

**CITY COUNCIL REGULAR MEETING AGENDA**City Hall - 10769 W State Street, Star, Idaho
Tuesday, April 16, 2024 at 7:00 PM

PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.

1. **CALL TO ORDER** – Welcome/Pledge of Allegiance
2. **INVOCATION** – Pastor David Ax, Calvary Star Church
3. **ROLL CALL**
4. **PRESENTATIONS**
 - A. **PROCLAMATION** - Denim Day / Sexual Assault Awareness
 - B. **Star Police Chief Monthly Report**
 - C. **Star Fire Chief Monthly Report**
5. **CONSENT AGENDA (ACTION ITEM)** **All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*
 - A. **Approval of Minutes:** April 2, 2024
 - B. **Claims**
 - C. **Findings of Fact / Conclusion of Law** - Milepost Commons Subdivision (File: PP-23-05 / DA-21-15 MOD)
6. **ACTION ITEMS:**(The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
 - A. **Ordinance 402-2024 (Star Point #2 & Development Agreement)** AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AT 6777 N. STAR ROAD (ADA COUNTY PARCELS S0419449020); THE PROPERTY IS OWNED BY GHW HOLDINGS LLC; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS RESIDENTIAL WITH A DEVELOPMENT AGREEMENT (R-4-DA) OF APPROXIMATELY 2.01 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE. **(ACTION ITEM)**
 - B. **Beer / Wine / Liquor By the Drink License - Prime American Steakhouse** - Approval of New Beer, Wine & Liquor By the Drink License **(ACTION ITEM)**
7. **PUBLIC HEARINGS with ACTION ITEMS:**
 - A. **PUBLIC HEARING - Star Fire Protection District Station No. 55 (CU-24-02)** - The Applicant is seeking approval of a Conditional Use Permit to construct a new Fire Station. The property is located at 9415 W Floating in Star, Idaho, and consists of 2.26 acres. **(ACTION ITEM)**
 - B. **PUBLIC HEARING - Mary & Joseph Watson Annexation & Development Agreement (AZ-24-03 & DA-24-03)** - The Applicant is requesting approval of an Annexation & Rezone (AZ-24-03) and Development Agreement (DA-24-03) for 7.17 acres The property is located on the North/South section of Stump Lane. Star, Canyon County, Idaho. **(ACTION ITEM)**
 - C. **PUBLIC HEARING - Milled Olive Conditional Use Permit Reconsideration (FILE # CU-23-06)** - The Applicant is requesting a reconsideration of the Star City Council's December 5, 2023 decision approving the conditional use permit for the Milled Olive. Specifically, the applicant requests Council modify the approved conditions of approval. **(ACTION ITEM)**
 - D. **PUBLIC HEARING - Stonecrest LLC - Dennis Downs Conditional Use Permit (FILE: CUP-24-01)** - The Applicant is seeking approval of a Conditional Use Permit for a 10 unit live-work condo building. The property is located at 12550 W Goldcrest Rd in Star, Idaho. **(ACTION ITEM)**
8. **ADJOURNMENT**



CITY OF STAR, IDAHO
CITY COUNCIL REGULAR MEETING AGENDA

City Hall - 10769 W State Street, Star, Idaho
Tuesday, April 16, 2024 at 7:00 PM

The meeting can be viewed via a link posted to the City of Star website at staridaho.org. Information on how to participate in a public hearing remotely will be posted to staridaho.org under the meeting information. The public is always welcomed to submit comments in writing.

Land Use Public Hearing Process

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Applicant has up to **20 minutes** to present their project

Council can ask the applicant questions and staff questions

Public Testimony (**3 minutes per person**)

1. Those for the project speak
2. Those against the project speak
3. Those who are neither for or against but wish to speak to the project
4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick

CITY OF STAR *Idaho*



PROCLAMATION

WHEREAS, the United States Government has declared April as “Sexual Assault Awareness Month” and the WCA has declared April 24, 2024 as “Denim Day”; and

WHEREAS, both events are intended to draw attention to the fact that sexual assault remains a serious issue in our society; and

WHEREAS, harmful attitudes about sexual assault allow these crimes to persist and allow survivors to be re-victimized; and

WHEREAS, “Sexual Assault Awareness Month” and “Denim Day” were also instituted to call attention to misconceptions and misinformation about rape and sexual assault, and the problem that many in society remain disturbingly uninformed with respect to issues of assault; and

WHEREAS, every 68 seconds, someone in America is sexually assaulted, and approximately one in four women are raped during their lifetime; and

WHEREAS, with proper education on the matter, there is compelling evidence that we can be successful in reducing incidents of this alarming and psychologically damaging crime; and

WHEREAS, the City of Star is an important partner in the efforts of the WCA to educate about the true impact of rape and sexual assault.

NOW, THEREFORE, I Trevor A. Chadwick, Mayor of the City of Star, do hereby proclaim April 24, 2024 as DENIM DAY in the City of Star.

ADOPTED by the City of Star, on this 16th day of April, 2024

Mayor Trevor A. Chadwick



March 2024 Police Report

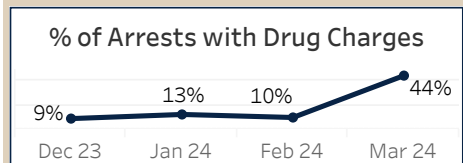
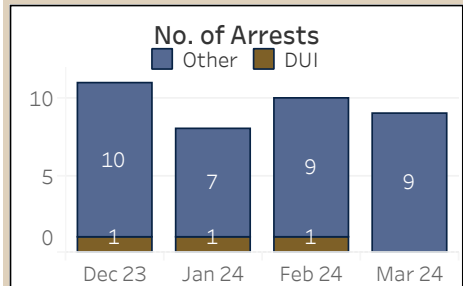
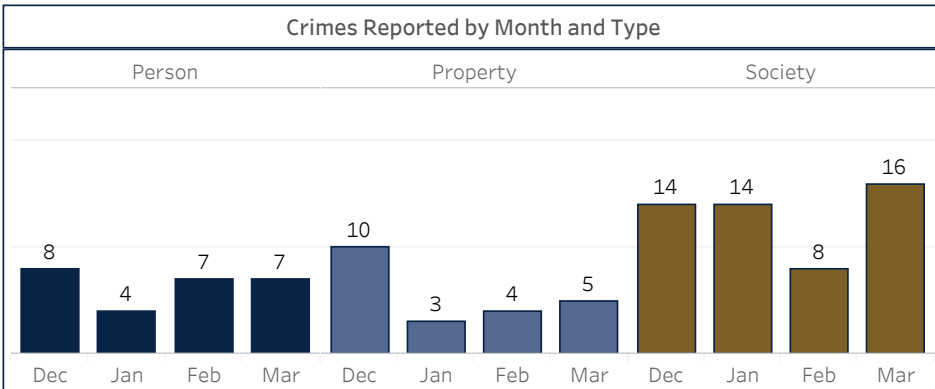
Release Date 2024-04-10

Offenses Reported¹

Types	2021	2022	2023	2024 YTD
Person	74	110	86	18
Property	59	92	106	12
Society	52	67	132	38
Total Crimes	185	269	324	68
Crimes/1,000 Pop	13.8	17.7	18.3	

Case Report Types

- Person Crimes** = murder, manslaughter, rape/sodomy, assault, intimidation and kidnapping offenses
- Property Crimes** = robbery, burglary, larceny/theft, arson, destruction of property, counterfeiting, fraud, embezzlement, blackmail and stolen property offenses
- Society Crimes** = drugs/narcotics, gambling, pornography, prostitution and weapons law violations



Police Activity²

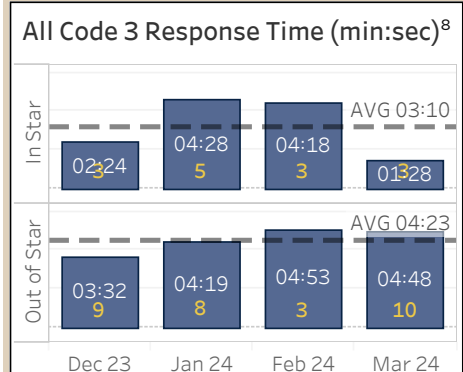
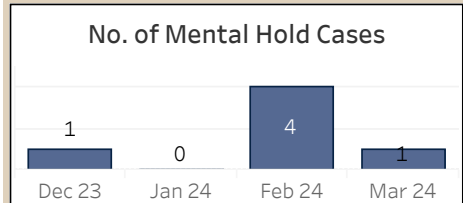
	2024 Monthly Avg ³	Dec 23	Jan 24	Feb 24	Mar 24	March 2023
Citizen Calls for Service (CFS)	247	255	255	218	267	315
Proactive Policing	1,888	1,341	1,633	1,996	2,034	1,139

Citations⁷

	Jan 24	Feb 24	Mar 24
Infraction	27	47	61
Misdemeanor	19	14	20

Select Call Types

	2024 Monthly Avg ³	Dec 23	Jan 24	Feb 24	Mar 24	March 2023
Crash Response	28	27	36	20	27	30
Crisis/Mental Health ⁴	11	10	11	11	10	11
Domestic Violence	3	4	4	2	4	6
Juvenile Activity	15	12	15	19	12	16
Location Checks ⁵	413	322	427	394	419	388
Property Crime Calls ⁶	13	20	11	12	15	24
School Checks	57	37	65	43	62	66
Traffic Stops	379	279	251	440	445	242
Welfare Checks	23	16	20	22	26	26



¹Offense Reports are compiled from NIBRS RMS. ²Police Activity reflects calls in the City of Star and all calls dispatched with a Star deputy. ³Monthly averages are based on all prior months of the current year. ⁴Calls are for Crisis/Mental Hold/Suicidal Subject/Attempted Suicide. ⁵Location checks include Construction Site, Property, and Security checks. ⁶Property Crime Calls include Theft, Vandalism, Burglary, Fraud. ⁷Infraction and Misdemeanor Citations issued by a Star deputy as listed in the current Patrol schedule. ⁸Code 3 Calls represent all incidents routed at Priority 3, where Priority 3 calls require an immediate emergency response.



Star Crime Types for March 2024

Persons Crimes		
DR	Statute Description	Victim Count
2024-00001946	BATTERY	1
2024-00002100	ATTEMPTED STRANGULATION	1
2024-00002220	BATTERY	1
2024-00002801	AGGRAVATED ASSAULT	1
2024-00002830	INJURY TO CHILD- MISD	2
2024-00002851	DOMESTIC SIMPLE BATTERY	1

Property Crimes		
DR	Statute Description	Offense Count
2024-00001957	VEHICLE BURGLARY - THEFT FROM A VEHICLE	1
2024-00001993	DRIVING W/O OWNER CONSENT FELONY	1
2024-00002110	PETIT THEFT - ALL OTHER THEFT	1
2024-00002356	BURGLARY - A COMMERCIAL	1
2024-00002360	PETIT THEFT - ALL OTHER THEFT	1

Society Crimes		
DR	Statute Description	Offense Count
2024-00001959	METHAMPHETAMINE - POSSESSION	1
	PARAPHERNALIA POSSESSION OF	1
	PRESCRIPTION DRUG - SELLING/TRAFFICKING FELONY	
2024-00001966	PARAPHERNALIA POSSESSION OF	1
2024-00001984	MARIJUANA - POSSESS LESS 3 OZ	1
	PARAPHERNALIA POSSESSION OF	1
2024-00001993	PARAPHERNALIA POSSESSION OF	1
2024-00002013	MARIJUANA - POSSESS LESS 3 OZ	1
	PARAPHERNALIA POSSESSION OF	1
2024-00002397	MARIJUANA - POSSESS LESS 3 OZ	1
	PARAPHERNALIA POSSESSION OF	1
2024-00002454	MARIJUANA - POSSESS LESS 3 OZ	1
	METHAMPHETAMINE - POSSESSION	
	PARAPHERNALIA POSSESSION OF	1
2024-00002745	MARIJUANA - POSSESS LESS 3 OZ	1
	PARAPHERNALIA POSSESSION OF	1
2024-00002794	MARIJUANA - POSSESS LESS 3 OZ	1
2024-00002824	PARAPHERNALIA POSSESSION OF	1

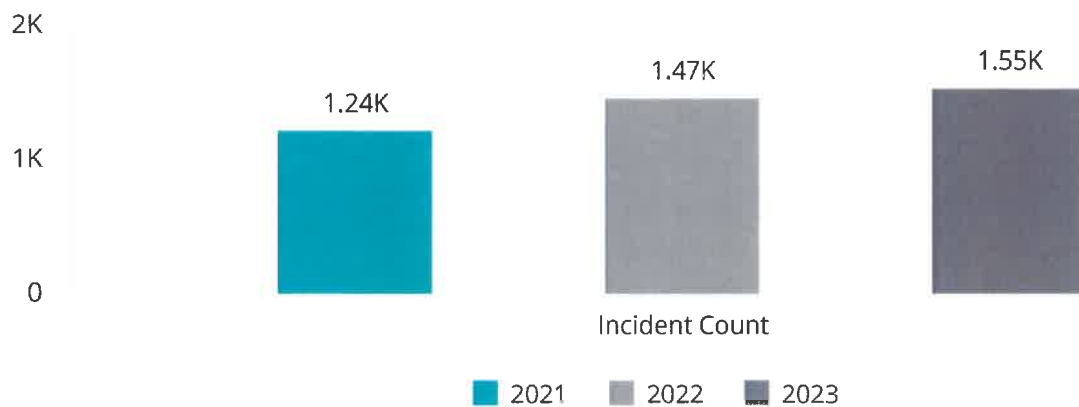
Only one Crime Code count per case

Only one Crime Code count per case

Mayor Report

YTD Count: **339** | AVG Response Tim... **6.69** | Acres Burned **#N/A** | Dollar Loss Total Es... **5,000** | Total E... **#N/A**

Incident Count By Year Group Comparison

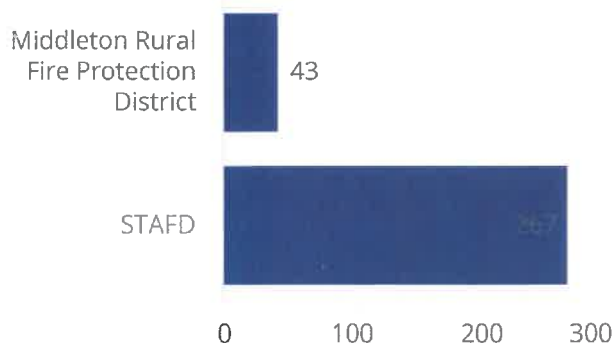


Count By Specific Call Types

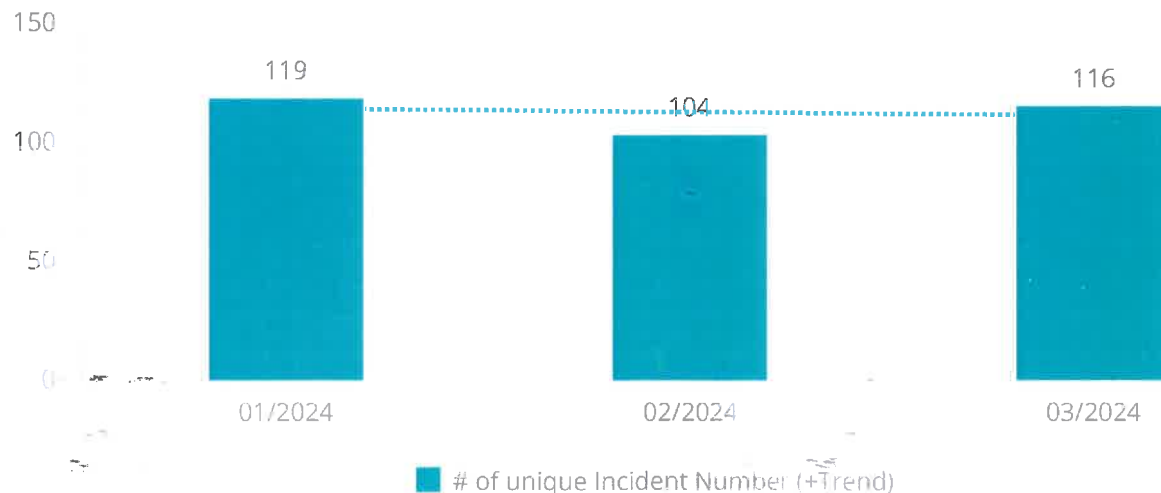
Incident Type Group

Incident Type Group	Count
100 - Fire	13
300 - Rescue & EMS	193
400 - Hazardous Condition	14
500 - Service Call	53
600 - Good Intent Call	42
700 - False Alarm	18
Other	6
Count	339

District (Star and Middleton Only)



Incident County by Month



**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho
Tuesday, April 02, 2024 at 7:00 PM

1. CALL TO ORDER – Welcome/Pledge of Allegiance

Mayor called the meeting to order at 7pm and led the Pledge of Allegiance.

2. INVOCATION – Dylan Austin, Worship & Creative Arts Director, LifeSpring Church

Dylan Austin offered the invocation.

3. ROLL CALL

ELECTED OFFICIALS: Mayor Trevor Chadwick; Council President David Hershey; Council Members, Kevan Wheelock, Jennifer Salmonsens and Kevin Nielsen were all present.

STAFF: City Attorney Chris Yorgason; City Clerk-Treasurer Jacob Qualls; City Planner Shawn Nickel; Public Information Officer Dana Partridge; Information Technology Director Shane Dale; City Engineer Ryan Morgan; Assistant City Engineer Tim Clark; Star Police Chief Zach Hessing; Deputy Jacob Kiker, Sergeant De Bie and Victor Islas

4. PRESENTATIONS**A. PROCLAMATION - Make - A – Wish**

Mayor Chadwick introduced Matt Dahlgran (spelling), Communications Manager with Make-A-Wish Idaho. Chadwick then read the Make-A-Wish Proclamation for World Wish Month.

Dahlgran then explained 2,000 Idaho Kids have made a wish since its inception here in Idaho and thanked the City of Star for the Proclamation.

Chadwick and the Council presented Matt with the Proclamation and stood for photos.

B. Star Police New Deputy Introduction - Jacob Kiker

Star Police Chief Zach Hessing introduced Deputy Jacob Kiker as the newest Deputy for the City of Star to fill a recently vacated position and read his experience and education.

Deputy Kiker explained he was here to provide the services to the community of Star and looks forward to working for the community.

5. CONSENT AGENDA (ACTION ITEM) **All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*

A. Approval of City Council Meeting Minutes: December 5, 2023; February 6; March 5; & March 19, 2024

B. Approval of Claims Provided & Previously Approved:

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- Council Member Salmonsens moved to approve the Consent Agenda; Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

6. **PUBLIC COMMENT** - Members of the Public may address the Mayor and Council on any item not currently on the Agenda or on items currently or potentially set for a Public Hearing. Comments regarding City Staff, Elected Officials and Private Citizens should be set for a private meeting with the Mayor. **(Three Minute Time Limit)**

No public comment offered.

7. **ACTION ITEMS:** (The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)

- A. **Ordinance 402-2024 - Lake Haven Estates Annexation & Development Agreement** AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF CANYON COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AT 21831 KOA LANE, IN STAR, IDAHO (CANYON COUNTY PARCELS R340390110, R34035010A & R34035010A1) AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED BY SPENCER AND ERIN KOFOED, NATHAN AND HEATHER ODGEN, AND TRADITION CAPITAL PARTNERS LLC; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS RURAL RESIDENTIAL WITH A DEVELOPMENT AGREEMENT (RR-DA), AND RESIDENTIAL WITH A DEVELOPMENT AGREEMENT (R-2-DA) OF APPROXIMATELY 64.70 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE. **(ACTION ITEM)**

- Council Member Nielsen moved to introduce Ordinance 402-2024 Lake Haven Estates Annexation and Development Agreement and suspend the rules requiring three separate readings on three separate days and consider after this first reading (IC-50-905); Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.
- Council President Hershey then read the Lake Haven Estates Annexation Ordinance and moved to approve Ordinance 402-2024 Lake Haven Estates Annexation with the Development Agreement; Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

**CITY COUNCIL REGULAR MEETING MINUTES**

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- B. **Resolution 2024-012: City of Star 457(b) Deferred Compensation Plan** - A Resolution of the City of Star, Idaho within Ada and Canyon Counties, formally recording the Amendment and Restatement of the City of Star 457(b) Deferred Compensation Plan. **(ACTION ITEM)**
- Council President Hershey moved to approve Resolution 2024-012 amending and reinstating the Star 457(b) Deferred Compensation Plan; Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.
- C. **Resolution 2024-013: Surplus Property - Law Books** - A Resolution of the City of Star, Idaho within Ada and Canyon Counties, declaring certain property as surplus and ordering its removal from City Asset Lists. **(ACTION ITEM)**
- Council Member Wheelock moved to approve Resolution 2024-013 Declaring the Law Books as Surplus; Council President Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.
- D. **Beer / Wine License - Jacksons Food Store 2023/2024** - Approval of New Beer & Wine License **(ACTION ITEM)**
- Council President Hershey moved to approve the Jacksons Food Stores 2023/2024 Beer and Wine License; Council Member Salmonsens seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.
- E. **Request for Qualifications List Approval** 2024-2029 Professional Services Roster **(ACTION ITEM)**
- City Engineer Ryan Morgan explained the Request for Qualifications List for the 2024-2029 Professional Services Roster from a Request for Qualifications published last calendar year. The review and selection process was completed with meetings with himself, Assistant City Planner Ryan Field, City Engineer Assistant Tim Clark, Council Member Salmonsens, with additional input from the Mayor and City Planner Shawn Nickel.
- Morgan explained the criteria and explained the roster purpose as an on-call roster and requested any of the firms to provide a proposal for work without following a new formal selection process. The agreement would still come before the City Council. The next step is to have each entity provide and execute a Master Services Agreement including their fees and appropriate documentation to the Clerk/Treasurer's Office.
- Council President Hershey moved to approve the 2024-2029 Professional Services Roster as presented; Council Member Salmonsens seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.



CITY COUNCIL REGULAR MEETING MINUTES

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- F. **Pavilion Park Phase 2 Parking Lot Landscaping Project** - Approval & Authorization of Project Cost of \$10,009.61 **(ACTION ITEM)**
- G. **Pavilion Park Phase 2 North Play Field Landscaping & Irrigation Project** - Approval & Authorization of Project Cost of \$24,955.88 with an option for Hydro Seed of \$6,688.28 **(ACTION ITEM)**
- H. **Pavilion Park Phase 2 East Play Field Landscaping & Irrigation Project** - Approval & Authorization of Project Cost of \$24,955.88 with an option for Hydro Seed of \$6,688.28 **(ACTION ITEM)**
- I. **Pavilion Park Phase 2 Splash Pad Landscaping & Irrigation Project** - Approval & Authorization of Project Cost of \$22,688.75 with an option for Hydro Seed of \$6,109.49 **(ACTION ITEM)**
- J. **Pavilion Park Phase 2 Pickleball Courts Landscaping & Irrigation Project** - Approval & Authorization of Project Cost of \$21,719.53 with an option for Hydro Seed of \$5,723.63 **(ACTION ITEM)**
- K. **Pavilion Park Phase 2 Basketball Court Landscaping & Irrigation Project** - Approval & Authorization of Project Cost of \$24,955.88 with an option for Hydro Seed of \$6,688.28 **(ACTION ITEM)**

Mayor Chadwick stated he would like to combine items F through K and requested approval of the projects and the quotes with a single motion. He explained it would be paid for by Park Impact Fees.

Chadwick also presented a spreadsheet which included impact fees spent and proposed to be spent in the coming year.

Discussion around the Pavilion Park Phases and how these projects will tie into the future Recreation Center at the site brought ideas of making certain improvements are not duplicated or are well planned and minimize noise impacts to surrounding homes. Chadwick discussed the future Recreation Center will take more time to plan and raise funds and does not see it being built in the coming year.

Chadwick shared a spreadsheet with the Council about the amount of Park Impact Fees spent, budgeted and the projects he hopes to bring in the next fiscal year.

Salmonsens stated she appreciated the spreadsheet and reiterated it was appropriate to use sod instead of seed for the projects as it helps to reduce dust and mud and knows the area will continue to be heavily used.

- Council President Hershey moved to approve F – K as presented in the amount not to exceed \$129,282.53; Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

Chadwick explained the restroom facility will be installed in the coming weeks.



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- L. **Executive Session 74-206(1)(b)** - To consider the evaluation, dismissal or disciplining of, or to hear complaints or charges brought against, a public officer, employee, staff member or individual agent, or public-school student (**ACTION ITEM**)
 - Council Member Neilsen moved to go into Executive Session 74-206(1)(b) to consider the evaluation, dismissal or disciplining of, or to hear complaints or charges brought against, a public officer, employee, staff member or individual agent, or public-school student; Council Member Salmonsén seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsén – aye; Nielsen – aye. Motion carried.

The Star City Council retired into Executive Session at 7:35 pm.
 The Star City Council moved back into regular session at 8:21 pm.
 No action was taken after the Executive Session.

8. ADJOURNMENT

Mayor Chadwick adjourned the meeting at 8:21 pm.

Trevor A Chadwick, Mayor

ATTEST: _____
Jacob M Qualls, City Clerk – Treasurer

CITY OF STAR
 Claim Approval List
 For the Accounting Period: 3/24
 For Pay Date: 04/01/24

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3332		271 ECI CONTRACTORS	21,879.51						
		Electrical Inspections, 60% of Total							
		Mar 2024 04/01/24 Electrical Inspections	21,879.51*			10	41510	454	10110
		Total for Vendor:	21,879.51						
3330		1073 INSPECT LLC	16,131.57						
		Monthly Plumbing Inspections, 60% of Total							
		Mar 2024 04/01/24 Plumbing Inspections	16,131.57*			10	41510	453	10110
		Total for Vendor:	16,131.57						
3331		1037 RIMI INC	15,340.92						
		Mechanical Inspections, 60% of total							
		Mar 2024 04/01/24 Mechanical Inspections	15,340.92*			10	41510	455	10110
		Total for Vendor:	15,340.92						
3329		889 TITAN EXCAVATION & CONSTRUCTION	3,900.00						
		03/29/24 Regrading/Haul Pavillion Park	3,900.00*			10	45110	738	10110
		Total for Vendor:	3,900.00						
		# of Claims	4	Total:					
				57,252.00	# of Vendors				4

CITY OF STAR
 Claim Approval List
 For the Accounting Period: 3/24
 For Pay Date: 04/01/24

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3333		670 PATHWAY CONCRETE & LANDSCAPING	34,374.04						
	166	03/30/24 Concrete Batting Cages	34,374.04*			10 711 45110	735		10110
		Total for Vendor:	34,374.04						
		# of Claims	1	Total:					
				34,374.04	# of Vendors	1			

CITY OF STAR
 Claim Approval List
 For the Accounting Period: 3/24
 For Pay Date: 04/04/24

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3360		20 ADA COUNTY HIGHWAY DISTRICT	254,989.00						
	18356	03/31/24 ACHD Impact Fees Mar 2024	254,989.00*			10 41510	731		10110
		Total for Vendor:	254,989.00						
3350		50 ALYSON LIKES	336.00						
	03/31/24	March Rise HIIT	336.00*			10 44022	352		10110
		Total for Vendor:	336.00						
3359		1067 ANNIE PEW	2,645.66						
		Ion Grant							
	03/31/24	Reimburse HALO	20.15*			10 47001	611		10110
	03/31/24	Reimburse Rec Building	214.13*			10 850 44022	611		10110
	03/31/24	Reimburse Before School Prog	163.11*			10 101 44022	611		10110
	03/31/24	Reimburse Before School Grant	1,336.75*			10 300 44022	611		10110
	03/31/24	Reimburse Summer Ion Grant	867.30*			10 300 44022	611		10110
	03/31/24	Reimburse Easter Extravaganza	44.22*			10 41810	598		10110
		Total for Vendor:	2,645.66						
3340		1312 CAPITAL PAVING COMPANY INC	44,000.00						
		Engineer's Project No 203010-464 State Highway 44, Bent Lane to Star Road							
	14748	03/26/24 SH-44 Construction App #12	44,000.00*			10 500 45110	760		10110
		Total for Vendor:	44,000.00						
3356		1288 DANIEL W LANE	525.00						
	03/31/24	March Lego Classes	525.00*			10 44022	352		10110
		Total for Vendor:	525.00						
3354		1318 DENIELLE REDONDO	504.00						
	03/31/24	March Barre Strength	504.00*			10 44022	352		10110
		Total for Vendor:	504.00						
3336		1534 GRANITE EXCAVATION, INC	399,809.05						
	22086A1	02/23/23 Middle School Pathway	399,809.05*			10 502 45110	741		10110
		Total for Vendor:	399,809.05						

CITY OF STAR
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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3351		363 HEIDI PRIGGE	315.00						
	03/31/24	March Yoga Flow	315.00*			10 44022	352		10110
		Total for Vendor:	315.00						
3341		382 IDAHO CENTRAL CREDIT UNION	4,854.91						
	CC-13 03/20/24	Mayor Atlanta Conference	15.05			10 20300			10110
DELTA	AIR			CC Accounting: 10-	-	41810-550			
	CC-13 03/20/24	Mayor Atlanta Conference	203.18			10 20300			10110
DELTA	AIR			CC Accounting: 10-	-	41810-550			
	CC-13 03/20/24	Mayor Atlanta Conference	84.93			10 20300			10110
DELTA	AIR			CC Accounting: 10-	-	41810-550			
	CC-13 03/20/24	Mayor Atlanta Conference	15.05			10 20300			10110
DELTA	AIR			CC Accounting: 10-	-	41810-550			
	CC-13 03/20/24	Mayor Atlanta Conference	84.93			10 20300			10110
DELTA	AIR			CC Accounting: 10-	-	41810-550			
	CC-13 03/20/24	Mayor Atlanta Conference	203.18			10 20300			10110
DELTA	AIR			CC Accounting: 10-	-	41810-550			
	CC-13 03/21/24	Tablet Fee	2.99			10 20300			10110
REMARKABLE	OSLO			CC Accounting: 10-	-	41810-610			
	CC-13 03/21/24	International Fee	0.02			10 20300			10110
REMARKABLE	OSLO			CC Accounting: 10-	-	41810-610			
	CC-13 03/18/24	Software Rec Dept	3,355.80			10 20300			10110
SAWYER				CC Accounting: 10-	-	44022-751			
	CC-13 03/16/24	Postage Meter	148.95			10 20300			10110
PITNEY BOWES				CC Accounting: 10-	-	41140-641			
	CC-13 03/22/24	Tapping Screws/Wire Lock Pins	66.66			10 20300			10110
TACOMA SCREW PRODUCTS				CC Accounting: 10-	-	41540-434			
	CC-13 03/18/24	Merchandise Return	-126.96			10 20300			10110
THE HOME DEPOT				CC Accounting: 10-	-	41540-698			
	CC-13 03/16/24	Rebar Cap	91.20			10 20300			10110
THE HOME DEPOT				CC Accounting: 10-	-	41540-435			
	CC-13 03/25/24	Sports/Rec Work Day	102.51			10 20300			10110
MOUNTAIN MIKES				CC Accounting: 10-	-	44022-699			
	CC-13 03/21/24	B/A School Supplies	8.99			10 20300			10110
AMAZON.COM				CC Accounting: 10-300-	-	44022-612			
	CC-13 03/14/24	HALO	387.73			10 20300			10110
COSTCO				CC Accounting: 10-	-	47001-612			

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
	CC-13	03/14/24 HALO	121.78			10 20300			10110
WALMART						CC Accounting: 10- - 47001-612			
	CC-13	03/14/24 HALO	88.92			10 20300			10110
RIDLEY'S						CC Accounting: 10- - 47001-612			
		Total for Vendor:	4,854.91						
3338		1422 IDAHO TRACTOR RENTS INC	1,375.00						
	27269	03/07/24 Kubota	1,375.00*			10 41540	442		10110
		Total for Vendor:	1,375.00						
3352		1517 JEAN HENSCHIED	220.50						
	03/31/24	March Introductory Yoga	220.50*			10 44022	352		10110
		Total for Vendor:	220.50						
3348		1354 LARA YOUNGMAN	168.00						
	03/31/24	March Mat Pilates	168.00*			10 44022	352		10110
		Total for Vendor:	168.00						
3347		524 LARRY BEARG	693.00						
	03/31/24	March Tai Chi/Eve Tai Chi	693.00*			10 44022	352		10110
		Total for Vendor:	693.00						
3355		1107 LLOYD AND LEE TENNIS ACADEMY	420.00						
	03312024A	03/31/24 Spring Break Tennis	420.00*			10 44022	352		10110
		Total for Vendor:	420.00						
3358		1374 MADYSSON JUNGENBERG	2,025.10						
	03/31/24	March Dance/Cheer	2,025.10*			10 44022	352		10110
		Total for Vendor:	2,025.10						
3363		1405 MANNING CIVIL, LLC	1,265.00						
	1146	03/26/24 City Boat Ramp	1,265.00*			10 710 43000	336		10110
		Total for Vendor:	1,265.00						

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3349	03/31/24	1452 MARSHA LEANN BEFFA March Evening Yoga	168.00 168.00*			10 44022	352		10110
Total for Vendor:			168.00						
3335		583 MASTERCARD Mastercard charges from 02/09/24 - 03/10/24	3,086.25						
		CC-14 02/08/24 Passport Postage	29.55			10 20300			10110
		UNITED STATES POSTAL SERVICE		CC Accounting: 10-		- 41140-642			
		CC-14 02/09/24 Passport Postage	69.85			10 20300			10110
		UNITED STATES POSTAL SERVICE		CC Accounting: 10-		- 41140-642			
		CC-14 02/13/24 Passport Postage	29.55			10 20300			10110
		UNITED STATES POSTAL SERVICE		CC Accounting: 10-		- 41140-642			
		CC-14 02/13/24 Passport Postage	19.70			10 20300			10110
		UNITED STATES POSTAL SERVICE		CC Accounting: 10-		- 41140-642			
		CC-14 02/14/24 Passport Postage	29.55			10 20300			10110
		UNITED STATES POSTAL SERVICE		CC Accounting: 10-		- 41140-642			
		CC-14 02/15/24 Software Fee	15.00			10 20300			10110
		SKYNOVA SOFTWARE		CC Accounting: 10-		- 41810-751			
		CC-14 02/15/24 Passport Postage	39.40			10 20300			10110
		UNITED STATES POSTAL SERVICE		CC Accounting: 10-		- 41140-642			
		CC-14 02/16/24 Passport Postage	29.55			10 20300			10110
		UNITED STATES POSTAL SERVICE		CC Accounting: 10-		- 41140-642			
		CC-14 02/20/24 Software Renewal	2,878.80			10 20300			10110
		ADOBE		CC Accounting: 10-		- 41810-751			
		CC-14 02/20/24 Passport Postage	29.55			10 20300			10110
		UNITED STATES POSTAL SERVICE		CC Accounting: 10-		- 41140-642			
		CC-14 02/21/24 Tablet Fee	2.99			10 20300			10110
		REMARKABLE OSLO		CC Accounting: 10-		- 41810-610			
		CC-14 02/21/24 Passport Postage	29.55			10 20300			10110
		UNITED STATES POSTAL SERVICE		CC Accounting: 10-		- 41140-642			
		CC-14 02/22/24 Tablet Fee	2.99			10 20300			10110
		REMARKABLE OSLO		CC Accounting: 10-		- 41810-610			
		CC-14 02/22/24 Passport Postage	39.40			10 20300			10110
		UNITED STATES POSTAL SERVICE		CC Accounting: 10-		- 41140-642			
		CC-14 02/23/24 Passport Postage	29.55			10 20300			10110
		UNITED STATES POSTAL SERVICE		CC Accounting: 10-		- 41140-642			

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
	CC-14 02/26/24	Passport Postage	19.70			10 20300			10110
UNITED STATES POSTAL SERVICE				CC Accounting: 10-	-	41140-642			
	CC-14 02/27/24	Passport Postage	29.55			10 20300			10110
UNITED STATES POSTAL SERVICE				CC Accounting: 10-	-	41140-642			
	CC-14 02/28/24	Passport Postage	39.40			10 20300			10110
UNITED STATES POSTAL SERVICE				CC Accounting: 10-	-	41140-642			
	CC-14 02/29/24	Passport Postage	29.55			10 20300			10110
UNITED STATES POSTAL SERVICE				CC Accounting: 10-	-	41140-642			
	CC-14 03/05/24	Passport Postage	29.55			10 20300			10110
UNITED STATES POSTAL SERVICE				CC Accounting: 10-	-	41140-642			
	CC-14 03/05/24	Passport Postage	29.55			10 20300			10110
UNITED STATES POSTAL SERVICE				CC Accounting: 10-	-	41140-642			
	CC-14 03/06/24	Passport Postage	29.55			10 20300			10110
UNITED STATES POSTAL SERVICE				CC Accounting: 10-	-	41140-642			
	CC-14 03/07/24	Passport Postage	29.55			10 20300			10110
UNITED STATES POSTAL SERVICE				CC Accounting: 10-	-	41140-642			
	CC-14 03/08/24	Passport Postage	49.25			10 20300			10110
UNITED STATES POSTAL SERVICE				CC Accounting: 10-	-	41140-642			
	CC-14 03/07/24	Refrigerator - Partial Pay	1,500.00			10 20300			10110
THE HOME DEPOT				CC Accounting: 10-	-	41810-610			
	CC-14 03/10/24	Credited to Qualls Account	-982.09			10 20300			10110
MASTERCARD				CC Accounting: 10-	-	41810-698			
	CC-14 03/10/24	Credited to Little Account	-992.29			10 20300			10110
MASTERCARD				CC Accounting: 10-	-	41810-698			
Total for Vendor:			3,086.25						
3345	635 MOUNTAIN ALARM		320.00						
	4177227 01/01/24	Fire Alarm Inspection Jan	92.50*			10 41810	344		10110
	4304380 02/01/24	Fire Alarm Inspection Feb	92.50*			10 41810	344		10110
	4383386 03/01/24	Fire Alarm Inspection Mar	92.50*			10 41810	344		10110
	4383385 03/01/24	Security Alarm Monitoring	42.50*			10 41810	344		10110
Total for Vendor:			320.00						
3353	649 NIKI DEAN		1,246.00						
	03/31/24	March Yoga Instruction	1,246.00*			10 44022	352		10110
Total for Vendor:			1,246.00						

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3344		656 OFFICE SAVERS ONLINE	54.99						
	10654	03/28/24 Copy Paper	54.99*			10 41140	611		10110
		Total for Vendor:	54.99						
3362		686 PORTAPROS LLC	515.00						
	112049AV-1	03/29/24 River Walk Park Port Restr	515.00*			10 41540	411		10110
		Total for Vendor:	515.00						
3346		811 STAR FIRE DEPARTMENT	219,504.00						
	Mar 2024	03/31/24 Star Fire Impact Fees	219,504.00*			10 41510	734		10110
		Total for Vendor:	219,504.00						
3337		812 STAR MERCANTILE INC	169.53						
		Charges from 3/5 - 3/21/24							
		Multiple 03/31/24 Bldg & Grounds Supplies	169.53*			10 41540	611		10110
		Total for Vendor:	169.53						
3357		1370 TAYLOR HAMMICH	1,514.10						
	03/31/24	March Tumbling	1,514.10*			10 44022	352		10110
		Total for Vendor:	1,514.10						
3329		889 TITAN EXCAVATION & CONSTRUCTION	39,300.00						
	03/29/24	Regrading/Haul Pavillion Park	39,300.00*			10 45110	738		10110
		Total for Vendor:	39,300.00						
3361		1241 UNIVERSITY OF IDAHO EXTENSION	80.00						
	03/31/24	Babysitting Basics	80.00*			10 44022	352		10110
		Total for Vendor:	80.00						
3342		930 VALLEY WIDE COOP	1,969.81						
	D47858	03/27/24 Gas	2,026.30*			10 41540	626		10110
	A74225	02/26/24 Gas Credit	-56.49*			10 41540	626		10110
		Total for Vendor:	1,969.81						

