



PLANNING COMMISSION MEETING

ISD #15 District Office Building 4115 Ambassador Blvd.

Wednesday, August 16, 2023 at 7:00 PM

AGENDA

- 1. CALL TO ORDER/PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL**
- 3. ADOPT AGENDA**
- 4. APPROVE MINUTES**
 - [A.](#) Planning Commission Minutes - June 21, 2023
- 5. PUBLIC COMMENT**
- 6. PUBLIC HEARINGS**
 - [A.](#) Serenity at Seelye Brook Preliminary Plat & Lot Width Variance
 - [B.](#) AutoZone Comprehensive Plan Amendment, Rezoning, and Site Plan
- 7. REGULAR BUSINESS ITEMS**
- 8. DISCUSSION BY PLANNING COMMISSIONERS**
- 9. ADJOURNMENT**

**CITY OF ST. FRANCIS
ST. FRANCIS, MN
PLANNING COMMISSION MINUTES
JUNE 21, 2023**

1. **Call to Order:** The Planning Commission meeting was called to order at 7:00 pm by Chairwoman Fairbanks

2. **Roll Call:** Present were Dean Becker, Liz Fairbanks, Gail Genin, Deborah Humann, Dustin Hingos, and Dustin Pavek. Absent: None.

Others in attendance: Colette Baumgardner, Community Development Director; Beth Richmond, City Planner; and, Kevin Robinson, City Council.

3. **Adopt Agenda:** Motion by Pavek, second by Humann to approve the agenda. Motion carried 6-0.

4. **Approve Minutes:** Motion by Fairbanks, second by Genin to approve the May 17, 2023 minutes with a correction to item 1. which should read 'Chairwoman Fairbanks'. Motion carried 6-0.

5. **Public Comment:**

Crystal Hartwell, 23632 Kanabec Street NW, came forward and shared that she had a question concerning outbuildings. She stated that she cannot get clarification from the City where her property is considered rural or urban development. She asked that the ordinance be changed to what kind of outbuilding is allowed on properties. She stated that whether her property is considered urban or rural, neither ordinances would allow her to have a 2500 square foot outbuilding to be put up. She shared that there seems to be a confusion in her area on what part of the ordinance applies to her and her property. She requested that the ordinance as a whole be changed to allow for outbuildings of any size as long as they fit within the setbacks from the utility easements and property lines. She stated that she has also seen an increase in accidents at the intersection of Highway 47 and Ambassador Boulevard. She shared the request of either putting a 4-way stop or a stop light in this area for public safety.

Chairwoman Fairbanks stated that there have been a lot of things going on with Anoka County and MnDOT in regard to Highway 47 and Ambassador. She noted that a lot of things are in the works and nothing is set in stone. She stated that with this being a County intersection she would need to reach out to County with concerns. She added that Ms. Hartwell can also reach out to any of the City Councilmembers and they would be happy to provide her with more direction on this matter.

Baumgardner added that the Council did accept a plan for Highway 47 and they are working with MnDOT for the reconstruction of the road that would be expected to start construction in 2027.

Councilmember Robinson added that there are two lights and two roundabouts that will be added to this area to Pederson.

Baumgardner stated that in regard to outbuildings, Ms. Hartwell is zoned R-1 which would mean that she is not currently in the rural area to be within the standards of allowing 250 square feet for an accessory building. She explained that these standards are put in place in the zoning code.

Councilmember Robinson asked if she could apply for a variance. Ms. Hartwell shared that she has looked into a variance but it is not just her wishing to have an outbuilding, also her neighbors across the street from her. She stated that her and her neighbors are looking for much larger accessory structures. She noted that on the other side of the road some of the homes have huge outbuildings. She added that she lives on approximately 1.3 acres and her shed takes up a very small portion of this but her shed is very small and she has a greater need for storage than is allowed. She stated that she could look into a variance if that was her only option but she encouraged the Commission to look into changing this ordinance altogether and allowing residents who have the space to be able to put up an outbuilding.

Baumgardner shared that she would need to apply for an ordinance amendment with the City and then it would be considered through the formal process with the Planning Commission and the City Council. She added that they will make note of this and continue the discussion with the City Council and this could be brought forward in a work session. She noted that the Land Use Application can be found on the City website. Councilmember Robinson stated that there is strength in numbers and encouraged Ms. Hartwell to get her neighbors involved in this.

6. Public Hearing:

a. Turtle Ponds 6th Addition – Comprehensive Plan Amendment, Rezoning, Preliminary Plat

Richmond reviewed the staff packet concerning the land use and subdivision requests for the 6th Addition of the Turtle Ponds Development. She shared that the application is present this evening.

The Commission asked if the road running north to south on the 4th Addition was still planned as it was not connected during a site visit. Richmond explained that it was not planning to connect and that this was more for a turnaround purpose for emergency vehicles to be able to access this area.

The Commission asked how wide these lots will be. Richmond stated that she did not know for sure but guessed approximately 50 feet.

The Commission asked about the requirements for the turnaround, specifically for garbage and delivery trucks. Richmond explained that because of the shape of the road there is the ability for people to back in and out as needed. She stated that there is not an additional turnaround that is necessary. She added that the Fire Department has looked at this and they do not have any concerns.

The Commission discussed what other cities do in terms of dead ends and their requirements and stated that some of the surrounding cities ban dead ends with an exception to private streets. They discussed the confusion of this PUD being considered a

project in the ordinance. Richmond explained that with any PUD a private street can be requested.

The Commission discussed other concerns with the design of the road.

The Commission asked if there was parking on the street with the new addition. Richmond said no.

The Commission asked about snow removal in the area. The applicant stated that this is built into the plan.

Public Hearing opened at 7:27 p.m.

The applicant, Greg Chaffin, came forward and explained that along the road coming in, 229th Lane, there will be no parking. He noted that the roads are built not to be parked on but there are a few parking spaces in the area that visitors can park in or turn around in. He stated that the road is built to be accessible two ways without any problems with the width.

Public Hearing closed at 7:29 p.m.

The Commission reiterated their concerns with garbage and delivery trucks in this area. Richmond explained that the City does have private development standards that say when cul-de-sacs would need to go into place and shared that this concern did not come about when the engineer reviewed the application.

Motion by Pavak, second by Fairbanks to recommend approval of the Comprehensive Plan amendment to reguide the property at 2761 229th Ave from Commercial to Medium Density Residential with conditions and findings of fact as recommended by Staff. Motion passed 6-0.

Motion by Pavak, second by Fairbanks to recommend approval of the rezoning to the Turtle Run PUD with conditions and findings of fact as presented by Staff. Motion passed 6-0.

Motion by Pavak, second by Fairbanks to recommend approval of the preliminary plat for the Turtle Ponds 6th Addition project with conditions and findings of fact as presented by Staff. Motion passed 6-0.

7. **Regular Business Items** – None

8. **Planning Commission Discussion**

9. **Adjournment:**

Motion by Fairbanks, second by Humann to adjourn the meeting. Motion passed 6-0. Meeting adjourned at 7:34 p.m.

Website Link to Packets and Minutes for the Planning Commission:

<https://www.stfrancismn.org/meetings>

Recorded by: Colette Baumgardner

DATE APPROVED:



PLANNING COMMISSION AGENDA REPORT

TO: St. Francis Planning Commission

FROM: Beth Richmond, Planner

SUBJECT: Serenity at Seelye Brook Preliminary Plat & Lot Width Variance

DATE: 8-9-2023 for 8-16-2023 meeting

APPLICANT: C&E Ventures, LLC (Eric Vickaryous)

LOCATION: North of Bridgestone Rd NW and south of Seelye Brook (PINs 36-34-25-22-0006 and 36-34-25-23-0004)

COMP PLAN: Rural Residential

ZONING: RR Rural Residential

OVERVIEW

Eric Vickaryous of C&E Ventures LLC has submitted applications for preliminary plat and variances for the roughly 22.5 acres of vacant land located outside of the City's Urban Service Area between Ambassador Blvd NW and Bridgestone Rd NW. This site is made up of two parcels and abuts Seelye Brook. Roughly one third of the site consists of wetland.

The development of this site into large lot residential was reviewed as a concept in February 2023. In May 2023, the City approved the applicant's request to reguide the property from Agriculture to Rural Residential and to rezone the property from A-2 Rural Estate Agriculture to RR Rural Residential. The applicant is now requesting a preliminary plat and lot width variance in order to create 4 residential lots on the site ranging from 4.2 to 7.4 acres in size.



REVIEW PROCEDURE

60-Day Land Use Application Review Process

Pursuant to Minnesota State Statutes Section 15.99, local government agencies are required to approve or deny land use requests within 60 days. Within the 60-day period, an automatic extension of no more than 60 days can be obtained by providing the applicant written notice containing the reason for the extension and specifying how much additional time is needed.

The deadline for the variance request is August 25, 2023.Staff will be exercising the City's right to extend the deadline for this request for an additional 60 days.

120-Day Subdivision Review Process

Pursuant to Minnesota State Statutes Section 462.358, local government agencies are required to approve or deny subdivision requests, such as the preliminary plat, within 120 days. The 120-day timeline for the review of the preliminary plat expires on October 25, 2023.

Public Hearing

City Code Section 11-35-05 requires that a public hearing for review of the preliminary plat be held by the Planning Commission. The public hearing notice was published in the Anoka County Union Herald and mailed to all affected property owners located within 1,000 feet of the subject property.

ANALYSIS

Land Use

The site is guided for Rural Residential use by the 2040 Comprehensive Plan which allows a maximum residential density of 1 unit per 5 acres. The applicant is proposing 4 residential lots on 22.5 acres, which is consistent with the Rural Residential density requirement.

Preliminary Plat

The applicant is proposing four residential lots on the property, each with access to Bridgestone Rd NW on the south and each abutting Seelye Brook on the north.

