



CITY COUNCIL REGULAR MEETING AGENDA

City Hall - 10769 W State Street, Star, Idaho
Tuesday, February 04, 2025 at 7:00 PM

PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.

1. **CALL TO ORDER** – Welcome/Pledge of Allegiance
2. **INVOCATION** – Associate Pastor Nathan Held, Calvary Star Church
3. **ROLL CALL**
4. **PRESENTATIONS**
5. **CONSENT AGENDA (ACTION ITEM)** **All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*
 - [A.](#) **Approval of Claims**
 - [B.](#) **Approval of Minutes: December 17, 2024**
 - [C.](#) **Approval of Minutes: January 21, 2025**
 - [D.](#) **Lake Haven Subdivision Final Plat**
 - [E.](#) **Milepost Commons #1 Subdivision Final Plat**
 - [F.](#) **Addington #1 Subdivision Final Plat**
6. **PUBLIC HEARINGS with ACTION ITEMS:**
 - [A.](#) **PUBLIC HEARING: Pollard Elementary School Conditional Use Permit (CU-24-09)** The Applicant is requesting approval of a Conditional Use Permit for a proposed new elementary school. The subject property is generally located on the west side of N. Pollard Lane, south of Beacon Light Road and adjacent to the Star Middle School. Ada County Parcel No. R7747350415. **(ACTION ITEM)**
7. **ACTION ITEMS:**(The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
 - A. Playground Equipment Replacement at Blake Park (ACTION ITEM)**
8. **ADJOURNMENT**



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The meeting can be viewed via a link posted to the City of Star website at staridaho.org. Information on how to participate in a public hearing remotely will be posted to staridaho.org under the meeting information. The public is always welcomed to submit comments in writing.

Land Use Public Hearing Process

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Applicant has up to **20 minutes** to present their project

Council can ask the applicant questions and staff questions

Public Testimony (**3 minutes per person**)

1. Those for the project speak
2. Those against the project speak
3. Those who are neither for or against but wish to speak to the project
4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick

CITY OF STAR

1099 Vendor Detail Query

For checks paid between: 01/17/25 to 01/29/25

Section 5, Item A.

Vendor Name	Doc #	Invoice #/Description	Date	Warrant Amount	Inv Date	Period	Fund	Org	Account	Object
ADA COUNTY LANDFILL	CL 4617	59349 Landfill Fees	01/17/25	23785 15.00	01/06/25	1/25	10	0	41595	831
ADA COUNTY LANDFILL	CL 4625	63532 Landfill Fees	01/23/25	23790 15.00	01/16/25	1/25	10	0	41595	831
ADVANCED SIGN LLC	CL 4624	*00013417 City Hall Lettering	01/23/25	-99371 1,245.00	01/21/25	1/25	10	555	41540	434
BOISE DRYWALL SERVICES	CL 4628	0000136 Drywall and Texturing	01/23/25	23791 3,900.00	01/21/25	1/25	10	0	45110	755
BOISE PLH, LLC	CL 4627	20248391 Refund Double Charge	01/23/25	23792 50.00	01/23/25	1/25	10	0	40700	884
DANA PARTRIDGE	CL 4613	Services 01/03/25 to 01/16/25	01/17/25	-99377 2,950.34	01/17/25	1/25	10	0	41740	565
DEX IMAGING	CL 4633	AR12632024 Monthly Copier Lease	01/23/25	-99367 249.61	01/17/25	1/25	10	0	42200	374
FIREWORKS & STAGE FX AMERICA LLC	CL 4619	22475 Fireworks Display NYE Balance	01/17/25	23786 3,000.00	09/18/24	1/25	10	61	45000	598
FLAG STORE OF IDAHO	CL 4629	2946 New Flag City Hall	01/23/25	-99370 52.80	01/14/25	1/25	10	0	41580	445
GARRETT PARKS AND PLAY	CL 4620	4064 Rubber Mulch Pavillion Park	01/17/25	23787 176,217.00	01/13/25	1/25	10	0	45100	738
HERITAGE LANDSCAPE SUPPLY GROUP	CL 4630	*9955-001 Irrigation Maintenane	01/23/25	-99369 190.21	01/13/25	1/25	10	565	41550	435
HERITAGE LANDSCAPE SUPPLY GROUP	CL 4630	*4356-001 Irrigation Maintenane	01/23/25	-99369 2,240.68	01/10/25	1/25	10	565	41550	435
HIGHWAY DISTRICT NO. 4	CL 4650	HD4 Interest	01/29/25	23803 9.50	12/31/24	1/25	10	0	47500	501
HIGHWAY DISTRICT NO. 4	CL 4650	HD4 Penalty	01/29/25	23803 0.78	12/31/24	1/25	10	0	47500	501
HIGHWAY DISTRICT NO. 4	CL 4650	HD4 Property Tax	01/29/25	23803 39.51	12/31/24	1/25	10	0	47500	501
HIGHWAY DISTRICT NO. 4	CL 4652	CHD4 Impact Fees 8/1-12/31/24	01/29/25	23803 75,750.00	01/29/25	1/25	10	0	40000	732
IDAHO POWER COMPANY	CL 4611	0033207654 11665 W State St A	01/17/25	-99379 240.46	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0033157130 11380 W Hidden Brook	01/17/25	-99379 177.98	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0032863989 960 S Main Street	01/17/25	-99379 900.10	01/14/25	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0033022584 Street Lights Star	01/17/25	-99379 385.13	11/15/24	1/25	10	0	41100	413
IDAHO POWER COMPANY	CL 4611	0033207655 11665 W State St A1	01/17/25	-99379 219.35	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0030204606 Street Lights Blake	01/17/25	-99379 17.53	11/15/24	1/25	10	0	41100	413
IDAHO POWER COMPANY	CL 4611	0032863988 960 S Main Street	01/17/25	-99379 212.96	01/14/25	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0030966304 W Otter Rock Dr Pump	01/17/25	-99379 277.50	12/31/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0030968905 W Picket Cr/Pollard	01/17/25	-99379 11.70	11/15/24	1/25	10	0	41100	413
IDAHO POWER COMPANY	CL 4611	0033372621 10405 W Otter Rock	01/17/25	-99379 176.24	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0033367599 W Otter Rock Dr Pump	01/17/25	-99379 97.01	10/30/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0033022580 State/Plummer Stree	01/17/25	-99379 14.44	11/15/24	1/25	10	0	41100	413
IDAHO POWER COMPANY	CL 4611	0030943198 11665 W State St 41	01/17/25	-99379 9.41	11/15/24	1/25	10	0	41100	413
IDAHO POWER COMPANY	CL 4611	0033380347 W Otter Rock Dr Out	01/17/25	-99379 28.44	11/13/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0030885171 11665 W State St C	01/17/25	-99379 171.45	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0030980194 Floating Feather/Pl	01/17/25	-99379 14.26	11/15/24	1/25	10	0	41100	413
IDAHO POWER COMPANY	CL 4611	0033022596 Blake Park Sprinkle	01/17/25	-99379 3.70	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0033022563 10775 W State St St	01/17/25	-99379 114.43	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0033022594 1000 S Main St Pump	01/17/25	-99379 49.53	01/14/25	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0033022589 10769 W State St CT	01/17/25	-99379 651.83	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0033022576 11225 W Blake Dr Bl	01/17/25	-99379 136.07	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0033022592 1300 N Star Rd HC E	01/17/25	-99379 61.26	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0033022554 1250 N Star Rd HC P	01/17/25	-99379 81.34	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0033075641 Highbrook/Hwy 44 St	01/17/25	-99379 46.85	11/15/24	1/25	10	0	41100	413
IDAHO POWER COMPANY	CL 4611	0033022572 1310 N Little Camas	01/17/25	-99379 139.83	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0033022587 1500 N Star Rd CT	01/17/25	-99379 664.34	11/15/24	1/25	10	0	41100	412
IDAHO POWER COMPANY	CL 4611	0030204591 Hunters Creek Street	01/17/25	-99379 15.03	11/15/24	1/25	10	0	41100	413
IDAHO PRESS	CL 4631	52583 Legal/Pub Notice PH 1/21	01/23/25	-99368 91.86	01/18/25	1/25	10	0	41810	530
INTERMOUNTAIN GAS COMPANY	CL 4614	*3000 1 Outreach Bldg 10775 W	01/17/25	23788 69.75	01/03/25	1/25	10	0	41100	414
INTERMOUNTAIN GAS COMPANY	CL 4614	*7251 2 Police Stn 11665 W State	01/17/25	23788 362.79	01/03/25	1/25	10	0	41100	414
INTERMOUNTAIN GAS COMPANY	CL 4614	*1000 1 B&G Shop 1310 N Little	01/17/25	23788 209.46	01/03/25	1/25	10	0	41100	414
INTERMOUNTAIN GAS COMPANY	CL 4614	*3000 2 City Hall 10769 W State	01/17/25	23788 337.50	01/03/25	1/25	10	0	41100	414
JOCELYN JACOBSON	CL 4645	Riverhouse Rental Refund	01/23/25	23793 1,250.00	01/23/25	1/25	10	0	40700	883
JOCELYN JACOBSON	CL 4645	Riverhouse Deposit Refund	01/23/25	23793 500.00	01/23/25	1/25	10	0	40700	882
KEELY ELECTRIC	CL 4621	824 Electrical Pavilion Park	01/17/25	-99374 4,717.66	12/13/24	1/25	10	0	45100	738
KEELY ELECTRIC	CL 4621	819 Electrical DMV Office	01/17/25	-99374 1,709.35	12/11/24	1/25	10	556	41540	434
KHALILA MITREVSKI	CL 4632	Reimburse B/A School Supplies	01/23/25	23794 21.48	01/15/25	1/25	10	101	44022	611
MTM WOODWORKS	CL 4634	190865 Cabinet Install Conference Rm	01/23/25	23795 1,092.50	01/14/25	1/25	10	555	41540	434
NAMPA FLOORS & INTERIORS INC	CL 4635	16594B Carpet Clerks Office Remodel	01/23/25	23796 1,352.64	01/21/25	1/25	10	720	45110	755
NAMPA FLOORS & INTERIORS INC	CL 4635	16594C Paint City Hall	01/23/25	23796 593.99	01/21/25	1/25	10	555	41540	434
NAMPA FLOORS & INTERIORS INC	CL 4635	16594D Carpet/Paint City Hall	01/23/25	23796 1,277.42	01/22/25	1/25	10	555	41540	434
PATHWAY CONCRETE & LANDSCAPING LLC	CL 4637	211 Hunters Creek Sidewalk Add	01/23/25	-99366 56,532.00	01/20/25	1/25	10	0	45100	735
PATHWAY CONCRETE & LANDSCAPING LLC	CL 4637	212 Boothill Soccer Field Grade	01/23/25	-99366 65,000.00	01/20/25	1/25	10	0	45100	748
PIONEER DITCH COMPANY	CL 4636	1 Share Assessment 946 S Main	01/23/25	23797 31.00	01/10/25	1/25	10	0	41100	417
PIONEER DITCH COMPANY	CL 4636	2.38 Share Assessment S Main S	01/23/25	23797 73.78	01/10/25	1/25	10	0	41100	417
PIONEER DITCH COMPANY	CL 4636	.16 Share Assessment 88 Knox S	01/23/25	23797 4.96	01/10/25	1/25	10	0	41100	417
PIONEER DITCH COMPANY	CL 4636	5 Shares Assessment 960 S Main	01/23/25	23797 155.00	01/10/25	1/25	10	0	41100	417
PIONEER DITCH COMPANY	CL 4636	2.38 Share Assessment 1000 S M	01/23/25	23797 73.78	01/10/25	1/25	10	0	41100	417
PIONEER DITCH COMPANY	CL 4636	1 Share Assessment City Hall	01/23/25	23797 31.00	01/10/25	1/25	10	0	41100	417
REPUBLIC SERVICES INC	CL 4612	001381441 Star River Access 10	01/17/25	-99378 89.39	12/31/24	1/25	10	0	41100	411
REPUBLIC SERVICES INC	CL 4612	001381735 Blake Haven Park	01/17/25	-99378 94.59	12/31/24	1/25	10	0	41100	411
REPUBLIC SERVICES INC	CL 4612	001381713 Star City Hall	01/17/25	-99378 220.83	12/31/24	1/25	10	0	41100	411
REPUBLIC SERVICES INC	CL 4612	001381382 Hunters Creek Park	01/17/25	-99378 365.03	12/31/24	1/25	10	0	41100	411
ROBERT LITTLE	CL 4622	396252 B&G Contracted Services	01/17/25	-99373 5,250.00	01/17/25	1/25	10	0	41740	565
ROBERT LITTLE	CL 4622	Life Insur Life Insurance	01/17/25	-99373 -285.38	01/17/25	1/25	10	0	41740	565
ROCKY MOUNTAIN ELECTRIC	CL 4638	48145 Electrical Clerk/Passport Off	01/23/25	23798 7,500.11	01/21/25	1/25	10	720	45110	755
ROYALTY ELECTRIC LLC	CL 4639	24083 City Hall Retrofit Light	01/23/25	-99365 23,422.00	01/20/25	1/25	10	556	41540	434
SHERWIN WILLIAMS	CL 4642	0526-1 Paint City Hall	01/23/25	-99364 83.35	01/19/25	1/25	10	555	41540	434
SHERWIN WILLIAMS	CL 4642	1074-3 Paint City Hall	01/23/25	-99364 826.00	01/18/25	1/25	10	555	41540	434
SHERWIN WILLIAMS	CL 4642	0497-5 Paint City Hall	01/23/25	-99364 22.03	01/18/25	1/25	10	555	41540	434
SHERWIN WILLIAMS	CL 4642	0528-7 Paint City Hall	01/23/25	-99364 13.13	01/19/25	1/25	10	555	41540	434
SHERWIN WILLIAMS	CL 4642	0503-0 Paint City Hall	01/23/25	-99364 354.00	01/18/25	1/25	10	555	41540	434
SHERWIN WILLIAMS	CL 4642	0483-5 Paint City Hall	01/23/25	-99364 50.47	01/18/25	1/25	10	555	41540	434
SHERWIN WILLIAMS	CL 4642	0484-3 Paint City Hall	01/23/25	-99364 10.06	01/18/25	1/25	10	555	41540	434
SHERWIN WILLIAMS	CL 4642	0287-0 Paint Clerk Office Remodel	01/23/25	-99364 171.42	01/10/25	1/25	10	720	45110	755
SHERWIN WILLIAMS	CL 4642	0290-4 Paint Clerk Office Remodel	01/23/25	-99364 57.14	01/10/25	1/25	10	720	45110	755
SHERWIN WILLIAMS	CL 4642	0505-5 Paint City Hall	01/23/25	-99364 94.08	01/18/25	1/25	10	552	41540	434
SHERWIN WILLIAMS	CL 4642	0451-2 Paint/Supplies City Hall	01/23/25	-99364 1,006.74	01/17/25	1/25	10	555	41540	434
STAR CHAMBER OF COMMERCE	CL 4641	2600 Chamber Lunch Sponsor Fee	01/23/25	23799 200.00	01/15/25	1/25	10	0	41810	531
SUMMIT PORTABLE RESTROOMS	CL 4618	16887 Hometown Portable Restroom	01/17/25	-99375 558.00	07/12/24	7/24	10	0	41540	411
SUMMIT PORTABLE RESTROOMS	CL 4618	17329 Hometown Port Rstrm Balance	01/17/25	-99375 10.80	08/11/24	7/24	10	0	41540	411

SUMMIT WALL SYSTEMS INC	CL	4640	8545 CH Acoustical Ceiling T&M	01/23/25	23800	647.96	01/17/25	1/25	10	720	45110	755
TERIN PICKETT	CL	4646	Riverhouse Deposit Refund	01/23/25	23801	500.00	01/23/25	1/25	10	0	407	
TREASURE VALLEY COFFEE	CL	4643	10852908 Coffee/HC/FA B&G	01/23/25	-99363	166.19	01/17/25	1/25	10	0	418	
TREASURE VALLEY COFFEE	CL	4643	10852905 Water/FA City Hall	01/23/25	-99363	26.07	01/17/25	1/25	10	0	41810	611
ULINE	CL	4608	25901596 Step Ladders	01/17/25	-99380	380.00	01/03/25	1/25	10	720	45110	755
ULINE	CL	4608	25901596 Dog Waste Bags S/H	01/17/25	-99380	936.00	01/03/25	1/25	10	553	41540	434
ULINE	CL	4608	25901596 Trash Cans	01/17/25	-99380	2,040.00	01/03/25	1/25	10	0	45100	738
ULINE	CL	4608	Shipping/Handling	01/17/25	-99380	253.88	01/03/25	1/25	10	553	41540	434
VERIZON WIRELESS	CL	4610	6102562344 Monthly Cell Phone	01/17/25	23789	1,032.33	01/01/25	1/25	10	0	41100	373
WESTERN HEATING & AIR CONDITIONING	CL	4615	Refund - Unnecessary Permit	01/17/25	-99376	65.00	01/16/25	1/25	10	0	40700	884
WESTERN STATES EQUIPMENT CO	CL	4644	003064805 Rerent Z30 Boom Lift	01/24/25	-99362	603.88	01/22/25	1/25	10	0	41570	442
WESTERN STATES EQUIPMENT CO	CL	4644	003059299 Genie S65 Boom Lift	01/24/25	-99362	1,738.50	01/16/25	1/25	10	0	41570	442
WHITE PETERSON	CL	4647	166568 Keith Hill-First Church	01/24/25	23802	8,954.00	12/31/24	1/25	10	0	41300	323

Section 5, Item A.

**CITY COUNCIL REGULAR MEETING NOTES**

City Hall - 10769 W State Street, Star, Idaho
Tuesday, December 17, 2024 at 7:00 PM

1. CALL TO ORDER – Welcome/Pledge of Allegiance

Mayor Chadwick called the meeting to order at 7:00 p.m. and led the Pledge of Allegiance.

2. INVOCATION – Associate Pastor Nathan Held, Calvary Star Church

Associate Pastor Held led the invocation.

3. ROLL CALL

ELECTED OFFICIALS: Mayor Trevor Chadwick, Council President David Hershey and Council Members Kevan Wheelock and Jennifer Salmonsens. Council Member Kevin Neilsen was absent.

STAFF: City Attorney Chris Yorgason; City Clerk Shelly Tilton; City Planning Administrator Shawn Nickel; Assistant City Planner / Code Officer Ryan Field; Public Information Officer Dana Partridge; City Engineer Ryan Morgan; Star Police Chief Zach Hessing and Star Fire Chief Victor Islas.

4. PRESENTATIONS**A. Check Presentation to Warhawk Museum from Potato Feed**

City Public Information Officer Dana Partridge discussed the potato feed that is held annually in honor of veterans. Local businesses provided the food, allowing the proceeds to go to a veteran's organization. A check for \$1000 was presented to Warhawk Museum Director Carson Spear. Mr. Spear thanked the city for hosting the event and discussed the museum, stating there will be expansion in 2025.

B. Check Presentation to Idaho Veteran's Wreaths

City Public Information Officer Dana Partridge discussed veterans' banners the Beautification Committee displays along State Street during the fall. Proceeds from that program are being given to the Idaho Veteran's Wreaths project. Jake Faulkner discussed the program which keeps funding in Idaho. The program helps veterans with rent assistance, vehicle repairs, etc.

C. IIIA Annual Report

Wellness Director Megan Smith with iiiA provided an annual report. iiiA manages health insurance for city employees. Megan discussed agencies serviced by iiiA and reviewed their Board of Trustees, finances, medical plan, high claimants and stop loss (catastrophic insurance), wellness screenings and medical programs that include dental, vision and mental health plans. She also reviewed the telehealth, on-site dermatology skin checks and digital physical therapy programs.

D. Star Police Chief Monthly Report

Star Police Chief Zach Hessing made his monthly report. He reviewed crimes by type, calls for service, crash response, citations and arrests. Code 3 response times are below the goal of 4 minutes. Zach discussed proactive policing calls. Location checks include citizens who ask for their homes or commercial properties to be checked on.

E. Star Fire Chief Monthly Report

Star Fire Chief Greg Timinsky was called to dinner with the Governor, no Fire report was given.



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5. CONSENT AGENDA (ACTION ITEM) **All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*

A. **Approval of Claims**

B. **Approval of Minutes:** November 19, 2024

- Council Member Salmonsens moved to approve the Consent Agenda consisting of 5 A. Approval of Claims and 5 B. Approval of Minutes for November 19, 2024. Councilman Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye. The motion carried.

6. PUBLIC COMMENT – Members of the Public may address the Mayor and Council on any item not currently on the Agenda or on items currently or potentially set for a Public Hearing. Comments regarding City Staff, Elected Officials and Private Citizens should be set for a private meeting with the Mayor.

Oriana Lana addressed the Mayor and Council regarding a Facebook post she made asking about types of businesses that would be beneficial or interesting for the community. She came to share ideas gathered from that post. She learned that agriculture and cattle operations play a vital role in Star's identity, and she recommends integrating educational and participatory programs into businesses to foster a deeper appreciation for farming while helping to build a stronger, more unified community. Mayor Chadwick asked Oriana to leave the Community-Based Educational Program Farm and Cattle Operations binder she put together for review and asked her to contact the city Public Information Officer to schedule a meeting to discuss her ideas more fully with staff.

Peter Goodwin addressed the Mayor and Council regarding lack of performance by the developer of the Sunfield Estates Subdivision. He said there are a number of items within the subdivision that are incomplete, unsafe and don't represent what a development in the City of Star should look like. He feels the issues will affect their quality of life and property values and stated that code enforcement is needed. Mayor Chadwick said that there will be discussion later in the meeting regarding code enforcement being moved under the police department. He said one challenge is the prosecution of misdemeanors; some cities are looking into a process for hiring prosecutors to handle those misdemeanor violations to provide more teeth for code enforcement.

7. PUBLIC HEARINGS with ACTION ITEMS: (The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)

A. **PUBLIC HEARING – Legado Subdivision Preliminary Plat Modification (PP-22-05 MOD)** The Applicant is seeking approval of a Preliminary Plat Modification and Private Street with gates for a proposed residential subdivision consisting of 71 single-family residential lots and 12 common lots. The property is located on the

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west side of Bent Lane in Star, Canyon County, Idaho and consists of 23.77 acres with a proposed density of 2.99 dwelling units per acre. The property is currently zoned Residential R-5. The original preliminary plat was approved by City Council on March 23, 2023. (tabled from November 19, 2024) - **(ACTION ITEM)**

Mayor Chadwick opened the public hearing at 7:32 p.m. Council members have had no ex-parte communication.

City Planning Administrator Shawn Nickel presented the application. The request is to convert public streets within the subdivision to private streets with gates. The application is for plat modification and for private streets. The original plat was for Star River Ranch North, now called Legado. This hearing had been tabled at the last meeting due to posting requirements. All requirements including noticing and posting have been completed. The application is compliant with the Unified Development Code and Comprehensive Plan and there are no late exhibits. Items for consideration are changing the previously approved preliminary plat to add gates. Staff is recommending denial.

Connor Lindstrom with KM Engineering spoke on behalf of the property owner. He said the preliminary plat was previously approved. The requested changes are to add gates to make it a private development, not allowing the public to drive through, and to upgrade amenities from a pickleball court to a pool with a changing room.

Developer Tim Eck stated this is currently an approved plat which was approved by all agencies and development has started. They are requesting to modify the development by changing the public roads to private roads to make it safer, quieter and more secure by gating the community. He said this would be similar to Lake Haven Estates and the Estates in Star River Ranch Subdivision #2. They made application to the highway district to gate the public roads and were denied unless the roads are made private. Accesses to the development were reviewed. He discussed emergency access and law enforcement for the subdivision. He said the only obstacle for emergency response would be the gates which would be equipped with first responder access devices. Tim stated there is no reason for through traffic. He feels that through traffic would be more inclined to drive through the subdivision at higher speeds than the homeowners would; limiting access would decrease the need for law enforcement. Tim discussed valley gutters that are planned for the development to encourage decreased driving speed, explaining why he feels they are more effective than speed bumps. He said that parking complaints are mitigated with a gated community and discussed HOA versus law enforcement for parking and speeding violations. Tim discussed the upgraded amenities to include a pool with dressing rooms. He discussed combining the HOA with a neighboring subdivision. Road maintenance, should the roads become private, was discussed. Tim stated the CC&Rs would reflect the maintenance obligation and dues would be accessed to fund an account through the HOA. He said this could also be accomplished through a Road Maintenance Agreement. He requested approval on the modification.

Connor Lindstrom added that roads would be constructed to city standards. Tim clarified that roads would meet all applicable standards.

Council Member Salmonsens asked what has changed since the prior preliminary plat approval that is prompting the modifications. Tim stated it is due to the significant delay in getting projects approved through Highway District 4 as well as the opportunity to upscale the subdivision and make it more



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secure. Additionally, if they decide to merge HOAs with a neighboring subdivision to share amenities it would be more equal as that subdivision has private gated streets.

Pete Bilicki spoke regarding the modification, wanting to reiterate that in the original hearing it was stated that this subdivision would not merge HOAs with Star River Ranch.

Police Chief Zach Hessing discussed repercussions that private roads have on law enforcement. The largest issue can be to ensure there is access for law enforcement; he said it sounds like there will be allowance for Opticon to be installed to allow that access. He said private roads are the same as parking lots, law enforcement cannot enforce infraction on private roads. The department receives calls with traffic complaints on private roads, speeding and running stop signs being the most common, and the police have to explain that law enforcement is unable to do much for them. Police can be on the roads, but they are not allowed to sit and run radar or make stops. The HOA is responsible for taking care of parking issues, police can help try to come up with solutions but aren't able to move or cite vehicles. They are also not able to investigate crashes on private roads. They can mediate between the two drivers to try to get them to exchange insurance information, but they cannot write a report or investigate the accident. Due to the inability to investigate accidents, school buses won't enter private subdivisions, kids would have to catch the bus outside of the subdivision. HOAs don't have good ways that Zach has seen to enforce parking or traffic laws, they struggle with it so they call police and find that they are unable to provide much help for them as the police can't enforce their rules.

Chris Spalino said he has 25 years of law enforcement experience; he found that more often than not primary offenders are usually residents of the neighborhood. He understands the private roads to be a work around in approval for the highway district, the frustration of he and his neighbors is there doesn't seem to be good coordination in the developments. It seems the density increases and access on the roads becomes more difficult. He would like to see road access planned out better. He would also like to see someone from planning and the highway district attend the development meetings to help answer questions and dispel misinformation.

Mayor Chadwick discussed the Master Street Plan Map. He said that Bent Lane will have a stoplight at Can Ada Road. Various roads in the area were discussed.

City Attorney Chris Yorganson clarified that staff attending neighborhood meetings isn't recommended. When city staff are there people assume that the city is making representations on what is said. Neighborhood meetings are for the neighbors to get together to discuss the project, public hearings are for the city to hear public comments. Town hall meetings are held for some of the larger developments. City Planner Shawn Nickel said that city staff is available for members of the public to come in and ask questions.

Mayor Chadwick appreciates the comments and discussion about the roads. Council Member Salmonsensaid it is difficult because they don't see how everything fits together when they are looking at one application at a time. It was verified that the map of how roads connect is on the city website. Shawn stated the Master Transportation Plan is available on the website.

Norca Helmick said she built a home on Bud Lane with specific FEMA Standards. She wondered about the responsibility of the developer to grade the land to keep water from running on to her property. She also asked if home levels are taken into consideration, with the elevation in the area

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the homes would be looking into her backyard. Mayor Chadwick said that it is considered if it is brought up at the public hearing and could be put in the development agreement. City Planner Shawn Nickel said the original application didn't require single level homes. Mayor Chadwick said he will have staff meet with Norca to discuss water drainage concerns.

Tim Eck said there is no plan to annex with Star River Ranch HOA, they would like to merge with Tradition Capital Partners Subdivision which has private roads so they can have similar rules. They can both, through CC&Rs, enforce traffic and parking violations. They would not be able to mitigate an accident, but they could control the traffic and speed. He said there are multiple applications around this development that he believes were approved with private roads so there must have been a point in time they were being approved, he doesn't see a reason that people need to drive through the development. He showed other connections to State Street. They are glad to meet with emergency response agencies to ensure they have access and to have input on the CC&Rs to help prevent them from being burdened by complaints. Mayor Chadwick said that the two subdivisions could combine without one having private roads. Tim doesn't feel it is a fair offer to ask to combine HOAs for his subdivision residents to have access to those private gated amenities, it would seem the other subdivision would want access to private amenities in return.

Conner Lindstrom stated that zoning and number of lots aren't changing. Shawn Nickel explained that the R5 zoning was already in place but rather than changing the zoning they were limited in zoning to R3 through a development agreement.

Tim Eck said there will be no drainage onto neighboring properties. They will have a retaining wall or something to control the drainage.

Council Member Salmonson asked if there is an agreement in the works to merge the HOAs. Tim has talked with someone from the other HOA who feels it is a great idea.

In response to other subdivisions having private roads Mayor Chadwick said that lessons are learned as they go, this is why there are always changes being made to the Comprehensive Plan. He referenced Oriana speaking earlier in the meeting about the sense of Star. He said that private roads take away the sense of community that the City of Star wants to have. There will be sidewalks in there that people won't be able to use, kids wouldn't be able to use them to go visit friends. They are pulling back from private roads. He said it is interesting that there were years with only one development with private roads and now because of issues with Highway District 4, private roads are becoming requested more often which creates more issues for the city in the long run. Mayor Chadwick doesn't see much traffic trying to cut through with other road options available in the area.

Tim said the gated community makes lots more valuable, the increased value allows them to upgrade the amenities.

Council Member Wheelock said the other gated community is different with the other one being a dead end.

There was discussion regarding private sidewalks in the other gated communities, elimination of a small street that goes to Bent Lane and how amenities would be decided.

Mayor Chadwick closed the public hearing at 8:26 p.m.

Council Member Salmonson said that it sounds like there are difficulties for developments in working with Highway District 4 in Canyon County resulting in requests like these. She said that Star

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is a united community, if gates continue to be put up it doesn't foster a community feel. She has concerns with enforcement with so many homes in the subdivision and worries about safety of the homeowners not understanding when they move in there.

Mayor Chadwick has concerns about police. A mistake was made in approving the previous private roads, it creates more issue for the rest of the community if police are being tied up with things they aren't even able to take care of. He doesn't want to see these problems when so much has been done to focus on police to ensure crime is low in the city. He hopes that private roads don't continue to be approved with all of the information that has been gathered in the past several months.

Council Member Hershey said it takes it from a police problem to a property manager problem. He discussed HOA turnover.

- Council Member Hershey moved to deny this application for private streets. He doesn't feel that amenities are up to the council. Shawn verified that amenities were left to staff in the original approval; that leaves the private streets and road removal of the stub road going out to Little Bent Lane for council decision clarifying emergency response access and number of lots per phase which could be part of the findings on the decision. Council Member Hershey retained his original motion with the addition of the amenities being up to them and for the stub connection to be kept, not allow removal. Council Member Salmonsén seconded the motion. Council Member Wheelock wants to be sure that stub road that goes to the South is to full width that doesn't restrict future growth. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsén – aye. The motion carried.
- B. PUBLIC HEARING – Pathway Master Plan Adoption.** Kimley-Horn/Logan Simpson Design has been contracted by the City for the creation of the City of Star Pathway Master Plan to consolidate the work done to date, detail the various pathway types, their locations, materials, and outline a system of supportive amenities. These plans have been further envisioned through the included Maintenance Plan and Capital Improvement Plan (CIP) for the implementation and regular maintenance of the trail system. - **(ACTION ITEM)**

Mayor Chadwick opened the public hearing at 8:33 p.m.

Nicolette Womack with Kemley Horn presented the Pathway Master Plan including reviewing the project timeline and goals regarding the importance of pathways and trails, community needs and participation process, pathway classifications, amenities along the pathway system, maintenance between the City of Star and Ada County Highway District and network recommendations. She stated this plan is conceptual in nature, everything will be worked out on a parcel-by-parcel basis.

Council Member Wheelock likes the breakdown of the priorities to see what the efforts and desires are.

Council Member Hershey thinks it is broken out to be logical and easily understandable.

Mayor Chadwick discussed an impact fee committee that will use the information from the plan to establish a fee on new homes that will help pay for the infrastructure of the pathway system. He discussed the greenbelt system that will run from Boise out to Star with a bridge crossing across the river. It is a good guide to connect our community.

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Council Member Salmonsens said this plan allows people to see the vision for this other mode of transportation that allows people to get out to connect with their neighbors and have that sense of community.

Shawn Nickel asked about elements of the plan Nicolette would specifically include in the Unified Development Code. She recommends it be referenced for design.

Mayor Chadwick closed the public hearing at 8:43 p.m.

- Council Member Salmonson made a motion to adopt the Pathway Master Plan. Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye. The motion carried.
- C. **PUBLIC HEARING: Municipality Code Ordinance Amendment** - Request from City Hall of Star to update and amend portions of their Municipal Code, including the current Development Code Title 8, Chapters 1 through 8, and titles 1 through 7 and Title 10. - (ACTION ITEM)

Mayor Chadwick opened the public hearing at 8:50 p.m.

City Planning Administrator Shawn Nickel stated that there are three Titles of the Municipal Code Ordinance to amend; Title 3: Health and Sanitation to add snow removal, Title 8: Unified Development Code definition, specific use and a requirement of Conditional Use Permits for Fitness Clubs and Title 10: Flood Control in response to a variance request a couple of months ago. In the Health and Sanitation section under the definition of nuisance wording is proposed for removal of snow or ice on any public sidewalk and addition of a section regarding responsible party. Timing and depth of snow parameters were discussed. City Attorney Chris Yorgason said that the way the code is written puts responsibility on the property owner. Sidewalks owned by Ada County Highway District (ACHD), Highway District 4 or the city would be the responsibility of those agencies. Ordinances in other cities include a general requirement for snow removal but they don't put time constraints on it. It would be difficult to enforce. Chris thinks it makes sense to have some standard. Shawn said putting a timeframe on it puts a strain on code enforcement. Council Member Wheelock said that is his concern as well. Chris said most code enforcement is complaint driven. Council Member Wheelock likes the way ACHD has written it.

Shawn moved on to the Unified Development Code section stating that fitness centers were defined in the section with theatres, museums and zoos, etc. and it didn't fit well in that section. A separate use has been created requiring fitness centers to have Conditional Use Permits which enables council to get a chance to see and approve them. Parking and noise are the concerns. People in developments are starting to ask if they are allowed uses. Council Member Salmonsens asked if spas would be included in this section. Shawn said they would be here if it were included with a fitness center and in Professional Services if it is a spa only. For fitness centers required parking would be handled by the council on a case by case basis rather than a specific number.

Shawn said the newly adopted pathways plan will be included in section 8-4A-13. Specifics can be added at a later time.



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Shawn discussed the Flood Control section stating that this was brought up because of the recent flood plain variance application. City Engineer Ryan Morgan said the amendment provides wording that says variances for personal health reasons aren't considered appropriate reasons by FEMA so it would discourage application like the one that came before the council recently. Council Member Salmonsens asked if the application would come to the council with this wording. Ryan explained that the application would still come to council but it helps staff support their recommendation and helps council in a denial of such requests.

During public comment Diane Murdock asked about measure and compliance for ice and snow, being naturally occurring conditions. She asked if the city plans to provide assistance for citizens with limitations and how the city would handle enforcement and penalties. She asked about salt for ice removal and said that HOA Boards had questions about this section. She said most of her questions were answered during the staff presentation. Mayor Chadwick read the suggested code wording, highlighting that the code reads "should" keep snow and ice cleared. He discussed putting together a group of volunteers who could help those who are elderly or disadvantaged. He said the city would not have salt to provide.

Mayor Chadwick closed the hearing at 9:16 p.m.

- Council Member Hershey moved to approve with the changes discussed in Section 3-1-2 definitions, including 3-1-4A & B, and adopt the ACHD language in that. He has no problems with the other changes (sections) as stated. Council Member Wheelock seconded the motion. Chris recommends keeping the section related to nuisances, that isn't specific to ice and snow it is just stating that the landowner is responsible for any nuisances. It was clarified that the motion includes adopting everything, removing the snow and ice and adopting the ACHD standard. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye. The motion carried.

8. ACTION ITEMS

A. Amendment to Ada County Sheriff's Office (ACSO) Contract for approval of Code Enforcement Officer

Police Chief Zach Hessing discussed the Ada County Sheriff's Office Contract to add a Code Enforcement Officer. He said more calls are being received regarding code enforcement as the city grows. He reviewed the salary and vehicle expenses for adding the position to the contract. ACSO owns the vehicles, and the city pays monthly for them. Through the contract amendment the city will pay for this vehicle up front and then it will be added into the fleet. The addition of the code enforcement position and vehicle will increase the contract to \$3,573,907. Chief Hessing said the Code Enforcement Officer will be professional staff rather than a commissioned deputy. A deputy position would cost more and require more training. The person in this position will be able to handle low priority calls when not busy with code enforcement, low priority calls are those for parking issues, etc.



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Council Member Wheelock asked if the stats for this position would be included in the proactive section of the monthly report; that will be determined. Zack said that code enforcement is all civil, not criminal, it will be handled through the city rather than the court process.

- Council Member Hershey moved to authorize the Mayor to sign the contract for \$3,573,907. Council Member Salmonsén seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsén – aye. The motion carried.

Council Member Salmonsén thanked the Mayor for putting the mitigation fee in place to help fund the police contract.

B. Garnet Estates Subdivision Development Agreement Modification

This item was not heard to allow for required posting. It will be included on a future agenda.

9. ADJOURNMENT

Mayor Chadwick adjourned the meeting at 9:25 p.m.



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1. PUBLIC NOTICE: THIS MEETING IS BEING RECORDED AND PLACED IN AN ONLINE FORMAT, PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO/AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.

2. CALL TO ORDER – Welcome/Pledge of Allegiance
Mayor Chadwick called the meeting to order at 7:00 p.m. and led the Pledge of Allegiance.

3. INVOCATION – Bishop Scott Snelders, Church of Jesus Christ of Latter-Day Saints
Bishop Snelders led the invocation.

4. ROLL CALL
ELECTED OFFICIALS: Mayor Trevor Chadwick, Council Members Kevan Wheelock, Jennifer Salmonsens and Kevin Nielsen were present. Council President David Hershey was absent.

STAFF: City Attorney Chris Yorgason attending via zoom; City Clerk Shelly Tilton; City Planning Administrator Shawn Nickel; Public Information Officer Dana Partridge; City Engineer Ryan Morgan; Star Police Chief Zach Hessing and Star Fire Chief Victor Islas.

5. PRESENTATIONS

A. Ada County Victim Services Center CARES Program

Executive Director Trina Allen provided a presentation for the Ada County Victim Services Center. The center provides medical and mental health care, legal and financial advocacy and justice for crime victims and their families. Services are provided for survivors of sexual assault, domestic violence, child and elder abuse, human trafficking and stalking. Trina discussed partners that help to make the program successful and shared the services that the facility provides which include medical forensic exams, law enforcement support, criminal case orientation, safety planning, protection orders, case management, crisis counseling, legal aid workshops, basic necessities support, court advocacy and community outreach. On a case-by-case basis they can provide emergency hotel accommodation, transportation, fuel and grocery cards. They welcome walk-ins with their facility being available 24/7; there is no cost for services. Council member Wheelock asked about law enforcement support. Trina explained they house the Boise Police Department Special Victims Unit, having 10-12 officers on-site; this includes Meridian and Garden City Police as well as Ada County Sheriff's Office. Council Member Nielsen asked how the city can help with the program. Trina said that through sharing the information, those who need the services can be made aware of and referred to the center to receive the support they need; placing information on the city's website would be helpful. She invited the council members and the public to tour the facility.

B. Valley Regional Transit Letter of Support

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CEO Elaine Clegg discussed a letter of support that is being requested for a State Street Design Federal Funding Opportunity – RAISE grant for corridor design. Having the design in place makes the project shovel ready which opens more funding opportunities. The funding would be for corridor design for service from Boise to Middleton. Elaine discussed the updated State Street Transit and Traffic Operations Plan, Star is not a member of this group but has been supportive in the past. This project would define right of ways, setback lines, assist in locating multi-use paths, sidewalks and curblines, prepare for construction funding and future extension to the west. The grant request will be \$6.6 million with a \$1 million match if needed. Elaine is requesting the city write a letter of support to the US Department of Transportation.

C. **Sports & Recreation Update**

There was no Sports and Recreation update.

D. **Star Police Chief Monthly Report**

Star Police Chief Zach Hessing made his monthly report which included annual totals for 2024. Crimes were down from the year prior. He reviewed offenses for December by type. Crashes increased, Chief Hessing discussed the numbers and crashes that occur on the bridge on Highway 16. They are working with ITD to ensure the bridge is de-iced. Domestic and traffic calls as well as arrests, citations and mental hold cases were reviewed. Code 3 call response times were discussed, one call was further away which increased the response time. Mayor Chadwick thanked Star Police on being proactive, especially in regarding regard to child predators and drug offenses. K-9 Luna should be certified this spring. Chief Hessing said that the Victim Services Center is great to work with and does a fantastic job in providing services.

E. **Star Fire Chief Monthly Report**

There was no Fire report.

6. **CONSENT AGENDA (ACTION ITEM)** **All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*

A. **Approval of Claims**

B. **Valley Regional Transit Letter of Support**

C. **Starpointe Subdivision Vacation of Easements (VAC-24-05)**

D. **Milestone Ranch Subdivision #3 Vacation of Easement (VAC-24-04)**

E. **Legado Preliminary Plat Amendment/Private Street Findings of Fact/Conclusions of Law (PP-22-05 MOD/RP-24-05)**

- Council Member Salmonsén moved to approve the Consent Agenda consisting of items 6A approval of claims, 6B Valley Regional Transit Letter of Support, she read through the letter and is fine with the letter unless there is something the Mayor would like to change in it, item 6C Starpointe Subdivision Vacation of Easements, item 6D Milestone Ranch Subdivision #3 Vacation of Easement and item 6E

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Legado Preliminary Plat/Private Street Findings of Fact/Conclusions of Law with one change to Council Member Nielsen's spelling of his name. Councilman Nielsen seconded the motion. ROLL CALL VOTE: Wheelock – aye; Salmonsens – aye; Nielsen – aye. The motion carried.

7. ACTION ITEMS:**A. Clearwater Financial Impact Fee Agreement Addendum #3 (ACTION ITEM)**

Mayor Chadwick said that the city is already working on police and park impact fees, this addendum adds pathways to the impact fee project.

- Council Member Nielsen moved to approve the expense of \$28,000 in support of this. Council member Salmonsens seconded the motion. ROLL CALL VOTE: Wheelock – aye; Salmonsens – aye; Nielsen – aye. The motion carried.

8. PUBLIC HEARINGS: (The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)**A. PUBLIC HEARING: Development Agreement Modification - Garnet Subdivision (DA-23-01MOD)** The Applicant is seeking approval of a Development Agreement Modification to remove the 5-Lot Subdivision from the Agreement **(ACTION ITEM)**

Mayor Chadwick opened the public hearing at 7:35 p.m. Council members have had no ex-parte communication.

City Planning Administrator Shawn Nickel reviewed the Amended and Restated Annexation Development Agreement for 6697 Foothill Road Annexation formerly the Garnet Subdivision. The request is to remove the preliminary plat; rather than the 5 lots requested in the preliminary plat two separate parcels are requested to be created. Language was added regarding uses and emergency access for the fire district as well as language from the Sewer and Water District regarding dry line systems if the parcels are requested to be split any further in the future. The Proportionate Share Agreement for ITD improvements was also amended by building permit to reflect the two houses rather than 5.

Council member Salmonsens asked if there are any concerns from staff, police or fire for safety with removing the street light requirement. Shawn said a streetlight was a requirement of having a private road, with the private road being replaced with two separate driveways there is no longer a requirement to have a streetlight. There were no concerns from staff, police or fire. A map of the area was reviewed. It was verified that the application is going from 5 one acre lots to two separate parcels. Further splitting of the parcels would require a separate application. Weed abatement was discussed.

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No members of the public signed up to speak.

Mayor Chadwick closed the public hearing at 7:41 p.m.

- Council Member Salmonsens moved to approve the Development Agreement Modification for 6697 Foothill Road. Councilman Wheelock seconded the motion. Council member Nielsen asked about streetlights. With the two country parcels there will not be a requirement for a streetlight, future applications could include street light requirements. ROLL CALL VOTE: Wheelock – aye; Salmonsens – aye; Nielsen – aye. The motion carried.

B. PUBLIC HEARING: Development Agreement Modification - 10206 W. State Street (DA-20-16 MOD)

The Applicant is seeking approval of a Development Agreement Modification to change the size requirement for commercial uses. **(ACTION ITEM)**

Mayor Chadwick opened the hearing at 7:43 p.m. Council members have had no ex-parte communication.

City Planning Administrator Shawn Nickel reviewed the Amended and Restated Development Agreement for 10206 W. State Street Rezone and Planned Unit Development. This is a second amendment for this project. The previous amendment requested that the square footage of the commercial portion be reduced, that request was approved. Since then, the commercial portion has been sold, the intention is to build a restaurant on that property. This amendment is a request to remove the minimum overall size from the development agreement for that anticipated commercial development, going from 4 stand-alone buildings to a single use restaurant with a second retail space to be determined later. The site plan and renderings were reviewed.

Property owner Paul Anderson said his plan is to bring a version of Anderson Reserve which is in Sweet. The location in Star is planned to be called Prime American Steakhouse with a 1st floor restaurant and a 2nd floor speak easy and cigar lounge. Paul plans on including a butcher shop in the building. He discussed building square footage and the plan to add a parking lot for sufficient parking so that people aren't parking on State Street or in neighboring residential areas. Council member Nielsen likes the idea of this, his hesitation is if this project isn't completed as proposed. He would want to include a condition that this is tied to the specific owner, any changes would be required to come back for full approval. The city attorney agreed with the restrictions.

No members of the public signed up to speak.

Mayor Chadwick closed the public hearing at 7:57 p.m.

- Council Member Nielsen moved to approve this application with the following conditions, that if the property is sold or a different use than what has been presented here tonight, which is the restaurant for Prime America, that all entitlement of the commercial portion of the property and related development agreements are void and reverts to base zoning with the intent that any new applicant or new use comes back to the council for approval. Council member Salmonsens seconded the motion. ROLL CALL VOTE: Wheelock – aye; Salmonsens – aye; Nielsen – aye. The motion carried.



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C. PUBLIC HEARING: State & Main Streets Multiple Use Development Conditional Use Permit (CU-24 07) THIS ITEM WILL BE TABLED (ACTION ITEM)

Mayor Chadwick opened the public hearing at 7:58 p.m. and asked that it be tabled to February 18th at the request of the applicant.

- Council Member Salmonsén moved to table this State and Main Street Multiple Use Development to February 18th. Council member Wheelock seconded the motion. ROLL CALL VOTE: Wheelock – aye; Salmonsén – aye; Neilsen – aye. The motion carried.

9. ADJOURNMENT

Mayor Chadwick adjourned the meeting at 7:59 p.m.

DRAFT



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star – Planning & Zoning Department *Shen T. Smith*

MEETING DATE: February 4, 2025

FILE(S): FP-24-14, Final Plat, Lake Haven Estates Subdivision

REQUEST

Applicant is seeking approval of a Final Plat for Lake Haven Estates Subdivision, consisting of 30 residential lots and 8 common lot on 65.30 acres. The subject property is located south of State Street, east of Bent Lane on Koa Lane in Canyon County. Canyon County Parcel Numbers R34035010A0, R34035010A1, R3403901100.

APPLICANT/REPRESENTATIVE:

Cheryl Health
KM Engineering, LLP
5725 N. discovery Way
Boise, Idaho 83642

OWNER:

Tradition Capital Partners
8454 Brookhaven Place
Middleton, Idaho 83644

PROPERTY INFORMATION

Land Use Designation - Residential R-2-DA

Acres - **65.30** acres

Residential Lots - **30**

Common Lots - 8

Light Office Lots - 0

Commercial Lots - 0

HISTORY

- March 5, 2024 Council approved applications for Annexation and Zoning (AZ-24-01), and Development Agreement (DA-24-01) for Lake Haven Subdivision consisting of 64.70 acres. Property was zoned residential (R-2-DA)
- July 16, 2024 Council approved applications for Preliminary Plat (PP-24-03) and Private Road (PR-24-02) for Lake Haven Estates Subdivision. The Preliminary Plat was approved for a maximum of 30 residential lots on 65.30 acres.

GENERAL DISCUSSION

The applicant is requesting approval of the Final Plat for Lake Haven Estates Subdivision consisting of 30 residential lots and 7 common lots on 65.30 acres.

The Final Plat layout generally complies with the approved Preliminary Plat.

Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:

PRELIMINARY PLAT & PRIVATE STREET:

The Preliminary Plat contains 30 single family residential lots, 6 common area lots and 1 common driveway for a total of 37 lots on 64.70 acres. This equates to 0.46 dwelling units per acre. The lots will have access and frontage from the proposed private streets. The private streets are proposed to be gated. The residential lots range in size from 13,200 square feet to 812,392 square feet with the average buildable lot being 70,712 square feet. The private street will be built to ACHD (& HD4), City of Star and Star Fire District standards. The submitted preliminary plat shows three different roadway sections.

KOA LANE: is proposed in a 60-foot wide right of way with paved streets measuring 36 feet from back of curb to back of curb. Sidewalks are proposed to be detached with a 6-foot-wide landscape strip and a 5-foot wide, concrete sidewalk.

LAKE HAVEN LANE: is proposed in a 49-foot wide right of way with paved streets measuring 36 feet from back of curb to back of curb. Sidewalk is proposed along the east side of the road only, to be 5-foot-wide, detached with a 60-foot-wide landscape strip.

CHATEAU PLACE: is proposed in a 69-foot wide right of way with paved streets measuring 42 feet from back of curb to back of curb with a 12-foot-wide island dividing the entrance into two separate lanes. Sidewalks are proposed to be detached with an 8-foot-wide landscape strip and a 5-foot wide, concrete sidewalk on the north side of the road only. This access will be controlled by a gate.

The UDC allows the applicant to request a modification or waiver of sidewalks in certain low-density subdivisions. In this case, sidewalk in specific areas are requested to be on one side of the private street.

The applicant has included a draft private street maintenance plan, including proposed funding, with this application. Street names must be obtained by working with the City of Star and Canyon County prior to signature of the final plat. The subdivision name has been reserved already, and the applicant has provided documentation supporting the reservation. The applicant is proposing 10.89 acres (16.61%) of open space, including 6.53 acres (14.2%) usable open space including areas that are in the AE flood zone and will not be developed.

The current Unified Development Code, Section 8-4E-2, requires a development of this size to have a minimum of 4 site amenities. The applicant is proposing a central pond, pickleball courts and a pathway along the canal with connecting sidewalks. These amenities satisfy the code requirement for development amenities.

The applicant has not provided approval from the Postmaster for the location of the mailbox cluster. This will be required prior to signing the final plat. Mailbox clusters must also be covered and adequately lit per the Unified Development Code.

The future water features within the development shall be designed and maintained in a manner that protects the public safety. This will include aerators to prevent algae and mosquito issues, safety ring stations throughout the water feature locations, safety shelves and erosion consideration.

Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a streetlight plan. All other proposed light locations satisfy City code. **Applicant has not provided a streetlight design/cut sheet for City approval. This will be required at submittal of the final plat.**

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. The submitted landscape plan appears to satisfy these requirements.

The applicant is not requesting any setback waivers and will adhere to the R-2 requirements outlined earlier in this report.

The Unified Development Code, Section 8-6B-2, paragraph F states that In the residential districts, no block shall be more than seven hundred fifty feet (750') in length without an intersecting street, alley, or other City and ACHD/CHD4 approved remedy. **The proposed streets are longer than 750 feet, however they do end in a cul-de-sac. The applicant is requesting a block length waiver from the Council with this application.**

Staff Analysis of Final Plat Submittal:

The approved preliminary plat consisted of a maximum of 30 residential lots and they are all being platted at this time.

Lot Layout – The density of Lake Haven Estates Subdivision is 2.17 du/acre. The Final Plat indicates lot sizes range in size from .30 acre to 18.5 acres with the average lot being 1.61 acres. This is in line with the approved preliminary plat.

Common/Open Space and Amenities – The development is proposing approximately 16% usable open space. Amenities include a pickleball court, walking paths and landscaped area around a large pond. **The letter of intent for the final plat indicates that the walking path north of Lots 16-18, along with fencing, has been excluded from the development, as it was “inconsistent with the vision for the subdivision”. This is inconsistent with the approved preliminary plat and landscape plan and will be required to be provided within the development.**

Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2- M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use “Treasure Valley Tree Selection Guide”, as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape appears to satisfy these requirements. If street trees are to be planted by the builder, the Certificate of Occupancy may be withheld pending confirmation that the correct number and species of tree(s) have been planted.**

Setbacks – The applicant has not been approved for any special setbacks and the development will comply with the standard setbacks of the R-2 zone as follows:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side

R-2	35'	20'	20'	10'	20'
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Mailbox Cluster – **Applicant has not provided documentation from the appropriate Postmaster depicting the approved location for the mailbox cluster. This will be required before signing the final plat.** The Unified Development Code Section 8-4A-21: states that All mailbox clusters shall be approved by the postmaster prior to installation. **All clusters shall be covered with an architecturally designed cover, to be approved by the Administrator prior to final plat signature. All covers shall be provided with lighting and shall be stained/painted and kept in good condition at all times.** The administrator may issue a letter of violation to the HOA when any mailbox cluster or cover falls into disrepair. Maintenance shall be included in the CC&R's. A turnout shall be installed adjacent to the mailbox cluster to provide community access, if approved by the transportation authority and postmaster. The design shall be included as part of the preliminary plat submittal.



Section 8-3B-3 of the Unified Development Code sets forth additional residential district standards in the City of Star.

J. Additional residential standards applying to all new residential subdivisions:

1. Residential Elevations:
 - i. Building elevations for all residential uses shall be submitted with any development application and will be included as part of any preliminary plat, development agreement and/or any other condition of approval.
 - ii. Single-Family Residential Building Front and Side Elevation Minimum Standards. These standards shall be reviewed for compliance with all submitted residential building permits under the Building Zoning

Certificate process. Council may adopt these standards as part of a development agreement or preliminary plat approval. The following minimum standards shall be applied to all new residential structure elements in all zones:

1. Exterior finishes shall be primarily horizontal/vertical wood or wood product siding, brick, stucco, stone, or other decorative masonry product. **A minimum of three (3) architectural elements shall be provided for all single-family residential structures.** These elements shall include, but are not limited to, shingled, horizontal or vertical siding, stone or brick highlights, garage door windows or hardware, colored window frames, or other architectural treatments deemed appropriate by the administrator.

Section 8-3B-3 designates EXTERIOR ARCHITECTURAL ELEMENTS:



2. Two-story detached structures should provide a minimum of one, second story side window per side elevation, when appropriate.
3. A minimum one (1) foot overhang shall be provided on all roof overhangs. Administrator may approve deviation from this standard.
4. **Dwellings backing up to collector or arterial streets shall have rear elevations and/or architectural designs that provide depth and dimension, avoiding the flat-wall appearance. These elements must be functional and may not be minimized**

or created solely for the purpose of compliance with this provision.

5. Additional landscaping buffers may also be required.

2. Dwelling Unit Design. Building styles shall be spread throughout the entire development (including all contiguously owned and phased properties). Nowhere within the development shall any fewer than 5 different exterior elevation styles and/or floorplans be located adjacent to each other. The number of different dwelling styles within a development shall be as follows:
 - a. **1 to 50 units = minimum of 5 architectural styles and/or floorplans**
 - b. 51 to 100 units = minimum of 7 architectural styles and/or floorplans
 - c. 101 and over units = minimum of 10 architectural styles and/or floorplans

3. Homeowners Associations. All subdivisions shall be maintained by a Homeowners association with appropriate Conditions, Covenants and Restrictions (CC&R's). CC&R's are not enforceable by the City and are private contracts between the developer and the property owner.

Irrigation and drainage ditches shall not be covered, tiled or re-routed as part of any new residential development unless specifically approved by Council and the applicable irrigation and/or drainage district. Perforated piping may be considered as an option if tiling is allowed.

Street Names – The applicant has not provided documentation from the Canyon County Street Naming Committee that the proposed street names are approved. **This will be required before signing the final plat.**

Subdivision Name – The applicant has provided documentation that the proposed subdivision name has been approved by Canyon County Development Services. The name is reflected accurately on the final plat.

Lighting - Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. **The applicant has not submitted a proposed streetlight plan or cut sheet. This will be required prior to signing the final plat.**

Fencing – **Applicant has only provided proposed fencing for the pickleball court. The letter of intent states that the open vision fence throughout the subdivision has been excluded,**

as it was "inconsistent with the vision for the subdivision". A complete fencing plan will be required to be submitted and approved before signing the final plat.

Sidewalks - Internal sidewalks are proposed at five-foot (5') widths and will be detached with an eight-foot (8') wide planter strip.

Floodplain – The property is located in a Flood Hazzard Area and will need to meet all related requirements prior to issuing building permits and/or as required by the Flood Plain Administrator or applicable agency or district.

PUBLIC NOTIFICATIONS

Notifications of this application were sent to agencies having jurisdiction on January 9, 2025.

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

- A. The Plat is in conformance with the Comprehensive Plan.
The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.
- B. Public services are available or can be made available and are adequate to accommodate the proposed development.
Staff finds that all public services are available and able to accommodate this development.
- C. There is public financial capability of supporting services for the proposed development.
Staff knows of no financial hardship that would prevent services from being provided.
- D. The development will not be detrimental to the public health, safety or general welfare; and,
Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.
- E. The development preserves significant natural, scenic or historic features.
Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.

CONDITIONS OF APPROVAL

Conditions Included in the Findings of Fact or Development Agreement.

- Council hereby approves private streets and gates with this development.
- Council hereby approves a waiver of sidewalks on the west side of Lake Haven Lane and along the southern entrance street (Koa Lane).
- Council hereby approves waivers to block length within the development.

Conditions Specific to Signature of Final Plat.

1. The applicant shall receive approval of all Floodplain applications and meet all FEMA requirements, if applicable, prior to approval of the final plat. The applicant shall also submit a Permit to Develop in an Area of Special Flood Hazard to the Floodplain Manager for review and approval prior to any development work on the property.
2. Per the Development Agreement and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the city \$1,000 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$30,000. \$30,000 is due (30 residential lots x \$1000) to be paid before signing the final plat.
3. A streetlight plan and cutsheet shall be provided to staff prior to signing the final plat. Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative. Even after installation, streetlights may require shielding to prevent light trespass.
4. Approval from the Postmaster for the mailbox cluster shall be provided to Staff prior to signing the final plat.
5. The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC.
6. Approval for the street names shall be provided prior to signing the final plat.
7. As built plans for pressurized irrigation systems shall be submitted to the City of Star prior to signature of the final plat.
8. The walking path north of Lots 16-18 shall be included in the development as originally approved by Council. A revised landscape plan shall be submitted for approval by Staff prior to signature.
9. A fencing plan shall be submitted showing all proposed fencing throughout the development prior to signature of final plat.

Additional Conditions of Approval.

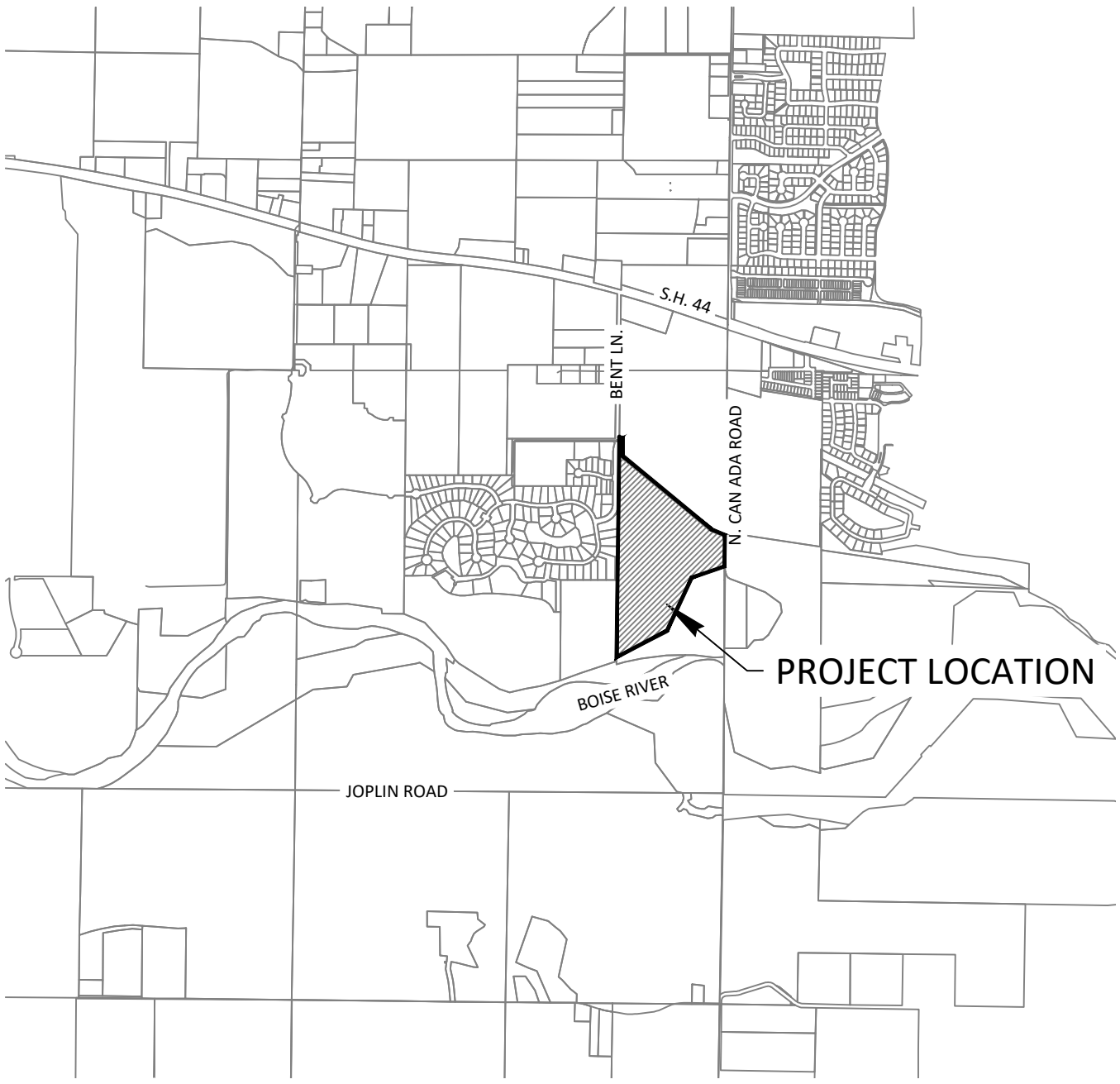
1. The approved Final Plat for Lake Haven Estates Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. Council has approved the following as part of the preliminary plat:
 1. Sidewalk waivers for one-side of private streets, as approved by Council.
 2. Council approves waivers to maximum block length.
 3. Private Streets with gates are hereby approved by Council.
3. **The applicant shall pay all required public safety mitigation fees to the City, as determined by City Council.**
4. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting.
5. **All future building permits for single family dwellings shall be reviewed for compliance with Section 8-3B-3J, including exterior finishes, dwelling unit design and rear elevation design along collector roadways.**
6. **The mailbox cluster must be covered and reasonably lit, per Section 8-4A-21 of the UDC.**
7. As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **Street trees shall be installed per Chapter 8, Section 8-8C-2-M(2) Street Trees. Applicant shall provide locations for the local street trees at the time of final plat. If driveway locations will not be determined until sale of the lot, Applicant agrees to not receive the Certificate of Occupancy until street trees are confirmed in place.**
8. All streets shall have a minimum street width of 36' and shall be constructed to HD#4/ACHD standards.
9. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
10. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development

process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.

11. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
12. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
13. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
14. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
15. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
16. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
17. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
18. A separate sign application is required for any subdivision sign.
19. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.
20. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
21. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
22. All common areas shall be maintained by the Homeowners Association.
23. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
24. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
25. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
26. Any additional Condition of Approval as required by Staff and City Council.

COUNCIL DECISION

The Star City Council _____ File # FP-24-14 Lake Haven Estates Subdivision, on
_____, _____ 2025.



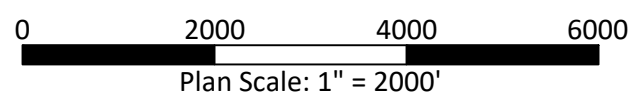
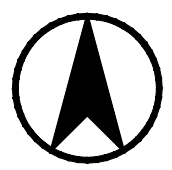
P:\24-193\CIVIL\CAD\BASE\24-193 X-VICINITY MAP.DWG, JACOB O'GORMAN, 11/7/2024, DWG TO PDF.PC3, ----



ENGINEERING
 5725 NORTH DISCOVERY WAY
 BOISE, IDAHO 83713
 PHONE (208) 639-6939
 kmengllp.com

DATE: 11/8/24
 PROJECT: 24-193

SHEET:
 1



LAKEHAVEN ESTATES SUBDIVISION
 STAR, ID

VICINITY MAP

November 18, 2024
Project No.: 24-193

Mr. Shawn Nickel
Planning Director and Zoning Administrator
City of Star
10769 W. State Street
Star, ID 83669

RE: Lakehaven Estates Subdivision No. 1– Star, ID
Final Plat Letter of Intent and Statement of Compliance

Dear Mr. Nickel,

On behalf of Tradition Capital Partners, LLC., we are pleased to submit the attached application and required supplements for the final plat of Lakehaven Estates Subdivision No. 1. Please accept this letter as the required written narrative regarding the project.

Lakehaven Estates Subdivision No. 1 is a single-family residential community located on four parcels (R3403510A0, R34035010A1, R3403901100 and R3403942000) off Koa Lane, South of Catagnola Lane. This subdivision encompasses approximately 65.30 +/- acres of the overall site and is comprised of 30 buildable lots and 8 common lots. Buildable lots range in size from 0.303 +/- acres to 18.51 +/- acres, with an average lot size of 1.61 +/- acres. The gross density of this phase of development is 0.46 du/acre and has 16.6% of qualified open space in compliance with the approved preliminary plat. Amenities for this development include a pickleball court and pathways.

This subdivision plat follows all dimensional standards for the R-2 District and as outlined in the staff report.

Please note that several site elements shown in the preliminary plat were modified or removed from the enclosed construction plans. A walking path north of Lots 16-18 and open vision fence throughout the subdivision was determined to be inconsistent with the vision for the subdivision and is now excluded. Additionally, Lakehaven Lane's cul-de sac alignment was modified slightly to eliminate an unnecessary curve and increase open space.

Should you have questions or require further information in order to process this application, please feel free to contact me.

Thank you,
KM Engineering, LLP



Cheryl Heath
Development Coordinator



FINAL PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: FP-24-14
Date Application Received: 11-22-24 Fee Paid: \$2680.00
Processed by: City: BN

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: Tradition Capital Partners
 Applicant Address: 8454 Brookhaven Place, Middleton, ID Zip: 83644
 Phone: (208) 863-5164 Email: spencer@tcpidaho.com

Owner Name: Tradition Capital Partners
 Owner Address: 8454 Brookhaven Place, Middleton, ID Zip: 83644
 Phone: (208) 863-5164 Email: spencer@tcpidaho.com

Representative (e.g., architect, engineer, developer):
 Contact: Cheryl Heath Firm Name: KM Engineering, LLP.
 Address: 5725 N. Discovery Way, Boise, ID Zip: 83713
 Phone: (208) 639-6939 Email: cheath@kmengllp.com

Property Information:

Subdivision Name: Lakehaven Estates Subdivision Phase: 1

Parcel Number(s): R3403942000, R34035010A1, R34035010A0, R3403901100

Approved Zoning: R-2 (Residential) Units per acre: +/-0.46 dwelling units per acre

Total acreage of phase: +/- 65.3 AC Total number of lots: 38

Residential: 30 Commercial: 0 Industrial: 0

Common lots: 8 Total acreage of common lots: 12.5 AC Percentage: 19%

Percent of common space to be used for drainage: 28% Acres: +/- 3.5 AC

Special Flood Hazard Area: total acreage +/- 65 AC number of homes 29

Changes from approved preliminary plat pertaining to this phase: Lakehaven Lane cul-de sac realignment, removal of fence, removal of pathway north of Lots 16-18. See narrative.

	Preliminary Plat	Final Plat
Number of Residential Lots:	<u>1 existing, 29 Proposed</u>	<u>1 existing, 29 proposed</u>
Number of Common Lots:	<u>6 open space, 2 PUT Road</u>	<u>6 open space, 2 PUT Road</u>
Number of Commercial Lots:	<u>n/a</u>	<u>n/a</u>
Roads:	<u>Chateau Place</u> <u>Koa Lane</u>	<u>Lakehaven Lane</u>

Amenities: Pickleball Court Pathway

Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision Name: Lakehaven Estates Subdivision Phase: 1

Special Flood Hazard Area: total acreage +/- 65.30 AC number of homes 29

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16027C0267G, 16027C0259G
 FIRM effective date(s): mm/dd/year 06/07/2019
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone AE, Zone X
 Base Flood Elevation(s): AE .0 ft., etc.: ~ 2454.4 - 2455.7
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (√)	Description	Staff (√)
X	Completed and signed copy of Final Plat Application	BN
X	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
X	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> • Gross density of the phase of the Final Plat submitted • Lot range and average lot size of phase • Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities • List any specific approved building setbacks previously approved by Council. 	BN
forthcoming	Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)	
X	Electronic copy of current recorded warranty deed for the subject property	BN
X	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.	BN
X	Electronic copy of subdivision name approval from Ada County Surveyor's office.	BN
forthcoming	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada Canyon County Street Naming	
X	Electronic copy of vicinity map showing the location of the subject property	BN
X	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	BN
X	One (1) 11" X 17" paper copy of the Final Plat	BN
X	Electronic copy of the Final landscape plan**	BN

X	One (1) 11" X 17" copy of the Final landscape plan	Section 5, Item D. BN BN
X	Electronic copy of site grading & drainage plans**	
X	Electronic copy of originally approved Preliminary Plat**	BN
X	Electronic copy of a Plat with all phases marked with changes, if applicable**	BN
X	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	BN
X	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	BN
X	Electronic copy of streetlight design and location information	
X	Special Flood Information – Must be included on Preliminary/Final Plat and Application form.	BN
	Electronic copy of all easement agreements submitted to the irrigation companies	
X	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	BN
X	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.</u>	BN
forthcoming	<p>Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance:</p> <ul style="list-style-type: none"> • One (1) 11" X 17" and (1) 18" X 24" recorded copy of Final Plat • Electronic copy of final, approved construction drawings • Electronic copy of as-built irrigation plans • Electronic copy of recorded CC&R's • Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign • Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please. 	
	**NOTE: No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid.	

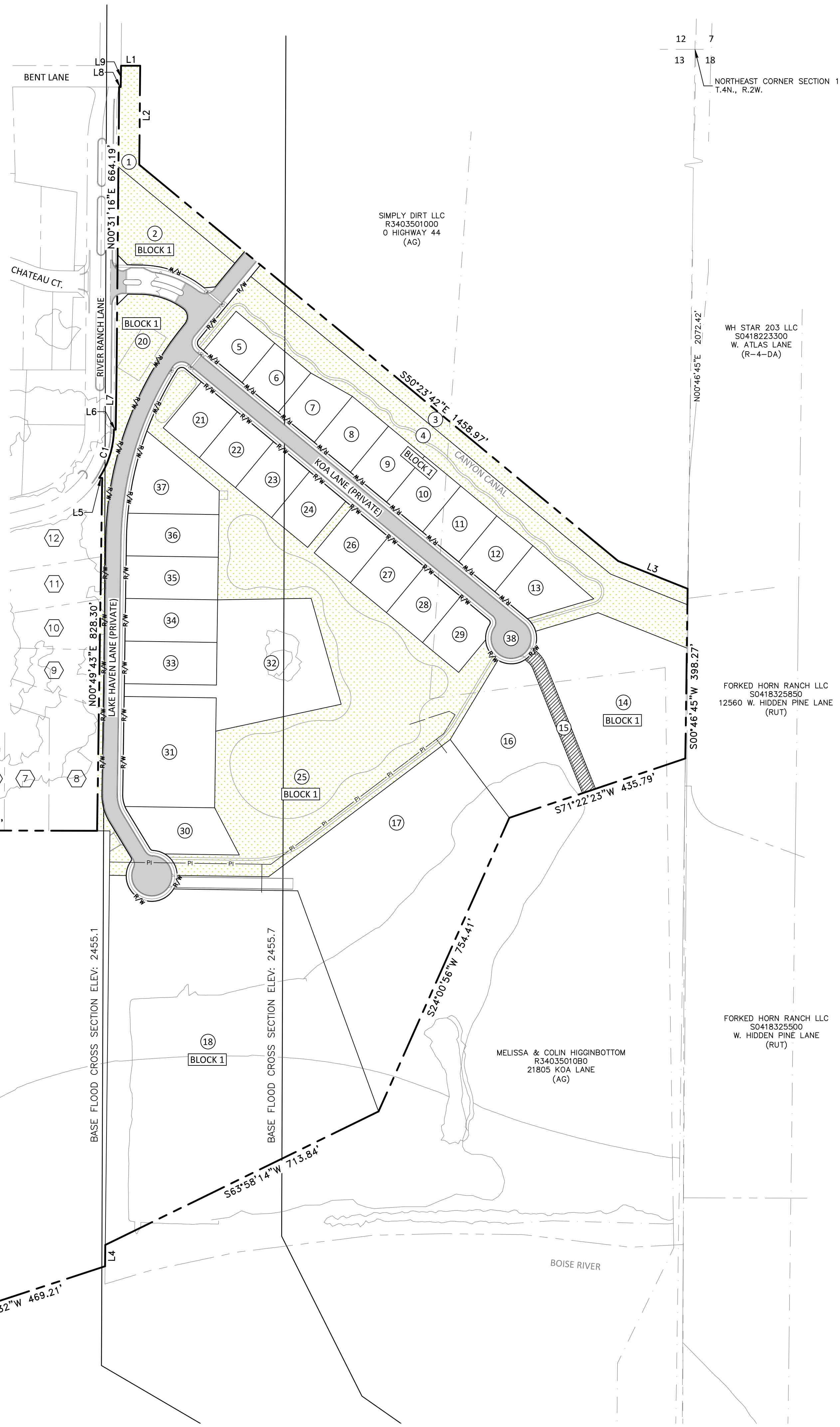
FEE REQUIREMENT:

*** I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*


 Applicant/Representative Signature

November 18, 2024
 Date

#	PARCEL NO.	PRIMARY OWNER	PROPERTY ADDRESS
1	R3403940400	STAR RIVER RANCH ESTATES HOA	6633 TRINITY CREEK LANE
2	R3403941300	MICHAEL PIERCE	6315 SALMON FALLS LANE
3	R3403941400	MIKELLE LAW	6303 SALMON FALLS LANE
4	R3403941500	ROBERT HUEBNER	6293 SALMON FALLS LANE
5	R3403941600	JUSTIN MASON	6287 SALMON FALLS LANE
6	R3403941700	RADCON INDUSTRIES INC	6271 SALMON FALLS LANE
7	R3403941800	DAS INVESTMENTS LLC	6263 SALMON FALLS LANE
8	R3403941900	DREW URNESS	6251 SALMON FALLS LANE
9	R3403933200	ENDURANCE HOLDINGS LLC	21492 SALMON FALLS LANE
10	R3403933100	ENDURANCE HOLDINGS LLC	21510 SALMON FALLS LANE
11	R3403933000	ENDURANCE HOLDINGS LLC	21528 SALMON FALLS LANE
12	R3403932900	KENDALL MATSON	21546 SALMON FALLS LANE



LINE	BEARING	DISTANCE
L1	S89°58'49"E	45.05
L2	S00°33'15"W	232.29
L3	S68°13'43"E	175.54
L4	S00°38'24"W	50.00
L5	N89°10'17"W	7.11
L6	S89°27'59"E	4.25
L7	N00°49'43"E	139.96
L8	S89°47'53"E	3.81
L9	N00°41'41"E	50.10

CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	208.50'	119.78'	32°54'57"	N16°58'45"E	118.14'

PRELIMINARY PLAT NOTES

- ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
- MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT OR AS SPECIFICALLY APPROVED AND/OR REQUIRED.
- ALL DEVELOPMENT WITHIN THIS SUBDIVISION SHALL BE CONSISTENT WITH THE CONDITIONS OF DEVELOPMENT WITHIN THE DEVELOPMENT AGREEMENT.
- LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY.
- THIS DEVELOPMENT IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS.
- DIRECT LOT ACCESS FROM RIVER RANCH LANE IS PROHIBITED UNLESS APPROVED BY THE CANYON COUNTY HIGHWAY DISTRICT AND THE CITY OF STAR.
- ALL LOTS ARE HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE OVER THE 5 FEET ADJACENT TO ANY INTERIOR SIDE LOT LINE, OVER THE 10 FEET ADJACENT TO ANY PRIVATE STREET AND OVER THE 12 FEET FOR REAR LOT LINE OR SUBDIVISION BOUNDARY UNLESS OTHERWISE NOTED.
- THIS DEVELOPMENT RECOGNIZES 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREON."
- LOTS 1 & 2, BLOCK 1; LOTS 1, 2, 34 & 35, BLOCK 2 ARE COMMON LOTS.
- LOT 13, BLOCK 2 IS A COMMON DRIVE FOR THE BENEFIT OF PARCEL No. R3403501080
- LOTS 20, BLOCK 2 IS AN EXISTING RANCHETTE TO REMAIN.
- IRRIGATION WATER HAS BEEN PROVIDED FROM CANYON COUNTY WATER COMPANY IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805(1)(b). LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS AND WILL BE OBLIGATED FOR ASSESSMENTS FROM SAID CANAL COMPANY.
- RESTRICTIVE COVENANTS AND CONDITIONS RECORDED IN CONJUNCTION WITH THE FINAL PLAT WILL BE IN EFFECT FOR THIS SUBDIVISION.
- INTERNAL LOT LINES ARE CONCEPTUAL AND MAY CHANGE DURING FINAL DESIGN.
- CROSS-ACCESS EASEMENTS AND UTILITY EASEMENT MAY BE PROVIDED ACROSS LOT LINES, AS DETERMINED, DURING FINAL DESIGN.

