



COUNCIL WORK SESSION

Wednesday, March 17, 2021 at 1:00 PM

COUNCIL MEMBERS:

Mayor Rick Scholl
Council President Doug Morten
Councilor Patrick Birkle
Councilor Stephen R. Topaz
Councilor Jessica Chilton

<https://zoom.us/j/92521798444?pwd=bFMyZzBGK04wVjVGNU9YaFhmVnljZz09>

Website | www.sthelensoregon.gov

Email | kathy@ci.st-helens.or.us

Phone | 503-397-6272

Fax | 503-397-4016

LOCATION & CONTACT:

AGENDA

CALL WORK SESSION TO ORDER

VISITOR COMMENTS - *Limited to five (5) minutes per speaker*

DISCUSSION TOPICS - *The Council will take a break around 3:00 p.m*

- [1.](#) Employee Length of Service Recognition
2. Presentation of Plaque to Greg Cohen, Outgoing Planning Commission Member
- [3.](#) Senior Center Semi-Annual Report - *Manager Kathy Innocenti*
- [4.](#) Public Works Department Semi-Annual Report - *Public Works Director Mouhamad Zaher*
- [5.](#) Review Proposed Bench Donation on River Street
- [6.](#) Review Concept Designs for Sand Island Campground Picnic Shelters and Cabins - *John/Jenny*
- [7.](#) Discussion regarding Covenant to Bind Property for N. 7th Street Affordable Housing Project
- *Jacob*
8. Strategic Action Plan Updates
9. City Administrator Report

OTHER BUSINESS

ADJOURN

EXECUTIVE SESSION

Following the conclusion of the Council Work Session, an Executive Session is scheduled to take place to discuss:

- *Real Property Transactions, under ORS 192.660(2)(e); and*
- *Consult with Counsel/Potential Litigation, under ORS 192.660(2)(h)*
- *Exempt Records/Confidential Memos, under ORS 192.660(2)(f).*

Representatives of the news media, staff and other persons as approved, shall be allowed to attend the Executive Session. All other members of the audience are asked to leave the Council Chambers.

FOR YOUR INFORMATION

Upcoming Dates to Remember:

- March 17, 1:00 p.m., Council Work Session, Via Zoom
- March 17, 6:30 p.m., Council Public Hearing, Via Zoom
- March 17, 6:45 p.m., Council Public Hearing, Via Zoom
- March 17, 7:00 p.m., Council Regular Session, Via Zoom

Future Public Hearing(s)/Forum(s):

- PH: April 7, 6:00 p.m., Development Code Amendments
- PF: April 21, 6:00 p.m., Central Waterfront Project Update

VIRTUAL MEETING DETAILS**Join Zoom Meeting:**

<https://zoom.us/j/92521798444?pwd=bFMyZzBGK04wVjVGNU9YaFhmVnljZz09>

Meeting ID: 925 2179 8444

Passcode: 122333

Dial by your location: 1 253 215 8782

The St. Helens City Council Chambers are handicapped accessible. If you wish to participate or attend the meeting and need special accommodation, please contact City Hall at 503-397-6272 in advance of the meeting.

Be a part of the vision...Get involved with your City...Volunteer for a City of St. Helens Board or Commission!

For more information or for an application, stop by City Hall or call 503-366-8217.



LENGTH OF SERVICE AWARD PROGRAM

To: Mayor and City Council
From: Kathy Payne, City Recorder
Date: March 17, 2021

I am happy to announce that we have two employees who have reached milestones in their employment with the City of St. Helens. The following individuals will receive a certificate and pin at the March 17 Council Work Session.

5 Years

Michele Karmartsang started working for the St. Helens Public Library on March 4, 2016 as a part-time Library Assistant, where she still serves the patrons of the Library.

Roger Stauffer began working for the City on March 14, 2016 as the City's Building Maintenance Utility Worker where he serves today. p

Congratulations, Michele and Roger, and thank you for your service!

Item #3.

St. Helens Senior Center, Inc.
Statement of Financial Income and Expense
 August 2020 through February 2021

	Senior Center	SNAPP	Thrift Store	TOTAL
Ordinary Income/Expense				
Income				
4000 · Contributed support				
4010 · Indiv/business contribution	557.17	55,088.16	0.00	55,645.33
4020 · Memorials	975.00	1,000.00	0.00	1,975.00
4060 · Crafts Ladies	221.00	0.00	0.00	221.00
4061 · Exercise Class	437.00	0.00	0.00	437.00
4071 · Tai Chi Classes	60.00	0.00	0.00	60.00
4090 · Pool	105.00	0.00	0.00	105.00
4140 · Agency (government) grants	0.00	34,425.50	0.00	34,425.50
Total 4000 · Contributed support	2,355.17	90,513.66	0.00	92,868.83
4600 · Ways and Means	0.00	2,567.00	0.00	2,567.00
5000 · Earned revenues				
5001 · Interest - Money Market	75.70	0.00	0.00	75.70
5003 · Interest - Dire Needs Fund	0.53	0.00	0.00	0.53
5005 · Interest - ETSY	0.00	0.00	1.53	1.53
5021 · Meal Reimbursement-USDA	0.00	86,885.50	0.00	86,885.50
5022 · Monthly Contract	0.00	1,200.00	0.00	1,200.00
5160 · HDM	0.00	21,147.00	0.00	21,147.00
5161 · Congregate Meals	0.00	896.00	0.00	896.00
5173 · Sales - Top Notch	0.00	0.00	110,259.17	110,259.17
5210 · Membership dues - individuals	650.00	0.00	0.00	650.00
5450 · Advertising revenues	975.00	0.00	0.00	975.00
Total 5000 · Earned revenues	1,701.23	110,128.50	110,260.70	222,090.43
5006 · Interest - Boost Plus Savings	460.58	0.00	0.00	460.58
5181 · Refunds	992.00	145.00	217.62	1,354.62
Total Income	5,508.98	203,354.16	110,478.32	319,341.46
Gross Profit	5,508.98	203,354.16	110,478.32	319,341.46
Expense				
7200 · Salaries & related expenses				
7220 · Salaries & wages - other	19,087.98	27,761.37	41,803.06	88,652.41
7225 · Stipend	350.00	885.00	0.00	1,235.00
7250 · Payroll taxes	8,007.60	8,454.89	11,346.70	27,809.19
7255 · Employee Benefits	2,520.00	291.66	0.00	2,811.66
Total 7200 · Salaries & related expenses	29,965.58	37,392.92	53,149.76	120,508.26

Item #3.

St. Helens Senior Center, Inc.
Statement of Financial Income and Expense
 August 2020 through February 2021

	Senior Center	SNAPP	Thrift Store	TOTAL
7500 · Other personnel expenses				
7521 · Bank Charges	0.09	0.00	0.00	0.09
7540 · Professional fees - other	578.37	25.00	0.00	603.37
7543 · Merchant Card Services	0.00	0.00	2,361.51	2,361.51
7545 · Etsy Seller Fees	0.00	0.00	27.38	27.38
Total 7500 · Other personnel expenses	578.46	25.00	2,388.89	2,992.35
8016 · Insurance-SAIF	794.25	791.49	791.49	2,377.23
8100 · Non-personnel expenses				
8110 · Supplies				
8111 · Supplies - Food	0.00	68,022.35	0.00	68,022.35
8112 · Supplies - Paper Products-SNAPP	0.00	6,624.75	0.00	6,624.75
8113 · Supplies - Janitorial	690.30	1,018.16	67.45	1,775.91
8114 · Supplies - Repairs/Maint	0.00	195.00	93.78	288.78
8115 · Supplies - Office	774.72	193.24	796.90	1,764.86
8116 · Supplies - Other	0.00	98.60	0.00	98.60
Total 8110 · Supplies	1,465.02	76,152.10	958.13	78,575.25
8140 · Postage, shipping, delivery	656.00	0.00	94.60	750.60
8150 · Vehicle Expense	0.00	0.00	122.00	122.00
8160 · Equip rental & maintenance	4,376.39	0.00	154.00	4,530.39
Total 8100 · Non-personnel expenses	6,497.41	76,152.10	1,328.73	83,978.24
8200 · Occupancy expenses				
8203 · Rent - Top Notch	0.00	0.00	57,288.00	57,288.00
8216 · Insurance-Liability, Fire, Etc	2,426.54	2,428.14	2,427.32	7,282.00
8217 · Security and Fire Alarm Systems	563.52	373.52	365.65	1,302.69
8220 · Utilities				
8221 · Electric	1,684.66	3,926.86	2,533.84	8,145.36
8222 · NW Natural Gas	469.27	1,092.53	439.73	2,001.53
8223 · Water/Sewer/Storm - Top Notch	0.00	0.00	1,340.83	1,340.83
8224 · Garbage Service	316.71	736.37	0.00	1,053.08
8225 · Telephone/Telecomm-Sr Center	301.78	204.81	310.74	817.33
8226 · Comcast Cable	1,240.21	1,240.19	1,364.42	3,844.82
Total 8220 · Utilities	4,012.63	7,200.76	5,989.56	17,202.95
Total 8200 · Occupancy expenses	7,002.69	10,002.42	66,070.53	83,075.64

St. Helens Senior Center, Inc.
Statement of Financial Income and Expense
 August 2020 through February 2021

	Senior Center	SNAPP	Thrift Store	TOTAL
8500 · Misc expenses				
8540 · Training and Promotion	0.00	0.00	1,276.00	1,276.00
8570 · Advertising expenses	0.00	245.00	231.75	476.75
Total 8500 · Misc expenses	0.00	245.00	1,507.75	1,752.75
Total Expense	44,838.39	124,608.93	125,237.15	294,684.47
Net Ordinary Income	-39,329.41	78,745.23	-14,758.83	24,656.99
Other Income/Expense				
Other Expense				
8502 · Fraudulent charge	0.00	0.00	217.62	217.62
Total Other Expense	0.00	0.00	217.62	217.62
Net Other Income	0.00	0.00	-217.62	-217.62
Net Income	-39,329.41	78,745.23	-14,976.45	24,439.37

PUBLIC WORKS DEPARTMENT

2021 SEMI-ANNUAL REPORT

MOUHAMAD ZAHER

City of St. Helens
FOUNDED 1850

PUBLIC WORKS MISSION STATEMENT



The City of St. Helens Public Works Department Strives To Provide A World Class Service To Our Citizens & Community.

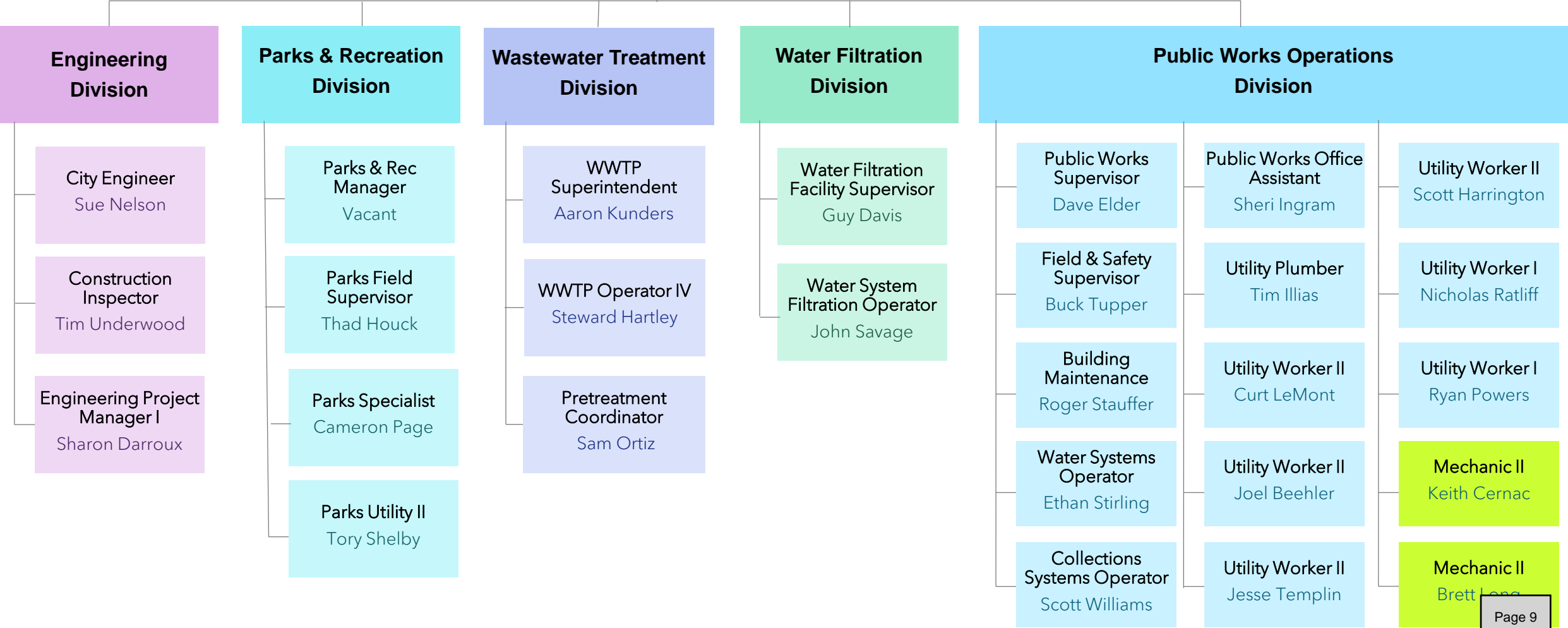


Action Oriented Team That Provides Essential Public Services Promptly, Efficiently & Effectively.

Public Works

Organization chart

Public Works Director
Mouhamad Zaher



WHAT WE DO?

OPERATIONS

- Daily Operational Activities.
- Maintaining Streets, Trees, Sewer Lines, Water Systems
- Permit Processing, Engineering Plans Review

EVENTS (Planned & Unplanned)

- Halloween Night Event.
- Recent Snowstorm Event.

PROJECTS (Internal & External)

- SCADA System Upgrade – Water Filtration Facility.
- Capital Improvement Projects. – McCormick Park New Playground Equipment.

PUBLIC WORKS: BY THE NUMBERS

Estimated 98 miles
of roadway to
maintain.

85 miles of water
mains

60 miles of sanitary
sewer

50 miles of storm
sewer, culverts, and
ditches

9 Sewer pump
stations

1,720 sewer
manholes, cleanouts,
and other sewer
structures

2,662 catch basins,
storm drain
manholes, and other
storm structures

7,376 fire hydrants,
water meters, and
water valves

STRATEGIC WORK PLAN



ADA CURB RAMP IMPROVEMENTS

Construction of **8** ADA-compliant curb ramps

Work will include:

- New concrete ADA ramps.
- Installation of truncated domes.
- Relocation of water services and storm drain laterals.
- Repair of asphalt pavement.





