

**CITY COUNCIL REGULAR MEETING AGENDA**City Hall - 10769 W State Street, Star, Idaho
Tuesday, February 06, 2024 at 7:00 PM

PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.

1. **CALL TO ORDER** – Welcome/Pledge of Allegiance
2. **INVOCATION** – Host Coordinator Harroll Wiley, LifeSpring Church
3. **ROLL CALL**
4. **PRESENTATIONS**
5. **CONSENT AGENDA (ACTION ITEM)** **All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*
 - A. **Findings of Fact / Conclusion of Law - Milled Olive (FILE: CUP-23-06)**
 - B. **Claims Approval**
6. **PUBLIC HEARINGS with ACTION ITEMS:**
 - A. **PUBLIC HEARING - Keely CUP (FILE: RZ-23-04; DA-23-06; CU-23-07)** The Applicant is requesting approval of a Rezone (R-1 to CBD), a Development Agreement and Conditional Use Permit for two, 4700 square foot Live/Work units. The property is located at 856 S. Star Road, Star, Idaho and consists of .909 acres. **PREVIOUSLY TABLED (ACTION ITEM)**
 - B. **PUBLIC HEARING - Frontier Credit Union (File # CU-23-09):** The Applicant is requesting approval of a Conditional Use Permit for a Drive-Thru for a financial institution. The property is located at 11368 & 11352 W. State Street in Star, Ada County, Idaho. **(ACTION ITEM)**
 - C. **PUBLIC HEARING - Milepost Commons Subdivision (File #'s PP-23-05 & DA-23-07):** The Applicant is requesting approval of a Preliminary Plat (PP-23-05) and Development Agreement for a proposed residential subdivision consisting of 72 residential lots and 11 common lots. The property is located at 2400 N. Pollard Lane in Star, Ada County, Idaho, and consists of 19.93 acres with a proposed density of 3.6 dwelling units per acre. **TABLE TO MARCH 5, 2024 (ACTION ITEM)**
7. **ACTION ITEMS:**
 - A. **Building Services Vehicle Purchase** - Approve Purchase of Used Truck (Ford F150 VIN # 1FTMF1EB1KKD27143) in the amount of \$13,000.00 from Star Sewer and Water District **(ACTION ITEM)**
 - B. **Executive Session 74-206(f)** - To communicate with legal counsel for he public agency to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated but imminently likely to be litigated. **(ACTION ITEM) - ADDED 2/5/2024**
8. **ADJOURNMENT**



CITY OF STAR, IDAHO
CITY COUNCIL REGULAR MEETING AGENDA

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The meeting can be viewed via a link posted to the City of Star website at staridaho.org. Information on how to participate in a public hearing remotely will be posted to staridaho.org under the meeting information. The public is always welcomed to submit comments in writing.

Land Use Public Hearing Process

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Applicant has up to **20 minutes** to present their project

Council can ask the applicant questions and staff questions

Public Testimony (**3 minutes per person**)

1. Those for the project speak
2. Those against the project speak
3. Those who are neither for or against but wish to speak to the project
4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick

**FINDINGS OF FACT AND CONCLUSIONS OF LAW
MILLED OLIVE CONDITIONAL USE PERMIT
FILE NO. CU-23-06**

The above-entitled Conditional Use Permit land use applications came before the Star City Council for their action on December 5, 2023, at which time public testimony was taken and the public hearing was closed. The Star City Council, having requested and taken oral and written testimony, and having duly considered the matter, does hereby make the following Findings of Fact and Conclusions of Law.

Procedural History:

A. Project Summary:

The Applicant is requesting approval of a Conditional Use Permit for a mixed-commercial use to include a retail store, wine & beer lounge, retail storage area, outdoor concessions and an event space. The property is located at 1133 S. Main Street in Star, Ada County, Idaho, and consists of 2.0 acres in a central business district (CBD) zoning designation. The subject property is generally located at the northeast corner of S. Star Road and S. Main Street. Ada County Parcel No. R1842701420.

B. Application Submittal:

A neighborhood meeting was held on September 14, 2023, in compliance with the application submittal requirement of the Star Unified Development Code (Section 8-1 A-6 C). The Land Use application was deemed complete on October 20, 2023.

C. Notice of Public Hearing:

Notice of Public Hearing on the application for the City of Star Council was published in accordance with the requirements of Title 67, Chapter 65, Idaho Code and the Star Unified Development Code on November 19, 2023. Notice of this public hearing was mailed to property owners within three-hundred feet (300') of the subject property in accordance with the requirements of Title 67, Chapter 65, Idaho Code and Star Unified Development Code on November 20, 2023. Notice was sent to agencies having jurisdiction in the City of Star on October 24, 2023. The property was posted in accordance with the Star Unified Development Code on November 20, 2023.

D. History of Previous Actions:

Council approved an application for Rezone and Development Agreement (RZ-20-10/DA-20-21) for the property to be rezoned Central Business District (CBD).

required parking requirements within the CBD zone. The addition of approved on-street parking of 17 additional spaces will benefit the uses proposed.

The Applicant is proposing fencing along all boundaries of the property, including open, metal fencing along the Star Road and S. Main Street frontages, with a security gate along the entrance drive. A 6' solid wood and metal fence is proposed adjacent to the existing residential uses to the north and east of the proposed development.

The Applicant has not indicated the hours of operation for the project. Council may want to consider hours of operation for the food trucks and farmers market uses of the project.

The applicant has provided exterior elevations and color renderings of all of the structures within the development. The buildings appear to meet the intent of the architectural overlay, however, the site plan and elevations will need additional approval from the design review committee as part of the Certificate of Zoning Compliance process.

The applicant has requested a 10' northern building setback for the main building and 5' northern and southern setback for the storage building located in the northeast corner of the property. In addition, the concessions building has indicated a 5' northern setback. Council should consider future CBD uses adjacent to this property. Staff believes the proposed setbacks are appropriate for the future build-out of the Central Business District.

Cross access to adjacent properties is critical for maintaining circulation between commercial uses, especially along Star Road, where access points are intended to be eliminated and combined where necessary as properties redevelop. Staff supports a requirement for a cross access easement to the north of the property in the event that the northern property were to redevelop. The easement would be located where the applicant is showing 3 parking spaces in the northeast corner of the project. Until a need for access is warranted, the applicant shall maintain the 3 parking spaces as shown.

The applicant has not indicated a location for restroom facilities near the concession building and food truck and farmers market area of the development. Facilities located in the main building may provide this service when open, however, bathroom facilities should be discussed by Council and the applicant.

A landscaping plan has been submitted with the application. Staff would like to see an additional landscaping buffer on the northern boundary of the development adjacent to the proposed parking lot and main building.

H. *On-Site Features:*

- ☉ Areas of Critical Environmental Concern – No known areas.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Work to create a vibrant Central Business District.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

8.5.5 Policies Related Mostly to the Central Business District Planning Areas:

A. The CBD zoning district should allow for a mix of commercial, office, institutional, and civic type uses with specific provisions for residential use in appropriate locations with compatible densities.

B. High density residential is suitable within the CBD in mixed use buildings with commercial or office type uses on the first floor and high density residential on upper floors.

C. Main Street, generally south of Tempe Lane extended, consists of several lots which are about one acre in size created by "Dixon Subdivision" almost a century ago. Many of the existing home sites on these lots are rural in nature, including farm animals. As redevelopment of this area occurs, a transition consisting of a compatible mix of lower intensity commercial and office type uses mixed with residential should be encouraged. This Main Street area needs to be studied to provide for special care guiding future development understanding that the rights consisting of the existing rural use of residential lots are not to be infringed. Furthermore, Main Street is to be studied for the provision of traffic calming measures and to provide for a connection for horseback riders to access an equestrian trail which should be planned along the Boise River.

D. The city should develop a street improvement plan for the CBD identifying drainage and street improvements with a functional grid system and use public private partnerships to assure the system is built and that "ad hoc" development of parcels within the CBD do not block good planning.

E. The city should develop a downtown grid system, in part, planning for the easterly extension of Tempe Lane and easterly extension of West First Street to help provide better downtown access and parking facilities.

F. The east west public road from the Heron River Development, south of the LDS Church on Main Street, should be extended to Star Road.

G. Implement, review, and update the 2011 Star Downtown Revitalization Plan for development strategies within the plan intended to stimulate development within the CBD.

H. As recommended in the 2011 Star Downtown Revitalization Plan, the city should create an Urban Renewal District to stimulate development within the CBD.

I. The city should encourage assemblage of the smaller properties where appropriate.

J. The "floodway" lands abutting the CBD land use designation, all as shown in the Comprehensive Plan Land Use Map, should continue to be developed as park space supporting activities integral to the economic and "Live, Work, Play" ambiance planned for the CBD.

K. Main city service facilities should be located in the CBD and should all be south of State Highway 44 clustered into a "City Services Campus". That includes the City Hall, Library, Post Office, Emergency Services, Department of Motor Vehicles, and other related facilities.

L. Big Box commercial, generally a single-story single use building over 50,000 square feet, should not be permitted within the CBD and any single-story single use building which is large in scale, such as approaching the 50,000 square foot size, should be located to front on Highway 44 or Star Road.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

Unified Development Code:

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:



- 3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
- 4. As approved by the Fire District.

8-1B-4: CONDITIONAL USES:

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

- 1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.
- 2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.
- 3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

- 1. Minimize adverse impact of the use on other property.
- 2. Control the sequence and timing of the use.
- 3. Control the duration of the use.
- 4. Assure that the use and the property in which the use is located is maintained properly.
- 5. Designate the exact location and nature of the use and the property development.
- 6. Require the provision for on site or off-site public facilities or services.
- 7. Require more restrictive standards than those generally required in this title.

8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

8-1B-4E. FINDINGS: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.
3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

8-1B-4E CONDITIONAL USE FINDINGS:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
The Council finds nothing in the record indicating that the site of the proposed use would not be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

The Council finds that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development meets the intent or purpose.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

The Council finds that operation of the proposed use would be compatible with the other uses in the general area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

The Council finds that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

The Council finds that the proposed use can be adequately served by essential public facilities and services.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

The Council finds that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community. The City has not received notice from any agency having jurisdiction stating that this application will create excessive additional costs for the public facilities and services as the development will pay for all changes in services.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The Council finds that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

The Council finds that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.

Public Hearing of the Council:

a. A public hearing on the application was heard by the City Council on December 5, 2023, at which time testimony was heard and the public hearing was closed, and the Council made their decision at that time.

b. Oral testimony regarding the application was presented to the City Council by:

- Shawn L Nickel, City Planning Director gave Staff Presentation
- Jessica Heggie
- Angie McGetrick
- Heidi Prigge
- Susan Avise
- Gary Avise
- Cheryl Cronk
- Victor Islas, Star Fire District
- Aaron Williams, ACHD

c. Written testimony in favor of or opposing the application was presented to the City Council at the hearing by:

None

Deliberations and Conclusions of Law:

The Council reviewed the particular facts and circumstances of this proposed conditional use permit application in accordance with the City of Star Title 8 (Unified Development Code), deliberated on the matter, resulting in review of the record, including the staff report, and discussions on the proposed land use. Review and discussion included site plan/layout, access and circulation, fencing, landscape buffering, cross-access, lighting, hours of operation and parking. The Council included Staff recommended conditions of approval and added additional conditions to address these concerns. Council concluded that the Applicant's request, as conditioned, meets the requirements for conditional use. Council hereby incorporates the staff report dated December 5, 2023 into the official decision as part of these Findings of Fact, Conclusions of Law.

Statement of Compliance:

Council finds the Applicant has met all requirements of the Unified Development Code and the intent and purpose of the Comprehensive Plan and Map requirements.

Council included the following additional conditions of approval as part of the approval of this application request:

- Applicant to add a pedestrian gate to the fencing at the southern curve area on Main Street.
- All lighting on the building and parking areas shall adhere to the Dark Sky requirements of the City.
- Hours of operation shall be as follows:
 - Monday – Saturday 10am-6pm for Milled Olive Retail
 - Monday – Saturday 10am-11pm for Wine Bar
 - Friday, Saturday & Sunday 9am to 6pm for Farmers Market/Food Trucks
 - Seasonal Concessions 7-days a week until 11pm
- Cross-access easements shall be provided to the north and east to provide connection to adjacent uses once properties redevelop. Staff will analyze the need for cross access once uses have been determined to the north and east and evaluate whether the access is warranted. If access is to be provided, any parking that is lost shall not count against the overall parking requirements of this application. Gates for emergency access may be required and will be reviewed by City Staff and the Fire District at that time.
- All drainage requirements of the City Engineer shall be met.
- There shall be no music allowed outside of the buildings until immediate neighboring properties are developed into commercial.
- The site plan, with proposed building square footage, as approved on December 5, 2023 is hereby adopted into this approval and shall not be altered without further approval from the City. If the property is sold and/or uses change, a new Certificate of Zoning Compliance (CZC) shall be required.
- Any lighting on the proposed water tower/sign shall meet the Dark Sky requirements of the City.

Conditions of Approval:

1. **All Council required conditions of approval as listed above.**
2. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
3. Streetlights/Parking Lot lights shall comply with the Star City Code. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a streetlight design that meets city standards prior to Building Permit being issued.**
4. **A Certificate of Zoning Compliance will be required prior to the start of construction. The applicant shall address detailed building finishes, landscape buffering and other site details at that time.**
5. **A revised site plan, showing the correct parking dimensions shall be submitted to and approved by City Staff, prior to issuing the building permit.**
6. **The Applicant shall provide an updated landscape plan showing the correct number of street trees and landscape materials to Staff for approval prior to issuing a building permit.**

CITY OF STAR
 Claim Approval List
 For the Accounting Period: 1/24
 For Pay Date: 01/12/24

Section 5, Item B.

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3049	22685M	1460 ALBERTSONS 12/11/23 Employee Gift Cards	650.00 650.00*			10	41810	699	10110
		Total for Vendor:	650.00						
3050		1067 ANNIE PEW	366.66						
Ion Grant		01/12/24 Reimburse Before/After School	366.66*			10 101	44022	611	10110
		Total for Vendor:	366.66						
3051		373 HORIZON	244.12						
	3L224217	01/12/24 Snow Pusher Shovel	173.80*			10	41540	434	10110
	3L224217	01/12/24 Blades	70.32*			10	41540	434	10110
		Total for Vendor:	244.12						
		# of Claims	3	Total:	1,260.78	# of Vendors	2		

CITY OF STAR
Claim Approval List
For the Accounting Period: 1/24
For Pay Date: 01/12/24

Section 5, Item B.

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
				*** Claim from another period (11/23) ****					
3038		12 ABC STAMP CO	43.15						
	0571431	11/28/23 Notary Stamp Kelly Martin	43.15*			10 41810	610		10110
		Total for Vendor:	43.15						
				*** Claim from another period (11/23) ****					
3042		24 ADA COUNTY TREASURER	7.00						
		Additonal Bill Drainage District #2							
		11/17/23 Parcel # R9304760020	7.00*			10 41810	418		10110
		Total for Vendor:	7.00						
3044		1467 ANDRU MALDONADO	600.00						
		2nd instal 01/10/24 League Stipend Basketball	600.00*			10 44021	614		10110
		Total for Vendor:	600.00						
				*** Claim from another period (12/23) ****					
3039		93 BATTERIES PLUS BULBS	32.13						
	P68408338	12/08/23 LED Lights	14.70*			10 41810	585		10110
	P68789820	12/20/23 13W Tube Ottlite	17.43*			10 41810	585		10110
		Total for Vendor:	32.13						
				*** Claim from another period (11/23) ****					
3040		1481 CLEARWATER FINANCIAL LLC	12,000.00						
	3069	11/27/23 Initial Annual Retainer	12,000.00*			10 43000	593		10110
		Total for Vendor:	12,000.00						
3036		1428 FISHER'S TECHNOLOGY	105.78						
	1270626	01/04/24 Copier City Hall	52.89*			10 41810	324		10110
0385									
	1270626	01/04/24 Copier Rec Center	52.89*			10 44021	324		10110
		Total for Vendor:	105.78						
3031		777 HERITAGE LANDSCAPE SUPPLY GROUP	80.14						
	4530-001	01/05/24 NDS STD 6" Extension	183.15*			10 41540	434		10110
	8408-001	12/14/23 PVC Conduit	136.37*			10 41540	434		10110
	9474-001	12/14/23 Credit for Material Return	-239.38*			10 41540	434		10110
		Total for Vendor:	80.14						

CITY OF STAR
Claim Approval List
For the Accounting Period: 1/24
For Pay Date: 01/12/24

Section 5, Item B.

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3041		399 IDAHO PRESS TRIBUNE	176.40						
	41433	01/09/24 Legal/Pub Notice PH 2/6/24	91.86*			10 41510	530		10110
	41432	01/09/24 Legal/Pub Notice PH 2/6/24	84.54*			10 41510	530		10110
		Total for Vendor:	176.40						
3037		421 INTERMOUNTAIN GAS COMPANY	1,366.37						
	3000	1 01/04/24 City Hall	81.68			10 41810	414		10110
	3000	2 01/04/24 B&G Shop-1310 N Little Camas	514.08			10 41540	414		10110
	1000	1 01/04/24 Outreach Building	282.67			10 41810	414		10110
	7251	2 01/04/24 Star Police Station	487.94			10 42010	414		10110
		Total for Vendor:	1,366.37						
3047		1170 IWORQ	500.00						
	202584	01/10/24 Property Info Import	500.00*			10 41510	751		10110
		Total for Vendor:	500.00						
3048		480 JULEE ELLIOTT	40.00						
	2225	12/08/23 Light Up Star Yard Signs	40.00*			10 45130	586		10110
		Total for Vendor:	40.00						
3043		1468 MATTHEW KENDALL	600.00						
		2nd Instal 01/10/24 League Stipend Basketball	600.00*			10 44021	614		10110
		Total for Vendor:	600.00						
3034		642 NAPA AUTO PARTS	80.97						
	100372	01/11/24 Plugs and Valves	80.97*			10 41540	437		10110
		Total for Vendor:	80.97						
3028		656 OFFICE SAVERS ONLINE	244.10						
	10220	11/30/23 Pressboard Folders	60.11*			10 41510	611		10110
	10220	11/30/23 Expansion Folders	32.26*			10 41510	611		10110
	10220	11/30/23 Copy Paper	117.98*			10 41510	611		10110
	10220	11/30/23 Roller Pens	33.75*			10 41510	611		10110
		Total for Vendor:	244.10						

CITY OF STAR
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 For Pay Date: 01/12/24

Section 5, Item B.

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3033		686 PORTAPROS LLC	518.20						
	112049AS-1	01/05/24 River Walk Park	518.20*			10 41540	411		10110
		Total for Vendor:	518.20						
3030		1238 ROYALTY ELECTRIC LLC	595.00						
	24005-2	01/08/24 Bldg Inspector Computer	595.00*			10 41510	742		10110
		Total for Vendor:	595.00						
3046		772 SHERWIN WILLIAMS	43.00						
	1475-1	01/11/24 Spraysource Labor	43.00*			10 41540	434		10110
		Total for Vendor:	43.00						
3045		935 VERIZON WIRELESS	846.20						
		Charges for 19 Phone Lines and 1 Jetpack							
		9953165827 01/01/24 Montly Cell Phone Charge	846.20*			10 41810	416		10110
1		Total for Vendor:	846.20						
3029		949 WESTERN RECORDS DESTRUCTION	60.00						
		Services 12/01/23 to 12/31/23							
	0676970	01/01/24 02-64 Gallon City Hall	60.00*			10 41810	411		10110
		Total for Vendor:	60.00						
		# of Claims	19	Total:	17,938.44	# of Vendors	19		

CITY OF STAR
 Claim Approval List
 For the Accounting Period: 1/24
 For Pay Date: 01/29/24

Section 5, Item B.

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3059		1484 IDAHO'S COWBOY SUPPLY							
	6530	01/23/24 Hats 15 Qty	Total for Vendor:	4,400.00		10 800 45110	741		10110
	6558	01/25/24 Hat 1 Qty	# of Claims 1	4,125.00*		10 800 45110	741		10110
				275.00*					
				4,400.00					
			Total:	4,400.00	# of Vendors				1

CITY OF STAR
 Claim Approval List
 For the Accounting Period: 1/24
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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3088		382 IDAHO CENTRAL CREDIT UNION	9,025.63						
		Visa Charges from 12/22/23 to 1/21/24							
		12/22/23 Chadwick	1,655.32*			10 41810	611		10110
		12/22/23 Qualls	4,438.27*			10 41810	611		10110
		12/22/23 Little	473.19*			10 41810	611		10110
		12/22/23 Field	2,458.85*			10 41810	611		10110
		Total for Vendor:	9,025.63						
3089		398 IDAHO POWER COMPANY	3,607.36						
		0033022594 01/16/24 1000 S MAIN ST / PUMP	25.15*			10 41540	412		10110
		0033022589 01/16/24 10769 W STATE ST / CITY HA	593.17*			10 41810	412		10110
		0033022563 01/16/24 10775 W STATE ST / STAR OU	102.23*			10 41810	412		10110
		0033022576 01/16/24 11225 W BLAKE DR / BLAKE P	149.82*			10 41540	412		10110
		0033157130 01/16/24 11380 W HIDDEN BROOK	39.25*			10 41540	412		10110
		0033207654 01/16/24 11665 W STATE ST A	230.16*			10 41540	412		10110
		0033207655 01/16/24 11665 W STATE ST A1	169.98*			10 41540	412		10110
		0030885171 01/16/24 11665 W STATE ST C	118.95*			10 41540	412		10110
		0033022554 01/16/24 1250 N STAR RD / HUNTERS P	45.62*			10 41540	412		10110
		0033022592 01/16/24 1300 N STAR RD / HC ENTRY	52.70*			10 41540	412		10110
		0033022572 01/16/24 1310 N LITTLE CAMAS / SHOP	145.78*			10 41540	412		10110
		0033022587 01/16/24 1500 N STAR RD	629.98*			10 41540	412		10110
		0033246240 01/16/24 946 S MAIN ST	23.68*			10 41810	413		10110
		0033075641 01/16/24 HIGHBROOK / HWY 44 STRT LI	56.17*			10 41810	413		10110
		0030204591 01/16/24 HUNTER'S CREEK STRT LIGHTS	15.35*			10 41810	413		10110
		0033022596 01/16/24 BLAKE SPRINKLER ELECT	3.75*			10 41540	412		10110
		0033022580 01/16/24 STATE/PLUMMER STRT LIGHTS	12.85*			10 41810	413		10110
		0033022584 01/16/24 STRT LIGHTS STAR	396.50*			10 41810	413		10110
		0030204606 01/16/24 STRT LIGHTS / BLAKE PARK	17.92*			10 41810	413		10110
		0032863989 01/12/24 960 S MAIN ST	710.61*			10 41810	412		10110
		0032863988 01/12/24 960 S MAIN ST	67.74*			10 41810	412		10110
		Total for Vendor:	3,607.36						
3087		583 MASTERCARD	3,333.74						
		Mastercard charges from 12/11/23 to 1/10/23							
		12/11/23 Chadwick	37.50*			10 41810	611		10110
		12/11/23 Qualls	2,298.17*			10 41810	611		10110

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
	12/11/23	Little	998.07*			10 41810	611		10110
		Total for Vendor:	3,333.74						
3086		818 STAR STORAGE LLC	330.00						
	02/01/24	Unit C04 February 2024	175.00*			10 41810	699		10110
	02/01/24	Unit C08 February 2024	155.00*			10 41810	699		10110
		Total for Vendor:	330.00						
		# of Claims	4	Total:	16,296.73	# of Vendors	4		

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3060	01/17/24	1485 ANDREA HANSEN Refund - Basketball	75.00 75.00*			10 44021	698		10110
		Total for Vendor:	75.00						
3061	924437893 924437893	145 BSN SPORTS 01/05/24 Team wristbands 01/05/24 Freight	41.97 35.97* 6.00*			10 241 44021 10 241 44021	612 612		10110 10110
		Total for Vendor:	41.97						
3062	31919819 31919819	1475 CANON FINANCIAL SERVICES, INC 01/12/24 Copier Lease City Hall 01/12/24 Copier Lease Rec Center	256.24 128.12* 128.12*			10 41810 10 44022	742 742		10110 10110
		Total for Vendor:	256.24						
3064	01/29/24	1288 DANIEL W LANE January Robotics/Bricks	441.00 441.00*			10 44022	352		10110
		Total for Vendor:	441.00						
3063	01/29/24	1318 DENIELLE REDONDO January Barre Strength	420.00 420.00*			10 44022	352		10110
		Total for Vendor:	420.00						
3065	318518	325 GAMEFACE ATHLETICS 01/24/24 MYC Sweatshirts	858.00 858.00*			10 45130	590		10110
		Total for Vendor:	858.00						
3066	3084831-01 3084831	331 GEM STATE PAPER & SUPPLY COMPANY 01/24/24 Bath Tissue 01/17/24 Cleaning Supplies	739.26 117.84* 621.42*			10 41540 10 41540	611 611		10110 10110
		Total for Vendor:	739.26						
3067	87403	1383 JOHN DEERE FINANCIAL 12/27/23 Air/Oil Filters, Oil	395.88 395.88*			10 41540	437		10110
		Total for Vendor:	395.88						

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3068		502 KEELY ELECTRIC	1,785.25						
	263	01/19/24 Heat Tape and Plug Ends CH	1,785.25*			10 45110	741		10110
		Total for Vendor:	1,785.25						
3070		1354 LARA YOUNGMAN	308.00						
	01/29/24	January Mat Pilates	308.00*			10 44022	352		10110
		Total for Vendor:	308.00						
3069		524 LARRY BEARG	616.00						
	01/29/24	January Tai Chi/Eve Tai Chi	616.00*			10 44022	352		10110
		Total for Vendor:	616.00						
3077		1405 MANNING CIVIL, LLC	218.75						
	1112	01/26/24 City Boat Ramp - No Rise Cert	218.75*			10 710 43000	336		10110
		Total for Vendor:	218.75						
3073		642 NAPA AUTO PARTS	41.77						
	258830	01/24/24 Battery Cleaner/Kit	41.77*			10 41540	437		10110
		Total for Vendor:	41.77						
3072		649 NIKI DEAN	1,158.50						
	01/29/24	January Yoga Instruction	1,158.50*			10 44022	352		10110
		Total for Vendor:	1,158.50						
3074		684 PIONEER DITCH COMPANY	321.84						
		1 Share 01/30/24 Assessment City Hall	27.00*			10 41810	417		10110
		2.38 Share 01/30/24 Assessment S Main St River	64.26*			10 41810	417		10110
		2.38 Share 01/30/24 Assessment 1000 S Main Rv	64.26*			10 41810	417		10110
		.16 Share 01/30/24 Assessment 88 Knox St	4.32*			10 41810	417		10110
		5 Shares 01/30/24 Assessment 960 S Main	135.00*			10 41810	417		10110
		1 Share 01/30/24 Assessment 946 S Main	27.00*			10 41810	417		10110
		Total for Vendor:	321.84						

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3075		686 PORTAPROS LLC	420.00						
	128708D-1	01/25/24 River House	160.00*			10 41540	411		10110
	121435U-1	01/18/24 Dog Park	260.00*			10 41540	411		10110
		Total for Vendor:	420.00						
3076		1299 ROCKERZ AND ROLLERZ LLC	1,208.00						
	Work was done in January 2024, not date on invoice								
	417	10/10/23 Clerk Office Door/Window Logos	1,208.00*			10 41810	431		10110
		Total for Vendor:	1,208.00						
3078		727 RON WESTON	144.30						
	12/16/23	Reimburse Party Rec Assts	72.49*			10 44021	699		10110
	01/07/24	Reimburse Lock and Casters	71.81*			10 44021	612		10110
		Total for Vendor:	144.30						
3079		1238 ROYALTY ELECTRIC LLC	1,079.00						
	24005-3	01/23/24 Replacement Computer CH	840.00*			10 41810	742		10110
	24005-4	01/23/24 Additional Rack Server Room	239.00*			10 41810	610		10110
		Total for Vendor:	1,079.00						
3081		772 SHERWIN WILLIAMS	51.59						
	0375-4	01/23/24 Paint	51.59*			10 41540	434		10110
		Total for Vendor:	51.59						
3080		780 SIMPLOT TURF & HORTICULTURE	1,212.75						
	216069511	01/17/24 Sno Plow Ice Melt	1,212.75*			10 41540	435		10110
		Total for Vendor:	1,212.75						
3082		1370 TAYLOR HAMMICH	1,610.42						
	01/29/24	January Tumbling Instructor	1,610.42*			10 44022	352		10110
		Total for Vendor:	1,610.42						
3083		898 TREASURE VALLEY COFFEE	55.96						
	10105704	01/16/24 City Hall Coffee/Water	55.96*			10 41810	610		10110
		Total for Vendor:	55.96						

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3084		1295 VALLEY OFFICE SYSTEMS	194.38						
	AR1254704	01/18/24 Monthly Lease - Copier	163.93*			10 41810	610		10110
	AR1254704	01/18/24 Contract Overage Charge	30.45*			10 41810	610		10110
		Total for Vendor:	194.38						
3085		1030 WHITE PETERSON	8,822.05						
	161109	12/31/24 Keith Hill-First Church of God	8,822.05*			10 41310	323		10110
		Total for Vendor:	8,822.05						
		# of Claims	25	Total:	22,475.91	# of Vendors	25		

LEGAL NOTICE

PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on January 16, 2024 at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Keely Rezone - Live/Work
Files #'s RZ-23-04 Rezone
DA-23-06 Development Agreement
CU-23-07 Conditional Use Permit

Representative: Clint Keely
Owner: Clint & Jill Keely

Action: The Applicant is requesting approval of a Rezone from Residential (R-1) to Central Business District (CBD-DA), Development Agreement, and a Conditional Use Permit for two 4700 sq. ft. Live/Work units. The property is located at 856 Star Road in Star, Idaho, and consists of .909 acres.

