



PLANNING AND ZONING COMMISSION

City Hall Council Chambers, 298 W. Washington
Wednesday, July 21, 2021 at 5:30 PM

AGENDA

CALL TO ORDER

MINUTES

1. Consider Approval of Minutes - June 16, 2021

CHAIRPERSON REMARKS

PUBLIC HEARING

2. Case No.: SC2021-004

Closure and Abandonment of an Undeveloped Portion of Fifth Avenue

3. Case No.: RZ2021-012

Applicant Mark Bostock, dba Reunion Center Enterprises, is requesting a rezone of property located at 408 Morgan Mill Rd, Parcel R33346, of SIMS ADDITION, BLOCK 3, LOT 4, of the City of Stephenville, Erath County, Texas, from (R-1) Single Family Residential, to (B-2) Retail and Commercial.

4. Case No.: RZ2021-013

Applicant Tim Trotter, is requesting a rezone of property at located at 0 Choctaw Rd, Parcel R34558, of WEST GATE ADDITION, BLOCK G (PART OF), of the City of Stephenville, Erath County, Texas, from (Ind.) Industrial to (R-1) Single Family.

5. Case No.: PP2021-001

Applicant Reece Flanagan with MMA, Inc., representing Brown Pace Development Company, is requesting a preliminary plat of property located at 422 S Lillian, Parcel R33522, of SOUTH SIDE ADDITION, BLOCK 8, LOT 5,6,7,8, J & D MHP of the City of Stephenville, Erath County, Texas. The applicant is requesting approval of a preliminary plat of subdividing three parcels into 64 lots.

6. Case No.: PP2021-002

Applicant Reece Flanagan with MMA Inc, representing Brown Pace Development Company, is requesting a preliminary plat of property located at 1600 W Swan, Parcel R33564, of SOUTH SIDE ADDITION, BLOCK 14, LOT 5 (PT. OF) of the City of Stephenville, Erath County, Texas. The applicant is requesting approval of a preliminary plat of dividing the three affected parcels into 64 lots.

7. Case No.: PP2021-003

Applicant Reece Flanagan with MMA, Inc., representing Brown Pace Development Company, is requesting a preliminary plat of property located at 1601 W Swan, Parcel R33513, of SOUTH SIDE ADDITION, BLOCK 7, LOT 7 & 8, J & D MHP of the City of Stephenville, Erath County, Texas. The applicant is requesting approval of a preliminary plat of three parcels being subdivided into 64 lots.

8. Case No.: PP2021-004

Applicant Zane Griffin with Native Co., LLC, representing Oakdale United Methodist Non-Profit, is requesting a preliminary plat of property located at 2675 W Overhill, Parcel R22423, of the MOTLEY WILLIAM ABSTRACT of the City of Stephenville, Erath County, Texas. The applicant is requesting approval a preliminary plat of the unplatted parcel known as R22423 located at 2675 W Overhill.

ADJOURN

In accordance with the Americans with Disabilities Act, persons who need accommodation to attend or participate in this meeting should contact City Hall at 254-918-1287 within 48 hours prior to the meeting to request such assistance.



PLANNING AND ZONING COMMISSION

City Hall Council Chambers, 298 W. Washington
Wednesday, June 16, 2021 at 5:30 PM

MINUTES

The Planning and Zoning Commission of the City of Stephenville, Texas, convened on June 16, 2021 at 5:30 PM, in the Council Chambers at City Hall, 298 West Washington Street, for the purpose of a Regular Business Meeting, with the meeting being open to the public and notice of said meeting, giving the date, time, place and subject thereof, having been posted as prescribed by Chapter 551, Government Code, Vernon's Texas Codes Annotated, with the following members present, to wit:

COMMISSIONERS PRESENT: Lisa LaTouche, Chairperson
Bruce Delater
Justin Allison
Nick Robinson
Brian Lesley
Todd McEvoy
Mary Beach McGuire – Alternate

COMMISSIONERS ABSENT: Cliff McCrury

OTHERS ATTENDING: Steve Killen, Director of Development Services
Tina Cox, Commission Secretary

CALL TO ORDER

Chairperson LaTouche called the meeting to order at 5:30 p.m.

OATH OF OFFICE

- Administer Oath of Office to Planning and Zoning Commission Members**
Staci King, City Secretary, administered the Oath of Office to Nick Robinson and Mary Beach McGuire.

MINUTES

- Consider Approval of Minutes – May 19, 2021**
MOTION by Bruce Delater, second by Nick Robinson, to approve the minutes for May 19, 2021.
MOTION CARRIED by unanimous vote.

PUBLIC HEARINGS

- Case No.: RZ2021-008**

Applicant Tobiah and Mandy O'Neal are requesting a rezone of property located at 1065 W. Frey, Parcel R32261, of KIGHT SECOND ADDITION, BLOCK 5, LOT 2, of the City of Stephenville, Erath County, Texas, from (R-1) Single Family Residential to (R-3) Multifamily.

Bruce Delater abstained from the case.

Steve Killen, Director of Development Services, briefed the commission on the case that was carried over from the May 19, 2021 meeting. Mr. Killen stated that the applicant wants to rezone the property from R-1 to R-3 for its highest and best use possible. This property is currently zoned R-1 Single Family Residential and the future land use is R-1 as well. The property has adequate water and sewer. Mr. Killen shared with the Commission that there are six letters of opposition to the case.

Dell Burdick was present in order to answer any questions.

Chairperson LaTouche opened the public hearing.

No one spoke in favor of the rezone request.

Wayne Tribble, 1010 W. Frey, spoke against the rezone request.

Dan and Hannah Dowell, 1092 W. Frey, spoke against the rezone request.

Kelly Sult, 882 N. Clinton, spoke against the rezone request.

Josh Ritchey, 990 N. Ollie, spoke against the rezone request.

Jeremy Harlow, 1084 W. Frey, spoke against the rezone request.

Gina and Rick Woodson, 875 N. Clinton, spoke against the rezone request.

Chairperson LaTouche closed the public hearing.

MOTION by Brian Leslie, second by Mary Beach McGuire, to deny Case No. RZ2021-009 and forward a negative recommendation to Council. MOTION CARRIED with Nick Robinson casting the dissenting vote.

4. Case No.: RZ2021-009

Applicant Tobiah O’Neal, representing Ontade LLC, is requesting a rezone of property located at 1083 Frey, Parcel R32260, of KIGHT SECOND ADDITION, BLOCK 5, LOT 1, of the City of Stephenville, Erath County, Texas, from (R-1) Single Family Residential to (R-3) Multifamily.

Bruce Delater abstained from the case.

Steve Killen, Director of Development Services, briefed the commission on the case that was carried over from the May 19, 2021 meeting. Mr. Killen stated that the applicant wants to rezone the property from R-1 to R-3 for its highest and best use possible. This property is currently zoned R-1 Single Family Residential and the future land use is R-1 as well. The property has adequate water and sewer. Mr. Killen shared with the Commission that there are five letters of opposition to the case.

Dell Burdick was present in order to answer any questions.

Chairperson LaTouche opened the public hearing.

No one spoke in favor of, however all parties who spoke against Case No. RZ2021-008, were opposed to Case No. RZ2021-009 as well.

Chairperson LaTouche closed the public hearing.

MOTION by Brian Leslie, second by Mary Beach McGuire, to deny Case No. RZ2021-009 and forward a negative recommendation to Council. MOTION CARRIED with Nick Robinson casting the dissenting vote.

5. Case No.: RZ2021-011

Applicant Erath County Habitat for Humanity, is requesting a rezone of property located at 750 Sloan, Parcel R32729, of PARK PLACE ADDITION, BLOCK 4, LOT 4, of the City of Stephenville, Erath County, Texas from (R-3) Multi-Family to (B-2) Retail and Commercial Business.

Steve Killen, Director of Development Services, briefed the commission on the case. Mr. Killen stated that Ms. Staci Morrison, representing Erath County Habitat for Humanity, is requesting a rezone to B-2, Retail and Commercial Business, to allow for the construction of administrative offices and connecting storage space for the Habitat of Humanity. Assuming the rezone is approved, the applicant will submit a re-plat to combine this parcel with 754 Sloan. Staff recommends approval of the rezone request as it is a requirement set forth by city ordinance.

Staci Morrison was present to answer any questions.

Chairperson LaTouche opened the public hearing.

No one came forward to speak in favor of or in opposition to the rezone request.

Chairperson LaTouche closed the public hearing.

MOTION by Todd McEvoy, second by Bruce Delater, to approve Case No. RZ2021-011 and forward a positive recommendation to Council. MOTION CARRIED with a unanimous vote.

6. Case No.: CP2021-001

Applicant Justin Willis is requesting a Conditional Use Permit, pursuant to Section 154.05.03.C(1), for a Home Occupation as defined in Section 154.03, for property located at 1422 Prairie Wind, Parcel R31592, of GOLF COUNTY ESTATES ADDITION, BLOCK 4, LOT 5, of the City of Stephenville, Erath County, Texas.

Steve Killen, Director of Development Services, briefed the commission on the case. Mr. Killen stated that the applicant was recently contacted by the Alcohol, Tobacco and Firearms (ATF) Division of the Federal Government. Agent Dee Robinson requested assistance from the City of Stephenville and upon an on-site inspection at the consent of the applicant, Agent Robinson suspended Mr. Willis' license for the following: 1. Per Agent Robinson, any transaction involving firearm transfers must occur at the locale listed on the licensee's application and 2. The licensee must comply with all local ordinances and regulations. The Zoning Code, Section 154.03, defines home occupation and lists criteria for compliance. The generation of traffic to the neighborhood and inventory for sale are the criteria that have resulted in the application for a Conditional Use in order to be compliant with ATF regulations. Mr. Killen shared with the Commissioners that there was one letter received by Scott Fields in favor of the Conditional Use Permit.

Chairperson LaTouche opened the public hearing.

Justin Willis, applicant, was not present.

No one came forward to speak in favor of or in opposition to the planned development request.

Chairperson LaTouche closed the public hearing.

MOTION by Bruce Delater, second by Nick Robinson, to approve Case No. CP2021-001 and forward a positive recommendation to Council. MOTION CARRIED with Lisa LaTouche casting the dissenting vote.

STAFF UPDATE – MOBILE HOME ZONING

7. Update on Mobile Home Zoning

Steve Killen, Director of Development Services, gave a staff update on Mobile Home Zoning. In the agenda packet, Mr. Killen provided the Commissioners the City of Stephenville Zoning Code, Section 154.03 which defines a Manufactured housing or home, Mobile home, Mobile Home Park, Nonconformance and Nonconforming Use. He also stated that there are no manufactured Housing Districts under the current zoning, however, the future land use does dictate such a district.

After discussion amongst the Commissioners, it was agreed that the Mobile Home Park comprehensive plan will be tabled until a City Planner has been procured.

ADJOURN

The meeting was adjourned at 6:40 p.m.

APPROVED:

Lisa LaTouche, Chair

ATTEST:

Tina Cox, Commission Secretary

STAFF REPORT



SUBJECT: Case No.: SC2021-004
Closure and Abandonment of an Undeveloped Portion of Fifth Avenue

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

RECOMMENDATION:

To recommend the City Council close and abandon the undeveloped portion of the 700 Blk. of Fifth Street between Groesbeck and Hyman.

BACKGROUND:

Chapter 95 of the City of Stephenville Code of Ordinances allows for the abandonment of streets and alleys by petition or council initiative. Council initiated such action at the regular business meeting on June 6, 2021. Such action now requires review by the Planning and Zoning Commission via public hearing and a recommendation to City Council for final approval. The applicable sections of the city code are as follows:

ARTICLE IV. - CLOSING STREETS AND ALLEYS

Sec. 95.50. - Reference to transportation code.

Provisions for the closing of streets and alleys are granted by the V.T.C.A. Transp. Code § 311.07. The procedures and regulations set out herein are consistent with the requirements of the Code and set out regulations to be followed in the closing of streets and alleys.

(Ord. 2015-11, passed 7-7-2015)

Sec. 95.51. - Public hearing generally.

The City Council, on its own initiative, may call a public hearing to determine whether or not any street or alley in the city, or any portion thereof, should be closed or abandoned as a public thoroughfare.

(Ord. 2015-11, passed 7-7-2015)

Sec. 95.54. - Recommendation of the planning and zoning commission.

Before City Council may take final action to adopt any ordinance to close a street or alley the Planning and Zoning Commission shall review the request from the point of view of impact on future traffic circulation in the city and shall make a recommendation on such matters to the City Council. The Planning and Zoning Commission shall be required to conduct a public hearing. (Ord. 2015-11, passed 7-7-2015)

DEPARTMENTAL COMMENTS:**Public Works Department**

A Municipal Utility Easement must be retained by the city for an existing 14-inch diameter concrete water transmission main within the existing Fifth Avenue right-of-way as well as a 6-inch diameter sanitary sewer line traversing the right-of-way.

Development Services

No objections.

Police Department

No objections.

Fire Department

No objections.

ESTIMATE OF VALUE

An estimate of value for the undeveloped portion of Fifth Street has been completed by the Public Works Department and identified as \$19,497.65 for the full 50-ft. width of right-of-way and \$9,748.83 for the half width of right-of-way using Section 95.56 of the adopted Code of Ordinances. An exhibit of the undeveloped portion of Fifth Street is included in your packet.

ARTICLE IV. - CLOSING STREETS AND ALLEYS**Sec. 95.56. - Appraisal of real property required.**

- A. Within 90 days after the City Council public hearing and Planning and Zoning Commission recommendation, but before City Council final action, the petitioner shall provide an appraisal by a certified appraiser of real property. The cost of the appraisal is to be paid in full by the petitioner. Upon written application by the petitioner stating the need therefor, this time period may be extended by the City Administrator. Such extension shall be in writing.
- B. As an alternative to the above, the petitioner may elect, in writing, to utilize the average appraised values of the land immediately adjacent to the street or alley to be closed as shown on the most recent approved municipal tax roll. Such average value shall be calculated by city staff.
- C. If the requested closure is approved by City Council, the actual selling price shall be determined solely by the City Council, but in no case shall the selling price be less than the appraised value as determined under this section.

(Ord. 2015-11, passed 7-7-2015)

ADVANTAGES:

Abandonment is believed to lead to development of the adjacent property.

DISADVANTAGES:

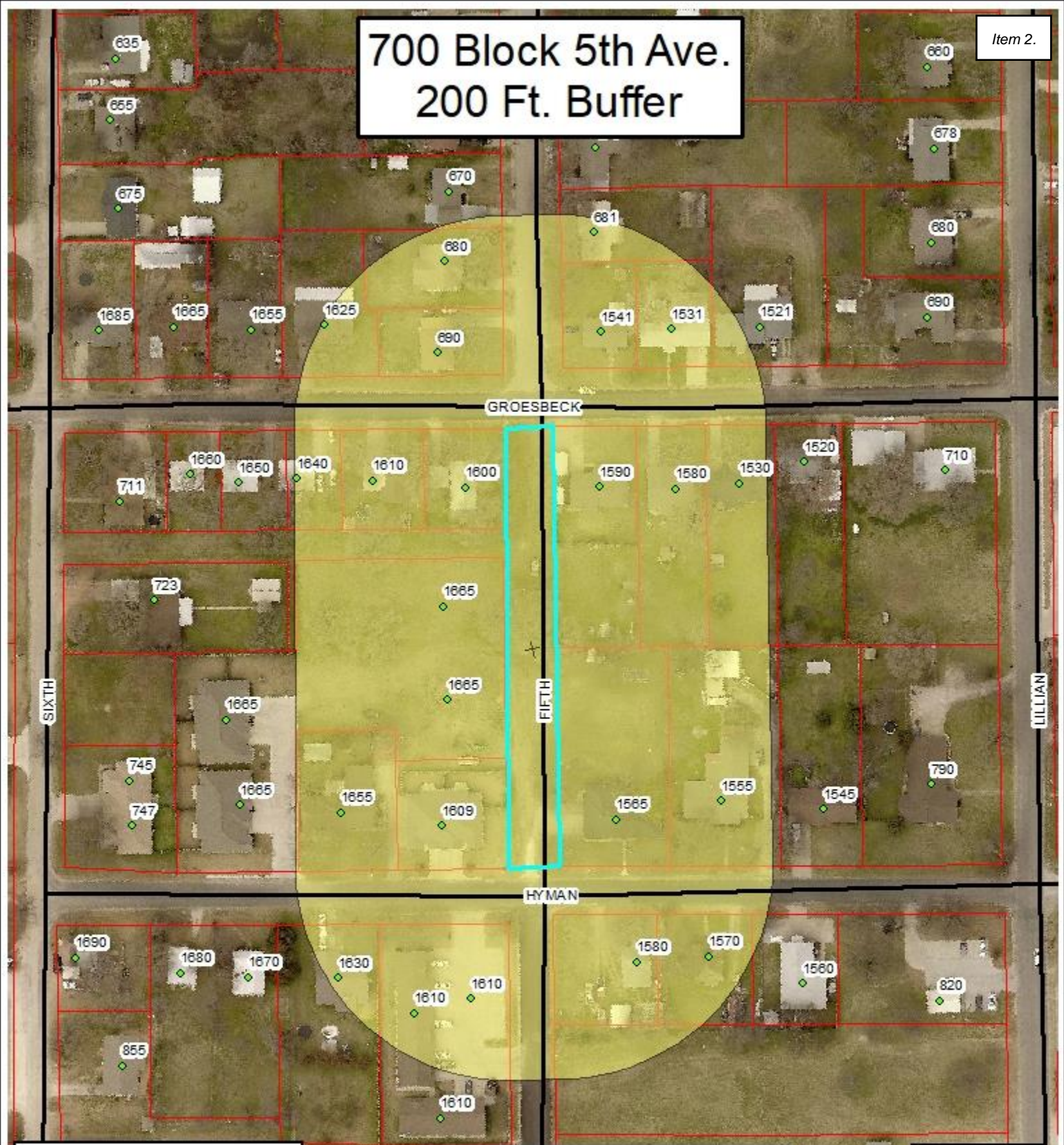
Although easements will be necessary for existing utilities; there are no disadvantages identified with abandonment.

ALTERNATIVES

- 1) Recommend the City Council abandon the street as initiated.
- 2) Recommend the City Council terminate the initiated action and not abandon.

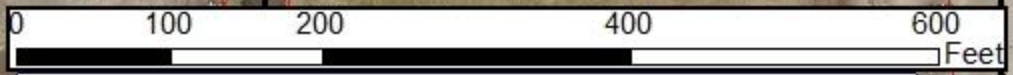
700 Block 5th Ave. 200 Ft. Buffer

Item 2.



Legend

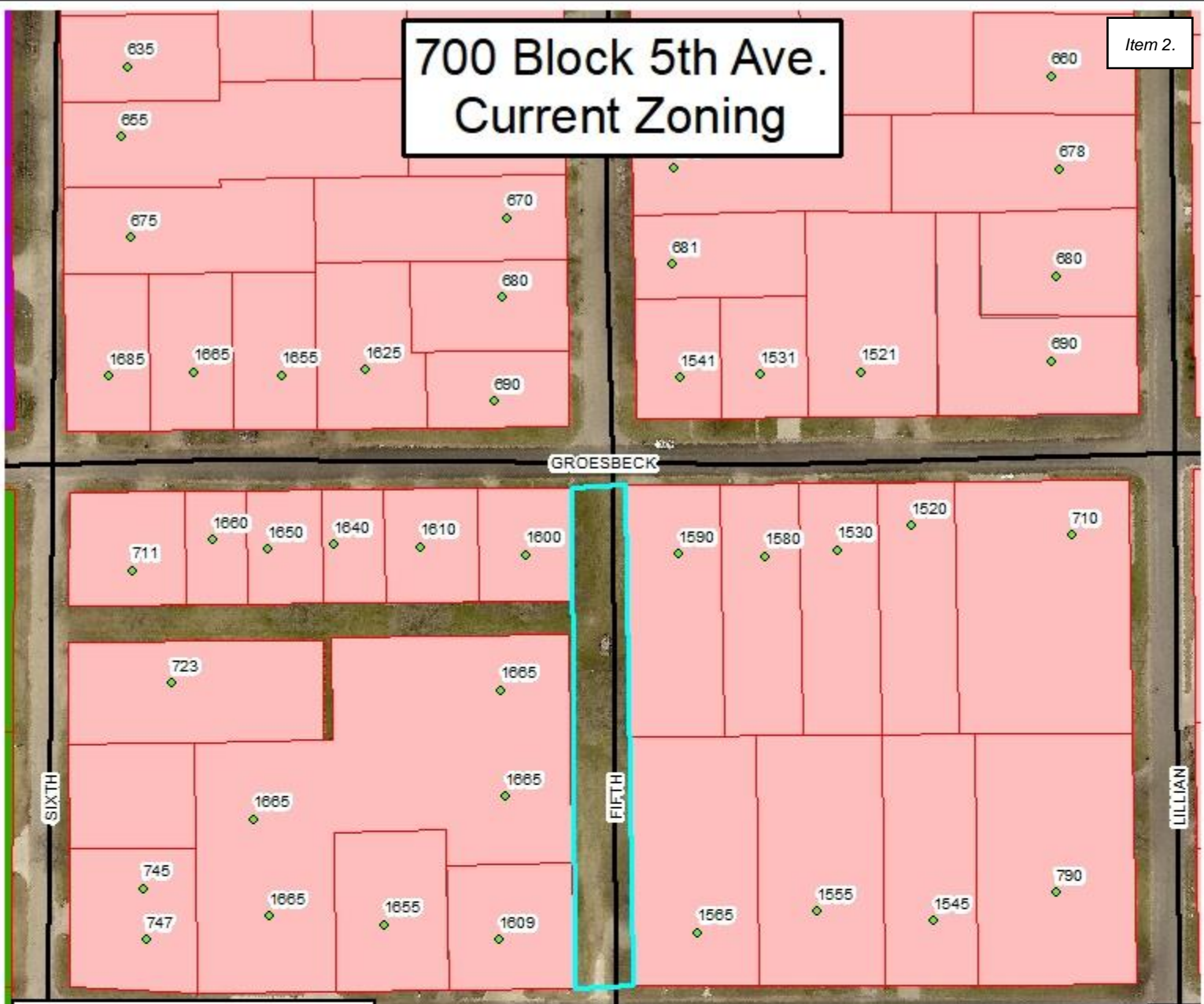
- ◆ Addresses
- Roads
- 700 block 5th Buffer
- 5th_Buffer_Box
- Parcel



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

700 Block 5th Ave. Current Zoning

Item 2.



Legend

- ◆ Addresses
- Roads
- 5th_Buffer_Box
- Parcel

ZONING

- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tareyton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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700 Block 5th Ave. Future Land Use

Item 2.



Legend

- ◆ Addresses
- Roads
- 5th_Buffer_Box
- Parcel

Future Use

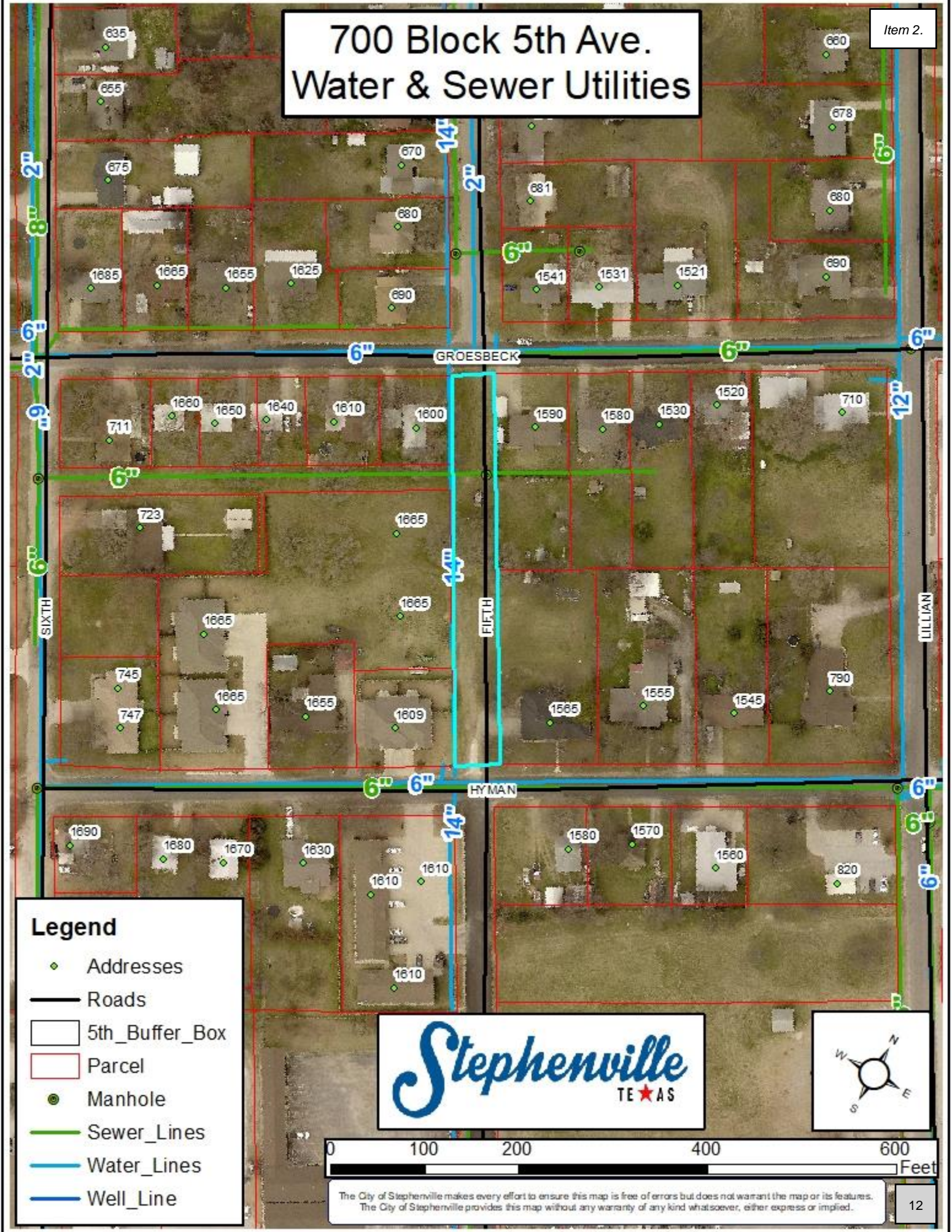
- Ag/Open Space
- Office/Neighbor_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



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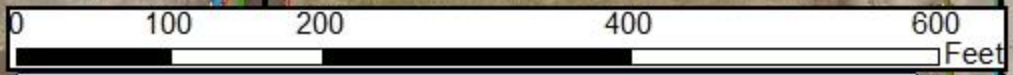
700 Block 5th Ave. Water & Sewer Utilities

Item 2.



Legend

- ◆ Addresses
- Roads
- 5th_Buffer_Box
- ▭ Parcel
- Manhole
- Sewer_Lines
- Water_Lines
- Well_Line



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

700 Block 5th Ave Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000033693	1640 GROESBECK	6 + 6 HOUSING CORPORATION	PO BOX 15173	SAN ANTONIO	TX	78212-8373
R000033767	1570 HYMAN	AGUIRRE SAMUEL	1570 HYMAN	STEPHENVILLE	TX	76401
R000033698	1655 HYMAN	BISSONNETTE ROBERT M & JUDY K	1655 HYMAN	STEPHENVILLE	TX	76401
R000033783	1610 HYMAN	C & S CONTRACTORS INC	PO BOX 1294	STEPHENVILLE	TX	76401
R000033697	1665 HYMAN	C & S CONTRACTORS INC	PO BOX 1294	STEPHENVILLE	TX	76401
R000076531	1609 HYMAN	C & S CONTRACTORS INC	PO BOX 1294	STEPHENVILLE	TX	76401
R000033770	822 S LILLIAN	DB & CB INVESTMENTS LTD	PO BOX 672	STEPHENVILLE	TX	76401-0672
R000033702	1530 GROESBECK	DEAN WILLIAM A & DEBBI	PO BOX 1316	STEPHENVILLE	TX	76401
R000033617	670 S FIFTH	ESQUIVEL JOSE ADRIAN	670 S FIFTH AVE	STEPHENVILLE	TX	76401
R000033619	690 FIFTH	HAMPTON BARBARA REVOCABLE LIFE ESTATE	1702 W SOUTH LOOP	STEPHENVILLE	TX	76401
R000033695	1600 GROESBECK	HENKELL SHERRY JEAN	1600 W GROESBECK ST	STEPHENVILLE	TX	76401
R000033631	1541 GROESBECK	HOLLAND KENNETH & JOYCE	PO BOX 2242	STEPHENVILLE	TX	76401
R000033779	1630 HYMAN	MICHEL'S GARY E	213 WINGED FOOT DR	HIDEAWAY	TX	75771
R000033706	1555 HYMAN	NEVE JAMES R & BRENDA KAY	1555 HYMAN ST	STEPHENVILLE	TX	76401-0000
R000033628	1521 GROESBECK	PICKARD KRISTI & RODNEY	731 MOBLEY RD	CEDAR HILL	TX	75104
R000033694	1610 GROESBECK	QUARLES BRYAN K	1610 GROESBECK	STEPHENVILLE	TX	76401
R000033768	1580 HYMAN	SCHMITTOU JIMMY DON	1580 HYMAN	STEPHENVILLE	TX	76401-0000
R000033701	1580 GROESBECK	SCHOUTEN TOM & NANCY JONES	802 PRAIRIE WIND BLVD	STEPHENVILLE	TX	76401-1809
R000033700	1590 GROESBECK	SHELL JOHN D	1487 W LINGLEVILLE RD	STEPHENVILLE	TX	76401
R000033705	1565 HYMAN	SPEARS ROGER E & CYNTHIA DERRICK	PO BOX 1706	STEPHENVILLE	TX	76401
R000033766	1560 HYMAN	STEPHENVILLE AREA LODGE#2834 BENEVOLENT	PO BOX1792	STEPHENVILLE	TX	76401
R000033616	1625 GROESBECK	STEVENS TRAVIS D	1625 GROESBECK ST	STEPHENVILLE	TX	76401
R000033629	1531 GROESBECK	URBAN JOHN L JR, JOHN L SR & AMY E	1531 W GROESBECK ST	STEPHENVILLE	TX	76401
R000033618	680 FIFTH	WINKELMANN LORI	15385 BEXAR BOWLING RD	MARION	TX	78124
R000033630	681 FIFTH	WOLFE RICHARD MAURICE	PO BOX 871	STEPHENVILLE	TX	76401-0000

Steve Killen

From: Greg Bruner <GregBruner@brunerauto.com>
Sent: Monday, July 19, 2021 5:04 PM
To: Steve Killen
Subject: 700 block of Fifth Avenue

Hi Steve,

I am in receipt of the notice from PZ Commission regarding the consideration of street closure of 700 Block of Fifth Avenue between Groesbeck and Hyman. I have reviewed this area and driven the block. I am agreeable with the consideration of closure as it seems to be a good use of the land to close for development or other use. I do not foresee any negative impact to our property located at 1515 W South Loop Bruner Motors Inc.

Thanks.

Greg Bruner
President
Bruner Motors, Inc.

And Property owner,
Greg Bruner
DB CB Investments, LTD
Manager



STAFF REPORT

SUBJECT: Case No.: RZ2021-012

Applicant Mark Bostock, dba Reunion Center Enterprises, is requesting a rezone of property located at 408 Morgan Mill Rd, Parcel R33346, of SIMS ADDITION, BLOCK 3, LOT 4, of the City of Stephenville, Erath County, Texas, from (R-1) Single Family Residential, to (B-2) Retail and Commercial.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

RECOMMENDATION:

The Comprehensive Plan for future land use designates this property to be Commercial.

BACKGROUND:

Mr. Bostock is requesting the zoning change to allow the businesses currently in place to be properly zoned. The requested zoning conforms to the future land use of the Comprehensive Plan. The property is the current site of of an automobile repair service shop – which is permitted use in Commercial zoning.

CURRENT ZONING:



FUTURE LAND USE:



ZONING AND LAND USE:

Location	Zoning	Future Land Use
Subject Site	R-1 – Single Family	Commercial
North	B-2 – Retail and Commercial	Commercial

South	R-1, Single Family	Commercial
East	R-1, Single Family	Commercial
West	B-1, Neighborhood Business	Multifamily

WATER:

The property is currently served by a 6" water main in Morgan Mill.

SEWER:

The property is currently served by a 8" sanitary sewer main in Morgan Mill.

STREET:

The property is served by Morgan Mill.



DESCRIPTION OF REQUESTED ZONING

Sec. 154.06.2. Retail and commercial business district (B-2).

6.2.A Description. The Retail and Commercial Business District provides areas for the grouping of retail shops and stores offering goods and services for the residents in general. These shopping areas will generally be more densely concentrated and more traffic intensive than allowed in the Neighborhood Business Districts.

6.2.B Permitted Uses.

- (1) Animal grooming;
- (2) Antique shop/art gallery—sales in building;
- (3) Assisted living center;
- (4) Athletic field;
- (5) Automobile service station and car care center;
- (6) Auto parking lot or building (commercial);

- (7) Auto parts sales;
- (8) Auto repair/mechanic garage;
- (9) Auto sales;
- (10) Automobile rental;
- (11) Bail bond service;
- (12) Bakery and confectionery—retail sales only;
- (13) Bakery and confectionery;
- (14) Banks or other financial institutions;
- (15) Boat sales;
- (16) Bottling works (wholesale);
- (17) Building material sales;
- (18) Cabinet and upholstery shop;
- (19) Car wash;
- (20) Care facility for narcotic, alcoholic or psychiatric patients;
- (21) Cemetery/mausoleum;
- (22) Church, temple or mosque;
- (23) Civic/community center;
- (24) Cleaning and pressing—small shop, pickup and delivery;
- (25) Clinic;
- (26) College or university;
- (27) Commercial amusement (indoor);
- (28) Commercial amusement (outdoor);
- (29) Convalescent, nursing or long term care facility;
- (30) Convenience/grocery store (without pumps) convenience store (with pumps);
- (31) Construction equipment rental and sales;
- (32) Construction yard (temporary);
- (33) Contractor shop and storage yard;
- (34) Department store;
- (35) Discount warehouse store;
- (36) Drapery, needlework or weaving shop;
- (37) Farmers Market;
- (38) Feed, seed and fertilizer store—no bulk storage;
- (39) Field office (temporary);
- (40) Florist;
- (41) Fraternal organization, lodge or civic club;
- (42) Furniture or appliance store;
- (43) Golf course or country club, driving range;
- (44) Greenhouse or nursery for retail plant sales with outside storage;
- (45) Handcraft shop;

- (46) Health club, weight and aerobic center;
- (47) Home improvement center;
- (48) Hospital—general acute care (human);
- (49) Hotels and motels;
- (50) Household appliance service and repair;
- (51) Kennel;
- (52) Kiosk;
- (53) Laboratory (medical);
- (54) Landscaping service;
- (55) Laundry and cleaning (self service);
- (56) Lawn equipment and small engine sales and services;
- (57) Micro brewery;
- (58) Mini storage/warehouses;
- (59) Monument retail sales (outside storage);
- (60) Mortuary or funeral home;
- (61) Moving company;
- (62) Neighborhood grocery store (no fuel service);
- (63) Office—professional and general administration;
- (64) Park, playground, public community recreation center;
- (65) Pawn shop;
- (66) Personal service shop (beauty, barber and the like);
- (67) Pet shop—small animals within building;
- (68) Plumbing shop;
- (69) Portable building sales;
- (70) Printing;
- (71) Produce stand;
- (72) Psychic/Tarot card reader;
- (73) Recreational vehicle sales;
- (74) Recycling kiosk;
- (75) Research lab (non-hazardous);
- (76) Restaurant (drive-in type);
- (77) Restaurant or cafeteria—without drive-in service;
- (78) Retail shops and stores other than listed;
- (79) Roofing and siding supply;
- (80) Schools—public, private and parochial;
- (81) Shopping center;
- (82) Storage or repair of furniture and appliances (display inside of building);
- (83) Studio (photographer, musician, artist);
- (84) Studio for radio and television;

- (85) Taxidermy;
- (86) Theater—indoor;
- (87) Tobacco shop;
- (88) Tool and equipment rental shop;
- (89) Trailer rental and sales;
- (90) Veterinary clinic or hospital; and
- (91) Veterinary services.
- (92) Restaurant with alcoholic beverage service.

6.2.C Conditional Uses (Special Use Permit required).

- (1) Day care center—12 or more children;
- (2) Flea market;
- (3) Frozen foods locker;
- (4) Scientific and research laboratories;
- (5) Theater (drive-in); and
- (6) Trade and commercial schools.

6.2.D Height, Area, Yard and Lot Coverage Requirements.

- (1) Maximum density: There is no maximum density requirement.
- (2) Minimum lot area: There is no minimum area requirement.
- (3) Minimum lot width: There is no minimum width requirement.
- (4) Minimum lot depth: There is no minimum depth requirement.
- (5) Minimum depth of front setback: 20 feet.
- (6) Minimum depth of rear setback: There is no minimum rear setback requirement unless the lot abuts upon a Residential District, then a minimum ten feet is required.
- (7) Minimum width of side setback:
 - (a) Internal lot: There is no minimum side setback requirement unless the lot abuts upon a Residential District, then a minimum five feet is required.
 - (b) Corner lot: 20 feet.
- (8) Building size: There are no minimum size regulations.
- (9) Maximum height of structures: 35 feet.
- (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



Note: No rear or side yard except when the lot abuts upon a Residential District, then the minimum setback for rear yard is 10 feet and side yard is five feet.

6.2.E Parking Regulations. All uses permitted in the B-2 District: See Section 11 Parking Regulations.

6.2.F Sign Regulation. See Section 12 for Sign Regulations.

6.2.G Exceptions to Use, Height and Area Regulations. See Section 10.

6.2.H Garbage Regulations. Retail and Commercial District businesses will provide a serviceable area specifically for refuse collection designed for refuse canisters. Each designated canister area will be nine feet wide and eight feet deep (72 square feet), with a cement slab base. If the location of the cement slab is adjacent to a residential district, the slab must be at least five feet from the property line. The refuse area will be enclosed on three sides by a privacy fence. Approach areas will meet the requirements of Subsection 6.2.I.

6.2.I Loading and Unloading Regulations. All loading, unloading and maneuvering of vehicles connected with the activity must be on the premises and will not be permitted in any street. Loading and unloading areas must be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced.

(Am. Ord. 2008-07, passed 5-6-2008; Am. Ord. 2009-23, passed 12-1-2009; Am. Ord. No. 2018-O-25 , § 1, 8-7-2018)

FACTORS TO CONSIDER:

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts

- Size and Location of Parcel - is land large enough and in proper location for proposed use?
- Reasonable Use of Property - does proposed change provide reasonable use of property?
- Zoning has great discretion - deny if applicant has not proven it is in the best interest of City to rezone

ALTERNATIVES

- 1) Recommend the City Council approve the rezoning request.
- 2) Recommend the City Council approve zoning other than requested.
- 3) Recommend the City Council deny the request for rezoning.

ZONING AMENDMENT APPLICATION

CITY OF STEPHENVILLE

1. **APPLICANT/OWNER:** Mark Bostock dba Reunion Center Enterprises
First Name Last Name

ADDRESS: 290 Cheyenne Drive 254-592-3461
Street/P.O. Box Phone No.
Stephenville Texas 76401
City State Zip Code

2. **PROPERTY DESCRIPTION:** 408 Morgan Mill Road
Stephenville Texas 76401
Street Address

3. **LEGAL DESCRIPTION:** Lot 3. Block 4. Sims
Lot(s) Block(s) Addition

4. **PRESENT ZONING:** Residential
Zoning District Title

PROPOSED ZONING: Business- commercial - B-2
Zoning District Title

5. **APPLICANTS REQUEST FOR ZONING CHANGE IS AS FOLLOWS:** Application is
Submitted to correct the current zoning. 408 Morgan Mill Road also the site of Fuller
Transmission shop (a three bay cinder block building)

(Attach an additional sheet if necessary)

G. Mark Bostock
 Signature of Applicant

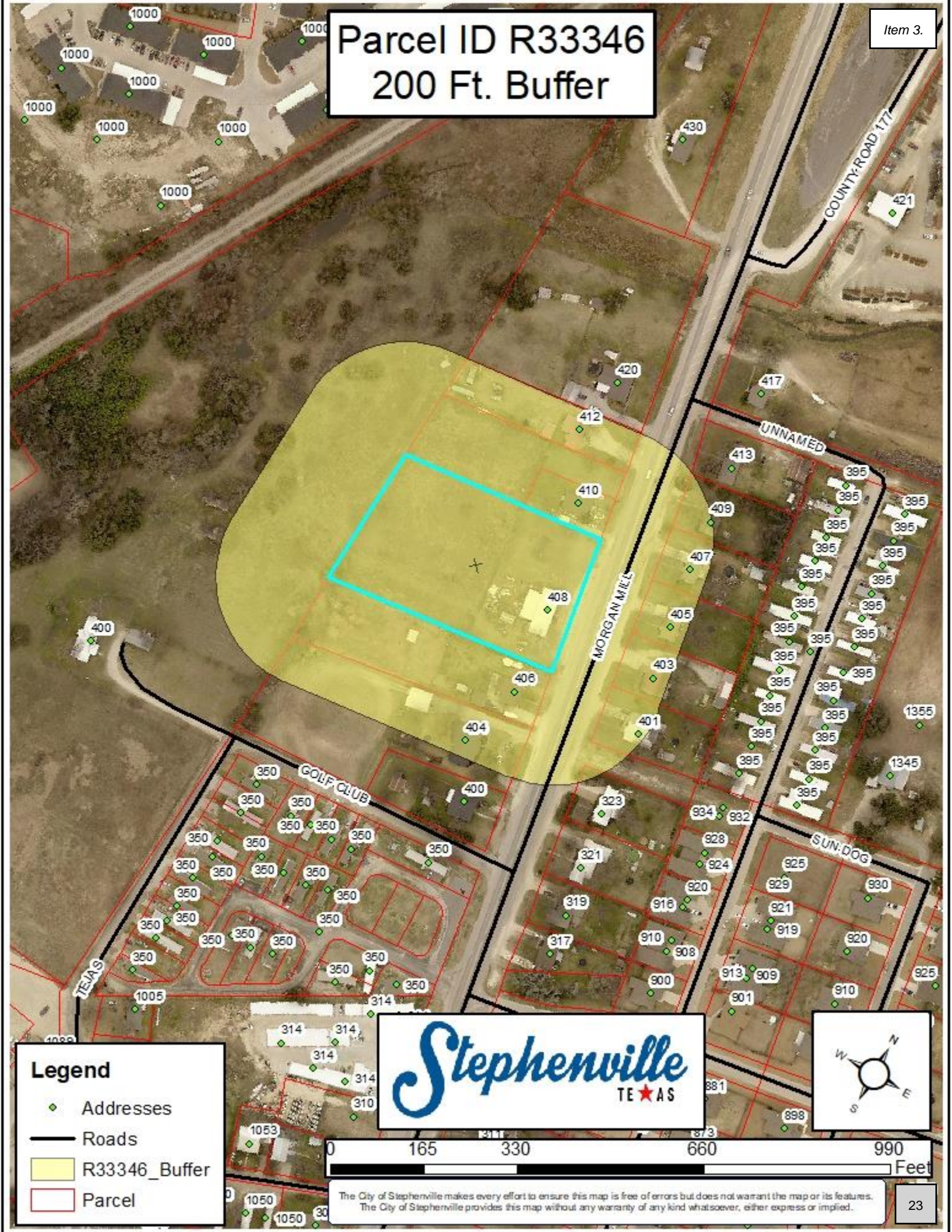
May 29, 2020
 Date

Jana Cox
 Signature of City Official Received

6/1/21
 Date Received

Parcel ID R33346
200 Ft. Buffer

Item 3.



Legend

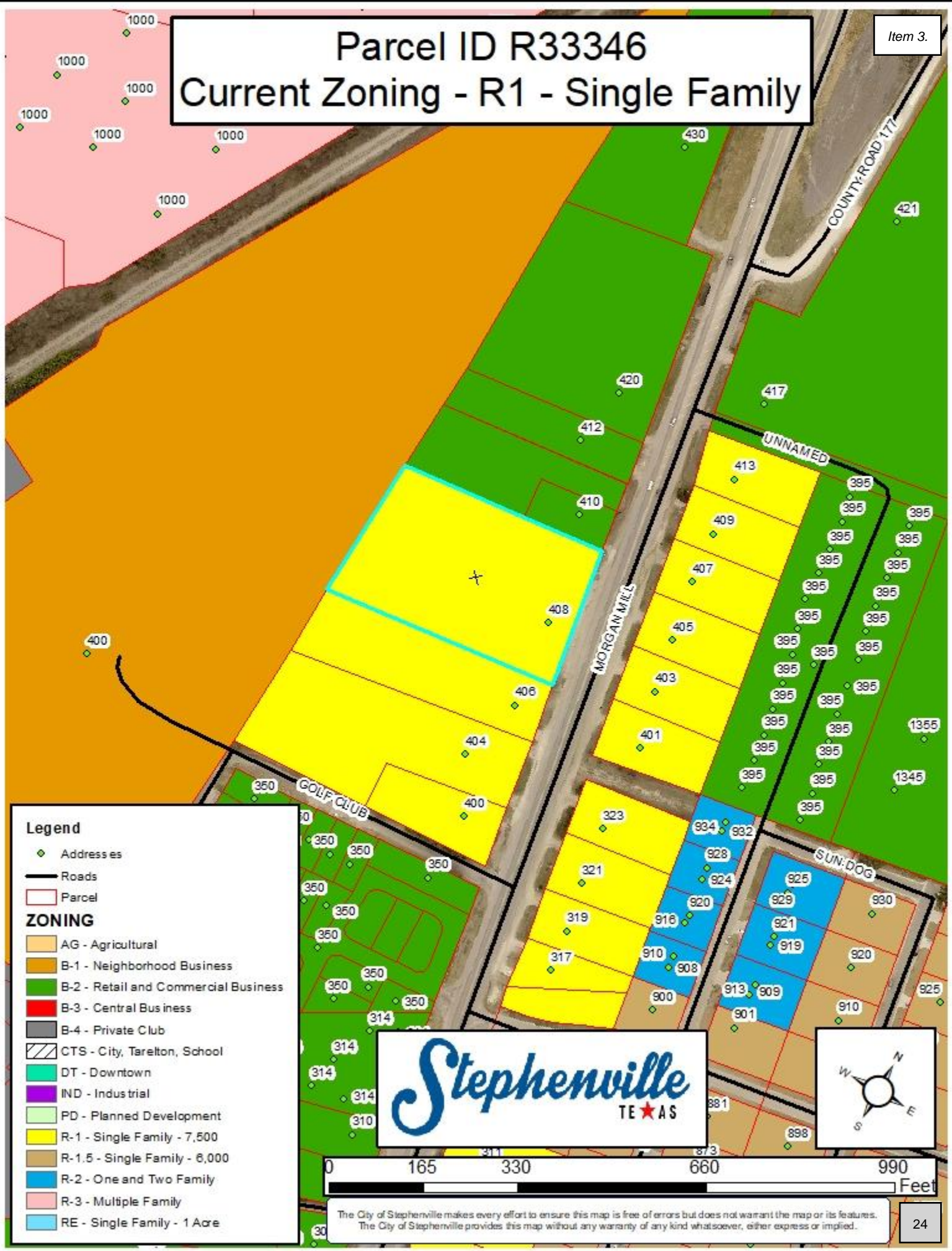
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- R33346_Buffer
- Parcel



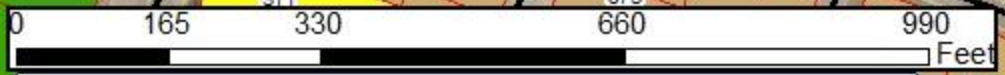
The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

Parcel ID R33346
 Current Zoning - R1 - Single Family

Item 3.



