

PLANNING COMMISSION MEETING

ISD #15 District Office Building 4115 Ambassador Blvd. Wednesday, May 18, 2022 at 7:00 PM

AGENDA

- 1. CALL TO ORDER/PLEDGE OF ALLEGIANCE
- 2. ROLL CALL
- 3. ADOPT AGENDA
- 4. APPROVE MINUTES
 - A. Minutes April 20, 2022
- 5. PUBLIC COMMENT
- 6. PUBLIC HEARINGS
 - A. Variance Request Erkium Street
 - B. Ordinance amendment screening in D&U easements
 - C. Northrop Grumman Grading Plan IUP
- 7. REGULAR BUSINESS ITEMS
 - A. St. Francis Dental Site Plan Review
- 8. DISCUSSION BY PLANNING COMMISSIONERS
- 9. ADJOURNMENT

CITY OF ST. FRANCIS ST. FRANCIS, MN PLANNING COMMISSION MINUTES April 20, 2022

- **1.** Call to Order: The Planning Commission meeting was called to order at 7:00 pm by Chair Women Liz Fairbanks.
- **2.** <u>Roll Call:</u> Present were Deborah Humann, Colleen Sievert, Liz Fairbanks, Dustin Pavel, Tara Kelly, Christina Bass and Dean Becker. Absent: none.

Others in attendance: Kate Thunstrom- Community Development Director, Kevin Robinson - City Council, Beth Richmond – City Planner

- **3.** Adopt Agenda: Motion by Sievert, second by Becker to approve the agenda. Motion carried 0-0.
- **4. Approve Minutes:** Motion by Becker, second by Humann to approve the March 16, 2022 minutes. Motion carried 7-0.

5. Public Comment:

No one came forward

6. Public Hearing:

a. Dollar General Site Plan

City Planner Beth Richmond gave an overview on the site plan for Dollar General. The site is between Highway 47 and Cree St. The parcel is 10.60 acres. The applicant is proposing a 10,640 square foot stand-alone building. The applicant is requesting review of a minor subdivision and site plan. The entire site is guided commercial in regards to the 2040 Comprehensive Plan. The site is zoned B2 General Business. The site plan does meet all the requirements. The building will be located in the center of the lot with parking on the north and the south. The main entrance of the building is proposed to be on the northeast corner facing 229th and highway 47. The site is surrounded on three sides with public streets. There are two accesses proposed for this location. The city requires 47 parking stalls and that is what the applicant has provided.

The applicant had originally thought that instead of building out all of the parking stalls that they would ask for proof of parking but has since decided to build out all the stalls. Because you did notice a public hearing for that we would like to open and close that to give anyone the opportunity to comment.

There are portions of the northern and southern parking lot to be in a utility drainage easement. That is something the City Engineer is in favor of as long as there is an encroachment agreement, that is put together between the applicant and the City.

Majority of the landscaping is proposed around the parking lot. There is a drainage and utility easement in that area, to remedy this, Staff is suggesting that you would allow the

landscaping as proposed with the consideration that the city would amend the code to allow plantings within easements with some constraints.

The loading area is on the west side of the building. There will be some screening that includes evergreens and some shrubs. There is a trash enclosure that is proposed to be fully screened along with mechanical equipment. There are trails proposed as well. Staff would recommend conditional approval would be that the applicant approve a pedestrian connection from the street to existing trail. The site will be served by city utilities.

The Planning Commission is asked to hold the Public Hearing for the CUP even though that is not on the table anymore and following that in discussion and take action, recommend approval, recommend denial or table the item and request additional information.

Staff is recommending approval of the Dollar General site plan with conditions.

Chairwoman Fairbanks stated some of her concerns about the other store in town.

City Planner Beth Richmond reminded the commission that their responsibility is to review the site plan. The physical elements of what you see and not the operation of the store.

Humann stated that she was concerned about traffic on highway 47. MnDot did not have any concerns about the traffic.

Fairbanks opened the public comment at 7:16 pm.

Sam DeLeo - 13 11th Ave N St. Cloud stated he is the project land surveyor and was there to answer any questions.

Fairbanks closed the public comment at 7:17 pm and asked for any further discussion.

Councilmember Robinson asked about the delivery area and was wondering about traffic and noise. Richmond stated that there is screening that will go in as evergreens and shrubs.

Robinson also asked if there were any concerns about snow dump area on the northeast section next to the wetland, Richmond advised that that was not a concern.

Robinson also asked about parking on the south side of the building if people would have to walk around the building. Robinson also asked about street lights and if they would be deflected as to not shine into the residents' homes. Richmond explained that, yes, the lights will shine down.

Fairbanks asked if they were voting on the site plan. Richmond stated yes.

Fairbanks made a motion to approve the Dollar General site plan with conditions with findings of fact as recommended by staff. Sievert seconded. Motion carried 7-0.

7. Regular Business Items:

a. 3009 235th Ave NW Concept Review

Beth Richmond gave an overview of the concept plan for a detached townhome development at 3009 235th Ave. This is currently a 7.81 acre parcel. The site currently includes one home in the southeast corner and a wetland in the northeast and the western half is vacant.

The concept include 24 residential lots. One of those would be the existing home that is on a 1.36-acre parcel. The remaining land would be divided between an outlot for the wetland and then 23 detached townhomes. The project would create a public street.

The site is currently guided for low density residential use by the Comprehensive Plan. That category is meant for detached single unit townhomes at a density of between two and three units per net acre. The density that is proposed it 4.3 units per net acre. This concept plan would need an amendment to the Comprehensive Plan likely to medium density residential which will allow a range of 3-7 units per net acre. This site is surrounded by both types of land uses, both medium density and low density. That is something that the Planning Commission should discuss, is if a Comprehensive Plan amendment in this area is something that makes sense. The site is currently zone R1 and that matches the land use guides of the Comp Plan. If the Comp Plan were to be amended, we would also be at a rezoning that is related to it. The R2 Base District is the closest match that we have.

The applicant is requesting a rezoning to a planned unit development. Planning Commission should look at what the benefits are to both the applicant and the City if a PUD was approved.

The proposed lots are 5,000 square feet. Which is a significant decrease from R1 and R2.

There is a public street that is proposed from 235th up to the northern border of the property. It shows 66 feet of right of way but this can be reduced to 60 feet which matches city standards. The City Engineer reviewed the road layout and provide comments. Supportive of intersection, the horizontal curves would need to meet the current specifications. Because the streets on the north side to abut a current undeveloped area this would be what the city would consider a temporary dead end with the opportunity to extend to the north in the future.

Sievert and Fairbanks asked a clarifying question related to location and parking.

Commission members discussed the concept plan and asked Richmond for clarification.

The applicant Christ Fritch answered questions from Commission members and advised that his brother built the City Center Villas in 2004 and those were the same size lots as well. They came up with this design because there isn't anything like it on the market.

Sievert asked the applicant what is the public benefit or the city benefit from the PUD?

Fritch responded with affordability. It would be cost effective with a higher density. It gives a more comparable product with the surrounding developments and the existing market.

Councilmember Robinson was concerned about parking. Richmond advised that it is a normal size public street. With the smaller lots the driveways may be smaller.

Fairbanks stated that with there being a homeowner's association there should be designated guest parking.

Councilmember Robinson asked about a park dedication allowance. Richmond advises that we don't discuss that at concept phase.

Fairbanks had concerns about traffic. Thunstrom asked if she was inquiring about Rum River Blvd or 235th. Chairwoman Fairbanks stated 235th and Rum River Blvd.

Richmond asked for clarification if the Planning Commission is in favor for rezoning. Richmond advised that it will go to the first council meeting in May for discussion.

8. Discussion by Planning Commissioners -

Commission Members discussed Pioneer Days.

9. <u>Adjournment:</u> Motion by Kelly, second by Becker to adjourn. Motion carried 7-0. Meeting adjourned at 8:09 pm

Website Link to Packets and Minutes for the Planning Commission:

https://www.stfrancismn.org/meetings

Recorded by: Jenni Wida **DATE APPROVED:**



PLANNING COMMISSION AGENDA REPORT

TO: St. Francis Planning Commission

FROM: Brad Scheib, AICP Planner and Natalie Strait, Planner

SUBJECT: Erkium Street Variance

DATE: 5-11-2022 for 5-18-2022 meeting

APPLICANT: Tayllor & Alex Baldwin

LOCATION: XXX Erkium St NW, St Francis, MN 55070

COMP PLAN: Agriculture

ZONING: A-2 Rural Estate-Agriculture

OVERVIEW:

Tayllor and Alex Baldwin have submitted a Permit Application for a Variance for the 40-acre property located at XXX Erkium St NW in St Francis. This property is currently undeveloped and composed primarily of wetland areas which make up roughly 36.5 acres of the 40-acre site. The application proposes the construction of a single-family home with primary and alternate septic areas as well as a driveway that would connect the property and proposed home to the roadway. The property is in the rural area and municipal sewer and water is not available to the site.

The property is a legal non-conforming lot as it currently does not abut an improved city street. A variance is required for this site to be a buildable site because Erkium Street stops about 160 ft to the south. Therefore, the site does not have "frontage and access directly onto an abutting, improved, and Cityaccepted public street". As part of the site plan the applicant has submitted, they are proposing a driveway which would be partially constructed in the platted ROW that would connect the parcel to the existing roadway.

The Planning Commission is requested to hold a public hearing, review the variance, and provide a recommendation to the City Council.



REVIEW PROCEDURE

60-Day Land Use Application Review Process

Pursuant to Minnesota State Statutes Section 15.99, local government agencies are required to approve or deny land use requests within 60 days. Within the 60-day period, an automatic extension of no more than 60 days can be obtained by providing the applicant written notice containing the reason for the extension and specifying how much additional time is needed. The deadline for taking action on the land use request is July 1st 2022.

Variance

City code section 10-35 allows for the granting of a variance in instances where their strict enforcement would cause practical difficulties because of circumstances unique to the individual property under consideration, and to grant such variances only when it is demonstrated that such actions will be in keeping with the spirit and intent of this Ordinance.

- A. The Board of Adjustment shall not approve any variance request unless they find all of the following criteria have been met:
 - 1. A variance shall only be granted when it is in harmony with the general purposes and intent of the ordinance.
 - 2. A variance shall only be granted when it is consistent with the comprehensive plan.
 - 3. A variance may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the zoning ordinance. Economic considerations alone do not constitute a practical difficulty. In order for a practical difficulty to be established, all of the following criteria shall be met:
 - a. The property owner proposes to use the property in a reasonable manner. In determining if the property owner proposes to use the property in a reasonable manner, the board shall consider, among other factors, whether the variance requested is the minimum variance which would alleviate the practical difficulty and whether the variance confers upon the applicant any special privileges that are denied to the owners of other lands, structures, or buildings in the same district.
 - b. The plight of the landowner is due to circumstances unique to the property not created by the landowner
 - c. That the granting of the variance will not alter the essential character of the neighborhood in which the parcel of land is located.
 - 4. The variance does not involve a use that is not allowed within the respective zoning district.

"Practical Difficulties" is defined as follows: Practical Difficulties, as used in conjunction with a variance, means that:

- Reasonableness: The property owner proposes to use the land in a reasonable manner for a use permitted in the zone where the land is located, but the proposal is not permitted by other official controls;
- 2. Uniqueness: The plight of the landowner is due to circumstances unique to the property and that are not created by the landowner; and
- 3. Essential Character: The variance, if granted, will not alter the essential character of the neighborhood.

Economic considerations alone do not constitute practical difficulties.

Public Hearing

City Code Section 10-31-03 requires that a public hearing for review of the variance request be held by the Planning Commission. The public hearing notice was published in the Anoka County Union Herald and mailed to all affected property owners located within 350 feet of the subject property.

ANALYSIS

Lot Frontage

Currently there is not adequate lot frontage on an improved public street. There is ROW platted to the property; however, Erkium Street, which was created as part of the plat directly to the south does was not constructed to the property line.

City Code 10-15-05 a. 4 states that in order for a legal non-conforming lot to be built on it must have frontage on and will directly access an improved public street. A variance is needed in order to meet this requirement.

Because the street is not constructed up to the property line there is not lot frontage on an improved street making this a non-conforming lot. There are a significant number of acres of wetland in this area, and because of this Erkium Street is not expected to continue further North. Therefore, the development of this parcel and extension of the driveway into the ROW to connect to the roadway is likely not blocking any future development.

Zoning

This site is guided for Agriculture and is zoned A-2 which is Rural Estate-Agriculture. "The purpose of the A-2 District is to provide suitable areas of the City to be retained and utilized for agricultural uses, un-sewered residential in a rural pattern, and open space, and to prevent rapid urbanization and provide economy in public expenditures." (10-42-01) The proposed use of a single family detached home fits into this district as a permitted with standards use.



Comprehensive Plan

The future land use plan has this parcel classified as Agriculture due to the prime agricultural soils in this area. Due to the nature of this site as primarily a wetland area there is not significant potential for agriculture. With the Comprehensive Plan's discussion of agricultural areas, the important role of areas classified as agricultural for the protection of other natural resources such as wetlands is also recognized. The proposed use fits into the intended character of this classification because it is unlikely it could be used for agricultural purposes due to the wetlands and construction of a home at this site contributes to the preservation of the surrounding wetland area.

Lot Dimensions

For lots in the A-2 district the minimum is 10 acres. The lot in question is 40.5 acres and so meets this requirement. The lot width minimum for areas zoned A-2 is 300 ft, this lot is 1,326.55 ft and so meets this requirement.

Setbacks

The setbacks required for parcels zoned A-2 are as follows:

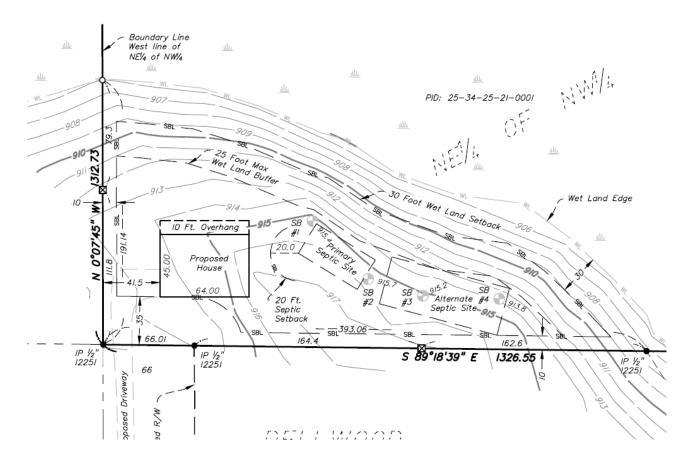
- 75 ft. from collector/arterial streets:
 - The proposed building is more than 75 ft from collector/arterial streets.
- 35 ft. from local streets:
 - The proposed building is 35 ft from the property line and, due to the nonconforming lot's lack of access to an improved roadway, approximately 300 ft from a local street.
- 10 ft. from side:
 - o The proposed building is 41.5 ft at the closest point along the West side.
- 35 ft. from rear:
 - The proposed building is significantly more than 35 ft from the rear property line.
- 3 stories or 35 ft, whichever is less:
 - o The height of the home is not listed but must be at or under these requirements.

Use Specific Standards

The proposed use as a single-family home meets the standards of the use specific section of the code of ordinances. As a condition of approval, the home construction must meet the use specific standards for roofing materials and follow the requirements of the State Building Code.

Wetlands

A building setback of 30 ft from the delineated edge of all wetlands is required, along with a minimum buffer width of 25 ft for high priority wetlands. The proposed site design meets this requirement as the proposed house, primary septic, and alternate septic sites are all over 55 ft from the edge of the wetland as shown in the provided survey Exhibit. An official wetland delineation report should be conducted to confirm these setbacks do to the proximity of proposed structure. In addition, for the buffer strip vegetation should be established to further protect the wetland if it does not already exist, native vegetation is recommended.



RECOMMENDATIONS

Staff recommends the following:

Staff recommends approval of the variance to section 10.15-05 Non-conforming Lots A.
 to allow for the construction of a single family home without frontage on an improved public street on the property at XXX Erkium St with conditions and noted findings of fact.

Conditions of Approval

- 1. The applicant shall enter into a agreement with the City to allow for a private driveway within the public ROW.
- 2. The final building plan must follow the use specific standards:
 - a. Roof must be constructed of earth, composition, metal, shingles or tiled and have at least 3/12 roof pitch with a 1 ft overhang
 - b. State Building Code
- 3. Building height must be at or under 35 ft or 3 Stories, whichever is less.
- 4. A wetland delineation report must be conducted to determine the exact location of the bounds of the wetland to ensure that the proposed structures are adequately setback from the wetland edge.

The above recommendations are supported by the following findings of fact are applicable to both areas of variance:

- 1. The proposed use fits in with existing permitted with standards uses making it in harmony with the general purposes and intent of the ordinance.
- 2. The proposed use of single-family residential home is consistent with the comprehensive plan.
- 3. *Reasonableness*: The intended use of the property as a single-family home is a reasonable way for the property owner to want to use their property. The proposed construction is modest in scale and meets other requirements particular to the property. The property owner proposes to use the property in a reasonable manner.
- 4. *Uniqueness*: The condition that has led to the request for a variance was a pre-existing condition of the property and was not created by the property owner. The circumstances of the lack of ROW frontage and lack of access to an improved road are unique to this property.
- 5. Essential Character: The granting of this variance will create conditions that allow the property owner to improve the property for a rural residential use that is consistent with the existing character of the area and does not alter the essential character of the neighborhood.
- 6. The variance involves a use that is allowed a permitted with standards use within the A-2 zoning district.

ACTION TO BE CONSIDERED:

After the public hearing and discussion, the Planning Commission could take one of the following actions:

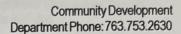
- 1. Recommend approval with the conditions and findings of fact as presented by Staff.
- 2. Recommend denial with findings of fact as presented by Staff.
- 3. Table the request to the next Planning Commission meeting and provide direction to Staff and the applicant as to the additional information needed.

Suggested Motion:

Move to recommend approval of the Baldwin site plan and Variance Request with conditions and findings of fact as presented by Staff.

Attachments:

1. Applicant Submittals





PERMIT APPLICATION QUESTIONS (CONTINUED)

Describe any physical or hydraulic impacts this project will have on water resources. Will the project involve the alteration of any surface?

NO

Provide an estimate of the acreage to be graded or excavated and the amount of soil to be moved. Describe any steep slopes, or highly erodible soils and what measures will be used to minimize erosion.

2-3 acres excavated for driveway, new construction and septic area proposed

Is this project in proximity to designated parks, trails, recreation areas, wildlife preserves or other unique resources?

Wetlands

Provide any additional information that would be helpful for the Planning Commission when reviewing this application.

Does the request meet the criteria identified in City Code?

405

APPLICATION SUBMITTION MATERIALS

a

application.

Signature of Owner (if different than Applicant)

	site plan, and development plans. One electronic and (1) set of large scaled drawings. Additional sizes and copies may sted and required by the City for application completion. The following information must be included:
- X	Map or plat showing the lands proposed for the conditional use permit and all land within 350 feet of the boundaries of the property. Certified survey of the property showing all property lines, topography, existing and proposed structures (including dimensions and distances to property lines and other buildings), existing streets, alley, private roads, and fire lanes and easements. Access points, driveways, and parking areas including striping and number of spaces. Landscaping and ground cover including existing to be retained, existing to be removed, and proposed – all identified by size, type species, and quantity. Grading, drainage, and stormwater plans with existing and proposed topography prepared by a professional civil engineer registered in the state and adopted. Utility plans prescribing locations for city water, sewer, fire hydrants, manholes, power, telephone, and cable lines, natural gas mains, and other service facilities prepared by a professional civil engineer registered in the state and adopted. General floor plans and elevations for all existing and proposed structures. Proposed signage. Site lighting. A legend identifying the legal description, size of parcel, use(s) and square footage, number of units and density of residential, building height, floor area ratio, ground floor area ratio, impervious surface ratio, setbacks on all sides, graphic scale, north point, and usable open space.
the proce immediat for 100 po whether t expenses I, the und support of knowledge and Minn City will n	ion fees and expenses: by signing this application form, the applicant agrees that all fees and expenses incurred by the City for assing of this application, including costs for professional services, are the responsibility of the property owner to be paid tely upon receipt or the City may approve a special assessment for which the property owner specifically agrees to be assessed ercent per annum and waivers any and all appeals under Minnesota Statues 429.081 as amended. All fees and expenses are due the application is approved or denied or withdrawn. Escrow fees collected at the time of application may not cover actual s, any additional fees will be billed. dersigned, hereby apply for the considerations described above and declare that the information and materials submitted in of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my ge. I further understand that the IUP application will be processed in accordance with the established City review procedures desota Statutes 15.99 as amended, at such times as it is determined to be complete. Pursuant to Minnesota Statutes 15.99, the notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to the application. Failure on my part to supply all necessary information as required by the City may be cause for denying this

This application must be signed by all owners of the subject property or an explanation given why this is not the case. We, the undersigned, have read and understand the above.

Date

Updated January 2022 13



Community Development Department Phone: 763.753.2630

APPLICATION FOR CONDITIONAL USE PERMIT (CUP), INTERIM USE PERMIT (IUP) AND VARIANCE

Requirements, Process and Application Packet

In order to mitigate potential impacts on surrounding areas or neighborhoods, certain land uses require the approval of a conditional use permit, interim use permit or variance.

Conditional Use Permit (CUP) - City Code 10-33-00

The purpose of a conditional use permit is to provide the City with a reasonable degree of discretion in determining the suitability of certain designated uses upon the general welfare, public health and safety. A conditional use is a use which because of certain characteristics cannot be properly classified as a permitted use in the zoning district within which it is proposed. Conditional use permits are designed to meet the problem which arises where certain, although generally compatible with the basic use classification of a particular zone, should not be permitted to be located as a matter of right in every area included within the zone because of hazards inherent in the use itself or special problems which its proposed location may present. In making this determination whether or not the conditional use is to be allowed, the City may consider the nature of the adjoining land or buildings, the effect upon traffic into and from the premises, or on any adjoining streets, and all other or further factors as the City shall deem a prerequisite of consideration in determining the effect of the use on the general welfare, public health and safety.

Interim Use Permit (IUP) - City Code 10-34-00

The purpose and intent of allowing interim uses is: to allow a use for a temporary period of time until a permanent location is obtained or while the permanent location is under construction; to allow a use that is presently judged acceptable by the City Council, but that with anticipated development or redevelopment, will not be acceptable in the future or will be replaced in the future by a permitted or conditional use allowed within the respective district to allow a use which is reflective of anticipated long-range change to an area and which is in compliance with the Comprehensive Plan provided that said use maintain harmony and compatibility with surrounding uses and is in keeping with the architectural character and design standards of existing uses and development.

Variance-City Code 10-35-00

The purpose of a variance is to provide for deviations from the literal provision of this Ordinance in instances where their strict enforcement would cause practical difficulties because of circumstances unique to the individual property under consideration, and to grant such variances only when it is demonstrated that such actions would be in keeping the spirit and intent of this Ordinance.

General Information & Process Regarding Permits

- The application process must be completed.
- Completing the application process does not guarantee approval.
- Land Use permits are recorded against the property.
- Permits will be considered abandoned in the event the condition or use is discontinued by non-use for six (6) months after notice from the City.
- The permit application will be reviewed by the Community Development Department and presented to the Planning Commission at a public hearing. The Planning Commission will make a recommendation of approval or denial to the City Council along with conditions.

The Application Schedule is available online and at City Hall upon request. The Application schedule identifies the meeting schedule for Planning Commission and Council.

State statutes provides up to 120 days for the review of complete application, but the City will strive to finalize your request as quickly as possible. Please note that missing application due date and meeting dates or submitting an incomplete application <u>WILL</u> result in the review of the request being delayed. All City Council meeting dates are estimated as it is City policy that issues be resolved and plans be revised as may be needed prior to Council consideration.

Right of Entry:

By signing this application, applicant is agreeing to right-of-entry stating that the City and its offers have permission to enter the land for purpose of determining compliance with all applicable condition imposed in the permit.

Updated January 2022



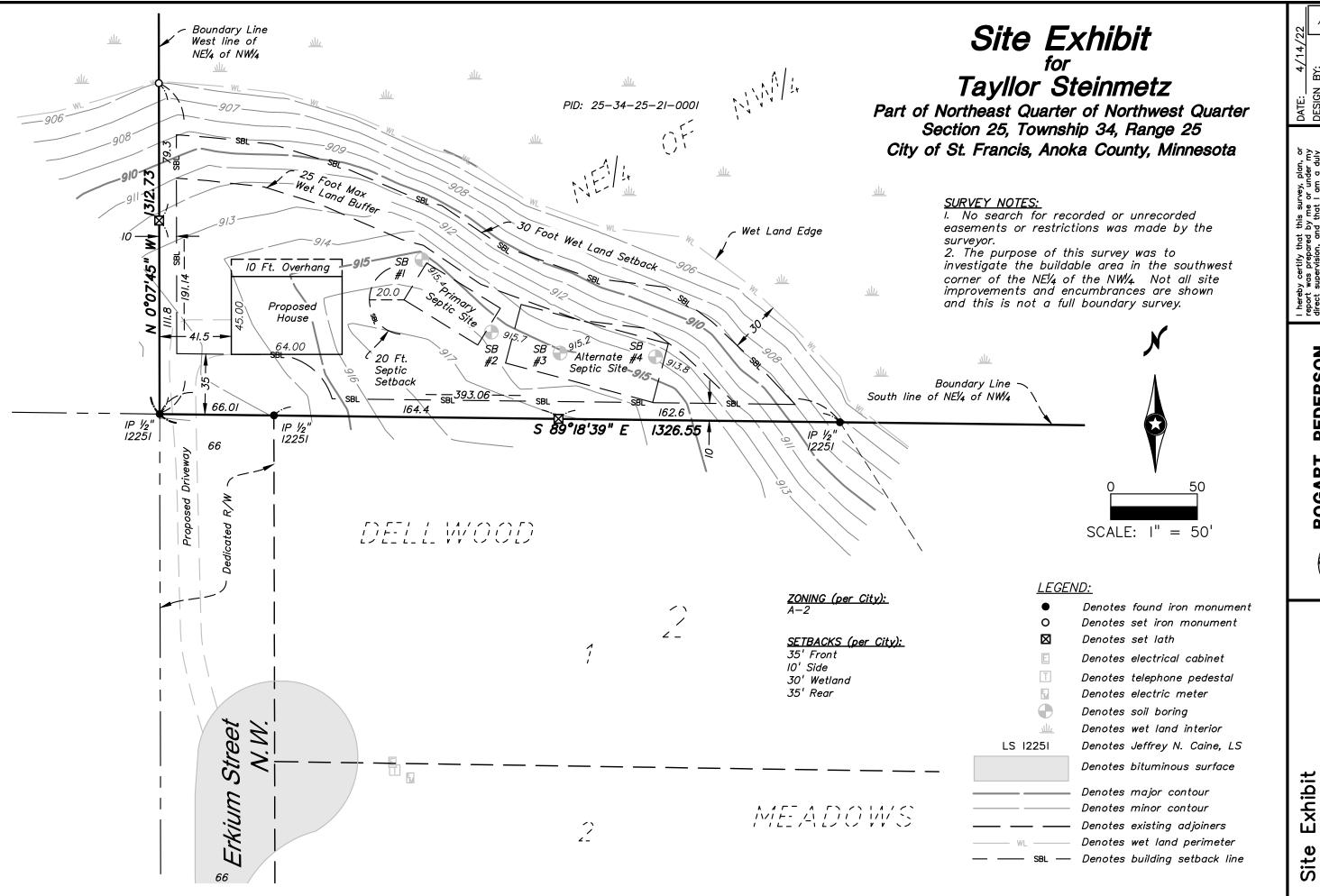
Community Development Department Phone: 763.753.2630

Application Date:	4-21-22
Fee: 350	Escrow: 2000

PERMIT APPLICATION

PERMIT YOU ARE	REQUESTING: CO	NDITIONAL USE	INTERIMUSE	VARIANCE
PROPERTY INFORMATION:	PROJECT ADDRESS:	XX EVKILL	m Street, St. Fray	nas MN
If multiple properties, attach separate sheet	LEGAL DESCRIPTION: The NEVA of	(Attach if necessary)	ZONING DISTRICT: 42	10(0 1114
	ZSEASE 34 RCE Z	5. SUBJ TO	LOT SIZE: 40 acres	
	PROPERTY ADDRESS:	XX Erkini		ncie MN
OWNER INFORMATION:	NAME: Brade	Soutor		
e ²	ADDRESS: 3479		DV	
	CITY: Woodbur	4	STATE: MN	ZIP: 65125
	PHONE: USF 30	13-7004	EMAIL: D SOUTOr @appro	(i).com
APPLICANT:	NAME: Tay 1107 +	AJ Baldwin	PHONE: 103/412-0529	612-107-7115
REASON FOR REQUEST:	Existing use of the p	roperty?		
	Vacant	10t 40 (here parcu	
Throniba 1252	Description of the pro-	oposed use of the i	property the requires the applica	ation of a CUP. IUP
82.77	or variance?			
	single fo	MILY NOW	l	
	3.			
	Hours of operation, i	ncluding dates, time	es (if applicable)?	
	NIA			
	Duration of the propo	osed use?		
			2.110	
	Date or event that wi	ii terminate the use	NIH	

Questions continued on next page...



ey, plan, or DATE: 4/14/2
under my
am a duly
the laws of DRAWN BY: D
CHECKED BY:
CHECKED BY:
DWG FILE: Sketch
FILE NO:: 22-012

Agenda Item # 6A.

sed Land Surveyor under the laws
tate of Minnesota.

