



## BOARD OF ADJUSTMENT MEETING

City Hall Council Chambers, 298 W. Washington  
Thursday, February 08, 2024 at 4:00 PM

### AGENDA

#### CALL TO ORDER

#### MINUTES

- [1.](#) Consider Approval of January 11, 2024 Minutes

#### PUBLIC HEARING

- [2.](#) Case No.: V2024-003

Applicant Wayne Wooley, representing JDW Consulting Company & Triple W Remodels, is requesting a variance from Section 154.05.6.D.(B)(4) Minimum Depth of Front Setback for property located at 1390 Paddock, being Parcel R31152, being BLOCK 11; LOT 1B & 2A of the S3200 CROW STYLES ADDITION of the City of Stephenville, Erath County, Texas.

- [3.](#) Case No.: V2024-004

Applicant Wayne Wooley, representing JDW Consulting Company & Triple W Remodels, is requesting a variance from Section 154.05.6.D.(B)(6)(b) Minimum Width of Side Setback for a Corner Lot for property located at 1390 Paddock, being Parcel R31152, being BLOCK 11; LOT 1B & 2A of the S3200 CROW STYLES ADDITION of the City of Stephenville, Erath County, Texas.

#### ADJOURN

*In accordance with the Americans with Disabilities Act, persons who need accommodation to attend or participate in this meeting should contact City Hall at 254-918-1287 within 48 hours prior to the meeting to request such assistance.*



## BOARD OF ADJUSTMENT MEETING

City Hall Council Chambers, 298 W. Washington  
Thursday, January 11, 2024 at 4:00 PM

### MINUTES

The Board of Adjustment of the City of Stephenville, Texas, convened on Thursday, January 11, 2024 at 4:00 PM, in the City Hall Council Chambers, 298 W. Washington, for the purpose of a Board of Adjustment Meeting, with the meeting being open to the public and notice of said meeting, giving the date, time, place and subject thereof, having been posted as prescribed by Chapter 551, Government Code, Vernon's Texas Codes Annotated, with the following members present, to wit:

**MEMBERS PRESENT:** Moumin Quazi, Chairperson  
JJ Conway, Vice-Chairperson  
Robert Nimmo  
Mary Beach-McGuire

**MEMBERS ABSENT:** Dean Parr

**OTHERS ATTENDING:** Steve Killen, Director of Development Services, via Zoom  
Tina Cox, Board Secretary

#### CALL TO ORDER

Chairman Quazi called the meeting to order at 4:00 p.m.

#### ELECTION OF OFFICERS

Nomination for Chair. MOTION by Robert Nimmo, second by Mary Beach McGuire, to nominate Moumin Quazi for Chair. MOTION CARRIED by unanimous vote.

Nomination for Vice-Chair. MOTION by Robert Nimmo, second by Mary Beach McGuire, to nominate JJ Conway for Vice-Chair. MOTION CARRIED by unanimous vote.

#### MINUTES

##### 1. Consider Approval of December 14, 2023 Minutes

MOTION by JJ Conway, second by Robert Nimmo, to approve minutes as presented. MOTION CARRIED by unanimous vote of Board Members who were present at the December 14, 2023 meeting.

#### PUBLIC HEARING

##### 2. Case No.: V2024-001

**Applicant Joel Allen, representing Brad Allen, is requesting a variance from Section 154.05.6.D(B)(5) Minimum Depth of Rear Setback for property located at 749 Neblett, being Parcel R30821 being BLOCK 7; LOT 1A of the S2800 COLLEGE HEIGHTS of the City of Stephenville, Erath County, Texas.**

Steve Killen, Director of Development Services, gave the following report:

Mr. Allen is requesting a 5' variance relating to the rear setback of 25' in order to build a four-unit residential structure. The property will continue to front Neblett. Mr. Allen meets the front setback and is requesting a variance for the side setback. Director Killen brought to the Board's attention that on the proposed site plan that was provided, the rear setback would be 24'4" and that Mr. Allen would like the 5' variance in case there were any challenges that might be presented during construction. Mr. Killen concluded his presentation by pointing out that the surrounding neighborhood has various setbacks already that are within a 15–20-foot range.

Chairman Quazi opened the public hearing at 4:09 PM.

Applicant Joel Allen spoke in favor of the request and informed the Board that the project will be student housing given its close proximity to Tarleton State University and he is requesting the setbacks in order to provide the flexibility that is needed for the project.

No one came forward to speak against the variance request.

Chairman Quazi closed the public hearing at 4:10 PM

MOTION by Mary Beach McGuire, second by JJ Conway, to approve Case No. V2024-001 as presented.

Member Mary Beach McGuire asked if the proposed units and parking for said units would be located off of Neblitt in which Mr. Allen replied in the affirmative.

MOTION PASSED with a unanimous vote.

3. **Case No.: V2024-001**

**Applicant Joel Allen, representing Brad Allen, is requesting a variance from Section 154.05.6.D(B)(6)(b) Minimum Width of Side Setback for a Corner Lot for property located at 749 Neblett, being Parcel R30821 being BLOCK 7; LOT 1A of the S2800 COLLEGE HEIGHTS of the City of Stephenville, Erath County, Texas.**

Steve Killen, Director of Development Services, gave the following report:

The corner lot side setback for this property located in the current zoning district is 25'. According to the site plan that was submitted, Mr. Allen believes that he can reach a 22'3" side setback along Shirley Street. Mr. Killen continued by stating that Mr. Allen is requesting a 5' reduction in order to allow a 20' side setback along Shirley Street. Director Killen concluded his presentation by pointing out that the surrounding neighborhood has various setbacks that are greater and less than the 25' setback.

Chairman Quazi opened the public hearing at 4:14 PM.

Applicant Joel Allen spoke in favor of the request.

Ms. Beach McGuire inquired of Mr. Allen regarding the installation of sidewalks on this project. Mr. Allen answered that yes, he would be installing sidewalks.

No one came forward to speak against the variance request.

Chairman Quazi closed the public hearing at 4:14 PM

MOTION by Mary Beach McGuire, second by JJ Conway, to approve Case No. V2024-001 as presented.

Ms. Beach McGuire asked Mr. Allen if he was planning on installing sidewalks on this project. Mr. Allen answered that yes, he would be installing sidewalks in front of the project.

MOTION PASSED with a unanimous vote.

**ADJOURN**

The meeting was adjourned at 4:15 p.m.

APPROVED:

ATTEST:

\_\_\_\_\_  
Moumin Quazi, Chair

\_\_\_\_\_  
Tina Cox, Board Secretary

# Board of Adjustment STAFF REPORT



Item 2.

**SUBJECT:** Case No.: V2024-003  
Applicant Wayne Wooley, representing JDW Consulting Company & Triple W Remodels, is requesting a variance from Section 154.05.6.D.(B)(4) Minimum Depth of Front Setback for property located at 1390 Paddock, being Parcel R31152, being BLOCK 11; LOT 1B & 2A of the S3200 CROW STYLES ADDITION of the City of Stephenville, Erath County, Texas.

**MEETING:** Board of Adjustment – February 8, 2024

**DEPARTMENT:** Development Services

**STAFF CONTACT:** Steve Killen

## BACKGROUND:

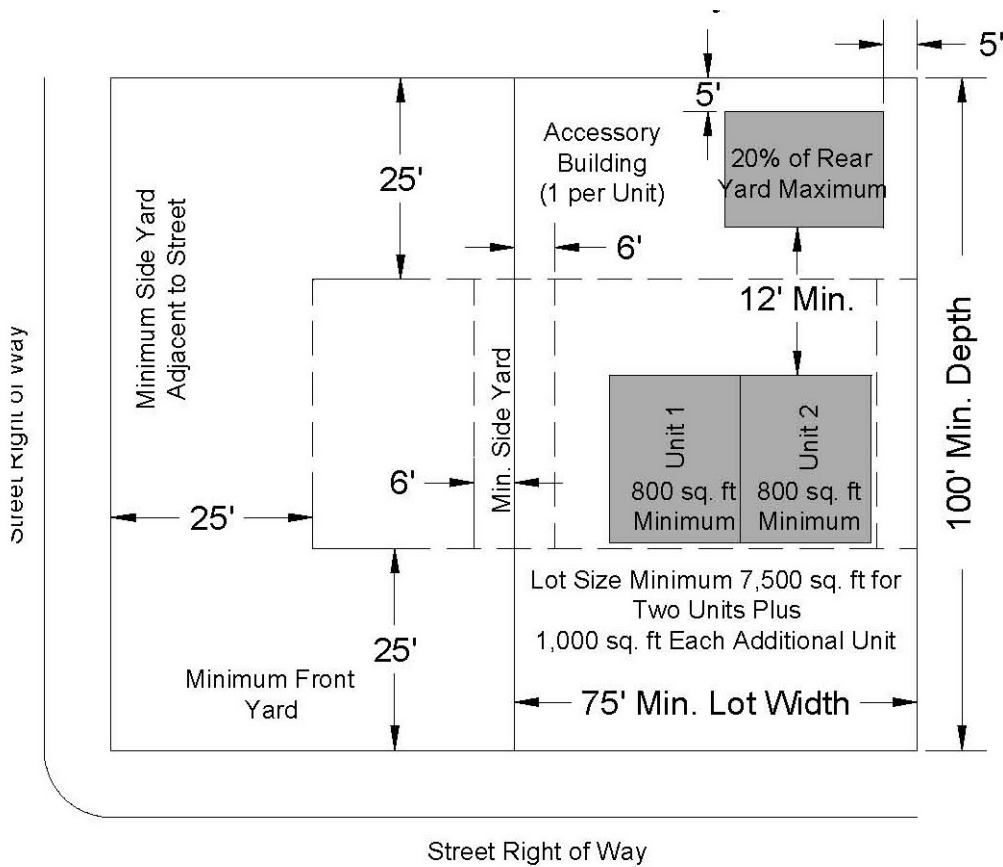
Mr. Wooley is requesting a 1'10" variance relating to the front setback of 25' in order to build a duplex.

Setbacks of existing properties along Paddock range from 17-25 feet, with the average being approximately 17 feet. This structure, if the variance is approved, will have a front setback of side setback of 23'2".

### 5.6.D Height, Area, Yard and Lot Coverage Requirements.

- (B) *Two-to-four family.*
- (1) Minimum lot area: 7,500 ft<sup>2</sup> for two dwelling units, plus 1,000 ft<sup>2</sup> for each additional dwelling unit.
  - (2) Minimum lot width and lot frontage: 75 feet.
  - (3) Minimum lot depth: 100 feet.
  - (4) Minimum depth of front setback: 25 feet.
  - (5) Minimum depth of rear setback: 25 feet.
  - (6) Minimum width of side setback:
    - (a) Internal lot: six feet.
    - (b) Corner lot: 25 feet from intersecting side street.
  - (7) Building size:
    - (a) Maximum coverage as a percentage of lot area: 40%.
    - (b) Minimum area of each dwelling unit: 800 ft<sup>2</sup>.
  - (8) Accessory buildings:
    - (a) Maximum accessory building coverage of rear yard: 20%.
    - (b) Maximum area of each accessory building: 200 ft<sup>2</sup>.
    - (c) Maximum number of accessory buildings: one per unit.
    - (d) Minimum depth of side setback: five feet.
    - (e) Minimum depth of rear setback: five feet.
    - (f) Minimum depth from the edge of the main building: 12 feet.
  - (9) Maximum height of structures: 35 feet.

- (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



**VARIANCE:**

Section 154.21.1.I

1. A variance from the literal enforcement of the Zoning Ordinance in order to achieve a reasonable development of the property. Whenever owing to exceptional and extraordinary conditions, the literal enforcement of the zoning regulations will result in unnecessary hardship in the development of the property, an appeal for a variance may be filed with the Board of Adjustment.

2. When a property owner can show that a strict application of the terms of this ordinance relating to the use, construction or alteration of buildings or structures or the use of land will impose upon him or her practical difficulties or particular hardship, the Board may consider and allow variations of the strict application of the terms of this ordinance if the variation are in harmony with the general purpose and intent of this ordinance, and the Board is satisfied, under the evidence heard by it, that a granting of the variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable hardship or difficulty so great as to warrant a variation from the Zoning Regulations.

3. The Board may authorize a variance where by reason of exceptional narrowness, shallowness, or shape of specific piece of property of record at the time of the adoption of this ordinance, or by reason of exceptional situation or condition of a specific piece of property, the strict application of a provision of this ordinance would result in peculiar and exceptional practical difficulties and particular hardship upon the owner of the property and amount to a practical confiscation of the property as distinguished from a mere inconvenience to the owner, provided the variation can be granted without substantial detriment to the public good, and without

substantially impairing the general purpose and intent of the comprehensive plan as established by the regulations and provisions contained in this ordinance.

(a) Papers required. An appeal for a variance shall include:

1. A site plan, drawn to scale, showing the location and dimension of the lot and of all existing and proposed improvements:
  - a. When an appeal is based upon hardship resulting from sharp changes in topography or unusual terrain features, the site plan shall include topographic information related to known base points of surveys, and profiles of the particular problem involved, including relationship to topographic features of adjoining properties.
  - b. When an appeal is submitted for variance of side yard or rear yard requirements, the applicant shall provide the same information for the properties adjoining the common lot line as may be applicable to the appealed requirements.
  - c. When an appeal is submitted for a variance from front yard setback, or for side yard setback on aside street, the applicant shall furnish a strip map showing the setback of main walls of all buildings on the same side of the street within a distance of 200 feet of the applicant's property.
2. A statement of facts and reasons why the Zoning Regulations should not be applied to the property in question and how the standards governing the Board's action would be satisfied; and
3. A statement by the Enforcing Officer citing the reasons for refusing to issue a permit under the plans submitted.

