



PLANNING COMMISSION MEETING
ISD #15 District Office Building 4115 Ambassador Blvd.
Wednesday, May 18, 2022 at 7:00 PM

AGENDA

- 1. CALL TO ORDER/PLEDGE OF ALLEGIANCE**
- 2. ROLL CALL**
- 3. ADOPT AGENDA**
- 4. APPROVE MINUTES**
 - [A.](#) Minutes - April 20, 2022
- 5. PUBLIC COMMENT**
- 6. PUBLIC HEARINGS**
 - [A.](#) Variance Request - Erkium Street
 - [B.](#) Ordinance amendment - screening in D&U easements
 - [C.](#) Northrop Grumman Grading Plan IUP
- 7. REGULAR BUSINESS ITEMS**
 - [A.](#) St. Francis Dental Site Plan Review
- 8. DISCUSSION BY PLANNING COMMISSIONERS**
- 9. ADJOURNMENT**

**CITY OF ST. FRANCIS
ST. FRANCIS, MN
PLANNING COMMISSION MINUTES
April 20, 2022**

1. **Call to Order:** The Planning Commission meeting was called to order at 7:00 pm by Chair Women Liz Fairbanks.
2. **Roll Call:** Present were Deborah Humann, Colleen Sievert, Liz Fairbanks, Dustin Pavel, Tara Kelly, Christina Bass and Dean Becker. Absent: none.

Others in attendance: Kate Thunstrom- Community Development Director, Kevin Robinson - City Council, Beth Richmond – City Planner

3. **Adopt Agenda:** Motion by Sievert, second by Becker to approve the agenda. Motion carried 0-0.
4. **Approve Minutes:** Motion by Becker, second by Humann to approve the March 16, 2022 minutes. Motion carried 7-0.
5. **Public Comment:**

No one came forward

6. **Public Hearing:**

- a. Dollar General Site Plan

City Planner Beth Richmond gave an overview on the site plan for Dollar General. The site is between Highway 47 and Cree St. The parcel is 10.60 acres. The applicant is proposing a 10,640 square foot stand-alone building. The applicant is requesting review of a minor subdivision and site plan. The entire site is guided commercial in regards to the 2040 Comprehensive Plan. The site is zoned B2 General Business. The site plan does meet all the requirements. The building will be located in the center of the lot with parking on the north and the south. The main entrance of the building is proposed to be on the northeast corner facing 229th and highway 47. The site is surrounded on three sides with public streets. There are two accesses proposed for this location. The city requires 47 parking stalls and that is what the applicant has provided.

The applicant had originally thought that instead of building out all of the parking stalls that they would ask for proof of parking but has since decided to build out all the stalls. Because you did notice a public hearing for that we would like to open and close that to give anyone the opportunity to comment.

There are portions of the northern and southern parking lot to be in a utility drainage easement. That is something the City Engineer is in favor of as long as there is an encroachment agreement, that is put together between the applicant and the City.

Majority of the landscaping is proposed around the parking lot. There is a drainage and utility easement in that area, to remedy this, Staff is suggesting that you would allow the

landscaping as proposed with the consideration that the city would amend the code to allow plantings within easements with some constraints.

The loading area is on the west side of the building. There will be some screening that includes evergreens and some shrubs. There is a trash enclosure that is proposed to be fully screened along with mechanical equipment. There are trails proposed as well. Staff would recommend conditional approval would be that the applicant approve a pedestrian connection from the street to existing trail. The site will be served by city utilities.

The Planning Commission is asked to hold the Public Hearing for the CUP even though that is not on the table anymore and following that in discussion and take action, recommend approval, recommend denial or table the item and request additional information.

Staff is recommending approval of the Dollar General site plan with conditions.

Chairwoman Fairbanks stated some of her concerns about the other store in town.

City Planner Beth Richmond reminded the commission that their responsibility is to review the site plan. The physical elements of what you see and not the operation of the store.

Humann stated that she was concerned about traffic on highway 47. MnDot did not have any concerns about the traffic.

Fairbanks opened the public comment at 7:16 pm.

Sam DeLeo - 13 11th Ave N St. Cloud stated he is the project land surveyor and was there to answer any questions.

Fairbanks closed the public comment at 7:17 pm and asked for any further discussion.

Councilmember Robinson asked about the delivery area and was wondering about traffic and noise. Richmond stated that there is screening that will go in as evergreens and shrubs.

Robinson also asked if there were any concerns about snow dump area on the northeast section next to the wetland, Richmond advised that that was not a concern.

Robinson also asked about parking on the south side of the building if people would have to walk around the building. Robinson also asked about street lights and if they would be deflected as to not shine into the residents' homes. Richmond explained that, yes, the lights will shine down.

Fairbanks asked if they were voting on the site plan. Richmond stated yes.

Fairbanks made a motion to approve the Dollar General site plan with conditions with findings of fact as recommended by staff. Sievert seconded. Motion carried 7-0.

7. **Regular Business Items:**

a. 3009 235th Ave NW Concept Review

Beth Richmond gave an overview of the concept plan for a detached townhome development at 3009 235th Ave. This is currently a 7.81 acre parcel. The site currently includes one home in the southeast corner and a wetland in the northeast and the western half is vacant.

The concept include 24 residential lots. One of those would be the existing home that is on a 1.36-acre parcel. The remaining land would be divided between an outlot for the wetland and then 23 detached townhomes. The project would create a public street.

The site is currently guided for low density residential use by the Comprehensive Plan. That category is meant for detached single unit townhomes at a density of between two and three units per net acre. The density that is proposed is 4.3 units per net acre. This concept plan would need an amendment to the Comprehensive Plan likely to medium density residential which will allow a range of 3-7 units per net acre. This site is surrounded by both types of land uses, both medium density and low density. That is something that the Planning Commission should discuss, is if a Comprehensive Plan amendment in this area is something that makes sense. The site is currently zone R1 and that matches the land use guides of the Comp Plan. If the Comp Plan were to be amended, we would also be at a rezoning that is related to it. The R2 Base District is the closest match that we have.

The applicant is requesting a rezoning to a planned unit development. Planning Commission should look at what the benefits are to both the applicant and the City if a PUD was approved.

The proposed lots are 5,000 square feet. Which is a significant decrease from R1 and R2.

There is a public street that is proposed from 235th up to the northern border of the property. It shows 66 feet of right of way but this can be reduced to 60 feet which matches city standards. The City Engineer reviewed the road layout and provide comments. Supportive of intersection, the horizontal curves would need to meet the current specifications. Because the streets on the north side to abut a current undeveloped area this would be what the city would consider a temporary dead end with the opportunity to extend to the north in the future.

Sievert and Fairbanks asked a clarifying question related to location and parking.

Commission members discussed the concept plan and asked Richmond for clarification.

The applicant Christ Fritch answered questions from Commission members and advised that his brother built the City Center Villas in 2004 and those were the same size lots as well. They came up with this design because there isn't anything like it on the market.

Sievert asked the applicant what is the public benefit or the city benefit from the PUD?

Fritch responded with affordability. It would be cost effective with a higher density. It gives a more comparable product with the surrounding developments and the existing market.

Councilmember Robinson was concerned about parking. Richmond advised that it is a normal size public street. With the smaller lots the driveways may be smaller.

Fairbanks stated that with there being a homeowner's association there should be designated guest parking.

Councilmember Robinson asked about a park dedication allowance. Richmond advises that we don't discuss that at concept phase.

Fairbanks had concerns about traffic. Thunstrom asked if she was inquiring about Rum River Blvd or 235th. Chairwoman Fairbanks stated 235th and Rum River Blvd.

Richmond asked for clarification if the Planning Commission is in favor for rezoning. Richmond advised that it will go to the first council meeting in May for discussion.

8. Discussion by Planning Commissioners –

Commission Members discussed Pioneer Days.

- 9. Adjournment:** Motion by Kelly, second by Becker to adjourn. Motion carried 7-0. Meeting adjourned at 8:09 pm

Website Link to Packets and Minutes for the Planning Commission:

<https://www.stfrancismn.org/meetings>

Recorded by: Jenni Wida

DATE APPROVED:



PLANNING COMMISSION AGENDA REPORT

TO: St. Francis Planning Commission

FROM: Brad Scheib, AICP Planner and Natalie Strait, Planner

SUBJECT: Erkium Street Variance

DATE: 5-11-2022 for 5-18-2022 meeting

APPLICANT: Tayllor & Alex Baldwin

LOCATION: XXX Erkium St NW, St Francis, MN 55070

COMP PLAN: Agriculture

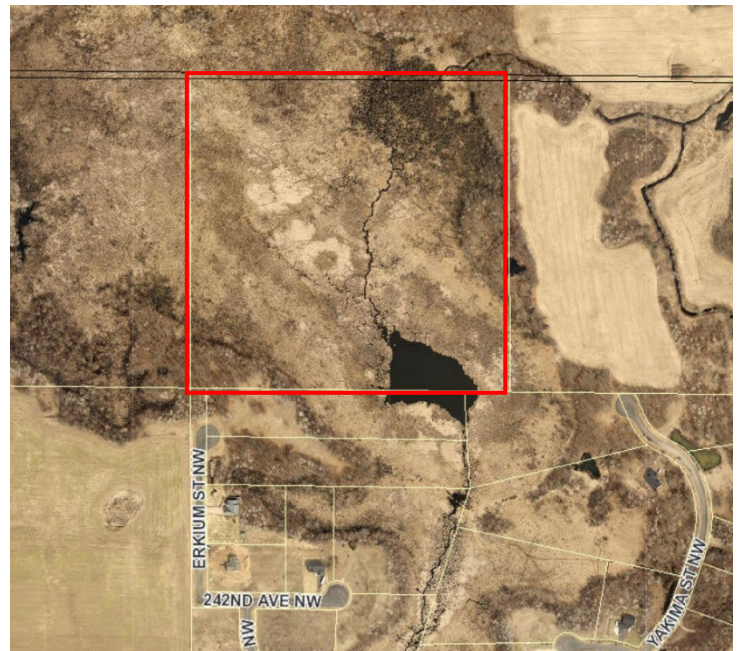
ZONING: A-2 Rural Estate-Agriculture

OVERVIEW:

Tayllor and Alex Baldwin have submitted a Permit Application for a Variance for the 40-acre property located at XXX Erkium St NW in St Francis. This property is currently undeveloped and composed primarily of wetland areas which make up roughly 36.5 acres of the 40-acre site. The application proposes the construction of a single-family home with primary and alternate septic areas as well as a driveway that would connect the property and proposed home to the roadway. The property is in the rural area and municipal sewer and water is not available to the site.

The property is a legal non-conforming lot as it currently does not abut an improved city street. A variance is required for this site to be a buildable site because Erkium Street stops about 160 ft to the south. Therefore, the site does not have “frontage and access directly onto an abutting, improved, and City-accepted public street”. As part of the site plan the applicant has submitted, they are proposing a driveway which would be partially constructed in the platted ROW that would connect the parcel to the existing roadway.

The Planning Commission is requested to hold a public hearing, review the variance, and provide a recommendation to the City Council.



REVIEW PROCEDURE

60-Day Land Use Application Review Process

Pursuant to Minnesota State Statutes Section 15.99, local government agencies are required to approve or deny land use requests within 60 days. Within the 60-day period, an automatic extension of no more than 60 days can be obtained by providing the applicant written notice containing the reason for the extension and specifying how much additional time is needed. The deadline for taking action on the land use request is July 1st 2022.

Variance

City code section 10-35 allows for the granting of a variance in instances where their strict enforcement would cause practical difficulties because of circumstances unique to the individual property under consideration, and to grant such variances only when it is demonstrated that such actions will be in keeping with the spirit and intent of this Ordinance.

- A. The Board of Adjustment shall not approve any variance request unless they find all of the following criteria have been met:
1. A variance shall only be granted when it is in harmony with the general purposes and intent of the ordinance.
 2. A variance shall only be granted when it is consistent with the comprehensive plan.
 3. A variance may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the zoning ordinance. Economic considerations alone do not constitute a practical difficulty. In order for a practical difficulty to be established, all of the following criteria shall be met:
 - a. The property owner proposes to use the property in a reasonable manner. In determining if the property owner proposes to use the property in a reasonable manner, the board shall consider, among other factors, whether the variance requested is the minimum variance which would alleviate the practical difficulty and whether the variance confers upon the applicant any special privileges that are denied to the owners of other lands, structures, or buildings in the same district.
 - b. The plight of the landowner is due to circumstances unique to the property not created by the landowner
 - c. That the granting of the variance will not alter the essential character of the neighborhood in which the parcel of land is located.
 4. The variance does not involve a use that is not allowed within the respective zoning district.

“Practical Difficulties” is defined as follows: Practical Difficulties, as used in conjunction with a variance, means that:

1. Reasonableness: The property owner proposes to use the land in a reasonable manner for a use permitted in the zone where the land is located, but the proposal is not permitted by other official controls;
2. Uniqueness: The plight of the landowner is due to circumstances unique to the property and that are not created by the landowner; and
3. Essential Character: The variance, if granted, will not alter the essential character of the neighborhood.

Economic considerations alone do not constitute practical difficulties.

Public Hearing

City Code Section 10-31-03 requires that a public hearing for review of the variance request be held by the Planning Commission. The public hearing notice was published in the Anoka County Union Herald and mailed to all affected property owners located within 350 feet of the subject property.

ANALYSIS

Lot Frontage

Currently there is not adequate lot frontage on an improved public street. There is ROW platted to the property; however, Erkium Street, which was created as part of the plat directly to the south does not access the property line.

City Code 10-15-05 a. 4 states that in order for a legal non-conforming lot to be built on it must have frontage on and will directly access an improved public street. A variance is needed in order to meet this requirement.

Because the street is not constructed up to the property line there is not lot frontage on an improved street making this a non-conforming lot. There are a significant number of acres of wetland in this area, and because of this Erkium Street is not expected to continue further North. Therefore, the development of this parcel and extension of the driveway into the ROW to connect to the roadway is likely not blocking any future development.

Zoning

This site is guided for Agriculture and is zoned A-2 which is Rural Estate-Agriculture. "The purpose of the A-2 District is to provide suitable areas of the City to be retained and utilized for agricultural uses, un-sewered residential in a rural pattern, and open space, and to prevent rapid urbanization and provide economy in public expenditures." (10-42-01) The proposed use of a single family detached home fits into this district as a permitted with standards use.



Comprehensive Plan

The future land use plan has this parcel classified as Agriculture due to the prime agricultural soils in this area. Due to the nature of this site as primarily a wetland area there is not significant potential for agriculture. With the Comprehensive Plan's discussion of agricultural areas, the important role of areas classified as agricultural for the protection of other natural resources such as wetlands is also recognized. The proposed use fits into the intended character of this classification because it is unlikely it could be used for agricultural purposes due to the wetlands and construction of a home at this site contributes to the preservation of the surrounding wetland area.

Lot Dimensions

For lots in the A-2 district the minimum is 10 acres. The lot in question is 40.5 acres and so meets this requirement. The lot width minimum for areas zoned A-2 is 300 ft, this lot is 1,326.55 ft and so meets this requirement.

Setbacks

The setbacks required for parcels zoned A-2 are as follows:

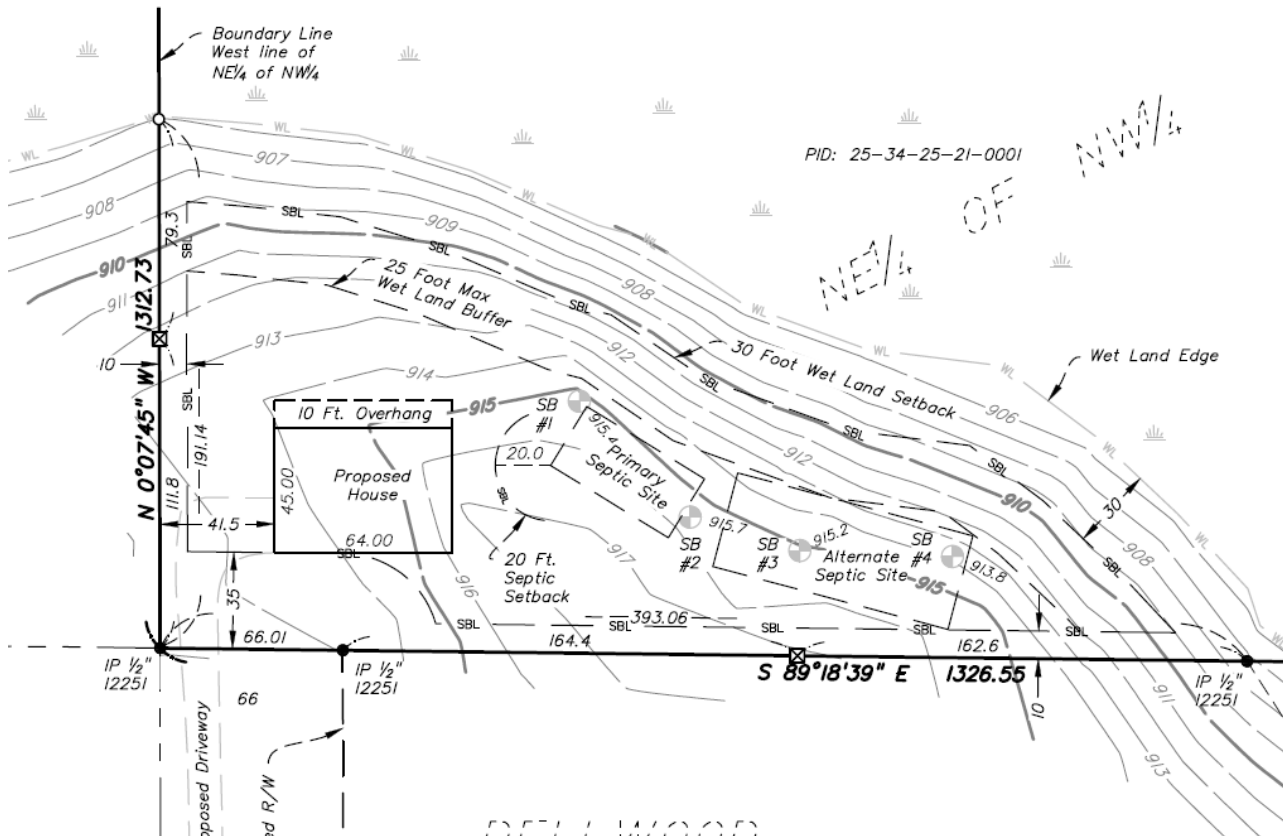
- 75 ft. from collector/arterial streets:
 - The proposed building is more than 75 ft from collector/arterial streets.
- 35 ft. from local streets:
 - The proposed building is 35 ft from the property line and, due to the non-conforming lot's lack of access to an improved roadway, approximately 300 ft from a local street.
- 10 ft. from side:
 - The proposed building is 41.5 ft at the closest point along the West side.
- 35 ft. from rear:
 - The proposed building is significantly more than 35 ft from the rear property line.
- 3 stories or 35 ft. whichever is less:
 - The height of the home is not listed but must be at or under these requirements.

Use Specific Standards

The proposed use as a single-family home meets the standards of the use specific section of the code of ordinances. As a condition of approval, the home construction must meet the use specific standards for roofing materials and follow the requirements of the State Building Code.

Wetlands

A building setback of 30 ft from the delineated edge of all wetlands is required, along with a minimum buffer width of 25 ft for high priority wetlands. The proposed site design meets this requirement as the proposed house, primary septic, and alternate septic sites are all over 55 ft from the edge of the wetland as shown in the provided survey Exhibit. An official wetland delineation report should be conducted to confirm these setbacks do to the proximity of proposed structure. In addition, for the buffer strip vegetation should be established to further protect the wetland if it does not already exist, native vegetation is recommended.



RECOMMENDATIONS

Staff recommends the following:

1. Staff recommends approval of the variance to section 10.15-05 Non-conforming Lots A. 4. to allow for the construction of a single family home without frontage on an improved public street on the property at XXX Erkium St with conditions and noted findings of fact.

Conditions of Approval

1. The applicant shall enter into a agreement with the City to allow for a private driveway within the public ROW.
2. The final building plan must follow the use specific standards:
 - a. Roof must be constructed of earth, composition, metal, shingles or tiled and have at least 3/12 roof pitch with a 1 ft overhang
 - b. State Building Code
3. Building height must be at or under 35 ft or 3 Stories, whichever is less.
4. A wetland delineation report must be conducted to determine the exact location of the bounds of the wetland to ensure that the proposed structures are adequately setback from the wetland edge.

The above recommendations are supported by the following findings of fact are applicable to both areas of variance:

1. The proposed use fits in with existing permitted with standards uses making it in harmony with the general purposes and intent of the ordinance.
2. The proposed use of single-family residential home is consistent with the comprehensive plan.
3. *Reasonableness*: The intended use of the property as a single-family home is a reasonable way for the property owner to want to use their property. The proposed construction is modest in scale and meets other requirements particular to the property. The property owner proposes to use the property in a reasonable manner.
4. *Uniqueness*: The condition that has led to the request for a variance was a pre-existing condition of the property and was not created by the property owner. The circumstances of the lack of ROW frontage and lack of access to an improved road are unique to this property.
5. *Essential Character*: The granting of this variance will create conditions that allow the property owner to improve the property for a rural residential use that is consistent with the existing character of the area and does not alter the essential character of the neighborhood.
6. The variance involves a use that is allowed a permitted with standards use within the A-2 zoning district.

ACTION TO BE CONSIDERED:

After the public hearing and discussion, the Planning Commission could take one of the following actions:

1. Recommend approval with the conditions and findings of fact as presented by Staff.
2. Recommend denial with findings of fact as presented by Staff.
3. Table the request to the next Planning Commission meeting and provide direction to Staff and the applicant as to the additional information needed.

Suggested Motion:

Move to recommend approval of the Baldwin site plan and Variance Request with conditions and findings of fact as presented by Staff.

Attachments:

1. Applicant Submittals

PERMIT APPLICATION QUESTIONS (CONTINUED)

Describe any physical or hydraulic impacts this project will have on water resources. Will the project involve the alteration of any surface?

NO

Provide an estimate of the acreage to be graded or excavated and the amount of soil to be moved. Describe any steep slopes, or highly erodible soils and what measures will be used to minimize erosion.

2-3 acres excavated for driveway, new construction and septic area proposed

Is this project in proximity to designated parks, trails, recreation areas, wildlife preserves or other unique resources?

Wetlands

Provide any additional information that would be helpful for the Planning Commission when reviewing this application.

Does the request meet the criteria identified in City Code?

Yes

APPLICATION SUBMISSION MATERIALS

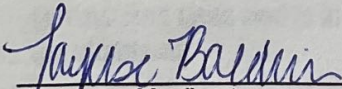
Survey, site plan, and development plans. One electronic and (1) set of large scaled drawings. Additional sizes and copies may be requested and required by the City for application completion. The following information must be included:

- ☐ Map or plat showing the lands proposed for the conditional use permit and all land within 350 feet of the boundaries of the property.
- ☒ Certified survey of the property showing all property lines, topography, existing and proposed structures (including dimensions and distances to property lines and other buildings), existing streets, alley, private roads, and fire lanes and easements.
- ☐ Access points, driveways, and parking areas including striping and number of spaces.
- ☐ Landscaping and ground cover including existing to be retained, existing to be removed, and proposed – all identified by size, type species, and quantity.
- ☐ Grading, drainage, and stormwater plans with existing and proposed topography prepared by a professional civil engineer registered in the state and adopted.
- ☐ Utility plans prescribing locations for city water, sewer, fire hydrants, manholes, power, telephone, and cable lines, natural gas mains, and other service facilities prepared by a professional civil engineer registered in the state and adopted.
- ☐ General floor plans and elevations for all existing and proposed structures.
- ☐ Proposed signage.
- ☐ Site lighting.
- ☐ A legend identifying the legal description, size of parcel, use(s) and square footage, number of units and density of residential, building height, floor area ratio, ground floor area ratio, impervious surface ratio, setbacks on all sides, graphic scale, north point, and usable open space.

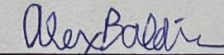
Application fees and expenses: by signing this application form, the applicant agrees that all fees and expenses incurred by the City for the processing of this application, including costs for professional services, are the responsibility of the property owner to be paid immediately upon receipt or the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes 429.081 as amended. All fees and expenses are due whether the application is approved or denied or withdrawn. Escrow fees collected at the time of application may not cover actual expenses, any additional fees will be billed.

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge. I further understand that the IUP application will be processed in accordance with the established City review procedures and Minnesota Statutes 15.99 as amended, at such times as it is determined to be complete. Pursuant to Minnesota Statutes 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as required by the City may be cause for denying this application.

This application must be signed by all owners of the subject property or an explanation given why this is not the case. *We, the undersigned, have read and understand the above.*


Signature of Applicant

4-21-22
Date


Signature of Applicant

4-21-22
Date

Signature of Owner (if different than Applicant) Date

APPLICATION FOR CONDITIONAL USE PERMIT (CUP), INTERIM USE PERMIT (IUP) AND VARIANCE

Requirements, Process and Application Packet

In order to mitigate potential impacts on surrounding areas or neighborhoods, certain land uses require the approval of a conditional use permit, interim use permit or variance.

Conditional Use Permit (CUP) – City Code 10-33-00

The purpose of a conditional use permit is to provide the City with a reasonable degree of discretion in determining the suitability of certain designated uses upon the general welfare, public health and safety. A conditional use is a use which because of certain characteristics cannot be properly classified as a permitted use in the zoning district within which it is proposed. Conditional use permits are designed to meet the problem which arises where certain, although generally compatible with the basic use classification of a particular zone, should not be permitted to be located as a matter of right in every area included within the zone because of hazards inherent in the use itself or special problems which its proposed location may present. In making this determination whether or not the conditional use is to be allowed, the City may consider the nature of the adjoining land or buildings, the effect upon traffic into and from the premises, or on any adjoining streets, and all other or further factors as the City shall deem a prerequisite of consideration in determining the effect of the use on the general welfare, public health and safety.

Interim Use Permit (IUP) – City Code 10-34-00

The purpose and intent of allowing interim uses is: to allow a use for a temporary period of time until a permanent location is obtained or while the permanent location is under construction; to allow a use that is presently judged acceptable by the City Council, but that with anticipated development or redevelopment, will not be acceptable in the future or will be replaced in the future by a permitted or conditional use allowed within the respective district to allow a use which is reflective of anticipated long-range change to an area and which is in compliance with the Comprehensive Plan provided that said use maintain harmony and compatibility with surrounding uses and is in keeping with the architectural character and design standards of existing uses and development.

Variance– City Code 10-35-00

The purpose of a variance is to provide for deviations from the literal provision of this Ordinance in instances where their strict enforcement would cause practical difficulties because of circumstances unique to the individual property under consideration, and to grant such variances only when it is demonstrated that such actions would be in keeping the spirit and intent of this Ordinance.

General Information & Process Regarding Permits

- The application process must be completed.
- Completing the application process does not guarantee approval.
- Land Use permits are recorded against the property.
- Permits will be considered abandoned in the event the condition or use is discontinued by non-use for six (6) months after notice from the City.
- The permit application will be reviewed by the Community Development Department and presented to the Planning Commission at a public hearing. The Planning Commission will make a recommendation of approval or denial to the City Council along with conditions.

The Application Schedule is available online and at City Hall upon request. The Application schedule identifies the meeting schedule for Planning Commission and Council.

State statutes provides up to 120 days for the review of complete application, but the City will strive to finalize your request as quickly as possible. Please note that missing application due date and meeting dates or submitting an incomplete application WILL result in the review of the request being delayed. All City Council meeting dates are estimated as it is City policy that issues be resolved and plans be revised as may be needed prior to Council consideration.

Right of Entry:

By signing this application, applicant is agreeing to right-of-entry stating that the City and its offers have permission to enter the land for purpose of determining compliance with all applicable condition imposed in the permit.

 City of
St. Francis
23340 Cree Street NW, St. Francis, MN 55070

Community Development
Department Phone: 763.753.2630

Application Date:	4-21-22
Fee: 350	Escrow: 2000

PERMIT APPLICATION

PERMIT YOU ARE REQUESTING: ☐ CONDITIONAL USE ☐ INTERIM USE ☒ VARIANCE

PROPERTY INFORMATION: If multiple properties, attach separate sheet	PROJECT ADDRESS: XXX Erkiun Street, St. Francis MN		
	LEGAL DESCRIPTION: (Attach if necessary) The NE 1/4 of NW 1/4 of Sec 25 TWP 34 RGE 25. SUB TO EASE OF REC	ZONING DISTRICT: A2	
	LOT SIZE: 40 acres		
	PROPERTY ADDRESS: XXX Erkiun Street, St. Francis MN		
OWNER INFORMATION:	NAME: Bradd Soutor		
	ADDRESS: 3479 Parkers Dr		
	CITY: Woodbury	STATE: MN	ZIP: 55125
	PHONE: 651-303-7004	EMAIL: b.soutor@gmail.com	
APPLICANT:	NAME: Tayllor & AJ Baldwin		PHONE: 763/412-0529 612-207-7115
REASON FOR REQUEST:	<p>Existing use of the property?</p> <p>Vacant lot 40 acre parcel</p> <p>Description of the proposed use of the property the requires the application of a CUP, IUP or variance?</p> <p>Single family home</p> <p>Hours of operation, including dates, times (if applicable)?</p> <p>N/A</p> <p>Duration of the proposed use? N/A</p> <p>Date or event that will terminate the use? N/A</p>		

Questions continued on next page...

Site Exhibit
for
Tayllor Steinmetz
Part of Northeast Quarter of Northwest Quarter
Section 25, Township 34, Range 25
City of St. Francis, Anoka County, Minnesota

SURVEY NOTES:

1. No search for recorded or unrecorded easements or restrictions was made by the surveyor.
2. The purpose of this survey was to investigate the buildable area in the southwest corner of the NE $\frac{1}{4}$ of the NW $\frac{1}{4}$. Not all site improvements and encumbrances are shown and this is not a full boundary survey.



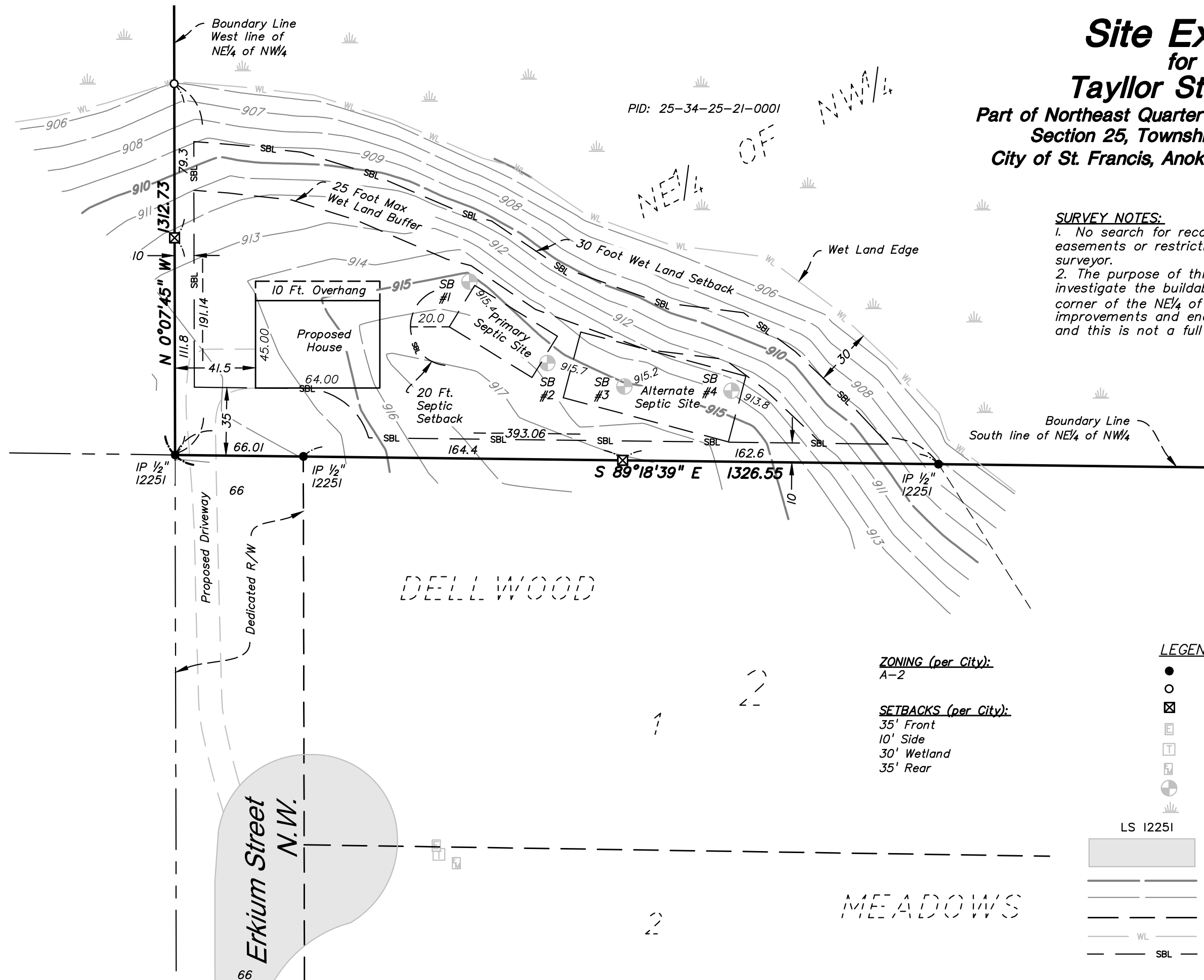
0 50
SCALE: 1" = 50'

LEGEND:

- Denotes found iron monument
- Denotes set iron monument
- ⊠ Denotes set lath
- ⌚ Denotes electrical cabinet
- ⌚ Denotes telephone pedestal
- ⌚ Denotes electric meter
- ⊕ Denotes soil boring
- ⌚ Denotes wet land interior
- LS I2251 Denotes Jeffrey N. Caine, LS
- ▬ Denotes bituminous surface
- ▬ Denotes major contour
- ▬ Denotes minor contour
- ▬ Denotes existing adjoiners
- WL Denotes wet land perimeter
- SBL Denotes building setback line

ZONING (per City):
A-2

SETBACKS (per City):
35' Front
10' Side
30' Wetland
35' Rear



**BOGART, PEDERSON
& ASSOCIATES, INC.**
LAND SURVEYING
CIVIL ENGINEERING
MAPPING
13076 FIRST STREET, BECKER, MN 55308-9322
TEL: 763-262-8822 FAX: 763-262-8844

Site Exhibit
Tayllor Steinmetz
Sec. 25, Twp. 34, Rng. 25
Anoka County, Minnesota

DATE: 4/14/22
DESIGN BY: D
DRAWN BY: D
CHECKED BY: Sketch
DWG FILE: 22-012
FILE NO.: 22-012

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
Signed: Craig A. Wensmann
Date: 4/14/22 Lic. No. 47466

Parcel

Tax Year: 2022
Active/Inactive: Active
Property Address: UNASSIGNED SITUS
City State Zip: ST. FRANCIS MN 00000
Multiple Addresses: No
NBHD: SF02 -
Class: 111 – 2b RURAL VACANT LAND
Record Type: **ABSTR**
Property Use Code: 1202 – RURAL VAC LAND 2B BARE LAND (34.5 OR MOR
Acres 40
Lot Size
Plat -
Lot/Unit
Block/Tract/Outlot
Sect-Twp-Range-Qtr/Qtr 25 - 34 - 25 - 21
Tax District: 71 - 43015-
Town/City 1600-STFRANCIS
School District: 0015-STFRANS15
Commissioner District: 01 – Matt Look
TIF Project #: -
DNR Water Ind: N – NONE
Resd Year Built:
Comm Year Built:

Current Owner

Name: SOUTOR BRADD G

In Care Of:
Owner Address: 3479 PARKERS DR
City State Zip: WOODBURY MN 55125
% Owned: 100%
Owner Type Code 1: O – OWNER

All Owners

Ownership Type	Name	Address
O – OWNER	SOUTOR BRADD G	3479 PARKERS DR WOODBURY MN 55125

Parcel Status

Delinquent No
In Redemption No

Forfeiture Parcel	No
Payment Contract	No
In Bankruptcy	No
Homestead	No
Relative	None
Senior Deferral	No
Use Program	None
Petition Date	
MH Park Name	
MH Pad #	

Legal

Legal	THE NE1/4 OF NW1/4 OF SEC 25 TWP 34 RGE 25, SUBJ TO EASE OF REC
-------	---

Legal Description	THE NE1/4 OF NW1/4 OF SEC 25 TWP 34 RGE 25, SUBJ TO EASE OF REC
-------------------	--

BILL OF SALE

FOR VALUABLE CONSIDERATION,
Bradd G. Soutor and Mary Elizabeth Soutor, seller (whether one or more) hereby sells and conveys to

Alex Baldwin and Tayllor Baldwin, buyer (whether one or more) the following personal property located at: XXX Erkium Street, Saint Francis, MN 55070

As per the purchase agreement.

subject to the following liens, claims and/or encumbrances:

None

Seller agrees that Seller is the owner of the personal property described above, that the personal property is free from all encumbrances (except as listed above) and that Seller has the right to sell and convey the personal property to Buyer. Seller agrees to warrant and defend the sale of the personal property to Buyer against any and all person(s) who claim title to the personal property described above, subject only to the encumbrances listed above. This Bill of Sale shall bind the Seller and benefit the Buyer and their successors and assigns.

