



CITY COUNCIL REGULAR MEETING

St. Francis Area Schools District Office, 4115 Ambassador Blvd. NW

Monday, November 07, 2022 at 6:00 PM

AGENDA

- 1. CALL TO ORDER/PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL**
- 3. APPROVAL OF AGENDA**
- 4. CONSENT AGENDA**
 - A. City Council Minutes - October 17, 2022
 - B. Anoka County Municipal Wellhead Protection Implementation JPA
 - C. Ditch Cleaning
 - D. Site Improvement Performance Agreement for Dollar General
 - E. Development Agreement for Meadows 4th Addition
 - F. Accept Donation
 - G. Planning Commission Appointments to Fill Vacancy
 - H. Payment of Claims
- 5. MEETING OPEN TO THE PUBLIC**
- 6. SPECIAL BUSINESS**
- 7. PUBLIC HEARING**
 - A. Miscellaneous Special Assessments
Resolution 2022-58 Certifying Miscellaneous Assessments
- 8. OLD BUSINESS**
- 9. NEW BUSINESS**
 - A. Public Works Building Lease
 - B. Hwy 47 Reconstruction Update and Grant Writing Agreement
 - C. Special Meeting to Canvass Election Results
- 10. MEETING OPEN TO THE PUBLIC**
- 11. REPORTS**
 - A. Fire Department Monthly Report - October
- 12. COUNCIL MEMBER REPORTS**
- 13. UPCOMING EVENTS**
 - TBD - Special Meeting to Canvass Election Results
 - November 16 - Planning Commission Meeting
 - November 21 - City Council Meeting
 - November 24 - City Offices Closed for Thanksgiving Holiday
- 14. ADJOURNMENT**

Councilmember Joe Muehlbauer will attend via Zoom from:

5223 S Priest Drive Tempe, AZ 85283

Join Zoom Meeting

<https://us02web.zoom.us/j/84146479551?pwd=SHJwZDBGbWJSYIFwWG11NERJSIZHdz09>

Meeting ID: 841 4647 9551

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CITY OF ST. FRANCIS
CITY COUNCIL AGENDA

St. Francis Area Schools District Office 4115 Ambassador Blvd. NW
October 17, 2022
6:00 p.m.

1. **CALL TO ORDER/PLEDGE OF ALLEGIANCE**

The regular City Council meeting was called to order at 6:00 p.m. by Mayor Steve Feldman.

2. **ROLL CALL**

Members Present: Mayor Steve Feldman, Councilmembers Robert Bauer, Kevin Robinson, Sarah Udvig, and Joe Muehlbauer (attending remotely).

Also present: Deputy City Administrator/City Clerk Jenni Wida, Community Development Director Colette Baumgardner, Assistant City Attorney Dave Schaps (Barna, Guzy & Steffen), Public Works Director Paul Carpenter, Fire Chief Dave Schmidt, Liquor Store Manager John Schmidt, Finance Director Darcy Muvihill, City Engineer Craig Jochum (Hakanson Associates, Inc.), Police Chief Todd Schwieger.

3. **APPROVAL OF AGENDA**

MOTION BY: UDVIG SECOND: ROBINSON APPROVING THE REGULAR CITY COUNCIL AGENDA

A roll call vote was performed:

Mayor Feldman	aye
Councilmember Robinson	aye
Councilmember Udvig	aye
Councilmember Muehlbauer	aye
Councilmember Bauer	aye

Motion carried 5-0

4. **CONSENT AGENDA**

- A. City Council Minutes - October 3, 2022
- B. 2022 Street Rehabilitation Project – Pay Estimate No. 1
- C. Acknowledgement to Conduct Excluded Bingo
- D. Gambling Permit – St. Francis Athletics Booster Club
- E. Poppy Street and 229th Lane Reconstruction Project – Pay Estimate No. 2
- F. Resolution Calling for Hearing on the Poppy Street and 229th Lane Reconstruction Project
Resolution 2022-55 Call for a Public Hearing on proposed assessment for Poppy Street and 229th Lane

- G. Turtle Ponds 4th Addition Letter of Credit Reduction
- H. Turtle Ponds 5th Addition Letter of Credit Reduction
- I. Embedded Systems Contract Renewal
- J. Brunton Contract for Services
- K. Rink Management
- L. Routine Recycling Agreement
- M. Rental License Approval
- N. Payment of Claims

Mayor Feldman stated he wanted to pull items, G, H, and J for explanation and discussion.

MOTION BY: MUEHLBAUER SECOND: BAUER APPROVING THE CONSENT AGENDA ITEMS A, B, C, D, E, F, I, K, L, M, and N.

A roll call vote was performed:

Mayor Feldman	aye
Councilmember Robinson	aye
Councilmember Udvig	aye
Councilmember Muehlbauer	aye
Councilmember Bauer	aye

Motion carried 5-0

Mayor Feldman explained that for items G and H the letter of credits are actually 125% and not 150%; however, the monetary values are correct. For item J, Assistant City Attorney Schaps gave some clarification of the contract and explained that litigation had been selected in the case of a dispute. He added that the part about arbitration is not in the contract. He stated the agreement has been reviewed and recommended.

Mayor Feldman shared that he has always shared with Staff that we are all human and mistakes need to be learned from. He added he is against arbitration because it leaves it to a third party to make a decision that cannot be changed.

MOTION BY: ROBINSON SECOND: BAUER APPROVING THE CONSENT AGENDA ITEMS G, H, and J.

A roll call vote was performed:

Mayor Feldman	aye
Councilmember Robinson	aye
Councilmember Udvig	aye
Councilmember Muehlbauer	aye
Councilmember Bauer	aye

Motion carried 5-0

5. MEETING OPEN TO THE PUBLIC

Mayor Feldman asked City Clerk Wida if they had anyone wanting to speak. Wida said they did not.

6. SPECIAL BUSINESS

7. PUBLIC HEARINGS – NONE

8. OLD BUSINESS

A. Rivers Edge 7th Addition Rezoning – 2nd Reading

*Ordinance 300 Approving a rezoning request for Outlot A Rivers Edge 2nd Addition from UR to the Rivers Edge PUD

*Resolution 2022-56 Authorizing the summary publication of Ordinance 300

Community Development Director Baumgardner reviewed the Staff report in reference to the application that was reviewed at the last meeting which was approved. She added this gave the public two weeks to review and no one has come forward with any concerns with adoption of the ordinance. She shared that Staff recommends approval.

MOTION BY: BAUER SECOND: MUEHLBAUER ADOPTING RIVERS EDGE 7TH ADDITION REZONING - 2ND READING ORDINANCE 300 APPROVING A REZONING REQUEST FOR OUTLOT A RIVERS EDGE 2ND ADDITION FROM UR TO THE RIVERS EDGE PUD.

A roll call vote was performed:

Mayor Feldman	aye
Councilmember Robinson	aye
Councilmember Udvig	aye
Councilmember Muehlbauer	aye
Councilmember Bauer	aye

Motion carried 5-0

MOTION BY: UDVIG SECOND: ROBINSON ADOPTING RESOLUTION 2022-56 AUTHORIZING THE SUMMARY OF PUBLICATION OF ORDINANCE 300.

A roll call vote was performed:

Mayor Feldman	aye
Councilmember Robinson	aye
Councilmember Udvig	aye
Councilmember Muehlbauer	aye
Councilmember Bauer	aye

Motion carried 5-0

9. NEW BUSINESS

A. Subdivision Recording Extension – Meadows of St. Francis 4th Addition

*Resolution 2022-57 Extending the deadline for the recording of The Meadows of St. Francis 4th Addition Subdivision

Community Development Director Baumgardner reviewed the Staff report and discussed that the applicant has requested to extend their deadline.

Mayor Feldman asked if the applicant did not know that there was sewer and water access on the other lots. Baumgardner shared she is not sure where they thought the utility access point was or if they hadn't put together a utility plan when they submitted it to us but the City did not have the utility plan when the subdivision was approved initially.

Mayor Feldman asked if the lot purchased by Dollar General had access and the other three did not. Baumgardner said the lot south of Dollar General does not have access but the rest do.

Mayor Feldman asked if the sewer and water was the only reason they were doing an extension. Baumgardner stated it is the primary reason for the extension, everything else with the site plan has been finalized.

Bauer stated that there was a plan for there to be an additional parking lot to the south and now with moving the line over, does this put Dollar General out of parking conformity. Baumgardner said no, everything with the Dollar General site plan will remain the same as what was reviewed in July.

Mayor Feldman asked how far the lot line will move. Baumgardner stated she believes it is eight feet.

Robinson asked if it was originally two lots rather than the four. He asked if this makes the other lots viable with the size. Baumgardner stated that the subdivision will stay the same as what was reviewed by Council in July and they expect the lots to be sellable. Robinson asked if they would not only be sellable but also functional as there were wetlands in this area. Baumgardner said yes the lots will be functional. She stated there is an allowance within the City Code to have shared parking between the sites.

MOTION BY: ROBINSON SECOND: BAUER ADOPTING SUBDIVISION RECORDING EXTENSION - MEADOWS OF ST. FRANCIS 4TH ADDITION UNTIL DECEMBER 31st, 2022 RESOLUTION 2022-57 EXTENDING THE DEADLINE FOR THE RECORDING OF THE MEADOWS OF ST. FRANCIS 4TH ADDITION SUBDIVISION.

A roll call vote was performed:

Mayor Feldman	aye
Councilmember Robinson	aye
Councilmember Udvig	aye
Councilmember Muehlbauer	aye
Councilmember Bauer	aye

Motion carried 5-0

10. MEETING OPEN TO THE PUBLIC – NONE

11. REPORTS

A. Fire Department Monthly Report - September

Corey and Ginnie from Brunton Architects came forward to talk about the City Hall Fire Station. Corey thanked the City for all their work up to this point and stated they would like to have more conversation with the City Staff to make sure everything fits and everyone is comfortable with the design. He added they were also looking at having open communication with the community to talk about a design and why this firm was hired. Ginnie shared there have been great discussions of how they will be able to meet the City's budget and timeline needs. Corey shared there is light at the end of the tunnel and there is a need to strategize the right time to start the project based on complexity and timing.

Robinson shared that he has been a part of the Building Committee so he is content and is looking forward to sharing this with the public and showing the deficiencies that are currently being dealt with and how this will be a bright spot in the City when it is completed.

Mayor Feldman shared that he had spoken with Schaps, Robinson, and Ginnie and Corey with Brunton. He stated it is important for the people to know what kind of organization has been hired for this project as it will take quite a long time. He shared this discussion started about five years ago by saying that if the other buildings get up and running, within financial reasonability, a new City Hall Fire Station should be thought about. The other buildings are now requiring bigger ticket items. He stated the importance of allowing the public to ask questions and the Council being transparent with the public. He wanted the people to understand this company has been vetted and they have seen the work they have done. He shared that as they work through phases there will be a rendering of what the project will look like. He thanked Corey and Ginnie for coming tonight and thanked the Building Committee for their work and due diligence on this project.

Fire Chief Schmidt presented the September monthly report. He highlighted that the response time goal of under 10 minutes was exceeded with the average response time of 8 minutes and 11 seconds, the number of calls was down this month with only 55 runs, and the average numbers of firefighters per response was 5.1 and there are still two members out on military leave and a third member was

lost to long term injury. He shared that the fire runs were up this month which is typical for this time of year. He stated the variance usage was down this month and there was only one potential COVID patient contact and only one ambulance response time over 20 minutes, which are encouraging numbers. He also shared that the fire inspections were back on track with five fire inspections and four reinspections. He thanked everyone who showed up to the French toast breakfast and those who put time and effort into the event.

Mayor Feldman said it was a good report and was happy to see the COVID numbers down. He asked if the lieutenants had been done yet. Schmidt said the applicants closed and they are working on putting together an interview panel.

Mayor Feldman stated that the survey Schmidt did seemed very positive. He liked the fact that the Fire Department has tours that lets people see the situation of the current Fire Station building so that they can know why they are talking about the new City Hall Fire Station.

Robinson shared it was a great report and stated that the response time for ambulances is great. He added that there are other communities that are looking at \$9M-\$10M for a Fire Station. He emphasized that the Fire Station is not a want but a need. He shared he was at the french toast breakfast and it was great to see the participation at the event.

Muehlbauer thanked Schmidt for the report and asked him to thank the Staff and firefighters.

Udvig said it was a great report and was glad to see that there were less COVID calls. She shared it was fun to interact with the firefighters at the event and wanted Schmidt to let all the firefighters know how appreciated they are.

Bauer stated it was a great report and reiterated what Udvig said and wanted Schmidt to thank the firefighters for their work in the community.

Mayor Feldman stated he could not make it to the French toast breakfast due to his health issues.

B. Police Department Quarterly Report

Police Chief Schwieger gave the quarterly report for the Police Department and shared it was a busy summer. He highlighted the events that took place, the calls for service, which increased from the second quarter, the cases referred to investigations, driving citations, and the Minnesota Towards Zero Deaths program. He shared that there are two officers in training that are doing very well and hope to have them on their own by early 2023. He gave a shout out to the Police Department officers and Staff for their hard work during this time of staffing shortages.

Mayor Feldman shared that he was surprised by the Towards Zero Death numbers with things like seatbelt wearing. He hoped that the open garage door issues would change with winter coming. He encouraged people to make a call to police if they see something that does not look right. He thanked both the Fire and Police Departments for doing a great job in the events that they do by making the people feel comfortable to call police or fire for help.

Bauer stated it was a great report and wanted the community to know that thefts are up and to protect their property and neighbors and to call if there is any suspicious activity. He also encouraged calling a cab or other transportation as DUIs and DWIs are up. He asked Schwieger to thank his officers.

Udvig thanked Schwieger for his report. She asked Schwieger if he could remind the residents that it is okay to call 911, especially on weekends. Schwieger said that 911 can be called for everything but shared there is also a non-emergency line to call. He stated the Police Department can be called during business hours, but if an officer is needed, call 911. Mayor Feldman added that the non-emergency number is 427-1212.

Udvig noted that the Prescription Take Back Day is scheduled for October 29 from 10am-2pm at the Police Department. She thanked Schwieger for his work and asked him to pass along appreciation to his Staff.

Mayor Feldman stated that the last Prescription Take Back event had a use volume of turn out. Schwieger said that over 200 pounds of medications were collected. He said that this event may have a smaller turnout since it is not a County event, however the take back box is always available. Mayor Feldman said if things like this are made easy, people will do it.

Muehlbauer asked Schwieger to thank all of his officers for all they do. He shared that he has had people asking him about the sunken line and stated he referred residents back to the information from the Police Department.

Robinson thanked Schwieger for his and his officers' service and creativity with events. He asked Schwieger to explain what all assists were on the non-reportable offenses. Schwieger said that all assists are assisting other agencies like Anoka County, Isanti County, the Sheriff's Office, anything that is not dispatched directly to the Police Department.

Robinson asked about Nixle. Schwieger said that Nixle had been dialed back over the summer and is only sending alerts for certain things and the subscription is very consistent. Mayor Feldman shared he thought there were 1,100 to 1,200 subscribers to Nixle, which is beyond expectation.

Mayor Feldman highlighted the events like National Night Out, Cone with a Cop and Stay Home Safe for Kids, as well as upcoming events like the Prescription

Take Back Day, Santa at the Police Department and Stop Bullying Day. He thanked both the Fire and Police Departments for their work for public safety.

C. Community Development Quarter 3 Report

Community Development Director Baumgardner presented her first quarterly report on community development. Since coming on board this quarter, she and Staff have worked to increase community partnerships, specifically with the Chamber of Commerce and the school district. She highlighted the economic development and the Bridge Street and Highway 47 Corridors. She discussed the housing developments being discussed which are, Rivers Edge Development, Turtle Ponds, 4th, 5th, and 6th additions, Eagle Point at Vista Prairie, the Bluffs of Rum River, and the Brothers Development. She then discussed the commercial development projects of Meadows 4th, Patriot Parkway, and Northrup Grumman. She was excited to share the work of the building department and shared that quarter three was a huge quarter for the Staff, specifically Lisa Stoll, the office administrator, and Phil Dahlheimer, the building official, in which they issued 363 permits. She mentioned there has been a slowing of new residential construction and only received one new residential home request in quarter three. She stated a few requests have come from homeowners wanting to build their own homes, but by the State there is only a certain amount that a homeowner can do without a contractor.

Mayor Feldman asked for clarification on this. Baumgardner explained that homeowners can only do a certain percentage of the work on their own per the State. Mayor Feldman shared that he liked this idea because codes are made for people who do things that they should not be doing on their own. He sees the desire to save money but it is more important that the house is built right.

Baumgardner continued her presentation by sharing that permits based on valuation are down as well as the permit revenue. She shared that there were 42 properties that have been active within Code Enforcement. Lastly, she shared that two Planning Commission members resigned within quarter three and she has been interviewing candidates for the positions.

Mayor Feldman shared that Jodie and Lyle are doing an exceptional job and he is happy to see better code compliance. He stated that revenue is not made through these fines, but through building permits and increased business coming into the City with residential and commercial growth. He said that when people know about an issue, most of the time they will comply. He shared this program is working out very well and exceeding his expectations. He mentioned that of the 363 permits, he wishes they all would have been homes, but they are all revenue for the City. He pointed out that there are an estimated 35 lots remaining in the City with water and sewer connections and 32 platted private lots. He stated that the new housing developments add to the City's inventory which increases revenue. He said this Council serves the people of St. Francis and he does not care to hear outside influence. He knows that with these new housing developments will come outside

influence and it is important to listen to the influence that matters, not the opinions of those outside the City.

Muehlbauer shared it was nice to meet Baumgardner in person and thanked her for her and Staff's work.

Robinson said Baumgardner did a great job with her first report and thanked her and the Staff for their innovative and streamlined work. He asked about the additional reinspections for people building their own homes and if these cost money. Baumgardner shared that with a building permit, it comes with 15 inspections from Phil, the building official. She stated Phil has not had one that he has had to go over the number of inspections given with the permit.

Robinson was glad that these are not yet costing the City more money. He understands that a homeowner may want to do the work on their own to save money, but not if it ends up costing the City more money in inspections. Mayor Feldman stated that is a good point and that he knows Phil does a great job with inspections because of his building knowledge.

Bauer welcomed Baumgardner and said it was a great report. He reiterated to stay involved with the City to help progress the best it can to grow St. Francis.

Udvig stated it was a great report and the Council is glad to have Baumgardner on board.

12. COUNCIL MEMBER REPORTS

Muehlbauer shared that he attended the Work Session meeting last week where they discussed water rates and the new developments, which is still being discussed and he hopes residents call with any questions or concerns. Mayor Feldman added that the water rates were kept as low as possible for as long as they could.

Udvig also attended the Work Session meeting last week and she was able to attend the Fire Department open house where she got to talk to some new residents. She shared she has started reaching out to a few different groups to let them know that there are openings on different Commissions and she was happy to see people pick up applications for the Fire Department. She said it is nice to see the fire fighters be so encouraging and enthusiastic with potential applicants.

Bauer stated he also attended the Work Session meeting and it was very fruitful. He apologized for missing the French toast breakfast but he heard it was well attended.

Robinson also attended the Work Session meeting where they talked about the creation of a Park Commission and he is hopeful that this comes together for events and to get the community involved. He stated more information will be

coming on this. He shared they talked about the water and sewer rates and stated that a City that stays stagnant does not go anywhere. He said the rates will be fair. He is excited about what was discussed in Baumgardner's Community Development report. He did a drive by at the Siwek Park and it was looking good and the community should be proud.

Mayor Feldman agreed with Robinson and gave kudos to Public Works Director Carpenter and his Staff for pulling off this park, which is the first park for this administration. He is appreciative of the developer of Rivers Edge and stated it is nice to have this park in front of these houses for kids to play safely at.

Mayor Feldman asked Liquor Store Manager Schmidt for an update on the store. Schmidt stated there will be a regional MMVA meeting on November 2nd. He said the store is staying busy from open to close. The new monitor is advertising for other businesses as well as the store. He stated the new credit card machines were just received and they are in the process of getting those installed and programmed.

Mayor Feldman said things seem to be trending in the right direction and he is glad that the shrubs in the front were taken down so that the store can be seen.

Mayor Feldman asked City Engineer Jochum for an update on Poppy Street. He noted it seems like they are moving on the road now that the utilities are done. He added that sod will not be put out this year since it is too late in the year. He was happy to see that the sewer line was taken over from Oak Grove. He stated that the curb and sidewalk alone have changed Poppy Street. Jochum said there is a hope for asphalt by Wednesday at the earliest. He mentioned the sidewalks could be finished by Friday or early next week. He stated everything should be looking good by the end of next week.

Mayor Feldman is excited to see the asphalt come in after being on the dirt road and what it kicks up. He wishes it would not have taken two years to get to this point but he thinks this project is doing right by the residents. He stated that Joe Coleman did a few things well for the City in his time, including the road program and setting aside money for the City Hall Fire Station. He emphasized how all roads need work and it is nice to see that the City is on top of the roads with proactive thinking. He shared that no matter what the economy does, he thinks this City will be able to handle it due to the Staff being very competent. He thanked Assistant City Attorney Schaps for his help with the Brunton Architect contracts in taking out the gray areas so that expectations were understood. He is happy that there was a good turnout for the French toast breakfast and appreciates the tours of the Fire Station.

13. UPCOMING EVENTS

November 7th - City Council Meeting @ 6:00 pm

November 16th - Planning Commission Meeting @ 7:00 pm

November 21st - City Council Meeting @ 6:00 pm

14. ADJOURNMENT

There being no further business, Mayor Feldman adjourned the regular City Council at 7:21 p.m.

Jennifer Wida, City Clerk

DRAFT



CITY COUNCIL AGENDA REPORT

TO: Kate Thunstrom, City Administrator
FROM: Paul Carpenter, Public Works Director
SUBJECT: Anoka County Municipal Wellhead Protection Implementation JPA
DATE: November 7, 2022

OVERVIEW:

In your Council Packets you will find a resolution authorizing the City of St Francis to enter into a Joint Powers Agreement with the Anoka County Municipal Wellhead Group. This Group is comprised of Anoka County and currently 14 Cities within Anoka County. The purpose of this group is to implement common elements of their wellhead protection plans; establish a joint user group to address common activities related to this agreement; authorize the County to act as facilitator and as agent contracting for any consultant services or applying for any common or jointly pursued grants; allocate the costs; and receive and disburse grant funds. The City of St Francis already has a Wellhead Protection Plan as required by the Department of Health. By joining this group, we are adding another “tool” to our tool box. We will be able to network and share the information of what works and what doesn’t for Wellhead Protection Plan implementation purposes. The City would likely benefit from the efficiencies and cost reductions of collaborative efforts of the County and member Cities.

ACTION TO BE CONSIDERED:

Recommend the City Council approves the Resolution for the City of St. Francis to become a member of the Wellhead Protection Implementation JPA.

BUDGET IMPLICATION:

None. This Group has not incurred any official expenditures since its inception.

Attachment:

- Anoka County Municipal Wellhead Protection Implementation JPA

Anoka County Municipal Wellhead Protection Implementation

Joint Powers Agreement

(Amended and Restated)

THIS AGREEMENT is made and entered into with the express purpose to amend and restate the Implementation Joint Powers Agreements between some of the parties from 2010 and 2014, and is made by and between the cities of Andover, Anoka, Blaine, Centerville, Circle Pines, Columbus, Coon Rapids, East Bethel, Fridley, Lexington, Lino Lakes, Ramsey, Spring Lake Park, and St. Francis (hereinafter referred to as "Cities") and the County of Anoka (hereinafter referred to as "County"), each acting by and through its governing body, pursuant to MN Stat. §471.59 providing for the joint exercise of powers. The Cities and the County are collectively referred to herein as the "parties". Each of the Cities individually, and separately the County individually, is sometimes referred to herein as a "party".

RECITALS

1. Pursuant to Minnesota Rule subp. 4720.5130 and the Minnesota Department of Health, the Cities, as public water suppliers, are required to prepare wellhead protection plans for their community water supplies. Some of the Cities outlined above entered into a Wellhead Protection Joint Powers Agreement in 1997 for purposes of developing the required plans. The group entered into an Implementation JPA in 2010 and 2014 to allow additional cities to join.
2. The County is committed to enhancing water resources protection and public health and finds it in the County's interest to facilitate and partner with the Cities.
3. The Cities and County desire to continue to coordinate their efforts to protect their well water supply for their communities and to implement the common elements of their wellhead protection plans jointly through efficient and cost effective cooperation among members.

NOW THEREFORE, in consideration of the mutual agreements contained herein, and in exercise of the powers granted by MN Stat. § 471.59, the parties to this Agreement agree as follows:

1. PURPOSE

- 1.1. The Cities and County agree that they have joined together to:
 - 1.1.1. implement common elements of their wellhead protection plans;
 - 1.1.2. establish a joint user group to address activities related to this agreement;

- 1.1.3. authorize the County to act as facilitator and as agent contracting for any consultant services or applying for any grants. Pursuant to § 6.4 County shall be fiscal agent for any pooled funds;
- 1.1.4. allocate costs; and
- 1.1.5. receive and disburse grants.

2. TERM

- 2.1. This agreement shall be effective upon the date of the last required signature and shall continue until terminated as provided herein.
- 2.2. Additional cities located in Anoka County who are public water suppliers may join this Agreement following the effective date. A city shall become a full member of this Joint Powers Agreement upon receipt of a Resolution by the Governing Board of the City, that authorizes the city's participation in, and decision to be bound by the terms of, this Agreement. No formal Addendum to this Agreement is necessary.
- 2.3. If a city joins after the effective date, that city is responsible for its proportionate share of any expenses incurred in implementing this Agreement for which the city will receive a benefit.

3. ANOKA COUNTY MUNICIPAL WELLHEAD GROUP

- 3.1. The governing body of each of the Cities shall appoint one representative to serve as a member of the Anoka County Municipal Wellhead Protection Group (hereinafter "Group").
- 3.2. One alternate member shall be appointed to the Group by the governing body of the Cities. The alternate may attend any meeting of the Group and, when the regular member is absent, vote on behalf of the City the member represents.
- 3.3. All members of the Group shall serve at the will and pleasure of the appointing authority. The appointing authority shall notify the Anoka County Administrator of the member or alternate member appointed to the Group and shall notify the Anoka County Administrator of any changes to their appointment.
- 3.4. Group members shall not be entitled to compensation or reimbursement for expenses incurred in attending meetings, except to the extent that the appointing authority might determine to compensate or reimburse the expenses of the member it appoints, in which case the obligation to make such payments shall be that of the appointing authority.

- 3.5. The County's Environmental Services Manager or its designee shall be an ex-officio non-voting member of the Group and shall serve as the facilitator to the Group.
- 3.6. The Group shall meet at regular intervals as determined by the Group.
- 3.7. A majority of all Group voting members shall constitute a quorum, but less than a quorum may adjourn a scheduled meeting.

4. GROUP RESPONSIBILITIES

- 4.1. The Group shall be responsible to:
 - 4.1.1. develop and update a work plan to perform joint wellhead protection activities;
 - 4.1.2. develop programs to achieve common wellhead education and protection objectives;
 - 4.1.3. recommend to the governing bodies and seek necessary approval of the Cities and County prior to expenditure of funds, whether to have the County contract with a consultant under the terms of this Agreement;
 - 4.1.4. apply for funds from any source it may identify and utilize the funds for the benefit of participating cities; and
 - 4.1.5. perform the activities as outlined in Section 5. Joint Powers Activities.

5. JOINT POWERS ACTIVITIES

- 5.1. Activities authorized by this agreement are to:
 - 5.1.1. Investigate methods and costs to jointly implement wellhead protection activities.
 - 5.1.2. Determine the process in which joint wellhead protection activities will be implemented.
 - 5.1.3. Request consultant(s) qualifications and proposals to implement part or the entire Group's work plan.
 - 5.1.4. Seek grants and other methods to fund implementation of the Group's wellhead protection activities.
 - 5.1.5. Establish the apportioned costs for each City to jointly implement the common elements indicated in their wellhead protection plans.
 - 5.1.6. Identify a fiscal agent for any joint funds received and to be expended.

- 5.2. The Group has developed a work plan to carry out orderly wellhead protection activities. The Group will periodically review the work plan and update it as necessary to efficiently meet the needs of the parties.
- 5.3. Prior to implementation of each wellhead protection project, the Group Facilitator will send notice to the Cities of the cost identified for the project. Within thirty (30) days of receipt of the notice, each city must either send a letter to the Group Facilitator indicating the city's interest in participation in the project or notify the other parties of its intention to refrain from participation in the project. In the event a city fails to indicate a reply, that city shall be deemed to have declined to participate in the project
- 5.4. If one or more city chooses to refrain from participation following receipt of notice provided in 5.3, the Group Facilitator will recalculate the costs identified with participation in the project and send notice of the recalculated cost to the remaining cities. If identified costs increase by more than 10%, each of the remaining cities will have thirty (30) days to reconsider participation in the project. If a city chooses to withdraw, the city must send the Group Facilitator a letter, within the ten day period, indicating the city will refrain from participation in the project. If an additional city or cities choose to withdraw, the Group will reevaluate the work plan and associated costs before sending a new notice under 5.3.
- 5.5. If the proposed project will benefit a city that desires to refrain from the project and that city cannot be removed from the project, and a majority of the Group affirm moving forward, that city may not refrain from participation.

6. FUNDING

- 6.1. Costs of for the Group's wellhead protection projects shall be allocated to each member city based on the proportion that each city's factors represent the total factor of all participating cities. The factors to be used shall be equally weighted and apportioned relevant to its presence and impact on each member party's wellhead plan goals.
- 6.2. The costs to be allocated to the cities shall be reduced by the amount of any grants received before allocation of the costs.
- 6.3. Each city will make payment of its pro-rata share for authorized activity expense to the County.
- 6.4. Funds paid by the Cities or received from any other source shall be managed by the County as fiscal agent.
- 6.5. Payments from the Cities must be received by the County before the County will incur any fiscal obligation.

- 6.6. All funds disbursed by the County pursuant to this Agreement shall be disbursed in a manner that is consistent with the method provided by law.
- 6.7. A strict accounting shall be made of all funds and a report of all receipts and disbursements shall be made by the County upon request.

7. COUNTY SERVICES

- 7.1. The County shall provide services to facilitate and assist the Group in the conduct of its affairs. The Environmental Services unit of the Anoka County Public Health and Environmental Services Department shall provide these services.
- 7.2. The County shall serve as fiscal agent for the Group for the purpose of receiving and dispersing funds as authorized by the Group and entering into contracts or grant applications on behalf of the Group.
- 7.3. The County shall maintain records and documents relating to matters that are the subject of this agreement. All such records shall be retained for a period of at least three years after termination of this agreement and, upon request of any party, shall be retained for any additional period requested. The records shall be available to inspection, review and audit by the parties and the State Auditor as provided by law during regular business hours.

8. CONTRACTS

- 8.1. Contracts and grant applications made pursuant to this Agreement shall be made by the County and shall conform to the requirements applicable to the County.

9. NONDISCRIMINATION AND COMPLIANCE WITH LAWS

- 9.1. In accordance with the County's Affirmative Action Plan and the County Commissioners' policy against discrimination, no person shall illegally, on the grounds of race, color, religion, sex, marital status, sexual orientation, public assistance status, handicap, age, or national origin, be excluded from full employment rights in, participation in, be denied benefits of, or be otherwise subjected to discrimination under and program, service or activity hereunder in accordance with the provisions of any and all applicable federal and state laws against discrimination.
- 9.2. During the performance of this Agreement, the Group and its agents shall comply with all applicable laws, ordinances, and regulations, including federal, state and local nondiscrimination regulations.

10. WITHDRAWAL

- 10.1. Any party shall have the right to withdraw from this Agreement in the following manner: The governing body of the withdrawing party shall pass a resolution declaring its intention to withdraw effective on a specified date, which date shall not be less than thirty (30) days from the date of the resolution, and shall send a copy of the resolution to each party's governing body not less than thirty (30) days before the effective date of withdrawal.
- 10.2. Withdrawal by a party shall not result in the discharge of any legal or financial liability incurred by that party before the effective date of withdrawal.

11. TERMINATION

- 11.1. This Agreement may be terminated upon mutual agreement of the parties by a joint resolution passed by the parties' governing bodies.
- 11.2. This Agreement shall terminate if, due to the withdrawal of parties, there are less than four remaining parties.

12. DISTRIBUTION OF PROPERTY

- 12.1. Upon termination of this Agreement, any remaining funds or property acquired under the terms of this Agreement shall be distributed to the cities in proportion to the respective contribution of the cities.
- 12.2. Upon termination of this Agreement, any payments due and owing or other unfulfilled financial obligations of a member party shall continue to be a lawful obligation of the party.