PROJECT TEAM

- PROPERTY OWNER**
- NAME: TRADITION CAPITAL PARTNERS LLC
 PARCEL: R34035010A1
 SITE ADDRESS: 0 KOA LANE
 CITY/STATE/ZIP: STAR, IDAHO 83669
- NAME: TRADITION CAPITAL PARTNERS LLC
 PARCEL: R3403942000
 SITE ADDRESS: 0 RIVER RANCH LANE
 CITY/STATE/ZIP: STAR, IDAHO 83669
- NAME: NATHAN OGDEN
 PARCEL: R34035010A0
 SITE ADDRESS: 21831 KOA LANE
 CITY/STATE/ZIP: STAR, IDAHO 83669
- ENGINEERING**
- NAME: KM ENGINEERING, LLP.
 CONTACT: JEFF DOERSCH, P.E.
 ADDRESS: 5725 N. DISCOVERY WAY
 CITY/STATE/ZIP: BOISE, IDAHO 83713
 PHONE: 208.639.6939
 EMAIL: jdoersch@kmenllp.com
- LANDSCAPE ARCHITECT**
- NAME: KM ENGINEERING, LLP.
 CONTACT: ALYSSA YENSEN, PLA
 ADDRESS: 5725 N. DISCOVERY WAY
 CITY/STATE/ZIP: BOISE, IDAHO 83713
 PHONE: 208.639.6939
 EMAIL: ayensen@kmenllp.com
- DEVELOPER**
- NAME: TRADITION CAPITAL PARTNERS LLC
 CONTACT: SPENCER KOEDEL
 ADDRESS: 8454 BROOKHAVEN PLACE
 CITY/STATE/ZIP: MIDDLETON, IDAHO 83644
 EMAIL: spencer@tcpidaho.com
 PHONE: 208.863.5164

LEGEND

- BOUNDARY LINE
- - - ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- SECTION LINE
- R/W- RIGHT-OF-WAY LINE
- LOT LINE

INDEX OF DRAWINGS

SHEET NO.	SHEET TITLE
PP1.0	PRELIMINARY PLAT - COVER
PP2.0	PRELIMINARY PLAT - EXISTING CONDITIONS
PP3.0	PRELIMINARY PLAT - PRELIM. ENGINEERING
PP3.1	PRELIMINARY PLAT - PRELIM. ENGINEERING
EX 1.0	OPEN SPACE EXHIBIT
PPL1.0	PRELIMINARY PLAT LANDSCAPE COVER
PPL2.0	PRELIMINARY PLAT LANDSCAPE PLAN
PPL3.0	PRELIMINARY PLAT LANDSCAPE PLAN
PPL4.0	PRELIMINARY PLAT LANDSCAPE PLAN
PPL5.0	PRELIMINARY PLAT LANDSCAPE FENCE PLAN

PRELIMINARY PLAT SHOWING LAKE HAVEN ESTATES

PORTIONS OF THE EAST 1/2 OF THE NORTHEAST 1/4, GOVERNMENT LOT 1, AND ACCRETION LAND SITUATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CANYON COUNTY, IDAHO
 MARCH, 2024

PRELIMINARY PLAT DATA

SITE DATA

PARCEL NUMBER(S): R3403942000, R34035010A1, R34035010A0 & R3403901100

CURRENT ZONING: R-R & R-2

REQUESTED ZONING: R-2 (RESIDENTIAL DISTRICT)

PROJECT AREA: ±65.30 ACRES (GROSS)

DEVELOPABLE LOTS: 29 LOTS ±46.89 ACRES

EXISTING RANCHETTE: 1 LOT ±1.82 ACRES

COMMON LOTS: 6 LOTS ±12.43 ACRES

COMMON DRIVE LOTS: 1 LOT ±0.26 ACRES

PRIVATE ROADWAY: ~ ±3.90 ACRES

MINIMUM LOT SIZE: ±13,200 SF ±0.30 ACRES

MAXIMUM LOT SIZE: ±812,392 SF ±18.65 ACRES

AVERAGE LOT SIZE: ±70,712 SF ±1.62 ACRES

DENSITY: ±0.46 UNITS PER ACRE

DIMENSIONAL STANDARDS FOR THE R-2 DISTRICT (PER TABLE 8-3A-4)

MAXIMUM HEIGHT: 35'

FRONT YARD SETBACK: 20'

REAR YARD SETBACK: 20'

INTERIOR SIDE YARD SETBACK: 10'

STREET SIDE SETBACK: 20'

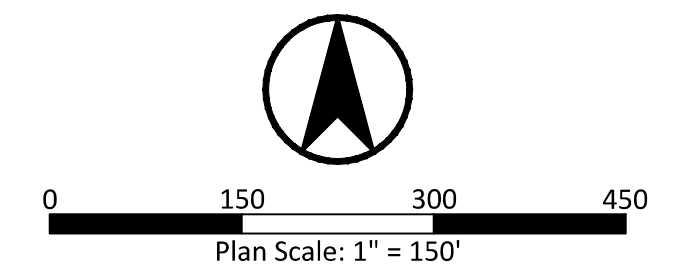
- FRONT YARD SETBACK SHALL BE MEASURED FROM THE FACE OF THE GARAGE TO THE FACE OF THE SIDEWALK, ALLOWING FOR 20' OF PARKING ON THE DRIVEWAY WITHOUT OVERHANGING ONTO THE SIDEWALK.

UTILITIES

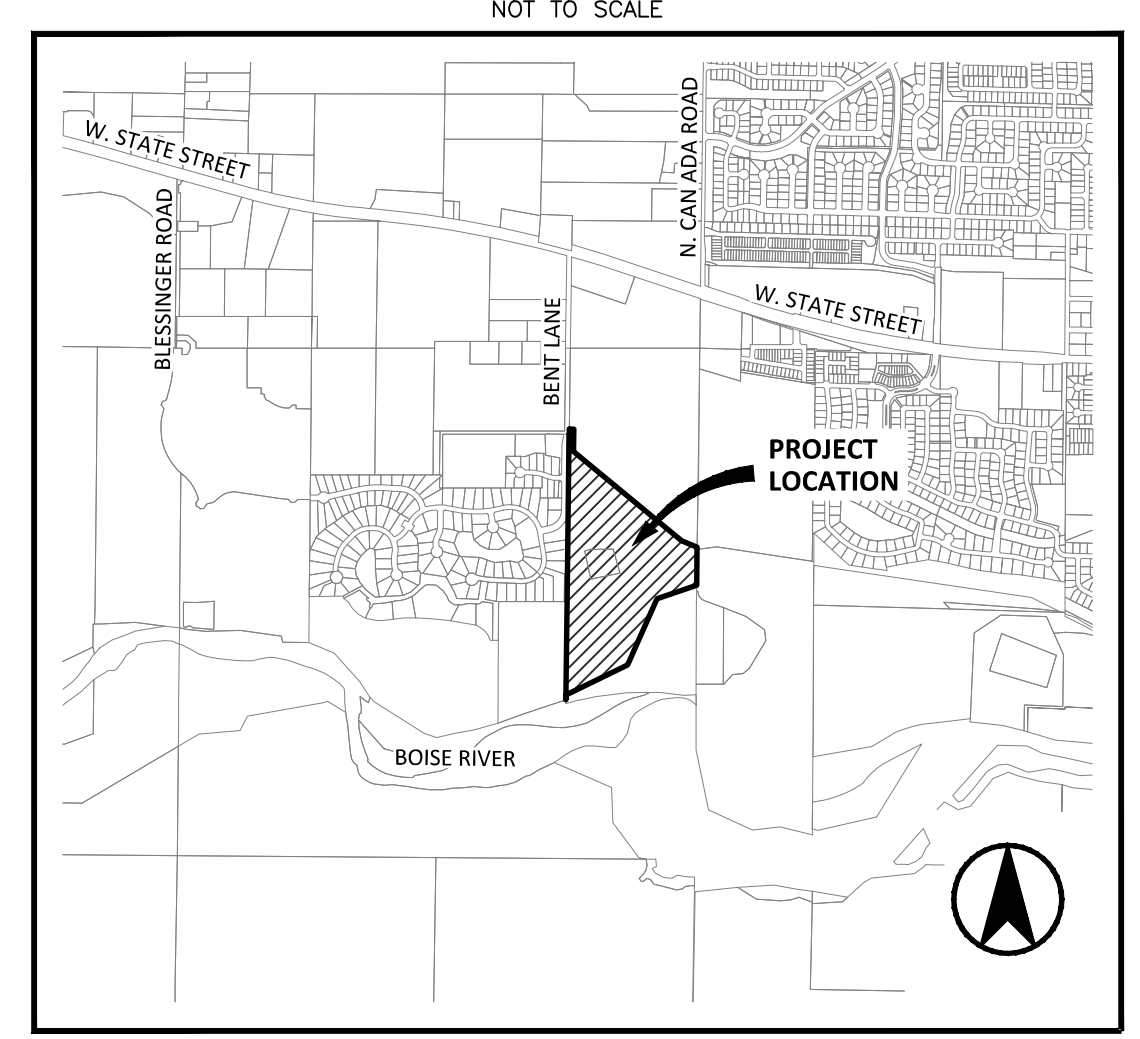
WATER:	STAR WATER & SEWER DISTRICT
SEWER:	STAR WATER & SEWER DISTRICT
IRRIGATION:	CANYON COUNTY WATER COMPANY
POWER:	IDAHO POWER
NATURAL GAS:	INTERMOUNTAIN GAS CO.
TELEPHONE:	CENTURYLINK

SURVEY CONTROL NOTES

- ALL SURVEY DATA IS BASED ON THE NAD83 STATE PLANE COORDINATE SYSTEM (IDAHO WEST 1103) AND NAVD 88 VERTICAL DATUM.



VICINITY MAP



LAKE HAVEN ESTATES STAR, IDAHO PRELIMINARY PLAT - COVER		
REVISIONS		
NO.	ITEM	DATE
1	CITY COMMENT REVISIONS	8/8/24

Professionally signed by

 Digitally signed by Jeffrey W. Doersch, PE
 Date: 2024.08.08 13:01:30 -0600

DATE: 8/8/24
 PROJECT: 22-192
 SHEET NO.
PP1.0

PRELIMINARY PLAT SHOWING LAKE HAVEN ESTATES

PORTIONS OF THE EAST 1/2 OF THE NORTHEAST 1/4, GOVERNMENT LOT 1, AND ACCRETION LAND SITUATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CANYON COUNTY, IDAHO

MARCH, 2024

- ### PRELIMINARY ENGINEERING NOTES
- DOMESTIC WATER SERVICE WILL BE PROVIDED BY THE CITY OF STAR. THE PROPERTY WILL BE SERVED BY EXTENDING AND CONNECTING TO EXISTING INFRASTRUCTURE ALONG RIVER RANCH LANE. EXACT LOCATION TO BE DETERMINED DURING FINAL DESIGN.
 - SANITARY SEWER SERVICE WILL BE PROVIDED BY STAR SEWER DISTRICT. THE PROPERTY WILL BE SERVED BY CONNECTING TO EXISTING INFRASTRUCTURE ALONG RIVER RANCH LANE. EXACT LOCATION TO BE DETERMINED DURING FINAL DESIGN.
 - WATER AND SEWER LINE SIZES AND LOCATIONS ARE PRELIMINARY AND WILL BE REFINED DURING FINAL DESIGN AND WILL BE INSTALLED IN ACCORDANCE WITH THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY & CITY OF STAR REQUIREMENTS.
 - STORM DRAINAGE FROM THE ROADWAYS AND LOTS WILL BE COLLECTED IN ROADSIDE CURB AND GUTTER AND ROUTED TO STORM INFILTRATION FACILITIES IN COMMON AREAS SHOWN ON THE PLAN. THE STORM INFILTRATION FACILITIES SHOULD BE DESIGNED TO MEET THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY AND THE CITY OF STAR'S REQUIREMENTS. THE STORM DRAINAGE FACILITIES SHOWN ARE PRELIMINARY AND SHALL BE DETERMINED DURING FINAL DESIGN.
 - GRAVITY IRRIGATION IMPROVEMENTS SHOWN ARE PRELIMINARY AND SHALL BE DETERMINED DURING FINAL DESIGN.
 - ALL STREETS SHALL BE PRIVATE ROADWAYS. ROADWAYS WILL BE CONSTRUCTED TO AT LEAST MINIMUM CITY OF STAR STANDARDS. SEE PRELIMINARY CROSS SECTION ON SHEET PP3.1.
 - ANY PEDESTRIAN RAMPS, CROSSINGS AND PATHWAYS ARE SHOWN IN A CONCEPTUAL MANNER AND WILL BE REFINED AND DETAILED DURING FINAL DESIGN.
 - SANITARY SEWER, WATER, STORM DRAINAGE AND GRAVITY IRRIGATION FACILITIES LOCATED OUTSIDE A PUBLIC RIGHT-OF-WAY WILL BE PROVIDED A PERMANENT PUBLIC UTILITY EASEMENT.

- ### KEYNOTES
- CONNECT TO EXISTING WATER
 - STUB WATER FOR FUTURE CONNECTION
 - CONNECT TO EXISTING SEWER
 - STUB SEWER FOR FUTURE CONNECTION
 - GRAVITY IRRIGATION CONNECTION
 - EXISTING RANCHETTE
 - PICKLE-BALL COURTS & (1) TENNIS COURT
 - POND EXPANSION AREA
 - ENTRYWAY GATES
 - IRRIGATION PUMP STATION
 - STORMWATER TREATMENT FOREBAY
 - STORMWATER RETENTION POND
 - PRESSURE IRRIGATION CONNECTION
 - CLUSTER MAILBOX
- ### LEGEND
- BOUNDARY LINE
 - ADJACENT PROPERTY LINE
 - ROAD CENTERLINE
 - SECTION LINE
 - R/W R/W RIGHT-OF-WAY LINE
 - LOT LINE
 - EASEMENT LINE
 - SANITARY SEWER LINE
 - PRESSURE SEWER LINE
 - WATER LINE
 - STORM DRAIN LINE
 - GRAVITY IRRIGATION LINE
 - PRESSURE IRRIGATION LINE
 - EDGE OF GRAVEL
 - OVERHEAD POWER LINE
 - TOP OF BANK
 - TOE OF BANK
 - SEWER MANHOLE
 - ASPHALT ROADWAY
 - COMMON AREA
 - COMMON DRIVE
 - CONCRETE PAVERS

LINE	BEARING	DISTANCE
L1	S89°58'49"E	45.05
L2	N89°50'25"W	30.00
L3	N89°10'17"W	7.11
L4	S89°27'59"E	4.25
L5	S89°47'53"E	3.81
L6	S00°38'24"W	50.00

CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	208.50'	119.78'	32°54'57"	N16°58'45"E	118.14'

LAKE HAVEN ESTATES

STAR, IDAHO

PRELIMINARY PLAT - IDAHO. ENGINEERING

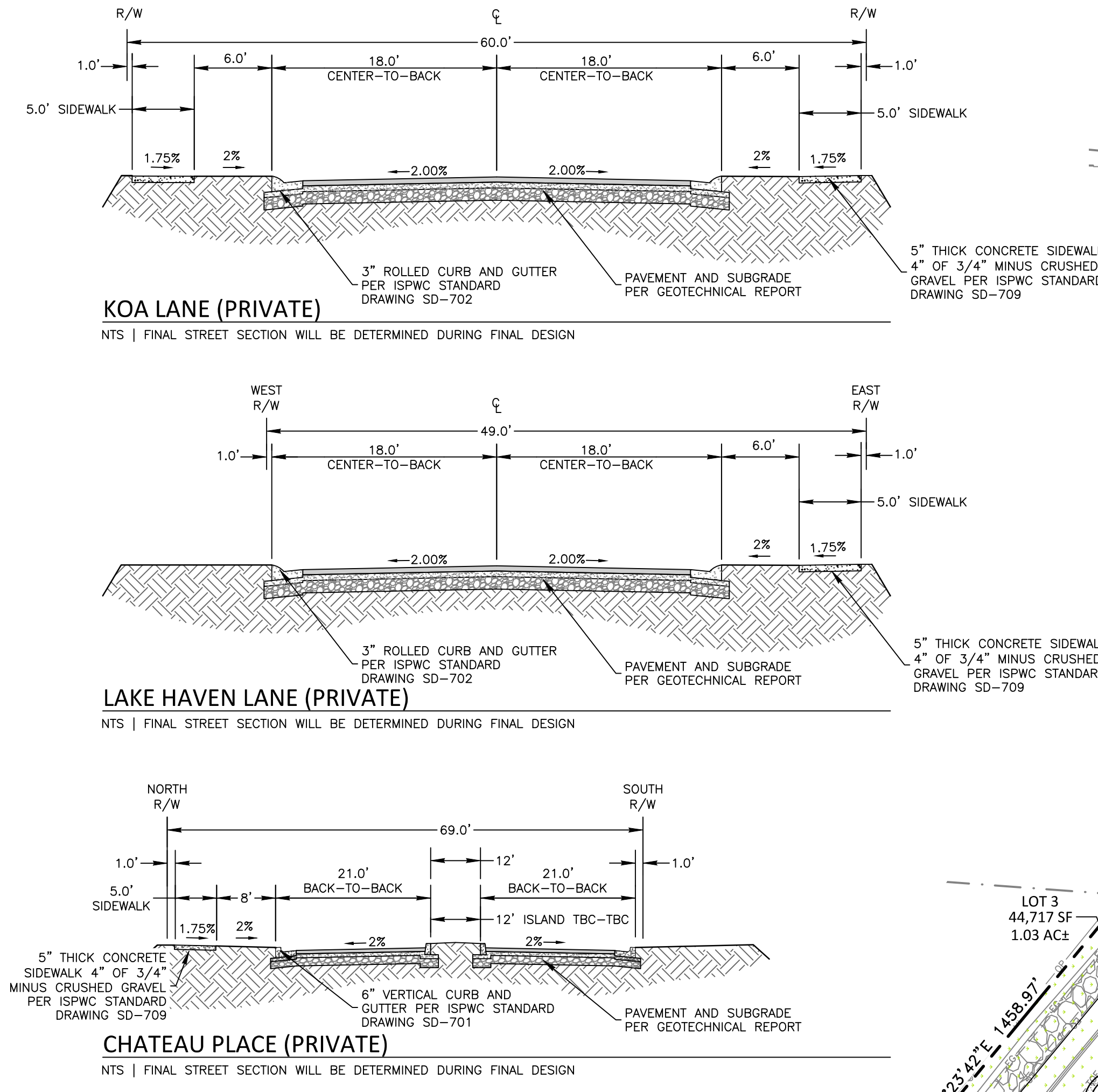
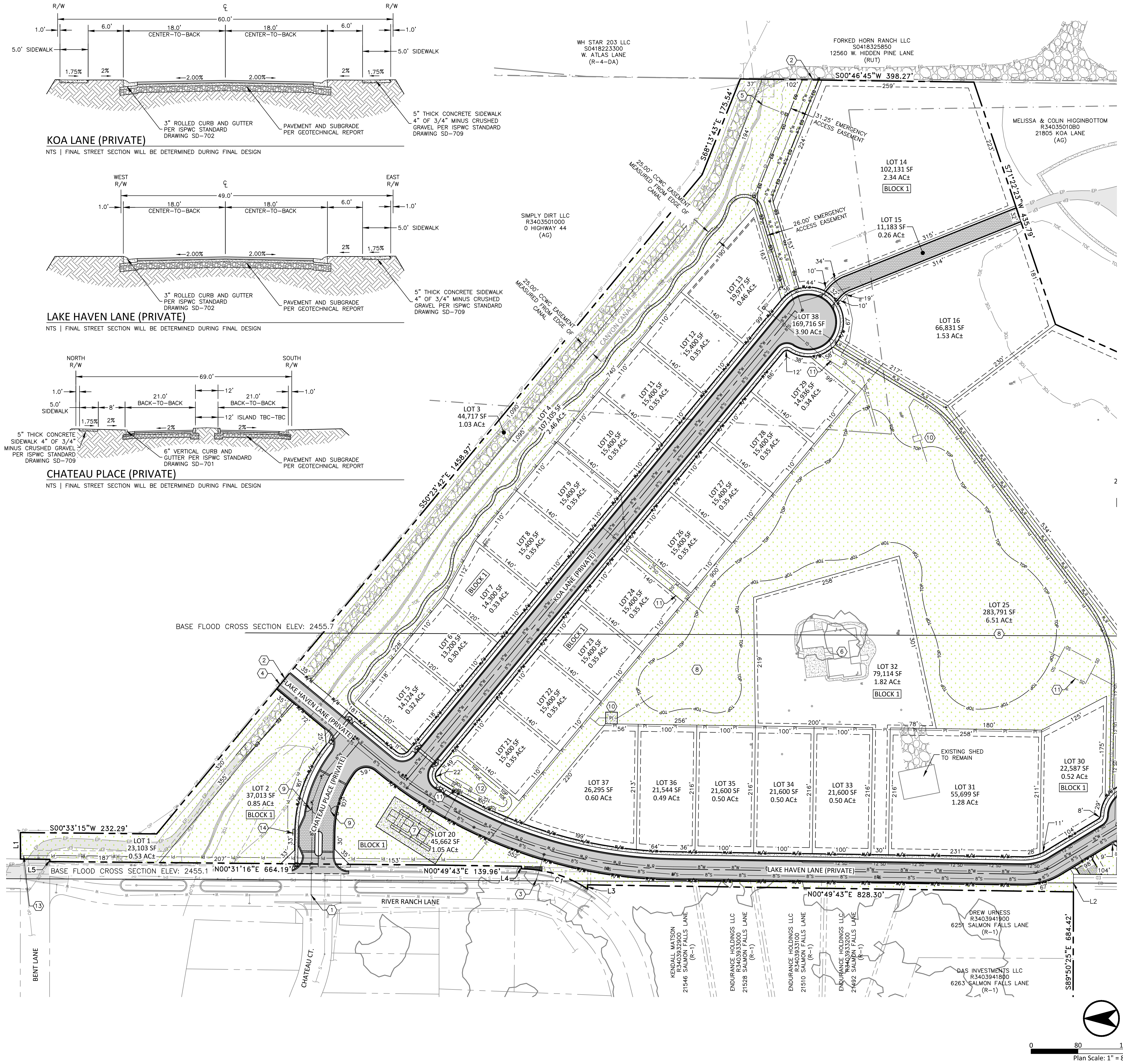
REVISIONS		
NO.	ITEM	DATE
1	CITY COMMENT REVISIONS	8/8/24

DATE: 8/8/24

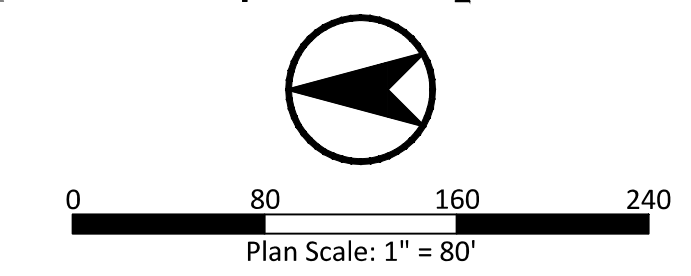
PROJECT: 22-192

SHEET NO. PP3.0

5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmengllp.com



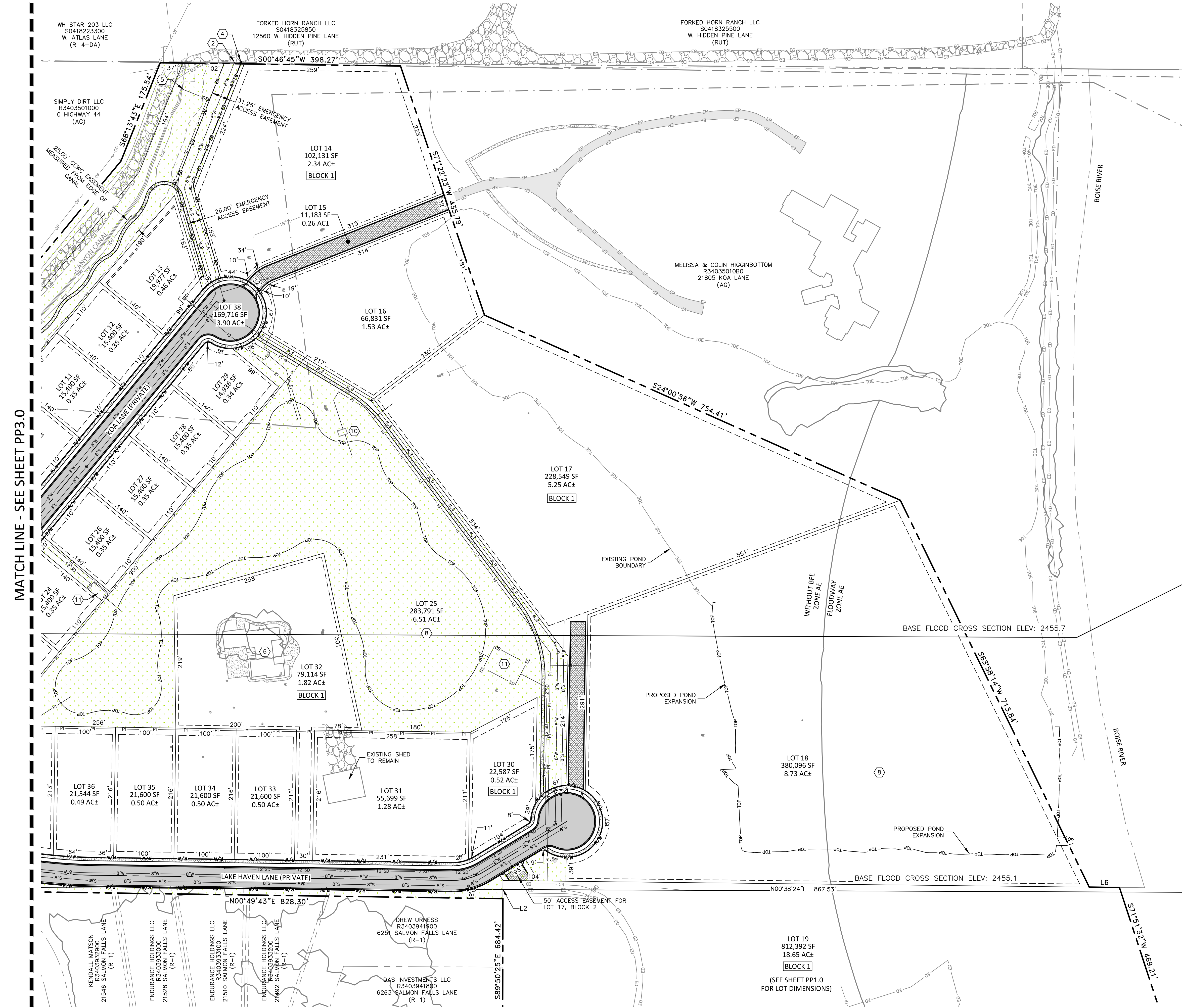
MATCH LINE - SEE SHEET PP3.1



P:\22-192\CAD\PLAT\PRELIMINARY\22-192 PP3.0 - LOT DIMENSIONS.DWG, JDOHUAJANTZ, 8/8/2024, DWG TO PDF, PLOT, 2X8081, [PP3]

PRELIMINARY PLAT SHOWING LAKE HAVEN ESTATES

PORTIONS OF THE EAST 1/2 OF THE NORTHEAST 1/4, GOVERNMENT LOT 1, AND ACCRETION LAND SITUATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CANYON COUNTY, IDAHO
MARCH, 2024



MATCH LINE - SEE SHEET PP3.0

- KEYNOTES**
- ① CONNECT TO EXISTING WATER
 - ② STUB WATER FOR FUTURE CONNECTION
 - ③ CONNECT TO EXISTING SEWER
 - ④ STUB SEWER FOR FUTURE CONNECTION
 - ⑤ GRAVITY IRRIGATION CONNECTION
 - ⑥ EXISTING RANCHETTE
 - ⑦ (2) PICKLE-BALL COURTS & (1) TENNIS COURT
 - ⑧ POND EXPANSION AREA
 - ⑨ ENTRYWAY GATES
 - ⑩ IRRIGATION PUMP STATION
 - ⑪ STORMWATER TREATMENT FOREBAY
 - ⑫ STORMWATER RETENTION POND
 - ⑬ PRESSURE IRRIGATION CONNECTION

- LEGEND**
- BOUNDARY LINE
 - ADJACENT PROPERTY LINE
 - ROAD CENTERLINE
 - SECTION LINE
 - R/W --- R/W --- RIGHT-OF-WAY LINE
 - LOT LINE
 - EASEMENT LINE
 - S --- S --- SANITARY SEWER LINE
 - PS --- PS --- PRESSURE SEWER LINE
 - W --- W --- WATER LINE
 - SD --- SD --- STORM DRAIN LINE
 - GI --- GI --- GRAVITY IRRIGATION LINE
 - PI --- PI --- PRESSURE IRRIGATION LINE
 - EG --- EG --- EDGE OF GRAVEL
 - OP --- OP --- OVERHEAD POWER LINE
 - TOP --- TOP --- TOP OF BANK
 - TOE --- TOE --- TOE OF BANK
 - Ⓢ SEWER MANHOLE
 - ASPHALT ROADWAY
 - COMMON AREA
 - COMMON DRIVE
 - CONCRETE PAVERS

LINE	BEARING	DISTANCE
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CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	208.50'	119.78'	32°54'57"	N16°58'45"E	118.14'

LAKE HAVEN ESTATES
STAR, IDAHO
PRELIMINARY PLAT - PRELIM. ENGINEERING

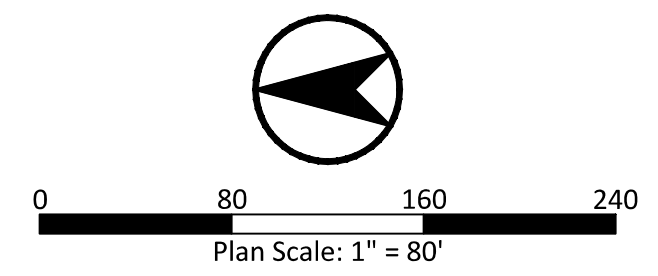
REVISIONS

NO.	ITEM	DATE
1	CITY COMMENT REVISIONS	8/8/24

5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmengllp.com

DATE: 8/8/24
PROJECT: 22-192
SHEET NO.
PP3.1

DATE: 8/8/24
PROJECT: 22-192
SHEET NO.
PP3.1



P:\22-192\CAD\PLAT\PRELIMINARY\22-192 PP 3.1 - LOT DIMENSIONS.DWG, JOSHUA JANZ, 8/8/2024, DWG TO PDF, PLOT, 3, 2024 [PP3]

GENERAL LANDSCAPE NOTES

- CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD UTILITIES WITHIN CONTRACT WORK AREAS PRIOR TO CONSTRUCTION. CONTACT DIG LINE, INC. @ 1.800.342.1585. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN.
- ALL TREE, TURF, PLANT MATERIAL, AND IRRIGATION PROPOSED WITHIN THE PLANTER STRIP BETWEEN BACK OF CURB AND SIDEWALK SHALL BE INSTALLED BY THE HOME BUILDER IN CONJUNCTION WITH THE INDIVIDUAL LOT DEVELOPMENT.
- ALL TREES PLANTED IN THE PARK STRIP (BY BUILDER) TO BE CENTERED BETWEEN BACK OF CURB AND SIDEWALK AND ARE SUBJECT TO THE ACHD DEVELOPMENT AGREEMENT FOR LANDSCAPING.
- FENCING WITHIN SUBDIVISION, ALONG SIDE AND REAR LOT LINES SHALL BE INSTALLED BY BUILDER/HOMEOWNER IN CONJUNCTION WITH INDIVIDUAL LOT DEVELOPMENT AND SHALL COMPLY WITH THE STANDARDS ESTABLISHED IN THE SUBDIVISION'S CC&RS.

GENERAL IRRIGATION NOTES

- ALL PLANT MATERIALS TO BE WATERED BY THE DEVELOPMENT OR SUBDIVISION PRESSURIZED IRRIGATION SYSTEM. IRRIGATION OF COMMON AREAS SHALL BE VIA THE SUBDIVISION'S PRESSURIZED IRRIGATION SYSTEM. IRRIGATION OF INDIVIDUAL LOTS AND LANDSCAPING ALONG THE FRONTAGE OF PRIVATE LOTS SHALL BE PRESSURIZED IRRIGATION WATER, AND THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.
- COVERAGE: THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ONE HUNDRED PERCENT (100%) COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- MATCHED PRECIPITATION RATES: SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE.
- IRRIGATION DISTRICTS: SPRINKLER HEADS IRRIGATING LAWN OR OTHER HIGH WATER DEMAND AREAS SHALL BE CIRCUITED SO THAT THEY ARE ON THE SEPARATE ZONE OR DISTRICT FROM THOSE IRRIGATING TREES, SHRUBS, OR OTHER REDUCED WATER DEMAND AREAS.
- OVERSPRAY: SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS STREETS, SIDEWALKS, DRIVEWAYS, AND PARKING AREAS.

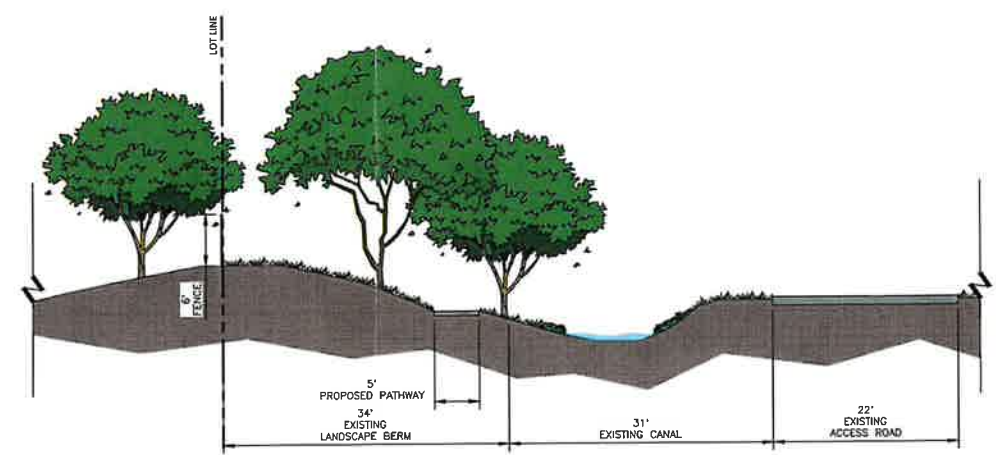
TREE PROTECTION NOTES

- THE CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT THE CRITICAL ROOT ZONE OF ALL TREES AT ALL TIMES THROUGHOUT PROJECT.
- PRIOR TO COMMENCING WORK, TEMPORARY FENCING SHALL BE INSTALLED IMMEDIATELY AROUND EACH TREE IMPACTED BY DEMOLITION OR CONSTRUCTION. FENCING SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THE ENTIRE DEMOLITION AND CONSTRUCTION PROCESS.
- BULK MATERIAL, EQUIPMENT, VEHICLES, AND CONSTRUCTION DEBRIS AND WASTE SHALL NOT BE STOCKPILED WITHIN THE CRITICAL ROOT ZONE.
- COMPACTION BY EQUIPMENT TRAFFIC IS PROHIBITED WITHIN THE CRITICAL ROOT ZONE.
- MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE. APPLY A MIN. 1.5" OF WATER OVER THE CRITICAL ROOT ZONE PER WEEK. THIS IS A MIN. RECOMMENDATION. CONTRACTOR IS RESPONSIBLE TO DETERMINE IF MORE WATER IS NECESSARY DURING CONSTRUCTION.
- ANY DAMAGE TO EXISTING TREES DURING CONSTRUCTION SHALL BE THE CONTRACTORS RESPONSIBILITY. THE CONTRACTOR SHALL PERFORM REMEDIAL WORK TO DAMAGED TREES AT THE CONTRACTOR'S EXPENSE.

OPEN SPACE TREE CALCULATIONS

OPEN SPACE TREES PROVIDED AT A MINIMUM OF (1) TREE PER 4,000 SF

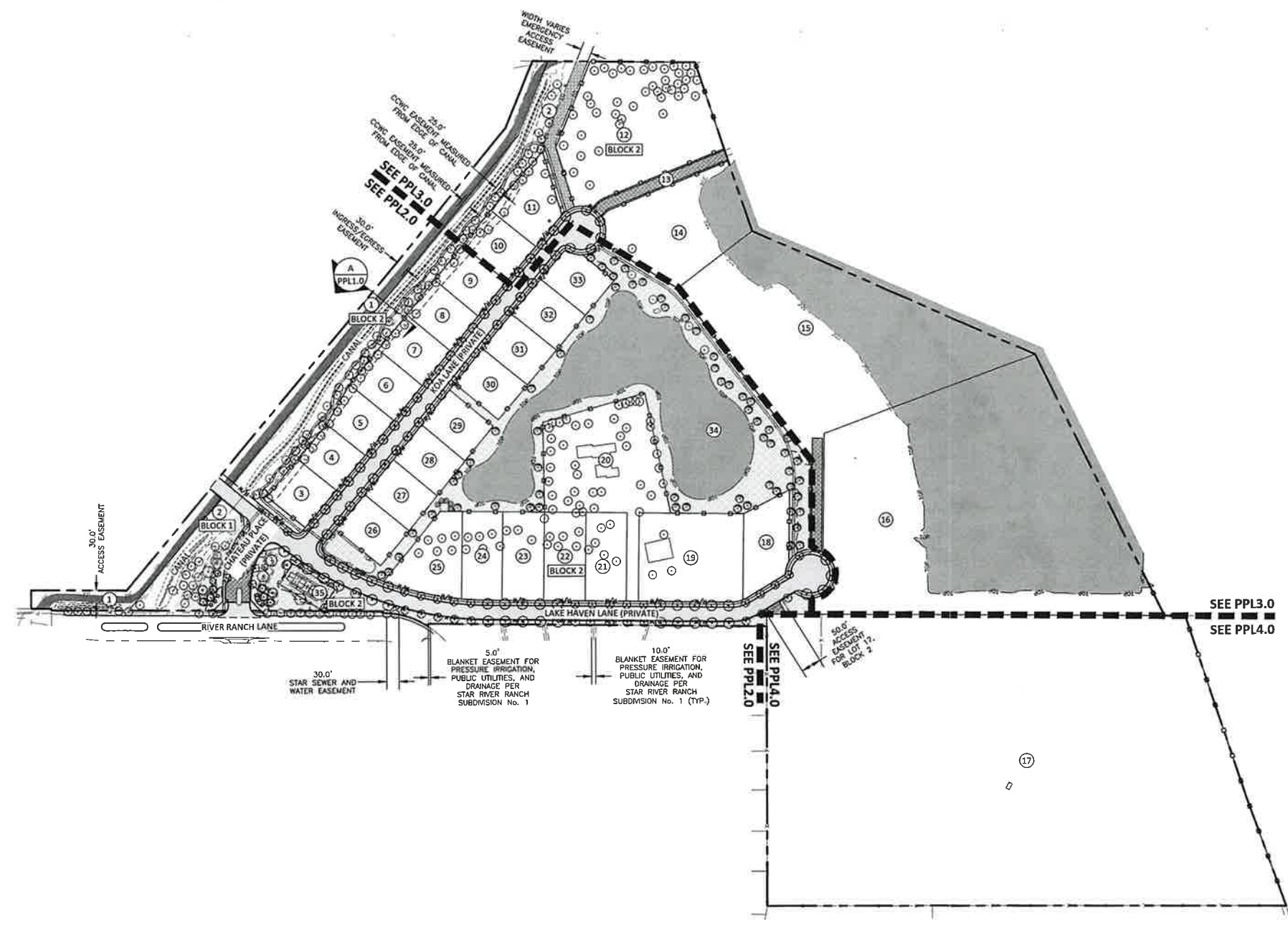
BLOCK #	LOT #	LOT AREA (SF)	LOT AREA (AC)	REQ	PRVD
1	2	37,394	0.86	9	25
2	2	107,098	2.46	27	55
2	34	284,111	6.52	71	71
2	35	45,718	1.05	11	49
				118	200
TOTAL OPEN SPACE TREES					
TOTAL STREET TREES				0	125
TREE SPECIES MIX				5	10



A LANDSCAPE SECTION VIEW

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	QTY	SIZE	MATURE HWT	CLA
DECIDUOUS TREES					
(+)	ACER TRUNCATUM 'PACIFIC SUNSET' TM PACIFIC SUNSET MAPLE	37	2" CAL. B&B	35'X38'	CLASS II
(+)	ACER X FREEMANII 'JEFFREY'	5	2" CAL. B&B	58'X38'	CLASS II
(+)	BETULA NIGRA 'DURAHEAT' DURAHEAT RIVER BIRCH MULL-TRUNK	24	2" CAL. B&B CLUMP	35'X38'	CLASS II
(+)	GLEDTISIA TRIACANTHOS 'SHADEMASTER' SHADEMASTER HONEYLOCUST	29	2" CAL. B&B	48'X38'	CLASS II
(+)	PRUNUS CERASIFERA 'THUNDERCLOUD' THUNDERCLOUD PURPLE LEAF PLUM	3	2" CAL. B&B	28'X28'	CLASS I
(+)	PYRUS CALLERYANA 'REDSPIRE' REDSPIRE CALLERY PEAR	38	2" CAL. B&B	35'X28'	CLASS II
EVERGREEN TREES					
(+)	CEDRUS DEODARA 'GOLD CONE' GOLD CONE DEODAR CEDAR	6	6"-8" B&B	25'X18'	EVERGREEN
(+)	PICEA PUNGENS 'BABY BLUE' BABY BLUE COLORADO SPRUCE	6	6"-8" B&B	55'X25'	EVERGREEN
(+)	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' VANDERWOLF'S PYRAMID PINE	7	6"-8" B&B	25'X15'	EVERGREEN
EXISTING TREES					
(+)	EXISTING TREE TO BE RELOCATED TREES TO BE SPADED, STORED AND REPLANTED	62	EXISTING	VARIES	
(+)	EXISTING TREE TO BE REMOVED	25	EXISTING	VARIES	
(+)	EXISTING TREE TO REMAIN PRESERVE AND PROTECT SEE TREE PROTECTION NOTES AND KEY NOTES	233	EXISTING	VARIES	
(+)	RELOCATED TREES PRESERVE AND PROTECT	62	TRANSPLANTED	VARIES	
OTHER					
(+)	EXISTING LANDSCAPE TO REMAIN PRESERVE AND PROTECT SEE KEY NOTES	138,684 SF	NONE		
(+)	PLANTING BED SHRUBS, PERENNIALS, OR GRASSES	24,559 SF	-		
SOD/SEED					
(+)	TURF SOD RHIZOMATOUS RHIZOMATOUS TALL FESCUE	198,523 SF	SOD		



PRELIMINARY PLAT LANDSCAPE COVER

Plan Scale: 1" = 150'

CONTACT INFORMATION

DEVELOPER
TRADITION CAPITAL PARTNERS LLC
8454 BROOKHAVEN PLACE
MIDDLETON, IDAHO 83644
PHONE: (208) 863-5164
CONTACT: SPENCER KOFOD
EMAIL: spencer@tclpidoaho.com

LANDSCAPE CONSULTANT
KM ENGINEERING, LLP
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE: (208) 639-6939
FAX: (208) 639-6930
CONTACT: ALYSSA YENSEN, PLA
EMAIL: oyensen@kmenllp.com

**LAKE HAVEN ESTATES
STAR, IDAHO
PRELIMINARY PLAT LANDSCAPE COVER**

REVISIONS		
NO.	ITEM	DATE

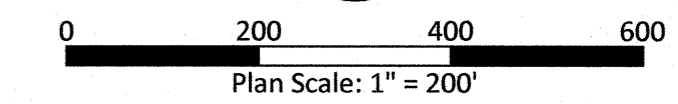
**STATE OF IDAHO
PROFESSIONAL LANDSCAPE ARCHITECT**

km ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmenllp.com

DATE: 3/28/24
PROJECT: 22-192
SHEET NO.
PPL1.0

Plat of Lakehaven Estates Subdivision

A parcel of land being a portion of Lots 1, 2, 3, 4, and 5, Block 3 of Star River Ranch Subdivision No. 1, all of Lot 66, Block 4 of Star River Ranch Subdivision No. 2, and portions of the East 1/2 of the Northeast 1/4, Government Lot 1 and Accretion Land situated in the North 1/2 of the Southeast 1/4 of Section 13, Township 4 North, Range 2 West, B.M., Canyon County, Idaho 2024



SHEET INDEX

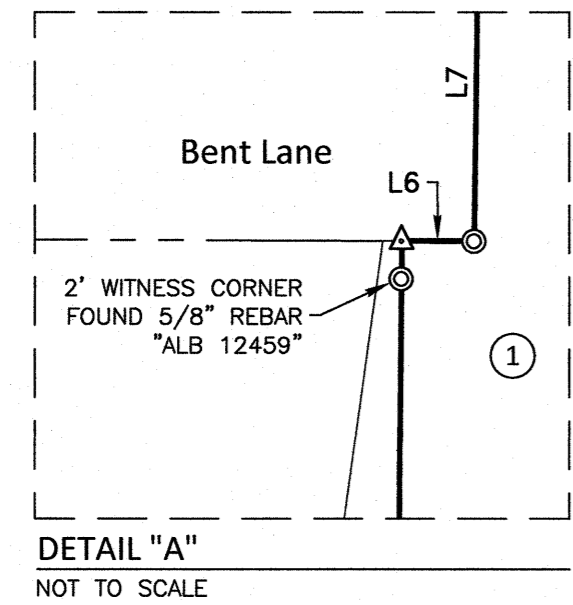
- SHEET 1 - SUBDIVISION PLAT AND LEGEND
- SHEET 2 - DETAIL PLAT MAP
- SHEET 3 - DETAIL PLAT MAP
- SHEET 4 - DETAIL PLAT MAP AND CURVE AND LINE TABLES
- SHEET 5 - CERTIFICATE OF OWNERS AND NOTES
- SHEET 6 - CERTIFICATES AND APPROVALS

LEGEND

- FOUND BRASS CAP, AS NOTED
- FOUND 5/8" REBAR WITH PLASTIC CAP MARKED "PLS 12459" UNLESS NOTED OTHERWISE
- FOUND 5/8" REBAR WITNESS CORNER WITH PLASTIC CAP MARKED "WC ALB 12459" UNLESS NOTED OTHERWISE
- SET 5/8" REBAR WITH PLASTIC CAP MARKED "ALB 12459"
- WITNESS CORNER, SET 5/8" REBAR WITH PLASTIC CAP MARKED "WC ALB 12459"
- SET 1/2" REBAR WITH PLASTIC CAP MARKED "ALB 12459"
- CALCULATED POINT
- LOT NUMBER
- SUBDIVISION BOUNDARY LINE
- LOT LINE
- SECTION LINE
- ROAD CENTERLINE
- ADJACENT BOUNDARY LINE
- EASEMENT LINE

REFERENCES

- R1. PLAT OF STAR RIVER RANCH SUBDIVISION No. 1, BOOK 48 OF PLATS AT PAGE 12, RECORDS OF CANYON COUNTY, IDAHO.
- R2. PLAT OF STAR RIVER RANCH SUBDIVISION No. 2, BOOK 52 OF PLATS AT PAGE 26, RECORDS OF CANYON COUNTY, IDAHO.
- R3. RECORD OF SURVEY No. 2009002858, RECORDS OF CANYON COUNTY, IDAHO.
- R4. RECORD OF SURVEY No. 2010041590, RECORDS OF CANYON COUNTY, IDAHO.
- R5. RECORD OF SURVEY No. 2016-042405, RECORDS OF CANYON COUNTY, IDAHO.
- R6. RECORD OF SURVEY No. 2022-044247, RECORDS OF CANYON COUNTY, IDAHO.
- R7. RECORD OF SURVEY No. 2023-15722, RECORDS OF CANYON COUNTY, IDAHO.

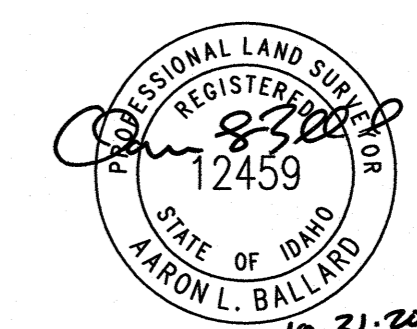


LINE	BEARING	DISTANCE
L1	S00°38'24"W	50.00'
L2	S70°06'39"W	282.67'
L3	N89°10'17"W	7.11'
L4	S89°27'59"E	4.25'
L5	N00°49'43"E	139.96'
L6	S89°47'53"E	3.81'
L7	N00°41'41"E	50.10'
L8	S89°58'49"E	45.05'
L9	S00°33'15"W	232.29'
L10	S68°13'43"E	175.54'

CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	208.50'	119.78'	32°54'57"	N16°58'45"E	118.14'

SURVEY NARRATIVE

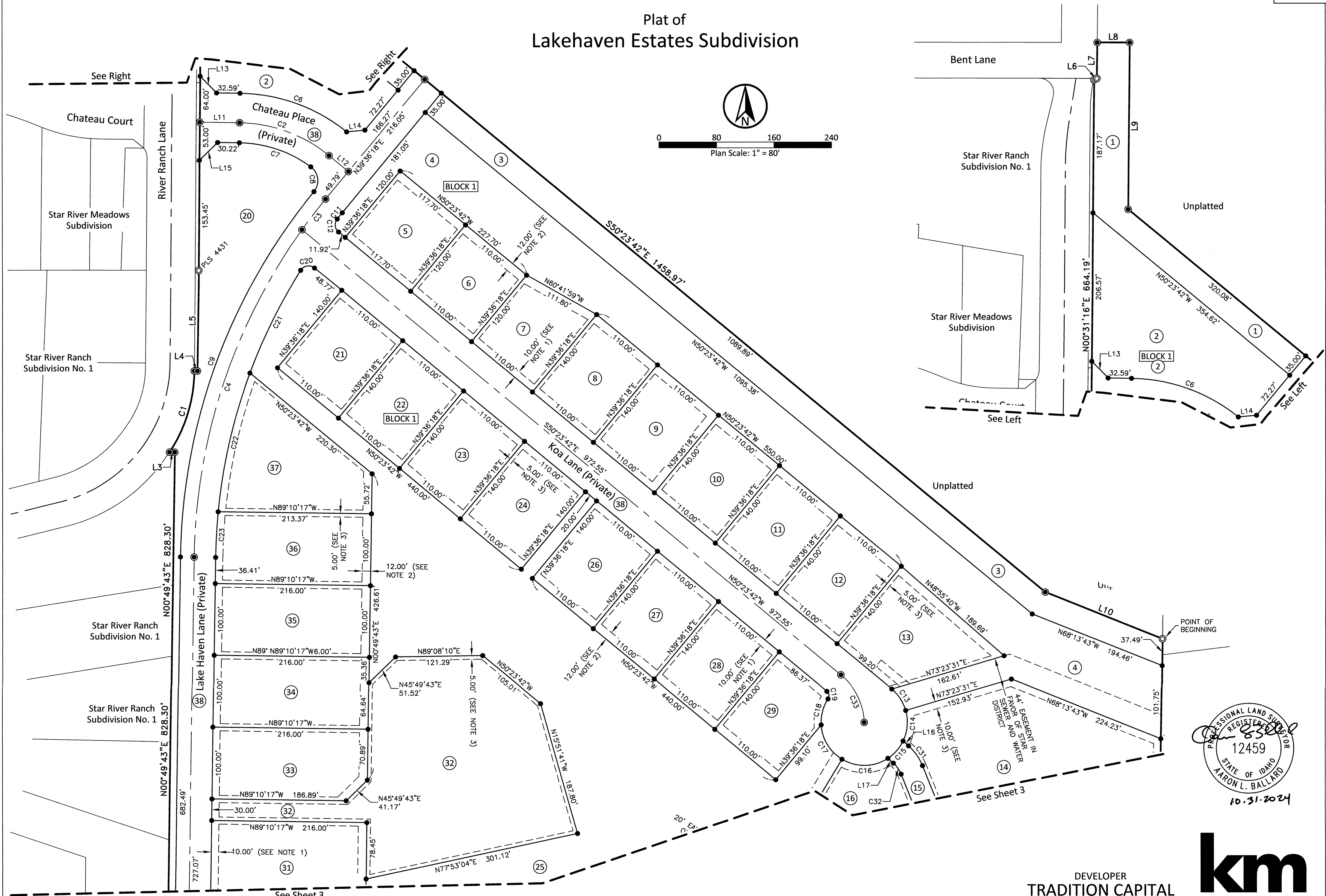
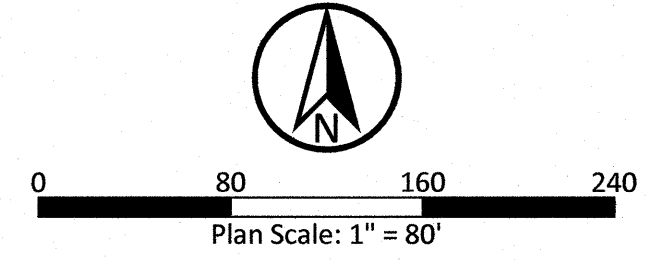
THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE THE LAND SHOWN HEREON. THE SURVEY IS BASED UPON THE RETRACEMENT OF PLATS, SURVEYS AND DEEDS LISTED IN THE REFERENCES HEREON AND A FIELD SURVEY OF EXISTING MONUMENTATION. ALL PROPERTY CORNERS WHERE MONUMENTS OF RECORD WERE NOT FOUND WERE SET/RESET AS SHOWN HEREON.



DEVELOPER
TRADITION CAPITAL PARTNERS, LLC
MIDDLETON, IDAHO



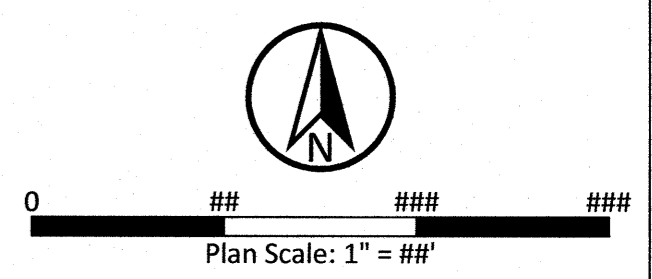
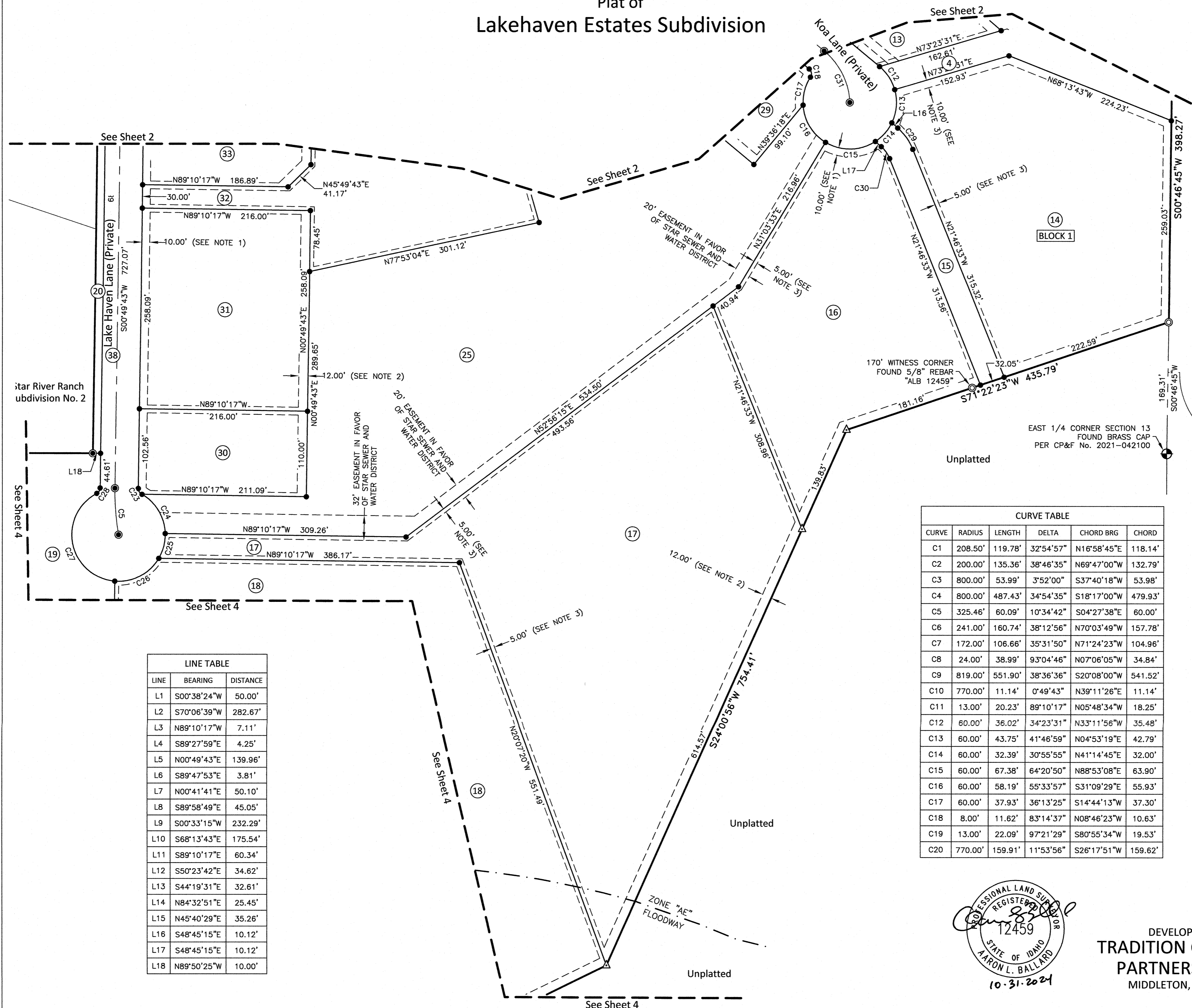
Plat of Lakehaven Estates Subdivision



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TRADITION CAPITAL PARTNERS, LLC
 MIDDLETON, IDAHO



Plat of Lakehaven Estates Subdivision



Star River Ranch Subdivision No. 2

LINE	BEARING	DISTANCE
L1	S00°38'24"W	50.00'
L2	S70°06'39"W	282.67'
L3	N89°10'17"W	7.11'
L4	S89°27'59"E	4.25'
L5	N00°49'43"E	139.96'
L6	S89°47'53"E	3.81'
L7	N00°41'41"E	50.10'
L8	S89°58'49"E	45.05'
L9	S00°33'15"W	232.29'
L10	S68°13'43"E	175.54'
L11	S89°10'17"E	60.34'
L12	S50°23'42"E	34.62'
L13	S44°19'31"E	32.61'
L14	N84°32'51"E	25.45'
L15	N45°40'29"E	35.26'
L16	S48°45'15"E	10.12'
L17	S48°45'15"E	10.12'
L18	N89°50'25"W	10.00'

CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	208.50'	119.78'	32°54'57"	N16°58'45"E	118.14'
C2	200.00'	135.36'	38°46'35"	N69°47'00"W	132.79'
C3	800.00'	53.99'	3°52'00"	S37°40'18"W	53.98'
C4	800.00'	487.43'	34°54'35"	S18°17'00"W	479.93'
C5	325.46'	60.09'	10°34'42"	S04°27'38"E	60.00'
C6	241.00'	160.74'	38°12'56"	N70°03'49"W	157.78'
C7	172.00'	106.66'	35°31'50"	N71°24'23"W	104.96'
C8	24.00'	38.99'	93°04'46"	N07°06'05"W	34.84'
C9	819.00'	551.90'	38°36'36"	S20°08'00"W	541.52'
C10	770.00'	11.14'	0°49'43"	N39°11'26"E	11.14'
C11	13.00'	20.23'	89°10'17"	N05°48'34"W	18.25'
C12	60.00'	36.02'	34°23'31"	N33°11'56"W	35.48'
C13	60.00'	43.75'	41°46'59"	N04°53'19"E	42.79'
C14	60.00'	32.39'	30°55'55"	N41°14'45"E	32.00'
C15	60.00'	67.38'	64°20'50"	N88°53'08"E	63.90'
C16	60.00'	58.19'	55°33'57"	S31°09'29"E	55.93'
C17	60.00'	37.93'	36°13'25"	S14°44'13"W	37.30'
C18	8.00'	11.62'	83°14'37"	N08°46'23"W	10.63'
C19	13.00'	22.09'	97°21'29"	S80°55'34"W	19.53'
C20	770.00'	159.91'	11°53'56"	S26°17'51"W	159.62'

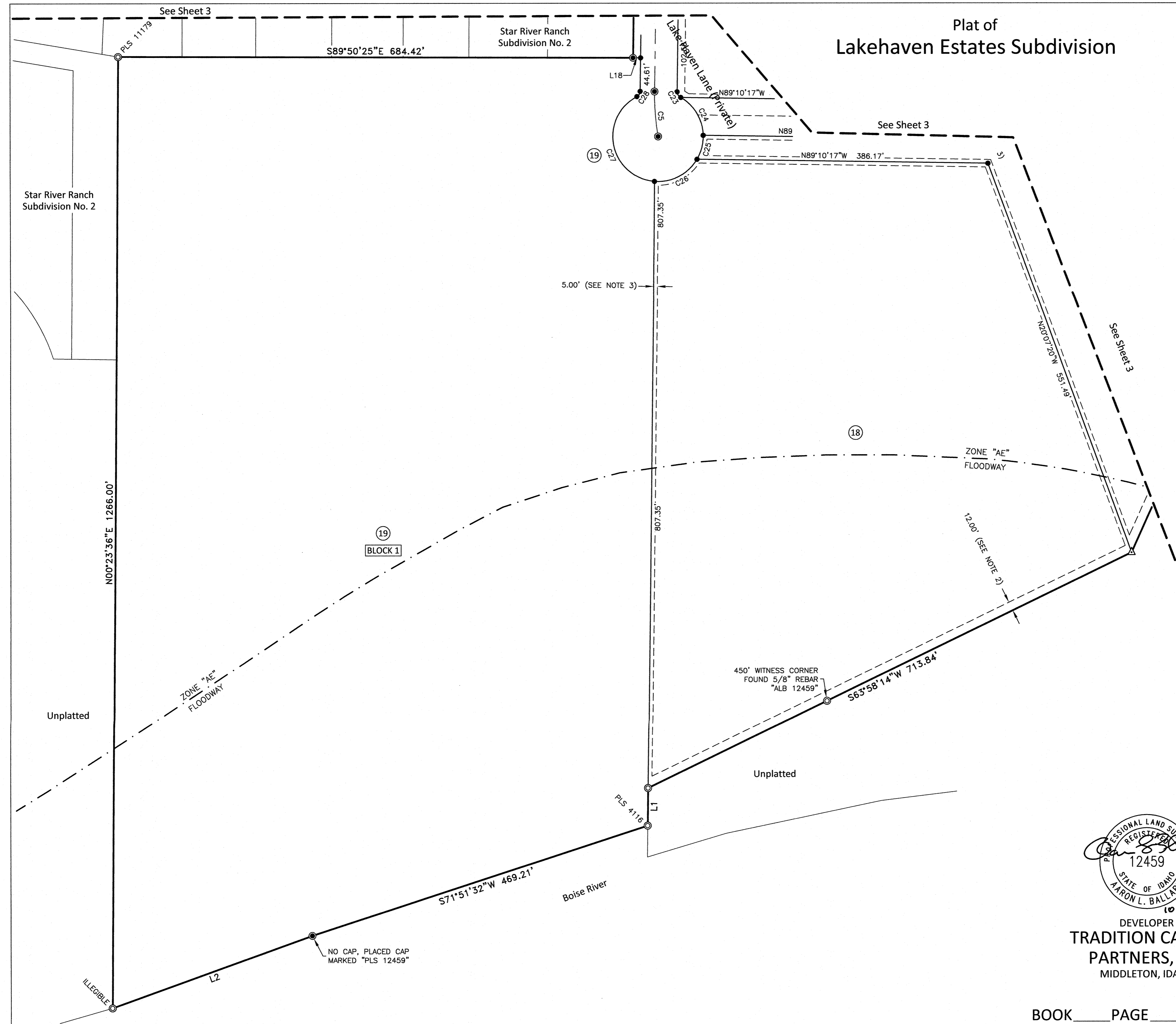
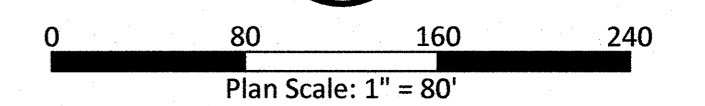
CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C21	770.00'	198.67'	14°46'58"	S12°57'24"W	198.67'
C22	770.00'	63.66'	4°44'13"	S03°11'49"W	63.66'
C23	8.00'	8.58'	61°28'44"	N29°54'39"W	8.11'
C24	60.00'	61.23'	58°28'07"	N30°36'53"W	58.66'
C25	60.00'	33.37'	31°51'53"	N14°33'07"E	32.61'
C26	60.00'	67.19'	64°09'27"	N62°33'47"E	63.71'
C27	60.00'	154.57'	147°36'20"	S11°33'19"E	115.57'
C28	8.00'	8.58'	61°25'09"	S31°32'17"W	8.11'
C29	72.00'	33.90'	26°58'42"	N35°15'54"W	33.90'
C30	40.00'	18.83'	26°58'42"	N35°15'54"W	18.83'
C31	91.00'	76.09'	47°54'27"	N26°26'29"W	73.31'



DEVELOPER
TRADITION CAPITAL PARTNERS, LLC
 MIDDLETON, IDAHO



Plat of Lakehaven Estates Subdivision



Star River Ranch
Subdivision No. 2

Star River Ranch
Subdivision No. 2

N00°23'36"E 1266.00'

S89°50'25"E 684.42'

L18

C23

C25

C24

N89

(19)

C21

C26

N89°10'17"W 386.17'

See Sheet 3

5.00' (SEE NOTE 3)

807.35'

807.35'

(18)

ZONE "AE"
FLOODWAY

12.00' (SEE NOTE 2)

(19)

BLOCK 1

Unplatted

ZONE "AE"
FLOODWAY

450' WITNESS CORNER
FOUND 5/8" REBAR
"ALB 12459"

S63°58'14"W 713.84'

Unplatted

PLS 4116

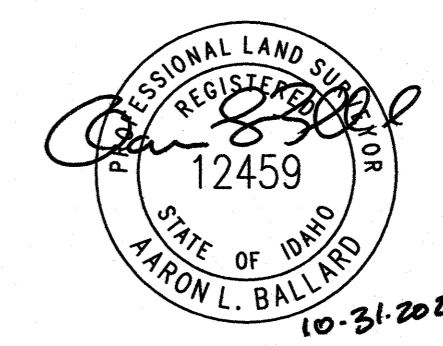
S71°51'32"W 469.21'

Boise River

NO CAP, PLACED CAP
MARKED "PLS 12459"

L2

ILLEGIBLE



DEVELOPER
**TRADITION CAPITAL
PARTNERS, LLC**
MIDDLETON, IDAHO



Plat of Lakehaven Estates Subdivision

CERTIFICATE OF OWNERS

KNOW ALL MEN/WOMEN BY THESE PRESENTS: THAT THE UNDERSIGNED IS THE OWNER OF THE REAL PROPERTY HEREAFTER DESCRIBED.

A PARCEL OF LAND BEING A PORTION OF LOTS 1, 2, 3, 4, AND 5, BLOCK 3 OF STAR RIVER RANCH SUBDIVISION NO. 1 (BOOK 48, PAGE 12, RECORDS OF CANYON COUNTY, IDAHO), ALL OF LOT 66, BLOCK 4 OF STAR RIVER RANCH SUBDIVISION NO. 2 (BOOK 52, PAGE 26, RECORDS OF CANYON COUNTY, IDAHO), AND PORTIONS OF THE EAST 1/2 OF THE NORTHEAST 1/4, GOVERNMENT LOTS 1 AND 2, AND ACCRETION LAND SITUATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, ALL IN SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, B.M., CANYON COUNTY, IDAHO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP MARKING THE NORTHEAST CORNER OF SAID SECTION 13, WHICH BEARS N00°46'45"E A DISTANCE OF 2,640.00 FEET FROM A BRASS CAP MARKING THE EAST 1/4 CORNER OF SAID SECTION 13, THENCE FOLLOWING THE EASTERLY LINE OF THE NORTHEAST 1/4 OF SAID SECTION 13, S00°46'45"W A DISTANCE OF 2,072.42 FEET TO A 5/8-INCH REBAR BEING THE POINT OF BEGINNING.

THENCE FOLLOWING SAID EASTERLY LINE, S00°46'45"W A DISTANCE OF 398.27 FEET TO 5/8-INCH REBAR;
THENCE LEAVING SAID EASTERLY LINE, S71°22'23"W A DISTANCE OF 435.79 FEET TO A POINT BEING WITNESSED BY A 5/8-INCH REBAR WHICH BEARS N71°22'23"E A DISTANCE OF 170.00 FEET FROM SAID POINT;
THENCE S24°00'56"W A DISTANCE OF 754.41 FEET TO A POINT BEING WITNESSED BY A 5/8-INCH REBAR WHICH BEARS S63°58'14"W A DISTANCE OF 450.00 FEET FROM SAID POINT;
THENCE S63°58'14"W A DISTANCE OF 713.84 FEET TO A 5/8-INCH REBAR ON THE EXTENDED WESTERLY LINE OF SAID GOVERNMENT LOT 1;
THENCE FOLLOWING SAID EXTENDED WESTERLY LINE, S00°38'24"W A DISTANCE OF 50.00 FEET TO A 5/8-INCH REBAR;
THENCE LEAVING SAID EXTENDED WESTERLY LINE, S71°51'32"W A DISTANCE OF 469.21 FEET TO A 5/8-INCH REBAR;
THENCE S70°06'39"W A DISTANCE OF 282.67 FEET TO A 5/8-INCH REBAR;
THENCE N00°23'36"E A DISTANCE OF 863.05 FEET TO A 5/8-INCH REBAR ON THE BOUNDARY OF STAR RIVER RANCH SUBDIVISION NO. 2 (BOOK 52, PAGE 26, RECORDS OF CANYON COUNTY, IDAHO);

THENCE FOLLOWING SAID BOUNDARY THE FOLLOWING TWO (2) COURSES:

1. N00°23'36"E A DISTANCE OF 402.95 FEET TO A 5/8-INCH REBAR;
2. S89°50'25"E A DISTANCE OF 684.42 FEET TO A 5/8-INCH REBAR MARKING THE SOUTHWEST CORNER OF LOT 66, BLOCK 4 OF SAID STAR RIVER RANCH SUBDIVISION NO. 2 AND THE SOUTHWEST CORNER OF PARCEL "B" AS SHOWN ON RECORD OF SURVEY RECORDED AS INSTRUMENT NO. 2023-015722;

THENCE LEAVING THE BOUNDARY OF SAID STAR RIVER RANCH SUBDIVISION NO. 2 AND FOLLOWING THE BOUNDARY OF SAID PARCEL "B" THE FOLLOWING FOUR (4) COURSES:

1. N00°49'43"E A DISTANCE OF 828.30 FEET TO A 5/8-INCH REBAR;
2. N89°10'17"W A DISTANCE OF 7.11 FEET TO A 5/8-INCH REBAR ON THE EASTERLY RIGHT-OF-WAY OF RIVER RANCH LANE;
3. FOLLOWING SAID EASTERLY RIGHT-OF-WAY, 119.78 FEET ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 208.50 FEET, A DELTA ANGLE OF 32°54'57", A CHORD BEARING OF N16°58'45"E AND A CHORD DISTANCE OF 118.14 FEET TO A 5/8-INCH REBAR;
4. LEAVING SAID EASTERLY RIGHT-OF-WAY, S89°27'59"E A DISTANCE OF 4.25 FEET TO A 5/8-INCH REBAR MARKING THE NORTHEAST CORNER OF SAID PARCEL "B" AND THE BOUNDARY OF SAID STAR RIVER RANCH SUBDIVISION NO. 1;

THENCE LEAVING THE BOUNDARY OF SAID PARCEL "B" AND FOLLOWING THE BOUNDARY OF SAID STAR RIVER RANCH SUBDIVISION NO. 1 THE FOLLOWING TWO (2) COURSES:

1. N00°49'43"E A DISTANCE OF 139.96 FEET TO A 5/8-INCH REBAR;
2. N00°31'16"E A DISTANCE OF 664.19 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF BENT LANE, SAID POINT BEING WITNESSED BY A 5/8-INCH REBAR WHICH BEARS S00°31'16"W A DISTANCE OF 2.00 FEET FROM SAID POINT;
THENCE LEAVING SAID BOUNDARY AND FOLLOWING SAID SOUTHERLY RIGHT-OF-WAY, S89°47'53"E A DISTANCE OF 3.81 FEET TO A 5/8-INCH REBAR ON THE EASTERLY RIGHT-OF-WAY OF SAID BENT LANE;
THENCE LEAVING SAID SOUTHERLY RIGHT-OF-WAY AND FOLLOWING SAID EASTERLY RIGHT-OF-WAY, N00°41'41"E A DISTANCE OF 50.10 FEET TO A 5/8-INCH REBAR;
THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY, S89°58'49"E A DISTANCE OF 45.05 FEET TO A 5/8-INCH REBAR;
THENCE S00°33'15"W A DISTANCE OF 232.29 FEET TO A 5/8-INCH REBAR;
THENCE S50°23'42"E A DISTANCE OF 1,458.97 FEET TO A 5/8-INCH REBAR;
THENCE S68°13'43"E A DISTANCE OF 175.54 FEET TO A 5/8-INCH REBAR TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS A TOTAL OF 65.28 ACRES, MORE OR LESS.

IT IS THE INTENTION OF THE UNDERSIGNED TO HEREBY INCLUDE SAID LAND IN THIS PLAT. THE EASEMENTS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC BUT THE RIGHTS TO USE SAID EASEMENTS ARE HEREBY PERPETUALLY RESERVED FOR PUBLIC UTILITIES AND SUCH OTHER USES AS SHOWN ON THIS PLAT. NO STRUCTURES OTHER THAN FOR SUCH UTILITY AND OTHER DESIGNATED PUBLIC USES ARE TO BE ERRECTED WITHIN THE LIMITS OF SAID EASEMENTS UNLESS NOTED OTHERWISE ON THIS PLAT. ALL LOTS WITHIN THIS PLAT WILL RECEIVE WATER SERVICE FROM AN EXISTING STAR SEWER AND WATER DISTRICT WATER SYSTEM, AND SAID DISTRICT HAS AGREED IN WRITING TO SERVE ALL OF THESE LOTS.

SPENCER KOFOED, MANAGER
TRADITION CAPITAL PARTNERS, LLC

ACKNOWLEDGMENT

STATE OF IDAHO

_____ COUNTY

THIS RECORD WAS ACKNOWLEDGED BEFORE ME ON _____, 202__, BY SPENCER KOFOED,
MANAGER OF TRADITION CAPITAL PARTNERS, LLC.

SIGNATURE OF NOTARY PUBLIC

MY COMMISSION EXPIRES

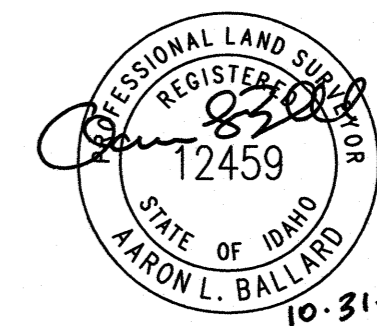
NOTES

- ALL FRONT LOT LINES COMMON TO THE STREET RIGHT-OF-WAY CONTAIN A 10.00 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, STREET LIGHTS, IRRIGATION AND LOT DRAINAGE.
- UNLESS OTHERWISE DIMENSIONED, ALL REAR LOT LINES AND ALL LINES ADJACENT TO THE SUBDIVISION BOUNDARY LINES SHALL CONTAIN A 12.00 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, IRRIGATION AND LOT DRAINAGE.
- UNLESS OTHERWISE DIMENSIONED, ALL INTERIOR SIDE LOT LINES SHALL CONTAIN A 5.00 FOOT WIDE EASEMENT, EACH SIDE, FOR PUBLIC UTILITIES, IRRIGATION AND LOT DRAINAGE.
- IRRIGATION WATER HAS BEEN PROVIDED FROM THE CANYON CANAL COMPANY IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805(1)(b). LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS AND WILL BE OBLIGATED FOR ASSESSMENTS FROM THE CANYON CANAL COMPANY.
- THIS SUBDIVISION WILL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS THAT ARE TO BE FILED FOR RECORD AT THE CANYON COUNTY RECORDER'S OFFICE AND MAY BE AMENDED FROM TIME TO TIME.
- ALL LOTS WITHIN THIS PLAT WILL BE PROVIDED SEWER VIA A STAR SEWER AND WATER DISTRICT GRAVITY SEWER SYSTEM.
- LOTS 1, 2, 3, 4, 15, 20, 25 AND 38, BLOCK 1 ARE COMMON LOTS TO BE OWNED AND MAINTAINED BY THE SUBDIVISION HOMEOWNER'S ASSOCIATION. THESE LOTS ARE SUBJECT TO A BLANKET EASEMENT FOR PUBLIC UTILITIES, IRRIGATION AND DRAINAGE.
- THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION OR AN APPURTENANCE TO IT SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NON-AGRICULTURAL ACTIVITIES AFTER THE SAME HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION WAS NOT A NUISANCE AT THE TIME THE OPERATION BEGAN; PROVIDED, THAT THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHENEVER A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION OR APPURTENANCE TO IT."
- ANY RESUBDIVISION OF THIS PLAT SHALL COMPLY WITH APPLICABLE ZONING REGULATION IN EFFECT AT THE TIME OF RESUBDIVISION.
- ALL LOT, PARCEL AND TRACT SIZES SHALL MEET THE DIMENSIONAL STANDARDS ESTABLISHED IN THE APPLICABLE ZONING ORDINANCE OR AS SPECIFICALLY APPROVED.
- MINIMUM BUILDING SETBACK DIMENSIONS IN THIS SUBDIVISION SHALL CONFORM TO THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
- LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY.
- NO ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
- THE HOMEOWNER'S ASSOCIATION, UNDERLYING PROPERTY OWNER, OR ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR ALL STORM DRAINAGE FACILITIES OUTSIDE THE PUBLIC RIGHT-OF-WAY, INCLUDING ALL ROUTINE AND HEAVY MAINTENANCE.
- THE HOMEOWNER'S ASSOCIATION, OR ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ANY AND ALL AMENITIES (LAWNS, SPRINKLERS, SIDEWALKS, PATHWAYS, LANDSCAPING, ETC..) APPROVED BY THE DISTRICT TO BE WITHIN THE PUBLIC RIGHT-OF-WAY.
- DIRECT LOT ACCESS TO RIVER RANCH LANE AND BENT LANE IS PROHIBITED.

CERTIFICATE OF SURVEYOR

I, AARON L. BALLARD, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF IDAHO, AND THAT THIS PLAT OF LAKEHAVEN ESTATES SUBDIVISION AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" AND AS SHOWN ON THE ATTACHED PLAT, WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

AARON L. BALLARD, P.L.S. 12459



DEVELOPER
**TRADITION CAPITAL
PARTNERS, LLC**
MIDDLETON, IDAHO

km
ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmengllp.com



KEY NOTES (TYPICAL) (#)

1. INSTALL 3" DIAMETER SHOVEL CUT TREE RING, WITH BARE EARTH SURFACE AT ALL TREES WITHIN TURF AREAS.
2. CLEAR VISION TRIANGLE. NO TREES SHALL BE PLANTED WITHIN A CLEAR VISION TRIANGLE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUND COVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE 3' FROM THE ADJACENT STREET GRADE.
3. ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH ORGANIC PERMABARK (ROCK) MULCH WITH PERMEABLE FABRIC WEED BARRIER. SUBMIT SAMPLE TO OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLING. THE USE OF MULCH OR ROCK AS THE ONLY GROUND COVER IN REQUIRED PLANTING AREAS IS PROHIBITED. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED.
4. INSTALL FLAT-BLADE SHOVEL EDGING AT INTERFACE OF SOD AND PLANTER BED. SEE L4.0-5.
5. EXISTING LANDSCAPING AND IRRIGATION TO REMAIN. RETAIN, PROTECT, AND OR ADJUST AS SHOWN. CONTRACTOR SHALL FIELD VERIFY LIMITS OF DISTURBANCE AND PATCH BACK ALONG PHASE BOUNDARY AS NECESSARY. TRANSITION BETWEEN NEW AND EXISTING LANDSCAPE SHALL BE NON RECOGNIZABLE AND COHESIVE WHEN FINISHED. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING LANDSCAPE PLANTING AREAS AND IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT. CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTORS FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COURSE OF CONSTRUCTION.
6. PICKLEBALL COURT. SEE L4.0-7.
7. 4' HEIGHT SPORT COURT METAL FENCE. SEE L5.0 FOR FENCE PLAN AND L4.0-9.
8. EXISTING TREES TO BE RELOCATED. SEE KEY NOTE #9 AND PLANT SCHEDULE.
9. RELOCATED EXISTING TREE. SEE KEY NOTE #8 AND PLANT SCHEDULE.
10. EXISTING CANAL. PRESERVE AND PROTECT.
11. EXISTING TREES TO REMAIN. PERSEVERE AND PROTECT.
12. MAILBOX CLUSTER. SEE ARCHITECTURAL PLANS.
13. 2'-3" HEIGHT LANDSCAPE BERM.
14. SUBDIVISION GATE ENTRY.
15. BENCH. 140-60 DUMOR BENCH OR APPROVED EQUAL. SEE L4.0-8.
16. EXISTING ACCESS ROAD. PRESERVE AND PROTECT.
17. MONUMENT SIGN BY OTHERS.
18. TREES PLANTED IN PARK STRIPS TO BE CENTERED IN STRIP.
19. 10' ACHD FACILITY CLEAR ZONE. TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPES, STRUCTURES, OR FACILITIES.

