



BOARD OF ADJUSTMENT

City Hall Council Chambers, 298 W. Washington
Thursday, September 14, 2023 at 4:00 PM

AGENDA

CALL TO ORDER

MINUTES

- [1.](#) Consider Approval of July 13, 2023 Minutes

PUBLIC HEARING

- [2.](#) Case No.: V2023-012

Applicant Ryan Young is requesting a variance from *Section 154.05.6.D(A)(6)(b) - Minimum width of side setback - Corner lot: 25 feet from intersecting side street* for property located at 707 W Tarleton, being parcel R32735 of S5400 PARK PLACE ADDITION; BLOCK 4; LOT 12 of the City of Stephenville, Erath County, Texas.

- [3.](#) Case No.: V2023-013

Applicant Ryan Young is requesting a variance from *Section 154.05.6.D(A)(7)(a) - Building Size - Maximum coverage as a percentage of lot area: 40%* for property located at 707 W Tarleton, being parcel R32735 of S5400 PARK PLACE ADDITION; BLOCK 4; LOT 12 of the City of Stephenville, Erath County, Texas.

- [4.](#) Case No: V2023-014

Applicant Niraj Patel, representing DNJ Investment, LLC, is requesting a variance from *Section 154.06.2.D(9) Height, Area, Yard and Lot Coverage Requirements - Maximum height of structures:35 feet* for property located at 3015 Northwest Loop, being parcel R63719 of S4400 KIGHT ADDITION; BLOCK 161; LOT 1 of the City of Stephenville, Erath County, Texas.

ADJOURN

In accordance with the Americans with Disabilities Act, persons who need accommodation to attend or participate in this meeting should contact City Hall at 254-918-1287 within 48 hours prior to the meeting to request such assistance.



BOARD OF ADJUSTMENT MEETING

City Hall Council Chambers, 298 W. Washington
Thursday, July 13, 2023 at 4:00 PM

MINUTES

The Board of Adjustment of the City of Stephenville, Texas, convened on Thursday, July 13, 2023 at 4:00 PM, in the City Hall Council Chambers, 298 W. Washington, for the purpose of a Board of Adjustment Meeting, with the meeting being open to the public and notice of said meeting, giving the date, time, place and subject thereof, having been posted as prescribed by Chapter 551, Government Code, Vernon's Texas Codes Annotated, with the following members present, to wit:

<u>MEMBERS PRESENT:</u>	Moumin Quazi, Chairperson Alan Nix, Vice-Chairperson Dean Parr Ben Tackett JJ Conway, Alternate 1
<u>MEMBERS ABSENT:</u>	None
<u>OTHERS ATTENDING:</u>	Steve Killen, Director of Development Services Tina Cox, Board Secretary

CALL TO ORDER

Chairman Quazi called the meeting to order at 4:00 p.m.

MINUTES

1. Consider Approval of June 8, 2023 Minutes

MOTION by Alan Nix, second by Dean Parr, to approve minutes as presented. MOTION CARRIED by unanimous vote.

PUBLIC HEARING

2. Case No.: V2023-010

Applicant Rhyné Gailey, representing First 6 Investments, LLC, is requesting a variance from Section 154.13.L(1) Installation and Maintenance of Landscaping—General for property located at 1285 Frey, being parcel R32279 of S4400 KIGHT ADDITION; BLOCK 9; LOT 14 of the City of Stephenville, Erath County, Texas.

Steve Killen, Director of Development Services, gave the following report:

Mr. Gailey is requesting a variance relating to the requirement for the installation of an irrigation system and he intends to xeriscape the property to complement the request with drought-tolerant plants. Mr. Killen concluded his presentation to the Board that staff had no objections to the variance request.

Alan Nix questioned the watering of the plants presented and if other more drought resistant plants could be used instead.

Applicant Rhyme Gailey was present to answer questions and give insight into his request. Mr. Gailey explained to the Board that due to the costs involved in irrigating landscape and installation of RPZ's, he is requesting a variance from the irrigation portion of the landscaping ordinance. Mr. Gailey informed the Board that he estimates to have the project completed in the spring of 2024 and will make sure that the trees and shrubs will be watered.

Chairman Quazi opened the public hearing at 4:11 PM.

A letter of approval was received by Reeves Burdick of 873 Cain.

No one came forward to speak against the variance.

Chairman Quazi closed the public hearing at 4:14

MOTION by Chairman Quazi, second by Ben Tackett, to approve Case No. V2023-005 as presented.

Mr. Nix voiced his concerns regarding the proposed plants and watering requirements.

Dean Parr and Chairman Quazi spoke in support of the plants and the watering schedule that was presented to the Board.

MOTION PASSED with a unanimous vote.

ADJOURN

The meeting was adjourned at 4:18 p.m.

APPROVED:

ATTEST:

Moumin Quazi, Chair

Tina Cox, Board Secretary

Board of Adjustment
STAFF REPORT



Item 2.

SUBJECT: Case No.: V2023-012
Applicant Ryan Young is requesting a variance from Section 154.05.6.D(A)(6)(b) Minimum Width of Side Setback for a Corner Lot for property located at 707 W Tarleton, being parcel R32735 of S5400 PARK PLACE ADDITION; BLOCK 4; LOT 12 of the City of Stephenville, Erath County, Texas.

MEETING: Board of Adjustment – September 14, 2023

DEPARTMENT: Development Services

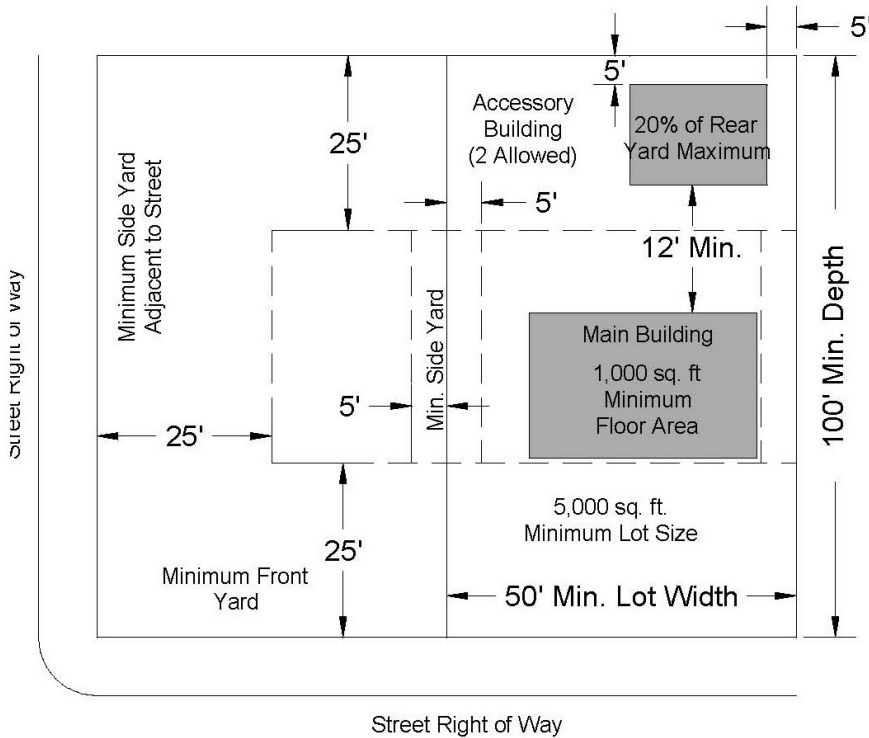
STAFF CONTACT: Steve Killen

BACKGROUND:

Mr. Young is requesting a variance relating to the requirement of a 25' Corner Lot Side Setback for an addition to an existing single-family home.

5.6.D Height, Area, Yard and Lot Coverage Requirements.

- (A) *Single family dwelling.*
 - (1) Minimum lot area: 5,000 ft².
 - (2) Minimum lot width and lot frontage: 50 feet.
 - (3) Minimum lot depth: 100 feet.
 - (4) Minimum depth of front setback: 25 feet.
 - (5) Minimum depth of rear setback: 25 feet.
 - (6) **Minimum width of side setback:**
 - (a) Internal lot: five feet.
 - (b) **Corner lot: 25 feet from intersecting side street.**
 - (7) Building size:
 - (a) Maximum coverage as a percentage of lot area: 40%.
 - (b) Single family dwelling: 1,000 ft².
 - (8) Accessory buildings:
 - (a) Maximum accessory buildings coverage of rear yard: 20%.
 - (b) Maximum number of accessory buildings: one.
 - (c) Minimum depth of side setback: five feet.
 - (d) Minimum depth of rear setback: five feet.
 - (e) Minimum depth from the edge of the main building: 12 feet.
 - (9) Maximum height of structures: 35 feet.
 - (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



VARIANCE:

Section 154.21.1.1

1. A variance from the literal enforcement of the Zoning Ordinance in order to achieve a reasonable development of the property. Whenever owing to exceptional and extraordinary conditions, the literal enforcement of the zoning regulations will result in unnecessary hardship in the development of the property, an appeal for a variance may be filed with the Board of Adjustment.

2. When a property owner can show that a strict application of the terms of this ordinance relating to the use, construction or alteration of buildings or structures or the use of land will impose upon him or her practical difficulties or particular hardship, the Board may consider and allow variations of the strict application of the terms of this ordinance if the variations are in harmony with the general purpose and intent of this ordinance, and the Board is satisfied, under the evidence heard by it, that a granting of the variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable hardship or difficulty so great as to warrant a variation from the Zoning Regulations.

3. The Board may authorize a variance where by reason of exceptional narrowness, shallowness, or shape of specific piece of property of record at the time of the adoption of this ordinance, or by reason of exceptional situation or condition of a specific piece of property, the strict application of a provision of this ordinance would result in peculiar and exceptional practical difficulties and particular hardship upon the owner of the property and amount to a practical confiscation of the property as distinguished from a mere inconvenience to the owner, provided the variation can be granted without substantial detriment to the public good, and without substantially impairing the general purpose and intent of the comprehensive plan as established by the regulations and provisions contained in this ordinance.

(a) Papers required. An appeal for a variance shall include:

1. A site plan, drawn to scale, showing the location and dimension of the lot and of all existing and proposed improvements:

a. When an appeal is based upon hardship resulting from sharp changes in topography or unusual terrain features, the site plan shall include topographic information related to known base points of

surveys, and profiles of the particular problem involved, including relationship to topographic features of adjoining properties.

b. When an appeal is submitted for variance of side yard or rear yard requirements, the applicant shall provide the same information for the properties adjoining the common lot line as may be applicable to the appealed requirements.

c. When an appeal is submitted for a variance from front yard setback, or for side yard setback on a side street, the applicant shall furnish a strip map showing the setback of main walls of all buildings on the same side of the street within a distance of 200 feet of the applicant's property.

2. A statement of facts and reasons why the Zoning Regulations should not be applied to the property in question and how the standards governing the Board's action would be satisfied; and

3. A statement by the Enforcing Officer citing the reasons for refusing to issue a permit under the plans submitted.

(b) Basis for action.

(1) Before acting on an appeal for variance the Board shall consider:

- a. The facts filed with the application;
- b. The testimony presented at the public hearing on the appeal;
- c. The City Staff's technical report on the appeal; and
- d. The Board's findings in its field inspection of the property.

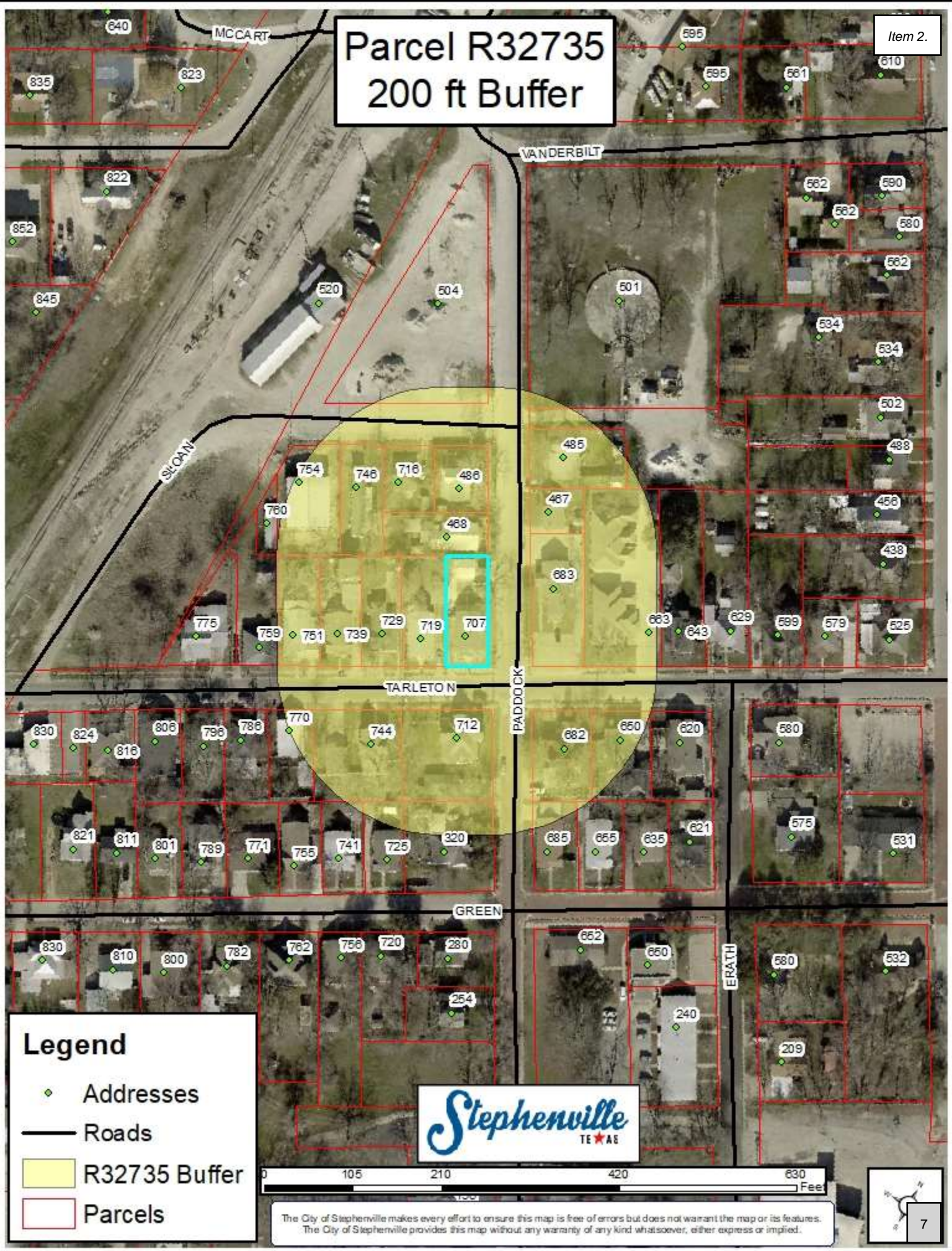
(2) The Board may grant an appeal, subject to such terms and conditions as it may fix, provided

ALTERNATIVES:

- 1. Approve the Variance Request
- 2. Deny the Variance Request

Parcel R32735 200 ft Buffer

Item 2.



Legend

- ◆ Addresses
- Roads
- R32735 Buffer
- Parcels



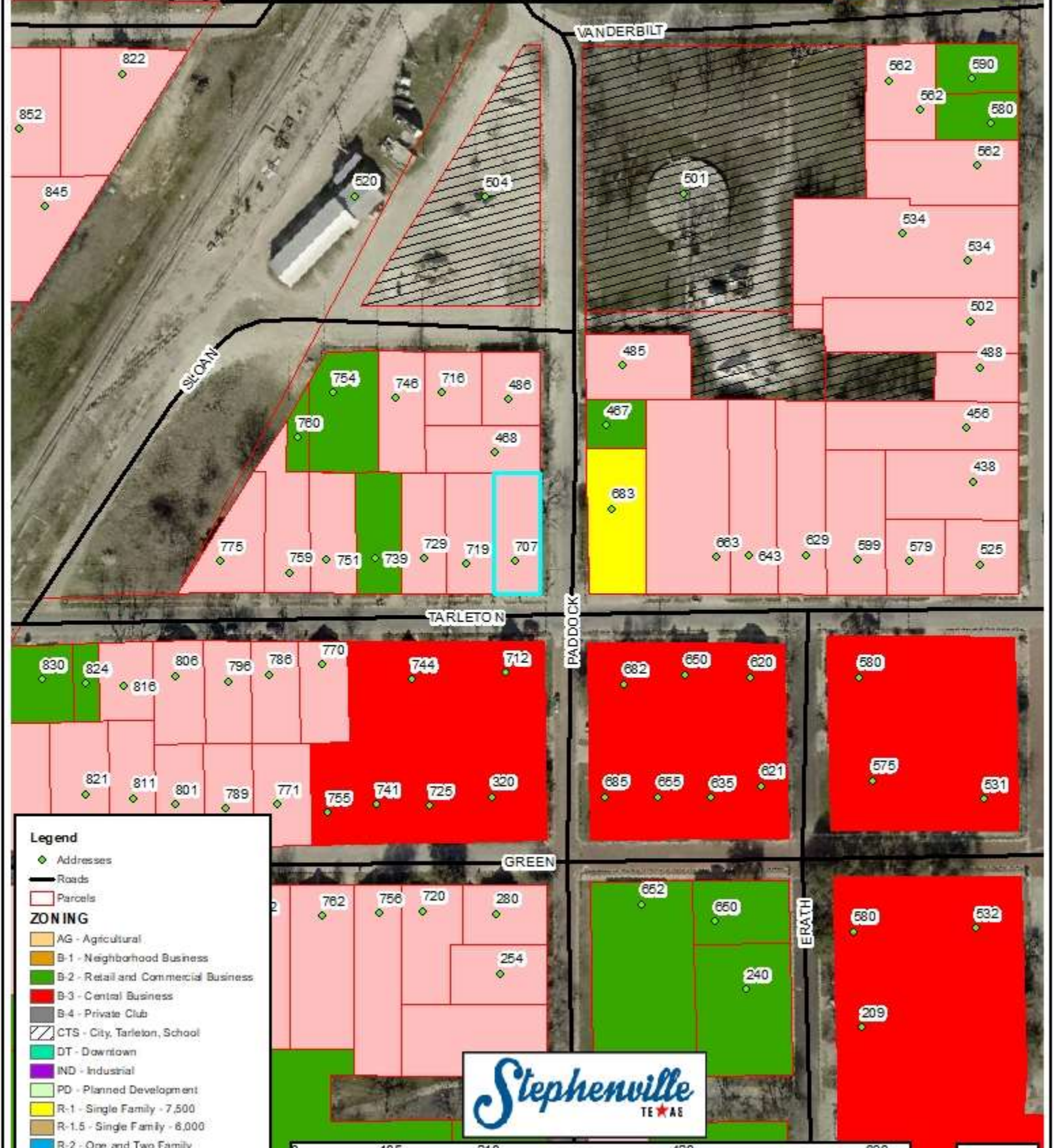
The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.