Property Location: The subject property is located at 856 Star Road. Ada County Parcel No. R1842701822.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org

December 20, 2023

460863



CITY OF STAR
LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department *Shawn J. Muth*

MEETING DATE: **January 16, 2024 – PUBLIC HEARING**

FILE(S) #: RZ-23-04 – Rezone
DA-23-06 – Development Agreement
CU-23-07 – Conditional Use Permit – Keely

OWNER/APPLICANT/REPRESENTATIVE

Applicant/Owner
Clint and Jill Keely
518 S. Star Roady
Star, Idaho 83669

REQUEST

Request: The Applicant is requesting approval of a Rezone (R-1 to CBD), a Development Agreement and Conditional Use Permit for two, 4700 square foot Live/Work units. The property is located at 856 S. Star Road, Star, Idaho and consists of .909 acres.

PROPERTY INFORMATION

Property Location: The subject property is generally located on the east side of S. Star Road at address 856 S. Star Road in Star, Idaho. Ada County Parcel Number R1842701822.

Existing Site Characteristics: The property currently has a single-family residential dwelling with pasture.

Irrigation/Drainage District(s): - Pioneer Ditch Company LTD
P.O. Box 70
Star, Idaho 83669

Flood Zone: This property is currently located in a Special Flood Hazard Area.
FEMA FIRM Panel Number: 16001C0140J
Effective Date: 06/19/2020
Flood Zone: AE

Special On-Site Features:

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No known areas.
- ✪ Fish Habitat – No known areas.
- ✪ Mature Trees – Yes, will not be impacted by proposed project.
- ✪ Riparian Vegetation – None.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – No.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Wildlife Habitat – No wildlife habitat has been developed or will be destroyed.
- ✪ Historical Assets – No historical assets have been observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	October 19, 2023
Neighborhood Meeting Held	November 13, 2023
Application Submitted & Fees Paid	November 16, 2023/November 21, 2023
Application Accepted	December 7, 2023
Residents within 300' Notified	December 18, 2023
Agencies Notified	December 7, 2023
Legal Notice Published	December 20, 2023
Property Posted	January 4, 2024

HISTORY

The city does not have any previous land use history for this parcel.

SURROUNDING ZONING/COMPREHENSIVE PLAN MAP/LAND USE DESIGNATIONS

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Residential (R-1)	Central Business District (CBD)	Single-family residential w/pasture
Proposed	Central Business District (CBD)	Central Business District (CBD)	Live/Work units
North of site	Residential (R-1)	Central Business District (CBD)	Single-family residential w/pasture
South of site	Residential (R-1)	Central Business District (CBD)	Single-family residential w/pasture
East of site	Residential (R-1)	Central Business District (CBD)	Single-family residential w/pasture
West of site	Commercial (C-1)	Central Business District (CBD)	Professional Offices

ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-1B-1: ANNEXATION AND ZONING; REZONE:

B. Standards:

1. The subject property shall meet the minimum dimensional standards of the proper district.
2. The city may require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement and concept plan shall be required for any rezone to a mixed-use zone, high density zone or land which includes steep slope (land over 25%) or floodway.
3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.

4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

1. The map amendment complies with the applicable provisions of the comprehensive plan;
2. The map amendment complies with the regulations outlined for the proposed district;
3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
5. The annexation (as applicable) is in the best interest of city.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

CENTRAL BUSINESS DISTRICT: To provide for commercial, retail, civic, office, and entertainment uses. High density housing is encouraged on the upper floors of mixed-use buildings and may also be allowed at the fringes of the land use designation shown on the comprehensive plan. Live/work designed development is also encouraged in this district. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility. Special emphasis shall be placed on development in the central downtown area to encourage and create a vibrant, walkable downtown community that incorporates the Boise River as an active amenity.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	CBD
Live/Work Multi-Use	C

Notes:

1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
CBD	35'	0'	0'	0' ⁴	0'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-1B-4: CONDITIONAL USES:

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.
2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.
3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.
3. Control the duration of the use.
4. Assure that the use and the property in which the use is located is maintained properly.
5. Designate the exact location and nature of the use and the property development.
6. Require the provision for on site or off-site public facilities or services.
7. Require more restrictive standards than those generally required in this title.
8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

8-1B-4E. FINDINGS: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

8-5-17: LIVE/WORK UNIT:

General Standards:

1. Live/Work units are allowed in the Mixed Use (MU) and Central Business District (CBD) zoning districts.
2. The commercial component of live/work is intended for use by the following occupations: accountants, architects, artists and artisans, attorneys, computer software and multimedia related professions, consultants, engineers, fashion, florist and greens, designers, hair stylists and barbers, insurance, real estate, one-on-one instructors, or similar uses. The Council may authorize other similar uses using reasonable discretion, as long as such other uses are allowed within the base zone and not otherwise precluded by law.
3. Live/work units must be attached. Residential areas are permitted above the commercial component, to the side or in the rear of the business component.
4. The commercial component shall be primarily operated within the unit, but may be also conducted in the yard, provided it meets all further requirements of this title.
5. The external access for the commercial component shall be oriented to the street and should have at least one external entrance/exit separate from the living space. The entrance to the business component shall be located on the ground level. Access to the commercial component of each live/work unit shall be clearly separate from the common walkways or entrances to the

other residential units within the development, or other residential units in adjacent developments;

6. The commercial use shall not generate external noise, odor, glare, vibration or electrical interference detectable to the normal sensory perception by adjacent neighbors;

7. No explosive, toxic, combustible or flammable materials in excess of what would be allowed incidental to normal residential use shall be stored or used on the premises.

8. The commercial component as designated on the floor plan approved through the conditional use permit shall remain commercial and cannot be converted to residential use. The residential component may be converted to a commercial use in the CBD zoning district upon approval of a new application.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Central Business District

The Central Business District is planned to be a vibrant downtown center for the community. Uses encouraged are commercial, retail, civic, private offices, and entertainment. High density housing is encouraged on the upper floors of mixed-use buildings and at the fringes of the land use designation. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Work to create a vibrant Central Business District.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

8.5.5 Policies Related Mostly to the Central Business District Planning Areas:

- A. The CBD zoning district should allow for a mix of commercial, office, institutional, and civic type uses with specific provisions for residential use in appropriate locations with compatible densities.
- B. High density residential is suitable within the CBD in mixed use buildings with commercial or office type uses on the first floor and high density residential on upper floors.
- C. Main Street, generally south of Tempe Lane extended, consists of several lots which are about one acre in size created by "Dixon Subdivision" almost a century ago. Many of the existing home sites on these lots are rural in nature, including farm animals. As redevelopment of this area occurs, a transition consisting of a compatible mix of lower intensity commercial and office type uses mixed with residential should be encouraged. This Main Street area needs to be studied to provide for special care guiding future development understanding that the rights consisting of the existing rural use of residential lots are not to be infringed. Furthermore, Main Street is to be studied for the provision of traffic calming measures and to provide for a connection for horseback riders to access an equestrian trail which should be planned along the Boise River.
- D. The city should develop a street improvement plan for the CBD identifying drainage and street improvements with a functional grid system and use public private partnerships to assure the system is built and that "ad hoc" development of parcels within the CBD do not block good planning.
- E. The city should develop a downtown grid system, in part, planning for the easterly extension of Tempe Lane and easterly extension of West First Street to help provide better downtown access and parking facilities.
- F. The east west public road from the Heron River Development, south of the LDS Church on Main Street, should be extended to Star Road.
- G. Implement, review, and update the 2011 Star Downtown Revitalization Plan for development strategies within the plan intended to stimulate development within the CBD.
- H. As recommended in the 2011 Star Downtown Revitalization Plan, the city should create an Urban Renewal District to stimulate development within the CBD.
- I. The city should encourage assemblage of the smaller properties where appropriate.

J. The “floodway” lands abutting the CBD land use designation, all as shown in the Comprehensive Plan Land Use Map, should continue to be developed as park space supporting activities integral to the economic and “Live, Work, Play” ambiance planned for the CBD.

K. Main city service facilities should be located in the CBD and should all be south of State Highway 44 clustered into a “City Services Campus”. That includes the City Hall, Library, Post Office, Emergency Services, Department of Motor Vehicles, and other related facilities.

L. Big Box commercial, generally a single-story single use building over 50,000 square feet, should not be permitted within the CBD and any single-story single use building which is large in scale, such as approaching the 50,000 square foot size, should be located to front on Highway 44 or Star Road.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Require more open space and trees in subdivisions.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

18.4 Implementation Policies:

E. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

PROJECT OVERVIEW

REZONE:

The rezone request from Residential (R-4) to Central Business District (CBD) on the applicant’s property will allow for the development of the property in a manner that will be consistent with the current Comprehensive Plan Map. Sewer and Water will be provided by the Star Sewer and

Water District and is in close proximity to the property. Annexation into the Sewer and Water District will be required.

CONDITIONAL USE PERMIT:

The applicant is requesting approval of a Conditional Use Permit to construct two, 4,700 square foot live/work buildings. Each proposed building will consist of two residential units upstairs with two commercial units downstairs. Each residential unit is proposed to have two bedrooms and two baths with kitchen and great room. The commercial units are proposed to be open area with an ADA compliant bathroom in each unit. Each residential unit will be accessed by external stairs.

Access will be taken from S. Star Road, directly to the property along the northern edge of the parcel. To utilize this access, the Applicant will need to close their existing access to S. Star Road for the current residence and all access will utilize this new, northern ingress/egress.

The Applicant is proposing approximately 2,300 square feet of commercial space on the main level with two living residences on the second level. Section 8-4B-3 of the Unified Development Code requires one parking space for every 250 square feet of commercial space. Each proposed building will require 9 parking spaces for commercial use. Each residential unit will require two spaces, one of which must be covered. The Applicant is proposing 22 total parking spaces for both buildings, with four covered, satisfying the required number of parking spaces as required by the UDC. The proposed site plan only calls out one ADA parking spot. **Each building shall have one space designated as ADA.**

Section 8-4B-2 of the UDC requires all parking stalls to be a minimum of nine feet (9') wide and twenty feet (20') deep. The proposed site plan calls out the appropriate dimensions to satisfy this requirement.

The Unified Development Code, Section 8-4B-2 states that all drive aisles adjacent to a building shall be a minimum of twenty-five wide (25') or as required by the fire code, unless the building is thirty feet (30') in height or greater, at which point the drive aisle shall be twenty-six feet (26') wide or as otherwise approved by the Fire District. The Applicant is proposing a twenty-six foot (26') wide drive aisle along the northern edge of the property and a twenty-five foot (25') wide drive aisle between the two proposed buildings which satisfies the requirement for minimum drive aisle width.

The applicant has provided exterior elevations and color renderings that will need to be reviewed by the Design Review Committee, as part of the Certificate of Zoning Compliance process, for approval.

Section 8-3A-4 of the UDC requires "All setbacks in the CBD . . . zone shall maintain a minimum 15' when adjacent to a residential use or zone." The applicant is requesting a ten foot (10') setback on the southern edge of the property in order to provide the required number of parking spaces and drive aisle width. In addition, the applicant is proposing a detached covered parking area along the eastern boundary of the property that will be within the required setback. Staff is supportive of these requests given the propensity for future development of the southern and eastern parcels and that no vehicle traffic will be along the southern property boundary and the eastern boundary is against adjacent pasture area. All other CBD setback requirements will be met.

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. **The Applicant has not provided a proper landscape plan that meets Code requirements. This will be required prior to final approval and will be part of the Design Review/CZC process. The landscape plan should give attention to residential neighbors.**

The Applicant is proposing to pave the driveway and all drive aisles.

The Applicant has not provided a lighting plan for the site or building. This will be required prior to issuing a building permit and will be part of the Design Review/CZC process. All lighting shall be downward facing and Dark Sky like compliant to avoid any fugitive light to the neighboring properties.

EXISTING DWELLING AND CBD REZONE:

The applicant is proposing to rezone the entire property as CBD and keep the existing residential use on the house adjacent to Star Road. The intent is to split the residential use from the live/work uses and continue to use the residential dwelling until a future date, when the home will be either converted or redeveloped as commercial. The applicant has submitted an administrative lot split application that will be processed once the rezone is completed.

DEVELOPMENT AGREEMENT:

Through the Development Agreement process, the applicant is proposing to work with the City and neighboring property owners to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- Approved Commercial Use

- Future Development
- ITD Proportionate Share

AGENCY RESPONSES

ACHD	December 22, 2023
City Engineer	February 1, 2024
Fire District	December 22, 2023

PUBLIC RESPONSES

No public comments have been received for this application.

STAFF ANALYSIS & RECOMMENDATIONS

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed rezone, development agreement and conditional use permit meets the requirements, standards and intent for development as they relate to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

ANNEXATION/REZONE FINDINGS:

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.

The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:

 - ✓ *Protection of property rights.*

- ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
- ✓ *Ensure the local economy is protected.*
- ✓ *Encourage urban and urban-type development and overcrowding of land.*
- ✓ *Ensure development is commensurate with the physical characteristics of the land.*

The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides an assortment of amenities within walking distance of a residential development. The Council must find compliance with the Comprehensive Plan.

2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

The Council must find that the proposal complies with the proposed district and purpose statement. The purpose of the residential districts is to provide regulations and districts for various residential neighborhoods with gross densities in compliance with the intent of the Comprehensive Plan designation. Housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications in all districts exceeding one dwelling unit per acre. Private streets may be approved in this district for access to newly subdivided or split property.

3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

The Council must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.

4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

The Council must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.

5. The annexation is in the best interest of the city.

The Council must find that this annexation is reasonably necessary for the orderly development of the City.

CONDITIONAL USE PERMIT FINDINGS:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

The Council must find that the site of the proposed use would be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

The Council must find that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development should meet the intent or purpose of the Mixed-Use District.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

The Council must find that the operation of the proposed use would be compatible with the other uses in the general area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

The Council must find that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

The Council must find that the proposed use be adequately served by essential public facilities and services.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

The Council must find that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The Council must find that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

The Council must find that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.

CONDITIONS OF APPROVAL

1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. The applicant shall enter into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. These fees (for the residential uses only) will be collected by the City of Star, by phase, prior to issuance of a building permit. The development agreement shall be signed and recorded as part of the ordinance for annexation and zoning and shall contain the details of the fees to be collected.
3. Streetlights/Parking Lot lights shall comply with the Star City Code. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a lighting plan and design that meets city standards prior to Building Permit being issued.**
4. **A Certificate of Zoning Compliance will be required prior to issuing a building permit, to include final review and approval of the project by the Design Review Committee.**
5. **The Applicant shall meet all the requirements for the Ada County Highway District (ACHD) prior to certificate of occupancy.**
6. **The Applicant shall receive approval from the Flood Plain Administrator and complete the necessary paperwork for building in a special flood hazard area prior to issuing the building permit.**
7. **The Applicant shall provide a letter from the Star Postmaster approving the location of the mailboxes for the new buildings, prior to signing the final plat.**
8. **The Applicant shall complete and record the record of survey to split the existing residential use from the live/work uses prior issuance of any building permits.**
9. The property shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
10. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
11. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
12. The applicant shall meet all requirements of the Star Sewer and Water District.

13. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
14. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy of the unit.
15. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
16. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
17. Any additional Condition of Approval as required by Staff and City Council.
18. Any Conditions of Approval as required by Star Fire Protection District.

COUNCIL DECISION

The Star City Council _____ File Number RZ-23-04, DA-23-06, CU-23-07, for Clint and Jill Keely on _____, 2024.

Project Narrative:

10-10-2023

Subject property;

856 S. Star road

Star ID 83669

Current zoning is R-1 however is within the CBD zoning. Current use is a single family dwelling on the front third of the property, the plan would be to use the north side of the property as the new entrance and build (2) 4700 sqft Live/Work buildings on the south property line. The current plan would be to build (1) and the second would be built in the future.

Clint Keely



ANNEXATION & ZONING - REZONE APPLICATION

***All information must be filled out to be processed.

FILE NO.: <u>R2-23-04</u>	Fee Paid: <u>2190.⁰⁰</u>
Date Application Received: <u>11-16-23</u>	
Processed by: City: <u>BN</u>	

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: Clint Keely
 Applicant Address: 518 S. Star road Zip: 83669
 Phone: 2088611867 Email: clint@keelyelectric.com

Owner Name: Clint and Jill Keely
 Owner Address: 518 S Star road Zip: 83669
 Phone: 2088611867 Email: clint@keelyelectric.com

Representative (e.g., architect, engineer, developer):
 Contact: _____ Firm Name: _____
 Address: _____ Zip: _____
 Phone: _____ Email: _____

Property Information:

Site Address: 856 S. Star road Parcel Number: R1842701822
 Total Acreage of Site: .909
 Total Acreage of Site in Special Flood Hazard Area: .909
 Proposed Zoning Designation of Site: CBD

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	R-1	CBD	
Proposed	CBD	CBD	
North of site	R-1	CBD	
South of site	R-1	CBD	
East of site	R-1	CBD	
West of site	C-1	CBD	









Special On-Site Features (Yes or No – If yes explain):

- Areas of Critical Environmental Concern - No
- Evidence of Erosion - No
- Fish Habitat - No
- Floodplain - Yes - Flood plain per FEMA map "AE" and "X"
- Mature Trees - No
- Riparian Vegetation - No
- Steep Slopes - No
- Stream/Creek - No
- Unique Animal Life - No
- Unique Plant Life - No
- Unstable Soils - No
- Wildlife Habitat - No
- Historical Assets - No

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Prelim Plat, CUP, etc.) please include one paper copy for all applications**)

Applicant (✓)	Description	Staff (✓)
[Signature]	Pre-application meeting with the Planning Department required prior to neighborhood meeting. Date of Pre-App Meeting: 10/19/2023	✓
[Signature]	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	✓
[Signature]	Completed and signed Annexation & Zoning/Rezone Application	✓
[Signature]	All Annexations & Rezones require a Development Agreement *Applicant agrees to enter into a Development Agreement with this application. Applicant's Signature: [Signature]	✓
[Signature]	An application for annexation or rezone shall not be accepted until any required traffic impact study is submitted and accepted by the appropriate transportation authority. A hearing date before the Council shall not be scheduled until the traffic impact study has been approved and the transportation authority (ACHD, ITD, CDH4) has issued a staff report on the development application.	
[Signature]	Fee: (Include Development Agreement Fee). Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	✓
[Signature]	Narrative fully describing the proposed project (must be signed by applicant)	✓
[Signature]	Legal description of the property to be annexed and/or rezoned: <ul style="list-style-type: none"> • Include a metes & bounds description to the section line/centerline of all adjacent roadways, stamped and signed by a registered professional land surveyor, with a calculated closure sheet. 	✓

	<ul style="list-style-type: none"> Scaled exhibit map showing the boundaries of the legal description in compliance w/the requirements of the Idaho State Tax Commission Property Tax Administrative Rules IDAPA 35.01.03.225.01h. If requesting more than one zoning designation, include a legal description for each zone along with an overall annexation/rezone boundary description. Also include the boundaries of each different zone on the map. Submit word.doc and pdf version with engineer's seal. 	<p>✓</p>
	<p>Recorded warranty deed for the subject property</p>	<p>✓</p>
	<p>If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.</p>	<p>NA</p>
	<p>Vicinity map showing the location of the subject property with minimum 1-mile radius</p>	<p>✓</p>
	<p>Copy of associated CUP/PUD Site Plan/Preliminary Plat. If this application is not accompanied by a plat or site plan, a conceptual development plan for the property is required.</p>	<p>✓</p>
	<p>Electronic copy in pdf. format of submitted plat, site or conceptual plan.</p>	<p>✓</p>
	<p>List of name(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.</p>	
	<p>Copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the entire property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels (additional fee required).</p>	<p>✓</p>
	<p>Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat/site plan or concept plan, irrigation district information, <u>shall be submitted in original pdf format (no scans for preliminary plat/site, concept plans) on a thumb drive only (no discs)</u> with the files named with project name and plan type.</p>	<p>✓</p>
	<p>Signed Certification of Posting with pictures (see attached posting requirements and certification form) – To be completed by applicant a minimum of 10-days prior to public hearing. Staff will notify applicant in writing of hearing and posting date.</p>	
	<p>Property shall be annexed into Star Sewer and Water District prior to Final Plat approval, building permits, if applicable. Please contact SSWD for details at 208-286-7388.</p>	

APPLICANT ACKNOWLEDGEMENT:**

**** I have read, understand and accept the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be additional fees associated with this application incurred by the City in obtaining reviews or referrals by architect, outside engineering, or other professionals necessary to enable the City to process this application. I understand that I, as the applicant, I am responsible for all payments to the City of Star.**


 Applicant/Representative Signature

11-14-23
 Date



CONDITIONAL USE PERMIT APPLICATION

***All applicable information must be filled out to be processed.

FILE NO.: CU-23-07
Date Application Received: 11-16-23 Fee Paid: 1460.⁰⁰
Processed by: City: BN

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: Clint Keely
Applicant Address: 518 S. Star road Zip: 83669
Phone: 2088611867 Email: clint@keelyelectric.com

Owner Name: Clint and Jill Keely
Owner Address: 518 S Star road Zip: 83669
Phone: 2088611867 Email: clint@keelyelectric.com

Representative (e.g., architect, engineer, developer):
Contact: _____ Firm Name: _____
Address: _____ Zip: _____
Phone: _____ Email: _____

Property Information:

Site Address: 856 S. Star road Parcel Number: R1842701822
Requested Condition(s) for Conditional Use: Mixed use

	Zoning Designation	Comp Plan Designation
Existing	R-1	CBD
Proposed	CBD	CBD
North of site	R-1	CBD
South of site	R-1	CBD
East of site	R-1	CBD
West of site	C-1	CBD

Site Data:

Total Acreage of Site: .909

Proposed Percentage of Site Devoted to Bldg Coverage: 32%

Proposed Percentage of Site Devoted to Landscaping: 5

Number of Parking spaces: Proposed 6 Required _____

Requested Front Setback: 10' Requested Rear Setback: 10'

Requested Side Setback: 10' Requested Side Setback: 10'

Requested Side Setback: _____

Existing Site Characteristics: Open field with existing house on front of property

Number and Uses of Proposed Buildings: 2, Mixed use Live/work

Location of Buildings: South property line

Gross Floor Area of Proposed Buildings: 9400

Describe Proposed On and Off-Site Traffic Circulation: Tenants for living and retail/office below to enter and exit through north property drive

Proposed Signs – number, type, location: Signs above man door of each unit
(include draft drawing) _____

Public Services (state what services are available and what agency is providing the service):

- Potable Water - Star water and sewer
- Irrigation Water - Pioneer Ditch CO
- Sanitary Sewer - Star water and sewer
- Schools - Star elem, Star middle, Owyhee high
- Fire Protection - Star Fire Dept
- Roads - ACHD

Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision/Project Name: Keely offices Phase: 1

Special Flood Hazard Area: total acreage .909 number of homes/structures 2

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: 16001C0140J
 FIRM effective date(s): mm/dd/year 6/19/2020
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: AE
 Base Flood Elevation(s): AE 24700 ft., etc.: _____
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.


Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)


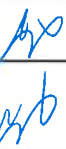



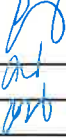
Applicant	Description	Staff (✓)
	Pre-application meeting with Planning Department required prior to neighborhood meeting.	✓
	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	✓
	Completed and signed Conditional Use Application	✓
	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	✓
	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	✓
	Legal description of the property (word.doc and electronic version with engineer's seal):	✓
	Copy of recorded warranty deed.	✓
	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	✓
	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
	Vicinity map showing the location of the subject property	✓
	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	
	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	
	Building elevations showing construction materials	✓
	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, <u>shall be submitted in original pdf format (no scans) on a thumb drive only (no discs)</u> with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	✓
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

Site Plan (If applicable):

	The following items must be included on the site plan:	
	• Date, scale, north arrow, and project name	
	• Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan	
	• Existing boundaries, property lines, and dimensions of the lot	
	• Relationship to adjacent properties, streets, and private lanes	
	• Easements and right-of-way lines on or adjacent to the lot	
	• Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties	
	• Building locations(s) (including dimensions to property lines)	
	• Parking and loading areas (dimensioned)	
	• Traffic access drives and traffic circulation (dimensioned)	

	• Open/common spaces	
	• Refuse and service areas	
	• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing & proposed)	
	• All on-site lighting proposed – Must Meet City “Dark Sky” Ordinances	

Landscape Plan (If applicable):


	The following items must be included on the landscape plan:	
	• Date, scale, north arrow, and project name	
	• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan	
	• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings	
	• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.	
	• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements	
	• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours	
	• Sight Triangles as defined in 8-4 A-7 of this Ordinance	
	• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size	
	• Proposed screening structures	
	• Design drawings(s) of all fencing proposed	
	• Calculations of project components to demonstrate compliance with requirements of this ordinance, including:	
	<ul style="list-style-type: none"> ➢ Number of street trees and lineal feet of street frontage ➢ Width of street buffers (exclusive of right-of-way) ➢ Width of parking lot perimeter landscape strip ➢ Buffer width between different land uses ➢ Number of parking stalls and percent of parking area with internal landscaping ➢ Total number of trees and tree species mix ➢ Mitigation for removal of existing trees, including number of caliper inches being removed 	

SIGNS (If applicable):

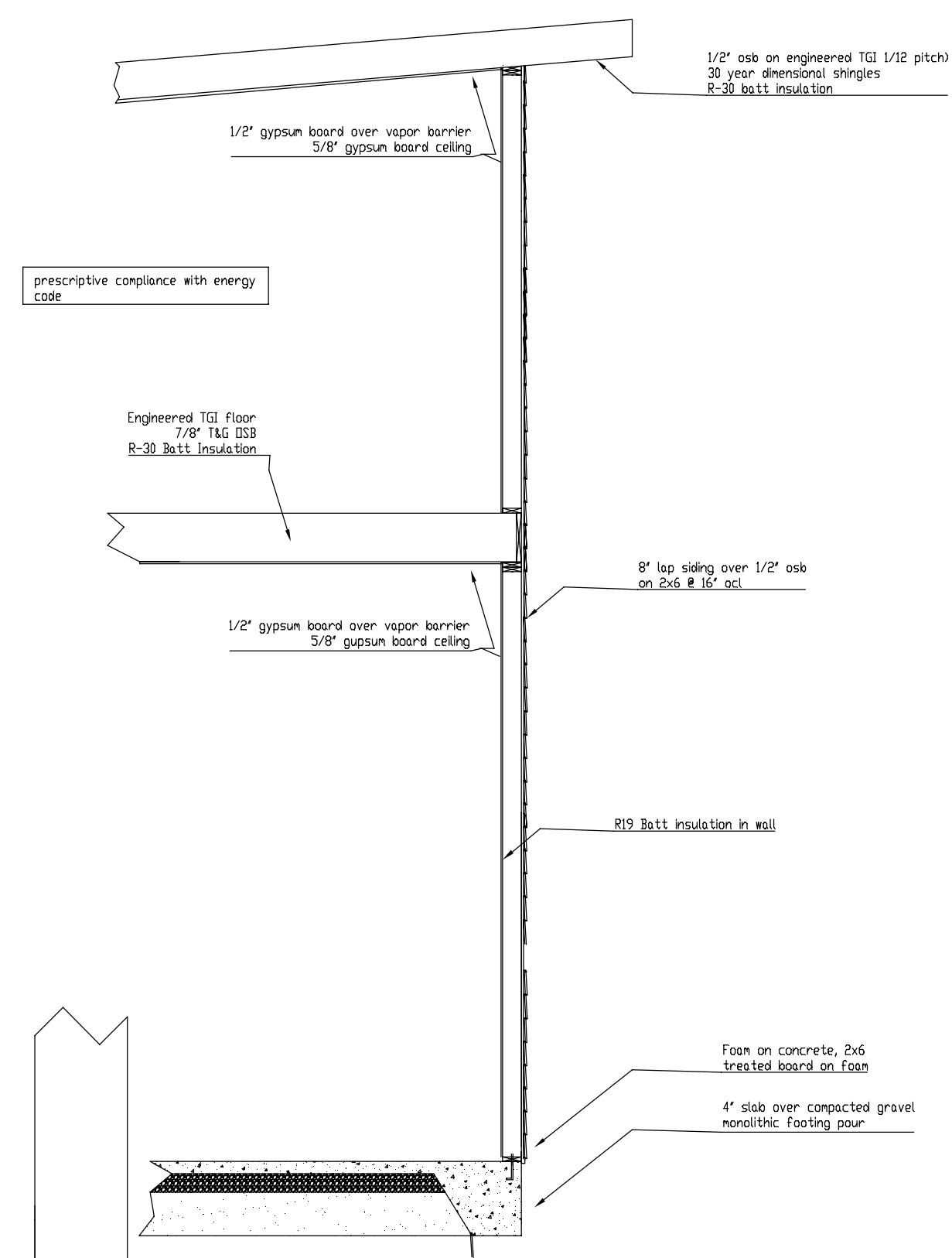
All signs will require separate submittal of a sign application.

FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**



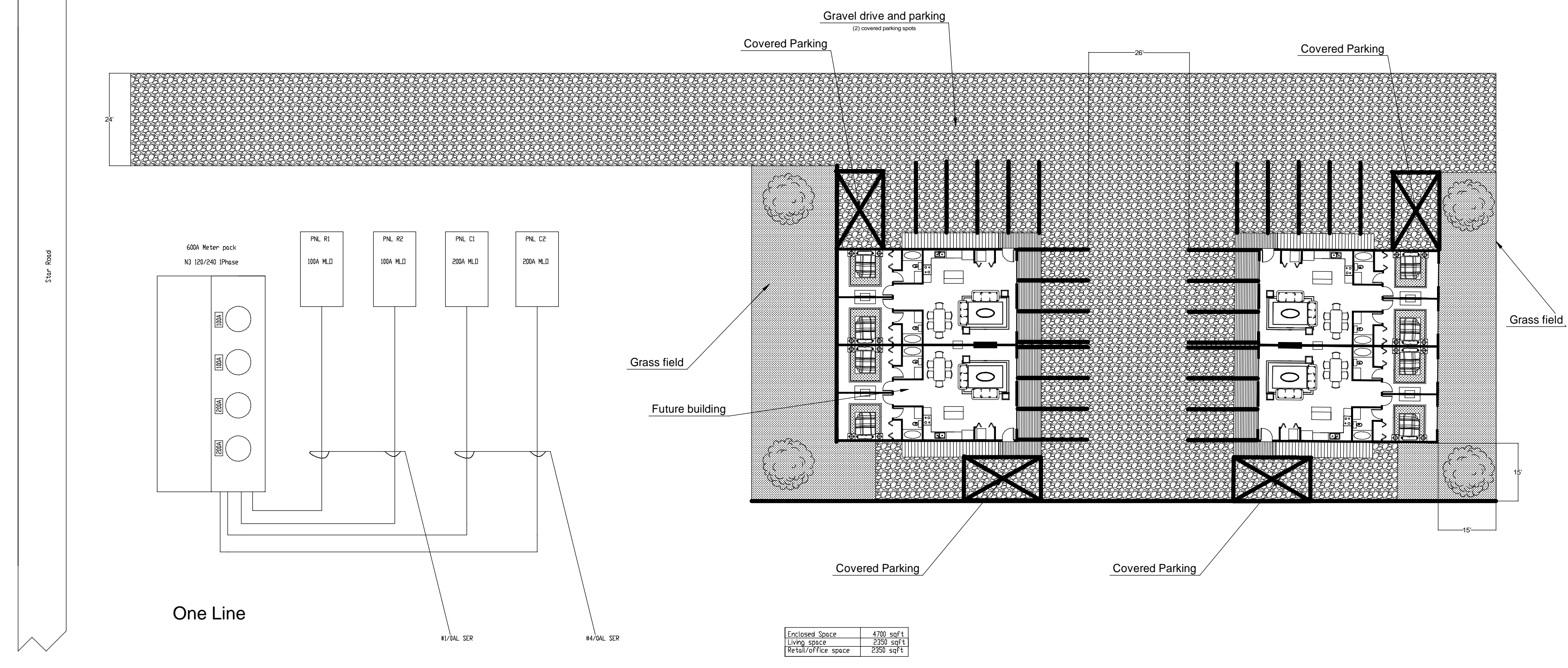
11-14-23



Window Schedule	
W1	6-0 x 5-0 double hung
W2	6-0 x 2-0 fixed payne
W3	6-0 x 5-0 double hung
W4	6-0 x 2-0 fixed payne
W5	6-0 x 5-0 double hung
W6	6-0 x 2-0 fixed payne
W7	6-0 x 5-0 double hung
W8	6-0 x 2-0 fixed payne
W9	6-0 x 5-0 double hung
W10	6-0 x 5-0 double hung
W11	6-0 x 5-0 double hung
W12	6-0 x 5-0 double hung

Door Schedule	
D1	3-0 Fiberglass
D2	3-0 Fiberglass
D3	4'-8" Bifold
D4	2-6 hollow core
D5	2-6 hollow core
D6	2-6 hollow core
D7	2-6 hollow core
D8	4'-8" Bifold
D9	4'-8" Bifold
D10	2-6 hollow core
D11	2-6 hollow core
D12	2-6 hollow core
D13	2-6 hollow core
D14	4'-8" Bifold
D15	3-0 Fiberglass
D16	16'W x 14'T OH
D17	16'W x 14'T OH
D18	3-0 Fiberglass
D19	3-0 hollow core
D20	3-0 hollow core
D21	4'-6" bifold
D22	4'-6" bifold

ORIGINAL SUBMITTED SITE PLAN



STAMP

Clint Anthony Keely
and Jill Christine Keely Residence

518 South Star Road
Star, Idaho 83669

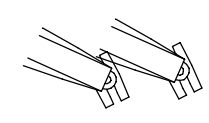
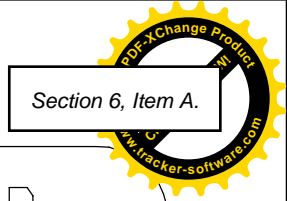
Scale = 1" to 20'

DATE

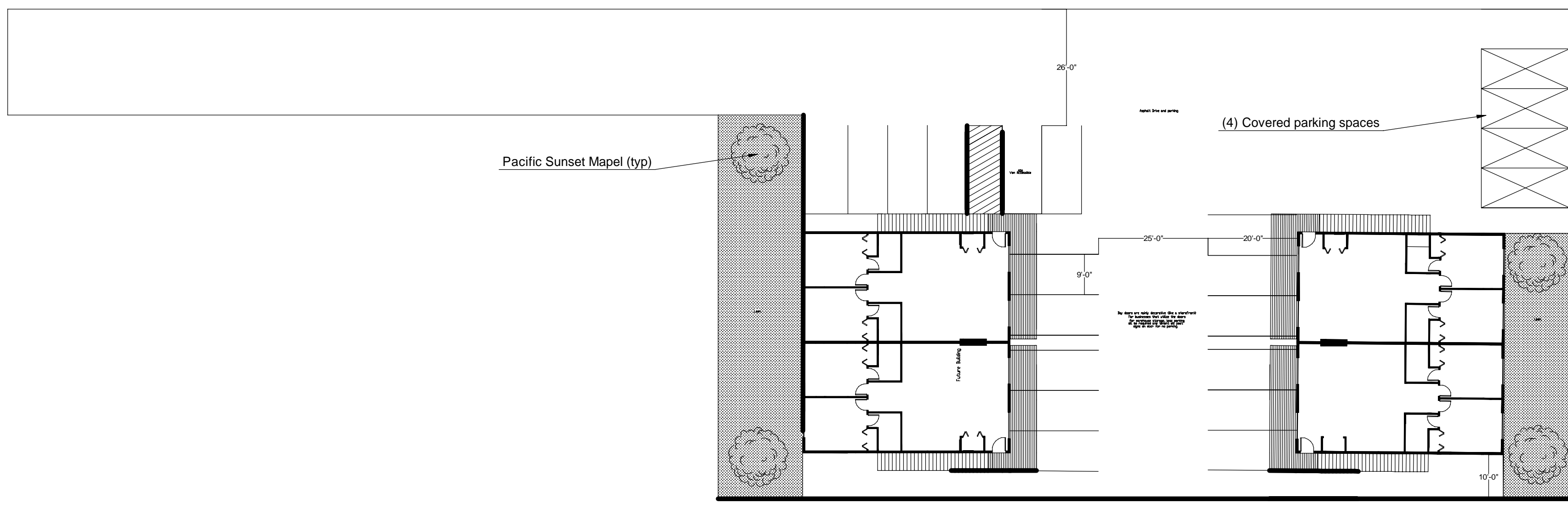
10/7/2023

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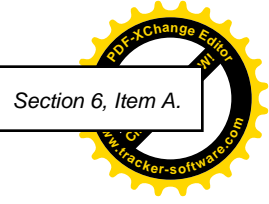


UPDATED SITE PLAN 2-1-24

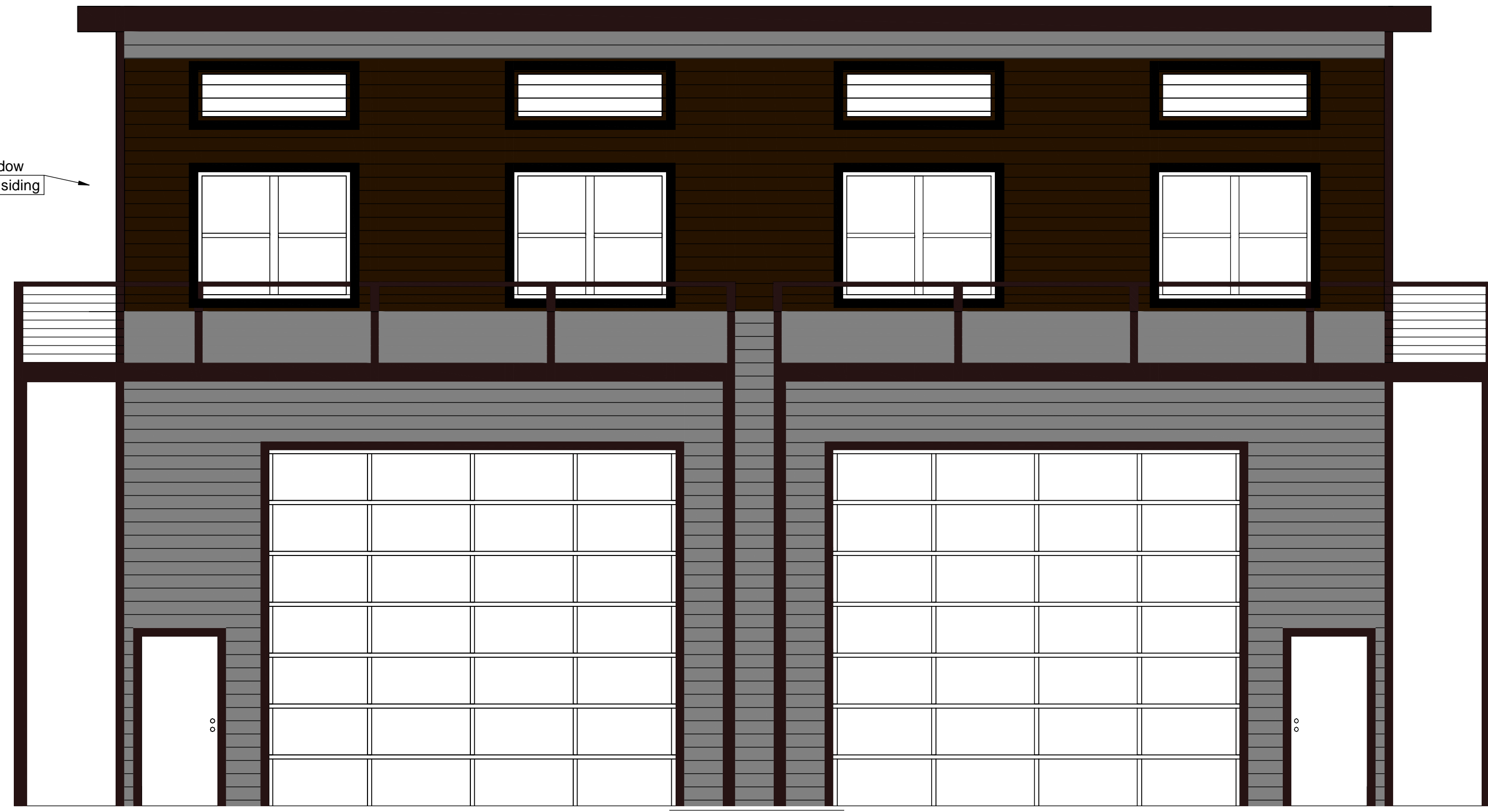


Landscape plan

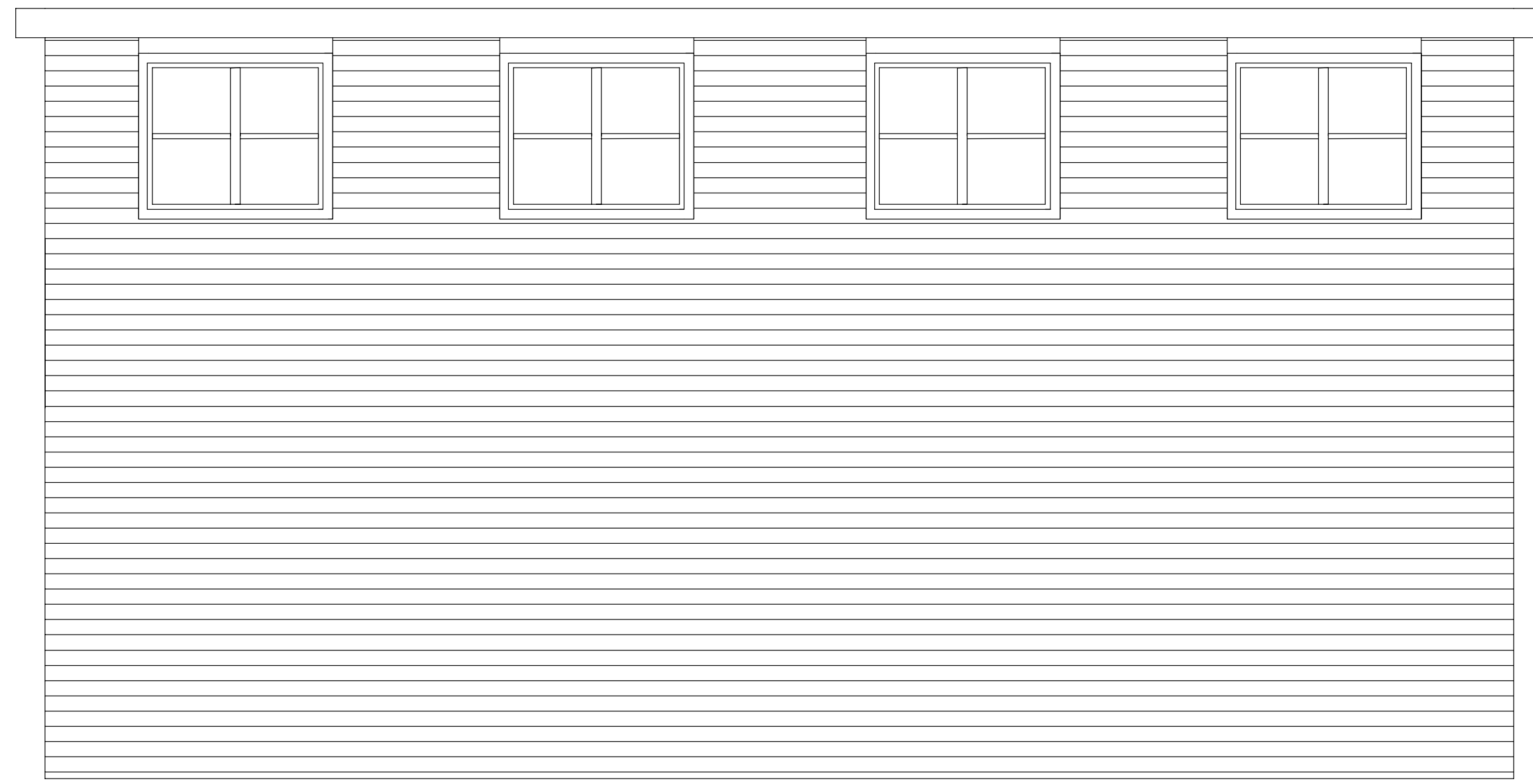
STAMP	
Clint Anthony Keely and Jill Keely Live/Work	856 South Star Road Star, Idaho 83669 Scale = 1/4" to 1'
DATE	
10/7/2023	
SHEET	
12 OF 13	



Area from top of upper window to bottom of lower window to be brown wood grain; rest of exterior to be gray lap siding

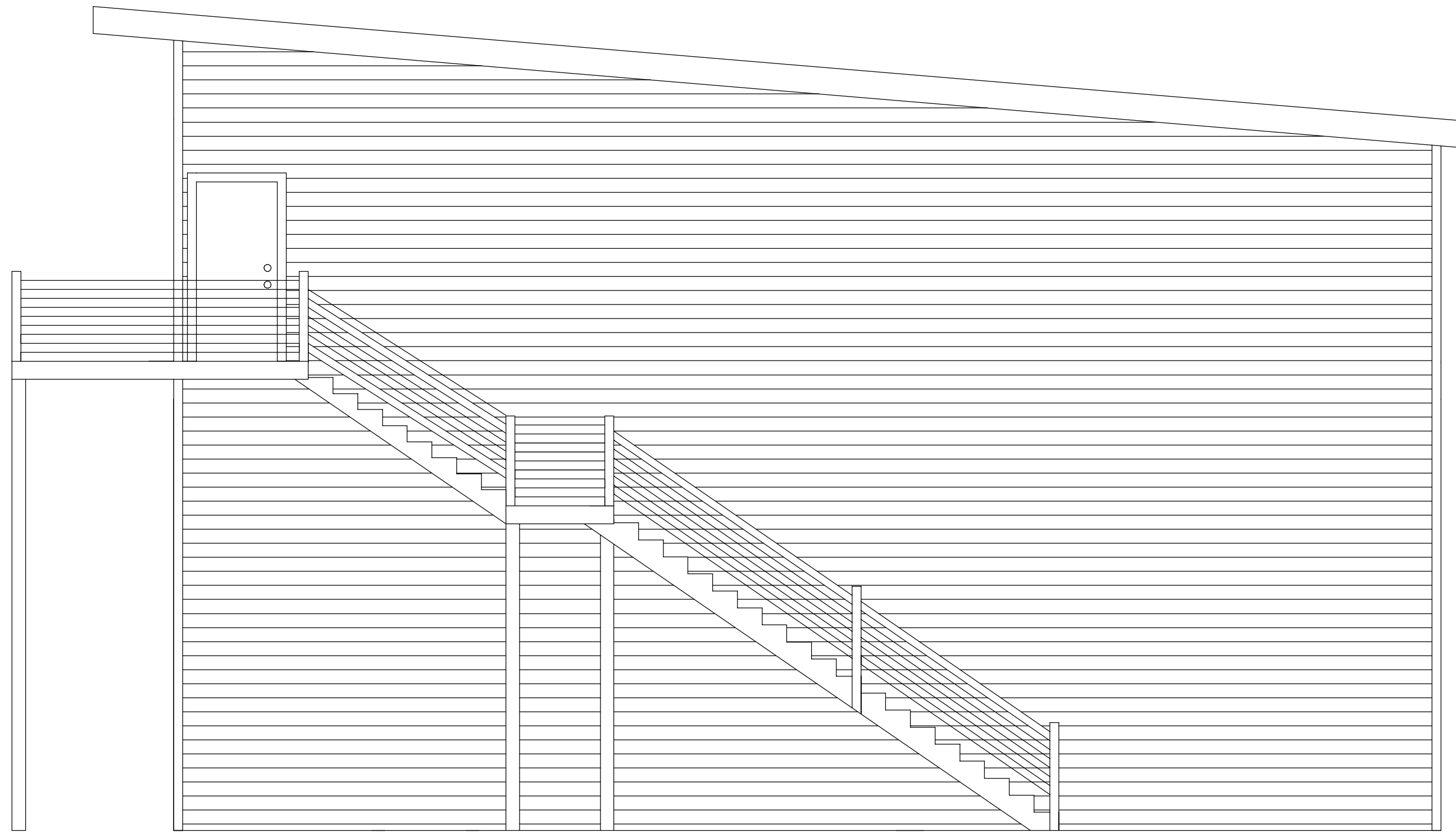
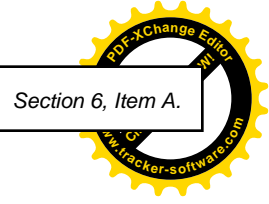


