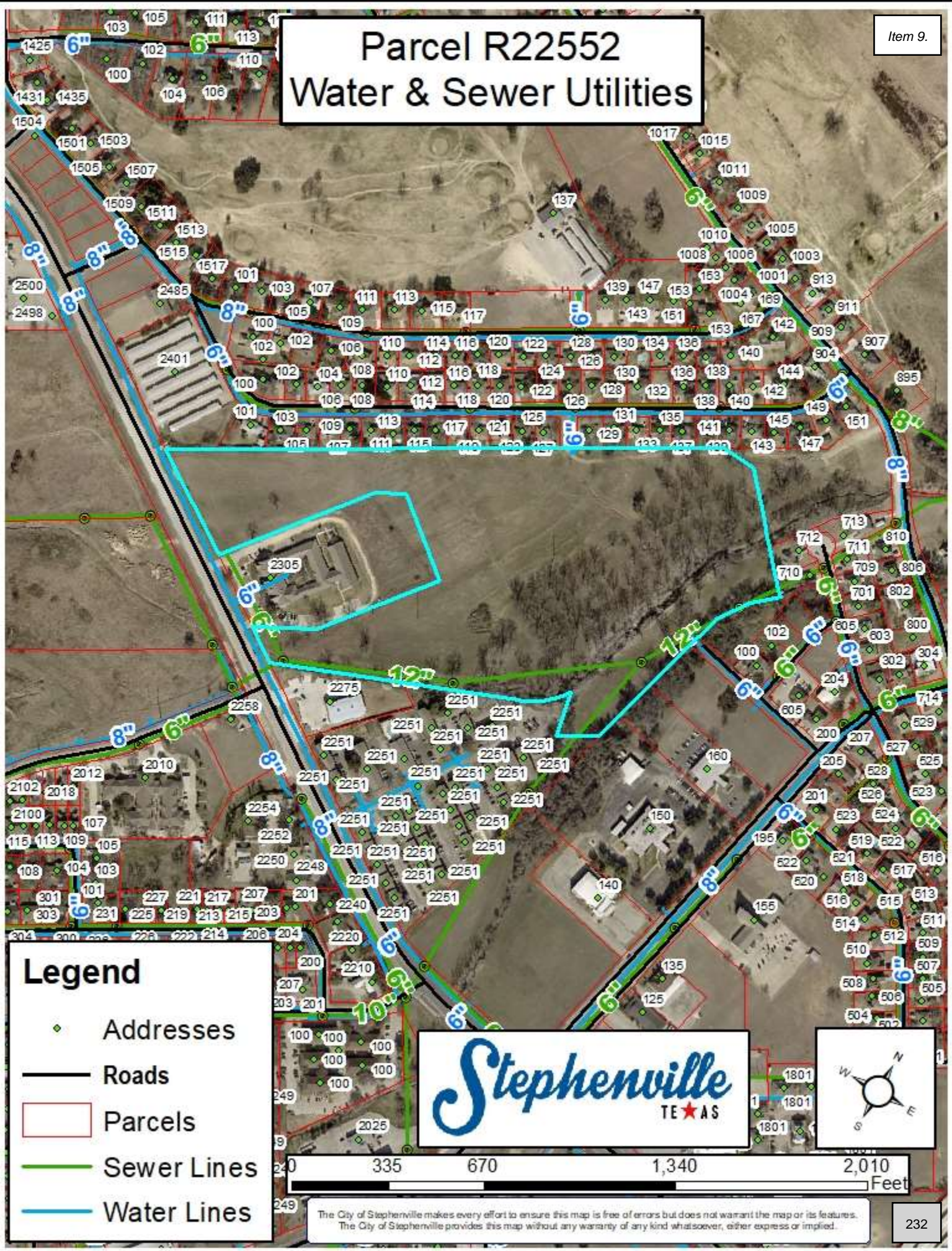
**Future Use**

- Ag/Open Space
- Office/Neighbor\_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1\_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



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# Parcel R22552 Water & Sewer Utilities



**Legend**

- ◆ Addresses
- Roads
- Parcels
- Sewer Lines
- Water Lines



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.