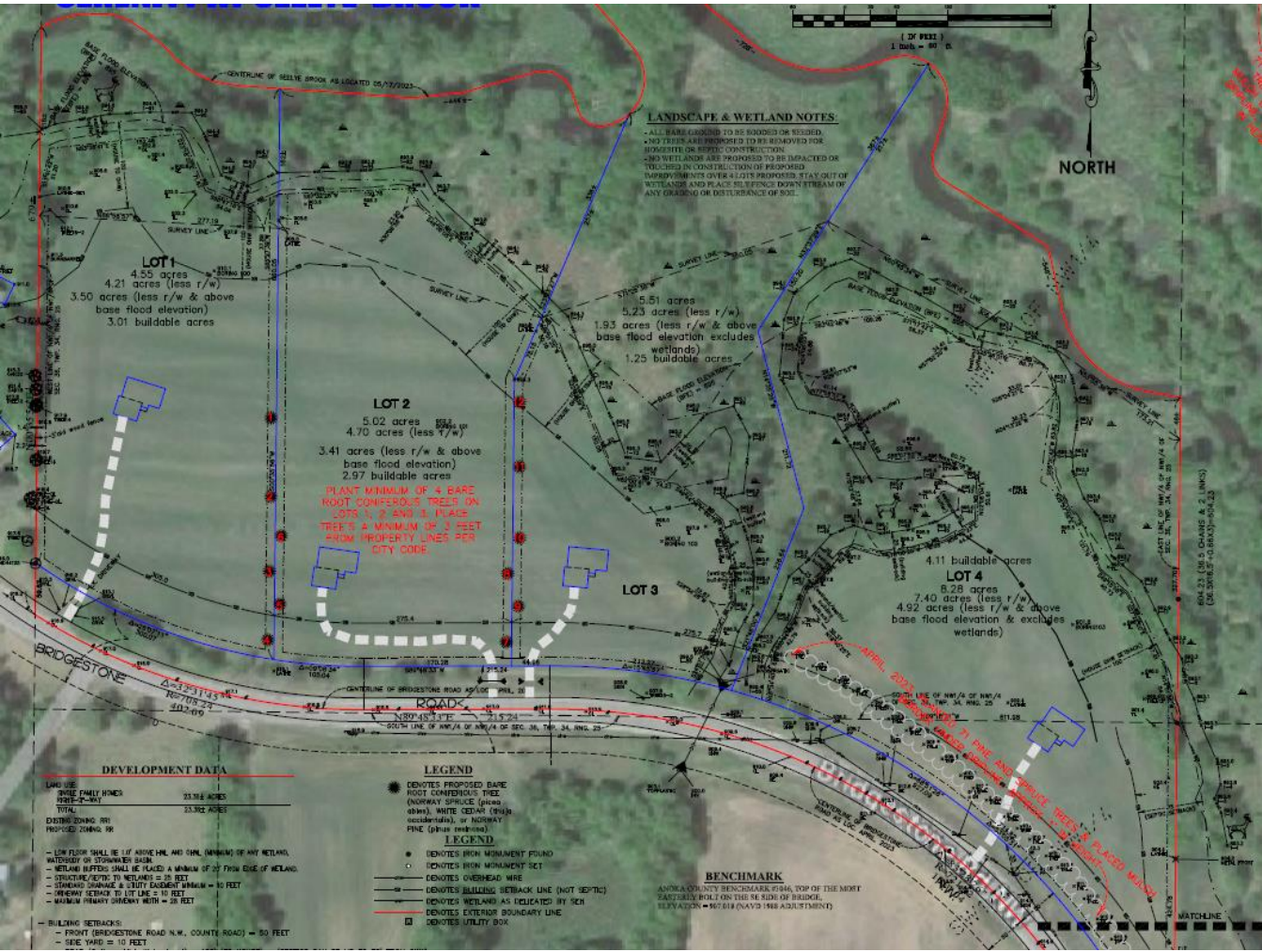
Dimensional Standards

In the RR district, lots are required to have a minimum area of 2.5 acres and a minimum lot width of 300 feet when abutting County or State highways. The table below shows the proposed area and width for each lot. Please note that the proposed area will be slightly lower than stated in this table as Anoka County has requested an additional 10 feet of right-of-way as part of this project. All lots will still be able to meet the minimum area requirements.

Lot	Proposed Lot Area	Proposed Lot Width
Lot 1	4.21 acres	305 feet
Lot 2	4.70 acres	275.4 feet
Lot 3	5.23 acres	275.7 feet
Lot 4	7.40 acres	648.6 feet

Lots 2 and 3 do not meet the minimum lot width requirement of 300 feet. Therefore, the applicant has requested a lot width variance for these lots. The applicant has shared that the lot lines were drawn to follow the natural features of the site, particularly the wetland area that runs from Seelye Brook to Bridgestone Rd NW between Lots 3 and 4. This wetland provides a logical division between lots. It separates the frontage of the site into two halves – west of the wetland is 856.1 feet and east of the wetland is 648.6 feet. The applicant is proposing to draw the lot line between Lots 3 and 4 through the wet area in order to keep the upland on each lot congregated together for ease of maintenance instead of separated by a wetland. While there

is enough overall frontage on this site for 5 lots, the location of the wetland leads to a reduction in lot width for Lots 2 and 3.



Access

Each of the four proposed lots abuts Bridgestone Rd NW, a County Road. Each lot is proposed to have its own individual driveway accessing Bridgestone Rd NW. Anoka County has reviewed the plans and is satisfied with the proposed locations of each driveway. Because these lots are located along a curve where the standard sight distance requirement cannot be met, Anoka County has requested that the right-of-way be cleared of any obstruction(s), including vegetation, in conjunction with approval of the access permits.

Landscaping

A landscaping plan for the site was submitted and reviewed by Staff. The existing site is fairly clear, with a majority of trees located within the boundaries of the wetland area. The trees within the wetland area will not be affected by the proposed development.

The applicant is proposing to plant 6 coniferous trees along the lot line separating Lots 1 and 2 and another 6 coniferous trees along the lot line separating Lots 2 and 3 for a total of 12. In

addition, the applicant noted that 71 young coniferous trees were planted in April 2023 along the front of Lot 4.

Residential lots are required to contain 2 deciduous trees per lot, with at least one in the front yard. Staff suggests that a condition of approval be added that requires one deciduous tree to be planted in the front yard in conjunction with the building permit. This allows the future homeowners more flexibility to locate the home without having to work around an existing tree.

Utilities/Stormwater

The site is proposed to be individual well and septic facilities. The applicant has demonstrated that primary and secondary septic sites are available on each lot. The City Engineer has reviewed the plans and has provided comments which are included in the attached memo.

RECOMMENDATIONS

Staff recommends approval of the preliminary plat and variance requests with the following conditions of approval and findings of fact:

Proposed Findings of Fact – Variance

1. The proposed lot width variance is consistent with the general purposes and intent of the Zoning Ordinance.
2. The proposed use of the site for large lot residential at a density of less than 1 unit per 5 acres is consistent with the Comprehensive Plan's Rural Residential land use guidance for the site.
3. The wetland on the site which separates the upland area into two halves is located in an area which does not allow for 3 lots meeting the minimum 300' lot width to be created west of the wetland.
4. The residential use of this land would not alter the essential character of the neighborhood. Large residential lots are located to the east, west, and north of this site.

Proposed Conditions of Approval – Variance

1. Approval is subject to the concurrent approval of the Serenity at Seelye Brook preliminary plat.

Proposed Findings of Fact – Preliminary Plat

1. The proposed preliminary plat is consistent with the City's 2040 Comprehensive Plan and is compatible with present and future land uses of the area.
2. Excluding lot width, the development is consistent with the City's Zoning and Subdivision Ordinances.

Conditions of Approval – Preliminary Plat

1. Applicant shall address all comments in the City Engineer's memo dated 8/8/2023.
2. Applicant shall comply with all comments from Anoka County as stated in the memo dated August 2, 2023.
3. One deciduous tree shall be planted in the front yard of each lot at the time of building permit.

4. Approval is subject to the concurrent approval of the lot width variance for Lots 2 and 3 in the Serenity at Seelye Brook development.
5. Park dedication requirements shall be resolved at the time of final plat.
6. The applicant is responsible for all fees related to the review of this application.
7. Other conditions identified during the review process by Staff, the Planning Commission, or the City Council.

ACTION TO BE CONSIDERED

After the public hearing and discussion, the Planning Commission could take one of the following actions:

1. Recommend approval with the conditions and findings of fact as presented by Staff.
2. Recommend denial with findings of fact as established by Commissioners.
3. Table the request to the next Planning Commission meeting and provide direction to Staff and the applicant as to the additional information needed.

Suggested Motions:

1. Move to recommend approval of the lot width variance requested for Lots 2 and 3 of the Serenity at Seelye Brook development with conditions and findings of fact as presented by Staff.
2. Move to recommend approval of the preliminary plat for the Serenity at Seelye Brook development with conditions and findings of fact as presented by Staff.

ATTACHMENTS

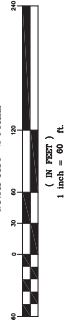
- Applicant Submittals
- Engineering Memo dated 8/8/23
- Anoka County Memo dated 8/2/23

PRELIMINARY PLAT -OF- **SERENITY AT SEEVE BROOK**

(SHEET 2 OF 2 SHEETS)

Property Address: #UNASSIGNED
 23XXX BRIDGESTONE ROAD N.W.

GRAPHIC SCALE



NORTH

DUE TO LARGE ADJACENT LOTS, THERE ARE MANY
 DIFFERENCES IN ELEVATION. IF HOME LOCATION IS CHANGED, A NEW
 BORING IS REQUIRED AT BACK OF HOUSE TO
 DETERMINE IF THERE IS AT LEAST 3 FEET ABOVE
 MOTTLED SOIL.

PROPERTY DESCRIPTION

PARCEL "A"

All that part of the Northwest Quarter of Section 36, Township 34, Range 25, Anoka County, Minnesota, lying South of the centerline of County Road No. 71, as now laid out and
 trawled.

*Above legal description has been revised for clarity.

P.L.D.#36-34-25-22-0006

PARCEL "B"

All that part of the Southwest Quarter of the Northwest Quarter of Section 36, Township 34, Range 25, Anoka County, Minnesota, lying North of the centerline of County Road No. 71, as now laid out and
 trawled.

P.L.D.#36-34-25-23-0004

*Legal description per legal description on title commitment by Registered
 Abstracts dated 01/19/2023.

NOTES

2. See also our map.
- Contours shown are Anoka County GIS Website. Spot checks of topography were made in field and contours adjusted accordingly to improve accuracy.
- Stay off wetlands with equipment. Place all fence down stream from any construction activity.

I hereby certify that this survey, plan
 and map were made by me or under
 my direct supervision and that I am
 a duly Registered Land Surveyor under
 the laws of the State of Minnesota.

ERIC R. WICKART

Date: June 27th, 2023

44125

ACRE LAND SURVEY
 765-465-2897
 765-465-2897
 765-465-2897

Agenda Item # 6A.

