



COUNCIL WORK SESSION

Wednesday, October 19, 2022 at 2:00 PM

COUNCIL MEMBERS:

Mayor Rick Scholl
Council President Doug Morten
Councilor Patrick Birkle
Councilor Stephen R. Topaz
Councilor Jessica Chilton

LOCATION & CONTACT:

HYBRID: Council Chambers & Zoom (details below).

Website | www.sthelensoregon.gov

Email | kpayne@sthelensoregon.gov

Phone | 503-397-6272

Fax | 503-397-4016

AGENDA

CALL WORK SESSION TO ORDER

VISITOR COMMENTS - *Limited to three (3) minutes per speaker*

DISCUSSION TOPICS - *The Council will take a break around 4:00 p.m.*

1. 2:10 p.m. Presentation by Strategic Network Group for Broadband Survey Results - *Michael Curri*
2. 2:30 p.m. Planning Semi-Annual Report - *Jacob Graichen and Jenny Dimsho*
3. 2:45 p.m. Review of Proposed Increases in Planning Department Fees - *Jacob*
4. 2:55 p.m. Review of Proposed Changes to Sidewalk Construction and Repair Code - *Jacob*
5. 3:05 p.m. Discussion on Citizens' Day in the Park Event - *Crystal King and Lisa Scholl*
6. 3:20 p.m. Review Rules of Conduct for City Facilities - *John*
7. 3:35 p.m. Report from City Administrator John Walsh

ADJOURN

EXECUTIVE SESSION

Following the conclusion of the Council Work Session, an Executive Session is scheduled to take place to discuss:

- Labor Negotiator Consultations, under ORS 192.660(2)(d); and
- Real Property Transactions, under ORS 192.660(2)(e); and
- Consult with Counsel/Potential Litigation, under ORS 192.660(2)(h).

Other than Labor Negotiator Consultations, representatives of the news media, staff and other persons as approved, shall be allowed to attend the Executive Session. All other members of the audience are asked to leave the Council Chambers.

FOR YOUR INFORMATION

Upcoming Dates to Remember:

- October 19, 2:00PM, Council Work Session, Council Chambers/Zoom
- October 19, 7:00PM, Council Regular Session, Council Chambers/Zoom

Future Public Hearing(s)/Forum(s):

- None scheduled at this time.

VIRTUAL MEETING DETAILS

Join: <https://us02web.zoom.us/j/88927525241?pwd=ZEFUc29neVVzME1jSnkrUkdNQWM4UT09>

Meeting ID: 889 2752 5241

Passcode: 330054

Dial: 719-359-4580

The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired or for other accommodations for persons with disabilities should be made at least 48 hours before the meeting to City Hall at 503-397-6272.

Be a part of the vision and get involved...volunteer for a City Board or Commission! For more information or for an application, go to www.sthelensoregon.gov or call 503-366-8217.

Semi-Annual Planning Department Report

Jacob Graichen, AICP
City Planner

Jennifer Dimsho, AICP
Associate Planner &
Community Development
Project Manager

October 19, 2022

Council Update

City of St. Helens

FOUNDED 1850

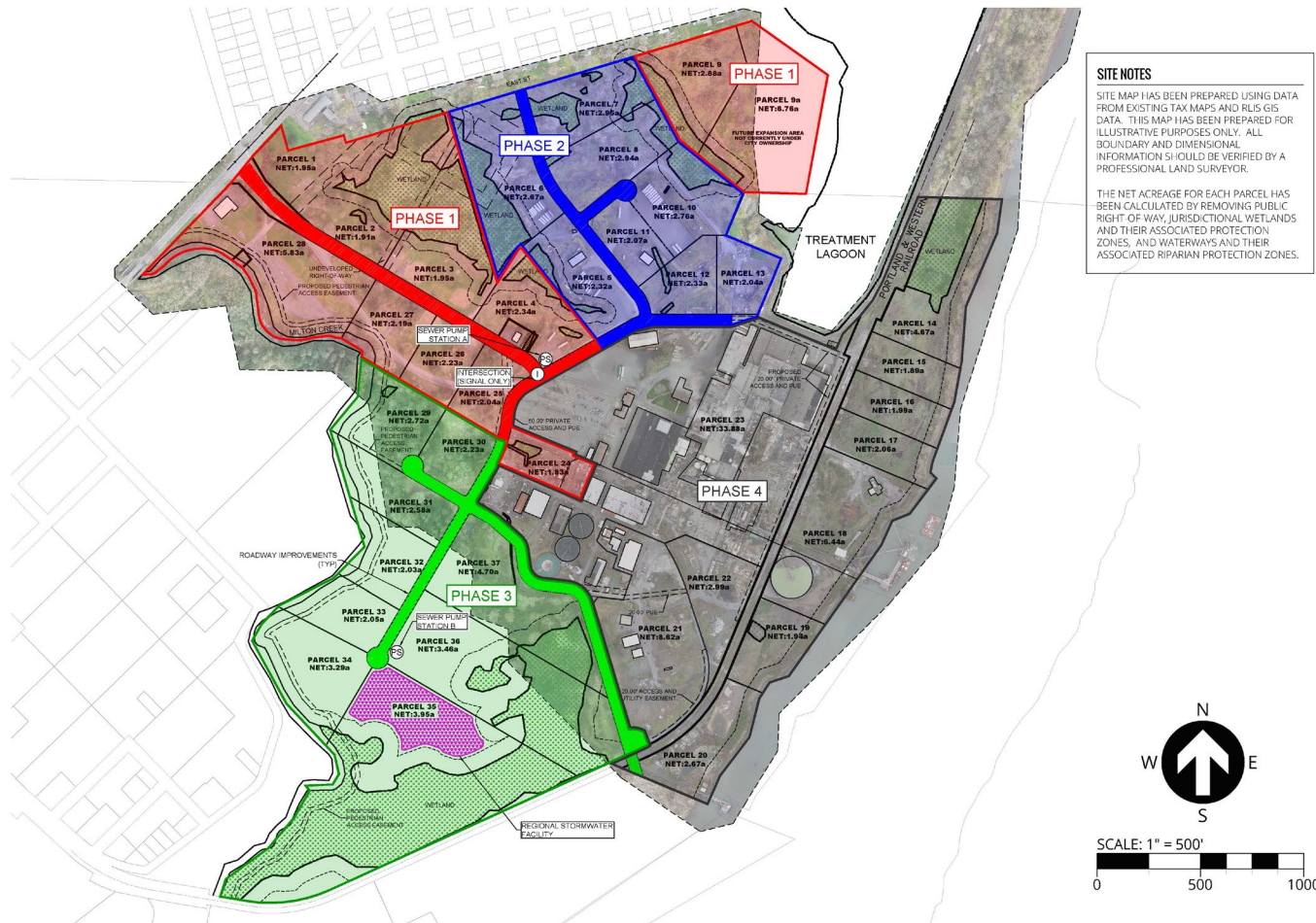
Project Management, Etc.

What has happened the last six months?

City of St. Helens

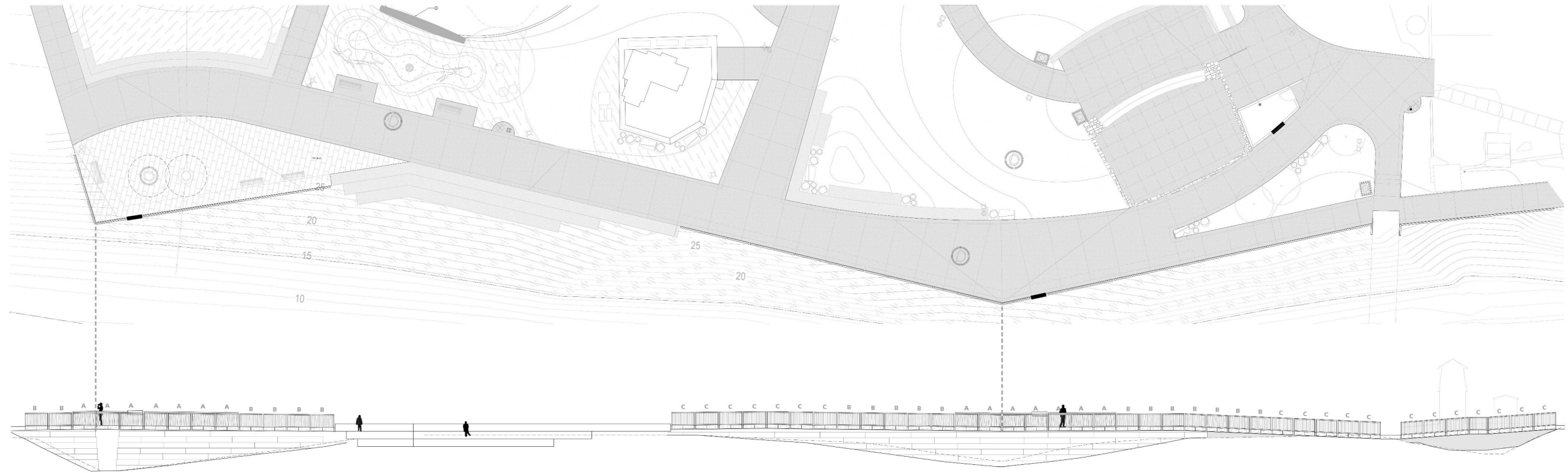
FOUNDED 1850

St. Helens Industrial Business Park



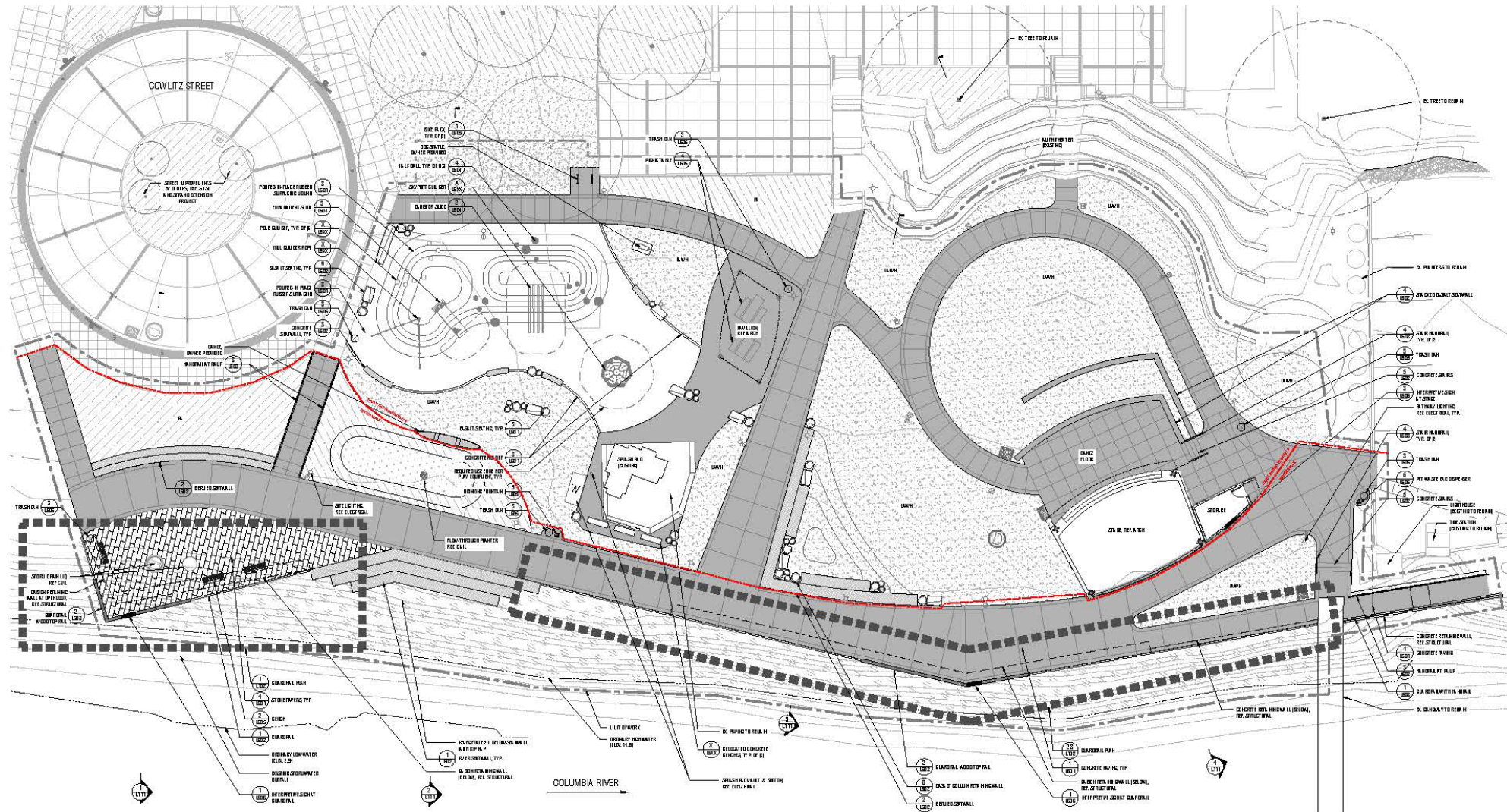
- St. Helens Industrial Business Park Parcelization & Financing Plan (Adopted January 2021)
- Assisting with Design/Engineering
 - Phase I** Infrastructure & Initiating
 - Phase II** Site Prep
- Pre-application meeting scheduled for October 13 with PGE and Mackenzie for partitioning PGE parcel and establishing new sub-station land use
- Multiple land use applications needed

Riverwalk Phase I



- Moving into 90% design for Riverwalk Phase I, includes playground and park expansion area to be funded with Parks SDCs
- Met with County Commissioners to confirm connection to asphalt walkway
- Discussing NOAA/Lighthouse proximity

Riverwalk Phase I



- **Buy America Waiver Request or Compliance** for OPRD Land & Water Conservation Fund Grant
- Mayer/Reed Amendment for additional services to cover this waiver and/or compliance

Community Development Block Grant Columbia Pacific Food Bank Relocation

Item #2.



- Final Administrative Closeout issued by CDBG Grant Coordinator!
- Paid final retainage invoice. Project complete!

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Other Project Management Support

- **Business Oregon Special Public Works Loan Program**

Riverfront District Public Improvements

- Streets & Utilities Project breaking ground in November. Working with project team on community/business outreach plan to communicate construction impacts.

- **Oregon State Marine Board Technical Assistance Program**

Grey Cliffs Park in-water facility design

- Project is on hold until state hires Environmental Coordinator permit technician

- **Oregon Parks & Recreation Local Government Grant**

Campbell Park Sports Courts Project

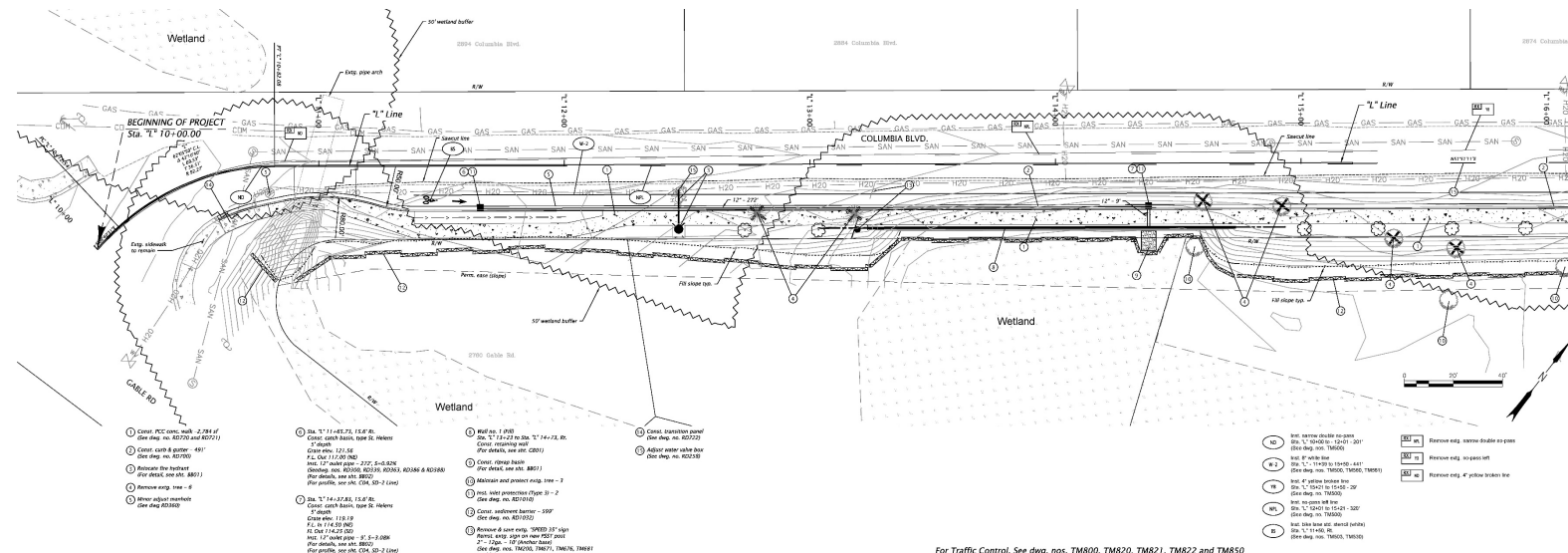
- State closed this project out! Full reimbursement received!
- City Engineering working on a plan to detain stormwater underground instead of above ground.
- Parks & Recreation desires to improve park with new play equipment near sport courts

Other Project Management Support

• Oregon Safe Routes to School Grant

Columbia Blvd. Sidewalks from Gable to Sykes

- Engineering Dept. managing this project. Extended grant deadline to February 2024.
- 2022 project cost estimates are 3x our original budget from 2017.
- Engineering working to lower costs and locate additional local funds to cover increased costs



For Traffic Control, See dwn. nos. TM800, TM820, TM821, TM822 and TM850

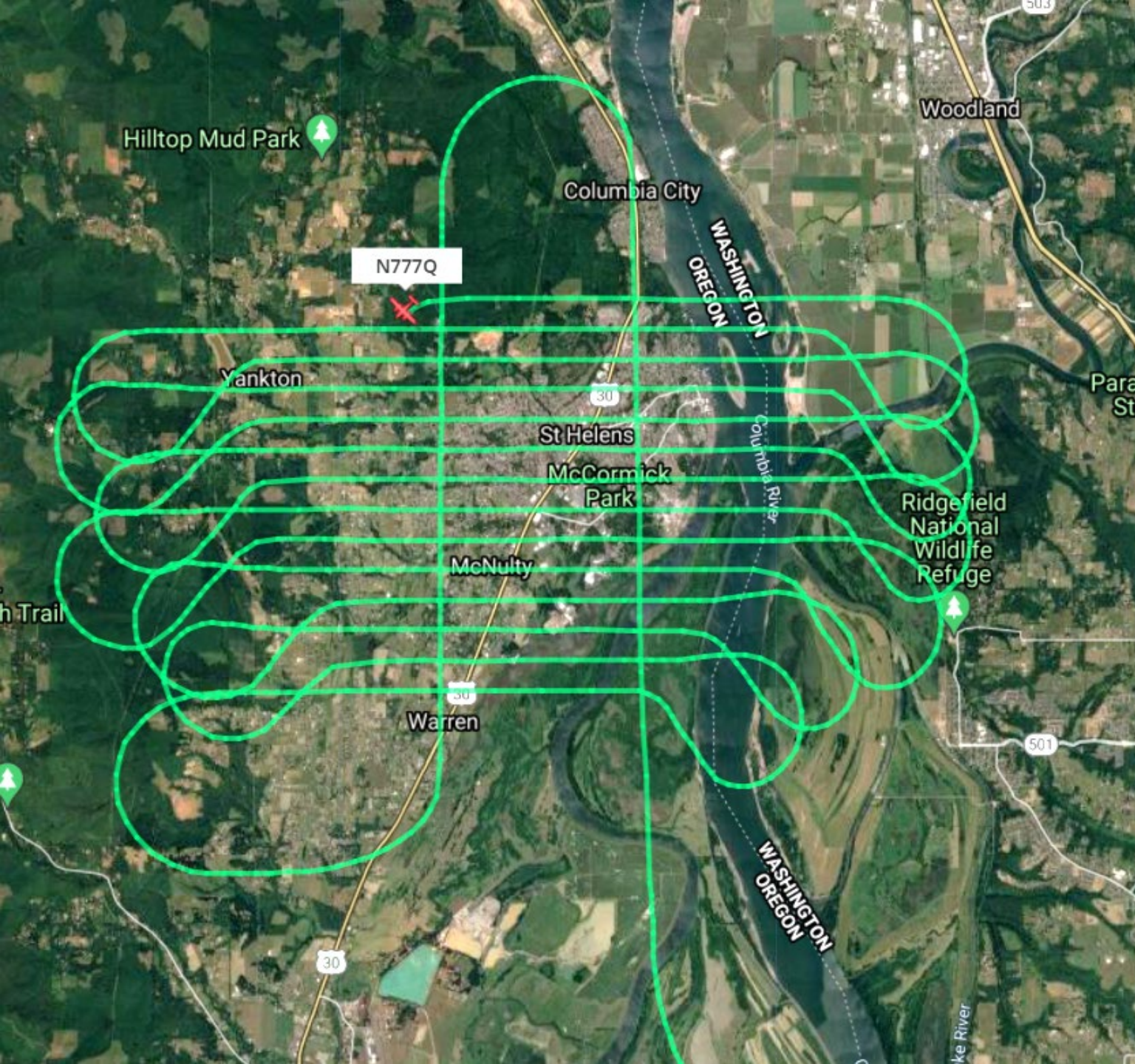
Other Planning Department Support

- Organized several of our PC members and myself to attend a virtual OAPA/DLCD Planning Commissioner Training
- Attended multiple Meet'n'Greets
 - St. Helens Mainstreet Alliance new Executive Director, Amara Liebelt
 - Northwest Oregon Housing Authority Executive Director, Elissa Gertler
 - State of Oregon partner tour/waterfront site visit with DEQ/OBDD, DLCD (including OBDD Special Public Works loan officer)



Urban Renewal Agency Support

- Intergovernmental Agreement between City Council and URA in April 2022 (to cover OBDD loan expenses)
- No required URA meetings the last 6 months






City of St. Helens

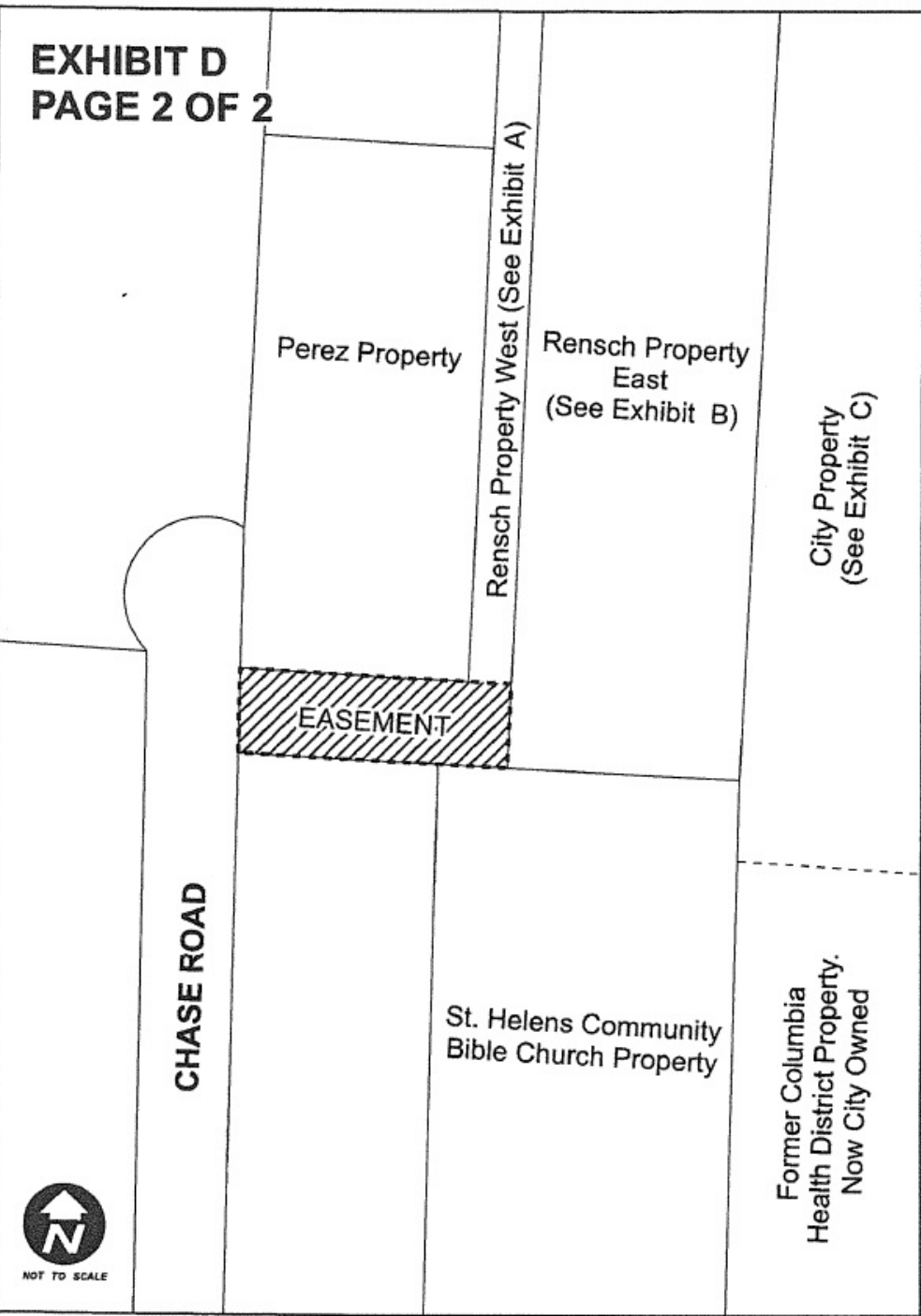
Planning Commission Membership Handbook



- CITY OF ST. HELENS, OREGON**
PLANNING COMMISSION PROACTIVE PROCEDURES
 The Planning Commission and acting Historic Landmarks Commission hereby adopts the following proactive procedures. This is the original and there are no prior versions to be repealed.
- 
- (1) Any Planning Commissioner can request that an agenda item include a proactive matter for Commission consideration ("Proactive Item"). In order to place a "Proactive Item" on the Planning Commission Agenda, the proposing Commissioner shall at least 20 business days before the week prior to the scheduled Planning Commission meeting, submit the "Proposed Item" for Staff review and, if desired, comment.
 - (2) The proposed "Proactive Item" submitted to Staff must contain the following elements:
 - (a) The proposed Proactive Item shall identify in the presented materials how the item or matter for Commission study, planning, approval, action, proposed legislation, or other is within the Jurisdiction of the Planning Commission and shall identify specifically which provisions of the St. Helens Municipal Code (SHMC) Section 2.08.080 and/or Chapter 17.36 SHMC is/are applicable for the purposes of Jurisdiction;

- Above average recruitment efforts, cont...
- Proactive initiative, cont...
- HB 3115 ←NEW!

EXHIBIT D
PAGE 2 OF 2



Current Planning Update

What has happened the last six months?

City of St. Helens

FOUNDED 1850

HOULTON MIXED-USE BUILDING

KATHRYN KING & GAVIN CARPENTER

150 NORTH 15TH STREET
ST. HELENS, OREGON 97051

Item #2.

DRAWING INDEX

SHEET	DESCRIPTION
GENERAL SHEETS	
G-1	GENERAL PROJECT INFO, VICINITY MAP & INDEX
G-2	GENERAL NOTES
CIVIL SHEETS	
C-1	EXISTING CONDITIONS PLAN
C-2	SITE DEMOLITION PLAN
C-3	EROSION & SEDIMENT CONTROL PLAN
C-4	SITE DEVELOPMENT PLAN
C-5	DIMENSIONED SITE PLAN
C-6	UTILITY PLAN
C-7	STORMWATER & GRADING PLAN
C-8	PARKING & LANDSCAPING PLAN
C-9	ILLUMINATION PLAN
ARCHITECTURAL SHEETS	
A-1	FIRST FLOOR PLAN
A-2	SECOND FLOOR PLAN
A-3	EXTERIOR ELEVATIONS
A-4	EXTERIOR ELEVATIONS
DETAIL SHEETS	
D-1	ESC DETAILS

GENERAL SITE INFO:

PROJECT NAME: HOULTON MIXED-USE BUILDING
PROPOSED USE: MIXED-USE: COMMERCIAL & MULTI-DWELLING
TOTAL LOT AREA: 15,118 SQ FT (APPROX 0.35 ACRES)
PARCEL 2 (NEW BLDG): 6,243 SQ FT (0.14 ACRES)
PARCEL 3 (NEW PARKING): 9,198 SQ FT (0.21 ACRES)
NEW BUILDING SIZE: 10,596 SQ FT
NEW BUILDING FOOTPRINT: 5,760 SQ FT
NEW BUILDING HEIGHT: 33'-0" (35' MAX.)

SPECIAL NOTE:

LOWER COLUMBIA ENGINEERING HAS ONLY ADDRESSED THE PROPOSED DESIGN. THESE DRAWINGS ARE INTENDED FOR THE SITE DEVELOPMENT REVIEW CRITERIA REQUIREMENTS. THESE DRAWINGS ARE CONSIDERED PRELIMINARY ONLY.



VICINITY MAP

SCALE: NTS

PROJECT TEAM

ENGINEER & DESIGNER

LOWER COLUMBIA ENGINEERING
58640 MCNUITY WAY
ST. HELENS, OR 97051
PHONE: (503) 366-0399

CONTACT: MATTHEW ALEXANDER
matt@lowercolumbiaengr.com

OWNER

KATHRYN KING & GAVIN CARPENTER
150 NORTH 15TH ST.
ST. HELENS, OR 97051
PHONE: (503) 997-9035

CONTACT: KATHRYN KING
kathryn@kjproperties.com

GENERAL CONTRACTOR

CORNICE CONSTRUCTION
PO BOX 672
SCAPPOOSE, OR 97066
PHONE: (503) 396-5399

CONTACT: JOSH KOMP
jcomp@corniceconstruction.net

EXISTING SITE AREA CALCULATIONS

GROSS LOT AREA (SUBJECT PROPERTY): 15,118 SQ FT (100%)
IMPERVIOUS / PAVED AREA: 242 SQ FT (1.6%)
OPEN / LANDSCAPED AREAS: 14,876 SQ FT (98.4%)

GROSS LOT AREA* (ADJACENT PROPERTY): 15,500 SQ FT (100%)
IMPERVIOUS / PAVED AREA: 11,445 SQ FT (73.8%)
OPEN / LANDSCAPED AREAS: 4,055 SQ FT (26.2%)

PROPOSED SITE AREA CALCULATIONS

GROSS LOT AREA (SUBJECT PROPERTY): 15,118 SQ FT (100%)
IMPERVIOUS / PAVED AREA: 12,106 SQ FT (80.1%)
OPEN / LANDSCAPED AREAS: 3,012 SQ FT (19.9%)
BUILDING FOOTPRINT: 5,760 SQ FT (38.1%)

*ADJACENT PROPERTY AREAS REMAIN UNCHANGED AND ARE SHOWN HERE FOR REFERENCE.

PARKING REQUIREMENTS

COMMERCIAL REQUIREMENT: 1 SPACE PER 400 SQ. FT.
COMMERCIAL AREA PROPOSED: 3,174 SQ. FT.
COMMERCIAL PARKING REQUIRED: 8 SPACES (3174/400 = 7.94)

RESIDENTIAL REQUIREMENT: 2 SPACES PER UNIT
8 TOTAL
RESIDENTIAL REQUIREMENT: 12 SPACES

TOTAL PARKING REQUIRED: 20 SPACES

1:1 ON-STREET PARKING CREDIT: 17 SPACES (14 EXIST. + 3 NEW)

TOTAL ON-SITE PARKING REQUIRED: 3 SPACES
TOTAL ON-SITE SPACES PROVIDED: 11 SPACES (1 ADA AND 2 VISITOR)

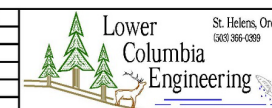
ON-SITE STANDARD SPACES (9'x18'): 8 SPACES (INCLUDES 1 ADA SPACE)
ON-SITE COMPACT SPACES (8'x18'): 3 SPACES
ON-STREET SPACES (8.5'x22.5'): 17 SPACES
ACCESSIBLE SPACES (9'x18'): 1 SPACE
BICYCLE PARKING: 8 SPACES

PLOT PLAN
SCALE: 1" = 20'



DATE: 06/28/2022
PRELIMINARY
NOT
FOR CONSTRUCTION

REV.	REVISION RECORD	DATE



St. Helens, Oregon
(503) 366-0399

PROJ. NO.	3255	GENERAL PROJECT INFO, VICINITY MAP & INDEX
DWG. BY	MLA	HOULTON MIXED-USE BUILDING
APPR. BY	KATHRYN KING & GAVIN CARPENTER	SHEET
FILE	D-3255-G-1	DATE 04/05/2022

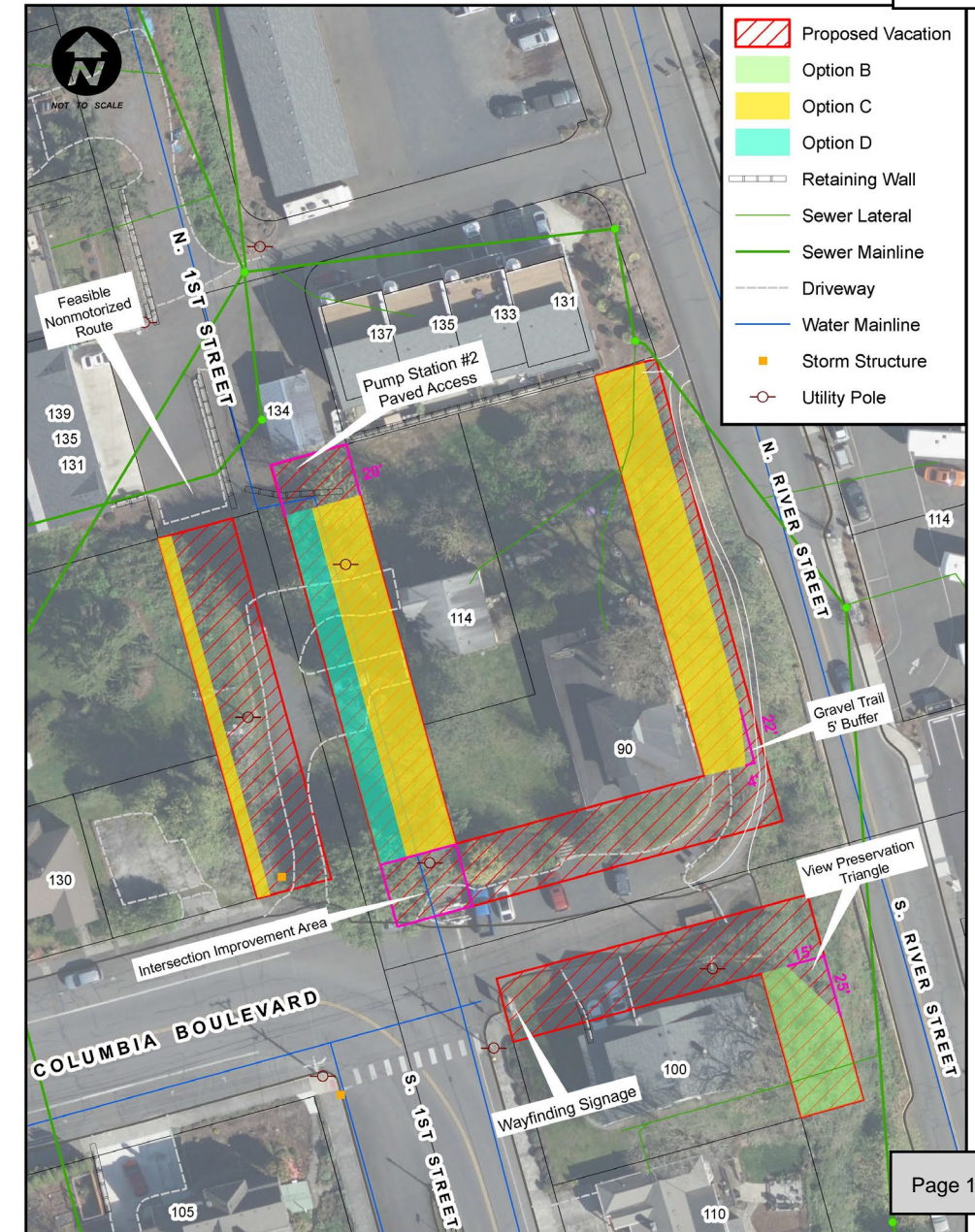
G-1

Applicants ultimately withdrew Columbia Blvd./N.1st St./N. & S. River Street Vacation application, but not before staff spent hours preparing report and presentations for:

- Planning Commission meeting
- Parks & Recreation Commission meeting
- Council meeting #1
- Council meeting #2 (Cont. Deliberations)

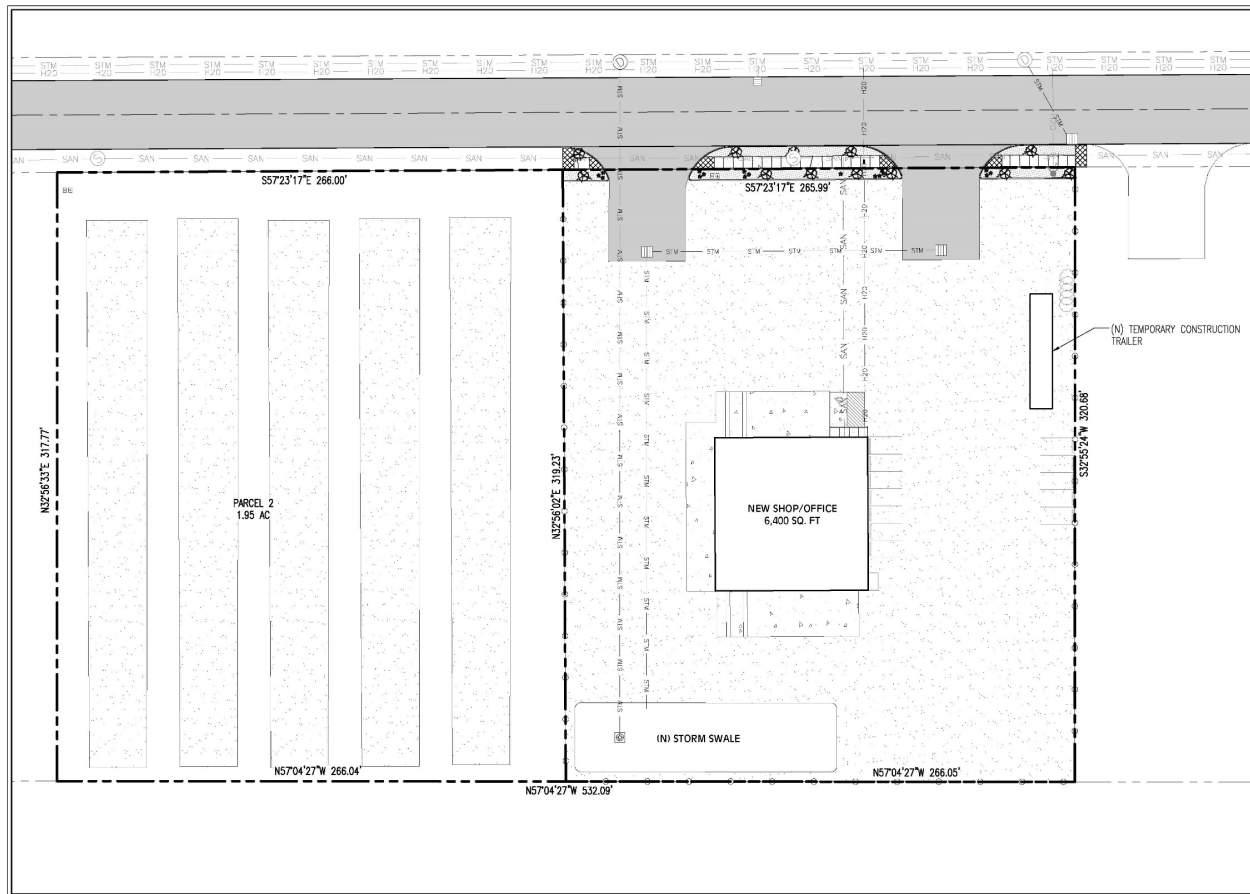
STREET VACATION (VAC.2.22)
N. 1st St., N. & S. River St., and Columbia Blvd.

Item #2.



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Pellham – Truck Repair Shop/Office





06.09.2021 10:20





06.09.2021 10:19



1958

VIOLETTE VILLA PARK



LEGACY
HEALTH

MAYOR'S
CAFE



STUFF HUT!

Where St. Helens gets it's stuff

4
7
5



MOTEL and NEW TRAILER PARK

Motel With Six Convenient Units — Nine Monthly Units
Kitchens — Showers

Thirty-two Trailer Places, Many With Patios,
Lights — Showers — Sewer Connections

Laundry With Dryers — Hot Water
Near School, Shopping Center

VIOLETTE'S VILLA

495 S. Columbia River Highway

Phone 821



JERRY VIOLETTE
OWNER

Item #2.

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1983

2000



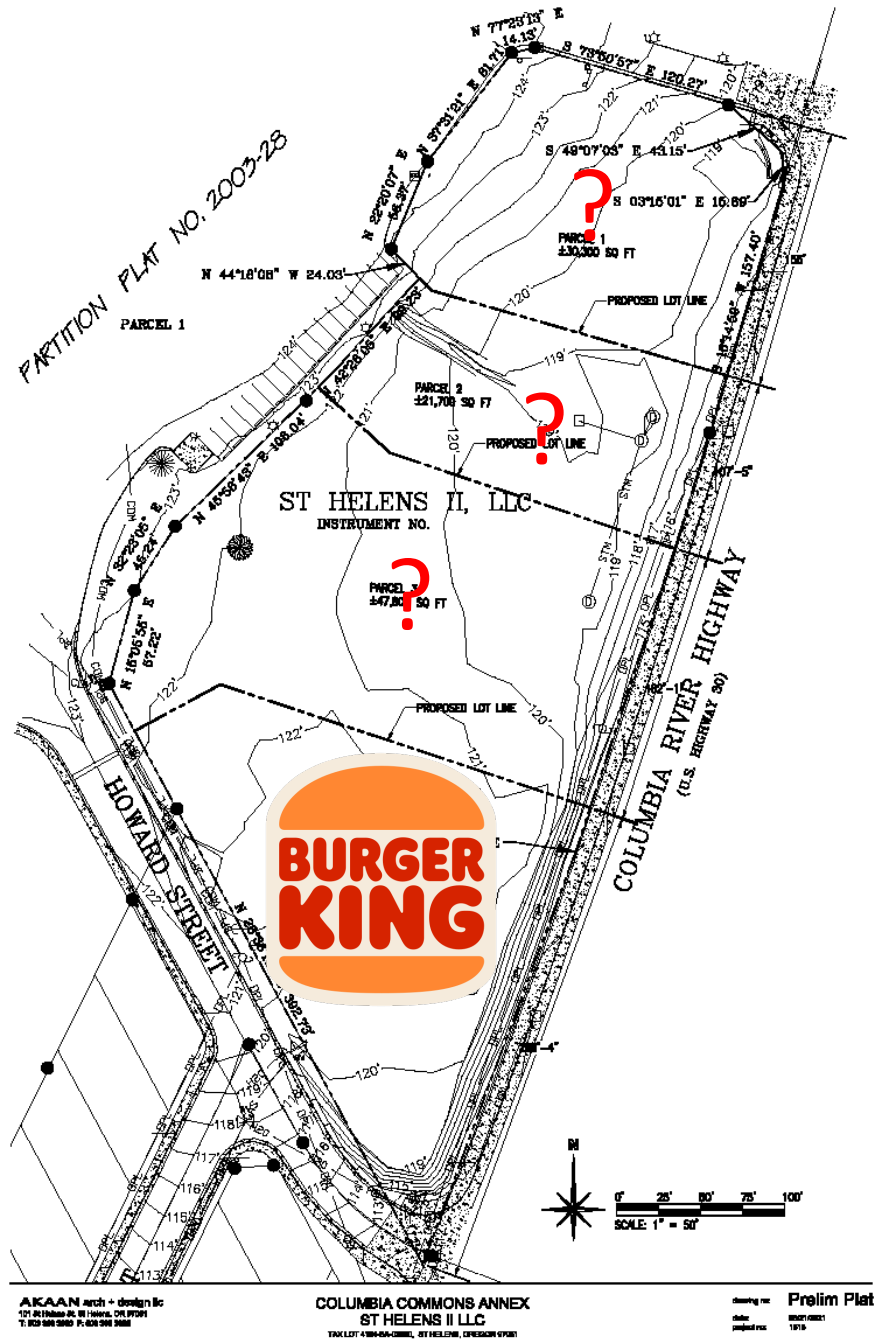
Item #2.