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3364		963 YORGASON LAW OFFICES PLLC	3,513.40						
	Contract	04/01/24 City Attorney Monthly Servic	3,500.00*			10 41310	322		10110
	2024-Mar	04/01/24 City Attorney Additional Svc	13.40*			10 41310	322		10110
		Total for Vendor:	3,513.40						
		# of Claims	29	Total:	985,586.30	# of Vendors	29		

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3365		382 IDAHO CENTRAL CREDIT UNION	3,339.27						
	CC-15 04/03/24	Background Checks	469.20			10 20300			10110
JD PALATINE, LLC				CC Accounting: 10-	-	44022-355			
	CC-15 04/03/24	Background Checks	469.20			10 20300			10110
JD PALATINE, LLC				CC Accounting: 10-	-	44022-355			
	CC-15 04/02/24	Mouse/Mouse Pad	40.98			10 20300			10110
AMAZON.COM				CC Accounting: 10-	-	41140-611			
	CC-15 03/31/24	Tablet Fee	2.99			10 20300			10110
REMARKABLE OSLO				CC Accounting: 10-	-	41810-610			
	CC-15 03/31/24	International Fee	0.02			10 20300			10110
REMARKABLE OSLO				CC Accounting: 10-	-	41810-610			
	CC-15 03/31/24	Tablet Fee	2.99			10 20300			10110
REMARKABLE OSLO				CC Accounting: 10-	-	41810-610			
	CC-15 03/31/24	International Fee	0.02			10 20300			10110
REMARKABLE OSLO				CC Accounting: 10-	-	41810-610			
	CC-15 04/01/24	Drill Bit	35.54			10 20300			10110
THE HOME DEPOT				CC Accounting: 10-	-	41540-434			
	CC-15 03/29/24	Adhesive & Dispenser Partial P	1,222.98			10 20300			10110
AMERICAN CONSTRUCTION SUPPLY & RENTAL				CC Accounting: 10-704-	-	41540-435			
	CC-15 04/03/24	IRPA Conf Dinner	95.98			10 20300			10110
EL SOMBRERO MEXICAN RESTAURANT				CC Accounting: 10-	-	41810-550			
	CC-15 04/03/24	IRPA Gas	49.00			10 20300			10110
CHEVRON				CC Accounting: 10-	-	41810-550			
	CC-15 04/03/24	IRPA Lunch	48.93			10 20300			10110
SUMMERVILLES				CC Accounting: 10-	-	41810-550			
	CC-15 03/30/24	Football Uniforms	622.50			10 20300			10110
RCX SPORTS LLC				CC Accounting: 10-	-	44021-615			
	CC-15 03/28/24	Square Reader and Dock	228.96			10 20300			10110
SQUARE HARDWARE				CC Accounting: 10-	-	44022-742			
	CC-15 03/28/24	Batteries for Scoreboard	49.98			10 20300			10110
AMAZON.COM				CC Accounting: 10-	-	44021-612			
Total for Vendor:			3,339.27						

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3366		1551 ORALE LLC	2,500.00						
	04/05/24	Summer Concert Series	2,500.00*			10 51 41810	598		10110
		Total for Vendor:	2,500.00						
		# of Claims	2	Total:	5,839.27	# of Vendors	2		

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3371		21 ADA COUNTY LANDFILL	15.00						
	2404060163	04/06/24 Landfill Fees	15.00*			10	41540	411	10110
		Total for Vendor:	15.00						
3367		22 ADA COUNTY PROSECUTORS OFFICE	2,630.14						
	Apr 2024	03/25/24 Prosecutions Contract	2,630.14*			10	42110	322	10110
		Total for Vendor:	2,630.14						
3370		23 ADA COUNTY SHERIFF'S OFFICE	243,235.57						
	122113	04/01/24 Police Services Apr 2024	243,235.57*			10	42110	365	10110
		Total for Vendor:	243,235.57						
3372		1426 AMAZON CAPITAL SERVICES	10,245.61						
	TNWV4N9J	04/01/24 Rec Barn Project iPad	249.00			10	41810	742	10110
	RCY93HV7	04/01/24 Return	-17.76			10	41810	698	10110
	7RVDYJQW	04/01/24 B/A School Grant iPad	498.00			10 300	44022	612	10110
	KXDR314J	04/01/24 B/A School Grant iPads	2,826.22			10 300	44022	612	10110
	LTM3XQ7C	04/01/24 Fatigue Mat	49.95			10	41510	610	10110
	WRKGXC4J	04/01/24 IT Management iPad	344.71			10	41810	742	10110
	LCLGXWHM	04/01/24 B/A School Grant Supplies	1,127.20			10 300	44022	611	10110
	LTM3W4JG	04/01/24 Case for iPad	25.99			10	41810	610	10110
	VLF7Y46K	04/01/24 Ion Summer Grant Supplies	4,967.61			10 300	44022	611	10110
	HRHQWTKV	04/01/24 Apple iPad Pencil	174.69			10	41510	610	10110
		Total for Vendor:	10,245.61						
3368		1367 AVI SYSTEMS, INC	438.98						
	88950404	03/20/24 AV Maintenance City Hall PMR	438.98*			10	41810	741	10110
		Total for Vendor:	438.98						
3369		1172 B'S ACE HARDWARE	447.53						
	300974	04/04/24 Bldgs/Grounds Nuts and Bolts	447.53*			10	41540	434	10110
		Total for Vendor:	447.53						

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3379		1346 BLACK CANYON TROUT FARM	2,897.50						
	1317	04/01/24 Stock Fish at Freedom Park	2,897.50*			10 58 41810	598		10110
		Total for Vendor:	2,897.50						
3380		1503 BOISE HUNTER HOMES	2,183.86						
	04/09/24	Refund - Cancelled Permit	2,183.86*			10 41510	698		10110
		Total for Vendor:	2,183.86						
3395		1555 COREY DRYDEN	3,225.00						
	0002	04/14/24 Disc Golf Course Design	3,225.00*			10 713 45110	744		10110
		Total for Vendor:	3,225.00						
3374		1523 D&B SUPPLY CO	17.47						
	6602	03/14/24 Hose and Fuel Filter	17.47*			10 41540	434		10110
		Total for Vendor:	17.47						
3316		302 FATBEAM LLC	3,292.50						
	43116	04/01/24 Internet Service and M/O	3,292.50*			10 41810	419		10110
		Total for Vendor:	3,292.50						
3375		1428 FISHER'S TECHNOLOGY	256.13						
	1309038	04/01/24 Copier City Hall	148.04*			10 41810	324		10110
0385		1309039 04/01/24 Copier Rec Center (Sports)	54.05*			10 44021	324		10110
		1309039 04/01/24 Copier Rec Center (Recreation)	54.04*			10 44022	324		10110
		Total for Vendor:	256.13						
3376		358 HAYDEN HOMES IDAHO LLC	1,566.75						
		Overpayment on Building Permit 20241005							
	04/09/24	Refund Permit Double Payment	1,566.75*			10 41510	698		10110
		Total for Vendor:	1,566.75						
3383		1543 IDAHO ASSOCIATION OF BUILDING	470.00						
	367	04/02/24 Building Safety Professionals	135.00*			10 41810	570		10110
	367	04/02/24 Government Membership	275.00*			10 41810	570		10110
	367	04/02/24 ID Permit Techs Membership	60.00*			10 41810	570		10110
		Total for Vendor:	470.00						

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Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3382		399 IDAHO PRESS TRIBUNE	785.04						
	43776	03/31/24 Legal/Pub Notice PH 4/16/24	91.86*			10	41510	530	10110
	44137	04/06/24 Legal/Pub Notice ORD4012024	210.81*			10	41510	530	10110
	44095	04/03/24 Legal/Pub Notice ORD4002024	232.77*			10	41510	530	10110
	44094	04/03/24 Legal/Pub Notice ORD3992024	157.74*			10	41510	530	10110
	032419333	03/31/24 Legal/Pub Notice PH 4/16/24	91.86*			10	41510	530	10110
		Total for Vendor:	785.04						
3381		413 IDAHO TRACTOR INC	33.07						
	1136	04/05/24 Comp Handle	33.07*			10	41540	435	10110
		Total for Vendor:	33.07						
3378		421 INTERMOUNTAIN GAS COMPANY	790.29						
	3000 1	04/02/24 City Hall	57.35			10	41810	414	10110
	3000 2	04/02/24 B&G Shop-1310 N Little Camas	261.74			10	41540	414	10110
	1000 1	04/02/24 Outreach Building	175.46			10	41810	414	10110
	7251 2	04/02/24 Star Police Station	295.74			10	42010	414	10110
		Total for Vendor:	790.29						
3377		1556 JOHN TAYLOR	40.00						
	04/09/24	Refund Football Uniform	40.00*			10	44021	698	10110
		Total for Vendor:	40.00						
3384		1552 LEGENDS MECHANICAL	208.00						
	04/01/24	Refund - Permit not awarded	208.00*			10	41510	698	10110
		Total for Vendor:	208.00						
3339		535 LEISURE TIME INC	260.00						
	04/03/24	Refund - incorrect permit	260.00*			10	41510	698	10110
		Total for Vendor:	260.00						
3394		670 PATHWAY CONCRETE & LANDSCAPING	34,394.00						
	168	04/04/24 Base for Outdoor Exercise Eqmt	34,394.00*			10	707 45110	735	10110
		Total for Vendor:	34,394.00						

CITY OF STAR
Claim Approval List
For the Accounting Period: 4/24
For Pay Date: 04/10/24

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3386		686 PORTAPROS LLC	188.20						
	130919-1	04/04/24 Star Middle Sch Port Restroo	188.20*			10 41540	411		10110
		Total for Vendor:	188.20						
3387		707 REPUBLIC SERVICES INC	809.08						
	001349202	03/31/24 Hunters Creek Park	352.42*			10 41540	411		10110
	001349488	03/31/24 Star River Access 1000 S Ma	86.29*			10 41540	411		10110
	001349537	03/31/24 River Park 1000 S Main St	117.70*			10 41540	411		10110
	001352844	03/31/24 Star City Hall	161.35*			10 41540	411		10110
	001353220	03/31/24 Blake Haven Park	91.32*			10 41540	411		10110
		Total for Vendor:	809.08						
3388		1238 ROYALTY ELECTRIC LLC	1,050.00						
	24001-4	04/02/24 Phone Service April	1,050.00*			10 41810	416		10110
		Total for Vendor:	1,050.00						
3389		791 SOUTHERN COMPUTER WAREHOUSE	6,637.21						
	Replacement of Claim 3181, which was cancelled due to check not being received.								
	00802042	02/16/24 Exchange Online Plan 1	1,357.18*			10 41810	751		10110
	00802042	02/16/24 Microsoft Office 365	5,280.03*			10 41810	751		10110
		Total for Vendor:	6,637.21						
3391		862 TERMINIX COMMERCIAL	151.00						
	445134231	04/15/24 Pest Control - City Hall	151.00*			10 41540	434		10110
		Total for Vendor:	151.00						
3390		1544 THUNDER MOUNTAIN HOMES	10,919.90						
	04/01/24	Refund Permits Pulled Incorre	10,919.90*			10 41510	698		10110
		Total for Vendor:	10,919.90						
3392		935 VERIZON WIRELESS	3,956.56						
	Charges for 19 Phone Lines and 1 Jetpack								
	9960588247	04/01/24 Montly Cell Phone Charges	1,103.84*			10 41810	416		10110
1	9960588247	04/01/24 Equipment Charges	2,852.72*			10 41810	416		10110
		Total for Vendor:	3,956.56						

CITY OF STAR
 Claim Approval List
 For the Accounting Period: 4/24
 For Pay Date: 04/10/24

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3393		949 WESTERN RECORDS DESTRUCTION	62.00						
	Services	03/01/24 - 03/31/24							
	0690433	04/01/24 02-64 Gallon City Hall	62.00*			10 41810	411		10110
		Total for Vendor:	62.00						
		# of Claims	29	Total:	331,206.39	# of Vendors	29		

**FINDINGS OF FACT AND CONCLUSIONS OF LAW
MILESTONE SUBDIVISION PRELIMINARY PLAT & DA MODIFICATION
PP-23-05/DA-21-15 MOD**

The above-entitled Preliminary Plat and Development Agreement Modification came before the Star City Council for action on March 5, 2024, at which time public testimony was taken and the public hearing was closed. The Star City Council, having requested and taken oral and written testimony, and having duly considered the matter, does hereby make the following Findings of Fact and Conclusions of Law.

Procedural History:

A. *Proposed Project Summary:*

The Applicant is requesting approval of a Preliminary Plat (PP-23-05) and Development Agreement Modification (DA-21-15 MOD) for a proposed residential subdivision consisting of 72 residential lots and 11 common lots. The property is located at 2400 N. Pollard Lane in Star, Ada County, Idaho, and consists of 19.93 acres with a proposed density of 3.6 dwelling units per acre. The subject property is generally located on the east side of N. Pollard Lane between W. Beacon Light Road and W. Broken Arrow Street. Ada County Parcel No. S0404244210.

B. *Application Submittal and Agency Transmittal:*

A neighborhood meeting was held on November 1, 2023, in compliance with the application submittal requirement of the Star Unified Development Code (Section 8-1A-6C). The Land Use applications were accepted by the City on December 8, 2023. Original notice was sent to agencies having jurisdiction in the City of Star on December 19, 2023.

C. *Notice of Public Hearing:*

Notice of Public Hearing on the application for the City of Star City Council was published in accordance with the requirements of Title 67, Chapter 65, Idaho Code, and the Star Unified Development Code on January 9, 2024. Notice of this public hearing was mailed to property owners within three-hundred feet (300') of the subject property in accordance with the requirements of Title 67, Chapter 65, Idaho Code and Star Unified Development Code on January 4, 2024. The property was posted in accordance with the Star Unified Development Code on February 23, 2024.

D. *Property History:*

The property was previously annexed into the City and zoned R-4 as part of the West Ada School District property. The property was subsequently sold to Toll Brothers.

E. Comprehensive Plan Land Use Map and Zoning Map Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Residential (R-4)	Neighborhood Residential	Agricultural/Residential
Proposed	Residential (R-4-DA)	Neighborhood Residential	Single Family Residential
North of site	Residential (R-2)	Estate Rural Residential	River Birch Golf Course
South of site	Residential (R-3-DA)	Estate Urban Residential	Iron Mountain/Iron Vista Subdivision
East of site	Residential (R-5-DA)/Mixed Use (MU)	Neighborhood Residential	Milestone Commons Subdivision
West of site	Residential (R-4)	Public Use/Open Space	Ag/Future School Site

F. Development Features.

PRELIMINARY PLAT:

The Preliminary Plat contains 72 single family detached residential lots, and 11 common area lots on 19.93 acres. This equates to 3.6 dwelling units per acre. The lots will have access and frontage from public streets. The development has two lot widths, including 45, and 55 feet with depths ranging from 115 to 121 feet. Single family detached lots will range in size from 5,135 square feet to 10,827 square feet with the average buildable lot of 6,014 square feet. The submitted preliminary plat includes all local roads with a 50-foot wide right of way with paved streets measuring 36 feet from back of curb to back of curb. Sidewalks are proposed to be detached with a 5-foot, concrete sidewalk and 8-foot side landscape strip, except along W. Stillmore Street, where the sidewalks is proposed to be attached. The applicant is proposing 6.23 acres (31.3%) of open space and 4.04 acres (20.3%) of usable open space. These percentages satisfy the Unified Development Code requirement of 15% open space with 10% usable.

The Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of three (3) site amenities. The applicant is proposing a 1.0-acre central park with a bocce ball court and landscaped pathways. There will also be additional large open areas with seating and pathways. The residents of Milepost Commons will also have access to Milestone Ranch and their amenities, as the plan is to have this development also age restricted and an extension of Milestone Ranch.

Primary access to the development will be off N. Pollard Road via W. Stillmore Street, located south of the property. Milepost Commons will also provide stub streets on the south to Iron Mountain Vista Subdivision and the east to Milestone Ranch Subdivision.

ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks
Internal sidewalks are proposed at five-foot (5') widths and will be detached with an eight-foot (8') landscape strip. The sidewalk along W. Stillmore Street will be attached.

- Lighting
Streetlights shall reflect the “Dark Sky” criteria. The same streetlight design shall continue throughout the entire development. The applicant has not submitted a streetlight location plan, **this needs to be submitted and approved prior to approval of the final plat.** The Applicant has provided a streetlight design/cut sheet, and the proposed fixture meets city requirements and is the preferred fixture for use throughout the City of Star. The streetlights should match those in Milestone Ranch Subdivision.
- Street Names Applicant has provided documentation from Ada County that the street names are acceptable and have been approved.
- Subdivision Name – The applicant has provided documentation from Ada County that the proposed development name has been approved for use and reserved for this development.
- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use “Treasure Valley Tree Selection Guide”, as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. The submitted landscape plan appears to satisfy these requirements for the open areas and detached sidewalks.
- Setbacks – **The applicant is requesting an interior side yard setback of five (5’) which is consistent with the approved setbacks located in the Milestone Ranch Subdivision to the east.** The remaining setbacks are proposed to satisfy the R-4 zone requirements of the Unified Development Code.
- Block lengths – All blocks meet the 750’ block length requirement.
- Mailbox Cluster – Applicant has provided documentation from Mel Norton, Star Postmaster depicting the approved location for the mailbox cluster for the development. The approval is to add additional clusters to the Milestone Ranch mail clusters.
- Phasing – The development is scheduled to be built out in three (3) phases.
- Structure Height – Applicant is proposing that all residential structures will be single story.
- Applicant is proposing this development will be an age 55 and older, active adult community.

DEVELOPMENT AGREEMENT

Through the Development Agreement process, the applicant is proposing to work with the City and neighboring property owners to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. **The applicant is requesting a modification to the existing Development Agreement for the Milestone Ranch Subdivision in order to bring this new subdivision into the HOA management.** Items that should be considered by the applicant and Council include the following:

- **5 foot side yard setbacks consistent with Milestone Ranch Subdivision to the east;**
- ITD Proportionate Share Fees;
- Emergency Access

G. *On-Site Features:*

- ✧ Areas of Critical Environmental Concern – No known areas.
- ✧ Evidence of Erosion – No evidence.
- ✧ Fish Habitat – No.
- ✧ Floodplain – Yes.
- ✧ Mature Trees – None.
- ✧ Riparian Vegetation – None.
- ✧ Steep Slopes – None.
- ✧ Stream/Creek – None.
- ✧ Unique Animal Life – No unique animal life has been identified.
- ✧ Unique Plant Life – No unique plant life has been identified.
- ✧ Unstable Soils – No known issues.
- ✧ Historical Assets – No historical assets have been observed.
- ✧ Wildlife Habitat – No known sensitive wildlife habitat observed.

H. *Agencies Responding:*

The following agencies responded, and correspondence was attached to the staff report.

ACHD	January 26, 2024
ITD	January 8, 2024
Star Fire District	February 28, 2024

I. Staff received the following letters & emails in support and opposition of the development application:

None

J. *Comprehensive Plan and Unified Development Code Provisions:*

COMPREHENSIVE PLAN:**8.2.3 Land Use Map Designations:****Neighborhood Residential**

Suitable primarily for single family residential use. Densities in the majority of this land use area are to range from 3 units per acre to 5 units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.

B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivide in the future.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.

- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

18.4 Implementation Policies:

- F. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

UNIFIED DEVELOPMENT CODE (UDC):

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	A	R-R	Section 5, Item C.
Accessory structure	A	A	A
Dwelling:			
Multi-family 1	N	N	C
Secondary 1	A	A	A
Single-family attached	N	N	C
Single-family detached	P	P	P
Two-family duplex	N	N	P

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-4	35'	15' to living area 20' to garage face	15'	7.5' ⁽²⁾	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-4E-2: COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS - STANDARDS:

A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):

1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the gross land area of the development. Ten percent (10%) of that area shall be usable open space.
2. Each development is required to have at least one site amenity.
3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.

4. Developments with a density of less than 1 dwelling units per acre may request a reduction in total required open space and amenities to the Council. Developments with a density of less than 2 dwelling units per acre may request a 50% reduction in total required open space to the Council.

5. For multi-family developments, see Section 8-5-20 for additional standards.

B. Qualified Open Space: The following may qualify to meet the common open space requirements:

1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:

a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;

b. Qualified natural areas;

c. Ponds or water features where active fishing, paddle boarding or other activities are provided (50% qualifies towards total required open space, must be accessible by all residents to qualify.) ponds must be aerated;

d. A plaza.

2. Additions to a public park or other public open space area.

3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.

4. Parkway along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:

a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.

b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.

c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:

1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.

5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be

readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total.

C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:

1. Clubhouse;
 2. Fitness facilities, indoors or outdoors;
 3. Public art;
 4. Picnic area; or
 5. Recreation amenities:
 - a. Swimming pool.
 - b. Children's play structures.
 - c. Sports courts.
 - d. Additional open space in excess of 5% usable space.
 - e. RV parking for the use of the residents within the development.
 - f. School and/or Fire station sites if accepted by the district.
 - g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
 - (1) The system is not required for sidewalks adjacent to public right of way;
 - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
 - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

8-6A-7: PRELIMINARY PLAT FINDINGS:

1. The plat is in conformance with the Comprehensive Plan;
The Council finds that the Preliminary Plat, as approved and conditioned, meets all requirements associated with Section 8-6A-3 of the UDC and is consistent with the Comprehensive Plan and will meet the intent of the Land Use designation. Further, the property is required to develop under the guidelines of the Comprehensive Plan and requirements of the Unified Development Code.
2. Public Services are available or can be made available and are adequate to accommodate the proposed development;

The Council finds that Agencies having jurisdiction on this parcel were notified of this action. The City has not received notice that public services are not available or cannot be made available for this development. Emergency services were reviewed, and mitigation recommended by the Star Fire District.

3. There is public financial capability of supporting services for the proposed development; *The Council finds that the City has not received notice from any jurisdictional agency that there are any problems with public financial capability for this development.*
4. The development will not be detrimental to the public health, safety, or general welfare; *The Council finds that the City has not been made aware of any known detriment that will be caused by this development. Residential uses are a permitted use and are compatible with other residential uses in the immediate area.*
5. The development preserves significant natural, scenic, or historic features; *The Council finds that there are no known natural, scenic, or historic features that have been identified with this Preliminary Plat. The property has been in previous agricultural production.*

Public Hearing of the Council:

- a. A public hearing on the application was heard by the City Council on March 5, 2024, at which time testimony was heard and the public hearing was closed. The City Council made their decision at that time.
- b. Shawn L Nickel, City of Star Planning and Zoning Director presented the application.
- c. Oral testimony in favor of or opposing the application was presented to the City Council by:
 - Kyle Prewett
 - Adam Capell
- d. Additional testimony from City Staff, Agencies
None
- e. Written testimony in favor of or opposing the application was presented to the City Council at the hearing by:
None

Deliberations and Conclusions of Law:

The Council reviewed the particular facts and circumstances of this proposed preliminary plat application and development agreement modification in accordance with the City of Star Title 8 (Unified Development Code), deliberated on the matter, resulting in review of the record, including the staff report, and discussions on the platting of the development. Review and

discussion included development layout, access and street configuration, setbacks, open space, pathways and landscaping. The Council concluded that the Applicant’s request meets the requirements for preliminary plat and development agreement modification. Council hereby incorporates the staff report dated March 5, 2024, together with the hearing minutes into the official decision as part of these Findings of Fact, Conclusions of Law.

Statement of Compliance:

Council finds and concludes that the Applicant has met all requirements of the applicable Unified Development Code and the intent and purpose of the applicable Comprehensive Plan and Map requirements for preliminary plat.

Council added the following requirements to their decision to approve the Preliminary Plat that will be part of the Modified Development Agreement and Preliminary Plat conditions of approval to include the following:

- 1. Side yard setbacks shall be 7.5’. A waiver has not been granted as part of the DA Modification.
- 2. The applicant shall connect the sidewalk/pathway in the northwest corner of the development to N. Pollard Lane.

CONDITIONS OF APPROVAL

- 1. The approved Preliminary Plat for the Milepost Commons Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 2. **The applicant shall enter into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. ITD has calculated the fees to be \$1,000 per residential unit for a total of \$72,000. These fees will be collected by the City of Star, by phase, prior to final plat signature.** The development agreement shall be signed and recorded as part of the ordinance for annexation and zoning and shall contain the details of the fees to be collected.
- 3. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and “Dark Skies” lighting. **Applicant/Owner shall work with staff and submit a streetlight plan designating locations that meet city standards prior to Final Plat approval.** Streetlights shall comply with the Star City Code regarding light trespass and “Dark Sky” initiative.
- 4. The property with the approved Preliminary Plat shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.

5. The entrance to N. Pollard Road shall be cleaned nightly to include dirt, dust, rocks, mud, and other debris. All trash shall be secured on site and trash receptacles emptied on a regular basis to avoid blowing debris.
6. During the entire construction process, dust from the site must be minimized as much as possible. Water trucks should be used as appropriate. Excess dust could result in fines and or work stoppage.
7. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
8. Street trees shall be installed per Chapter 8, Section 8-8C-2-M (2) Street Trees.
9. Common area trees shall be provided as stated in Section 8-8C-2, J5, including one (1) tree per four thousand (4,000) square feet.
10. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
11. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
12. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
13. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
14. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
15. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
16. All common areas shall be owned and maintained by the Homeowners Association.
17. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
18. A sign application is required for any subdivision signs.
19. **Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic and/or copper telecommunication cables.**
- 20.

Council Decision:

Councilmember Nielson made a motion, seconded by Councilmember Wheelock, for approval. The Council voted 3-0 (Hershey absent) to approve the Preliminary Plat application and Development Agreement Modification on March 5, 2024.

Dated this 16th day of April, 2024.

Star, Idaho

By: _____
Trevor A. Chadwick, Mayor

ATTEST:

Jacob M. Qualls, City Clerk

ORDINANCE NO. 402-2024
(STARPOINTE 2 ANNEXATION & ZONING)

AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AT 6777 N. STAR ROAD (ADA COUNTY PARCELS S0419449020); THE PROPERTY IS OWNED BY GHW HOLDINGS LLC; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS RESIDENTIAL WITH A DEVELOPMENT AGREEMENT (R-4-DA) OF APPROXIMATELY 2.01 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Star, Ada County, Idaho (“the City”), is a municipal corporation organized and operating under the laws of the State of Idaho and is authorized to annex and rezone, and to incorporate within the boundaries of the City contiguous real property in the manner provided by Section 50-222, Idaho Code; and

WHEREAS, pursuant to Section 67-6524, Idaho Code, the City of Star has adopted the Unified Development Code Ordinance, the same being Ordinance No. 370-2022, adopted on July 19, 2022 and subsequently amended; and

WHEREAS, the owner(s) of the real property situated in the unincorporated areas of Ada County, and particularly described in Section 2 of this Ordinance have requested, in writing, annexation and zoning of said real property to the City of Star; and

WHEREAS, the Mayor and Council, held a public hearing on February 20, 2024 on the proposed annexation and zoning of the property described in Section 2 below, as required by Section 67-6525, Idaho Code, and determined that the requested annexation should be granted and that the annexed property should be zoned Residential with a Development Agreement (R-4-DA), pursuant to the Unified Development Code of the City of Star.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF STAR, IDAHO, as follows:

Section 1: The Mayor and Council of the City of Star, Idaho, hereby find and declare that the real property described in Section 2 of this Ordinance is contiguous to the City, that said property can be reasonably assumed to be used for orderly development of the City, that the owner(s) of said property have requested, in writing, annexation of said property by the City, and that the requirements of Section 50-222, Idaho Code, for annexation of said property, have been satisfied.

Section 2: The specific, real property, described in the attached “**Exhibit A**”, including adjacent right of way, situated in Ada County, Idaho, is hereby annexed into the City of Star. From and after the effective date of this Ordinance, the residents and other occupants and property owners within such area shall enjoy all the rights and responsibilities and shall be subject to all

ordinances, resolutions, police regulations, taxation and other powers of the City of Star as their fellow residents, occupants, and owners within the City of Star.

Section 3: The zoning land use classification of the land described in Section 2 above, is hereby established as Residential with a Development Agreement (R-4-DA) as provided by the Unified Development Code of the City of Star. The Zoning Map of the City is hereby amended to include the real property described in Section 2 above in the Residential with a Development Agreement (R-4-DA) land use classification.

Section 4: The City Clerk is hereby directed to file, within ten (10) days of passage and approval of this Ordinance, a certified copy of this Ordinance with the offices of the Auditor, Treasurer, and Assessor of Ada County, Idaho, and with the State Tax Commission, Boise, Idaho, as required by Section 50-223, Idaho Code, and to comply with the provisions of Section 63-215, Idaho Code, with regard to the preparation and filing of a map and legal description of the real property annexed by this Ordinance.

Section 5: This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law. In lieu of publication of the entire Ordinance, a summary thereof in compliance with Section 50-901A, Idaho Code maybe be published.

DATED this ____ day of _____, 2024.

CITY OF STAR
Ada and Canyon County, Idaho

BY: _____
Trevor A. Chadwick, Mayor

ATTEST:

Jacob M. Qualls, City Clerk

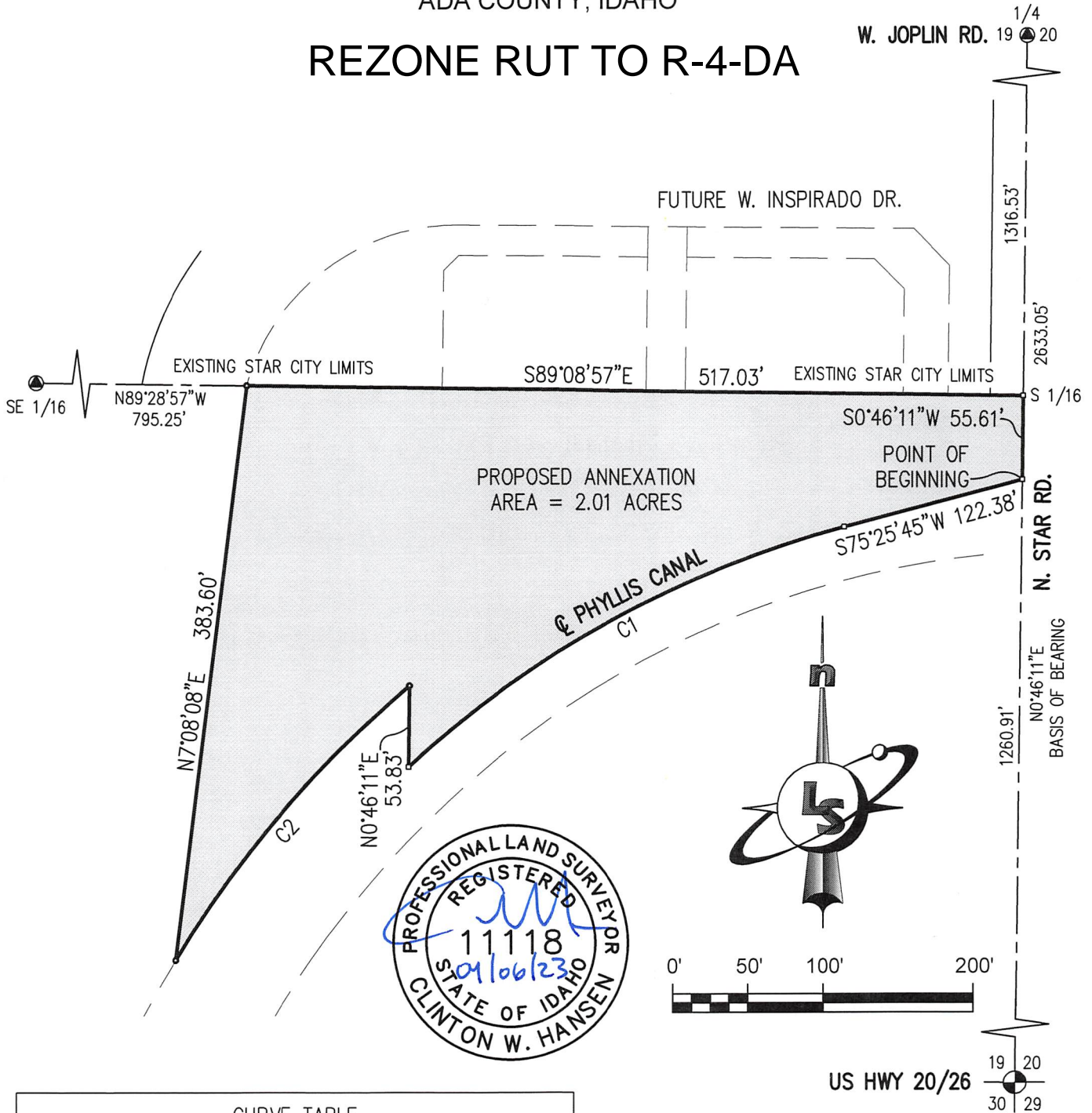
EXHIBIT A

Section 6, Item A.

CITY OF STAR ANNEXATION STARPOINTE SUBDIVISION NO. 2

LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 19, T. 4 N., R. 1 W., B.M.,
ADA COUNTY, IDAHO

REZONE RUT TO R-4-DA



CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	BEARING	CHORD
C1	334.10'	681.97'	28°04'12"	S61°18'07"W	330.78'
C2	240.49'	721.97'	19°05'04"	S40°40'29"W	239.37'

LandSolutions
Land Surveying and Consulting

231 E. 5TH ST., STE. A
MERIDIAN, ID 83642
(208) 288-2040 (208) 288-2557 fax
www.landsolutions.biz

JOB NO. 22-75

Legal Description
City of Star Annexation – Starpointe Subdivision No. 2
Rezone RUT to R-4-DA

A parcel being located in the SE ¼ of the SE ¼ of Section 19, Township 4 North, Range 1 West, B.M., Ada County, Idaho, and more particularly described as follows:

Commencing at a Brass Cap monument marking the southeast corner of said Section 19, from which a 5/8" diameter iron pin marking the northeast corner of said SE ¼ bears N 0°46'11" E a distance of 2633.05 feet;

Thence along the easterly boundary of said SE ¼ N 0°46'11" E a distance of 1260.91 feet to a point on the centerline of the Phyllis Canal, the **POINT OF BEGINNING**;

Thence along said centerline the following courses and distances:

Thence S 75°25'45" W a distance of 122.38 feet to a point of curvature;

Thence a distance of 334.10 feet along the arc of a 681.97 foot radius curve left, said curve having a central angle of 28°04'12" and a long chord bearing S 61°18'07" W a distance of 330.78 feet to a point;

Thence leaving said centerline N 0°46'11" E a distance of 53.83 feet to a point on a curve;

Thence a distance of 240.49 feet along the arc of a 721.97 foot radius non-tangent curve left, said curve having a central angle of 19°05'04" and a long chord bearing S 40°40'29" W a distance of 239.37 feet to a point;

Thence N 7°08'08" E a distance of 383.60 feet to a point on the northerly boundary of the SE ¼ of the SE ¼ of said Section 19;

Thence along said northerly boundary S 89°08'57" E a distance of 517.03 feet to the northeast corner of said SE ¼ of the SE ¼;

Thence along the easterly boundary of said SE ¼ of the SE ¼ S 0°46'11" W a distance of 55.61 feet to the **POINT OF BEGINNING**.

This parcel contains 2.01 acres and is subject to any easements existing or in use.

Clinton W. Hansen, PLS
Land Solutions, PC
April 6, 2023



**DEVELOPMENT AGREEMENT
STARPOINTE 2 ANNEXATION**

This Development Agreement ("Agreement") is entered into by and between the City of Star, a municipal corporation in the State of Idaho, hereinafter referred to as "City", and GHW Holdings, LLC, hereinafter referred to as "Owner".

WHEREAS, Owner owns a parcel of land of approximately 2.01 acres in size, currently located within Ada County, zoned RUT, and more particularly described in **Exhibit A** of Ordinance 402-2024, which is attached hereto and incorporated by reference herein (the "Property");

WHEREAS, Owner requested that the Property be annexed into the City and developed in accordance with the applicable ordinances and regulations of the City and this Agreement;

WHEREAS, the City, pursuant to Section 67-6511A, Idaho Code, and Star City Code at Title 8, Chapter 1, has the authority to enter into a development agreement for the purpose of allowing, by agreement, a specific development to proceed in a specific area and for a specific purpose or use which is appropriate in the area, but for which all allowed uses for the requested zoning may not be appropriate;

WHEREAS, the City has authority to enter into development agreements to condition annexations and re-zones;

WHEREAS, Owner desires to be assured that it may proceed with allowing its Property to be zoned and developed in accordance with this Agreement;

WHEREAS, the parties agree to the zoning designations for the Property as provided in Exhibit A;

WHEREAS, Owner filed with the City of Star, for annexation and zoning of properties to R-4-DA, as File No. AZ-23-03/DA-21-09MOD/PP-23-02/PR23-02/PP21-10 Amended, so that the City can review all the applications affecting the use and development of the Property in an integrated manner consistent with the City's Comprehensive Plan and land use ordinances, which applications were approved;

WHEREAS, the intent of this Agreement is to protect the rights of Owners use and enjoyment of the Property while at the same time mitigating any adverse impacts of the development upon neighboring properties and the existing community and ensuring the Property is developed in a manner consistent with City Ordinances;

THEREFORE, the City and Owner, for and in consideration of the mutual covenants, duties and obligations herein set forth, hereby agree as follows:

Section 1. Legal Authority. This Agreement is made pursuant to and in accordance with the provisions of Idaho Code Section 67-6511A and Star City Code, Title 8, Chapter 1.

Section 2. Development/Uses/Standards.

1. **Development Acreage and Uses Permitted.** As to the Property described on **Exhibit A**, Owner is allowed to develop the 2.01 acres currently being annexed, along with a portion of the 1.66 acres of the existing Starpointe Subdivision, described on **Exhibit B**, as follows:

- Zoning Classification: The zoning classification of the Property described on **Exhibit B** shall be R-4-DA.
 - The Owner shall comply with all city ordinances relating to the Property except as otherwise provided herein.
2. **Site Design.** The Property shall be developed in substantial conformance with the approved preliminary plat, approval date 2/20/24, a copy of which is attached hereto and incorporated by reference herein as **Exhibit B**.
3. **Uses.** The Property is hereby approved for single family residential.
4. **Setbacks.** The development shall comply with the setbacks as approved by Council on 2/20/24 as follows:

Starpointe 2 Setbacks:

Max. Height	Min. Front Yard Setback	Min. Rear Yard Setback	Min. Interior Side Setback	Min. Street Side Setback
35'	10'	20' Garage 10' Living Area	Zero-Lot Lines; Minimum 15' Between Buildings	5'

5. Additional Requirements:

- The applicant shall provide a public easement along the canal, if accepted by the Irrigation District;
- The development is approved to include paved, private streets measuring 28 feet from back of curb to back of curb. Sidewalks are approved for 5 feet wide attached throughout the development;

- No parking signs (fire lane) signs shall be placed on the private streets and shall be included as part of the CC&R's;
- Trees located on the corners shall be of a variety that will accommodate large vehicles, including fire equipment and trash trucks;
- Setbacks are approved for zero-lot-lines for the attached single-family dwelling lots, front yard setbacks to 10' for living area and 5' street side setbacks for internal lots within the development;
- The applicant shall work with staff on the reconfiguration of the private street providing access to Lots 11 & 12. This shall be completed at the time of submittal of the final plat.