# Parcel R22552 Address List

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000042841	117 BLUE JAY	ALLEN CALEB VAN & KRISTY RAE	117 BLUE JAY	STEPHENVILLE	TX	76401-5922
R000063775	0 GOOD TREE	ALLEN REAL PROPERTIES LTD	PO BOX 953	STEPHENVILLE	TX	76401
R000063790	0 GOOD TREE	ALLEN REAL PROPERTIES LTD	PO BOX 953	STEPHENVILLE	TX	76401
R000022557	0 W LINGLEVILLE RD	ALLEN REAL PROPERTIES LTD	PO BOX 953	STEPHENVILLE	TX	76401
R000031773	2401 W LINGLEVILLE RD	BACHUS JAMES O FAMILY TRUST	PO BOX 552	STEPHENVILLE	TX	76401-0552
R000042825	130 BLUE JAY	BASHAM JOSHUAH THOMAS & RACHEAL JANINE BASHAM	130 BLUE JAY	STEPHENVILLE	TX	76401
R000075582	712 SPRING MEADOW	BOSWELL RODNEY W & MELISSA J	712 SPRING MEADOW	STEPHENVILLE	TX	76401
R000042813	106 BLUE JAY	BOYLES PAMELA J	106 BLUE JAY	STEPHENVILLE	TX	76401
R000042835	101 BLUE JAY	BUCHER JAMES M & JANE E	101 BLUE JAY	STEPHENVILLE	TX	76401-5922
R000042819	118 BLUE JAY	CARLSON NORMAN E & BEVERLY A	118 BLUE JAY	STEPHENVILLE	TX	76401-0000
R000033190	0 RIVER NORTH BLVD	CEDARS NATHAN ET AL	1826 CR393	STEPHENVILLE	TX	76401-0000
R000042824	128 BLUE JAY	CHESTER CAROLE S	128 BLUEJAY	STEPHENVILLE	TX	76401
R000063792	0 GOOD TREE	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000042820		CONFIDENTIAL				
R000042848		CONFIDENTIAL				
R000042837	105 BLUE JAY	CORTA DOROTHY J & PETER J	105 BLUE JAY DR	STEPHENVILLE	TX	76401
R000022552	0 W FM8	COVENANT LEGACY LLP	2915 W WASHINGTON	STEPHENVILLE	TX	76401
R000062664	0 ADOBE DR	CROSS TIMBERS FINE ARTS COUNCIL INC	PO BOX 1172	STEPHENVILLE	TX	76401
R000042811	102 BLUE JAY	DAVIDSON DEL & JULIE	102 BLUE JAY	STEPHENVILLE	TX	76401
R000042822	124 BLUE JAY	DICKERSON SHERRY	124 BLUE JAY	STEPHENVILLE	TX	76401
R000042814	108 BLUE JAY	DREW VALERIE J	109 GREENVIEW DR	STEPHENVILLE	TX	76401
R000041984	137 BLUE JAY	DUKE DEBORAH P	137 BLUE JAY	STEPHENVILLE	TX	76401
R000041986	141 BLUE JAY	EILAND EDDIE & JAN	21160 S FM219	DUBLIN	TX	76446
R000042847	129 BLUE JAY	EMMONS JOSH & ASHTON	129 BLUE JAY	STEPHENVILLE	TX	76401