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2009









06.29.2021 10:47





06.28.2017



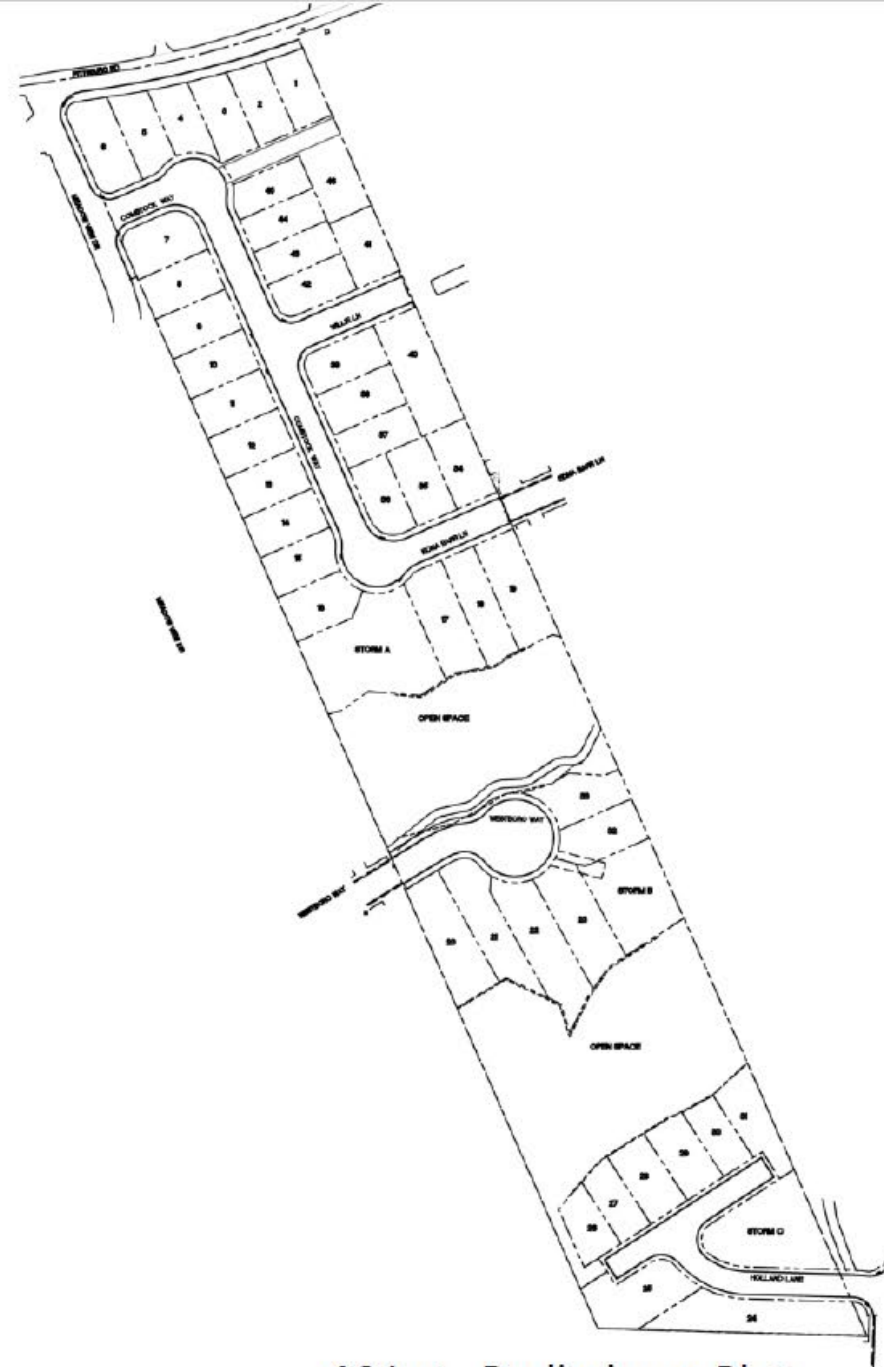


06.28.2017

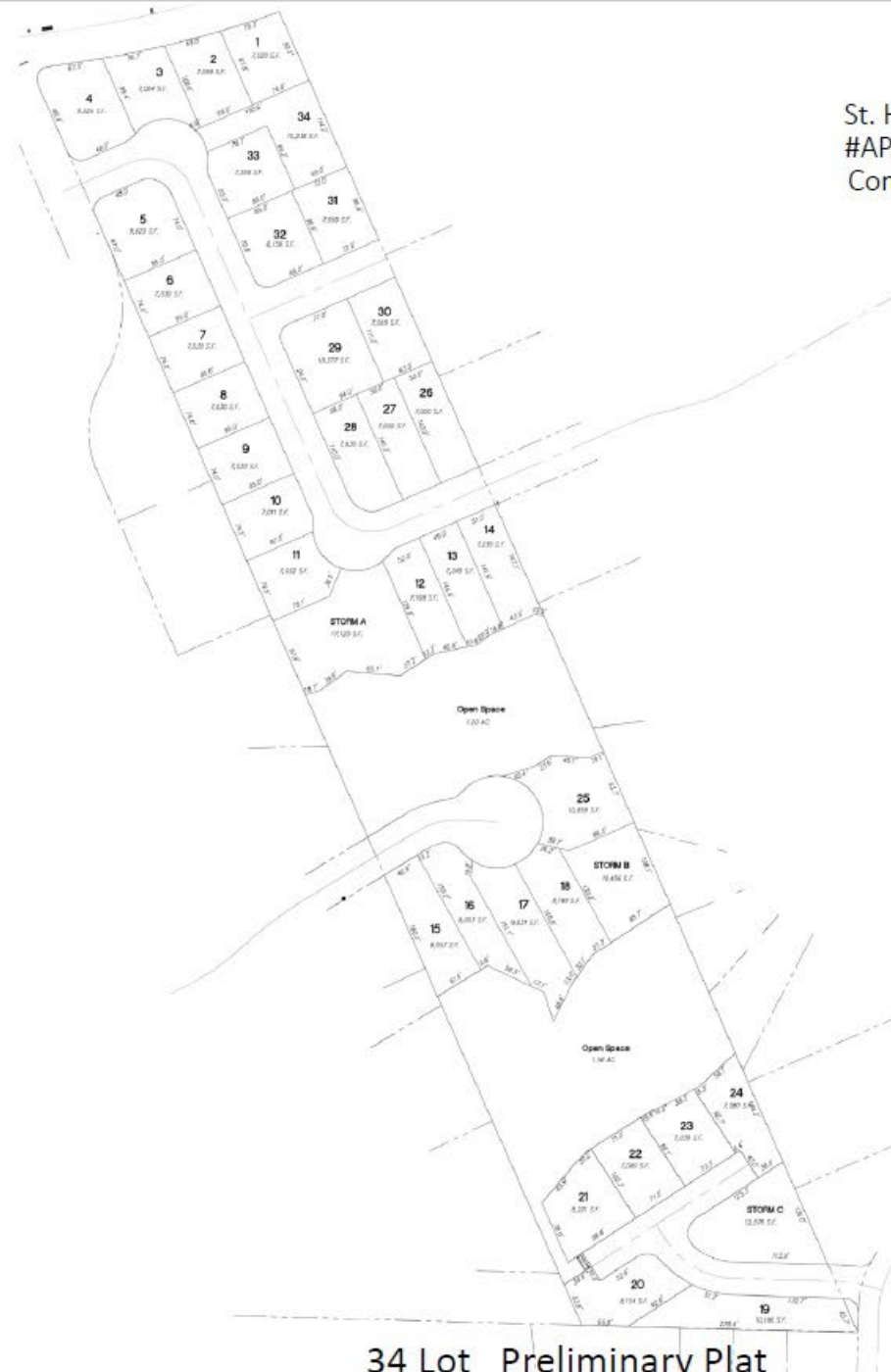


04.05.2022

St. Helens City Council
#AP.1.22 of #SUB.2.22
Comstock Subdivision



46 Lot Preliminary Plat



34 Lot Preliminary Plat

2022 CALENDAR

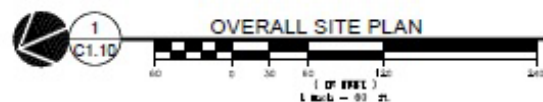
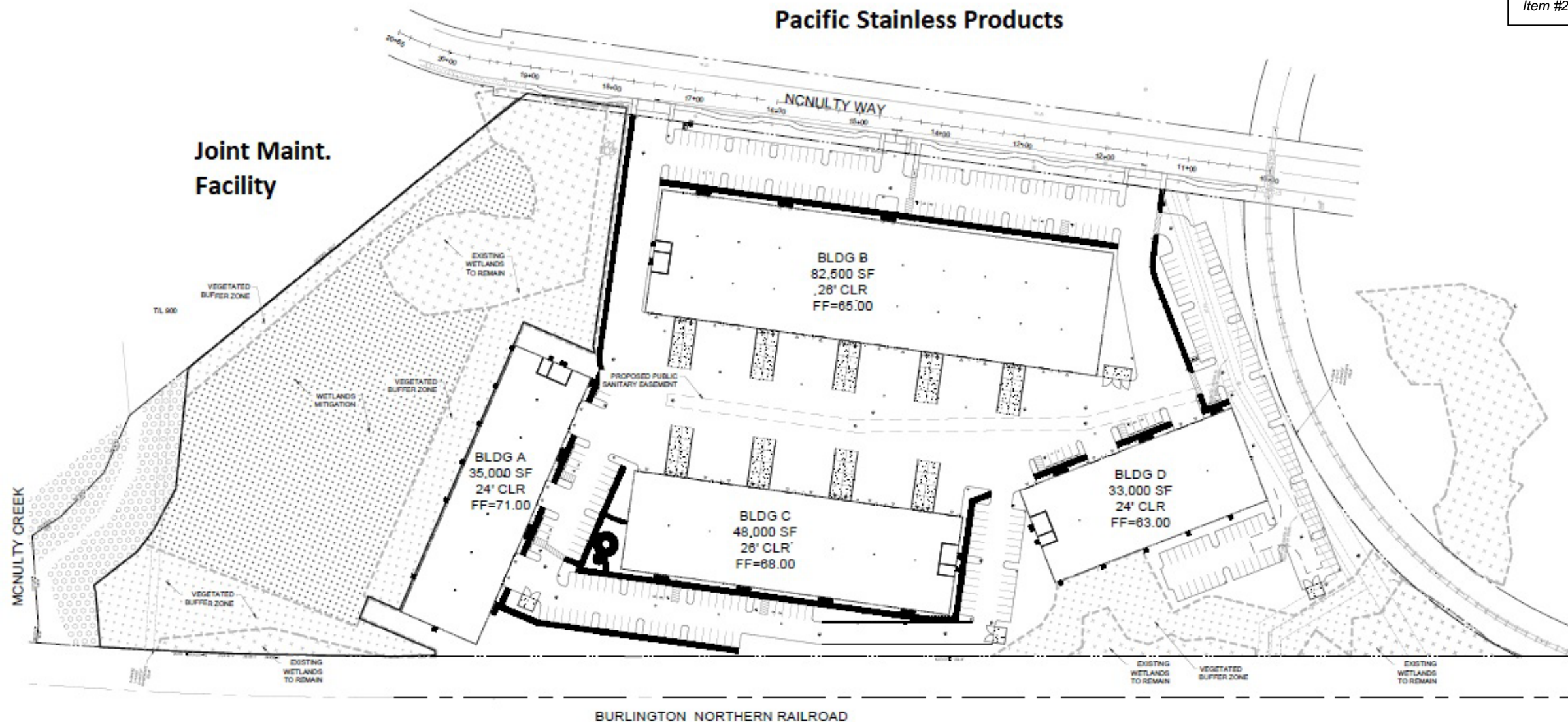
Item #2.

April 11 - App Received

April 29 - Deem Complete Notice

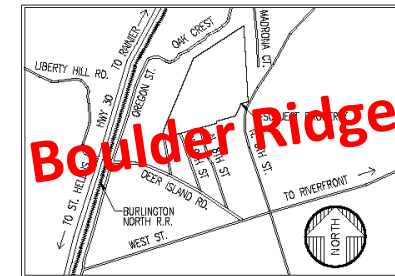
JANUARY S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31	FEBRUARY S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 Feb. 15 - Pre-Application Meeting	MARCH S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31	APRIL S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30
MAY S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 May 20 - App Complete & Notice Sent	JUNE S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 June 29 - Notice Published	July 12 - JULY PC Hearing S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 July 22 - Appeal Filed	AUGUST S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 Aug. 17 - CC Hearing
SEPTEMBER S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 Sept. 21 - Con't Deliberations	OCTOBER S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31	NOVEMBER S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30	DECEMBER S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

Sept. 17 - "base" 120 day



N. 8TH STREET PLANNED DEVELOPMENT

ST. HELENS, OREGON



VICINITY MAP
SCALE: NTS

DRAWING INDEX

SHEET	DESCRIPTION
C-1	COVER SHEET, INDEX, PLOT PLAN, & VICINITY MAP
C-1	EXISTING CONDITIONS PLAN
C-2	EROSION & SEDIMENT CONTROL PLAN
C-3	PROPOSED SITE PLAN
C-4	OVERALL DIMENSIONED SITE PLAN
C-5	DIMENSIONED SITE PLAN - NORTH
C-6	DIMENSIONED SITE PLAN - SOUTH
C-7	STREET PROFILES AND CROSS SECTION
C-8	PRELIMINARY UTILITY PLAN
C-9	OVERALL GRADING PLAN
C-10	ENLARGED GRADING PLAN - NORTH
C-11	ENLARGED GRADING PLAN - SOUTH
C-12	OVERALL STORMWATER PLAN
C-13	ENLARGED STORMWATER PLAN - NORTH
C-14	ENLARGED STORMWATER PLAN - SOUTH
C-15	STORMWATER PROFILES
C-16	OVERALL SANITARY PLAN
C-17	ENLARGED SANITARY PLAN - NORTH
C-18	ENLARGED SANITARY PLAN - SOUTH
C-19	SANITARY PROFILES
C-20	SANITARY PROFILES
C-21	OVERALL WATER PLAN
C-22	ENLARGED WATER PLAN - NORTH
C-23	ENLARGED WATER PLAN - SOUTH
C-24	WATER PROFILES
L-1	OVERALL LANDSCAPING PLAN
L-2	LANDSCAPING PLAN - NORTH
L-3	LANDSCAPING PLAN - SOUTH
D-1	STANDARD DETAILS

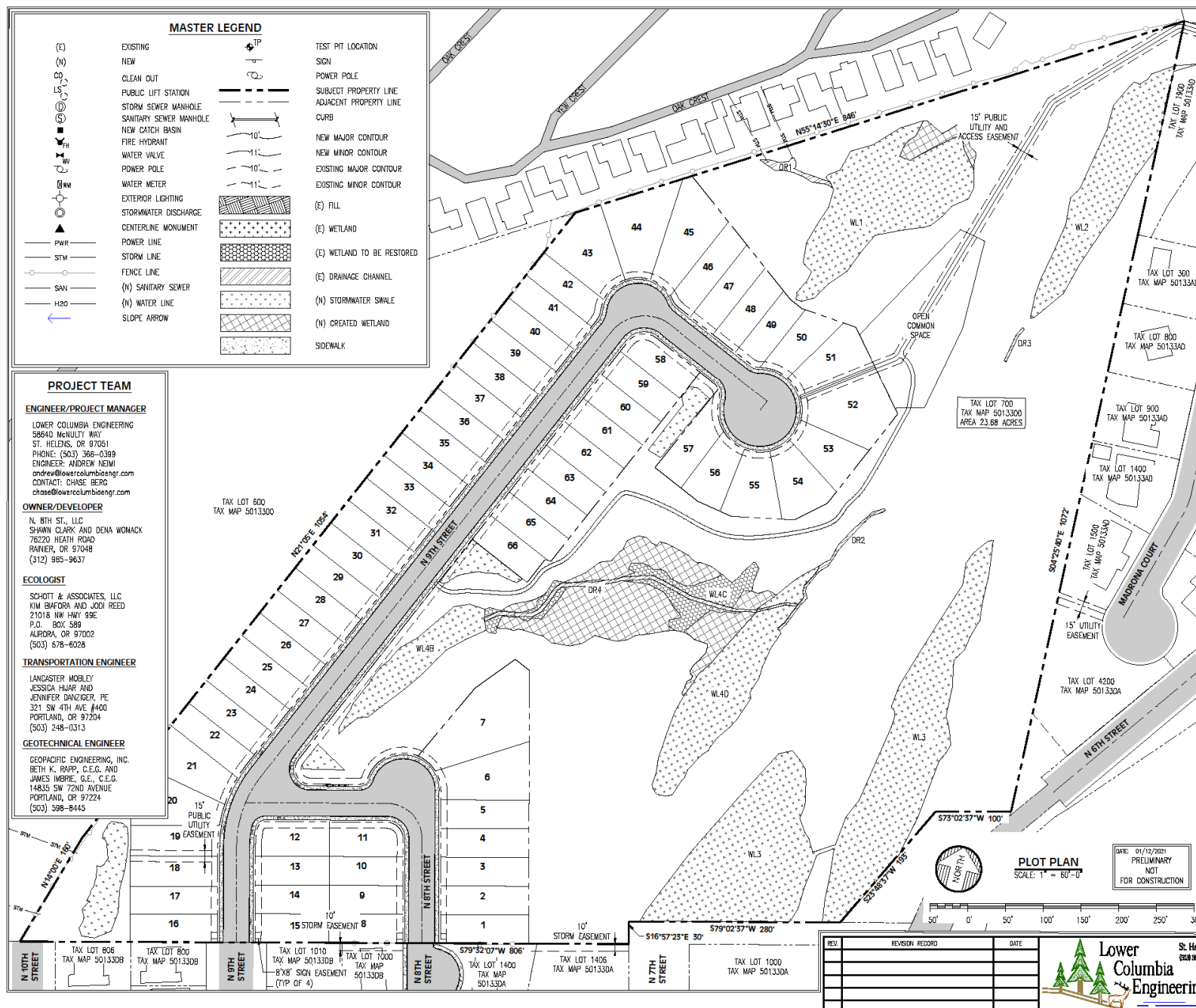


Figure 3. Rendering of St. Helens High School Renovations





NOTES:

1. ALL STRUCTURES SHALL BE LOCATED ON CITY OF ST. HELENS PROPERTY AND OUTSIDE OF THE 100 YEAR FLOOD ZONE (ABOVE 26.3', NAVD 88). PROPERTY LINE AND ELEVATIONS SHALL BE STAKED FOR VERIFICATION PRIOR TO ANY CONSTRUCTION.
2. NO TREES GREATER THAN 6" DBH SHALL BE HARMED OR REMOVED AS PART OF THIS PROJECT. ALL TREES WITHIN 20' OF THE CONSTRUCTION ACTIVITY SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCING.
- 3.

MAP KEY

- Campsite
- Day Use Area
- Group Campsite
- Horseshoe Pits & Cornhole
- Restrooms
- Volleyball Courts
- Camp Host
- Firewood

SITE PLAN

SCALE: 1"=100'



DRAWING INDEX

SHEET NUMBER	DESCRIPTION
C-1	SITE PLAN & DRAWING INDEX
C-2	TREE PLANS
A-1	24'x36' PICNIC SHELTER ELEVATIONS & PLANS
A-2	PICNIC SHELTER DETAILS
A-3	25'x12' CABIN ELEVATIONS, PLANS & SECTIONS
A-4	GENERAL NOTES

36' X 24' PICNIC SHELTER & 25' X 12' CABINS

REV.	REVISION RECORD	DATE
A	ORIGINAL UPDATE	11/16/2020
B	PROPERTY LINE & ELEVATION UPDATES	03/02/2021
C	REVISED NOTE REGARDING UPL/PL REVISION	03/05/2021
D	ADDED ELEVATION CONTROL LOCATIONS	01/17/2022
E	ADDED TREE PROTECTION AS NOTE 3	04/06/22



PROJ. NO.	2710	SITE PLAN & DRAWING INDEX
OWN. BY	CAT	SAND ISLAND PICNIC SHELTERS & CABINS
APP. BY		SAND ISLAND CAMPGROUND, LLC
FILE	D-2710-C-1-E	DATE 09/09/2020



DATE 5/24/2022	REVIEWED PRINT
DATE 04/10/2022	ISSUED FOR APPROVAL

SHEET C-1

The seal is circular with a gold background. It features a central illustration of a mountain range with snow-capped peaks and evergreen trees in the foreground. A banner at the bottom of the seal contains the text "City of St. Helens" and "FOUNDED 1850".

For Your Information

City of St. Helens

FOUNDED 1850

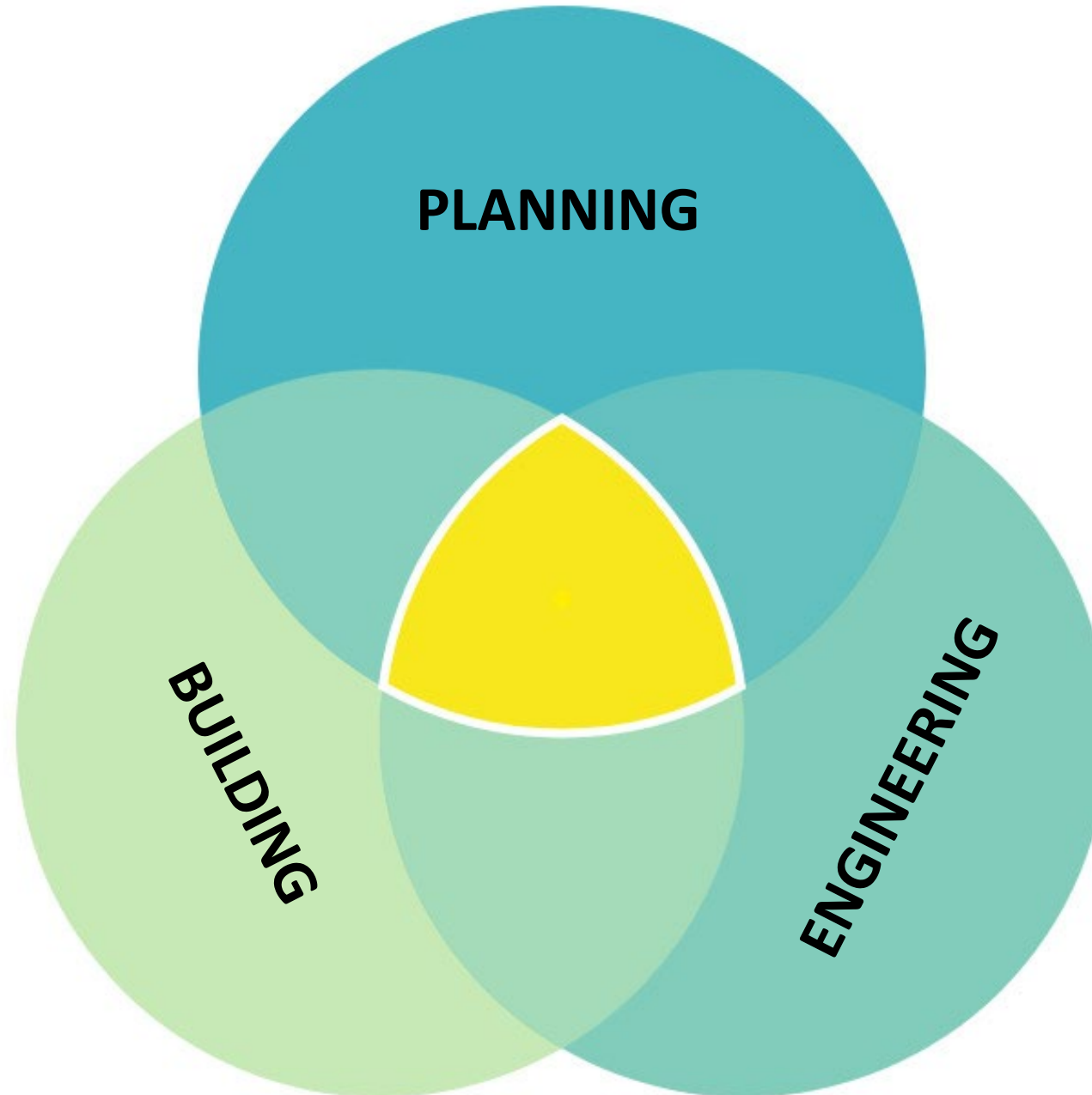
- **HB 4064 RE: Manufactured homes**
- **1400 Kaster Road Enforcement**
- **Sanitary Sewer Fee Issue**
 - **Council meeting on April 6, 2022 → Moratorium or ...?**
 - **Meetings, meetings and more meetings**
 - **Comstock Decision**
 - **ORS 223.299(4)(b): SDC not the cost of complying with requirements or conditions imposed upon a land use decision**
 - **Nexus and proportionality matter!**
 - **May get complex over time; each decision is different in both folks involved and circumstances**
 - **Key players: ENGINEERING, PLANNING, AND FINANCE**

2022 CALENDAR

Item #2.

2022 CITY PLANNER BURNOUT WEEKS JAN - SEPT

JANUARY S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31	FEBRUARY S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28	MARCH S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31	APRIL S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30
MAY S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31	JUNE S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30	JULY S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31	AUGUST S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31
SEPTEMBER S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30	OCTOBER S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31	NOVEMBER S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30	DECEMBER S M T W T F S 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31





Balanced Budget Assumptions

What is NOT included in the 22/23 Proposed Budget & Forecasts?

- Administration Executive Assistant (\$140,000)
- Administration Communications Assistant increase to 1.0 FTE (\$35,000)
- Administration City Attorney (\$225,000)
- Administration Human Resources Manager (\$125,000)
- Finance Accountant 3 (\$140,000)
- Library Youth Librarian (\$115,000) - Removed in 22/23 Budget
- Library Library Technician Makerspace (\$90,000) - Temporary position, ends Dec 2023
- Library Part-Time Shelver (\$5,000) – 2 positions removed in 22/23 Budget
- Parks Utility Worker (\$85,000) - Removed in 22/23 Budget
- Recreation PT Sports League Coordinator (\$65,000)
- Recreation Admin Assistant P&R (\$95,000) - Temporary position, ends Dec 2024
- **Planning** Associate Planner (\$125,000)
- Police Police Patrol (\$160,000) - Multiple Positions Requested
- Police Detective (\$195,000) - Multiple Positions Requested
- Public Works PT Admin Assistant (\$65,000)
- Public Works Engineer 1 (\$125,000)
- Public Works Engineer Intern (\$20,000)
- Public Works Building Maintenance Utility Worker (\$95,000)

Not Funded

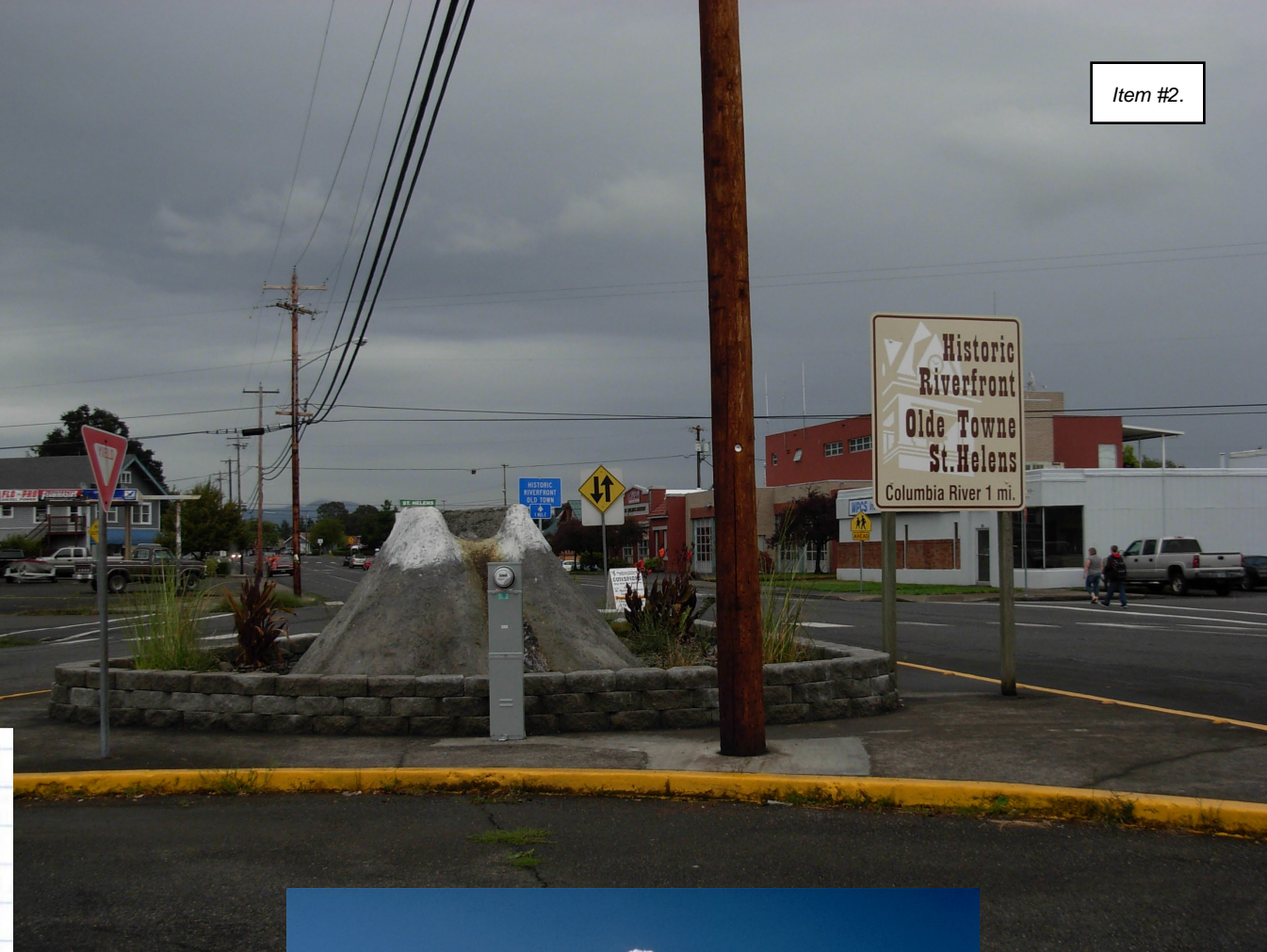
Typical ratio
Planner : Population

1 : 5,000

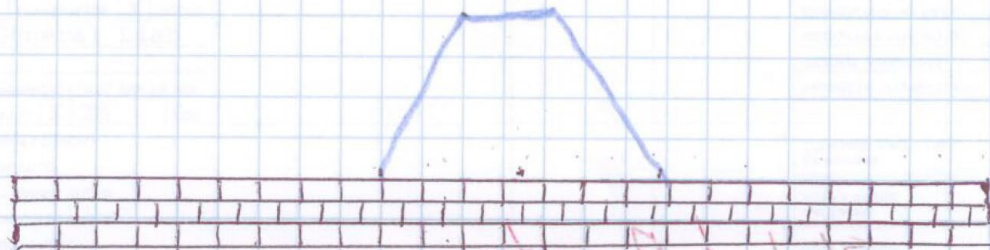
St. Helens Trend

1 : 6,500

• 1970	6,212
• 1980 – H. Cutler	7,064
• 1990 – B. Little	7,535
• 2000 – S. Baker	10,019
• 2010 – J. Graichen	12,905
• 2020 – J.G. & J. Dimsho	12,817
• 2021	14,500?



MT St Helens Aprox 8' wide x 6' High



Remaining Wall Major Stone 18" High

□ ONE SQUARE = 1'



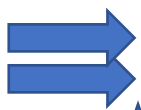
The seal of the City of St. Helens is a circular emblem with a gold-colored background. It features a stylized mountain range with snow-capped peaks and evergreen trees in the foreground. A banner at the bottom of the seal contains the text "City of St. Helens" and "FOUNDED 1850".

Next 6 months?

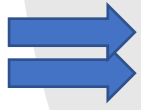
City of St. Helens

FOUNDED 1850

Essential



Wild Card



PROJECT TITLE	In '22-'24 Strategic Plan?
CURRENT PLANNING!!!	No
CUSTOMER SERVICE	No
★ Development Code residential amendments, part 2	Yes
★ Riverwalk Project Phase I	Yes
Grey Cliffs In-water Facility Planning	Yes
Columbia Blvd. sidewalks from Gable Road to Sykes Road	Yes
S. River Street to N 2nd Street "micro" transportation systems plan	Yes
★ Development Code Amendments related to Sanitary, Storm and Water Master Plans	Yes - Long Term
St. Helens Industrial Business Park Phase I Infrastructure Planning & Phase II Grading Planning	Yes
Riverfront Redevelopment Request for Qualifications/Development Solicitation	Yes
★ Riverfront Streets & Utilities Project	Yes
Clean up Property Lines 10th/11th "bluff property"	Yes
Economic Opportunities Analysis (EOA) Update	Yes
Proactive Planning Commission Item - HB 3115	No
★ Mercury TMDL Code Amendments	No
Records Retention Implementation/Organization	No
Managers Attend Professional Development Opportunities	Yes
★ HB 4064 (2022) Code Amendments (Manf. Homes)	No
Planning related FAQ pamphlets/videos	Yes - Long Term
Residential design standards (depends on if PC takes up as a "proactive item")	Yes - Long Term
Right-of-way street vacation policy	Yes - Long Term
Food cart/truck/trailers rules	Yes- Long Term
Urban Renewal Management	Yes
City Owned Properties (not already listed) - Projects/Current Planning	No (placeholder for semi annual rept)
Measure 109-Psilocybin Code Amendments (will voters agree with two year moratorium?)	No
Update city Charter for no-vote annexations	Yes - Long Term
Addressing policy update	Yes - Long Term
Housing Production Strategy (related to HNA but not a land use action)	Yes - Long Term
Locally significant wetland updates (buffer zones, etc.)	Yes - Long Term
Flood code amendments related to BIOP (Endangered Species Act)	Yes - Long Term
Develop incentives for designation as a local historic landmark (depends if PC takes up as a "proactive item")	Yes - Long Term
Parks & Recreation Master Planning	Yes
Housing Needs Analysis Update per 2019 HB 2003	Yes - Long Term
Historic resources inventorying	Yes - Long Term
New Transportation Systems Plan	Yes - Long Term
Revisit UGMA with County	No
Millard Road Entry Sign	Yes - Long Term

Item #2.

6 Mo.
Grab
Bag!!!

Generally, next six months less time consuming with **current planning.** *Perhaps* more opportunity to look In the bag!!!



CITY OF ST. HELENS PLANNING DEPARTMENT

M E M O R A N D U M

TO: City Council
FROM: Jacob A. Graichen, AICP, City Planner
RE: Planning Department Fee Schedule Update – Resolution No. 1967
DATE: October 4, 2022

The Planning Department Fee Schedule was updated extensively in 2011 with increases and some revisions in 2013, 2014, 2015, 2016, 2017, 2019, and 2021.

The current revision increases most fees by approximately 8%, which reflects the Western Consumer Price Index from the last year, generally. Other changes include:

- Accessory structure fee was very cheap because most buildings reviewed were just small sheds. Since we have increased the threshold for permits from 120 square feet to 200 square feet, this fee is being increased more. This is an update that should have been included in last year's update in August, but it wasn't noticed until after.
- Added a preapplication fee, which will act as a deposit if the application the preapplication meeting is for is applied for within six months. It is typical for fees to be charged for pre-application meetings. St. Helens has traditionally not charged for these.
- The letter/signature fee is being doubled but it still reasonable at \$33.

Note, this is intended to be effective November 1st, 2022.

The current fee schedule can be found online here:

https://www.sthelensoregon.gov/sites/default/files/fileattachments/planning/page/268/planning_fee_schedule_august_2021.pdf

If the Council concurs with these changes, please approve Resolution 1967 at the regular session.

Attached:

Draft Resolution No. 1967

Draft Resolution No. 1967 attachment (the fee schedule)

City of St. Helens
RESOLUTION NO. 1967

A RESOLUTION OF THE ST. HELENS CITY COUNCIL TO SET PLANNING
 DEPARTMENT FEES

WHEREAS, Ordinance No. 3095 authorizes the City Council to establish Planning Department fees by resolution; and

WHEREAS, the City Council and staff finds it necessary from time to time to review these fees and adjust them accordingly based on the current estimated and actual costs of materials, staff time, and other related expenses.

NOW, THEREFORE, THE CITY OF ST. HELENS RESOLVES AS FOLLOWS:

Section 1. The Planning Department fees set forth in the exhibit, attached, are hereby adopted.

Section 2. This Resolution supersedes Resolution No. 1929 and any previous Resolution setting forth Planning Department fees.

Section 3. This Resolution is effective November 1, 2022.

Approved and adopted by the City Council on October 19, 2022, by the following vote:

Ayes:

Nays:

 Rick Scholl, Mayor

ATTEST:

 Kathy Payne, City Recorder



PLANNING DEPARTMENT FEE SCHEDULE

Accessory Structure (detached)	\$153
Amended decision (post amendment of proposed decision)	\$305
Amendment	
Quasi-judicial or Legislative	\$1,219
+Deposit for special notice (covers mailing expense); and/or	\$3,614 ^(D)
+Deposit for proposed text amendments	\$3,614 ^(D)
Annexation	
Annexation application (consent to annex)	\$1,219 + \$61/acre
+Election deposit (to cover election costs if applicable)	\$3,614 ^(D)
Appeal	
Administrative decision	\$250 ⁽¹⁾
Non-administrative decision (excludes cost of transcript, see below)	\$610
Expedited Land Partition or Subdivision	\$300 ^{(1) (D)}
Home Occupation	60% / applicable fee ⁽²⁾
+Transcript deposit (for non-administrative appeal)	\$500 ^{(1) (D)}
Building Permit Planning Release (fee associated with building permits)	\$61
Conditional Use Permit	
Minor Modification of Major CUP	\$305
Minor Modification of existing use (value of project <\$10,000)	\$305
Minor Modification of existing use (value of project >\$10,000)	\$367
Major (value of project is <\$250,000)	\$610
Major (value of project is \$250,000 to \$500,000)	\$792
Major (value of project \$500,000 to \$1,000,000)	\$975
Major (value of project >\$1,000,000)	Project Value x \$0.0008 + \$305 ⁽³⁾
Development Agreement or Contract (in add. to other application fees)	\$3,614
Easement Extinguishment (per ORS 221.725)	\$610
Expedited Land Division	Application fees same as Partition or Subdivision ⁽²⁾
Historic Resource Review	\$61

Home Occupation	\$183
Land Use Letter / Planning Director Signature	\$33
Lot Line Adjustment	\$305 + \$61/adj. acres
Measure 49	\$3,614
Notice (not as required, but requested—must be renewed annually)	\$28/calendar year
Parklet, Temporary	
Permit fee, administrative (excludes other permits needed for use of ROW)	\$183
Renewal (excludes other permits needed for use of ROW)	\$123
Partition	
Preliminary Plat	\$610 + \$33/parcel
Final Plat	\$61 + \$17/parcel
Planned Development (fee is same as use—e.g., SUB, SDR, CUP)	n/a
Preapplication Conference	\$123 ⁽⁴⁾
Public Passageway Permit	\$16 per 50' of street frontage used for street furniture ⁽⁵⁾
Recordation fee	Same as County Clerk
Referral of administrative decision to Planning Commission	+\$183 to base fee(s)
Revocation	\$305
Sensitive Lands Permit	
Administrative (except Tree Removal Permit—see below)	\$305
With public hearing	\$610
Sign Code Adjustment	\$549
Sign Permit	
Permanent [wall painted or adhered (i.e. sticks out less than 1")]	\$61
Permanent (all except as above)	\$123
Temporary	\$33
Temporary (nonprofit organization)	\$0
Permit issued after sign has begun to be constructed	X2 base fee(s) ⁽²⁾
Sign Plan, Comprehensive	\$184 + \$33/sign
Site Development Review	
Minor Modification of Major SDR	\$153
Minor Modification of existing use (value of project <\$10,000)	\$153
Minor Modification of existing use (value of project >\$10,000)	\$305
Major (value of project is <\$250,000)	\$367

Major (value of project is \$250,000 to \$500,000)	\$549
Major (value of project \$500,000 to \$1,000,000)	\$731
Major (value of project >\$1,000,000)	Project Value x \$0.0008 ⁽³⁾
Scenic Resource	\$305
Street Vacation	
Application materials (provided by staff—optional)	\$61
Application fee	\$854 + Recordation fee ⁽⁶⁾
Subdivision	
Preliminary Plat	\$854 + \$33/lot
Final Plat	\$305 + \$17/lot
Supplemental Application pursuant to ORS 227.184	\$3,614
Temporary Use Permit	
One year	\$183
One month (within a 30 consecutive day time period)	\$61
One week (within a 7 consecutive day time period)	\$33
Time Extension	\$123
Tree Removal Permit (sensitive lands)	\$183/tree
Unlisted Use / Parking Use / Nonconforming Use Determination	\$183
Variance	\$549

DOCUMENT FEES

Development Code, etc.	Per Photocopy / Printout Fee (see Universal Fee Schedule)
Zoning District or Comprehensive Plan Map (hard copy)	\$28 each

* * * * *

Notes:

(D) = Deposit to cover staff time and materials. Any portion not used is refundable.

¹ Indicates maximum per Oregon Revised Statutes.

² Indicates per St. Helens Municipal Code.

³ Project value requires an estimate from a qualified professional. If value is determined to be greater at time of Building Permit issuance, the difference shall be paid prior to issuance. **Max project value fee is \$5,772** (additional CUP fee still applies).

⁴ Fee may be deducted from application fee(s) if application is submitted within six months of preapplication conference.

⁵ Fee is per 50 feet of street frontage used rounded up. For example, using 51 feet would count as 100 feet for the purpose of administering the fee. This does not include temporary parklets.

⁶ Base fee is required to accept an application. If approved, recordation fees are required to be paid in advance of recording final documents with the County Clerk.



CITY OF ST. HELENS PLANNING DEPARTMENT

M E M O R A N D U M

TO: City Council
FROM: Jacob A. Graichen, AICP, City Planner
RE: Ordinance No. 3287 for first reading at the Oct. 19, 2022 Regular Session
DATE: October 7, 2022

Please see attached:

First, attachment is a “white paper” from CIS about risk management around sidewalk ordinances. It provides a good premise for this matter.

Second, are the proposed changes to the St. Helens Municipal Code to achieve Best Practices from CIS. Some of the management team met with a CIS representative in January, where we talked about a variety of issues including sidewalk liability.

They recommended a minor change, but upon further review by staff, it was observed that it should be more comprehensive. Risk management saves city coffers.

CIS has reviewed the proposal and said the “edits are worth the investment.”

Please approve this ordinance for first reading.

Defective Sidewalk Conditions: Who is at Fault?

Liability between municipalities and landowners for injuries sustained by pedestrians due to defective sidewalk conditions has been the subject of lawsuits and City ordinance enactments for years. In Oregon, municipalities generally own the sidewalks adjacent to private property owners' land, but most City ordinances provides that the landowners are responsible for maintaining the sidewalk fronting their property in a safe and usable manner.

Most City ordinances provide that a municipality may assess landowners for the cost the municipality incurs to maintain sidewalks if the landowner fails to perform his/her duty. Although these ordinances provide that abutting landowners are responsible for sidewalk maintenance and may be assessed the cost of repairs, they may not be liable for injuries or damages to third persons who use the sidewalk, unless the municipality enacts an ordinance that addresses liability. A Plaintiff who trips and falls on a City sidewalk typically sues the City and the adjacent property owner. Absent an ordinance that clearly and unambiguously transfers liability to the adjoining property the courts have typically held that the property owner owed no legal duty at all to the injured plaintiff.

In adopting a sidewalk liability ordinance that addresses these issues the City is requiring the persons in the best position to discover a sidewalk defect (the property owner) to act to protect the public. Cities are empowered under the Oregon Constitution to enact ordinances and regulations deemed necessary to protect the public health, safety, and welfare, and that such City ordinance are a permissible exercise of that power. Without such an ordinance, landowners would have no incentive to maintain adjacent sidewalks in a safe manner.

CIS has found that the homeowners' carriers for adjacent property owners will rarely accept a Cities tender of defense to the adjacent property owner unless the City has a liability shifting ordinance with indemnity provisions. In these cases, the City is left to jointly defend the case with the property owner incurring unnecessary costs.

Therefore, CIS strongly encourages as a best practice recommendation, Cities provide indemnification and defend the city language within their sidewalk ordinances that hold property owners responsible for maintaining the sidewalk fronting their property, as a responsibility and incentive to protect the overall health and safety of the greater community served.

underlined words are added
~~words stricken~~ are deleted

[...] means skipping text as it reads in the code (e.g., to focus on text being edited in this document)

CHAPTER 12.04 SIDEWALK CONSTRUCTION AND REPAIR

[...]

12.04.020 Duty to repair and clear sidewalks.

It is the duty of an owner or occupant of land adjoining a street to maintain in good repair and remove obstructions and hazards to safe travel from the adjacent sidewalk.

12.04.030 Liability for sidewalk injuries.

(1) The owner of real property responsible for maintaining the adjacent sidewalk shall be ~~primarily~~ liable to any person injured because of any negligence of such owner in failing to maintain the sidewalk in good condition, remove obstructions, and/or remove hazards to safe travel.

(2) If the city is required to pay damages for an injury to persons or property caused by the failure of a person to perform the duty, which this section imposes, the person shall compensate the city for the amount of the damages thus paid. The city may maintain an action in a court of competent jurisdiction to enforce the provisions of this section.

Council Action Sheet



To: Mayor and City Council Members

From: Lisa Scholl, Deputy City Recorder
Crystal King, Communications Officer

Date: October 19, 2022

Subject: Citizens Day in the Park Update

Background

At the August 17, 2022, City Council Work Session, we reported a debrief of the 2022 Citizens Day in the Park event. Council selected June 24, 2023, as the date for next year's event and requested we come back in October after they had time to think about what was presented.

Follow-up after the meeting:

- Parks & Recreation requested a quote from Peak Electric to upgrade electrical service for vendors.
- Columbia County Rider volunteered to operate a free shuttle service in support of the event between the Recreation Center back parking lot and McCormick Park!
- Columbia River PUD awarded us with a \$1,000 grant specifically for the event!
- We will have a City booth with information about current and upcoming projects and services. The following people have volunteered to staff it:
 - Government Affairs Specialist Rachael Barry
 - Associate Planner/Community Development Project Manager Jenny Dimsho
 - Engineer II Alex Bird
 - Library Director Suzanne Bishop and staff members

We are still in need of more volunteers to make this successful. We would like Council to help with some of this, as well as recruit additional volunteers. The following is still needed:

- Solicit donations from local businesses.
 - Council normally does this. Lisa will create a detailed list of past donations.
- Walk with the City's entry in the Kiwanis Community Parade on June 17 to hand out event flyers and/or candy.
- Help pick up donations the day of the event
- Help pick up donations the week leading up to the event. The following have volunteered:
 - City Recorder Kathy Payne
 - Associate Planner/Community Development Project Manager Jenny Dimsho
- Help direct vendors for setup (approximately 9:00 – 10:30 a.m.)
 - Community Development Administrative Assistant Christina Sullivan is the lead
- Help with setup the day of the event (approximately 9:00 – 10:30 a.m.)
- Help with food service (approximately 10:45 a.m. – 2:00 p.m. or when we run out of food)
- Help with tear down/clean up (approximately 2:00 – 3:00 p.m.)

You can view what was discussed at the August 17, 2022, City Council Work Session here:

<https://www.sthelensoregon.gov/meetings>.

City of St. Helens
RESOLUTION NO. 1970

A RESOLUTION ADOPTING AND AFFIRMING
RULES OF CONDUCT FOR CITY FACILITIES

WHEREAS, the City of St. Helens is committed to providing the best possible service to our community; and

WHEREAS, guidelines for conduct are helpful to communicate behavioral expectations for those members of the public interacting with staff, volunteers and engaging with City services and programs; and

WHEREAS, rules of conduct are necessary to protect the rights and ensure the safety of everyone and to preserve and protect materials, equipment, and property.

NOW, THEREFORE, THE CITY OF ST. HELENS RESOLVES AS FOLLOWS:

Section 1. The City Council of the City of St. Helens hereby adopts rules of conduct for St. Helens City Hall, Utility Billing, and Municipal Court, attached as **Exhibit A** and incorporated herein by reference.

Section 2. The City Council of the City of St. Helens hereby adopts rules of conduct for the St. Helens Community Center and Recreation Center, attached as **Exhibit B** and incorporated herein by reference.

Section 3: The City Council of the City of St. Helens here by affirms the rules of conduct for the St. Helens Public Library.

Approved and adopted by the City Council on October 19, 2022, by the following vote:

Ayes:

Nays:

Rick Scholl, Mayor

ATTEST:

Kathy Payne, City Recorder



Rules Of Conduct

City Hall, Utility Billing, and Municipal Court

The City of St. Helens operates and maintains City Hall, Utility Billing and Municipal Court offices to meet the needs of the community. Rules of conduct for the premises are necessary to protect the rights and safety of everyone.

Any person who violates any of these rules while in or on the premises will be immediately ejected from the premises. Any person so ejected may be excluded from future entry. The staff reserves the right to report violations to the police.

No person shall harass or annoy another person by:

1. Committing or attempting to commit any activity that would constitute a violation of any federal, state, or local criminal statute or ordinance.
2. Threatening to inflict physical harm upon another person or group of people or directing a threat of physical harm against property.
3. Brandishing a weapon.
4. Using hostile language or making threatening gestures.
5. Engaging in sexual harassment of another person.
6. Engaging in lewd or sexually suggestive behavior.
7. Staring at another person with the intent to annoy that person.
8. Following another person around the building with the intent to annoy the person.

In addition, no person shall:

9. Engage in sexual conduct, even if the sexual conduct occurs between two or more individuals who consent to it.
10. Fail to leave at closing time.
11. Refuse to follow the reasonable direction of an employee.
12. Place belongings along or against buildings or fixtures in a way that interferes with the use of the facility.
13. Push or shove another person in a way that is unwelcome to the other person.
14. Spit on any person or on any inappropriate surface or object.
15. Behave in any other manner that a reasonable person could evaluate as harassing or annoying under the circumstances.
16. Possess, distribute, dispense, sell, attempt to sell, manufacture or being under the influence of any narcotic, hallucinogen, stimulant, sedative, drug, or other controlled substance while on City property.
17. Smoke, use other forms of tobacco or vape on the premises.
18. Bring animals, other than service animals, into the premises.
19. Use restrooms for shaving, bathing, washing hair, or any other use outside the ordinary purposes.

20. Solicit, petition, or distribute written materials or canvass for political or religious purposes.
21. Damage property in the following ways:
 - a. Disrupt a computer system or alter its normal performance.
 - b. Add, delete, or modify electronic files or devices.
22. Otherwise tamper with or deface any property, facilities, materials, equipment, or software, or use them in a manner likely to cause injury.
23. Allow a child aged five or under to be unattended.
24. Sleep in or on premises.
25. Enter parts of the premises reserved for staff use.
26. Using office supplies or other resources reserved for staff use.
27. Fail to wear a shirt or shoes except children three years old and younger.
28. Behave in any other manner that a reasonable patron or staff member could evaluate as harassing or annoying under the circumstances.

Definitions.