Dated: April 22, 2022

SELLER: [Signature]

Bradd G. Soutor

[Signature]
Mary Elizabeth Soutor

State of MN

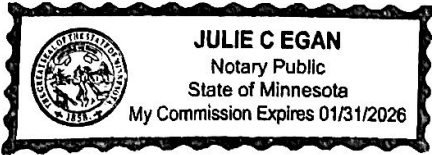
County of Washington

This instrument was acknowledged before me on April 22, 2022 by Bradd G. Soutor and Mary Elizabeth Soutor.

[Signature]
Signature of Notarial Officer

Notary
Title and Rank

My Commission Expires: 01/31/2026



THIS INSTRUMENT WAS DRAFTED BY:

GCS Title
1915 Plaza Drive, Suite 100
Eagan, MN 55122

Client Name: THYLO STEINMETZ
 Project Name: BUILDABILITY

Bogart Pederson & Associates, Inc.

LOG OF SOIL BORINGS

Project Location: ST. FARNS
 County: ANKA

Date April 11, 2022

Project Number: 22-0126-00
 Soil Technician: MAGB

Reg No: 44852

BORING #	Depth (in.)	Matrix Color	Mottle Color	Soil Texture	Soil Structure	Description
1	- NW 1/4 Primaty, UPLAND woods, MAPPED Nyc -Ny more loamy sand					AUGER TYPE: 3"
0" - 6"	10y122/1	-		Loamy SAND	Granular	
6" - 24"	10y123/4	-		Loamy SAND	Granular	} 1.2 GPD / FT ²
24" - 44"	10y123/4	-		SAND	Sci Grain	
44" - 55"	10y123/4	-		Loam	Granular	
55" - 60"	7.5y124/4	7.5y124/4		Loam	Granular	REDOX @ 55" FAINT
ELEVATION =	915.4'					
REDOX ELEVATION =	910.8'					

Additional Remarks:

BORING #	Depth (in.)	Matrix Color	Mottle Color	Soil Texture	Soil Structure	Description
2	- SE 1/4 Primaty, UPLAND woods, MAPPED Nyc -Ny more loamy sand					AUGER TYPE: 3"
0" - 6"	10y122/1	-		Loamy SAND	Granular	
6" - 22"	10y123/4	-		Loamy SAND	Granular	TOP 9" = MIX OF TOPSOIL, SUBSOIL
22" - 30"	10y123/4	-		SAND	Sci Grain	
30" - 50"	10y124/4	-		SAND	Sci Grain	REFUSIL @ 50" - 1% GAVEL/ROCK FRAGMENTS.
ELEVATION =	915.7'					N/O REDOX
REDOX ELEVATION =	911.5'					1.2 GPD / FT ²

Additional Remarks:

Bogart Pederson & Associates, Inc.

Date April 11, 2022

LOG OF SOIL BORINGS

Client Name: TAYLOR STEINMETZ

Project Location: ST FRANCIS

County: ANOKA

Project Number: 220126-00

Soil Technician: MATTHEW

Reg No: C4952

BORING # 3 - WILEY ALTERNATE, UPLAND WOODS, MAPED NYC NYMORE LOAMY SAND					AUGER TYPE: 3"
Depth (in.)	Matrix Color	Mottle Color	Soil Texture	Soil Structure	Description
0"-3"	10YR 2/1	—	LOAMY SAND	GRANULAR	1.2 GPD / FT ²
3"-6"	10YR 3/3	—	LOAMY SAND	GRANULAR	
6"-17"	10YR 3/4	—	LOAMY SAND	GRANULAR	
17"-30"	10YR 2.5/4	—	SAND	SGR GRAIN	17% GRAVEL
30" - 50"	10YR 3/4	—	LOAMY GRASS SAND	GRANULAR	50% ROCK GRAVEL
50" - 57"	10YR 4/4	10YR 4/6	LOAMY	BLOCKY	MOISTURE @ 44"
ELEVATION =	915.2'				Redox @ 52' FAINT
Redox ELEVATION =	910.8'				

Additional Remarks:

BORING #	4	WILEY ALTERNATE, UPLAND WOODS, MAPED NYC NYMORE LOAMY SAND			AUGER TYPE: 3"
Depth (in.)	Matrix Color	Mottle Color	Soil Texture	Soil Structure	Description
0"-3"	10YR 2/1	—	LOAMY SAND	GRANULAR	
3"-8"	10YR 2.5/3	—	LOAMY SAND	GRANULAR	
8"-24"	10YR 2.5/4	—	LOAMY SAND	GRANULAR	
24"-36"	10YR 2.5/4	—	COARSE SAND	SGR GRAIN	10% ROCK FRAGMENTS
36"-42"	10YR 2.5/3	10YR 4/6	SANDY LOAM	BLOCKY	Refused @ 42"
			or LOAM		
ELEVATION =	913.8'				Redox @ 38"
RED-OX ELEVATION =	910.6'				

Additional Remarks:

Anoka County, Minnesota

NyC—Nymore loamy sand, 6 to 12 percent slopes

Map Unit Setting

National map unit symbol: f90x

Elevation: 840 to 950 feet

Mean annual precipitation: 25 to 34 inches

Mean annual air temperature: 37 to 46 degrees F

Frost-free period: 120 to 180 days

Farmland classification: Not prime farmland

Map Unit Composition

Nymore and similar soils: 95 percent

Minor components: 5 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Nymore

Setting

Landform: Stream terraces

Landform position (two-dimensional): Backslope

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Outwash

Typical profile

A - 0 to 7 inches: loamy sand

Bw - 7 to 26 inches: loamy sand

C - 26 to 60 inches: sand

Properties and qualities

Slope: 6 to 12 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Excessively drained

Capacity of the most limiting layer to transmit water (Ksat): High to very high (5.95 to 19.98 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Low (about 3.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 6s

Hydrologic Soil Group: A

Forage suitability group: Sandy (G091XN022MN)

Other vegetative classification: Sandy (G091XN022MN)

Hydric soil rating: No



PLANNING COMMISSION
REPORT

TO: St. Francis Planning Commission

FROM: Beth Richmond, Planner and Brad Scheib, AICP, Planner

SUBJECT: Amendment to City Code Section 10.73.03 General Landscaping and Maintenance

DATE: 5-5-2022 for 5-18-2022 meeting

OVERVIEW:

The City has received a request to amend its City Code, Section 10.73.03 to allow certain features (or clarify what is allowed) in drainage and utility easements.

ANALYSIS:

St Francis currently prohibits fences and tree plantings in utility easements. Staff conducted background research to explore best practices for managing improvements within drainage and utility easements. Our research has found that it is common to allow limited improvements within D&U easements and thus staff is recommending the following code amendments be considered.

Staff will provide additional background information at the meeting.

ACTION TO BE CONSIDERED:

Suggested Motion:

1. Proposed Amendment: Based on our findings, staff recommends the following amendment to Section 10-73-03 of the Zoning Code. The amendment would repeal and replace subpart C of this section as follows.
 - C. Fences and/or tree plantings may be allowed in drainage and utility easements with approval by the City Engineer. Features may be placed in such easements by the owner, at the owner's risk of removal (without compensation) by the City or other agencies that may have legal use of the easement. Such features must not be placed in a manner that prohibits or significantly impacts the public use of the easement for any utility or drainage purpose.



PLANNING COMMISSION AGENDA REPORT

TO: St. Francis Planning Commission

FROM: Beth Richmond, Planner

SUBJECT: Grading Interim Use Permit

DATE: 15-11-22 for 5-18-22 meeting

APPLICANT: Plowe Engineering on behalf of Northrop Grumman

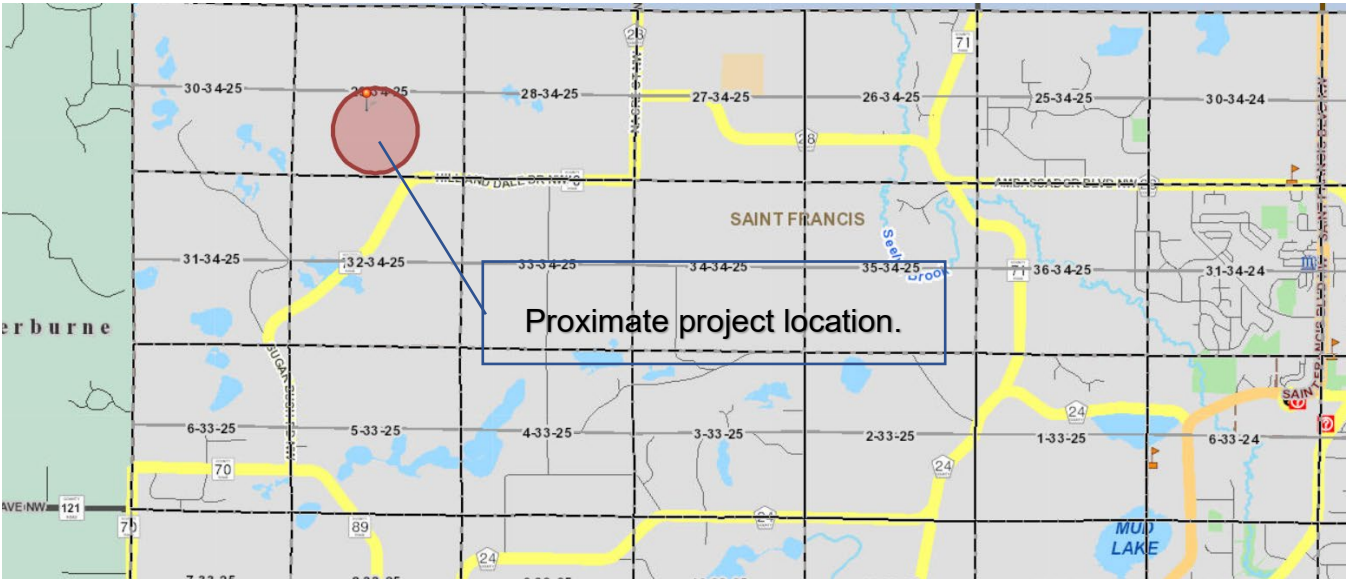
LOCATION: 5500 ft west of Variolile St NW and 1800 feet north of Hill and Dave Drive NW.
RICHARD D. SCHROEDER ADVANCED AMMUNITION SITE

COMP PLAN: Low Intensity Industrial

ZONING: I-2 – Industrial

OVERVIEW:

Northrop Grumman is proposing an update to an existing firing range for ordinance testing. One target is existing (100-meter) and two targets are proposed: one at 200 meters and another at 500 meters. At the firing location, a new building with parking stalls is proposed. An aggregate road will extend down the range for vehicle access to the three targets. Each target has a fire break with an access route (pervious) along the top of it. The improvements are related to current business uses of the site. The improvements include mass grading, grubbing of existing trees, installation of stormwater improvements, wetland impacts and mitigation, building of associated accessory structures, and installation of additional testing ranges and associated drive areas. A public hearing is required as the scale and extent of the site grading on site requires an interim use permit (IUP) per section 10.74 of the zoning code.



ANALYSIS

Detailed grading/drainage/erosion control plans, stormwater report and related civil site plans have been reviewed by the City Engineer. A Wetland Replacement Plan has also been submitted and a review of this is in process. The City Engineer's comments are attached for your review. With the exception of the wetland replacement plan, most of the conditions are technical in nature and will not have a material impact on the project. Based on a preliminary review of wetland impacts and the wetland replacement plan, avoidance of some wetland impacts may result in a shifting of project components. Staff feels there is likely adequate room for this to occur; however, it is recommended that the wetland replacement plan and review of wetland impacts be completed, appropriate responses be evaluated and addressed prior to consideration by the City Council.

The City Engineer recommends approval of the grading plan with noted conditions in the attached engineer review dated 05/11/2022.

ACTION TO BE CONSIDERED:

Staff recommends approval of the IUP as per the conditions 1 through 8 as stipulated within the City Engineer report dated 05/11/2022 and that the review of the Wetland Replacement Plan and wetland impacts be completed and appropriate responses addressed prior to consideration by the City Council.

Suggested Motion: Recommend approval of the Interim Use Permit for Northrop Grumman site grading with conditions as outlined in the City Engineer report dated 05/11/2022 and the added condition that the review of the Wetland Replacement Plan and wetland impacts be completed and appropriate responses addressed prior to consideration by the City Council.

Attachments:

1. City Engineer Report dated 05/11/2022
2. Grading Plan Submittals

MEMORANDUM

TO: Brad Scheib, HKGI

FROM: Shane Nelson, Assistant City Engineer

DATE: May 11, 2022

**RE: Northrup Grumman
Richard D Schroder Advanced Ammunition Site**

We have reviewed the Grading, Drainage & Erosion Control Plan dated April 21, 2022, prepared by Plowe Engineering, and the Stormwater Drainage Report, dated April 21, 2022, prepared by Plowe Engineering for the above-referenced project. We would offer the following:

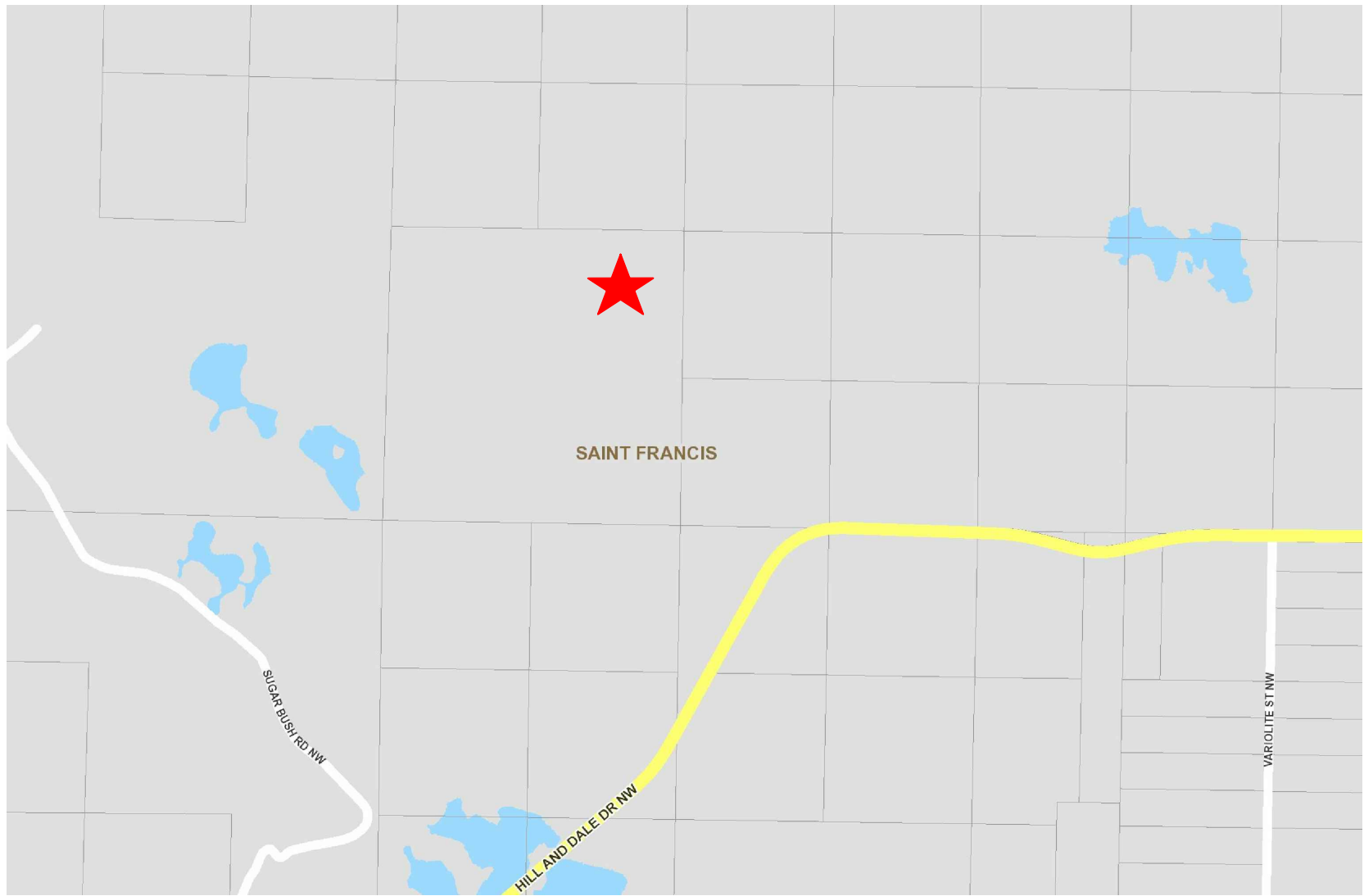
1. The project proposes to fill 21,146 square feet of wetland. A Wetland Replacement Plan has been submitted, however, was found to be incomplete due to required technical components. Any approval is subject to the receipt and approval of a complete Wetland Replacement Plan.
2. Additional silt fence is necessary upgradient of Wetland 6, from station 10+80 to 12+00.
3. Additional silt fence is necessary upgradient of Wetland 7, from station 7+75 to 8+50.
4. The stormwater design assumes "A" type soils, however, no geotechnical information has been received to date. The Applicant shall submit a Geotechnical Report for review.
5. The stormwater report shall be revised to include a Pre vs Post summary of stormwater runoff rates for the 2-year, 10-year, and 100-year rainfall events. As per City and URRWMO requirements, the post development runoff rates may not exceed the pre-development rates.
6. Geotechnical data is required at the location of the proposed infiltration basins. Please submit the Geotechnical Report for review when it is available to allow for a detailed review of the Stormwater Drainage Report and grading design.
7. The NPDES General Stormwater Permit requires that "Permittees must not use mulch, hydromulch, tackifier, polyacrylamide or similar erosion prevention practices within any portion of the normal wetted perimeter of a temporary or permanent drainage ditch or swale section with a continuous slope of greater than 2 percent". It appears that there are some locations in which the erosion control blanket will have to be extended to include the ditch bottoms. Please revise.
8. The stormwater ponds, once constructed, will be a private pond and the landowner will be responsible for the long-term operation and maintenance. In accordance with City ordinances,

the Applicant must enter into a Stormwater Maintenance Agreement with the City to ensure the long-term operation and maintenance. (Section 10-93.5.H)

In summary, we recommend approval contingent upon the Applicant addressing the comments herein and subject to the Applicant revising the Stormwater Drainage Report and/or grading design to the approval of the City Engineer.

RICHARD D. SCHROEDER
ADVANCED AMMUNITION SITE
TITLE SHEET
ST. FRANCIS, ANOKA COUNTY, MINNESOTA

VICINITY MAP (NOT TO SCALE)



AN MPCA NPDES CONSTRUCTION PERMIT IS REQUIRED
PRIOR TO THE START OF CONSTRUCTION

ENGINEER

LOWE ENGINEERING, INC.
6776 LAKE DRIVE
LINO LAKES, MN 55014
ADAM GINKEL, P.E.
651-361-8234
ADAM@LOWE.COM

SURVEYOR

E.G. RUD & SONS LAND
SURVEYING, INC.
6776 LAKE DRIVE
LINO LAKES, MN 55014
MATT DAVICH
651-361-8229
MDAVICH@EGRUD.COM

SHEET INDEX

T1	TITLE SHEET
S1.1	MASS GRADING & DRAINAGE PLAN
S1.2	MASS GRADING & DRAINAGE PLAN
S1.3	EROSION CONTROL PLAN
S1.4	EROSION CONTROL PLAN
C1.1	PRELIMINARY UTILITY PLAN
C2.1	DETAILS
C2.2	DETAILS
C2.3	DETAILS
C3.1	STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
C3.2	STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

LEGEND

WET	DENOTES WETLAND DELINEATED BY GHD
---	DENOTES EXISTING CONTOURS
---	DENOTES PROPOSED CONTOURS
---	DENOTES STORM SEWER PIPE
⊙	DENOTES STORM SEWER MANHOLE
Δ	DENOTES STORM SEWER FLARED-END SECTION
▨	DENOTES RIP-RAP
S	DENOTES SILT FENCE
---	DENOTES REDUNDANT ESC MEASURE (E.G. SECOND ROW OF SILT FENCE, BIOROLLS, ETC.)
●	DENOTES SOIL BORING BY HAUGO GEOTECHNICAL SERVICES
WB	DENOTES WETLAND VEGETATIVE BUFFER
☐	DENOTES WETLAND VEGETATIVE BUFFER SIGNAGE
⊙	DENOTES CATCH BASIN INLET PROTECTION
▨	DENOTES EROSION CONTROL BLANKET



SITE PLANNING
& ENGINEERING
LOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY:	CHECK BY:
AG	CWP
JOB NO:	DATE:
22-2016	04/21/22

NO.	DATE	DESCRIPTION
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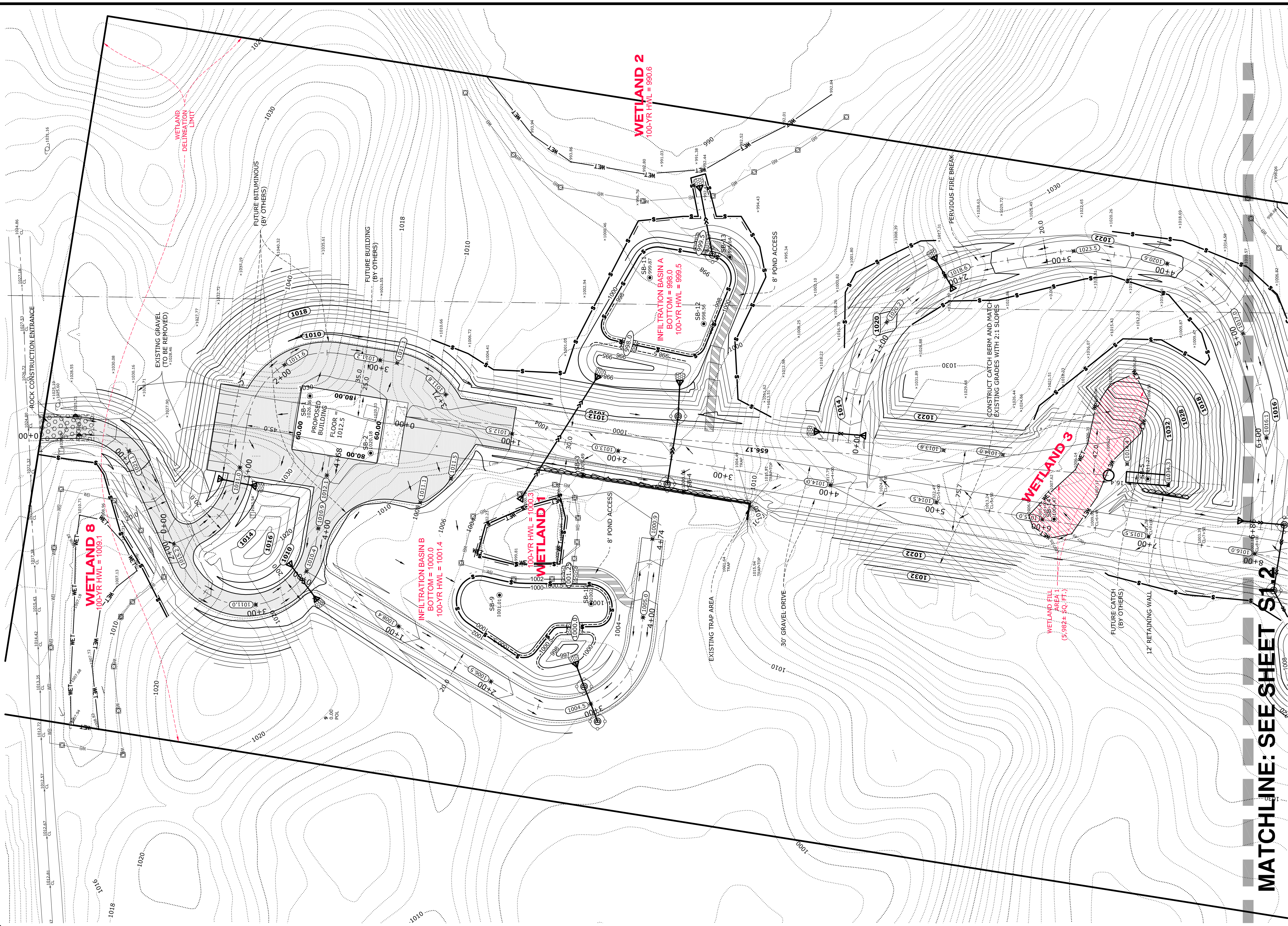
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY
ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM
A DULY LICENSED PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF MINNESOTA
PRELIMINARY
ADAM GINKEL
Date: 04.21.2022 License No. 43903

RICHARD D. SCHROEDER
ADVANCED AMMUNITION SITE
CITY OF ST. FRANCIS, MN
TITLE SHEET
PREPARED FOR: EDWARD FARR ARCHITECTS, INC.

SHEET
T1

MASS GRADING AND SITE PLAN

~for~ NORTHROP GRUMMAN
~of~ RICHARD D SHROEDER ADVANCED AMMUNITION RANGE
ST. FRANCIS, MN



PONDING CALCULATIONS
AND STORM SEWER DESIGN BY
PLOWE ENGINEERING, INC.

PLOWE
ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

I HEREBY CERTIFY THAT THIS PLAN WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A REGISTERED
LICENSED PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF MINNESOTA.

Adam Ginkel
ADAM GINKEL

DATE: 04.21.2022 LIC. NO. 43963

131.1977
www.egrud.com

E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

PROPERTY DESCRIPTION

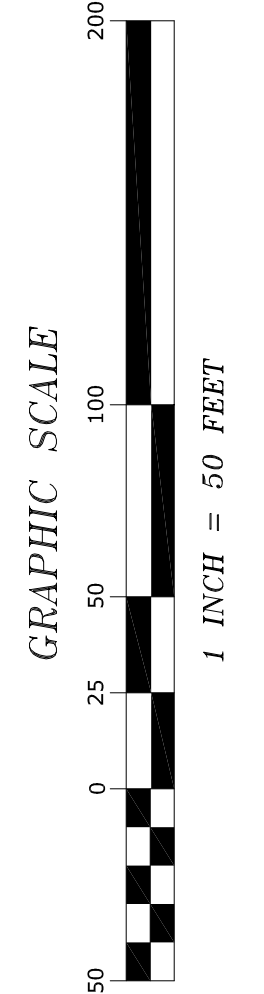
Part of the South Half of Section 29, Township 34, Range 25, Anoka County, Minnesota.

NOTES

- 2 FOOT CONTOUR INTERVAL (NAVD 83)
- 10' SPACING OF CONTOUR LINES
- FINAL BUILDING AND CATCH SITE PLAN BY OTHERS
- SEE PRELIMINARY UTILITY PLAN FOR STORM SEWER RIMS, INVERTS, AND SIZES.
- PROVIDE CLASS III RIPRAP WITH 45 MIL RUBBER MEMBRANE FOR ALL PIPE OUTLETS.
- WETLAND FILL = 21.146± SQ. FT.

I hereby certify that this survey, plan
or report was prepared by me or under
my direct supervision and that I am
a duly Registered Land Surveyor under
the laws of the State of Minnesota.

JASON E. RUD
Date: 04/21/2022 License No. 41578



LEGEND

- DENOTES SOIL BORING BY HAUGO GEOTECHNICAL SERVICES
- DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOURS
- DENOTES WETLAND DELINEATED BY GPH
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES BIO ROLL TO BE INSTALLED INSIDE SILT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES PROPOSED ELEVATION
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER SIGN
- DENOTES RIPRAP W/ 45 MIL RUBBER MEMBRANE (SEE UTILITY PLAN FOR QUANTITIES)
- DENOTES PROPOSED STORM SEWER INLET PROTECTION
- DENOTES 8' POND ACCESS

BENCHMARK

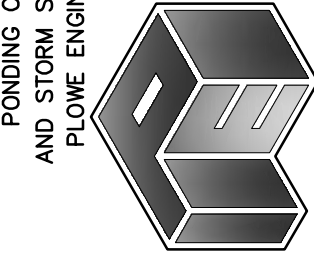
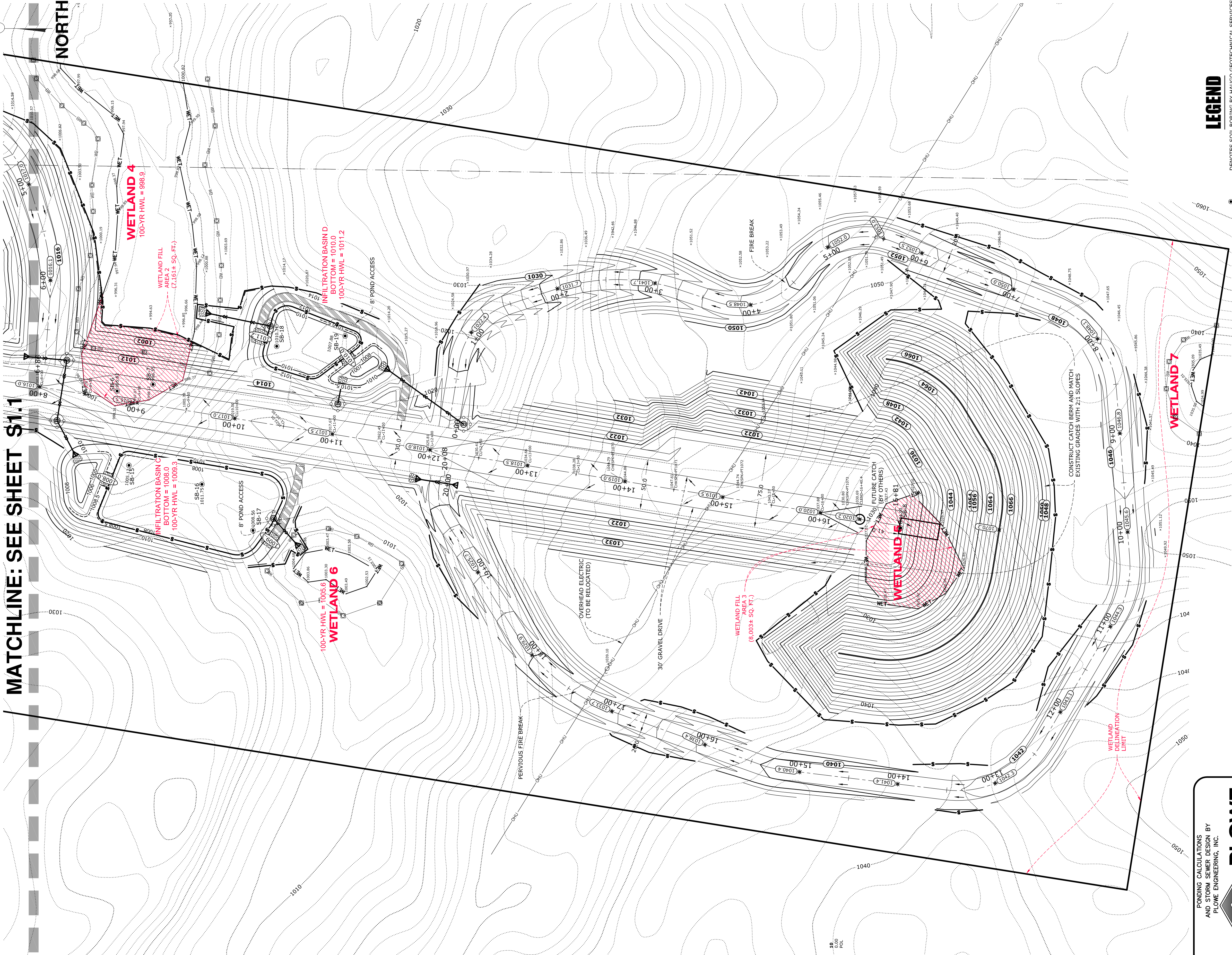
ANOKA COUNTY BENCHMARK #3048
ELEVATION = 966.708 (NAVD83)

DRAWN BY: MMD	JOB NO.: 210217BT	DATE: 04/21/2022
CHECK BY: JER	FIELD CREW:	
1		
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NO.	DATE	DESCRIPTION
BY		

MASS GRADING AND SITE PLAN

~for~ NORTROP GRUMMAN
~of~ RICHARD D SHROEDER ADVANCED AMMUNITION RANGE
ST. FRANCIS, MN

MATCHLINE: SEE SHEET \$1.1



PLOWE
ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

I HEREBY CERTIFY THAT THIS PLAN WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A LICENSED
ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Gnkel
ADAM GNKEL

DATE: 04.21.2022 LIC. NO. 43963



E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

www.egrud.com

PROPERTY DESCRIPTION

Part of the South Half of Section 29, Township 34, Range 25, Anoka County, Minnesota.