Crain A Wansmann

INC. Signed: Craig

& ASSOCIATES, II

Site Exhibit Tayllor Steinmetz Sec. 25, Twp. 34, Rng. 25

17

PARID: 25-34-25-21-0001 SOUTOR BRADD G

UNASSIGNED SITUS

Parcel

Tax Year: 2022 Active/Inactive: Active

Property Address: UNASSIGNED SITUS
City State Zip: ST. FRANCIS MN 00000

Multiple Addresses: No NBHD: SF02 -

Class: 111 – 2b RURAL VACANT LAND

Record Type: ABSTR

Property Use Code: 1202 – RURAL VAC LAND 2B BARE LAND (34.5 OR MOR

Acres 40

Lot Size

Plat -

Lot/Unit

Block/Tract/Outlot

Sect-Twp-Range-Qtr/Qtr 25 - 34 - 25 - 21
Tax District: 71 - 43015Town/City 1600-STFRANCIS
School District: 0015-STFRANSD15
Commissioner District: 01 - Matt Look

TIF Project #: -

DNR Water Ind: N – NONE

Resd Year Built: Comm Year Built:

Current Owner

Name: SOUTOR BRADD G

In Care Of:

Owner Address: 3479 PARKERS DR
City State Zip: WOODBURY MN 55125

% Owned: 100%

Owner Type Code 1: O – OWNER

All Owners

Ownership Type Name Address

O – OWNER SOUTOR BRADD G 3479 PARKERS DR WOODBURY MN 55125

Parcel Status

Delinquent No
In Redemption No

Agenda Item # 6A.

Forfeiture Parcel No
Payment Contract No
In Bankruptcy No
Homestead No
Relative None
Senior Deferral No
Use Program No

Petition Date MH Park Name MH Pad #

Legal

Legal THE NE1/4 OF NW1/4 OF SEC 25 TWP 34 RGE 25, SUBJ TO

EASE OF

REC

Legal Description THE NE1/4 OF NW1/4 OF SEC 25 TWP 34 RGE 25, SUBJ TO

EASE OF REC

BILL OF SALE

FOR VALUABLE CONSIDERATION.

Bradd G. Soutor and Mary Elizabeth Soutor, seller (whether one or more) hereby sells and conveys to

Alex Baldwin and Tayllor Baldwin, buyer (whether one or more) the following personal property located at: XXX Erkium Street, Saint Francis, MN 55070

As per the purchase agreement.

subject to the following liens, claims and/or encumbrances:

None

Seller agrees that Seller is the owner of the personal property described above, that the personal property is free from all encumbrances (except as listed above) and that Seller has the right to sell and convey the personal property to Buyer. Seller agrees to warrant and defend the sale of the personal property to Buyer against any and all person(s) who claim title to the personal property described above, subject only to the encumbrances listed above. This Bill of Sale shall bind the Seller and benefit the Buyer and their successors and assigns.

Dated:

Dated:

Dated:

SELLER:

Bradd G. Soutor

Maylli aleth, four

Mary Elizabeth Soutor

This instrument was acknowledged before me on

Elizabeth Soutor.

County of

Signature of Notarial Officer

Title and Rank

My Commission Expires: 015100

JULIE C EGAN
Notary Public

State of Minnesota

My Commission Expires 01/31/2026

y Bradd G. Soutor and Mary

THIS INSTRUMENT WAS DRAFTED BY:

GCS Title 1915 Plaza Drive, Suite 100 Eagan, MN 55122

Agenda Item # 6A.

ent Name: PAYLLOR STEINMETZ ject Name: אייניטאלירילץ

Bogart Pederson & Associates, Inc. LOG OF SOIL BORINGS

County: ANOK A Project Location: STO FLANCIS

Date Applic 11, 2022

Project Number: 22-0126-00 Soil Technician: Reg

			1		537 Q (4/1)
BORING # /	- NW:LY PRIMARY	mary, UPLA	, UPLAND WOURS, MAPPIED NIC		-Mymorelogny Sand AUGER TYPE: 3"
Depth	Matrix	Mottle Color	Mottle Color Soil Texture Soil Structure	Soil Structure	Description
(in.)	Color				,
0"-6"	109/2/1	1	LORMY SANO	GRANULAR	
6"-24"	10/23/4	1	Lamis SAND	CRAWAR	>1.2 GPD /FT2
24"-44"	1048314	1	SAND	SGL GRAN	
44,-55,	1042314)	LOAM	GRANUAL	
25, "- 65"	7.5484/4 7.5424/C		LOAM	GETNULKO	REDOXE 55" FAINT

Additional Remarks:

ELEVATION -

EDOX ELEVATION-

910.8 15.4

LOAM

	BORING# 2	SEILY PRI	mory, UPLAND	WOUDS, MARRED	SEILY PRIMARY, UPLAND WOODS, MARRED NYC-NYMORE LOGARY SANCT	NAMY SANC AUGER TYPE: 3"
	Depth	Matrix	Mottle Color	Mottle Color Soil Texture Soil Stru	Soil Structure	Description
	(in.)	Color				1
	8/56	164R2/1	1	LOAMY SAND	GRAWLAR	TOO 9"= MEX OF TOPSOIL, SUBSOIL
	6"-22"	10423/4	-	LOAMYSAND	Genucl	
	221-30"	10423/4	1	SAND	SGL GRAN	
	30"-50"	104 R 4/4	1	SAND	SGL GRAN	REFUSAL @ 50" - 1% GRAVEL/ROCK
				\		FRAGMENTS.
						No REDat
	ELEVATION =	915.7				
\circ	REDOY ELEVATIONS 9/1.5	911.51				1.2 GPD/FT2

Additional Remarks:

Agenda Item # 6A.

Bogart Pederson & Associates, Inc. LOG OF SOIL BORINGS

Date April 11, 2022

ent Name: TAYLLOR STEINMETZ ject Name: אונסאגונידץ County: ANOKA Project Location: ST FRANCIS

Project Number: 220126.00

Soil Technician: MATT 3

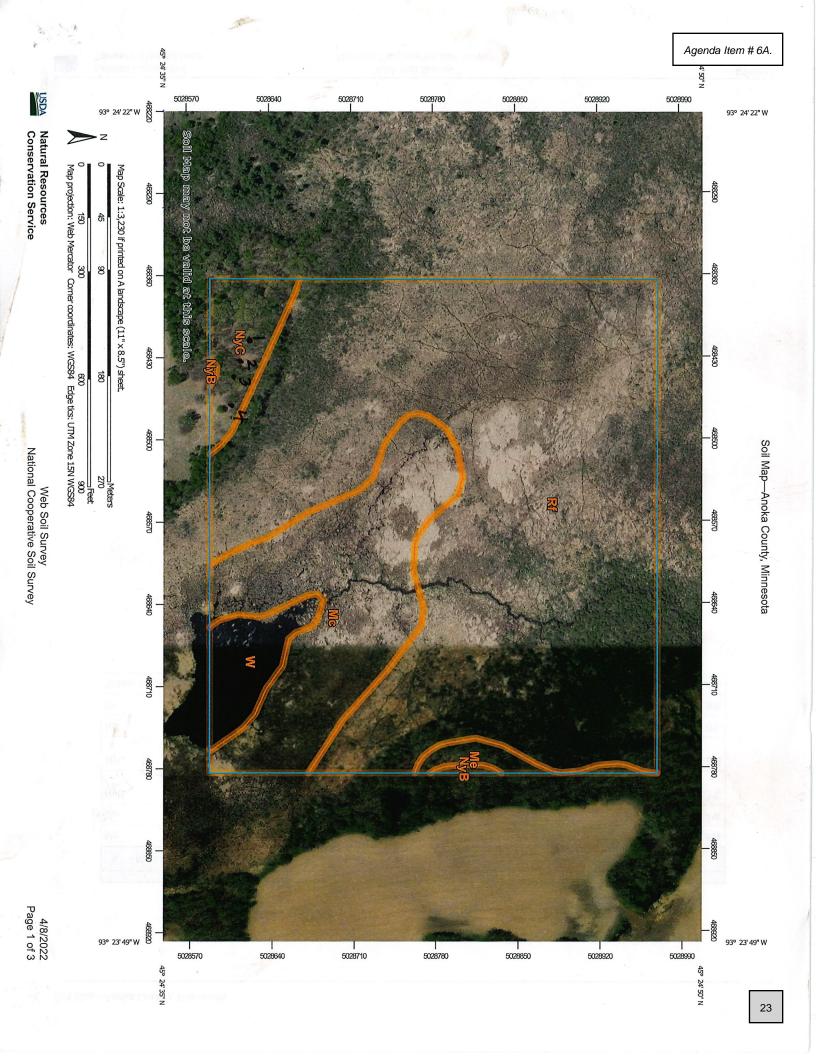
Reg No: こに*も*52

BORING # 3 - W'LY ALTENNATE UPLAND WODD, MARRED NYC NYMORE	N'LY ALTER	NATE UPLAND L	NAPPED !	JYC NYMORE 100	loom, Sand AUGER TYPE: 3"
Depth	Matrix	Mottle Color	Mottle Color Soil Texture Soil Structure	Soil Structure	Description
(in.)	Color				,
01-3"	10422/1		LOAMY SAND	CRANUAR	1.2 GPD / FTZ
C. C.	10423/3			CRANULAR	
6"-17"	10423/4		LOAMYSAND	GRANUA	
7773	104 B3 H	(SAND	SGL GRAIN	12 CAREL
30 - 50"	104/2 3/4	1	LOANY COARE SAND GRANU	AR	50% ROCK, GRAVEL
50-57	1040 H/H	1747416	Lotin	BLECKY	11/4 @ 3200 OM
			1 75	/	Redox @52' FAINT
ELEVATION =	915.2				
REDOT ELEMTION = 910.8.	910.8				
Additional Damarks.					

Additional Remarks:

BORING #	EILY ALTERN	-EILY ALTERNATE, UDLAND MEADOW MAPPED NIC	EMPOUL MAPRET	- 1	Nymore Jam Sand AUGER TYPE: 3"
Depth	Matrix	Mottle Color	Mottle Color Soil Texture Soil Structure	3	Description
(in.)	Color				,
D11-3"	184122/1		CNAS MWYOT	GRANUAR	
V. 3	104R3/3		CNV5 MyVOJ	CRANUAR	
B" 24"	104R314	1	LOVING SAND	GRANUAR	
24"36"	16423/4		DANSE SAND	SGL GRAN	10% LOCK TRACMENTS
361-42"	1042413	JHURI	Savay LOAM	BLOCK	Refusal @ 42"
			or LOAM	/	•
					Red 1 1 @ 38"
ELEVATION -	913-8				
REDOX ELEVATION -	910.61				
Additional Damastra:					

Additional Remarks:



Anoka County, Minnesota

NyC—Nymore loamy sand, 6 to 12 percent slopes

Map Unit Setting

National map unit symbol: f90x

Elevation: 840 to 950 feet

Mean annual precipitation: 25 to 34 inches Mean annual air temperature: 37 to 46 degrees F

Frost-free period: 120 to 180 days

Farmland classification: Not prime farmland

Map Unit Composition

Nymore and similar soils: 95 percent

Minor components: 5 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Nymore

Setting

Landform: Stream terraces

Landform position (two-dimensional): Backslope

Down-slope shape: Linear Across-slope shape: Linear Parent material: Outwash

Typical profile

A - 0 to 7 inches: loamy sand Bw - 7 to 26 inches: loamy sand

C - 26 to 60 inches: sand

Properties and qualities

Slope: 6 to 12 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Excessively drained

Capacity of the most limiting layer to transmit water (Ksat): High to

very high (5.95 to 19.98 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None Frequency of ponding: None

Available water supply, 0 to 60 inches: Low (about 3.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 6s

Hydrologic Soil Group: A

Forage suitability group: Sandy (G091XN022MN)

Other vegetative classification: Sandy (G091XN022MN)

Hydric soil rating: No



PLANNING COMMISSION REPORT

TO: St. Francis Planning Commission

FROM: Beth Richmond, Planner and Brad Scheib, AICP, Planner

SUBJECT: Amendment to City Code Section 10.73.03 General Landscaping and

Maintenance

DATE: 5-5-2022 for 5-18-2022 meeting

OVERVIEW:

The City has received a request to amend its City Code, Section 10.73.03 to allow certain features (or clarify what is allowed) in drainage and utility easements.

ANALYSIS:

St Francis currently prohibits fences and tree plantings in utility easements. Staff conducted background research to explore best practices for managing improvements within drainage and utility easements. Our research has found that it is common to allow limited improvements within D&U easements and thus staff is recommending the following code amendments be considered.

Staff will provide additional background information at the meeting.

ACTION TO BE CONSIDERED:

Suggested Motion:

- 1. Proposed Amendment: Based on our findings, staff recommends the following amendment to Section 10-73-03 of the Zoning Code. The amendment would repeal and replace subpart C of this section as follows.
 - C. Fences and/or tree plantings may be allowed in drainage and utility easements with approval by the City Engineer. Features may be placed in such easements by the owner, at the owner's risk of removal (without compensation) by the City or other agencies that may have legal use of the easement. Such features must not be placed in a manner that prohibits or significantly impacts the public use of the easement for any utility or drainage purpose.



PLANNING COMMISSION AGENDA REPORT

TO: St. Francis Planning Commission

FROM: Beth Richmond, Planner

SUBJECT: Grading Interim Use Permit

DATE: 15-11-22 for 5-18-22 meeting

APPLICANT: Plowe Engineering on behalf of Northrop Grumman

LOCATION: 5500 ft west of Variolile St NW and 1800 feet north of Hill and Dave Drive NW.

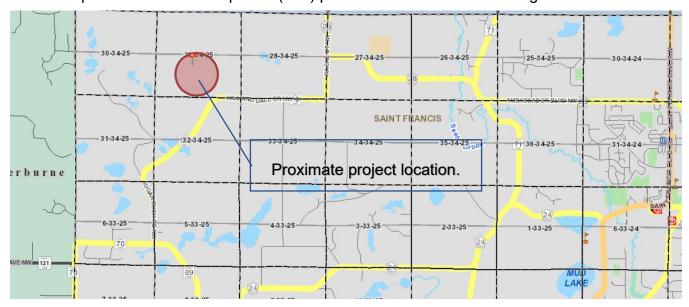
RICHARD D. SCHROEDER ADVANCED AMMUNITION SITE

COMP PLAN: Low Intensity Industrial

ZONING: I-2 – Industrial

OVERVIEW:

Northrop Grumman is proposing an update to an existing firing range for ordinance testing. One target is existing (100-meter) and two targets are proposed: one at 200 meters and another at 500 meters. At the firing location, a new building with parking stalls is proposed. An aggregate road will extend down the range for vehicle access to the three targets. Each target has a fire break with an access route (pervious) along the top of it. The improvements are related to current business uses of the site. The improvements include mass grading, grubbing of existing trees, installation of stormwater improvements, wetland impacts and mitigation, building of associated accessory structures, and installation of additional testing ranges and associated drive areas. A public hearing is required as the scale and extent of the site grading on site requires an interim use permit (IUP) per section 10.74 of the zoning code.



ANALYSIS

Detailed grading/drainage/erosion control plans, stormwater report and related civil site plans have been reviewed by the City Engineer. A Wetland Replacement Plan has also been submitted and a review of this is in process. The City Engineer's comments are attached for you review. With the exception of the wetland replacement plan, most of the conditions are technical in nature and will not have a material impact on the project. Based on a preliminary review of wetland impacts and the wetland replacement plan, avoidance of some wetland impacts may result in a shifting of project components. Staff feels there is likely adequate room for this to occur; however, it is recommended that the wetland replacement plan and review of wetland impacts be completed, appropriate responses be evaluated and addressed prior to consideration by the City Council.

The City Engineer recommends approval of the grading plan with noted conditions in the attached engineer review dated 05/11/2022.

ACTION TO BE CONSIDERED:

Staff recommends approval of the IUP as per the conditions 1 through 8 as stipulated within the City Engineer report dated 05/11/2022 and that the review of the Wetland Replacement Plan and wetland impacts be completed and appropriate responses addressed prior to consideration by the City Council.

Suggested Motion: Recommend approval of the Interim Use Permit for Northrop Grumman site grading with conditions as outlined in the City Engineer report dated 05/11/2022 and the added condition that the review of the Wetland Replacement Plan and wetland impacts be completed and appropriate responses addressed prior to consideration by the City Council.

Attachments:

- 1. City Engineer Report dated 05/11/2022
- 2. Grading Plan Submittals



Main Office: 3601 Thurston Avenue, Anoka, MN 55303 Phone: 763/427-5860 www.haa-inc.com

45
YEARS

MEMORANDUM

TO: Brad Scheib, HKGI

FROM: Shane Nelson, Assistant City Engineer

DATE: May 11, 2022

RE: Northrup Grumman

Richard D Schroder Advanced Ammunition Site

We have reviewed the Grading, Drainage & Erosion Control Plan dated April 21, 2022, prepared by Plowe Engineering, and the Stormwater Drainage Report, dated April 21, 2022, prepared by Plowe Engineering for the above-referenced project. We would offer the following:

- 1. The project proposes to fill 21,146 square feet of wetland. A Wetland Replacement Plan has been submitted, however, was found to be incomplete due to required technical components. Any approval is subject to the receipt and approval of a complete Wetland Replacement Plan.
- 2. Additional silt fence is necessary upgradient of Wetland 6, from station 10+80 to 12+00.
- 3. Additional silt fence is necessary upgradient of Wetland 7, from station 7+75 to 8+50.
- 4. The stormwater design assumes "A" type soils, however, no geotechnical information has been received to date. The Applicant shall submit a Geotechnical Report for review.
- 5. The stormwater report shall be revised to include a Pre vs Post summary of stormwater runoff rates for the 2-year, 10-year, and 100-year rainfall events. As per City and URRWMO requirements, the post development runoff rates may not exceed the pre-development rates.
- 6. Geotechnical data is required at the location of the proposed infiltration basins. Please submit the Geotechnical Report for review when it is available to allow for a detailed review of the Stormwater Drainage Report and grading design.
- 7. The NPDES General Stormwater Permit requires that "Permittees must not use mulch, hydromulch, tackifier, polyacrylamide or similar erosion prevention practices within any potion of the normal wetted perimeter of a temporary or permanent drainage ditch or swale section with a continuous slope of greater than 2 percent". It appears that there are some locations in which the erosion control blanket will have to be extended to include the ditch bottoms. Please revise.
- 8. The stormwater ponds, once constructed, will be a private pond and the landowner will be responsible for the long-term operation and maintenance. In accordance with City ordinances,

Northrup Grumman Richard D Schroeder Advanced Ammunition Site Page 2

the Applicant must enter into a Stormwater Maintenance Agreement with the City to ensure the long-term operation and maintenance. (Section 10-93.5.H)

In summary, we recommend approval contingent upon the Applicant addressing the comments herein and subject to the Applicant revising the Stormwater Drainage Report and/or grading design to the approval of the City Engineer.

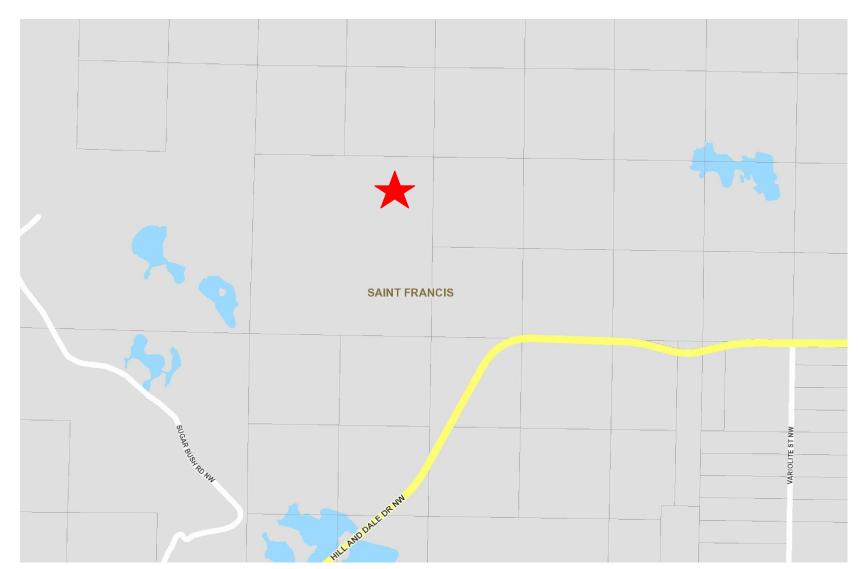


RICHARD D. SCHROEDER ADVANCED AMMUNITION SITE

TITLE SHEET

ST. FRANCIS, ANOKA COUNTY, MINNESOTA

VICINITY MAP (NOT TO SCALE)



AN MPCA NPDES CONSTRUCTION PERMIT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION

HILL AND TRUE DR NAME.

ENGINEER

PLOWE ENGINEERING, INC. 6776 LAKE DRIVE LINO LAKES, MN 55014 ADAM GINKEL, P.E. 651-361-8234 ADAM@PLOWE.COM

SURVEYOR

E.G. RUD & SONS LAND SURVEYING, INC. 6776 LAKE DRIVE LINO LAKES, MN 55014 MATT DAVICH 651-361-8229 MDAVICH@EGRUD.COM

SHEET INDEX

TITLE SHEET

S1.1 MASS GRADING & DRAINAGE PLAN
S1.2 MASS GRADING & DRAINAGE PLAN
S1.3 EROSION CONTROL PLAN
S1.4 EROSION CONTROL PLAN
C1.1 PRELIMINARY UTILITY PLAN
C2.1 DETAILS

C2.2 DETAILS
C2.3 DETAILS

T1

C3.1 STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
C3.2 STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

GRAPHIC SCALE 120 0 60 120 2 1 INCH = 120 FEET (34" x 22")

LEGEND

DENOTES WETLAND DELINEATED BY GHD

DENOTES EXISTING CONTOURS

DENOTES PROPOSED CONTOURS

DENOTES STORM SEWER PIPE

DENOTES STORM SEWER MANHOLE

DENOTES STORM SEWER FLARED-END SECTION

DENOTES RIP-RAP

DENOTES SILT FENCE

DENOTES REDUNDANT ESC MEASURE
(E.G. SECOND ROW OF SILT FENCE, BIOROLLS, ETC.)

DENOTES SOIL BORING BY HAUGO GEOTECHNICAL SERVICES

DENOTES WETLAND VEGETATIVE BUFFER

DENOTES WETLAND VEGETATIVE BUFFER SIGNAGE

DENOTES CATCH BASIN INLET PROTECTION

DENOTES EROSION CONTROL BLANKET



Agenda Item # 60

SITE PLANNING
& ENGINEERING

PLOWE ENGINEERING, INC.

DRAWN BY: CHECK BY CWP

JOB NO: DATE: 04/21/22

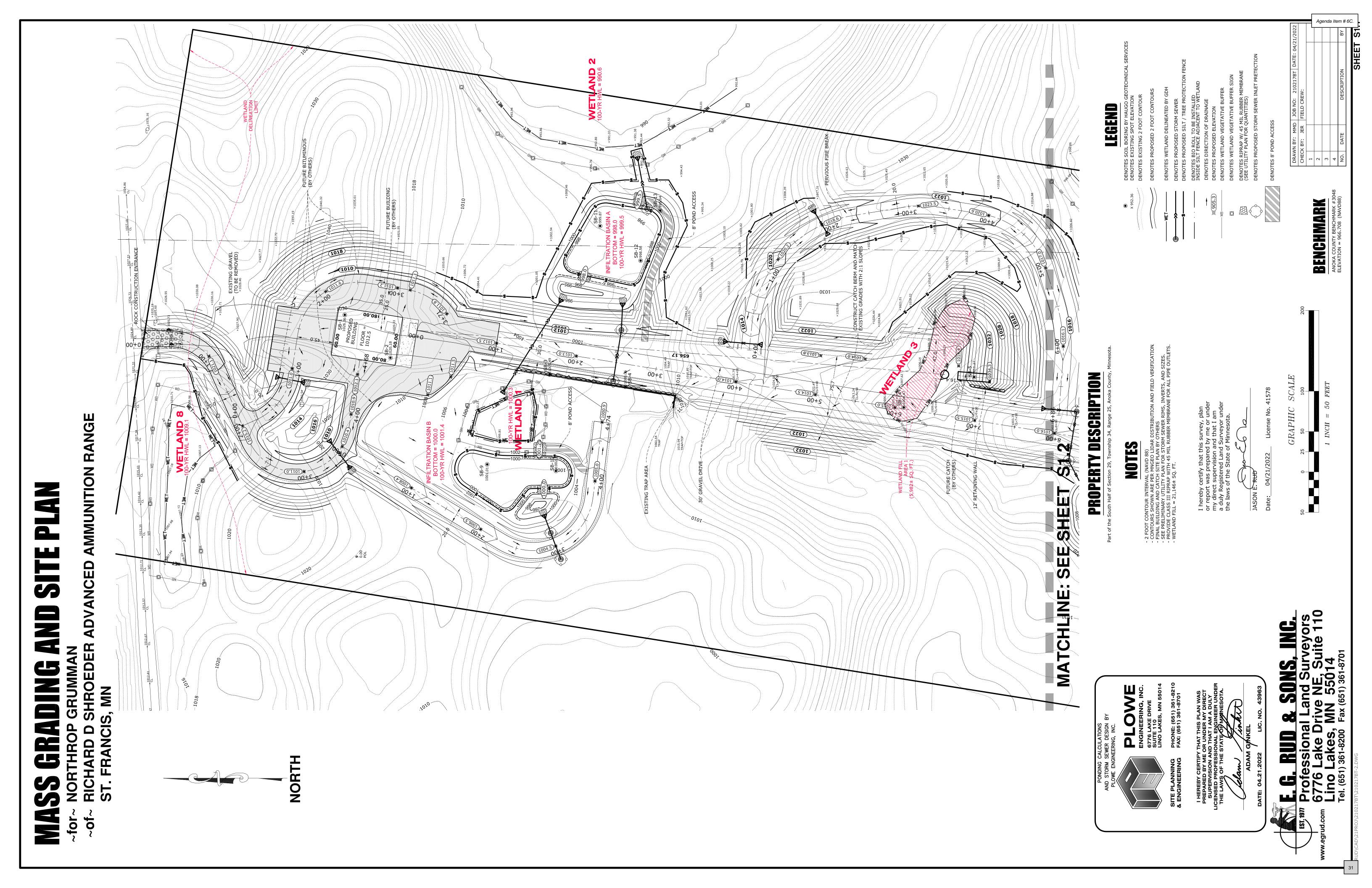
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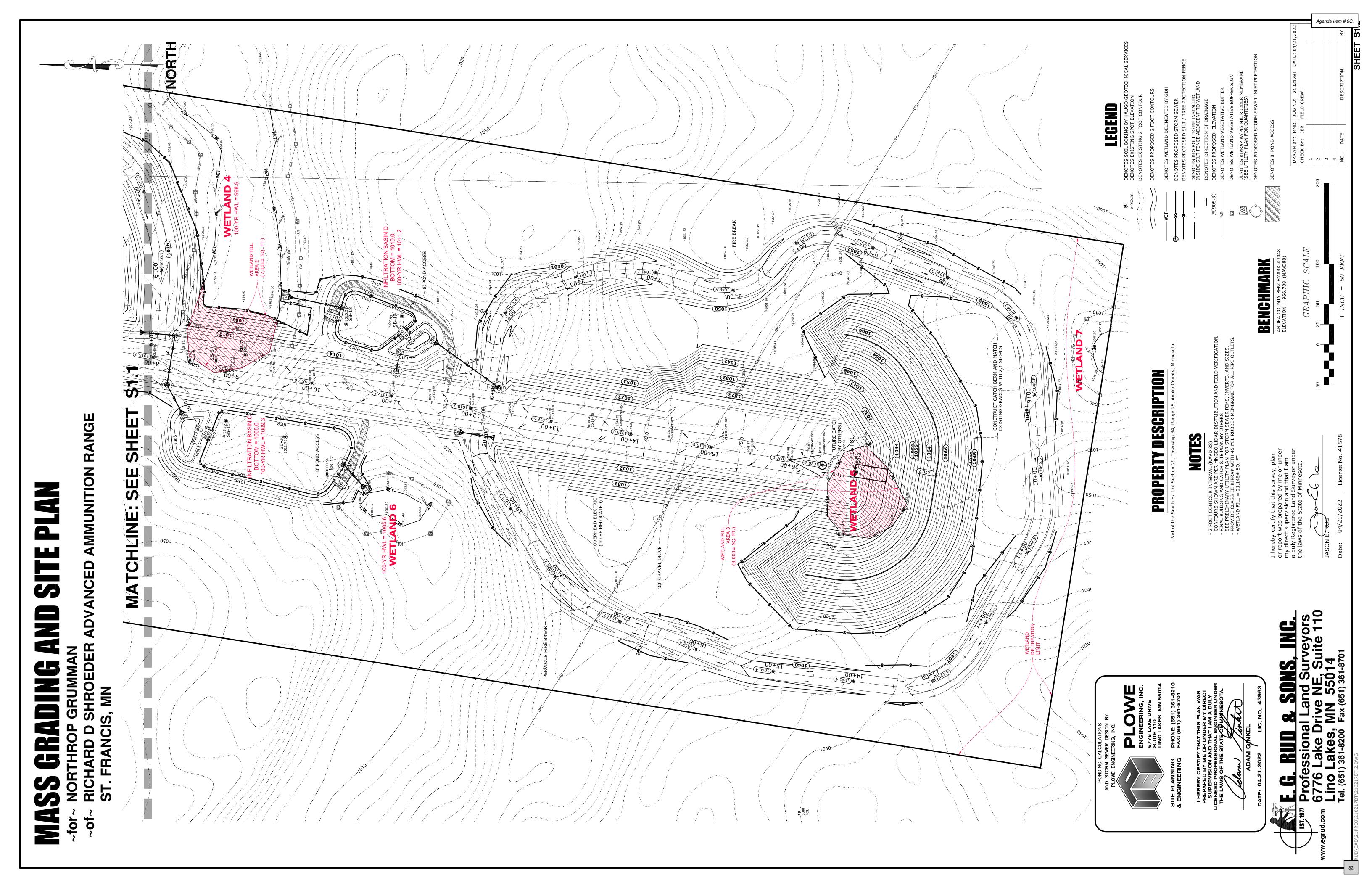
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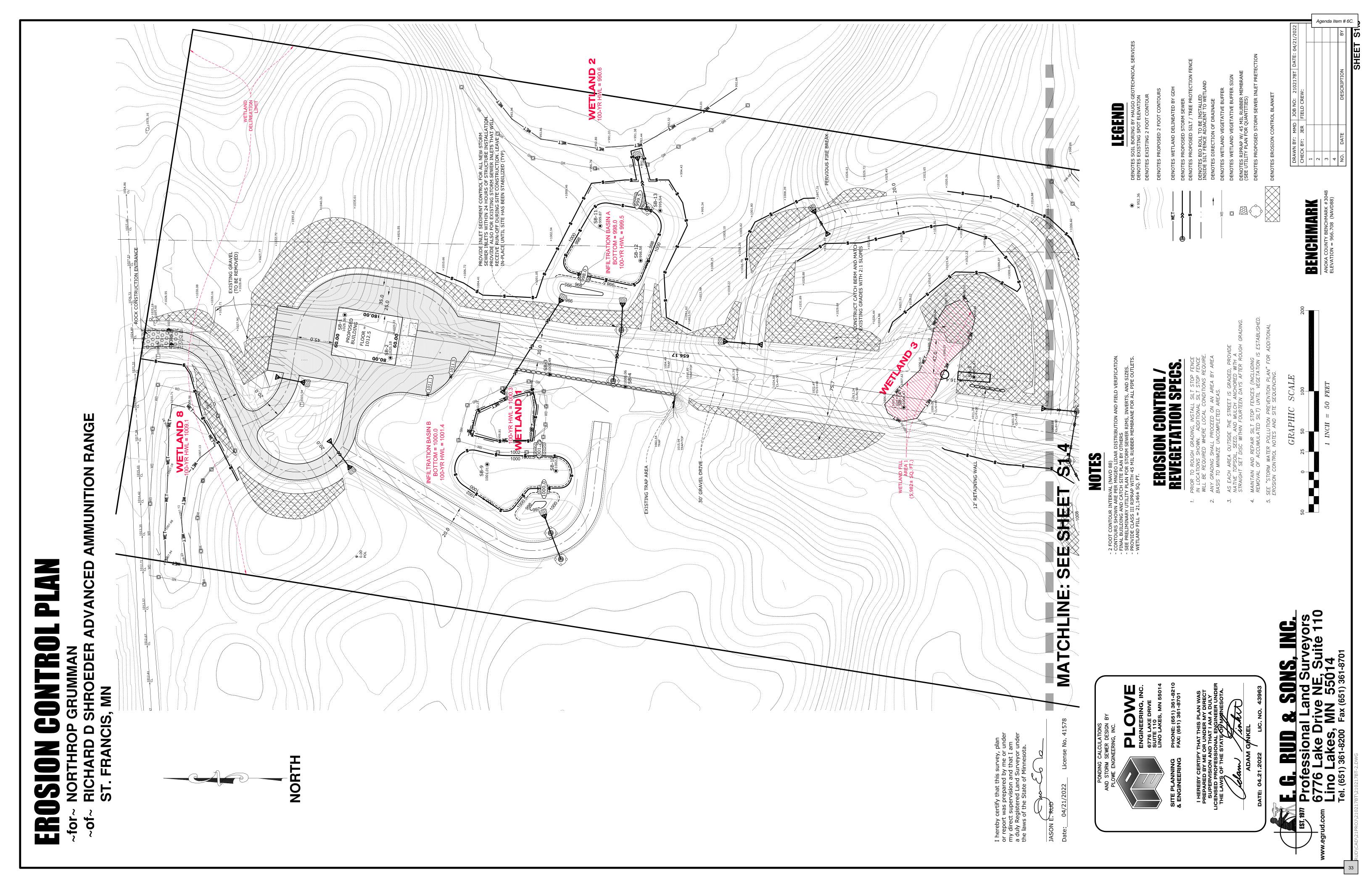
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AMMUNITION SITE
ST. FRANCIS, MN