As used in this policy:

1. "Premises" means the entire structure known as City Hall, Utility Billing, and Municipal Court and the surrounding grounds.
2. "Controlled substance" has the definition given to it under ORS 475.005 and refers to a drug or its precursor classified in Schedules 1 through 5 of the federal Controlled Substances Act, 21 U.S.C. 811 to 812 as modified under ORS 475.035 and ORS 475.005(6).
3. "Exclusion from premises" means the patron is denied access to the interior of City Hall, Utility Billing, Municipal Court as well as parking lots and the surrounding grounds that are maintained by the City.
4. "Harass or annoy" means intentionally or recklessly engaging in conduct or any communication— written, spoken, emailed, or sent by any other physical or electronic means— that substantially interferes with other people using the facilities or substantially interferes with the ability of a staff member to perform work.
5. "Sexual conduct" has the definition given to it under ORS 167.060 and means human masturbation, sexual intercourse, or any touching of the genitals, pubic areas, or buttocks of the human male or female, or the breasts of the female, whether alone or between members of the same or opposite sex or between humans and animals in an act of apparent sexual stimulation or gratification.
6. "Sexual harassment" means:
 - a. Verbal abuse of a sexual nature.
 - b. Touching or grabbing of a sexual nature.
 - c. Repeatedly standing too close to or brushing against a person.
 - d. Repeatedly making sexually suggestive gestures.
 - e. Other sexual advances, requests for favors, or verbal or physical conduct of a sexual nature that creates an intimidating, hostile, or abusive environment.



Rules Of Conduct Parks & Recreation Community Center and Recreation Center

The City operates and maintains the Community Center and Recreation Center in order to meet the needs of the community. Rules of conduct for the premises are necessary to protect the rights and safety of everyone.

Any person who violates any of these rules while in or on the premises will be immediately ejected from the premises. Any person so ejected may be excluded from future entry. The staff reserves the right to report violations to the police.

No person shall harass or annoy another person by:

1. Committing or attempting to commit any activity that would constitute a violation of any federal, state, or local criminal statute or ordinance.
2. Threatening to inflict physical harm upon another person or group of people or directing a threat of physical harm against property.
3. Brandishing a weapon.
4. Using hostile language or making threatening gestures.
5. Engaging in sexual harassment of another person.
6. Engaging in lewd or sexually suggestive behavior.
7. Staring at another person with the intent to annoy that person.
8. Following another person around the building with the intent to annoy the person.

In addition, no person shall:

9. Engage in sexual conduct, even if the sexual conduct occurs between two or more individuals who consent to it.
10. Possess, sell, distribute, or consume any alcoholic beverage.
11. Fail to leave at closing time.
12. Refuse to follow the reasonable direction of an employee.
13. Play music at a volume level that can be heard by another person.
14. Place belongings along or against buildings or fixtures in a way that interferes with the use of the facility.
15. Push or shove another person in a way that is unwelcome to the other person.
16. Spit on any person or on any inappropriate surface or object.
17. Sing, make loud noises, or talk loudly to other persons or to oneself.
18. Behave in any other manner that a reasonable person could evaluate as harassing or annoying under the circumstances.
19. Smoke, use other forms of tobacco or vape on the premises.

20. Bring animals, other than service animals, into the premises.
21. Use restrooms for shaving, bathing, washing hair, or any other use outside the ordinary purposes.
22. Solicit, petition, or distribute written materials or canvass for political or religious purposes.
23. Allow a child aged five or under to be unattended.
24. Sleep in or on premises.
25. Enter parts of the premises reserved for staff use.
26. Using office supplies or other resources reserved for staff use.
27. Fail to wear a shirt or shoes except children three years old and younger.
28. Use the premises with bodily hygiene so offensive as to constitute a nuisance to other persons.
29. Be present while intoxicated by alcohol or controlled substances.

Definitions.

As used in this chapter:

1. "Premises" means the entire structure known as either The Community Center or The Recreation Center and the surrounding grounds.
2. "Controlled substance" has the definition given to it under ORS 475.005 and refers to a drug or its precursor classified in Schedules 1 through 5 of the federal Controlled Substances Act, 21 U.S.C. 811 to 812 as modified under ORS 475.035 and ORS 475.005 (6).
3. "Exclusion from premises" means the patron is denied access to the interior of The Community Center or Recreation Center as well as parking lots and the surrounding grounds that are maintained by the City.
4. "Harass or annoy" means intentionally or recklessly engaging in conduct or any communication— written, spoken, emailed, or sent by any other physical or electronic means— that substantially interferes with other people using the centers, or substantially interferes with the ability of a staff member to perform work.
5. "Sexual conduct" has the definition given to it under ORS 167.060 and means human masturbation, sexual intercourse, or any touching of the genitals, pubic areas, or buttocks of the human male or female, or the breasts of the female, whether alone or between members of the same or opposite sex or between humans and animals in an act of apparent sexual stimulation or gratification.
6. "Sexual harassment" means:
 - a. Verbal abuse of a sexual nature.
 - b. Touching or grabbing of a sexual nature.
 - c. Repeatedly standing too close to or brushing against a person.
 - d. Repeatedly making sexually suggestive gestures.
 - e. Other sexual advances, requests for favors, or verbal or physical conduct of a sexual nature that creates an intimidating, hostile, or abusive environment.



Memorandum

To: Mayor and City Council

From: John Walsh, City Administrator

Subject: **Administration & Community Development Dept. Report**

Date: October 19, 2022

Planning Division Report attached.

Business Licenses Report(s) attached.

CITY OF ST. HELENS PLANNING DEPARTMENT ACTIVITY REPORT



To: City Council
From: Jacob A. Graichen, AICP, City Planner
cc: Planning Commission

Date: 9.29.2022

This report does not indicate all *current planning* activities over the past report period. These are tasks, processing and administration of the Development Code which are a weekly if not daily responsibility. The Planning Commission agenda, available on the City's website, is a good indicator of *current planning* activities. The number of building permits issued is another good indicator as many require Development Code review prior to Building Official review.

ASSOCIATE PLANNER/PROJECT MANAGER—*In addition to routine tasks, the Associate Planner/Community Development Project Manager has been working on: See attached.*

PLANNING ADMINISTRATION—PREAPPLICATIONS MEETINGS

Attended a Columbia County pre-application meeting for a proposal to add a new Quarter Midget Racetrack at the county fairgrounds, which is within St. Helens' Urban Growth Area.

PLANNING ADMINISTRATION—MISC.

Responded to a county referral for improvements to the Family Fun RV property (formerly Bing's restaurant)—*see attached.*

Worked with Public Works to get no parking / fire access signs for Sapphire Court, which is a private drive (except public for pedestrians) and an emergency access point from Pittsburg Road to the Emerald Meadows Subdivision. No parking indicators were required as part of the subdivision, but not installed. It was causing a lack of maneuvering room for the neighbors, which prompted a call to the city shops and then to me. The developer is willing to pay for this, acknowledging it was their responsibility. It was installed the same day as this report!

Back in January CIS Oregon recommended some language changes to our sidewalk use liability language to help protect the city from claims from use of sidewalk. I took the initiative—after nine months—to prepare something this month. Traditionally, January is a good month for this type of thing—but not in 2022!

DEVELOPMENT CODE ENFORCEMENT

In July I mentioned an RV residence complaint related to the St. Helens Community Bible Church on Millard Road. Though it took a little longer than hoped, the issue is resolved.

Making progress with ACSP / Ogrotech (the occupant / owner) of the parcel divided from the St. Helens Industrial Business Park site (1400 Kaster Road) to achieve land use compliance as described in previous reports since December. Met with the site manager to discuss moving a building over a public utility easement. Anticipate full compliance soon.

PLANNING COMMISSION (& acting HISTORIC LANDMARKS COMMISSION)

September 13, 2022 meeting (outcome): The Commission approved a sign Variance (Sign Adjustment) for the proposed Burger King at the corner of US30 and Howard Street.

The Commission discussed term expirations on the Commission and the Planning Commission Interview Committee for prospective candidates was selected. We will have two vacancies or potentially three if one of the Commissioner's who is running for a Council position

Per initiative by Councilor Birkle for the agenda item, the Commission expressed desire to receive copies of reports provided to the Council regarding land use matters as part of their desire to be more proactive. Electronic format is acceptable. It's about keeping them included.

The Commission agreed to take Oregon HB 3115 pertaining to homeless camping on public property as their proactive item.

October 11, 2022 meeting (upcoming): At the very least, the Commission will hold a public hearing for development of a couple vacant parcels for mixed use development between the St. Helens Street/Columbia Boulevard couplet along N. 14th and N. 15th Streets.

COUNCIL ACTIONS RELATED TO LAND USE

At their September 21, 2022 meeting, the Council approved the Comstock Planed Development Subdivision. This was a matter denied by the Planning Commission and appealed to the council. Note that as part of the appeal the applicant reduced the number of total lots from 46 to 34 and ensured no lot was less than 7,000 s.f. in size.

ST. HELENS INDUSTRIAL BUSINESS PARK PROPERTY

We received the application packet for the proposed new public safety. Planning Commission will see this within the next few months.

MILLARD ROAD PROPERTY

As mentioned in last month's and May's report, I have been attempting to renew the 2009 agreement that we renewed for an extra two years in 2020 that provides a revocable (due to elapsed time) access easement to the Millard Road property from Chase Road to the west. Based on a recent conversation with the grantor, they state a willingness to extend, though not much initiative to do so. My concern is that without this, the only feasible second access point would be from Maple Street to the north, which would require building a bridge over McNulty Creek. Per Oregon Fire Code Section D107 a residential subdivision could be required to have an automatic sprinkler system for each home. Possible "build a bridge or sprinkle the homes" scenario, which could impact the attractiveness of this property to a developer.

From: [Jennifer Dimsho](#)
To: [Jacob Graichen](#)
Subject: September Planning Department Report
Date: Thursday, September 29, 2022 1:45:03 PM

Here are my additions to the September Planning Department Report.

GRANTS

1. **CDBG- Columbia Pacific Food Bank Project** – Final project closeout letter received from the state! Final Occupancy granted by the Building Official. Final project invoice officially paid last week.
2. **Safe Routes to School - Columbia Blvd. Sidewalk Project** – Culvert project (County) will be a separate project than the sidewalks project. Bidding is anticipated late Fall 2022 with construction in Spring/Summer 2023. Amendment approved to push completion deadline from November 2022 to February 2024. Project cost estimates came in x3 what we budgeted for the project. Working to slim the scope of work as much as possible to be able to still fund the project.
3. **Business Oregon – Infrastructure Finance Authority** – Loan Contract documents finalized for streets/utilities construction and Riverwalk project not covered by OPRD grants. Will submit first reimbursement once design work is complete for Riverwalk project.
4. **Technical Assistance Grant with the Oregon State Marine Board** - To assist with design and permitting of an in-water fishing dock and paddlecraft launch facility at Grey Cliffs Park. Feedback summarized submitted to OSMB to move forward. They would like to hire their environmental permit specialist before starting moving this project forward – waiting to hear back from the state on this.

PROJECTS & MISC

5. **Riverwalk Project (OPRD Grants x2)** – Moving into 90% design, continued regular PM meetings and TAC meetings. For permitting, stage and structure will require architectural review before the PC (anticipated in the early fall with the building permit). LWCF grant contract will be subject to the Build America requirements. Working with Mayer/Reed on an additional scope of work to assist with a waiver application and/or compliance with the Building America requirements. Held grant coordination meeting with the two different OPRD program grant coordinators (LWCF and the LGGP program) in order to discuss reporting requirements
6. **Riverfront Streets/Utilities Design/Engineering** – Construction contract granted to Moore Excavation. Planning for construction start on Nov 1, including a ribbon cutting on Nov 2 and business/resident meetings in October. Assisting project team with outreach efforts.
7. **St. Helens Industrial Business Park (SHIBP) Public Infrastructure Design**– Work Order 1 approved - 30% design for Phase I infrastructure & permitting/grading work for Phase II with Mackenzie. Pre-application meeting scheduled for 10/13 to discuss applications needed for PGE parcellation and new sub-station. Goal is for PGE to be able to buy the parcel from the City.
8. Planned/Registered for **OAPA conference** in Pendleton, OR on 10/26-10/28 and for the **Oregon Mainstreet Conference** in Klamath Falls 10/5-10/7.

9. Met with new Executive Director of the Northwest Housing Authority (NOHA) and toured a future project located at the Gable Park apartments and a triplex they own adjacent to the complex

Jenny Dimsho, AICP

Associate Planner / Community Development Project Manager

City of St. Helens

(503) 366-8207

jdimsho@sthelensoregon.gov

July 26, 2022

REFERRAL AND ACKNOWLEDGMENT

Responding Agency:

NOTICE IS HEREBY GIVEN that **Heather Harrison, representing Family Fun RV** has submitted an application for a **Design Review and a Non-Conforming Use** to have recreational Vehicle sales and maintenance and two food carts. The subject property is located at **58209 Columbia River Highway**. The property is zoned **General Commercial (C-3)**. The site contains **4.47 acres** and is identified as **Tax Map No. 4108-CA-03700**

THIS APPLICATION IS FOR: (X) Administrative Review; () Planning Commission, Hearing Date:


PLEASE RETURN BY: **August 4, 2022**

Planner: **Deborah Jacob**

The enclosed application is being referred to you for your information and comment. Your recommendation and suggestions will be used by the County Planning Department and/or the Columbia County Planning Commission in arriving at a decision. Your prompt reply will help us to process this application and will ensure the inclusion of your recommendations in the staff report. Please comment below.

1. ☐ We have reviewed the enclosed application and have no objection to its approval as submitted.
2. ☒ Please see attached letter or notes below for our comments.
3. ☐ We are considering the proposal further, and will have comments to you by _____.
4. ☐ Our board must meet to consider this; we will return their comments to you by _____.
5. ☐ Please contact our office so we may discuss this.
6. ☐ We recommend denial of the application, for the reasons below:

COMMENTS: THERE ARE INCONSISTENCIES WITH THE NARRATIVE, PLANS &
ACTUAL FIELD CONDITIONS. PLEASE SEE ATTACHED MEMO DATED
SEPT. 14, 2022

Signed:  Printed Name: JACOB GRAFCHEN
Title: CITY PLANNER Date: SEPT. 14, 2022



CITY OF ST. HELENS PLANNING DEPARTMENT

MEMORANDUM

TO: Deborah Jacob, Planner, Columbia County
FROM: Jacob A. Graichen, AICP, City Planner
RE: Columbia County file DR 22-06
DATE: September 14, 2022

Please include the following conditions:

- Food carts/trucks shall be prohibited on a temporary or permanent basis until the county has actual standards and procedures to specifically allow such.
- Any sign permit issued by the County shall comply with the city's standards.
- Prior to building permit issuance, revised plans are necessary with the following:
 - Street trees within the first 10 feet of landscaping area along US30. Species subject to agency review and approval, and shall be small to avoid overhead utility conflicts with a minimum 20' spacing.
 - Existing greenspace shall be properly conveyed. No loss of greenspace shall be allowed.
 - Existing parking lot lights. These lights shall not be removed but may be relocated such that their safety enhancement and crime prevention attributes are not reduced.
 - Provisions to prevent parking within vision clearance areas at access points along both US30 and Millard Road.
 - Existing fence location and necessary modifications to ensure the fence is not within a public right-of-way, vision clearance area of a street access point, or on adjacent property.
 - Specifically address trash enclosure requirements.
 - Changes to parking space layout to accommodate all revisions including but not limited to the above.
- Applicant has the burden of proof to demonstrate fence is not within a public right-of-way and is responsible to removing any encroachments.
- All improvements per approved plans shall be required prior to occupancy of new building or any changes to existing building.

-----basis for conditions and other comments/considerations below-----

Zoning/Comprehensive Plan Designation:

The Comprehensive Plan Designation is Unincorporated Highway Commercial. Upon annexation the anticipated St. Helens zoning would be Highway Commercial, HC.

There is a consent to annex recorded in the County Clerk deed records as instrument no. 2009-7700. Annexation proceedings may be initiated once city limits abuts the site (including across rights-of-way).

RV sales, service and repair is a permitted use in the city's HC zone.

Food carts/trucks use. These cannot be allowed.

The County currently has no provisions to allow food carts/trucks. Under the County's C-3 zoning this could fall under eating and drinking establishment (CCZO 822.20), but this is intended for permanent uses.

Because the proposed use includes mobile units, the zoning question is if this fits the intent of the County's code. Being temporary fixtures, this is not typical of the traditional eating and drinking establishment the County code seems to contemplate.

CCZO 201 is very explicit about code compliance. If the County's code doesn't address this very well and since the city currently handles these through its Temporary Use Permit process, I'm concerned about setting a precedence with such ambiguity.

It's clear the county's Temporary Use provisions don't address this kind of use. This begs the question if the use is even allowed by the County's zoning ordinance. Please note, I have no issue with the property, applicant, owner or type of use in general. Rather, the precedence this could set without property legislation and how this could take shape within the County, especially given the consent to annex.

Food carts cannot be allowed by this permit.

Note the applicant did not address the food carts/trucks in their application narrative at all.

In the HC zone, the minimum yard (setback) is 10', which is supposed to be landscaping or pedestrian oriented amenities.

City Utilities:

The property is connected to the city's sanitary sewer system.

Wetlands:

The applicant notes no wetlands but does not provide any findings for that. Perhaps they meant in the developed area (ignoring the open space area along the north side of the property).

In fact, at the pre-application meeting earlier this year the owner noted that they have investigated wetlands and there is just a small one in the corner – DSL allegedly visited site; they have paperwork.

Landscaping:

Street trees would complete the basic frontage improvements along US30. They need to be a small species given overhead power. This is important to be consistent with other development along US30.

Signs:

Any sign permit issued by the County shall comply with the City's standards.

Applicant states no temporary signs will be used, yet staff observed the use of temporary signs.

ROW frontage improvements:

See street tree comment under landscaping above.

Site plan issues:

There is a greenspace along the west property line by the Millard Road access point, which includes the critical root zone of at least one Douglas Fir tree next to the subject property. Having such a large site, there is no reason for this to be impacted for 6 staff parking spaces. This also directly conflicts with the applicant's statement that "the proposed development will not increase the amount of impervious area on the property." It conflicts with CCZO 1563.C. This area provides a buffer for adjacent residential properties.

The site plan does not appear to include the pole lighting within the parking lot. As such, it would be hard for staff to truly determine the applicant's statement that "all parking and loading areas have been designed to allow for turning, maneuvering and parking." The applicant acknowledges the existing lighting in the parking area and notes "these lights will be preserved with this development if possible." Illumination of parking areas is critical for safety and crime prevention. Preservation of parking lot light is essential.

Parking or RV spaces are proposed within the typical visual preservation area at the Millard Road access point. This is not an appropriate place for this and something that dissuades such should be included in the design.

Fence has been recently installed. This is a modification of a commercial site and should be included in this matter. It is not reflected on the provided plans. Needs to be included in revised plans. Need proof it is within property and not within right-of-way or another property. Design

should prevent parking or other obstruction within the vision clearance area of the Millard Road access point.

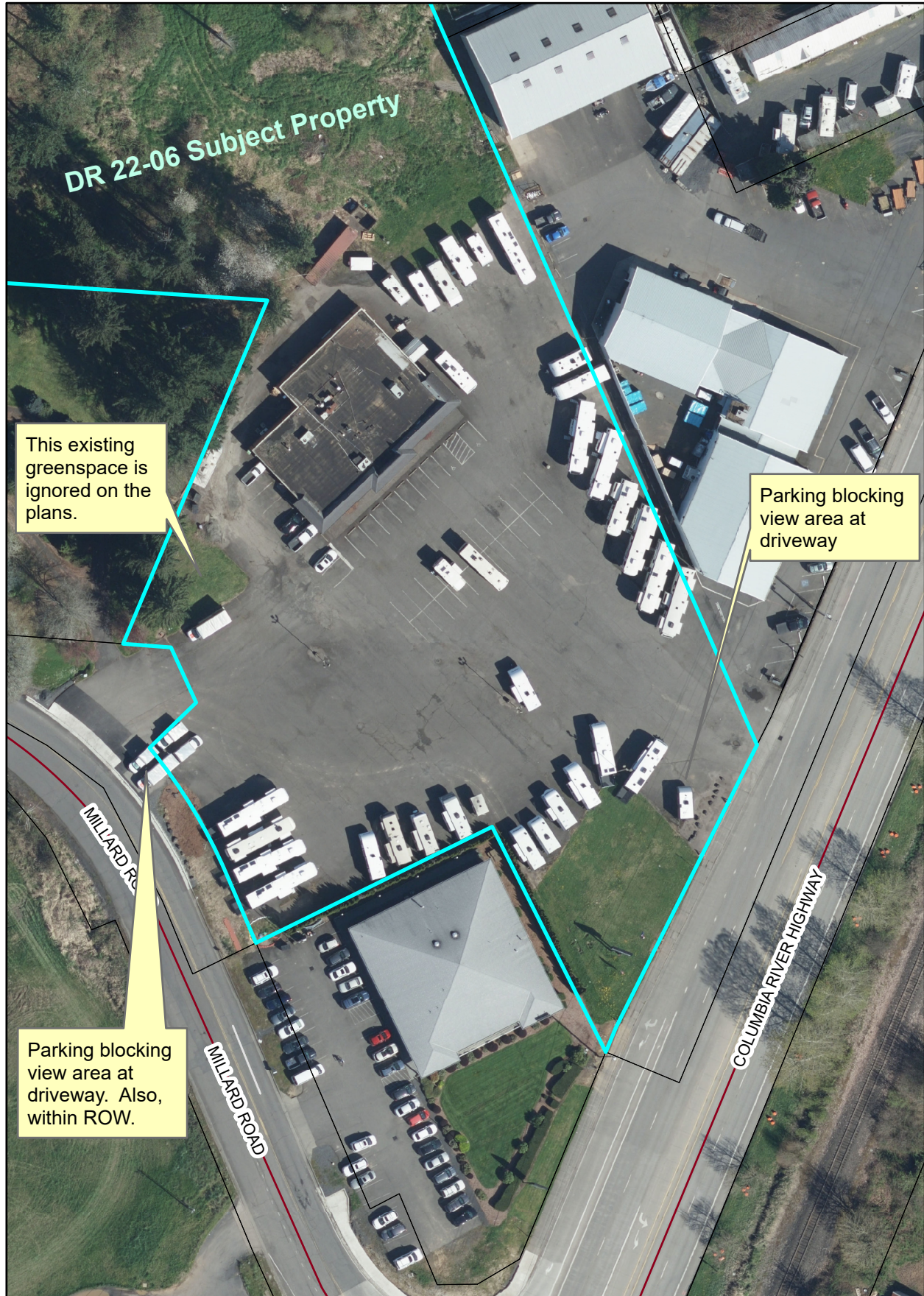
The applicant discusses screening stating that “the applicant understands that all garbage/trash collection stations, or other similar uses shall be screened within 5 months of occupancy.” The applicant references sheet C-4 despite that sheet not addressing this at all.

Staff observed visible trash containers outside of any screened area visible from the street.

* * * * *

Attachments: Aerial photo exhibit from April 2022

DR 22-06 EXISTING CONDITIONS AS OF APRIL 2022



COLUMBIA COUNTY
LAND DEVELOPMENT SERVICES
Planning Division

COURTHOUSE
ST. HELENS, OREGON 97051
Phone: (503) 397-1501 Fax: (503) 366-3902

Item #7.

July 26, 2022

REFERRAL AND ACKNOWLEDGMENT

Responding Agency:

NOTICE IS HEREBY GIVEN that **Heather Harrison, representing Family Fun RV** has submitted an application for a Design Review and a Non-Conforming Use to have recreational Vehicle sales and maintenance and two food carts. The subject property is located at 58209 Columbia River Highway. The property is zoned General Commercial (C-3). The site contains 4.47 acres and is identified as Tax Map No. 4108-CA-03700

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PLEASE RETURN BY: **August 4, 2022**

Planner: **Deborah Jacob**

The enclosed application is being referred to you for your information and comment. Your recommendation and suggestions will be used by the County Planning Department and/or the Columbia County Planning Commission in arriving at a decision. Your prompt reply will help us to process this application and will ensure the inclusion of your recommendations in the staff report. Please comment below.

1. _____ We have reviewed the enclosed application and have no objection to its approval as submitted.
2. _____ Please see attached letter or notes below for our comments.
3. _____ We are considering the proposal further, and will have comments to you by _____.
4. _____ Our board must meet to consider this; we will return their comments to you by _____.
5. _____ Please contact our office so we may discuss this.
6. _____ We recommend denial of the application, for the reasons below:

COMMENTS: _____

Signed: _____ Printed Name: _____

Title: _____ Date: _____

chase

192-22-000198-PLNG

COLUMBIA COUNTY
LAND DEVELOPMENT SERVICES
COURTHOUSE
230 STRAND
ST. HELENS, OREGON 97051
(503) 397-1501

RECEIVED

Item #7.

JUN 23 2022

Land Development Services

File No. DR 22-06

General Application

GENERAL LAND USE PERMIT APPLICATION

TYPE OF PERMIT: Zone Change Temporary Permit
X Site Design Review Resource Management Plan

Other: _____

APPLICANT: Name: Heather Harrison - Family Fun RV

Mailing address: 58209 Columbia River Highway St. Helens, Oregon 97051

Phone No.: Office (971) 808-7912 Home _____

Are you the ✓ property owner? owner's agent?

PROPERTY OWNER: ✓ same as above, OR:

Name: _____

Mailing Address: _____

PROPERTY ADDRESS (if assigned): 58209 Columbia River Highway St. Helens, Oregon 97051

TAX ACCOUNT NO.: 17046 Acres: 4.47 Zoning: C-3

4108 CA-03700 Acres: _____ Zoning: _____

_____ Acres: _____ Zoning: _____

PRESENT USES: (farm, forest, bush, residential, etc.)

Use: _____ Approx. Acres

Commercial 4.47 Acres

Total acres (must agree with above): 4.47 Acres

PROPOSED USES:

Recreational Vehicle sales, recreational vehicle maintenance, and two food carts.

WATER SUPPLY: _____ Private well.

Is the well installed? _____ Yes _____ No

☒ Community system.

Name McNulty Water

METHOD OF SEWAGE DISPOSAL: ☒ Community Sewer. Name City of St. Helens

_____ Not applicable.

_____ Septic System.

If Septic, does the subject property already have a system? _____ Yes _____ No

If no, is the property approved for a Septic System? _____ Yes _____ No

CONTIGUOUS PROPERTY: List all other properties you own which have boundary lines touching this property:

<u>Tax Account No.</u>	<u>Acres</u>	<u>Co-owners (if any)</u>
N/A	N/A	N/A
N/A	N/A	N/A
N/A	N/A	N/A

CERTIFICATION:

I hereby certify that all of the above statements, and all other documents submitted, are accurate and true to the best of my knowledge and belief.

Date: 10-23-2022

Signature: _____

NOTE: Please attach an accurate and detailed plot plan, including property lines, existing and proposed structures, location of septic tank and drainfield, farm - forest areas, large natural features (cliffs, streams, etc.).

+++++

Planning Department Use Only

Date Rec'd. _____ Hearing Date: _____
Or: Administrative _____

Receipt No. _____ Stormwater & Erosion Control Fees _____

Zoning: _____ Staff Member: _____

+++++

COLUMBIA COUNTY
LAND DEVELOPMENT SERVICESCOURTHOUSE
230 STRAND
ST. HELENS, OREGON 97051
(503) 397-1501

RECEIVED

JUN 23 2022

Land Development Services

File No. _____

NCU 23-01

General Application

GENERAL LAND USE PERMIT APPLICATION

TYPE OF PERMIT: _____

Zone Change

_____ Temporary Permit

Site Design Review

_____ Resource Management Plan

☒ Other: NON-CONFORMING USE-Rebuild; Change; Move; Expand
Expansion of NCU.APPLICANT: Name: Family Fun RV - Heather HarrisonMailing address: 58209 Columbia River Highway St. Helens, Oregon 97051Phone No.: Office (971) 808-7912 None Home _____Are you the ☒ property owner? _____ owner's agent?503-807-1049 cellPROPERTY OWNER: ☒ same as above, OR:

Name: _____

Mailing Address: _____

PROPERTY ADDRESS (if assigned): _____

58209 Columbia River Highway St. Helens, Oregon 97051TAX ACCOUNT NO.: 17046Acres: 4.47Zoning: C-34108-CA-03700

Acres: _____

Zoning: _____

Acres: _____

Zoning: _____

PRESENT USES: (farm, forest, bush, residential, etc.)

Use:

Approx. Acres

Commercial4.47

Total acres (must agree with above):

4.47 Acres

General Application

File No. _____

PROPOSED USES:

Recreational Vehicle sales, recreational vehicle maintenance, and two food carts.

WATER SUPPLY: _____ Private well ☒ Community systemName of community water system: McNulty Water**SEWAGE DISPOSAL SYSTEM:** _____ Subsurface Septic ☒ Community

Is the property approved for a subsurface sewage disposal system?

☒ Yes _____ No _____ Not Applicable**CONTIGUOUS PROPERTY:** List all other properties you own which have boundary lines touching this property:Tax Account No.AcresCo-owners (if any)N/AN/AN/A**CERTIFICATION:**

I hereby certify that all of the above statements, and all other documents submitted, are accurate and true to the best of my knowledge and belief.

Date: 6-23-2022Signature: **NOTE:** Please attach an accurate and detailed plot plan, including property lines, existing and proposed structures, location of septic tank and drainfield, farm - forest areas, large natural features (cliffs, streams, etc.).+++++
Planning Department Use Only

Date Rec'd: _____

Hearing Date: _____

Receipt No.: 398878

Administrative: _____

Check #: _____ Cash ☐ Credit ☒

Zoning: _____

Staff Member: _____

NON-CONFORMING USE FACT SHEET

1. Current use of property of buildings: _____
The existing property was historically used as a commerical restaurant, but has been vacant in recent years.

2. If you are enlarging a non-conforming building, please supply the following:
 Land area occupied by the existing building: 7,318 square feet.
 Land area to be occupied by addition(s): 2,907 square feet.
(Note: this may not be more than 40% of the land area of the existing building)

3. Describe the practical difficulties or public need your proposal will alleviate:
Within the greater columbia county area, there are currently no recreational vehicle sales facilities. In addition, this development proposes for the renovation of the existing building on-site to support a full sales staff, and a new parts department.

4. Describe how your proposal will be no more than is necessary to overcome the practical difficulties or to meet the public need:
The proposed development proposes to utilize the existig building for sales and for a parts department. This development does not propose substantial paving/impervious area and utilizes existing servcies to the greatest practical extent. Added impervious area is limited to a new sidewalk which is located to the south of the proposed food carts.

5. Describe how your proposal will not interfere with the use and enjoyment of other properties in the area, nor reduce their property values: **The proposed development has been designed to create an enjoyable experience for those looking to purchase an RV as well as for those looking**

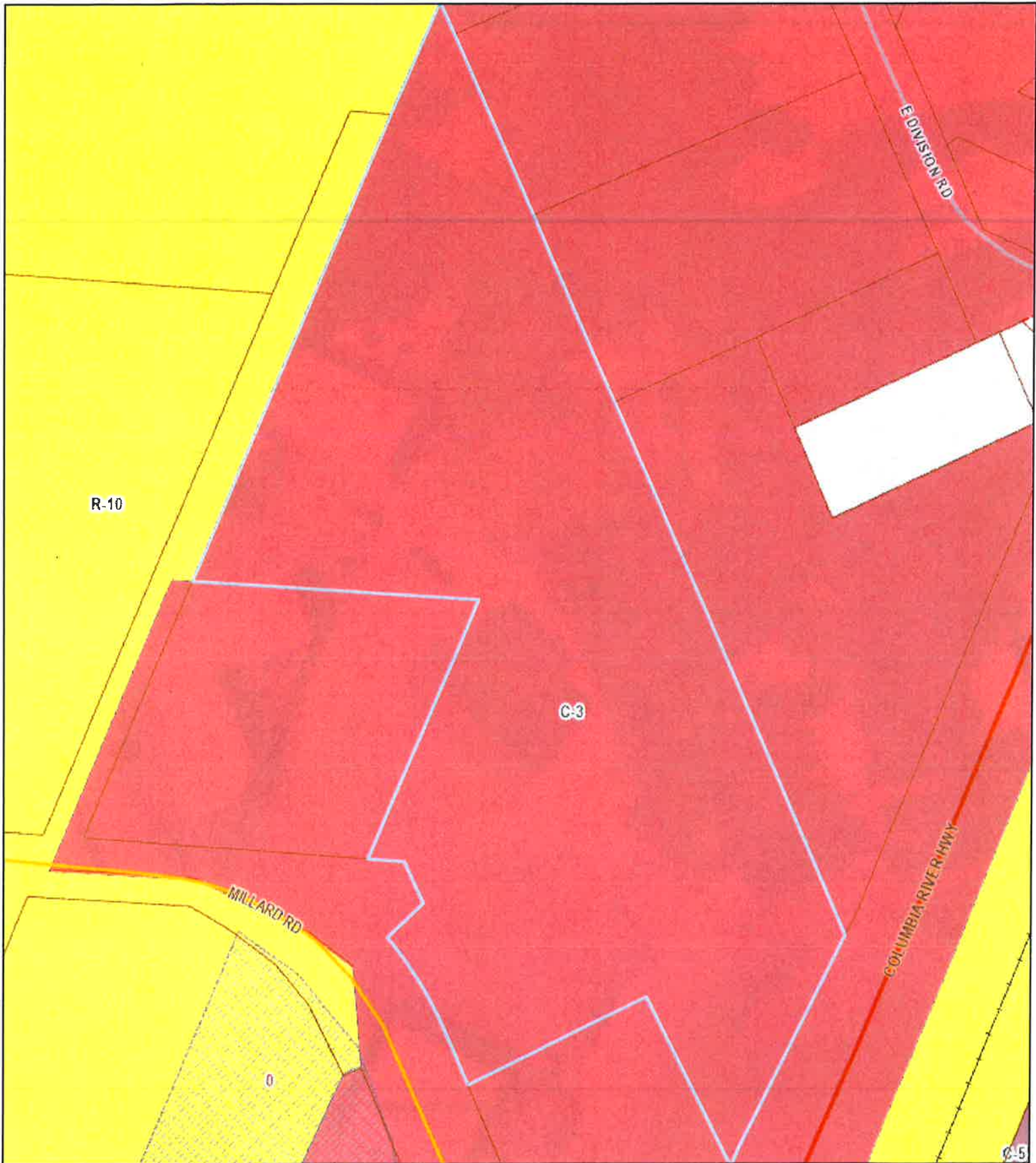
Number 5 Continued:

to have maintenance performed or purchase replacement parts. By renovating the existing building on-site, constructing a new maintenance shop, and including an area for food carts on-site the overall lot will be greatly improved and will provide a great service to the Columbia County area.



DR 22-06 NCU 23-01 Zoning

Item #7.



7/19/2022 9:32 AM

Page 83



DR 22-06 NCU 23-01 Aerial

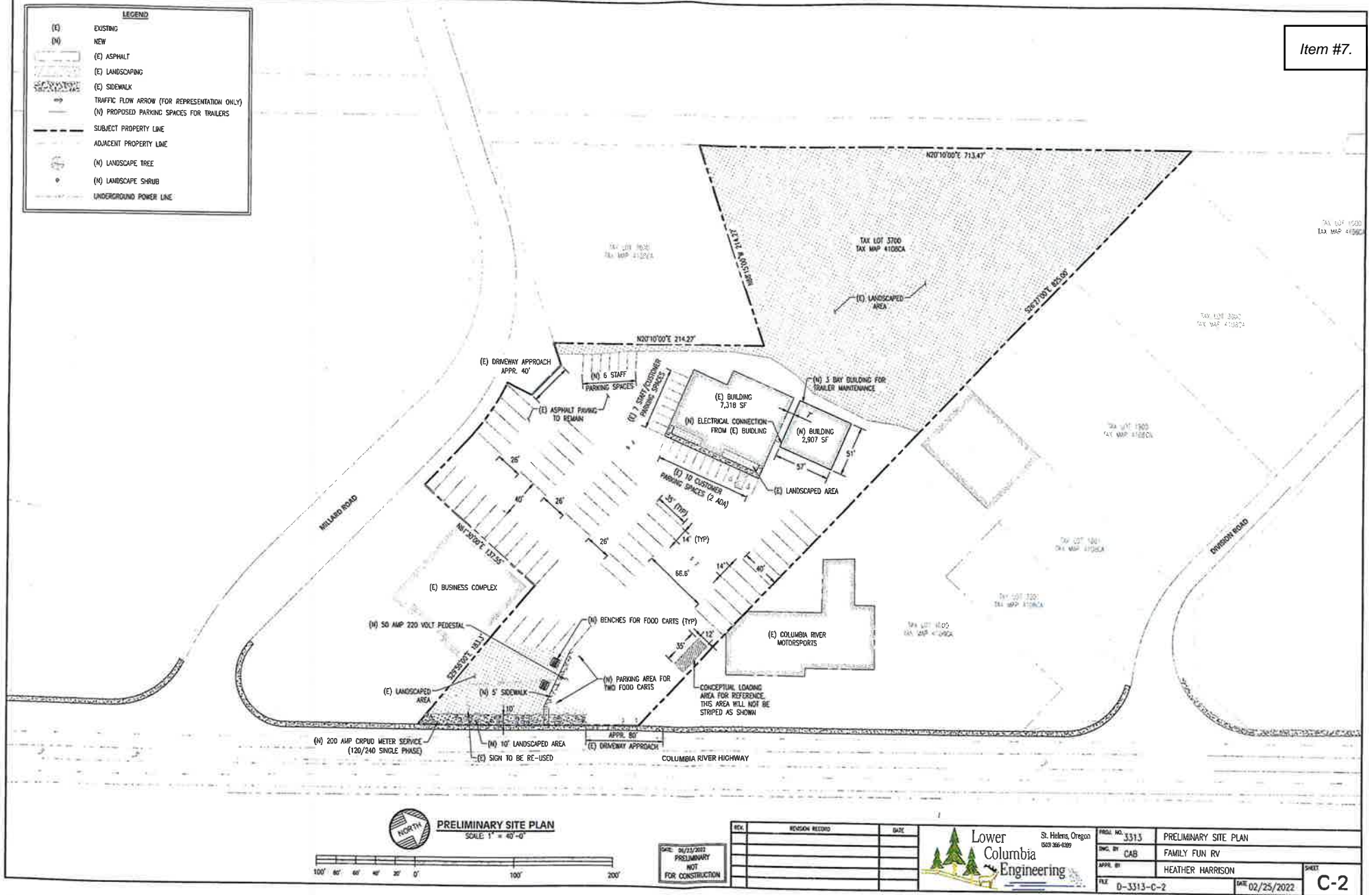
Item #7.

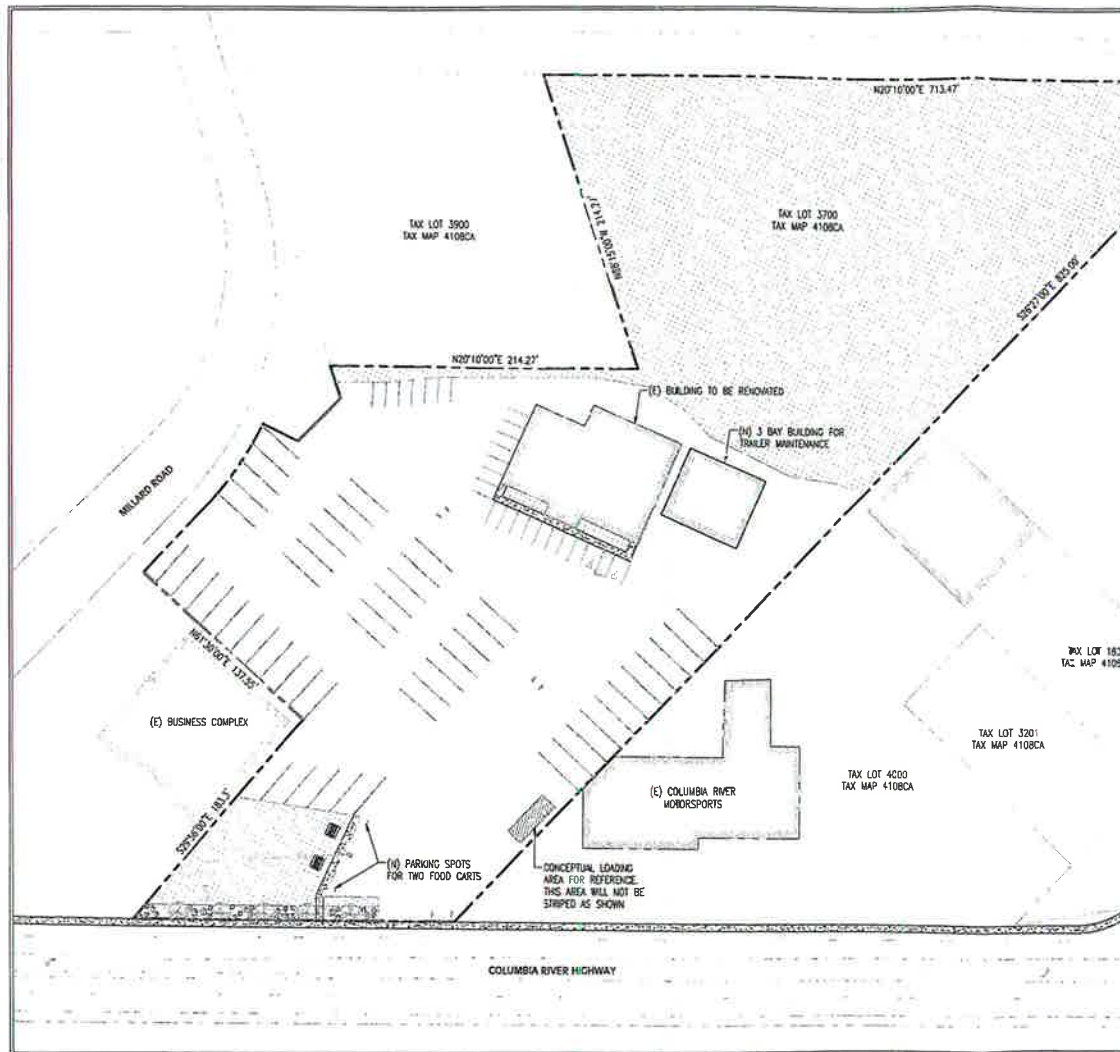


Oregon Statewide Imagery Program (OSIP) - Oregon Imagery Framework Implementation Team

7/19/2022 9:31 AM

Disclaimer: This map was produced using Columbia County GIS data. The GIS data is maintained by the County to support its governmental activities and is subject to change without notice. This map should not be used for survey or engineering purposes. Columbia County assumes no responsibility with regard to the selection, performance or use of information on this map





VICINITY MAP
SCALE: 1/8" = 1'

PROJECT TEAM

CIVIL ENGINEER
LOWER COLUMBIA ENGINEERING
58540 MCNUITY WAY
ST. HELENS, OR 97051
PHONE: (503) 386-0399

CONTACT: CHASE BERG
chase@lowercolumbiaengr.com
ENGINEER: ANDREW NEM
andrew@lowercolumbiaengr.com

OWNER
FAMILY FUN RV
58209 COLUMBIA RIVER HIGHWAY
ST. HELENS, OR 97051
PHONE: (971) 803-7912

CONTACT: HEATHER HARRISON
familyfunrv@outlook.com
GENERAL CONTRACTOR
ROBERT EVANS COMPANY
1922 NW PETTYBORNE STREET
PORTLAND, OR 97209
PHONE: (503) 646-7805

CONTACT: BEN WILEY, P.E.
ben@robertevansco.com

**3RD PARTY CONSULTANTS
NOT SHOWN - DEFER TO SUBMITTALS

DEFERRED SUBMITTALS

- ELECTRICAL
- PLUMBING
- MECHANICAL

MASTER LEGEND

- | | |
|-----|--|
| (E) | EXISTING |
| (N) | NEW |
| --- | (E) MINOR CONTOUR |
| --- | (E) MAJOR CONTOUR |
| --- | (N) MINOR CONTOUR |
| --- | (N) MAJOR CONTOUR |
| --- | EXISTING FENCE |
| --- | (E) FIRE HYDRANT |
| --- | PROPERTY LINE |
| --- | ADJACENT PROPERTY LINE |
| --- | (E) SANITARY SEWER |
| --- | (E) WATER MAIN |
| --- | (E) OVERHEAD WIRE |
| --- | (E) SANITARY MANHOLE |
| --- | (E) CATCH BASIN |
| --- | (N) SANITARY SEWER MAIN |
| --- | (N) WATER MAIN |
| --- | (N) SANITARY CLEANOUT |
| --- | (N) SANITARY MANHOLE |
| --- | DRAINAGE FLOW ARROW |
| --- | (N) TREE |
| --- | CONCRETE |
| --- | (E) LANDSCAPING |
| --- | (E) ASPHALT |
| --- | (N) LANDSCAPE TREE |
| --- | (N) LANDSCAPE SHRUB |
| --- | UNDERGROUND POWER LINE |
| --- | (N) TRAFFIC FLOW ARROW |
| --- | (N) PROPOSED PARKING SPACES FOR TRAILERS |

DRAWING INDEX

SHEET	DESCRIPTION
CIVIL	
G-1	PLOT PLAN, VICINITY MAP AND NOTES
C-1	EXISTING CONDITIONS PLAN
C-2	PRELIMINARY SITE PLAN
C-3	STORMWATER AND GRADING PLAN
C-4	LANDSCAPE PLAN
C-5	EXTERNAL ILLUMINATION PLAN
ARCHITECTURAL	
A-1	EXISTING FLOOR PLAN
A-2	PROPOSED FLOOR PLAN
A-3	PROPOSED BUILDING ELEVATIONS

PLOT PLAN
SCALE: 1" = 40'-0"



DATE: 04/25/2022
PRELIMINARY
NOT FOR CONSTRUCTION

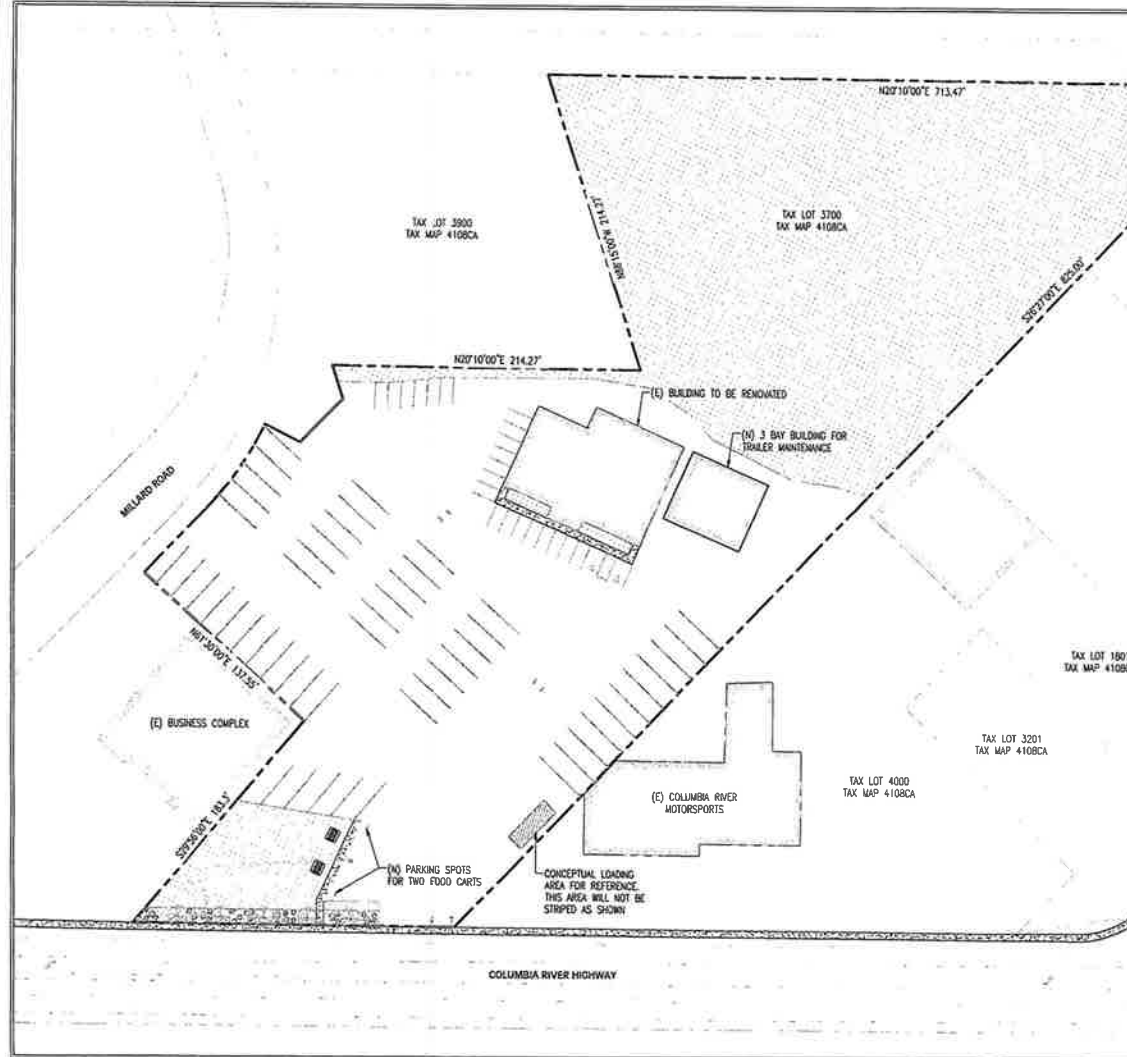
REV.	REVISION RECORD	DATE



PROJECT NO: 3313	PLOT PLAN, VICINITY MAP AND NOTES
DWG. BY: CAB	FAMILY FUN RV
APPR. BY: HEATHER HARRISON	SHEET: G-1
FILE: D-3313-G-1	DATE: 02/25/2022