13. NOTICE

- 13.1. For purpose of notices to be given under this agreement, notices shall be directed as set forth:

Andover City Council 1685 Crosstown Blvd. NW Andover, MN 55304	Anoka City Council 2015 First Ave. N. Anoka, MN 55303	Anoka County Board of Commissioners Anoka County Government Center 2100 Third Avenue Anoka, MN 55303
Blaine City Council	Centerville City Council	Circle Pines City Council

10801 Town Square Drive Blaine, MN 55449	1880 Main Street Centerville, MN 55038-9794	200 Civic Heights Circle Circle Pines, MN 55014
Columbus City Council 6319 Kettle River Blvd. NE Columbus, MN 55025	Coon Rapids City Council 11155 Robinson Drive Coon Rapids, MN 55433-3761	East Bethel City Council 2241 221 st Ave NE East Bethel, MN 55011
Fridley City Council 6431 University Avenue NE Fridley, MN 55432	Lexington City Council 9180 Lexington Avenue Lexington, MN 55014	Lino Lakes City Council 600 Town Center Parkway Lino Lakes, MN 55014
Ramsey City Council 7550 Sunwood Dr. NW Ramsey, MN 55303	Spring Lake Park City Council 1301 81 st Avenue NE Spring Lake Park, MN 55432	St. Francis City Council 23340 Cree Street NW St. Francis, MN 55070

14. LIABILITY

- 14.1. Each party will be responsible for its own acts and behavior and the results thereof and shall not be responsible or liable for any other party's actions and consequences of those actions. The Minnesota Municipal Tort Claims Act, Minn. Stat. Ch. 466, governs the parties' liability. For actions taken on behalf of the Group, for purposes of determining total liability for damages, the participating governmental units and the joint board, if one is established, are considered a single governmental unit and the total liability for the participating governmental units and the joint board, if established, shall not exceed the limits on governmental liability for a single governmental unit.

15. ENTIRE AGREEMENT

- 15.1. This joint powers agreement constitutes the entire agreement of the parties on the matter related hereto.
- 15.2. This agreement shall not be altered or amended, except by agreement in writing signed by the parties hereto.
- 15.3. The Group may recommend amendments to this agreement to the governing bodies of the parties for their consideration.

16. SIGNATURES

- 16.1. All parties to this Agreement need not sign the same copy of the Agreement.

- 16.2. An original Agreement signed by each party to this Agreement shall be maintained in the Office of the Anoka County Attorney.

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IN WITNESS WHEREOF, the parties have executed this Agreement as of the date stated below:

CITY OF ST. FRANCIS

By: _____

Its: _____

Dated: _____

By: _____

Its: _____

Dated: _____

Approved as to Form and Execution:

By: _____
City Attorney



CITY COUNCIL AGENDA REPORT

TO: Kate Thunstrom, City Administrator
FROM: Paul Carpenter, Public Works Director
SUBJECT: Ditch Cleaning
DATE: November 7, 2022

OVERVIEW:

The ditch on Nacre Street is backing up causing drainage problems resulting in the gravel road becoming unstable in the spring. Over the past few years we have repaired portions of this stretch of road and unless we clean out the ditch this problem will continue to get worse.

ACTION TO BE CONSIDERED:

Council to accept the North Pine Aggregate bid for the maintenance work on Nacre Street.

BUDGET IMPLICATION:

This item is budgeted out of Stormwater Maintenance.

Attachments:

- Location Map
- DW Companies Quote
- North Pine Aggregate Quote



Mailing: PO BOX 129, Isanti MN 55040
Physical: 3024 Hwy 95 NE, Cambridge MN 55008

Date: 08-06-22

Company/Municipal Name		Address
Contact Person	Email Address	Phone Number
X		
Authorized Signature	Title	Date

26



14551 Lake Drive | Forest Lake, MN 55025 | 651.464.6802

To:	City Of St. Francis	Contact:	Jeremy Shook
Address:	23307 St. Francis Blvd NW, PO Box 730 St. Francis, MN 55070-0730	Phone:	(763) 753-4391
		Fax:	(763) 753-2666
Project Name:	233rd Ave Ditch Cleaning	Bid Number:	22-117
Project Location:	233rd Ave & Nacre Street, St. Francis, MN	Bid Date:	11/1/2022

Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
001	Clean Ditch Bottom (1,200 LF)	1.00	LS	\$6,500.00	\$6,500.00
002	Seed & Mulch (Disk Anchor) Ditch / Field Edge	1.00	LS	\$3,000.00	\$3,000.00

Total Bid Price: \$9,500.00

Notes:

- ***Excavation is based on an Estimated 0"-12" Cut in ditch bottom, to make ditch drain.***
- Price does not include: **Bonds and Permits; Clearing & Grubbing; Site Surveying;** Soil Testing; Gravel or Bituminous; Concrete Curb & Gutter; Traffic Control; Building or Structure Demolition; Hidden or Buried Debris; Hazardous Materials Removal; Street Sweeping; Dewatering; Site Utilities other than those listed above; Moving of Small Utilities; Import and/or Export of Dirt; Any Subsoil Corrections or Trench Borrow; **SWPPP Management/Maintenance outside of NPA Work; Any Erosion Control NOT Listed Above; Removal of Temporary Erosion/Sediment Control BMP's;**
- Pricing is based on the engineer(s) plans dated:
- Proposal is valid for a period of 30 days from date of proposal.
- Any delays due to incomplete surveying or improper surveying could result in additional charges.
- Price does not include lowering/moving small utilities. If there are utilities not properly represented on plans, price is subject to change.

Payment Terms:

Net due upon receipt of billing. A 1.5% per month service charge will be assessed on unpaid balance.

ACCEPTED: The above prices, specifications and conditions are satisfactory and hereby accepted. Buyer: _____ Signature: _____ Date of Acceptance: _____	CONFIRMED: North Pine Aggregate, Inc. Authorized Signature: _____ Estimator: Jake Jensen jake@npainc.net
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CITY COUNCIL AGENDA REPORT

TO: Mayor and Council
FROM: Colette Baumgardner, Community Development Director
SUBJECT: Site Improvement Performance Agreement for Dollar General
DATE: November 7, 2022

OVERVIEW:

On May 27, 2022, the City Council passed Resolution No. 2022-24 approving the site plan for a new Dollar General store subject to conditions including details for a pedestrian crossing and lighting plans. A final site plan meeting all conditions was approved by staff on September 14, 2022.

The Site Improvement Performance Agreement presented for approval ensures that all development on the site will meet city standards. Examples of development covered under this agreement include curb and gutter, city street patching, landscaping, and sewer and water service lines. An agreement similar to this will be required for all site development in the Meadows 4th Addition.

ACTION TO BE CONSIDERED:

Move to approve the Site Improvement Performance Agreement for Dollar General

BUDGET IMPLICATION:

None.

ATTACHMENTS:

- Site Improvement Performance Agreement for Dollar General

**SITE IMPROVEMENT PERFORMANCE AGREEMENT
LOT 1, BLOCK 1, MEADOWS OF ST. FRANCIS 4th ADDITION**

THIS AGREEMENT, entered into this _____ day of November, 2022 by and between the CITY OF ST. FRANCIS, a Minnesota municipal corporation (“City”) and DGOGSaintfrancismn07072021, LLC, a Missouri limited liability company (“Developer”).

RECITALS

WHEREAS, Developer has proposed construction of a retail store to be constructed on the following described property:

Lot 1, Block 1, Meadows of St. Francis 4th Addition according to Plat in Exhibit A to be recorded at the Office of the County Recorder, Anoka County, Minnesota; and

WHEREAS, the Developer is the fee owner the parcel of land described as Lot 1, Block 1, Meadows of St. Francis 4th Addition (the Subject Property) which lot measures approximately 2.13 acres; and

WHEREAS, the building and improvements on the Subject Property shall be constructed, maintained and operated in accordance with the site plan; and

NOW THEREFORE, in consideration of the promises and mutual promises hereinafter contained, it is agreed between the parties as follows:

1. Development Plans. The retail store shall be developed on the Subject Property in accordance with the site plans as referenced in Exhibit B dated September 14, 2022 and on file and of record at City and herein fully incorporated herein by reference and the conditions stated below (hereinafter the “Development Plans”). If the Development Plans vary from the written terms of this Agreement, the Building Development Plans shall control.
2. Right to Proceed. Unless a written exemption is provided by the City to Developer, within the Property, the Developer may not grade or otherwise disturb the earth, remove trees, construct sewer lines, water lines, streets, utilities, public or private improvements, or any

buildings until all the following conditions have been satisfied: 1) this Contract has been fully executed by both parties and filed with the City Clerk; 2) the Developer has submitted a title insurance policy to the City establishing that good and marketable title to the Property is in the name of the Developer; 3) Developer has obtained all necessary permits from all federal, state and local governmental entities; 4) Developer has submitted to City the Insurance Binder required herein; and 5) the City’s administrator or community development director has issued a letter that conditions 1 through 4 herein have been satisfied and that the Developer shall proceed.

3. Municipal Improvements. The Development Plans include certain Municipal Improvements as set forth on the attached Exhibit B.

The Municipal Improvements shall be installed in accordance with City standards, ordinances, and plans and specifications which have been prepared by an Engineer registered in the State of Minnesota and reviewed and approved by the City Engineer. The Developer shall obtain all necessary permits from the Minnesota Pollution Control Agency (MPCA), Minnesota Department of Health, Anoka County Highway Department, Minnesota Department of Transportation (MnDOT), and any other applicable agencies before proceeding with construction.

4. Private Improvements. The Developer agrees that it shall cause to be constructed and installed certain private improvements (“Private Improvements”) on the Subject Property. All Private Improvements are to be installed at Developer’s sole cost and expense pursuant to this Agreement and the private improvements to the Subject Property shall include those improvements shown on the Development Plans.

Developer shall construct such Private Improvements in accordance with all applicable building codes, ordinances and City standards and the Development Plans furnished to the City and approved by the City Engineer. The Developer shall obtain all necessary permits before construction of the Building. City shall provide adequate field inspection personnel to assure acceptable quality control, which will allow certification of the construction work.

Within thirty (30) days after the completion of Building and before any security is released, the Developer shall supply the City with a complete set of reproducible “as built” plans which shall be provided in electronic AutoCAD files to the City Engineer. The cost of preparing these plans shall be paid for by the Developer.

5. Encroachment Agreement Regarding Private Improvements on City Property. The Developer and City acknowledge that a portion of the Development Plans will encroach on existing City property. The City hereby approves an encroachment on and over the City’s Property by the Developer for the purposes of constructing, maintaining, using and operating the Private Improvements (the “Encroachment”) subject to the terms of the Encroachment Agreement executed between the City and the Developer as listed in Exhibit C.

6. Grading, Landscaping and Drainage. The Developer shall be responsible for grading, landscaping and storm water management on the Subject Property as more fully set forth in this Agreement.
 - a. Landscaping. Developer shall maintain the sod and landscape of boulevard areas adjacent to the Subject Property as shown in the Development Plans through at least one growing season and to the satisfaction of City. The long-term maintenance of sod and landscaping of boulevard areas shall be the responsibility of Developer. Further, Developer shall be responsible for mowing, elimination of weeds and removal of any garbage or debris on the Subject Property. Developer shall also comply with the approved Landscaping Plan and conditions of the approved Development Plans.
7. Improvements. In developing the Property in accordance with the Development Plans, the Developer shall make and pay for the following public and private improvements (collectively, the “Improvements”):
 - a. lot grading and all temporary and permanent erosion control measures; storm sewer and infiltration basin;
 - b. sanitary sewer service and water service;
 - c. parking lot, including curb and gutter ;
 - d. City street patching;
 - e. surveying and staking;
 - f. Landscaping; and
 - g. parking lot lighting.
8. Time of Performance. The Developer shall install all public and private Improvements for the development by August 31, 2023.
9. Easement; Right of Entry. The Developer hereby grants to the City, its agents, representatives, employees, officers, and contractors, a right of entry to access all areas of the Property to perform any and all work and inspections necessary or deemed appropriate by the City during the installation of Improvements, or to take any corrective actions deemed necessary by the City. The right of entry hereby conveyed by the Developer to the City shall continue until the City accepts all of the Improvements. The City will provide the Developer with reasonable notice prior to exercising its rights hereunder, except in the case of an emergency.
10. Erosion Control. The erosion control plan for the Subject Property within the Development Plans has been reviewed and approved by City and shall be implemented by Developer prior to grading of the Subject Property. All areas disturbed by the excavation and backfilling operations shall be reseeded forthwith after completion of work in that area. If Developer does not comply with the erosion control plan and schedule or any erosion control requirements, City may, with reasonable notice, take

action as it deems appropriate in accordance with all applicable laws, ordinances or regulations or according to this Agreement.

- a. The erosion control measures specified in the Plans shall be binding on the Developer and its successors and assigns.

11. Grading Plan.

- a. Grading on the Property shall be in accordance with the approved grading and erosion control Plans and in conformance with the City's specifications. Within thirty (30) days after completion of grading, the Developer shall provide the City with an "as constructed" grading Plan including certification by a registered land surveyor or engineer that all grading has been performed and completed in accordance with the Plans.

- b. Grading shall be completed by June 30, 2023. Upon completion of grading, the City Engineer shall inspect the Property and determine whether grading has been performed in accordance with the Grading Plan.

12. Hours of Construction; Noise and Dust Control. The Developer shall limit grading and construction of Improvements within the Subdivision to between the hours of 7:00 a.m. and 7:00 p.m., Monday through Friday and 8:00 a.m. and 5:00 p.m. on Saturday. All other construction activities shall take place only during the hours permitted by the City Code. The Developer shall provide dust control to the satisfaction of the city engineer/staff through all construction within the Property and shall exercise due diligence with regard to the activities of third parties not under the Developer's control.

13. Pre-Construction Activity. Developer shall schedule a pre-construction meeting with City to review the proposed schedule for grading and construction of the building and related improvements as set forth on the Development Plans, and to coordinate the schedule with the City Engineer.

14. Ownership of Improvements. Upon completion of the work and construction required by this Agreement, improvements lying within public easements on the Subject Property shall become City property without further notice or action, except that those streets, which will be maintained as private drives (if applicable) shall remain under Developer's ownership subject to any and all necessary easements.

The Developer and its successor or assigns as fee owner of the Property shall be responsible for maintaining the Storm water Improvements and for observing all drainage laws governing the operation and maintenance of the Storm water Improvements. The Developer shall complete inspections of the Storm water Improvements at least once annually and shall keep record of all inspections and maintenance activities, and submit such records to the City upon request. Maintenance activities shall include but will not be limited to: street sweeping (to prevent the sediment from clogging the underground storm water conveyance system), removal of sediment from the underground storm water conveyance system, and cleaning of storm sewer lines. The Developer acknowledges

that the storm water improvements associated with this project includes an infiltration basin. If, at any time, the treatment capacity or storage volume of the infiltration basin diminishes or is significantly reduced, or if the infiltration basin does not infiltrate the stormwater water quality volume (as defined by the Minnesota Pollution Control Agency) within the required timeframe (48 hours) after a rain event, the Developer will reconstruct the infiltration basin as necessary. The cost of all inspections and maintenance shall be the obligation of the Developer and its successors or assigns as the fee owner of the Property.

15. Permanent Access and Maintenance Easement. The Developer or its successors or assigns grants the City, its agents and Contractor(s) the right to enter the Property to inspect and maintain the Stormwater Improvements as set forth in this agreement.
16. City's Maintenance Rights. The City may maintain the Stormwater Improvements, as provided in this paragraph, if the City reasonably believes that the Developer or its successors or assigns has failed to maintain the Stormwater Improvements in accordance with applicable drainage laws and other requirements and such failure continues for 30 days after the City gives the Developer written notice of such failure. The City's notice shall specifically state which maintenance tasks are to be performed. If Developer does not complete the maintenance tasks within 30 days after such notice is given by the City, the City shall have the right to enter upon the property to perform such maintenance tasks. In such case, the City shall send an invoice of its reasonable maintenance costs to the Developer or its successors or assigns, which shall include all staff time, engineering and legal and other costs and expenses incurred by the City. If the Developer or its assigns fails to reimburse the City for its costs and expenses in maintaining the Stormwater Improvements within 30 days of receipt of an invoice for such costs, the City shall have the right to assess the full cost thereof against all of the lots within the Property. The Developer, on behalf of itself and its successor and assigns, acknowledges that the maintenance work performed by the City regarding the Stormwater Improvements benefits the lots in the Property in an amount which exceeds the assessment and hereby waives any right to hearing or notice and the right to appeal the assessments otherwise provided by Minnesota Statutes Chapter 429. Notwithstanding the foregoing, in the event to an emergency, as determined by the City Engineer, the 30-day notice requirement to the Developer for failure to perform maintenance tasks shall be and hereby is waived in its entirety by the Developer, and the Developer shall reimburse the City and be subject to assessment for any expense so incurred by the City in the same manner as if written notice as described above has been given.
17. Clean Up. Developer shall promptly clean any and all dirt and debris from streets resulting from construction work by Developer, its agents or assigns during the work and construction required by this Agreement.
18. Administrative Fee. None.
19. Park and Trail Dedication. Park and Trail dedication requirements for this project are as follows: None.

20. Storm Water Fees, and Storm Water Basin. No Storm Water Fees are applicable to the Subject Property. Developer shall manage the storm water on the site in accordance with the Development Plans.
21. Sewer Availability Charges. The Sewer Availability Charges for the Subject Property are as follows: None.
22. Sewer Connection Fees. Sanitary sewer connection fees are paid at the time of issuance of a building permit. The sewer connection fees shall be determined at the time that building plans are submitted and reviewed by City.
23. Water Availability Charges. The Water Availability Charges for the Subject Property are as follows: None.
24. Water Connection Fees. Water connection fees are paid at the time of issuance of a building permit. The water connection charges shall be determined at the time that building plans are submitted and reviewed by City.
25. Street and Traffic Control Sign Fees. Not applicable. The Developer shall install all internal traffic control signs.
26. City Engineering, Engineering Administration, Construction Observation, and Legal Fee Escrow and City Fees.

Developer shall pay escrow for the City's engineering, engineering administration and construction observation services, following execution of this agreement, in the estimated amount set forth below. City engineering administration will include consultation with Developer and its engineer on status or problems regarding the Project, monitoring during the warranty period, general administration and processing of requests for reduction in security. Fees for this service shall be the actual amount billed for those service. Developer shall pay for construction observation performed by the City Engineer. Construction observation shall include part or full time observation, as determined by the City Engineer, and will be billed at hourly rates actually required for said inspection. In the event of prolonged construction or unusual problems, City will notify Developer of anticipated cost overruns for engineering administration and observation services.

The Escrow account shall include estimated escrow for City Engineering, Engineering Administration and Construction Observation limited to the Municipal Improvements, as follows:

ESCROW

City Construction Administration and Observation Escrow: \$10,000.00

(actual billings to be paid)

TOTAL **\$10,000.00**

These Escrow amounts shall be submitted to City prior to City executing this Agreement. Any Escrow amounts not utilized for legal and engineering charges incurred by the City under this Agreement shall be returned to Developer when all improvements have been completed, all financial obligations to City satisfied, and all required “as-built” plans have been received by City.

Engineering, planning and legal fees incurred prior to the execution of this Agreement shall be deducted from escrow already submitted with the site plan application or charged against the escrow herein established.

All other amounts listed as one-time fees are non-refundable and available immediately for City use when posted.

27. Security. To ensure compliance with the terms of this Agreement, and construction of all Municipal Improvements, Developer shall furnish City with a cash escrow or Irrevocable Standby Letter of Credit in the amount of \$135,000.00 said amount calculated as follows:

Storm Sewer Relocation	\$12,700.00
Street Patching & Sidewalk	\$20,600.00
Stormwater	\$31,050.00
Erosion Control	\$17,200.00
Landscaping	\$8,450.00
SUBTOTAL	\$90,000.00
TOTAL SECURITY (x 150%)	\$135,000.00

The issuer and form of the security (other than cash escrow) shall be subject to City approval, which approval shall not be unreasonably withheld. The security shall be issued by a banking institution in good standing as determined by City and approved by the City Administrator. City shall have the ability to draw on the Security by overnight courier delivery to the bank or branch bank issuing the Letter of Credit.

City may draw down the security for any violation of the terms of this Agreement, or upon receiving notice of the pending expiration of the security. It shall be the responsibility of Developer to inform City at least thirty (30) days prior to expiration of

the security of the impending expiration and the status of the Project relative to the security and this Agreement. If, for whatever reason, the security lapses prior to complete compliance with this Agreement (other than during any warranty period), Developer shall immediately provide City with either an extension of the security or an irrevocable letter of credit of the same amount upon notification of the expiration. If the required improvements are not completed at least thirty (30) days prior to the expiration of the security, City may also draw down the security.

City may draw down the security for any violation of the terms of this Agreement (after any reasonable notice to Developer and cure periods). If the security is drawn down, the proceeds shall be used to cure any default. City will, upon making determination of final costs to cure any default, refund to the Developer any monies which City has in its possession which are in excess of the security needed.

Upon receipt of proof satisfactory to City that work has been completed and financial obligations to City have been satisfied, the security will be reduced from time to time down to the amount of warranty security as set forth in Section 26 of this Agreement.

The security shall not be reduced below ten percent (10%) of the posted security until all improvements have been completed, all financial obligations to City satisfied (which includes posting of warranty security), and required “as built” plans have been received by City. The intent of this Agreement that City shall have access to sufficient security, either security or warranty security, to complete the Project and insure warranty on all public improvements.

The security amount shall be submitted to City prior to execution of the Agreement.

28. Warranty. Developer warrants all work required to be performed by it against poor material and faulty workmanship for a period of two (2) years after its completion and acceptance by City. The amount of posted security for public improvements to be posted by Developer shall be in the amount of \$13,500.00. The amount has been determined by the City Engineer and is based upon 10% of the initial security amount.
29. Restrictions. The following restrictions apply to the Subject Property and all lots thereon shall be held, sold, and conveyed subject to the following conditions and restrictions, which are for the purpose of protecting the value and desirability of the Subject Property and insuring all conditions imposed by City in this Agreement are properly recorded against the Subject Property. Said conditions shall run with the real property and be binding upon all parties having a right, title or interest in the Subject Property or any part thereof, their heirs, executors, representatives, successors and assigns:

a. Developer shall comply with all other terms and conditions of the approved Development Plans.
30. Permits. To the extent required, the Developer shall obtain or require its contractors and subcontractors to obtain all necessary permits, including but not limited to the following:

- a. City of St. Francis Building Permits
 - b. NPDES Permit from the MPCA
31. Developer's Default. In the event of default by the Developer as to any of the work to be performed by it hereunder, the City may, at its option, after written notice thereof and expiration of the cure period, perform the work and the Developer shall promptly reimburse the City for any expense incurred by the City, provided the Developer, except in an emergency as determined by the City (in which event no notice is necessary), is first given notice of the work in default, not less than five (5) days in advance. This Contract is a license for the City to act, and it shall not be necessary for the City to seek a Court order for permission to enter the land. When the City does any such work, the City may, in addition to its other remedies, assess the cost in whole or in part upon the Property to recover the costs thereof. For this purpose, the Developer expressly waives any procedural and substantive objections to the special assessments, if any, including, but not limited to, hearing requirements and any claim that the assessments exceed the benefit to the property.
32. Insurance. The Developer agrees to take out and maintain or cause to be taken out and maintained until immediately after the City accepts the Improvements, public liability and property damage insurance covering personal injury, including death, and claims for property damage which may arise out of Developer's work or the work of its contractors or subcontractors. Limits for bodily injury and death shall be no less than \$2,000,000.00 for each occurrence; limits for property damage shall be no less than \$1,000,000.00 for each occurrence; or a combination single limit policy of \$2,000,000.00 or more. The City shall be named as an additional insured on the policy. The Developer shall provide the City with an insurance binder evidencing the required coverage prior to the City signing this Agreement. The insurance binder shall provide that the City must be given thirty (30) days advance written notice of the cancellation of the insurance.
33. Maintenance of the Property. The Developer shall be responsible for all mowing, controlling weeds and general maintenance within the Property. The Developer shall not leave, deposit or bury any cut trees, timber, debris, earth, rocks, stones, soil, junk, rubbish or any other waste materials on the Property. The Developer shall not be required to post a separate escrow to secure this obligation. The City shall provide the Developer with written notice and, except for emergencies, shall allow the Developer thirty (30) days to correct or take such other action as is necessary to perform the required maintenance or removal of waste material within the Property. Nothing herein shall obligate the City to perform maintenance or waste removal work within the Property but the City at its sole discretion, shall have the right to do so.
34. Compliance with Laws and City Approvals. The Developer agrees to comply with all laws, ordinances and regulations of Minnesota and the City applicable to the Plat and Development Plans. The Developer agrees to complete the Property in compliance with all City approvals. This Agreement shall be construed according to the laws of Minnesota. Breach of the terms of this Agreement by the Developer shall be grounds for

denial of building permits and certificates of occupancy, following the passing of applicable notice of cure provisions.

35. Agreement Runs with the Land. This Agreement shall run with the land and shall be recorded against the title to the Property. The Developer covenants with the City, its successors and assigns that the Developer has fee title to all the Property and that there are no unrecorded interests against the Property. The Developer hereby agrees to indemnify and hold the City harmless for any breach of the foregoing covenants.
36. Indemnification. The Developer hereby agrees to indemnify and hold the City and its officials, employees, contractors and agents harmless from claims made by itself and third parties for damages sustained or costs incurred resulting from approval of the Development Plans. The Developer hereby agrees to indemnify and hold the City and its officials, employees, contractors and agents harmless for all costs, damages, or expenses which the City may pay or incur in consequence of such claims, including attorneys' fees, except matters involving acts of gross negligence by the City.
37. Responsibility for Costs.
 - a. Except costs for Developer's Internal Improvements, Developer shall pay all costs incurred by it or City in conjunction with the development the Subject Property and the building, including, but not limited to legal, planning, engineering, and inspection expenses in connection with the development and said Building.
 - b. Developer shall reimburse City for costs incurred in the enforcement of this Agreement, including engineering fees, planning fees, attorney's fees, and costs and disbursements.
 - c. Developer shall pay in full all bills submitted to it by City for obligations incurred under this Agreement and agreed to be paid by Developer under this Agreement within thirty (30) days after receipt. If the bills are not paid on time, and Developer does not reasonably dispute the payment of amount of such bill City may either reimburse itself from existing Escrow or Security or may halt all Building development work and construction until all bills are paid in full. Bills not paid within thirty (30) days shall accrue interest at the rate of twelve percent (12%) per year.
38. Miscellaneous.
 - a. Third parties shall have no recourse against City under this Agreement.
 - b. If any portion, section, subsection, sentence, clause, paragraph or phrase of this Agreement is for any reason held invalid, such decision shall not affect the validity of the remaining portion of this Agreement.
 - c. This Agreement shall run with the land, shall be recorded against the title to the Subject Property, and shall be binding on all parties having any right, title or interests in the Subject Property or any part thereof, their heirs, successors and assigns.

- d. Each right, power or remedy herein conferred upon City or Developer is cumulative and in addition to every other right, power or remedy, express or implied, now or hereafter arising, available to City or Developer, at law or in equity, or under any other agreement, and each and every right, power and remedy herein set forth or otherwise so existing may be exercised from time to time as often and in such order as may be deemed expedient by City or Developer and shall not be a waiver of the right to exercise at anytime thereafter any other right, power or remedy.
 - e. Developer shall pay for all local costs related to drainage improvements required to complete the construction of the Plat and building according to the Development Plans. Local costs are costs related to required internal drainage improvements such stormwater infrastructure.
 - f. Should development of the Subject Property or the building proceed at a pace slower than anticipated, and for that reason, specific terms of this Agreement become onerous or unduly burdensome to Developer, upon Developer's application, City will enter into negotiations regarding those specific terms and shall not unreasonably withhold consent to appropriate changes in the terms of this Agreement.
 - g. Developer shall demonstrate and maintain compliance with the 1991 Wetland Conservation Act, as applicable.
 - h. Developer shall be responsible for all on site drainage for the Subject Property, as well as for any affects their actions may have on adjoining properties.
39. Violation of Agreement. If while the escrow or security provided in this Agreement is outstanding, a violation of any of the covenants or agreements herein contained occurs and such violation is not cured within thirty (30) days after written notice thereof from City to Developer, City may draw upon the Developer s escrow or security to cure any violation of the Agreement and to reimburse City for any costs incurred in curing the violation.
40. Maintain Public Property Damaged or Cluttered During Construction. Developer agrees to assume full financial responsibility for any damage which may occur to public property including, but not limited to, street, street sub-base, base, bituminous surface, curb, utility system including, but not limited to, watermain, sanitary sewer or storm sewer when said damage occurs as a result of construction activity which takes place during development of the Subject Property by Developer or its contractors, except for damage caused by City, its employees, agents or contractors. Developer further agrees to pay all costs required to repair the streets and/or utility systems damaged or cluttered with debris when occurring as a direct or indirect result of the Developer's construction that takes place on the Subject Property. In the event that Developer is required to maintain or repair such damage and fails to maintain or repair the damaged public property referred to aforesaid within thirty (30) days after written notice from City or such longer period as may reasonably necessary or in the event of an emergency as shorter time period as

determined by City, City may, upon notifying Developer undertake making or causing it to be repaired or maintained. When City undertakes such repair, Developer shall reimburse City for all its reasonable expenses within thirty (30) days of its billing to Developer. If Developer fails to pay said bill within thirty (30) days, the security shall be responsible for reimbursing City.

- 41. Assignment. The Developer may not assign this Agreement without the written permission of the City, which permission shall not be unreasonably denied or delayed. No assignment shall be effective unless the assignee assumes in writing all obligations of the Developer under this Agreement and the documents related thereto and evidencing such assumption shall be in a form reasonably acceptable to the City.
- 42. Subordination. This Agreement must be recorded against the Subject Property and all other liens, interests or mortgages shall be subordinate to the terms and conditions this Agreement and said Agreement shall not be subject to foreclosure by any other lien, interest or mortgage.
- 43. Notices. Required notices to Developer shall either hand delivered to Developer, its employees or agents, or mailed to Developer by registered mail or sent by overnight delivery at the following address:

DGOGSaintfrancismn07072021, LLC
1598 Imperial Center, Suite 2001,
West Plains, MO 65775.
Attention: Jacob Stauffer

Notice to City shall be in writing and shall be either hand delivered to or mailed by registered mail or sent by overnight delivery to the following address:

City of St. Francis,
Attention: City Administrator
23340 Cree Street
St. Francis, MN 55070

- 44. Agreement Effect. This Agreement shall be binding and extend to the respective representatives, heirs, successors and assigns of the parties hereto.
- 45. Amendment. This Agreement shall be amended only by addendum executed by both parties to this Agreement.
- 46. Severability. If any portion, section, subsection, sentence or clause of this Agreement shall be held invalid or unenforceable by any court of competent jurisdiction, such holding shall pertain only to such section and shall not invalidate any other section of this Agreement.

47. Non-waiver. Each right, power or remedy conferred upon the City or the Developer by this Agreement is cumulative and in addition to every other right, power or remedy, express or implied, now or hereafter arising, or available to the City or the Developer at law or in equity, or under any other agreement. Each and every right, power and remedy herein set forth or otherwise so existing may be exercised from time to time as often and in such order as may be deemed expedient by the City or the Developer and shall not be a waiver of the right to exercise at any time thereafter any other right, power or remedy. If either party waives in writing any default or nonperformance by the other party, such waiver shall be deemed to apply only to such event and shall not waive any other prior or subsequent default.
48. Counterparts. This Agreement may be executed simultaneously in any number of counterparts, each of which shall be an original and shall constitute one and the same Agreement.

REST OF PAGE INTENTIONALLY LEFT BLANK

SIGNATURES ON FOLLOWING PAGES

IN WITNESS WHEREOF, Developer and City have executed this Agreement as of the day and year above first written.

CITY OF ST. FRANCIS

BY: _____
Steven D. Feldman
ITS: Mayor
(SEAL)

BY: _____
Jennifer Wida
ITS: City Clerk

STATE OF MINNESOTA)
) ss.
COUNTY OF ANOKA)

The foregoing instrument was acknowledged before me this _____ day of _____, 2022, by Steven D. Feldman and by Jennifer Wida, respectively the Mayor and City Clerk of the City of St. Francis, a Minnesota municipal corporation, on behalf of the corporation and pursuant to the authority granted by its City Council.

NOTARY PUBLIC

DGOGSaintfrancismn07072021, LLC
A Missouri corporation

BY: _____

ITS: _____

STATE OF)
) ss.
COUNTY OF)

The foregoing instrument was acknowledged before me this ____ day of _____, 2022, by _____ the _____ of DGOGSaintfrancismn07072021, LLC, a Missouri corporation, on behalf of the corporation.