LIVABLE AND SAFE COMMUNITY COMPLETED PROJECTS

- **North Vernonia Road Sidewalk**
– Complete by March 31st.
- **Water Main Replacement on N 7th, 9th & 11th Streets** – Completed.
- **5th Street Trail Improvements**
– Grant funded project
- **Gable Road Improvements** – Joint project with Columbia County

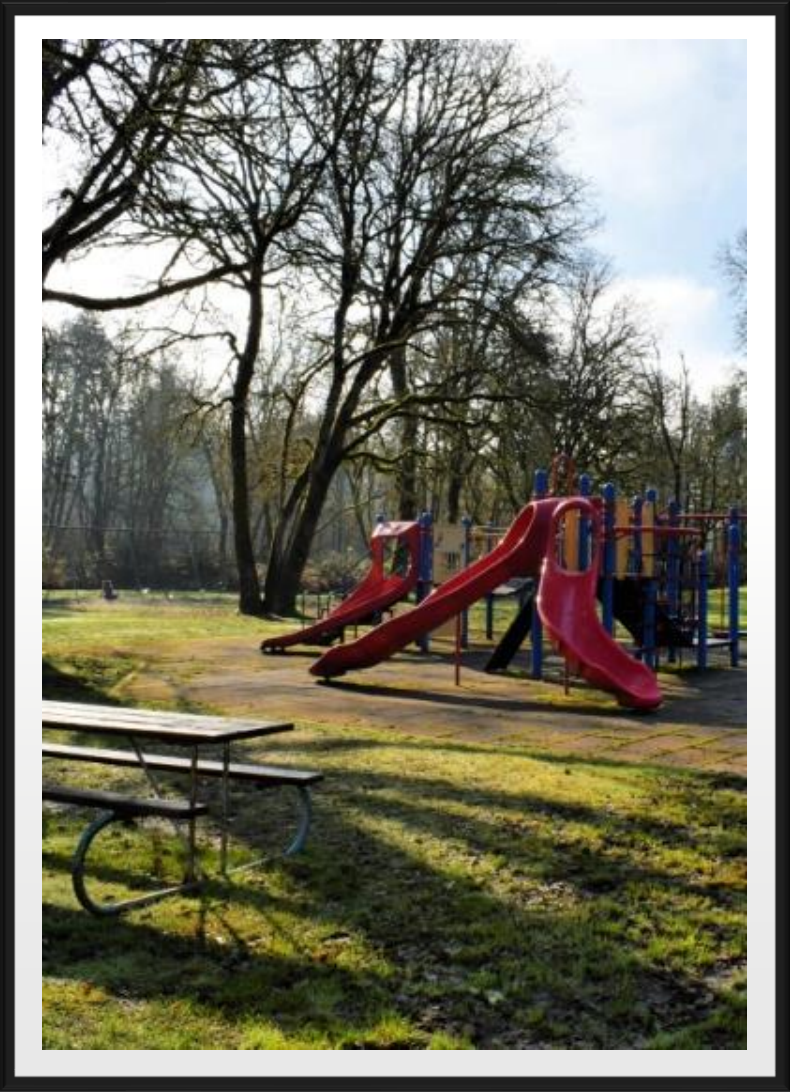
ECONOMIC DEVELOPMENT

- **DIGITIZED AERIAL IMAGING** – Project is in the development stage.
- **INDUSTRIAL PARK DEVELOPMENT PLAN** – Working with Planning and Administration, plan has been adopted by the Council
- **RIVERFRONT DISTRICT DEVELOPMENT PLAN** – Actively working on extensions of S. 1st Street and Strand Street through the Waterfront property and the Riverwalk project

PLAYGROUND PROJECT

- New playground equipment is planned to replace the existing play structure in McCormick Park.
- Old Equipment Have Been Removed from Site.
- Installation is scheduled for late March.
- **Start:** Sep 2020
- **End:** Aug 2021





BEFORE & AFTER

WASTEWATER TREATMENT PLANT

Pump Station #3 Upgrade – 110 S. 4th Ave

- **Scope:** Replace Hydro Ranger and Transducer and add second conduit.
- **Started:** Feb 2021.
- **Completion:** Aug 2021
- **Progress:**
 - Order Hydro Ranger & Transducer – Complete.
 - Call in for locates – Complete.
 - Public Works Dep to Cut Asphalt and Concrete.
 - Schedule Electrician – In Progress.

WATER FILTRATION PLANT

- **SCADA System Upgrade at Water Filtration**
- **Scope:** To replace outdated hardware, software, and ancillary equipment, including programming & training necessary to update the Supervisory Control & Data system.
- **Start:** Oct 2020.
- **End:** August 2021.
- **Progress:** 25% - Contractor selected, equipment on order.
- **Next Steps:** Installation of new hardware & software. Programming by Contractor, training of City staff on new software.

COUNCIL GOAL 5: LONG TERM PLANNING

- **Storm Water & Sanitary Sewer Master Plans**
 - Currently in progress
- **Water System Master Plan**
 - In development phase, currently advertising for a Consultant

STORMWATER AND SANITARY SEWER MASTER PLANS

Identify existing capacity issues and the infrastructure necessary to deliver storm sewer service to current and future customers within the City Limits and the Urban Growth Boundary (UGB).

- **Project Started Date:** 06/2020
- **Projected End Date:** Dec 2021
- **Current Status:** In progress 35% complete.
- **Project Phase:** Development.
- DEQ's requirement that the City develop a Mercury TMDL implementation plan



WATER SYSTEM MASTER PLAN



Identify Opportunities and Recommend Water Facility Improvements.

- **Project Start Date:** January 2021.
- **Projected End Date:** March 2022
- **Current Status:** In progress 6% complete.
- **Project Phase:** Design.
- Final draft of RFP was completed and advertised on March 10th.
- We've already received inquiries from interested consultants.

CAPITAL IMPROVEMENT PLAN



S. IST. STREET AND STRAND STREET EXTENSION PROJECT

- **Improvements** will provide multimodal connectivity for the community to the proposed Riverwalk project, historic downtown, existing trail connections.
- **Support** revitalization of the Columbia View Park area as a community gathering and event space.
- **Progress:** Signed Service Contract 03/04



PROJECT TIMELINE (MARCH 2021 – DECEMBER 2021)

Topographic Survey and Geotech Investigation - 8 weeks

Alignment Alternatives/Concept Development - 6.2 weeks

Preliminary Design (30%) 9 Weeks

Final Design (90%, Final) - 18 weeks

Permitting - 8 Weeks



THANK YOU

APPLICATION FOR PLACEMENT OF DONATED ITEMS ON PUBLIC PROPERTY

Filed by: Kathy Syrstad

Application No: _____

Organization: St. Helens Lions Club

Date Filed: Feb. 1, 2021

Address: 58350 Lindsay Ln.
Warren OR 97053

Phone: 503-347-0624

E-mail: syrstadk@gmail.com

Detailed Description of Donated Item (attach additional pages, drawings, diagrams and photos, as necessary)

4 ft. long TREK composite benches (2)
with back and arms.

Location (include reasons for location choice) 2 benches to go together at the corner of Wyeth St. and River St. Benches placed on Wyeth St. looking south over town/river or on River Street looking east over the river.

Placement (who, how, when) City. The bench legs will need to be attached to concrete with "L" brackets. The two benches should arrive by May 1. (Hopefully!)

Term (length of time you would like the donated item to remain in place)
As long as in usable condition.

Maintenance (required maintenance and who will be expected to perform)
City, however the benches should require little maintenance.

Signature Kathy Syrstad

Signing this document means that you have read and understand the City's policy concerning the placement of donated items on City property, and that you, and by extension everyone belonging to the organization on behalf of whom you are filing this application, accept the terms and conditions as set forth in the Policy section of this document.

APPLICATION FOR PLACEMENT OF DONATED ITEMS ON PUBLIC PROPERTY

Filed by: Kathy Syrstad Application No: _____

Organization: St. Helens Lions Club Date Filed: Feb. 1, 2021

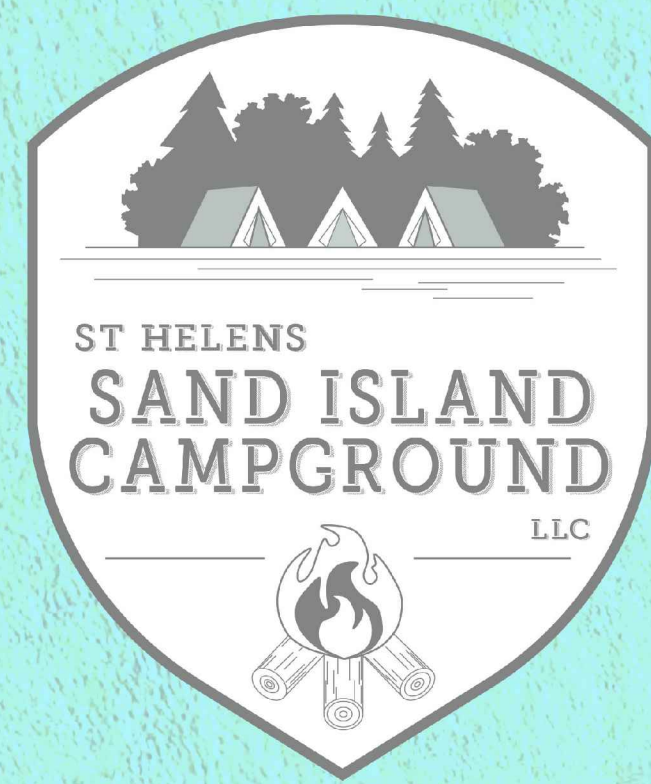
Arts & Cultural or Parks Commission Not applicable.			
	approve	approve w/ changes	decline
Concept:			
Location:			
Term:			
Maintenance:			

Council - Concept 3/17/21 Council Meeting			
	approve	approve w/ changes	decline
Concept:			
Location:			
Term:			
Maintenance:			

Public Works			
	approve	approve w/ changes	decline
Design:			
Location:			
Term:			
Maintenance:			

Community Development Not applicable.			
	approve	approve w/ changes	decline
Design:			
Location:			
Term:			
Maintenance:			





NOTES:

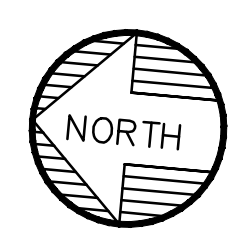
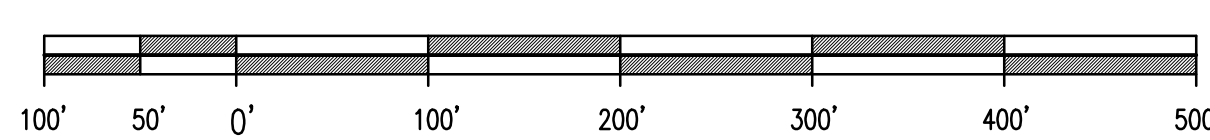
1. ALL STRUCTURES SHALL BE LOCATED ON CITY OF ST. HELENS PROPERTY AND OUTSIDE OF THE 100 YEAR FLOOD ZONE (ABOVE 26.3', NAVD 88). PROPERTY LINE AND ELEVATIONS SHALL BE STAKED FOR VERIFICATION PRIOR TO ANY CONSTRUCTION.
2. NO TREES GREATER THAN 6" DBH SHALL BE HARMED OR REMOVED AS PART OF THIS PROJECT.

MAP KEY

- Campsite
- Group Campsite
- Restrooms
- Camp Host
- Day Use Area
- Horseshoe Pits & Cornhole
- Volleyball Courts
- Firewood

SITE PLAN

SCALE: 1"=100'



DRAWING INDEX

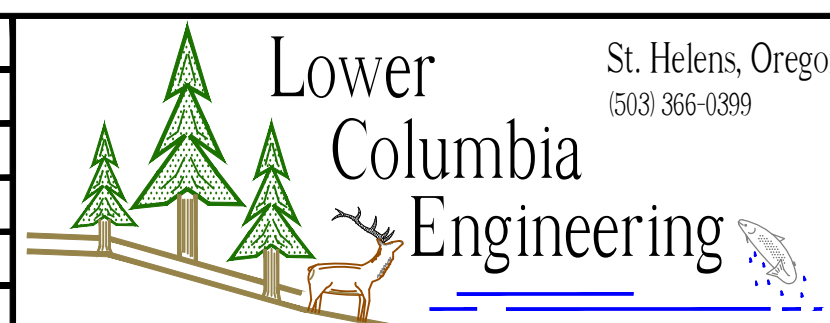
DRAWING NUMBER	DESCRIPTION
D-2710-C-1	SITE PLAN & DRAWING INDEX
D-2710-A-1	24'x36' PICNIC SHELTER ELEVATIONS & PLANS
D-2710-A-2	PICNIC SHELTER DETAILS
D-2710-A-3	25'x12' CABIN ELEVATIONS, PLANS & SECTIONS
D-2710-A-4	GENERAL NOTES

36' x 24' PICNIC SHELTER & 25' x 12' CABINS

DATE: 03/05/2021
REVISED PRINT
VOID ALL PREVIOUS

DATE: 11/16/2020
PRELIMINARY
NOT FOR CONSTRUCTION

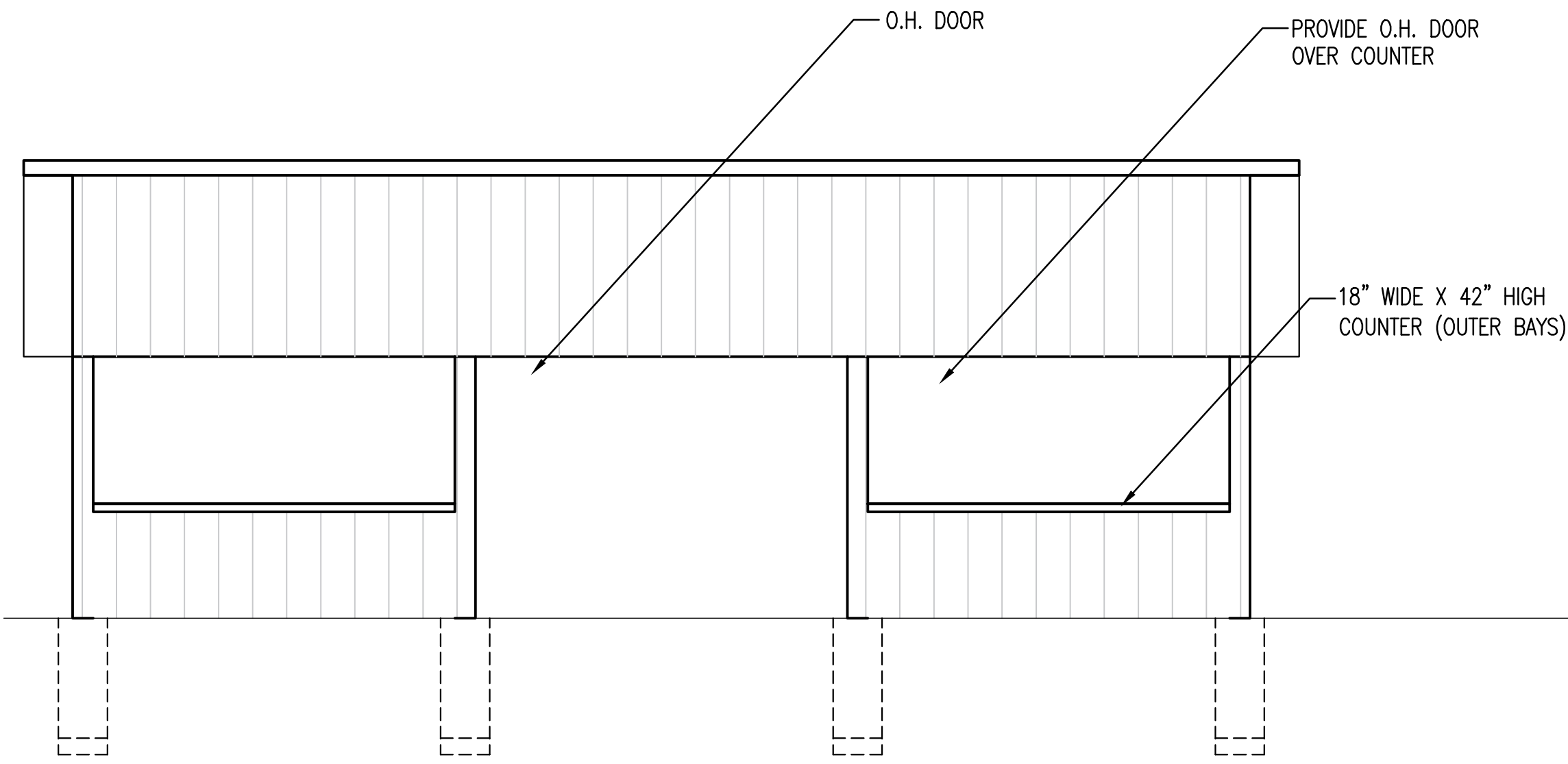
REV.	REVISION RECORD	DATE
A	GENERAL UPDATE	11/16/2020
B	PROPERTY LINE & ELEVATION UPDATES	03/02/2021
C	REVISED NOTE REQUIRING BFE/PL VERIFICATION	03/05/2021