6. **Proportionate Share Agreement for ITD Improvements.** Developer has agreed to participate in the costs of construction or improvements to the portions of the State Highway System within the City of Star and/or City of Star Area of City Impact. The Developer will pay the \$10,000.00 (\$1,000 x 10 new lots) traffic mitigation fee determined, or revised, by the Idaho Transportation Department as follows: the Developer will pay the City \$1,000.00 per residential unit within each phase prior to issuance of building permits plat for the development. **As part of the platting for Starpointe Subdivision, the developer has already paid for 2 of the approved 12 lots within Starpointe 2 Subdivision, therefore, only 10 new lots will be assessed for Proportionate Shares as part of this agreement.** The City will allocate the funds to roadway improvements in the vicinity of the project. The Developer shall pay this amount (unless otherwise revised by ITD) directly to the City of Star. The City will maintain this contribution in a specific Development Contributions account, to be distributed to ITD when requested for use with a specific Idaho Transportation Improvement Plan (ITIP) project within the City of Star Area of City Impact or City Limits in accordance with the terms of the Intergovernmental Agreement between the Idaho Transportation Department and the City of Star dated April 22, 2020.

7. **Changes and Modifications.** No change in the use or restrictions specified in this Agreement shall be allowed or changed without modification of this Agreement pursuant to the requirements of the Star City Ordinances. In the event Owner changes or expands the use permitted by this Agreement or fails to comply with the restrictions without formal modification of this Agreement as allowed by the Star City Ordinances, Owners shall be in default of this Agreement.

8. **Conditions, Bonding for Completion.** All of the conditions set forth herein shall be complied with or shall be bonded for completion by Owner before an Occupancy permit will be granted. Failure to comply with the Star City Ordinances or the terms of this Agreement shall result in a default of this Agreement by Owner. Owner may be allowed to bond for certain conditions at one hundred and fifty percent (150%) of the estimated cost of completion pursuant to Star City Ordinances.

Section 3. Affidavit of Property Owner. Owner shall provide an affidavit agreeing to submit the Property to this Development Agreement and to the provisions set forth in Idaho Code section 67-6511A and Star Zoning Ordinance and such affidavit is incorporated herein by reference.

Section 4. Default. The failure of Owner, its heirs or assigns or subsequent owners of the Property or any other person acquiring an interest in the Property, to faithfully comply with any of the terms and conditions of this Agreement shall be deemed a default herein. This Agreement may be modified or terminated by the Star City Council as set forth in the Star City Ordinances. In the event this Agreement is modified, Owner shall comply with the amended terms. Failure to comply with the amended terms shall result in default. In the event the City Council, after compliance with the requirements of the Star City Ordinances, determines that this Agreement shall be terminated, the zoning of the Property or portion thereof that has not been developed in accordance with this Agreement shall revert to its prior zoning designation. All uses of such property, which are not consistent with the prior zoning designation, shall cease unless such uses were consistent with this Agreement when commenced. A waiver by the City of Star for any default by Owner of any one or more of the covenants or conditions hereof shall apply solely to the breach and breaches waived and shall not bar any other rights or remedies of the City or apply to any subsequent breach of any such or other covenants and conditions. Owner, by entering into this Agreement, do hereby consent to a reversion of the subject property to its prior zoning designation the event there is a default in the terms and/or conditions of this Agreement.

Section 5. Unenforceable Provisions. If any term, provision, commitment or restriction of this Agreement or the application thereof to any party or circumstances shall, to any extent, be held invalid or unenforceable, the remainder of the instrument shall remain in full force and effect.

Section 6. Assignment and Transfer. After its execution, this Agreement shall be recorded in the office of the County Recorder at the expense of Owner. Each commitment and restriction on the development subject to this Agreement, shall be a burden on the Property, shall be appurtenant to and for the benefit of the Property and shall run with the land. This Agreement shall be binding on the City and Owner, and their respective heirs, administrators, executors, agents, legal representatives, successors and assigns: provided, however, that if all or any portion of the Property is divided, each owner of a legal lot shall only be responsible for duties and obligations associated with an owner's parcel and shall not be responsible for duties and obligations or defaults as to other parcels of lots within the Property. The new owners of the Property or any portion thereof (including, without limitation, any owner who acquires its interest by foreclosure, trustee's sale or otherwise) shall be liable for all commitments and other obligations arising under this Agreement with respect only to such owner's lot or parcel.

Section 7. General Matters.

7.1 Amendments. Any alteration or change to this Agreement shall be made only after complying with the notice and hearing provisions of Idaho Code Section 67-6509, as required by Star City Code.

7.2 Paragraph Headings. This Agreement shall be construed according to its fair meaning and as if prepared by both parties hereto. Titles and captions are for convenience only and shall not constitute a portion of this Agreement. As used in this Agreement, masculine, feminine or neuter gender and the singular or plural number shall each be deemed to include the others wherever and whenever the context so dictates.

7.3 Choice of Law. This Agreement shall be construed in accordance with the laws of the State of Idaho in effect at the time of the execution of this Agreement. Any action brought in connection with this Agreement shall be brought in a court of competent jurisdiction located in Ada County, Idaho.

7.4 Notices. Any notice which a party may desire to give to another party must be in writing and may be given by personal delivery, by mailing the same by registered or certified mail, return receipt requested postage prepaid, or by Federal Express or other reputable overnight delivery service, to the party to whom the notice is directed at the address of such party set forth below.

Star: City of Star
Attn: City Clerk
P.O. Box 130
Star, ID 83669

Owner: GHW Holdings, LLC
Graye H. Wolfe Sr., Manager
1409 N. Main Street
Meridian, ID 83642

7.5 Effective Date. This Agreement shall be effective after delivery to each of the parties hereto of a fully executed copy of this Agreement.

7.6 Attorney Fees. Should any litigation be commenced between the parties hereto concerning this Agreement, the prevailing party shall be entitled, in addition to any other relief as may be granted, to court costs and reasonable attorney fees as determined by a court of competent jurisdiction. This provision shall be deemed to be a separate contract between the parties and shall survive any default, termination or forfeiture of this Agreement.

IN WITNESS WHEREOF, the parties have hereunto caused this Agreement to be executed on the day and year set forth below.

Dated this ____ day _____, 2024.

Trevor A. Chadwick, Mayor

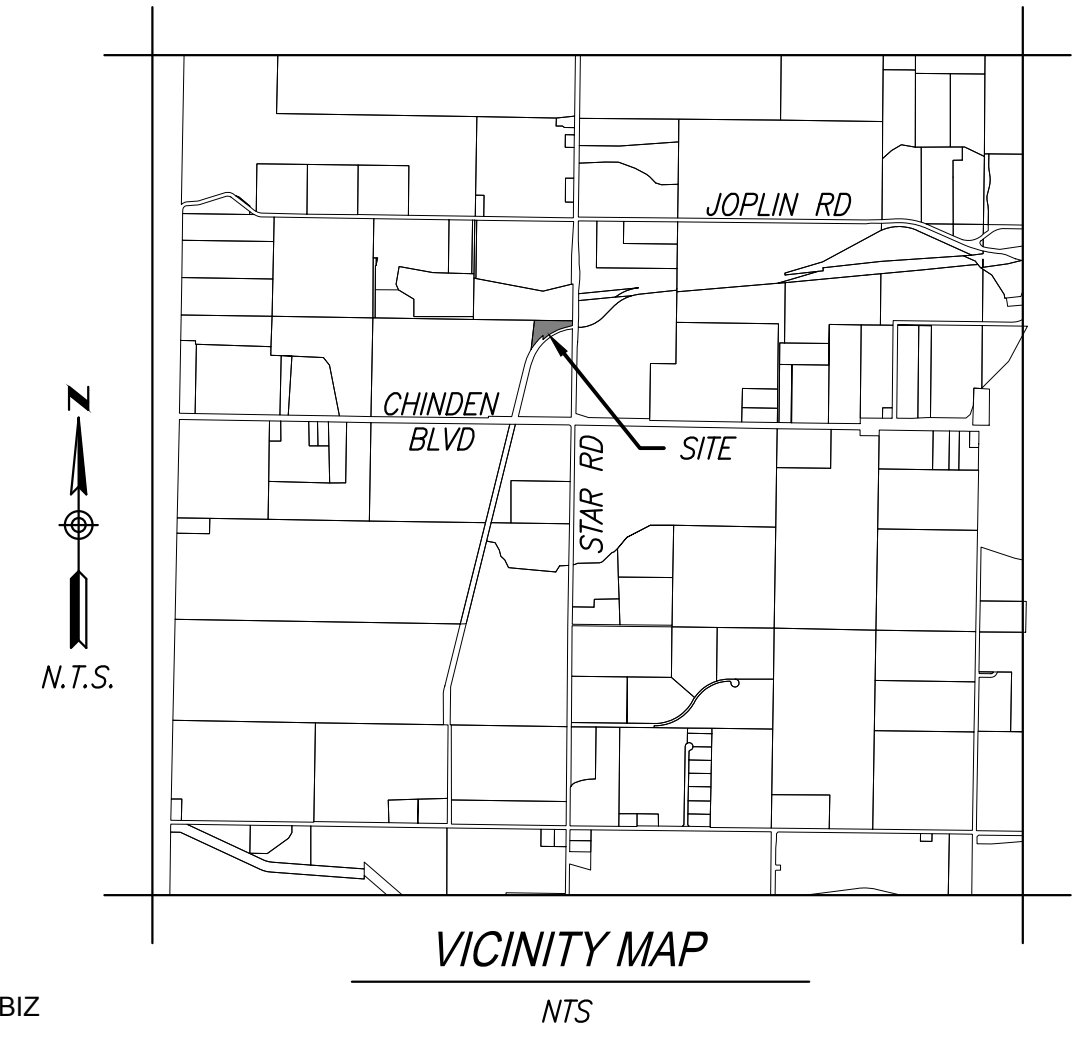
ATTEST:

Jacob M. Qualls, City Clerk

EXHIBIT B

STARPOINTE NO. 2 PRELIMINARY PLAT

A PORTION OF THE SE 1/4 OF SECTION 19,
TOWNSHIP 4 NORTH, RANGE 1 WEST
ADA COUNTY, IDAHO



DEVELOPER	CIVIL ENGINEER/LAND PLANNER	LAND SURVEYOR
GHW HOLDINGS, LLC 1861 S. WELLS AVENUE #200 MERIDIAN, IDAHO 83642 PHONE: (208) 228-2021 CONTACT: RANDAL CLARNO EMAIL: RANDY@CRITERIONLAND.COM	KIMLEY-HORN AND ASSOCIATES, INC. 1100 W. IDAHO STREET SUITE 210 BOISE, IDAHO 83702 PHONE: (208) 906-3871 CONTACT: TELLER BARD, PE EMAIL: TELLER.BARD@KIMLEY-HORN.COM	LAND SOLUTIONS 231 E 5TH ST. SUITE A MERIDIAN, ID 83642 PHONE: (208) 288-2040 CONTACT: CLINT HANSEN EMAIL: CHANSEN@LANDSOLUTIONS.BIZ

PRELIMINARY PLAT DATA

EXISTING ZONING: RUT
 PROPOSED ZONING: R-4 (DA)
 GROSS ACREAGE: 3.08 AC
 NET ACREAGE: 3.01 AC
 NUMBER OF BUILDING LOTS: 12
 NUMBER OF COMMON LOTS: 2
 TOTAL NUMBER OF LOTS: 14
 MINIMUM LOT SIZE (SF): 2500 SF
 AVERAGE LOT SIZE: 2806 SF
 RESIDENTIAL GROSS DENSITY (DU/AC): 3.90 DU/AC

OPEN SPACE DATA

COMMON LOT AREA
 STARPOINTE NO. 1: 26,015 SF | 0.60 AC (57%)
 HUTTON: 52,178 SF | 1.20 AC (60%)
 TOTAL COMMON LOT AREA: 1.80 AC (58%)
 15% OPEN SPACE REQUIRED

USABLE OPEN SPACE: 30,210 SF | 0.69 AC (23%)
 10% USABLE OPEN SPACE REQUIRED

LEGEND

	PROPOSED CENTERLINE
	SECTION LINE
	PROPOSED BOUNDARY
	ROAD RIGHT OF WAY
	LOT LINE
	EASEMENT
	PROPOSED SWALE
	PROPOSED 8" SEWER
	PROPOSED 8" WATER
	STORM WATER INFRASTRUCTURE EASEMENT
	PROPOSED CURB
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED SEWER MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	SIDEWALK RAMP
	PROPOSED STORM DRAIN
	EXISTING SEWER MAIN
	EXISTING WATER MAIN
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL ROAD
	EXISTING FENCE
	EXISTING OVERHEAD POWER
	EXISTING GAS LINE
	PROPOSED PAVEMENT
	PROPOSED OPEN SPACE
	PROPOSED SIDEWALK

SHEET INDEX

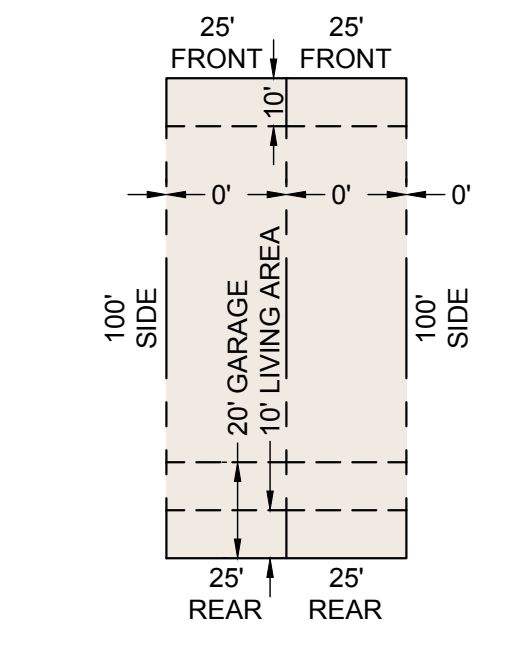
SHEET INDEX	
SHEET NUMBER	SHEET TITLE
01	PRELIMINARY PLAT
02	ENGINEERING PLAN

BUILDING SETBACK DATA

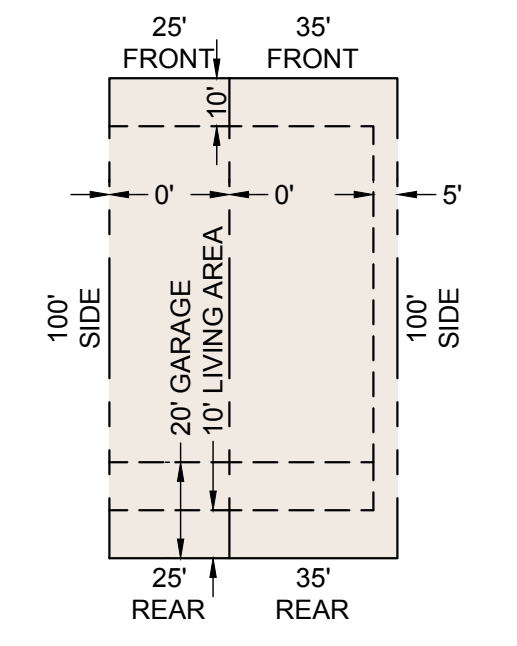
R-4 (DA)
 FRONT: 10'
 REAR: 20' TO GARAGE | 10' TO LIVING AREA
 SIDE: 0' (MINIMUM BUILDING SEPARATION 15')
 STREET SIDE: 5' (LOT 5, 9 & 11)
 20' (LOT 14 TO STAR ROAD)

PRELIMINARY PLAT NOTES

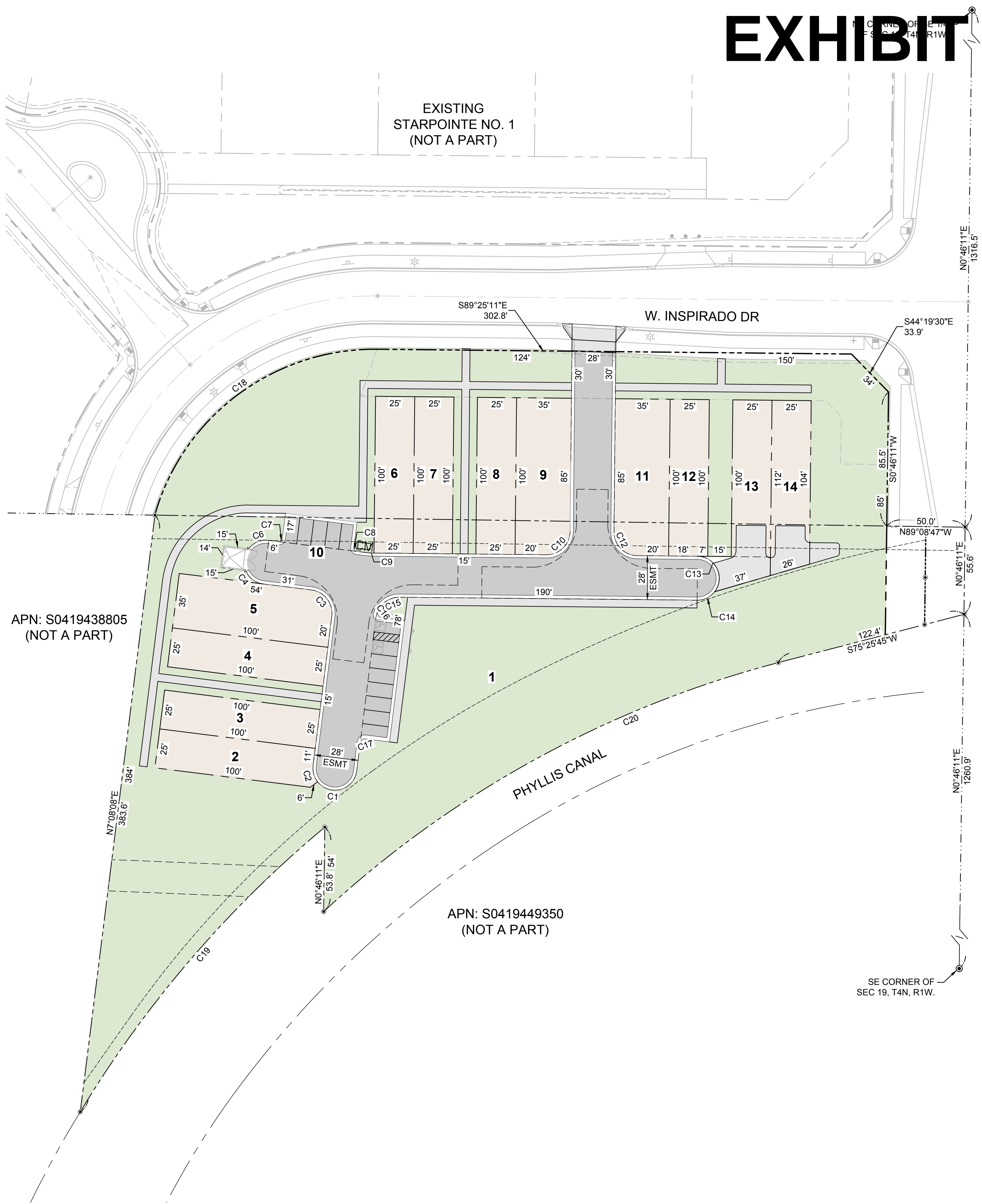
- CONTOUR AND SPOT ELEVATION DATA IS REFERENCE TO NAVD '88 DATUM.
- ALL STREETS PROPOSED IN THIS DEVELOPMENT ARE PRIVATE STREETS.
- BLOCK 1 LOT 1 AND LOT 10 ARE COMMON LOTS TO BE OWNED AND MAINTAINED BY THE STARPOINTE SUBDIVISION HOMEOWNERS ASSOCIATION. THESE LOTS SHALL BE USED FOR HOMEOWNER PEDESTRIAN ACCESS AND LANDSCAPING AND ARE SUBJECT TO A BLANKET EASEMENT ACROSS SAID LOTS FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE.
- STORMWATER RUNOFF GENERATED ON THIS SITE SHALL HAVE QUALITY CONTROL TREATMENT PRIOR TO BEING CONVEYED TO ONSITE STORAGE FACILITIES.
- PUBLIC UTILITIES SHALL INCLUDE WATER, SEWER, ELECTRICAL POWER, NATURAL GAS, TELEPHONE, AND CABLE TELEVISION.
- THIS SUBDIVISION WILL RECEIVE PRESSURE IRRIGATION FROM A PRESSURE IRRIGATION SYSTEM OWNED AND MAINTAINED BY THE HOA.
- DOMESTIC WATER SERVICE AND FIRE PROTECTION SHALL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
- SANITARY SEWER COLLECTION SHALL BE PROVIDED BY THE STAR WATER AND SEWER DISTRICT.
- THIS DEVELOPMENT RECOGNIZES IDAHO CODE SECTION 22-4503, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHENEVER A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
- THE OWNER SHALL COMPLY WITH IDAHO CODE, SECTION 31-3805 OR ITS PROVISIONS THAT MAY APPLY TO IRRIGATION RIGHTS.
- BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH CITY OF STAR CODE UNLESS OTHERWISE MODIFIED BY CONDITIONAL USE PERMIT.
- THE BOTTOM ELEVATION OF BUILDING FOOTINGS SHALL BE SET A MINIMUM OF 12 INCHES ABOVE THE HIGHEST ESTABLISHED NORMAL GROUNDWATER ELEVATIONS.
- ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE MOST RECENTLY APPROVED SUBDIVISION STANDARDS OF THE CITY OF STAR AT THE TIME OF THE RE-SUBDIVISION.
- ALL LOT LINES COMMON TO PRIVATE STREETS ARE HEREBY DESIGNATED TO HAVE A TEN (10) FOOT PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE, UNLESS OTHERWISE DIMENSIONED.
- UNLESS OTHERWISE SHOWN AND DIMENSIONED, EACH LOT WILL HAVE A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION AND LOT DRAINAGE OVER THE FIVE (5) FEET ADJACENT TO ANY EXTERIOR SIDE LOT LINE, AND OVER THE TEN (10) FEET ADJACENT TO ANY REAR LOT LINE OR SUBDIVISION BOUNDARY. MAINTENANCE OF ANY IRRIGATION AND DRAINAGE PIPES OR DITCHES CROSSING A LOT IS THE RESPONSIBILITY OF THE LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION/DRAINAGE ENTITY.
- MAINTENANCE OF ANY IRRIGATION AND DRAINAGE PIPES OR DITCHES CROSSING A LOT IS THE RESPONSIBILITY OF THE LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION/DRAINAGE ENTITY.
- RESTRICTIVE COVENANTS WILL BE IN EFFECT FOR THE SUBDIVISION.
- SEE SHEET 02 FOR PARCEL AND CURVE DATA.



TYPICAL LOT SETBACKS



TYPICAL LOT SETBACKS
STREET SIDE



APN: S0419438805
(NOT A PART)

APN: S0419449350
(NOT A PART)

SE CORNER OF
SEC 19, T4N, R1W.

Date: 5/18/2023 2:07 PM
User: BARD, TELLER
Path: K:\PHX_CIVIL\291015013 - CATHEY-HARRIGAN\CADD\PRELIMINARY PLAT\STARPOINTE HDR\5013-PP-HDR.DWG

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

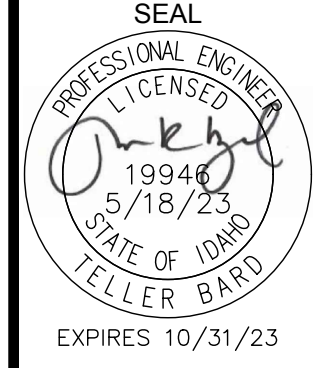


DATE	DESCRIPTION

Kimley»Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 1100 W. Idaho Street, Suite 210
 Boise, Idaho 83702 (208) 297-8885

STARPOINTE SUBDIVISION NO. 2
 PRELIMINARY PLAT
 STAR, IDAHO

DRAWING NAME: 5013-PP-HDR.dwg	DRAWN BY: TC	CHECKED BY: SRK	DESIGNED BY: TRB
PROJECT No.: 291015013	SCALE (H): 1"=40'	SCALE (V): N/A	



SHEET NO.
01
 01 OF 02

City Clerk / Treasurer - Memo

April 9, 2024

Mayor & Council –
For City Council Regular Meeting on April 16, 2024

As part of your packet is the Anderson Reserve LLC, Prime American Steakhouse Application a new for Beer & Wine License & Liquor By the Drink License. As you are aware, a new application requires the City Council to approve the application and renewals are performed administratively.

This location is in the Amazon Development next to the Wright Brother’s Building and has an address of 70 N Short Road (the address may change as their new building is constructed and completed).

The application is in order, and we are awaiting the Mid / Star Fire Inspection which is required annually as well as a prorated payment for the current year in the amount of \$265.65.

I recommend this application be approved by the Council with the stipulation the license be issued after the Fire Inspection has been completed and payment received.

Regards –

Jacob M Qualls, idCMC
City Clerk – Treasurer, City of Star



City of Star
P.O. Box 130
Star, Idaho 83669
P: 208-286-7247

APPLICATION FOR BEER, WINE, LIQUOR LICENSE

Renewal

New Application

Transfer

(fees may be different)

Business Name: Anderson Reserve LLC DBA Prime American Steakhouse

Physical address of license location: 68 N. Short Rd

City: Star

Assessor's Parcel Number(s): _____ Zoning District: _____

Applicant Name: Include partnership or association members, Board members or stockholders:

Paul Anderson

Mailing Address:

P.O. Box 100 Sweet ID 83670

Applicant Telephone: 208-477-8961

Applicant EMAIL Address: paul@andersonreserve.com

EMAIL Address to send a COPY of the License: paul@andersonreserve.com

List all convictions of applicant(s), partner(s) or member(s) any laws of the State of Idaho, or the United States, or City within three (3) years immediately preceding the date of filing the application, regulating governing or prohibiting the sale, manufacture, transportation or possession of alcoholic beverages, intoxicating liquors or drugs:

N/A - none

Has the applicant(s), partner(s) or member(s) suffered the forfeiture of a bond for failure to appear to answer to charges of any violation? If so give dates and details, use additional sheets of paper if needed.

N/A - no



City of Star
P.O. Box 130
Star, Idaho 83669
P: 208-286-7247

APPLICATION FOR BEER, WINE, LIQUOR LICENSE

List any convictions of any felony, or withheld judgment granted following adjudication of guilty of a felony, or fines paid, or sentence completed therefore, within five (5) years from the date of this application for all applicant(s), partner(s) or member(s):

N/A - none

Has the applicant(s), partner(s), or member(s) had an alcoholic beverage license or liquor license revoked within the last three (3) years?

Yes _____ No Date Revoked: _____

Have your servers / sellers been through Alcohol Awareness Training: Yes No

PLEASE VOLUNTARILY SUBMIT A LIST OF SERVERS / SELLERS WITH THE DATES OF TRAINING.

LICENSE TYPE:	FEES (PER YEAR):	FEE:
Beer consumed on premises <input checked="" type="checkbox"/>	\$200.00	<u>200</u>
Beer consumed off premises <input checked="" type="checkbox"/>	50.00	<u>50</u>
Wine consumed on premises <input checked="" type="checkbox"/>	200.00	<u>200</u>
Wine consumed off premises <input checked="" type="checkbox"/>	50.00	<u>50</u>
Liquor By the Drink <input checked="" type="checkbox"/>	562.50	<u>562.50</u>
Total Fee Paid		<u>\$1,062.50</u>

All applications are required to submit the following:

Applicant (✓)	Description	Staff (✓)
<input checked="" type="checkbox"/>	Completed and signed License Application	<input type="checkbox"/>
<input type="checkbox"/>	Fees Paid	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of State of Idaho Alcohol Beverage License.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Ada / Canyon County Alcohol Beverage License.	<input type="checkbox"/>
<input type="checkbox"/>	Copy of approval letter from the Star Fire District.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of floor plan approved by the State of Idaho showing areas in which alcohol will be served.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	List of Sellers / Servers with Training Dates	<input type="checkbox"/>



City of Star
P.O. Box 130
Star, Idaho 83669
P: 208-286-7247

APPLICATION FOR BEER, WINE, LIQUOR LICENSE

State of Idaho

County of ADA

Paul Anderson being first duly sworn, deposes and says that (he/she/they) is/are the owner / applicant of the Prime American Steakhouse (business name) making the above and foregoing application, and makes the statements therein contained for the purpose of securing a license to sell alcoholic beverages within the corporate limits of the City of Star, and that (he/she/they) has/have read the above and foregoing application, know the contents and the facts therein stated are true and (he/she/they) has/have read and understand the City of Star Codes pertaining to this application.

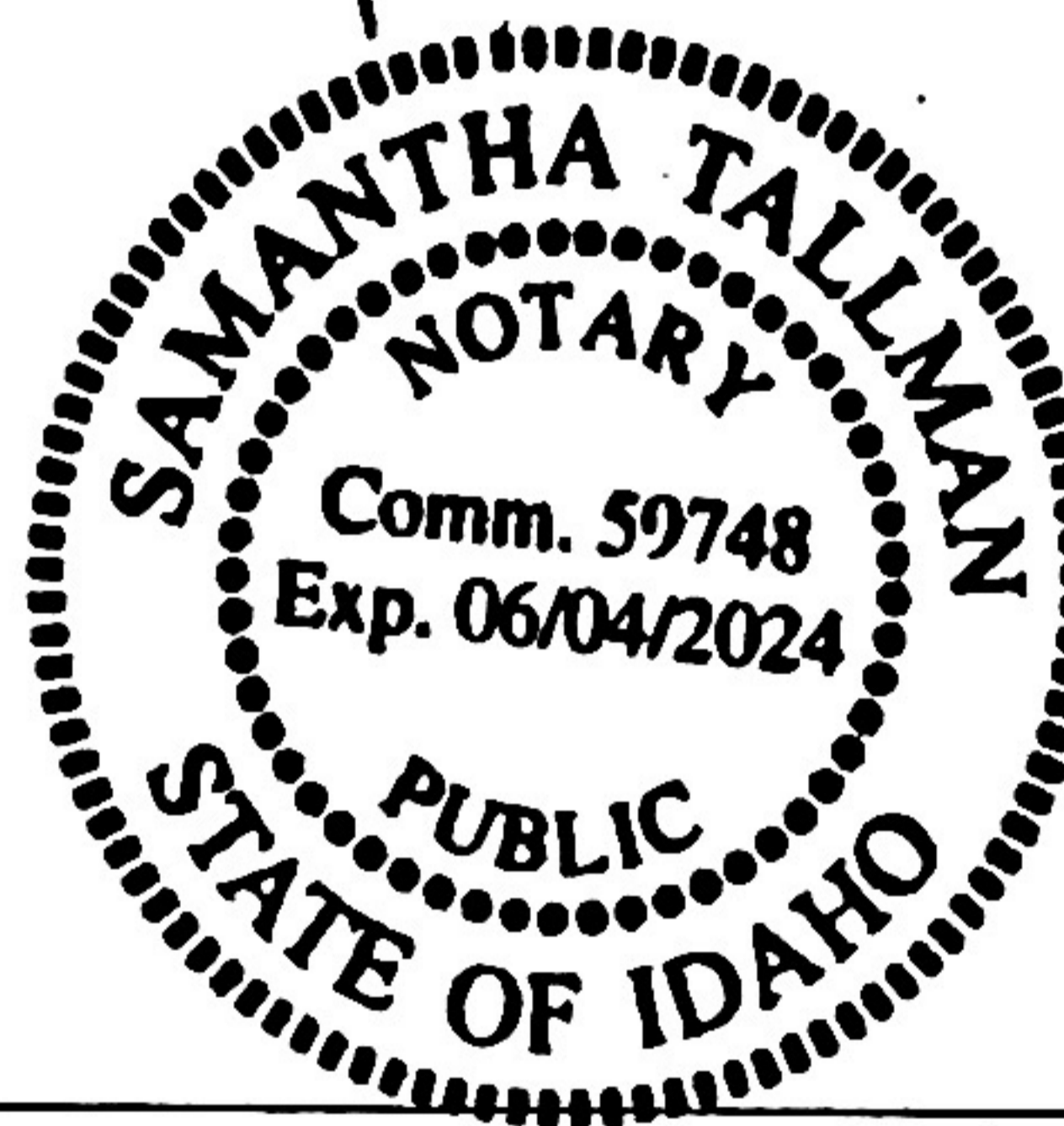
Paul Anderson
Signature of Applicant

4/9/2024
Date

SUBSCRIBED AND SWORN BEFORE ME this 9 day of April, 2024.

Samantha Tallman

NOTARY PUBLIC in and for the State of Idaho
Residing: Meridian
Expiration date: 6/4/2024



OFFICE USE ONLY

Fire Dept. Approval: _____

City Clerk Approval: _____

Star License No: _____ Date License Issued: _____

Emailed COPY of NEW LICENSE: _____

Complete File Scanned

Paper Filed

State of Idaho Idaho State Police

Cycle Tracking Number: 147166
ISLD ID: ND9450

Premises Number: 1A-38042 Retail Alcohol Beverage License License Year: 2024
Incorporated City Anderson Reserve LLC License Number: 38042

*This is to certify, that Anderson Reserve LLC
doing business as: Prime American Steakhouse*

*is licensed to sell alcoholic beverages as stated below at:
70 N Short Rd, Star, Ada County*

*Acceptance of a license by a retailer shall constitute knowledge of and agreement to operate by and in
accordance to the Alcohol Beverage Code, Title 23. Only the licensee herein specified shall use this license.*

County and city licenses are also required in order to operate.

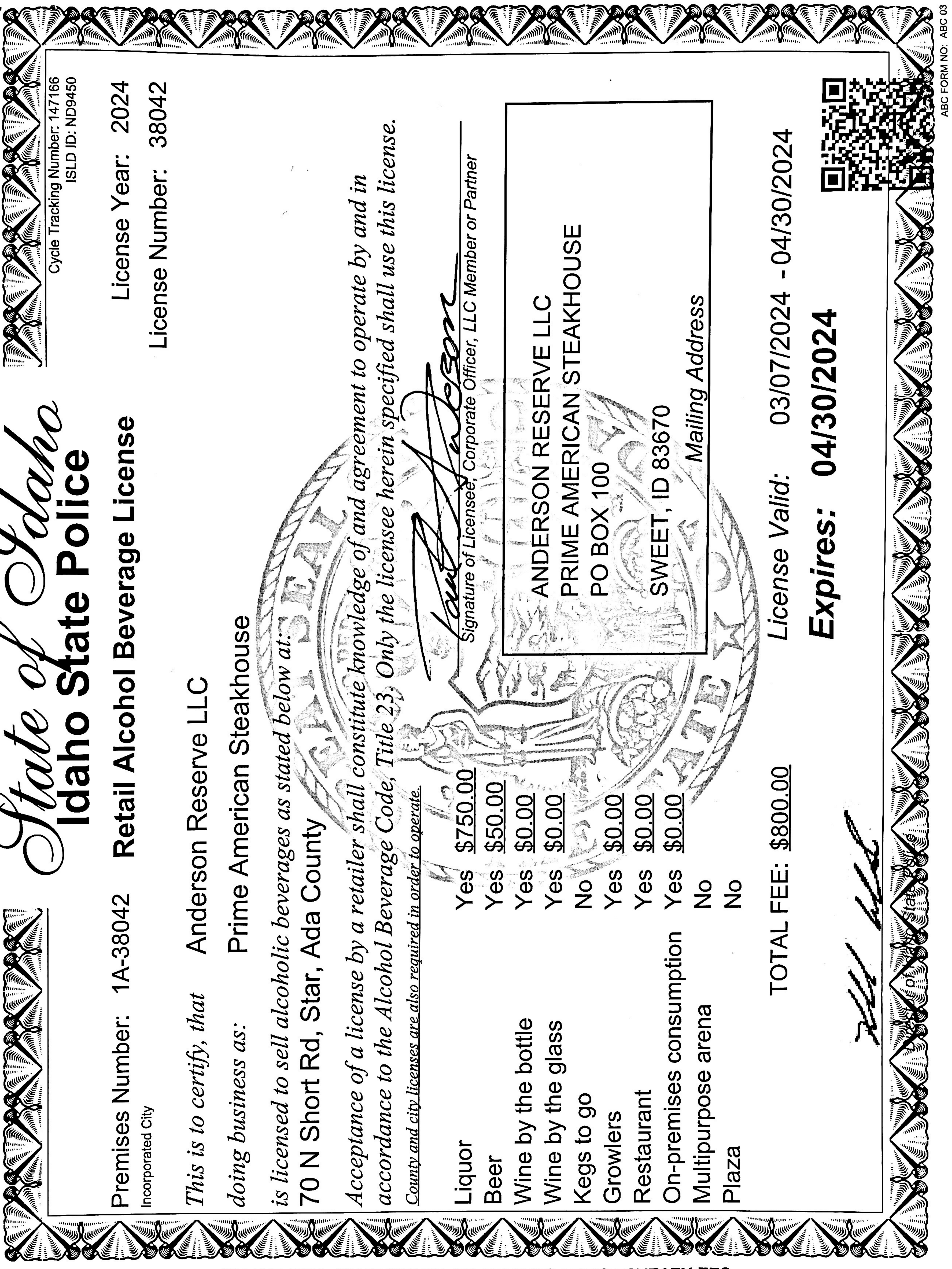
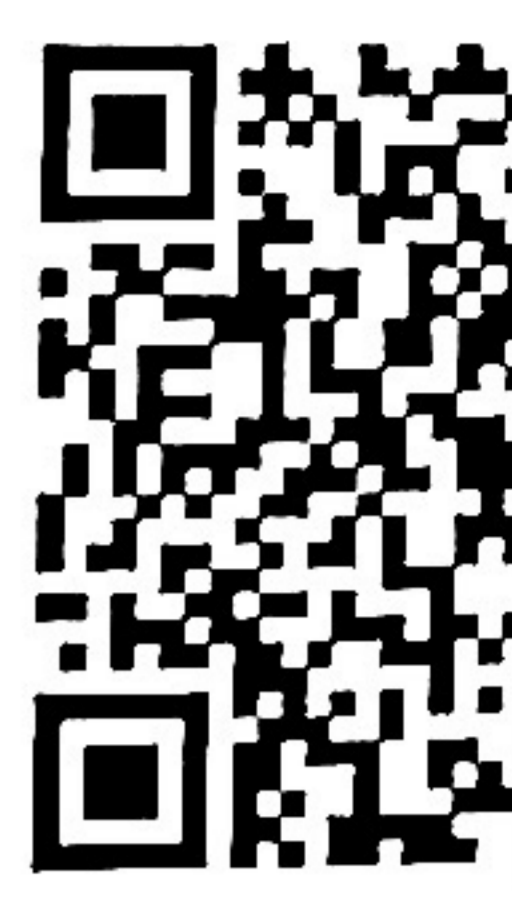

Signature of Licensee, Corporate Officer, LLC Member or Partner

Liquor	Yes	\$750.00
Beer	Yes	\$50.00
Wine by the bottle	Yes	\$0.00
Wine by the glass	Yes	\$0.00
Kegs to go	No	
Growlers	Yes	\$0.00
Restaurant	Yes	\$0.00
On-premises consumption	Yes	\$0.00
Multipurpose arena	No	
Plaza	No	

ANDERSON RESERVE LLC
PRIME AMERICAN STEAKHOUSE
PO BOX 100
SWEET, ID 83670
Mailing Address

TOTAL FEE: \$800.00 License Valid: 03/07/2024 - 04/30/2024

Expires: 04/30/2024



2023-2024

RETAIL ALCOHOL BEVERAGE LICENSE

20241043

ADA COUNTY, IDAHO

STATE OF IDAHO

This is to certify, that Anderson Reserve LLC

dba: Prime American Steakhouse

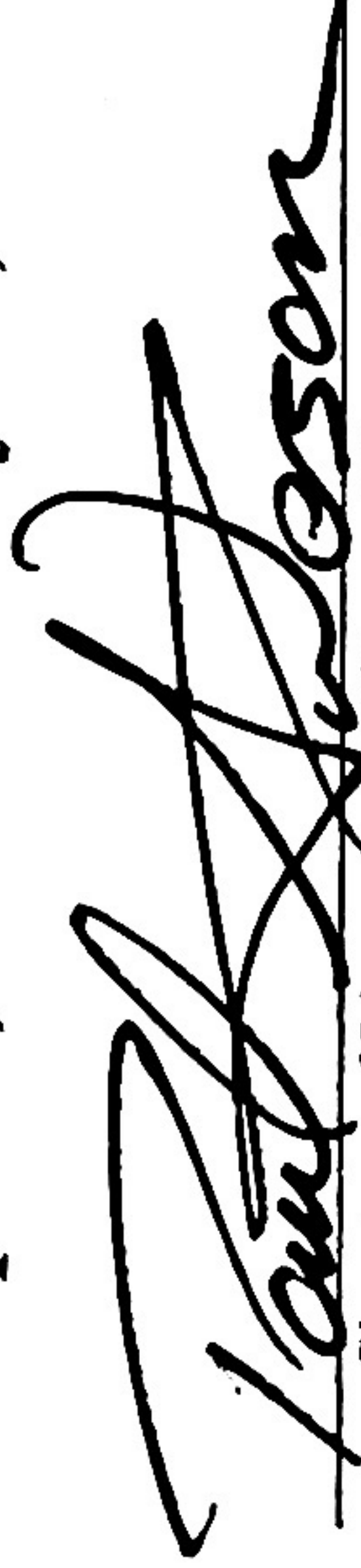
is licensed hereby as a retailer of alcohol beverage, as stated below, to the provisions of Title 23, Idaho Code and the laws of the State of Idaho and regulations and ordinances of Board of County Commissioners in regard to the sale of alcoholic beverage at:

70 N. Short Rd.

Star, ID 83669

License valid from April 9, 2024 to May 31, 2024

Beer	DRAFT, bottled or canned, ON or OFF premises consumption	\$100.00
Liquor	Star City	\$187.50


 Signature of Licensee or Officer of Corporation

APPROVED by the Board of County Commissioners this 9th day of April, 2024

Mail To: PO Box 100, Sweet, ID 83670


 Trent Tripple, Clerk


 Chairman

(THIS LICENSE MUST BE CONSPICUOUSLY DISPLAYED)

Premises ID 1A-38042

Wine
Fridge

Fridge

Freezer

Fridge

Liquor Cabinets

Dish
washer

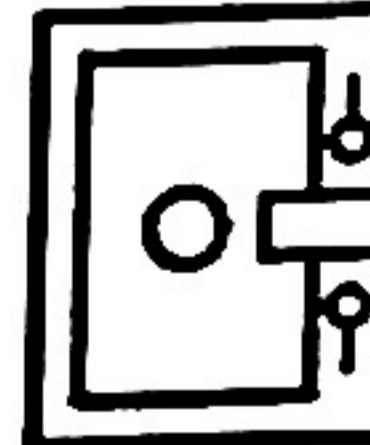
Four bay
sink

Ice Well

Hatch

Restroon 5'X7.5'

ADA Seating





IDAHO STATE POLICE

ALCOHOL BEVERAGE CONTROL BUREAU

Completed on Apr 9, 2024

Certificate of Training

This certifies that

Paul Anderson

has completed the online training course for

Alcohol Awareness Training

Captain Rocky Gripton, Bureau Chief
Alcohol Beverage Control

Paul Anderson, Anderson Reserve, Sweet, Idaho
Not valid unless signed

By signing, I affirm I have viewed, completed, fulfilled, comprehend and understand all the Idaho State Police, Alcohol Beverage Control (ISP-ABC) online alcohol awareness training presented to me. By signing, I affirm the identify provided is my accurate, true and legal identity.