(b) Basis for action.

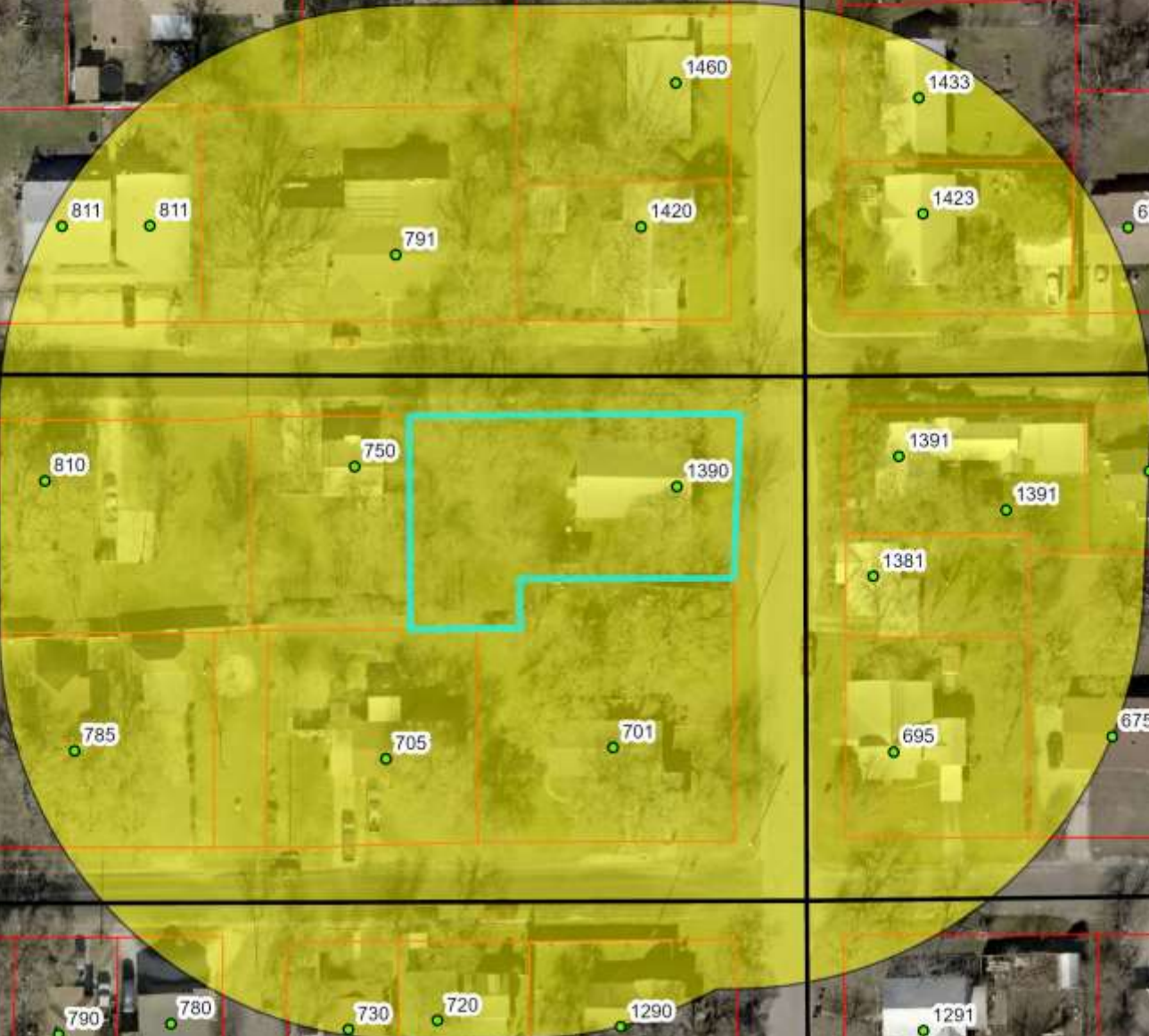
- (1) Before acting on an appeal for variance the Board shall consider:
  - a. The facts filed with the application;
  - b. The testimony presented at the public hearing on the appeal;
  - c. The City Staff's technical report on the appeal; and d. The Board's findings in its field inspection of the property.
- (2) The Board may grant an appeal, subject to such terms and conditions as it may fix, provided

#### ALTERNATIVES:

1. Approve the Variance Request
2. Deny the Variance Request

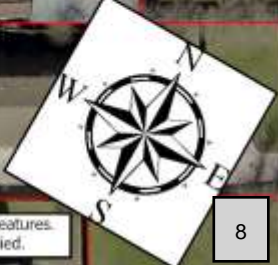
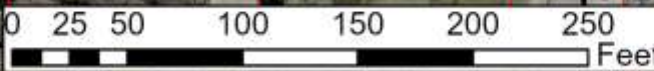
# Parcel ID R31152 200 Ft. Buffer

Item 2.



**Legend**

- Addresses
- Roads
- Parcels
- 200 Ft Buffer



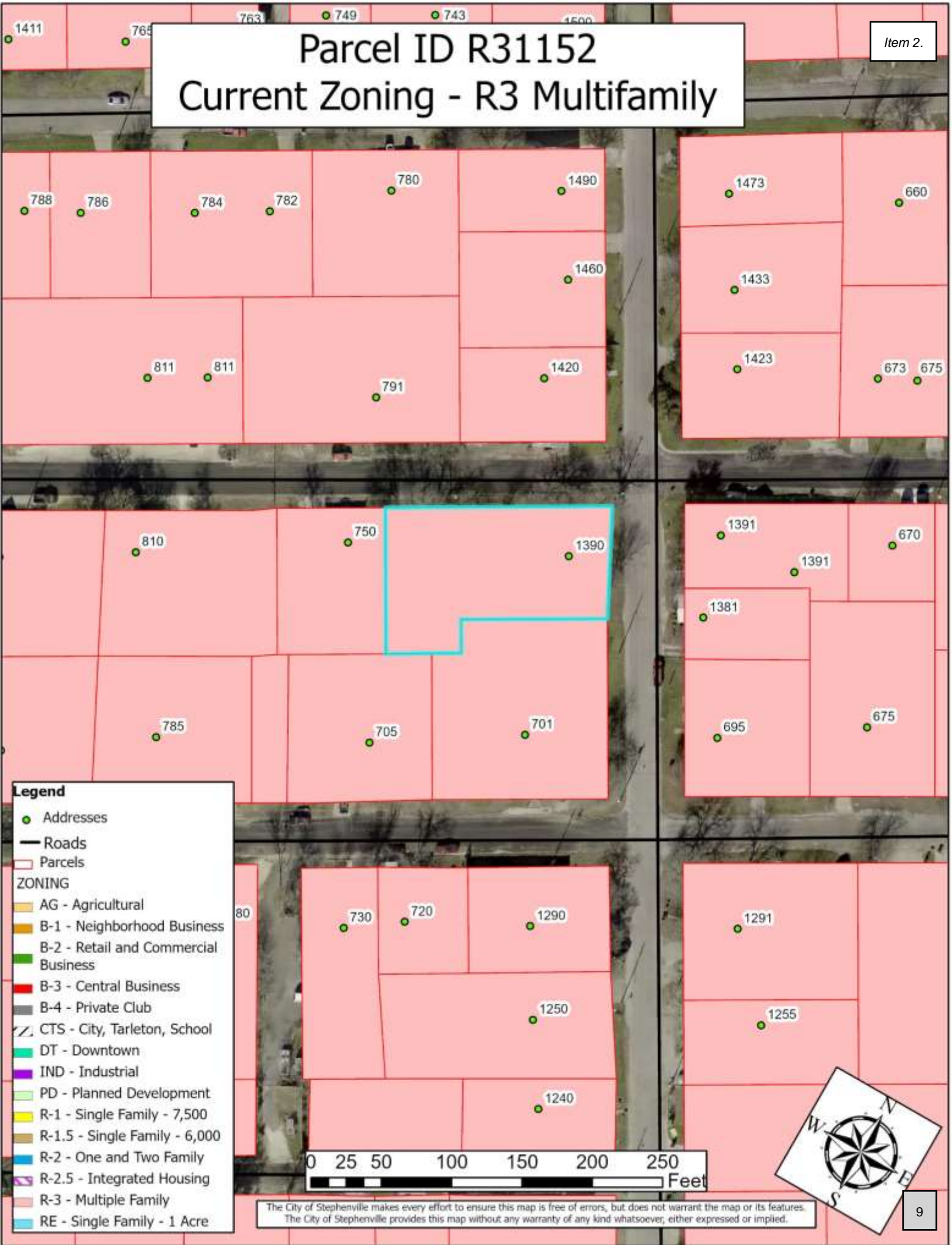
The City of Stephenville makes every effort to ensure this map is free of errors, but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either expressed or implied.



# Parcel ID R31152

## Current Zoning - R3 Multifamily

Item 2.

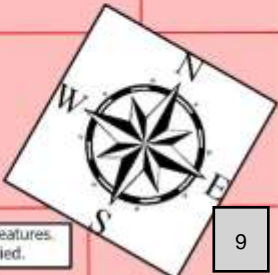
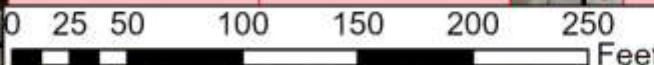


**Legend**

- Addresses
- Roads
- Parcels

**ZONING**

- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tarleton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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# Parcel ID R31152 Future Land Use - Single Family

Item 2.



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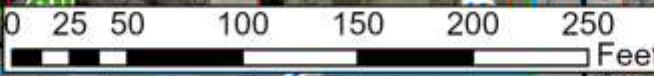
# Parcel ID R31152 Water & Sewer Utilities

Item 2.

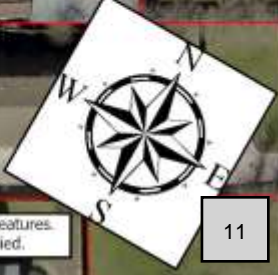


**Legend**

- Addresses
- Roads
- Sewer Lines
- Water Lines
- ▭ Parcels



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## Parcel R31152 Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000031132	784 PARK STREET	6 + 6 HOUSING CORPORATION	PO BOX 15173	SAN ANTONIO	TX	78212
R000028818	730 ELM	ANGUIANO INES & NOHEMI	720 WEST ELM	STEPHENVILLE	TX	76401
R000072583	0 ELM	ANGUIANO J INES & NOHEMI	720 ELM	STEPHENVILLE	TX	76401
R000028817	720 ELM	ANGUIANO J INES & NOHEMI	720 ELM	STEPHENVILLE	TX	76401
R000031149	785 ELM	ANGUIANO JOSE INES & NOHEMI	720 W ELM ST	STEPHENVILLE	TX	76401
R000031156	1381 PADDOCK	BARRON SACRAMENTO & MA LUISA	1381 PADDOCK	STEPHENVILLE	TX	76401-0000
R000031147	1294 MCCART	BOYD CHRISTOPHER C	1294 N MCCART	STEPHENVILLE	TX	76401
R000028815	1290 PADDOCK	BROWN JUSTIN M	3821 BEN CREEK CT	ALEDO	TX	76008
R000031154	701 ELM	CARLSON LANE G	701 W ELM	STEPHENVILLE	TX	76401
R000031125	780 PARK STREET	COATS JIM & PATSY	1187 AZALEA LN	STEPHENVILLE	TX	76401-0000
R000031126	791 OAK	GAINER GARY LEE & DOROTHY LOUISE GAINER	629 CR544	EASTLAND	TX	76448
R000031119	673 OAK	GILLESPIE JAMES KENNETH & ELAINE REV LIVING TRUST	3713 S 20TH ST	ABILENE	TX	79605
R000031155	695 ELM	HYLES CHARLES W	695 W ELM ST	STEPHENVILLE	TX	76401
R000031158	670 OAK	JUNGE SHELBY	PO BOX 2592	GLEN ROSE	TX	76043
R000031129	1490 PADDOCK	LAND LELA AMANDA	1490 PADDOCK	STEPHENVILLE	TX	76401
R000031159	675 ELM	LATHAM TYLER WADE	675 W ELM	STEPHENVILLE	TX	76401
R000031117	1433 PADDOCK	LAWSON KATHY	1433 N PADDOCK	STEPHENVILLE	TX	76401
R000031150	810 OAK	MAURITAS II LLC	1604 E 19TH	ROSWELL	NM	88201
R000031118	1423 PADDOCK	MOORE JAMIE T & DEANA M	1423 PADDOCK	STEPHENVILLE	TX	76401
R000031127	1420 PADDOCK	MURPHY JOSHUA D & DENNIS	1420 N PADDOCK	STEPHENVILLE	TX	76401
R000031153	705 ELM	NELSON BESSIE	674 N BARTON ST	STEPHENVILLE	TX	76401
R000028822	780 ELM	ORDONEZ ABEL A OSORIA	780 W ELM	STEPHENVILLE	TX	76401
R000031157	1391 PADDOCK	PHILLIPS RENTALS LLC	279 CR707	COTTER	AR	72626
R000031133	811 W OAK	ROOTED CAPITAL LLC	14604 SPITFIRE TRAIL	ROANOKE	TX	76262
R000031151	750 OAK	SHARP THOMAS EDWARD & AMANDA C SHARP	433 SCHOOLHOUSE RD	WINDTHORST	TX	76389
R000031152	1390 PADDOCK	TRIPLE W REMODELING, LLC AND	101 TANGLEWOOD LANE	STEPHENVILLE	TX	76401
R000031128	1460 PADDOCK	TUCKER JAMES LYNN & CATHY	1460 PADDOCK	STEPHENVILLE	TX	76401-0000
R000028800	1291 PADDOCK	WATKINS RESOURCES, LLC	10300 E CR105	MIDLAND	TX	79706

**SURVEY PLAT**

**LEGEND:**

UT-2 Copied from Red Found Marked "PRICE SURVEYING"

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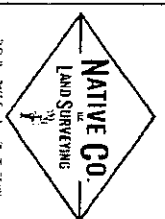
UT-30 Copied from Red Found Marked "PRICE SURVEYING"

**NOTES:**

1. State of Louisiana being U.S. State before for "Trust from Carver Trust (1897) within a subdivision using the Atlanta River (Covington) Network, Reference Frame 11 Survey Field Station in surface corners shown are U.S. 4813000300, effective date November 16, 2011, the subject of the Louisiana State Survey determined to be outside of the Louisiana State Survey.
2. All other monuments are as shown on the subject plat.
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**LEGAL DESCRIPTION:**

Being all of Lots 1-A and 2-A, Block 11, Crow Street Addition, in addition to the City of St. Louis, in Jefferson County, Missouri, as shown on the 1994 Map of the City of St. Louis, as recorded in Volume 281, Page 176, State Record, Jefferson County, Missouri.