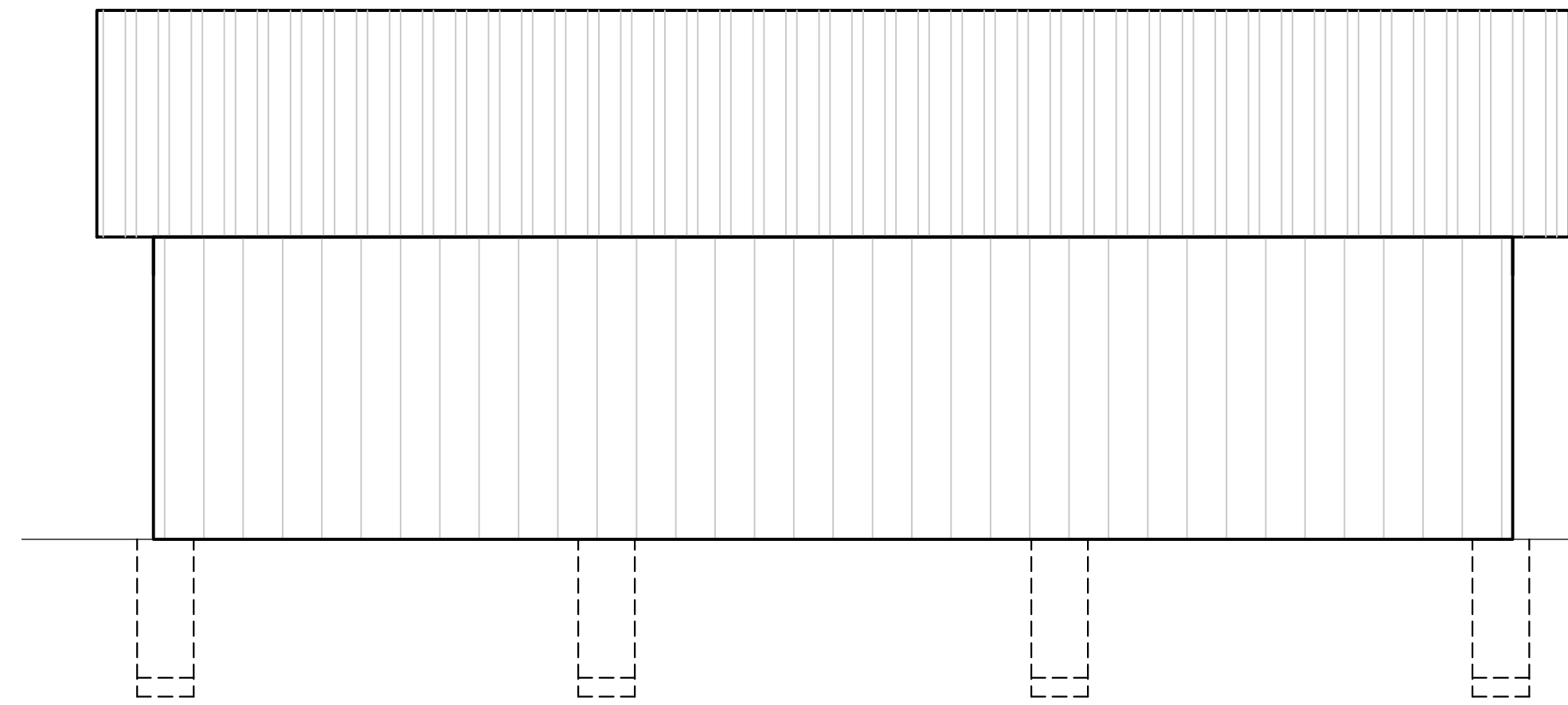
PROJ. NO.	2710	SITE PLAN & DRAWING INDEX
DWG. BY	CAT	SAND ISLAND PICNIC SHELTERS & CABINS
APPR. BY		SAND ISLAND CAMPGROUND, LLC
FILE	D-2710-C-1-C	DATE 09/09/2020

SHEET C-1

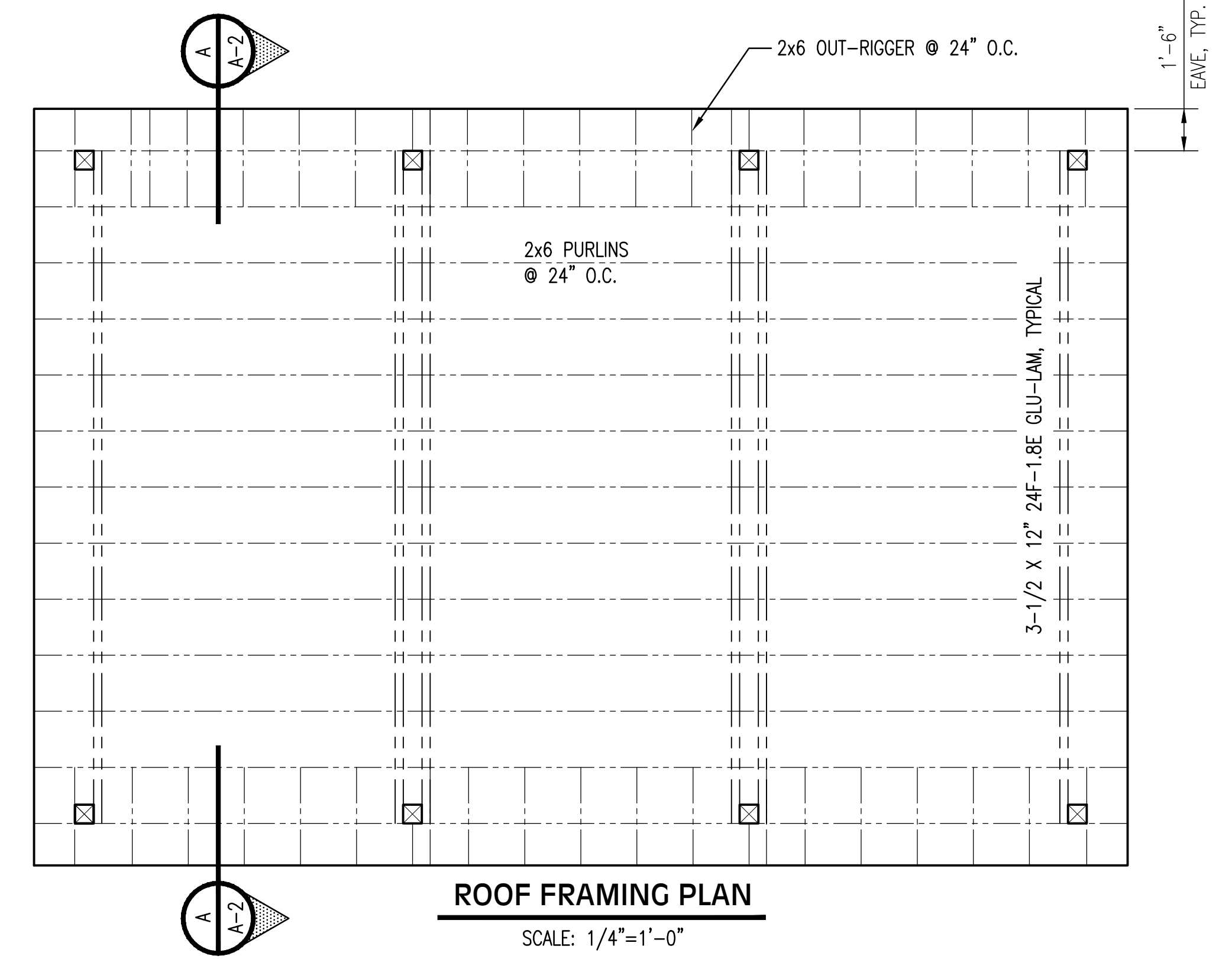
36' x 24' PICNIC SHELTER SAND ISLAND



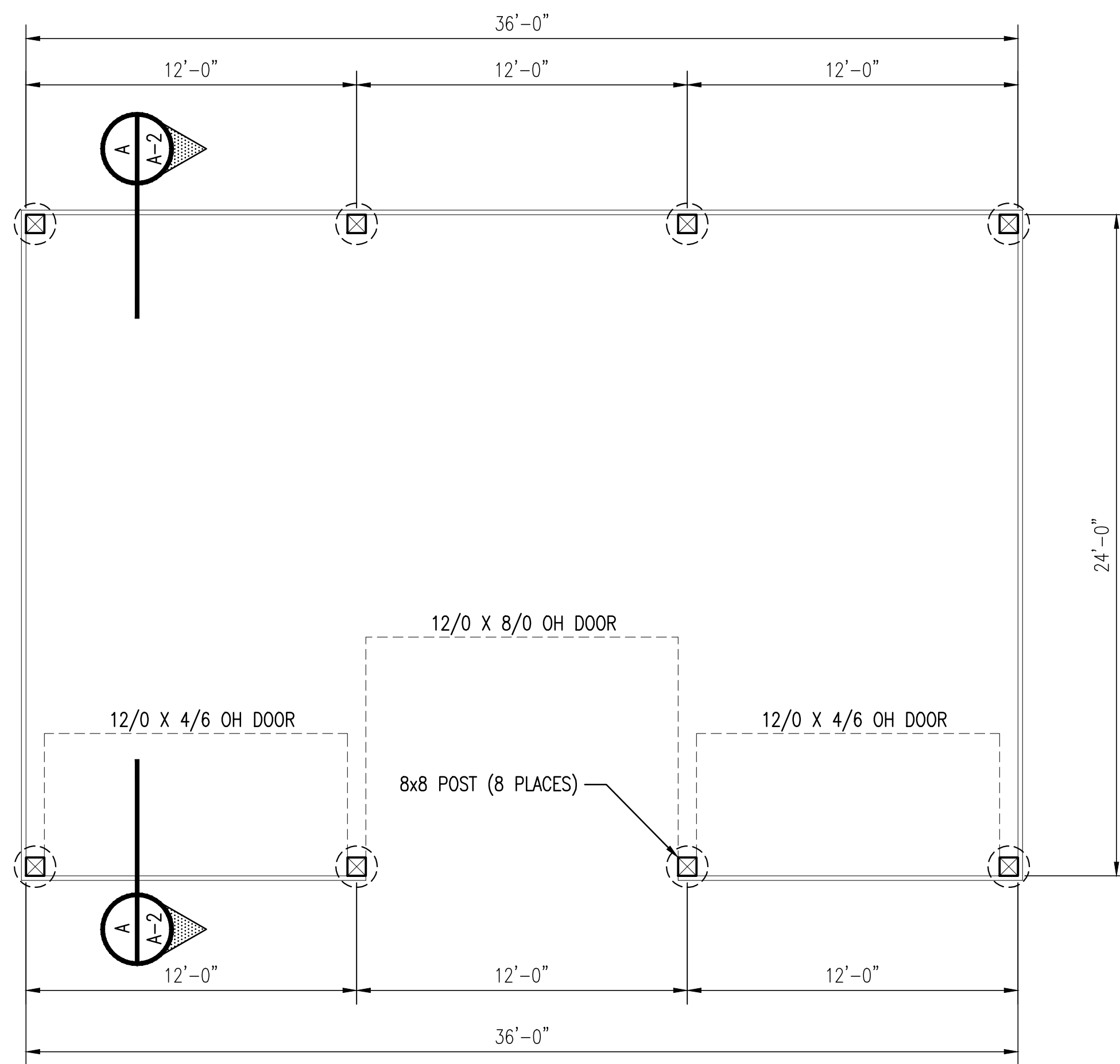
FRONT ELEVATION
SCALE: 1/4"=1'-0"



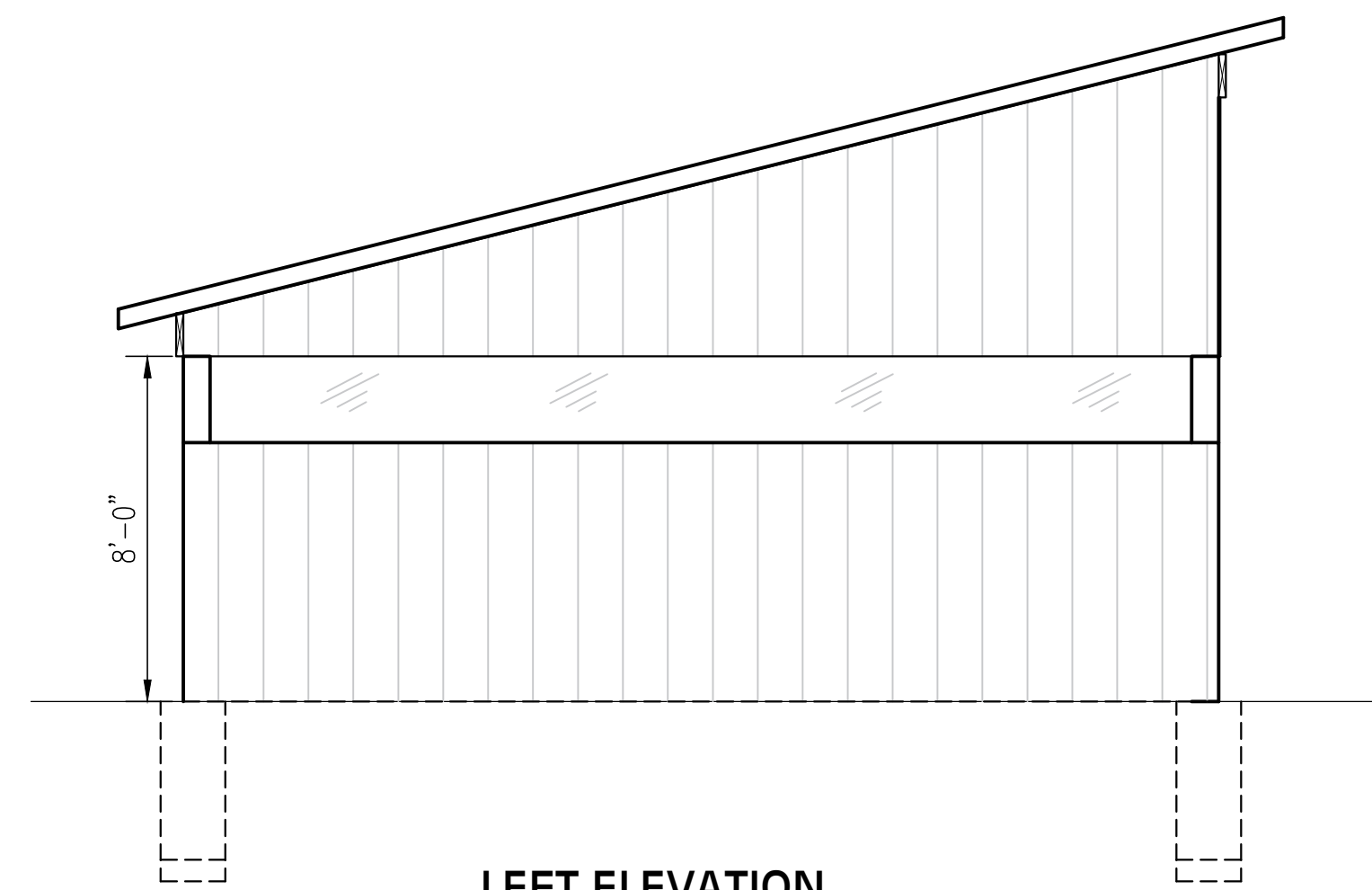
BACK ELEVATION
SCALE: 1/4"=1'-0"