Parcel R32735

Current Zoning R3- Multifamily

Item 2.



Legend

- ◆ Addresses
- Roads
- Parcels

ZONING

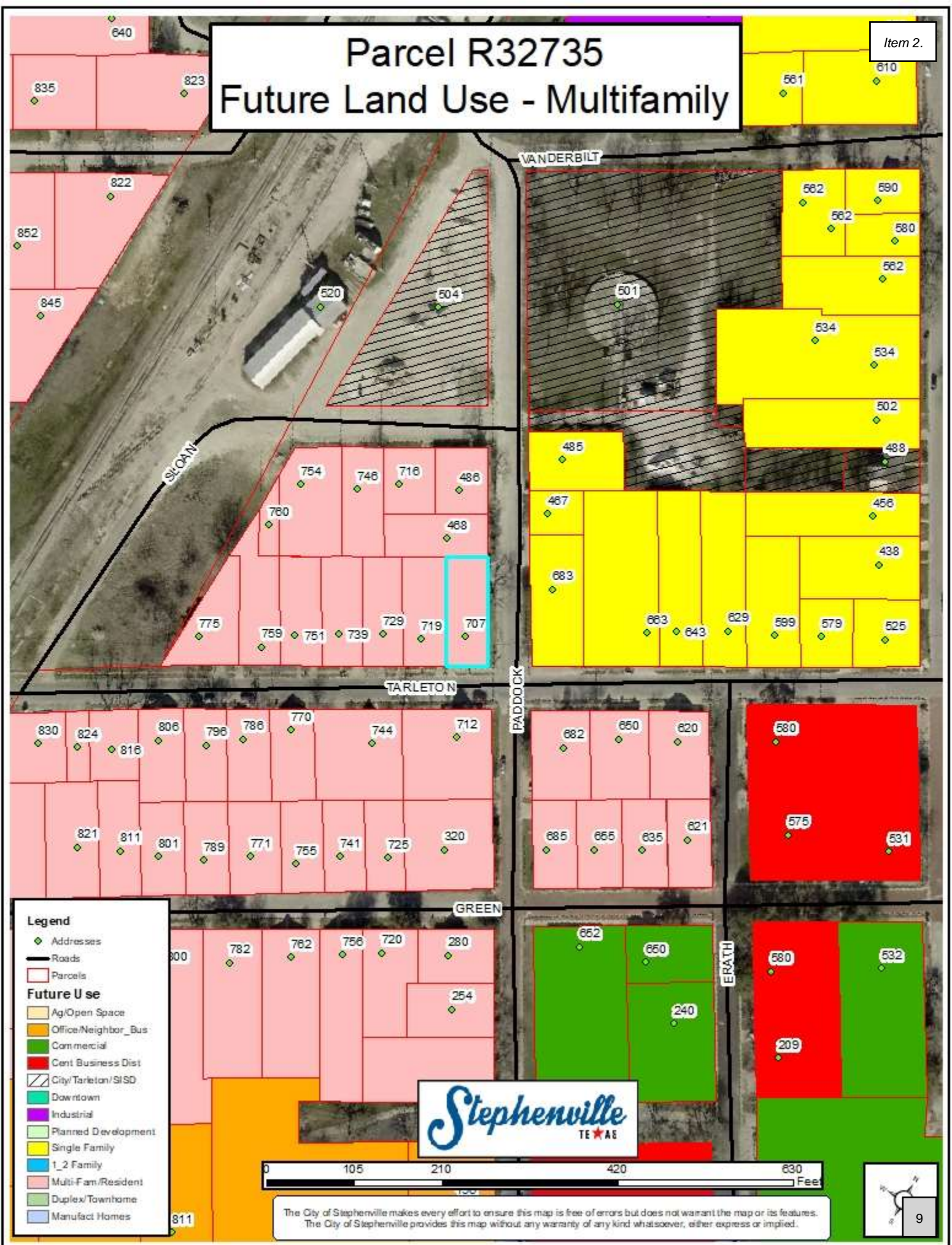
- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
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- CTS - City, Tarleton, School
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- PD - Planned Development
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- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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Parcel R32735 Future Land Use - Multifamily

Item 2.



Legend

- ◆ Addresses
- Roads
- Parcels

Future Use

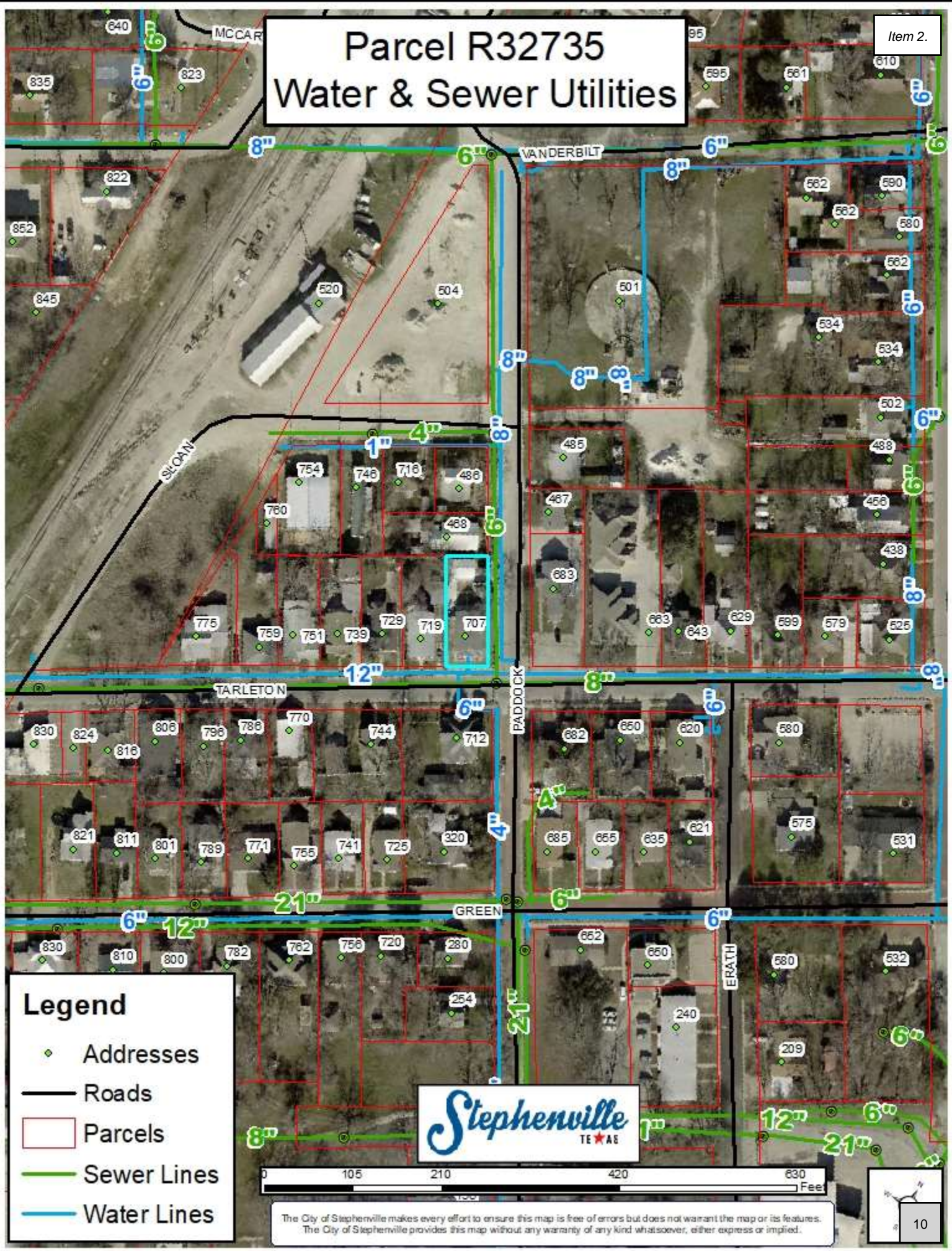
- Ag/Open Space
- Office/Neighbor_Bus
- Commercial
- Cent Business Dist
- City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



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Parcel R32735 Water & Sewer Utilities

Item 2.



Legend

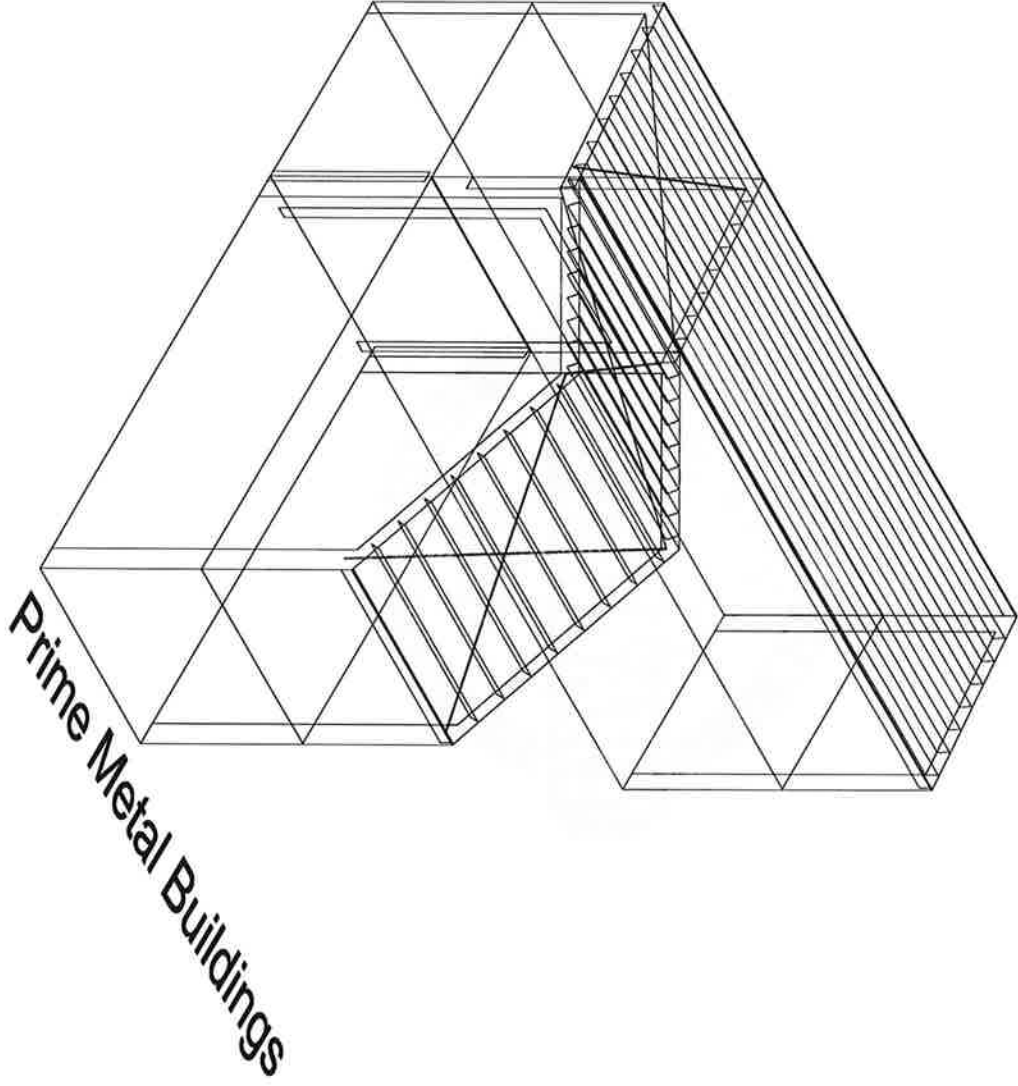
- ◆ Addresses
- Roads
- Parcels
- Sewer Lines
- Water Lines