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **April 16th 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Star Fire Protection District Station No. 55
Files #' CU-24-02 Conditional Use Permit

Representative: Chief Greg Timinsky

Owner: Star Fire Protection District

Action: The Applicant is seeking approval of a Conditional Use Permit to construct a new Fire Station. The property is located at 9415 W Floating in Star, Idaho, and consists of 2.26 acres.

Property Location: The subject property is generally located on the south side of W. Floating Feather Road, between N. Plummer Road and N. Pollard Road. Ada County Parcel No. R0367631080.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR
LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department 

MEETING DATE: April 16, 2024 – PUBLIC HEARING

FILE(S) #: CU-24-02 – Conditional Use Permit – Star Fire Station No. 55

OWNER/APPLICANT/REPRESENTATIVE

Applicant/Owner:

Star Fire Protection Station 55
11665 W. State Street
Star, Idaho 83669

Representative:

Chief Greg Timinsky
Star Fire Protection District
11665 W. State Street
Star, Idaho 83669

REQUEST

Request: The Applicant is seeking approval of a Conditional Use Permit to construct a new Fire Station. The property is located at 9415 W Floating in Star, Idaho, and consists of 2.26 acres.

PROPERTY INFORMATION

Property Location: The subject property is generally located on the south side of W. Floating Feather Road, between N. Plummer Road and N. Pollard Road. Ada County Parcel No. R0367631080.

Existing Site Characteristics: The property is currently a vacant platted lot.

Irrigation/Drainage District(s): - Middleton Irrigation Association Inc
Middleton Mill Ditch Company
P.O. Box 848
Star, Idaho 83669

Flood Zone: This property is **NOT** currently located in a Special Flood Hazard Area.
FEMA FIRM Panel Number: 16001C0130J
Effective Date: 06/19/2020
Flood Zone: X

Special On-Site Features:

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No known areas.
- ✪ Fish Habitat – No known areas.
- ✪ Mature Trees – None.
- ✪ Riparian Vegetation – None.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – No.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Wildlife Habitat – No wildlife habitat has been developed or will be destroyed.
- ✪ Historical Assets – No historical assets have been observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	March 27, 2024
Neighborhood Meeting Held	April 8, 2024
Application Submitted & Fees Paid	Waived by City
Application Accepted	March 28, 2024
Residents within 300' Notified	March 28, 2024
Agencies Notified	March 28, 2024
Legal Notice Published	March 31, 2024
Property Posted	April 5, 2024

HISTORY

October 2, 2019 Council approved the preliminary plat for American Star Subdivision (PP-18-02).

May 3, 2022

Council approved the Final Plat application for Phase 4 of the American Star Subdivision (FP-22-04) to include 116 residential lots, 17 common lots and 1 lot for future Fire Station on 26.55 acres.

SURROUNDING ZONING/COMPREHENSIVE PLAN MAP/LAND USE DESIGNATIONS

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Residential (R-3)	Future Public Use	Vacant
Proposed	Residential (R-3)	Future Public Use	Fire Station 55
North of site	Residential (R-3)	Estate Urban Residential	LDS Church
South of site	Residential (R-3)	Estate Urban Residential	American Star Subdivision
East of site	Residential (R-3)	Estate Urban Residential	American Star Subdivision
West of site	Residential (R-3)	Estate Urban Residential	American Star Subdivision

ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

(R) RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	R
Public infrastructure; Public utility major, minor and yard (1)	C

Notes:

- 1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-3	35'	15' to living area/side load garage 20' to garage face	15'	7.5' ⁽²⁾	20'

Notes:

- 1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
- 2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
- 3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
- 4. As approved by the Fire District.

8-1B-4: CONDITIONAL USES:

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.
2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.
3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.
3. Control the duration of the use.
4. Assure that the use and the property in which the use is located is maintained properly.
5. Designate the exact location and nature of the use and the property development.
6. Require the provision for on site or off-site public facilities or services.
7. Require more restrictive standards than those generally required in this title.
8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

8-1B-4E. FINDINGS: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

8-5-24: PUBLIC INFRASTRUCTURE; PUBLIC UTILITY MAJOR, MINOR AND YARD:

A. Accessory uses directly related to the maintenance and fueling of vehicles (including, but not limited to, truck and trailer washing, fuel pumps, garages for minor repair) may be allowed.

B. Installation of underground fuel tanks shall require written approval from the Idaho division of environmental quality, Idaho department of water resources, and Star joint fire protection district.

C. No portion of the outside storage areas and/or outside activity areas may be visible from any highway, interstate, gateway corridor, principal arterial, or minor arterial as herein defined.

D. All driveways into and through the facility and any open area with a driving surface shall be surfaced with a dustless material including, but not limited to, asphalt, concrete, pavers or bricks.

E. For any use requiring the storage of fuel or hazardous material, the use shall be located a minimum of one thousand feet (1,000') from a hospital or school.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Estate Urban Residential

Suitable primarily for single family residential use. Densities in this land use area are a maximum of 3 dwelling units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed immediately adjacent to existing residential lots of greater than one acre where those existing larger lots are not likely to be subdivided in the future. Clustering is allowed to preserve open space.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Work to create a vibrant Central Business District.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas

- The Estate and Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.
- Low densities within the Estate and Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside

developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

- C. Site layout adjacent to and within the Special Transition Overlay Area shall provide for a transition in density and lot sizing.
- D. High Density residential uses should be located in close proximity to commercial centers located near highway corridors and on upper floors within the Central Business District land use area. High Density residential uses otherwise should not be dispersed throughout the community and should not be located along the Boise River.
- E. High Density residential may be limited to ensure compatibility and transition between uses adjacent to the site.
- F. High Density residential design specifications may include increased setbacks for multi-story buildings and increased landscape buffers.

8.5.8 Policies Mostly Related to Open Space and Special Areas

- Projects that hold a residential designation, where the developers would like to provide or dedicate amenities similar to those allowed in the Public Use/Parks/Open Space designation, may transfer unused density from these areas to other areas within the development, as may be approved by the City Council through the Planned Unit Development or Development Agreement processes.
- Where possible, open space should be located to be contiguous to public lands and existing open space areas.
- Open space should be designed to capitalize on and expand the open space areas around natural features and environmentally sensitive areas. Priorities for preservation include: The most sensitive resources – floodways and floodplains (including riparian and wetland areas), slopes in excess of 25%, locally significant features, and scenic viewpoints. Fragmentation of open space areas should be minimized so that resource areas are able to be managed and viewed as an integrated network.
- Open space areas along the Boise River should be designed to function as part of a larger regional open space network.
- Require the conservation and preservation of open spaces and public access to the Boise River and BLM lands and interconnected pathways, open to the public, through new developments.
- The city should work with property owners adjacent to the Boise River to maintain and enhance the river corridor as an amenity for residents and visitors and to obtain public pathway easements and to have pathways constructed. Uses which complement this public access include trails and interpretive signage.

- Common areas in subdivisions should be centrally located for the residents use and should include micro-path connections where feasible.
- Discourage development within the floodplain, excluding within the Riverfront Center area, in which development could mitigate floodplain areas and provide for civic space within the floodway and adjacent areas.
- Floodway areas are to remain “open space” because of the nature of the floodway which can pose significant hazards during a flood event. Within the Riverfront Center, this floodway area should be developed as civic gathering area, open and park space, with the design allowing for floodwaters to inundate the area without contributing to hazard risk.
- Floodway areas are excluded from being used for calculating residential and development densities.
- Any portion of the floodway developed as a substantially improved wildlife habitat and/or wetlands area that is open to and usable by the public for open space, such as pathways, ball fields, parks, or similar amenities, as may be credited toward the minimum open space required for a development, if approved by the City Council.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Areas over 25% slope are to be “no development” areas except for city approved trails and except where isolated areas of steep slope are located on property where site grading can easily modify the steep slope area for buildable area. In those cases where grading can be accomplished to modify the isolated steep slope areas the surrounding land use designation will apply within the area designated “steep slope.”
- Clustering of housing is to be encouraged where needed to preserve hillsides, natural features, and to avoid mass grading of land in areas determined to be preserved.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Require more open space and trees in subdivisions.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.

- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

PROJECT OVERVIEW

CONDITIONAL USE PERMIT:

The Applicant is seeking approval of a Conditional Use Permit to construct a new fire station in the Star Fire Protection District, to be named Station No. 55. The building is proposed to be approximately 8,400 square feet in size. Access will be taken from W. Floating Feather Road directly to the property. There will be two access points and signs will direct one way traffic as necessary. The Applicant is proposing 32 parking spaces and 17 are required.

Section 8-4B-2 of the UDC requires all parking stalls to be a minimum of nine feet (9') wide and twenty feet (20') deep. The proposed site plan calls for eighteen feet (18') deep stalls.

Section 8-4B-2 also states.

- A. When a vehicle bumper overhangs onto a sidewalk or landscape area, the parking stall dimensions may be reduced two (2) feet in length if two (2) feet is added to the width of the sidewalk or landscaped area, and the additional area is planted in ground cover. In this case, wheel restraints may be removed.

The Unified Development Code, Section 8-4B-2 states that all drive aisles adjacent to a building shall be a minimum of twenty-five wide (25') or as required by the fire code, unless the building is thirty feet (30') in height or greater, at which point the drive aisle shall be twenty-six feet (26') wide or as otherwise approved by the Fire District. **The Applicant is proposing a drive aisle on the west side of the building that is less than twenty-five (25') wide. This should be adjusted to a minimum of twenty-five (25') as the building is under thirty feet (30') tall.**

The applicant has provided exterior elevations along with black and white renderings that will need to be reviewed by the Design Review Committee, as part of the Certificate of Zoning Compliance process, for approval. Colored renderings will be required for the Design Review process.

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the

Unified Development Code. **The Applicant has not provided a landscape plan and will need to provide one for review during the Design Review process to confirm requirements are met.**

The Applicant has provided a parking lot lighting plan for the site. The locations are aligned with code requirements. The Applicant has not provided a light design/cut sheet and will be required to receive Staff approval on parking lot lighting before building permit issuance. All lighting shall be downward facing and Dark Sky like compliant to avoid any fugitive light to the neighboring properties.

AGENCY RESPONSES

ITD	April 8, 2024
DEQ	April 8, 2024

PUBLIC RESPONSES

No public comments have been received for this application.

STAFF ANALYSIS & RECOMMENDATIONS

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed conditional use permit meets the requirements, standards and intent for development as they relate to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

CONDITIONAL USE PERMIT FINDINGS:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

The Council must find that the site of the proposed use would be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

The Council must find that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development should meet the intent or purpose of the Mixed-Use District.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

The Council must find that the operation of the proposed use would be compatible with the other uses in the general area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

The Council must find that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

The Council must find that the proposed use be adequately served by essential public facilities and services.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

The Council must find that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The Council must find that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

The Council must find that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.

CONDITIONS OF APPROVAL

1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. Streetlights/Parking Lot lights shall comply with the Star City Code. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting.
3. **Applicant shall submit a revised site plan to address the drive aisle width concern.**
4. **Applicant shall submit a landscaping plan prior to issuance of a certificate of occupancy that meets the requirements of the UDC.**
5. **A Certificate of Zoning Compliance will be required prior to issuing a building permit, to include final review and approval of the project by the Design Review Committee.**
6. **The Applicant shall meet all the requirements for the Ada County Highway District (ACHD) prior to certificate of occupancy.**
7. **The Applicant shall provide a letter from the Star Postmaster approving the location of the mailboxes for the new building, prior to issuing certificate of occupancy.**
8. The property shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
9. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
10. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
11. The applicant shall meet all requirements of the Star Sewer and Water District.
12. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
13. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy of the unit.
14. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
15. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.

- 16. Any additional Condition of Approval as required by Staff and City Council.
- 17. Any Conditions of Approval as required by Star Fire Protection District.

COUNCIL DECISION

The Star City Council _____ File Number CU-24-02, for Star Fire Protection Station No. 55 on _____, 2024.



SITE



CONDITIONAL USE PERMIT APPLICATION

****All applicable information must be filled out to be processed.*

FILE NO.: CU-24-02
Date Application Received: 03-28-2004 Fee Paid: _____
Processed by: City: BN

Applicant Information:

PRIMARY CONTACT IS: Applicant ___ Owner ___ Representative ___

Applicant Name: Star Fire Protection Station 55
Applicant Address: 11665 W State St, Star Idaho Zip: 83669
Phone: 208-229-9447 Email: Gtiminsky@midstarfire.org

Owner Name: Star Fire Protection District
Owner Address: 11665 W State Street Star, Idaho
Zip: 83669 Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):
Contact: _____ Firm Name: _____
_____ Address: _____
_____ Zip: _____ Phone: _____
_____ Email: _____

Property Information:

Site Address: 9415 W Floating Feather Rd. Parcel Number: R0367631080
Requested Condition(s) for Conditional Use: Construct a new Fire Station on a parcel currently zoned for residential.

	Zoning Designation	Comp Plan Designation
Existing	Residential (R-3)	Future Public Use
Proposed	Residential (R-3)	Future Public Use
North of site	Residential (R-3)	Estate Urban Residential
South of site	Residential (R-3)	Estate Urban Residential
East of site	Residential (R-3)	Estate Urban Residential
West of site	Residential (R-3)	Estate Urban Residential

Site Data:

Total Acreage of Site: 2.263
 Proposed Percentage of Site Devoted to Bldg Coverage: _____
 Proposed Percentage of Site Devoted to Landscaping: _____
 Number of Parking spaces: Proposed 32 Required 16.7
 Requested Front Setback: _____ Requested Rear Setback: _____
 Requested Side Setback: _____ Requested Side Setback: _____
 Requested Side Setback: _____
 Existing Site Characteristics: _____

Number and Uses of Proposed Buildings: 1 building to be used as a Fire Station
 Location of Buildings: _____
 Gross Floor Area of Proposed Buildings: 8392 sq ft - 4456 will be usable 3486 parking/accessory use
 Describe Proposed On and Off-Site Traffic Circulation: _____

Proposed Signs – number, type, location: _____
 (include draft drawing) _____

Public Services (state what services are available and what agency is providing the service):
 Potable Water - Star Sewer & Water District
 Irrigation Water - Middleton Irrigation Association Inc./Middleton Mill Ditch Company
 Sanitary Sewer - Star Sewer & Water District
 Schools - West Ada School District
 Fire Protection - Star Fire Protection District
 Roads - ACHD

Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision/Project Name: Star Fire Station #55 Phase: N/A
 Special Flood Hazard Area: total acreage N/A number of homes/structures 1

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: 16001C0130J _____
 FIRM effective date(s): mm/dd/year 6/19/2020
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone X _____
 Base Flood Elevation(s): AE _____.0 ft., etc.: _____
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (√)	Description	Staff (√)
	Pre-application meeting with Planning Department required prior to neighborhood meeting.	BN
	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	BN
	Completed and signed Conditional Use Application	BN
	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	
	Legal description of the property (word.doc and electronic version with engineer's seal):	
	Copy of recorded warranty deed.	
	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
	Vicinity map showing the location of the subject property	
	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	
	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	
	Building elevations showing construction materials	
	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, shall be submitted in original pdf format (no scans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

Site Plan (If applicable):

	The following items must be included on the site plan:	
	<ul style="list-style-type: none"> • Date, scale, north arrow, and project name 	
	<ul style="list-style-type: none"> • Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan 	
	<ul style="list-style-type: none"> • Existing boundaries, property lines, and dimensions of the lot 	
	<ul style="list-style-type: none"> • Relationship to adjacent properties, streets, and private lanes 	
	<ul style="list-style-type: none"> • Easements and right-of-way lines on or adjacent to the lot 	
	<ul style="list-style-type: none"> • Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties 	
	<ul style="list-style-type: none"> • Building locations(s) (including dimensions to property lines) 	
	<ul style="list-style-type: none"> • Parking and loading areas (dimensioned) 	
	<ul style="list-style-type: none"> • Traffic access drives and traffic circulation (dimensioned) 	

	• Open/common spaces	
	• Refuse and service areas	
	• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing & proposed)	
	• All on-site lighting proposed – Must Meet City “Dark Sky” Ordinances	

Landscape Plan (If applicable):

	The following items must be included on the landscape plan:	
	• Date, scale, north arrow, and project name	
	• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan	
	• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings	
	• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.	
	• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements	
	• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours	
	• Sight Triangles as defined in 8-4 A-7 of this Ordinance	
	• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size	
	• Proposed screening structures	
	• Design drawings(s) of all fencing proposed	
	• Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> ➤ Number of street trees and lineal feet of street frontage ➤ Width of street buffers (exclusive of right-of-way) ➤ Width of parking lot perimeter landscape strip ➤ Buffer width between different land uses ➤ Number of parking stalls and percent of parking area with internal landscaping ➤ Total number of trees and tree species mix ➤ Mitigation for removal of existing trees, including number of caliper inches being removed 	

SIGNS (If applicable):

All signs will require separate submittal of a sign application.

FEE REQUIREMENT:

***** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.***

Applicant/Representative Signature

Date

ABBREVIATIONS

(E)	EXISTING	HR	HOUR
(F)	FUTURE	HT	HEIGHT
(N)	NEW	HVAC	HEATING, VENTILATING AND AIR CONDITIONING
\$	CENTERLINE	ID	INSIDE DIAMETER
A/C	AIR CONDITIONING	N	INCH
A.D.A.A.G.	AMERICAN'S WITH DISABILITIES ACT	INSUL.	INSULATION
A.F.F.	ABOVE FINISH FLOOR	INT.	INTERIOR
ACGUST.	ACOUSTICAL	JOINT	JOINT
ADJ.	ADJUSTABLE	L.F.	LINEAL FEET OR FOOT
ALT.	ALTERNATIVE	L.P.	LOW POINT
ALUM.	ALUMINUM	LAM.	LAMINATE
APPROX.	APPROXIMATE	LAV.	LAVATORY
B.O.	BOTTOM OF	MB	MACHINE BOLT
B.O.F.	BOTTOM OF FIXTURE	M.H.	MANHOLE
B.O.S.	BOTTOM OF SHAPE	M.O.	MASONRY OPENING
BD.	BOARD	MAX.	MAXIMUM
BLDG.	BUILDING	MECH.	MECHANICAL
BLK.	BLOCK	MFR.	MANUFACTURER
BM.	BEAM	MIN.	MINIMUM
CB.	CATCH BASIN	MISC.	MISCELLANEOUS
C.M.U.	CONCRETE MASONRY UNIT	N	NORTH
C.O.	CONCRETE OPENING OR CLEAN-OUT	N/C	NOT IN CONTRACT
C.T.	CERAMIC TILE	N.T.S.	NOT TO SCALE
C.W.	COLD WATER	NO.	NUMBER
CAB.	CABINET	NGM.	NORMAL
CBM.	CEMENT	O	OVER
CFM.	CUBIC FEET/MINUTE	O.C.	ON CENTER
CEILING.	CEILING	O.S.D.	OUTSIDE DIAMETER
CLR.	CLEAR	O.H.	OPPOSITE HAND
CONTRSK.	CONTRACTOR	OPP.	OPPOSITE
COL.	COLUMN	OS	ON SITE
CONC.	CONCRETE	P/L	PROPERTY LINE
CONT.	CONTINUOUS	PLAM.	PLASTIC LAMINATE
CORR.	CORRIDOR	P.T.P.	PAPER TOWEL DISPENSER
COV.	COORDINATE WITH	PL.	PLATE
DET.	DETAIL	PLUMB.	PLUMBING
D.S.	DOWNSPOUT	PLYWD.	PLYWOOD
DIA.	DIAMETER	P.O.S.	POINT OF SALE
DIAG.	DIAGONAL	PT	POINT
DN.	DOWN	QT.	QUARRY TILE
DRWG.	DRAWING	R.D.	ROOF DRAIN
E.I.F.S.	EXTERIOR INSULATION & FINISHING SYSTEM	R.O.	ROUGH OPENING
E.P.	ELECTRICAL PANELBOARD	RE.	REFERENCE (G.V.)
EA.	EACH	RENF.	REINFORCED
EL.	ELEVATION	REQD.	REQUIRED
ELEC.	ELECTRICAL	RM.	ROOM
ELEV.	ELEVATOR	S.C.	SOLID CORE
EQUAL.	EQUAL	S.C.D.	SEAT COVER DISPENSER
EQUIP.	EQUIPMENT	S.D.	SCAF DISPENSER
EXT.	EXTERIOR	S.F.	SQUARE FEET OR FOOT
F.A.	FIRE ALARM	S.N.D.	SANITARY NAPKIN DISPENSER
F.B.O.	FURNISHED BY OTHERS	S.N.R.	SANITARY NAPKIN RECEIPTAGE
F.D.	FLOOR DRAIN	S.S.	STAINLESS STEEL
F.E.	FIRE EXTINGUISHER	SCHED.	SCHEDULE
F.E.C.	FIRE EXTINGUISHER CABINET	SECT.	SECTION
F.H.C.	FIRE HOSE CABINET	SHT.	SHEET
F.O.C.	FACE OF CURB/CONCRETE	SH.	SHANKS OR SIMILAR TO SPECIFICATIONS
F.O.F.	FACE OF FINISH	SQ.	SQUARE
F.O.M.	FACE OF MASONRY	STD.	STANDARD
F.O.S.	FACE OF STUD	STRUC.	STRUCTURAL
F.O.V.	FACE OF VENT	SUPP.	SUPPLEMENTED
F.F.	FOUNDATION	SYM.	SYMMETRICAL
FN.	FINISH	T & G	TONGUE & GROOVE
FN.	FLOORING	T.D.	TOP OF DRAIN
FT.	FOOT OR FEET	T.O.	TOP OF
FTS.	FURS	T.O.F.	TOP OF FRAMING
GA.	GRAB BAR	T.O.M.	TOP OF MASONRY
GA.	GAUGE OR GAGE	T.O.P.	TOP OF PARAPET
GALV.	GALVANIZED	T.O.S.	TOP OF SLAB
GYPS.	GYPSUM	T.O.P.	TOP OF WALL
H.B.	HOSE BIBB	T.P.D.	TOILET PAPER DISPENSER
H.C.	HOLLOW METAL	TEL.	TELEPHONE
H.P.	HIGH POINT	THRES.	THRESHOLD
H.R.	HOT WATER	TYP.	TYPICAL
HORIZ.	HORIZONTAL	U.G.N.	UNLESS OTHERWISE NOTED
		V.C.T.	VINY. COMPOSITION TILE
		VENT.	VENTILATION
		VERT.	VERTICAL
		VEST.	VESTIBULE
		VV.	WITH
		W/O	WITHOUT
		WD.	WOOD
		W.B.	WALL BEYOND
		WC.	WATER CLOSET OR WALL COVERING
		W.P.	WORK POINT
		W.M.F.	WELDED WIRE FABRIC

STAR FIRE STATION #55 TBD FLOATING FEATHER STAR, IDAHO 83669

GENERAL NOTES

- THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCES AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT INDICATE EVERY CONDITION. WORK NOT DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.
- DO NOT SCALE DRAWINGS.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. WHERE DISCREPANCY OCCUR, THEY SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
- DETAILED DRAWINGS AND LARGER SCALES DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALED DRAWINGS.
- PARTITION DIMENSIONS ARE GIVEN TO THE FACE OF METAL/WOOD MEMBER UNLESS NOTED OTHERWISE.
- DOOR OPENING LOCATIONS ARE DIMENSIONED TO ROUGH OPENING OR CENTERLINE OF OPENING. ALL PANIC HARDWARE INSTALLED MUST EXTEND ACROSS AT LEAST 1/2 TIMES THE WIDTH OF THE DOOR LEAF AND MUST OPERATE AT ALL TIMES. HARDWARE SHALL COMPLY WITH THE LOCAL BUILDING CODE.
- EXIT SIGNAGE SHALL BE EXTERNALLY OR INTERNALLY ILLUMINATED BY THE PREMISES WIRING AND BY STORAGE BATTERIES AND BE IN COMPLIANCE WITH LOCAL CODES.
- ALL CONSTRUCTION TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, ACCESSIBILITY GUIDELINES (A.D.A.A.G.) AND LOCAL ADOPTED CODE.
- IT IS THE RESPONSIBILITY OF ALL BIDDERS TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND TO OBTAIN ANY NECESSARY CLARIFICATIONS PRIOR TO SUBMITTING BID.
- INSTALL WHERE REQUIRED SEMI-RECESSED FIRE EXTINGUISHER CABINETS AND FIRE EXTINGUISHERS PER NFPA 10. VERIFY LOCATION W/ ARCHITECT PRIOR TO INSTALLATION.
- APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR BUILDINGS IN SUCH A POSITION AS TO BE CLEARLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. LETTERS OR NUMBERS SHALL BE A MINIMUM 10" IN HEIGHT (VERIFY HEIGHT WITH FIRE DEPARTMENT) AND STROKE OF A MINIMUM OF A CONTRASTING COLOR TO THE BACKGROUND ITSELF.
- PROVIDE BLOCKING BLOCKING REQUIRED FOR ATTACHMENT OF ALL WALL HUNG ITEMS. (IE. GRAB BARS, COUNTERS, ROOF LADDERS, ETC.) BLOCKING SHALL BE PRESSURE TREATED FIRE RESISTIVE MATERIAL IN RATED BUILDING AND WALL ASSEMBLIES.
- THE COST OF THE BUILDING PERMIT IS TO BE PAID BY THE OWNER. THE OTHER ASSOCIATED PERMITS IE. (ELEC., MECH., ETC.) TO BE PAID BY THE CONTRACTORS.
- ALL INSPECTIONS SHALL BE SCHEDULED AT LEAST 1 WORKING DAY (48-HOUR NOTICE MINIMUM) PRIOR TO THE REQUESTED INSPECTION TIME.

PROJECT INFORMATION

PROJECT DESCRIPTION:
THIS PROJECT CONSISTS OF AN NEW 8,392 SF FIRE STATION WITH A DRIVE-THRU TRUCK BAYS.

CODE DATA:
APPLICABLE CODE: 2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2017 IDAHO STATE PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL ENERGY CODE
2017 ICC/ANSI/A117.1

TYPE OF CONSTRUCTION: TYPE VB, FIRE SPRINKLED (ALLOWABLE 36,000SF IBC'15 TABLE 506.2)
BUILDING HEIGHT: 29'-6" (MAXIMUM HEIGHT 40 FEET, 3 STORY IBC'15 TABLE 504.3)

TYPE OF OCCUPANCY:
GROUP B (BUSINESS)
GROUP 5-2 (PARKING GARAGE)

EXIT REQUIRED (WIDTH):
MAIN FLOOR AREA: 44 OCCUPANTS X .20" PER OCC. = 8.8" (IBC'18 1005.9.2)

MINIMUM DOOR WIDTH 36 INCHES (IBC'18 1010.1.1)
NUMBER OF EXITS REQUIRED & EXIT ARRANGEMENT (IBC'18 1007)
MAXIMUM ALLOWABLE TRAVEL DISTANCE (300 FEET) (IBC'18 TABLE 1011.2)
NUMBER OF EXITS: 2 REQUIRED / 2 PROVIDED (PLUS 2 GARAGE DOORS)
COMMON PATH OF EGRESS TABLE 1006.2.1: B OCCUPANCY 100 FEET MAXIMUM.

THE PROPOSED BUILDING SIZE IS 8,392 SF. 4,456 SF OF THE BUILDING WILL BE USUABLE AREA THE OTHER 3,846 SF IS VEHICLE PARKING AND ACCESSORY USE.
TOTAL PARKING STALLS: 32 PROVIDED, XX SPACES REQUIRED (X,XXX SF / XXX SF)

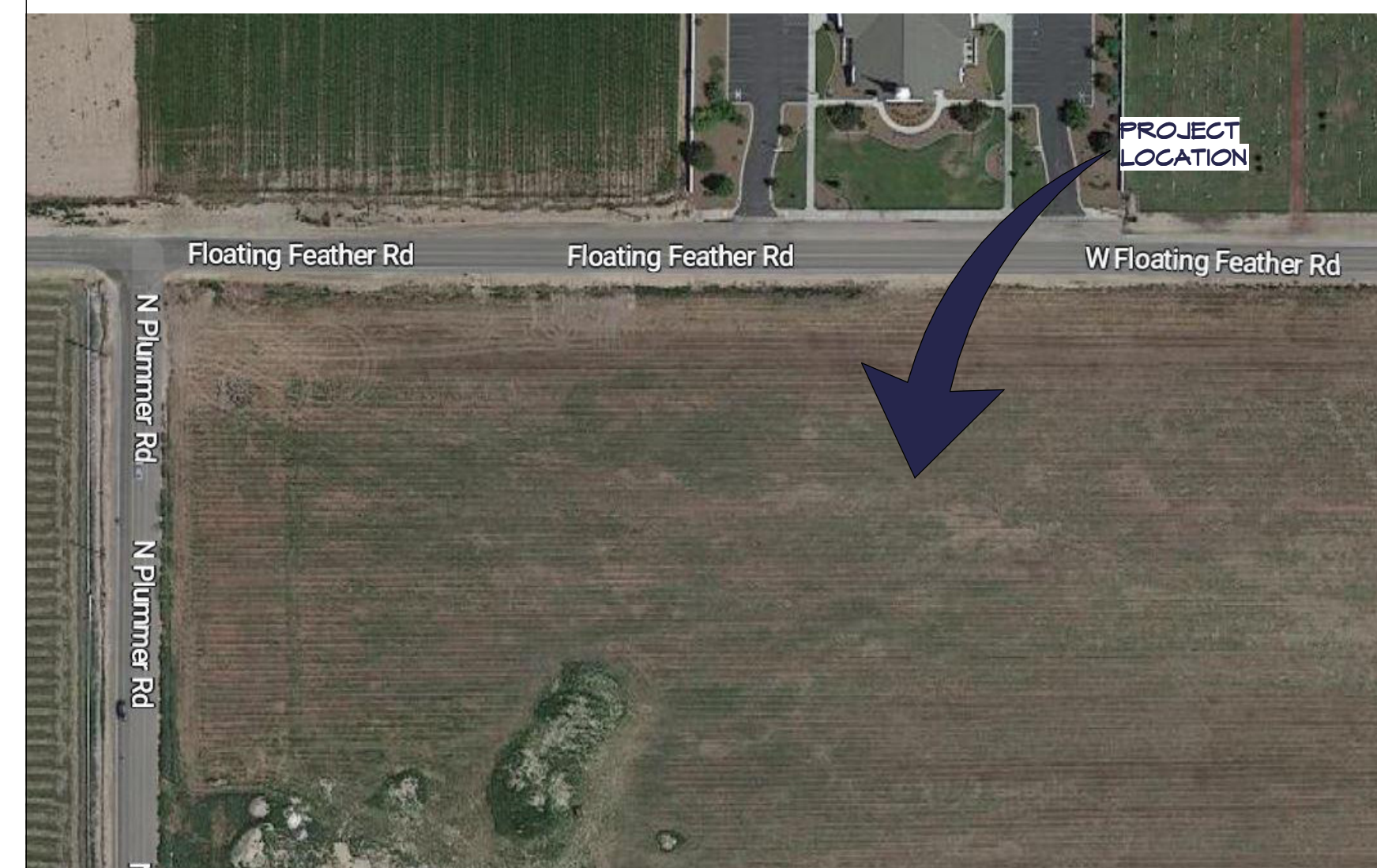
AREA & OCCUPANT LOAD FACTORS:
TABLE 1004.1.2
MAIN FLOOR 4,546 SF / 150 = 31 OCCUPANTS
TRUCK BAYS 3,846 SF / 300 = 13 OCCUPANTS
TOTAL BUILDING OCCUPANT LOAD 44 OCCUPANTS

FIRE PROTECTION:
PORTABLE FIRE EXTINGUISHERS, REFER TO DRAWINGS (IBC'18 TABLE 906)

PLUMBING FIXTURE REQUIREMENT: (TABLE 2902.1 2018 IBC & 2017 IDAHO STATE PLUMBING CODE)

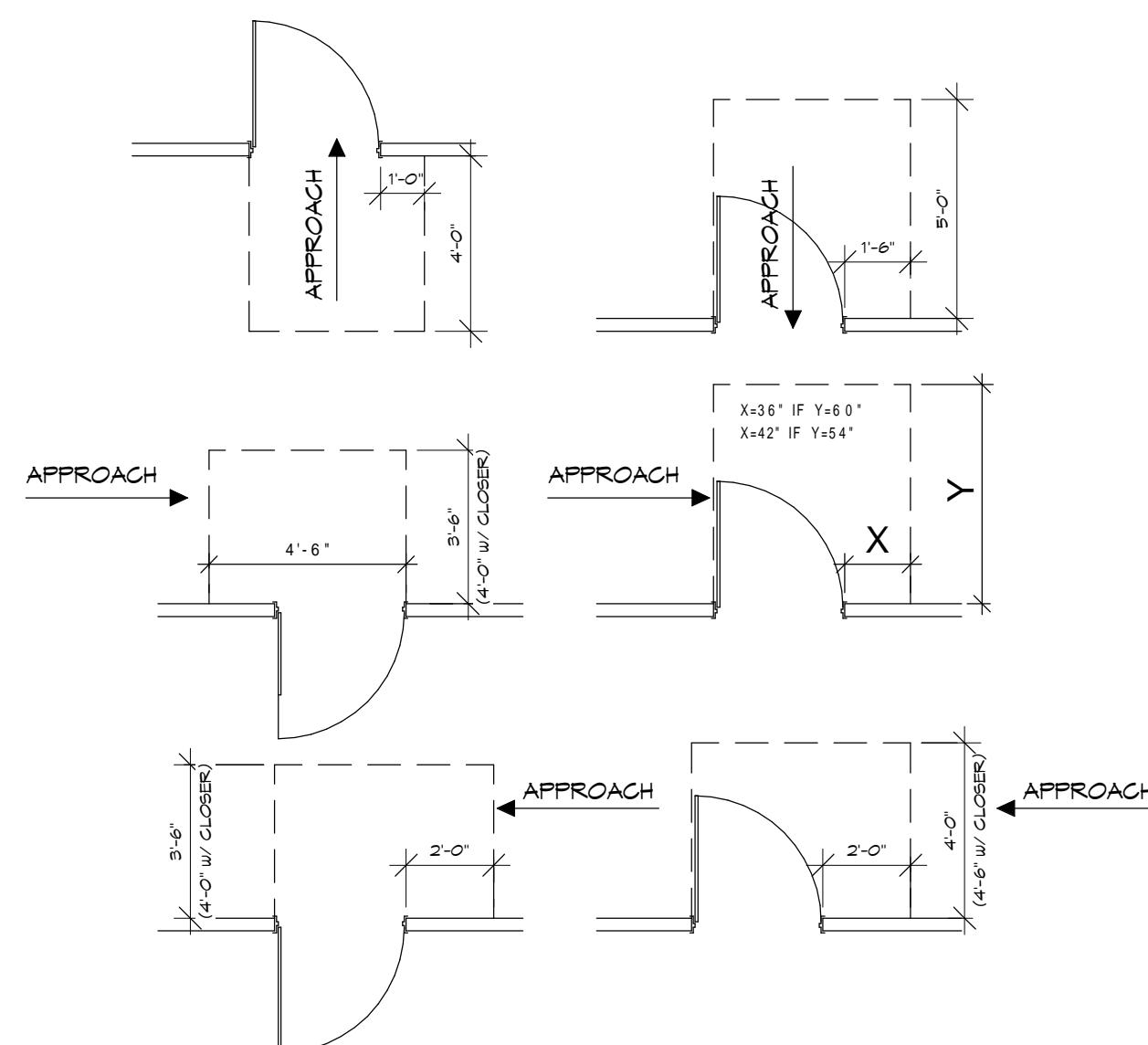
TABLE 2901.1 MEN / WOMEN (REQUIRED/PROVIDED)
WATER CLOSETS: 1:25 FOR THE 1ST 50; 1 PER 50 AFTER 2 REQUIRED / 5 PROVIDED
LAVATORIES: 1:40 FOR THE 1ST 80; 1 PER 50 AFTER 2 REQUIRED / 5 PROVIDED
DRINKING FOUNTAIN: 1:100 1 REQUIRED / 1 PROVIDED
SERVICE SINK: 1 REQUIRED / 1 PROVIDED