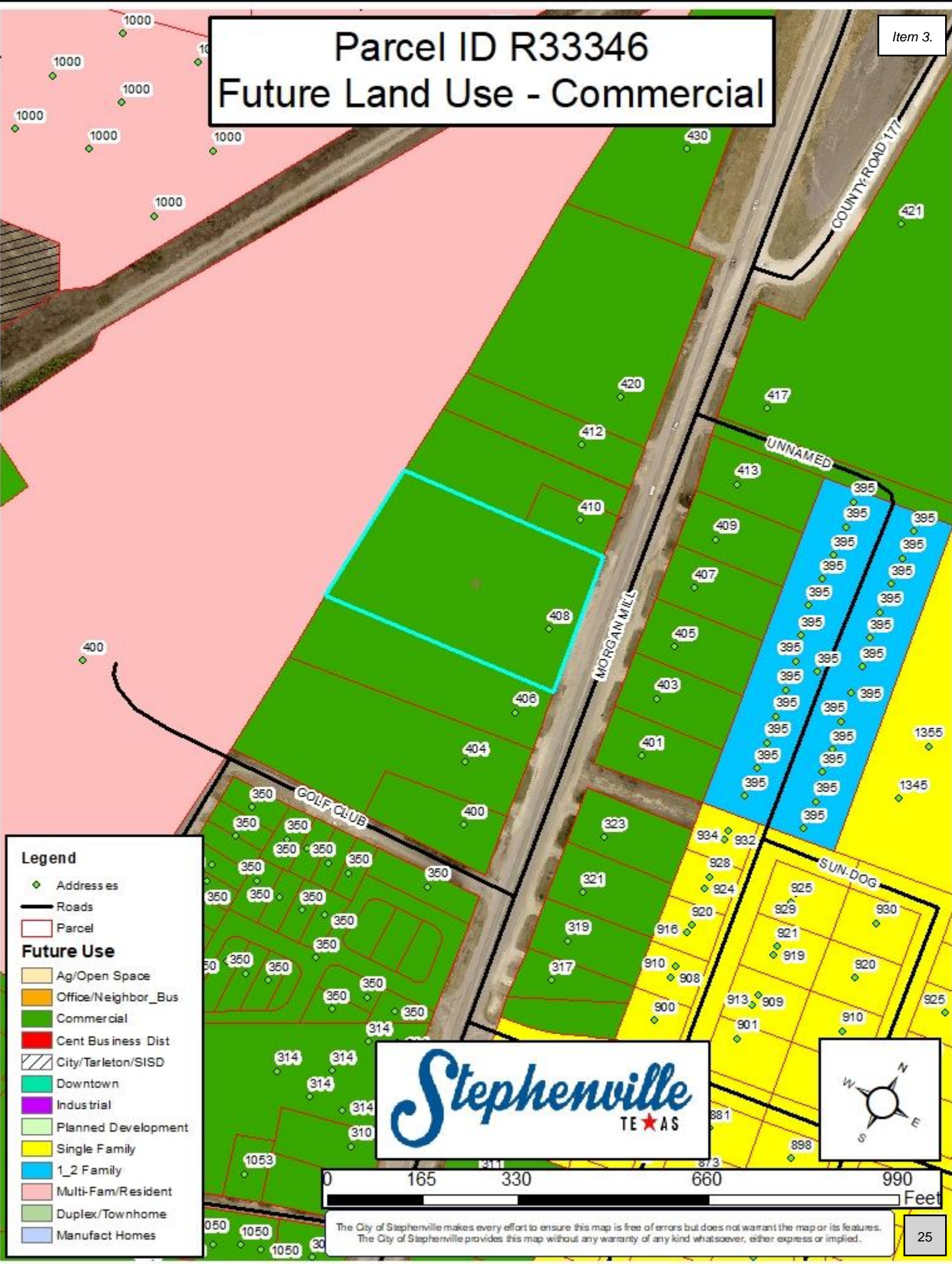
- Legend**
- ◆ Addresses
 - Roads
 - ▭ Parcel
- ZONING**
- AG - Agricultural
 - B-1 - Neighborhood Business
 - B-2 - Retail and Commercial Business
 - B-3 - Central Business
 - B-4 - Private Club
 - CTA - City, Tareyton, School
 - DT - Downtown
 - IND - Industrial
 - PD - Planned Development
 - R-1 - Single Family - 7,500
 - R-1.5 - Single Family - 6,000
 - R-2 - One and Two Family
 - R-3 - Multiple Family
 - RE - Single Family - 1 Acre



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Parcel ID R33346 Future Land Use - Commercial

Item 3.



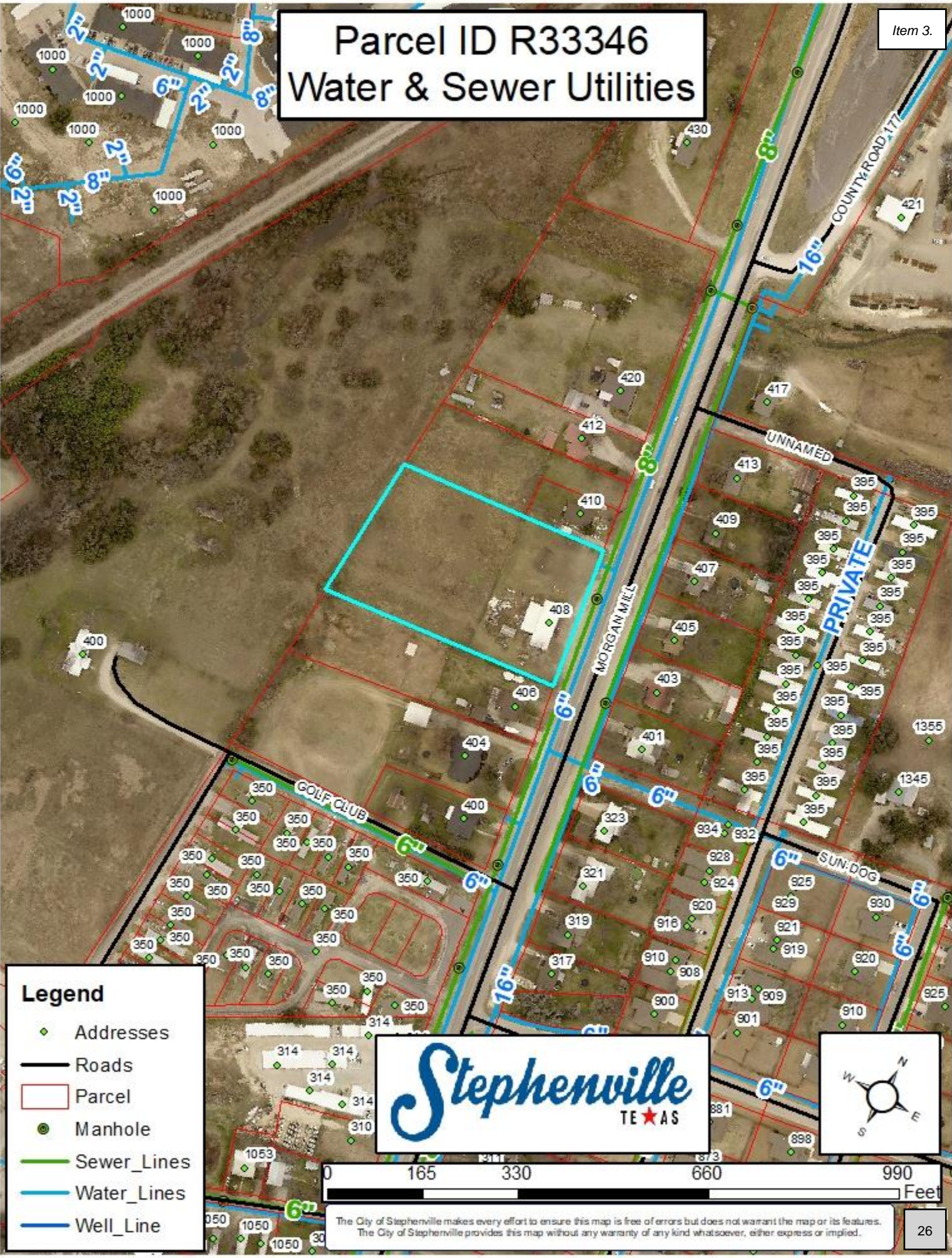
- Legend**
- ◆ Addresses
 - Roads
 - ▭ Parcel
- Future Use**
- Ag/Open Space
 - Office/Neighbor_Bus
 - Commercial
 - Cent Business Dist
 - City/Tarleton/SISD
 - Downtown
 - Industrial
 - Planned Development
 - Single Family
 - 1_2 Family
 - Multi-Fam/Resident
 - Duplex/Townhome
 - Manufact Homes



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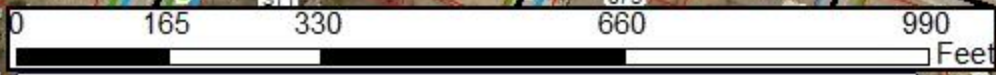
Parcel ID R33346 Water & Sewer Utilities

Item 3.



Legend

- ◆ Addresses
- Roads
- ▭ Parcel
- Manhole
- Sewer_Lines
- Water_Lines
- Well_Line



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Parcel R33346 Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000025052	400 GOLF CLUB RD	BOSTOCK INC	290 CHEYENNE	STEPHENVILLE	TX	76401-0000
R000033356	405 MORGAN MILL ROAD	BUTLER ELIZABETH ANN	5729 W FM8	STEPHENVILLE	TX	76401-9776
R000033358	401 MORGAN MILL ROAD	CHRISTENSON LEVI C	401 MORGAN MILL ROAD	STEPHENVILLE	TX	76401
R000033353	413 MORGAN MILL ROAD	GRISSOM HAZEL REYNOLDS	413 MORGAN MILL RD	STEPHENVILLE	TX	76401-0000
R000033347	406 MORGAN MILL ROAD	LAWRENCE JOHN ROBERT JR & CAMMY JEANETTE LAWRENCE	406 MORGAN MILL RD	STEPHENVILLE	TX	76401
R000033359	323 MORGAN MILL ROAD	MAYFIELD LARRY D	323 MORGAN MILL RD	STEPHENVILLE	TX	76401
R000033343	420 MORGAN MILL ROAD	MCCABE MICHAEL G & TRACY L	420 MORGAN MILL RD	STEPHENVILLE	TX	76401-3606
R000033344	412 MORGAN MILL ROAD	MORENO ROY	1600 POST OAK DR	BEDFORD	TX	76021
R000033346	408 MORGAN MILL ROAD	REUNION CENTER ENTERPRISES	1348 W WASHINGTON	STEPHENVILLE	TX	76401-0000
R000033345	410 MORGAN MILL ROAD	REUNION CENTER ENTERPRISES	1348 W WASHINGTON	STEPHENVILLE	TX	76401-0000
R000066454	410 MORGAN MILL ROAD	REUNION CENTER ENTERPRISES	1348 W WASHINGTON	STEPHENVILLE	TX	76401
R000033354	409 MORGAN MILL ROAD	SLEMMONS TERRY D & KATHY	10181 N US377	STEPHENVILLE	TX	76401
R000033357	403 MORGAN MILL ROAD	TURNER DAVID LANE	6067 S US281	STEPHENVILLE	TX	76401
R000059347	404 MORGAN MILL ROAD	VANDEN BERGE JACK & ELLEN	404 MORGAN MILL RD	STEPHENVILLE	TX	76401
R000033355	407 MORGAN MILL ROAD	WALLACE STACY	PO BOX 142	STEPHENVILLE	TX	76401-0000



STAFF REPORT

SUBJECT: Case No.: RZ2021-013

Applicant Tim Trotter, is requesting a rezone of property at located at 0 Choctaw Rd, Parcel R34558, of WEST GATE ADDITION, BLOCK G (PART OF), of the City of Stephenville, Erath County, Texas, from (Ind.) Industrial to (R-1) Single Family.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

RECOMMENDATION:

The Comprehensive Plan for future land use designates this property to be Single Family.

BACKGROUND:

The intended project for the requested zoning is for single family residential construction. Mr. Trotter has completed the civil work and filed for a minor replat leading to the discovery of BLK G being zoned industrial. Mr. Trotter will be subdividing two parcels into four parcels via the minor replat process upon the approval of this rezone request. The City Council will convene in a specially called meeting on July 22 to expedite the approval.

CURRENT ZONING:



FUTURE LAND USE:



Location

Subject Site

North

South

East

Zoning

(I) Industrial

(R-1) Single Family

(I) Industrial

(R-1) Single Family

Future Land Use

Single Family

Single Family

Commercial/Single Family

Commercial

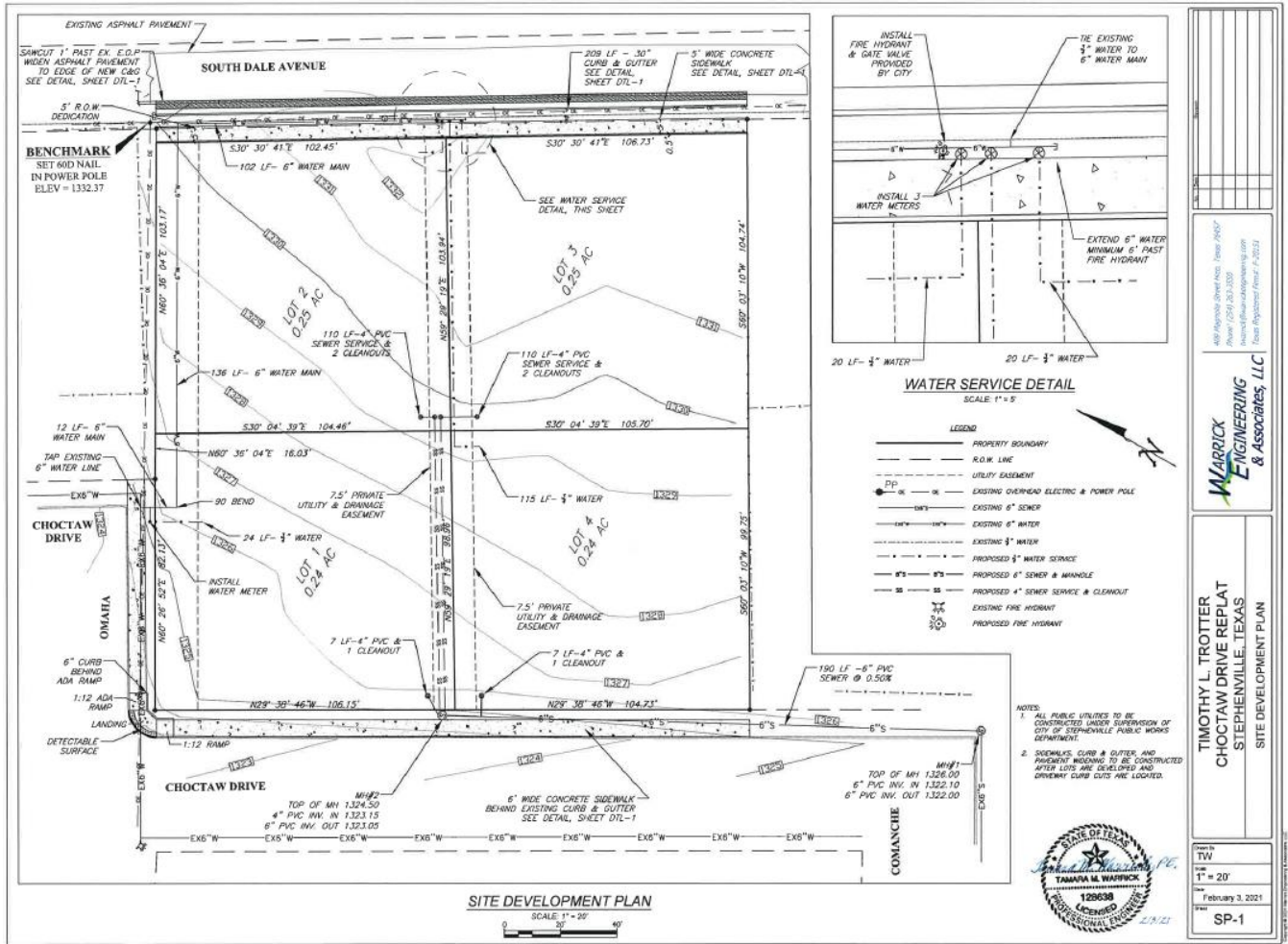
West

(R-1) Single Family

Single Family

WATER, SEWER AND STREET DETAIL:

The property is served by a 12" city water main in Hwy 377 and in Swan in Street.



DESCRIPTION OF REQUESTED ZONING:

Sec. 154.05.3. Single-family residential district (R-1) (7,500 ft²).

5.3.A Description. This residential district provides for a generally lesser density city neighborhood development. The primary land use allows for single-family dwelling development appropriate to a city-style neighborhood. Other uses within this district shall contribute to the nature of the neighborhood. Development within this district is intended to be separate from and protected from the encroachment of land activities that do not contribute to the esthetic and functional well being of the intended district environment.

5.3.B Permitted Uses.

- (1) Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner

shall be legally responsible for directly or indirectly allowing, permitting, causing or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals;

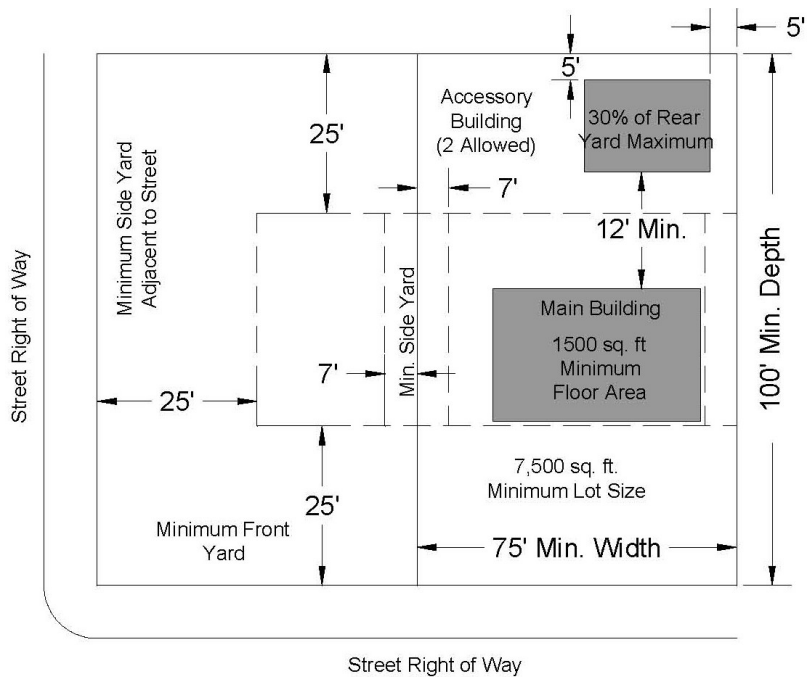
- (2) Accessory buildings;
- (3) Churches, temple, mosques and related facilities;
- (4) Community home;
- (5) Park or playground; and
- (6) SISD school—public.

5.3.C Conditional Uses.

- (1) Home occupation;
- (2) Common facilities as the principal use of one or more platted lots in a subdivision; and
- (3) Child care—registered family home.

5.3.D Height, Area, Yard and Lot Coverage Requirements.

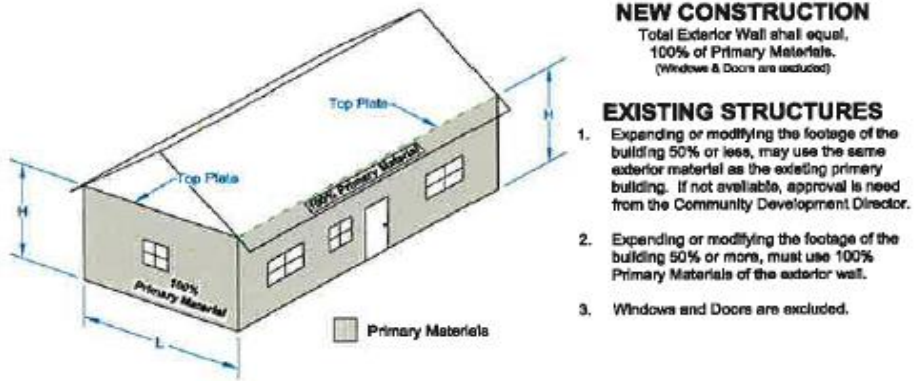
- (1) Maximum density: one dwelling unit per lot.
- (2) Minimum lot area: 7,500 ft².
- (3) Minimum lot width and lot frontage: 75 feet.
- (4) Minimum lot depth: 100 feet.
- (5) Minimum depth of front setback: 25 feet.
- (6) Minimum depth of rear setback: 25 feet.
- (7) Minimum width of side setback:
 - (a) Internal lot: seven feet.
 - (b) Corner lot: 25 feet from intersecting side street.
- (8) Building size:
 - (a) Maximum main building coverage as a percentage of lot area: 40%.
 - (b) Minimum area of main building: 1,500 ft².
- (9) Accessory buildings:
 - (a) Maximum accessory buildings coverage of rear yard: 30%.
 - (b) Maximum number of accessory buildings: two.
 - (c) Minimum depth of side setback: five feet.
 - (d) Minimum depth of rear setback: five feet.
 - (e) Minimum depth from the edge of the main building: 12 feet.
- (10) Maximum height of structures: 35 feet.
- (11) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



5.3.E Parking Regulations. A Single-Family, R-1 District lot shall provide a minimum of two vehicle parking spaces, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in this ordinance, Section 11, Parking Regulations of this ordinance.

5.3.F Type of Construction.

- (1) The exterior walls of all new dwellings to the top plate, shall be constructed exclusively of primary materials, excluding doors, windows, and porches. See Section 10.E(1): Exterior Building Material Standard—Primary Materials.
- (2) Existing dwellings expanding the total square footage of the building 50% or less, or modifying the exterior walls, may use the same exterior construction material as the existing primary building. If the material is not available, similar material may be used if approved by the Community Development Director.
- (3) Existing dwellings expanding the total square footage of the building by more than 50%, or proposing to use a material consistent with the primary structure for any expansion must use primary materials, Section 10.E(1): Exterior Building Material Standard—Primary Materials, for the expansion area.



(Ord. 2011-26, passed 12-6-2011)

FACTORS TO CONSIDER:

- Compliance with Comprehensive Plan?
- Is application consistent with Plan?
- If not, have conditions changed or new information been offered to support change?
- Surrounding Zoning and Land Use
- Infrastructure Impacts
- Size and Location of Parcel - is land large enough and in proper location for proposed use?
- Reasonable Use of Property - does proposed change provide reasonable use of property?
- Zoning has great discretion - deny if applicant has not proven it is in the best interest of City to rezone

ALTERNATIVES

- 1) Recommend the City Council approve the rezoning request.
- 2) Recommend the City Council approve zoning other than requested.
- 3) Recommend the City Council deny the request for rezoning.

#4398

ZONING AMENDMENT APPLICATION

CITY OF STEPHENVILLE

1. **APPLICANT/OWNER:** Tim Trotter
First Name Last Name
- ADDRESS:** 151 CR 2700
Street/P.O. Box Phone No.
- Walnut Springs, TX 76690
City State Zip Code
2. **PROPERTY DESCRIPTION:** Dale O - Choctaw Dr
Street Address
3. **LEGAL DESCRIPTION:** 1 Block G Westgate R34558
Lot(s) Block(s) Addition
4. **PRESENT ZONING:** Industrial
Zoning District Title
- PROPOSED ZONING:** Residential
Zoning District Title
5. **APPLICANTS REQUEST FOR ZONING CHANGE IS AS FOLLOWS:** _____
Rezone Block G to residential,

(Attach an additional sheet if necessary)

Tim Trotter
Signature of Applicant

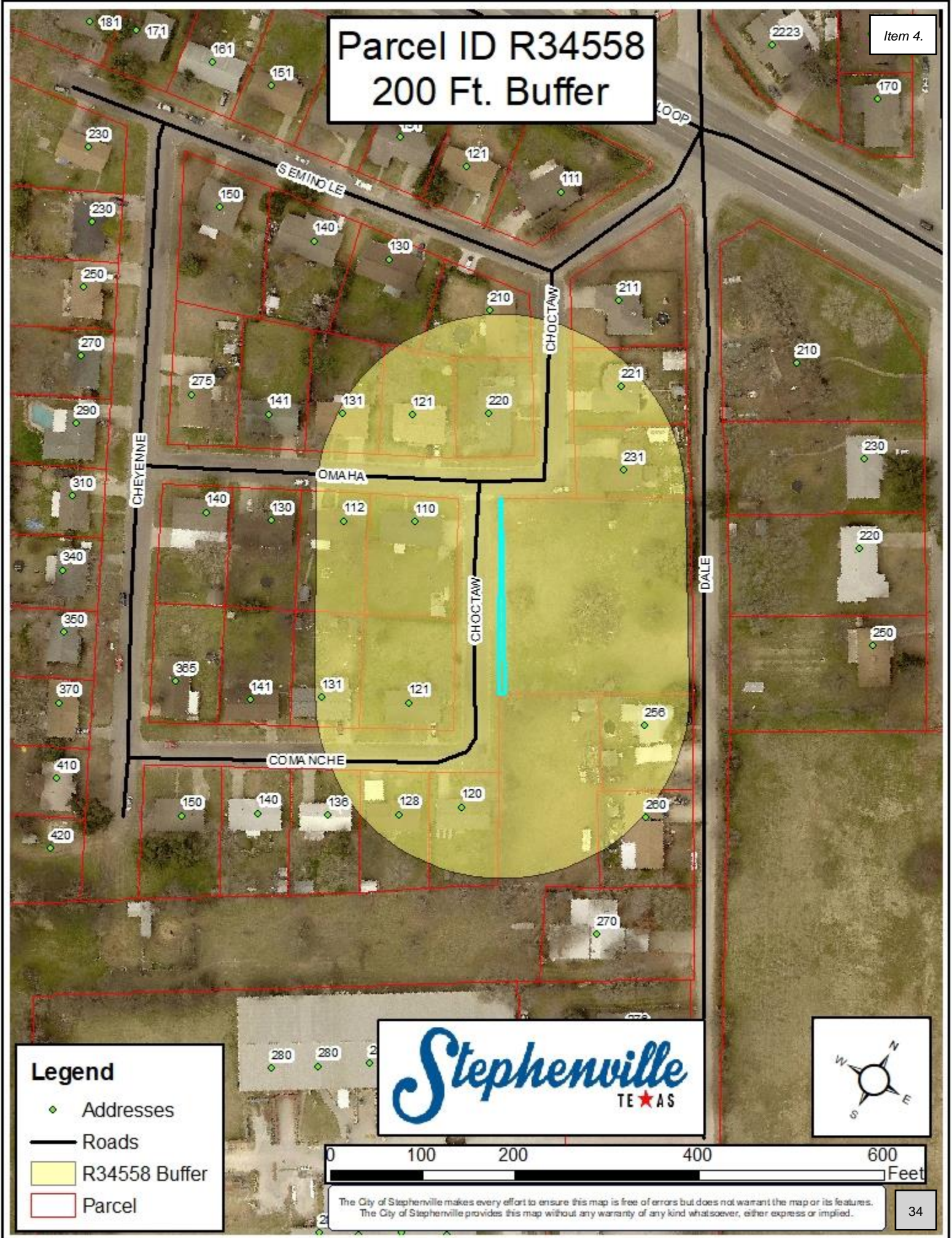
7/2/21
Date

Uma Coy
Signature of City Official Received

7/6/21
Date Received

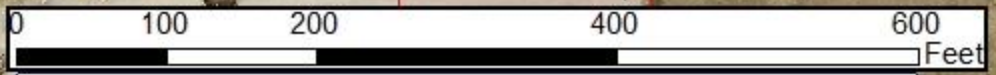
Parcel ID R34558
200 Ft. Buffer

Item 4.



Legend

- ◆ Addresses
- Roads
- R34558 Buffer
- Parcel

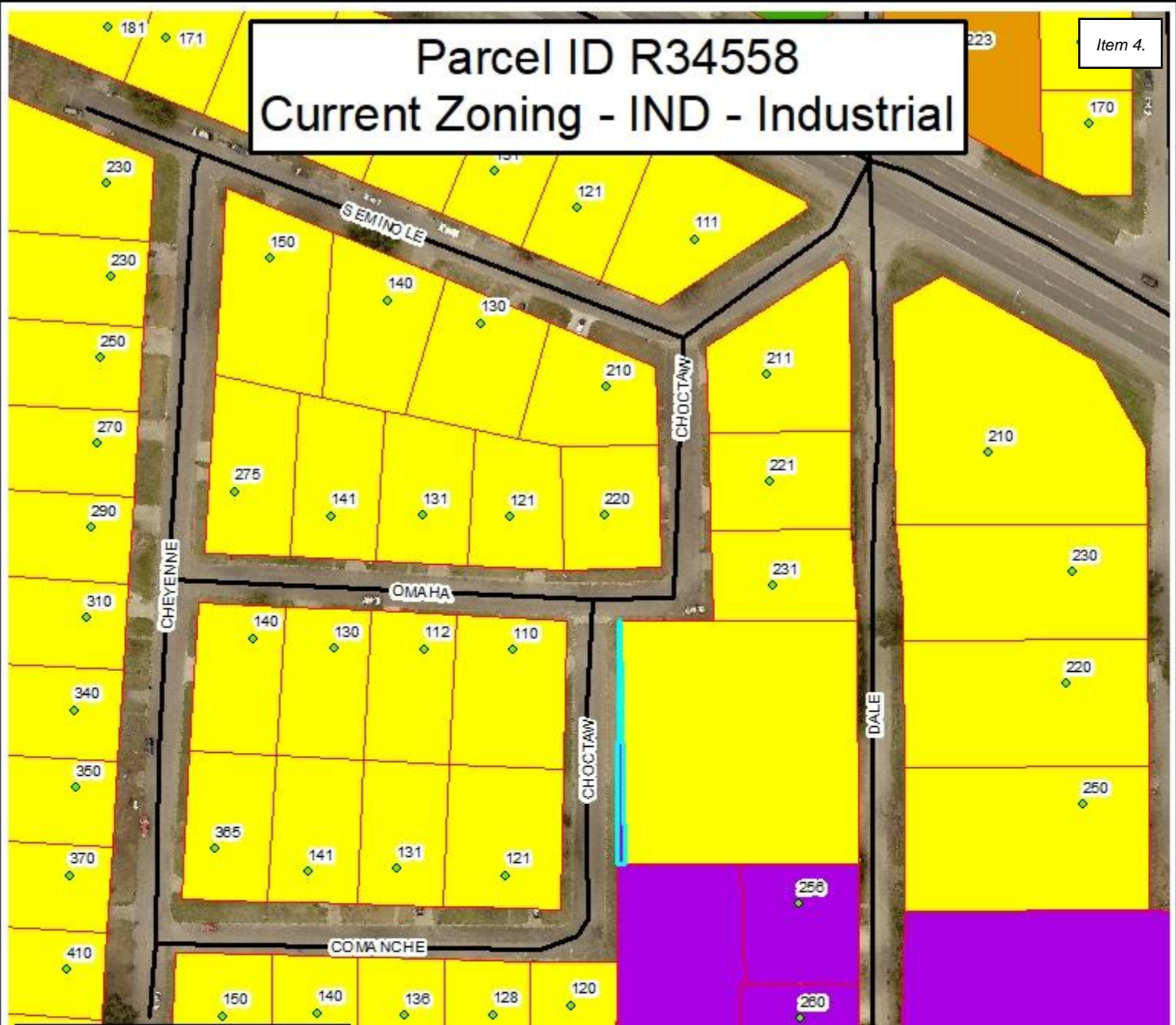


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Parcel ID R34558

Current Zoning - IND - Industrial

Item 4.



Legend

- ◆ Addresses
- Roads
- ▭ Parcel

ZONING

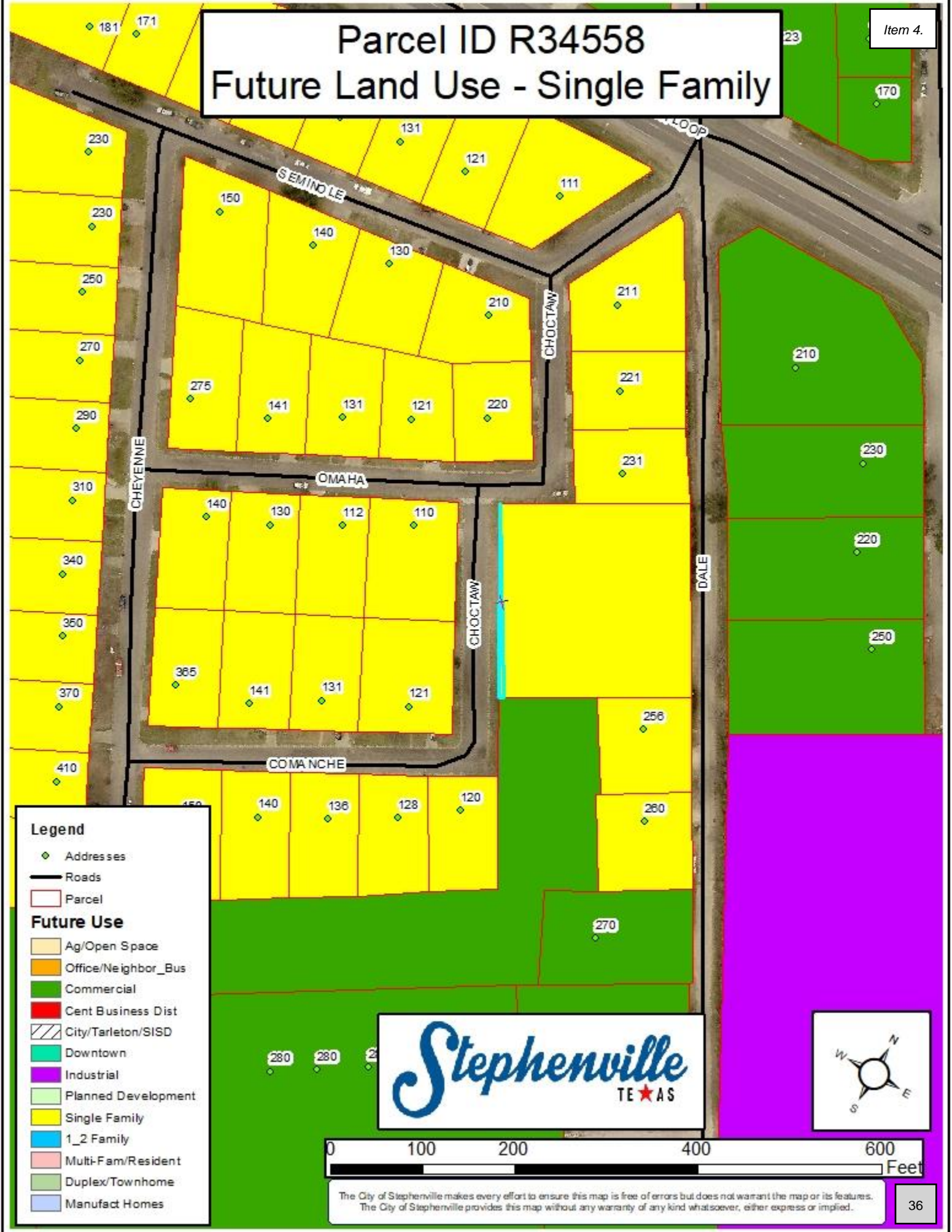
- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tareyton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 8,000
- R-2 - One and Two Family
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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Parcel ID R34558
 Future Land Use - Single Family

Item 4.

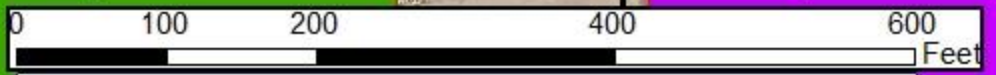


Legend

- ◆ Addresses
- Roads
- ▭ Parcel

Future Use

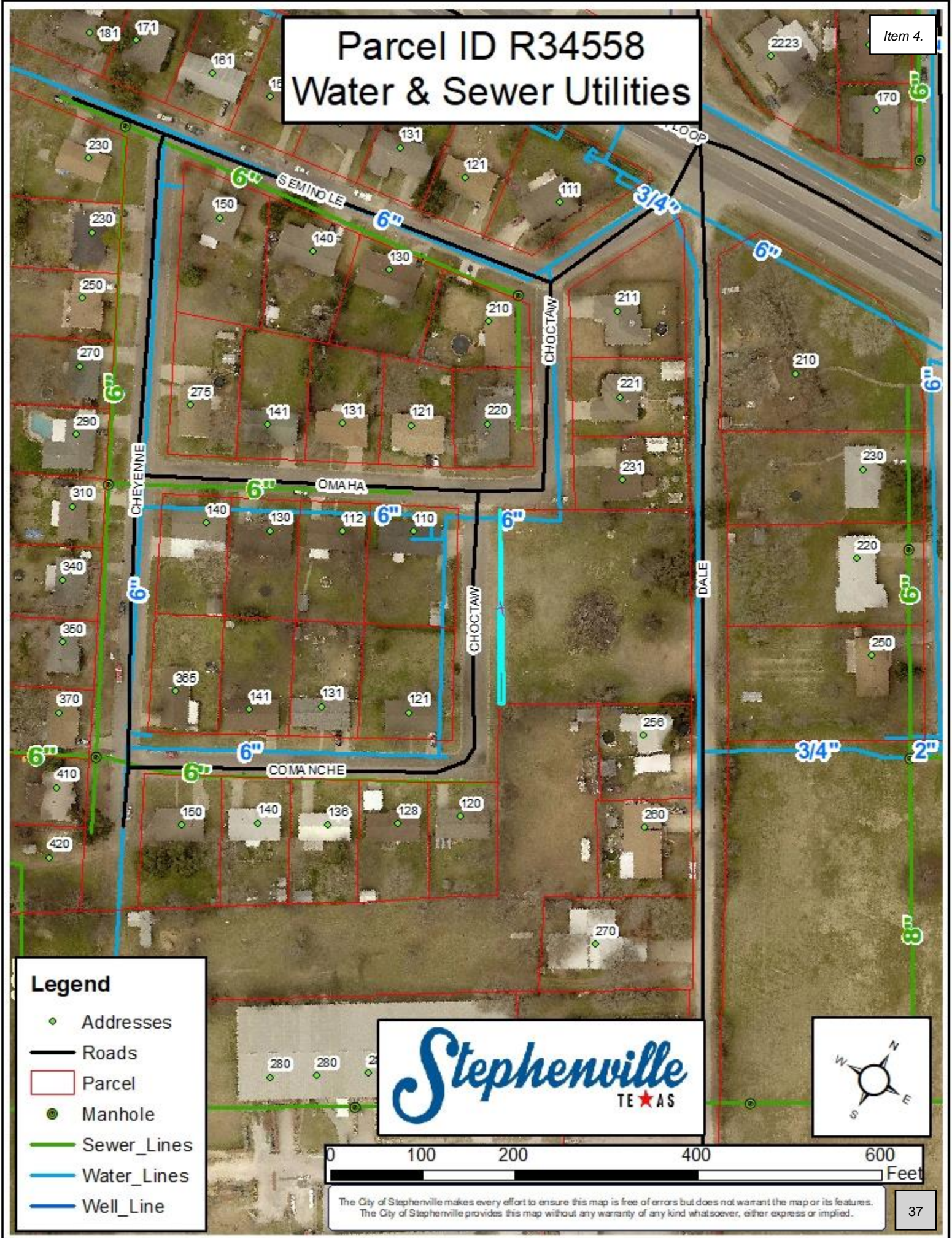
- Ag/Open Space
- Office/Neighbor_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



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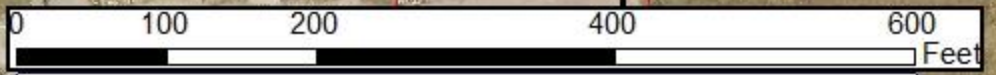
Parcel ID R34558 Water & Sewer Utilities

Item 4.



Legend

- ◆ Addresses
- Roads
- Parcel
- Manhole
- Sewer_Lines
- Water_Lines
- Well_Line



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Parcel R34558 Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000034530	121 OMAHA	BRAMLETT ERNIE & JOYCE	1708 PR1113	STEPHENVILLE	TX	76401-9706
R000034528	210 CHOCTAW	BUCHANAN BRUCE A & BARBIE A	210 CHOCTAW ST	STEPHENVILLE	TX	76401-0000
R000034523	221 CHOCTAW DR	CAREY RAYMOND E & LAURA E	221 CHOCTAW DR	STEPHENVILLE	TX	76401
R000022379	0 S DALE AVE	COLLINS MATTHEW DUSTIN	179 LIVE OAK RD	SANTO	TX	76472
R000034524	231 CHOCTAW	DALLEY ANGELA K (LIFE ESTATE)	231 CHOCTAW ST	STEPHENVILLE	TX	76401
R000034545	128 COMANCHE	ESPINOZA ANTONIO JR	128 COMANCHE	STEPHENVILLE	TX	76401
R000034527	130 SEMINOLE	FREDRICKSON DAVID P & MIA M	308 CR501	STEPHENVILLE	TX	76401-7534
R000034529	220 CHOCTAW	GILCHREST SANNIE WESLEY	220 CHACTAW DR	STEPHENVILLE	TX	76401
R000034538	121 COMANCHE	JONES PAULETTE P	PO BOX 121	STEPHENVILLE	TX	76401
R000034537	110 OMAHA	LOPEZ MARIO & JORDYN ANN	110 OMAHA	STEPHENVILLE	TX	76401-3824
R000034539	131 COMANCHE	MCGEE LARRY D & KIMMY J	131 COMANCHE ST	STEPHENVILLE	TX	76401
R000022377	256 S DALE AVE	MILLER LEAH DIANE ET AL	270 S DALE	STEPHENVILLE	TX	76401
R000072144	211 CHOCTAW DR	PLUMLEE JANE E	PO BOX 33	CYPRESS	TX	77410
R000034544	136 COMANCHE	RESENDEZ ANTONIO JR	136 COMANCHE	STEPHENVILLE	TX	76401
R000042865	260 DALE AVE	STEPHENS JOWELL C	PO BOX 45	STEPHENVILLE	TX	76401-0000
R000034546	120 COMANCHE	TRAFALGAR HOMES OF TEXAS LLC	PO BOX 65	STEPHENVILLE	TX	76401
R000034558	0 CHOCTAW DR	TROTTER TIMOTHY L	151 CR 2700	WALNUT SPRINGS	TX	76690
R000022362	0 S DALE AVE	TROTTER TIMOTHY L	151 CR 2700	WALNUT SPRINGS	TX	76690
R000034536	112 OMAHA	WEATHERMON LARAMEY J	112 OMAHA	STEPHENVILLE	TX	76401
R000034531	131 OMAHA	ZIPP CODY & RHEAGAN LYNCH	131 OMAHA	STEPHENVILLE	TX	76401



STAFF REPORT

SUBJECT: Case No.: PP2021-001

Applicant Reece Flanagan with MMA, Inc., representing Brown Pace Development Company, is requesting a preliminary plat of property located at 422 S Lillian, Parcel R33522, of SOUTH SIDE ADDITION, BLOCK 8, LOT 5,6,7,8, J & D MHP of the City of Stephenville, Erath County, Texas. The applicant is requesting approval of a preliminary plat of subdividing three parcels into 64 lots.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

RECOMMENDATION:

The Comprehensive Plan for future land use designates this property to be R-3, Multifamily.

BACKGROUND:

Previous cases reviewed by the Commission and approved by City Council have resulted in the rezoning of three parcels known as 422 S. Lillian, 1600 W. Swan and 1601 W. Swan. The intended project is the for the future development of townhomes that will be sold individually. The project will result in the removal of mobile homes currently in-place on two of the three parcels (422 S. Lillian and 1601 W. Swan). The Board of Adjustment approved variance requests for the three parcels to allow for reduced lot width, depth and overall square footage requirements. The applicant is now requesting approval of the preliminary plat. The applicant will return for approval of a Final Plat once the project begins and public improvements are completed/accepted by the city.