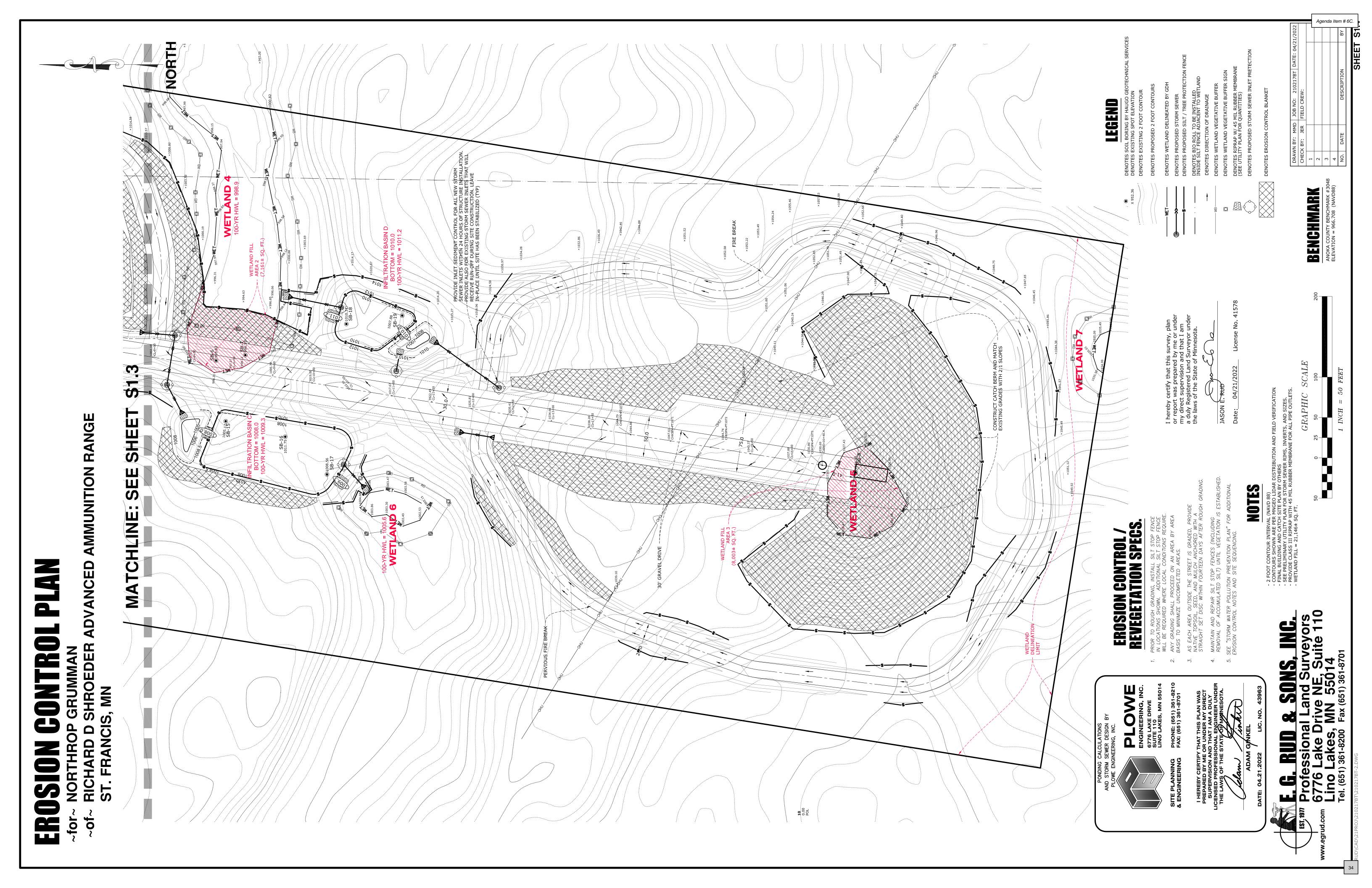
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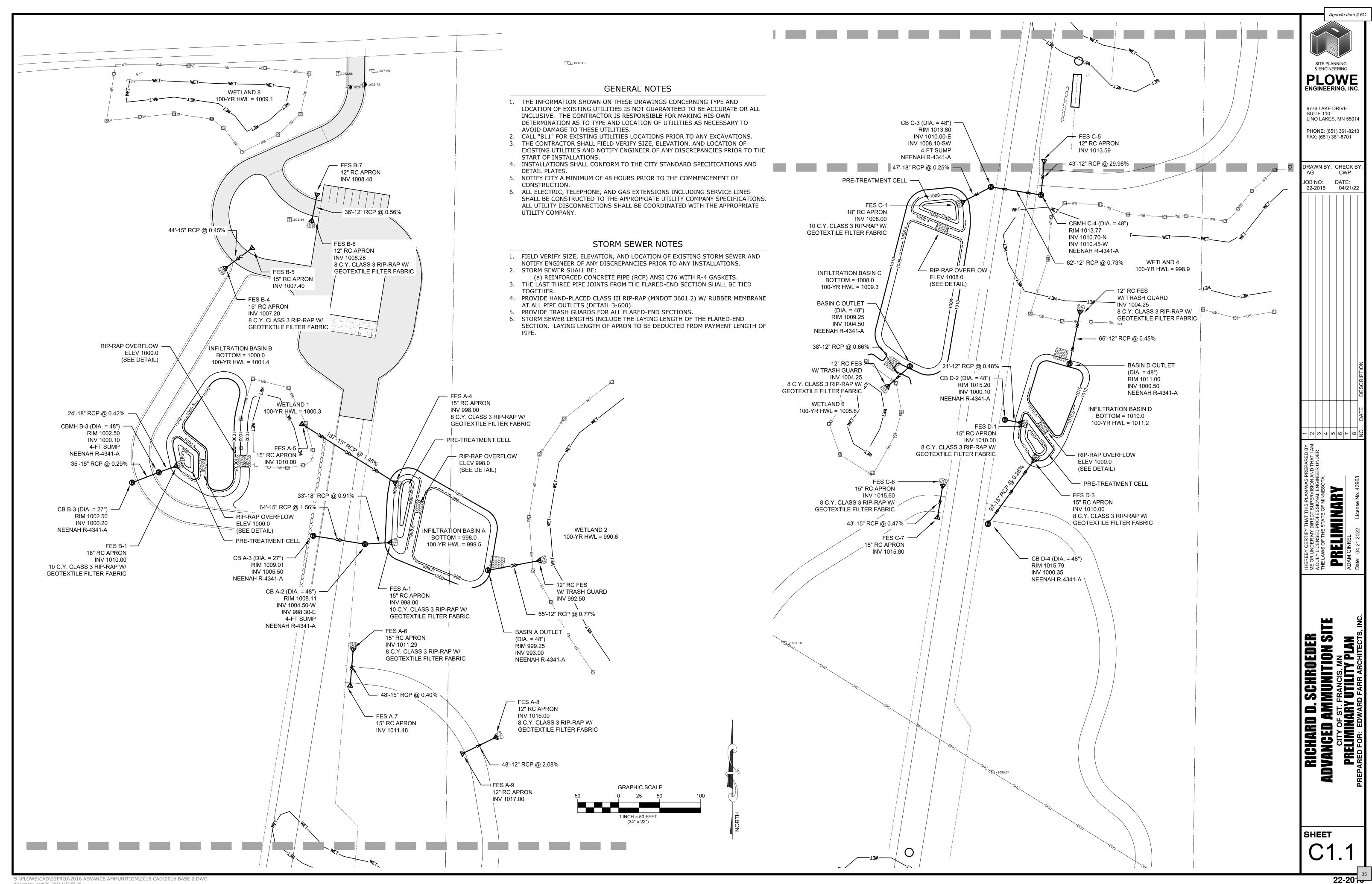
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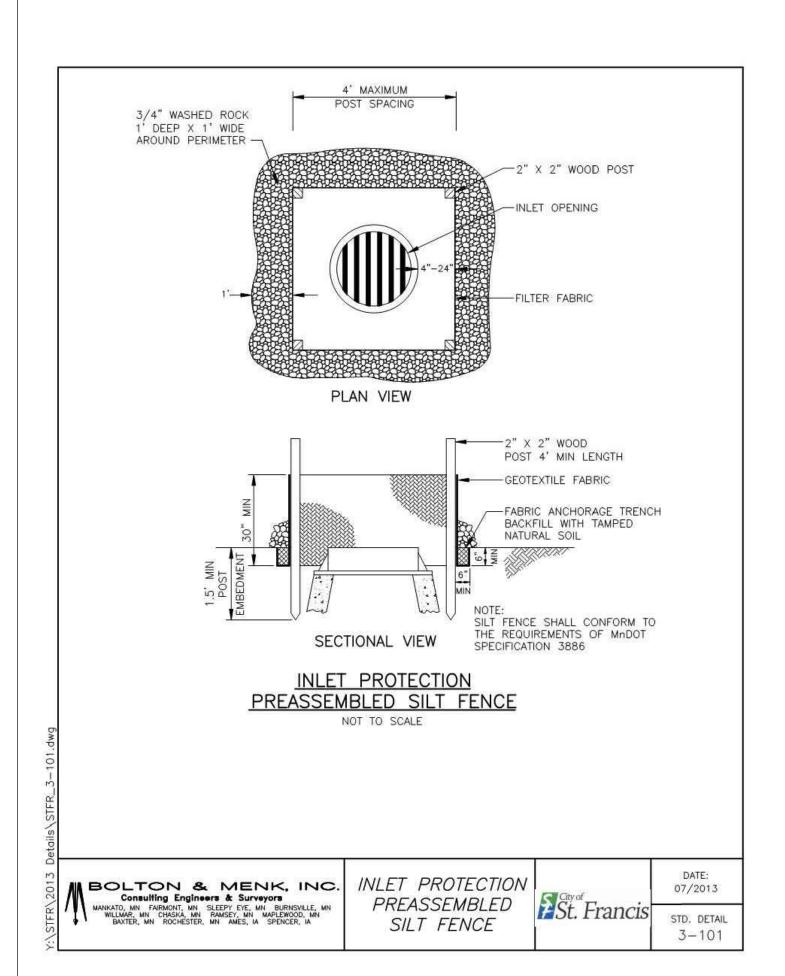


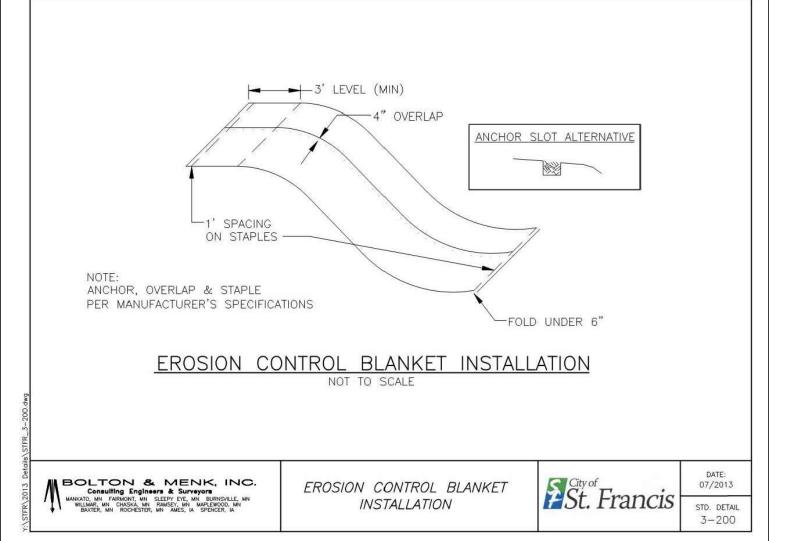


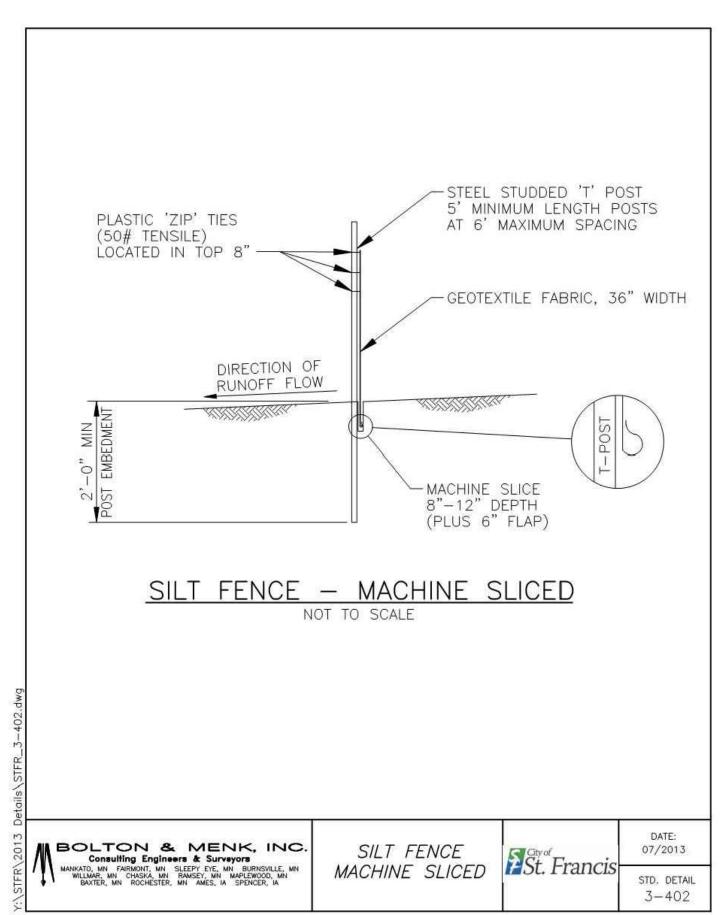


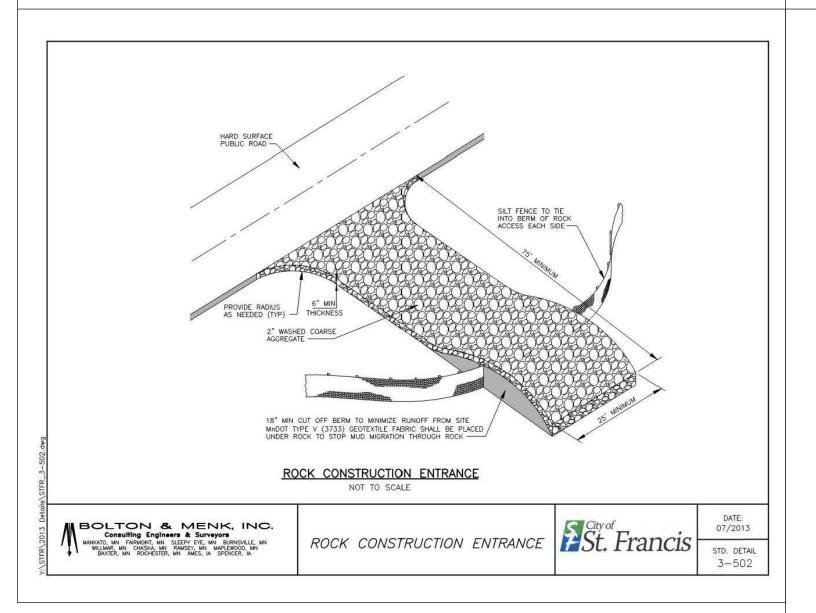


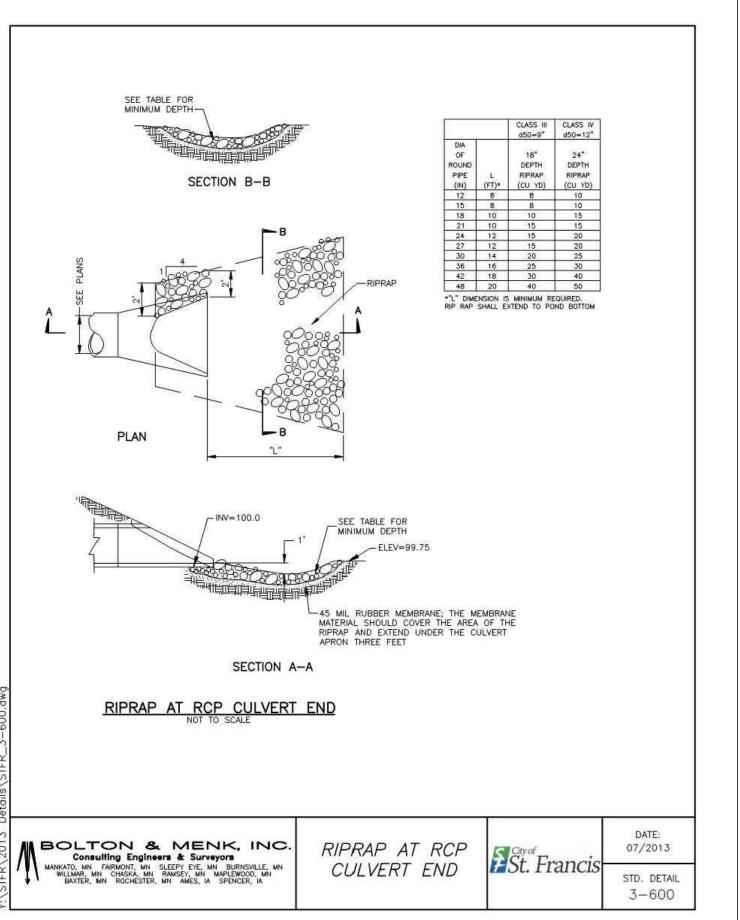


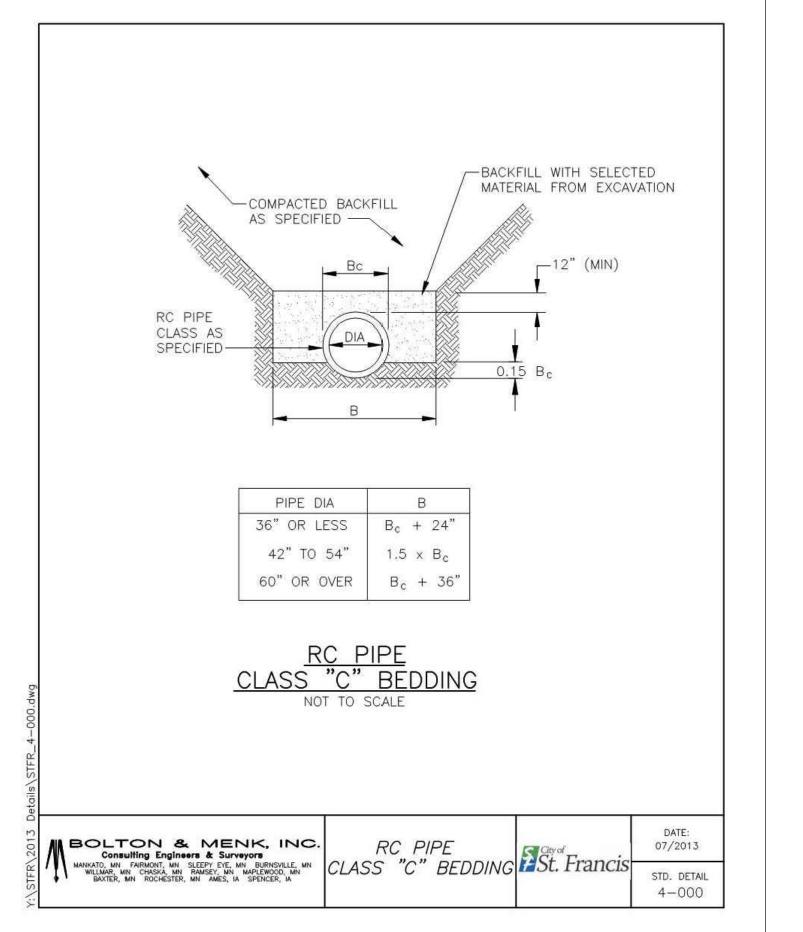














6776 LAKE DRIVE SUITE 110 LINO LAKES, MN 55014 PHONE: (651) 361-8210 FAX: (651) 361-8701

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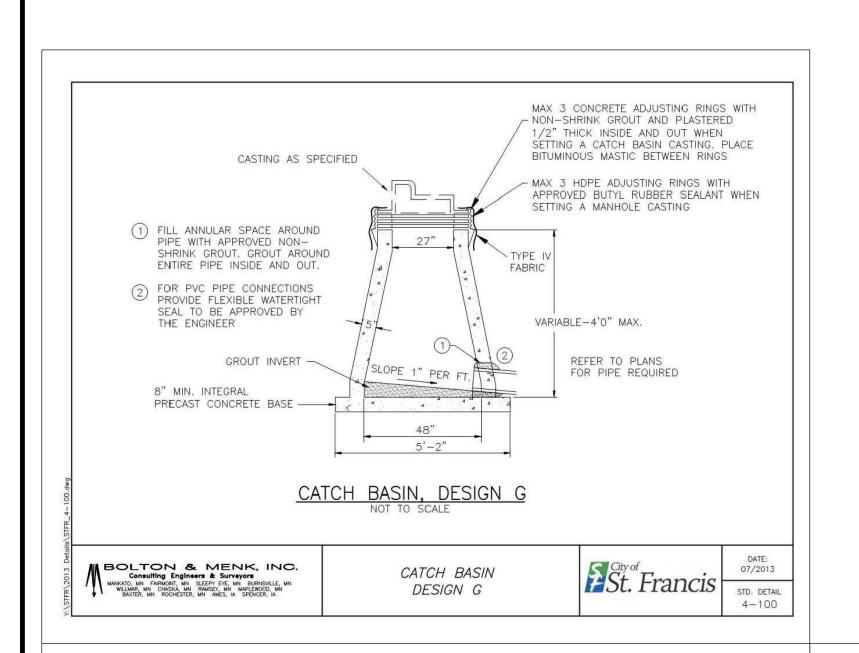
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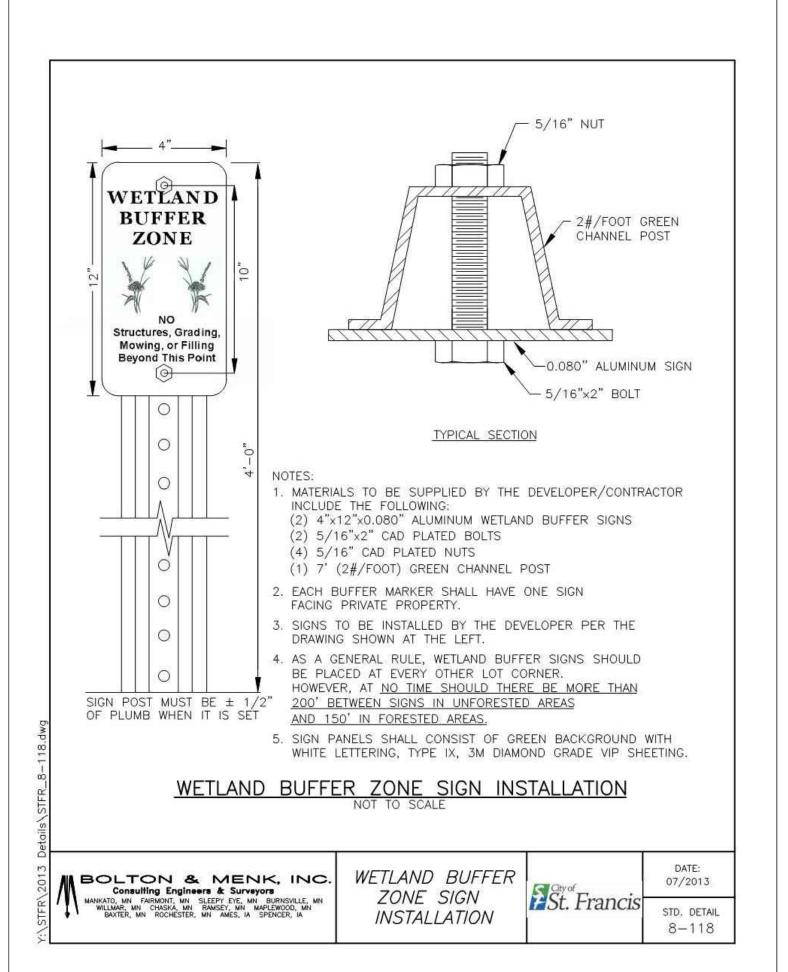
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CITY OF ST. FRANCIS, MN
DETAILS
DETAILS
PREPARED FOR: EDWARD FARR ARCHITECTS, INC.