VICINITY MAP



MATERIALS & SYMBOLS

	CONCRETE MASONRY UNIT (NORMALWEIGHT)		BUILDING SECTION
	BRICK MASONRY		DETAIL REFERENCE
	CEMENT PLASTER / STUCCO		DOOR SYMBOL
	SINGLE GLAZING		WINDOW SYMBOL
	INSULATED GLAZING		INSULATION SYMBOL
	FRAMING LUMBER		NORTHARROW (DIRECTION SHOWN IS PLAN NORTH)
	PLYWOOD		KEYED NOTE
	PARTICLE BOARD		REVISION OR PICTURE ELEVATION REFERENCE
	FINISH LUMBER		ELEVATION (ABOVE FINISHED FLOOR)
	GYPSUM BOARD		INTERIOR ELEVATION MARK (LETTERS DENOTE INTERIOR ELEVATION MARK)
	ACOUSTIC TILE/PANEL		
	BATT INSULATION		
	RIGID INSULATION		



PROJECT TEAM

ARCHITECT:
encompass, inc.
436 West Broadway Ave.
Meridian, Idaho 83642
(208) 344-8000
Architect: Dennis Taggart

MECHANICAL ENGINEER:
Snake River Engineering
524 Cleveland Blvd #230
Caldwell, ID 83605
Engineer: Andrew Atchison

ELECTRICAL ENGINEER:
DC Engineering
440 E. Corporate Drive, Ste. 103
Meridian, ID 83642
(208) 378-6472
Engineer: Dennis Paul

OWNER / APPLICANT:
Star Fire Protection District
11665 W. State Street
Star, ID 83669
Attn: Greg Timinsky, Fire Chief

STRUCTURAL ENGINEER:
Performance Engineers
1102 N. Franklin Blvd.
Nampa, ID 83607
(208) 475-0022
Attn: Shaun Reeder

DRAFTSMAN:
Countryside Design
9628 W. State St.
Star, ID 83669
(208) 286-0378
Drafter: Franklin Froman

CIVIL ENGINEER:
Rock Solid Civil, LLC
2710 N. 27th Street, Suite 100
Boise, ID 83702
(208) 342-3277
Attn: Seijoon Song

SHEET INDEX

GENERAL SHEETS	
SHEET #	SHEET NAME
G001	COVER SHEET
G101	ENERGY FORMS, EXITING PLAN
AS101	ARCHITECTURAL SITE PLAN
AS102	SITE DETAILS
CIVIL SHEETS	
SHEET #	SHEET NAME
C1.1	CIVIL NOTES AND LEGEND SHEETS
C2.1	CIVIL SITE AND LAND DIVISION PLAN
C3.1	CIVIL UTILITY AND STORM DRAIN PLANS
C4.1	STORM DRAIN DETAILS
C5.1	SITE GRADING PLAN
C6.1	SITE GRADING DETAILS
C7.1	ITD SHEET DETAILS (1 of 3)
C7.2	ITD SHEET DETAILS (2 of 3)
C7.3	ITD SHEET DETAILS (3 of 3)
ARCHITECTURAL SHEETS	
SHEET #	SHEET NAME
A101	FLOOR PLAN
A102	ROOF PLAN
A103	REFLECTED CEILING PLAN
A201	EXTERIOR ELEVATIONS
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS
A303	WALL SECTIONS
A304	WALL SECTIONS
A305	WALL SECTIONS
A501	INTERIOR ELEVATIONS
A502	INTERIOR ELEVATIONS
A503	INTERIOR ELEVATIONS
A601	FINISH SCHEDULES
STRUCTURAL SHEETS	
SHEET #	SHEET NAME
S000	GENERAL STRUCTURAL NOTES
S100	FOUNDATION PLAN
S200	SHEAR WALL / HEADER PLAN
S300	ROOF FRAMING PLAN
S400	SLAB & FOUNDATION DETAILS
S401	FRAMING DETAILS
S402	ADDITIONAL DETAILS
MECHANICAL & PLUMBING SHEETS	
SHEET #	SHEET NAME
M100	MECHANICAL COVER SHEET
M200	HVAC PLAN
M300	WASTE AND VENT PLAN
M400	PLUMBING PLAN
M500	SPECIFICATIONS / ENERGY COMPLIANCE SHEET
ELECTRICAL SHEETS	
SHEET #	SHEET NAME
E000	ELECTRICAL COVER SHEET
E100	ELECTRICAL SITE PLAN
E200	LIGHTING PLAN
E201	MECHANICAL POWER PLAN
E202	POWER PLAN
E203	SPECIAL SYSTEMS PLAN
E300	ONE-LINE DIAGRAM
E301	ELECTRICAL SCHEDULES
E400	ELECTRICAL SPECIFICATIONS
E401	ELECTRICAL SPECIFICATIONS
E402	ELECTRICAL SPECIFICATIONS

Section 7, Item A.

encompass, inc.
 DENNIS LEE TAGGART, Architect
 ARIZONA, CALIFORNIA, COLORADO, KANSAS, MONTANA, NEVADA, NEW MEXICO, TEXAS, UTAH
 N.C.A.R.B. CERTIFIED - A.S.I.D. Licensed Professional
 436 WEST BROADWAY AVENUE, MERIDIAN, IDAHO 83642
 OFFICE (208) 344-8000
 e-mail: dennis@taggart.com

LICENSED ARCHITECT AR-1262
 DENNIS LEE TAGGART
 STATE OF IDAHO
 12/22/2023

FIRE STATION #55
STAR FIRE DEPARTMENT
STAR FIRE PROTECTION DISTRICT
TBD FLOATING FEATHER ROAD
ADA COUNTY STAR IDAHO

OWNER OF DOCUMENTS
 Creates and specifies all requirements of service and shall retain the property of Dennis L. Taggart, Architect unless otherwise specified. Any reproduction made in violation of this agreement shall be the responsibility of the user. This project is the property of Dennis L. Taggart, Architect. Copyright © 2023 Dennis L. Taggart, Architect.

Revision	Date

PROJECT NO. 22-126
DATE: 12.22.2023
DRAWN BY: F5F
SHEET NO. **G001**

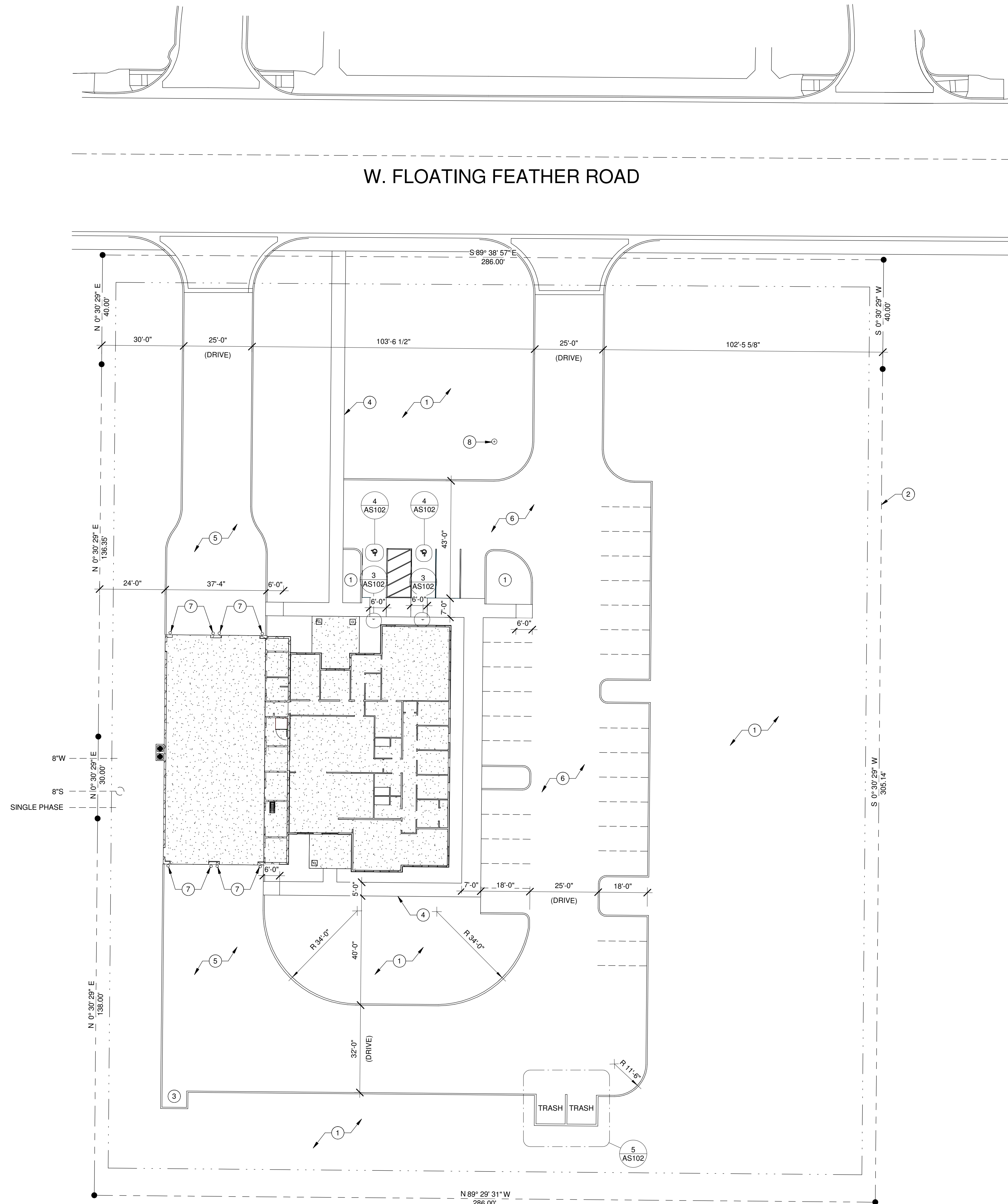
82

GENERAL NOTES

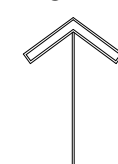
1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, PUBLIC ROADS AND STREETS - IMPROVED OR UNIMPROVED, SIGNS AND EXISTING STRUCTURES AND REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
3. CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED.
4. DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN SAFE AND CLEARLY MARKED VEHICULAR CIRCULATION ALONG ALL STREETS, AND PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED.

KEYNOTES

1. LANDSCAPE AREA
2. PROPERTY LINE / CONTRACT LIMITS
3. NEW GENERATOR
4. SIDEWALK
5. CONCRETE APRON
6. ASPHALT PAVING
7. BOLLARD, SEE DETAIL 1, SHEET AS-2
8. FLAG POLE, SEE DETAIL 2, SHEET AS-2



NORTH



ARCHITECTURAL SITE PLAN

1" = 20'-0"

Section 7, Item A.

encompass, inc.
DENNIS LEE TAGGART, Architect
ARIZONA, CALIFORNIA, COLORADO, KANSAS, MONTANA, NEVADA, NEW MEXICO, TEXAS, UTAH
N.C.A.R.B. CERTIFIED - A.S.I.D. Licensed Professional

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OFFICE (208) 344-8800
e-mail: dennislee@taggartinc.com

LICENSED ARCHITECT
AR-1262

DENNIS LEE TAGGART
STATE OF IDAHO
12/22/2023

FIRE STATION #55
 STAR FIRE DEPARTMENT
 STAR FIRE PROTECTION DISTRICT
 TBD FLOATING FEATHER ROAD
 ADA COUNTY STAR IDAHO

OWNER OF DOCUMENTS
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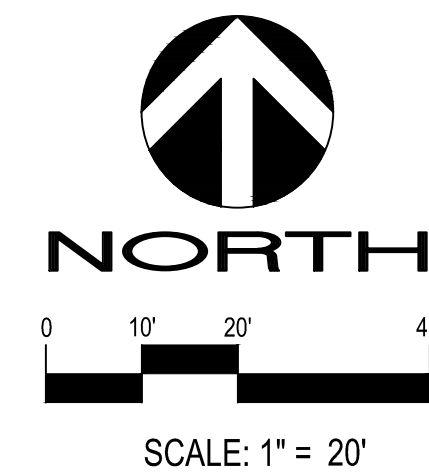
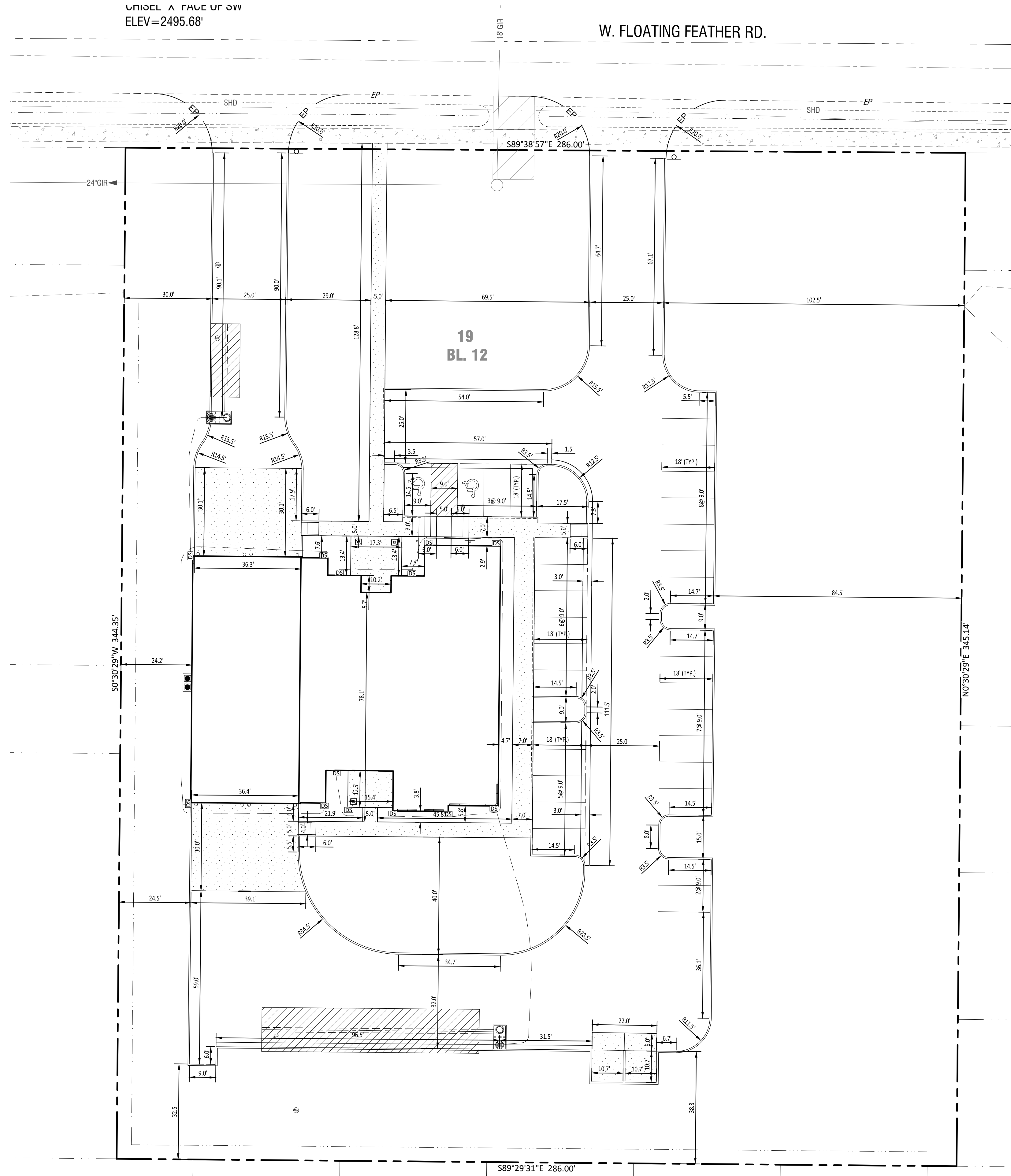
Revision	Date

PROJECT NO. 22-126
DATE: 12.22.2023
DRAWN BY: JM

SHEET NO.
AS101

UTM ZONE 18
 ELEV = 2495.68'

W. FLOATING FEATHER RD.



HORIZONTAL CONTROL PLAN NOTES

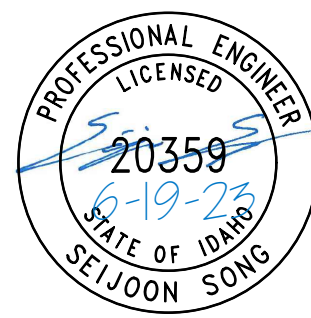
1. ALL CURB DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING TIES ARE TO FACE OF FOUNDATION (SEE ARCHITECTURAL & STRUCTURAL PLANS FOR EXACT FOUNDATION DIMENSIONS).
3. SURVEYOR TO CONFIRM ACAD FILE COORDINATES WITH FINAL AGENCY APPROVED HARD COPY OF HORIZONTAL CONTROL PLAN DRAWINGS.
4. THIS PROJECT BOUNDARY IS TAKEN FROM THE FINAL PLAT OF AMERICAN STAR SUBDIVISION NO. 4. FIELD STAKING SURVEYOR TO LOCATE ALL PROPERTY CORNER PINS AND CONFIRM TO PLAT PRIOR TO SETTING STAKES.
5. SEE ARCHITECTURAL PLANS FOR BUILDING DETAILS AND LANDSCAPE PLANS FOR LANDSCAPE AREAS.

CONSTRUCTION DOCUMENTS
 FOR
 STAR FIRE PROTECTION DISTRICT
 STAR FIRE DEPARTMENT
 FIRE STATION #55
 HORIZONTAL CONTROL PLAN

IDAHO

STAR

DATE: SSCP64 BY: CK
 REVIEWED BY: SSCP63
 NOT DATE REVISION

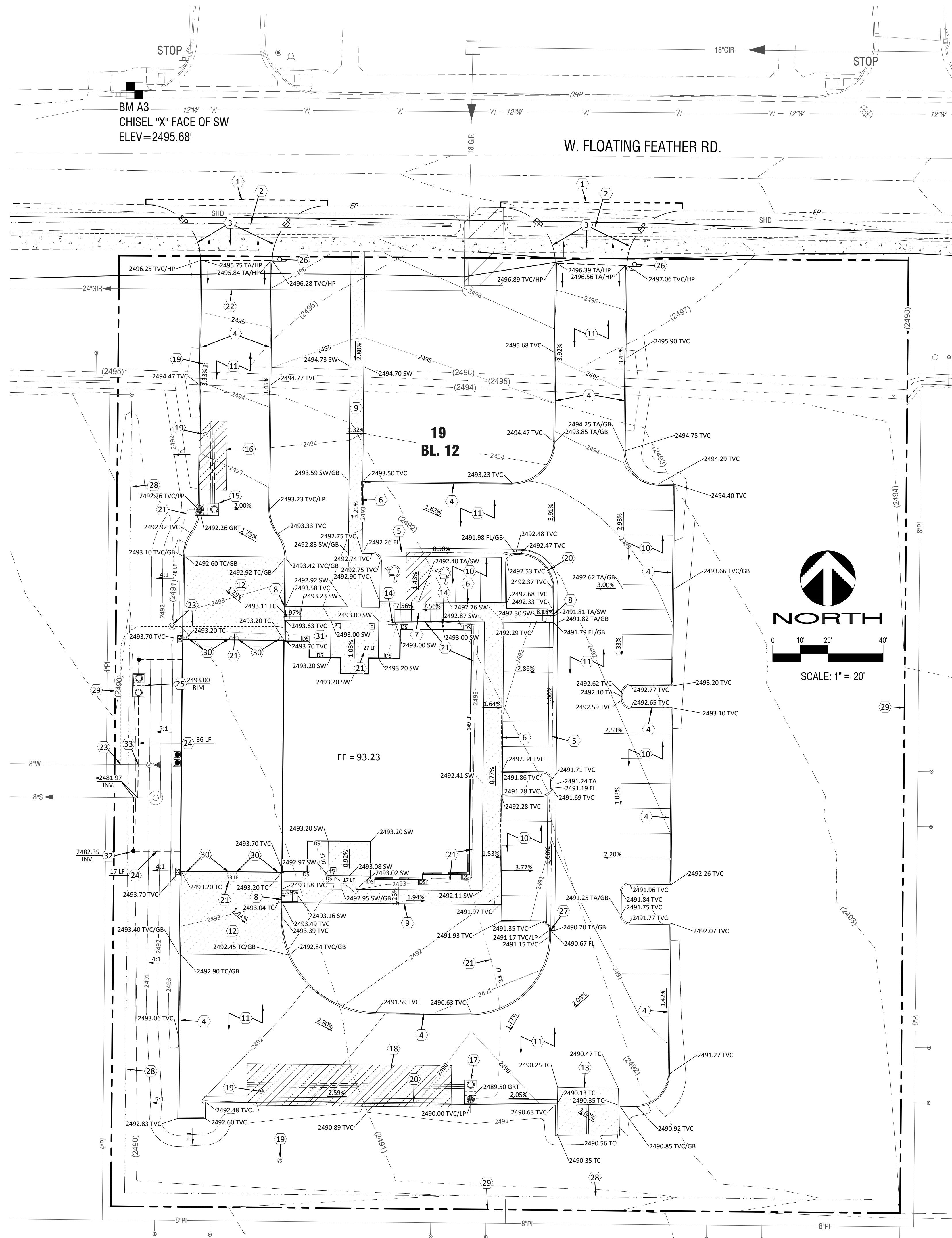


CHECKED BY: SS
 DESIGNED BY: RLC
 DRAWN BY: RLC

FIRST SUBMITTAL DATE: 19 June 2023

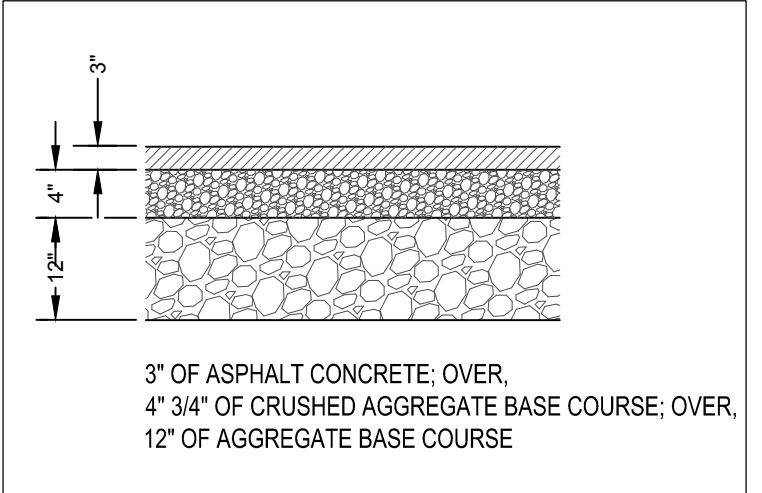
PROJECT NO.
COUN00002237

SHEET NO. **2 OF 4**

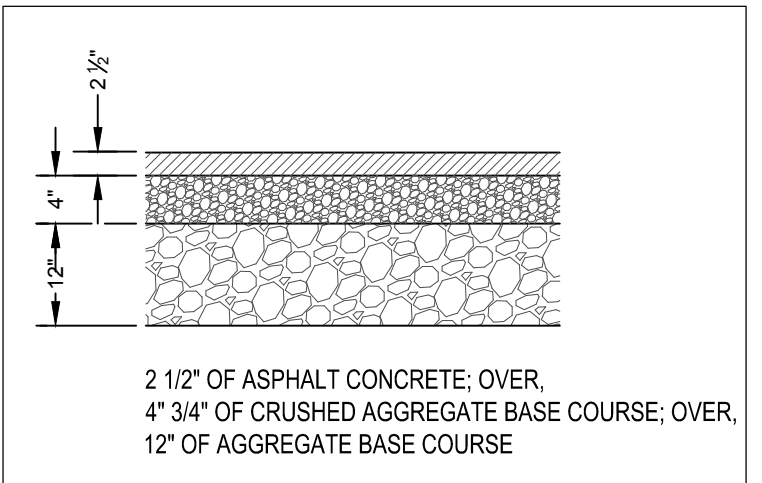


GRADING LEGEND table with columns for elevation type and description.

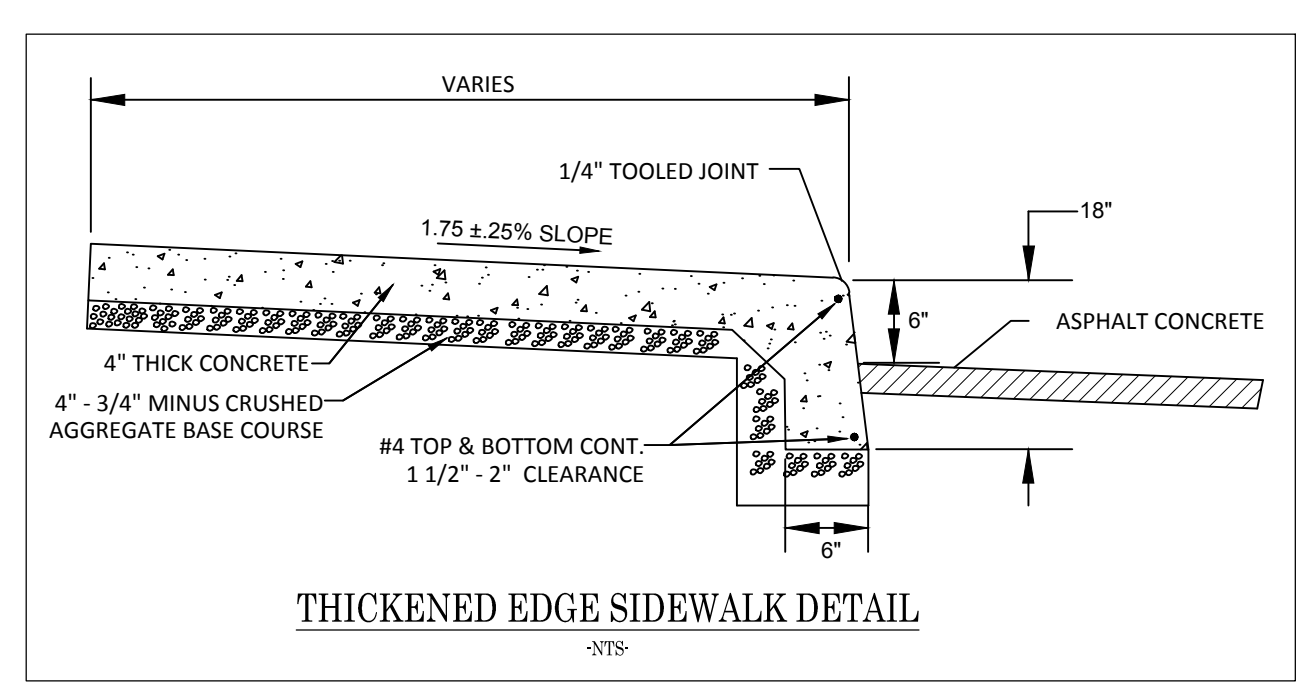
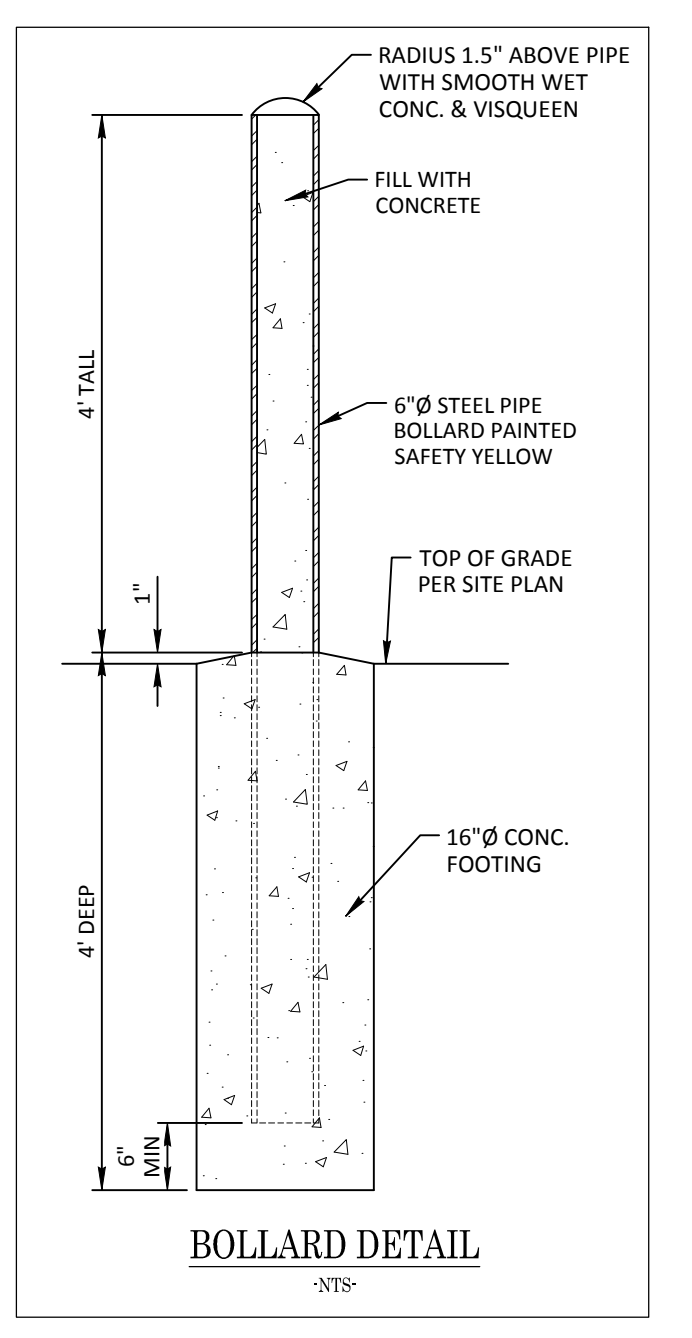
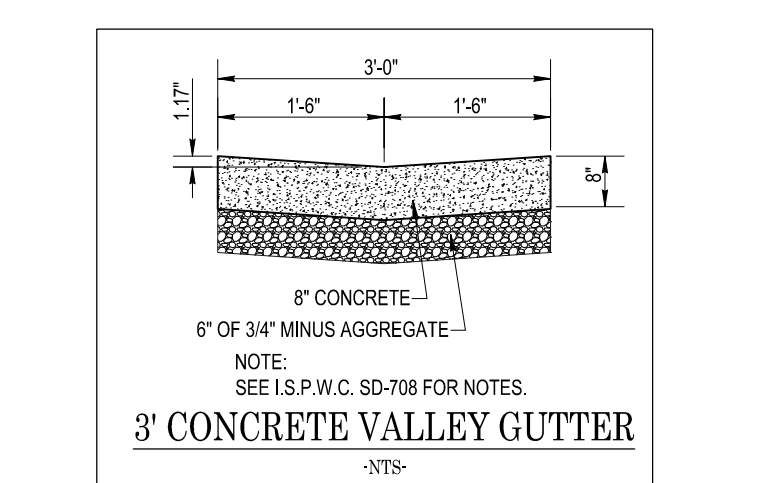
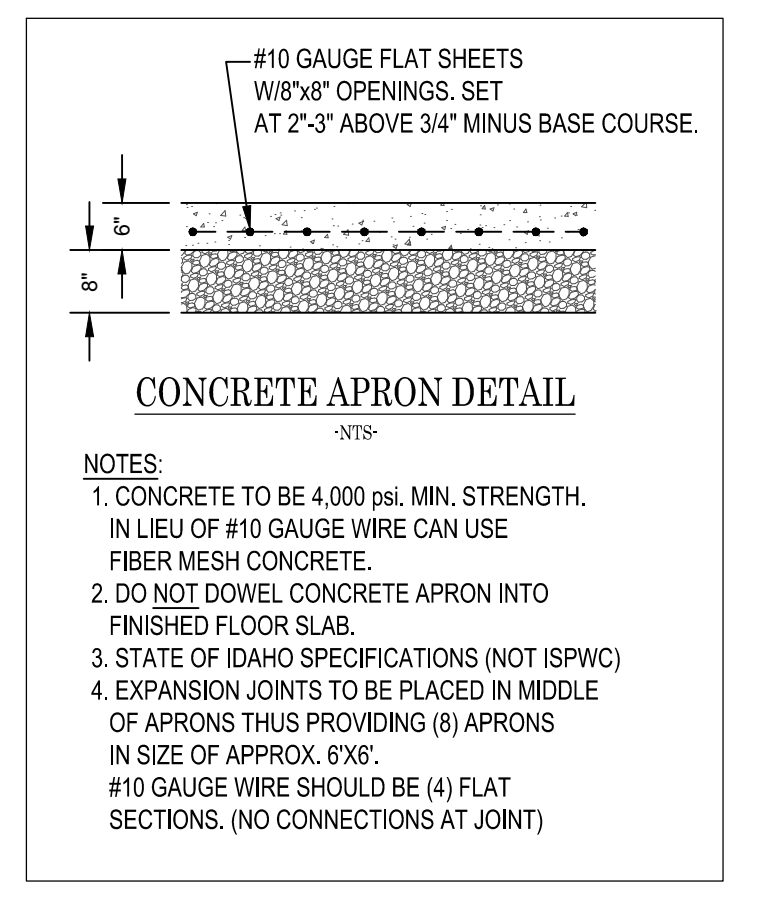
- KEYNOTES list 1-33 detailing construction requirements for pavement, drainage, and utilities.



NOTE PER MTI FILE #B181516g 11-13-18.



NOTE PER MTI FILE #B181516G 11-13-18.



Cut/Fill Summary table with columns for Name, Cut Factor, Fill Factor, 2d Area, Cut, Fill, and Net.

CONSTRUCTION DOCUMENTS FOR STAR FIRE PROTECTION DISTRICT STAR FIRE DEPARTMENT FIRE STATION #55 UTILITY & GRADING & DRAINAGE PLAN

DATE: SSCP64 BY: CK NO. DATE REVISION



CHECKED BY: SS DESIGNED BY: RLC DRAWN BY: RLC

FIRST SUBMITTAL DATE: 29 June 2023 PROJECT NO. COUN00002237

SHEET NO. 3 OF 4

Plot Date: 6/29/2023 3:54 PM Save Date: 6/29/2023 10:37 AM By: Sae Song File: P:\COUN00002237\04\DCADD\DWG\Star Fire Grading.dwg

1445 N. Orchard St.
Boise ID 83706 • (208) 373-0550



Brad Little, Governor
Jess Byrne, Director

April 8, 2024

Shawn L. Nickel
Planning Director and Zoning Administrator
Star City Hall
P.O. Box 130
Star, Idaho 83669
snickel@staridaho.org

Subject: Star Fire District Station No. 55 CUP

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: <https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.

- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Multi-Sector General Permit from DEQ may be required for facilities that have an allowable discharge of stormwater or authorized non-storm water associated with the primary industrial activity and co-located industrial activity.
- For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservations and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.

- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff
Regional Administrator

c:

2021AEK

Shawn Nickel

From: Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>
Sent: Monday, April 8, 2024 2:53 PM
To: Shawn Nickel
Cc: Barbara Norgrove
Subject: RE: Agency Transmittal - Star Fire District Station No. 55 CUP

Hello Shawn –

After careful review of the transmittal submitted to ITD on March 28, 2024 regarding Star Fire District Station No. 55 - CUP, the Department has no comments or concerns to make at this time.

Thank you,



Niki Benyakhlef
Development Services Coordinator

District 3 Development Services
O: 208.334.8337 | C: 208.296.9750
Email: niki.benyakhlef@itd.idaho.gov
Website: itd.idaho.gov

From: Barbara Norgrove <bnorgrove@staridaho.org>
Sent: Thursday, March 28, 2024 4:41 PM
To: jboal@adaweb.net; sheriff@adaweb.net; Daniel.Weed@cableone.biz; Terence.Alsup@cableone.biz; Lbadigian@cdhd.idaho.gov; Mreno@cdhd.idaho.gov; Gloria Stokes <drain.dist.2@gmail.com>; GIS@tax.idaho.gov; D3 Development Services <D3Development.Services@itd.idaho.gov>; Ryan Morgan <rmorgan@staridaho.org>; Ryan Morgan <rmorgan@starswd.com>; bryce@sawtoothlaw.com; gtiminsky@starfirerescue.org; Melvin.B.Norton@usps.gov; harp.kimberly@westada.org; farmers.union.ditch@gmail.com; ERIC.GRZEBINSKI@mdu.com; planningreview@achdidaho.org; hday@starswd.com; bmoore@adacounty.id.gov; BRO.Admin@deq.idaho.gov; samuel.flores@sparklight.biz; PDickerson@idahopower.com; permits@starfirerescue.org; info@pioneerirrigation.com; irrigation.mm.mi@gmail.com; syarrington@adacounty.id.gov; westerninfo@idwr.idaho.gov; gmprdtim@gmail.com; Andy Waldera <andy@sawtoothlaw.com>; brandon.flack@idfg.idaho.gov; Ryan Field <rfield@staridaho.org>; file@idwr.idaho.gov; Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>; Cheryl.Implach@intgas.com; irr.water.3@gmail.com; Mwallace@achdidaho.org; Richard Girard <rgirard@staridaho.org>; Kerry.schmidt@intgas.com; Chris Todd <ctodd@staridaho.org>; John Tensen <jtensen@staridaho.org>; gis@compassidaho.org; Vincent Trimboli <Vincent.Trimboli@itd.idaho.gov>; zsmith@adacounty.id.gov; CalahanH <CalahanH@landproDATA.com>; Brian Duran <Brian.Duran@itd.idaho.gov>; gmprdclerk@gmail.com
Cc: Shawn Nickel <snickel@staridaho.org>
Subject: FW: Agency Transmittal - Star Fire District Station No. 55 CUP

CAUTION: This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **April 16, 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Mary & Joseph Watson

Files # AZ-24-03

DA-24-03 Development Agreement

Applicant/Representative: Mary & Joseph Watson

Owner: Mary & Joseph Watson

Action: The Applicant is requesting approval of an Annexation & Rezone (AZ-24-03) and Development Agreement (DA-24-03) for 7.17 acres. The property is located on the North/South section of Stump Lane. Star, Canyon County, Idaho.