FAMILY FUN RV

HEATHER HARRISON
58209 COLUMBIA RIVER HIGHWAY
ST. HELENS, OR 97051



VICINITY MAP
SCALE: NTS

PROJECT TEAM**CIVIL ENGINEER**

LOWER COLUMBIA ENGINEERING
58640 MCNULTY WAY
ST. HELENS, OR 97051
PHONE: (503) 366-0399
CONTACT: CHASE BERG
chase@lowercolumbiaengr.com

ENGINEER: ANDREW NEMI
andrew@lowercolumbiaengr.com

OWNER

FAMILY FUN RV
58209 COLUMBIA RIVER HIGHWAY
ST. HELENS, OR 97051
PHONE: (971) 803-7912

CONTACT: HEATHER HARRISON
familyfun@boulton.com

GENERAL CONTRACTOR

ROBERT EVANS COMPANY
1922 NW PETTIGROVE STREET
PORTLAND, OR 97209
PHONE: (503) 648-7805

CONTACT: BEN WILEY, P.E.
ben@robertevansco.com

***3RD PARTY CONSULTANTS
NOT SHOWN - REFER TO SUBMITTALS

DEFERRED SUBMITTALS

- ELECTRICAL
- PLUMBING
- MECHANICAL

MASTER LEGEND

(E)	EXISTING
(N)	NEW
---	(E) MINOR CONTOUR
---	(E) MAJOR CONTOUR
---	(N) MINOR CONTOUR
---	(N) MAJOR CONTOUR
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PLOT PLAN
SCALE: 1" = 40'-0"

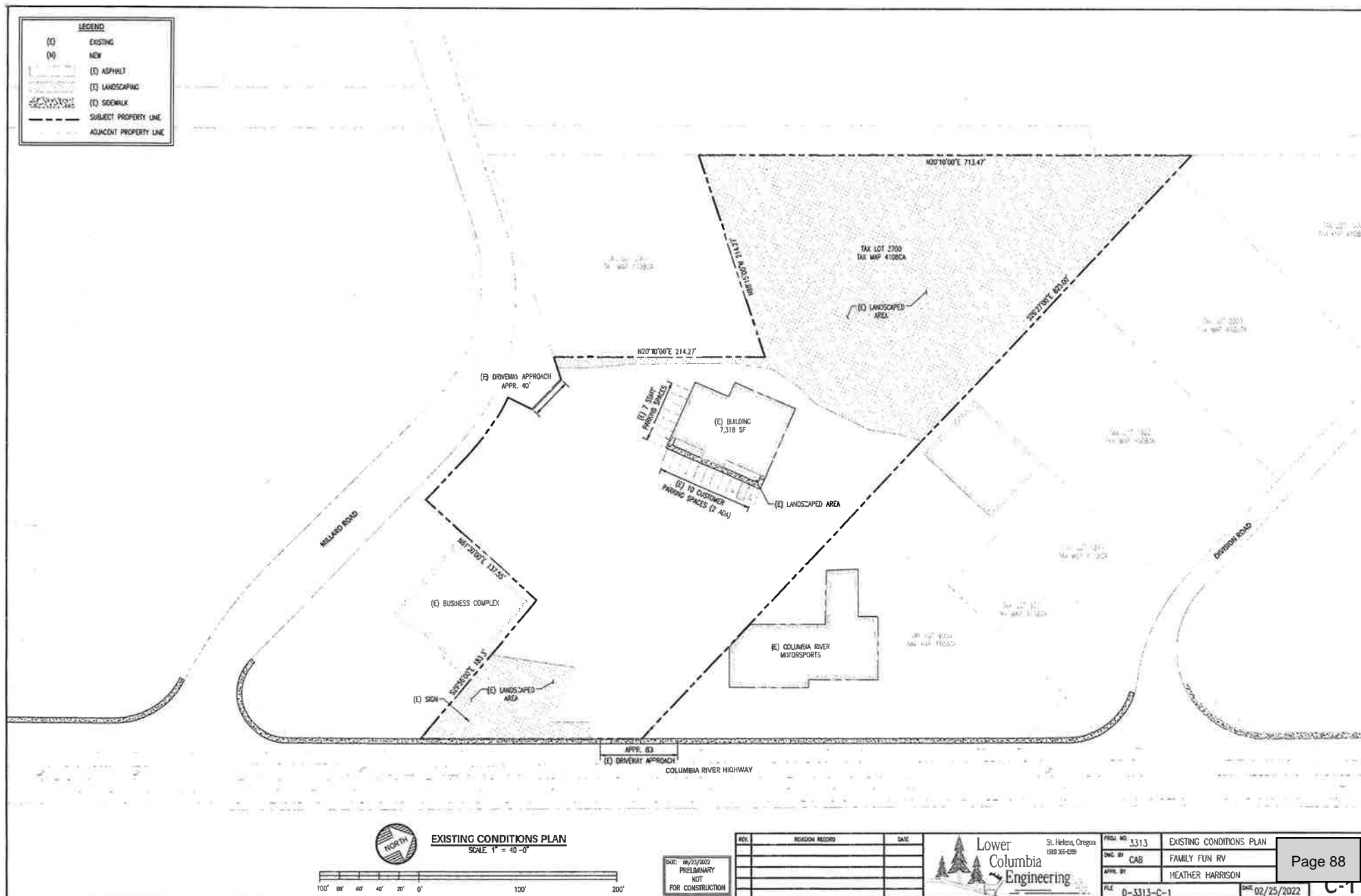


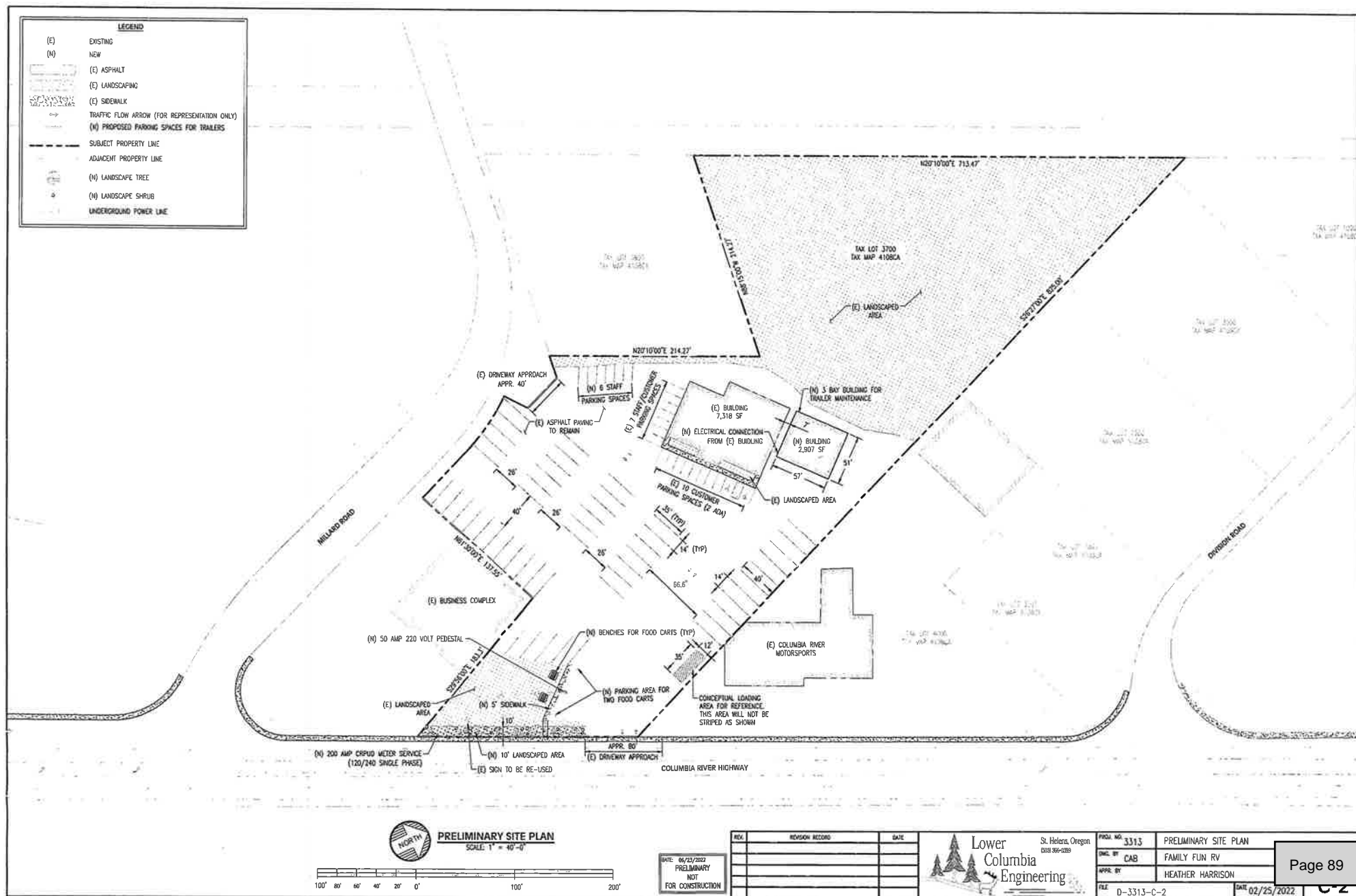
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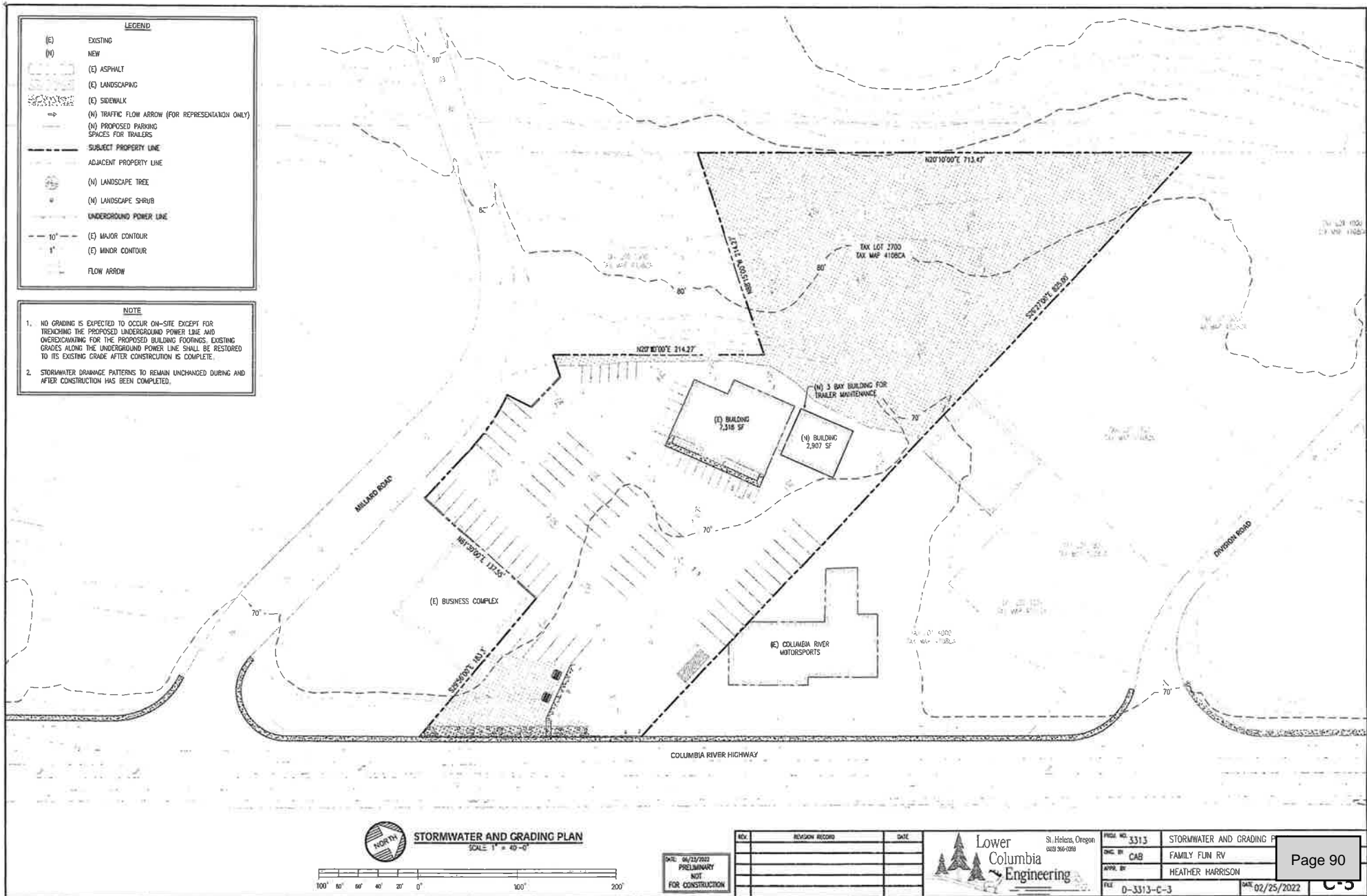
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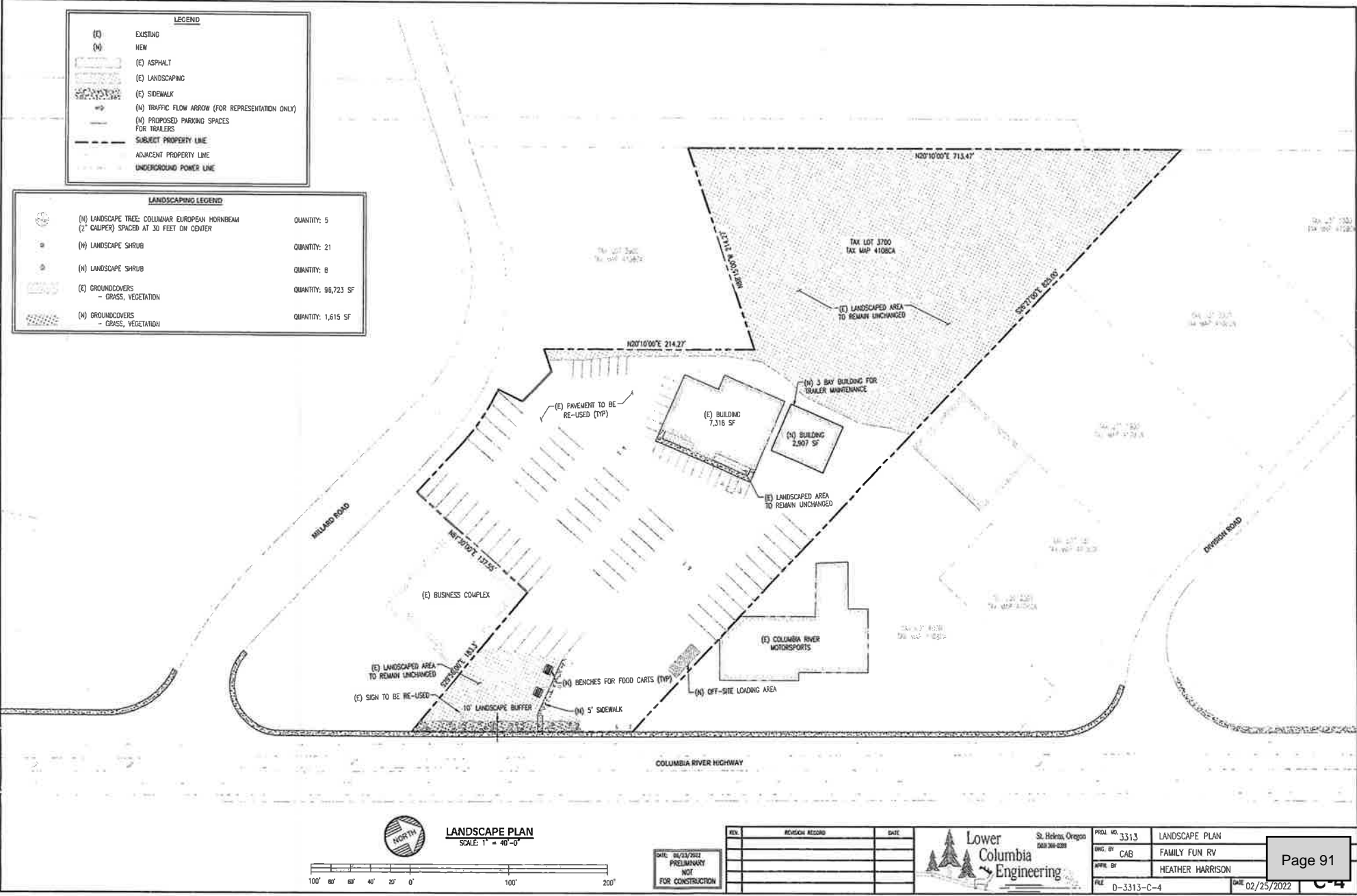


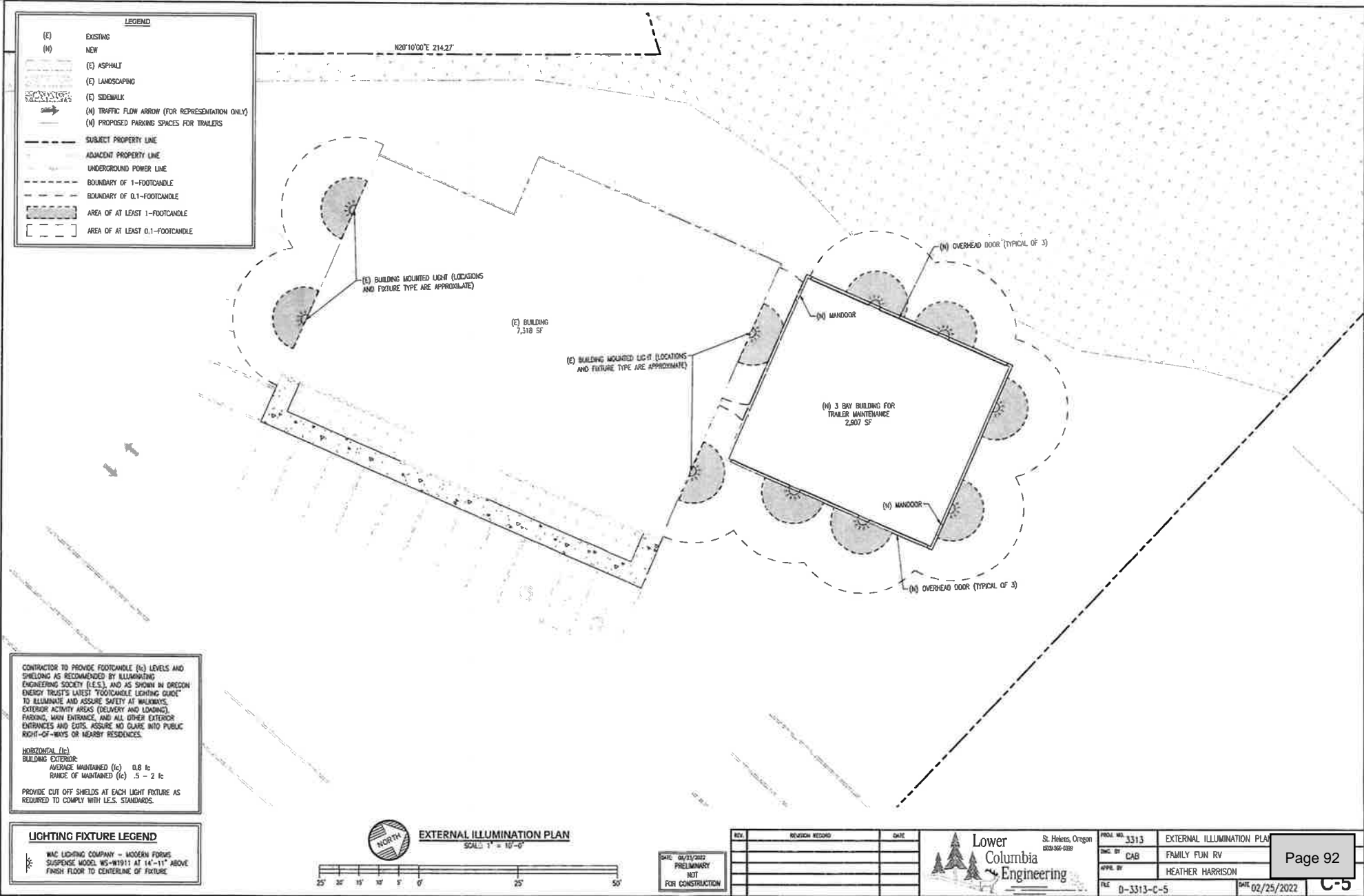
PROJECT NO.	3313	PLOT PLAN, VICINITY MAP AND
DATE	04/23/2022	
ENGINEER	CAB	FAMILY FUN RV
DATE	04/23/2022	
BY	HEATHER HARRISON	
FILE	D-3313-G-1	DATE: 02/25/2022

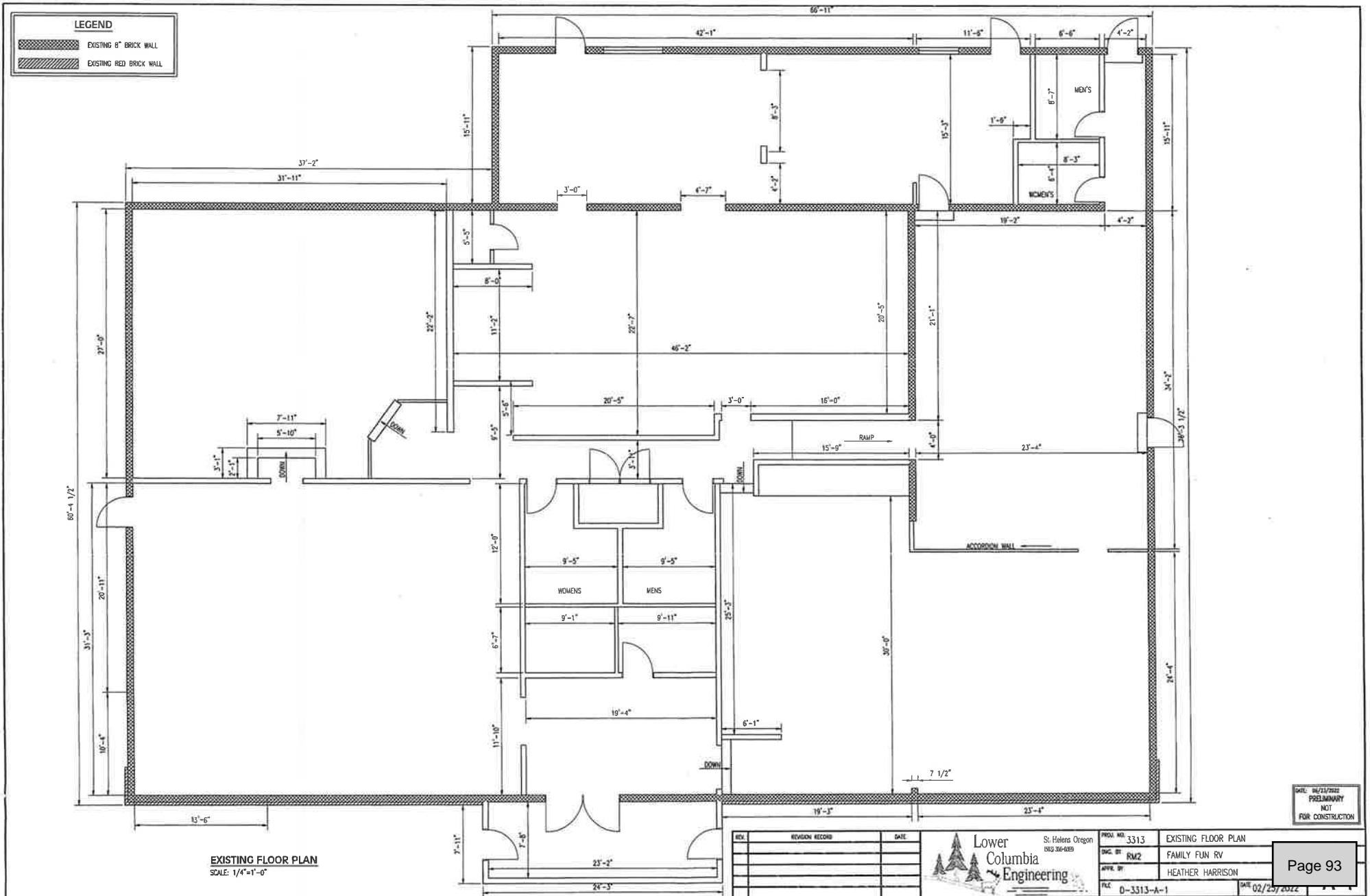


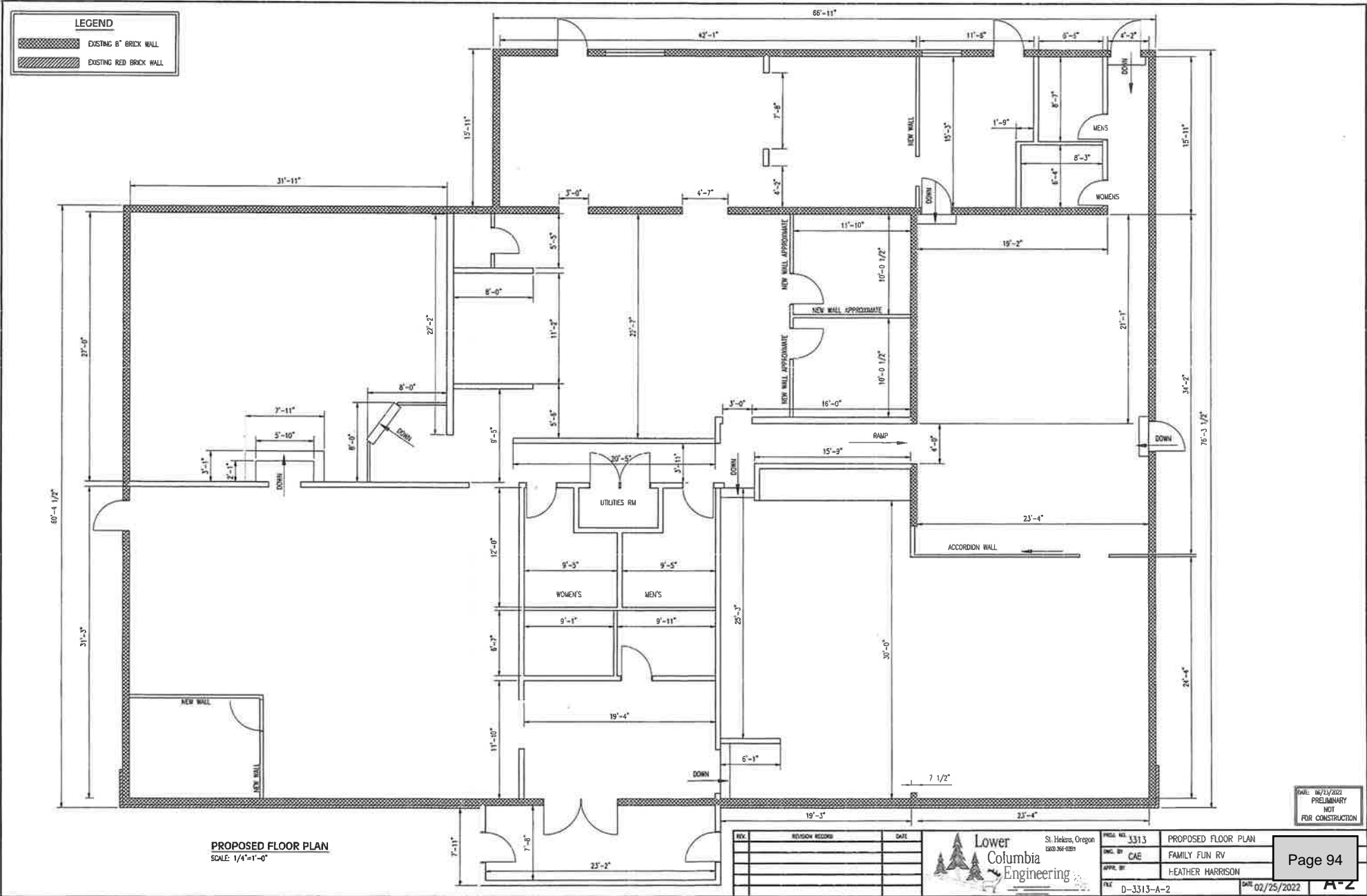


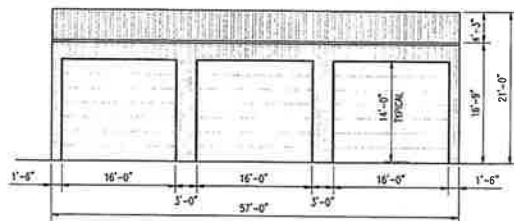






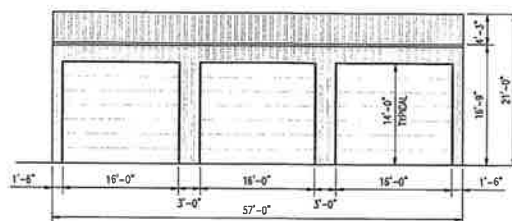






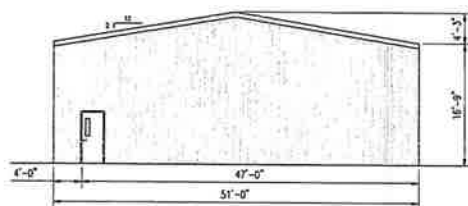
SOUTHEAST ELEVATION

SCALE: 1/8"=1'-0"



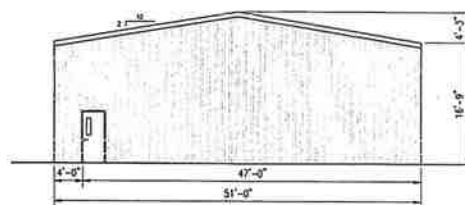
NORTHWEST ELEVATION

SCALE: 1/8"=1'-0"



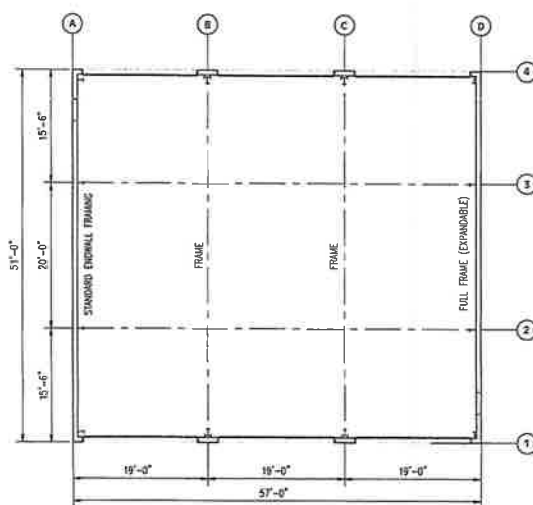
SOUTHWEST ELEVATION

SCALE: 1/8"=1'-0"



NORTHEAST ELEVATION

SCALE: 1/8"=1'-0"

FRAMING LAYOUT
SCALE: 1/8"=1'-0"

PRE-ENGINEERED METAL BUILDING SPECIFICATIONS

1. APPLICABLE GOVERNING CODES
 - A. 2019 OREGON STRUCTURAL SPECIALTY CODE
 - B. CURRENT AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL OF STEEL CONSTRUCTION-I
 - C. AMERICAN WELDING SOCIETY D1.1
 - D. ALL LOCAL CODES SHALL BE FOLLOWED AND VERIFIED BY BUILDING MANUFACTURER.
2. DESIGN CRITERIA (TO BE VERIFIED BY BUILDING ENGINEER)
 - A. MINIMUM ROOF & GROUND SNOW LOAD = 25 POUNDS PER SQUARE FOOT
 - B. BUILDING IS HEATED
 - C. COLLATERAL ROOF DEAD LOAD = 5 POUNDS PER SQUARE FOOT
 - D. BASIC WIND SPEED = 120 MILES PER HOUR (3-SECOND GUST)
 - E. WIND EXPOSURE = C
 - F. CATEGORY CLASSIFICATION FOR IMPORTANCE FACTOR = II
 - G. SEISMIC DESIGN CATEGORY D & THE FOLLOWING FACTORS
 $S_s = 0.841$
 $S_1 = 0.406$
3. PRIMARY STRUCTURE
 - A. ALL STRUCTURAL STEEL PLATE SHALL CONFORM TO ASTM A529, A572 OR A1011 GRADE 50.
 - B. ALL HOT ROLLED I/J SHAPES SHALL CONFORM TO ASTM A36 OR A572.
 - C. ALL SQUARE AND RECTANGULAR TUBING SHALL CONFORM TO ASTM A500 GRADE B.
 - D. ALL ROUND PIPE SHALL CONFORM TO ASTM A53 OR A500 GRADE B.
 - E. ALL FRAMES SHALL RECEIVE 3.5 MILS OF PUST INHIBITIVE PRIMER AFTER CLEANING OF OIL, DIRT, LOOSE SCALE AND FOREIGN MATTER. EXPOSED STEEL SHALL BE TOUCHED UP WITH MATCHING PRIMER TO PREVENT CORROSION.
 - F. FRAMES SHALL BE DESIGNED SUCH THAT OWNER IS NOT RESTRICTED FROM WELDING TO THEM.
4. SECONDARY ROOF FRAMING
 - A. ALL COLD FORMED LIGHT GAGE SHAPES SHALL CONFORM TO ASTM A1011 GRADE 55.
 - B. ALL SECONDARY ROOF FRAMING SHALL BE DESIGNED WITH A MAXIMUM DEFLECTION OF 1/240 UNDER THE MOST SEVERE LOADING COMBINATIONS.
 - C. ALL PURLINS SHALL BE 14 GAGE MINIMUM.
 - D. PROVIDE PRICING OPTION FOR GALVANIZED ROOF PURLINS.
 - E. ROOF PANELS SHALL BE ATTACHED TO PURLINS WITH SSR CLIPS WITH MOVABLE TABS WHICH INTERLOCK WITH SEALED SSR PANEL RIBS AND PROVIDE FOR 1 1/2 INCHES OF PANEL MOVEMENT IN EITHER DIRECTION FROM CENTER OF CLIP TO COMPENSATE FOR THERMAL EFFECTS. INSTALLATION SETTING SHALL ALLOW FOR CURRENT TEMPERATURE.
5. WALL FRAMING
 - A. ALL COLD FORMED LIGHT GAGE SHAPES SHALL CONFORM TO ASTM A1011 GRADE 55.
 - B. ALL WALL GIRTS SHALL BE 14 GAGE MINIMUM.
 - C. ALL GIRT SPANS IN EXCESS OF 25 FEET SHALL HAVE SAG BRACING AT CENTER POINT.
 - D. INSIDE LIP OF ALL WALL GIRTS SHALL BE TURNED DOWN TO PREVENT ACCUMULATION OF DEBRIS.
 - E. PROVIDE PRICING OPTION FOR GALVANIZED WALL GIRTS.
6. BOLTS
 - A. ALL BOLTS SHALL CONFORM TO ASTM A307, A325 OR A490, AS REQUIRED PER THE LATEST EDITION OF THE AISC DESIGN MANUAL.
 - B. ALL BOLTS SHALL BE FULLY TENSIONED AND INSPECTED IN ACCORDANCE WITH THE LATEST AISC/RCS "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS" AND THE APPLICABLE BUILDING CODE.
 - C. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY PROPER BOLT TIGHTNESS.
7. SIDING AND ROOFING
 - A. ALL SIDING AND ROOFING SHALL CONFORM TO ASTM A553 OR A792 GRADE 50, 28 GAGE MINIMUM AND BE PRE-PRIMED AND FINISH COATED PER OWNER'S STANDARD COLOR. OWNER SHALL APPROVE ACTUAL COLOR FROM SAMPLE.
 - B. ROOF SYSTEM SHALL BE SSR TESTED AND CERTIFIED TO MEET UNDERWRITERS LABORATORIES UL 90 WIND UPLIFT RATING.
 - C. SIDING, ROOFING AND NECESSARY FLASHING SHALL BE CONFIGURED TO PREVENT WIND AND RAIN FROM ENTERING THE BUILDING, EVEN UNDER EXTREME WEATHER CONDITIONS.
 - D. ROOF SYSTEM SHALL ACCOMMODATE PROPER VENTILATION PER ALL APPLICABLE CODES.
8. BRACING
 - A. ALL BRACE RODS SHALL CONFORM TO ASTM A572 GRADE 65.
 - B. ALL STRUCTURAL CABLES SHALL CONFORM TO ASTM A475 GRADE EPS.
 - C. ALL BRACING SYSTEMS SHALL INCLUDE MEANS FOR TIGHTENING.
 - D. NO BRACING SHALL BE SPECIFIED WITHIN THE PRESCRIBED WALL OPENINGS.
 - E. NO BRACING SHALL EXTEND INTO BUILDING SPACE BEYOND THE MAIN BUILDING FRAMES.
9. INSULATION
 - A. INSULATION SHALL CONFORM TO MANA 202-96.
 - B. ENTIRE ROOF SHALL BE COVERED WITH R30 FIBERGLASS BLANKET INSULATION WITH A VINYL REINFORCED VINYL VAPOR BARRIER ON THE INSIDE, WITH A MINIMUM THICKNESS OF .003". PROVIDE R30 FIBERGLASS BLANKET INSULATION IN WALLS.
 - C. ANY TEARS OR DAMAGE TO VAPOR BARRIER AND INSULATION SHALL BE APPROPRIATELY REPAIRED PRIOR TO JOB COMPLETION.
10. GUTTER SYSTEM
 - A. GUTTER SYSTEM SHALL BE DESIGNED TO HANDLE A 100 YEAR ONE HOUR EVENT UNDERGROUND COLLECTOR SYSTEM.
 - B. GUTTERS SYSTEM SHALL BE CAPABLE OF WITHSTANDING LOADING FROM SNOW AND/OR ICE SLIDING OFF OF THE ROOF SYSTEM.
 - C. SECTION BAFFLES SHALL NOT BE LEFT IN PLACE THAT RESTRICTS FLOW.
 - D. ZINC COATING IS NOT ALLOWED.
11. DOORS
 - A. ALL DOORS SHALL CONFORM TO THE STEEL DOOR INSTITUTE 100, GRADE 1, MODEL 1, 1 3/4" THICK WITH 20 GA. STEEL FACE SHEETS.
 - B. FRAMES SHALL INCLUDE 4 3/4" MINIMUM JAMB DEPTH WITH A MINIMUM THICKNESS OF 16 GAGE.
 - C. FINISH SHALL BE TWO COATS OF BAKED ON PAINT ON ALL EXPOSED SURFACES, APPLY AFTER CHEMICAL TREATMENT FOR CORROSION RESISTANCE AND PAINT ADHESION WITH OWNER'S STANDARD COLOR.
12. SPECIAL CONDITIONS
 - A. BASE BID SHALL BE SUBMITTED IN ACCORDANCE WITH ALL SPECIFICATIONS AND COMMON INDUSTRY STANDARDS. OPTIONS THAT ARE SUGGESTED AS IMPROVEMENTS TO PERFORMANCE OR PRICE ARE WELCOME. SUCH OPTIONS SHALL BE CLEARLY IDENTIFIED, EXPLAINED AND ACCOMPANIED WITH THE APPROPRIATE PRICE ADDITION OR DEDUCTION FROM THE BASE BID.
 - B. ANY CHANGES TO THESE SPECIFICATIONS WILL BE BY WRITTEN ADDENDUM ONLY.
 - C. NO ADDITIONAL WORK SHALL BE DONE WITHOUT A WRITTEN CHANGE ORDER THAT HAS BEEN APPROVED BY THE OWNER AND CONTRACTOR.

DATE: 06/23/2022
PRELIMINARY
NOT
FOR CONSTRUCTION

REV.	REVISION RECORD	DATE



St. Helens, Oregon
503 366-6280

PROJ. NO.	3313	PROPOSED BUILDING ELEVATION
DWG. BY	FAMILY FUN RV	
APPR. BY	HEATHER HARRISON	
FILE	0-3313-A-3	DATE 02/25/2022

Family Fun RV

SITE DESIGN REVIEW NARRATIVE

Civil Engineer:

Lower Columbia Engineering, LLC
58640 McNulty Way
Saint Helens, OR 97051
Phone: (503) 366-0399
Engineer: Andrew Niemi
Email: andrew@lowercolumbiaengr.com
Contact: Chase Berg
Email: chase@lowercolumbiaengr.com

Client:

Family Fun RV
58209 Columbia River Highway
St. Helens, Oregon 97051
Contact: Heather Harrison
Phone: (971) 803-7912

Project Type: Commercial
Project Location: St. Helens, Oregon

June 2022

LCE Project No. 3313





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The approval criteria and requirements addressed in this document for the Site Design Review application were referenced from sections 820, 1313, 1400, 1506, and 1550 of the Columbia County Zoning Ordinance.



Project Narrative

A. Name of the Project

The name of this project is Family Fun RV.

B. Who

The property is currently owned by JH Rental LLC and is being developed by Family Fun RV. The primary contact for this project is Heather Harrison with Family Fun RV. Chase Berg with Lower Columbia Engineering is also the applicant's representative and is available to be contacted with any questions.

C. What

The extents of this project are to provide a space for the sales of recreational vehicles. In order to accomplish this goal, the existing building on-site will be renovated to accommodate sales staff as well as a parts department.

D. When

A building permit application has been filled out with the county and has been approved to remodel the existing building on-site. The permit number for this is 22-00018-STR and was issued on February 10th, 2022. On-site improvements are expected to begin in October 2022 and are expected to end around June 2023.

E. Where

The proposed property is within the City of St. Helens urban growth boundary, but is located outside of city limits. The project is located at 58209 Columbia River Highway St. Helens, Oregon 97051. The tax account number for this property is 17046.

F. How

Heather Harrison with Family Fun RV has contracted Lower Columbia Engineering for both the civil engineering and for building elevations/footing design. Robert Evans Company has also been contracted as the on-site contractor. Lastly, Peak Electric has been involved for all electrical installation.

**Section 820 CCZO: General Commercial (C-3)**

[...]

822 Permitted Uses:

[...]

24. *Automotive and Truck Sales Area*

Response: The proposed development is for recreational vehicles (RV) sales. In addition, this development proposes for the construction of a new building to allow for RV's to be serviced. The existing building will be renovated to accommodate sales staff and a parts department.

823 Uses Subject to Administrative Review: *The following uses are permitted, subject to review and approval under prescriptive standards specified herein and as may otherwise be indicated by federal, state and local permits or regulations using the process in Section 1601.*

1. *Signs subject to the provisions outlined in Section 1300.*

Response: There is an existing sign near the entrance onto Columbia River Highway. For more information, please see section 1300 within this narrative.

2. *Off-street parking subject to the provisions outlined in Section 1400.*

Response: Off-street parking is provided around the existing building. For more information see section 1400 within this narrative or the site plan.

3. *Marijuana retailing subject to standards in Section 1803.*

Response: No marijuana retailing is proposed as part of this development.

[...]

825 Standards:**1. *The standards which apply in the C-4 District shall apply in the C-3 District.***

[...]

Section 810 CCZO: Neighborhood Commercial (C-4)

[...]

814 Criteria for Approval of all Permitted and Conditional Uses:**1. *The use shall be served by public sewer and public water.***

Response: This property is served by McNulty Water Association, City of St. Helens Sewer, and Columbia River Fire and Rescue.

2. *The use shall be on an arterial or collector street.*

Response: The subject property has frontage along Millard Road which is a county Arterial Road. Additionally, the property has frontage along Columbia River Highway which is a principal arterial road owned by the Oregon Department of Transportation (ODOT).

3. *Signs shall be in accordance with Section 1300.*

Response: There is an existing sign near the entrance onto Columbia River Highway. For more information, please see sections 1300 and 1313 within this narrative.

4. *Off-Street parking shall be in accordance with Section 1400.*

Response: Off-street parking is provided around the existing building. For more information see section 1400 within this narrative or the site plan.

5. *The use shall be reviewed by the Design Review Board or Planning Commission and shall comply with any and all conditions found necessary to protect adjacent property owners from incompatible uses.*

Response: The applicant understands that the application shall be reviewed by the Design Review Board or Planning Commission and shall comply with any and all conditions found necessary to protect adjacent property owners from incompatible uses.

815 Prohibited Uses:

1. *Marijuana retailing*

Response: Marijuana retailing is not proposed as part of this development.

816 Standards:

1. Lot or Parcel Size and Coverage:

- A. *The maximum lot or parcel size shall be 40,000 square feet.*

Response: The lot size for the subject property is 4.47 acres, which is greater than 40,000 square feet, but this lot size is considered an existing condition.

- B. *The maximum floor space for a single use shall be 5,000 square feet.*

Response: As part of this application, a non-conforming use application will be filled out. The proposed development requests an additional building to be added to the site. Under CCZO 816.1(B), a maximum of 5,000 square feet of floor space is allowed for a single use. Under sections 1506.5 and 1506.9 of the CCZO, an expansion is allowed up to 40% of the square footage of existing buildings. After field exploration was completed, the existing building was found to be 7,318 square feet which would allow for an expansion up to 2,927.2 square feet. The proposed building is currently 2,907 square feet which is under the allowed maximum.

2. *Setbacks*

- A. *Front yard setbacks shall be a minimum of 20 feet, unless a previous building line less than this has been established, in which case the minimum front yard for interior lots or parcels shall be the average of the setbacks of the main structures on abutting lots or parcels on either side if both lots or parcels are occupied. If one lot or parcel is occupied and the other vacant, the setback shall be the setback of the occupied lot or parcel, plus one-half the remaining distance to the required 20-foot setback. If neither of the abutting side lots or tracts are occupied by a structure, the setback shall be 20 feet.*

Response: Both the existing and proposed structures are setback much further than the minimum front yard setback required.

- B. *Side yard setback: None, except property abutting a residential or apartment district, in which case the side yard on the abutting side shall be the same as the abutting property.*



On a corner lot or parcel, the side abutting the street shall have a minimum setback of 10 feet.

Response: Both the existing and proposed structures are setback much further than the minimum side yard setback required. The proposed building has been designed to allow for further expansion to the north, but in no way will be less than the minimum required side yard setback if the building is expanded further north.

- C. Rear yard setback: None, except property abutting a residential or apartment district, in which case the rear yard shall be the same as the abutting property.*

Response: Both the existing and proposed structures are setback much further than the minimum rear setback required.

- D. Setbacks for insufficient right-of-way: The minimum front, side, or other setbacks as stated herein shall be increased where such yard or setback abuts a street having insufficient right-of-way width to serve the area. The Commission shall determine the necessary right-of-way widths and the additional yard or setback requirements in such cases.*

Response: Both the existing and proposed structures are near the middle of the property and are far away from any right-of-way. The applicant understands that additional setbacks may be necessary if the Commission determines that there is insufficient right-of-way serving the area.