NOTES

- 2 FOOT CONTOUR INTERVAL (NAVD 83)
- SEE PRELIMINARY UTILITY PLAN FOR STORM SEWER RIMS, INVERTS, AND SIZES.
- PROVIDE CLASS III RIPRAP WITH 45 MIL RUBBER MEMBRANE FOR ALL PIPE OUTLETS.
- WETLAND FILL = 21,166 ± SQ. FT.

I hereby certify that this survey, plan
or report was prepared by me or under
my direct supervision and that I am
a duly Registered Land Surveyor under
the laws of the State of Minnesota.

Jason E. Rud
JASON E. RUD

Date: 04/21/2022 License No. 41578

LEGEND

DENOTES SOIL BORING BY HAUGO GEOTECHNICAL SERVICES
DENOTES EXISTING 2 FOOT CONTOUR
DENOTES PROPOSED 2 FOOT CONTOURS

DENOTES WETLAND DELINEATED BY GPH

DENOTES PROPOSED STORM SEWER

DENOTES PROPOSED SILT / TREE PROTECTION FENCE

DENOTES BIO ROLL TO BE INSTALLED
INSIDE SILT FENCE ADJACENT TO WETLAND

DENOTES PROPOSED ELEVATION

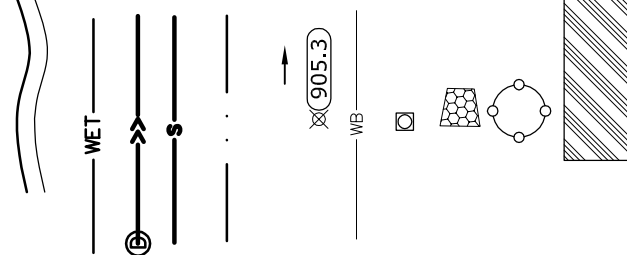
DENOTES WETLAND VEGETATIVE BUFFER

DENOTES WETLAND VEGETATIVE BUFFER SIGN

DENOTES RIPRAP W/ 45 MIL RUBBER MEMBRANE
(SEE UTILITY PLAN FOR QUANTITIES)

DENOTES PROPOSED STORM SEWER INLET PROTECTION

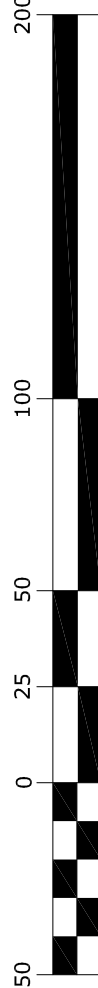
DENOTES 8' POND ACCESS



BENCHMARK

ANOKA COUNTY BENCHMARK #3048
ELEVATION = 966.708 (NAVD83)

GRAPHIC SCALE



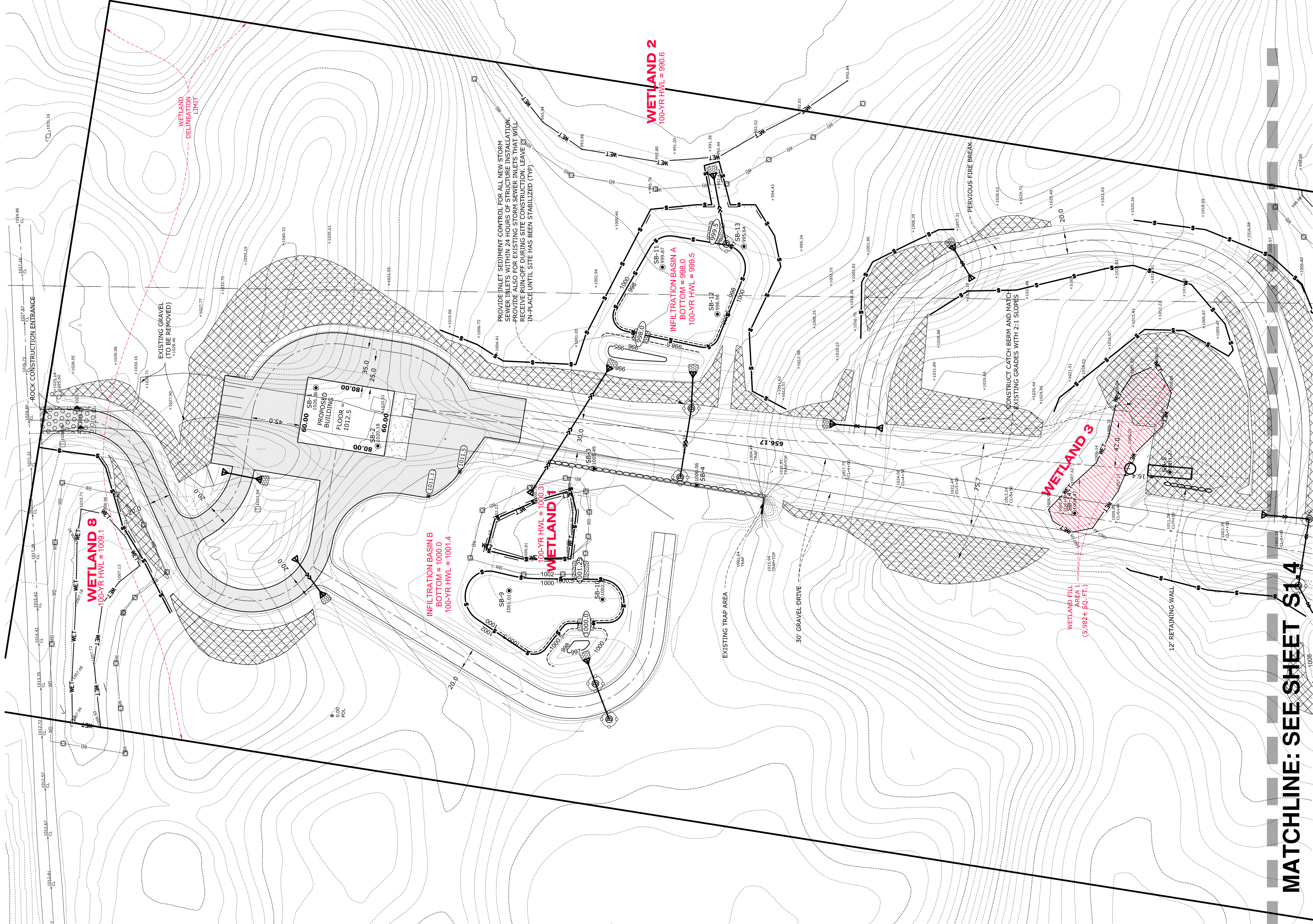
1 INCH = 50 FEET

DRAWN BY:	MMD	JOB NO.:	2102178T	DATE:	04/21/2022
CHECK BY:	JER	FIELD CREW:			

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

EROSION CONTROL PLAN

~for~ NORTHROP GRUMMAN
~of~ RICHARD D SHROEDER ADVANCED AMMUNITION RANGE
ST. FRANCIS, MN



I hereby certify that this survey, plan or map was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
Date: 04/21/2022 License No. 41578

MATCHLINE: SEE SHEET S14

PONDING CALCULATIONS
AND STORM SEWER DESIGN BY
PLOWE ENGINEERING, INC.

PLOWE
ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

SITE PLANNING
& ENGINEERING

I HEREBY CERTIFY THAT THIS PLAN WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED PROFESSIONAL LAND SURVEYOR
UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Gnkel
ADAM GNKEL
DATE: 04.21.2022 LIC. NO. 43963

- ### NOTES
- 3 FOOT CONTOUR INTERVAL (NAVD 83)
 - CONTOURS SHOWN ARE PER MINGO LIDAR DISTRIBUTION AND FIELD VERIFICATION
 - FINAL BUILDING AND CATCH SITE PLAN BY OTHERS
 - SEE PRELIMINARY UTILITY PLAN FOR STORM SEWER RIMS, INVERTS, AND SIZES
 - PIPE CLASS T RIPS WITH 45 MIL RUBBER MEMBRANE FOR ALL PIPE OUTLETS.
 - WETLAND FILL = 21,146 SQ. FT.

EROSION CONTROL / REVEGETATION SPECS.

- PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE.
- ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
- AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE NATIVE TOPSOIL, SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN FOURTEEN DAYS AFTER ROUGH GRADING.
- MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED.
- SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

LEGEND

- DENOTES SOIL BORING BY HAUGO GEOTECHNICAL SERVICES
- DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOURS
- DENOTES WETLAND DELINEATED BY GPH
- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SILT / TREE PROTECTION FENCE
- DENOTES BIO ROLL TO BE INSTALLED INSIDE SILT FENCE ADJACENT TO WETLAND
- DENOTES DIRECTION OF DRAINAGE
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER SIGN
- DENOTES RIPRAP W/ 45 MIL RUBBER MEMBRANE (SEE UTILITY PLAN FOR QUANTITIES)
- DENOTES PROPOSED STORM SEWER INLET PROTECTION
- DENOTES EROSION CONTROL BLANKET



BENCHMARK
ANOKA COUNTY BENCHMARK #3048
ELEVATION = 966.708 (NAVD83)

E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

www.egrud.com

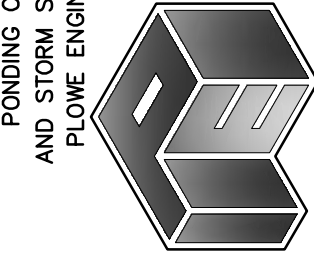
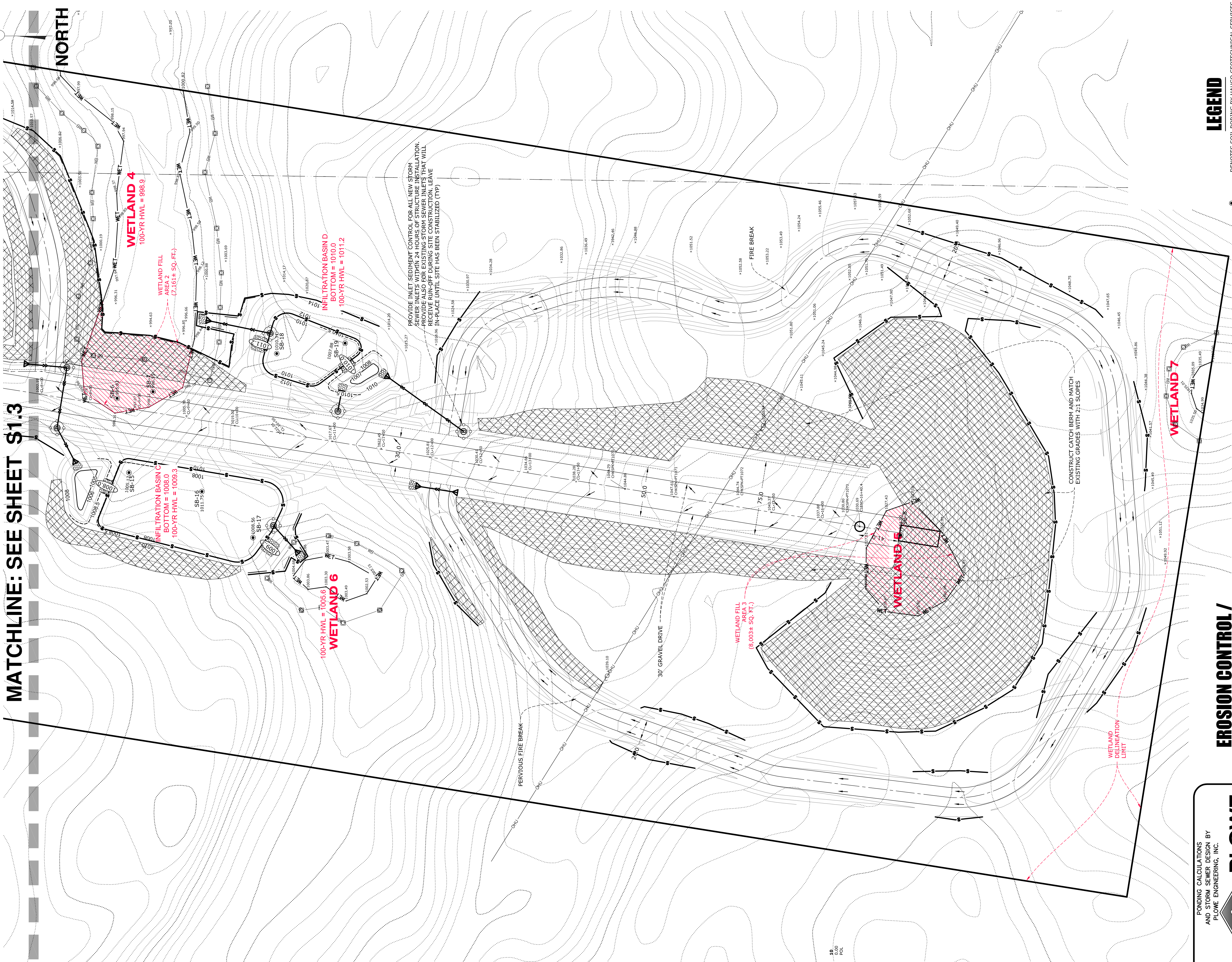
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DRAWN BY: MMD JOB NO.: 21021781 DATE: 04/21/2022
CHECK BY: JER FIELD CREW:

EROSION CONTROL PLAN

~for~ NORTHROP GRUMMAN
~of~ RICHARD D SHROEDER ADVANCED AMMUNITION RANGE
ST. FRANCIS, MN

MATCHLINE: SEE SHEET \$1.3



PLOWE
ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

SITE PLANNING & ENGINEERING
PHONE: (651) 361-8210
FAX: (651) 361-8701

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A PROFESSIONAL LAND SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF MINNESOTA.

Adam Gnkel
ADAM GNKEL

DATE: 04.21.2022 LIC. NO. 43963



E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

EROSION CONTROL / REVEGETATION SPECS.

- PRIOR TO ROUGH GRADING, INSTALL SILT STOP FENCE IN LOCATIONS SHOWN. ADDITIONAL SILT STOP FENCE WILL BE REQUIRED WHERE LOCAL CONDITIONS REQUIRE.
- ANY GRADING SHALL PROCEED ON AN AREA BY AREA BASIS TO MINIMIZE UNCOMPLETED AREAS.
- AS EACH AREA OUTSIDE THE STREET IS GRADED, PROVIDE EROSION CONTROL STRUCTURES WITHIN FOURTEEN DAYS AFTER ROUGH GRADING.
- MAINTAIN AND REPAIR SILT STOP FENCES (INCLUDING REMOVAL OF ACCUMULATED SILT) UNTIL VEGETATION IS ESTABLISHED.
- SEE "STORM WATER POLLUTION PREVENTION PLAN" FOR ADDITIONAL EROSION CONTROL NOTES AND SITE SEQUENCING.

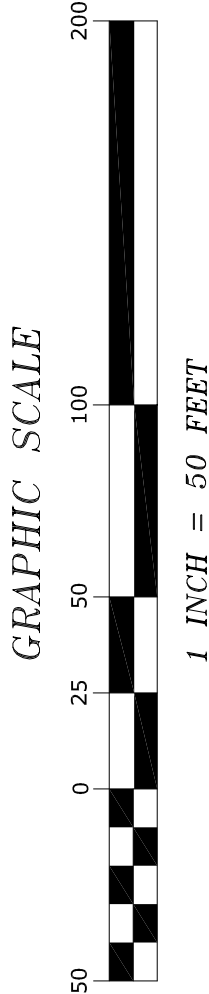
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Jason E. Rud
JASON E. RUD

Date: 04/21/2022 License No. 41578

NOTES

- 2 FOOT CONTOUR INTERVAL (NAVD 88)
- CONTOURS SHOWN ARE PER KINGED LIDAR DISTRIBUTION AND FIELD VERIFICATION
- CONTOUR SPACING IS 10 FEET
- SEE PRELIMINARY UTILITY PLAN FOR STORM SEWER RIMS, INVERTS, AND SIZES.
- PROVIDE CLASS III RIPRAP WITH 45 MIL RUBBER MEMBRANE FOR ALL PIPE OUTLETS.
- WETLAND FILL = 21,146+ SQ. FT.



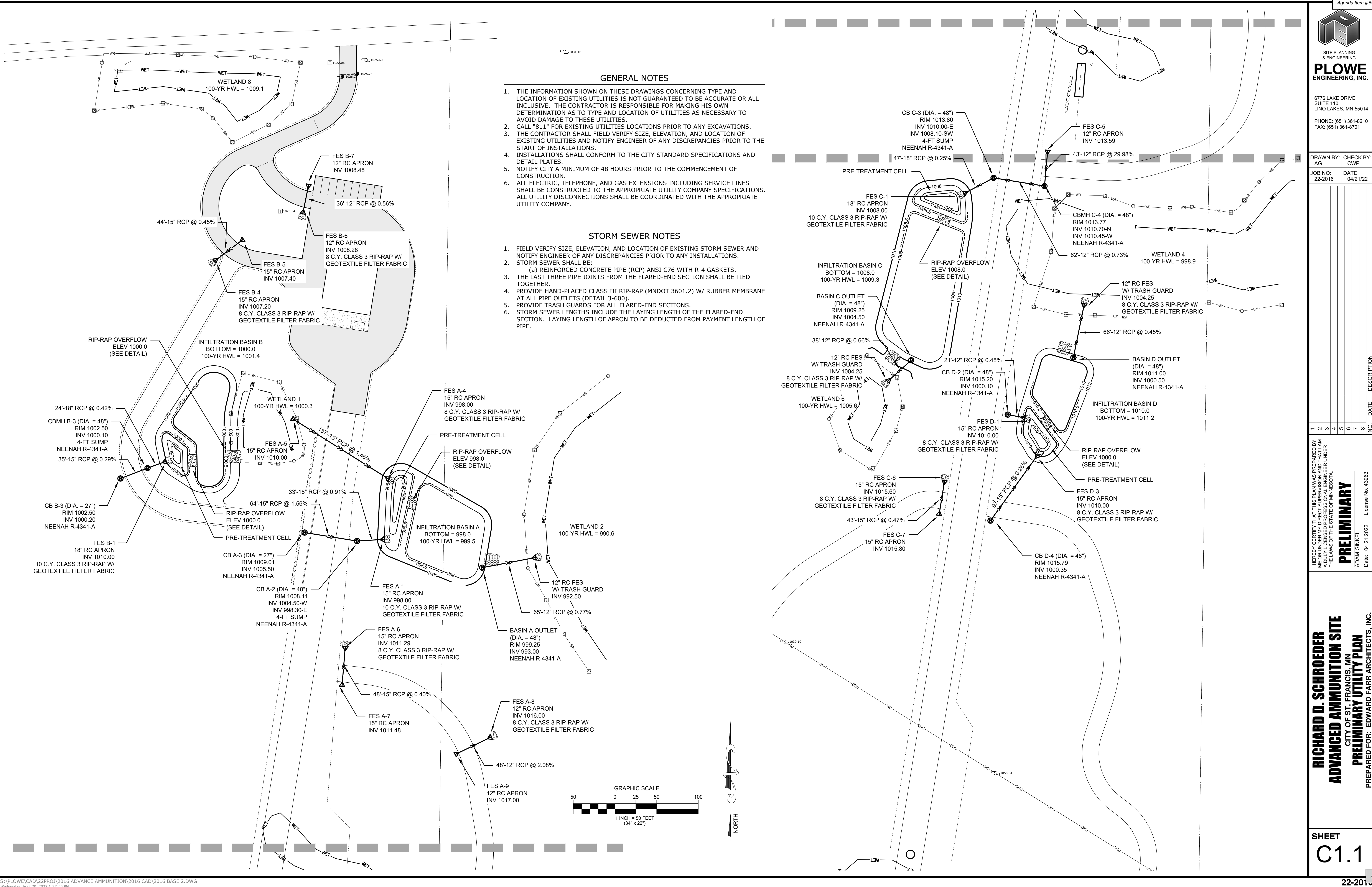
BENCHMARK

ANKA COUNTY BENCHMARK #3048
ELEVATION = 966.708 (NAVD88)

LEGEND

- DENOTES SOIL BORING BY HAUGO GEOTECHNICAL SERVICES
- DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING 2 FOOT CONTOUR
- DENOTES PROPOSED 2 FOOT CONTOURS
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- DENOTES DIRECTION OF DRAINAGE
- DENOTES WETLAND VEGETATIVE BUFFER
- DENOTES WETLAND VEGETATIVE BUFFER SIGN
- DENOTES RIPRAP W/ 45 MIL RUBBER MEMBRANE (SEE UTILITY PLAN FOR QUANTITIES)
- DENOTES PROPOSED STORM SEWER INLET PRETECTION
- DENOTES EROSION CONTROL BLANKET

DRAWN BY: MMD	JOB NO.: 210217BT	DATE: 04/21/2022
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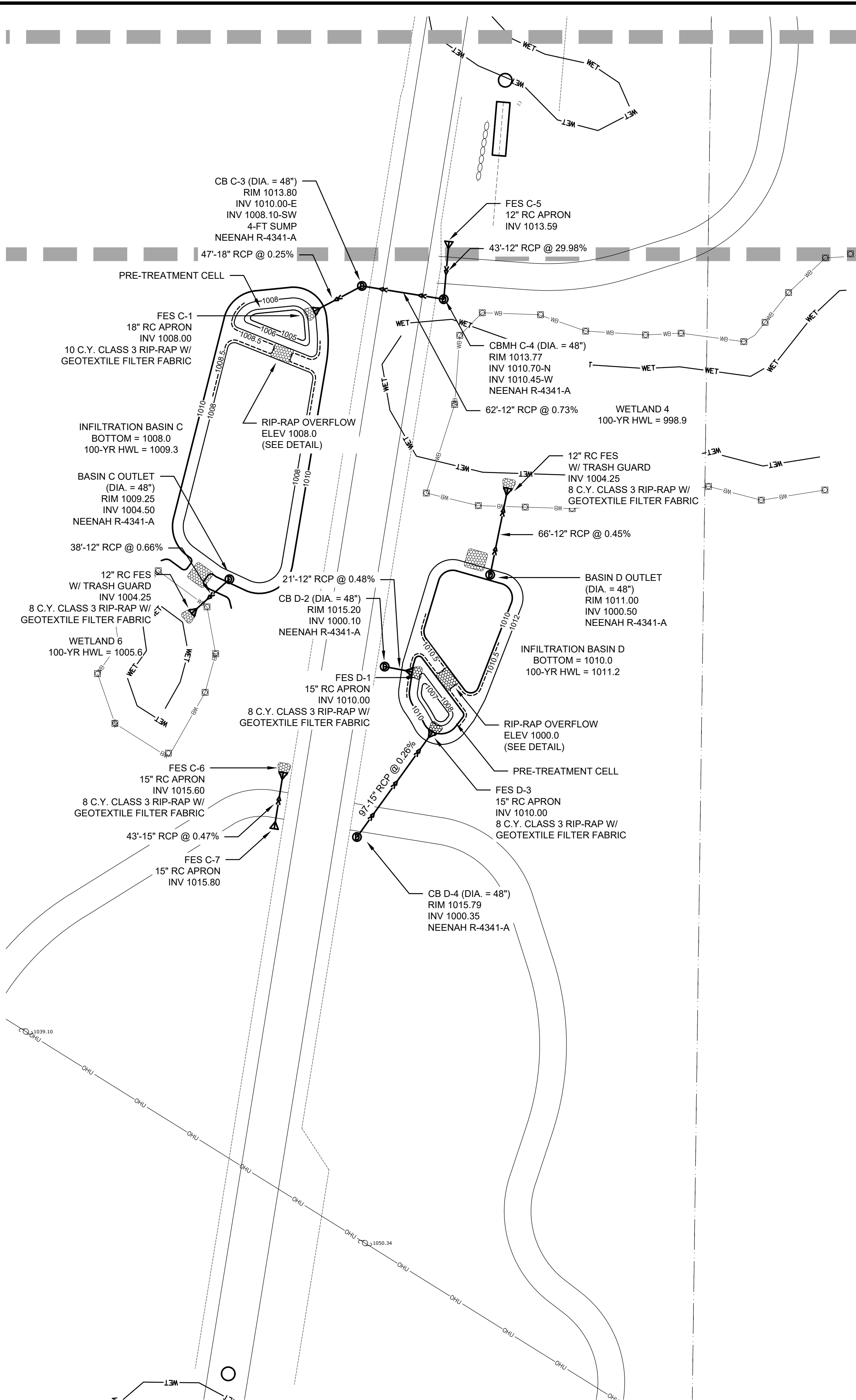


GENERAL NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
2. CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
3. THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
4. INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
5. NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
6. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

STORM SEWER NOTES

1. FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
2. STORM SEWER SHALL BE:
 - (a) REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 GASKETS.
3. THE LAST THREE PIPE JOINTS FROM THE FLARED-END SECTION SHALL BE TIED TOGETHER.
4. PROVIDE HAND-PLACED CLASS III RIP-RAP (MNDOT 3601.2) W/ RUBBER MEMBRANE AT ALL PIPE OUTLETS (DETAIL 3-600).
5. PROVIDE TRASH GUARDS FOR ALL FLARED-END SECTIONS.
6. STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF APRON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.



Agenda Item # 6C.

SITE PLANNING
& ENGINEERING

PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY:
AG

CHECK BY:
CWP

JOB NO:
22-2016

DATE:
04/21/22

NO.	DATE	DESCRIPTION
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1. I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY

ADAM GINKEL

Date: 04.21.2022 License No. 43903

RICHARD D. SCHROEDER

ADVANCED AMMUNITION SITE

CITY OF ST. FRANCIS, MN

PRELIMINARY UTILITY PLAN

PREPARED FOR: EDWARD FARR ARCHITECTS, INC.

SHEET

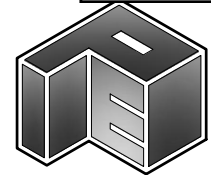
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35

22-2016



SITE PLANNING
& ENGINEERING

PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY:	CHECK BY:
AG	CWP
JOB NO:	DATE:
22-2016	04/21/22

NO.	DATE	DESCRIPTION
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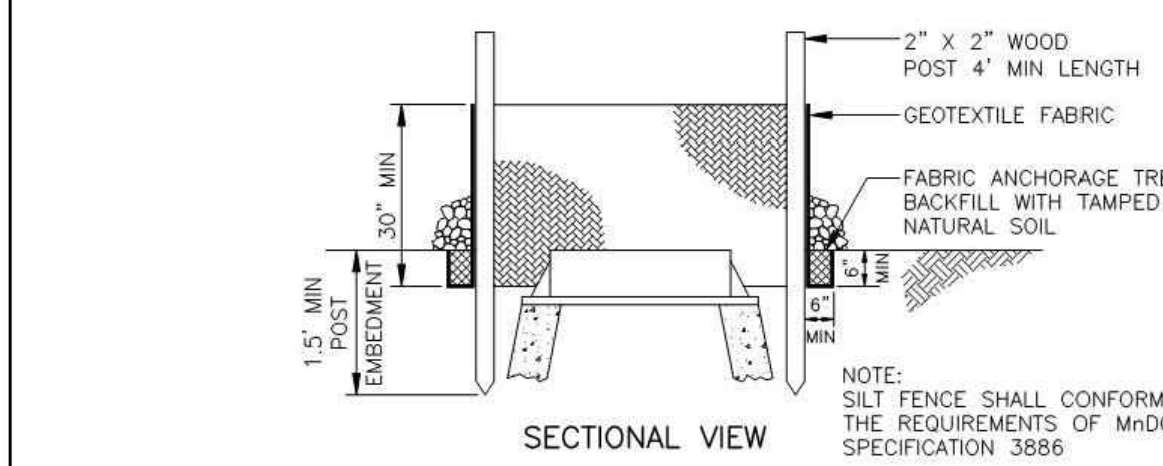
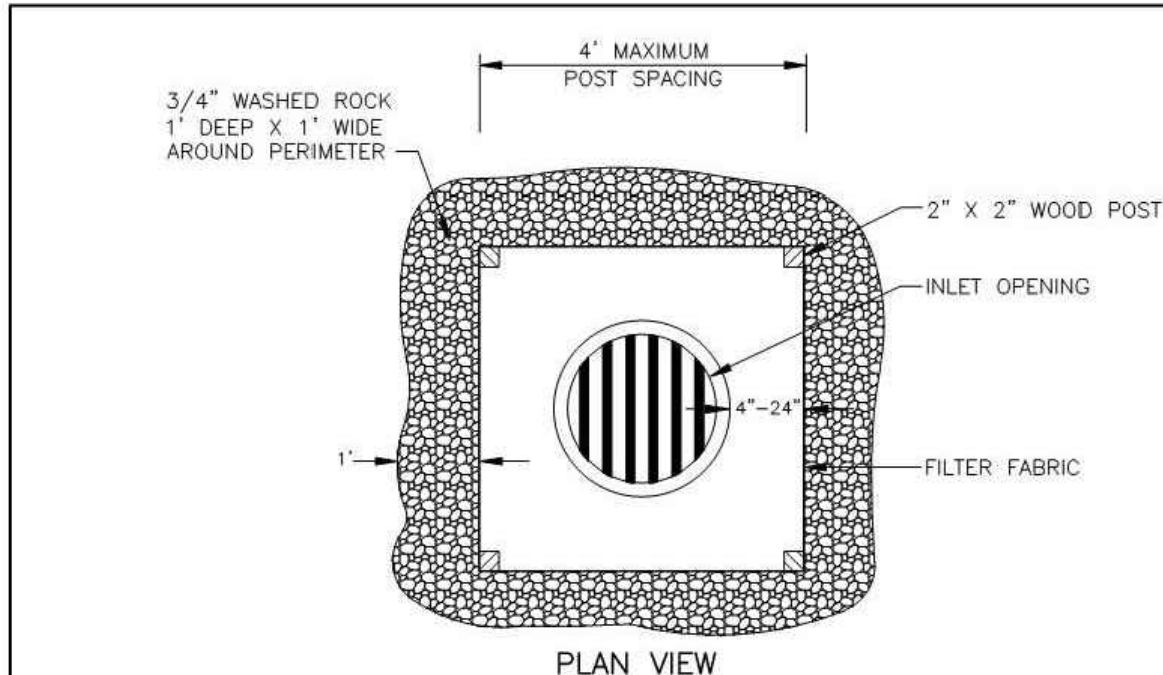
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY

ADAM GINKEL
Date: 04.21.2022 License No. 43903

RICHARD D. SCHROEDER
ADVANCED AMMUNITION SITE
CITY OF ST. FRANCIS, MN
DETAILS
PREPARED FOR: EDWARD FARR ARCHITECTS, INC.