CURRENT ZONING:



FUTURE LAND USE:



WATER AND SEWER:

Public improvements will be extended as part of the project as part of the development process.

DESCRIPTION OF ZONING

Sec. 154.05.6. Multiple family residential district (R-3).

5.6.A Description. This residential district provides for medium to high-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, and multiple family housing buildings and complexes. All R-3 zoning will be appropriate to a city-style neighborhood. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the esthetic and functional well being of the intended district environment.

5.6.B Permitted Uses.

- (1) Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals;
- (2) Two-to-four family dwellings, with each family limited as in division (1) above;
- (3) Townhouse dwellings, with each family limited as in division (1) above;
- (4) Condominium dwellings, with each family limited as in division (1) above;
- (5) Multiple family dwellings, with each family limited as in division (1) above;
- (6) Assisted living center;
- (7) Convalescent, nursing or long term-care facility;
- (8) Retirement housing complex;
- (9) Accessory buildings;
- (10) Churches, temples, mosques and related facilities;
- (11) Community home;
- (12) Park or playground;
- (13) SISD school—public;
- (14) Bed and breakfast/boarding house;
- (15) Group day care home;
- (16) Registered family home;
- (17) Day care center; and
- (18) Fraternity or sorority house.

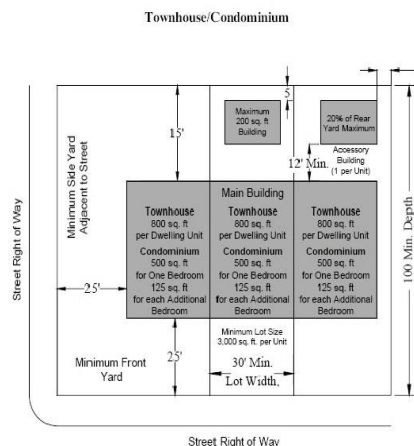
5.6.C Conditional Uses.

- (1) Home occupation;
- (2) Common facilities as the principal use of one or more platted lots in a subdivision;
- (3) Adult and/or children's day care centers;
- (4) Foster group home; and
- (5) Residence hall.

5.6.D Height, Area, Yard and Lot Coverage Requirements.

- (C) *Townhouse/Condominium.*
 - (1) Minimum lot area: 3,000 ft² per unit.
 - (2) Minimum average lot width and lot frontage: 30 feet.

- (3) Minimum lot depth: 100 feet.
- (4) Minimum depth of front setback: 25 feet.
- (5) Minimum depth of rear setback: 15 feet.
- (6) Minimum width of side setback:
 - (a) Internal lot: five feet.
 - (b) Corner lot: 25 feet from intersecting side street.
- (7) Building size:
 - (a) Maximum building coverage as a percentage of lot area: 40%
 - (b) Minimum area of each Townhouse dwelling unit: 800 ft².
 - (c) Minimum area of each Condominium of each dwelling unit: 500 ft² for one bedroom or less, plus 125 ft² of floor area for each additional bedroom.
- (8) Accessory buildings:
 - (a) Maximum accessory building coverage of rear yard: 20%.
 - (b) Maximum area of each accessory building: 200 ft².
 - (c) Maximum number of accessory buildings: one per unit.
 - (d) Minimum depth of side setback: five feet.
 - (e) Minimum depth of rear setback: five feet.
 - (f) Minimum depth from the edge of the main building: 12 feet.
- (9) Maximum height of structures: 35 feet.
- (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



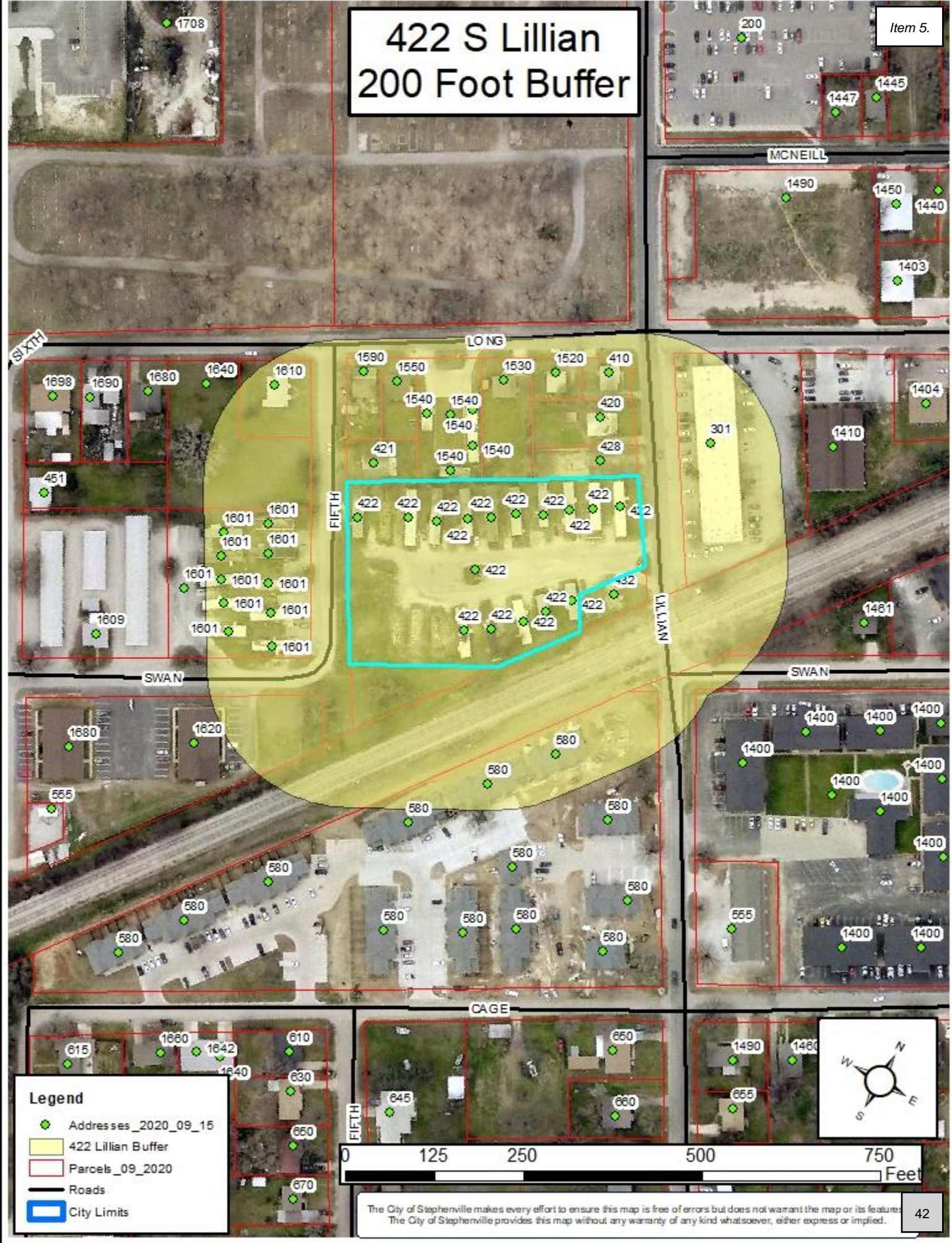
A Townhouse/Condominium, R-3 District lot shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in this ordinance, Section 11, Parking Regulations of this Ordinance.

ALTERNATIVES

- 1) Recommend the City Council approve the preliminary plat.
- 2) Recommend the City Council deny the preliminary plat.

422 S Lillian 200 Foot Buffer

Item 5.



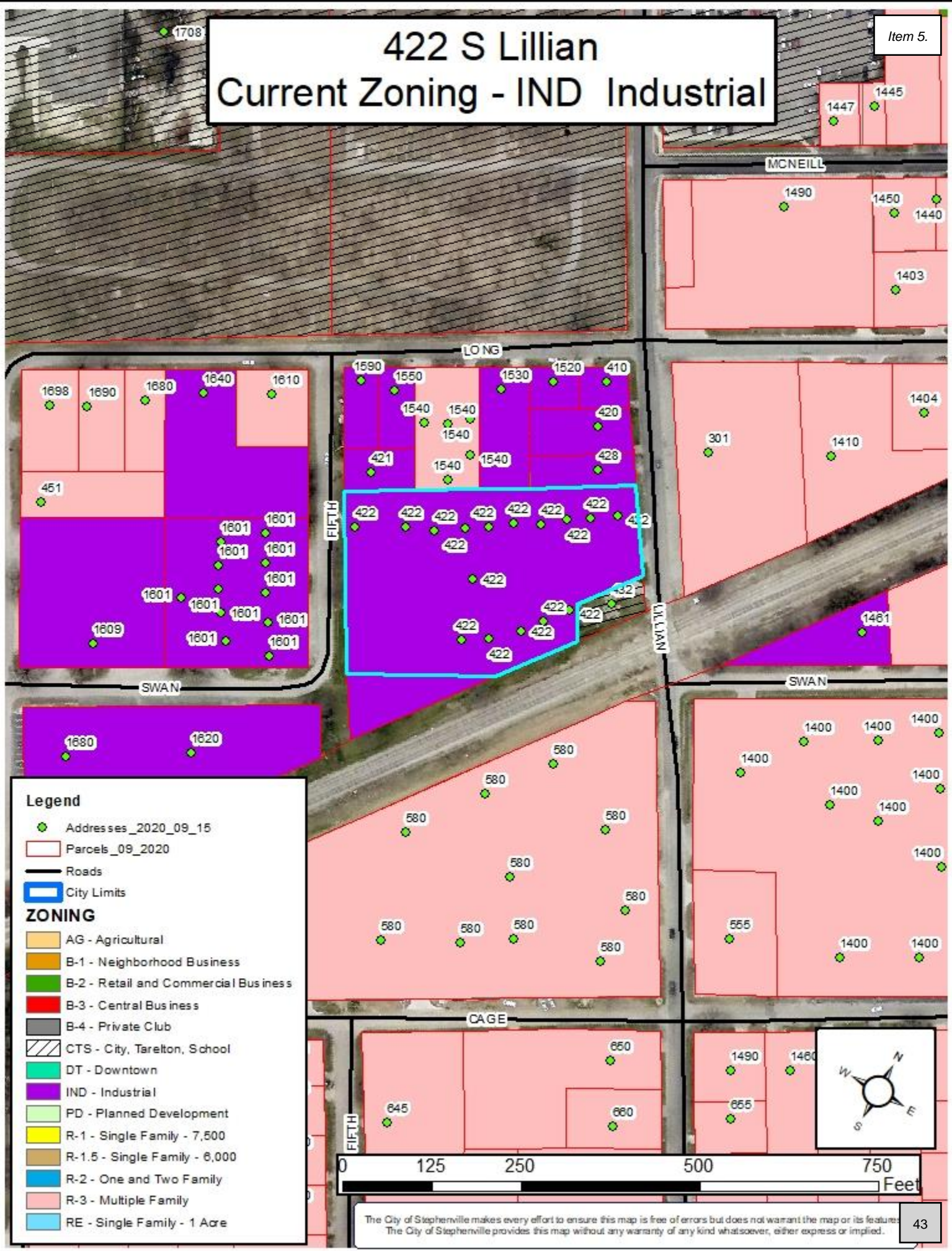
Legend

- Address es_2020_09_15
- 422 Lillian Buffer
- Parcels_09_2020
- Roads
- City Limits

The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

422 S Lillian Current Zoning - IND Industrial

Item 5.



Legend

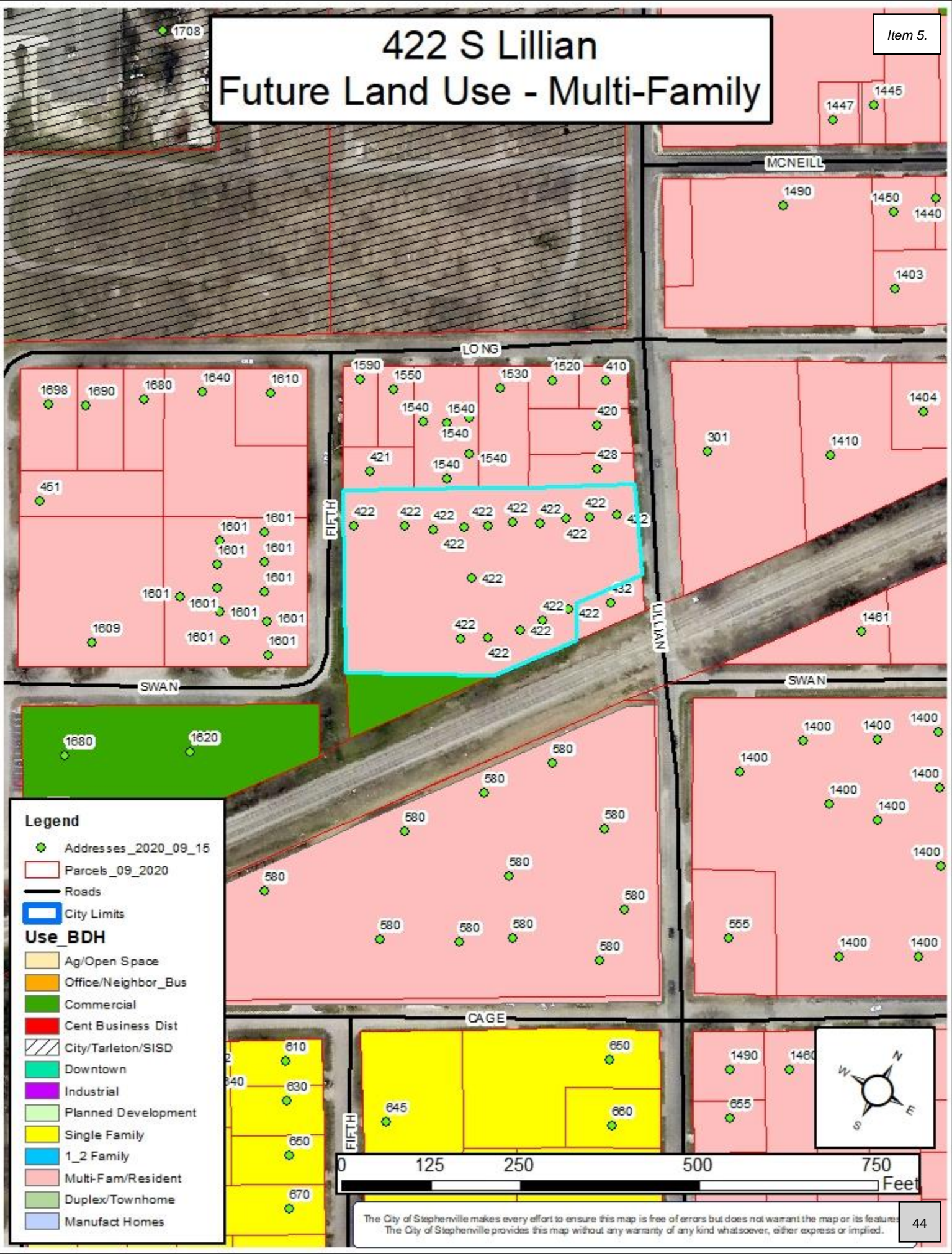
- Addresses_2020_09_15
 - Parcels_09_2020
 - Roads
 - City Limits
- ### ZONING
- AG - Agricultural
 - B-1 - Neighborhood Business
 - B-2 - Retail and Commercial Business
 - B-3 - Central Business
 - B-4 - Private Club
 - CTS - City, Tareyton, School
 - DT - Downtown
 - IND - Industrial
 - PD - Planned Development
 - R-1 - Single Family - 7,500
 - R-1.5 - Single Family - 6,000
 - R-2 - One and Two Family
 - R-3 - Multiple Family
 - RE - Single Family - 1 Acre



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422 S Lillian Future Land Use - Multi-Family

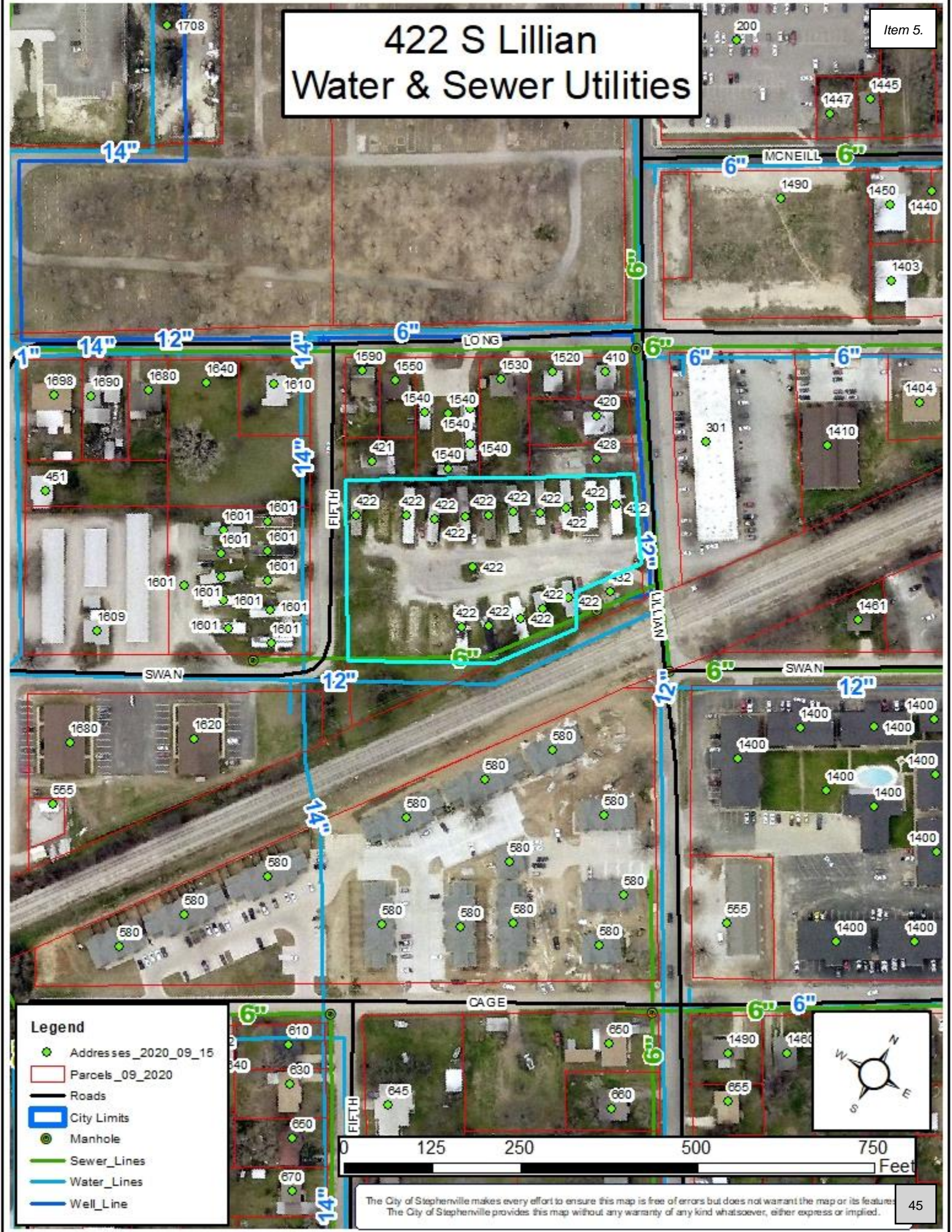
Item 5.



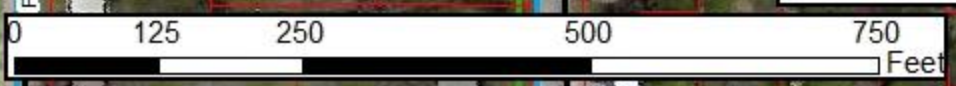
The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

422 S Lillian Water & Sewer Utilities

Item 5.



- Legend**
- Addresses_2020_09_15
 - Parcels_09_2020
 - Roads
 - City Limits
 - Manhole
 - Sewer_Lines
 - Water_Lines
 - Well_Line



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

422 S Lillian Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000033564	1600 W SWAN	LILLIAN PARK, LLC	422 S LILLIAN ST LOT #4	STEPHENVILLE	TX	76401
R000033514	1590 LONG	RIOJAS RAFAEL & ROSA	3133 BOB WHITE	STEPHENVILLE	TX	76401-0000
R000033516	1550 LONG	BYRD SAM & KRISSEY	115 BRIDAL PATH	STEPHENVILLE	TX	76401
R000033519	1520 LONG	MULBARGER TODD & KIM	153 VALLEY OAK PLACE	WOODBIDGE	CA	95258
R000033520	410 LILLIAN	PHILLIPS RENTALS LLC	123 WILLOW LN	STEPHENVILLE	TX	76401
R000033523	432 S LILLIAN	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000033515	421 FIFTH	BLEDSE BRENT & MARCELLA LOWE	1207 PRAIRIE WIND	STEPHENVILLE	TX	76401
R000033521	420 LILLIAN	PHILLIPS RENTALS LLC	123 WILLOW LN	STEPHENVILLE	TX	76401
R000033510	1610 LONG	LOWERY CLINTON ALAN	1610 W LONG	STEPHENVILLE	TX	76401
R000033518	1530 LONG	9K PROPERTIES LLC	118 CR102	CISCO	TX	76437
R000033525	1461 SWAN	THE WRINKLE FAMILY TRUST	1005 CHARLOTTE	STEPHENVILLE	TX	76401
R000033517	1540 W LONG	BENHAM JODY BLAKE	1630 CR510	STEPHENVILLE	TX	76401
R000033511	1640 LONG	BACHUS JAMES O	PO BOX 552	STEPHENVILLE	TX	76401-0000
R000033513	1601 W SWAN	LILLIAN PARK, LLC	422 S LILLIAN ST LOT #4	STEPHENVILLE	TX	76401
R000033522	422 S LILLIAN	LILLIAN PARK, LLC	422 S LILLIAN ST LOT #4	STEPHENVILLE	TX	76401
R000033562	1680 W SWAN	WV RENTALS PROPERTIES LLC	PO BOX 1353	STEPHENVILLE	TX	76401
R000040818	428 S LILLIAN	TEXAS COMMUNICATIONS OF BROWNWOOD LP	PO BOX 290	DE LEON	TX	76444
R000033524	301 S LILLIAN	MIMG LXI LILLIAN II SUB LLC	2195 HWY 83 STE 14B	FRANKTOWN	CO	80116
R000033566	1400 W SWAN	MIMG LXI COLUMNS SUB LLC	2195 N HWY 83 STE 14B	FRANKTOWN	CO	80116
R000033563	580 S LILLIAN	D818 LLC	PO BOX 1827	STEPHENVILLE	TX	76401
R000014966	0 N PADDOCK & VANDERBILT	FORT WORTH & WESTERN RAILROAD	6300 RIDGLEA PLACE STE 1200	FORT WORTH	TX	76116-5738

Plat Application and Checklist

Please note that this checklist is intended to assist developers and design professionals in the preparation of submittals for DRC review and are generally what is needed to facilitate the review of the proposed plat. A submittal of a complete application will facilitate a timely review. Failure of the applicant to provide required information will result in application not being processed. Under special circumstances, additional items may be required through the Development Review Committee process prior to approval.

Please check the Appropriate Box: Final Plat Preliminary Plat Amended Plat Minor Plat
Residential Replat Replat Conveyance Plat

PROPERTY INFORMATION:

Project Name: Lillian Townhomes Parcel(s) Tax ID# (Required): R000033522 & R0
Project Address (Location): 422 S Lillian St. & 1601 W. Swan St. Total Acres: 3.35
Previous Project Number (If Applicable): N/A
Existing Zoning: R3-Multi Family # of Existing Lots: 8 # of Existing Units: N/A
Proposed Zoning: R3-Multi Family # of Proposed Lots: 64 # of Proposed Units: 49

SIGNATURE: *MR Flagan*

Owner Information and Authorization

Name: Marc Pace
Company Name: Brown Pace Development Company
Address: 819 Old Annette Road Aledo, TX 76008
Telephone: 817-501-9812 Email: mpace37@yahoo.com
• Please Note: e-mail addresses will be used to notify the owner or representative of the status of the plat.

SEE ATTACHED IMAGE FROM LAND OWNER.

CHECK ONE OF THE FOLLOWING:

- I will represent the application myself; or
- I hereby designate Reece Flanagan, PE (mma, Inc.) (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this development application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.

I hereby certify that I am the owner of the property and further certify that the information provided on this development application is true and correct. By signing below, I agree that the City of Stephenville (the "City") is authorized and permitted to provide information contained within this application, including the email address, to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in connection with the application, if such reproduction is associated with the application in response to a Public Information Request.

Owner's Signature: _____ Date: _____

STATE OF TEXAS COUNTY OF _____ BEFORE ME, a Notary Public, on this _____ day personally appeared _____ (printed owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the owner, for the purposes of this application; that all information submitted herein is true and correct." SUBSCRIBED AND SWORN TO before me, this the _____ day of _____, 20____.

Notary Signature _____

(seal)

Plat Application and Checklist

Please note that this checklist is intended to assist developers and design professionals in the preparation of submittals for DRC review and are generally what is needed to facilitate the review of the proposed plat. A submittal of a complete application will facilitate a timely review. Failure of the applicant to provide required information will result in application not being processed. Under special circumstances, additional items may be required through the Development Review Committee process prior to approval.

ITEMS TO BE SUBMITTED:

- Application and Checklist.
- Associated Fee(s): as listed on the Development Review Fee Schedule.
- Project Narrative: Written proposal for the project.
- Plats: Plats will be drawn on a sheet size of 24" x 36" with a 3" x 3" clear box in the right hand corner (these are county requirement for filing). Two Mylar and two paper copies are required to be submitted. Smaller or larger sheet size may be accepted only if approved by Director of Planning and Building Departments. Plats will be drawn to a scale no smaller than 1" = 100' unless otherwise approved by the Director. Black and white originals are preferred as color lines are sometimes hard to pick-up via copy.
- 24" x 36" Engineering/Support Documents (if required) Engineering/support documents are required for all public improvements, including sidewalks. Engineering/support documents will be drawn to a plan view scale not smaller than 1" = 100' with exception to the drainage area map which may be a scale not smaller than 1" = 400' unless otherwise approved by the Director.
- All documents shall bear appropriate seals, stamps or other validations/certifications of work as applicable in accordance with State law and local requirements.
- Utilities Acceptance Form
- Plat Checklist: I have reviewed the checklist and all submittals for completeness and accuracy.
- Digital Submission: All items should be submitted digitally in PDF format.

GENERAL INFORMATION:

A plat is intended to serve as the official recorded map of the property to be developed, showing thereon the boundaries, lots, public streets and easements and other significant public facilities and features which are necessary to serve the development, as required by the Stephenville Subdivision Ordinance. A plat of the property to be subdivided or developed is required of all development to which Stephenville Subdivision Ordinance applies. For a development to be constructed in phases, the plat may include only a portion of the land included in a general development plan and/or preliminary plat.

Applicant information required: the applicant, owner and contact information must be provided in entirety. If multiple design professionals are involved in the preparation of the plat document, list the principal design professional. All correspondence relating to the plat will be directed to the contact designated on the application.

Owner signature: the plat application is required to be signed by the current property owner. If the property owner is not available to sign the application, then a notarized letter of authorization from the property owner is required to be submitted which empowers a designee to sign for the property owner.

Acceptance of plat application: All plat applications will be reviewed for completeness in accordance with this checklist before they are accepted by City Staff. Failure of applicant to provide required information constitutes grounds for refusal of plat acceptance for processing; or staff recommendation of denial when application is scheduled for consideration.



Planning and Building Department
 298 W. Washington, Stephenville TX 76401
 Phone: (254) 918-1213 www.stephenvilletx.gov

PLAT SHALL CONTAIN:

On Plat **N/A**

- | | | |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | The date, written and graphic scale, north arrow, proposed name of the development, key map showing the location of the development in relation to existing streets and highways and dates of preparation and revisions. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | The signature block of the owner or owners of the land included within the plat, acknowledged in the form required for the acknowledgement of deeds. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Name of the subdivider or developer, record owner and surveyor. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Provide a note on the plat stating the purpose of the Plat. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Title Block containing: Proposed name of the subdivision or lot on record, acres in previously platted and unplatted land and total of those acres, survey and jurisdiction (City of Stephenville, County of Erath, Texas, for example). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Proposed name of the subdivision, development or lot on record, which shall not have the same spelling or be pronounced similarly to the name of any other development located on land within the jurisdiction of the city. Developers of phased development shall use the same base name for different sections, identified by a section number. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | The development boundary lines, shown by a continuous dark line of sufficient width to be easily identified, as shown by a survey performed by a registered professional land surveyor describing the boundaries of the development by metes and bounds. The survey shall: <ul style="list-style-type: none"> ▪ Locate the boundaries with respect to a corner of the survey or tract or any original corner of the original survey abstract of which it is a part (provide a note of description of the location of the survey abstract). At least one corner shall be tied by course and distance to a corner in a recorded subdivision or to a right-of-way pin at an intersection. (Note describing corner markers should be included); ▪ Describe and locate all permanent survey monuments, pins, and control points and tie and reference the survey corners to the Texas State Plane Coordinate System. ▪ Identify the dimensions of the development with a legal description and bearings and distances on the boundary of the plat. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Location of development by city, county and state. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Please provide a location map showing the relation of the subdivision to streets and other prominent features. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Please show the names of the adjoining subdivisions or the names of the adjoining property owners, together with their respective plat or deed references. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Show boundaries streets and/or right of way on the plat |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | The exact location, dimension and description of all existing or recorded public or private easements, and public rights-of-way within the development, intersecting or contiguous with its boundary or forming such boundary. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | The dimensions of all existing or proposed lots and blocks within the development identified by letter or number running consecutively throughout the development. |

- The exact location, dimensions and description of all proposed public or private easements, parks, other areas, reservations, and other rights-of-way to be dedicated to the public, located within, intersecting or contiguous with its boundary or forming such boundary.



Planning and Building Department
 298 W. Washington, Stephenville TX 76401
 Phone: (254) 918-1213 www.stephenvilletx.gov

PLAT SHALL CONTAIN:

- All proposed street right of ways or changes to be made in existing right of ways shall be described with accurate bearings or deflecting angles and radii, area and central angle, degree of curvature, tangent distance and length of all curves where appropriate, and the primary control points.
- Approved name and dimensioned width of each street right of way. Street names are required for all newly created streets on the final plat document. Please note that street names will not be considered "reserved" prior to the submission of a final plat document.
- Show centerline of existing streets. Dimension from centerline to edge of existing right-of-way and from centerline to edge of proposed right-of-way.
- Existing and proposed easements – labeled, dimensioned, and instrument used to create or abandon such easements.
- The identification, location and size of all existing gas, petroleum, or similar common carrier easements located within or on the boundary of the development. If no easements or pipelines are located on the property, add a note to that effect.
- Boundary lines of open spaces to be dedicated or granted for use by the public or inhabitants of the development. Parkland dedications should be noted.
- Reference by record name to recorded subdivision plats or adjoining platted land with recording information.
- Label lots in or adjacent to a floodplain or adjacent to a drainage easement and in other locations if required by the City Engineer with the following: "minimum finished floor elevations required."
- Provide a note on the plat stating: "The minimum finished floor elevations shall be provided when a building permit application is submitted. The minimum finished floor elevations shall be based on the current FEMA data. The minimum finished floor elevations shall be stated as mean sea level."
- All required dedication and certification statements.
- Certification that basic documentation has been set in order to determine location of public improvements.
- Signature block for approving body.
- Traffic Impact Analysis (TIA) may be required at the time of Preliminary Plat submittal for all site developments. For phased developments, the TIA shall include an analysis for each phase of the development and the threshold for the TIA shall be for the entire development.
 - o Threshold for a Traffic Impact Analysis:
 - o Residentially zoned Subdivisions that are projected to generate more than 1,000 new average daily trips (ADT) shall require a TIA.
 - o Office zoned Subdivisions that are projected to generate more than 500 new average daily trips (ADT) shall require a TIA.
 - o Nonresidential zoned Subdivisions that are projected to generate more than 2,500 new average daily trips (ADT) shall require a TIA.
 - o Industrial zoned Subdivisions that are projected to generate more than 500 new average daily trips (ADT) shall require a TIA.

THIS SUBMITTAL IS FOR
A PRELIMINARY PLAT.



Planning and Building Department
298 W. Washington, Stephenville TX 76401
Phone: (254) 918-1213 www.stephenvilletx.gov

REQUIREMENTS FOR RECORDING FINAL PLAT:

- Plats shall be filed prior to formal acceptance of any public improvements and prior to issuance of building permits. In order to comply with the county's plat filing requirements, the following must be completed on the final plat document.
- All documents shall bear appropriate seals, stamps or other validations/certifications of work as applicable in accordance with State law and local requirements.
- All stamps and seals must be legible.
- Tax certificates are required with the filing of each plat from all taxing entities.
- All property owner signatures must be original and acknowledged (notary public) and each name must be printed below each signature.

This document contains a summary list of requirements for a Plat submittal. Additional documents may be requested. For detailed information, visit our website at www.stephenvilletx.gov. Below is a quick reference guide to help in your navigation to more detailed information.

Stephenville Subdivision Ordinance

<http://www.stephenvilletx.gov/wp-content/uploads/2018/01/1-2-18-Adopted-Subdivision.pdf>

Stephenville Engineering Standards Manual

www.stephenvilletx.gov/wp-content/uploads/2018/01/Engineering-Standards-Manual-2018-01-02-ADOPTED.pdf

Stephenville 2030 Comprehensive Plan

www.stephenvilletx.gov/2030-comprehensive-plan/

Forms and Documents

<http://www.stephenvilletx.gov/residents/forms/>

Fees (others may be applicable):

Subdivision Filing Fees:

Preliminary Plat (per plat)	\$200.00 (per lot) \$10.00
Final Plat (per plat)	\$200.00 (per lot) \$10.00
Replat (per plat)	\$200.00

PLEASE LET US KNOW IF THESE ARE REQUIRED FOR A PRELIMINARY PLAT SUBMITTAL.



City of Stephenville

Utilities Acceptance Form

Project Name: Lillian Townhomes Date: 6/25/2021

Owner/Developer: Marc Pace / Brown Pace Development

Prior to presenting a plan to the City for initiation of the platting process, the developer is asked to have the utilities listed below to offer their comments. The developer is to present this form and a copy of the plan to each of the utilities listed below. The utility in turn is asked to sign and stamp the form below indication that they have reviewed and accept the final plat.

1. **Oncor Electric: Official:** _____
SEAL OR STAMP and comments

2. **Atmos Gas: Official:** _____
SEAL OR STAMP and comments

3. **CenturyLink Telephone: Official:** _____
SEAL OR STAMP and comments

4. **Water Utilities: Official:** _____
SEAL OR STAMP and comments

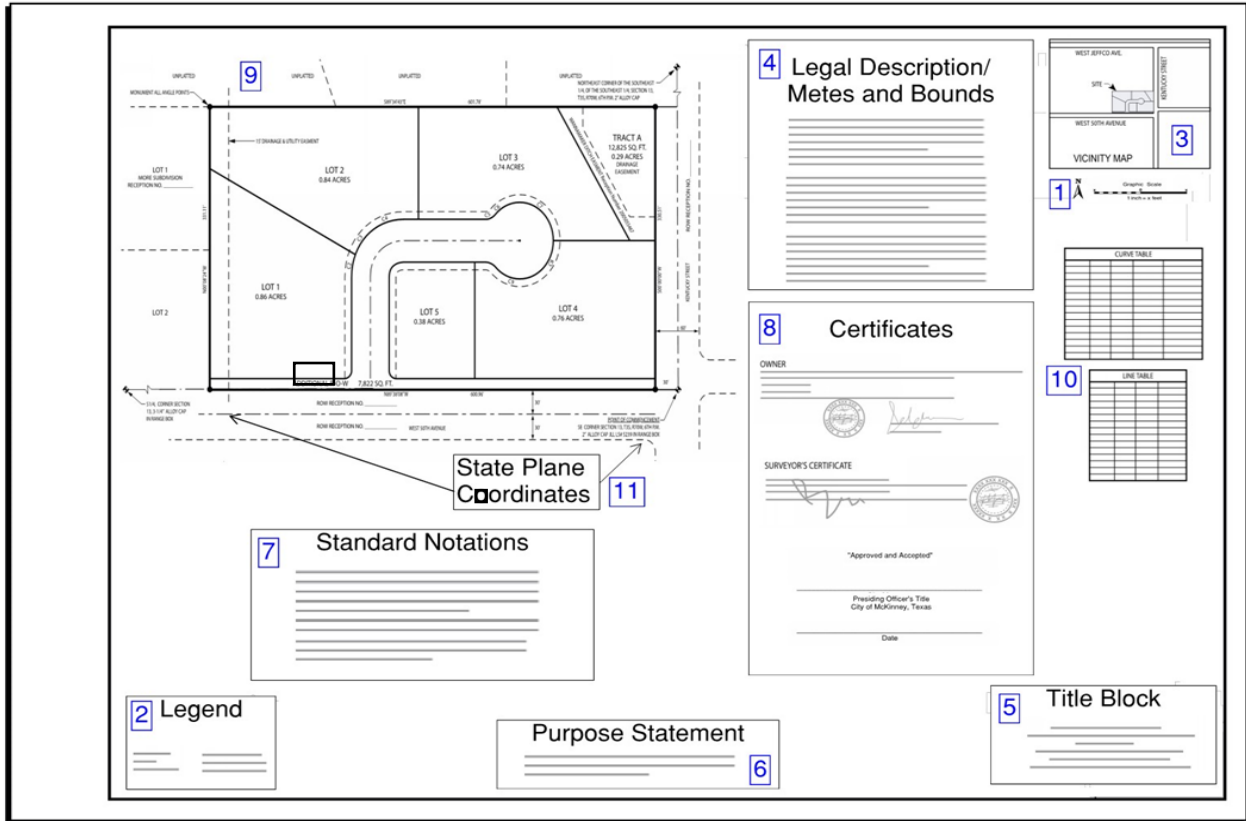
5. **Northland Cable T.V.: Official:** _____
SEAL OR STAMP and comments

6. **Progressive Waste: Official:** _____
SEAL OR STAMP and comments



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Plat Format



1. North Arrow and Scale
2. Legend
3. Vicinity Map
4. Legal Description/Metes and Bounds
5. Title Block to include the following information:
 - a. Proposed name of subdivision with section or sequencing designation, as appropriate
 - b. Acreage of proposed subdivision
 - c. Applicant name, address, and phone number
 - d. Tract designation, abstract and other description according to the real estate records for the City or County
 - e. Total number of lots, and designation and amounts of land of the proposed uses within the subdivision
6. Purpose Statement (not required for preliminary-final plats)
7. Standard Notation

8. Certificates

Certification by a public surveyor registered in the state, that the plat represents a survey made by him or under their direct supervision, and that all the monuments shown thereon actually exist, and that their location, size and material are correctly shown;

A certificate of ownership and dedication, on a form approved by the director of planning, of all streets, alleys, parks, open spaces and public ways to public use forever, signed and acknowledged before a notary public by the owner and any and all lienholders of the land, and a complete and accurate description of the land subdivided and dedications made;

Approval Certificate by proper party

9. Plat Graphic

10. Curve and Line Table

11. Official Monuments

Staff Contact Information:

Director of Planning and Building

Jeremy Allen

Office: (254)918-1294

Email: jallen@stephenvilletx.gov

Building Official

Robert Turk

Office: (254)918-1213

Email: rturk@stephenvilletx.gov

Permit Technician

Shyra King

Office: (254)918-1213

Email: shyra.king@stephenvilletx.gov

Fire Marshal

Cody Derrick

Office: (254)918-1250

Email: cderrick@stephenvilletx.gov

Public Works Director

Nick Williams

Office: (254)918-1292

Email: nwilliams@stephenvilletx.gov

City Engineer

Gene Calvert

Office: (254) 918-1292

Email: calvert@stephenvilletx.gov

UTILITY EASEMENTS

Any public franchise utility, including the City of Mineral Wells, shall have the right to move and keep moved all or part of any building, fence, tree, shrub, other growth or improvement...

CONSTRUCTION OVER EASEMENTS

No permanent buildings or structures shall be constructed over any existing or platted water, sanitary sewer, gas, electric, cable or other utility easement or any pipe.

UNDERGROUND UTILITIES

Underground utilities were not located during this survey. Call 811 and/or Utility Providers before excavation or construction.

FLOOD HAZARD NOTE

This tract appears to be located within Other Area, Zone "X", areas determined to be located outside of the 0.2% Annual Chance Flood Plain, according to the FIRM.

SPECIAL NOTICE

Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law and is subject to fines, withholding of utilities, and/or building permits.

ADDITIONAL NOTES

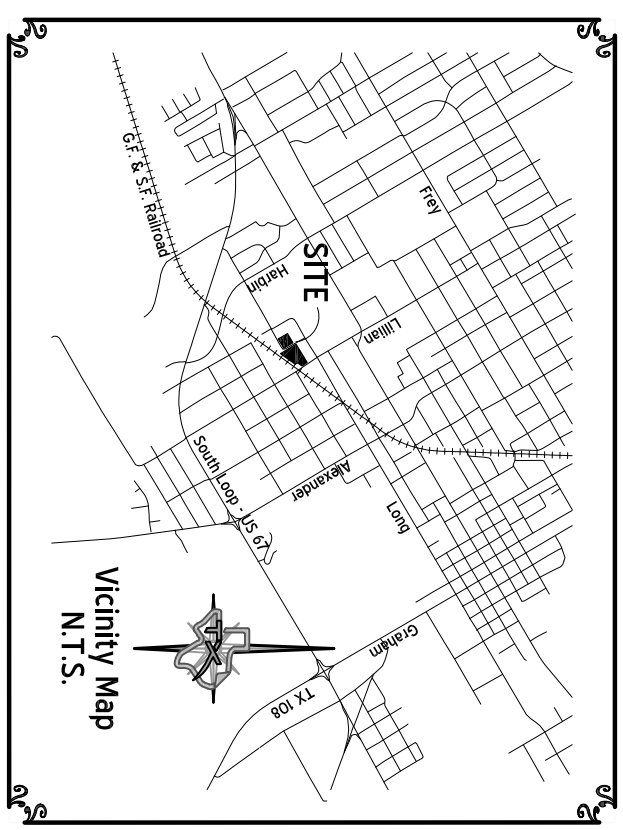
No abstract of title or title commitment was provided to this survey. Record research performed by this surveyor was made only for the purpose of determining the boundary of this property and of the adjoining parcels.

Please consult all applicable governing entities regarding rules & regulations that may affect construction on this property.

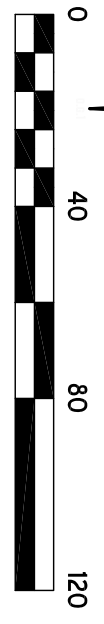
All corners are set 1/2" iron rod with red plastic caps stamped "TEXAS SURVEYING INC" set in a hole or cut "X" in concrete unless otherwise noted. Corners will be set upon completion of development and/or construction activities.

Block 7 Area Table

Table with 2 columns: Lot Number and Area (Acres). Lists lots 1X through 23X with their respective acreages.



Owner: Brown Pace Development Co., LLC. Surveyor: Texas Surveying, Inc. Mineral Wells Branch. 112 S.E. 1st Street, Mineral Wells, TX 76067. Phone: 940-325-2155. Firm No. 10194121.



Curve Data Table with columns for Curve (Right/Left), Radius, Arc, and Chord. Lists data for curves B1 through B8.

REPLAT

Lots 1X, 2-10, 11X, 12-14, 15X, 16X, 17X, 18-20, 21X, Block 7 and Lots 1X, 2-8, 9X, 10-13, 14X, 15-21, 22X, 23X, 24-29, 30X, 31-35, 36X, 37X, 38-42, 43X, Block 8 SOUTH SIDE ADDITION

A replat of Lots 7 & 8, Block 7, Lots 5, 6, 7, & 8, Block 8, Portion of W. Swan Street, & Lot 5, Block 14, SOUTH SIDE ADDITION, City of Stephenville, according to the King's 1956 Revised Map recorded in Volume 381, Page 105, Deed Records, Erath County, Texas.

MINERAL WELLS BRANCH - 940-325-2155 TEXAS SURVEYING INC. Firm No. 10194121 - MINERALWELLSURVEYING.COM

Surveyor:
Texas Surveying, Inc.
Mineral Wells Branch
112 S.E. 1st Street
Mineral Wells, TX 76067
940-325-2155
Firm No. 10194121

Owner:
Brown Pace Development Co., LLC
819 Old Amherst Road
Aledo, TX 76008

WEST TRACT SURVEY DESCRIPTION

STATE OF TEXAS
COUNTY OF ERATH

Of a 0.976 acre (42-503 Sq. Ft.) tract of land being all of Lot 7 & Lot 8, Block 7, SOUTH SIDE ADDITION, City of Stephenville, Erath, Texas, according to the King's 1956 Revised Map recorded in Volume 381, Page 105, Deed Records, Erath County, Texas; being all of Tract Two as conveyed to Brown Pace Development Company, LLC in Clerk File No. 2020-05483, Official Public Records, Erath County, Texas; being further described by metes and bounds as follows:

BEGINNING at a set p.k. nail in asphalt at the southeast corner of said Block 7 at the intersection of the west right of way line of S. 5th Avenue with the north right of way line of W. Swan Street; for the southeast corner of this tract.

THENCE S 59°11'16" W 208.02 feet along the north right of way line of said W. Swan Street to a found "I" iron pipe, at the southeast corner of Parcel 2 as conveyed to J. Bachus Family Trust in Volume 1293, Page 332, O.P.R.C.T., for the southwest corner of this tract.

THENCE N 30°21'20" W 207.33 feet with the occupied west line of said Lot 7, to a found 3/8" iron rod at the southerly common corner of that certain tract of land conveyed to L. & D. Kuhlmann in Volume 1306, Page 865, O.P.R.C.T. & that called 0.707 acres tract of land conveyed to J. Bachus Family Trust in Clerk File No. 2013-0148, O.P.R.C.T., for the northwest corner of this tract.