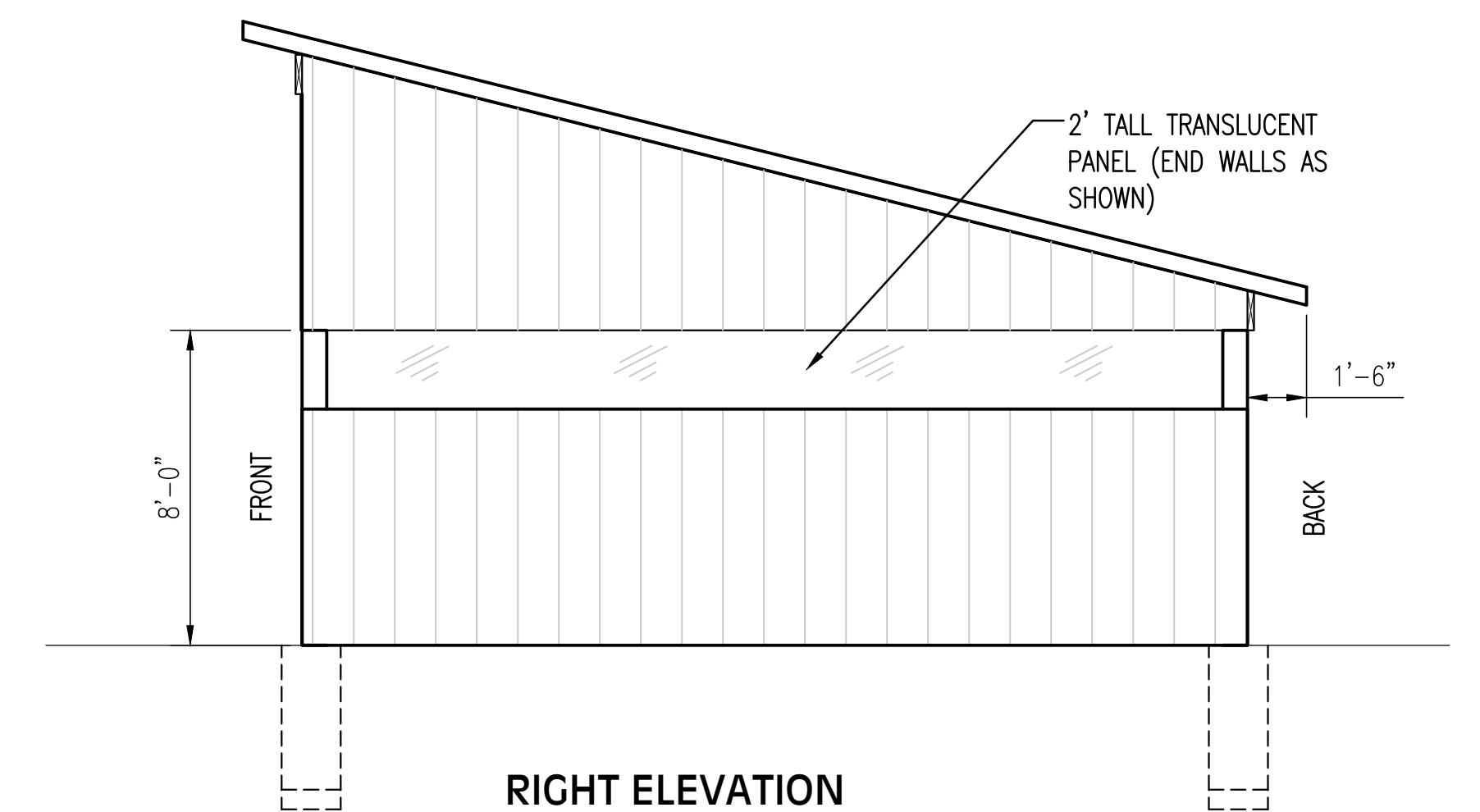
ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



POST SETTING PLAN
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

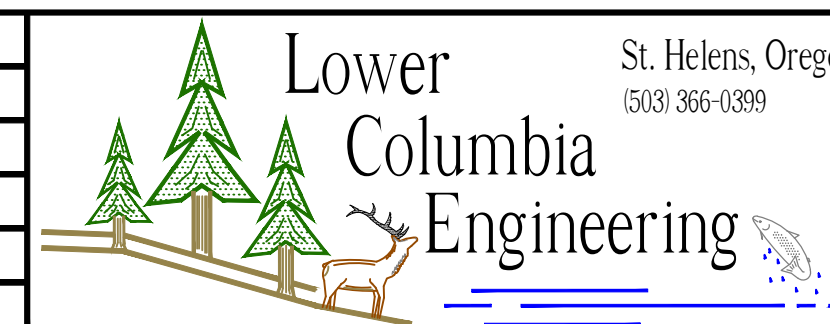


RIGHT ELEVATION
SCALE: 1/4"=1'-0"

DATE: 12/11/2020
REVISED PRINT
VOID ALL PREVIOUS

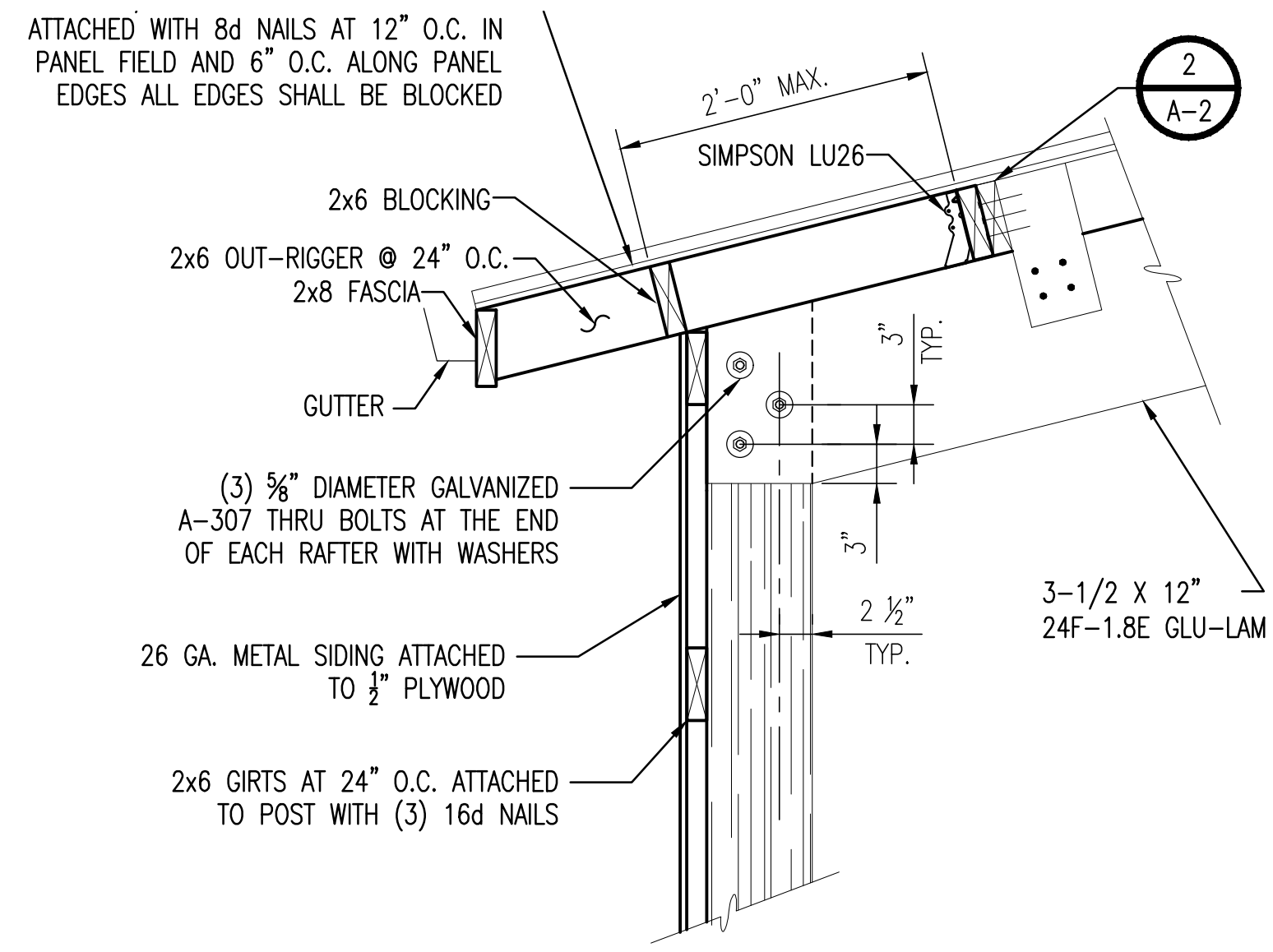
DATE: 11/16/2020
PRELIMINARY
NOT FOR CONSTRUCTION

REV.	REVISION RECORD	DATE
A	GENERAL UPDATES	12/9/2020

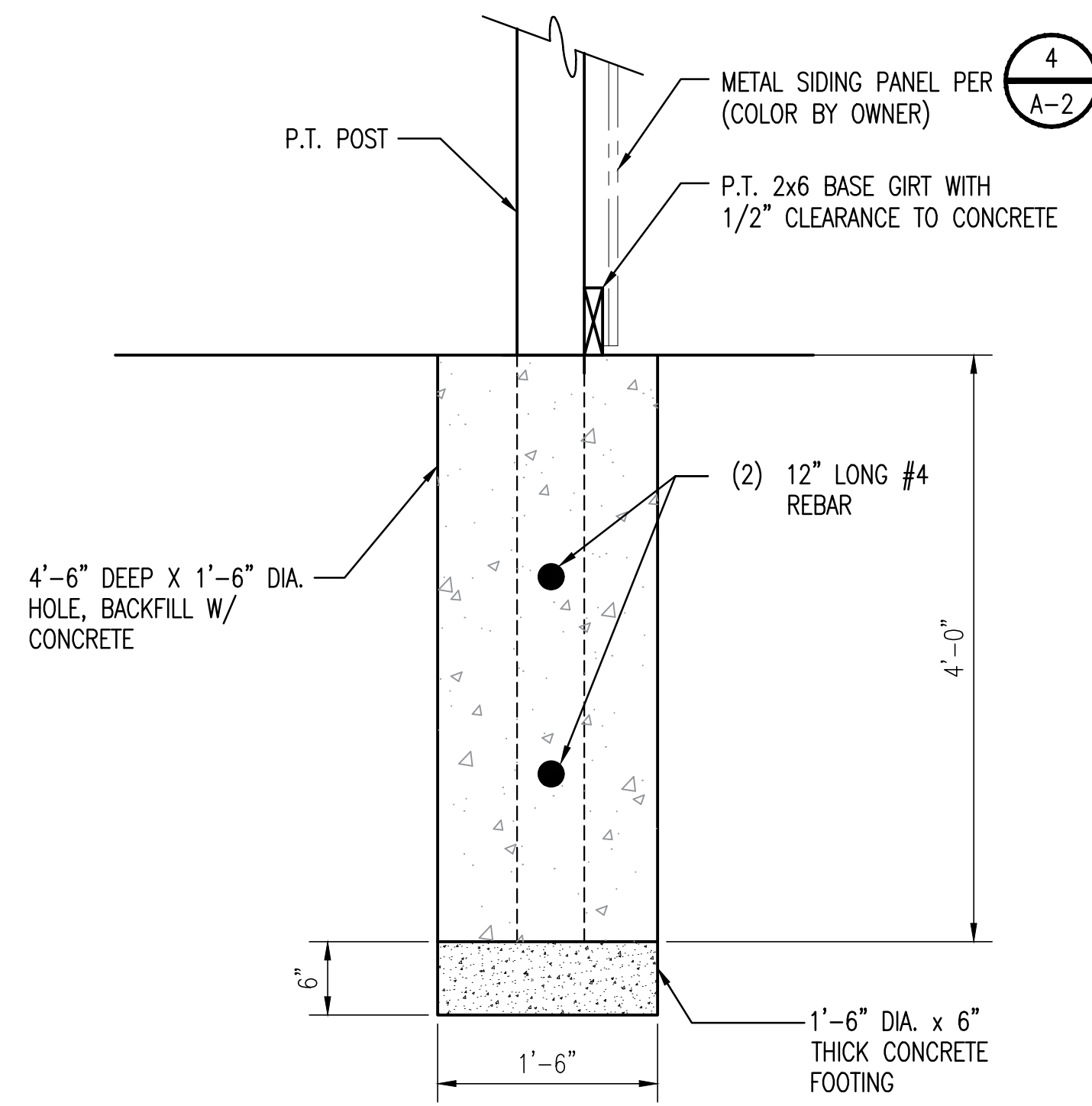


PROJ. NO.	2710	24'x36' PICNIC SHELTER ELEVATIONS & PLANS
DWG. BY	CTW	SAND ISLAND PICNIC SHELTERS & CABINS
APPR. BY		SAND ISLAND CAMPGROUND, LLC
FILE	D-2710-A-1-A	DATE 06/02/2020

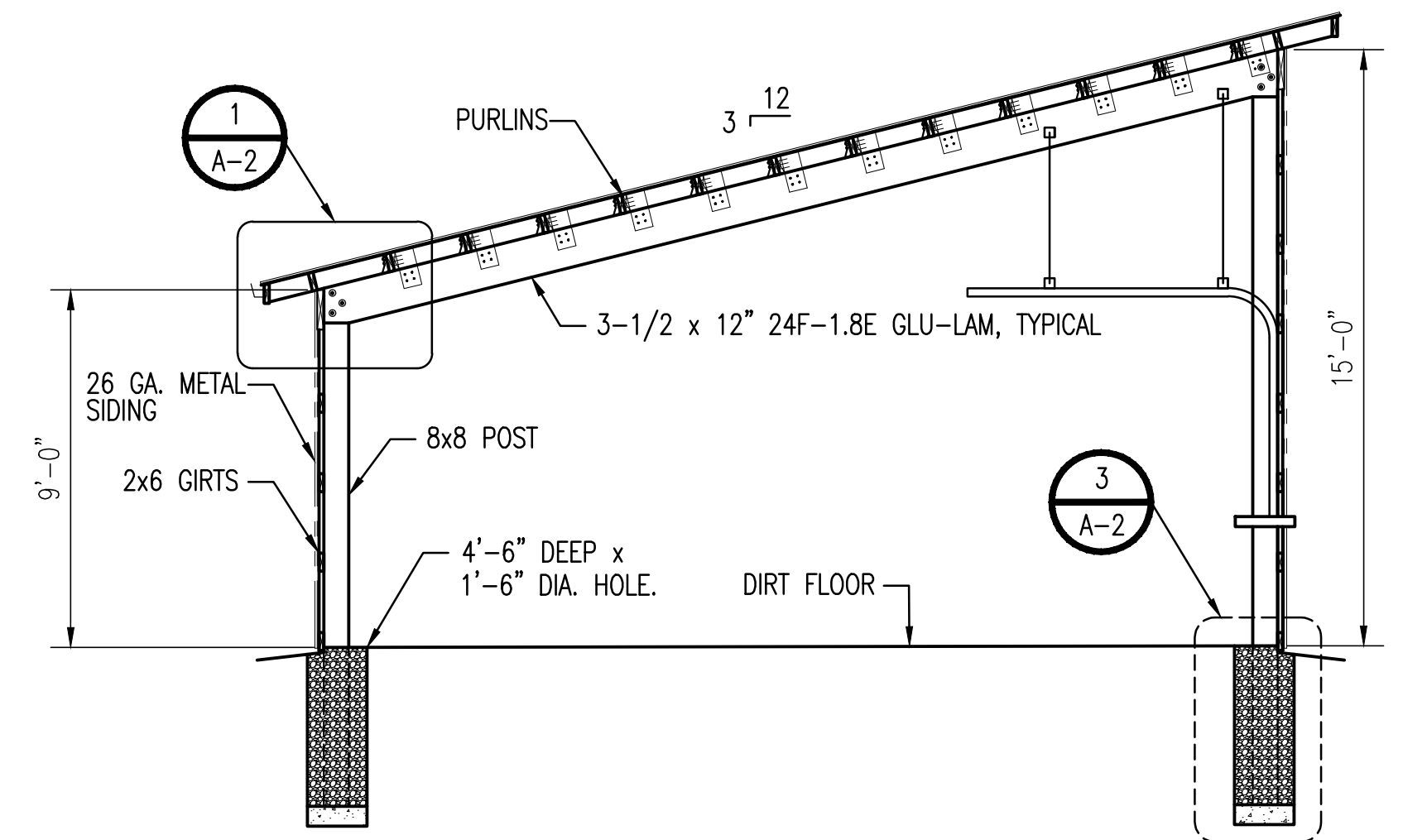
SHEET
A-1



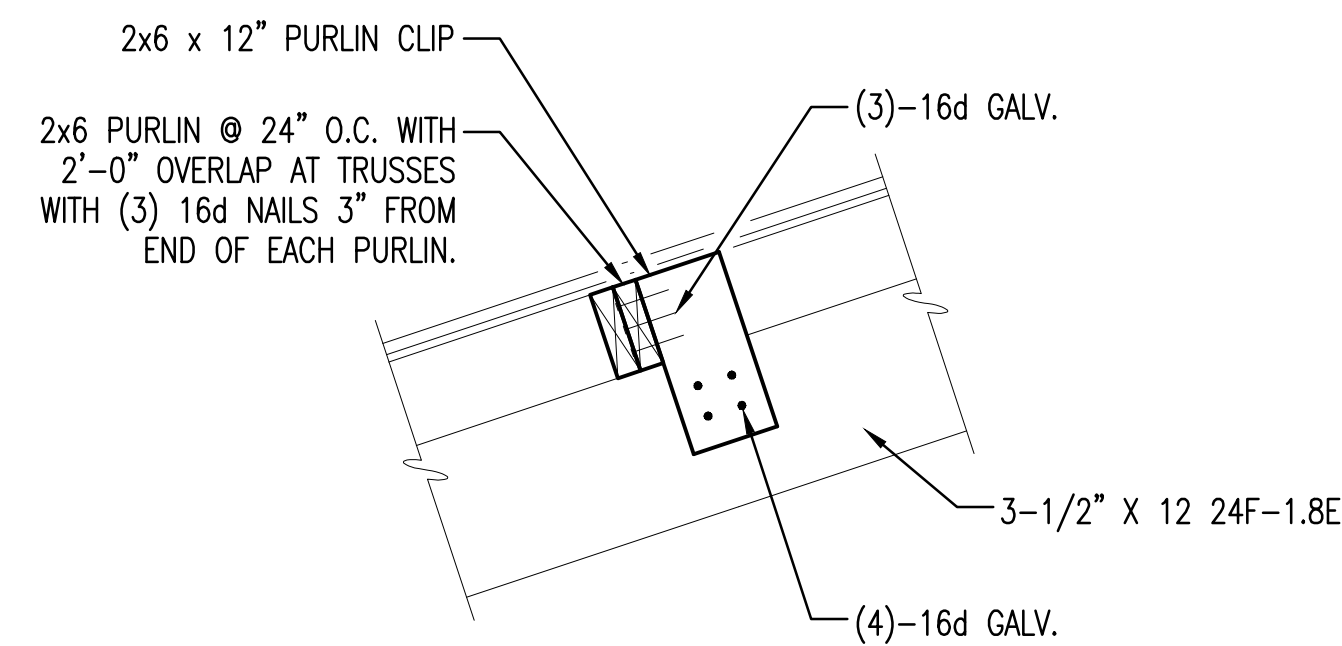
1 RAFTER CONNECTION DETAIL
SCALE: 1" = 1'-0"