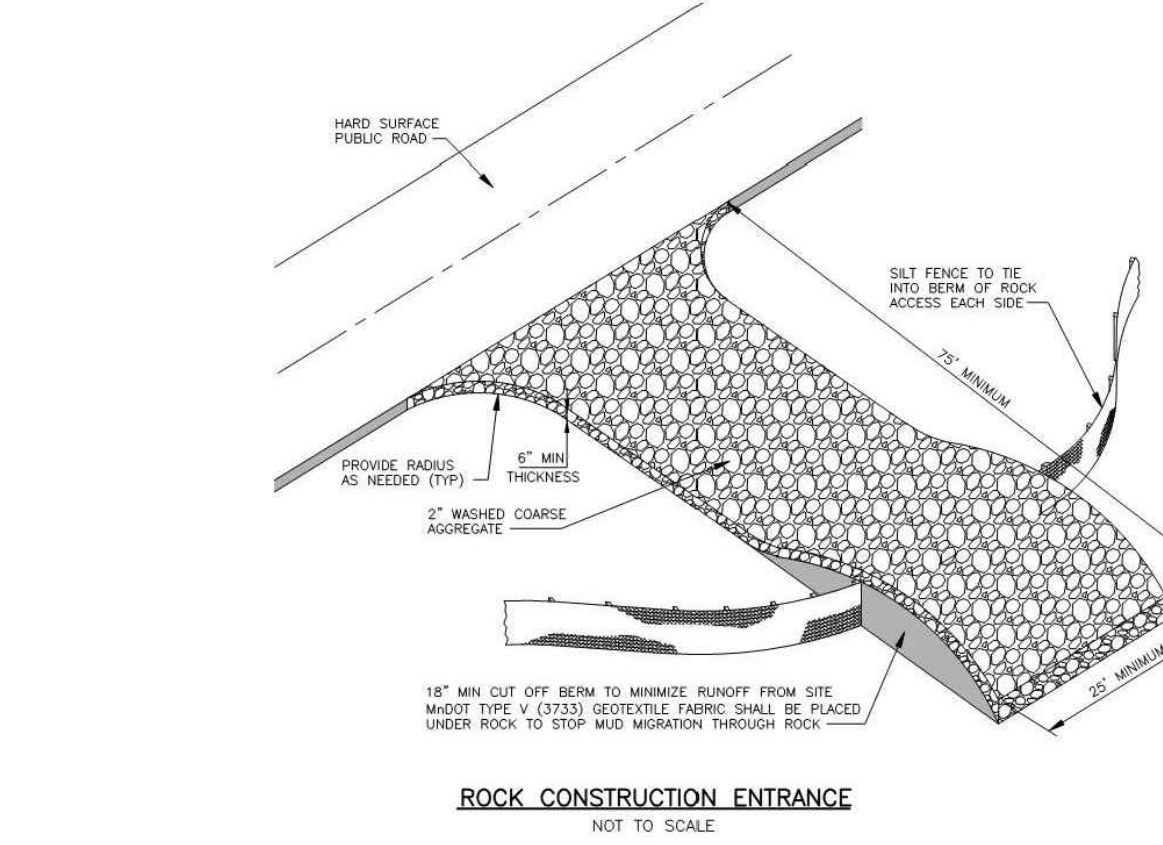
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**INLET PROTECTION
PREASSEMBLED SILT FENCE**
NOT TO SCALE

BOLTON & MENK, INC. Consulting Engineers & Surveyors MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN BURNSVILLE, MN WILLMAR, MN CHASKA, MN RANGELY, MN MAPLEWOOD, MN BAXTER, MN ROCHESTER, MN AMES, IA SPENCER, IA	INLET PROTECTION PREASSEMBLED SILT FENCE		DATE: 07/2013 STD. DETAIL 3-101
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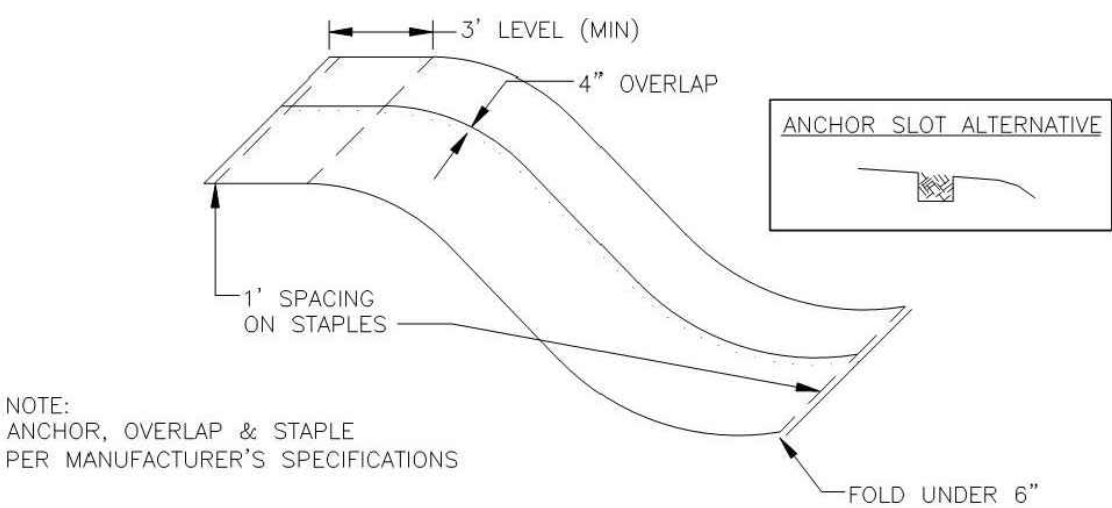
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ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE

BOLTON & MENK, INC. Consulting Engineers & Surveyors MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN BURNSVILLE, MN WILLMAR, MN CHASKA, MN RANGELY, MN MAPLEWOOD, MN BAXTER, MN ROCHESTER, MN AMES, IA SPENCER, IA	ROCK CONSTRUCTION ENTRANCE		DATE: 07/2013 STD. DETAIL 3-502
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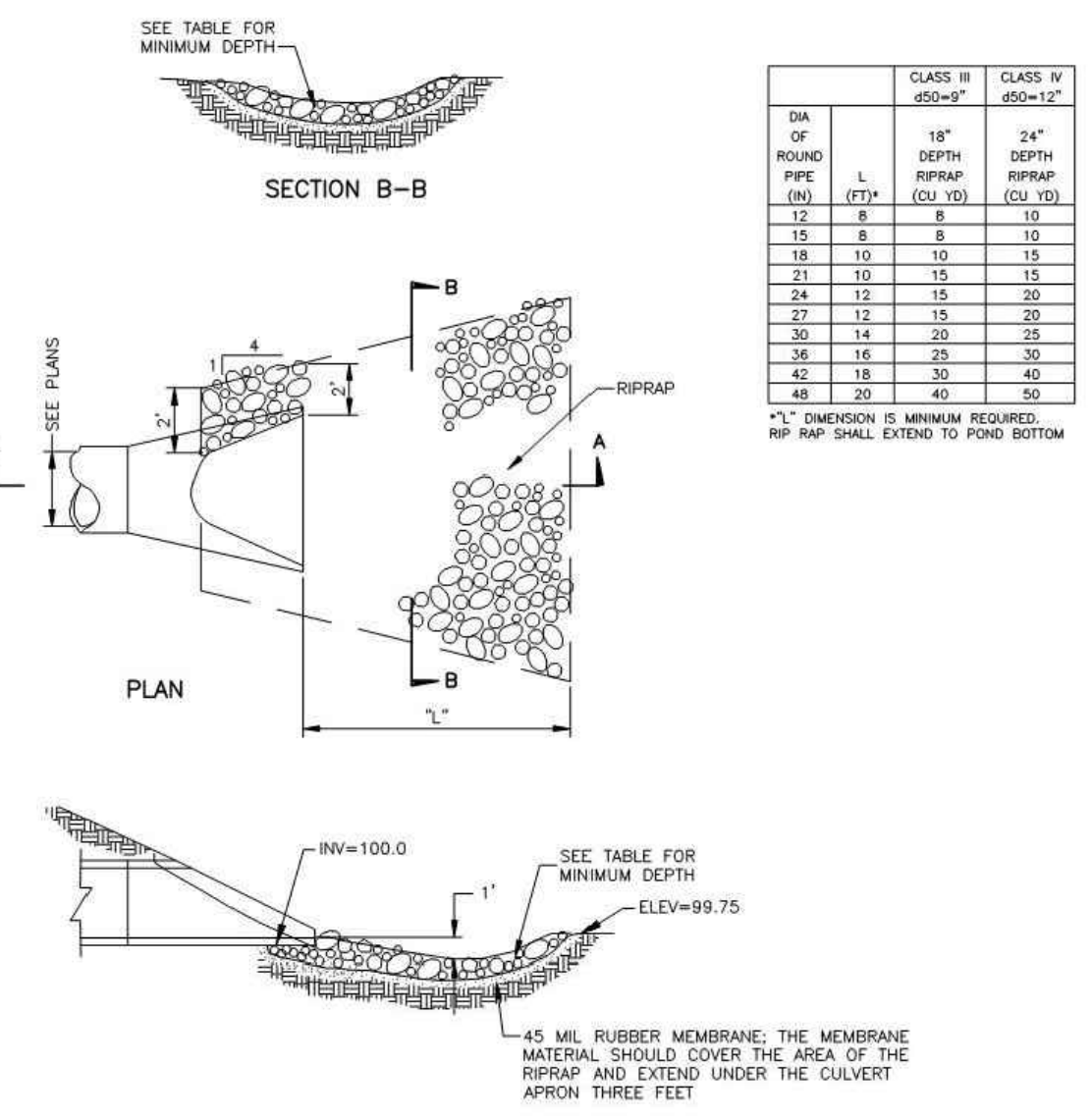
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**EROSION CONTROL BLANKET
INSTALLATION**
NOT TO SCALE

BOLTON & MENK, INC. Consulting Engineers & Surveyors MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN BURNSVILLE, MN WILLMAR, MN CHASKA, MN RANGELY, MN MAPLEWOOD, MN BAXTER, MN ROCHESTER, MN AMES, IA SPENCER, IA	EROSION CONTROL BLANKET INSTALLATION		DATE: 07/2013 STD. DETAIL 3-200
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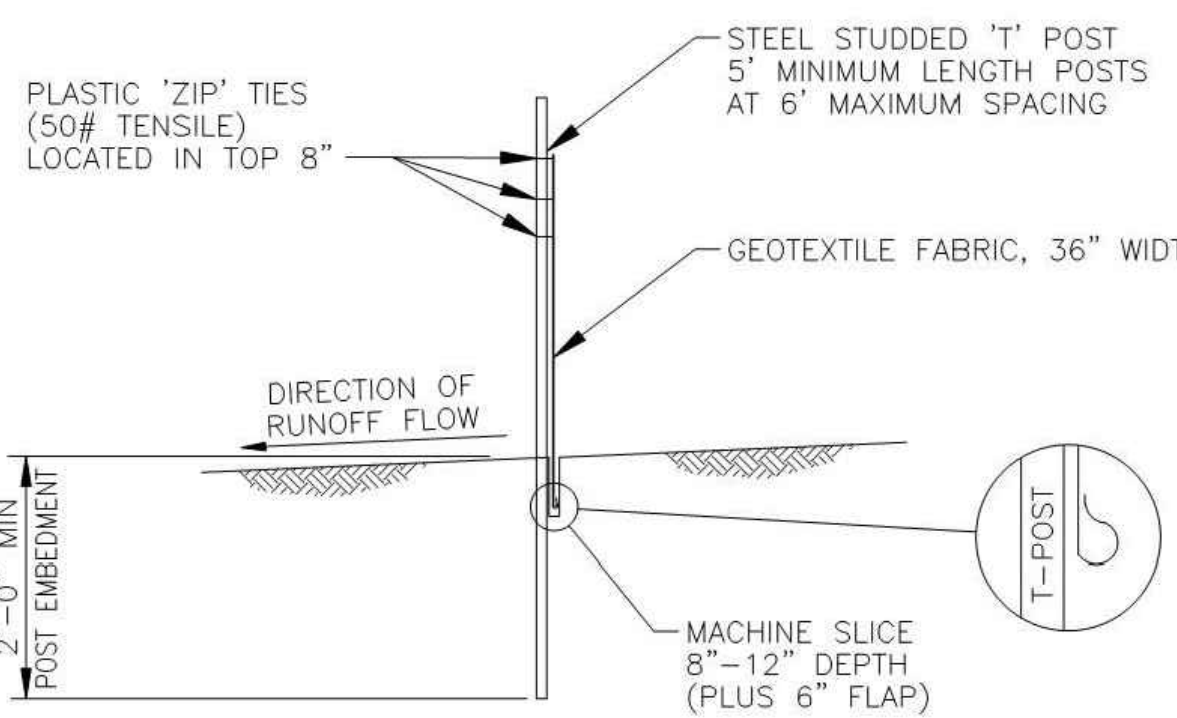
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RIPRAP AT RCP CULVERT END
NOT TO SCALE

BOLTON & MENK, INC. Consulting Engineers & Surveyors MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN BURNSVILLE, MN WILLMAR, MN CHASKA, MN RANGELY, MN MAPLEWOOD, MN BAXTER, MN ROCHESTER, MN AMES, IA SPENCER, IA	RIPRAP AT RCP CULVERT END		DATE: 07/2013 STD. DETAIL 3-600
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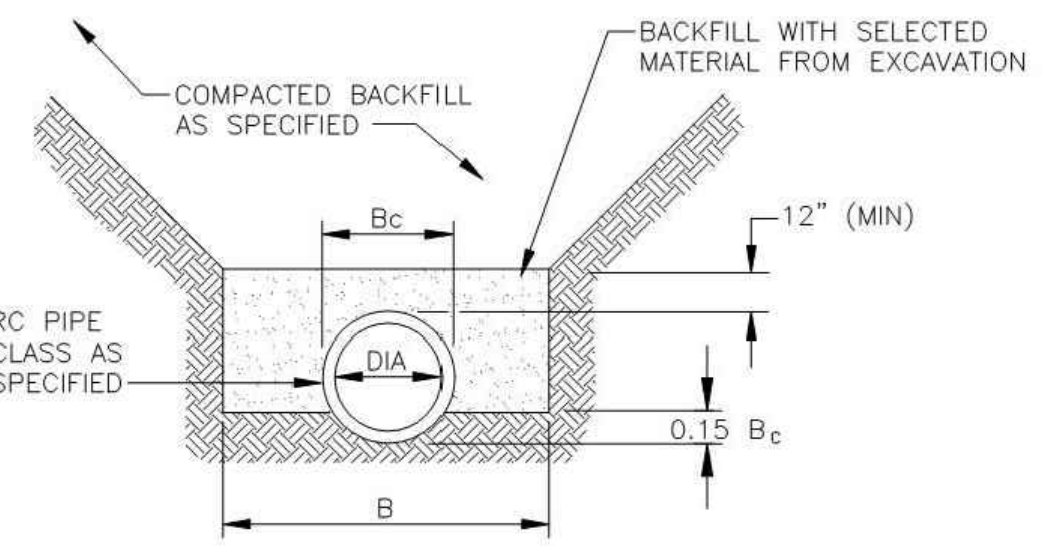
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SILT FENCE - MACHINE SLICED
NOT TO SCALE

BOLTON & MENK, INC. Consulting Engineers & Surveyors MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN BURNSVILLE, MN WILLMAR, MN CHASKA, MN RANGELY, MN MAPLEWOOD, MN BAXTER, MN ROCHESTER, MN AMES, IA SPENCER, IA	SILT FENCE MACHINE SLICED		DATE: 07/2013 STD. DETAIL 3-402
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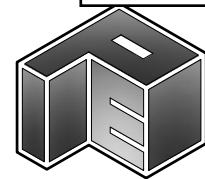


PIPE DIA	B
36" OR LESS	B _c + 24"
42" TO 54"	1.5 x B _c
60" OR OVER	B _c + 36"

**RC PIPE
CLASS "C" BEDDING**
NOT TO SCALE

BOLTON & MENK, INC. Consulting Engineers & Surveyors MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN BURNSVILLE, MN WILLMAR, MN CHASKA, MN RANGELY, MN MAPLEWOOD, MN BAXTER, MN ROCHESTER, MN AMES, IA SPENCER, IA	RC PIPE CLASS "C" BEDDING		DATE: 07/2013 STD. DETAIL 4-000
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SITE PLANNING
& ENGINEERING

PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-6701

DRAWN BY: AG CHECK BY: CWP

JOB NO: 22-2016 DATE: 04/21/22

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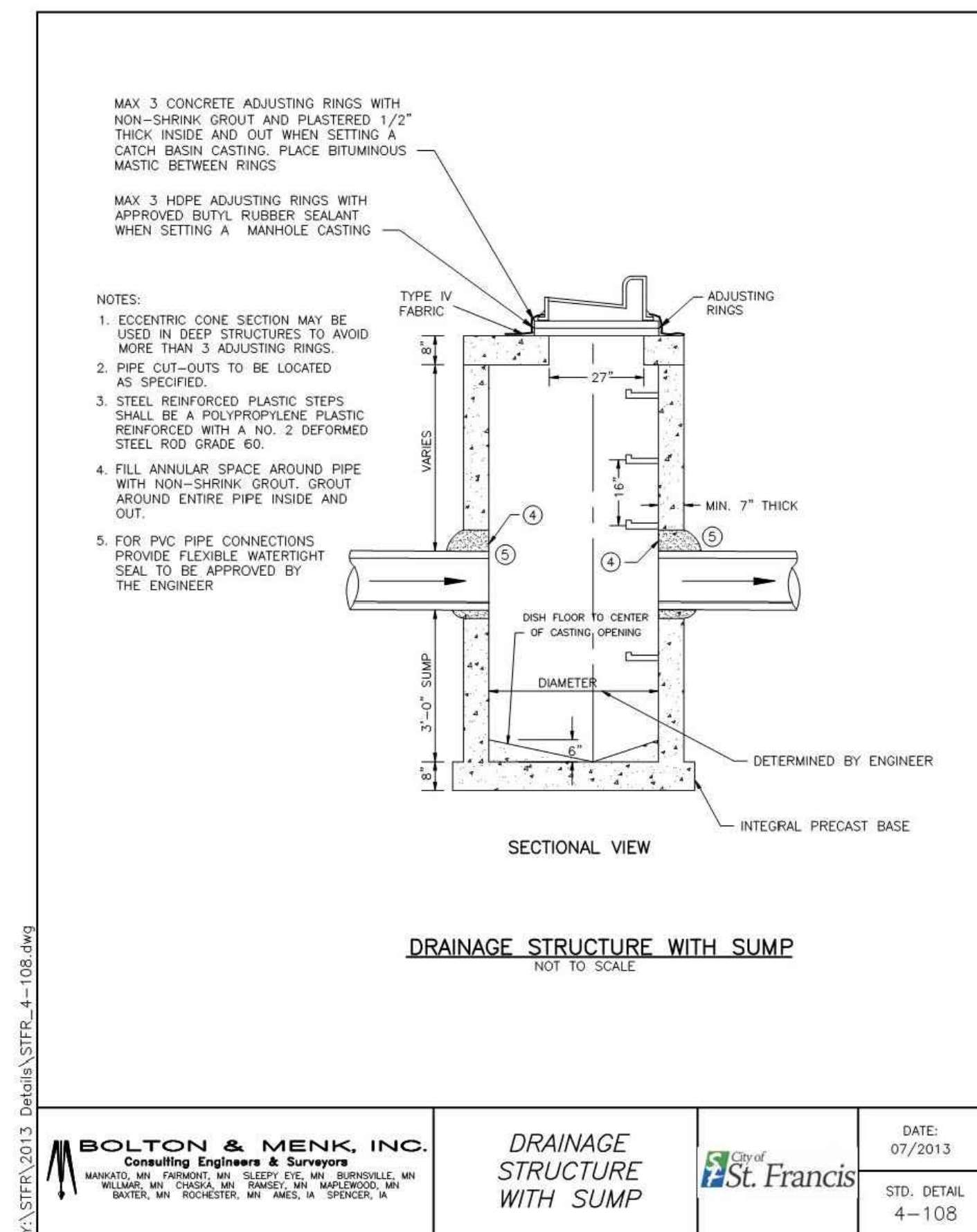
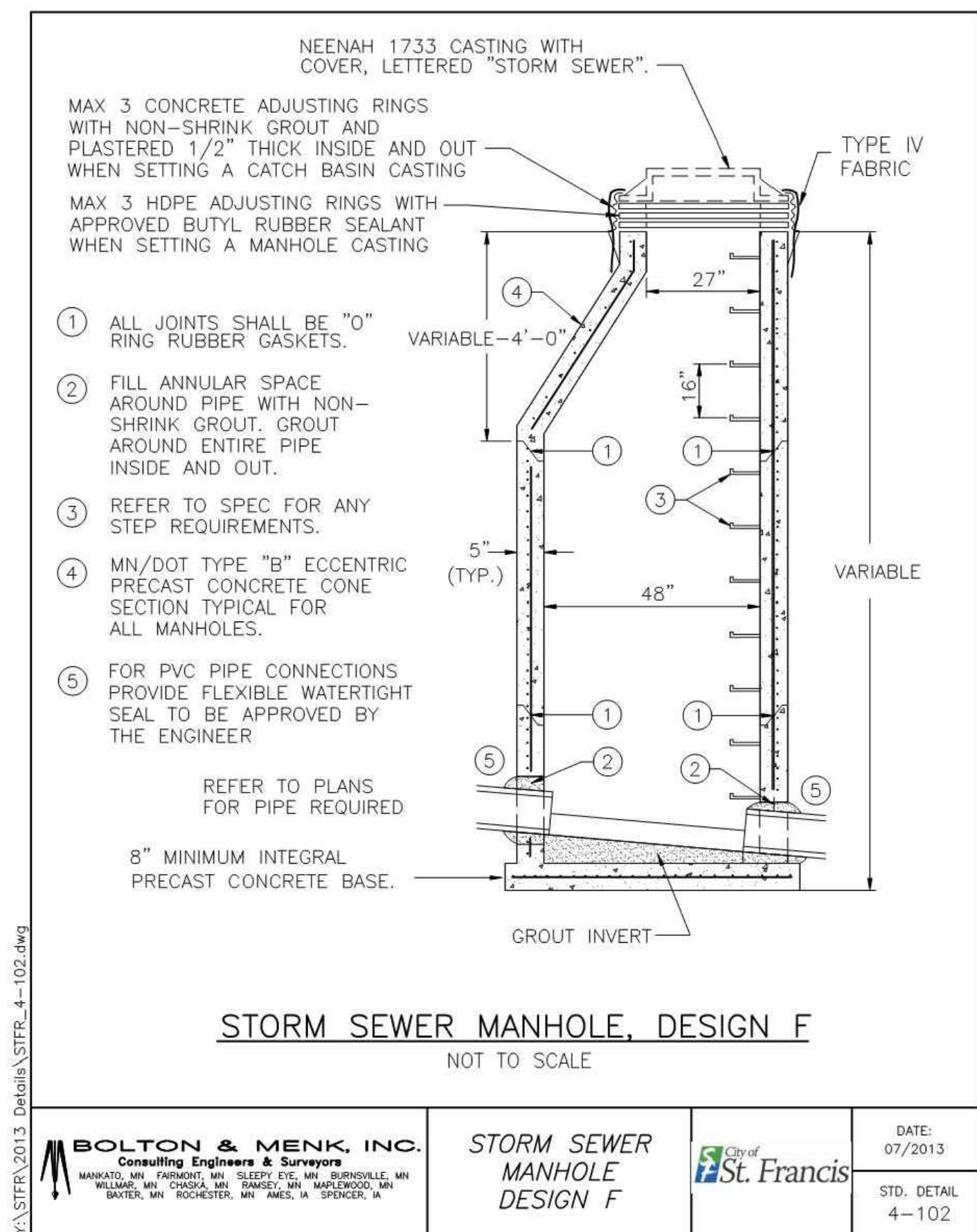
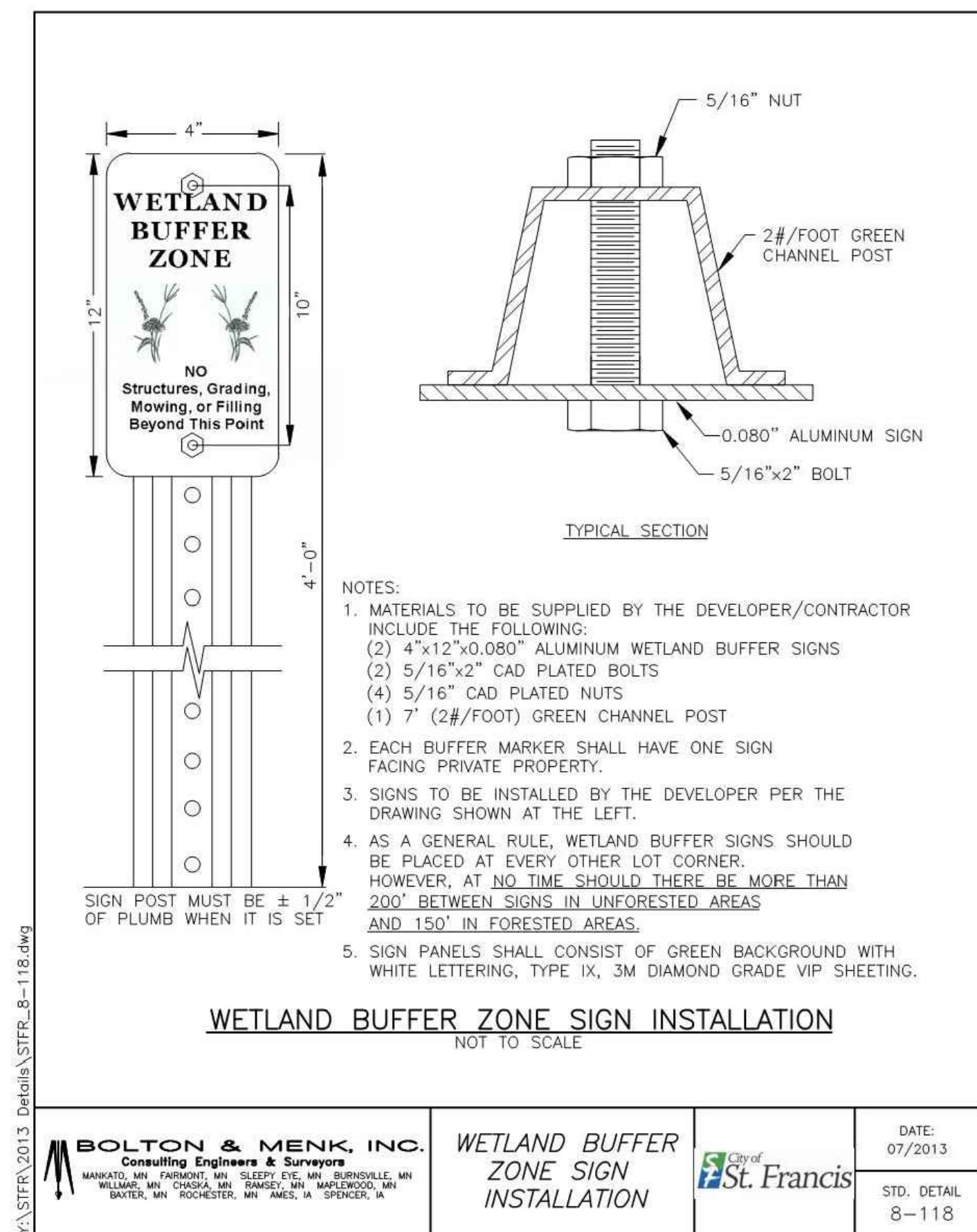
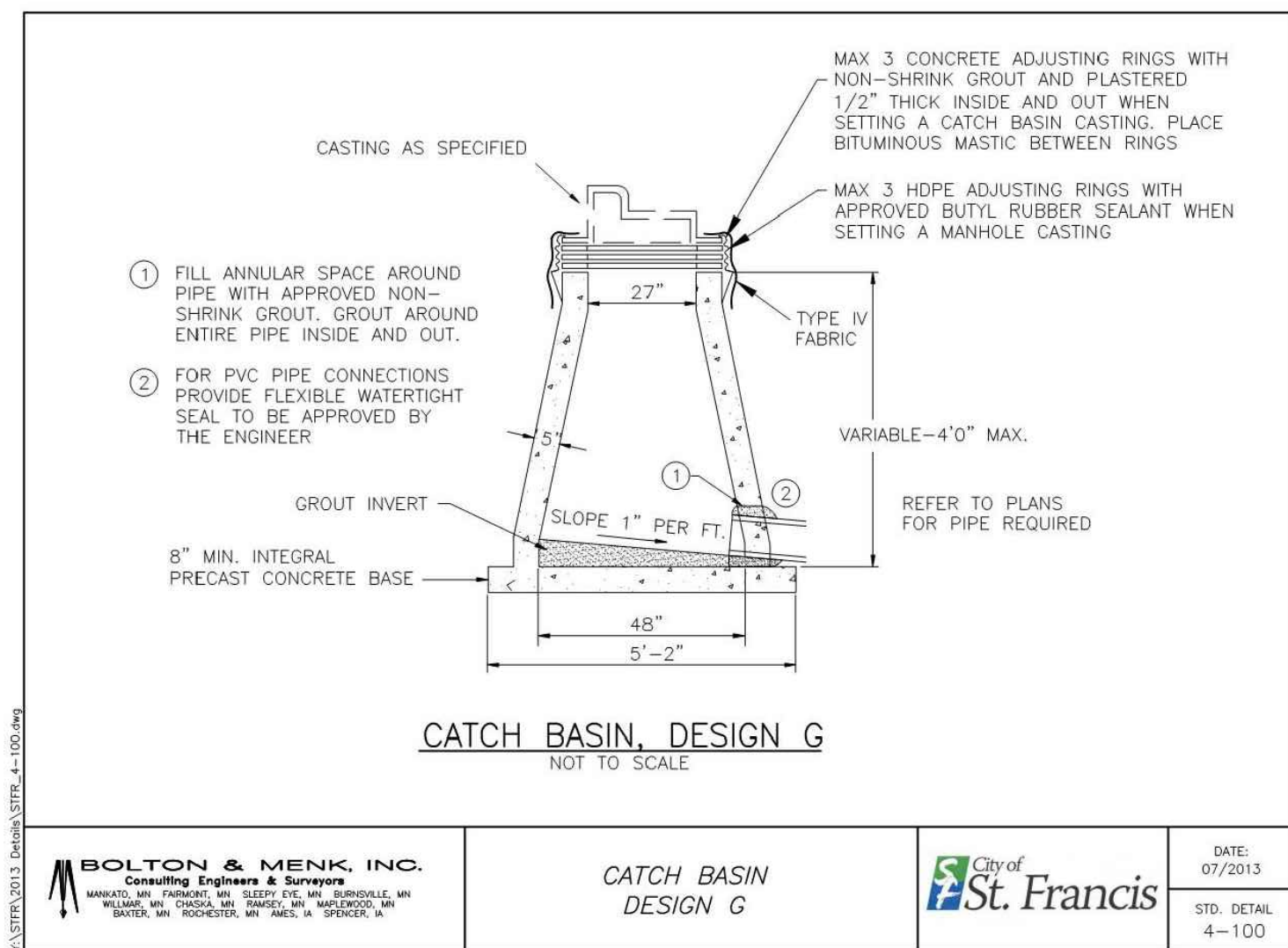
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

PRELIMINARY

ADAM SINKEL License No. 43963 Date: 04/21/2022

RICHARD D. SCHROEDER
ADVANCED AMMUNITION SITE
CITY OF ST. FRANCIS, MN
DETAILS
PREPARED FOR: EDWARD FARR ARCHITECTS, INC.

SHEET
C2.2





SITE PLANNING
& ENGINEERING
PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY: AG
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JOB NO: 22-2016
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PRELIMINARY

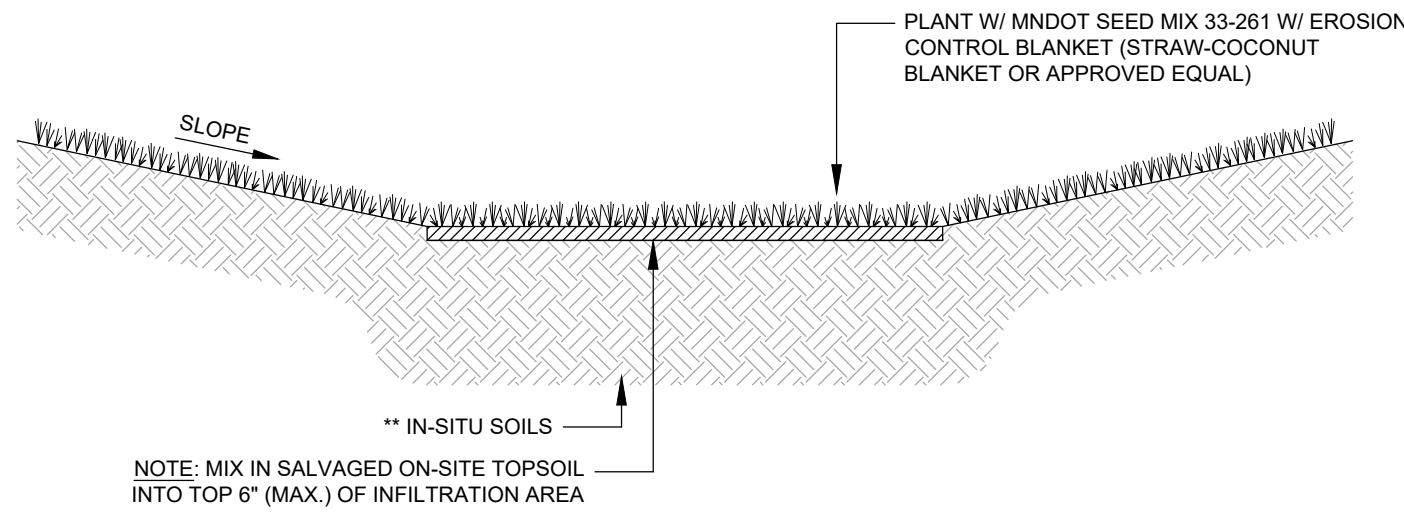
ADAM GINKEL
Date: 04/21/2022 License No. 43903

RICHARD D. SCHROEDER
ADVANCED AMMUNITION SITE
CITY OF ST. FRANCIS, MN
DETAILS

PREPARED FOR: EDWARD FARR ARCHITECTS, INC.