THENCE N 59°52'42" E 204.47 feet along the occupied & apparent north line of said Lot 7 & said Lot 8 to a set 1/2" iron rod with red plastic cap stamped "TEXAS SURVEYING INC.", in the west right of way line of said S. 5th Avenue, for the northeast corner of this tract; WHENCE a found "I" iron pipe at the northeast corner of said Block 7 bears N 31°20'47" W 208.07 feet.

THENCE S 31°20'47" E 204.87 feet along the west right of way line of said S. 5th Avenue to the POINT OF BEGINNING.

Bearings, Distances, and/or Areas derived from GNSS observations performed by Texas Surveying, Inc. and reflects N.A.D. 1983, Texas State Plane Coordinate System, North Central Zone 4202 (Grid).

SURVEYOR CERTIFICATION

That I, Micah Hamilton, a Registered Professional Land Surveyor of the State of Texas, Registration No. 5865, do hereby certify that the plat hereon was prepared from an actual on the ground survey of the legally described property shown hereon.

Preliminary - Not to be Recorded

Micah Hamilton, Registered Professional Land Surveyor No. 5865
M20159 - June 2021

KNOW ALL MEN BY THESE PRESENTS

That, Brown Pace Development Company, LLC, being the sole owner, do hereby adopt this plat designating the herein described real property as Lots 1X, 2-10, 11X, 12-14, 15X, 16X, 17X, 18-20, 21X, Block 7 and Lots 1X, 2-8, 9X, 10-13, 14X, 15-21, 22X, 23X, 24-29, 30X, 31-35, 36X, 37X, 38-42, 43X, Block 8, SOUTH SIDE ADDITION, City of Stephenville, Erath County, Texas, and I do hereby dedicate to the public's use forever the easements and rights-of-way shown hereon. Witness my hand, this the _____ day of _____, 2021.

OWNER

Agent and/or Representative _____

Title _____

STATE OF TEXAS

Before me, the undersigned, a Notary Public in and for the State of Texas on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed. Given under my hand and seal of office, this _____ day of _____, 2021.

Notary Public in and for the State of Texas _____

EAST TRACT SURVEY DESCRIPTION

STATE OF TEXAS
COUNTY OF ERATH

Of a 2.377 acres (103,548 Sq. Ft.) tract of land being all of Lots 5, 6, 7 & 8, Block 8, that portion of W. Swan Street lying between Block 8 & Block 14, and all of Lot 5, Block 14, SOUTH SIDE ADDITION, City of Stephenville, Erath, Texas, according to the King's 1956 Revised Map recorded in Volume 381, Page 105, Deed Records, Erath County, Texas; being all of Tract One & Tract Three as conveyed to Brown Pace Development Company, LLC in Clerk File No. 2020-05483, Official Public Records, Erath County, Texas; being further described by metes and bounds as follows:

BEGINNING at a found 3/8" iron rod in a 1/2" iron pipe at the northwest corner of said Lot 5, Block 8, in the east right of way line of S. 5th Avenue, for the northwest and beginning corner of this tract.

THENCE N 58°39'13" E 98.9 feet pass a found 1/2" iron rod with plastic cap at the southerly common corner of that certain tract of land conveyed to B. Bledsoe & M. Lowe in Clerk File No. 2018-06310, O.P.R.C.T. & Lot 2, Block 8 as conveyed to WCA Properties in Clerk File No. 2021-00230, O.P.R.C.T., continuing at 188.8 feet pass a found 1/2" iron rod with plastic cap at the southerly common corner of said Lot 2 & Lot 3, Block 8 as conveyed to 9K Properties, LLC in Clerk File No. 2019-00475, O.P.R.C.T., for a total distance of 409.19 feet to a set 1/2" iron rod with red plastic cap stamped "TEXAS SURVEYING INC." at the apparent southeast corner of that certain tract of land conveyed to Texas Communications of Brownwood, LP in Clerk File No. 2010-04079, O.P.R.C.T., in the west right of way line of S. Lillian Street; for the northeast corner of this tract; WHENCE a found 1/2" iron rod at the intersection of the west right of way line of said S. Lillian Street with the south right of way line of W. Long Street bears N 34°42'29" W 170.0 feet.

THENCE S 34°42'29" E 120.68 feet along the west right of way line of said S. Lillian Street to a found 1/2" bolt at the northeast corner of the City of Stephenville Utility Site G-5 being Lot 8A, Block 8, as shown on the map recorded in Volume 412, Page 577, D.R.E.C.T., for the easterly southeast corner of this tract.

THENCE along the north & west lines of said Lot 8A, Block 8 as follows:

S 35°33'48" W 104.89 feet to a found 3/8" iron rod.

S 33°13'18" E 54.04 feet to a found 3/8" iron rod, in the north line of the G. C. & S.F. Railroad, for the southerly southeast corner of this tract.

THENCE S 36°15'56" W 347.94 feet along the north line of said G.C. & S.F. Railroad to a set 1/2" iron rod with red plastic cap stamped "TEXAS SURVEYING INC." at the southerly corner of said Lot 5, Block 14, for the southwest corner of this tract.

THENCE N 31°20'47" W 346.51 feet along the east right of way line of said S. 5th Avenue to the POINT OF BEGINNING.

Bearings, Distances, and/or Areas derived from GNSS observations performed by Texas Surveying, Inc. and reflects N.A.D. 1983, Texas State Plane Coordinate System, North Central Zone 4202 (Grid).

APPROVAL STATEMENT

Approved by the Director of Building Services of the City of Stephenville, Erath County, Texas.

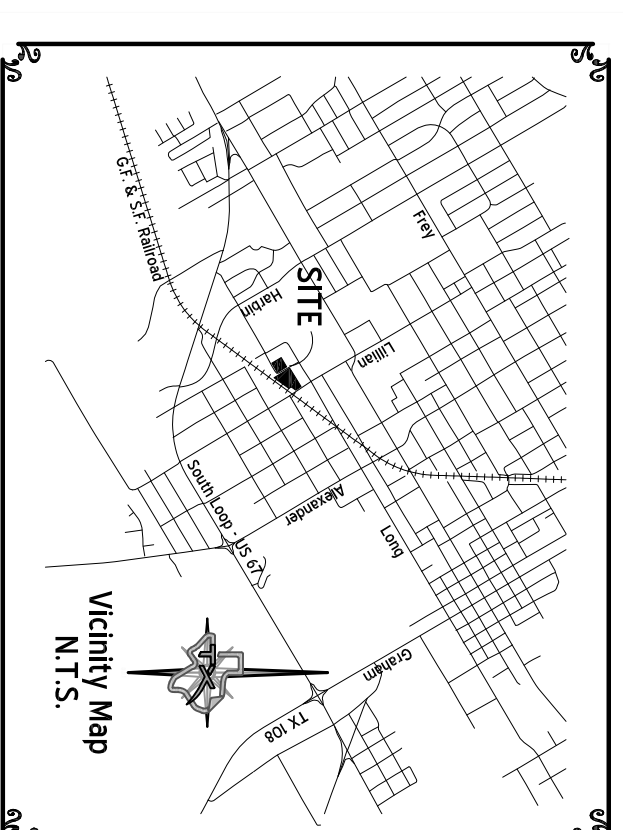
Approved: _____ 2021

City of Stephenville

Erath County, Texas

By: _____
Directory of Building Services

Attest: _____
City Secretary



REPLAT

Lots 1X, 2-10, 11X, 12-14, 15X, 16X, 17X, 18-20,
21X, Block 7 and Lots 1X, 2-8, 9X, 10-13,
14X, 15-21, 22X, 23X, 24-29, 30X, 31-35,
36X, 37X, 38-42, 43X, Block 8
SOUTH SIDE ADDITION

A replat of Lots 7 & 8, Block 7, Lots 5, 6, 7, & 8, Block 8, Portion of W. Swan Street, & Lot 5, Block 14, SOUTH SIDE ADDITION, City of Stephenville, according to the King's 1956 Revised Map recorded in Volume 381, Page 105, Deed Records, Erath County, Texas.

June 2021



Firm No. 10194121 - MINERAL WELLS@TXSURVEYING.COM

From: Nick Williams
 To: Reese Flanagan; mpaco37@yahoo.com; hernandez@mmalexis.com
 Cc: Harold Sandoz; Steve Killam; Tina Cox; Karen Wilkerson
 Subject: Lillian Townhomes - Preliminary Plat Submittal
 Date: Friday, July 2, 2021 5:01:17 PM
 Attachments: image020.png
 image024.png
 image025.png
 image027.png
 image028.png
 image031.png
 image032.png
 image033.png
 image035.png
 image037.png
 image039.png
 image041.png
 image043.png
 image046.png
 image048.png
 4010C - Backfill Load Bearing w/Pavement Repair 2015.pdf
 4590-IndustrialElevation0315.pdf
 2130-Sidewalk-2021.pdf
 image049.png
 5010-M4- Sanitary Sewer.pdf
 2021_06-30 Lillian - 422 - Lillian Townhomes - Review 01.pdf
 image050.png
 2021_06-30 Lillian - 422 - Lillian Townhomes - Review 01.pdf
 Yarding Heat De-Cou Plea.pdf
 image045.png
 image048.png
 image049.png
 image053.png
 image056.png
 image064.png

Please find attached a copy of the review performed by FNI.

Comments:

1. Replat
 - a. Reference to City of Mineral Vets -
 - b. Attached is the wording that is required to be on the replat.
2. Sheet C3.0 – Site Plan
 - a. Streets are labeled as "Private" on the replat. Please also show this label on the Site Plan on Sheet C3.0.
3. Sheet C9.0 – Water Plan
 - a. Show limits of municipal utility easement for water line installation on private property.
 - b. Show proposed locations for water services and meter locations on this sheet for the property between Fifth and Lillian
4. Sheet C9.1
 - a. Show limits of municipal utility easement for sewer line installation on private property.
 - b. Show profile of proposed public sewer main.
 - c. Show locations of proposed double cleanouts on the sewer service lines.
 - d. Because the street is to remain private, the plat shall indicate city responsibility for sewer services ends at sewer main line connection
5. Details
 - a. Attached are a few standard details to replace those in the plan set for public improvements. These details will not be applicable for privately owned improvements. Revise General Notes on Sheet C1.0 as appropriate.
 - i. Embedment and Backfill
 - ii. Fire Hydrant
 - iii. Manhole
 - iv. Sidewalk fronting all public ROW's (Lillian, Fifth, Swan)
 1. show 5 ft. wide standard section and 6 ft. wide section adjacent to curb
6. I would like to explore setting the public water main within easements at the rear of the buildings so the pressurized utility is not installed under pavement.
 - a. Please see the concept below and let me know your thoughts next week.

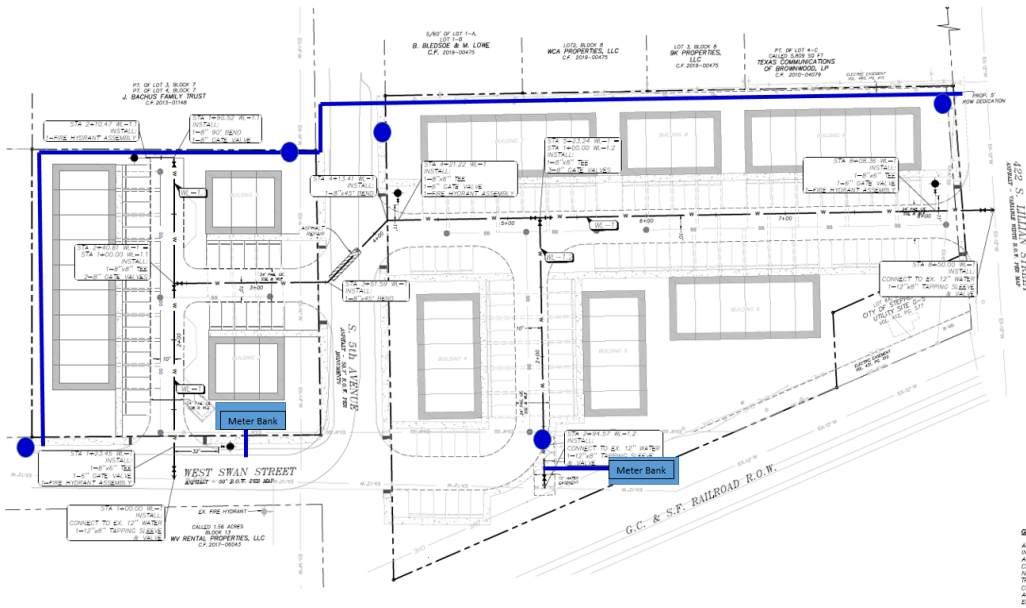
Have a great Independence Day!

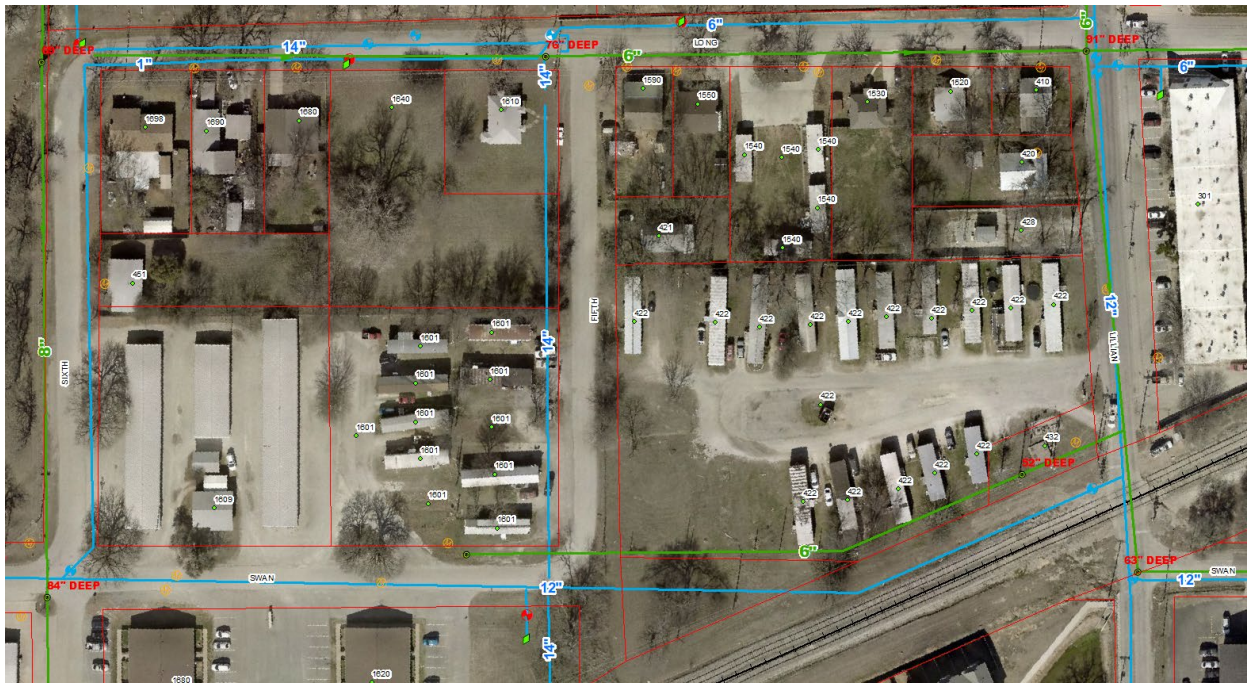
Thank you,

Nick Williams, P.E., CFM P: (254) 918-1223
 Director E: nwilliams@stephenvilletx.gov
 Public Works Department A: 298 W. Washington, Stephenville, TX 76401

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From: Reece Flanagan <rflanagan@mmtexas.com>
Sent: Friday, June 25, 2021 4:52 PM
To: permits@stephenvilletx.gov
Cc: Steve Killen <Skillen@stephenvilletx.gov>; Nick Williams <NWilliams@stephenvilletx.gov>; mpace37@yahoo.com; Isis Hernandez <ihernandez@mmtexas.com>
Subject: Lillian Townhomes - Preliminary Plat Submittal

The Lillian Townhomes preliminary plat submittal has been uploaded to the City's permit site online, and the files can be downloaded here:

https://mmtexas-my.sharepoint.com/:f/p/rflanagan/EhhEY7h_8UJrg7NwXT-KHABJ25_XXbY2JEnjey8Q5SN7Q?e=HH0dIQ

This includes the preliminary plat, preliminary engineering plans, and drainage study. Please let us know if you need anything else to start the review process.

Thanks,

Reece Flanagan, PE
 Project Manager
 T: 817.469.1671 | M: 940.327.7963
 Arlington | Burleson
 tbpe #F-2759 | tbpls #10088000
 E: rflanagan@mmtexas.com

f t in @

From: Steve Killen <Skillen@stephenvilletx.gov>
Sent: Wednesday, June 23, 2021 3:39 PM
To: Reece Flanagan <rflanagan@mmtexas.com>; Nick Williams <NWilliams@stephenvilletx.gov>
Cc: mpace37@yahoo.com; Isis Hernandez <ihernandez@mmtexas.com>
Subject: RE: May 26th meeting

Sounds great. I will be out of the office Friday, so please send to permits@stephenvilletx.gov

Thank you.

Steve Killen
 Director
 Development Services

P: (254) 918-1222 | C: (214) 677-8352
 E: skillen@stephenvilletx.gov

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From: Reece Flanagan <rflanagan@mmtexas.com>
Sent: Wednesday, June 23, 2021 3:26 PM
To: Steve Killen <Skillen@stephenvilletx.gov>; Nick Williams <NWilliams@stephenvilletx.gov>
Cc: mpace37@yahoo.com; Isis Hernandez <ihernandez@mmtexas.com>
Subject: RE: May 26th meeting

Sounds good Steve, we'll make sure everything is uploaded online and sent to your team via email on Friday.

Thanks,

Reece Flanagan, PE
 Project Manager
 T: 817.469.1671 | M: 940.327.7963
 Arlington | Burleson
 tbpe #F-2759 | tbpls #10088000
 E: rflanagan@mmtexas.com

f t in @

From: Steve Killen <Skillen@stephenvilletx.gov>
Sent: Wednesday, June 23, 2021 3:14 PM
To: Reece Flanagan <rflanagan@mmtexas.com>; Nick Williams <NWilliams@stephenvilletx.gov>
Cc: mpace37@yahoo.com; Isis Hernandez <ihernandez@mmtexas.com>

Subject: RE: May 26th meeting

Reece,

We will not need hard copies and mylars until we record the final plat.

Thank you.

Steve Killen

Director
Development Services



P: (254) 918-1222 | **C:** (214) 677-8352
E: skillen@stephenvilletx.gov

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From: Reece Flanagan <rflanagan@mmatexas.com>
Sent: Wednesday, June 23, 2021 3:02 PM
To: Steve Killen <skillen@stephenvilletx.gov>; Nick Williams <NWilliams@stephenvilletx.gov>
Cc: mpace37@yahoo.com; Isis Hernandez <ihernandez@mmatexas.com>
Subject: RE: May 26th meeting

Steve,

Just to confirm, we can submit our preliminary plat, engineering plans, and drainage report online this Friday, right? You won't need any hard copies?

Thanks,



Reece Flanagan, PE
Project Manager

T: [817.469.1671](tel:8174691671) | **M:** [940.327.7983](tel:9403277983)
Arlington | Burleson
tbp# #4-2759 | bp# #10088000
E: rflanagan@mmatexas.com



From: Steve Killen <skillen@stephenvilletx.gov>
Sent: Tuesday, June 8, 2021 3:35 PM
To: Reece Flanagan <rflanagan@mmatexas.com>; Nick Williams <NWilliams@stephenvilletx.gov>
Cc: mpace37@yahoo.com
Subject: RE: May 26th meeting

Sorry, Reece – please see below:

Sec. 155.4.05. Preliminary plat.

- A. *Purpose.* The purpose of a Preliminary Plat shall be to determine the general layout of the subdivision, the adequacy of public facilities needed to serve the intended development, and the overall compliance of the land division with applicable requirements of this Subdivision Ordinance.
 - B. *Applicability.* No subdivision of land shall be allowed without proper submittal, approval, and adoption of a Preliminary Plat.
 - C. *Exceptions.*
 - 1. A Preliminary Plat is not required when a Minor Plat is submitted (refer to 4.07).
 - 2. A Final Plat in accordance with Section 4.06 may be submitted in lieu of a Preliminary Plat if a Development Agreement and appropriate surety are submitted along with the Application.
 - D. *Accompanying Applications.*
 - 1. *Preliminary and Other Types of Plans.* An Application for a Preliminary Plat shall be accompanied by the following:
 - a. Preliminary Drainage Plan;
 - b. Preliminary Storm Water Management Plan;
 - c. Preliminary Utility Plan; and
 - d. Other plans if deemed necessary for thorough review by the Responsible Official, such as a Planned Development Master Plan.
- Approval of each shall be separately included with this application.

Steve Killen

Director
Development Services



P: (254) 918-1222 | **C:** (214) 677-8352
E: skillen@stephenvilletx.gov

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From: Reece Flanagan <rflanagan@mmatexas.com>
Sent: Tuesday, June 8, 2021 2:40 PM
To: Steve Killen <skillen@stephenvilletx.gov>; Nick Williams <NWilliams@stephenvilletx.gov>
Cc: mpace37@yahoo.com
Subject: RE: May 26th meeting

No worries Steve, but to clarify, is the preliminary plat submitted by itself? Or will the construction plans and drainage study be submitted at the same time?

Thanks,



Reece Flanagan, PE
Project Manager

T: [817.469.1671](tel:8174691671) | **M:** [940.327.7983](tel:9403277983)
Arlington | Burleson
tbp# #4-2759 | bp# #10088000
E: rflanagan@mmatexas.com



From: Steve Killen <skillen@stephenvilletx.gov>
Sent: Monday, June 7, 2021 4:58 PM
To: Reece Flanagan <rflanagan@mmatexas.com>; Nick Williams <NWilliams@stephenvilletx.gov>
Cc: mpace37@yahoo.com
Subject: RE: May 26th meeting

Reece, sorry to just reply to you, the afternoon got away from me.

Yes, the Preliminary Plat will need to go to P&Z and Council. Once approved, we can then work on the civil document and start the project. Once the improvements are accepted, the Final Plat will be sent to P&Z & Council, recorded with the County and

building permits can be issued.

You can submit at any time before and up to June 25th.

Let me know if you need more detailed information.

Thank you.

Steve Killen

Director
Development Services



P: (254) 918-1222 | C: (214) 677-8352
E: skillen@stephenvilletx.gov

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From: Reece Flanagan <rflanagan@mmatexas.com>
Sent: Monday, June 7, 2021 4:24 PM
To: Steve Killen <SKillen@stephenvilletx.gov>; Nick Williams <NWilliams@stephenvilletx.gov>
Cc: mpace37@yahoo.com
Subject: RE: May 26th meeting

Sorry, I'm looping Nick in on this email chain since he'll likely be involved in these next steps. Please let us know if there is a specific submittal date, or if we can submit anytime. I'm wondering if the site plan and preliminary plat go to P&Z, meaning we shoot for the June 25th submittal date.

Thanks,

Reece Flanagan, PE
Project Manager
T: [817.469.1671](tel:8174691671) | M: [940.327.7983](tel:9403277983)
Arlington | Burleson
tbpe #F-2759 tbpls #10088000
E: rflanagan@mmatexas.com

From: Reece Flanagan
Sent: Monday, June 7, 2021 4:15 PM
To: Steve Killen <SKillen@stephenvilletx.gov>
Cc: mpace37@yahoo.com
Subject: RE: May 26th meeting

Steve,

Can you give me a quick call on my cell (940-327-7963) when you're free to discuss our next steps? We're preparing the construction plans, drainage study, and preliminary plat with the intent of submitting plans next week. I just want to talk through the City's process and make sure we're headed in the right direction.

Thanks,

Reece Flanagan, PE
Project Manager
T: [817.469.1671](tel:8174691671) | M: [940.327.7983](tel:9403277983)
Arlington | Burleson
tbpe #F-2759 tbpls #10088000
E: rflanagan@mmatexas.com

From: Steve Killen <SKillen@stephenvilletx.gov>
Sent: Tuesday, May 18, 2021 4:21 PM
To: Reece Flanagan <rflanagan@mmatexas.com>
Subject: RE: May 26th meeting

Yes sir. See you soon and this time -- maybe we will actually take action.

Steve Killen

Director
Development Services



P: (254) 918-1222 | C: (214) 677-8352
E: skillen@stephenvilletx.gov

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From: Reece Flanagan <rflanagan@mmatexas.com>
Sent: Tuesday, May 18, 2021 4:16 PM
To: Steve Killen <SKillen@stephenvilletx.gov>; Marc Pace <mpace37@yahoo.com>
Subject: RE: May 26th meeting

Received, thanks a bunch Steve.

Reece Flanagan, PE
Project Manager
T: [817.469.1671](tel:8174691671) | M: [940.327.7983](tel:9403277983)
Arlington | Burleson
tbpe #F-2759 tbpls #10088000
E: rflanagan@mmatexas.com

From: Steve Killen <SKillen@stephenvilletx.gov>
Sent: Tuesday, May 18, 2021 3:24 PM
To: Marc Pace <mpace37@yahoo.com>; Reece Flanagan <rflanagan@mmatexas.com>
Subject: May 26th meeting

Gentlemen,

Here is the packet:

<https://www.stephenvilletx.gov/hc-bofa/page/board-adjustment-meeting-26>

I am already confirming attendance.

Thank you.

Steve Killen

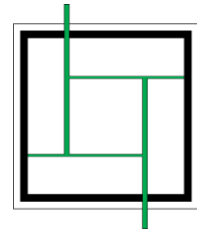
Director
Development Services



P: (254) 918-1222 | **C:** (214) 677-8352
E: skillen@stephenvilletx.gov

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Note to elected officials: Please respond only to the sender of this message. Reply to all may result in a violation of the Texas Open Meetings Act.



June 24, 2021

Nick Williams, P.E., CFM
 Director of Public Works
 City of Stephenville
 298 W. Washington
 Stephenville, TX 76401

Stephenville Townhomes Drainage Technical Memorandum

The purpose of this drainage study is to show the impact of the proposed Stephenville Townhome development on the downstream property. This study was done by comparing pre-development conditions to post-development conditions and demonstrates that there are no adverse impacts to the immediate downstream property and detention will not be necessary.

Existing Conditions

In existing conditions, both lots generally outfall to the south to three design points at a swale along the railroad. Both lots accept upstream flow from the properties to the north and there is no existing storm water drainage infrastructure. Refer to the Pre-Development Drainage Area Map, Exhibit A, for the existing drainage area delineations. A more detailed description of each drainage area outfall can be seen below:

- Existing drainage area A drains to the south end of the smaller lot of the proposed development.
 - The discharge drains across West Swan Street and through a grassed area to the swale along the railroad.
- Existing drainage area B drains to the south end of the larger lot of the proposed development.
 - The discharge drains to the swale along the railroad.
- Existing drainage area C drains to the south east corner of the larger lot of the proposed development.
 - The discharge drains south along South Lillian Street then to the east to the swale along the railroad.

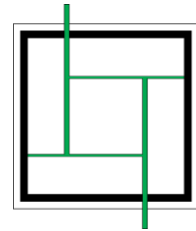


Table 1 is a summary of the discharge going to each design point in the existing conditions.

Junction	Existing Discharge (cfs)						
	1-Yr	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr
1	17.8	20.9	32.5	41.7	54.3	64.3	74.9
2	25.2	29.7	46.4	59.6	77.9	92.3	107.7
3	10.2	12.2	19.7	25.7	34.0	40.6	47.6

Table 1- Design Point Existing Conditions Summary

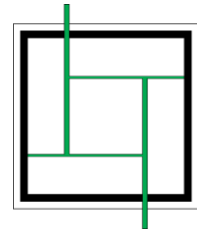
Proposed Conditions

In the proposed conditions both lots will continue to drain to the south to the swale along the railroad. The drainage areas have been adjusted to demonstrate the allowable fully developed flow that can go to each design point without causing an adverse impact. The actual percent impervious value for the proposed development has been calculated and was used in determining post-development discharge. Refer to the Post-Development Drainage Area Map, Exhibit B, for the proposed drainage area delineations.

Table 2 is a summary of the discharge going to each design point in the proposed conditions.

Junction	Proposed Discharge (cfs)						
	1-Yr	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr
1	17.8	20.9	32.6	41.7	54.4	64.3	75.0
2	23.4	27.6	43.4	55.9	73.2	86.8	101.5
3	9.7	11.6	18.8	24.5	32.5	38.9	45.7

Table 2- Design Point Proposed Conditions Summary



Pre vs. Post Development Conditions

Table 3 compares the pre and post development discharges at each design point. We can see that the proposed design does not cause an increase in discharge at design points 2 and 3. Design point 1 has a max increase of 0.1 cfs. This increase does not cause an increase in water surface elevation or water velocity in the swale and is therefore considered negligible.

Junction	Existing Discharge (cfs)							Proposed Discharge (cfs)						
	1-Yr	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr	1-Yr	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr
1	17.8	20.9	32.5	41.7	54.3	64.3	74.9	17.8	20.9	32.6	41.7	54.4	64.3	75.0
2	25.2	29.7	46.4	59.6	77.9	92.3	107.7	23.4	27.6	43.4	55.9	73.2	86.8	101.5
3	10.2	12.2	19.7	25.7	34.0	40.6	47.6	9.7	11.6	18.8	24.5	32.5	38.9	45.7

Junction	Difference						
	1-Yr	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr
1	0.1	0.1	0.1	0.1	0.1	0.1	0.1
2	-1.8	-2.1	-3.1	-3.8	-4.7	-5.5	-6.2
3	-0.5	-0.6	-1.0	-1.2	-1.5	-1.7	-1.9

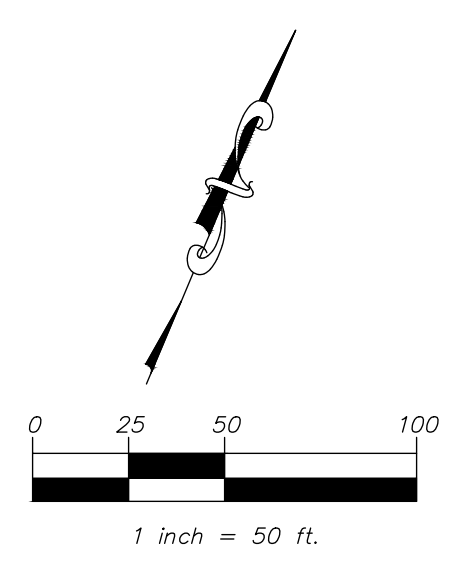
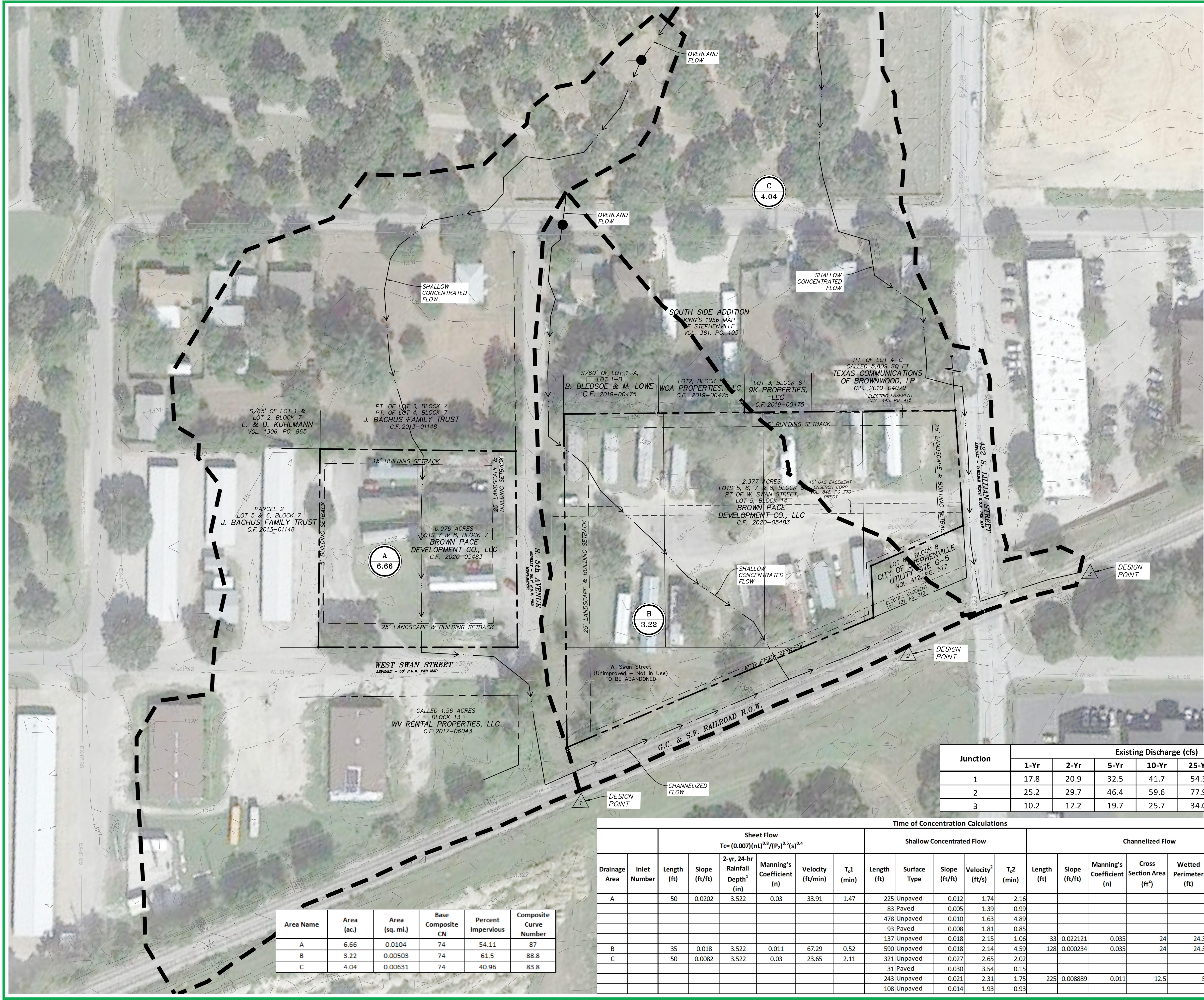
Table 3- Design Point Comparison

Conclusion

While the proposed development will have an increase in discharge it does not create adverse impacts to the immediate downstream property and this increase is considered negligible. There will not be in increase in water surface elevation or velocity in the swale that is immediately downstream from the proposed development and detention will not be necessary.

I, Reece Flanagan, a Professional Engineer registered in the State of Texas and in good standing, have prepared the enclosed drainage study in compliance with the latest published requirements and criteria of the City of Stephenville, Texas, and have verified that the topographic information used in this study is in compliance with said requirements and is otherwise suitable for developing this workable Plan of Drainage which can be implemented through proper subsequent detailed construction planning.

Signature *MR Flanagan*, P.E., Date 6/25/2021



VICINITY MAP
NO SCALE

LEGEND:

- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA LABEL
- NAME --- A1
- AREA (ACRES) --- 2.6
- FLOW ARROW
- 640 EXISTING CONTOUR
- LONGEST FLOW PATH
- △ ANALYSIS POINT DESIGNATION

NOTE:

1. DRAINAGE AREAS ARE BASED ON 2016 TNRS LIDAR CONTOURS.
2. SCS METHOD WAS USED FOR THE DRAINAGE ANALYSIS.

OWNER/DEVELOPER:
BROWN PACE DEVELOPMENT COMPANY, LLC
819 OLD ANNETTE ROAD
ALEDO, TEXAS 76008
EMAIL: MPACE37@YAHOO.COM
CONTACT: MARC PACE

STEPHENVILLE TOWNHOMES PRE-DEVELOPMENT DRAINAGE AREA MAP

EXHIBIT A

APRIL 2021
ENGINEER/SURVEYOR:

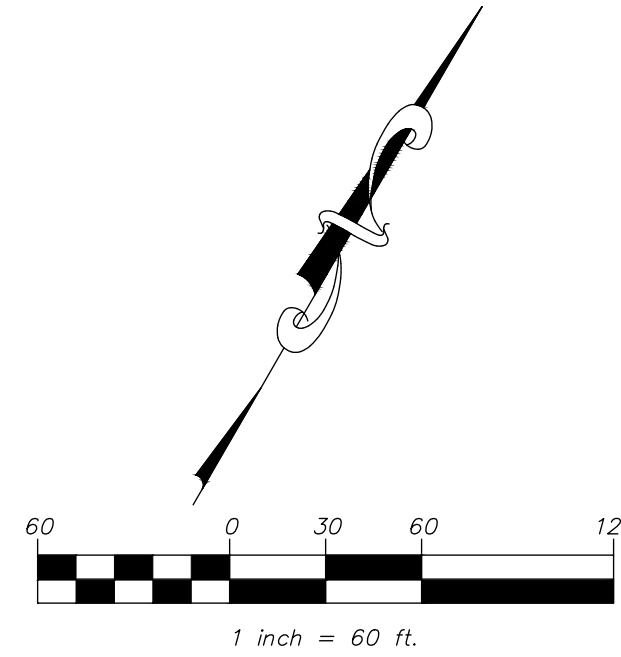
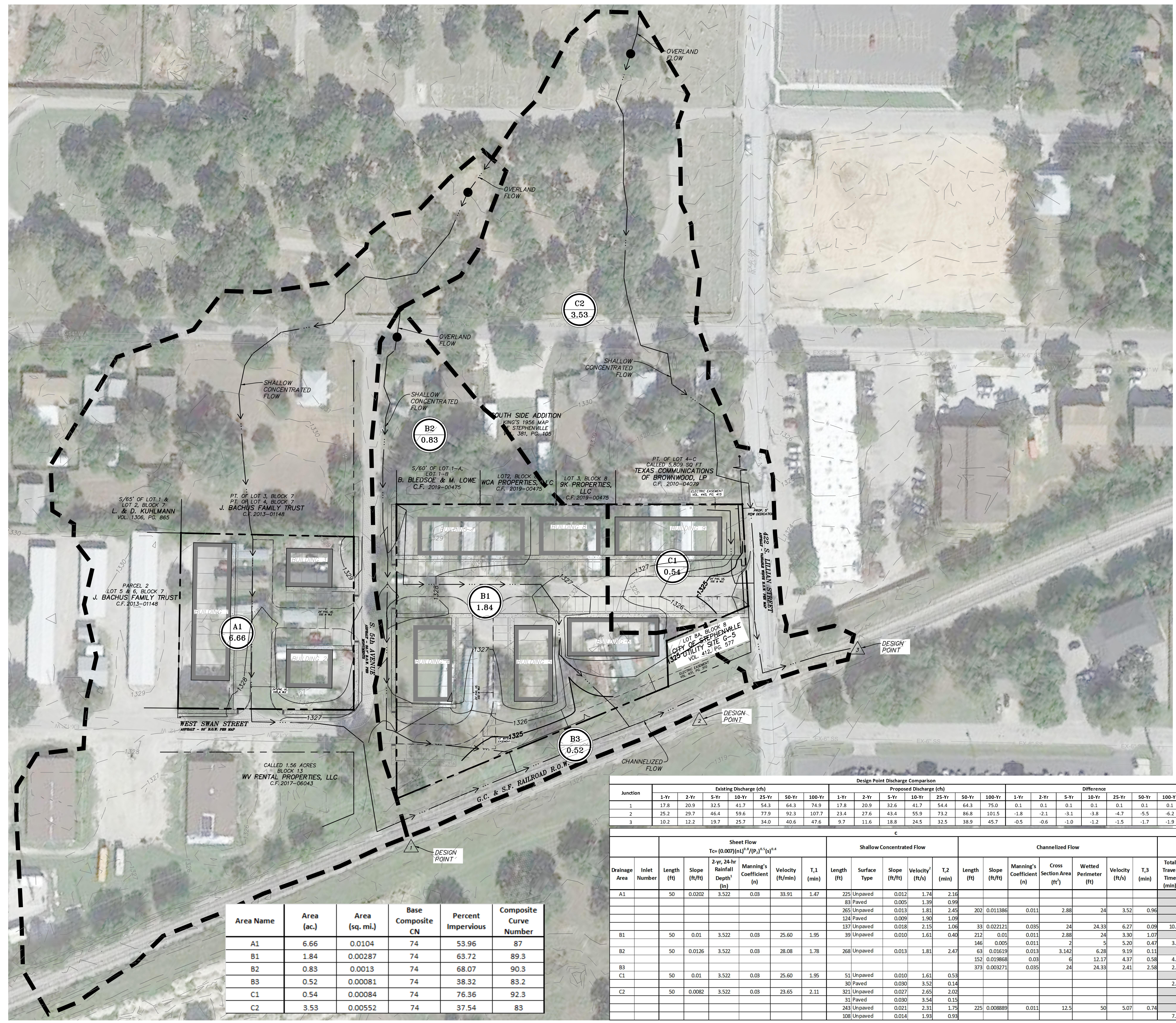


mima
civil engineering surveying landscape architecture planning
tbpels registration number: 1 - 2759
tbpels registration/license number: 10088000
519 east border
arlington, texas 76010
817-469-1671
fax: 817-274-8757
www.mmatexas.com
04/14/2021 SHEET 1 OF 1

Junction	Existing Discharge (cfs)						
	1-Yr	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr
1	17.8	20.9	32.5	41.7	54.3	64.3	74.9
2	25.2	29.7	46.4	59.6	77.9	92.3	107.7
3	10.2	12.2	19.7	25.7	34.0	40.6	47.6

Time of Concentration Calculations																									
Drainage Area	Inlet Number	Sheet Flow $T_c = (0.007)(nL)^{0.58} / (P_2)^{0.5}(s)^{0.4}$						Shallow Concentrated Flow				Channelized Flow						Total Travel Time (min)							
		Length (ft)	Slope (ft/ft)	2-yr, 24-hr Rainfall Depth ² (in)	Manning's Coefficient (n)	Velocity (ft/min)	T ₁ (min)	Length (ft)	Surface Type	Slope (ft/ft)	Velocity ² (ft/s)	T ₂ (min)	Length (ft)	Slope (ft/ft)	Manning's Coefficient (n)	Cross Section Area (ft ²)	Wetted Perimeter (ft)		Velocity (ft/s)	T ₃ (min)					
A	50	0.0202	3.522	0.03	33.91	1.47	225	Unpaved	0.012	1.74	2.16														
							83	Paved	0.005	1.39	0.99														
							478	Unpaved	0.010	1.63	4.89														
							93	Paved	0.008	1.81	0.85														
B	35	0.018	3.522	0.011	67.29	0.52	137	Unpaved	0.018	2.15	1.06	33	0.022121	0.035	24	24.33	6.27	0.09	11.52						
							590	Unpaved	0.018	2.14	4.59	128	0.000234	0.035	24	24.33	0.65	3.30	8.41						
							321	Unpaved	0.027	2.65	2.02														
C	50	0.0082	3.522	0.03	23.65	2.11	31	Paved	0.030	3.54	0.15														
							243	Unpaved	0.021	2.31	1.75	225	0.008889	0.011	12.5	50	5.07	0.74							
							108	Unpaved	0.014	1.93	0.93														

Area Name	Area (ac.)	Area (sq. mi.)	Base Composite CN	Percent Impervious	Composite Curve Number
A	6.66	0.0104	74	54.11	87
B	3.22	0.00503	74	61.5	88.8
C	4.04	0.00631	74	40.96	83.8



LEGEND:

- DRAINAGE AREA BOUNDARY:** [Dashed line symbol]
- DRAINAGE AREA LABEL:** [Circle with text symbol]
- NAME:** [Line to circle]
- AREA (ACRES):** [Line to circle]
- FLOW ARROW:** [Arrow symbol]
- EXISTING CONTOUR:** [Dashed line with number symbol]
- LONGEST FLOW PATH:** [Dashed line with arrow symbol]
- ANALYSIS POINT DESIGNATION:** [Triangle symbol]

NOTES:

- EXISTING CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY PREPARED BY TEXAS SURVEYING INC, DATED JUNE 21, 2021.

CONTACT TRAVIS ZINN FOR ANY QUESTIONS.
 MINERAL WELLS BRANCH:
 112 S.E. 1ST STREET
 MINERAL WELLS, TX 76067
 TEL: 940-325-2155
 EMAIL: MINERALWELLS@TXSURVEYING.COM

**422 LILLIAN TOWN HOMES
 STEPHENVILLE, TEXAS
 DRAINAGE AREA MAP**

mma
 civil engineering surveying landscape architecture planning
 ttpels registration number: f - 2759
 ttpels registration/license number: 10088000
 519 east border
 arlington, texas 76010
 817-469-1671
 fax: 817-274-8757
 www.mmatexas.com

PROJECT NUMBER:	3448-00-01
PROJECT MANAGER:	R. FLANAGAN
DRAWN BY:	D.FRASCELLA
CHECKED BY:	R.FLANAGAN
ISSUE DATE:	06/25/2021

GENERAL UTILITY NOTES:

ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE OWNER AND THE ENGINEER NEITHER ASSUME NOR IMPLY ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

CALL TEXAS 811 OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MMA INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

BENCHMARKS:

ELEVATION DATA SHOWN HEREON REPRESENTS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS COMPUTED USING THE CURRENT NATIONAL GEODETIC SURVEY GEOID MODEL (12B).

ORIGINAL SURVEY: M20159 - JUNE 29, 2020
 TOPOGRAPHY UPDATED: M20159-R1 - JANUARY 18, 2021
 BOUNDARY ADDED: M20159-R2 - FEBRUARY 5, 2021

SMALL PORCHES, EVES, AND/OR STEPS NOT SHOWN FOR CLARITY.

C.I.R.S. - CAPPED IRON ROD SET

SURVEYING COMPLETED BY:
 TEXAS SURVEYING INC.