PLANT SCHEDULE NOTE: SEE L2.0 FOR COMPLETE PLANT SCHEDULE.

SYMBOL	CODE	BOTANICAL / COMMON NAME	QTY
DECIDUOUS TREES			
	AP2	ACER TRUNCATUM 'PACIFIC SUNSET' TM PACIFIC SUNSET MAPLE	35
	AJ	ACER X FREEMANII 'JEFFSPED' AUTUMN BLAZE MAPLE	19
	BD	BETULA NIGRA 'DURAHEAT' DURAHEAT RIVER BIRCH MULTI-TRUNK	9
	GS	GLEDTISIA TRIACANTHOS 'SHADEMASTER' SHADEMASTER HONEYLOCUST	25
	PVC2	PRUNUS CERASIFERA 'THUNDERCLOUD' THUNDERCLOUD PURPLE LEAF PLUM	8
	TG3	PYRUS CALLERYANA 'REDSPIRE' REDSPIRE CALLERY PEAR	51
EVERGREEN TREES			
	CC6	CEDRUS DEODARA 'GOLD CONE' GOLD CONE DEODAR CEDAR	6
	PB2	PICEA PUNGENS 'BABY BLUE' BABY BLUE COLORADO SPRUCE	6
	PV	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' VANDERWOLF'S PYRAMID PINE	6

SYMBOL	CODE	BOTANICAL / COMMON NAME	QTY
	SP2	EXISTING TREE TO BE RELOCATED TREES TO BE SPADED, STORED AND REPLANTED	62
	RM	EXISTING TREE TO BE REMOVED	25
	SP	EXISTING TREE TO REMAIN PRESERVE AND PROTECT SEE TREE PROTECTION NOTES AND KEY NOTES	233
	SP3	RELOCATED TREES PRESERVE AND PROTECT	62
OTHER			
	EP2	EXISTING LANDSCAPE TO REMAIN PRESERVE AND PROTECT SEE KEY NOTES	140,657 SF
	TR	TURF SOD RHIZOMATOUS RHIZOMATOUS TALL FESCUE	212,919 SF



REVISIONS	
NO.	DATE

**LAKEHAVEN ESTATES SUBDIVISION
STAR, ID
LANDSCAPE IMPROVEMENT PLANS
LANDSCAPE PLAN**



DESIGN BY:	MPH
DRAWN BY:	MPH
CHECKED BY:	AY
DATE:	11/8/24
PROJECT:	24-193

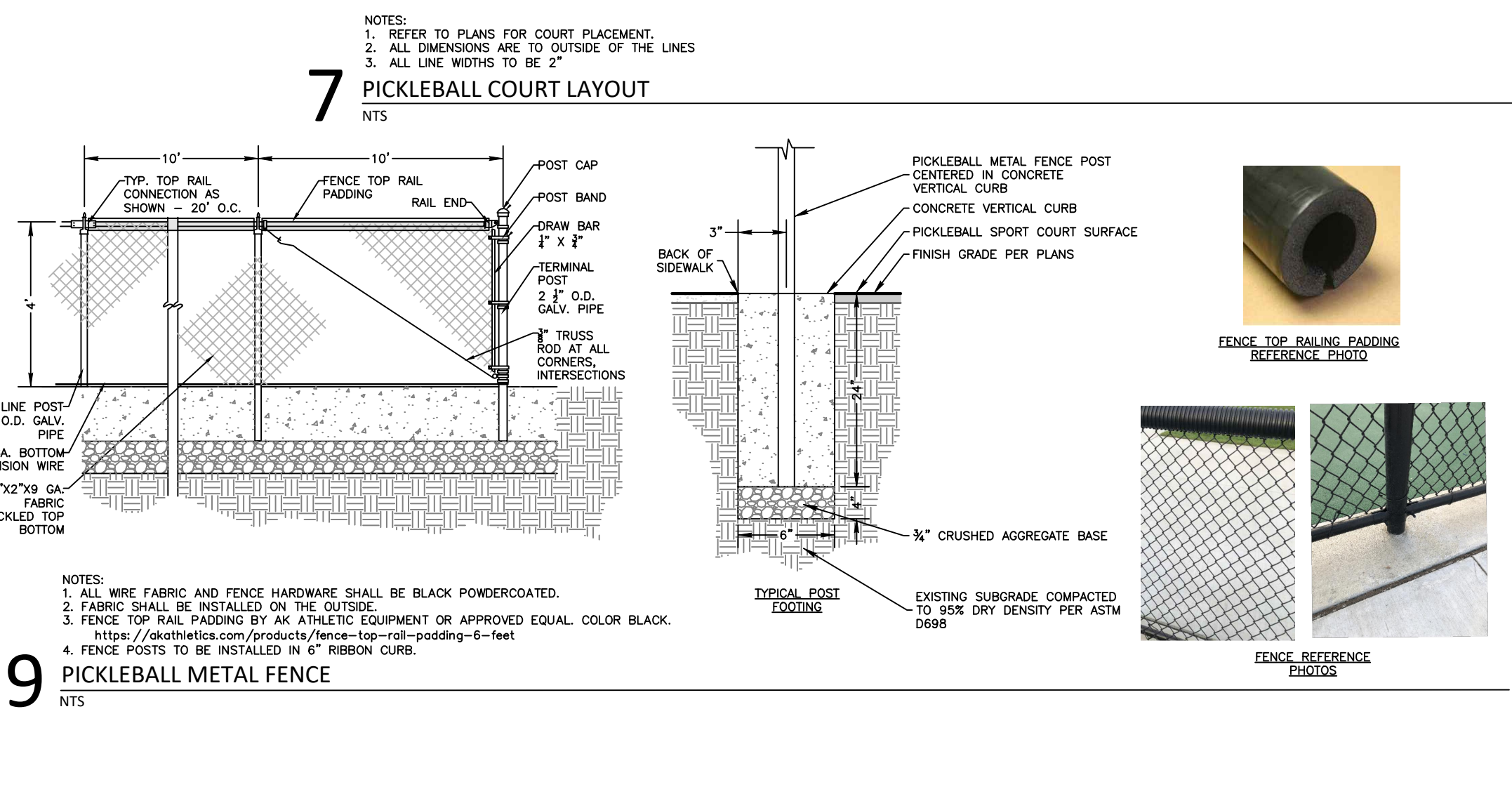
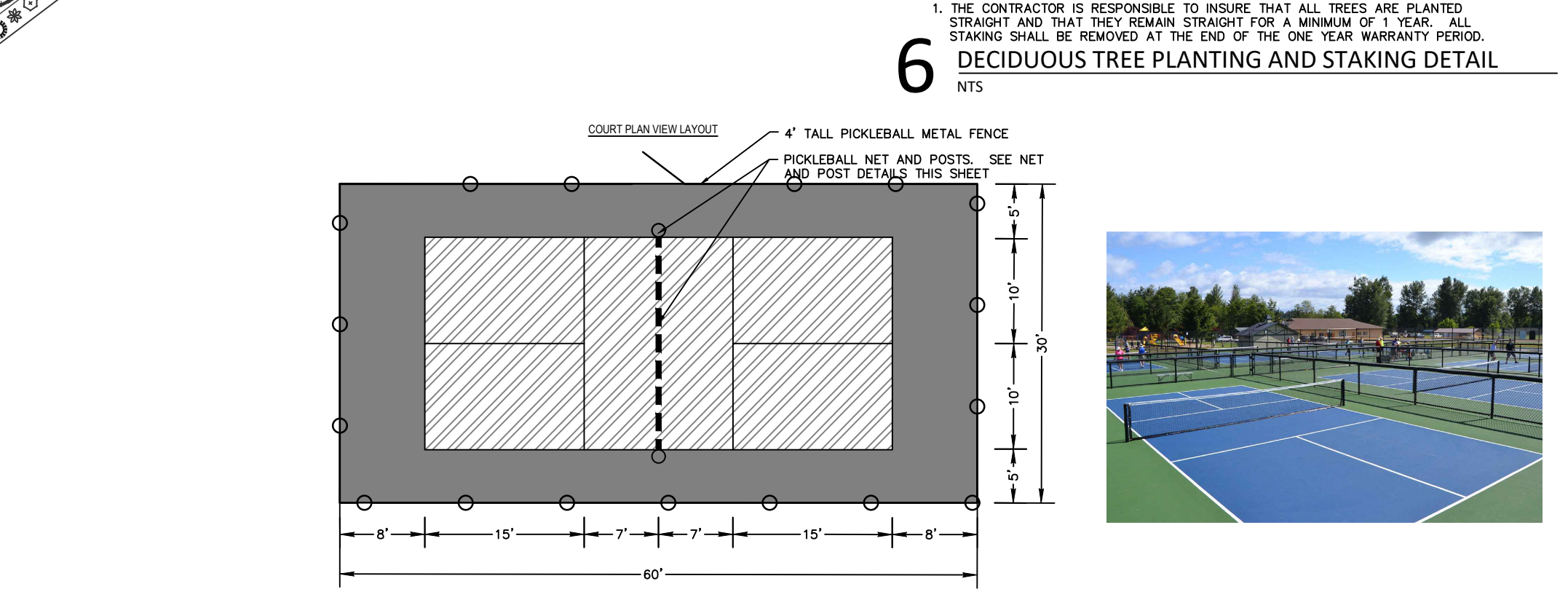
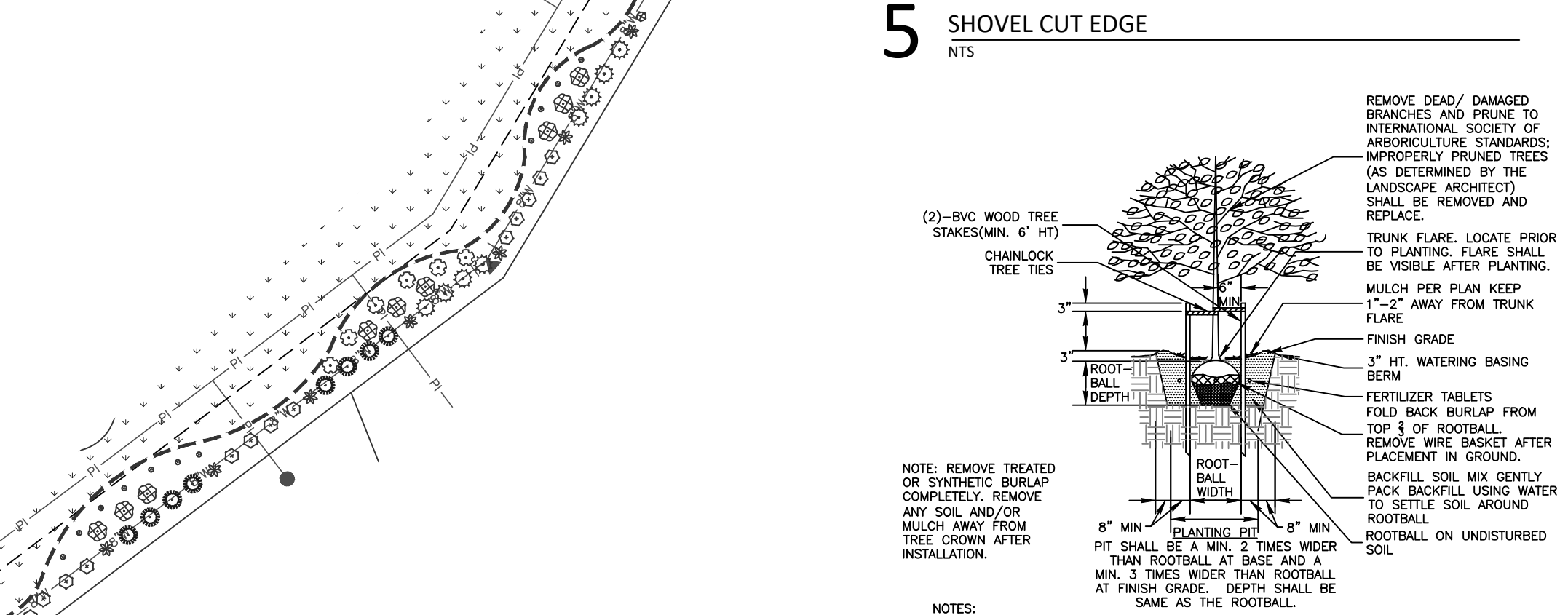
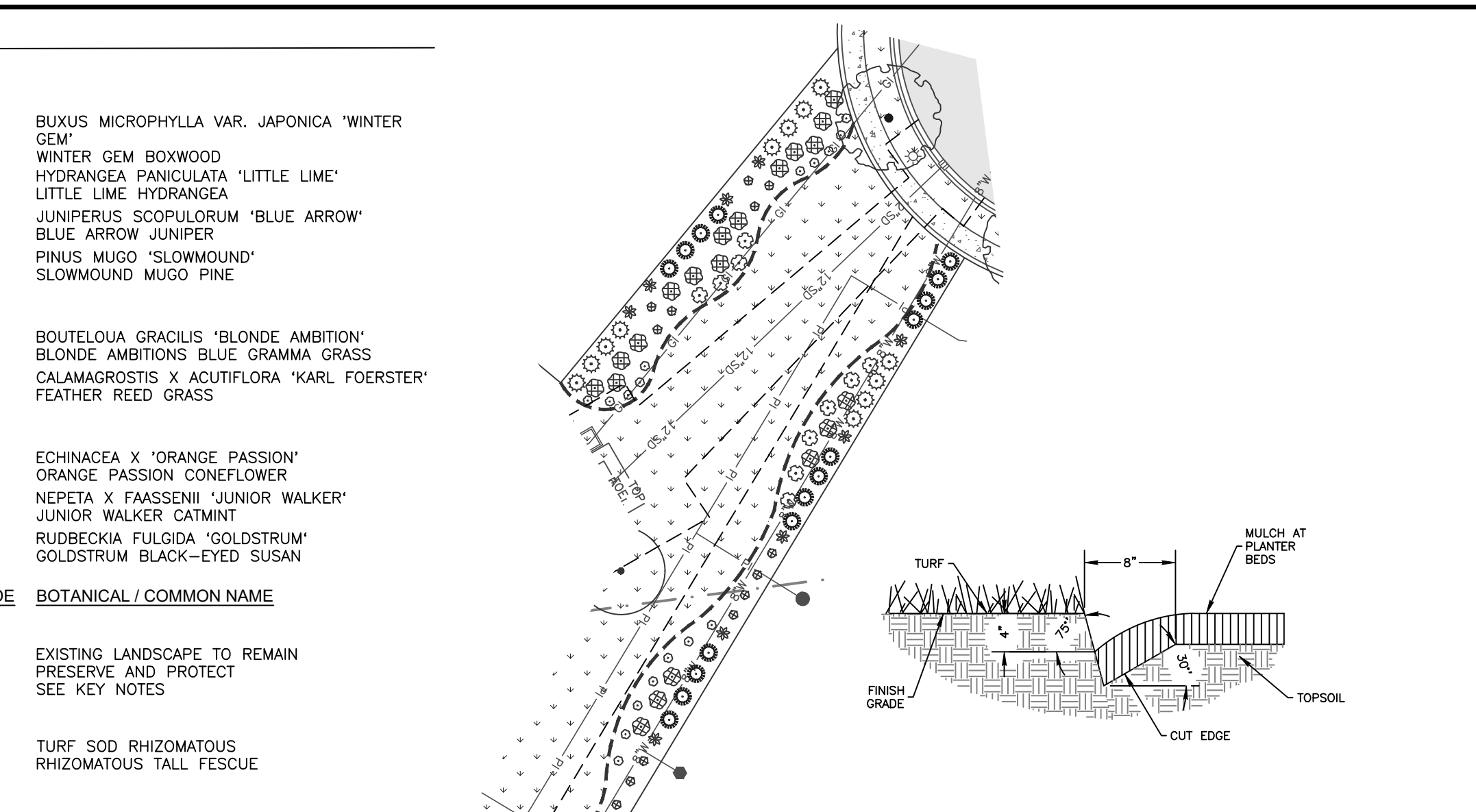
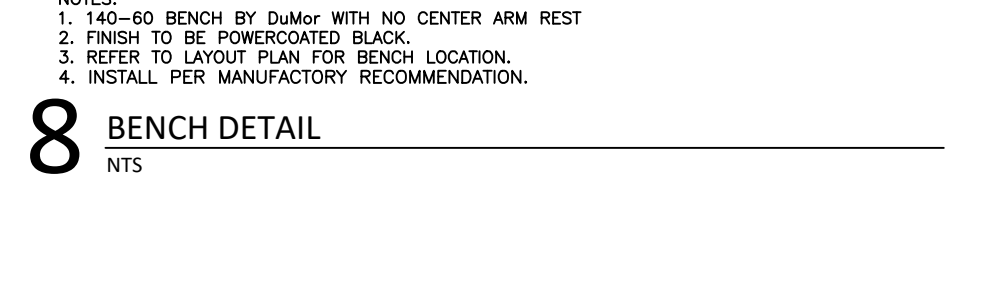
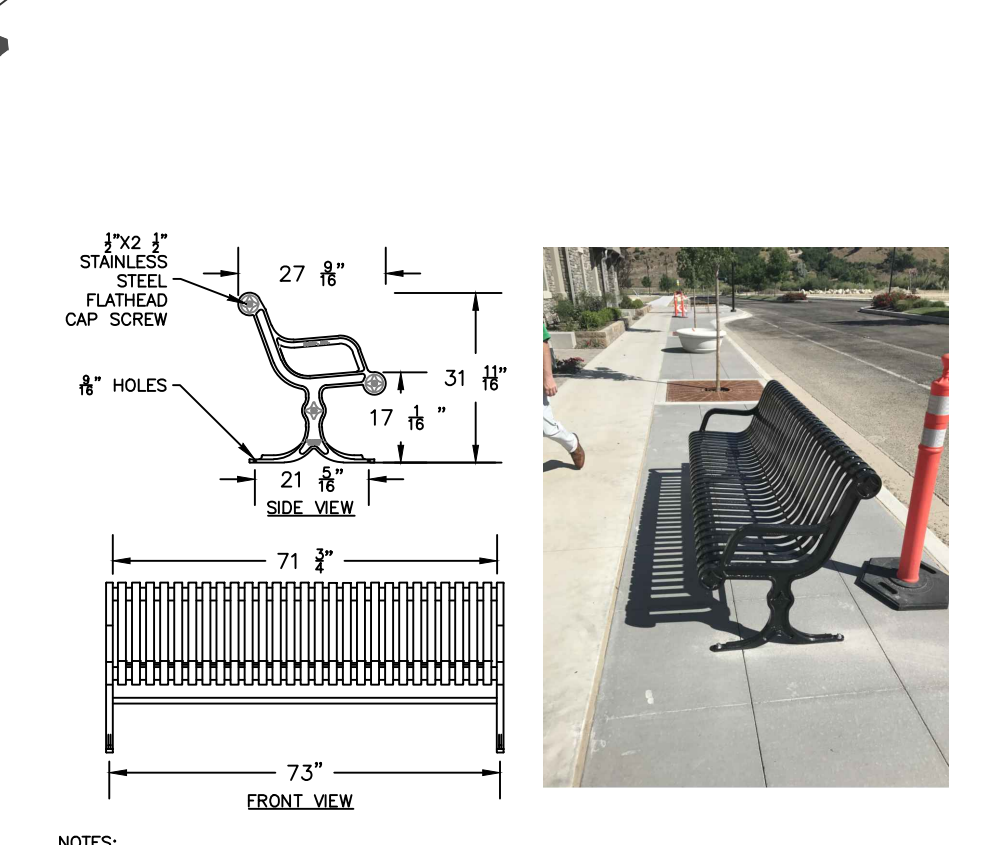
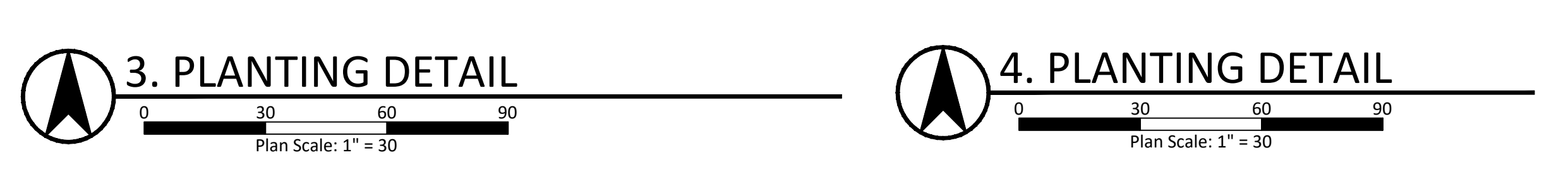
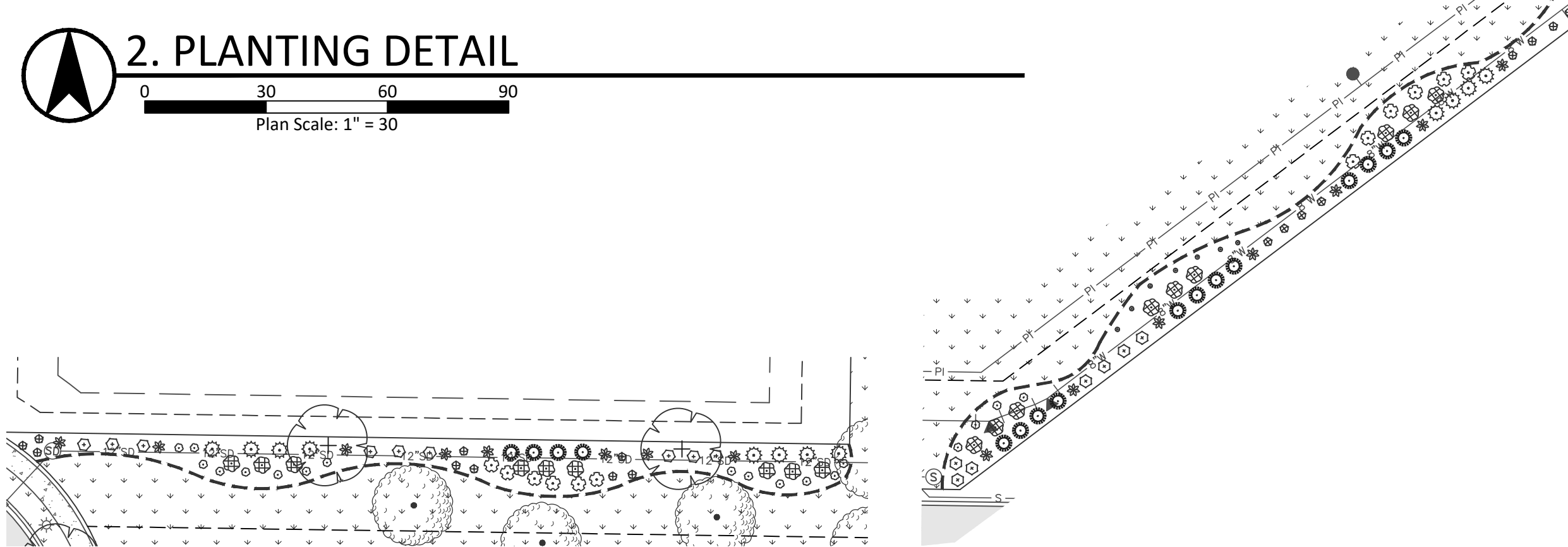
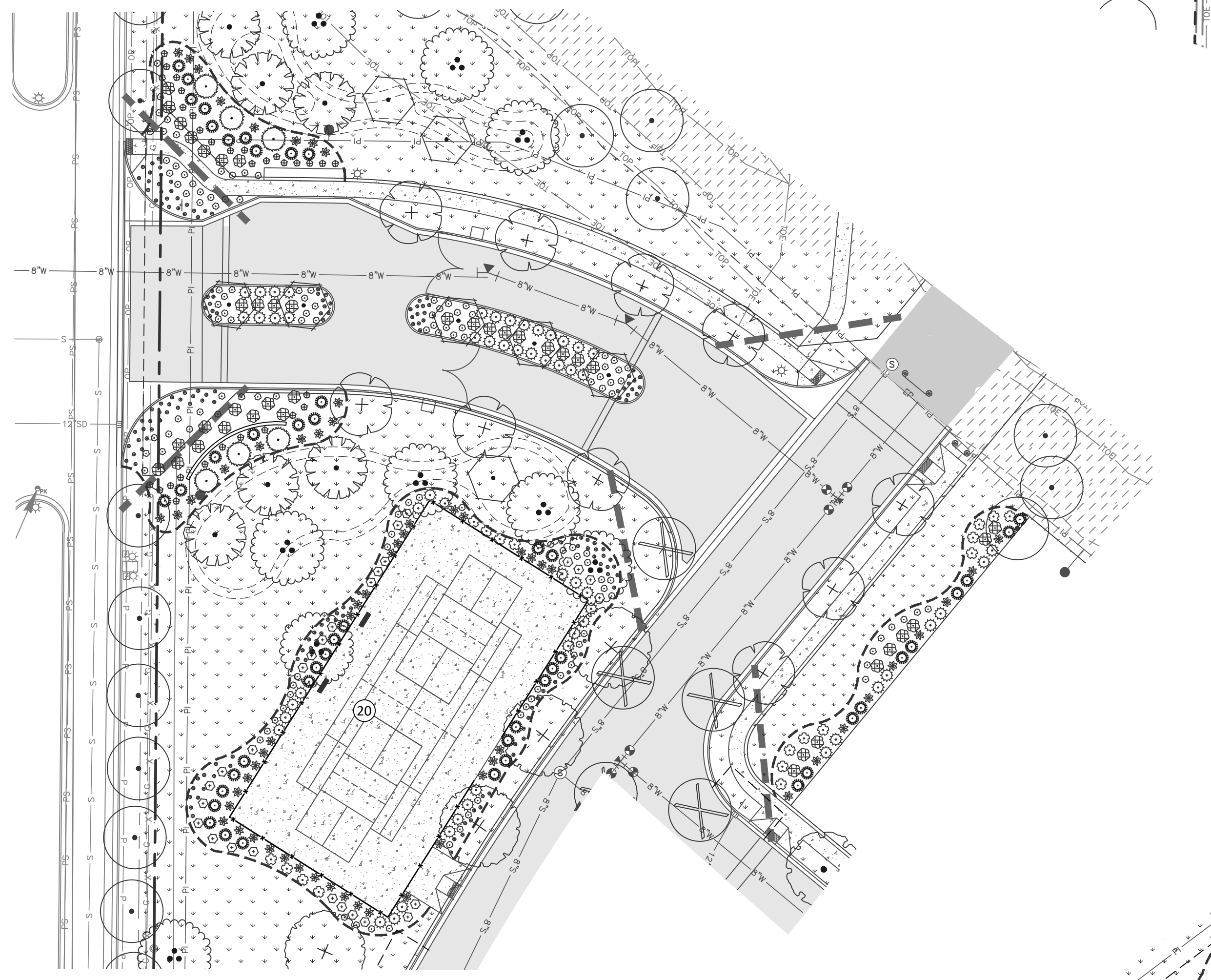
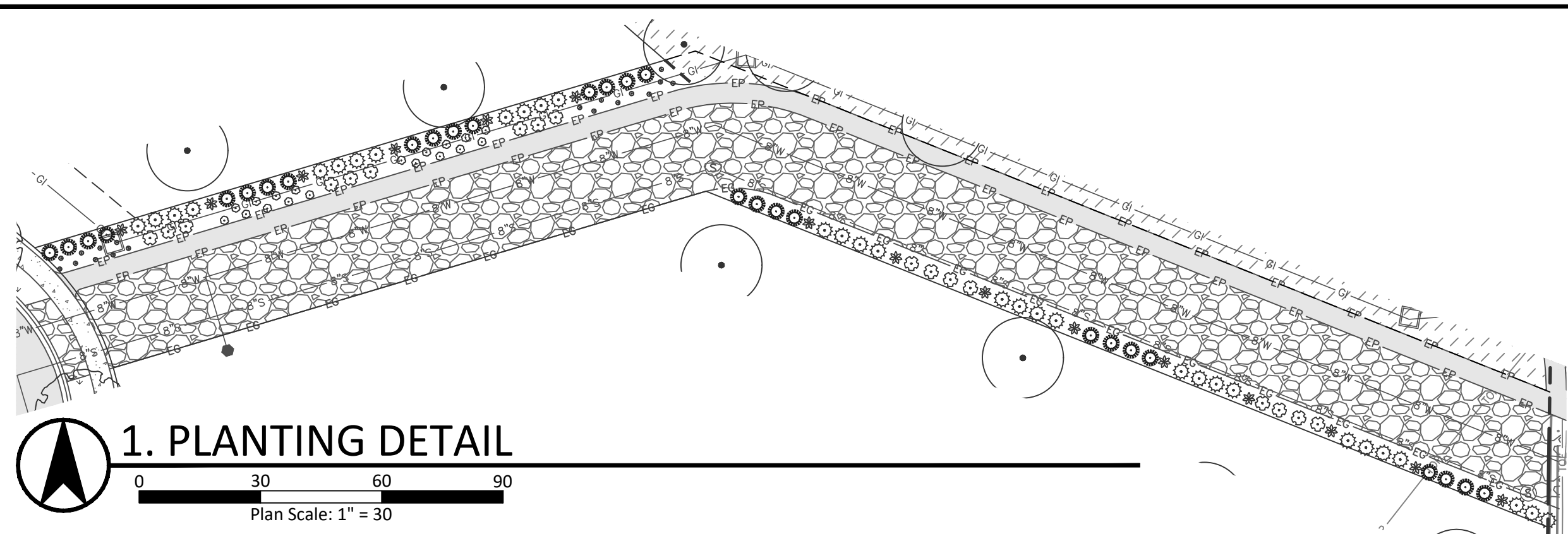
SHEET NO. **L3.0**

P:\24-193\LANDSCAPE\CAD\CONSTRUCTION PLANS\24-193 LANDSCAPE PLAN DWG.MXD KATEE CAMPBELL, 11/17/2024, DWG TO PDF PC3



PLANT SCHEDULE NOTE: SEE L2.0 FOR COMPLETE PLANT SCHEDULE.

SYMBOL	CODE	BOTANICAL / COMMON NAME
DECIDUOUS TREES		
	AP2	ACER TRUNCATUM 'PACIFIC SUNSET'™ PACIFIC SUNSET MAPLE
	AJ	ACER X FREEMANII 'JEFFSRED' AUTUMN BLAZE MAPLE
	BD	BETULA NIGRA 'DURAHEAT' DURAHEAT RIVER BIRCH MULTI-TRUNK
	GS	GLEDITSIA TRIACANTHOS 'SHADEMASTER' SHADEMASTER HONEYLOCUST
	PVC2	PRUNUS CERASIFERA 'THUNDERCLOUD' THUNDERCLOUD PURPLE LEAF PLUM
	TG3	PYRUS CALLERYANA 'REDSPIRE' REDSPIRE CALLERY PEAR
EVERGREEN TREES		
	CC6	CEDRUS DEODARA 'GOLD CONE' GOLD CONE DEODAR CEDAR
	PB2	PICEA PUNGENS 'BABY BLUE' BABY BLUE COLORADO SPRUCE
	PV	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' VANDERWOLF'S PYRAMID PINE
EXISTING TREES		
	SP2	EXISTING TREE TO BE RELOCATED TREES TO BE SPADED, STORED AND REPLANTED
	RM	EXISTING TREE TO BE REMOVED
	SP	EXISTING TREE TO REMAIN PRESERVE AND PROTECT SEE TREE PROTECTION NOTES AND KEY NOTES
	SP3	RELOCATED TREES PRESERVE AND PROTECT
SHRUBS		
	BF3	BUXUS MICROPHYLLA VAR. JAPONICA 'WINTER GEM' WINTER GEM BOXWOOD
	HL2	HYDRANGEA PANICULATA 'LITTLE LIME' LITTLE LIME HYDRANGEA
	JB	JUNIPERUS SCOPULORUM 'BLUE ARROW' BLUE ARROW JUNIPER
	PM2	PINUS MUGO 'SLOWMOUND' SLOWMOUND MUGO PINE
GRASSES		
	BB	BOUTELLOU GRACILIS 'BLONDE AMBITION' BLONDE AMBITIONS BLUE GRAMA GRASS
	CK3	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS
PERENNIALS		
	EP3	ECHINACEA X 'ORANGE PASSION' ORANGE PASSION CONEFLOWER
	NJ	NEPETA X FAASSENI 'JUNIOR WALKER' JUNIOR WALKER CATMINT
	RG2	RUDBECKIA FULGIDA 'GOLDSTRUM' GOLDSTRUM BLACK-EYED SUSAN
OTHER		
	EP2	EXISTING LANDSCAPE TO REMAIN PRESERVE AND PROTECT SEE KEY NOTES
SOD/SEED		
	TR	TURF SOD RHIZOMATOUS RHIZOMATOUS TALL FESCUE



NO.	REVISIONS	DATE

LAKEHAVEN ESTATES SUBDIVISION
 STAR, ID
 LANDSCAPE IMPROVEMENT PLANS
 LANDSCAPE PLANTINGS ENLARGMENTS



DESIGN BY:	MPH
DRAWN BY:	MPH
CHECKED BY:	AY
DATE:	11/8/24
PROJECT:	24-193



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star – Planning & Zoning Department *Shen J. M...*

MEETING DATE: February 4, 2025

FILE(S): FP-24-15, Final Plat, Milepost Commons Subdivision, Phase 1

REQUEST

The Applicant is seeking approval of a Final Plat for Milepost Commons Subdivision No. 1, consisting of 37 residential lots and 12 common lot on 11.65 acres. The property is located at 2400 N. Pollard Lane in Star, Ada County, generally located on the east side of N. Pollard Lane between W. Beacon Light Road and W. Broken Arrow Street. The Ada County Parcel Number is S0404244210.

APPLICANT/REPRESENTATIVE:

Van Elg
J-U-B Engineers, Inc.
2760 W. Excursion Lane, Ste. 400
Meridian, Idaho 83642

OWNER:

Toll West Inc.
3103 W. Sheryl Drive, Ste. 100
Meridian, Idaho 83642

PROPERTY INFORMATION

Land Use Designation - Residential R-4-DA

Acres - **11.65** acres

Residential Lots - **37**

Common Lots - 12

Light Office Lots - 0

Commercial Lots - 0

HISTORY

The property was previously annexed into the City and zoned R-4 as part of the West Ada School District property. The property was subsequently sold to Toll Brothers.

March 5, 2024 Council approved applications for a Development Agreement Modification (DA-21-15-MOD) and Preliminary Plat (PP-23-05) for Milepost Commons Subdivision. Preliminary Plat was approved for a maximum of 72 residential lots on 19.93 acres for a density of 3.6 du.ac.

GENERAL DISCUSSION

The applicant is requesting approval of the Final Plat for Milepost Commons Subdivision, Phase 1 consisting of 37 residential lots and 12 common lots on 11.65 acres.

The Final Plat layout generally complies with the approved Preliminary Plat.

Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:

PRELIMINARY PLAT:

The Preliminary Plat contains 72 single family detached residential lots, and 11 common area lots on 19.93 acres. This equates to 3.6 dwelling units per acre. The lots will have access and frontage from public streets. The development has two lot widths, including 45, and 55 feet with depths ranging from 115 to 121 feet. Single family detached lots will range in size from 5,135 square feet to 10,827 square feet with the average buildable lot of 6,014 square feet. The submitted preliminary plat includes all local roads with a 50-foot wide right of way with paved streets measuring 36 feet from back of curb to back of curb. Sidewalks are proposed to be detached with a 5-foot, concrete sidewalk and 8-foot side landscape strip, except along W. Stillmore Street, where the sidewalks is proposed to be attached. The applicant is proposing 6.23 acres (31.3%) of open space and 4.04 acres (20.3%) of usable open space. These percentages satisfy the Unified Development Code requirement of 15% open space with 10% useable.

The Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of three (3) site amenities. The applicant is proposing a 1.0-acre central park with a bocce ball court and landscaped pathways. There will also be additional large open areas with seating and pathways. The residents of Milepost Commons will also have access to Milestone Ranch and their amenities, as the plan is to have this development also age restricted and an extension of Milestone Ranch.

Primary access to the development will be off N. Pollard Road via W. Stillmore Street, located south of the property. Milepost Commons will also provide stub streets on the south to Iron Mountain Vista Subdivision and the east to Milestone Ranch Subdivision.

ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks

Internal sidewalks are proposed at five-foot (5') widths and will be detached with an eight-foot (8') landscape strip. The sidewalk along W. Stillmore Street will be attached.

- Lighting

Streetlights shall reflect the "Dark Sky" criteria. The same streetlight design shall continue throughout the entire development. The applicant has not submitted a streetlight location plan, **this needs to be submitted and approved prior to approval of the final plat.** The Applicant has provided a streetlight design/cut sheet, and the proposed fixture meets city requirements and is the preferred fixture for use throughout the City of Star. The streetlights should match those in Milestone Ranch Subdivision.

- Street Names Applicant has provided documentation from Ada County that the street names are acceptable and have been approved.

- Subdivision Name – The applicant has provided documentation from Ada County that the proposed development name has been approved for use and reserved for this development.

- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. The submitted landscape plan appears to satisfy these requirements for the open areas and detached sidewalks.

- Setbacks – **The applicant is requesting an interior side yard setback of five (5') which is consistent with the approved setbacks located in the Milestone Ranch Subdivision to the east.** The remaining setbacks are proposed to satisfy the R-4 zone requirements of the Unified Development Code.

- Block lengths – All blocks meet the 750' block length requirement.

- Mailbox Cluster – Applicant has provided documentation from Mel Norton, Star Postmaster depicting the approved location for the mailbox cluster for the development. The approval is to add additional clusters to the Milestone Ranch mail clusters.
- Phasing – The development is scheduled to be built out in three (3) phases.
- Structure Height – Applicant is proposing that all residential structures will be single story.
- Additional Comments – Applicant is proposing this development will be an age 55 and older, active adult community.

Staff Analysis of Final Plat Submittal:

The approved preliminary plat consisted of a maximum of 72 residential lots. Phase 1 is platting 37 residential lots, leaving 35 residential lots for future phases.

Lot Layout – The density of Milepost Commons Subdivision, Phase 1 is 3.17 du/acre. The Final Plat indicates lot sizes range in size from 6203 square feet to 25,226 square feet with the average lot size of 7,579 square feet. This is in line with the approved preliminary plat.

Common/Open Space and Amenities – The development is proposing approximately 2.14 acres (18.4%) usable open space. Amenities include green space and walking paths. The main amenities are part of Phase 2. Residents also have access to the amenities in Milestone Ranch Subdivision.

Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2- M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use “Treasure Valley Tree Selection Guide”, as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape appears to satisfy these requirements. If street trees are to be planted by the builder, the Certificate of Occupancy may be withheld pending confirmation that the correct number and species of tree(s) have been planted.**

Setbacks – The applicant has not been approved for any special setbacks and the development will comply with the standard setbacks of the R-4 zone as follows:

Zoning District	Maximum Height	Minimum Yard Setbacks Note Conditions
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	Note Conditions	Front (1)	Rear	Interior Side	Street Side
R-4	35'	15' to living area 20' to garage face	15'	7.5'(2)	20'

Mailbox Cluster – Applicant has provided documentation from Mel Norton, Star Postmaster depicting the approved location for the mailbox cluster for the development. The approval is to add additional clusters to the Milestone Ranch mail clusters. The Unified Development Code Section 8-4A-21: states that All mailbox clusters shall be approved by the postmaster prior to installation. **All clusters shall be covered with an architecturally designed cover, to be approved by the Administrator prior to final plat signature. All covers shall be provided with lighting and shall be stained/painted and kept in good condition at all times.** The administrator may issue a letter of violation to the HOA when any mailbox cluster or cover falls into disrepair. Maintenance shall be included in the CC&R’s. A turnout shall be installed adjacent to the mailbox cluster to provide community access, if approved by the transportation authority and postmaster. The design shall be included as part of the preliminary plat submittal.



Section 8-3B-3 of the Unified Development Code sets forth additional residential district standards in the City of Star.

J. Additional residential standards applying to all new residential subdivisions:

1. Residential Elevations:

- i. Building elevations for all residential uses shall be submitted with any development application and will be included as part of any preliminary plat, development agreement and/or any other condition of approval.

- ii. Single-Family Residential Building Front and Side Elevation Minimum Standards. These standards shall be reviewed for compliance with all submitted residential building permits under the Building Zoning Certificate process. Council may adopt these standards as part of a development agreement or preliminary plat approval. The following minimum standards shall be applied to all new residential structure elements in all zones:
 - 1. Exterior finishes shall be primarily horizontal/vertical wood or wood product siding, brick, stucco, stone, or other decorative masonry product. **A minimum of three (3) architectural elements shall be provided for all single-family residential structures.** These elements shall include, but are not limited to, shingled, horizontal or vertical siding, stone or brick highlights, garage door windows or hardware, colored window frames, or other architectural treatments deemed appropriate by the administrator.

Section 8-3B-3 designates EXTERIOR ARCHITECTURAL ELEMENTS:



- 2. Two-story detached structures should provide a minimum of one, second story side window per side elevation, when appropriate.
- 3. A minimum one (1) foot overhang shall be provided on all roof overhangs. Administrator may approve deviation from this standard.

4. **Dwellings backing up to collector or arterial streets shall have rear elevations and/or architectural designs that provide depth and dimension, avoiding the flat-wall appearance. These elements must be functional and may not be minimized or created solely for the purpose of compliance with this provision.**
 5. Additional landscaping buffers may also be required.
2. Dwelling Unit Design. Building styles shall be spread throughout the entire development (including all contiguously owned and phased properties). Nowhere within the development shall any fewer than 5 different exterior elevation styles and/or floorplans be located adjacent to each other. The number of different dwelling styles within a development shall be as follows:
- a. **1 to 50 units = minimum of 5 architectural styles and/or floorplans**
 - b. 51 to 100 units = minimum of 7 architectural styles and/or floorplans
 - c. 101 and over units = minimum of 10 architectural styles and/or floorplans
3. Homeowners Associations. All subdivisions shall be maintained by a Homeowners association with appropriate Conditions, Covenants and Restrictions (CC&R's). CC&R's are not enforceable by the City and are private contracts between the developer and the property owner.

Irrigation and drainage ditches shall not be covered, tiled or re-routed as part of any new residential development unless specifically approved by Council and the applicable irrigation and/or drainage district. Perforated piping may be considered as an option if tiling is allowed.

Street Names – The applicant has provided documentation from the Ada County Street Naming Committee that the proposed street names are approved.

Subdivision Name – The applicant has provided documentation that the proposed subdivision name has been approved by Ada County Development Services. The name is reflected accurately on the final plat.

Lighting - Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a

proposed streetlight plan that meets city standards. **Streetlights shall be the same as in Milepost Ranch.**

Fencing – Applicant is proposing a solid 6’ tall vinyl fence throughout the development. Fence to be installed per plan.

Sidewalks - Sidewalks are proposed to be detached with a 5-foot, concrete sidewalk and 8-foot side landscape strip, except along W. Stillmore Street, where the sidewalks are proposed to be attached.

Floodplain – The property is located in a Flood Hazzard Area and will need to meet all related requirements prior to issuing building permits and/or as required by the Flood Plain Administrator or applicable agency or district.

PUBLIC NOTIFICATIONS

Notifications of this application were sent to agencies having jurisdiction on January 9, 2025.

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

- A. The Plat is in conformance with the Comprehensive Plan.
The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.
- B. Public services are available or can be made available and are adequate to accommodate the proposed development.
Staff finds that all public services are available and able to accommodate this development.
- C. There is public financial capability of supporting services for the proposed development.
Staff knows of no financial hardship that would prevent services from being provided.
- D. The development will not be detrimental to the public health, safety or general welfare; and,
Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.
- E. The development preserves significant natural, scenic or historic features.

Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.

CONDITIONS OF APPROVAL

Conditions included in the Findings of Fact & Development Agreement.

1. Side yard setbacks shall be 7.5'. A waiver has not been granted as part of the DA Modification.
2. Council approves minimum rear yard setbacks of 10'.
3. The applicant shall connect the sidewalk/pathway in the northwest corner of the development to N. Pollard Lane.

Additional Conditions of Approval

1. The approved Final Plat for Milepost Commons Subdivision, Phase 1 shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **The applicant shall receive approval of all Floodplain applications and meet all FEMA requirements, if applicable, prior to approval of the final plat. The applicant shall also submit a Permit to Develop in an Area of Special Flood Hazard to the Floodplain Manager for review and approval prior to any development work on the property.**
3. **The applicant shall pay all required public safety mitigation fees to the City, as determined by City Council.**
4. **Per the Development Agreement and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the city \$1,000 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$72,000. \$37,000 is due (37 residential lots x \$1000) to be paid before signing the final plat of phase 1.**
5. **The applicant shall comply with the Residential Standards for all new houses, as required in Section 8-3B-3 of the UDC.**
6. **The development shall be subject to additional Fire and Police emergency mitigation fees collected at the time of building permit for each residential dwelling.**
7. The entrance to N. Pollard Road shall be cleaned nightly to include dirt, dust, rocks, mud, and other debris. All trash shall be secured on site and trash receptacles emptied on a regular basis to avoid blowing debris.
8. During the entire construction process, dust from the site must be minimized as much as possible. Water trucks should be used as appropriate. Excess dust could result in fines and/or work stoppage.
9. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall

be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative. Even after installation, streetlights may require shielding to prevent light trespass.**

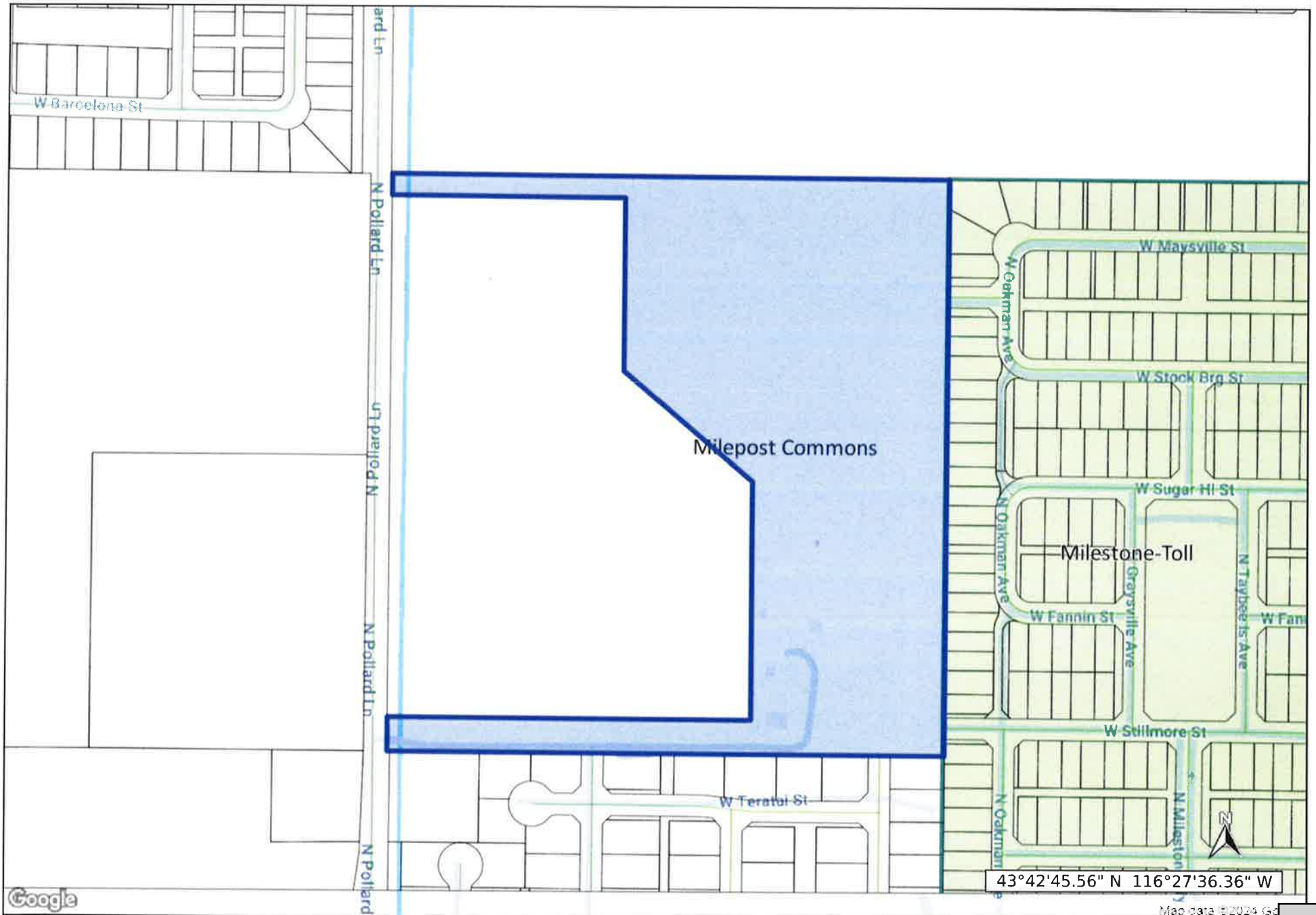
10. **All future building permits for single family dwellings shall be reviewed for compliance with Section 8-3B-3J, including exterior finishes, dwelling unit design and rear elevation design along collector roadways.**
11. **The mailbox cluster must be covered and reasonably lit, per Section 8-4A-21 of the UDC.**
12. As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **Street trees shall be installed per Chapter 8, Section 8-8C-2-M(2) Street Trees. Applicant shall provide locations for the local street trees at the time of final plat. If driveway locations will not be determined until sale of the lot, Applicant agrees to not receive the Certificate of Occupancy until street trees are confirmed in place.**
13. All streets shall have a minimum street width of 36' and shall be constructed to ACHD standards.
14. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
15. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.
16. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
17. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.

- 18. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
- 19. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
- 20. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
- 21. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
- 22. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
- 23. A separate sign application is required for any subdivision sign.
- 24. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior to signature of the final plat.**
- 25. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.
- 26. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 27. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
- 28. All common areas shall be maintained by the Homeowners Association.
- 29. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 30. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
- 31. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
- 32. Any additional Condition of Approval as required by Staff and City Council.

COUNCIL DECISION

The Star City Council _____ File # FP-24-15 Milepost Commons Subdivision, Phase 1
on _____, _____ 2025.

Milepost No 1 Vicinity Map



Toll Brothers®

LAND DEVELOPMENT

Section 5, Item E.

PAVING THE WAY FOR AMERICA'S LUXURY HOMEBUILDER

November 26, 2024

City of Star
Planning & Zoning
P.O. Box 130
Star, Idaho 83669

RE: Milepost Commons Subdivision No. 1 – Final Plat

Dear Planning Staff,

On behalf of Toll West Inc., please accept for your review a Final Plat application for Milepost Commons Subdivision No. 1. This plat has been submitted in conformance with the City of Star's Zoning Code and per the approved Preliminary Plat of Milepost Commons Subdivision.

Milepost Commons No. 1 is located at 2400 N Pollard Ln., Star, Idaho 83669, in the SE ¼ of the NW ¼ of Section 4, Township 4 North, Range 1 West, Boise Meridian, City of Star, County of Ada, State of Idaho, parcel number S0404244210.

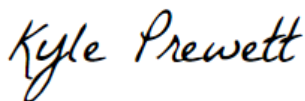
Phase 1 of Milepost Commons Subdivision will include 37 single-family residential lots and 12 common lots on 11.65 acres. The gross density of the phase is 3.18 dwelling units per acre. Lot sizes range from 620 SF to 25,226 SF with an average lot size of 7,579 SF.

Open space consists of 2.14 acres (18.4%) of the Phase and will include green space and walking paths. The primary amenity for the Subdivision, including a bocce ball court and a shade pavilion, is located in Phase 2. Please note that residents of Milepost Commons will have access to the amenities located in Milestone Ranch Subdivision, and vice-versa. Amenities in Milestone Ranch include a clubhouse, indoor pool, outdoor pool, pickleball courts, dog park, and walking paths.

The City Council has approved reduced minimum rear yard setbacks for this Subdivision. The approved rear yard setback of 10' is a reduction from the typical 15' for the R-4 zoning designation.

Construction of Phase 1 will be in compliance with the approved Preliminary Plat. Thank you for your time and consideration of this Final Plat application. If you have any questions or need further information, please don't hesitate to reach out to me at 208-576-3625 or kprewett@tollbrothers.com.

Respectfully Submitted,



Kyle Prewett
Land Entitlement Manager, Idaho
Toll Brothers



FINAL PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: FP-24-15
Date Application Received: 11-26-2024 Fee Paid: \$2790.00
Processed by: City: BN

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: Toll Brothers - Hannah Shurance
Applicant Address: 3103 W Sheryl Drive, Ste 100 Zip: 83642
Phone: (520) 870-4501 Email: HShurance@tollbrothers.com

Owner Name: Toll West Inc. - Hannah Shurance
Owner Address: 3103 W Sheryl Drive, Ste 100 Zip: 83642
Phone: (520) 870-4501 Email: HShurance@tollbrothers.com

Representative (e.g., architect, engineer, developer):

Contact: Van Elg and Keith Morse, P.E. Firm Name: J-U-B Engineers, Inc.
Address: 2760 W Excursion Lane Ste 400 Meridian, ID Zip: 83642
Phone: (208) 376-7330 Email: velg@jub.com and kmorse@jub.com

Property Information:

Subdivision Name: Milepost Commons Subdivision Phase: 1

Parcel Number(s): S0404244210

Approved Zoning: R-4, DA Units per acre: 3.18

Total acreage of phase: 11.65 Total number of lots: 49

Residential: 37 Commercial: 0 Industrial: 0

Common lots: 12 Total acreage of common lots: 2.14 Percentage: 18.4%

Percent of common space to be used for drainage: 4.3% Acres: .09

Special Flood Hazard Area: total acreage 0 number of homes 0

Changes from approved preliminary plat pertaining to this phase:

	Preliminary Plat	Final Plat
Number of Residential Lots:	<u>21</u>	<u>37</u>
Number of Common Lots:	<u>7</u>	<u>12</u>
Number of Commercial Lots:	<u>0</u>	<u>0</u>
Roads:	<u>7</u>	<u>7</u>

Amenities: Bocce Ball

Pavilion

Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision Name: Milepost Commons Subdivision Phase: 1

Special Flood Hazard Area: total acreage 0 number of homes 0

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16001C0130J
 FIRM effective date(s): mm/dd/year 6/19/2020
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: A
 Base Flood Elevation(s): AE .0 ft., etc.: None
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (√)	Description	Staff (√)
X	Completed and signed copy of Final Plat Application	BN
	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
X	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> • Gross density of the phase of the Final Plat submitted • Lot range and average lot size of phase • Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities • List any specific approved building setbacks previously approved by Council. 	BN
X	Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)	BN
X	Electronic copy of current recorded warranty deed for the subject property	BN
X	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.	BN
X	Electronic copy of subdivision name approval from Ada County Surveyor's office.	BN
X	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming	BN
X	Electronic copy of vicinity map showing the location of the subject property	BN
X	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	BN
X	One (1) 11" X 17" paper copy of the Final Plat	BN
X	Electronic copy of the Final landscape plan**	BN

X	One (1) 11" X 17" copy of the Final landscape plan	BN
X	Electronic copy of site grading & drainage plans** See Construction Drawings	Section 5, Item E.
X	Electronic copy of originally approved Preliminary Plat**	BN
X	Electronic copy of a Plat with all phases marked with changes, if applicable**	
X	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	
X	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	BN
X	Electronic copy of streetlight design and location information See Construction Drawings	BN
N/R	Special Flood Information – Must be included on Preliminary/Final Plat and Application form.	
X	Electronic copy of all easement agreements submitted to the irrigation companies	
X	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	BN
X	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.</u>	BN
Noted	<p>Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance:</p> <ul style="list-style-type: none"> • One (1) 11" X 17" and (1) 18" X 24" recorded copy of Final Plat • Electronic copy of final, approved construction drawings • Electronic copy of as-built irrigation plans • Electronic copy of recorded CC&R's • Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign • Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please. 	
	**NOTE: No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid.	

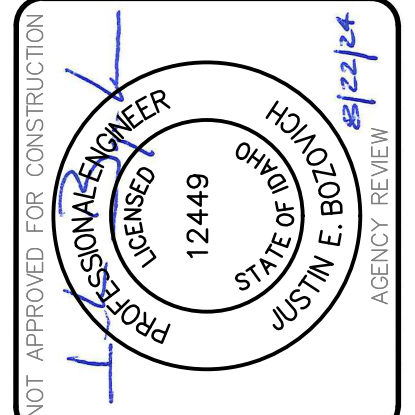
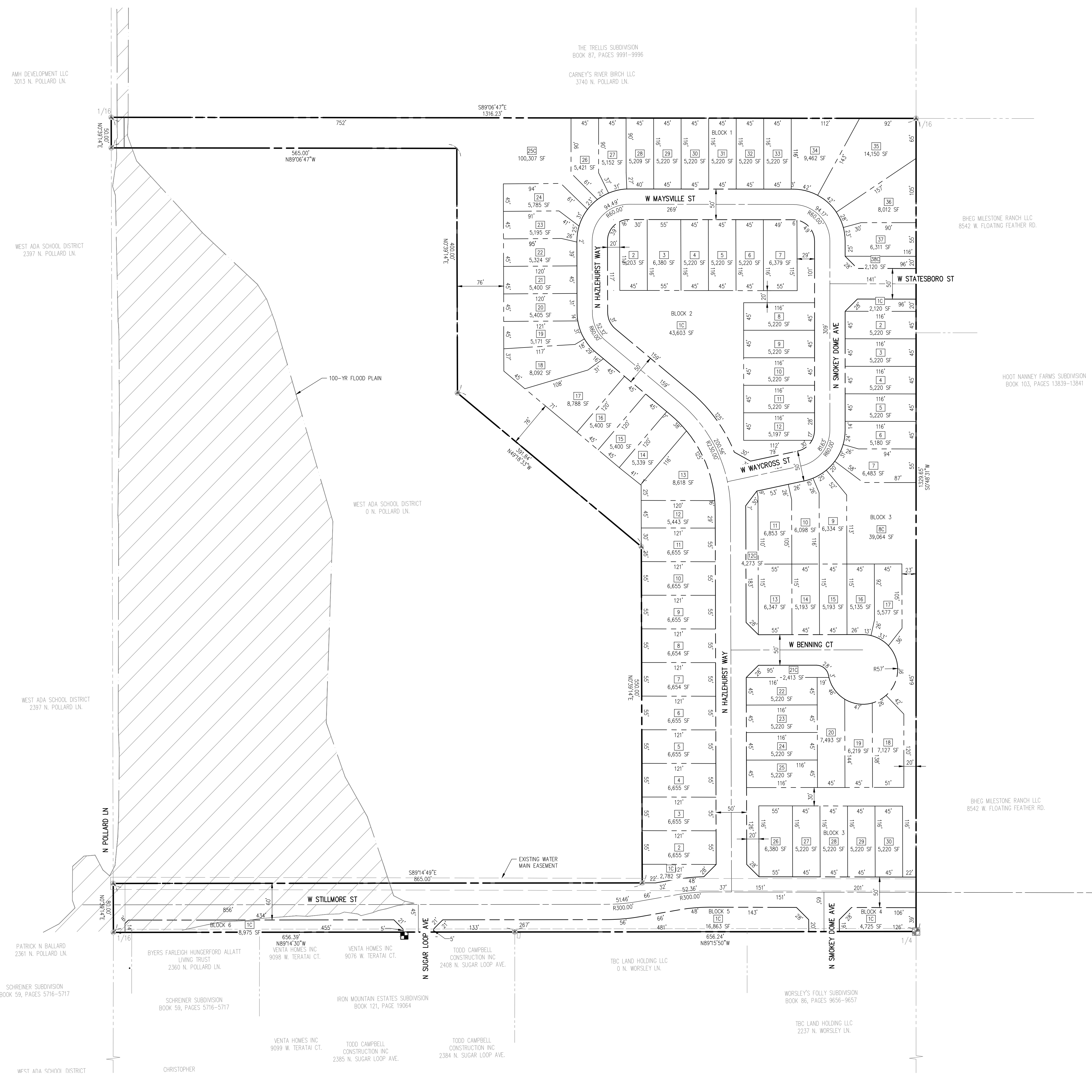
FEE REQUIREMENT:

*** I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*


 Applicant/Representative Signature


 Date

\\IDNASP01\ESE\PROJECTS\IDAHO\7832 - MILEPOST (MILESTONE RANCH)\ENGINEERING\PRELIM\7832-5-PLAN-PP-DWG-Daniel Rowett-6/22/2024 2:30 PM



ESE CONSULTANTS
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL
 ESE Consultants, Inc.
 3103 W. Sheryl Drive • Suite 100 • Meridian, ID 83642
 T: 208-424-0020

REV.	DATE	DESCRIPTION	DR	DR	DR
B	8/22/24	AGENCY COMMENTS PRELIM SUBMITTAL			
A	12/17/23				

PRELIMINARY PLAT
MILEPOST COMMONS SUBDIVISION
 SEC. 4, T. 4N., R. 1W., B.M., STAR, ADA COUNTY, IDAHO

DATE:	02/21/2023	SCALE:	1" = 80'
DESIGN:	JEB	DRAWN:	PDL/MGF/DKR
JOB NO.:	7832	FILE NAME:	7832-5-PLAN-PP
REF. NO.:			
SHEET NO.:	3	OF	5

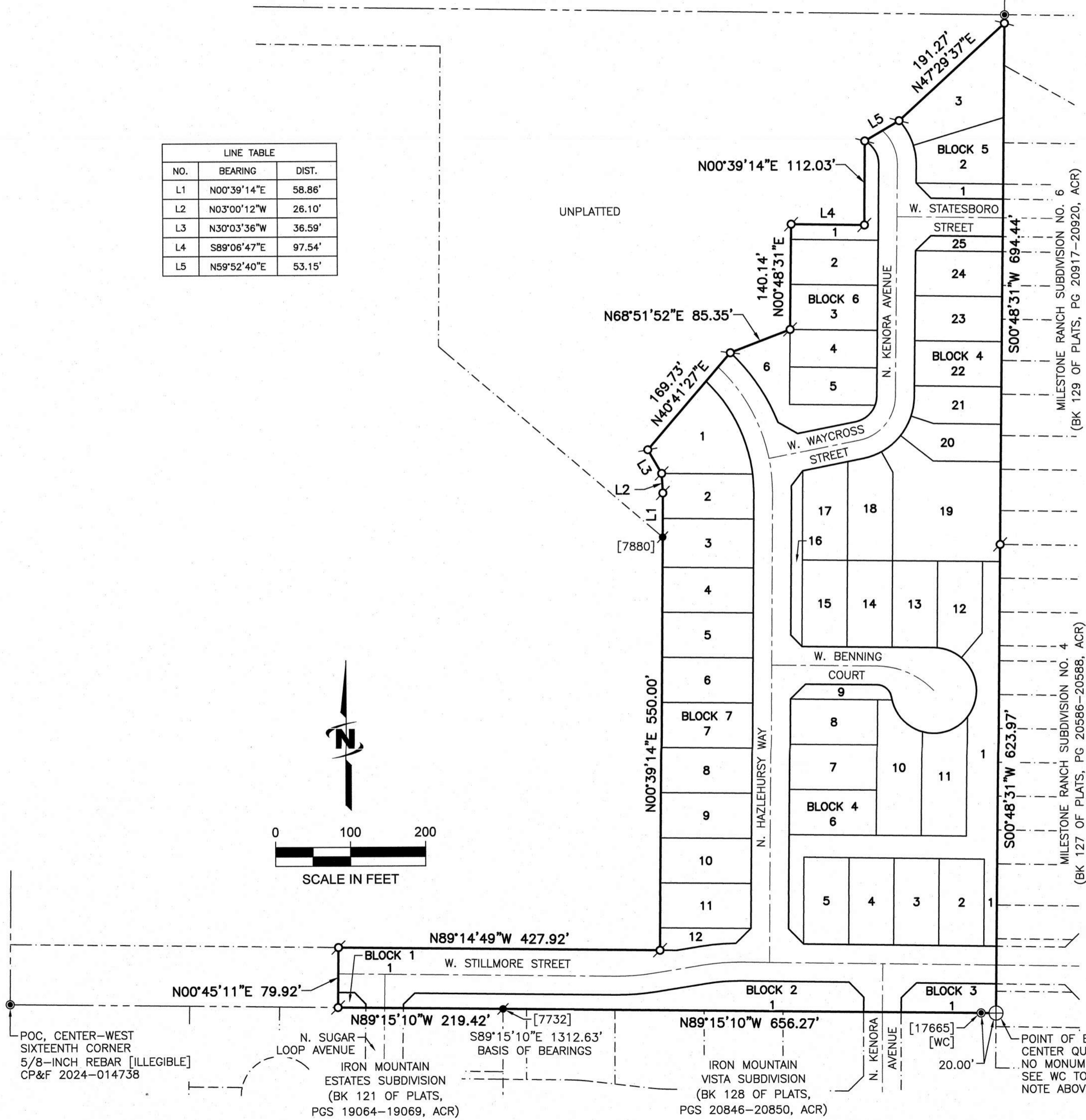
PLAT OF
MILEPOST COMMONS SUBDIVISION NO. 1
SITUATE IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF
SECTION 4, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN
CITY OF STAR, COUNTY OF ADA, STATE OF IDAHO
2024

BOOK _____ OF PLATS, PAGE _____

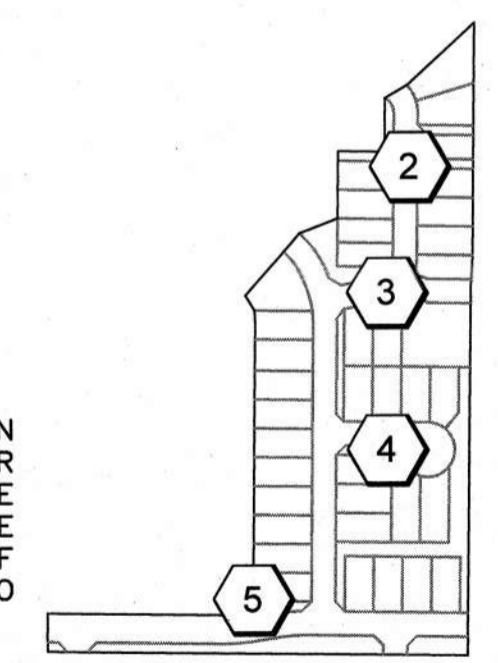
LEGEND

- SUBDIVISION BOUNDARY LINE
- LOT LINE
- RIGHT-OF-WAY LINE
- SECTION LINE
- CENTER LINE
- ADJACENT PROPERTY LINE
- TIE LINE
- UTILITY EASEMENT LINE
- TEMPORARY EASEMENT LINE
- IRRIGATION EASEMENT LINE
- PERMANENT ACHD EASEMENT LINE
- ⊕ — CENTER QUARTER CORNER (NOT SET)
- ☆ — SET 1/2-INCH x 24-INCH REBAR WITH PLASTIC CAP MARKED "JUB PLS 17665"
- ⊗ — SET 5/8-INCH x 24-INCH REBAR WITH PLASTIC CAP MARKED "JUB PLS 17665"
- — FOUND 1/2-INCH REBAR AS NOTED
- ⦿ — FOUND 5/8-INCH REBAR AS NOTED
- ⦿ — FOUND MONUMENT AS NOTED
- — DIMENSION POINT — NOT FIELD LOCATED
- C# — CURVE COURSE NUMBER (TYPICAL)
- L# — LINE COURSE NUMBER (TYPICAL)
- # — LOT NUMBER (TYPICAL)
- [####] — PLS NUMBER FOUND ON MONUMENT
- ACR — ADA COUNTY RECORDS
- ORAC — OFFICIAL RECORDS ADA COUNTY
- POC — POINT OF COMMENCEMENT
- WC — WITNESS CORNER

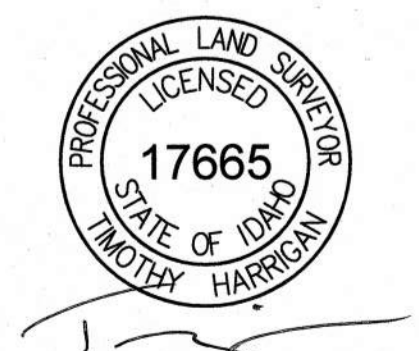
LINE TABLE		
NO.	BEARING	DIST.
L1	N00°39'14"E	58.86'
L2	N03°00'12"W	26.10'
L3	N30°03'36"W	36.59'
L4	S89°06'47"E	97.54'
L5	N59°52'40"E	53.15'



CENTER QUARTER NOTE:
THE CENTER QUARTER CORNER FALLS IN AN EXISTING FENCEPOST. A WITNESS CORNER WAS FOUND ON THE EAST-WEST CENTERLINE OF THE SECTION, 20.00- FEET WEST OF THE CENTER QUARTER CORNER. SEE CP&F 2024-_____ FOR WITNESS CORNER TO THE CENTER QUARTER CORNER.



KEY MAP
1" = 400'
= SHEET No.