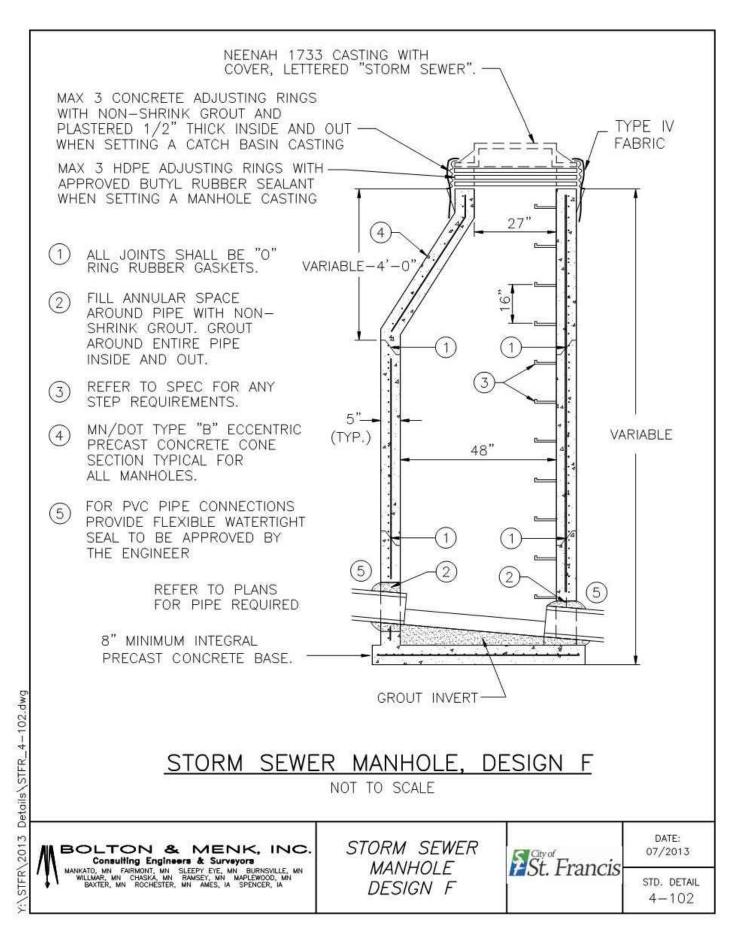
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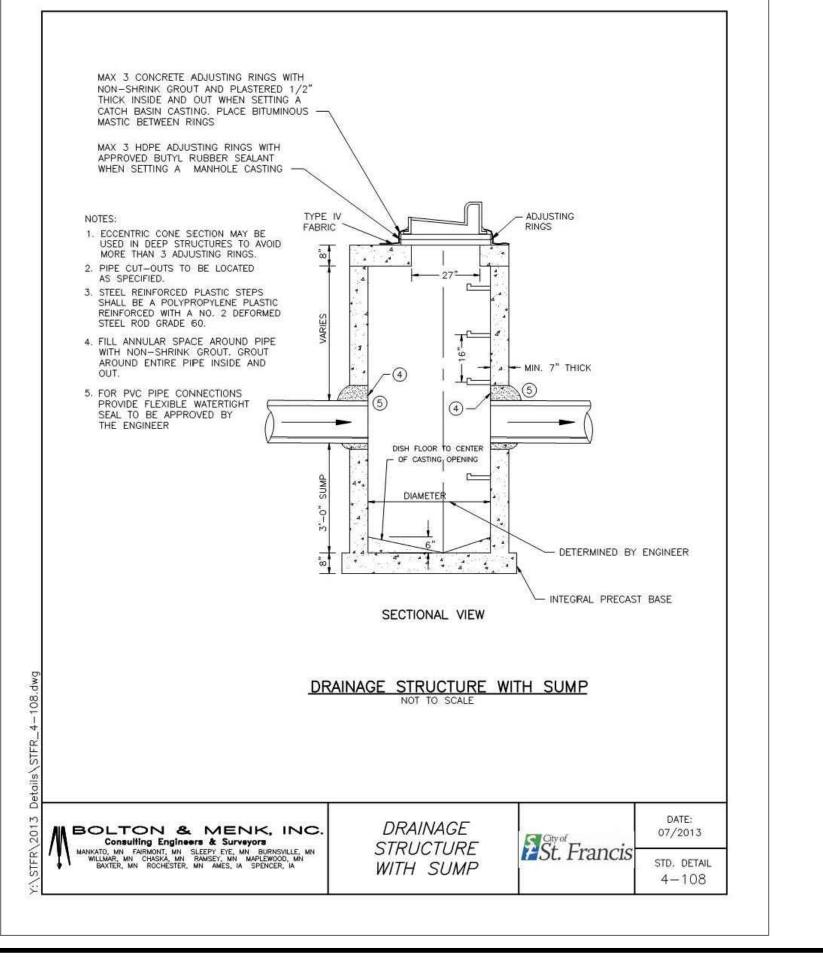
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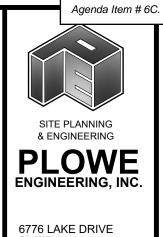
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SUITF 110 LINO LAKES, MN 55014 PHONE: (651) 361-8210 FAX: (651) 361-8701

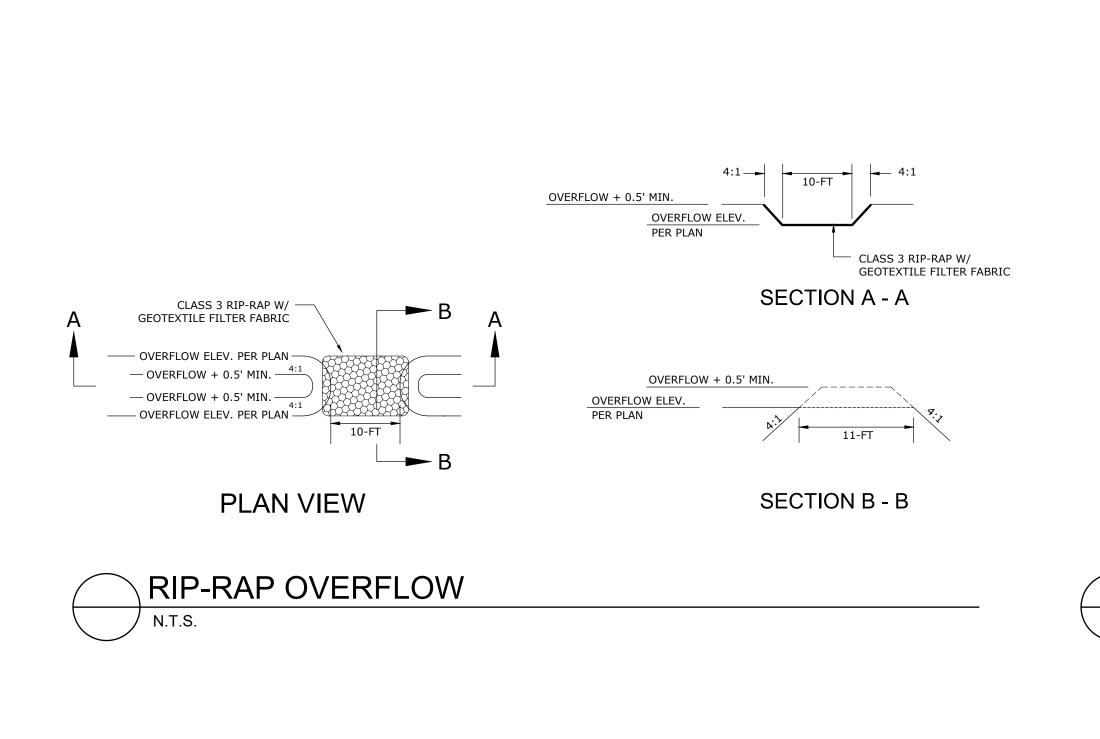
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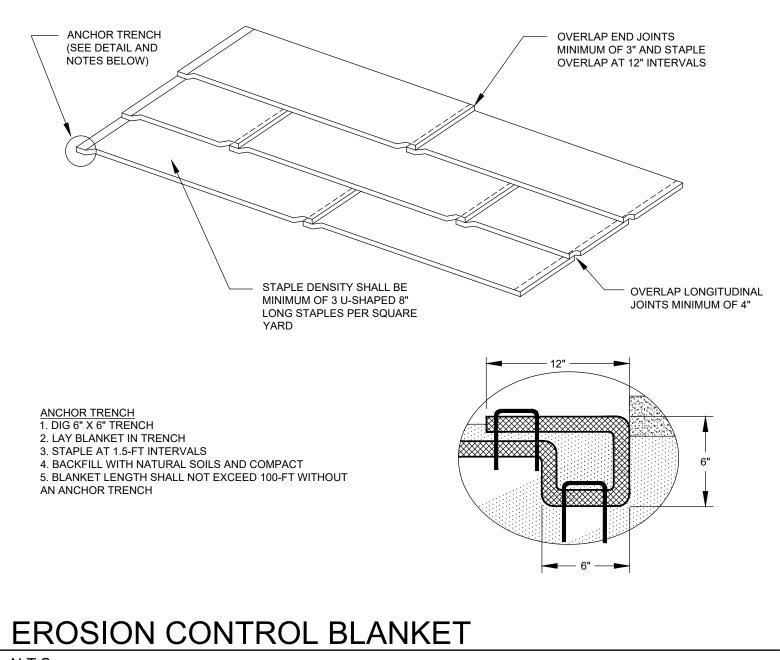
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CITY OF ST. FRANCIS, MN
DETAILS
PREPARED FOR: EDWARD FARR ARCHITECTS, INC.

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CITY OF ST. FRANCIS, MN
DETAILS
PREPARED FOR: EDWARD FARR ARCHITECTS, INC. SHEET

& ENGINEERING

PLOWE ENGINEERING, INC.

6776 LAKE DRIVE SUITE 110 LINO LAKES, MN 55014

PHONE: (651) 361-8210 FAX: (651) 361-8701

DRAWN BY: CHECK BY

JOB NO: DATE: 22-2016 04/21/22

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NOTES:

1. USE LOW-IMPACT, EARTH MOVING EQUIPMENT (WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT-EQUIPMENT

- PLANT W/ MNDOT SEED MIX 33-261 W/ EROSION

CONTROL BLANKET (STRAW-COCONUT BLANKET OR APPROVED EQUAL)

WITH TURF-TYPE TIRES) IN BASINS.

5. PROVIDE SILT FENCE AROUND BASIN.

2. NO MINING OF SANDY SOILS ALLOWED BELOW BASINS.

9. BASIN BOTTOM TO BE FLAT WITH NO DIPS OR SWALES.

NOTE: MIX IN SALVAGED ON-SITE TOPSOIL - INTO TOP 6" (MAX.) OF INFILTRATION AREA

3. DURING MASS GRADING, PERFORM SOILS CORRECTION IN BASINS AS NECESSARY. 4. AFTER MASS GRADING, LEAVE BASINS THREE (3) INCHES HIGHER THAN FINISHED GRADE.

6. PROTECT BASIN FROM RUN-OFF DURING REMAINDER OF CONSTRUCTION ACTIVITIES.

SLOPE SLOPE SLOPE

** IN-SITU SOILS ----

** ALLEVIATE ANY COMPACTED SOILS (BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER OR SUBSOILER) TO A DEPTH

NECESSARY TO ALLEVIATE COMPACTION

INFILTRATION BASIN

KEEP BASIN OFF-LINE UNTIL SITE HAS BEEN STABILIZED.
 ONCE SITE HAS BEEN STABILIZED, EXCAVATE BASIN TO FINAL GRADE.

- 4.2 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE. [MINN. R. 7090]
- 4.3 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT. [MINN. R. 7090]
- 4.4 PERMITTEES MAY TERMINATE PERMIT COVERAGE PRIOR TO COMPLETION OF ALL CONSTRUCTION ACTIVITY IF THEY MEET ALL OF THE FOLLOWING CONDITIONS:
- A. CONSTRUCTION ACTIVITY HAS CEASED FOR AT LEAST 90 DAYS; AND
- B. AT LEAST 90 PERCENT (BY AREA) OF ALL ORIGINALLY PROPOSED CONSTRUCTION ACTIVITY HAS BEEN COMPLETED AND PERMANENT COVER HAS BEEN ESTABLISHED ON THOSE AREAS; AND
- C. ON AREAS WHERE CONSTRUCTION ACTIVITY IS NOT COMPLETE, PERMANENT COVER HAS BEEN ESTABLISHED; AND D. THE SITE COMPLIES WITH ITEM 13.3 THROUGH 13.7.

AFTER PERMIT COVERAGE IS TERMINATED UNDER THIS ITEM, ANY SUBSEQUENT DEVELOPMENT ON THE REMAINING PORTIONS OF THE SITE WILL REQUIRE PERMIT COVERAGE IF THE SUBSEQUENT DEVELOPMENT ITSELF OR AS PART OF THE REMAINING COMMON PLAN OF DEVELOPMENT OR SALE WILL RESULT IN LAND DISTURBING ACTIVITIES OF ONE (1) OR MORE ACRES IN SIZE. [MINN. R. 7090]

4.5 PERMITTEES MAY TERMINATE COVERAGE UPON MPCA APPROVAL AFTER SUBMITTING INFORMATION DOCUMENTING THE OWNER CANCELED THE PROJECT. [MINN. R. 7090]

6.1 SWPPP AMENDMENTS. [MINN. R. 7090]

6.2 ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS. [MINN. R. 7090] 6.3 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER. [MINN. R. 7090]

6.4 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL. [MINN. R. 7050.0210]

7.1 BMP SELECTION AND INSTALLATION. [MINN. R. 7090]

7.2 PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPS IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES. [MINN. R. 7090]

8.1 EROSION PREVENTION PRACTICES. [MINN. R. 7090]

8.2 BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED. [MINN. R.

8.3 PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING). [MINN. R. 7090]

8.4 PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE. [MINN. R. 7090]

8.5 FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD. [MINN. R. 7090]

8.6 PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES. [MINN.

8.7 TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES. [MINN. R. 7090]

8.8 PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT. [MINN. R. 7090]

8.9 PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]
8.10 PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11. [MINN. R. 7090]

9.1 SEDIMENT CONTROL PRACTICES. [MINN. R. 7090]

9.2 PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMPS ON ALL DOWNGRADIENT PERIMETERS OF THE SITE AND DOWNGRADIENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADIENT LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER. [MINN. R. 7090]

9.3 IF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPS TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3. [MINN. R. 7090]

9.4 TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS. [MINN. R. 7090]

9.5 A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPLAND PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER. [MINN. R. 7090]

9.6 PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES, IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETED. PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE. [MINN. R. 7090]
9.7 PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPS DURING CONSTRUCTION UNTIL THEY

9.7 PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPS DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET. [MINN. R. 7090]

9.8 PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G., CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP. [MINN. R. 7090]

9.9 PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADIENT PERIMETER. [MINN. R. 7090]
9.10 PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING

9.10 PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. [MINN. R. 7090]

9.11 PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE. [MINN. R. 7090]
9.12 PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPS ARE NOT ADEQUATE TO PREVENT SEDIMEN

9.12 PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPS ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET. [MINN. R. 7090]

9.13 PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14. [MINN. R. 7090]
9.14 IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION. [MINN. R. 7090]

9.15 PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE. [MINN. R. 7090]

9.16 PERMITTEES MUST DIRECT DISCHARGES FROM BMPS TO VEGETATED AREAS UNLESS INFEASIBLE. [MINN. R. 7090]
9.17 PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS. IF PRESERVING THE BUFFER IS INFEASIBLE, PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER. [MINN. R. 7090]

9.18 PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE. [MINN. R. 7090]

10.1 DEWATERING AND BASIN DRAINING. [MINN. R. 7090]

10.2 PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMPS SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES. [MINN. R. 7050.0210]

10.3 IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE. [MINN. R. 7090]

10.4 PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR INUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND. [MINN.

10.5 IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION. [MINN. R. 7090]

11.1 INSPECTIONS AND MAINTENANCE. [MINN. R. 7090]

11.2 PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS. [MINN. R. 7090]

11.3 PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMPS. [MINN. R. 7090]
11.4 PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMPS WITH FUNCTIONAL BMPS BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA. [MINN. R. 7090]

11.5 DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS. [MINN. R. 7090]

11.6 PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS. [MINN. R. 7090]

11.7 PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE. [MINN. R. 7090]

11.8 PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. [MINN. R. 7090]

11.9 PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B. [MINN. R. 7090]

11.10 PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:

A. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION

ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR

B. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO

C. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING

CONSTRUCTION, WHICHEVER COMES FIRST. [MINN. R. 7090]

11.11 PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:

A. DATE AND TIME OF INSPECTIONS; AND
B. NAME OF PERSONS CONDUCTING INSPECTIONS; AND

C. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND

D. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES); AND
E. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH
EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED
ONSITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM
THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES; AND

F. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND

G. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS. [MINN. R. 7090]

12.1 POLLUTION PREVENTION MANAGEMENT MEASURES. [MINN. R. 7090]

12.2 PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER. [MINN. R. 7090]

12.3 PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. [MINN. R. 7090]

12.4 PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE. [MINN. R. 7090]

12.5 PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035. [MINN. R. 7035]
12.6 PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER.

PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041. [MINN. R. 7041] 12.7 PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE. [MINN. STAT. 115.061]

12.8 PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS. [MINN. R. 7090]

12.9 PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY. [MINN. R. 7035, MINN. R. 7090]

13.1 PERMIT TERMINATION CONDITIONS. [MINN. R. 7090]

13.2 PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER. [MINN. R. 7090]

13.3 PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 19 AND IS OPERATING AS DESIGNED. [MINN. R. 7090]

13.4 PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT. [MINN. R.

13.5 PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPS PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMPS DESIGNED TO DECOMPOSE ON-SITE IN PLACE. [MINN. R. 7090]

13.6 FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADIENT PERIMETER CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S "HOMEOWNER FACT SHEET" TO THE

HOMEOWNER. [MINN. R. 7090]
13.7 FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST
RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT. [MINN. R.

14.1 TEMPORARY SEDIMENT BASINS. [MINN. R. 7090]

14.2 WHERE TEN (10) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, PERMITTEES MUST PROVIDE A TEMPORARY SEDIMENT BASIN TO PROVIDE TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS. PERMITTEES MAY CONVERT A TEMPORARY SEDIMENT BASIN TO A PERMANENT BASIN AFTER CONSTRUCTION IS COMPLETE. THE TEMPORARY BASIN IS NO LONGER REQUIRED WHEN PERMANENT COVER REDUCED THE ACRES OF DISTURBED SOIL TO LESS THAN TEN (10) ACRES DRAINING TO A COMMON LOCATION. [MININ] B. 7000]

CONSTRUCTION IS COMPLETE. THE TEMPORARY BASIN IS NO LONGER REQUIRED WHEN PERMANENT COVER HAS REDUCED THE ACREAGE OF DISTURBED SOIL TO LESS THAN TEN (10) ACRES DRAINING TO A COMMON LOCATION. [MINN. R. 7090]

14.3 THE TEMPORARY BASIN MUST PROVIDE LIVE STORAGE FOR A CALCULATED VOLUME OF RUNOFF FROM A TWO (2)-YEAR,

24-HOUR STORM FROM EACH ACRE DRAINED TO THE BASIN OR 1,800 CUBIC FEET OF LIVE STORAGE PER ACRE DRAINED, WHICHEVER IS GREATER. [MINN. R. 7090]

14.4 WHERE PERMITTEES HAVE NOT CALCULATED THE TWO (2)-YEAR, 24-HOUR STORM RUNOFF AMOUNT, THE TEMPORARY

BASIN MUST PROVIDE 3,600 CUBIC FEET OF LIVE STORAGE PER ACRE OF THE BASINS' DRAINAGE AREA. [MINN. R. 7090]
14.5 PERMITTEES MUST DESIGN BASIN OUTLETS TO PREVENT SHORT-CIRCUITING AND THE DISCHARGE OF FLOATING DEBRIS. [MINN. R. 7090]
14.6 PERMITTEES MUST DESIGN THE OUTLET STRUCTURE TO WITHDRAW WATER FROM THE SURFACE TO MINIMIZE THE

DEBRIS. [MINN. R. 7090]

14.6 PERMITTEES MUST DESIGN THE OUTLET STRUCTURE TO WITHDRAW WATER FROM THE SURFACE TO MINIMIZE THE DISCHARGE OF POLLUTANTS. PERMITTEES MAY TEMPORARILY SUSPEND THE USE OF A SURFACE WITHDRAWAL MECHANISM DURING FROZEN CONDITIONS. THE BASIN MUST INCLUDE A STABILIZED EMERGENCY OVERFLOW TO PREVENT FAILURE OF

DURING FROZEN CONDITIONS. THE BASIN MUST INCLUDE A STABILIZED EMERGENCY OVERFLOW TO PREVENT FAILURE OF POND INTEGRITY. [MINN. R. 7090]
14.7 PERMITTEES MUST PROVIDE ENERGY DISSIPATION FOR THE BASIN OUTLET WITHIN 24 HOURS AFTER CONNECTION TO

A SURFACE WATER. [MINN. R. 7090]
14.8 PERMITTEES MUST LOCATE TEMPORARY BASINS OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONE REQUIRED IN

14.9 PERMITTEES MUST CONSTRUCT THE TEMPORARY BASINS PRIOR TO DISTURBING 10 OR MORE ACRES OF SOIL DRAINING TO A COMMON LOCATION. [MINN. R. 7090]

14.10 WHERE A TEMPORARY SEDIMENT BASIN MEETING THE REQUIREMENTS OF ITEM 14.3 THROUGH 14.9 IS INFEASIBLE, PERMITTEES MUST INSTALL EFFECTIVE SEDIMENT CONTROLS SUCH AS SMALLER SEDIMENT BASINS AND/OR SEDIMENT TRAPS, SILT FENCES, VEGETATIVE BUFFER STRIPS OR ANY APPROPRIATE COMBINATION OF MEASURES AS DICTATED BY INDIVIDUAL SITE CONDITIONS. IN DETERMINING WHETHER INSTALLING A SEDIMENT BASIN IS INFEASIBLE, PERMITTEES MUST CONSIDER PUBLIC SAFETY AND MAY CONSIDER FACTORS SUCH AS SITE SOILS, SLOPE, AND AVAILABLE AREA ON-SITE PERMITTEES MUST DOCUMENT THIS DETERMINATION OF INFEASIBILITY IN THE SWPPP. [MINN. R. 7090]

15.1 PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]

ITEM 23.11. [MINN. R. 7090]

15.2 PERMITTEES MUST DESIGN THE PROJECT SO ALL STORMWATER DISCHARGED FROM THE PROJECT DURING AND AFTER CONSTRUCTION ACTIVITIES DOES NOT CAUSE A VIOLATION OF STATE WATER QUALITY STANDARDS, INCLUDING NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR ON DOWNSLOPE PROPERTIES, OR A SIGNIFICANT ADVERSE IMPACT TO WETLANDS CAUSED BY INUNDATION OR DECREASE OF FLOW. [MINN. R. 7090]

15.3 PERMITTEES MUST DESIGN AND CONSTRUCT A PERMANENT STORMWATER TREATMENT SYSTEM TO TREAT THE WATER QUALITY VOLUME IF THE PROJECT'S ULTIMATE DEVELOPMENT REPLACES VEGETATION AND/OR OTHER PERVIOUS SURFACES CREATING A NET INCREASE OF ONE (1) OR MORE ACRES OF CUMULATIVE IMPERVIOUS SURFACE. [MINN. R. 7090]

15.4 PERMITTEES MUST CALCULATE THE WATER QUALITY VOLUME AS ONE (1) INCH TIMES THE NET INCREASE OF IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. R. 7090]

15.5 PERMITTEES MUST FIRST CONSIDER VOLUME REDUCTION PRACTICES ON-SITE (E.G., INFILTRATION OR OTHER) WHEN DESIGNING THE PERMANENT STORMWATER TREATMENT SYSTEM. IF THIS PERMIT PROHIBITS INFILTRATION AS DESCRIBED IN ITEM 16.14 THROUGH ITEM 16.21, PERMITTEES MAY CONSIDER A WET SEDIMENTATION BASIN, FILTRATION BASIN OR REGIONAL POND. THIS PERMIT DOES NOT CONSIDER WET SEDIMENTATION BASINS AND FILTRATION SYSTEMS TO BE VOLUME REDUCTION PRACTICES. [MINN. R. 7090]

15.6 FOR PROJECTS WHERE THE FULL VOLUME REDUCTION REQUIREMENT CANNOT BE MET ON-SITE, (E.G., THE SITE HAS INFILTRATION PROHIBITIONS), PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. [MINN. R. 7090]

15.7 PERMITTEES MUST DISCHARGE THE WATER QUALITY VOLUME TO A PERMANENT STORMWATER TREATMENT SYSTEM PRIOR TO DISCHARGE TO A SURFACE WATER. FOR PURPOSES OF THIS ITEM, SURFACE WATERS DO NOT INCLUDE MAN-MADE DRAINAGE SYSTEMS THAT CONVEY STORMWATER TO A PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]

15.8 WHERE THE PROXIMITY TO BEDROCK PRECLUDES THE INSTALLATION OF ANY OF THE PERMANENT STORMWATER TREATMENT PRACTICES REQUIRED BY SECTIONS 15 THROUGH 19, PERMITTEES MUST INSTALL OTHER TREATMENT SUCH AS GRASSED SWALES, SMALLER PONDS, OR GRIT CHAMBERS, PRIOR TO THE DISCHARGE OF STORMWATER TO SURFACE WATERS. [MINN. R. 7090]

15.9 FOR LINEAR PROJECTS WHERE PERMITTEES CANNOT TREAT THE ENTIRE WATER QUALITY VOLUME WITHIN THE EXISTING RIGHTOF-WAY, PERMITTEES MUST MAKE A REASONABLE ATTEMPT TO OBTAIN ADDITIONAL RIGHT-OF-WAY, EASEMENT OR OTHER PERMISSION FOR STORMWATER TREATMENT DURING THE PROJECT PLANNING PROCESS. DOCUMENTATION OF THESE ATTEMPTS MUST BE IN THE SWPPP. PERMITTEES MUST STILL CONSIDER VOLUME REDUCTION PRACTICES FIRST AS DESCRIBED IN ITEM 15.5. IF PERMITTEES CANNOT OBTAIN ADDITIONAL RIGHT-OF-WAY, EASEMENT OR OTHER PERMISSION, THEY MUST MAXIMIZE THE TREATMENT OF THE WATER QUALITY VOLUME PRIOR TO DISCHARGE TO SURFACE WATERS. [MINN. R. 7090]

16.2 INFILTRATION OPTIONS INCLUDE, BUT ARE NOT LIMITED TO: INFILTRATION BASINS, INFILTRATION TRENCHES, RAINWATER GARDENS, BIORETENTION AREAS WITHOUT UNDERDRAINS, SWALES WITH IMPERMEABLE CHECK DAMS, AND NATURAL DEPRESSIONS. IF PERMITTEES UTILIZE AN INFILTRATION SYSTEM TO MEET THE REQUIREMENTS OF THIS PERMIT, THEY MUST INCORPORATE THE DESIGN PARAMETERS IN ITEM 16.3 THROUGH ITEM 16.21. PERMITTEES MUST FOLLOW THE INFILTRATION PROHIBITION IN ITEM 16.14 ANYTIME AN INFILTRATION SYSTEM IS DESIGNED, INCLUDING THOSE NOT REQUIRED BY THIS PERMIT. [MINN. R. 7090]

16.3 PERMITTEES MUST DESIGN INFILTRATION SYSTEMS SUCH THAT PRE-EXISTING HYDROLOGIC CONDITIONS OF WETLANDS IN THE VICINITY ARE NOT IMPACTED (E.G., INUNDATION OR BREACHING A PERCHED WATER TABLE SUPPORTING A WETLAND). [MINN. R. 7090]

16.4 PERMITTEES MUST NOT EXCAVATE INFILTRATION SYSTEMS TO FINAL GRADE, OR WITHIN THREE (3) FEET OF FINAL

GRADE, UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED UNLESS THEY PROVIDE RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS (E.G., DIVERSION BERMS) TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREA. [MINN. R. 7090]

16.5 WHEN EXCAVATING AN INFILTRATION SYSTEM TO WITHIN THREE (3) FEET OF FINAL GRADE, PERMITTEES MUST STAKE OFF AND MARK THE AREA SO HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT DO NOT COMPACT THE SOIL IN THE

INFILTRATION AREA. [MINN. R. 7090]

16.6 PERMITTEES MUST USE A PRETREATMENT DEVICE SUCH AS A VEGETATED FILTER STRIP, FOREBAY, OR WATER QUALITY INLET (E.G., GRIT CHAMBER) TO REMOVE SOLIDS, FLOATING MATERIALS, AND OIL AND GREASE FROM THE RUNOFF, TO THE MAXIMUM EXTENT PRACTICABLE, BEFORE THE SYSTEM ROUTES STORMWATER TO THE INFILTRATION SYSTEM. [MINN. R.

16.7 PERMITTEES MUST DESIGN INFILTRATION SYSTEMS TO PROVIDE A WATER QUALITY VOLUME (CALCULATED AS AN INSTANTANEOUS VOLUME) OF ONE (1) INCH OF RUNOFF, OR ONE (1) INCH MINUS THE VOLUME OF STORMWATER TREATED BY ANOTHER SYSTEM ON THE SITE, FROM THE NET INCREASE OF IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN.