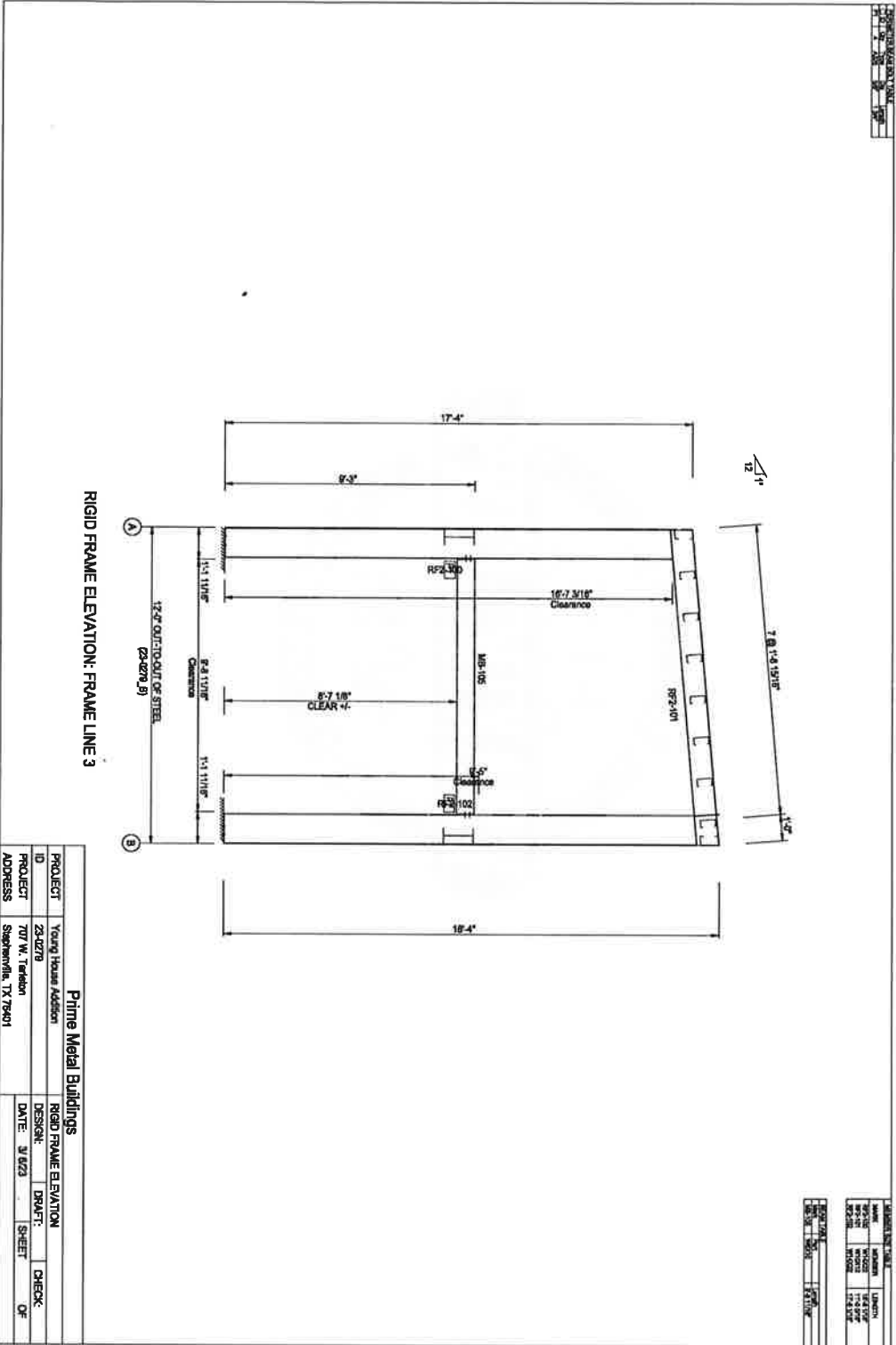


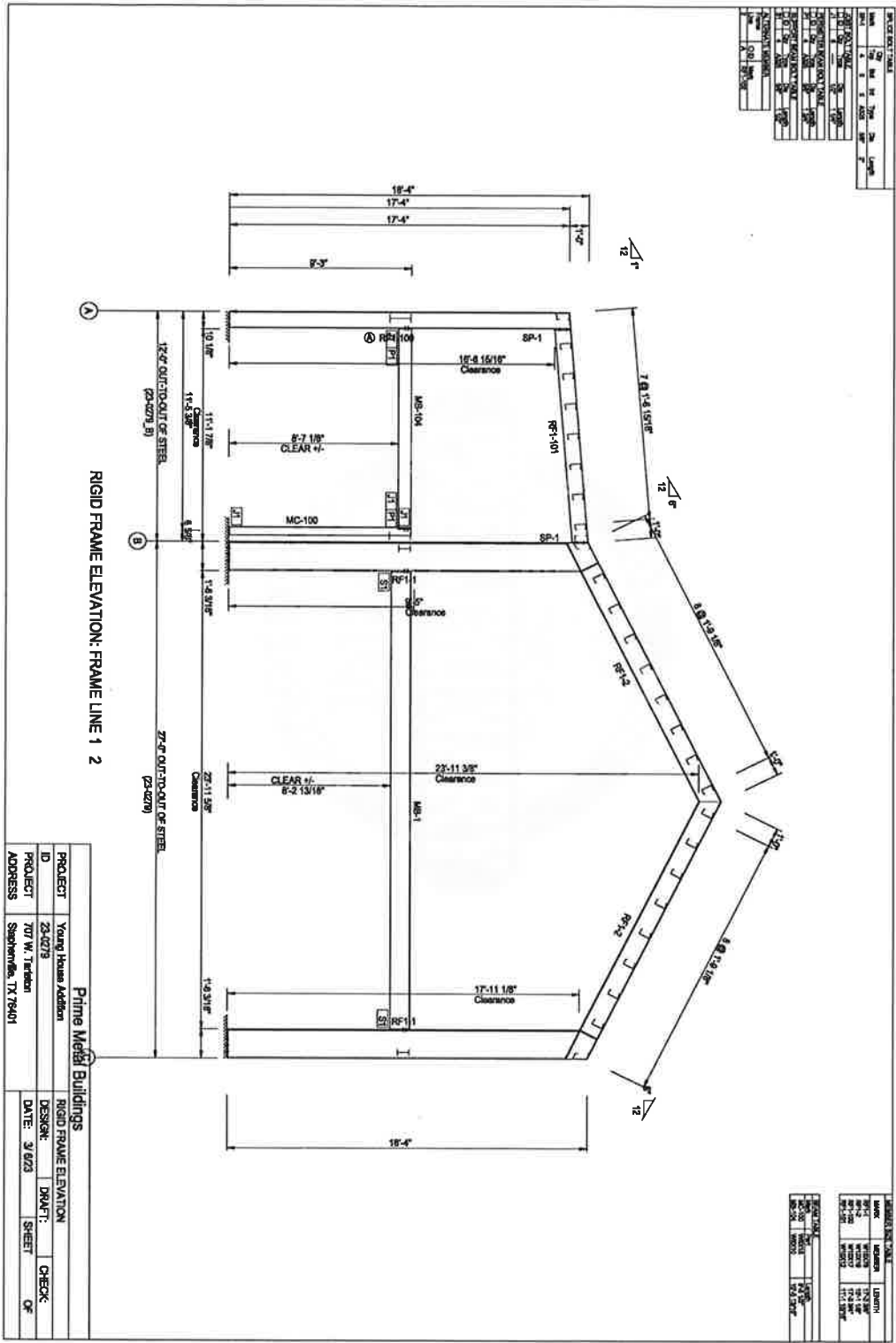
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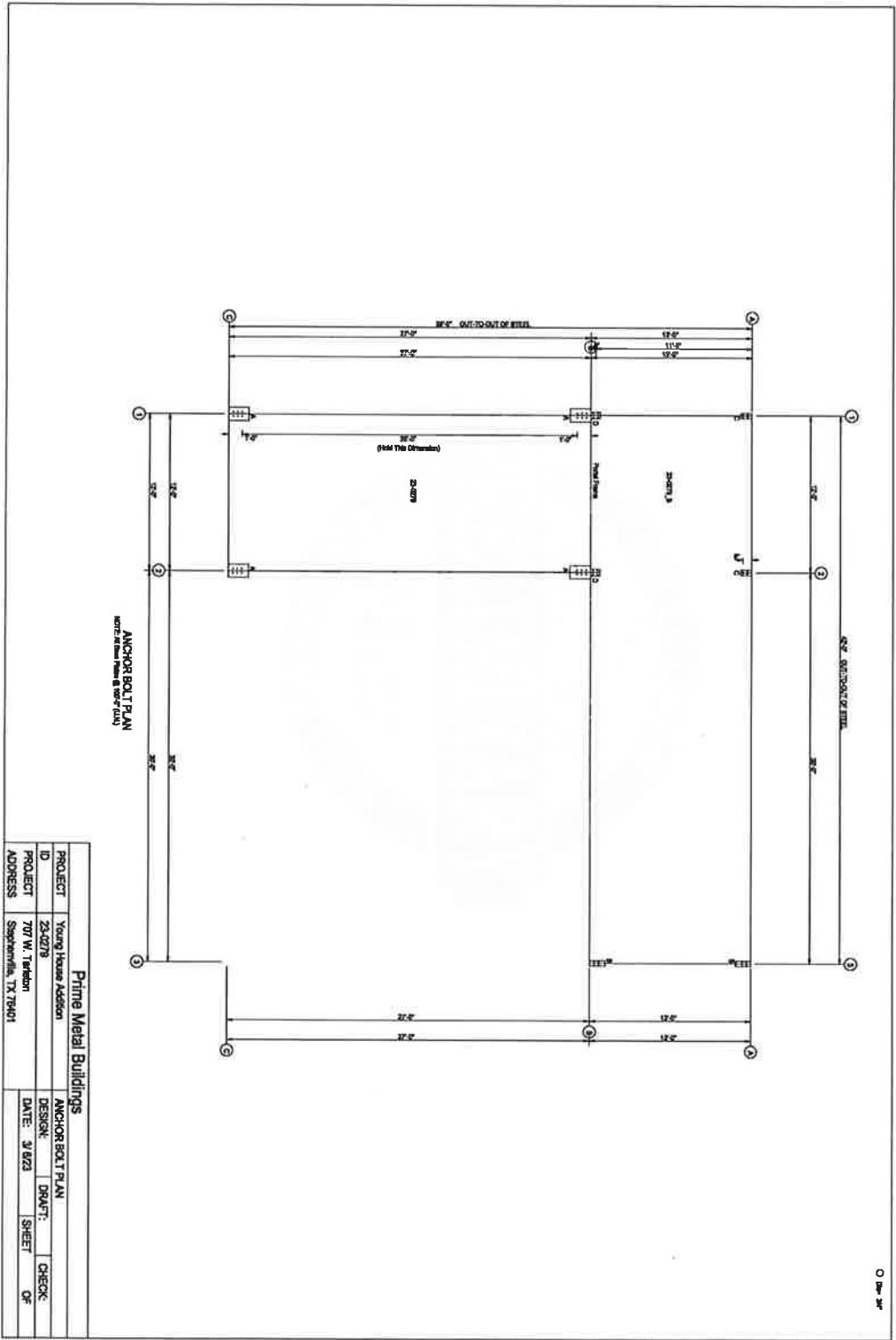
Parcel R32735 200 ft Buffer Addresses

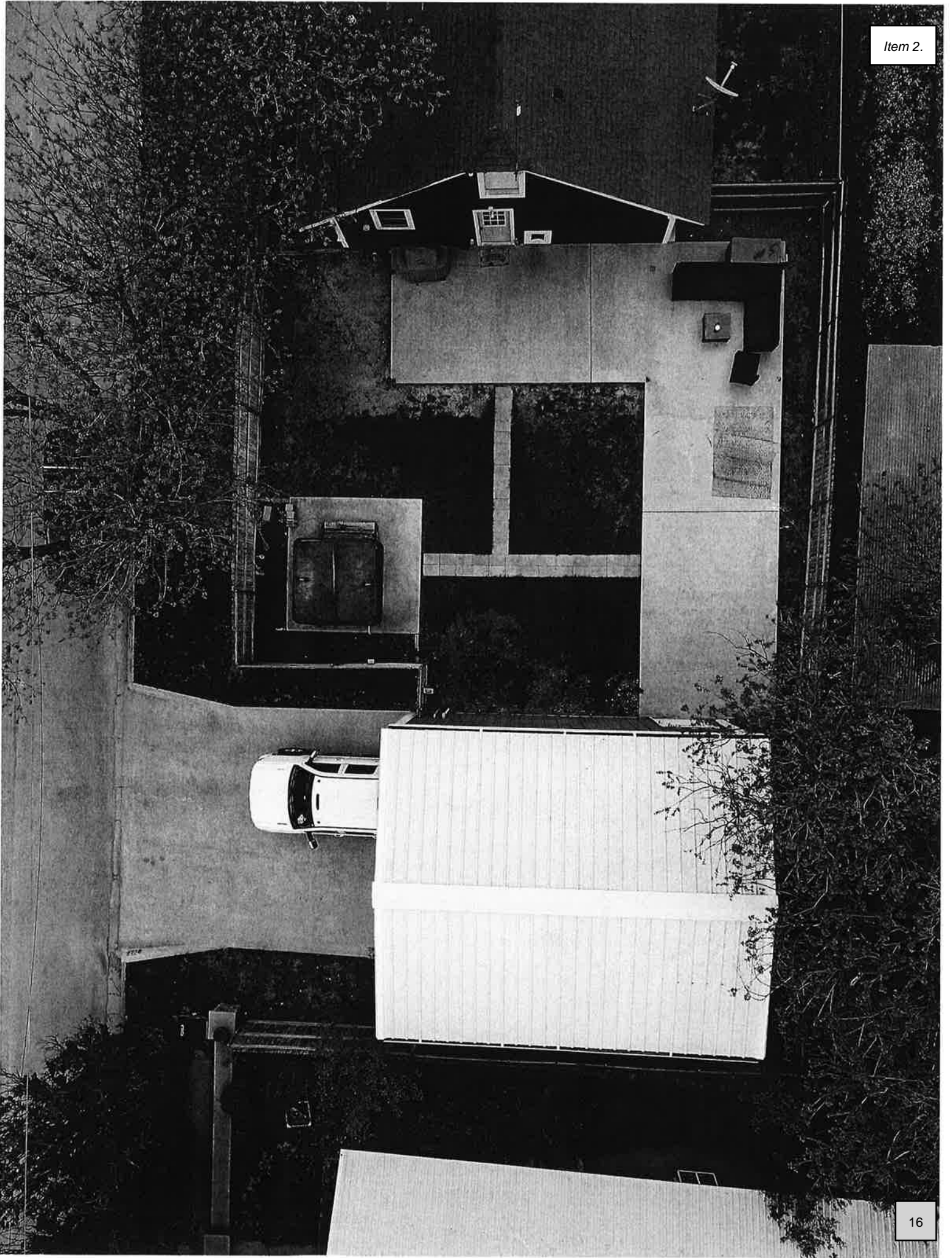
Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000029572	712 TARLETON	6 + 6 HOUSING CORPORATION	PO BOX 15173	SAN ANTONIO	TX	78212
R000029576	725 GREEN	9K PROPERTIES LLC	118 CR102	CISCO	TX	76437
R000032724	485 N PADDOCK	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHEVILLE	TX	76401-4257
R000032722	501 N PADDOCK	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHEVILLE	TX	76401-4257
R000032741	500 N PADDOCK	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHEVILLE	TX	76401-4257
R000030181	770 TARLETON	CLARK WILLIAM & MONICA	623 CR2635	WALNUT SPRINGS	TX	76690
R000029569	655 GREEN	CROW KELLY WAYNE & MARY SHALA CROW	7775 FM 1827	MCKINNEY	TX	75071
R000032732	486 PADDOCK	DAVIS CALE	486 N PADDOCK	STEPHEVILLE	TX	76401
R000032733	716 SLOAN	DAVIS CALE & BARBARA TOUCHON	486 N PADDOCK	STEPHEVILLE	TX	76401
R000032728	754 W SLOAN	ERATH COUNTY HABITAT FOR HUMANITY	PO BOX 505	STEPHEVILLE	TX	76401
R000029564	682 TARLETON	GEISENHOF MARGO ANN ROBERTSON	682 W TARLETON ST	STEPHEVILLE	TX	76401-3344
R000029573	320 PADDOCK	GIEBLER WALTER S	11750 FM2303	STEPHEVILLE	TX	76401
R000032736	719 TARLETON	GODWIN LEONOR ELENA	412 E FIRST ST	HICO	TX	76457
R000032727	760 SLOAN	HERNANDEZ HECTOR SR	6118 FM2214	DESDEMONA	TX	76445
R000029684	663 W TARLETON	HOTTISH PROPERTIES LLC	PO BOX 216	SPRINGTOWN	TX	76082
R000032739	751 TARLETON	LEWIS PERRY M	2814 METZ DR	MIDLAND	TX	79705
R000032737	729 TARLETON	LOLA TARLETON SERIES, LLC	425 REGAL ROW	DALLAS	TX	75247
R000032726	759 W TARLETON	MCCOMBS FAMILY TRUST	507 INDIAN CREEK DR	COMANCHE	TX	76442-2928
R000032734	468 PADDOCK	MOORE JOHN M & CHARLE	24520 N US281	STEPHEVILLE	TX	76401-6310
R000029575	741 GREEN	MUNCEY WILLIAM JAMES	475 E LONG	STEPHEVILLE	TX	76401-0000
R000032738	739 TARLETON	OLIVER MARGRET LEIGH	739 W TARLETON	STEPHEVILLE	TX	76401-0000
R000029568	685 W GREEN	PARKS CAROLYN RUTH	685 W GREEN	STEPHEVILLE	TX	76401
R000029570	650 TARLETON	POEN GEORGE W & F CHRISTINE	650 W TARLETON	STEPHEVILLE	TX	76401-3344
R000032730	746 SLOAN	RODRIGUEZ JOSE A	2591 DENMAN ST	STEPHEVILLE	TX	76401
R000029686	467 PADDOCK	VANDERGRIF ALLEN & CHAD VANDERGRIF &	2401 CR130	STEPHEVILLE	TX	76401
R000029685	683 W TARLETON	VANDERGRIF ALLEN & CHAD VANDERGRIF &	2401 CR130	STEPHEVILLE	TX	76401
R000029571	744 TARLETON	VANNOY DALE E & LUCINDA	1011 OVERLOOK BEND	LEANDER	TX	78641
R000032723	485 PADDOCK	WAYLAND AUSTIN JOHN	28221 FM2481	STEPHEVILLE	TX	76401
R000032735	707 W TARLETON	YOUNG RYAN	707 W TARLETON	STEPHEVILLE	TX	76401











Board of Adjustment
STAFF REPORT



Item 3.

SUBJECT: Case No.: V2023-013
Applicant Ryan Young is requesting a variance from Section 154.05.6.D(7)(a) - Maximum Coverage as a Percentage of Lot Area – 40% for property located at 707 W Tarleton, being parcel R32735 of S5400 PARK PLACE ADDITION; BLOCK 4; LOT 12 of the City of Stephenville, Erath County, Texas.

MEETING: Board of Adjustment – September 14, 2023

DEPARTMENT: Development Services

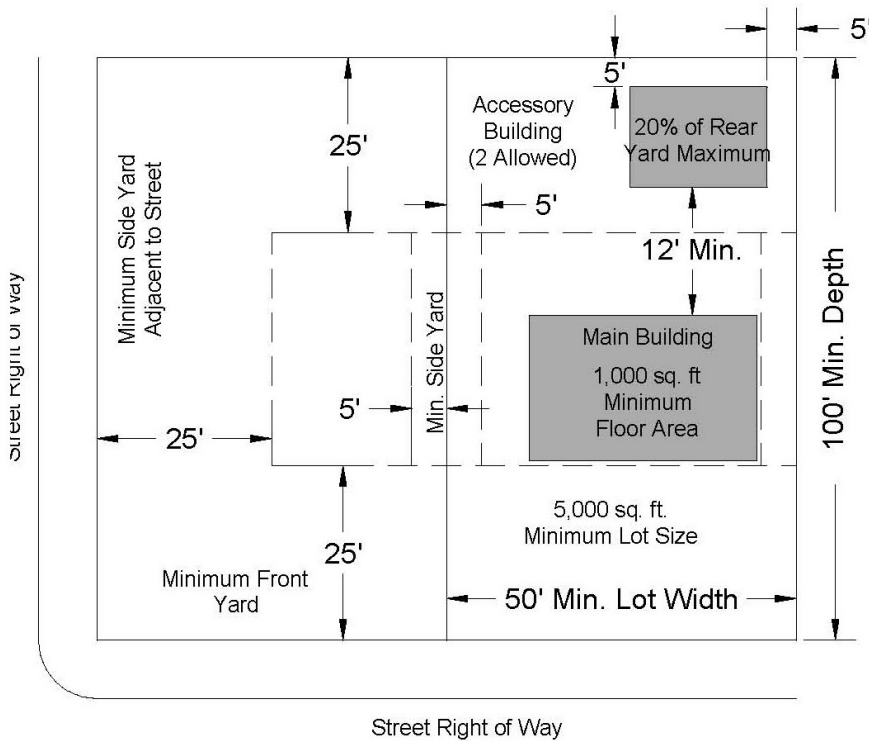
STAFF CONTACT: Steve Killen

BACKGROUND:

Mr. Young is requesting a variance relating to the requirement of the 40% maximum coverage of lot area to build an addition to an existing single-family home. The lot dimensions are 50x100. Existing structures currently meet the 40% limitation with the main structure alone estimated at 33% coverage).

5.6.D Height, Area, Yard and Lot Coverage Requirements.

- (A) *Single family dwelling.*
 - (1) Minimum lot area: 5,000 ft².
 - (2) Minimum lot width and lot frontage: 50 feet.
 - (3) Minimum lot depth: 100 feet.
 - (4) Minimum depth of front setback: 25 feet.
 - (5) Minimum depth of rear setback: 25 feet.
 - (6) Minimum width of side setback:
 - (a) Internal lot: five feet.
 - (b) Corner lot: 25 feet from intersecting side street.
 - (7) **Building size:**
 - (a) **Maximum coverage as a percentage of lot area: 40%.**
 - (b) Single family dwelling: 1,000 ft².
 - (8) Accessory buildings:
 - (a) Maximum accessory buildings coverage of rear yard: 20%.
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 - (c) Minimum depth of side setback: five feet.
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 - (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.



VARIANCE:

Section 154.21.1.l

1. A variance from the literal enforcement of the Zoning Ordinance in order to achieve a reasonable development of the property. Whenever owing to exceptional and extraordinary conditions, the literal enforcement of the zoning regulations will result in unnecessary hardship in the development of the property, an appeal for a variance may be filed with the Board of Adjustment.

2. When a property owner can show that a strict application of the terms of this ordinance relating to the use, construction or alteration of buildings or structures or the use of land will impose upon him or her practical difficulties or particular hardship, the Board may consider and allow variations of the strict application of the terms of this ordinance if the variation are in harmony with the general purpose and intent of this ordinance, and the Board is satisfied, under the evidence heard by it, that a granting of the variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable hardship or difficulty so great as to warrant a variation from the Zoning Regulations.

3. The Board may authorize a variance where by reason of exceptional narrowness, shallowness, or shape of specific piece of property of record at the time of the adoption of this ordinance, or by reason of exceptional situation or condition of a specific piece of property, the strict application of a provision of this ordinance would result in peculiar and exceptional practical difficulties and particular hardship upon the owner of the property and amount to a practical confiscation of the property as distinguished from a mere inconvenience to the owner, provided the variation can be granted without substantial detriment to the public good, and without substantially impairing the general purpose and intent of the comprehensive plan as established by the regulations and provisions contained in this ordinance.

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b. When an appeal is submitted for variance of side yard or rear yard requirements, the applicant shall provide the same information for the properties adjoining the common lot line as may be applicable to the appealed requirements.

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2. A statement of facts and reasons why the Zoning Regulations should not be applied to the property in question and how the standards governing the Board's action would be satisfied; and

3. A statement by the Enforcing Officer citing the reasons for refusing to issue a permit under the plans submitted.

(b) Basis for action.