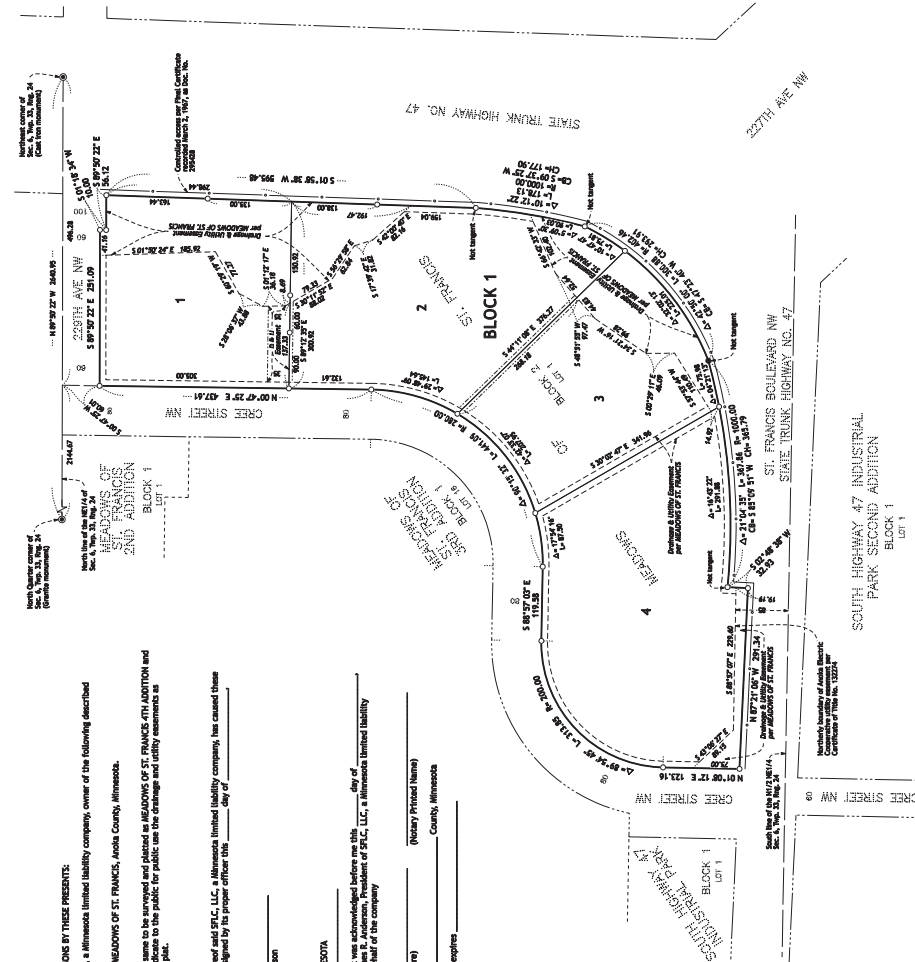
NOTARY PUBLIC

DOCUMENT DRAFTED BY:
BARNA, GUZY & STEFFEN, LTD.
400 Northtown Financial Plaza
200 Coon Rapids Boulevard
Coon Rapids, MN 55433
(763) 780-8500 (DRS)

EXHIBIT A
MEADOWS OF ST. FRANCIS 4th ADDITION FINAL PLAT

MEADOWS OF ST. FRANCIS 4TH ADDITION

CITY OF ST. FRANCIS
COUNTY OF ANOKA
SEC. 06, TWP. 33, RING. 24



SURVEYOR'S CERTIFICATION

I, Samuel J. DeLano, do hereby certify that this plat was prepared by me or under my direct supervision, that I am a duly Licensed Land Surveyor in the State of Minnesota, and that this plat is a correct representation of the boundary survey; that all mathematical data and bearings are correctly designated on this plat; that all measurements depicted on this plat were made by me or under my direct supervision, and that the same are true and correct; that the land, as defined in Minnesota Statutes, Section 505.01, Subd. 1, as of the date of this plat, is shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Samuel J. DeLano, Licensed Land Surveyor
Minnesota License Number 40241

STATE OF MINNESOTA
COUNTY OF STARS

This instrument was acknowledged before me on this _____ day of _____, 20____, by Samuel J. DeLano.

Simony Thiel
Notary Public, St. Francis County, Minnesota

My commission expires _____

THE COMMISSION AND SEAL OF THE SURVEYOR TO BE LOCATED ON THE NORTHWEST CORNER OF THE SECTION, OR IN THE NEARBY VICINITY, SHALL BE SHOWN AS THIS INSTRUMENT CONVEYING NOTES.



City Council, City of St. Francis, Minnesota
This plat of MEADOWS OF ST. FRANCIS 4TH ADDITION was approved and accepted by the City Council of the City of St. Francis, Minnesota, at a regular meeting thereof held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.01, Subd. 1.

City Council, City of St. Francis, Minnesota

By: _____ Mayor By: _____ Clerk

County Surveyor

I hereby certify that in accordance with Minnesota Statutes, Section 505.01, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20____.

By: David M. Thiel
Anoka County Surveyor

County Auditor/Treasurer

Pursuant to Minnesota Statutes, Section 505.01, Subd. 9, taxes payable in the year 20____, on the basis of the value of the land as shown on this plat, are as follows: Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20____.

Property Tax Administrator

By: _____ Deputy

County Recorder/Registrar of Titles

I have caused this plat of MEADOWS OF ST. FRANCIS 4TH ADDITION to be filed in the office of the County Auditor of St. Francis County, Minnesota, and in the office of the County Recorder/Registrar of Titles, and was duly recorded as Document Number _____ at _____ o'clock _____, 20____.

County Recorder/Registrar of Titles

By: _____ Deputy

Agenda Item # 4D.

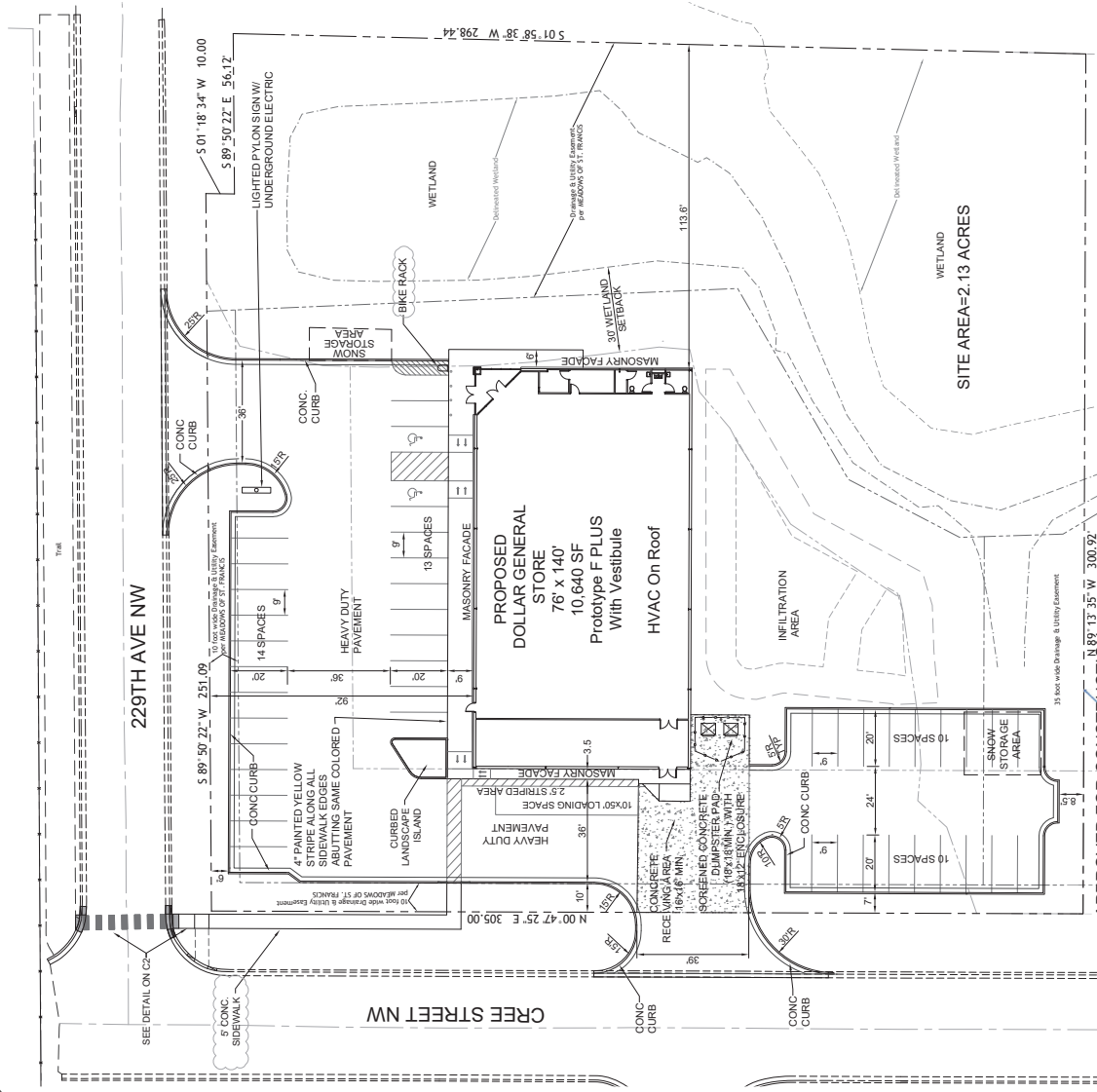
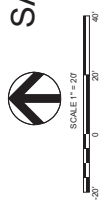


EXHIBIT B

DEVELOPMENT PLANS FOR THE SUBJECT PROPERTY

DOLLAR GENERAL STORE
SAINT FRANCIS, MINNESOTA

PARKING SPACES REQD: 47/147
OWNER: DOLLAR GENERAL STORE
ENGINEER: OVERLAND ENGINEERING, LLC
SITE AREA: 2.01 ACRES
IMPERVIOUS AREA: 37690 SF/ 0.865 AC.



APPROVED FOR CONSTRUCTION
SHANE NELSON, PE 9/14/22
ASSISTANT CITY ENGINEER

GEOTECHNICAL ENGINEERING REPORT
Prepared by: KILG ENGINEERING, LLC.
Roseville, Minnesota
PHASE 1 ENVIRONMENTAL SITE ASSESSMENT
Prepared by: ENVIRONMENTAL WORKS, INC.
Springfield, Missouri

SITE UTILITIES:
WATER & SEWER:
SAINT FRANCIS
SAINT FRANCIS
JENNIFER GILBERTSON
PH 763-233-5200
ELECTRIC:
CENTERPOINT
TELEPHONE:
CENTURYLINK



800-252-1166
www.gopherstateonecall.org

UTILITY DISCLAIMER
Gopher State OneCall is a service that provides information on the location of underground utilities. It is not a guarantee of the accuracy of the information. The user of this service is responsible for verifying the information and for obtaining any necessary permits. Gopher State OneCall is not responsible for any damage or injury resulting from the use of this service.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
Print Name: SHANE NELSON License # 40982
Signature: [Signature] Date: 9/14/22

DOLLAR GENERAL

NO.	DATE	DESCRIPTION	BY
1	2/22/22	REV PER CITY NOTES	RP
2	4/19/22	REV W/ MOORE PARKING	RP
3	4/19/22	ADDED TRAIL CONNECTION	RP
4	6/22/22	REV PER CITY LETTER	RP
5	8/11/22	REV SW PER CITY ENG	RP
6	9/14/22	REV PER CITY COMMENTS	RP

overland
ENGINEERING, LLC
1998 HURON AVE, SUITE 200
ST. PAUL, MN 55102
PHONE: (612) 794-4100 FAX: (612) 794-4101
www.overlandeng.com

SITE PLAN
SAINT FRANCIS, MN

Agenda Item # 4D.

DOLLAR GENERAL

SAINT FRANCIS, MN 55080

NO.	DATE	DESCRIPTION	BY
1	4/9/22	REV PARKING & STW SKETCH	RP
2	6/1/22	REV PER CITY CMTS.	RP
3	6/17/22	REV PER WORK CITY CMTS.	RP
4	6/17/22	REV PER WORK CITY CMTS.	RP

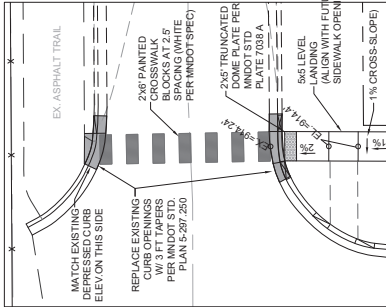
Verland
ENGINEERING, LLC
1596 BURNHAM CIRCLE, SUITE 200 WEST PLAINS, MN 55075
PHONE: (612) 792-8550 FAX: (612) 792-8552
www.verlandeng.com

SAINT FRANCIS, MN
GRADING PLAN

SHEET
C3

DO STANDARD GRADING NOTES:

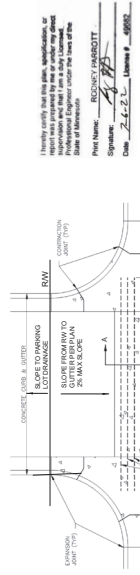
- CONTRACTOR TO GRADE ALL AREAS SHOWN IN THE PLANS.
- TOP SOIL SHALL BE STRIPPED FROM ALL OUT AREAS AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
- TILL SOIL TO A DEPTH OF 4" MINIMUM.
- REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
- GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
- ALL GRADED AREAS TO RECEIVE SEED OR SOD. TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.



NOTES:
1) CURB RAMPS MUST CONFORM WITH INDOT STANDARD PLAN 5-297.250
2) LANDING ELEVATION TO BE FIELD ADJUSTED IF NECESSARY TO PROVIDE ADA COMPLIANT RAMP SLOPE AND ASSOCIATED ADA RAMP.

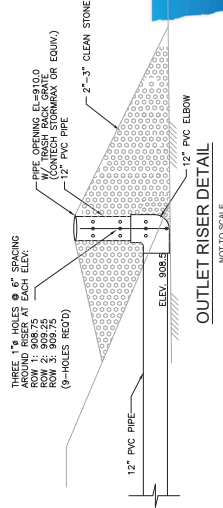
SIDEWALK RAMP DETAIL

SCALE 1"=10'



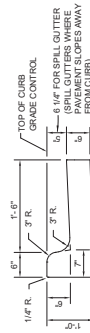
ENTRY SECTION

NOT TO SCALE



OUTLET RISER DETAIL

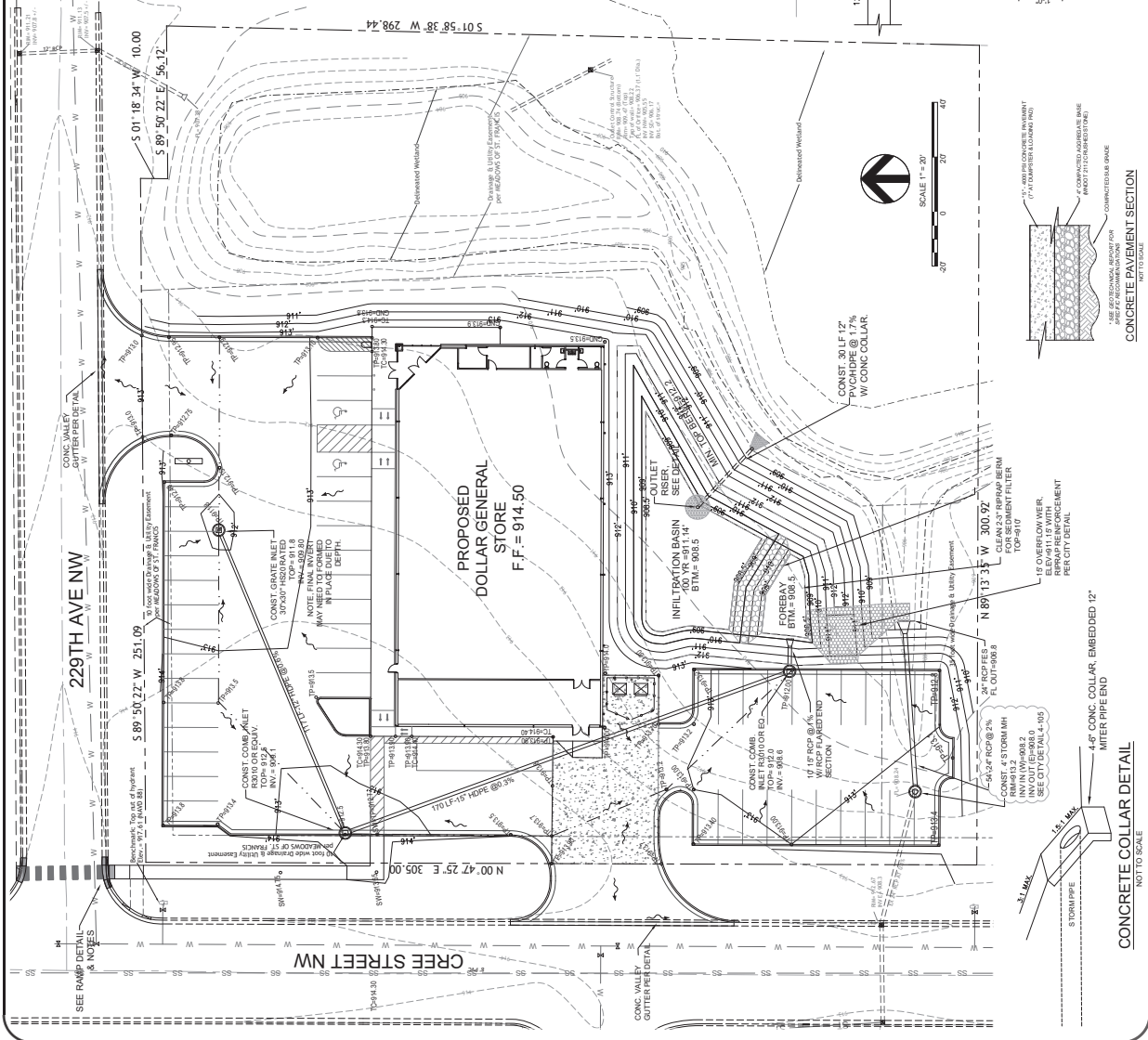
NOT TO SCALE



CONTRACT JOINTS @ 20' INTERVALS
ONLY TO THE EXTENT THAT SUCH INFORMATION BENEFITS AN AGENCY
THERE IS NO GUARANTEE AS TO THE ACCURACY OF THE COMPLETENESS OF
COMPLETENESS THEREOF IS EXPRESSED. 7/15/22/AMW

800-252-1166
www.gopherstateonecall.org
UTILITY DISCLAIMER

EXISTING UNDERGROUND UTILITIES AND BURIED STRUCTURES IN THE VICINITY
OF THE PROPOSED PROJECT HAVE BEEN LOCATED BY VISUAL INSPECTION
AND RECORD DRAWINGS. THE LOCATION OF SUCH UTILITIES AND STRUCTURES
THERE IS NO GUARANTEE AS TO THE ACCURACY OF THE COMPLETENESS OF
COMPLETENESS THEREOF IS EXPRESSED. 7/15/22/AMW



CONCRETE COLLAR DETAIL

NOT TO SCALE



ST FRANCIS MN SWPPP NOTES.

ST FRANCIS MN SWPPP NOTES: STOCKPILE GREATER THAN 10 CUBIC YARDS, THE TOE OF THE PILE MUST BE MORE THAN 25 FEET FROM A ROAD, DRAINAGE CHANNEL OR STORMWATER INLET. IF LEFT FOR MORE THAN SEVEN (7) DAYS, THEY MUST BE STABILIZED WITH MULCH, VEGETATION, TARP, OR OTHER MEANS. IF LEFT FOR LESS THAN SEVEN (7) DAYS, EROSION FROM STOCKPILES MUST BE CONTROLLED WITH 25 FEET OR ROCK CHECK DAMS. IF FOR ANY REASON A SOIL STOCKPILE OF ANY SIZE IS LOCATED CLOSER THAN 25 FEET FROM A ROAD, DRAINAGE CHANNEL, OR STORMWATER INLET, IT MUST BE COVERED WITH TARP OR CONTROLLED IN SOME OTHER MANNER.

2. SWEEPING: TRAVELED SURFACES INCLUDING, BUT NOT LIMITED TO, STREETS, PARKING LOTS, SIDEWALKS AND TRAILS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS BUT NO LATER THAN THE END OF EACH BUSINESS DAY. ESTABLISHMENT OF A REGULAR SWEEPING SCHEDULE IS ENCOURAGED.

FOR CITY INSPECTIONS, THE APPLICANT SHALL BE RESPONSIBLE FOR ALL REQUIRED EROSION AND SEDIMENT INSPECTIONS REQUIRED IN THE APPROVED STORMWATER POLLUTION PREVENTION PLAN. THE CITY MAY PERFORM INSPECTIONS TO ENSURE CONFORMANCE. ALL OTHERS SHALL PROVIDE ACCESS TO THE SITE AND ANY NECESSARY PERMITS OR PERMITS NOTED BY THE CITY TO MAINTAIN PROPER EROSION AND SEDIMENT CONTROL AT ALL SITES WITHIN THE TIMEFRAMES NOTED IN THIS PART AND THE CONSTRUCTION STOP/STORMWATER PERMIT. IN CASES WHERE COOPERATION IS WITHHELD, CONSTRUCTION STOP ORDERS MAY BE ISSUED BY THE CITY. UNTIL PASSED BEFORE THE CONSTRUCTION STOP ORDER IS LIFTED OR ANY OTHER INSPECTIONS WILL THEN BE SCHEDULED AND PASSED BEFORE THE CONSTRUCTION STOP ORDER IS LIFTED OR ANY OTHER INSPECTIONS WILL THEN BE DONE.

GENERAL NOTES FOR SEDIMENTATION & EROSION CONTROL

THIS PLAN SHOWS THE LOCATION AND DETAILS FOR PRIMARY SEDIMENT CONTROLS TO BE CONSTRUCTED. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING EROSION AND DISCHARGE OF SEDIMENT FROM THE SITE AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE NECESSARY MEASURES DURING ALL PHASES OF ITS OPERATIONS REGARDLESS OF WHETHER THEY ARE SPECIFICALLY NOTED ON THIS PLAN AND SHALL MAINTAIN OPERATIONS CONTINUOUSLY AS NECESSARY DURING THE COURSE OF HIS OPERATIONS.

SILT FENCES, OR OTHER INITIAL SEDIMENT CONTROLS SHOWN ON THIS PLAN MUST BE INSTALLED PRIOR TO ANY OTHER WORK.

THE CONTRACTOR SHALL CLEAN STREETS BOTH INTERIOR AND ADJACENT TO THE SITE, AS NEEDED AFTER EACH RAINFALL, AND AT THE END OF CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST DURING CONSTRUCTION AND SHALL WATER CONSTRUCTION AREAS WHENEVER CONDITIONS WARRANT.

ALL DISTURBED AREAS NOT RECEIVING OTHER PERMANENT STABILIZATION SUCH AS PAVEMENT, ROOFS, SOD, ETC., SHALL BE SEEDED AND MULCHED, AS SPECIFIED BELOW BEFORE TEMPORARY SEDIMENT CONTROLS CAN BE REMOVED AND PRIOR TO FINAL APPROVAL OF CONSTRUCTION.

SEQUENCE DESCRIBING STORMWATER QUALITY MEASURE IMPLEMENTATION RELATIVE TO LAND DISTURBING ACTIVITIES;
INSTALL CONSTRUCTION ENTRANCE FOR SITE ACCESS

- INSTALL SILT BARRIERS AT PERIMETER AND ESTABLISH WETLAND BUFFER FENCE.
- ITEMS 162 MUST BE FULLY COMPLETED BEFORE GOING TO ITEM 3.
- INSTALL GRASS AND MULCH SWALES TO IMMEDIATELY STABILIZE WITH TOPSOIL, SEED & MULCH, OR DITCH CHECKS.
- INSTALL DRAINAGE PILES WITH INLET/OUTLET PROTECTION.
- COMPLETE REMAINING SITE GRADING WITH CUT & FILL PLACEMENT.
- INSTALL GRASS AND SOD AS SOON AS FEASIBLE FOR EACH DISTURBED AREA.
- REMOVED ANY EXCESS SEDIMENT IN DETENTION AREAS AND REDRESS WITH PERMANENT "VEGETATION".
- FINAL CLEANUP.
- REMOVE TEMPORARY EROSION CONTROL MEASURES.

TOTAL ESTIMATED SCHEDULE FOR SITE CONSTRUCTION IS 3 MONTHS, WITH ESTABLISHED VEGETATION BEING RE-PLANTED IMMEDIATELY AFTER VEGETATION IS WHEELED OFF-SITE, REMOVE FIRM GRASSY EROSION CONTROL MEASURES.

I hereby certify that this plan, report was prepared by me or under my supervision and that I am a duly

CONTACTS
OWNER / DEVELOPER:
DOGOSTFRANCISMN0702021 LLC
598 IMPERIAL CENTER, SUITE 2001
WEST PLAINS, MO 65775

ENGINEER:
OVERLAND ENGINEERING, LLC
598 IMPERIAL CENTER SUITE 2009
WEST PLAINS, MO 65775
PH 417-256-8150

CONTRACTOR:
JASON WEITZEL
J BAAZ BUILDERS
180 S GARFIELD ST
CAMBRIDGE, MN 55003
612-333-8112

TEMPORARY EROSION CONTROLS
(REMOVE AFTER VEG. IS ESTABLISHED):

- SILT FENCE
- SILT SOCK DITCH CHECKS
- ROCK BAG EROSION CONTROL
- INLET INSERTS
- CONCRETE WASHOUT AREA

PERMANENT EROSION CONTROLS
RIPRAP AT PIPE OUTLETS

SODDING AND GRASS - SEE SHEET C5

VEGETATIVE BUFFERS NEAR WETI AND

SILT SOCK DITCH CHECKS
ROCK BAG EROSION CONTROL
INLET INSERTS
CONCRETE WASHOUT AREA

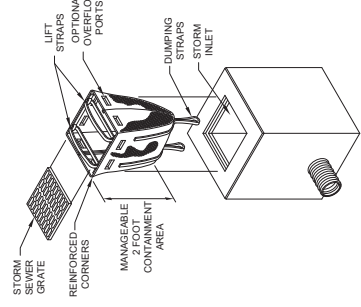
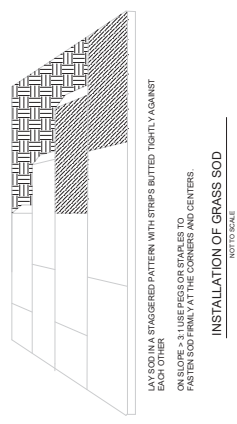
PERMANENT EROSION CONTROLS
RIPRAP AT PIPE OUTLETS
SODDING AND GRASS - SEE SHEET C5
VEGETATIVE BUFFER NEAR WETLANDS



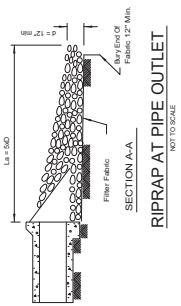
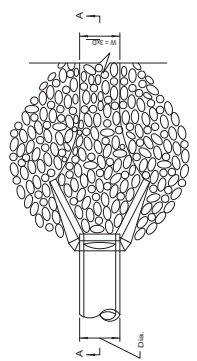
800-252-1166
www.gopherstateone.com

UTILITY DISCLAIMER

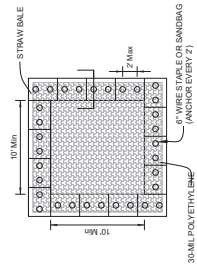
NO.	DATE	DESCRIPTION	BY



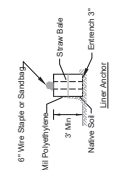
DETAIL OF DANDY SACK INLET INSERT
SEDIMENT CONTROL DEVICE
NOT TO SCALE



RIPRAP AT PIPE OUTLET
NOT TO SCALE



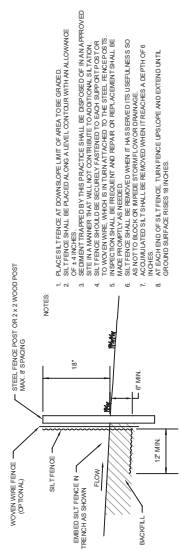
PLAN VIEW



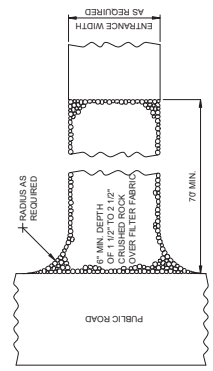
STRAW BALE ANCHOR SECTIONS

- NOTES:
1. Retaining structure consists of straw bales and includes necessary geotextile fabric and filter fabric to prevent sediment from passing through the structure and returning the facility to a functional condition.
 2. Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.
 3. Each straw bale is to be staked in place using (2) 2" x 24" wooden stakes.

TEMPORARY CONCRETE
WASHOUT FACILITY - STRAW BALE
NOT TO SCALE

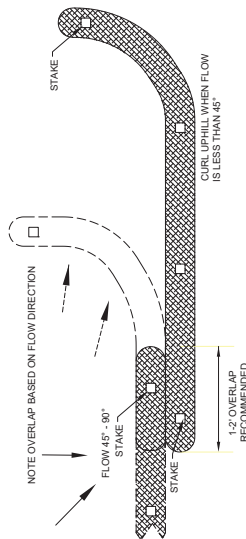


*NOTE: SILT SOCK MAY BE USED IN LIEU OF SILT FENCE
SILT FENCE DETAIL
NOT TO SCALE



ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE

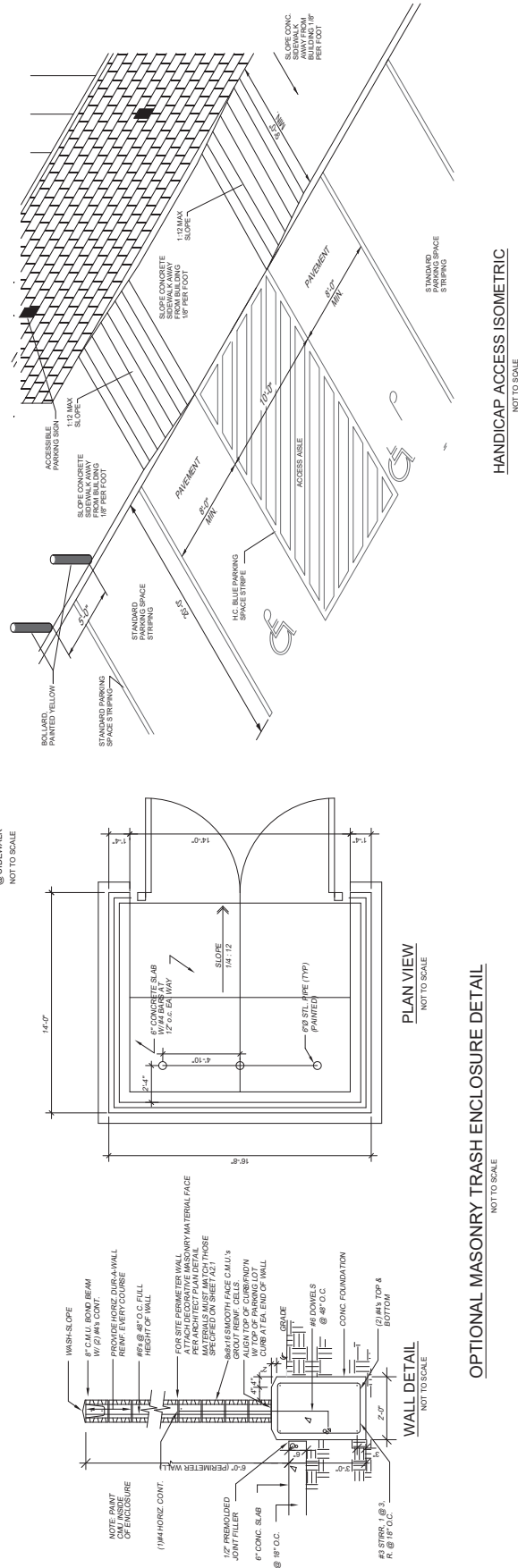
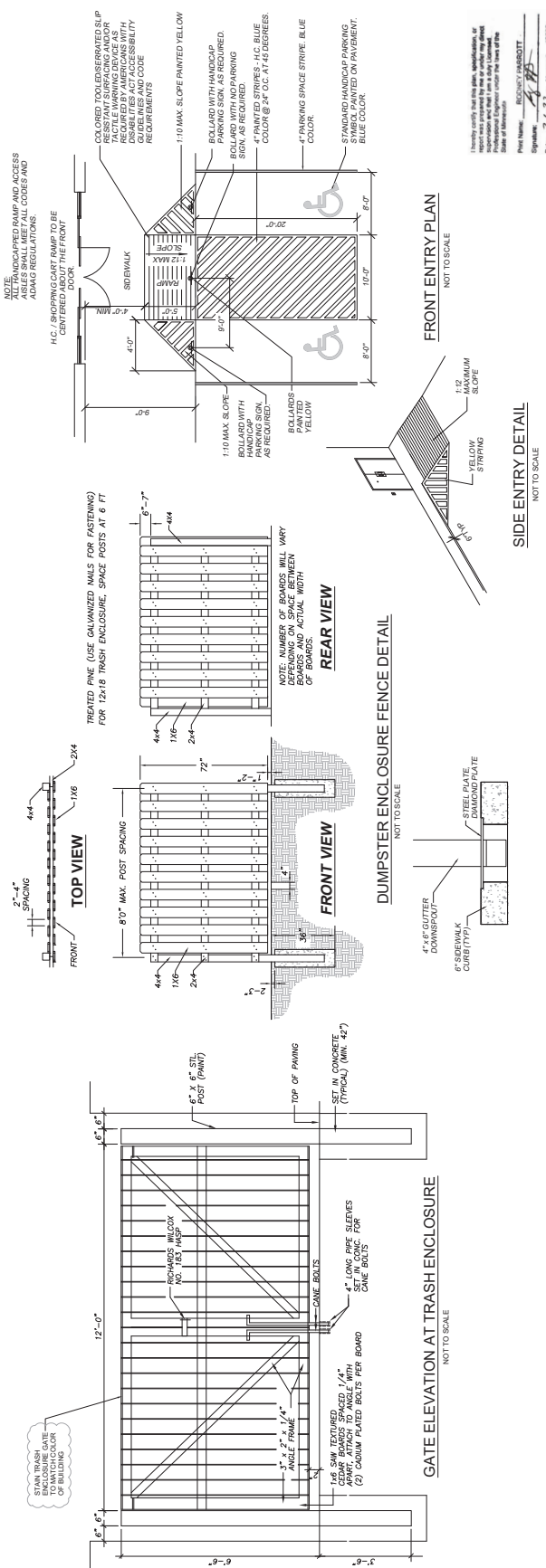
ROCKS AT ENTRANCE CLEAN WORKSHEET AND OFF OF TRUCK (TRES BEFORE) TO PREVENT DAMAGE TO FACILITY. ROCKS SHALL BE PLACED UNDER THE ROCK TO KEEP ROCKS DAMAGED AND KEEP CONSTRUCTION SEDIMENT OUT OF DRAINAGE SYSTEMS AND WETLANDS. GEOTEXTILE SHALL BE PLACED UNDER THE ROCK TO KEEP ROCKS SEPARATE FROM SOIL.