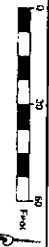
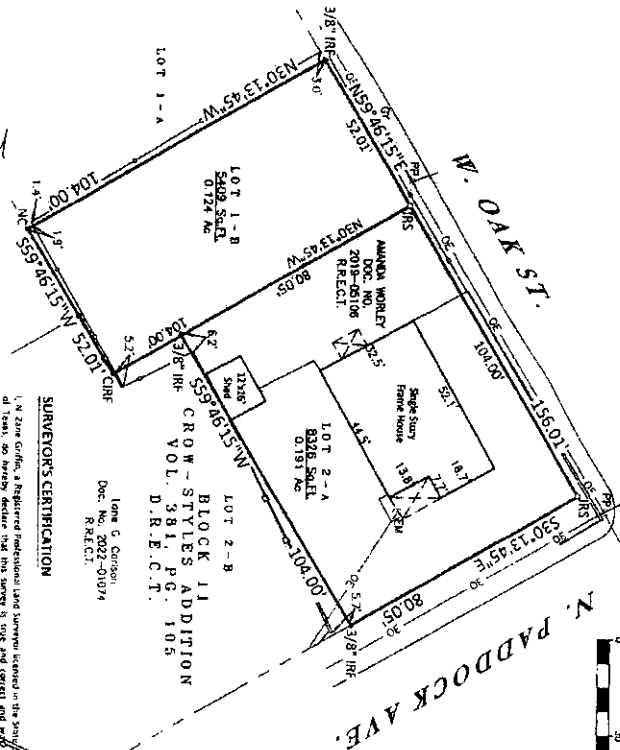


P.O. Box 2655 Springfield, IL 62788  
 daniel@nativeco.com  
 TRIPLE Form No. 10/24/97

DocuSigned by:  
**JOHN PAXTON WOOLLEY**  
 8A355504307CA7A

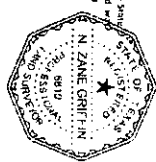
7/28/2023

*John Paxton Woolley*  
 6/30/2023

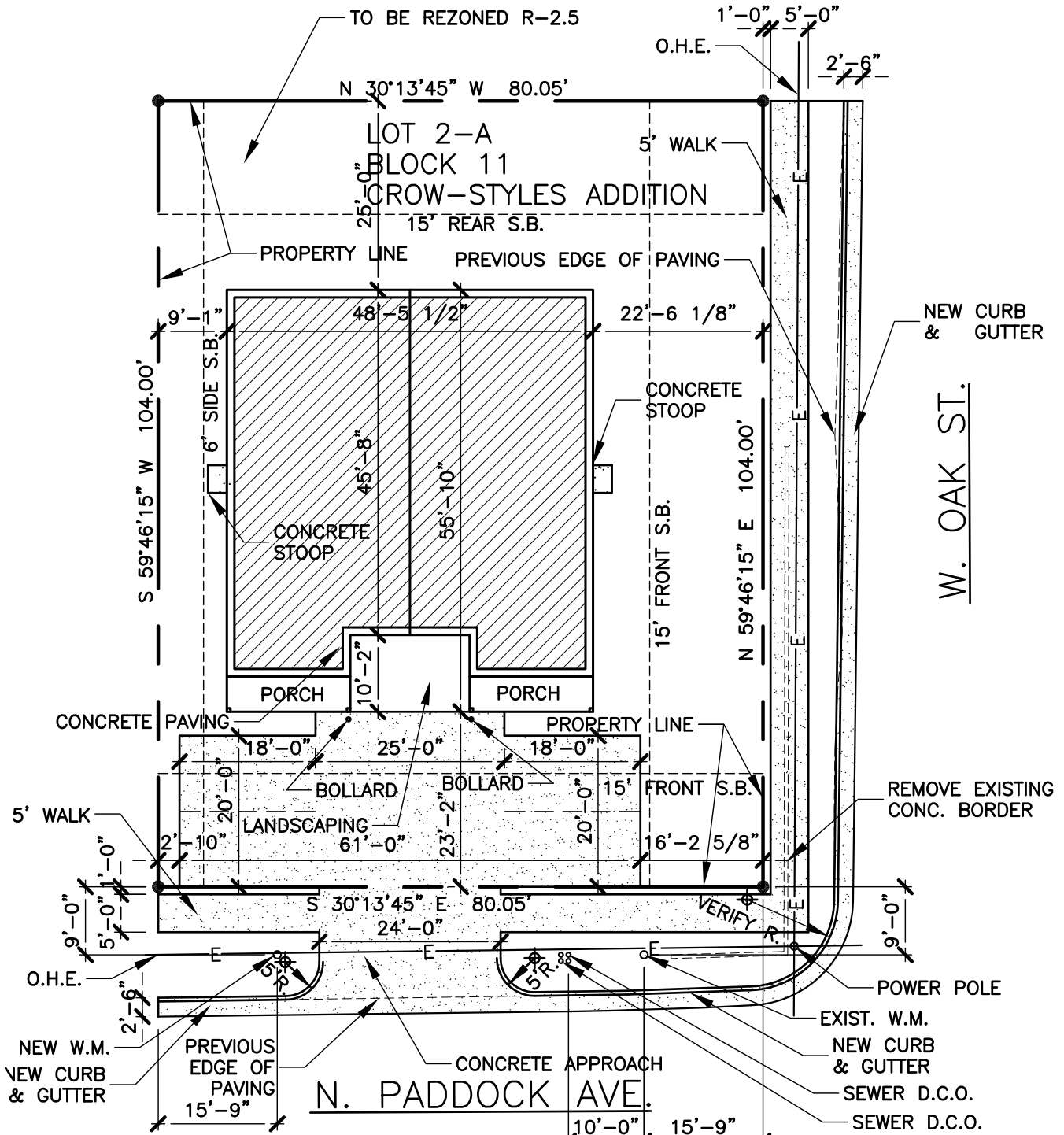


**SURVEYOR'S CERTIFICATION**

I, N. Zane Griffin, a Registered Professional Land Surveyor located in the State of Missouri, do hereby declare that this survey is true and correct and was prepared from an actual field inspection under my supervision on the 22nd day of June, 2023.

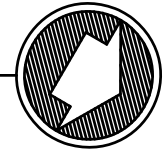


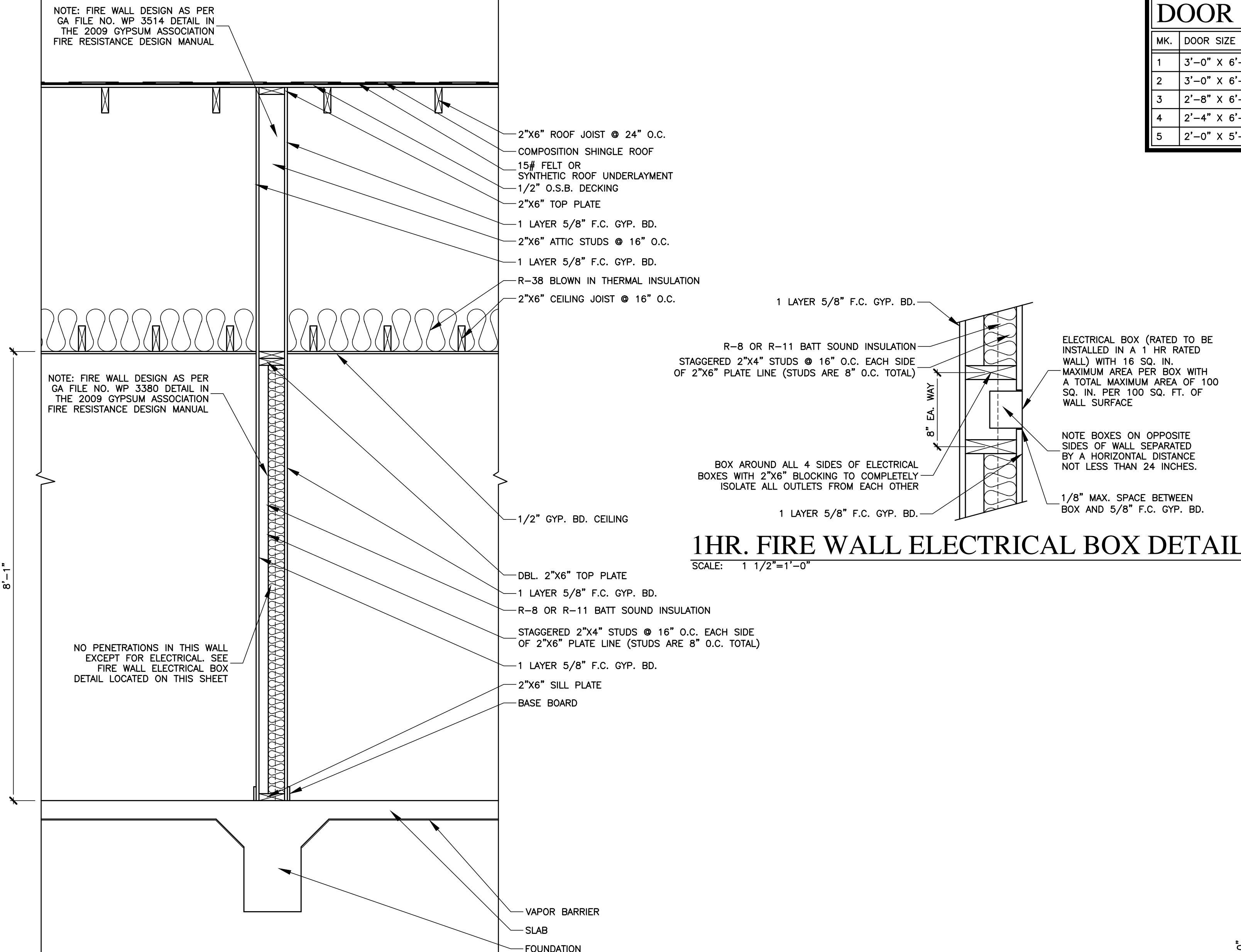
N. Zane Griffin (5510)  
 DATE: June 16, 2023



# SITE PLAN

SCALE: 1"=20'-0"