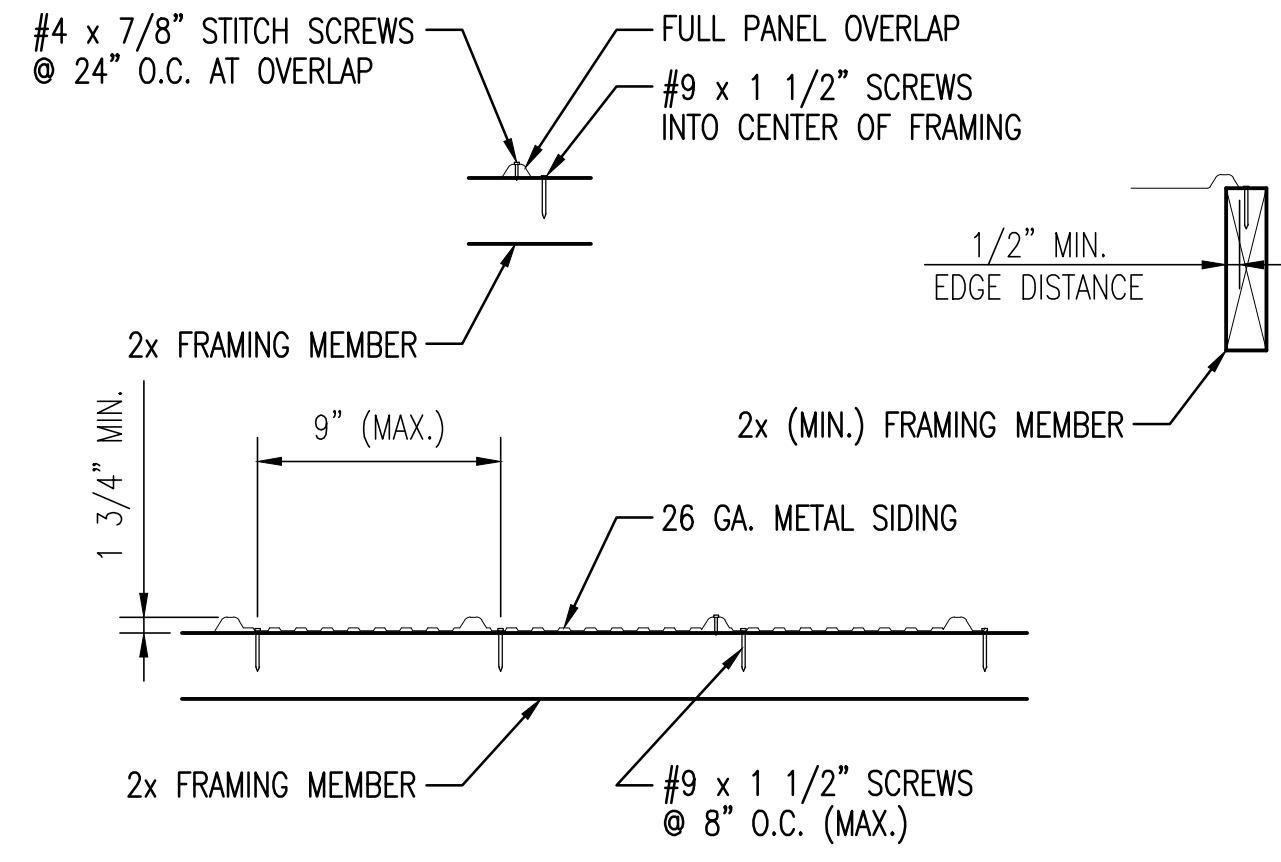
3 POST SETTING DETAIL
SCALE: 1"=1'-0"



A SECTION
SCALE: 1/4" = 1'-0"



2 TYPICAL PURLIN CLIP DETAIL
SCALE: 1"=1'-0"

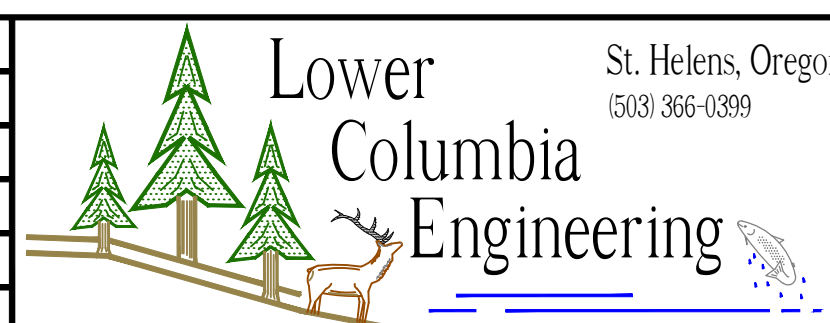


4 METAL SIDING & ROOFING ATTACHMENT DETAIL
SCALE: 3/4"=1'-0"

DATE: 12/11/2020
REVISED PRINT
VOID ALL PREVIOUS

DATE: 11/16/2020
PRELIMINARY
NOT FOR CONSTRUCTION

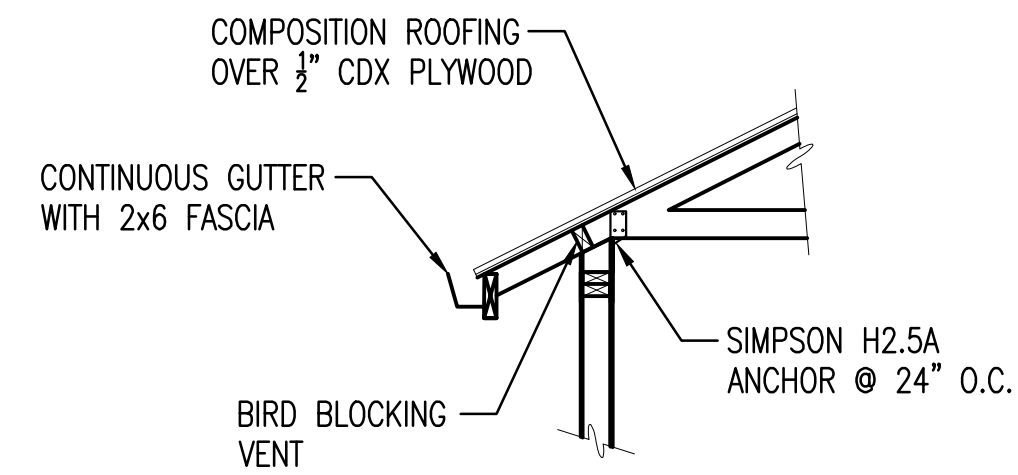
REV.	REVISION RECORD	DATE
A	ADDED SECTION AND GENERAL UPDATES	12/9/2020



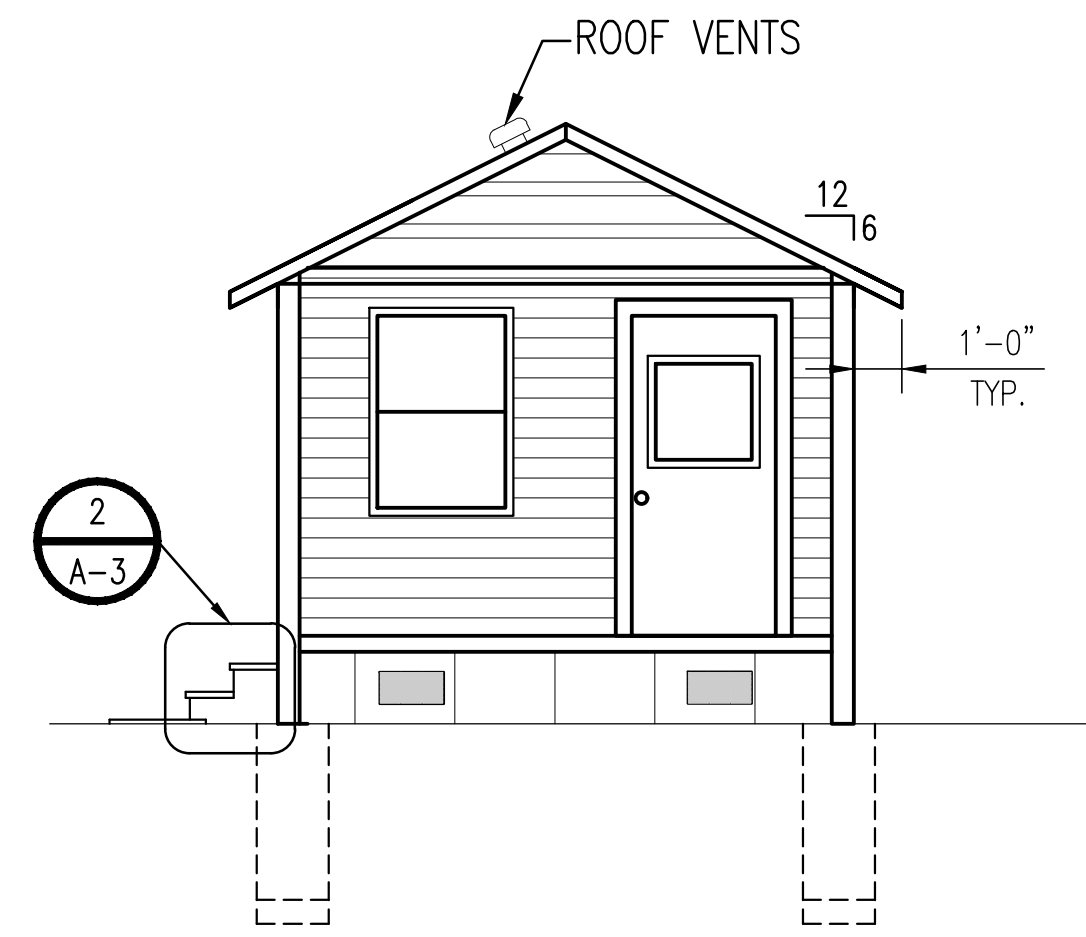
PROJ. NO.	2710	PICNIC SHELTER DETAILS
DWG. BY	CTW	SAND ISLAND PICNIC SHELTERS & CABINS
APPR. BY		SAND ISLAND CAMPGROUND, LLC
FILE	D-2710-A-2-A	DATE 06/11/2020

SHEET
A-2

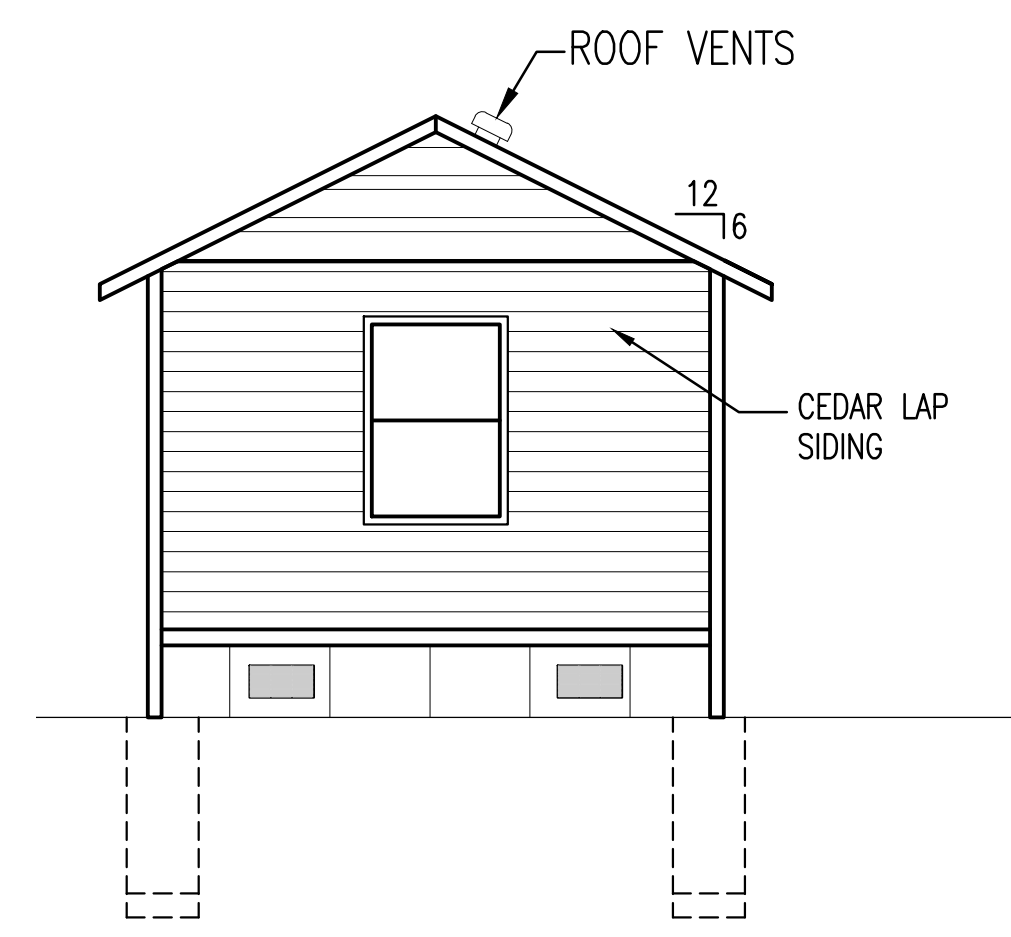
25' x 12' CABIN SAND ISLAND



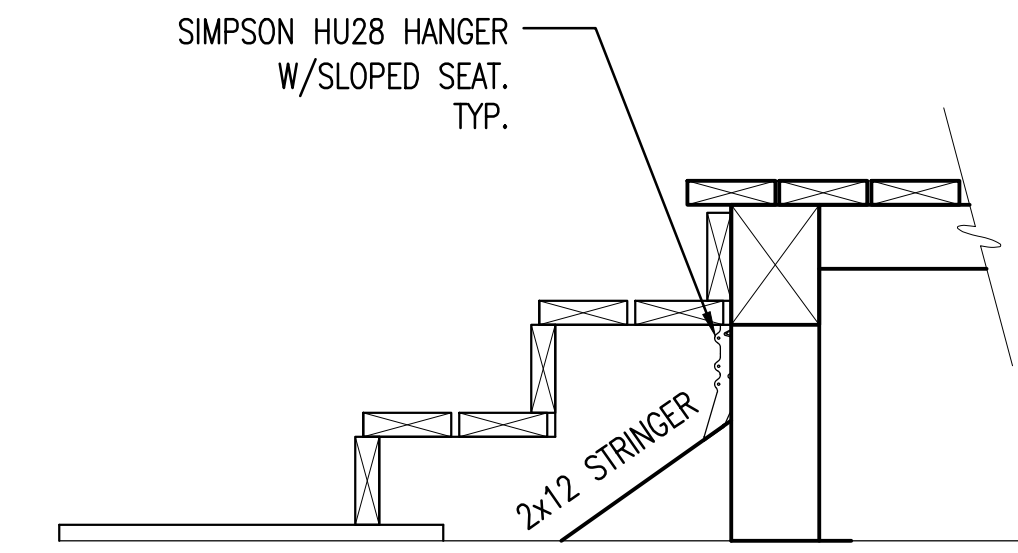
1
A-3
TYPICAL EAVE DETAIL
SCALE: 1/2" = 1'-0"