SILT SOCK PERIMETER
CONTROL & OVERLAPPING
NOT TO SCALE

800-252-1166
www.gopherstateonecall.org
UTILITY DISCLAIMER
EXISTING UNDERGROUND UTILITIES AND BURIED STRUCTURES IN THE VICINITY OF THE WORK TO BE PERFORMED HEREIN ARE INDICATED ON THE DRAWINGS TO BE DISCOVERED BY THE ENGINEER IN THE PREPARATION OF THE DRAWINGS. SUCH INFORMATION AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.

Verland Engineering, LLC
1998 Huron, Circle Street, 2008 West Plains, Missouri 65755
Phone: (417) 254-1550 Fax: (417) 254-1552
www.verlandeng.com
Project Name: RECONSTRUCTION OF THE STORM INLET
Signature: [Signature]
Date: 2-2-21 License # 0000

[illegible]



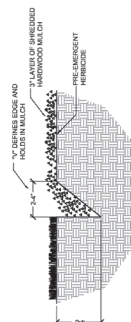
[illegible]

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: RODNEY PARROTT
Signature: [Signature]
Date: 7-6-22 License #: 49282

V-CUT LANDSCAPE BED EDGE DETAIL

SCALE: N.T.S.

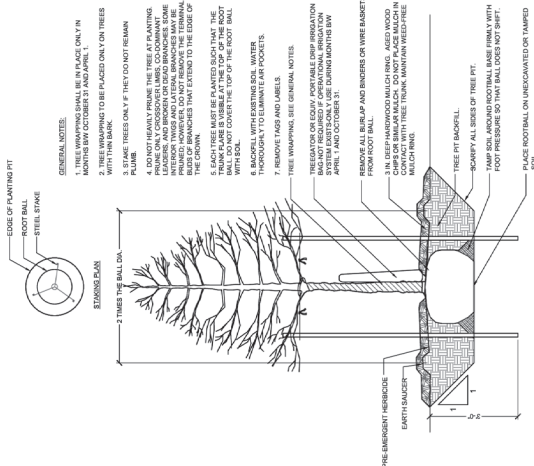


LANDSCAPE NOTES:

1. ALL PLANTING BEDS SHALL HAVE A MINIMUM 3" DEPTH OF MULCH, WITH EDGING AS REQUIRED.
2. ALL PLANTING BEDS SHALL BE MAINTAINED FREE OF WEEDS AND UNDESIRABLE PLANTS.
3. ALL TREES LOCATED IN SOO AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING.
4. ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTINGS.
5. MAXIMUM GRADING SHALL NOT EXCEED 3".
6. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING ALL VEGETATION AND REGIONAL APPROPRIATE LANDSCAPING.

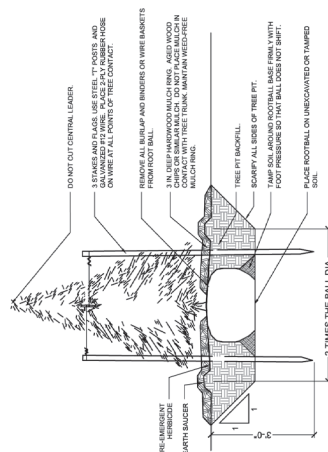
TREE PLANTING DETAIL

SCALE: N.T.S.



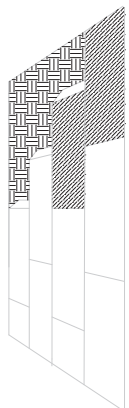
EVERGREEN TREE PLANTING DETAIL

SCALE: N.T.S.



INSTALLATION OF GRASS SOD

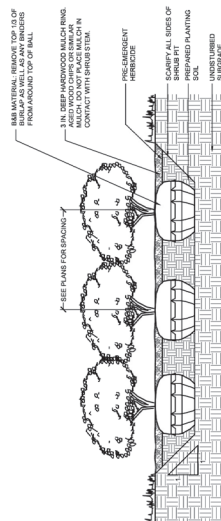
NOT TO SCALE



LAY SOD IN A STAGGERED PATTERN WITH STRIPS BUTTED TIGHTLY AGAINST EACH OTHER

SHRUB PLANTING DETAIL

SCALF: N.T.S.

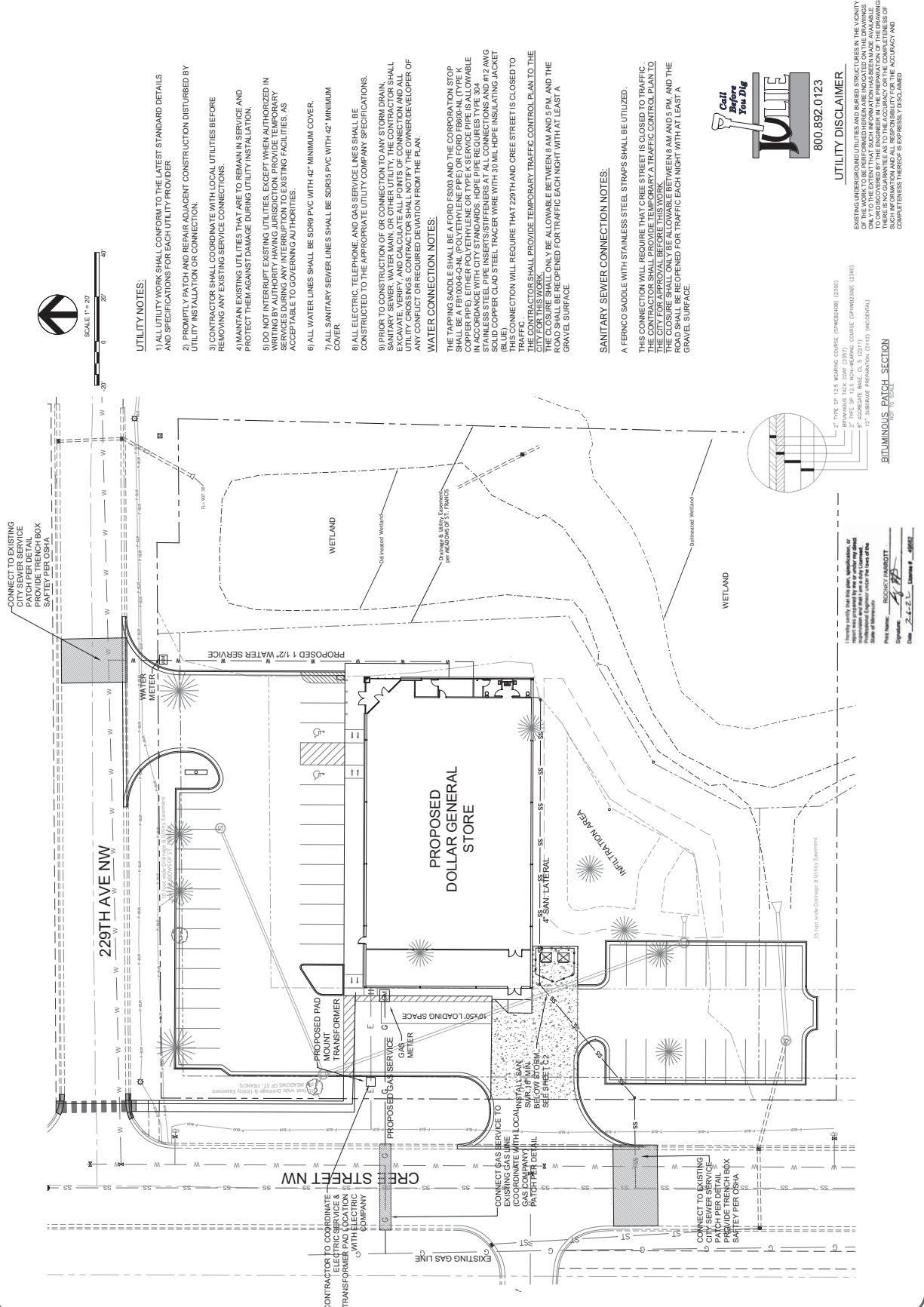


DOLLAR GENERAL

verland
ENGINEERING, LLC
1998 W. 10TH AVE., SUITE 200
ST. FRANCIS, MN 55075
PHONE: (612) 942-1950
www.verlandeng.com

DOLLAR GENERAL
ST FRANCIS, MN
SITE UTILITY PLAN

Agenda Item # 4D.



- UTILITY NOTES:**
- 1) ALL UTILITY WORK SHALL CONFORM TO THE LATEST STANDARD DETAILS AND SPECIFICATIONS FOR EACH UTILITY PROVIDER
 - 2) PROMPTLY PATCH AND REPAIR ADJACENT CONSTRUCTION DISTURBED BY UTILITY INSTALLATION OR CONNECTION
 - 3) CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITIES BEFORE REMOVING ANY EXISTING SERVICE CONNECTIONS.
 - 4) MAINTAIN EXISTING UTILITIES THAT ARE TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING UTILITY INSTALLATION
 - 5) DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITY HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING ANY INTERRUPTION TO EXISTING FACILITIES, AS ACCEPTABLE TO GOVERNING AUTHORITIES.
 - 6) ALL WATER LINES SHALL BE SDR9 PVC WITH 42" MINIMUM COVER.
 - 7) ALL SANITARY SEWER LINES SHALL BE SDR35 PVC WITH 42" MINIMUM COVER.
 - 8) ALL ELECTRIC, TELEPHONE, AND GAS SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
 - 9) PRIOR TO CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER, GAS, OR ELECTRIC LINE, CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS. CONTRACTOR SHALL NOTIFY THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATION FROM THE PLAN.
- WATER CONNECTION NOTES:**
- THE TAPPING SADDLE SHALL BE A FORD FS303 AND THE CORPORATION STOP SHALL BE A FB1000G-2-AL. POLYETHYLENE PIPE (OR FORD FROBANK TYPE K COPPER PIPE), EITHER POLYETHYLENE OR TYPE K SERVICE PIPE IS ALLOWABLE IN ACCORDANCE WITH CITY STANDARDS. HOPE PIPE REQUIRES TYPE 304 STAINLESS STEEL WELDING. THE TAPPING SHALL BE DONE USING A 1/2" A.W.G. SOLID COPPER CLAD STEEL TRACER WIRE WITH 30 MIL HOPE INSULATING JACKET (BLUE).
- THIS CONNECTION WILL REQUIRE THAT 229TH AND CREE STREET IS CLOSED TO THE CONTRACTOR SHALL PROVIDE TEMPORARY TRAFFIC CONTROL PLAN TO THE CITY FOR THIS WORK.
- THE CLOSURE SHALL ONLY BE ALLOWABLE BETWEEN 8 AM AND 6 PM, AND THE ROAD SHALL BE REOPENED FOR TRAFFIC EACH NIGHT WITH AT LEAST A GRAVEL SURFACE.

SANITARY SEWER CONNECTION NOTES:

A FERNCO SADDLE WITH STAINLESS STEEL STRAPS SHALL BE UTILIZED. THIS CONNECTION WILL REQUIRE THAT CREE STREET IS CLOSED TO TRAFFIC. THE CONTRACTOR SHALL PROVIDE TEMPORARY TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL BEFORE THIS WORK.

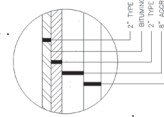
THE CLOSURE SHALL ONLY BE ALLOWABLE BETWEEN 8 AM AND 6 PM, AND THE ROAD SHALL BE REOPENED FOR TRAFFIC EACH NIGHT WITH AT LEAST A GRAVEL SURFACE.



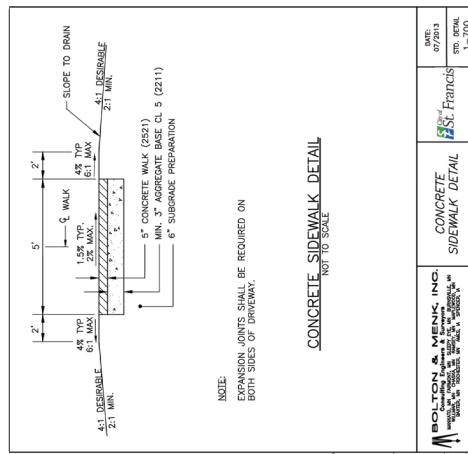
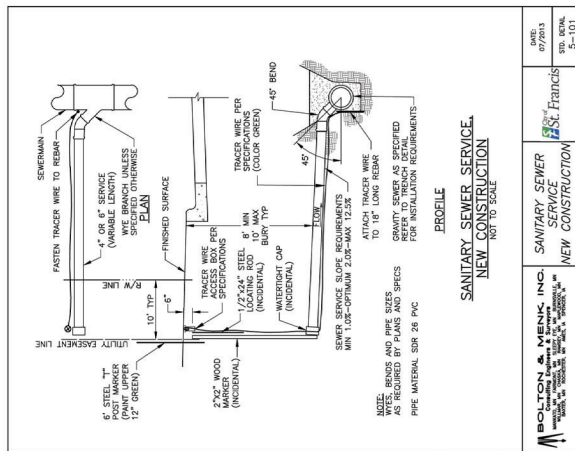
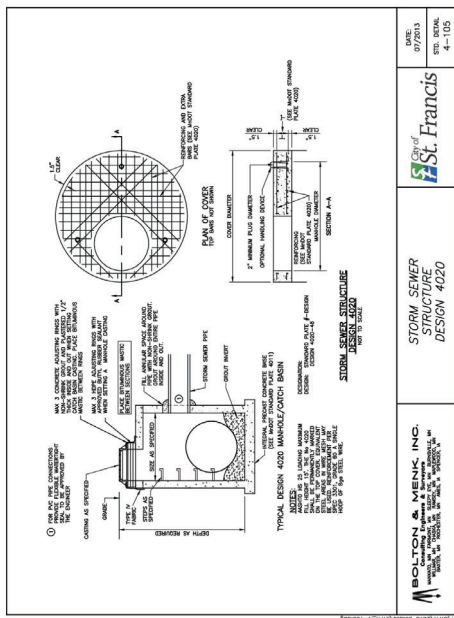
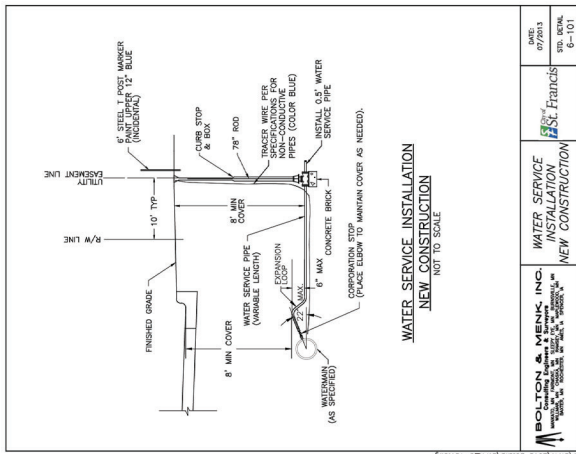
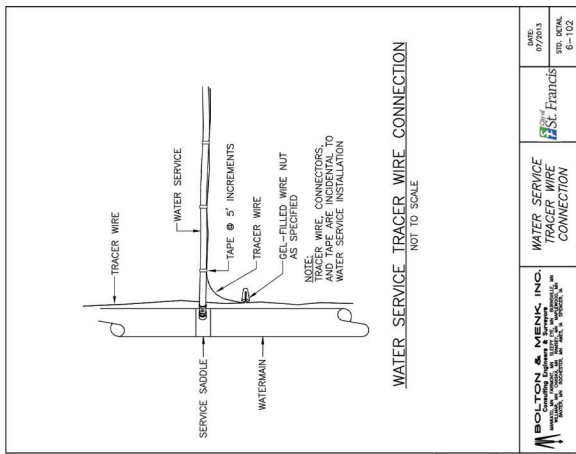
UTILITY DISCLAIMER

EXISTING UNDERGROUND UTILITIES AND BURIED STRUCTURES IN THE VICINITY OF THE WORK TO BE PERFORMED HEREIN ARE INDICATED ON THE DRAWINGS TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THE ENGINEER HAS MADE A REASONABLE INVESTIGATION OF THE DRAWINGS TO OUR DISCOVERY BY THE ENGINEER IN THE PREPARATION OF THE DRAWINGS. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.

BITUMINOUS PATCH SECTION



Professional Engineer License # 0000000000
Date: 11/11/2023
Signature: [Signature]
Print Name: JESSICA JOHNSON
Title: Engineer



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: RODNEY PARROTT

Signature: [Signature]

Date: 3-6-22 License # 405873



Call Before You Dig

MILE

800.892.0123

UTILITY DISCLAIMER

EXISTING UNDERGROUND UTILITIES AND BURIED STRUCTURES IN THE VICINITY OF THE WORK TO BE PERFORMED HEREIN ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN THE PREPARATION OF THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR THE COMPLETENESS OF SUCH INFORMATION AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.

EXHIBIT C

ENCROACHMENT AGREEMENT FOR PRIVATE USE OF PUBLIC PROPERTY

This Encroachment Agreement For Private Use of Public Property (hereinafter Agreement”) is made this ____ day of _____, 2022, between the CITY OF ST. FRANCIS, Minnesota, a Minnesota municipal corporation (the “City”), and DGOGSaintfrancismn07072021, LLC, a corporation under the laws of the State of Missouri (“Owner”).

RECITALS:

- A. The Owner is the fee owner of property located in the City of St. Francis, Minnesota (the “Owner’s Property”), legally described as:
- B. The Owner’s Property is abutted by City Property that includes a City storm water pipe.
- C. Owner and City have entered into the certain SITE IMPROVEMENT PERFORMANCE AGREEMENT dated the _____, 2022 (hereinafter “Site Agreement”) related to Owner’s construction on the Property of a commercial building for a Dollar General Store (“Improvements”).
- D. As part of its Improvements, the Owner desires to construct and install a parking lot and parking lot curb, and other necessary Improvements within the City Property as located, identified, and described on the plans (“Plans”) attached hereto as **Exhibit A-1** (“Encroachment”).
- E. City is willing to permit the Encroachment as depicted on Exhibit A-1, subject to the terms and conditions of this Agreement.

AGREEMENT

In consideration of the foregoing and the mutual covenants herein, the parties agree as follows:

- 1. RECITALS. The recitals set forth above are incorporated herein.
- 2. PUBLIC PROPERTY. The Owner acknowledges that the Improvements encroach on City Property.

3. **ENCROACHMENT CONSTRUCTION.** City grants Owner the right to and Owner hereby assumes the responsibility to construct, maintain, and repair, the Encroachment in accordance with all applicable laws and regulations (collectively referred to as the “Encroachment Construction”) in the locations identified on **Exhibit A-1** and subject to the terms set forth in this Agreement. Responsibility for the Encroachment Construction shall be that of the Owner. The Owner shall perform, as and when necessary, and pay the cost for, the construction, maintenance and repair of the Encroachment as may be reasonably necessary to maintain the Improvements in good and aesthetic condition and repair. The City shall retain the right to manage the City Property as provided in state statutes and city code. The City shall also retain the right to monitor the Encroachment Construction to confirm that it is being completed in accordance with the Plans.

4. **ENCROACHMENT REMOVAL.** In the event that any portion of the Encroachment needs to be removed or relocated because, in the professional judgment of the City Engineer, it interferes with the City’s use, maintenance, or repair of the City Property, then the Owner shall perform and pay the cost for such removal. If the Owner fails to remove the Improvements, and the City incurs costs to remove them, then the Owner shall be responsible to the City for the costs associated with the removal of those Improvements.

5. **INDEMNITY.** The Owner shall indemnify, defend and hold the City and its employees, contractors, agents, representatives, elected and appointed officials, and attorneys harmless from any and all claims, damages, losses, costs and expenses, including attorneys’ fees, arising from, based on, or related to the encroachment of the Encroachment on the City Property, including, but not limited to, any claim asserted against the City as a result of the installation, placement, building erection, maintenance, occupation or use of the Encroachment and/or failure of the Owner to maintain the Encroachment in such a condition as to prevent against injury to persons or property, except that this indemnity shall not apply to any claims arising out of the sole gross negligence or willful misconduct of the City or its employees or agents.

6. **INSURANCE.** During the course of the initial construction of the Encroachment, Owner and its general contractor shall maintain a commercial general liability insurance policy, naming City as an additional insured, which provides coverage for damage to the property of others or injury or death to persons. Such coverage shall be on an occurrence basis and shall include contractual liability coverage with respect to the indemnity obligation in Paragraph 5 above. Said policy shall contain a clause which provides the insurer will not non-renew, or materially change the policy without first providing the City thirty (30) days prior written notice. The Owner shall provide the City with a Certificate of Insurance for such coverage that specifically details the conditions in Paragraphs 5 and 7 of this Agreement. Following completion of the initial construction of the Encroachment, and for so long as the Encroachment remains on, under, or within City Property, Owner shall maintain commercial general liability insurance with the following minimums: \$1 million individual occurrence and \$2 million aggregate insurance. Said policy shall contain a clause which provides the insurer will not non-renew, or materially change the policy without first providing the City thirty (30) days prior written notice.

7. **WAIVER OF CLAIMS.** The Owner knowingly and voluntarily waives and releases any and all claims against the City arising from, based on, or related to Owner being

permitted to maintain the Encroachment in the City Property as permitted by this Agreement, including but not limited to claims of abandonment, diminution in value, takings and contractual claims arising out of this Agreement, except any claims which are the result of the sole negligence or willful misconduct of the City or its employees or agents. The Owner acknowledges being represented by legal counsel in connection with this Agreement, and that the Owner has read and understands the terms of this Agreement.

8. CONDITION OF PUBLIC PROPERTY. The Owner acknowledges the City has made no representations or warranties regarding the condition of the City Property or its suitability for the uses permitted by this Agreement.

9. NO VESTED RIGHTS. This Agreement shall confer on Owner only those rights expressly granted herein and shall not constitute or be construed as creating or establishing any other right of the Owner to the area encroached upon.

10. TERMINATION. In the event the Owner fails to comply with paragraphs 3, 4, 5 or 6, of this Agreement, then upon 60 days written notice to the Owner of such failure(s), the City may terminate this Agreement. The provisions of paragraphs 4 and 5 of this Agreement shall expressly survive any termination of this Agreement. The City shall not terminate this agreement if the Owner cures such failures within the 60 days written notice period.

11. ADDITIONAL ENCROACHMENT CONDITIONS. Owner hereby agrees to the following additional conditions:

- A. The Encroachment shall be located as depicted in the attached **Exhibit A-1**.
- B. Owner shall secure from City all required municipal permits prior to any construction of the Encroachment within the City Property.
- C. The Encroachment and all work completed in relation thereto shall be in accordance with the City’s current standards and ordinances and other applicable laws and/or regulations in effect as of the Effective Date.
- D. The Owner shall coordinate to remove or relocate any portion of the Encroachment within City Property at the Owner’s sole expense that the City deems, in its sole discretion, needs to be relocated or removed as a result of repairs, improvement or changes to the City Property.
- E. The Owner must provide record drawings of the Encroachment and any other portion of the Encroachment left in-place to the City upon completion of the work.

12. BINDING EFFECT AND ASSIGNMENT. This Agreement shall run with the Owner’s Property in perpetuity and bind and inure to the benefit of the Owner’s Property, the parties hereto and their respective successors and assigns.

13. ENTIRE AGREEMENT. This Agreement contains all the terms and conditions relating to the Encroachment and replaces any oral agreements or other negotiations between the parties. No modifications of this Agreement shall be valid until they have been placed in writing and signed by all parties hereto.

14. RECORDING. The Owner shall cause this Agreement to be filed for record against the Owner’s Property with the Anoka County Recorder and Registrar of Titles (as applicable) immediately after execution.

SIGNATURES ON FOLLOWING PAGES

IN WITNESS WHEREOF, Developer and City have executed this Encroachment Agreement as of the day and year above first written.

CITY OF ST. FRANCIS

BY: _____
Steven D. Feldman
ITS: Mayor
(SEAL)

BY: _____
Jennifer Wida
ITS: City Clerk

STATE OF MINNESOTA)
) ss.
COUNTY OF ANOKA)

The foregoing instrument was acknowledged before me this _____ day of _____, 2022, by Steven D. Feldman and by Jennifer Wida, respectively the Mayor and City Clerk of the City of St. Francis, a Minnesota municipal corporation, on behalf of the corporation and pursuant to the authority granted by its City Council.

NOTARY PUBLIC

DGOGSaintfrancismn07072021, LLC
A Missouri corporation

BY: _____

ITS: _____

STATE OF)
) ss.
COUNTY OF)

The foregoing instrument was acknowledged before me this ____ day of _____, 2022, by _____ the _____ of DGOGSaintfrancismn07072021, LLC, a Missouri corporation, on behalf of the corporation.

NOTARY PUBLIC

DOCUMENT DRAFTED BY:
BARNA, GUZY & STEFFEN, LTD.
400 Northtown Financial Plaza
200 Coon Rapids Boulevard
Coon Rapids, MN 55433
(763) 780-8500 (DRS)

EXHIBIT A-1
ENCROACHMENT PLANS

To be added



CITY COUNCIL AGENDA REPORT

TO: Mayor and Council
FROM: Colette Baumgardner, Community Development Director
SUBJECT: Development Agreement for Meadows 4th Addition
DATE: November 7, 2022

OVERVIEW:

On July 18, 2022, the City Council passed Resolution No. 2022-37 approving the subdivision for the Meadows of St. Francis 4th Addition with conditions. One of the conditions of approval was to furnish a utility plan aligned city code. This condition was not met by the recording deadline, and City Council approved an extension for the recording in Resolution No. 2022-57.

On October 26, 2022, the applicant submitted a development plan aligned with city code, and staff approved the new subdivision administratively. As land is subdivided, the City enters into agreements with the developer to ensure that the land is developed to City standards.

ACTION TO BE CONSIDERED:

Move to approve the Development Agreement for Meadows of St. Francis 4th Addition

BUDGET IMPLICATION:

None.

ATTACHMENTS:

- Final Plat approved with conditions on July 18
- Final Plat approved on October 27
- Meadows of St. Francis 4th Addition Development Agreement

MEADOWS OF ST. FRANCIS 4TH ADDITION

CITY OF ST. FRANCIS
COUNTY OF ANOKA
SEC. 06, TWP. 33, RNG. 24

KNOW ALL PERSONS BY THESE PRESENTS:

That SFLC, LLC, a Minnesota limited liability company, owner of the following described property:

Lot 1, Block 2, MEADOWS OF ST. FRANCIS, Anoka County, Minnesota.

Has caused the same to be surveyed and platted as MEADOWS OF ST. FRANCIS 4TH ADDITION and does hereby dedicate to the public for public use the drainage and utility easements as created by this plat.

In witness whereof said SFLC, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this ____ day of _____, 20____.

James R. Anderson
President

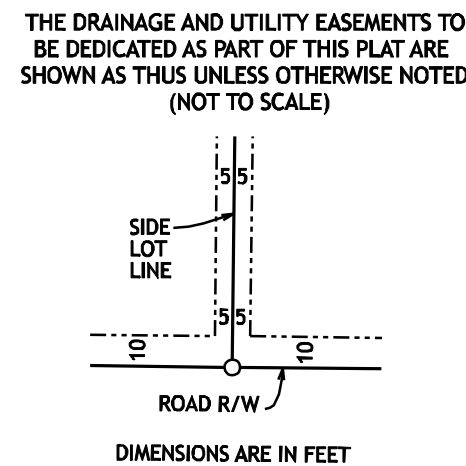
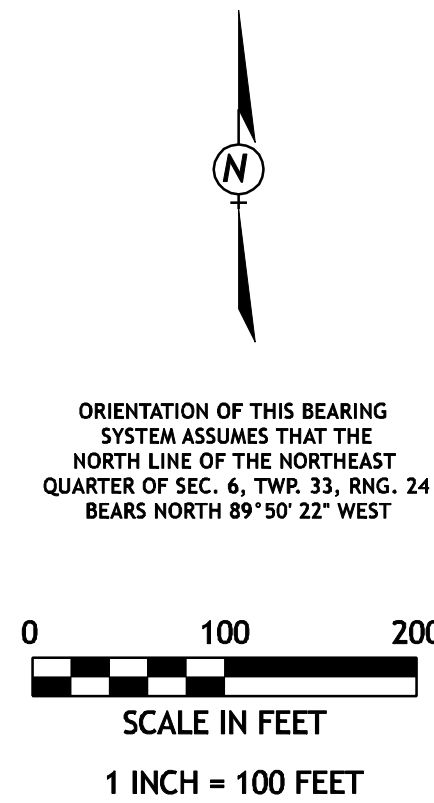
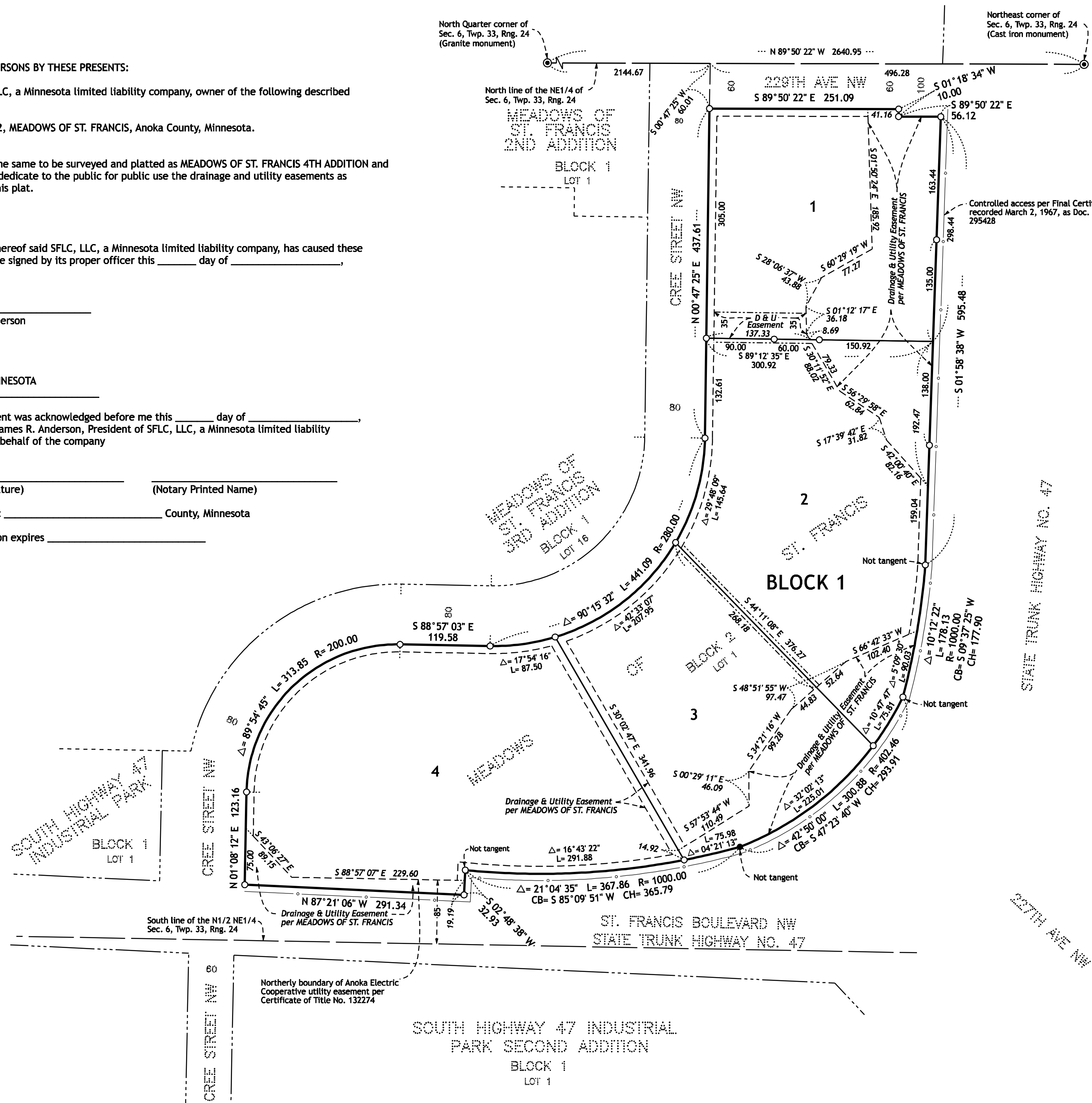
STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20____, by James R. Anderson, President of SFLC, LLC, a Minnesota limited liability company, on behalf of the company

(Notary Signature) (Notary Printed Name)

Notary Public _____ County, Minnesota

My commission expires _____



PROPERTY BOUNDARY MONUMENT LEGEND

- SET 1/2-INCH DIAMETER IRON PIPE WITH CAP STAMPED "DELEO 40341"
- FOUND 1/2-INCH DIAMETER IRON PIPE WITH CAP "RLS 9064"
- ⊙ GOVERNMENT SECTION CORNER MONUMENT

SURVEYOR'S CERTIFICATION

I Samuel J. DeLeo do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20____.