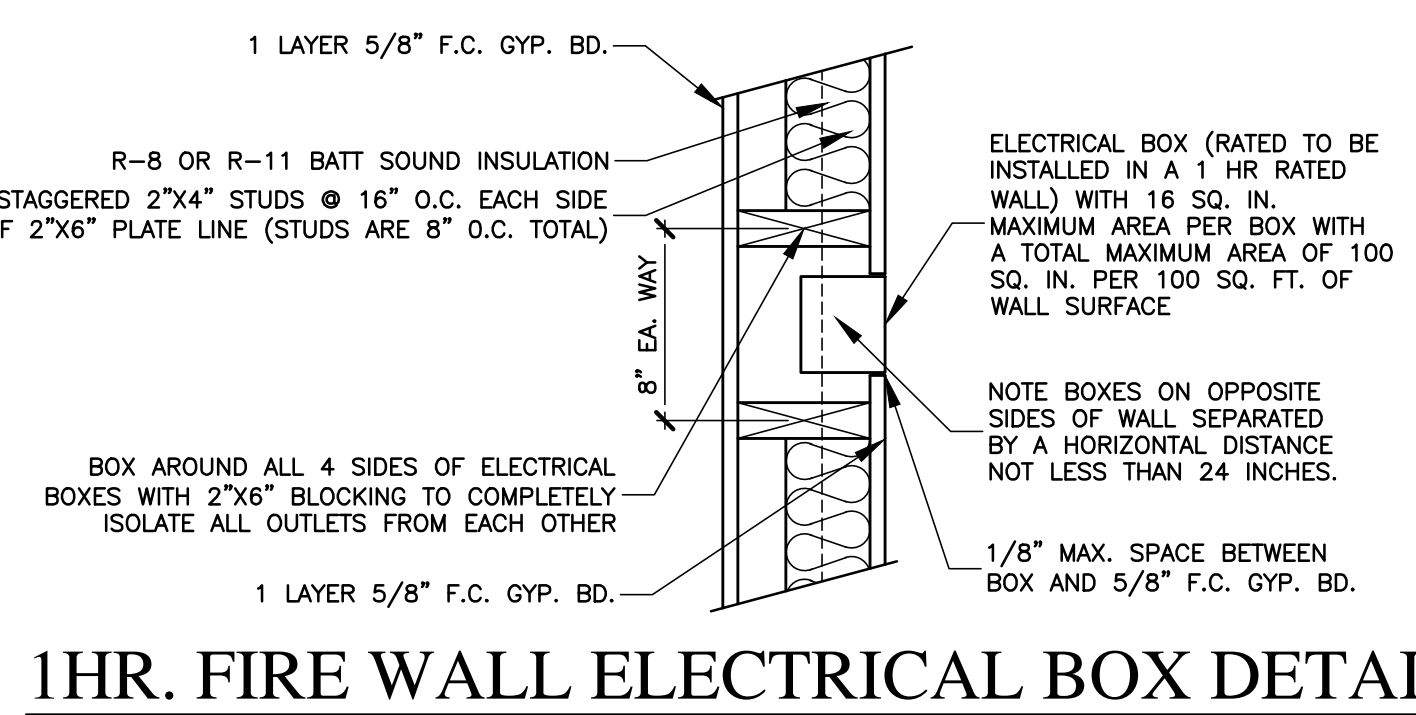
MK.	DOOR SIZE	DOOR DESCRIPTION
1	3'-0" X 6'-8" X 1 3/4"	ENTRY DOOR
2	3'-0" X 6'-8" X 1 3/4"	HALF GLASS DOOR
3	2'-8" X 6'-8" X 1 3/8"	INTERIOR DOOR
4	2'-4" X 6'-8" X 1 3/8"	INTERIOR DOOR
5	2'-0" X 5'-2" X 1 3/8"	INTERIOR W.H. CLOSET DOOR

MK.	WINDOW SIZE	OPERATION	GLAZING	FRAME
A	3'-0" X 5'-0"	SINGLE HUNG	LOW E INSULATED	SOLID VINYL
B	3'-0" X 3'-0"	SINGLE HUNG	LOW E INSULATED	SOLID VINYL

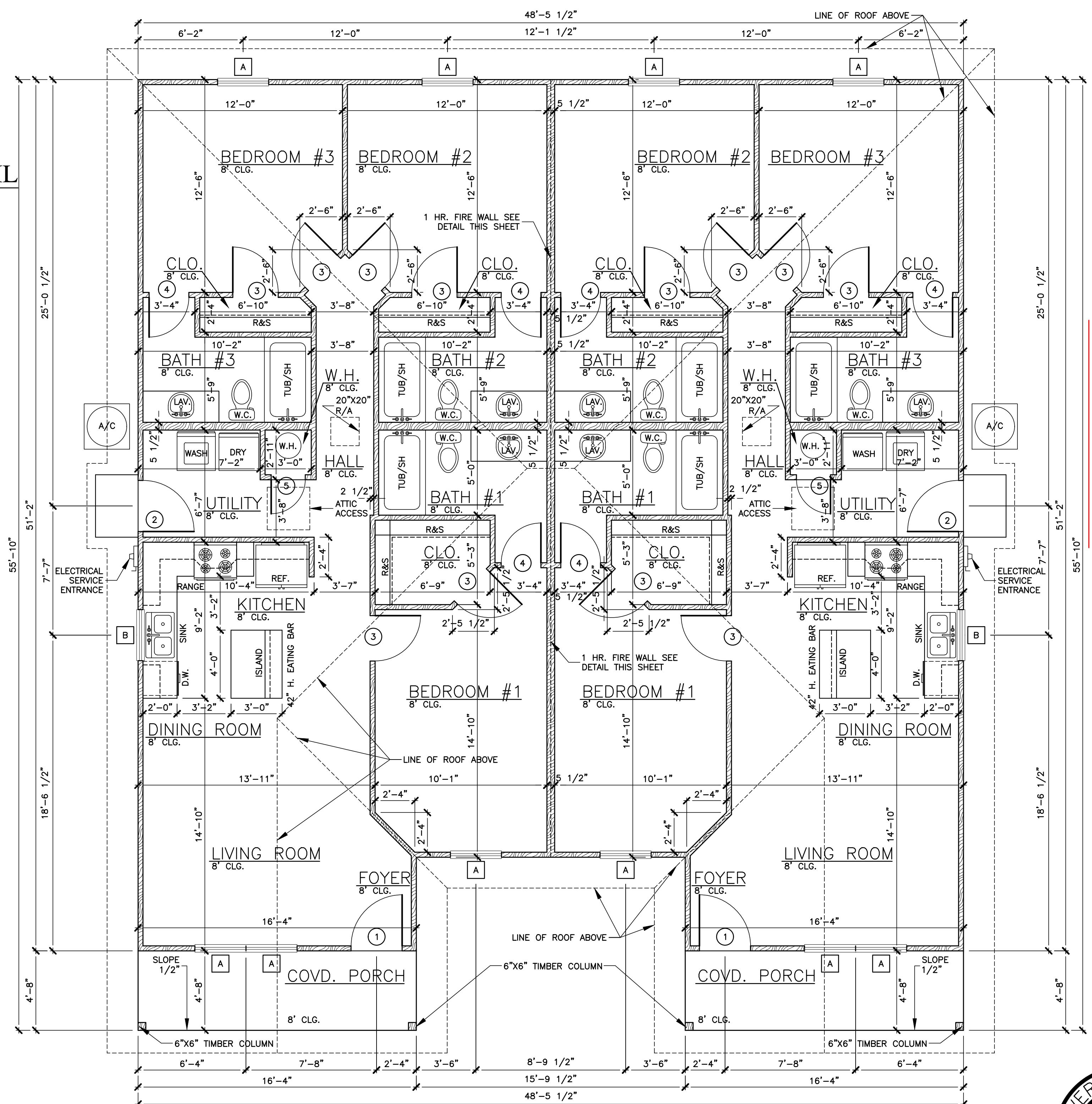
NOTE: TEMPERED SAFETY GLAZING IS REQ. IN THE FOLLOWING LOCATIONS:  
GLAZING ADJACENT TO AND WITHIN 24" OF A DOOR  
GLAZING IN SWINGING, SLIDING, STORM, AND SHOWERS.  
GLAZING THAT MEETS ALL THE FOLLOWING CONDITIONS  
INDIVIDUAL PANE OF GLAZING GREATER THAN 9 SQ.FT.  
BOTTOM EDGE LESS THAN 18" ABOVE FLOOR  
TOP EDGE GREATER THAN 36" ABOVE FLOOR  
WALKING SURFACE WITHIN 36" OF GLAZING.

AREA NAME	UNIT AREA	BUILDING AREA
LIVING	1196.2986	2392.5972
FRONT PORCH	46.2778	92.5556
SLAB	1242.5764	2485.1528
ROOF	1,617.4064	3234.8128

NOTE: ROOF AREA IS CALCULATED USING A ROOF PITCH FACTOR OF 1.1180 FOR A 6 IN 12 ROOF PITCH MULTIPLIED BY THE ROOF'S PLAN VIEW SQUARE FOOTAGE OF 2893.3924 SQ. FT.



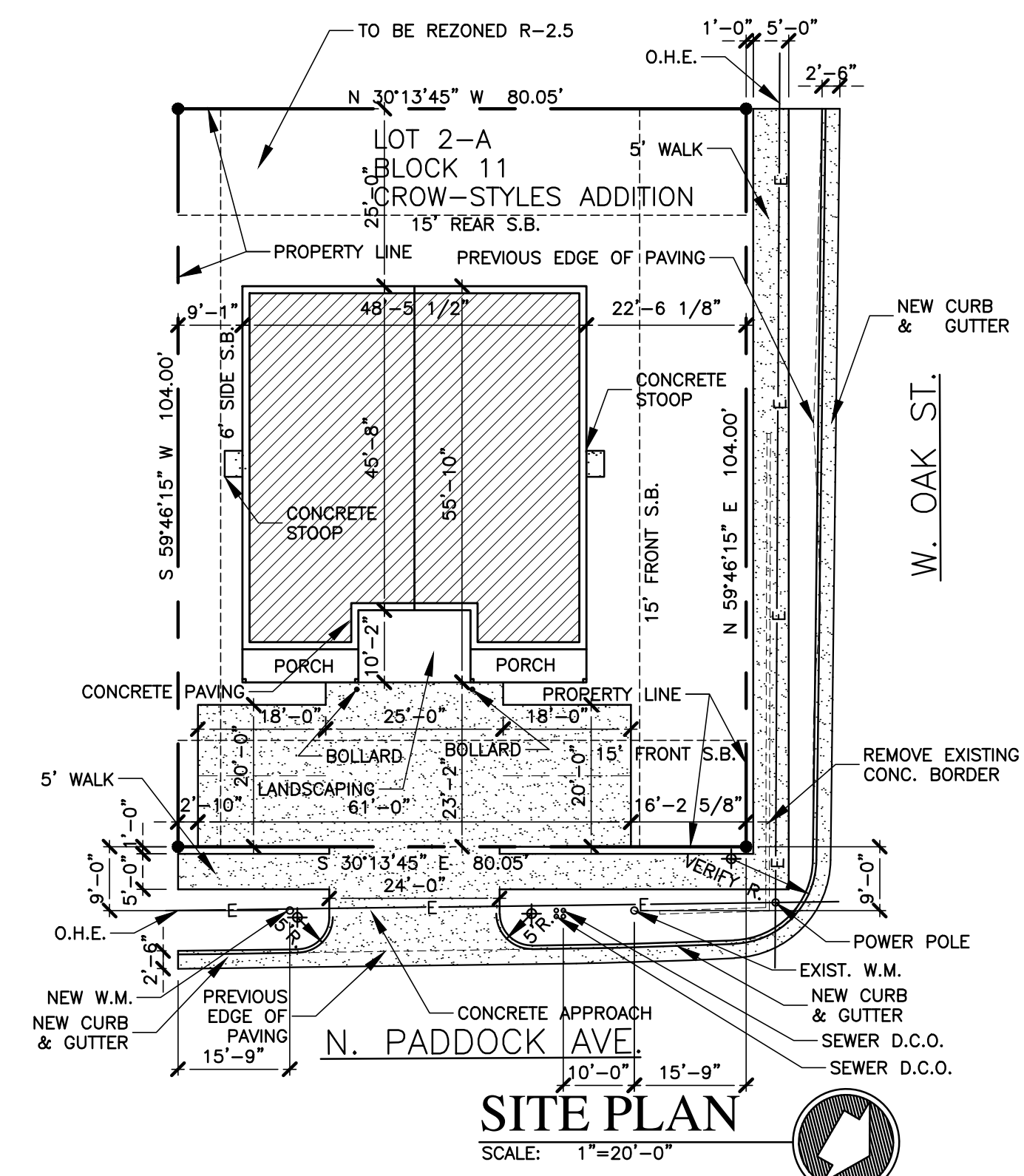
**1 HR. FIRE WALL SECTION**  
SCALE: 3/4"=1'-0"