(1) Before acting on an appeal for variance the Board shall consider:

a. The facts filed with the application;

b. The testimony presented at the public hearing on the appeal;

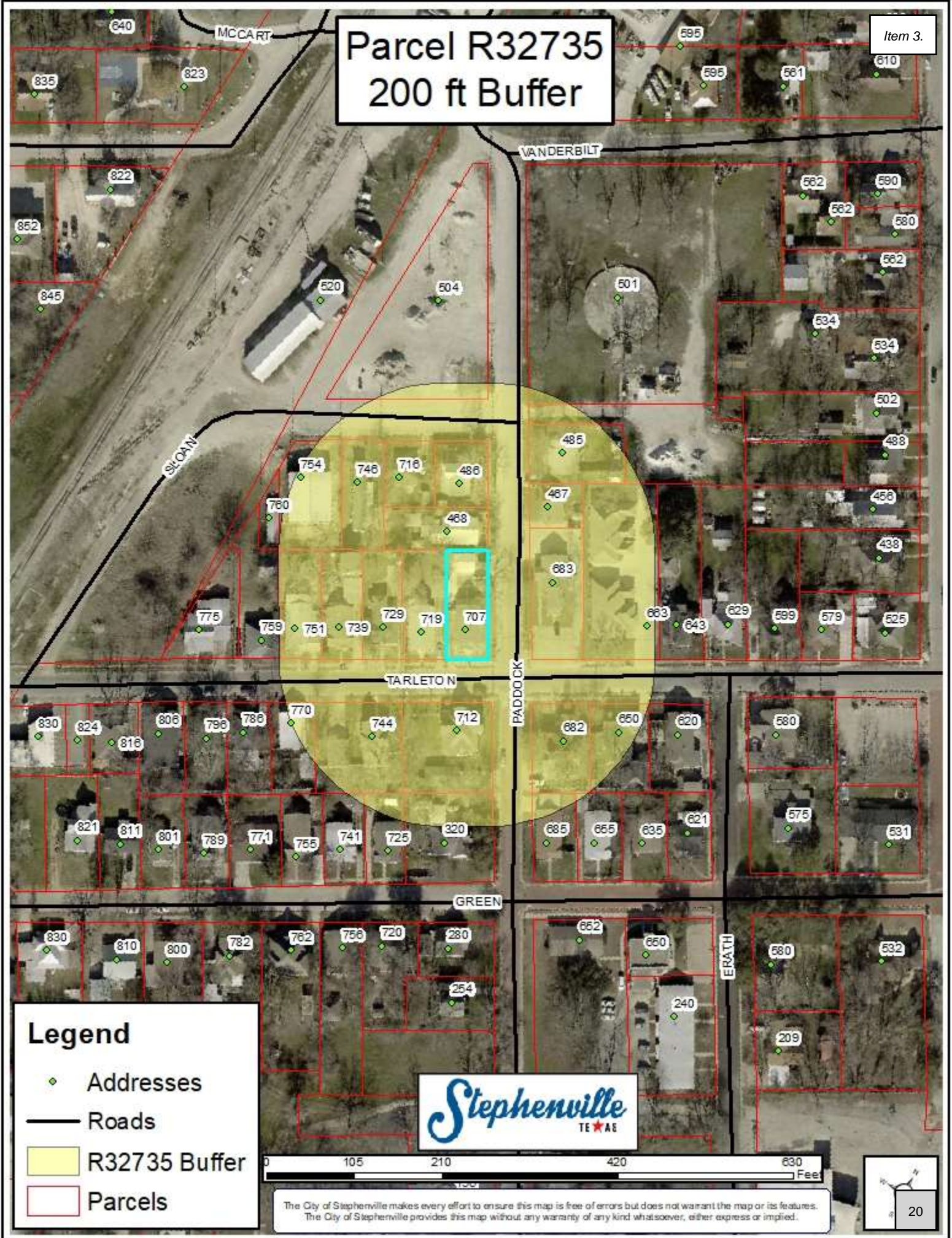
c. The City Staff's technical report on the appeal; and d. The Board's findings in its field inspection of the property.

(2) The Board may grant an appeal, subject to such terms and conditions as it may fix, provided

ALTERNATIVES:

1. Approve the Variance Request
2. Deny the Variance Request

Parcel R32735 200 ft Buffer



Legend

- ◆ Addresses
- Roads
- R32735 Buffer
- Parcels



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Parcel R32735

Current Zoning R3- Multifamily

Item 3.



Legend

- ◆ Addresses
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ZONING

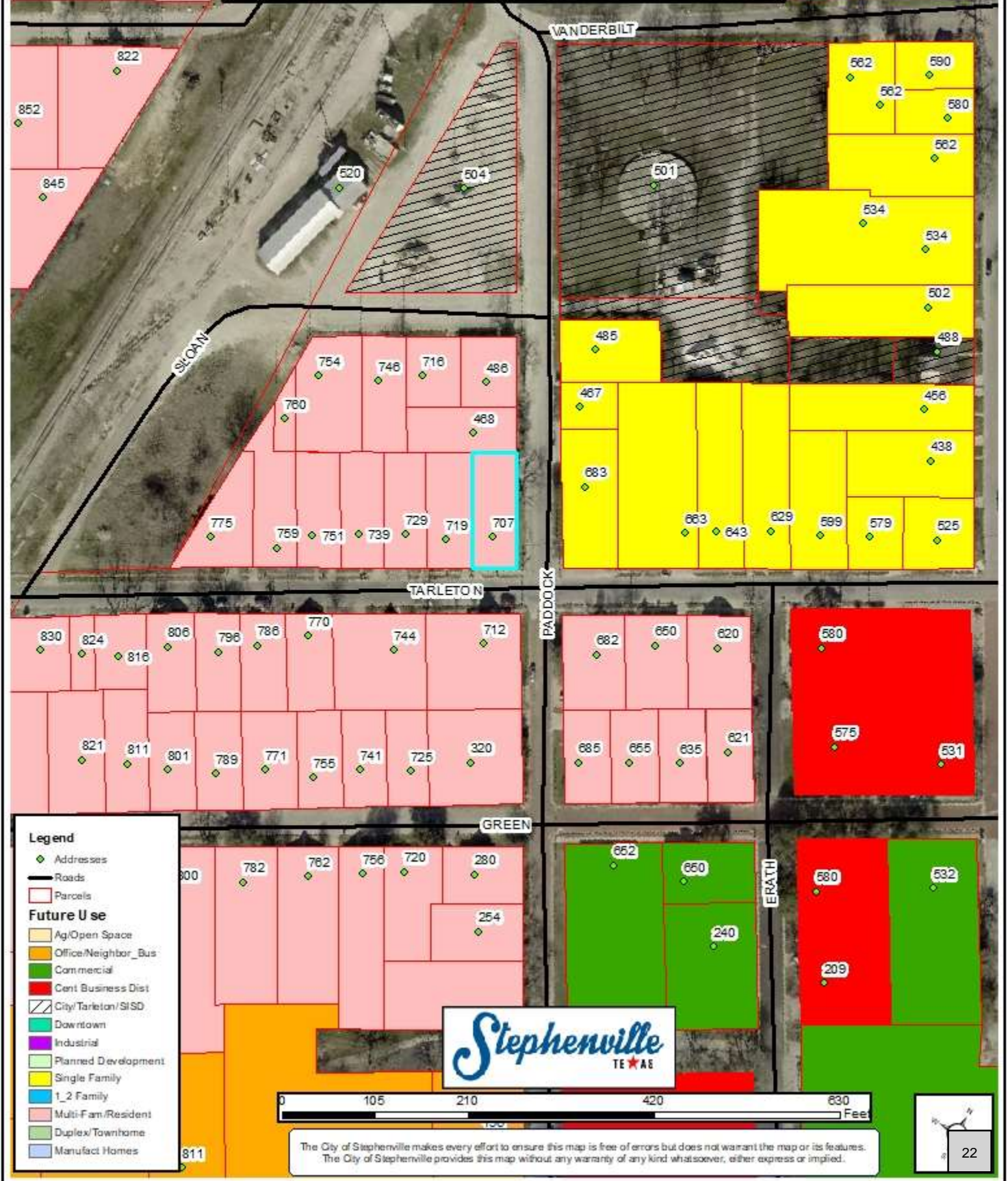
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Parcel R32735 Future Land Use - Multifamily

Item 3.



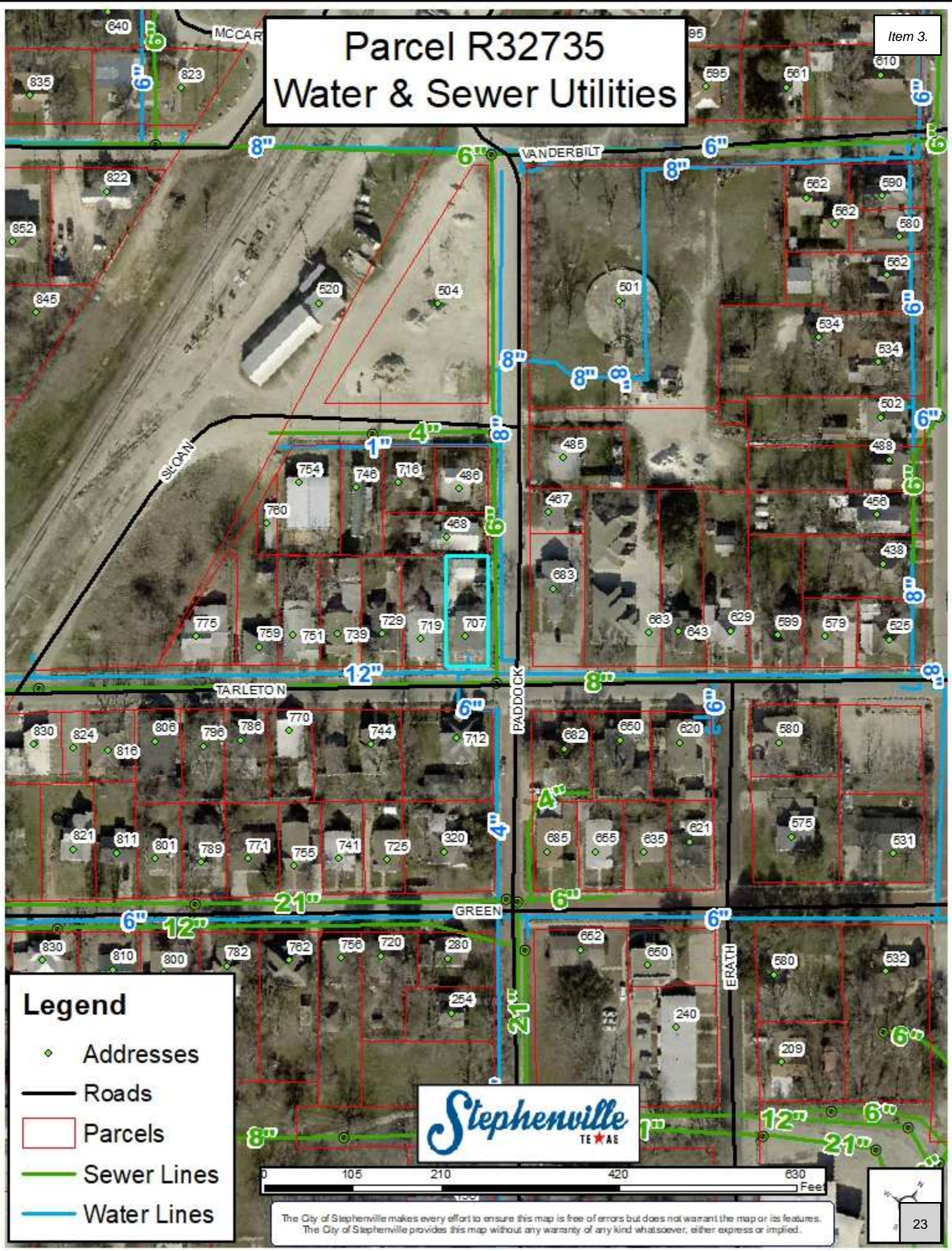
- Legend**
- ◆ Addresses
 - Roads
 - ▭ Parcels
- Future Use**
- ▭ Ag/Open Space
 - ▭ Office/Neighbor_Bus
 - ▭ Commercial
 - ▭ Cent Business Dist
 - ▭ City/Tarleton/SISD
 - ▭ Downtown
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Parcel R32735 Water & Sewer Utilities

Item 3.



Legend

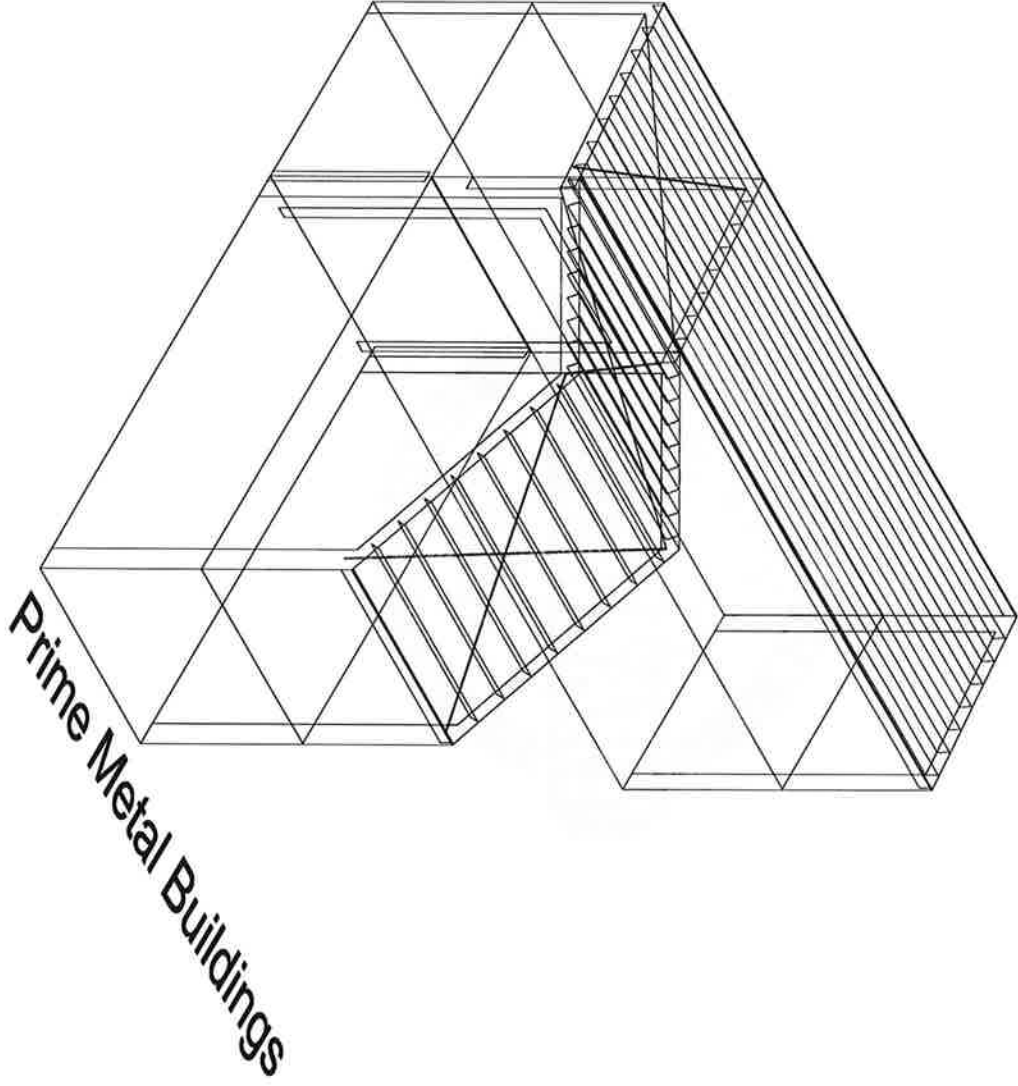
- ◆ Addresses
- Roads
- ▭ Parcels
- Sewer Lines
- Water Lines

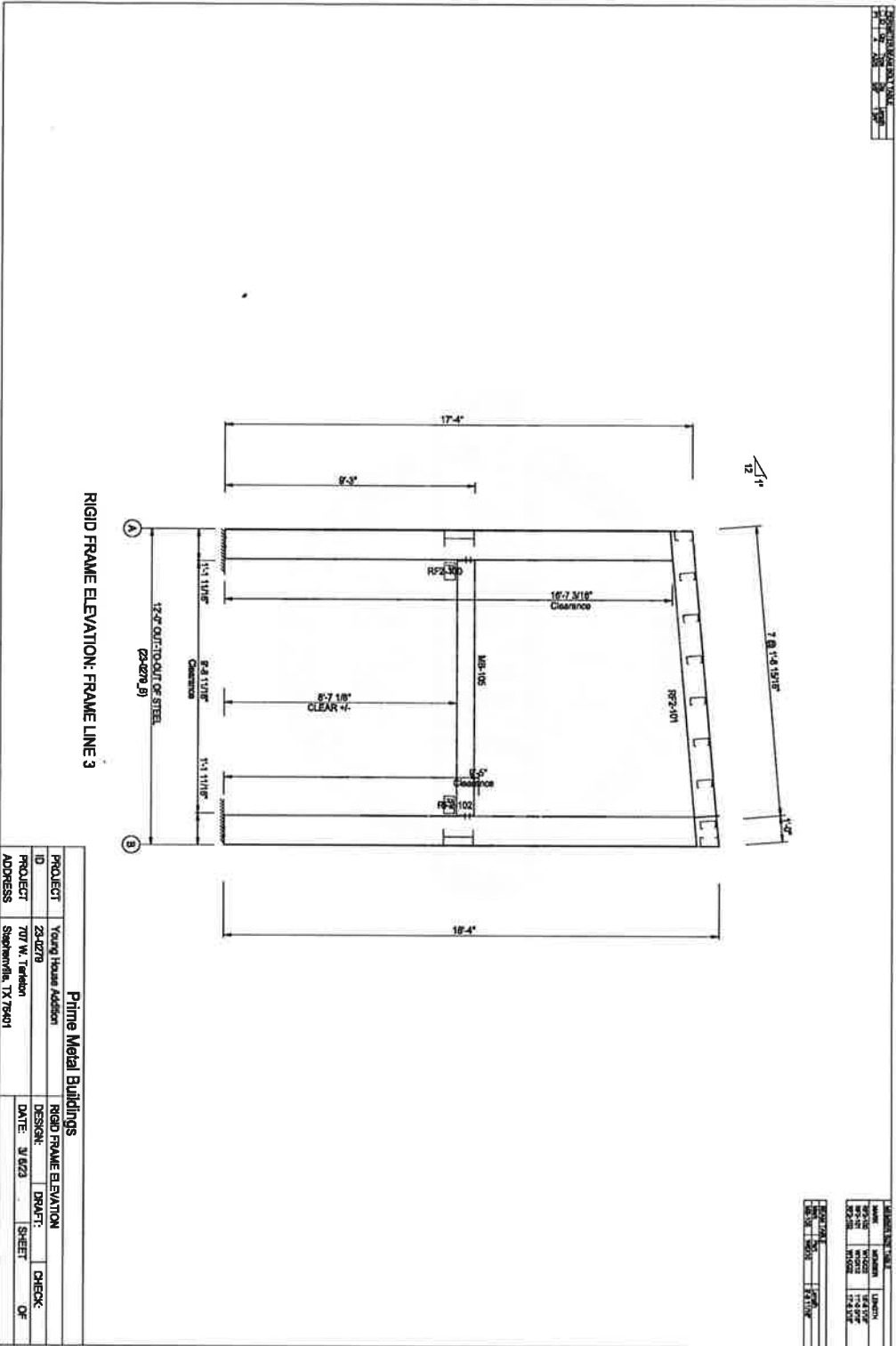


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Parcel R32735 200 ft Buffer Addresses