Samuel J. DeLeo, Licensed Land Surveyor
Minnesota License Number 40341

STATE OF MINNESOTA
COUNTY OF STEARNS

This instrument was acknowledged before me on this ____ day of _____, 20____ by Samuel J. DeLeo.

Sidney Theis

Notary Public Stearns County, Minnesota

My commission expires _____

City Council, City of St. Francis, Minnesota

This plat of MEADOWS OF ST. FRANCIS 4TH ADDITION was approved and accepted by the City Council of the City of St. Francis, Minnesota at a regular meeting thereof held this ____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of St. Francis, Minnesota

By: _____, Mayor By: _____, Clerk

County Surveyor

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20____.

By: _____
David M. Ziegler
Anoka County Surveyor

County Auditor/Treasurer

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 20____.

Property Tax Administrator

By _____, Deputy

County Recorder/Registrar of Titles
County of Anoka, State of Minnesota

I hereby certify that this plat of MEADOWS OF ST. FRANCIS 4TH ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this ____ day of _____, 20____, at ____ o'clock ____M. and was duly recorded as Document Number _____.

County Recorder/Registrar of Titles

By _____, Deputy

**DEVELOPMENT AGREEMENT
MEADOWS OF ST. FRANCIS 4TH ADDITION**

This Development Agreement (“Agreement”) is made and entered into this ____ day of _____, 2022, by and between the City of St. Francis, a Minnesota municipal corporation ("City") and James R. Anderson, (“Developer”), on behalf of SFLC LLC, a Minnesota Limited Liability Company ("Owner").

WITNESSETH:

WHEREAS, the City Council approved the final plat MEADOWS OF ST. FRANCIS 4TH ADDITION on July 18, 2022, subject to conditions;

WHEREAS, the City approved a revised plat MEADOWS OF ST. FRANCIS 4TH ADDITION on October 26, 2022, said plat is legally described in **Exhibit A** attached hereto and made a part hereof ("Property") contingent upon the conditions recited therein and on the execution of this Development Agreement by the Developer and City; and

WHEREAS, the City approved three (3) additional lots in this fourth addition; and

WHEREAS, the lots of the proposed plat are already serviced by streets and roads designed in accordance with applicable ordinances and standards; and

WHEREAS, the lots of the proposed plat are already serviced by sanitary sewer and water service in accordance with applicable ordinances and standards; and

WHEREAS, the City requires the payment of the fees for costs incurred for the availability of sanitary sewer and water service; and

WHEREAS, the lots of the proposed plat will require site plan review and approval by the City Council prior to development, and the developer of each lot will be required to enter into a Site Improvement Performance Agreement prior to ensure lots continue to be designed in accordance with City ordinances and standards; and

WHEREAS, the Owner has fee simple title to the property legally described in Exhibit A; and

WHEREAS, the Developer agrees to be fully bound by the terms and conditions of this Development Agreement (hereinafter referred to as “Development Agreement” or “Agreement”).

NOW, THEREFORE, in consideration of the mutual promises of the parties made herein, it is agreed by and between the parties hereto, that the Developer will take all actions in accordance with this Development Agreement at its own expense except as hereinafter provided.

IT IS ALSO AGREED:

1. **Request for Plat Approval.** The Owner is the fee owner of the lands in the City of St. Francis legally described on Exhibit A and has asked the City to approve the plat of MEADOWS OF ST. FRANCIS 4TH ADDITION. The land within the plat is legally described in Exhibit A.

2. **Conditions of Plat Approval.** The City hereby approves the plat on the condition that the Developer complies with all conditions outlined in the July 18, 2022, final plat approval (including references to requirements of the preliminary plat) city ordinances and compliance with this Agreement. The City hereby further conditions this approval upon the requirement that all future development of the lots will require approval from the City Engineer for the final utility plans, final grading and storm water plans. The City further conditions its approval on the Developer entering into this Agreement. The Developer is also required to provide evidence of full fee title in the property and pay all outstanding tax and special assessment obligations if any, as a condition of plat approval and telephone, electric and gas utility lines are to be placed underground in accordance with applicable City ordinances; all as a condition of plat approval.

3. **Right to Proceed.** Within the plat or land to be platted, the Developer may not grade or otherwise disturb the earth, remove trees, construct sewer lines, water lines, streets, utilities, public or private improvements, or any buildings until the following conditions have been satisfied: 1) this Agreement has been fully executed by both parties and filed with the City Clerk; 2) the Developer has submitted a title insurance policy to the City establishing that good and marketable title to the real property within the plat is in the name of the Developer; 3) the plat and this Agreement have been filed by the Developer with the Anoka County Recorder; and

4. **Improvements.** The Developer shall install and pay for the following public and private improvements (collectively the “Improvements”) as required to be built in accordance with the approved plans:

- A. Setting of Lot and Block Monuments
- B. Surveying and Staking

The improvements shall be installed in accordance with City standards, ordinances, and plans and specifications which have been prepared by an Engineer registered in the State of Minnesota and reviewed and approved by the City Engineer.

All other public and private improvements shall be agreed upon through a Site Improvement Performance Agreement as each lot is developed.

5. Summary of Cash Requirements. The following is a summary of the cash deposit under this Agreement which must be furnished to the City at the time of final plat approval and execution of this Agreement by the City:

Section 11 Escrow (Engineering, City Administration, Legal Expenses)	\$5,000.00
Park Dedication	\$7,500.00
Sanitary Sewer Trunk Line Charge	\$36,482.65
<i>Lot 1: \$4,150 x 1.324 net acres</i>	<i>\$5,494.60</i>
<i>Lot 2: \$4,150 x 2.407 net acres</i>	<i>\$9,989.05</i>
<i>Lot 3: \$4,150 x 1.630 net acres</i>	<i>\$6,764.50</i>
<i>Lot 4: \$4,150 x 3.430 net acres</i>	<i>\$14,234.50</i>
Water Trunk Line Charge	\$25,986.19
<i>Lot 1: \$2,956 x 1.324 net acres</i>	<i>\$3,913.74</i>
<i>Lot 2: \$2,956 x 2.407 net acres</i>	<i>\$7,115.09</i>
<i>Lot 3: \$2,956 x 1.630 net acres</i>	<i>\$4,818.28</i>
<i>Lot 4: \$2,956 x 3.430 net acres</i>	<i>\$10,139.08</i>
TOTAL CASH REQUIREMENTS	<u>\$74,968.84</u>
<u>Plus charges already on record and incurred by the City</u>	

The City will utilize the Section 11 Escrow to pay all bills associated with this project. If said fees are less than estimated, the City shall reimburse the Developer within thirty (30) days of completion of the setting of all iron monuments. If it appears that the actual costs incurred will exceed the estimate, Developer and City shall review the costs required to complete the project and Developer shall deposit additional sums with the City.

6. Responsibility for Costs.

A. Except as otherwise specified herein, the Developer shall pay all costs incurred by it or the City in conjunction with the development of the plat, including but not limited to Soil and Water Conservation District charges, legal, planning, engineering and inspection expenses incurred in connection with approval and acceptance of the plat, the preparation of this Agreement, review of construction plans and documents, and all costs and expenses incurred by the City in monitoring and inspecting development of the plat, as well as preparation of record drawings.

B. The Developer shall hold the City and its officers, employees, and agents harmless from claims made by itself and third parties for damages sustained or costs incurred resulting from plat approval and development. The Developer shall indemnify the City and its officers, employees, and agents for all costs, damages, or expenses which the City may pay or incur in consequence of such claims, including attorneys' fees and costs.

C. The Developer shall reimburse the City for reasonable costs incurred in the enforcement of this Agreement, including engineering and attorneys' fees.

D. The Developer shall pay, or cause to be paid when due, and in any event before any penalty is attached, all special assessments outlined in this Agreement. This is an obligation of the Developer and shall continue in full force and effect even if the Developer sells one or more lots, the entire plat, or any part of it.

E. The Developer shall pay in full all bills submitted to it by the City for obligations incurred under this Agreement within thirty (30) days after receipt. If the bills are not paid on time, the City may halt plat development and construction until the bills are paid in full. Bills not paid within thirty (30) days shall accrue interest at the rate of twelve percent (12%) per year.

F. In addition to the charges herein and special assessments referred to the herein, other charges as required by City ordinance may be imposed such as but not limited to sewer access charges ("SAC"), City water access charges ("WAC"), park dedication fees, and building permit fees.

7. Clean Up. The Developer will keep the Property free from accumulation of waste materials, rubbish, and other debris resulting from work. The Developer shall promptly clean dirt and debris from streets resulting from construction work by the Developer, its agents, assigns or purchasers of lots in the plat. If the streets are not cleaned within five (5) calendar days after notice to the Developer, the City will undertake the cleaning of the streets and charge the cost of the street cleaning back to the developer and shall be reimbursed for all incurred costs from the security provided by the Developer as set forth in this Agreement, or alternatively, the City shall assess the cost against the Property owned by the Developer within the City.

At the completion of the work, the Developer shall remove all waste materials, rubbish and debris from and about the premises as well as all tools, construction equipment, machinery, and surplus materials, and will leave the site clean. The Developer will restore to their original conditions (including topsoil and seed), those portions of the site not designated for alteration by the Agreement Plans.

8. Title of Plat. The Owner hereby warrants that it is the full fee owner of the development as of the time of the filing of the final plat for the development, and that any encumbrances will be junior to this Agreement. The Owner agrees to obtain a consent to plat and dedication of streets to City from all mortgagees on the property before the plat will be executed by the City.

9. Claims. In the event that the City receives claims from labor or materialmen that work required by this Agreement has been performed, the sums due them have not been paid, and the laborers or materialmen are seeking payment out of the financial guarantees posted within the City, the Developer hereby authorizes the City to commence an Interpleader action pursuant to Rule 22, Minnesota Rules of Civil Procedure for the District Courts, to draw upon the letters of credit in an amount up to 150% of the claim(s) and deposit the funds in compliance with the Rule, and upon such deposit, the Developer shall release, discharge, and dismiss the City from any further proceedings as it pertains to the funds deposited with the District Court, except that the Court shall retain jurisdiction to determine attorney's fees pursuant to this Agreement. The City will endeavor to notify the Developer of its intention to draw down the letter of credit. The City will give the Developer five (5) days notice, unless the security will expire within thirty (30) days, to deposit with the court an equal amount of cash in lieu of the City drawing down the letter of credit.

10. Developers Default. In the event of default by the Developer as to any of the work to be performed by it hereunder, the City may, at its option, perform the work and the Developer shall promptly reimburse the City for any expense incurred by the City, provided the Developer is first given notice of the work in default, not less than 48 hours in advance, unless this agreement provides for greater notice. This Agreement is a license for the City to act, and it shall not be necessary for the City to seek a Court order for permission to enter the land. When the City does any such work, the City may, in addition to its other remedies, assess the cost in whole or in part upon the Property to recover the costs. For this purpose, the Developer expressly waives any procedural and substantive objections to the special assessments, including, but not limited to, hearing requirements and any claim that the assessments exceed the benefit to the property as provided herewith.

11. City Engineering Administration and Construction Observation. Developer will undertake and finish the required surveying. The Developer shall pay a fee for engineering, administration and legal costs incurred by the City. City engineering and administration will include monitoring of construction, plat review, plan review, consultation with Developer and his engineer on status or problems regarding the project, coordination for final inspection and acceptance. Fees for this service shall be at standard hourly rates. Developer will provide a \$5,000 escrow plus payment of charges already on record incurred by the City, which is separate and in addition to any other escrow funds for this developer/development. The Developer shall pay for services provided by the City's consulting engineer in conjunction with this project. Engineering services will be billed on standard hourly rates. Upon receipt of certification from Developers Surveyor that all iron monuments have been placed, the City Engineer will prepare a recommendation to the City that all remaining escrow may be released. Legal fees shall include drafting of this Development Agreement and other associated documents for this Development title review and advice and counseling with the City Engineer, City Administrator and City staff. In the event that work is performed on the Property by a consultant of the City, the City shall

provide to Developer itemized billing statements showing the time spent, name of company performing the work, and a general description of the work performed.

12. Miscellaneous.

A. The Developer represents to the City that the plat complies with all City, County, Metropolitan, State and Federal laws and regulations, including but not limited to: subdivision ordinances, zoning ordinances, and environmental regulations. The Developer represents that all lots meet the minimum standards of the City's zoning ordinances unless otherwise stated in the variance granted with the preliminary plat approval. The Developer further represents to the City that all construction will be in accordance with City standards or applicable ordinances, regulations and policies. If the City determines that the plat does not comply, the City may, at its option, refuse to allow construction or development work in the plat until the Developer does comply. Upon the City's demand, the Developer shall cease work until there is compliance.

B. Third parties shall have no recourse against the City under this Agreement.

C. Breach of the terms of this Agreement or the conditions of the Resolution approving Final Plat by the Developer shall be grounds for denial of building permits, including lots sold to third parties.

D. If any portion, section, subsection, sentence, clause, paragraph or phrase of this Agreement is not for any reason held invalid, such decision shall not affect the validity of the remaining portion of this Agreement.

E. The action or inaction of the City shall not constitute a waiver or amendment to the provisions of this Agreement. To be binding, amendments or waivers shall be in writing, signed by the parties and approved by written resolution of the City Council. The City's failure to promptly take legal action to enforce this Agreement shall not be a waiver or release.

F. The Developer represents to the City to the best of its knowledge that the plat is not of "metropolitan significance" and that an environmental impact statement is not required. If the City or another governmental entity or agency determines that such a review is needed, however, the Developer shall prepare it in compliance with legal requirements so issued from the agency. The Developer shall reimburse the City for all expenses, including staff time and attorney's fees, the City incurs in assisting in preparation of the review.

G. This Agreement shall run with the land and shall be recorded against the title to the property. The Developer covenants with the City, its successors and assigns, that Developer is well seized in fee title of the property being final platted and/or has obtained consents to this Agreement, in the form attached hereto, from all parties who have an interest in the property; that there are no unrecorded interest in the property being final platted; and that the Developer will indemnify and hold the City harmless for any breach of the foregoing covenants.

H. Developer shall take out and maintain until six (6) months after the City has accepted the public improvements, public liability and property damage insurance covering personal injury, including death, and claims for the property damage which may arise out of Developer's work or the work of its subcontractors or by one directly or indirectly employed by any of them. Limits for bodily injury and death shall be not less than \$1,000,000 for one person and \$2,000,000 for each occurrence; limits for property damage shall be not less than \$250,000 for each occurrence; or a combination single limit policy of \$1,000,000 or more. The City and consulting engineer shall be named as an additional insured on the policy, and the Developer shall file with the City a certificate evidencing coverage prior to the City signing the plat. The certificate shall provide that the City must be given ten (10) days advance written notice of the cancellation of the insurance. The certificate may not contain any disclaimer for failure to give the required notice.

I. Each right, power or remedy herein conferred upon the City is cumulative and in addition to every other right, power or remedy, express or implied, now or hereafter arising, available to City, at law or in equity, or under any other agreement, and each and every right, power and remedy herein set forth or otherwise so existing may be exercised from time to time as often and in such order as may be deemed expedient by the City and shall not be waiver of the right to exercise at any time thereafter any other right, power or remedy.

J. The Developer may not assign this Agreement without the prior written permission of the City Council, which permission shall not be unreasonably withheld. The Developer's obligation hereunder shall continue in full force and effect even if the Developer sells one or more lots, the entire plat, or any part of it.

K. The Developer shall supply a copy of this Development Agreement to all persons who purchase lots from the Developer. This provision does not release any future developer or the developer's successors or assigns from the terms and provisions of this Development Agreement.

L. The Developer will comply with all issues and directions of the City Engineer.

13. Notices. Required notices to the Developer shall be in writing, and shall be either hand delivered to the Developer, its employees or agents, or mailed to the Developer by registered mail at the following address:

James Anderson
SFLC LLC
9893 Enclave Drive
Hopkins, MN 55305

Notices to the City shall be in writing and shall be either hand delivered to the City Administrator, or mailed to the City by registered mail in care of the City Administrator at the following address:

St. Francis City Hall
23340 Cree Street N.W
St. Francis, MN 55070
ATTN: City Administrator

14. Completion. The Developer shall notify the City when the construction of the Improvements has been completed. If the City determines in its sole and absolute discretion that (i) the improvements have been constructed in substantial conformity with the approved plans, (ii) the improvements are complete for purposes of issuing a certificate of occupancy, and (iii) all applicable warranty periods have expired, the City shall, in accordance with this Agreement, return all remaining deposits or securities held relating to the project. Upon the request of the Developer the City shall furnish to the Developer a Certificate of Completion certifying the completion of the project. Such Certificate of Completion shall be in recordable form. Developer shall reimburse City for the expense of legal and professional services in preparing the Certificate of Completion.

15. Indemnification. The Developer hereby agrees to indemnify and hold the City and its officials, employees, Contractors and agents harmless from claims made by itself and third parties for damages sustained or costs incurred resulting from any defect in the Subdivision. The Developer hereby agrees to indemnify and hold the City and its officials, employees, Contractors and agents harmless for all costs, damages, or expenses which the City may pay or incur in consequence of such claims, including attorneys’ fees, except matters involving intentional acts of misconduct or acts of gross negligence by the City. This indemnification shall survive the execution of any Certificate of Completion.

SIGNATURES APPEAR ON NEXT PAGE

IN WITNESS WHEREOF, the parties have signed this Development Agreement on the day and year above written.

CITY:

CITY OF ST. FRANCIS

By: _____
Steven D. Feldman
Its: Mayor

By: _____
Jennifer Wida
Its: City Clerk

STATE OF MINNESOTA)
) ss.
COUNTY OF ANOKA)

The foregoing instrument was acknowledged before me this _____ day of _____, 2022 by Steven D. Feldman and Jennifer Wida, the Mayor and City Clerk, respectively, of the City of St. Francis, a municipal corporation under the laws of Minnesota, on behalf of the corporation and pursuant to the authority of the City Council.

Notary Public

2496768_1

OWNER:

SFLC, LLC

By: _____
James R. Anderson

Its: President

[illegible]

The foregoing instrument has been acknowledged before me this ____ day of _____, 2022, by _____, the James R. Anderson, President of SFLC LLC, a Minnesota limited liability company, on behalf of the company.

Notary Public

DOCUMENT DRAFTED BY:
BARN, GUZY & STEFFEN, LTD.
400 Northtown Financial Plaza
200 Coon Rapids Boulevard
Coon Rapids, MN 55433
(763) 780-8500 (DRS)

**EXHIBIT A
LEGAL DESCRIPTION**

Lot 1, Block 2, MEADOWS OF ST. FRANCIS, Anoka County, Minnesota.

MEADOWS OF ST. FRANCIS PLAT 2

CITY OF ST. FRANCIS
COUNTY OF ANOKA
SEC. 06, TWP. 33, RNG. 24

KNOW ALL PERSONS BY THESE PRESENTS:

That STFC, LLC, a Minnesota limited liability company, owner of the following described property situated in the City of St. Francis, County of Anoka, State of Minnesota to wit:

Lot 1, Block 2, MEADOWS OF ST. FRANCIS, Anoka County, Minnesota.

Has caused the same to be surveyed and platized as MEADOWS OF ST. FRANCIS PLAT 2 and does hereby dedicate to the public for public use forever the drainage and utility easements as created by this plat.

Notwithstanding and STFC, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officers this _____ day of _____, 20____.

James B. Anderson
President

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20____, by James B. Anderson, President of STFC, LLC, a Minnesota limited liability company, on behalf of the company.

(Notary Signature) _____ (Notary Printed Name) _____

Notary Public _____ County, Minnesota _____

My commission expires _____

THE MEADOWS AND UTILITY EASEMENTS TO BE DEDICATED AS PART OF THIS PLAT ARE SHOWN AS TWO UNCLAS STRIPING PATTERNS



CITY OF ST. FRANCIS

Approved by the Council of the City of St. Francis, this _____ day of _____, 20____.

Mayor _____ City Clerk _____

ANOKA COUNTY

County Surveyor _____

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20____.

By _____
David M. Trajntner
Anoka County Surveyor

County Auditor/Treasurer _____

Per Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____, are hereby levied on the property described in this plat. All taxes levied on this property shall be paid to the County Treasurer. Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20____.

Property Tax Administrator _____

By _____ Deputy _____

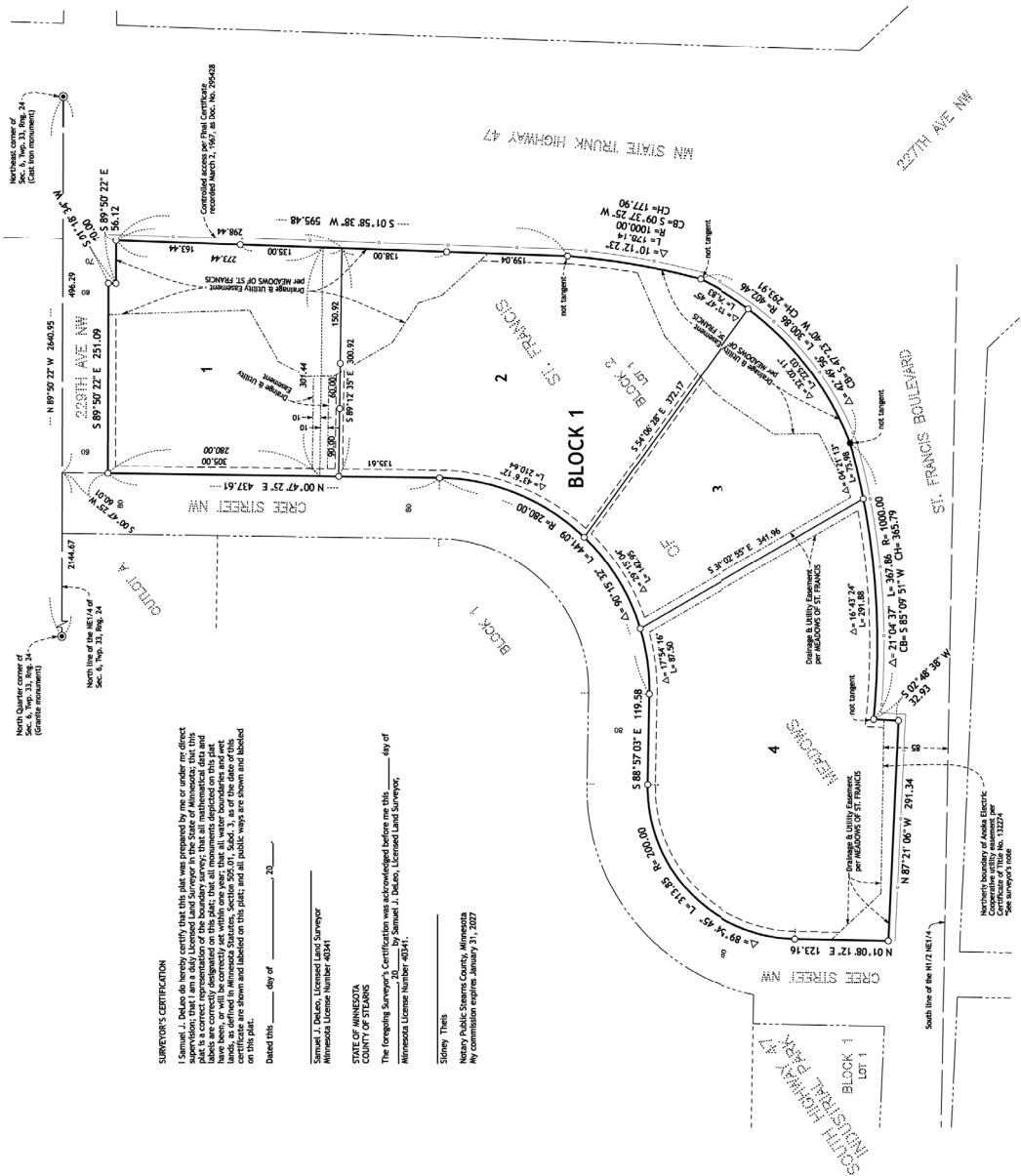
County Recorder/Registrar of Titles _____

I, _____, County Recorder/Registrar of Titles for the County of St. Francis, do hereby certify that this plat was filed in the office of the County Recorder/Registrar of Titles for public record on this _____ day of _____, 20____, at _____ o'clock _____, and was duly recorded in Document Number _____.

County Recorder/Registrar of Titles _____

By _____ Deputy _____

Agenda Item # 4E.



SURVEYOR'S CERTIFICATION

I, Samuel J. DeLeo, do hereby certify that this plat was prepared by me or under my direct supervision that I am a duly Licensed and Surveyor in the State of Minnesota that this plat was prepared in accordance with the Minnesota Statutes, Chapter 505, that the labels are correctly designated on this plat; that all monuments depicted on this plat are shown and labeled on this plat; that all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Samuel J. DeLeo, Licensed Land Surveyor
Minnesota License Number 40341

STATE OF MINNESOTA
COUNTY OF STEARNS

The foregoing Surveyor's Certification was acknowledged before me this _____ day of _____, 20____, by Samuel J. DeLeo, Licensed Land Surveyor, Minnesota License Number 40341.

Simony Thies

Notary Public Stearns County, Minnesota
My commission expires January 31, 2027

KLD
KRAMER LEAS DELO
SURVEYING - ENGINEERING - PLANNING
BRAINERD ST. CLOUD



CITY COUNCIL AGENDA REPORT

TO: Mayor and Council
FROM: Dave Schmidt, Fire Chief
SUBJECT: Accept Donation
DATE: November 7, 2022

OVERVIEW:

The fire department has received donations in the amount of \$1464.59 from the French Toast Breakfast. These funds will be utilized for Fire Prevention related activities

ACTION TO BE CONSIDERED:

Motion to accept a donation for the amount of \$1464.59 dollars to be used in Fire Prevention related activities.



CITY COUNCIL AGENDA REPORT

TO: Kate Thunstrom, City Administrator
FROM: Colette Baumgardner, Community Development Director
SUBJECT: Planning Commission Appointments to Fill Vacancy
DATE: November 7, 2022

OVERVIEW:

City code 2-4-2 identifies the establishment and composition of the Planning and Zoning Commission. This group of individual's reviews land use and zoning applications. The responsibility of the Commission is to make recommendations to Council on those issues brought forward.

The Planning Commission consists of seven voting members who are appointed by the City Council. Appointed members serve three-year terms. In 2022, two Planning Commission members resigned mid-term. Staff advertised the vacancies on the City website and in the City newsletter. After interviewing applicants, staff recommends the following residents to be appointed to the Commission.

Applicants to be considered:

- ♦ Gail Genin – filling vacancy with term ending in December 2024
- ♦ Dustin Hingos – filling vacancy with term ending in December 2022

ACTION TO BE CONSIDERED:

Council is requested to appoint the two individuals to the Planning Commission to fill the terms of the resigned members.

ATTACHMENTS:

- Application from Gail Genin
- Application from Dustin Hingos

**CITY OF ST. FRANCIS
APPLICATION FOR COMMISSIONS**☒ **Planning Commission** ☐ **Park Commission** ☐ **Upper Rum River** ☐ **Charter Commission** ☐ **EDA**

1. Name: Gail Genin Home Phone: 763-222-3826
Work Phone: _____

2. Address: 23518 Saint Francis Blvd NW, St. Francis MN 55070

3. How long have you lived in the City? 2 years

4. Occupation: retired Employer: N/Z

5. Education: (Please indicate highest grade completed or degree and course of study)
12+

6. What skills do you have that you feel would benefit the City? I served three years on the Planning Commission in Isanti County and was their representative to the Board of Adjustment. During this time I also served on the Comprehensive Plan Committee.

7. Why do you want to serve on this Commission/City Council?
It is my belief that a resident of a city should be active in their community. I feel that this is one way I can give back.

8. What experience do you have that you feel would be pertinent to this Commission/City Council?
Previous planning committee experience as well as management positions during the working career.

9. What other civic activities are you involved in? I currently volunteer for several organizations that serve our military community, including Fundraising Chair of Isanti County Beyond the Yellow Ribbon

10. Do you participate in any activities that may be viewed as a Conflict of Interest in serving on this Commission/City Council?
No.

11. Have you attended a Commission/City Council meeting within the past year? No. If yes, please indicate the reason for attending:

12. Have you served on any City Commission/Council or board in the past? No If yes, please indicate the Commission and the date of service:

Signature: _____

Date: September 19, 2022

**CITY OF ST. FRANCIS
APPLICATION FOR COMMISSIONS**☒ **Planning Commission** ☐ **Park Commission** ☐ **Upper Rum River** ☐ **Charter Commission** ☐ **EDA**

1. Name: Dustin Hingos Home Phone: (612)272-8288
Work Phone: (716)957-4433
2. Address: 23274 Vintage St NW
3. How long have you lived in the City? 4.5 years, since March 2018.
4. Occupation: Sr Advanced Manufacturing Aerospace Engineer Employer: Honeywell Aerospace
5. Education: (Please indicate highest grade completed or degree and course of study)
Bachelors in Aerospace Engineering and Minor in Military Studies
6. What skills do you have that you feel would benefit the City? I consider myself an avid DIY'er and have engaged locally for permits
I also a homeowner, avid parks enthusiast, and keeping an eye on emerging technologies.
7. Why do you want to serve on this Commission/City Council?
I was raised by a single mother, growing up I never lived anywhere longer than 3 years. St Francis is my long term home and I want to have
input into it's development.
8. What experience do you have that you feel would be pertinent to this Commission/City Council?
I am an extensive learner. When presented with a minutes package I'll spend my own time researching project and
come to meeting prepared for discussion. In college as part of humanities requirements took DSN 270, Forces Shaping Metropolitan Development.
9. What other civic activities are you involved in? N/A
10. Do you participate in any activities that may be viewed as a Conflict of Interest in serving on this Commission/City Council?
No conflicts of interest
11. Have you attended a Commission/City Council meeting within the past year? No If yes, please indicate the reason
for attending:
But have followed the published meeting minutes.
12. Have you served on any City Commission/Council or board in the past? No If yes, please indicate the Commission
and the date of service:

Signature: Date: 10/1/2022



CITY COUNCIL AGENDA
REPORT

TO: Kate Thunstrom, City Administrator
FROM: Darcy Mulvihill, Finance Director
SUBJECT: Payment of Claims
DATE: November 7, 2022

OVERVIEW:
Attached are the bills received since the last council meeting. Total checks to be written are \$288,415.99 plus any additional bills that are handed out at council meeting.