- 3. Height Limitation: The maximum height of a structure shall be 35 feet or 2-1/2 stories, whichever is less.*

Response: The design of the proposed building has a single-story building height of 21 feet. In the instance that this building height changes, the applicant understands that the structure shall be 35 feet or 2-1/2 stories tall, whichever is less.

- 4. Off-Street Parking: Off-street parking shall be provided as required in Section 1400.*

Response: Off street parking has been provided on-site surrounding the existing building. For more information on off-street parking see section 1400 within this narrative.

- 5. Landscaping: Landscaping and screening will be provided on each site and shall satisfy the following requirements:*

- A. All areas of the site not occupied by paved roadways, walkways, patios, or buildings shall be landscaped with ground covers, shrubs, and decorative or ornamental trees.*

Response: A landscaping plan has been provided within this application. All areas not occupied by paved roadways, walkways, patios, or buildings have been landscaped. For more information see sheet C-4.

- B. It shall be the owner's responsibility to maintain the landscaping installed on the site.*

Response: The applicant understands that it is the owner's responsibility to maintain the landscaping installed on the site.

- C. Screen planting, masonry walls, or fencing shall be provided to screen objectionable views within 5 months of occupancy of a related building. Views to be screened include garbage and trash collection stations and other similar uses.*

Response: The applicant understands that all garbage/trash collection stations, or other similar uses shall be screened within 5 months of occupancy. All information pertaining to landscaping and screening can be found on sheet C-4.

6. Access: No more than one 45-foot-wide curb cut driveway per 150 feet of street frontage, or fraction thereof, shall be permitted per site.

Response: The current driveway access's off of Columbia River Highway and Millard Road are not proposed to be improved as part of this development.

817 Lots of Record: Lots or parcels lawfully created by a subdivision plat, or by a deed or a sales contract, and of record in the County Clerk's office, shall be eligible to receive a building permit for any use permitted in this District, if such permit would have been issued otherwise but for the lot or parcel width, depth, or area, but subject to all other regulations of this zone.

Response: The applicant understands that a legal lot of record is needed in order to receive a building permit for any use permitted in this District.

818 Subdivisions and Partitions: All subdivision and partition requests shall conform to the applicable standards set out in the Subdivision and Partitioning Ordinance.

Response: The proposed development is not a subdivision or a partition, this is not applicable.

Section 1300 CCZO: Signs

[...]

Section 1313 CCZO: Commercial and Industrial Districts:

1. Signs Permitted: Signs shall be permitted in Commercial and Industrial zoning districts subject to the provisions of this Section, except to the extent such provisions conflict with the specific development standards for signs in the underlying zoning district.

Response: As a sign exists on the property, it is understood that signs will be held to the specific development standards.

2. Limit on Sign Area: Except as otherwise permitted in Section 1302.5, no sign having a sign area greater than 200 square feet shall be permitted.

Response: The existing sign area on-site has an area of approximately 72 square feet on each side. As this sign has two sides, the total square footage of sign is approximately 144 square feet. This total is less than the maximum of 200 square feet.

3. Aggregate Sign Area Per Parcel:

- A. Except as otherwise provided herein, the maximum permitted area of all signs, including the total area of each face of a double-faced sign, or the sole face of a single faced sign for each parcel, is as follows: 40 square feet; plus

Response: The face of each sign has an area of approximately 72 square feet. As described in the sections below, the allowable sign area is approximately 180 square feet taking into consideration the Millard and Columbia River Highway Frontages.



- 1) *For the first fifty (50) linear feet of building frontage on a public road, an additional square foot of sign area per linear foot of building frontage on such public road; plus*

Response: The subject site has building frontages on two public roads; the first being Columbia River Highway and the second being Millard Road. Millard Road has a frontage length of approximately 76 linear feet while Columbia River Highway has a frontage length of approximately 104 linear feet. With these two frontage lengths, and taking into consideration 1313.3.A.2, the total permissible sign area is approximately 180 square feet. The existing sign on-site will be renovated to have a total area of approximately 144 square feet, which is under the maximum area permitted.

- 2) *For the next two hundred and twenty (220) linear feet of building frontage on a public road, an additional one-half (1/2) square foot of sign area per linear foot of building frontage on such public road.*

Response: The subject site has building frontages on two public roads; the first being Columbia River Highway and the second being Millard Road. Millard Road has a frontage length of approximately 76 linear feet while Columbia River Highway has a frontage length of approximately 104 linear feet. With these two frontage lengths, the total permissible sign area is approximately 180 square feet. The existing sign on-site will be renovated to have a total area of approximately 144 square feet, which is under the maximum area permitted.

- B. *For the purpose of this section, "building frontage" means the linear length of a building facing a public right of way or the linear length of the public right of way facing a building, whichever is smaller.*

Response: It is understood that building frontage is defined as the linear length of a building facing a public right of way or the linear length of the public right of way facing a building, whichever is smaller.

- C. *The area of any legal non-conforming sign which is greater than 200 square feet in size shall not be included in the calculation of maximum sign area per parcel under this Section.*

Response: No non-conforming signs are present on the subject property. All signs are under the allowed 180 square feet.

- D. *The area of any temporary sign permitted under 1313.7 shall not be included in the calculation of maximum sign area per parcel under this section.*

Response: No temporary signs are proposed with this development.

4. Free Standing Signs: *Free standing signs, including ground mounted signs, must comply with the following additional standards:*

Response: An existing free-standing sign is present on the subject property and is proposed to be renovated as part of this development.

- A. Height: *Free standing signs shall not exceed 20 feet in height above grade or above road grade, whichever is higher.*

Response: The existing sign is under the maximum height of 20 feet.

- B. Total Area: The total sign area of all freestanding signs allowed by this section plus the area of all other allowed signs on the parcel shall not exceed the aggregate sign limits for the parcel as provided in Section 1313.3.

Response: As referenced in section 1313.3, the maximum allowed sign area is approximately 180 square feet due to the Columbia River Highway frontage and the Millard Road frontage. The existing sign is under the allowable sign area as described in section 1313.3.

- C. Center/Complex Signs: Only one freestanding sign shall be allowed for a center/complex even when there is more than one parcel in or owner of the center/complex, unless one additional sign is needed to provide identification of the development at a major public access point on a different road. No more than two freestanding signs will be allowed. For purposes of this Section, "Center/Complex" means any number of businesses greater than one which share the same site using common points of ingress and egress and/or common parking facilities. Legal nonconforming signs shall not be included in the calculation of the number of freestanding signs per parcel under this Section.

Response: Only one existing sign exists on the subject property. No additional signs are proposed as part of this development.

- D. Illumination: Free standing signs may be illuminated subject to subsection 1302.4.

Response: The existing sign on the subject property has interior illumination and meets the criteria depicted in subsection 1302.4.

5. Building Mounted Signs: Signs mounted or painted on buildings must comply with the following additional standards:
- A. Area. The total sign area of all building mounted signs allowed pursuant to this section in addition to the area of all other allowed signs per parcel shall not exceed the aggregate sign limits for the parcel as provided in section 1313.3.
 - B. Height. Building mounted signs shall not extend more than four (4) feet above the roof of the building on which it is mounted.
 - C. Illumination. Building mounted signs may be illuminated subject to the illumination standards set forth in subsection 1302.4.

Response: No building mounted signs are proposed with this development.

6. Traffic Control/Directional Signs: On-site traffic control and directional identification signs shall be required as may be necessary, commensurate with the size and use of the site, in conjunction with site design review, if such review is required. Centers/ complexes combining several uses shall provide tenant directories, or building identification and directional signing oriented toward on- site vehicle and pedestrian circulation.

Response: As the proposed use of the subject property is for a single use; no on-site traffic control or directional identification signs are proposed with this development. As seen on the site plan, sheet C-2, directional arrows are shown to represent flow of traffic. These directional arrows are for representation and will not be striped as shown.

7. Temporary Signs. Signs of a temporary nature may be allowed provided they meet the following standards. For purposes of this section, "temporary" shall mean not to exceed one year.
- A. The temporary sign area shall not exceed 60 square feet.
 - B. The temporary sign shall observe the setback provisions under subsection 1302.2.



- C. Only one temporary sign shall be permitted per parcel.
- D. The temporary sign shall not be artificially illuminated.
- E. The temporary sign shall be removed from the premises after the one-year temporary sign period has expired.

Response: No temporary signs are proposed with this development.

- 8. *Animated or Video Signs Prohibited:* No sign shall contain, include, or be illuminated by any flashing, intermittent, revolving, rotating, or moving light or move or have any animated or moving parts except that this Section shall not apply to:

Response: No animated or video signs are proposed with this development.

- A. *Traffic control signs.*

Response: No traffic control signs are proposed with this development.

- B. *Signs, displays, devices, or portions thereof with lights that may be changed at intermittent intervals by electronic process or remote control. The maximum size of the display area for such changing numbers or letters is ten (10) square feet.*

Response: Although the existing sign has internal illumination, the internal illumination does not have the capability of being changed at intermittent intervals by electric process or remote control.

Section 1314 CCZO: Calculating Sign Area: [Amended by Ordinance 2002-02, eff. 6/12/02]. The structure supporting or appearing to support a freestanding sign shall not be included in the area of the sign, unless such structural element is typically used to carry signage. In calculating the square footage of a sign, the width shall be measured at the widest part of the sign, including any cut-outs, and the length shall be measured at the longest part of the sign, including any cut-outs. The maximum square footage limitation of the sign shall be calculated such that no cutouts or other Copy shall be permitted outside of the size limitation.

Response: When calculating the area of the sign, the square footage of the sign does not include the structure supporting the free-standing sign and includes the areas of cut outs.

Section 1315 CCZO: Copy Area. [Amended by Ordinance 2002-02, eff. 6/12/02]. Copy is allowed only in the face of the sign. Copy is prohibited in the ledger area of the sign, on the post of the sign, or other structure of the sign, except to the extent that the sign owner's logo or other disclosure is required by law to be placed on the ledger, post or other structure of the sign. For purposes of this Section, "copy" is defined as any text or image.

Response: The renovated sign proposed to only use "copy" on the face of the sign and will not have "copy" on the ledger or on the post of the sign.

Section 1313 CCZO: Commercial and Industrial Districts

- 1. *Signs Permitted:* Signs shall be permitted in Commercial and Industrial zoning districts subject to the provisions of this Section, except to the extent such provisions conflict with the specific development standards for signs in the underlying zoning district.

Response: As a sign exists on the property, it is understood that signs will be held to the specific development standards.



2. *Limit on Sign Area: Except as otherwise permitted in Section 1302.5, no sign having a sign area greater than 200 square feet shall be permitted.*

Response: The existing sign area on-site has an area of approximately 72 square feet on each side. As this sign has two sides, the total square footage of sign is approximately 144 square feet. This total is less than the maximum of 200 square feet.

3. *Aggregate Sign Area Per Parcel.*

- A. *Except as otherwise provided herein, the maximum permitted area of all signs, including the total area of each face of a double-faced sign, or the sole face of a single faced sign for each parcel, is as follows: 40 square feet; plus*

Response: The face of each sign has an area of approximately 72 square feet. As described in the sections below, the allowable sign area is approximately 180 square feet taking into consideration the Millard and Columbia River Highway Frontages.

- 1) *For the first fifty (50) linear feet of building frontage on a public road, an additional square foot of sign area per linear foot of building frontage on such public road; plus*

Response: The subject site has building frontages on two public roads; the first being Columbia River Highway and the second being Millard Road. Millard Road has a frontage length of approximately 76 linear feet while Columbia River Highway has a frontage length of approximately 104 linear feet. With these two frontage lengths, and taking into consideration 1313.3.A.2, the total permissible sign area is approximately 180 square feet. The existing sign on-site will be renovated to have a total area of approximately 144 square feet, which is under the maximum area permitted.

- 2) *For the next two hundred and twenty (220) linear feet of building frontage on a public road, an additional one-half (½) square foot of sign area per linear foot of building frontage on such public road.*

Response: The subject site has building frontages on two public roads; the first being Columbia River Highway and the second being Millard Road. Millard Road has a frontage length of approximately 76 linear feet while Columbia River Highway has a frontage length of approximately 104 linear feet. With these two frontage lengths, the total permissible sign area is approximately 180 square feet. The existing sign on-site will be renovated to have a total area of approximately 144 square feet, which is under the maximum area permitted.

- B. *For the purpose of this section, "building frontage" means the linear length of a building facing a public right of way or the linear length of the public right of way facing a building, whichever is smaller.*

Response: It is understood that building frontage is defined as the linear length of a building facing a public right of way or the linear length of the public right of way facing a building, whichever is smaller.

- C. *The area of any legal non-conforming sign which is greater than 200 square feet in size shall not be included in the calculation of maximum sign area per parcel under this Section.*



Response: No non-conforming signs are present on the subject property. All signs are under the allowed 180 square feet.

- D. The area of any temporary sign permitted under 1313.7 shall not be included in the calculation of maximum sign area per parcel under this section.*

Response: No temporary signs are proposed with this development.

- 4. Free Standing Signs: Free standing signs, including ground mounted signs, must comply with the following additional standards:*

Response: An existing free-standing sign is present on the subject property and is proposed to be renovated as part of this development.

- A. Height: Free standing signs shall not exceed 20 feet in height above grade or above road grade, whichever is higher.*

Response: The existing sign is under the maximum height of 20 feet.

- B. Total Area: The total sign area of all freestanding signs allowed by this section plus the area of all other allowed signs on the parcel shall not exceed the aggregate sign limits for the parcel as provided in Section 1313.3.*

Response: As referenced in section 1313.3, the maximum allowed sign area is approximately 180 square feet due to the Columbia River Highway frontage and the Millard Road frontage. The existing sign is under the allowable sign area as described in section 1313.3.

- C. Center/Complex Signs: Only one freestanding sign shall be allowed for a center/complex even when there is more than one parcel in or owner of the center/complex, unless one additional sign is needed to provide identification of the development at a major public access point on a different roads. No more than two freestanding signs will be allowed. For purposes of this Section, "Center/Complex" means any number of businesses greater than one which share the same site using common points of ingress and egress and/or common parking facilities. Legal non-conforming signs shall not be included in the calculation of the number of freestanding signs per parcel under this Section.*

Response: Only one existing sign exists on the subject property. No additional signs are proposed as part of this development.

- D. Illumination: Free standing signs may be illuminated subject to subsection 1302.4.*

Response: The existing sign on the subject property has interior illumination and meets the criteria depicted in subsection 1302.4.

- 5. Building Mounted Signs: Signs mounted or painted on buildings must comply with the following additional standards:*

- A. Area. The total sign area of all building mounted signs allowed pursuant to this section in addition to the area of all other allowed signs per parcel shall not exceed the aggregate sign limits for the parcel as provided in section 1313.3.*

- B. *Height. Building mounted signs shall not extend more than four (4) feet above the roof of the building on which it is mounted.*
- C. *Illumination. Building mounted signs may be illuminated subject to the illumination standards set forth in subsection 1302.4.*

Response: No building mounted signs are proposed with this development.

- 6. *Traffic Control/Directional Signs: On-site traffic control and directional identification signs shall be required as may be necessary, commensurate with the size and use of the site, in conjunction with site design review, if such review is required. Centers/ complexes combining several uses shall provide tenant directories, or building identification and directional signing oriented toward on-site vehicle and pedestrian circulation.*

Response: As the proposed use of the subject property is for a single use; no on-site traffic control or directional identification signs are proposed with this development. As seen on the site plan, sheet C-2, directional arrows are shown to represent flow of traffic. These directional arrows are for representation and will not be striped as shown.

- 7. *Temporary Signs. Signs of a temporary nature may be allowed provided they meet the following standards. For purposes of this section, "temporary" shall mean not to exceed one year.*
 - A. *The temporary sign area shall not exceed 60 square feet.*
 - B. *The temporary sign shall observe the setback provisions under subsection 1302.2.*
 - C. *Only one temporary sign shall be permitted per parcel.*
 - D. *The temporary sign shall not be artificially illuminated.*
 - E. *The temporary sign shall be removed from the premises after the one-year temporary sign period has expired.*

Response: No temporary signs are proposed with this development.

- 8. *Animated or Video Signs Prohibited: No sign shall contain, include, or be illuminated by any flashing, intermittent, revolving, rotating, or moving light or move or have any animated or moving parts except that this Section shall not apply to:*

Response: No animated or video signs are proposed with this development.

- A. *Traffic Control Signs*

Response: No traffic control signs are proposed with this development.

- B. *Signs, displays, devices, or portions thereof with lights that may be changed at intermittent intervals by electronic process or remote control. The maximum size of the display area for such changing numbers or letters is ten (10) square feet.*

Response: Although the existing sign has internal illumination, the internal illumination does not have the capability of being changed at intermittent intervals by electric process or remote control.



Section 1400 CCZO: Off Street Parking and Loading Requirements

[...]

Section 1406 Location:

1. *Spaces required by this section shall be provided on the site of the primary uses, provided that, when practical difficulties prevent their establishment upon the same site, the Planning Director may permit the facility to be located within 300 feet therefrom, measured in a straight line (including streets and alleys) from the nearest property line to the nearest parking space; but in any case, the location shall meet all provisions of this ordinance which apply.*

Response: The applicant understands that parking requirements must be met unless practical difficulties prevent their establishment upon the same site.

2. *Loading spaces and maneuvering area shall be located only on or abutting the property served.*

Response: As seen on the site plan, sheet C-2, an area for loading has been shown, but it will not be striped as shown. This loading area is shown for representational purposes only. In instances where loading is necessary, trucks will be able to park in the area shown on sheet C-2 or anywhere else on the subject property as there are large areas of un-occupied space. In addition, unoccupied RV spaces can be used for loading areas.

Section 1407 Change of Use: *In case of enlargement or change of use, the number of parking or loading spaces required shall be based upon the total area involved in the enlargement or change in use.*

Response: The applicant understands that in the case of enlargement or change of use, the number of parking or loading spaces required may change with the enlargement or change in use.

Section 1408 Design Standards:

1. *Scope:*

- a. *These design standards shall apply to all parking, loading, and maneuvering areas except those for single and two-family residential dwellings on individual lots.*

Response: The design standards described below will be met and can be seen on the site plan, sheet C-2.

- b. *All parking and loading areas shall provide for the turning, maneuvering, and parking of all vehicles on the lots.*

Response: All parking and loading areas have been designed to allow for turning, maneuvering and parking of all vehicles on the lot.

Section 1409 Loading Spaces:

1. *Apartment: Each required space shall be at least 12 feet in width and 25 feet in length.*

Response: This development does not propose apartments, this criterion is not applicable.

2. *Commercial: Each required space shall be at least 12 feet in width and 35 feet in length.*

Response: No permanent designated loading spaces are proposed with this development, however, when loading is necessary, the site has large areas of un-occupied space. In addition, unoccupied RV spaces can be used for loading areas. At a minimum, on-site RV spaces are shown to be 14 feet in width and 35 feet in length. A conceptual location for where loading activities can occur can be seen on the site plan, sheet C-2.



3. *Industrial: Each required space shall be at least 12 feet in width and 60 feet in length.*

Response: This development is not an industrial development; this criterion is not applicable.

4. *Clearance: The height of each required loading space shall provide a minimum vertical clearance of 13 feet.*

Response: No designated loading spaces are shown on the plans, however, when loading is necessary, all available loading spaces have a minimum of 13 feet of vertical clearance.

Section 1410 Size:

1. *The standard size of a parking space shall be 9 feet by 18 feet.*

Response: Existing parking spaces surrounding the existing building are being re-used. All existing parking spaces, except for handicapped parking spaces, shall be 9 feet by 18 feet.

2. *Handicapped parking spaces shall be 12 feet by 18 feet.*

Response: Two (2) handicapped parking spaces are provided and are at a minimum 12 feet by 18 feet.

3. *Parallel parking, the length of the parking space shall be increased to 22 feet*

Response: No parallel parking spaces are proposed with this development.

[...]

Section 1416 Minimum Required Off-Street Parking Spaces:

[...]

3. *Retail Uses*

Service and Repair shop and retail store handling bulky merchandise such as automobiles and furniture: One space for each 600 square feet of gross floor area plus 1 space for each 2 employees.

Response: The existing building on-site has a building area of 7,318 sf and the proposed building has a building area of 2,907 sf. Together, the total building area is 10,225 sf. In addition, Family Fun RV employees approximately 20 employees, but only 10 employees are assumed to work at any given time. From these numbers, there are a total of 23 required parking spaces. The proposed development is able to re-use 17 parking spaces and proposes an additional 6 parking spaces in order to meet the minimum required parking.

[...]

Section 1418 Minimum Required Off-Street Loading Spaces:

Response: Utilizing the table provided 1418.1 the required number of off-street loading spaces is 1 space. This space has been provided and can be seen on the site plan, sheet C-2.

Section 1506 CCZO: Non-Conforming Uses

1. *Continuation of Non-Conforming Uses or Structures: Except as provided in this section, a Non-Conforming Use or structure may be continued, even though it is not in conformity with the use, height, area, and all other regulations for the district in which it is located.*



Response: The applicant understands that non-conforming structures may be continued, even though it is not in conformity of the use.

2. Normal Maintenance and Repairs: Normal maintenance of a Non-Conforming Use is permitted, including structural alterations to the bearing walls, foundation, columns, beams, or girders, provided that:
 - a. No change in the basic use of the building occurs that would make the use less conforming to the district.

Response: The existing building on-site is proposed to be renovated, but will be in conformance with the zoning district.

3. A Non-Conforming Use may be changed to a use allowable under the underlying district. After a Non-Conforming Use changes to a conforming use, it shall not thereafter be changed back to a Non-Conforming Use.

Response: The applicant understands that after a non-conforming use changes to a conforming use, it shall not be changed back to a non-conforming use.

4. Reinstatement of a Discontinued Use: A Non-Conforming Use may be resumed if the discontinuation is for a period less than 1 year. If the discontinuance is for a period greater than 1 year, the building or land shall thereafter be occupied and used only for a conforming use.

Response: The applicant understands that a non-conforming use may be resumed if the discontinuation is for a period less than 1 year. It is also understood that if the discontinuance period is greater than 1 year the building shall therefore be occupied and used only for a conforming use.

5. Rebuilding, Change, Moving, or Use Expansion: A Non-Conforming building or use may be rebuilt, moved, or changed in use to a use of the same restrictive classification or expanded, subject to the provisions outlined herein, if upon review in accordance with Section 1601 the Director finds all the following to exist:
 - a. That such modifications are necessary because of practical difficulties or public need;
 - b. That such modifications are not greater than are necessary to overcome the practical difficulties or meet the public need;
 - c. That such modifications will not significantly interfere with the use and enjoyment of other land in the vicinity, nor detract from the property value thereof;
 - d. That such modifications will not endanger the public health, safety, and general welfare.

Response: The applicant understands that a non-conforming building or use may be rebuilt, moved, or changed subject to the items listed above. It is also understood that the director must approve these changes.

6. Rebuilding: When a building or structure is damaged by fire or any other cause beyond the control of the owner, it may be rebuilt

Response: It is understood that in the unfortunate circumstance that a building is damaged by fire or any other cause the building may be rebuilt.

7. Change of Use: A Non-Conforming Use may be changed to a use of the same or a more restrictive classification but not to a use of a less restrictive classification, pursuant to subsection 1506.5.



Response: The applicant understands that a non-confirming use may be changed to a use of the same or more restrictive classification, but not to a less restrictive classification.

8. Moving: A Non-Conforming Use may be moved to another location on its lot or parcel provided the height and yard requirements of the district in which it is located are met, pursuant to Section 1506.5.

Response: The applicant understands that a non-confirming use may be moved to another location on the subject property as long as the criteria within 1506.5 and the height and yard requirements are met.

9. Expansion: A Non-Conforming Use may be expanded one time only. This expansion shall not exceed 40% of the square footage on the ground level of the existing structure, pursuant to Section 1506.5.

Response: The applicant understands that a non-confirming use may be expanded one time only. The applicant proposes to add an additional building to the subject property, but not exceeding 40% of the existing structure square footage.

Section 1550 CCZO: Site Design Review

The Site Design Review process shall apply to all new development, redevelopment, expansion, or improvement of all community, governmental, institutional, commercial, industrial and multi-family residential (4 or more units) uses in the County.

1551. Types of Site Design Review:

- A. Type 1: Projects, developments and building expansions which meet any of the following criteria:
1. Are less than 5,000 sq.ft., and are less than 10% of the square footage of an existing structure.
 2. Increase the number of dwelling units in a multi-family project.
 3. Increase the height of an existing building.
- B. Type 2: Projects, developments and building expansions which meet any of the following criteria:
1. Have an area of 5,000 sq.ft. or more, or are 10% or more of the square footage of an existing structure.
 2. Change the category of use (e.g., commercial to industrial, etc.).
 3. New off-site advertising signs or billboards.
 4. Any project meeting any of the Type 2 criteria shall be deemed a Type 2 Design Review application.

Response: From the list above, the proposed development is subject to a type 2 Site Design Review. The proposed building adjacent to the existing building is approximately 40% of the existing building floor area.

[...]

1563. Standards for Approval:

The Planning Commission or Director shall make a finding with respect to each of the following criteria when approving, approving with conditions, or denying an application:



- A. *Flood Hazard Areas: See CCZO §1100, Flood Hazard Overlay Zone. All development in Flood Hazard Areas must comply with State and Federal Guidelines.*

Response: No flood hazard overlay zones are found within the subject property.

- B. *Wetlands and Riparian Areas: Alteration of wetlands and riparian areas shall be in compliance with State and Federal laws.*

Response: No wetlands or riparian areas are within the subject property.

- C. *Natural Areas and Features: To the greatest practical extent possible, natural areas and features of the site shall be preserved.*

Response: The proposed development has preserved natural areas and features to the greatest extent possible. This has been accomplished by utilizing the existing parking lot, and building. The proposed development will not increase the amount of impervious area on the property.

- D. *Historic and Cultural sites and structures: All historic and culturally significant sites and structures identified in the 1984 Comprehensive Plan, or identified for inclusion in the County Periodic Review, shall be protected if they still exist.*

Response: No historic or culturally significant sites or structures are known to exist on the subject property. It is understood that if such site or structures are identified, they shall be protected to the greatest extent possible.

- E. *Lighting: All outdoor lights shall be shielded so as to not shine directly on adjacent properties and roads.*

Response: All outdoor lighting will be shielded to protect adjacent properties and road from glare. The proposed development proposes new lights to be mounted onto the new building. With this being said, the property does have existing lights within the parking lot area as well as building mounted lights on the existing building. These lights will be preserved with this development if possible.

- F. *Energy Conservation: Buildings should be oriented to take advantage of natural energy saving elements such as the sun, landscaping and land forms.*

Response: The proposed building has been oriented to best serve the existing site. An additional consideration when designing the proposed building was to take advantage of the natural energy saving elements such as the sun.

- G. *Transportation Facilities: Off-site auto and pedestrian facilities may be required by the Planning Commission, Planning Director or Public Works Director consistent with the ColumbiaCountyRoadStandardsandtheColumbiaCountyTransportationSystemsPlan.*

Response: The applicant understands that there is the possibility that the Planning Commission, Planning Director, or Public Works Director may require off-site auto and pedestrian facilities.

Family Fun RV

STORMWATER REPORT

Applicant:

Heather Harrison – Family Fun RV
58209 Columbia River Highway
St. Helens, Oregon 97051
Contact: Heather Harrison
Phone: (971) 803-7912

Project Type: Commercial Recreational Vehicle Dealership
Project Location: St. Helens, Oregon

Prepared By:

Lower Columbia Engineering, LLC
58640 McNulty Way
Saint Helens, OR 97051
Phone: (503) 366-0399
Engineer: Andrew Niemi, P.E.
Email: andrew@lowercolumbiaengr.com
Contact: Chase Berg
Email: chase@lowercolumbiaengr.com

June 2022
LCE # 3313





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This report pertains to the proposed private improvements described below based on specific requests by our clients. Lower Columbia Engineering is not responsible for complying with any conditions of approval or adjacent storm drainage issues that are outside of the project area. Contact Lower Columbia Engineering with any questions or uncertainties. Maintenance of this system and verification of property line locations are the responsibility of others.



Stormwater Narrative

Project Description

This stormwater design involves the construction of a new shop and the renovation of an existing building located in St. Helens, Oregon. The project is centered at 45.840439N, 122.837764W and occupies a total of 4.47 acres over tax lot 3700 of tax map 040108CA. Within the tax lot, there is approximately 104,320.25 square feet of impervious area and 90,392.95 square feet of pervious area. Constructing the new shop and renovating the existing building will not create any additional impervious area except for a proposed sidewalk on the southern portion of the site adjacent to the proposed food cart locations.

Stormwater Analysis

Stormwater events for this project were calculated using the SBUH method given a Type IA storm type within the HydroCAD software system. The Columbia County Stormwater and Erosion control 24-hour table was utilized to develop rainfall depths for each stormwater event. The values utilized are as follows:

Event	Rainfall Amount (Inches)
Water Quality	0.67
2-Year	2.0
5-Year	2.5
10-Year	3.0
25-Year	3.4
50-Year	3.6
100-Year	4.0

A Soil Survey Map was created from NRCS to determine the site's soil compositions. As seen in attachment A, a majority of the soil on-site is loam with a hydrologic soil group of C.

Stormwater Management Design

Stormwater runoff from the proposed development has not altered existing drainage patterns. Currently, on-site stormwater sheet flows from existing parking areas towards highway 30 and eventually reaches highway 30 entering the ODOT system or infiltrates naturally into the ground if it is able to reach a permeable surface. With the addition of a new shop next to the existing building, gutters have been designed to collect stormwater from the roof and discharge stormwater water onto the existing asphalt with gutters and drain spouts. The new sidewalk located to the south of the proposed food carts will be graded to shed water to the south to allow for stormwater to naturally infiltrate into the ground.

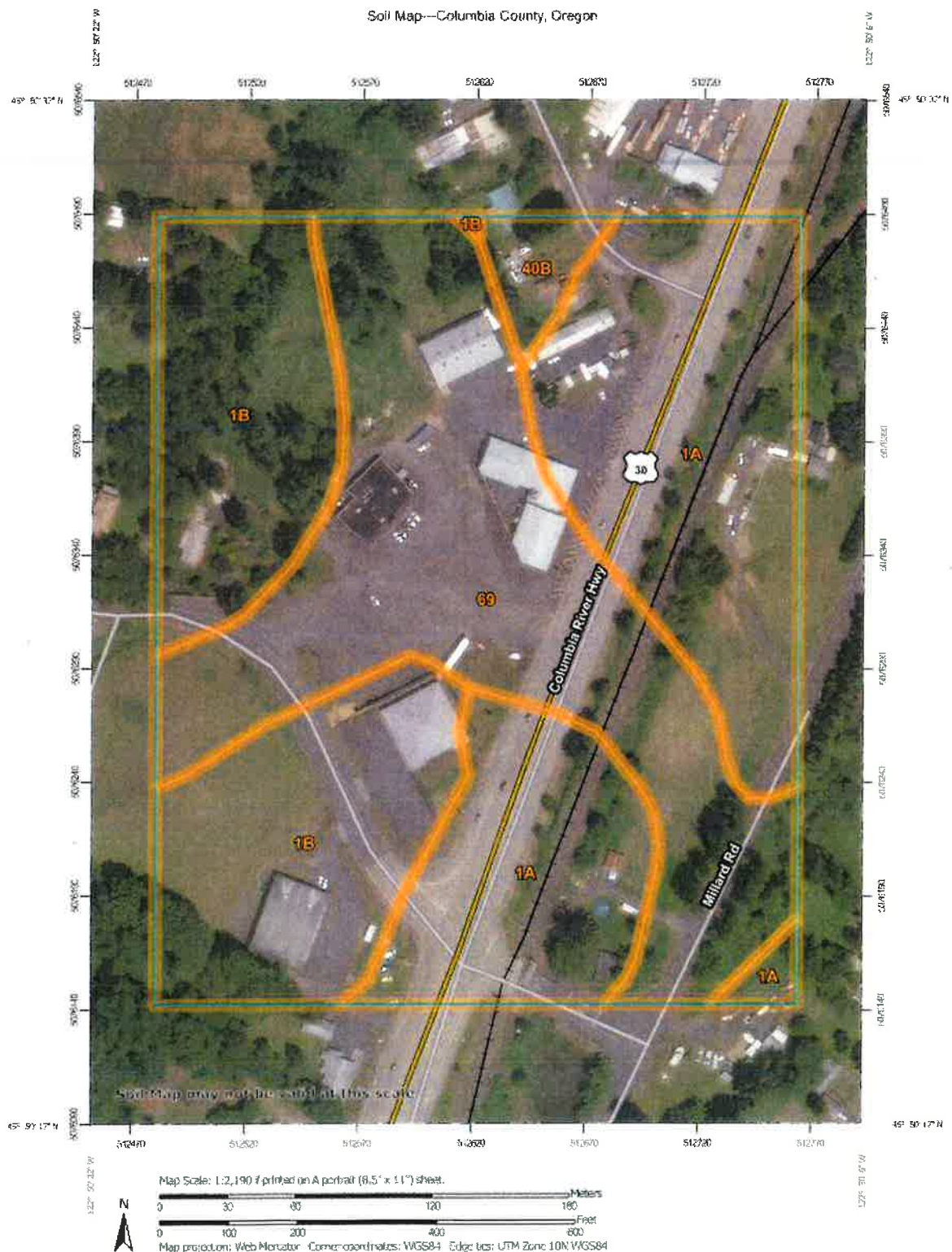
Operations and Maintenance Overview

The proper implementation and maintenance of the proposed on-site facilities is the responsibility of the property owners. It is critical that stormwater infrastructure be kept free of debris in order to facilitate effective conveyance and longevity of the system. Paved surfaces shall be cleaned regularly to remove debris and oily residue.

Conclusion

On-site stormwater will be managed to mimic existing drainage patterns for Family Fun RV by allowing stormwater runoff from the new shop to be transferred by gutters and drain spouts and discharge onto the existing asphalt. The new sidewalk located to the south of the proposed food carts will be graded to shed to the south to allow for stormwater to naturally infiltrate into the ground.

Attachment A - Soil Survey



Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

6/22/2022
Page 1 of 3

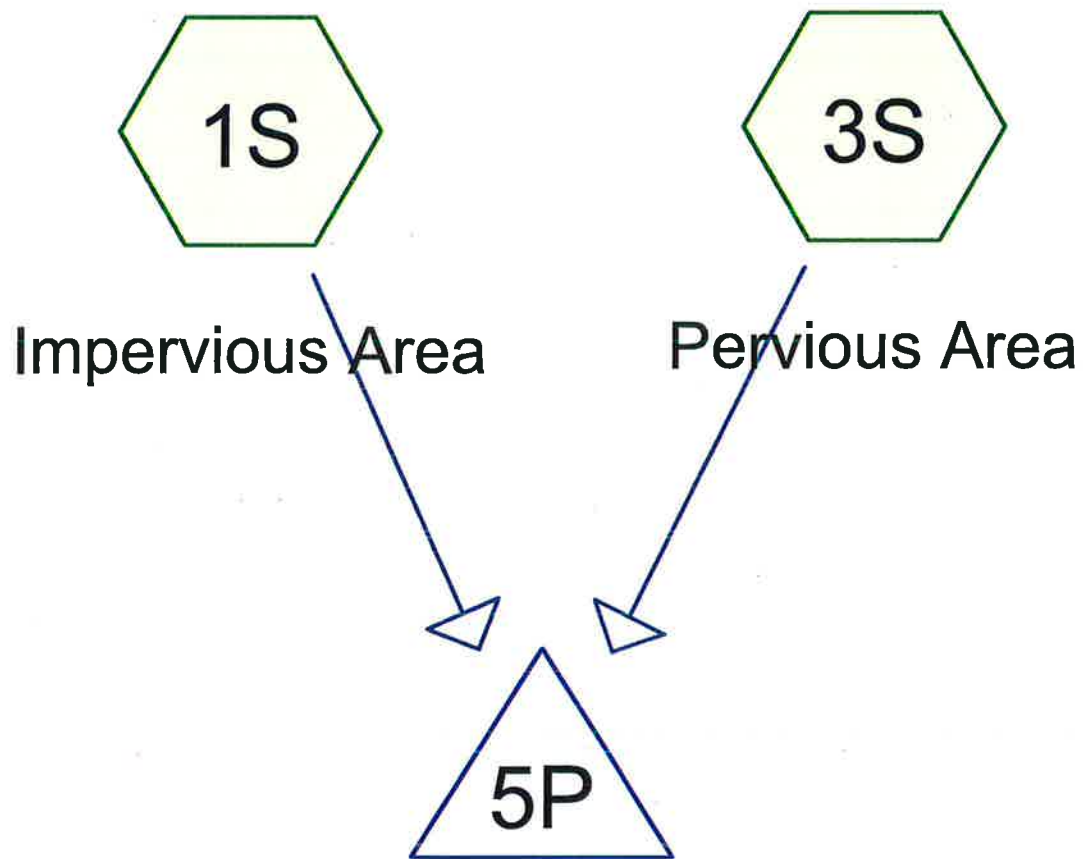


Map Unit Legend

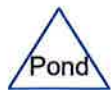
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
1A	Aloha silt loam, 0 to 3 percent slopes	8.5	34.9%
1B	Aloha silt loam, 3 to 8 percent slopes	7.0	28.7%
40B	Quatama silt loam, 3 to 8 percent slopes	0.5	2.2%
69	Wolcott silt loam	8.3	34.1%
Totals for Area of Interest		24.4	100.0%



Attachment B - Stormwater Calculations



ODOT Right-of-Way



Routing Diagram for 3313 Stormwater Pre
Prepared by Lower Columbia Engineering, Printed 6/22/2022
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3313 Stormwater Pre

Prepared by Lower Columbia Engineering

Printed 6/22/2022

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Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
2.075	79	50-75% Grass cover, Fair, HSG C (3S)
2.395	98	Paved parking, HSG C (1S)
4.470	89	TOTAL AREA

3313 Stormwater Pre

Type IA 24-hr 2-yr 24-hr Rainfall=2.00"

Prepared by Lower Columbia Engineering

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,321 sf 100.00% Impervious Runoff Depth=1.77"

Tc=0.0 min CN=0/98 Runoff=1.11 cfs 0.354 af

Subcatchment3S: Pervious Area

Runoff Area=90,393 sf 0.00% Impervious Runoff Depth=0.52"

Tc=0.0 min CN=79/0 Runoff=0.18 cfs 0.090 af

Pond 5P: ODOT Right-of-Way

Inflow=1.26 cfs 0.444 af

Primary=1.26 cfs 0.444 af

Total Runoff Area = 4.470 ac Runoff Volume = 0.444 af Average Runoff Depth = 1.19"
46.42% Pervious = 2.075 ac 53.58% Impervious = 2.395 ac

3313 Stormwater Pre

Prepared by Lower Columbia Engineering

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Type IA 24-hr 2-yr 24-hr Rainfall=2.00"

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

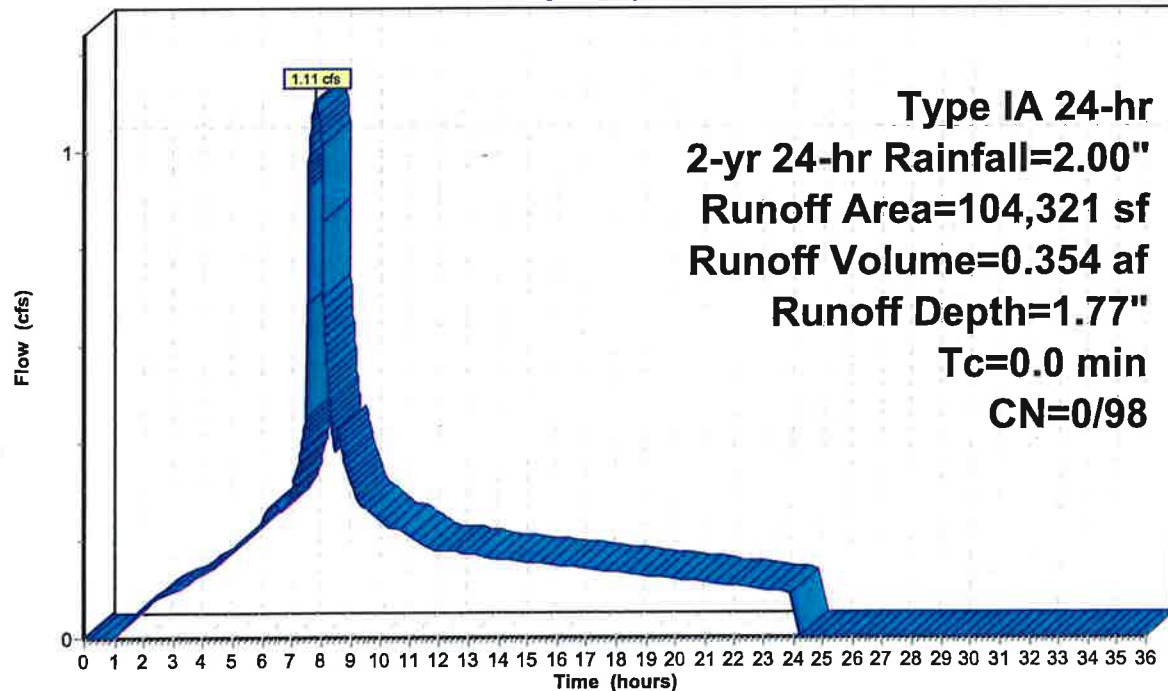
Runoff = 1.11 cfs @ 7.79 hrs, Volume= 0.354 af, Depth= 1.77"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 2-yr 24-hr Rainfall=2.00"

Area (sf)	CN	Description
104,321	98	Paved parking, HSG C
104,321	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



3313 Stormwater Pre

Prepared by Lower Columbia Engineering

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Type IA 24-hr 2-yr 24-hr Rainfall=2.00"

Printed 6/22/2022

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Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

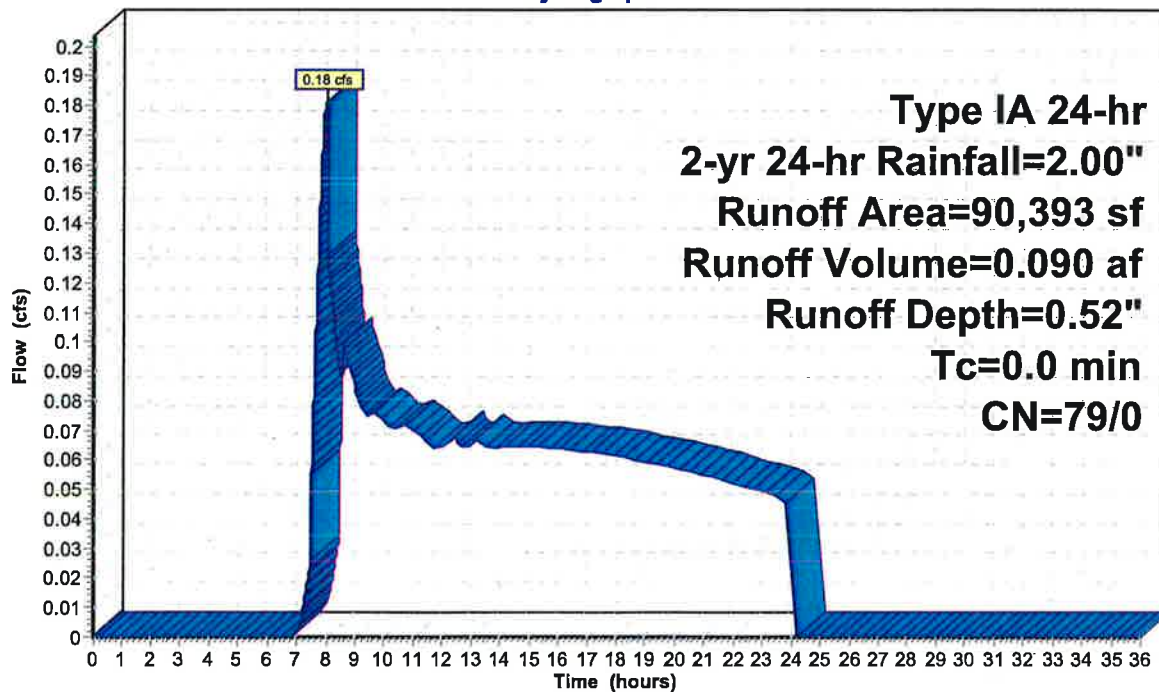
Runoff = 0.18 cfs @ 8.00 hrs, Volume= 0.090 af, Depth= 0.52"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 2-yr 24-hr Rainfall=2.00"

Area (sf)	CN	Description
90,393	79	50-75% Grass cover, Fair, HSG C
90,393	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

Hydrograph



3313 Stormwater Pre

Prepared by Lower Columbia Engineering

HydroCAD® 10.00-26 s/n 07313 © 2020 HydroCAD Software Solutions LLC

Type IA 24-hr 2-yr 24-hr Rainfall=2.00"

Printed 6/22/2022

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Summary for Pond 5P: ODOT Right-of-Way

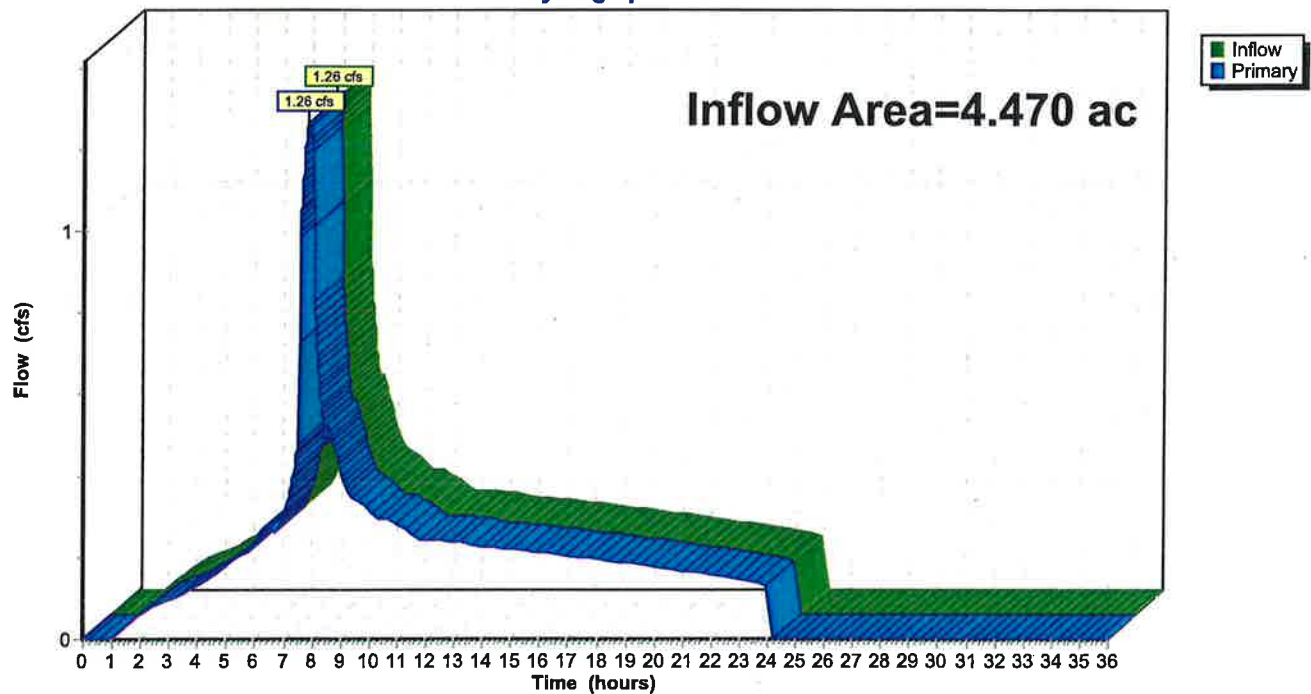
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.58% Impervious, Inflow Depth = 1.19" for 2-yr 24-hr event
 Inflow = 1.26 cfs @ 7.84 hrs, Volume= 0.444 af
 Primary = 1.26 cfs @ 7.84 hrs, Volume= 0.444 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way

Hydrograph



3313 Stormwater Pre

Type IA 24-hr 5-Yr-24hr Rainfall=2.50"