16.8 PERMITTEES MUST DESIGN THE INFILTRATION SYSTEM TO DISCHARGE ALL STORMWATER (INCLUDING STORMWATER IN EXCESS OF THE WATER QUALITY VOLUME) ROUTED TO THE SYSTEM THROUGH THE UPPERMOST SOIL SURFACE OR ENGINEERED MEDIA SURFACE WITHIN 48 HOURS. PERMITTEES MUST ROUTE ADDITIONAL FLOWS THAT CANNOT INFILTRATE WITHIN 48 HOURS TO BYPASS THE SYSTEM THROUGH A STABILIZED DISCHARGE POINT. [MINN. R. 7090]

16.9 PERMITTEES MUST PROVIDE A MEANS TO VISUALLY VERIFY THE INFILTRATION SYSTEM IS DISCHARGING THROUGH THE SOIL SURFACE OR FILTER MEDIA SURFACE WITHIN 48 HOURS OR LESS. [MINN. R. 7090]

16.10 PERMITTEES MUST PROVIDE AT LEAST ONE SOIL BORING, TEST PIT OR INFILTROMETER TEST IN THE LOCATION OF THE INFILTRATION PRACTICE FOR DETERMINING INFILTRATION RATES. [MINN. R. 7090]

16.11 FOR DESIGN PURPOSES, PERMITTEES MUST DIVIDE FIELD MEASURED INFILTRATION RATES BY 2 AS A SAFETY FACTOR OR PERMITTEES CAN USE SOIL-BORING RESULTS WITH THE INFILTRATION RATE CHART IN THE MINNESOTA STORMWATER MANUAL TO DETERMINE DESIGN INFILTRATION RATES. WHEN SOIL BORINGS INDICATE TYPE A SOILS, PERMITTEES SHOULD PERFORM FIELD MEASUREMENTS TO VERIFY THE RATE IS NOT ABOVE 8.3 INCHES PER HOUR. THIS PERMIT PROHIBITS INFILTRATION IF THE FIELD MEASURED INFILTRATION RATE IS ABOVE 8.3 INCHES PER HOUR. [MINN. R. 7090]

16.12 PERMITTEES MUST EMPLOY APPROPRIATE ON-SITE TESTING ENSURE A MINIMUM OF THREE (3) FEET OF SEPARATION FROM THE SEASONALLY SATURATED SOILS (OR FROM BEDROCK) AND THE BOTTOM OF THE PROPOSED INFILTRATION SYSTEM. [MINN. R. 7090]

16.13 PERMITTEES MUST DESIGN A MAINTENANCE ACCESS, TYPICALLY EIGHT (8) FEET WIDE, FOR THE INFILTRATION SYSTEM. [MINN. R. 7090]
16.14 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS THAT RECEIVE RUNOFF FROM

VEHICLE FUELING AND MAINTENANCE AREAS INCLUDING CONSTRUCTING INFILTRATION SYSTEMS THAT RECEIVE RUNOFF FROM VEHICLE FUELING AND MAINTENANCE AREAS INCLUDING CONSTRUCTION OF INFILTRATION SYSTEMS NOT REQUIRED BY THIS PERMIT. [MINN. R. 7090]

16.15 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS WHERE INFILTRATING STORMWATER MAY MOBILIZE HIGH LEVELS OF CONTAMINANTS IN SOIL OR GROUNDWATER. PERMITTEES MUST EITHER COMPLETE THE MPCA'S CONTAMINATION SCREENING CHECKLIST OR CONDUCT THEIR OWN ASSESSMENT TO DETERMINE THE SUITABILITY FOR INFILTRATION. PERMITTEES MUST RETAIN THE CHECKLIST OR ASSESSMENT WITH THE SWPPP. FOR MORE INFORMATION AND TO ACCESS THE MPCA'S "CONTAMINATION SCREENING CHECKLIST" SEE THE MINNESOTA STORMWATER MANUAL. [MINN. R. 7090]

16.16 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS WHERE SOIL

INFILTRATION RATES ARE FIELD MEASURED AT MORE THAN 8.3 INCHES PER HOUR UNLESS THEY AMEND SOILS TO SLOW THE INFILTRATION RATE BELOW 8.3 INCHES PER HOUR. [MINN. R. 7090]

16.17 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS WITH LESS THAN THREE (3) FEET OF SEPARATION DISTANCE FROM THE BOTTOM OF THE INFILTRATION SYSTEM TO THE ELEVATION OF THE

SEASONALLY SATURATED SOILS OR THE TOP OF BEDROCK. [MINN. R. 7090]

16.18 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS OF PREDOMINATELY HYDROLOGIC SOIL GROUP TYPE D SOILS (CLAY). [MINN. R. 7090]

16.19 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS WITHIN A DRINKING WATER SUPPLY MANAGEMENT AREA (DWSMA) AS DEFINED IN MINN. R. 4720.5100, SUBP. 13, IF THE SYSTEM WILL BE LOCATED:

A. IN AN EMERGENCY RESPONSE AREA (ERA) WITHIN A DWSMA CLASSIFIED AS HAVING HIGH OR VERY HIGH VULNERABILITY AS DEFINED BY THE MINNESOTA DEPARTMENT OF HEALTH; OR

B. IN AN ERA WITHIN A DWSMA CLASSIFIED AS MODERATE VULNERABILITY UNLESS A REGULATED MS4 PERMITTEE PERFORMED OR APPROVED A HIGHER LEVEL OF ENGINEERING REVIEW SUFFICIENT TO PROVIDE A FUNCTIONING TREATMENT SYSTEM AND TO PREVENT ADVERSE IMPACTS TO GROUNDWATER; OR

C. OUTSIDE OF AN ERA WITHIN A DWSMA CLASSIFIED AS HAVING HIGH OR VERY HIGH VULNERABILITY, UNLESS A REGULATED MS4 PERMITTEE PERFORMED OR APPROVED A HIGHER LEVEL OF ENGINEERING REVIEW SUFFICIENT TO PROVIDE A FUNCTIONING TREATMENT SYSTEM AND TO PREVENT ADVERSE IMPACTS TO GROUNDWATER.

SEE "HIGHER LEVEL OF ENGINEERING REVIEW" IN THE MINNESOTA STORMWATER MANUAL FOR MORE INFORMATION. [MINN.

16.20 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS WITHIN 1,000 FEET

UPGRADIENT OR 100 FEET DOWNGRADIENT OF ACTIVE KARST FEATURES. [MINN. R. 7090]

16.21 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS THAT RECEIVE RUNOFF FROM THE FOLLOWING INDUSTRIAL FACILITIES NOT AUTHORIZED TO INFILTRATE STORMWATER UNDER THE NPDES STORMWATER PERMIT FOR INDUSTRIAL ACTIVITIES: AUTOMOBILE SALVAGE YARDS; SCRAP RECYCLING AND WASTE RECYCLING FACILITIES; HAZARDOUS WASTE TREATMENT, STORAGE, OR DISPOSAL FACILITIES; OR AIR TRANSPORTATION FACILITIES THAT CONDUCT DEICING ACTIVITIES. [MINN. R. 7090]

17.1 FILTRATION SYSTEMS. [MINN. R. 7090]

17.2 FILTRATION OPTIONS INCLUDE, BUT ARE NOT LIMITED TO: SAND FILTERS WITH UNDERDRAINS, BIOFILTRATION AREAS, SWALES USING UNDERDRAINS WITH IMPERMEABLE CHECK DAMS AND UNDERGROUND SAND FILTERS. IF PERMITTEES UTILIZE A FILTRATION SYSTEM TO MEET THE PERMANENT STORMWATER TREATMENT REQUIREMENTS OF THIS PERMIT, THEY

MUST COMPLY WITH ITEMS 17.3 THROUGH 17.11. [MINN. R. 7090]

17.3 PERMITTEES MUST NOT INSTALL FILTER MEDIA UNTIL THEY CONSTRUCT AND FULLY STABILIZE THE CONTRIBUTING DRAINAGE AREA UNLESS THEY PROVIDE RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS (E.G., DIVERSION

17.4 PERMITTEES MUST DESIGN FILTRATION SYSTEMS TO REMOVE AT LEAST 80 PERCENT OF TSS. [MINN. R. 7090]

17.5 PERMITTEES MUST USE A PRETREATMENT DEVICE SUCH AS A VEGETATED FILTER STRIP, SMALL SEDIMENTATION BASIN, WATER QUALITY INLET, FOREBAY OR HYDRODYNAMIC SEPARATOR TO REMOVE SETTLEABLE SOLIDS, FLOATING MATERIALS, AND OILS AND GREASE FROM THE RUNOFF, TO THE MAXIMUM EXTENT PRACTICABLE, BEFORE RUNOFF ENTERS THE FILTRATION SYSTEM. [MINN. R. 7090]

BERMS) TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE FILTRATION AREA. [MINN. R. 7090]

17.6 PERMITTEES MUST DESIGN FILTRATION SYSTEMS TO TREAT A WATER QUALITY VOLUME (CALCULATED AS AN INSTANTANEOUS VOLUME) OF ONE (1) INCH OF RUNOFF, OR ONE (1) INCH MINUS THE VOLUME OF STORMWATER TREATED BY ANOTHER SYSTEM ON THE SITE, FROM THE NET INCREASE OF IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. R. 7090]

17.7 PERMITTEES MUST DESIGN THE FILTRATION SYSTEM TO DISCHARGE ALL STORMWATER (INCLUDING STORMWATER IN EXCESS OF THE WATER QUALITY VOLUME) ROUTED TO THE SYSTEM THROUGH THE UPPERMOST SOIL SURFACE OR ENGINEERED MEDIA SURFACE WITHIN 48 HOURS. ADDITIONAL FLOWS THAT THE SYSTEM CANNOT FILTER WITHIN 48 HOURS MUST BYPASS THE SYSTEM OR DISCHARGE THROUGH AN EMERGENCY OVERFLOW. [MINN. R. 7090]

17.8 PERMITTEES MUST DESIGN THE FILTRATION SYSTEM TO PROVIDE A MEANS TO VISUALLY VERIFY THE SYSTEM IS DISCHARGING THROUGH THE SOIL SURFACE OR FILTER MEDIA WITHIN 48 HOURS. [MINN. R. 7090]

17.9 PERMITTEES MUST EMPLOY APPROPRIATE ON-SITE TESTING TO ENSURE A MINIMUM OF THREE (3) FEET OF SEPARATION BETWEEN THE SEASONALLY SATURATED SOILS (OR FROM BEDROCK) AND THE BOTTOM OF THE PROPOSED FILTRATION SYSTEM. [MINN. R. 7090]

17.10 PERMITTEES MUST ENSURE THAT FILTRATION SYSTEMS WITH LESS THAN THREE (3) FEET OF SEPARATION BETWEEN

SEASONALLY SATURATED SOILS OR FROM BEDROCK ARE CONSTRUCTED WITH AN IMPERMEABLE LINER. [MINN. R. 7090]

17.11 THE PERMITTEES MUST DESIGN A MAINTENANCE ACCESS, TYPICALLY EIGHT (8) FEET WIDE, FOR THE FILTRATION SYSTEM. [MINN. R. 7090]

18.1 WET SEDIMENTATION BASIN. [MINN. R. 7090]

18.2 PERMITTEES USING A WET SEDIMENTATION BASIN TO MEET THE PERMANENT STORMWATER TREATMENT REQUIREMENTS OF THIS PERMIT MUST INCORPORATE THE DESIGN PARAMETERS IN ITEM 18.3 THROUGH 18.10. [MINN. R.

18.3 PERMITTEES MUST DESIGN THE BASIN TO HAVE A PERMANENT VOLUME OF 1,800 CUBIC FEET OF STORAGE BELOW THE OUTLET PIPE FOR EACH ACRE THAT DRAINS TO THE BASIN. THE BASIN'S PERMANENT VOLUME MUST REACH A MINIMUM DEPTH OF AT LEAST THREE (3) FEET AND MUST HAVE NO DEPTH GREATER THAN 10 FEET. PERMITTEES MUST CONFIGURE THE BASIN TO MINIMIZE SCOUR OR RESUSPENSION OF SOLIDS. [MINN. R. 7090]

18.4 PERMITTEES MUST DESIGN THE BASIN TO PROVIDE LIVE STORAGE FOR A WATER QUALITY VOLUME (CALCULATED AS AN INSTANTANEOUS VOLUME) OF ONE (1) INCH OF RUNOFF, OR ONE (1) INCH MINUS THE VOLUME OF STORMWATER TREATED BY ANOTHER SYSTEM ON THE SITE, FROM THE NET INCREASE IN IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. P. 7000]

R. 7090]

18.5 PERMITTEES MUST DESIGN BASIN OUTLETS SO THE WATER QUALITY VOLUME DISCHARGES AT NO MORE THAN 5.66

CUBIC FEET PER SECOND (CFS) PER ACRE OF SURFACE AREA OF THE BASIN. [MINN. R. 7090]

DEBRIS. BASIN OUTLETS MUST HAVE ENERGY DISSIPATION. [MINN. R. 7090]

18.7 PERMITTEES MUST DESIGN THE BASIN TO INCLUDE A STABILIZED EMERGENCY OVERFLOW TO ACCOMMODATE STORM EVENTS IN EXCESS OF THE BASIN'S HYDRAULIC DESIGN. [MINN. R. 7090]

18.6 PERMITTEES MUST DESIGN BASIN OUTLETS TO PREVENT SHORT-CIRCUITING AND THE DISCHARGE OF FLOATING

18.8 PERMITTEES MUST DESIGN A MAINTENANCE ACCESS, TYPICALLY EIGHT (8) FEET WIDE, FOR THE BASIN. [MINN. R. 7090]

18.9 PERMITTEES MUST LOCATE BASINS OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONE REQUIRED IN ITEM 23.11.
PERMITTEES MUST DESIGN BASINS TO AVOID DRAINING WATER FROM WETLANDS UNLESS THE IMPACT TO THE WETLAND

COMPLIES WITH THE REQUIREMENTS OF SECTION 22. [MINN. R. 7090]

18.10 PERMITTEES MUST DESIGN BASINS USING AN IMPERMEABLE LINER IF LOCATED WITHIN ACTIVE KARST TERRAIN.
[MINN. R. 7090]

19.1 REGIONAL WET SEDIMENTATION BASINS. [MINN. R. 7090]

19.2 WHEN THE ENTIRE WATER QUALITY VOLUME CANNOT BE RETAINED ONSITE, PERMITTEES CAN USE OR CREATE REGIONAL WET SEDIMENTATION BASINS PROVIDED THEY ARE CONSTRUCTED BASINS, NOT A NATURAL WETLAND OR WATER BODY, (WETLANDS USED AS REGIONAL BASINS MUST BE MITIGATED FOR, SEE SECTION 22). THE OWNER MUST ENSURE THE REGIONAL BASIN CONFORMS TO ALL REQUIREMENTS FOR A WET SEDIMENTATION BASIN AS DESCRIBED IN ITEMS 18.3 THROUGH 18.10 AND MUST BE LARGE ENOUGH TO ACCOUNT FOR THE ENTIRE AREA THAT DRAINS TO THE REGIONAL BASIN. PERMITTEES MUST VERIFY THAT THE REGIONAL BASIN WILL DISCHARGE AT NO MORE THAN 5.66 CFS PER ACRE OF SURFACE AREA OF THE BASIN AND MUST PROVIDE A LIVE STORAGE VOLUME OF ONE INCH TIMES ALL THE IMPERVIOUS AREA DRAINING TO THE BASIN. PERMITTEES CANNOT SIGNIFICANTLY DEGRADE WATERWAYS BETWEEN THE PROJECT AND THE REGIONAL BASIN. THE OWNER MUST OBTAIN WRITTEN AUTHORIZATION FROM THE APPLICABLE LGU OR PRIVATE ENTITY THAT OWNS AND MAINTAINS THE REGIONAL BASIN. [MINN. R. 7090]

20.1 SWPPP AVAILABILITY. [MINN. R. 7090]

20.2 PERMITTEES MUST KEEP THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS AT THE SITE DURING NORMAL WORKING HOURS BY PERMITTEES WHO HAVE OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. [MINN. R. 7090]

21.1 TRAINING REQUIREMENTS. [MINN. R. 7090] 21.2 PERMITTEES MUST ENSURE ALL OF THE FOLLOWING INDIVIDUALS RECEIVE TRAINING AND THE CONTENT AND EXTENT

OF THE TRAINING IS COMMENSURATE WITH THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES WITH REGARD TO ACTIVITIES COVERED UNDER THIS PERMIT:

A. INDIVIDUALS PREPARING THE SWPPP FOR THE PROJECT.

B. INDIVIDUALS OVERSEEING IMPLEMENTATION OF, REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS

PERFORMING INSPECTIONS FOR THE PROJECT. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE

INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA.

C. INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. [MINN. R. 7090]

21.3 PERMITTEES MUST ENSURE INDIVIDUALS IDENTIFIED IN SECTION 21 RECEIVE TRAINING FROM LOCAL, STATE, FEDERAL AGENCIES, PROFESSIONAL ORGANIZATIONS, OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, PERMANENT STORMWATER TREATMENT AND THE MINNESOTA NPDES/SDS CONSTRUCTION STORMWATER PERMIT. PERMITTEES MUST ENSURE THESE INDIVIDUALS ATTEND A REFRESHER-TRAINING COURSE EVERY THREE (3) YEARS. [MINN.

24.1 GENERAL PROVISIONS. [MINN. R. 7090]

24.2 IF THE MPCA DETERMINES THAT AN INDIVIDUAL PERMIT WOULD MORE APPROPRIATELY REGULATE THE CONSTRUCTION ACTIVITY, THE MPCA MAY REQUIRE AN INDIVIDUAL PERMIT TO CONTINUE THE CONSTRUCTION ACTIVITY. COVERAGE UNDER THIS GENERAL PERMIT WILL REMAIN IN EFFECT UNTIL THE MPCA ISSUES AN INDIVIDUAL PERMIT. [MINN. R. 7001.0210, SUBP. 6]
24.3 IF THE PERMITTEE CANNOT MEET THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT, AN OWNER MAY REQUEST

AN INDIVIDUAL PERMIT, IN ACCORDANCE WITH MINN. R. 7001.0210 SUBP. 6. [MINN. R. 7001.0210, SUBP. 6]
24.4 ANY INTERESTED PERSON MAY PETITION THE MPCA TO REQUIRE AN INDIVIDUAL NPDES/SDS PERMIT IN ACCORDANCE WITH 40 CFR 122.28(B)(3). [40 CFR 122.29(B)(3)]
24.5 PERMITTEES MUST MAKE THE SWPPP, INCLUDING ALL INSPECTION REPORTS, MAINTENANCE RECORDS, TRAINING

24.5 PERMITTEES MUST MAKE THE SWPPP, INCLUDING ALL INSPECTION REPORTS, MAINTENANCE RECORDS, TRAINING RECORDS AND OTHER INFORMATION REQUIRED BY THIS PERMIT, AVAILABLE TO FEDERAL, STATE, AND LOCAL OFFICIALS WITHIN THREE (3) DAYS UPON REQUEST FOR THE DURATION OF THE PERMIT AND FOR THREE (3) YEARS FOLLOWING THE NOT. [MINN. R. 7090]

24.6 PERMITTEES MAY NOT ASSIGN OR TRANSFER THIS PERMIT EXCEPT WHEN THE TRANSFER OCCURS IN ACCORDANCE

WITH THE APPLICABLE REQUIREMENTS OF ITEM 3.7 AND 3.8. [MINN. R. 7090]

24.7 NOTHING IN THIS PERMIT MUST BE CONSTRUED TO RELIEVE THE PERMITTEES FROM CIVIL OR CRIMINAL PENALTIES FOR NONCOMPLIANCE WITH THE TERMS AND CONDITIONS PROVIDED HEREIN. NOTHING IN THIS PERMIT MUST BE CONSTRUED TO PRECLUDE THE INITIATION OF ANY LEGAL ACTION OR RELIEVE THE PERMITTEES FROM ANY RESPONSIBILITIES, LIABILITIES, OR PENALTIES TO WHICH THE PERMITTEES IS/ARE OR MAY BE SUBJECT TO UNDER SECTION 311 OF THE CLEAN WATER ACT AND MINN. STAT. SECT. 115 AND 116, AS AMENDED. PERMITTEES ARE NOT LIABLE FOR PERMIT REQUIREMENTS FOR ACTIVITIES OCCURRING ON THOSE PORTIONS OF A SITE WHERE THE PERMIT HAS BEEN TRANSFERRED TO ANOTHER PARTY AS REQUIRED IN ITEM 3.7 OR THE PERMITTEES HAVE SUBMITTED THE NOT AS REQUIRED IN SECTION 4. [MINN. R. 7090]

24.8 THE PROVISIONS OF THIS PERMIT ARE SEVERABLE. IF ANY PROVISION OF THIS PERMIT OR THE APPLICATION OF ANY PROVISION OF THIS PERMIT TO ANY CIRCUMSTANCES IS HELD INVALID, THE APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES, AND THE REMAINDER OF THIS PERMIT MUST NOT BE AFFECTED THEREBY. [MINN. R. 7090]

24.9 THE PERMITTEES MUST COMPLY WITH THE PROVISIONS OF MINN. R. 7001.0150, SUBP. 3 AND MINN. R. 7001.1090, SUBP. 1(A), 1(B), 1(C), 1(H), 1(I), 1(J), 1(K), AND 1(L). [MINN. R. 7090]

24.10 THE PERMITTEES MUST ALLOW ACCESS AS PROVIDED IN 40 CFR 122.41(I) AND MINN. STAT. SECT. 115.04. THE PERMITTEES MUST ALLOW REPRESENTATIVES OF THE MPCA OR ANY MEMBER, EMPLOYEE OR AGENT THEREOF, WHEN

AUTHORIZED BY IT, UPON PRESENTATION OF CREDENTIALS, TO ENTER UPON ANY PROPERTY, PUBLIC OR PRIVATE, FOR THE

PURPOSE OF OBTAINING INFORMATION OR EXAMINATION OF RECORDS OR CONDUCTING SURVEYS OR INVESTIGATIONS. [40]

CFR 122.41(I)]
24.11 FOR THE PURPOSES OF MINN. R. 7090 AND OTHER DOCUMENTS THAT REFERENCE SPECIFIC SECTIONS OF THIS PERMIT, "STORMWATER DISCHARGE DESIGN REQUIREMENTS" CORRESPONDS TO SECTIONS 5, 6 AND 14 THROUGH 21; "CONSTRUCTION ACTIVITY REQUIREMENTS" CORRESPONDS TO SECTIONS 7 THROUGH 13; AND "APPENDIX A" CORRESPONDS TO SECTIONS 22 AND 23. [MINN. R. 7090]

SITE PLANNING & ENGINEERING

& ENGINEERING

PLOWE
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DRAWN BY: CHECK E

AG CWP

JOB NO: 22-2016 DATE: 04/21/22

PRELIMINARY
ADDLY LICENSED PROFESSIONAL ENGINEER ON
THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY
ADAM GINKEL

2 8 4 5 9 6 0

RICHARD D. SCHROEDER
VANCED AMMUNITION SITE
CITY OF ST. FRANCIS, MN
SWPPP

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PROJECT NAME

NORTHROP GRUMANN RICHARD D. SCHROEDER ADVANCED AMMUNITION RANGE

PROJECT LOCATION

** NO ASSIGNED ADDRESS ** 5800 FT WEST OF VARIOLILE ST NW AND 1800 FT NORTH OF HILL AND DALE DR NW

ANOKA COUNTY PID: 29-34-25-31-0001

ST. FRANCIS, MN 55330

LATITUDE: 45.4051 LONGITUDE: -93.4812

DEVELOPER NORTHROP GRUMMAN 23100 SUGARBUSH RD NW

> ELK RIVER, MN 55330 CONTACT NAME: DREW R. GORDON CONTACT PHONE: 763-241-7576 OFFICE 612-219-3623 CELL

GENERAL CONTRACTOR

CONTACT E-MAIL:

NARRATIVE - PERMANENT STORMWATER TREATMENT SYSTEMS SEE "STORMWATER DRAINAGE REPORT" FOR INFORMATION AND NARRATIVE OF PERMANENT STORMWATER MANAGEMENT SYSTEMS.

DREW.GORDON@NGC.COM

SITE IMPERVIOUS AREAS

	BEFORE CONSTRUCTION	AFTER CONSTRUCTION
TOTAL SITE AREA	* 34.6±	ACRES
TOTAL ESTIMATED IMPERVIOUS	0.54 ACRES	2.21 ACRES
TOTAL ESTIMATED PERVIOUS	34.06 ACRES	32.39 ACRES

* WITHIN PROJECT LIMITS

TOTAL DISTURBED AREA ~**ACRES

SITE MAP W/ EXISTING AND FINAL GRADES AND DESIGN CALCULATIONS

SEE "STORMWATER DRAINAGE REPORT" FOR EXISTING AND PROPOSED AREA MAPS, DENOTING DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW, AND DISCHARGE POINTS WHERE STORMWATER LEAVES THE SITE.

RECEIVING WATERS WITHIN ONE MILE

	TYPE OF	CDECIAL	IMPAIDED
NAME OF WATER BODY	TYPE OF WATER BODY	SPECIAL WATER	IMPAIRED WATER
UNNAMED WETLANDS	WETLAND	NO	NO

THERE ARE NO SPECIAL OR IMPAIRED WATERS WITHIN ONE (1) MILE

BUFFER TO SURFACE WATER

YES NO N/A

IF THE SITE DRAINS TO A SURFACE WATER, IS A 50-FT NATURAL BUFFER ADJACENT TO THE SURFACE WATER PRESERVED? NOTE: NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES,

JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS,

STORM DRAIN INLETS, AND SEDIMENT BASINS. A) THERE ARE WETLANDS FROM WHICH A 50-FT NATURAL BUFFER CANNOT BE

PRESERVED. REDUNDANT SEDIMENT CONTROL MEASURES ARE PROVIDED IN THOSE LOCATIONS.

TEMPORARY SEDIMENTATION BASINS

	N/A	IF TEN (10) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, IS A TEMPORARY SEDIMENT BASIN PROVIDED FOR TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS

A) THE CONTRACTOR WILL PROVIDE TEMPORARY SEDIMENTATION BASINS IF 10 OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION.

INFILTRATION FEASIBILITY

ARE THERE ANY INFILTRATION RESTRICTIONS FOR THE SITE (SEE 16.14 YES NO N/A THROUGH 16.21?

A) THE SITE HAS HSG A SOILS AND SO INFILTRATION SHOULD BE FEASIBLE IN ALL BUT THE LOWEST AREAS ADJACENT TO THE WETLAND.

ADDITIONAL STORMWATER MITIGATION MEASURES

ARE THERE ANY STORMWATER MITIGATION MEASURES PER:

YES NO • ENVIRONMENTAL REVIEW DOCUMENT?

ENDANGERED SPECIES REVIEW?

ARCHAEOLOGICAL REVIEW?

 OTHER LOCAL, STATE OR FEDERAL REVIEW? IF YES TO ANY OF THE ABOVE, DESCRIBE THE MITIGATION MEASURES. FOR PURPOSES OF THIS PERMIT, MITIGATION MEASURES MEANS ACTIONS NECESSARY TO AVOID, MINIMIZE, OR MITIGATE FOR IMPACTS RELATED TO EROSION PREVENTION, SEDIMENT CONTROL, THE PERMANENT STORMWATER TREATMENT SYSTEM, POLLUTION PREVENTION MANAGEMENT MEASURES AND DISCHARGES ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITY. [MINN. R. 7090]

DOCUMENTATION OF TRAINED INDIVIDUALS

A. INDIVIDUAL WHO PREPARED THE SWPPP: ADAM GINKEL PLOWE ENGINEERING, INC. 6776 LAKE DRIVE LINO LAKES MN 55014 (651) 361-8234 adam@plowe.com

B. INDIVIDUAL(S) OVERSEEING IMPLEMENTATION OF, REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS FOR THE PROJECT. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA. [MINN. R. 7090]

CONTACT NAME CONTACT PHONE CONTACT E-MAIL:

C. INDIVIDUAL(S) PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. [MINN. R. 7090]

CONTACT NAME	
CONTACT PHONE	
CONTACT E-MAIL:	

LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORMWATER FACILITIES

THE PROPOSED STORMWATER MANAGEMENT FEATURES FOR THIS SITE INCLUDES INFILTRATION BASINS AND A STORMWATER POND - THESE WILL BE OPERATED AND MAINTAINED BY THE PROPERTY OWNER.

REVEGETATION SPECIFICATIONS

ITEM		MNDOT SPECIFICATION/NOTES
SOD		3878
SEED **		3876
* FOR TURF EST	ABLISHMENT	
C	OMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
R	ESIDENTIAL TURF	MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY	FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
	SPRING/SUMMER	MNDOT MIX 21-111 (100 LBS/ACRE)
SOIL	-BUILDING COVER	MNDOT MIX 21-113 (110 LBS/ACRE)
	1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
	2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH		3882 (TYPE 1 - DISC ANCHORED)
HYDROMULCH		3884
FERTILIZER		3881
WOOD FIBER BLA	NKET	3885 (CATEGORY 2)

MOW A MINIMUM OF:

RESIDENTIAL TURF - ONCE PER 2 WEEKS COMMERCIAL TURF - ONCE PER 4 WEEKS

** SEEDED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

QUANTITIES - ESTIMATED QUANTITIES FOR EROSION AND SEDIMENT CONTROL MEASURES

TYPE	QTY	UNIT
SILT FENCE		LINEAR FEET
BIO-ROLLS		EACH
RIP-RAP W. GEO-FABRIC		CUBIC YARDS
CATCH BASIN INLET PROTECTION		EACH
STABILIZED (SODDED) OVERFLOW		EACH
EROSION CONTROL BLANKET		SQUARE YARDS
SEED & MULCH (GENERAL)		ACRE
ROCK CONSTRUCTION ENTRANCE EXIST. GRAVEL DRIVE TO BE USED AS ROCK ENTRANCE		EACH

NARRATIVE - TIMING FOR INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES

1. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND SWPPP

MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES. 2. CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON PLAN

2.1. ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE. 2.2. THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION.

2.3. SILT FENCE SHALL REMAIN IN-PLACE UNTIL SITE HAS BEEN STABILIZED. CONTRACTOR SHALL INSTALL A ROCK CONSTRUCTION ENTRANCE AT ALL LOCATIONS

WHERE CONSTRUCTION TRAFFIC WILL ENTER/EXIT SITE.