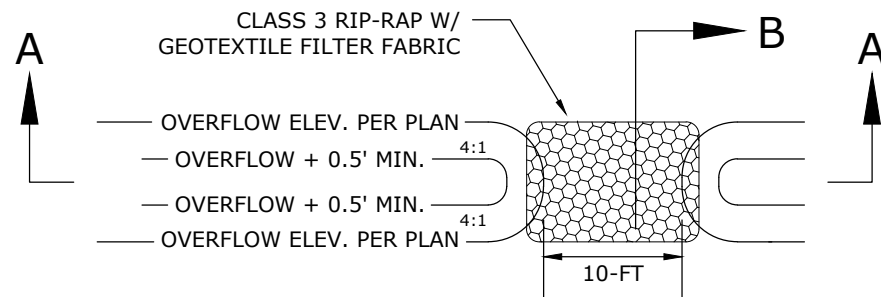
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- NOTES:
1. USE LOW-IMPACT, EARTH MOVING EQUIPMENT (WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT-EQUIPMENT WITH TURF-TYPE TIRES) IN BASINS.
 2. NO MINING OF SANDY SOILS ALLOWED BELOW BASINS.
 3. DURING MASS GRADING, PERFORM SOILS CORRECTION IN BASINS AS NECESSARY.
 4. AFTER MASS GRADING, LEAVE BASINS THREE (3) INCHES HIGHER THAN FINISHED GRADE.
 5. PROVIDE SILT FENCE AROUND BASIN.
 6. PROTECT BASIN FROM RUN-OFF DURING REMAINDER OF CONSTRUCTION ACTIVITIES.
 7. KEEP BASIN OFF-LINE UNTIL SITE HAS BEEN STABILIZED.
 8. ONCE SITE HAS BEEN STABILIZED, EXCAVATE BASIN TO FINAL GRADE.
 9. BASIN BOTTOM TO BE FLAT WITH NO DIPS OR SWALES.



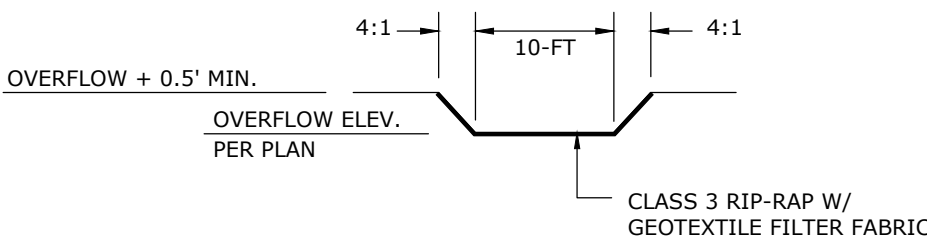
** ALLEVIATE ANY COMPACTED SOILS (BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER OR SUBSOILER) TO A DEPTH NECESSARY TO ALLEVIATE COMPACTION

INFILTRATION BASIN
N.T.S.

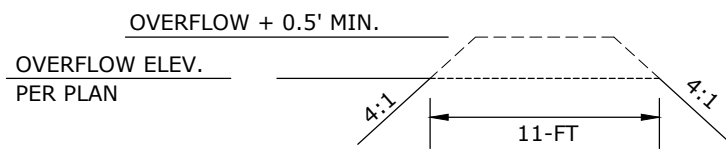


PLAN VIEW

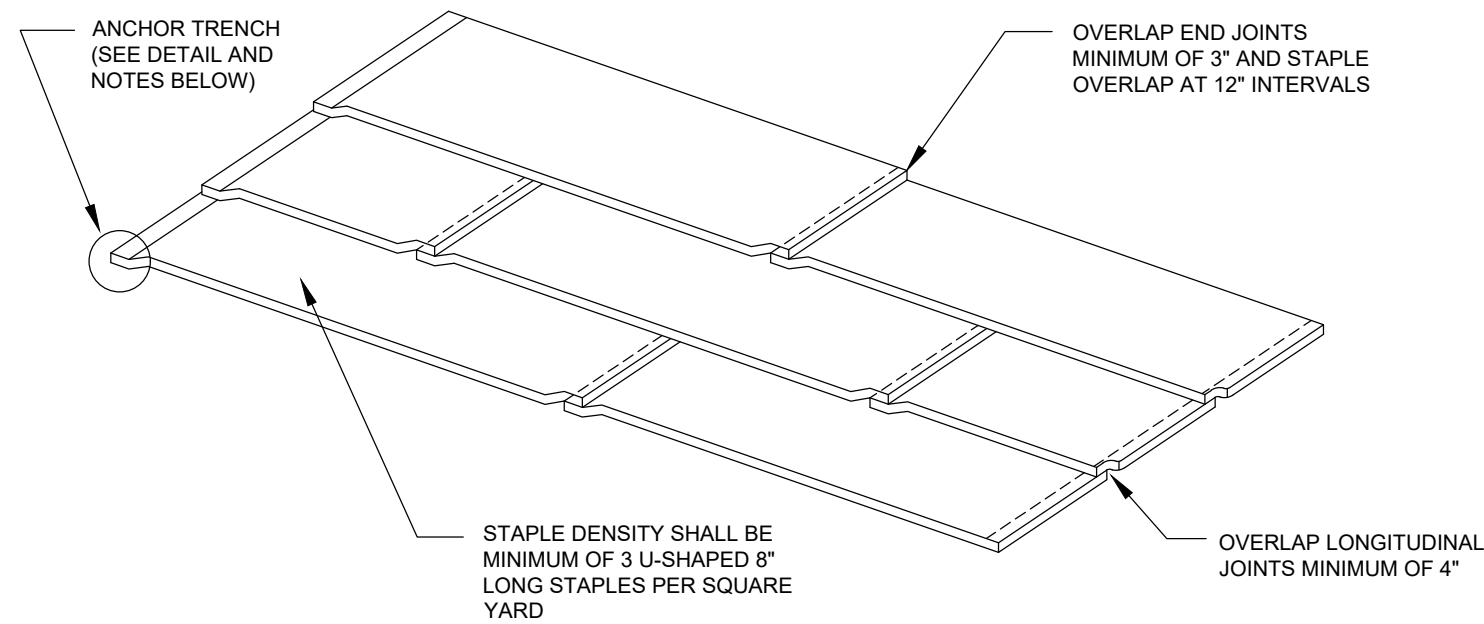
RIP-RAP OVERFLOW
N.T.S.



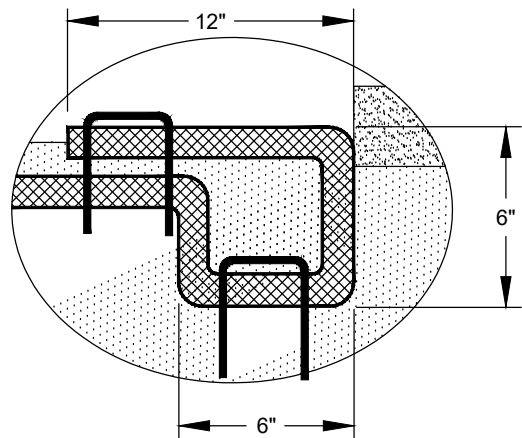
SECTION A - A



SECTION B - B



- ANCHOR TRENCH
1. DIG 6" X 8" TRENCH
 2. LAY BLANKET IN TRENCH
 3. STAPLE AT 1.5-FT INTERVALS
 4. BACKFILL WITH NATURAL SOILS AND COMPACT
 5. BLANKET LENGTH SHALL NOT EXCEED 100-FT WITHOUT AN ANCHOR TRENCH



EROSION CONTROL BLANKET
N.T.S.

		Agenda Item # 6C.	
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PLOWE
ENGINEERING, INC.6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014PHONE: (651) 361-8210
FAX: (651) 361-8701



PLANNING COMMISSION AGENDA REPORT

TO: St. Francis Planning Commission

FROM: Brad Scheib, AICP Planner and Natalie Strait, Planner

SUBJECT: St. Francis Dental Clinic Addition

DATE: 5-11-2022 for 5-12-2022 meeting

APPLICANT: Sperides Reiners Architects, Eric Reiners on behalf of St. Francis Dental Care PA

LOCATION: 3715 Bridge St NW

COMP PLAN: Downtown

ZONING: B-1 Commercial

OVERVIEW:

The City has received a site plan application for an addition to an existing dental office building and parking lot expansion at 3715 Bridge St NW. St. Francis Dental Care wishes to expand their existing dental office building to provide more space for the practice. Per the applicant, the clinic is not adding additional doctors. The applicants also plan to expand the shared parking lot with 8 additional stalls for the dental clinic in order to better accommodate the existing need for parking.



REVIEW PROCEDURE

60-Day Land Use Application Review Process

Pursuant to Minnesota State Statutes Section 15.99, local government agencies are required to approve or deny land use requests within 60 days. Within the 60-day period, an automatic extension of no more than 60 days can be obtained by providing the applicant written notice containing the reason for the extension and specifying how much additional time is needed. The deadline for taking action on the land use request is July 1st 2022.

Site plan review is required under municipal code 10-32-02 as a modification of a commercial building as well as the expansion of off-street parking in order to enforce site design standards in advance of issuing a building permit. This site plan is subject to review and comment by the Planning Commission and approval or denial by the City Council per the municipal code.

ANALYSIS

Land Use and Zoning

Currently the site contains a 2,994 Sq ft Dental Clinic. The use is consistent with the land use guidance of commercial use by the 2040 Comprehensive Plan and the site is zoned B-1 Central Business District. This site along Bridge St. NW is part of the Downtown district of St. Francis. The Downtown Plan aspires to see uses in this district that promote a diverse mix of services and retail which lend themselves to an athletically pleasing, walkable and enjoyable downtown experience. The standards for this district are intended to ensure that this aesthetic is maintained and improved. The applicant is proposing a 1,632 square foot addition, which would result in a total of 4,626 sq ft of total building area.

Dimensional Requirements

The proposed development will meet all of the site dimension requirements as listed in the B-1 district, as shown below:

- The site meets dimensional standards
- The following are key dimensional characteristics

Standard	Required B-1	Proposed
Front setback	Minimum Setback: 0 ft Maximum Setback: 5 ft	The parking lot expansion will result in 5ft setbacks matching existing parking lot setbacks
Rear setback	0 ft	16.2 ft (north side)
Side setbacks	0 ft	11.8 ft (east side) 12.8 ft (west side)
Max. building height	Min: 20 ft Max: 4 stories or 50 ft	1 Story
Max. impervious surface	N/A	No applicable

Site Design Standards

Ground Floor Frontage

The entire facility including the new addition is to be used for the dental clinic. This meets the requirement for Bridge St. NW that no less than 70 percent of the ground floor frontage be used for a commercial purpose.

Screening

Trash receptacles and loading areas are required to be to the rear of the building. These areas must be fully screened from the right-of-way and adjacent properties, in compliance with Part 10-73-00. The plans submitted do not include outdoor storage of trash receptacles but any added receptacles must follow this standard or be located within the principal structure.

Exterior lighting

A lighting plan is required to be submitted with any site plan application. Exterior illumination casting light onto a public street may not measure more than 1 footcandle at the centerline the roadway. The applicant has submitted a plan showing how the south parking area is proposed to be lit. The proposed lighting measures between 0.0-0.1 FC past the property line which meets Code requirements along Bridge St. NW.

Architectural Requirements

The proposed structure addition will match the architectural and design character of the existing structure. The Existing vinyl siding is to be replaced with *LP Smartside* vinyl and the facebrick will be chosen to match the existing rockface texture and painted to match. These materials are consistent with requirements for the B-1 district. The roofing will be asphalt architectural shingles which is consistent with B-1 zoning requirements. The side of the building that faces the street is not longer then 60ft so there do not need to be more than one color or material in the siding.

Access

The proposed addition and expansion plans will not add or alter the existing access to the site. Additional parking spaces added to the parking lot adjacent Bridge St. NW may increase the amount of vehicle traffic using the street, but as the number of staff is not changing, the change in traffic will be minimal. Bridge St. NW is a county road, Anoka County has been sent the plans and is required to review. Any comments they have will be addressed through the site plan review process.

Parking

The applicant is proposing an expansion of the surface parking lot along the south side of the building adjacent Bridge St. NW. According to B-1 design standards on parking lot location, "parking lots shall be prohibited in the front yard." As it is currently constructed the parking lot is a legal non-conformity and its expansion will **increase** the degree of non-conformity. Additionally, the current number of parking stalls at the building (9 stalls) is below the minimum required by the City Code for this use (28 stalls). By expanding the parking lot, they are **reducing** the degree of non-conformity relative to required number of parking spaces.

According to City Code, alteration and normal maintenance to a legal non-conforming building or structure may be made through the building permit process provided:

- 1. The alterations do not expand the foundation and/or building volume, unless specifically allowed by this Ordinance.

The non-conformity is in the parking lot rather than the building expansion. The expansion of the building meets all zoning standards and is conforming.

- 2. The alterations do not increase the building occupancy capacity or parking demand.

The parking lot expansion will move the required parking spaces more towards conformity and will increase the supply of parking rather than the demand. The number of staff and doctors will stay the same per the applicant and therefore the building occupancy and parking demand will not increase. The additional parking spots will alleviate the current issue of offsite overflow parking that has been needed to accommodate the parking shortage onsite.

Currently there are 3 parking spaces available per doctor, the additional parking expansion will lead to 5.7 parking spaces per doctor and an approximately 27% increase in total parking area.

- 3. The alteration does not increase the non-conformity of the building or the use.

The proposed expansion of the building and parking lot does not change the non-conformity of the building or use. The additional 8 parking stalls proposed will bring the parking requirements closer to conformity.

Use	Required Spaces	Current Spaces	Proposed Total Spaces	Required Spaces
Clinics and offices	Five (5) spaces per doctor or dentist, plus one (1) space for each employee on the largest work shift.	9	17	28

This parking lot is already constructed and adding parking spaces at this location will not substantially increase the negative impact of the legal non-conformity or cause a change to the existing character of the site. Expansion of the front yard parking will serve as an interim use until such time as broader redevelopment occurs along the Bridge St. NW corridor.

The parking lot is also shared with Milestone Orthodontics, which has an additional 9 parking stalls. Both clinics operate at approximately the same time so these parking spaces cannot be counted towards the Dental Clinic’s parking requirements. Milestone Orthodontics has acknowledged the intent of the Dental Clinic to expand the parking lot. This proposed parking lot otherwise meets the design standards set by City Code.

Landscaping

The applicant has submitted a detailed landscape plan to address landscaping standards as defined in section 10-73 of the code. This landscape plan in conjunction with exiting landscaping retained on site may satisfy zoning conditions; however, upon review there were a

number of places where it is unclear whether or not standards are being met due to a lack of information on the existing landscaping plan. Additional detail is needed to determine consistency with City Code. This is a technicality and can be provided as a condition of approval. Landscaping should be used to help buffer parking areas from Bridge St. NW and screen any building or sight mechanical equipment.

General Engineering Requirements

The applicant has submitted erosion control, grading, utility and stormwater plans which have are under review by the City Engineer. Addressing any technical engineering items will be retained as a condition of approval.

Recommendations

Staff Recommends approval of the site plan with the following conditions:

Conditions of Approval – Site Plan

1. Additional landscape information shall be submitted to confirm adherence to landscape standards or the Landscape Plan shall be revised to meet all code requirements.
2. No outdoor storage is permitted on the site, including outdoor storage of waste or recyclables unless properly screened per city code.
3. All comments from the City Engineer shall be addressed and approved prior to issuing a building permit.
4. Other conditions identified during the review process by Staff, the Planning Commission, or the City Council.

The above recommendations are supported by the following findings of fact:

1. The site plan is consistent with the Comprehensive Plan with proposed conditions.
2. The site plan meets the standards listed in the City Zoning Code with proposed conditions.

ACTION TO BE CONSIDERED:

The Planning Commission could take one of the following actions:

1. Recommend approval with the conditions and findings of fact as presented by Staff.
2. Recommend denial with findings of fact as presented by Staff.
3. Table the request to the next Planning Commission meeting and provide direction to Staff and the applicant as to the additional information needed.

Suggested Motion:

Move to recommend approval of the St Francis Dental Center site plan with conditions and findings of fact as presented by Staff.

Attachments:

1. Site Plan Application
2. Milestone Orthodontics Project Acknowledgment
3. Submittal Set
4. Elevation

TYPE OF APPLICATION: (Check appropriate box)		BASE APPLICATION AND EXPENSE FEES: (Fees are cumulative)
<input type="checkbox"/>	ANNEXATION	\$250 Fee + \$2,000 Escrow
<input type="checkbox"/>	APPEAL / ZONING APPEAL	\$200 Fee + \$1,000 Escrow
<input type="checkbox"/>	COMPREHENSIVE PLAN AMENDMENT	\$450 Fee + \$2,000 Escrow
<input type="checkbox"/>	ENVIRONMENTAL	\$350 Fee + \$650 Escrow
<input type="checkbox"/>	MINOR SUBDIVISION	\$350 Fee + \$2,000 Escrow
<input type="checkbox"/>	PLANNED UNIT DEVELOPMENT (PUD)	\$350 Fee + \$2,000 Escrow
<input type="checkbox"/>	ORDINANCE AMENDMENT	\$350 Fee + \$2,000 Escrow
<input type="checkbox"/>	REZONING	\$350 Fee + \$2,000 Escrow
<input type="checkbox"/>	SUBDIVISION (Circle appropriate): -Sketch Plan -Preliminary Plat (Rural) -Preliminary Plat (Urban) -Final Plat -Administrative Subdivision	\$300 Fee + \$500 Escrow \$400 Fee + \$400 + \$125 per lot Escrow \$400 Fee + \$425 + \$175 per unit Escrow \$350 Fee + \$650 Escrow \$350 Fee + \$2,000 Escrow
<input checked="" type="checkbox"/>	SITE & BUILDING PLAN REVIEW (Full)	\$350 Fee + \$2,000 Escrow
<input type="checkbox"/>	SITE & BUILDING PLAN REVIEW (Admin)	\$100 Fee + \$250 Escrow
<input type="checkbox"/>	STREET and/or UTILITY VACATION	\$350 Fee + \$1,000 Escrow
<input type="checkbox"/>	TEMPORARY HABITATION	\$200 Fee + \$5,000 Escrow
<input type="checkbox"/>	WETLAND Replacement Plan Review with Plat Replacement Plan and Excavation Delineation	\$350 Fee + \$650 Escrow \$350 Fee + \$650 Escrow \$350 Fee + \$1,000 Escrow
	TOTALS	\$ <u>\$350</u> Fee, \$ <u>\$2,000</u> Escrow

Fees are set by Fee Schedule, Valid January through December
 Dock requests must follow the Conditional Use Permit process.

DESCRIPTION OF REQUEST: (attach additional information if needed)

Project Name: ST. FRANCIS DENTAL CLINIC ADDITION

Nature of Proposed Use: ADDITION TO EXISTING DENTAL OFFICE BUILDING AND PARKING LOT EXPANSION

Reason(s) to Approve Request:

THE DENTAL PRACTICE HAS OUT GROWN THE CURRENT CAPACITY OF THE EXISTING BUILDING AND PARKING LOT SIZE.

IS THIS APPLICATION, PART OF, OR IN ADDITION TO, A PREVIOUS APPLICATION(S) PERTAINING TO THE SUBJECT SITE? IF YES:

PROJECT NAME:

NATURE OF REQUEST:

(attach additional information if needed)

PROPERTY INFORMATION:

Street Address: 3715 BRIDGE STREET NW

Property Identification
Number (PIN#):

ST. FRANCIS, MN 55070

32-34-24-34-0041

Legal Description
(Attach if necessary):

Lot(s):

7

Block:

5

Subdivision:

VILLAGE OF ST. FRANCIS

APPLICANT INFORMATION:

Name:

ERIC REINERS, AIA

Business Name:

SPERIDES REINERS ARCHITECTS

Address:

6442 CITY WEST PARKWAY

City EDEN PRAIRIE

State: MN

Zip Code: 55344

Telephone: 952-996-9662

Fax:

E-mail:
ERIC@SRA-MN.COM

Contact: ERIC REINERS

Title: PRINCIPAL

OWNER INFORMATION: (if different from applicant)

Name:

KURTIS HUETHER

Business Name:

ST. FRANCIS DENTAL CARE PA

Address:

3715 BRIDGE STREET NW

City: ST. FRANCIS

State: MN

Zip Code: 55070

Telephone: 763 - 753 - 1900

Fax: 763 - 753 - 4220

E-mail:
HUETHER@HOTMAIL.COM

Contact:

KURTIS HUETHER

Title:

OWNER

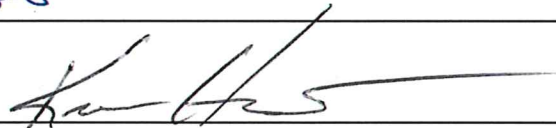
APPLICATION FEES AND EXPENSES: By signing this application form, I agree that all fees and expenses by the City for the processing of this application, including costs for professional services, are the responsibility of the property owner to be paid immediately upon receipt or the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes 429.81 as amended. All fees and expenses are due whether the application is approved or denied or withdrawn. Escrow fees may not cover actual expenses; any additional fees will be billed.

State statutes provides up to 120 days for the review of complete application, but the City will strive to finalize your request as quickly as possible. Please note that missing application due date and meeting dates or submitting an incomplete application WILL result in the review of the request being delayed. All City Council meeting dates are estimated as it is City policy that issues be resolved and plans be revised as may be needed prior to Council consideration.

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge. I further understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

APPLICANTS MUST BE SIGNED BY ALL PROPERTY OWNERS AS WELL AS/AND IN ADDITION TO, APPLICANT

Applicant(s):  Date: 04/14/2022

Owner(s):  Date: 18 April 2022

Required Application attachments

Minor Subdivisions	Please provide (2) Certificates of Survey at 22" by 34", (1) reproducible reduction at 11" by 17", and (1) to-scale electronic PDF. File of all information and submit an electronic (Word for Windows) version of the complete legal description of the property(s). ***See below for other required information.
Concept Plans	Please provide (2) large scale copies at 22" by 34", (1) reproducible reduction at 11" by 17", and (1) to-scale electronic PDF. File of all information and submit an electronic (Word for Windows) version of the complete legal description of the property(s). ***See below for other required information.*
Preliminary Plat	Please provide (2) large scale copies at 22" by 34", (1) reproducible reduction at 11" by 17", and (1) to-scale electronic PDF. File of all information and submit an electronic (Word for Windows) version of the complete legal description of the property(s). ***See below for other required information.
Final Plats	Please provide (2) large scale copies at 22" by 34", (1) reproducible reduction at 11" by 17", and (1) to-scale electronic PDF. File of all information and submit an electronic (Word for Windows) version of the complete legal description of the property(s). **See below for other required information.
***	<ol style="list-style-type: none"> If applicable, an additional large scale copy at 22" by 34" shall be provided for each of the following: <ol style="list-style-type: none"> (1) If project lies within a DNR Shoreland District or Floodplain (1) If project is adjacent to a neighboring City or Township If applicable, an additional small scale copy at 11" by 17" shall be provided for each of the following: <ol style="list-style-type: none"> (1) If project increases the number of dwelling units for the Met Council (1) If project is adjacent to a County Road or County State Aid Highway (1) If project is adjacent to a MN/Dot state highway

LEGAL DESCRIPTION (PER WARRANTY DEED NO. 2047427.001)

Commencing at the Southwest corner of Lot 7, Block 5, Village of St. Francis; thence North a distance of 216 feet to the South line of Lot 3, Block 5, Village of St. Francis; thence East a distance of 66 feet; thence South and parallel with the first course a distance of about 138 feet to the Southwest corner of Lot 9, Block 5, Village of St. Francis; thence East a distance of 32 feet to the Northwest corner of Lot 11, Block 5, Village of St. Francis; thence south a distance of 78 feet, more or less to the Southeast corner of said Lot 7; thence West a distance of 98 feet to the point of commencement, Anoka County, Minnesota.

Application Date: \$350

Fee/Escrow: \$2000

DEVELOPMENT APPLICATION

The City of St. Francis is pleased to consider your request. This letter and attached materials are intended to assist you with the formal processing of your proposal. Our goal is to make the review process as economical and efficient as possible.

Application / City Meeting

The attached materials outline the processing procedures, submittal requirements, and fees for various land use applications.

A meeting with City staff is strongly recommended for all types of proposals **before** processing of the application and payment of fees to help explain ordinance requirements, identify the details of the request, review concept plans, provide advice, and potentially avoid any unnecessary plan modifications or site design-related conflicts.

Required Fees / Escrow Deposit

A copy of the most current filing fees and escrow deposit amounts required by the City has also been provided for your reference. All fees must be paid at the time of application. No building permits will be issued until all bills and fees have been satisfied.

City staff will make every effort to keep costs at a minimum. Additional costs may be incurred due to lack of information, site or design problems, additional reviewing requirements or questions from the Planning Commission and/or City Council. You can have a significant impact on controlling these costs by submitting complete and comprehensive documents, plans, and designs which directly respond to the application procedures outlined. Incomplete submittals result in increased review time, unnecessary costs for the applicant, and may also result in rejection of an application.

Thank you for your review of this letter and attached information. We look forward to working with you on your request and application.

Milestone Orthodontics

Drs. Rensch, Becker, Iwen, Crary, and Lin

ANDOVER OFFICE

1573 154TH AVE NW #105
ANDOVER, MN 55304
763-434-5868

To whom it may concern,

ANOKA OFFICE

402 MONROE ST
ANOKA, MN 55303
763-427-2740

Milestone Orthodontics hereby acknowledges the intent of St. Francis Dental Care to proceed with expansion of their parking lot. Please let us know if you have any questions or concerns.

BLAINE OFFICE

810 125TH AVE NE
BLAINE, MN 55434
763-757-2768

Regards,

COON RAPIDS OFFICE

11441 OSAGE ST NW
COON RAPIDS, MN 55433
763-757-7540

Dr. Tom Crary DDS, MS

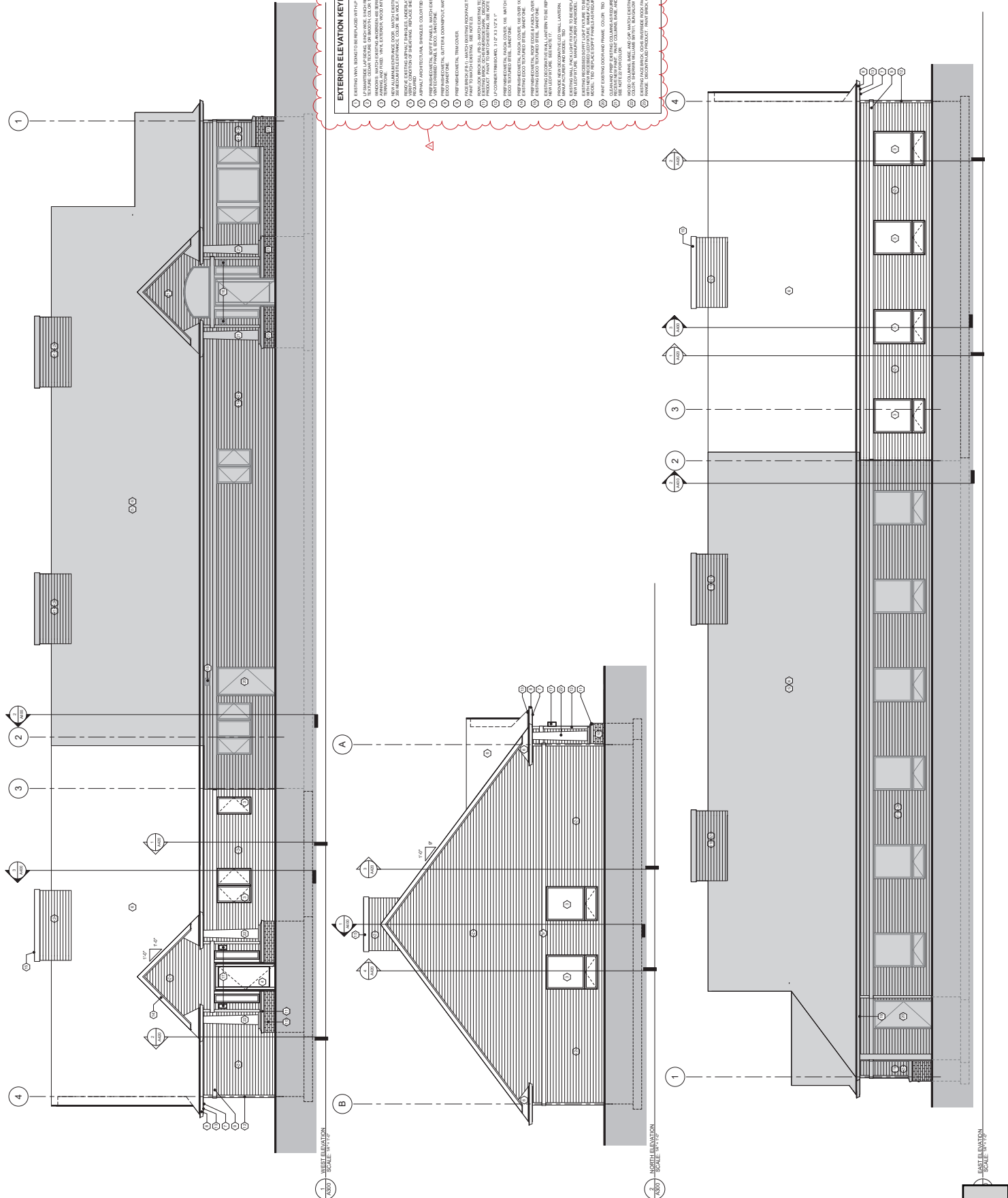
ELK RIVER OFFICE

822 MAIN ST
ELK RIVER, MN 55330
763-253-7531

ST FRANCIS OFFICE

3725 BRIDGE ST NW
ST FRANCIS, MN 55070
763-753-3393





ST. FRANCIS DENTAL CLINIC ADDITION

3715 BRIDGE STREET NW
ST. FRANCIS, MN 55070

PROJECT TEAM

OWNER

ST. FRANCIS DENTAL
3715 BRIDGE STREET
ST. FRANCIS, MN
KURT HUETHER, DDS
PHONE
HUETHER@HOTMAIL.COM

DESIGN/BUILDER

KARKELA CONSTRUCTION
4806 PARK GLEN ROAD
ST. LOUIS PARK, MN 55416
ROGER SWAGGER
952-922-5512
ROGER@KARKELA.COM

ARCHITECT OF RECORD

SPERIDES REINERS ARCHITECTS, INC.
6442 CITY WEST PARKWAY
SUITE #300
EDEN PRAIRIE, MN 55434
PROJECT CONTACT
NATHAN RAUNER
952-996-9662
NATHANR@SRA-MN.COM

STRUCTURAL ENGINEER

BKBM
6120 EARLE BROWN DRIVE
SUITE #700
MINNEAPOLIS, MN 55430
TINA A. WYFFELS, P.E.
763-843-0436
TWYFFELS@BKBM.COM

CIVIL ENGINEER

WESTWOOD
3701 12TH STREET N.
SUITE #206
ST. CLOUD, MN 56303
BRAD WILKENING
(320) 229-2329
BRAD.WILKENING@WESTWOODPS.COM

SURVEYOR

WESTWOOD
3701 12TH STREET N.
SUITE #206
ST. CLOUD, MN 56303
MATT WELINSKI
(952) 697-5764
MATT.WILINSKI@WESTWOODPS.COM

SITE LIGHTING PHOTOMETRICS

MLAZGAR
16350 W. GLENDALE DRIVE
NEW BERLIN, WI 53151
414-943-1915

MECHANICAL ELECTRICAL, PLUMBING

DESIGN / BUILD (DEFERRED SUBMITTAL)

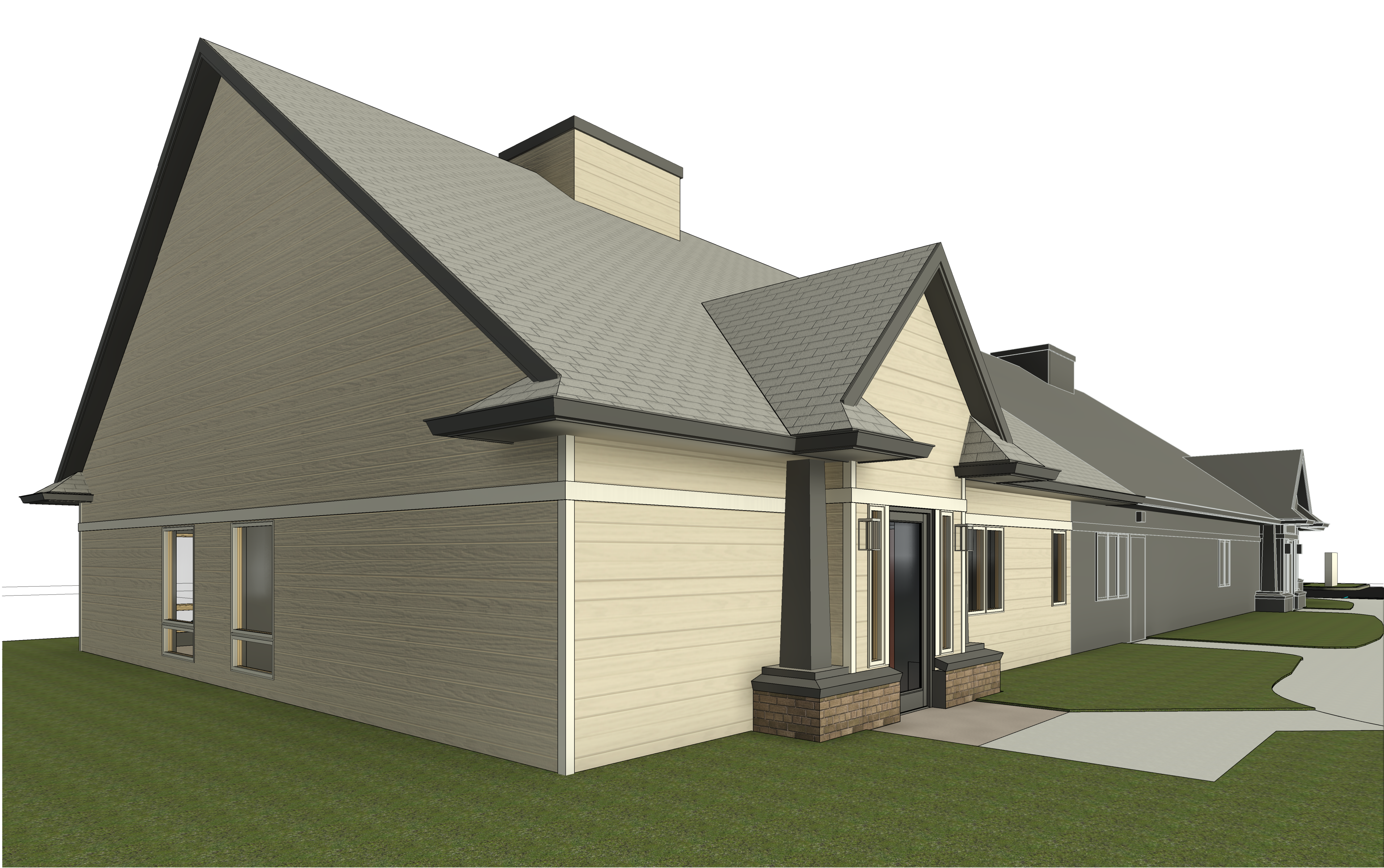
DENTAL EQUIPMENT SUPPLIER

TBD

GENERAL NOTES

- A. STUD FRAMING EXTENDED TO STRUCTURE ABOVE SHALL HAVE 3" X 3 5/8" GALVANIZED STUD TRACK AT 1" TOP. STUD FRAMING SHALL BE 3/4" FROM TOP OF TRACK AND HAVE NO MECHANICAL FASTENING TO ALLOW FOR 3/4" DEFLECTION.
- B. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION PRIOR TO FABRICATION/ CONSTRUCTION BEGINS.
- C. CONTRACTOR TO INSTALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.
- D. HOLD 1/2" CLEARANCE BETWEEN FLOOR AND GYPSUM BOARD. FILL GAB BETWEEN BOTTOM EDGE OF GYPSUM BOARD AND FLOOR WITH SEALANT. STROKE SEALANT SMOOTH AND FLUSH WITH FACE OF PARTITION. REMOVE EXCESS SEALANT FROM PARTITION AND FLOOR.
- E. CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF THE DOOR LEAF OR AS SHOWN ON THE FLOOR/ FINISH PLAN.
- F. VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
- G. SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.
- H. PROVIDE FIRE TREATED BLOCKING AS REQUIRED TO SUPPORT ALL CABINETS, SHELVES, BUILT-INS, EQUIPMENT OR ACCESSORIES. COORDINATE WITH VENDOR DOCUMENTS WHERE SUCH CONDITIONS APPLY.
- I. NOTIFY THE ARCHITECT IF ELECTRICAL/ COMMUNICATION/ HVAC/ PLUMBING/ ITEMS DEPICTED CONFLICT WITH ADA REQUIREMENTS OR INDUSTRY STANDARDS.
PRIOR TO INSTALLATION:
NOTE: ALL DEVICES AND CONTROLS TO BE INSTALLED WITHIN A MAXIMUM OF 4" OF EACH OTHER HORIZONTALLY (NOT 16" O.C.) AND ALONG THE BOTTOMS OF EACH ITEM. IN THE VERTICAL POSITION ALIGN THE ITEMS ON CENTERLINES.
- J. DURING CONSTRUCTION, AREA SHALL BE KEPT CLEAN AND ORDERLY.
- K. LIGHTING, EXIT LIGHTING INFORMATION, ELECTRICAL DATA AND TELEPHONE INFORMATION SHOWN ARE FOR ELECTRICAL CONTRACTORS REFERENCE ONLY. CONTRACTOR SHALL ENSURE COORDINATION OF ELECTRICAL ITEMS WITH BUILDING CONSTRUCTION AND EQUIPMENT AND SHALL OBTAIN THE NEEDED INFORMATION TO PROVIDE A COMPLETE AND WORKING INSTALLATION.
- L. CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
- M. PROVIDE GFI ELECTRICAL OUTLETS AT LOCATIONS REQUIRED BY CODE.