Property Location: The subject property is generally located on the North/South section of Stump Lane. Canyon County Parcel No. R3400101000.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR
LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star – Planning & Zoning Department *Shen F. Nish*

MEETING DATE: April 16, 2024 – PUBLIC HEARING
FILE(S) #: AZ-24-03 Annexation and Zoning
DA-24-03 Development Agreement

OWNER/APPLICANT/REPRESENTATIVE

Applicant/Property Owner:
Mary & Joseph Watson
9497 W. Clancy Street
Star, Idaho 83669

REQUEST

Request: The Applicant is requesting approval of an Annexation & Zoning (AZ-24-03) and Development Agreement (DA-24-03) for 7.17 acres.

PROPERTY INFORMATION

Property Location: The subject property is generally located on the west side of N. Can Ada Road, south of W. New Hope Road. Canyon County Parcel No. R3400101000.

Surrounding Land Use/Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	RUT (County)	Estate Rural Residential	Agricultural/Single Family Residential
Proposed	Residential (R-1-DA)	Estate Rural Residential	Agricultural/Single Family Residential
North of site	RUT (County)	Estate Rural Residential	Agricultural/Single Family Residential
South of site	RUT (County)	Estate Rural Residential	Agricultural/Single Family Residential
East of site	Residential (R-3-PUD-DA)	Estate Rural Residential	Oliver Estates Subdivision
West of site	AG (County)	Estate Rural Residential	Vacant Ag Land

Existing Site Characteristics: The property is currently vacant.

Irrigation/Drainage District(s): Middleton Irrigation Assn Inc.
 Middleton Mill Ditch Company
 P.O. Box 848
 Middleton, Idaho 83644

Flood Zone: This property is not located in a Special Flood Hazzard Area.
 Flood Zone: Zone X
 FEMA FIRM Panel Number: 16027C0259G
 Effective Date: 6/7/2019

Special On-Site Features:

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No evidence.
- ✪ Fish Habitat – No.
- ✪ Floodplain – No.
- ✪ Mature Trees – No.
- ✪ Riparian Vegetation – No.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – Seasonal Irrigation.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- ✪ Wildlife Habitat – No known sensitive wildlife habitat observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	February 8, 2024
Neighborhood Meeting Held	February 21, 2024
Application Submitted & Fees Paid	February 26, 2024
Application Accepted	March 14, 2024
Residents within 300' Notified	March 14, 2024
Agencies Notified	March 7, 2024
Legal Notice Published	March 19, 2024
Property Posted	April 1, 2024

HISTORY

This property does not have any history of land use applications within the City of Star.

CODE DEFINITIONS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-1B-1: ANNEXATION AND ZONING; REZONE:

B. Standards:

1. The subject property shall meet the minimum dimensional standards of the proper district.
2. The city may require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement and concept plan shall be required for any rezone to a mixed-use zone, high density zone or land which includes steep slope (land over 25%) or floodway.
3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.
4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

1. The map amendment complies with the applicable provisions of the comprehensive plan;
2. The map amendment complies with the regulations outlined for the proposed district;
3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
5. The annexation (as applicable) is in the best interest of city.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

(RR) RURAL-RESIDENTIAL DISTRICT: To provide for rural single-family residential use adjacent to agricultural uses, adjacent to other Rural Residential type uses, and adjacent to BLM land areas. Parcels are to be two acres minimum. It is the intent of this land use designation to help to preserve Star's rural feel. Huge manicured "Rural Residential" lots are discouraged and therefore manicured home site areas on these properties should not exceed 1/2 acre. Uses may include active agriculture, viticulture, equestrian, and residential. Uses include native open space and small-scale active farmland. The Rural Residential land use is not amenity based (sewer,

water, schools) and will usually be located away from goods and services. These areas encourage the keeping and raising of small-scale crops and/or animals and do not necessarily include manicured yards, sidewalks, bike paths, streetlights or planned park and recreation facilities. Density may be further limited due to the limited availability of infrastructure. Modified street sections and a reduction in light pollution (by reducing or eliminating lighting standards) may be offered for a more rural feel. Private streets may be permitted in this district for access to newly subdivided or split property. This land use designation is to be located such that it does not block extension of urban services at reasonable costs. Wells and septic systems should be permitted for lots in this land use designation if approved by the applicable Health Department. Easements of at least 20-feet in width shall be provided where determined necessary for the future extension of water and sewer mains. This district does allow for some commercial uses as specified in 8-3A-3.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the

ZONING DISTRICT USES	A	R-R	R
Accessory structure	A	A	A
Dwelling:			
Multi-family 1	N	N	C
Secondary 1	A	A	A
Single-family attached	N	N	C
Single-family detached	P	P	P
Two-family duplex	N	N	P

city with a development agreement, with specific conditions of zoning.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front ⁽¹⁾	Rear	Interior Side	Street Side
R-R	35'	30'	30'	20'	20'
R-1	35'	30'	30'	10'	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Estate Rural Residential:

Suitable primarily for single family residential use. Densities in this land use area are a maximum of 2 dwelling units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed immediately adjacent to existing residential lots of greater than one acre where those existing larger lots are not likely to be subdivided in the future. Clustering is allowed to preserve open space.

Rural Residential:

Suitable primarily for rural single-family residential use adjacent to agricultural uses, adjacent to other Rural Residential type uses, and adjacent to BLM land areas. Densities typically range from 1 unit per 2 acres to 1 dwelling units per 5 acres.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

- A. The Estate and Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.
- B. Low densities within the Estate and Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivide in the future.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

18.4 Implementation Policies:

- F. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon

rezoning.

PROJECT OVERVIEW

ANNEXATION & REZONE:

The applicant is requesting approval of an annexation and zoning application with a zoning designation of Residential (R-1-DA) on 7.71 acres. This zoning district would allow for a maximum residential density of 1 dwelling unit per acre. **Staff is recommending that the Council approve a zoning designation of Rural Residential (RR).** The property is located in an area that is not currently serviceable with central sewer and water provided by Star Sewer and Water District. The Applicant will be on a personal well and septic system which will require the necessary approvals. The property will be accessed from Stump Lane off of N. Can Ada Road, as it is today. The Applicant may need approval from the HOA to access the private road and may need to be deeded into the maintenance agreement and access for the road. The rezone request includes a development agreement.

DEVELOPMENT AGREEMENT

Through the Development Agreement process, the applicant is proposing to work with the City to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- Zoning District of Rural Residential (RR) vs. Estate Urban Residential (R-1)
- Future Development
- ITD Proportionate Share Fees for all future residences.
- Fire District Requirement for Private Road improvements

AGENCY RESPONSES

City Engineer	March 7, 2024
HD4	March 7, 2024
ITD	March 19, 2024
SWDH	March 12, 2024

PUBLIC RESPONSES

No public comments have been received.

STAFF ANALYSIS AND RECOMMENDATION

Based upon the information provided to staff in the applications and agency comments received to date, the proposed annexation and zoning request meets the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code. The recommended zoning designation of Rural Residential with a future density of 1.0 dwelling unit per 5-acres is within the allowable density per acre in the Rural Residential Comprehensive Plan Future Land Use Map.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the application, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

ANNEXATION/REZONE FINDINGS:

- 1. The map amendment complies with the applicable provisions of the Comprehensive Plan.
 - The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:*
 - ✓ *Protection of property rights.*
 - ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
 - ✓ *Ensure the local economy is protected.*
 - ✓ *Encourage urban and urban-type development and overcrowding of land.*
 - ✓ *Ensure development is commensurate with the physical characteristics of the land.*
 - The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides an assortment of amenities within walking distance of a residential development. The Council must find compliance with the Comprehensive Plan.*

- 2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

The Council must find that the proposal complies with the proposed district and purpose statement. The purpose of the residential districts is to provide regulations and districts for various residential neighborhoods with gross densities in compliance with the intent of the Comprehensive Plan designation. Housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications in all districts exceeding one dwelling unit per acre. Private streets may be approved in this district for access to newly subdivided or split property.

- 3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

The Council must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.

- 4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

The Council must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.

- 5. The annexation is in the best interest of the city.

The Council must find that this annexation is reasonably necessary for the orderly development of the City.

COUNCIL DECISION

The Star City Council _____ File Number AZ-24-03 and DA-24-03 for the Mary and Josph Watson property on _____, 2024.

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **April 16, 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Milled Olive Conditional Use Permit Request for Reconsideration

Applicant/Owner: Dan & Angie McGetrick

Action: The Applicant is requesting a reconsideration of the Star City Council's December 5, 2023 decision approving the conditional use permit for the Milled Olive. Specifically, the applicant requests Council modify the approved conditions of approval as follows:

- A.** Hours of operation revised to the following: The Milled Olive Retail hours Monday – Sunday 8am – 10pm for the purpose of hosting after hour cooking classes and event center uses. The farmers Market/Food Truck days and hours to be Monday – Sunday 9am – 11pm. To accommodate food trucks that may want to have a permanent location to operate their business.
- B.** Requesting the removal of no music allowed outside the buildings until immediate neighboring properties are developed into commercial. This restriction unfairly limits the property to compete with other business in the city that are allowed outside music that have similar residential neighboring properties. The intention would be to adhere to the current zoning and city laws covering noise ordinances

Property Location: The property is located at 1133 S. Main Street in Star, Ada County, Idaho, generally located at the northeast corner of S. Star Road and S. Main Street. Ada County Parcel No. R1842701420.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR
LAND USE STAFF MEMO

TO: Mayor & Council

FROM: City of Star Planning Department *Shen T. Smith*

MEETING DATE: **April 16, 2024 COUNCIL AGENDA – RECONSIDERATION**

FILE(S) #: CU-23-06 – Conditional Use Permit for Milled Olive

OWNER/APPLICANT/REPRESENTATIVE

Applicant/Owner

Milled Olive Oil & Vinegar Co Inc.
12247 W. Pavo Street
Star, Idaho

REQUESTED RECONSIDERATION

Staff received a request by the applicant for Reconsideration of the Council decision on December 5, 2023 approving the application for Conditional Use Permit for Milled Olive. A copy of the request was provided to Council as an attachment to the memo. Included in the request by the applicant was reconsideration of two conditions of approval in the approved Findings of Fact. The conditions include:

- A. Hours of operation shall be as follows:**
 - a. Monday – Saturday 10am-6pm for Milled Olive Retail**
 - b. Monday – Saturday 10am-11pm for Wine Bar**
 - c. Friday, Saturday & Sunday 9am to 6pm for Farmers Market/Food Trucks**
 - d. Seasonal Concessions 7-days a week until 11pm**

- B. There shall be no music allowed outside of the buildings until immediate neighboring properties are developed into commercial.**

The applicant hereby requests the following revisions to the conditions of approval:

Hours of operation revised to the following: The Milled Olive Retail hours Monday – Sunday 8am – 10pm for the purpose of hosting after hour cooking classes and event center uses. The farmers

Market/Food Truck days and hours to be Monday – Sunday 9am – 11pm. To accommodate food trucks that may want to have a permanent location to operate their business.

The applicant has indicated that items A & B above were conditions that were brought up during the public hearing, but concerns over how these conditions will affect the applicants business plans need to be relayed to Council so that revised conditions could be made.

The requesting party provided the following information to Staff as part of their Request for Reconsideration, as per Section 8-1A-9 of Code:

- The request was presented in writing to the Planning Department within 14 calendar days after the Council action and final decision was rendered;
- The request stated the basis for the reconsideration request with a brief statement of issues and decision that the requesting party is asking to be reconsidered;
- The requesting party provided relevant information that they believe was not previously presented and is in response to something brought up at the previous hearing, and the information was not previously available.

The Council approved the request for reconsideration on February 20, 2024.

The Council followed the procedures below when they considered the request for reconsideration:

Section 8-A-9A. Unified Development Code: Any applicant or affected person seeking judicial review of compliance with the provisions of this section must first seek reconsideration of the final decision within fourteen (14) days, as required by Idaho Code 67-6535.

To request reconsideration, an applicant or affected person must meet the following criteria:

- 1. The requesting party must have been a party in the underlying action in one of the following: the city; the property owner of the subject property; the applicant for the project; or other affected party; and*
- 2. The request must be in writing, accompanied by the appropriate fee, and presented to the City no more than fourteen (14) calendar days after the council action and final decision have been rendered; and*
- 3. The request must state a basis for the request and a brief statement of issues and decision that the requesting party is asking to be reconsidered; and*
- 4. The request must include but is not limited to: the party requesting reconsideration has relevant information; and the relevant information was not previously presented and is in response to something brought up at the previous hearing; and the information was not previously available.*

*Section 8-A-9B. **Consideration:** The council will consider the request and provide a written decision to the requesting party within sixty (60) days of receipt of the request for reconsideration.*

*Section 8-A-9BD. **If The City Council Approves The Request:** The requesting party must pay the fee for a new public hearing within ten (10) calendar days of council's reconsideration. If the payment is not made to the city clerk within the specified time frame, the city council shall be notified at their next regularly scheduled meeting and the request for reconsideration shall be rescinded. – **The applicant has paid for the re-noticing of the public hearing within the timeframe required and Staff scheduled the new hearing for April 16, 2024.***

Attachments:

1. Applicant's Letter
2. Approved Site Plan from December 5, 2023
3. Approved Findings of Fact, Conclusions of Law

ATTACHMENT 1

Section 7, Item C.

Angela McGetrick
The Milled Olive & Vinegar Co. Inc.
9776 W. State St
Star, ID 83669
02/06/2024

Shawn Nickel
Planning Director And Zoning Administrator
Company Name
10769 W State St.
Star, ID 83669

Dear Shawn,

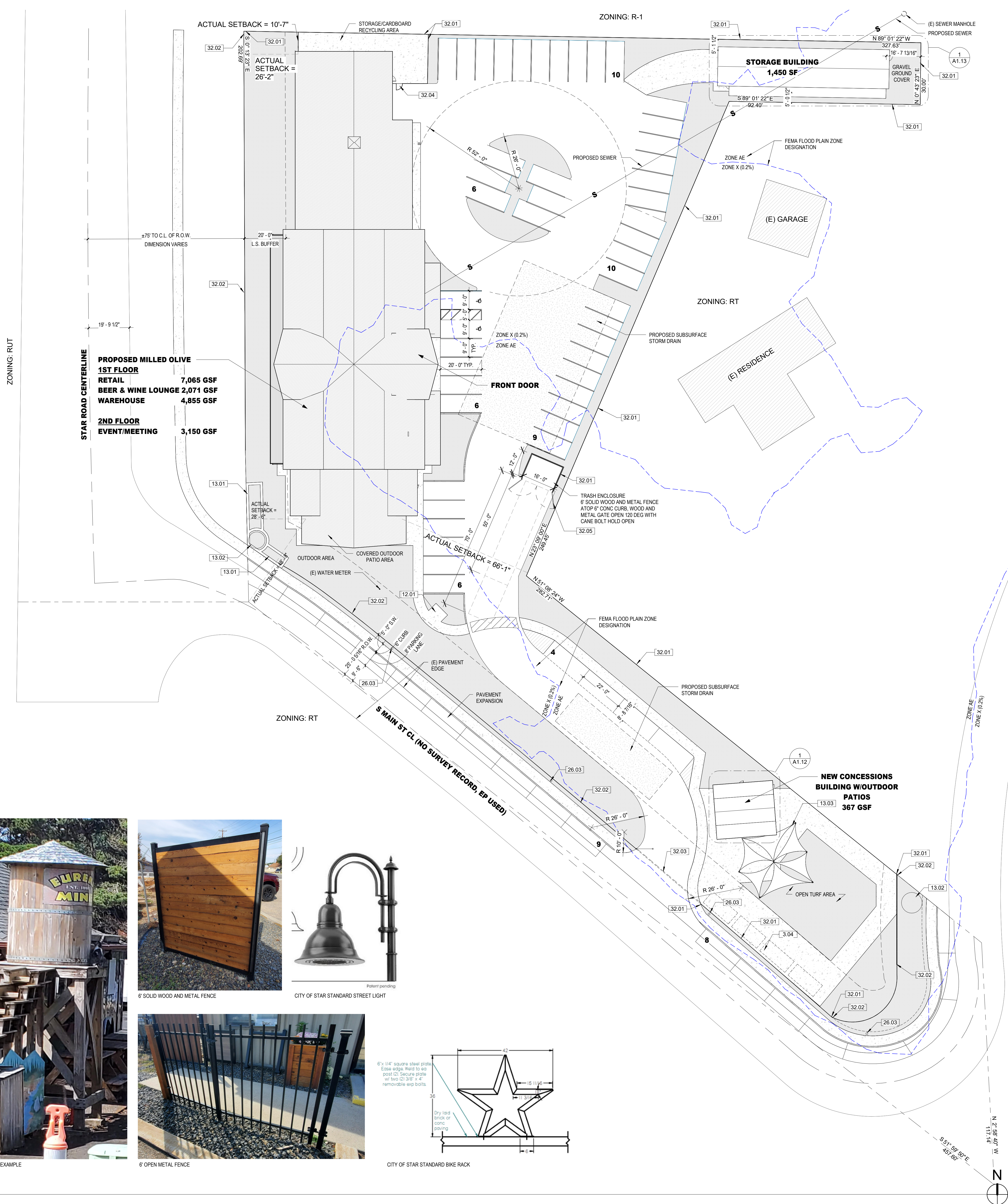
The Milled Olive is requesting reconsideration of the City Councils restrictions on our property at 1133 S. Main St, Star, ID 84669.

1. Hours of operation revised to the following: The Milled Olive Retail hours Monday – Sunday 8am – 10pm for the purpose of hosting after hour cooking classes and event center uses. The farmers Market/Food Truck days and hours to be Monday – Sunday 9am – 11pm. To accommodate food trucks that may want to have a permanent location to operate their business.
2. Requesting the removal of no music allowed outside the buildings until immediate neighboring properties are developed into commercial. This restriction unfairly limits the property to compete with other business in the city that are allowed outside music that have similar residential neighboring properties. The intention would be to adhere to the current zoning and city laws covering noise ordinances.

Sincerely,

Angela McGetrick
President
The Milled Olive Oil & Vinegar Co. Inc.

ATTACHMENT 2



PROPOSED MILLED OLIVE
1ST FLOOR
 RETAIL 7,065 GSF
 BEER & WINE LOUNGE 2,071 GSF
 WAREHOUSE 4,855 GSF
2ND FLOOR
 EVENT/MEETING 3,150 GSF

ZONING INFORMATION	
SITE: 2.00 ACRES	
PARCEL #: R1842701420	
ZONING: CBD-04	
MAX. HEIGHT: 35'-0"	
SETBACKS: 0' ON ALL SIDES	
PARKING: 9x20' STALLS: 26' DRIVE AISLE AT BLDG.	
24' ELSEWHERE:	
RETAIL	1:250 GSF
WINE TASTING	1:150 GSF
EVENT CENTER (PER CUP)	1:150 GSF
CONCESSIONS	1:150 GSF
BICYCLE	1:25 SPACES
*PARKING IN CBD MAY BE REDUCED BY COUNCIL. IN ADDITION ON-STREET PARKING MAY BE COUNTED	
PROPOSED USES:	
RETAIL STORE	
WINE/BEER TASTING	
STORAGE	
CONCESSIONS STAND	
EVENT SPACE (ACCESSORY USE)	

PARKING CALCULATIONS	
RETAIL/OFFICE	1:250 GSF
7,065 / 250 = 28.3 SPACES REQ'D	
WINE/BEER TASTING	1:150 GSF
2,071 / 150 = 13.8 SPACES REQ'D	
STORAGE	4,855 / 1000 = 4.9 SPACES REQ'D
CONCESSIONS	2,071 / 150 = 13.8 SPACES REQ'D
EVENT SPACE (PER CUP)	367 / 150 = 2.4 SPACES REQ'D
*SPACE TO BE USED DURING RETAIL OFF HOURS	
BICYCLE	1:25 SPACES
50 TOTAL SPACES REQ'D =	
2 BICYCLE SPACES	
51 ON-SITE VEHICULAR SPACES PROVIDED	
17 OFF-SITE VEHICULAR SPACES PROVIDED	

- SHEET NOTES - SITE PLAN**
- SLOPE AWAY FROM DWELLING MIN. 5% FOR 10'-0" AND 2% THEREAFTER
 - CONTRACTOR TO VERIFY ALL SETBACKS AND EASEMENTS.

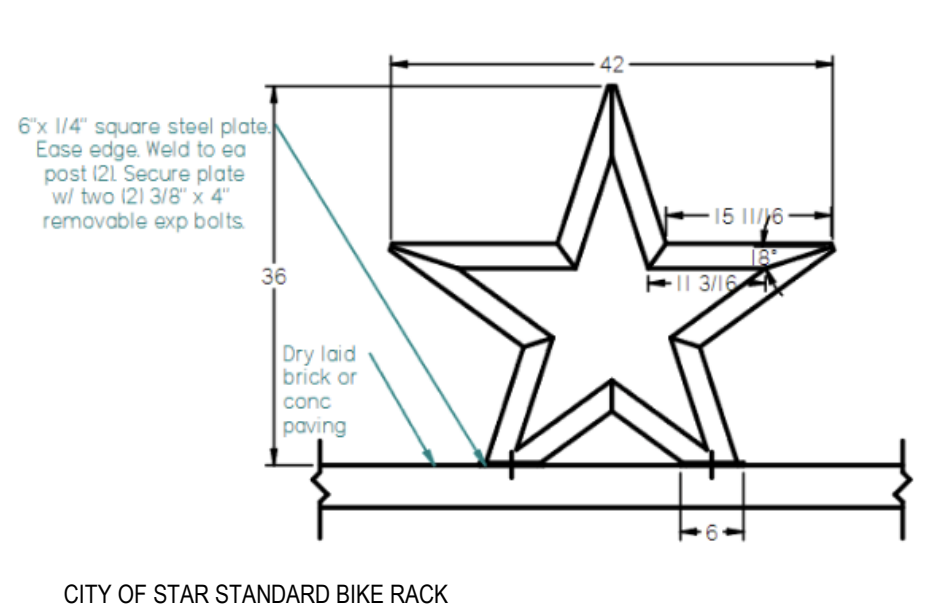
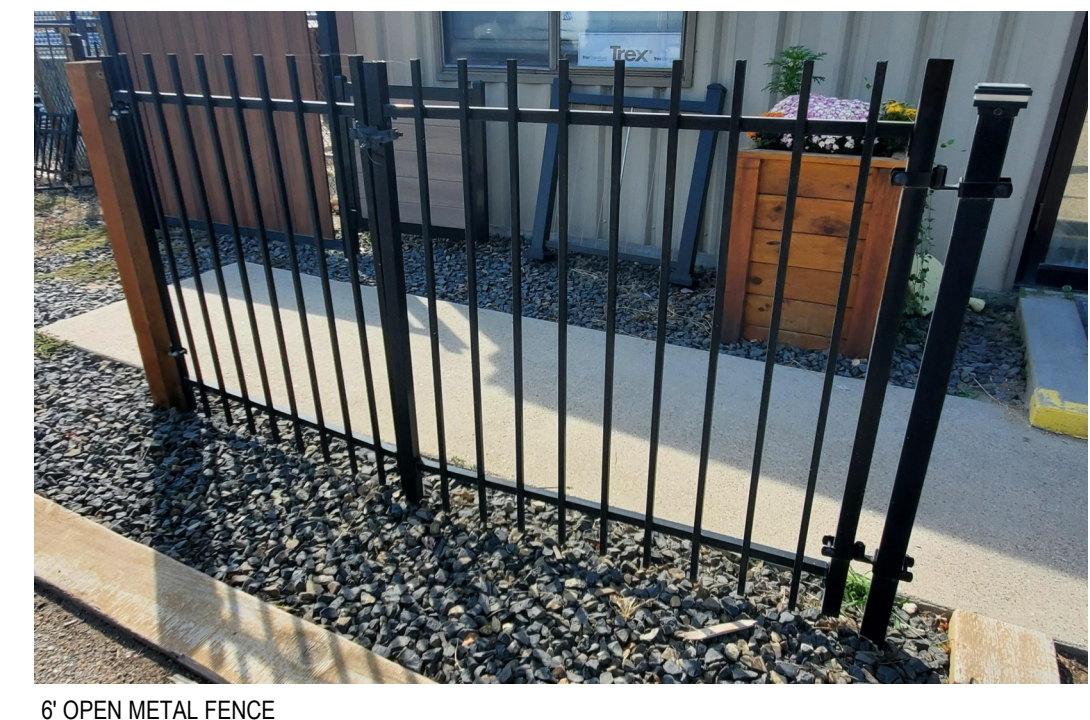
SHEET KEYNOTE LEGEND	
NO.	KEYNOTE / REFERENCE NOTE
3.04	FOOD TRUCK AND FARMERS MARKET BOOTH AREA
12.01	CITY OF STAR STANDARD BIKE RACK
13.01	STONE PILLAR WATER FEATURE
13.02	WATERTOWER MONUMENT SIGN
13.03	SHADE SAILS
26.03	CITY OF STAR STANDARD STREET LIGHTS
32.01	6H SOLID WOOD AND METAL FENCE
32.02	6H OPEN METAL FENCE
32.03	METAL AND WOOD AUTOMATIC ROLLING VEHICULAR GATE WITH MILLED OLIVE LOGO. GATE TO BE CLOSED DURING OFF HOURS
32.04	METAL AND WOOD LOCKING SWING GATE
32.05	METAL AND WOOD SWING GATE TO OPEN 120 DEG WITH CANE BOLT HOLD OPEN



STAMP:

CONSULTANT:

REVISIONS		
No.	Description	Date



OWNER: DAN AND ANGIE MCGETTRICK
 PROJECT: THE MILLED OLIVE
 PROJECT ADDRESS: 1133 S MAIN ST, STAR, ID 83669
 SHEET NAME: SITE PLAN

PROJECT NUMBER	23-050
SHEET ISSUE DATE	10/06/23
SUBMITTAL	CIP SUBMITTAL

**PROPOSED MILLED
OLIVE DEVELOPMENT
1133 S. MAIN ST.
STAR, ID 83669
PARCEL R1842701420**



DAN AND ANGIE MCGETRICK

THE MILLED OLIVE

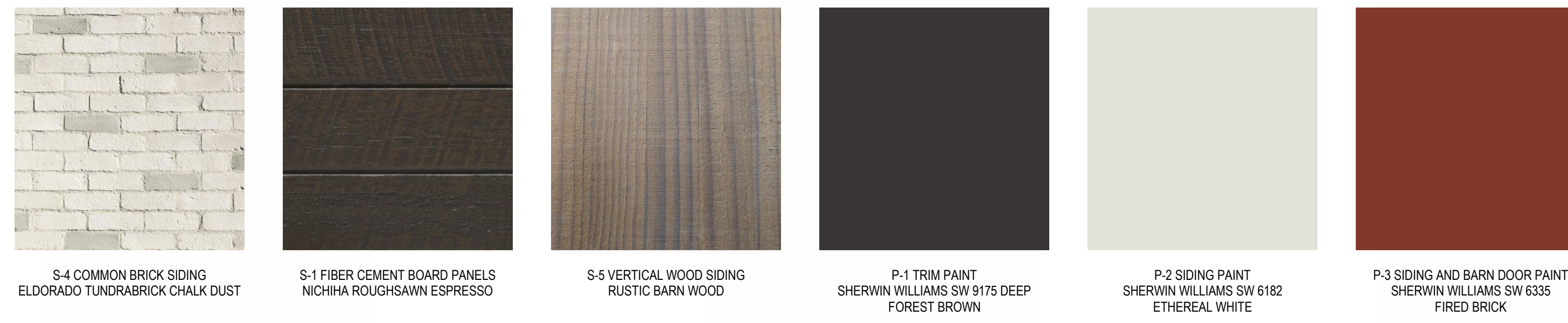
09/18/2023

VICINITY MAP

by: Studio H Architects



EXTERIOR MATERIALS



MATERIAL SCHEDULE				
MARK	DESCRIPTION	MANUFACTURER	COLOR	COMMENTS
P-1	PAINT	SHERWIN WILLIAMS	SW 9175 DEEP FOREST BROWN	
P-2	PAINT	SHERWIN WILLIAMS	SW 6182 ETHEREAL WHITE	
R-1	30 YEAR ASPHALT SHINGLES	TBD	BLACK	
S-1	FIBER CEMENT BOARD PANELS	NICHIIA OR EQUAL	ROUGHSAWN ESPRESSO	
S-2	BOARD AND BATTEN FIBER CEMENT PANELS	JAMES HARDIE OR EQUAL	FACTORY PRIMED FINISH	PAINT P-2
S-3	BOARD AND BATTEN FIBER CEMENT PANELS	JAMES HARDIE OR EQUAL	FACTORY PRIMED FINISH	PAINT P-3
S-4	COMMON BRICK SIDING	EL DORADO OR EQUAL	TUNDRABRICK CHALK DUST	
S-5	VERTICAL WOOD SIDING	TBD	RUSTIC BARN WOOD	PROVIDE SAMPLE FOR APPROVAL

SHEET KEYNOTE LEGEND	
NO.	KEYNOTE / REFERENCE NOTE
3.05	PRECAST CONCRETE BOLLARDS
5.01	EXTERIOR BALCONY WITH METAL RAILINGS
6.01	EXTERIOR FIXED WOOD SHUTTERS TO MATCH S-5 WITH METAL BANDS PAINTED P-1
6.02	EXTERIOR FIXED BARN DOORS PAINTED P-3
6.03	1x4 WOOD TRIM PAINTED P-1
6.04	DECORATIVE WOOD TRUSS AND POSTS
8.04	OVERHEAD GARAGE DOOR WITH FULL VISION SECTION
8.06	GLASS ROLLING COUNTER DOOR
10.1	WALL MOUNTED SIGNAGE UNDER SEPARATE PERMIT
13.01	STONE PILLAR WATER FEATURE
13.02	WATERTOWER MONUMENT SIGN
32.01	6H SOLID WOOD AND METAL FENCE
32.02	6H OPEN METAL FENCE



4 MAIN ELEV B
1/8" = 1'-0"



3 S ELEV B
1/8" = 1'-0"



2 N ELEV B
1/8" = 1'-0"



1 STAR RD ELEV B
1/8" = 1'-0"

STAMP:

CONSULTANT:

REVISIONS

No.	Description	Date

OWNER
DAN AND ANGIE MCGETTRICK

PROJECT
THE MILLED OLIVE

PROJECT ADDRESS
1133 S MAIN ST
STAR, ID 83669

SHEET NAME
EXTERIOR ELEVATIONS

PROJECT NUMBER	23-050
SHEET ISSUE DATE	10/06/23
SUBMITTAL	CIP SUBMITTAL

ATTACHMENT 3

FINDINGS OF FACT AND CONCLUSIONS OF LAW MILLED OLIVE CONDITIONAL USE PERMIT FILE NO. CU-23-06

The above-entitled Conditional Use Permit land use applications came before the Star City Council for their action on December 5, 2023, at which time public testimony was taken and the public hearing was closed. The Star City Council, having requested and taken oral and written testimony, and having duly considered the matter, does hereby make the following Findings of Fact and Conclusions of Law.

Procedural History:

A. Project Summary:

The Applicant is requesting approval of a Conditional Use Permit for a mixed-commercial use to include a retail store, wine & beer lounge, retail storage area, outdoor concessions and an event space. The property is located at 1133 S. Main Street in Star, Ada County, Idaho, and consists of 2.0 acres in a central business district (CBD) zoning designation. The subject property is generally located at the northeast corner of S. Star Road and S. Main Street. Ada County Parcel No. R1842701420.

B. Application Submittal:

A neighborhood meeting was held on September 14, 2023, in compliance with the application submittal requirement of the Star Unified Development Code (Section 8-1 A-6 C). The Land Use application was deemed complete on October 20, 2023.

C. Notice of Public Hearing:

Notice of Public Hearing on the application for the City of Star Council was published in accordance with the requirements of Title 67, Chapter 65, Idaho Code and the Star Unified Development Code on November 19, 2023. Notice of this public hearing was mailed to property owners within three-hundred feet (300') of the subject property in accordance with the requirements of Title 67, Chapter 65, Idaho Code and Star Unified Development Code on November 20, 2023. Notice was sent to agencies having jurisdiction in the City of Star on October 24, 2023. The property was posted in accordance with the Star Unified Development Code on November 20, 2023.

D. History of Previous Actions:

Council approved an application for Rezone and Development Agreement (RZ-20-10/DA-20-21) for the property to be rezoned Central Business District (CBD).

E. *Comprehensive Plan Land Use Map and Zoning Map Designations:*

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Central Business District (CBD)	Central Business District	Vacant – Pasture
Proposed	Central Business District (CBD)	Central Business District	Commercial, Retail
North of site	Residential (R-1)	Central Business District	Single Family Residential
South of site	Rural Transitional (RT)	Central Business District	Vacant
East of site	Rural Transitional (RT)	Central Business District	Single Family Residential
West of site	Rural Urban Transition (RUT)	Central Business District	Single Family Residential/Agricultural

F. *Development Features.*

CONDITIONAL USE PERMIT:

The Applicant is requesting approval of a Conditional Use Permit for a mixed-commercial use to include a retail store, wine & beer lounge, retail storage area, outdoor concessions and an event space. The property contains approximately 2-acres. The proposed main structure that includes the retail sales, beer and wine lounge, warehouse and 2nd Floor event/meeting room is approximately 17,141 total square feet in size. The proposed accessory storage building is 1,450 square feet in size, and the proposed concessions building is 367 square feet in size. The proposed food truck and farmers market booth area, located in the southeast corner of project, will include temporary spaces for food trucks and retail booths to be used throughout the year and during community events.

The site will be improved with paved driving aisles and parking spaces, perimeter landscaping and fencing. Main site access will be on S. Main Street.

The Unified Development Code Section 8-4B-2 states that all drive aisles adjacent to a building shall be a minimum of 25’0” or as required by the fire code, unless the building is 30 feet in height or greater, at which point the drive aisle shall be 26’0” or as otherwise approved by the Fire District. **It appears that all proposed drive aisles will be able to meet the 25’ and 26’ widths throughout the project, as required.**

Section 8-4B-2 also states that parking stalls shall be 9’ wide and 20’ deep. The materials submitted with the application indicate compliance with the parking standards. The applicant is providing 2 ADA parking spaces in front of the main building. The site plan indicates a total of 51 on-site parking spaces, with an additional 17 on-street parking spaces along S. Main Street. ACHD will need to approve the allowance for parking in the public right of way. The parking calculations provided by the applicant appear to meet the

required parking requirements within the CBD zone. The addition of approved on-street parking of 17 additional spaces will benefit the uses proposed.

The Applicant is proposing fencing along all boundaries of the property, including open, metal fencing along the Star Road and S. Main Street frontages, with a security gate along the entrance drive. A 6’ solid wood and metal fence is proposed adjacent to the existing residential uses to the north and east of the proposed development.

The Applicant has not indicated the hours of operation for the project. Council may want to consider hours of operation for the food trucks and farmers market uses of the project.

The applicant has provided exterior elevations and color renderings of all of the structures within the development. The buildings appear to meet the intent of the architectural overlay, however, the site plan and elevations will need additional approval from the design review committee as part of the Certificate of Zoning Compliance process.

The applicant has requested a 10’ northern building setback for the main building and 5’ northern and southern setback for the storage building located in the northeast corner of the property. In addition, the concessions building has indicated a 5’ northern setback. Council should consider future CBD uses adjacent to this property. Staff believes the proposed setbacks are appropriate for the future build-out of the Central Business District.

Cross access to adjacent properties is critical for maintaining circulation between commercial uses, especially along Star Road, where access points are intended to be eliminated and combined where necessary as properties redevelop. Staff supports a requirement for a cross access easement to the north of the property in the event that the northern property were to redevelop. The easement would be located where the applicant is showing 3 parking spaces in the northeast corner of the project. Until a need for access is warranted, the applicant shall maintain the 3 parking spaces as shown.

The applicant has not indicated a location for restroom facilities near the concession building and food truck and farmers market area of the development. Facilities located in the main building may provide this service when open, however, bathroom facilities should be discussed by Council and the applicant.

A landscaping plan has been submitted with the application. Staff would like to see an additional landscaping buffer on the northern boundary of the development adjacent to the proposed parking lot and main building.

H. *On-Site Features:*

- ☉ Areas of Critical Environmental Concern – No known areas.

- ✪ Evidence of Erosion – No known areas.
- ✪ Fish Habitat – No known areas.
- ✪ Mature Trees – Yes. Mature Trees
- ✪ Riparian Vegetation – None.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – None.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Wildlife Habitat – No wildlife habitat has been developed or will be destroyed.
- ✪ Historical Assets – No historical assets have been observed.

I. *Agencies Responding:*

The following agencies responded, and correspondence was attached to the staff report.

ACHD
ITD

December 5, 2023
October 25, 2023

J. Staff received the following letters & emails for the development:

None

K. *Comprehensive Plan and Unified Development Code Provisions:*

Comprehensive Plan:

8.2.3 Land Use Map Designations:

Central Business District

The Central Business District is planned to be a vibrant downtown center for the community. Uses encouraged are commercial, retail, civic, private offices, and entertainment. High density housing is encouraged on the upper floors of mixed-use buildings and at the fringes of the land use designation. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Work to create a vibrant Central Business District.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

8.5.5 Policies Related Mostly to the Central Business District Planning Areas:

A. The CBD zoning district should allow for a mix of commercial, office, institutional, and civic type uses with specific provisions for residential use in appropriate locations with compatible densities.

B. High density residential is suitable within the CBD in mixed use buildings with commercial or office type uses on the first floor and high density residential on upper floors.

C. Main Street, generally south of Tempe Lane extended, consists of several lots which are about one acre in size created by "Dixon Subdivision" almost a century ago. Many of the existing home sites on these lots are rural in nature, including farm animals. As redevelopment of this area occurs, a transition consisting of a compatible mix of lower intensity commercial and office type uses mixed with residential should be encouraged. This Main Street area needs to be studied to provide for special care guiding future development understanding that the rights consisting of the existing rural use of residential lots are not to be infringed. Furthermore, Main Street is to be studied for the provision of traffic calming measures and to provide for a connection for horseback riders to access an equestrian trail which should be planned along the Boise River.

D. The city should develop a street improvement plan for the CBD identifying drainage and street improvements with a functional grid system and use public private partnerships to assure the system is built and that "ad hoc" development of parcels within the CBD do not block good planning.

E. The city should develop a downtown grid system, in part, planning for the easterly extension of Tempe Lane and easterly extension of West First Street to help provide better downtown access and parking facilities.

F. The east west public road from the Heron River Development, south of the LDS Church on Main Street, should be extended to Star Road.

G. Implement, review, and update the 2011 Star Downtown Revitalization Plan for development strategies within the plan intended to stimulate development within the CBD.

H. As recommended in the 2011 Star Downtown Revitalization Plan, the city should create an Urban Renewal District to stimulate development within the CBD.

I. The city should encourage assemblage of the smaller properties where appropriate.

J. The "floodway" lands abutting the CBD land use designation, all as shown in the Comprehensive Plan Land Use Map, should continue to be developed as park space supporting activities integral to the economic and "Live, Work, Play" ambiance planned for the CBD.

K. Main city service facilities should be located in the CBD and should all be south of State Highway 44 clustered into a "City Services Campus". That includes the City Hall, Library, Post Office, Emergency Services, Department of Motor Vehicles, and other related facilities.