4. CONTRACTOR TO INSTALL TREE PROTECTION FENCING (IF APPLICABLE). 5. CONTRACTOR SHALL PERFORM SITE GRADING ON AN AREA-BY-AREA BASIS TO

MINIMIZE UNSTABILIZED AREAS. 5.1. STRIP AND STOCKPILE TOPSOIL NECESSARY FOR USE IN RESTORATIONS. ALL STOCKPILES MUST BE STABILIZED IMMEDIATELY WITH TEMPORARY SEEDING AND

MULCHING IF NOT ACTIVELY WORKING WITH THE MATERIAL 5.2. CONTRACTOR MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 8.4 OF THE PERMIT, AND COMPLETE THE STABILIZATION WITHIN FOURTEEN (14) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR

5.3. CONTRACTOR TO PROVIDE TEMPORARY SEDIMENTATION BASINS AS REQUIRED IN

SECTION 14.1 THROUGH 14.10. 6. CONTRACTOR TO SHALL PAY SPECIAL ATTENTION TO ADJACENT PROPERTY LINES TO ENSURE THE EROSION CONTROL PRACTICES INPLACE IN THOSE AREAS PREVENT

MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES. 7. ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY AND NPDES

PHASE II PERMIT REQUIREMENTS.

8. CONTRACTOR TO PROVIDE ADDITIONAL SILT FENCE, BIOROLLS, EROSION CONTROL BLANKET, OR OTHER APPROVED EQUAL FOR ANY SLOPES THAT APPEAR TO BE

9. CONTRACTOR TO STABILIZE SOIL STOCKPILES; STABILIZATION SHALL BE INITIATED

10. CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM

NPDES DEFINITIONS

"BEST MANAGEMENT PRACTICES (BMPS)" MEANS THE MOST EFFECTIVE AND PRACTICABLE MEANS OF EROSION PREVENTION AND SEDIMENT CONTROL, AND WATER QUALITY MANAGEMENT PRACTICES THAT ARE THE MOST EFFECTIVE AND PRACTICABLE MEANS OF TO CONTROL. PREVENT. AND MINIMIZE DEGRADATION OF SURFACE WATER, INCLUDING AVOIDANCE OF IMPACTS, CONSTRUCTION-PHASING, MINIMIZING THE LENGTH OF TIME SOIL AREAS ARE EXPOSED, PROHIBITIONS, POLLUTION PREVENTION THROUGH GOOD HOUSEKEEPING, AND OTHER MANAGEMENT PRACTICES PUBLISHED BY STATE OR DESIGNATED AREA-WIDE PLANNING AGENCIES. [MINN. R. 7090]

"CONSTRUCTION ACTIVITY" MEANS ACTIVITIES INCLUDING CLEARING, GRADING, AND EXCAVATING, THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE ACRE, INCLUDING THE DISTURBANCE OF LESS THAN ONE ACRE OF TOTAL LAND AREA THAT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE IF THE LARGER COMMON PLAN WILL ULTIMATELY DISTURB EQUAL TO OR GREATER THAN ONE ACRE. THIS INCLUDES A DISTURBANCE TO THE LAND THAT RESULTS IN A CHANGE IN THE TOPOGRAPHY, EXISTING SOIL COVER, BOTH VEGETATIVE AND NONVEGETATIVE, OR THE EXISTING SOIL TOPOGRAPHY THAT MAY RESULT IN ACCELERATED STORMWATER RUNOFF THAT MAY LEAD TO SOIL EROSION AND MOVEMENT OF SEDIMENT. CONSTRUCTION ACTIVITY DOES NOT INCLUDE A DISTURBANCE TO THE LAND OF LESS THAN FIVE ACRES FOR THE PURPOSE OF ROUTINE MAINTENANCE PERFORMED TO MAINTAIN THE ORIGINAL LINE AND GRADE, HYDRAULIC CAPACITY, AND ORIGINAL PURPOSE OF THE FACILITY. ROUTINE MAINTENANCE DOES NOT INCLUDE ACTIVITIES SUCH AS REPAIRS, REPLACEMENT AND OTHER TYPES OF NON-ROUTINE MAINTENANCE. PAVEMENT REHABILITATION THAT DOES NOT DISTURB THE UNDERLYING SOILS (E.G., MILL AND OVERLAY PROJECTS) IS NOT CONSTRUCTION ACTIVITY. [MINN. R. 7090]

"DEWATERING" MEANS THE REMOVAL OF SURFACE OR GROUND WATER TO DRY AND/OR SOLIDIFY A CONSTRUCTION SITE TO ENABLE CONSTRUCTION ACTIVITY. DEWATERING MAY REQUIRE A MINNESOTA DEPARTMENT OF NATURAL RESOURCES WATER APPROPRIATION PERMIT AND, IF DEWATERING WATER IS CONTAMINATED, DISCHARGE OF SUCH WATER MAY REQUIRE AN INDIVIDUAL MPCA NPDES/SDS PERMIT. [MINN. R. 7090]

"EROSION PREVENTION" MEANS MEASURES EMPLOYED TO PREVENT EROSION SUCH AS SOIL STABILIZATION PRACTICES, PERMANENT COVER OR CONSTRUCTION PHASING. [MINN.

"GENERAL CONTRACTOR" MEANS THE PARTY WHO SIGNS THE CONSTRUCTION CONTRACT WITH THE OWNER TO CONSTRUCT THE ENTIRE PROJECT DESCRIBED IN THE FINAL PLANS AND SPECIFICATIONS. WHERE THE CONSTRUCTION PROJECT INVOLVES MORE THAN ONE CONTRACTOR, THE GENERAL CONTRACTOR IS THE PARTY RESPONSIBLE FOR MANAGING THE ENTIRE PROJECT ON BEHALF OF THE OWNER. IN SOME CASES, THE OWNER IS THE GENERAL CONTRACTOR. IN THESE CASES. THE OWNER SIGNS THE PERMIT APPLICATION AS THE OPERATOR AND BECOMES THE SOLE PERMITTEE. [MINN. R. 7090]

"GROUNDWATER" MEANS THE WATER CONTAINED BELOW THE SURFACE OF THE EARTH IN THE SATURATED ZONE INCLUDING, WITHOUT LIMITATION, ALL WATERS WHETHER UNDER CONFINED, UNCONFINED, OR PERCHED CONDITIONS, IN NEAR SURFACE UNCONSOLIDATED SEDIMENT OR REGOLITH, OR IN ROCK FORMATIONS DEEPER UNDERGROUND. [MINN. R.

"HOMEOWNER FACT SHEET" MEANS AN MPCA FACT SHEET AVAILABLE ON THE MPCA CONSTRUCTION STORMWATER WEBSITE FOR PERMITTEES TO GIVE TO HOMEOWNERS AT THE TIME OF SALE. [MINN. R. 7090]

"INFEASIBLE" MEANS NOT TECHNOLOGICALLY POSSIBLE OR NOT ECONOMICALLY PRACTICABLE AND ACHIEVABLE IN LIGHT OF THE BEST INDUSTRY PRACTICES. [MINN. R.

"INITIATED IMMEDIATELY" MEANS TAKING AN ACTION TO COMMENCE SOIL STABILIZATION AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE WORK DAY, FOLLOWING THE DAY WHEN THE LAND-DISTURBING ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE, IF THE PERMITTEES KNOW THAT CONSTRUCTION WORK ON THAT PORTION OF THE SITE WILL BE TEMPORARILY CEASED FOR 14 OR MORE ADDITIONAL CALENDAR DAYS OR 7 CALENDAR DAYS WHERE ITEM 23.9 APPLIES. PERMITTEES CAN INITIATE STABILIZATION BY

A. PREPPING THE SOIL FOR VEGETATIVE OR NON-VEGETATIVE STABILIZATION; OR B. APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT TO THE EXPOSED SOIL

AREA: OR C. SEEDING OR PLANTING THE EXPOSED AREA; OR

D. STARTING ANY OF THE ACTIVITIES IN A - C ON A PORTION OF THE AREA TO BE STABILIZED, BUT NOT ON THE ENTIRE AREA; OR

E. FINALIZING ARRANGEMENTS TO HAVE STABILIZATION PRODUCT FULLY INSTALLED IN COMPLIANCE WITH THE APPLICABLE DEADLINE FOR COMPLETING STABILIZATION. [MINN. R. 7090]

"IMPERVIOUS SURFACE" MEANS A CONSTRUCTED HARD SURFACE THAT EITHER PREVENTS OR RETARDS THE ENTRY OF WATER INTO THE SOIL AND CAUSES WATER TO RUN OFF THE SURFACE IN GREATER QUANTITIES AND AT AN INCREASED RATE OF FLOW THAN PRIOR TO DEVELOPMENT, EXAMPLES INCLUDE ROOFTOPS, SIDEWALKS, DRIVEWAYS, PARKING LOTS AND CONCRETE, ASPHALT, OR GRAVEL ROADS. BRIDGES OVER SURFACE WATERS ARE CONSIDERED IMPERVIOUS SURFACES. [MINN. R. 7090]

"NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)" MEANS THE PROGRAM FOR ISSUING, MODIFYING, REVOKING, REISSUING, TERMINATING, MONITORING, AND ENFORCING PERMITS UNDER THE CLEAN WATER ACT, AS AMENDED (33 U.S.C. 1251 ET SEQ. SECTION 1342 AND 40 CFR PARTS 122, 123, 124 AND 450). [MINN. R. 7090]

"NATURAL BUFFER" MEANS AN AREA OF UNDISTURBED COVER SURROUNDING SURFACE WATERS WITHIN WHICH CONSTRUCTION ACTIVITIES ARE RESTRICTED. NATURAL BUFFER INCLUDES THE VEGETATION, EXPOSED ROCK, OR BARREN GROUND THAT EXISTS PRIOR TO COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES. [MINN. R. 7090]

"NOTICE OF TERMINATION (NOT)" MEANS THE FORM (ELECTRONIC OR PAPER) REQUIRED FOR TERMINATING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT. [MINN. R.

""OPERATOR" MEANS THE PERSON (USUALLY THE GENERAL CONTRACTOR), FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY DESIGNATED BY THE OWNER WHO HAS DAY TO DAY OPERATIONAL CONTROL AND/OR THE ABILITY TO MODIFY PROJECT PLANS AND SPECIFICATIONS RELATED TO THE SWPPP. THE PERMIT APPLICATION MUST LIST THE OPERATOR AS A PERMITTEE. SUBCONTRACTORS HIRED BY AND UNDER SUPERVISION OF THE GENERAL CONTRACTOR ARE NOT OPERATORS. [MINN. R. 7090]

"OWNER" MEANS THE PERSON, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY POSSESSING THE TITLE OF THE LAND ON WHICH THE CONSTRUCTION ACTIVITIES WILL OCCUR OR, IF THE CONSTRUCTION ACTIVITY IS FOR A LEASE, EASEMENT, OR MINERAL RIGHTS LICENSE HOLDER, THE PARTY OR INDIVIDUAL IDENTIFIED AS THE LEASE, EASEMENT OR MINERAL RIGHTS LICENSE HOLDER: OR THE CONTRACTING GOVERNMENT AGENCY RESPONSIBLE FOR THE CONSTRUCTION ACTIVITY. [MINN. R. 7090]

"PERMANENT COVER" MEANS SURFACE TYPES THAT WILL PREVENT SOIL FAILURE UNDER EROSIVE CONDITIONS, EXAMPLES INCLUDE: GRAVEL, CONCRETE, PERENNIAL COVER, OR OTHER LANDSCAPED MATERIAL THAT WILL PERMANENTLY ARREST SOIL EROSION. PERMITTEES MUST ESTABLISH A UNIFORM PERENNIAL VEGETATIVE COVER (I.E., EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) WITH A DENSITY OF 70 PERCENT OF THE NATIVE BACKGROUND VEGETATIVE COVER ON ALL AREAS NOT COVERED BY PERMANENT STRUCTURES, OR EQUIVALENT PERMANENT STABILIZATION MEASURES. PERMANENT COVER DOES NOT INCLUDE TEMPORARY BMPS SUCH AS WOOD FIBER BLANKET, MULCH, AND ROLLED EROSION CONTROL PRODUCTS. [MINN. R. 7090]

"PERMITTEES" MEANS THE PERSONS, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY IDENTIFIED AS THE OWNER AND OPERATOR ON THE APPLICATION SUBMITTED TO THE MPCA AND ARE RESPONSIBLE FOR COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. [MINN. R. 7090]

"PROJECT(S)" MEANS ALL CONSTRUCTION ACTIVITY PLANNED AND/OR CONDUCTED UNDER A PARTICULAR PERMIT. THE PROJECT OCCURS ON THE SITE OR SITES DESCRIBED IN THE PERMIT APPLICATION, THE SWPPP AND IN THE ASSOCIATED PLANS, SPECIFICATIONS AND CONTRACT DOCUMENTS. [MINN. R. 7090]

"PUBLIC WATERS" MEANS ALL WATER BASINS AND WATERCOURSES DESCRIBED IN MINN. STAT. SECT. 103G.005 SUBP. 15. [MINN. R. 7090]

"SEDIMENT CONTROL" MEANS METHODS EMPLOYED TO PREVENT SUSPENDED SEDIMENT IN STORMWATER FROM LEAVING THE SITE (E.G. SILT FENCES, COMPOST LOGS AND STORM DRAIN INLET PROTECTION). [MINN. R. 7090]

"STABILIZE", "STABILIZED", "STABILIZATION" MEANS THE EXPOSED GROUND SURFACE HAS BEEN COVERED BY APPROPRIATE MATERIALS SUCH AS MULCH, STAKED SOD, RIPRAP, EROSION CONTROL BLANKET, MATS OR OTHER MATERIAL THAT PREVENTS EROSION FROM OCCURRING. GRASS SEEDING, AGRICULTURAL CROP SEEDING OR OTHER SEEDING ALONE IS NOT STABILIZATION. MULCH MATERIALS MUST ACHIEVE APPROXIMATELY 90 PERCENT GROUND COVERAGE (TYPICALLY 2 TON/ACRE). [MINN. R. 7090]

"STORMWATER" MEANS PRECIPITATION RUNOFF, STORMWATER RUNOFF, SNOWMELT RUNOFF, AND ANY OTHER SURFACE RUNOFF AND DRAINAGE. [MINN. R. 7090] "STEEP SLOPES" MEANS SLOPES THAT ARE 1:3 (V:H) (33.3 PERCENT) OR STEEPER IN

GRADE. [MINN. R. 7090] "STORM WATER POLLUTION PREVENTION PLAN (SWPPP)" MEANS A PLAN FOR STORMWATER DISCHARGE THAT INCLUDES ALL REQUIRED CONTENT UNDER IN SECTION 5 THAT DESCRIBES THE EROSION PREVENTION, SEDIMENT CONTROL AND WASTE CONTROL BMPS AND PERMANENT STORMWATER TREATMENT SYSTEMS. [MINN. R. 7090]

"SURFACE WATER OR WATERS" MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WETLANDS, RESERVOIRS, SPRINGS, RIVERS, DRAINAGE SYSTEMS, WATERWAYS, WATERCOURSES, AND IRRIGATION SYSTEMS WHETHER NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, EXCEPT THAT SURFACE WATERS DO NOT INCLUDE STORMWATER TREATMENT SYSTEMS CONSTRUCTED FROM UPLAND. THIS PERMIT DOES NOT CONSIDER STORMWATER TREATMENT SYSTEMS CONSTRUCTED IN WETLANDS AND MITIGATED IN ACCORDANCE WITH SECTION 22 AS SURFACE WATERS. [MINN. R. 7090]

"WATERS OF THE STATE" (AS DEFINED IN MINN. STAT. SECT. 115.01, SUBP. 22) MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WATERCOURSES, WATERWAYS, WELLS, SPRINGS, RESERVOIRS, AQUIFERS, IRRIGATION SYSTEMS, DRAINAGE SYSTEMS AND ALL OTHER BODIES OR ACCUMULATIONS OF WATER, SURFACE OR UNDERGROUND, NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, WHICH ARE CONTAINED WITHIN, FLOW THROUGH, OR BORDER UPON THE STATE OR ANY PORTION THEREOF. [MINN. STAT. 115.01, SUBP. 22]

"WATER QUALITY VOLUME" MEANS ONE (1) INCH OF RUNOFF FROM THE NET INCREASE IN IMPERVIOUS SURFACES CREATED BY THE PROJECT (CALCULATED AS AN INSTANTANEOUS VOLUME). [MINN. R. 7090]

"WETLANDS" (AS DEFINED IN MINN. R. 7050.0186, SUBP. 1A.B.) MEANS THOSE AREAS THAT ARE INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT, AND UNDER NORMAL CIRCUMSTANCES DO SUPPORT, A PREVALENCE OF VEGETATION TYPICALLY ADAPTED FOR LIFE IN SATURATED SOIL CONDITIONS. WETLANDS GENERALLY INCLUDE SWAMPS, MARSHES, BOGS, AND SIMILAR AREAS. CONSTRUCTED WETLANDS DESIGNED FOR WASTEWATER TREATMENT ARE NOT WATERS OF THE STATE. WETLANDS MUST HAVE THE FOLLOWING ATTRIBUTES:

1. A PREDOMINANCE OF HYDRIC SOILS; AND

MAP OF SURFACE WATERS

2. INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT A PREVALENCE OF HYDROPHYTIC VEGETATION TYPICALLY ADAPTED FOR LIFE IN A SATURATED SOIL CONDITION: AND

3. UNDER NORMAL CIRCUMSTANCES SUPPORT A PREVALENCE OF SUCH VEGETATION. [MINN. R. 7050.0186, SUBP. 1A.B]

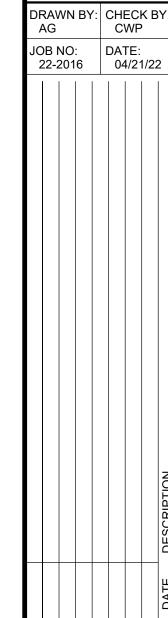
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6776 LAKE DRIVE SUITF 110 LINO LAKES, MN 55014



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SCHROEDE IMUNITION FRANCIS, MN 8 RICHAL VANCED

ROJ\2016 ADVANCE AMMUNITION\2016 CAD\2016 BASE 2.DWG Wednesday, April 20, 2022 1:37:55 PM



PLANNING COMMISSION AGENDA REPORT

TO: St. Francis Planning Commission

FROM: Brad Scheib, AICP Planner and Natalie Strait, Planner

SUBJECT: St. Francis Dental Clinic Addition

DATE: 5-11-2022 for 5-12-2022 meeting

APPLICANT: Sperides Reiners Architects, Eric Reiners on behalf of St. Francis Dental Care PA

LOCATION: 3715 Bridge St NW

COMP PLAN: Downtown

ZONING: B-1 Commercial

OVERVIEW:

The City has received a site plan application for an addition to an existing dental office building and parking lot expansion at 3715 Bridge St NW. St. Francis Dental Care wishes to expand their existing dental office building to provide more space for the practice. Per the applicant, the clinic is not adding additional doctors. The applicants also plan to expand the shared parking lot with 8 additional stalls for the dental clinic in order to better accommodate the existing need for parking.



REVIEW PROCEDURE

60-Day Land Use Application Review Process

Pursuant to Minnesota State Statutes Section 15.99, local government agencies are required to approve or deny land use requests within 60 days. Within the 60-day period, an automatic extension of no more than 60 days can be obtained by providing the applicant written notice containing the reason for the extension and specifying how much additional time is needed. The deadline for taking action on the land use request is July 1st 2022.

Site plan review is required under municipal code 10-32-02 as a modification of a commercial building as well as the expansion of off-street parking in order to enforce site design standards in advance of issuing a building permit. This site plan is subject to review and comment by the Planning Commission and approval or denial by the City Council per the municipal code.

ANALYSIS

Land Use and Zoning

Currently the site contains a 2,994 Sq ft Dental Clinic. The use is consistent with the land use guidance of commercial use by the 2040 Comprehensive Plan and the site is zoned B-1 Central Business District. This site along Bridge St. NW is part of the Downtown district of St. Francis. The Downtown Plan aspires to see uses in this district that promote a diverse mix of services and retail which lend themselves to an athletically pleasing, walkable and enjoyable downtown experience. The standards for this district are intended to ensure that this aesthetic is maintained and improved. The applicant is proposing a 1,632 square foot addition, which would result in a total of 4,626 sq ft of total building area.

Dimensional Requirements

The proposed development will meet all of the site dimension requirements as listed in the B-1 district, as shown below:

- The site meets dimensional standards
- The following are key dimensional characteristics

Standard	Required B-1	Proposed
Front setback	Minimum Setback: 0 ft Maximum Setback: 5 ft	The parking lot expansion will result in 5ft setbacks matching existing parking lot setbacks
Rear setback	0 ft	16.2 ft (north side)
Side setbacks	0 ft	11.8 ft (east side)
		12.8 ft (west side)
Max. building height	Min: 20 ft Max: 4 stories or 50 ft	1 Story
Max. impervious surface	N/A	No applicable

Site Design Standards

Ground Floor Frontage

The entire facility including the new addition is to be used for the dental clinic. This meets the requirement for Bridge St. NW that no less than 70 percent of the ground floor frontage be used for a commercial purpose.

Screening

Trash receptacles and loading areas are required to be to the rear of the building. These areas must be fully screened from the right-of-way and adjacent properties, in compliance with Part 10-73-00. The plans submitted do not include outdoor storage of trash receptacles but any added receptacles must follow this standard or be located within the principal structure.

Exterior lighting

A lighting plan is required to be submitted with any site plan application. Exterior illumination casting light onto a public street may not measure more than 1 footcandle at the centerline the roadway. The applicant has submitted a plan showing how the south parking area is proposed to be lit. The proposed lighting measures between 0.0-0.1 FC past the property line which meets Code requirements along Bridge St. NW.

Architectural Requirements

The proposed structure addition will match the architectural and design character of the existing structure. The Existing vinyl siding is to be replaced with *LP Smartside* vinyl and the facebrick will be chosen to match the existing rockface texture and painted to match. These materials are consistent with requirements for the B-1 district. The roofing will be asphalt architectural shingles which is consistent with B-1 zoning requirements. The side of the building that faces the street is not longer then 60ft so there do not need to be more than one color or material in the siding.

<u>Access</u>

The proposed addition and expansion plans will not add or alter the existing access to the site. Additional parking spaces added to the parking lot adjacent Bridge St. NW may increase the amount of vehicle traffic using the street, but as the number of staff is not changing, the change in traffic will be minimal. Bridge St. NW is a county road, Anoka County has been sent the plans and is required to review. Any comments they have will be addressed through the site plan review process.

<u>Parking</u>

The applicant is proposing an expansion of the surface parking lot along the south side of the building adjacent Bridge St. NW. According to B-1 design standards on parking lot location, "parking lots shall be prohibited in the front yard." As it is currently constructed the parking lot is a legal non-conformity and its expansion will *increase* the degree of non-conformity. Additionally, the current number of parking stalls at the building (9 stalls) is below the minimum required by the City Code for this use (28 stalls). By expanding the parking lot, they are *reducing* the degree of non-conformity relative to required number of parking spaces.

According to City Code, alteration and normal maintenance to a legal non-conforming building or structure may be made through the building permit process provided:

1. The alterations do not expand the foundation and/or building volume, unless specifically allowed by this Ordinance.

The non-conformity is in the parking lot rather than the building expansion. The expansion of the building meets all zoning standards and is conforming.

2. The alterations do not increase the building occupancy capacity or parking demand.

The parking lot expansion will move the required parking spaces more towards conformity and will increase the supply of parking rather than the demand. The number of staff and doctors will stay the same per the applicant and therefore the building occupancy and parking demand will not increase. The additional parking spots will alleviate the current issue of offsite overflow parking that has been needed to accommodate the parking shortage onsite.

Currently there are 3 parking spaces available per doctor, the additional parking expansion will lead to 5.7 parking spaces per doctor and an approximately 27% increase in total parking area.

3. The alteration does not increase the non-conformity of the building or the use.

The proposed expansion of the building and parking lot does not change the nonconformity of the building or use. The additional 8 parking stalls proposed will bring the parking requirements closer to conformity.

Use	Required Spaces	Current Spaces	Proposed Total Spaces	Required Spaces
Clinics and offices	Five (5) spaces per doctor or dentist, plus one (1) space for each employee on the largest work shift.	9	17	28

This parking lot is already constructed and adding parking spaces at this location will not substantially increase the negative impact of the legal non-conformity or cause a change to the existing character of the site. Expansion of the front yard parking will serve as an interim use until such time as broader redevelopment occurs along the Bridge St. NW corridor.

The parking lot is also shared with Milestone Orthodontics, which has an additional 9 parking stalls. Both clinics operate at approximately the same time so these parking spaces cannot be counted towards the Dental Clinic's parking requirements. Milestone Orthodontics has acknowledged the intent of the Dental Clinic to expand the parking lot. This proposed parking lot otherwise meets the design standards set by City Code.

Landscaping

The applicant has submitted a detailed landscape plan to address landscaping standards as defined in section 10-73 of the code. This landscape plan in conjunction with exiting landscaping retained on site may satisfy zoning conditions; however, upon review there were a

number of places where it is unclear whether or not standards are being met due to a lack of information on the existing landscaping plan. Additional detail is needed to determine consistency with City Code. This is a technicality and can be provided as a condition of approval. Landscaping should be used to help buffer parking areas form Bridge St. NW and screen any building or sight mechanical equipment.

General Engineering Requirements

The applicant has submitted erosion control, grading, utility and stormwater plans which have are under review by the City Engineer. Addressing any technical engineering items will be retained as a condition of approval.

Recommendations

Staff Recommends approval of the site plan with the following conditions:

Conditions of Approval – Site Plan

- 1. Additional landscape information shall be submitted to confirm adherence to landscape standards or the Landscape Plan shall be revised to meet all code requirements.
- 2. No outdoor storage is permitted on the site, including outdoor storage of waste or recyclables unless properly screened per city code.
- 3. All comments from the City Engineer shall be addressed and approved prior to issuing a building permit.
- 4. Other conditions identified during the review process by Staff, the Planning Commission, or the City Council.

The above recommendations are supported by the following findings of fact:

- 1. The site plan is consistent with the Comprehensive Plan with proposed conditions.
- 2. The site plan meets the standards listed in the City Zoning Code with proposed conditions.

ACTION TO BE CONSIDERED:

The Planning Commission could take one of the following actions:

- 1. Recommend approval with the conditions and findings of fact as presented by Staff.
- 2. Recommend denial with findings of fact as presented by Staff.
- 3. Table the request to the next Planning Commission meeting and provide direction to Staff and the applicant as to the additional information needed.

Suggested Motion:

Move to recommend approval of the St Francis Dental Center site plan with conditions and findings of fact as presented by Staff.

Attachments:

- 1. Site Plan Application
- 2. Milestone Orthodontics Project Acknowledgment
- 3. Submittal Set
- 4. Elevation

	APPLICATION: propriate box)	BASE APPLICATION AND EXPENSE FEES: (Fees are cumulative)
	ANNEXATION	\$250 Fee + \$2,000 Escrow
	APPEAL / ZONING APPEAL	\$200 Fee + \$1,000 Escrow
	COMPREHENSIVE PLAN AMENDMENT	\$450 Fee + \$2,000 Escrow
	ENVIRONMENTAL	\$350 Fee + \$650 Escrow
	MINOR SUBDIVISION	\$350 Fee + \$2,000 Escrow
	PLANNED UNIT DEVELOPMENT (PUD)	\$350 Fee + \$2,000 Escrow
	ORDINANCE AMENDMENT	\$350 Fee + \$2,000 Escrow
	REZONING	\$350 Fee + \$2,000 Escrow
	SUBDIVISION (Circle appropriate): -Sketch Plan -Preliminary Plat (Rural) -Preliminary Plat (Urban) -Final Plat -Administrative Subdivision	\$300 Fee + \$500 Escrow \$400 Fee + \$400 + \$125 per lot Escrow \$400 Fee + \$425 + \$175 per unit Escrow \$350 Fee + \$650 Escrow \$350 Fee + \$2,000 Escrow
×	SITE & BUILDING PLAN REVIEW (Full)	\$350 Fee + \$2,000 Escrow
	SITE & BUILDING PLAN REVIEW (Admin)	\$100 Fee + \$250 Escrow
	STREET and/or UTILITY VACATION	\$350 Fee + \$1,000 Escrow
	TEMPORARY HABITATION	\$200 Fee + \$5,000 Escrow
	WETLAND Replacement Plan Review with Plat Replacement Plan and Excavation Delineation	\$350 Fee + \$650 Escrow \$350 Fee + \$650 Escrow \$350 Fee + \$1,000 Escrow
	TOTALS	\$ <u>\$350</u> Fee, \$ <u>\$2,000</u> Escrow

Fees are set by Fee Schedule, Valid January through December Dock requests must follow the Conditional Use Permit process.

DESCRIPTION OF REQUEST: (attach additional information if needed)

Project Name: ST. FRANCIS DENTAL CLINIC ADDITION

Nature of Proposed Use:

ADDITION TO EXISTING DENTAL OFFICE BUILDING AND PARKING

LOT EXPANSION

Reason(s) to Approve Request:

THE DENTAL PRACTICE HAS OUT GROWN THE CURRENT CAPACITY OF THE EXISTING BUILDING AND PARKING LOT SIZE.