R000033179	102 ADOBE DR	EQUITY CRP, LP	PO BOX 953	STEPHENVILLE	TX	76401
R000033180	104 ADOBE DR	EQUITY CRP, LP	PO BOX 953	STEPHENVILLE	TX	76401
R000033181	106 ADOBE DR	EQUITY CRP, LP	PO BOX 953	STEPHENVILLE	TX	76401
R000033182	108 ADOBE DR	EQUITY CRP, LP	PO BOX 953	STEPHENVILLE	TX	76401
R000042845	125 BLUE JAY	EVANS DONALD R LIVING TRUST	PO BOX 372	BLUFF DALE	TX	76433
R000063739	2305 W LINGLEVILLE RD	FRONTIER EXCHANGE LANDLORD GROUP LLC	4500 DORR ST	TOLEDO	OH	43615
R000042851	145 BLUE JAY	GARCIA LARAE & LOUIS GARCIA	145 BLUE JAY	STEPHENVILLE	TX	76401
R000042828	136 BLUE JAY	GARNER GAYLA BOTTLINGER	136 BLUE JAY	STEPHENVILLE	TX	76401
R000066982	2275 W LINGLEVILLE RD	GREATER GOOD X LLC	3195 S ACCESS RD	ENGLEWOOD	FL	34224
R000042823	126 BLUE JAY	GRESHAM JOHN H	PO BOX 1	BLUFF DALE	TX	76433
R000042836	103 BLUE JAY	GRIMMER AARON & NIKOLE	103 BLUE JAY	STEPHENVILLE	TX	76401
R000074582	713 SPRING MEADOW	GUISE DAVID LLOYD & BRENDA SUE	713 SPRING MEADOW ST	STEPHENVILLE	TX	76401-1843
R000042826	132 BLUE JAY	HAYES WAYNE LEROY	PO BOX 2410	STEPHENVILLE	TX	76401
R000042831	142 BLUE JAY	HENDON DAVE W & DIXIE L	142 BLUE JAY	STEPHENVILLE	TX	76401
R000042821	122 BLUE JAY	HENDRICKS KATHRYN J	122 BLUE JAY	STEPHENVILLE	TX	76401
R000042817	114 BLUE JAY	HILL CHARLES A & SANDRA K	114 BLUE JAY	STEPHENVILLE	TX	76401
R000042842	119 BLUE JAY	HIVELY CHRISTOPHER J & KIMBERLEE M HIVELY	12454 DAPPLE DR	RANCHO CUCAMONGA	CA	91739
R000042812	104 BLUE JAY	HODGES BILLY BOB & DONNA & HOLLY HODGES	18402 SHALLOW OAK CT	TOMBALL	TX	77377
R000042816	112 BLUE JAY	HODGES TERRY GLEN & REBECCA	112 BLUE JAY	STEPHENVILLE	TX	76401-0000
R000041981	107 BLUE JAY	HOLLOWAY LIVING TRUST	107 BLUE JAY ST	STEPHENVILLE	TX	76401
R000041982	109 BLUE JAY	HOWARD NETA FAYE (LIFE ESTATE)	109 BLUE JAY	STEPHENVILLE	TX	76401
R000022664	0 W LINGLEVILLE RD	IP KAM WOON	PO BOX 192	STEPHENVILLE	TX	76401-0000
R000042840	115 BLUE JAY	JAMES CAVIN & STACEY SHARON NOLAND (JAMES)	115 BLUE JAY	STEPHENVILLE	TX	76401