SEE SHEET 6 FOR NOTES, EASEMENT NOTES, REFERENCES, AND SURVEYOR'S NARRATIVE

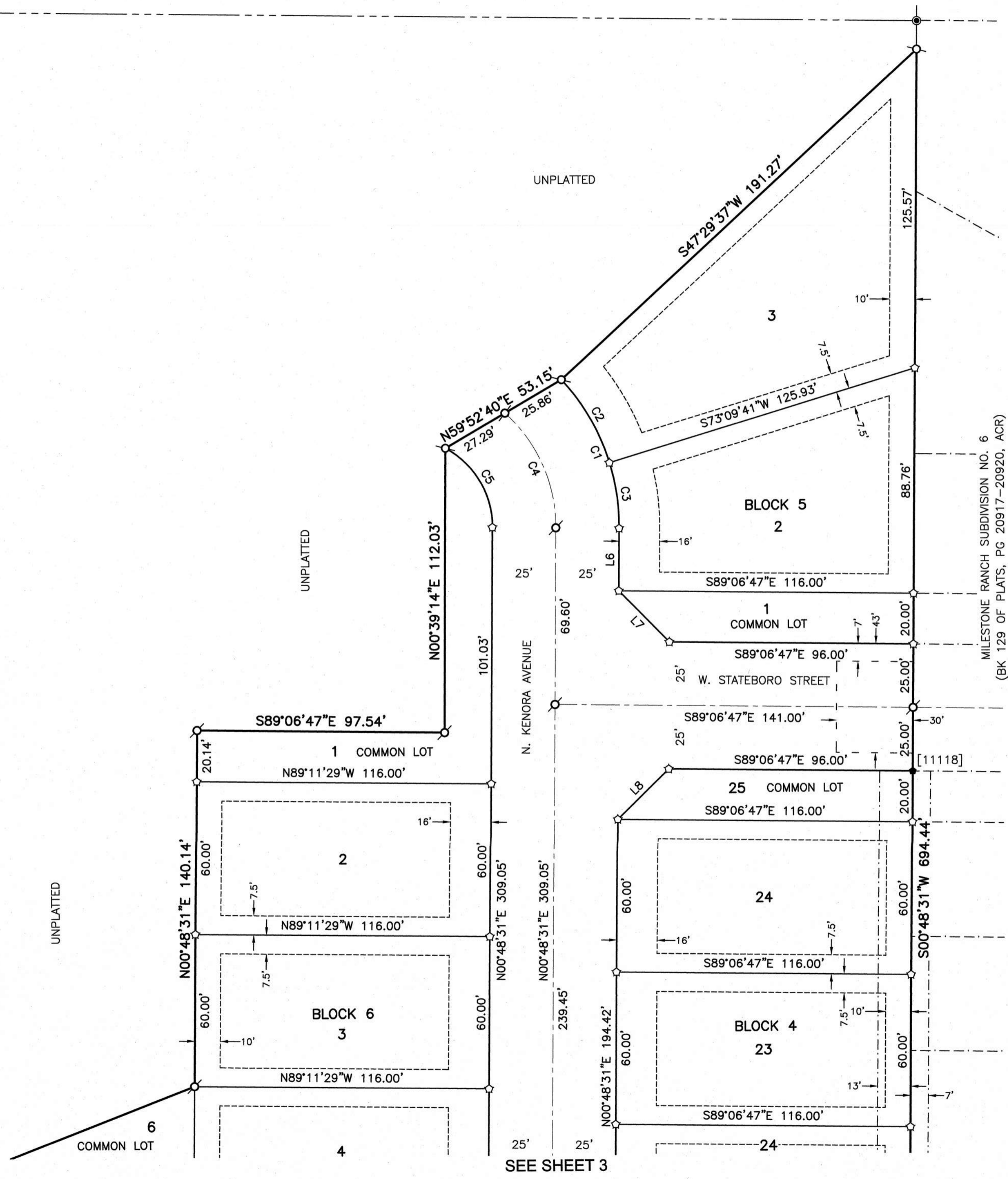


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JOB No. 10-24-025 SHEET 1 OF 8

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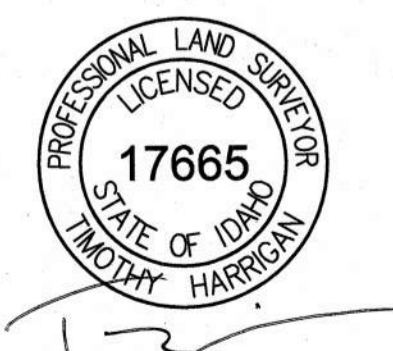
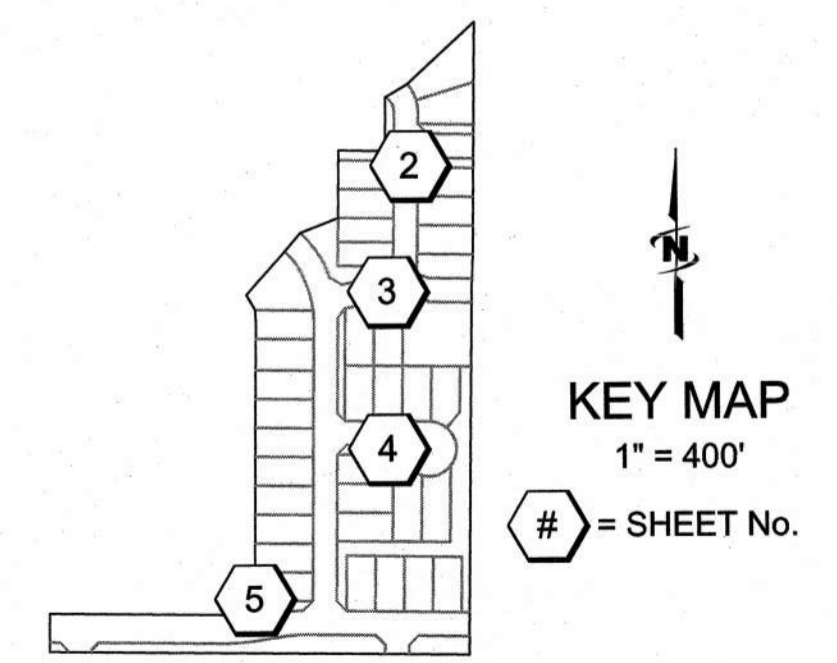
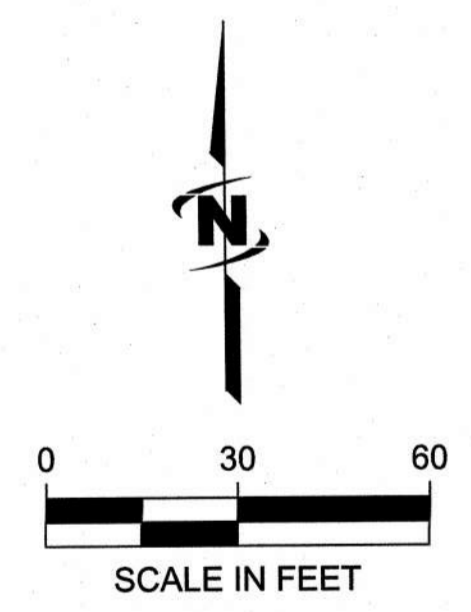
PLAT OF MILEPOST COMMONS SUBDIVISION NO. 1

BOOK _____ OF PLATS, PAGE _____



CURVE TABLE					
NO.	RADIUS	DELTA	LENGTH	CH. BEARING	CH. DIST.
C1	85.00'	43°19'39"	64.28'	N20°51'19"W	62.76'
C2	85.00'	25°40'04"	38.08'	N29°41'06"W	37.76'
C3	85.00'	17°39'35"	26.20'	N08°01'17"W	26.10'
C4	60.00'	48°38'12"	50.93'	N23°30'35"W	49.42'
C5	35.00'	62°21'17"	38.09'	N30°22'08"W	36.24'

LINE TABLE		
NO.	BEARING	DIST.
L6	N00°48'31"E	24.64'
L7	N44°09'08"W	28.30'
L8	N45°50'52"E	28.26'



SEE SHEET 1 FOR LEGEND.
SEE SHEET 6 FOR NOTES,
EASEMENT NOTES, REFERENCES,
AND SURVEYOR'S NARRATIVE

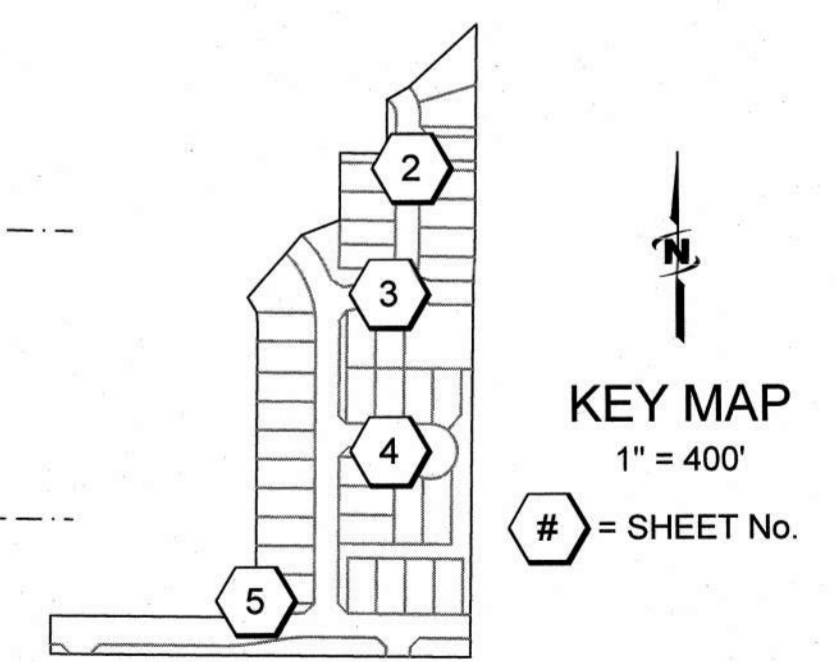
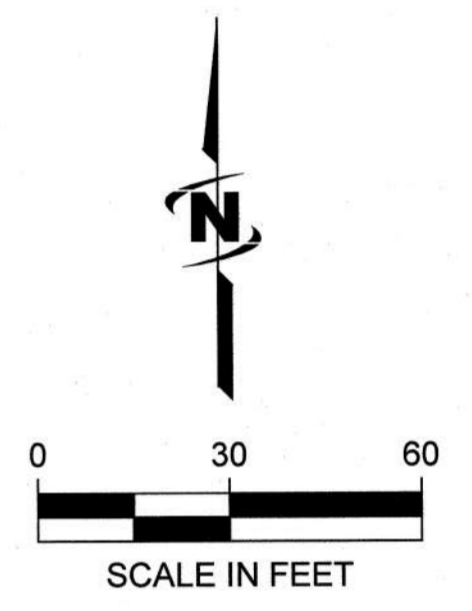
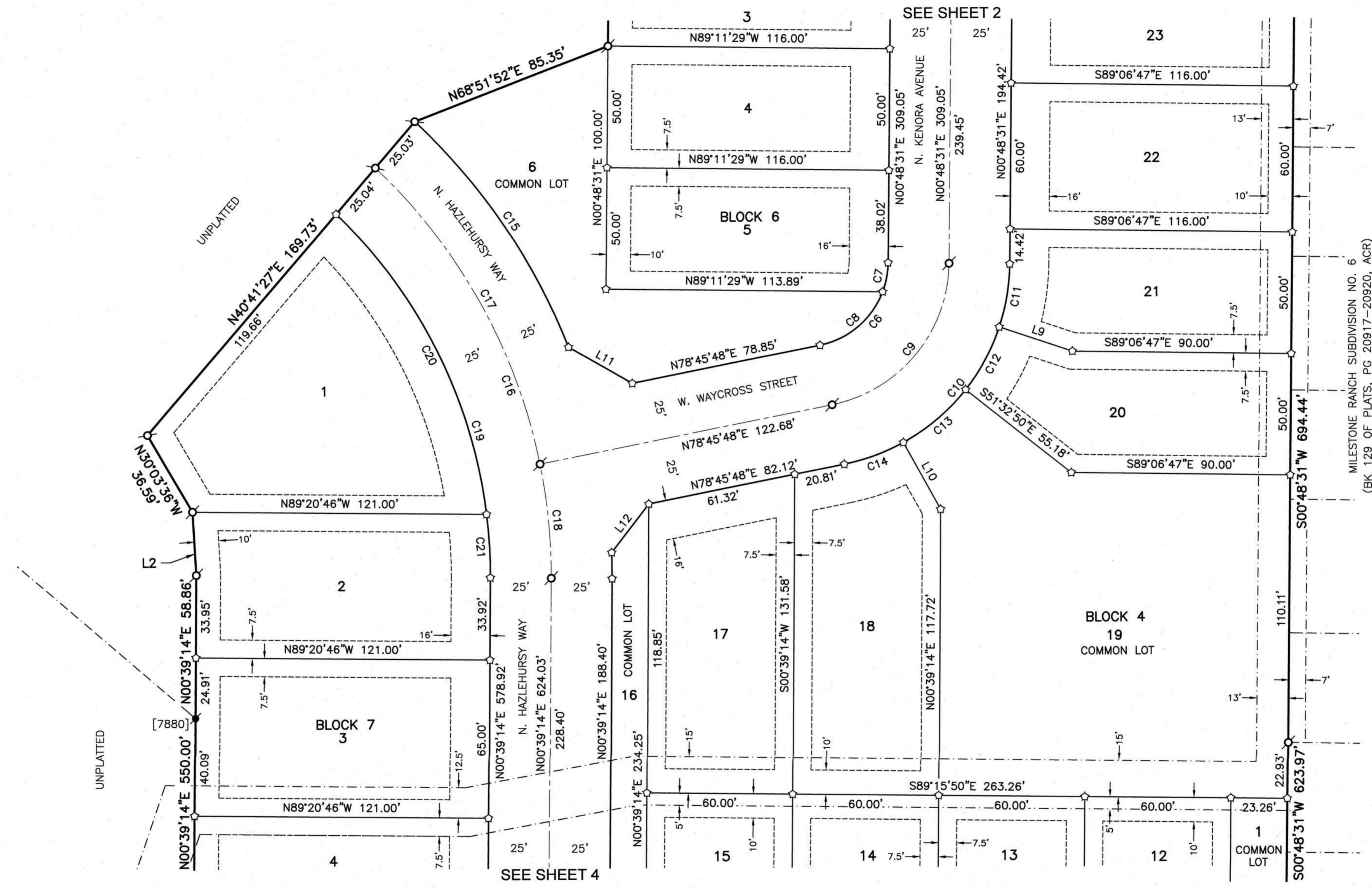


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11/22/2024

PLAT OF MILEPOST COMMONS SUBDIVISION NO. 1

BOOK _____ OF PLATS, PAGE _____



CURVE TABLE					
NO.	RADIUS	DELTA	LENGTH	CH. BEARING	CH. DIST.
C6	35.00'	77°57'17"	47.62'	N39°47'09"E	44.03'
C7	35.00'	20°00'27"	12.22'	N10°48'44"E	12.16'
C8	35.00'	57°56'49"	35.40'	N49°47'23"E	33.91'
C9	60.00'	77°57'17"	81.63'	N39°47'09"E	75.48'
C10	85.00'	77°57'17"	115.65'	N39°47'09"E	106.93'
C11	85.00'	17°47'26"	26.39'	N09°42'14"E	26.29'
C12	85.00'	19°51'13"	29.45'	N28°31'34"E	29.31'
C13	85.00'	22°47'36"	33.81'	N49°50'58"E	33.59'

CURVE TABLE					
NO.	RADIUS	DELTA	LENGTH	CH. BEARING	CH. DIST.
C14	85.00'	17°31'02"	25.99'	N70°00'17"E	25.89'
C15	255.00'	25°25'09"	113.13'	N33°57'56"W	112.21'
C16	230.00'	47°02'33"	188.84'	N22°52'03"W	183.58'
C17	230.00'	35°16'02"	141.57'	N28°45'19"W	139.35'
C18	230.00'	11°46'32"	47.27'	N05°14'02"W	47.19'
C19	205.00'	46°41'10"	167.04'	N22°41'21"W	162.46'
C20	205.00'	39°22'34"	140.88'	N26°20'39"W	138.13'
C21	205.00'	7°18'36"	26.15'	N03°00'04"W	26.14'

LINE TABLE		
NO.	BEARING	DIST.
L2	N03°00'12"W	26.10'
L9	S71°24'03"E	31.57'
L10	N28°45'14"W	31.40'
L11	N60°07'24"W	30.15'
L12	N37°45'45"E	25.23'



11/22/2024

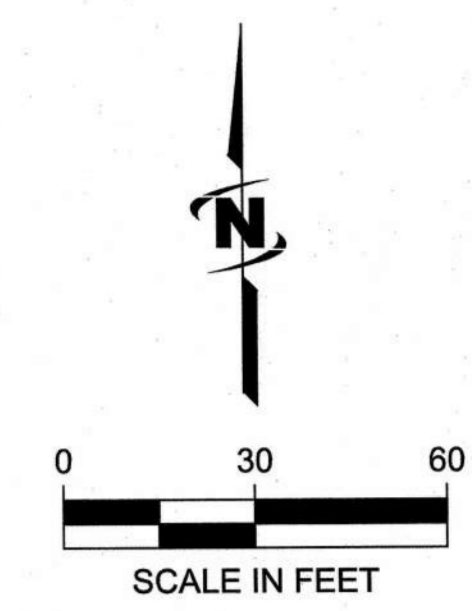
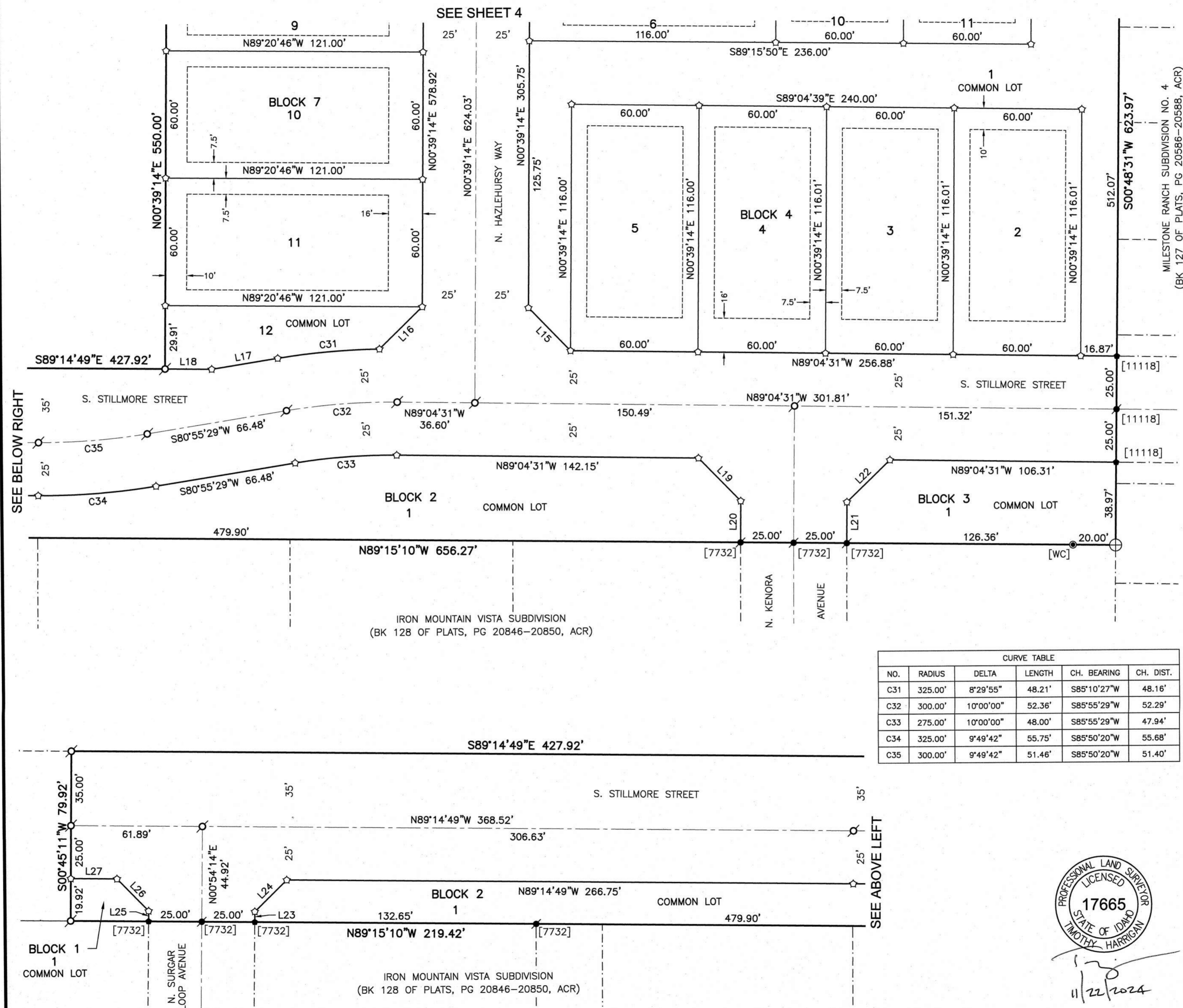
SEE SHEET 1 FOR LEGEND.
SEE SHEET 6 FOR NOTES,
EASEMENT NOTES, REFERENCES,
AND SURVEYOR'S NARRATIVE



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PLAT OF MILEPOST COMMONS SUBDIVISION NO. 1

BOOK _____ OF PLATS, PAGE _____

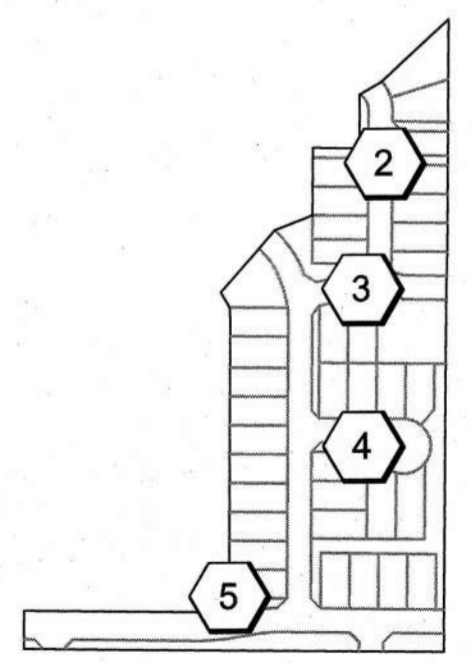


LINE TABLE

NO.	BEARING	DIST.
L15	N44°12'38"W	28.35'
L16	S45°37'43"W	28.30'
L17	S80°55'29"W	31.54'
L18	S89°14'49"E	21.97'
L19	S44°04'31"E	28.29'
L20	S00°50'47"W	19.51'
L21	S00°50'47"W	19.37'
L22	S45°55'29"W	28.28'
L23	N00°54'14"E	4.93'
L24	S45°45'11"W	21.19'
L25	N00°53'50"E	4.91'
L26	N44°14'49"W	21.23'
L27	N89°14'49"W	21.77'

CURVE TABLE

NO.	RADIUS	DELTA	LENGTH	CH. BEARING	CH. DIST.
C31	325.00'	8°29'55"	48.21'	S85°10'27"W	48.16'
C32	300.00'	10°00'00"	52.36'	S85°55'29"W	52.29'
C33	275.00'	10°00'00"	48.00'	S85°55'29"W	47.94'
C34	325.00'	9°49'42"	55.75'	S85°50'20"W	55.68'
C35	300.00'	9°49'42"	51.46'	S85°50'20"W	51.40'



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PLAT OF
MILEPOST COMMONS SUBDIVISION NO. 1

BOOK _____ OF PLATS, PAGE _____

NOTES

1. LOT 1 OF BLOCK 1, LOT 1 OF BLOCK 2, LOT 1 OF BLOCK 3, LOTS 1, 9, 16, 19, AND 25 OF BLOCK 4, LOT 1 OF BLOCK 5, LOTS 1 AND 6 OF BLOCK 6, AND LOT 12 OF BLOCK 7 ARE COMMON LOTS WHICH SHALL BE OWNED AND MAINTAINED BY THE MILESTONE RANCH SUBDIVISION HOMEOWNERS' ASSOCIATION.
2. THE PRESSURIZED IRRIGATION SYSTEM SHALL BE OWNED AND MAINTAINED BY THE MILESTONE RANCH SUBDIVISION HOMEOWNERS' ASSOCIATION. IRRIGATION WILL BE PROVIDED BY THE FARMERS UNION DITCH COMPANY. THE LOTS WITHIN THIS SUBDIVISION WILL BE OBLIGATED FOR ASSESSMENTS FROM THE FARMERS UNION DITCH COMPANY.
3. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
4. MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF STAR APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR AS SPECIFICALLY APPROVED AND/OR REQUIRED, OR AS SHOWN ON THIS PLAT.
5. LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY.
6. NO ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
7. REFERENCE IS MADE TO THE PUBLIC HEALTH LETTER ON FILE WITH THE ADA COUNTY RECORDER REGARDING ADDITIONAL RESTRICTIONS.
8. THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES, "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
9. THIS SUBDIVISION IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS, CONTAINED IN INSTRUMENT NO. 2023-070748, ORAC, AND AS MAY BE AMENDED.
10. THIS SUBDIVISION IS SUBJECT TO A LICENSE AGREEMENT WITH ADA COUNTY HIGHWAY DISTRICT RECORDED AS INSTRUMENT NO. 20_____, ORAC.

REFERENCE DOCUMENTS

SUBDIVISIONS: IRON MOUNTAIN ESTATES SUBDIVISION (BK 121 OF PLATS, PGS 19064-19069), IRON MOUNTAIN VISTA SUBDIVISION NO. 1 (BK 128 OF PLATS, PGS 20846-20850, ACR), MILESTONE RANCH SUBDIVISION NO. 4 (BK 127 OF PLATS, PGS 20586-20588, ACR), AND MILESTONE RANCH SUBDIVISION NO. 6 (BK 129 OF PLATS, PGS 20917-20920, ACR)
 SURVEYS: ROS NO. 12518
 DEEDS: 20XX-XXXXXX, ORAC
 EASEMENTS: XXX, ORAC

EASEMENT NOTES

1. LOT 1 OF BLOCK 1, LOT 1 OF BLOCK 2, LOT 1 OF BLOCK 3, LOTS 1, 9, 16, 19, AND 25 OF BLOCK 4, LOT 1 OF BLOCK 5, LOTS 1 AND 6 OF BLOCK 6, AND LOT 12 OF BLOCK 7 ARE HEREBY DESIGNATED AS BEING SUBJECT TO A BLANKET UTILITY EASEMENT OVER SAID LOTS.
2. ALL UTILITY EASEMENTS SHOWN OR DESIGNATED HEREON ARE NON-EXCLUSIVE, PERPETUAL, SHALL RUN WITH THE LAND, ARE APPURTENANT TO THE LOTS SHOWN HEREON, AND ARE HEREBY RESERVED FOR THE INSTALLATION, MAINTENANCE, OPERATION, AND USE OF PUBLIC & PRIVATE UTILITIES, PRESSURIZED IRRIGATION, SEWER SERVICE, CABLE TELEVISION/DATA; APPURTENANCES THERETO; AND LOT DRAINAGE.
3. ALL SIDEWALK EASEMENTS SHOWN OR DESIGNATED HEREON ARE NON-EXCLUSIVE, PERPETUAL, SHALL RUN WITH THE LAND, ARE APPURTENANT TO THE LOTS PLATTED HEREON, AND ARE HEREBY RESERVED FOR INGRESS, EGRESS, AND THE INSTALLATION, OPERATION, USE, AND MAINTENANCE OF SIDEWALKS AND APPURTENANCES THERETO.
4. NO UTILITY EASEMENT SHOWN OR DESIGNATED HEREON SHALL PRECLUDE THE CONSTRUCTION AND MAINTENANCE OF HARD-SURFACED DRIVEWAYS, LANDSCAPING, PARKING, SIDE AND REAR PROPERTY LINE FENCES, OR OTHER SUCH NON-PERMANENT IMPROVEMENTS.
5. ALL EASEMENTS ARE PARALLEL WITH THE LINES, AND CONCENTRIC WITH THE CURVES THAT THEY ARE DIMENSIONED FROM UNLESS OTHERWISE NOTED.
6. PORTIONS OF LOT 1 OF BLOCK 1, LOT 1 OF BLOCK 2, LOT 1 OF BLOCK 3, LOTS 1, 9, AND 19 OF BLOCK 4 ARE SERVIENT TO AND CONTAIN THE ACHD STORM WATER DRAINAGE SYSTEM. THESE LOTS ARE ENCUMBERED BY THAT CERTAIN FIRST AMENDED MASTER PERPETUAL STORM WATER DRAINAGE EASEMENT RECORDED ON NOVEMBER 10, 2015 AS INSTRUMENT NO. 2015-103256, OFFICIAL RECORDS OF ADA COUNTY, AND INCORPORATED HEREIN BY THIS REFERENCE AS IF SET FORTH IN FULL (THE "MASTER EASEMENT"). THE MASTER EASEMENT AND THE STORM WATER DRAINAGE SYSTEM ARE DEDICATED TO ACHD PURSUANT TO SECTION 40-2302 IDAHO CODE. THE MASTER EASEMENT IS FOR THE OPERATION AND MAINTENANCE OF THE STORM WATER DRAINAGE SYSTEM.
7. UNLESS OTHERWISE SHOWN OR NOTED HEREON, ALL FRONT LOT LINES HAVE A 16-FOOT WIDE PUBLIC UTILITY, DRAINAGE, AND IRRIGATION EASEMENT, ALL REAR LOT LINES HAVE A 10-FOOT WIDE PUBLIC UTILITY, DRAINAGE, AND IRRIGATION EASEMENT, AND ALL SIDE LOT LINES HAVE A 7.5-FOOT WIDE PUBLIC UTILITY, DRAINAGE, AND IRRIGATION EASEMENT.
8. SEE INSTRUMENT NO. 2024-_____, OFFICIAL RECORDS OF ADA COUNTY FOR PERMANENT ACHD SIDEWALK EASEMENTS.

SURVEYOR'S NARRATIVE

1. THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE THE LAND SHOWN HEREON IN ACCORDANCE WITH IDAHO CODE RELATING TO PLATS AND SURVEYS.
2. THE BOUNDARY LINES SHOWN HERE WERE ESTABLISHED BY HOLDING THE MONUMENTS FOUND REPRESENTING THE GOVERNMENT CORNERS ALONG ALIQUOT SECTION LINES, AND BY HOLDING THE MONUMENTS FOUND REPRESENTING THE CORNERS OF IRON MOUNTAIN ESTATES SUBDIVISION (BK 121 OF PLATS, PGS 19064-19069), IRON MOUNTAIN VISTA SUBDIVISION NO. 1 (BK 128 OF PLATS, PGS 20846-20850, ACR), MILESTONE RANCH SUBDIVISION NO. 4 (BK 127 OF PLATS, PGS 20586-20588, ACR), AND MILESTONE RANCH SUBDIVISION NO. 6 (BK 129 OF PLATS, PGS 20917-20920, ACR).



[Signature]
11/22/2024



J-U-B ENGINEERS, INC.
 2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5752
 p 208 376 7330 w www.jub.com SHEET 6 OF 8

PLAT OF
MILEPOST COMMONS SUBDIVISION NO. 1

BOOK _____ OF PLATS, PAGE _____

CERTIFICATE OF OWNERS

KNOW ALL MEN BY THESE PRESENTS: THAT TOLL WEST INC. DOES HEREBY CERTIFY THAT IT IS THE OWNER OF THAT REAL PROPERTY TO BE KNOWN AS MILEPOST COMMONS SUBDIVISION NO. 1, AND THAT IT INTENDS TO INCLUDE SAID REAL PROPERTY, AS DESCRIBED BELOW, IN THIS PLAT:

A TRACT OF LAND SITUATE IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, COUNTY OF ADA, STATE OF IDAHO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER-WEST SIXTEENTH CORNER OF SAID SECTION 4;

THENCE FROM SAID POINT OF COMMENCEMENT, SOUTH 89°15'10" EAST, COINCIDENT WITH THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 4, A DISTANCE OF 1,312.63 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 4, SAID CORNER ALSO BEING THE POINT OF BEGINNING OF THIS DESCRIPTION;

THENCE FROM SAID POINT OF BEGINNING, REVERSING COURSE, THE FOLLOWING TWO (2) CONSECUTIVE COURSES AND DISTANCES:

1. NORTH 89°15'10" WEST, COINCIDENT WITH THE NORTHERLY LINE OF THE PLAT OF IRON MOUNTAIN VISTA SUBDIVISION, RECORDED IN BOOK 128 OF PLATS, AT PAGES 20846 THROUGH 20850, ADA COUNTY RECORDS, A DISTANCE OF 656.31 FEET TO A 5/8-INCH REBAR MARKING THE NORTHWESTERLY CORNER OF SAID PLAT, AND
2. CONTINUING NORTH 89°15'10" WEST, COINCIDENT WITH THE NORTHERLY LINE OF THE PLAT OF IRON MOUNTAIN ESTATES SUBDIVISION, RECORDED IN BOOK 121 OF PLATS, AT PAGES 19064 THROUGH 19069, ADA COUNTY RECORDS, A DISTANCE OF 219.37 FEET;

THENCE LEAVING SAID NORTHERLY LINE, NORTH 00°45'11" EAST, A DISTANCE OF 79.92 FEET TO A POINT ON THE SOUTHERLY LINE OF THE TRACT OF LAND DESCRIBED IN THE QUITCLAIM DEED RECORDED AS INSTRUMENT NO. 2020-121455, OFFICIAL RECORDS OF ADA COUNTY, HEREINAFTER REFERRED TO AS THE "WEST ADA SCHOOL DISTRICT TRACT"; THENCE COINCIDENT WITH THE RESPECTIVE SOUTHERLY AND EASTERLY LINES OF SAID WEST ADA SCHOOL DISTRICT TRACT, THE FOLLOWING TWO (2) CONSECUTIVE COURSES AND DISTANCES:

1. SOUTH 89°14'49" EAST, A DISTANCE OF 427.92 FEET, AND
2. NORTH 00°39'14" EAST, A DISTANCE OF 550.00 FEET TO A 5/8-INCH REBAR MARKING AN ANGLE POINT IN SAID EASTERLY LINE;

THENCE LEAVING SAID EASTERLY LINE, THE FOLLOWING TEN (10) CONSECUTIVE COURSES AND DISTANCES:

1. CONTINUING NORTH 00°39'14" EAST, A DISTANCE OF 58.86 FEET,
2. NORTH 03°00'12" WEST, A DISTANCE OF 26.10 FEET,
3. NORTH 30°03'36" WEST, A DISTANCE OF 36.59 FEET,
4. NORTH 40°41'27" EAST, A DISTANCE OF 169.73 FEET,
5. NORTH 68°51'52" EAST, A DISTANCE OF 85.35 FEET,
6. NORTH 00°48'31" EAST, A DISTANCE OF 140.14 FEET,
7. SOUTH 89°06'47" EAST, A DISTANCE OF 97.54 FEET,
8. NORTH 00°39'14" EAST, A DISTANCE OF 112.03 FEET,
9. NORTH 59°52'40" EAST, A DISTANCE OF 53.15 FEET, AND
10. NORTH 47°29'37" EAST, A DISTANCE OF 191.27 FEET TO A POINT ON THE WESTERLY LINE OF THE PLAT OF MILESTONE RANCH SUBDIVISION NO. 6, RECORDED IN BOOK 129 OF PLATS, AT PAGES 20917 THROUGH 20920, ADA COUNTY RECORDS;

THENCE SOUTH 00°48'31" WEST, COINCIDENT WITH SAID WESTERLY LINE, A DISTANCE OF 694.44 FEET TO THE SOUTHWESTERLY CORNER OF SAID PLAT; THENCE CONTINUING SOUTH 00°48'31" WEST, COINCIDENT WITH THE WESTERLY LINE OF THE PLAT OF MILESTONE RANCH SUBDIVISION NO. 4, RECORDED IN BOOK 127 OF PLATS, AT PAGES 20586 THROUGH 20588, ADA COUNTY RECORDS, A DISTANCE OF 623.97 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 11.65 ACRES OF LAND, MORE OR LESS.

END OF DESCRIPTION.

**CERTIFICATE OF OWNERS
(CONTINUED)**

THE PUBLIC STREETS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE PUBLIC. THE EASEMENTS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC, HOWEVER THE RIGHT TO USE SAID EASEMENTS IS HEREBY RESERVED FOR THE USES SPECIFICALLY DEPICTED ON THE PLAT, AND FOR ANY OTHER PURPOSES DESIGNATED HEREON, AND NO PERMANENT STRUCTURES, OTHER THAN FOR SUCH USES AND PURPOSES, ARE TO BE ERRECTED WITHIN THE LINES OF SAID EASEMENTS. ALL OF THE LOTS WITHIN THIS SUBDIVISION ARE ELIGIBLE TO RECEIVE WATER AND SEWER SERVICE FROM THE STAR SEWER AND WATER DISTRICT, AND THE STAR SEWER AND WATER DISTRICT HAS AGREED IN WRITING TO SERVE ALL LOTS WITHIN THE SUBDIVISION. IRRIGATION WATER HAS BEEN PROVIDED BY THE FARMERS UNION DITCH COMPANY IN COMPLIANCE WITH IDAHO CODE 31-3805(1)(B). LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS, AND WILL BE OBLIGATED FOR ASSESSMENTS FROM THE FARMERS UNION DITCH COMPANY.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND:

TOLL WEST INC.

BY: _____
RYAN HAMMONS, DIVISION PRESIDENT

ACKNOWLEDGMENT

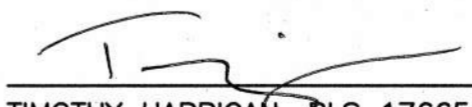
STATE OF _____ }
COUNTY OF _____ } ss.

ON THIS _____ DAY OF _____, IN THE YEAR 20____, BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE OF _____, PERSONALLY APPEARED RYAN HAMMONS, KNOWN OR IDENTIFIED TO ME TO BE THE DIVISION PRESIDENT OF TOLL WEST INC., THAT EXECUTED THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT TOLL WEST INC. EXECUTED THE SAME.

NOTARY PUBLIC FOR _____
MY COMMISSION NO. _____
MY COMMISSION EXPIRES _____

CERTIFICATE OF SURVEYOR

I, TIMOTHY HARRIGAN, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF IDAHO, AND THAT THIS PLAT OF MILEPOST COMMONS SUBDIVISION NO. 1 IS TRUE AND CORRECT AS DESCRIBED IN THE CERTIFICATE OF OWNERS AND AS SHOWN HEREON, AND WAS SURVEYED IN ACCORDANCE WITH IDAHO CODE RELATING TO PLATS AND SURVEYS.


TIMOTHY HARRIGAN, PLS 17665 11/22/2024 DATE



J-U-B ENGINEERS, INC.
2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5752
p 208 376 7330 w www.jub.com SHEET 7 OF 8

PLAT OF
MILEPOST COMMONS SUBDIVISION NO. 1

BOOK _____ OF PLATS, PAGE _____

APPROVAL OF CENTRAL DISTRICT HEALTH

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE-IMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

CENTRAL DISTRICT HEALTH DATE

APPROVAL OF ADA COUNTY HIGHWAY DISTRICT

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE _____ DAY OF _____, 20____.

COMMISSION PRESIDENT
ADA COUNTY HIGHWAY DISTRICT

APPROVAL OF CITY ENGINEER

I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, ON THIS DAY

_____, HEREBY APPROVE THIS PLAT.

CITY ENGINEER

APPROVAL OF CITY COUNCIL

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED THIS _____ DAY OF _____, _____, BY THE CITY OF STAR, IDAHO.

CITY CLERK

CERTIFICATE OF COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR IN AND FOR ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND FIND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

ADA COUNTY SURVEYOR DATE

CERTIFICATE OF COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER REQUIREMENTS OF IDAHO CODE 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS PROPOSED SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATE IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

ADA COUNTY TREASURER DATE

COUNTY RECORDER'S CERTIFICATE

STATE OF IDAHO }
COUNTY OF ADA } SS. INSTRUMENT NO. _____

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED AT THE REQUEST OF JUB ENGINEERS, INC.

AT _____ MINUTES PAST _____ O'CLOCK _____ M.,

THIS _____ DAY OF _____, _____, IN MY OFFICE, AND WAS RECORDED IN

BOOK _____ OF PLATS AT PAGES _____ THROUGH _____.

FEE: _____

DEPUTY

EX-OFFICIO RECORDER



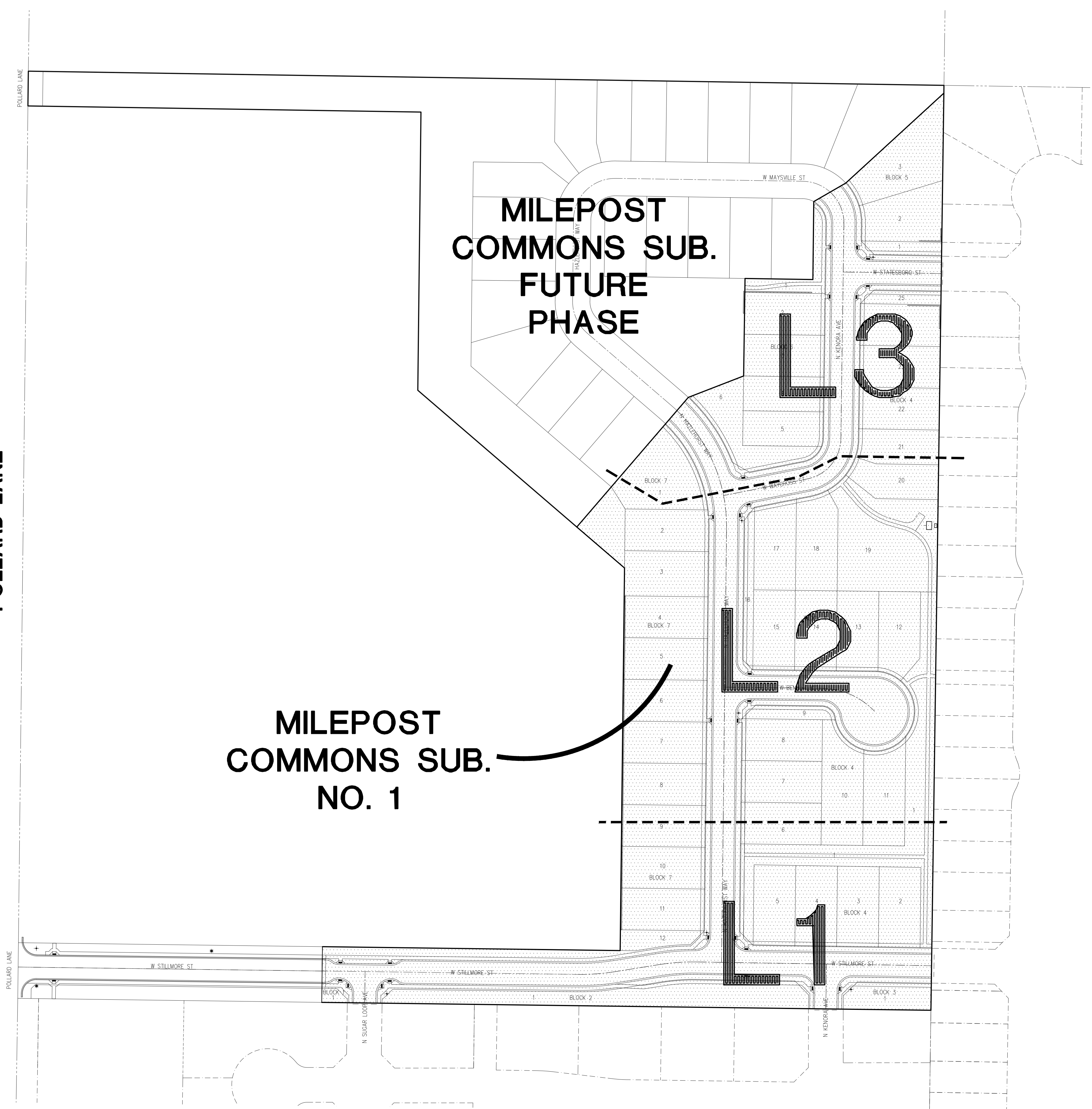
J-U-B ENGINEERS, INC.

2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5752
p 208 376 7330 w www.jub.com

POLLARD LANE

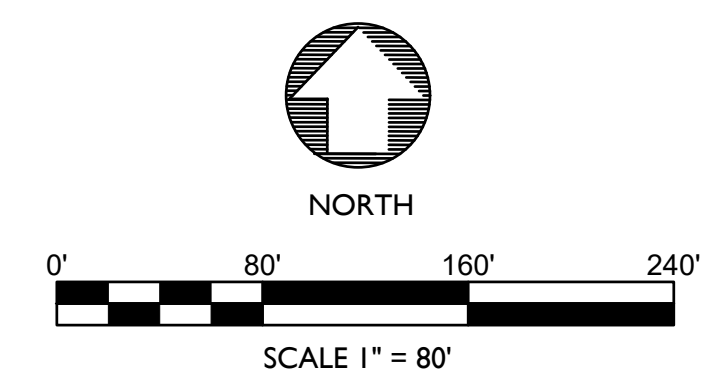
MILEPOST COMMONS SUB. NO. 1

MILEPOST COMMONS SUB. FUTURE PHASE



NOTES

1. REFER TO INDIVIDUAL SHEET L1 - L3 FOR COMPLETE LANDSCAPE PLANTING PLANS.
2. REFER TO SHT L4 FOR PLANT SCHEDULE, LANDSCAPE NOTES, AND DETAILS.
3. REFER TO SHT L5 FOR LANDSCAPE SPECIFICATION AND IRRIGATION PERFORMANCE SPECIFICATION.



Issue Description	Date
ISSUE	11-21-24



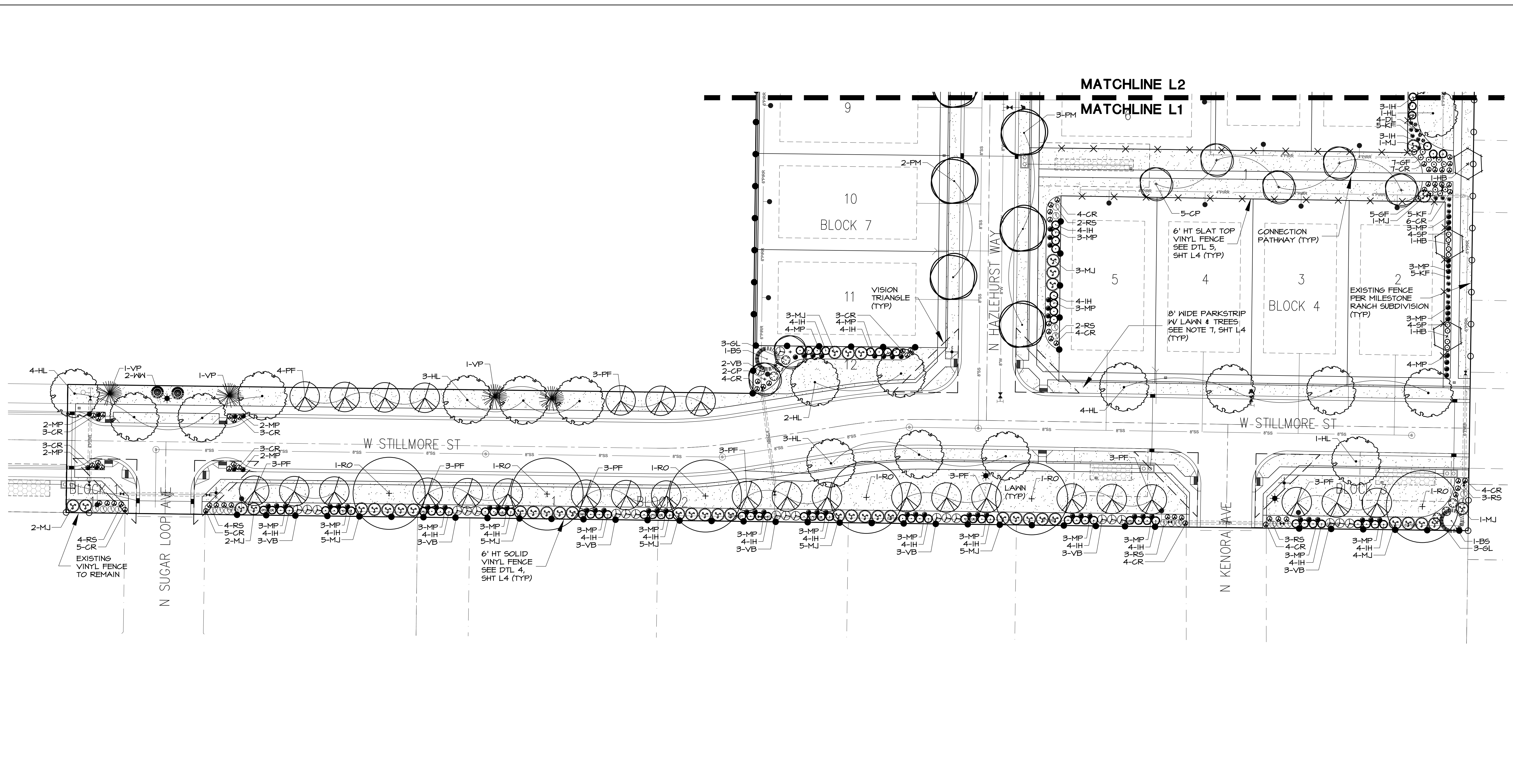
Site Planning
Landscape Architecture
1509 Tyrell Lane, Ste 130
Boise, Idaho 83706
Ph. (208) 343-7175
www.jensenbelts.com

MILEPOST COMMONS No.1
STAR, IDAHO
FINAL PLAT LANDSCAPE PLAN

Job Number 2210

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Scale AS SHOWN
Sheet Title
OVERALL LANDSCAPE PLAN

Sheet Number
LO
1 of 6 Sheets



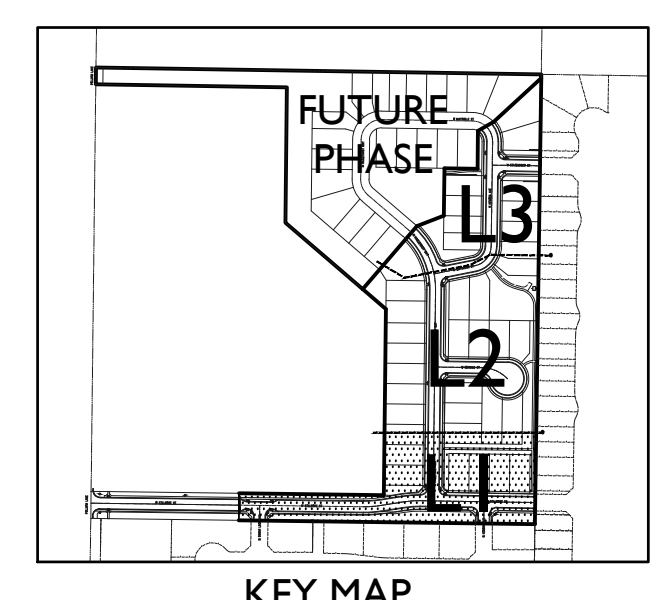
PLANT SCHEDULE

(REFERENCE SHT L4)

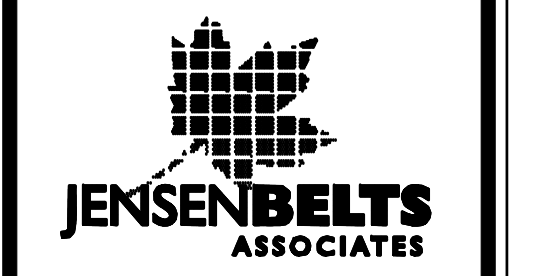
SYM	COMMON NAME	SYM	COMMON NAME	SYM	DESCRIPTION
EVERGREEN TREES			ORNAMENTAL TREES (CLASS I)		
BS	HOOPS BLUE SPRUCE	CP	CHANTICLEER PEAR	[Symbol]	SOD LAWN
MJ	MOONSLON JUNIPER	PF	PRAIRIFIRE CRABAPPLE	[Symbol]	6' SOLID VINYL FENCE ALONG PERIMETER PROPERTY LINES, AND END LOTS (TYP) SEE DTL 4, SHT L4.
VP	VANDERWOLFS PINE			[Symbol]	6' OPEN VISION VINYL SLAT TOP FENCE ALONG CONNECTION PATHWAYS (TYP) SEE DTL 5, SHT L4.
WN	WEEPING WHITE SPRUCE			[Symbol]	5' IRON FENCE ALONG WEST SLOPE (TYP) SEE DTL 6, SHT L4.
SHADE TREES (CLASS III)			SHRUBS/ORNAMENTAL GRASSES/PERENNIALS		
RO	NORTHERN RED OAK	CR	RED FLOWER CARPET ROSE		
SHADE/STREET TREES (CLASS II)			DL	ENDLESSLY ORANGE DAYLILY	
HB	PYRAMIDAL EUROPEAN HORNBEAM	GF	GOLDFLAME SPIREA		
HL	SKYLINE HONEYLOCUST	GL	GRO-LOW SUMAC		
GV	GREEN VASE ZELKOVA	IH	IVORY HALO DOGWOOD		
NH	NEW HORIZON ELM	KF	KARL FOERSTER REED GRASS		
PM	PACIFIC SUNSET MAPLE	MP	SLOWMOUND MUGO PINE		
TT	TULIP TREE	RS	RUSSIAN SAGE		
		SP	SPILLED WINE WEIGELA		
		VB	BLUE MUFFIN VIBURNUM		

NOTES

- REFER TO SHT L4 FOR PLANT SCHEDULE, LANDSCAPE NOTES, AND DETAILS.
- REFER TO SHT L5 FOR LANDSCAPE SPECIFICATION AND IRRIGATION PERFORMANCE SPECIFICATION.



Issue	Description	Date
ISSUE		11-21-24



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Boise, Idaho 83706
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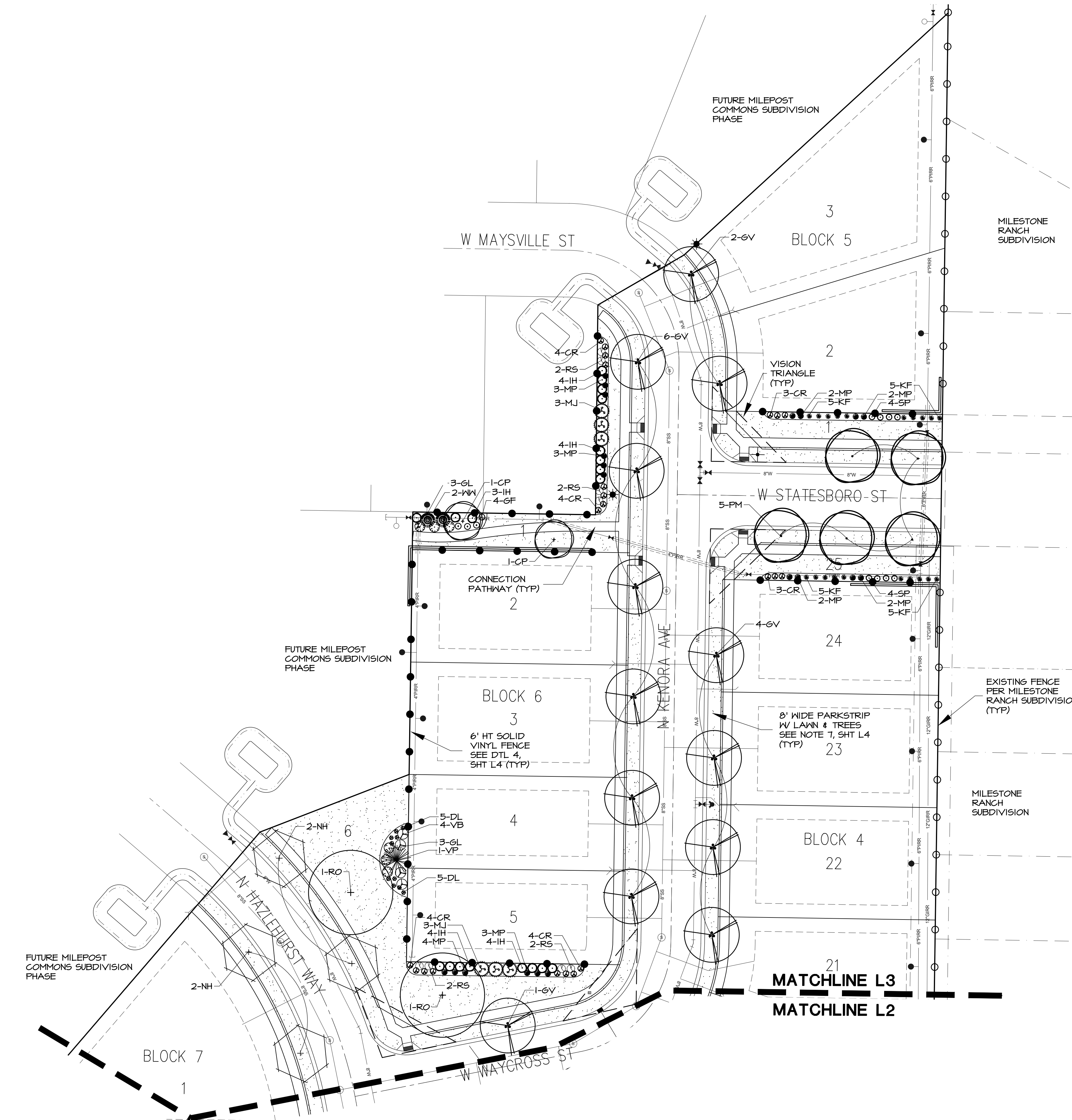
MILEPOST COMMONS No.1
STAR, IDAHO
FINAL PLAT LANDSCAPE PLAN

Job Number 2210

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Scale AS SHOWN

Sheet Title
LANDSCAPE PLAN

Sheet Number
L1
2 of 6 Sheets



PLANT SCHEDULE

(REFERENCE SHT L4)
SYM COMMON NAME

- EVERGREEN TREES**
- BS HOOPS BLUE SPRUCE
 - MJ MOONGLOW JUNIPER
 - VP VANDERWOLFS PINE
 - WW WEEPING WHITE SPRUCE

- SHADE TREES (CLASS III)**
- RO NORTHERN RED OAK

- SHADE/STREET TREES (CLASS II)**
- HB PYRAMIDAL EUROPEAN HORNBEAM
 - HL SKYLINE HONEYLOCUST
 - GV GREEN VASE ZELKOVA
 - NH NEW HORIZON ELM
 - PM PACIFIC SUNSET MAPLE
 - TT TULIP TREE

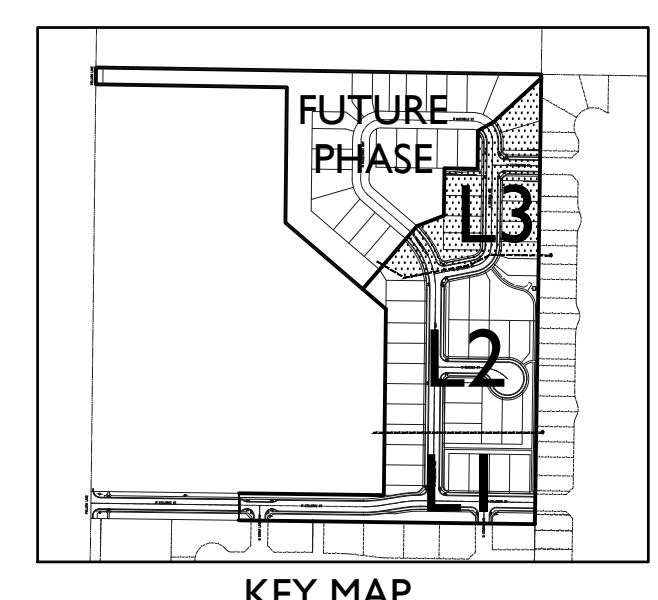
- ORNAMENTAL TREES (CLASS I)**
- CP CHANTICLEER PEAR
 - PF PRAIRIFIRE CRABAPPLE

- SHRUBS/ORNAMENTAL GRASSES/PERENNIALS**
- CR RED FLOWER CARPET ROSE
 - DL ENDLESSLY ORANGE DAYLILY
 - GF GOLDFLAME SPIREA
 - GL GRO-LOW SUMAC
 - IH IVORY HALO DOGWOOD
 - KF KARL FOERSTER REED GRASS
 - MP SLOWMOUND MUGO PINE
 - RS RUSSIAN SAGE
 - SP SPILLED WINE WEIGELA
 - VB BLUE MUFFIN VIBURNUM

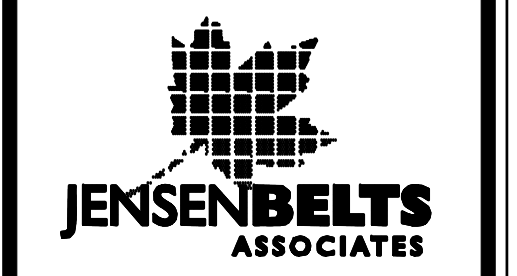
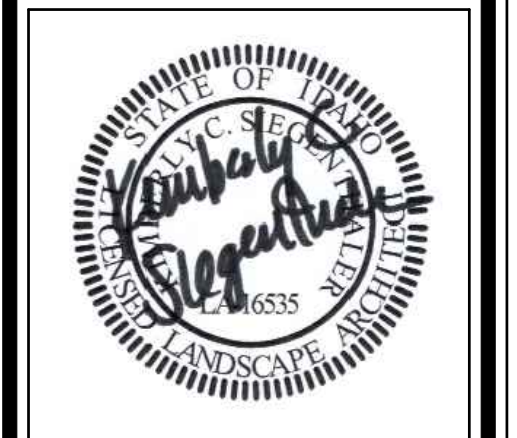
- SOD LAWN
- 6' SOLID VINYL FENCE ALONG PERIMETER PROPERTY LINES, AND END LOTS (TYP) SEE DTL 4, SHT L4.
- 6' OPEN VISION VINYL SLAT TOP FENCE ALONG CONNECTION PATHWAYS (TYP) SEE DTL 5, SHT L4.
- 5' IRON FENCE ALONG WEST SLOPE (TYP) SEE DTL 6, SHT L4.

NOTES

1. REFER TO SHT L4 FOR PLANT SCHEDULE, LANDSCAPE NOTES, AND DETAILS.
2. REFER TO SHT L5 FOR LANDSCAPE SPECIFICATION AND IRRIGATION PERFORMANCE SPECIFICATION.



Issue Description	Date
ISSUE	11-21-24



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MILEPOST COMMONS No.1 STAR, IDAHO FINAL PLAT LANDSCAPE PLAN

Job Number 2210

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Sheet Title

LANDSCAPE PLAN

Sheet Number
L3
4 of 6 Sheets

Issue Description	Date
ISSUE	11-21-24



Site Planning
Landscape Architecture
1509 Tyrell Lane, Ste 130
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MILEPOST COMMONS No.1
STAR, IDAHO
FINAL PLAT LANDSCAPE PLAN

Job Number 2210

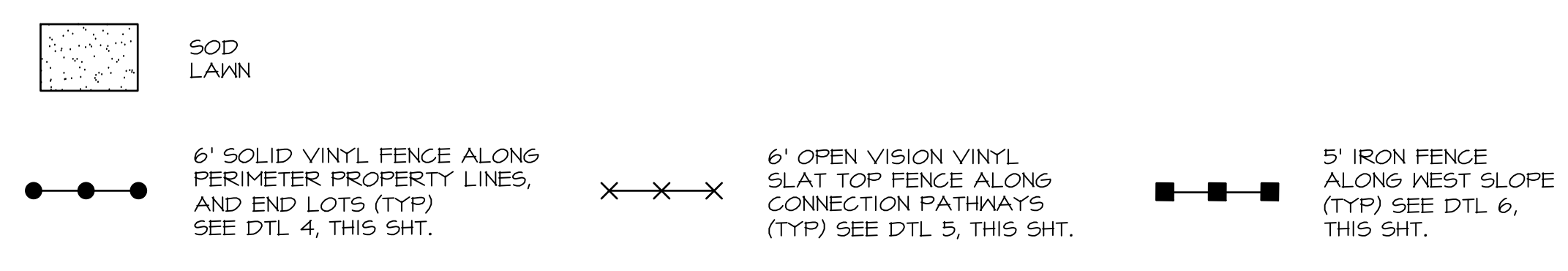
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LANDSCAPE DETAILS

Sheet Number
L4
5 of 6 Sheets

PLANT SCHEDULE

SYM	COMMON NAME	BOTANICAL NAME	SIZE
EVERGREEN TREES			
BS	HOOPS BLUE SPRUCE	PICEA PUNGENS 'HOOPSII'	6-8' HT B4B
MJ	MOONGLOW JUNIPER	JUNIPERUS SCOPLULORUM 'MOONGLOW'	6-8' HT B4B
VP	VANDERWOLFS PINE	PINUS FLEXILIS 'VANDERWOLFS'	6-8' HT B4B
WN	WEeping WHITE SPRUCE	PICEA GLAUGA 'PENDULA'	6-8' HT B4B
SHADE TREES (CLASS III)			
RO	NORTHERN RED OAK	QUERCUS RUBRA	2" CAL B4B
SHADE/STREET TREES (CLASS II)			
HB	PYRAMIDAL EUROPEAN HORNBEAM	CARPINUS BETULUS 'FASTIGIATA'	2" CAL B4B
HL	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS F. INERMIS 'SKYCOLE'	2" CAL B4B
GV	GREEN VASE ZELKOVA	ZELKOVA SERRATA 'GREEN VASE'	2" CAL B4B
NH	NEW HORIZON ELM	ULMUS JAPONICA x PUMILA 'NEW HORIZON'	2" CAL B4B
PM	PACIFIC SUNSET MAPLE	ACER TRUNCATUM x A. PLATANOIDES 'WARRENRED'	2" CAL B4B
TT	TULIP TREE	LIRIODENDRON TULIPIFERA	2" CAL B4B
ORNAMENTAL TREES (CLASS I)			
GP	GHANTICLEER PEAR	PYRUS CALLERYANA 'GLENS FORM'	2" CAL B4B
PF	PRAIRIFIRE CRABAPPLE	MALUS x 'PRAIRIFIRE'	2" CAL B4B
SHRUBS/ORNAMENTAL GRASSES/PERENNIALS			
CR	RED FLOWER CARPET ROSE	ROSA 'FLOWER CARPET- NOARE'	3 GAL
DL	ENDLESSLY ORANGE DAYLILY	HEMEROCALLIS FULVA 'DHEMORANGE'	1 GAL
GF	GOLDFLAME SPIREA	SPIRAEA x 'BUMALDA 'GOLDFLAME'	5 GAL
GL	GRO-LOW SUMAC	RHUS AROMATICA 'GRO-LOW'	5 GAL
IH	IVORY HALO DOGWOOD	CORNUS ALBA 'BAILHALO'	5 GAL
KF	KARL FOERSTER REED GRASS	CALAMAGROSTIS ARUNDINACEA 'K.F.'	1 GAL
MP	SLOWMOUND MUGO PINE	PINUS MUGO 'SLOWMOUND'	3 GAL
RS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	2 GAL
SP	SPILLED WINE WEIGELA	WEIGELA FLORIDA 'BOKRASPIINI'	3 GAL
VB	BLUE MUFFIN VIBURNUM	VIBURNUM DENTATUM 'CHRISTOM'	5 GAL

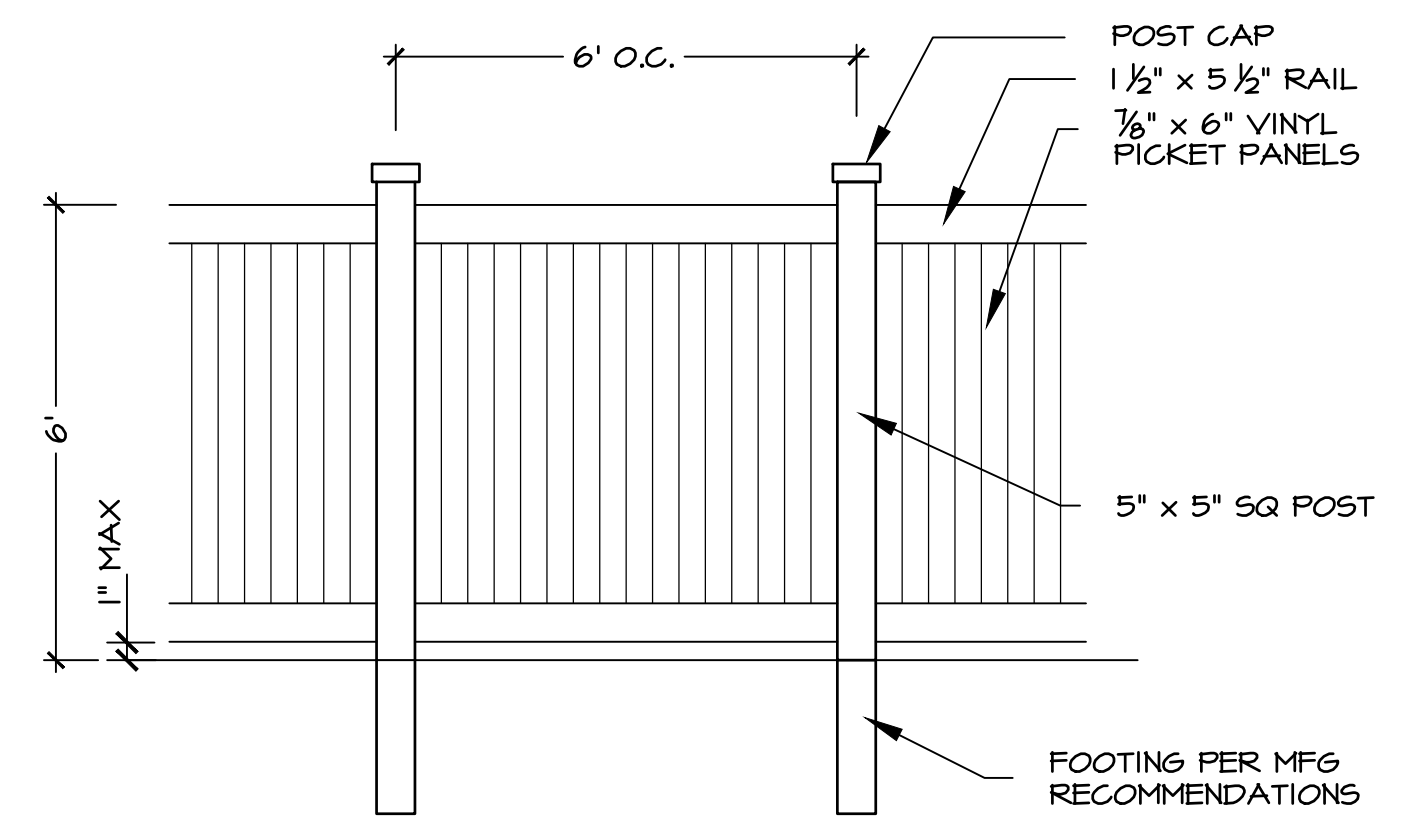


NOTES

- ALL PLANTING AREAS SHALL BE INSTALLED BE IN ACCORDANCE WITH CITY OF STAR CODE. REFER TO SHEET L5 - SPEC SECTION 32 90 00 - LANDSCAPE SPECIFICATIONS.
- ALL PLANTING AREAS TO BE WATERED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. REFER TO SHEET L5 - SPEC SECTION 32 84 00 - IRRIGATION PERFORMANCE SPECIFICATIONS.
- LOCATE AND PROTECT ALL UTILITIES DURING CONSTRUCTION.
- TREES SHALL NOT BE PLANTED WITHIN THE 10-FOOT CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES IN PARKSTRIPS. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM. ALL SHRUBS PLANTED OVER OR ADJACENT TO SEEPAGE BEDS TO HAVE A ROOT BALL THAT DOES NOT EXCEED 18" IN DIAMETER. NO LAWN SOD TO BE PLACED OVER DRAINAGE SNALE SAND WINDOWS, ACHD STORMWATER BASINS AND SNALES SHALL BE LANDSCAPED ACCORDING TO THE 'ADA COUNTY HIGHWAY DISTRICT STORMWATER MANAGEMENT BASIN REVEGETATION GUIDANCE MANUAL' (OCTOBER 2017) IN APPENDIX D.
- NO TREES SHALL IMPEDE THE 40' VISION TRIANGLE AT ALL INTERSECTIONS. NO CONIFEROUS TREES OR SHRUBS OVER 3' HIGH AT MATURITY WILL BE LOCATED WITHIN SIGHT TRIANGLE OR ACHD ROW. AS TREES MATURE, THE OWNER SHALL BE RESPONSIBLE FOR PRUNING TREE CANOPIES TO MEET ACHD REQUIREMENTS FOR MAINTAINING CLEAR VISIBILITY WITHIN 40' STREET VISION TRIANGLE.
- TREES SHALL BE PLANTED NO CLOSER THAN 50' FROM INTERSECTION STOP SIGNS.
- CLASS II TREES AND LANDSCAPE IN FRONT OF BUILDING LOTS ON INTERIOR STREETS TO BE COMPLETED DURING CONSTRUCTION ON THESE LOTS. TREE LOCATIONS MAY BE ALTERED TO ACCOMMODATE DRIVEWAYS AND UTILITIES. TREES MUST BE CLASS II AND SHALL NOT BE PLANTED WITHIN 5' OF WATER METERS OR UNDERGROUND UTILITY LINES. **BUILDER SHALL BE REQUIRED TO INSTALL STREET TREES 5' FROM BACK OF SIDEWALKS EVERY 35' ADJACENT TO ALL BUILDABLE HOME LOTS PRIOR TO OCCUPANCY. FLEXIBILITY IN TREE PLACEMENT AND QUANTITIES TO BE GIVEN FOR DRIVEWAY AND UTILITY CONFLICTS.**
- PLANT LIST IS SUBJECT TO SUBSTITUTIONS OF SIMILAR SPECIES DUE TO PLANT MATERIAL AVAILABILITY. BURLAP AND WIRE BASKETS TO BE REMOVED FROM ROOT BALL AS MUCH AS POSSIBLE, AT LEAST HALFWAY DOWN THE BALL OF THE TREE. ALL NYLON ROPES TO BE COMPLETELY REMOVED FROM TREES.
- ALL EXISTING TREES ON SITE TO BE REMOVED.

LANDSCAPE CALCULATIONS

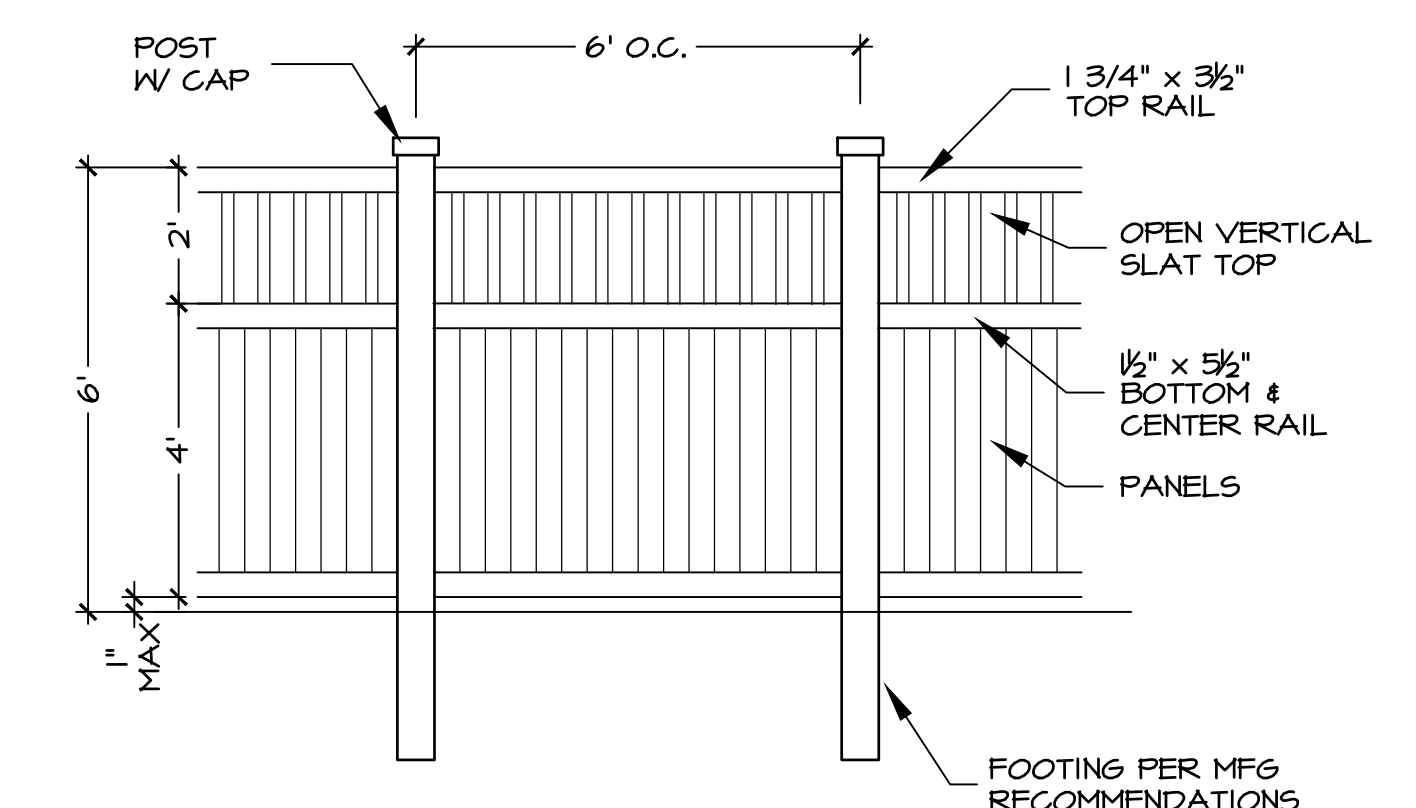
NUMBER OF TREES PROVIDED ON RESIDENTIAL PARKSTRIPS:	38
NUMBER OF TREES PROVIDED ON COMMON LOTS:	173
TOTAL NUMBER OF TREES:	211



- NOTES:**
1. FENCE TO STEP DOWN TO 3' HEIGHT 20' FROM ROW.
2. VINYL FENCE STYLE MAY VARY SLIGHTLY.

4 VINYL PRIVACY FENCE

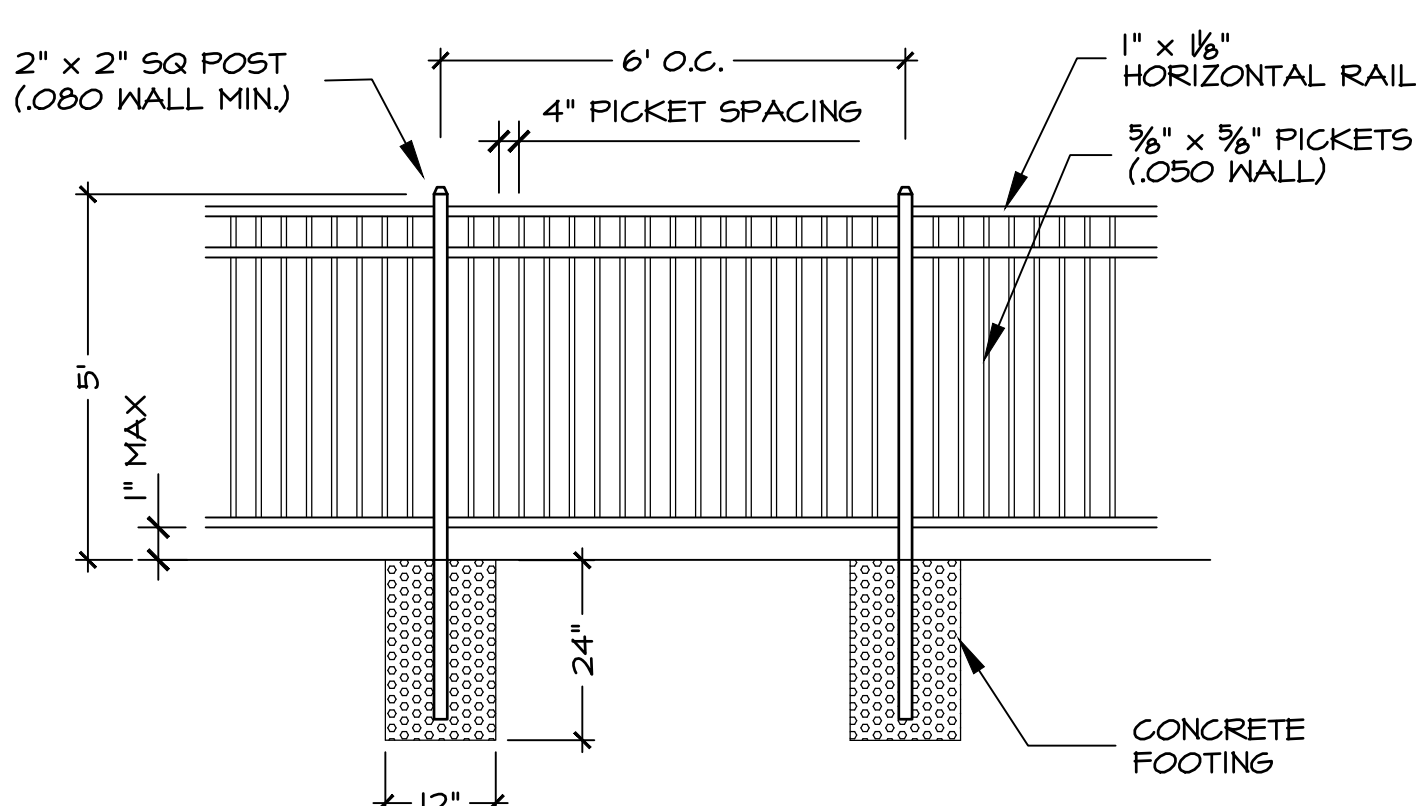
NOT TO SCALE



- NOTES:**
1. VINYL FENCE STYLE MAY VARY SLIGHTLY.
2. FENCE TO STEP DOWN TO 3' HEIGHT 20' FROM ROW.
3. 6" WIDE ROCK MULCH MON STRIP TO BE INSTALL AT BASE OF FENCE ON COMMON LOT/LANDSCAPE BUFFER SIDE.

5 OPEN VISION VINYL SLAT TOP FENCE

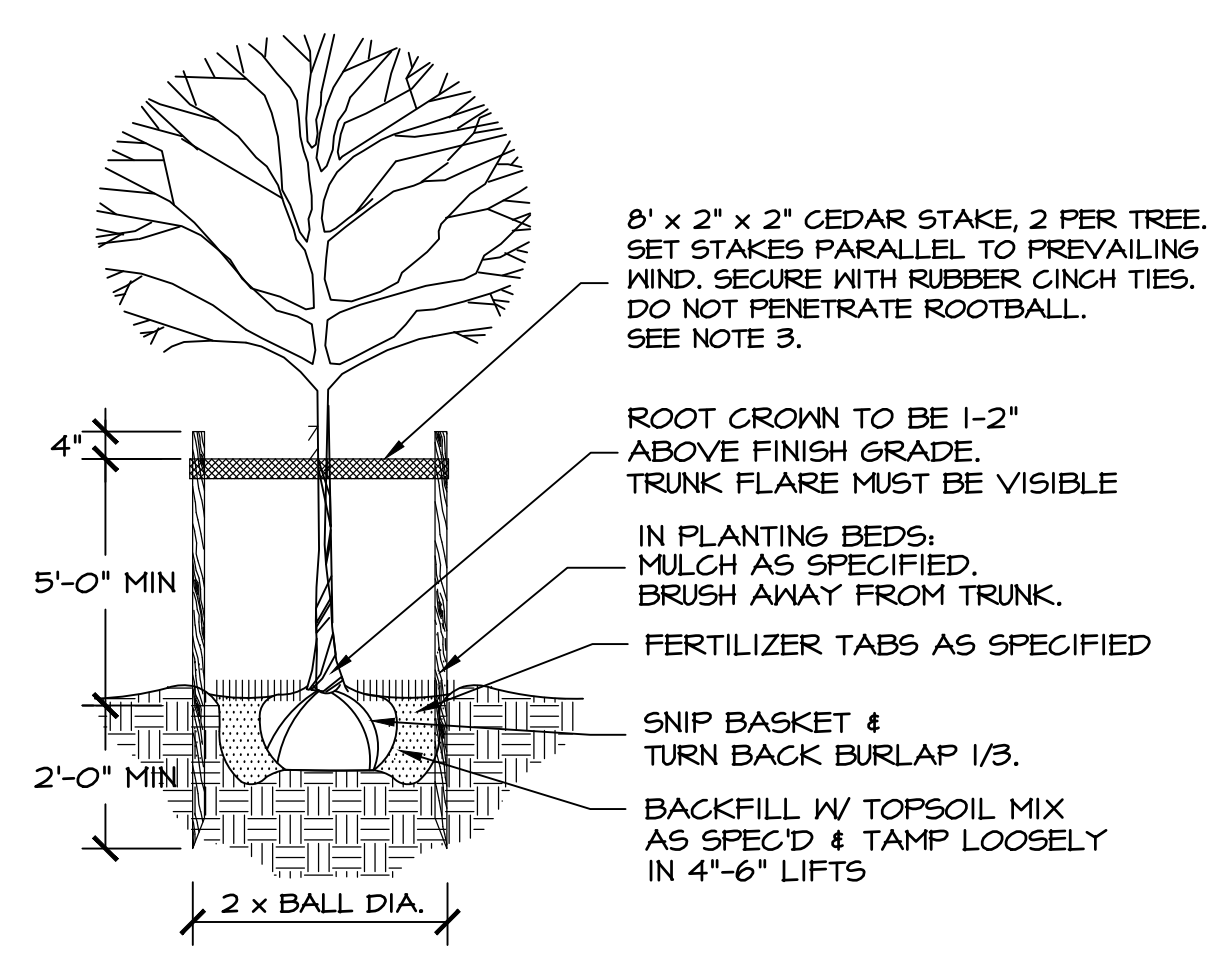
NOT TO SCALE



- NOTES:**
1. IRON FENCE STYLE MAY VARY SLIGHTLY. ALL GALVANIZED & POWDERCOATED BLACK.

6 IRON FENCE

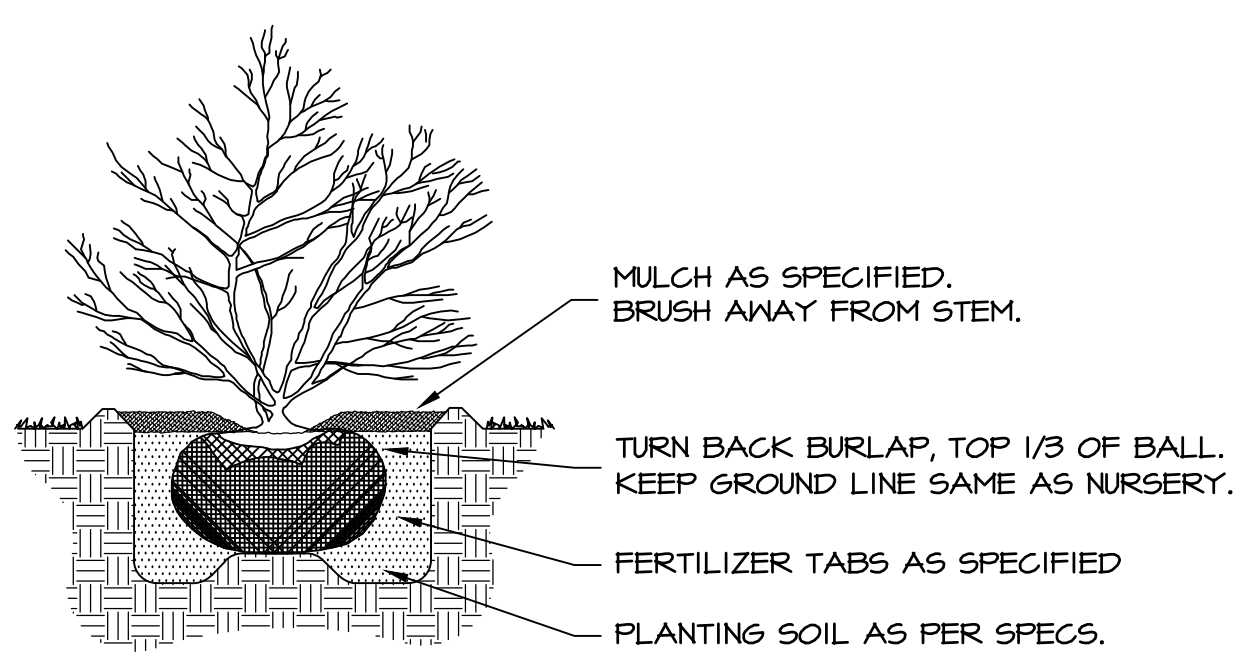
NOT TO SCALE



- NOTES:**
1. REMOVE ALL TWINE, ROPE, OR BINDINGS FROM ALL TRUNKS.
2. REMOVE BURLAP AND WIRE BASKETS FROM THE TOP 1/3 OF ALL ROOT BALLS AFTER PLANTING. IF SYNTHETIC WRAP/BURLAP IS USED, IT MUST BE COMPLETELY REMOVED.
3. STAKING OF TREES TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND REMAIN STRAIGHT FOR A MIN OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE 1 YEAR WARRANTY PERIOD.
4. TREES PLANTED IN TURF AREAS: REMOVE TURF 3' DIA. FROM TREE TRUNK.