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,321 sf 100.00% Impervious Runoff Depth=2.27"

Tc=0.0 min CN=0/98 Runoff=1.41 cfs 0.453 af

Subcatchment3S: Pervious Area

Runoff Area=90,393 sf 0.00% Impervious Runoff Depth=0.84"

Tc=0.0 min CN=79/0 Runoff=0.34 cfs 0.145 af

Pond 5P: ODOT Right-of-Way

Inflow=1.73 cfs 0.598 af

Primary=1.73 cfs 0.598 af

Total Runoff Area = 4.470 ac Runoff Volume = 0.598 af Average Runoff Depth = 1.61"
46.42% Pervious = 2.075 ac 53.58% Impervious = 2.395 ac

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Type IA 24-hr 5-Yr-24hr Rainfall=2.50"

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

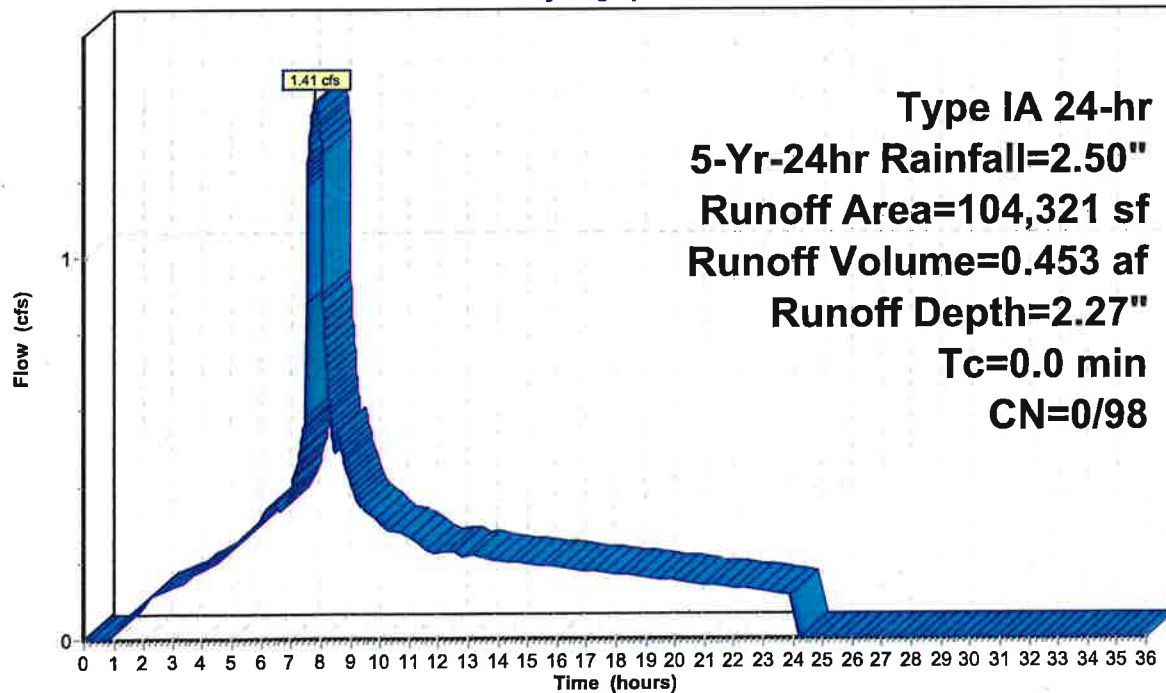
Runoff = 1.41 cfs @ 7.79 hrs, Volume= 0.453 af, Depth= 2.27"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 5-Yr-24hr Rainfall=2.50"

Area (sf)	CN	Description
104,321	98	Paved parking, HSG C
104,321	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



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Type IA 24-hr 5-Yr-24hr Rainfall=2.50"

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Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

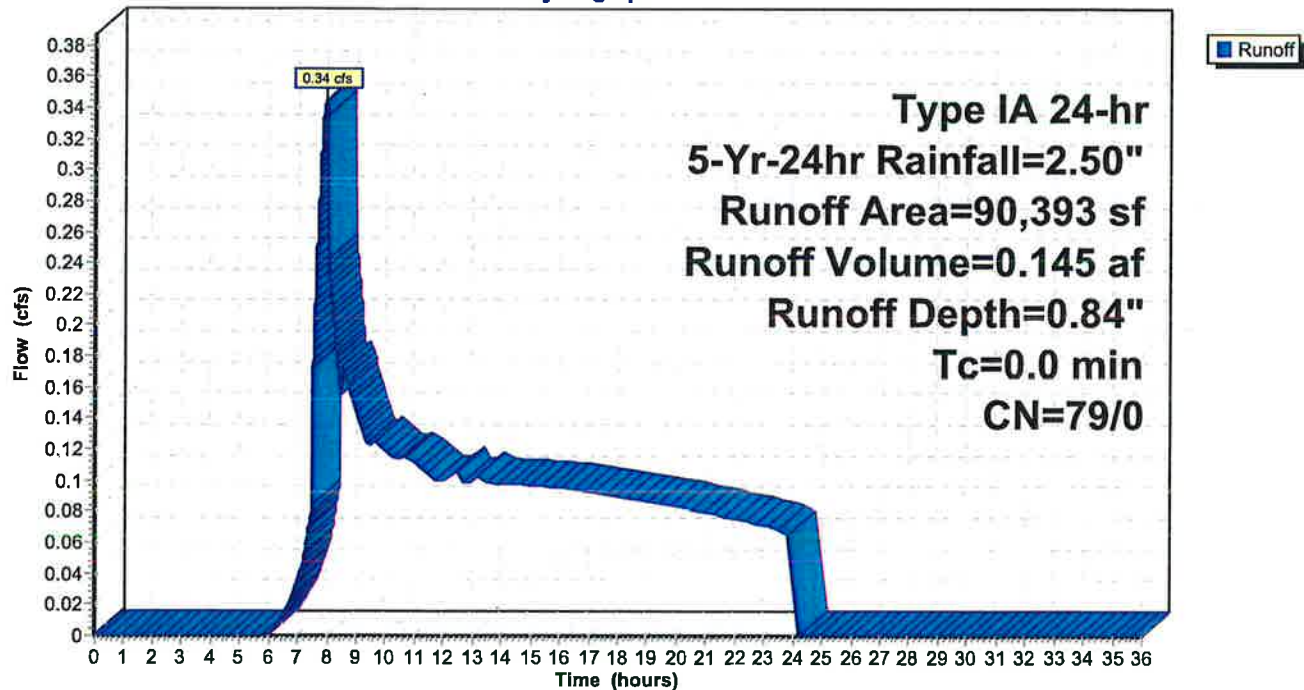
Runoff = 0.34 cfs @ 7.96 hrs, Volume= 0.145 af, Depth= 0.84"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs; $dt=0.01$ hrs
Type IA 24-hr 5-Yr-24hr Rainfall=2.50"

Area (sf)	CN	Description
90,393	79	50-75% Grass cover, Fair, HSG C
90,393	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

Hydrograph



3313 Stormwater Pre

Type IA 24-hr 5-Yr-24hr Rainfall=2.50"

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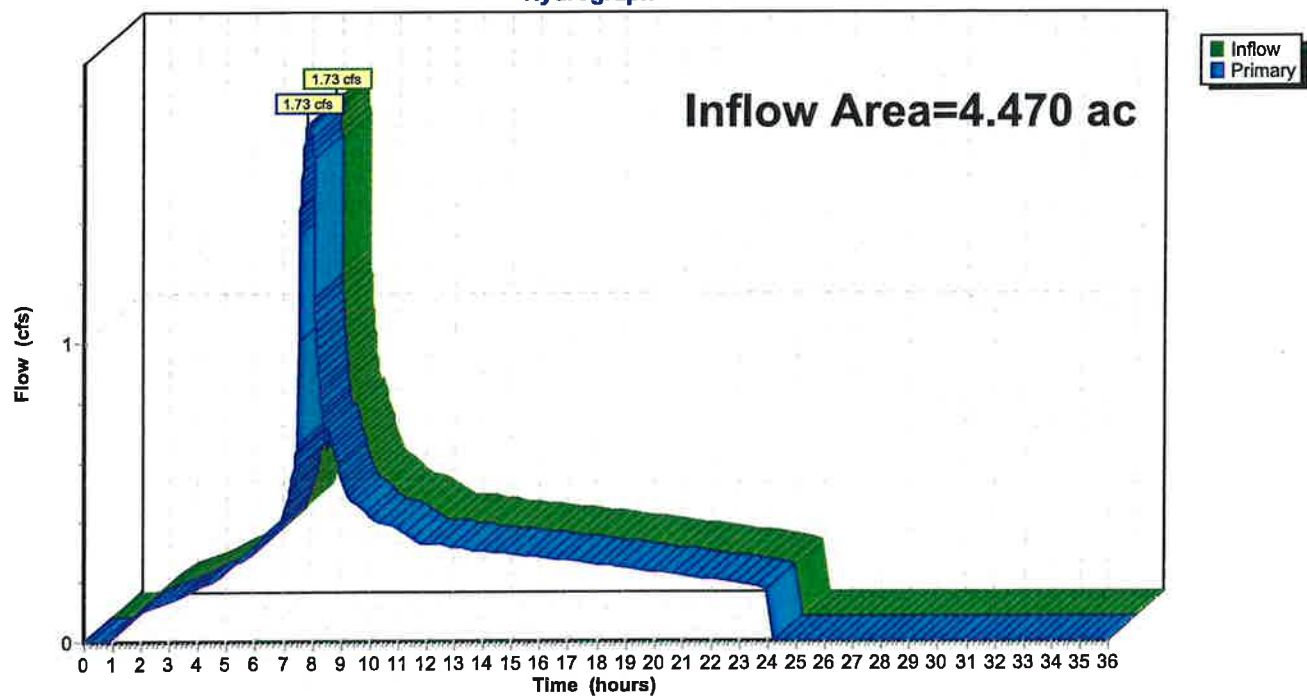
Page 10

Summary for Pond 5P: ODOT Right-of-Way

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.58% Impervious, Inflow Depth = 1.61" for 5-Yr-24hr event
 Inflow = 1.73 cfs @ 7.83 hrs, Volume= 0.598 af
 Primary = 1.73 cfs @ 7.83 hrs, Volume= 0.598 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way**Hydrograph**

3313 Stormwater Pre

Type IA 24-hr 10-yr 24-hr Rainfall=3.00"

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,321 sf 100.00% Impervious Runoff Depth=2.77"

Tc=0.0 min CN=0/98 Runoff=1.70 cfs 0.552 af

Subcatchment3S: Pervious Area

Runoff Area=90,393 sf 0.00% Impervious Runoff Depth=1.19"

Tc=0.0 min CN=79/0 Runoff=0.53 cfs 0.206 af

Pond 5P: ODOT Right-of-Way

Inflow=2.21 cfs 0.758 af

Primary=2.21 cfs 0.758 af

Total Runoff Area = 4.470 ac Runoff Volume = 0.758 af Average Runoff Depth = 2.03"
46.42% Pervious = 2.075 ac 53.58% Impervious = 2.395 ac

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Type IA 24-hr 10-yr 24-hr Rainfall=3.00"

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

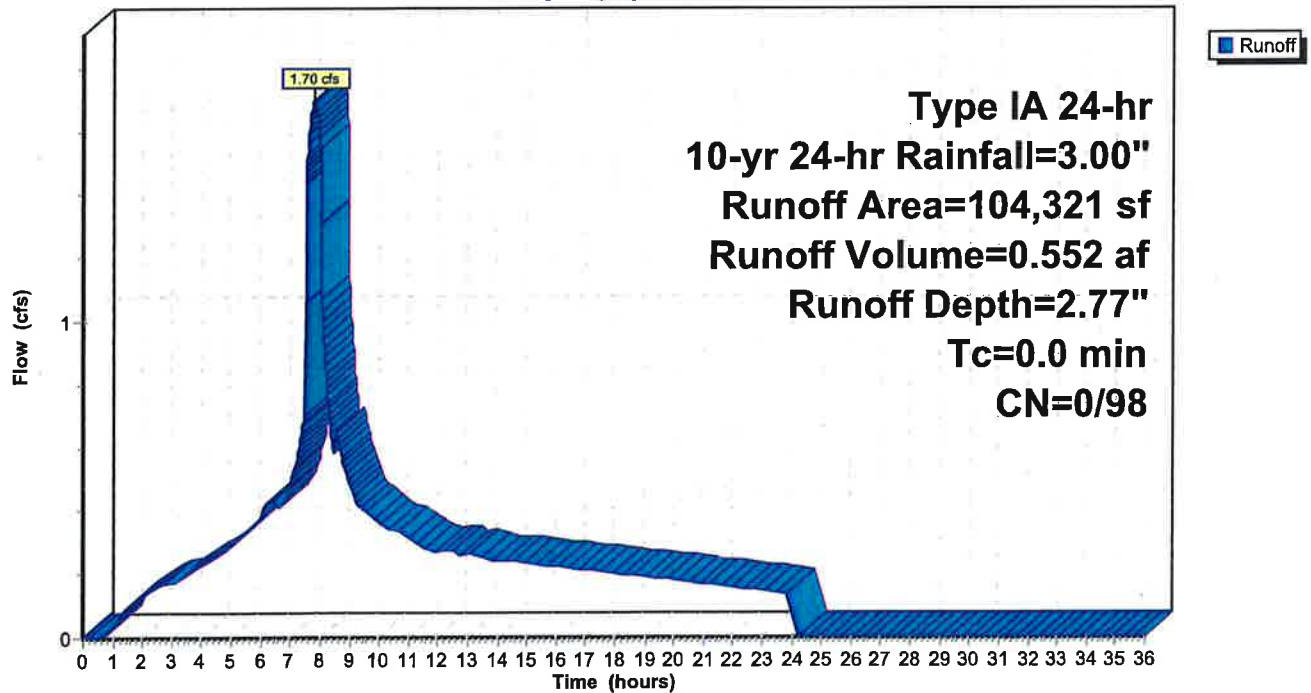
Runoff = 1.70 cfs @ 7.79 hrs, Volume= 0.552 af, Depth= 2.77"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 10-yr 24-hr Rainfall=3.00"

Area (sf)	CN	Description
104,321	98	Paved parking, HSG C
104,321	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



3313 Stormwater Pre

Type IA 24-hr 10-yr 24-hr Rainfall=3.00"

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Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

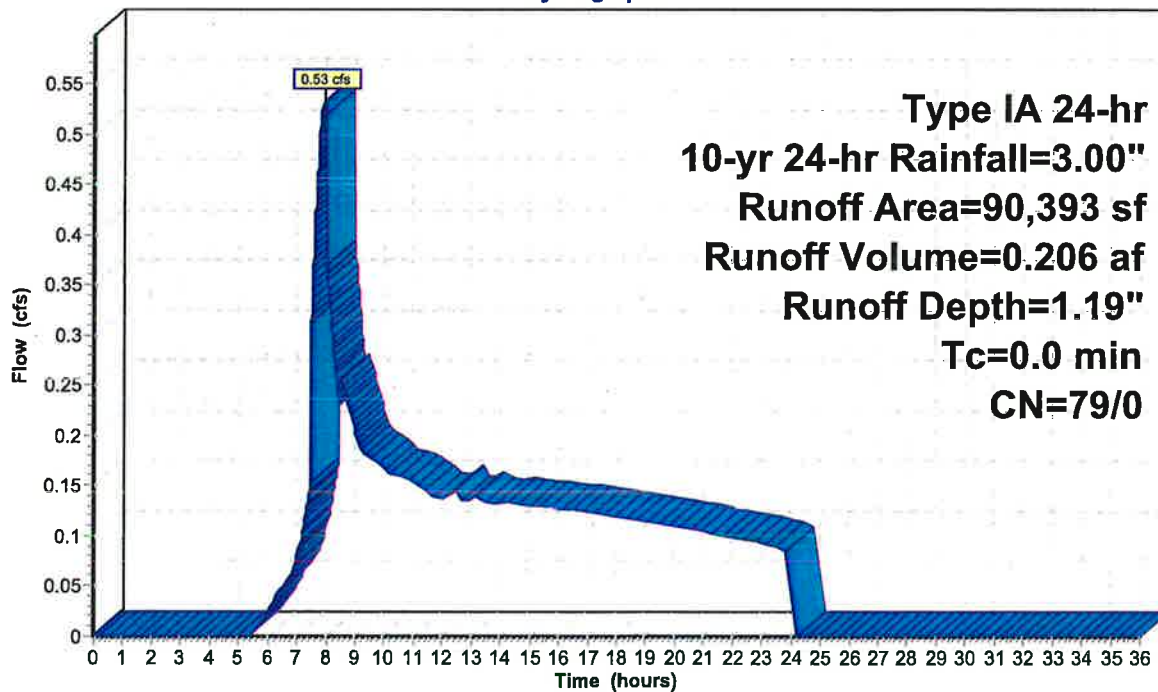
Runoff = 0.53 cfs @ 7.93 hrs, Volume= 0.206 af, Depth= 1.19"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 10-yr 24-hr Rainfall=3.00"

Area (sf)	CN	Description
90,393	79	50-75% Grass cover, Fair, HSG C
90,393	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

Hydrograph



3313 Stormwater Pre

Type IA 24-hr 10-yr 24-hr Rainfall=3.00"

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Summary for Pond 5P: ODOT Right-of-Way

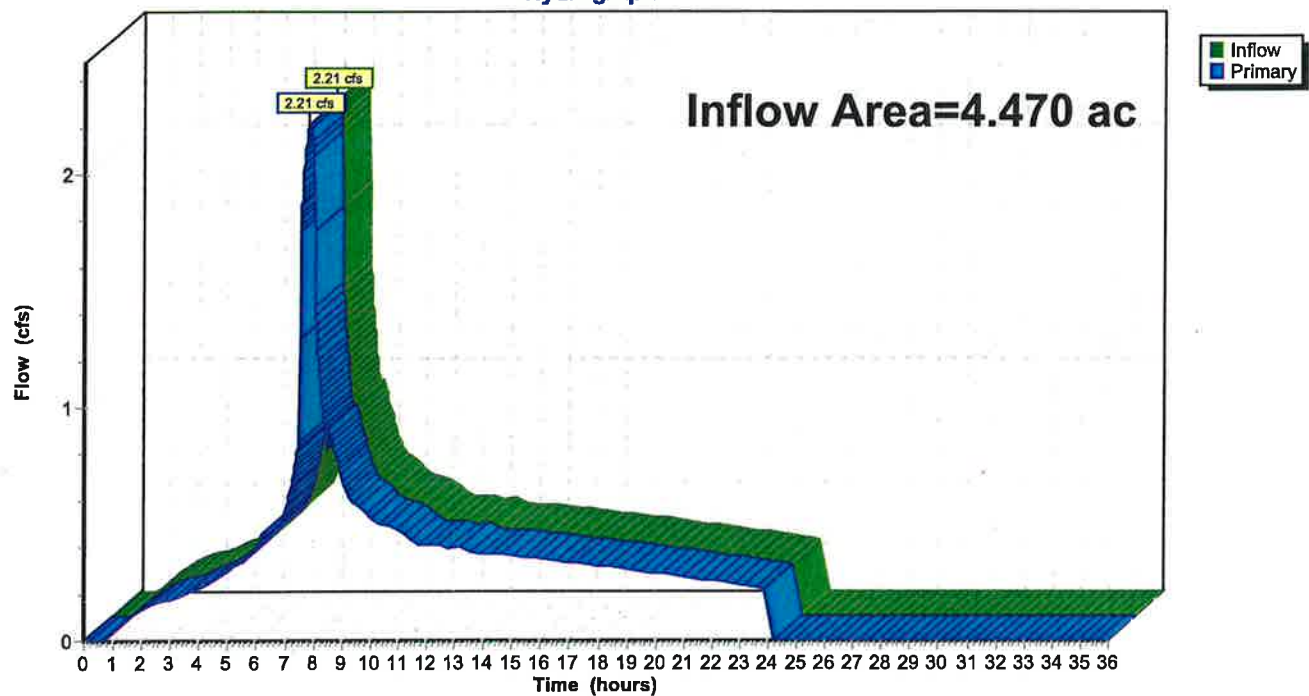
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.58% Impervious, Inflow Depth = 2.03" for 10-yr 24-hr event
 Inflow = 2.21 cfs @ 7.83 hrs, Volume= 0.758 af
 Primary = 2.21 cfs @ 7.83 hrs, Volume= 0.758 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way

Hydrograph



3313 Stormwater Pre

Type IA 24-hr 25-yr 24-hr Rainfall=3.40"

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,321 sf 100.00% Impervious Runoff Depth=3.17"

Tc=0.0 min CN=0/98 Runoff=1.94 cfs 0.632 af

Subcatchment3S: Pervious Area

Runoff Area=90,393 sf 0.00% Impervious Runoff Depth=1.49"

Tc=0.0 min CN=79/0 Runoff=0.70 cfs 0.257 af

Pond 5P: ODOT Right-of-Way

Inflow=2.62 cfs 0.889 af

Primary=2.62 cfs 0.889 af

Total Runoff Area = 4.470 ac Runoff Volume = 0.889 af Average Runoff Depth = 2.39"
46.42% Pervious = 2.075 ac 53.58% Impervious = 2.395 ac

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Type IA 24-hr 25-yr 24-hr Rainfall=3.40"

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

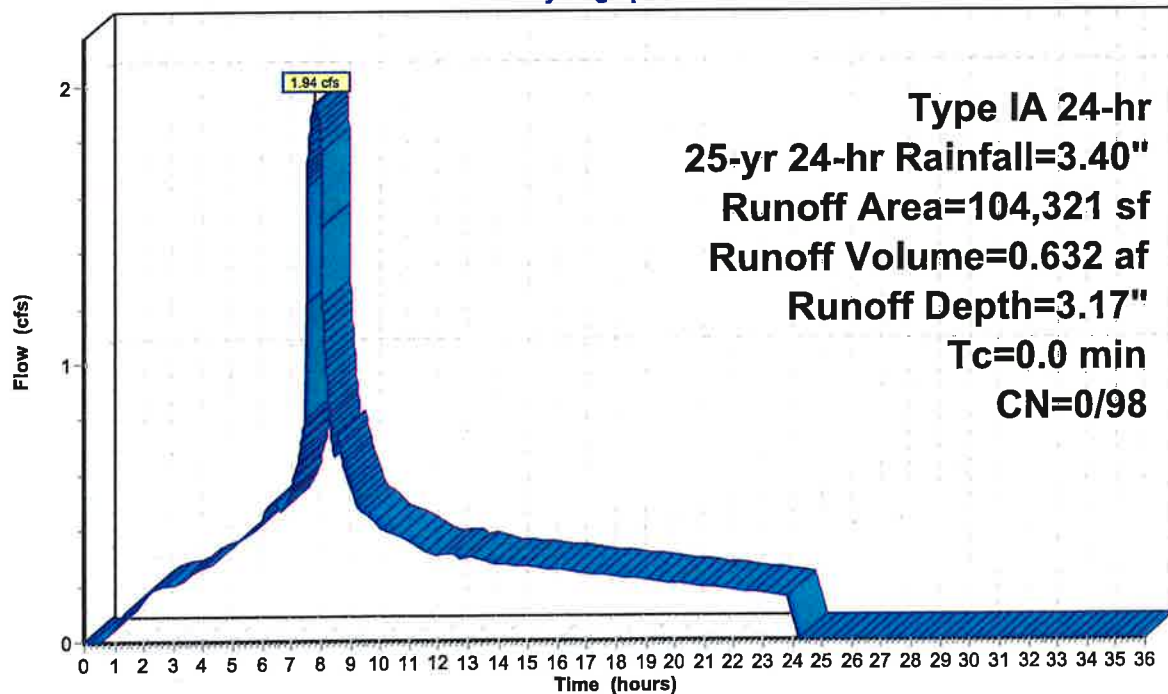
Runoff = 1.94 cfs @ 7.78 hrs, Volume= 0.632 af, Depth= 3.17"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 25-yr 24-hr Rainfall=3.40"

Area (sf)	CN	Description
104,321	98	Paved parking, HSG C
104,321	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



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Type IA 24-hr 25-yr 24-hr Rainfall=3.40"

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Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

Runoff = 0.70 cfs @ 7.91 hrs, Volume= 0.257 af, Depth= 1.49"

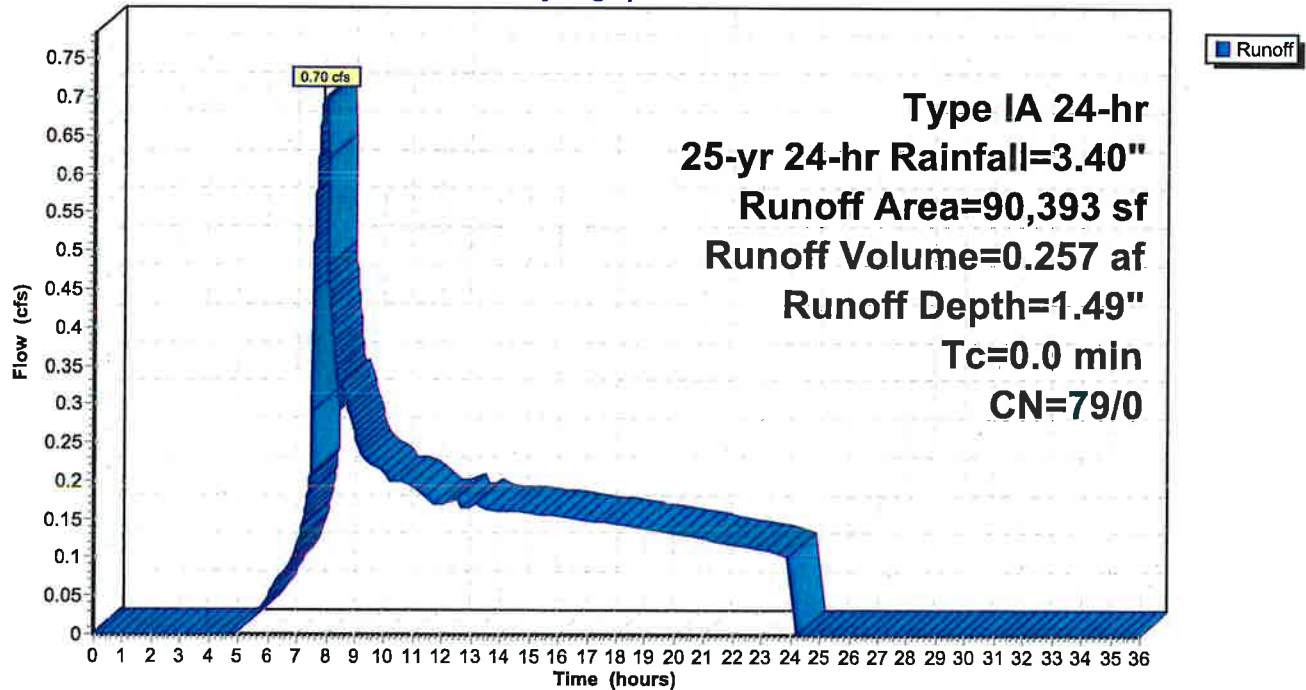
Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs

Type IA 24-hr 25-yr 24-hr Rainfall=3.40"

Area (sf)	CN	Description
90,393	79	50-75% Grass cover, Fair, HSG C
90,393	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

Hydrograph



3313 Stormwater Pre

Type IA 24-hr 25-yr 24-hr Rainfall=3.40"

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Summary for Pond 5P: ODOT Right-of-Way

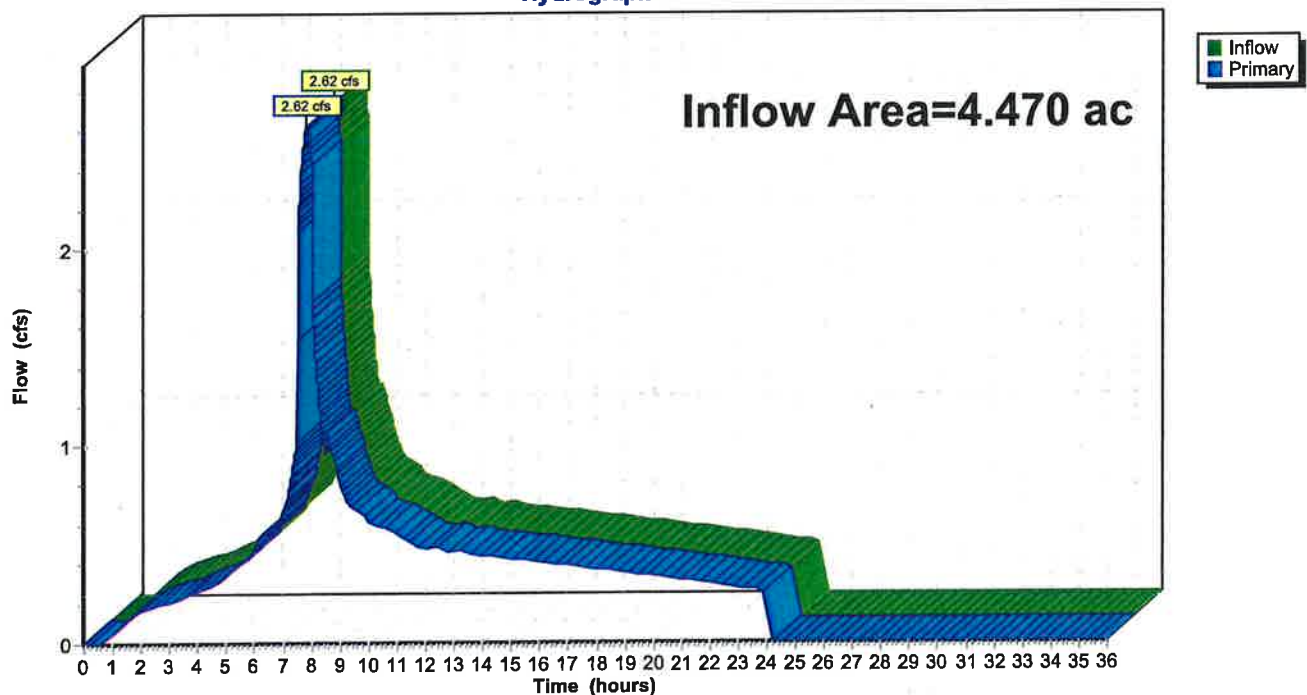
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.58% Impervious, Inflow Depth = 2.39" for 25-yr 24-hr event
 Inflow = 2.62 cfs @ 7.83 hrs, Volume= 0.889 af
 Primary = 2.62 cfs @ 7.83 hrs, Volume= 0.889 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way

Hydrograph



3313 Stormwater Pre

Type IA 24-hr 50-yr 24-hr Rainfall=3.60"

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,321 sf 100.00% Impervious Runoff Depth=3.37"

Tc=0.0 min CN=0/98 Runoff=2.06 cfs 0.672 af

Subcatchment3S: Pervious Area

Runoff Area=90,393 sf 0.00% Impervious Runoff Depth=1.64"

Tc=0.0 min CN=79/0 Runoff=0.79 cfs 0.284 af

Pond 5P: ODOT Right-of-Way

Inflow=2.82 cfs 0.956 af

Primary=2.82 cfs 0.956 af

Total Runoff Area = 4.470 ac Runoff Volume = 0.956 af Average Runoff Depth = 2.57"
46.42% Pervious = 2.075 ac 53.58% Impervious = 2.395 ac

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Type IA 24-hr 50-yr 24-hr Rainfall=3.60"

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

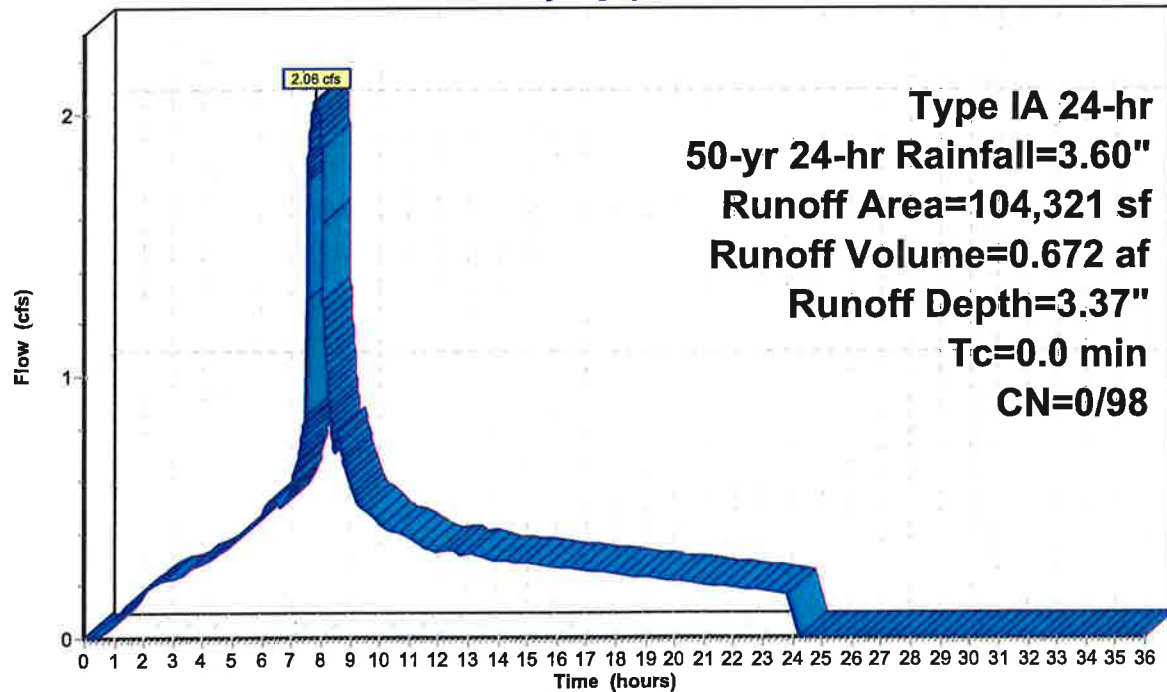
Runoff = 2.06 cfs @ 7.78 hrs, Volume= 0.672 af, Depth= 3.37"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 50-yr 24-hr Rainfall=3.60"

Area (sf)	CN	Description
104,321	98	Paved parking, HSG C
104,321	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



Runoff

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Type IA 24-hr 50-yr 24-hr Rainfall=3.60"

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Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

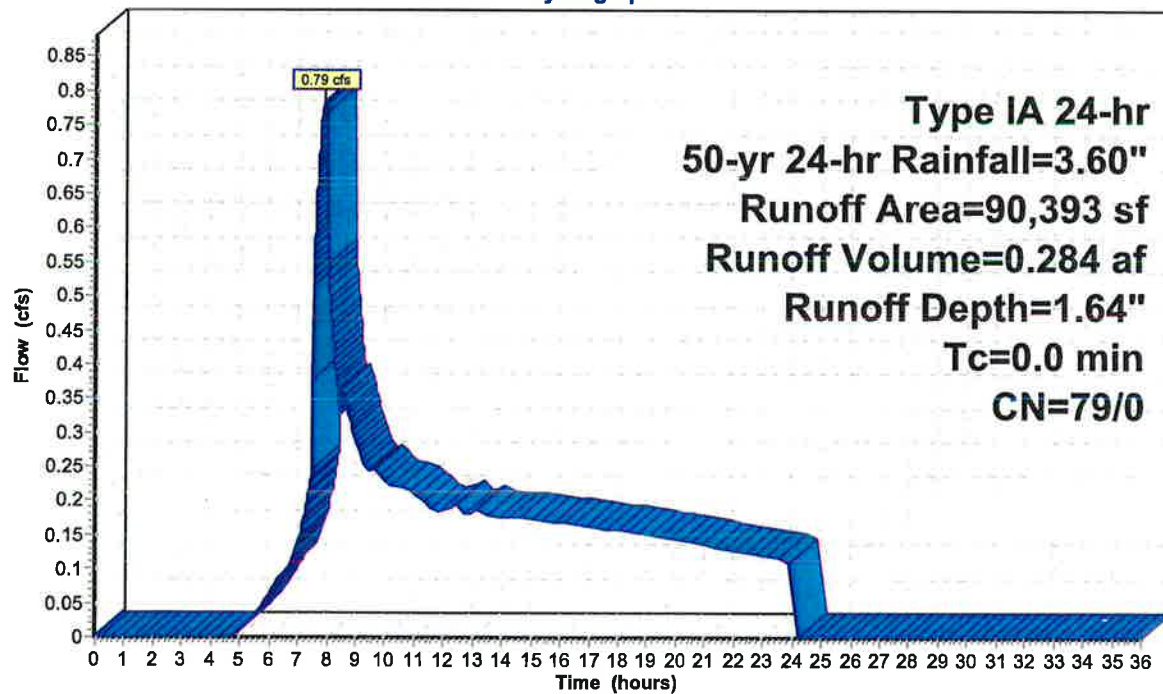
Runoff = 0.79 cfs @ 7.91 hrs, Volume= 0.284 af, Depth= 1.64"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 50-yr 24-hr Rainfall=3.60"

Area (sf)	CN	Description
90,393	79	50-75% Grass cover, Fair, HSG C
90,393	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

Hydrograph



Runoff

3313 Stormwater Pre

Type IA 24-hr 50-yr 24-hr Rainfall=3.60"

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Summary for Pond 5P: ODOT Right-of-Way

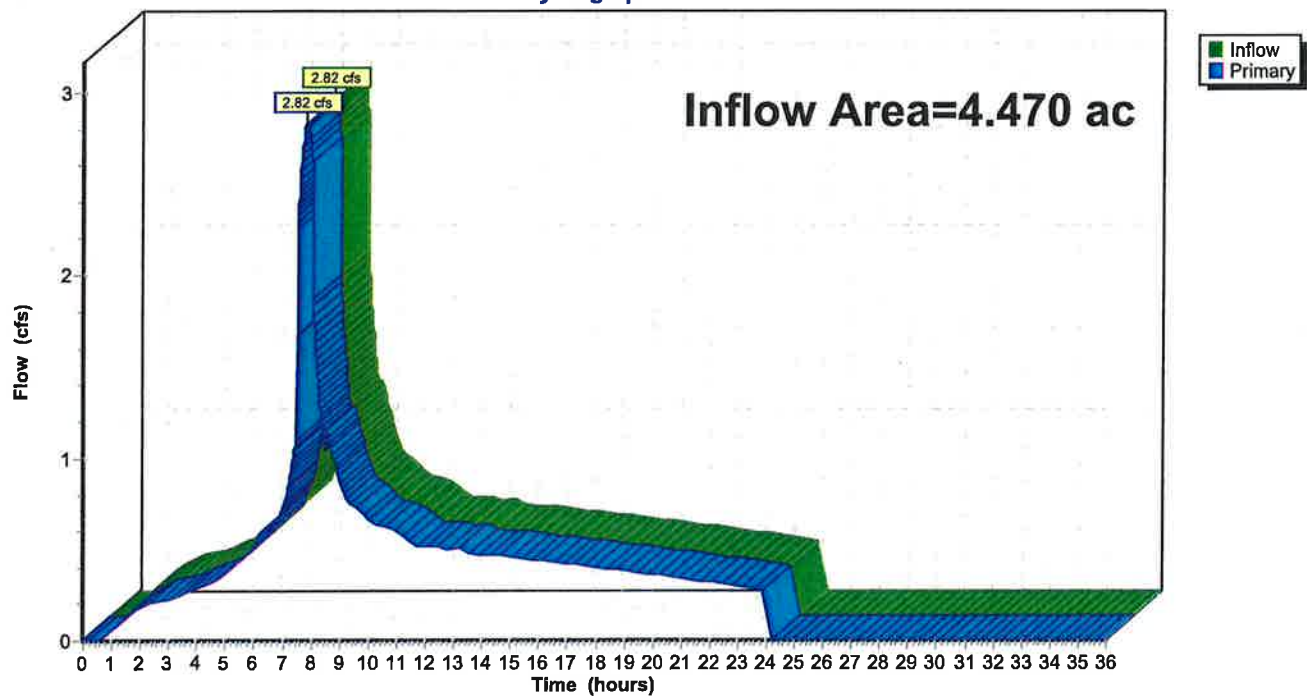
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.58% Impervious, Inflow Depth = 2.57" for 50-yr 24-hr event
 Inflow = 2.82 cfs @ 7.82 hrs, Volume= 0.956 af
 Primary = 2.82 cfs @ 7.82 hrs, Volume= 0.956 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way

Hydrograph



3313 Stormwater Pre*Type IA 24-hr 100-yr 24-hr Rainfall=4.00"*

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,321 sf 100.00% Impervious Runoff Depth=3.77"

Tc=0.0 min CN=0/98 Runoff=2.30 cfs 0.751 af

Subcatchment3S: Pervious Area

Runoff Area=90,393 sf 0.00% Impervious Runoff Depth=1.96"

Tc=0.0 min CN=79/0 Runoff=0.96 cfs 0.340 af

Pond 5P: ODOT Right-of-Way

Inflow=3.24 cfs 1.091 af

Primary=3.24 cfs 1.091 af

Total Runoff Area = 4.470 ac Runoff Volume = 1.091 af Average Runoff Depth = 2.93"**46.42% Pervious = 2.075 ac 53.58% Impervious = 2.395 ac**

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Type IA 24-hr 100-yr 24-hr Rainfall=4.00"

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

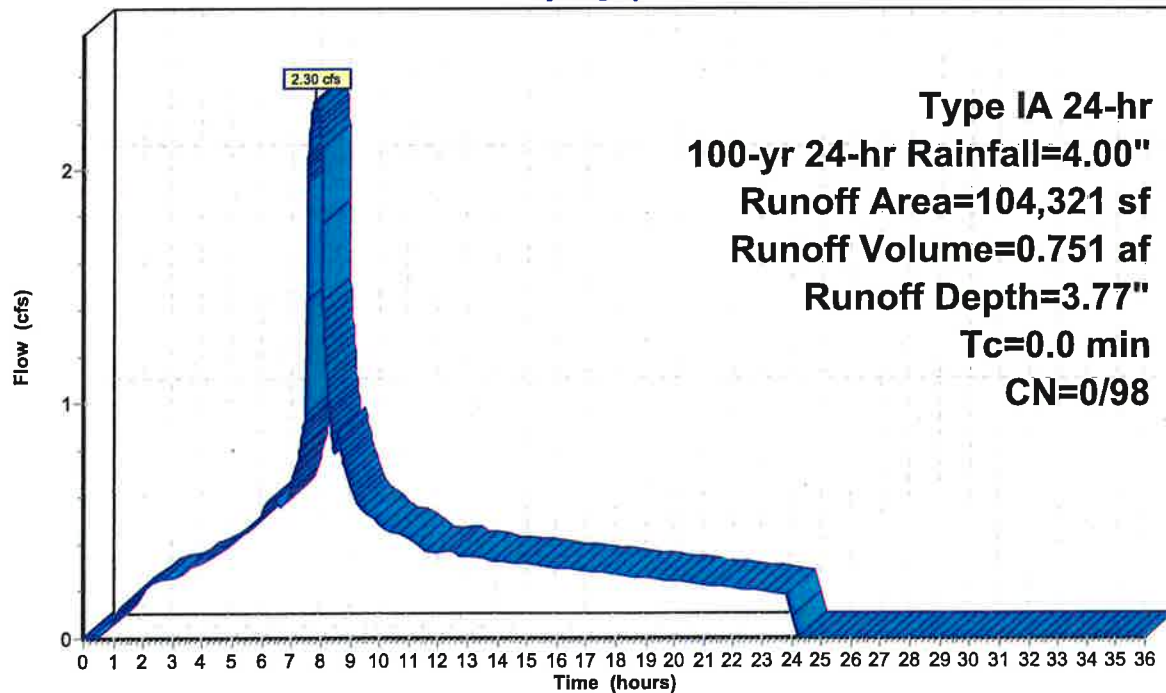
Runoff = 2.30 cfs @ 7.78 hrs, Volume= 0.751 af, Depth= 3.77"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 100-yr 24-hr Rainfall=4.00"

Area (sf)	CN	Description
104,321	98	Paved parking, HSG C
104,321	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



Runoff

3313 Stormwater Pre

Type IA 24-hr 100-yr 24-hr Rainfall=4.00"

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Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

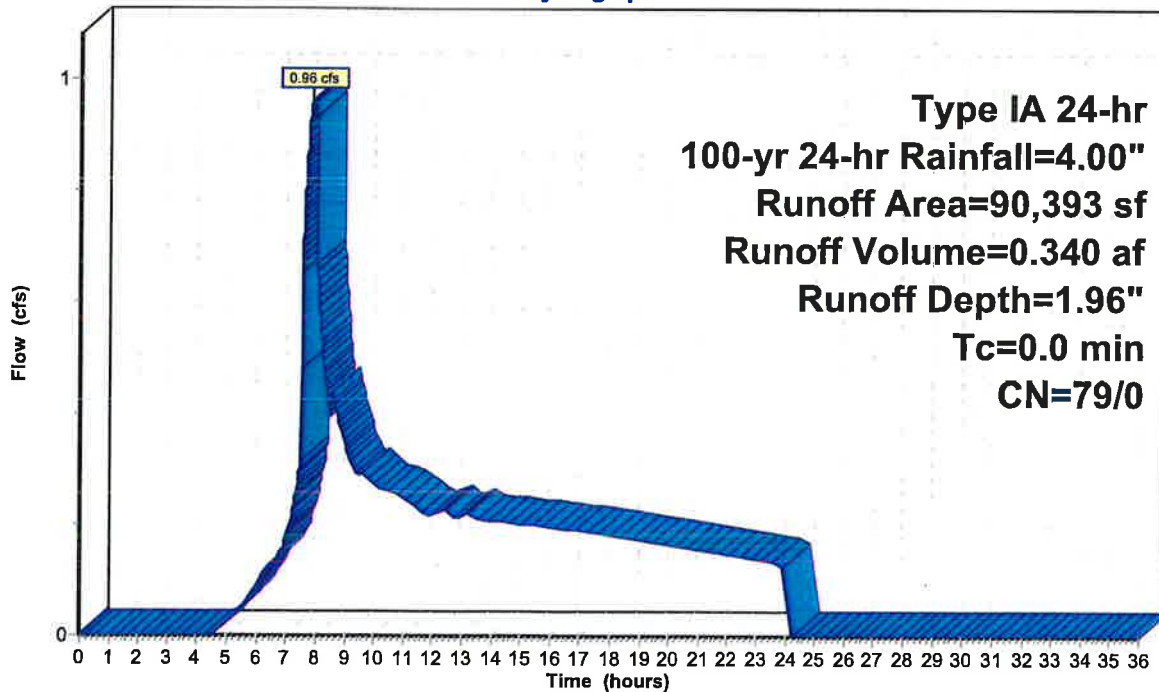
Runoff = 0.96 cfs @ 7.89 hrs, Volume= 0.340 af, Depth= 1.96"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, dt= 0.01 hrs
Type IA 24-hr 100-yr 24-hr Rainfall=4.00"

Area (sf)	CN	Description
90,393	79	50-75% Grass cover, Fair, HSG C
90,393	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

Hydrograph



Runoff

3313 Stormwater Pre

Type IA 24-hr 100-yr 24-hr Rainfall=4.00"