IS THIS APPLICATION, PART OF, OR IN ADDITION TO, A PREVIOUS APPLICATION(S) PERTAINING TO THE SUBJECT SITE? IF YES:

PROJECT NAME:

NATURE OF REQUEST:

(attach additional information if needed)

(attach additional information if needed)				
PROPERTY INFORMATION:				
Street Address: 3715 BRIDGE STREET NW	Property Identification Number (PIN#):			
ST. FRANCIS, MN 55070		32-34-24-34-0041		
Legal Description Lot(s): (Attach if necessary): 7	Block: Subdivision 5	: VILLAGE OF ST. FRANCIS		
APPLICANT INFORMATION:				
Name: ERIC REINERS, AIA	Business Name: SPERIDE	S REINERS ARCHITECTS		
Address: 6442 CITY WEST PARKWAY				
City EDEN PRAIRIE	State: MN	Zip Code: 55344		
Telephone: 952-996-9662	Fax:	E-mail: ERIC@SRA-MN.COM		
Contact: ERIC REINERS		Title: PRINCIPAL		
OWNER INFORMATION: (if different from applicant)				
Name: KURTIS HUETHER	Business Name: ST. FRANCIS DENTA	L CARE PA		
Address: 3715 BRIDGE STREET NW	Address: 3715 BRIDGE STREET NW			
City: ST. FRANCIS	State: MN	Zip Code: 55070		
Telephone: 763 - 753 - 1900	Fax: 763 - 753 - 4220	E-mail: HUETHER@HOTMAIL.COM		
Contact:		Title:		
KURTIS HUETHER		OWNER		

Agenda Item # 7A.

APPLICATION FEES AND EXPENSES: By signing this application form, I agree that all fees and expendent with the processing of this application, including costs for professional services, are the responsibility of the property owner to be paid immediately upon receipt or the City may approve a special assessment for which the property owner specifically agrees to be to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes 429.81 as amended. All fees and expenses are due whether the application is approved or denied or withdrawn. Escrow fees may not cover actual expenses; any additional fees will be billed.

State statutes provides up to 120 days for the review of complete application, but the City will strive to finalize your request as quickly as possible. Please note that missing application due date and meeting dates or submitting an incomplete application <u>WILL</u> result in the review of the request being delayed. All City Council meeting dates are estimated as it is City policy that issues be resolved and plans be revised as may be needed prior to Council consideration.

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge. I further understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

APPLICANTS MUST BE SIGNED BY ALL PROPERTY OWNERS AS WELL AS/AND IN ADDITION TO, APPLICANT

Applicant(s):	Distains	Date: 04/14/2022
Owner(s):	fultes	Date: <u>18 April 2022</u>

Required Application attachments

Minor Subdivisions	Please provide (2) Certificates of Survey at 22" by 34", (1) reproducible reduction at 11"				
	by 17", and (1) to-scale electronic PDF. File of all information and submit an electronic				
	(Word for Windows) version of the complete legal description of the property(s). ***				
	below for other required information.				
Concept Plans	Please provide (2) large scale copies at 22" by 34", (1) reproducible reduction at 11" by				
	17", and (1) to-scale electronic PDF. File of all information and submit an electronic				
	(Word for Windows) version of the complete legal description of the property(s). ***See				
	below for other required information.*				
Preliminary Plat	Please provide (2) large scale copies at 22" by 34", (1) reproducible reduction at 11" by				
	17", and (1) to-scale electronic PDF. File of all information and submit an electronic				
	(Word for Windows) version of the complete legal description of the property(s). ***See				
P' IBLA	below for other required information.				
Final Plats	Please provide (2) large scale copies at 22" by 34", (1) reproducible reduction at 11" by				
	17", and (1) to-scale electronic PDF. File of all information and submit an electronic				
	(Word for Windows) version of the complete legal description of the property(s). **See below for other required information.				
	1. If applicable, an additional large scale copy at 22" by 34" shall be provided for each				
***	of the following:				
	a. (1) If project lies within a DNR Shoreland District or Floodplain				
	b. (1) If project is adjacent to a neighboring City or Township				
	2. If applicable, an additional small scale copy at 11" by 17" shall be provided for each				
	of the following:				
	a. (1) If project increases the number of dwelling units for the Met Council				
	b. (1) If project is adjacent to a County Road or County State Aid Highway				
	c. (1) If project is adjacent to a MN/Dot state highway				

LEGAL DESCRIPTION (PER WARRANTY DEED NO. 2047427.001)

Commencing at the Southwest corner of Lot 7, Block 5, Village of St. Francis; thence North a distance of 216 feet to the South line of Lot 3, Block 5, Village of St. Francis; thence East a distance of 66 feet; thence South and parallel with the first course a distance of about 138 feet to the Southwest corner of Lot 9, Block 5, Village of St. Francis; thence East a distance of 32 feet to the Northwest corner of Lot 11, Block 5, Village of St. Francis; thence south a distance of 78 feet, more or less to the Southeast corner of said Lot 7; thence West a distance of 98 feet to the point of commencement, Anoka County, Minnesota.



Community Development De

Phone: 763.753.2630 Fax: 763.753.9881

Application Date: \$ 350

Fee/Escrow:

\$7000

DEVELOPMENT APPLICATION

The City of St. Francis is pleased to consider your request. This letter and attached materials are intended to assist you with the formal processing of your proposal. Our goal is to make the review process as economical and efficient as possible.

Application / City Meeting

The attached materials outline the processing procedures, submittal requirements, and fees for various land use applications.

A meeting with City staff is strongly recommended for all types of proposals **before** processing of the application and payment of fees to help explain ordinance requirements, identify the details of the request, review concept plans, provide advice, and potentially avoid any unnecessary plan modifications or site design-related conflicts.

Required Fees / Escrow Deposit

A copy of the most current filing fees and escrow deposit amounts required by the City has also been provided for your reference. All fees must be paid at the time of application. No building permits will be issued until all bills and fees have been satisfied.

City staff will make every effort to keep costs at a minimum. Additional costs may be incurred due to lack of information, site or design problems, additional reviewing requirements or questions from the Planning Commission and/or City Council. You can have a significant impact on controlling these costs by submitting complete and comprehensive documents, plans, and designs which directly respond to the application procedures outlined. Incomplete submittals result in increased review time, unnecessary costs for the applicant, and may also result in rejection of an application.

Thank you for your review of this letter and attached information. We look forward to working with you on your request and application.

Milestone Orthodontics

Drs. Rensch, Becker, Iwen, Crary, and Lin

ANDOVER OFFICE

1573 154TH AVE NW #105 ANDOVER, MN 55304 763-434-5868

To whom it may concern,

ANOKA OFFICE

402 MONROE ST ANOKA, MN 55303 763-427-2740

BLAINE OFFICE

810 125TH AVE NE BLAINE, MN 55434 763-757-2768

COON RAPIDS OFFICE

11441 OSAGE ST NW COON RAPIDS, MN 55433 763-757-7540

ELK RIVER OFFICE

822 MAIN ST ELK RIVER, MN 55330 763-253-7531

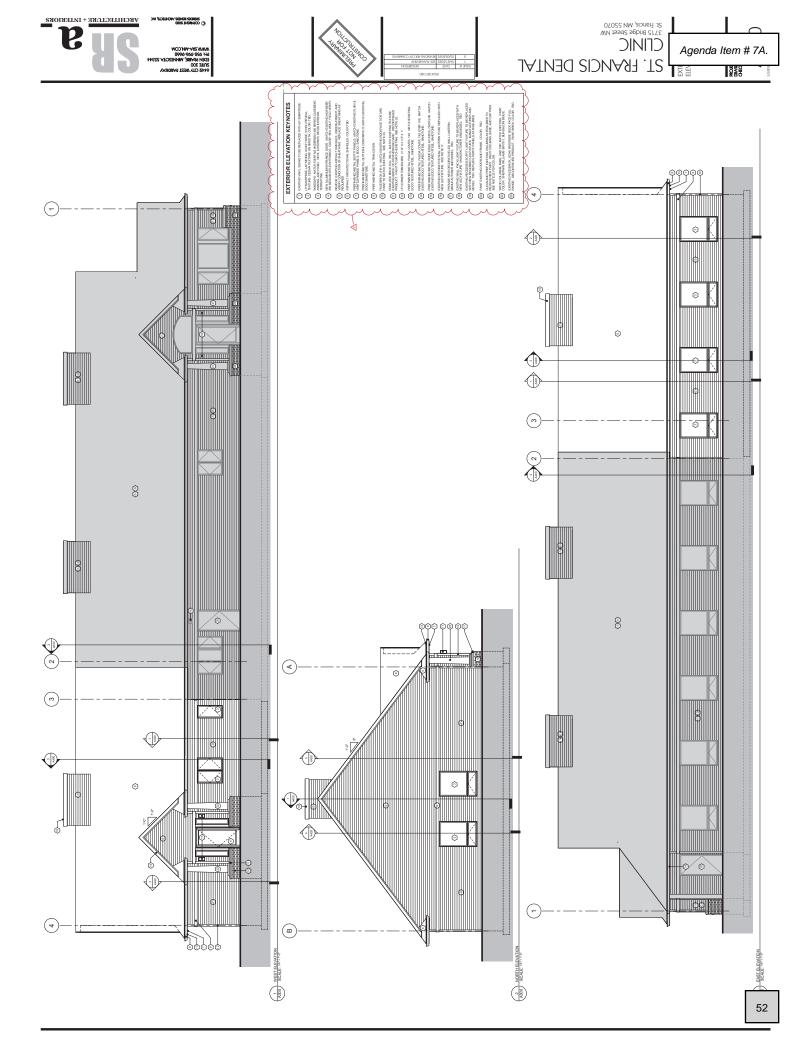
ST FRANCIS OFFICE

3725 BRIDGE ST NW ST FRANCIS, MN 55070 763-753-3393 Milestone Orthodontics hereby acknowledges the intent of St. Francis Dental Care to proceed with expansion of their parking lot. Please let us know if you have any questions or concerns.

Regards,

Dr. Tom Crary DDS, MS





ST. FRANCIS DENTAL CLINIC ADDITION

3715 BRIDGE STREET NW ST. FRANCIS, MN 55070

PROJECT TEAM

ST. FRANCIS DENTAL 3715 BRIDGE STREET ST. FRANCIS, MN KURT HUETHER, DDS HUETHER@HOTMAIL.COM

DESIGN/BUILDER

KARKELA CONSTRUCTION 4806 PARK GLEN ROAD ST. LOUIS PARK, MN 55416 ROGER SWAGGER 952-922-5512 ROGER@KARKELA.COM

ARCHITECT OF RECORD

SPERIDES REINERS ARCHITECTS, INC. 6442 CITY WEST PARKWAY SUITE #300 EDEN PRAIRIE, MN 55344 PROJECT CONTACT NATHAN RAUNER 952-996-9662 NATHANR@SRA-MN.COM

STRUCTURAL ENGINEER

6120 EARLE BROWN DRIVE SUITE #700 MINNEAPOLIS, MN 55430 TINA A. WYFFELS, P.E. 763-843-0436 TWYFFELS@BKBM.COM

CIVIL ENGINEER

WESTWOOD 3701 12TH STREET N. SUITE #206 ST. CLOUD, MN 56303 **BRAD WILKENING** (320) 229-2329 BRAD.WILKENING@WESTWOODPS.COM

SURVEYOR

WESTWOOD 3701 12TH STREET N. SUITE #206 ST. CLOUD, MN 56303 MATT WELINSKI (952) 697-5764 MATT.WILINSKI@WESTWOODPS.COM

SITE LIGHTING PHOTOMETERICS

MLAZGAR 16350 W. GLENDALE DRIVE NEW BERLIN, WI 53151 414-943-1915

MECHANICAL ELECTRICAL, PLUMBING

DESIGN / BUILD (DEFERRED SUBMITTAL)

DENTAL EQUIPMENT SUPPLIER

GENERAL NOTES

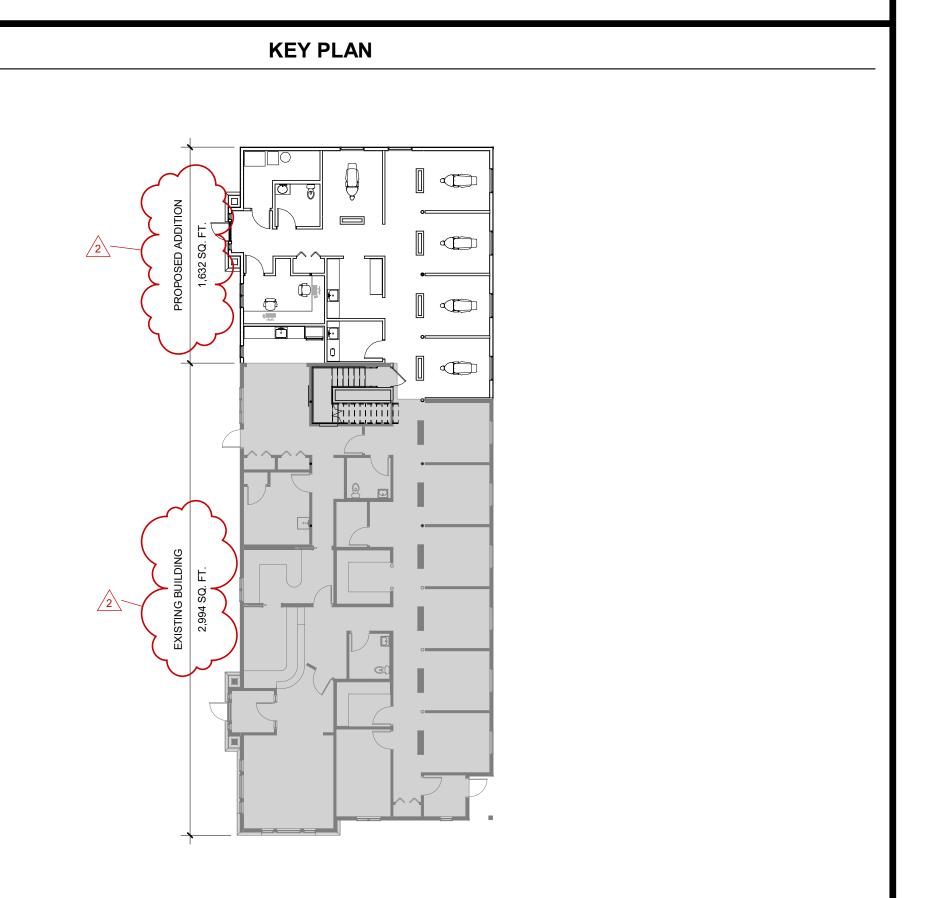
- A. STUD FRAMING EXTENDED TO STRUCTURE ABOVE SHALL HAVE 3" X 3 5/8" GALVANIZED STUD TRACK AT TOP. STUD FRAMING SHALL BE 3/4" FROM TOP OF TRACK AND HAVE NO MECHANICAL FASTENING TO ALLOW FOR 3/4" DEFLECTION.
- 3. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECTS ATTENTION PRIOR TO FABRICATION/ CONSTRUCTION BEGINS.
- CONTRACTOR TO INSTALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.
- HOLD 1/2" CLEARANCE BETWEEN FLOOR AND GYPSUM BOARD. FILL GAP BETWEEN BOTTOM EDGE OF GYPSUM BOARD AND FLOOR WITH SEALANT. STRIKE SEALANT SMOOTH AND FLUSH WITH FACE OF PARTITION. REMOVE EXCESS SEALANT FROM PARTITION AND FLOOR.
- CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF THE DOOR LEAF OR AS SHOWN ON THE FLOOR
- VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
- SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS. . PROVIDE FIRE TREATED BLOCKING AS
- REQUIRED TO SUPPORT ALL CABINETS, SHELVES, BUILT-INS, EQUIPMENT OR ACCESSORIES. COORDINATE WITH VENDOR DOCUMENTS WHERE SUCH COMMUNICATION/ HVAC/ PLUMBING/ ITEMS

DEPICTED CONFLICT WITH ADA

- REQUIREMENTS OR INDUSTRY PRIOR TO INSTALLATION:
 NOTE: ALL DEVICES AND CONTROLS TO BE
 INSTALLED WITHIN A MAXIMUM OF 4" OF EACH OTHER HORIZONTALLY (NOT 16" D.C.) AND ALIGN THE BOTTOMS OF EACH ITEM. IN THE VERTICAL POSITION ALIGN
- THE ITEMS ON CENTERLINES. DURING CONSTRUCTION, AREA SHALL BE KEPT CLEAN AND ORDERLY.
- . LIGHTING, EXIT LIGHTING INFORMATION, ELECTRICAL, DATA AND TELEPHONE INFORMATION SHOWN ARE FOR ELECTRICAL CONTRACTORS REFERENCE ONLY. CONTRACTOR SHALL ENSURE COORDINATION OF ELECTRICAL ITEMS WITH BUILDING CONSTRUCTION AND EQUIPMENT AND SHALL OBTAIN THE NEEDED INFORMATION TO PROVIDE A COMPLETE AND WORKING INSTALLATION.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL
- M. PROVIDE GFI ELECTRICAL OUTLETS AT LOCATIONS REQUIRED BY CODE.

PROJECT IMAGE

			L	OCATION MAP		
d NW		Ambesselda du			Burn River Blyd St	
	Rwik Trip #943 P			Rum River North County Park		
	McDonald's 🕡		SITE - Bridge St NW	St. Francis Hig	h School Dollar General	229th Ave NW
St Francis Bl	livd NW	And the state of t			Lake George Blvd NW	1



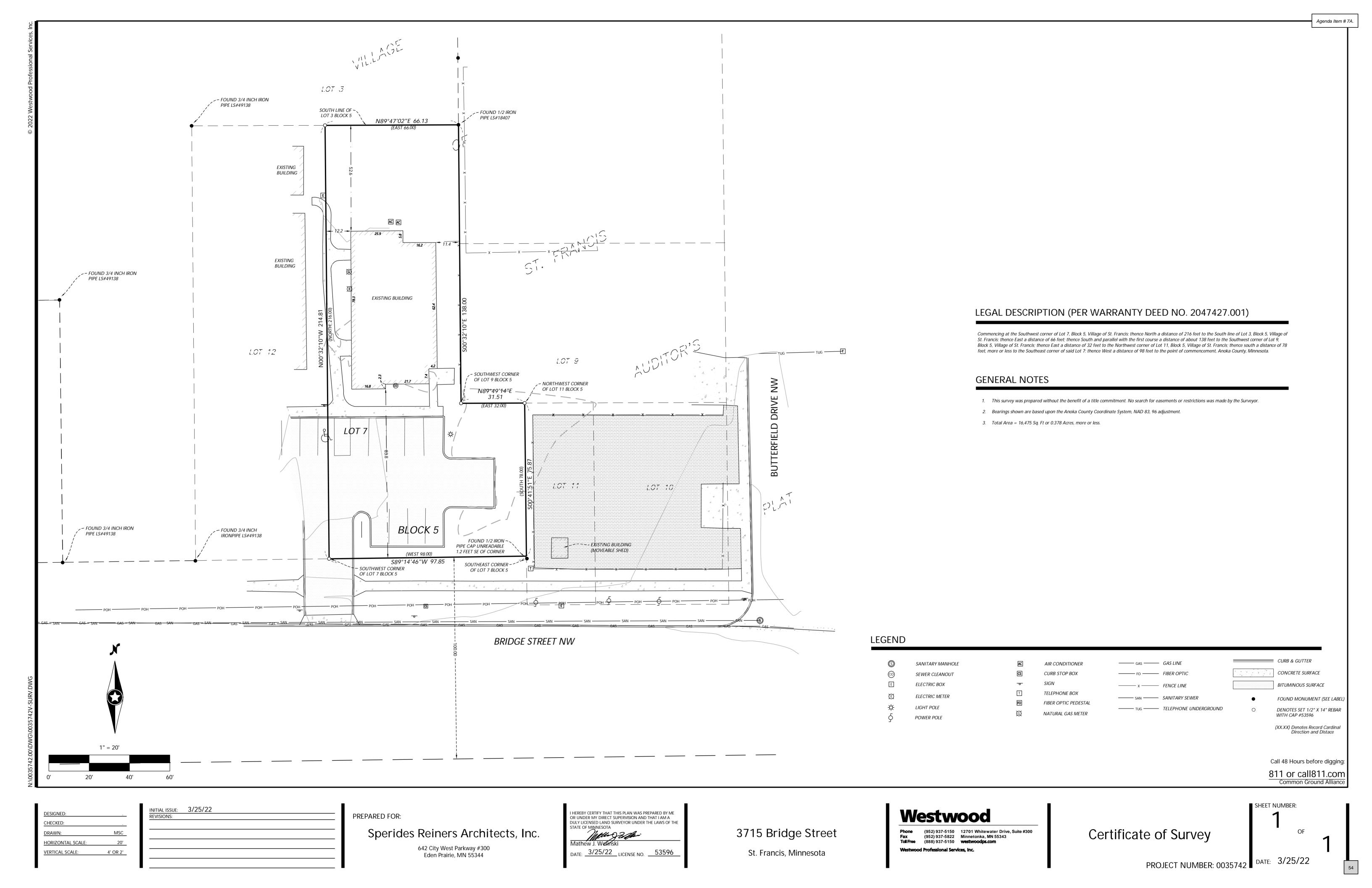
SHEET INDEX SHEET NAME ARCHITECTURAL A000 TITLE SHEET • • CIVIL 1 of 4 EXISTING CONDITIONS AND REMOVAL PLAN 2 of 4 SITE PLAN 3 of 4 GRADING, DRAINAGE & EROSION CONTROL PLAN 4 of 4 SITE DETAILS ARCHITECTURAL A001 ABBREVIATIONS, SYMBOLS & TYPICAL MOUNTING HEIGHTS A010 LIFE SAFETY PLANS A020 BUILDING SYSTEMS A040 ARCHITECTURAL SITE PLAN A041 ARCHITECTURAL SITE PLAN - PHASE 2 A050 LANDSCAPE PLAN • • A100 DEMOLITION PLAN A200 FLOOR PLAN A202 ATTIC MECHANICAL PLAN A220 FINISH PLAN, LEGEND, AND SCHEDULE A230 REFLECTED CEILING PLANS A240 ROOF PLAN A300 EXTERIOR ELEVATIONS A400 BUILDING SECTIONS A420 WALL SECTIONS A500 EXTERIOR DETAILS A520 ROOF DETAILS A600 SCHEDULES / FRAMES TYPES A700 CASEWORK SCHEDULE

• • A701 INTERIOR ELEVATIONS A710 INTERIOR SECTION & DETAILS
A820 FURNITURE PLAN

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TITLE SHEET

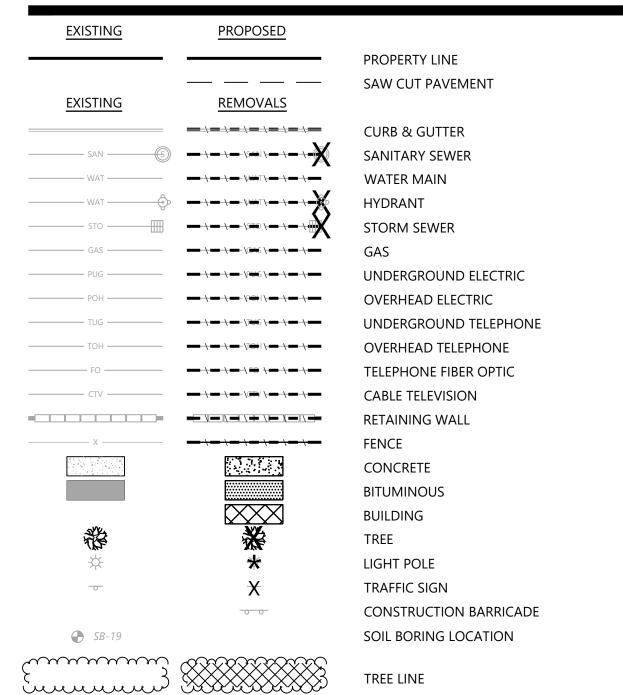
PROJECT NO: 22-014 DRAWN BY: XXX CHECKED BY: XXX



Call 48 Hours before digging: 811 or call811.com

Common Ground Alliance

REMOVAL LEGEND



REMOVAL NOTES

- 1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- 2. CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- 3. CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

20' 40' 60'

PRELIMINARY

DESIGNED: BCW
CHECKED: BCW
DRAWN: JN
HORIZONTAL SCALE: 20'
VERTICAL SCALE:

EXISTING BUILDING

EXISTING BUILDING

LOT 12

EXISTING BUILDING

PREPARED FOR:

KURTIS S. HUETHER

3715 BRIDGE STEET NW
ST. FRANCIS, MN 55070

REMOVE & RELOCATE EXISTING LIGHT POLE

REMOVE EXISTING

EXISTING BUILDING -(MOVEABLE SHED) /

BRIDGE STREET NW

CONCRETE CURB & GUTTER

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

BRAD C. WILKENING

DATE: 05/03/22 LICENSE NO. 26908

1 A.T. 1 A. L.O.T. 1 O.

ST. FRANCIS DENTAL CARE

ST. FRANCIS, MN

~ RIM=917.91

EXISTING CONDITIONS & REMOVAL PLAN

SHEET NUMBER:

PROJECT NUMBER: 0035919.00 DATE: 05/03/22

OF **4**

FRANCIS DENTAL CARE

Call 48 Hours before digging: 811 or call811.com

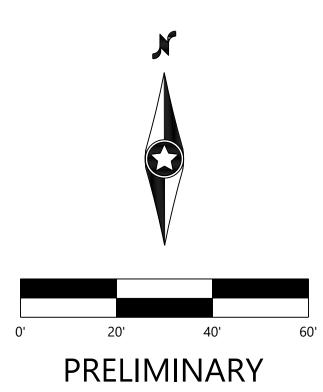
Common Ground Alliance

SITE LEGEND

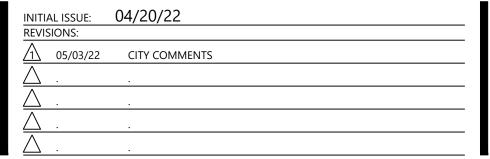
EXISTING PROPOSED PROPERTY LINE LOT LINE SETBACK LINE EASEMENT LINE CURB AND GUTTER TIP-OUT CURB AND GUTTER POND NORMAL WATER LEVEL ----**RETAINING WALL** FENCE CONCRETE PAVEMENT CONCRETE SIDEWALK HEAVY DUTY BITUMINOUS PAVEMENT NORMAL DUTY BITUMINOUS PAVEMENT NUMBER OF PARKING STALLS TRANSFORMER SITE LIGHTING TRAFFIC SIGN POWER POLE BOLLARD / POST

GENERAL SITE NOTES

- 1. BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, INC, MINNETONKA, MN, ON 02/16/22.
- 2. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- 3. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- 4. ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE
- 5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- 6. ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- 7. ALL CURB AND GUTTER SHALL BE <u>**B612</u>** UNLESS OTHERWISE NOTED.</u>
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- 9. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- 10. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- 11. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.



BCW CHECKED: BCW DRAWN: HORIZONTAL SCALE VERTICAL SCALE:



PREPARED FOR:

BI OCK 5

PROPOSED

BUILDING

ADDITION FFE=920.41

> **KURTIS S. HUETHER** 3715 BRIDGE STEET NW

ST. FRANCIS, MN 55070

BRIDGE STREET NW

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAW OF THE STATE OF MINNESOTA BRAD C. WILKENING DATE: 05/03/22 LICENSE NO. 26908

INV(W) = 909.06

ST. FRANCIS DENTAL CARE ST. FRANCIS, MN



SITE PLAN

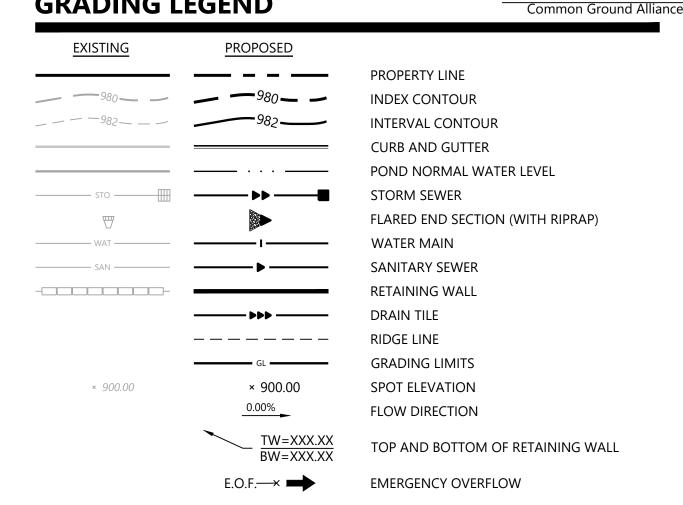
SHEET NUMBER:

FRANCIS DENTAL CARE

PROJECT NUMBER: 0035919.00 DATE: 05/03/22

Call 48 Hours before digging: 811 or call811.com

GRADING LEGEND



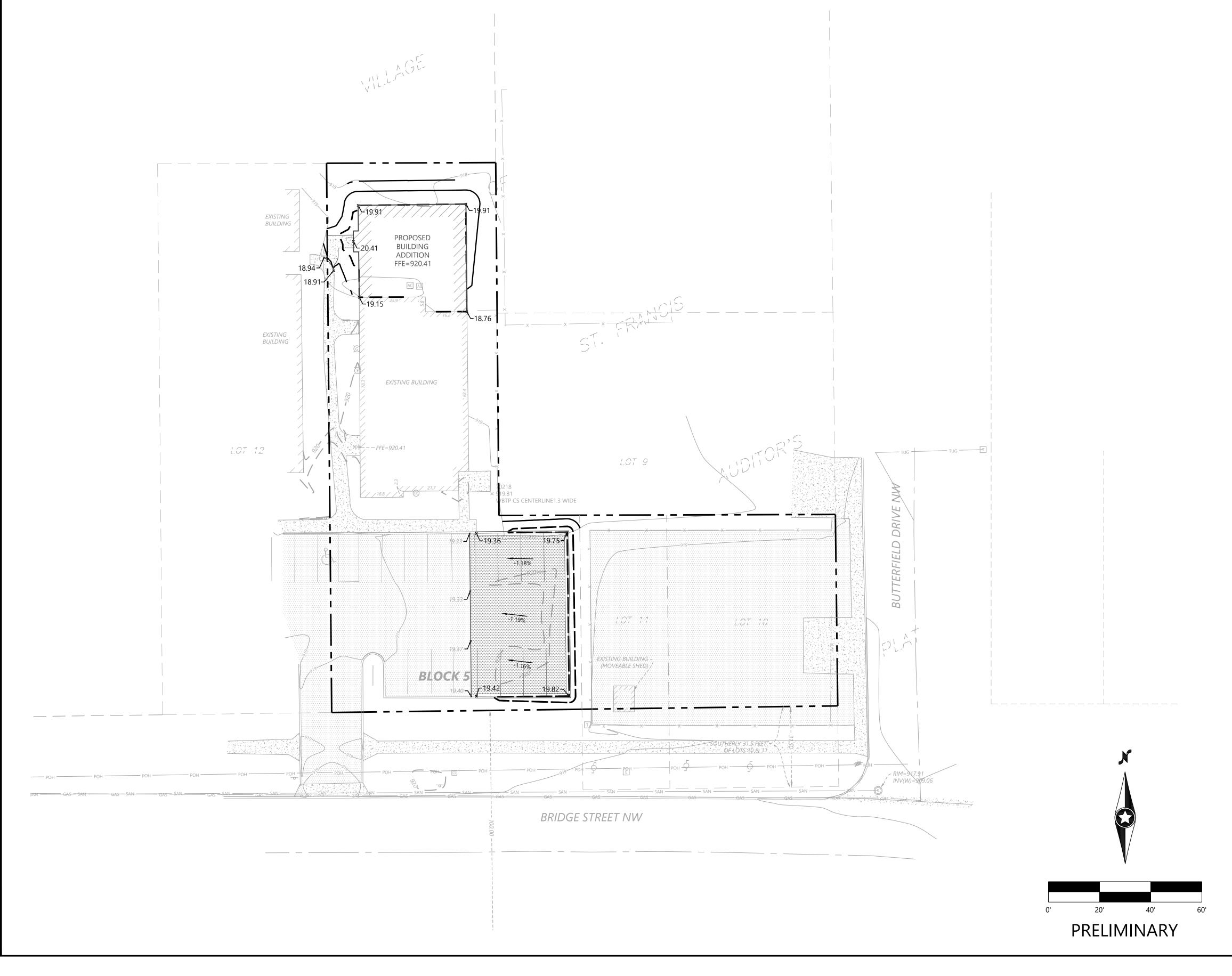
GRADING NOTES

→ SB-19

1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.