1 TREE PLANTING/STAKING

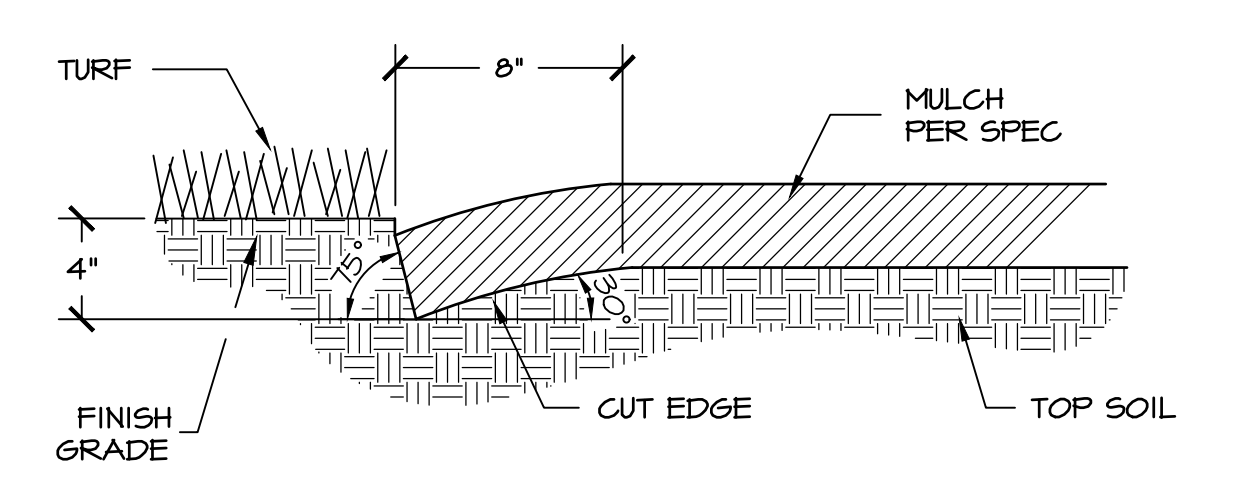
NOT TO SCALE



NOTE: DIG HOLE TWICE THE SIZE OF ROOTBALL.

2 SHRUB PLANTING

NOT TO SCALE



3 PLANTER CUT BED EDGE

NOT TO SCALE



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star – Planning & Zoning Department *Shawn J. Muth*

MEETING DATE: February 4, 2025

FILE(S): FP-24-16, Final Plat, Addington Subdivision

REQUEST

Applicant is seeking approval of a Final Plat for Addington Subdivision, Phase 1, consisting of 15 residential lots and 1 common lot on 2.93 acres. The subject property is located north of State Street on the east side of N. Highbrook Way in Star, Idaho. Ada County Parcel Number R8108003014.

APPLICANT/REPRESENTATIVE:

Tamara Thompson
The Land Group, Inc.
462 E. Shore Drive
Eagle, Idaho 83616

OWNER:

P. Eric Davis
STC Development LLC.
199 N. Capital Blvd., Ste. 300
Boise, Idaho 83702

PROPERTY INFORMATION

Land Use Designation - Residential R-7-DA

Acres - **2.93** acres

Residential Lots - **15**

Common Lots - 1

Light Office Lots - 0

Commercial Lots - 0

HISTORY

- September 19, 2017 Council approved annexation and zoning (R-7) as part of the Sample Property Annexation, Ordinance 264.
- April 19, 2022 Council approved the applications for preliminary plat (PP-22-02) and Private Road (PR-22-01) for Addington Subdivision.
- April 19, 2022 Staff received a request for reconsideration from the applicant stating that certain items were not considered during the public hearing.
- July 19, 2022 Council granted the request for reconsideration with specific allowances on what conditions of approval would be considered. A hearing date of September 6, 2022, was scheduled.
- September 6, 2022 Council voted 4-0 to approve the Preliminary Plat with modified conditions of approval, through reconsideration.

GENERAL DISCUSSION

The applicant is requesting approval of the Final Plat for Addington Subdivision consisting of 15 residential lots and 1 common lots on 2.93 acres.

The Final Plat layout generally complies with the approved Preliminary Plat.

Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:

PRELIMINARY PLAT & PRIVATE STREET:

The Preliminary Plat submitted contains 34 single family residential lots and 1 common area lots on 5.58 acres with a proposed density of 6.09 dwelling units per acre. The lots will have access and frontage from a proposed private street. Lots will range in size from 2,716 square feet to 5,408 square feet with the average buildable lot being 3,603 square feet. Lots will include zero-lot-lines to accommodate the proposed attached dwelling units. **The submitted preliminary plat is showing a private road with four different width dimensions. None of these widths currently meet the City of Star requirement of 36 feet from back of curb to back of curb of travel lane.** The applicant is requesting a waiver of these standards. Primary access for the development will be on Addington Lane from N. Highbrook Way. Applicant is providing an emergency access in approximately the middle of the development to the south connecting to the entrance street to Albertsons. Applicant is also proposing an emergency access at Center Street with bollards to prevent direct access. The preliminary plat indicates a small, T-type turn-

around at the end of street. **Staff and the Star Fire District are concerned with the functionality of this proposed “turn-around” and recommends a revision to the preliminary plat to accommodate residents, delivery drivers, trash collection and emergency services. This can be accomplished with either an approved cul-de-sac turn around, or direct connection to Center Street. This connection would require a revision to the plat to include a public street rather than the proposed private street. Staff will require one of these options as a condition of approval.** Sidewalks are proposed to be attached with a 5-foot, concrete sidewalk. Street names must be obtained by the Ada County Street Naming Committee prior to signature of the final plat. The applicant is proposing 1.18 acres (21.15%) of common open space which satisfies the Unified Development Code requirement of 15 percent. **It appears that the applicant is only proposing 12,095 square feet of usable open space which is less than 24,306 square feet (10%) required by the Unified Development Code. The applicant shall demonstrate that the required open space is provided within the development.**

The Unified Development Code, Section 8-4E-2, requires a development of this size to have a minimum of 1 site amenity. The applicant is proposing a shade structure in a pocket park with a walking path.

ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks
Internal sidewalks are proposed at five-foot (5') widths and will be both attached and detached throughout the development.
- Lighting
Streetlights shall reflect the “Dark Sky” criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a proposed streetlight plan. All proposed lighting locations satisfy City code.
Applicant has provided a streetlight plan. The applicant will need to provide a design/cut sheet for City approval. Applicant will be required to work with Staff and submit an updated cut sheet and design before signature of the final plat. Staff also suggests a streetlight be placed at the intersection of the emergency access.
- Street Names
Applicant has not provided documentation from Ada County that the street name is acceptable and has been approved. This will be required at final plat.

- Subdivision Name
Applicant has provided a letter from Ada County that the subdivision name has been approved and reserved for this development.
- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements for the open areas. The plan does not show the appropriate number of required street trees. These will need to be added once driveways are designed to meet the requirement and receive occupancy permits.**
- Setbacks – The applicant is not requesting any setback waivers and will follow the approved setbacks for the R-7 zone.
- Mailbox Cluster – Applicant has provided documentation from the Star Postmaster depicting the approved location for the mailbox cluster within the development as a single location.
- Phasing – The applicant has not provided a phasing plan for the development. It is assumed that the subdivision will be built in a single phase.
- Storm Water - Will be retained on site and utilize Drain 9 and two pervious paver sections in the private road.

G. Existing Site Characteristics:

Existing Site Characteristics: The property is currently vacant ground.

Irrigation/Drainage District(s): Middleton Irrigation Association
Middleton Mill Ditch Company
P.O. Box 848
Middleton, Idaho 83644

Flood Zone: This property is not currently located in a Flood Hazard Area.
FEMA FIRM Panel Number: 16001C0130J & 16001C0125J
Effective Date: 6/19/2020

Special On-Site Features:

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No evidence.
- ✪ Fish Habitat – No.
- ✪ Floodplain – No.
- ✪ Mature Trees – None.
- ✪ Riparian Vegetation – No.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – None.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- Wildlife Habitat – No known sensitive wildlife habitat observed.

Staff Analysis of Final Plat Submittal:

The approved preliminary plat consisted of a maximum of 15 residential lots and 1 common lot. The plat was approved for a maximum of 34 residential lots. After Phase 1, there are 19 lots remaining for future phases.

Lot Layout – The density of Addington Estates Phase 1 is 5.12 du/acre. The Final Plat indicates lot sizes range in size from 3,304 square feet to 6,103 square feet. The average buildable lot is 3,600 square feet. This is in line with the approved preliminary plat.

Common/Open Space and Amenities – The development contains 32,684 square feet of open space, which equates to approximately 25% of the development. The amenity will be a covered picnic area and large grassy play area.

Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2- M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan does not appear to satisfy street tree requirements.**

If street trees are to be planted by the builder, the Certificate of Occupancy may be withheld pending confirmation that the correct number and species of tree(s) have been planted.

Setbacks – The applicant has not been approved for any special setbacks and the development will comply with the standard setbacks of the R-7 zone as follows:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-6 to R-11 attached housing	35'	15' to Living Area. 20' to Garage Face 10' if Alley Load	15', 4' if Alley Load	0' for Common Walls 5' at End of Building	20'

Mailbox Cluster – Applicant has provided documentation from the Star Postmaster depicting the approved location for the mailbox cluster. The Unified Development Code Section 8-4A-21: states that All mailbox clusters shall be approved by the postmaster prior to installation. **All clusters shall be covered with an architecturally designed cover, to be approved by the Administrator prior to final plat signature. All covers shall be provided with lighting and shall be stained/painted and kept in good condition at all times.** The administrator may issue a letter of violation to the HOA when any mailbox cluster or cover falls into disrepair. Maintenance shall be included in the CC&R's. A turnout shall be installed adjacent to the mailbox cluster to provide community access, if approved by the transportation authority and postmaster. The design shall be included as part of the preliminary plat submittal.



Section 8-3B-3 of the Unified Development Code sets forth additional residential district standards in the City of Star.

J. Additional residential standards applying to all new residential subdivisions:

- 1. Residential Elevations:
 - i. Building elevations for all residential uses shall be submitted with any development application and will be included as part of any preliminary plat, development agreement and/or any other condition of approval.
 - ii. Single-Family Residential Building Front and Side Elevation Minimum Standards. These standards shall be reviewed for compliance with all submitted residential building permits under the Building Zoning Certificate process. Council may adopt these standards as part of a development agreement or preliminary plat approval. The following minimum standards shall be applied to all new residential structure elements in all zones:
 - 1. Exterior finishes shall be primarily horizontal/vertical wood or wood product siding, brick, stucco, stone, or other decorative masonry product. **A minimum of three (3) architectural elements shall be provided for all single-family residential structures.** These elements shall include, but are not limited to, shingled, horizontal or vertical siding, stone or brick highlights, garage door windows or hardware, colored window frames, or other architectural treatments deemed appropriate by the administrator.

Section 8-3B-3 designates EXTERIOR ARCHITECTURAL ELEMENTS:



- 2. Two-story detached structures should provide a minimum of one,

- second story side window per side elevation, when appropriate.
3. A minimum one (1) foot overhang shall be provided on all roof overhangs. Administrator may approve deviation from this standard.
 4. **Dwellings backing up to collector or arterial streets shall have rear elevations and/or architectural designs that provide depth and dimension, avoiding the flat-wall appearance. These elements must be functional and may not be minimized or created solely for the purpose of compliance with this provision.**
 5. Additional landscaping buffers may also be required.
2. Dwelling Unit Design. Building styles shall be spread throughout the entire development (including all contiguously owned and phased properties). Nowhere within the development shall any fewer than 5 different exterior elevation styles and/or floorplans be located adjacent to each other. The number of different dwelling styles within a development shall be as follows:
- a. **1 to 50 units = minimum of 5 architectural styles and/or floorplans**
 - b. 51 to 100 units = minimum of 7 architectural styles and/or floorplans
 - c. 101 and over units = minimum of 10 architectural styles and/or floorplans
3. Homeowners Associations. All subdivisions shall be maintained by a Homeowners association with appropriate Conditions, Covenants and Restrictions (CC&R's). CC&R's are not enforceable by the City and are private contracts between the developer and the property owner.

Irrigation and drainage ditches shall not be covered, tiled or re-routed as part of any new residential development unless specifically approved by Council and the applicable irrigation and/or drainage district. Perforated piping may be considered as an option if tiling is allowed.

Street Names – The applicant has provided documentation from the Ada County Street Naming Committee that the proposed street name is approved. The name is reflected properly on the submitted final plat.

Subdivision Name – The applicant has provided documentation that the proposed subdivision name has been approved by Ada County Development Services. The name is reflected accurately on the final plat.

Lighting - Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a proposed streetlight plan. All proposed light locations satisfy City code. The Applicant has provided a street light design/cut sheet with this application that meets the requirements of the city.

Fencing – Applicant is proposing a 6-foot vinyl fence with lattice top around the perimeter of the development. Fencing will be installed as per plans.

Sidewalks - Internal sidewalks are proposed at five-foot (5') widths and eight-foot widths throughout the development.

Floodplain – The property is not located in a Flood Hazzard Area.

PUBLIC NOTIFICATIONS

Notifications of this application were sent to agencies having jurisdiction on January 9, 2025.

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

- A. The Plat is in conformance with the Comprehensive Plan.
The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.
- B. Public services are available or can be made available and are adequate to accommodate the proposed development.
Staff finds that all public services are available and able to accommodate this development.
- C. There is public financial capability of supporting services for the proposed development.
Staff knows of no financial hardship that would prevent services from being provided.
- D. The development will not be detrimental to the public health, safety or general welfare; and,

Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.

E. The development preserves significant natural, scenic or historic features.
Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.

CONDITIONS OF APPROVAL

Conditions included in the Findings of Fact or Development Agreement.

- A Fire District approved cul-de-sac turn-around shall be provided at the eastern end of the proposed private street. The turn-around shall include an emergency access to the east and onto N. Center Street.
- Street widths shall be 36’ back of curb to back of curb, where possible to meet City requirements.
- \$1,000 per lot ITD proportionate shares shall be collected for each building lot within the development at the time of final plat.
- A pathway aligning to the north to provide pedestrian connectivity to the proposed subdivision to the north shall be included in the revised preliminary plat. Staff shall provide the exact location prior to final plat submittal.
- **Provide within the development public easements on the private street sidewalks and the pathway connection to the north. All pathways shall be improved with either concrete or paved surfaces. – (As revised by Council through the reconsideration request).**
- **Meet all conditions for the original preliminary plat application.**
- **Council approves waiver to minimum frontage width requirement.**
- **The applicant shall install “No Parking, Tow Away Area” on bottleneck areas of the roadway.**
- **Provide streetlight at emergency access on east side of development.**

Additional Conditions of Approval

1. The approved Final Plat for Addington Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **Per the approved Findings of Fact, and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the city \$1,000 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$34,000. \$15,000 is due (15 residential lots x \$1000) to be paid before signing the final plat for Phase 1.**

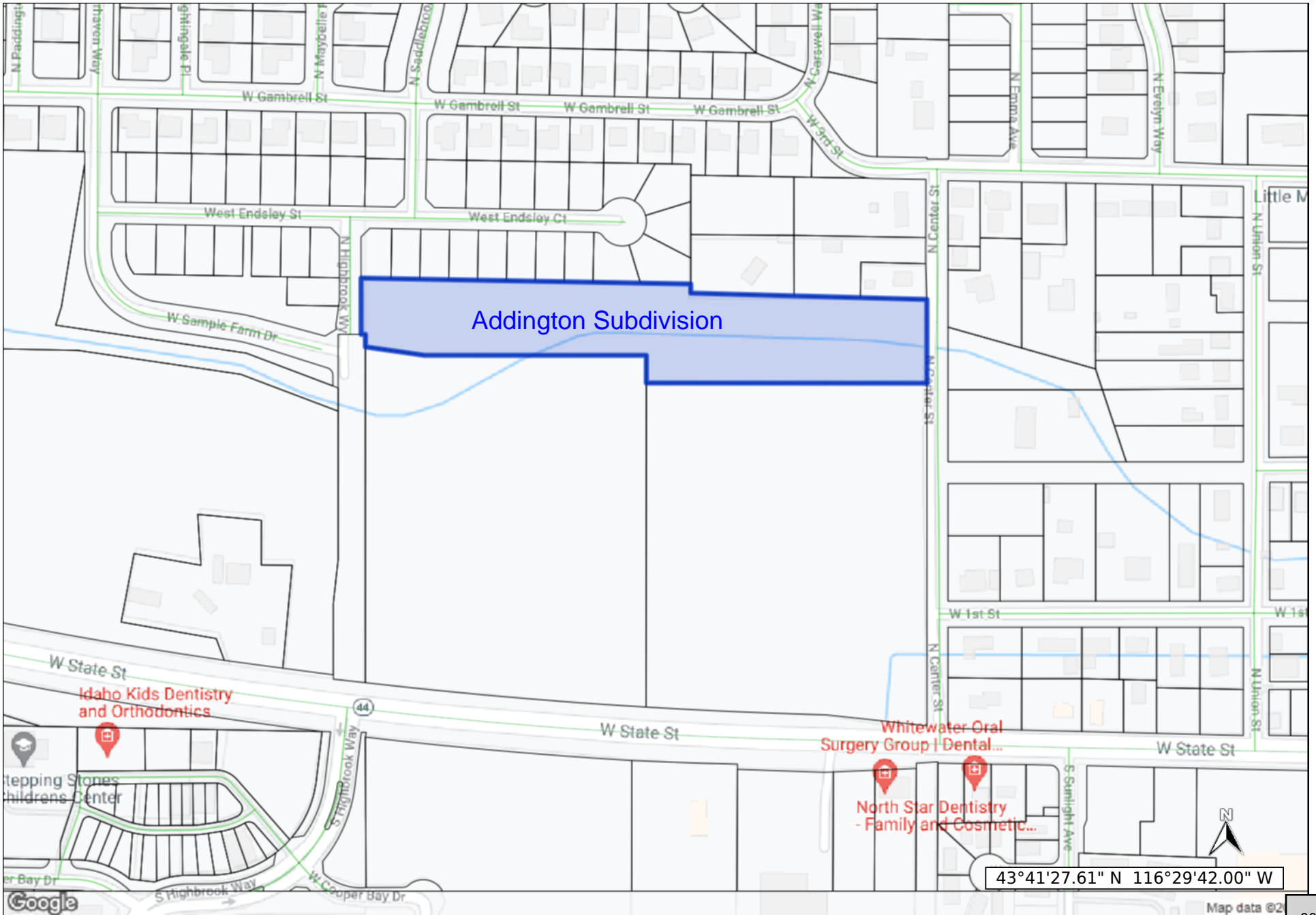
3. **The applicant shall pay all required emergency services mitigation fees to the City, as determined by City Council.**
4. **Applicant shall provide a revised preliminary plat and landscape plan showing the private street meeting the City of Star requirements of 50 feet of easement with 36 feet, from back of curb to back of curb of travel lane, in as many sections as possible, as approved by Council. The revised plat and plan shall indicate that the sidewalks and pathway to the north are to be provided with a recorded public access easement, and that all pathways shall be improved with a concrete or paved surface. The pathway to the north (Phase 2) shall be aligned with the pathway located in the future subdivision to the north. Staff shall provide the exact location to the applicant.**
5. **The applicant shall comply with the Residential Standards for all new houses, as required in Section 8-3B-3 of the UDC.**
6. **The mailbox cluster must be covered and reasonably lit.**
7. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative. A streetlight shall be provided near the eastern emergency access. Even after installation, streetlights may require shielding to prevent light trespass.**
8. **All future building permits for single family dwellings shall be reviewed for compliance with Section 8-3B-3J, including exterior finishes, dwelling unit design and rear elevation design along collector roadways.**
9. **The mailbox cluster must be covered and reasonably lit, per Section 8-4A-21 of the UDC.**
10. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC.**
11. As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **Street trees shall be installed per Chapter 8, Section 8-8C-2-M(2) Street Trees. Applicant shall provide locations for the local street trees at the time of final plat. If driveway locations will not be determined until sale of the lot, Applicant agrees to not receive the Certificate of Occupancy until street trees are confirmed in place.**
12. The private streets shall have a minimum street width of 36' and shall otherwise be constructed to ACHD standards, unless otherwise approved by Council and the Fire District. The private street shall meet all requirements of the Star Fire District.

13. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, with the submittal of the final plat application.**
14. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
15. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.
16. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
17. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
18. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
19. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
20. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
21. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
22. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
23. A separate sign application is required for any subdivision sign.
24. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior to signature of the final plat.**
25. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.

- 26. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 27. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
- 28. All common areas shall be maintained by the Homeowners Association.
- 29. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 30. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
- 31. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
- 32. Any additional Condition of Approval as required by Staff and City Council.

COUNCIL DECISION

The Star City Council _____ File # FP-24-16 Addington Subdivision Phase 1 Final Plat, on _____, _____ 2025.





November 26, 2024

Shawn Nickel
Planning Director and Zoning Administrator
City of Star – Planning and Zoning Department
10769 W. State Street
Star, ID 83669

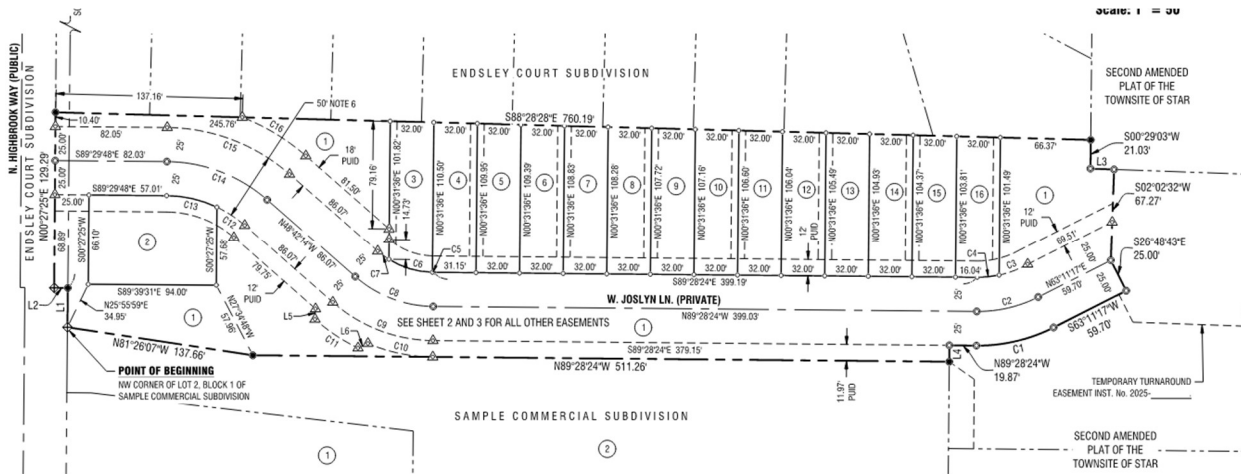
RE: Addington Subdivision Phase 1
Final Plat | PN 121064

Dear Shawn,

Attached to this letter is the final plat application for the Addington Subdivision, Phase 1. This application includes the western portion of parcel R8108003014.

The Addington Subdivision preliminary plat modification, file number PP-22-02 MOD was approved by Star City Council on October 15, 2024. The original preliminary plat and private street (PP-22-02 & PR-22-01) was approved in April 2022.

The preliminary plat contains 31 single family residential lots and 3 common lots on 5.58 acres with a density of 5.56 du/acre. Phase 1 includes 15 building lots and 1 common lot on 2.93 acres for a density of 5.12 du/acre.



The average lot size is 3,600 SF. The lot sizes range from 6,103 to 3,304 SF.

The open space (minus the roadway) is 32,684sf/127,690sf= 25.99%; including the roadway is 73,688sf/127,690sf = 57.70%

The open space amenities include an 8' x 8' covered picnic area and grassy play areas.

The approved dimensional standards are:

Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
	Front (1)	Rear	Interior Side	Street Side
35'	15' to living area 20' to garage 10' if alley load	15' 4' if alley load	0' for common walls 5' at end of building	20'

The minimum lot width is approved at 31'.

A temporary turnaround will be constructed, to be removed with construction of phase 2.

The final plat is consistent with the approved preliminary plat and associated conditions of approval.

Sincerely,



Tamara Thompson
 Director of Client Services
The Land Group, Inc.



FINAL PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: FP-24-16
Date Application Received: 12-2-2024 Fee Paid: \$2460.00
Processed by: City: BN

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: The Land Group, Inc. - Tamara Thompson
Applicant Address: 462 E. Shore Dr., Eagle, ID Zip: 83616
Phone: 208.939.4041 Email: tamara@thelandgroupinc.com

Owner Name: STC Development, LLC. - P. Eric Davis
Owner Address: 199 N. Capital Blvd., Suite 300, Boise, ID Zip: 83702
Phone: 208.331.0110 Email: davis@retailwest.com

Representative (e.g., architect, engineer, developer):
Contact: Tamara Thompson Firm Name: The Land Group, Inc.
Address: 462 E. Shore Dr., Eagle, ID Zip: 83616
Phone: 208.939.4041 Email: tamara@thelandgroupinc.com

Property Information:

Subdivision Name: Addington Subdivision Phase: 1

Parcel Number(s): R8108003014

Approved Zoning: R-7 Units per acre: ±5.11

Total acreage of phase: ±2.93 Total number of lots: 16

Residential: 15 Commercial: N/A Industrial: N/A

Common lots: 1 Total acreage of common lots: ±1.69 Percentage: 57.74%

Percent of common space to be used for drainage: 0.00% Acres: 0.00

Special Flood Hazard Area: total acreage n/a number of homes n/a

Changes from approved preliminary plat pertaining to this phase:

	Preliminary Plat	Final Plat
Number of Residential Lots:	<u>16 - All attached single family</u>	<u>15 - (14) attached & (1) detached</u>
Number of Common Lots:	<u></u>	<u></u>
Number of Commercial Lots:	<u></u>	<u></u>
Roads:	<u></u>	<u></u>

Amenities: _____

Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision Name: Addington Subdivision Phase: 1

Special Flood Hazard Area: total acreage n/a number of homes n/a

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16001C0125J
 FIRM effective date(s): mm/dd/year 6/19/2020
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone X - Area of Minimal Flood Hazard
 Base Flood Elevation(s): AE _____.0 ft., etc.: n/a
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Application Requirements:

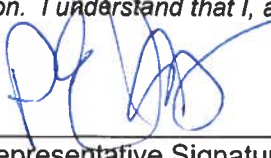
(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (√)	Description	Staff (√)
X	Completed and signed copy of Final Plat Application	BN
X	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
X	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> • Gross density of the phase of the Final Plat submitted • Lot range and average lot size of phase • Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities • List any specific approved building setbacks previously approved by Council. 	BN
X	Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)	BN
X	Electronic copy of current recorded warranty deed for the subject property	BN
X	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.	BN
X	Electronic copy of subdivision name approval from Ada County Surveyor's office.	BN
X	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming	BN
X	Electronic copy of vicinity map showing the location of the subject property	BN
X	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	BN
X	One (1) 11" X 17" paper copy of the Final Plat	BN
X	Electronic copy of the Final landscape plan**	BN

X	One (1) 11" X 17" copy of the Final landscape plan	BN
X	Electronic copy of site grading & drainage plans**	BN
X	Electronic copy of originally approved Preliminary Plat**	BN
N/A	Electronic copy of a Plat with all phases marked with changes, if applicable**	
X	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	BN
X	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	BN
X	Electronic copy of streetlight design and location information	
N/A	Special Flood Information – Must be included on Preliminary/Final Plat and Application form.	
X	Electronic copy of all easement agreements submitted to the irrigation companies	BN
X	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	BN
X	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.	BN
	<p>Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance:</p> <ul style="list-style-type: none"> • One (1) 11" X 17" and (1) 18" X 24" recorded copy of Final Plat • Electronic copy of final, approved construction drawings • Electronic copy of as-built irrigation plans • Electronic copy of recorded CC&R's • Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign • Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please. 	
	**NOTE: No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid.	

FEE REQUIREMENT:

*** I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*


 Applicant/Representative Signature
 P. ERIC DAVIS

11/25/2024
 Date



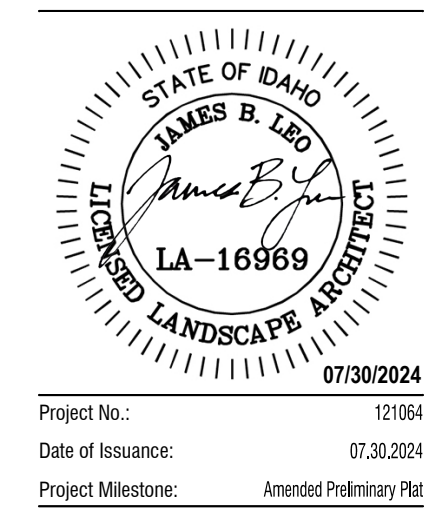
Addington Townhomes Sub. - Amended Preliminary Plat

STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO

Revisions

1.	



Project No.: 121064
Date of Issuance: 07.30.2024
Project Milestone: Amended Preliminary Plat

Landscape Plan Overall

L1.00

PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS	
TREES						
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	CLASS II; MATURITY: 35' H X 25' W	
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM / PRAIRIE SPIRE ASH	2" CAL.	B&B	CLASS II; MATURITY: 40' H X 20' W	
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE	2" CAL.	B&B	CLASS III; MATURITY: 55' H X 25' W	
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	2" CAL.	B&B	CLASS II; MATURITY: 50' H X 8' W	
	PD	PINUS NIGRA 'OREGON GREEN' / OREGON GREEN PINE	6' HT.	B&B	CONIFEROUS; MATURITY: 18' H X 12' W	
	QM	QUERCUS MACROCARPA / BURR OAK	2" CAL.	B&B	CLASS III; MATURITY: 50' H X 40' W	
SHRUBS						
	AL	ARONIA MELANOCARPA 'UCONNAM165' TM / LOW SCAPE MOUND BLACK CHOKEBERRY	3 GAL		MATURITY: 1.5' H X 3.5' W	
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL		MATURITY: 2.5' H X 2.5' W	
	CA	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL		MATURITY: 5' H X 5' W	
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL		MATURITY: 4' H X 3' W	
	CS	CORNUS ALBA 'SIBIRICA' / REDBARK DOGWOOD	5 GAL		MATURITY: 9' H X 5' W	
	EU	EUONYMUS JAPONICUS 'GREENSPIRE' / GREENSPIRE UPRIGHT EUONYMUS	2 GAL		MATURITY: 6' H X 3' W	
	HK	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL		MATURITY: 2' H X 2' W	
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL		MATURITY: 15H X 3'W	
	LM	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER	1 GAL		MATURITY: 2' H X 2' W	
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE	2 GAL		MATURITY: 2' H 6' W	
	PM	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	2 GAL		MATURITY: 3' H X 3' W	
	PS2	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMER WINE® NINEBARK	5 GAL		MATURITY: 5H X 5W	
	RT	RHUS TYPHINA 'BAILTIGER' / TIGER EYE STAGHORN SUMAC	5 GAL		MATURITY: 6W X 6H	

Landscape Plan Notes:

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- B. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- C. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
- D. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- F. ALL NON-TURF PLANTERS SHALL RECEIVE 4" LAYER OF DECORATIVE MULCH.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
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- 3. FENCING BY OWNER, BUILDER, OR DEVELOPER.
- 4. ANY TREES PLANTED WITHIN A PARKWAY STRIP SHALL BE CENTERED IN PARKWAY STRIP.
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Street Tree Notes:

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- 3. ROOTBARRIERS SHALL BE INSTALLED AT CURBS AND SIDEWALKS AT STREET TREES WHERE THE PARKWAY STRIP IS LESS THAN 8' WIDE.

Automatic Underground Irrigation Notes:

- A. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
- B. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- C. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 18" AT NON-MOW FESCUE AREAS, 6" AT SOD LAWN AREAS.
- D. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEMS - WITH DRIP CONTROL ZONE KIT AND 150 MESH FILTER (MIN.).
- E. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
E.A. PRECISE INDIVIDUAL STATION TIMING
E.B. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
E.C. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
E.D. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
E.E. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- F. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- G. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- H. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, AND PARKING AREA.
- I. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX LARGE ENOUGH TO ALLOW FOR MAINTENANCE AND REMOVAL. ONLY ONE VALVE PER BOX.

Landscape Requirements:

AS IDENTIFIED IN THE STAR, IDAHO CITY ORDINANCE:

LANDSCAPE BUFFERS ALONG STREETS (8-8D-2-M)
ONE (1) TREE PER THIRTY-FIVE (35) LINEAR FEET WITH SHRUBS, LAWN, OR OTHER VEGETATIVE GROUND COVER.

STREET	TREES REQUIRED	TREES PROVIDED
N. HIGHBROOK WAY (LESS DRIVE/EASEMENTS)	3 TREES (120 L.F. / 35)	1 SHADE TREE 4 ORNAMENTAL TREES*
N. CENTER ST (LESS DRIVE/EASEMENTS)	5 TREES (172 L.F. / 35)	3 SHADE TREES 4 ORNAMENTAL TREES*

*COLUMNAR SWEETGUM SUBSTITUTED FOR REQUIRED SHADE TREE AT 2:1 USING ORNAMENTAL TREE SUBSTITUTION ALLOWANCE FROM MUNICIPAL CODE.

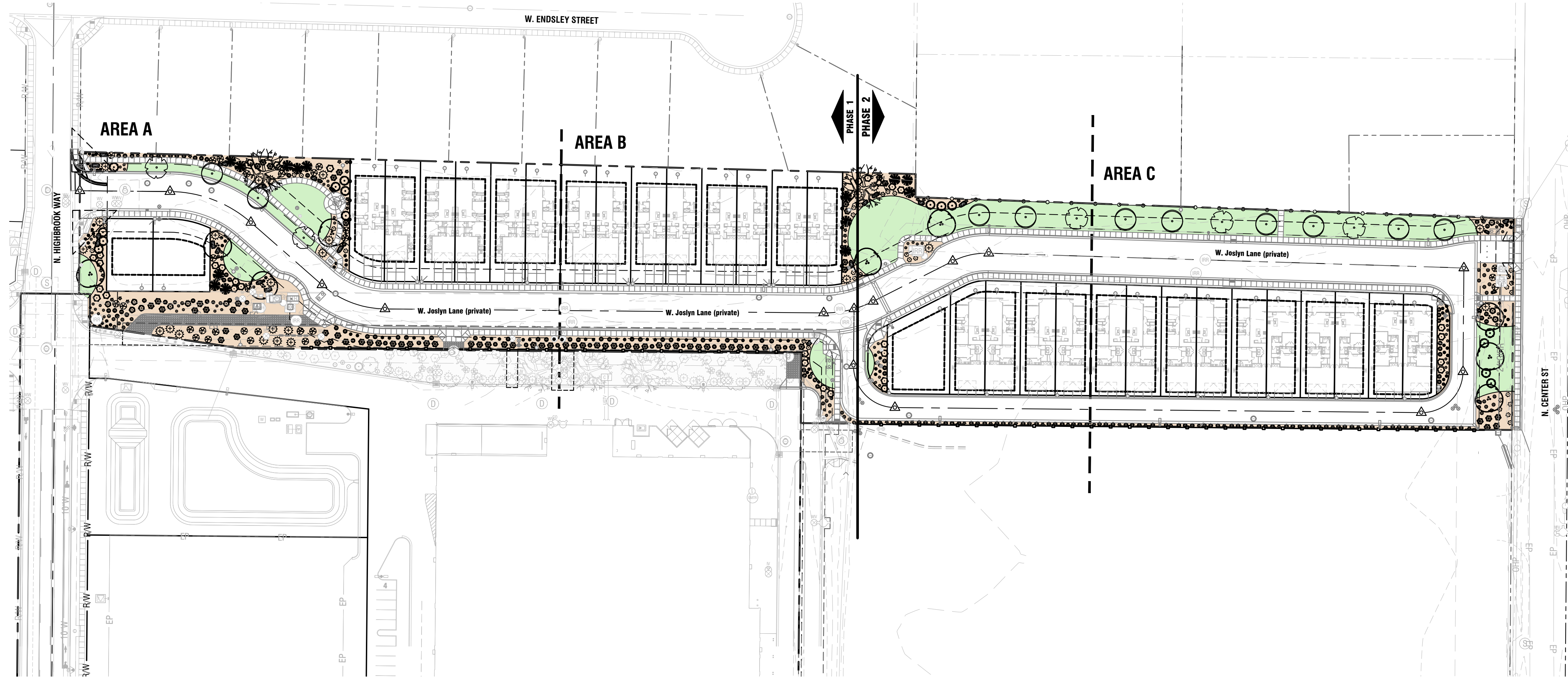
QUALIFIED OPEN SPACE (8-4E-2)
TOTAL LAND AREA OF ALL COMMON OPEN SPACE SHALL EQUAL OR EXCEED FIFTEEN PERCENT (15%) OF THE GROSS LAND AREA OF DEVELOPMENT. A MINIMUM OF 10% OF THE TOTAL GROSS ACREAGE OF THE DEVELOPMENT SHALL BE FOR USEABLE AREA OPEN SPACE. OPEN SPACE SHALL BE DESIGNATED AS A TOTAL OF 15% MINIMUM FOR RESIDENTIAL DEVELOPMENTS IN ALL ZONES WITH DENSITIES OF R-2 OR GREATER.

REQUIRED S.F.	PROVIDED S.F.
36,459.72 S.F. (15% x 243065 S.F.)	54,014.4 S.F. (22.22%)

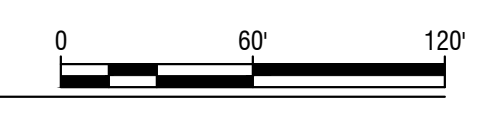
NEW RESIDENTIAL SUBDIVISION COMMON AREA LANDSCAPES SHALL BE COMPRISED OF THE FOLLOWING: LAWN, EITHER SEED OR SOD, A MINIMUM OF ONE DECIDUOUS SHADE TREE PER FOUR THOUSAND (4,000) SQUARE FEET. (8-8D-2-J-5)

PROVIDED S.F.	REQUIRED TREES	PROVIDED TREES
54,014.4 S.F.	14 TREES (64014.4 / 4000)	43 TREES*

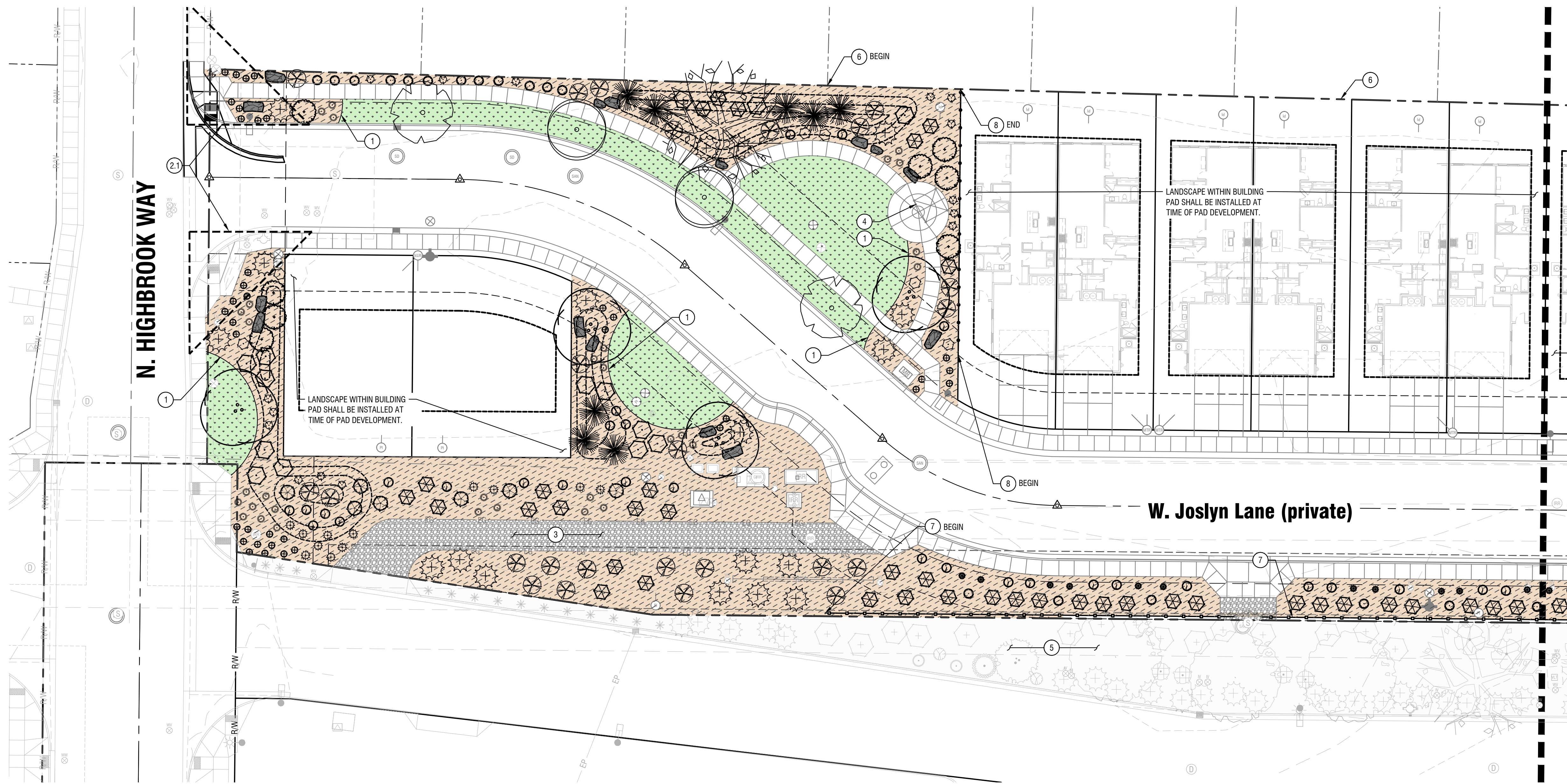
*A MIX OF DECIDUOUS SHADE AND CONIFEROUS TREES HAVE BEEN PROVIDED IN THE COMMON LOTS AND THROUGHOUT THE SITE.



Landscape Plan - Overall
Horizontal Scale: 1" = 60'



DATE PLOTTED: 07/30/2024 10:58:11 AM
DRAWN BY: J. B. LEDDY
CHECKED BY: J. B. LEDDY
DATE: 07/30/2024



Landscape Plan Notes:

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- F. ALL NON-TURF PLANTERS SHALL RECEIVE 4" LAYER OF DECORATIVE MULCH.
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Preliminary Plat Landscape Notes:

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Street Tree Notes:

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Material Legend:

	TURF SOD		4"-DEPTH BLACK & TAN ROCK MULCH.
	CONCEPTUAL LANDSCAPE BERM, 1' CONTOURS.		LARGE LANDSCAPE BOULDERS, 4'-6" DIA. TYP PER DETAIL 4/L1.50.

Keynotes:

- 1. PLANTER CUT EDGE PER DETAIL 1/L1.50.
- 2. CLEAR VISION TRIANGLE. ALL IMPROVEMENTS WITH VISION TRIANGLE SHALL CONFORM TO CITY CODE.
- 2.1. 40-FT X 40-FT STREET INTERSECTION TRIANGLE
- 2.2. 20-FT X 10-FT STREET TO DRIVEWAY TRIANGLE
- 3. MAINTENANCE ROAD FOR GRAVITY IRRIGATION OR PUBLIC UTILITY. REFER TO UTILITY PLAN OR MORE INFORMATION.
- 4. 8' X 8' SHADE STRUCTURE AT PLAZA WITH TABLE.
- 5. LANDSCAPE IMPROVEMENTS PREVIOUSLY INSTALLED BY ADJACENT DEVELOPMENT. RETAIN & PROTECT.
- 6. SCREEN EXTENSION FENCE ON PROJECT SIDE OF EXISTING FENCE. SEE DETAIL 6/L1.50.
- 7. 9-FT TALL SCREEN FENCE PER DETAIL 6/L1.50.
- 8. 4-FT TALL WROUGHT IRON FENCE TO BE INSTALLED WITH HOUSE CONSTRUCTION.

Landscape Plan - Area A

Horizontal Scale: 1" = 20'

Addington Townhomes Sub. - Amended Preliminary Plat
STC Development

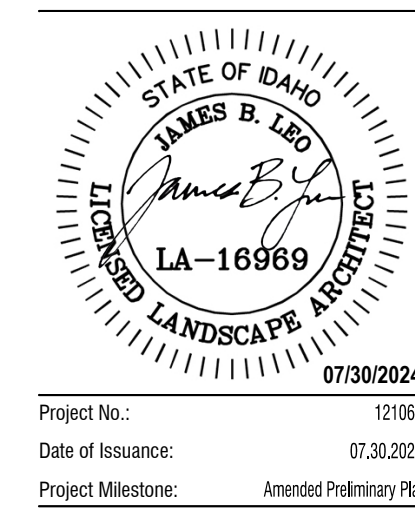
NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO

Revisions	DATE	BY	REVISIONS
1.			

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
TREES					
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	CLASS II; MATURITY: 35' H X 25' W
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	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE	2" CAL.	B&B	CLASS III; MATURITY: 55' H X 25' W
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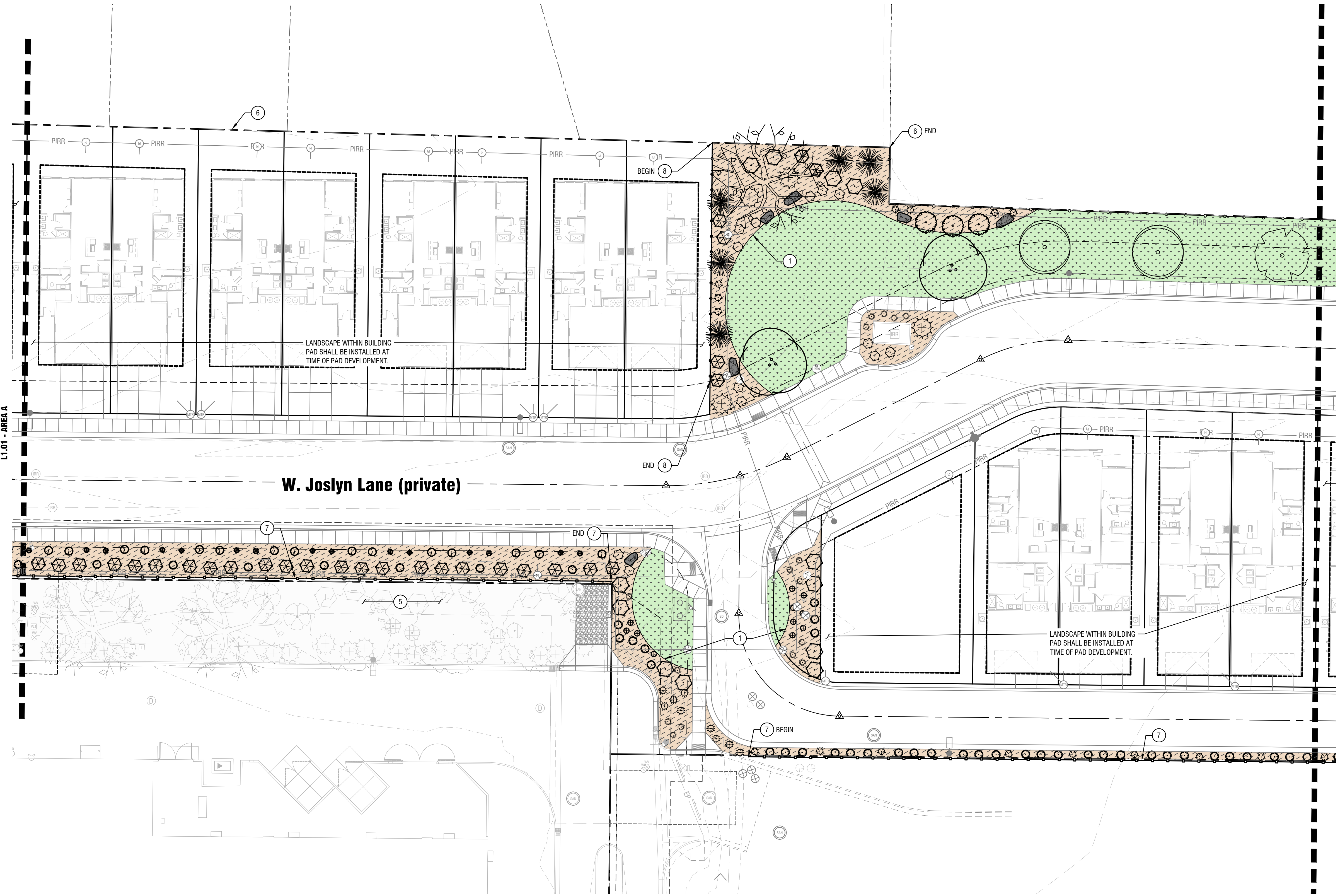
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	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL.		MATURITY: 2.5' H X 2.5' W
	CA	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.		MATURITY: 5' H X 5' W
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.		MATURITY: 4' H X 3' W
	CS	CORNUS ALBA 'SIBIRICA' / REDBARK DOGWOOD	5 GAL.		MATURITY: 9' H X 5' W
	EU	EUONYMUS JAPONICUS 'GREENSPIRE' / GREENSPIRE UPRIGHT EUONYMUS	2 GAL.		MATURITY: 6' H X 3' W
	HX	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL.		MATURITY: 2' H X 2' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.		MATURITY: 15H X 3'W
	LM	LAVANDULA ANGSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER	1 GAL.		MATURITY: 2' H X 2' W
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE	2 GAL.		MATURITY: 2' H 6' W
	PM	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	2 GAL.		MATURITY: 3' H X 3' W
	PS2	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMER WINE® NINEBARK	5 GAL.		MATURITY: 5H X 5W
	RT	RHUS TYPHINA 'BALTIGER' / TIGER EYE STAGHORN SUMAC	5 GAL.		MATURITY: 6'W X 6'H



Project No.: 121054
Date of Issuance: 07.30.2024
Project Milestone: Amended Preliminary Plat

Landscape Plan Area A



- Landscape Plan Notes:**
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Landscape Plan - Area B
Horizontal Scale: 1" = 20'



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	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	CLASS II; MATURITY: 35' H X 25' W
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM / PRAIRIE SPIRE ASH	2" CAL.	B&B	CLASS II; MATURITY: 40' H X 20' W
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE	2" CAL.	B&B	CLASS III; MATURITY: 55' H X 25' W
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	2" CAL.	B&B	CLASS II; MATURITY: 50' H X 8' W
	PO	PINUS NIGRA 'OREGON GREEN' / OREGON GREEN PINE	6' HT.	B&B	CONIFEROUS; MATURITY: 18' H X 12' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	QM	QUERCUS MACROCARPA / BURR OAK	2" CAL.	B&B	CLASS III; MATURITY: 50' H X 40' W
SHRUBS					
	AL	ARONIA MELANOCARPA 'UCONNAM165' TM / LOW SCAPE MOUND BLACK CHOKEBERRY	3 GAL.		MATURITY: 1.5' H X 3.5' W
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL.		MATURITY: 2.5' H X 2.5' W
	CA	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.		MATURITY: 5' H X 5' W
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.		MATURITY: 4' H X 3' W
	CS	CORNUS ALBA 'SIBIRICA' / REDBARK DOGWOOD	5 GAL.		MATURITY: 9' H X 5' W
	EU	EUONYMUS JAPONICUS 'GREENSPIRE' / GREENSPIRE UPRIGHT EUONYMUS	2 GAL.		MATURITY: 6' H X 3' W
	HX	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL.		MATURITY: 2' H X 2' W

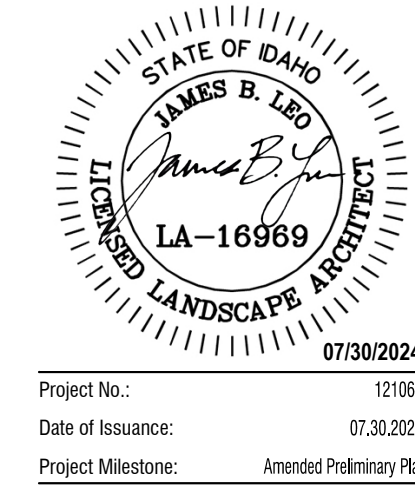
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.		MATURITY: 15H X 3'W
	LM	LAVANDULA ANGSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER	1 GAL.		MATURITY: 2' H X 2' W
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE	2 GAL.		MATURITY: 2' H 6' W
	PM	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	2 GAL.		MATURITY: 3' H X 3' W
	PS2	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMER WINE® NINEBARK	5 GAL.		MATURITY: 5H X 5W
	RT	RHUS TYPHINA 'BAILTIGER' / TIGER EYE STAGHORN SUMAC	5 GAL.		MATURITY: 6'W X 6'H

Addington Townhomes Sub. - Amended Preliminary Plat
STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO

Revisions

1.	



Project No.: 121054
Date of Issuance: 07.30.2024
Project Milestone: Amended Preliminary Plat

Landscape Plan Area B

Final Plat for

Addington Subdivision - Phase 1

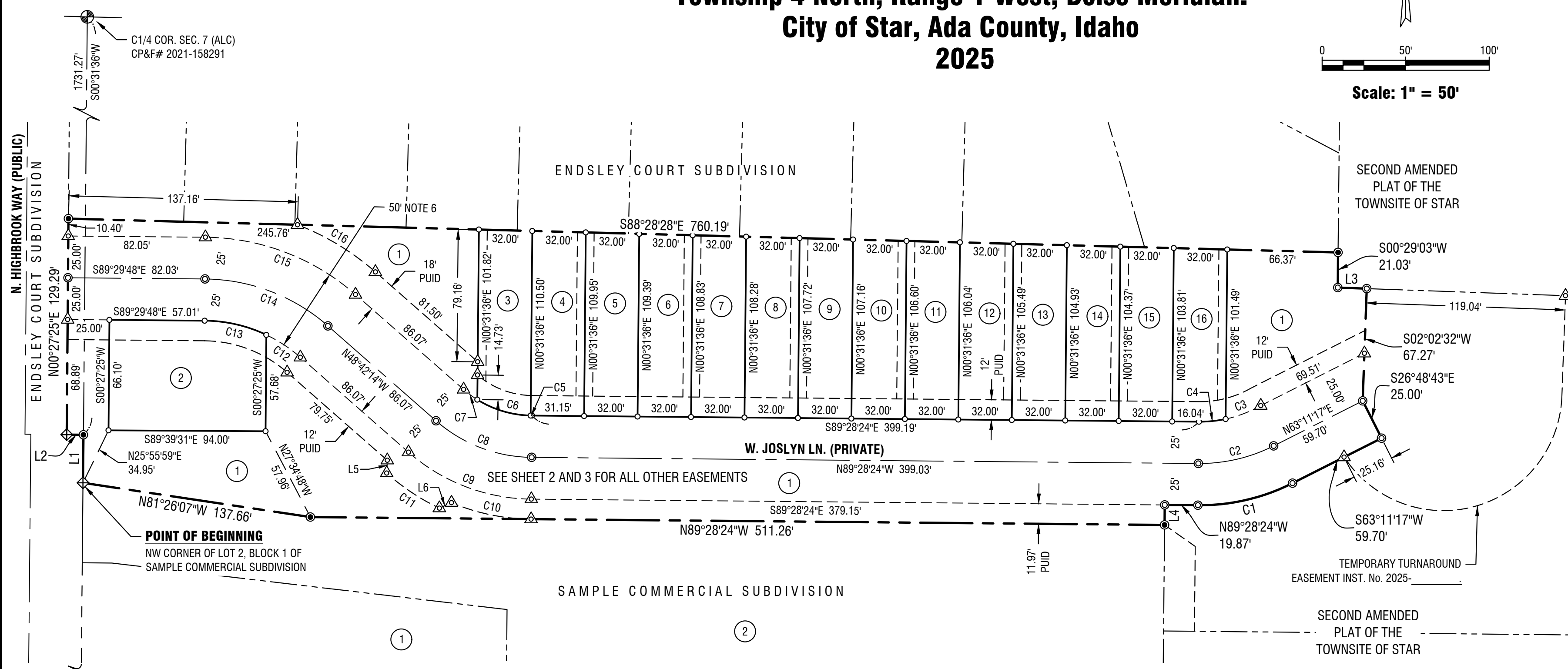
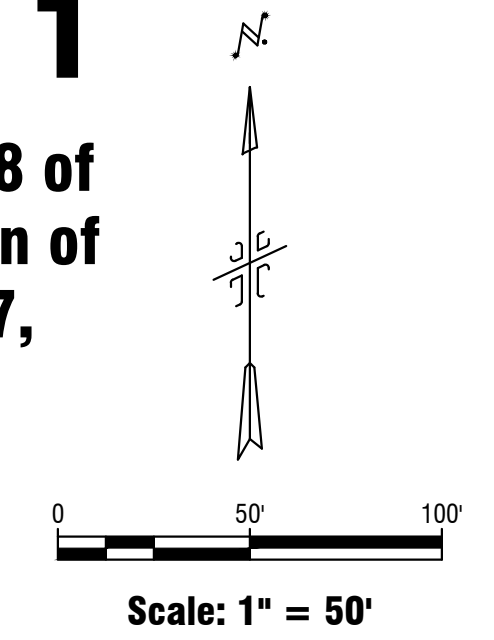
A parcel of land being a Re-Subdivision of a portion of Block 8 of the Second Amended Plat of the Townsite of Star and a portion of the Southeast quarter of the Southwest quarter of Section 7, Township 4 North, Range 1 West, Boise Meridian.
 City of Star, Ada County, Idaho
 2025

Reference Surveys

1. PLAT for SAMPLE COMMERCIAL SUBDIVISION, BOOK 125 OF PLATS AT PAGE 19927, RECORDS OF ADA COUNTY, IDAHO.
2. PLAT for ENDSLEY COURT SUBDIVISION, BOOK 117 OF PLATS AT PAGE 17841, RECORDS OF ADA COUNTY, IDAHO.
3. SECOND AMENDED PLAT OF THE TOWNSITE OF STAR, BOOK 3 OF PLATS AT PAGE 138, RECORDS OF ADA COUNTY, IDAHO.
4. RECORD OF SURVEY No. 5676, RECORDS OF ADA COUNTY, IDAHO.
5. RECORD OF SURVEY No. 8422, RECORDS OF ADA COUNTY, IDAHO.
6. RECORD OF SURVEY No. 14445, RECORDS OF ADA COUNTY, IDAHO.

Notes

1. ALL LOT LINES COMMON TO A PUBLIC RIGHT-OF-WAY LINE, PRIVATE ROADWAY, AND THE EXTERIOR SUBDIVISION BOUNDARY HAVE A TWELVE (12) FOOT WIDE PERMANENT PUBLIC UTILITIES, PRESSURE IRRIGATION, AND PROPERTY DRAINAGE (PUID) EASEMENT, UNLESS DIMENSIONED OTHERWISE.
2. EACH SIDE OF INTERIOR LOT LINES FOR LOTS 3-16, BLOCK 1 HAVE A FIVE (5) FOOT WIDE (PUID) EASEMENT, UNLESS DIMENSIONED OTHERWISE. LOTS THAT CONTAIN ATTACHED DWELLINGS SHARING A COMMON WALL ALONG A COMMON LOT LINE, LOTS 3&4, 5&6, 7&8, 9&10, 11&12, 13&14, 15&16, SHALL NOT BE ENCUMBERED BY THE EASEMENTS ALONG SAID SHARED COMMON LOT LINE.
3. MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF STAR APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR AS SPECIFICALLY APPROVED AND/OR REQUIRED, OR AS SHOWN ON THIS PLAT. CURRENT REGULATION FOR THE FRONT SETBACKS IS 15' TO LIVING SPACE AND 20' TO THE GARAGE.
4. ANY RESUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE REGULATIONS IN EFFECT AT THE TIME OF THE RESUBDIVISION AND SHALL BE SUBJECT TO THE CITY OF STAR APPROVAL.
5. LOT 1, BLOCK 1; IS A NON-BUILDABLE COMMON USE LANDSCAPING AREA LOTS WHICH SHALL BE OWNED AND MAINTAINED BY THE ADDINGTON COMMUNITY ASSOCIATION, INC. OR ASSIGNS, FOR SUCH USES AS DESIGNATED WITHIN THE DECLARATION OF COVENANTS, CONDITIONS & RESTRICTIONS FOR THE SUBDIVISION, RECORDED IN INSTRUMENT No. _____, RECORDS OF ADA COUNTY, AS AMENDED FROM TIME TO TIME.
6. A PORTION OF LOT 1, BLOCK 1 IS ENCUMBERED WITH A ROADWAY INGRESS/EGRESS ACCESS EASEMENT FOR THE BENEFIT OF LOTS 2-16, BLOCK 1. SAID EASEMENT SHALL BE OWNED AND MAINTAINED BY THE ADDINGTON COMMUNITY ASSOCIATION, INC. OR ASSIGNS
7. DEVELOPMENT STANDARDS FOR RESIDENTIAL DEVELOPMENT SHALL COMPLY WITH THE EFFECTIVE BUILDING AND ZONING REQUIREMENTS AT TIME OF BUILDING PERMIT ISSUANCE, UNLESS AMENDED IN THE DEVELOPMENT AGREEMENT OR CUP CONDITIONS.
8. IN COMPLIANCE WITH THE IDAHO CODE SECTION 31-3805 (1)(b) THE OWNER OF THIS SUBDIVISION HAS PROVIDED AN UNDERGROUND IRRIGATION SYSTEM AND SHALL BE OWNED & MAINTAINED BY THE ADDINGTON COMMUNITY ASSOCIATION, INC. LOTS WITHIN THE SUBDIVISION WILL BE OBLIGATED FOR ASSESSMENTS FROM THE MIDDLETON MILL DITCH COMPANY FOR SAID IRRIGATION WATER. EASEMENTS ARE PROVIDED FOR ALL PRESSURE IRRIGATION PIPING.
9. THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
10. THIS SUBDIVISION IS SUBJECT TO A LICENSE AGREEMENT WITH THE ADA COUNTY HIGHWAY DISTRICT AS RECORDED IN INSTRUMENT No. 2022-048056, RECORDS OF ADA COUNTY, IDAHO.
11. THIS SUBDIVISION IS SUBJECT TO A LICENSE AGREEMENT WITH THE DRAINAGE DISTRICT No. 2 AS RECORDED IN INSTRUMENT No. 2021-020382, AND TO THE ADDENDUM TO THE LICENSE AGREEMENT RECORDED IN INSTRUMENT No. 2021-147958, RECORDS OF ADA COUNTY, IDAHO.
12. THIS SUBDIVISION IS SUBJECT TO A LICENSE AGREEMENT WITH THE MIDDLETON MILL DITCH COMPANY, MIDDLETON IRRIGATION ASSOCIATION, INC., AND THE FLAKE DITCH COMPANY, AS RECORDED IN INSTRUMENT No. 2021-036679, RECORDS OF ADA COUNTY, IDAHO.
13. THIS SUBDIVISION IS SUBJECT TO A DEVELOPMENT AGREEMENT #DA-20-05, ASSOCIATED WITH REZONE APPLICATION #AZ-20-05 RECORDED IN INSTRUMENT No. 2021-034559 AND ALL SUBSEQUENT MODIFICATIONS.
14. DIRECT ACCESS TO N. HIGHBROOK WAY FROM ANY BUILDABLE LOT IS PROHIBITED.
15. THIS SUBDIVISION IS LOCATED WITHIN ZONE X AS IDENTIFIED ON THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NUMBER 16001C0135J.



CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	58.69'	123.00'	27°20'19"	S76°51'27"W	58.13'
C2	46.76'	98.00'	27°20'19"	N76°51'27"E	46.32'
C3	22.57'	74.37'	17°23'04"	N69°06'31"E	22.48'
C4	16.09'	73.00'	12°37'38"	S84°12'47"W	16.06'
C5	0.85'	63.00'	0°46'32"	N89°05'08"W	0.85'
C6	33.70'	63.00'	30°39'01"	N73°22'22"W	33.30'
C7	10.27'	63.00'	9°20'37"	S53°22'33"E	10.26'
C8	62.62'	88.00'	40°46'10"	S69°05'19"E	61.30'
C9	80.41'	113.00'	40°46'10"	S69°05'19"E	78.72'
C10	48.97'	124.12'	22°36'19"	S78°17'22"E	48.65'

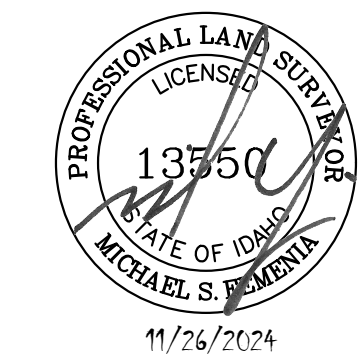
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C11	38.03'	131.00'	16°38'05"	S56°21'02"E	37.90'
C12	24.47'	88.00'	15°56'05"	N56°40'16"W	24.39'
C13	38.18'	88.00'	24°51'29"	N77°04'03"W	37.88'
C15	98.25'	138.00'	40°47'34"	S69°06'01"E	96.19'
C16	54.78'	155.90'	20°07'57"	S58°45'51"E	54.50'

LINE	BEARING	LENGTH
L1	N00°31'36"E	28.77'
L2	N89°27'08"W	10.00'
L3	S87°57'28"E	17.33'

LINE	BEARING	LENGTH
L4	S00°31'36"W	11.97'
L5	S02°39'41"W	7.67'
L6	N65°27'08"E	7.98'

Legend

- ⊕ FOUND ALUMINUM (ALC)/BRASS (BCP) CAP MONUMENT
- FOUND 5/8" REBAR WITH PLASTIC CAP, MSF 13550 OR AS SHOWN
- ⊕ FOUND 1-1/4" COPPER DISC, TLG PLS 13550
- ⊙ SET 5/8"x24" REBAR WITH PLASTIC CAP, MSF 13550
- SET 1/2"x24" REBAR WITH PLASTIC CAP, MSF 13550
- ⊕ SET 1-1/4" COPPER DISC W/MAGNET, PLS 13550
- △ CALCULATED POINT (NOTHING FOUND OR SET)
- ① LOT NUMBER
- SECTION LINE
- SUBDIVISION BOUNDARY LINE
- CENTERLINE
- LOT LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- TIE LINE
- PUID PUBLIC UTILITY, IRRIGATION, AND DRAINAGE EASEMENT



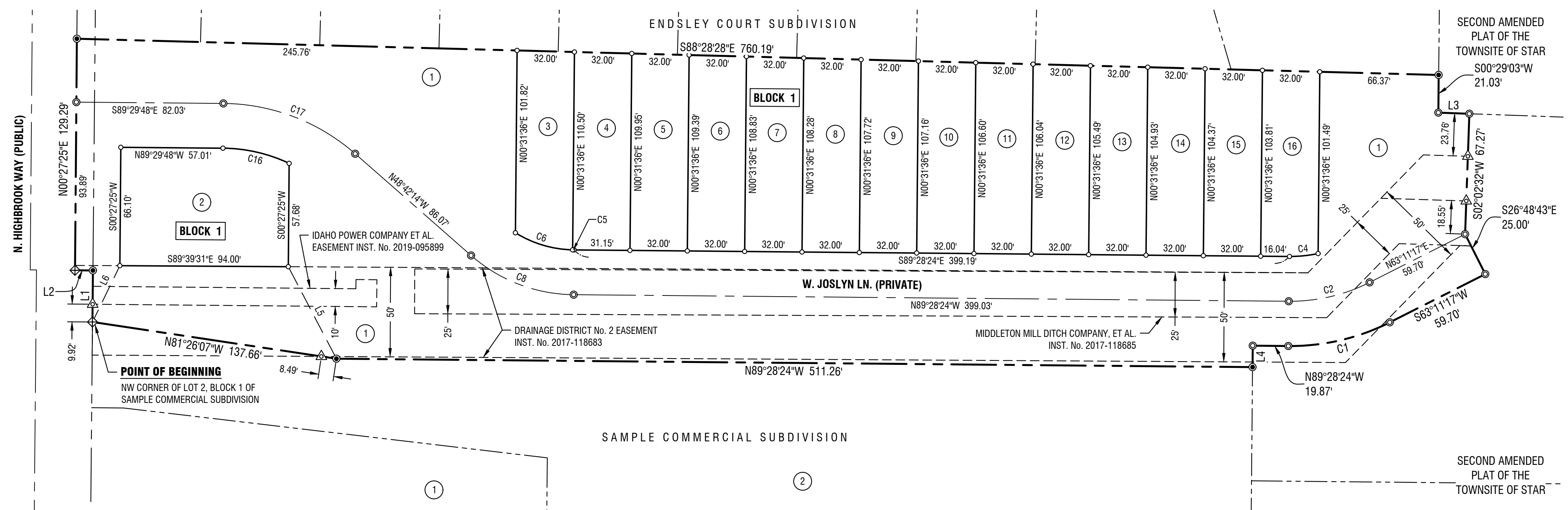
Survey Narrative

THIS PLAT WAS PREPARED FOR THE DEVELOPMENT OF THE ADDINGTON SUBDIVISION PHASE 1. THE PROPERTY BEING PLATTED IS ADJACENT TO THE SOUTHERLY BOUNDARY LINE OF ENDSLEY COURT SUBDIVISION, THE WEST RIGHT OF WAY OF HIGHBROOK WAY (SAMPLE COMMERCIAL SUBDIVISION), THE CORNER MONUMENTS FOR SAID SUBDIVISION AND RIGHT OF WAYS WERE HELD FOR THOSE BOUNDARY LINES. THE SOUTH 1/4 CORNER AND THE SOUTHEAST CORNER OF SECTION 7 WERE HELD FOR THE BASIS OF BEARINGS.



462 East Shore Drive, Suite 100
 Eagle, ID 83616
 208-939-4041

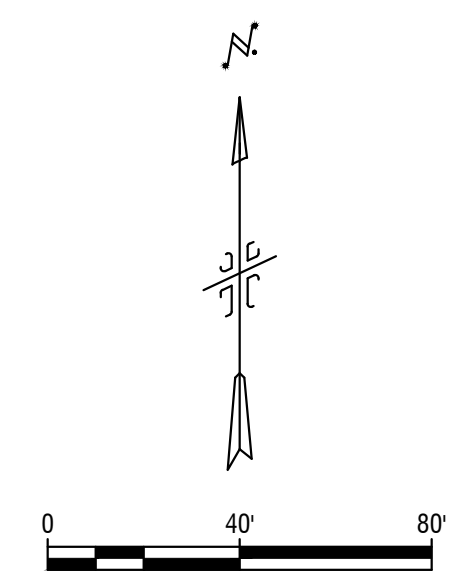
Final Plat for Addington Subdivision - Phase 1



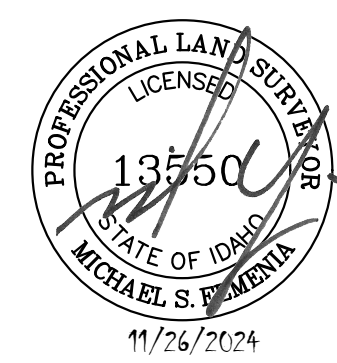
1 Easements for Drainage District No. 2 (Drain 9A), Middleton Mill Ditch Company et al. (Flake Lateral), and Idaho Power Company et al.

Curve Table					
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
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L4	S00°31'36"W	11.97'
L5	S27°34'48"E	57.96'
L6	N25°55'59"E	34.95'

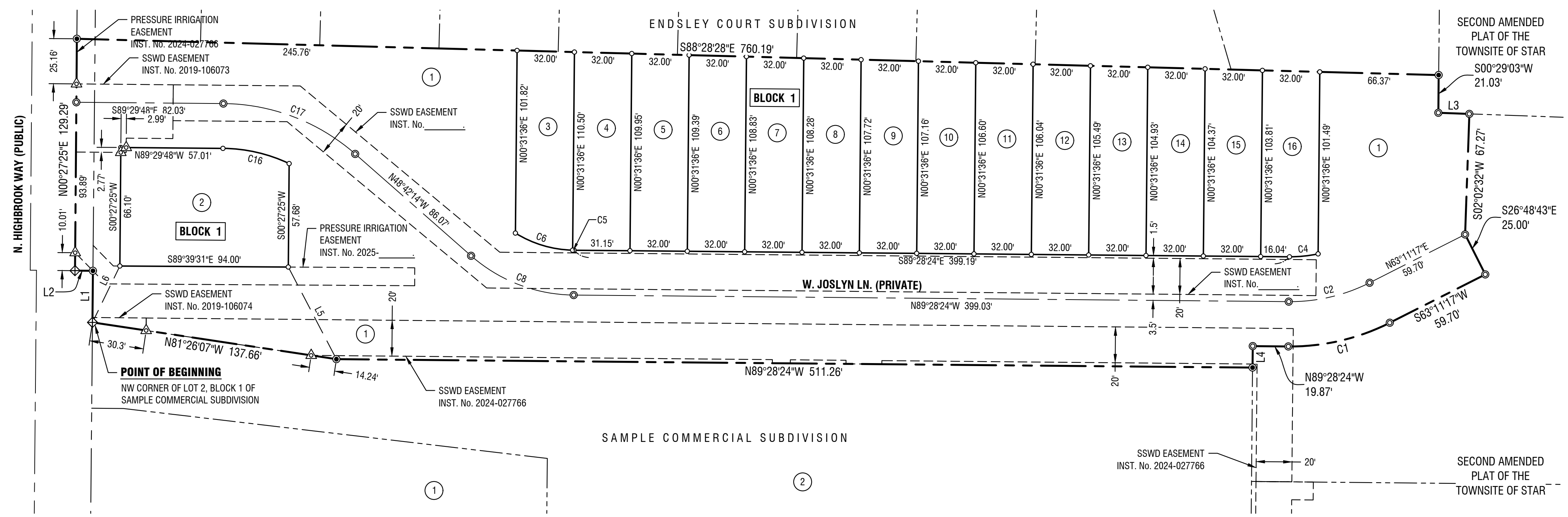


Scale: 1" = 40'
See Sheet 1 for Notes & Legend

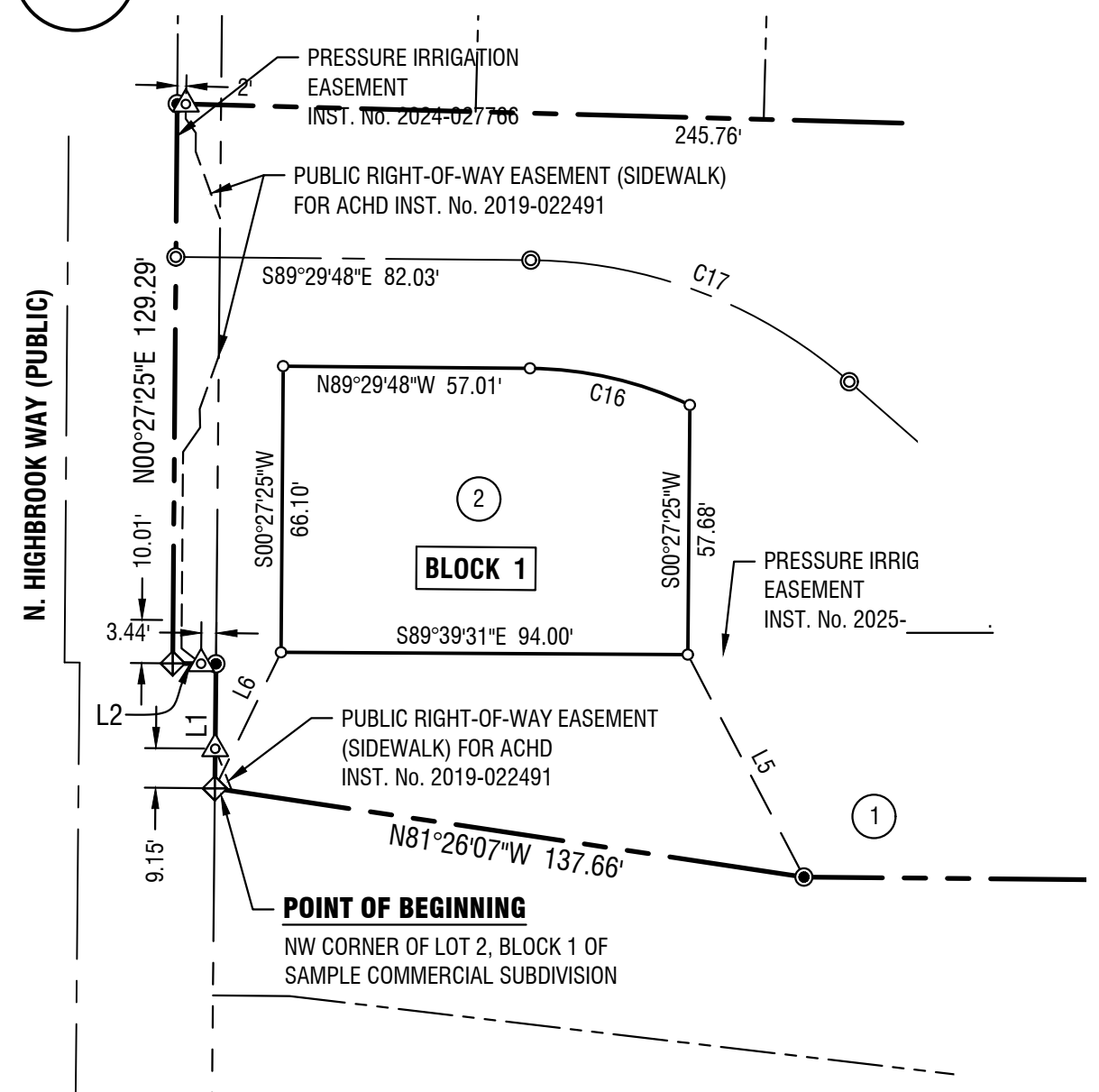


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Final Plat for Addington Subdivision - Phase 1

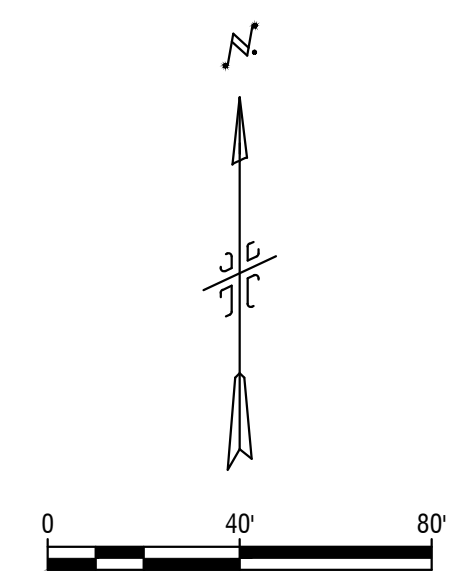


1 Easements for Star Sewer & Water District (SSWD), and Pressure Irrigation

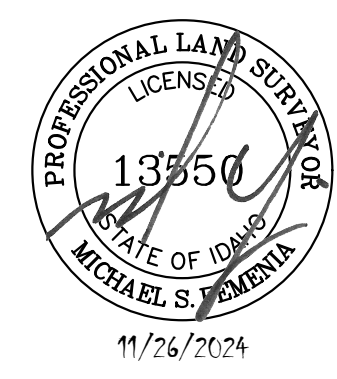


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L6	N25°55'59"E	34.95'



Scale: 1" = 40'
See Sheet 1 for Notes & Legend



462 East Shore Drive, Suite 100
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2 Easements for Ada County Highway District, and Pressure Irrigation

Final Plat for Addington Subdivision - Phase 1

Certificate of Owners

KNOW ALL PERSONS BY THESE PRESENTS: THAT THE UNDERSIGNED, IS THE OWNER OF THE REAL PROPERTY HEREAFTER DESCRIBED:

A PARCEL OF LAND BEING A RE-SUBDIVISION OF A PORTION OF BLOCK 8 OF THE SECOND AMENDED PLAT OF THE TOWNSITE OF STAR, AS SAME IS SHOWN ON THE OFFICIAL PLAT THEREOF, AT BOOK 3, PAGE 138 OF PLATS, ADA COUNTY RECORDS AND A PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH ONE QUARTER CORNER OF SAID SECTION 7, (FROM WHICH THE SOUTHEAST CORNER OF SAID SECTION 7 BEARS SOUTH 88° 16' 03" EAST, 2640.76 FEET DISTANT); THENCE ON THE NORTH-SOUTH MID-SECTION LINE OF SAID SECTION 7, NORTH 00°31'36" EAST, 885.62 FEET, TO THE NORTHWESTERLY CORNER OF THE SAMPLE COMMERCIAL SUBDIVISION, AS SAME IS SHOWN ON THE OFFICIAL PLAT THEREOF, AT BOOK 125, PAGE 19927 OF PLATS, ADA COUNTY RECORDS, AND THE POINT OF BEGINNING;
THENCE CONTINUING ON SAID MID-SECTION LINE, NORTH 00° 31' 36" EAST, 28.77 FEET;
THENCE LEAVING SAID MID-SECTION LINE, NORTH 89° 27' 08" WEST, 10.00 FEET, TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF NORTH Highbrook Way;
THENCE ON SAID EASTERLY RIGHT OF WAY LINE, NORTH 00° 27' 25" EAST, 129.29 FEET, TO THE SOUTHWESTERLY CORNER OF BLOCK 2 OF ENDSLEY COURT SUBDIVISION, AS SAME IS SHOWN ON THE OFFICIAL PLAT THEREOF, AT BOOK 117, PAGE 17841 OF PLATS, ADA COUNTY RECORDS;
THENCE ON THE SOUTH BOUNDARY LINE OF SAID BLOCK 2, SOUTH 88° 28' 28" EAST, 760.19 FEET;
THENCE LEAVING SAID SOUTH BOUNDARY LINE, SOUTH 00° 29' 03" WEST, 21.03 FEET;
THENCE SOUTH 87° 57' 28" EAST, 17.33 FEET;
THENCE SOUTH 02° 02' 32" WEST, 67.27 FEET;
THENCE SOUTH 26° 48' 43" EAST, 25.00 FEET;
THENCE SOUTH 63° 11' 17" WEST, 59.70 FEET TO A POINT OF CURVATURE;
THENCE 58.69 FEET ON THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 123.00 FEET, A CENTRAL ANGLE OF 27° 20' 19", AND WHOSE CHORD BEARS SOUTH 76° 51' 27" WEST, 58.13 FEET;
THENCE NORTH 89° 28' 24" WEST, 19.87 FEET;
THENCE SOUTH 00° 31' 36" WEST, 11.97 FEET, TO THE NORTHEASTERLY CORNER OF SAID SAMPLE COMMERCIAL SUBDIVISION;
THENCE ON THE NORTH BOUNDARY LINE OF SAID SAMPLE COMMERCIAL SUBDIVISION, NORTH 89° 28' 24" WEST, 511.26 FEET;
THENCE CONTINUING ON SAID NORTH BOUNDARY LINE, NORTH 81° 26' 07" WEST, 137.66 FEET TO THE POINT OF BEGINNING.