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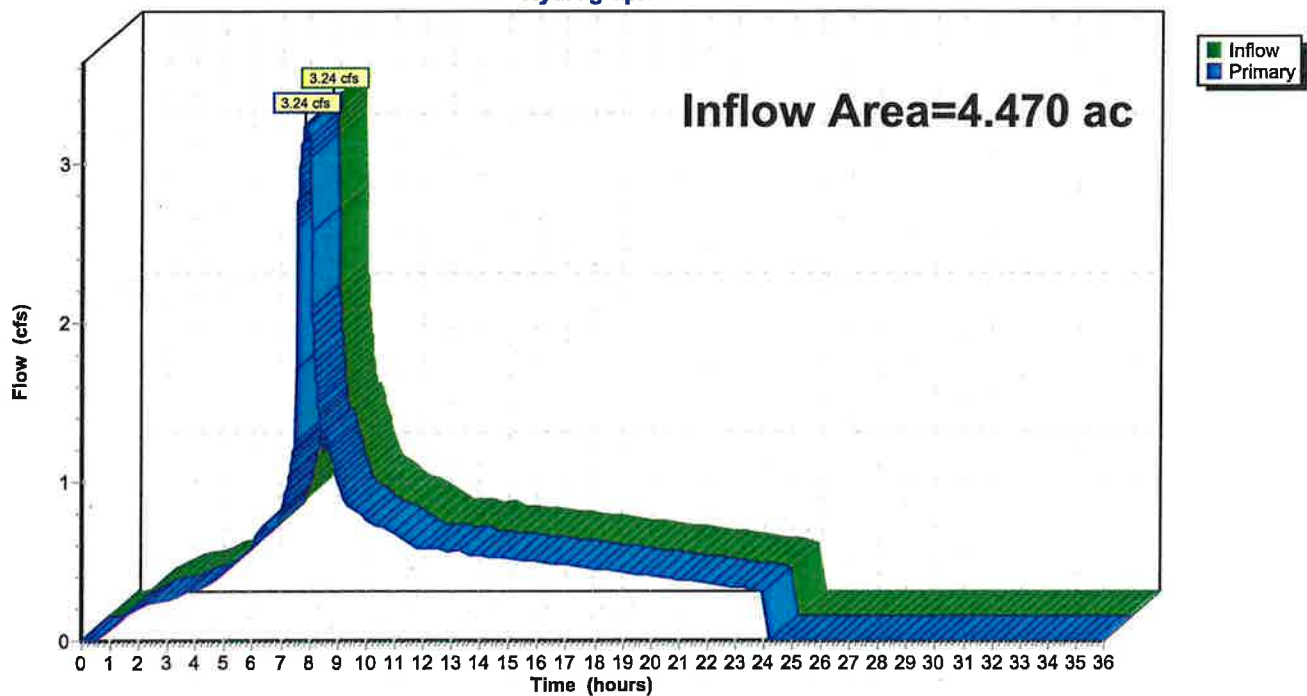
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Summary for Pond 5P: ODOT Right-of-Way

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.58% Impervious, Inflow Depth = 2.93" for 100-yr 24-hr event
 Inflow = 3.24 cfs @ 7.82 hrs, Volume= 1.091 af
 Primary = 3.24 cfs @ 7.82 hrs, Volume= 1.091 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way**Hydrograph**

3313 Stormwater Pre*Type IA 24-hr Water Quality Rainfall=0.67"*

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,321 sf 100.00% Impervious Runoff Depth=0.48"

Tc=0.0 min CN=0/98 Runoff=0.30 cfs 0.095 af

Subcatchment3S: Pervious Area

Runoff Area=90,393 sf 0.00% Impervious Runoff Depth=0.01"

Tc=0.0 min CN=79/0 Runoff=0.00 cfs 0.001 af

Pond 5P: ODOT Right-of-Way

Inflow=0.30 cfs 0.096 af

Primary=0.30 cfs 0.096 af

Total Runoff Area = 4.470 ac Runoff Volume = 0.096 af Average Runoff Depth = 0.26"
46.42% Pervious = 2.075 ac 53.58% Impervious = 2.395 ac

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Type IA 24-hr Water Quality Rainfall=0.67"

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

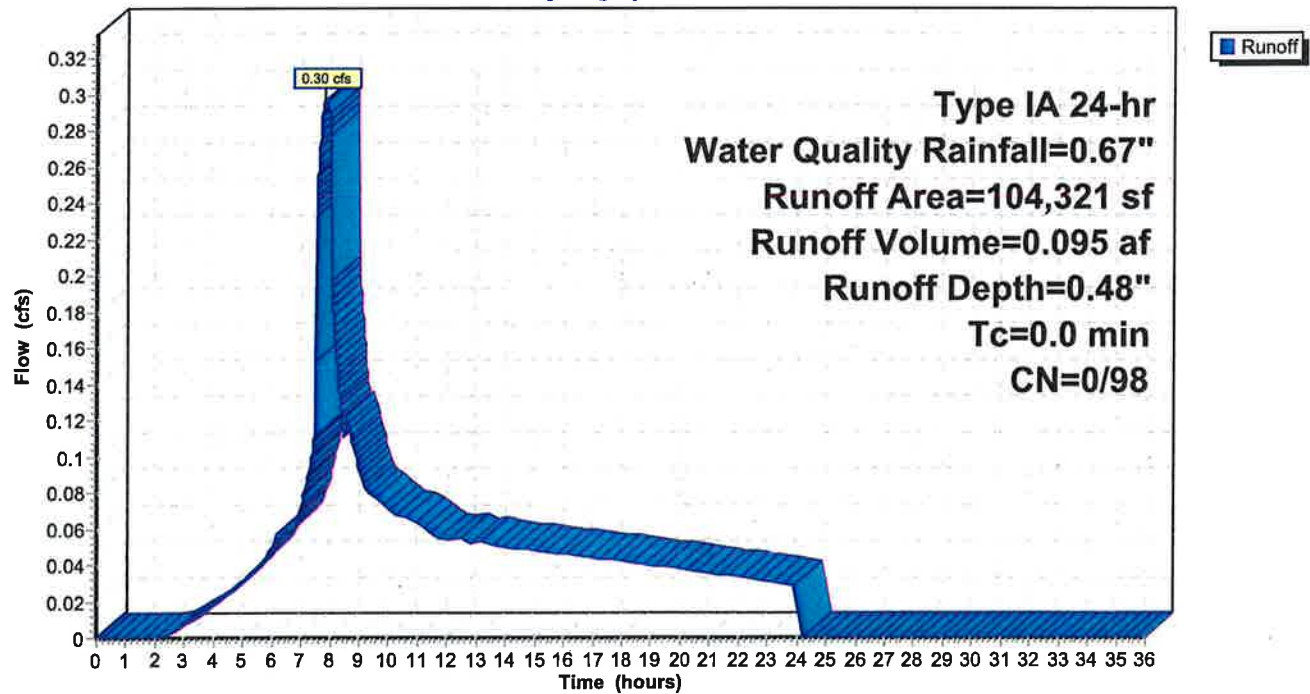
Runoff = 0.30 cfs @ 7.83 hrs, Volume= 0.095 af, Depth= 0.48"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr Water Quality Rainfall=0.67"

Area (sf)	CN	Description
104,321	98	Paved parking, HSG C
104,321	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



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Type IA 24-hr Water Quality Rainfall=0.67"

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Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

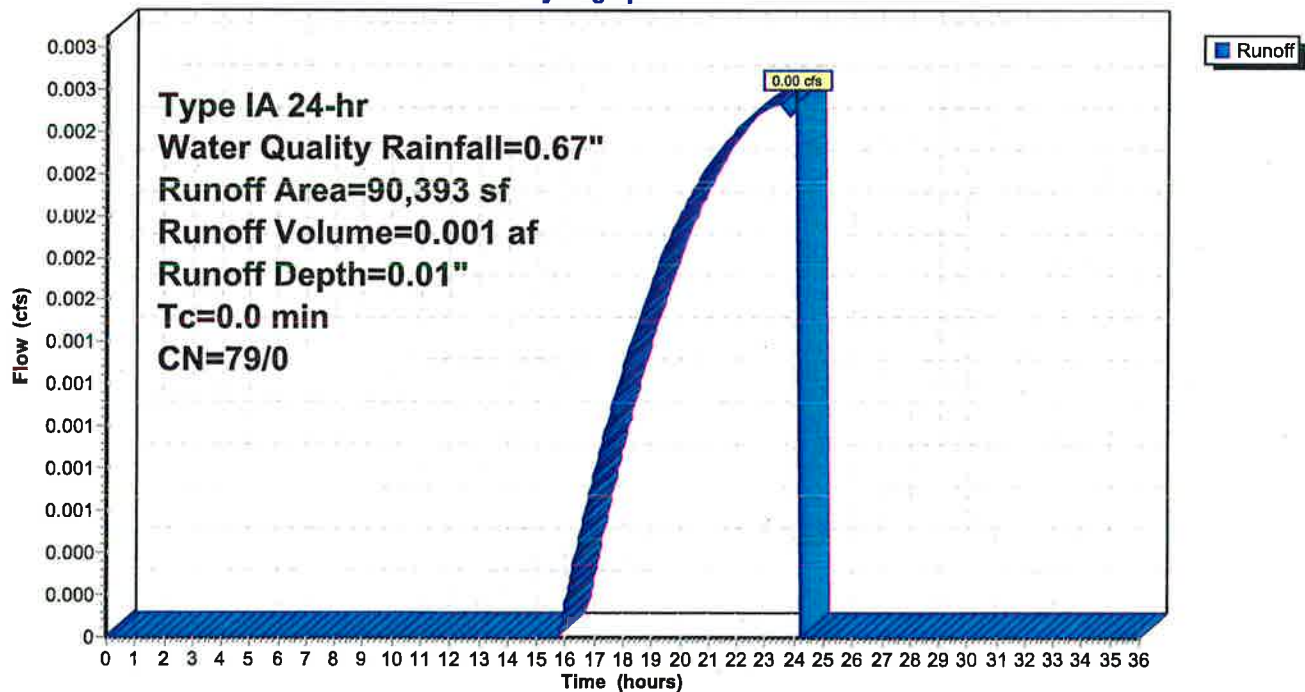
Runoff = 0.00 cfs @ 24.00 hrs, Volume= 0.001 af, Depth= 0.01"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, dt= 0.01 hrs
Type IA 24-hr Water Quality Rainfall=0.67"

Area (sf)	CN	Description
90,393	79	50-75% Grass cover, Fair, HSG C
90,393	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

Hydrograph



3313 Stormwater Pre

Type IA 24-hr Water Quality Rainfall=0.67"

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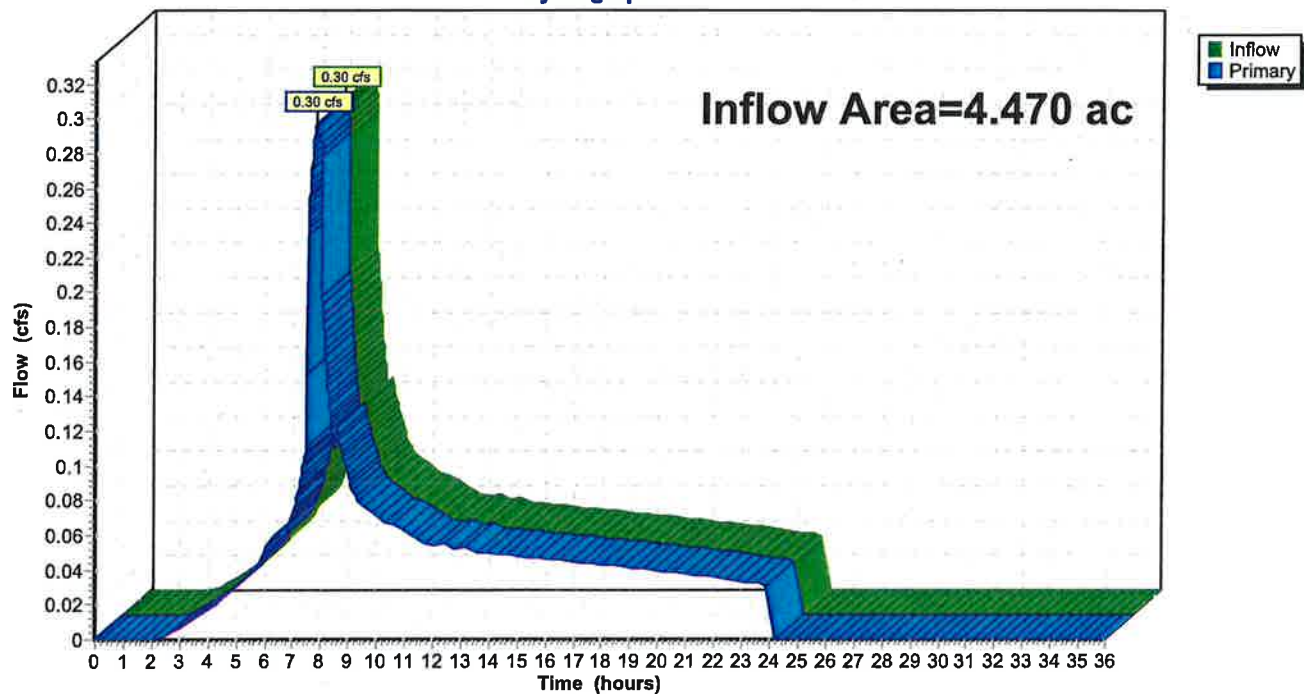
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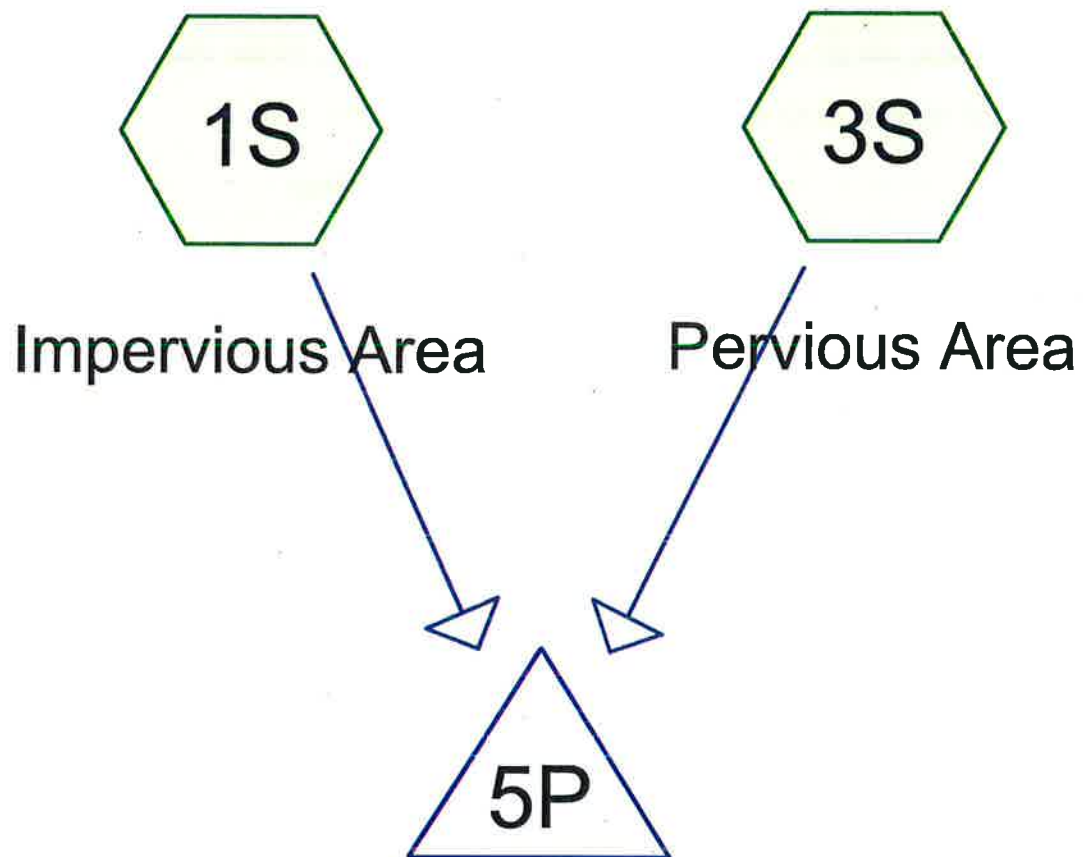
Summary for Pond 5P: ODOT Right-of-Way

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.58% Impervious, Inflow Depth = 0.26" for Water Quality event
 Inflow = 0.30 cfs @ 7.83 hrs, Volume= 0.096 af
 Primary = 0.30 cfs @ 7.83 hrs, Volume= 0.096 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way**Hydrograph**



ODOT Right-of-Way



Subcat



Reach



Pond



Link

Routing Diagram for 3313 Stormwater Post
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3313 Stormwater Post

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Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
2.066	79	50-75% Grass cover, Fair, HSG C (3S)
2.404	98	Paved parking, HSG C (1S)
4.470	89	TOTAL AREA

3313 Stormwater Post*Type IA 24-hr 2-yr 24-hr Rainfall=2.00"*

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,721 sf 100.00% Impervious Runoff Depth=1.77"

Tc=0.0 min CN=0/98 Runoff=1.11 cfs 0.355 af

Subcatchment3S: Pervious Area

Runoff Area=89,993 sf 0.00% Impervious Runoff Depth=0.52"

Tc=0.0 min CN=79/0 Runoff=0.18 cfs 0.090 af

Pond 5P: ODOT Right-of-Way

Inflow=1.27 cfs 0.445 af

Primary=1.27 cfs 0.445 af

Total Runoff Area = 4.470 ac Runoff Volume = 0.445 af Average Runoff Depth = 1.20"
46.22% Pervious = 2.066 ac 53.78% Impervious = 2.404 ac

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Type IA 24-hr 2-yr 24-hr Rainfall=2.00"

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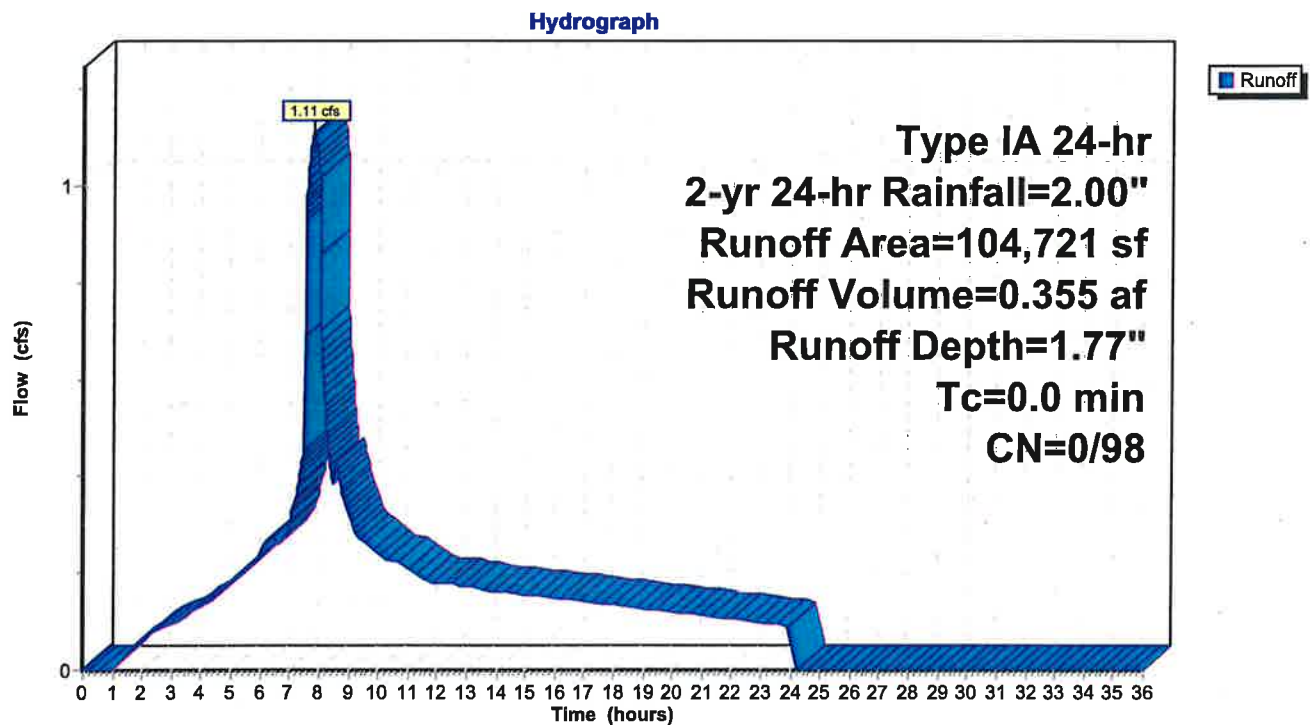
Page 34

Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

Runoff = 1.11 cfs @ 7.79 hrs, Volume= 0.355 af, Depth= 1.77"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 2-yr 24-hr Rainfall=2.00"

Area (sf)	CN	Description
104,721	98	Paved parking, HSG C
104,721	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

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Type IA 24-hr 2-yr 24-hr Rainfall=2.00"

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Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

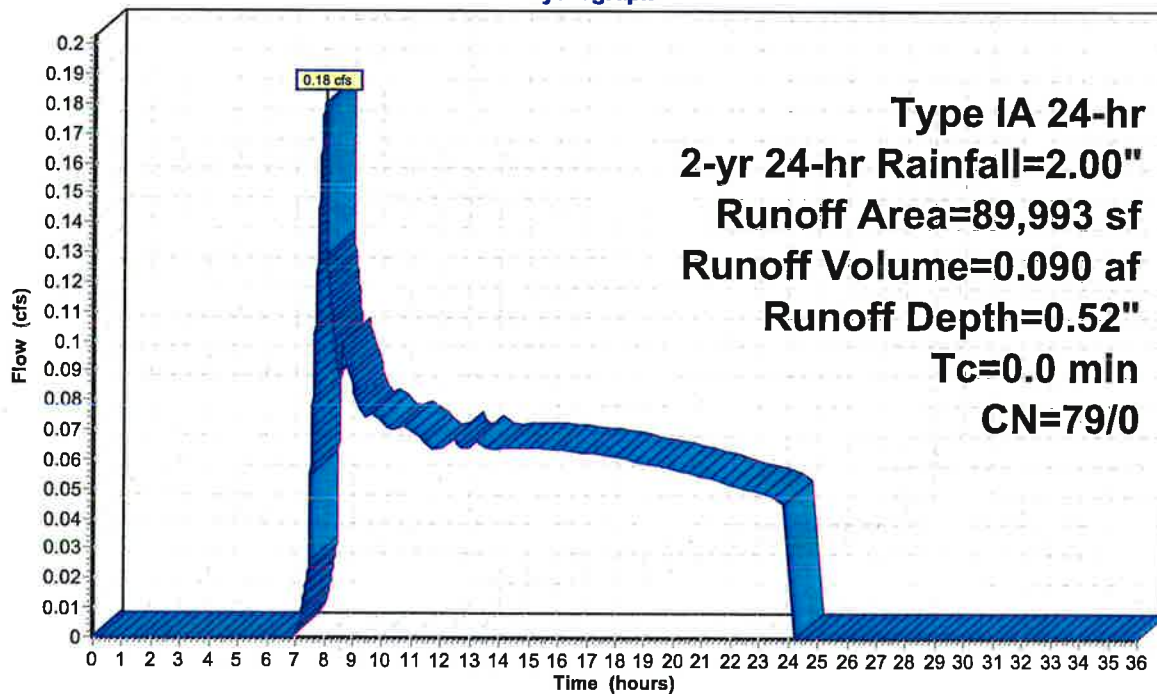
Runoff = 0.18 cfs @ 8.00 hrs, Volume= 0.090 af, Depth= 0.52"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 2-yr 24-hr Rainfall=2.00"

Area (sf)	CN	Description
89,993	79	50-75% Grass cover, Fair, HSG C
89,993	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

Hydrograph



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Type IA 24-hr 2-yr 24-hr Rainfall=2.00"

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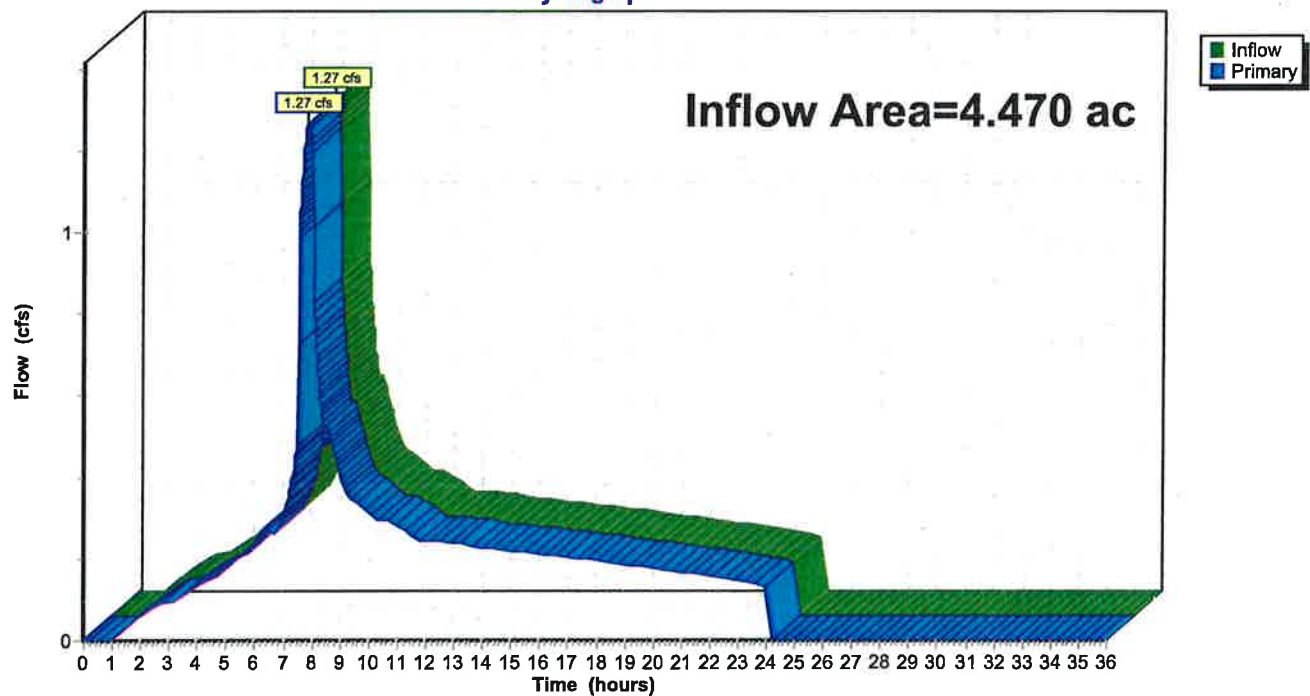
Page 36

Summary for Pond 5P: ODOT Right-of-Way

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.78% Impervious, Inflow Depth = 1.20" for 2-yr 24-hr event
 Inflow = 1.27 cfs @ 7.84 hrs, Volume= 0.445 af
 Primary = 1.27 cfs @ 7.84 hrs, Volume= 0.445 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way**Hydrograph**

3313 Stormwater Post*Type IA 24-hr 5-Yr-24hr Rainfall=2.50"*

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,721 sf 100.00% Impervious Runoff Depth=2.27"

Tc=0.0 min CN=0/98 Runoff=1.41 cfs 0.455 af

Subcatchment3S: Pervious Area

Runoff Area=89,993 sf 0.00% Impervious Runoff Depth=0.84"

Tc=0.0 min CN=79/0 Runoff=0.34 cfs 0.144 af

Pond 5P: ODOT Right-of-Way

Inflow=1.73 cfs 0.599 af

Primary=1.73 cfs 0.599 af

Total Runoff Area = 4.470 ac Runoff Volume = 0.599 af Average Runoff Depth = 1.61"
46.22% Pervious = 2.066 ac 53.78% Impervious = 2.404 ac

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Type IA 24-hr 5-Yr-24hr Rainfall=2.50"

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

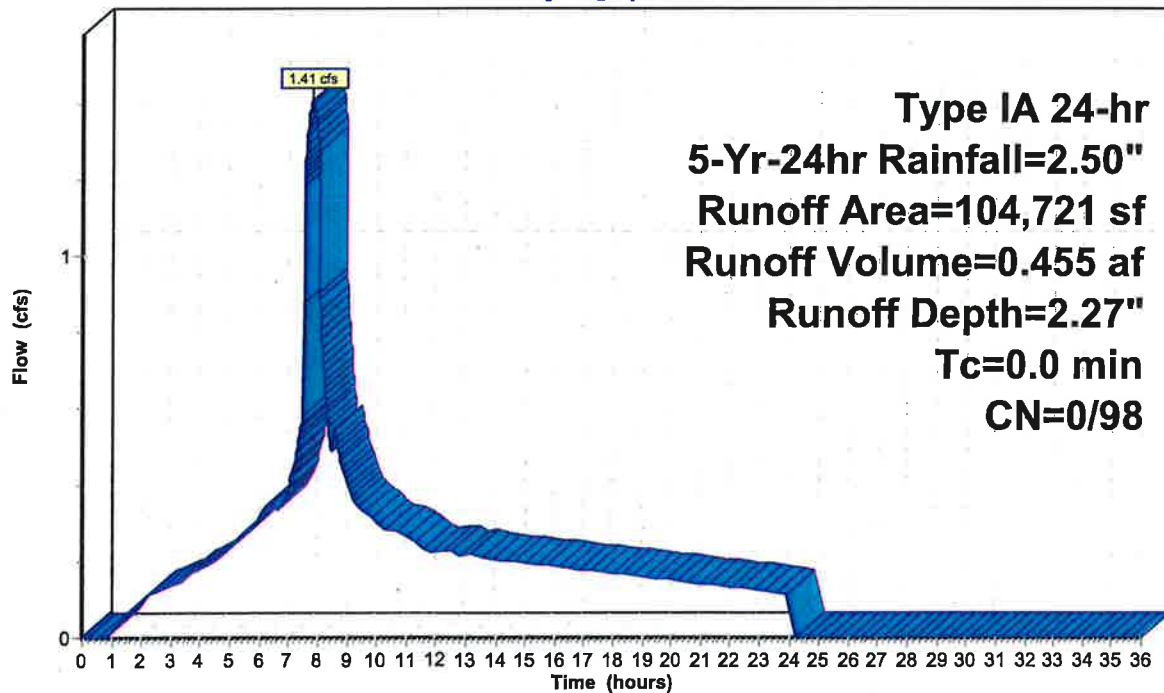
Runoff = 1.41 cfs @ 7.79 hrs, Volume= 0.455 af, Depth= 2.27"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 5-Yr-24hr Rainfall=2.50"

Area (sf)	CN	Description
104,721	98	Paved parking, HSG C
104,721	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



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Type IA 24-hr 5-Yr-24hr Rainfall=2.50"

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Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

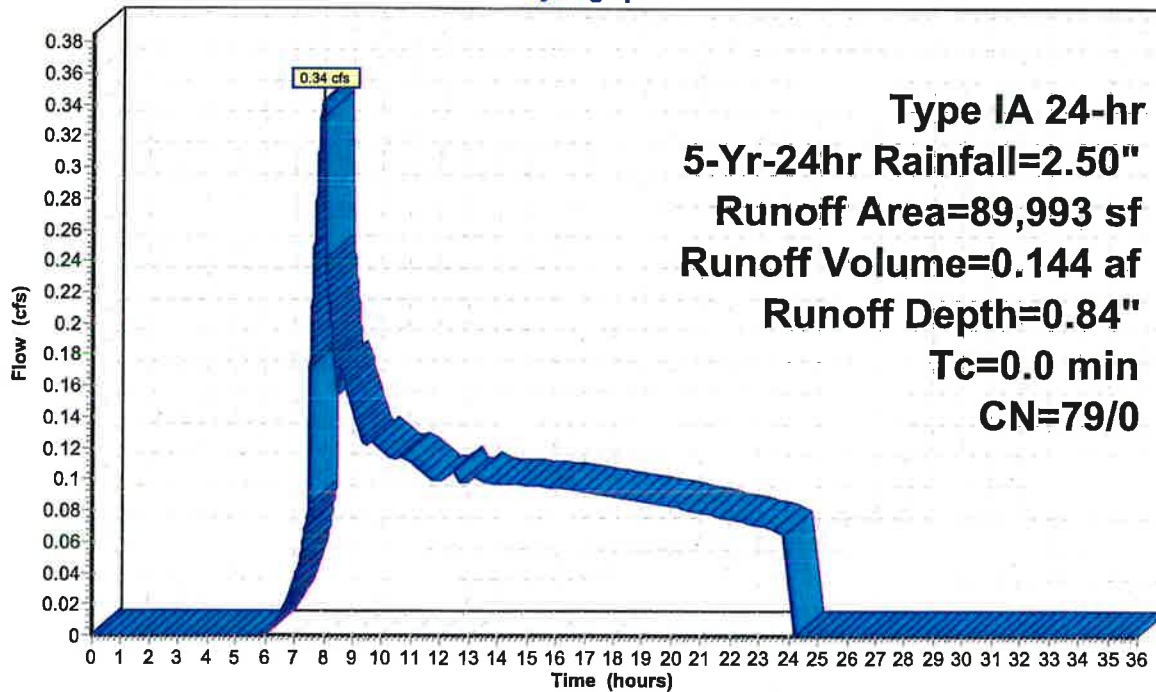
Runoff = 0.34 cfs @ 7.96 hrs, Volume= 0.144 af, Depth= 0.84"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, dt= 0.01 hrs
Type IA 24-hr 5-Yr-24hr Rainfall=2.50"

Area (sf)	CN	Description
89,993	79	50-75% Grass cover, Fair, HSG C
89,993	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

Hydrograph



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Type IA 24-hr 5-Yr-24hr Rainfall=2.50"

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Summary for Pond 5P: ODOT Right-of-Way

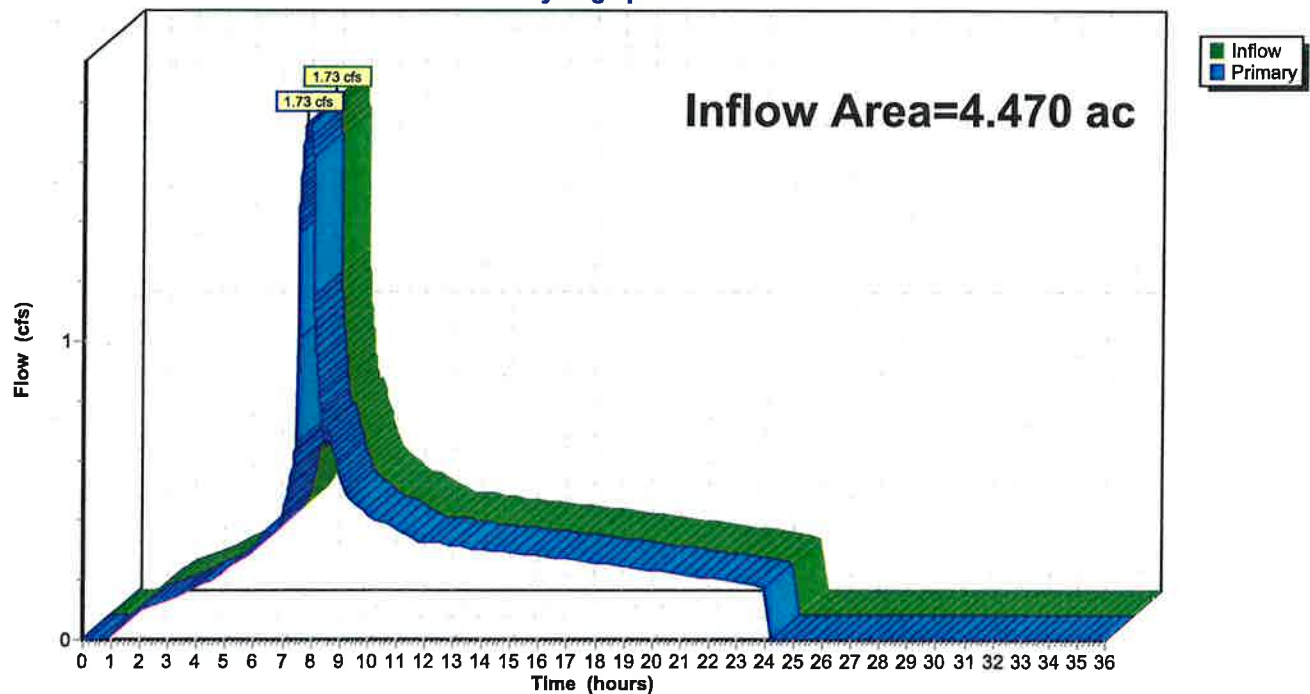
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.78% Impervious, Inflow Depth = 1.61" for 5-Yr-24hr event
 Inflow = 1.73 cfs @ 7.83 hrs, Volume= 0.599 af
 Primary = 1.73 cfs @ 7.83 hrs, Volume= 0.599 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way

Hydrograph



Type IA 24-hr 10-yr 24-hr Rainfall=3.00"

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,721 sf 100.00% Impervious Runoff Depth=2.77"

Tc=0.0 min CN=0/98 Runoff=1.71 cfs 0.555 af

Subcatchment3S: Pervious Area

Runoff Area=89,993 sf 0.00% Impervious Runoff Depth=1.19"

Tc=0.0 min CN=79/0 Runoff=0.53 cfs 0.205 af

Pond 5P: ODOT Right-of-Way

Inflow=2.22 cfs 0.759 af

Primary=2.22 cfs 0.759 af

Total Runoff Area = 4.470 ac Runoff Volume = 0.759 af Average Runoff Depth = 2.04"
46.22% Pervious = 2.066 ac 53.78% Impervious = 2.404 ac

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Type IA 24-hr 10-yr 24-hr Rainfall=3.00"

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

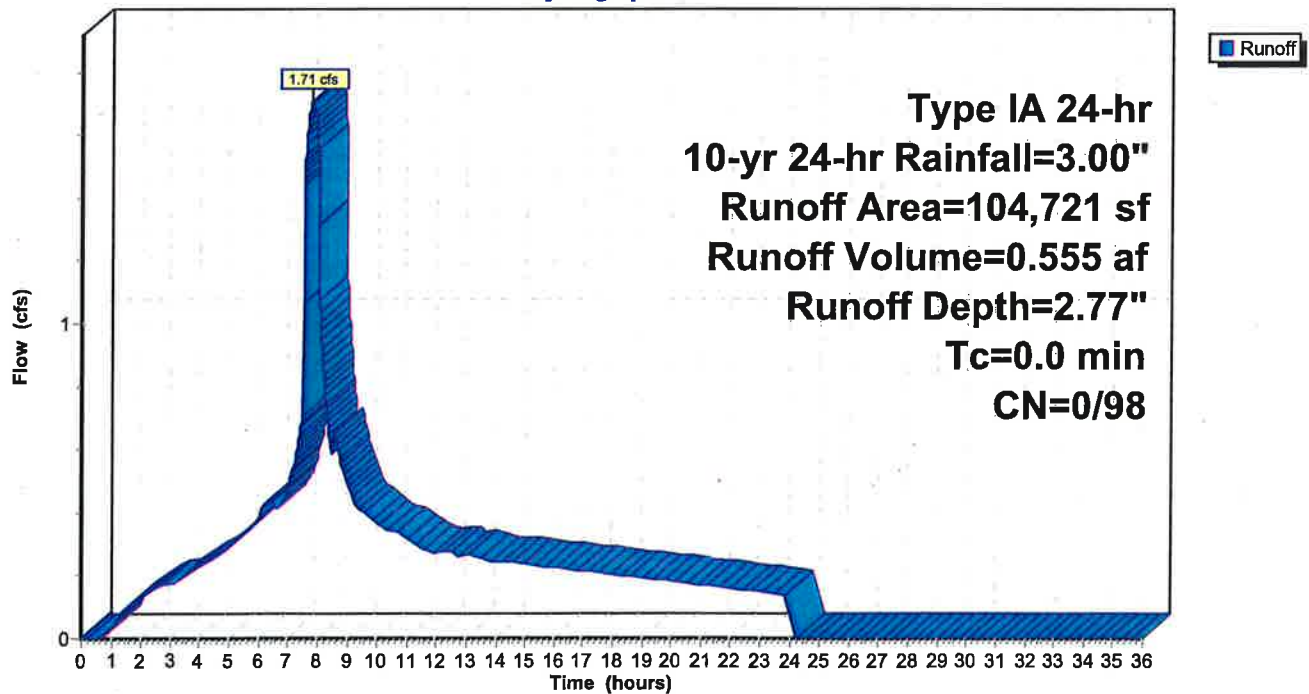
Runoff = 1.71 cfs @ 7.79 hrs, Volume= 0.555 af, Depth= 2.77"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 10-yr 24-hr Rainfall=3.00"

Area (sf)	CN	Description
104,721	98	Paved parking, HSG C
104,721	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



3313 Stormwater Post

Type IA 24-hr 10-yr 24-hr Rainfall=3.00"

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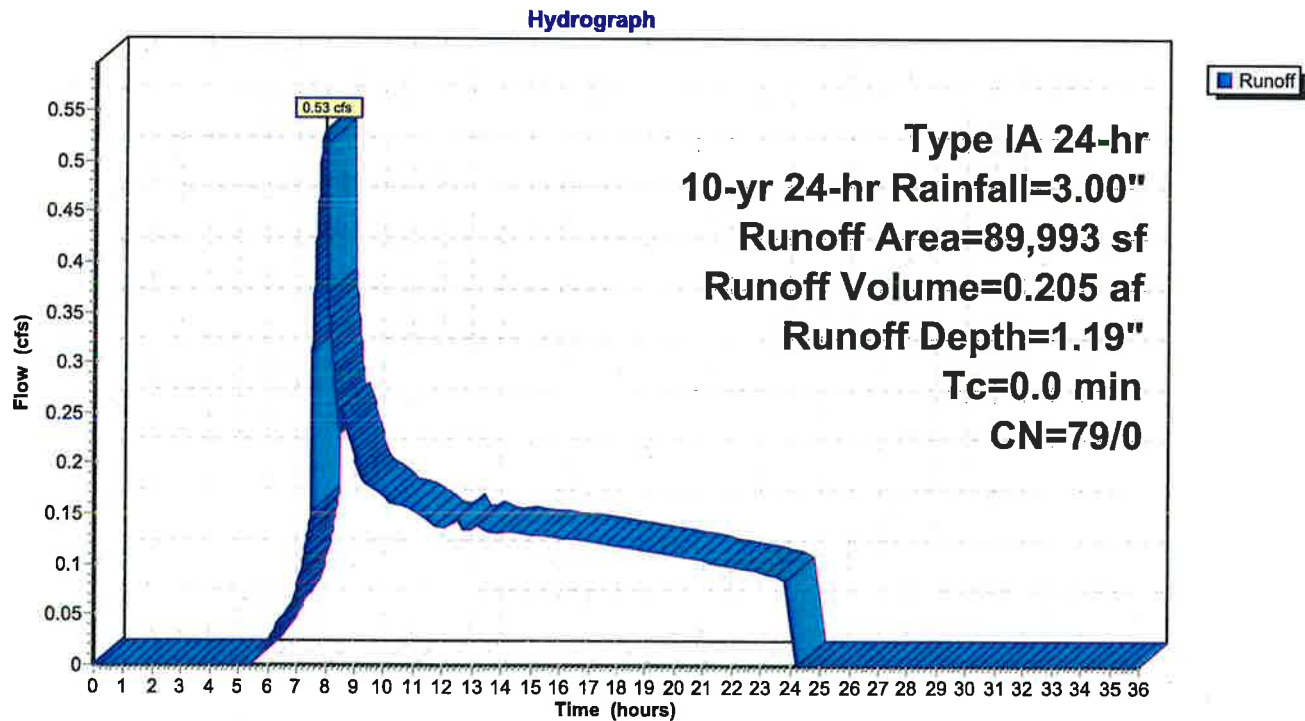
Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

Runoff = 0.53 cfs @ 7.93 hrs, Volume= 0.205 af, Depth= 1.19"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs

Type IA 24-hr 10-yr 24-hr Rainfall=3.00"

Area (sf)	CN	Description
89,993	79	50-75% Grass cover, Fair, HSG C
89,993	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

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Type IA 24-hr 10-yr 24-hr Rainfall=3.00"

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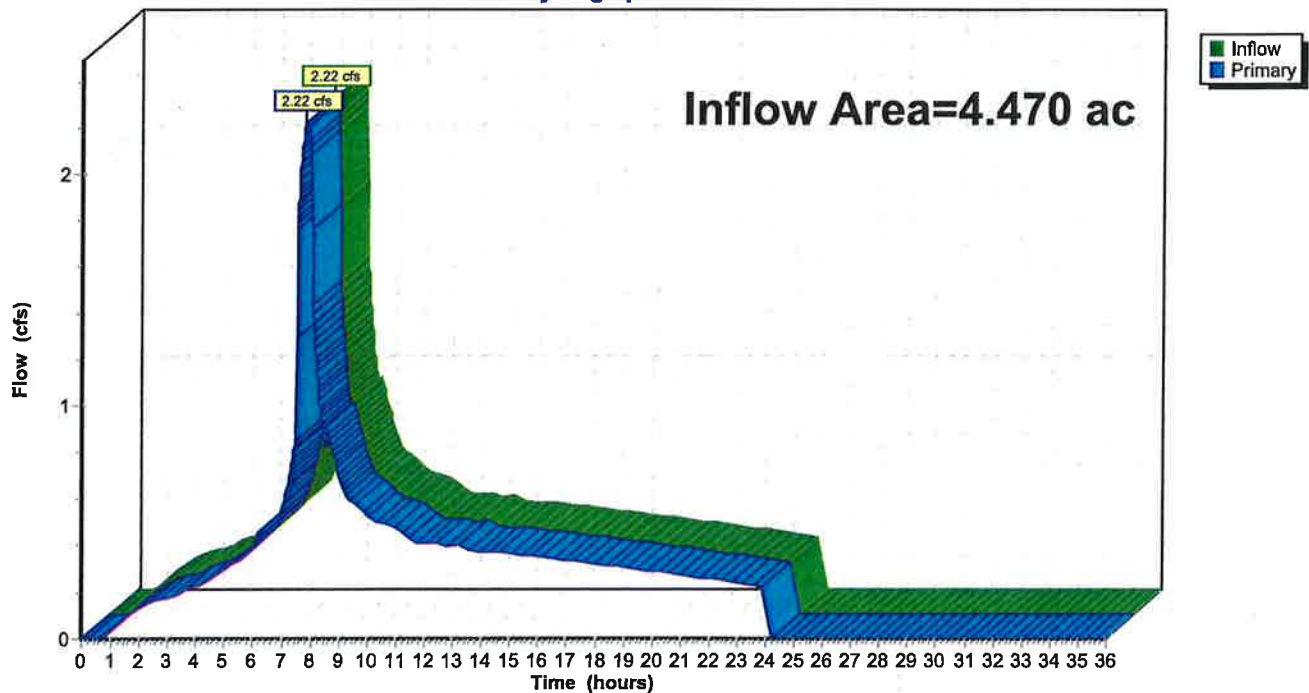
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Summary for Pond 5P: ODOT Right-of-Way

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.78% Impervious, Inflow Depth = 2.04" for 10-yr 24-hr event
 Inflow = 2.22 cfs @ 7.83 hrs, Volume= 0.759 af
 Primary = 2.22 cfs @ 7.83 hrs, Volume= 0.759 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way**Hydrograph**

3313 Stormwater Post

Type IA 24-hr 25-yr 24-hr Rainfall=3.40"

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,721 sf 100.00% Impervious Runoff Depth=3.17"

Tc=0.0 min CN=0/98 Runoff=1.95 cfs 0.634 af

Subcatchment3S: Pervious Area

Runoff Area=89,993 sf 0.00% Impervious Runoff Depth=1.49"

Tc=0.0 min CN=79/0 Runoff=0.70 cfs 0.256 af

Pond 5P: ODOT Right-of-Way

Inflow=2.62 cfs 0.891 af

Primary=2.62 cfs 0.891 af

Total Runoff Area = 4.470 ac Runoff Volume = 0.891 af Average Runoff Depth = 2.39"
46.22% Pervious = 2.066 ac 53.78% Impervious = 2.404 ac

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Type IA 24-hr 25-yr 24-hr Rainfall=3.40"

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

Runoff = 1.95 cfs @ 7.78 hrs, Volume= 0.634 af, Depth= 3.17"