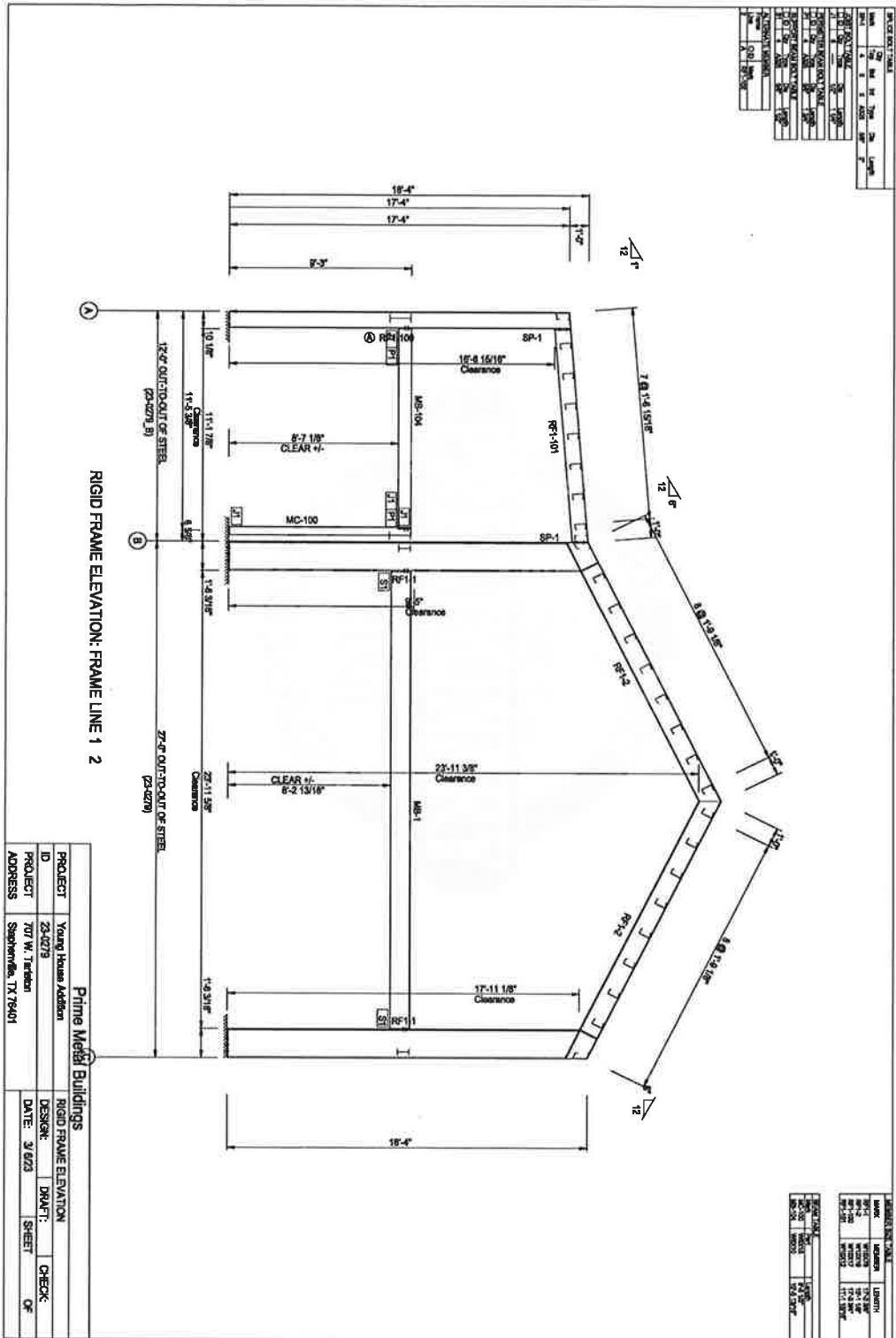
Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000029572	712 TARLETON	6 + 6 HOUSING CORPORATION	PO BOX 15173	SAN ANTONIO	TX	78212
R000029576	725 GREEN	9K PROPERTIES LLC	118 CR102	CISCO	TX	76437
R000032724	485 N PADDOCK	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000032722	501 N PADDOCK	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000032741	500 N PADDOCK	CITY OF STEPHENVILLE	298 W WASHINGTON	STEPHENVILLE	TX	76401-4257
R000030181	770 TARLETON	CLARK WILLIAM & MONICA	623 CR2635	WALNUT SPRINGS	TX	76690
R000029569	655 GREEN	CROW KELLY WAYNE & MARY SHALA CROW	7775 FM 1827	MCKINNEY	TX	75071
R000032732	486 PADDOCK	DAVIS CALE	486 N PADDOCK	STEPHENVILLE	TX	76401
R000032733	716 SLOAN	DAVIS CALE & BARBARA TOUCHON	486 N PADDOCK	STEPHENVILLE	TX	76401
R000032728	754 W SLOAN	ERATH COUNTY HABITAT FOR HUMANITY	PO BOX 505	STEPHENVILLE	TX	76401
R000029564	682 TARLETON	GEISENHOF MARGO ANN ROBERTSON	682 W TARLETON ST	STEPHENVILLE	TX	76401-3344
R000029573	320 PADDOCK	GIEBLER WALTER S	11750 FM2303	STEPHENVILLE	TX	76401
R000032736	719 TARLETON	GODWIN LEONOR ELENA	412 E FIRST ST	HICO	TX	76457
R000032727	760 SLOAN	HERNANDEZ HECTOR SR	6118 FM2214	DESDEMONA	TX	76445
R000029684	663 W TARLETON	HOTTISH PROPERTIES LLC	PO BOX 216	SPRINGTOWN	TX	76082
R000032739	751 TARLETON	LEWIS PERRY M	2814 METZ DR	MIDLAND	TX	79705
R000032737	729 TARLETON	LOLA TARLETON SERIES, LLC	425 REGAL ROW	DALLAS	TX	75247
R000032726	759 W TARLETON	MCCOMBS FAMILY TRUST	507 INDIAN CREEK DR	COMANCHE	TX	76442-2928
R000032734	468 PADDOCK	MOORE JOHN M & CHARLE	24520 N US281	STEPHENVILLE	TX	76401-6310
R000029575	741 GREEN	MUNCEY WILLIAM JAMES	475 E LONG	STEPHENVILLE	TX	76401-0000
R000032738	739 TARLETON	OLIVER MARGRET LEIGH	739 W TARLETON	STEPHENVILLE	TX	76401-0000
R000029568	685 W GREEN	PARKS CAROLYN RUTH	685 W GREEN	STEPHENVILLE	TX	76401
R000029570	650 TARLETON	POEN GEORGE W & F CHRISTINE	650 W TARLETON	STEPHENVILLE	TX	76401-3344
R000032730	746 SLOAN	RODRIGUEZ JOSE A	2591 DENMAN ST	STEPHENVILLE	TX	76401
R000029686	467 PADDOCK	VANDERGRIF ALLEN & CHAD VANDERGRIF &	2401 CR130	STEPHENVILLE	TX	76401
R000029685	683 W TARLETON	VANDERGRIF ALLEN & CHAD VANDERGRIF &	2401 CR130	STEPHENVILLE	TX	76401
R000029571	744 TARLETON	VANNOY DALE E & LUCINDA	1011 OVERLOOK BEND	LEANDER	TX	78641
R000032723	485 PADDOCK	WAYLAND AUSTIN JOHN	28221 FM2481	STEPHENVILLE	TX	76401
R000032735	707 W TARLETON	YOUNG RYAN	707 W TARLETON	STEPHENVILLE	TX	76401

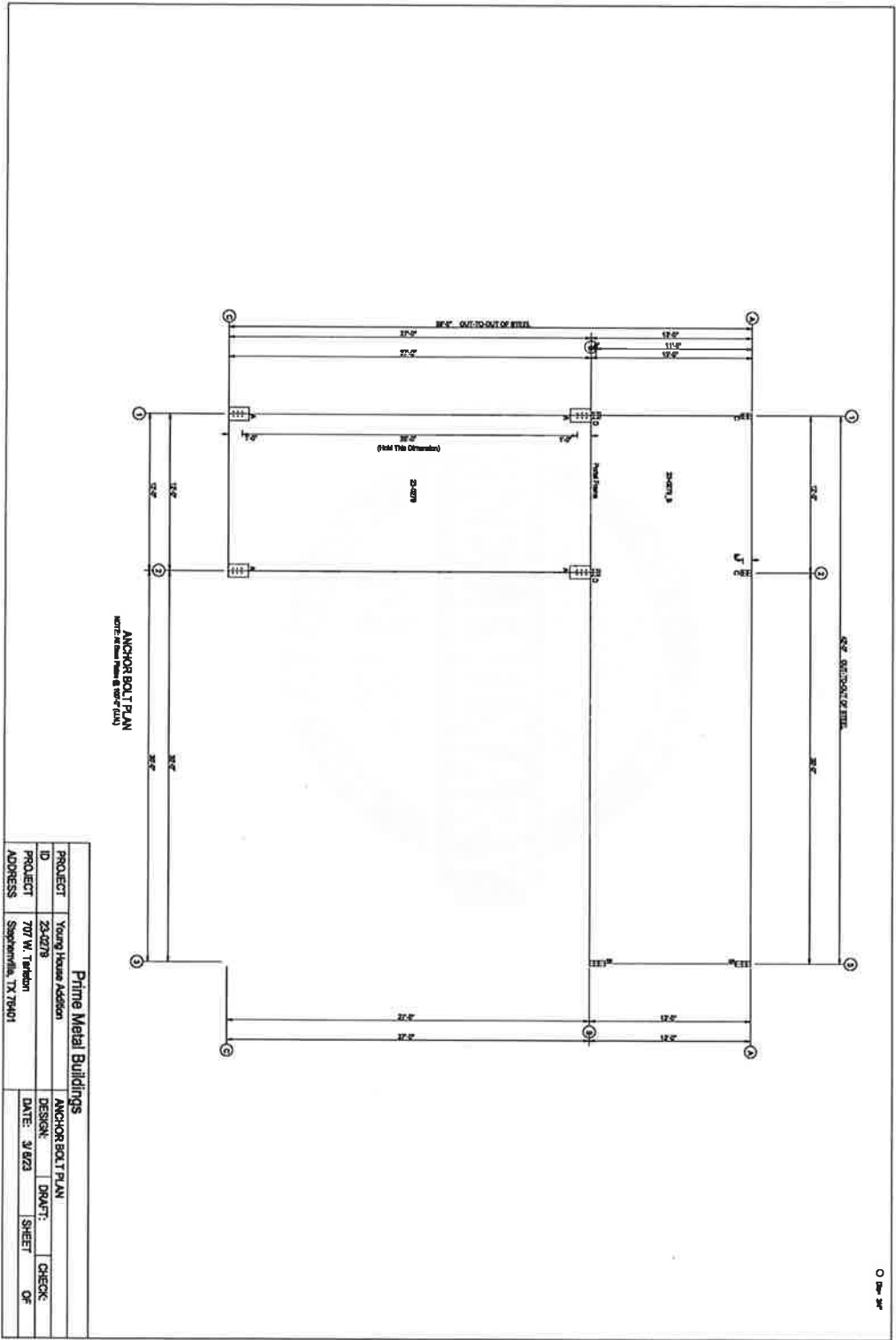


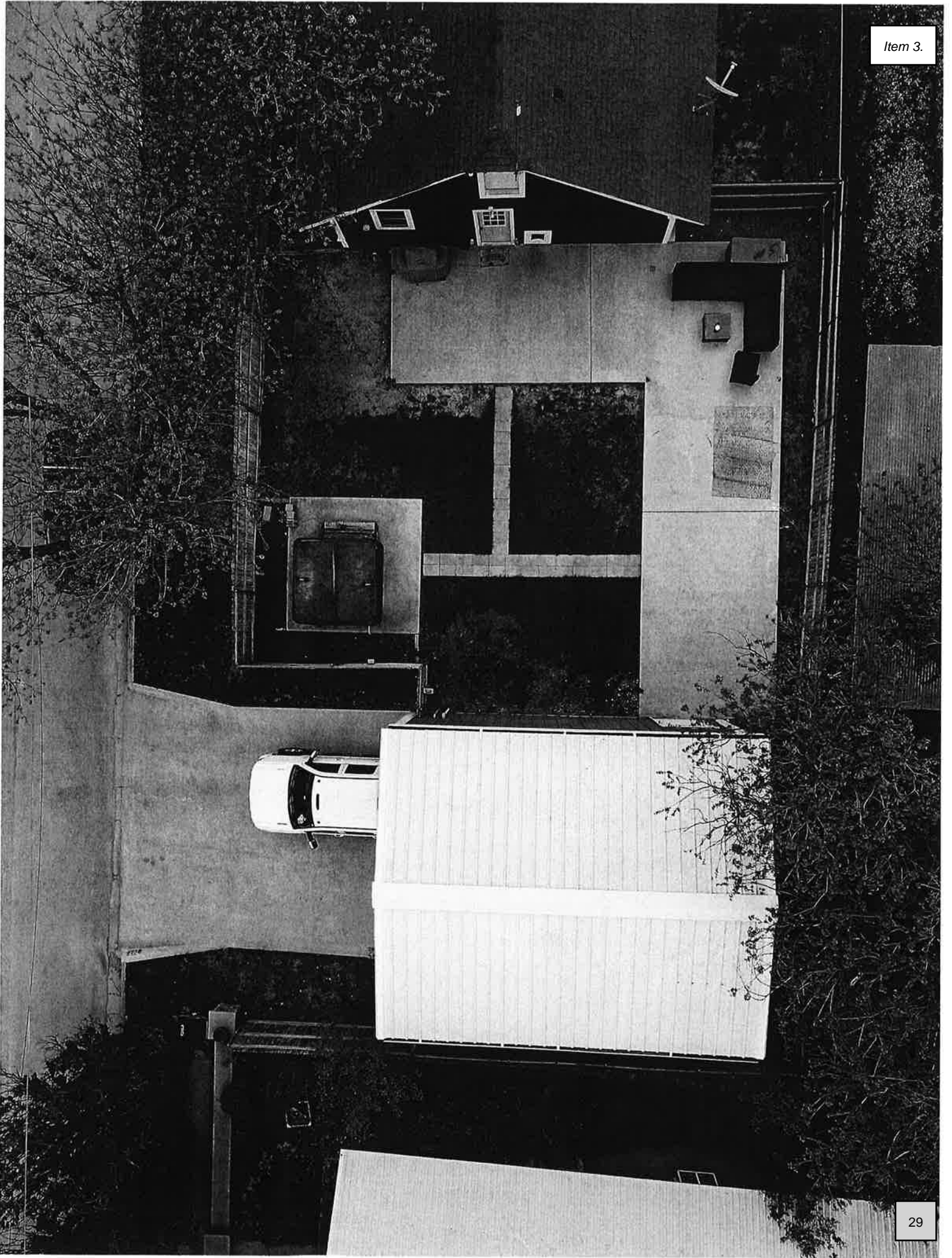


RIGID FRAME ELEVATION: FRAME LINE 3

Prime Metal Buildings			
PROJECT	Young House Addition	RIGID FRAME ELEVATION	CHECK:
ID	23-0279	DESIGN:	DRAPT:
PROJECT	707 W. Tuleton	DATE: 3/4/23	SHEET
ADDRESS	Springville, TX 75401		OF







Board of Adjustment STAFF REPORT



Item 4.

SUBJECT: Case No.: V2023-014
Applicant Niraj Patel, representing DNJ Investment, LLC is requesting a variance from Section 154.06.2.D(9) Height, Area, Yard and Lot Coverage Requirements – Maximum height of structures: 35 feet for property located at 3015 Northwest Loop, being parcel R63719 of S2600 CITY ADDITION; BLOCK 161; LOT 1 of the City of Stephenville, Erath County, Texas.

MEETING: Board of Adjustment – September 14, 2023

DEPARTMENT: Development Services

STAFF CONTACT: Steve Killen

BACKGROUND:

Mr. Pital is requesting a variance relating to the building height requirement of 35'. Mr. Patel would like to build a four-story hotel with an overall height of 46'-3" and an entry height of 54'-2".

6.2.D Height, Area, Yard and Lot Coverage Requirements.

- (1) Maximum density: There is no maximum density requirement.
- (2) Minimum lot area: There is no minimum area requirement.
- (3) Minimum lot width: There is no minimum width requirement.
- (4) Minimum lot depth: There is no minimum depth requirement.
- (5) Minimum depth of front setback: 20 feet.
- (6) Minimum depth of rear setback: There is no minimum rear setback requirement unless the lot abuts upon a Residential District, then a minimum ten feet is required.
- (7) Minimum width of side setback:
 - (a) Internal lot: There is no minimum side setback requirement unless the lot abuts upon a Residential District, then a minimum five feet is required.
 - (b) Corner lot: 20 feet.
- (8) Building size: There are no minimum size regulations.
- (9) Maximum height of structures: 35 feet.
- (10) Public, semi-public or public service buildings, hospitals, institutions or schools may not exceed a height of 60 feet. Churches, temples and mosques may not exceed 75 feet, if the building is set back from each yard line at least one foot for each two feet additional height above the height limit in this district.

VARIANCE:

Section 154.21.1.I

1. A variance from the literal enforcement of the Zoning Ordinance in order to achieve a reasonable development of the property. Whenever owing to exceptional and extraordinary conditions, the literal enforcement of the zoning regulations will result in unnecessary hardship in the development of the property, an appeal for a variance may be filed with the Board of Adjustment.