SOIL BORING LOCATION

- 2. CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- 3. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- 4. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- 6. ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS
- 7. CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS
- 8. SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE
- 9. SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- 10. CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING
- 11. CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- 12. ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- 13. PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- 14. EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- 15. EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- 16. ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.



BCW CHECKED: BCW DRAWN: **HORIZONTAL SCALE** VERTICAL SCALE:

INITIAL ISSUE: 04/20/22 REVISIONS: 05/03/22 CITY COMMENTS

PREPARED FOR:

KURTIS S. HUETHER 3715 BRIDGE STEET NW

ST. FRANCIS, MN 55070

OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAW OF THE STATE OF MINNESOTA BRAD C. WILKENING

HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME

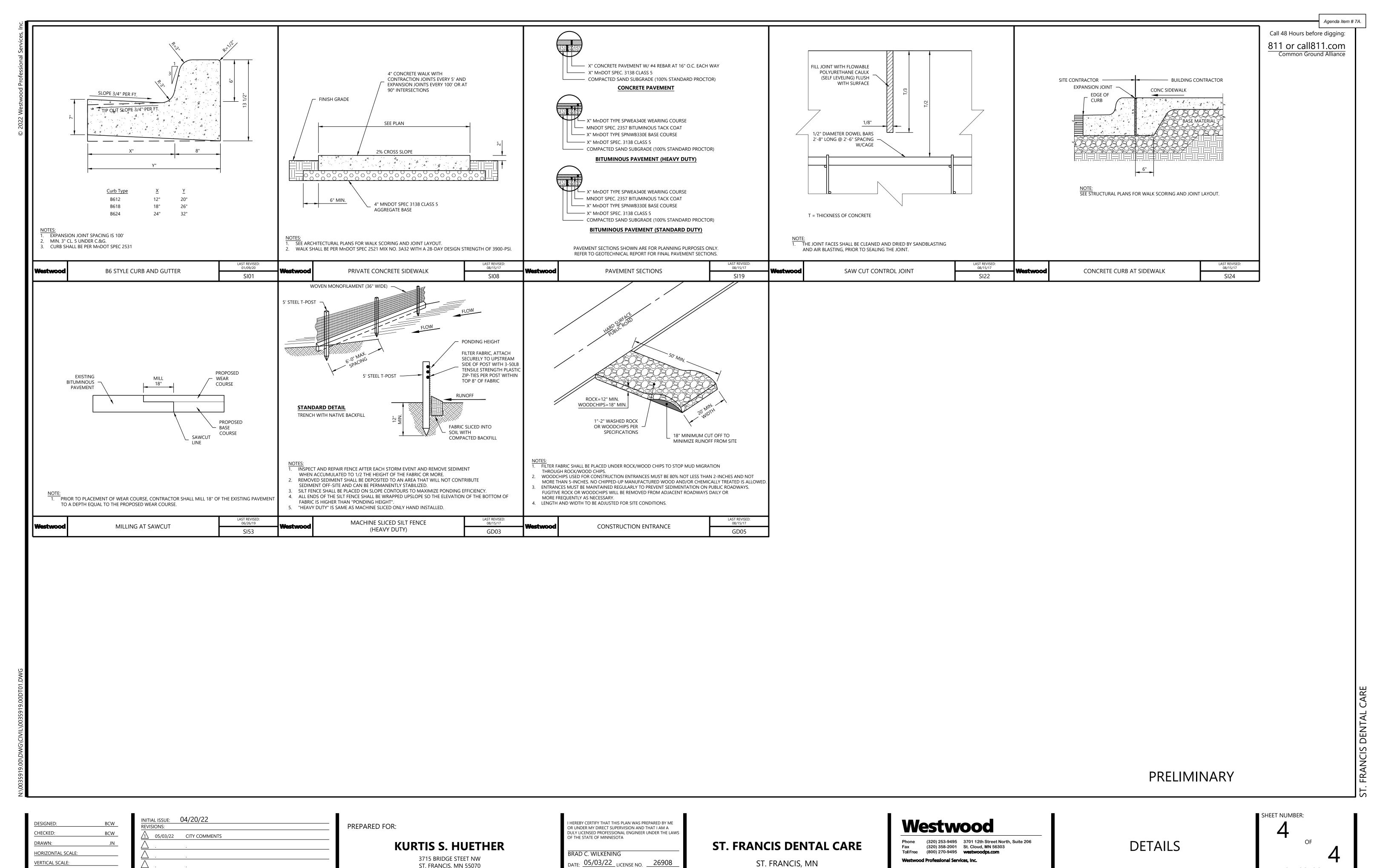
DATE: 05/03/22 LICENSE NO. 26908

ST. FRANCIS DENTAL CARE

ST. FRANCIS, MN

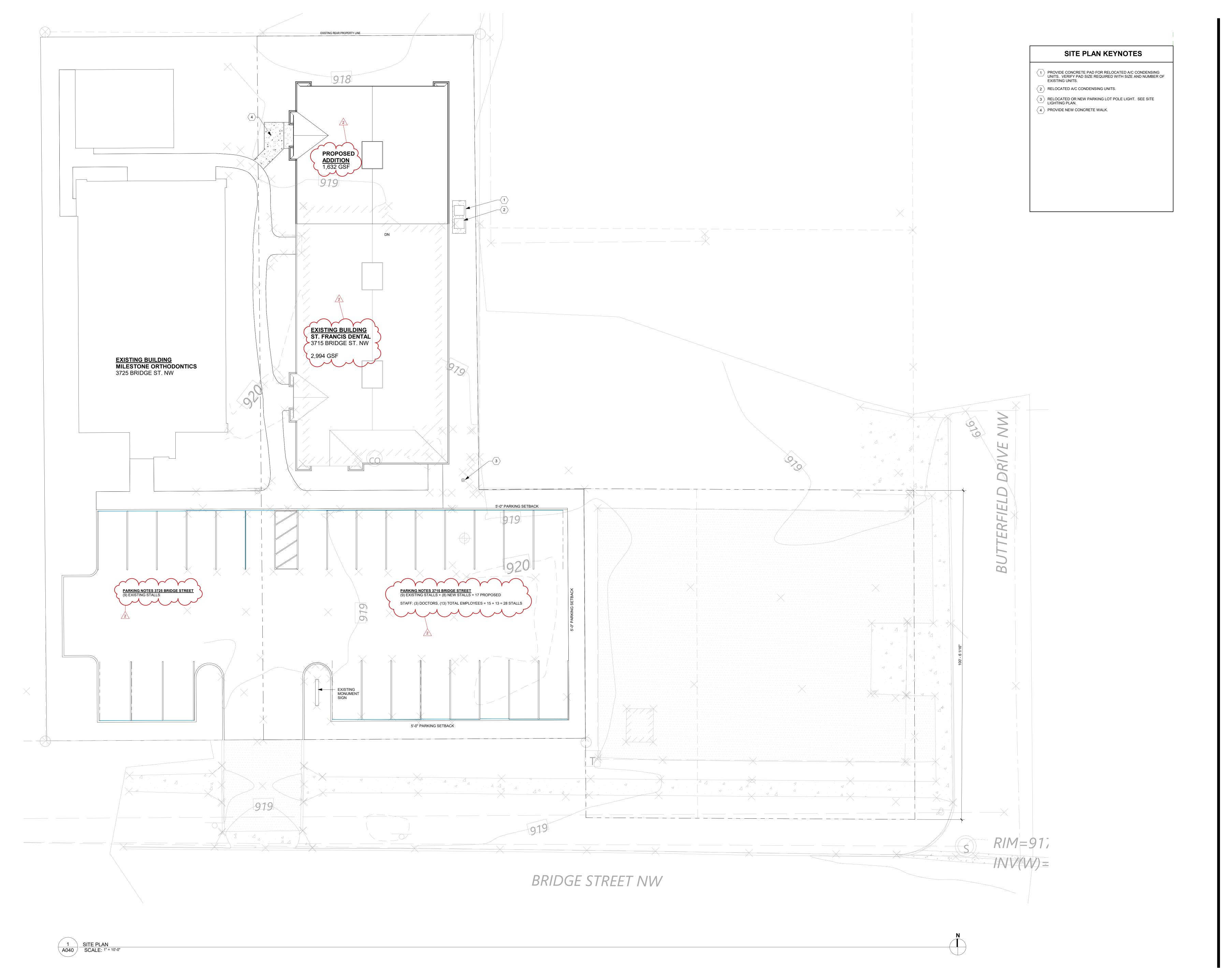


GRADING, DRAINAGE, & **EROSION CONTROL PLAN** SHEET NUMBER:



ST. FRANCIS, MN 55070

PROJECT NUMBER: 0035919.00 DATE: 05/03/22



CHITECTURE + INTERIORS

SUITE 300
EDEN PRAIRIE, MINNESOTA 55344
PH: 952-996-9662
WWW.SRA-MN.COM

DATE DESCRIPTION

DATE DESCRIPTION

34/21/2022 SITE PLAN REVIEW

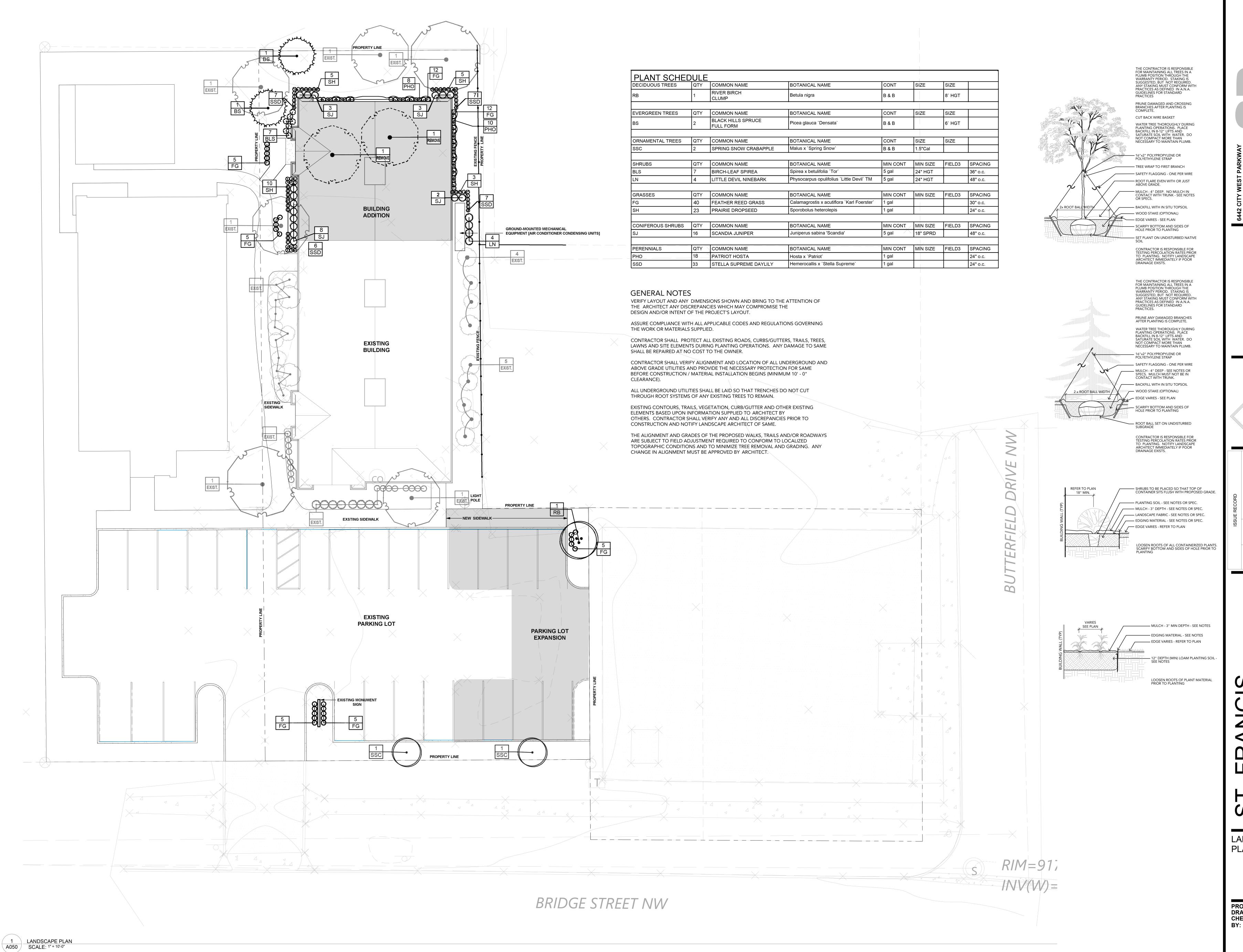
05/02/2022 REVISIONS PER CITY COMMENTS

FRANCIS DENTAL INIC

ARCHITECTURAL SITE PLAN

PROJECT NO: ²²⁻⁰¹⁴
DRAWN BY: NR
CHECKED BY: ER

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Agenda Item # 7A.

LANDSCAPE PLAN

- A. DRAWINGS SHOULD NOT BE SCALED DIMENSIONS GOVERN, CONTACT ARCHITECT FOR CLARIFICATION
- B. ALL PARTITIONS TO BE "-" UNLESS NOTED OTHERWISE
- C. SEE SHEET A020 FOR BUILDING SYSTEM INFORMATION
- D. SEE SHEET A021 FOR PARTITION TYP INFORMATION
- E. DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF GYP BD UNLESS NOTED OTHERWISE
- F. THE TYPICAL DIMENSION FROM OUTSIDE EDGE OF DOOR FRAME TO THE FACE OF ADJACENT PERPENDICULAR WALL IS 3" UNLESS NOTED OTHERWISE
- G. ALL WALLS TO DECK TO BE CONSTRUCTED TO ACCOMMODATE DEFLECTION OF ROOF STRUCTURE
- H. PROVIDE MOISTURE RESISTANT GYP BD AT ALL WET WALLS PROVIDE CONTROL JOINTS IN GYP BD AS RECOMMENDED BY

MANUFACTURER

- J. COORDINATE UNDERGROUND AND UNDER SLAB UTILITIES, COORDINATE ALL SLEEVES THROUGH / UNDER FOOTING AND FOUNDATION W/ STRUCTURAL ENGINEER
- K. PROVIDE FIRE EXTINGUISHERS OF SIZE AND TYPE AND LOCATION AS REQUIRED BY THE FIRE MARSHALL
- L. VERIFY / COORDINATE LOCATION OF KNOX BOX WITH LOCAL FIRE MARSHALL (IF REQUIRED)
- M. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO STRUCTURAL COMPONENT SIZES, LOCATIONS, CONFIGURATIONS, AND
- N. STAIR SUPPLIER SHALL BE RESPONSIBLE FOR CODE COMPLIANCE AND STRUCTURAL INTEGRITY FOR ALL MATERIALS
- O. SUBCONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. ANY OMISSIONS,
 DISCREPANCIES, OR CONFLICTS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY
- P. AT PENETRATIONS OCCURRING IN A FIRE-RATED ENCLOSURE, THE SPACE AROUND PENETRATION SHALL BE FIRE STOPPED TO MEET REQUIRED RATING

FLOOR PLAN KEYNOTES

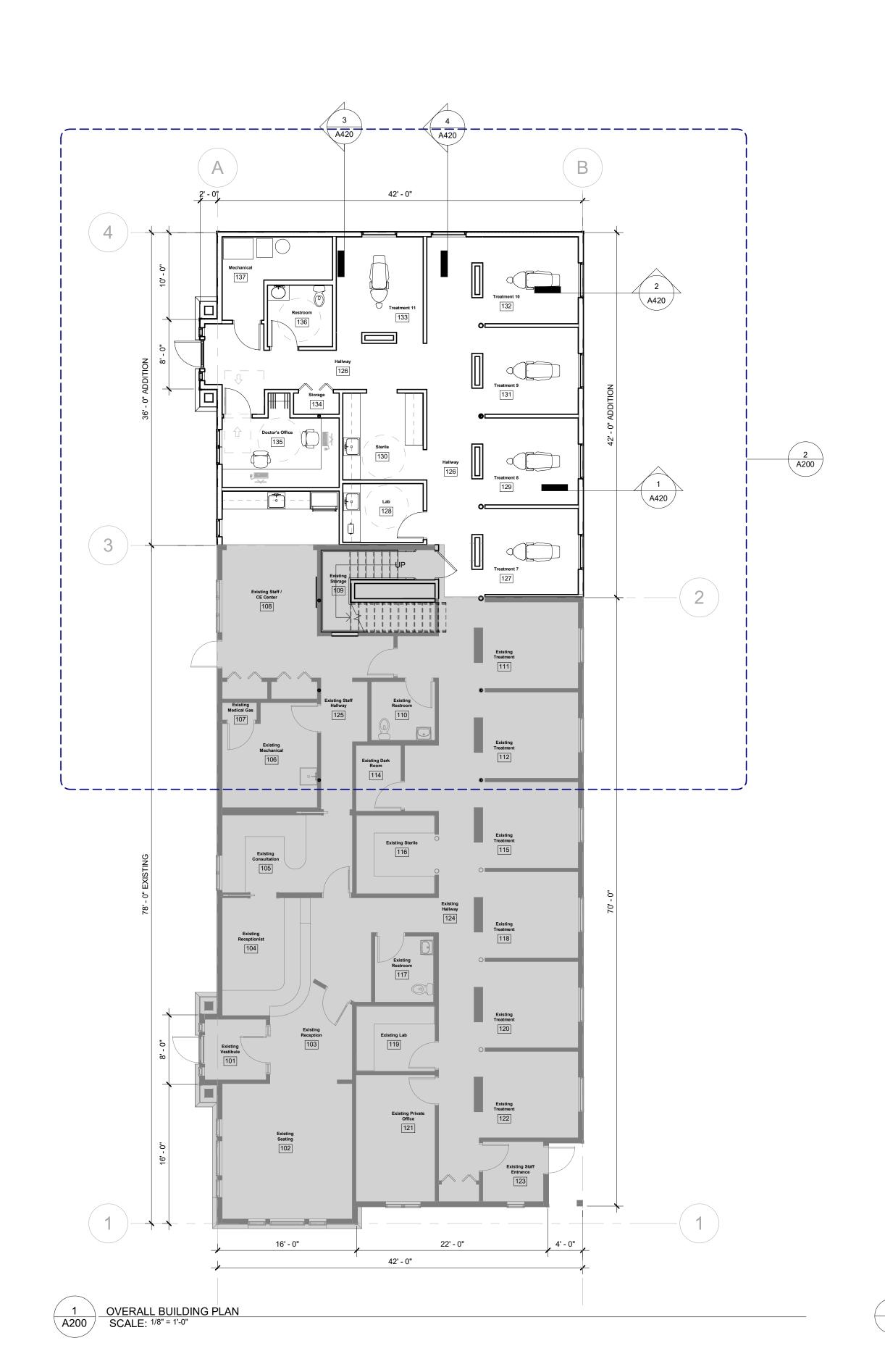
1 ALIGN PARTITION WITH EXG WDW MULLION

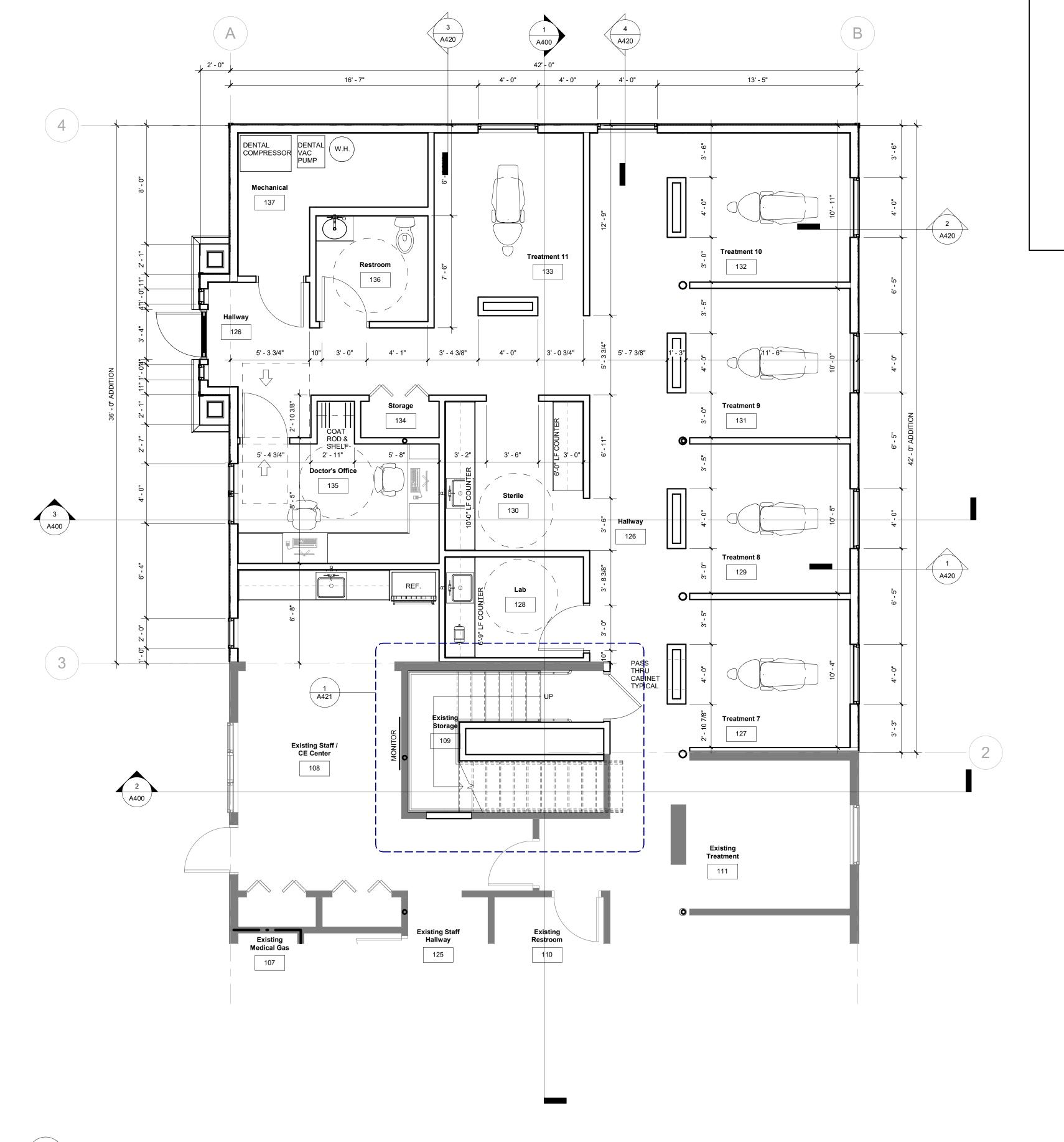
Agenda Item # 7A.

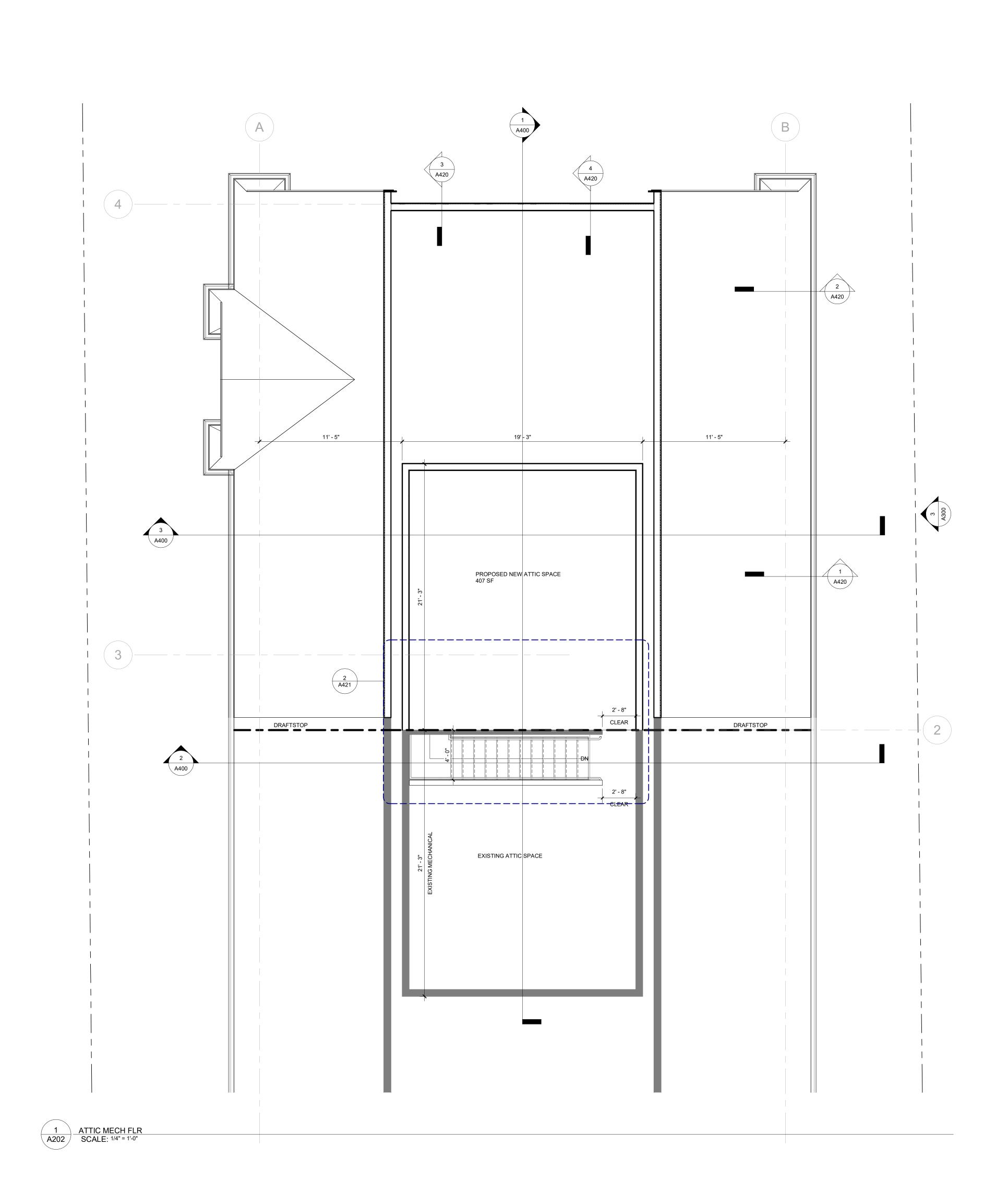
FLOOR PLAN

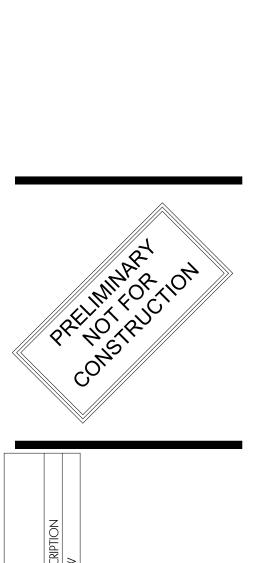
PROJECT NO: ²²⁻⁰¹⁴ DRAWN BY: NR CHECKED BY: ER

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ATTIC MECHANICAL PLAN

PROJECT NO: 22-014 DRAWN BY: Author CHECKED BY: Checker

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