L. Big Box commercial, generally a single-story single use building over 50,000 square feet, should not be permitted within the CBD and any single-story single use building which is large in scale, such as approaching the 50,000 square foot size, should be located to front on Highway 44 or Star Road.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

Unified Development Code:

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

(CBD) CENTRAL BUSINESS DISTRICT: To provide for commercial, retail, civic, office, and entertainment uses. High density housing is encouraged on the upper floors of mixed-use buildings and may also be allowed at the fringes of the land use designation shown on the comprehensive plan. Live/work designed development is also encouraged in this district. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility. Special emphasis shall be placed on development in the central downtown area to encourage and create a vibrant, walkable downtown community that incorporates the Boise River as an active amenity.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	CBD
Events Center, public or private (indoor/outdoor)	C
Retail store/retail services	P

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front ⁽¹⁾	Rear	Interior Side	Street Side
CBD	35'	0'	0'	0' ⁴	0'
C-2	35'	20'	5'	0' ⁴	20'
MU	35'	For MU and CBD - Unless otherwise approved by the Council as a part of a PUD or development agreement, all residential buildings shall follow the residential setbacks shown in this table based upon the project density and all other buildings shall follow setbacks for the C-2 zone ⁽³⁾ .			

Notes:

2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.

- 3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
- 4. As approved by the Fire District.

8-1B-4: CONDITIONAL USES:

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

- 1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.
- 2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.
- 3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

- 1. Minimize adverse impact of the use on other property.
- 2. Control the sequence and timing of the use.
- 3. Control the duration of the use.
- 4. Assure that the use and the property in which the use is located is maintained properly.
- 5. Designate the exact location and nature of the use and the property development.
- 6. Require the provision for on site or off-site public facilities or services.
- 7. Require more restrictive standards than those generally required in this title.

8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

8-1B-4E. FINDINGS: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.
3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

8-1B-4E CONDITIONAL USE FINDINGS:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
The Council finds nothing in the record indicating that the site of the proposed use would not be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

The Council finds that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development meets the intent or purpose.

- 3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

The Council finds that operation of the proposed use would be compatible with the other uses in the general area.

- 4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

The Council finds that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.

- 5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

The Council finds that the proposed use can be adequately served by essential public facilities and services.

- 6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

The Council finds that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community. The City has not received notice from any agency having jurisdiction stating that this application will create excessive additional costs for the public facilities and services as the development will pay for all changes in services.

- 7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The Council finds that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

- 8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

The Council finds that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.

Public Hearing of the Council:

a. A public hearing on the application was heard by the City Council on December 5, 2023, at which time testimony was heard and the public hearing was closed, and the Council made their decision at that time.

b. Oral testimony regarding the application was presented to the City Council by:

- Shawn L Nickel, City Planning Director gave Staff Presentation
- Jessica Heggie
- Angie McGetrick
- Heidi Prigge
- Susan Avise
- Gary Avise
- Cheryl Cronk
- Victor Islas, Star Fire District
- Aaron Williams, ACHD

c. Written testimony in favor of or opposing the application was presented to the City Council at the hearing by:

None

Deliberations and Conclusions of Law:

The Council reviewed the particular facts and circumstances of this proposed conditional use permit application in accordance with the City of Star Title 8 (Unified Development Code), deliberated on the matter, resulting in review of the record, including the staff report, and discussions on the proposed land use. Review and discussion included site plan/layout, access and circulation, fencing, landscape buffering, cross-access, lighting, hours of operation and parking. The Council included Staff recommended conditions of approval and added additional conditions to address these concerns. Council concluded that the Applicant's request, as conditioned, meets the requirements for conditional use. Council hereby incorporates the staff report dated December 5, 2023 into the official decision as part of these Findings of Fact, Conclusions of Law.

Statement of Compliance:

Council finds the Applicant has met all requirements of the Unified Development Code and the intent and purpose of the Comprehensive Plan and Map requirements.

Council included the following additional conditions of approval as part of the approval of this application request:

- Applicant to add a pedestrian gate to the fencing at the southern curve area on Main Street.
- All lighting on the building and parking areas shall adhere to the Dark Sky requirements of the City.
- Hours of operation shall be as follows:
 - Monday – Saturday 10am-6pm for Milled Olive Retail
 - Monday – Saturday 10am-11pm for Wine Bar
 - Friday, Saturday & Sunday 9am to 6pm for Farmers Market/Food Trucks
 - Seasonal Concessions 7-days a week until 11pm
- Cross-access easements shall be provided to the north and east to provide connection to adjacent uses once properties redevelop. Staff will analyze the need for cross access once uses have been determined to the north and east and evaluate whether the access is warranted. If access is to be provided, any parking that is lost shall not count against the overall parking requirements of this application. Gates for emergency access may be required and will be reviewed by City Staff and the Fire District at that time.
- All drainage requirements of the City Engineer shall be met.
- There shall be no music allowed outside of the buildings until immediate neighboring properties are developed into commercial.
- The site plan, with proposed building square footage, as approved on December 5, 2023 is hereby adopted into this approval and shall not be altered without further approval from the City. If the property is sold and/or uses change, a new Certificate of Zoning Compliance (CZC) shall be required.
- Any lighting on the proposed water tower/sign shall meet the Dark Sky requirements of the City.

Conditions of Approval:

1. **All Council required conditions of approval as listed above.**
2. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
3. Streetlights/Parking Lot lights shall comply with the Star City Code. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a streetlight design that meets city standards prior to Building Permit being issued.**
4. **A Certificate of Zoning Compliance will be required prior to the start of construction. The applicant shall address detailed building finishes, landscape buffering and other site details at that time.**
5. **A revised site plan, showing the correct parking dimensions shall be submitted to and approved by City Staff, prior to issuing the building permit.**
6. **The Applicant shall provide an updated landscape plan showing the correct number of street trees and landscape materials to Staff for approval prior to issuing a building permit.**

7. The property with the approved application shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
8. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
9. A form signed by the Star Sewer & Water District shall be submitted to the City prior to issuance of building permit stating that all conditions of the District have been met, including annexation into the District.
10. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to the start of any construction.**
11. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy of the unit.
12. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
13. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
14. Any additional Condition of Approval as required by Staff and City Council.
15. Any Conditions of Approval as required by Star Fire Protection District.

Council Decision:

The Council voted 3-0 to approve the Conditional Use for Milled Olive on December 5, 2023.

Dated this 7th day of February, 2024.

Star, Idaho

By: _____
Trevor A. Chadwick, Mayor

ATTEST:

Jacob M. Qualls, City Clerk

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **April 16th 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Conditional Use Permit
Files #'s CU-24-01

Representative: Chris Todd-Green Mountain, RP, LLC

Owner: Stonecrest LLC-Dennis Downs

Action: The Applicant is seeking approval of a Conditional Use Permit for a 10 unit live-work condo building. The property is located at 12550 W Goldcrest Rd in Star, Idaho 83669.

Property Location: The subject property is generally located south of Hwy 44 and S. Ripplerock road. Ada County Parcel No's. R8180750930

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department

MEETING DATE: April 16, 2024 – PUBLIC HEARING

FILE(S) #: CU-24-01 – Conditional Use Permit – Stonecrest Live/Work CUP

OWNER/APPLICANT/REPRESENTATIVE

Applicant/Owner:

Dennis Downs
Stonecrest LLC
12457 W. State Street
Star, Idaho 83669

Representative:

Chris Todd
Green Mountain RP, LLC
12561 W. Goldcrest Street
Star, Idaho 83669

REQUEST

Request: The Applicant is requesting approval of a Conditional Use Permit for a 10 unit live-work condominium building consisting of commercial and residential uses.

PROPERTY INFORMATION

Property Location: The subject property is located at 12550 W. Goldcrest Street, generally located on the south side of Hwy 44 between S. Can Ada Road and S. Ripplerock Avenue. Ada County Parcel No. R8180750930.

Existing Site Characteristics: The property is currently a vacant platted commercial lot with utilities installed.

Irrigation/Drainage District(s): - Middleton Irrigation Association Inc
Middleton Mill Ditch Company
P.O. Box 848
Star, Idaho 83669

Flood Zone: This property is **NOT** currently located in a Special Flood Hazard Area.
FEMA FIRM Panel Number: 16001C0125J
Effective Date: 06/19/2020
Flood Zone: X

Special On-Site Features:

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No known areas.
- ✪ Fish Habitat – No known areas.
- ✪ Mature Trees – None.
- ✪ Riparian Vegetation – None.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – No.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Wildlife Habitat – No wildlife habitat has been developed or will be destroyed.
- ✪ Historical Assets – No historical assets have been observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	October 5, 2023
Neighborhood Meeting Held	February 15, 2024
Application Submitted & Fees Paid	February 28, 2024
Application Accepted	March 14, 2024
Residents within 300' Notified	March 14, 2024
Agencies Notified	March 8, 2024
Legal Notice Published	March 17, 2024
Property Posted	April 1, 2024

HISTORY

September 17, 2019 Council approved the Annexation (AZ-19-06), Planned Unit Development (PUD19-01) and Preliminary Plat (PP-19-01) for the Stonecrest

Development to September 17, 2024. The property was zoned from Rural Urban Transition (RUT) to Central Business District (CBD).

SURROUNDING ZONING/COMPREHENSIVE PLAN MAP/LAND USE DESIGNATIONS

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Central Business District (CBD-PUD)	Central Business District (CBD)	Vacant
Proposed	Central Business District (CBD-PUD)	Central Business District (CBD)	Live/Work units
North of site	Central Business District (CBD-DA)	Central Business District (CBD)	Norterra Commercial Development
South of site	Central Business District (CBD-PUD)	Central Business District (CBD)	Stonecrest Residential and Live work
East of site	Central Business District (CBD-PUD)	Central Business District (CBD)	Approved Dutch Brothers Coffee
West of site	Central Business District (CBD-PUD)	Central Business District (CBD)	Vacant

ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

CENTRAL BUSINESS DISTRICT: To provide for commercial, retail, civic, office, and entertainment uses. **High density housing is encouraged on the upper floors of mixed-use buildings and may also be allowed at the fringes of the land use designation shown on the comprehensive plan.** Live/work designed development is also encouraged in this district. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility. Special emphasis shall be placed on development in the central downtown area to encourage and create a vibrant, walkable downtown community that incorporates the Boise River as an active amenity.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	CBD
Live/Work Multi-Use	C

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
CBD	35'	0'	0'	0' ⁴	0'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-1B-4: CONDITIONAL USES:

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.
2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.

3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.
3. Control the duration of the use.
4. Assure that the use and the property in which the use is located is maintained properly.
5. Designate the exact location and nature of the use and the property development.
6. Require the provision for on site or off-site public facilities or services.
7. Require more restrictive standards than those generally required in this title.
8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

8-1B-4E. FINDINGS: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.
3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

- 5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
- 6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
- 7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
- 8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

8-5-17: LIVE/WORK UNIT:

General Standards:

- 1. Live/Work units are allowed in the Mixed Use (MU) and Central Business District (CBD) zoning districts.
- 2. The commercial component of live/work is intended for use by the following occupations: accountants, architects, artists and artisans, attorneys, computer software and multimedia related professions, consultants, engineers, fashion, florist and greens, designers, hair stylists and barbers, insurance, real estate, one-on-one instructors, or similar uses. The Council may authorize other similar uses using reasonable discretion, as long as such other uses are allowed within the base zone and not otherwise precluded by law.
- 3. Live/work units must be attached. Residential areas are permitted above the commercial component, to the side or in the rear of the business component.
- 4. The commercial component shall be primarily operated within the unit, but may be also conducted in the yard, provided it meets all further requirements of this title.
- 5. The external access for the commercial component shall be oriented to the street and should have at least one external entrance/exit separate from the living space. The entrance to the business component shall be located on the ground level. Access to the commercial component of each live/work unit shall be clearly separate from the common walkways or entrances to the other residential units within the development, or other residential units in adjacent developments;
- 6. The commercial use shall not generate external noise, odor, glare, vibration or electrical interference detectable to the normal sensory perception by adjacent neighbors;
- 7. No explosive, toxic, combustible or flammable materials in excess of what would be allowed incidental to normal residential use shall be stored or used on the premises.
- 8. The commercial component as designated on the floor plan approved through the conditional use permit shall remain commercial and cannot be converted to residential use. The

residential component may be converted to a commercial use in the CBD zoning district upon approval of a new application.

8-6A-6: SHORT PLAT PROCESS:

A. Applicability: A subdivision application for a short plat may be processed provided that it meets all of the following conditions:

1. The property is an original lot in a recorded subdivision;
2. The property is not the result of a previous short plat of a lot and/or the property is not the result of an approved parcel division by Ada or Canyon County Development Services;
3. The proposed subdivision does not exceed a total of two (2) lots on a previously platted property or parcel of land;
4. No new public street dedication, or new proposed private street, excluding widening of an existing street, is involved;
5. There are no impacts on the health, safety or general welfare of the city, and the subdivision is in the best interest of the city.

B. Preapplication Conference: The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a combined preliminary and final plat. The purpose of this meeting is to discuss early and informally the purpose and effect of this title and the criteria and standards contained herein.

C. Application Requirements: Applications and fees, in accord with subsection 8-6A-3C, 8-6A-3D and 8-6A-4 of this article shall be submitted.

D. Final Approval Notice: Upon determination by the administrator that the short plat is in conformance with this article, a final approval letter shall be issued.

E. Time Limit and Completion of Tasks: Upon tentative approval of the application by the administrator, subject to any applicable conditions of approval and the regulations of this title, the applicant or owner shall have one year to complete the following tasks:

- a. Cause the property to be surveyed and a record of survey recorded;
- b. Execute and record the necessary deeds to accomplish the property boundary adjustments as approved;

- c. Obtain new tax parcel numbers and street addresses from the county assessor; and
- d. Provide copies of the recorded record of survey, recorded deeds, and the new tax parcel numbers to the administrator.

F. A condominium plat application for any number of lots for property in any district shall be processed as a short plat where all buildings are constructed or have received building permits for construction. A condominium plat amendment for interior alterations or modifications shall be exempt from further review.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Central Business District

The Central Business District is planned to be a vibrant downtown center for the community. Uses encouraged are commercial, retail, civic, private offices, and entertainment. High density housing is encouraged on the upper floors of mixed-use buildings and at the fringes of the land use designation. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Work to create a vibrant Central Business District.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

8.5.5 Policies Related Mostly to the Central Business District Planning Areas:

- A. The CBD zoning district should allow for a mix of commercial, office, institutional, and civic type uses with specific provisions for residential use in appropriate locations with compatible densities.
- B. High density residential is suitable within the CBD in mixed use buildings with commercial or office type uses on the first floor and high density residential on upper floors.
- C. Main Street, generally south of Tempe Lane extended, consists of several lots which are about one acre in size created by "Dixon Subdivision" almost a century ago. Many of the existing home sites on these lots are rural in nature, including farm animals. As redevelopment of this area occurs, a transition consisting of a compatible mix of lower intensity commercial and office type uses mixed with residential should be encouraged. This Main Street area needs to be studied to provide for special care guiding future development understanding that the rights consisting of the existing rural use of residential lots are not to be infringed. Furthermore, Main Street is to be studied for the provision of traffic calming measures and to provide for a connection for horseback riders to access an equestrian trail which should be planned along the Boise River.
- D. The city should develop a street improvement plan for the CBD identifying drainage and street improvements with a functional grid system and use public private partnerships to assure the system is built and that "ad hoc" development of parcels within the CBD do not block good planning.
- E. The city should develop a downtown grid system, in part, planning for the easterly extension of Tempe Lane and easterly extension of West First Street to help provide better downtown access and parking facilities.
- F. The east west public road from the Heron River Development, south of the LDS Church on Main Street, should be extended to Star Road.
- G. Implement, review, and update the 2011 Star Downtown Revitalization Plan for development strategies within the plan intended to stimulate development within the CBD.
- H. As recommended in the 2011 Star Downtown Revitalization Plan, the city should create an Urban Renewal District to stimulate development within the CBD.
- I. The city should encourage assemblage of the smaller properties where appropriate.

J. The “floodway” lands abutting the CBD land use designation, all as shown in the Comprehensive Plan Land Use Map, should continue to be developed as park space supporting activities integral to the economic and “Live, Work, Play” ambiance planned for the CBD.

K. Main city service facilities should be located in the CBD and should all be south of State Highway 44 clustered into a “City Services Campus”. That includes the City Hall, Library, Post Office, Emergency Services, Department of Motor Vehicles, and other related facilities.

L. Big Box commercial, generally a single-story single use building over 50,000 square feet, should not be permitted within the CBD and any single-story single use building which is large in scale, such as approaching the 50,000 square foot size, should be located to front on Highway 44 or Star Road.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Require more open space and trees in subdivisions.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

PROJECT OVERVIEW

CONDITIONAL USE PERMIT:

The applicant is requesting approval of a Conditional Use Permit to construct a 10 unit live/work condominium building located within the Stonecrest Subdivision. Each single live/work building will be individually owned. Each unit will consist of 1,200 square feet of commercial space on the ground floor and 1,200 square feet upstairs that can be used for living area or additional commercial space. The exact buildout will be determined when each unit is sold. The living area will either be 1 bedroom with an office or 2 bedrooms with a master suite, tiled showers, dual vanities, walk in closets, fireplace, and a patio. Each upstairs unit may have access to the

downstairs commercial space, depending on the owner's preference. The main upstairs access will be from a walkway along Goldcrest Street.

Access will be taken from W. Goldcrest Street off S. Ripplerock Avenue. Parking for the project will be to the west and north of the proposed building. Each residential unit will require one covered and one uncovered parking space with two additional spaces for visitor parking. The commercial space parking demands will depend on the end use of the owner. The most common uses that would be in this type of development require one parking space for every 250 square feet of commercial area. The Applicant needs 10 covered parking spaces and is proposing eleven, with five on the east side of the building and six on the west end of the building. The Applicant is proposing 20 parking spaces on the north of the building. The entire parcel is proposed to contain 64 uncovered parking spaces and the UDC requires 48 total spaces. **These spaces will be shared with other commercial uses in the development and will require cross parking agreements, as stated in the original PUD approval.**

Section 8-4B-2 of the UDC requires all parking stalls to be a minimum of nine feet (9') wide and twenty feet (20') deep.

- A. When a vehicle bumper overhangs onto a sidewalk or landscape area, the parking stall dimensions may be reduced two (2) feet in length if two (2) feet is added to the width of the sidewalk or landscaped area, and the additional area is planted in ground cover. In this case, wheel restraints may be removed.

The proposed site plan calls out the appropriate dimensions to satisfy these requirements.

The Unified Development Code, Section 8-4B-2 states that all drive aisles adjacent to a building shall be a minimum of twenty-five wide (25') or as required by the fire code, unless the building is thirty feet (30') in height or greater, at which point the drive aisle shall be twenty-six feet (26') wide or as otherwise approved by the Fire District. The Applicant is proposing a twenty-five foot (25') wide drive aisles which satisfies the requirement for minimum drive aisle width.

The applicant has provided exterior elevations and color renderings that will need to be reviewed by the Design Review Committee, as part of the Certificate of Zoning Compliance process, for approval.

Section 8-3A-4 of the UDC requires "All setbacks in the CBD . . . zone shall maintain a minimum 15' when adjacent to a residential use or zone." The applicant is not requesting any setback waivers.

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street

frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. **The Applicant has provided a landscape plan that appears to meet the code requirements along W. Goldcrest Street for street trees along with the required commercial parking lot requirements.**

The Applicant has provided a parking lot lighting plan for the site. The locations are aligned with code requirements. The lights should match the existing lights currently installed in the development. Building lights shall be reviewed and approved as part of the Design Review/CZC process. All lighting shall be downward facing and Dark Sky like compliant to avoid any fugitive light to the neighboring properties.

AGENCY RESPONSES

ITD	March 19, 2024
ACHD	Pending
Fire District	Pending
DEQ	March 19, 2024
IDWR	March 26, 2024

PUBLIC RESPONSES

No public comments have been received for this application.

STAFF ANALYSIS & RECOMMENDATIONS

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed conditional use permit meets the requirements, standards and intent for development as it relates to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

CONDITIONAL USE PERMIT FINDINGS:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

The Council must find that the site of the proposed use would be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

The Council must find that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development should meet the intent or purpose of the Mixed-Use District.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

The Council must find that the operation of the proposed use would be compatible with the other uses in the general area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

The Council must find that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

The Council must find that the proposed use be adequately served by essential public facilities and services.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

The Council must find that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The Council must find that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

The Council must find that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.

CONDITIONS OF APPROVAL

1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **The applicant agrees to a proportionate share assessment by ITD regarding impacts to the State Highway System. ITD has calculated the fees to be \$10,000.00 (10 residential units only). These fees will be collected by the City of Star, by phase, prior to issuance of the first building permit.**
3. **The applicant shall submit a short plat application for review and approval of the condominium plat.**
4. **The applicant shall provide a recorded shared parking agreement prior to final occupancy of the first unit.**
5. Streetlights/Parking Lot lights shall comply with the Star City Code. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting.
6. **A Certificate of Zoning Compliance will be required prior to issuing a building permit, to include final review and approval of the project by the Design Review Committee.**
7. **The Applicant shall meet all the requirements for the Ada County Highway District (ACHD) prior to certificate of occupancy.**
8. **The Applicant shall provide a letter from the Star Postmaster approving the location of the mailboxes for the new building, prior to issuing certificate of occupancy.**
9. The property shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
10. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
11. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.

- 12. The applicant shall meet all requirements of the Star Sewer and Water District.
- 13. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
- 14. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy of the unit.
- 15. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
- 16. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
- 17. Any additional Condition of Approval as required by Staff and City Council.
- 18. Any Conditions of Approval as required by Star Fire Protection District.

COUNCIL DECISION

The Star City Council _____ File Number CU-24-01, for Stonecrest Live/Work CUP on _____, 2024.

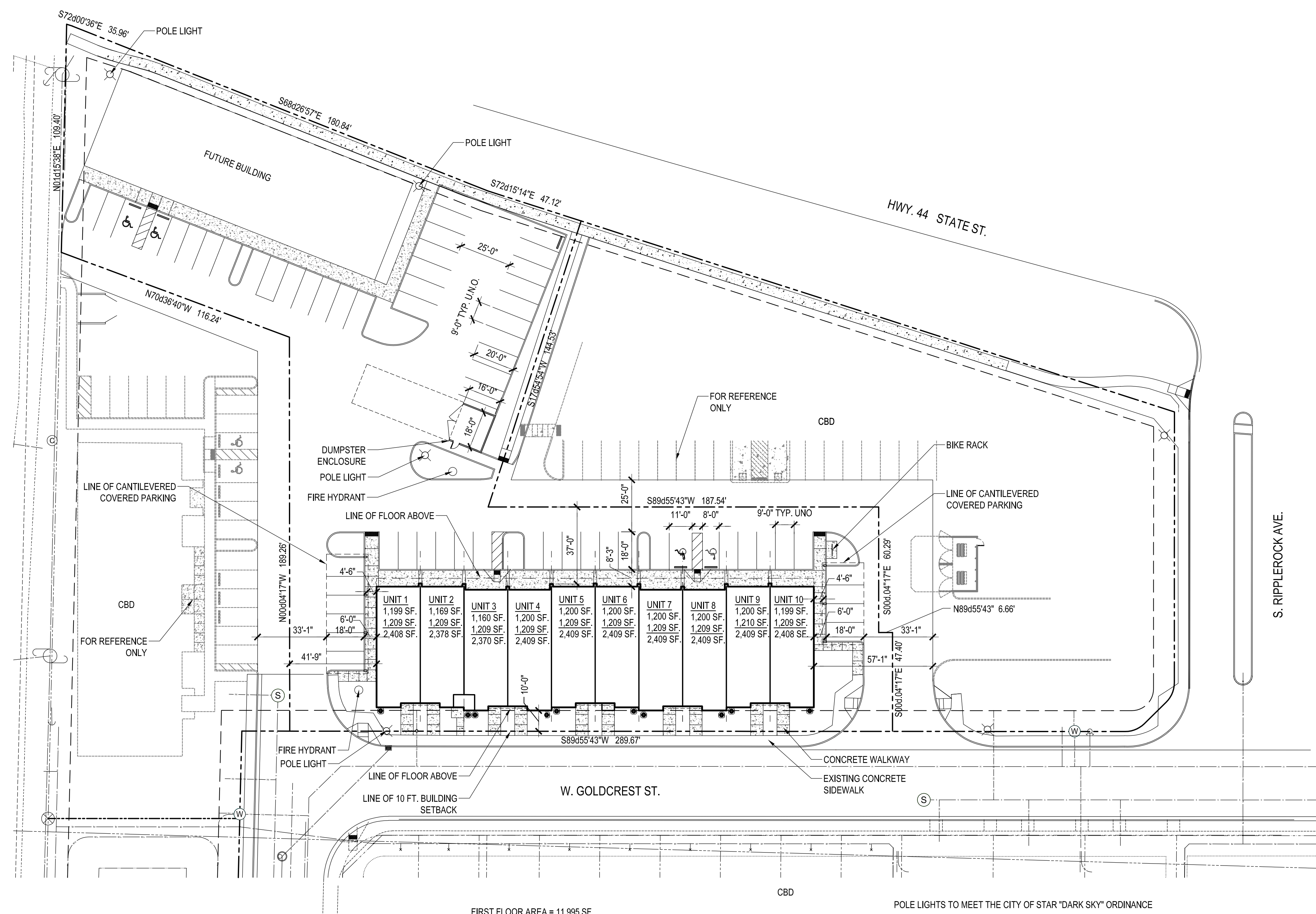


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208.866.3168
geo@greggostrow.com

PROJECT INFORMATION

PROJECT DESCRIPTION: 2-STORY 10-UNIT LIVE-WORK UNITS WITH CANTILEVERED COVERED PARKING
APPLICANT: STONECREST LLC
DENNIS DOWNS
12495 W. GOLDCREST ST.
STAR, ID 83669
907-262-1552
PLANNER: CHRIS TODD
12561 W. GOLDCREST ST.
STAR, ID 83669
208-343-9393
CIVIL ENGINEER: GREAT WEST ENGINEERING
1921 E. OVERLAND RD.
BOISE, ID 83642
208-576-6646
PLAN PREPARER: GREGG OSTROW, AIA
201 E. LOUISA ST.
BOISE, ID 83712
208-866-3168
SITE ZONING: CBD (EXISTING AND PROPOSED)

STONECREST SOUTH
STAR, IDAHO

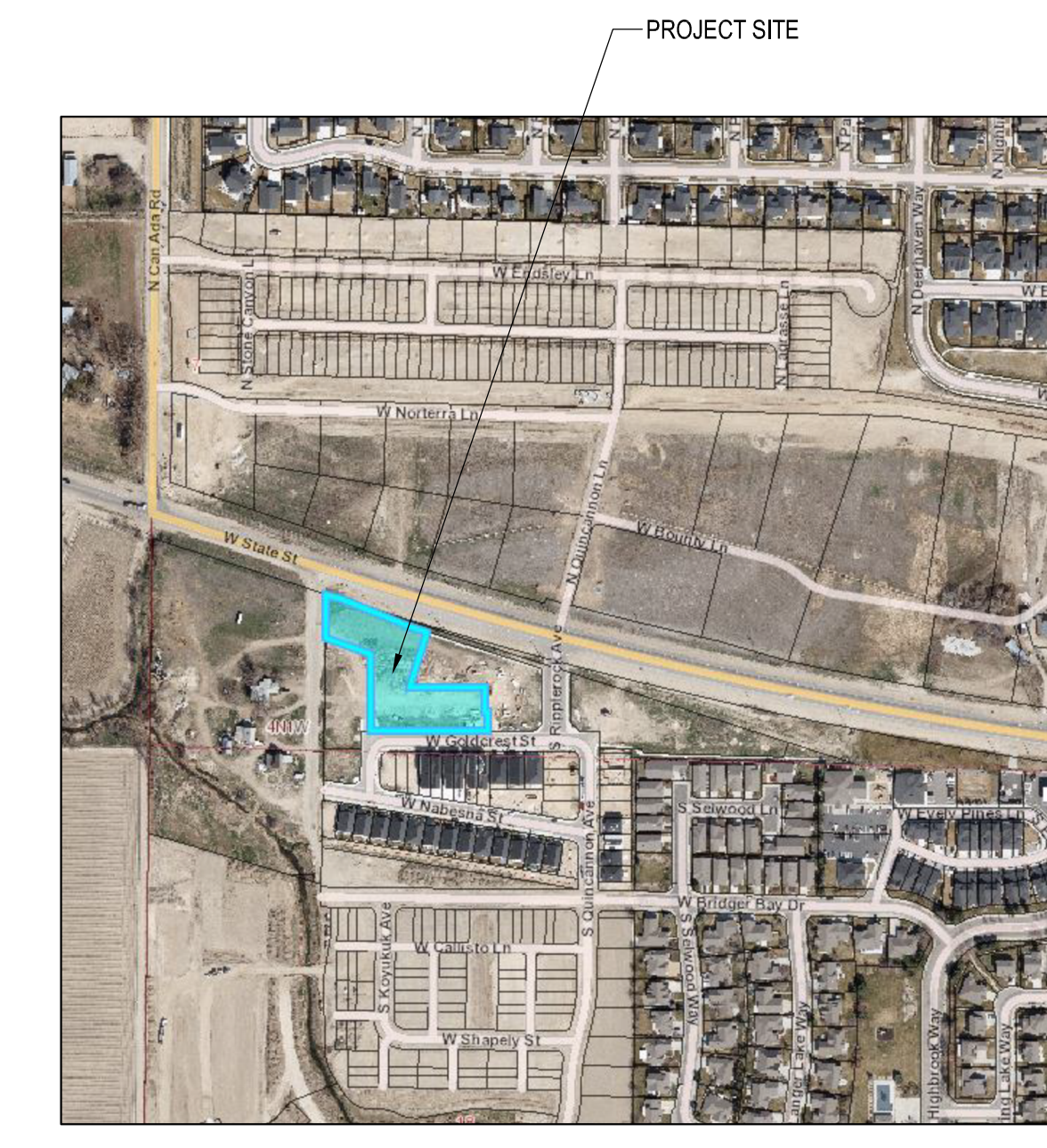


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SECOND FLOOR AREA = 12,088 SF.
TOTAL FLOOR AREA = 24,043 SF.
FIRST FLOOR COVERED PATIO AREA = 965 SF.
SECOND FLOOR COVERED DECK AREA = 965 SF.

POLE LIGHTS TO MEET THE CITY OF STAR "DARK SKY" ORDINANCE
CURRENT FLOOD ZONE: ZONE X
PROPERTY AND SURROUNDING PORPERTY ARE ZONED CBD

SITE PLAN

1" = 30'-0"



VICINITY MAP

NOT TO SCALE

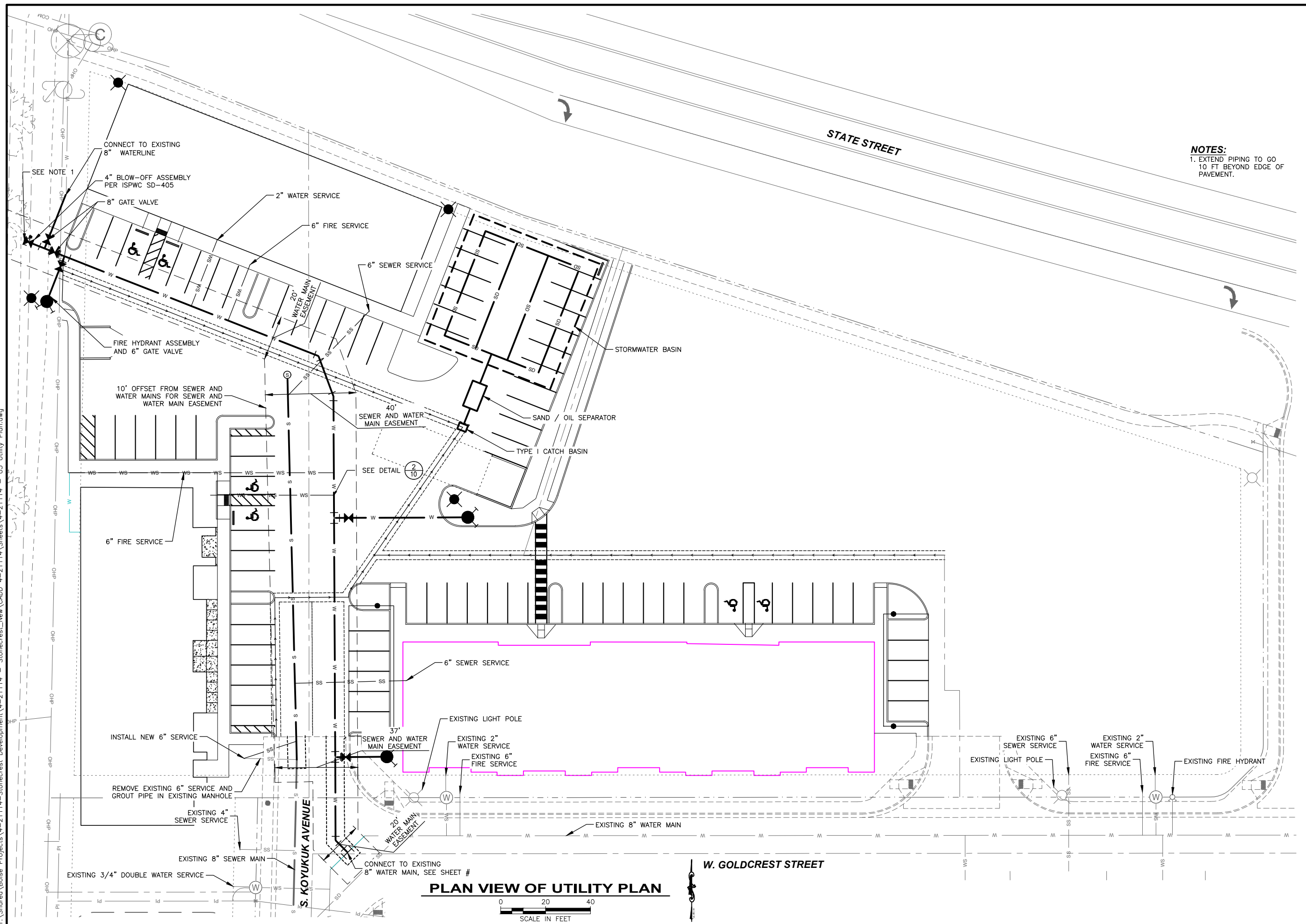
No.	Date	Revision

Drawn by: Gregg Ostrow
Date: 2/20/2024
Drawing Title: SITE PLAN
Sheet No.

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2/20/2024 CUP SUBMITTAL

Y:\Shared\Boise Projects\4-21114-Stonecrest Development\4-21114 - Stonecrest_New\CADD 4-21114\Sheets 4-21114 - 05 Utility Plan.dwg



NOTES:
 1. EXTEND PIPING TO GO 10 FT BEYOND EDGE OF PAVEMENT.

Section 7, Item D.

NO.	REVISION DESCRIPTION	BY	TRD
1	CITY REVIEW COMMENTS - 6/27/23		TRD
2	CITY REVIEW COMMENTS - 7/19/23		TRD
3			
4			

PROJECT: 4-21114
DESIGNED: TRD
DRAWN: TRD
CHECKED: AK
APPROVED: AK
DATE: 5/25/23



DENNY'S CONSTRUCTION
STONECREST I COMMERCIAL
 UTILITY PLAN

PLAN VIEW OF UTILITY PLAN
 SCALE IN FEET
 0 20 40

City of Star Planning & Zoning
c/o Shawn Nickel
10769 West State Street
Star, Idaho 83669

February 21, 2024

Subject Property- A Portion of 12550 W Goldcrest St Star ID 83669

Dear Mr. Nickel-

On behalf of Stonecrest LLC, it's owner Dennis Downs and our full design team, we are excited to bring forth a conditional use permit application to the City of Star for a 10 Unit Live+Work Condo Building located with Stonecrest Subdivision. The development has been a successful development with a true mix of uses located in the Central Business District zone of the City of Star. We are asking the City for approval of a conditional use permit to allow, a residential component be incorporated into a commercial building, Creating a single Live Work building with 10 individually owned condos.

The site is located at 12550 W Goldcrest St Star ID 83669. The site lays between the planned Dutch Brothers location and current Stonecrest Live+Work Townhomes. The property, if approved would be comprised of 10 individually owned condos within a condo/building association. The condo owners would pay a monthly assessment for exterior maintenance and operation. The parcel is currently annexed and zoned CBD within the City of Star. The property has been developed to suit a 12,000-24,0000 commercial building. Utilities have been stubbed to the property and an engineered parking plan has been approved by the City Engineer. There are currently two approaches off Goldcrest St that serve access the properties. A parking lot and streetscape border the building to the north and south.

Through multiple meetings with City and many more internally we feel proud of the design included. The success of our past 9 Live + Work townhomes, current interest and a great design have equaled a well thought out plan. I know this project will be successful, needed and a great addition to the City of Star. These properties offer the small business owner, professional, entrepreneurs, and dreamers a logical space to start and operate a small business. The residence space above offers owner/employee housing, building security, residential lease space or additional commercial space.

Downstairs – Dedicated Commercial Component

Our design incorporates approx. 1200 sq. feet of ground floor commercial space that is served by a normal parking lot. Referring to the provided elevations the City can see a beautiful building with dedicated commercial access. This usable space can be configured to accommodate numerous commercial types from health and beauty to engineers.

Upstairs – Flexible

The 1200 sq ft of upstairs space above will have dedicated covered parking on the east and west ends. The upstairs offers the property owner some flexibility of uses. The space can accommodate business owner or employee housing, be used for additional commercial space for the downstairs user or leased out for a revenue option. The upstairs space may have access to the commercial downstairs. The main access to the upstairs is through a dedicated sidewalk walkway from Goldcrest. Upstairs each unit will consist of 2BD or 1BD with office, master suite with tiled shower, dual vanities, walk in closet, open living space, fireplace and patio space.

Design and Elements

South Elevation

The south elevation is the main upstairs entry point. A landscape individual walkway leads to the upstairs front door with a masonry accent pillar helping distinguish the spaces. The south elevation includes three types of exterior siding, masonry elements and a metal roof with metal seam. The south side has been designed to blend in with the existing properties along Goldcrest.

North Elevation

The North Elevation will incorporate a higher-grade commercial finish with; black trimmed windows, wood veneer accents, metal patio cabling, panels or stucco and masonry elements. We feel this design will incorporate well within the City's architectural guidelines, neighbors and future commercial buildings. The second story will canopy slightly over the commercial space providing natural signage space and a weather cover for the future businesses. The upstairs open living will have 12 foot ceilings allowing for an additional row of transom windows.

Thank you for your time, look forward to presenting and please contact me with any questions.