Other Payments to be approved:
Debt service payments –N/A
Direct Transfers from Previous Month-N/A
Credit Card Payment- N/A
Manual Checks-N/A

ACTION TO BE CONSIDERED:
Approved under consent agenda to allow the Finance Director to draft checks or ACH withdrawals for the attached bill list. Please note additional bills may be handed out at the council meeting.

BUDGET IMPLICATION:
City bills

Attachments:
• 11-07-2022 Packet List-\$288,415.99

CITY OF ST FRANCIS

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Agenda Item # 4H.

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*Claim Register©

AP 11-07-2022

October 2022

Claim Type

Claim#	16257	ANOKA COUNTY TREASURY DEPT				
Cash Payment	E 101-42110-321 Telephone	BROADBAND				\$37.51
	Invoice B221015P					
Cash Payment	E 101-42210-321 Telephone	BROADBAND				\$37.51
	Invoice B221015P					
Cash Payment	E 101-43100-321 Telephone	BROADBAND				\$37.51
	Invoice B221015P					
Cash Payment	E 101-45200-321 Telephone	BROADBAND				\$37.51
	Invoice B221015P					
Cash Payment	E 601-49440-321 Telephone	BROADBAND				\$37.51
	Invoice B221015P					
Cash Payment	E 602-49490-321 Telephone	BROADBAND				\$37.45
	Invoice B221015P					
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$225.00

Claim Type

Claim#	16255	ASPEN MILLS				
Cash Payment	E 101-42110-437 Uniforms	UNIFORMS - CHAPLAIN				\$47.80
	Invoice 302368					
Cash Payment	E 101-42110-437 Uniforms	UNIFORMS - RICH JOHNSON				\$12.40
	Invoice 302444					
Cash Payment	E 101-42110-437 Uniforms	UNIFORMS - CHIEF SCHWIEGER				\$55.95
	Invoice 302749					
Cash Payment	E 101-42110-437 Uniforms	UNIFORMS - SHERBURNE				\$1,063.35
	Invoice 302284					
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$1,179.50

Claim Type

Claim#	16252	BELLBOY CORPORATION				
Cash Payment	E 609-49751-206 Freight	FREIGHT				\$13.50
	Invoice 0096992200					
Cash Payment	E 609-49751-251 Liquor	LIQUOR				\$705.50
	Invoice 0096992200					
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$719.00

Claim Type

Claim#	16297	BERNICK COMPANIES, THE				
Cash Payment	E 609-49751-254 Miscellaneous Merchandis	MISC				\$21.71
	Invoice 10008591					
Cash Payment	E 609-49751-252 Beer	BEER				\$523.60
	Invoice 10008590					
Cash Payment	E 609-49751-252 Beer	BEER				\$1,112.30
	Invoice 10006196					
Cash Payment	E 609-49751-255 N/A Products	NA PRODUCTS				\$122.50
	Invoice 10008590					
Transaction Date	10/31/2022	Due 10/31/2022	CASH	10100	Total	\$1,780.11

Claim Type

Claim#	16290	BGS (BARNA GUZY)				
Cash Payment	E 101-41600-304 Civil Legal Fees	MISCELLANEOUS FORFEITURES				\$39.00
	Invoice 253556					
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$39.00

CITY OF ST FRANCIS

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*Claim Register©

AP 11-07-2022

October 2022

Claim Type

Claim#	16296	BLUE CLOUD DISTRIBUTION OF M				
Cash Payment	E 609-49751-252 Beer	BEER				\$1,417.65
	Invoice 101090606					
Transaction Date	10/31/2022	Due 10/31/2022	CASH	10100	Total	\$1,417.65

Claim Type

Claim#	16250	BREAKTHRU BEVERAGE				
Cash Payment	E 609-49751-206 Freight	FREIGHT				\$26.95
	Invoice 346153238					
Cash Payment	E 609-49751-206 Freight	FREIGHT				-\$1.45
	Invoice 410261106					
Cash Payment	E 609-49751-206 Freight	FREIGHT				\$41.68
	Invoice 346253530					
Cash Payment	E 609-49751-254 Miscellaneous Merchandis	MISC				-\$25.16
	Invoice 410261106					
Cash Payment	E 609-49751-251 Liquor	LIQUOR				\$2,112.82
	Invoice 346153238					
Cash Payment	E 609-49751-251 Liquor	LIQUOR				\$1,665.52
	Invoice 346253530					
Cash Payment	E 609-49751-253 Wine	WINE				\$531.96
	Invoice 346253530					
Cash Payment	E 609-49751-253 Wine	WINE				\$120.00
	Invoice 346153238					
Cash Payment	E 609-49751-254 Miscellaneous Merchandis	MISC				\$100.64
	Invoice 346253530					
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$4,572.96

Claim Type

Claim#	16355	CHOICE HOMES				
Cash Payment	G 601-22200 Deferred Revenues	CHECK REISSUE				\$123.02
	Invoice .11032022-2					
Transaction Date	11/3/2022	Due 11/3/2022	CASH	10100	Total	\$123.02

Claim Type

Claim#	16302	COON RAPIDS, CITY OF				
Cash Payment	E 101-43100-303 Engineering Fees	2022 SEALCOATING/LEGAL COSTS				\$3,615.86
	Invoice 13760					
Transaction Date	10/31/2022	Due 10/31/2022	CASH	10100	Total	\$3,615.86

Claim Type

Claim#	16301	CRYSTAL SPRINGS ICE				
Cash Payment	E 609-49751-206 Freight	FREIGHT				\$4.00
	Invoice 9000922					
Cash Payment	E 609-49751-206 Freight	FREIGHT				\$4.00
	Invoice 9000870					
Cash Payment	E 609-49751-254 Miscellaneous Merchandis	MISC				\$107.90
	Invoice 9000870					
Cash Payment	E 609-49751-254 Miscellaneous Merchandis	MISC				\$166.80
	Invoice 9000922					
Transaction Date	10/31/2022	Due 10/31/2022	CASH	10100	Total	\$282.70

Claim Type

Claim#	16300	DAHLHEIMER DIST. CO. INC.				
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CITY OF ST FRANCIS

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*Claim Register©

AP 11-07-2022

October 2022

Cash Payment	E 609-49751-252 Beer	BEER				\$19,975.75
	Invoice 1765790					
Cash Payment	E 609-49751-252 Beer	BEER				\$100.00
	Invoice 1767758					
Cash Payment	E 609-49751-252 Beer	BEER				\$12,017.00
	Invoice 1761523					
Cash Payment	E 609-49751-255 N/A Products	N/A PRODUCTS				\$115.80
	Invoice 1761523					
Transaction Date	10/31/2022	Due 10/31/2022	CASH	10100	Total	\$32,208.55

Claim Type

Claim#	16309	DEHN OIL				
Cash Payment	E 101-43100-212 Motor Fuels	FUELS				\$1,086.93
	Invoice 89240					
Cash Payment	E 101-45200-212 Motor Fuels	FUELS				\$1,086.93
	Invoice 89240					
Cash Payment	E 601-49440-212 Motor Fuels	FUELS				\$1,086.93
	Invoice 89240					
Cash Payment	E 602-49490-212 Motor Fuels	FUELS				\$1,086.94
	Invoice 89240					
Transaction Date	10/31/2022	Due 10/31/2022	CASH	10100	Total	\$4,347.73

Claim Type

Claim#	16294	DUSTY S DRAIN CLEANING				
Cash Payment	E 101-45200-311 Contract	WINTERIZE PARK BUILDING				\$245.00
	Invoice 3370NAP					
Transaction Date	10/27/2022	Due 10/27/2022	CASH	10100	Total	\$245.00

Claim Type

Claim#	16264	EAGLE GARAGE DOOR CO.				
Cash Payment	E 101-42110-401 Buildings Maintenance	SEMI-ANNUAL MAINTENANCE				\$225.00
	Invoice 8277					
Cash Payment	E 101-45200-401 Buildings Maintenance	PUBLIC WORKS				\$150.00
	Invoice 8317					
Cash Payment	E 101-43100-401 Buildings Maintenance	SERVICE DOOR AT PW				\$120.00
	Invoice 8276					
Cash Payment	E 101-45200-401 Buildings Maintenance	SERVICE DOOR AT PW				\$120.00
	Invoice 8276					
Cash Payment	E 601-49440-401 Buildings Maintenance	SERVICE DOOR AT PW				\$120.00
	Invoice 8276					
Cash Payment	E 602-49490-401 Buildings Maintenance	SERVICE DOOR AT PW				\$120.00
	Invoice 8276					
Cash Payment	E 101-42110-401 Buildings Maintenance	SERVICE DOOR AT PW				\$120.00
	Invoice 8276					
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$975.00

Claim Type

Claim#	16261	ECM PUBLISHERS, INC.				
Cash Payment	E 101-41400-351 Legal Notices Publishing	RESOLUTION 2022-56				\$91.37
	Invoice 916688					
Cash Payment	E 101-41400-351 Legal Notices Publishing	SAMPLE BALLOT				\$75.25
	Invoice 916687					
Cash Payment	E 101-41400-351 Legal Notices Publishing	PUBLIC ACCURACY TEST				\$26.87
	Invoice 916686					

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Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$193.49
Claim Type						
Claim#	16260	ELITE SANITATION				
Cash Payment	E 101-42210-209	Fire Prevention Supplies	SFFD FIRE PREVENTION			\$345.00
Invoice 29262						
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$345.00
Claim Type						
Claim#	16259	EMPIRE PIPE SERVICES				
Cash Payment	E 602-49490-400	System Jetting	SANITARY SEWER MAINTENANCE			\$27,720.00
Invoice 3617						
Cash Payment	E 602-49490-400	System Jetting	SANITARY SEWER WORK			\$5,363.90
Invoice 3748						
Cash Payment	E 602-49490-229	Project Maintenance	SANITARY SEWER WORK			\$5,363.90
Invoice 3748						
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$38,447.80
Claim Type						
Claim#	16339	GOPHER STATE ONE-CALL				
Cash Payment	E 602-49490-442	Gopher State	IT EMAIL TICKETS			\$35.10
Invoice 2100762						
Cash Payment	E 601-49440-442	Gopher State	IT EMAIL TICKETS			\$35.10
Invoice 2100762						
Transaction Date	11/2/2022	Due 11/2/2022	CASH	10100	Total	\$70.20
Claim Type						
Claim#	16278	GRAINGER, INC.				
Cash Payment	E 601-49440-229	Project Maintenance	PROJECT MAINTENANCE			\$70.68
Invoice 9468980009						
Cash Payment	E 601-49440-229	Project Maintenance	PROJECT MAINTENANCE			\$95.16
Invoice 9450260683						
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$165.84
Claim Type						
Claim#	16277	GRANITE CITY JOBBING CO.				
Cash Payment	E 609-49750-210	Operating Supplies	OPERATING SUPPLIES			\$499.49
Invoice 304277						
Cash Payment	E 609-49751-206	Freight	FREIGHT			\$10.00
Invoice 304277						
Cash Payment	E 609-49751-254	Miscellaneous Merchandis	MISC			\$108.50
Invoice 304277						
Cash Payment	E 609-49751-256	Tobacco Products	TOBACCO			\$4,512.77
Invoice 304277						
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$5,130.76
Claim Type						
Claim#	16276	HACH COMPANY				
Cash Payment	E 601-49440-235	Lab Supplies	LAB SUPPLIES			\$86.25
Invoice 13226421						
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$86.25
Claim Type						
Claim#	16319	HOISINGTON KOEGLER GROUP, I				
Cash Payment	E 101-41910-311	Contract	GENERAL PLANNING			\$1,925.00
Invoice 018-041-49						

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Cash Payment	E 225-45100-510 Land-Park Improvement	SIWEK PARK				\$3,680.00
	Invoice 018-041-49					
Cash Payment	E 404-41400-589 City Hall/Fire Station	CIVIC CAMPUS				\$45.00
	Invoice 018-041-49					
Cash Payment	E 225-45100-441 Miscellaneous	PARK PLAN				\$476.25
	Invoice 018-041-49					
Cash Payment	G 803-22043 Esc-Laketown (Rivers Edge)	RIVERS EDGE				\$1,512.50
	Invoice 018-041-49					
Cash Payment	G 803-22001 Turtle Ponds 6th-2022	TURTLE PONDS 6TH				\$101.25
	Invoice 018-041-49					
Cash Payment	G 803-22179 Vista Prairie-Site Plan	VISTA PRAIRIE				\$67.50
	Invoice 018-041-49					
Cash Payment	G 803-22191 Alliant Finance-Plantinum Land	PLATINUM SUBD/BLUFFS DEV				\$1,552.50
	Invoice 018-041-49					
Cash Payment	G 803-22192 Dollar General-Hwy 47	DOLLAR GENERAL HWY 47				\$202.50
	Invoice 018-041-49					
Cash Payment	G 803-22194 Northrup Grumann Site Plan-2	NORTHROP GRUMANN				\$37.50
	Invoice 018-041-49					
Cash Payment	G 803-22002 Morff IUP Horse Stables	MORFF EXTENDEND HOME/HORSES				\$150.00
	Invoice 018-041-49					
Cash Payment	G 803-22195 Brother Dev 2022 (Enchanted)	BROTHERS DEVELOPMENT				\$187.50
	Invoice 018-041-49					
Transaction Date	11/1/2022	Due 11/1/2022	CASH	10100	Total	\$9,937.50

Claim Type

Claim# 16274 JOHNSON BROS WHLSE LIQUOR

Cash Payment	E 609-49751-206 Freight	FREIGHT				\$27.99
	Invoice 2162304					
Cash Payment	E 609-49751-206 Freight	FREIGHT				\$104.68
	Invoice 2167159					
Cash Payment	E 609-49751-206 Freight	FREIGHT				\$22.77
	Invoice 2167160					
Cash Payment	E 609-49751-206 Freight	FREIGHT				\$85.75
	Invoice 2162303					
Cash Payment	E 609-49751-206 Freight	FREIGHT				\$8.75
	Invoice 2167161					
Cash Payment	E 609-49751-253 Wine	WINE				\$834.00
	Invoice 2162304					
Cash Payment	E 609-49751-251 Liquor	LIQUOR				\$5,174.55
	Invoice 2162303					
Cash Payment	E 609-49751-251 Liquor	LIQUOR				\$5,906.71
	Invoice 2167159					
Cash Payment	E 609-49751-253 Wine	WINE				\$682.00
	Invoice 2167160					

Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$12,847.20
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Claim Type

Claim# 16273 KAMISH EXCAVATING, INC

Cash Payment	E 405-43100-441 Miscellaneous	23115 AMBASSADOR DEMO				\$25,473.00
	Invoice 22-206					

Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$25,473.00
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Claim Type

Claim# 16318 KIMS KLEANING

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Cash Payment	E 101-41940-402 Janitorial Service	CITY HALL CLEANING	\$354.00
Invoice	8944		
Cash Payment	E 601-49440-402 Janitorial Service	WASTE WATER PLANT CLEANING	\$324.50
Invoice	8949		
Cash Payment	E 101-42110-402 Janitorial Service	POLICE DEPARTMENT CLEANING	\$1,062.00
Invoice	8948		
Cash Payment	E 601-49440-402 Janitorial Service	WATER TREATMENT PLAN CLEANING	\$236.00
Invoice	8947		
Cash Payment	E 101-45000-402 Janitorial Service	COMMUNITY CENTER CLEANING	\$118.00
Invoice	8945		
Cash Payment	E 101-42210-402 Janitorial Service	FIRE DEPT CLEANING	\$177.00
Invoice	8950		
Cash Payment	E 101-43100-402 Janitorial Service	CLEANING	\$265.50
Invoice	8946		
Cash Payment	E 101-45200-402 Janitorial Service	CLEANING	\$265.50
Invoice	8946		
Cash Payment	E 601-49440-402 Janitorial Service	CLEANING	\$265.50
Invoice	8946		
Cash Payment	E 602-49490-402 Janitorial Service	CLEANING	\$265.50
Invoice	8946		
Transaction Date	10/31/2022	Due 10/31/2022 CASH	10100
			Total \$3,333.50

Claim Type

Claim# 16310 LAW ENFORCEMENT LABOR SVC

Cash Payment	G 101-21707 Union Dues	SGT DUES - NOVEMBER 2022	\$65.00
Invoice	.10312022		

Cash Payment	G 101-21707 Union Dues	OFFICER DUES - NOVEMBER 2022	\$585.00
Invoice	.10312022-1		

Transaction Date	10/31/2022	Due 10/31/2022 CASH	10100	Total	\$650.00
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Claim Type

Claim# 16354 LMC INSURANCE TRUST

Cash Payment	E 101-41110-360 Insurance	INSURANCE	\$90.81
Invoice	40005841-112022		

Cash Payment	E 101-41400-360 Insurance	INSURANCE	\$964.36
Invoice	40005841-112022		

Cash Payment	E 101-41410-360 Insurance	INSURANCE	\$21.62
Invoice	40005841-112022		

Cash Payment	E 101-41500-360 Insurance	INSURANCE	\$501.64
Invoice	40005841-112022		

Cash Payment	E 101-41600-360 Insurance	INSURANCE	\$155.68
Invoice	40005841-112022		

Cash Payment	E 101-41910-360 Insurance	INSURANCE	\$618.40
Invoice	40005841-112022		

Cash Payment	E 101-41940-360 Insurance	INSURANCE	\$748.14
Invoice	40005841-112022		

Cash Payment	E 101-42110-360 Insurance	INSURANCE	\$8,519.26
Invoice	40005841-112022		

Cash Payment	E 101-42210-360 Insurance	INSURANCE	\$2,114.68
Invoice	40005841-112022		

Cash Payment	E 101-42400-360 Insurance	INSURANCE	\$445.42
Invoice	40005841-112022		

Cash Payment	E 101-43100-360 Insurance	INSURANCE	\$4,726.68
Invoice	40005841-112022		

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Cash Payment	E 101-43210-360 Insurance	INSURANCE			\$151.36
	Invoice 40005841-112022				
Cash Payment	E 101-45000-360 Insurance	INSURANCE			\$4.32
	Invoice 40005841-112022				
Cash Payment	E 101-45200-360 Insurance	INSURANCE			\$5,016.42
	Invoice 40005841-112022				
Cash Payment	E 101-49200-360 Insurance	INSURANCE			\$12.97
	Invoice 40005841-112022				
Cash Payment	E 601-49440-360 Insurance	INSURANCE			\$5,470.49
	Invoice 40005841-112022				
Cash Payment	E 602-49490-360 Insurance	INSURANCE			\$8,359.26
	Invoice 40005841-112022				
Cash Payment	E 609-49750-360 Insurance	INSURANCE			\$5,323.49
	Invoice 40005841-112022				
Transaction Date	11/3/2022	Due 11/3/2022	CASH	10100	Total \$43,245.00

Claim Type

Claim# 16272 MACQUEEN EMERGENCY

Cash Payment	E 101-42210-437 Uniforms	UNIFORMS			\$189.00
	Invoice P07386				

Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total \$189.00
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Claim Type

Claim# 16349 MAGIC TURF

Cash Payment	E 101-45200-229 Project Maintenance	COMMUNITY PARK BALLFIELD			\$1,500.00
	Invoice 17313				

Cash Payment	E 101-45200-229 Project Maintenance	COMMUNITY PARK BALLFIELD			\$3,775.00
	Invoice 17314				

Transaction Date	11/2/2022	Due 11/2/2022	CASH	10100	Total \$5,275.00
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Claim Type

Claim# 16353 MARRON, RENE & JAMES

Cash Payment	G 601-22200 Deferred Revenues	CHECK RE-ISSUE			\$29.86
	Invoice .11032022-1				

Transaction Date	11/3/2022	Due 11/3/2022	CASH	10100	Total \$29.86
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Claim Type

Claim# 16321 MCDONALD DIST CO.

Cash Payment	E 609-49751-251 Liquor	LIQUOR			\$167.10
	Invoice 657326				

Cash Payment	E 609-49751-252 Beer	BEER			-\$391.50
	Invoice 656275				

Cash Payment	E 609-49751-251 Liquor	LIQUOR			\$111.40
	Invoice 656238				

Cash Payment	E 609-49751-252 Beer	BEER			\$6,845.20
	Invoice 657278				

Cash Payment	E 609-49751-252 Beer	BEER			\$3,185.05
	Invoice 656239				

Cash Payment	E 609-49751-252 Beer	BEER			-\$125.00
	Invoice 657325				

Cash Payment	E 609-49751-252 Beer	BEER			\$123.55
	Invoice 656260				

Cash Payment	E 609-49751-255 N/A Products	N/A			\$158.35
	Invoice 657278				

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Transaction Date	11/1/2022	Due 11/1/2022	CASH	10100	Total	\$10,074.15
Claim Type						
Claim#	16267 METRO SALES, INC.					
Cash Payment	E 101-42110-311 Contract		COPIES			\$396.70
	Invoice INV2144309					
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$396.70
Claim Type						
Claim#	16320 MN DEPT OF PUBLIC SAFETY					
Cash Payment	E 609-49750-433 Dues and Subscriptions		BUYERS CARD RENEWAL			\$20.00
	Invoice 6681-2022					
Transaction Date	11/1/2022	Due 11/1/2022	CASH	10100	Total	\$20.00
Claim Type						
Claim#	16337 MN DEPT OF TRANSPORTATION					
Cash Payment	E 101-43100-303 Engineering Fees		PLANT INSPECTION			\$834.05
	Invoice P00016268					
Transaction Date	11/1/2022	Due 11/1/2022	CASH	10100	Total	\$834.05
Claim Type						
Claim#	16289 MN MUNICIPAL UTILITIES ASSOC.					
Cash Payment	E 101-41400-311 Contract		SAFETY MANANGEMENT PROGRAM			\$650.48
	Invoice 60259					
Cash Payment	E 101-42110-311 Contract		SAFETY MANANGEMENT PROGRAM			\$650.48
	Invoice 60259					
Cash Payment	E 101-42210-311 Contract		SAFETY MANANGEMENT PROGRAM			\$650.48
	Invoice 60259					
Cash Payment	E 101-43100-311 Contract		SAFETY MANANGEMENT PROGRAM			\$975.71
	Invoice 60259					
Cash Payment	E 101-45200-311 Contract		SAFETY MANANGEMENT PROGRAM			\$975.71
	Invoice 60259					
Cash Payment	E 601-49440-311 Contract		SAFETY MANANGEMENT PROGRAM			\$975.71
	Invoice 60259					
Cash Payment	E 602-49490-311 Contract		SAFETY MANANGEMENT PROGRAM			\$975.71
	Invoice 60259					
Cash Payment	E 609-49750-311 Contract		SAFETY MANANGEMENT PROGRAM			\$650.47
	Invoice 60259					
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$6,504.75
Claim Type						
Claim#	16288 MN NCPERS LIFE INSURANCE					
Cash Payment	G 101-21713 MN Life		INSURANCE PREMIUM 11/1/22-11/30/22			\$128.00
	Invoice 733400112022					
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$128.00
Claim Type						
Claim#	16343 MN STATE FIRE DEPT ASSOCIATI					
Cash Payment	E 101-42210-433 Dues and Subscriptions		2023 MSFDA MEMBERSHIP DUES			\$225.00
	Invoice .11022022					
Transaction Date	11/2/2022	Due 11/2/2022	CASH	10100	Total	\$225.00
Claim Type						
Claim#	16347 NORTH METRO TREE SERVICE IN					
Cash Payment	E 101-45200-311 Contract		23575 DEGARDNER (PARK)			\$1,650.00
	Invoice 007-2022					

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Transaction Date	11/2/2022	Due 11/2/2022	CASH	10100	Total	\$1,650.00
Claim Type						
Claim#	16336	PAUSTIS WINE COMPANY				
Cash Payment	E 609-49751-206 Freight		FREIGHT			\$15.00
	Invoice 181679					
Cash Payment	E 609-49751-253 Wine		WINE			\$919.75
	Invoice 181679					
Transaction Date	11/1/2022	Due 11/1/2022	CASH	10100	Total	\$934.75
Claim Type						
Claim#	16352	PETERSON, MARK E.				
Cash Payment	E 101-41410-100 Salaries		CHECK REISSUE			\$167.50
	Invoice .11032022					
Transaction Date	11/3/2022	Due 11/3/2022	CASH	10100	Total	\$167.50
Claim Type						
Claim#	16287	PHILLIPS WINE & SPIRITS CO.				
Cash Payment	E 609-49751-206 Freight		FREIGHT			\$213.51
	Invoice 6482256					
Cash Payment	E 609-49751-206 Freight		FREIGHT			\$52.51
	Invoice 6486106					
Cash Payment	E 609-49751-206 Freight		FREIGHT			\$67.69
	Invoice 6486107					
Cash Payment	E 609-49751-206 Freight		FREIGHT			\$13.14
	Invoice 6482257					
Cash Payment	E 609-49751-206 Freight		FREIGHT			\$73.51
	Invoice 6440998					
Cash Payment	E 609-49751-251 Liquor		LIQUOR			\$14,833.65
	Invoice 6482256					
Cash Payment	E 609-49751-251 Liquor		LIQUOR			\$5,507.50
	Invoice 6486107					
Cash Payment	E 609-49751-253 Wine		WINE			\$1,575.05
	Invoice 6486106					
Cash Payment	E 609-49751-251 Liquor		LIQUOR			\$6,610.65
	Invoice 6440998					
Cash Payment	E 609-49751-253 Wine		WINE			\$416.35
	Invoice 6482257					
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$29,363.56
Claim Type						
Claim#	16344	QUILL CORPORATION				
Cash Payment	E 609-49750-210 Operating Supplies		OPERATING SUPPLIES			\$40.10
	Invoice 24829322-1					
Transaction Date	11/2/2022	Due 11/2/2022	CASH	10100	Total	\$40.10
Claim Type						
Claim#	16331	RED BULL DISTRIBUTION CO INC.				
Cash Payment	E 609-49751-254 Miscellaneous Merchandis		MISC			\$418.64
	Invoice 2005193910					
Transaction Date	11/1/2022	Due 11/1/2022	CASH	10100	Total	\$418.64
Claim Type						
Claim#	16330	RMB ENVIRONMENTAL LAB				
Cash Payment	E 602-49490-313 Sample Testing		WEEKS 2-4 COOLER 1			\$125.24
	Invoice B007394					

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Cash Payment	E 602-49490-313 Sample Testing	ALL WEEKS COOLER 2				\$99.10
	Invoice B007401					
Cash Payment	E 601-49440-313 Sample Testing	BIOSOLIDS				\$604.40
	Invoice D038455					
Cash Payment	E 602-49490-313 Sample Testing	ALL WEEKS COOLER 2				\$99.10
	Invoice B007466					
Cash Payment	E 602-49490-313 Sample Testing	WEEKS 2-4 COOLER 1				\$125.24
	Invoice B007347					
Cash Payment	E 601-49440-313 Sample Testing	BIOSOLIDS				\$626.18
	Invoice D038218					
Transaction Date	11/1/2022	Due 11/1/2022	CASH	10100	Total	\$1,679.26

Claim Type

Claim# 16328 SOUTHERN GLAZERS OF MN

Cash Payment	E 609-49751-206 Freight	FREIGHT				\$21.76
	Invoice 2274711					
Cash Payment	E 609-49751-206 Freight	FREIGHT				\$6.40
	Invoice 2274712					
Cash Payment	E 609-49751-206 Freight	FREIGHT				\$98.84
	Invoice 2272465					
Cash Payment	E 609-49751-206 Freight	FREIGHT				\$8.96
	Invoice 2272466					
Cash Payment	E 609-49751-253 Wine	WINE				\$220.00
	Invoice 2274712					
Cash Payment	E 609-49751-251 Liquor	LIQUOR				\$7,139.40
	Invoice 2272465					
Cash Payment	E 609-49751-251 Liquor	LIQUOR				\$2,292.00
	Invoice 2274711					
Cash Payment	E 609-49751-253 Wine	WINE				\$466.00
	Invoice 2272466					
Transaction Date	11/1/2022	Due 11/1/2022	CASH	10100	Total	\$10,253.36

Claim Type

Claim# 16282 SPOT ON

Cash Payment	E 101-42110-200 Office Supplies	SFPD BUSINESS CARDS - CHIEF SCHWIEGER				\$51.00
	Invoice .102122					
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$51.00

Claim Type

Claim# 16293 ST. FRANCIS LIONS CLUB

Cash Payment	E 101-42210-441 Miscellaneous	SFFD 2022 BREAKFAST				\$350.00
	Invoice .10272022					
Transaction Date	10/27/2022	Due 10/27/2022	CASH	10100	Total	\$350.00

Claim Type

Claim# 16281 STADEL, HARLEN

Cash Payment	G 803-22196 Stadel Heritage Lot Line Adj	ESCROW REFUND - STADEL HERITAGE LOT LINE				\$1,752.50
	Invoice .10252022					
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$1,752.50

Claim Type

Claim# 16345 TIMESAVER OFF SITE SEC. INC

Cash Payment	E 101-41400-311 Contract	City Council Minutes 10-17-2022				\$229.13
	Invoice M27738					

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Transaction Date	11/2/2022	Due 11/2/2022	CASH	10100	Total	\$229.13
Claim Type						
Claim#	16326	TJ ASSOCIATES				
Cash Payment	E 101-43100-441	Miscellaneous	PW OFFICE SIGNS			\$84.28
Invoice 239428						
Transaction Date	11/1/2022	Due 11/1/2022	CASH	10100	Total	\$84.28
Claim Type						
Claim#	16280	TOTAL CONTROL SYSTEMS, INC.				
Cash Payment	E 601-49440-229	Project Maintenance	LIFT STATION REPAIRS			\$5,340.32
Invoice 10388						
Cash Payment	E 601-49440-233	Water Plant Maint	LIFT STATION REPAIRS			\$5,340.32
Invoice 10388						
Cash Payment	E 602-49490-229	Project Maintenance	LIFT STATION REPAIRS			\$5,340.33
Invoice 10388						
Transaction Date	10/26/2022	Due 10/26/2022	CASH	10100	Total	\$16,020.97
Claim Type						
Claim#	16356	UPPER RUM RIVER WATERSHED				
Cash Payment	E 101-49200-471	Watershed	2022 CONTRIBUTIONS			\$4,161.31
Invoice .11032022-2						
Transaction Date	11/3/2022	Due 11/3/2022	CASH	10100	Total	\$4,161.31
Claim Type						
Claim#	16325	VINOCOPIA, INC.				
Cash Payment	E 609-49751-206	Freight	FREIGHT			\$5.00
Invoice 0316064-IN						
Cash Payment	E 609-49751-206	Freight	FREIGHT			\$2.50
Invoice 0316065-IN						
Cash Payment	E 609-49751-251	Liquor	LIQUOR			\$556.50
Invoice 0316064-IN						
Cash Payment	E 609-49751-251	Liquor	LIQUOR			\$202.50
Invoice 0316065-IN						
Transaction Date	11/1/2022	Due 11/1/2022	CASH	10100	Total	\$766.50
Claim Type						
Claim#	16340	WSB & ASSOCIATES, INC				
Cash Payment	E 601-49440-303	Engineering Fees	GIS SERVICES			\$1,290.00
Invoice R-016584-000-6						
Cash Payment	E 602-49490-303	Engineering Fees	GIS SERVICES			\$1,290.00
Invoice R-016584-000-6						
Cash Payment	E 603-49490-311	Contract	GIS SERVICES			\$516.00
Invoice R-016584-000-6						
Cash Payment	E 101-41400-311	Contract	GIS SERVICES			\$412.80
Invoice R-016584-000-6						
Cash Payment	E 101-42110-311	Contract	GIS SERVICES			\$412.80
Invoice R-016584-000-6						
Cash Payment	E 101-42210-311	Contract	GIS SERVICES			\$412.80
Invoice R-016584-000-6						
Cash Payment	E 101-45200-311	Contract	GIS SERVICES			\$412.80
Invoice R-016584-000-6						
Cash Payment	E 101-41910-311	Contract	GIS SERVICES			\$412.80
Invoice R-016584-000-6						
Transaction Date	11/2/2022	Due 11/2/2022	CASH	10100	Total	\$5,160.00

CITY OF ST FRANCIS

11/03/22 12:52 PM

Agenda Item # 4H.