THE ABOVE-DESCRIBED PARCEL CONTAINS 2.93 ACRES, MORE OR LESS.

IT IS THE INTENTION OF THE UNDERSIGNED TO HEREBY INCLUDE THE ABOVE DESCRIBED PROPERTY IN THIS PLAT AND TO DEDICATE TO THE PUBLIC THE PUBLIC STREETS AS SHOWN ON THIS PLAT. THE PRIVATE ROADS AND THE EASEMENTS AS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC. HOWEVER, THE RIGHT TO USE SAID PRIVATE ROADS AND EASEMENTS IS HEREBY PERPETUALLY RESERVED FOR PUBLIC UTILITIES AND SUCH OTHER USES AS DESIGNATED WITHIN THIS PLAT AND NO PERMANENT STRUCTURES ARE TO BE ERRECTED WITHIN THE LINES OF SAID EASEMENTS. ALL LOTS WITHIN THIS PLAT WILL BE ELIGIBLE TO RECEIVE WATER AND SEWER SERVICE FROM AN EXISTING STAR SEWER AND WATER DISTRICT MAIN LINE LOCATED IN THE SUBJECT SUBDIVISION, AND STAR SEWER AND WATER DISTRICT, HAS AGREED IN WRITING TO SERVE ALL OF THE LOTS WITHIN THIS SUBDIVISION.

STC DEVELOPMENT, LLC an IDAHO LIMITED LIABILITY COMPANY

BY: P. ERIC DAVIS
MANAGER

Acknowledgment

STATE OF)
) S.S.
COUNTY OF)

ON THIS _____ DAY OF _____, _____, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED P. ERIC DAVIS, KNOWN OR IDENTIFIED TO ME TO BE THE MANAGER OF SAID LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE WITHIN INSTRUMENT ON BEHALF OF SAID LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED TO ME THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME.

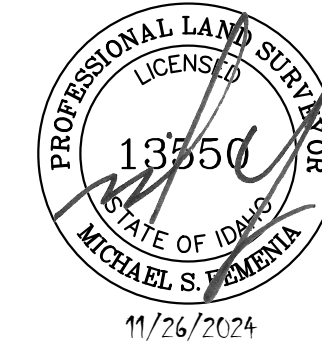
IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR _____
RESIDING IN _____

MY COMMISSION EXPIRES _____

Certificate of Surveyor

I, MICHAEL S. FEMENIA, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF IDAHO, AND THAT THIS PLAT AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.



462 East Shore Drive, Suite 100
Eagle, ID 83616
208-939-4041

Final Plat for Addington Subdivision - Phase 1

Approval of Central District Health

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE-IMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

CENTRAL DISTRICT HEALTH

Approval of Ada County Highway District

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE ____ DAY OF _____, IN THE YEAR 20 ____.

ADA COUNTY HIGHWAY DISTRICT

PRESIDENT

Approval of City Engineer

I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO,
ON THIS DAY _____, HEREBY APPROVE APPROVE THIS PLAT.

CITY ENGINEER

Approval of City of Star

I, THE UNDERSIGNED, _____, CITY CLERK IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO,
DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE CITY COUNCIL HELD ON THE ____ DAY OF _____,
IN THE YEAR 20 ____, THIS PLAT WAS DULY ACCEPTED AND APPROVED.

CITY OF STAR CLERK

Certificate of County Surveyor

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR FOR ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

COUNTY SURVEYOR

PLS _____

DATE _____

Certificate of the County Treasurer

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS OF IDAHO CODE 50-1308 DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

DATE

COUNTY TREASURER

County Recorder's Certificate

STATE OF IDAHO)
) SS
COUNTY OF ADA)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF THE LAND GROUP, INC.

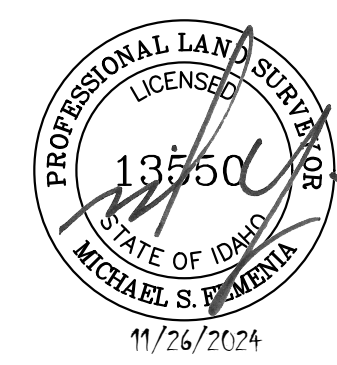
AT ____ MINUTES PAST ____ O'CLOCK ____ M., ON THIS ____ DAY OF _____, IN THE YEAR 20 ____.

IN BOOK ____ OF PLATS AT PAGES ____ THROUGH _____, INSTRUMENT No. _____.

DEPUTY

EX-OFFICIO RECORDER

FEE: _____



462 East Shore Drive, Suite 100
Eagle, ID 83616
208-939-4041

Sheet Notes:

- SEE SHEET L1.00 FOR LANDSCAPE AND STREET TREE NOTES.
- SEE SHEET L1.50 FOR DETAILS.

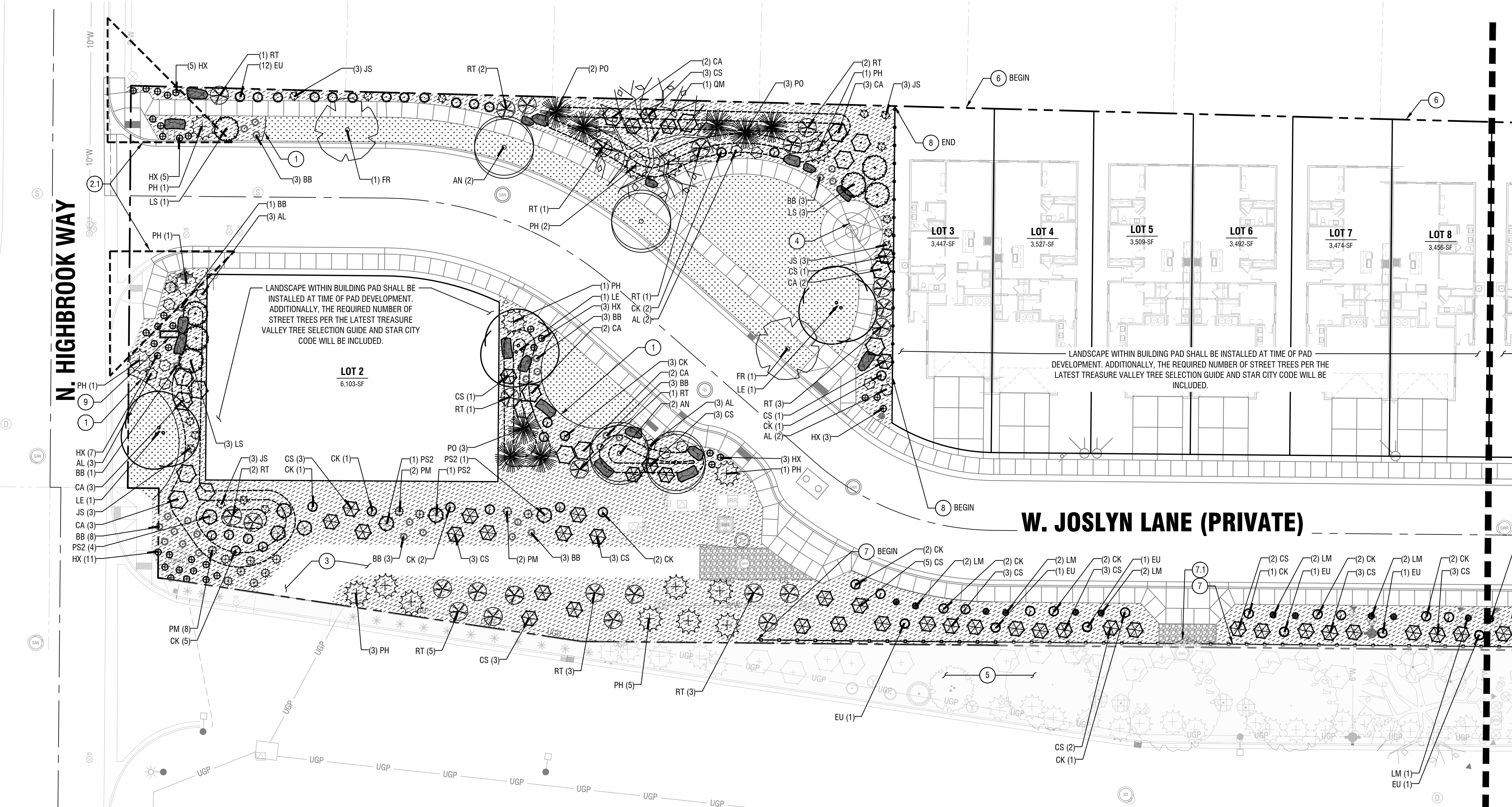
Material Legend:

- 70/30 KENTUCKY BLUE/PERENNIAL RYE TURF SOD
- 4"-DEPTH, 1" BLACK & TAN ROCK MULCH
- LANDSCAPE BERM, 1' CONTOUR INTERVAL
- LARGE LANDSCAPE BOULDERS, 4'-8" DIA. TYP. PER DETAIL 4/L1.50

Keynotes:

- PLANTER CUT EDGE PER DETAIL 1/L1.50.
- CLEAR VISION TRIANGLE. ALL IMPROVEMENTS WITH VISION TRIANGLE SHALL CONFORM TO CITY CODE.
- MAINTENANCE ROAD FOR GRAVITY IRRIGATION OR PUBLIC UTILITY, REFER TO UTILITY PLAN OR MORE INFORMATION.
- 8' X 8' SHADE STRUCTURE WITH TABLE, BY DEVELOPER.
- LANDSCAPE IMPROVEMENTS PREVIOUSLY INSTALLED BY ADJACENT DEVELOPMENT, RETAIN & PROTECT.
- INSTALL VINYL SCREEN EXTENSION FENCE ON PROJECT SIDE OF EXISTING FENCE. SEE DETAIL 6/L1.50.
- INSTALL 9-FT TALL VINYL SCREEN FENCE PER DETAIL 6/L1.50.
1. 8-FT WIDE TOTAL DOUBLE SWING GATE.
- 4-FT TALL WROUGHT IRON FENCE TO BE INSTALLED WITH HOUSE CONSTRUCTION.
- FUTURE SUBDIVISION SIGN FOR REFERENCE ONLY.

CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.



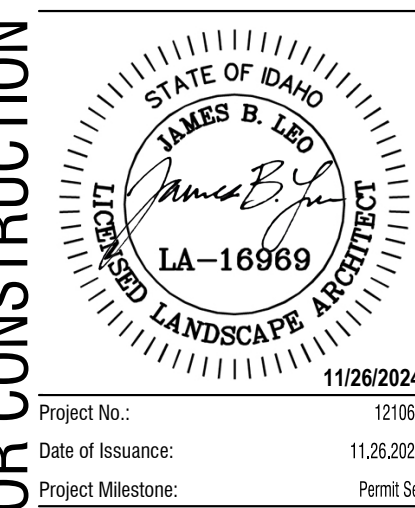
Landscape Plans - Area A
Horizontal Scale: 1" = 20'

**Addington Subdivision - Phase 1
STC Development**

NE Corner of N. Highbrook Way & W. Sample Farm Drive
Star, Idaho 83669

Revisions

1.	
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Project No.: 121064
Date of Issuance: 11/26/2024
Project Milestone: Permit Set

**Landscape Plans
Area A**

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
TREES					
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	CLASS II; MATURITY: 35' H X 25' W
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM / PRAIRIE SPIRE ASH	2" CAL.	B&B	CLASS II; MATURITY: 40' H X 20' W
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE	2" CAL.	B&B	CLASS III; MATURITY: 55' H X 25' W
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	2" CAL.	B&B	CLASS II; MATURITY: 50' H X 8' W
	PO	PINUS NIGRA 'OREGON GREEN' / OREGON GREEN PINE	6' HT.	B&B	CONIFEROUS; MATURITY: 18' H X 12' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	QM	QUERCUS MACROCARPA / BURR OAK	2" CAL.	B&B	CLASS III; MATURITY: 50' H X 40' W
SHRUBS					
	AL	ARONIA MELANOCARPA 'UCONNAM165' TM / LOW SCAPE MOUND BLACK CHOKEBERRY	3 GAL.		MATURITY: 1.5' H X 3.5' W
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL.		MATURITY: 2.5' H X 2.5' W
	CA	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.		MATURITY: 5' H X 5' W
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.		MATURITY: 4' H X 3' W
	CS	CORNUS ALBA 'SIBIRICA' / REDBARK DOGWOOD	5 GAL.		MATURITY: 9' H X 5' W
	EU	EUONYMUS JAPONICUS 'GREENSPIRE' / GREENSPIRE UPRIGHT EUONYMUS	2 GAL.		MATURITY: 6' H X 3' W
	HX	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL.		MATURITY: 2' H X 2' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.		MATURITY: 15H X 3'W
	LM	LAVANDULA ANGSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER	1 GAL.		MATURITY: 2' H X 2' W
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE	2 GAL.		MATURITY: 2' H X 6' W
	PM	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	2 GAL.		MATURITY: 3' H X 3' W
	PS2	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMER WINE® NINEBARK	5 GAL.		MATURITY: 5H X 5W
	RT	RHUS TYPHINA 'BAILTIGER' / TIGER EYE STAGHORN SUMAC	5 GAL.		MATURITY: 6'W X 6'H

DATE PLOTTED: 11/26/2024 11:26:24 AM
PLOTTER: HP DesignJet T1100e
SCALE: 1/8" = 1'-0"
SHEET: L1.01
PROJECT: Addington Subdivision - Phase 1 STC Development



Irrigation Execution:

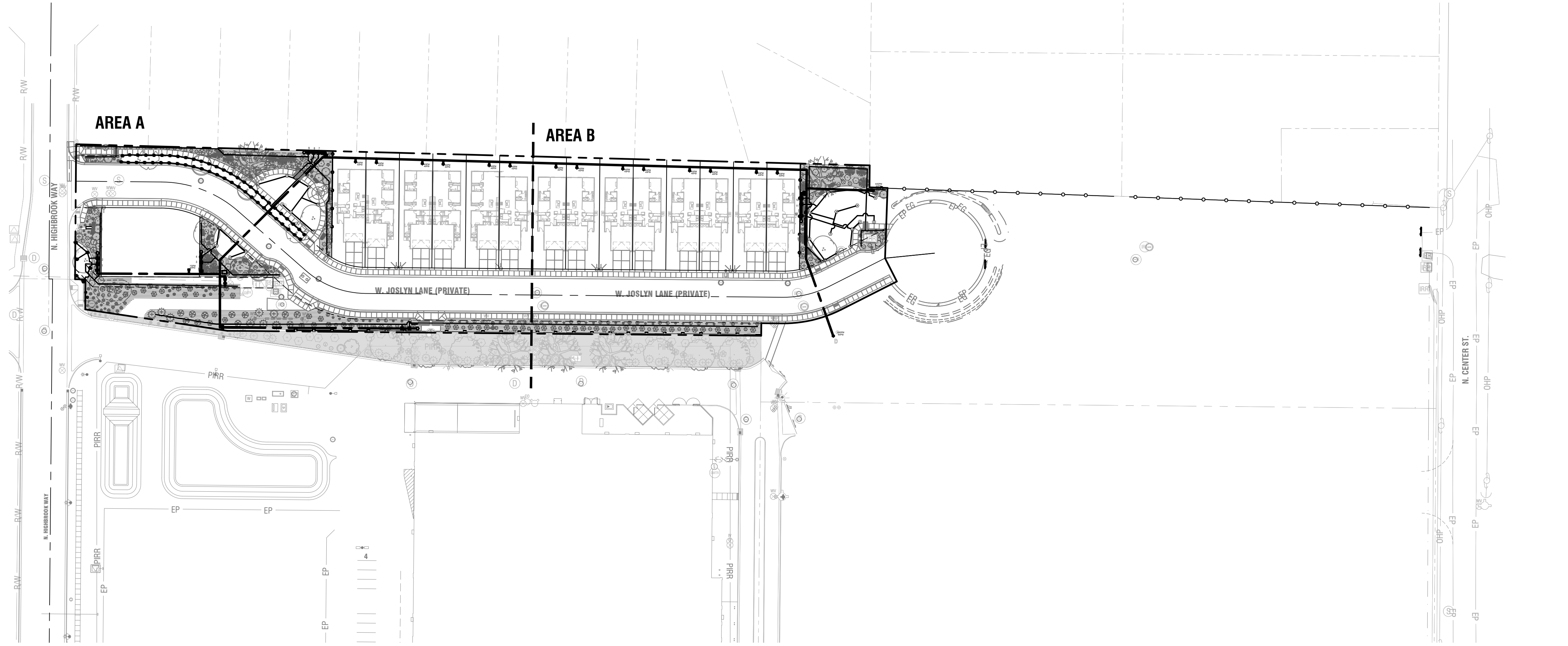
- A. REMOTE CONTROL VALVES:
 - A.A. INSTALLED (1) REMOTE CONTROL VALVE PER VALVE BOX. ENSURE THAT ADEQUATE SPACE IS PROVIDED AROUND ENTIRE VALVE FOR EASE OF MAINTENANCE. ROUND VALVE BOXES ARE NOT PERMITTED. VALVE BOXES SHALL BE GREEN OR BLACK WITH GREEN LIDS.
- B. IRRIGATION CONTROL WIRE:
 - B.A. ALL WIRE SPLICES SHALL BE INSTALLED WITH A WATERPROOF WIRE CONNECTERS AND DBY/R CAP OR BLAZING NUT WIRE SPLICE CONNECTOR.
 - B.B. ALL WIRE SPLICES SHALL BE LOCATED IN VALVE BOXES AND INDICATED ON AS-BUILT DRAWINGS. PROVIDE AS A MINIMUM, 30' OF EXTRA WIRE AT ALL WIRE SPLICES AND REMOTE CONTROL VALVE CONNECTIONS.
 - B.C. CONTROL WIRE SHALL BE INSTALLED WITH PROPOSED MAINLINE. IF CONTROL WIRE LEAVES PIPING TRENCH, WIRE SHALL BE INSTALLED AT A MINIMUM DEPTH OF 12".
- C. PIPING (USE THE FOLLOW):
 - C.A. 2-1/2" AND SMALLER | SDR 21 SCH. 40 PVC, SOLVENT-CEMENT JOINTS.
 - C.B. 3" AND LARGER | SDR 26 CLASS 200 RUBBER GASKETED PVC WITH DUCTILE IRON JOINT RESTRAINT SYSTEM, LEEMCO OR APPROVED EQUAL.
 - C.C. TRENCHES SHALL BE PHOTO DOCUMENTED AND SUBMITTED TO LANDSCAPE ARCHITECT PRIOR TO BACKFILLING.
 - C.D. BACKFILL TRENCHES CONSISTING OF SAND, FINE GRAVEL OR SELECT EARTH FREE OF LARGE LUMPS OR ROCKS LARGER THAN 3/4" SHALL BE USED IN AND AROUND INSTALLED PIPE.

Drip Irrigation Notes:

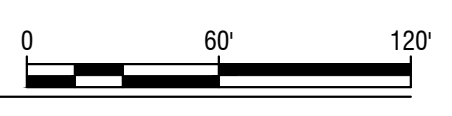
- A. ALL PLANTER BEDS ARE TO BE IRRIGATED W/ DRIP IRRIGATION AS INDICATED ON PLANS. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE DRIP SYSTEM AS PER MANUFACTURERS RECOMMENDATIONS AND THE FOLLOWING REQUIREMENTS:
 - A.A. EACH DRIP ZONE SHALL RECEIVE A DRIP ZONE CONTROL KIT WITH PRESSURE REGULATION AND 120 MESH (MIN.) STAINLESS STEEL FILTRATION SCREEN.
 - A.B. ALL TUBING IS TO BE STAKED DOWN WITH 6" SOIL STAPLES AT 24" INTERVALS (MIN.) ALL FITTINGS SHALL RECEIVE (2) STAPLES IN OPPOSING DIRECTIONS.
- B. IF WEED BARRIER FABRIC IS USED IN LANDSCAPE BEDS, DRIP IRRIGATION SHALL BE INSTALLED UNDERNEATH FABRIC AND STAPLED AS INDICATED ABOVE.
- C. ALL LATERAL LINES FROM VALVES TO HEADERS ARE TO BE BURIED AT DEPTH INDICATED IN TRENCH SECTION DETAIL, SIZE AS NECESSARY.
- D. AFTER INSTALLATION OF THE IRRIGATION SYSTEM THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER WITH AS-BUILT DRAWINGS AND INSTRUCTIONS FOR MAINTENANCE OF THE DRIP SYSTEM.

Irrigation Notes:

- A. SYSTEM DESIGN BASED ON THE ASSUMPTION OF THE AVAILABILITY OF 50 G.P.M. AND 90 P.S.I. AT THE POINT OF CONNECTION. COORDINATE WITH PLAN SHEET C4.00 SERIES ON CONNECTION TO EXISTING PIRR MAIN LINE.
- B. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- C. COORDINATE ALL IRRIGATION INSTALLATION OPERATIONS WITH CIVIL, MECHANICAL, AND ELECTRICAL ENGINEERING SHEETS.
- D. CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION CONDUIT AND SLEEVES UNDER HARD SURFACES WITH RESPECTIVE CONTRACTORS.
- E. ALL SLEEVES TO BE INSTALLED AS PART OF IRRIGATION CONTRACT. APPROXIMATE LOCATION OF SLEEVES ARE SHOWN ON THE IRRIGATION PLAN. FIELD VERIFY LOCATION. ALL ENDS OF SLEEVES TO BE TAPED OR GAPPED AND MARKED WITH A 2"x 4" PAINTED STAKE EXTENDING TO 24" ABOVE GRADE. STAKES ARE NOT TO BE REMOVED UNTIL THE IRRIGATION SYSTEM IS COMPLETE. ALL SLEEVES SHALL EXTEND A MINIMUM OF 18" BEYOND BACK OF CURB OR EDGE OF PAVEMENT. PROVIDE COMPACTED BACKFILL.
- F. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THIS WORK.
- G. IRRIGATION CONTROLLER(S) ARE TO BE LOCATED AS SHOWN ON PLAN. CONTROLLERS SHALL BE WIRED TO POWER SUPPLY BY A LICENSED ELECTRICIAN PER LOCAL CODES. IRRIGATION CONTRACTOR TO PROVIDE ALL REQUIRED CONNECTIONS TO 24 VOLT IRRIGATION CONTROL WIRE INSIDE THE BUILDINGS THROUGH APPROPRIATE SIZED CONDUIT.
- H. IRRIGATED AREAS CONTAINING VEGETATION WHICH POTENTIALLY MAY IMPEDE PERFORMANCE OF A POP-UP SPRINKLER AND/OR ROTOR HEADS ARE TO BE REPLACED WITH A 12" HIGH POP-UP HEADS.
- I. ALL ELECTRICAL WORK TO MEET OR EXCEED N.E.C., STATE CODES, LOCAL CODES, AND MANUFACTURER'S RECOMMENDATIONS.
- J. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ROCK AND DEBRIS BROUGHT TO THE SURFACE AS A RESULT OF TRENCHING OPERATIONS.
- K. CONTRACTOR SHALL REFER TO SPECIFICATIONS AND DETAIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- L. ALL 24 VOLT POWER WIRES SHALL BE #14 AWG COPPER. ALL ABOVE GROUND 120 VOLT AND 24 VOLT WIRE SHALL BE IN PVC CONDUIT. ALL 24 VOLT WIRES SHALL BE TAPED TOGETHER AT TEN FOOT (10'-0") INTERVALS.
- M. INSTALLATION SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL LAWS AND ORDINANCES.
- N. IRRIGATION CONTRACTOR SHALL PROVIDE AN AS-BUILT IRRIGATION PLAN UPON COMPLETION OF INSTALLATION AND PRIOR TO FINAL PAYMENT.
- O. THE ENTIRE SYSTEM SHALL BE GUARANTEED TO BE COMPLETE AND PERFECT IN EVERY DETAIL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ITS ACCEPTANCE; REPAIR OR REPLACEMENT OF ANY DEFECTS OCCURRING WITHIN THAT YEAR SHALL BE FREE OF EXPENSE TO THE OWNER.
- P. AS PART OF THIS CONTRACT, PERFORM AT NO EXTRA COST WINTERIZATION AND SPRING START UP OF THE SYSTEM DURING THE GUARANTEE PERIOD.
- Q. ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF THE QUALITY AND PERFORMANCE SPECIFIED, AND SHALL MEET THE REQUIREMENTS OF THIS SYSTEM. USE MATERIALS AS SPECIFIED, NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN PERMISSION OF THE OWNER.
- R. IRRIGATION CONTRACTOR SHALL MAKE NECESSARY MINOR FIELD ADJUSTMENTS TO SPRINKLER NOZZLES, SPRINKLERS, PIPE, AND OTHER IRRIGATION EQUIPMENT LOCATIONS TO FIT THE AS-BUILT SITE. ADJUST HEAD AND PIPE LOCATIONS AS REQUIRED TO AVOID DAMAGING EXISTING TREE ROOTS. ADJUSTMENTS SHALL ENSURE HEAD TO HEAD COVERAGE.
- S. IRRIGATION PIPING LAYOUT IS SCHEMATIC. WHERE LINES ARE SHOWN BELOW PAVEMENT ADJACENT TO LANDSCAPE AREAS, THEY ARE TO BE LOCATED IN THE LANDSCAPE AREA UNLESS SHOWN WITH A SLEEVE SYMBOL.
- S.A. IRRIGATION MAINLINE SHALL BE SLEEVED UNDER ALL HARDSCAPE. SLEEVING MAY NOT BE SHOWN FOR MAINLINE FOR GRAPHICAL PURPOSES.
- T. LOCATION OF EXISTING EQUIPMENT ARE SCHEMATIC IN NATURE. FIELD VERIFY ALL BASE AND EXISTING IRRIGATION ELEMENTS AND CONDITIONS PRIOR TO CONSTRUCTION AND PROVIDE NECESSARY ADJUSTMENTS.
- V. IN THE EVENT OF A DISCREPANCY, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
- W. CONTRACTOR SHALL SCHEDULE A MEETING WITH LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF IRRIGATION CONTROL SYSTEM TO DETERMINE PROCEDURES OF INSTALLATION OF IRRIGATION CONTROL SYSTEM.
- X. PIPE VELOCITIES SHALL NOT EXCEED 5 FT/SEC.
- Y. AREAS WHERE FULL CIRCLE HEADS ARE REQUIRED, NON-REVERSING CIRCLE HEADS SHALL BE INSTALLED. PARTIAL CIRCLE HEADS WITH REVERSING DIRECTION ARE PROHIBITED FOR USE OF 360° ROTATION.
- Z. PROVIDE AND INSTALL GROUNDING ALONG THE TWO WIRE PATH PER MANUFACTURERS RECOMMENDATIONS.



Irrigation Plans - Overall
 Horizontal Scale: 1" = 60'



**Addington Subdivision - Phase 1
STC Development**

NE Corner of N. Highbrook Way & W. Sample Farm Drive
Star, Idaho 83669

Revisions	DATE	BY
1.		

NOT FOR CONSTRUCTION

11/26/2024
 Project No.: 121064
 Date of Issuance: 11/26/2024
 Project Milestone: Permit Set

Irrigation Plans Overall

L2.00



Sheet Notes:

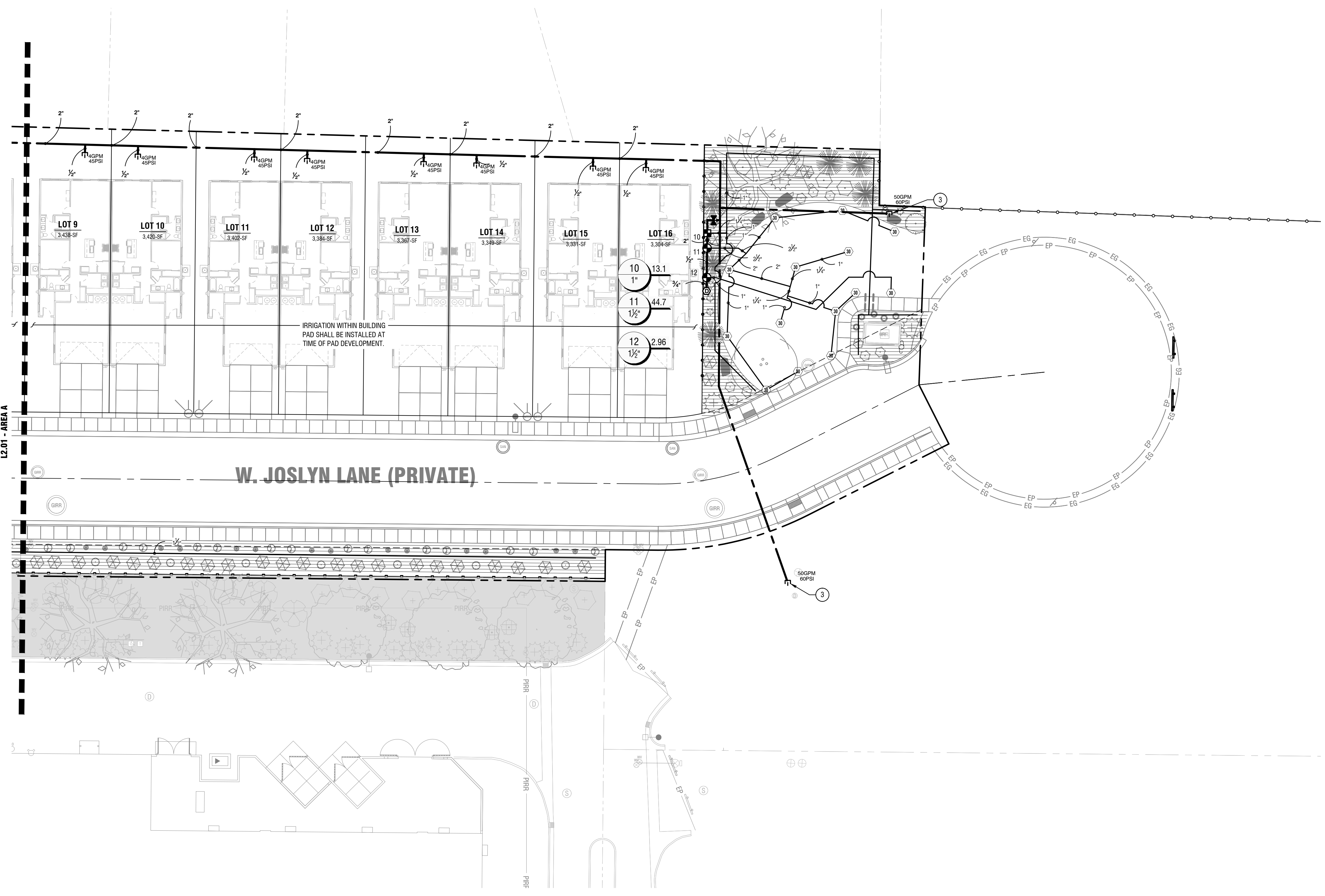
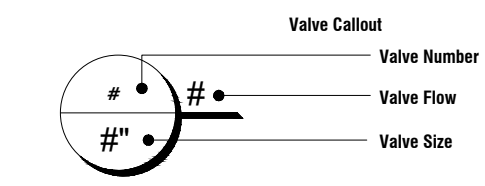
- SEE SHEET L2.00 FOR IRRIGATION SYSTEM NOTES.
- SEE SHEET L2.50 & L2.51 FOR IRRIGATION DETAILS.

Keynotes:

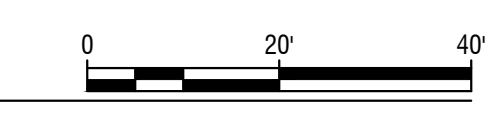
CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.

- POINT OF CONNECTION AT 4-IN PIRR STAR TOWN CENTER MAIN LINE. COORDINATE WITH PIRR PLAN SHEET C4.00 SERIES FOR NEW MAIN LINE ROUTING AND SIZE.
- INSTALL IRRIGATION CONTROLLER IN A STAINLESS STEEL ENCLOSURE IN THIS APPROXIMATE LOCATION. IRRIGATION CONTRACTOR SHALL PROVIDE ALL REQUIRED ELECTRICAL CONNECTIONS REQUIRED FOR A FULLY OPERATIONAL SYSTEM. CONTRACTOR SHALL CONNECT ALL LOW VOLTAGE AND 120 VOLT POWER WIRES. ALL ABOVE GRADE WIRES SHALL BE LOCATED IN RIGID STEEL CONDUIT. INSTALL (2) BLUE 14 GAUGE WIRES FROM THE CONTROLLER TO THE LAST VALVE FROM EACH CONTROLLER FOR FUTURE USE.
- STUB AND CAP IRRIGATION MAIN LINE AND IRRIGATION TWO-WIRE AT THIS LOCATION FOR FUTURE EXTENSION. STUB SHALL BE IN A 10-IN ROUND VALVE BOX.

IRRIGATION SCHEDULE			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	DETAIL
4	RAIN BIRD 1806-SAM-PRS ADJ TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	30	8/L2.50
5	RAIN BIRD 1806-SAM-PRS HE-VAN SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	30	8/L2.50
25	RAIN BIRD 5006-PL-PC-FC-MPR-SAM 25 TURF ROTOR. 6.0" POP-UP. PLASTIC RISER, WITH FLOW SHUT-OFF DEVICE. MATCHED PRECIPITATION ROTOR (MPR NOZZLE). ARC AND RADIUS AS PER SYMBOL. 25 FT - RED. 30 FT - GREEN. 35 FT - BEIGE. WITH SEAL-A-MATIC CHECK VALVE.	45	7/L2.50
■	RAIN BIRD XCZ-100-PRB-COM WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1IN. BALL VALVE WITH 1IN. PESB VALVE AND 1IN. PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 5 GPM-20 GPM.		9/L2.50
▨	AREA TO RECEIVE DRIPLINE NETA-FIM TLV-06-18 TECHLINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH CHECK VALVE. 0.6 GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART. WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. 17MM.		10/L2.50
⊕	RAIN BIRD PESB 1" - 1/2" - 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY. GLOBE CONFIGURATION. WITH SCRUBBER TECHNOLOGY FOR RELIABLE PERFORMANCE IN DIRTY WATER IRRIGATION APPLICATIONS.		6/L2.50
⊞	RAIN BIRD 44-RC 1IN. BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING. THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.		5/L2.50
⊟	SHUT OFF VALVE		3/L2.50
⊠	DRAIN VALVE		4/L2.50
⊡	RAIN BIRD ESP-LXD-LXMMSS-LXMMSSPED 50 STATION 2-WIRE. EXTERIOR STAINLESS STEEL PEDESTAL. WITH FLOW SENSING.		2/L2.51
⊞	RAIN BIRD IQ-NCC-EN IQ NCC ETHERNET CARTRIDGE UPGRADES ESP-LX SERIES CONTROLLERS TO IQ SATELLITE CONTROLLERS FOR CENTRAL CONTROL CONNECTIVITY. INCLUDES EMBEDDED ETHERNET NETWORK MODEM WITH RJ-45 PORT, AND PATCH CABLE. REQUIRES LAN NETWORK STATIC IP ADDRESS. ADD WIFI MODEM FOR WIRELESS CONNECTIVITY. USED FOR DIRECT OR SERVER SATELLITE APPLICATIONS.		
⊞	CAP FOR FUTURE USE CAP AT THE MAINLINE OR LATERAL LINE FOR FUTURE USE. THE PRESSURE AND FLOW PROVIDED TO THAT LOCATION ARE INDICATED NEXT TO THE CAP SYMBOL.		
⊞	POINT OF CONNECTION POINT OF CONNECTION AT EXISTING 6-IN PIRR MAIN LINE. COORDINATE WITH PLAN SHEET C4.00 SERIES.		
—	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 PVC SCH. 40 PIPE SHALL BE USED WITH SOLVENT WELD SCH. 40 FITTINGS FROM 1/2" - 2-1/2" PIPE SIZES. ALL PIPE 3" AND ABOVE SHALL BE CLASS 200 WITH DUCTILE JOINT RESTRAIN FITTINGS BY LEEMCO.		1/L2.50
—	IRRIGATION MAINLINE: PVC SCHEDULE 40 PVC SCH. 40 PIPE SHALL BE USED WITH SOLVENT WELD SCH. 40 FITTINGS FROM 1/2" - 2-1/2" PIPE SIZES. ALL PIPE 3" AND ABOVE SHALL BE CLASS 200 WITH DUCTILE JOINT RESTRAIN FITTINGS BY LEEMCO.		1/L2.50
—	PIPE SLEEVE: PVC CLASS 200 SDR 21 PIPE SLEEVE SHALL BE TWICE THE SIZE OF DESIGNED PIPE DIAMETER FOR MAINLINE AND 4" FOR LATERAL LINES. INSTALL ADDITIONAL 2" SLEEVE AT ALL MAINLINE SLEEVES FOR CONTROL WIRES OR WHERE CONTROL WIRE LEAVES MAINLINE ROUTE.		2/L2.50



Irrigation Plans - Area B
Horizontal Scale: 1" = 20'



**Addington Subdivision - Phase 1
STC Development**

NE Corner of N. Hightbrook Way & W. Sample Farm Drive
Star, Idaho 83669

Revisions

1.	
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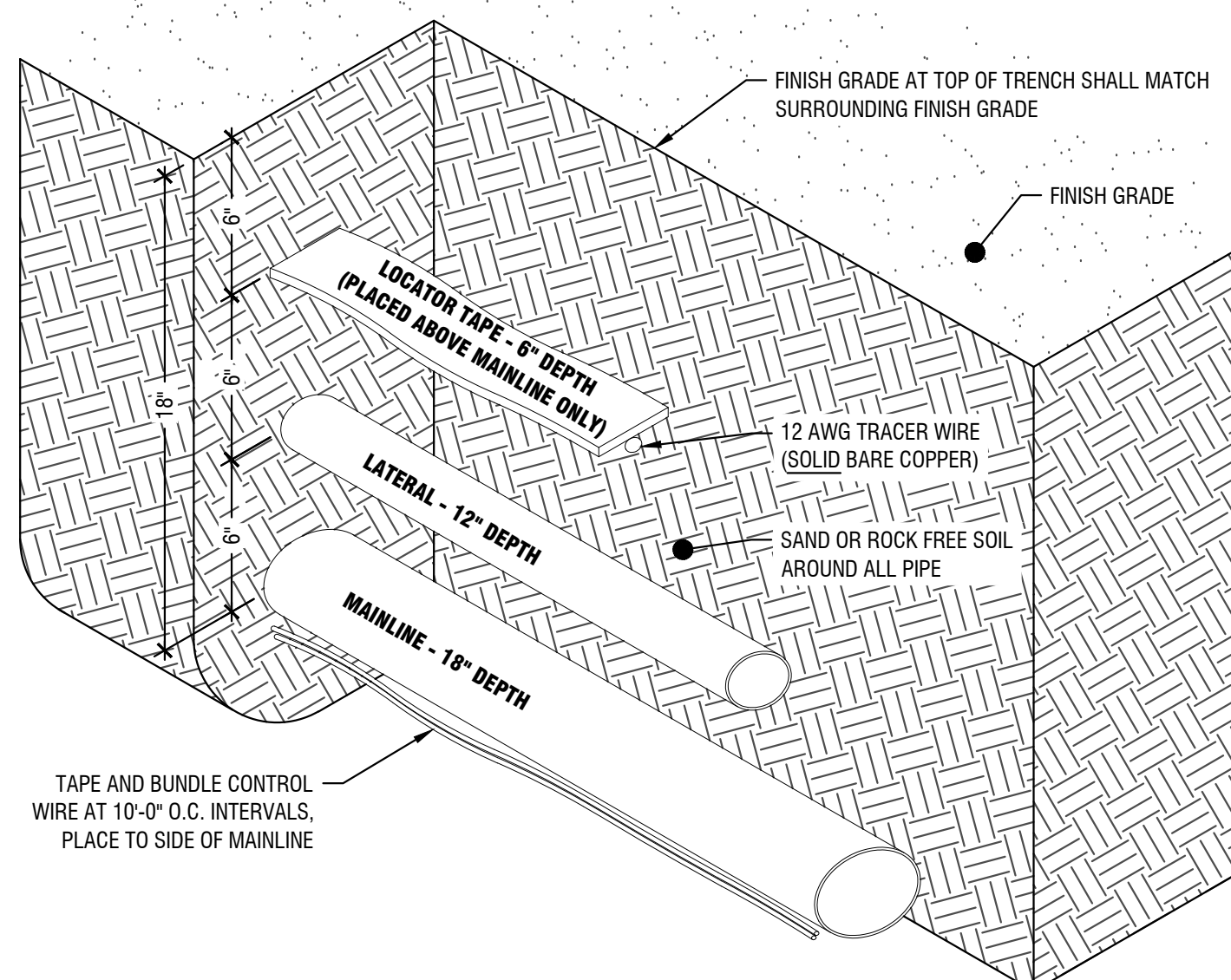
STATE OF IDAHO
JAMES B. LED
LA-16969
LANDSCAPE ARCHITECT

11/26/2024
Project No.: 121064
Date of Issuance: 11/26/2024
Project Milestone: Permit Set

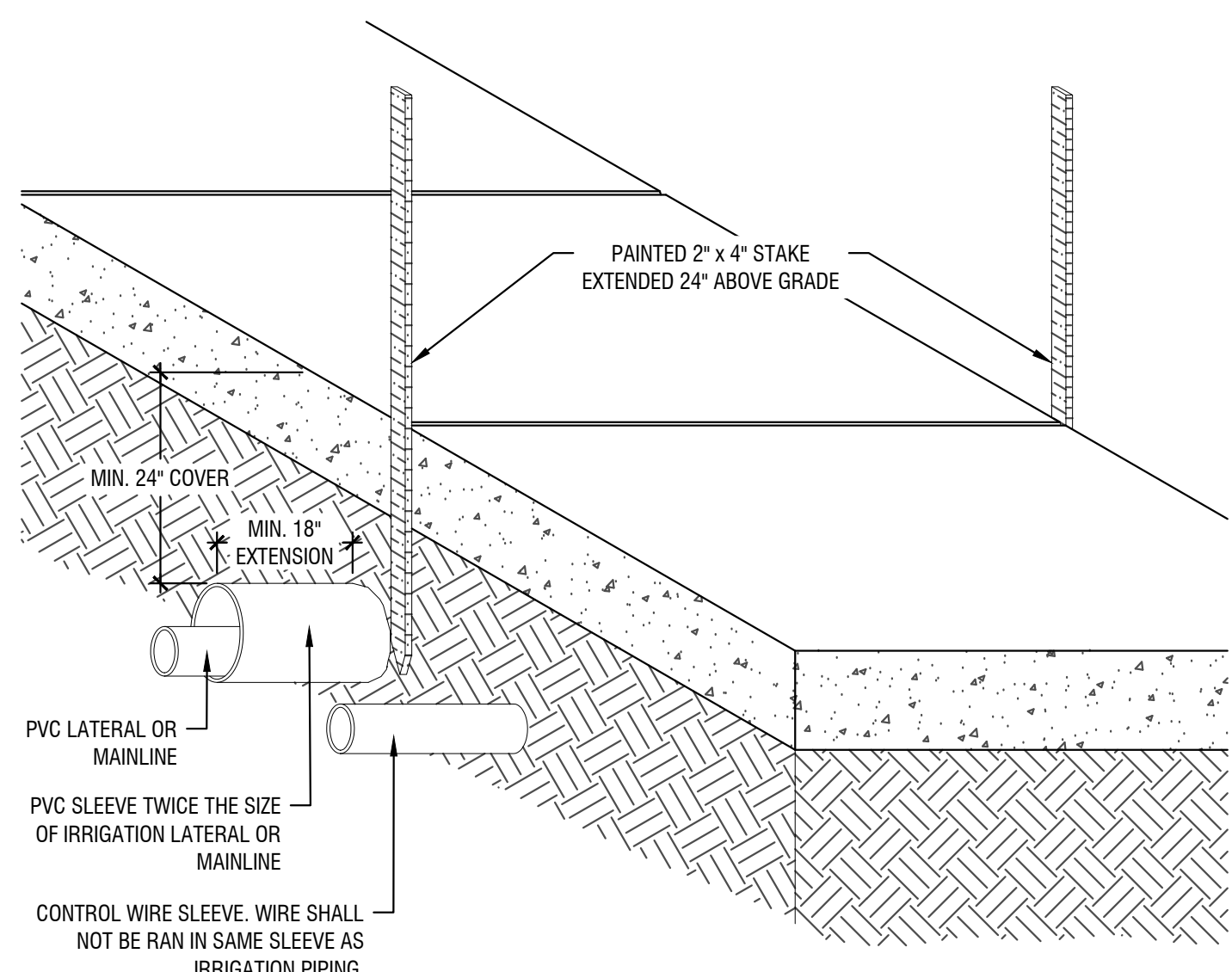
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**Irrigation Plans
Area B**

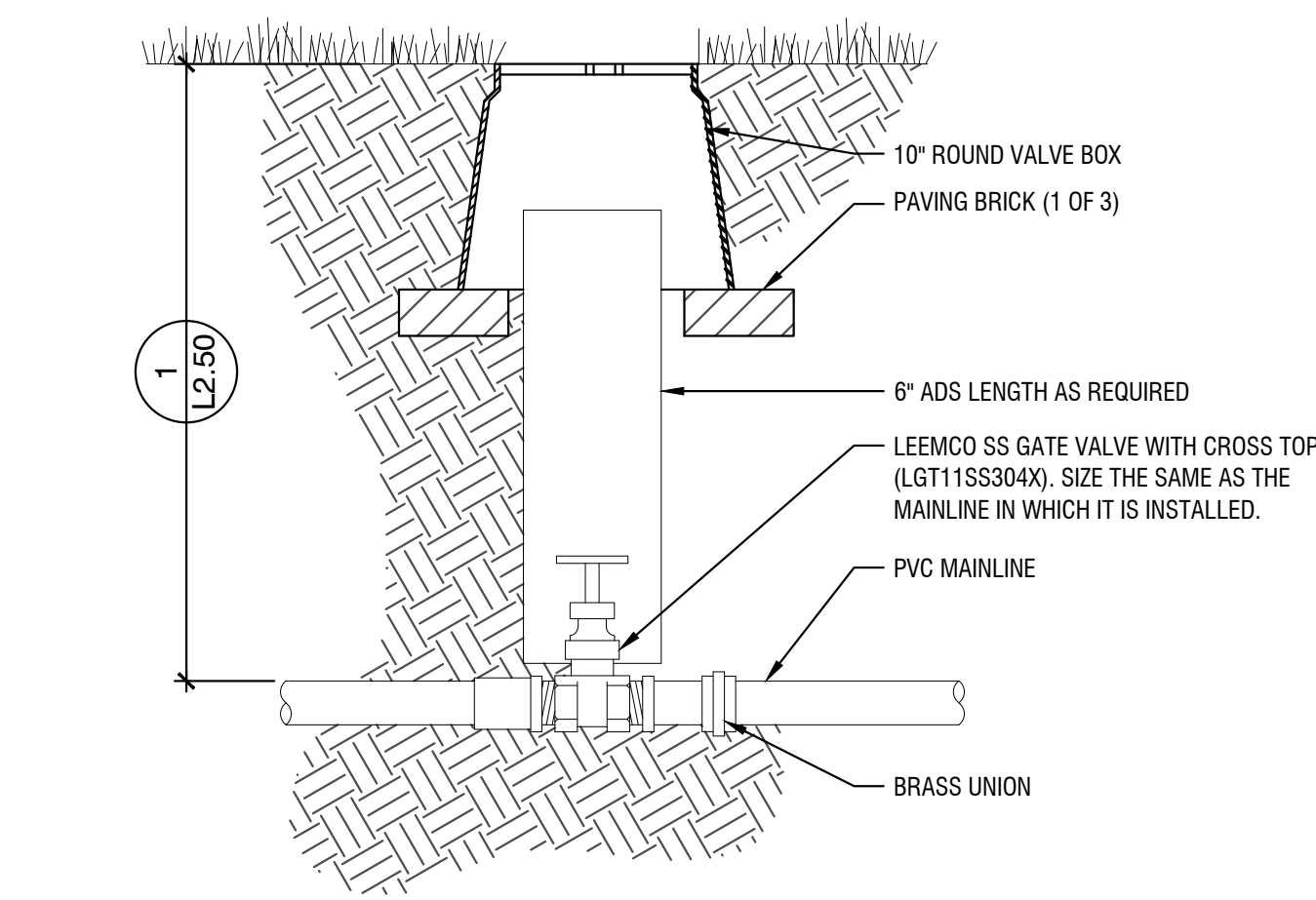
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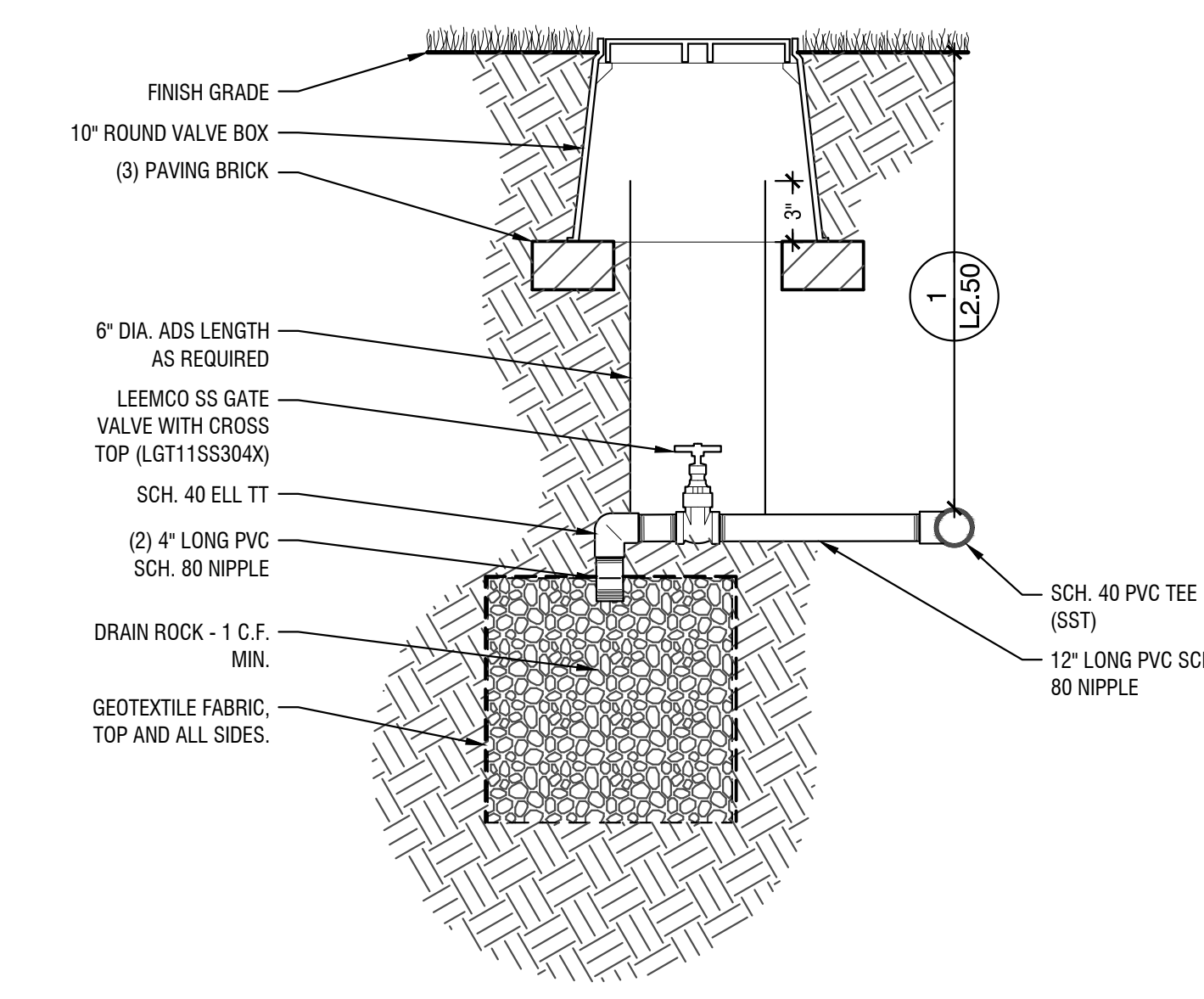
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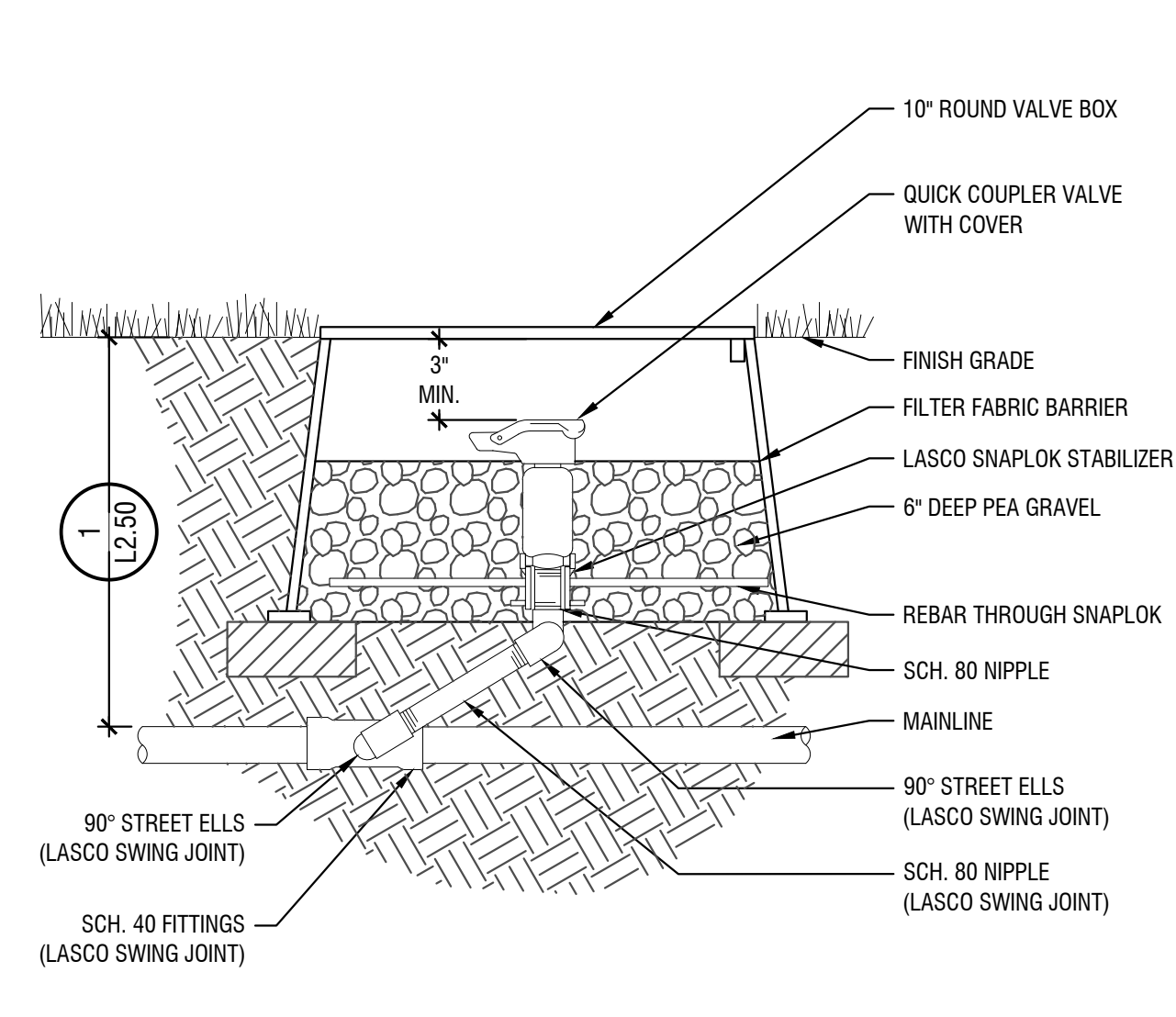
2 SLEEVING SECTION
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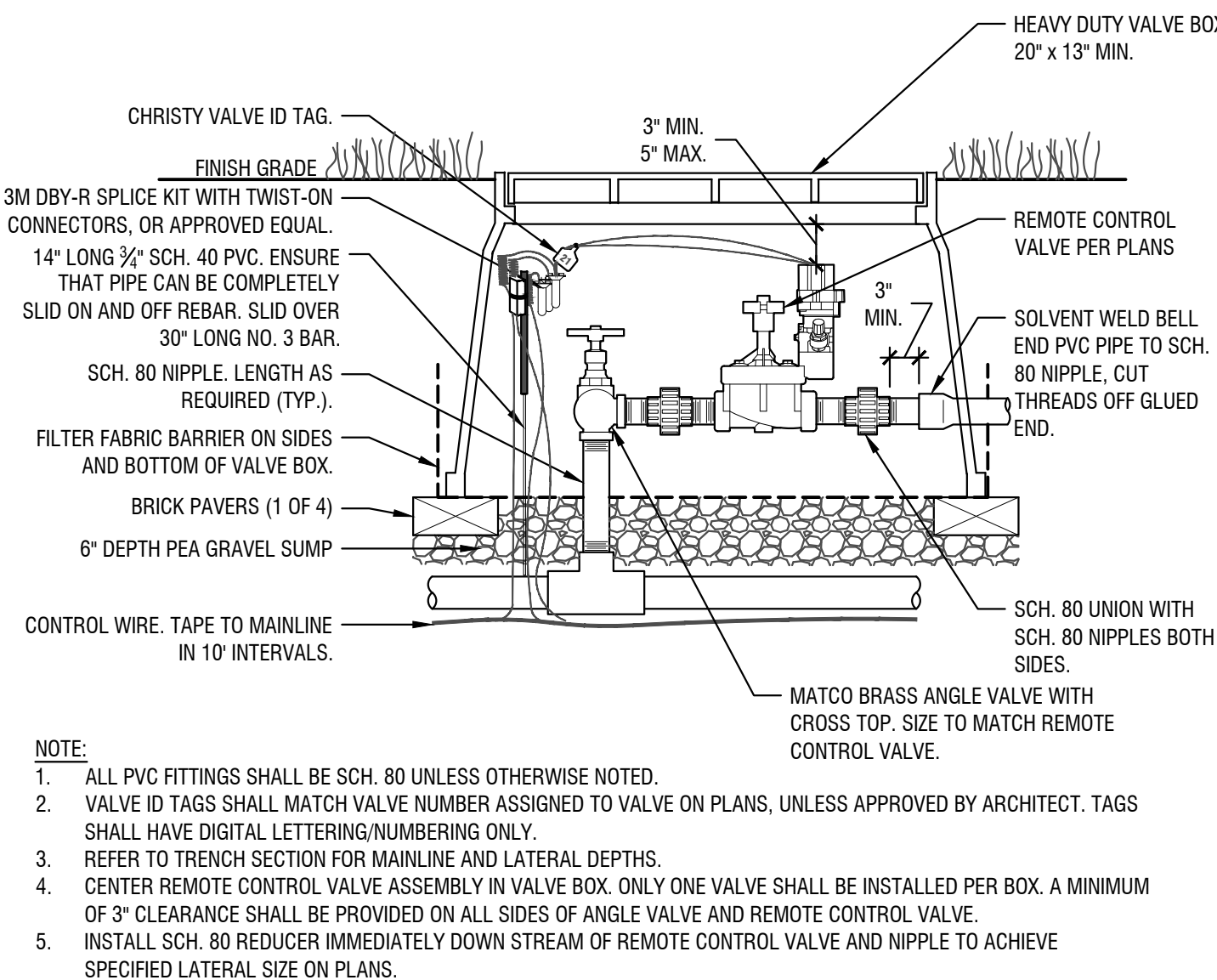
3 ISOLATION VALVE
SCALE: NTS



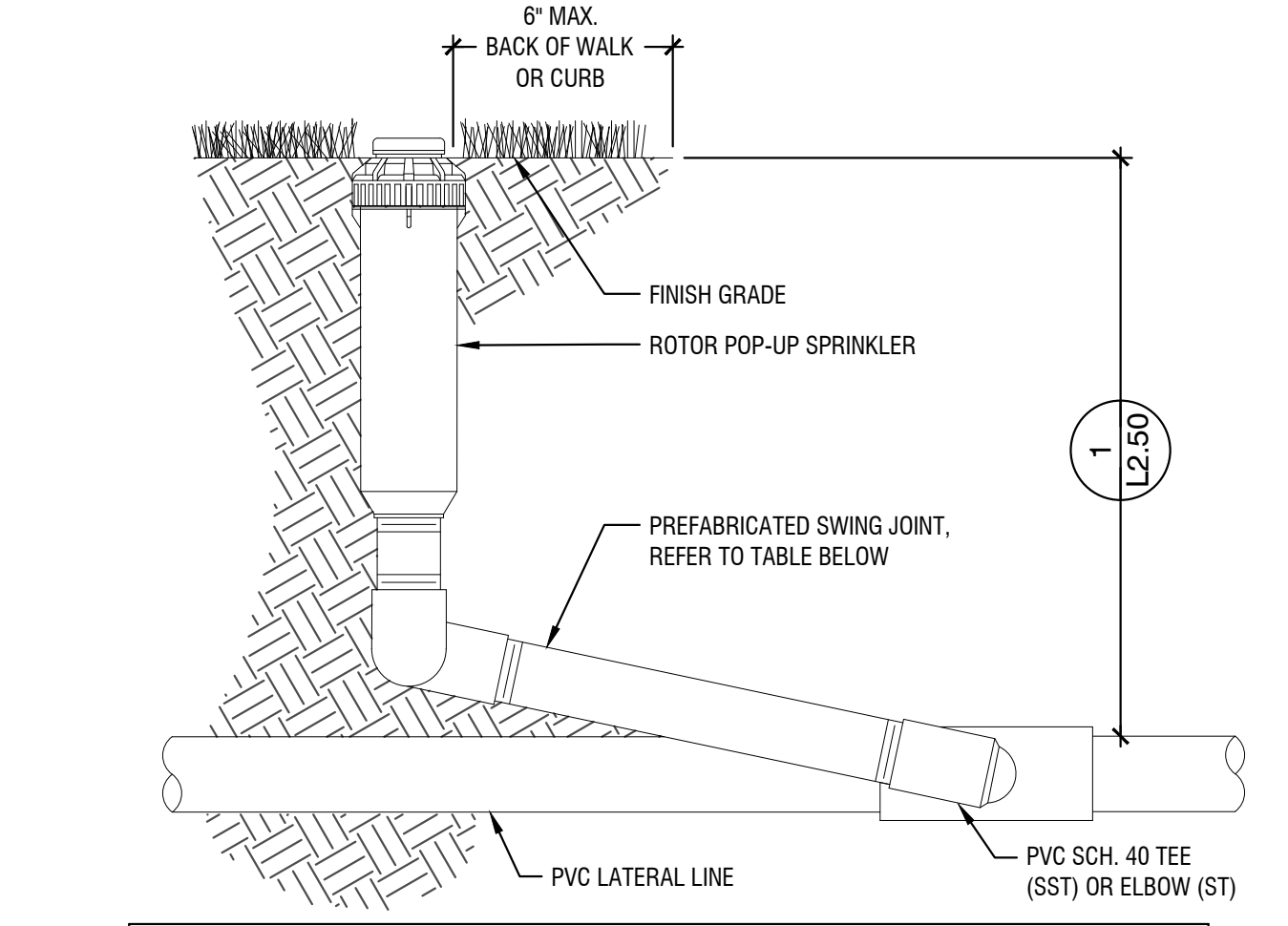
4 DRAIN VALVE
SCALE: NTS



5 QUICK COUPLER VALVE
SCALE: NTS

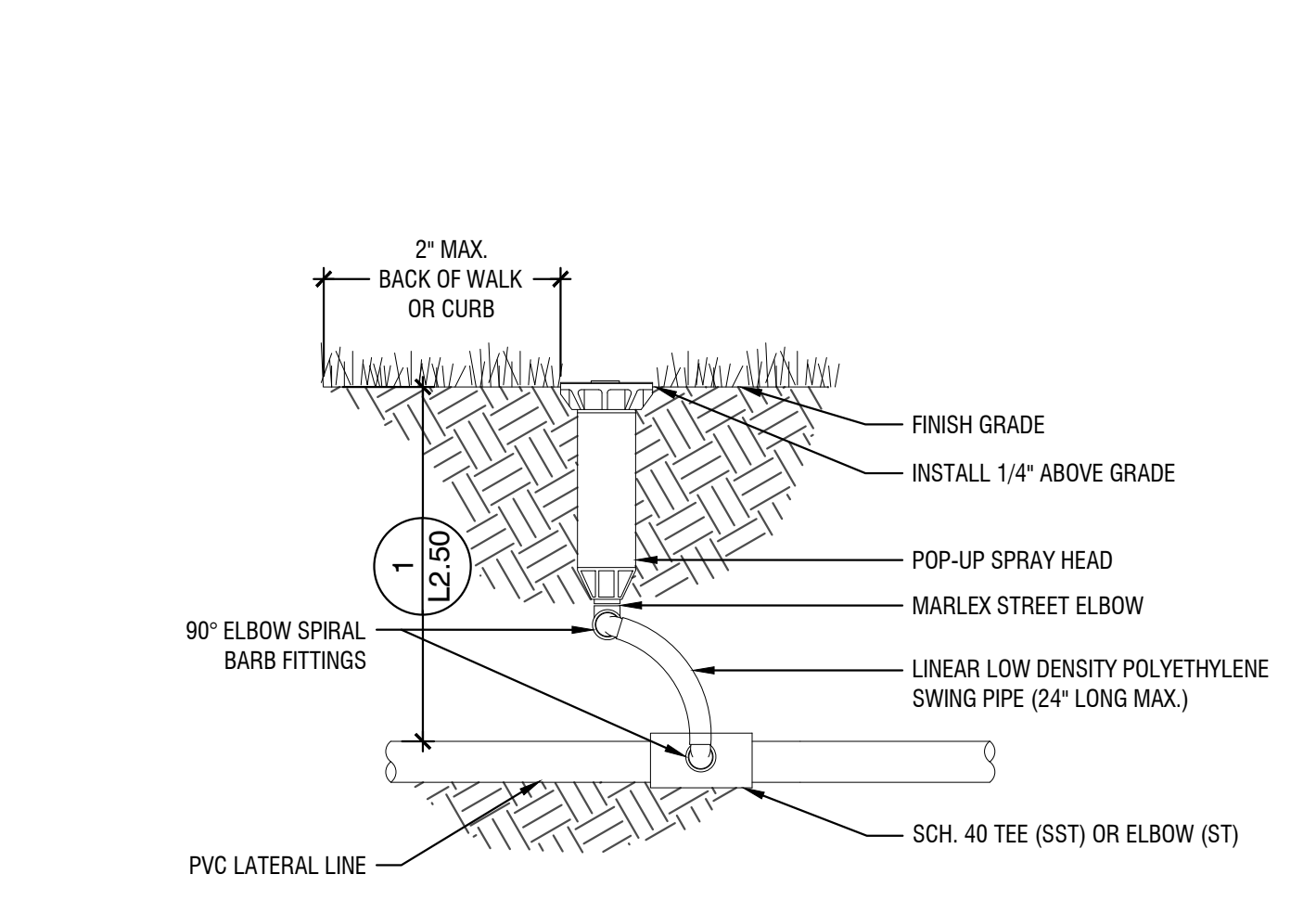


6 REMOTE CONTROL VALVES (2 WIRE)
SCALE: NTS

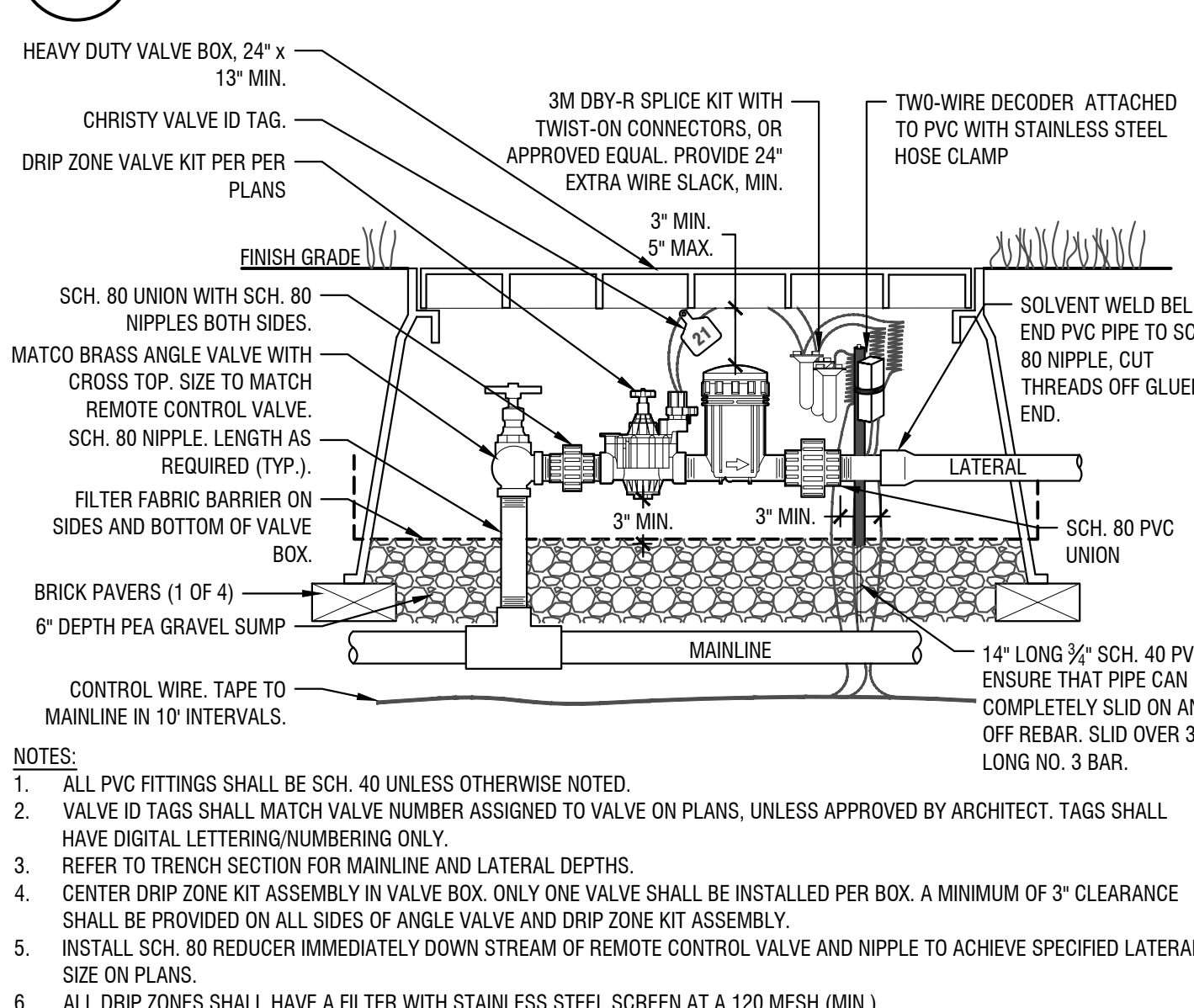


SWING JOINT			
ROTOR GPM	PRODUCT	SIZE	LENGTH
0 - 6	RAIN BIRD TSJ HUNTER HSL-0	3/4"	12" OR 18"
6 +	RAIN BIRD SJ HUNTER HSL-1	1"	12" OR 18"

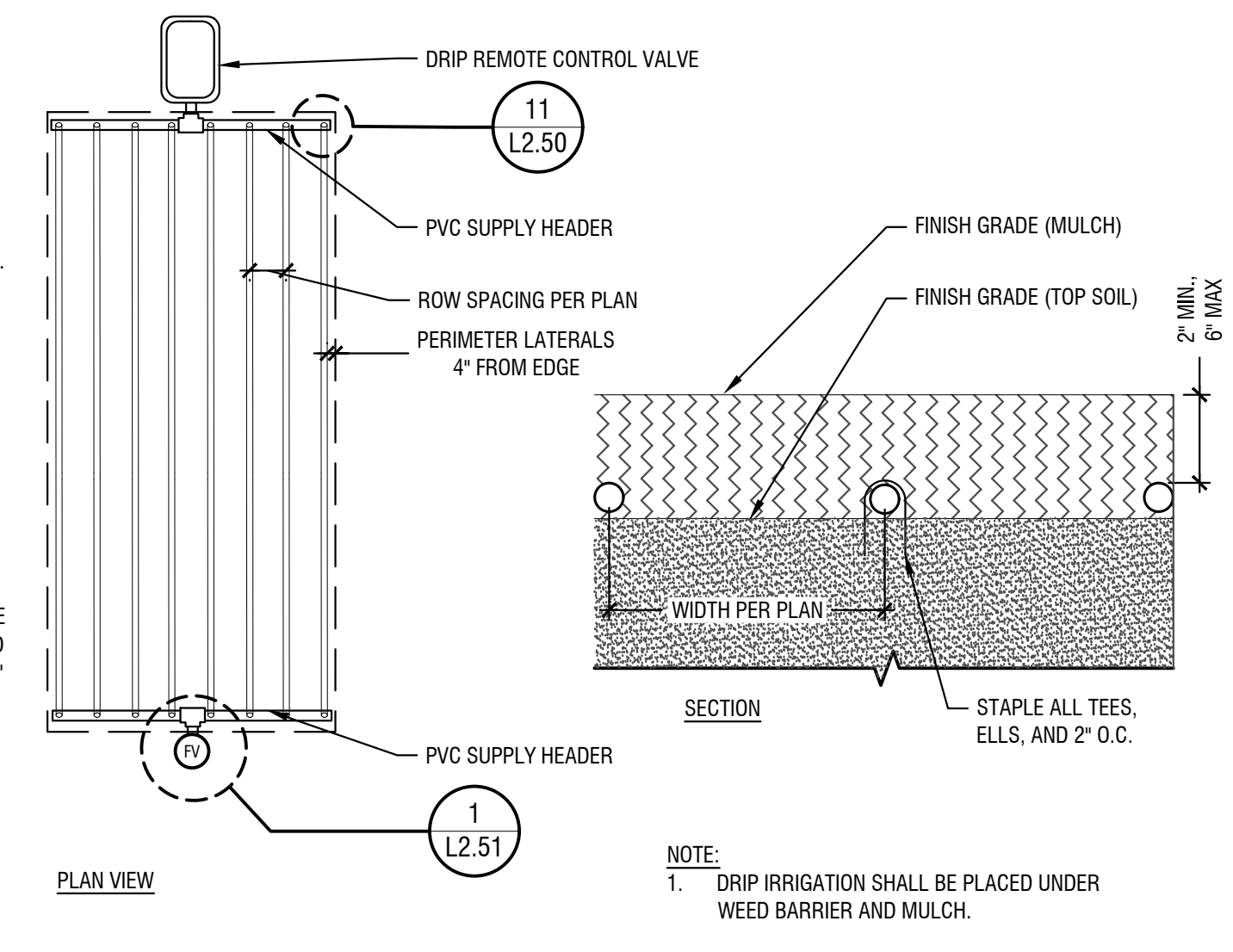
7 ROTOR SPRINKLER
SCALE: NTS



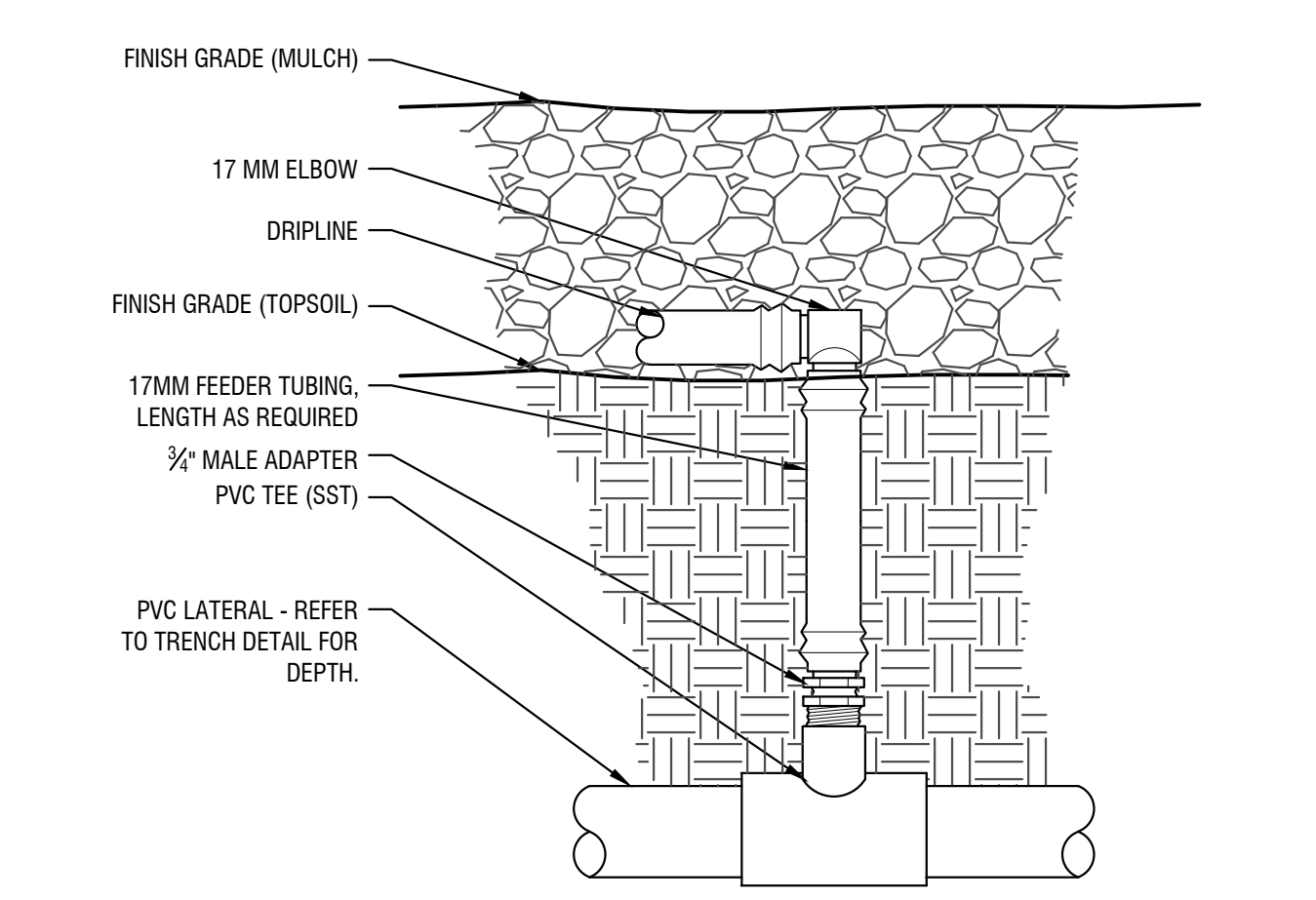
8 SPRAY HEAD SPRINKLER
SCALE: NTS



9 DRIPLINE LAYOUT
SCALE: NTS



10 DRIPLINE LATERAL CONNECTION
SCALE: NTS



11 DRIPLINE LATERAL CONNECTION
SCALE: NTS

**Addington Subdivision - Phase 1
STC Development**

NE Corner of N. Hightbrook Way & W. Sample Farm Drive
Star, Idaho 83669

NOT FOR CONSTRUCTION

Revisions

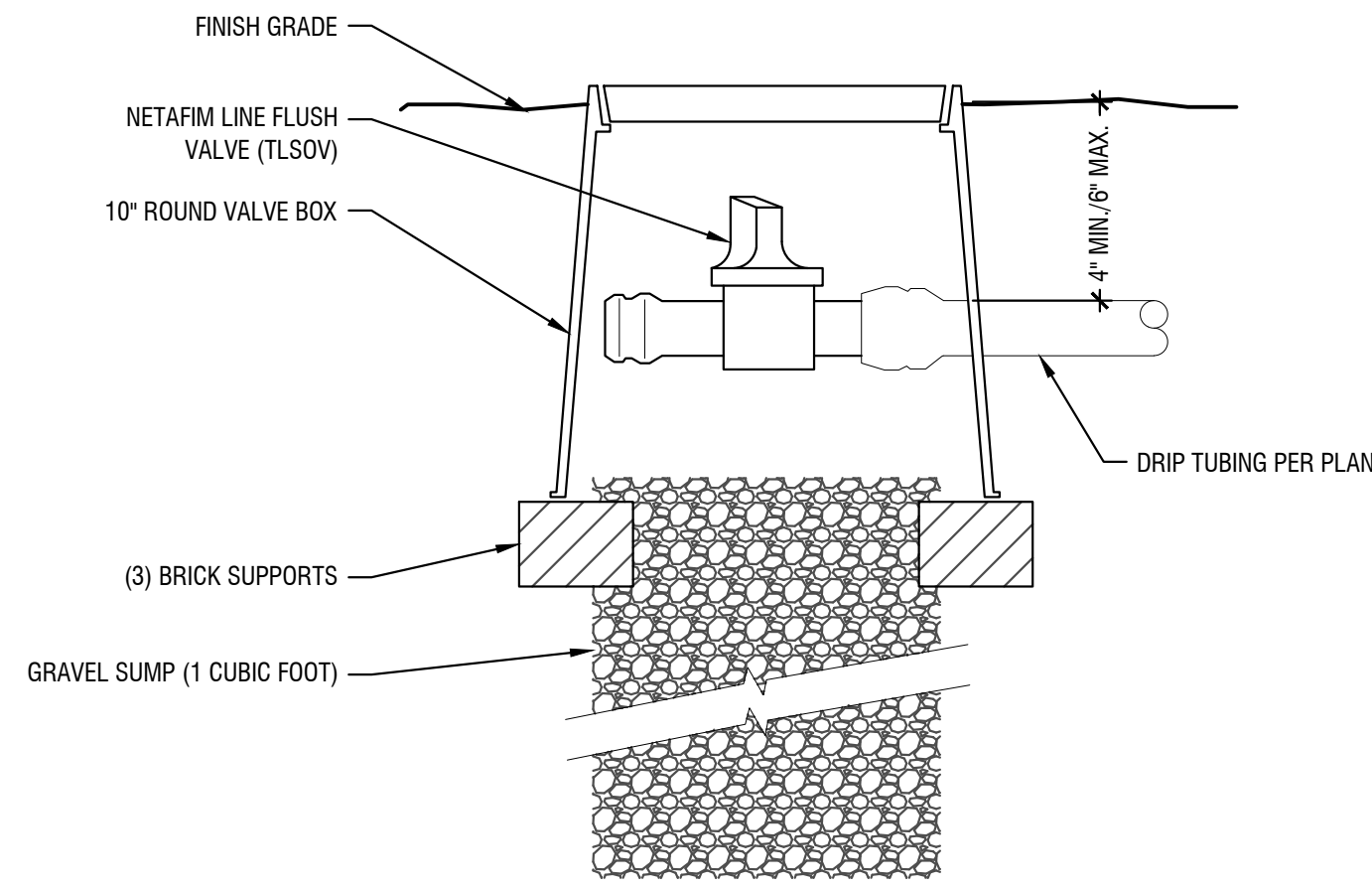
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STATE OF IDAHO
JAMES B. LED
LANDSCAPE ARCHITECT
LA-16969

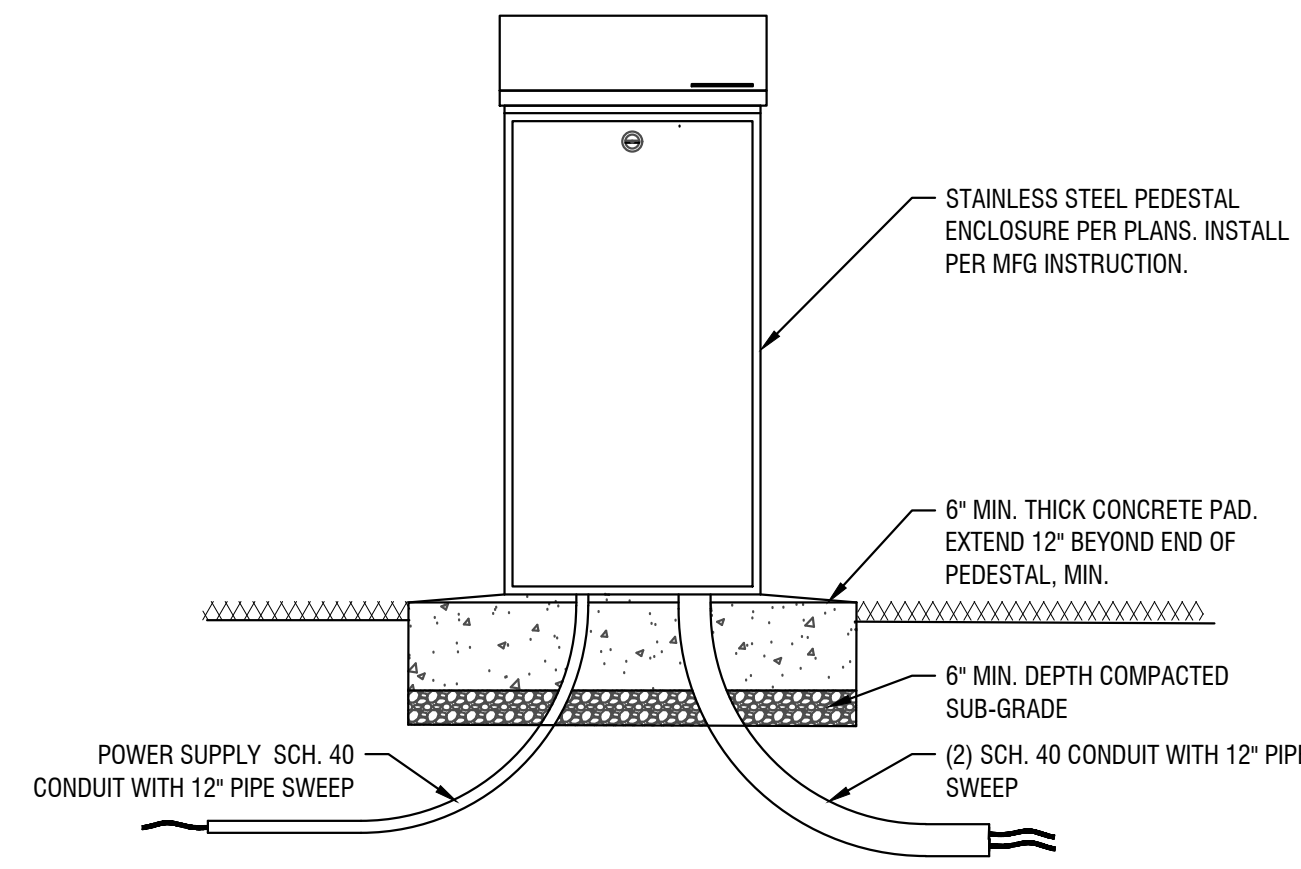
11/26/2024
Project No.: 121064
Date of Issuance: 11/26/2024
Project Milestone: Permit Set

**Irrigation Plans
Details**

DATE PLOTTED: 11/26/2024 10:58:41 AM
DATE PRINTED: 11/26/2024 10:58:41 AM
DRAWING NUMBER: 11/26/2024 10:58:41 AM
DRAWING TITLE: Irrigation Plans - Details



1 DRIP FLUSH VALVE
SCALE: NTS



NOTES:
1. IRRIGATION CONTRACTOR SHALL GROUND PEDESTAL, CONTROLLER AND TWO-WIRE PATH AS SPECIFIED PER MANUFACTURES RECOMMENDATION.