C:\Users\GRC\Desktop\Personal\Survey\Seeve Brook\Seeve Brook Preliminary Plat.dwg 6/27/2023 9:56:58 AM CDT

Preliminary Plat



**ENGINEERING REVIEW
for City of St. Francis
by
Hakanson Anderson**

Submitted to: Colette Baumgardner, Community Development Director

cc: Kate Thunstrom, City Administrator
Beth Richmond, City Planner
Eric Vickaryous, Applicant

Reviewed by: Shane Nelson, Assistant City Engineer

Date: August 8, 2023

Proposed Plat Name: Serenity at Seelye Brook

Property Description: 36-34-25-22-0006 and 36-34-25-23-0004

Applicant: Eric Vickaryous

Owners of Record: Eric Vickaryous

Jurisdictional Agencies: City of St. Francis, Anoka County, MDH, MPCA,
(but not limited to) URRWMO

Permits Required: City Approval, ACHD Approval, MPCA NPDES Permit
(but not limited to)

INFORMATION AVAILABLE

Preliminary Plat, 6/27/2023 revision, prepared by Acre Land Surveying

Grading, Drainage & Erosion Control Plans, 6/26/2023 revision, prepared by Civil Methods, Inc.

Stormwater Management Plan, dated 6/19/2023, prepared by Civil Methods, Inc.

Wetland Delineation Report, dated 5/8/2023, prepared by SEH

Soil Boring Logs, dated 4/24/2023, prepared by Tradewell Soil Testing

PRELIMINARY PLAT

1. The subdivision layout, as depicted on the Preliminary Plat, appears generally conducive to the property. See City Planner's review memo for information regarding the zoning review.
2. The Preliminary Plat shall be revised to depict 60 feet of right-of-way from centerline of Bridgestone Street per Anoka County Highway Department's comments.
3. Per City Code (10-82-06.E.4), the minimum (low floor) elevation shall be three feet above mottled soils or the highest known water table, whichever is higher. Additionally, the minimum opening elevations shall be one and one half feet above the 100-year flood elevation (10-82-06.E.5). The note in the Development Data table shall be updated accordingly.

STREETS

1. The proposed subdivision is proposed to be served by four (4) new access points / private driveways from Bridgestone Street (County Road 71). The proposed access locations are subject to the approval of the Anoka County Highway Department.

GRADING AND EROSION CONTROL

1. Redundant sediment control devices (silt fence) are required for grading adjacent to wetlands or a surface water when a 50' buffer of natural vegetation is not maintained. Please provide redundant sediment control devices on final plans if grading will occur within 50 feet of the wetlands.

WETLANDS

1. A Wetland Delineation Report was received and a Notice of Decision approving the wetland boundary and type was issued on June 5, 2023. No wetland impacts are proposed with this subdivision.
2. In accordance with URRWMO rules and City ordinances (10-83-04), a MnRAM evaluation of the existing wetland(s) shall be provided and submitted with the final plans. The required wetland buffer width adjacent to the existing wetland(s) is dependent on the wetland class as determined from the MnRAM evaluation. Wetland buffers must also be marked with permanent signs (10-83-04.C.8.f). The applicant shall submit the MnRAM evaluation and depict the location of the wetland buffer signage on the final plans.

STORMWATER MANAGEMENT

1. This site proposes to manage the stormwater with four (4) constructed stormwater infiltration basins (rain gardens) to meet the requirements of City ordinances and URRWMO rules.
2. The stormwater management system, once constructed, will be privately maintained. It will be necessary for the Applicant to enter into a Stormwater Maintenance Agreement with the City to ensure the long-term operation and maintenance of the stormwater basins.

SUMMARY

We recommend approval of the Preliminary Plat subject to the Applicant addressing the comments as contained herein.



Beth Richmond
City of St. Francis
23340 Cree St NW
St. Francis, MN 55070

August 2, 2023

RE: Preliminary Plat – Serenity at Seelye Brook

Dear Beth,

We have reviewed the Preliminary Plat for Serenity at Seelye Brook to be located north of CR 71 (Bridgestone Road NW) and south of 236th Avenue NW within the City of St. Francis, and I offer the following comments:

- The existing right of way along CR 71 is 50 feet north of centerline. We request an additional 10 feet of ROW (for a total of 60 ft) along the property line for future reconstruction purposes.
- As proposed, the plat will introduce four new access points onto CR 71, which would be allowed since access to a city street does not seem feasible. Since sight distance is not met at the proposed access locations, we request that the ROW is cleared in conjunction with approval of the access permits. The right of access should be dedicated to Anoka County along CR 71 with exception for the proposed access points.
- Internal site grading shall not commence until the requested ACHD Engineering plan approvals are received and the applicable permits can be issued. If there will be any utility relocation on CR 71, it will be required to be completed by the City/developer as a part of the ACHD Engineering Plan Review process.
- Please note that no plantings or private signs will be permitted within the county right of way and care must be exercised when locating private signs, building, structures, plantings, berms, etc. outside of the county right of way, so as not to create any new sight obstructions for this section of CR 71.

ACHD would like to work with local governments in promoting compatibility between land use and the county highway system. It should be recognized that residential land uses located adjacent to County highways often results in complaints about traffic noise. Existing and/or future traffic noise from CR 71 could exceed noise standards established by the Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation. Minnesota Rule 7030.0030 states that municipalities are responsible for taking all reasonable measures to prevent land use activities listed in the MPCA's Noise Area Classification (NAC) where establishment of the land use would result in violations of established noise standards. It is advised that the City and the Developer assess the noise situation for this development as it is proposed to be located directly adjacent to CR 71 and take the level of action deemed necessary to minimize the impact of any highway noise by incorporating the appropriate noise mitigation elements into the design and phasing of this plat as applicable.

The ACHD Engineering Plan Review process will apply to this site. The following items should be submitted to Brandon Ulvenes, Engineer II, Brandon.Ulvenes@co.anoka.mn.us (checklist and payment information are available on our website: <https://www.anokacountymn.gov/4072/Development-Review>):

- Utility relocation plans
- Traffic Control plans
- Grading and erosion control plans
- Drainage calculations – Note that the post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year critical design storm
- ACHD Design Requirements Checklist
- Engineering plan review fee (estimated at \$150.00)

Following completion of the ACHD Engineering Plan Review process, the contractor(s) who will be completing any work within the county right of way must begin the ACHD Permit process. One permit for Work within the County Right of Way (\$150.00) and four Access Permits (\$175.00 each) must be obtained prior to the commencement of any construction. License permit bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Sue Burgmeier via phone at 763.324.3176 or via email at HighwayPermits@co.anoka.mn.us for further information and to coordinate the ACHD Permit process.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

Sincerely,



Logan Keehr
Traffic Engineering Technician

xc: CR 71/Plats+Developments/2023
Jerry Auge, Assistant County Engineer
David Zieglmeier, County Surveyor
Sean Thiel, Traffic Engineering Manager
Sue Burgmeier, Traffic Engineering Technician
Brandon Ulvenes, Engineer II



PLANNING COMMISSION AGENDA REPORT

TO: St. Francis Planning Commission

FROM: Beth Richmond, Planner

SUBJECT: AutoZone Comprehensive Plan Amendment, Rezoning, and Site Plan

DATE: 8-9-2023 for 8-16-2023 meeting

APPLICANT: AutoZone, Inc. (Wade Davis)

LOCATION: Between Hwy 47 and Aztec St NW, north of the Bottle Shop (PID: 32-34-24-23-0039)

COMP PLAN: Business Park/Light Industrial

ZONING: BPK Business Park

OVERVIEW

The City has received several land use applications for a standalone retail store along Hwy 47, north of the Bottle Shop. The proposed development would include a 6,815 SF building operated by AutoZone with access off of Aztec St NW. The land use requests associated with this project include a Comprehensive Plan amendment to reguide the site from Business Park/Light Industrial to Commercial, a zoning map amendment to rezone the site from BPK Business Park to B-2 General Business, and site plan review.



REVIEW PROCEDURE

60-Day Land Use Application Review Process

Pursuant to Minnesota State Statutes Section 15.99, local government agencies are required to approve or deny land use requests within 60 days. Within the 60-day period, an automatic extension of no more than 60 days can be obtained by providing the applicant written notice containing the reason for the extension and specifying how much additional time is needed. The deadline for the land use requests is September 8, 2023.

Public Hearing

City Code Section 10-31-03 requires that a public hearing for review of the Comprehensive Plan amendment and rezoning requests be held by the Planning Commission. The public hearing notice was published in the Anoka County Union Herald and mailed to all affected property owners located within 350 feet of the subject property.

ANALYSIS

Land Use

The site is guided for Business Park/Light Industrial use by the 2040 Comprehensive Plan. Standalone retail is not consistent with this land use category. Therefore, the applicant has requested a Comprehensive Plan amendment to reguide the site to Commercial use which allows retail. Land directly to the south and west of this site is guided for Commercial use. Staff supports the requested amendment.

Zoning

The site is currently zoned BPK Business Park, which is consistent with the existing land use guidance for the site. Standalone retail is not permitted in the BPK district. Therefore, the applicant is requesting to rezone the site to B-2 General Business which allows standalone retail as a permitted use. The B-2 district is consistent with the proposed Comprehensive Plan land use guidance of the site. If the Planning Commission is supportive of the Comprehensive Plan amendment, then Staff also recommends approval of the requested rezoning.

Site Plan

The applicant has provided a site plan showing the building, parking, and access to Hwy 47. The proposed site plan meets all dimensional requirements of the B-2 district.

Access

An access drive leading from Hwy 47 to the Bottle Shop currently runs through the site. The existing pavement on the property and the access will be removed as part of the development of the site, and access will be changed to Aztec St NW on the east side. An existing cross-access easement agreement allowing the Bottle Shop access through this site is planned to be vacated as part of this project. As the site abuts a State Highway, the application has been sent to MnDOT for review. Comments from MnDOT have not been received as of the drafting of the staff report.

Parking & Loading

Customer and employee parking is proposed along the north and west sides of the site. 44 spaces are proposed, which exceeds the City’s requirement of 1 space per 200 SF of floor area of retail space and 1 space per 500 SF of storage area.

1 loading space is proposed along the east side of the building. This loading space is required to be screened from view of the public street and adjacent residential properties. Currently, 3 coniferous shrubs and 2 coniferous trees are proposed to be planted at the south end of the loading area around the dumpster enclosure. Additional screening around the loading space is necessary to meet the City’s requirements as specified in Code Section 10-73-04C. A revised landscaping plan showing the proposed screening of the loading space must be provided for Staff review prior to recording.

Architectural Standards

At the end of 2022, the City completed a zoning code amendment which updated the architectural standards for non-residential buildings.

The updated standards include:

- 1. Façade Articulation and Details. Buildings shall be designed so that building material, color, or massing changes at least every 60 linear feet for all street facing sides of the building. Massing changes may be accomplished through use of articulation details such as cornices, molding, columns, pilasters, or other ornamentation as well as vertical recess or projections of the wall face.*
- 2. Windows shall be installed at regular intervals along the length of all street-facing building walls.*

The subject site has frontage on both Hwy 47 and Aztec St NW. The west side of the building facing Hwy 47 is proposed as the “front,” and includes the main entrance, windows, and façade articulation. The east side of the building facing Aztec St NW does not currently meet the standards listed above. The applicant must revise the exterior façade on the east side of the building to meet those requirements.