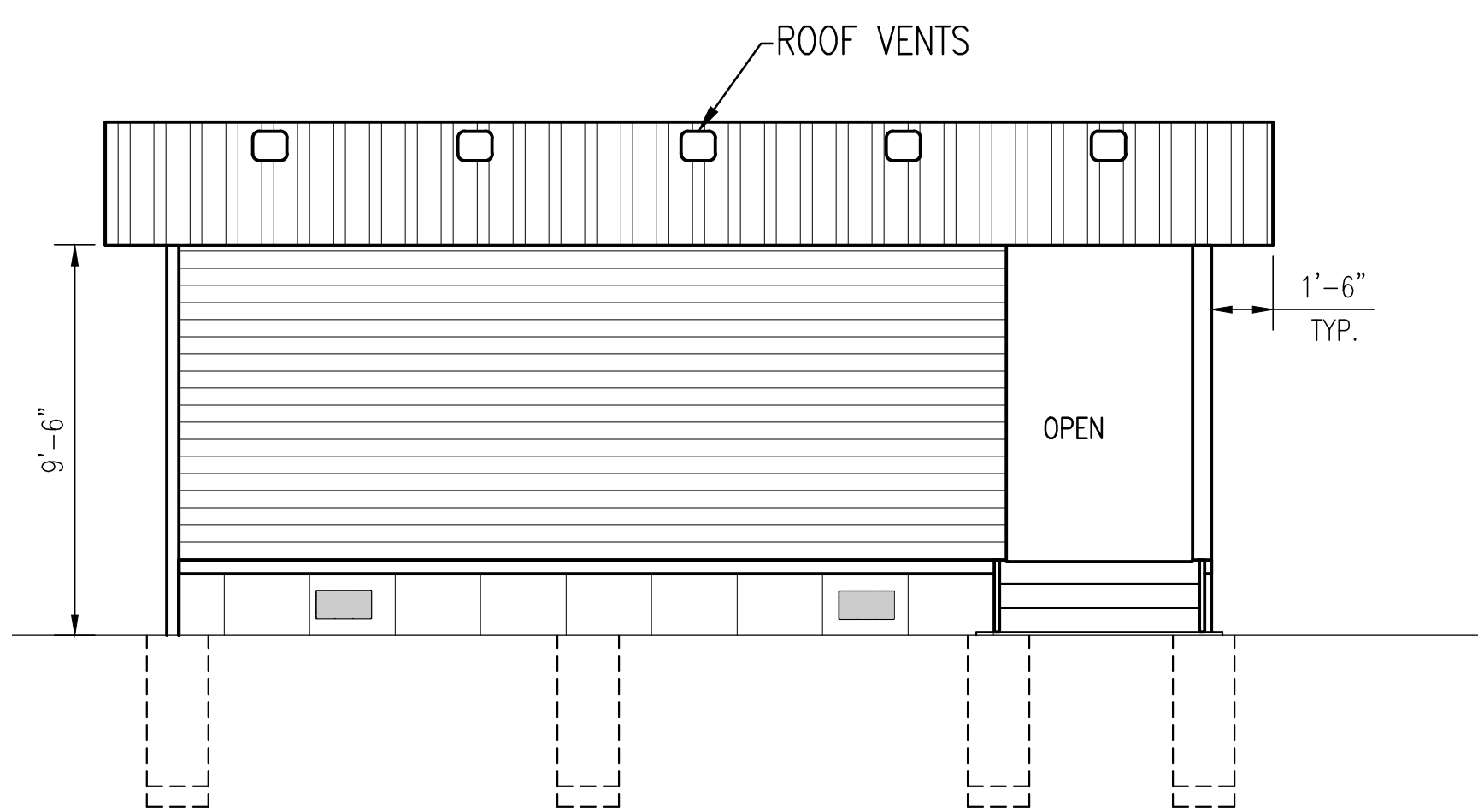
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



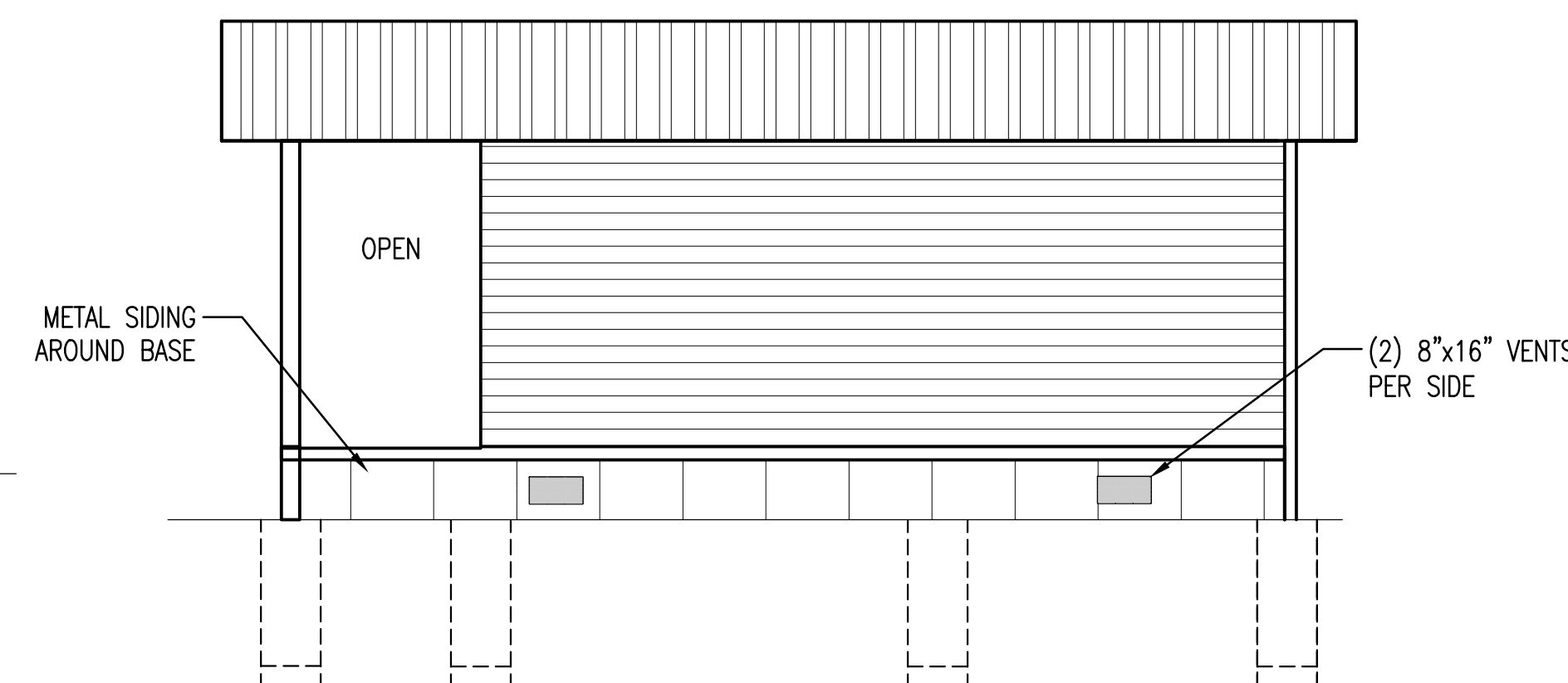
BACK ELEVATION
SCALE: 1/4" = 1'-0"



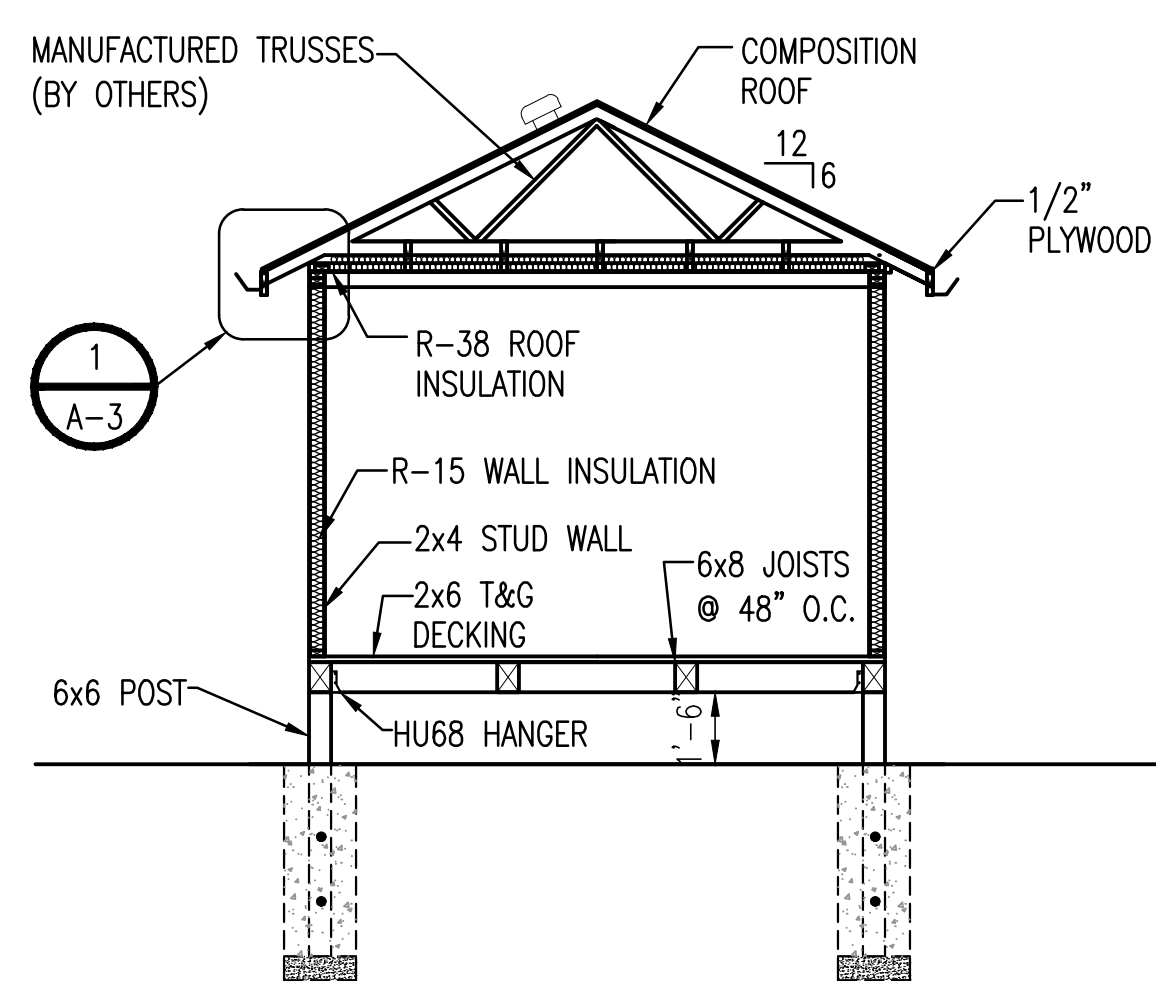
2
A-3
STAIR DETAIL
SCALE: 1" = 1'-0"



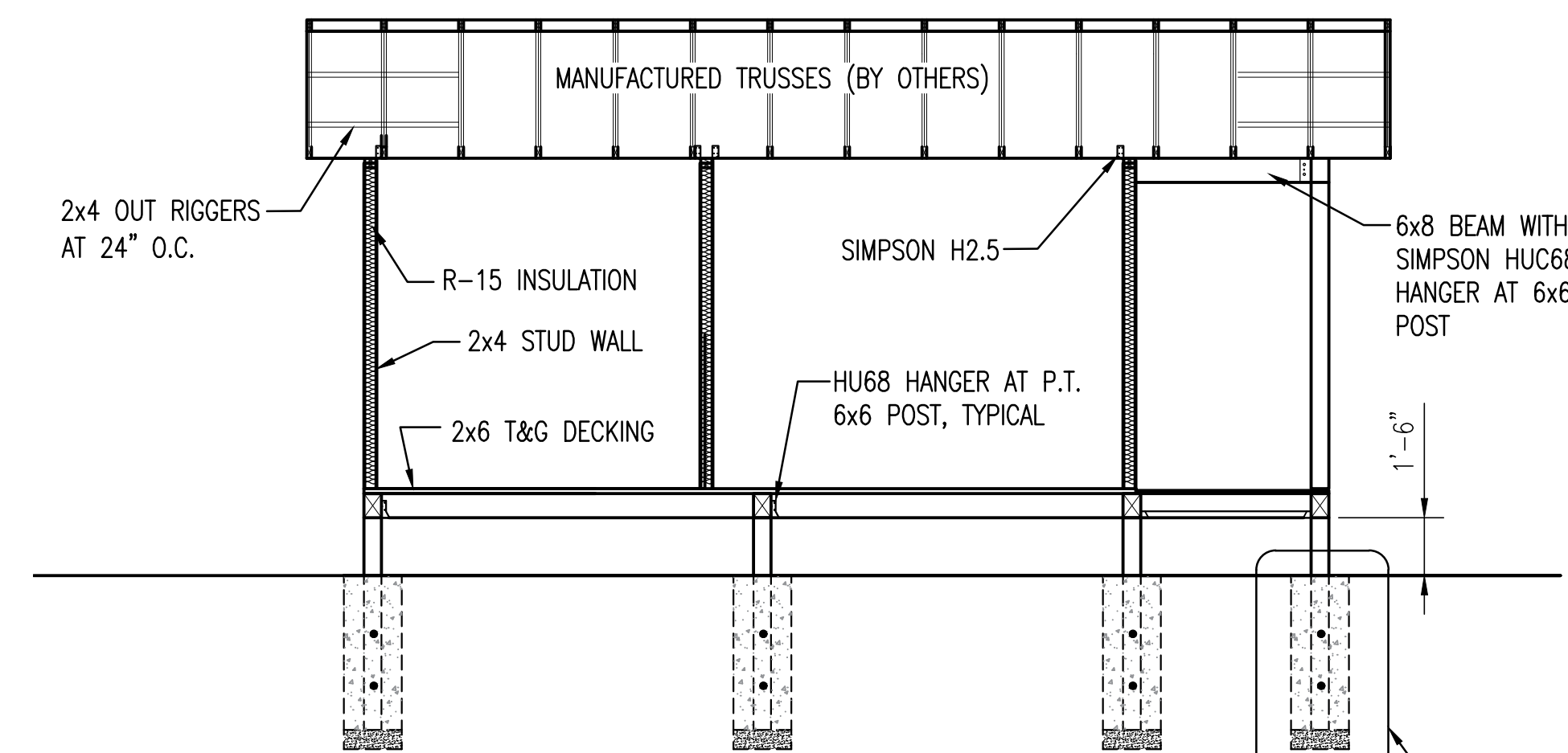
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