CONTACT: TRAVIS ZINN
 MINERAL WELLS BRANCH:
 112 S.E. 1ST STREET
 MINERAL WELLS, TX 76067
 TEL: 940-325-2155
 EMAIL: MINERALWELLS@TXSURVEYING.COM

Area Name	Area (ac.)	Area (sq. mi.)	Base Composite CN	Percent Impervious	Composite Curve Number
A1	6.66	0.0104	74	53.96	87
B1	1.84	0.00287	74	63.72	89.3
B2	0.83	0.0013	74	68.07	90.3
B3	0.52	0.00081	74	38.32	83.2
C1	0.54	0.00084	74	76.36	92.3
C2	3.53	0.00552	74	37.54	83

Junction	Existing Discharge (cfs)						Proposed Discharge (cfs)						Difference									
	1-Yr	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr	1-Yr	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr	1-Yr	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr	
1	17.8	20.9	32.5	41.7	54.3	64.3	74.9	17.8	20.9	32.6	41.7	54.4	64.3	75.0	0.1	0.1	0.1	0.1	0.1	0.1	0.1	0.1
2	25.2	29.7	46.4	59.6	77.9	93.3	107.7	23.4	27.6	42.4	55.0	73.2	86.8	101.5	-1.8	-2.1	-3.1	-3.8	-4.7	-5.5	-6.2	
3	10.2	12.2	19.7	25.7	34.0	40.6	47.6	9.7	11.6	18.8	24.5	32.5	38.9	45.7	-0.5	-0.6	-1.0	-1.2	-1.5	-1.7	-1.9	

Drainage Area	Inlet Number	Length (ft)	Slope (ft/ft)	Sheet Flow			Shallow Concentrated Flow			Channelized Flow			Total Travel Time (min)											
				2-yr, 24-hr Rainfall Depth (in)	Manning's Coefficient (n)	Velocity (ft/min)	T,1 (min)	Length (ft)	Surface Type	Slope (ft/ft)	Velocity (ft/s)	T,2 (min)		Length (ft)	Slope (ft/ft)	Manning's Coefficient (n)	Cross Section Area (ft²)	Wetted Perimeter (ft)	Velocity (ft/s)	T,3 (min)				
A1	50	0.0202	3.522	0.03	33.91	1.47	225 Unpaved	0.012	1.74	2.16	83 Paved	0.005	1.39	0.95										
B1	50	0.01	3.522	0.03	25.60	1.95	39 Unpaved	0.010	1.61	0.40	212 Paved	0.011	1.81	2.45	202	0.011386	0.011	2.88	24	3.52	0.96			
B2	50	0.0126	3.522	0.03	28.08	1.78	268 Unpaved	0.013	1.81	2.47	146 Unpaved	0.005	1.01	0.21	63	0.01619	0.013	3.142	6	6.28	9.19	0.11		
B3	50	0.01	3.522	0.03	25.60	1.95	51 Unpaved	0.010	1.61	0.53	152 Paved	0.008	1.54	0.15	373	0.003271	0.035	24	24.33	2.41	2.58	2.58		
C1	50	0.0082	3.522	0.03	23.65	2.11	30 Paved	0.030	3.52	0.14	321 Unpaved	0.027	2.65	2.02										2.62
C2	50	0.0082	3.522	0.03	23.65	2.11	31 Paved	0.030	3.54	0.15	243 Unpaved	0.021	2.31	1.75	225	0.008889	0.011	12.5	50	5.07	0.74			7.70

REV. DATE DESCRIP. BY

SHEET CONTENT:

**DRAINAGE
 AREA MAP**

SHEET NO: **C8.1**

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PRELIMINARY CONSTRUCTION DOCUMENTS

for

LILLIAN TOWNHOMES

422 S LILLIAN

STEPHENVILLE, TEXAS

LILLIAN TOWNHOMES

OWNER/DEVELOPER

BROWN PACE DEVELOPMENT COMPANY
 819 OLD ANNETTE ROAD
 ALEDO, TEXAS 76008
 TEL: 817-501-9812
 CONTACT: MARC PACE



VICINITY MAP
 NO SCALE



SHEET LIST TABLE

<u>SHEET NO.</u>	<u>SHEET TITLE</u>
C0.0	COVER SHEET
C0.1	PRELIMINARY PLAT
C0.2	PRELIMINARY PLAT
C1.0	GENERAL NOTES
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	DIMENSION CONTROL PLAN
C5.0	PAVING PLAN
C6.0	OVERALL GRADING PLAN
C7.0	EROSION CONTROL PLAN
C7.1	EROSION CONTROL DETAILS
C8.0	PRE-DEVELOPMENT DRAINAGE AREA MAP
C8.1	DRAINAGE AREA MAP
C9.0	WATER PLAN
C9.1	SEWER PLAN
C10.0	WATER DETAILS
C10.1	SEWER DETAILS
C10.2	PAVING DETAILS
C10.3	PAVING DETAILS
C10.4	PAVING DETAILS

PREPARED BY:



CONTACT: REECE FLANAGAN, P.E.
 rflanagan@mmatexas.com

BENCHMARKS:

ELEVATION DATA SHOWN HEREON REPRESENTS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS COMPUTED USING THE CURRENT NATIONAL GEODETIC SURVEY GEOID MODEL (12B).

SURVEYING COMPLETED BY:
 TEXAS SURVEYING INC.

CONTACT: TRAVIS ZINN
 MINERAL WELLS BRANCH
 112 S.E. 1ST STREET
 MINERAL WELLS, TX 76067
 TEL: 940-325-2155
 EMAIL: MINERALWELLS@TXSURVEYING.COM

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW UNDER THE AUTHORITY OF M. REECE FLANAGAN, P.E. NO. 129781 ON 6/25/2021 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

ISSUE DATE: JUNE 2021

UTILITY EASEMENTS

Any public franchise utility including the City of Mineral Wells, shall have the right to move and keep moved all or part of any building, fence, tree, shrub, other growth or improvement which in any way endangers or interferes with the construction, maintenance or efficiency of its respective systems, on any of the easements shown on the plat; and they shall have the right at all times to ingress and egress upon said easements for the purpose of construction, reconstruction, inspection, patrolling, maintaining, and adding to or removing all or part of their respective systems without the necessity at any time of procuring the permission of anyone.

CONSTRUCTION OVER EASEMENTS

No permanent buildings or structures shall be constructed over any existing or planned water, sanitary sewer, gas, electric, cable or other utility easement of any type.

UNDERGROUND UTILITIES

Underground utilities were not located during this survey. Call 811 and/or Utility Providers before excavation or construction.

FLOOD HAZARD NOTE

This tract appears to be located within Other Areas, Zone "X" - areas determined to be located outside of the 0.2% Annual Chance Flood Plain, according to the FIRM, Community Panel 4814C04303D, dated November 16, 2011.

SPECIAL NOTICE

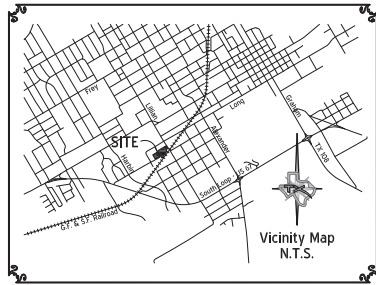
Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law and is subject to fines, withholding of utilities, and/or building permits.

ADDITIONAL NOTES

No abstract of title or title commitment was provided to this surveyor. Record research performed by this surveyor was made only for the purpose of determining the boundary of this property and of the adjoining parcels. Record documents other than those shown on this survey may exist and encumber this property.

Please consult all applicable governing entities regarding rules & regulations, that may affect construction on this property.

All corners are set 1/2" iron rods with red plastic caps stamped "TEXAS SURVEYING INC." set in oak, oak or cut "X" in concrete, unless otherwise noted. Corners will be set upon completion of development and/or construction activities.



SOUTH SIDE ADDITION KING'S 1956 Map of Stephenville V. 381, P. 105

WCA Properties, LLC Lot 2, Block 8 C.F. 2021-00230

B. Bledsoe & M. Lowe S/60 of Lot 1-B All of Lot 1-B C.F. 2018-06310

J. Bachus Family Trust Pt. of Lot 3, Block 7 Pt. of Lot 4, Block 7 Called 0.707 Acre C.F. 2013-01148

L. & D. Kuhlmann S/65 of Lot 1 & Lot 2, Block 7 V. 1306, P. 865

J. Bachus Family Trust Parcel 2 Lot 5 & Lot 6, Block 7 V. 1293, P. 332

Surveyor: Texas Surveying, Inc. Mineral Wells Branch 112 S.E. 1st Street Mineral Wells, TX 76067 940-325-2155 Firm No. 10194121

Owner: Brown Pace Development Co., LLC 819 Old Annetta Road Aledo, TX 76008

WV Rental Properties, LLC Called 156 Acres Block 13 C.F. 2017-06043

Texas Communications of Brownwood, LP Pt. of Lot 4-C Called 5,809 Sq. Ft. C.F. 2010-04079

Curve Data Table

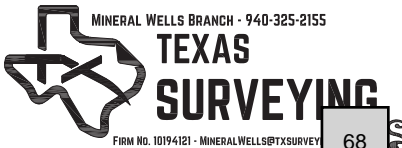
Table with 3 columns: Curve ID, Radius, and Chord. Lists curves B1 through B19 with their respective radii and chord lengths.

Block 7 Area Table

- List of lots in Block 7: 1X-2439 Sq. Ft. (0.056 Acre) to 23X-2000 Sq. Ft. (0.046 Acre).

Block 8 Area Table

- List of lots in Block 8: 1X-1474 Sq. Ft. (0.033 Acre) to 43X-2058 Sq. Ft. (0.047 Acre).



Surveyor:
Texas Surveying, Inc.
Mineral Wells Branch
112 S.E. 1st Street
Mineral Wells, TX 76067
940-325-2155
Firm No. 10194121

Owner:
Brown Pace Development Co., LLC
819 Old Annetta Road
Aledo, TX 76008

WEST TRACT SURVEY DESCRIPTION

STATE OF TEXAS
COUNTY OF ERATH

Of a 0.976 acre (42,503 Sq. Ft.) tract of land being all of Lot 7 & Lot 8, Block 7, SOUTH SIDE ADDITION, City of Stephenville, Erath, Texas, according to the King's 1956 Revised Map recorded in Volume 381, Page 105, Deed Records, Erath County, Texas; being all of Tract Two as conveyed to Brown Pace Development Company, LLC in Clerk File No. 2020-05463, Official Public Records, Erath County, Texas; being further described by metes and bounds as follows:

BEGINNING at a set p.k. nail in asphalt at the southeast corner of said Block 7 at the intersection of the west right of way line of S. 5th Avenue with the north right of way line of W. Swan Street, for the southeast corner of this tract.

THENCE S 59°11'16" W 208.02 feet along the north right of way line of said W. Swan Street to a found 1" iron pipe at the southeast corner of Parcel 2 as conveyed to J. Bachus Family Trust in Volume 1293, Page 332, O.P.R.E.C.T., for the southwest corner of this tract.

THENCE N 30°21'20" W 207.33 feet with the occupied west line of said Lot 7, to a found 3/8" iron rod at the southerly common corner of that certain tract of land conveyed to L. & D. Kuhlmann in Volume 1306, Page 865, O.P.R.E.C.T., & that called 0.707 acres tract of land conveyed to J. Bachus Family Trust in Clerk File No. 2013-0148, O.P.R.E.C.T., for the northwest corner of this tract.

THENCE N 59°52'42" E 204.47 feet along the occupied & apparent north line of said Lot 7 & said Lot 8 to a set 1/2" iron rod with red plastic cap stamped "TEXAS SURVEYING INC", in the west right of way line of said S. 5th Avenue, for the northeast corner of this tract. WHENCE a found 1" iron pipe at the northeast corner of said Block 7 bears N 31°20'47" W 208.07 feet.

THENCE S 31°20'47" E 204.87 feet along the west right of way line of said S. 5th Avenue to the POINT OF BEGINNING.

Bearings, Distances, and/or Areas derived from GNSS observations performed by Texas Surveying, Inc. and reflects N.A.D. 1983, Texas State Plane Coordinate System, North Central Zone 4202 (Grid).

SURVEYOR CERTIFICATION

That I, Micah Hamilton, a Registered Professional Land Surveyor of the State of Texas, Registration No. 5865, do hereby certify that the plat herein was prepared from an actual on the ground survey of the legally described property shown hereon.

Preliminary - Not to be Recorded

Micah Hamilton, Registered Professional Land Surveyor No. 5865
M20159 - June 2021

KNOW ALL MEN BY THESE PRESENTS

That, Brown Pace Development Company, LLC, being the sole owner, do hereby adopt this plat designating the herein described real property as Lots IX, 2-10, 11X, 12-14, 15X, 16X, 17X, 18-20, 21X, Block 7 and Lots IX, 2-8, 9X, 10-13, 14X, 15-21, 22X, 23X, 24-29, 30X, 31-35, 36X, 37X, 38-42, 43X, Block 8, SOUTH SIDE ADDITION, City of Stephenville, Erath County, Texas, and I do hereby dedicate to the public's use forever the easements and rights-of-way shown hereon, witness my hand, this the _____ day of _____, 2021.

OWNER

Agent and/or Representative

Title

STATE OF TEXAS

Before me, the undersigned, a Notary Public in and for the State of Texas on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed. Given under my hand and seal of office, this _____ day of _____, 2021.

Notary Public In and for the State of Texas

EAST TRACT SURVEY DESCRIPTION

STATE OF TEXAS
COUNTY OF ERATH

Of a 2.377 acres (103,548 Sq. Ft.) tract of land being all of Lots 5, 6, 7, & 8, Block 8, that portion of W. Swan Street lying between Block 8 & Block 14, and all of Lot 5, Block 14, SOUTH SIDE ADDITION, City of Stephenville, Erath, Texas, according to the King's 1956 Revised Map recorded in Volume 381, Page 105, Deed Records, Erath County, Texas; being all of Tract One & Tract Three as conveyed to Brown Pace Development Company, LLC in Clerk File No. 2020-05463, Official Public Records, Erath County, Texas; being further described by metes and bounds as follows:

BEGINNING at a found 3/8" iron rod in a 1/2" iron pipe at the northwest corner of said Lot 5, Block 8, in the east right of way line of S. 5th Avenue, for the northwest and beginning corner of this tract.

THENCE N 58°39'13" E at 98.9 feet pass a found 1/2" iron rod with plastic cap at the southerly common corner of that certain tract of land conveyed to B. Bledsoe & M. Lowe in Clerk File No. 2016-06310, O.P.R.E.C.T. & Lot 2, Block 8 as conveyed to WCA Properties in Clerk File No. 2020-00230, O.P.R.E.C.T., continuing at 188.8 feet pass a found 1/2" iron rod with plastic cap at the southerly common corner of said Lot 2 & Lot 3, Block 8 as conveyed to 9K Properties, LLC in Clerk File No. 2019-00475, O.P.R.E.C.T., for a total distance of 409.19 feet to a set 1/2" iron rod with red plastic cap stamped "TEXAS SURVEYING INC" at the apparent southeast corner of that certain tract of land conveyed to Texas Communications of Brownwood, LP in Clerk File No. 2010-04079, O.P.R.P.C.T., in the west right of way line of S. Lillian Street, for the northeast corner of this tract. WHENCE a found 1/2" iron rod at the intersection of the west right of way line of said S. Lillian Street with the south right of way line of W. Long Street bears N 34°42'49" W 170.0 feet.

THENCE S 34°42'49" E 120.68 feet along the west right of way line of said S. Lillian Street to a found 1/2" bolt at the northeast corner of the City of Stephenville Utility Site G-5 being Lot 8A, Block 8, as shown on the map recorded in Volume 412, Page 577, D.R.E.C.T., for the easterly southeast corner of this tract.

THENCE along the north & west lines of said Lot 8A, Block 8 as follows:

S 35°33'48" W 104.89 feet to a found 3/8" iron rod.

S 33°13'18" E 54.04 feet to a found 3/8" iron rod, in the north line of the G.C. & S.F. Railroad, for the southerly southeast corner of this tract.

THENCE S 36°11'56" W 347.94 feet along the north line of said G.C. & S.F. Railroad to a set 1/2" iron rod with red plastic cap stamped "TEXAS SURVEYING INC", at the southerly corner of said Lot 5, Block 14, for the southwest corner of this tract.

THENCE N 31°20'47" W 348.51 feet along the east right of way line of said S. 5th Avenue to the POINT OF BEGINNING.

Bearings, Distances, and/or Areas derived from GNSS observations performed by Texas Surveying, Inc. and reflects N.A.D. 1983, Texas State Plane Coordinate System, North Central Zone 4202 (Grid).

APPROVAL STATEMENT

Approved by the Director of Building Services of the City of Stephenville, Erath County, Texas.

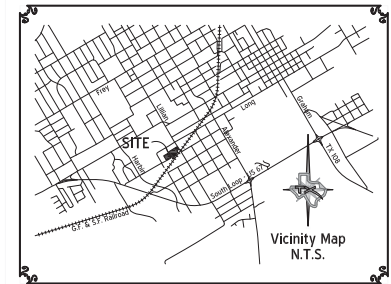
Approved: _____ 2021

City of Stephenville

Erath County, Texas

By: _____
Director of Building Services

Attest: _____
City Secretary



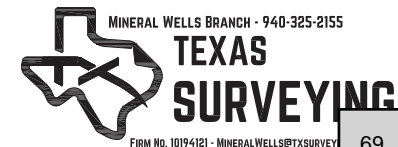
REPLAT

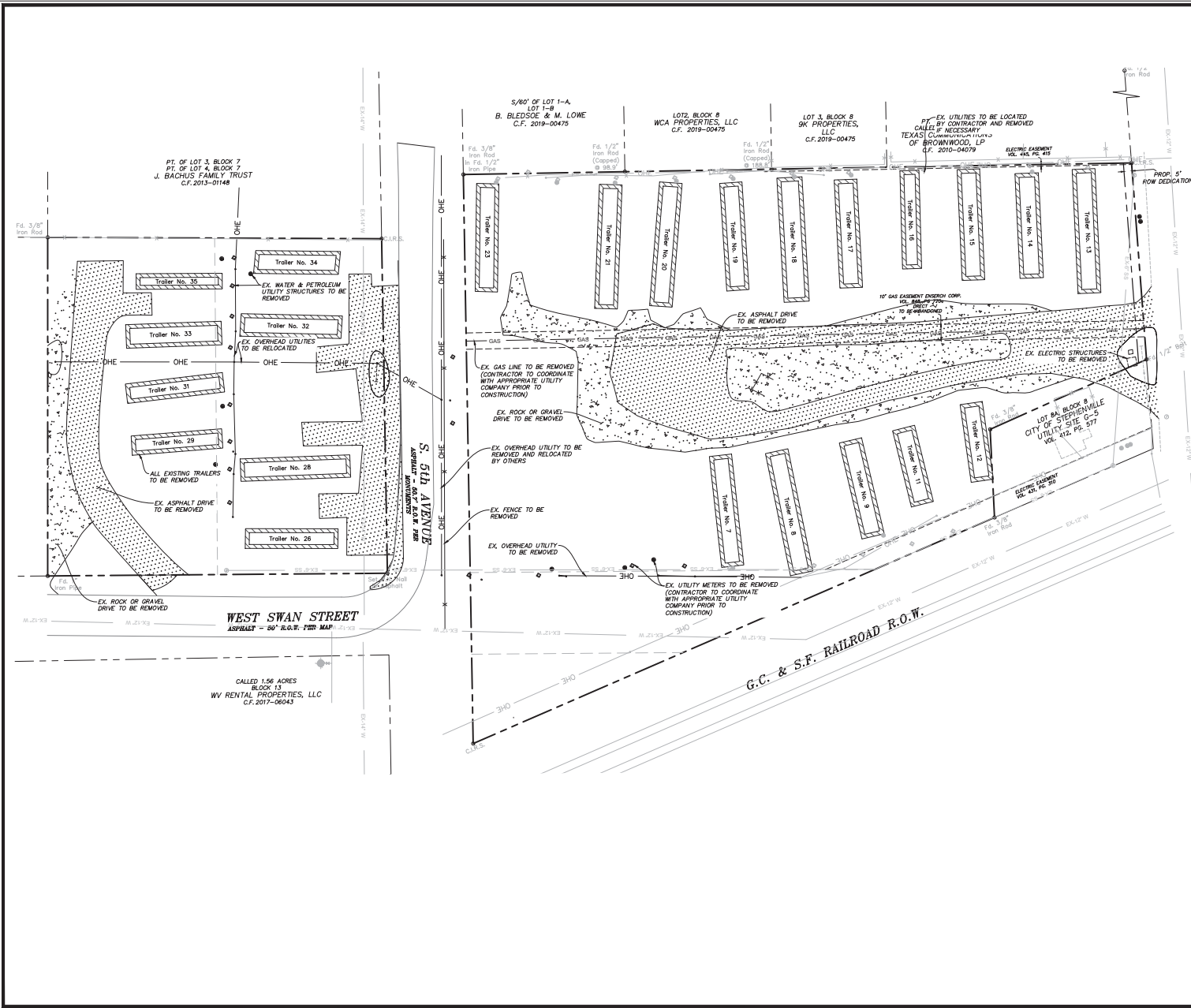
Lots IX, 2-10, 11X, 12-14, 15X, 16X, 17X, 18-20, 21X, Block 7 and Lots IX, 2-8, 9X, 10-13, 14X, 15-21, 22X, 23X, 24-29, 30X, 31-35, 36X, 37X, 38-42, 43X, Block 8
SOUTH SIDE ADDITION

A replat of Lots 7 & 8, Block 7, Lots 5, 6, 7, & 8, Block 8, Portion of W. Swan Street, & Lot 5, Block 14, SOUTH SIDE ADDITION, City of Stephenville, according to the King's 1956 Revised Map recorded in Volume 381, Page 105, Deed Records, Erath County, Texas.

June 2021

MINERAL WELLS BRANCH - 940-325-2155

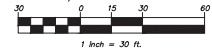




LEGEND:
 REMOVE EXIST. ROCK AND GRAVEL
 REMOVE EXIST. ASPHALT PAVEMENT

- NOTES:**
- CONTRACTOR TO DISPOSE OF ALL DEMOLITION DEBRIS IN AN APPROVED DISPOSAL FACILITY.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND PROTECTING THEM THROUGH CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR SITE DEMOLITION.
 - ALL WASTE WATER AND SANITARY SEWER SERVICES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE METER OR PROPERTY LINE.
 - REFER TO SITE AND GRADING PLAN FOR CONSTRUCTION LIMITS.
 - CONTRACTOR TO MAINTAIN EXISTING DRAINAGE PATTERN FOLLOWING REMOVAL OF EXISTING CONCRETE PAVEMENT.

422 S. LILLIAN STREET
 ASPHALT - VALIDATED FROM S.W.M. MAP



**422 LILLIAN TOWNHOMES
 STEPHENVILLE, TEXAS
 DEMOLITION PLAN**

mma
 Home registration number: 1-279
 State registration/license number: 0208000
 519 east boarder
 STEPHENVILLE, TEXAS 76810
 817-489-1871
 FAX: 817-574-8757
 www.mmainc.com

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PROJECT NUMBER: 3448-00-01
 PROJECT MANAGER: R. FLANAGAN
 DRAWN BY: J. HERNANDEZ
 CHECKED BY: R. FLANAGAN
 ISSUE DATE: 06/25/2021

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CALL TEXAS 811 OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MMA INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

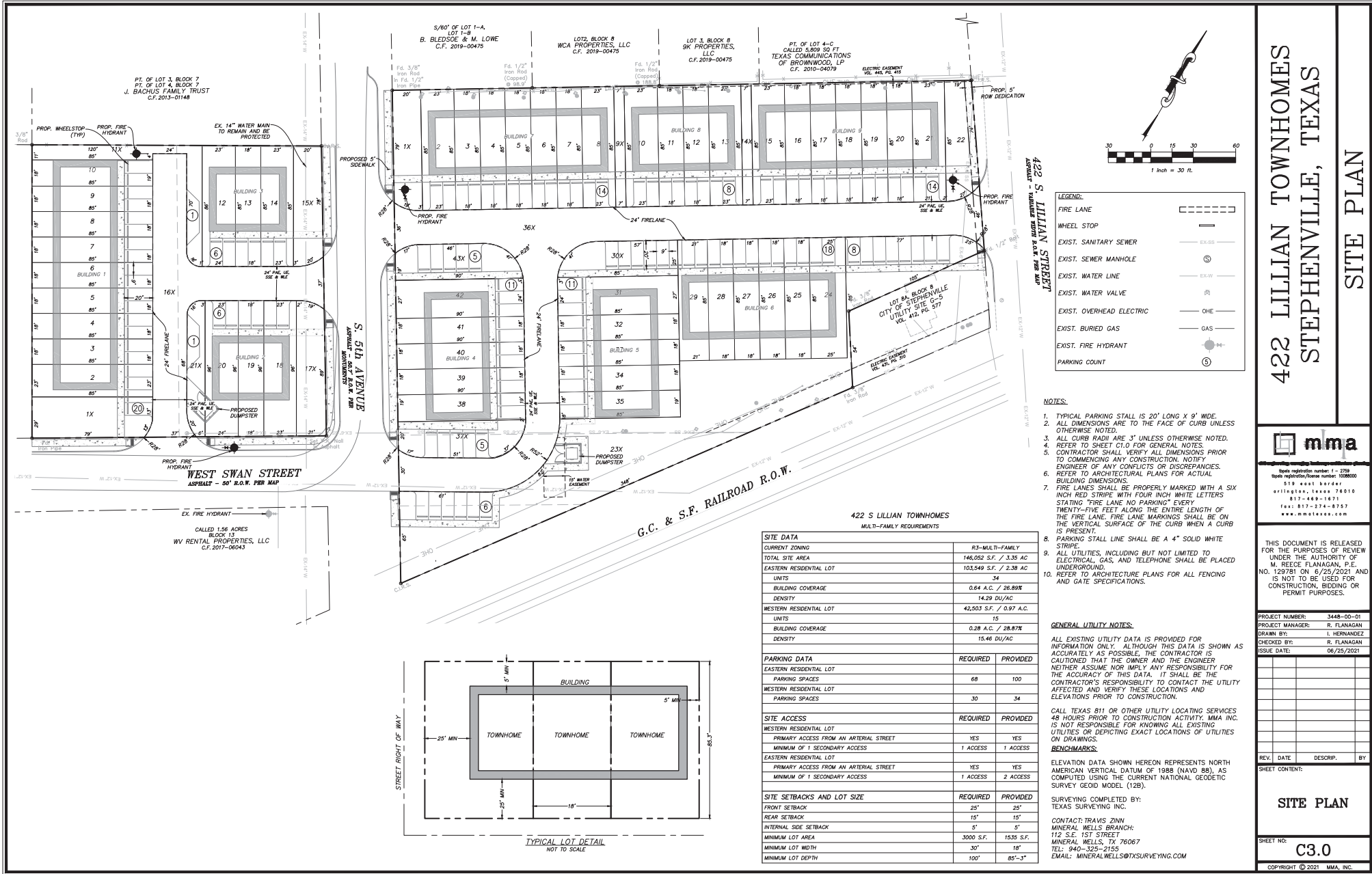
BENCHMARKS:
 ELEVATION DATA SHOWN HEREON REPRESENTS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS COMPUTED USING THE CURRENT NATIONAL GEODETIC SURVEY GEOID MODEL (12B).
 SURVEYING COMPLETED BY:
 TEXAS SURVEYING INC.
 CONTACT: TRAVIS ZINN
 MINERAL WELLS BRANCH:
 112 S.E. 1ST STREET
 MINERAL WELLS, TX 76067
 TEL: 940-325-2155
 EMAIL: MINERALWELLS@TXSURVEYING.COM

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SHEET CONTENT:

DEMOLITION PLAN

SHEET NO:
C2.0
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422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
SITE PLAN

mma

Home registration number: 1-2756
Title registration/Issue number: 1026000
519 east 34th st
Arlington, Texas 76010
817-489-1871
Fax: 817-374-8757
www.mma-texas.com

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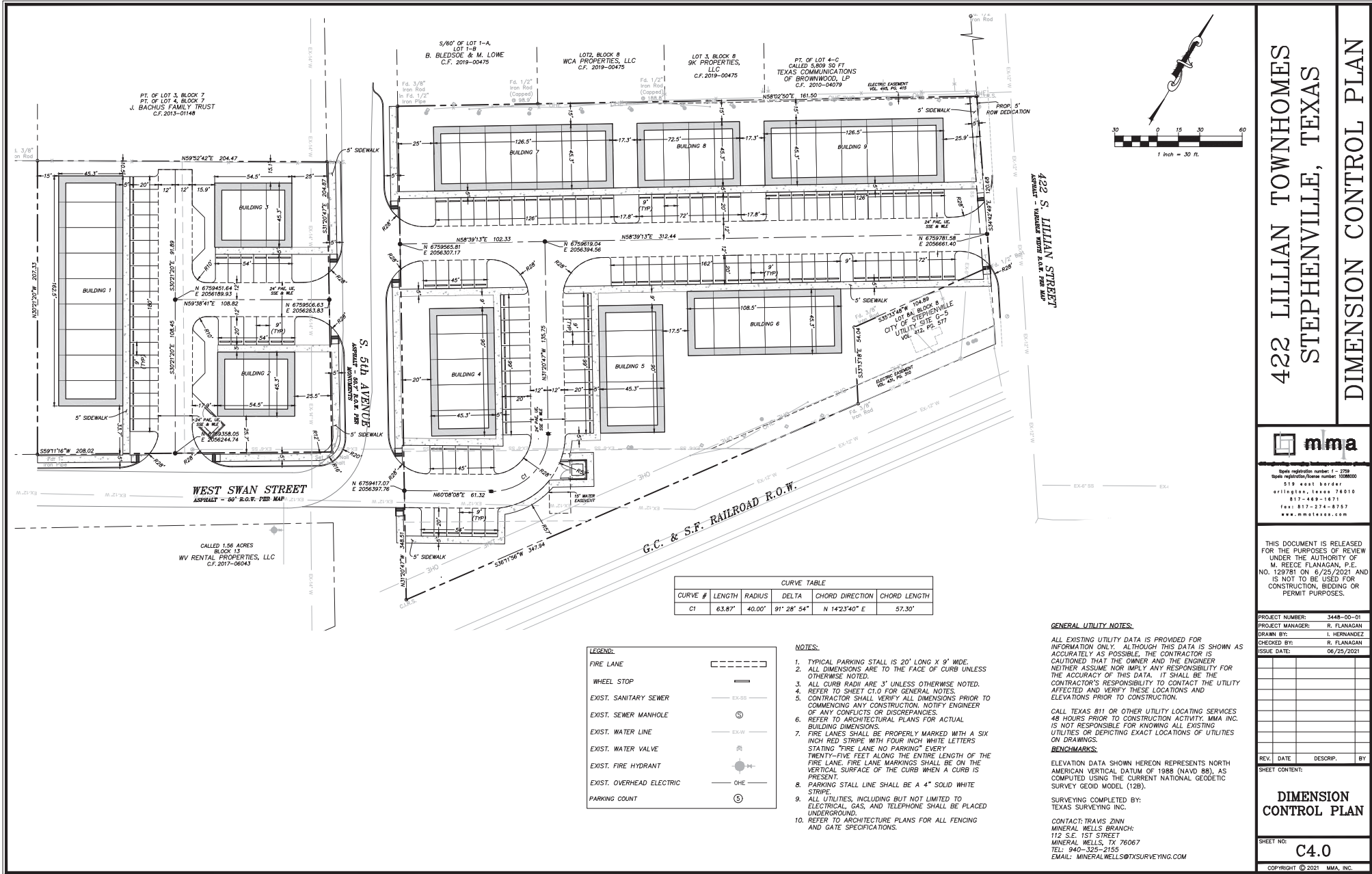
PROJECT NUMBER: 3448-00-01
PROJECT MANAGER: R. FLANAGAN
DRAWN BY: J. HERNANDEZ
CHECKED BY: R. FLANAGAN
ISSUE DATE: 06/25/2021

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SITE PLAN

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422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
DIMENSION CONTROL PLAN

mma
 Home registration number: 1-279
 State registration/contract number: 1008000
 519 east baylor
 stephenville, texas 76810
 817-469-1671
 fax: 817-274-8757
 www.mmaonline.com

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PROJECT NUMBER:	3448-00-01
PROJECT MANAGER:	R. FLANAGAN
DRAWN BY:	L. HERNANDEZ
CHECKED BY:	R. FLANAGAN
ISSUE DATE:	06/25/2021

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DIMENSION CONTROL PLAN

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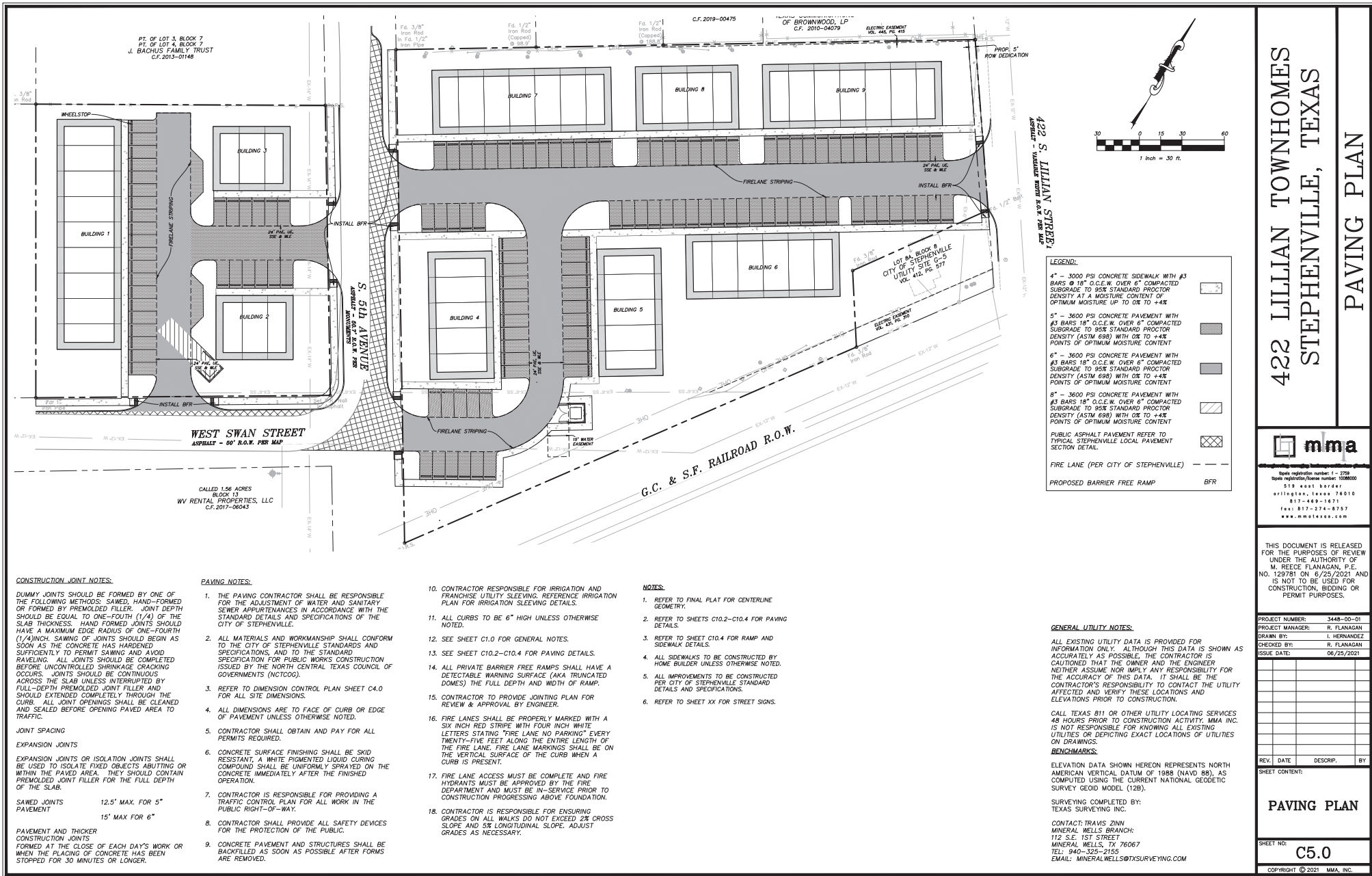
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 SURVEYING COMPLETED BY: TEXAS SURVEYING INC.
 CONTACT: TRAVIS ZINN
 MINERAL WELLS BRANCH:
 112 S.E. 1ST STREET
 MINERAL WELLS, TX 76067
 TEL: 940-325-2155
 EMAIL: MINERALWELLS@TXSURVEYING.COM

- NOTES:**
1. SINGLE PARKING STALL IS 20' LONG X 9' WIDE.
 2. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 3. ALL CURB RADI ARE 3' UNLESS OTHERWISE NOTED.
 4. REFER TO SHEET C1.0 FOR GENERAL NOTES.
 5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
 6. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
 7. FIRE LANES SHALL BE PROPERLY MARKED WITH A SIX INCH RED STRIPE WITH FOUR INCH WHITE LETTERS STATING "FIRE LANE NO PARKING" EVERY TWENTY-FIVE FEET ALONG THE ENTIRE LENGTH OF THE FIRE LANE. FIRE LANE MARKINGS SHALL BE ON THE VERTICAL SURFACE OF THE CURB WHEN A CURB IS PRESENT.
 8. PARKING STALL LINE SHALL BE A 4" SOLID WHITE STRIPE.
 9. ALL UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, GAS, AND TELEPHONE SHALL BE PLACED UNDERGROUND.
 10. REFER TO ARCHITECTURE PLANS FOR ALL FENCING AND GATE SPECIFICATIONS.

LEGEND:

FIRE LANE	---
WHEEL STOP	—
EXIST. SANITARY SEWER	EX-SS
EXIST. SEWER MANHOLE	⊙
EXIST. WATER LINE	EX-W
EXIST. WATER VALVE	⊕
EXIST. FIRE HYDRANT	⊕
EXIST. OVERHEAD ELECTRIC	OHE
PARKING COUNT	⊙

Item 5.



422 S. LILLIAN STREET
STEPHENSVILLE, TEXAS
PAVING PLAN

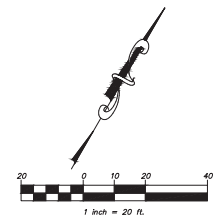
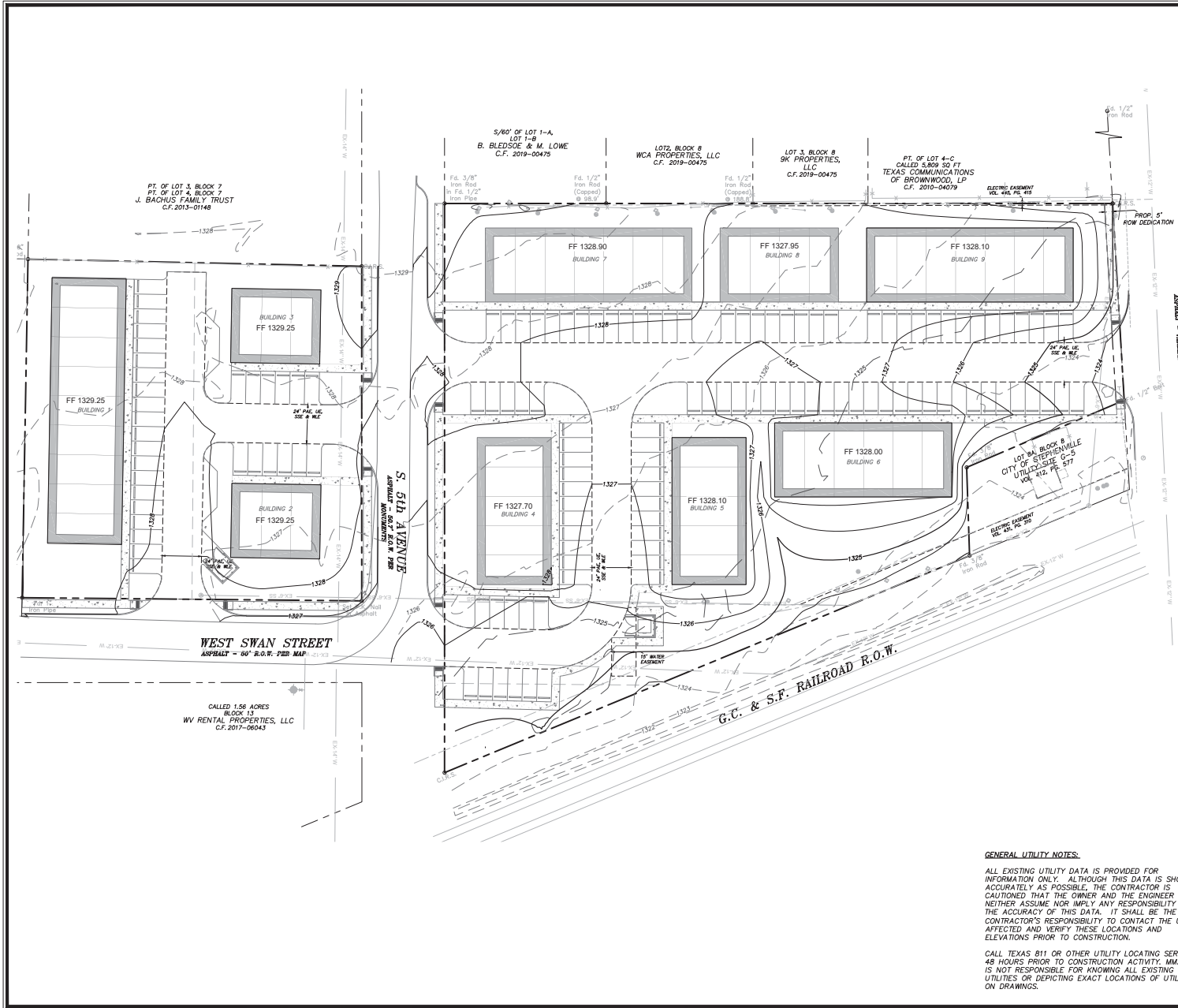
mma
 Home registration number: 1-2776
 State registration/contract number: 1008000
 519 east boulevard
 stephensville, texas 76781
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 fax: 817-274-8757
 www.mma-texas.com

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 DRAWN BY: J. HERNANDEZ
 CHECKED BY: R. FLANAGAN
 ISSUE DATE: 06/25/2021

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PAVING PLAN
 SHEET NO: **C5.0**
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LEGEND:

EXIST. CONTOUR	---640---
PROP. CONTOUR	—640—
FINISHED FLOOR ELEVATION	FF=630.0

- GRADING NOTES**
- CLEARING AND GRUBBING SHALL CONSIST OF REMOVING ALL NATURAL AND ARTIFICIAL OBSTRUCTIONABLE MATERIALS FROM THE PROJECT SITE.
 - ALL TREES, SHRUBS AND ALL SCRUB GROWTH SHALL BE CLEARED. ALL DEAD TREES, LOGS, STUMPS, RUBBISH OF ANY NATURE, AND OTHER SURFACE DEBRIS SHALL ALSO BE CLEARED.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE SITE OF THE WORK AND THE ADJACENT PREMISES AS FREE FROM MATERIAL, DEBRIS AND RUBBISH AS IS PRACTICABLE AND SHALL REMOVE SAME FROM ANY PORTION OF THE SITE.
 - UNSUITABLE MATERIAL, INCLUDING ALL ROCKS MEASURING LARGER THAN 6" IN THE LARGEST DIMENSION, REFUSE AND OTHER DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. CONTRACTOR SHALL ALSO, COMPLY WITH ALL APPLICABLE LAWS GOVERNING THE SPILLING OF DEBRIS WHILE TRANSPORTING TO A DISPOSAL SITE.
 - SIX (6") INCHES OF TOP SOIL SHALL BE PLACED ON ALL LANDSCAPE AREAS AND PARKING ISLANDS.
 - POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION MUST BE PROVIDED. CONTRACTOR TO ENSURE THERE IS NO PONDING AROUND FOUNDATION.
 - THE GRADES SHOWN ON THIS PLAN ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 - SHOULD THE CONTRACTOR ENCOUNTER ANY UNUSUAL GEOLOGICAL CONDITIONS DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING SUPPLEMENTAL RECOMMENDATIONS.
 - TESTING IS REQUIRED AND SHALL BE PERFORMED BY A LABORATORY APPROVED BY THE ENGINEER/OWNER AND PAID FOR BY THE OWNER.
 - LIMIT CONSTRUCTION ACTIVITY TO IMPROVEMENT AREAS ONLY.
 - REFERENCE LANDSCAPE PLANS FOR TREE PROTECTION METHODS.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING GRADES ON ALL WALKS DO NOT EXCEED 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE. ADJUST GRADES AS NECESSARY.
 - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED.