The building is proposed to be constructed of concrete masonry units, aluminum, and glass which meet the requirements for buildings in the B-2 district.

Landscaping

A landscaping plan for the site was submitted and reviewed by Staff. The applicant is proposing to plant 9 trees throughout the site, which meets the requirement for vegetation on the property. While the number of trees to be planted meets Code, the types of trees proposed do not meet diversity requirements. The City requires that no more than 25% of the caliper inches planted come from the same genus. Currently, Imperial Honeylocust trees make up over 26% of the proposed caliper inches required. Staff recommends that the applicant revise the tree types to be planted to meet diversity requirements.

Mechanical Equipment

The plans submitted indicate that mechanical equipment will be placed on the rooftop. The applicant should provide details of this equipment and where on the roof it will be located in order to ensure it is screened from view of the street.

Pedestrian Facilities

A multi-use trail exists along Hwy 47 on the west side of the site. Pedestrian facilities are required along at least one side of every public street. However, there are no pedestrian facilities currently located along Aztec St NW, therefore, this site would not be required to install pedestrian facilities along the west side of Aztec St NW. If or when a sidewalk or trail improvements are installed along Aztec St NW, this site would be required to install or be assessed for such facilities.

Interior sidewalks proposed around the north, west, and south perimeters of the building meet Code requirements.

Utilities/Stormwater

The site is proposed to be served by City utilities. The City has adequate capacity to serve a development of this size.

Stormwater runoff for both the subject site and the City’s Bottle Shop property to the south runs to the City-owned property north of the subject site which contains an existing swale used for infiltration. The applicant has designed the site to continue to allow runoff from both sites to be served by the stormwater facility to the north. This design is supported by Staff.

The applicant has submitted utility and stormwater plans which have been reviewed by the City Engineer. The City Engineer’s comments are included in the attached memo.

RECOMMENDATIONS

Staff recommends approval of the Comprehensive Plan amendment, rezoning, and site plan with the following conditions of approval and findings of fact:

Proposed Conditions of Approval – Comprehensive Plan Amendment

- 1. The Comprehensive Plan amendment shall be submitted to the Metropolitan Council for final review and approval.

Proposed Findings of Fact – Comprehensive Plan Amendment

- 1. The proposed amendment is compatible with the surrounding land uses.
- 2. Public infrastructure is capable of serving the proposed development on this site.

Proposed Findings of Fact – Site Plan

- 1. The site plan is consistent with the Comprehensive Plan with proposed conditions.
- 2. The site plan meets the standards listed in the City Zoning Code with proposed conditions.

Conditions of Approval – Site Plan

- 1. Applicant shall address all comments in the City Engineer’s memo dated 8/8/2023.
- 2. Applicant shall address all comments from MnDOT to their satisfaction.
- 3. Applicant shall work with the city to vacate the existing cross-access agreement as needed.
- 4. This bike rack shall not be placed in a way that obstructs pedestrian traffic.
- 5. Additional screening around the loading space shall be provided in accordance with Code Section 10-73-04C. Applicant shall provide a revised landscaping plan showing the proposed screening of the loading space to Staff’s satisfaction prior to recording.

6. The eastern exterior façade of the building shall be revised to meet the requirements for façade articulation and windows as specified in Code Section 10-71-08C.
7. Tree plantings shall not consist of more than 25% caliper inches of one genus.
8. The applicant should provide details of the rooftop mechanical equipment and where on the roof it will be located in order to ensure it is screened from view of the street.
9. All signage shall meet Code requirements and shall be reviewed through the sign permit process.
10. Other conditions identified during the review process by Staff, the Planning Commission, or the City Council.

ACTION TO BE CONSIDERED

After the public hearing and discussion, the Planning Commission could take one of the following actions:

1. Recommend approval with the conditions and findings of fact as presented by Staff.
2. Recommend denial with findings of fact as established by Commissioners.
3. Table the request to the next Planning Commission meeting and provide direction to Staff and the applicant as to the additional information needed.

Suggested Motions:

1. Move to recommend approval of the Comprehensive Plan Amendment to reguide the AutoZone property from Business Park/Light Industrial to Commercial with conditions and findings of fact as presented by Staff.
2. Move to recommend approval of the zoning map amendment to rezone the AutoZone property from BPK Business Park to B-2 General Business as presented by Staff.
3. Move to recommend approval of the AutoZone site plan with conditions and findings of fact as presented by Staff.

ATTACHMENTS

- Applicant Submittals
- Engineering Memo dated 8/08/23

AERIAL

The following notes correspond to the numbering system of Schedule B, Part II of the title commitment mentioned hereon:

- 12 Easement for electric transmission or distribution lines or systems proposed, in favor of Andalex Electric Cooperative, a Minnesota cooperative association (formerly known as Andalex Electric Light and Power Company), against the City of St. Francis, as contained within Resolution No. 89-20, dated October 16, 1939, as amended; Document No. 965339, Book 162, Page 457, and as affected by Rec'd March 10, 1939, as Document No. 965339, Book 162, Page 457, and as affected by Rec'd March 10, 1939, as Document No. 965339, Book 162, Page 457, and as affected by Rec'd March 10, 1939, as Document No. 965339, Book 162, Page 457, as shown by Minnesota Department of Transportation's plat of Way Plot No. 40-20, recorded February 19, 2000, at Document No. 1497539, Land Surveyor's Certificate of Completion recorded February 10, 2004, at Document No. 19667539 (APPLIES, PLOTTED HEREIN).
- 13 Easement for drainage purposes, in favor of the City of St. Francis, as contained within Resolution No. 89-20, dated October 16, 1939, as amended & 1989, as contained within Document No. 874653, and the terms and conditions contained within (DOES NOT AFFECT THE SURFACE PLAT)
- 14 Lot 163 of Section 4 to Trunk Highway No. 47, as shown by Minnesota Department of Transportation's plat of Way Plot No. 40-20, recorded February 19, 2000, at Document No. 1497539, Land Surveyor's Certificate of Completion recorded February 10, 2004, at Document No. 19667539 (APPLIES, PLOTTED HEREIN).
- 15 Drainage and utility easements shown on the plat of Crown East Addition, recorded September 19, 2014, at Document No. 1497539, Land Surveyor's Certificate of Completion recorded September 19, 2014, at Document No. 1497539 (APPLIES, PLOTTED HEREIN).
- 16 Terms, provisions, restrictions and easements as contained in the Declaration of Easement dated September 19, 2014, recorded September 19, 2014, at Document No. 1497539.

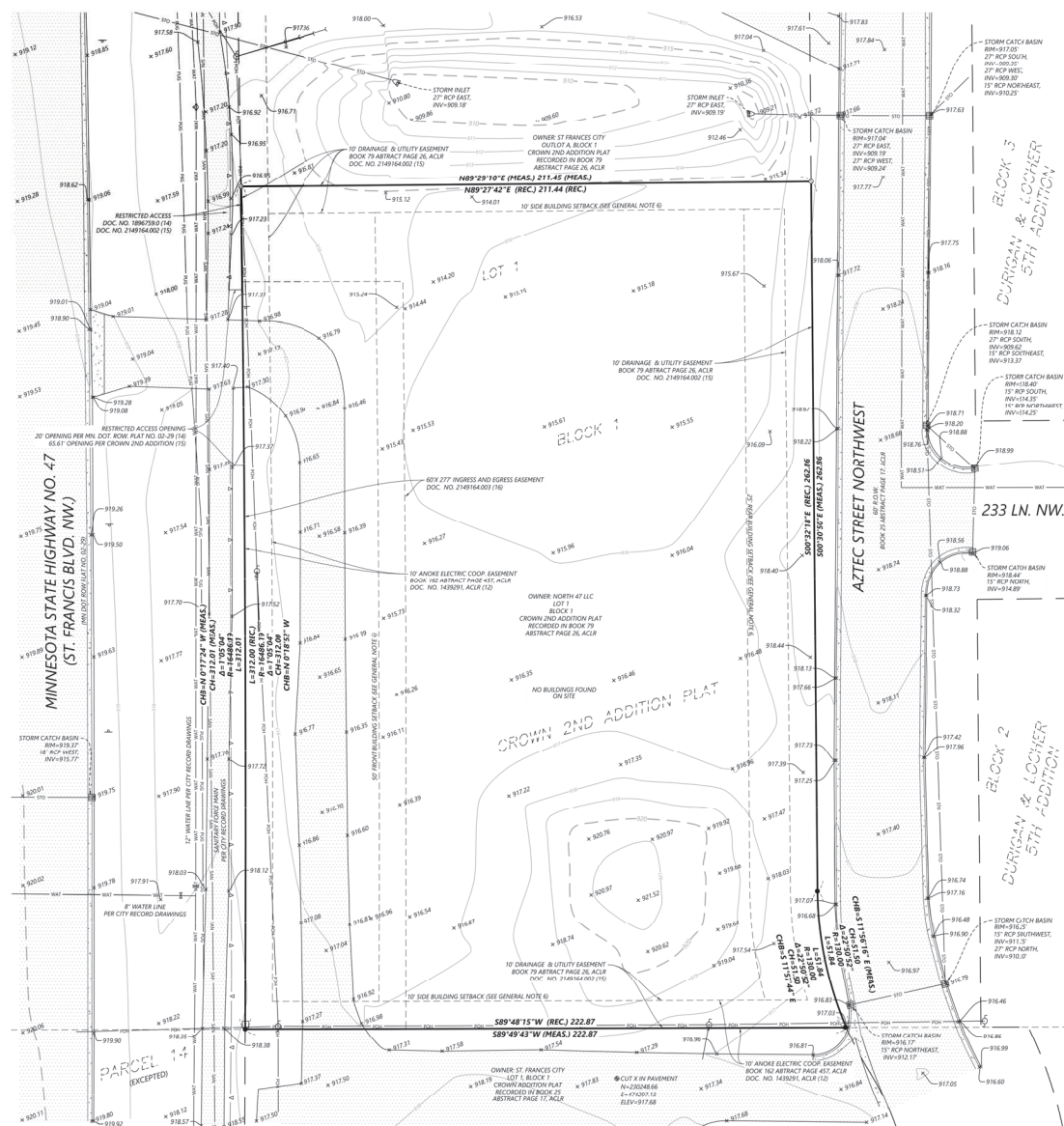
1. *Plot Reference* Rivier 79, Abstract Page 76, Anoka County Land Records
2. Bearings are based on the North American Datum of 1983 (2011 adjustment), Anoka County Coordinate System.
3. Vertical data is referenced to the North American Vertical Datum of 1988.
4. This survey was completed using Title Commitment GF No. NCS-1157486-MICH, with Effective Date November 29, 2022, provided by First American Title Insurance Company.
5. A Gopher State One Call utility locate request was placed on 1/20/2023, under Ticket No. 230200199. Utilities notified were the City of St. Francis, CenturyLink, Conexus Energy, Midcontinent Communications, Central Point Energy, MINDOT, and Zooey Bandwidth.