North Elevation

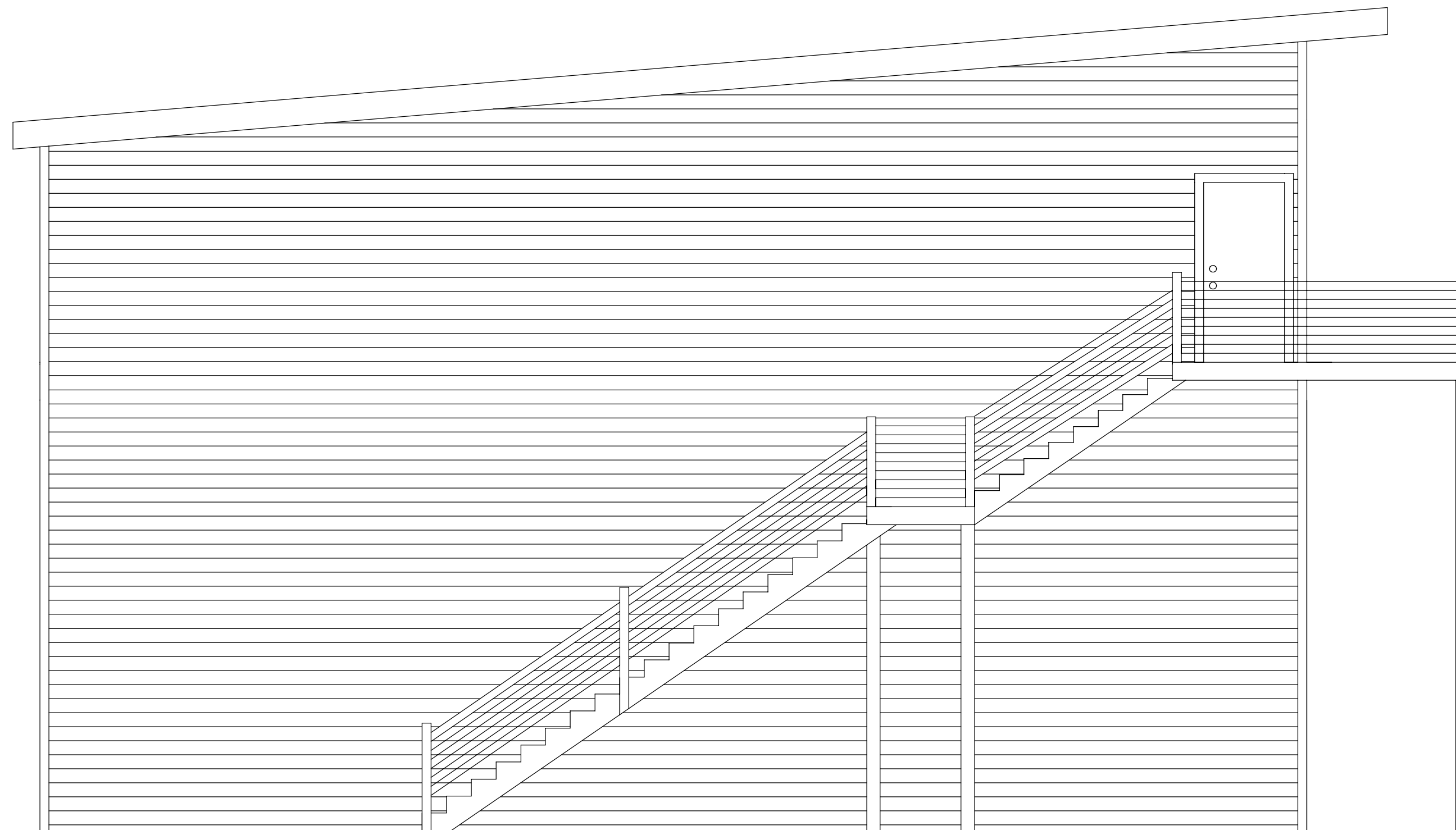


South Elevation

STAMP	
Clint Anthony Keely and Jill Keely Live/Work	856 South Star Road Star, Idaho 83669 Scale = 1/4" to 1'
DATE	
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1 OF 11	

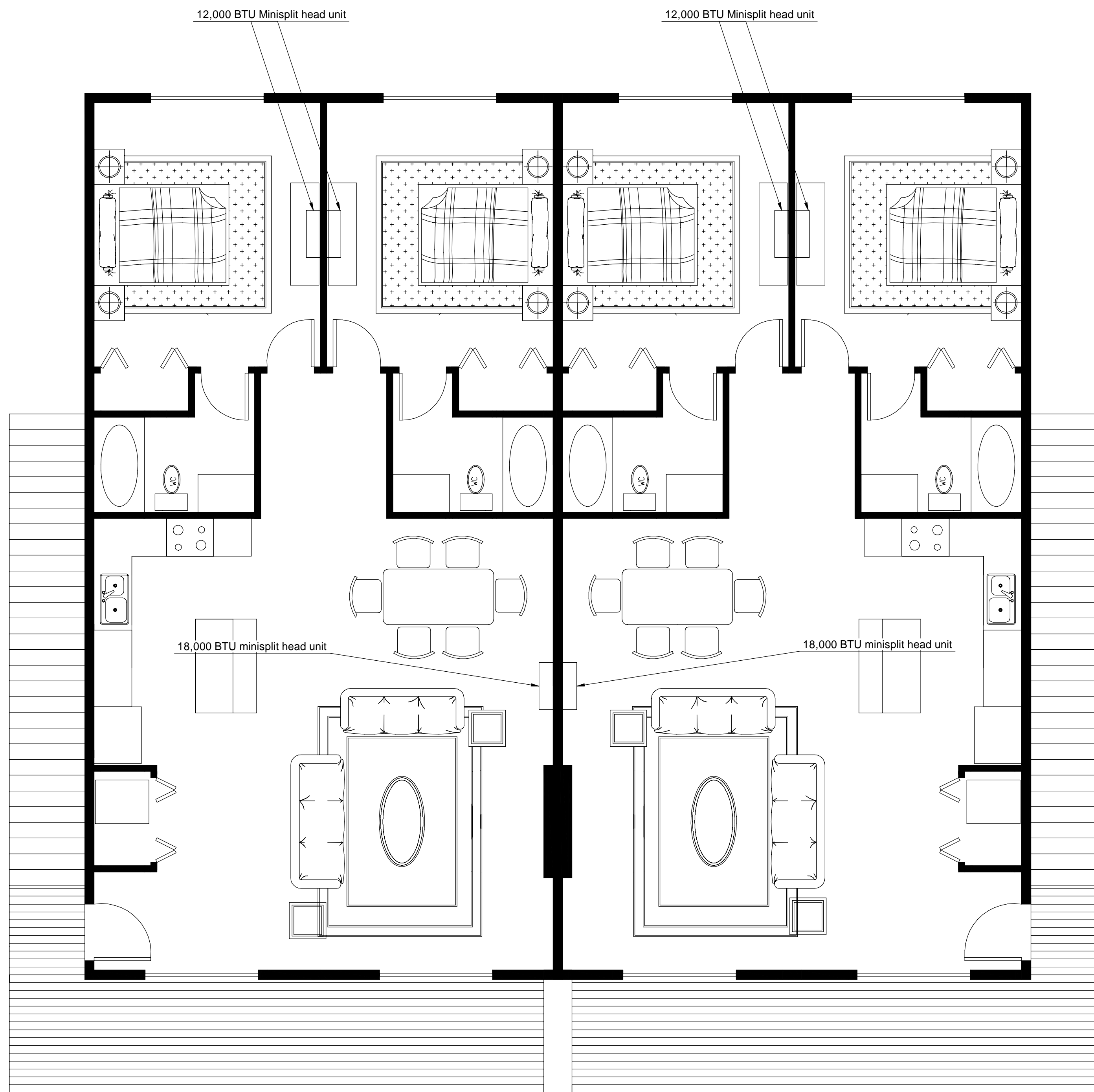
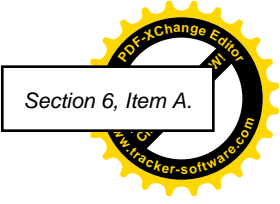


West Elevation



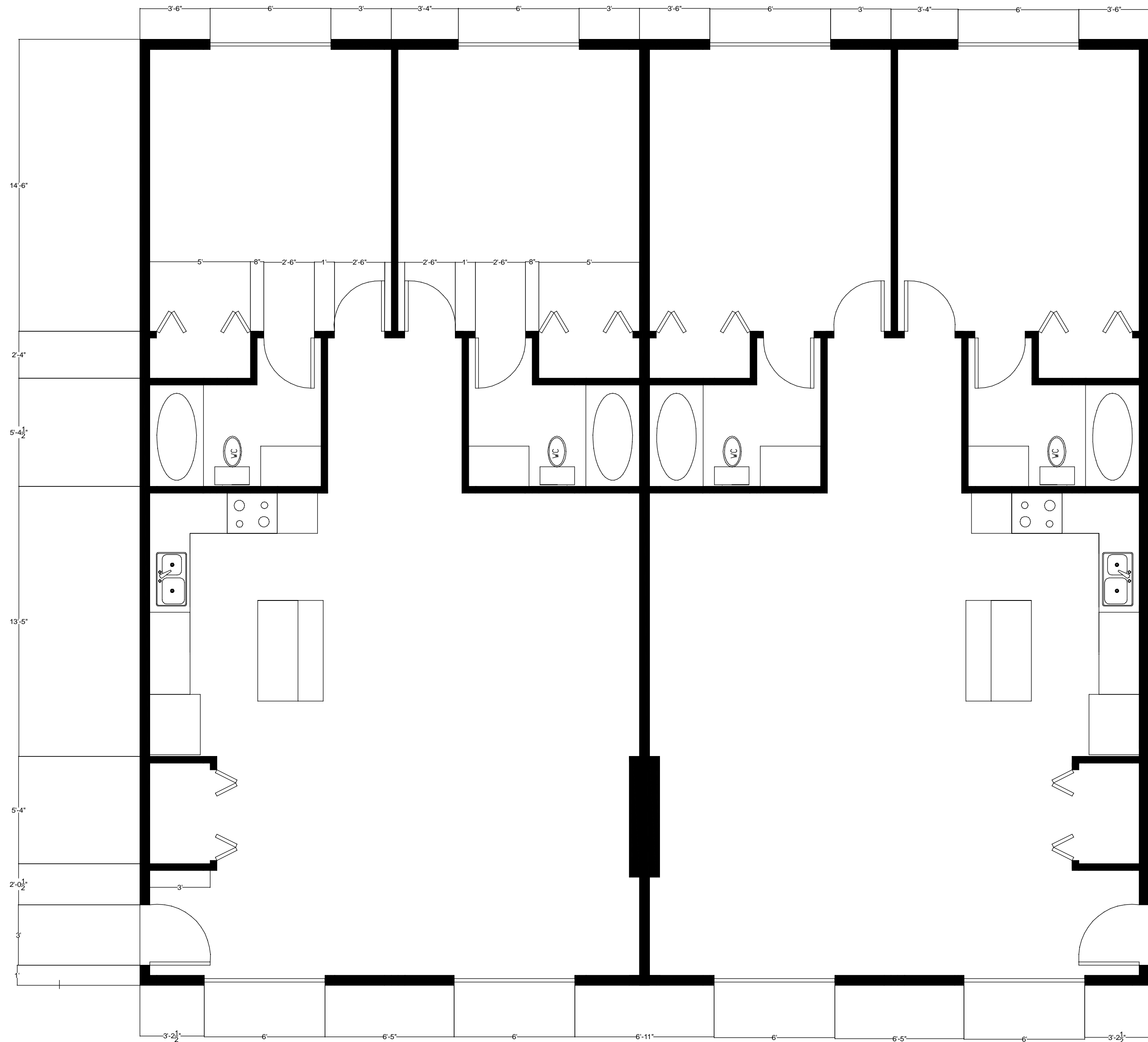
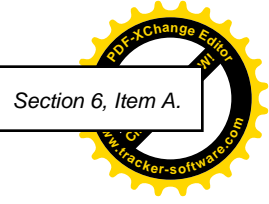
East Elevation

STAMP	
Clint Anthony Keely and Jill Keely Live/Work	856 South Star Road Star, Idaho 83669 Scale = 1/4" to 1'
DATE	
10/7/2023	
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2 OF 11	



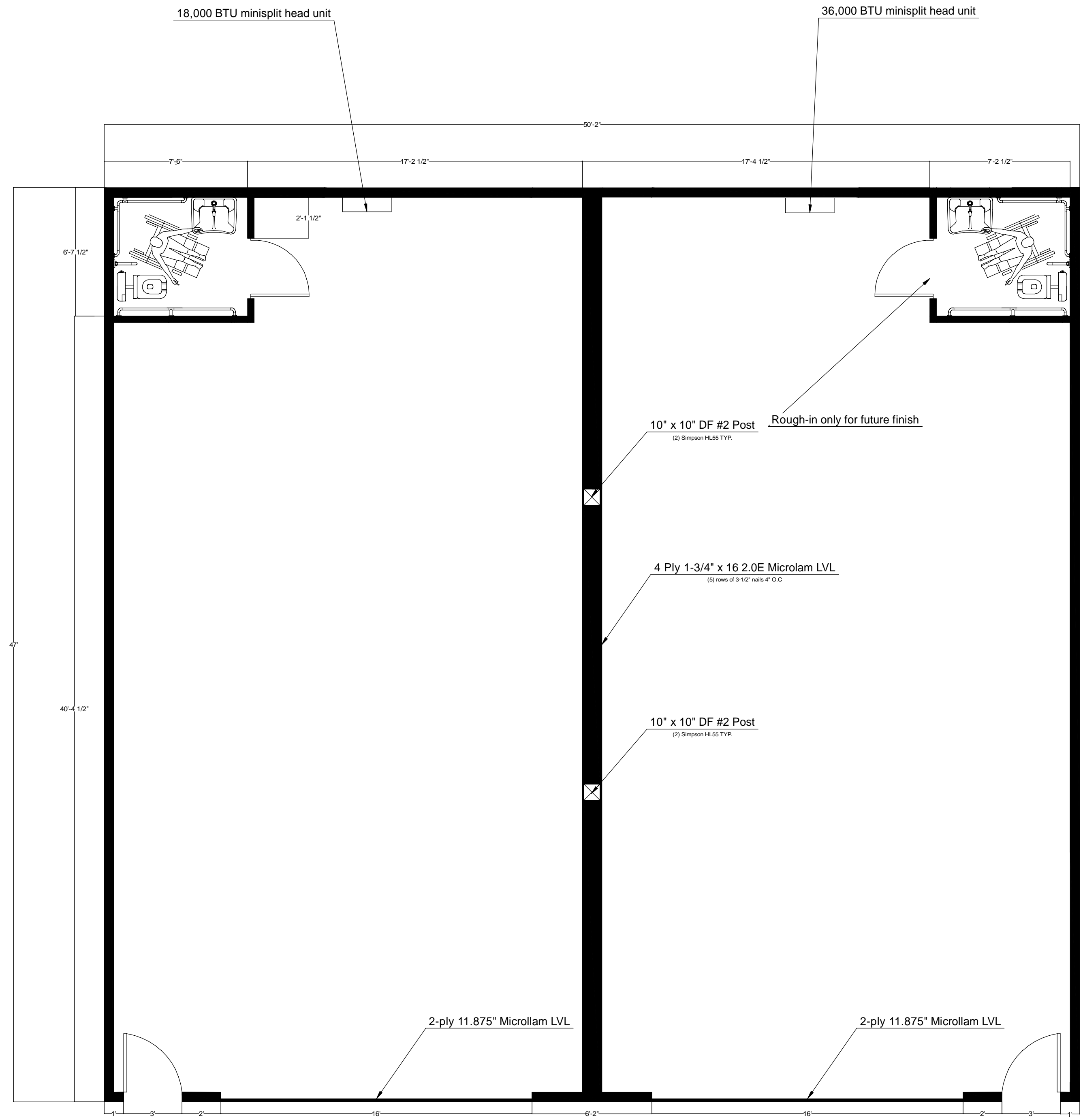
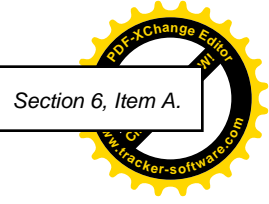
Second Floor Furniture Plan

STAMP	
Clint Anthony Keely and Jill Keely Live/work 856 South Star Road Star, Idaho 83669 Scale = 1/4" to 1'	
DATE	10/7/2023
SHEET	3 OF 11



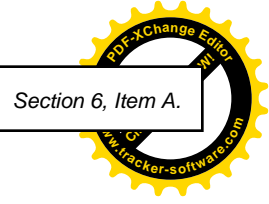
Second Floor Plan layout

STAMP	
Clint Anthony Keely and Jill Keely Live/Work	
856 South Star Road Star, Idaho 83669	
Scale = 1/4" to 1'	
DATE	
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4 OF 11	



1st Floor Plan layout

STAMP	
Clint Anthony Keely and Jill Keely Live/Work	
856 South Star Road Star, Idaho 83669 Scale = 1/4" to 1'	
DATE	
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5 OF 11	

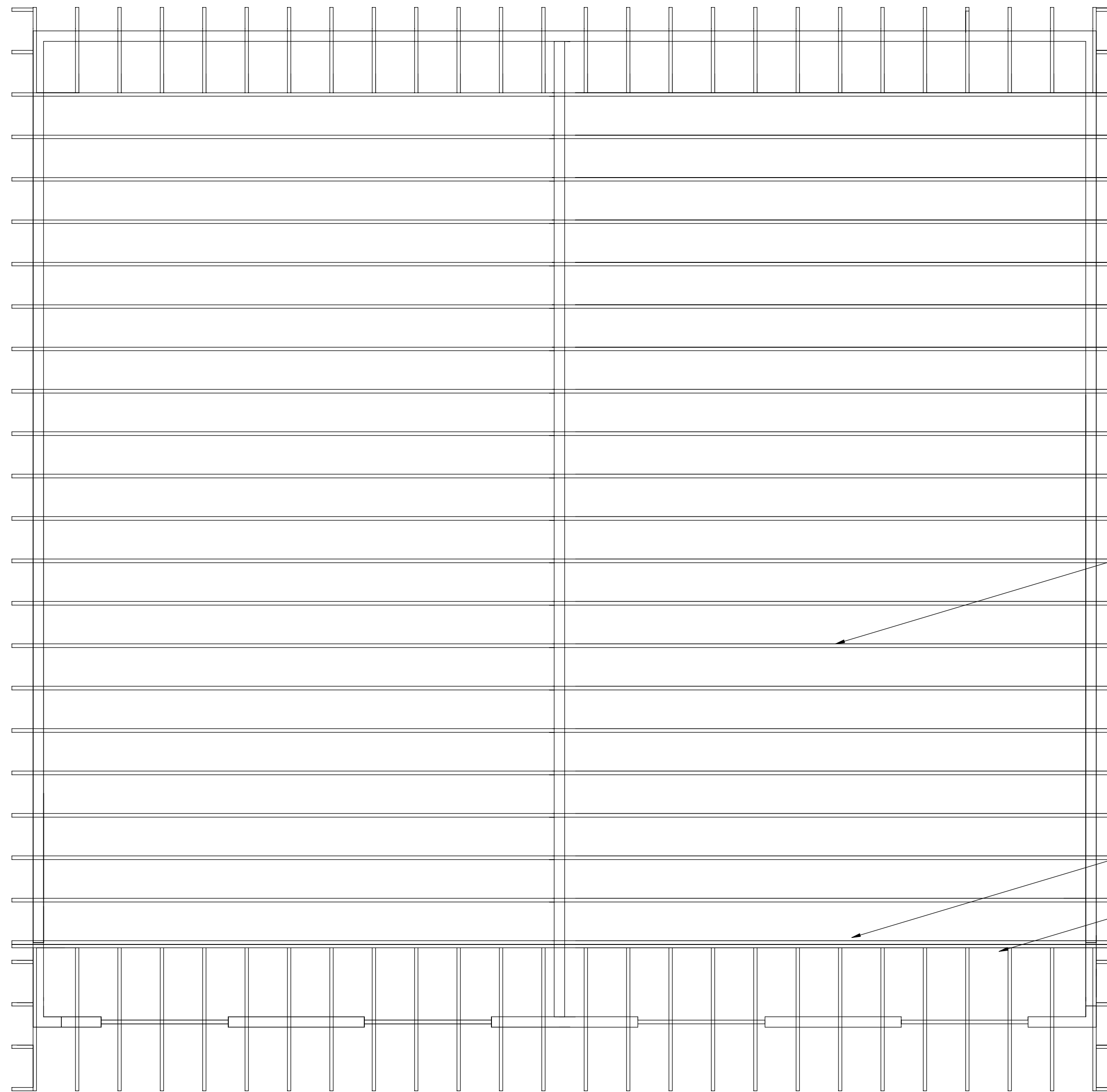
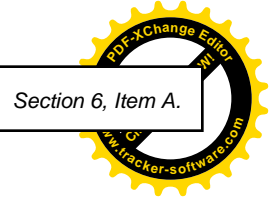


16" Series #560 TGI
16" O.C Typical

Simpson top mount hanger Typ.
Simpson ITS3.50/16

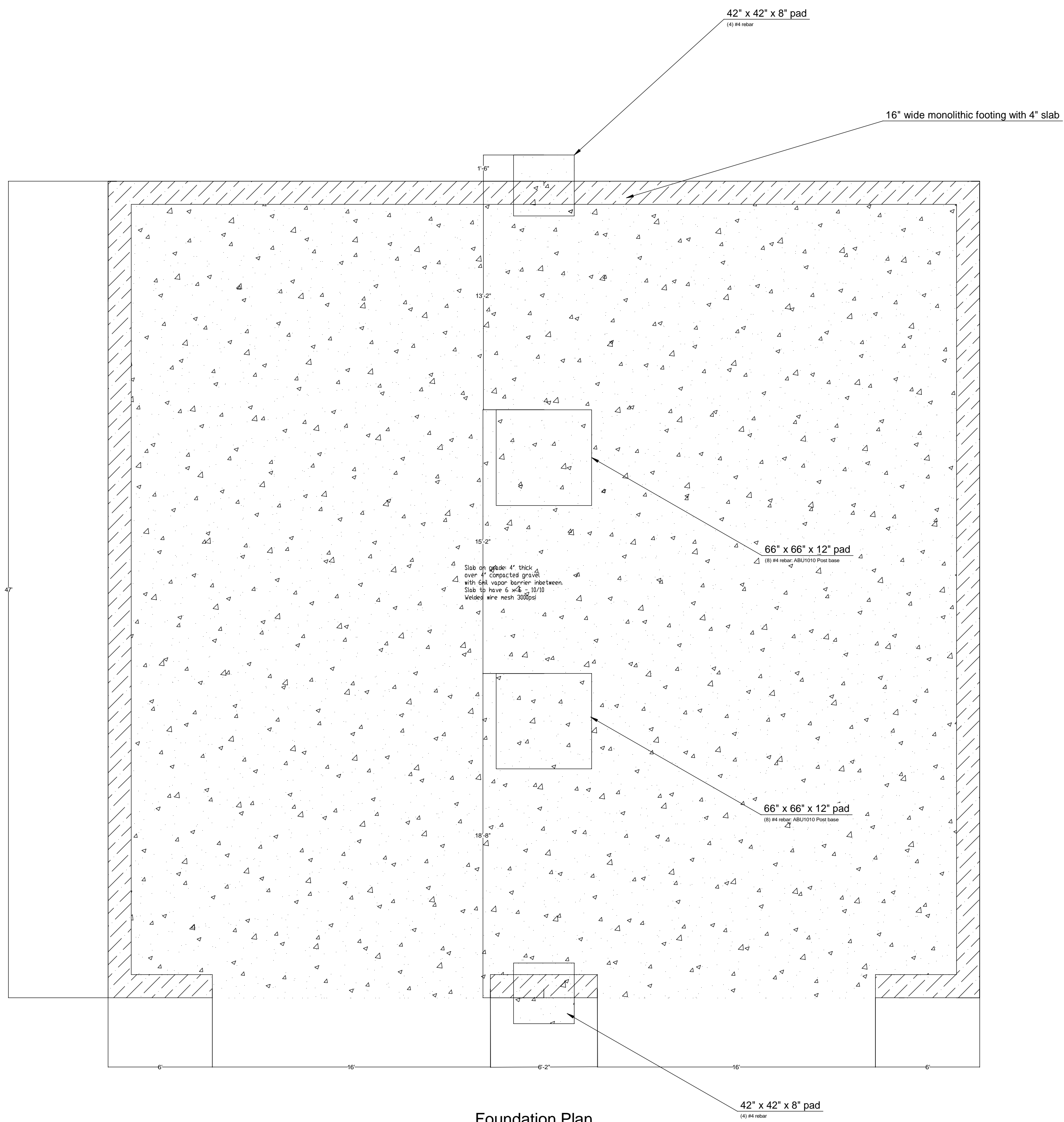
Second floor framing

STAMP	
Clint Anthony Keely and Jill Keely Live/Work	856 South Star Road Star, Idaho 83669
	Scale = 1/4" to 1'
DATE	
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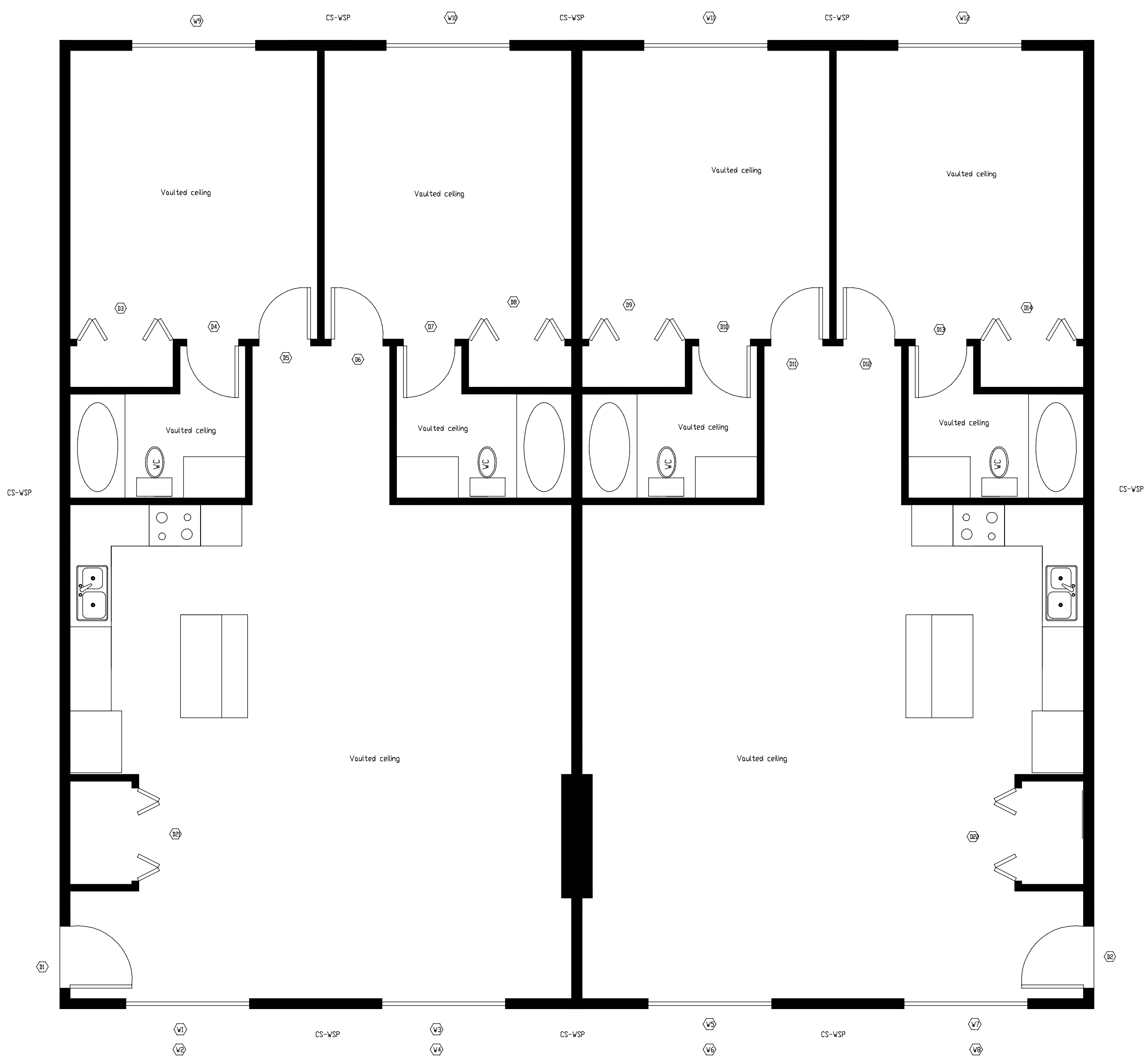
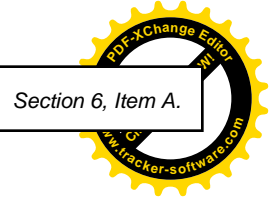
Roof framing plan