**FLOOR PLAN**  
SCALE: 1/4"=1'-0"

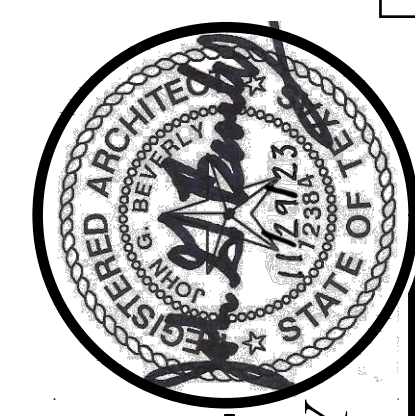
**GENERAL NOTES:**

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN ALL APPLICABLE SECTIONS OF THE 2015 IRC (INTERNATIONAL RESIDENTIAL CODE).
2. DIMENSIONS ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
3. COLORS OF SIDING, ROOFING AND TRIM SHALL BE SELECTED BY OWNER.
4. WALL BOARD SHALL BE 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED.
5. TRIM INCLUDING BUT NOT LIMITED TO BASE BOARDS, DOOR CASING AND WINDOW STOOLS OR SILLS SHALL BE AS SELECTED BY OWNER.
6. EXTERIOR WALL INSULATION SHALL BE AS SELECTED BY OWNER, THAT MEETS THE REQUIREMENTS OF THE 2015 IECC (INTERNATIONAL ENERGY CONSERVATION CODE).
7. CEILING INSULATION SHALL BE AS SELECTED BY OWNER, THAT MEETS THE REQUIREMENTS OF THE 2015 IECC (INTERNATIONAL ENERGY CONSERVATION CODE).
8. ALL GLAZING AND DOORS MUST MEET ALL REQUIREMENTS OF THE 2015 IRC (INTERNATIONAL RESIDENTIAL CODE) AND 2015 IECC (INTERNATIONAL ENERGY CONSERVATION CODE).
9. INTERIOR FINISHES INCLUDING BUT NOT LIMITED TO PAINT, WALL PAPER, CARPETING, VINYL FLOORING, WOOD FLOORING AND TILE SHALL BE AS SELECTED BY OWNER.
10. HOOKUPS REQUIRED FOR PLUMBING FIXTURES AND APPLIANCES SHALL BE AS PER MANUFACTURER SPECIFICATIONS AND SHALL MEET REQUIREMENTS SET FORTH IN THE 2015 IPC (INTERNATIONAL PLUMBING CODE), 2014 NEC (NATIONAL ELECTRIC CODE).
11. IT SHALL BE THE ULTIMATE RESPONSIBILITY OF THE OWNER (CLIENT) TO FULLY REVIEW THESE DRAWINGS AND VERIFY DOOR & WINDOW SCHEDULES AND ALL OTHER ITEMS THAT MAY AFFECT THE DESIRED RESULT. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES SUCH THAT ANY REQUIRED DESIGN CHANGE CAN BE PROCESSED PRIOR TO THE START OF CONSTRUCTION.
12. CONTRACTORS SHALL VERIFY ACTUAL DIMENSIONS OF ALL PLUMBING FIXTURES, H.V.A.C. EQUIPMENT AND APPLIANCES AND SHALL MAKE ANY MODIFICATIONS TO DIMENSIONS SO THAT ALL ITEMS FIT PROPERLY.
13. ALL ROOF PENETRATIONS SHALL BE MADE ON BACK SIDE OF ROOF SO AS NOT TO BE VISIBLE FROM FRONT OF HOUSE.
14. EXTERIOR SHEATHING SHALL BE O.S.B. SHEATHING
15. HOUSE SHALL HAVE TYEEK OR EQUAL HOUSE WRAP.
16. PROPER FLASHING SHALL BE PROVIDED WHERE NECESSARY ABOVE DOORS, WINDOWS, AROUND ROOF PENETRATIONS, WHERE LOWER ROOF LINES INTERSECT WALLS OR ANY OTHER LOCATION THAT WATER PENETRATION MAY OCCUR.
17. THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, 333 GUADALUPE, SUITE 2-350, AUSTIN, TEXAS 78701, HAS JURISDICTION OVER INDIVIDUALS LICENSED UNDER THE ARCHITECT'S REGISTRATION LAW, TEXAS CIVIL STATUTES, ARTICLE 249o.



**SITE PLAN**  
SCALE: 1"=20'-0"

**\*REVISED 11/29/23\***



A DUPLEX DESIGNED FOR  
**WAYNE WOOLEY & PAXTON WOOLEY**  
1390 N. PADDOCK AVE., STEPHENVILLE, TEXAS

**JOHN G. BEVERLY** • ARCHITECT  
STEPHENVILLE, TEXAS 76401  
P.O. BOX 1990  
(254) 396-9999 M.  
john@gbeverly.com

DRAWINGS THIS SHEET:  
FLOOR PLAN  
1 HR. WALL SECTION & ELCT. BOX DETAIL  
SCHEDULES & NOTES  
START DATE:  
6/21/23  
JOB NUMBER:  
23R25  
DRAWN BY:  
J.G.B.  
REVISED:  
11/29/23  
SHEET NO  
A-1  
OF ..



# Board of Adjustment STAFF REPORT



Item 3.

**SUBJECT:** Case No.: V2024-004  
Applicant Wayne Wooley, representing JDW Consulting Company & Triple W Remodels, is requesting a variance from Section 154.05.6.D(B)(6)(b) Minimum Width of Side Setback for a Corner Lot for property located at 1390 Paddock, being Parcel R31152, being BLOCK 11; LOT 1B & 2A of the S3200 CROW STYLES ADDITION of the City of Stephenville, Erath County, Texas.

**MEETING:** Board of Adjustment – February 8, 2024  
**DEPARTMENT:** Development Services  
**STAFF CONTACT:** Steve Killen

## BACKGROUND:

Mr. Wooley is requesting a 2'6" variance relating to the corner lot width side setback of 25' in order to build a two-unit duplex.

Setbacks of existing properties along Oak range from 8-18 feet, with the average being approximately 13 feet. This structure, if the variance is approved, will have a side setback of 22'6".

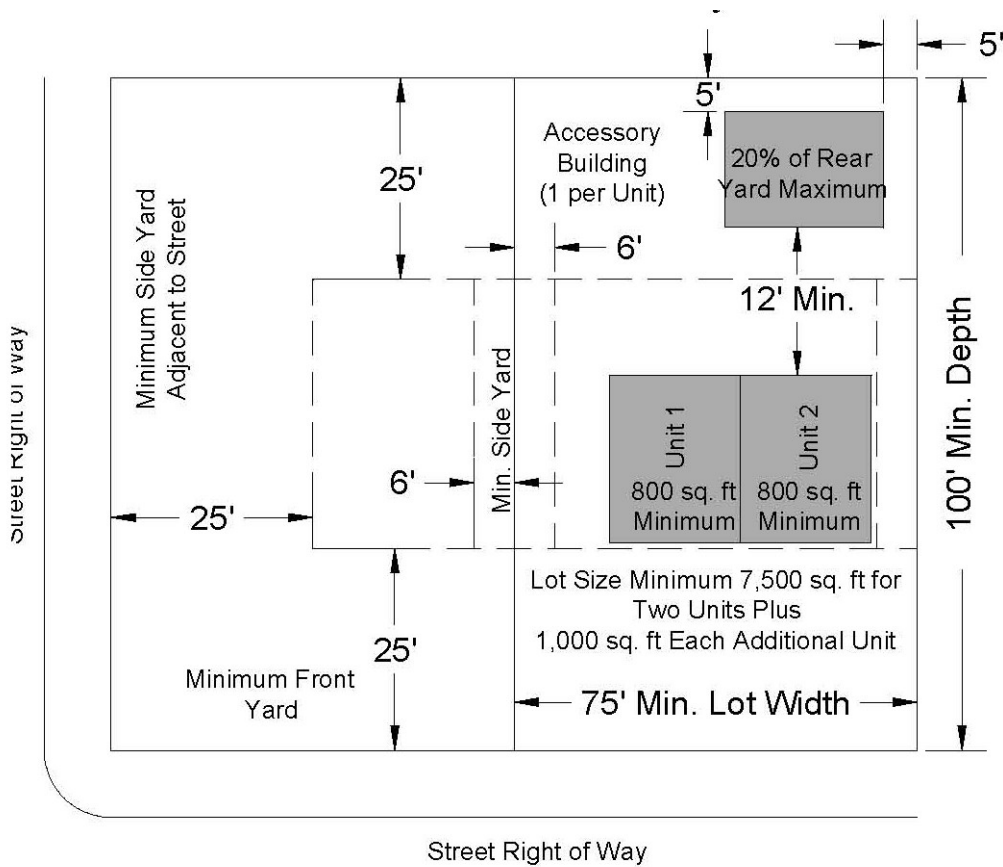
### 5.6.D Height, Area, Yard and Lot Coverage Requirements.

(B) *Two-to-four family.*

- (1) Minimum lot area: 7,500 ft<sup>2</sup> for two dwelling units, plus 1,000 ft<sup>2</sup> for each additional dwelling unit.
- (2) Minimum lot width and lot frontage: 75 feet.
- (3) Minimum lot depth: 100 feet.
- (4) Minimum depth of front setback: 25 feet.
- (5) Minimum depth of rear setback: 25 feet.
- (6) Minimum width of side setback:
  - (a) Internal lot: six feet.
  - (b) Corner lot: 25 feet from intersecting side street.
- (7) Building size:
  - (a) Maximum coverage as a percentage of lot area: 40%.
  - (b) Minimum area of each dwelling unit: 800 ft<sup>2</sup>.
- (8) Accessory buildings:
  - (a) Maximum accessory building coverage of rear yard: 20%.
  - (b) Maximum area of each accessory building: 200 ft<sup>2</sup>.
  - (c) Maximum number of accessory buildings: one per unit.
  - (d) Minimum depth of side setback: five feet.
  - (e) Minimum depth of rear setback: five feet.
  - (f) Minimum depth from the edge of the main building: 12 feet.
- (9) Maximum height of structures: 35 feet.



- (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



**VARIANCE:**

Section 154.21.1.I

1. A variance from the literal enforcement of the Zoning Ordinance in order to achieve a reasonable development of the property. Whenever owing to exceptional and extraordinary conditions, the literal enforcement of the zoning regulations will result in unnecessary hardship in the development of the property, an appeal for a variance may be filed with the Board of Adjustment.

2. When a property owner can show that a strict application of the terms of this ordinance relating to the use, construction or alteration of buildings or structures or the use of land will impose upon him or her practical difficulties or particular hardship, the Board may consider and allow variations of the strict application of the terms of this ordinance if the variation are in harmony with the general purpose and intent of this ordinance, and the Board is satisfied, under the evidence heard by it, that a granting of the variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable hardship or difficulty so great as to warrant a variation from the Zoning Regulations.

3. The Board may authorize a variance whereby reason of exceptional narrowness, shallowness, or shape of specific piece of property of record at the time of the adoption of this ordinance, or by reason of exceptional situation or condition of a specific piece of property, the strict application of a provision of this ordinance would result in peculiar and exceptional practical difficulties and particular hardship upon the owner of the property and amount to a practical confiscation of the property as distinguished from a mere inconvenience to the owner, provided the variation can be granted without substantial detriment to the public good, and without

substantially impairing the general purpose and intent of the comprehensive plan as established by the regulations and provisions contained in this ordinance.

(a) Papers required. An appeal for a variance shall include:

1. A site plan, drawn to scale, showing the location and dimension of the lot and of all existing and proposed improvements:
  - a. When an appeal is based upon hardship resulting from sharp changes in topography or unusual terrain features, the site plan shall include topographic information related to known base points of surveys, and profiles of the particular problem involved, including relationship to topographic features of adjoining properties.
  - b. When an appeal is submitted for variance of side yard or rear yard requirements, the applicant shall provide the same information for the properties adjoining the common lot line as may be applicable to the appealed requirements.
  - c. When an appeal is submitted for a variance from front yard setback, or for side yard setback on aside street, the applicant shall furnish a strip map showing the setback of main walls of all buildings on the same side of the street within a distance of 200 feet of the applicant's property.
2. A statement of facts and reasons why the Zoning Regulations should not be applied to the property in question and how the standards governing the Board's action would be satisfied; and
3. A statement by the Enforcing Officer citing the reasons for refusing to issue a permit under the plans submitted.

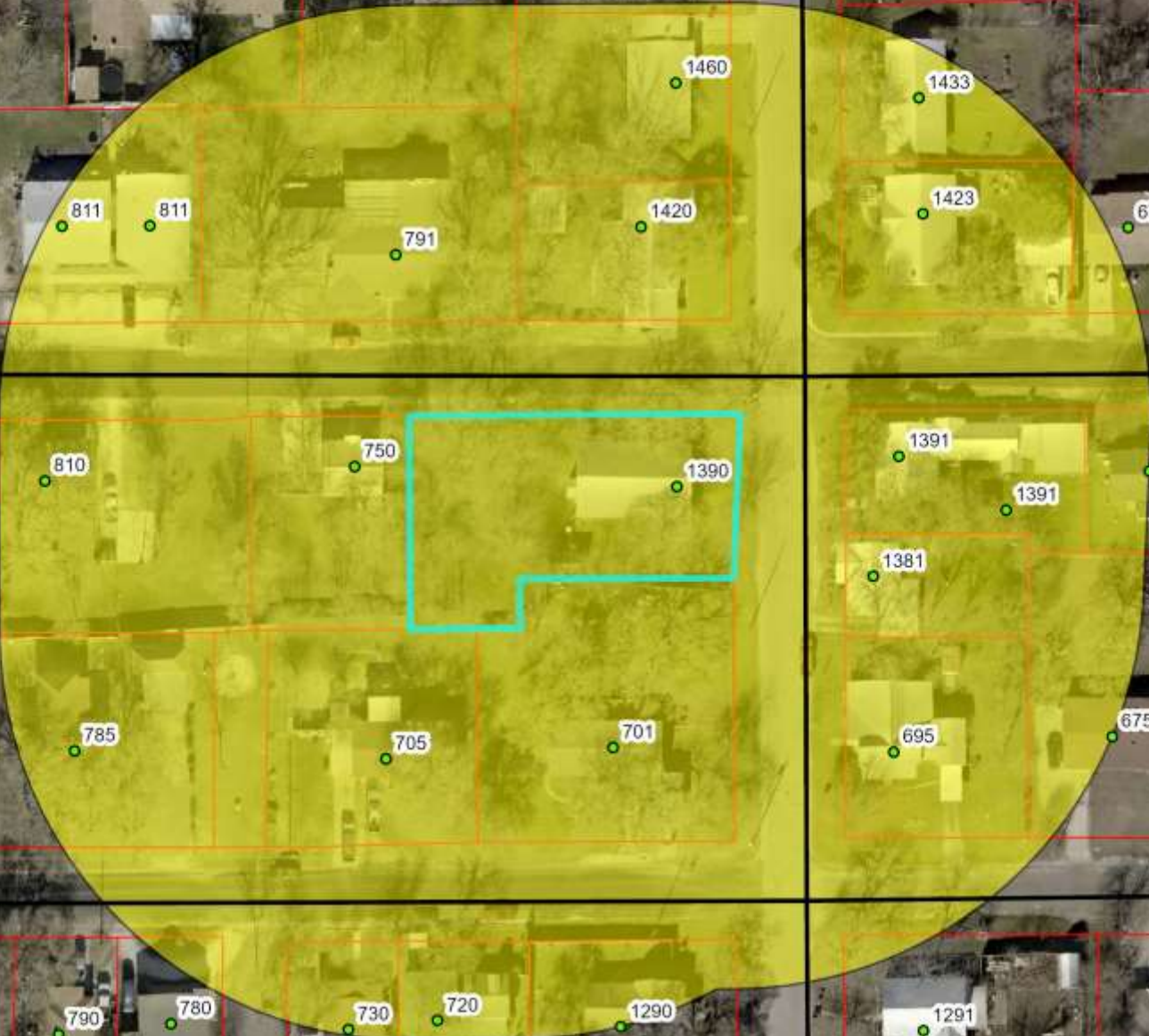
(b) Basis for action.