Real property in the City of St. Frances, County of Anoka, State of Minnesota, described as follows:
Lot 1, Block 1, Crown 2nd Addition, Anoka County, Minnesota, except Parcel 14, Minnesota
Department of Transportation Right-of-Way Plat Numbered 02-29

To Autozone Development LLC, and First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2023 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7a, 7b(1), 7(c), 8, 9, 10, 13, 16, 17, 18, 19 and 20 of Table A thereof. The field work was completed on 1/30/2023.

Chris Ambourn, P.L.S. Date: 1/30/2023
MN License No. 43055, Expiration 06/30/2024
chris.ambourn@westwoodps.com



●	FOUND 1/2" IRON ROD (LICENSE NO. 1840)		POWER POLE
○	LET 1/2" IRON ROD (HOLE) UNLESS OTHERWISE NOTED		GUN SIGN
ACUR	ANKOKA COUNTY LAND RECORDS		CURB & SURFACE
	BENCHMARK		BOUNDARY LINE
	ELECTRIC VAULT		BOUNDARY LINE
	STREET LIGHT		BOUNDARY LINE
	HYDRANT		RIGHT-OF-WAY LINE
	WATER VALVE		RESTRICTED ACCESS LINE
	CATCH BASIN		BOUNDARY ADJACENT
	STORM SEWER CURB INLET		BASEMENT LINE
RE	RIM ELEVATION		POWER OVERHEAD
NAV	NAVERT ELEVATION		POWER UNDERGROUND
	GROUND ELEVATION SHOT		SANITARY SEWER
(REC)	RECORDED BEARING OR DISTANCE		WATER LINE
(MEAS)	MEASURED BEARING OR DISTANCE		SANITARY SEWER

1. Monuments placed at all major corners of the boundary of the property.
2. The subject property has not been assigned an address.
3. The foregoing property is located within Zone X (*Areas of Minimal Flood Hazard*) according to FEMA FIRM Panel No. 27003C006E, dated December 28, 2015.
4. The subject property contains 66,313 sq. ft. or 1,522 acres.
5. Vertical relief is based on NAVD 1988 with one-foot contours shown hereon.

7f(1). No buildings were found on site.

7f(1) i. No buildings were found on site.

7f(2). No buildings were found on site.

No buildings or party walls were designated by title nor were any buildings present on site.

No divisions of adjoining owners of platted lands according to current public records are shown hereon.

On the date the field work was completed for this survey, there was no observable evidence of current earth moving work, exterior building construction or building additions.

The surveyor is not aware of any proposed changes in street right of way lines, and there was no observable evidence of recent start or substantial construction or repairs to the street of survey.

Any platable office assessments provided to the Title Insurance Commission are shown hereon.

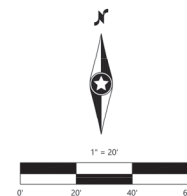
27150 AutoZone General Requirements.

Telephone, Fiber Optic and Cable:
CenturyLink - (877)-778-9140
Midcontinent Communications - (605)-271-0202
Zayo Bandwidth - (800)-961-6500

Electric:
Connexus Energy - (763)-323-4215

Natural Gas:
Center Point Energy - (800)-778-9140

Sanitary Sewer, Storm Sewer and Water:
City of St. Francis - (763)-122-5219
MNDOT - (651)-366-5750



CHECKED:	C/
DRAWN:	AM
FIELD CREW:	JW
FIELD WORK DATE:	1/27/23

PREPARED FOR:

AutoZone
123 S. Front St.
Memphis, Tennessee, 38103

EXHIBIT OF:

ALTA/NSPS LAND
TITLE SURVEY
AUTOZONE MN5100

**LOT 1, BLOCK 1, CROWN 2ND ADDITION,
RECORDED IN BOOK 79 ABSTRACT PAGE 26,
ANOKA COUNTY LAND RECORDS**
CITY OF ST. FRANCIS, ANOKA COUNTY, MINNESOTA

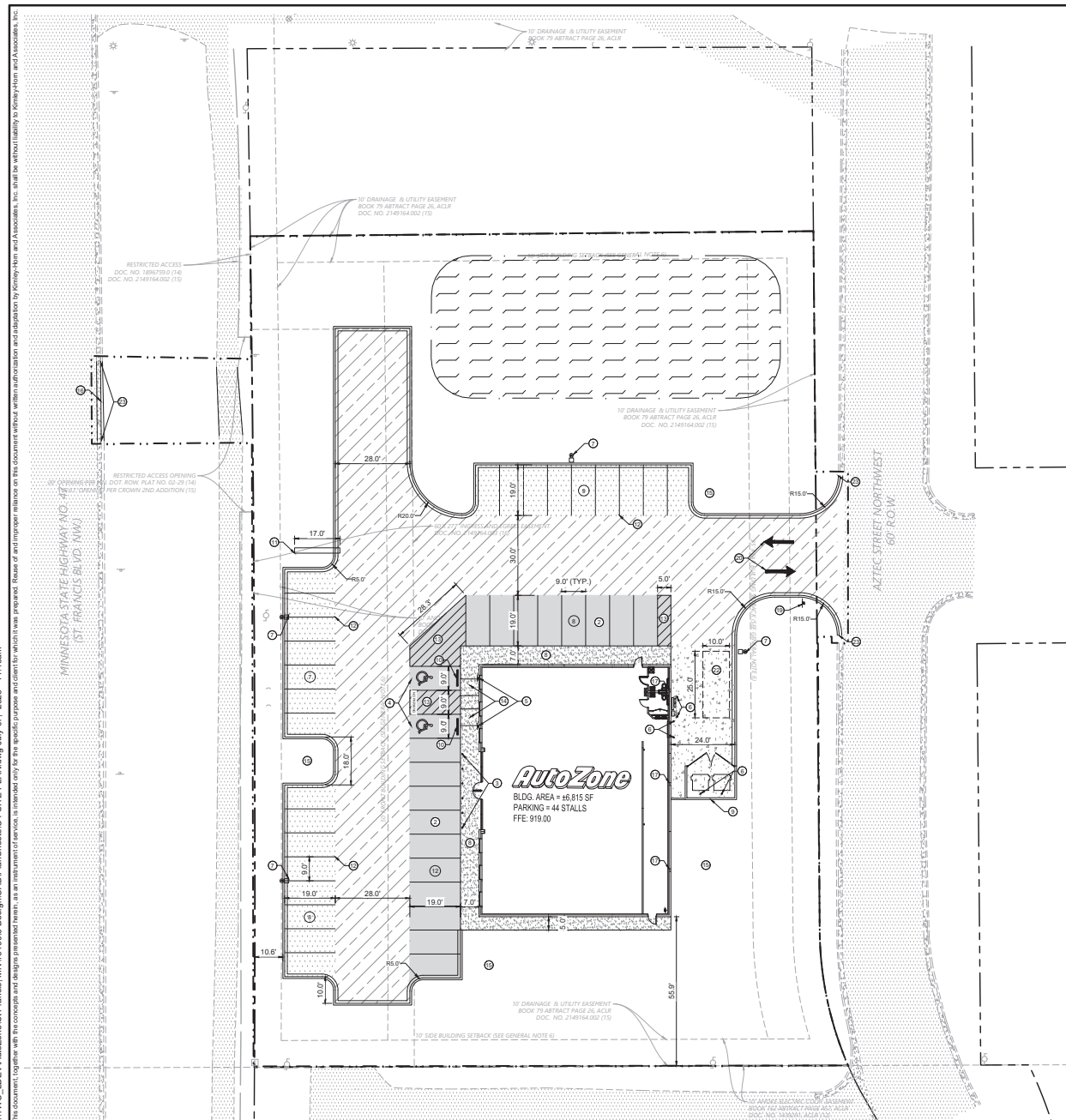
Westwood

Phone (320) 253-9495 3701 12th Street North, Suite 206
Fax (320) 358-2001 St. Cloud, MN 56303
Toll Free (800) 270-9495 westwoodps.com
Westwood Professional Services, Inc.

SHEET NUMBER:

1 OF 1

DATE: 1/30/2023



Building & Paying

- ① Concrete curb – see details 1 & 2/C402
- ② Concrete paving – see detail 4/C402. Expansion and Control joints – see details 21 & 22/C402. Minimum spacing for Control joints is 15'-0" o.c. each way.
- ③ Bollard Plan – See Detail 14/C402
- ④ Handicap parking area – see details 6 & 7/C402
- ⑤ Handicap parking sign – see detail 12/C402
- ⑥ Pipe guard – see details 14, 15 & 16/C402
- ⑦ Concrete light pole base – see detail 13/C402. Locate "0" from back of curb or sidewalk to center of base. Aim light fixture in direction as indicated.
- ⑧ Concrete sidewalk – see detail 19 & 20/C402 for sidewalks around building.
- ⑨ Dumpster layout – 6" high brick enclosure to match building. Black metal doors with black posts & locking cupped required – see details 8, 9, 10 & 11/C402
- ⑩ 6'-0" long concrete wheel stop, pinned to pavement – see detail 17/C402. Locate 2'-6" from face of curb or sidewalk.
- ⑪ Proposed Monument sign – See signage drawings (Under separate permit)
- ⑫ 4" wide parking stripe painted white (Typ.)
- ⑬ 4" wide diagonal stripes painted white @ 2 ft. o.c.
- ⑭ Concrete handicap ramp – maximum slope 1:12 (8.33%) (per A.D.A. requirements). Maximum cross slope :150 (2.00%)
- ⑮ New landscape area – provide sod and 3" topsoil – see sheet L1.0 for additional information
- ⑯ B6-18 concrete curb per MnDOT Detail (Design B, W=18")
- ⑰ Building down spouts (typ.)
See Grading Plan for connection.
- ⑱ 5' x 5' concrete pad for transformer
- ⑲ Stop Sign – see detail 26/C402
- ⑳ Pavement markings – see detail 24 & 25/C402
- ㉑ Not Used
- ㉒ Loading Area: slope at max 3% away from building
- ㉓ Match existing curb & gutter elevations

	PROPERTY LINE
	LIMITS OF DISTURBANCE
	PROPOSED FENCE
	SETBACK LINE
	PROPOSED CURB AND GUTTER
	PROPOSED STANDARD DUTY ASPHALT
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED STANDARD DUTY CONCRETE
	PROPOSED HEAVY DUTY CONCRETE

BULK AREA REQUIREMENTS

REFERENCE IS MADE TO THE ST FRANCIS CODE OF ORDINANCES

LOCATION:	MN STATE HWY NO. 47 ST. FRANCIS, MN 55070	
ZONE:	BPK - BUSINESS PARK DISTRICT	
USE:	RETAIL	TYPE OF C

ITEM	REQUIREMENTS	PROVIDED
MINIMUM LOT AREA		66,312 S.F.
MINIMUM FRONT SETBACK	50' HWY	85'-0"
MINIMUM SIDE SETBACK	10'-0"	56'-0"
MINIMUM REAR SETBACK	25'-0"	55'-0"
MAXIMUM BUILDING HEIGHT	35'-0"	21'-0"
PROPERTY AREA		66,312 S.F.
IMPERVIOUS AREA	<80% (53,050 SF.)	30,793 S.F.
PERVIOUS AREA		35,519 S.F.
BUILDING AREA		6,815 S.F.