STAMP	
Clint Anthony Keely and Jill Keely Live/Work	
856 South Star Road Star, Idaho 83669	
Scale = 1/4" to 1'	
DATE	
10/7/2023	
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7 OF 11	



Foundation Plan

STAMP	
Clint Anthony Keely and Jill Keely Live/Work	
856 South Star Road Star, Idaho 83669	
Scale = 1/4" to 1'	
DATE	
10/7/2023	
SHEET	
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Second Floor Wall shear
Doors and windows

STAMP	
Clint Anthony Keely and Jill Keely Live/Work 856 South Star Road Star, Idaho 83669 Scale = 1/4" to 1'	
DATE	
10/7/2023	
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9 OF 11	



MIDDLETON RURAL FIRE DISTRICT

STAR FIRE PROTECTION DISTRICT

DATE: December 22, 2023

TO: City of Star – Planning and Zoning

FROM: Victor Islas, Deputy Chief

SUBJECT: Fire District Review

PROJECT NAME: Keely Live/Work Units
Files: RZ-23-04, CU-23-07, DA-23-06

Fire District Summary Report:

1. **Overview:** The applicant is requesting approval of a Rezone from Residential (R-1) to Central business District (CBD-DA), Development Agreement, and a Conditional Use Permit for two 4,700 sq. ft. Live/Work units.
2. This development can be serviced by the Star Fire Protection District. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.
3. **Fire Response Time:** This development will be served by the Star Fire Protection District Station 51, located at 11665 W. State St., Star, Idaho 83669. Station 51 is 0.9 miles with a travel time of 2 minutes under ideal driving conditions.
4. **Side Setback:** Side Setback as per Star City Code.
5. **Impact Fee Category:** Residential Multi Family (2 Units per building)
6. **Accessibility:** Roadway Access, Traffic, Radio Coverage
 - a. Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.
 - b. Access road design shall be designed and constructed to allow for evacuation simultaneously with emergency response operations.
 - c. All access roads in this development shall remain clear and unobstructed during construction of the development. Additional parking restrictions may be required to always maintain access for emergency vehicles. Hydrants shall always remain unobstructed per city code.
 - d. An unobstructed vertical clearance of no less than 13 feet 6 inches shall be always maintained.
 - e. A minimum width of 24ft all-weather drivable surface will be required for this project.
 - i. Aerial Fire Apparatus Access Road per Appendix D Section D105, where the vertical distance between the grade plane and the highest roof surface exceeds 30 ft.
 - f. All access lanes are considered fire lanes. 24”x18” Reflective Fire Lane Signs to be posted. Locations to be approved by Fire Code Official. See attached.



MIDDLETON RURAL FIRE DISTRICT

STAR FIRE PROTECTION DISTRICT

- 7. **Water Supply:** Water supply requirements will be followed as described in Appendix B of the 2018 International Fire Code unless agreed upon by the Fire District.
 - a. An approved water supply for fire protection shall be made available as soon as combustible material arrives on the site.
 - b. Fire Flow: Fire Flow will be calculated during building review.
 - i. Fire Flow Estimate based on 4,700 Sq. Ft. and VB Construction
 - 1. 1,750 for a duration of 2 hours.
 - c. Water Supply: Final Approval of the fire hydrant locations shall be by the Star Fire Protection District or designee in accordance with International Fire Code Section (IFC) 508.5.4.
 - d. Water Supply: A hydrant must be located within 100 ft of the Fire Department Riser Room FDC.

- 8. **Fire Protection Systems:**
 - a. Fire Sprinklers – Yes
 - b. Fire Alarm – Yes
 - c. Knox Box – Yes

- 9. **Inspections:**
 - a. Final inspection by the Fire District of the above listed including hydrant flow must be completed before building permits are issued.

- 10. **Additional Comments:**
 - a. An additional review will be conducted during the building permit phase of this project. At that time the project will comply with the current Fire Code and Codes set forth by the City of Star.
 - b. It shall be the responsibly of the applicant to submit appropriate applications and supporting documents to the Fire District for review.



Alexis Pickering
Miranda Gold, Vice-President
Jim Hansen, Commissioner
Kent Goldthorpe, Commissioner
Dave McKinney, Commissioner

December 22, 2023

To: Clint & Jill Keely
518 S. Star Road
Star, Idaho 83669

Subject: STAR23-0008/ RZ-23-04, DA-23-06, CU-23-07
856 S. Star Road
Keely Live/Work, Rezone and Conditional Use Permit

The applicant is requesting approval of a rezone of 0.909 acres from R-1 (Residential) to CBD-DA (Central Business District with Development Agreement), and a Conditional Use Permit application for the development of two 4,700 square foot Live/Work buildings. The existing residence is proposed to remain.

A. Findings of Fact

1. Star Road

a. Existing Conditions:

Star Road is improved with 2-travel lanes, 25-feet of pavement, no curb, gutter, or sidewalk abutting the site. There is 79 to 90-feet of right-of-way for Star Road (36-feet from centerline).

b. Policy:

Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets. Improvements shall include transitional segments in accordance with the current version of PROWAG.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map, Livable Streets Design Guide, and the most current ACHD Livable Streets Performance Measures Plan as adopted by the ACHD Commission. The developer or engineer should contact the District before starting any design.

Street Section and Right-of-Way Width Policy: District Policies 7205.2.1 & 7205.5.2 state the standard 5-lane street section shall be 59-feet (back-of-curb to back-of-curb). This width typically accommodates two travel lanes in each direction, a continuous center left-turn lane or landscaped median with intermittent turn lanes, and curbs and gutters. A 5-lane road shall also include a minimum 10-foot wide multi-use path on both sides with an 8-foot wide buffer from back-of-curb. Other bike facility treatments as defined in the ACHD Bike Master Plan may be approved at the discretion of the ACHD Development Review Supervisor. If an interim on-street bike lane is required in order to connect to existing facilities, the street section shall be 75-feet to allow for a 5-foot wide bike lane and 3-foot wide painted buffer.

Right-of-Way Dedication: District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

Pedestrian Facilities: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide are required on both sides of all arterial streets. A parkway strip at least 8-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Alternatively, on roadways identified for improvement in the Capital Improvement Plan, a minimum 10-foot wide multi-use path may be required. The path shall be placed in accordance with planned buildout in the Master Street Map with a minimum 8-foot wide planter strip as measured to the closest edge of the path. Street trees are encouraged between the pedestrian facility and the roadway when irrigation and maintenance will occur by the adjacent property owner or HOA through an approved license agreement. Consult the District's planter width policy if trees are to be placed within the parkway strip. In some instances, to match existing conditions, a minimum 7-foot wide sidewalk may be constructed next to the back-of-curb. ACHD Development Review staff will be responsible for determining the required facility. Vertical hardscape alternatives to street trees may be considered in the buffer space when street trees are not practicable.

Detached sidewalks and multi-use paths are encouraged and should be parallel to the adjacent roadway. Pedestrian facilities will only be allowed to deviate from a straight line parallel to the roadway when authorized by Development Review staff to accommodate site specific conditions (i.e., street trees, utilities, etc.).

Appropriate easements shall be provided if public pedestrian facilities are placed out of the right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the pedestrian facility. Pedestrian facilities shall either be located wholly within the public right-of-way or wholly within an easement.

Curb ramps or blended transitions shall be provided to connect the pedestrian access route at each pedestrian street crossing in accordance with the current version of PROWAG. Provide detectable warning surface in accordance with the current version of PROWAG.

Frontage Improvements Policy: District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter, and additional pavement widening may be required (See Section 7205.5.5).

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Star Road is designated in the MSM as a Residential Arterial with 5-lanes and on-street bike lanes, a 59-foot street section within 100-feet of right-of-way.

- c. **Applicant's Proposal:** The applicant is not proposing improvements to Star Road abutting the site.
- d. **Staff Comments/Recommendations:** Consistent with District Master Street Map, Frontage Improvements, and Pedestrian Facilities policies, the applicant should be required to dedicate additional right-of-way to total 50-feet from centerline of Star Road and improve Star Road with 17-feet of pavement from centerline plus a 3-foot wide gravel shoulder and construct a 5-foot wide detached concrete sidewalk abutting the site. Alternatively, a minimum 10-foot wide multi-use path may be required as this segment of Star Road is listed in the CIP and ACHD Development Review staff will be responsible for determining the required pedestrian facility. Locate the pedestrian facility a minimum of 43-feet from the centerline of Star Road.

2. Driveways – Star Road

- a. **Existing Conditions:** There are two existing driveways from the site onto Star Road located as follows (measured centerline to centerline):

- 25-foot wide paved driveway located 463-feet south of Hercules Drive.
- 13-foot wide unimproved driveway located 384-feet south of Hercules Drive.

- b. **Policy:**

Access Points Policy: District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

Access Policy: District policy 7205.4.6 states that direct access to minor arterials is typically prohibited. If a property has frontage on more than one street, access shall be taken from the street having the lesser functional classification. If it is necessary to take access to the higher classified street due to a lack of frontage, the minimum allowable spacing shall be based on Table 1a under District policy 7205.4.6, unless a waiver for the access point has been approved by the District Commission.

Driveway Location Policy: District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a single left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 660-feet from the intersection for a full-movement driveway.

District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a dual left turn lane shall be located a minimum of 330-feet from

the nearest intersection for a right-in/right-out only driveway and a minimum of 710-feet from the intersection for a full-movement driveway.

Successive Driveways: District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 35 MPH to align or offset a minimum of 330-feet from any existing or proposed driveway.

Driveway Width Policy: District policy 7205.4.8 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7205.4.8, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7205.4.8.

Cross Access Easements/Shared Access Policy: District Policy 7202.4.1 states that cross access utilizes a single vehicular connection that serves two or more adjoining lots or parcels so that the driver does not need to re-enter the public street system.

- c. **Applicant's Proposal:** The applicant is proposing to close the existing 25-foot wide driveway onto Star Road located 463-feet south of Hercules Drive with landscaping and 5-foot wide detached concrete sidewalk.

The applicant is proposing to construct the existing 13-foot wide unimproved driveway onto Star Road, located 384-feet south of Hercules Drive, as a paved 24-foot wide shared curb return type driveway to provide access to the existing residence at front of the site and the two proposed live/work buildings to be constructed at the rear of the site.

- d. **Staff Comments/Recommendations:** The applicant's proposal to close the existing 25-foot wide driveway onto Star Road driveway with landscaping and 5-foot wide detached concrete sidewalk meets District policy and should be approved as proposed.

The applicant's proposal to reconstruct the existing unimproved driveway as a paved 24-foot wide shared driveway onto Star Road does not meet District Successive Driveways policy which requires driveways to align or offset a minimum of 330-feet from any other driveway on Star Road. However, staff recommends a modification of policy to allow the 24-foot wide driveway to be located as proposed due to the fact that, there is limited site frontage, the Fire Department is requiring a minimum of 24-feet access to the back of the site for emergency vehicle response operations (adequate roadway widths, signage, turnarounds and turning radius for fire apparatus) and the proposed driveway will allow access to the entire site including the remaining residence in the front and the two proposed commercial live/work buildings in the rear.

The applicant should be required to construct and pave the proposed 24-foot wide shared driveway as a curb return type shared driveway and pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of Star Road. This driveway may be restricted to right-in/right-out only as traffic conditions warrant, as determined by ACHD.

3. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

4. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

5. Other Access

Star Road is classified as a minor arterial roadway. Other than the access specifically approved with this application; direct lot access is prohibited to this roadway.

B. Site Specific Conditions of Approval

1. Dedicate right-of-way to total 50-feet from centerline of Star Road abutting the site.
2. Improve Star Road with 17-feet of pavement from the centerline plus a 3-foot wide gravel shoulder and construct 5-foot wide detached concrete sidewalk abutting the site. Alternatively, a minimum 10-foot wide multi-use path may be required to be constructed. ACHD Development Review staff will be responsible for determining the required pedestrian facility. Locate the pedestrian facility a minimum of 43-feet from the centerline of Star Road.
3. Close the existing 25-foot wide driveway onto Star Road located 463-feet south of Hercules Drive with landscaping and 5-foot wide detached concrete sidewalk.
4. Construct the existing 13-foot wide unimproved driveway as a 24-foot wide paved shared curb return type driveway to access the back portion of the site. This driveway may be restricted to right-in/right-out only as traffic conditions warrant, as determined by ACHD.
5. Other than the access specifically approved with this application, direct lot access is prohibited to Star Road.
6. A Traffic Impact Fee will be assessed by ACHD and will be due prior to issuance of a building permit. Please contact the ACHD Planner (see below) for information regarding impact fees.
7. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
8. Comply with the Standard Conditions of Approval as noted below.

C. Traffic Information

Trip Generation

The applicant is requesting CBD-DA (Central Business District with Development Agreement), as the proposed zoning designation and has provided a concept plan showing a development with Live/Work uses. This development is estimated to generate more than 10 additional vehicle trips per day (10 existing); and more than 2 additional vehicle trips per hour in the PM peak hour (1 existing), based on the Institute of Transportation Engineers Trip Generation Manual, 11th edition.

Condition of Area Roadways: Traffic Count is based on vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Star Road	115-feet	Minor Arterial	508	Better Than "E"

* Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

Average Daily Traffic Count (ADT): Average daily traffic counts are based on ACHD's most current traffic counts.

- The average daily traffic count for Star Road north of Boise River was 12,197 on December 31, 2022.

D. Attachments

1. Vicinity Map
2. Site Plan
3. Standard Conditions of Approval
4. Appeal Guidelines
5. Fire Department Review

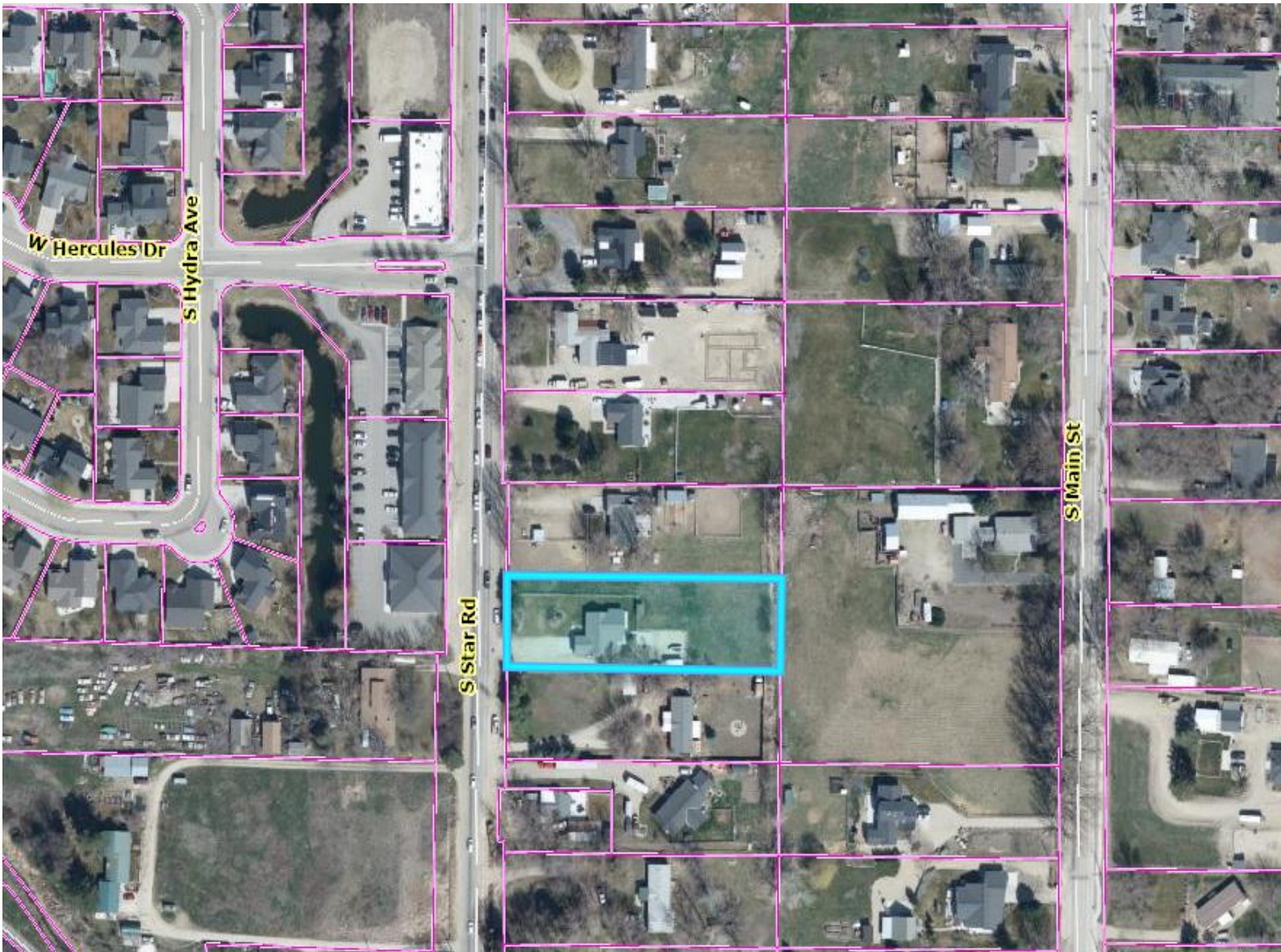
If you have any questions, please feel free to contact me at rhamilton@achdidaho.org or (208) 387-6171.

Sincerely,

Renata Ball-Hamilton
Planner
Development Services

cc: City of Star (Shawn L. Nickel), Via Email

VICINITY MAP





MIDDLETON RURAL FIRE DISTRICT

STAR FIRE PROTECTION DISTRICT

DATE: December 22, 2023

TO: City of Star – Planning and Zoning

FROM: Victor Islas, Deputy Chief

SUBJECT: Fire District Review

PROJECT NAME: Keely Live/Work Units
Files: RZ-23-04, CU-23-07, DA-23-06

Fire District Summary Report:

1. **Overview:** The applicant is requesting approval of a Rezone from Residential (R-1) to Central business District (CBD-DA), Development Agreement, and a Conditional Use Permit for two 4,700 sq. ft. Live/Work units.
2. This development can be serviced by the Star Fire Protection District. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.
3. **Fire Response Time:** This development will be served by the Star Fire Protection District Station 51, located at 11665 W. State St., Star, Idaho 83669. Station 51 is 0.9 miles with a travel time of 2 minutes under ideal driving conditions.
4. **Side Setback:** Side Setback as per Star City Code.
5. **Impact Fee Category:** Residential Multi Family (2 Units per building)
6. **Accessibility:** Roadway Access, Traffic, Radio Coverage
 - a. Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.
 - b. Access road design shall be designed and constructed to allow for evacuation simultaneously with emergency response operations.
 - c. All access roads in this development shall remain clear and unobstructed during construction of the development. Additional parking restrictions may be required to always maintain access for emergency vehicles. Hydrants shall always remain unobstructed per city code.
 - d. An unobstructed vertical clearance of no less than 13 feet 6 inches shall be always maintained.
 - e. A minimum width of 24ft all-weather drivable surface will be required for this project.
 - i. Aerial Fire Apparatus Access Road per Appendix D Section D105, where the vertical distance between the grade plane and the highest roof surface exceeds 30 ft.
 - f. All access lanes are considered fire lanes. 24"x18" Reflective Fire Lane Signs to be posted. Locations to be approved by Fire Code Official. See attached.



MIDDLETON RURAL FIRE DISTRICT

STAR FIRE PROTECTION DISTRICT

7. **Water Supply:** Water supply requirements will be followed as described in Appendix B of the 2018 International Fire Code unless agreed upon by the Fire District.
 - a. An approved water supply for fire protection shall be made available as soon as combustible material arrives on the site.
 - b. Fire Flow: Fire Flow will be calculated during building review.
 - i. Fire Flow Estimate based on 4,700 Sq. Ft. and VB Construction
 1. 1,750 for a duration of 2 hours.
 - c. Water Supply: Final Approval of the fire hydrant locations shall be by the Star Fire Protection District or designee in accordance with International Fire Code Section (IFC) 508.5.4.
 - d. Water Supply: A hydrant must be located within 100 ft of the Fire Department Riser Room FDC.
8. **Fire Protection Systems:**
 - a. Fire Sprinklers – Yes
 - b. Fire Alarm – Yes
 - c. Knox Box – Yes
9. **Inspections:**
 - a. Final inspection by the Fire District of the above listed including hydrant flow must be completed before building permits are issued.
10. **Additional Comments:**
 - a. An additional review will be conducted during the building permit phase of this project. At that time the project will comply with the current Fire Code and Codes set forth by the City of Star.
 - b. It shall be the responsibly of the applicant to submit appropriate applications and supporting documents to the Fire District for review.

Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.6, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter, and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property, which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend, or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.



CITY OF STAR CUP REVIEW CHECKLIST

Project: Keely Live/Work Phase: 1 Date: 2/2/2024

Applicant: Clint Keely Review No: 1

Tel: 208-861-1867 Email: clint@keelyelectric.com

Engineer: Not Provided

Tel: _____ Email: _____

Property Address: _____

Review Check By: Ryan Morgan, P.E, City Engineer

ITEM	OK	NEED	N/A	GENERAL
1	X			Legal Description of subdivision provided.
2	X			Verified written legal description.
3		X		Landscape plan provided.
4		X		Public and private easements are shown on plat for open spaces, access drives, drainage facilities, floodway maintenance boundaries, offsite storage areas and connecting piping for detached flood water storage impoundments, existing irrigation ditches, new irrigation ditches or pipelines, bicycle / pedestrian pathways (connectivity to adjacent developments), and irrigation piping. Water Mains
5		X		Water and sewer easements shown on face of plat. Not shown
6			X	Preliminary plat is stamped, signed, and dated by a professional engineer or land surveyor licensed in the State of Idaho.
7				Natural features map showing all existing site features and 1-foot contour elevations is provided in accordance with Section 8-6A-3 of City of Star Subdivision Ordinance.
8				Each sheet has north arrow, graphic scale, date, title block and sheet number.
9				All street lighting shall be in accordance with the current edition of the ISPWC and the City of Star Supplemental Specifications.
10				Existing irrigation ditches and canals are shown.
ITEM	OK	NEED	N/A	Flood Plain
11		X		Is the property located within a Floodplain, is the Floodplain delineated and labeled on the preliminary plat?