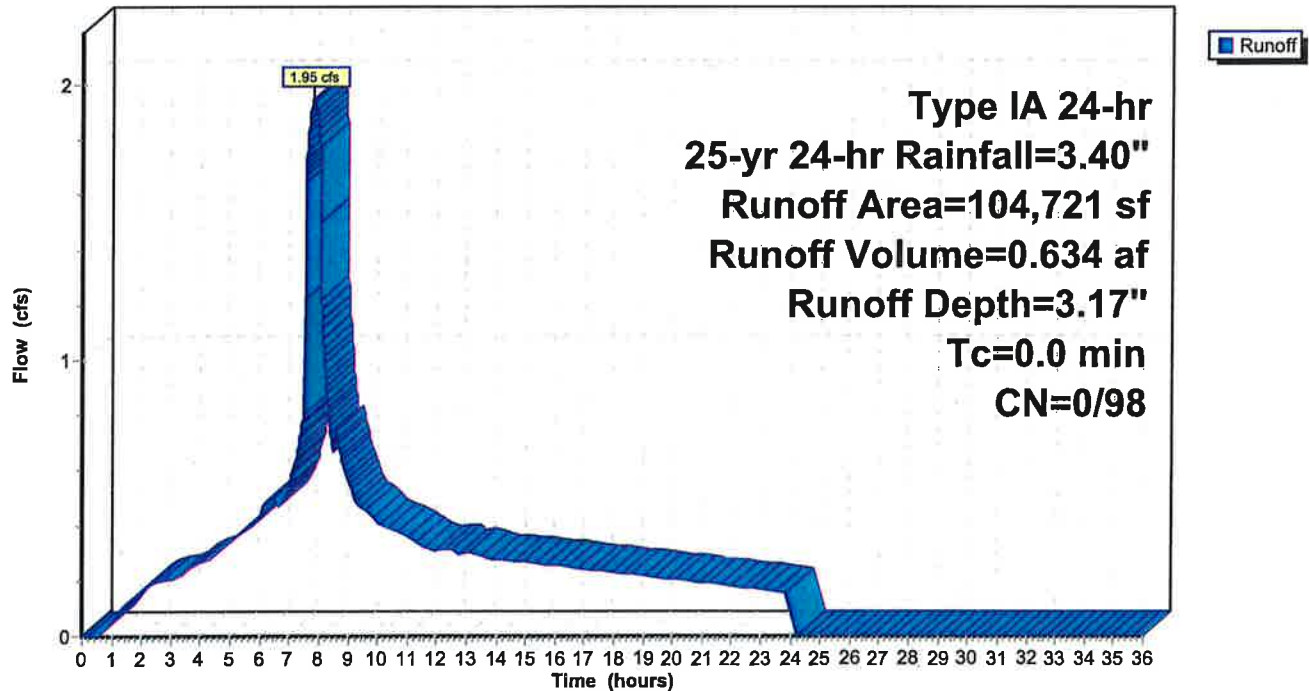
Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs

Type IA 24-hr 25-yr 24-hr Rainfall=3.40"

Area (sf)	CN	Description
104,721	98	Paved parking, HSG C
104,721	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



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Type IA 24-hr 25-yr 24-hr Rainfall=3.40"

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Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

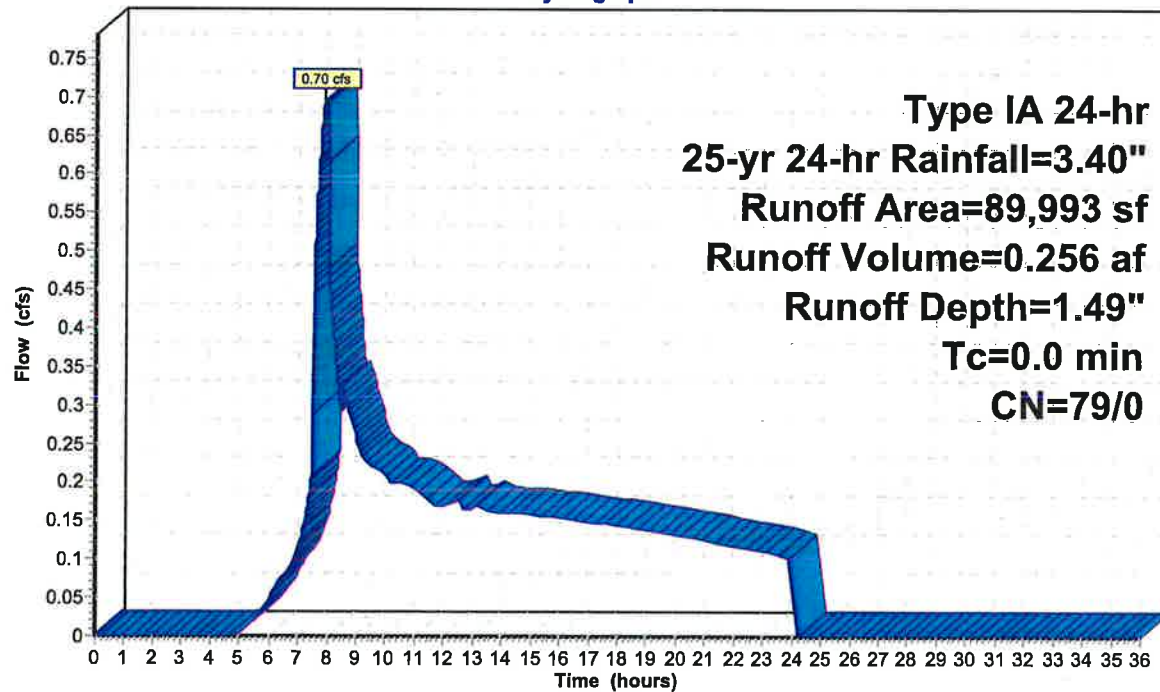
Runoff = 0.70 cfs @ 7.91 hrs, Volume= 0.256 af, Depth= 1.49"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 25-yr 24-hr Rainfall=3.40"

Area (sf)	CN	Description
89,993	79	50-75% Grass cover, Fair, HSG C
89,993	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

Hydrograph



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Type IA 24-hr 25-yr 24-hr Rainfall=3.40"

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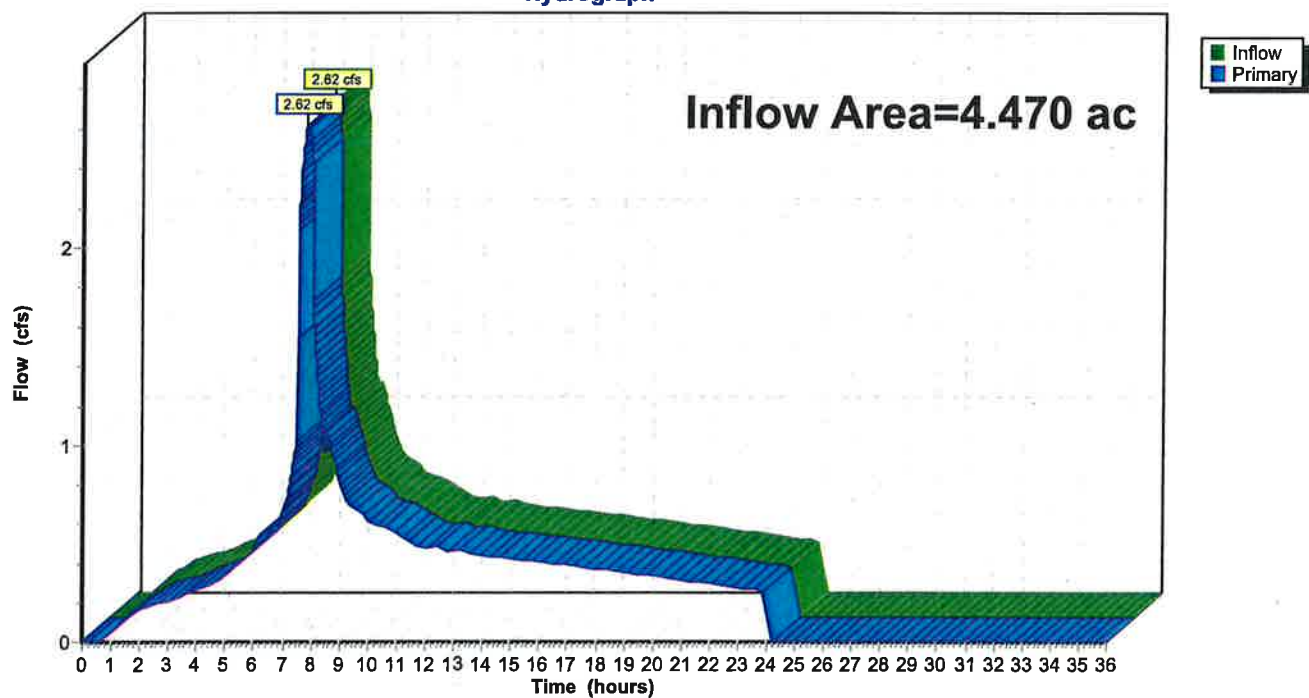
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Summary for Pond 5P: ODOT Right-of-Way

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.78% Impervious, Inflow Depth = 2.39" for 25-yr 24-hr event
 Inflow = 2.62 cfs @ 7.83 hrs, Volume= 0.891 af
 Primary = 2.62 cfs @ 7.83 hrs, Volume= 0.891 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way**Hydrograph**

3313 Stormwater Post

Type IA 24-hr 50-yr 24-hr Rainfall=3.60"

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,721 sf 100.00% Impervious Runoff Depth=3.37"

Tc=0.0 min CN=0/98 Runoff=2.07 cfs 0.674 af

Subcatchment3S: Pervious Area

Runoff Area=89,993 sf 0.00% Impervious Runoff Depth=1.64"

Tc=0.0 min CN=79/0 Runoff=0.78 cfs 0.283 af

Pond 5P: ODOT Right-of-Way

Inflow=2.83 cfs 0.957 af

Primary=2.83 cfs 0.957 af

Total Runoff Area = 4.470 ac Runoff Volume = 0.957 af Average Runoff Depth = 2.57"
46.22% Pervious = 2.066 ac 53.78% Impervious = 2.404 ac

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Type IA 24-hr 50-yr 24-hr Rainfall=3.60"

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

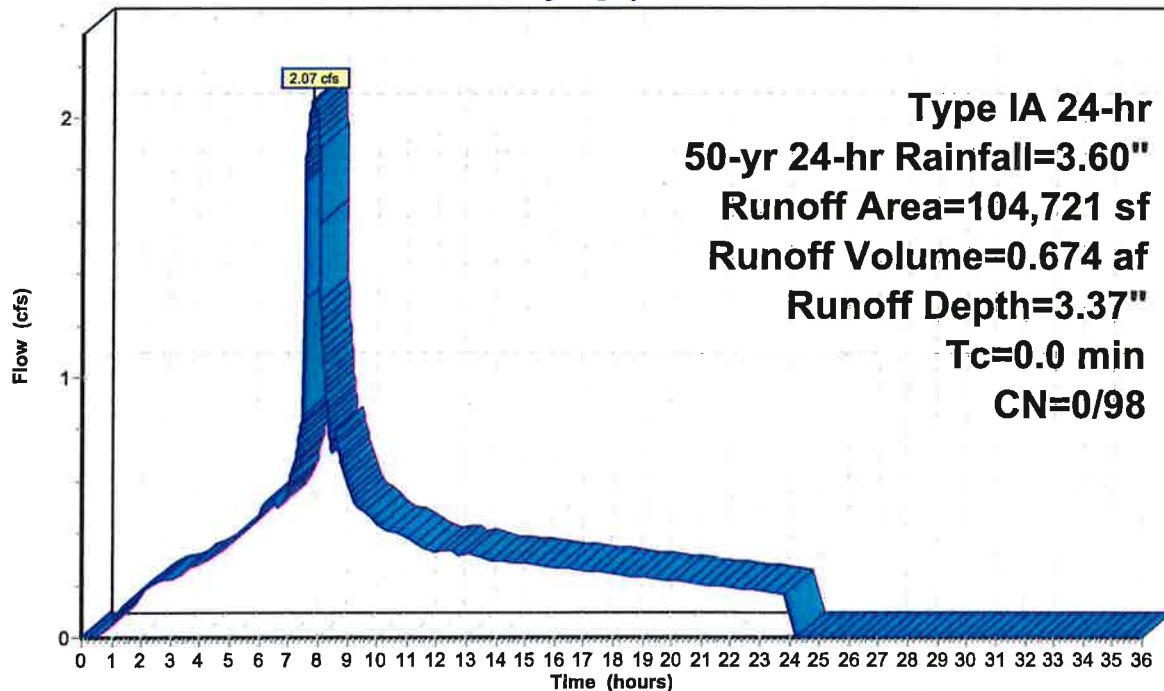
Runoff = 2.07 cfs @ 7.78 hrs, Volume= 0.674 af, Depth= 3.37"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, dt= 0.01 hrs
Type IA 24-hr 50-yr 24-hr Rainfall=3.60"

Area (sf)	CN	Description
104,721	98	Paved parking, HSG C
104,721	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



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Type IA 24-hr 50-yr 24-hr Rainfall=3.60"

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Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

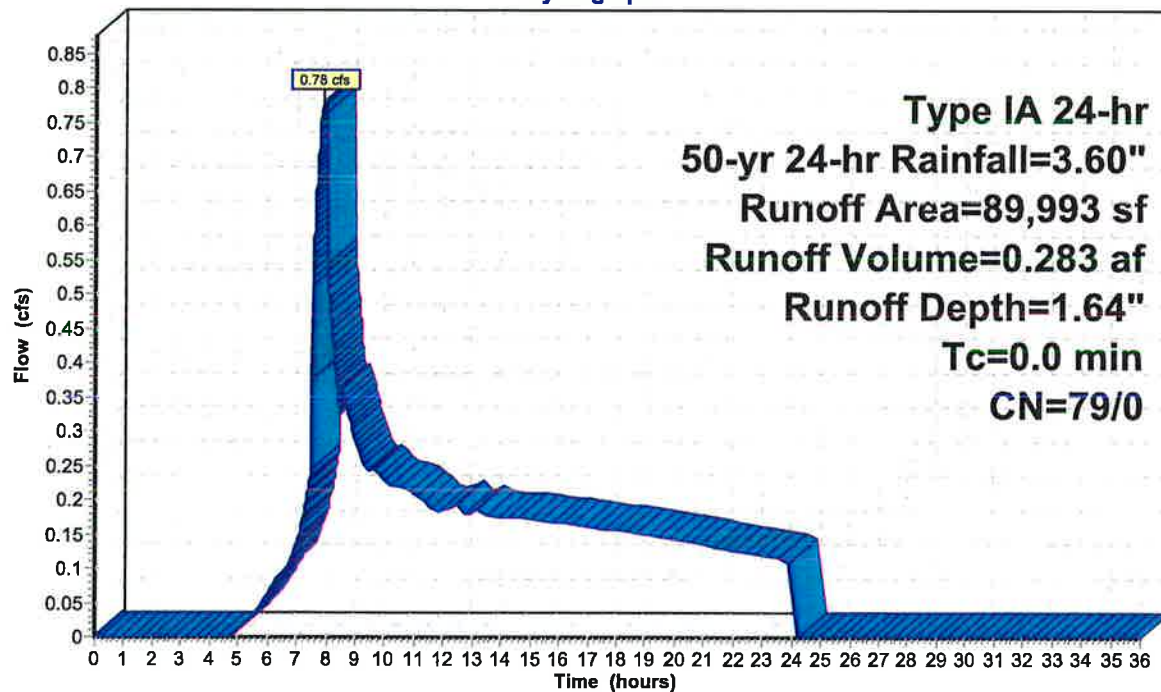
Runoff = 0.78 cfs @ 7.91 hrs, Volume= 0.283 af, Depth= 1.64"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 50-yr 24-hr Rainfall=3.60"

Area (sf)	CN	Description
89,993	79	50-75% Grass cover, Fair, HSG C
89,993	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

Hydrograph



Runoff

3313 Stormwater Post

Type IA 24-hr 50-yr 24-hr Rainfall=3.60"

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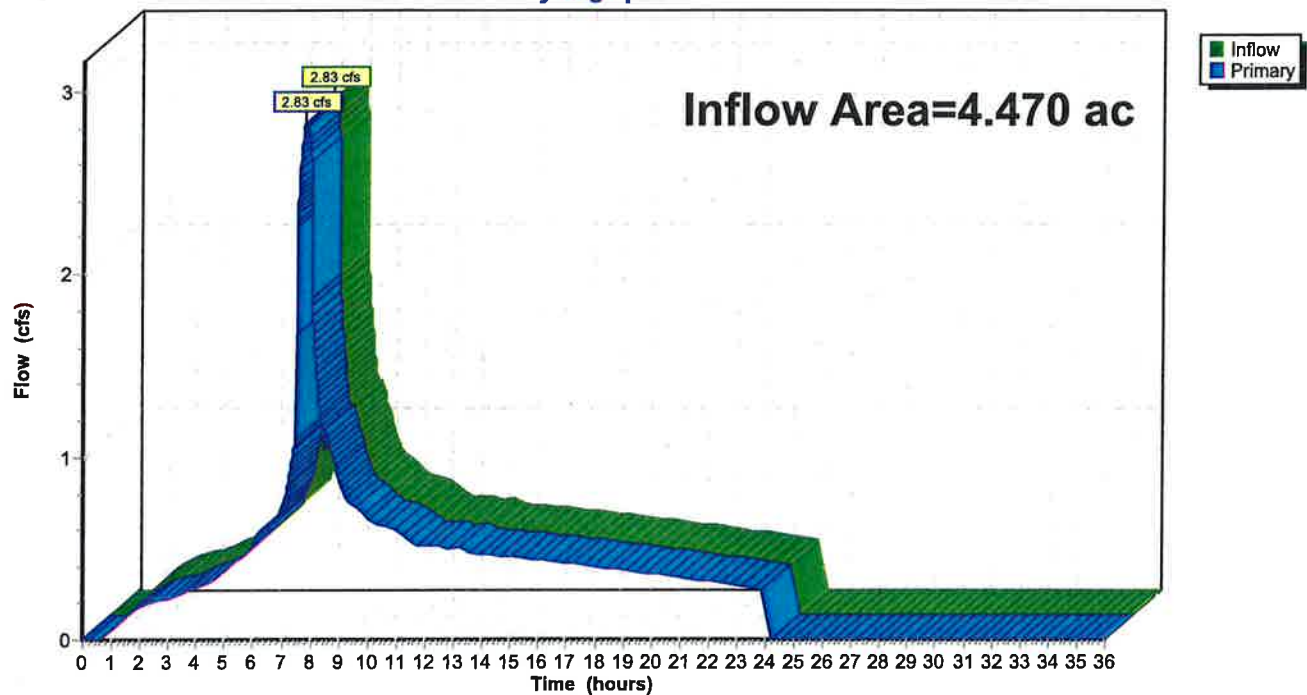
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Summary for Pond 5P: ODOT Right-of-Way

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.78% Impervious, Inflow Depth = 2.57" for 50-yr 24-hr event
 Inflow = 2.83 cfs @ 7.82 hrs, Volume= 0.957 af
 Primary = 2.83 cfs @ 7.82 hrs, Volume= 0.957 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way**Hydrograph**

3313 Stormwater Post*Type IA 24-hr 100-yr 24-hr Rainfall=4.00"*

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,721 sf 100.00% Impervious Runoff Depth=3.77"

Tc=0.0 min CN=0/98 Runoff=2.31 cfs 0.754 af

Subcatchment3S: Pervious Area

Runoff Area=89,993 sf 0.00% Impervious Runoff Depth=1.96"

Tc=0.0 min CN=79/0 Runoff=0.96 cfs 0.338 af

Pond 5P: ODOT Right-of-Way

Inflow=3.24 cfs 1.092 af

Primary=3.24 cfs 1.092 af

Total Runoff Area = 4.470 ac Runoff Volume = 1.092 af Average Runoff Depth = 2.93"
46.22% Pervious = 2.066 ac 53.78% Impervious = 2.404 ac

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Type IA 24-hr 100-yr 24-hr Rainfall=4.00"

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

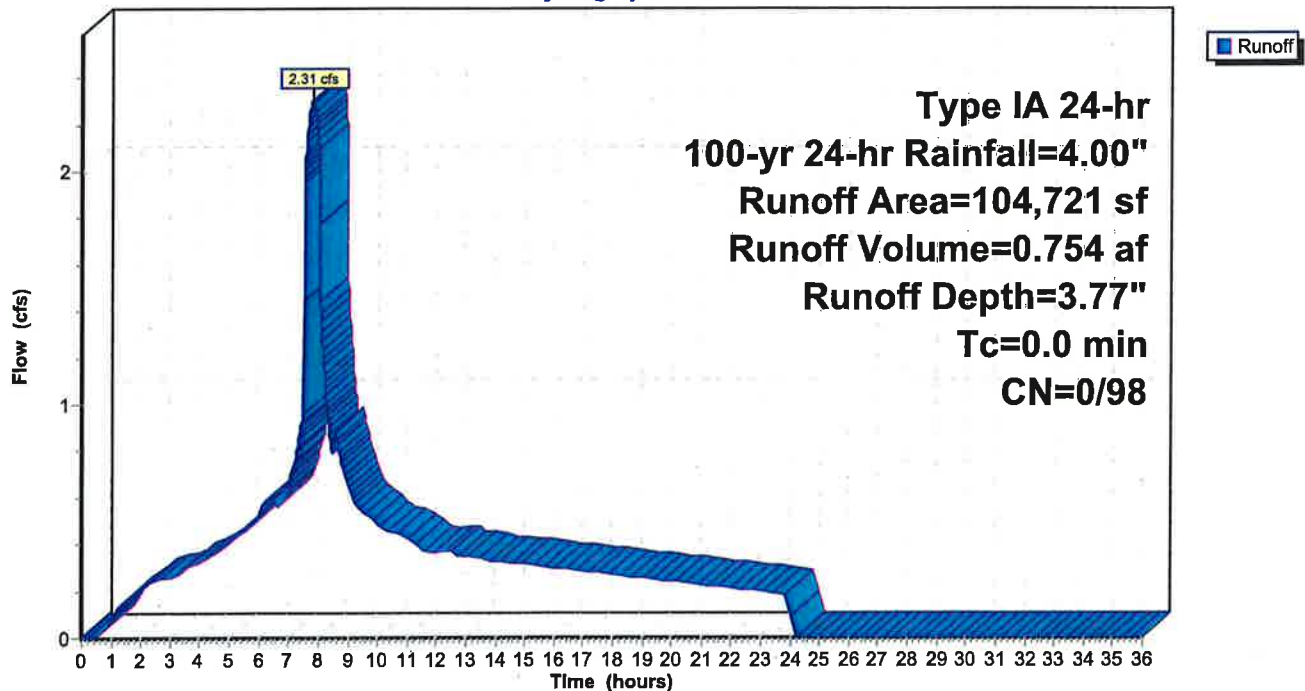
Runoff = 2.31 cfs @ 7.78 hrs, Volume= 0.754 af, Depth= 3.77"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 100-yr 24-hr Rainfall=4.00"

Area (sf)	CN	Description
104,721	98	Paved parking, HSG C
104,721	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



3313 Stormwater Post

Type IA 24-hr 100-yr 24-hr Rainfall=4.00"

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Summary for Subcatchment 3S: Pervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

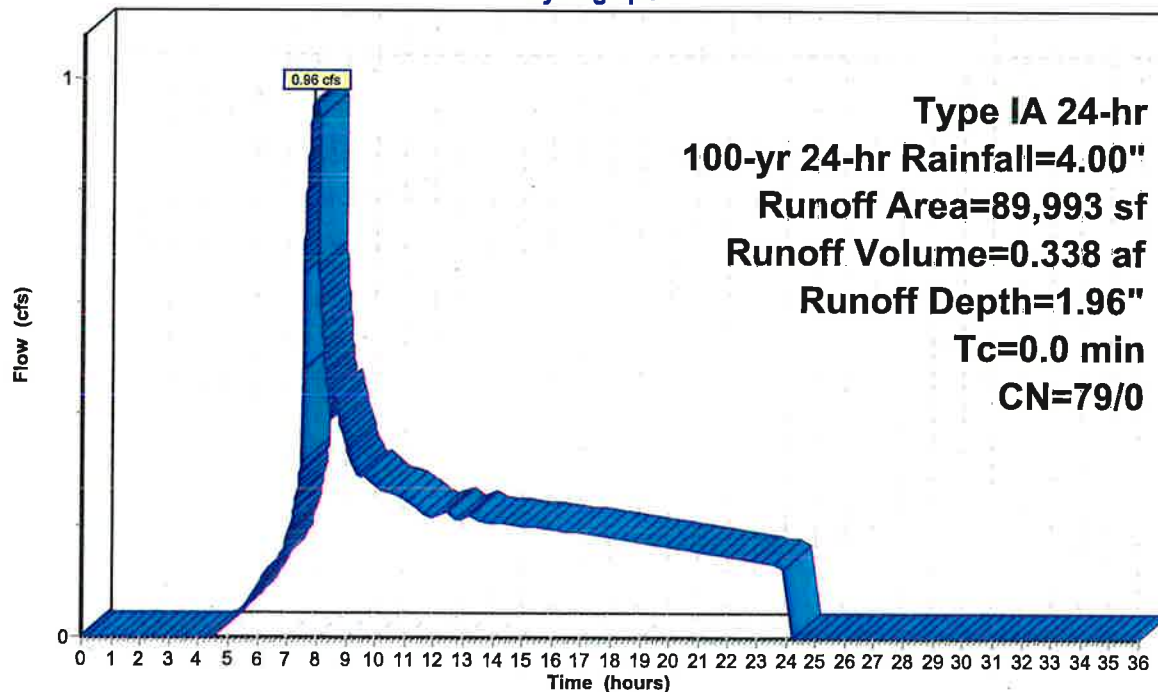
Runoff = 0.96 cfs @ 7.89 hrs, Volume= 0.338 af, Depth= 1.96"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr 100-yr 24-hr Rainfall=4.00"

Area (sf)	CN	Description
89,993	79	50-75% Grass cover, Fair, HSG C
89,993	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area

Hydrograph



3313 Stormwater Post

Type IA 24-hr 100-yr 24-hr Rainfall=4.00"

Prepared by Lower Columbia Engineering

Printed 6/22/2022

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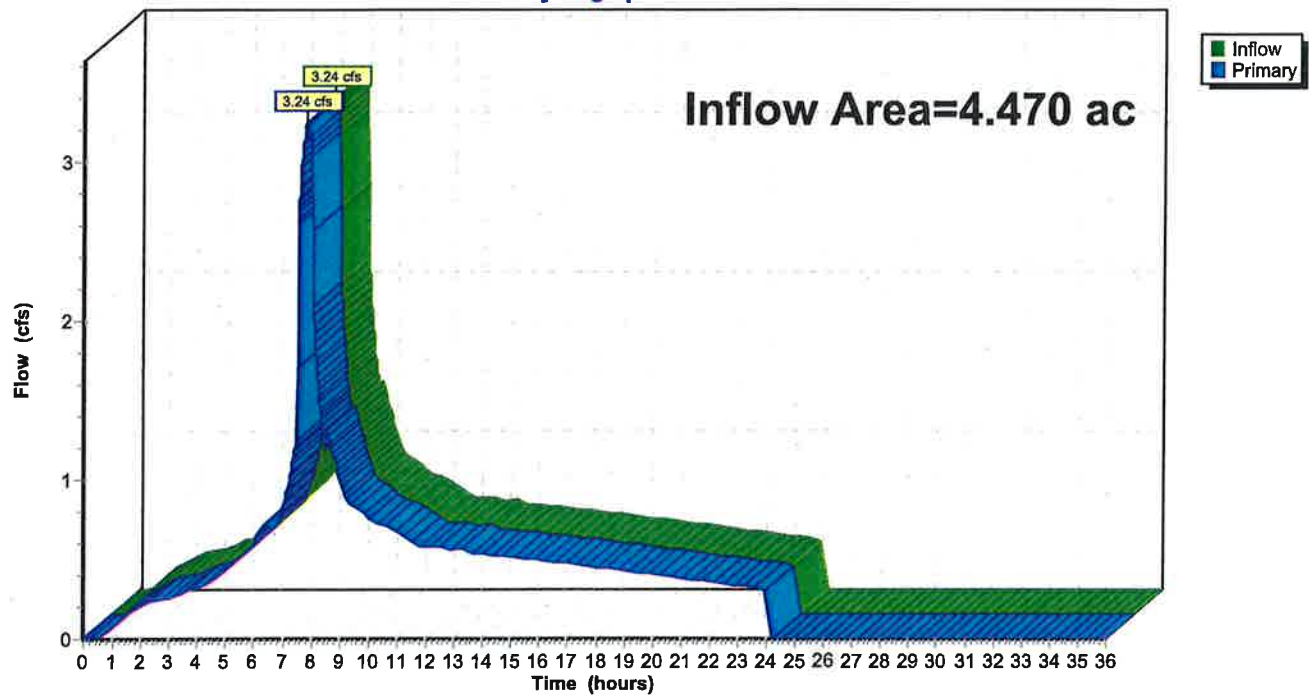
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Summary for Pond 5P: ODOT Right-of-Way

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.78% Impervious, Inflow Depth = 2.93" for 100-yr 24-hr event
 Inflow = 3.24 cfs @ 7.82 hrs, Volume= 1.092 af
 Primary = 3.24 cfs @ 7.82 hrs, Volume= 1.092 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way**Hydrograph**

3313 Stormwater Post

Type IA 24-hr Water Quality Rainfall=0.67"

Prepared by Lower Columbia Engineering

Printed 6/22/2022

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Time span=0.00-36.00 hrs, dt=0.01 hrs, 3601 points

Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment1S: Impervious Area

Runoff Area=104,721 sf 100.00% Impervious Runoff Depth=0.48"

Tc=0.0 min CN=0/98 Runoff=0.30 cfs 0.095 af

Subcatchment3S: Pervious Area

Runoff Area=89,993 sf 0.00% Impervious Runoff Depth=0.01"

Tc=0.0 min CN=79/0 Runoff=0.00 cfs 0.001 af

Pond 5P: ODOT Right-of-Way

Inflow=0.30 cfs 0.096 af

Primary=0.30 cfs 0.096 af

Total Runoff Area = 4.470 ac Runoff Volume = 0.096 af Average Runoff Depth = 0.26"
46.22% Pervious = 2.066 ac 53.78% Impervious = 2.404 ac

3313 Stormwater Post

Prepared by Lower Columbia Engineering

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Type IA 24-hr Water Quality Rainfall=0.67"

Printed 6/22/2022

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Summary for Subcatchment 1S: Impervious Area[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

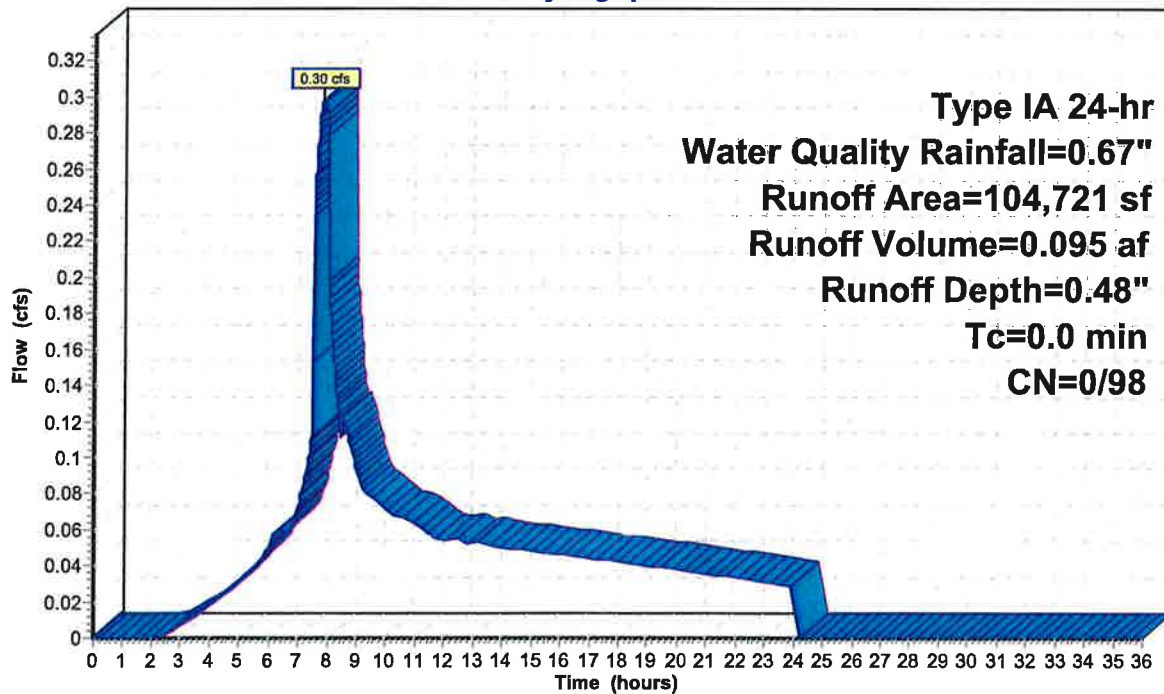
Runoff = 0.30 cfs @ 7.83 hrs, Volume= 0.095 af, Depth= 0.48"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, $dt=0.01$ hrs
Type IA 24-hr Water Quality Rainfall=0.67"

Area (sf)	CN	Description
104,721	98	Paved parking, HSG C
104,721	98	100.00% Impervious Area

Subcatchment 1S: Impervious Area

Hydrograph



Summary for Subcatchment 3S: Pervious Area

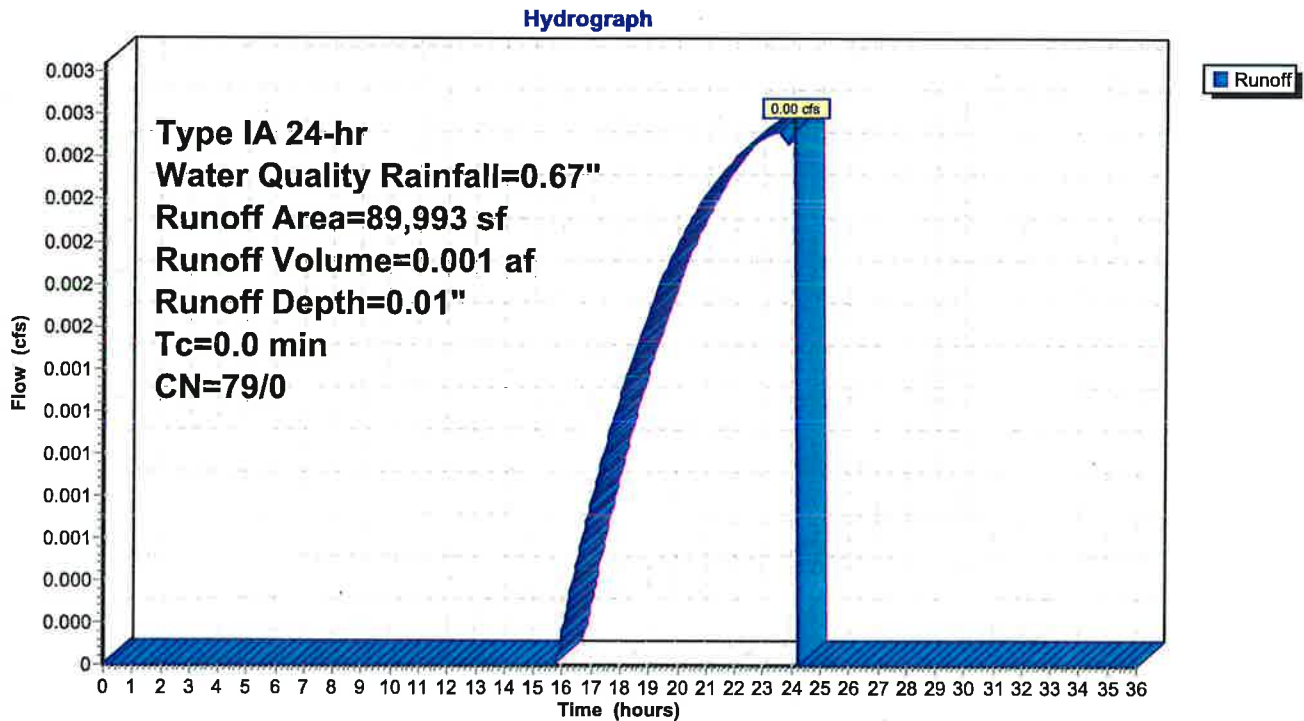
[46] Hint: $T_c=0$ (Instant runoff peak depends on dt)

Runoff = 0.00 cfs @ 24.00 hrs, Volume= 0.001 af, Depth= 0.01"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-36.00 hrs, dt= 0.01 hrs
Type IA 24-hr Water Quality Rainfall=0.67"

Area (sf)	CN	Description
89,993	79	50-75% Grass cover, Fair, HSG C
89,993	79	100.00% Pervious Area

Subcatchment 3S: Pervious Area



3313 Stormwater Post

Type IA 24-hr Water Quality Rainfall=0.67"

Prepared by Lower Columbia Engineering

Printed 6/22/2022

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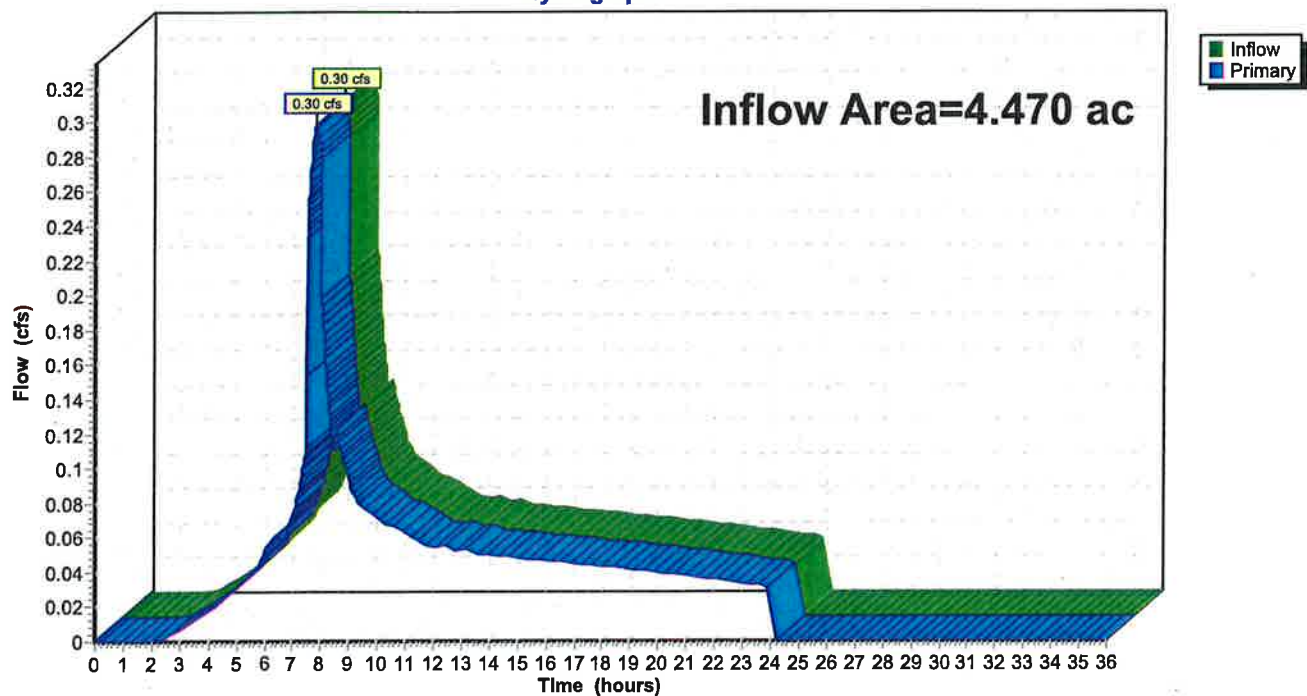
Page 60

Summary for Pond 5P: ODOT Right-of-Way

[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 4.470 ac, 53.78% Impervious, Inflow Depth = 0.26" for Water Quality event
 Inflow = 0.30 cfs @ 7.83 hrs, Volume= 0.096 af
 Primary = 0.30 cfs @ 7.83 hrs, Volume= 0.096 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-36.00 hrs, dt= 0.01 hrs

Pond 5P: ODOT Right-of-Way**Hydrograph**


9-21-2022 11:22 AM

F O R M S R E G I S T E R

PAC
Item #7.

PACKET: 00433 09/21/22 Business Lic Approval 09/21/2022 Bus Lic Approvals

SEQUENCE: License #

Signature: 

Date: 9-21-22

ID	PERIOD	-----NAME-----	LICENSE CODE	BALANCE
00020	6/10/22- 6/10/23	FATBEAM LLC	CONTMISC CONTRACTOR-MISC.	0.00
00038	7/29/22- 7/29/23	PACIFIC NW MARTIAL ARTS	MARTIALA MARTIAL ARTS	0.00
00121	1/01/22- 1/01/23	*NW ALL IN ONE CONSTRUCTION LL	CONTGEN CONTRACTOR-GENERAL	0.00
00509	2/03/22- 2/03/23	UNIVERSAL PROTECTION SERVICE	SECURITY SECURITY	0.00
00786	3/11/22- 3/11/23	CARDINAL SERVICES INC	EMPSVCS EMPLOYMENT SERVICES	0.00
00965	8/05/22- 8/05/23	VAUGHAN HART FOODS LLC	FOODCART FOOD TRUCK	0.00
00976	9/04/22- 9/04/23	ISON TRANSPORTATION INC	MARINA MARINA/REPAIR SVC	0.00
00981	9/16/22- 9/16/23	CARMICHAEL CATHLEEN	CONSULT CONSULTING	0.00
01073	3/17/22- 3/17/23	HAWK & WOLF COLUMBIA COURIERS	DELIVERY DELIVERY SERVICE	0.00
01117	7/20/22- 7/20/23	VAZQUEZ AUTO SERVICE	AUTO AUTO REPAIR	0.00
01126	8/19/22- 8/19/23	HERY'S TACOS	FOODCART FOOD TRUCK	0.00
01128	8/25/22- 8/25/23	*TAXNBOOKS INC	ACCOUNT ACCOUNTING	0.00
01132	8/30/22- 8/30/23	VECA ELECTRIC TECHNOLOGIES LLC	CONTELEC CONTRACTOR-ELECTRICA	0.00
01135	9/15/22- 3/15/23	ELLIS JOHN	CONSULT CONSULTING	0.00
01138	9/16/22- 9/16/23	ALL N ONE ASPHALT SWEEPING LLC	MISC MISCELLANEOUS	0.00

9-21-2022 11:22 AM

F O R M S R E G I S T E R

PAC Item #7.

PACKET: 00433 09/21/22 Business Lic Approval 09/21/2022 Bus Lic Approvals

SEQUENCE: License #

LICENSE CODE		TOTAL	BALANCE
<hr/>			
ACCOUNT	ACCOUNTING	1	0.00
AUTO	AUTO REPAIR	1	0.00
CONSULT	CONSULTING	2	0.00
CONTELEC	CONTRACTOR-ELECTRICA	1	0.00
CONTGEN	CONTRACTOR-GENERAL	1	0.00
CONTMISC	CONTRACTOR-MISC.	1	0.00
DELIVERY	DELIVERY SERVICE	1	0.00
EMPSVCS	EMPLOYMENT SERVICES	1	0.00
FOODCART	FOOD TRUCK	2	0.00
MARINA	MARINA/REPAIR SVC	1	0.00
MARTIALA	MARTIAL ARTS	1	0.00
MISC	MISCELLANEOUS	1	0.00
SECURITY	SECURITY	1	0.00
TOTAL ALL CODES:		15	0.00

PACKET: 00433 09/21/22 Business Lic Approval 09/21/2022 Bus Lic Approvals

SEQUENCE: License #

*** SELECTION CRITERIA ***

License Range:	thru ZZZZZZZZZZ
License Codes:	All
Balance:	9999999999R thru 9999999999
Fee Codes:	All
Fee Paid Status:	Paid and Unpaid
Origination Dates:	0/00/0000 thru 99/99/9999
Effective Dates:	0/00/0000 thru 99/99/9999
Expiration Dates:	0/00/0000 thru 99/99/9999
Renewal Dates:	0/00/0000 thru 99/99/9999
Payment Dates:	0/00/0000 thru 99/99/9999
Print Dates:	0/00/0000 thru 99/99/9999
License Status:	Active
Termination Code:	
Paid Status:	Paid
City Limits:	Inside and Outside
Printed:	No
Comment Code:	

** END OF REPORT **


10-13-2022 3:17 PM

F O R M S R E G I S T E R

PA Item #7.

PACKET: 00443 10/13/22 Business Lic Approval 10/13/22 Business Lic Approv

SEQUENCE: Contact

Signature: 

Date: 10-13-22

ID	PERIOD	-----NAME-----	LICENSE CODE	BALANCE
01133	9/14/22- 9/14/23	*FLAT RATE REALTY	REALEST REAL ESTATE	0.00
00074	9/17/22- 9/17/23	*NEOTERIC WOOD ART	ART ART	0.00
01134	9/15/22- 9/15/23	*SJ MAINTENANCE	HANDYMAN HANDYMAN	0.00
01139	9/19/23- 9/19/24	*ST HELENS SOAP WORKS	RETGIFTS RETAIL - GIFTS/CRAFT	0.00
01142	9/23/22- 9/23/23	ASURION APPLIANCE REPAIR LLC	REPAIR REPAIR - GENERAL	0.00
00033	7/09/22- 7/09/23	CBM SYSTEMS LLC	JANITOR JANITORIAL SERVICES	0.00
01144	9/26/22- 9/26/23	CHAMPAGNE TO SHOTS LLC	RESTAURA RESTAURANT	0.00
01146	9/27/22- 9/27/23	CURBIO, INC	CONTGEN CONTRACTOR-GENERAL	0.00
00843	3/13/22- 3/13/23	DS SERVICES OF AMERICA INC	DELIVERY DELIVERY SERVICE	0.00
01145	9/27/22- 9/27/23	JIMMY'S CONTRACTOR SERVICES	CONTROOF CONTRACTOR-ROOFING	0.00
01149	10/07/22-10/07/23	MILLER TERRY & KIMBERL	RENTRESI RENTAL - RESIDENTIAL	0.00
01143	9/23/22- 9/23/23	MOORE ECAVATION INC	CONTMISC CONTRACTOR-MISC.	0.00
00010	5/28/22- 5/28/23	PLUMBING CONCEPTS INC	CONTPLUM CONTRACTOR-PLUMBING	0.00
01140	9/20/22- 9/20/23	ST HELENS LIQUOR	ALCOHOLT ALCOHOL/TASTING	0.00
00954	7/13/22- 7/13/23	SWINE AND CHEESE	RETVARI RETAIL - VARIETY	0.00
00978	9/11/22- 9/11/23	THE KLONDIKE RESTAURANT LLC	RESTAURA RESTAURANT	0.00
00416	2/01/22- 2/01/23	THE POUR HOUSE	TAVERN TAVERN	0.00
01147	10/03/22-10/03/23	WESTSIDE LAUNDRY	LAUNDRY LAUNDROMAT/CLEANING	0.00
01148	10/03/22-10/03/23	WESTSIDE LAUNDRY	LAUNDRY LAUNDROMAT/CLEANING	0.00

LICENSE CODE	TOTAL	BALANCE
ALCOHOLT ALCOHOL/TASTING	1	0.00
ART ART	1	0.00
CONTGEN CONTRACTOR-GENERAL	1	0.00
CONTMISC CONTRACTOR-MISC.	1	0.00
CONTPUM CONTRACTOR-PLUMBING	1	0.00
CONTROOF CONTRACTOR-ROOFING	1	0.00
DELIVERY DELIVERY SERVICE	1	0.00
HANDYMAN HANDYMAN	1	0.00
JANITOR JANITORIAL SERVICES	1	0.00
LAUNDRY LAUNDROMAT/CLEANING	2	0.00
REALEST REAL ESTATE	1	0.00
RENTRESI RENTAL - RESIDENTIAL	1	0.00
REPAIR REPAIR - GENERAL	1	0.00
RESTAURA RESTAURANT	2	0.00
RETGIFTS RETAIL - GIFTS/CRAFT	1	0.00
RETVARI RETAIL - VARIETY	1	0.00
TAVERN TAVERN	1	0.00
TOTAL ALL CODES:	19	0.00

*** SELECTION CRITERIA ***

License Range: thru ZZZZZZZZZZ
License Codes: All
Balance: 9999999999R thru 9999999999
Fee Codes: All
Fee Paid Status: Paid and Unpaid
Origination Dates: 0/00/0000 thru 99/99/9999
Effective Dates: 0/00/0000 thru 99/99/9999
Expiration Dates: 0/00/0000 thru 99/99/9999
Renewal Dates: 0/00/0000 thru 99/99/9999
Payment Dates: 0/00/0000 thru 99/99/9999
Print Dates: 0/00/0000 thru 99/99/9999
License Status: Active
Termination Code:
Paid Status: Paid
City Limits: Inside and Outside
Printed: No
Comment Code:

** END OF REPORT **