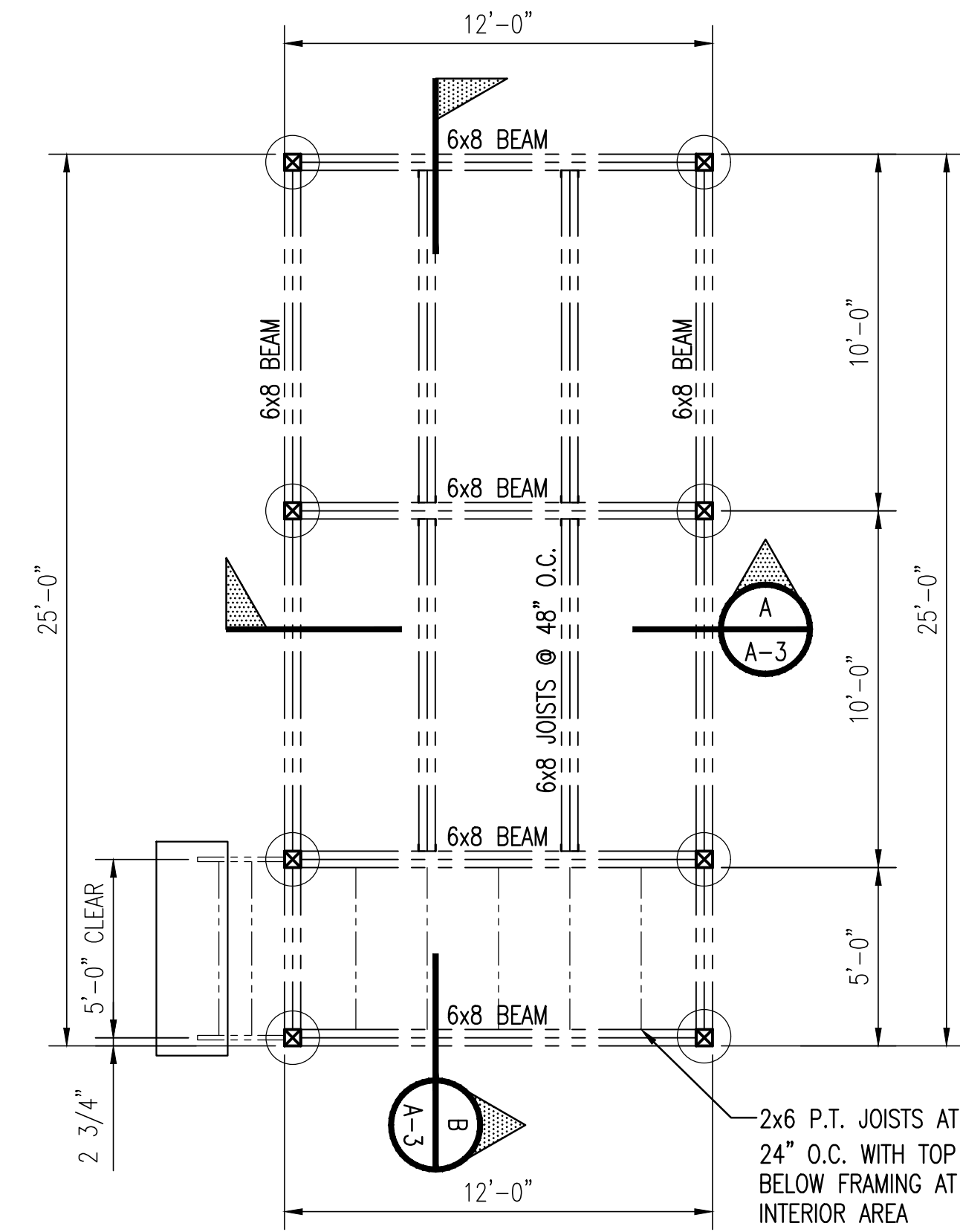
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



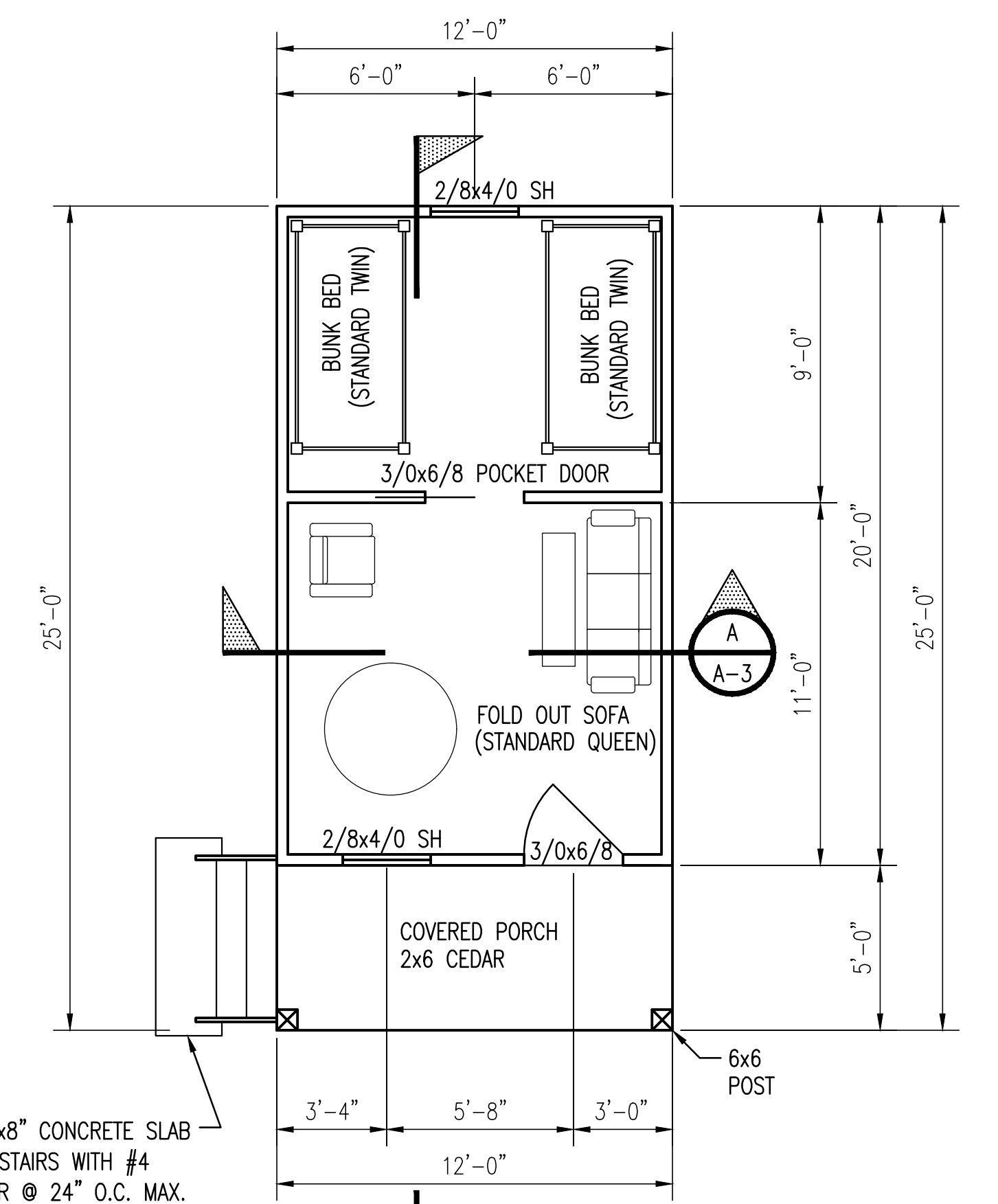
A
A-3
BUILDING SECTION
SCALE: 1/4" = 1'-0"



B
A-3
BUILDING SECTION
SCALE: 3/8" = 1'-0"



FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

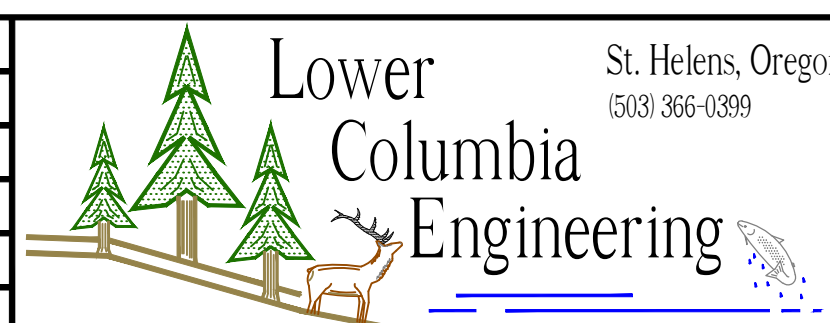


FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE: 12/11/2020
REVISED PRINT
VOID ALL PREVIOUS

DATE: 11/16/2020
PRELIMINARY
NOT FOR CONSTRUCTION

REV.	REVISION RECORD	DATE
A	GENERAL UPDATES	12/11/2020



PROJ. NO.	2710	25'x12' CABIN ELEVATIONS, PLANS & SECTION
DWG. BY	CTW	SAND ISLAND PICNIC SHELTERS & CABINS
APPR. BY		SAND ISLAND CAMPGROUND, LLC
FILE	D-2710-A-3-A	DATE 06/11/2020

SHEET
A-3

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST IRC (WITH APPROPRIATE AMENDMENTS) NDS AND ACI SPECIFICATIONS.
- ALL ROOF FRAMING AND ANCHORAGE IS BY OTHERS, UNLESS NOTED OTHERWISE.
- ANY NECESSARY SLOPE STABILITY ANALYSIS, VERIFICATION OF AN ALLOWABLE VERTICAL SOIL BEARING CAPACITY OF 1,500 PSF, VERIFICATION OF A MAXIMUM EQUIVALENT FLUID PRESSURE ON WALLS FROM SOIL OF 35 PSF/FT IS THE RESPONSIBILITY OF OTHERS.
- CONTACT ENGINEER WITH ANY UNCERTAINTIES PRIOR TO PROCEEDING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SUPPORT OF STRUCTURES AND EMBANKMENTS.
- IF APPLICABLE, SUBMIT TRUSS DESIGN TO ENGINEER PRIOR TO FABRICATIONS WITH LOCATIONS AND REACTIONS OF GIRDER TRUSSES TO PROVIDE APPROVAL FOR ADDITIONAL LOADING FROM ROOF FRAMING. VERIFY ALL TRUSS SPANS AND CONFIGURATIONS ON JOB SITE PRIOR TO FABRICATION.
- ANY BEDROOMS SHALL HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20" AND A MINIMUM OPENING HEIGHT OF 22" AND A SILL HEIGHT OF NO MORE THAN 44" ABOVE FINISHED FLOOR.
- WINDOWS WITHIN 18" OF FINISHED FLOOR, ANY GLAZING IN DOORS OR WITHIN 24" OF ANY DOOR AND TUB ARE TO BE TEMPERED.
- ANY TUBS AND SHOWER DOORS ARE TO BE GLAZED WITH SAFETY GLAZING.
- CRAWL SPACE SHALL BE VENTILATED WITH 1 SQ. FT. OF NET FREE AREA PER 150 SQ. FT. OF UNDER FLOOR SPACE. PROVIDE VENTS WITHIN 3'-0" OF ALL CORNERS. COVER ALL VENTS WITH 1/4" MAX. MESH. ENTIRE CRAWL SPACE SHALL BE COVERED WITH 6 MIL. CONTINUOUS PLASTIC VAPOR BARRIER AND BE SLOPED TO A LOW POINT DRAIN THAT DISCHARGES TO APPROVED STORM SEWER. PER ORSC, SECTION R408.
- DO NOT SCALE DRAWINGS.
- ALL SITE DESIGN ISSUES ARE THE RESPONSIBILITY OF OTHERS.

EXCAVATION & FOUNDATION NOTES

- CONCRETE DESIGN IS BASED ON A COMPRESSIVE STRENGTH OF 2,500 PSI. HOWEVER, ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AFTER 28 DAYS, ALL REINFORCING STEEL SHALL BE A-615 GRADE 60.
- ALL REINFORCING SHALL BE SPLICED AND/OR BENT TO FULLY DEVELOP THE CAPACITY OF THE BAR (44 BAR DIAMETERS MINIMUM).
- ALL FOUNDATIONS SHALL BE CARRIED DOWN TO THE ELEVATIONS SHOWN OR TO SUITABLE UNDISTURBED, FULLY CONSOLIDATED SOIL, FREE OF ORGANIC MATERIAL, WHICHEVER IS LOWER.
- ANY FILL MATERIAL UNDER FOUNDATIONS SHALL BE 3/4" MINUS CRUSHED ROCK, PLACED IN LAYERS NOT EXCEEDING 8" IN DEPTH AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
- ALL BACKFILL SHALL BE EVENLY PLACED IN LAYERS NOT EXCEEDING 8" IN DEPTH AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY. REMOVE ANY STANDING WATER PRIOR TO BACKFILLING. BACKFILL SHALL NOT BE PLACED AGAINST WALL UNTIL SUFFICIENT STRENGTH AND SUPPORT HAS BEEN ACHIEVED.
- VERIFY THAT ALL APPROPRIATE UTILITIES HAVE BEEN INSTALLED PRIOR TO EACH PHASE OF WORK.
- ALL CONCRETE MIX POURED IN A NON-CONTROLLED ENVIRONMENT SHALL CONTAIN 3% AIR ENTRAINMENT PER ASTM C260. ALL WALKING SURFACES SHALL RECEIVE A SLIP RESISTANT SURFACE.
- INSTALL SUITABLE CONSTRUCTION JOINTS IN ALL SLABS AT 15'-0" MAXIMUM, ALL DIRECTIONS.
- INSTALL (2) #4 CONT. REBAR IN FOUNDATION WALL AND (2) #4 CONT. REBAR IN FOUNDATION BASE MINIMUM, 3" TYPICAL FROM ALL EDGES. INSTALL 5/8" DIAMETER ANCHOR BOLTS AT 4'-0" O.C. WITH (2) MIN. PER PLATE AND 6" FROM PLATE ENDS. BOLTS SHALL HAVE AN EMBEDMENT DEPTH OF 10" AND A 2" HOOK. CONTACT ENGINEER FOR ANY WALLS OVER 4'-0" IN HEIGHT.
- PERMANENT FILLS AND CUTS SHALL NOT SLOPE MORE THAN 2 UNITS HORIZONTAL TO 1 UNIT VERTICAL.
- CONTRACTOR IS RESPONSIBLE FOR ALL SITE DRAINAGE ISSUES. ALL FINISHED GRADES SHALL SLOPE AWAY FROM ALL BUILDINGS WITH APPROPRIATE COLLECTION SYSTEM.

MASONRY NOTES

- ALL HOLLOW CONCRETE MASONRY UNITS SHALL BE "GRADE-A" 1350 PSI, 2-CELL UNITS CONFORMING TO ALL APPLICABLE STANDARDS LISTED IN CHAPTER 21 OF THE UNIFORM BUILDING CODE.
- GROUT FOR ALL REINFORCED MASONRY WALLS SHALL BE 3/8" AGGREGATE CONCRETE WITH A 28 DAY STRENGTH OF 5,000 PSI WITH INTRUSION ADD MIXTURE EXPANDER APPLIED PER MANUFACTURERS SPECIFICATIONS. SLUMP SHALL BE 7-8 INCHES.
- ALL MORTAR SHALL BE UBC "TYPE-S" 1,800 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH THE FOLLOWING PROPORTIONS: 1 PART CEMENT, 1/2 PART LIME, 4 PARTS SAND, 1/5 PART MAXIMUM POZZILAN AS REQUIRED.
- ALL REINFORCING SHALL BE SPLICED AND/OR BENT TO FULLY DEVELOP THE CAPACITY OF THE BAR (44 BAR DIAMETERS MINIMUM).
- INSTALL ALL ITEMS PER MANUFACTURERS SPECIFICATIONS AND PROPERLY SEAL ALL UNITS.