2. When a property owner can show that a strict application of the terms of this ordinance relating to the use, construction or alteration of buildings or structures or the use of land will impose upon him or her practical difficulties or particular hardship, the Board may consider and allow variations of the strict application of the terms of this ordinance if the variation are in harmony with the general purpose and intent of this ordinance, and the Board is satisfied, under the evidence heard by it, that a granting of the variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable hardship or difficulty so great as to warrant a variation from the Zoning Regulations.

3. The Board may authorize a variance where by reason of exceptional narrowness, shallowness, or shape of specific piece of property of record at the time of the adoption of this ordinance, or by reason of exceptional situation or condition of a specific piece of property, the strict application of a provision of this ordinance would result in peculiar and exceptional practical difficulties and particular hardship upon the owner of the property and amount to a practical confiscation of the property as distinguished from a mere inconvenience to the owner, provided the variation can be granted without substantial detriment to the public good, and without substantially impairing the general purpose and intent of the comprehensive plan as established by the regulations and provisions contained in this ordinance.

(a) Papers required. An appeal for a variance shall include:

1. A site plan, drawn to scale, showing the location and dimension of the lot and of all existing and proposed improvements:
 - a. When an appeal is based upon hardship resulting from sharp changes in topography or unusual terrain features, the site plan shall include topographic information related to known base points of surveys, and profiles of the particular problem involved, including relationship to topographic features of adjoining properties.
 - b. When an appeal is submitted for variance of side yard or rear yard requirements, the applicant shall provide the same information for the properties adjoining the common lot line as may be applicable to the appealed requirements.
 - c. When an appeal is submitted for a variance from front yard setback, or for side yard setback on a side street, the applicant shall furnish a strip map showing the setback of main walls of all buildings on the same side of the street within a distance of 200 feet of the applicant's property.
2. A statement of facts and reasons why the Zoning Regulations should not be applied to the property in question and how the standards governing the Board's action would be satisfied; and
3. A statement by the Enforcing Officer citing the reasons for refusing to issue a permit under the plans submitted.

(b) Basis for action.

- (1) Before acting on an appeal for variance the Board shall consider:
 - a. The facts filed with the application;
 - b. The testimony presented at the public hearing on the appeal;
 - c. The City Staff's technical report on the appeal; and d. The Board's findings in its field inspection of the property.
- (2) The Board may grant an appeal, subject to such terms and conditions as it may fix, provided

ALTERNATIVES:

1. Approve the Variance Request
2. Deny the Variance Request

Parcel R63719 200 ft Buffer

Item 4.



Legend

- ◆ Addresses
- Roads
- R63719 Buffer
- Parcels



The City of Stephenville makes every effort to ensure this map is free of errors but does not warrant the map or its features. The City of Stephenville provides this map without any warranty of any kind whatsoever, either express or implied.

Parcel R63719

Current Zoning B2- Retail & Commercial

Item 4.



Legend

- ◆ Addresses
- Roads
- ▭ Parcels

ZONING

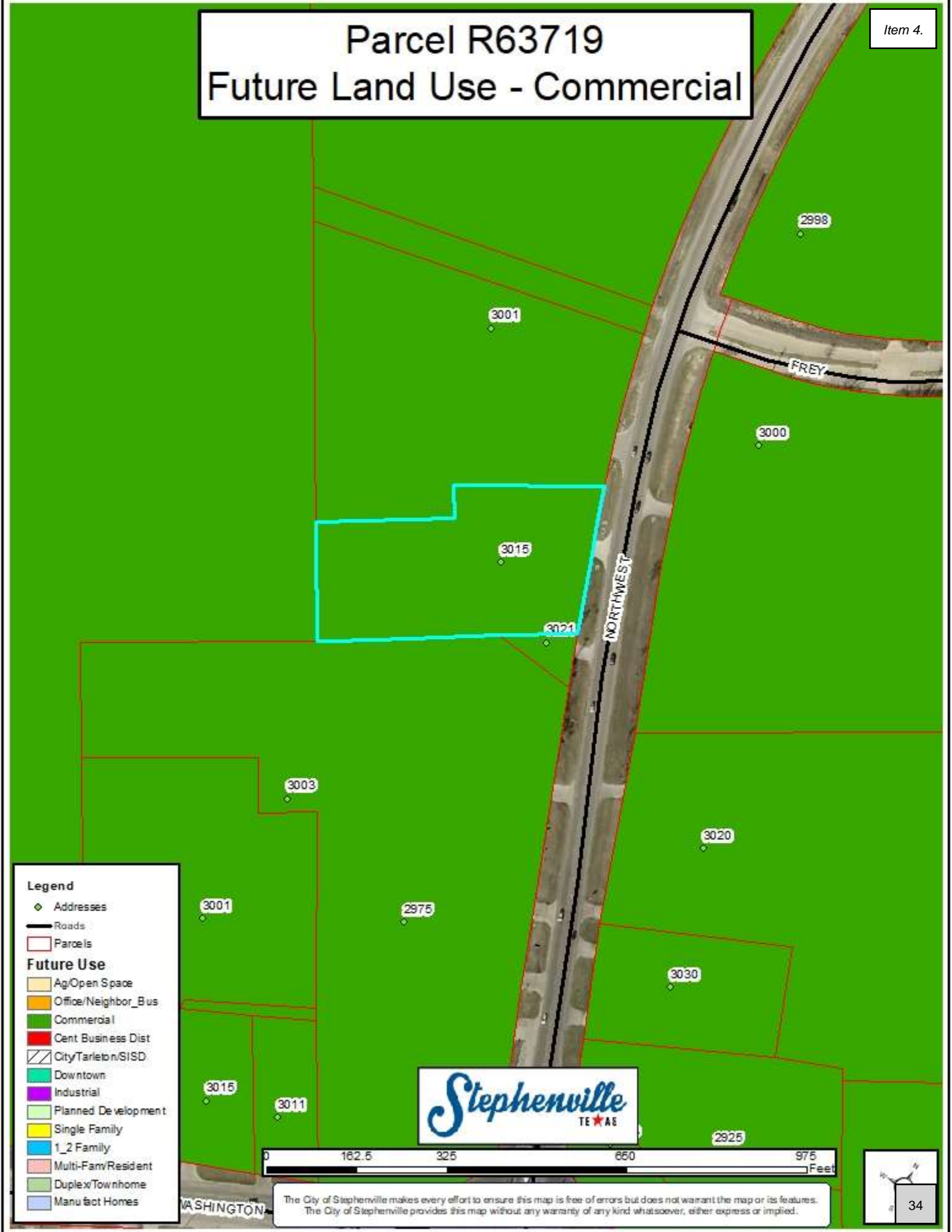
- AG - Agricultural
- B-1 - Neighborhood Business
- B-2 - Retail and Commercial Business
- B-3 - Central Business
- B-4 - Private Club
- CTS - City, Tarleton, School
- DT - Downtown
- IND - Industrial
- PD - Planned Development
- R-1 - Single Family - 7,500
- R-1.5 - Single Family - 6,000
- R-2 - One and Two Family
- R-2.5 - Integrated Housing
- R-3 - Multiple Family
- RE - Single Family - 1 Acre



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Parcel R63719 Future Land Use - Commercial

Item 4.



Legend

- ◆ Addresses
- Roads
- ▭ Parcels

Future Use

- Ag/Open Space
- Office/Neighbor_Bus
- Commercial
- Cent Business Dist
- ▨ City/Tarleton/SISD
- Downtown
- Industrial
- Planned Development
- Single Family
- 1_2 Family
- Multi-Fam/Resident
- Duplex/Townhome
- Manufact Homes



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Parcel R63719 Water & Sewer Utilities

Item 4.



Legend

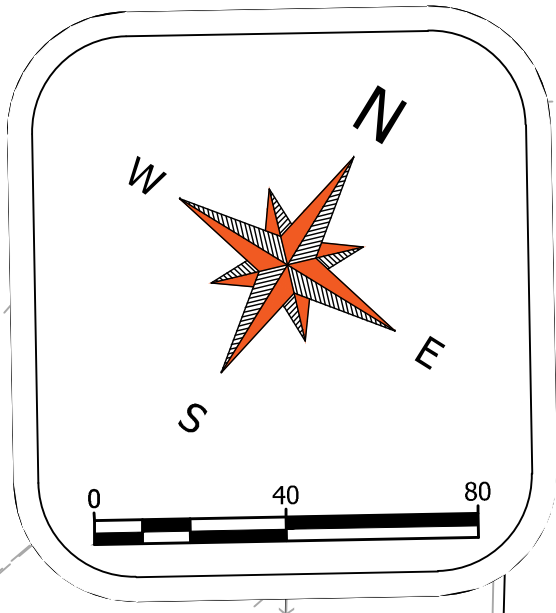
- ◆ Addresses
- Roads
- ▭ Parcels
- Sewer Lines
- Water Lines



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Parcel R63719 200 ft Buffer Addresses

Parcel ID	Parcel Address	Parcel Owner	Owner Address	City	State	Zip Code
R000063719	3015 NORTHWEST LOOP	DNJ INVESTMENT, LLC	1720 10TH ST	FLORESVILLE	TX	78114-2764
R000062656	3000 NORTHWEST LOOP	FAITH LUTHERAN CHURCH OF S VILLE	3000 N W LOOP	STEPHENVILLE	TX	76401-0000
R000040121	2975 W WASHINGTON	GILCHRIST CHARLES W AND	3000 FORT WORTH HWY	HUDSON OAKS	TX	76087
R000063721	3001 NORTHWEST LOOP	MCCOY INVESTMENTS	PO BOX 1028	SAN MARCOS	TX	78667-1028
R000040118	3021 NORTHWEST LOOP	UNITED TELEPHONE OF TEXAS INC	5454 WEST 100TH ST	OVERLAND PARK	KS	66211
R000067066	0 W WASHINGTON	WHITEFIELD DONNA & LINDA HARDIN LIVING TRUST	23002 RED RIVER DR	KATY	TX	77450



REFERENCES:
1. ARNOLD LAND SURVEYING - TOPOGRAPHIC SURVEY - DATE 02/10/2023

LOT 4

MCCOY INVESTMENTS, LTD ET. AL.
CABINET B, SLIDE 187A
(DOC. # 2016-05908 OPRECT)
(LOT 4)

WM. MOTLEY SURVEY,
ABSTRACT NO. 515
LINDA HARDIN, TRUSTEE
VOL. 1409, PG. 957 RRECT

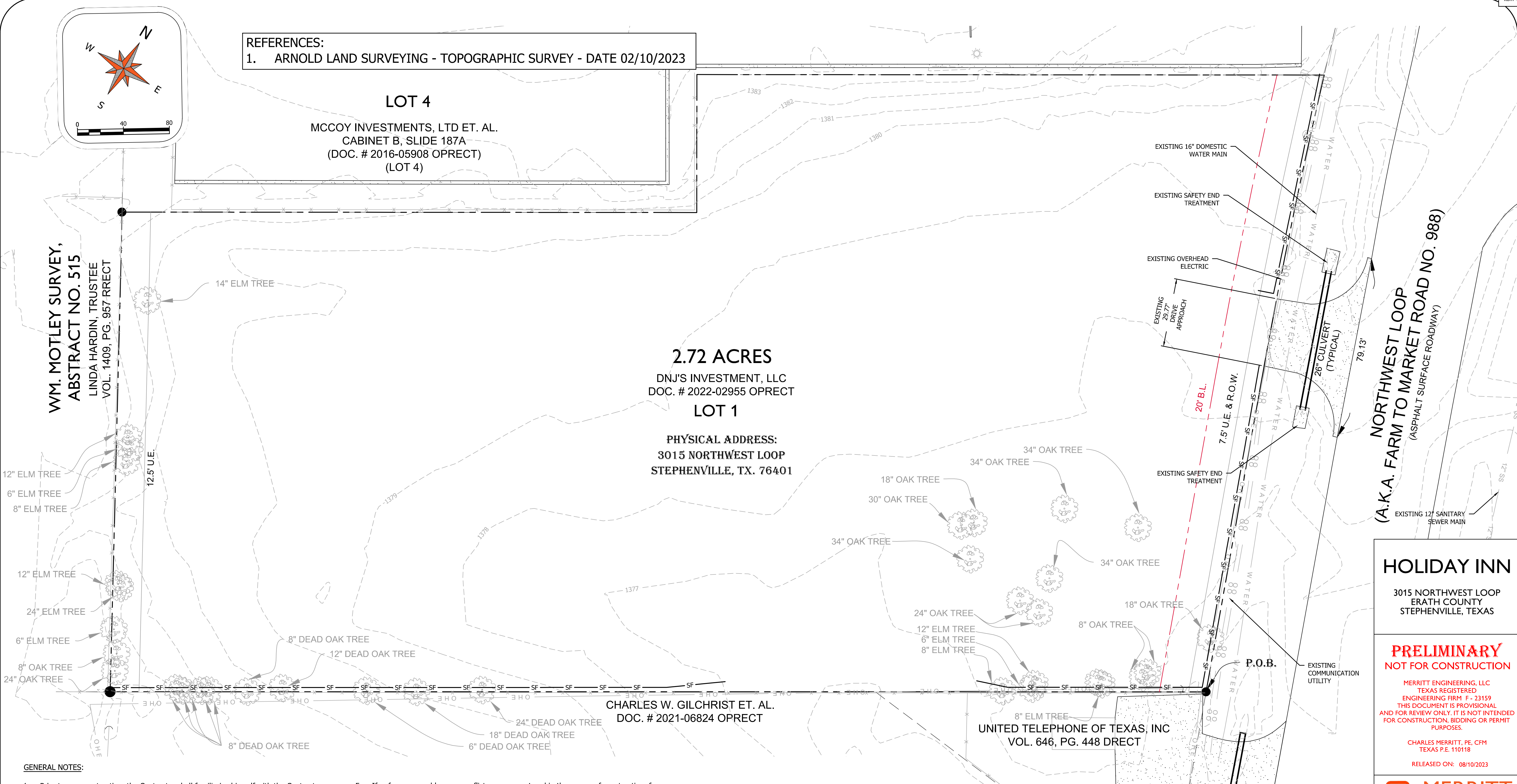
2.72 ACRES

DNJ'S INVESTMENT, LLC
DOC. # 2022-02955 OPRECT

LOT 1

PHYSICAL ADDRESS:
3015 NORTHWEST LOOP
STEPHENVILLE, TX. 76401

NORTHWEST LOOP
(A.K.A. FARM TO MARKET ROAD NO. 988)
(ASPHALT SURFACE ROADWAY)



HOLIDAY INN

3015 NORTHWEST LOOP
ERATH COUNTY
STEPHENVILLE, TEXAS

PRELIMINARY
NOT FOR CONSTRUCTION

MERRITT ENGINEERING, LLC
TEXAS REGISTERED
ENGINEERING FIRM F-23159
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AND FOR REVIEW ONLY. IT IS NOT INTENDED
FOR CONSTRUCTION, BIDDING OR PERMIT
PURPOSES.

CHARLES MERRITT, PE, CFM
TEXAS P.E. 110118

RELEASED ON: 08/10/2023

MERRITT ENGINEERING, LLC
WWW.MERRITTEngineeringServices.com
CHARLIE@MERRITTEngineeringServices.com
PHONE - 254-709-5720 711 E. FREDRICK STREET
RIESEL, TX 76682 TEXAS REGISTERED
ENGINEERING FIRM F-23159

File Save Date: 8/10/2023 3:48 PM	JOB #: 23001
Property Address: 3015 NORTHWEST LP STEPHENVILLE, TX	Prepared For: ASHIRWAD PROPERTY MANAGEMENT, INC.

EXISTING SITE
PLAN

SHEET #:
C03.01

GENERAL NOTES:

1. Prior to any construction, the Contractor shall familiarize himself with the Contract Documents and Specifications, the Plans, including all notes, the City of Stephenville Standard Details and Specifications and any other applicable standards or specifications relevant to the proper completion of the work specified. Failure on the part of the Contractor to familiarize himself with all Standards and Specifications pertaining to this work shall in no way relieve the Contractor of responsibility for performing the work in accordance with all such applicable Standards and Specifications.
2. The Contractor shall have in his possession, prior to construction, all necessary permits, licenses, etc. The Contractor shall have at least one set of approved Engineering Plans and Specifications on-site at all times. The Contractor shall notify the City of Stephenville 48 hours prior to the commencement of any work.
3. The Contractor shall be responsible for providing the required construction staking necessary to complete the construction in accordance with the plans and specifications.
4. The Contractor shall be responsible for providing and maintaining all necessary barricading and all other warning and safety devices to protect the public safety and health until all work has been completed and accepted.
5. If unforeseen problems or conflicts are encountered in the course of construction, for which an immediate solution is not apparent, the Engineer and Owner shall be notified in writing immediately.
6. The Contractor shall be responsible for field locating existing utilities and improvements prior to construction. The locations of existing utilities shown on these plans are approximate. The Contractor shall call 1-800-344-8377 (DIG-TESS), other utility locating services or the underground utility companies a minimum of 48 hours prior to beginning work.
7. The existing utilities shown on these plans have been located from reference information obtained from the respective owner of the utility. The Engineer and Owner do not accept responsibility for the utility locations as shown. It shall be the responsibility of the Contractor to verify the location of all existing utilities prior to construction, to take necessary precautions to protect all facilities encountered and to notify the Engineer promptly of any conflicts with existing facilities.

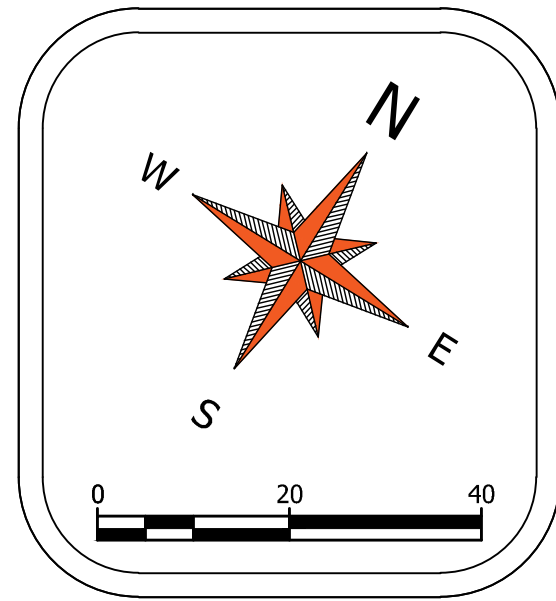
**Know what's below.
Call before you dig.**

THE CONTRACTOR SHALL CONTACT DIG-TESS AT
1-800-344-8377 A MINIMUM OF 48 HOURS PRIOR TO
THE COMMENCEMENT OF ANY CONSTRUCTION
ACTIVITIES.