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*Claim Register©

AP 11-07-2022

October 2022

Pre-Written Checks		\$0.00
Checks to be Generated by the Compute		\$288,415.99
Total		\$288,415.99



CITY COUNCIL AGENDA REPORT

TO: Kate Thunstrom, City Administrator
FROM: Darcy Mulvihill, Finance Director
SUBJECT: Miscellaneous Special Assessments
DATE: November 7, 2022

OVERVIEW:

Attached is the resolution to certify delinquent bills to 2023 taxes. They include utility billing accounts, storm water fees, admin citations and escrow fees. The council needs to hold a public hearing to allow for comment.

ACTION TO BE CONSIDERED:

Council can resolve to certify these past due bills to the properties 2023 taxes. These will be a one-year assessment due and payable next year. There is a 10% fee added, this is limited to \$75.00 to all assessments except utility bills, this covers the costs associated with assessing these bills.

BUDGET IMPLICATION:

Collecting revenues due to the city.

Attachments:

- Resolution 2022-58
- Special Assessments-Utility Bills-2022-Exhibit 1
- Special Assessments-Storm Water-2022-Exhibit 2
- Special Assessments-Administrative Citations & Escrows-2022-Exhibit 3

**CITY OF ST. FRANCIS
ST. FRANCIS, MN
ANOKA COUNTY**

RESOLUTION 2022-58

**A RESOLUTION AUTHORIZING AND DIRECTING
CERTIFICATION OF MUNICIPAL UTILITY SERVICES, MAINTENANCE OF PRIVATE
PROPERTY, ADMINISTRATIVE CIVIL NOTICE FEES, AND REPAIR OF LEAKS AS A
LIEN UPON PREMISES**

WHEREAS, the City of St. Francis Code Section 3-1-4: H provides as follows:

**3-1-4: RULES AND REGULATIONS RELATING TO MUNICIPAL
UTILITIES:**

H. Municipal Utility Services and Charges a Lien:

1. Payment for all municipal utility (as that term is defined in City Code, Section 3.01) service and charges shall be the primary responsibility of the owner of the premises served and shall be billed to him unless otherwise contracted for and authorized in writing by the owner and the tenant, as agent for the owner, and consented to by the City of St. Francis, Minnesota. The City may collect the same in a civil action or, in the alternative and at the option of the City, as otherwise provided in this Subdivision.
2. Each such account is hereby made a lien upon the premises served. All such accounts which are more than thirty (30) days past due may, when authorized by resolution of the Council, be certified by the City Clerk of the City of St. Francis, Minnesota, to the County Auditor, and the City Clerk\ in so certifying shall specify the amount thereof, the description of the premises served, and the name of the owner thereof. The amount so certified shall be extended by the Auditor on the tax rolls against such premises in the same manner as other taxes, and collected by the County Treasurer, and paid to the City along with other taxes.

2-7-5: SPECIAL ASSESSMENT FOR COST RECOVERY:

- B. Assessment.** Charges for any services unpaid after billing for at least ninety (90) days, and after notice and hearing, may be certified to the County Auditor and collected as any other special assessment.

and

WHEREAS, THE City of St. Francis Code Section 2-11-3: E. 3(a)

**2-11-3: ADMINISTRATIVE ENFORCEMENT OF CODE REGULATIONS-
PROCEDURE**

City of St. Francis
Resolution 2022-58
Page 2

E. PAYMENT AND PENALTY:

3. No Payment of Penalty and No Correction of Violation. If the owner fails to pay the administrative civil penalty but fails to correct the City Code violation, the City may do any of the following, or any combination thereof:
a. Assess the administrative civil penalty against the property pursuant to Minnesota Statutes Chapter 429.

and

WHEREAS, the following accounts are more than thirty (30) days past due:

<u>Parcel Number</u>	<u>Property Address</u>	<u>Amount Owed</u>
See Exhibit 1 - Section 3-1-4 & 2-7-5	Delinquent Utility Bills	One Year Assessment
See Exhibit 2 - Section 3-1-4 & 2-7-5	Delinquent Storm Water Fees	One Year Assessment
See Exhibit 3 - Section 2-11-3	Delinquent Administrative Civil Penalty & Escrows	One Year Assessment

NOW, THEREFORE, BE IT RESOLVED by the City of St. Francis that the City Clerk of the City of St. Francis certify to the County Auditor of the County of Anoka, State of Minnesota, the amounts thereof, the description of the premises served and the name of the owner thereof.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF ST. FRANCIS THIS 7th DAY OF NOVEMBER, 2022

APPROVED:

ATTEST:

Steven D. Feldman, Mayor

Jennifer Wida, City Clerk

Attachments: Exhibits 1, 2 & 3

City of St. Francis
Utility Bill Assessments-2022

Exhibit 1
County Fund #85736

Parcel Number	Address	Amount	10%	Total
32-34-24-21-0041	3694 236TH LN NW	2,865.03	286.50	3,151.53
33-34-24-23-0041	23346 JONQUIL ST	2,377.38	237.74	2,615.12
31-34-24-34-0089	22967 MAKAH ST NW	2,341.39	234.14	2,575.53
33-34-24-21-0052	2882 235TH AVE	2,338.22	233.82	2,572.04
33-34-24-23-0043	23322 JONQUIL ST	2,263.18	226.32	2,489.50
31-34-24-31-0008	4531 230TH LN NW	2,241.42	224.14	2,465.56
31-34-24-34-0088	22953 MAKAH ST NW	2,127.82	212.78	2,340.60
32-34-24-34-0030	3631 BRIDGE ST NW	2,096.39	209.64	2,306.03
31-34-24-11-0032	23656 ELDORADO ST NW	2,010.40	201.04	2,211.44
33-34-24-33-0056	23093 KERRY ST NW	2,003.40	200.34	2,203.74
33-34-24-23-0030	3050 234TH LN NW	1,898.90	189.89	2,088.79
31-34-24-34-0035	23058 NAVAJO ST	1,876.24	187.62	2,063.86
33-34-24-13-0044	23423 CROCUS ST NW	1,854.56	185.46	2,040.02
05-33-24-23-0037	3831 227TH AVE NW	1,848.34	184.83	2,033.17
05-33-24-12-0039	3448 228TH AVE NW	1,787.01	178.70	1,965.71
33-34-24-31-0028	2873 233RD LN NW	1,729.01	172.90	1,901.91
33-34-24-42-0012	2783 231ST LN NW	1,702.14	170.21	1,872.35
05-33-24-24-0106	22645 VINTAGE ST NW	1,682.79	168.28	1,851.07
33-34-24-21-0064	23640 EIDELWEISS ST NW	1,654.28	165.43	1,819.71
32-34-24-21-0006	23527 UNDERCLIFT CT NW	1,645.15	164.52	1,809.67
33-34-24-31-0095	2851 233RD LN NW	1,607.06	160.71	1,767.77
33-34-24-21-0105	23641 EIDELWEISS ST NW	1,602.97	160.30	1,763.27
33-34-24-24-0017	2892 234TH LN NW	1,553.15	155.32	1,708.47
32-34-24-11-0017	3279 235TH LN NW	1,550.37	155.04	1,705.41
33-34-24-23-0014	3038 234TH LN NW	1,533.77	153.38	1,687.15
31-34-24-43-0036	4336 230TH AVE NW	1,471.87	147.19	1,619.06
32-34-24-32-0038	23226 YUCCA ST NW	1,457.88	145.79	1,603.67
31-34-24-34-0036	4531 229TH LN NW	1,456.90	145.69	1,602.59
33-34-24-32-0045	23222 KERRY ST NW	1,411.13	141.11	1,552.24
31-34-24-34-0091	22991 MAKAH ST NW	1,400.41	140.04	1,540.45
32-34-24-23-0020	23311 YUCCA ST NW	1,383.36	138.34	1,521.70
31-34-24-31-0045	23150 LIPAN ST NW	1,372.65	137.27	1,509.92
31-34-24-43-0024	4315 230TH AVE NW	1,355.22	135.52	1,490.74
33-34-24-32-0035	23255 KERRY ST NW	1,331.76	133.18	1,464.94
33-34-24-31-0036	2868 233RD LN	1,331.43	133.14	1,464.57
31-34-24-31-0041	4455 232ND CT NW	1,330.80	133.08	1,463.88
33-34-24-12-0113	2787 235TH AVE NW	1,313.19	131.32	1,444.51
31-34-24-42-0008	23117 GUARANI ST NW	1,302.67	130.27	1,432.94
31-34-24-34-0041	22978 MAKAH ST NW	1,290.77	129.08	1,419.85
32-34-24-32-0036	23242 YUCCA ST NW	1,262.49	126.25	1,388.74
05-33-24-23-0002	3908 225TH LN NW	1,260.26	126.03	1,386.29
31-34-24-42-0040	23159 FOX ST NW	1,250.12	125.01	1,375.13
32-34-24-23-0008	23390 AMBASSADOR BLVD NW	1,239.95	124.00	1,363.95

City of St. Francis
Utility Bill Assessments-2022

Exhibit 1
County Fund #85736

Parcel Number	Address	Amount	10%	Total
33-34-24-33-0014	23085 IVYWOOD ST NW	1,229.51	122.95	1,352.46
32-34-24-11-0009	3332 235TH AVE NW	1,228.58	122.86	1,351.44
32-34-24-34-0018	22950 WOODBINE ST NW	1,200.20	120.02	1,320.22
32-34-24-21-0038	3697 236TH LN NW	1,179.66	117.97	1,297.63
31-34-24-34-0007	23021 KIOWA ST NW	1,177.49	117.75	1,295.24
31-34-24-41-0083	23145 ELDORADO ST NW	1,175.34	117.53	1,292.87
33-34-24-32-0019	23161 IVYWOOD ST NW	1,133.18	113.32	1,246.50
05-33-24-12-0051	22759 ROSE CT NW	1,121.77	112.18	1,233.95
05-33-24-23-0003	3864 225TH LN NW	1,113.77	111.38	1,225.15
32-34-24-21-0014	3658 235TH LN NW	1,106.32	110.63	1,216.95
33-34-24-24-0023	2827 234TH LN	1,055.64	105.56	1,161.20
31-34-24-34-0064	4505 230TH LN NW	1,040.53	104.05	1,144.58
31-34-24-34-0096	4447 231ST AVE NW	1,023.53	102.35	1,125.88
31-34-24-31-0014	4524 231ST AVE NW	1,020.38	102.04	1,122.42
31-34-24-24-0065	23221 NAVAJO ST NW	1,017.74	101.77	1,119.51
33-34-24-24-0019	2875 234TH LN NW	1,001.67	100.17	1,101.84
32-34-24-43-0023	22918 POPPY ST NW	981.93	98.19	1,080.12
32-34-24-23-0029	3936 233RD LN NW	977.82	97.78	1,075.60
32-34-24-32-0037	23238 YUCCA ST NW	965.61	96.56	1,062.17
32-34-24-21-0009	23514 UNDERCLIFT CT NW	934.33	93.43	1,027.76
33-34-24-43-0077	2732 230TH CT NW	931.12	93.11	1,024.23
33-34-24-12-0102	23571 CROCUS ST NW	920.23	92.02	1,012.25
33-34-24-43-0213	2625 230TH CT	900.38	90.04	990.42
33-34-24-32-0015	23109 KERRY ST NW	900.07	90.01	990.08
05-33-24-23-0008	3814 225TH LN NW	895.47	89.55	985.02
33-34-24-43-0070	2747 230TH CT NW	886.05	88.61	974.66
32-34-24-31-0034	3690 232ND AVE NW	877.54	87.75	965.29
31-34-24-34-0044	23010 MAKAH ST	850.24	85.02	935.26
06-33-24-11-0034	22785 ELDORADO ST	844.69	84.47	929.16
31-34-24-31-0074	4535 232ND LN NW	833.80	83.38	917.18
32-34-24-11-0037	3264 235TH LN NW	790.49	79.05	869.54
31-34-24-34-0040	22966 MAKAH ST	781.01	78.10	859.11
32-34-24-31-0015	23109 BUTTERFIELD DR NW	774.74	77.47	852.21
31-34-24-34-0051	23069 NAVAJO ST NW	749.83	74.98	824.81
33-34-24-43-0201	2761 231ST AVE	748.26	74.83	823.09
32-34-24-23-0035	23382 YUCCA ST NW	747.30	74.73	822.03
31-34-24-31-0019	23111 NAVAJO ST NW	734.07	73.41	807.48
31-34-24-34-0078	4462 230TH LN NW	733.93	73.39	807.32
31-34-24-42-0020	23153 JIVARO ST NW	723.36	72.34	795.70
33-34-24-31-0067	23121 EIDELWEISS ST NW	707.45	70.75	778.20
06-33-24-11-0033	22787 ELDORADO ST	700.62	70.06	770.68
32-34-24-31-0046	23135 BUTTERFIELD DR NW	699.90	69.99	769.89
31-34-24-34-0023	22932 NAVAJO ST NW	694.05	69.41	763.46

City of St. Francis
Utility Bill Assessments-2022

Exhibit 1
County Fund #85736

Parcel Number	Address	Amount	10%	Total
31-34-24-24-0021	23165 JIVARO ST NW	682.47	68.25	750.72
32-34-24-43-0024	22926 POPPY ST NW	675.41	67.54	742.95
31-34-24-11-0013	23524 DEGARDNER CIR NW	666.58	66.66	733.24
33-34-24-43-0068	2743 230TH CT NW	665.42	66.54	731.96
05-33-24-21-0011	3725 RIVER DR	642.95	64.30	707.25
33-34-24-24-0034	2834 234TH LN	625.33	62.53	687.86
33-34-24-42-0032	2759 232ND LN NW	606.83	60.68	667.51
05-33-24-23-0046	3844 227TH AVE NW	597.11	59.71	656.82
05-33-24-24-0047	3748 226TH AVE NW	576.85	57.69	634.54
32-34-24-12-0052	3429 236TH LANE NW	573.12	57.31	630.43
33-34-24-42-0020	2790 232ND LN NW	569.86	56.99	626.85
31-34-24-42-0058	23252 FOX ST NW	536.05	53.61	589.66
32-34-24-11-0036	3256 235TH LN NW	532.05	53.21	585.26
33-34-24-42-0031	2743 232ND LN	520.69	52.07	572.76
06-33-24-11-0058	4119 228TH AVE NW	500.73	50.07	550.80
05-33-24-23-0018	3812 226TH AVE NW	492.74	49.27	542.01
33-34-24-31-0017	23181 GLADIOLA ST NW	491.12	49.11	540.23
33-34-24-43-0064	2735 230TH CT NW	458.31	45.83	504.14
31-34-24-42-0026	23208 JIVARO ST	454.07	45.41	499.48
31-34-24-24-0043	23199 FOX ST	451.24	45.12	496.36
05-33-24-24-0078	3745 227TH AVE NW	449.83	44.98	494.81
33-34-24-13-0032	23426 ARROWHEAD ST	446.00	44.60	490.60
33-34-24-31-0008	23176 GLADIOLA ST NW	409.90	40.99	450.89
31-34-24-34-0048	4506 230TH LN NW	407.31	40.73	448.04
33-34-24-32-0046	23210 KERRY ST NW	349.08	34.91	383.99
32-34-24-12-0022	3420 235TH LN NW	344.35	34.44	378.79
32-34-24-11-0068	3350 236TH LANE NW	337.63	33.76	371.39
33-34-24-24-0008	2830 234TH AVE NW	322.16	32.22	354.38
32-34-24-21-0036	23588 VINTAGE ST NW	316.37	31.64	348.01
33-34-24-23-0037	23390 JONQUIL ST NW	314.92	31.49	346.41
32-34-24-31-0019	23125 AMBASSADOR BLVD NW	312.89	31.29	344.18
06-33-24-11-0026	4158 228TH AVE NW	307.35	30.74	338.09
05-33-24-24-0012	3835 225TH LN NW	307.00	30.70	337.70
31-34-24-11-0051	23694 DAKOTAH ST NW	295.79	29.58	325.37
32-34-24-12-0062	23604 QUAY ST NW	293.20	29.32	322.52
06-33-24-11-0099	4148 228TH AVE NW	264.76	26.48	291.24
32-34-24-23-0031	3925 233RD LN NW	262.81	26.28	289.09
06-33-24-11-0055	4127 228TH AVE NW	255.15	25.52	280.67
33-34-24-33-0028	23094 IVYWOOD ST NW	253.89	25.39	279.28
05-33-24-24-0015	3641 226TH AVE NW	249.05	24.91	273.96
31-34-24-34-0073	4452 231ST AVE NW	235.49	23.55	259.04
31-34-24-34-0062	4517 230TH LN NW	214.18	21.42	235.60
31-34-24-24-0047	23645 ELDORADO ST NW	193.19	19.32	212.51

City of St. Francis
Utility Bill Assessments-2022

Exhibit 1
County Fund #85736

Parcel Number	Address	Amount	10%	Total
05-33-24-23-0049	3820 227TH AVE NW	182.34	18.23	200.57
31-34-24-34-0065	4493 230TH LN NW	180.55	18.06	198.61
33-34-24-43-0160	2764 230TH LN NW	159.25	15.93	175.18
33-34-24-13-0046	2793 234TH LN	153.53	15.35	168.88
33-34-24-43-0222	2651 230TH CT NW	143.08	14.31	157.39
33-34-24-42-0017	2768 231ST LN NW	129.79	12.98	142.77
32-34-24-24-0035	23291 UNDERCLIFT ST	117.14	11.71	128.85
31-34-24-24-0036	4120 236TH LN NW	114.00	11.40	125.40
31-34-24-41-0076	23154 DAKOTAH ST NW	91.81	9.18	100.99
33-34-24-42-0061	23332 ARROWHEAD ST NW	80.89	8.09	88.98
05-33-24-24-0104	22709 VINTAGE ST NW	80.21	8.02	88.23
33-34-24-32-0054	3038 232ND LN NW	76.63	7.66	84.29
31-34-24-31-0083	23210 NAVAJO ST NW	71.61	7.16	78.77
05-33-24-24-0072	3617 226TH AVE NW	70.93	7.09	78.02
33-34-24-43-0197	23040 BITTERSWEET ST NW	54.47	5.45	59.92
32-34-24-23-0034	3885 233RD LN NW	44.51	4.45	48.96
06-33-24-11-0028	4166 228TH AVE NW	34.02	3.40	37.42
05-33-24-13-0024	3561 226TH AVE NW	33.97	3.40	37.37
33-34-24-23-0048	23295 IVYWOOD ST	28.69	2.87	31.56
Total		132,831.48	13,283.15	146,114.63

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
05-33-24-12-0028	3500 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-12-0029	3488 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-12-0031	3468 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-12-0039	3448 228TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-12-0040	3440 228TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-12-0044	22816 POPPY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-12-0046	22792 POPPY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-12-0047	22780 POPPY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-12-0050	22743 ROSE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-12-0051	22759 ROSE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-12-0055	22808 ROSE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-12-0057	3491 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-13-0018	22557 TULIP STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-13-0024	3561 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-13-0030	22520 POPPY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-13-0032	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-21-0005	22860 RUM RIVER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-21-0011	3725 RIVER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-21-0017	22819 RUM RIVER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0001	3920 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0002	3908 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0003	3864 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0006	3840 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0007	3822 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0008	3814 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0011	3843 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0018	3812 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0025	22538 ZEA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0027	22552 ZEA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0028	3845 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0031	3821 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0032	3813 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0034	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0037	3831 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0041	3770 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0042	3780 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0043	3782 227TH COURT STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0046	3844 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0047	3838 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0048	3830 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0049	3820 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0050	3812 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-23-0051	3802 227TH AVENUE STREET	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0003	3752 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0004	3744 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0005	3736 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0016	3633 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0025	3749 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0028	3725 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0030	3709 225TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0039	3650 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0041	3700 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0042	3708 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0047	3748 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0048	3756 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0054	3733 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
05-33-24-24-0055	3725 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0062	22509 TULIP STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0071	3615 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0072	3617 226TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0076	3759 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0077	3751 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0078	3745 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0080	3727 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0081	3715 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0084	3746 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0085	3752 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0086	3758 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0092	3740 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0093	3730 227TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0096	22650 VINTAGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0103	22719 VINTAGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0104	22709 VINTAGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
05-33-24-24-0106	22645 VINTAGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0026	4158 228TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0034	22785 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0037	22780 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0041	22796 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0044	22806 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0045	4163 228TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0046	4161 228TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0055	4127 228TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0057	4121 228TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0058	4119 228TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0068	22874 DAKOTAH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0085	22861 DAKOTAH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0086	22857 DAKOTAH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0087	22853 DAKOTAH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0089	22841 DAKOTAH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0093	4120 228TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0095	4128 228TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0096	4132 228TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
06-33-24-11-0099	4148 228TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-24-12-0001	24442 DOGWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-24-12-0003	24350 DOGWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-24-12-0004	24302 DOGWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-24-21-0002	410 245TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-24-21-0003	480 245TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-24-21-0004	532 245TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-24-21-0005	550 245TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-24-32-0015	23920 NORWAY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-24-33-0011	23845 PALM STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-24-33-0012	23831 PALM STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-24-33-0014	633 237TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-13-0002	5144 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-13-0004	5131 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-24-0002	532 242ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-24-0006	24207 ERKIUM STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-24-0012	5180 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-31-0004	5341 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-31-0009	23940 COBALT STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-31-0014	5214 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
25-34-25-32-0001	5425 240TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-32-0003	5519 240TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-32-0005	24028 GERMANIUM STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-32-0009	5521 239TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-33-0001	5409 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-33-0002	5425 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-33-0006	5555 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-34-0010	5304 238TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-41-0002	4838 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-41-0004	4886 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-41-0005	23993 UTE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-41-0006	23951 UTE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-41-0013	4915 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-42-0004	5190 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-42-0007	5083 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-42-0010	5179 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-43-0003	23745 XKIMO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-43-0007	5153 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-43-0008	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-43-0009	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-43-0011	5025 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-43-0013	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-44-0004	4889 239TH STREET	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-44-0007	4830 239TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-44-0012	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
25-34-25-44-0015	23736 ROANOKE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-41-0019	833 240TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-41-0025	23980 PALM STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-41-0027	23936 PALM STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-41-0028	883 239TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-42-0013	23915 UNITY STREET	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-43-0004	23723 UNITY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-43-0009	23870 UNITY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-43-0010	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-43-0011	23766 UNITY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-43-0013	23807 UNITY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-44-0016	867 239TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-44-0017	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-44-0021	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-44-0022	976 239TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-24-44-0024	23791 SYCAMORE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-25-11-0004	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
26-34-25-11-0009	24407 IODINE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-25-12-0002	24332 SEELYE BROOK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-25-12-0006	24421 NEON STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-25-12-0008	5846 245TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-25-13-0006	24224 NEON STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-25-31-0003	6141 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-25-31-0004	6055 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-25-42-0001	23944 SEELYE BROOK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-25-42-0003	24057 NEON STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-25-43-0002	5900 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
26-34-25-44-0007	5701 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-11-0002	24318 HUMMINGBIRD ST. STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-11-0005	1789 243RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-11-0007	24450 HUMMINGBIRD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
27-34-24-12-0005	24446 MARTIN STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-12-0009	1872 244TH COURT STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-12-0011	24367 MARTIN STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-12-0014	1793 243RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-13-0002	1944 242ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-13-0006	1933 242ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-14-0003	1731 242ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-14-0006	24280 HUMMINGBIRD ST. STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-14-0011	24161 HUMMINGBIRD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-14-0013	24245 HUMMINGBIRD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-21-0014	2011 243RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-23-0003	24278 RAVEN STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-23-0005	24212 RAVEN STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-23-0006	24146 RAVEN STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-23-0010	24123 VERDIN STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-24-0003	24165 RAVEN STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-24-0004	24109 RAVEN STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-24-0006	2134 243RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-24-0008	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-24-0012	2150 242ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-31-0002	23944 NIGHTINGALE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-43-0003	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-43-0004	23725 NIGHTINGALE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-24-44-0002	1721 237TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-25-12-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
27-34-25-31-0001	6938 AMBASSADOR STREET	\$ 60.00	\$ 6.00	\$ 66.00
27-34-25-34-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
27-34-25-41-0002	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
27-34-25-41-0004	6423 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
27-34-25-42-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
27-34-25-43-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
27-34-25-43-0002	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
27-34-25-44-0004	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-12-0002	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-12-0004	24360 YUKON STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-12-0010	24442 CROCUS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-13-0003	24069 RUM RIVER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-13-0007	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-13-0008	2680 243RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-13-0009	2614 243RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-24-0004	2945 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-31-0011	23955 RUM RIVER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-31-0012	2909 239TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-32-0003	3020 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-32-0004	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-33-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-34-0004	2930 239TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-42-0002	24069 RUM RIVER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-24-43-0003	2633 239TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-11-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-12-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-13-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-14-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-21-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-22-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-23-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
28-34-25-24-0001	23100 SUGAR BUSH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-31-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-32-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-33-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-34-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-41-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-42-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-43-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
28-34-25-44-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-11-0002	24439 RIVERBANK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-12-0004	24430 RIVERBANK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-12-0005	3531 KINGS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-12-0006	3461 KINGS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-12-0007	24321 RIVERBANK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-12-0008	24333 RIVERBANK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-12-0009	24343 RIVERBANK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-12-0019	3484 KINGS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-12-0021	24358 RIVERBANK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-13-0009	24301 RIVERBANK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-13-0011	24225 RIVERBANK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-23-0003	24223 SAINT FRANCIS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-23-0006	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-33-0002	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
29-34-24-42-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-11-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-12-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-13-0001	23100 SUGARBUSH STREET	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-14-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-21-0001	23100 SUGAR BUSH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-22-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-23-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-24-0001	23100 SUGAR BUSH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-31-0001	23100 SUGAR BUSH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-41-0001	23100 SUGAR BUSH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-42-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-43-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
29-34-25-44-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
30-34-24-11-0006	24320 ST. FRANCIS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
30-34-24-12-0004	4333 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
30-34-24-12-0007	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
30-34-24-13-0004	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
30-34-24-13-0007	4275 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
30-34-24-24-0004	4539 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
30-34-24-31-0004	4554 241ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
30-34-24-33-0002	23893 ROANOAK STREET STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
30-34-24-33-0004	23821 ROANOKE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
30-34-24-34-0002	4485 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
30-34-25-11-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
30-34-25-12-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
30-34-25-13-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
30-34-25-14-0001	23100 SUGAR BUSH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
30-34-25-22-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
30-34-25-32-0001	24041 JARVIS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
30-34-25-32-0002	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0009	4128 DEGARDNER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0013	23524 DEGARDNER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
31-34-24-11-0014	23550 DEGARDNER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0017	4113 DEGARDNER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0030	23696 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0032	23656 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0034	23636 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0036	4120 236TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0037	4100 236TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0039	23633 DAKOTAH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0045	23675 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0047	23645 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0051	23694 DAKOTAH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-11-0075	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-12-0003	4314 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-14-0029	4006 DEGARDNER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-14-0030	4000 DEGARDNER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-14-0032	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-21-0002	4555 236TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-21-0008	4510 236TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-21-0014	23612 KANABEC STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-21-0017	4461 236TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-21-0020	23611 KANABEC STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-22-0003	23522 PEDERSON STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-23-0003	23384 ONEIDA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-23-0004	4721 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-23-0005	4769 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-23-0006	4717 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-23-0009	4628 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-23-0012	23371 ONEIDA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-23-0013	4700 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-24-0002	23434 PEDERSON STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-24-0004	4553 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-24-0006	4534 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0007	23110 NAVAJO STREET STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0008	4531 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0014	4524 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0017	23135 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0018	23123 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0019	23111 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0022	4471 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0032	4417 231ST COURT STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0034	4429 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0035	4437 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0041	4455 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0045	23150 LIPAN STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0046	23164 LIPAN STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0049	4488 232ND COURT STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0051	4512 232ND COURT STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0054	4515 232ND COURT STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0056	4489 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0065	23221 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0067	23191 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0070	4487 232ND LANE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0071	4495 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0074	4535 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0084	23192 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-31-0085	23180 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
31-34-24-31-0092	4433 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-32-0002	4756 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-32-0004	4709 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-32-0005	23190 ONEIDA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-32-0006	23220 ONEIDA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-32-0007	23286 ONEIDA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-32-0008	4724 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-32-0010	23251 ONEIDA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-32-0011	23171 ONEIDA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-32-0012	4640 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0006	23033 KIOWA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0007	23021 KIOWA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0011	22969 KIOWA STREET STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0016	4432 229TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0017	4444 229TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0023	22932 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0024	22944 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0028	22992 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0035	23058 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0036	4531 229TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0041	22978 MAKAH STREET STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0044	23010 MAKAH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0048	4506 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0051	23069 NAVAJO STREET STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0056	23009 NAVAJO STREET STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0059	22969 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0060	22955 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0061	22939 NAVAJO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0063	4511 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0064	4505 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0066	4481 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0067	4473 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0069	23040 KIOWA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0072	4446 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0073	4452 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0075	4464 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0078	4462 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0088	22953 MAKAH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0089	22967 MAKAH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0091	22991 MAKAH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-34-0094	4421 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-41-0007	4188 232RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-41-0008	4185 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-41-0071	4121 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-41-0074	23170 DAKOTAH ST. STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-41-0083	23145 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-41-0084	23151 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-41-0092	23151 DAKOTAH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-41-0101	4114 231ST LANE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-41-0104	23150 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-41-0108	23128 ELDORADO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0008	23117 GUARANI STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0013	23130 GUARANI STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0016	23107 JIVARO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0019	23141 JIVARO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0020	23153 JIVARO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00