*Chris Todd
Owner
Green Mountain Resources and Planning LLC
12561 W Goldcrest St
Star, ID 83669*





CONDITIONAL USE PERMIT APPLICATION

***All applicable information must be filled out to be processed.

FILE NO.: CU-24-01
Date Application Received: 2-26-24 Fee Paid: 1660.⁰⁰
Processed by: City: BN

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: Chris Todd
Applicant Address: 12561 W. Goldcrest St Zip: 83669
Phone: _____ Email: chris@firstservicegroup.com

Owner Name: Stonecrest LLC Dennis Downs
Owner Address: _____ Zip: _____
Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):

Contact: Chris Todd Firm Name: Evergreen Mountain RP LLC
Address: 12561 W. Goldcrest St. Zip: 83669
Phone: 899 0451 Email: chris@firstservicegroup.com

Property Information:

Site Address: Portion 12550 W. Goldcrest Parcel Number: 29180750930

Requested Condition(s) for Conditional Use: _____
Livework w/ Residential Use in central Business District (CBD)

	Zoning Designation	Comp Plan Designation
Existing	CBD	CBD
Proposed	CBD	"
North of site	CBD	"
South of site	CBD	"
East of site	CBD	"
West of site	County	CBD

Site Data:

Total Acreage of Site: 1.432 Acres
 Proposed Percentage of Site Devoted to Bldg Coverage: 19,495
 Proposed Percentage of Site Devoted to Landscaping: 2,304
 Number of Parking spaces: Proposed 62 Required _____
 Requested Front Setback: 0 Requested Rear Setback: 0
 Requested Side Setback: 0 Requested Side Setback: 0
 Requested Side Setback: 0
 Existing Site Characteristics: Platted Commercial Lot w/ Utilities

Number and Uses of Proposed Buildings: 2
 Location of Buildings: NW, SC (south central)
 Gross Floor Area of Proposed Buildings: 31543 NW Bldg 7500, South 24,043 sq ft
 Describe Proposed On and Off-Site Traffic Circulation: _____
Two constructed access/approaches currently exist.
Main connection Ripplerock and Highway 44 (State)
 Proposed Signs - number, type, location: North Elevation; Indiv. Business
 (include draft drawing) _____

Public Services (state what services are available and what agency is providing the service):
 Potable Water - SSWD
 Irrigation Water - NA
 Sanitary Sewer - SSWD
 Schools - West Ada
 Fire Protection - Star Fire
 Roads - NIA; ACHD

Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision/Project Name: Stonecrest No. 1 Phase: 1
 Special Flood Hazard Area: total acreage _____ number of homes/structures _____
Panel No. 16001C0125J; effective 6/19/20

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16001C0125J
 FIRM effective date(s): mm/dd/year 6/19/20
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: X
 Base Flood Elevation(s): AE____.0 ft., etc.: 2460.8
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Completed

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (✓)	Description	Staff (✓)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	✓
✓	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Conditional Use Application	✓
✓	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	✓
✓	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	✓
✓	Legal description of the property (word.doc and electronic version with engineer's seal):	
✓	Copy of recorded warranty deed.	
✓	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	✓
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
✓	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	✓
✓	Vicinity map showing the location of the subject property	✓
✓	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	
✓	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	
	Building elevations showing construction materials	✓
	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, shall be submitted in original pdf format (no scans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

Site Plan (If applicable):

	The following items must be included on the site plan:	
✓	• Date, scale, north arrow, and project name	
✓	• Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan	
✓	• Existing boundaries, property lines, and dimensions of the lot	
✓	• Relationship to adjacent properties, streets, and private lanes	
✓	• Easements and right-of-way lines on or adjacent to the lot	
✓	• Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties	
✓	• Building locations(s) (including dimensions to property lines)	
✓	• Parking and loading areas (dimensioned)	
✓	• Traffic access drives and traffic circulation (dimensioned)	

/	• Open/common spaces	
/	• Refuse and service areas	
/	• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing & proposed)	
/	• All on-site lighting proposed – Must Meet City “Dark Sky” Ordinances	

Landscape Plan (If applicable):

	The following items must be included on the landscape plan:	
/	• Date, scale, north arrow, and project name	/
/	• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan	/
/	• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings	/
/	• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.	
/	• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements	/
/	• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours	/
/	• Sight Triangles as defined in 8-4 A-7 of this Ordinance	/
/	• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size	✓
/	• Proposed screening structures	✓
/	• Design drawings(s) of all fencing proposed	✓
/	• Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> ➢ Number of street trees and lineal feet of street frontage ➢ Width of street buffers (exclusive of right-of-way) ➢ Width of parking lot perimeter landscape strip ➢ Buffer width between different land uses ➢ Number of parking stalls and percent of parking area with internal landscaping ➢ Total number of trees and tree species mix ➢ Mitigation for removal of existing trees, including number of caliper inches being removed 	/

SIGNS (If applicable):

All signs will require separate submittal of a sign application.

FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

Chetada

2/21/24

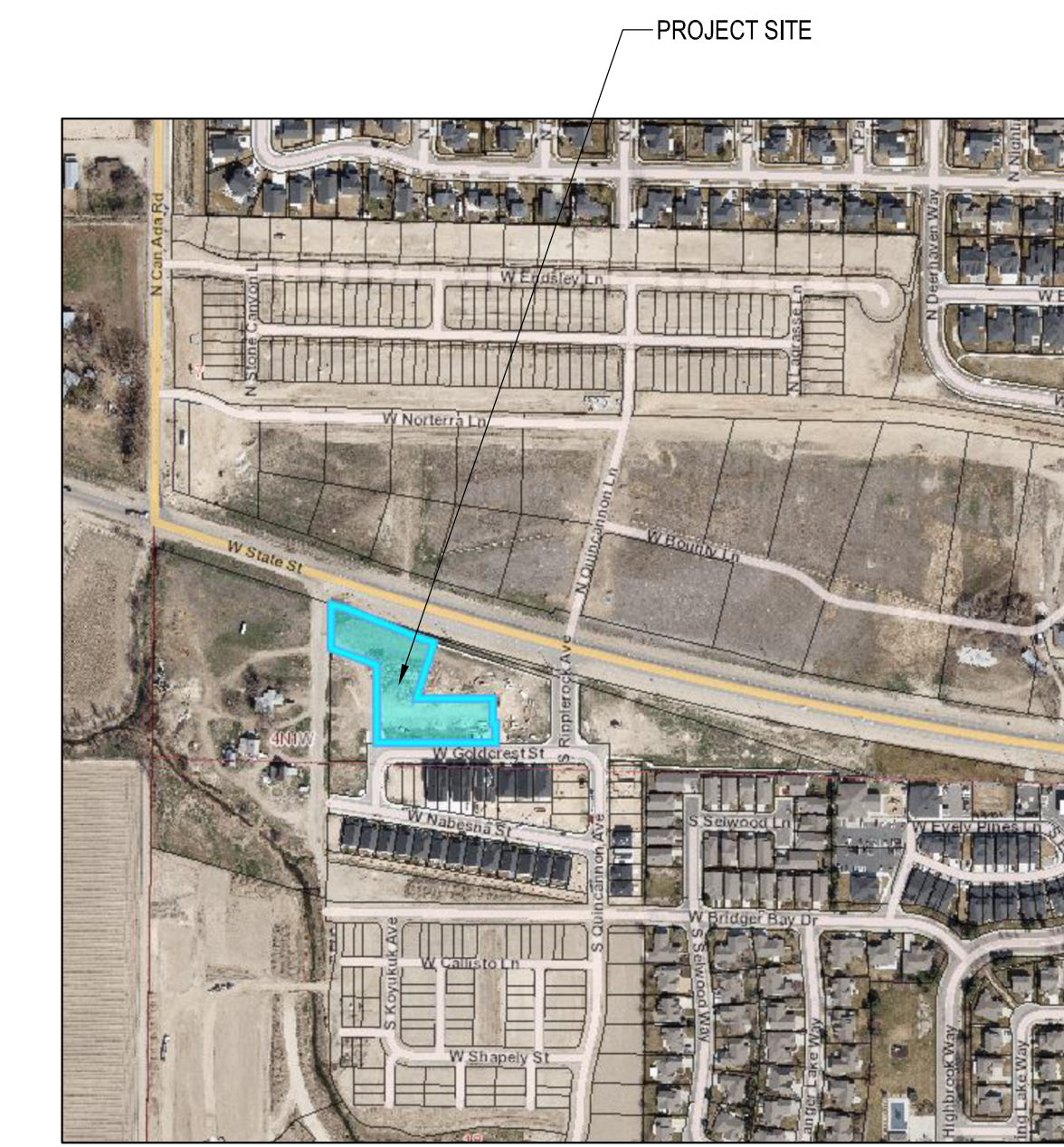


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STONECREST SOUTH
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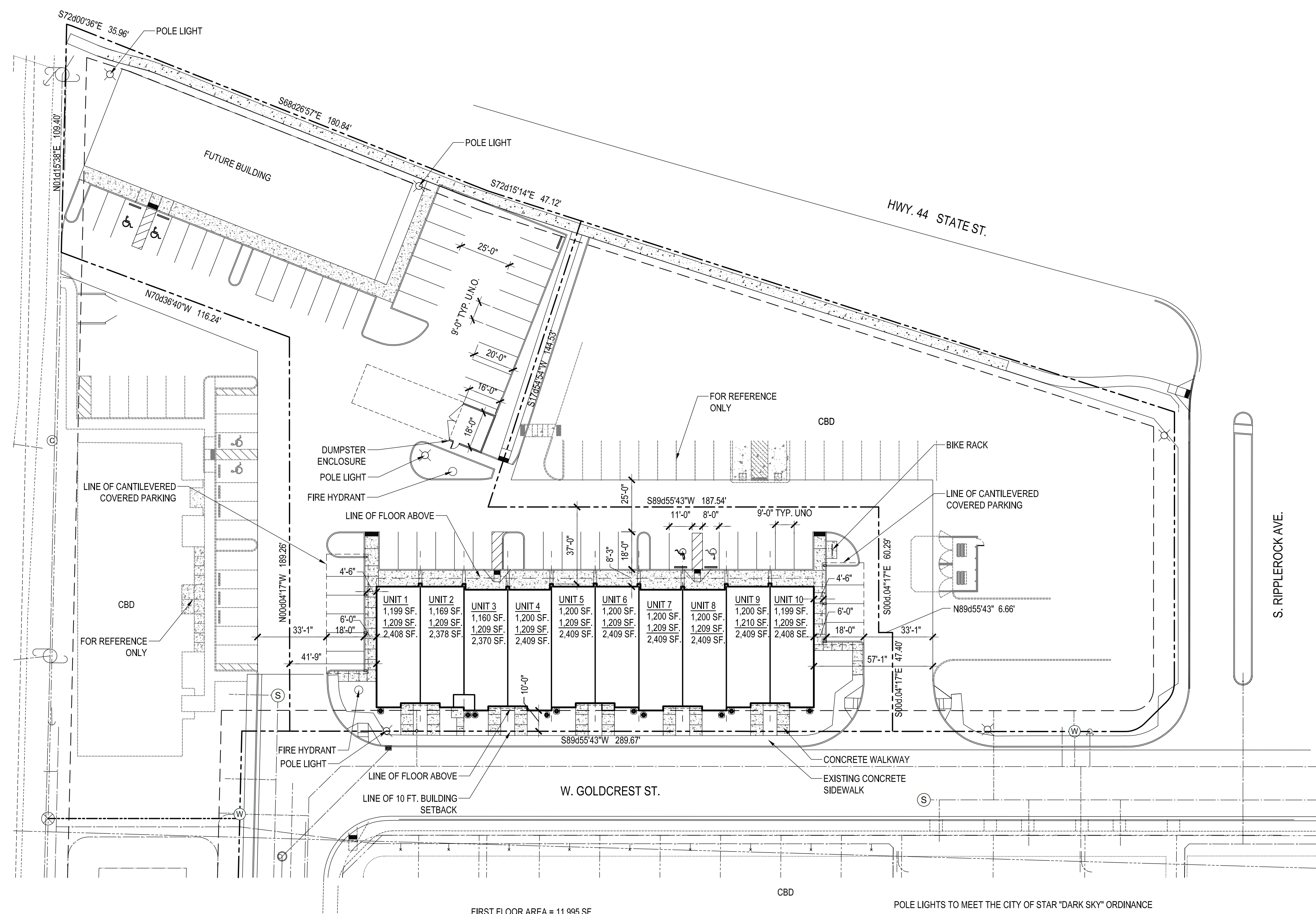
PROJECT INFORMATION

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STAR, ID 83669
907-262-1552
PLANNER: CHRIS TODD
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STAR, ID 83669
208-343-9393
CIVIL ENGINEER: GREAT WEST ENGINEERING
1921 E. OVERLAND RD.
BOISE, ID 83642
208-576-6646
PLAN PREPARER: GREGG OSTROW, AIA
201 E. LOUISA ST.
BOISE, ID 83712
208-866-3168
SITE ZONING: CBD (EXISTING AND PROPOSED)



VICINITY MAP

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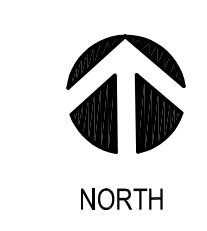


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POLE LIGHTS TO MEET THE CITY OF STAR "DARK SKY" ORDINANCE
CURRENT FLOOD ZONE: ZONE X
PROPERTY AND SURROUNDING PORPERTY ARE ZONED CBD

SITE PLAN

1" = 30'-0"



No.	Date	Revision

Drawn by: Gregg Ostrow
Date: 2/20/2024
Drawing Title: SITE PLAN
Sheet No.

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2/20/2024 CUP SUBMITTAL



GREGG OSTROW, AIA

ARCHITECT

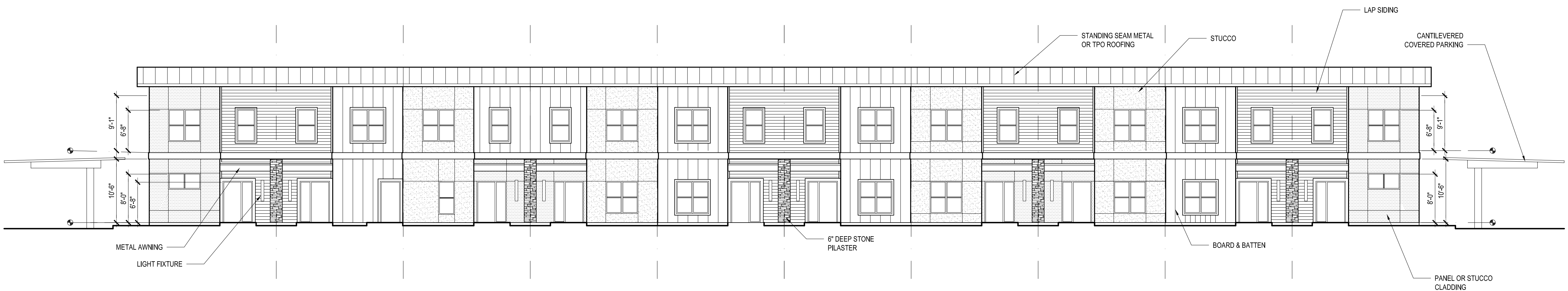
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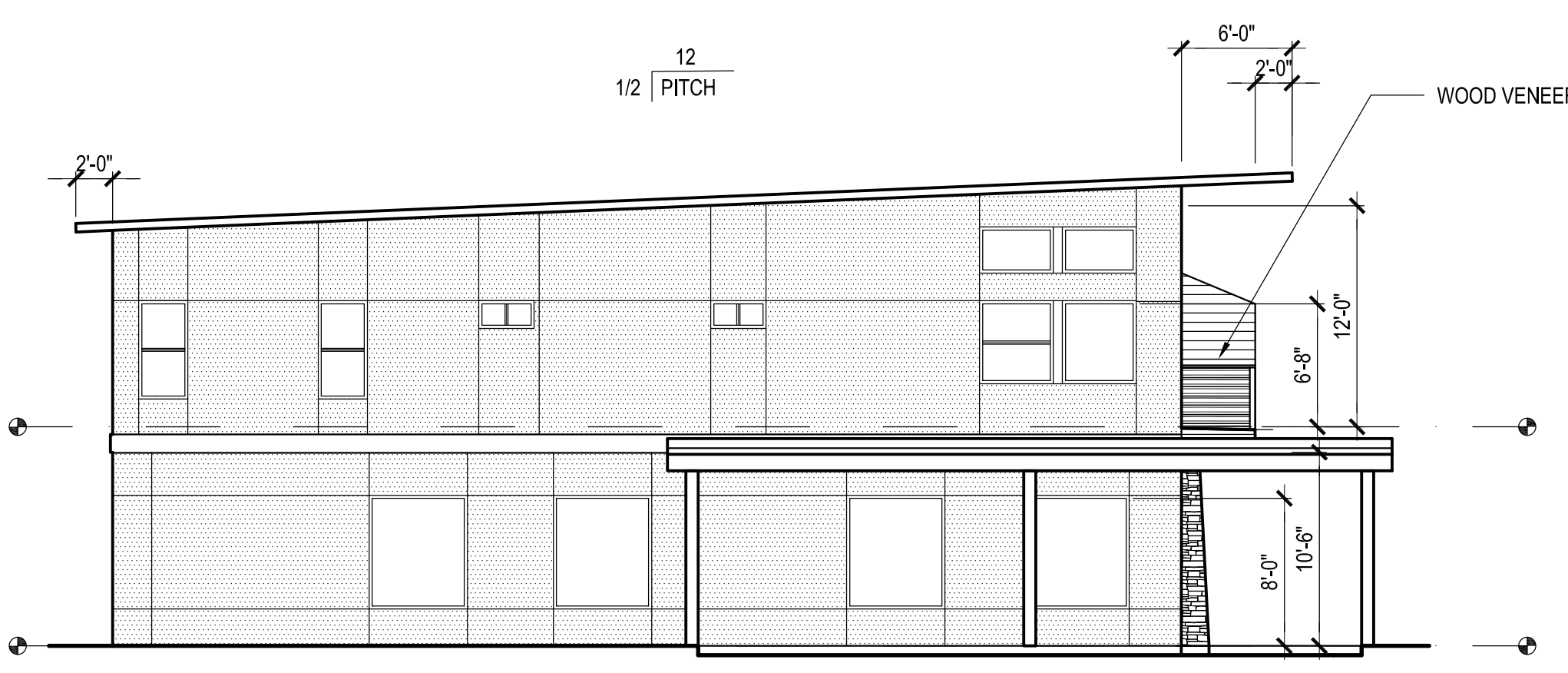
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STAR, IDAHO

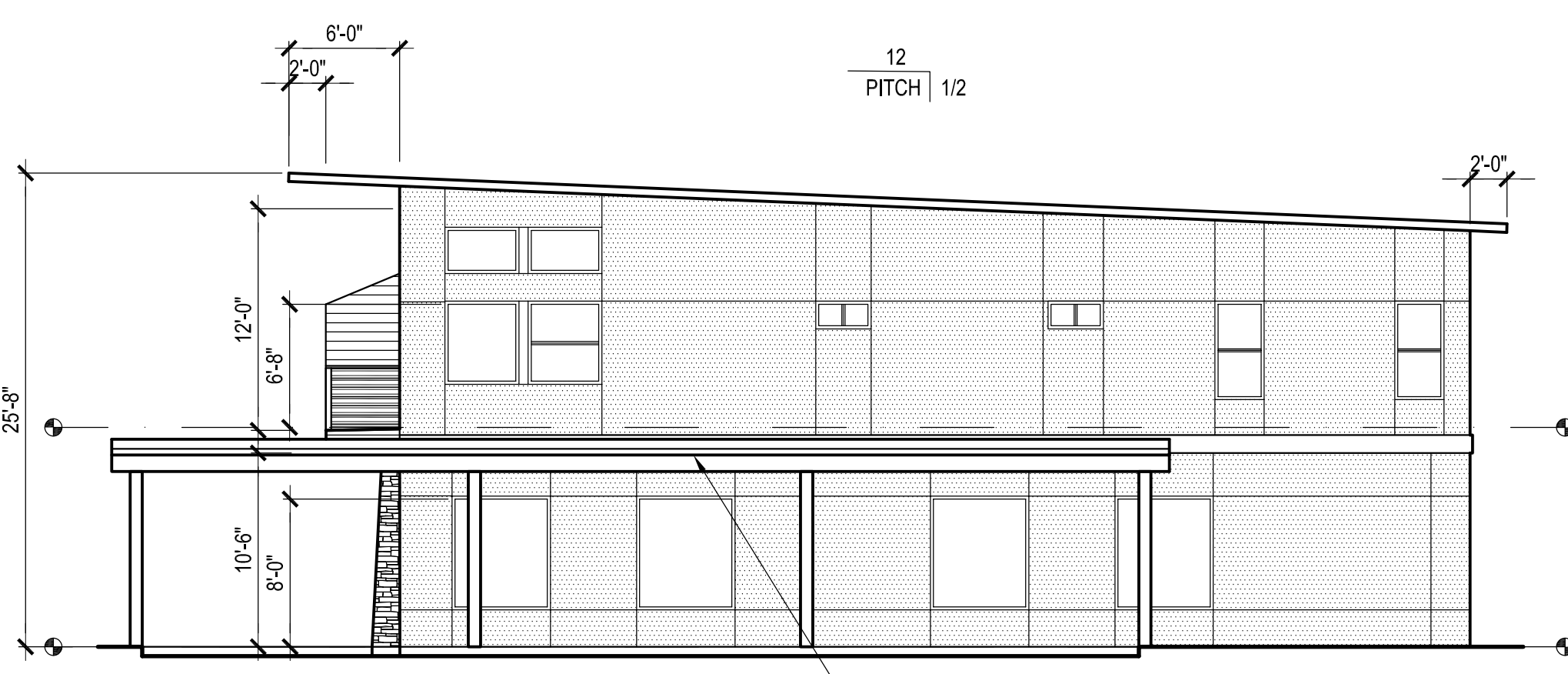


SOUTH ELEVATION



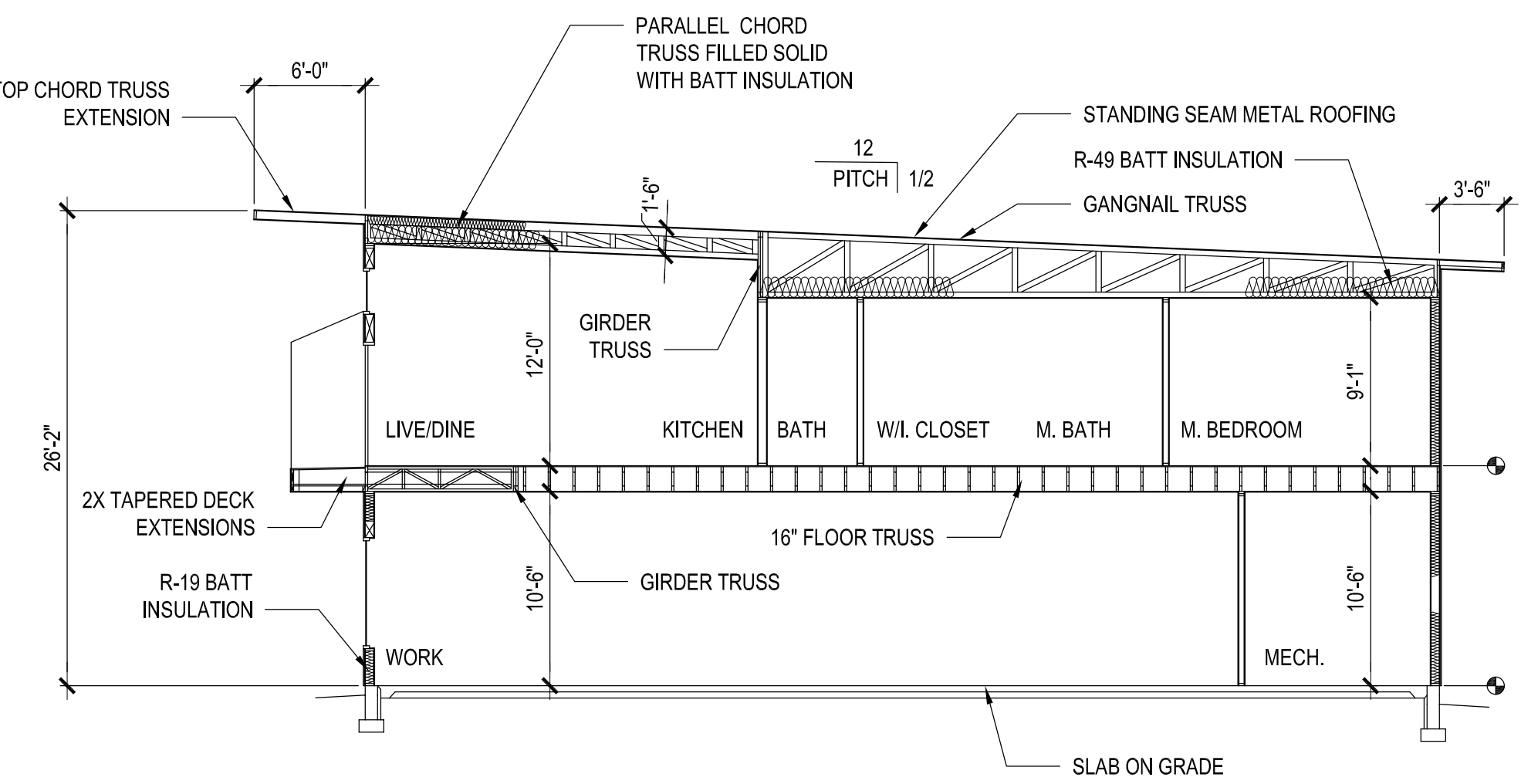
EAST ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"



BUILDING SECTION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"

No.	Date	Revision

Drawn by Gregg Ostrow
 Date 2/20/2024
 Drawing Title ELEVATIONS / SECTION
 Sheet No.

2/20/2024 CUP SUBMITTAL

A4



GREGG OSTROW, AIA

ARCHITECT

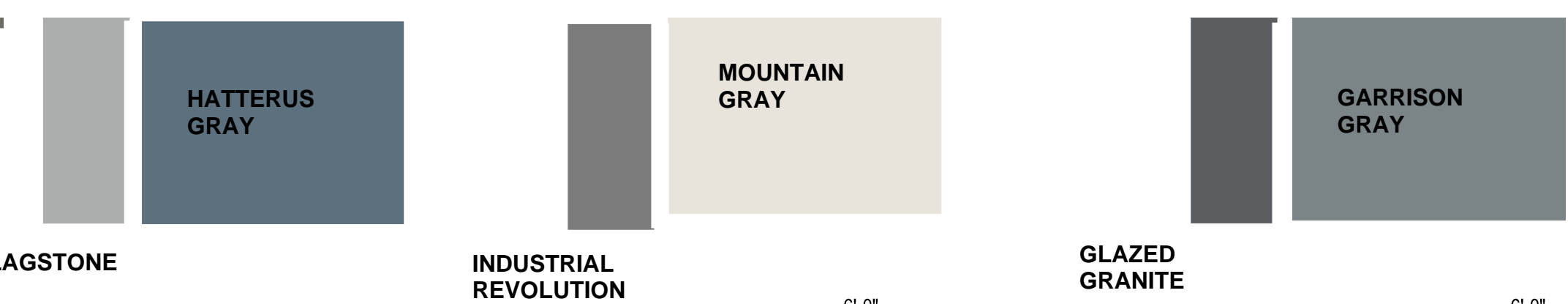
201 E. Louisa Street
Boise, Idaho 83712

208.866.3168
geo@greggostrow.com

STONECREST SOUTH
STAR, IDAHO

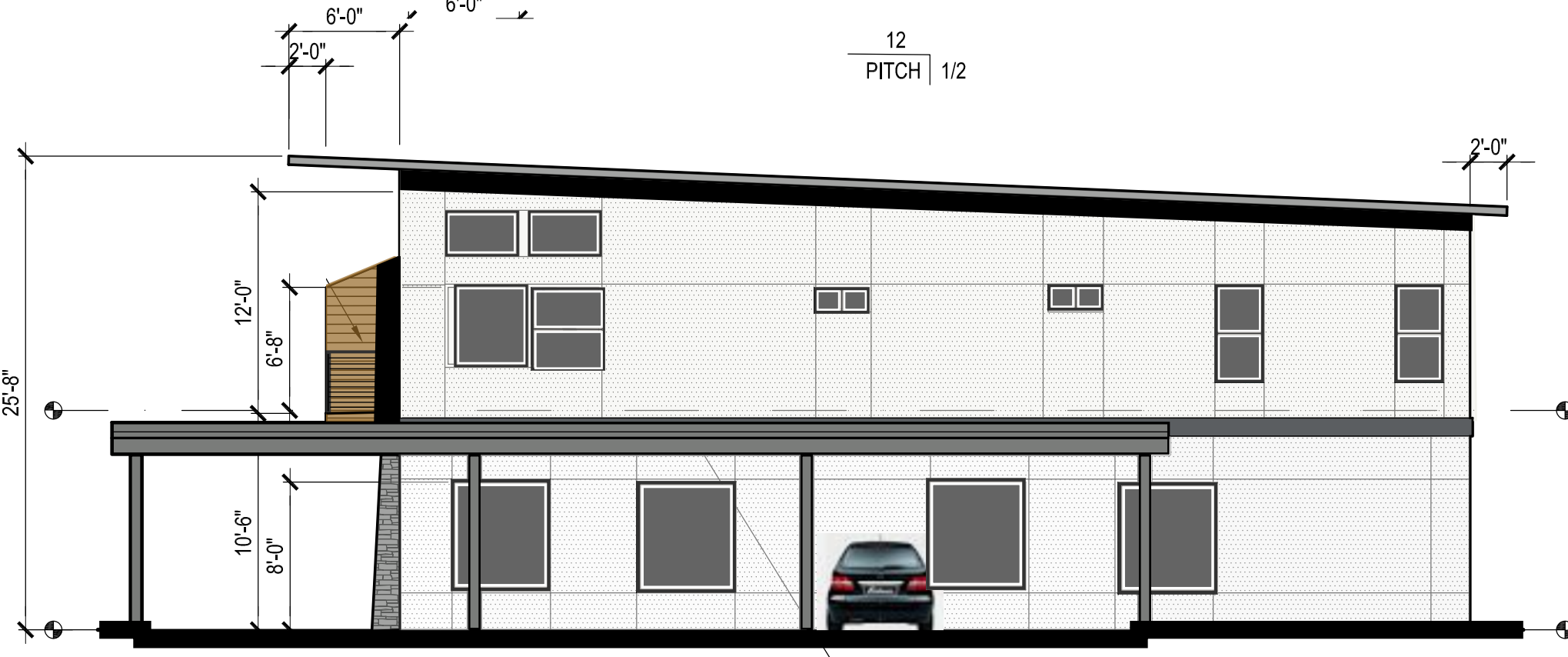


SOUTH ELEVATION



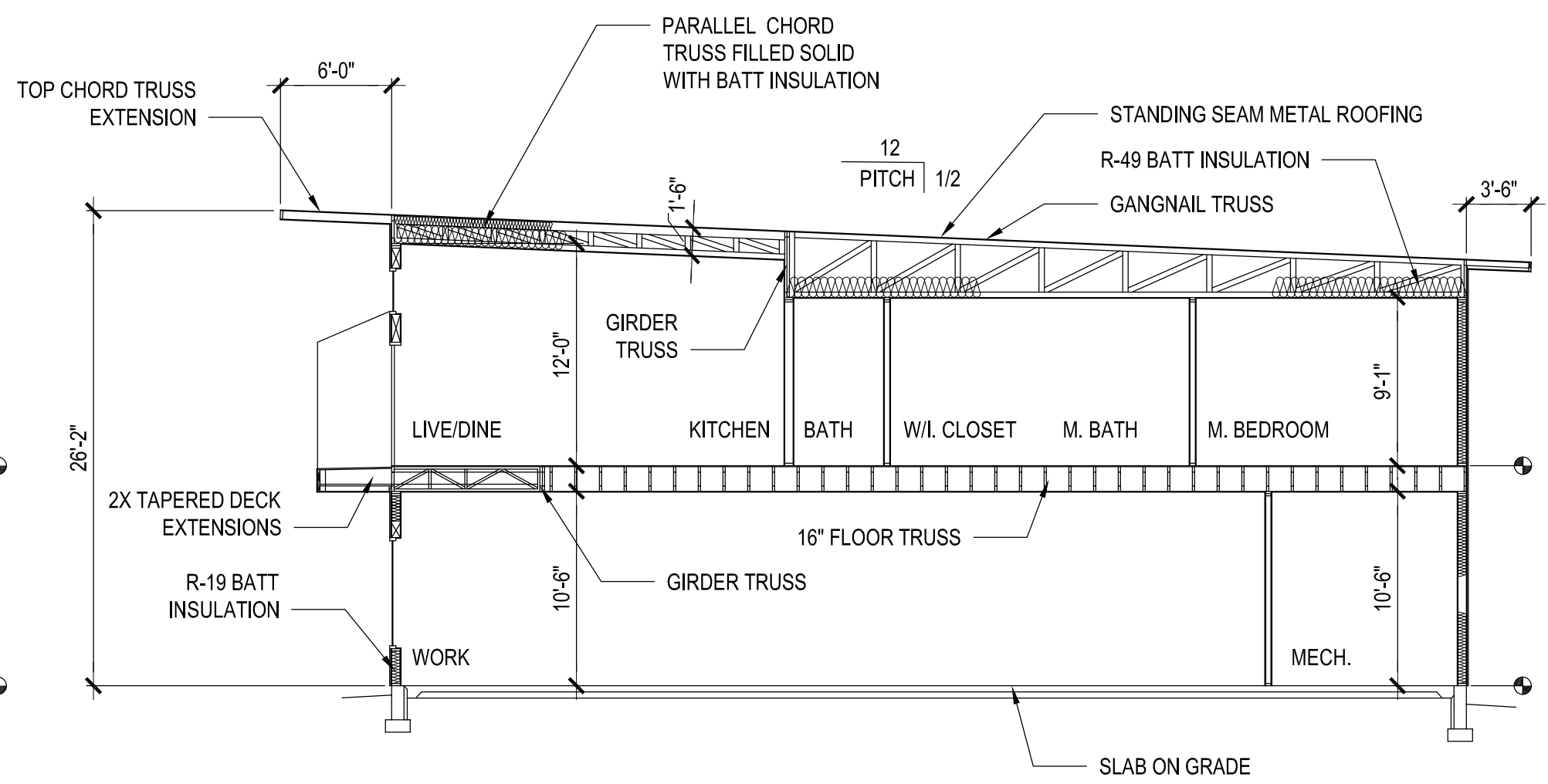
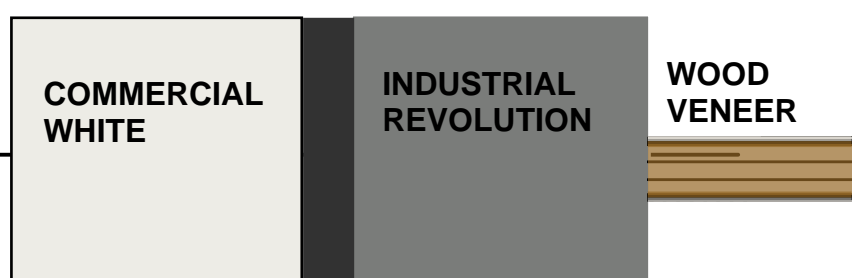
EAST ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"



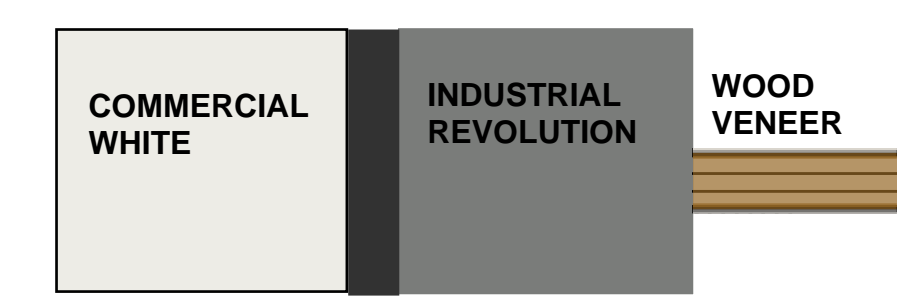
BUILDING SECTION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"



No.	Date	Revision

Drawn by Gregg Ostrow
 Date 2/20/2024
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 Sheet No.

2/20/2024 CUP SUBMITTAL

A4

1445 N. Orchard St.
Boise ID 83706 • (208) 373-0550



Brad Little, Governor
Jess Byrne, Director

March 19, 2024

Shawn L. Nickel
Planning Director and Zoning Administrator
Star City Hall
P.O. Box 130
Star, Idaho 83669
snickel@staridaho.org

Subject: Conditional Use Permit / Stonecrest Live-Work CUP
Files #'s CU-24-01

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at:
<https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for

adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Construction General Permit from DEQ may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at:
<https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA

58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.

- **Ground Water Contamination.** DEQ requests that this project comply with Idaho’s Ground Water Quality Rules (IDAPA 58.01.11), which states that “No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method.”

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff
Regional Administrator

c:

2021AEK



**Your Safety • Your Mobility
Your Economic Opportunity**

IDAHO TRANSPORTATION DEPARTMENT
P.O. Box 8028 • Boise, ID 83707-2028
(208) 334-8300 • itd.idaho.gov

March 19, 2024

Shawn Nickel
Planning Director & Zoning Administrator
City of Star Planning & Zoning
10769 West State Street
Star, Idaho 83669

VIA EMAIL

Development Application	CU-24-01
Project Name	Stonecrest Subdivision
Project Location	South side of SH-44 at MP 9.65 (12550 W Goldcrest St); Star, Idaho
Project Description	10 Unit live-work condominium building consisting of 12,000 – 24,000sqft of commercial use and residential use.
Applicant	Chris Todd, Green Mountain RP, LLC.

The Idaho Transportation Department (ITD) reviewed the referenced application(s) and has the following comments:

1. This project abuts the State Highway system.
2. Traffic generation numbers were not provided with this application. ITD needs more information to determine how this proposed use will impact the State Highway system. ITD reserves the right to make further comments upon review of any submitted traffic generation data or other documents.

If you have any questions, you may contact me at 208-334-8330.

Sincerely,

Niki Benyakhlef

Niki Benyakhlef
Development Services Coordinator
Niki.Benyakhlef@itd.idaho.gov

Shawn Nickel

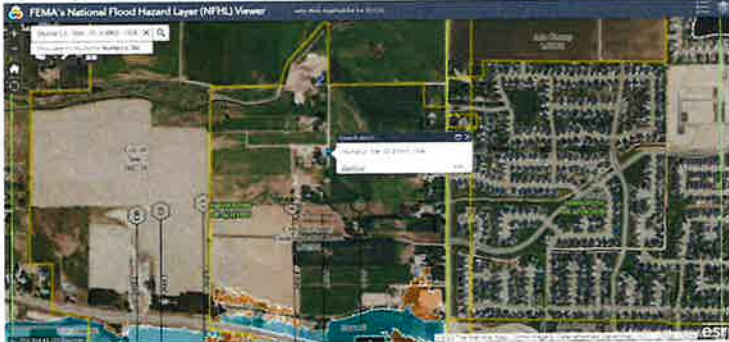
From: O'Shea, Maureen <Maureen.OShea@idwr.idaho.gov>
Sent: Tuesday, March 26, 2024 12:33 PM
To: Shawn Nickel
Cc: Ryan Morgan
Subject: re Agency Transmittals - Subdivisions, etc.
Attachments: Agency Transmittal - Mary Joseph Watson Annexation.pdf; Agency Transmittal - Stoencrest Live-Work CUP (003).pdf

Shawn,

12550 W. Goldcrest Street is not in the floodplain; therefore I have no comments.



Stump Lane is not located in the floodplain; therefore I have no comments.



I am working part-time & generally available from 9:00 a.m. to 1:00 p.m. Monday through Thursday.

Thank you,
 Maureen O'Shea, AICP, CFM
 Floodplain Specialist
 Idaho Dept. of Water Resources
 322 E. Front Street, PO Box 83720,
 Boise, ID 83720-0098
 Office # 208-287-4928
 Cell # 208-830-4174
Maureen.OShea@idwr.idaho.gov
<https://www.idwr.idaho.gov/floods/>