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SURVEYING COMPLETED BY:
 TEXAS SURVEYING INC.
 CONTACT: TRAVIS ZINN
 MINERAL WELLS BRANCH:
 112 S.E. 157 STREET
 MINERAL WELLS, TX 76067
 TEL: 940-325-2155
 EMAIL: MINERALWELLS@TXSURVEYING.COM

**422 LILLIAN STREET'S
 STEPHENVILLE, TEXAS
 OVERALL GRADING PLAN**



Home registration number: 1-279
 State registration/contract number: 1028000
 519 east 30th ave
 steplian, texas 76610
 817-489-1871
 fax: 817-374-8757
 www.mma-texas.com

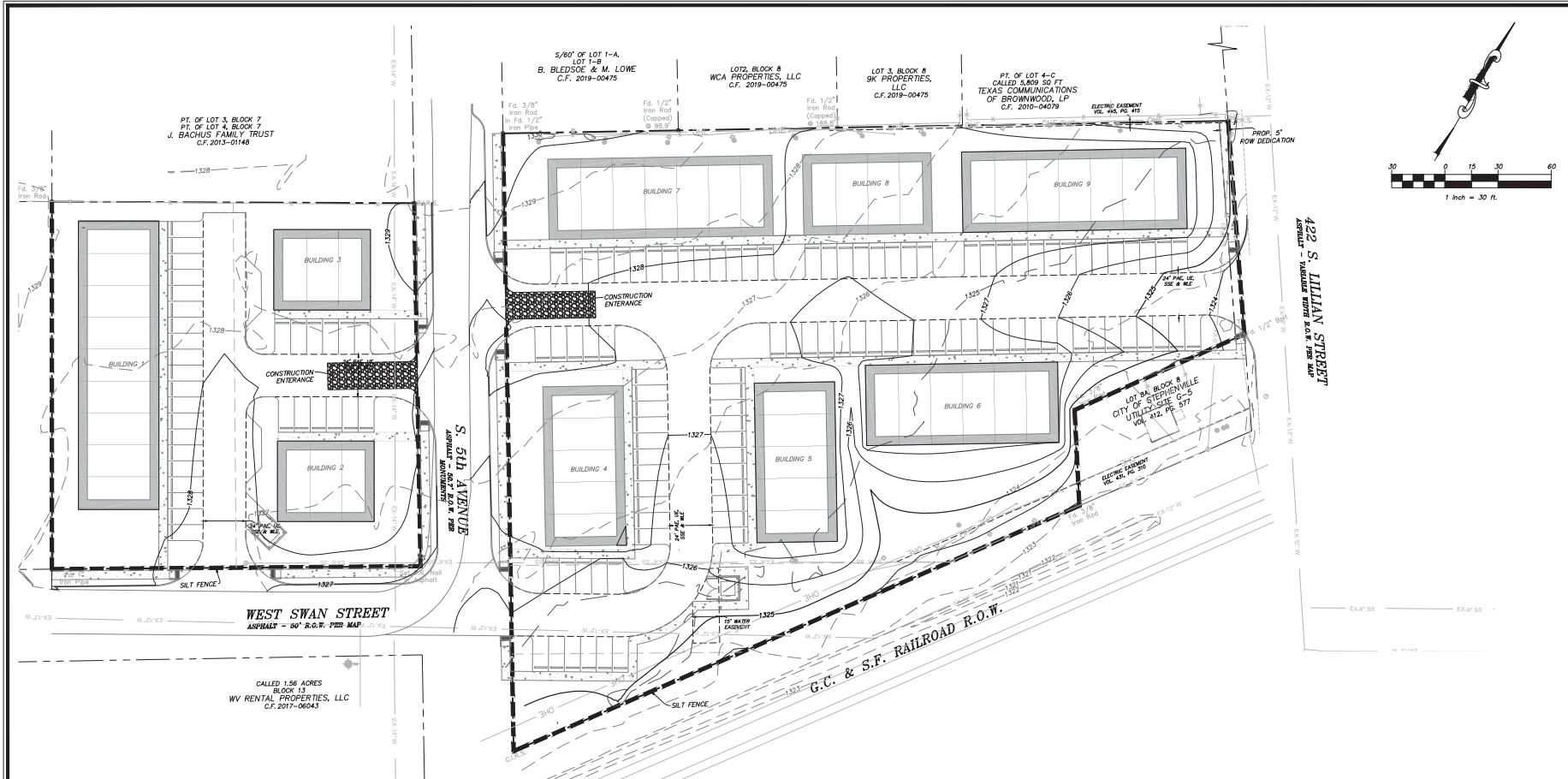
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 PROJECT MANAGER: R. FLANAGAN
 DRAWN BY: J. HERNANDEZ
 CHECKED BY: R. FLANAGAN
 ISSUE DATE: 06/25/2021

REV.	DATE	DESCRIP.	BY

OVERALL GRADING PLAN

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422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
EROSION CONTROL PLAN

mma
 Home registration number: 1-2739
 State registration/contract number: 1008000
 519 east 30th ave
 STEPHENVILLE, TEXAS 76610
 817-489-1671
 fax: 817-274-8757
 www.mmaonline.com

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PROJECT NUMBER: 3448-00-01
 PROJECT MANAGER: R. FLANAGAN
 DRAWN BY: I. HERANDEZ
 CHECKED BY: R. FLANAGAN
 ISSUE DATE: 06/25/2021

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EROSION CONTROL PLAN

SHEET NO: **C7.0**
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EROSION CONTROL INSTALLATION/PHASING LEGEND
 CONSTRUCTION AND SUBSEQUENT EROSION CONTROL INSTALLATION MUST BE SEQUENCED AS WRITTEN BELOW

MEASURE	BY	INSTALLED
CONST. ENTRY/EXIT	EXCAVATION CONTRACTOR	PRIOR TO EXCAVATION (SEE NOTE 12 FOR LOCATION)
SILT FENCE	EXCAVATION CONTRACTOR	PRIOR TO EXCAVATION

EROSION CONTROL NOTES

- THE FOLLOWING ARE THE CONTACT PERSONNEL FOR THE PROJECT:
 OWNER: BROWN PACE DEVELOPMENT COMPANY
 819 OLD ANNETTE ROAD
 ALEDO, TEXAS 76108
 CONTACT NAME: MARC PACE
 TEL: 817-501-9812
- PERIMETER EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE STARTING ANY SOIL DISTURBING ACTIVITIES.
- MEASURES IN PLACE BEFORE GRUBBING/LOT GRADING.
- SEDIMENT DISCHARGED OR TRACKED ON TO EXISTING PAVEMENT SHALL BE REMOVED DAILY.
- CONTRACTOR IS TO CONTAIN ALL RUNOFF FROM MATERIALS USED IN THE SUBGRADE STABILIZATION PROCESS.
- RETAIN FLOATABLE AND WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED 15 FT OFF SITE.
- PAVING CONTRACTOR TO INSTALL A PIT FOR TEMPORARY ON-SITE DISPOSAL OF CONCRETE WASTE FROM MIXING DRUMS AND CHUTES.
- INSPECT POLLUTION CONTROL MEASURES EVERY TWO WEEKS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2" OR MORE. REPAIR OR REPLACE DAMAGED MEASURES TO RETAIN SEDIMENT AND OTHER POLLUTANTS ON SITE. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS.
- PERMANENTLY STABILIZE EXPOSED SOIL WITHIN AND ADJACENT TO THE SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION ACTIVITIES. STABILIZATION IS OBTAINED WHEN THE SOIL IS COVERED BY A COMBINATION OF

- STRUCTURES, PAVING, AND PERENNIAL VEGETATION.
- INSTALL A LIQUID TIGHT BERMED AREA (LINER REQUIRED), OR OTHER SPILL PROTECTION MEASURE PER THE FINE CODE, FOR ANY TEMPORARY FUEL TANKS PLACED ON SITE DURING CONSTRUCTION.
- ALL CONTRACTORS TO MAINTAIN EXISTING EROSION CONTROL MEASURES IN PLACE.
- CONSTRUCTION ENTRANCE/EXIT TO BE LOCATED BY GRADING CONTRACTOR AND APPROVED BY OWNER.
- ALL GRADING TO CONFORM TO THE APPROVED GRADING PLAN FOR 422 LILLIAN TOWNHOMES.
- EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS OR IN CHANNELS, DRAINAGEWAYS OR BORROW DITCHES AT RISK OF CONTRACTOR. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGEWAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREGGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES. SEE LANDSCAPE PLAN FOR SOD LOCATIONS.
- TOTAL DISTURBED AREA = 3.37 AC.

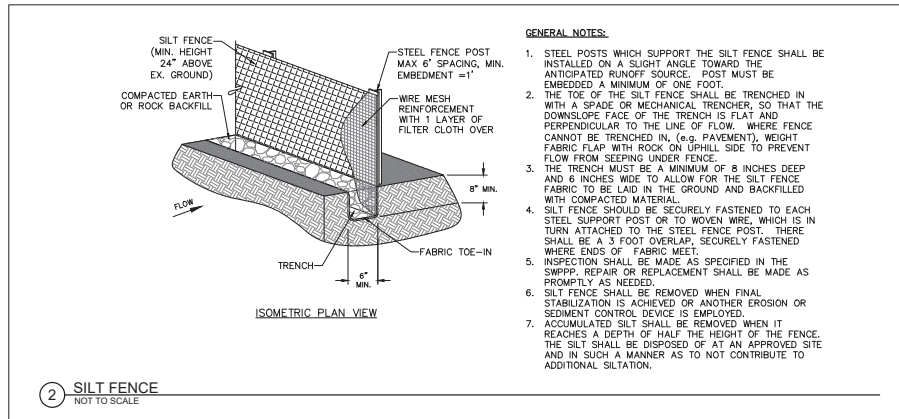
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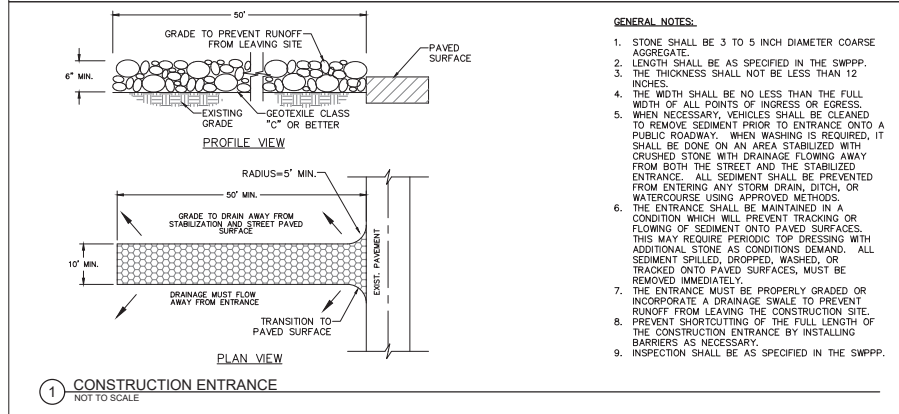
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SURVEYING COMPLETED BY:
 TEXAS SURVEYING INC.
 CONTACT: TRAVIS ZINN
 MINERAL WELLS BRANCH:
 112 S.E. 157 STREET
 MINERAL WELLS, TX 76067
 TEL: 940-325-2155
 EMAIL: MINERALWELLS@TXSURVEYING.COM



- GENERAL NOTES:**
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
 3. THE TRENCH MUST BE A MINIMUM OF 8 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 5. INSPECTION SHALL BE MADE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS NEEDED.
 6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



- GENERAL NOTES:**
1. STONE SHALL BE 3 TO 5 INCH DIAMETER COARSE AGGREGATE.
 2. LENGTH SHALL BE AS SPECIFIED IN THE SWPPP.
 3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
 4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE USING APPROVED METHODS.
 6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.
 7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
 8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
 9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.

BENCHMARKS:

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SURVEYING COMPLETED BY:
TEXAS SURVEYING INC.

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mma

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Texas registration/contract number: 1008000
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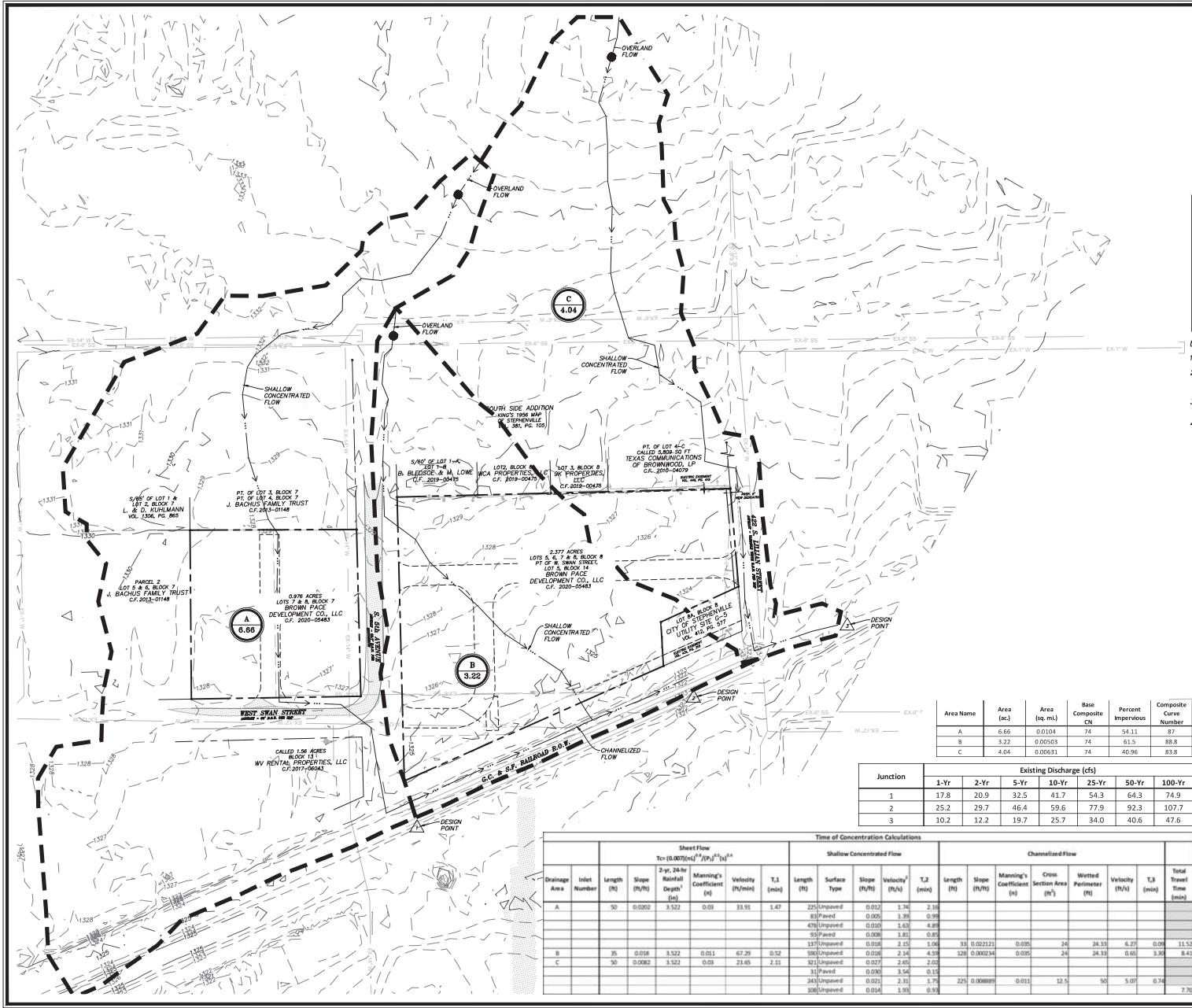
PROJECT NUMBER:	3448-00-01
PROJECT MANAGER:	R. FLANAGAN
DRAWN BY:	L. HERNANDEZ
CHECKED BY:	R. FLANAGAN
ISSUE DATE:	06/25/2021

REV.	DATE	DESCRIP.	BY

EROSION CONTROL DETAILS

SHEET NO:
C7.1

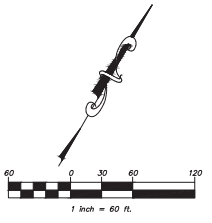
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LEGEND:

- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA LABEL
- NAME
- AREA (ACRES)
- FLOW ARROW
- - - EXISTING CONTOUR
- - - LONGEST FLOW PATH
- △ ANALYSIS POINT DESIGNATION

- NOTES:**
1. PROPERTY IS ZONED R-3 MULTIFAMILY.
 2. DESIGN CRITERIA IS BASED ON CITY OF STEPHENVILLE STORMWATER CRITERIA MANUAL 2016.
 3. DRAINAGE AREAS ARE BASED ON 2016 TNMS LIDAR CONTOURS.
 4. SCS METHOD WAS USED FOR THE DRAINAGE ANALYSIS.



Area Name	Area (Ac)	Area (sq. mi.)	Base Composite CN	Percent Impervious	Composite Curve Number
A	6.66	0.0104	74	54.11	87
B	3.22	0.00503	74	61.5	88.8
C	4.04	0.00631	74	40.96	83.8

Junction	Existing Discharge (cfs)					
	1-Yr	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr
1	17.8	20.9	32.5	41.7	54.3	64.3
2	25.2	29.7	46.4	59.6	77.9	92.3
3	10.2	12.2	19.7	25.7	34.0	40.6

Time of Concentration Calculations																								
Drainage Area	Inlet Number	Sheet Flow To (1000 ft) ² (ft) ³ (ft) ⁴					Shallow Concentrated Flow				Channelized Flow				Total Travel Time (min)									
		Length (ft)	Slope (ft/ft)	Rainfall Depth (in)	Manning's Coefficient (n)	Velocity (ft/min)	T,1 (min)	Length (ft)	Surface Type	Slope (ft/ft)	Velocity ² (ft/s)	T,2 (min)	Length (ft)	Slope (ft/ft)		Manning's Coefficient (n)	Cross Section Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/s)	T,3 (min)				
A	30	0.020	3.522	0.03	33.91	1.47	225 Unpaved	0.012	1.74	2.34														
							83 Paved	0.005	3.39	0.99														
							478 Unpaved	0.026	1.63	4.89														
B	35	0.018	3.522	0.03	67.29	0.52	137 Unpaved	0.018	2.05	1.86	31 (0.02712)	0.035	24	24.33	6.27	0.09	11.52							
							21 Unpaved	0.027	2.65	2.62														
							343 Unpaved	0.031	3.31	3.79														
C	30	0.0062	3.522	0.03	21.65	2.11	308 Unpaved	0.014	1.93	0.93														
							225 (0.00689)	0.011	12.5	50	5.07	0.74												
							308 Unpaved	0.014	1.93	0.93														

GENERAL UTILITY NOTES:

ALL EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE OWNER AND THE ENGINEER NEITHER ASSUME NOR IMPLY ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY AFFECTED AND VERIFY THESE LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

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BENCHMARKS:

ELEVATION DATA SHOWN HEREON REPRESENTS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS COMPUTED USING THE CURRENT NATIONAL GEODETIC SURVEY GEOD MODEL (12B).

SURVEYING COMPLETED BY: TEXAS SURVEYING INC.

CONTACT: TRAVS ZINN
MINERAL WELLS BRANCH:
112 S.E. 157 STREET
MINERAL WELLS, TX 76067
TEL: 940-325-2155
EMAIL: MINERALWELLS@TXSURVEYING.COM

**422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
PRE-DEVELOPMENT DRAINAGE AREA MAP**

mma

Home registration number: 1-2739
State registration/contract number: 1008000
519 East Border
Arlington, Texas 76010
817-489-1871
Fax: 817-274-8757
www.mma-texas.com

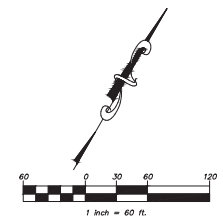
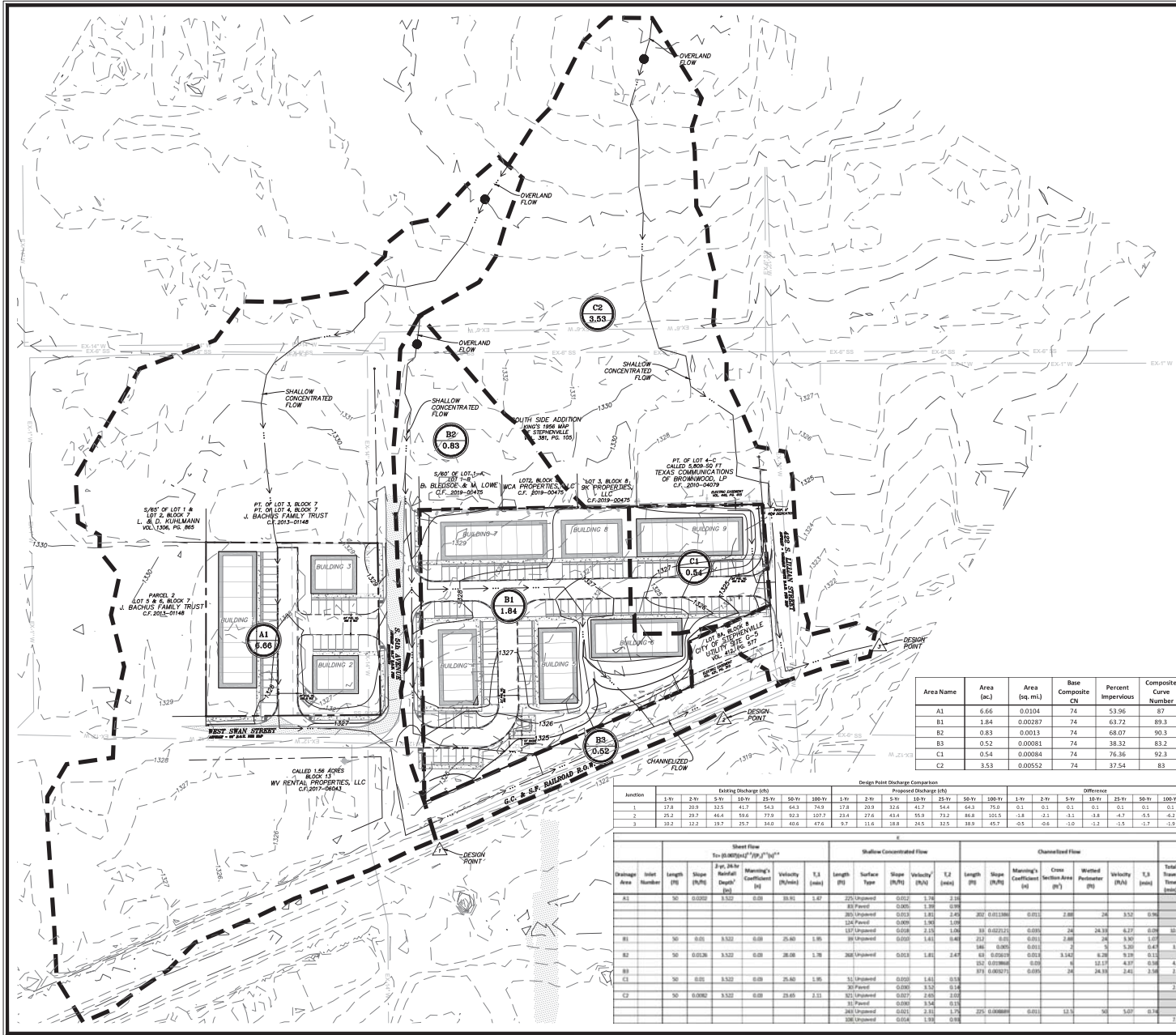
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PROJECT NUMBER: 3448-00-01
PROJECT MANAGER: R. FLANAGAN
DRAWN BY: D. FRASCELLA
CHECKED BY: R. FLANAGAN
ISSUE DATE: 06/25/2021

REV.	DATE	DESCRIP.	BY

**PRE-DEVELOPMENT
DRAINAGE
AREA MAP**

SHEET NO:
C8.0
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LEGEND:

DRAINAGE AREA BOUNDARY
 DRAINAGE AREA LABEL
 NAME
 AREA (ACRES)
 FLOW ARROW
 EXISTING CONTOUR
 LONGEST FLOW PATH
 ANALYSIS POINT DESIGNATION

NOTES:

1. EXISTING CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY PREPARED BY TEXAS SURVEYING INC, DATED JUNE 21, 2021.

CONTACT TRAVIS ZINN FOR ANY QUESTIONS.
 MINERAL WELLS BRANCH:
 112 S.E. 157 STREET
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 TEL: 940-325-2155
 EMAIL: MINERALWELLS@TXSURVEYING.COM

Area Name	Area (ac)	Area (sq.m)	Base Composite CN	Percent Impervious	Composite Curve Number
A1	6.66	0.0104	74	53.96	87
B1	1.84	0.00287	74	63.72	89.3
B2	0.83	0.00131	74	68.07	90.3
B3	0.52	0.00081	74	38.32	83.2
C1	0.54	0.00084	74	76.36	92.3
C2	3.53	0.00552	74	37.54	83

Junction	Existing Discharge (cfs)										Design Point Discharge Comparison										
	1-W	2-W	5-W	10-W	25-W	50-W	100-W	1-W	2-W	5-W	10-W	25-W	50-W	100-W	1-W	2-W	5-W	10-W	25-W	50-W	100-W
1	17.8	20.9	32.5	41.7	54.3	64.3	74.9	17.8	20.9	32.5	41.7	54.3	64.3	74.9	0.1	0.1	0.1	0.1	0.1	0.1	0.1
2	25.2	29.7	46.4	59.6	77.9	92.3	107.7	24.1	27.6	42.6	55.9	73.2	86.8	102.5	-0.8	-0.2	0.1	0.8	-0.7	-0.5	-0.1
3	10.2	12.2	19.7	25.7	34.0	40.6	47.6	9.7	11.6	18.8	24.5	32.5	38.9	45.7	-0.5	-0.6	-1.0	-1.2	-1.5	-1.7	-1.9

Drainage Area	Inlet Number	Length (ft)	Slope (ft/ft)	Rainfall Depth (in)	Manning's Coefficient (ft ² /s)	Velocity (ft/s)	T.S. (ft)	Shallow Concentrated Flow		Channelized Flow										
								Length (ft)	Surface Type	Slope (ft/ft)	Velocity (ft/s)	T.S. (ft)	Length (ft)	Slope (ft/ft)	Manning's Coefficient (ft ² /s)	Velocity (ft/s)	T.S. (ft)	Total Travel Time (min)		
A1	50	0.020	3.52	0.01	0.91	1.47	27.5	Impervious	0.012	1.74	2.16	0.001	0.001	1.00	0.00					
B1	50	0.020	3.52	0.01	0.91	1.47	27.5	Impervious	0.012	1.81	2.49	0.001	0.001	1.00	0.00					
B2	50	0.020	3.52	0.01	0.91	1.47	27.5	Impervious	0.012	1.81	2.49	0.001	0.001	1.00	0.00					
B3	50	0.020	3.52	0.01	0.91	1.47	27.5	Impervious	0.012	1.81	2.49	0.001	0.001	1.00	0.00					
C1	50	0.020	3.52	0.01	0.91	1.47	27.5	Impervious	0.012	1.81	2.49	0.001	0.001	1.00	0.00					
C2	50	0.020	3.52	0.01	0.91	1.47	27.5	Impervious	0.012	1.81	2.49	0.001	0.001	1.00	0.00					

GENERAL UTILITY NOTES:

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BENCHMARKS:

ELEVATION DATA SHOWN HEREON REPRESENTS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS COMPUTED USING THE CURRENT NATIONAL GEODETIC SURVEY GEOD MODEL (12B).

SURVEYING COMPLETED BY: TEXAS SURVEYING INC.

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 MINERAL WELLS, TX 76067
 TEL: 940-325-2155
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422 LILLIAN TOWNHOMES
 STEPHENVILLE, TEXAS
 DRAINAGE AREA MAP

mma

Home registration number: 1-279
 State registration/license number: 1008000
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 Arlington, Texas 76010
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 fax: 817-274-8757
 www.mma-texas.com

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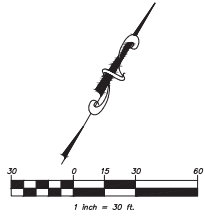
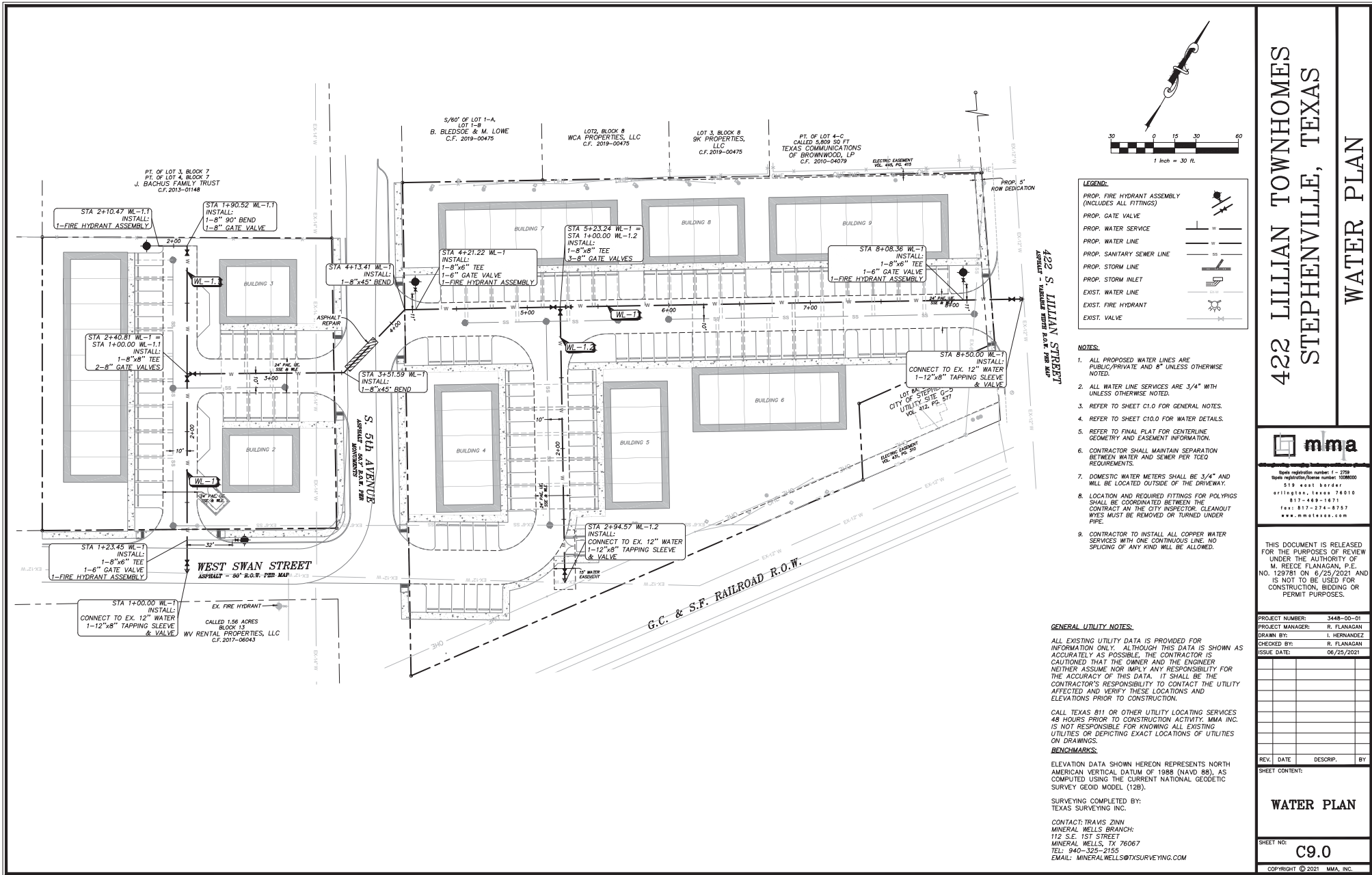
PROJECT NUMBER: 3448-00-01
 PROJECT MANAGER: R. FLANAGAN
 DRAWN BY: D.FRASCILLA
 CHECKED BY: R.FLANAGAN
 ISSUE DATE: 06/25/2021

REV.	DATE	DESCRIP.	BY

DRAINAGE AREA MAP

SHEET NO: **C8.1**

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LEGEND:

- PROP. FIRE HYDRANT ASSEMBLY (INCLUDES ALL FITTINGS)
- PROP. GATE VALVE
- PROP. WATER SERVICE
- PROP. WATER LINE
- PROP. SANITARY SEWER LINE
- PROP. STORM LINE
- PROP. STORM INLET
- EXIST. WATER LINE
- EXIST. FIRE HYDRANT
- EXIST. VALVE

- NOTES:**
1. ALL PROPOSED WATER LINES ARE PUBLIC/Private AND 8" UNLESS OTHERWISE NOTED.
 2. ALL WATER LINE SERVICES ARE 3/4" WITH UNLESS OTHERWISE NOTED.
 3. REFER TO SHEET C1.0 FOR GENERAL NOTES.
 4. REFER TO SHEET C10.0 FOR WATER DETAILS.
 5. REFER TO FINAL PLAT FOR CENTERLINE GEOMETRY AND EXISTENT INFORMATION.
 6. CONTRACTOR SHALL MAINTAIN SEPARATION BETWEEN WATER AND SEWER PER TCEC REQUIREMENTS.
 7. DOMESTIC WATER METERS SHALL BE 3/4" AND WILL BE LOCATED OUTSIDE OF THE DRIVEWAY.
 8. LOCATION AND REQUIRED FITTINGS FOR POLYPIPS SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE CITY INSPECTOR. CLEANOUT WYES MUST BE REMOVED OR TURNED UNDER PIPE.
 9. CONTRACTOR TO INSTALL ALL COPPER WATER SERVICES WITH ONE CONTINUOUS LINE. NO SPLICING OF ANY KIND WILL BE ALLOWED.

GENERAL UTILITY NOTES:

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 TEXAS SURVEYING INC.

CONTACT: TRAVIS ZINN
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 MINERAL WELLS, TX 76067
 TEL: 940-325-2155
 EMAIL: MINERALWELLS@TXSURVEYING.COM

422 LILLIAN TOWNHOMES
 STEPHENVILLE, TEXAS

WATER PLAN



Home registration number: 1-2776
 State registration/contract number: 0068000
 519 east boulevard
 stephenville, texas 76610
 817-469-1871
 fax: 817-274-8757
 www.mma-texas.com

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PROJECT NUMBER: 3448-00-01
 PROJECT MANAGER: R. FLANAGAN
 DRAWN BY: T. HERNANDEZ
 CHECKED BY: R. FLANAGAN
 ISSUE DATE: 06/25/2021

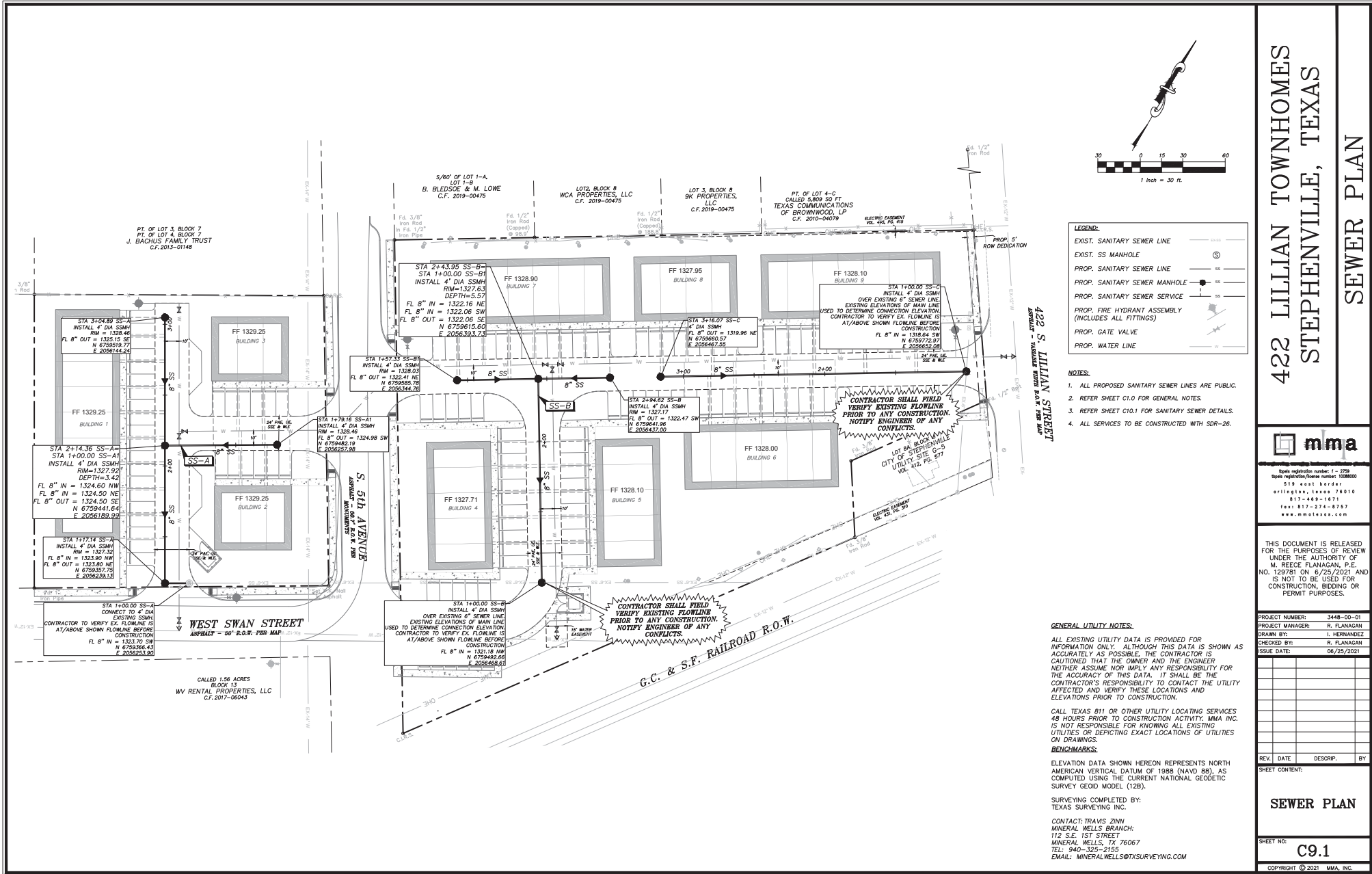
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SHEET CONTENT:

WATER PLAN

SHEET NO: C9.0

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LEGEND:

- EXIST. SANITARY SEWER LINE
- EXIST. SS MANHOLE
- PROP. SANITARY SEWER LINE
- PROP. SANITARY SEWER MANHOLE
- PROP. SANITARY SEWER SERVICE
- PROP. FIRE HYDRANT ASSEMBLY (INCLUDES ALL FITTINGS)
- PROP. GATE VALVE
- PROP. WATER LINE

- NOTES:**
1. ALL PROPOSED SANITARY SEWER LINES ARE PUBLIC.
 2. REFER SHEET C10.0 FOR GENERAL NOTES.
 3. REFER SHEET C10.1 FOR SANITARY SEWER DETAILS.
 4. ALL SERVICES TO BE CONSTRUCTED WITH SDR-26.

422 S LILLIAN STREET

**422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
SEWER PLAN**

mma

Home registration number: 1-278
 State registration/contract number: 1008000
 519 east boulevard
 STEPHENVILLE, TEXAS 76410
 817-489-1871
 FAX: 817-574-8757
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PROJECT NUMBER:	3448-00-01
PROJECT MANAGER:	R. FLANAGAN
DRAWN BY:	I. HERNANDEZ
CHECKED BY:	R. FLANAGAN
ISSUE DATE:	06/25/2021

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:

SEWER PLAN

SHEET NO:
C9.1

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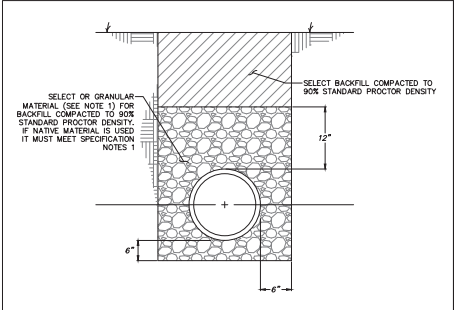
BENCHMARKS:

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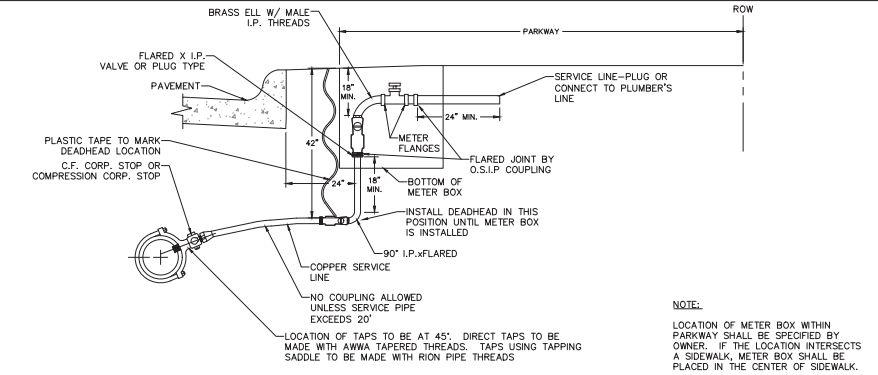
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CONTACT: TRAVIS ZINN
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 TEL: 940-325-2155
 EMAIL: MINERALWELLS@TXSURVEYING.COM

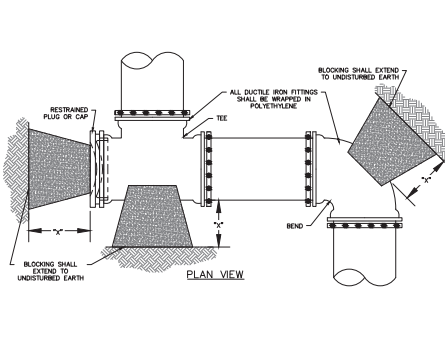
422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
WATER DETAILS



④ WATER PVC LINE STANDARD EMBEDMENT
NOT TO SCALE



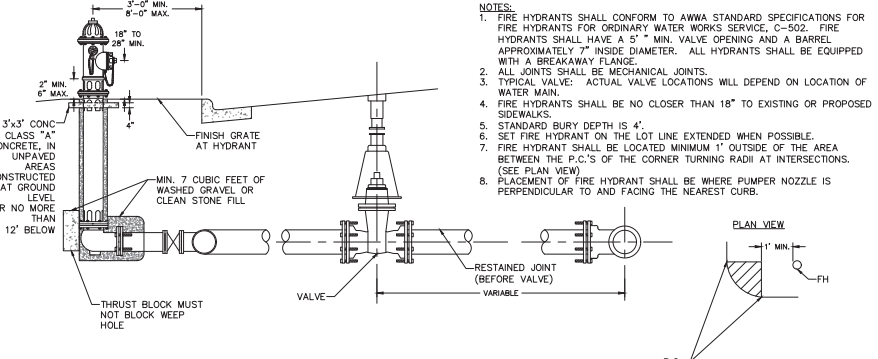
② WATER SERVICE INSTALLATION 1 1/2" OR 2" LINE
NOT TO SCALE



- NOTES:
- THRUST BLOCKING AREAS SHOWN ARE BASED ON:
 - 225 PSI TEST PRESSURE.
 - 3,000 PSF HORIZONTAL OR LATERAL BEARING PRESSURE FOR ACCEPTABLE SOILS.
 - MINIMUM COVER OF 42"
 - A SAFETY FACTOR OF 1.5.
 - THE ENGINEER SHALL PROVIDE A SEPARATE BLOCKING TABLE WHEN THE CONDITIONS DO NOT MEET THE ABOVE ASSUMPTIONS.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE THRUST RESTRAINT BY MEANS OF THRUST BLOCKING FOR ALL PIPES. THIS ITEM SHALL BE CONSIDERED SUBSIDIARY TO THE VARIOUS ITEMS BID.
 - ALL MJ FITTINGS SHALL BE ADDITIONALLY RESTRAINED WITH RETAINER GLANDS. BLOCKING FOR WATER LINES LARGER THAN 24" SHALL BE DESIGNED FOR THE SPECIFIC LOCATION AND SHOWN ON THE DRAWINGS.
 - ALL DUCTILE IRON FITTINGS SHALL BE WRAPPED IN POLYETHYLENE ENCASEMENT PRIOR TO PLACING OF BLOCKING.