**City of St. Francis
Delinquent Storm Water Invoices**

**Exhibit 2
County Fund # 85737**

PID	ADDRESS	AMOUNT	10%	TOTAL
31-34-24-42-0021	23165 JIVARO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0024	23199 JIVARO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0026	23208 JIVARO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0033	23128 JIVARO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0034	23116 JIVARO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0039	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0040	23159 FOX STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0043	23199 FOX STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0050	23176 FOX STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0052	23198 FOX STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0053	23210 FOX STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-42-0058	23252 FOX STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0014	23096 GUARANI STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0017	23058 GUARANI STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0020	23020 GUARANI STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0024	4315 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0025	4319 230TH AV STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0028	23067 JIVARO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0029	23077 JIVARO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0036	4336 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0037	4344 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0039	4360 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0041	4374 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0043	4390 230TH AVENUE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0049	4343 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0051	4363 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0052	4369 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-24-43-0053	23102 JIVARO STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-11-0001	23100 SUGAR BUSH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-22-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-23-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-24-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-31-0001	23100 SUGAR BUSH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-32-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-33-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-34-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-41-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-42-0001	23100 SUGAR BUSH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-43-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-44-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
31-34-25-44-0002	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0006	3282 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0009	3332 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0017	3279 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0020	3315 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0022	3339 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0025	3373 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0028	3370 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0032	3377 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0036	3256 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0037	3264 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0039	3290 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0040	3304 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0044	3285 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0045	3273 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0046	23540 MARIGOLD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
32-34-24-11-0052	3393 236TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0056	3396 236TH LN NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0059	3356 236TH LANE NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0061	23612 MARIGOLD ST NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0063	23598 MARIGOLD ST NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0067	3347 236TH LANE NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0068	3350 236TH LANE NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0070	3332 236TH LN NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-11-0072	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0008	3448 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0013	23564 QUAY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0019	3402 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0020	3408 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0022	3420 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0024	3440 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0026	3458 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0030	3427 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0032	3405 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0037	3564 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0043	3567 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0044	3581 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0045	3593 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0046	23600 QUAY STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0049	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0052	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-12-0053	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-13-0002	3608 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-13-0005	3586 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-13-0010	3587 232ND STREET NW		\$ -	\$ -
32-34-24-13-0011	3579 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-14-0003	23400 RUM RIVER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-21-0002	23519 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-21-0006	23527 UNDERCLIFT STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-21-0015	3670 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-21-0023	23548 VINTAGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-21-0026	3605 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-21-0028	3639 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-21-0036	23588 VINTAGE ST NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-21-0037	23576 VINTAGE ST NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-21-0038	3697 236TH LN NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-21-0039	3691 236TH LN NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-22-0012	23611 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-22-0016	3855 STARK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-22-0030	23655 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-23-0008	23390 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-23-0013	3815 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-23-0020	23311 YUCCA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-23-0021	3903 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-23-0029	3936 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-23-0031	3925 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-23-0035	23382 YUCCA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0003	23339 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0006	23267 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0012	23322 WOODBINE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0013	23310 WOODBINE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0014	23351 WOODBINE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
32-34-24-24-0019	23356 WOODBINE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0035	23291 UNDERCLIFT STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0038	23290 VINTAGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0039	23288 VINTAGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0042	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0044	23242 VINTAGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0053	23292 UNDERCLIFT STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0065	23266 UNDERCLIFT STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-24-0067	23263 UNDERCLIFT STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0015	23109 BUTTERFIELD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0019	23125 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0020	23115 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0021	23162 BUTTERFIELD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0028	23284 WOODBINE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0030	23260 WOODBINE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0031	3720 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0032	3712 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0034	3690 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0037	23283 WOODBINE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0046	23135 BUTTERFIELD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0051	23111 BUTTERFIELD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-31-0057	23237 VINTAGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0001	3814 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0006	23216 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0010	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0034	23262 YUCCA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0036	23242 YUCCA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0037	23238 YUCCA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0038	23226 YUCCA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0053	3832 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0060	3831 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0061	3831 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0065	3853 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0071	3853 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0072	23295 ST. FRANCIS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0073	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0074	3854 232ND AVE NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-32-0083	3854 232ND AVE NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-33-0006	22968 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-33-0009	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-33-0015	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-34-0006	22904 WOODBINE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-34-0008	22939 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-34-0018	22950 WOODBINE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-34-0030	3631 BRIDGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-34-0049	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-34-0050	3747 BRIDGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-34-0053	22945 RUM RIVER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-34-0058	22921 RUM RIVER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-43-0015	3519 BRIDGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-43-0024	22926 POPPY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-43-0034	22922 SILVEROD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-44-0006	3296 BRIDGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-44-0007	3256 BRIDGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-24-44-0023	22905 POPPY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-25-12-0002	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
32-34-25-21-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-25-22-0001	23100 SUGAR BUSH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-25-23-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-25-24-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-25-31-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-25-32-0001	8718 HILL AND DALE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
32-34-25-33-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
32-34-25-34-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-12-0030	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-12-0102	23571 CROCUS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-12-0113	2787 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0010	23371 ARROWHEAD ST. STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0012	23387 ARROWHEAD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0014	2598 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0019	23475 ARROWHEAD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0021	23336 ARROWHEAD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0027	23382 ARROWHEAD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0028	23386 ARROWHEAD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0030	23404 ARROWHEAD STREET STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0036	23478 ARROWHEAD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0040	23473 CROCUS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0041	23459 CROCUS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0044	23423 CROCUS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-13-0046	2793 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-14-0008	2567 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0004	23542 HEATHER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0008	23584 HEATHER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0011	23618 HEATHER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0025	2929 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0032	23593 HEATHER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0042	23620 FLORA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0048	23611 FLORA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0050	23633 FLORA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0052	2882 235TH AVE. STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0064	23640 EIDELWEISS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0065	23628 EIDELWEISS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0072	2883 237TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0076	2833 237TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0093	23549 EIDELWEISS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0094	23569 EIDELWEISS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0105	23641 EIDELWEISS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0116	2824 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-21-0123	2819 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-22-0009	3009 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-22-0014	23525 RUM RIVER STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0003	23431 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0012	23321 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0014	3038 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0015	23374 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0016	23366 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0022	23307 JONQUIL STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0023	23323 JONQUIL STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0026	23355 JONQUIL STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0027	23369 JONQUIL STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0030	3050 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0041	23346 JONQUIL STREET NW	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
33-34-24-23-0043	23322 JONQUIL STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0045	23302 JONQUIL STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0046	23299 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0047	23297 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-23-0048	23295 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-24-0009	2842 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-24-0010	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-24-0014	23414 EIDELWEISS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-24-0016	23438 EIDELWEISS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-24-0017	2892 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-24-0019	2875 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-24-0022	2841 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-24-0023	2827 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-24-0030	23419 EIDELWEISS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-24-0031	23427 EIDELWEISS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-24-0033	23453 EIDELWEISS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-24-0034	2834 234TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0005	23140 GLADIOLA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0006	23152 GLADIOLA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0008	23176 GLADIOLA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0009	23188 GLADIOLA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0017	23181 GLADIOLA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0018	23169 GLADIOLA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0019	23147 GLADIOLA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0024	2923 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0026	2897 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0028	2873 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0036	2868 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0038	2814 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0039	2832 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0043	23171 FLORA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0067	23121 EIDELWEISS STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0080	23168 DAHLIA STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0083	2808 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0093	2827 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-31-0095	2851 233RD STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0007	23124 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0015	23109 KERRY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0019	23161 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0025	23162 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0027	23292 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0028	23278 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0029	23260 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0031	3067 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0033	23237 KERRY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0035	23255 KERRY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0039	23270 KERRY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0041	23258 KERRY STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0045	23222 KERRY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0046	23210 KERRY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0047	23198 KERRY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0049	23154 KERRY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0050	23291 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0051	23283 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0053	23259 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0054	3038 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
33-34-24-32-0056	3060 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0057	3074 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0059	23187 KERRY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-32-0060	23167 KERRY STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0003	3128 BRIDGE STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0006	22905 LAKE GEORGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0007	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0014	23085 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0020	3036 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0022	3058 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0023	3070 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0028	23094 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0031	23058 IVYWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0033	3061 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0035	3103 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0051	3112 BRIDGE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0053	23090 KERRY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0055	23081 KERRY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0056	23093 KERRY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-33-0059	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-34-0076	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0010	2757 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0012	2783 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0018	2780 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0019	2792 231ST LANE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0020	2790 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0026	2776 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0028	2754 233RD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0031	2743 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0032	2759 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0036	2799 232ND STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0042	23179 ARROWHEAD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0054	23329 ARROWHEAD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0056	23337 ARROWHEAD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0061	23332 ARROWHEAD ST NW STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0063	23118 BITTERSWEET STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0071	23141 ARROWHEAD STREET STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-42-0072	23129 ARROWHEAD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0048	2693 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0050	2697 230TH STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0058	2723 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0059	2725 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0064	2735 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0067	2741 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0068	2743 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0070	2747 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0073	2714 230TH COURT STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0077	2732 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0160	2764 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0188	2762 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0189	2760 231ST AVE NW STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0191	2751 230TH LANE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0196	2769 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0201	2761 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0208	23076 BITTERSWEET STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0210	23092 BITTERSWEET STREET NW	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
33-34-24-43-0213	2625 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0215	2617 230TH COURT STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0220	2659 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0222	2651 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-24-43-0226	2633 230TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-25-11-0003	7382 HILL AND DALE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-25-11-0004	23640 NACRE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-25-13-0003	23449 VARIOLITE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-25-31-0002	23114 VARIOLITE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-25-34-0003	7781 229TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
33-34-25-43-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
33-34-25-44-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
34-34-24-12-0004	23633 NIGHTINGALE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
34-34-24-21-0003	23604 NIGHTINGALE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
34-34-24-24-0006	23390 NIGHTINGALE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
34-34-24-31-0005	23224 NIGHTINGALE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
34-34-24-34-0007	2145 229TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
34-34-24-34-0008	22986 NIGHTINGALE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
34-34-24-34-0010	2077 229TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
34-34-25-11-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
34-34-25-12-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
34-34-25-13-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
34-34-25-14-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
34-34-25-31-0009	23207 SPRING HILL STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
34-34-25-34-0003	23003 SPRING HILL STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
34-34-25-34-0004	23055 SPRING HILL RD NW STREET	\$ 60.00	\$ 6.00	\$ 66.00
34-34-25-41-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
34-34-25-42-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
34-34-25-43-0003	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
34-34-25-44-0004	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-11-0009	23681 TAMARACK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-11-0013	940 236TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-11-0014	873 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-12-0005	1054 237TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-13-0002	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-14-0004	834 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-14-0005	854 235TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-14-0013	23391 TAMARACK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-14-0014	23335 TAMARACK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-21-0002	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-23-0002	23474 DRAKE STREET STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-23-0004	23384 DRAKE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-23-0005	23340 DRAKE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-24-0002	1214 237TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-32-0002	23278 DRAKE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-32-0003	23222 DRAKE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-32-0008	1463 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-33-0001	1461 229TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-41-0003	23155 TAMARACK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-43-0003	23002 TAMARACK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-43-0011	23032 TAMARACK STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-44-0002	901 229TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-44-0005	825 229TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-24-44-0006	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
35-34-25-11-0005	23540 BRIDGESTONE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-25-11-0012	23636 BRIDGESTONE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00

City of St. Francis
Delinquent Storm Water Invoices

Exhibit 2
County Fund # 85737

PID	ADDRESS	AMOUNT	10%	TOTAL
35-34-25-11-0014	5712 236TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-25-12-0001	5821 236TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-25-12-0002	5901 236TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-25-12-0003	5915 236TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-25-24-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
35-34-25-32-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
35-34-25-33-0002	6405 229TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
35-34-25-33-0005	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
36-34-24-14-0004	23462 UNIVERSITY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-24-14-0006	23350 UNIVERSITY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-24-14-0007	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
36-34-24-34-0004	445 229TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-24-41-0001	23216 UNIVERSITY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-24-41-0002	23260 UNIVERSITY STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-24-42-0003	331 231ST STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-24-42-0005	23158 FLINTWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-24-42-0006	23214 FLINTWOOD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-24-43-0002	231 229TH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-24-43-0003	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
36-34-24-43-0008	23034 GOLDENROD STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-25-11-0008	23552 SALISH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-25-12-0005	5220 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-25-14-0003	23445 SALISH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-25-14-0010	23318 SALISH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-25-21-0003	5224 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-25-22-0004	5512 AMBASSADOR STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-25-31-0004	23157 BRIDGESTONE STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-25-41-0002	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
36-34-25-41-0003	23283 SALISH STREET NW	\$ 60.00	\$ 6.00	\$ 66.00
36-34-25-44-0001	UNASSIGNED SITUS STREET	\$ 60.00	\$ 6.00	\$ 66.00
	TOTAL	\$ 48,780.00	\$ 4,878.00	\$ 53,658.00

**City of St. Francis
Delinquent Admin Citations & Escrows-2022**

**Exhibit 3
County Fund #85738**

PID	Parcel Address	Remaining	10% or \$75	Total
27-34-25-44-0004	Unassigned Status	\$ 1,505.98	\$ 75.00	\$ 1,580.98
27-34-25-43-0002	Unassigned Status	\$ 1,505.98	\$ 75.00	\$ 1,580.98
34-34-25-11-0001	Unassigned Status	\$ 1,505.98	\$ 75.00	\$ 1,580.98
34-34-25-14-0001	Unassigned Status	\$ 1,505.98	\$ 75.00	\$ 1,580.98
34-34-25-13-0001	Unassigned Status	\$ 1,505.98	\$ 75.00	\$ 1,580.98
31-34-24-34-0014	4524 231st Ave NW	\$ 100.00	\$ 10.00	\$ 110.00
32-34-24-31-0034	3690 232nd AVE NW	\$ 100.00	\$ 10.00	\$ 110.00
35-34-24-11-0009	23681 TAMARACK ST NW	\$ 100.00	\$ 10.00	\$ 110.00
35-34-24-12-0005	1054 237th AVE NW	\$ 100.00	\$ 10.00	\$ 110.00
31-34-24-42-0043	23199 FOX STREET NW	\$ 100.00	\$ 10.00	\$ 110.00
27-34-25-31-0001	6938 Ambassador Blvd NW	\$ 100.00	\$ 10.00	\$ 110.00
30-34-24-33-0002	23893 Roanoke ST NW	\$ 100.00	\$ 10.00	\$ 110.00
05-33-24-24-0015	3641 226TH AVE NW	\$ 300.00	\$ 30.00	\$ 330.00
36-34-24-14-0004	23462 University Ave NW	\$ 100.00	\$ 10.00	\$ 110.00
32-34-24-11-0037	3264 235TH LN NW	\$ 800.00	\$ 75.00	\$ 875.00
Total		\$9,429.88	\$560.00	\$9,989.88



CITY COUNCIL AGENDA REPORT

TO: Mayor and Council
FROM: Kate Thunstrom, City Administrator
SUBJECT: Public Works Building Lease
DATE: November 7, 2022

OVERVIEW:

In 2017 the City and School District entered into a lease where the district utilized space within a building on the public works site for storage and in exchange for rent, the City used the district building for Planning and Council meetings.

Due to changes planned for the public works building to accommodate the Fire department during construction of the new facility and future public works needs after that is completed, the City needs to end the lease of additional storage.

In a conversation with the District they have requested a date of April 30, 2023 which will also work for the City. Between this time and the end of April, the City and District will need to update an agreement in regards the space required for the Council and Planning Commission meetings.

ACTION TO BE CONSIDERED:

Council to consider approving an extension of the existing Lease Agreement until April 30, 2023

Attachments:

- 2017 St. Francis Public Works Building Lease

St. Francis Public Works Building Lease

This Lease Agreement ("Lease") is entered into this 20th day of November 20, 2017 between the City of St. Francis ("Lessor"), Minnesota municipal corporation, and Independent School District No. (St. Francis Public Schools) ("Lessee").

Lessor is the owner of real property and the improvements made thereon located at 4020 St. Francis Blvd NW., in the City of St. Francis, Anoka County, State of Minnesota, commonly known as the Public Works/Public Safety Building (the "Property").

Lessee desires to lease from Lessor and Lessor desires to lease to Lessee the following property:

The main floor of the building located at 4020 St Francis Blvd NW in St. Francis, Minnesota (the "Leased Premises").

THEREFORE, in consideration of the keeping and performance of the conditions and promises set forth in this Lease, the adequacy of which are hereby acknowledged, the parties agree as follows:

1. **Lease of Premises:** Lessor leases to Lessee and Lessee leases from Lessor the Leased Premises on the terms and conditions set forth in this Lease.
2. **Term and Early Termination:** The Lease will commence on November 20, 2017 and terminate on November 20, 2022 (the "Term"). Either party may terminate this lease without cause by providing the other party notice of termination at least Ninety (90) days before the early termination date. In the event of either party's termination without cause, the Lessee shall surrender the property in accordance with Section 11 of this Lease.
3. **Use of Leased Premises:**
 - a. The Lessee agrees to use and occupy the Leased Premises solely for the purposes of records and equipment storage owned or in the possession of the Lessee.
 - b. Lessee agrees not to use, nor permit any portion of the Leased Premises to be used, for any illegal purpose or for any purpose that would cause an increase in or cancellation of the existing rate of insurance on the Property, subject to the insurance provisions in paragraph 6 of this Agreement.
 - c. Lessor may continue to utilize a portion of the pallet racking located inside and outside of the Leased Premises for equipment storage, but shall not expand upon the area that it currently uses inside the Lease Premises (depicted on the attached sketch as Exhibit A), or use the Leased Premises for any other purpose, without Lessee's written approval.

- d. Lessor may continue to utilize the second floor of the Leased Premises for records and equipment storage.

- 4. Exchange of Services in Lieu of Rent:** Lessor agrees to lease the Leased Premises to District 15 in exchange for Lessor's use of the District 15 Central Services Center located at 4115 Ambassador Blvd in St. Francis, Minnesota (the "CSC Building") for the purpose of hosting regularly scheduled City Council meetings and Planning and Zoning Commission meetings. In addition, District 15 will permit the use of the CSC Building without charge to operate as a election polling location for two (2) City of St. Francis voting precincts for all federal, state, local, and special elections dates where an election is held within the City during normal polling hours. The Lessor shall supply all materials and equipment related to voting and operation of the election polling location. The agreed Exchange of Services includes reasonable use of water, gas, sewer, electricity and other utilities used by Lessee in connection with the Leased Premises. Lessor's use of the CSC Building is contingent upon its maintenance of insurance in the same amounts and terms as required under this section 6(a) of this Lease that covers claims for bodily injury, death or property damage occurring on or about the CSC Building.

Lessor's right to use of the CSC Building under this paragraph terminates upon the termination or natural expiration of this Lease.

- 5. Utilities and Taxes:** Lessor shall pay for all water, gas, sewer, electricity, garbage and other utilities used by Lessee in connection with the Leased Premises. However, if Lessor determines that Lessee has used an excessive amount of utility services in a given month, it may invoice the District for the portion of the utility bill for that month that it deems to be excess. If the District disputes the amount and the parties cannot resolve their differences, Lessor's sole remedy is to terminate as provided under Section 2 of this Lease.

Lessor shall be responsible for all real property taxes and special assessments associated with the Property and the Leased Premises.

6. Insurance.

- a. Both parties will maintain liability insurance against claims for bodily injury, death or property damage occurring on or about the Property. Such insurance will be written on an occurrence basis with a combined single limit of not less than \$1,500,000 per occurrence. If the insurance policy is written on a "claims-made basis", the party will maintain coverage for a minimum of three years past the expiration of this agreement. The retroactive date of the policy shall be indicated on the certificate of insurance outlining coverage. In addition, both District 15 and the City will name each other as an additional insured with

respect to its own operation on said policies of insurance. Both parties will maintain all workers compensation insurance required by law.

- b. Lessor shall at all times during the Term of this Lease keep the Building insured against loss or damage by fire and against those perils included from time to time in the standard form of extended coverage insurance endorsement, including but without limiting the generality of the foregoing, wind storm, hail, explosion, vandalism, riot and civil commotion, damage from vehicles, and smoke damage, and such other coverage as may be deemed necessary by Lessor.
- c. Lessee shall insure the contents of the Leased Premises owned by Lessee, for the benefit of Lessee, against loss or damage by fire, windstorm, or other casualty for such amount as Lessee may desire.

7. Maintenance, Repair, Improvements and Alterations:

- a. Lessee shall be responsible for routine cleaning of the Lease Premises and shall keep the Leased Premises free of waste and debris. Lessee will provide its own supplies to clean the Leased Premises.
- b. Lessee agrees to not make or suffer to be made any alterations or improvements of any part of the Leased Premises without prior consent of the Lessor.
- c. Lessor agrees to maintain and repair the Property and all Improvements thereon, including the entire sewer and water extensions, sinks, and other equipment installed, electrical installations and the structures, subject to Section 6(d) of this Agreement.
- d. If any maintenance, repair, improvement or alteration of the Leased Premises is conducted by Lessor because of the sole negligence or fault of Lessee, Lessee shall reimburse Lessor for all reasonable costs directly attributable to such maintenance, repair, improvement or alteration from Lessee after allowing Lessee a reasonable opportunity for review of the damage before any such changes are made.
- e. Lessor shall be solely responsible for snow clearance and parking lot maintenance and repair. Snow shall be cleared in a timely fashion to ensure Lessee's reasonable access to the Leased Premises.

8. Access to Leased Premises:

- a. During the term of the Lease, Lessor will turn over to Lessee one set of keys which will allow Lessee to access all Leased Premises. Lessee will not in any way duplicate or permit duplication of such keys. In the event such keys become lost or inoperable due to fault of Lessee, Lessee will be responsible for any replacement cost and any re-keying fees incurred, if applicable.
- b. Lessor and its authorized representatives have the right to enter the Leased Premises any time and without notice to Lessee for the limited purposes outlined in paragraph 3c. and 3d.
- c. Lessor may, with twenty-four (24) hours notice to Lessee, access the Leased Premises for the purposes of inspection, maintenance or repair.
- d. Because of the shared access to the Leased Premises, within thirty (30) days of the execution of this Lease, Lessee and Lessor shall agree upon security measures and equally share any associated costs. Each party shall be responsible for the acts and omissions of their respective staff, invitees, contractors or agents who have access to the Leased Premises, including any failure by the same to re-secure the Leased Premises after entry.

9. Hold Harmless:

- a. Lessee assumes all risks of personal injury arising from its usage of the Leased Premises or any part connected or contiguous thereto which result solely from Lessee's negligence.
- b. Lessee agrees to indemnify and hold harmless Lessor from and against all claims, costs, expenses (including attorney fees) and liabilities of whatever nature arising from: (i.) any negligent or illegal act or omission of Lessee, its staff, licensees, agents, employees, or others over whom it has supervisory responsibility; or (ii.) any accident, injury, death or damage, to any person or property occurring in the Leased Premises or any part connected or contiguous thereto and caused by the negligence or other wrongful conduct of Lessee, its staff, licensees, agents, employees, or others over whom it has supervisory responsibility, except to the extent that such claims arise from the Lessor's performance or failure to perform its obligations under this Lease or Lessor's negligence.
- c. Lessor agrees to indemnify and hold harmless Lessee from and against all claims, costs, expenses (including attorney fees) and liabilities of whatever nature arising from: (i.) any negligent or wrongful act or omission of Lessor, its staff, licensees, agents, or employees; or (ii.) any accident, injury, death, or damage to any person or property occurring in the Leased Premises or any part connected or

contiguous thereto and caused by the negligence or other wrongful conduct of Lessor, its staff, licensees, agents, or employees, or others over whom it has supervisory responsibility except to the extent that such claims arise from the Lessee's performance or failure to perform its obligations under this Lease or Lessee's negligence.

- d. Lessee will be solely responsible for and will defend, indemnify, and hold Lessor harmless from and against any and all claims, costs, and liabilities, including attorney's fees and costs, arising out of, or in connection with, the cleanup or restoration of the Property directly associated with Lessee's use of Hazardous Materials. Lessor will be solely responsible for and will defend, indemnify, and hold Lessee harmless from and against any and all claims, costs, and liabilities, including reasonable attorney's fees and costs, arising out of or in connection with the removal, cleanup, or restoration of the Property with respect to Hazardous Materials from any and all sources other than those Hazardous Materials introduced to the Property by Lessee, its employees, agents, and contractors. For purposes of this Lease, "Hazardous Materials" shall be interpreted broadly and shall include, without limitation, asbestos, petroleum, fuel, batteries, PCBs, or any hazardous substance, waste, or materials as defined in any federal, state or local environmental or safety law or regulations including, but not limited to, MERCLA, CERCLA, and the Clean Water Act.
- e. The obligations of this Section 8 shall survive the expiration or other termination of this Lease.

10. Quiet Enjoyment. Lessor represents and warrants that it is the lawful owner of the Leased Premises; that it has the full right and power to make the Lease; that if and so long as Lessee shall not be in default hereunder, Lessee shall quietly hold, occupy, and enjoy the Leased Premises during all of the Term.

11. Breach: If Lessee breaches any covenant of this Lease and does not cure the same within thirty (30) days of receipt of notice of the breach or, if the breach cannot be reasonably cured within thirty (30) days, fails to take reasonable steps towards curing the beach within the same timeframe, Lessee shall be in default of this Lease and Lessor may, upon ten (10) days' notice to Lessee, terminate this Lease and re-enter the Leased Premises, with or without process of law and take possession.

If Lessor breaches any covenant of this Lease and does not cure the same within thirty (30) days' notice of the breach or, if the breach cannot be reasonably cured within thirty (30) days, fails to take reasonable steps towards curing the beach within the same timeframe, Lessor shall be default of this Lease and Lessee may terminate both leases with ten (10) days' written notice.

The remedies provided under this section of the Lease are in addition to any and all remedies available under law or equity.

- 12. Termination and Surrender:** At the termination Date or an earlier termination as provided under this Lease, Lessee shall surrender the Leased Premises in a neat and orderly condition and in as good of condition as exists at the time of the commencement of this Lease, reasonable wear and tear accepted, not including intentional damage and vandalism caused by Lessee or its assigns.

Lessee shall have forty-five (45) calendar days to remove all personal property owned by Lessee from the Property. Any personal property remaining on the Property after such time will, at the option of Lessor, be deemed abandoned and Lessor may dispose of as it deems fit.

- 13. Damage or Destruction:** If during the term of this Lease the Leased Premises or Property are damaged by fire or other casualty, not arising from fault or negligence of Lessee or its assigns, so that the Leased Premises or Property is rendered unfit for use, then either Lessee or Lessor may terminate this Lease upon thirty (30) days' written notice to the other

- 14. Assignment and Subletting:** Lessee agrees to not assign this Lease or any interest in this Lease, to not sublet the Leased Premises or any part of them, or any right or privilege appurtenant to them, or permit any person other than the agents and servants of Lessor to occupy or use the Leased Premises without prior written consent of the Lessor, which may be unreasonably withheld.

- 15. Notice:** Whenever this Lease requires notice to be given by either party to the other, except where oral notice is allowed, the notice must be given in writing and sent by certified mail, addressed as follows:

If to Lessee: ISD #15 Superintendent 4115 Ambassador Blvd, St. Francis, MN 55070

If to Lessor: Public Works Director 23340 Cree Street NW, St. Francis Minnesota 55070

16. Miscellaneous:

- a. It is agreed that no assent, express or implied, to any breach of anyone or more of the covenants or agreements herein contained will be deemed or taken to be a waiver of any succeeding or other breach.
- b. Severance: If any term, covenant, condition or provision of this Lease is held by a court of competent jurisdiction to be void or unenforceable, the remainder of

the provisions of this Lease will remain in full force and will in no way be affected, impaired or invalidated.

- c. No Oral Agreements: This Lease includes in full each agreement of every kind between the parties concerning the Leased Premises, and all preliminary negotiations and agreements of any kind or nature are merged in this Lease. There are no oral agreements or implied covenants in connection with this Lease.
- d. Modifications: This Lease shall only be amended upon the written agreement of both parties.
- e. Governing Law: This Lease is governed by the laws of the State of Minnesota.

IN WITNESS WHEREOF, the parties hereto agree the day and year first above written.

City of St. Francis, Lessor
23340 Cree Street NW.
St. Francis, MN. 55070

St. Francis School District 15, Lessee
4115 Ambassador Blvd.
St. Francis, MN 55070

By Its: City Administrator

By Its: Superintendent


Joe Kohlmann


Troy Ferguson

727315-v1

EXHIBIT A

Depiction of Leased Premises



CITY COUNCIL AGENDA REPORT

TO: Mayor and Council
FROM: Kate Thunstrom, City Administrator
SUBJECT: Hwy 47 Reconstruction Update and Grant Writing Agreement
DATE: November 7, 2022

OVERVIEW:

Project overview:

MnDOT leadership is allowing conversations to continue with the design that includes two roundabouts and two signals along the Hwy 47 corridor. They do not feel they need to meet with the City further and will allow this project to move forward as such.

There are a few important points to acknowledge as we move forward:

- MnDOT does not agree that lights are the safest option and the City understands the decision they are committing to
- The roundabout on the south end of the corridor will be at 227th OR 229th. The actual location is not set and will be determined through further engagement and design
- It is the responsibility of the City to begin applying for grants for the road project.
 - Grant applications will be required, without them the City cannot afford this project
 - Lights do not score as well as roundabouts for road grants, however the road diet may help scores
 - MnDOT has roughly \$2.5m set aside for the resurfacing project that will remain with the project.
 - Total project costs are estimated between \$18 - \$20 million dollars. This does not include the city underground infrastructure needs.
- The project timeframe may shift out as late as 2027 to allow time to find funding opportunities
- The City will need to address water/sewer line infrastructure maintenance at the intersections at the same time of this project
- Water/Sewer line size and conditions will be reviewed as part of this project and may require the City to make improvements
- The City will need to Bond for a portion of this project

Anoka County:

Staff has met with Anoka County in an effort to coordinate project needs and create efficiencies where we can. Anoka County will be a team member of this project and collaborating on corridor efforts is important. Staff will continue to make Council aware of joint efforts.

Financing:

The City needs to contract with a firm to complete grant applications. Staff has discussed this with our Engineers/HAA and with WSB, the current firm involved in the project. The most efficient and effective way to move forward would be to contract with WSB for the grant application process and they will coordinate with HAA for information related to the utilities, city roads and infrastructure.

Although the City can apply for all possible funding opportunities, there are still grant caps and match requirements to be aware of. This project may require more than one grant as grants have specific targeted uses and intent. Most match requirements are at an 80/20 level, this does vary. Some grants are specific to intersections, trails, safety, etc. Staff will work with WSB to capture all possible funding.

November 30th Deadline:

One grant opportunity with a very quick deadline, is the Corridors of Commerce Grant through the State of MN. Staff feels it is important to make an application for this grant to begin raising funds and starting the conversations for this project. In working with WSB, they assured us that we can meet that timeline and they agree this is an opportunity we should consider.

Once the Corridors of Commerce grant is submitted, Staff and WSB will continue to have conversations about additional funding opportunities and partnership

ACTION TO BE CONSIDERED:

Council to review and approve an agreement with WSB for the submission of the Corridors of Commerce grant



November 3, 2022

Kate Thunstrom
City Administrator

Re: Proposal for TH 47 (Saint Francis Blvd NW) Improvement Project Corridors of Commerce
Application Support and Additional Funding Opportunity Research

Dear Ms. Thunstrom:

This letter serves as a scope and fee proposal for the TH 47 (Saint Francis Blvd NW)
Improvement Project funding support.

Scope of Services

WSB has proposed the tasks listed below for the TH 47 (Saint Francis Blvd NW) Improvement Project. These tasks are intended to provide support for development and submittal of an application to MnDOT's 2022 Corridors of Commerce Program, as well as assistance in identifying other funding opportunities, and positioning the city for federal funding opportunities.

Task 1: Corridors of Commerce Application

WSB will develop the responses required for the City of Saint Francis to submit a Corridors of Commerce application to MnDOT by the November 30, 2022, deadline. WSB will complete all required items that need to be included in the project recommendation, including the detailed project description, the construction cost estimate, and review of the cost estimate by a licensed engineer. WSB will also coordinate with city staff on submitting the project recommendation via the online application (<https://www.dot.state.mn.us/corridorsofcommerce/>). We anticipate that the majority of this information is readily available through work done for the TH 47 (Saint Francis Blvd NW) Improvement Project.

Task 2: Funding Application Research, Documentation, and Assistance

WSB will review existing funding opportunities – from the federal, state, and regional levels - to identify funding programs that the City of Saint Francis may consider applying to for all or portions of the TH 47 (Saint Francis Blvd NW) Improvement Project. WSB will document these findings in a memo, which will include details the city may consider when contemplating a funding opportunity, including:

- Frequency of solicitation
- Program type
- \$ match, if applicable
- Minimum and maximum awards
- Eligible projects
- Level of effort to complete the funding application

Task 3: Federal Funding Application Readiness

Several new federal funding opportunities are coming out of discretionary grant programs under the Infrastructure Investment and Jobs Act (IIJA) and the Inflation Reduction Act (IRA). If the City of Saint Francis is interested in potentially pursuing federal funding opportunities, WSB proposes assisting the city determine readiness through the Grants.Gov website. This will include verifying the city's registration and that the appropriate staff are identified as authorized representatives.

Proposed Staff

The project work will be completed by Mary Gute (Project Manager/Sr. Transportation Planner), Connor Cox (Sr. Transportation Planner/Quality Control), and Karli McElroy (Transportation Planner). Mary will serve as project manager and point of contact for the city on all work completed as part of this scope.

Proposed Fee and Hours

The cost to complete the identified tasks is \$7,256. The table below shows a breakdown of hours by staff and task.

Task	Description	Mary Gute	Connor Cox	Karli McElroy	Project Controls	Total Hours	Cost
1	Corridors of Commerce Application	2	4	8	1	15	\$ 1,992.00
2	Funding Application Research, Documentation, and Assistance	3	6	16	1	26	\$ 3,379.00
3	Federal Funding Application Readiness	1	6	6	1	14	\$ 1,885.00
Total		6	16	30	3	5555	\$7,256.00

This letter represents WSB's proposed scope of services and fee to complete the work in each task. WSB is flexible in our approach to complete this work and can work with City staff to modify the workplan as necessary, include removing some tasks from the scope of services above if they are not desired. If you have any questions about this proposal, please feel free to call me at 612.741.7055 or email me at mgute@wsbeng.com. Thank you for the opportunity!

Sincerely,



Mary Gute, AICP
WSB
Project Manager/Sr. Transportation Planner



CITY COUNCIL AGENDA
REPORT

TO: Kate Thunstrom, City Administrator
FROM: Jenni Wida, City Clerk
SUBJECT: Special Meeting to Canvass Election Results
DATE: November 7, 2022

OVERVIEW:

Cities with a General Election must canvass the local race results. Per MN State Statute 204C.33 the County canvassing board shall meet at the county auditor’s office between the 3rd and 10th day after the State General Election. The County will provide the results by the end of day on November 14th. At that time the City can canvass the local race results.

ACTION TO BE CONSIDERED:

Call for a Special Meeting to Canvass Election Results of the November 8th , 2022 General Election.

Staff would like to present the date of November 16th at 5:30 pm at City Hall to hold the special meeting. The special meeting will consist of adopting a resolution accepting the municipal portion of the election results.

MONTHLY COMPARISON REPORT 2019-2022

October



ST. FRANCIS
FIRE & RESCUE