PARKING INFORMATION



REFERENCE IS MADE TO THE ST FRANCIS CODE OF ORDINANCES

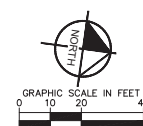
ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	≤ 1/2 PROVIDED LOT AREA (33,156)	6,000 S.F.
PARKING REQUIRED	1 SPACE PER EACH 200 S.F. OF GROSS FLOOR AREA; 35 REQUIRED	44 SPACES
MIN. PARKING DIM.	9'-0" x 19'-0"	9'-0" x 19'-0"
MIN. DRIVEWAY WIDTH	24'-0"	28'-0"
HANDICAP SPACES	2 SPACES	2 SPACES
LOADING SPACE	1 SPACE	1 SPACE

SITE PLAN NOTES

1. REFER TO THE ARCHITECTURAL PLAN FOR EXACT LOCATIONS AND DIMENSIONS OF STOPS, TRUCK DOCKS, TRASH ENCLOSURES & PRECISE BUILDING DIMENSIONS. REFER TO THE SITE ELECTRICAL PLAN FOR LOCATION OF PROPOSED LIGHT POLES, CONDUTTS, AND ELECTRICAL EQUIPMENT.
2. REFER TO CERTIFIED SITE SURVEY OR PLAT FOR EXACT LOCATION OF EXISTING EASEMENTS, PROPERTY BOUNDARY DIMENSIONS, AND ADJACENT RIGHT-OF-WAY & PARCEL INFORMATION.
3. DIMENSIONS AND RADII ARE DRAWN TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT, AND AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
4. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING DIMENSIONS AND LOCATIONS OF ALL TRAFFIC WITHIN THE PROPOSED WORK, INCLUDING BUT NOT LIMITED TO TRAFFIC SIGNALS, LIGHT POLES, AND ROADWAY MARKERS. PERFORM WORK IN ACCORDANCE WITH ALL APPLICABLE GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS. COST SHALL BE INCLUDED IN BASE BID.
5. TYPICAL PARALLEL EASEMENT SHALL BE 9'-0" IN WIDTH AND 19'-0" IN LENGTH UNLESS OTHERWISE INDICATED.
6. MONUMENT POINTS ARE DETAILED ON THE ARCHITECTURAL PLANS AND ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY EASEMENT LOCATION AND REQUIRED PERMITS WITH THE OWNER.

SIGN | LEGEND

LEGEND	
	
	

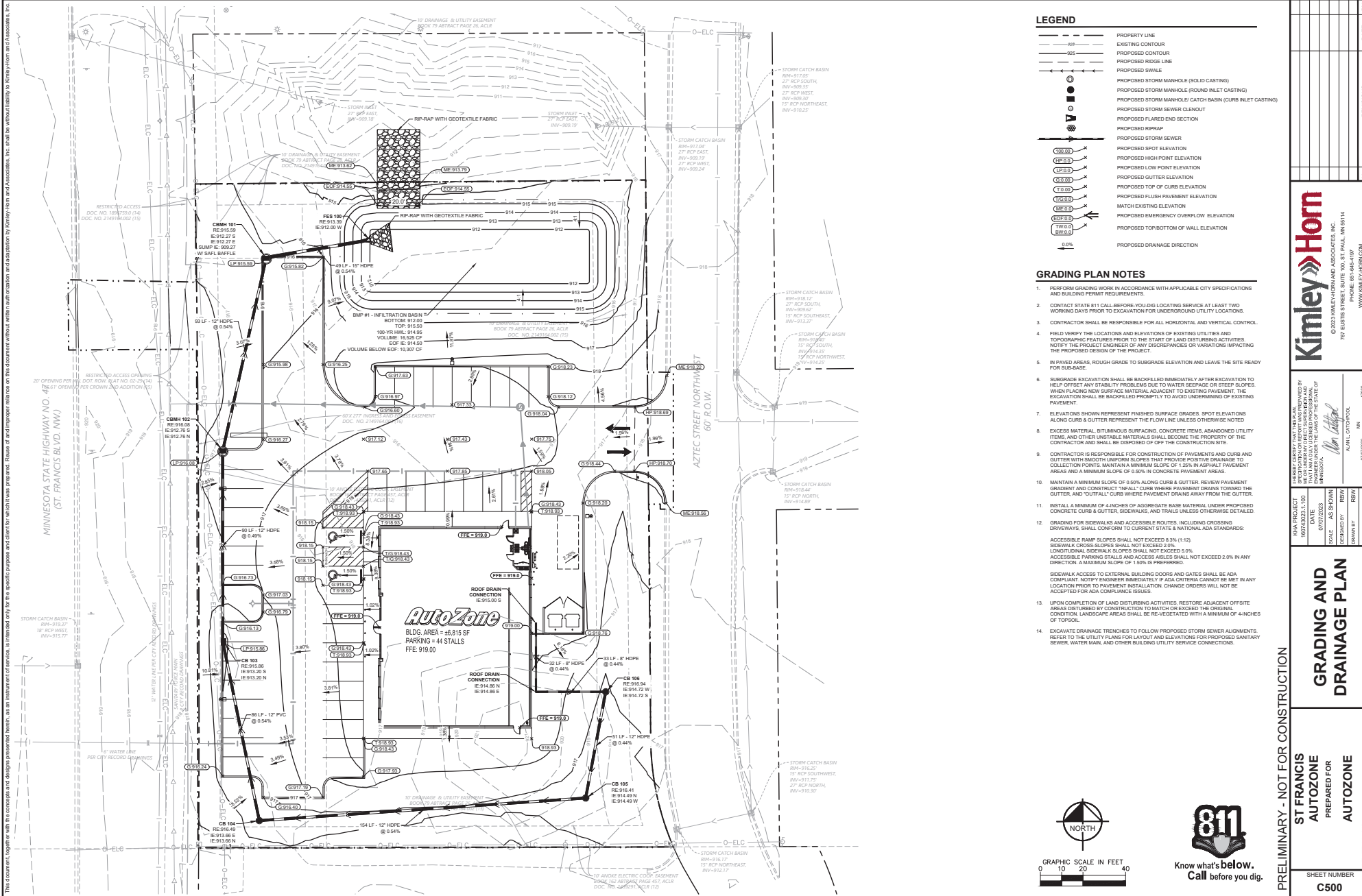


GENERAL NOTES:

1. Property line and right-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
 2. **Proof Road Building and all parking areas. Notify AutoZone Inc. of any unacceptable areas.**
 3. **Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact Building dimensions.**
 4. All site dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
 5. All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in any way shall conform to all municipal and/or State specifications and requirements.
 6. All disturbance incurred to any adjoining property due to construction or demolition shall be restored to the previous condition or better, and to the satisfaction of the City or State Authority.
- The Contractor shall provide As-Built records of all construction (including underground utilities) to AutoZone Inc. at the end of construction.

K:\ITWC_LDEVAutoZone\St Francis, MN #51003 Design\CAD\Plan\Sheet\55-GRADING PLAN.dwg July 07, 2023 - 11:11am

This document, together with the applicable bid and design documents, is intended only for the specific purpose and client for which it was prepared. It shall be used solely for the purpose intended and shall not be used for any other purpose without the written consent of the engineer.



- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED RIDGE LINE
 - PROPOSED SWALE
 - PROPOSED STORM MANHOLE (SOLID CASTING)
 - PROPOSED STORM MANHOLE (ROUND INLET CASTING)
 - PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
 - PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
 - PROPOSED FLARED END SECTION
 - PROPOSED RIPRAP
 - PROPOSED STORM SEWER
 - PROPOSED SPOT ELEVATION
 - PROPOSED HIGH POINT ELEVATION
 - PROPOSED LOW POINT ELEVATION
 - PROPOSED GUTTER ELEVATION
 - PROPOSED TOP OF CURB ELEVATION
 - PROPOSED CUSHION PAVEMENT ELEVATION
 - MATCH EXISTING ELEVATION
 - PROPOSED EMERGENCY OVERFLOW ELEVATION
 - PROPOSED TOP/BOTTOM OF WALL ELEVATION
 - PROPOSED DRAINAGE DIRECTION

- GRADING PLAN NOTES**
- PERFORM GRADING WORK IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTACT STATE 811 CALL BEFORE YOU DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF LAND DISTURBING ACTIVITIES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
 - IN PAVED AREAS, ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE THE SITE READY FOR SUB-BASE.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER BESEIGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - ELEVATIONS SHOWN REPRESENT FINISHED SURFACE GRADES. SPOT ELEVATIONS ALONG CURBS & GUTTER REPRESENT THE FLOW LINE UNLESS OTHERWISE NOTED.
 - EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNDESIRABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURBS AND GUTTER WITH SMOOTH UNIFORM SLOPES THAT PROVIDE PROPER DRAINAGE TO COLLECTION POINTS. MAINTAIN A MINIMUM SLOPE OF 1.5% IN ASPHALT PAVEMENT AREAS AND A MINIMUM SLOPE OF 0.50% IN CONCRETE PAVEMENT AREAS.
 - MAINTAIN A MINIMUM SLOPE OF 0.50% ALONG CURBS & GUTTER. REVERSE PAVEMENT GRADIENT AND CONSTRUCT "INFALL" CURB WHERE PAVEMENT DRAINS TOWARD THE GUTTER.
 - INSTALL A MINIMUM OF 4-INCHES OF AGGREGATE BASE MATERIAL UNDER PROPOSED CONCRETE CURBS & GUTTER, SIDEWALKS, AND TRAILS UNLESS OTHERWISE SPECIFIED.
 - GRADING FOR SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING CROSSING DRIVEWAYS, SHALL CONFORM TO CURRENT STATE & NATIONAL ADA STANDARDS:
ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 8.3% (1:12).
SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 2.0%.
SIDEWALK LONG-SLOPES SHALL NOT EXCEED 2.0%.
ACCESSIBLE PARKING STALLS AND ACCESSIBLE AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. A MAXIMUM SLOPE OF 1.50% IS PREFERRED.
 - UPON COMPLETION OF LAND DISTURBING ACTIVITIES, RESTORE ADJACENT OFF-SITE AREAS DISTURBED BY CONSTRUCTION TO MATCH OR EXCEED THE ORIGINAL CONDITION. LANDSCAPE AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4-INCHES OF TOPSOIL.
 - EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS.