- (1) Before acting on an appeal for variance the Board shall consider:
  - a. The facts filed with the application;
  - b. The testimony presented at the public hearing on the appeal;
  - c. The City Staff's technical report on the appeal; and d. The Board's findings in its field inspection of the property.
- (2) The Board may grant an appeal, subject to such terms and conditions as it may fix, provided

#### ALTERNATIVES:

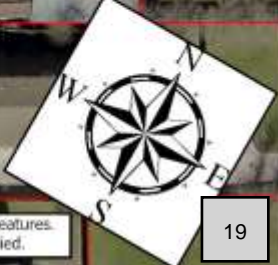
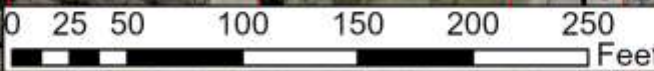
1. Approve the Variance Request
2. Deny the Variance Request

# Parcel ID R31152 200 Ft. Buffer



**Legend**

- Addresses
- Roads
- Parcels
- 200 Ft Buffer

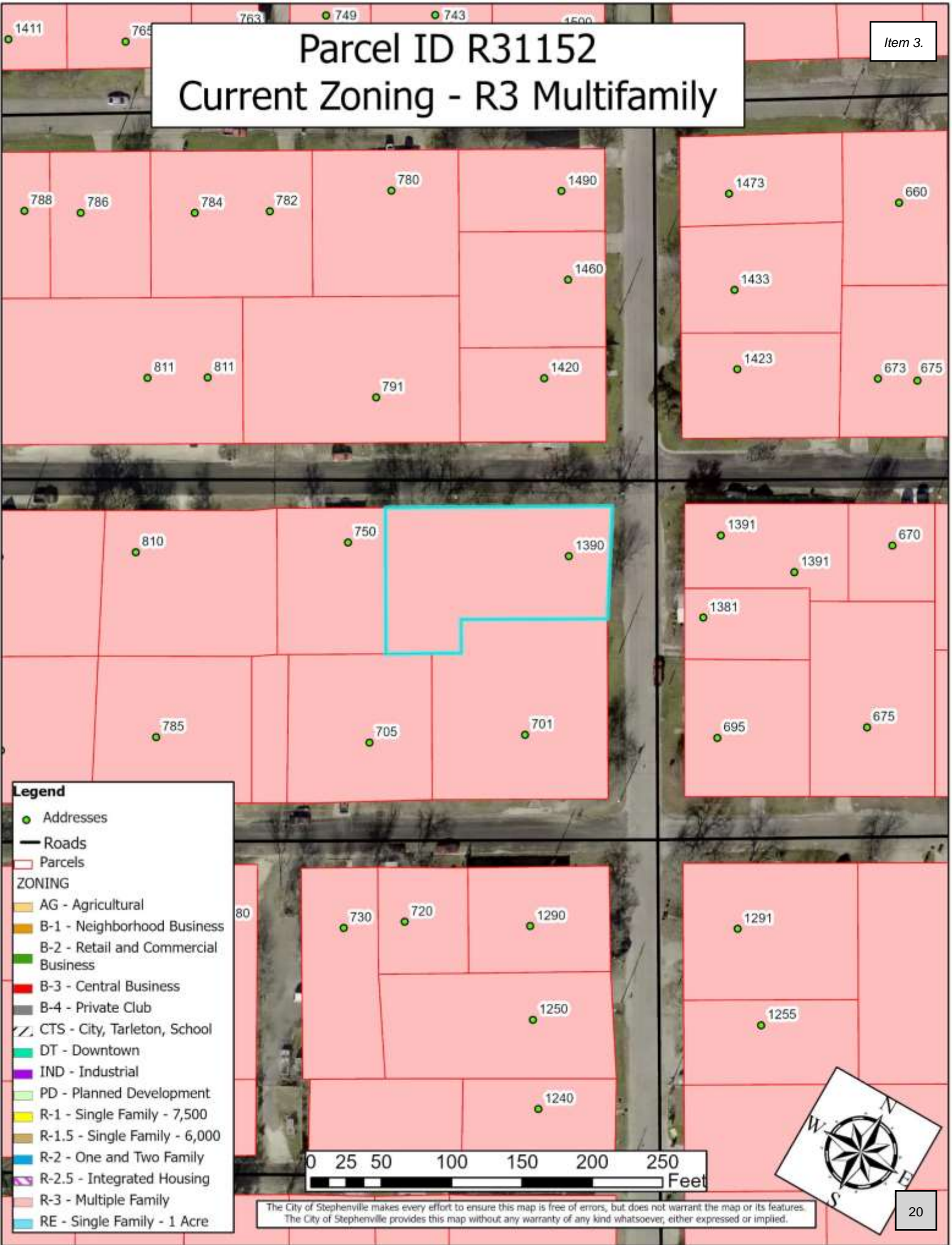


The City of Stephenville makes every effort to ensure this map is free of errors, but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either expressed or implied.

# Parcel ID R31152

## Current Zoning - R3 Multifamily

Item 3.

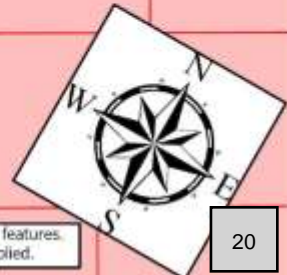
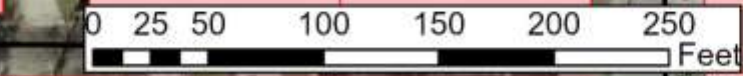


**Legend**

- Addresses
- Roads
- Parcels

**ZONING**

- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tarleton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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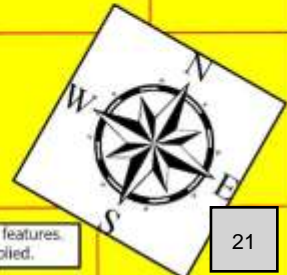
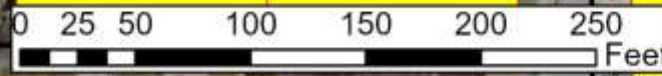
# Parcel ID R31152

## Future Land Use - Single Family

Item 3.



- Legend**
- Addresses
  - Roads
  - ▭ Parcels
  - Land Use
  - ▭ Ag/Open Space
  - ▭ Office/Neighbor\_Bus
  - ▭ Commercial
  - ▭ Cent Business Dist
  - ▭ City/Tarleton/SISD
  - ▭ Downtown
  - ▭ Industrial
  - ▭ Planned Development
  - ▭ Single Family
  - ▭ 1\_2 Family
  - ▭ Multi-Fam/Resident
  - ▭ Duplex/Townhome
  - ▭ Manufact Homes



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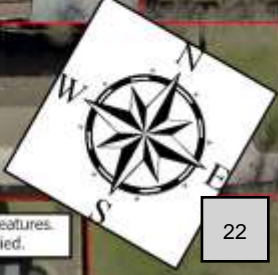
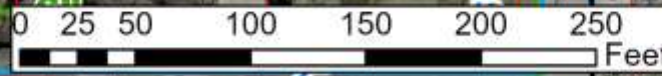
# Parcel ID R31152 Water & Sewer Utilities

Item 3.



**Legend**

- Addresses
- Roads
- Sewer Lines
- Water Lines
- ▭ Parcels



The City of Stephenville makes every effort to ensure this map is free of errors, but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either expressed or implied.

## Parcel R31152 Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000031132	784 PARK STREET	6 + 6 HOUSING CORPORATION	PO BOX 15173	SAN ANTONIO	TX	78212
R000028818	730 ELM	ANGUIANO INES & NOHEMI	720 WEST ELM	STEPHENVILLE	TX	76401
R000072583	0 ELM	ANGUIANO J INES & NOHEMI	720 ELM	STEPHENVILLE	TX	76401
R000028817	720 ELM	ANGUIANO J INES & NOHEMI	720 ELM	STEPHENVILLE	TX	76401
R000031149	785 ELM	ANGUIANO JOSE INES & NOHEMI	720 W ELM ST	STEPHENVILLE	TX	76401
R000031156	1381 PADDOCK	BARRON SACRAMENTO & MA LUISA	1381 PADDOCK	STEPHENVILLE	TX	76401-0000
R000031147	1294 MCCART	BOYD CHRISTOPHER C	1294 N MCCART	STEPHENVILLE	TX	76401
R000028815	1290 PADDOCK	BROWN JUSTIN M	3821 BEN CREEK CT	ALEDO	TX	76008
R000031154	701 ELM	CARLSON LANE G	701 W ELM	STEPHENVILLE	TX	76401
R000031125	780 PARK STREET	COATS JIM & PATSY	1187 AZALEA LN	STEPHENVILLE	TX	76401-0000
R000031126	791 OAK	GAINER GARY LEE & DOROTHY LOUISE GAINER	629 CR544	EASTLAND	TX	76448
R000031119	673 OAK	GILLESPIE JAMES KENNETH & ELAINE REV LIVING TRUST	3713 S 20TH ST	ABILENE	TX	79605
R000031155	695 ELM	HYLES CHARLES W	695 W ELM ST	STEPHENVILLE	TX	76401
R000031158	670 OAK	JUNGE SHELBY	PO BOX 2592	GLEN ROSE	TX	76043
R000031129	1490 PADDOCK	LAND LELA AMANDA	1490 PADDOCK	STEPHENVILLE	TX	76401
R000031159	675 ELM	LATHAM TYLER WADE	675 W ELM	STEPHENVILLE	TX	76401
R000031117	1433 PADDOCK	LAWSON KATHY	1433 N PADDOCK	STEPHENVILLE	TX	76401
R000031150	810 OAK	MAURITAS II LLC	1604 E 19TH	ROSWELL	NM	88201
R000031118	1423 PADDOCK	MOORE JAMIE T & DEANA M	1423 PADDOCK	STEPHENVILLE	TX	76401
R000031127	1420 PADDOCK	MURPHY JOSHUA D & DENNIS	1420 N PADDOCK	STEPHENVILLE	TX	76401
R000031153	705 ELM	NELSON BESSIE	674 N BARTON ST	STEPHENVILLE	TX	76401
R000028822	780 ELM	ORDONEZ ABEL A OSORIA	780 W ELM	STEPHENVILLE	TX	76401
R000031157	1391 PADDOCK	PHILLIPS RENTALS LLC	279 CR707	COTTER	AR	72626
R000031133	811 W OAK	ROOTED CAPITAL LLC	14604 SPITFIRE TRAIL	ROANOKE	TX	76262
R000031151	750 OAK	SHARP THOMAS EDWARD & AMANDA C SHARP	433 SCHOOLHOUSE RD	WINDTHORST	TX	76389
R000031152	1390 PADDOCK	TRIPLE W REMODELING, LLC AND	101 TANGLEWOOD LANE	STEPHENVILLE	TX	76401
R000031128	1460 PADDOCK	TUCKER JAMES LYNN & CATHY	1460 PADDOCK	STEPHENVILLE	TX	76401-0000
R000028800	1291 PADDOCK	WATKINS RESOURCES, LLC	10300 E CR105	MIDLAND	TX	79706

# SURVEY PLAT

- LEGEND:**
- 1. SPT ..... 1/2" x 3/4" spaced iron rod found marked "PRICE SURVEYING"
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  - 81. SPT ..... 1/2" x 3/4" spaced iron rod found marked "PRICE SURVEYING"
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  - 100. SPT ..... 1/2" x 3/4" spaced iron rod found marked "PRICE SURVEYING"

**NOTES:**

1. State of Louisiana being U.S. State before for of "Trust from Carroll Zone (1807) MATIAS as established using the Atlanta River (Comptrolive Network, reference frame 1) Survey Field Station in surface. Contours shown are U.S. 4813000300, effective date November 16, 2012, the subject of the survey is shown as three determined to be outside of the insurance company's coverage.
2. Allman National Title Insurance Company commitment of No. 2354, effective date June 22, 2012, issue date June 22, 2012, was used for the easement and title report for this survey.