R000042849	133 BLUE JAY	JOHNSON DAVID HUNTER	1600 SUNSET DRIVE	MARBLE FALLS	TX	78654
R000042829	138 BLUE JAY	JONES GWINDA L	PO BOX 1979	STEPHENVILLE	TX	76401
R000041983	111 BLUE JAY	KAISER MARK A & KIMBERLY	111 BLUE JAY DR	STEPHENVILLE	TX	76401-0000
R000041985	139 BLUE JAY	KDH RENTALS LLC	1610 W CEDAR ST	STEPHENVILLE	TX	76401
R000041978	100 BLUE JAY	KOPLIN JEFFREY & LESLI KOPLIN	PO BOX 993	STEPHENVILLE	TX	76401
R000042827	134 BLUE JAY	LAKE GRANBURY DEVELOPERS LP	3080 W WASHINGTON ST	STEPHENVILLE	TX	76401-3728
R000031784	0 PRAIRIE WIND	LAKE GRANBURY DEVELOPERS LP	PO BOX 2579	STEPHENVILLE	TX	76401
R000042320	143 BLUE JAY	MCDANEL RUSSELL EDWARD	PO BOX 974	STEPHENVILLE	TX	76401-0000
R000033177	703 VANTAGE DR	MCDONALD & BACHUS FAMILY TRUSTS	PO BOX 552	STEPHENVILLE	TX	76401-0552
R000042838	113 BLUE JAY	MOSES COREY & KATHRYN	113 BLUE JAY	STEPHENVILLE	TX	76401
R000042844	123 BLUE JAY	PLANNERS EQUITY LP	181 S GRAHAM	STEPHENVILLE	TX	76401
R000042830	140 BLUE JAY	PLANNERS EQUITY LP	181 S GRAHAM	STEPHENVILLE	TX	76401
R000042349	147 BLUE JAY	REAGAN JACK & SHEILA	147 BLUE JAY ST	STEPHENVILLE	TX	76401-5926
R000042818	116 BLUE JAY	SMITH RANDY & KELLY	116 BLUE JAY	STEPHENVILLE	TX	76401-0000
R000042850	135 BLUE JAY	STEPHENSON JAMES HERRING	135 BLUE JAY ST	STEPHENVILLE	TX	76401
R000033191	150 RIVER NORTH BLVD	STEPHENVILLE MED DEV CO	BOX 1317	STEPHENVILLE	TX	76401-0000
R000065896	160 RIVER NORTH BLVD	STEPHENVILLE MED DEV CO #3	150 RIVER NORTH BLVD	STEPHENVILLE	TX	76401
R000042843	121 BLUE JAY	STEPHENVILLE RENTALS LLC	181 S GRAHAM	STEPHENVILLE	TX	76401
R000033178	100 ADOBE DR	TERRY VETERANS TRUST	100 ADOBE DR	STEPHENVILLE	TX	76401
R000042846	127 BLUE JAY	TRAINHAM SUSAN	PO BOX 139	LINGLEVILLE	TX	76461
R000042815	110 BLUE JAY	TROTTER MABEL L	126 BEN HOGAN DR	STEPHENVILLE	TX	76401-5915
R000014951	2251 W LINGLEVILLE RD	WINDMASS VILLIAGE III PORTFOLIO OWNER LLC	100 CRESCENT CT, SUITE 270	DALLAS	TX	75201
R000066710	710 SPRING MEADOW	WOOTAN GARY MARK	710 SPRING MEADOW ST	STEPHENVILLE	TX	76401