PRELIMINARY - NOT FOR CONSTRUCTION

GRADING AND DRAINAGE PLAN

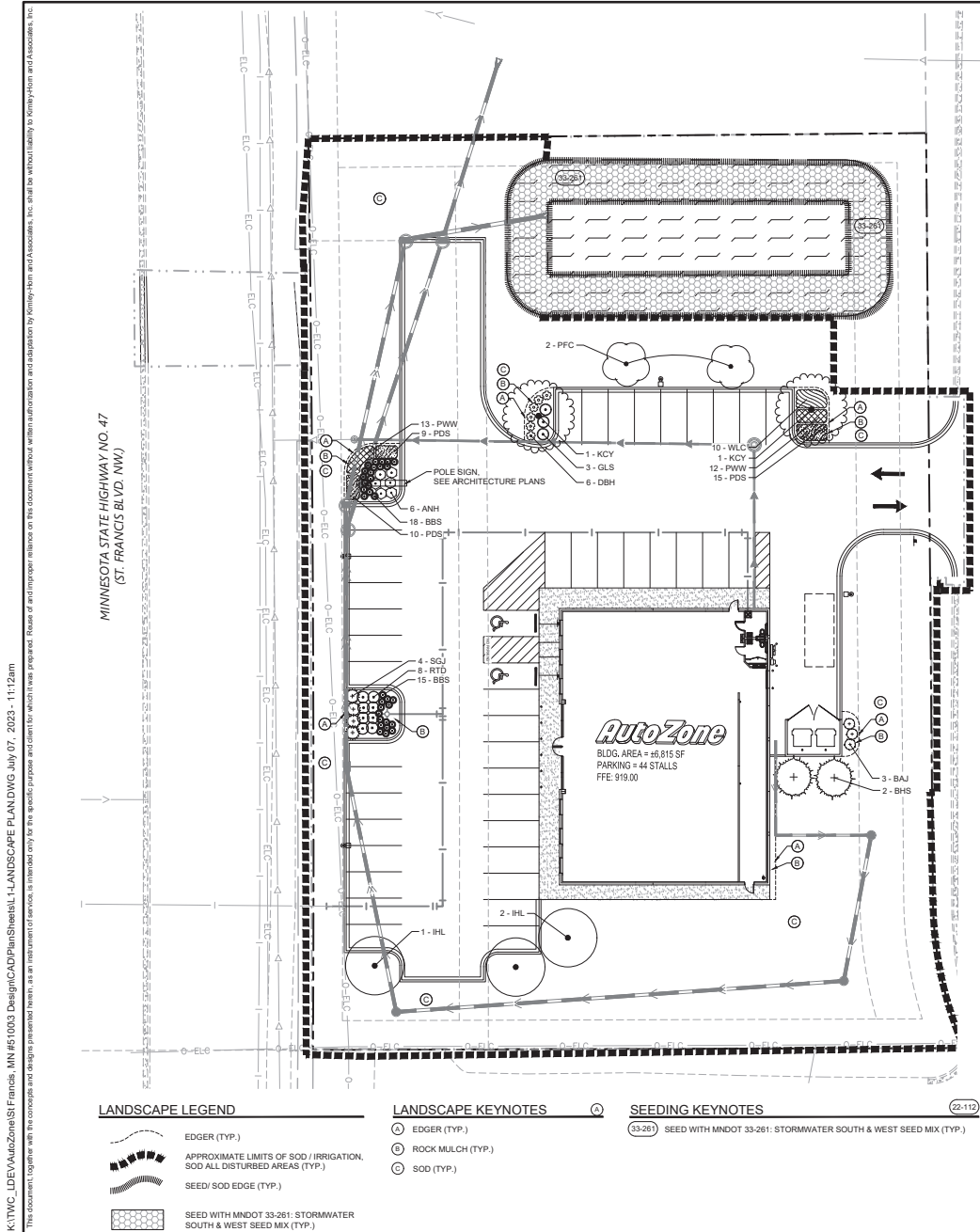
ST FRANCIS AUTOZONE
PREPARED FOR
AUTOZONE

SHEET NUMBER
C500

ST. FRANCIS MN

Kimley-Horn
2023 KIMLEY-HORN AND ASSOCIATES, INC.
707 EUBANK STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-464-4197
WWW.KIMLEY-HORN.COM

DATE	BY	REVISIONS
07/07/2023	ALC	1
07/07/2023	ALC	2
07/07/2023	ALC	3
07/07/2023	ALC	4
07/07/2023	ALC	5
07/07/2023	ALC	6
07/07/2023	ALC	7
07/07/2023	ALC	8
07/07/2023	ALC	9
07/07/2023	ALC	10
07/07/2023	ALC	11
07/07/2023	ALC	12
07/07/2023	ALC	13
07/07/2023	ALC	14
07/07/2023	ALC	15
07/07/2023	ALC	16
07/07/2023	ALC	17
07/07/2023	ALC	18
07/07/2023	ALC	19
07/07/2023	ALC	20
07/07/2023	ALC	21
07/07/2023	ALC	22
07/07/2023	ALC	23
07/07/2023	ALC	24
07/07/2023	ALC	25
07/07/2023	ALC	26
07/07/2023	ALC	27
07/07/2023	ALC	28
07/07/2023	ALC	29
07/07/2023	ALC	30
07/07/2023	ALC	31
07/07/2023	ALC	32
07/07/2023	ALC	33
07/07/2023	ALC	34
07/07/2023	ALC	35
07/07/2023	ALC	36
07/07/2023	ALC	37
07/07/2023	ALC	38
07/07/2023	ALC	39
07/07/2023	ALC	40
07/07/2023	ALC	41
07/07/2023	ALC	42
07/07/2023	ALC	43
07/07/2023	ALC	44
07/07/2023	ALC	45
07/07/2023	ALC	46
07/07/2023	ALC	47
07/07/2023	ALC	48
07/07/2023	ALC	49
07/07/2023	ALC	50
07/07/2023	ALC	51
07/07/2023	ALC	52
07/07/2023	ALC	53
07/07/2023	ALC	54
07/07/2023	ALC	55
07/07/2023	ALC	56
07/07/2023	ALC	57
07/07/2023	ALC	58
07/07/2023	ALC	59
07/07/2023	ALC	60
07/07/2023	ALC	61
07/07/2023	ALC	62
07/07/2023	ALC	63
07/07/2023	ALC	64
07/07/2023	ALC	65
07/07/2023	ALC	66
07/07/2023	ALC	67
07/07/2023	ALC	68
07/07/2023	ALC	69
07/07/2023	ALC	70
07/07/2023	ALC	71
07/07/2023	ALC	72
07/07/2023	ALC	73
07/07/2023	ALC	74
07/07/2023	ALC	75
07/07/2023	ALC	76
07/07/2023	ALC	77
07/07/2023	ALC	78
07/07/2023	ALC	79
07/07/2023	ALC	80
07/07/2023	ALC	81
07/07/2023	ALC	82
07/07/2023	ALC	83
07/07/2023	ALC	84
07/07/2023	ALC	85
07/07/2023	ALC	86
07/07/2023	ALC	87
07/07/2023	ALC	88
07/07/2023	ALC	89
07/07/2023	ALC	90
07/07/2023	ALC	91
07/07/2023	ALC	92
07/07/2023	ALC	93
07/07/2023	ALC	94
07/07/2023	ALC	95
07/07/2023	ALC	96
07/07/2023	ALC	97
07/07/2023	ALC	98
07/07/2023	ALC	99
07/07/2023	ALC	100



PLANT KEY

DECIDUOUS TREE	CODE	COMMON NAME	ORNAMENTAL GRASSES	CODE	COMMON NAME
IHL		IMPERIAL HONEYLOCUST	BBS		BIG BLUESTEM
KCY		ESPRESSO KENTUCKY COFFEETREE	PDS		PRAIRIE DROPSOED
EVERGREEN TREE	CODE	COMMON NAME	PERENNIALS	CODE	COMMON NAME
BHS		BLACK HILLS SPRUCE	PWW		POW WOW WILDBERRY CONEFLOWER
PFC		PRAIRIFIRE CRAB APPLE	WLC		WALKERS LOW CATMINT
CONFEROUS SHRUBS	CODE	COMMON NAME			
BAJ		BLUE ARROW JUNIPER			
SGJ		SEA GREEN JUNIPER			
DECIDUOUS SHRUBS	CODE	COMMON NAME			
ANH		ANNABELLE HYDRANGEA			
DBH		DWARF BUSH HONEYSUCKLE			
GLS		GRO-LOW FRAGRANT SUMAC			
RTD		RED TWIG DOGWOOD			