PROJECT IMAGE



SHEET INDEX

SHEET	SHEET NAME	CITY SUBMITTAL- 04.21.2022	CITY SUBMITTAL REV. - 05/02/2022						

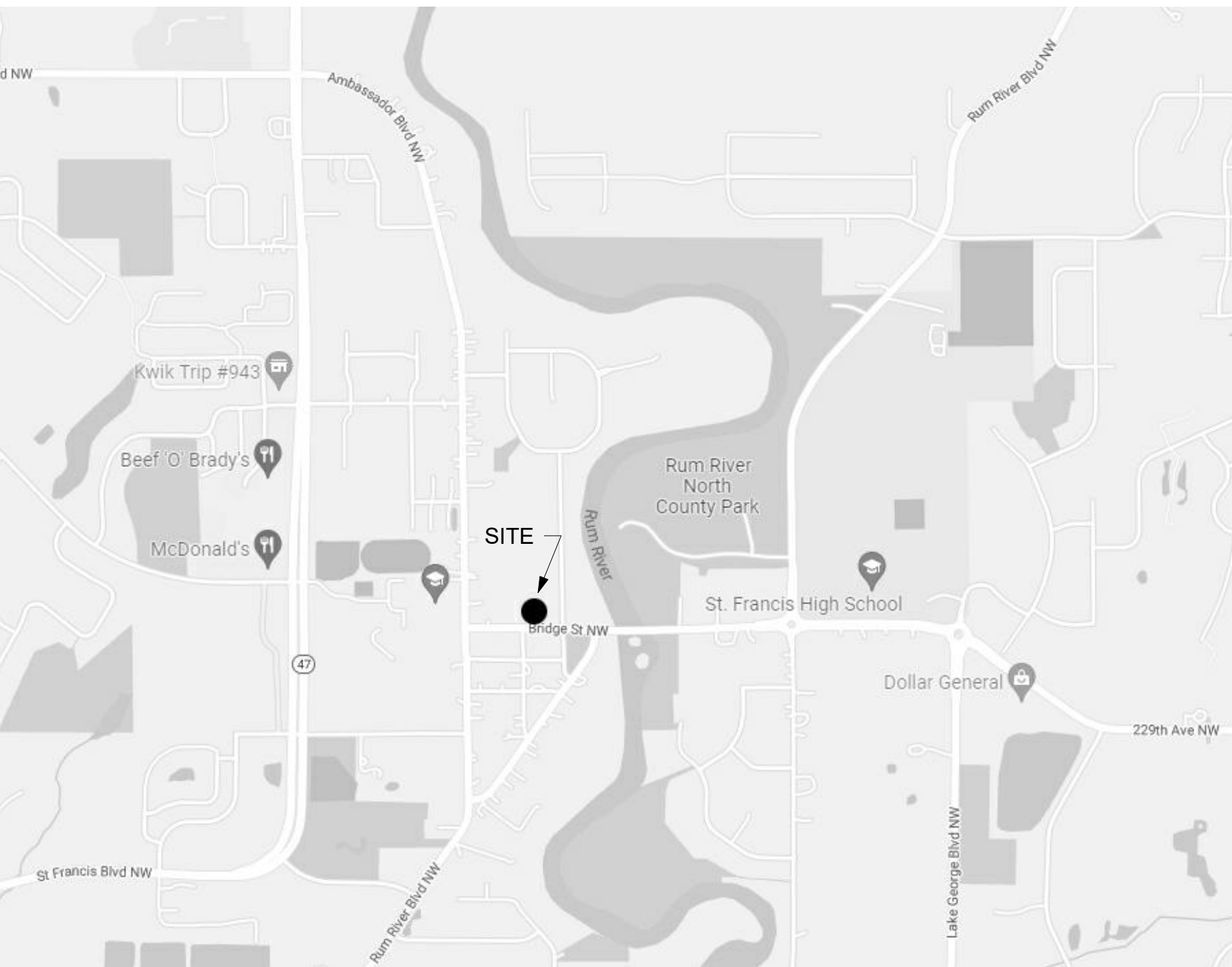
ARCHITECTURAL									
A000	TITLE SHEET								

SURVEY									
1 OF 1	SURVEY								

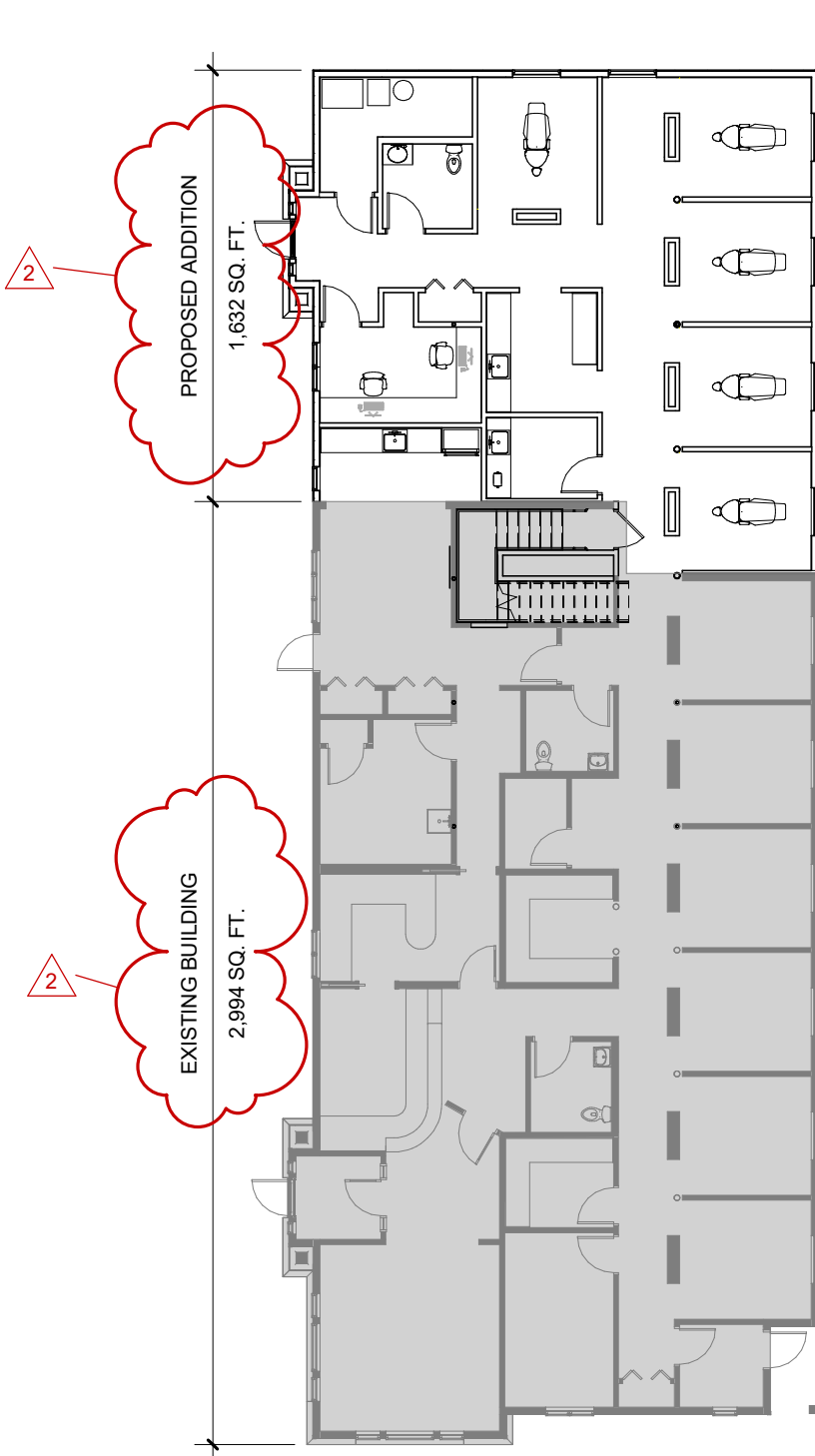
CIVIL									
1 OF 4	EXISTING CONDITIONS AND REMOVAL PLAN								
2 OF 4	SITE PLAN								
3 OF 4	GRADING, DRAINAGE & EROSION CONTROL PLAN								
4 OF 4	SITE DETAILS								

ARCHITECTURAL									
A001	ABBREVIATIONS, SYMBOLS & TYPICAL MOUNTING HEIGHTS								
A010	LIFE SAFETY PLANS								
A020	BUILDING SYSTEMS								
A040	ARCHITECTURAL SITE PLAN								
A041	ARCHITECTURAL SITE PLAN - PHASE 2								
A050	LANDSCAPE PLAN								
A100	DEMOLITION PLAN								
A200	FLOOR PLAN								
A202	ATTIC MECHANICAL PLAN								
A220	FINISH PLAN, LEGEND, AND SCHEDULE								
A230	REFLECTED CEILING PLANS								
A240	ROOF PLAN								
A300	EXTERIOR ELEVATIONS								
A400	BUILDING SECTIONS								
A420	WALL SECTIONS								
A500	EXTERIOR DETAILS								
A520	ROOF DETAILS								
A600	SCHEDULES / FRAMES TYPES								
A700	CASEWORK SCHEDULE								
A701	INTERIOR ELEVATIONS								
A710	INTERIOR SECTION & DETAILS								
A800	FURNITURE PLAN								

LOCATION MAP



KEY PLAN



PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
1	04/21/2022	SITE PLAN REVIEW
2	05/02/2022	REVISIONS PER CITY COMMENTS

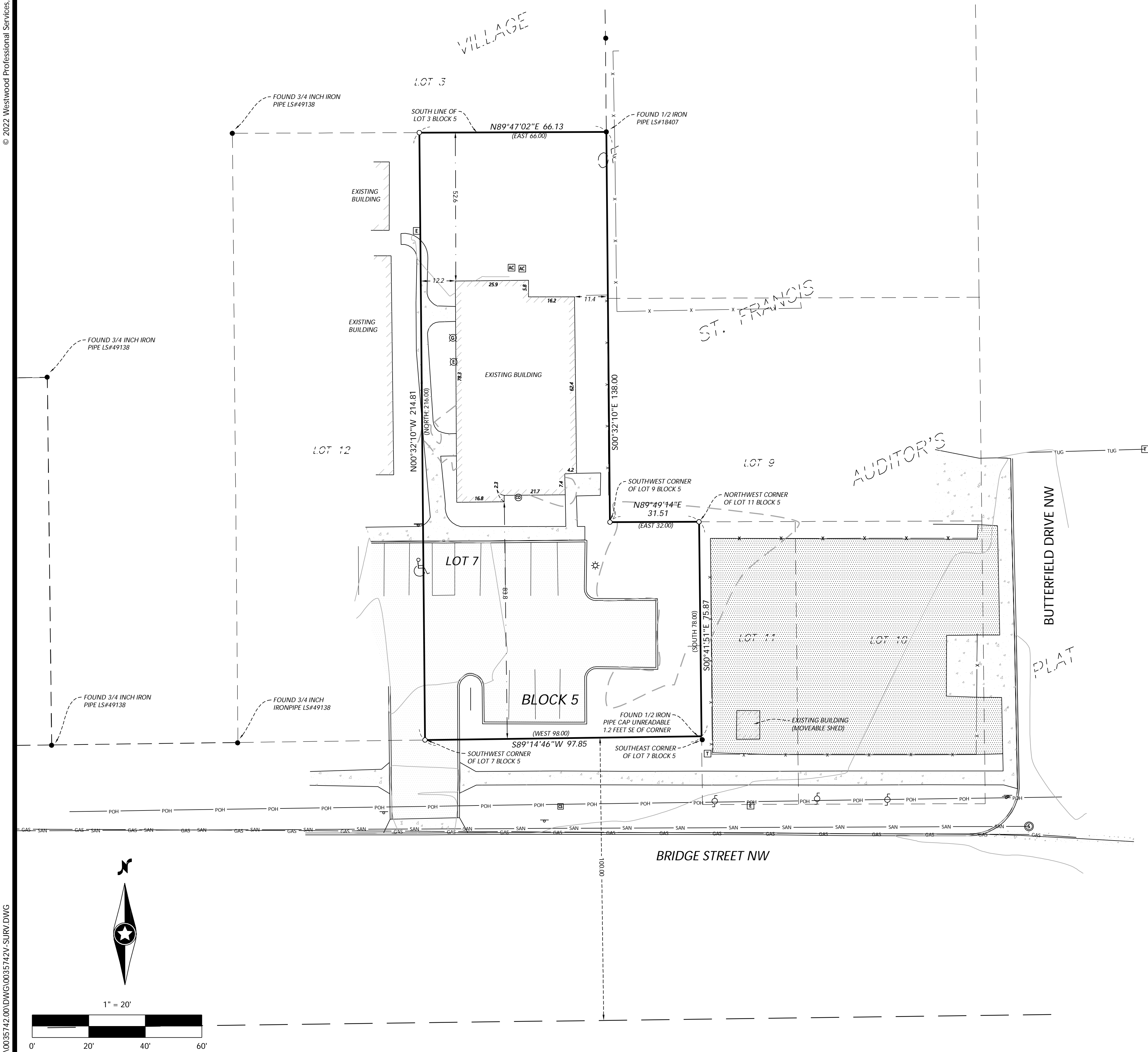
ST. FRANCIS DENTAL
CLINIC

3715 Bridge Street NW
St. Francis, MN 55070

TITLE SHEET

PROJECT NO. 22-014
DRAWN BY: xxx
CHECKED BY: xxx

A000



LEGAL DESCRIPTION (PER WARRANTY DEED NO. 2047427.001)

Commencing at the Southwest corner of Lot 7, Block 5, Village of St. Francis; thence North a distance of 216 feet to the South line of Lot 3, Block 5, Village of St. Francis; thence East a distance of 66 feet; thence South and parallel with the first course a distance of about 138 feet to the Southwest corner of Lot 9, Block 5, Village of St. Francis; thence East a distance of 32 feet to the Northwest corner of Lot 11, Block 5, Village of St. Francis; thence south a distance of 78 feet, more or less to the Southeast corner of said Lot 7; thence West a distance of 98 feet to the point of commencement, Anoka County, Minnesota.

GENERAL NOTES

- This survey was prepared without the benefit of a title commitment. No search for easements or restrictions was made by the Surveyor.
- Bearings shown are based upon the Anoka County Coordinate System, NAD 83, 96 adjustment.
- Total Area = 16,475 Sq. Ft or 0.378 Acres, more or less.

LEGEND

	SANITARY MANHOLE		AIR CONDITIONER		GAS LINE		CURB & GUTTER
	SEWER CLEANOUT		CURB STOP BOX		FIBER OPTIC		CONCRETE SURFACE
	ELECTRIC BOX		SIGN		FENCE LINE		BITUMINOUS SURFACE
	ELECTRIC METER		TELEPHONE BOX		SANITARY SEWER		FOUND MONUMENT (SEE LABEL)
	LIGHT POLE		FIBER OPTIC PEDESTAL		TELEPHONE UNDERGROUND		DENOTES SET 1/2" X 14" REBAR WITH CAP #53596
	POWER POLE		NATURAL GAS METER				(XX) Denotes Record Cardinal Direction and Distance

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

N:\0035742\00\DWG\0035742V SURV.DWG

DESIGNED:	INITIAL ISSUE:
CHECKED:	REVISIONS:
DRAWN: MSC	
HORIZONTAL SCALE: 20'	
VERTICAL SCALE: 4' OR 2'	

PREPARED FOR:
Sperides Reiners Architects, Inc.
642 City West Parkway #300
Eden Prairie, MN 55344

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA

Mathew J. Wieriski
DATE: 3/25/22 LICENSE NO. 53596

3715 Bridge Street
St. Francis, Minnesota

Westwood
Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

Certificate of Survey

PROJECT NUMBER: 0035742

SHEET NUMBER:
1 OF **1**
DATE: 3/25/22

Call 48 Hours before digging:

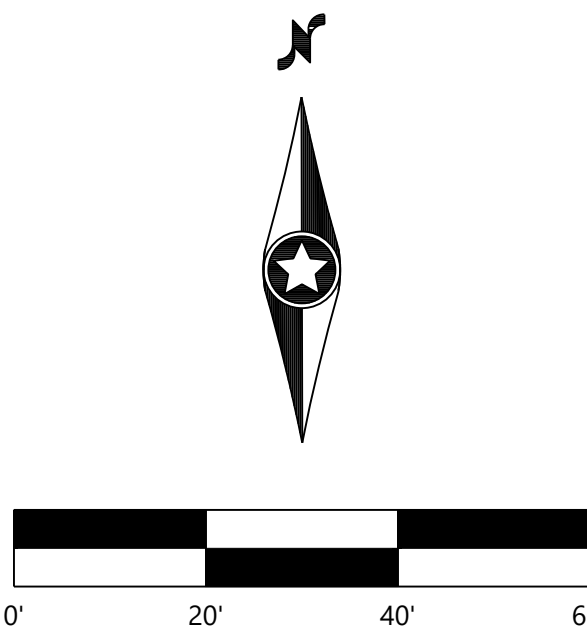
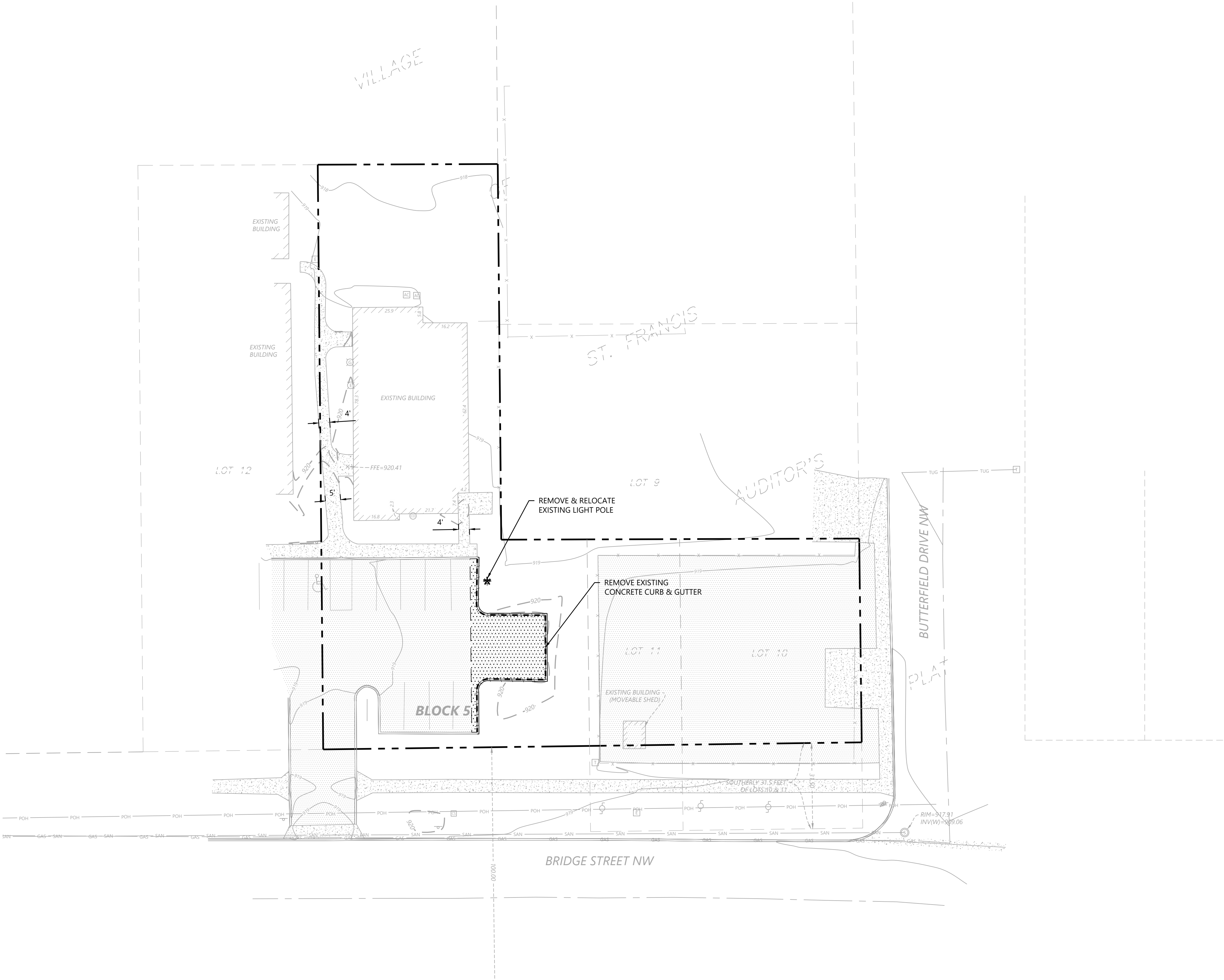
811 or call811.com
Common Ground Alliance

REMOVAL LEGEND

EXISTING	PROPOSED	
EXISTING	REMOVALS	PROPERTY LINE
SAN	X	SAW CUT PAVEMENT
WAT	X	CURB & GUTTER
STO	X	SANITARY SEWER
GAS	X	WATER MAIN
PUG	X	HYDRANT
POH	X	STORM SEWER
TUG	X	GAS
TOH	X	UNDERGROUND ELECTRIC
FO	X	OVERHEAD ELECTRIC
CTV	X	UNDERGROUND TELEPHONE
X	X	OVERHEAD TELEPHONE
	X	TELEPHONE FIBER OPTIC
	X	CABLE TELEVISION
	X	RETAINING WALL
	X	FENCE
	X	CONCRETE
	X	BITUMINOUS
	X	BUILDING
	X	TREE
	X	LIGHT POLE
	X	TRAFFIC SIGN
	X	CONSTRUCTION BARRICADE
	X	SOIL BORING LOCATION
	X	TREE LINE

REMOVAL NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.



PRELIMINARY

DESIGNED: BCW
CHECKED: BCW
DRAWN: JN
HORIZONTAL SCALE: 20'
VERTICAL SCALE:

INITIAL ISSUE: 04/20/22
REVISIONS:
05/03/22 CITY COMMENTS
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.

PREPARED FOR:
KURTIS S. HUETHER
3715 BRIDGE STEET NW
ST. FRANCIS, MN 55070

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME
OR UNDER MY DIRECT SUPERVISION AND THAT I AM A
DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MINNESOTA
BRAD C. WILKENING
DATE: 05/03/22 LICENSE NO. 26908

ST. FRANCIS DENTAL CARE
ST. FRANCIS, MN

Westwood
Phone (320) 253-9495 3701 12th Street North, Suite 206
Fax (320) 358-2001 St. Cloud, MN 56303
Toll Free (800) 270-9495 westwoodps.com
Westwood Professional Services, Inc.

EXISTING CONDITIONS &
REMOVAL PLAN

PROJECT NUMBER: 0035919.00

SHEET NUMBER:

1

OF

4

DATE: 05/03/22

Call 48 Hours before digging:

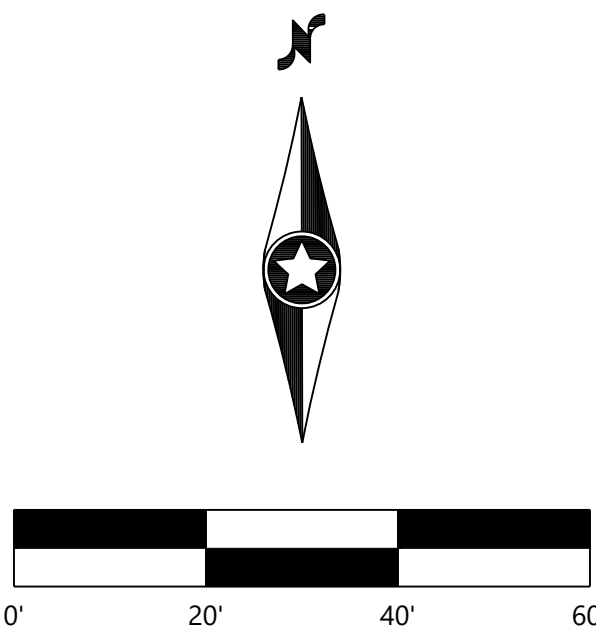
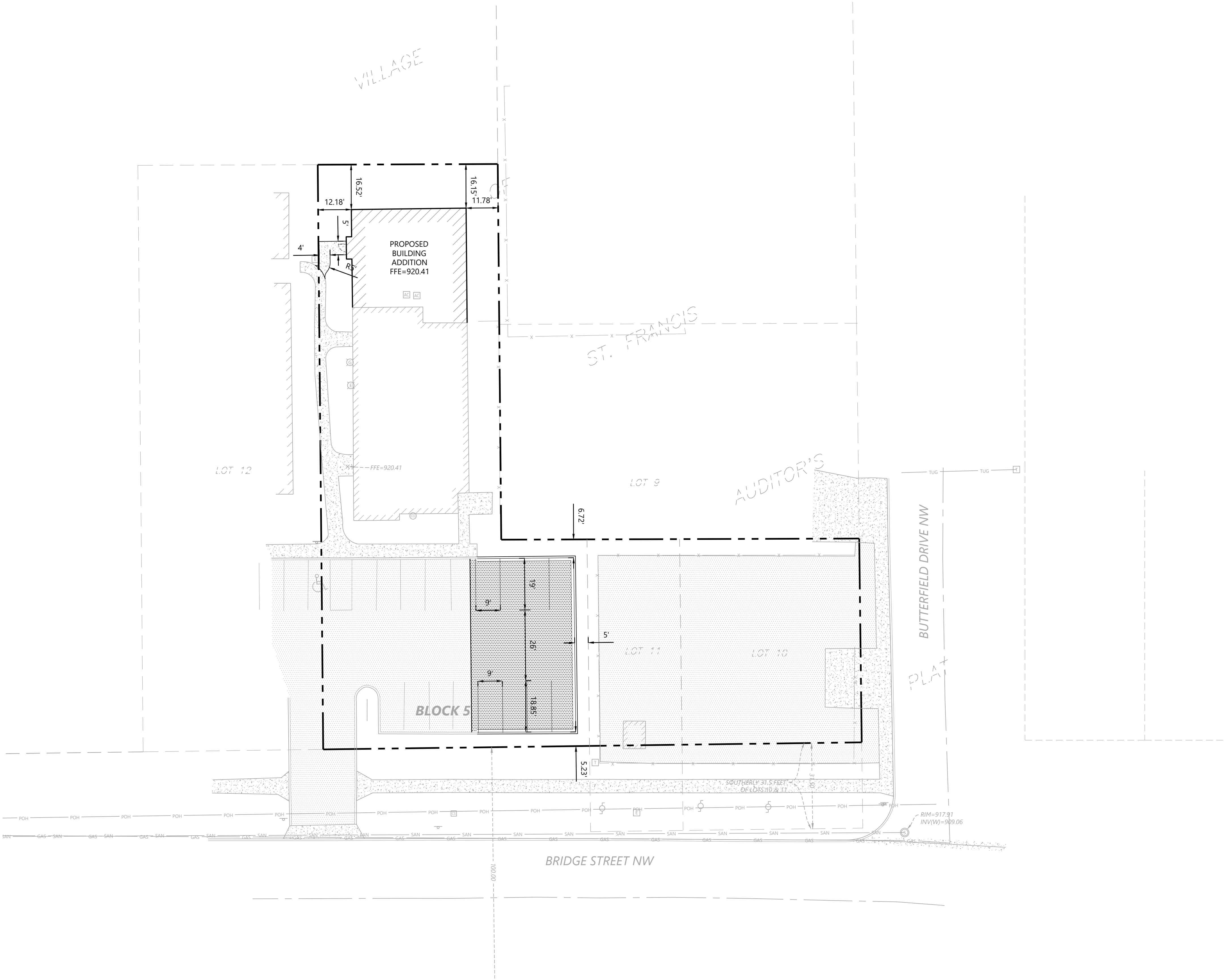
811 or call811.com
Common Ground Alliance

SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		HEAVY DUTY BITUMINOUS PAVEMENT
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST

GENERAL SITE NOTES

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, INC, MINNETONKA, MN, ON 02/16/22.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE **B612** UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.



PRELIMINARY

DESIGNED: BCW
CHECKED: BCW
DRAWN: JN
HORIZONTAL SCALE: 20'
VERTICAL SCALE:

INITIAL ISSUE: 04/20/22
REVISIONS:
05/03/22 CITY COMMENTS
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.

PREPARED FOR:
KURTIS S. HUETHER
3715 BRIDGE STEET NW
ST. FRANCIS, MN 55070

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME
OR UNDER MY DIRECT SUPERVISION AND THAT I AM A
DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MINNESOTA

BRAD C. WILKENING
DATE: 05/03/22 LICENSE NO. 26908

ST. FRANCIS DENTAL CARE
ST. FRANCIS, MN

Westwood

Phone (320) 253-9495 3701 12th Street North, Suite 206
Fax (320) 358-2001 St. Cloud, MN 56303
Toll Free (800) 270-9495 westwoodps.com
Westwood Professional Services, Inc.