# BLOCK 1

BLUE JAY DRIVE

50'

LOT 1

LOT 2

## OAK TREE ADDITION BLOCK 2

LOT 13

LOT 14

## BLOCK 3

VANTAGE  
DRIVE

N 59°35'55" E 180.81'

N 60°06'32" E 169.27'

N 52°05'58" W 232.24'

N 60°06'32" E 1035.74'

10' UTILITY EASEMENT

2.119 ACRES  
92,283 SQ. FEET

7.664 ACRES  
333,838 SQ. FEET

COVENANT LEGACY, LLP  
37.34 ACRES  
DOCUMENT NO. 2009-04635

### JARRETT MENELEE SURVEY ABSTRACT NO. 520

## OAK TREE ADDITION BLOCK 8 PHASE V

LOT 6

FRONTIER EXCHANGE LANDLORD GROUP LLC  
DOCUMENT NO. 2021-05162

LINGLEVILLE HIGHWAY  
(E.M. HIGHWAY NO. 8)

120'

N 55°58'36" W 363.86'

N 37°54'02" E 300.00'

S 37°54'02" W 589.03'

107.22'  
S 60°05'56" W

N 52°05'58" W 392.16'

S 37°16'40" W 432.35'

S 29°53'28" E 355.07'

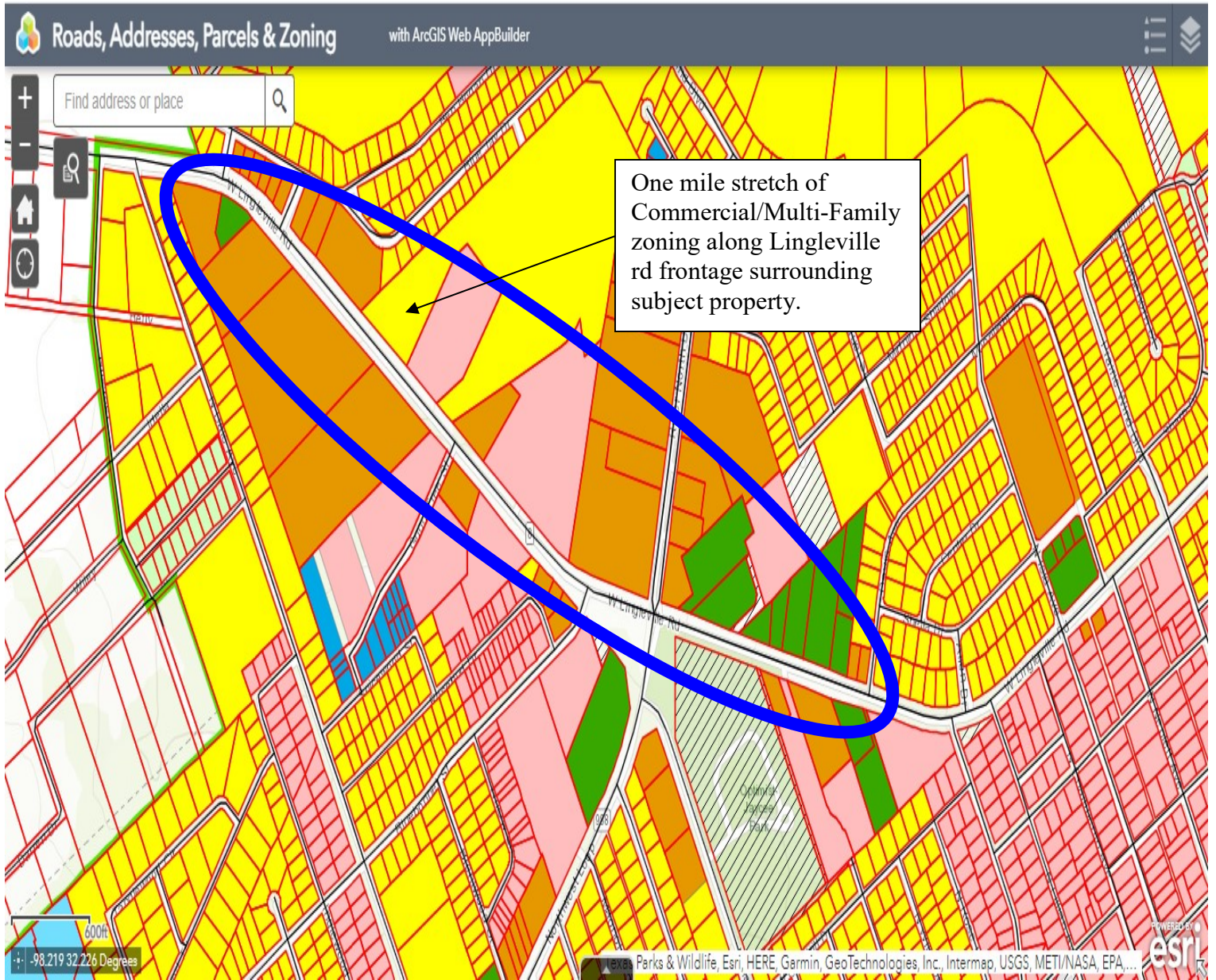
OVERHEAD ELECTRIC TRANSMISSION LINE  
BRAZOS RIVER TRANSMISSION  
VOL. 280, PG. 351

CENSUS LINE

CENSUS LINE

LINE	BEARING	DISTANCE
L1	N 55°58'36" W	60.14'





Ben Hogan

Blue Jay Dr

Inbotham Brothers

2.119 acre Commercial Site

7.664 acre Senior Site

19.968 acre Residential

Dollar General

Straight from