PIPE SIZE (IN.)	FLUGL. TESTS (SF)	90° BENDS			22.5° BENDS			11.25° BENDS		
		MIN. AREA (SF)	MIN. AREA (SF)	MIN. AREA (SF)	MIN. AREA (SF)	MIN. AREA (SF)	MIN. AREA (SF)	MIN. AREA (SF)	MIN. AREA (SF)	
4"	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	
6"	8.00	8.00	8.00	8.00	8.00	8.00	8.00	8.00	8.00	
8"	12.00	12.00	12.00	12.00	12.00	12.00	12.00	12.00	12.00	
10"	16.00	16.00	16.00	16.00	16.00	16.00	16.00	16.00	16.00	
12"	20.00	20.00	20.00	20.00	20.00	20.00	20.00	20.00	20.00	
14"	28.00	28.00	28.00	28.00	28.00	28.00	28.00	28.00	28.00	
16"	36.00	36.00	36.00	36.00	36.00	36.00	36.00	36.00	36.00	
18"	44.00	44.00	44.00	44.00	44.00	44.00	44.00	44.00	44.00	
20"	52.00	52.00	52.00	52.00	52.00	52.00	52.00	52.00	52.00	
24"	72.00	72.00	72.00	72.00	72.00	72.00	72.00	72.00	72.00	

③ HORIZONTAL THRUST BLOCKING
NOT TO SCALE



① FIRE HYDRANT INSTALLATION
NOT TO SCALE



Issue registration number: 1-275
State registration/issue number: 1028000
519 east 30th ave
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fax: 817-374-8757
www.mmaonline.com

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PROJECT NUMBER: 3448-00-01
PROJECT MANAGER: R. FLANAGAN
DRAWN BY: I. HERNANDEZ
CHECKED BY: R. FLANAGAN
ISSUE DATE: 06/25/2021

REV.	DATE	DESCRIP.	BY

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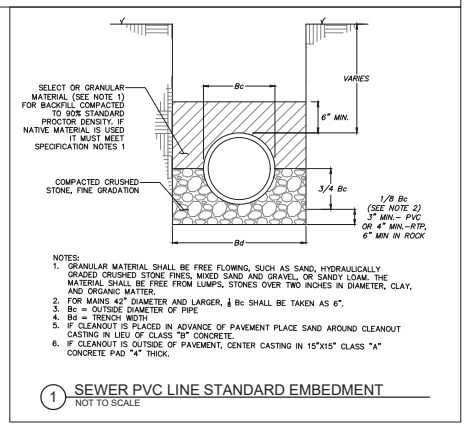
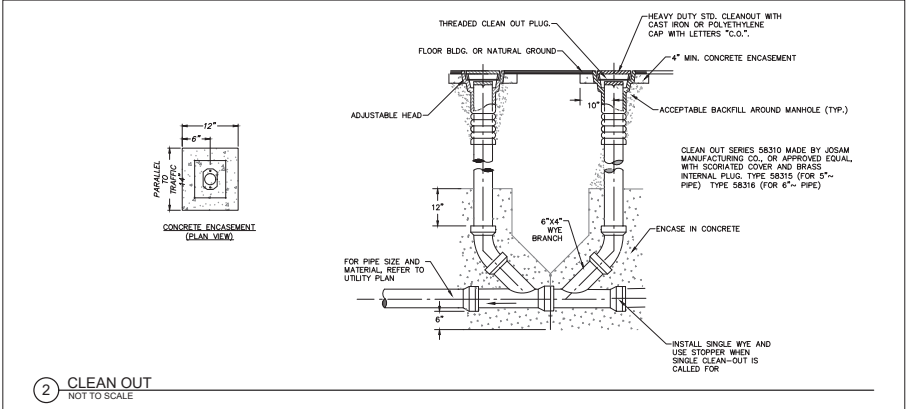
WATER DETAILS

SHEET NO:
C10.0

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422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS

SEWER DETAILS



mma

 Name registration number: 1-2726
 State registration/contract number: 0008000
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 fax: 817-274-8757
 www.mma-texas.com

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PROJECT NUMBER:	3448-00-01
PROJECT MANAGER:	R. FLANAGAN
DRAWN BY:	L. HERNANDEZ
CHECKED BY:	R. FLANAGAN
ISSUE DATE:	06/25/2021

REV.	DATE	DESCRIP.	BY

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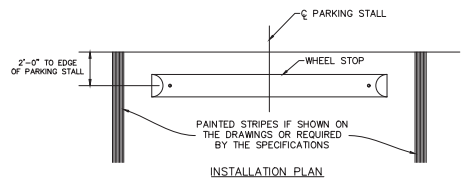
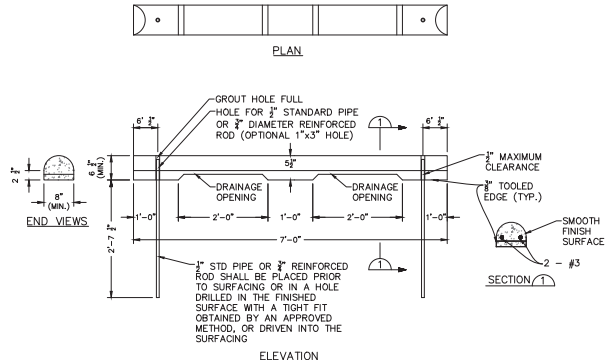
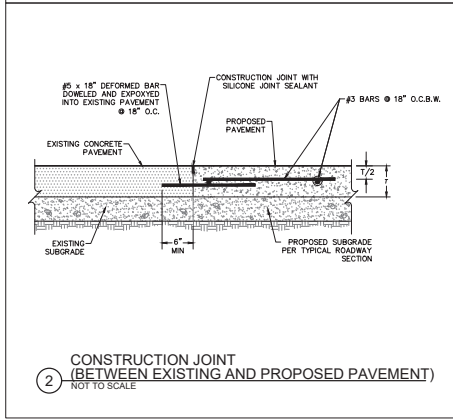
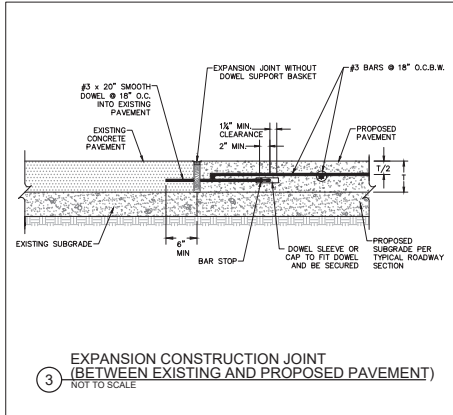
SEWER DETAILS

SHEET NO:
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 817-469-1871
 fax: 817-274-8757
 www.mma-texas.com

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PROJECT NUMBER:	3448-00-01
PROJECT MANAGER:	R. FLANAGAN
DRAWN BY:	L. HERNANDEZ
CHECKED BY:	R. FLANAGAN
ISSUE DATE:	06/25/2021

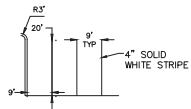
REV.	DATE	DESCRIP.	BY

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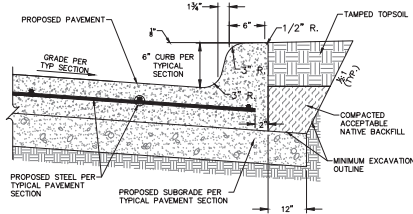
PAVING DETAILS

SHEET NO:
C10.2

COPYRIGHT © 2021 MMA, INC.

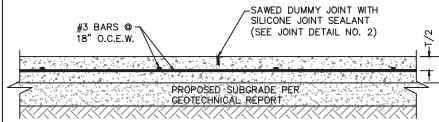


11 TYPICAL PARKING DETAIL
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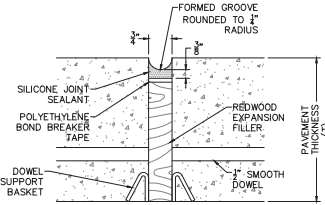


NOTES:
1. MATCH STREET SAWED JOINTS FOR SAWED JOINTS IN CURB.

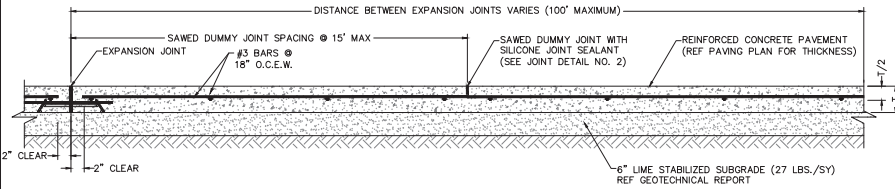
9 STANDARD MONOLITHIC CURB
NOT TO SCALE



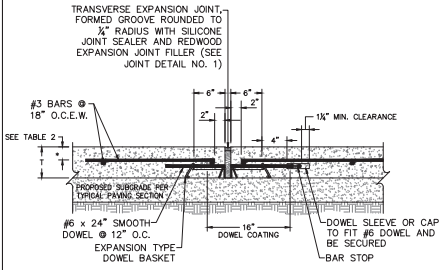
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NOT TO SCALE



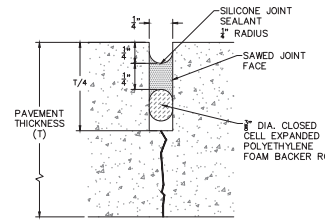
3 JOINT DETAIL NO. 1
NOT TO SCALE



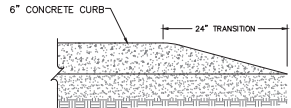
8 TYPICAL PAVING SECTION
NOT TO SCALE



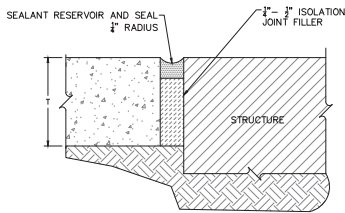
5 EXPANSION JOINT
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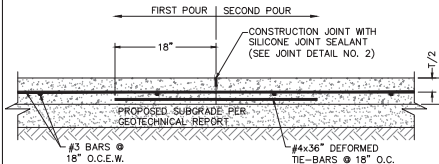
2 JOINT DETAIL NO. 2
NOT TO SCALE



10 CURB TAPER
NOT TO SCALE



7 ISOLATION JOINT
NOT TO SCALE



4 CONSTRUCTION JOINT
NOT TO SCALE

CONSTRUCTION NOTES

- FOR DEFORMED BAR SPLICES, LAP BARS 40 DIAMETERS AND TIE.
- FOR PAVEMENT THICKNESS "T" REFER TO PAVING PLAN.

DM T = PAVEMENT THICKNESS	DM 1/4 = JOINT DEPTH
5"	1A"
6"	1B"
7"	1A"
8"	2"
9"	2A"

DM T = PAVEMENT THICKNESS	Ø (CLEARANCE FROM FACE OF CONCRETE)
5"	2"
6"	2"
7"	2A"
8"	2A"
9"	3"

NOTE: ALL DOWELS TO BE PLACED AT 1/2

1 PAVING NOTES & TABLES
NOT TO SCALE

422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
PAVING DETAILS

mma
 Home registration number: 1-279
 State registration/contract number: 0080000
 519 east border
 Arlington, Texas 76010
 817-489-1871
 fax: 817-274-8757
 www.mmaonline.com

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW UNDER THE AUTHORITY OF M. REECE FLANAGAN, P.E. NO. 129781 ON 6/25/2021 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

PROJECT NUMBER: 3448-00-01
 PROJECT MANAGER: R. FLANAGAN
 DRAWN BY: L. HERNANDEZ
 CHECKED BY: R. FLANAGAN
 ISSUE DATE: 06/25/2021

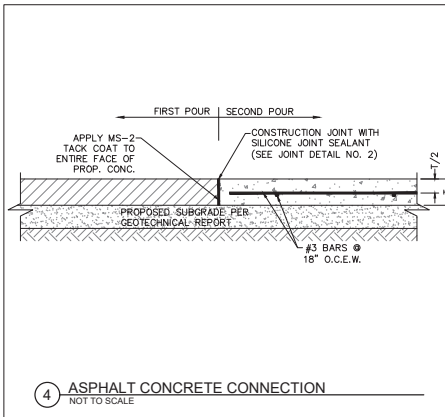
SHEET CONTENT:

PAVING
DETAILS

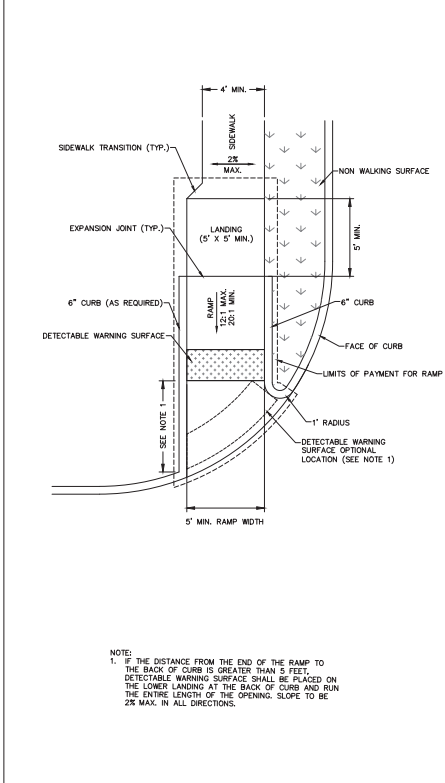
SHEET NO:
C10.3

COPYRIGHT © 2021 MMA, INC.

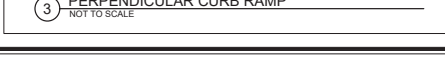
422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
PAVING DETAILS



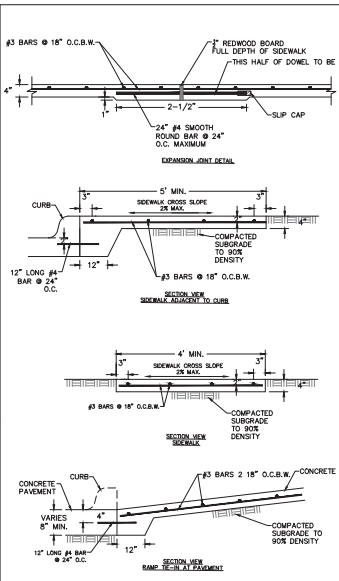
4 ASPHALT CONCRETE CONNECTION
NOT TO SCALE



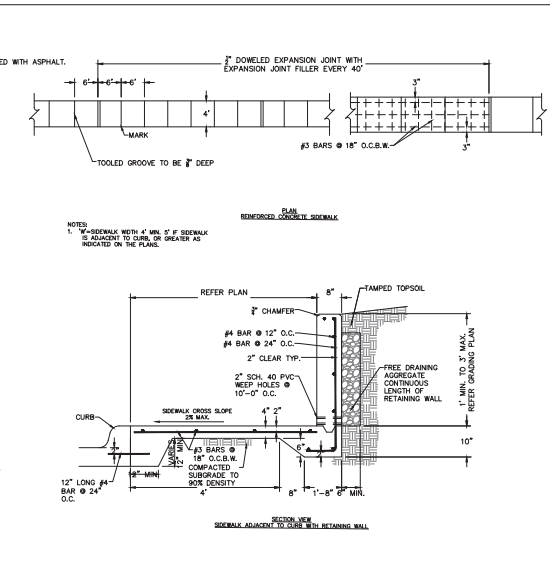
2 SIDEWALK DETAILS
NOT TO SCALE



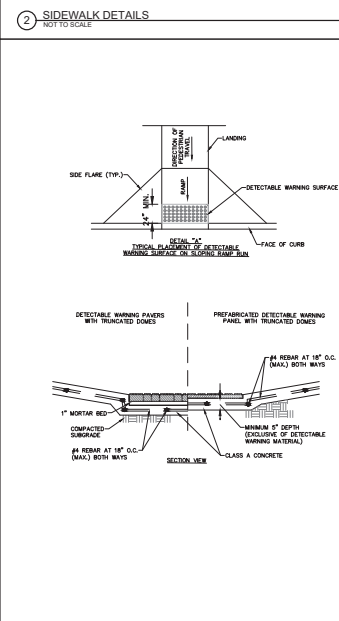
3 PERPENDICULAR CURB RAMP
NOT TO SCALE



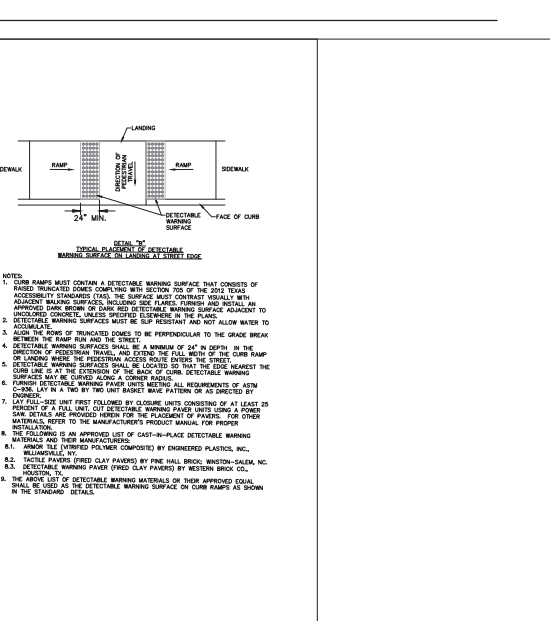
1 DETECTABLE WARNING SURFACE
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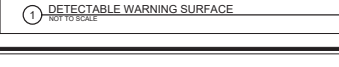
5 DETECTABLE WARNING SURFACE
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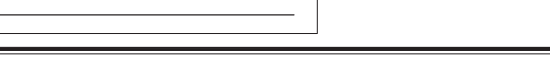
6 DETECTABLE WARNING SURFACE
NOT TO SCALE



7 DETECTABLE WARNING SURFACE
NOT TO SCALE



8 DETECTABLE WARNING SURFACE
NOT TO SCALE



9 DETECTABLE WARNING SURFACE
NOT TO SCALE

mma
Name registration number: 1-2794
State registration/contract number: 1008000
519 east border
arlington, texas 76010
817-488-1871
fax: 817-274-8757
www.mma-texas.com

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PROJECT NUMBER: 3448-00-01
PROJECT MANAGER: R. FLANAGAN
DRAWN BY: I. HERNANDEZ
CHECKED BY: R. FLANAGAN
ISSUE DATE: 06/25/2021

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:

PAVING
DETAILS

SHEET NO:
C10.4

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STAFF REPORT

SUBJECT: Case No.: PP2021-002

Applicant Reece Flanagan with MMA Inc, representing Brown Pace Development Company, is requesting a preliminary plat of property located at 1600 W Swan, Parcel R33564, of SOUTH SIDE ADDITION, BLOCK 14, LOT 5 (PT. OF) of the City of Stephenville, Erath County, Texas. The applicant is requesting approval of a preliminary plat sdividing the three affected parcels into 64 lots.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

RECOMMENDATION:

The Comprehensive Plan for future land use designates this property to be R-3, Multifamily.

BACKGROUND:

Previous cases reviewed by the Commission and approved by City Council have resulted in the rezoning of three parcels known as 422 S. Lillian, 1600 W. Swan and 1601 W. Swan. The intended project is the for the future development of townhomes that will be sold individually. The project will result in the removal of mobile homes currently in-place on two of the three parcels (422 S. Lillian and 1601 W. Swan). The Board of Adjustment approved variance requests for the three parcels to allow for reduced lot width, depth and overall square footage requirements. The applicant is now requesting approval of the preliminary plat. The applicant will return for approval of a Final Plat once the project begins and public improvements are completed/accepted by the city.

CURRENT ZONING:



FUTURE LAND USE:



WATER AND SEWER:

Public improvements will be extended as part of the project as part of the development process.

DESCRIPTION OF ZONING

Sec. 154.05.6. Multiple family residential district (R-3).

5.6.A Description. This residential district provides for medium to high-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, and multiple family housing buildings and complexes. All R-3 zoning will be appropriate to a city-style neighborhood. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the esthetic and functional well being of the intended district environment.

5.6.B Permitted Uses.

- (1) Single-family detached dwelling, limited to occupancy by a family having no more than three individuals who are unrelated by blood, legal adoption, marriage or conservatorship. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing, or failing to prohibit residential use of a dwelling in this district by more than three unrelated individuals;
- (2) Two-to-four family dwellings, with each family limited as in division (1) above;
- (3) Townhouse dwellings, with each family limited as in division (1) above;
- (4) Condominium dwellings, with each family limited as in division (1) above;
- (5) Multiple family dwellings, with each family limited as in division (1) above;
- (6) Assisted living center;
- (7) Convalescent, nursing or long term-care facility;
- (8) Retirement housing complex;
- (9) Accessory buildings;
- (10) Churches, temples, mosques and related facilities;
- (11) Community home;
- (12) Park or playground;
- (13) SISD school—public;
- (14) Bed and breakfast/boarding house;
- (15) Group day care home;
- (16) Registered family home;
- (17) Day care center; and
- (18) Fraternity or sorority house.

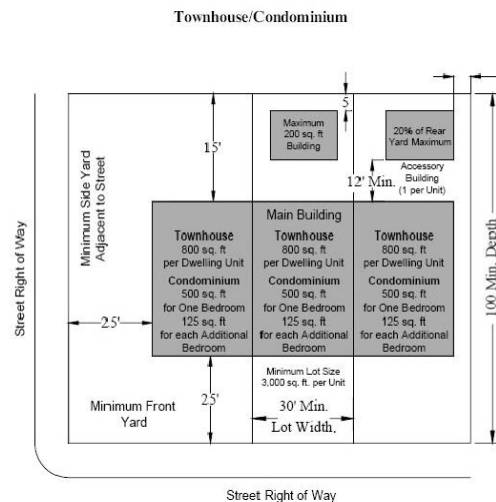
5.6.C Conditional Uses.

- (1) Home occupation;
- (2) Common facilities as the principal use of one or more platted lots in a subdivision;
- (3) Adult and/or children's day care centers;
- (4) Foster group home; and
- (5) Residence hall.

5.6.D Height, Area, Yard and Lot Coverage Requirements.

- (C) *Townhouse/Condominium.*
 - (1) Minimum lot area: 3,000 ft² per unit.
 - (2) Minimum average lot width and lot frontage: 30 feet.

- (3) Minimum lot depth: 100 feet.
- (4) Minimum depth of front setback: 25 feet.
- (5) Minimum depth of rear setback: 15 feet.
- (6) Minimum width of side setback:
 - (a) Internal lot: five feet.
 - (b) Corner lot: 25 feet from intersecting side street.
- (7) Building size:
 - (a) Maximum building coverage as a percentage of lot area: 40%
 - (b) Minimum area of each Townhouse dwelling unit: 800 ft².
 - (c) Minimum area of each Condominium of each dwelling unit: 500 ft² for one bedroom or less, plus 125 ft² of floor area for each additional bedroom.
- (8) Accessory buildings:
 - (a) Maximum accessory building coverage of rear yard: 20%.
 - (b) Maximum area of each accessory building: 200 ft².
 - (c) Maximum number of accessory buildings: one per unit.
 - (d) Minimum depth of side setback: five feet.
 - (e) Minimum depth of rear setback: five feet.
 - (f) Minimum depth from the edge of the main building: 12 feet.
- (9) Maximum height of structures: 35 feet.
- (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.

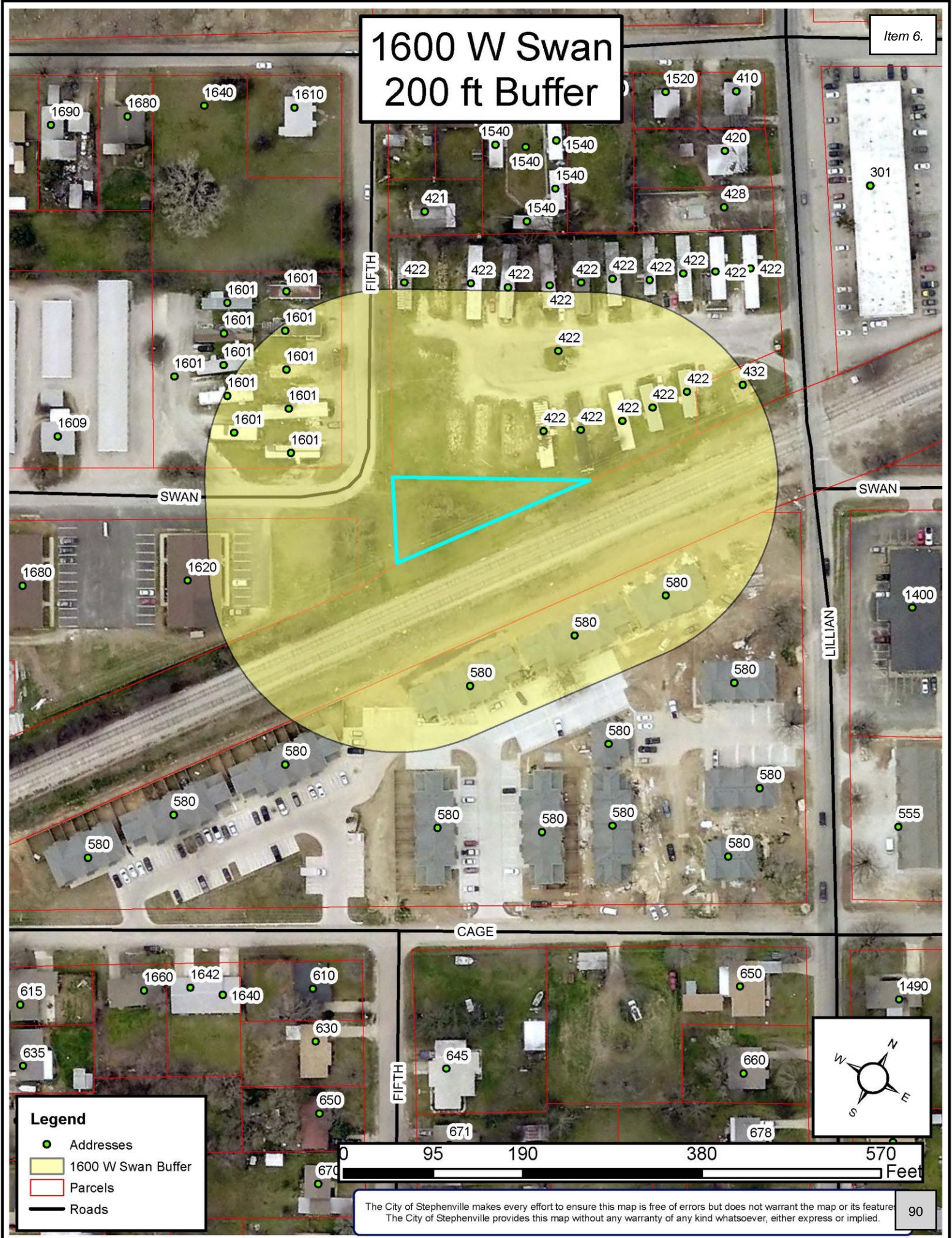


A Townhouse/Condominium, R-3 District lot shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in this ordinance, Section 11, Parking Regulations of this Ordinance.

ALTERNATIVES

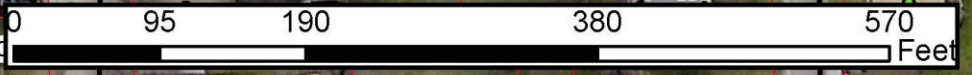
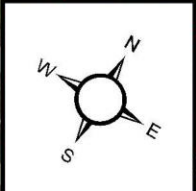
- 1) Recommend the City Council approve the preliminary plat.
- 2) Recommend the City Council deny the preliminary plat.

1600 W Swan 200 ft Buffer



Legend

- Addresses
- 1600 W Swan Buffer
- ▭ Parcels
- Roads

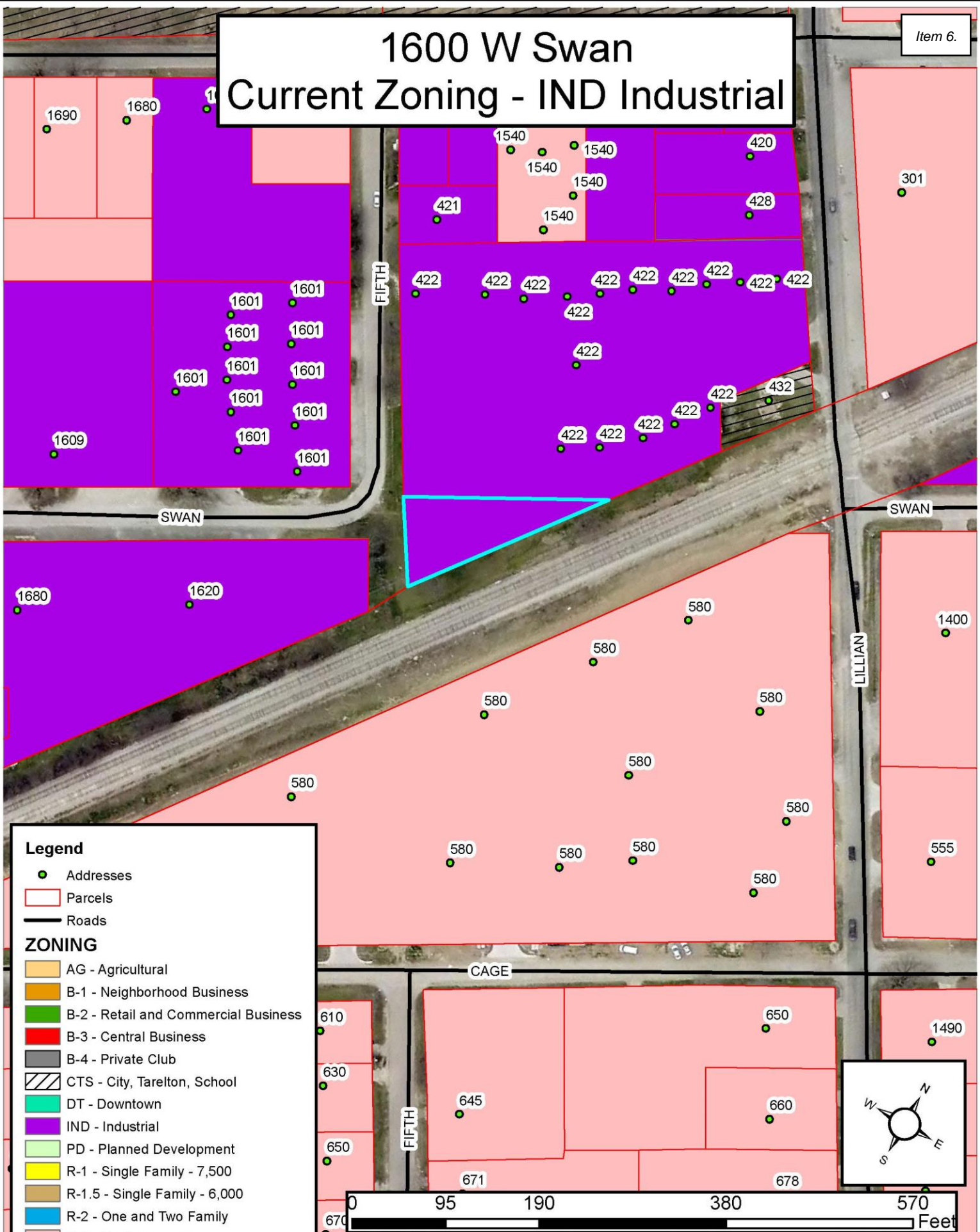


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1600 W Swan

Current Zoning - IND Industrial

Item 6.



Legend

- Addresses
- Parcels
- Roads

ZONING

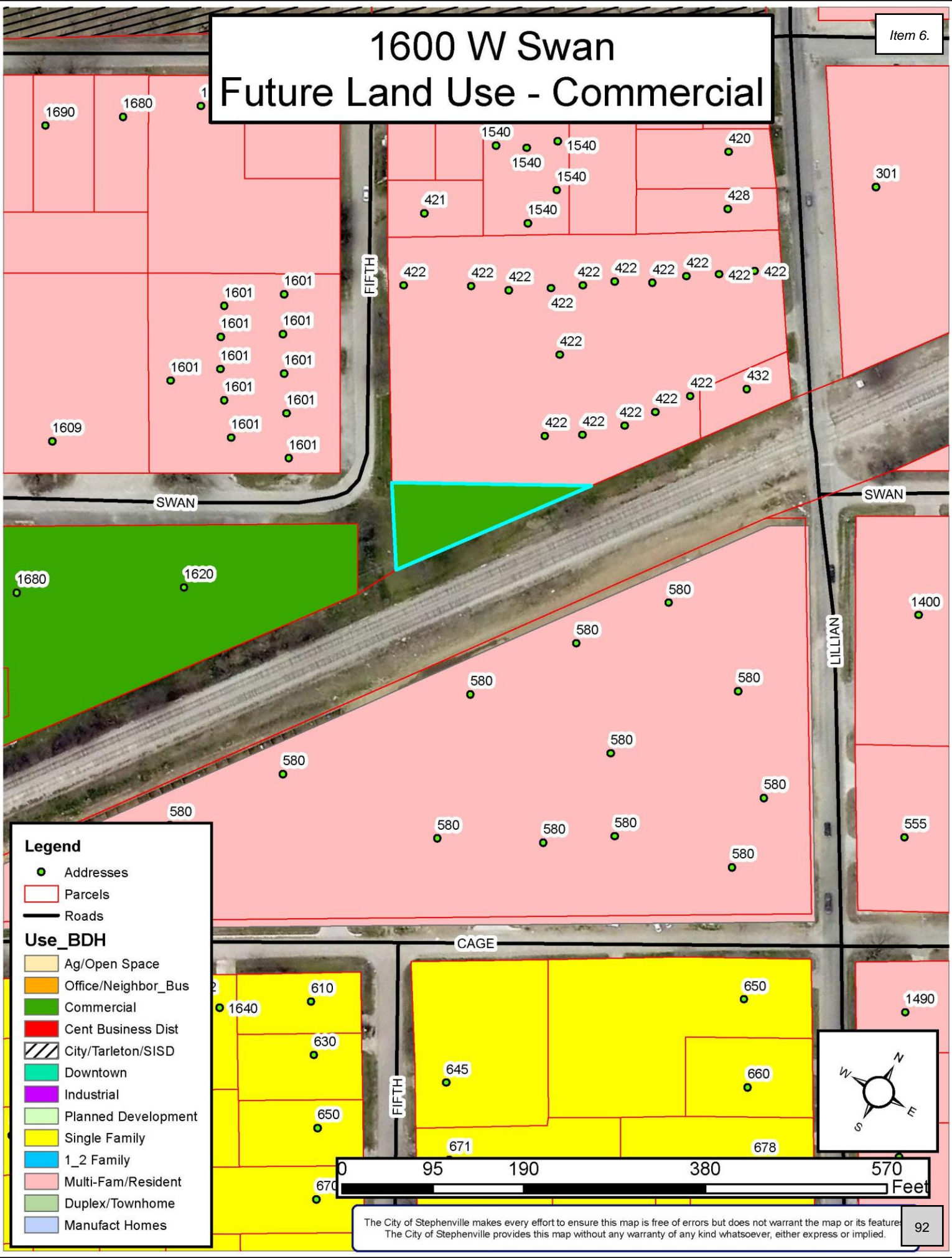
- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tareyton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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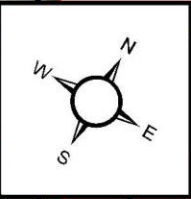
1600 W Swan Future Land Use - Commercial

Item 6.



Legend

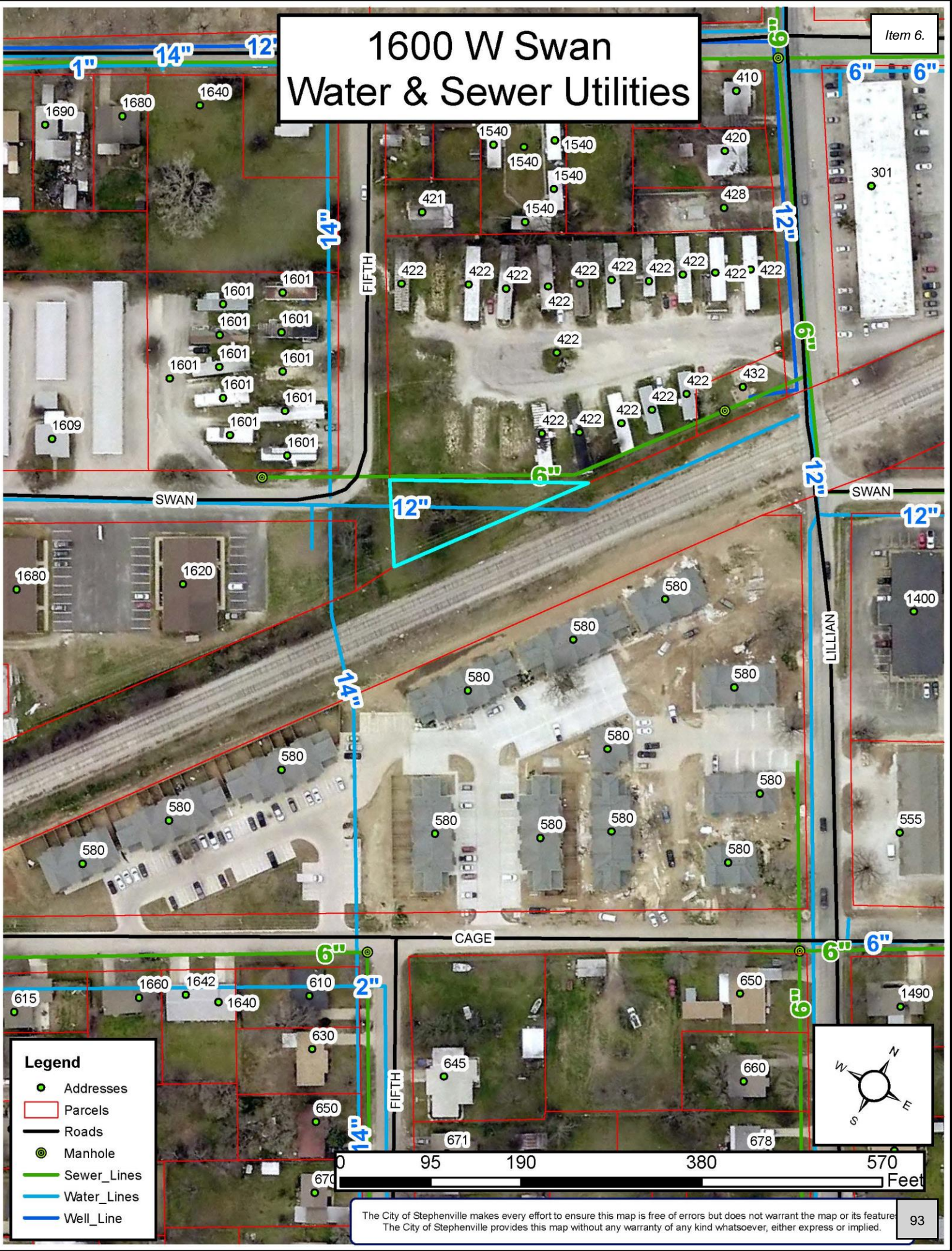
- Addresses
- Parcels
- Roads
- Use_BDH**
- Ag/Open Space
- Office/Neighbor_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



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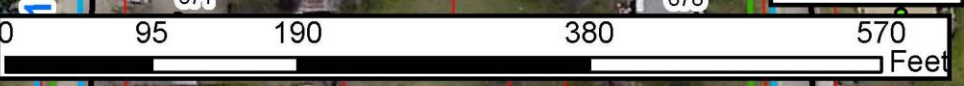
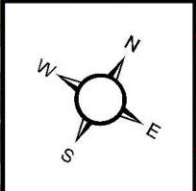
1600 W Swan Water & Sewer Utilities

Item 6.



Legend

- Addresses
- Parcels
- Roads
- ⊙ Manhole
- Sewer_Lines
- Water_Lines
- Well_Line



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1600 W Swan Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000033564	1600 W SWAN	BROWN PACE DEVELOPMENT COMPANY LLC	819 OLD ANNETTA RD	ALEDO	TX	76008
R000033523	432 S LILLIAN	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000033513	1601 W SWAN	BROWN PACE DEVELOPMENT COMPANY LLC	819 OLD ANNETTA RD	ALEDO	TX	76008
R000033522	422 S LILLIAN	BROWN PACE DEVELOPMENT COMPANY LLC	819 OLD ANNETTA RD	ALEDO	TX	76008
R000033562	1680 W SWAN	WV RENTALS PROPERTIES LLC	PO BOX 1353	STEPHENVILLE	TX	76401
R000033563	580 S LILLIAN	D818 LLC	PO BOX 1827	STEPHENVILLE	TX	76401
R000014966	0 N PADDOCK & VANDERBILT	FORT WORTH & WESTERN RAILROAD	6300 RIDGLEA PLACE STE 1200	FORT WORTH	TX	76116-5738



STAFF REPORT

SUBJECT: Case No.: PP2021-003

Applicant Reece Flanagan with MMA, Inc., representing Brown Pace Development Company, is requesting a preliminary plat of property located at 1601 W Swan, Parcel R33513, of SOUTH SIDE ADDITION, BLOCK 7, LOT 7 & 8, J & D MHP of the City of Stephenville, Erath County, Texas. The applicant is requesting approval of a preliminary plat of three parcels being subdivided into 64 lots.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

RECOMMENDATION:

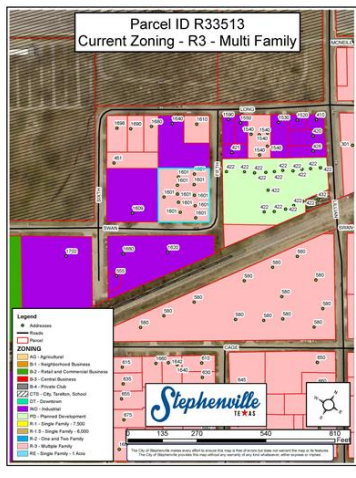
The Comprehensive Plan for future land use designates this property to be R-3, Multifamily.

BACKGROUND:

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CURRENT ZONING:

FUTURE LAND USE:



WATER AND SEWER:

Public improvements will be extended as part of the project as part of the development process.

DESCRIPTION OF ZONING

Sec. 154.05.6. Multiple family residential district (R-3).

5.6.A Description. This residential district provides for medium to high-density city neighborhood development. The primary land use allows for single-family dwellings, two-to-four family dwelling units, and multiple family housing buildings and complexes. All R-3 zoning will be appropriate to a city-style neighborhood. Recreational, religious and educational uses are also permitted so as to contribute to the natural elements of a convenient, balanced and attractive neighborhood. Development within this district is intended to be protected from the encroachment of land activities that do not contribute to the esthetic and functional well being of the intended district environment.

5.6.B Permitted Uses.

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- (9) Accessory buildings;
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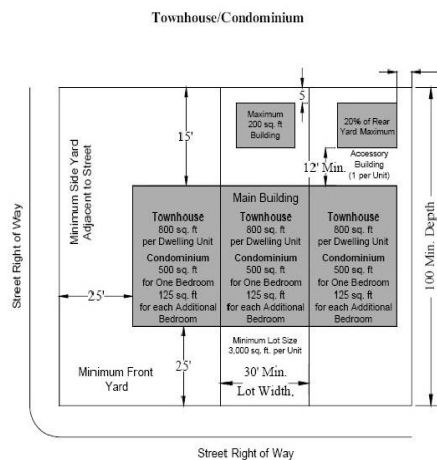
5.6.C Conditional Uses.

- (1) Home occupation;
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- (8) Accessory buildings:
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- (f) Minimum depth from the edge of the main building: 12 feet.
- (9) Maximum height of structures: 35 feet.
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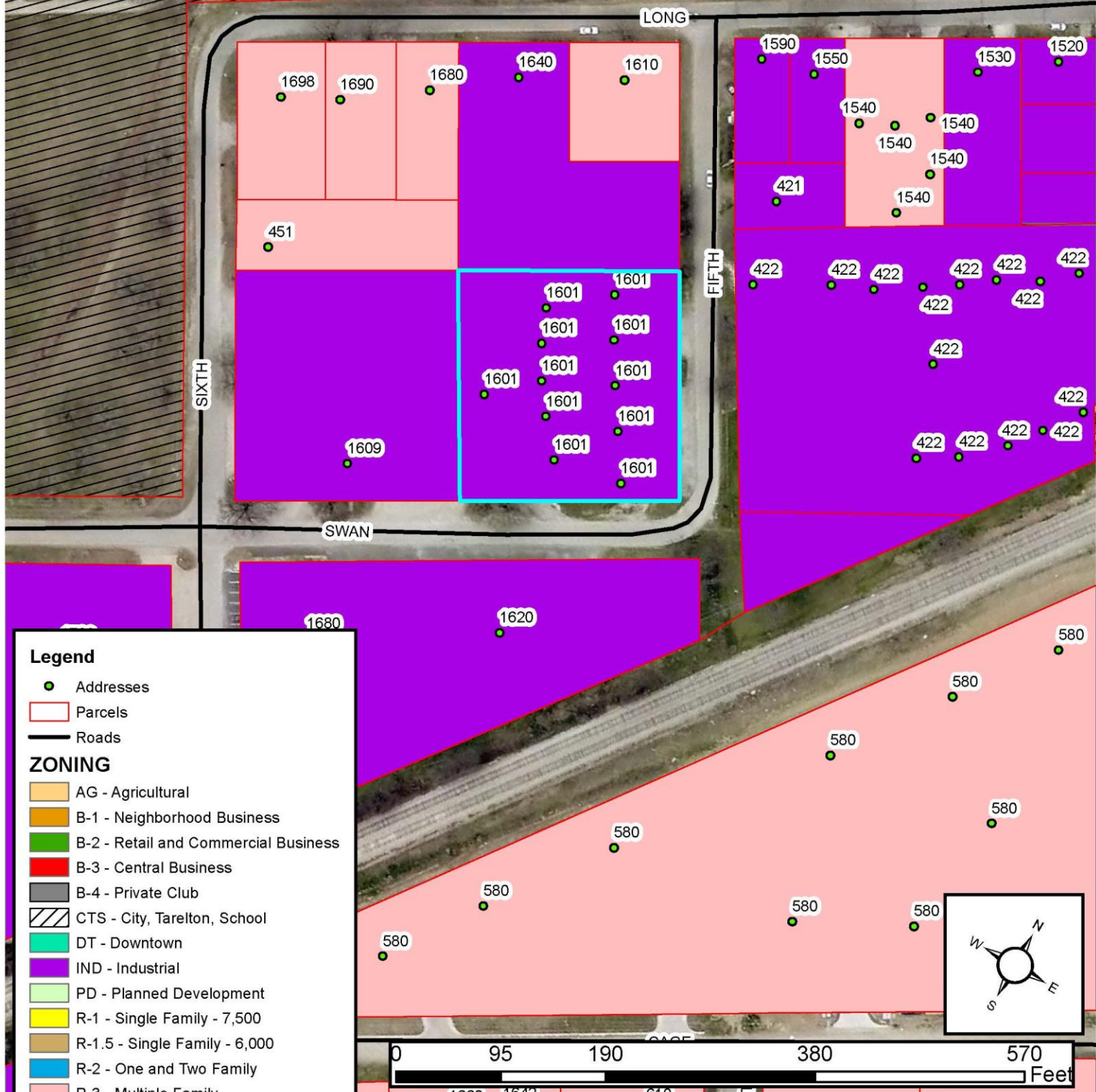
A Townhouse/Condominium, R-3 District lot shall provide a minimum of two vehicle parking spaces per dwelling unit, with a driveway connecting the parking spaces with a street or alley, and meet all the pertinent requirements contained in this ordinance, Section 11, Parking Regulations of this Ordinance.

ALTERNATIVES

- 1) Recommend the City Council approve the preliminary plat.
- 2) Recommend the City Council deny the preliminary plat.

1601 W Swan Current Zoning - IND Industrial

Item 7.