12		X		Is the property located within a Floodway is the Floodway delineated and labeled on the preliminary
13		X		Was a floodplain application submitted? Application must be approved prior to approval of the preliminary plat.
ITEM	OK	NEED	N/A	STORM DRAINAGE
14		X		Storm drainage facilities do not conflict with other utilities. (Spot check by City Engineer)
ITEM	OK	NEED	N/A	PRESSURE IRRIGATION
15			X	Plans for a pressure irrigation system are provided (Required only if development contains more than four lots).
ITEM	OK	NEED	N/A	LANDSCAPE PLAN
16		X		Tree species meet the City of Boise acceptable species guidelines, for location within or adjacent to right-of-way, as adopted by Star City Code.

Notes:

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **February 6th, 2024**, at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Frontier Credit Union CUP
Files #'s CU-23-09 Conditional Use

Representative: Henry Prendergast, Cole Architects

Owner: Butch Kirtley

Action: The Applicant is requesting approval of a Conditional Use Permit for a Drive-Thru for a financial institution. The property is located at 11368 & 11352 W. State Street in Star, Ada County, Idaho

Property Location: The subject property is generally located at the northeast corner of W. State Street and N. Union Street. Ada County Parcel No's. R8108000008 & R8108000055

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR
LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department *Shen T. Park*

MEETING DATE: February 6, 2024 – PUBLIC HEARING
FILE(S) #: CUP-23-09 – Frontier Credit Union

OWNER/APPLICANT/REPRESENTATIVE

Representative:
Henry Prendergast
Cole Architects
404 S. 8th St., Ste. 250
Boise, Idaho 83702

Applicant:
Frontier Credit Union
865 S. Woodruff Ave.
Idaho Falls, Idaho 83401

Owner:
Butch Kirtley
3043 W. Balata Ct.
Meridian, Idaho 83642

REQUEST

Request: The Applicant is seeking approval of a Conditional Use Permit to construct a drive through within a new banking facility. The property is located at 11368 & 11352 W. State Street in Star, Idaho. The property is currently zoned Central Business District (CBD).

PROPERTY INFORMATION

Property Location: The subject property is generally located on the northeast corner of W. State Street and N. Union Street in Star, Idaho. Ada County Parcel Numbers R8108000008 & R8108000055.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	September 7, 2023
Neighborhood Meeting Held	November 28, 2023
Application Submitted & Fees Paid	December 4, 2023

Application Accepted	December 19, 2023
Residents within 300' Notified	December 19, 2023
Agencies Notified	December 19, 2023
Legal Notice Published	January 9, 2024
Property Posted	January 26, 2024

HISTORY

The property was previously zoned Central Business District (CBD).

ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-1B-4: CONDITIONAL USES:

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.
2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.
3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.



3. Control the duration of the use.
4. Assure that the use and the property in which the use is located is maintained properly.
5. Designate the exact location and nature of the use and the property development.
6. Require the provision for on site or off-site public facilities or services.
7. Require more restrictive standards than those generally required in this title.
8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

8-1B-4E. FINDINGS: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.
3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.
3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

(CBD) CENTRAL BUSINESS DISTRICT: To provide for commercial, retail, civic, office, and entertainment uses. High density housing is encouraged on the upper floors of mixed-use buildings and may also be allowed at the fringes of the land use designation shown on the comprehensive plan. Live/work designed development is also encouraged in this district. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility. Special emphasis shall be placed on development in the central downtown area to encourage and create a vibrant, walkable downtown community that incorporates the Boise River as an active amenity.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited

(N) uses.

ZONING DISTRICT USES	CBD
Drive-through establishment/drive-up service window	C
Financial Institution	P

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
CBD	35'	0'	0'	0' 4	0'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-4B-3: REQUIRED NUMBER OF OFF-STREET PARKING SPACES:

Banks/Financial Institutions	1 for each 200 square feet of gross floor area; plus queue for 4 cars per drive up window.
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8-5-13: DRIVE-THROUGH ESTABLISHMENT:

- A. A drive-through establishment shall be an accessory use where the drive-through portion of the facility (including stacking lanes, speaker and/or order area, pick up windows, and exit lanes) is not immediately adjacent to the drive-through portion of another facility, or immediately adjacent to a residential district or an existing residence, unless approved through a planned unit development.
- B. All establishments providing drive-through service shall identify the stacking lane, menu and speaker location (if applicable), and window location on applicable permit applications.

C. A site plan shall be submitted that demonstrates safe pedestrian and vehicular access and circulation on the site and between adjacent properties. At a minimum the plan shall demonstrate compliance with the following standards:

1. Stacking lanes shall have sufficient capacity to prevent obstruction of the public right of way by patrons;
2. The stacking lane shall be a separate lane from the circulation lanes needed for access and parking;
3. The stacking lane shall not be located within ten feet (10') of any residential district or existing residence;
4. Any stacking lane greater than one hundred feet (100') in length shall provide for an escape lane;
5. A letter from the transportation authority indicating the site plan is in compliance with the authority's standards and policies shall be required.

D. The applicant shall provide a six-foot (6') sight obscuring fence where a stacking lane or window location adjoins a residential district or an existing residence.

E. Menu boards are considered as signs.

F. Approval from the Fire District is required for the location and access of the drive-thru facility.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Central Business District

The Central Business District is planned to be a vibrant downtown center for the community. Uses encouraged are commercial, retail, civic, private offices, and entertainment. High density housing is encouraged on the upper floors of mixed-use buildings and at the fringes of the land use designation. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.

- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

8.5.5 Policies Related Mostly to The Central Business District Planning Areas:

- The CBD zoning district should allow for a mix of commercial, office, institutional, and civic type uses with specific provisions for residential use in appropriate locations with compatible densities.
- The city should develop a street improvement plan for the CBD identifying drainage and street improvements with a functional grid system and use public private partnerships to assure the system is built and that "ad hoc" development of parcels within the CBD do not block good planning.
- The city should develop a downtown grid system, in part, planning for the easterly extension of Tempe Lane and easterly extension of West First Street to help provide better downtown access and parking facilities.
- The east west public road from the Heron River Development, south of the LDS Church on Main Street, should be extended to Star Road.
- Implement, review, and update the 2011 Star Downtown Revitalization Plan for development strategies within the plan intended to stimulate development within the CBD.
- As recommended in the 2011 Star Downtown Revitalization Plan, the city should create an Urban Renewal District to stimulate development within the CBD.
- The city should encourage assemblage of the smaller properties where appropriate.

8.5.6 Policies Related Mostly to the Commercial Planning Areas:

- Assist in the provision of coordinated, efficient, and cost-effective public facilities and utility services, carefully managing both residential and non-residential development and design, and proactively reinforcing downtown Star's role as the urban core while protecting existing property rights. B. Encourage commercial facilities to locate on transportation corridors. C. Locate neighborhood services within walking distance to residential development. D. Discourage the development of strip commercial areas. E. Maintain and develop convenient access and opportunities for shopping and employment activities. F. Commercial areas of five acres or less should be encouraged in residential land use designations with appropriate zoning to allow for commercial services for residential neighborhoods and to limit trip lengths. Such commercial areas

should be submitted for approvals with a Conditional Use Permit or Development Agreement to assure that conditions are placed on the use to provide for compatibility with existing or planned residential uses. These areas should be oriented with the front on a collector or arterial street.8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

PROJECT OVERVIEW

CONDITIONAL USE PERMIT:

The applicant is requesting approval of a Conditional Use Permit for a drive-through within a banking facility. The property is currently zoned Central Business district (CBD) and a financial institution is a principally permitted use. The Unified Development Code, Section 8-3A-3 requires all drive-throughs to be approved through a Conditional Use Permit.

This Conditional Use Permit is for approval of the drive through only.

Section 8-4B-3 requires banks and financial institutions to provide a queue for (4) four cars per drive-up window. The applicant is proposing three drive-up service lanes. It appears that the proposed queue space will accommodate the required 4 average sized cars.

Access is proposed to be taken from N. Union Street and W. State Street using the currently established ingress and egress. There is also an alleyway on the north of the property that runs east and west from N. Union Street to N. Star Road that will also provide access to the site. The property is adjacent to the currently developing Jackson’s Food and Gas and is separated by an existing valley gutter. The Applicant shall work to secure a cross access agreement with this property owner. This shall be in place and recorded prior to final occupancy.

The Unified Development Code (UDC), Section 8-4B-2 requires “all drive aisles adjacent to a building shall be a minimum of 25’ 0” or as required by the fire code...” The proposed site plan appears to call out 26 feet at the narrowest section of the drive aisle, satisfying this portion of the UDC. feet widths on the north and south of the building.

All signage, including building, drive through and monuments will need separate permits and approval from Staff.

The current site plan shows the drive-through canopy crosses onto another lot line. The Applicant is working on a lot line adjustment to correct this situation. This will need to be completed prior to issuing a building permit.

The development is part of two separate parcels. The City Engineer has recommended to the applicant to merge the two parcels into one to avoid any portions of the structures from being within a lot line. Staff is in agreement and has included it as a condition of approval.

ITD has recommended that the access to W. State Street be abandoned, and access be taken from the east and west. Staff has included this as a condition of approval for the Council to consider.

AGENCY RESPONSES

Fire District	January 30, 2024
City Engineer	January 17, 2024
ACHD	January 25, 2024
ITD	January 8, 2024

PUBLIC RESPONSES

No public comments have been received.

STAFF ANALYSIS & RECOMMENDATIONS

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed conditional use permit meets the requirements, standards and intent for development as they relate to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

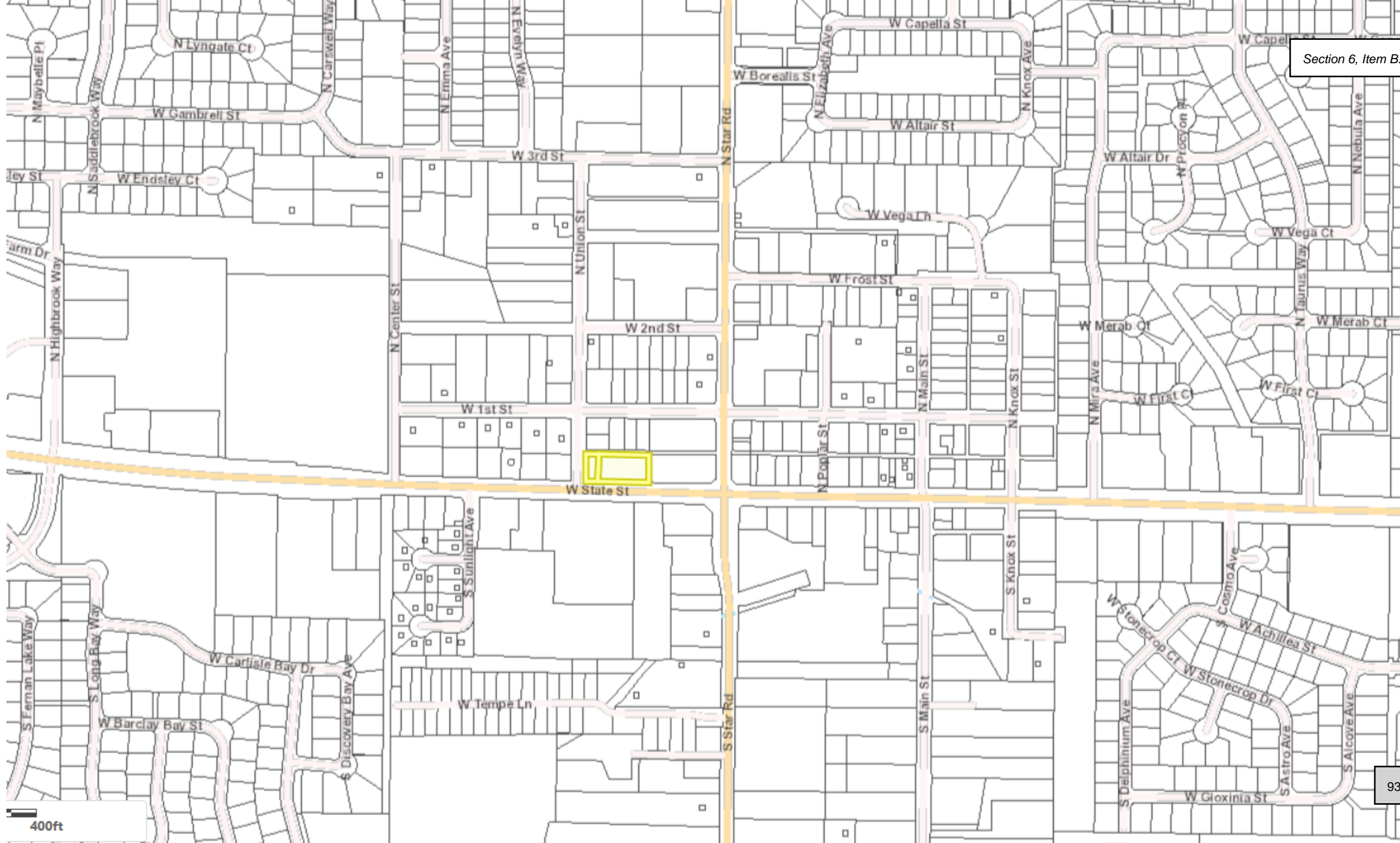
CONDITIONS OF APPROVAL

1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.

2. **Prior to issuance of a building permit, the applicant shall receive a certificate of zoning compliance and design review for compliance with the Architectural Design Guidelines.**
3. **Applicant shall provide a recorded cross access agreement with the property to the east prior to issuance of a certificate of occupancy.**
4. **The Applicant shall complete the lot line adjustment combining the two parcels and have it recorded with the County prior to issuance of a building permit.**
5. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
6. A form signed by the Star Sewer & Water District shall be submitted to the City prior to issuance of building permit stating that all conditions of the District have been met, including annexation into the District.
7. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
8. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy of the unit.
9. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
10. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
11. A Certificate of Zoning Compliance will be required prior to the start of construction.
12. Any additional Condition of Approval as required by Staff and City Council.
13. Any Conditions of Approval as required by Star Fire Protection District.

COUNCIL DECISION

The Star City Council _____ File Number CUP-23-09 for Frontier Credit Union on _____, 2024.



Project Narrative

Frontier Credit Union - Star Branch

Frontier Credit Union, along with Cole Architects are excited to get started on a new credit union branch on State St. in Star Idaho. This project is located at 11352 W. State St. just west of the Star Boulevard intersection. We are currently applying for a Conditional Use Permit to open, with hopes to break ground in the Q2 of 2024. We feel a credit union is something Star needs for friends and family to have a reliable, neighborhood driven business with local Idaho ties. Our credit union will have a small branch with drive through access and a warm, inviting branch floor. In keeping with Stars' rural atmosphere, we have designed with the western modern style found in many businesses in the Star CBD. We feel it is overall a low impact type of business to put in the recently designated Central Business District. Our hope is that when you see our plans, you will feel the same and will see the care we are putting into the design to keep it aesthetically pleasing and to fit beautifully within the City of Star.

Our intention is to build a 3,000 sq. ft. credit union, complete with offices, bank tellers, and an attached drive through with teller access. Frontier is Idaho's fastest growing credit union which recently opened it's first location in the Treasure Valley. Frontier will be a community oriented credit union, with a strong focus on Star and the surrounding communities financial needs.



Henry Prendergast, Project Manager, Cole Architects

12/5/2023
Date



CONDITIONAL USE PERMIT APPLICATION

****All applicable information must be filled out to be processed.*

FILE NO.: **CU-23-09**
 Date Application Received: **12-04-2023** Fee Paid: **\$1660.00**
 Processed by: City: **Barbara Norgrove**

Applicant Information:

PRIMARY CONTACT IS: Applicant ___ Owner ___ Representative X

Applicant Name: Frontier Credit Union
 Applicant Address: 11368-11352 W. STATE ST. STAR, ID Zip: 83699
 Phone: (800) 727-9961 Email: contactus@frontiercreditunion.com

Owner Name: Butch Kirtley
 Owner Address: 3043 W. Balata Ct. , Meridian, ID Zip: 83642
 Phone: (800) 727-9961 Email: butchkirtley@hotmail.com

Representative (e.g., architect, engineer, developer):
 Contact: Henry Prendergast Firm Name: Cole Architects
 Address: 404 S 8th St., STE 250, Boise, Idaho Zip: 83702
 Phone: (208) 345-1800 Email: henry@coelarchitects.com

Property Information:

Site Address: 11368-11352 W. State St. Star, Idaho 83699 Parcel Number: R8108000055 & R8108000008

Requested Condition(s) for Conditional Use: _____

We are developing a full service credit union
which includes a 3-lane drive through.

	Zoning Designation	Comp Plan Designation
Existing	CBD -DA	CBD -DA
Proposed	CBD -DA	CBD -DA
North of site	CBD -DA	CBD -DA
South of site	C-2	CBD -DA
East of site	CBD -DA	CBD -DA
West of site	CBD -DA	CBD -DA

Site Data:

Total Acreage of Site: .72 Acres

Proposed Percentage of Site Devoted to Bldg Coverage: 3,100 sq.ft.

Proposed Percentage of Site Devoted to Landscaping: 15%

Number of Parking spaces: Proposed 17 Required 16

Requested Front Setback: 0 Requested Rear Setback: 0

Requested Side Setback: 0 Requested Side Setback: 0

Requested Side Setback: 0

Existing Site Characteristics: Vacant, un-developed commercial parcel along State St.

Number and Uses of Proposed Buildings: 1, Financial Institution with Drive Through

Location of Buildings: Roughly center of lot with Drive Through to the west of the building.

Gross Floor Area of Proposed Buildings: 3,100 Sq. Ft.

Describe Proposed On and Off-Site Traffic Circulation: _____
Traffic will commonly enter through the shared access location to the east of the property. Circulation will run to the north of the parcel with potential to exit through the northwest exit on Union St.

Proposed Signs – number, type, location: Building sign on east and south exterior.
 (include draft drawing) (See included elevations for draft drawings)

Public Services (state what services are available and what agency is providing the service):

Potable Water - Available, provided by Star Sewer and Water

Irrigation Water - Available, provided by Star Sewer and Water

Sanitary Sewer - Available, provided by Star Sewer and Water

Schools - Available, provided by West Ada School District

Fire Protection - Available, provided by Star/Middleton Fire Protection

Roads - Available, provided by ACHD & ITD

Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision/Project Name: Frontier Credit Union - Star Branch Phase: Schematic Design/CD

Special Flood Hazard Area: total acreage _____ number of homes/structures
1

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16001C0130J
 FIRM effective date(s): mm/dd/year 06/19/2020
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: ZONE X
 Base Flood Elevation(s): AE 0 ft., etc.: _____
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (√)	Description	Staff (√)
X	Pre-application meeting with Planning Department required prior to neighborhood meeting.	BN
X	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	BN
X	Completed and signed Conditional Use Application	BN
X	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
X	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	BN
X	Legal description of the property (word.doc and electronic version with engineer's seal):	BN
X	Copy of recorded warranty deed.	BN
X	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	BN
X	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	BN
X	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	BN
X	Vicinity map showing the location of the subject property	BN
X	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	
X	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	
X	Building elevations showing construction materials	BN
X	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, shall be submitted in original pdf format (no scans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	BN
X	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

Site Plan (If applicable):

	The following items must be included on the site plan:	
X	<ul style="list-style-type: none"> • Date, scale, north arrow, and project name 	X
X	<ul style="list-style-type: none"> • Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan 	
X	<ul style="list-style-type: none"> • Existing boundaries, property lines, and dimensions of the lot 	
X	<ul style="list-style-type: none"> • Relationship to adjacent properties, streets, and private lanes 	
X	<ul style="list-style-type: none"> • Easements and right-of-way lines on or adjacent to the lot 	
X	<ul style="list-style-type: none"> • Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties 	
X	<ul style="list-style-type: none"> • Building locations(s) (including dimensions to property lines) 	
X	<ul style="list-style-type: none"> • Parking and loading areas (dimensioned) 	
X	<ul style="list-style-type: none"> • Traffic access drives and traffic circulation (dimensioned) 	

X	• Open/common spaces	BN
X	• Refuse and service areas	BN
X	• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing & proposed)	BN
	• All on-site lighting proposed – Must Meet City “Dark Sky” Ordinances	

Landscape Plan (If applicable):

	The following items must be included on the landscape plan:	BN
X	• Date, scale, north arrow, and project name	BN
X	• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan	BN
X	• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings	BN
X	• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.	BN
X	• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements	BN
X	• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours	BN
X	• Sight Triangles as defined in 8-4 A-7 of this Ordinance	
X	• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size	BN
X	• Proposed screening structures	
X	• Design drawings(s) of all fencing proposed	BN
X	• Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> ➤ Number of street trees and lineal feet of street frontage ➤ Width of street buffers (exclusive of right-of-way) ➤ Width of parking lot perimeter landscape strip ➤ Buffer width between different land uses ➤ Number of parking stalls and percent of parking area with internal landscaping ➤ Total number of trees and tree species mix ➤ Mitigation for removal of existing trees, including number of caliper inches being removed 	BN

SIGNS (If applicable):

All signs will require separate submittal of a sign application.

FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**



12/4/2023

See Patent Location of Plat. Dist. No. 179 151 Recorded Aug 28. 1937 in Book 15 Misc. Records at page 368
Records of Ada County, Idaho
Dayken

Section 6, Item B.

By Josephine S. Smith
Deputy

SECOND AMENDED PLAT OF THE TOWNSITE OF STAR

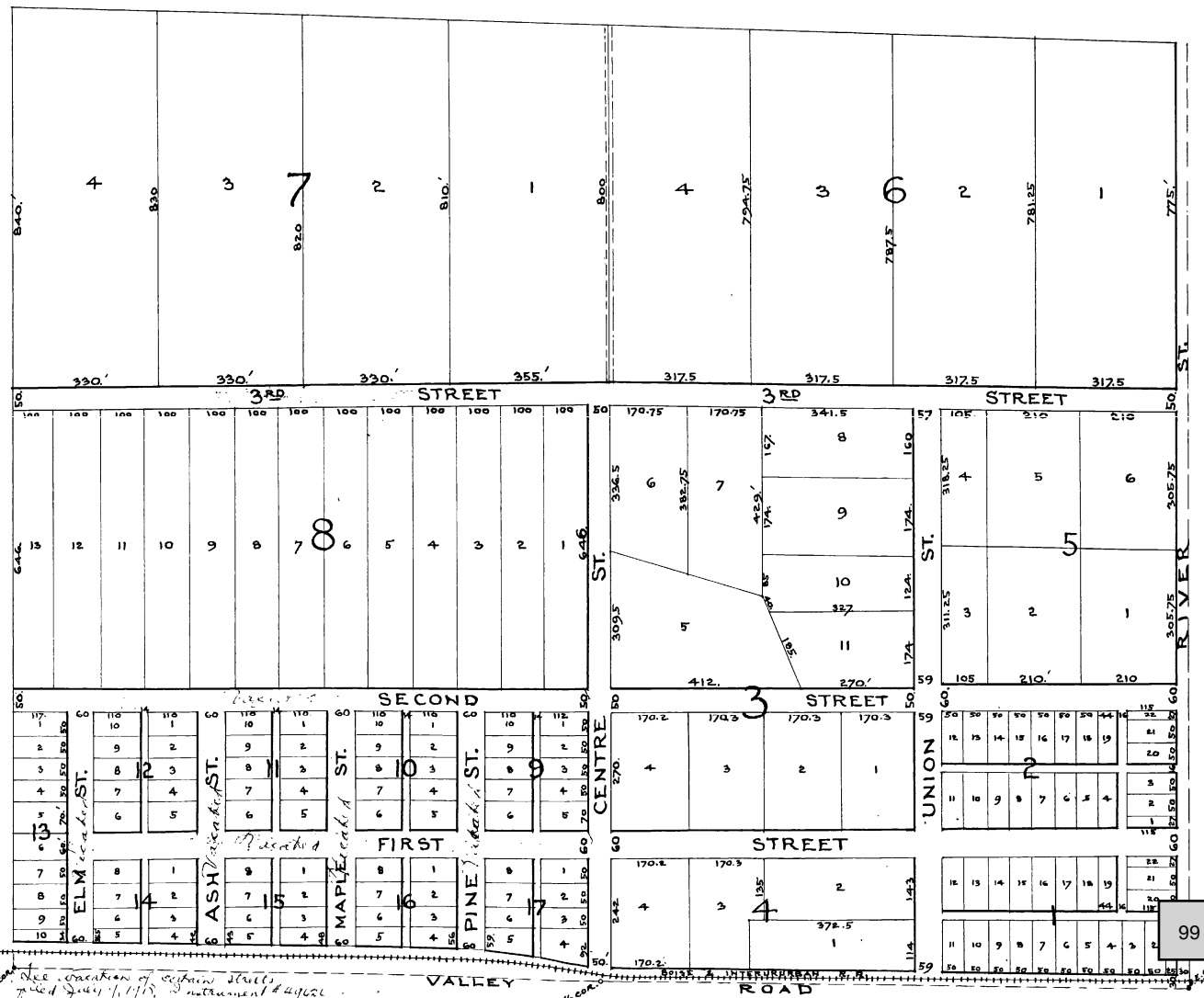
SCALE 200 FT. TO 1 INCH.

I, J. W. Almond, do hereby certify that the following is a correct description of the land included in the annexed Plat, to wit: The whole of the S. E. 1/4 of Sec. 7, T. 4 N., R. 1 W., B. M., in Ada County, State of Idaho, excepting therefrom the premises described in a certain deed from Frank Martin and Hugh E. McElroy, et al., to R. J. Freshcars filed for record in the office of the County Recorder of Ada County, State of Idaho, on May 18, 1907, and duly recorded in Book 67 of Deeds, at page 118, of the records of said office. The name of said plat is the second amended Plat of the Townsite of Star, Ada County, Idaho; and said plat includes the premises heretofore platted by said Frank Martin and Hugh E. McElroy as the original Townsite of Star, aforesaid, filed on the 17th day of December, 1903, and recorded in book 2, at page 744, of the Plat book records of said Ada County; and also the premises platted by said parties under the name of Amended Plat of the Townsite of Star, filed Nov. 27, 1906, and recorded in book 3, page 112, of the records of plats of said Ada County, State of Idaho. I further certify that said plat, except the premises included in the said original Townsite of Star, is made from actual surveys made by me and is correct; and that the part of said plat included in the original Townsite of Star is a correct copy of the original recorded plat thereof.
J. W. Almond
County Surveyor
Dated this 17th day of September, A. D. 1907.