FRAMING NOTES

- ALL EXTERIOR WALLS AND ROOF SHALL BE SHEATHED WITH 15/32" APA RATED PANELS WITH ALL EDGES BLOCKED AND NAILED AT 6" O.C. AT PANEL EDGES & 12" O.C. IN FIELD. FLOOR SHALL BE COVERED WITH 23/32" APA RATED T & G PANELS, GLUE ALL JOINTS AND ATTACH WITH 10d NAILS. NAILS SHALL BE SPACED AT 6" O.C. MAXIMUM AT ALL PANEL EDGES AND 12" O.C. ELSEWHERE. SEE "SHEAR WALL NAILING SCHEDULE" FOR NAILING REQUIREMENTS AT SHEAR PANELS. ALL WALL PLATES SHALL LAP 6'-0" MINIMUM WITH (2) 16d NAILS @ 6" O.C. MAXIMUM.
- FOR GENERAL NAILING REQUIREMENTS, SEE SCHEDULE TO RIGHT.
- ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED PER NDS SPECIFICATIONS AND IN ACCORDANCE WITH ALL LOCAL CODES AND LAWS.
- INSTALL GUARDRAILS A MINIMUM OF 36" HIGH SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH IN ALL AREAS WITH A 24" OR GREATER VERTICAL DROP. ALL RAILS SHALL BE CONSTRUCTED TO RESIST A 50 POUND PER FOOT LOAD. INTERMEDIATE AREAS SHALL RESIST A 50 PSF UNIFORM FORCE OR A 200# CONCENTRATED.
- ALL FRAMING MATERIALS SHALL BE DOUGLAS FIR #2 OR BETTER UNLESS NOTED OTHERWISE. ALL FRAMING SHALL BE LEVEL, PLUMB, AND TIGHT. ANY TWISTED OR WARPED STUDS SHALL BE REPLACED PRIOR TO FRAMING FINAL.
- ALL BEAMS SHALL HAVE A MINIMUM BEARING WIDTH OF 3" WITH POSITIVE CONNECTION TO COLUMNS, ALL COLUMNS SHALL HAVE POSITIVE CONNECTION TO FOUNDATION OR COLUMN BELOW. COLUMNS SHALL BE AS SPECIFIED OR TRIPLE STUDS MINIMUM GANG NAILED WITH (2) 16d NAILS AT 12" O.C.
- ALL FRAMING COMPONENTS SHALL BE SUFFICIENTLY DRY PRIOR TO COVERING TO PREVENT GROWTH OF MOLD. VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL ATTIC AREAS SHALL BE VENTILATED WITH A NET FREE VENT AREA TO FLOOR AREA RATIO OF 1:150. THIS RATIO MAY BE REDUCED TO 1:300 IF 50-80% OF THE VENT AREA IS IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3'-0" ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. PROVIDE 1" MINIMUM AIR GAP.
- ALL INTERIOR GYPSUM WALL BOARD SHALL BE ATTACHED WITH NO. 11 GA. 1 3/4" LONG DIAMOND POINT GALVANIZED NAILS WITH 7/16" HEAD OR 16 GA. x 1 3/4" LONG GALVANIZED STAPLES @ 4" O.C.

ELECTRICAL NOTES

- ALL WORK SHALL BE DONE PER LOCALLY ADOPTED ELECTRICAL CODE AND COMMONLY ACCEPTED STANDARDS.
- RECEPTACLE OUTLETS ARE REQUIRED IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUN ROOM, BEDROOM, OR SIMILAR ROOM OR AREA OF DWELLING.
- RECEPTACLES SHALL BE INSTALLED WITH NO MORE THAN 6'-0" MEASURED HORIZONTALLY FROM OUTLETS IN THAT SPACE, INCLUDING ANY WALL SPACE THAT IS TWO FEET OR MORE IN WIDTH.
- AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, DETACHED GARAGES AND AT EXTERIOR SIDE OF EGRESS DOORS.
- STAIRWAY LIGHTING, WHERE THE DIFFERENCE BETWEEN FLOOR LEVELS REQUIRES SIX OR MORE STAIR RISERS, SHALL BE CONTROLLED BY A WALL LIGHT SWITCH AT EACH FLOOR LEVEL.
- SMOKE DETECTORS TO BE POWERED BY 110V CURRENT, CONNECTED TO HOUSE ELECTRICAL SYSTEM AND EQUIPPED WITH HUSH BUTTONS. INTERCONNECT ALL DETECTORS SO IF ONE TRIPS THEY WILL ALL SOUND. THEY SHALL ALSO HAVE A BATTERY BACKUP AND BE LOCATED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING ROOM AND ON EACH FLOOR LEVEL, INCLUDING THE BASEMENT. SMOKE ALARMS SHALL MEET THE REQUIREMENTS OF O.R.S.C. R314. CARBON MONOXIDE DETECTORS SHALL MEET O.R.S.C. R315.
- OTHER REQUIREMENTS:
KITCHENS: RECEPTACLE OUTLETS, WITH GFI PROTECTIONS, SHALL BE INSTALLED EVERY 24" ALONG ALL COUNTER SPACES THAT MEASURE 12" OR WIDER AND NOT MORE THAN 18" ABOVE COUNTERTOP.
BATHROOMS: RECEPTACLE OUTLET TO BE ON AT LEAST ONE WALL, WITH GFI PROTECTION, ADJACENT TO EACH BASIN LOCATION.
HALLWAYS: AT LEAST ONE RECEPTACLE TO BE PLACED IN HALLWAYS 10 FEET IN LENGTH OR MORE.
WET LOCATIONS: RECEPTACLES INSTALLED IN WET LOCATIONS SHALL BE IN A WEATHER PROOF ENCLOSURE.
OUTDOORS: AT LEAST ONE RECEPTACLE OUTLET, WITH GFI PROTECTION, SHALL BE INSTALLED OUTDOORS AT THE FRONT AND BACK OF EACH DWELLING UNIT HAVING DIRECT ACCESS TO GRADE WITH WEATHER TIGHT ENCLOSURE.
HVAC OUTLET: A CONVENIENCE RECEPTACLE OUTLET SHALL BE INSTALLED FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT LOCATED IN ATTICS AND CRAWL SPACES.
ISLAND COUNTERS: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND WITH A LONG DIMENSION OF 24" OR GREATER AND SHORT DIMENSION OF 12" OR GREATER.
GARAGE: INSTALL ONE OUTLET ON EACH GARAGE WALL A MINIMUM OF 18" ABOVE SLAB.

GENERAL NAILING SCHEDULE (OR REFER TO ATTACHED IBC TABLE 2304.9.1) ANY NAILING SPECIFICATIONS ON PLANS TAKES PRECEDENCE OVER THIS SCHEDULE

CONNECTION	NAILING ¹
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8d
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d
3. 1" X 6" (25mm x 152mm) SUBFLOOR LESS TO EACH JOIST, FACE NAIL	2-8d
4. WIDER THAN 1" X 6" (25mm x 152mm) SUBFLOOR TO EACH JOIST, FACE NAIL	3-8d
5. 2" (51mm) SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST OR BLOCKING TYPICAL FACE NAIL	16d AT 16" (406mm) O.C.
SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	3-16d AT 16" (406mm)
7. TOP PLATE TO STUD, END NAIL	2-16d
8. STUD TO SOLE PLATE	4-8d, TOENAIL OR 2-16d, END NAIL
9. DOUBLE STUDS, FACE NAIL	16d AT 24" (610mm) O.C.
10. DOUBLED TOP PLATES, TYPICAL FACE NAIL	16d AT 24" (406mm) O.C.
DOUBLE TOP PLATES, LAP SPLICE	8-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
12. RIM JOIST TO TOP PLATE, TOENAIL	8d AT 6" (152mm) O.C.
13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
14. CONTINUOUS HEADER, TWO PIECES	16d AT 16" (406mm) O.C. ALONG EACH EDGE
15. CEILING JOISTS TO PLATE, TOENAIL	3-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS FACE NAIL	3-16d
19. RAFTER TO PLATE, TOENAIL	3-8d
20. 1" (25mm) BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
21. 1" X 8" (25mm x 203mm) SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
22. WIDER THAN 1" X 8" (25mm x 203mm) SHEATHING TO EACH BEARING, FACE NAIL	3-8d
23. BUILT UP CORNER STUDS	16d AT 24" (610mm) O.C.
24. BUILT UP GIRDER AND BEAMS	20d AT 32" (813mm) O.C. AT TOP AND BOTTOM AND STAGGERED 2-20d AT ENDS AND AT EACH SPLICE
25. 2" (51mm) PLANKS	2-16d AT EACH BEARING
26. WOOD STRUCTURAL PANELS AND PARTICLEBOARD, ² SUBFLOOR AND WALL SHEATHING (TO FRAMING)	
1/2" (12.7mm) AND LESS	6d ³
19/32" - 3/4" (15mm-19mm)	8d ⁴ OR 6d ⁵
7/8" - 1" (22mm-25mm)	8d ³
1 1/8" - 1 1/4" (29mm-32mm)	10d ⁴ OR 8d ⁵
COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING)	
3/4" (19mm) AND LESS	6d ⁵
7/8" - 1" (22mm-25mm)	8d ⁵
1 1/8" - 1 1/4" (29mm-32mm)	10d ⁴ OR 8d ⁵
27. PANEL SIDING (TO FRAMING)	
1/2" (12.7mm) OR LESS	6d ⁶
5/8" (16mm)	8d ⁶
28. FIBERBOARD SHEATHING:	
1/2" (12.7mm)	NO. 11 ga. ⁸
	6d ⁴
	NO. 16 ga. ⁹
	NO. 11 ga. ⁸
	8d ⁴
	NO. 16 ga. ⁹
25/32" (20mm)	
29. INTERIOR PANELING	
1/4" (6.4mm)	4d ¹⁰
3/8" (9.5mm)	6d ¹¹

¹Common or box nails may be used except where otherwise stated.
²Nails spaced at 6 inches (152mm) on center at edges, 12 inches (305mm) at intermediate supports except 6 inches (152mm) at all supports where spans are 48 inches (1219mm) or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Sections 2315.3.3 and 2315.4 Nails for wall sheathing may be common, box or casing.
³Common or deformed shank.
⁴Common.
⁵Deformed shank.
⁶Corrosion-resistant siding or casing nails conforming to the requirements of Section 2304.3.
⁷Fasteners spaced 3 inches (76mm) on center at exterior edges and 6 inches (152mm) on center at intermediate supports.
⁸Corrosion-resistant roofing nails with 7/16 inch diameter (11mm) head and 1-1/2 inch (38mm) length for 1/2 inch (12.7mm) sheathing and 1-3/4 inch (44mm) length for 25/32 inch (20mm) sheathing conforming to the requirements of Sections 2304.3.
⁹Corrosion-resistant staples with nominal 7/16 inch (11mm) crown and 1-1/8 inch (29mm) length for 1/2 inch (12.7mm) sheathing and 1 1/2 inch (38mm) length for 25/32 inch (20mm) sheathing conforming to the requirements of Section 2304.3.
¹⁰Panel supports at 16 inches (406mm) [20 inches (508mm) if strength axis in the long direction of the panel, unless otherwise marked]. Casing or finish nails spaced 6 inches (152mm) on panel edges, 12 inches (305mm) at intermediate supports.
¹¹Panel supports at 24 inches (610mm). Casing or finish nails spaced 6 inches (152mm) on panel edges, 12 inches (305mm) at intermediate supports.

FINISH NOTES

- TUB AND SHOWER RECESSES SHALL HAVE 1/2" WATERPROOF GYPSUM WALL BOARD, WALLS TO HAVE HARD, MOISTURE RESISTANCE SURFACE UP TO 6'-0" MINIMUM.
- ALL EXTERIOR DOORS, INCLUDING ANY DOORS INTO AN ATTACHED GARAGE TO BE SOLID CORE AND FITTED WITH A SINGLE CYLINDER, ONE INCH THROW DEADBOLTS, OPERATED BY A LEVER FROM THE INSIDE AND OPERATED BY A KEY. MOUNT DEADBOLTS 36" TO 48" ABOVE FINISHED FLOOR. OWNER IS RESPONSIBLE FOR SECURITY ISSUES SUCH AS DOOR LOCKS, ALARMS AND VIEW HOLES.
- ALL FINISH ISSUES SHALL BE AGREED UPON BY CONTRACTOR AND OWNER.
- ALL EXTERNAL HORIZONTAL TRIM SHALL HAVE GALVANIZED Z-FLASHING TO PREVENT WATER FROM ENTERING WALL.
- ALL JOINTS SHALL BE PROPERLY SEALED AND ALL SURFACES SHALL BE PRIMED AND PAINTED WITH A MINIMUM OF TWO FINISH COATS, COLOR BY OWNER.
- WALLS SEPARATING GARAGE AND LIVING SPACE SHALL BE 1 HOUR FIRE RATED CONSTRUCTION, WITH SOLID CORE FIRE DOORS.

MECHANICAL NOTES

- ALL MECHANICAL UNITS SHALL MEET THE REQUIREMENTS OF THE O.R.S.C.
- HVAC INSTALLER SHALL APPROVE FOUNDATION DESIGN, REQUESTING ANY REQUIRED CHANGES PRIOR TO CONSTRUCTION. ENGINEER SHALL APPROVE ANY STRUCTURAL MODIFICATIONS.
- EXHAUST FANS, RANGE HOOD, AND CLOTHES DRYER SHALL VENT TO OUTSIDE OF BUILDING. EXHAUST FANS SHALL BE INSTALLED IN ALL RESTROOMS AND LAUNDRY ROOM AS A MINIMUM.
- PROVIDE OUTSIDE COMBUSTION AIR VENTS (WITH SCREEN & BACKDAMPER) FOR ALL FIREPLACES, WOODSTOVES AND ANY APPLIANCE WITH AN OPEN FLAME PER IRC AND MANUFACTURERS SPECIFICATIONS.

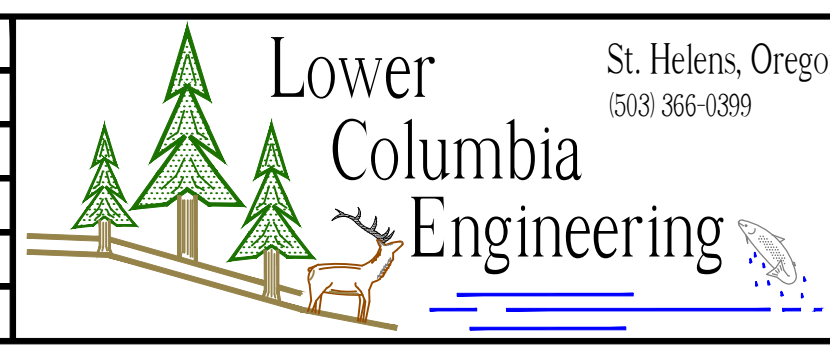
CONCRETE FLOORS & SLABS

- ALL GARAGE AND SHOP FLOORS ARE TO HAVE A SMOOTH HARD TROWELED FINISH.
- ALL EXTERIOR SLABS SHALL HAVE BROOM FINISH.

DATE: 3/3/2021
REVISED PRINT
VOID ALL PREVIOUS

DATE: 11/16/2020
PRELIMINARY
NOT
FOR CONSTRUCTION

REV.	REVISION RECORD	DATE
A	GENERAL UPDATES	12/11/2020
B	REMOVED FLOOD NOTES	3/3/2021



PROJ. NO.	2710	GENERAL NOTES
DWG. BY	CAT	SAND ISLAND PICNIC SHELTERS & CABINS
APPR. BY		SAND ISLAND CAMPGROUND, LLC
FILE	D-2710-A-4-B	DATE 6/3/2020

A-4



CITY OF ST. HELENS PLANNING DEPARTMENT

MEMORANDUM

TO: City Council
FROM: Jacob A. Graichen, AICP, City Planner
RE: Covenant to bind property for the N. 7th Street affordable housing project in partnership with Carl Coffman and his Relevant Building Company
DATE: March 9, 2021

This is the “conex box” 8-plex project along N. 7th Street next to the 6th Street Park. The City owns the property but has partnered with Carl Coffman and his Relevant Building Company to construct the 8-plex and a parking lot, which will include some public parking spaces.

Since the Planning Commission approved a Conditional Use Permit (file CUP.4.17) in 2017 to allow the development, plan approval progress has been slow, but is finally moving.

One of the conditions of the Conditional Use Permit is to consolidate the four lots that make up the property since it is being developed as a whole, irrespective of the property lines. This has land use and building code implications, which can be remedied by a Covenant to Bind property. This simply ties the lots together so they will only be transferred or sold as a whole. It can be released or modified in the future as development on the land or laws change.

Please authorize the mayor’s signature at the regular session.



Above: an aerial perspective of the proposed conex box (shipping container) 8-plex project with approximate lot lines shown. Lot lines go through the parking lot and building pad. Also, all four lots are needed for the city’s density requirements (i.e., dwelling units allowed per land area). Please note that this is an early rendering and will differ from the final product a bit.