Legend

- Addresses
- ▭ Parcels
- Roads

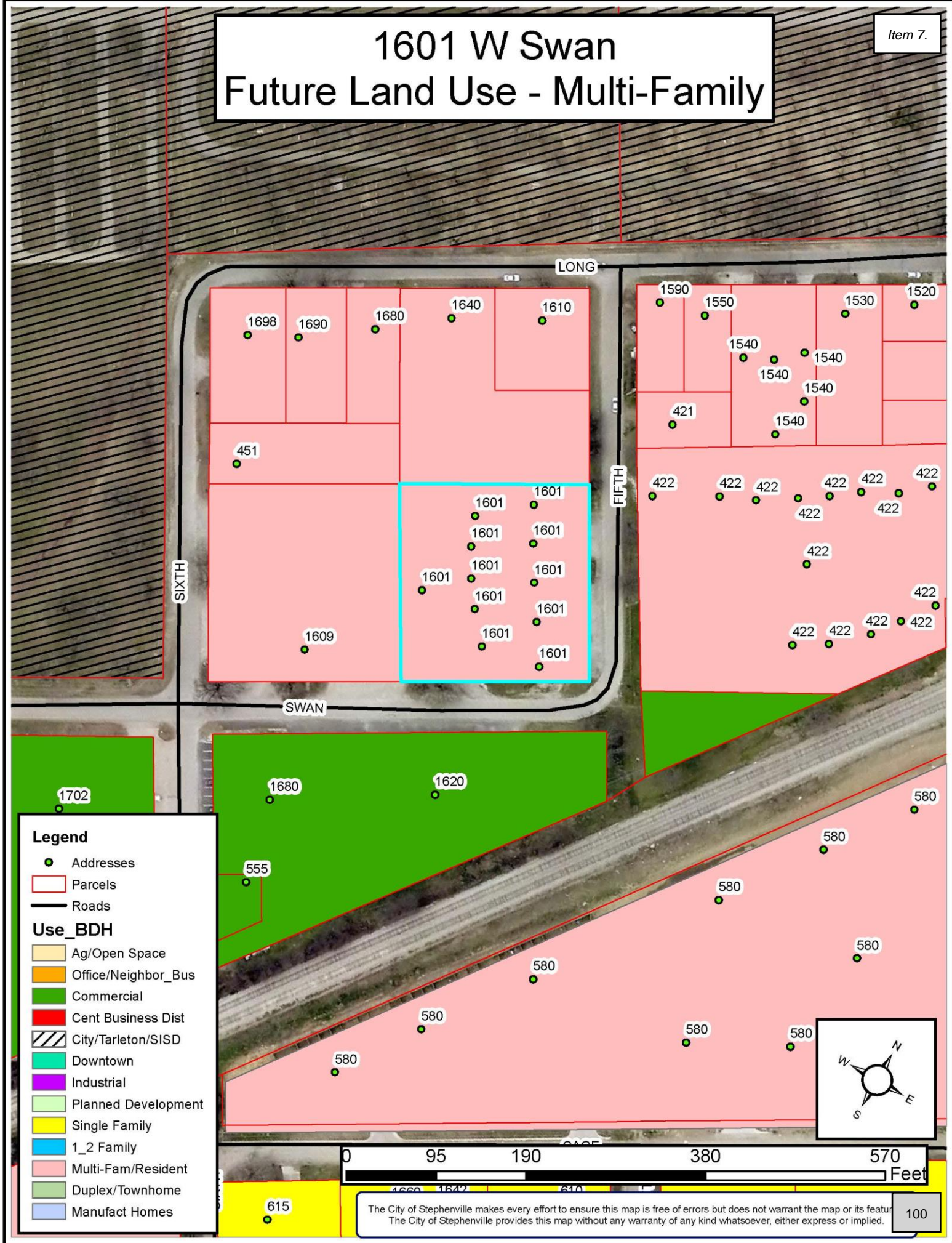
ZONING

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1601 W Swan Future Land Use - Multi-Family

Item 7.

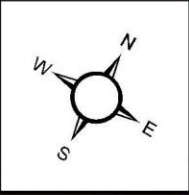
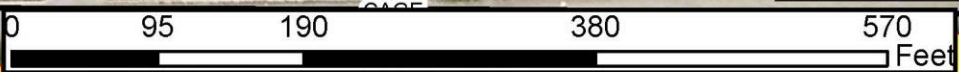


Legend

- Addresses
- Parcels
- Roads

Use_BDH

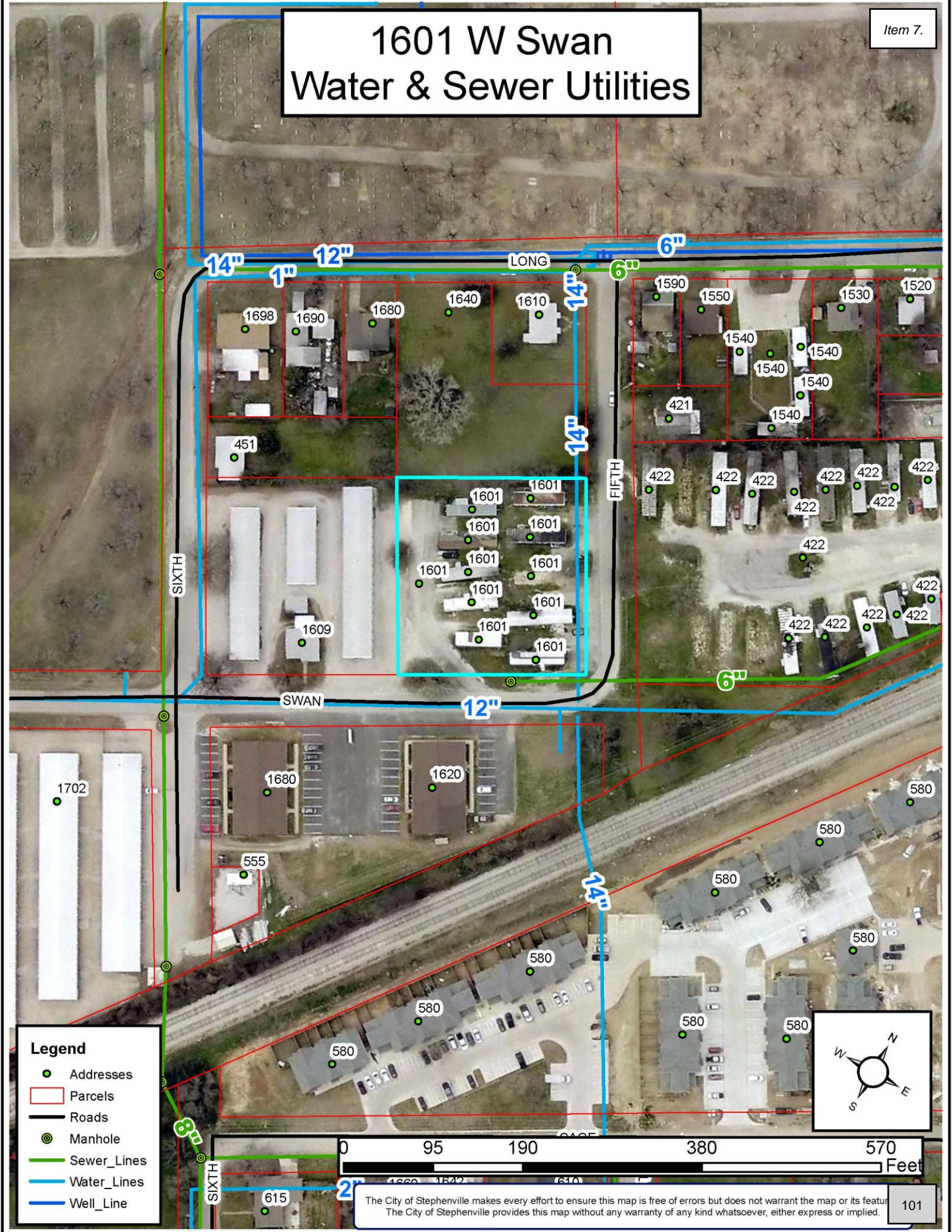
- Ag/Open Space
- Office/Neighbor_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



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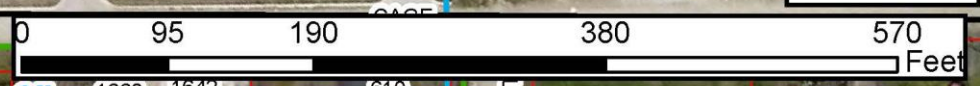
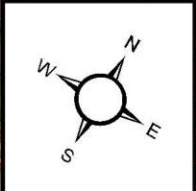
1601 W Swan Water & Sewer Utilities

Item 7.



Legend

- Addresses
- Parcels
- Roads
- ⊙ Manhole
- Sewer_Lines
- Water_Lines
- Well_Line



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1601 W Swan Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000033511	1640 LONG	BACHUS JAMES O	PO BOX 552	STEPHENVILLE	TX	76401-0000
R000033512	1609 W SWAN	BACHUS JAMES O FAMILY TRUST	PO BOX 552	STEPHENVILLE	TX	76401-0552
R000033517	1540 W LONG	BENHAM JODY BLAKE	1630 CR510	STEPHENVILLE	TX	76401
R000033515	421 FIFTH	BLEDSE BRENT & MARCELLA LOWE	1207 PRAIRIE WIND	STEPHENVILLE	TX	76401
R000033564	1600 W SWAN	BROWN PACE DEVELOPMENT COMPANY LLC	819 OLD ANNETTA RD	ALEDO	TX	76008
R000033513	1601 W SWAN	BROWN PACE DEVELOPMENT COMPANY LLC	819 OLD ANNETTA RD	ALEDO	TX	76008
R000033522	422 S LILLIAN	BROWN PACE DEVELOPMENT COMPANY LLC	819 OLD ANNETTA RD	ALEDO	TX	76008
R000033516	1550 LONG	BYRD SAM & KRISSEY	115 BRIDAL PATH	STEPHENVILLE	TX	76401
R000014966	0 N PADDOCK & VANDERBILT	FORT WORTH & WESTERN RAILROAD	6300 RIDGLEA PLACE STE 1200	FORT WORTH	TX	76116-5738
R000033509	1680 LONG	GAUTIER JENNY M	1680 LONG	STEPHENVILLE	TX	76401
R000033506	1698 LONG	HOLLIFIELD JERRY W & BETTY J (ENHANCED LIFE ESTATE	1698 W LONG	STEPHENVILLE	TX	76401
R000033507	451 SIXTH	KUHLMANN LARRY T & DOROTHY A	610 HILL TOP WAY	STEPHENVILLE	TX	76401-7785
R000033510	1610 LONG	LOWERY CLINTON ALAN	1610 W LONG	STEPHENVILLE	TX	76401
R000033508	1690 LONG	MANZANARES FRANCISCO & ELOISA	1690 W LONG	STEPHENVILLE	TX	76401
R000033514	1590 LONG	RIOJAS RAFAEL & ROSA	3133 BOB WHITE	STEPHENVILLE	TX	76401-0000
R000033562	1680 W SWAN	WV RENTALS PROPERTIES LLC	PO BOX 1353	STEPHENVILLE	TX	76401



STAFF REPORT

SUBJECT: Case No.: PP2021-004

Applicant Zane Griffin with Native Co., LLC, representing Oakdale United Methodist Non-Profit, is requesting a preliminary plat of property located at 2675 W Overhill, Parcel R22423, of the MOTLEY WILLIAM ABSTRACT of the City of Stephenville, Erath County, Texas. The applicant is requesting approval a preliminary plat of the unplatted parcel known as R22423 located at 2675 W Overhill.

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

RECOMMENDATION:

This property was recently rezoned to B-1, Neighborhood Business which conforms with the designated land use of the Comprehensive Plan. The intended project is for the construction of a medical center which is a permitted use for the new zoning.

BACKGROUND:

The applicant is requesting approval of a preliminary plat for a future development of a medical center.

CURRENT ZONING:



FUTURE LAND USE:



WATER:

The property is currently served by a six inch water main in Overhill.

SEWER:

There is a six inch sewer main in Overhill that will have to be extended to the property.

STREET:

The property is served by the Northwest Loop and Overhill.

ZONING AND LAND USE:

Location	Zoning	Future Land Use
Subject Site	R-1 – Single Family	Office/Neighborhood Business
North	B-1, Office/Neighborhood Business	Office/Neighborhood Business
South	City, Tarleton, School	City, Tarleton, School
East	R-1 – Single Family	City, Tarleton, School
West	B-2 Commercial	City, Tarleton, School

DESCRIPTION OF ZONING

Sec. 154.06.1. Neighborhood business district (B-1).

6.1.A Description.

- (1) The Neighborhood Business District accommodates trade and personal services facilities that meet the needs and enhance the quality of life of residential neighborhoods throughout the city.
- (2) The various retail trade and service uses in the Neighborhood Business District are intended to become an integral part of the neighborhood, requirements for open space and off street parking are more restrictive and are compatible with adjacent residential areas. Spacing, air circulation, landscaping and unrestricted sight lines are included as requirements for the Neighborhood Business District to provide a harmonious relationship with other residential, educational, religious and recreational land uses.

6.1.B Permitted Uses.

- (1) Accessory building to main use;
- (2) Animal grooming;
- (3) Antique shop/art gallery—sales in building;
- (4) Assisted living center;
- (5) Bakery and confectionary—products for retail only;
- (6) Banks or other financial institutions;

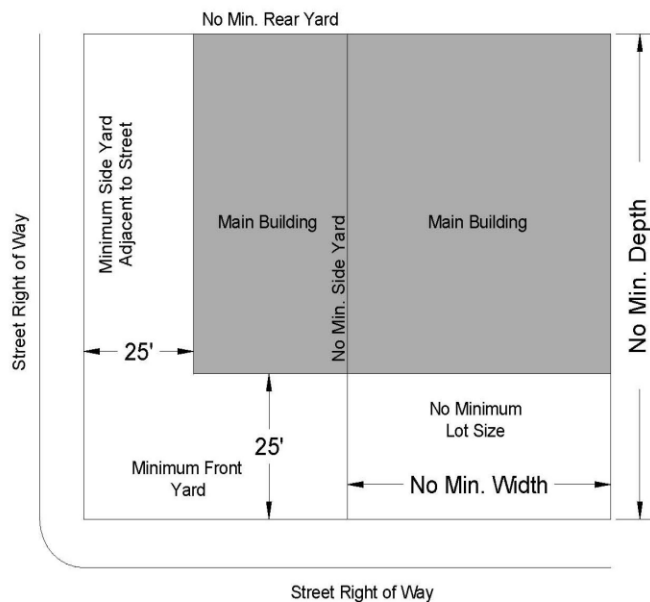
- (7) Bed and breakfast/boarding house;
- (8) Church, temple, mosque (and the like) and related facilities;
- (9) Cleaning and pressing—small shop, pick-up and delivery;
- (10) Clinic;
- (11) Convalescent, nursing or long term care facility;
- (12) Convenience/grocery store (without pumps);
- (13) Day care center (12 or more children);
- (14) Drapery, needlework or weaving shop;
- (15) Farmers market;
- (16) Florist;
- (17) Fraternal organizations, lodge or civic club;
- (18) Handcraft shop;
- (19) Group day care home (7-12 children);
- (20) Laundry and cleaning (self service);
- (21) Municipal facilities/state facilities/federal facilities;
- (22) Neighborhood grocery store (no fuel service);
- (23) Office—professional and general administration;
- (24) Park, playground, public community recreation center;
- (25) Personal service shop (beauty, barber and the like);
- (26) Private kindergarten;
- (27) Retail stores and shops—other than listed;
- (28) Restaurant or cafeteria—without drive-in service; and
- (29) Retirement housing complex.
- (30) Restaurant with alcoholic beverage service.

6.1.C Conditional Uses (Special Use Permit required). None.

6.1.D Height, Area, Yard and Lot Coverage Requirements.

- (1) Maximum density: There is no maximum density requirement.
- (2) Minimum lot area: There is no minimum area requirement.
- (3) Minimum lot width: There is no minimum width requirement.
- (4) Minimum lot depth: There is no minimum depth requirement.

- (5) Minimum depth of front setback: 25 feet.
- (6) Minimum depth of rear setback: There is no minimum rear setback requirement unless the lot abuts upon a Residential District, then a minimum 25 feet is required.
- (7) Minimum width of side setback:
- (a) Internal lot: There is no minimum side setback requirement unless the lot abuts upon a Residential District, then a minimum 25 feet is required.
- (b) Corner lot: 25 feet
- (8) Building size: There are no minimum size regulations
- (9) Maximum height of structures: 35 feet.
- (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



Note: No rear or side yard except when the lot abuts upon a Residential District, then the minimum setback is 25 feet.

6.1.E Miscellaneous Provisions. Wherever a Neighborhood Business District adjoins a residential district and is not separated by a street, a six-foot or taller solid sight-barring fence or landscape barrier will be constructed and maintained along the boundary or property line as permanent screening. All outside lighting features will be placed and reflected so as to not create annoyances, nuisances or hazards.

6.1.F Type of Construction.

- (1) At least 80% of the exterior walls of all structures visible from a public street shall be of masonry constructions, with an architectural exterior finish, exclusive of door and window openings.

(2) The roofs of all structures shall be pitched with a slope of not less than 4/12.

6.1.G Parking Regulations. All Uses Permitted in the B-1 District: See Section 11 for Parking Regulations.

6.1.H Sign Regulation. See Section 12 for Sign Regulations.

6.1.I Exceptions to Use, Height and Area Regulations. See Section 10.

6.1.J Garbage Regulations. Neighborhood Business District businesses will provide a serviceable area specifically for refuse collection designed for refuse canisters. Each designated canister area will be nine feet wide and eight feet deep (72 square feet), with a cement slab base. If the location of the cement slab is adjacent to a residential district, the slab must be at least five feet from the property line. The refuse area will be enclosed on three sides by a privacy fence. Approach areas will meet the requirements of Subsection 6.1.K.

6.1.K Loading and Unloading Regulations. All loading, unloading and maneuvering of vehicles connected with the activity must be on the premises and will not be permitted in any street. Loading and unloading areas must be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced.

(Am. Ord. 2009-23, passed 12-1-2009; Am. Ord. 2015-03, passed 3-3-2015; Am. Ord. No. 2018-O-25 , § 1, 8-7-2018)

ALTERNATIVES

- 1) Recommend the City Council approve the preliminary plat.
- 2) Recommend the City Council deny the preliminary plat.

Plat Application and Checklist

Please note that this checklist is intended to assist developers and design professionals in the preparation of submittals for DRC review and are generally what is needed to facilitate the review of the proposed plat. A submittal of a complete application will facilitate a timely review. Failure of the applicant to provide required information will result in application not being processed. Under special circumstances, additional items may be required through the Development Review Committee process prior to approval.

Please check the Appropriate Box: Final Plat Preliminary Plat Amended Plat Minor Plat
Residential Replat Replat Conveyance Plat

PROPERTY INFORMATION

Project Name: OAKDALE ADDITION Parcel(s) Tax ID# (Required): R000022423
Project Address (Location): 2675 OVERHILL DR. Total Acres: 1.000 Ac.
Previous Project Number (If Applicable): _____
Existing Zoning: R1 # of Existing Lots: _____ # of Existing Units: _____
Proposed Zoning: B1 # of Proposed Lots: 1 # of Proposed Units: 1

SIGNATURE: [Signature]

Owner Information and Authorization

Name: James Gunn
Company Name: Oakdale United Methodist Church
Address: 2675 W Overhill Stephenville TX 76401
Telephone: 817-913-6071 Email: jgunny@jimmygunn.com
• Please Note: e-mail addresses will be used to notify the owner or representative of the status of the plat.

CHECK ONE OF THE FOLLOWING:

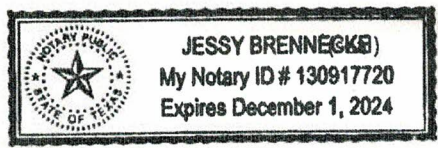
- I will represent the application myself; or
- I hereby designate Zane Gr. Fin (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this development application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.

I hereby certify that I am the owner of the property and further certify that the information provided on this development application is true and correct. By signing below, I agree that the City of Stephenville (the "City") is authorized and permitted to provide information contained within this application, including the email address, to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in connection with the application, if such reproduction is associated with the application in response to a Public Information Request.

Owner's Signature: [Signature] Date: 6-21-21

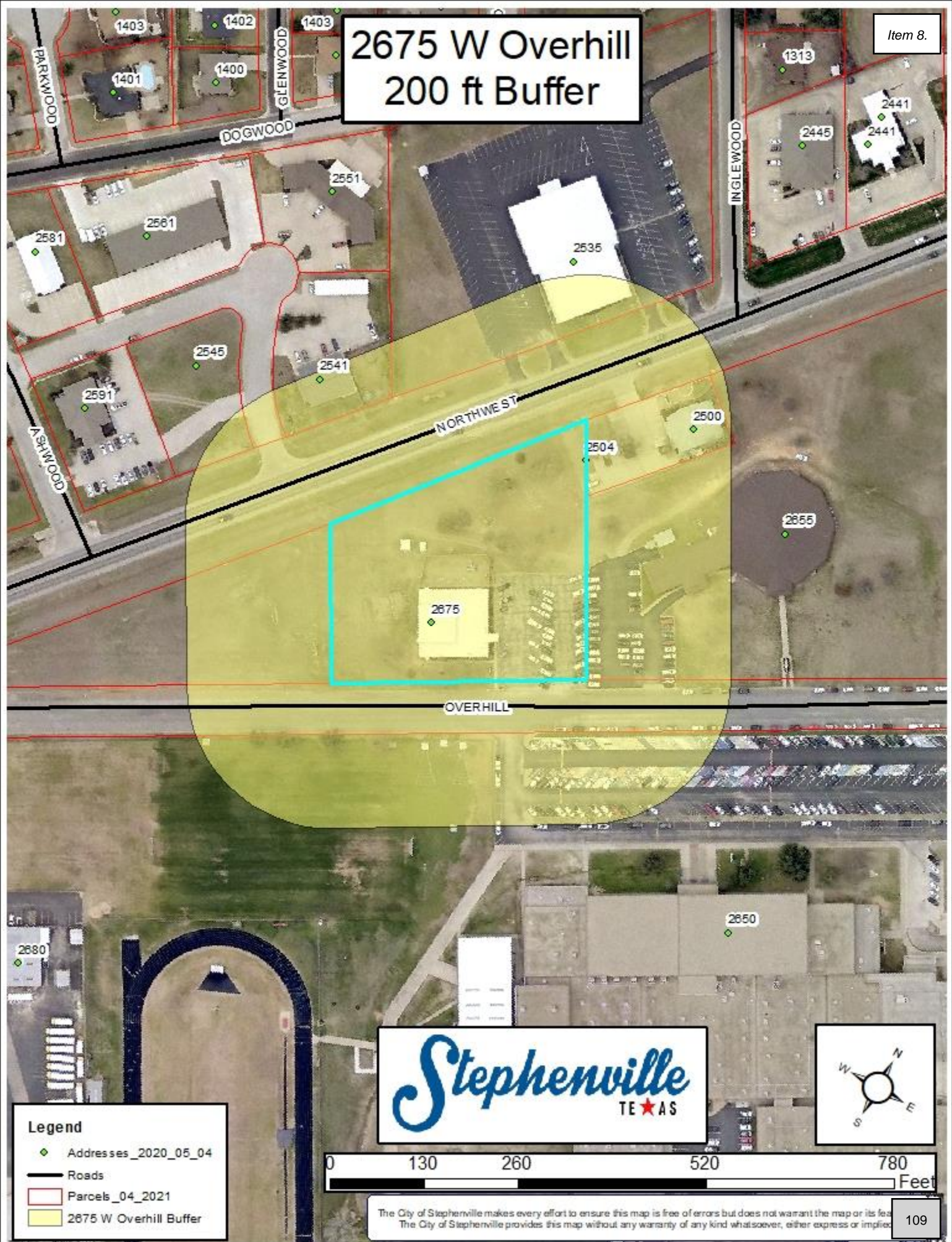
STATE OF TEXAS COUNTY OF Erath BEFORE ME, a Notary Public, on this 21 day personally appeared James Gunn (printed owner's name) the above signed, who, under oath, stated the following: "I hereby certify that I am the owner, for the purposes of this application; that all information submitted herein is true and correct." SUBSCRIBED AND SWORN TO before me, this the 21 day of June, 2021.

Notary Signature: [Signature]



2675 W Overhill 200 ft Buffer

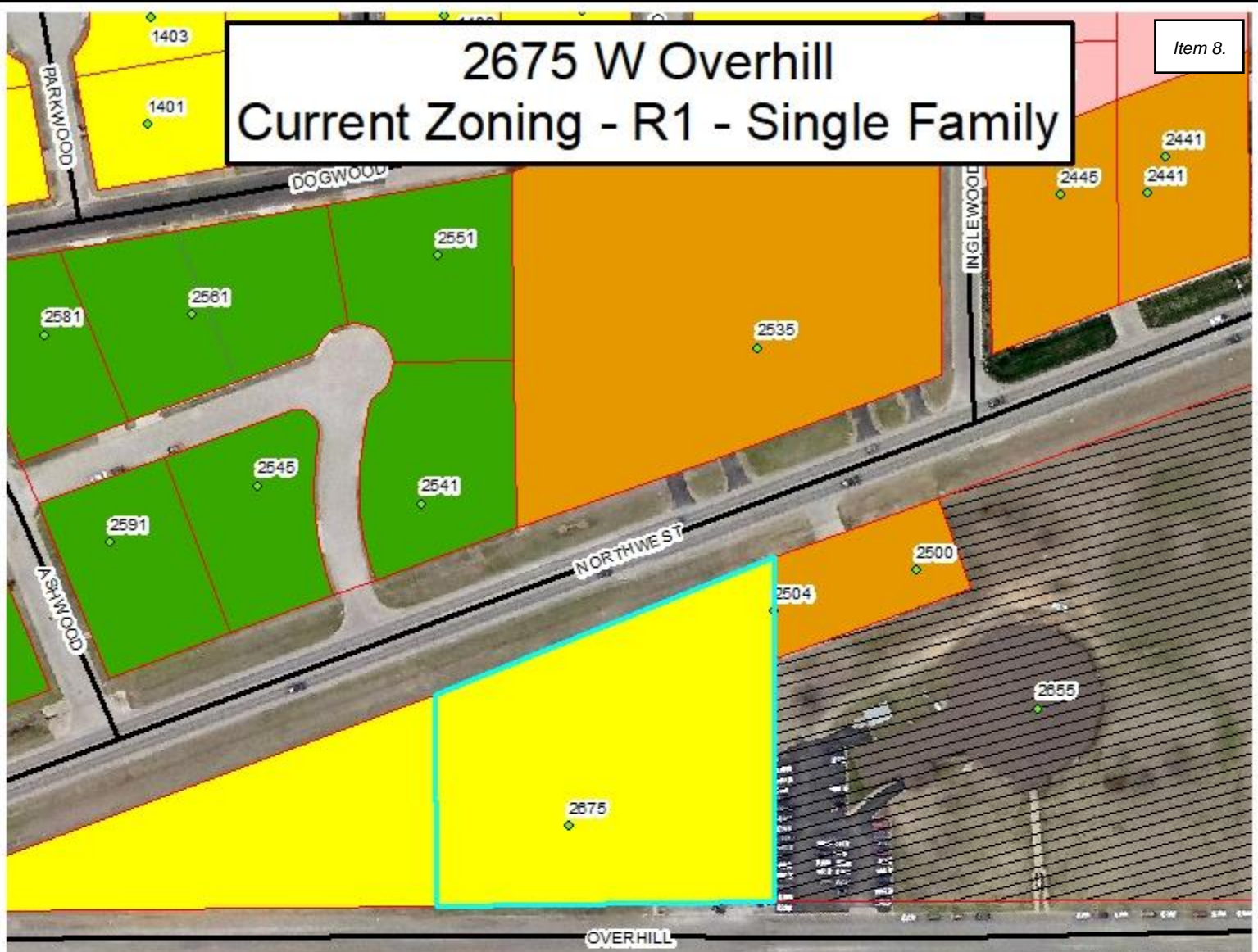
Item 8.



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2675 W Overhill Current Zoning - R1 - Single Family

Item 8.



Legend

- ◆ Addresses_2020_05_04
- Roads
- ▭ Parcels_04_2021

ZONING

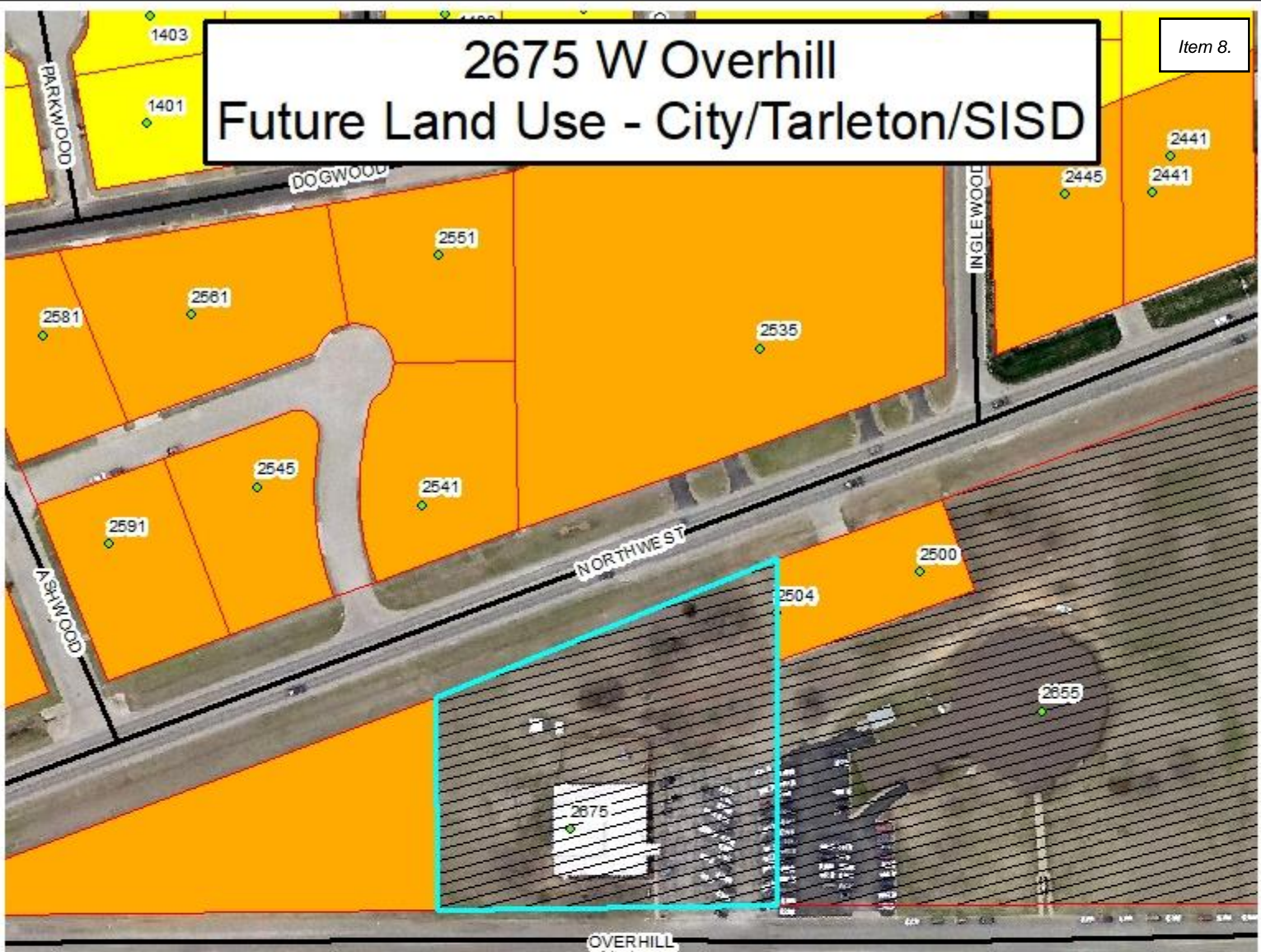
- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- ▨ CTS - City, Tareyton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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2675 W Overhill Future Land Use - City/Tarleton/SISD

Item 8.



Legend

- ◆ Addresses_2020_05_04
- Roads
- ▭ Parcels_04_2021

Use_BDH

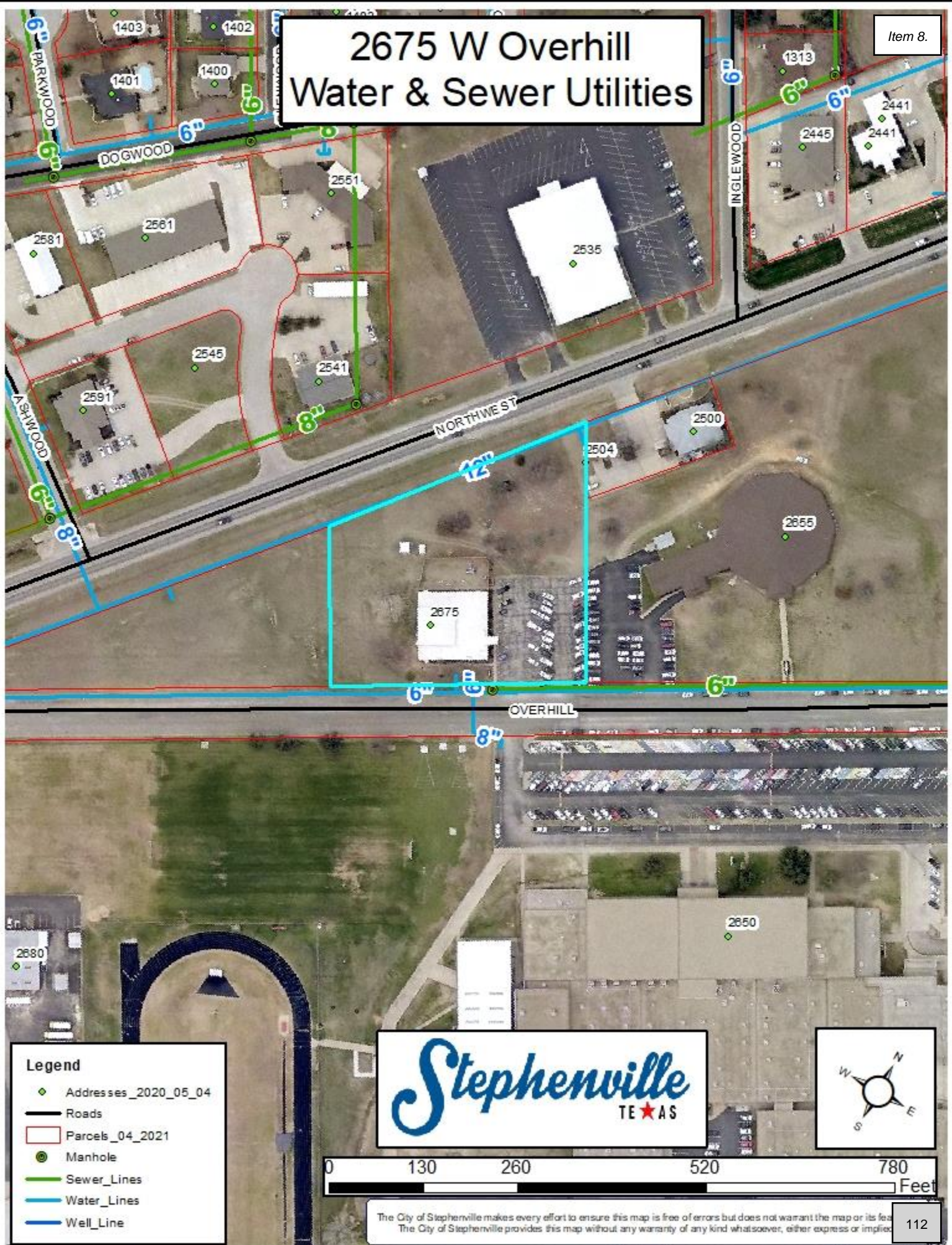
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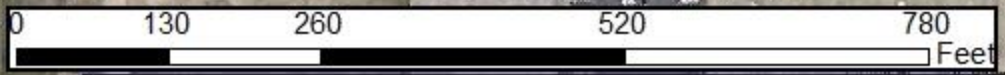
2675 W Overhill Water & Sewer Utilities

Item 8.



Legend

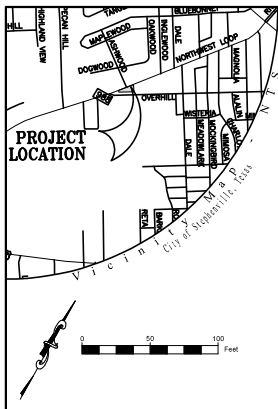
- ◆ Addresses_2020_05_04
- Roads
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- Well_Line



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2675 W Overhill Addresses

Parcel ID	Parcel Address	Owner Name	Owner Address	City	State	Zip Code
R000022422	2535 NORTHWEST LOOP	HILLCREST CHURCH OF CHRIST	2535 NORTHWEST LOOP	STEPHENVILLE	TX	76401-0000
R000064356	2500 NORTHWEST LOOP	HUBBARD G W	2500 NORTHWEST LOOP	STEPHENVILLE	TX	76401-1602
R000075182	2545 NORTHWEST LOOP	MEC HOLDINGS LLC	2545 N W LOOP	STEPHENVILLE	TX	76401
R000022423	2675 OVERHILL DR	OAKDALE UNITED METHODIST NON-PROFIT	2675 OVERHILL DR	STEPHENVILLE	TX	76401
R000022424	2675 OVERHILL DR	OAKDALE UNITED METHODIST NON-PROFIT	2675 OVERHILL DR	STEPHENVILLE	TX	76401
R000068794	2541 NORTHWEST LOOP	STANPHILL DAVID LEE & DEBRA HOPE	2541 NORTHWEST LOOP	STEPHENVILLE	TX	76401
R000064355	2655 OVERHILL DR	STEPHENVILLE ISD	2655 W OVERHILL DR	STEPHENVILLE	TX	76401-0000
R000022339	2850 OVERHILL DR	STEPHENVILLE ISD	2655 W OVERHILL DR	STEPHENVILLE	TX	76401-0000
R000068796	0 NORTHWEST LOOP	TANGLEWOOD BUSINESS PARK ASSOC	2591 NORTHWEST LOOP	STEPHENVILLE	TX	76401



OWNERS CERTIFICATION:

§ STATE OF TEXAS

§ COUNTY OF ERATH

WHEREAS **Oak Dale United Methodist Church**, is the owner of a tract of land within the William Motley Survey, Abstract No. 515, City of Stephenville, Erath County, Texas, and being a portion of that tract of land described as Tract No. Two in the deed to Oak Dale United Methodist Church, as recorded in Volume 1012, Page 149, Deed Records, Erath County, Texas, being further described by metes and bounds as follows:

BEING a tract of land within the William Motley Survey, Abstract No. 515, City of Stephenville, Erath County, Texas, and being a portion of that tract of land described as Tract No. 2 in the deed to Oak Dale United Methodist Church, as recorded in Volume 1012, Page 149, Deed Records, Erath County, Texas (DRECT), and being more particularly described by metes and bounds as follows: (Basis of bearing being U.S. State Plane Grid - Texas North Central Zone 4202) NAD83 as established using the AllTerra RTNNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values).

BEGINNING at a 5/8 inch capped iron rod set marked "NATIVE CO., LLC" in the north right-of-way line of Overhill Dr. (an 80 foot wide public right-of-way) and the south line of said Oak Dale tract, from which a 3/8 inch iron rod found for the northeast corner of Lot 2, Block 1 and the northwest corner of Lot 3, Block 1, New Life Subdivision, an addition to the City of Stephenville, Erath County, Texas, as shown by plat recorded in Cabinet A, 2668 261, Plat Records, Erath County, Texas, bears North 30°19'59" West, a distance of 184.15 feet, and North 39°27'30" East, a distance of 681.33 feet;

THENCE South 59°40'01" West, with the north right-of-way line of said Overhill Dr., a distance of 380.04 feet to a 1/2 inch iron rod found for the southwest corner of the herein described tract and the southeast corner of a tract of land described in the deed to Stephenville Independent School District, as recorded in Volume 1355, Page 846, DRECT, from which a 1/2 inch capped iron rod found marked "RPLS 1983" for the southwest corner of said Stephenville Independent School District bears South 59°40'01" West, a distance of 125.00 feet;

THENCE North 40°06'09" West, with the east line of said Stephenville Independent School District, a distance of 42.24 feet to a 1/2 inch capped iron rod found marked "RPLS 1983" in the southern right-of-way line of F.M. 988, also known as the Northwest Loop (a 120 feet wide public right-of-way for the northwest corner of the herein described tract and being the beginning of a non-tangent curve to the left, with a radius of 6,040.56 feet and a chord which bears North 39°31'01" East, a distance of 4.84 feet;

THENCE with the common line of said Oak Dale tract and said southern right-of-way line of F.M. 988 the following courses and distances:

With said non-tangent curve to the left, through a central angle of 0°02'45", an arc distance of 4.84 feet to a spike set;

North 39°27'30" East, a distance of 407.76 feet to a 5/8 inch capped iron rod set marked "NATIVE CO., LLC" for the northeast corner of the herein described tract;

THENCE South 30°19'59" East, over and across said Oak Dale tract, a distance of 184.15 feet to the **POINT OF BEGINNING** and containing 43,560 Square Feet or 1,000 Acres of Land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, **OAKDALE UNITED METHODIST**, acting by and through the undersigned, their duly authorized agent, do hereby adopt this plat designating the herein above described real property as **LOT 1, BLOCK 1, OAK DALE ADDITION**, an addition to the City of Stephenville, Texas. The easements shown hereon are hereby reserved for the purposes as indicated. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed, or placed upon, over or across the easements shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use the same. Any, and all public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all public utilities shall at all times have full right of ingress and egress to or from and upon reconstructing, inspecting, patrolling, maintaining, respective systems without the necessity at any time of procuring the permission of anyone.

Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and/or for any maintenance and service required or ordinarily performed by that utility. The easements dedicated are for the specific use of installing and maintaining water, sewer, electrical, natural gas, telephone, fiber or cablevision lines, and are not intended to be used for garbage dumpsters, the collection of garbage, or for the use of garbage vehicles in any manner.

This plat does not alter or remove existing deed restrictions or covenants, if any, on this property.

Owner or Representative _____

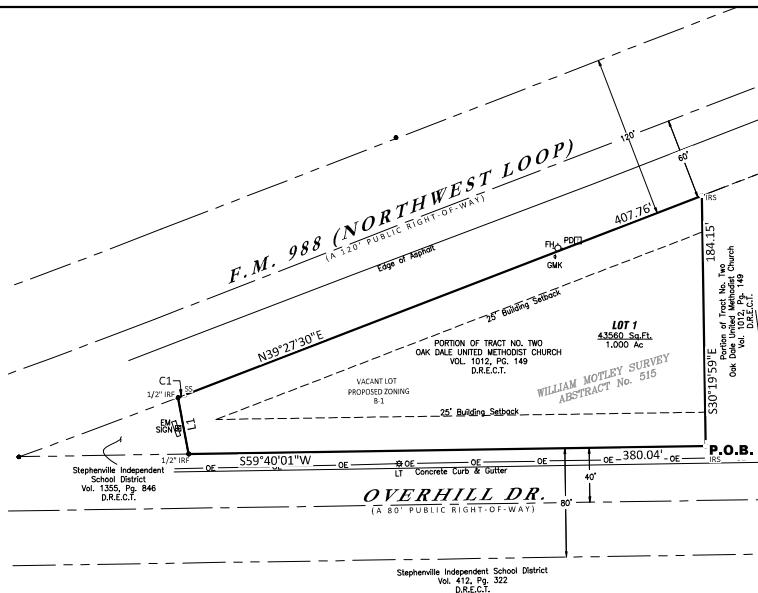
§ STATE OF TEXAS

§ COUNTY OF ERATH

BEFORE ME, the undersigned authority, on this day personally appeared, _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of _____, 2021.

Notary Public in and for _____ My commission expires _____
of the State of Texas



- LEGEND:**
- CIRF.....Capped Iron Rod Found
 - EM.....Electric Meter
 - FH.....Fire Hydrant
 - GMK.....Oak Marker
 - IRF.....Iron Rod Found
 - IRS.....5/8" Capped Iron Rod Set Marked "NATIVE CO., LLC"
 - LT.....Light Pole
 - OE.....Overhead Electric
 - PD.....Phone Pedestal
 - SS.....Spike Set
 - D.R.E.C.T.....Deed Records, Erath County, Texas

- NOTES:**
1. Basis of bearing being U.S. State Plane Grid - Texas North Central Zone 4202) NAD83 as established using the AllTerra RTNNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.
 2. According to scaled location of FEMA Firm Map No. 48035C04300, effective date November 16, 2011, the subject property lies within Zone X - Areas determined to be outside the 0.2% annual change flood.
 3. Unless otherwise noted, all property corners are 5/8 inch capped iron rods set marked "NATIVE CO., LLC".

LINE DATA TABLE				
NO.	BEARING	DIST		
L1	N40°06'09"W	42.24'		

CURVE DATA TABLE					
NO.	DELTA	RADIUS	ARC DIST	CHORD BEARING	CHORD DIST
C1	0°02'45"	6040.56'	4.84'	N39°31'01"E	4.84'

ACCEPTED AND APPROVED:

DIRECTOR OF PLANNING AND DEVELOPMENT

CITY SECRETARY

DATE

SURVEYOR'S CERTIFICATION:

I, N. Zane Griffin, do hereby certify that I prepared this plat from an actual on the ground survey of the land, and that the corner monuments shown hereon were properly placed under my personal supervision in accordance with the plotting rules and regulations of the City of Stephenville, Erath County, Texas.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE

Purpose of Document: **Release**
 Surveyor: N. Zane Griffin
 Registered Professional Land Surveyor No. 6810
 Release Date: 06-14-2021

N. Zane Griffin, P.L.S. No. 6810
 Date: June 14, 2021



FINAL PLAT
LOT 1, BLOCK 1
OAK DALE ADDITION

AN ADDITION TO THE CITY OF STEPHENVILLE, ERATH COUNTY, TEXAS
 BEING A PLAT OF A 1,000 ACRE TRACT OF LAND, BEING A PORTION OF A TRACT OF LAND DESCRIBED AS TRACT NO. 2 IN THE DEED TO OAK DALE UNITED METHODIST CHURCH, AS RECORDED IN VOLUME 1012, PAGE 149
 DEED RECORDS, ERATH COUNTY, TEXAS