We, Frank Martin and Hugh E. McElroy, do hereby certify that we are the owners of all the premises embraced in the foregoing second Amended Plat of the Townsite of Star, not already included in the original plat of said Townsite and in the amended plat thereof, recorded in book 3, page 112, of the record of plats of Ada County, State of Idaho. That the premises embraced in said plats, are included in this plat, in order to make certain amendments in said plats affecting property still owned by us. That the whole of the premises embraced in this plat are hereby platted as the Townsite of Star as the same appears on this second Amended Plat thereof. That we hereby dedicate the streets and alleys appearing on the annexed plat to the use of the public.
Frank Martin
Hugh E. McElroy
Dated this 17th day of September, A. D. 1907.

State of Idaho } s.s.
County of Ada }
On this 17th day of September, A. D. 1907, before me, J. S. Martin, a notary public in and for said county, personally appeared Frank Martin and Hugh E. McElroy, known to me to be the persons whose names are subscribed to the above certificate and acknowledged to me that they executed the same. In witness whereof I have hereunto set my hand and affixed my official seal, the day and year in this certificate first above written.
J. S. Martin
Notary Public (SEAL)

State of Idaho } s.s.
County of Ada }
I hereby certify that this instrument was filed for record at request of H. E. McElroy at 35 minutes past 12 o'clock P.M., this 18th day of Sept., A. D. 1907, in my office, and duly recorded in book 3 of Plat Books, at page 138.
W. S. Cuddy
Ex. Office Recorder
W. S. McReynolds
Deputy
Fees \$3.50



See location of certain streets
filed June 1, 1910. Instrument # 4922

SITE PLANS/ OVERALL SITE LAYOUT

SCALE: 1" = 20'-0"

BUILDING INFORMATION:

BRANCH FOOTPRINT: 3,000 sq. ft.
DRIVE THRU: 3 Lanes + Exit Lane
DRIVE AISLE MIN: 26'-0" (Two-Way)

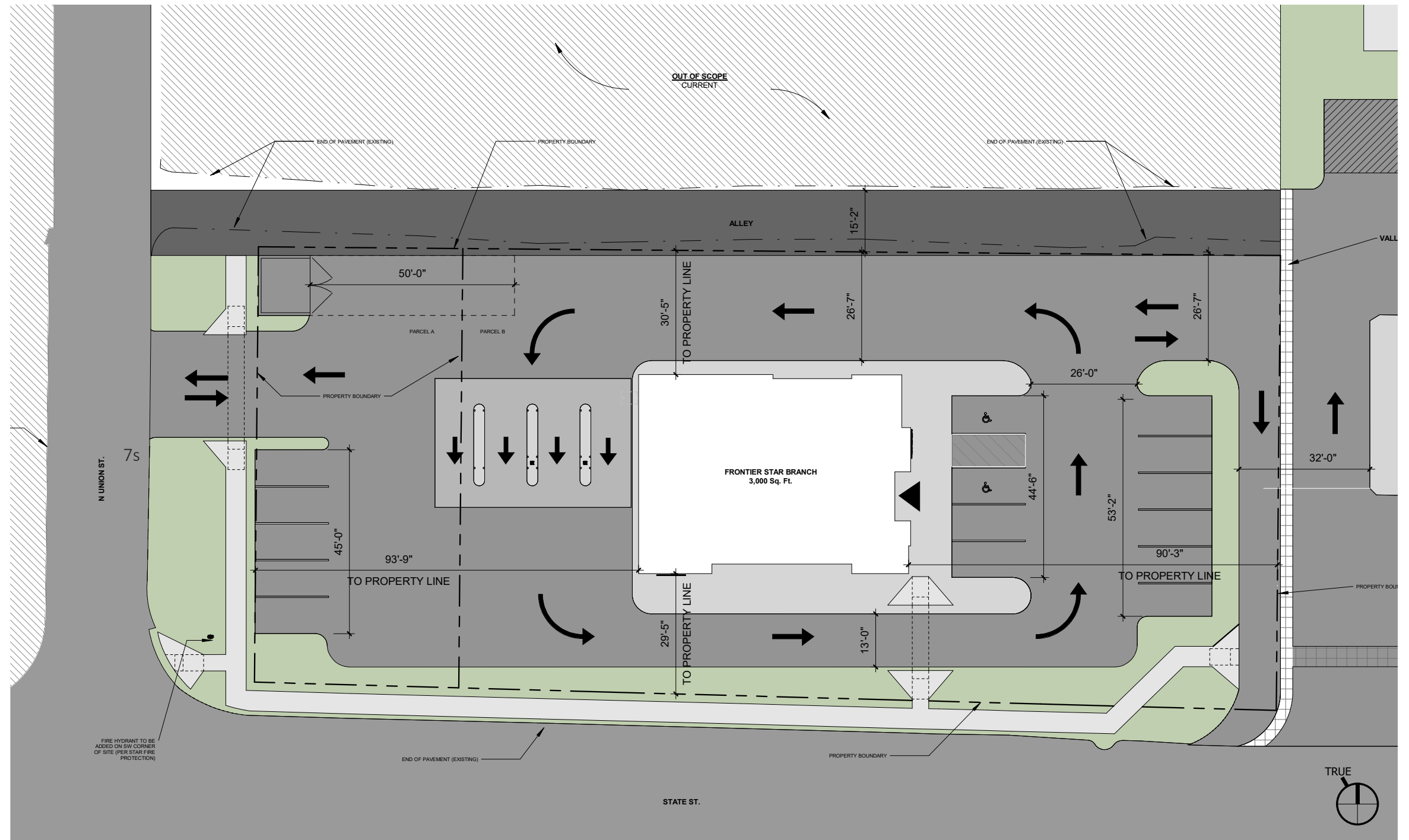
MAXIMUM LOT COVERAGE: N/A

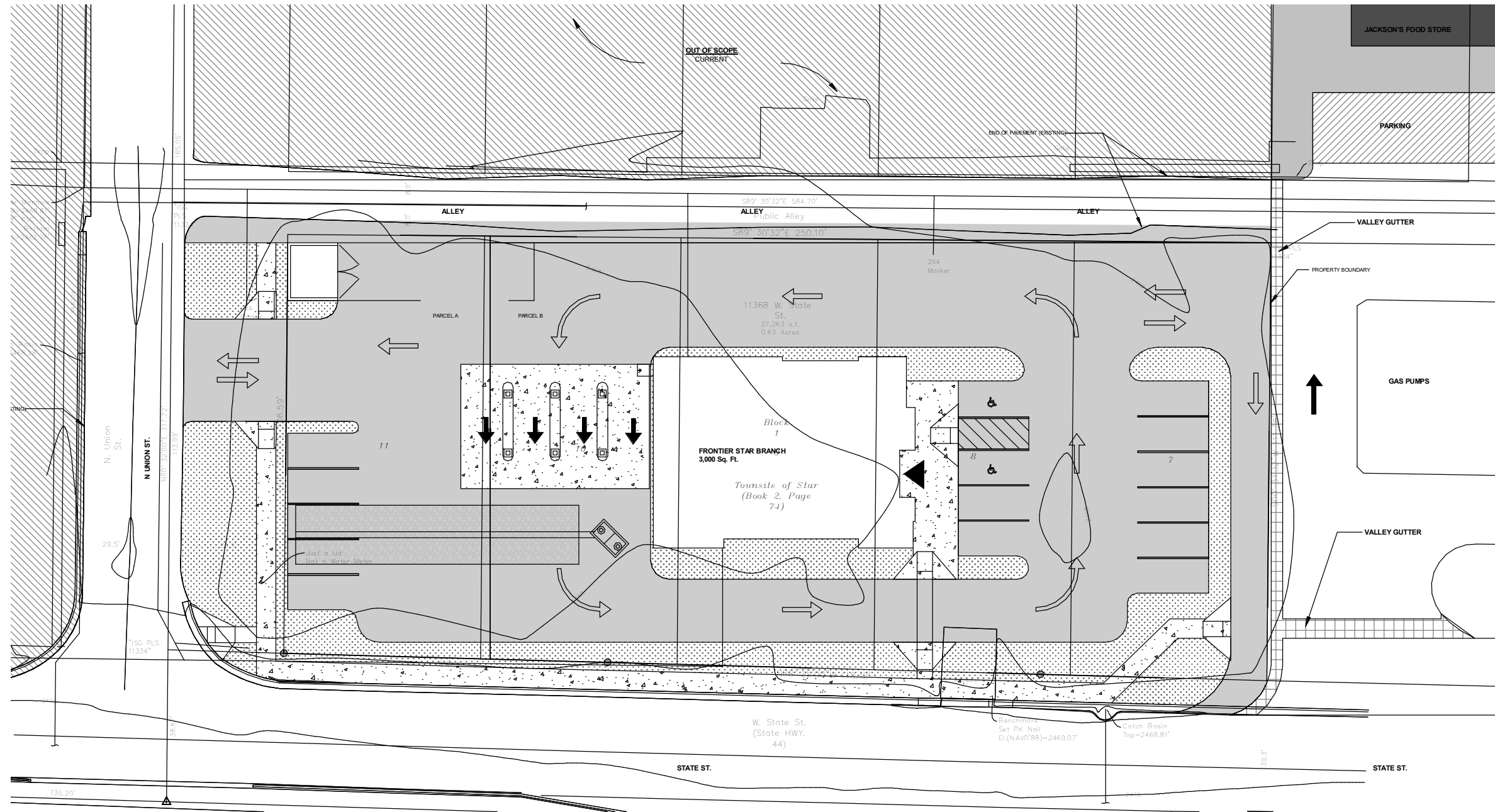
PARKING:

REQUIRED PARKING:

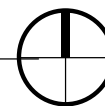
Commercial Uses: Star Building Code (8-4n-3)
(1) for each 200 square feet of gross floor area; plus,
queue for 4 cars per drive up window
Minimum Parking: **15 Stalls**
Available Parking: **15 Stalls**
Dimensions: 9' x 20.5' for 45° parking angle & 9' x 23'
for 0° parking angle
Min number of accessible parking: **2**
Available accessible parking: **2**

Required Bicycle parking: N/A





1 Civil Plan - Conditional Use Permit
 SCALE: 1" = 30'-0"



SHEET TITLE: **CIVIL SITE PLAN 12/4/2023**
 PROJECT NAME: **FRONTIER CREDIT UNION - STAR BRANCH**
 OWNER: **Owner**

COLE ARCHITECTS
 404 S 8TH ST, STE 250
 Boise, Idaho 83702
 t 208.345.1800
 colearchitects.net
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COLE
 ARCHITECTS

Section 6, Item B.

STACK ROCK GROUP
LANDSCAPE ARCHITECTURE & MASTER PLANNING

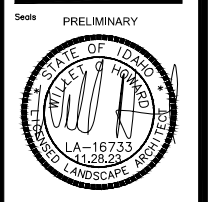
(208) 345-0500
404 S 8th St, #300A1
Boise, ID 83702
StackRockGroup.com

WILLET C HOWARD, PLA
OFFICE: (208) 345.0500 EMAIL: WILLET@STACKROCKGROUP.COM
WWW.STACKROCKGROUP.COM

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NOT FOR CONSTRUCTION

FRONTIER CREDIT UNION
STAR BRANCH
STAR, IDAHO
FRONTIER CREDIT UNION:
(800) 727-9981 / PO Box 1885, Idaho Falls, Idaho, 83403

REVISIONS		
MRK	DATE	Description
△	**	**

JOB NO: 23-2860
DATE: 11.28.2023
DRAWN BY: JB
CHECKED BY: JB

DRAWING TITLE

LANDSCAPE PLAN

SHEET NUMBER

L100 102

PLANT SCHEDULE					
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	QTY	REMARKS
TREES					
	Acer platanoides 'Parkway' / Norway Maple	B&B	2"	3	CLASS II, 25'H x 25' W
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2"	5	35'H x 35' W, CLASS II
	Liquidambar styraciflua 'Cherokee' / Cherokee Sweet Gum	B&B	2"	2	40'h x 27'w, Class II
	Tilia americana 'Sentry' / American Linden	B&B	2"	2	Class II, 45'H x 30' W
	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B & B	2"	6	35'H x 25' W, Class II
SHRUBS					
	Artemisia frigida / Fringed Sage	2 gal		26	30"h x 30"W
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal		33	30"H x 3' W
	Calamagrostis x acutiflora 'Overdam' / Overdam Feather Reed Grass	1 gal		34	6 h x 2' w
	Echinacea x 'Pow Wow White' / Pow Wow White Coneflower	2 gal		12	2' H x 2' W
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	2 gal		28	30"H x 30"W
	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	5 gal		11	15'H x 3' W
	Ligustrum x vicaryi 'NCLX1' TM / Golden Ticket Privet	5 gal		8	8'H x 8' W, Regular Pruning to 4'H & 5' W
	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	5 gal		12	6'H x 8' W
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal		8	3' H x 4' W
	Rhamnus frangula 'Fine Line' / Fine Line Buchthorn	5 gal		13	7'H x 3' W
	Rhus trilobata 'Gro Low' / Skunkbush Sumac	5 gal		9	30"H x 8' W
	Salvia nemorosa 'White Profusion' / White Profusion Meadow Sage	2 gal		11	20"H x 20"W
	Salvia x 'May Night' / May Night Sage	2 gal		8	18"H x 18"W
	Viburnum x burkwoodii / Burkwood Viburnum	5 gal		7	6 H x 8' W
	Yucca filamentosa 'Color Guard' / Adam's Needle	5 gal		26	3' h x 4' w

LANDSCAPE REQUIREMENTS:

CODE REQUIREMENTS PER CITY CODE

STREET BUFFER:
*1 TREE PER 35LF

STREET NAME	LENGTH (LF)	TREES REQUIRED	TREES PROVIDED
STATE ST	276	8	8
N UNION	121	3	3

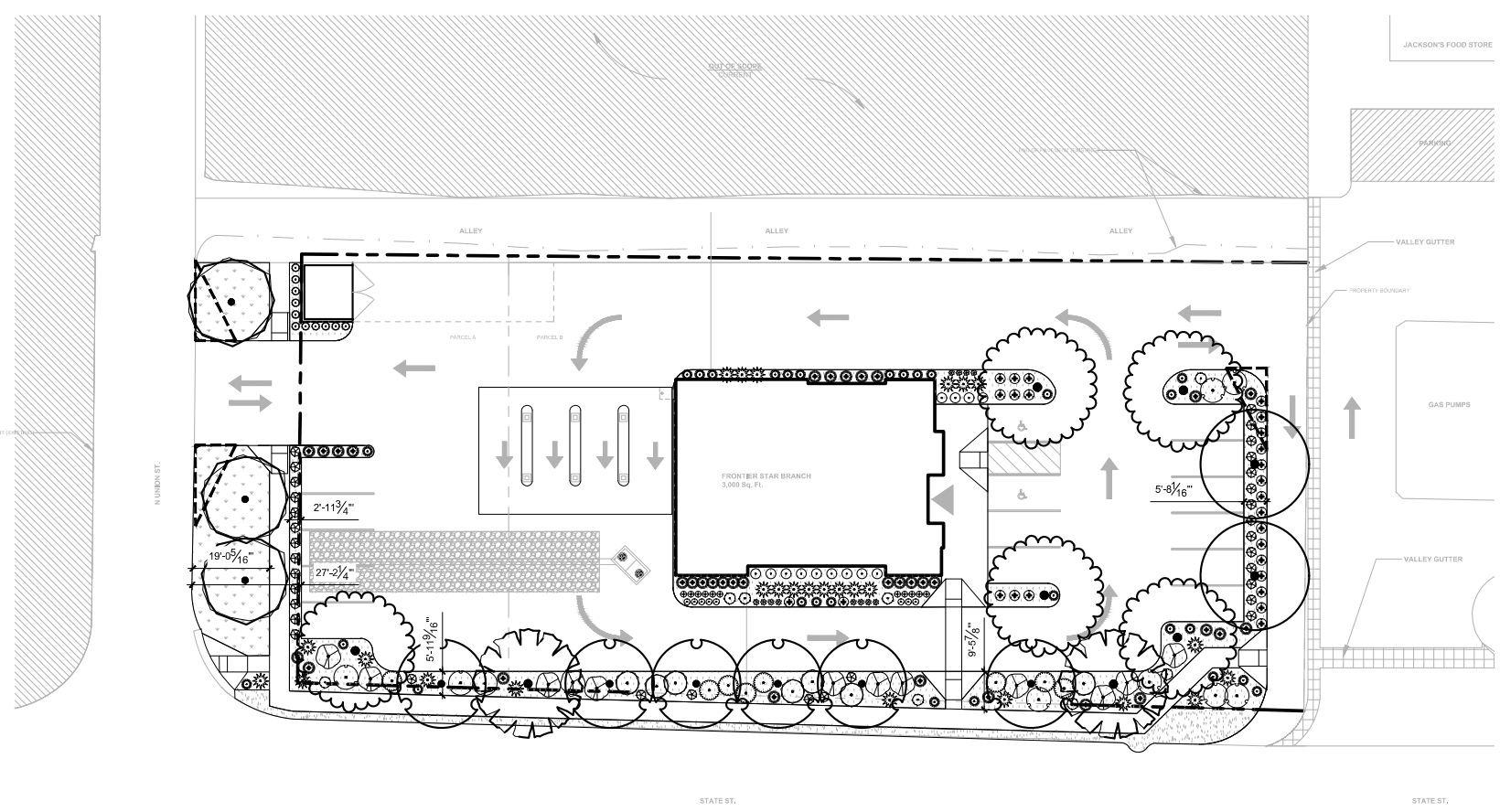
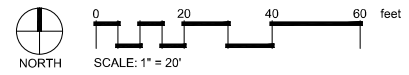
PARKING LOT:
*1 TREE PER PARKING ISLAND/TERMINAL PLANTER

MINIMUM PLANT SIZES:

PLANT TYPE	MINIMUM SIZE
EVERGREEN TREES:	6'-0" HT. MIN.
ORNAMENTAL TREES:	2" CAL PER MIN.
SHADE TREES:	2" CAL PER MIN.
WOODY SHRUBS:	2 GAL. MIN.

LEGEND:

- SODDED LAWN: TALL TURF-TYPE FESCUE, OR APPROVED OTHER
- PLANTER BED MULCH: SEE NOTE 6.1
- GRAVEL SHOULDER, PER ITD REQUIREMENTS, MATCH OPPOSITE SIDE OF STATE STREET

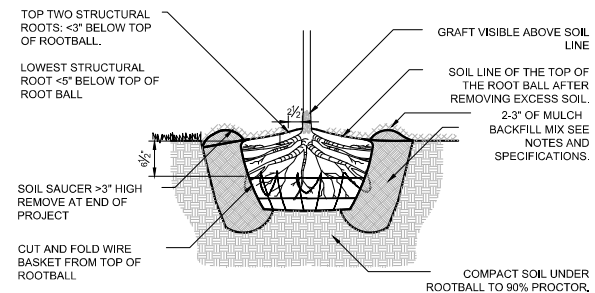


LANDSCAPE NOTES:

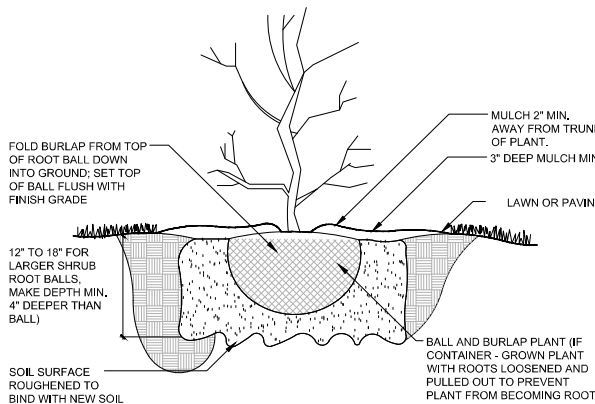
1. REGULATIONS & STANDARDS
 - 1.1. All contractor work shall be conducted in accordance with ISPCW (Idaho Standard Public Works Construction), 2020 (or most recent published); and City of STAR, ID codes, standards and state and local regulations.
2. EXISTING CONDITIONS
 - 2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
 - 2.2. The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
 - 2.3. See Engineer's plans for information about existing features.
 - 2.3.1. Refer to civil plans for all existing and/or proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.
3. GRADING & SITE PREPARATION
 - 3.1. Prepare finish grades for planting by grubbing and removing weeds, if necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
 - 3.2. All gravel overprep to be removed and disposed of off site.
 - 3.3. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
 - 3.4. Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
 - 3.5. Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
 - 3.6. No pooling or standing water will be accepted per industry standards.
4. SOILS
 - 4.1. Lawn areas shall receive 12" min depth of screened topsoil.
 - 4.2. All planter beds shall receive 18" min depth of screened topsoil.
 - 4.3. Reuse of existing topsoil that has been stockpiled on site is permitted if:
 - 4.3.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
 - 4.3.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
 - 4.3.3. Topsoil shall have a pH of 6.5 to 8.0.
 - 4.3.4. If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
 - 4.4. If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter and has a pH of 6.5-8.0.
 - 4.5. Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade .5" below adjacent surfaces.
 - 4.6. Amend all new plantings with 2 parts topsoil, 1 part compost.
5. LAWN AREAS
 - 5.1. Sodded lawn to be tall turf-type fescue, or approved other.
 - 5.2. Sodded lawn to be regionally/locally harvested, lay sod within 24 hours of harvesting.
 - 5.3. Lay sod to form a solid mass with offset, tightly fitted joints on even grades.
 - 5.4. Any existing lawn that is damaged shall be replaced with sodded lawn of the same type of existing lawn.
 - 5.5. All lawn areas adjacent to planter beds, gravel areas, or aggregate pathways shall have 4" black steel edging installed per manufacturer recommendations. Other applications to be approved by owner and landscape architect.
 - 5.6. Lawn adjacent to buildings, structures shall be a minimum of 18" away from foundations. Lawn adjacent to fences or other screening elements shall be a minimum of 9" away.
 - 5.6.1. Install 3/4" chips or other approved gravel mulch type in mow strip at a depth of 3" over commercial grade weed barrier fabric installed per manufacturer recommendations.
 - 5.7. Provide tree rings with a minimum 3' diameter around all trees located in lawn, mulch type & installation/application to match all other planter beds.
6. PLANTER BED MULCH
 - 6.1. All planter beds to receive 3" depth of black & tan mini rock mulch or approved equal, submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.
7. PLANTS
 - 7.1. All plant material shall be installed per industry standards.
 - 7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
 - 7.3. All Ball and Burlap trees to be installed per Balled and Burlapped planting detail. All shrubs to be installed per detail.
 - 7.4. Trees and shrubs over 30" shall not be planted within clear vision triangles.
 - 7.5. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.
8. IRRIGATION
 - 8.1. Irrigation system shall be built to the following specifications:
 - 8.2. Adhere to city codes when connecting to city water.
 - 8.3. All irrigation material to be new with manufacturers' warranty fully intact.
 - 8.4. Install outdoor rated controller in specified location on plan, in a lock box with 2 keys. Coordinate with project manager and general contractor on exact location.
 - 8.4.1. Controller to have On/Off rain switch or rain shut off device that does not alter program.
 - 8.5. All remote control valves (including master control valve) to have flow control device.
 - 8.6. Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
 - 8.7. All pipe above 3" caliber to be gasketed, with approved joint restraints at all 45, TEE, ELL, 22, 11.
 - 8.8. Use common trenching where possible.
 - 8.9. All PVC located under hardscapes to be schedule 40 PVC with same req's as above.
 - 8.10. All wires to be Paige wire 7350 or 7351 direct bury wire at a minimum of 12" below finished grade.
 - 8.11. Connect mainline to point of connection in approximate location shown on plan.
 - 8.12. Contractor is responsible complying with all codes and paying all permits necessary.
 - 8.13. Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
 - 8.14. All drip irrigation to be buried 2" below finished grade.
 - 8.15. Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.
 - 8.16. Install all irrigation per irrigation drawings, utilize material specified or approved equal.
 - 8.17. Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 80 psi.
 - 8.18. If any discrepancies are found, then local codes shall prevail.
9. CONTRACTOR RESPONSIBILITIES
 - 9.1. Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
 - 9.2. All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
 - 9.3. Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"=20" scale are turned in and approved by owner's representative.
 10. In the event of a discrepancy, notify the Landscape Architect immediately.

- NOTES:**
1. DO NOT DAMAGE OR CUT LEADER
 2. DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
 3. TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR, HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTEE PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
 4. WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
 5. REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP 1/2 OF THE ROOTBALL.
 6. 5" DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.

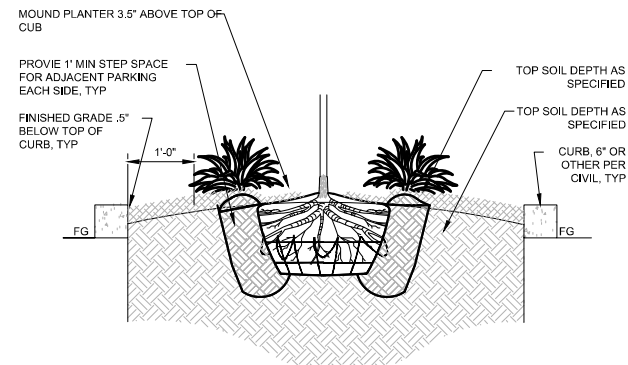
- NOTE:**
- REMOVE ALL TAGS, TWINE OR OTHER NON BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.
- BACKFILL SHALL BE 100% TOPSOIL. WATER SETTLE ALL PLANTINGS TO ENSURE PLANT ROOTBALL MAINTAINS 1/2" HEIGHT ABOVE EXISTING SOILS WHEN COMPLETE.**



1 BALL & BURLAP TREE PLANTING
3/4" = 1'-0" 3293-01



2 SHRUB PLANTING
1" = 1'-0" 329333-03



3 PLANTER ISLAND DETAIL
3/4" = 1'-0" P-CO-01

Section 6, Item B.