2 IRRIGATION CONTROLLER - PEDESTAL MOUNT
SCALE: NTS

**Addington Subdivision - Phase 1
STC Development**

NE Corner of N. Hightbrook Way & W. Sample Farm Drive
Star, Idaho 83369

Revisions	
1.	

NOT FOR CONSTRUCTION

11/26/2024
Project No.: 121064
Date of Issuance: 11/26/2024
Project Milestone: Permit Set

**Irrigation Plans
Details**

LA 16969, JAMES B. LED, 202311261546, C:\BPM\112726-16205-01\1546-01.dwg, 11/26/2024 11:26 AM, 11/26/2024 11:26 AM, 11/26/2024 11:26 AM



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department *Shen T. Smith*

MEETING DATE: February 4, 2025 – PUBLIC HEARING

FILE(S) #: CUP-24-09 – Pollard Lane - Star Elementary School

OWNER/APPLICANT/REPRESENTATIVE

Representative:

Toby Norskog
LKV Architects
2400 Riverwalk Dr.
Boise, Idaho 83702

Applicant/Owner:

West Ada School District
1303 E. Central Drive
Meridian, Idaho 83642

REQUEST

Request: The Applicant is seeking approval of a Conditional Use Permit to construct a new elementary school. The property is located at 2211 N. Pollard Lane in Star, Idaho.

PROPERTY INFORMATION

Property Location: The subject property is generally located on the west side of N. Pollard Lane, south of Beacon Light Road and adjacent to the Star Middle School. Ada County Parcel No. R7747350415.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	November 21, 2024
Neighborhood Meeting Held	December 4 & 9, 2024
Application Submitted & Fees Paid	December 24, 2024
Application Accepted	November 21, 2024

Residents within 300' Notified	January 16, 2025
Agencies Notified	January 7, 2025
Legal Notice Published	January 18, 2025
Property Posted	January 22, 2025

HISTORY

The property was previously annexed into the City and zoned R-4 as part of the West Ada School District property.

ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-1B-4: CONDITIONAL USES:

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a specific property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use within this title. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through issuance of a conditional use permit, development agreement or PUD, upon approval by Council.

C. Process:

1. The applicant shall complete a pre-application conference with the administrator prior to submittal of an application for a conditional use.
2. A neighborhood meeting shall be held by the applicant pursuant to Section 8-1A-6C of this title.
3. An application and appropriate application fees shall be submitted to the City on forms provided by the city.
4. Prior to issuing the conditional use permit, the administrator may require additional information, including studies, concerning the social, economic, fiscal or environmental effects of the proposed conditional use. Traffic studies may be required by the transportation authority prior to acceptance of an application.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.



3. Control the duration of the use.
4. Assure that the use and the property in which the use is located is maintained properly.
5. Designate the location and nature of the use and the property development.
6. Require the provision for on site or off-site public facilities or services.
7. Require more restrictive standards than those generally required in this title.
8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

E. Findings: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use shall meet the intent of the Star comprehensive plan and be in compliance with the requirements of this title.
3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance as determined by the City.

8-1B-4E. FINDINGS: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

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2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

8-1E-1: TERMS DEFINED:

EDUCATION INSTITUTION, PUBLIC: The use of a site for education financially supported by the state of Idaho. The use includes, but is not limited to, elementary and secondary schools; institutions of higher learning; and vocational schools.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

(R) RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	R
Educational institution, public	C

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-3	35'	15' to living area 20' to garage face	15'	7.5'(2)	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-4B-3: REQUIRED NUMBER OF OFF-STREET PARKING SPACES:

Elementary and junior high schools	2 for each classroom and 1 for every 5 seats in the auditoriums or assembly halls
------------------------------------	---

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Public Use/Parks/Open Space

Suitable primarily for the development of such uses as golf courses, parks, recreation facilities, greenways, schools, cemeteries, and public service facilities such as government offices. All development within this land use is encouraged to be designed to accommodate the different needs, interests, and age levels of residents in matters concerning both recreation and civil activities.

Open space should be designed to capitalize on and expand the open space areas around natural features and environmentally sensitive areas. Priorities

for preservation include: the most sensitive resources – floodways and floodplains (including riparian and wetland areas), slopes in excess of 25%, locally significant features, and scenic viewpoints. Fragmentation of open space areas should be minimized so that resource areas are able to be managed and viewed as an integrated network. Open space areas along the Boise River should be designed to function as part of a larger regional open space network. Where possible, open space should be located to be contiguous to public lands and existing open space areas.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

PROJECT OVERVIEW

CONDITIONAL USE PERMIT:

The applicant is requesting approval of a Conditional Use Permit for a new elementary school. The new school will be built on property that the school district currently owns and will occupy approximately 9.85 acres of the larger parcel (37.34 acres). The property is currently zoned Residential (R-3). The Unified Development Code, Section 8-3A-3, requires all educational institution uses to be approved through a Conditional Use Permit.

Section 8-4B-3 requires elementary and junior high schools to provide 2 parking spots for each classroom and 1 space for every 5 seats in the auditoriums or assembly halls. The proposed building size would require 52 parking spaces. The Applicant is proposing 98 external spots. This will satisfy the parking requirements of the Unified Development Code. The Applicant is proposing 4 ADA parking stalls.

Section 8-4B-2 of the UDC requires all parking stalls to be a minimum of nine feet (9') wide and twenty feet (20') deep.

- A. When a vehicle bumper overhangs onto a sidewalk or landscape area, the parking stall dimensions may be reduced two (2) feet in length if two (2) feet is added to the width of the sidewalk or landscaped area, and the additional area is planted in ground cover. In this case, wheel restraints may be removed.

The proposed site plan calls out the appropriate dimensions to satisfy these requirements.

Access is proposed to be taken from an existing private drive via Pollard Lane. Bus and passenger vehicle access will be separated, and the site is designed to include significant stacking on the school site to limit traffic issues on any adjacent roadways.

The Unified Development Code (UDC), Section 8-4B-2 requires "all drive aisles adjacent to a building shall be a minimum of 25' 0" or as required by the fire code..." The proposed site plan appears to call out a minimum of 25 feet at the narrowest section of the drive aisle, satisfying this portion of the UDC.

All signage, including building, directional and monuments will need separate permits and approval from Staff.

The applicant has not asked for any setback waivers and the site plan is compliant with the required Residential (R-3) setbacks.

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. **The Applicant has provided a landscape plan that appears to satisfy these requirements. The proposed plan also appears to satisfy the commercial parking lot requirements for landscaping.**

The applicant has provided exterior elevations and color renderings that detail the project. Council may decide to approve these elevations and renderings as part of their approval, making an additional Design Review Committee approval unnecessary.

The proposed dumpster location appears to be in a good location so as not to disturb any adjacent residents. The Applicant should gain approval on final location from Republic Services. Staff is supportive of a brick CMU trash enclosure with metal double gates.

The Applicant has not provided a site/building lighting plan. This will need to be submitted and reviewed as part of the Design Review/CZC process.

Comprehensive Plan and is in accord with the requirements of this Title. The proposed development should meet the intent or purpose of the Mixed-Use District.

- 3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

The Council must find that the operation of the proposed use would be compatible with the other uses in the general area.

- 4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

The Council must find that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.

- 5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

The Council must find that the proposed use be adequately served by essential public facilities and services.

- 6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

The Council must find that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community.

- 7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The Council must find that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

- 8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

The Council must find that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.

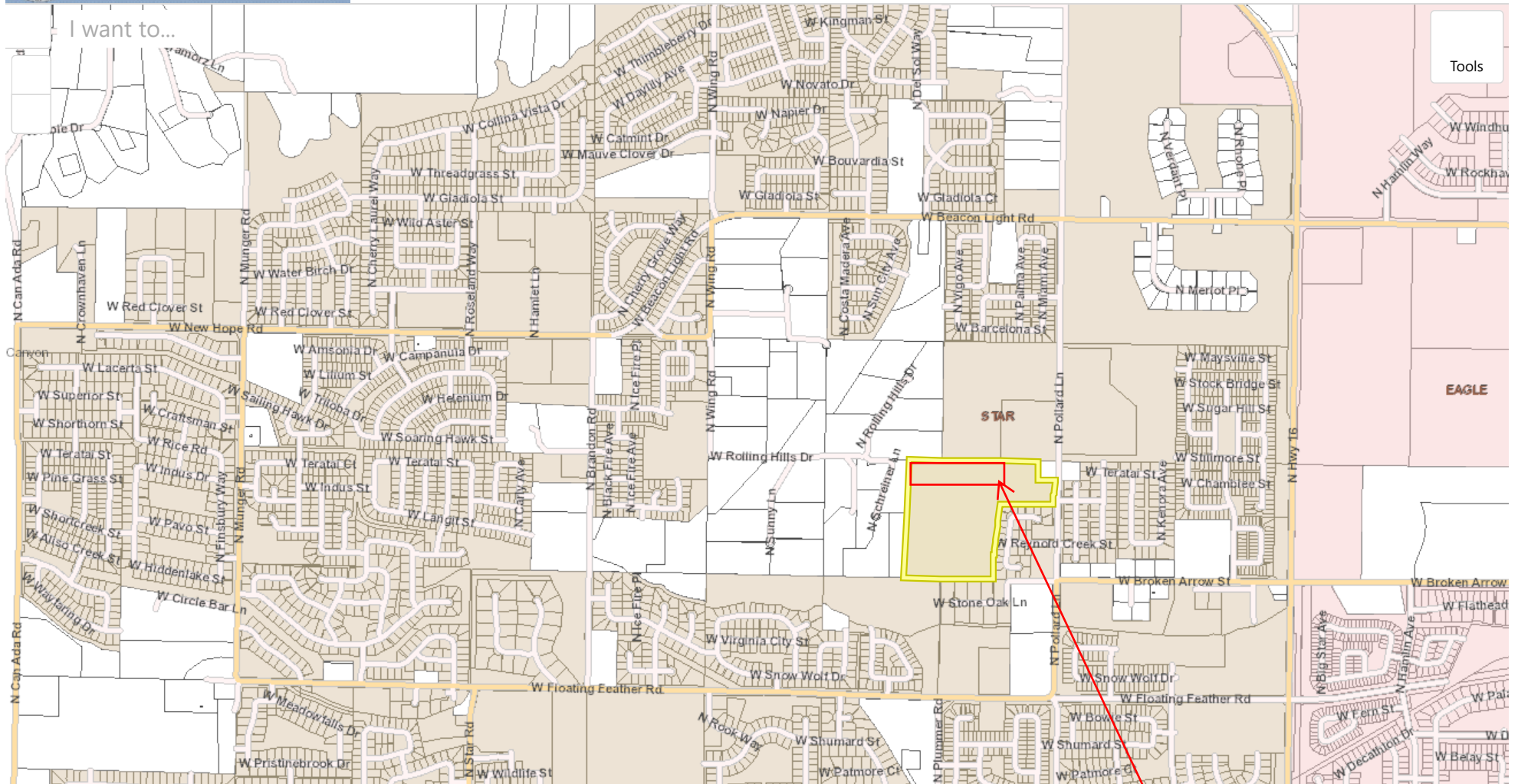
CONDITIONS OF APPROVAL

- 1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.

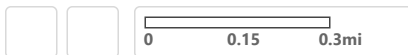
- 2. **Prior to issuance of a building permit, the applicant shall receive a certificate of zoning compliance and/or design review for compliance with the Architectural Design Guidelines.**
- 3. **The Applicant shall complete a pathway going north along Pollard to connect to the existing sidewalk from Rivercreek Landing Subdivision, the development to the north of the school property.**
- 4. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 5. A form signed by the Star Sewer & Water District shall be submitted to the City prior to issuance of building permit stating that all conditions of the District have been met, including annexation into the District.
- 6. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
- 7. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy of the unit.
- 8. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
- 9. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
- 10. A Certificate of Zoning Compliance will be required prior to the start of construction.
- 11. Any additional Condition of Approval as required by Staff and City Council.
- 12. Any Conditions of Approval as required by Star Fire Protection District.
- 13. The property associated with this approved conditional use permit shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of the conditional use permit or building permit.
- 14. Any additional Condition of Approval as required by Staff and City Council.

COUNCIL DECISION

The Star City Council _____ File Number CU-24-09 for New Star Elementary School on _____, 2025.



New Star Elementary School Location





December 24, 2024

Star Planning & Zoning Department
P.O. Box 130
10769 W. State Street
Star, Idaho 83669

RE: Conditional Use Permit Application
New Star Elementary School
West Ada School District
N. Pollard Lane, Star, Idaho 83669

Planning Staff:

The West Ada School District respectfully requests Conditional Use Permit approval for the construction of a new elementary school, located north of Floating Feather Road, east of N. Pollard Lane. A Conditional Use Permit is required due to the property's R3 zoning and the public-school use. The scope of the project includes the construction of a single story, 65,000 square foot elementary school for grades Pre-K-5 and all associated site work.

The site is approximately 9.85 acres and will be improved with separate student drop off areas for parent vehicles and buses. There will be two separate parking lots with a total of ninety-eight off-street parking spaces. The remaining unpaved portion of the site is landscaped with lawn, bushes, and trees. The student play areas are designed with gathering and active play areas with built-in play equipment. An asphalt walking path will also be installed around the perimeter of the grass play area and will make connections to the existing pedestrian pathways.

The building will be single story with a combination of pitched asphalt roofing and low slope roofing with parapets to screen roof top mounted mechanical systems. The exterior building materials will be a combination of masonry veneer, structural masonry block, and accent metal panels. The height of the tallest portion of the building will be at the Gymnasium with a height of 33'-4" to the top of the parapet. The three classroom wings are 23'-6 1/2" to the top of the roof ridge line. All windows and door framing shall be an aluminum storefront system.

Fencing will be provided along property lines and will be installed to conform to the subdivision requirements.

www.lkvarchitects.com
208.336.3443
2400 E. Riverwalk Dr.
Boise, Idaho 83706



Ada County Highway District and Idaho Transportation Department have both been contacted regarding this project. A traffic study is currently being conducted on the project and will be presented to the city at a later date. A neighborhood meeting was held at Star Middle School on December 4th, 2024, at 6:00 pm, December 9th, 2024, at 6:00 pm and a separate meeting was also held at Star Fire Protection District – Station 51 for those that could not attend the previous meeting.

The West Ada School District would like to begin construction of this facility in the Spring of 2025 and have a construction schedule to allow for a 2026 fall school year opening.

West Ada School District thanks you for your consideration of this Conditional Use Permit application. Please feel free to contact me with any questions or comments.

Respectfully,

A handwritten signature in black ink, appearing to read 'Toby Norskog', is written in a cursive style.

Toby Norskog, Architect
LKV Architects

c.c. David Reinhart, West Ada School District



CONDITIONAL USE PERMIT APPLICATION

****All applicable information must be filled out to be processed.*

FILE NO.: _____
Date Application Received: _____ Fee Paid: _____
Processed by: City: _____

Applicant Information:

PRIMARY CONTACT IS: Applicant ___ Owner ___ Representative ___

Applicant Name: West Ada School District, David Reinhart _____
Applicant Address: 1303 E. Central Drive _____ Zip: 83642 _____
Phone: 208-855-4500 _____ Email: reinhart.david@westada.org ___

Owner Name: West Ada School District, David Reinhart _____
Owner Address: 1303 E. Central Drive _____ Zip: 83642 _____
Phone: 208-855-4500 _____ Email: reinhart.david@westada.org ___

Representative (e.g., architect, engineer, developer):
Contact: Toby Norskog _____ Firm Name: LKV Architects _____
Address: 2400 Riverwalk Dr., Boise, Idaho _____ Zip: 83702 _____
Phone: 208-336-3443 _____ Email: Toby@lkvarchitects.com _____

Property Information:

Site Address: 2211 N POLLARD LN STAR, ID 83669 Parcel Number: R7747350415
Requested Condition(s) for Conditional Use: _____

	Zoning Designation	Comp Plan Designation
Existing	R-3	Medium Density Residential
Proposed		
North of site	R-2 (WASD Property)	Low Density Residential
South of site	R-3	Medium Density Residential
East of site	R-3	Medium Density Residential
West of site	RUT	Low Density Residential

Site Data:

Total Acreage of Site: 9.85 Acres

Proposed Percentage of Site Devoted to Bldg Coverage: 12.8% Phs 1, 15% Future Phase & Phs 1

Proposed Percentage of Site Devoted to Landscaping: 46.9%

Number of Parking spaces: Proposed 98 Required 52

Requested Front Setback: > 15' per R-3 Requested Rear Setback: > 15' per R-3

Requested Side Setback: > 7.5' per R-3 Requested Side Setback: > 7.5' per R-3

Requested Side Setback: > 7.5' per R-3

Existing Site Characteristics: The project's development site is 9.85 acres of a larger WASD parcel. The project site is currently vacant with existing soil stockpiling from construction of the middle school. Access comes from an existing private drive to the south. No significant constraints or natural features.

Number and Uses of Proposed Buildings: 1; School

Location of Buildings: See sheet C2.00. School is located 47.79' south of existing northern property line.

Gross Floor Area of Proposed Buildings: _____

Describe Proposed On and Off-Site Traffic Circulation: Traffic will enter an existing private drive via Pollard lane. Bus and passenger vehicle access will be separated and the site is designed to include significant stacking on the Elementary school site to limit traffic issues on adjacent roadways.

Proposed Signs – number, type, location: Monument sign, directional signs. See sheet C2.00.
(include draft drawing) _____

Public Services (state what services are available and what agency is providing the service):

Potable Water - Star Sewer and Water District

Irrigation Water - Farmers Union Ditch Co LTD

Sanitary Sewer - Star Sewer and Water District

Schools - West Ada School District

Fire Protection - Star Fire Protection District

Roads - Ada County Highway District

Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision/Project Name: _____ Phase: _____

Special Flood Hazard Area: total acreage _____ number of homes/structures

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: _____
 FIRM effective date(s): mm/dd/year _____
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: _____
 Base Flood Elevation(s): AE____.0 ft., etc.: _____
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.



Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
✓	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Conditional Use Application	
✓	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
✓	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	
to be provided at later date	Legal description of the property (word.doc and electronic version with engineer's seal):	
	Copy of recorded warranty deed.	
	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
✓	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
✓	Vicinity map showing the location of the subject property	
	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	
	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	
✓	Building elevations showing construction materials	
	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, shall be submitted in original pdf format (no scans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

Site Plan (If applicable):

	The following items must be included on the site plan:	
✓	<ul style="list-style-type: none"> • Date, scale, north arrow, and project name 	
Sheet A2.1	<ul style="list-style-type: none"> • Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan 	
✓	<ul style="list-style-type: none"> • Existing boundaries, property lines, and dimensions of the lot 	
✓	<ul style="list-style-type: none"> • Relationship to adjacent properties, streets, and private lanes 	
✓	<ul style="list-style-type: none"> • Easements and right-of-way lines on or adjacent to the lot 	
Listed above	<ul style="list-style-type: none"> • Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties 	
Sheet A2.1	<ul style="list-style-type: none"> • Building locations(s) (including dimensions to property lines) 	
✓	<ul style="list-style-type: none"> • Parking and loading areas (dimensioned) 	
✓	<ul style="list-style-type: none"> • Traffic access drives and traffic circulation (dimensioned) 	

✓	• Open/common spaces	
✓	• Refuse and service areas	
✓	• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing & proposed)	
to be provided at later date	• All on-site lighting proposed – Must Meet City “Dark Sky” Ordinances	

Landscape Plan (If applicable):

	The following items must be included on the landscape plan:	
✓	• Date, scale, north arrow, and project name	
✓	• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan	
✓	• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings	
✓	• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.	
✓	• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements	
✓	• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours	
✓	• Sight Triangles as defined in 8-4 A-7 of this Ordinance	
✓	• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size	
✓	• Proposed screening structures	
✓	• Design drawings(s) of all fencing proposed	
✓	• Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> ➢ Number of street trees and lineal feet of street frontage ➢ Width of street buffers (exclusive of right-of-way) ➢ Width of parking lot perimeter landscape strip ➢ Buffer width between different land uses ➢ Number of parking stalls and percent of parking area with internal landscaping ➢ Total number of trees and tree species mix ➢ Mitigation for removal of existing trees, including number of caliper inches being removed 	

SIGNS (If applicable):

All signs will require separate submittal of a sign application.

FEE REQUIREMENT:

***** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.***

_____ 

_____ 12/24/2024

General Notes

1. SEE CIVIL SHEETS FOR GRADING, DRAINAGE, AND SITE UTILITIES.
2. SEE CIVIL SHEETS FOR PAVING SECTIONS.
3. SEE LANDSCAPE SHEETS FOR LANDSCAPING AND IRRIGATION PLANS.

Reference Notes (00)

Keyed Notes (000000.A0)

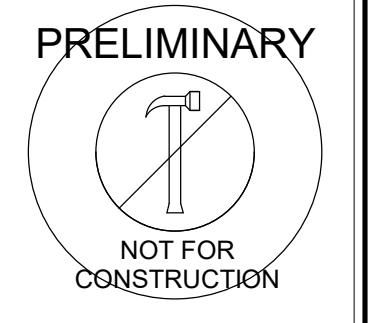
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Names and Address

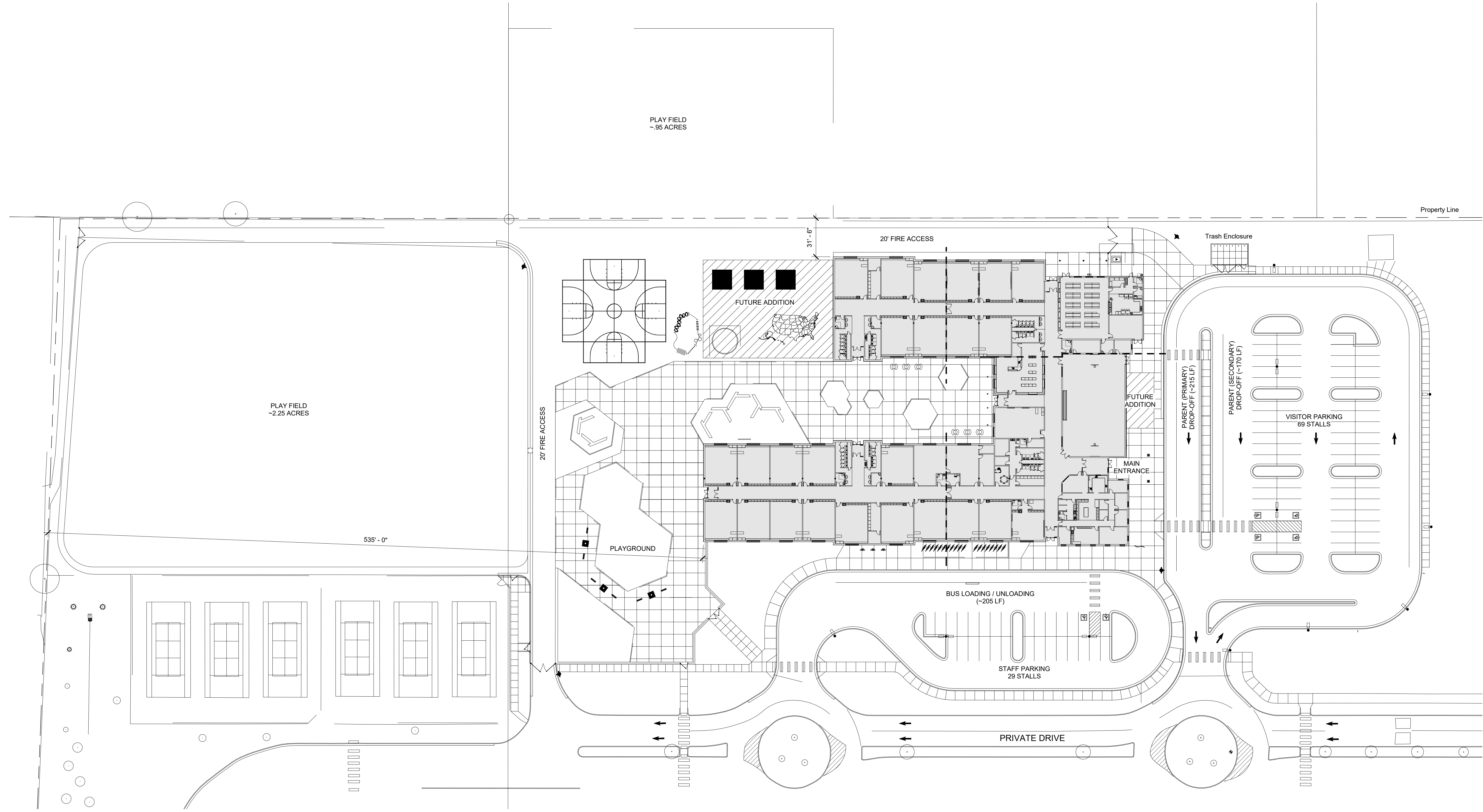
OWNER	ARCHITECT	CIVIL ENGINEER	LANDSCAPE ARCHITECT
West Ada School District 1303 E. Central Drive Meridian, ID 83642	LKV Architects 2400 East Riverwalk Dr. Boise, Idaho 83706	The Land Group 462 E. Shore Dr, Suite 100 Eagle, ID 83616	The Land Group 462 E. Shore Dr, Suite 100 Eagle, ID 83616
David Reinhart Owner Phone: (208) 350-5024 reinhart.david@westada.org	Toby Norskog Architect Phone: (208) 336-3443 toby@lkvarchitects.com	Jim Gute Civil Engineer Phone: (208) 939-4041 jgute@thelandgroupinc.com	Sean Conner Landscape Architect Phone: (208) 939-4041 sean@thelandgroupinc.com



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Boise, Idaho 83706
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208.336.3443



#	Revisions Description	Date



SITE PLAN
1" = 40'-0"

**NEW STAR ELEMENTARY
WEST ADA SCHOOL DISTRICT**
2211 N POLLARD LN, STAR, ID 83669

DATE: 12/20/2024
LKV PROJECT #: 2429

DRAWN BY: TL
CHECKED BY: TN

50% DD SET

DRAWING NO.:

A2.1
ARCHITECTURAL SITE
PLAN

Project Calculations:

- A. SITE DESIGN: 9.85 ACRES**
- A.A. PHASE 1 BUILDING COVERAGE: 54,718 SF | 12.8%
- A.A.A. FUTURE PHASE & PHASE 1 BUILDING COVERAGE: ± 64,235 SF | 15.0%*
- A.B. LANDSCAPING: 201,178 SF | 46.9%
- A.C. PAVING (INCL. UNIT PAVERS): 172,996 SF | 40.3%
- B. IRRIGABLE LANDSCAPE AREA**
- B.A. TURF GRASS: 188,029 SF | 4.32 ACRES
- B.B. PLANTERS: 7,898 SF | 0.18 ACRES
- B.C. NON IRRIGATED LANDSCAPE (GRAVEL, SYNTHETIC TURF PLAY SURFACE): 14,362 SF | 0.33 ACRES
- C. PARKING**
- C.A. STANDARD STALLS
- C.A.A. REQUIRED: 52**
- C.A.B. PROVIDED: 92
- C.B. ADA STALLS
- C.B.A. REQUIRED: 4
- C.B.B. PROVIDED: 6
- C.C. BICYCLE PARKING
- C.C.A. REQUIRED: NOT DEFINED
- C.C.B. PROVIDED: 38 AND 20 MICROMOBILITY/SCOOTER SPACES

* NOTE: PAVING AND LANDSCAPE AREAS WILL BE REDUCED WHEN THIS FUTURE PHASE BUILDING FOOTPRINT IS CONSTRUCTED.
 ** CALCULATION BASED ON PHASE ONE BUILDING CONSTRUCTION.

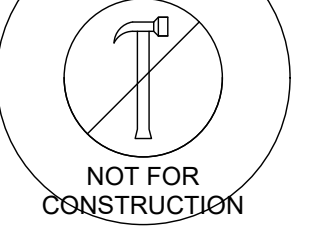


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PRELIMINARY



#	Revisions Description	Date

POLLARD ELEMENTARY SCHOOL
WEST ADA SCHOOL DISTRICT
 2211 N POLLARD LN, STAR, ID 83669

DATE: 12/20/2024
 LKV PROJECT #: 2429

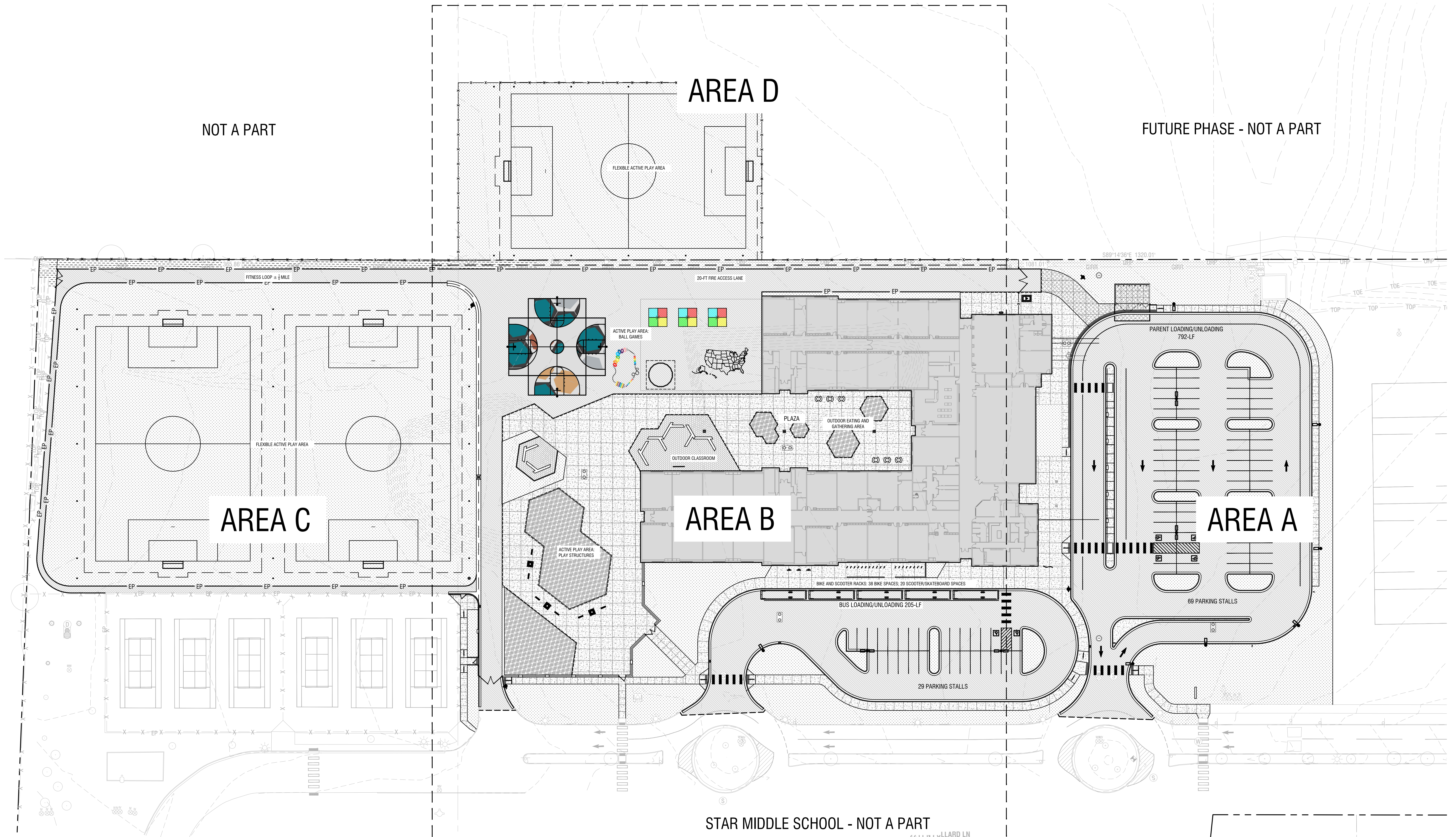
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 CHECKED BY: SC

50% DD Set

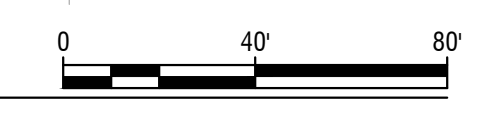
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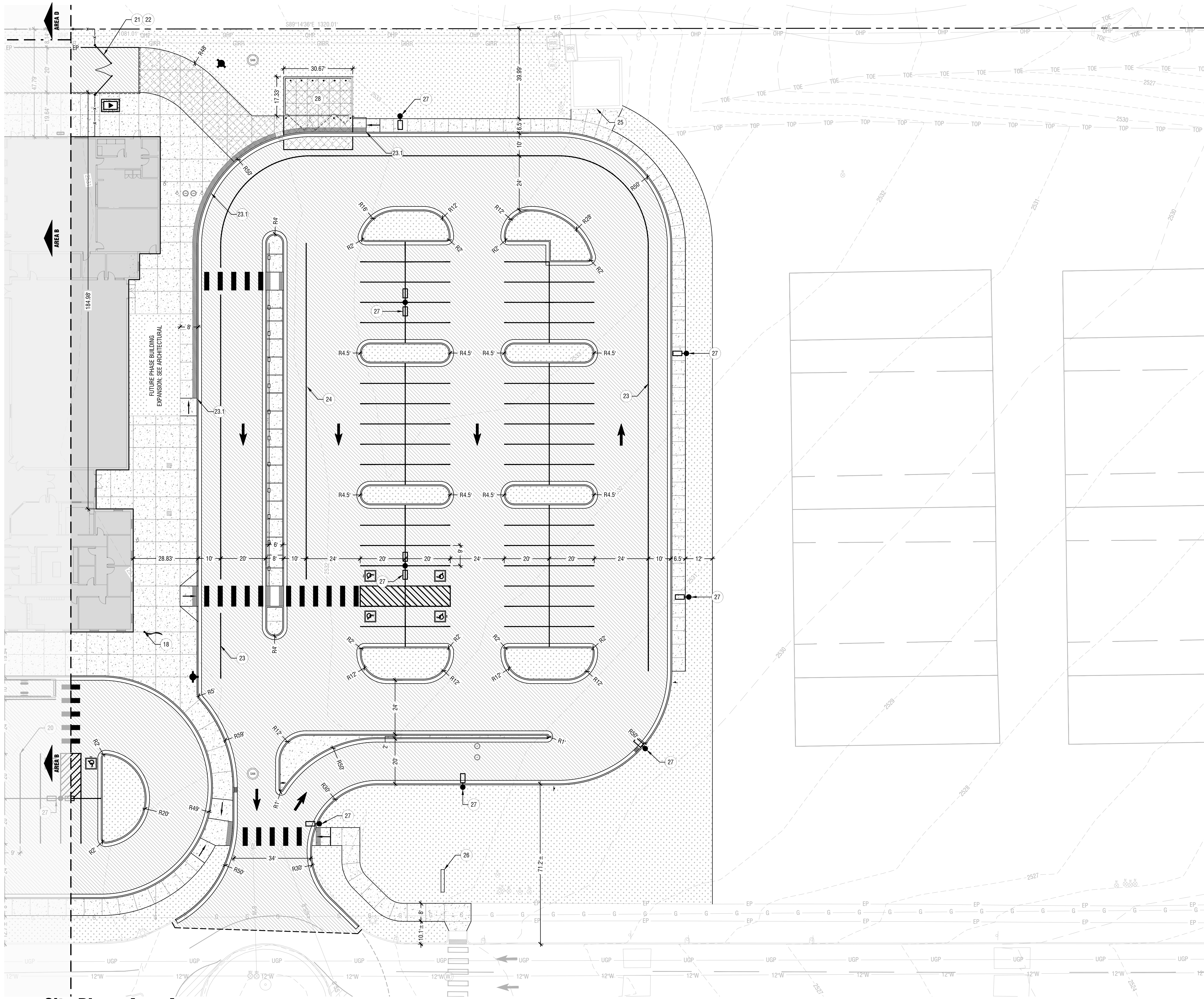
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SITE PLAN - OVERALL


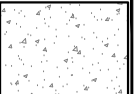


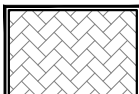




Site Plan - Overall
 Horizontal Scale: 1" = 40'

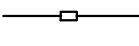
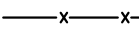





Material Legend:

-  ASPHALT PAVING
-  STANDARD CONCRETE FLATWORK
-  HEAVY DUTY CONCRETE FLATWORK
-  LANDSCAPE AREAS
-  CONCRETE UNIT PAVERS
-  SYNTHETIC TURF PLAYGROUND SURFACING
-  MINUS COMPACTED GRAVEL

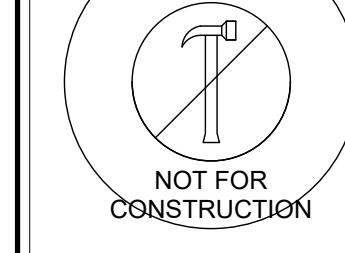
Fence Legend:

-  4' CHAIN LINK FENCE
-  6' CHAIN LINK FENCE
-  EXISTING CHAIN LINK FENCE

Keynotes:

1. ELEMENTARY ACTIVE PLAY AREA; STRUCTURES TBD FROM LANDSCAPE STRUCTURES "HEDRA" PRODUCT FAMILY OR SIMILAR.
2. PRE-K ACTIVE PLAY AREA; STRUCTURES TBD FROM LANDSCAPE STRUCTURES "HEDRA" PRODUCT FAMILY OR SIMILAR.
3. SECURE BUS-RIDER WAITING AREA
4. BASKETBALL COURT.
5. FOUR SQUARE.
6. GAGA BALL AREA.
7. AGILITY COURSE.
8. SOCIAL PLAY AREA WITH SCULPTURAL SEATWALL.
9. OUTDOOR CLASSROOM AND FLEXIBLE SOCIAL PLAY AREA.
10. RAISED TURF INLAY AND ELEVATED INFORMAL SEATING.
11. SOCIAL PLAY AREA WITH GAME/PICNIC TABLE. MAGLIN "FAVA CLUSTER" PRODUCT FAMILY OR SIMILAR.
12. FLEXIBLE SPORTS FIELD.
13. TREE GRATE AND SILVA CELLS; TREE GRATE TO BE "VERTIGO" BY IRONSMITH OR SIMILAR
14. 4-FT BENCH. MAGLIN "1050" OR SIMILAR.
15. BIKE RACK. DERO "HOOP" OR SIMILAR. 38 SPACES TOTAL.
16. SKATEBOARD AND SCOOTER RACK. "SKATEDOCK" OR SIMILAR. 20 SPACES TOTAL.
17. 3-FT CMU "BREEZE BLOCK" STYLE SCREEN WALL.
18. FLAGPOLE.
19. BUS LOADING AND UNLOADING AREA - 205 LF.
20. SOUTH PARKING LOT - 29 STALLS (INCL 2 ADA)
21. CONTROLLED ACCESS GATE WITH KNOX BOX.
22. 20-FT WIDE FIRE ACCESS ROUTE.
23. PARENT/GUARDIAN DROP-OFF LANE - 792 LF.
- 23.1. FULLY ACCESSIBLE PARENT/GUARDIAN DROP-OFF AREA - 172 LF.
24. SECONDARY PARENT/GUARDIAN DROP-OFF LANE.
25. IRRIGATION AND MAINTENANCE ACCESS.
26. MONUMENT SIGN.
27. SITE LIGHTING PER ELECTRICAL.
28. TRASH ENCLOSURE PER ARCHITECTURAL.

PRELIMINARY



Revisions	Description	Date
#		

**POLLARD ELEMENTARY SCHOOL
WEST ADA SCHOOL DISTRICT**
2211 N POLLARD LN, STAR, ID 83669

DATE: 12/20/2024
LKV PROJECT #: 2429

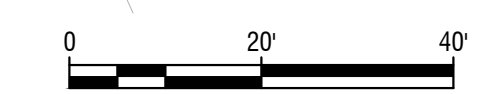
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CHECKED BY: SC

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DRAWING NO.:

C2.01
SITE PLAN - AREA A

Site Plan - Area A
Horizontal Scale: 1" = 20'



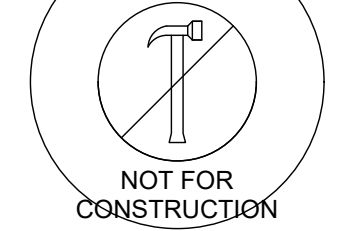


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PRELIMINARY



Revisions	Description	Date
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POLLARD ELEMENTARY SCHOOL
WEST ADA SCHOOL DISTRICT
2211 N POLLARD LN, STAR, ID 83669

DATE: 12/20/2024
LKV PROJECT #: 2429

DRAWN BY: CL/LM
CHECKED BY: SC

50% DD Set

DRAWING NO.:

C2.02

SITE PLAN - AREA B

Material Legend:

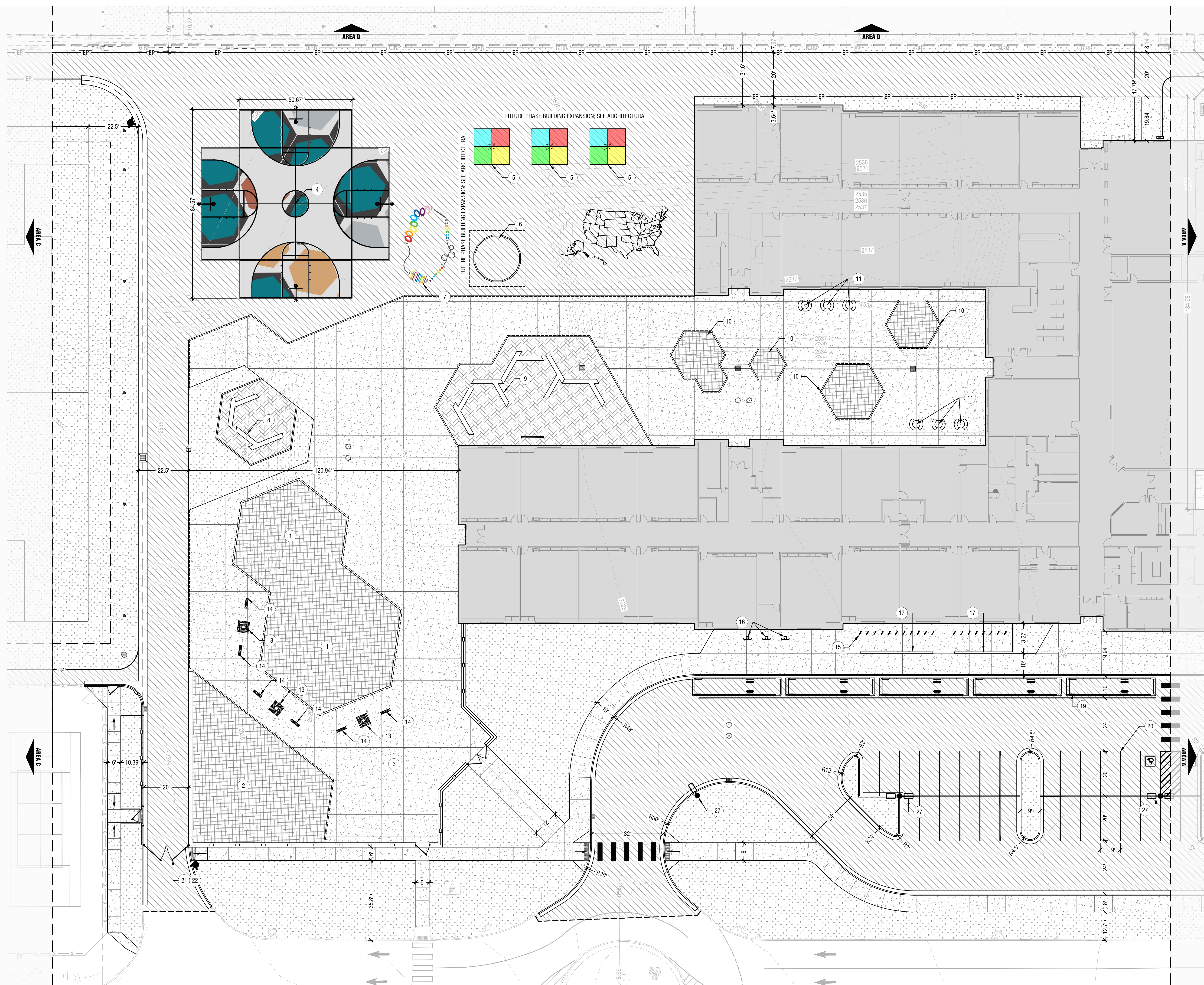
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	STANDARD CONCRETE FLATWORK		SYNTHETIC TURF PLAYGROUND SURFACING
	HEAVY DUTY CONCRETE FLATWORK		MINUS COMPACTED GRAVEL
	LANDSCAPE AREAS		

Fence Legend:

	4' CHAIN LINK FENCE
	6' CHAIN LINK FENCE
	EXISTING CHAIN LINK FENCE

Keynotes:

- ELEMENTARY ACTIVE PLAY AREA; STRUCTURES TBD FROM LANDSCAPE STRUCTURES "HEDRA" PRODUCT FAMILY OR SIMILAR.
- PRE-K ACTIVE PLAY AREA; STRUCTURES TBD FROM LANDSCAPE STRUCTURES "HEDRA" PRODUCT FAMILY OR SIMILAR.
- SECURE BUS-RIDER WAITING AREA
- BASKETBALL COURT.
- FOUR SQUARE.
- GAGA BALL AREA.
- AGILITY COURSE.
- SOCIAL PLAY AREA WITH SCULPTURAL SEATWALL.
- OUTDOOR CLASSROOM AND FLEXIBLE SOCIAL PLAY AREA.
- RAISED TURF INLAY AND ELEVATED INFORMAL SEATING.
- SOCIAL PLAY AREA WITH GAME/PICNIC TABLE. MAGLIN "FAVA CLUSTER" PRODUCT FAMILY OR SIMILAR.
- FLEXIBLE SPORTS FIELD.
- TREE GRATE AND SILVA CELLS; TREE GRATE TO BE "VERTIGO" BY IRONSMITH OR SIMILAR
- 4-FT BENCH. MAGLIN "1050" OR SIMILAR.
- BIKE RACK. DERO "HOOP" OR SIMILAR. 38 SPACES TOTAL.
- SKATEBOARD AND SCOOTER RACK. "SKATEDOCK" OR SIMILAR. 20 SPACES TOTAL.
- 3-FT CMU "BREEZE BLOCK" STYLE SCREEN WALL.
- FLAGPOLE.
- BUS LOADING AND UNLOADING AREA - 205 LF.
- SOUTH PARKING LOT - 29 STALLS (INCL 2 ADA)
- CONTROLLED ACCESS GATE WITH KNOX BOX.
- 20-FT WIDE FIRE ACCESS ROUTE.
- PARENT/GUARDIAN DROP-OFF LANE - 792 LF.
- FULLY ACCESSIBLE PARENT/GUARDIAN DROP-OFF AREA - 172 LF.
- SECONDARY PARENT/GUARDIAN DROP-OFF LANE.
- IRRIGATION AND MAINTENANCE ACCESS.
- MONUMENT SIGN.
- SITE LIGHTING PER ELECTRICAL.
- TRASH ENCLOSURE PER ARCHITECTURAL.



Site Plan - Area B
Horizontal Scale: 1" = 20'



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208.939-4041



Revisions	Date
Description	
#	

**POLLARD ELEMENTARY SCHOOL
WEST ADA SCHOOL DISTRICT**
2211 N POLLARD LN, STAR, ID 83669

DATE: 12/20/2024
LKV PROJECT #: 2429

DRAWN BY: CL/LM
CHECKED BY: SC

50% DD Set

DRAWING NO.:

C2.03
SITE PLAN - AREA C

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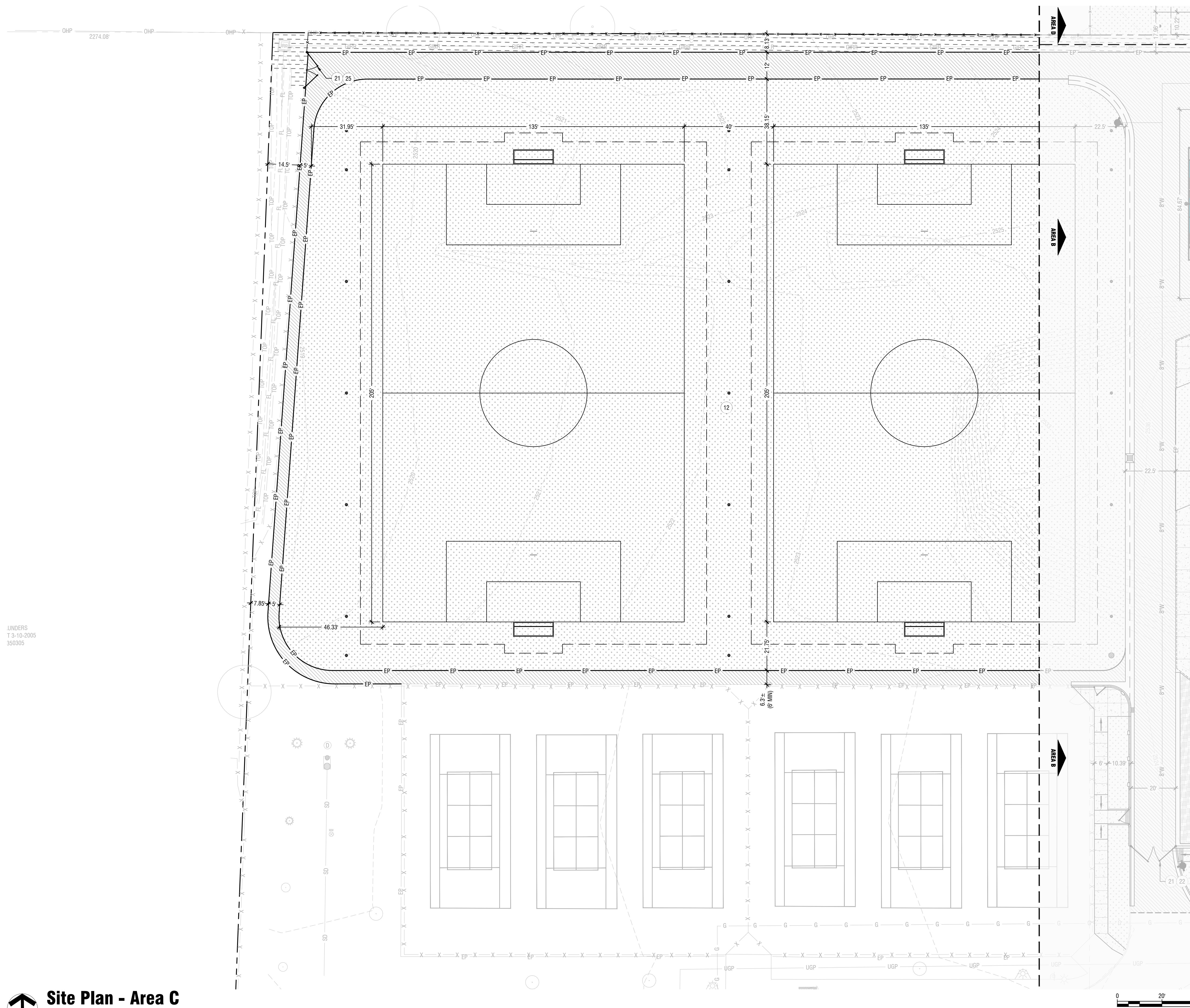
- ASPHALT PAVING
- STANDARD CONCRETE FLATWORK
- HEAVY DUTY CONCRETE FLATWORK
- LANDSCAPE AREAS
- CONCRETE UNIT PAVERS
- SYNTHETIC TURF PLAYGROUND SURFACING
- MINUS COMPACTED GRAVEL

Fence Legend:

- 4' CHAIN LINK FENCE
- 6' CHAIN LINK FENCE
- EXISTING CHAIN LINK FENCE

Keynotes:

1. ELEMENTARY ACTIVE PLAY AREA; STRUCTURES TBD FROM LANDSCAPE STRUCTURES "HEDRA" PRODUCT FAMILY OR SIMILAR.
2. PRE-K ACTIVE PLAY AREA; STRUCTURES TBD FROM LANDSCAPE STRUCTURES "HEDRA" PRODUCT FAMILY OR SIMILAR.
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12. FLEXIBLE SPORTS FIELD.
13. TREE GRATE AND SILVA CELLS; TREE GRATE TO BE "VERTIGO" BY IRONSMITH OR SIMILAR
14. 4-FT BENCH. MAGLIN "1050" OR SIMILAR.
15. BIKE RACK. DERO "HOOP" OR SIMILAR. 38 SPACES TOTAL.
16. SKATEBOARD AND SCOOTER RACK. "SKATEDOCK" OR SIMILAR. 20 SPACES TOTAL.
17. 3-FT CMU "BREEZE BLOCK" STYLE SCREEN WALL.
18. FLAGPOLE.
19. BUS LOADING AND UNLOADING AREA - 205 LF.
20. SOUTH PARKING LOT - 29 STALLS (INCL 2 ADA)
21. CONTROLLED ACCESS GATE WITH KNOX BOX.
22. 20-FT WIDE FIRE ACCESS ROUTE.
23. PARENT/GUARDIAN DROP-OFF LANE - 792 LF.
- 23.1. FULLY ACCESSIBLE PARENT/GUARDIAN DROP-OFF AREA - 172 LF.
24. SECONDARY PARENT/GUARDIAN DROP-OFF LANE.
25. IRRIGATION AND MAINTENANCE ACCESS.
26. MONUMENT SIGN.
27. SITE LIGHTING PER ELECTRICAL.
28. TRASH ENCLOSURE PER ARCHITECTURAL.



UNDERS
T 3-10-2005
350305

Site Plan - Area C
Horizontal Scale: 1" = 20'

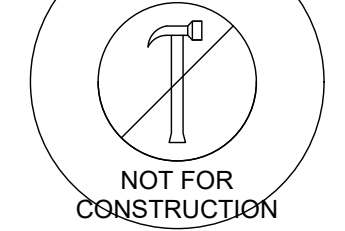


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PRELIMINARY



#	Description	Date

POLLARD ELEMENTARY SCHOOL
WEST ADA SCHOOL DISTRICT
 2211 N POLLARD LN, STAR, ID 83669

DATE: 12/20/2024
LKV PROJECT #: 2429

DRAWN BY: CL/LM
CHECKED BY: SC


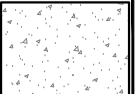

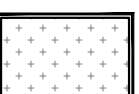


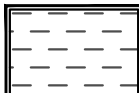
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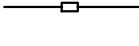
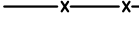

C2.04

SITE PLAN - AREA D

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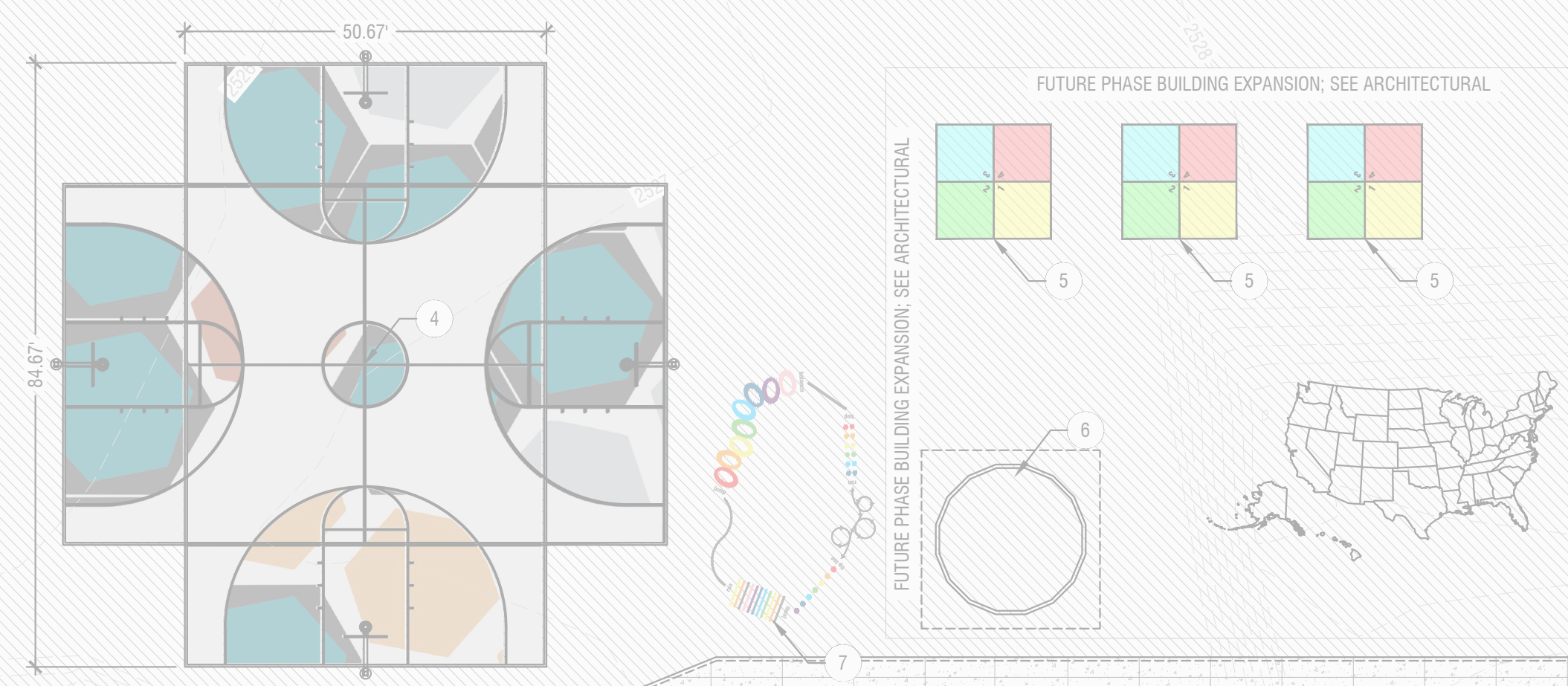
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-  STANDARD CONCRETE FLATWORK
-  HEAVY DUTY CONCRETE FLATWORK
-  LANDSCAPE AREAS
-  CONCRETE UNIT PAVERS
-  SYNTHETIC TURF PLAYGROUND SURFACING
-  MINUS COMPACTED GRAVEL

Fence Legend:

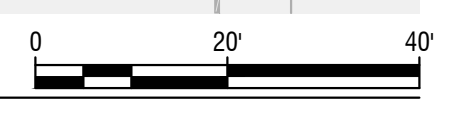
-  4' CHAIN LINK FENCE
-  6' CHAIN LINK FENCE
-  EXISTING CHAIN LINK FENCE

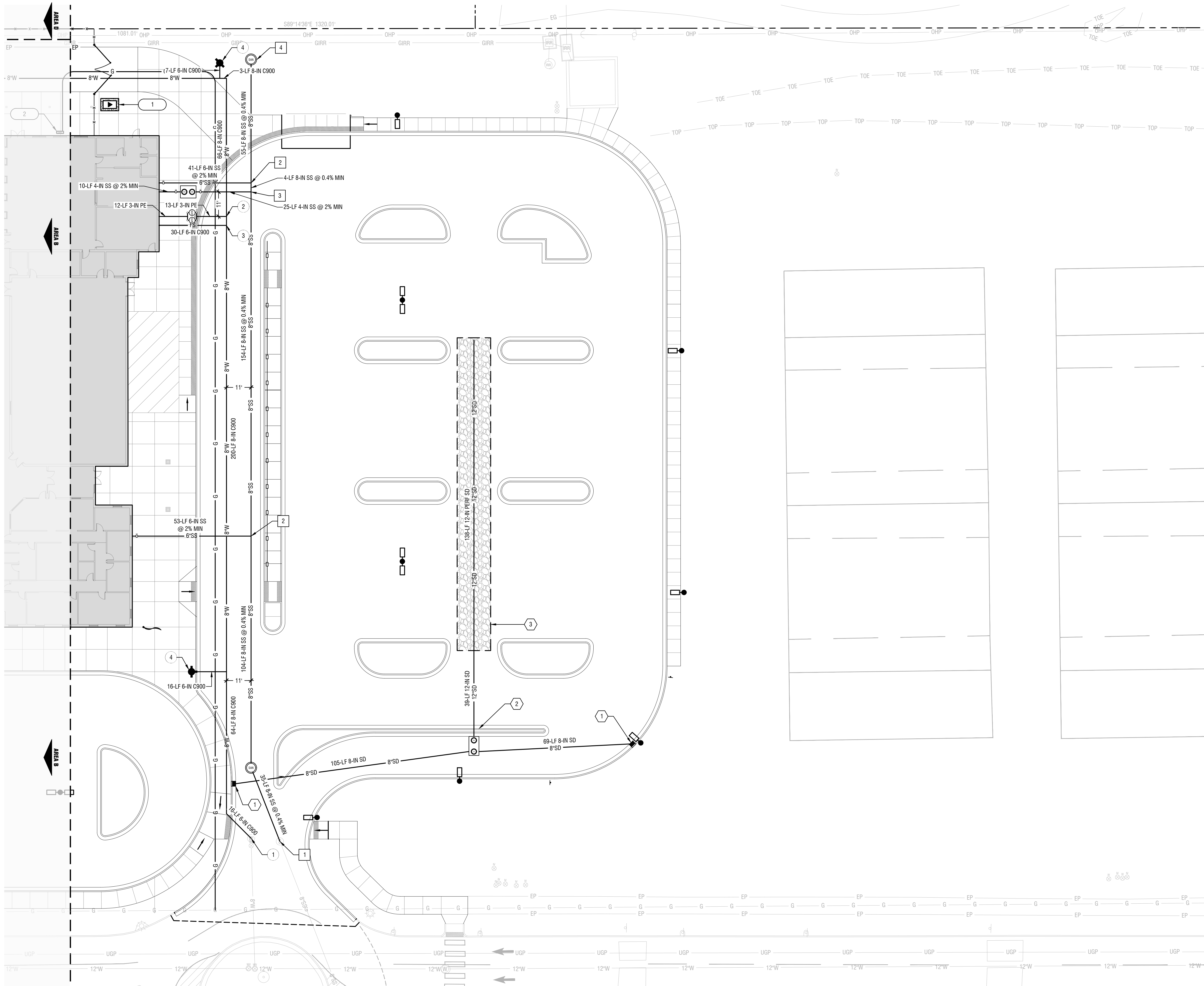
Keynotes:

1. ELEMENTARY ACTIVE PLAY AREA; STRUCTURES TBD FROM LANDSCAPE STRUCTURES "HEDRA" PRODUCT FAMILY OR SIMILAR.
2. PRE-K ACTIVE PLAY AREA; STRUCTURES TBD FROM LANDSCAPE STRUCTURES "HEDRA" PRODUCT FAMILY OR SIMILAR.
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6. GAGA BALL AREA.
7. AGILITY COURSE.
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11. SOCIAL PLAY AREA WITH GAME/PICNIC TABLE. MAGLIN "FAVA CLUSTER" PRODUCT FAMILY OR SIMILAR.
12. FLEXIBLE SPORTS FIELD.
13. TREE GRATE AND SILVA CELLS; TREE GRATE TO BE "VERTIGO" BY IRONSMITH OR SIMILAR
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25. IRRIGATION AND MAINTENANCE ACCESS.
26. MONUMENT SIGN.
27. SITE LIGHTING PER ELECTRICAL.
28. TRASH ENCLOSURE PER ARCHITECTURAL.



Site Plan - Area D
Horizontal Scale: 1" = 20'





- Water Keynotes:**
- CONNECT TO EXISTING 8-IN WATER MAIN STUB.
 - 3-IN WATER SERVICE AND TWO (2) PARALLEL 2-IN WATER METERS.
 - 6-IN FIRE SERVICE.
 - FIRE HYDRANT.
- Sewer Keynotes:**
- CONNECT TO EXISTING SEWER MANHOLE.
 - 6-IN SEWER SERVICE.
 - 4-IN SEWER SERVICE AND GREASE INTERCEPTOR.
 - PROPOSED SEWER MANHOLE.
- Drainage Keynotes:**
- CATCH BASIN INLET.
 - SAND AND GREASE TRAP.
 - SEEPAGE BED.
 - PERFORATED STORM DRAIN LINE AT PLAYGROUND.
 - AREA DRAIN.
 - DRAINAGE ROCK TRENCH.
- Dry Utility Keynotes:**
- TRANSFORMER.
 - GAS METER.

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 2400 E. Riverwalk Drive
 Boise, Idaho 83706
 www.lkvarchitects.com
 208.336.3443

THE LAND GROUP
 PH: 124155
 462 E. Shore Dr Ste 100,
 Eagle, ID 83616
 www.thelandgroupinc.com
 208.939.4041

PRELIMINARY
 NOT FOR CONSTRUCTION

#	Revisions Description	Date

POLLARD ELEMENTARY SCHOOL
WEST ADA SCHOOL DISTRICT
 2211 N POLLARD LN, STAR, ID 83669

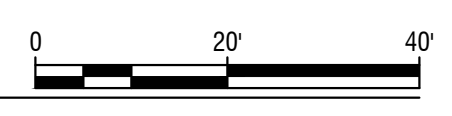
DATE: 12/20/2024
 LKV PROJECT #: 2429

DRAWN BY: CL/LM
 CHECKED BY: SC

50% DD Set

DRAWING NO.:
C5.01
 UTILITY PLAN - AREA A

Utility Plan - Area A
 Horizontal Scale: 1" = 20'



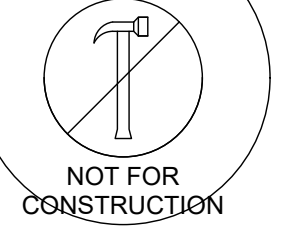


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Revisions	Description	Date
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POLLARD ELEMENTARY SCHOOL
WEST ADA SCHOOL DISTRICT
2211 N POLLARD LN, STAR, ID 83669

DATE: 12/20/2024
LKV PROJECT #: 2429

DRAWN BY: CL/LM
CHECKED BY: SC

50% DD Set

DRAWING NO.:

C5.02

UTILITY PLAN - AREA B

Water Keynotes:

1. CONNECT TO EXISTING 8-IN WATER MAIN STUB.
2. 3-IN WATER SERVICE AND TWO (2) PARALLEL 2-IN WATER METERS.
3. 6-IN FIRE SERVICE.
4. FIRE HYDRANT.

Sewer Keynotes:

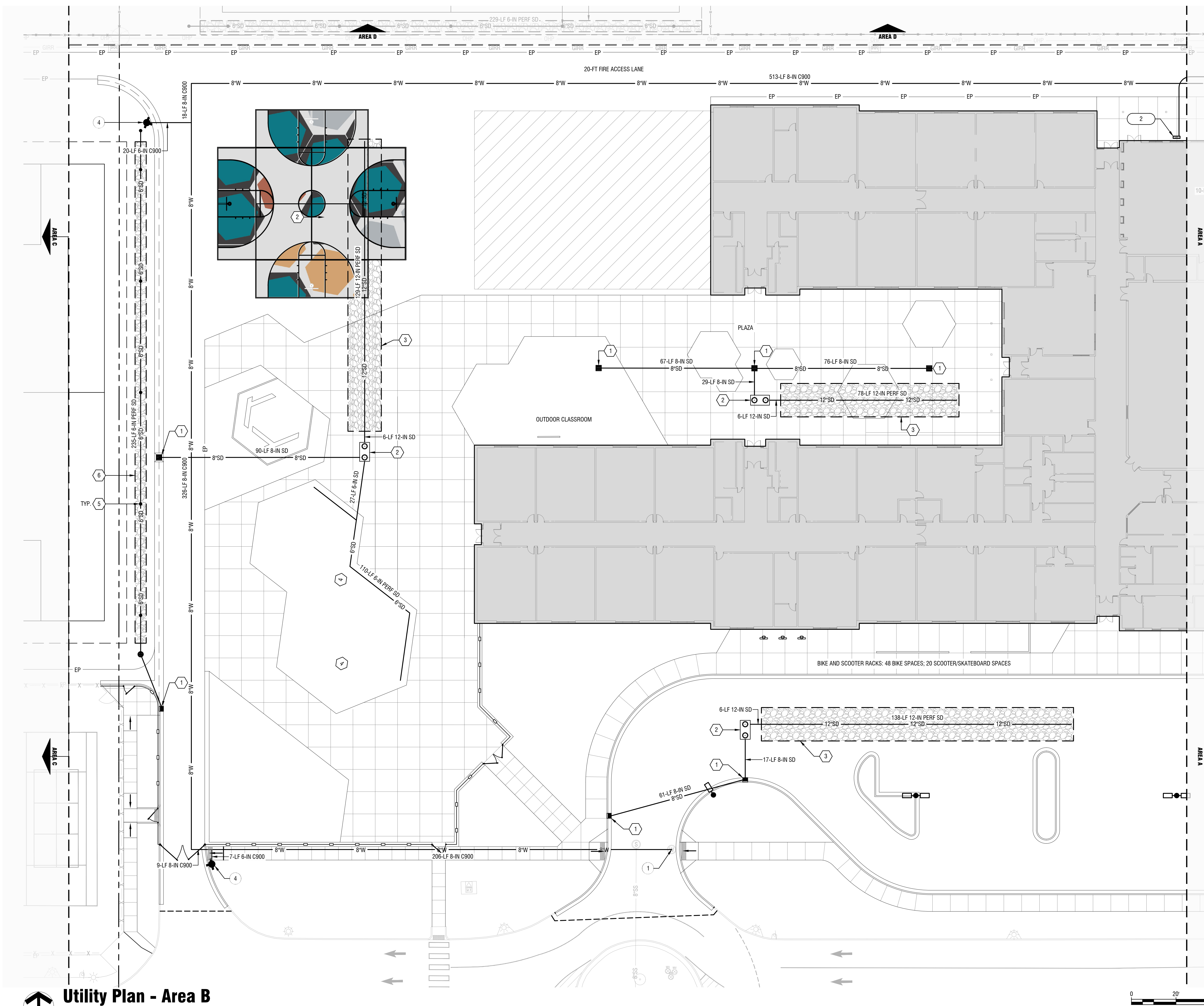
1. CONNECT TO EXISTING SEWER MANHOLE.
2. 6-IN SEWER SERVICE.
3. 4-IN SEWER SERVICE AND GREASE INTERCEPTOR.
4. PROPOSED SEWER MANHOLE.