SITE PLAN

PROJECT NUMBER: 0035919.00

SHEET NUMBER:

2

OF

4

DATE: 05/03/22

Call 48 Hours before digging:

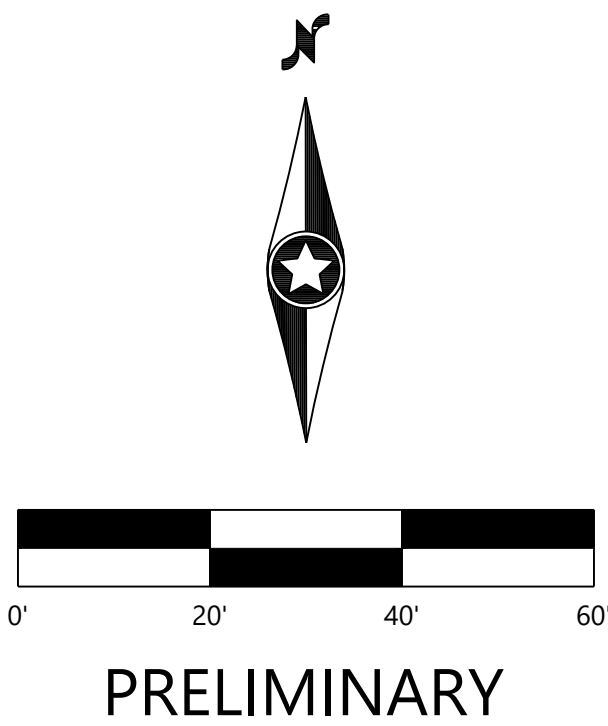
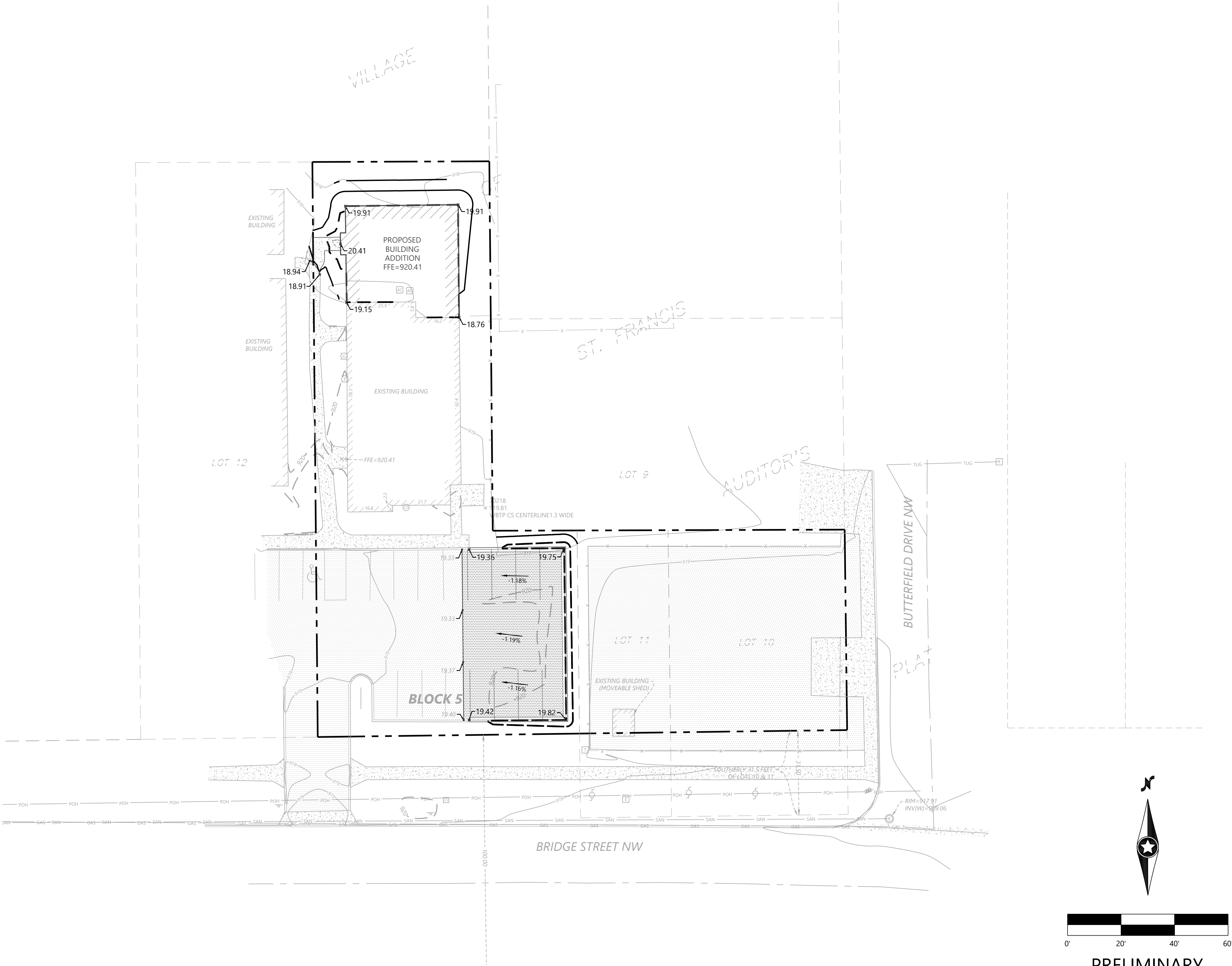
811 or call811.com
Common Ground Alliance

GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION

GRADING NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.



PRELIMINARY

DESIGNED: BCW
CHECKED: BCW
DRAWN: JN
HORIZONTAL SCALE: 20'
VERTICAL SCALE:

INITIAL ISSUE: 04/20/22
REVISIONS:
05/03/22 CITY COMMENTS
.
.
.
.
.

PREPARED FOR:
KURTIS S. HUETHER
3715 BRIDGE STEET NW
ST. FRANCIS, MN 55070

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME
OR UNDER MY DIRECT SUPERVISION AND THAT I AM A
DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MINNESOTA

BRAD C. WILKENING
DATE: 05/03/22 LICENSE NO. 26908

ST. FRANCIS DENTAL CARE
ST. FRANCIS, MN

Westwood

Phone (320) 253-9495 3701 12th Street North, Suite 206
Fax (320) 358-2001 St. Cloud, MN 56303
Toll Free (800) 270-9495 westwoodps.com
Westwood Professional Services, Inc.

**GRADING, DRAINAGE, &
EROSION CONTROL PLAN**

PROJECT NUMBER: 0035919.00

SHEET NUMBER:

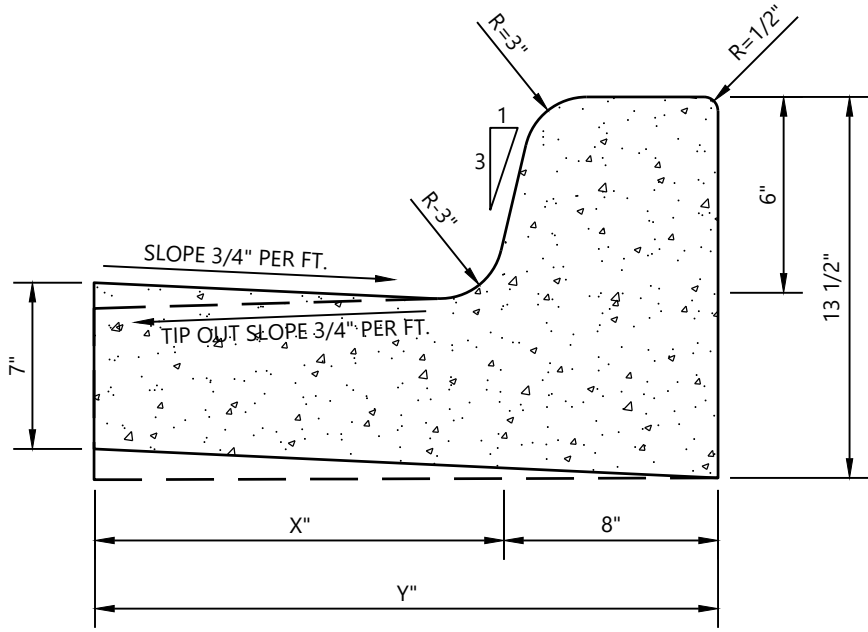
3

OF

4

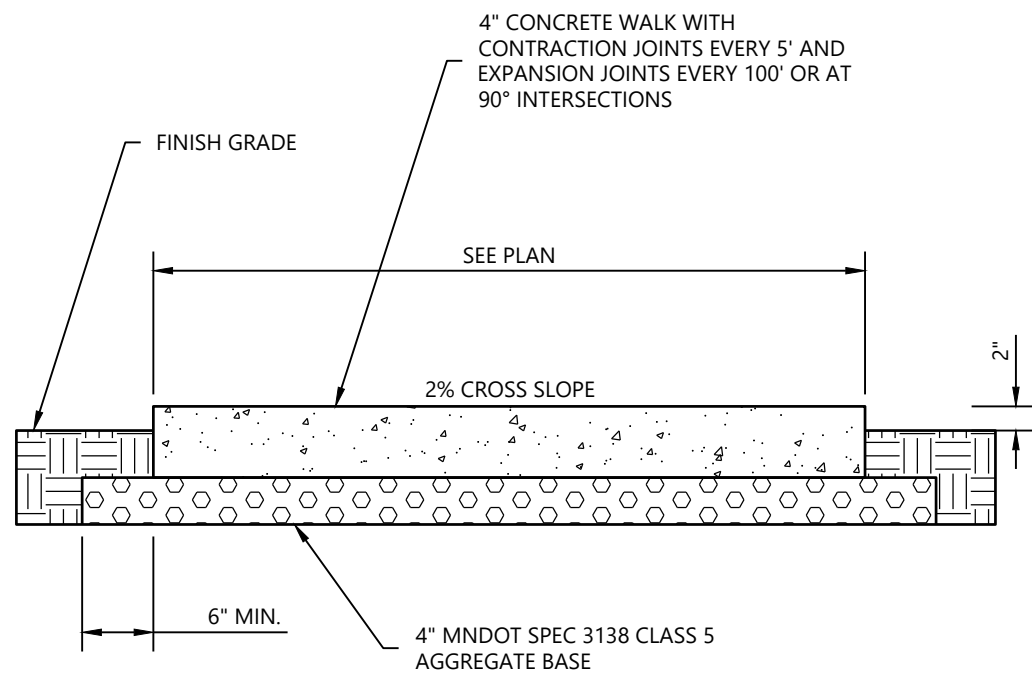
DATE: 05/03/22

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

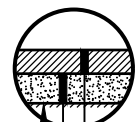


Curb Type	X	Y
B612	12"	20"
B618	18"	26"
B624	24"	32"

- NOTES:
1. EXPANSION JOINT SPACING IS 100'
 2. MIN. 3" CL 5 UNDER C.&G.
 3. CURB SHALL BE PER MnDOT SPEC 2531

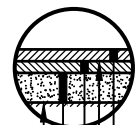


- NOTES:
1. SEE ARCHITECTURAL PLANS FOR WALK SCORING AND JOINT LAYOUT.
 2. WALK SHALL BE PER MnDOT SPEC 2521 MIX NO. 3A32 WITH A 28-DAY DESIGN STRENGTH OF 3900-PSI.



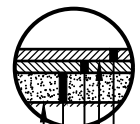
- X" CONCRETE PAVEMENT W/ #4 REBAR AT 16" O.C. EACH WAY
- X" MnDOT SPEC. 3138 CLASS 5
- COMPACTED SAND SUBGRADE (100% STANDARD PROCTOR)

CONCRETE PAVEMENT



- X" MnDOT TYPE SPWEA340E WEARING COURSE
- MNDOT SPEC. 2357 BITUMINOUS TACK COAT
- X" MnDOT TYPE SPNWB330E BASE COURSE
- X" MnDOT SPEC. 3138 CLASS 5
- COMPACTED SAND SUBGRADE (100% STANDARD PROCTOR)

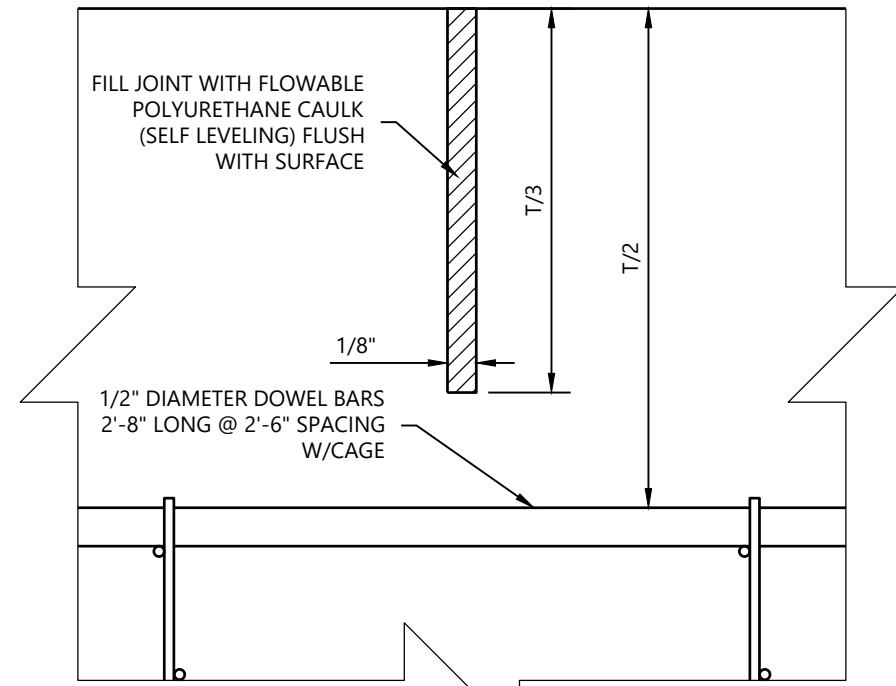
BITUMINOUS PAVEMENT (HEAVY DUTY)



- X" MnDOT TYPE SPWEA340E WEARING COURSE
- MNDOT SPEC. 2357 BITUMINOUS TACK COAT
- X" MnDOT TYPE SPNWB330E BASE COURSE
- X" MnDOT SPEC. 3138 CLASS 5
- COMPACTED SAND SUBGRADE (100% STANDARD PROCTOR)

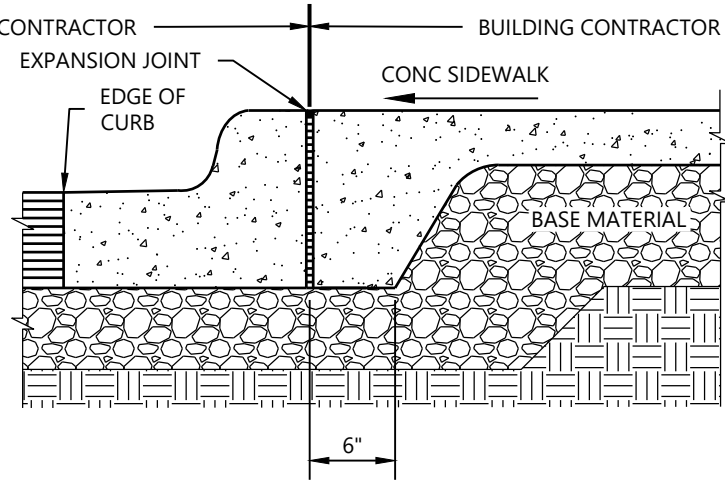
BITUMINOUS PAVEMENT (STANDARD DUTY)

PAVEMENT SECTIONS SHOWN ARE FOR PLANNING PURPOSES ONLY.
REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTIONS.



T = THICKNESS OF CONCRETE

- NOTE:
1. THE JOINT FACES SHALL BE CLEANED AND DRIED BY SANDBLASTING AND AIR BLASTING, PRIOR TO SEALING THE JOINT.



NOTE:
SEE STRUCTURAL PLANS FOR WALK SCORING AND JOINT LAYOUT.

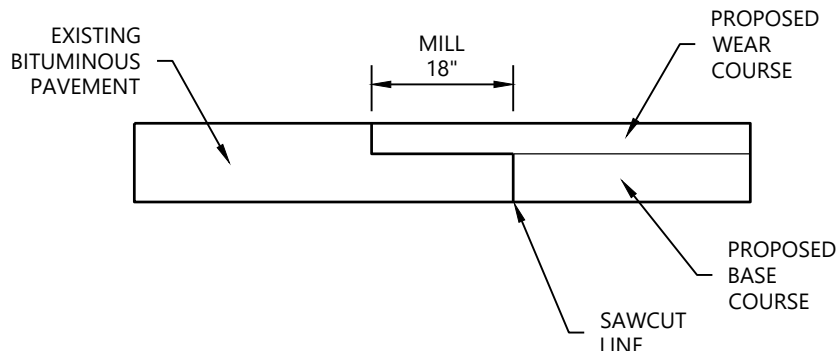
Westwood	B6 STYLE CURB AND GUTTER	LAST REVISED: 01/09/20 SI01
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Westwood	PRIVATE CONCRETE SIDEWALK	LAST REVISED: 08/15/17 SI08
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Westwood	PAVEMENT SECTIONS	LAST REVISED: 08/15/17 SI19
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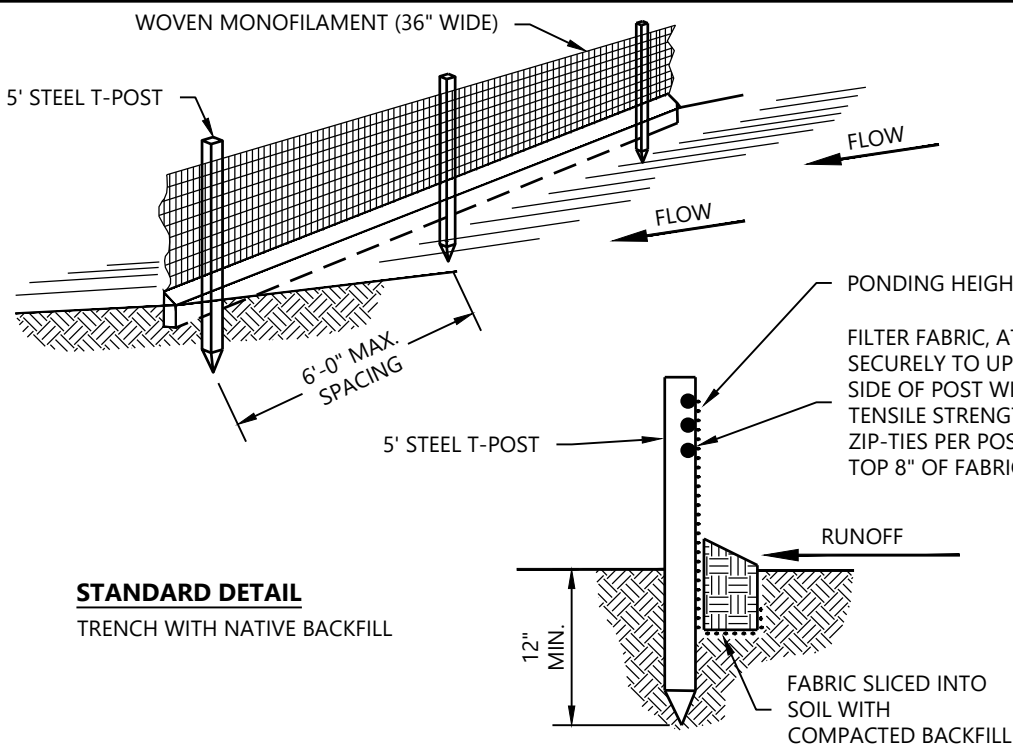
Westwood	SAW CUT CONTROL JOINT	LAST REVISED: 08/15/17 SI22
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Westwood	CONCRETE CURB AT SIDEWALK	LAST REVISED: 08/15/17 SI24
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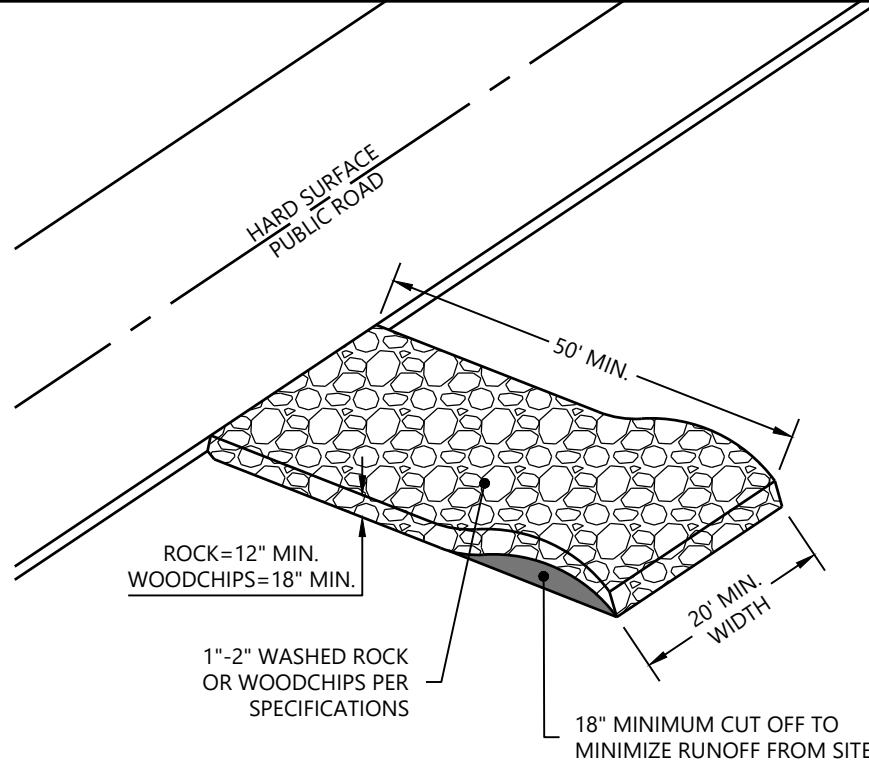
- NOTE:
1. PRIOR TO PLACEMENT OF WEAR COURSE, CONTRACTOR SHALL MILL 18" OF THE EXISTING PAVEMENT TO A DEPTH EQUAL TO THE PROPOSED WEAR COURSE.

Westwood	MILLING AT SAWCUT	LAST REVISED: 06/26/19 SI53
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- NOTES:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN ACCUMULATED TO 1/2 THE HEIGHT OF THE FABRIC OR MORE.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 4. ALL ENDS OF THE SILT FENCE SHALL BE WRAPPED UPSLOPE SO THE ELEVATION OF THE BOTTOM OF FABRIC IS HIGHER THAN "PONDING HEIGHT".
 5. "HEAVY DUTY" IS SAME AS MACHINE SLICED ONLY HAND INSTALLED.

Westwood	MACHINE SLICED SILT FENCE (HEAVY DUTY)	LAST REVISED: 08/15/17 GD03
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- NOTES:
1. FILTER FABRIC SHALL BE PLACED UNDER ROCK/WOOD CHIPS TO STOP MUD MIGRATION THROUGH ROCK/WOOD CHIPS.
 2. WOODCHIPS USED FOR CONSTRUCTION ENTRANCES MUST BE 80% NOT LESS THAN 2-INCHES AND NOT MORE THAN 5-INCHES. NO CHIPPED-UP MANUFACTURED WOOD AND/OR CHEMICALLY TREATED IS ALLOWED.
 3. ENTRANCES MUST BE MAINTAINED REGULARLY TO PREVENT SEDIMENTATION ON PUBLIC ROADWAYS. FUGITIVE ROCK OR WOODCHIPS WILL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.
 4. LENGTH AND WIDTH TO BE ADJUSTED FOR SITE CONDITIONS.

Westwood	CONSTRUCTION ENTRANCE	LAST REVISED: 08/15/17 GD05
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PRELIMINARY

DESIGNED: BCW
CHECKED: BCW
DRAWN: JIN
HORIZONTAL SCALE:
VERTICAL SCALE:

INITIAL ISSUE: 04/20/22
REVISIONS:
05/03/22 CITY COMMENTS
.
.
.
.

PREPARED FOR:
KURTIS S. HUETHER
3715 BRIDGE STEET NW
ST. FRANCIS, MN 55070

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

BRAD C. WILKENING
DATE: 05/03/22 LICENSE NO. 26908

ST. FRANCIS DENTAL CARE
ST. FRANCIS, MN

Westwood

Phone (320) 253-9495 3701 12th Street North, Suite 206
Fax (320) 358-2001 St. Cloud, MN 56303
Toll Free (800) 270-9495 westwoodps.com
Westwood Professional Services, Inc.

DETAILS

PROJECT NUMBER: 0035919.00

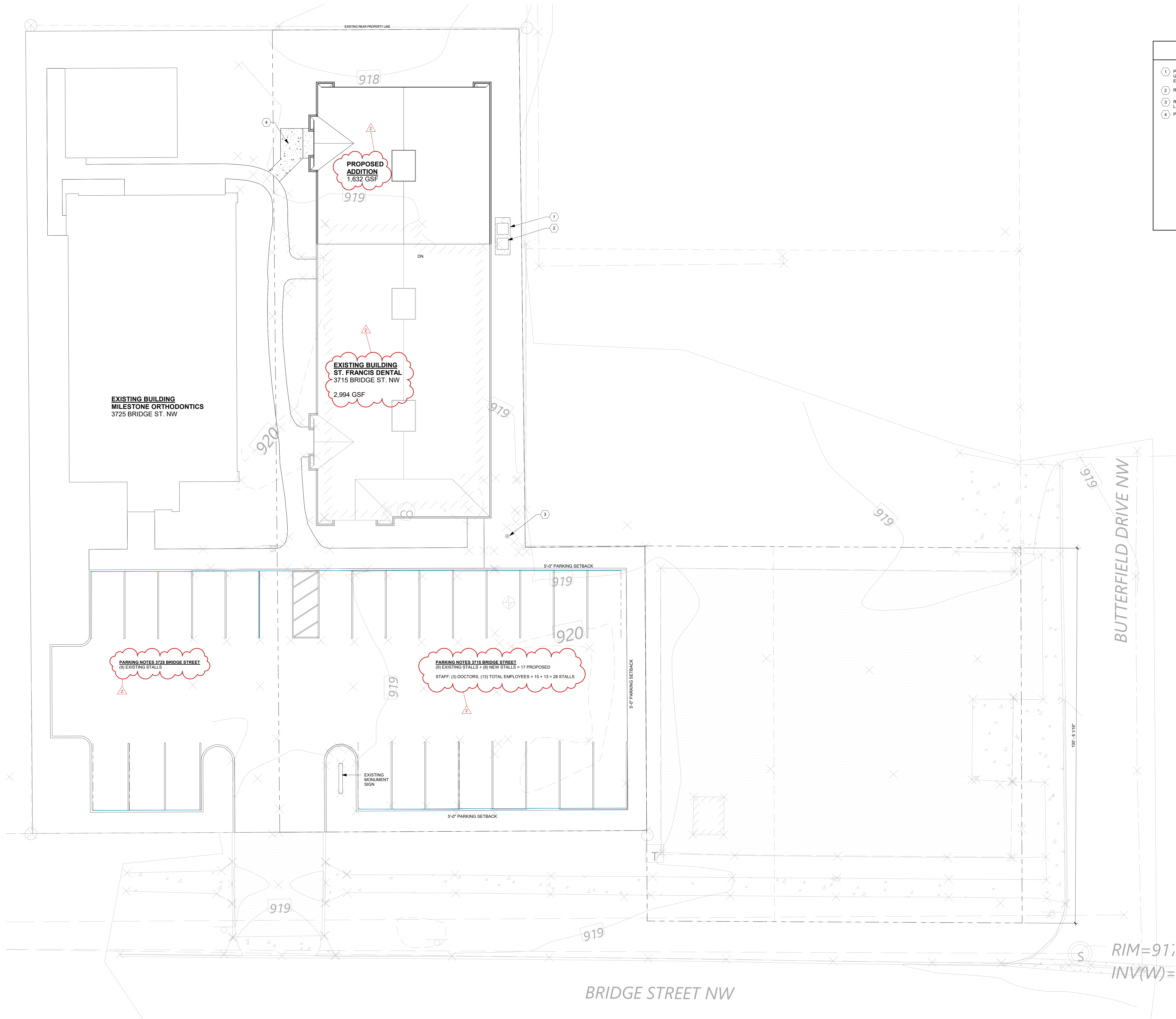
SHEET NUMBER:

4

OF

4

DATE: 05/03/22



SITE PLAN KEYNOTES	
1	PROVIDE CONCRETE PAD FOR RELOCATED A/C CONDENSING UNITS. VERIFY PAD SIZE REQUIRED WITH SIZE AND NUMBER OF EXISTING UNITS.
2	RELOCATED A/C CONDENSING UNITS.
3	RELOCATED OR NEW PARKING LOT POLE LIGHT. SEE SITE LIGHTING PLAN.
4	PROVIDE NEW CONCRETE WALK.

1 SITE PLAN
A040 SCALE: 1" = 10'-0"

Agenda Item # 7A.

SRA

ARCHITECTURE + INTERIORS

6442 CITY WEST PARKWAY
SUITE 300
EDEN PRAIRIE, MINNESOTA 55344
PH: 952-996-9662
WWW.SRA-MN.COM

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PRELIMINARY
NO FOR
CONSTRUCTION

ISSUE RECORD	
ISSUE #	DESCRIPTION
1	DATE: 04/27/2022 SEE PLAN REVIEW
2	DATE: 05/02/2022 REVISIONS/CITY COMMENTS

ST. FRANCIS DENTAL
CLINIC
3715 Bridge Street NW
St. Francis, MN 55070

ARCHITECTURAL SITE
PLAN

PROJECT NO. 22-014
DRAWN BY: NR
CHECKED BY: ER

PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	SIZE	
RB	1	RIVER BIRCH CLUMP	Betula nigra	B & B		8' HGT	
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	SIZE	
BS	2	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'	B & B		6' HGT	
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	SIZE	
SSC	2	SPRING SNOW CRABAPPLE	Malus x 'Spring Snow'	B & B	1.5" Cal		
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	FIELD3	SPACING
BLS	7	BIRCH-LEAF SPIREA	Spiraea x betulifolia 'Tor'	5 gal	24" HGT		36" o.c.
LN	4	LITTLE DEVIL NINEBARK	Physocarpus opulifolius 'Little Devil' TM	5 gal	24" HGT		48" o.c.
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	FIELD3	SPACING
FG	40	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 gal			30" o.c.
SH	23	PRAIRIE DROPSEED	Sporobolus heterolepis	1 gal			24" o.c.
CONIFEROUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	FIELD3	SPACING
SJ	16	SCANDIA JUNIPER	Juniperus sabina 'Scandia'	5 gal	18" SPRD		48" o.c.
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	FIELD3	SPACING
PHO	18	PATRIOT HOSTA	Hosta x 'Patriot'	1 gal			24" o.c.
SSD	33	STELLA SUPREME DAYLILY	Hemerocallis x 'Stella Supreme'	1 gal			24" o.c.

GENERAL NOTES

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY ARCHITECT.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TREES IN A PLUMB POSITION THROUGH THE WARRANTY PERIOD. STAKING IS SUGGESTED, BUT NOT REQUIRED. ANY STAKING MUST CONFORM WITH PRACTICES AS DEFINED IN A.N.A. GUIDELINES FOR STANDARD PRACTICES.

PRUNE ANY DAMAGED AND CROSSING BRANCHES AFTER PLANTING IS COMPLETE.

CUT BACK WIRE BASKET WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.

16"-2" POLYPROPYLENE OR POLYETHYLENE STRAP

TREE WRAP TO FIRST BRANCH

SAFETY FLAGGING - ONE PER WIRE

ROOT FLARE EVEN WITH OR JUST ABOVE GRADE

MULCH - 4" DEEP. NO MULCH IN CONTACT WITH TRUNK - SEE NOTES OR SPEC.

BACKFILL WITH IN SITU TOPSOIL

WOOD STAKE (OPTIONAL)

EDGE VARIES - SEE PLAN

SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING

SET PLANT ON UNDISTURBED NATIVE SOIL

CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF POOR DRAINAGE EXISTS.

PRUNE ANY DAMAGED BRANCHES AFTER PLANTING IS COMPLETE.

WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.

16"-2" POLYPROPYLENE OR POLYETHYLENE STRAP

SAFETY FLAGGING - ONE PER WIRE

MULCH - 4" DEEP - SEE NOTES OR SPEC. MULCH MUST NOT BE IN CONTACT WITH TRUNK.

BACKFILL WITH IN SITU TOPSOIL

WOOD STAKE (OPTIONAL)

EDGE VARIES - SEE PLAN

SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING

ROOT BALL SET ON UNDISTURBED SUBGRADE

CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF POOR DRAINAGE EXISTS.

SHRUBS TO BE PLACED SO THAT TOP OF CONTAINER SITS FLUSH WITH PROPOSED GRADE.

PLANTING SOIL - SEE NOTES OR SPEC.

MULCH - 3" DEPTH - SEE NOTES OR SPEC.

LANDSCAPE FABRIC - SEE NOTES OR SPEC.

EDGING MATERIAL - SEE NOTES OR SPEC.