STACK ROCK GROUP
LANDSCAPE ARCHITECTURE & MASTER PLANNING
(208) 345-0500
404 S 8th St, #300A1
Boise, ID 83702
StackRockGroup.com
WILLET C HOWARD, PLA
OFFICE: (208) 345.0500 EMAIL: WILL@STACKROCKGROUP.COM
WWW.STACKROCKGROUP.COM

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Scale: PRELIMINARY



NOT FOR CONSTRUCTION

FRONTIER CREDIT UNION
STAR BRANCH
STAR, IDAHO
FRONTIER CREDIT UNION: (800) 727-9981 / PO Box 18865, Idaho Falls, Idaho, 83403

REVISIONS	
MRK	Description
▲	
**	
**	

JOB NO:	23-2860
DATE:	11.28.2023
DRAWN BY:	JB
CHECKED BY:	JB

DRAWING TITLE

LANDSCAPE NOTES & DETAILS

SHEET NUMBER

L150 103

P - CITY REVIEW SET

CONCEPT MASSING/ ELEVATION EAST-WEST



EAST ELEVATION - ENTRANCE (ELEV. 01)



WEST ELEVATION - DRIVE THROUGH (ELEV. 03)

CONCEPT MASSING/ ELEVATION SOUTH-NORTH



SOUTH ELEVATION - FROM STATE ST. (ELEV. 02)



NORTH ELEVATION - FROM ALLEY (ELEV. 04)

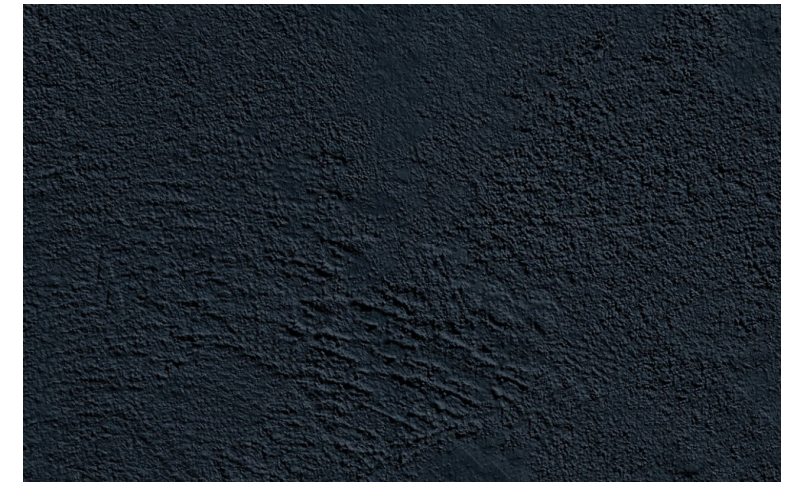
MATERIALS



WHITE LIMESTONE NATURAL STONE
(WHITE WITH RUSTS AND CREAMS)



FIBER CEMENT WOOD GRAIN PLANKS
(NICHHA/ REDWOOD VINTAGEWOOD)



DARK NAVY STUCCO



ALT. MATERIAL
DARK GRAY TILES
(NICHHA/ SLATE NOVENARY)



ALT. MATERIAL
WHITE BRUSHED STUCCO



Middleton Star Fire Districts

Headquarters • 11665 W. State St., Suite B • Star, ID 83669 • (208) 286-7772 • www.midstarfire.org

Date: January 30, 2024
To: City of Star Planning & Zoning
From: Victor Islas, Deputy Chief
Subject: Fire District Comments
File: Frontier Credit Union CUP
CU-23-09 Conditional Use

The Star Fire Protection District has reviewed documents provided by the City of Star on December 19, 2023; comments are as follows:

- 1. OVERVIEW:
 - a. This development can be serviced by the Star Fire Protection District. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.

- 2. FIRE COVERAGE:
 - a. This development will be served by the Star Fire Protection District Station 51, located at 11665 W. State St., Star, Idaho 83669. Station 51 is 0.2 miles with a travel time of 2 minutes under ideal driving conditions to the entrance of the development.

- 3. ADDITIONAL COMMENTS:
 - a. An additional review will be conducted during the site construction drawings and building permit phase of this project. At that time the project will comply with the current Fire Code and Codes set forth by the City of Star.

 - b. It shall be the responsibly of the applicant to submit appropriate applications and supporting documents to the Fire District for review. Fire District review fees will apply.



Project/File: **Frontier Credit Union / STAR24-0001 / CU-23-09**
 This is a conditional use application for the development of a financial institution with a drive-thru on 0.72-acres.

Lead Agency: City of Star

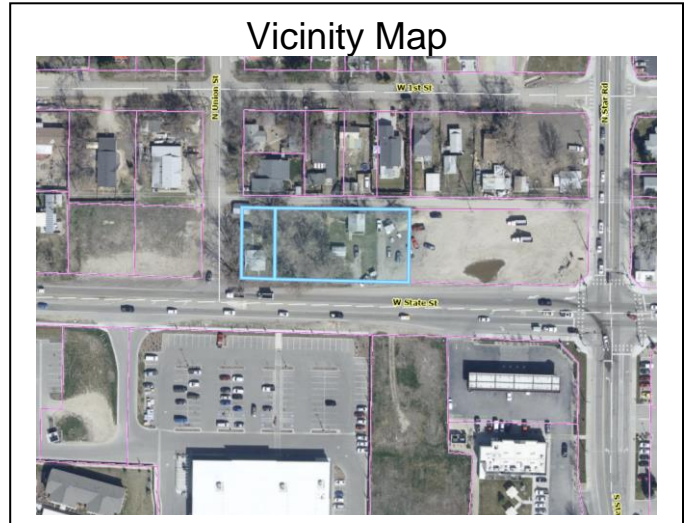
Site address: 11368 & 11352 W State Street

Staff Approval: January 25, 2024

Applicant: Frontier Credit Union, via email
 11368-11352 W State Street
 Star, ID 84699

Representative: Henry Prendergast, via email
 Cole Architects
 404 S 8th Street, Suite 250
 Boise, ID 83702

Staff Contact: KaraLeigh Troyer
 Phone: 387-6391
 E-mail: ktroyer@achdidaho.org



A. Findings of Fact

1. **Description of Application:** The application is requesting approval of a conditional use application for the development of a 3,100-square foot financial institution with a drive-thru on 0.72-acres. This project is consistent with the City of Star’s Future Land Use Map which designates this area as a Central Business District.

2. **Description of Adjacent Surrounding Area:**

Direction	Land Use	Zoning
North	Central Business District; Residential	CBD; R-4
South	General Commercial; Residential; Central Business District	C-2; R-8; CBD
East	Central Business District	CBD
West	Central Business District; Residential	CBD; R-8

3. **Site History:** ACHD has not previously reviewed this site for a development application.
4. **Adjacent Development:** The following developments are pending or underway in the vicinity of the site:
- Alturas Capital, a 4,000 square-foot retail building, west of the site, January 18, 2022.
 - Jacksons Food Store, a convenience store with 6 fuel stations, east of the site, February 2, 2023.
5. **Transit:** Transit services are not available to serve this site.

6. Pathway Crossings: United States Access Board R304.5.1.2 Shared Use Paths. In shared use paths, the width of curb ramps runs and blended transitions shall be equal to the width of the shared use path.

AASHTO's Guidelines for the Development of Bicycle Facilities 5.3.5 Other Intersection Treatments: The opening of a shared use path at the roadway should be at least the same width as the shared use path itself. If a curb ramp is provided, the ramp should be the full width of the path, not including any flared sides if utilized. . . . Detectable warnings should be placed across the full width of the ramp.

FHWA's "Designing Sidewalks and Trails for Access" (1999) reflected common ADA-related concepts: Chapter 6, Page 16-6: The width of the ramp should be at least as wide as the average width of the trail to improve safety for users who will be traveling at various speeds. In addition, the overall width of the trail should be increased, so the curb ramp can be slightly offset to the side. The increased width reduces conflict at the intersection by providing more space for users at the bottom of the ramp.

7. New Center Lane Miles: The proposed development includes 0 centerline miles of new public road.

8. Impact Fees: There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.

9. Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):

- Star Road is scheduled in the IFYWP to be widened to 5-lanes from Chinden Boulevard to SH-44 (State Street) in with a design, right-of-way, and construction year in the future.
- The intersection of State Street (SH-44) and Star Road is scheduled in the CIP to be widened to 4-lanes on the north leg, 5-lanes on the south, 6-lanes east, and 6-lanes on the west leg, and reconstructed between 2026-2030.

10. Roadways to Bikeways Master Plan: ACHD's Roadways to Bikeways Master Plan (BMP) was adopted by the ACHD Commission in May of 2009 and was update in 2018. The plan seeks to implement the Planned Bicycle Network to support bicycling as a viable transportation option for Ada County residents with a wide range of ages and abilities, maintain bicycle routes in a state of good repair in order to ensure they are consistently available for use, promote awareness of existing bicycle routes and features and support encouragement programs and to facilitate coordination and cooperation among local jurisdictions in implementing the Roadways to Bikeways Plan recommendations.

B. Traffic Findings for Consideration

1. Trip Generation: This development is estimated to generate 354 additional vehicle trips per day (19 existing); 79 additional vehicle trips per hour in the PM peak hour (2 existing), based on the Institute of Transportation Engineers Trip Generation Manual, 11th edition.

2. Condition of Area Roadways

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
SH-44/State Street	250-feet	Principal Arterial	675	N/A
Union Street	105-feet	Local	N/A	N/A

** ACHD does not set level of service thresholds for State Highways or local roadways.

3. Average Daily Traffic Count (VDT)

Average daily traffic counts are based on ACHD's most current traffic counts.

- The average daily traffic count for SH-44 east of Can Ada Road was 14,057 on April 20, 2022.
- There are no existing average daily traffic counts for Union Street.

C. Findings for Consideration

1. State Highway SH-44/State Street

SH-44/State Street is under the jurisdiction of the Idaho Transportation Department (ITD). The applicant, City of Star, and ITD should work together to determine if additional right-of-way or improvements are necessary on SH-44/State Street.

2. Union Street

a. Existing Conditions: Union Street is improved with 2-travel lanes, 26-feet of pavement, and no curb, gutter or sidewalk abutting the site. There is 59-feet of right-of-way for Union Street (33-feet from centerline).

b. Policy:

Commercial Roadway Policy: District Policy 7208.2.1 states that the developer is responsible for improving all commercial street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7208.5 states that right-of-way widths for new commercial streets shall typically be 50 and 70-feet wide and that the standard street section will vary depending on the need for a center turn lane, bike lanes, volumes, percentage of truck traffic, and/or on-street parking.

- A 36-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and on-street parking.
- A 40-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and a center turn lane.
- A 46-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and a center turn lane and bike lanes.

Sidewalk Policy: District Policy 7208.5.6 requires a concrete sidewalks at least 5-feet wide to be constructed on both sides of all commercial streets. If a separated sidewalk is proposed, a parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Half Street Policy: District Policy 7208.2.2 required improvements shall consist of pavement widening to one-half the required width, including curb, gutter and concrete sidewalk (minimum 5-feet), plus 12-feet of additional pavement widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. A 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff shall be constructed on the unimproved side.

c. Applicant's Proposal: The applicant is proposing to construct an 18-foot wide planter strip and 5-foot wide detached concrete sidewalk located 32-feet east of Union Street (measured centerline to front edge of pavement).

- d. **Staff Comments/Recommendations:** The applicant's proposal meets District policy and should be approved, as proposed. The applicant should be required to construct Union Street as ½ of a 36-foot wide commercial street with vertical curb and gutter.

For detached sidewalk, the applicant should be required to provide a permanent right-of-way easement from the right-of-way line to 2-feet behind back of sidewalk.

3. Alleys

- a. **Existing Conditions:** There is an existing 13-foot wide paved alley within 18-feet of right-of-way abutting the site running east/west between Union Street and Star Road.

b. **Policy:**

Existing Alley Policy: District Policy 7210.2 states that if a proposed development abuts an existing alley, the dedication of additional right-of-way to obtain a minimum width from the centerline of the alley of 8-feet for residential uses and 10-feet for non-residential or commercial uses may be required. Each development will be reviewed by the District on a case-by-case basis. If the proposed development takes access from an alley, the developer will be required to pave the entire width of the right-of-way from the nearest public street to and abutting the development.

Alley Parking & Setbacks Policy: District Policy 7210.3.3 states that parking within the alley right-of-way is prohibited. "No Parking" signs are required to be installed by the developer. The signs should be located at the alley/street intersections. Parking which is entered from the alley shall be designed so the minimum clear distance from the back of the parking stall to the opposite side of the alley is 20-feet for all perpendicular parking.

Setbacks for structures taking access from the alley should be closely coordinated with the lead land use agency. The setbacks shall either discourage parking within the alley (where it may partially block or occur within the right-of-way) or allow adequate area for one perpendicular parking pad. In order to discourage parking, building setbacks shall be minimal from the alley right-of-way line, while still achieving the required 20-feet of back-up space from a garage or other parking structure to the opposite side of the alley (i.e. 4-foot setback + 16-foot alley= 20-feet for back-up space).

Alley/Local Street Intersections Policy: District Policy 7210.3.7.2 states that alleys may intersect all types of local streets including minor local streets. Alleys shall generally be designed with a curb cut type approach when intersecting a local street. Alleys shall generally intersect streets in the middle of the block equally offsetting the intersecting streets. Alleys shall either align with alley/street intersections or provide a minimum 100-foot offset (measured centerline to centerline) from other local street intersections. For alley intersections with local streets, the District may consider a reduced offset if the lead land use agency's required lot size allows for shorter buildable lots.

Vacations of Alleys Policy: District Policy 7210.3.6 states that vacations of alley right-of-way are discouraged and shall not result in dead-end alleys.

- c. **Applicant Proposal:** The applicant is proposing to pave the alley its full width from the edge of pavement on Union Street to the site's east property line.
- d. **Staff Comments/Recommendations:** The applicant's proposal meets District policy and should be approved, as proposed.

The applicant should be required to install "No Parking" signs at the alley/Union Street intersection.

4. Driveways

4.1 Union Street

a. **Existing Conditions:** There is an existing 35-foot wide unimproved driveway from the site onto Union Street located 128-feet north of State Street (measured centerline to centerline).

b. **Policy:**

Driveway Location Policy: District policy 7208.4.1 requires driveways near intersections to be located a minimum of 75-feet (measured centerline-to-centerline) from the nearest local street intersection, and 150-feet from the nearest collector/arterial or arterial street intersection.

Successive Driveways: District Policy 7208.4.1 states that successive driveways away from an intersection shall have no minimum spacing requirements for access points along a local street, but the District does encourage shared access points where appropriate.

Driveway Width Policy: District policy 7208.4.3 restricts commercial driveways to a maximum width of 40-feet. Most commercial driveways will be constructed as curb-cut type facilities.

Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7208.4.3, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway.

Driveway Design Requirements: District policy 7208.4.3 states if an access point is to be gated, the gate or keypad (whichever is closer) shall be located a minimum of 50-feet from the near edge of the intersection and a turnaround shall be provided.

c. **Applicant's Proposal:** The applicant is proposing to close the existing driveway onto Union Street with sidewalk.

The applicant is proposing to construct a 26-foot wide driveway from the site onto Union Street located 115-feet north of State Street/SH-44 (measured centerline to centerline).

d. **Staff Comments/Recommendations:** The applicant's proposal meets District policy and should be approved, as proposed. The applicant should be required to close the existing driveway with vertical curb, gutter, and sidewalk.

5. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

6. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

D. Site Specific Conditions of Approval

1. Construct Union Street as ½ of a 36-foot wide commercial street with vertical curb, gutter, and 5-foot wide concrete sidewalk.

2. Provide a permanent right-of-way easement from the right-of-way line to 2-feet behind back of sidewalk.
3. Pave the alley its full width from the edge of pavement on Union Street to the site's east property line.
4. Install "No Parking" signs at the alley/Union Street intersection.
5. Close the existing 35-foot wide driveway onto Union Street located 128-feet north of State Street with vertical curb, gutter, and sidewalk.
6. Construct a 28-foot wide driveway onto Union Street located 115-feet north of State Street/SH-44.
7. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
8. Payment of impact fees is due prior to issuance of a building permit.
9. Comply with all Standard Conditions of Approval.

E. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.

11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

F. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

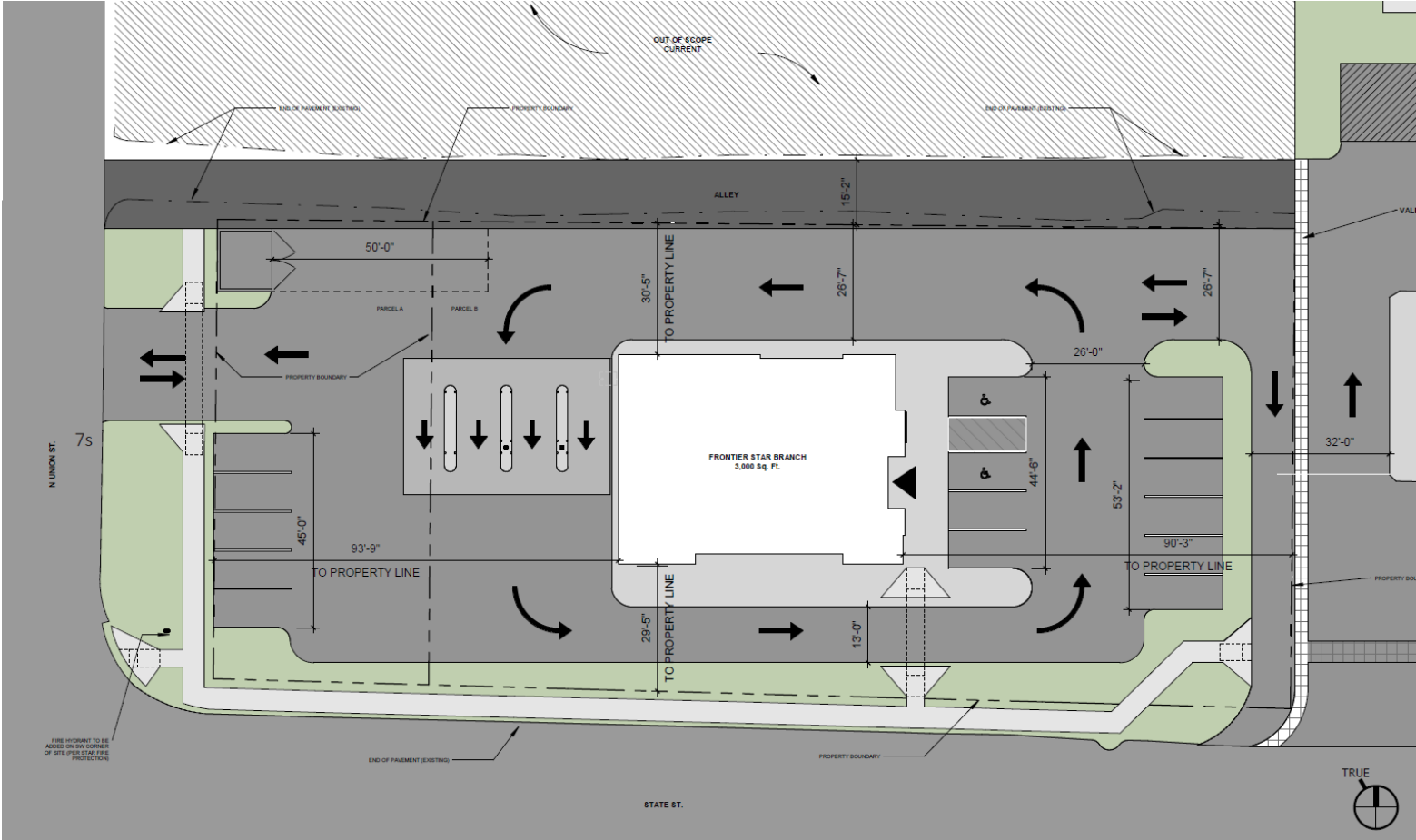
G. Attachments

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Appeal Guidelines

VICINITY MAP



SITE PLAN



Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Development Process Checklist

Items Completed to Date:

- Submit a development application to a City or to Ada County
- The City or the County will transmit the development application to ACHD
- The ACHD **Planning Review Section** will receive the development application to review
- The **Planning Review Section** will do one of the following:
 - Send a **“No Review”** letter to the applicant stating that there are no site specific conditions of approval at this time.
 - Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
 - Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

Items to be completed by Applicant:

- For **ALL** development applications, including those receiving a **“No Review”** letter:
 - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
 - The applicant is required to get a permit from Construction Services (ACHD) for **ANY** work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

DID YOU REMEMBER:

Construction (Non-Subdivisions)

Driveway or Property Approach(s)

- Submit a “Driveway Approach Request” form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.

Working in the ACHD Right-of-Way

- Four business days prior to starting work have a bonded contractor submit a “Temporary Highway Use Permit Application” to ACHD Construction – Permits along with:
 - a) Traffic Control Plan
 - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50’ or you are placing >600 sf of concrete or asphalt.

Construction (Subdivisions)

Sediment & Erosion Submittal

- At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.

Idaho Power Company

- Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.

- Final Approval from Development Services is required** prior to scheduling a Pre-Con.

Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.



**Your Safety • Your Mobility
Your Economic Opportunity**

IDAHO TRANSPORTATION DEPARTMENT
P.O. Box 8028 • Boise, ID 83707-2028
(208) 334-8300 • itd.idaho.gov

January 8, 2024

Shawn Nickel
Planning Director and Zoning Administrator
City of Star
10769 West State Street
Star, Idaho 83669

VIA EMAIL

Development Application	CU-23-09
Project Name	Frontier Credit Union CUP
Project Location	11368 & 11352 W. State Street; Star, ID
Project Description	Financial Institution with 3-Lane Drive-Thru
Applicant	Henry Prendergast; Cole Architects

The Idaho Transportation Department (ITD) reviewed the referenced application(s) and has the following comments:

1. This project abuts the State Highway system.
2. Per the Idaho Administrative Procedures Act (IDAPA) 39.03.42.400.07(b) developments should, if possible, take access from local roads. If a development wants direct access to the State Highway system but there is local road access available, the applicant must prove the need for an access on the State Highway system with a Traffic Impact Study.
3. This parcel has access to the SH-44 via North Union Street. Therefore, it is recommended that direct access not be granted to SH-44. Applicant is encouraged to coordinate with neighboring parcel to the east to see if cross access is possible. However, as stated in para 2., if a TIS proves the need for the access, ITD may reconsider.

If you have any questions, you may contact me at (208)334-8337.

Sincerely,

Niki Benyakhlef
Development Services Coordinator
Niki.Benyakhlef@itd.idaho.gov

City of Star

P.O. Box 130
Star, Idaho 83669
208-286-7247
Fax 208-286-7569

www.staridaho.org



Mayor:
Trevor A. Chadwick

Council:
Kevin Nielsen
Jennifer Salmonsens
Kevan Wheelock
David Hershey

17 January 2024

Henry Prendergast
Cole Architects
404 S 8th St Ste 250
Boise, ID 83702

Re: Frontier Credit Union – CUP Application

Dear Mr. Prendergast

The City of Star Engineering Department has reviewed the CUP for the Frontier Credit Union December 05, 2023. We reviewed the applicant's package to check conformance with the City's Subdivision Ordinance and coordinated our review with Shawn L. Nickel. We have the following comments and questions based on our review.

1. The sidewalk along State Street shall be a separated sidewalk for the entirety of the property. Prosed drawings show attached sidewalk for most of the frontage.
2. Streetlights shall be installed every 100 feet along State Street. Street lighting shall be in accordance with ISPWC and the City of Star Supplementals. Cut sheet for lights and light poles shall be approved in writing by the City prior to installation.
3. Parking Stalls shall be 20-foot in depth. A 2-foot overhang is allowed if sidewalk adjacent is a minimum of 6 wide to allow for accessibility or adjacent landscaping is low profile (grass/landscape rook) for the first 2 feet.
4. It appears the drive through canopy crosses over a property. Buildings cannot be located on two parcels. A lot line adjustment must be done prior to building permit approval.
5. Potable water cannot be used for irrigation purposes. A separate pressure irrigation system will be required.

6. Finish grades at subdivision boundaries shall match existing finish grades. Runoff shall be maintained on subdivision property unless otherwise approved.
7. Applicant shall meet the requirements of utilities companies that serve the property. Easements for sewer/water facilities will be required where placed outside of public right of way.

We recommend that the conditions 1 through 4 listed above be addressed prior to approval. Any variance or waivers to the City of Star standards, ordinances, or policies must be specifically approved in writing by the City. Approval of the above-referenced project does not relieve the Registered Professional Land Surveyor or the Registered Professional Engineer of those responsibilities.

If you have any questions, please do not hesitate to contact City Hall

Sincerely,



Ryan V. Morgan, P.E.
City Engineer

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **February 6th, 2024**, at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Milepost Commons Subdivision
Files #'s PP-23-05 Preliminary Plat
DA-23-07 Development Agreement

Representative: Kyle Prewett, Toll Brothers

Owner: Toll West, Inc

Action: The Applicant is requesting approval of a Preliminary Plat (PP-23-05) and Development Agreement for a proposed residential subdivision consisting of 72 residential lots and 11 common lots. The property is located at 2400 N. Pollard Lane in Star, Ada County, Idaho, and consists of 19.93 acres with a proposed density of 3.6 dwelling units per acre.

Property Location: The subject property is generally located on the east side of N. Pollard Lane between W. Beacon Light Road and W. Broken Arrow Street. Ada County Parcel No. S0404244210.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org

Star Sewer & Water District

P.O. Box 400 ★ 10831 W. State Street. ★ Star, ID 83669
(208) 286-7388 • Fax (208) 286-7361

January 24, 2024

City of Star
P.O. Box 130
Star, ID 83669

Star Sewer & Water District is selling the following vehicle and is offering the first right of refusal to the City of Star.

Vehicle information:

Year: 2019
Make: Ford
Model: F150 Regular Cab
VIN: 1FTMF1EB1KKD27143
Drivetrain: 4WD
Price: \$13,000
miles: 58,000+

If you have any questions or need additional information, please contact Hank Day at 208-631-8588.

Thank you,
Terra Estrada
Star Sewer & Water District