Drainage Keynotes:

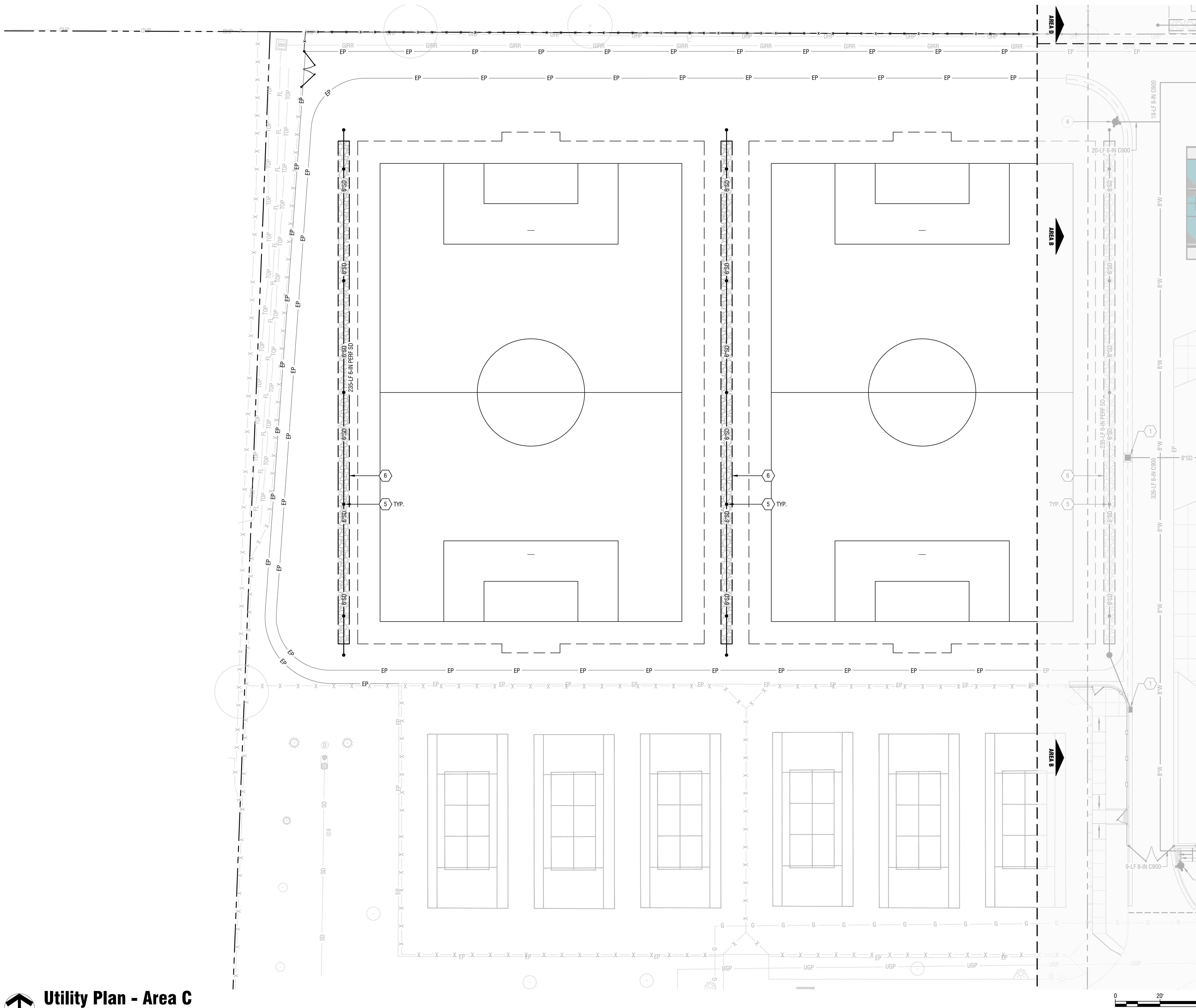
1. CATCH BASIN INLET.
2. SAND AND GREASE TRAP.
3. SEEPAGE BED.
4. PERFORATED STORM DRAIN LINE AT PLAYGROUND.
5. AREA DRAIN.
6. DRAINAGE ROCK TRENCH.

Dry Utility Keynotes:

1. TRANSFORMER.
2. GAS METER.



Utility Plan - Area B
Horizontal Scale: 1" = 20'



- Water Keynotes:**
1. CONNECT TO EXISTING 8-IN WATER MAIN STUB.
 2. 3-IN WATER SERVICE AND TWO (2) PARALLEL 2-IN WATER METERS.
 3. 6-IN FIRE SERVICE.
 4. FIRE HYDRANT.
- Sewer Keynotes:**
1. CONNECT TO EXISTING SEWER MANHOLE.
 2. 6-IN SEWER SERVICE.
 3. 4-IN SEWER SERVICE AND GREASE INTERCEPTOR.
 4. PROPOSED SEWER MANHOLE.
- Drainage Keynotes:**
1. CATCH BASIN INLET.
 2. SAND AND GREASE TRAP.
 3. SEEPAGE BED.
 4. PERFORATED STORM DRAIN LINE AT PLAYGROUND.
 5. AREA DRAIN.
 6. DRAINAGE ROCK TRENCH.
- Dry Utility Keynotes:**
1. TRANSFORMER.
 2. GAS METER.

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WEST ADA SCHOOL DISTRICT
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DATE: 12/20/2024
 LKV PROJECT #: 2429

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DRAWING NO.:

C5.03
 UTILITY PLAN - AREA C

Utility Plan - Area C
 Horizontal Scale: 1" = 20'



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Water Keynotes:

1. CONNECT TO EXISTING 8-IN WATER MAIN STUB.
2. 3-IN WATER SERVICE AND TWO (2) PARALLEL 2-IN WATER METERS.
3. 6-IN FIRE SERVICE.
4. FIRE HYDRANT.

Sewer Keynotes:

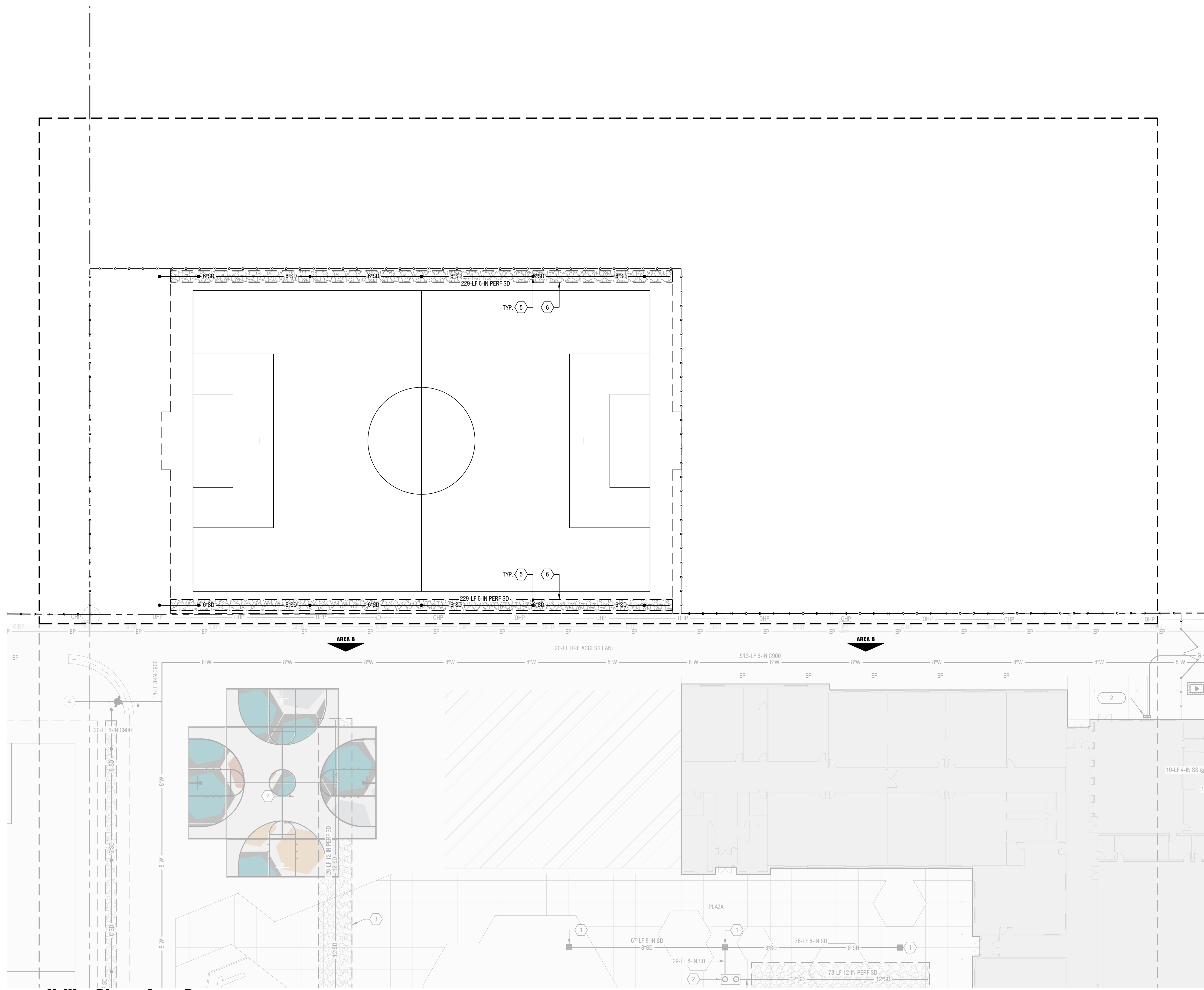
1. CONNECT TO EXISTING SEWER MANHOLE.
2. 6-IN SEWER SERVICE.
3. 4-IN SEWER SERVICE AND GREASE INTERCEPTOR.
4. PROPOSED SEWER MANHOLE.

Drainage Keynotes:

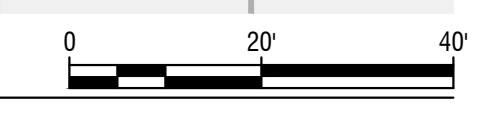
1. CATCH BASIN INLET.
2. SAND AND GREASE TRAP.
3. SEEPAGE BED.
4. PERFORATED STORM DRAIN LINE AT PLAYGROUND.
5. AREA DRAIN.
6. DRAINAGE ROCK TRENCH.

Dry Utility Keynotes:

1. TRANSFORMER.
2. GAS METER.



Utility Plan - Area D
Horizontal Scale: 1" = 20'



#	Revisions Description	Date

**POLLARD ELEMENTARY SCHOOL
WEST ADA SCHOOL DISTRICT**
2211 N POLLARD LN, STAR, ID 83669

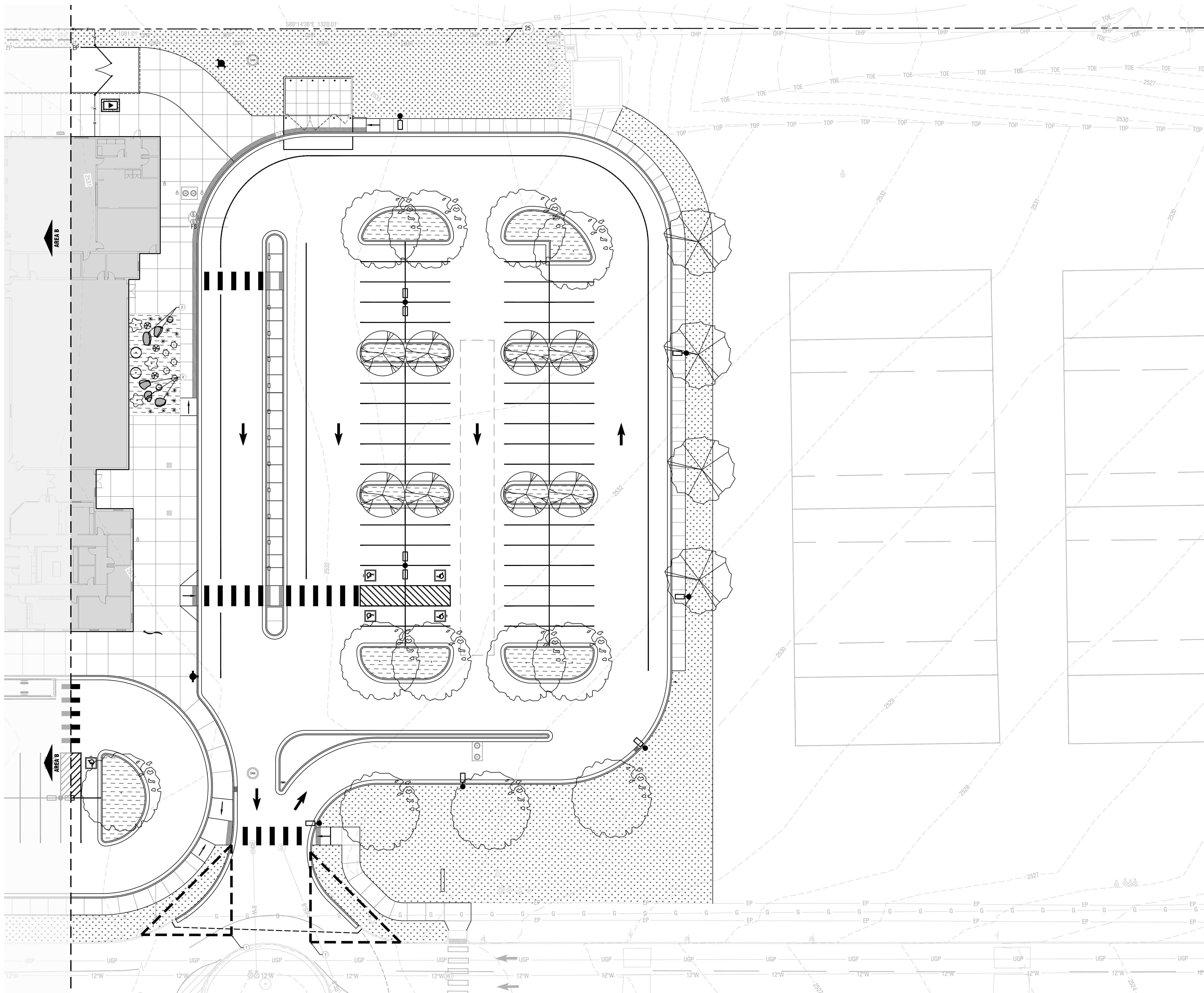
DATE: 12/20/2024
LKV PROJECT #: 2429

DRAWN BY: CL/LM
CHECKED BY: SC

50% DD Set

DRAWING NO.:

C5.04
UTILITY PLAN - AREA D



Sheet Notes:

1. REFER TO LANDSCAPE NOTES, SHEET L1.50.
2. FOR PLANT SCHEDULE, SEE SHEET L1.50.

Material Legend:

	TURF SOD.		3" DEPTH MULCH.
	LARGE BASALT BOULDERS, 3'-4' DIA. TYP. SEE DETAIL 4/L1.50.		3" DEPTH MULCH.

Keynotes:

1. CLEAR VISION TRIANGLE.
2. SANDSTONE BOULDER. SEE DETAIL 4/L1.50.

Landscape Requirements:

- A. STREET FRONTAGE LANDSCAPE REQUIREMENTS**
 A.A. NOT APPLICABLE; PROJECT DOES NOT INCLUDE PUBLIC STREET FRONTAGE.
- B. PARKING LOT LANDSCAPE REQUIREMENTS**
 B.A. PARKING LOT BUFFER - NOT APPLICABLE; PROJECT INCLUDES NO ADJACENT LAND USES OR PUBLIC STREET FRONTAGES.
 B.B. PARKING LOT INTERIOR LANDSCAPE, EAST LOT
 B.B.A. TOTAL PARKING SPACES: 67
 B.B.B. TOTAL INTERIOR LANDSCAPE AREA REQUIRED: 8%
 B.B.C. TOTAL PARKING LOT AREA: 60,101 SF
 B.B.D. TOTAL INTERIOR LANDSCAPE PROVIDED: 3077 SF; 5.1%
 B.B.E. TOTAL ALTERNATIVE COMPLIANCE PERIMETER LANDSCAPE PROVIDED: 12,942 SF; 21.5%
 B.B.F. TOTAL PARKING LOT LANDSCAPE PROVIDED: 16,019 SF; 26.7%
 B.C. PARKING LOT INTERIOR LANDSCAPE, WEST LOT
 B.C.A. TOTAL PARKING SPACES: 29
 B.C.B. TOTAL INTERIOR LANDSCAPE AREA REQUIRED: MIN. 5%
 B.C.C. TOTAL PARKING LOT AREA: 26,202 SF
 B.C.D. TOTAL INTERIOR LANDSCAPE PROVIDED: 1,200 SF; 4.6%
 B.C.E. TOTAL ALTERNATIVE COMPLIANCE PERIMETER LANDSCAPE PROVIDED: 1,264 SF; 4.8%
 B.C.F. TOTAL PARKING LOT LANDSCAPE PROVIDED: 2,464; 9.4%
- C. TREE MITIGATION CALCULATIONS**
 C.A. NOT APPLICABLE; PROJECT DOES NOT INCLUDE EXISTING TREES.
- D. TOTAL LANDSCAPE**
 D.A. GROSS PROJECT AREA: ± 10.33 ACRES
 D.B. TOTAL LANDSCAPE AREA REQUIRED: 10%
 D.C. TOTAL LANDSCAPE AREA PROVIDED (EXCL. PLAZAS): 3.16 ACRES; 30.6%
 D.D. TOTAL TREES PROVIDED: 44 TREES

LKV ARCHITECTS
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 Boise, Idaho 83706
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 208.336.3443

THE LAND GROUP
 PH: 124165
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Revisions	Description	Date
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**POLLARD ELEMENTARY SCHOOL
 WEST ADA SCHOOL DISTRICT**
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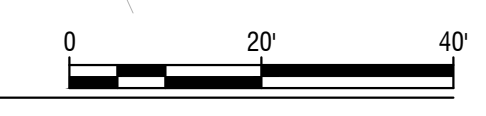
DRAWN BY: CL/LM
 CHECKED BY: SC

50% DD Set

DRAWING NO.:

L1.01
 LANDSCAPE PLAN - AREA A

Landscape Plan - Area A
 Horizontal Scale: 1" = 20'





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DATE: 12/20/2024
LKV PROJECT #: 2429

DRAWN BY: CL/LM
CHECKED BY: SC

50% DD Set

DRAWING NO.:

L1.02

LANDSCAPE PLAN - AREA B

Sheet Notes:

- REFER TO LANDSCAPE NOTES, SHEET L1.50.
- FOR PLANT SCHEDULE, SEE SHEET L1.50.

Material Legend:

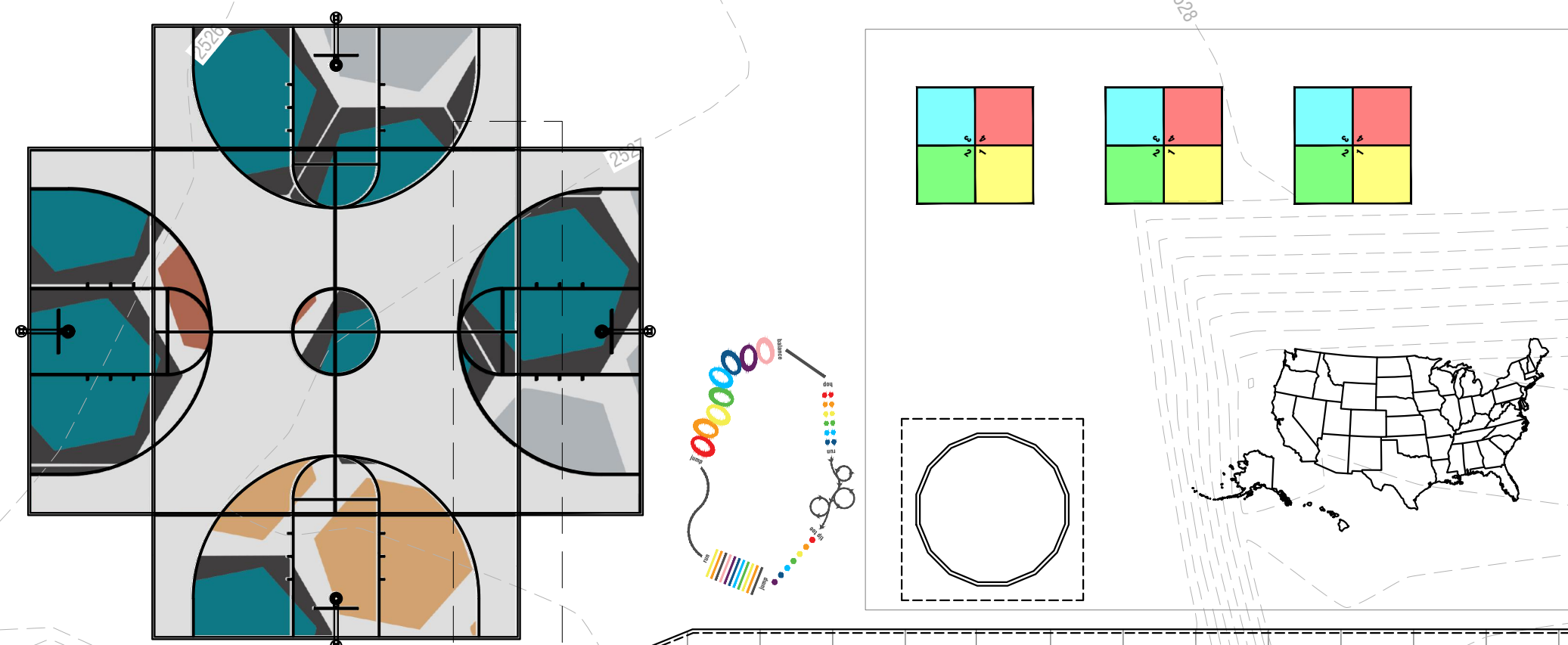
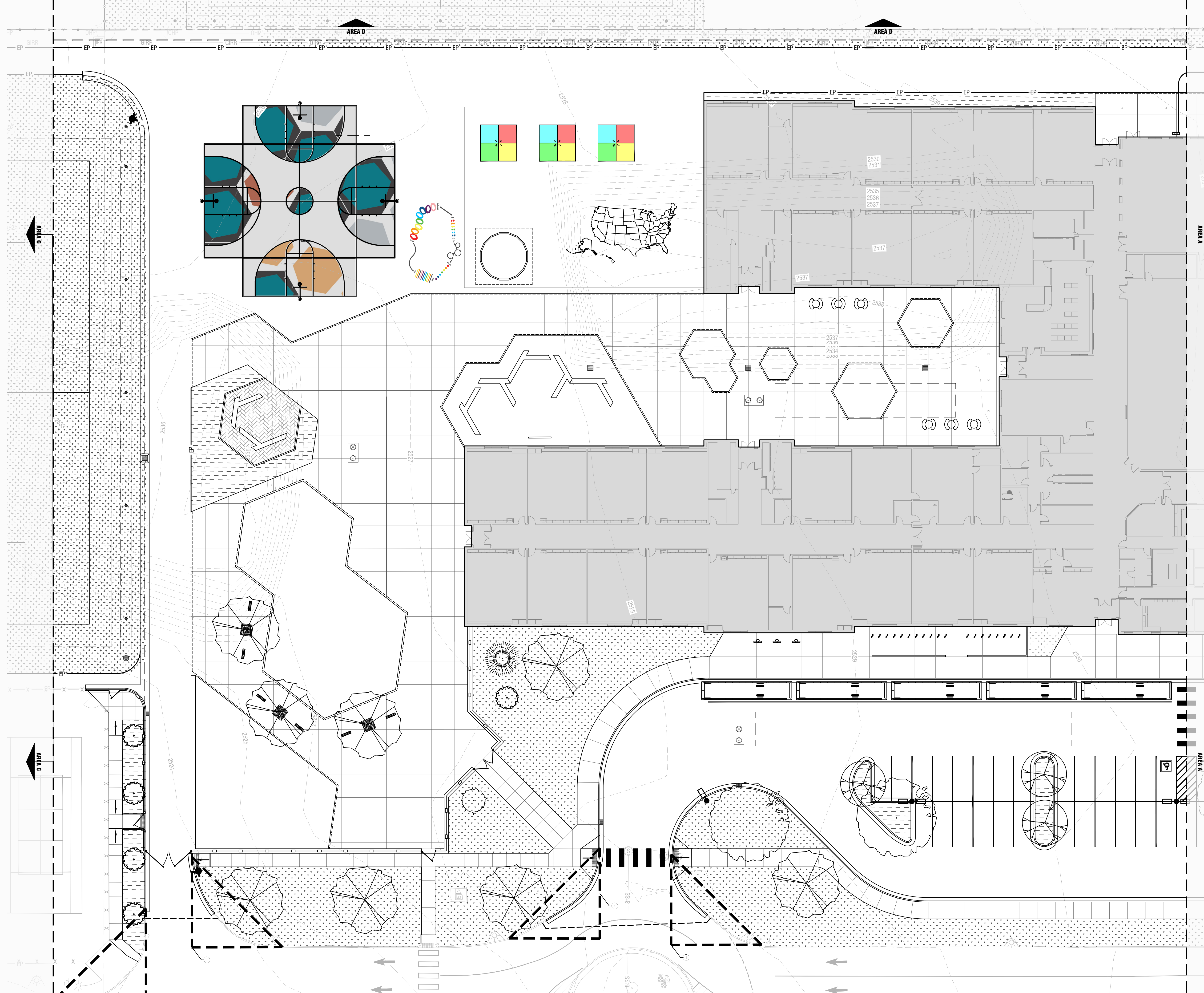
	TURF SOD.		3" DEPTH MULCH.
	LARGE BASALT BOULDERS, 3'-4' DIA. TYP. SEE DETAIL 4/L1.50.		3" DEPTH MULCH.

Keynotes:

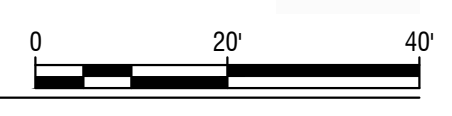
- CLEAR VISION TRIANGLE.
- SANDSTONE BOULDER. SEE DETAIL 4/L1.50.

Landscape Requirements:

- A. STREET FRONTAGE LANDSCAPE REQUIREMENTS**
- A.A. NOT APPLICABLE; PROJECT DOES NOT INCLUDE PUBLIC STREET FRONTAGE.
- B. PARKING LOT LANDSCAPE REQUIREMENTS**
- B.A. PARKING LOT BUFFER - NOT APPLICABLE; PROJECT INCLUDES NO ADJACENT LAND USES OR PUBLIC STREET FRONTAGES.
- B.B. PARKING LOT INTERIOR LANDSCAPE, EAST LOT
- B.B.A. TOTAL PARKING SPACES: 67
- B.B.B. TOTAL INTERIOR LANDSCAPE AREA REQUIRED: 8%
- B.B.C. TOTAL INTERIOR LANDSCAPE AREA PROVIDED: 3077 SF; 5.1%
- B.B.D. TOTAL ALTERNATIVE COMPLIANCE PERIMETER LANDSCAPE PROVIDED: 12,942 SF; 21.5%
- B.B.E. TOTAL PARKING LOT LANDSCAPE PROVIDED: 16,019 SF; 26.7%
- B.C. PARKING LOT INTERIOR LANDSCAPE, WEST LOT
- B.C.A. TOTAL PARKING SPACES: 29
- B.C.B. TOTAL INTERIOR LANDSCAPE AREA REQUIRED: MIN. 5%
- B.C.C. TOTAL INTERIOR LANDSCAPE AREA PROVIDED: 28,202 SF
- B.C.D. TOTAL INTERIOR LANDSCAPE PROVIDED: 1,200 SF; 4.6%
- B.C.E. TOTAL ALTERNATIVE COMPLIANCE PERIMETER LANDSCAPE PROVIDED: 1,264 SF; 4.8%
- B.C.F. TOTAL PARKING LOT LANDSCAPE PROVIDED: 2,464; 9.4%
- C. TREE MITIGATION CALCULATIONS**
- C.A. NOT APPLICABLE; PROJECT DOES NOT INCLUDE EXISTING TREES.
- D. TOTAL LANDSCAPE**
- D.A. GROSS PROJECT AREA: ± 10.33 ACRES
- D.B. TOTAL LANDSCAPE AREA REQUIRED: 10%
- D.C. TOTAL LANDSCAPE AREA PROVIDED (EXCL. PLAZAS): 3.16 ACRES; 30.6%
- D.D. TOTAL TREES PROVIDED: 44 TREES



Landscape Plan - Area B
Horizontal Scale: 1" = 20'





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Revisions	Description	Date
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**POLLARD ELEMENTARY SCHOOL
WEST ADA SCHOOL DISTRICT**
2211 N POLLARD LN, STAR, ID 83669

DATE: 12/20/2024
LKV PROJECT #: 2429

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50% DD Set

DRAWING NO.:

L1.03
LANDSCAPE PLAN - AREA C

Sheet Notes:

1. REFER TO LANDSCAPE NOTES, SHEET L1.50.
2. FOR PLANT SCHEDULE, SEE SHEET L1.50.

Material Legend:

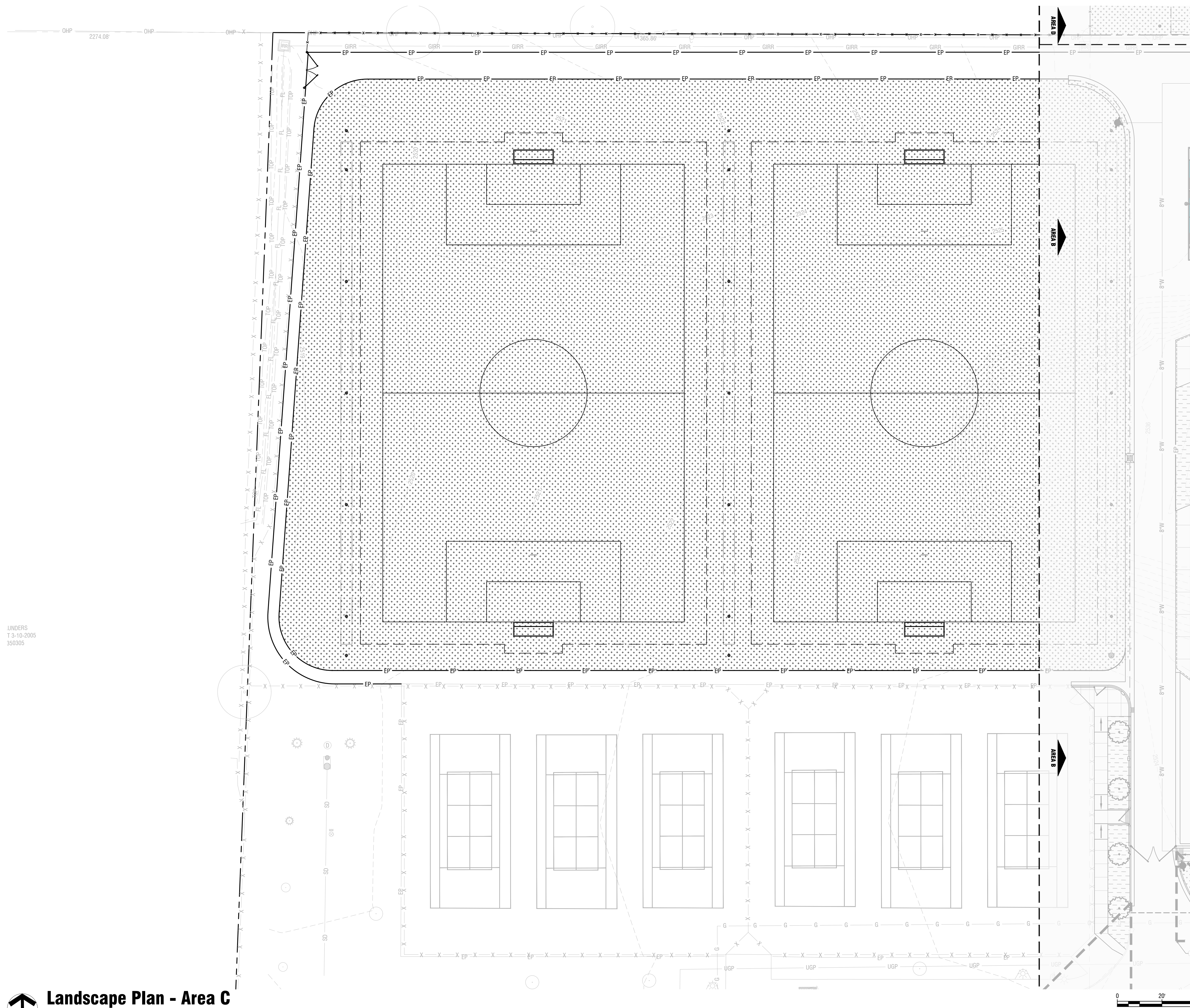
- TURF SOD.
- 3" DEPTH MULCH.
- LARGE BASALT BOULDERS, 3'-4" DIA. TYP. SEE DETAIL 4/L1.50.
- 3" DEPTH MULCH.

Keynotes:

1. CLEAR VISION TRIANGLE.
2. SANDSTONE BOULDER. SEE DETAIL 4/L1.50.

Landscape Requirements:

- A. STREET FRONTAGE LANDSCAPE REQUIREMENTS**
 - A.A. NOT APPLICABLE; PROJECT DOES NOT INCLUDE PUBLIC STREET FRONTAGE.
- B. PARKING LOT LANDSCAPE REQUIREMENTS**
 - B.A. PARKING LOT BUFFER - NOT APPLICABLE; PROJECT INCLUDES NO ADJACENT LAND USES OR PUBLIC STREET FRONTAGES.
 - B.B. PARKING LOT INTERIOR LANDSCAPE, EAST LOT
 - B.B.A. TOTAL PARKING SPACES: 67
 - B.B.B. TOTAL INTERIOR LANDSCAPE AREA REQUIRED: 8%
 - B.B.C. TOTAL PARKING LOT AREA: 60,101 SF
 - B.B.D. TOTAL INTERIOR LANDSCAPE PROVIDED: 3077 SF; 5.1%
 - B.B.E. TOTAL ALTERNATIVE COMPLIANCE PERIMETER LANDSCAPE PROVIDED: 12,942 SF; 21.5%
 - B.B.F. TOTAL PARKING LOT LANDSCAPE PROVIDED: 16,019 SF; 26.7%
 - B.C. PARKING LOT INTERIOR LANDSCAPE, WEST LOT
 - B.C.A. TOTAL PARKING SPACES: 29
 - B.C.B. TOTAL INTERIOR LANDSCAPE AREA REQUIRED: MIN. 5%
 - B.C.C. TOTAL PARKING LOT AREA: 26,202 SF
 - B.C.D. TOTAL INTERIOR LANDSCAPE PROVIDED: 1,200 SF; 4.6%
 - B.C.E. TOTAL ALTERNATIVE COMPLIANCE PERIMETER LANDSCAPE PROVIDED: 1,264 SF; 4.8%
 - B.C.F. TOTAL PARKING LOT LANDSCAPE PROVIDED: 2,464; 9.4%
- C. TREE MITIGATION CALCULATIONS**
 - C.A. NOT APPLICABLE; PROJECT DOES NOT INCLUDE EXISTING TREES.
- D. TOTAL LANDSCAPE**
 - D.A. GROSS PROJECT AREA: ±10.33 ACRES
 - D.B. TOTAL LANDSCAPE AREA REQUIRED: 10%
 - D.C. TOTAL LANDSCAPE AREA PROVIDED (EXCL. PLAZAS): 3.16 ACRES; 30.6%
 - D.D. TOTAL TREES PROVIDED: 44 TREES



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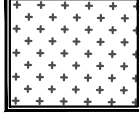


Landscape Plan - Area C
Horizontal Scale: 1" = 20'



Sheet Notes:

1. REFER TO LANDSCAPE NOTES, SHEET L1.50.
2. FOR PLANT SCHEDULE, SEE SHEET L1.50.

Material Legend:

	TURF SOD.		3" DEPTH MULCH.
	LARGE BASALT BOULDERS, 3'-4' DIA. TYP. SEE DETAIL 4/L1.50.		3" DEPTH MULCH.

Keynotes:

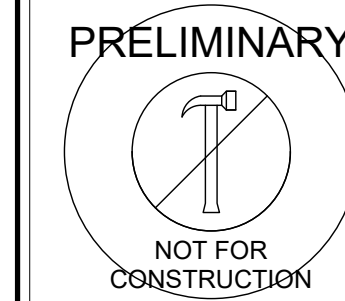
1. CLEAR VISION TRIANGLE.
2. SANDSTONE BOULDER. SEE DETAIL 4/L1.50.

Landscape Requirements:

- A. STREET FRONTAGE LANDSCAPE REQUIREMENTS**
- A.A. NOT APPLICABLE; PROJECT DOES NOT INCLUDE PUBLIC STREET FRONTAGE.
- B. PARKING LOT LANDSCAPE REQUIREMENTS**
- B.A. PARKING LOT BUFFER - NOT APPLICABLE; PROJECT INCLUDES NO ADJACENT LAND USES OR PUBLIC STREET FRONTAGES.
- B.B. PARKING LOT INTERIOR LANDSCAPE, EAST LOT
- B.B.A. TOTAL PARKING SPACES: 67
- B.B.B. TOTAL INTERIOR LANDSCAPE AREA REQUIRED: 8%
- B.B.C. TOTAL PARKING LOT AREA: 60,101 SF
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- B.B.F. TOTAL PARKING LOT LANDSCAPE PROVIDED: 16,019 SF; 26.7%
- B.C. PARKING LOT INTERIOR LANDSCAPE, WEST LOT
- B.C.A. TOTAL PARKING SPACES: 29
- B.C.B. TOTAL INTERIOR LANDSCAPE AREA REQUIRED: MIN. 5%
- B.C.C. TOTAL PARKING LOT AREA: 28,202 SF
- B.C.D. TOTAL INTERIOR LANDSCAPE PROVIDED: 1,200 SF; 4.6%
- B.C.E. TOTAL ALTERNATIVE COMPLIANCE PERIMETER LANDSCAPE PROVIDED: 1,264 SF; 4.8%
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- C. TREE MITIGATION CALCULATIONS**
- C.A. NOT APPLICABLE; PROJECT DOES NOT INCLUDE EXISTING TREES.
- D. TOTAL LANDSCAPE**
- D.A. GROSS PROJECT AREA: ± 10.33 ACRES
- D.B. TOTAL LANDSCAPE AREA REQUIRED: 10%
- D.C. TOTAL LANDSCAPE AREA PROVIDED (EXCL. PLAZAS): 3.16 ACRES; 30.6%
- D.D. TOTAL TREES PROVIDED: 44 TREES



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2211 N POLLARD LN, STAR, ID 83669

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50% DD Set

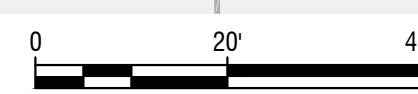
DRAWING NO.:

L1.04

LANDSCAPE PLAN - AREA D



Landscape Plan - Area D
Horizontal Scale: 1" = 20'



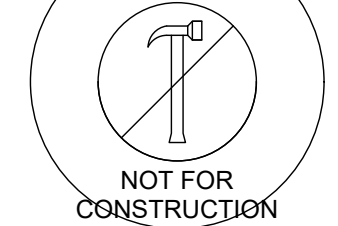


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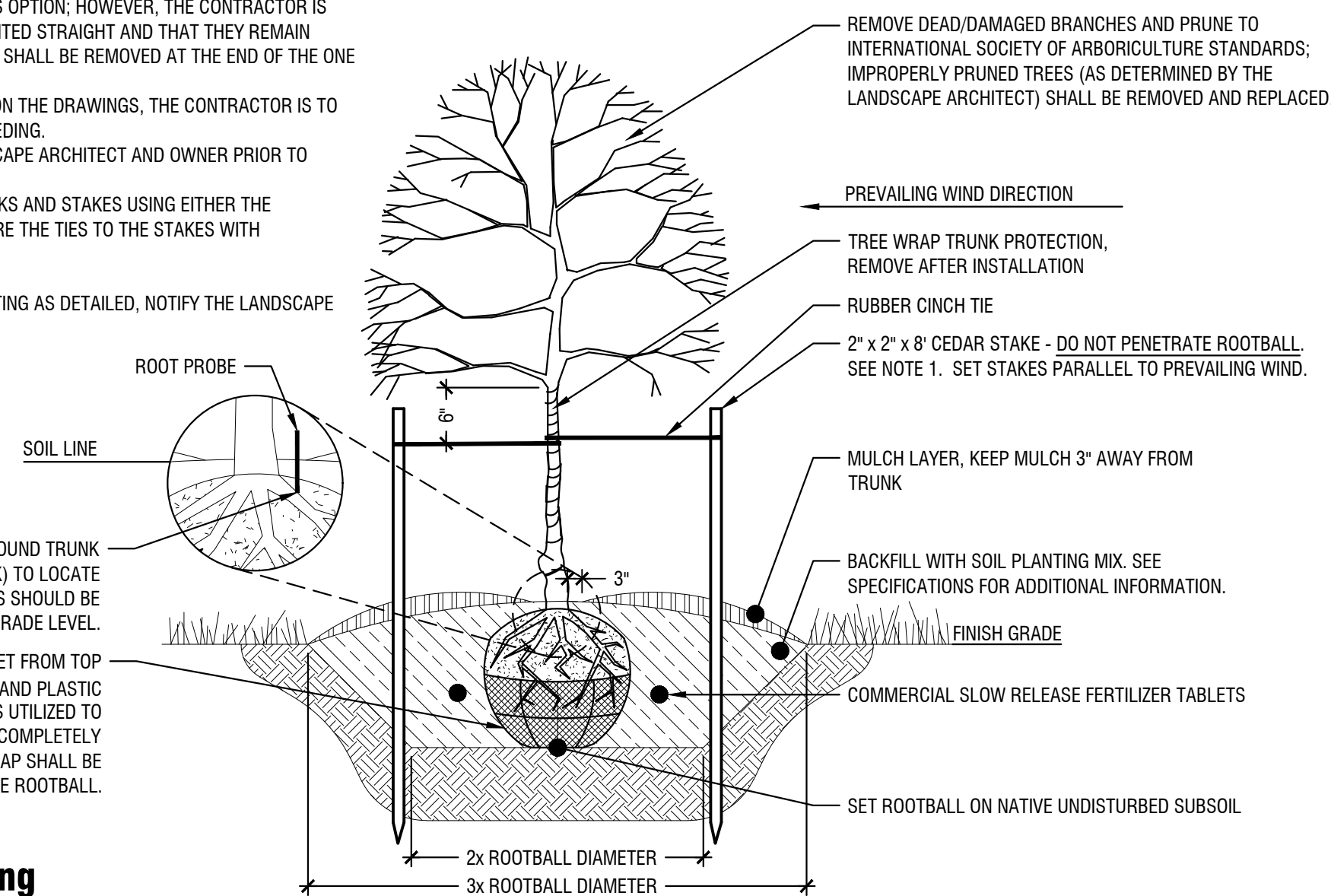
DRAWING NO.:

L1.50

LANDSCAPE DETAILS

NOTES:

- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
- IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
- WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
- WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
- IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

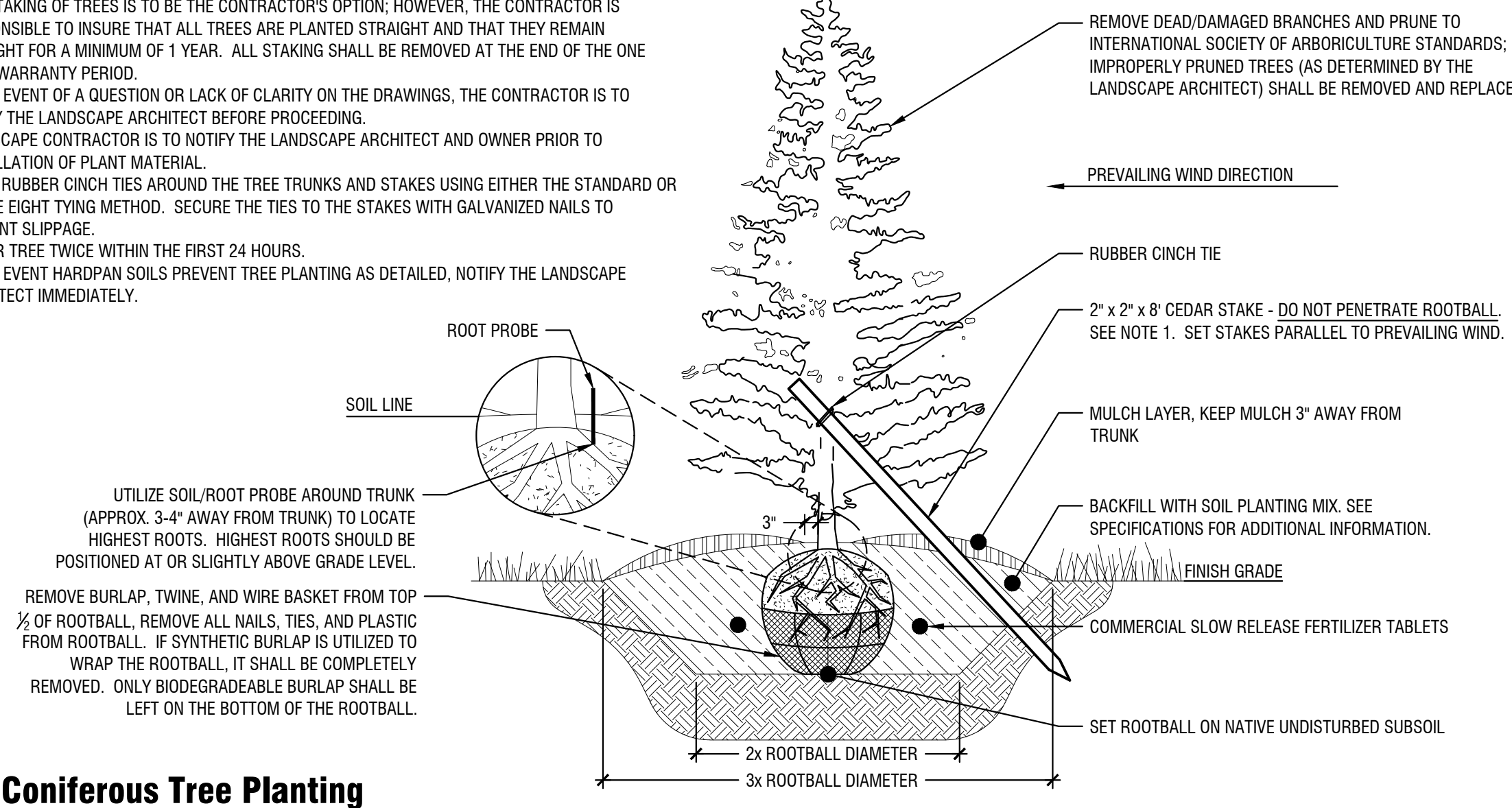


1 Deciduous Tree Planting

Scale: NTS

NOTES:

- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
- IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
- WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
- WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
- IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.



2 Coniferous Tree Planting

Scale: NTS

Landscape Notes:

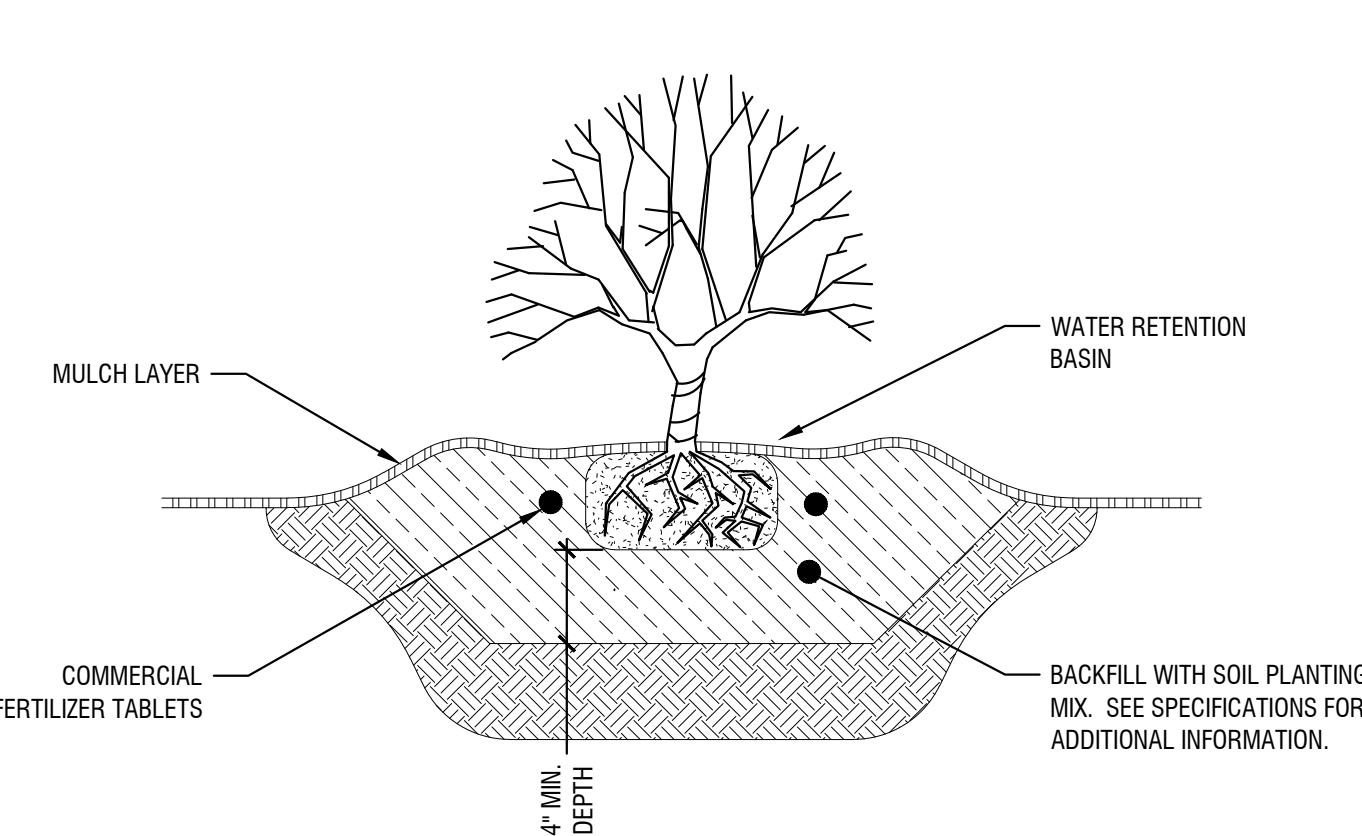
- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- ALL EXISTING TREES OUTSIDE OF WORK LIMITS WILL BE RETAINED AND PROTECTED.
- CONTRACTOR SHALL STAKE ALL TREES DEEMED NECESSARY, I.E.... FROM BEING BLOWN OVER, PLANTED WITH LOOSE ROOT BALL, ETC. CONTRACTOR'S OPTION.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" OF MEDIUM (2" MINUS) BARK MULCH.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- FINISH GRADES TO BE SMOOTH AND EVEN GRADIENTS WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN.
- IN ALL PLANTER BEDS AND LAWN AREAS, THE TOP 6 INCHES OF TOPSOIL WILL BE AMENDED AT A RATIO OF 3 CUBIC YARDS OF COMPOST/ORGANIC MATTER PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL. ALL TREE PITS SHALL BE A MIX OF SEVEN PARTS TOPSOIL (AS SPECIFIED IN THESE NOTES) AND THREE PARTS COMPOST/ORGANIC MATTER, BY VOLUME.
- FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 18" OF TOPSOIL. SOD AREAS A MINIMUM OF 12" OF TOPSOIL. SPREAD, COMPACT AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW SURFACE OF WALKS AND CURBS IN PLANTING BED AREAS, AND 1/2" IN LAWN AREAS.
- RE-USE EXISTING SURFACE TOPSOIL WHERE POSSIBLE. VERIFY SUITABILITY OF SURFACE SOIL TO PRODUCE TOPSOIL MEETING REQUIREMENTS AND AMEND WHEN NECESSARY. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOxious WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTORS ARE RESPONSIBLE TO EITHER: A) PROVIDE APPROVED IMPORTED TOPSOIL, OR B.) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY LANDSCAPE ARCHITECT. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
- OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES.
- IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
- ALL LANDSCAPED AREAS SHALL BE EQUIPPED WITH A PRESSURIZED IRRIGATION SYSTEM CONSTRUCTED TO CITY OF CALDWELL MUNICIPAL IRRIGATION DISTRICT (CMD) STANDARDS. THIS PRESSURIZED AUTOMATIC UNDERGROUND SPRINKLER SYSTEM SHALL PROVIDE COMPLETE COVERAGE AND BE PROPERLY ZONED FOR REQUIRED WATER USES.

Tree Protection Notes:

- PROTECT THE CRITICAL ROOT ZONE OF THE TREES TO BE RETAINED ON SITE: (NOTE: CRITICAL ROOT ZONE IS THE AREA DIRECTLY BELOW THE DRIP LINE OF THE TREE.)
 - CONSTRUCT PROTECTIVE FENCING OF CHAIN-LINK AROUND THE CRITICAL ROOT ZONE PRIOR TO DEMOLITION OR CONSTRUCTION.
 - DO NOT ALLOW COMPACTION BY EQUIPMENT TRAFFIC DURING CONSTRUCTION OR DURING DEMOLITION.
 - DO NOT ALLOW CEMENT TRUCKS TO RINSE WITHIN THE PROTECTION AREA, ANYWHERE THAT TREE ROOTS EXIST OR IN PLANNED PLANTING BEDS.
 - DO NOT STOCKPILE MATERIALS, DEBRIS OR DIRT WITHIN THE TREE PROTECTION AREA.
 - MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE FROM MID-APRIL TO MID-OCTOBER AT THE RATE OF NOT LESS THAN THE EQUIVALENT OF 1-1/2" OF WATER OVER THE ENTIRE AREA PER WEEK.
 - DO NOT TRENCH, EXCAVATE, FILL OR OTHERWISE DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE.
 - ADJUST PROPOSED IMPROVEMENT LOCATIONS AS REQUIRED TO AVOID DAMAGING TREE ROOTS.
- PROTECT THE CROWN AND TRUNK OF TREES TO BE RETAINED ON SITE:
 - OPERATE EQUIPMENT IN SUCH A WAY AS TO AVOID CONTACT WITH TREE TRUNKS OR BRANCHES.
 - PRUNING OF PUBLIC PROPERTY TREES SHALL BE PERFORMED BY A LICENSED ARBORIST.
- ALL TREES DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED USING THE FOLLOWING CRITERIA:

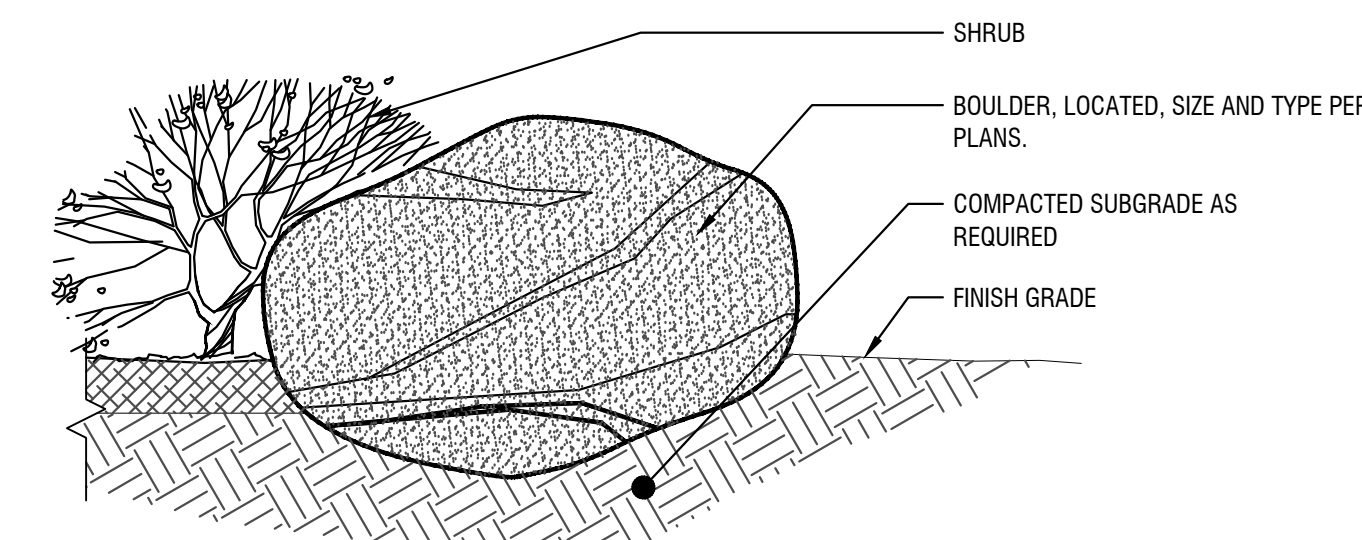
EXISTING TREE	REPLACEMENT
1" TO 6" CALIPER.....	2X CALIPER OF TREE REMOVED
6" TO 12" CALIPER.....	1.5X CALIPER OF TREE REMOVED
> 12" OR LARGER CALIPER.....	1X CALIPER OF TREE REMOVED

EXAMPLE: IF AN 8" CALIPER TREE IS REMOVED, AN ACCEPTABLE REPLACEMENT WOULD BE (3) 4" CALIPER TREES OR (4) 3" CALIPER TREES.



3 Shrub Planting

Scale: NTS

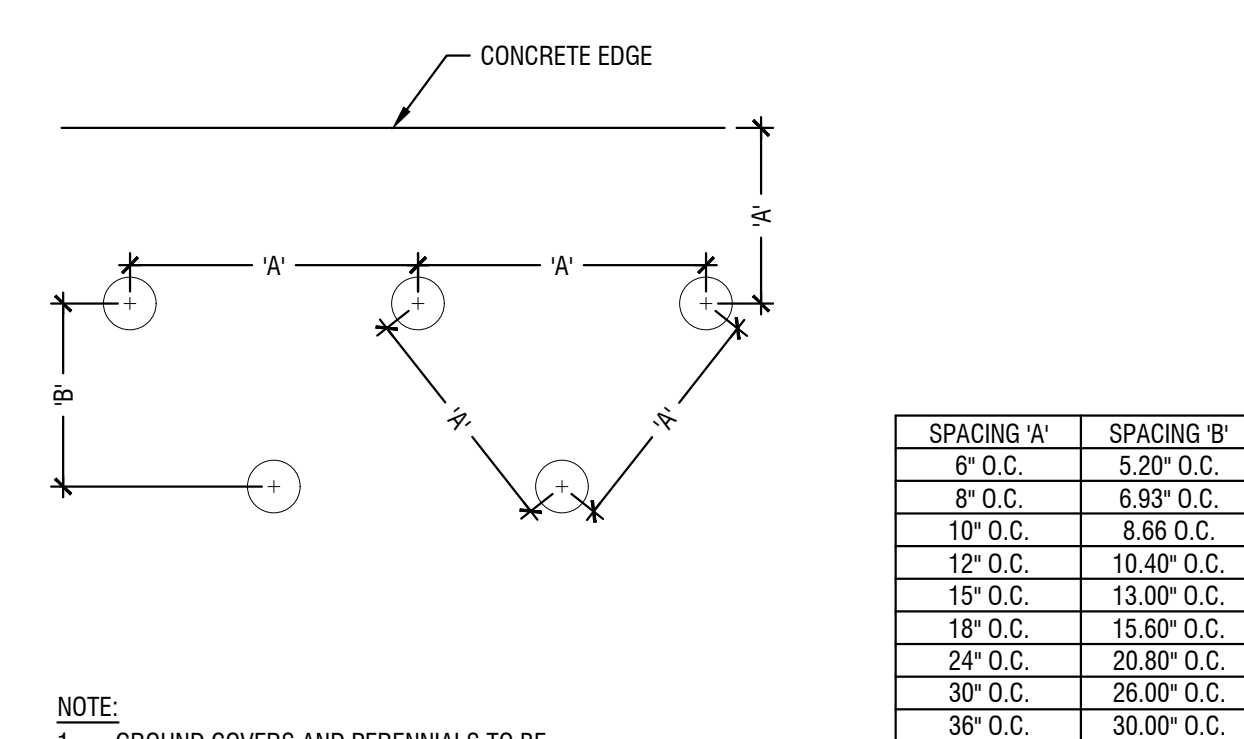


NOTES:

- NOTIFY LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
- PLACE BOULDERS PRIOR TO INSTALLATION OF IRRIGATION SYSTEM.
- CLEAN ALL BOULDERS OF DIRT AND LOOSE DEBRIS.
- WHEN PLACING BOULDERS, BURY 1/4 TO 1/3 OF BOULDER BELOW FINISH GRADE.
- DO NOT SCAR OR DAMAGE BOULDERS.

4 Boulder Installation

Scale: NTS



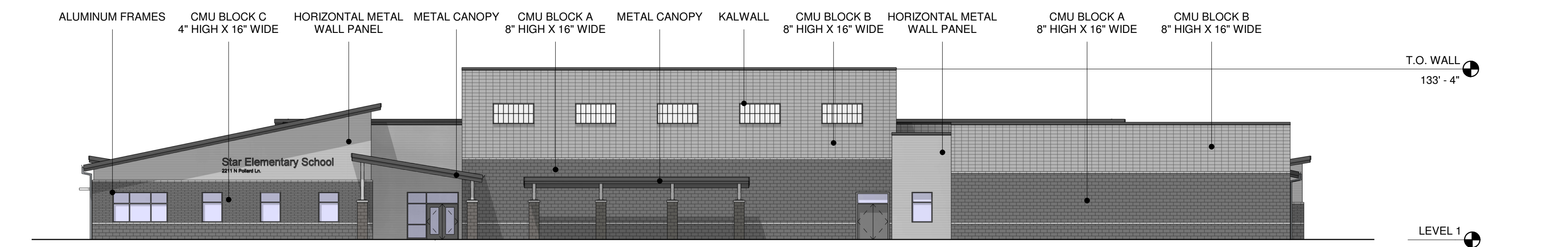
NOTE:

- GROUND COVERS AND PERENNIALS TO BE INSTALLED WITH TRIANGULAR SPACING.

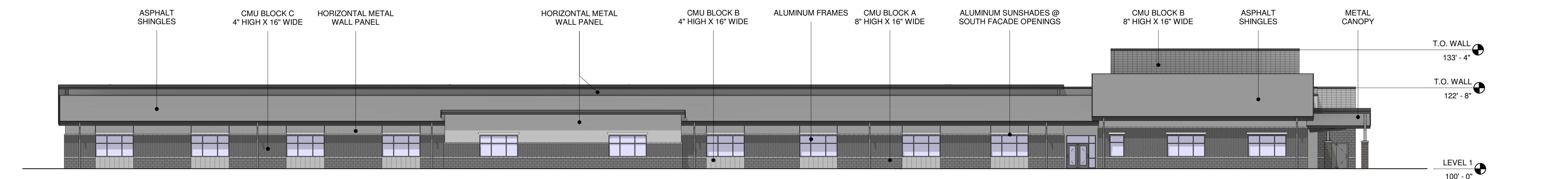
5 Typical Plant Spacing

Scale: NTS

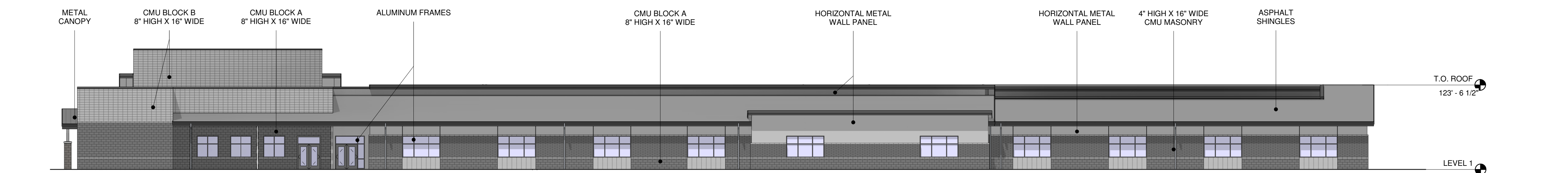
PLANT SCHEDULE					
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES					
	GS	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER HONEY LOCUST 45' HGT, 35' SPD	2" CAL.	B&B	12
	LE	LIRIODENDRON TULIPIFERA 'JFS-02' / EMERALD CITY® TULIP POPLAR 50' HGT, 25' SPD	2" CAL.	B&B	11
	PB	PICEA PUNGENS GLAUCA 'BABY BLUE EYES' / BABY BLUE EYES COLORADO BLUE SPRUCE 25' HGT, 15' SPD	7" HT.	B&B	1
	PG	PICEA GLAUCA / WHITE SPRUCE 50' HGT, 20' SPD	7" HT.	B&B	1
	QY	QUERCUS X BIMUNDORUM 'JFS-KW20X' / SKINNY GENES® OAK 45' HGT, 10' SPD	2" CAL.	B&B	5
	ZV	ZELKOVA SERRATA 'VILLAGE GREEN' / VILLAGE GREEN JAPANESE ZELKOVA 50' HGT, 40' SPD	2" CAL.	B&B	14
SHRUBS					
	CB	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD 3' HGT, 3' SPD	3 GAL.	POT	3
	CH	CORNUS ALBA 'BAILHALO' / IVORY HALO® TATARIAN DOGWOOD 6' HGT, 6' SPD	5 GAL.	POT	2
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS 3' HGT, 2' SPD	1 GAL.	POT	11
	HL	HYDRANGEA PANICULATA 'LIMELIGHT' / LIMELIGHT PANICLE HYDRANGEA 6' HGT, 6' SPD	3 GAL.	POT	3
	LA	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER 3' HGT, 2' SPD	2 GAL.	POT	5
	PS	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE 2' HGT, 3' SPD	3 GAL.	POT	2



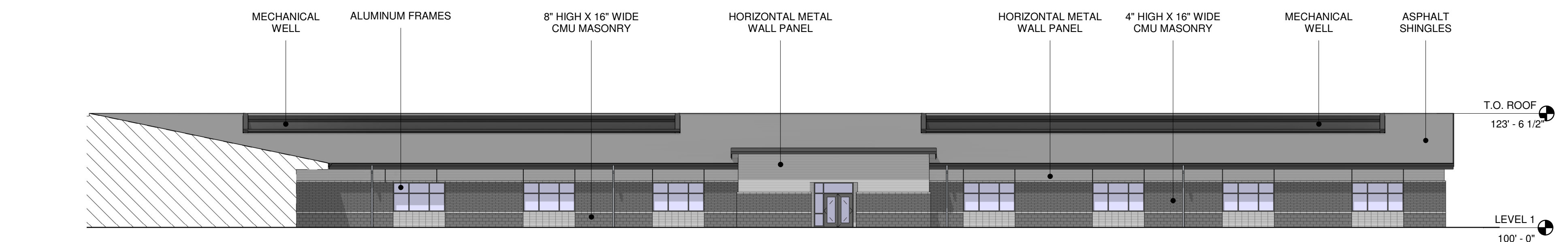
① EAST ELEVATION - OVERALL - CU_CZC
1/16" = 1'-0"



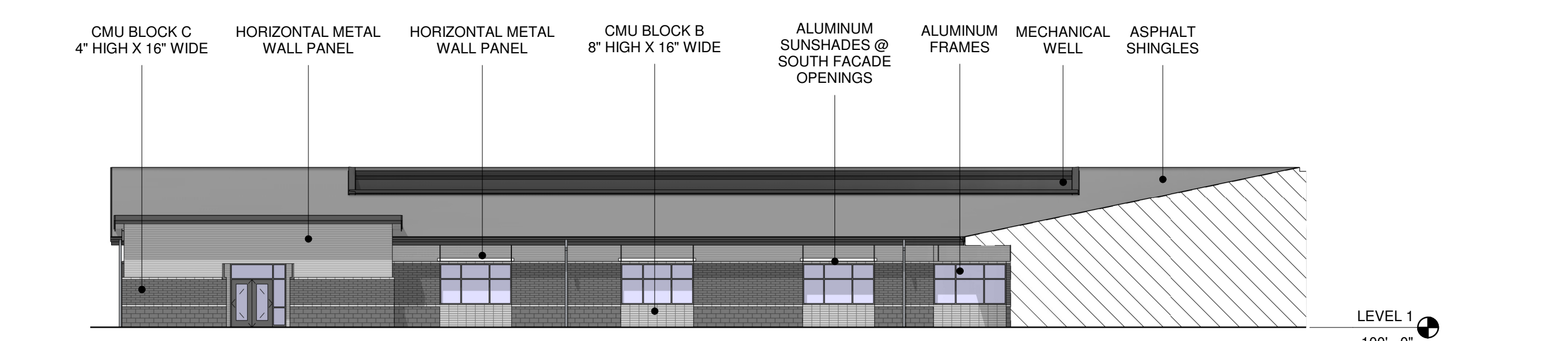
② SOUTH ELEVATION - OVERALL - CU_CZC
1/16" = 1'-0"



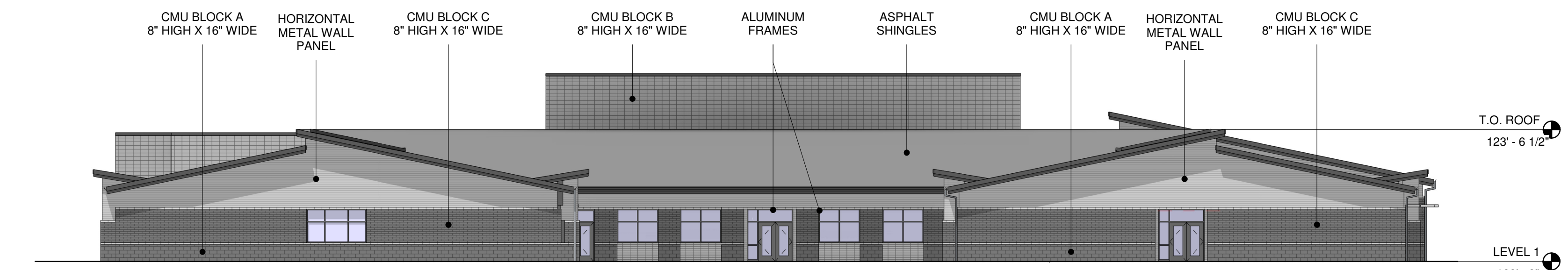
③ NORTH ELEVATION - OVERALL - CU_CZC
1/16" = 1'-0"



④ NORTH ELEVATION - COURTYARD - OVERALL - CU_CZC
1/16" = 1'-0"



⑤ SOUTH ELEVATION - COURTYARD - OVERALL - CU_CZC
1/16" = 1'-0"



⑥ WEST ELEVATION - OVERALL - CU_CZC
1/16" = 1'-0"

MATERIAL PALETTE BLOCK



CMU MASONRY - BLOCK A
MANUFACTURE: BASALITE CONCRETE PRODUCTS
SIZE: 8 x 8 x 16 AND 12 x 8 x 16
COLOR: 995 GRANITE GOLD
TEXTURE: SPLIT FACE



CMU MASONRY - BLOCK B
MANUFACTURE: BASALITE CONCRETE PRODUCTS
SIZE: 4 x 4 x 16 AND 12 x 8 x 16
COLOR: 615
TEXTURE: GROUND FACE



CMU MASONRY - BLOCK C
MANUFACTURE: BASALITE CONCRETE PRODUCTS
SIZE: 4 x 4 x 16
COLOR: SPECBRICK - FLINT BLEND



HORIZONTAL METAL WALL PANEL
MANUFACTURE: PAC-CLAD
SIZE: HWP 16"
COLOR: METALLIC SILVER



January 9, 2025

Shawn Nickel
City of Star
PO Box 130
Star, ID 83669

**Re: Pollard Lane Elementary School
Conditional Use Permit**

Dear Mr. Nickel

The Star Sewer and Water District has reviewed the Pollard Lane Elementary School CUP application provided by your office. The property is not currently annexed into the Star Sewer and Water District and will be required to do so prior to any sewer and water permits for the property. Our system has capacity to serve both sewer and water loads for this project.

However, no preliminary utility improvements were shown on the CUP application. Prior to any construction improvements the applicant shall be required to submit a full set of construction drawings to the District. Sewer is located in drive located on the Middle School property south of the building with stub locations to this property. Water is located in the same drive isle with multiple stubs to the elementary school property. Again, construction drawings of the proposed improvements will be required prior to the construction of any improvements.

Very truly yours,

Ryan V. Morgan, P.E.
District Engineer



City of Star
P.O. Box 130
Star, Idaho 83669
208-286-7247
Fax 208-286-7569
www.staridaho.org

Mayor:
Trevor A. Chadwick

Council:
Kevin Nielsen
Jennifer Salmonsens
Kevan Wheelock
David Hershey

15 January 2025

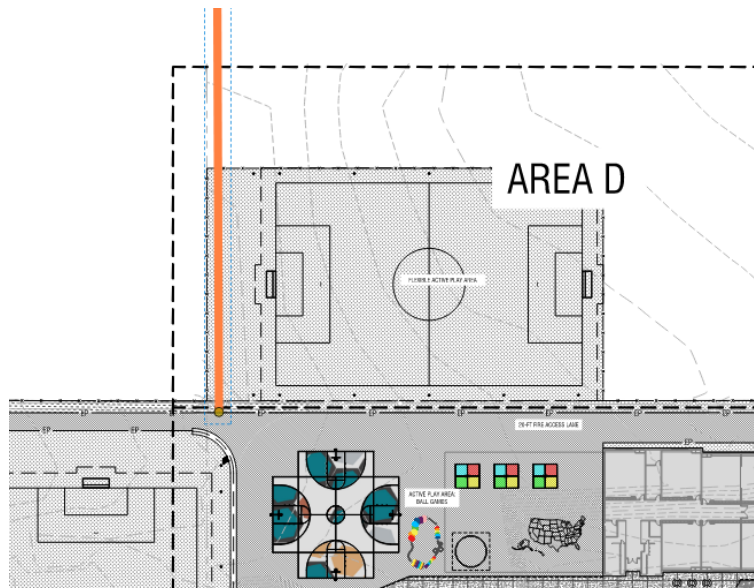
Toby Norskog
LKV Architects
2400 Riverwalk Dr.
Boise, ID 83702

Re: Pollard Lane Elementary School – CUP Application

Dear Mr. Norskog,

The City of Star Engineering Department has reviewed the CUP for the Pollard Lane Elementary School dated December 24, 2024. We reviewed the applicant’s package to check conformance with the City’s Subdivision Ordinance and coordinated our review with Shawn L. Nickel. We have the following comments and question based on our review.

1. There is a pathway located in the subdivision north of the West Ada School Districts Property. It is recommended that the District extend a pathway along the western boundary line of the Future Phase and Area D to connect to this pathway. This will help the overall safety of the students by routing them off Pollard Lane (no sidewalks/gravel shoulders) onto school property.



2. Potable water cannot be used for irrigation purposes. A separate pressure irrigation system will be required. Construction plans for a pressure irrigation system will be required prior to construction. Plan approvals and license agreements from the affected irrigation and/or canal companies will be required.
3. Street lighting shall be in accordance with ISPWC and the City of Star Supplementals. Cut sheet for lights and light poles shall be approved in writing by the City prior to installation.
4. Historic irrigation lateral, drain, and ditch flow patterns shall be maintained unless approved in writing by the local irrigation district or ditch company.
5. Finish grades at boundaries shall match existing finish grades. Runoff shall be maintained on subdivision property unless otherwise approved.
6. Easements for sewer/water facilities will be required where placed outside of public right of way.

We recommend that the application be APPROVED with the conditions listed above. Any variance or waivers to the City of Star standards, ordinances, or policies must be specifically approved in writing by the City. Approval of the above referenced application does not relieve the applicant of those responsibilities.

If you have any questions, please do not hesitate to contact City Hall

Sincerely,





Ryan V. Morgan, P.E.
City Engineer

Enclosures

Star Fire Protection District

Date: January 7, 2025

To: City of Star Planning & Zoning

From: Victor Islas, Deputy Chief  

Subject: Fire District Comments

File: Pollard Lane Elementary School
CU-24-09 Conditional Use

The Star Fire Protection District has assessed the documents provided by the City of Star on January 7, 2025, review comments are as follows:

The Applicant is requesting approval of a Conditional Use Permit for a proposed new elementary school. The property is located at 2211 N. Pollard Lane in Star, Ada County, Idaho.

The development will be served by the Star Fire Protection District's Station 51, located at 11665 W. State St., Star, Idaho 83669. Station 51 is approximately 3.3 mile(s) from the development entrance, with an estimated travel time of 8 minutes under optimal driving conditions.

Future response coverage will be provided by Star Fire Protection District Staton 55, located at 9415 W Floating Feather Rd. Star, ID. Station 55 is 0.8 mile(s) with an estimated travel time of 3 minutes under ideal driving conditions to the entrance of the development.

The district does not oppose the application, contingent on adherence to the following code requirements and approval conditions:

1. Codes:
 - 1.1. This development shall comply with the 2018 International Fire Code (IFC) along with any relevant codes established by the City of Star, Idaho.
2. Water Supply for Firefighter Operations Compliance:
 - 2.1. The development must meet all water supply requirements as outlined in the 2018 International Fire Code (IFC). This includes ensuring adequate water supply for fire suppression purposes in accordance with the code.
3. Fire Department Access:
 - 3.1. The development must provide proper fire department access as required by the 2018 International Fire Code (IFC). This includes ensuring that all access roads, fire lanes, and other necessary access points are compliant with the code to facilitate prompt emergency response.
4. Additional Comments:
 - 4.1. Additional reviews will take place during the site construction and building permit phases. At that time, the project must comply with the current Fire Code and any applicable codes set by the City of Star.
 - 4.2. The applicant is responsible for submitting the necessary applications and supporting documents to the Fire District for review. Applicable review fees will be charged by the Fire District.



**Your Safety • Your Mobility
Your Economic Opportunity**

IDAHO TRANSPORTATION DEPARTMENT
P.O. Box 8028 • Boise, ID 83707-2028
(208) 334-8300 • itd.idaho.gov

January 24, 2025

Shawn Nickel
Planning Director & Zoning Administrator
10769 W State Street
Star, Idaho 83669

VIA EMAIL

Development Application	CU-24-09
Project Name	Pollard Lane Elementary School
Project Location	Approx ½ mile west of SH-16 MP 101.27
Project Description	65,000 sqft Elementary School for grades Pre-K-5
Applicant	West Ada School District

The Idaho Transportation Department (ITD) reviewed the referenced application(s) and has the following comments:

1. This project does not abut the state highway system.
2. Currently, Kittelson & Associates is preparing a Traffic Impact Study (TIS) for ITD to review.
3. ITD reserves the right to make further comments upon review of any submitted TIS or other requested documents.

If you have questions regarding this application, you may contact Niki Benyakhlef at Niki.Benyakhlef@itd.idaho.gov or (208)334-8337.

Sincerely,

Niki Benyakhlef

Niki Benyakhlef
Development Services Coordinator
ITD District 3
Niki.Benyakhlef@itd.idaho.gov

Shawn Nickel

From: Ken Borja <k_borja@msn.com>
Sent: Tuesday, January 21, 2025 7:06 PM
To: Shawn Nickel
Subject: Pollard Lane Elementary School

Hello Steve,

I would like to comment to the Star City Council in regards to the Pollard Lane Elementary School.

The following are my concerns:

1. There is no sidewalk from Floating Feather to the school entrance (on Pollard, on east boundary of cemetery). How can you approve another school with this extreme safety hazard.
2. There should be consideration for another entrance to the school property. The traffic with the Middle School is already a burden on the area.

Thank you,
Ken Borja
2173 N. Garnet Creek Avenue
Star, Idaho 83669
(208) 695-4096

Sent from my iPhone