EDGE VARIES - REFER TO PLAN

LOOSEN ROOTS OF ALL CONTAINERIZED PLANTS. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING

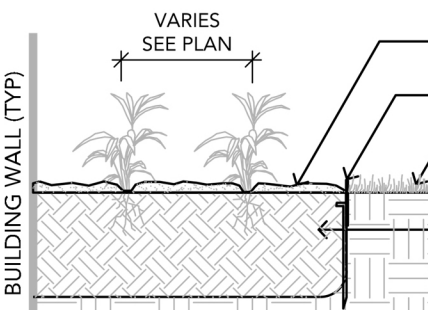
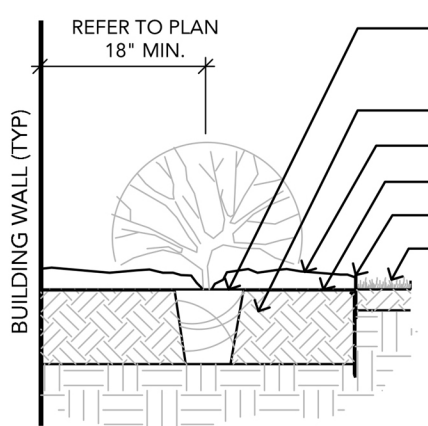
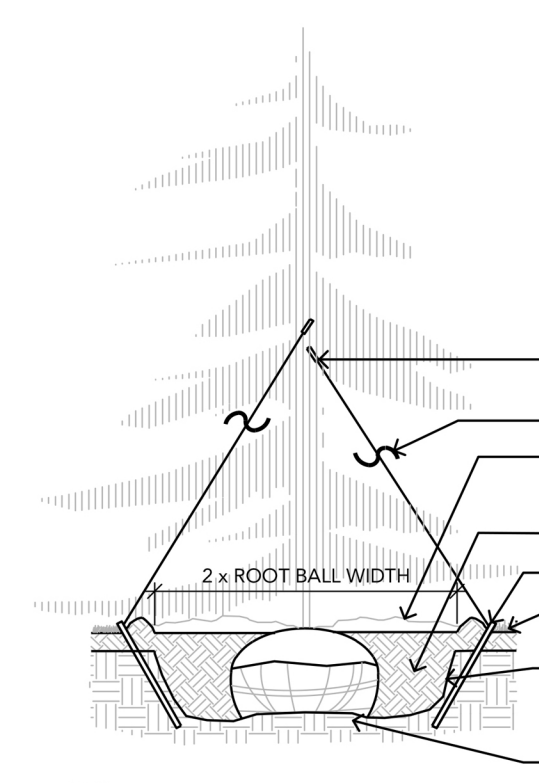
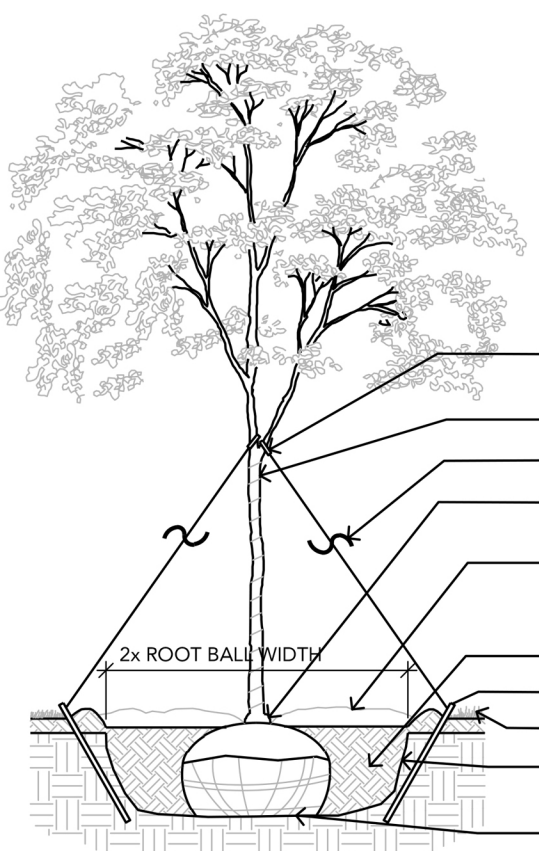
MULCH - 3" MIN DEPTH - SEE NOTES

EDGING MATERIAL - SEE NOTES

EDGE VARIES - REFER TO PLAN

12" DEPTH (MIN LOAM PLANTING SOIL - SEE NOTES)

LOOSEN ROOTS OF PLANT MATERIAL PRIOR TO PLANTING



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CONSTRUCTION

ISSUE RECORD	DATE	DESCRIPTION
1	04/21/2022	SITE PLAN REVIEW

**ST. FRANCIS
DENTAL CLINIC**
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St. Francis, MN 55070

LANDSCAPE
PLAN

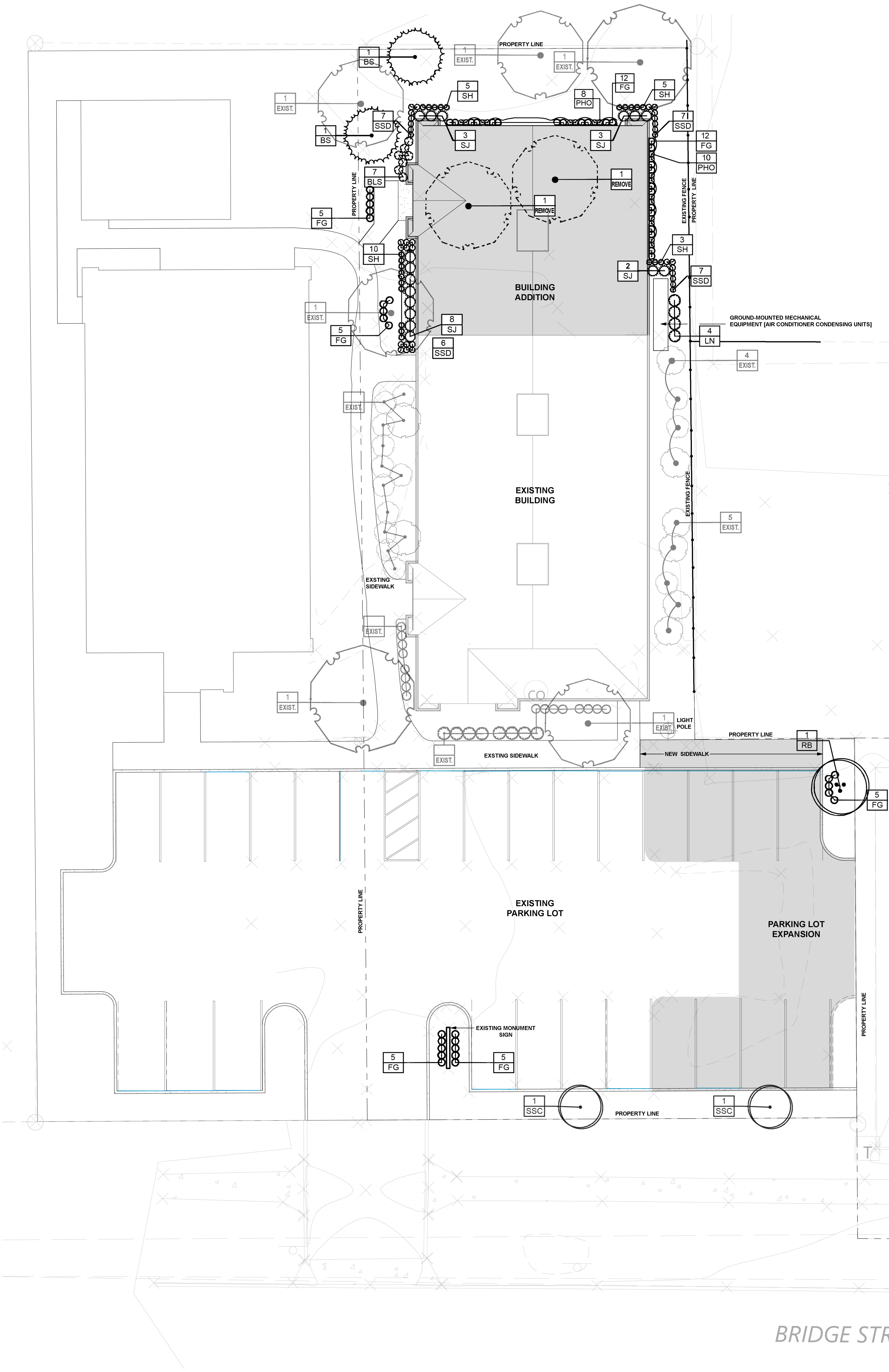
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BY:

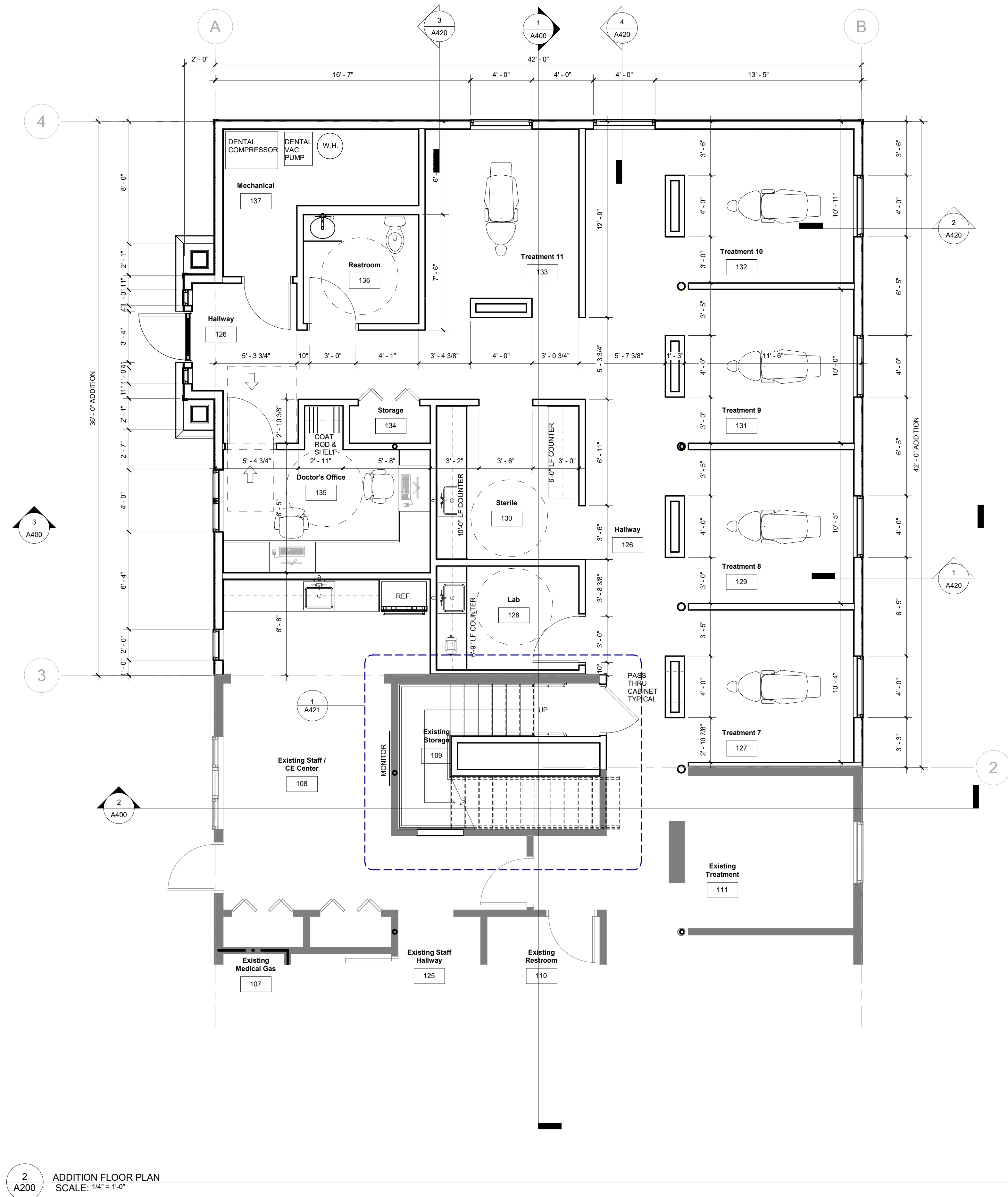
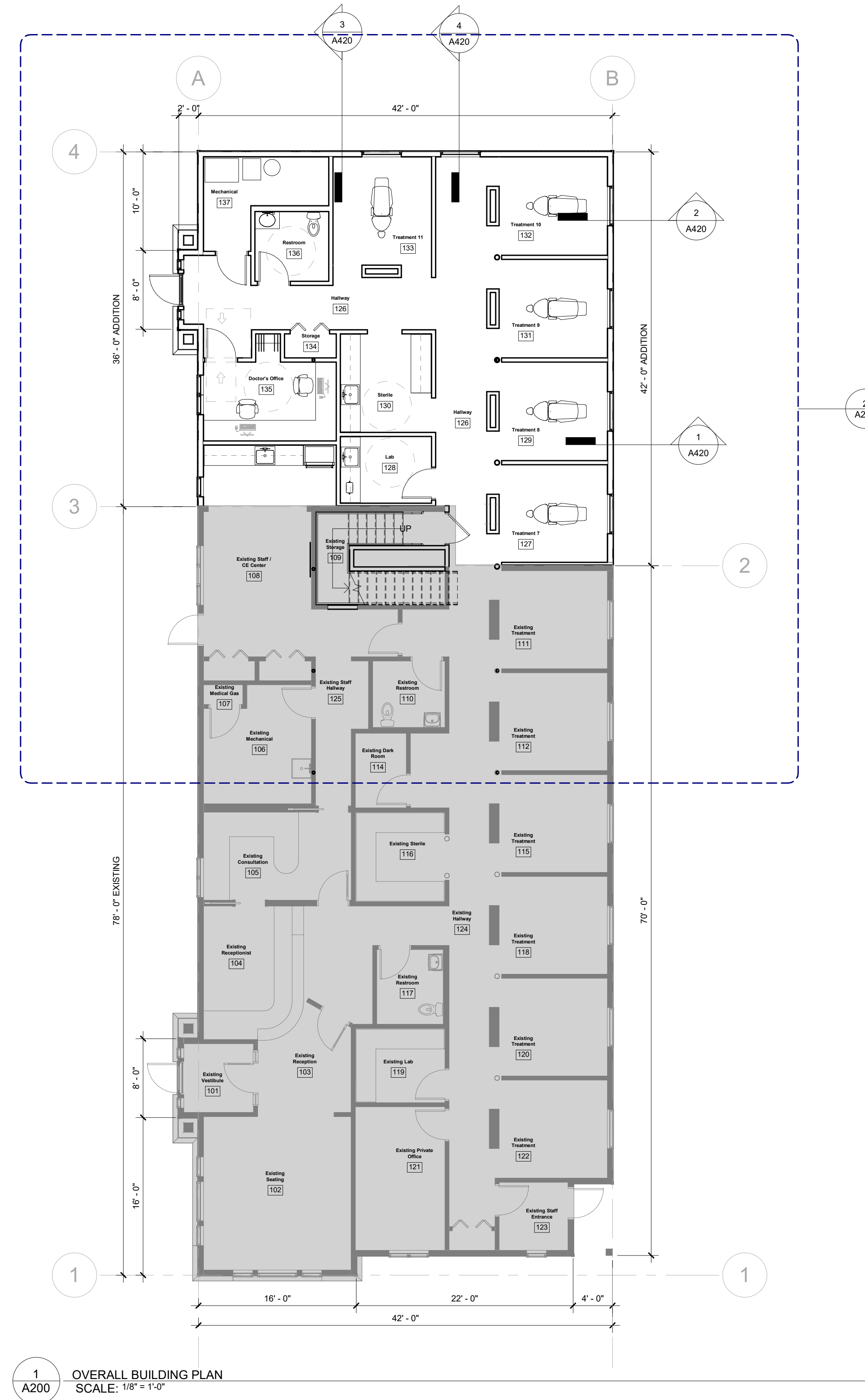
A050

BRIDGE STREET NW

BUTTERFIELD DRIVE NW

RIM=91;
INV(W)=





- FLOOR PLAN GEN. NOTES**
- A. DRAWINGS SHOULD NOT BE SCALED - DIMENSIONS GOVERN. CONTACT ARCHITECT FOR CLARIFICATION.
 - B. ALL PARTITIONS TO BE "X" UNLESS NOTED OTHERWISE.
 - C. SEE SHEET A200 FOR BUILDING SYSTEM INFORMATION.
 - D. SEE SHEET A201 FOR PARTITION TYP INFORMATION.
 - E. DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF GYP BD UNLESS NOTED OTHERWISE.
 - F. THE TYPICAL DIMENSION FROM OUTSIDE EDGE OF DOOR FRAME TO THE FACE OF ADJACENT PERPENDICULAR WALL IS 3" UNLESS NOTED OTHERWISE.
 - G. ALL WALLS TO DECK TO BE CONSTRUCTED TO ACCOMMODATE DEFLECTION OF ROOF STRUCTURE.
 - H. PROVIDE MOISTURE RESISTANT GYP BD AT ALL WET WALLS.
 - I. PROVIDE CONTROL JOINTS IN GYP BD AS RECOMMENDED BY MANUFACTURER.
 - J. COORDINATE UNDERGROUND AND UNDER SLAB UTILITIES. COORDINATE ALL SLEEVES THROUGH / UNDER FOOTING AND FOUNDATION W/ STRUCTURAL ENGINEER.
 - K. PROVIDE FIRE EXTINGUISHERS OF SIZE AND TYPE AND LOCATION AS REQUIRED BY THE FIRE MARSHALL.
 - L. VERIFY / COORDINATE LOCATION OF KNOX BOX WITH LOCAL FIRE MARSHALL (IF REQUIRED).
 - M. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO STRUCTURAL COMPONENT SIZES, LOCATIONS, CONFIGURATIONS, AND CAPACITIES.
 - N. STAIR SUPPLIER SHALL BE RESPONSIBLE FOR CODE COMPLIANCE AND STRUCTURAL INTEGRITY FOR ALL MATERIALS FURNISHED.
 - O. SUBCONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. ANY OMISSIONS, DISCREPANCIES, OR CONFLICTS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.
 - P. AT PENETRATIONS OCCURRING IN A FIRE-RATED ENCLOSURE, THE SPACE AROUND PENETRATION SHALL BE FIRE STOPPED TO MEET REQUIRED RATING.
- FLOOR PLAN KEYNOTES**
- 1 ALIGN PARTITION WITH EXG WDW MULLION

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CONSTRUCTION

ISSUE RECORD	
ISSUE #	DESCRIPTION
1	04/27/2022 SEE PLAN REVIEW

ST. FRANCIS DENTAL
CLINIC
3715 Bridge Street NW
St. Francis, MN 55070

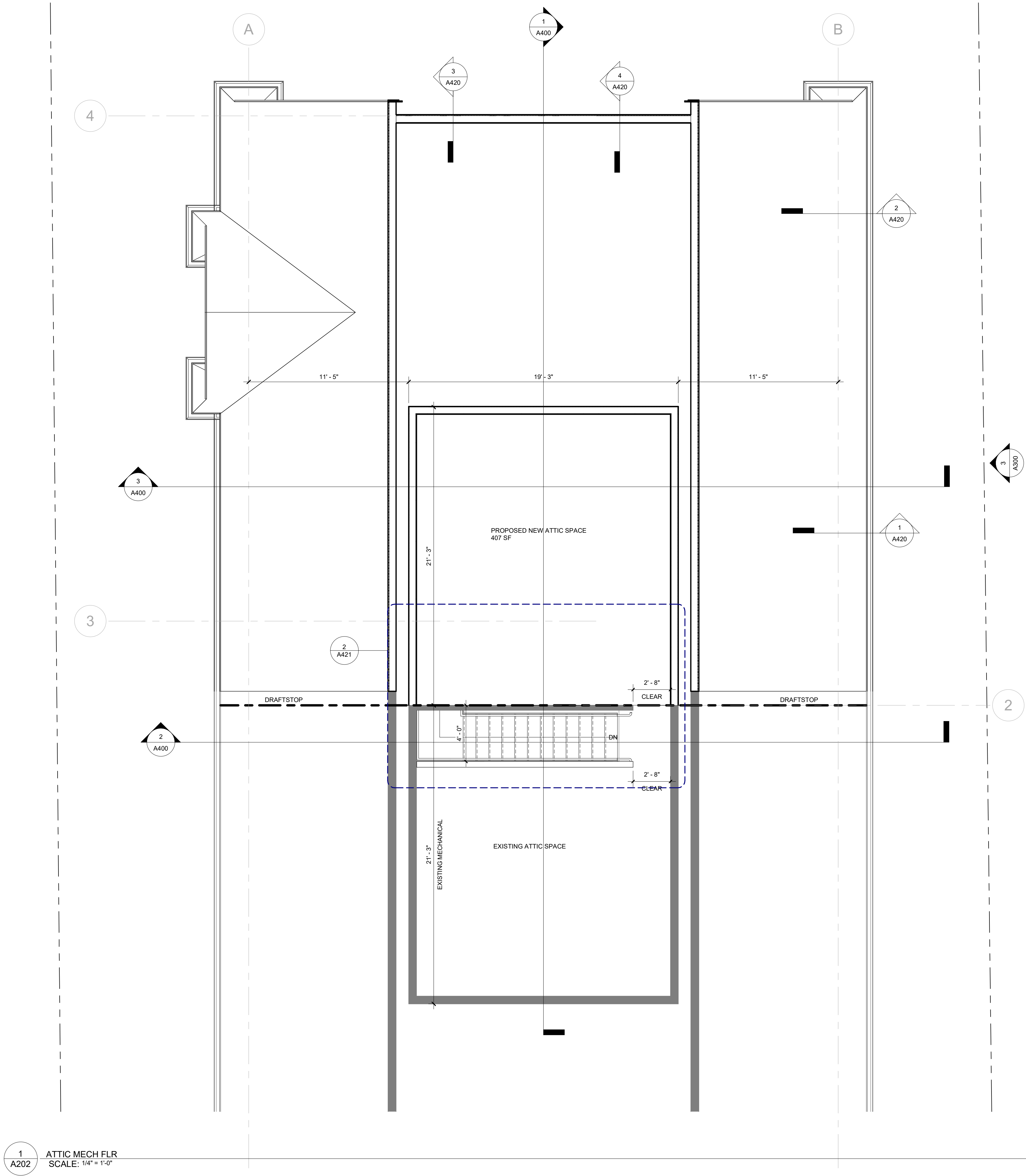
FLOOR PLAN

PROJECT NO: 22-014
DRAWN BY: NR
CHECKED BY: ER

A200

5/2/2022 4:31:11 PM

61



1
A202
ATTIC MECH FLR
SCALE: 1/4" = 1'-0"

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CONSTRUCTION

ISSUE RECORD	
ISSUE #	DESCRIPTION
1	DATE: 04/27/2022 DRAWN BY: SEE PLAN REVIEW

ST. FRANCIS DENTAL
CLINIC
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St. Francis, MN 55070

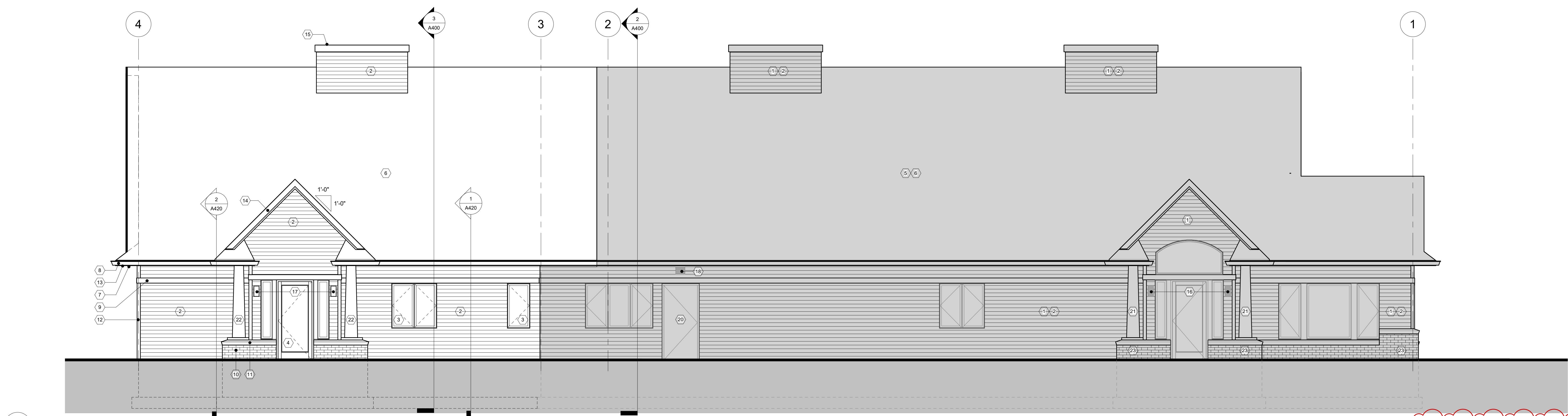
ATTIC MECHANICAL
PLAN

PROJECT NO: 22-014
DRAWN BY: Author
CHECKED BY: Checker

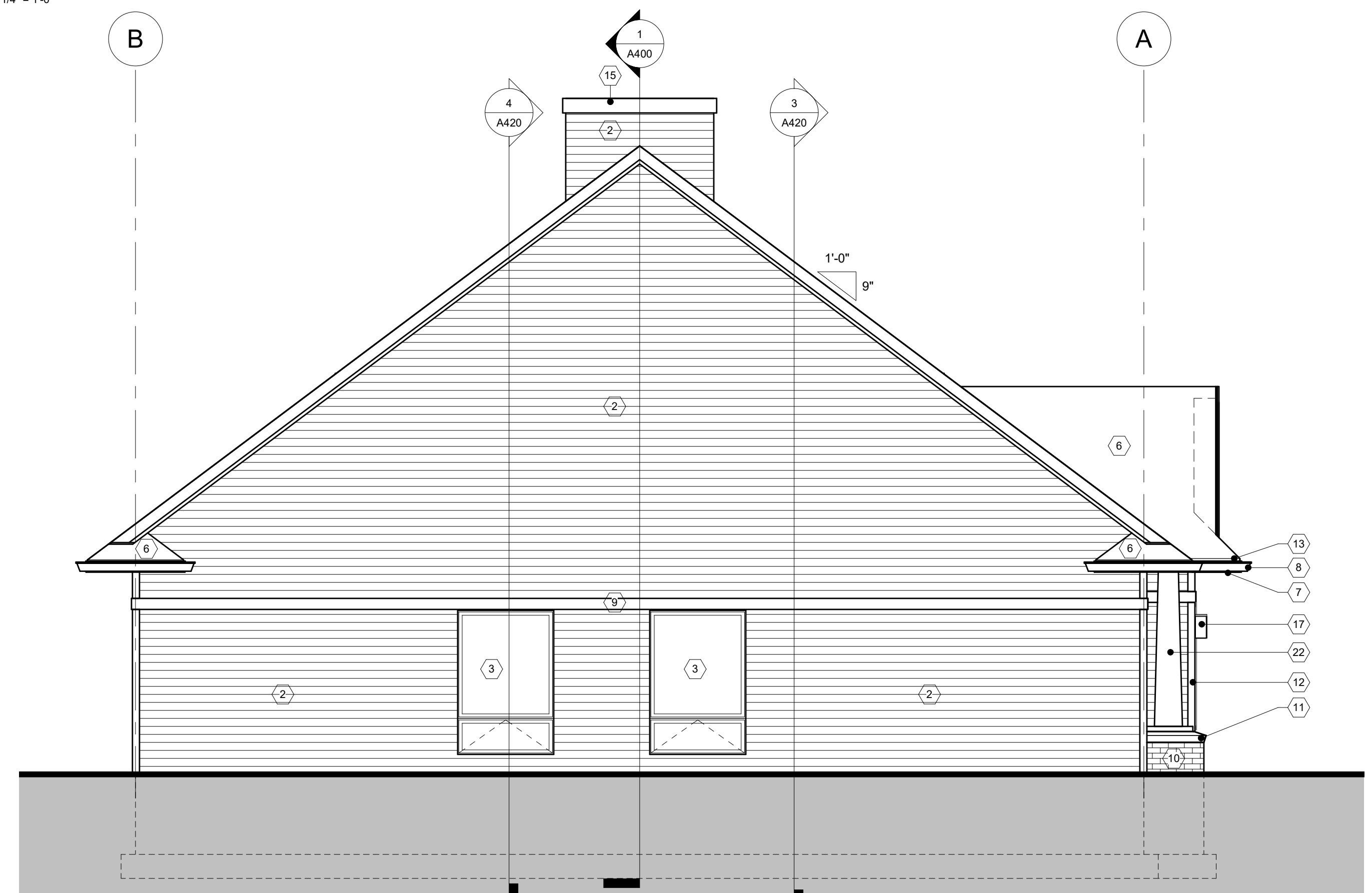
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6442 CITY WEST PARKWAY
SUITE 300
EDEN PRAIRIE, MINNESOTA 55344
PH: 952-996-9662
WWW.SRA-MN.COM

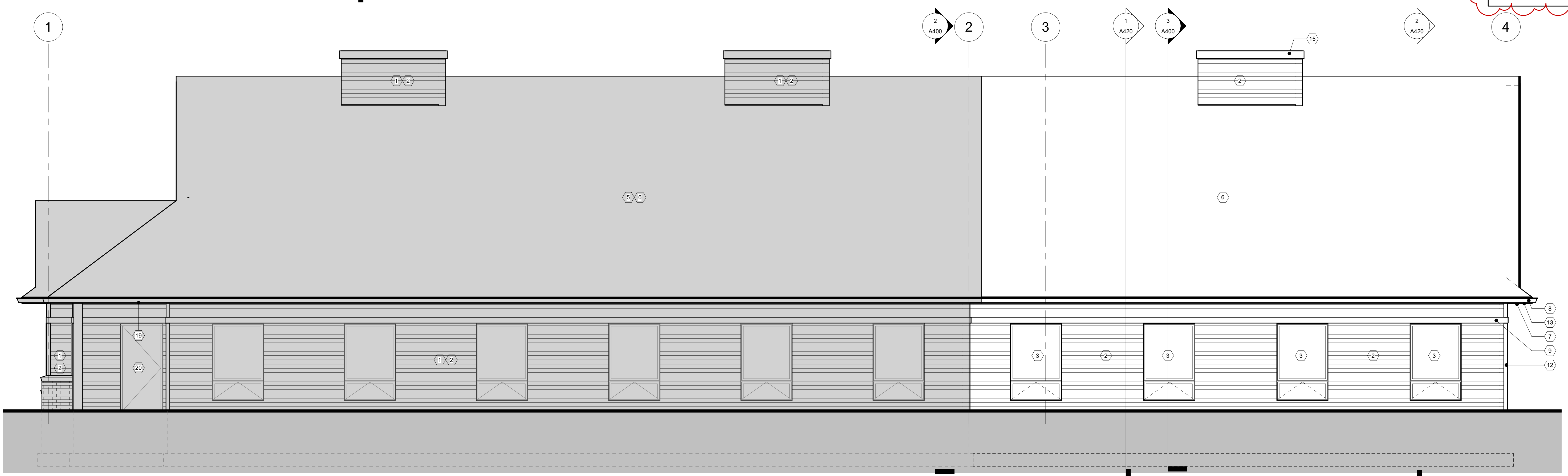
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1
A300 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2
A300 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3
A300 EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

- EXISTING VINYL SIDING TO BE REPLACED WITH LP SMARTSIDE.
- LP SMARTSIDE LAP SIDING, 6 INCH WIDE, 5 INCH REVEAL. TEXTURE: CEDAR TEXTURE OR SMOOTH. COLOR: TBD.
- WINDOWS - MATCH EXISTING ANDERSEN 400 SERIES CASEMENT, AWNING, AND FIXED. VINYL EXTERIOR, WOOD INTERIOR, TERRATONE.
- NEW ALUMINUM ENTRANCE DOOR - MATCH EXISTING KAWNEER 350 MEDIUM STYLE ENTRANCE. COLOR: SEA WOLF. FIELD VERIFY.
- REMOVE EXISTING ASPHALT SHINGLES, UNDERLAYMENT, AND VERIFY CONDITION OF SHEATHING. REPLACE SHEATHING AS REQUIRED.
- ASPHALT ARCHITECTURAL SHINGLES: COLOR TBD
- PREFINISHED METAL SOFFIT PANELS: MATCH EXISTING PLAIN & VENTED RIBBED PANELS, EDCO, SANDTONE.
- PREFINISHED METAL GUTTER & DOWNSPOUT, MATCH EXISTING, EDCO SANDTONE.
- PREFINISHED METAL TRIM COVER.
- FACE BRICK (FB-1) - MATCH EXISTING ROCKFACE TEXTURE. PAINT TO MATCH EXISTING. SEE NOTE 23.
- ROWLOCK BRICK SILL (FB-2) - MATCH EXISTING TEXTURE. EXISTING BRICK - OCHS RIVERSIDE DARK. DISCONTINUED PRODUCT. PAINT TO MATCH EXISTING. SEE NOTE 23.
- LP CORNER TRIM BOARD, 3 1/2" X 3 1/2" X 1"
- PREFINISHED METAL FASCIA COVER, 1X6. MATCH EXISTING EDCO TEXTURED STEEL, SANDTONE.
- PREFINISHED METAL FASCIA COVER, 1X6 OVER 1X6. MATCH EXISTING EDCO TEXTURED STEEL, SANDTONE.
- PREFINISHED METAL ROOF EDGE & FASCIA, OVER 2X6. MATCH EXISTING EDCO TEXTURED STEEL, SANDTONE.
- EXISTING DECORATIVE WALL LANTERN TO BE REPLACED WITH NEW LED FIXTURE. SEE NOTE 17.
- PROVIDE NEW DECORATIVE LED WALL LANTERN. MANUFACTURER AND MODEL: TBD
- EXISTING WALL PACK LIGHT FIXTURE TO BE REPLACED WITH NEW LED FIXTURE. MANUFACTURER AND MODEL: TBD
- EXISTING RECESSED SOFFIT LIGHT FIXTURE TO BE REPLACED WITH NEW RECESSED LED FIXTURE. MANUFACTURER AND MODEL: TBD. REPLACE SOFFIT PANELS AS REQUIRED.
- PAINT EXISTING DOOR AND FRAME. COLOR: TBD
- CLEAN AND PREP EXISTING COLUMNS AS REQUIRED TO RECEIVE NEW PAINT. PAINT COLUMNS, BASE, AND CAP TRIM. SEE NOTE 22 FOR COLOR.
- WOOD COLUMNS, BASE, AND CAP, MATCH EXISTING. PAINT COLOR: SHERWIN WILLIAMS SW7511, BUNGALOW BEIGE.
- EXISTING FACE BRICK, OCHS RIVERSIDE ROCK FACE FULL RANGE. DISCONTINUED PRODUCT. PAINT BRICK, COLOR: TBD.

PRELIMINARY
NOT FOR
CONSTRUCTION

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
1	04/27/2022	SEE PLAN REVIEW
2	05/02/2022	REVISIONS FOR CITY COMMENTS

ST. FRANCIS DENTAL
CLINIC
3715 Bridge Street NW
St. Francis, MN 55070

EXTERIOR
ELEVATIONS

PROJECT NO. 22-014
DRAWN BY: NR
CHECKED BY: ER

A300