THESE PLANS AND THE ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND WERE CALCULATED BY APPLYING VERTICAL SHIFTS DERIVED FROM GEOID MODEL 2012A TO ELLIPSOID HEIGHTS CALCULATED FROM GPS/GNSS OBSERVATIONS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, CORS ADJUSTMENT (NAD83 (NA2011)). BEARINGS, DISTANCES, AND ACREAGE ARE GRID, NAD83 STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202.

DRAWING INSERTION UNITS = 2

REVISIONS	
DATE	DESCRIPTION



ZONING: B-2 RETAIL AND COMMERCIAL BUSINESS

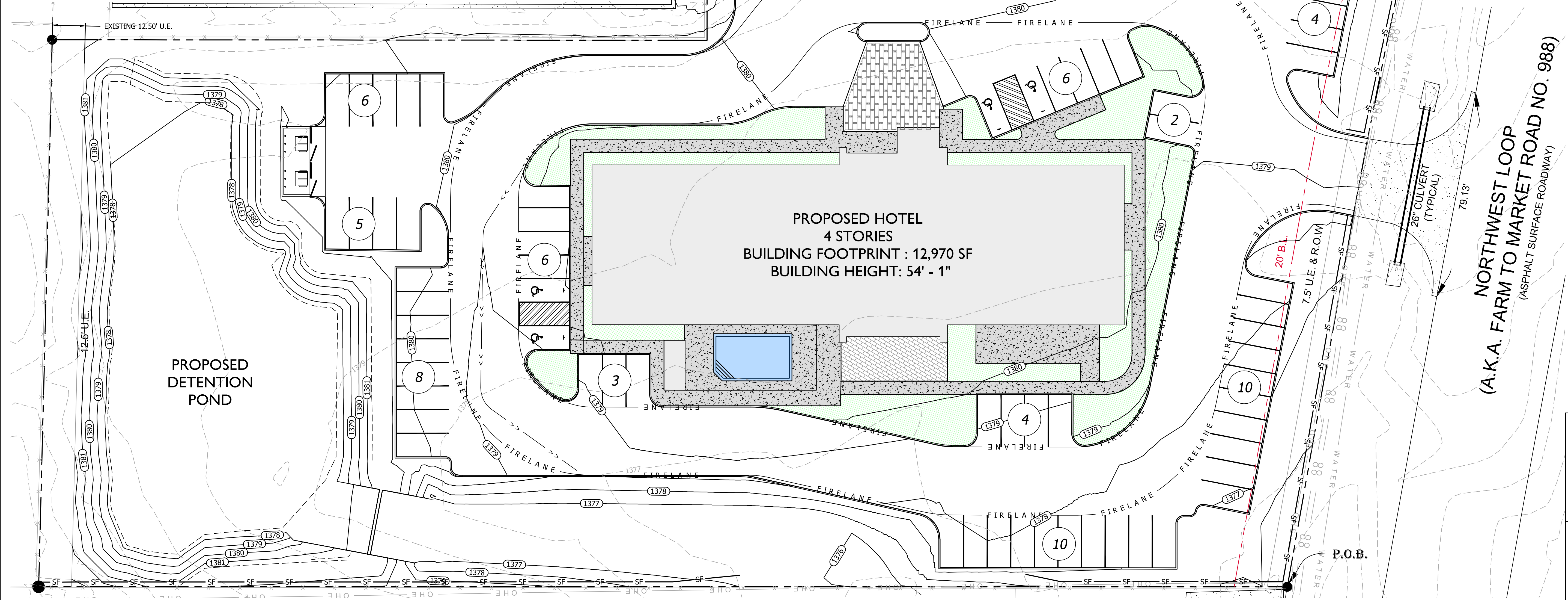
PARKING PROVIDED: 86 SPACES
HANDICAP SPACES PROVIDED: 4 SPACES

TOTAL LOT AREA: 118,483.2 S.F., 2.72 AC.
CONCRETE PAVEMENT : 47,299.44 S.F., 1.09 AC.
BUILDING FOOTPRINT: 12,943.26 S.F., 0.30 AC.
SIDEWALKS: 5,955.52 S.F., 0.14 AC.
LOT COVERAGE: 55.87 %
DETENTION POND WEIR NOT INCLUDED IN LOT COVERAGE CALCULATION ESTIMATE.

NOTES:
 1) ALL SIGNAGE BY SEPARATE PERMIT.

THESE PLANS AND THE ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND WERE CALCULATED BY APPLYING VERTICAL SHIFTS DERIVED FROM GEOID MODEL 2012A TO ELLIPSOID HEIGHTS CALCULATED FROM GPS/GNSS OBSERVATIONS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, CORS ADJUSTMENT (NAD83 (NA2011)). BEARINGS, DISTANCES, AND ACREAGE ARE GRID, NAD83 STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202.

DRAWING INSERTION UNITS = 2



HOLIDAY INN

3015 NORTHWEST LOOP
 ERATH COUNTY
 STEPHENVILLE, TEXAS

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CHARLES MERRITT, PE, CFM
 TEXAS P.E. 110118

RELEASED ON: 08/10/2023

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PAVEMENT RECOMMENDATIONS

- CONCRETE PAVEMENT**
 DUMPSTER PAD : 7" 3,600 PSI CONC. W/ #4 BARS @ 12" O.C.E.W.
 8" LIME TREATED BASE
- FIRELANE/HEAVY DUTY DRIVE AISLE :**
 6" 3,600 PSI CONC. W/ #4 BARS @ 12" O.C.E.W.
 8" LIME TREATED BASE
- PARKING AREAS : (PER ADDENDUM #1)
 (MIDTEX TESTING - PROJECT NO. 220301-1)**
 2" HOT MIX ASPHALT CONCRETE
 6" CRUSHED LIMESTONE BASE MATERIAL
 8" LIME STABILIZED SOIL
- SIDEWALKS**
 4" 3,500 PSI CONC. W/ #3 BARS @ 18" O.C.E.W.
 BASE - 4" ENGINEER FILL.

- NOTES**
- SEE THE GEOTECHNICAL REPORT FOR COMPLETE PAVEMENT CONSTRUCTION REQUIREMENTS.
 - LIME STABILIZATION MAY BE ELIMINATED IF CONCRETE PAVEMENT THICKNESSES ARE INCREASED BY 1 IN.
 - THICKNESS LISTED ABOVE ARE MINIMUM, NOT AVERAGES.
 - STRIP THE EXISTING PAVEMENT, NATIVE SUBGRADE TO REMOVE TOPSOIL, VEGETATION, AND OTHER DELETERIOUS MATERIALS. THE EXPOSED SUBGRADE SHOULD BE PROOF ROLLED BEFORE COMPACTION OR TREATMENT FOLLOWING TXDOT ITEM 216 EXCEPT FOR ROLLER SIZE. THE USE OF A FULLY LOADED DUMP TRUCK IS RECOMMENDED. AREAS, WHICH PROVE UNSTABLE SHOULD BE CUT OUT AND REPLACED. POSITIVE SURFACE DRAINAGE SHOULD BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION (ESPECIALLY IN LOW AREAS) TO HELP KEEP PAVEMENT SUBGRADE IN A DRY AND STABLE CONDITION.
 - NATIVE CLAYS (NO RESTRICTION ON PLASTICITY INDEX) OR IMPORTED FILL WITH A LIQUID LIMIT OF 50 OR LESS MAY BE USED AS FILL TO BRING THE SITE TO GRADE IN PAVEMENT AND OTHER GENERAL AREAS, BUT PROPER PROCESSING, PLACEMENT, AND TESTING OF THIS MATERIAL ARE ESSENTIAL.
 - SUBGRADE SOILS SHOULD BE PROCESSED SOIL PLACED IN LOOSE LIFTS NOT EXCEEDING 9 INCHES IN THICKNESS AND COMPACTED TO >95% ASTM D 698 (STANDARD PROCTOR) AND MAINTAIN MOISTURE AT-1 TO +3 PERCENTAGE POINTS OF OPTIMUM MOISTURE. THE FILL MUST NOT BE ALLOWED TO DRY BEFORE PLACEMENT OF SUCCEEDING LIFTS.
 - PAVEMENT SHALL BE CONSTRUCTED IN GENERAL ACCORDANCE WITH THE REQUIREMENTS OF ITEM 360, CONCRETE PAVEMENT, TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS, STREETS AND BRIDGES, LATEST EDITION (EXCEPT AS AMENDED BY RECOMMENDATIONS HEREIN). CONCRETE SHOULD BE SPECIFIED TO MEET A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,600 PSI.
 - SAWCUT 0.125-INCH-WIDE CONTROL JOINTS TO A MINIMUM DEPTH OF ONE-THIRD THE SLAB THICKNESS TO CONTROL CRACKING. JOINTS SHOULD LATER BE WIDENED TO CREATE A RESERVOIR FOR SEALANT (WIDTH AND DEPTH DEPEND UPON THE TYPE OF SEALANT TO BE USED AS WELL AS JOINT SPACING - TO BE DETERMINED BY OTHERS). THE LAYOUT OF JOINTS SHOULD FORM PANELS THAT ARE AS SQUARE AS POSSIBLE (MAXIMUM ASPECT RATIO OF 1.25 RECOMMENDED). TIMING OF THE CUTTING OF JOINTS IS CRITICAL TO THEIR PERFORMANCE AND SHOULD BE WITHIN 4 TO 18 HOURS OF CONCRETE PLACEMENT. SEALING OF JOINTS AND CRACKS AND MAINTENANCE OF THE SEAL IS CRITICAL FOR SATISFACTORY PERFORMANCE.
 - DOWELS SHOULD BE SPACED A MAXIMUM OF 12 INCHES APART. DOWEL BARS SHOULD BE SMOOTH, EPOXY-COATED BARS, A MINIMUM OF 16 INCHES LONG, SHOULD BE PLACED AT THE CENTER OF THE SLAB, AND SHOULD BE HELD IN ALIGNMENT DURING CONCRETE PLACEMENT USING DOWEL BASKETS.
 - SLABS SHOULD BE ISOLATED FROM ANY SHRINKAGE RESTRAINTS SUCH AS UTILITY BOXES, FOOTINGS, BOLLARDS, ETC. BY THE FULL-DEPTH COMPRESSIBLE MATERIAL.
 - ADEQUATE SITE DRAINAGE TO PREVENT PONDING ON OR NEAR THE PAVEMENT.
 - CURE CONCRETE VIA THE USE OF LIQUID MEMBRANE CURING COMPOUND.
 - ALLOW A MINIMUM OF 7 DAYS CURING TIME BEFORE PERMITTING TRAFFIC ON THE PAVEMENT.
 - CONCRETE TO BE AIR ENTRAINED 5% +/- 1%.
 - CONCRETE REINFORCEMENT INSTALLMENT SHALL BE IN ACCORDANCE WITH THE C.O.W. STANDARD SPECIFICATIONS FOR CONSTRUCTION, SECT. 5.1 "CONCRETE AND REINFORCEMENT."
 - CONSTRUCTION TRAFFIC SHOULD NOT DRIVE ON NEWLY PLACED CONCRETE UNTIL IT HAS REACHED 75% OF ITS DESIGN STRENGTH. CONCRETE AND REINFORCEMENT MATERIALS PLACEMENT MUST COMPLY WITH SECTION 5.1 OF THE CITY OF WACO STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2013.
 - A BURLAP DRAG FINISH IS REQUIRED BY THE CITY OF WACO FOR CONCRETE PAVEMENT.

REVISIONS

DATE	DESCRIPTION

File Save Date: 8/10/2023 3:48 PM
 Job #: 23001

Property Address: 3015 NORTHWEST LP STEPHENVILLE, TX
 Prepared For: ASHIRWAD PROPERTY MANAGEMENT, INC.

PROPOSED SITE PLAN

SHEET #: **C03.02**

ARCHITECTURAL SYMBOLS

	CENTERLINE OF COLUMN
	CENTERLINE OF STUD
	FACE OF STUD OR CMU WALL

NOTES:

EXTERIOR WINDOWS: KAWNEER ENCORE 4 1/2" X 1 3/4" FRAMING SYSTEM. ALTERNATE GUESTROOM WINDOWS QUAKER E300 SERIES FW WINDOWS. COLOR: CLEAR ANODIZED ALUMINIUM EXTERIOR, INTERIOR AND SILL FLASHING.

EXTERIOR/INTERIOR STOREFRONT FRAMING AND ENTRANCE SWING DOORS: KAWNEER ENCORE 6" X 1 3/4" FRAMING SYSTEM, INCLUDING 1" THICK INSULATED ALUMINIUM METAL PANEL, SET INTO GLAZING POCKET AND SPANDRAL INSULATION. COLOR: CLEAR ANODIZED ALUMINIUM EXTERIOR AND INTERIOR.

EPDM ROOF SYSTEM, CARLISLE'S BLACK EPDM 90 mil SURE SEAL, COMPLETE WITH TREATED WD BLKG, VAPOR BARRIER, ROOF INSULATION, WALKWAY PADS AND ROOF BOARDS.

AUTOMATIC SLIDING ENTRANCE DOORS: EXTERIOR: BESAM OVERHEAD CONCEALED SL500 WITH ECODOOR SEALS, MAGNETIC CATCHES AND EXTERIOR INSULATED CLEAR GLASS. INTERIOR: BESAM OVERHEAD CONCEALED SL500 WITH INTERIOR CLEAR GLASS. COLOR: CLEAR ANODIZED ALUMINIUM EXTERIOR AND INTERIOR.

GLAZING COMPONENTS: EXTERIOR INSULATED CLEAR GLASS: GL-10 VIRACON VUE1-50. EXTERIOR INSULATED SPANDRAL GLASS: GL-10S VIRACON VUE1-50 WITH HIGH-CAPACITY WHITE V175 CERAMIC FRIT.

INSULATED GLASS SPACERS: CLEAR ANODIZED ALUMINIUM. INTERIOR CLEAR GLASS: GL-1 VIRACON CLEAR FLOAT GLASS. (T) DENOTES TEMPERED SAFETY GLASS IS REQUIRED.

EXTERIOR INSULATED HOLLOW METAL DOORS AND FRAMES: EXTERIOR GRADE PAINT, CUSTOM COLOR TO MATCH PLAIN ALUMINIUM.

APC WALL BASE. CUSTOM FABRICATED WALL BASE, NATURAL APC SMOOTH PITLESS SURFACE WITH CLEAR SEALER FINISH. PROVIDE MITERED CORNERS AND ALIGN JOINTS WITH EIFS JOINTS.

GUESTROOM EXTERIOR GRILLS. RUSKIN ELF150 THIN LINE STATIONARY LOUVER AND BLANK OFF BACKING PANELS. COLOR: CLEAR ANODIZED ALUMINIUM, COLOR TO MATCH ADJACENT WALL.

STONE: BORAL STONE PRODUCTS CULTURED STONE, PRO-FIT LEDGESTONE SOUTHWEST BLEND.

SIT MTL-WH, SHEET METAL GRAVEL STOP TYPE COPPING. PAC-CLAD CUSTOM FABRICATED ROOF EDGE FLASHING AND FASCIA. COLOR: BONE WHITE.

SIT MTL-GR, ELEVATOR OVERRUN GRAVEL STOP TYPE COPPING, SCUPPER AND DOWNSPOUT. PAC-CLAD CUSTOM FABRICATED ROOF EDGE FLASHING AND FASCIA. COLOR: SLATE GRAY.

EIFS NOTE: PROVIDE HIGH IMPACT SYSTEM WITHIN 6'-0" ABOVE GRADE.