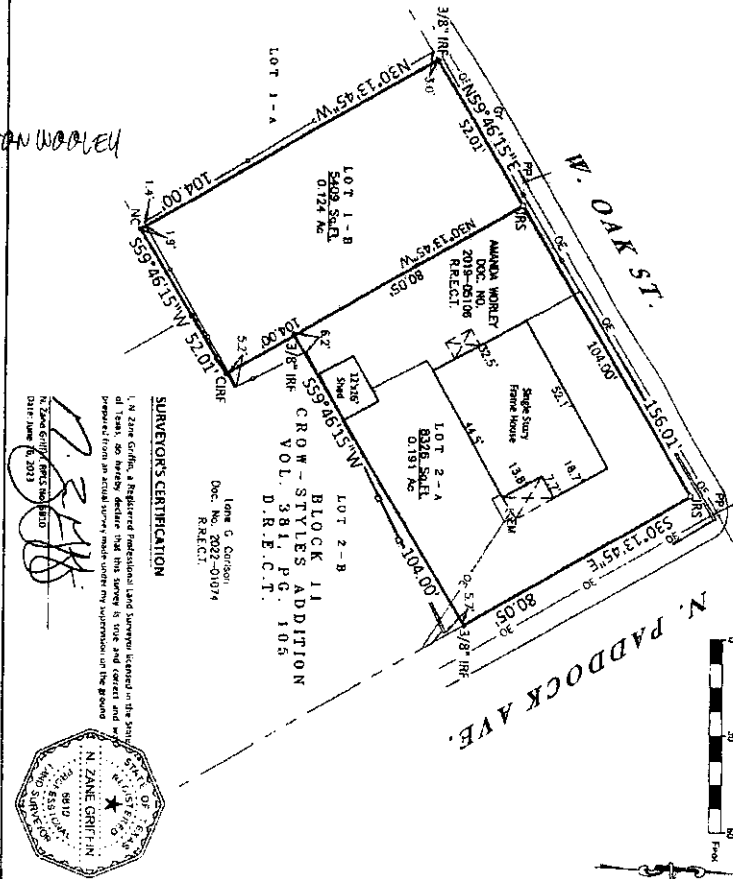
**LEGAL DESCRIPTION:**  
 Being all of Lots 1-A and 2-A, Block 11, Crow Street Addition, in addition to the City of Shreveport, East Parish, Louisiana, as recorded in Plat No. 175, State Record, East Parish, Louisiana.



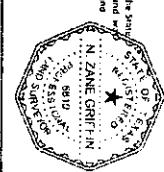
P.O. Box 2665 Sulphur, LA 70783  
 email: info@nativeco.com - 224-346-6901  
 TRILLS Form No. 10/24/97

DocuSigned by:  
**JOHN PATRICK WOOLLEY**  
 BA355504307CA7A  
 7/28/2023

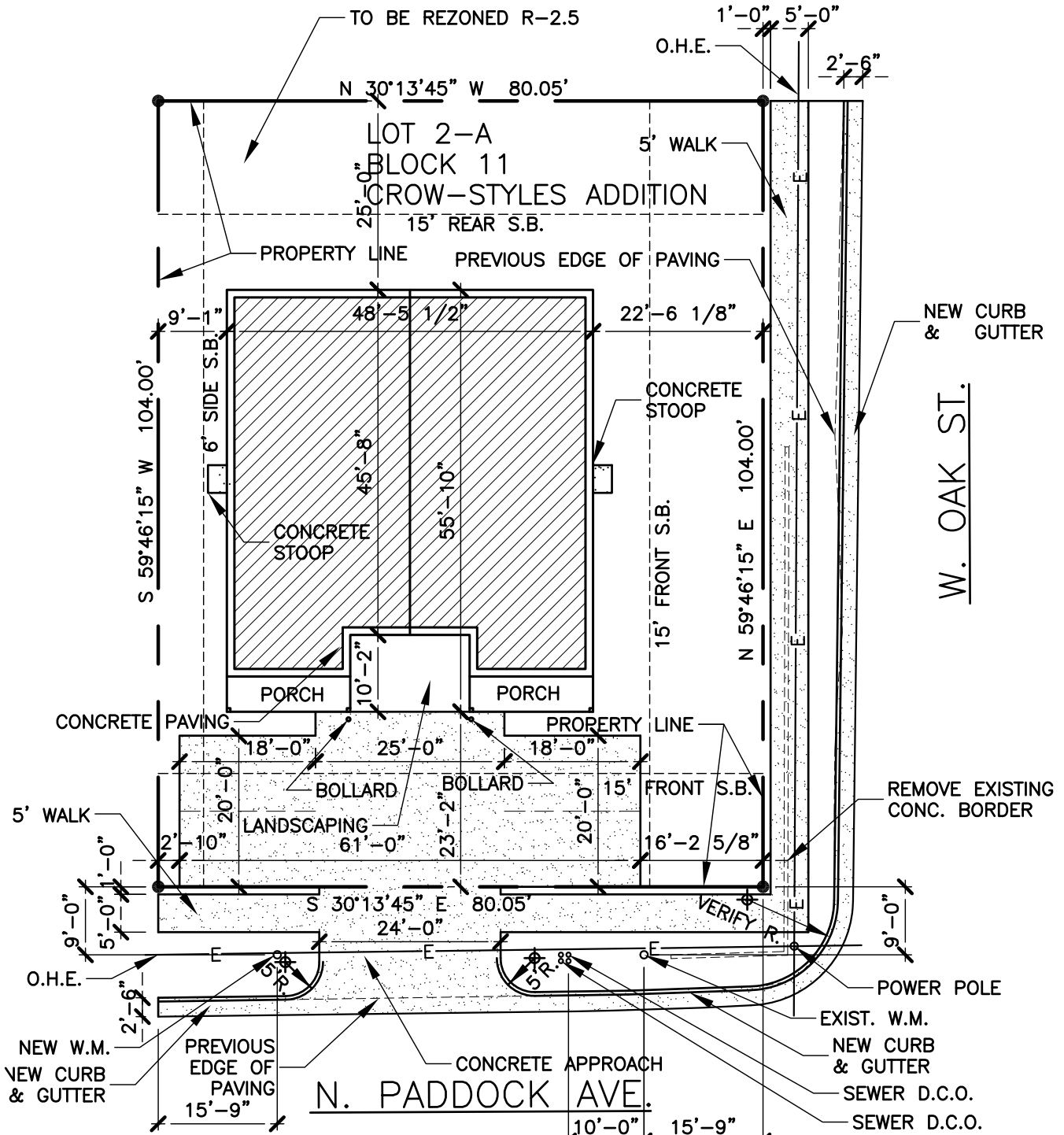
*John Patrick Woolley*  
 6/30/2023



**SURVEYOR'S CERTIFICATION**  
 I, N. Zane Griffin, a Registered Professional Land Surveyor, certify in the State of Louisiana, do hereby declare that this survey is true and correct and was prepared from an actual field inspection under my supervision on the 8th day of June, 2023.  
 N. Zane Griffin, SLS No. 5810  
 DATE: June 8, 2023

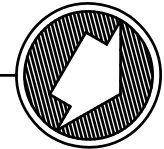




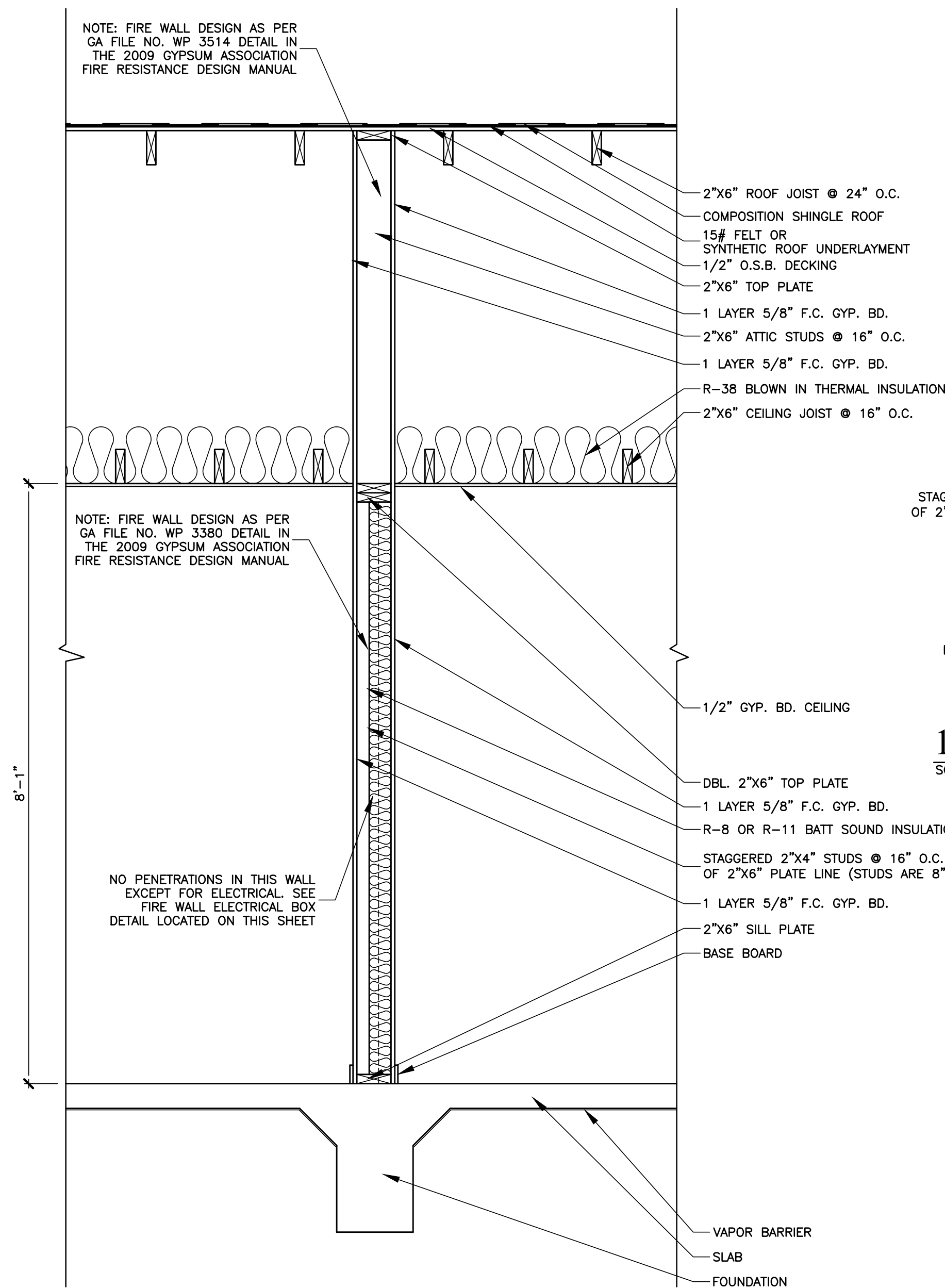


# SITE PLAN

SCALE: 1"=20'-0"

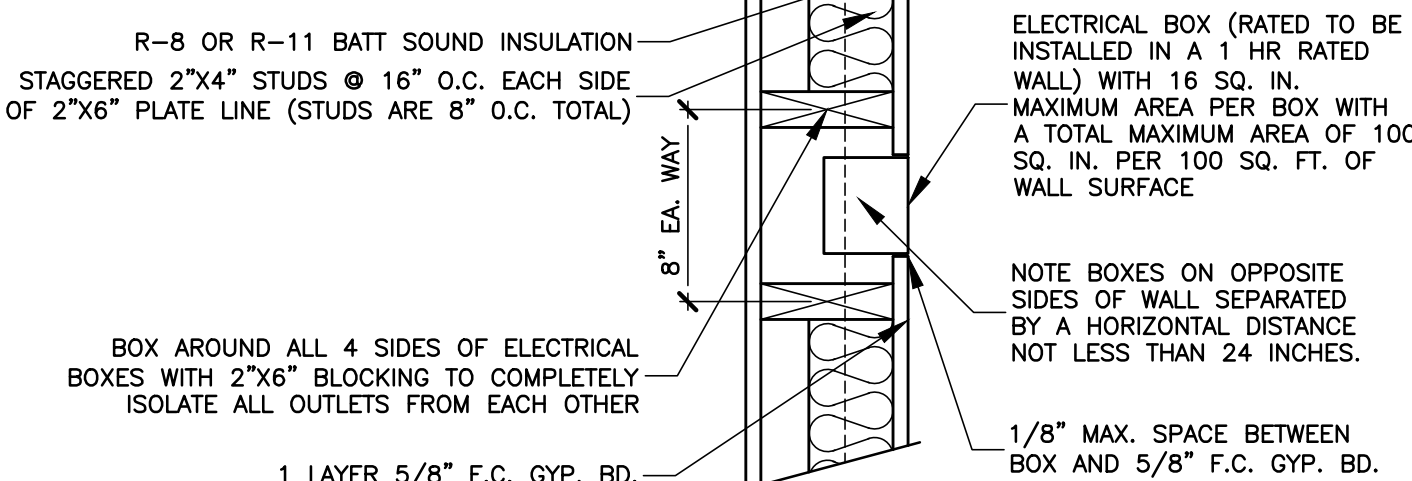


NOTE: FIRE WALL DESIGN AS PER GA FILE NO. WP 3514 DETAIL IN THE 2009 GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL



1 HR. FIRE WALL SECTION

SCALE: 3/4\"=1'-0\"



1HR. FIRE WALL ELECTRICAL BOX DETAIL

SCALE: 1 1/2\"=1'-0\"

DOOR SCHEDULE:

MK.	DOOR SIZE	DOOR DESCRIPTION
1	3'-0" X 6'-8" X 1 3/4"	ENTRY DOOR
2	3'-0" X 6'-8" X 1 3/4"	HALF GLASS DOOR
3	2'-8" X 6'-8" X 1 3/8"	INTERIOR DOOR
4	2'-4" X 6'-8" X 1 3/8"	INTERIOR DOOR
5	2'-0" X 5'-2" X 1 3/8"	INTERIOR W.H. CLOSET DOOR

WINDOW SCHEDULE:

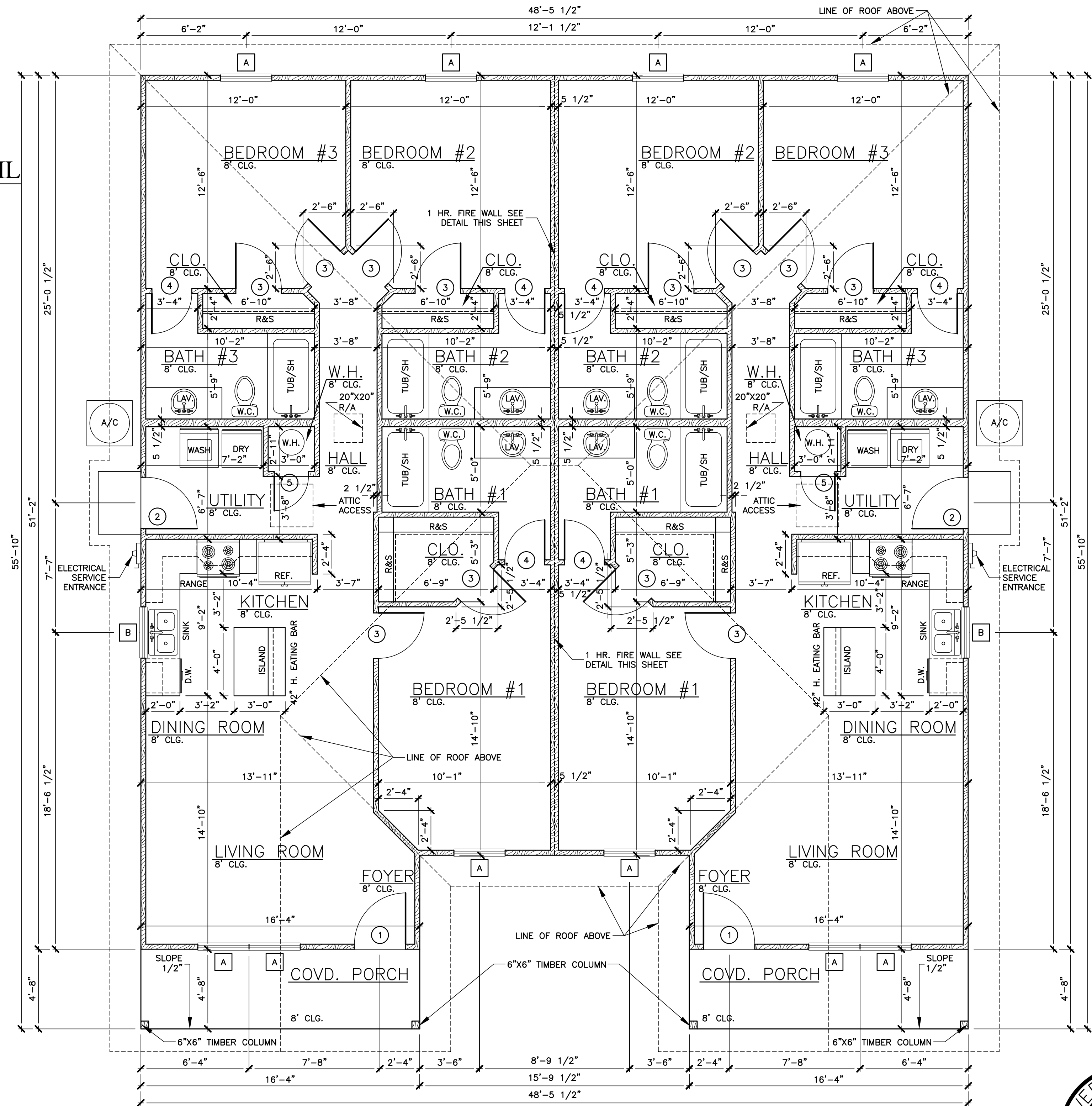
MK.	WINDOW SIZE	OPERATION	GLAZING	FRAME
A	3'-0" X 5'-0"	SINGLE HUNG	LOW E INSULATED	SOLID VINYL
B	3'-0" X 3'-0"	SINGLE HUNG	LOW E INSULATED	SOLID VINYL

NOTE: TEMPERED SAFETY GLAZING IS REQ. IN THE FOLLOWING LOCATIONS: GLAZING ADJACENT TO AND WITHIN 24" OF A DOOR GLAZING IN SWINGING, SLIDING, STORM, AND SHOWERS. GLAZING THAT MEETS ALL THE FOLLOWING CONDITIONS: INDIVIDUAL PANE OF GLAZING GREATER THAN 9 SQ.FT. BOTTOM EDGE LESS THAN 18" ABOVE FLOOR TOP EDGE GREATER THAN 36" ABOVE FLOOR WALKING SURFACE WITHIN 36" OF GLAZING.

AREA SCHEDULE:

AREA NAME	UNIT AREA	BUILDING AREA
LIVING	1196.2986	2392.5972
FRONT PORCH	46.2778	92.5556
SLAB	1242.5764	2485.1528
ROOF	1,617.4064	3234.8128

NOTE: ROOF AREA IS CALCULATED USING A ROOF PITCH FACTOR OF 1.1180 FOR A 6 IN 12 ROOF PITCH MULTIPLIED BY THE ROOF'S PLAN VIEW SQUARE FOOTAGE OF 2893.3924 SQ. FT.

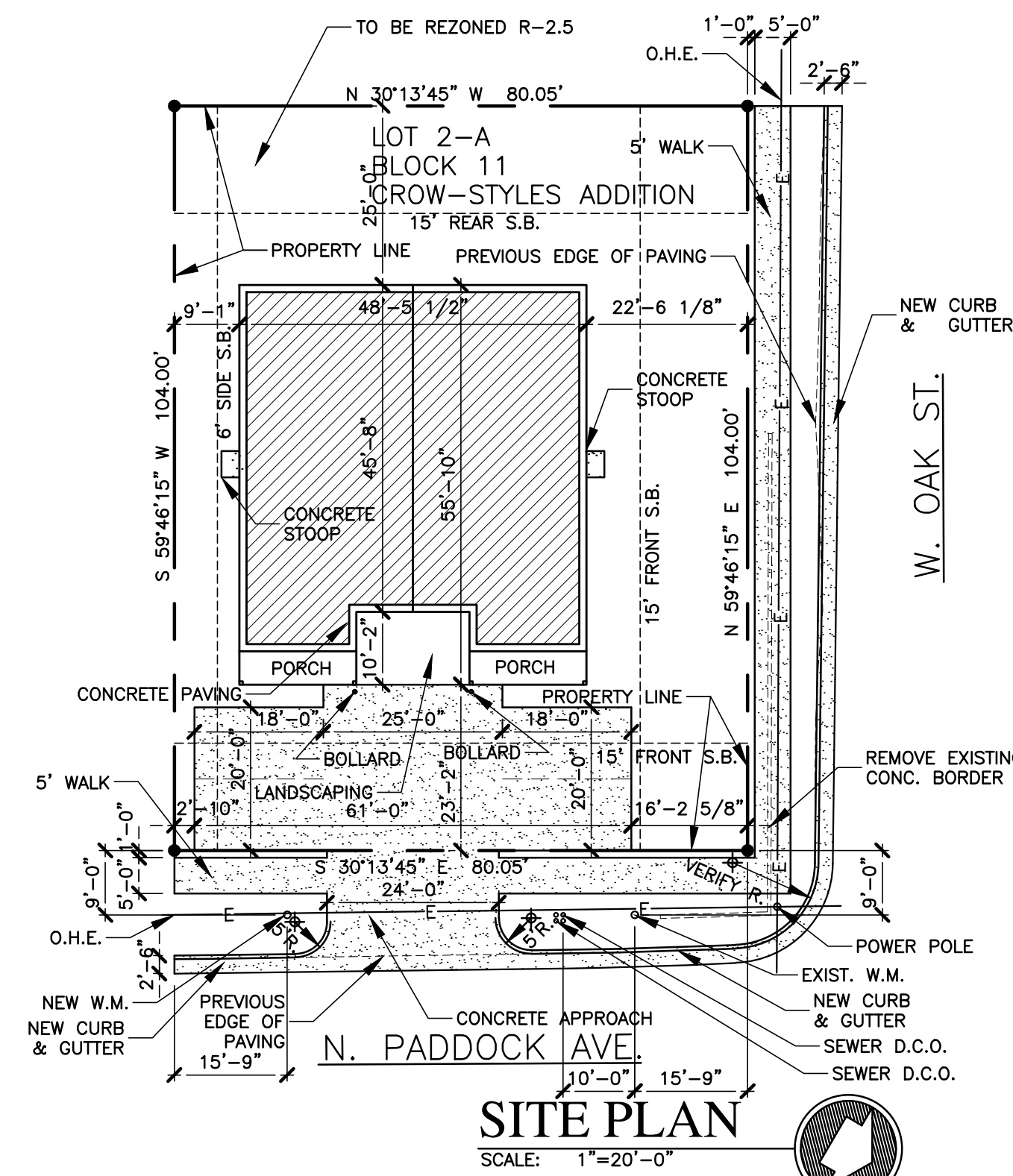


FLOOR PLAN

SCALE: 1/4\"=1'-0\"

GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN ALL APPLICABLE SECTIONS OF THE 2015 IRC (INTERNATIONAL RESIDENTIAL CODE).
2. DIMENSIONS ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
3. COLORS OF SIDING, ROOFING AND TRIM SHALL BE SELECTED BY OWNER.
4. WALL BOARD SHALL BE 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED.
5. TRIM INCLUDING BUT NOT LIMITED TO BASE BOARDS, DOOR CASING AND WINDOW STOOLS OR SILLS SHALL BE AS SELECTED BY OWNER.
6. EXTERIOR WALL INSULATION SHALL BE AS SELECTED BY OWNER, THAT MEETS THE REQUIREMENTS OF THE 2015 IECC (INTERNATIONAL ENERGY CONSERVATION CODE).
7. CEILING INSULATION SHALL BE AS SELECTED BY OWNER, THAT MEETS THE REQUIREMENTS OF THE 2015 IECC (INTERNATIONAL ENERGY CONSERVATION CODE).
8. ALL GLAZING AND DOORS MUST MEET ALL REQUIREMENTS OF THE 2015 IRC (INTERNATIONAL RESIDENTIAL CODE) AND 2015 IECC (INTERNATIONAL ENERGY CONSERVATION CODE).
9. INTERIOR FINISHES INCLUDING BUT NOT LIMITED TO PAINT, WALL PAPER, CARPETING, VINYL FLOORING, WOOD FLOORING AND TILE SHALL BE AS SELECTED BY OWNER.
10. HOOKUPS REQUIRED FOR PLUMBING FIXTURES AND APPLIANCES SHALL BE AS PER MANUFACTURERS SPECIFICATIONS AND SHALL MEET REQUIREMENTS SET FORTH IN THE 2015 IPC (INTERNATIONAL PLUMBING CODE), 2014 NEC (NATIONAL ELECTRIC CODE).
11. IT SHALL BE THE ULTIMATE RESPONSIBILITY OF THE OWNER (CLIENT) TO FULLY REVIEW THESE DRAWINGS AND VERIFY DOOR & WINDOW SCHEDULES AND ALL OTHER ITEMS THAT MAY AFFECT THE DESIRED RESULT. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES SUCH THAT ANY REQUIRED DESIGN CHANGE CAN BE PROCESSED PRIOR TO THE START OF CONSTRUCTION.
12. CONTRACTORS SHALL VERIFY ACTUAL DIMENSIONS OF ALL PLUMBING FIXTURES, H.V.A.C. EQUIPMENT AND APPLIANCES AND SHALL MAKE ANY MODIFICATIONS TO DIMENSIONS SO THAT ALL ITEMS FIT PROPERLY.
13. ALL ROOF PENETRATIONS SHALL BE MADE ON BACK SIDE OF ROOF SO AS NOT TO BE VISIBLE FROM FRONT OF HOUSE.
14. EXTERIOR SHEATHING SHALL BE O.S.B. SHEATHING
15. HOUSE SHALL HAVE TYEK OR EQUAL HOUSE WRAP.
16. PROPER FLASHING SHALL BE PROVIDED WHERE NECESSARY ABOVE DOORS, WINDOWS, AROUND ROOF PENETRATIONS, WHERE LOWER ROOF LINES INTERSECT WALLS OR ANY OTHER LOCATION THAT WATER PENETRATION MAY OCCUR.
17. THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, 333 GUADALUPE, SUITE 2-350, AUSTIN, TEXAS 78701, HAS JURISDICTION OVER INDIVIDUALS LICENSED UNDER THE ARCHITECT'S REGISTRATION LAW, TEXAS CIVIL STATUTES, ARTICLE 249c.



SITE PLAN

SCALE: 1\"=20'-0\"

\*REVISED 11/29/23\*



A DUPLEX DESIGNED FOR  
**WAYNE WOOLEY & PAXTON WOOLEY**  
1390 N. PADDOCK AVE., STEPHENVILLE, TEXAS  
www.johnbeverly.com

**JOHN G. BEVERLY** • ARCHITECT  
STEPHENVILLE, TEXAS 76401  
P.O. BOX 1990  
(254) 396-9999 M.

DRAWINGS THIS SHEET:  
FLOOR PLAN  
1 HR. FIRE WALL SECTION & ELEC. BOX DETAIL  
SCHEDULES & NOTES

START DATE:  
6/21/23  
REVISED:  
11/29/23

JOB NUMBER:  
23R25  
DRAWN BY:  
J.G.B.