LANDSCAPE SUMMARY

ZONE: RETAIL	
TREE CALIPER REQUIRED:	THE MINIMUM NUMBER OF CALIPER INCHES OF TREES REQUIRED SHALL BE DETERMINED BY DIVIDING THE TOTAL GROSS SQUARE FOOTAGE OF ALL FLOORS OF A BUILDING BY THREE HUNDRED TWENTY (320).
	21 CAL. INCHES = (6.815 BUILDING S.F. / 320)
TREE CALIPER PROVIDED:	22.5 CAL. INCHES
	5 - 2.5" CAL. DECIDUOUS TREE 2 - 6" HT. EVERGREEN TREE 2 - 2" CAL. ORNAMENTAL TREE
* FOR THE PURPOSES OF THIS ORDINANCE, A FOUR (4) FOOT TALL EVERGREEN TREE IS EQUAL TO TWO (2) CALIPER INCHES.	
TREE FULFILLMENT REQUIRED:	THE COMPLEMENT OF TREES FULFILLING THE CALIPER-INCH REQUIREMENT TO NOT BE LESS THAN 25 PERCENT DECIDUOUS, 25 PERCENT EVERGREEN, AND 10 PERCENT ORNAMENTAL. FOR THE PURPOSES OF THIS ORDINANCE, A FOUR (4) FOOT TALL EVERGREEN TREE IS EQUAL TO TWO (2) CALIPER INCHES.
TREE FULFILLMENT PROVIDED:	22.5 TOTAL CAL. INCHES
	12.5 DECIDUOUS CAL. INCHES / 56 % (12.5 CAL. INCHES / 22.5 TOTAL CAL. INCHES) 6 EVERGREEN CAL. INCHES / 27 % (6 CAL. INCHES / 22.5 TOTAL CAL. INCHES) 4 ORNAMENTAL CAL. INCHES / 18 % (4 CAL. INCHES / 22.5 TOTAL CAL. INCHES)
TREE DIVERSITY REQUIRED:	DECIDUOUS AND EVERGREEN TREES SHALL BE OF A SUFFICIENT DIVERSITY SUCH THAT NOT MORE THAN 25 PERCENT OF THE TOTAL CALIPER INCHES SHALL BE WITHIN THE SAME GENUS.
TREE DIVERSITY PROVIDED:	6 DECIDUOUS CAL. INCHES = (22.5 CAL. INCHES * 25) 6 EVERGREEN CAL. INCHES = (22.5 CAL. INCHES * 25)
PLANTING ISLAND REQUIRED:	PLANTING ISLANDS MAY OCCUPY AT LEAST FIVE (5) PERCENT OF THE REQUIRED PARKING AREA.
	760 PLANTING ISLAND S.F. = (15,207 TOTAL PARKING AREA * 0.05)
PLANTING ISLAND PROVIDED:	760 PLANTING ISLAND S.F.
PARKING AREA LANDSCAPE REQUIRED:	A MINIMUM PERIMETER TREE PLANTING OF ONE (1) PER 60 FEET OF PARKING LOT PERIMETER.
	4 TREES = (237 L.F. PARKING LOT PERIMETER / 60)
PARKING AREA LANDSCAPE PROVIDED:	4 TREES
INTERIOR PARKING AREA REQUIRED:	INTERIOR PARKING AREAS SHOULD HAVE A MINIMUM OF ONE (1) TREE PER 10 SPACES (EXCLUDING PERIMETER SPACES) PLANTED IN PARKING LOT ISLANDS.
	4 TREES = (44 TOTAL PARKING SPACES / 10)
INTERIOR PARKING AREA PROVIDED:	4 TREES

LANDSCAPE LEGEND

- EDGER (TYP.)
- APPROXIMATE LIMITS OF SOD / IRRIGATION, SOD ALL DISTURBED AREAS (TYP.)
- SEED / SOD EDGE (TYP.)
- SEED WITH MNDOT 33-261: STORMWATER SOUTH & WEST SEED MIX (TYP.)

LANDSCAPE KEYNOTES

- EDGER (TYP.)
- ROCK MULCH (TYP.)
- SOD (TYP.)

SEEDING KEYNOTES

- SEED WITH MNDOT 33-261: STORMWATER SOUTH & WEST SEED MIX (TYP.)



PRELIMINARY - NOT FOR CONSTRUCTION

ST FRANCIS
AUTOZONE
PREPARED FOR
AUTOZONE

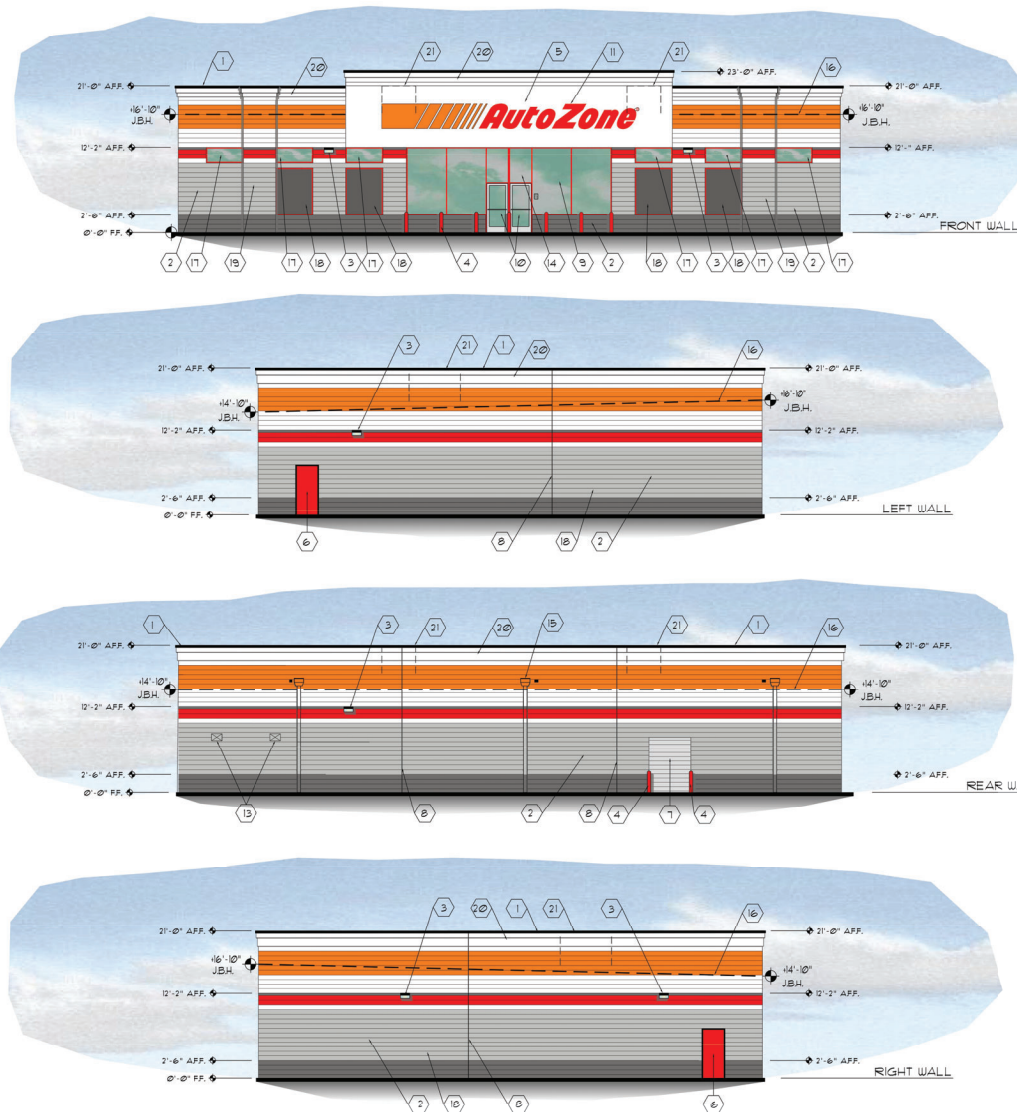
LANDSCAPE PLAN

MM PROJECT NO.	07072023	DATE	07072023	SCALE	AS SHOWN	DESIGNED BY	SSS	CHECKED BY	SSS	DATE	07072023	U.S. NO.	5308
MM PROJECT NAME	ST FRANCIS AUTOZONE												
MM PROJECT LOCATION	ST FRANCIS AUTOZONE												

Kimley-Horn
2023 KIMLEY-HORN ASSOCIATES, INC.
707 E. 10TH STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: (612) 464-1197
WWW.KIMLEY-HORN.COM



Know what's below.
Call before you dig.



Color Elevation
 AutoZone Store #5100
 ST. Francis, MN

AutoZone

A-2



**ENGINEERING REVIEW
for the City of St. Francis
by
Hakanson Anderson**

Submitted to: Colette Baumgardner, Community Development Director

cc: Kate Thunstrom, City Administrator
Beth Richmond, City Planner
Wade Davis, Autozone, Inc.

Reviewed by: Shane Nelson, Assistant City Engineer

Date: August 8, 2023

**Proposed
Project:** Autozone

Street Location: Not Assigned

Applicant: AutoZone, Inc.

Owners of Record: Jason Semler

Jurisdictional Agencies: City of St. Francis, URRWMO, MnDOT, MPCA
(but not limited to)

Permits Required: City Approval, MnDOT Approval, NPDES Construction
(but not limited to) Permit

INFORMATION AVAILABLE

Auto Zone Store Development Final Engineering Plans, dated 7/7/2023, prepared by Kimley-Horn

Stormwater Management Plan, dated 7/7/2023, prepared by Kimley-Horn

Design Phase Geotechnical Evaluation Report, dated 1/11/2023, prepared by Chosen Valley Testing

VEHICULAR TRAFFIC / PARKING LOT DESIGN

1. The project proposes to receive access from Aztec Street NW. The access location and traffic flow provided through the parking lot appears acceptable.
2. There is an existing access onto Highway 47 that is located on this property. The removal of the access will require a permit from MnDOT for work within their right-of-way. The Applicant shall obtain all necessary permits from MnDOT and adhere to any permit requirements.
3. Please provide a commercial concrete apron / cross gutter at the driveway entrance onto Aztec Street.

GRADING, DRAINAGE AND EROSION CONTROL

1. Please provide a storm sewer stub beginning at CB 104 and terminating ten feet to the south to allow for the off-site drainage to be conveyed via storm sewer at a future date.
2. Please provide drainage and utility easement over the storm sewer from the stub south of CB 104, to FES 100 and including the stormwater basin.
3. Please provide a detail for the proposed infiltration basin. It appears (from the soil borings) that the bottom of the basin may be near a clay layer in the soil. Please evaluate and consider infiltration mix soil at the bottom of the infiltration basin, if necessary.
4. Please specify an appropriate seed mix for the infiltration basin, including the slopes. Alternatively, if the seed mix / planting schedule has already been prepared please direct us to the location in the plans.

SANITARY SEWER AND WATER SERVICE

1. This site proposes to connect to the sanitary sewer and water service stubs which are located at the west side of the property. The proposed utility connections to the City's sanitary sewer and water system are acceptable.

STORMWATER MANAGEMENT

1. The stormwater pond, once constructed, will be a private pond and the landowner will be responsible for the long-term operation and maintenance. In accordance with City ordinances, the Applicant must enter into a Stormwater Maintenance Agreement with the City to ensure the long-term operation and maintenance. (Section 10-93.5.H)

OTHER

1. The City recently updated its Private Development Standards. Please utilize the updated Standard Plates, which are to be provided under separate cover.
2. Please review the storm sewer lines depicted on the Landscape Plan. The current Landscape Plan depicts two storm sewer alignments, one of which we assume is outdated.

SUMMARY AND/OR RECOMMENDATIONS

We recommend approval of the Site Plan subject to the Applicant addressing the conditions as outlined herein and subject to the Applicant entering into a Site Performance Agreement with the City with all required counterparts.