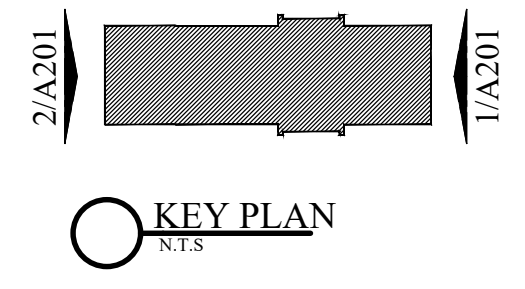
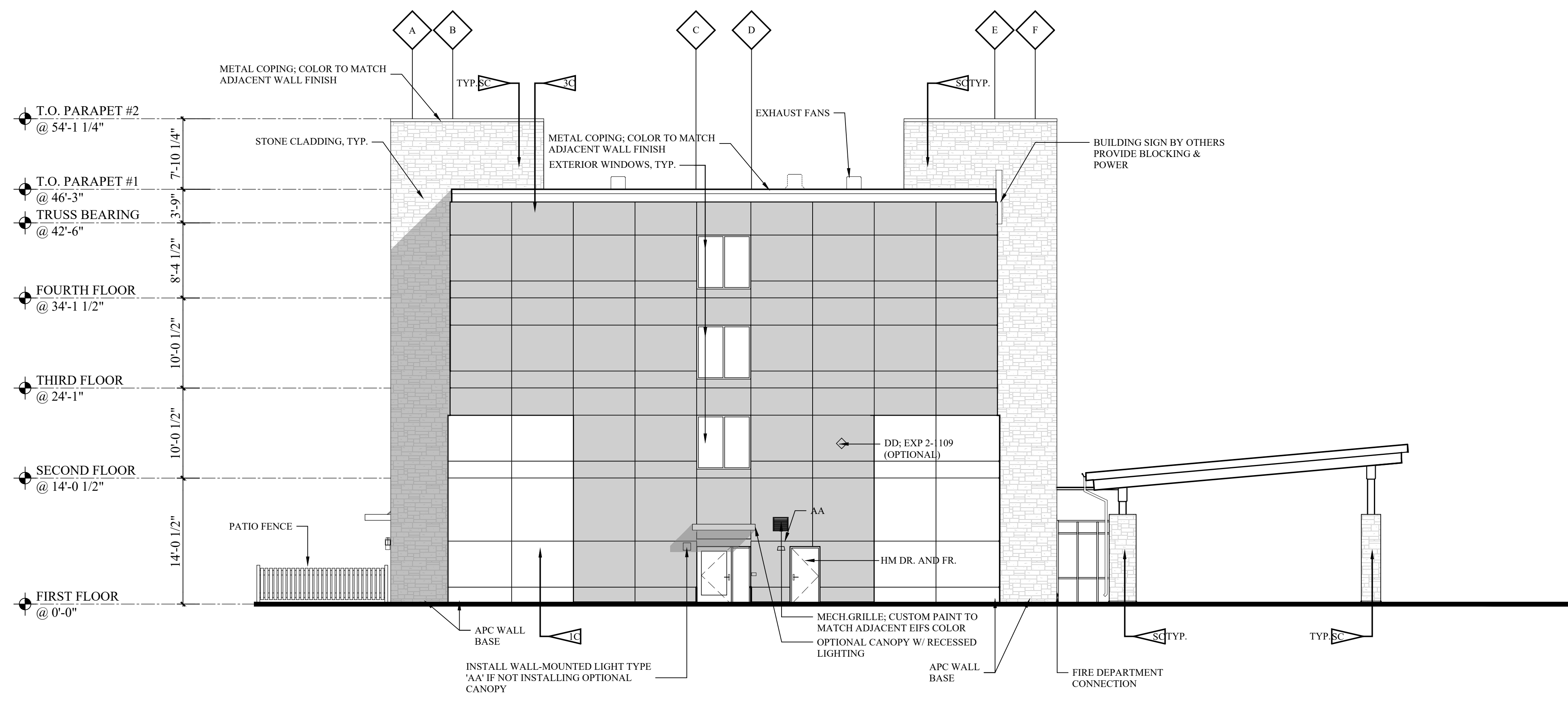
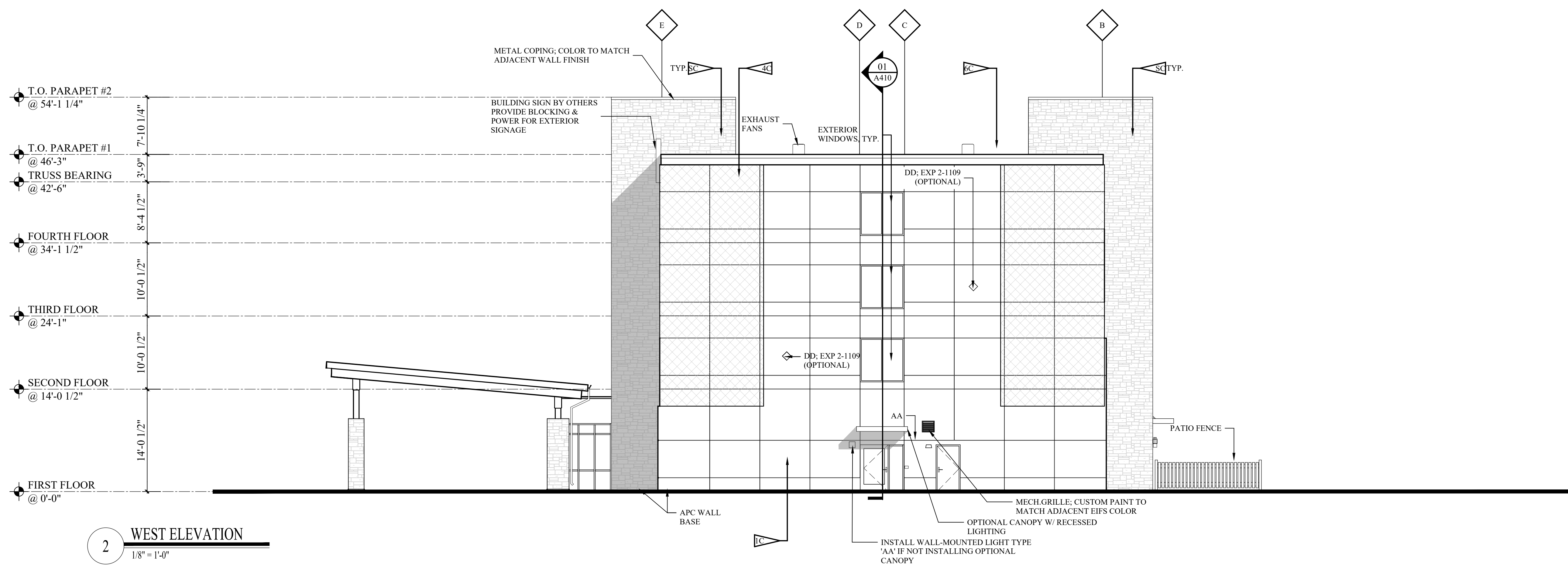
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VERTICAL PICKETS SPACED 1" APART ON 3 HORIZONTAL RAILS. CONTEMPORARY SCHEME COLOR RAVENWOOD OR NATURAL SCHEME COLOR ASPEN GREY.

MATERIAL LEGEND

	EXTERIOR CLADDING SYSTEM - EIFS 1C / EIFS 1N COLOR: SHERWIN WILLIAMS 'ACCESSIBLE BEIGE' (SW7036); COATING EXTRA COURSE; ULTRACRETE TEXTURE		EXTERIOR CLADDING SYSTEM - EIFS 4C / EIFS 4N COLOR: SHERWIN WILLIAMS ROOKWOOD TERRA COTTA (SW2803); COATING FINE; ULTRACRETE TEXTURE
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	EXTERIOR CLADDING SYSTEM - EIFS 3C / EIFS 3N COLOR: SHERWIN WILLIAMS 'VIRTUAL TAUPE' (SW7039); COATING; ULTRACRETE TEXTURE		EXTERIOR CLADDING SYSTEM - EIFS 6C / EIFS 6N COLOR: SHERWIN WILLIAMS GRAY SHINGLE (SW7670); COATING FINE; ULTRACRETE TEXTURE

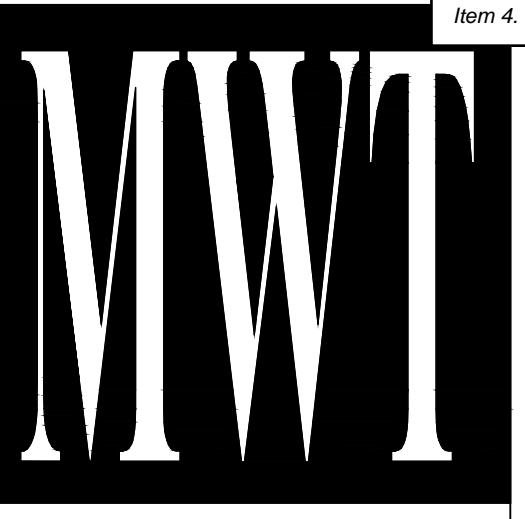
NOTE: 'C' DENOTES CONTEMPORARY COLOR SCHEME; 'N' DENOTES NATURAL COLOR SCHEME



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- YOU AGREE TO PROVIDE A COMPLETE DESIGN BUILD SOLUTION BASED ON THE DESIGN PROFESSIONAL'S EXTENDED DESIGN FOR THIS PROJECT.
- YOUR BID INCLUDES ALL THE STEPS, PROCESS, MATERIALS, PRODUCTS, GOVERNING PERMITS AND APPROVALS NECESSARY TO PROVIDE A COMPLETED AND WARRANTED SYSTEM OF INSTALLATION THAT DOES NOT REQUIRE ANOTHER CONTRACTOR OR PRODUCT TO COMPLETE YOUR SCOPE OF WORK.
- YOUR BID MUST HAVE INCLUDED ANY DESIGN INFORMATION REFERENCE WITHIN ANY CIVIL, ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND/OR PLUMBING DRAWINGS. ALSO NOTE THESE DRAWINGS ARE SCHEMATIC AND ARE INTENDED TO SHOW ONLY BASIC CONCEPTS AND GENERAL INFORMATION. THE COMPLETE OF YOUR WORK MAY INCLUDE OTHER STEPS, PROCESS, MATERIALS, PRODUCTS, LABEL, GOVERNING PERMITS AND/OR APPROVALS NECESSARY TO PROVIDE A COMPLETE SYSTEM INSTALLATION WHETHER SUGGESTED BY THE DRAWING OR NOT.
- AS AN EXAMPLE ITEMS AND/OR TASKS LIKE: TIRE CAULK, DRAFT STOP, FASTENERS, ANCHORS, EMBLEMENTS, DUMPSTERS, DEBRIS CLEAN UP, ETC ARE YOUR RESPONSIBILITY. ANY WORK NOT COMPLETED IN A TIMELY MANNER OR INCOMPLETE WORK WILL BE BILLED BACK TO THE CONTRACTOR AND/OR SUBCONTRACTOR, AT THE OWNER'S DISCRETION.



3827 BILLO ROAD
ALDEN, NY, 14004
716-631-0600

DESIGN PROFESSIONAL

LICENSE #:

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DRAWING QUESTIONS
CA@MWTUSA.COM
1-800-717-5816

PROJECT OWNER
DNJ'S Investments, LCC
1720 10th Street, Floresville
TX 78114

STEPHENVILLE, TX



REVISIONS

NO.	DESCRIPTION	DATE	BY

ISSUED FOR:
60% SET
NOT FOR CONSTRUCTION

PROJECT NO.: 21-060
DATE: 6/14/23
DRAWN BY: RH/MA/EY
CHKD. BY: AS/DE

EXTERIOR
ELEVATION

SHEET
A201

ARCHITECTURAL SYMBOLS

	CENTERLINE OF COLUMN
	CENTERLINE OF STUD
	FACE OF STUD OR CMU WALL

NOTES:

EXTERIOR WINDOWS. KAWNEER ENCORE 4 1/2" X 1 3/4" FRAMING SYSTEM. ALTERNATE GUESTROOM WINDOWS QUAKER E300 SERIES FW WINDOWS. COLOR: CLEAR ANODIZED ALUMINIUM EXTERIOR, INTERIOR AND SILL FLASHING.

EXTERIOR/INTERIOR STOREFRONT FRAMING AND ENTRANCE SWING DOORS. KAWNEER ENCORE 6" X 1 3/4" FRAMING SYSTEM, INCLUDING 1" THICK INSULATED ALUMINIUM METAL PANEL. SET INTO GLAZING POCKET AND SPANDRAL INSULATION. COLOR: CLEAR ANODIZED ALUMINIUM EXTERIOR AND INTERIOR.

EPDM ROOF SYSTEM. CARLISLE'S BLACK EPDM 90 mil SURE SEAL. COMPLETE WITH TREATED WD BLKG. VAPOR BARRIER, ROOF INSULATION, WALKWAY PADS AND ROOF BOARDS.

AUTOMATIC SLIDING ENTRANCE DOORS. EXTERIOR: BESAM OVERHEAD CONCEALED SL500 WITH ECODOOR SEALS, MAGNETIC CATCHES AND EXTERIOR INSULATED CLEAR GLASS. INTERIOR: BESAM OVERHEAD CONCEALED SL500 WITH INTERIOR CLEAR GLASS. COLOR: CLEAR ANODIZED ALUMINIUM EXTERIOR AND INTERIOR.

GLAZING COMPONENTS. EXTERIOR INSULATED CLEAR GLASS: GL-108 VIRACON VUE1-50. EXTERIOR INSULATED SPANDRAL GLASS: GL-108 VIRACON VUE1-50 WITH HIGH-CAPACITY WHITE V175 CERAMIC FRIT.

INSULATED GLASS SPACERS: CLEAR ANODIZED ALUMINIUM. INTERIOR CLEAR GLASS: GL-1 VIRACON CLEAR FLOAT GLASS. (T) DENOTES TEMPERED SAFETY GLASS IS REQUIRED.

EXTERIOR INSULATED HOLLOW METAL DOORS AND FRAMES. EXTERIOR GRADE PAINT, CUSTOM COLOR TO MATCH PLAIN ALUMINIUM.

APC WALL BASE. CUSTOM FABRICATED WALL BASE. NATURAL APC SMOOTH PITLESS SURFACE WITH CLEAR SEALER FINISH. PROVIDE MITERED CORNERS AND ALIGN JOINTS WITH EIFS JOINTS.

GUESTROOM EXTERIOR GRILLS. RUSKIN ELF150 THIN LINE STATIONARY LOUVER AND BLANK OFF BACKING PANELS. COLOR: CLEAR ANODIZED ALUMINIUM, COLOR TO MATCH ADJACENT WALL.

STONE. BORAL STONE PRODUCTS CULTURED STONE. PRO-FIT LEDGESTONE. SOUTHWEST BLEND.

SIT MTL-WH. SHEET METAL GRAVEL STOP TYPE COPPING. PAC-CLAD CUSTOM FABRICATED ROOF EDGE FLASHING AND FASCIA. COLOR: BONE WHITE.

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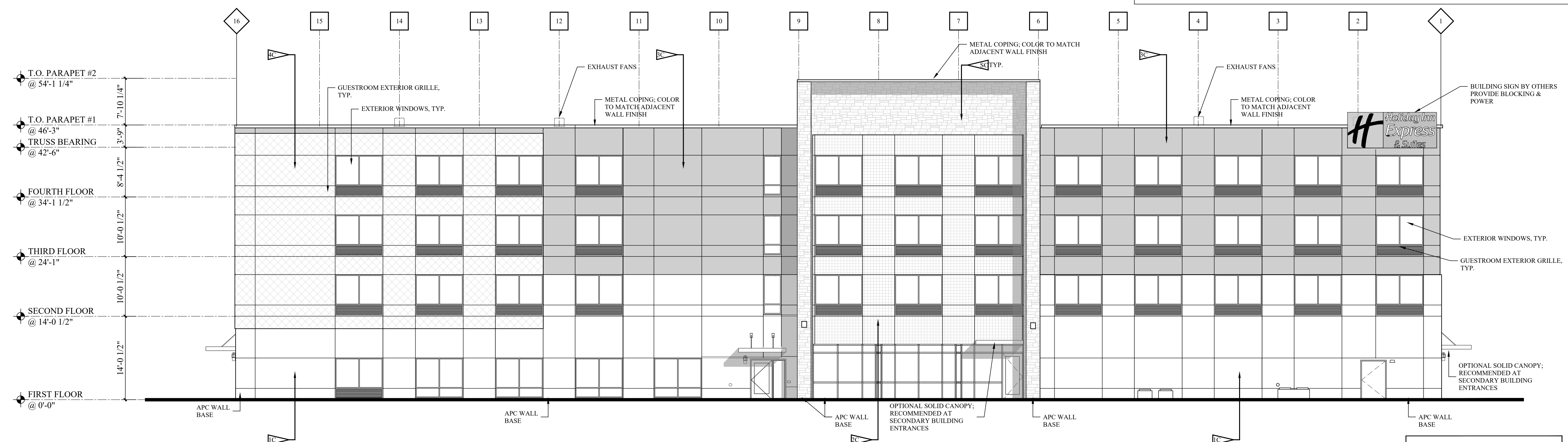
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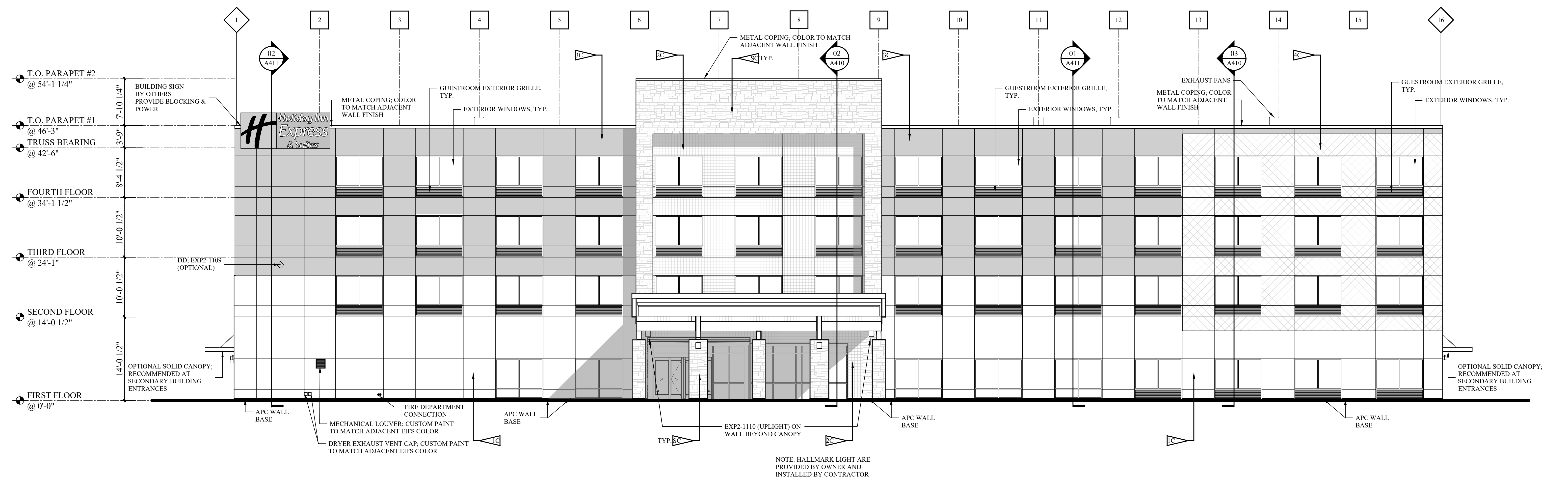
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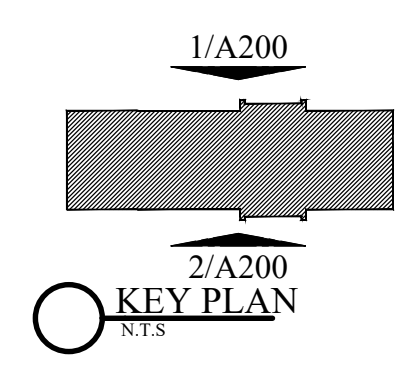
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2 SOUTH ELEVATION
1/8" = 1'-0"



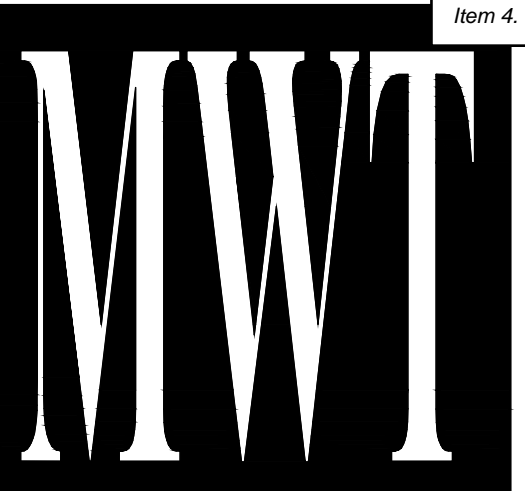
1 NORTH ELEVATION
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ELEVATION

SHEET
A200