

**CITY COUNCIL REGULAR MEETING AGENDA**

City Hall - 10769 W State Street, Star, Idaho  
Tuesday, June 17, 2025 at 7:00 PM

**PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.**

1. **CALL TO ORDER** – Welcome/Pledge of Allegiance
2. **INVOCATION** – Pastor David Ax, Calvary Chapel
3. **ROLL CALL**
4. **PRESENTATIONS**
  - A. **Police Chief Report**
5. **CONSENT AGENDA (ACTION ITEM)** *\*All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*
  - A. **Approval of Claims**
  - B. **Approval of Minutes: May 7, 2024**
  - C. **Approval of Minutes: June 3, 2025**
  - D. **Legado Subdivision #2 Final Plat (FP-25-04)**
  - E. **Dude Dewalt Winery Conditional Use Permit Revised Findings of Fact/Conclusions of Law (CUP- 23-05)**
  - F. **Alcohol Beverage Licenses - Prime American Steakhouse LLC dba Prime Neighborhood Bar, Rustic Table Steakhouse & Bar dba Rare Steakhouse, CWWilson LLC dba Star Saloon (ACTION ITEM)**
6. **PUBLIC HEARINGS with ACTION ITEMS:** (The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
  - A. **State & Main Streets Multiple Use Development Conditional Use Permit Continuation (CUP-24-07) This item was tabled from April 1, 2025, it will be tabled indefinitely.** The Applicant is requesting approval of a Conditional Use Permit for the development of a 46,800 square foot, multiple use building consisting of approximately 10,000 square feet of commercial space at ground level, and 30 residential units on the second and third floors with rooftop residential common area amenities. The project is located at 17 N. Main Street, and 10992, 11000, 11026, 11046, & 11070 W. State Street in Star, Idaho, and consists of .95 acres. **(ACTION ITEM)**
  - B. **Jeremy & Sabrina Newberry Annexation & Zoning and Development Agreement (AZ-25-02)(DA-25-04)** The Applicant is requesting approval of an Annexation and Zoning (R-1), and a Development Agreement. The property is located on N. Echo Summit Way in Star, Ada County, Idaho and consists of 10.96 acres. **(ACTION ITEM).**
  - C. **Clear Skies Therapy Center Conditional Use Permit (CUP-25-02)** The Applicant is requesting approval of a Conditional Use Permit for a proposed Multiple Use Building consisting of commercial and residential. The property is located at 211 S. Main Street in Star, Ada County, Idaho. **(ACTION ITEM)**
  - D. **City of Star Resolution 2025-03 Establishing and Amending Administrative, Animal Control, Parks, Recreation, Sports, Building, Planning Land Use and Miscellaneous Fees and Fines (ACTION ITEM)**
  - E. **Fiscal Year 2025 Appropriation Amendment (ACTION ITEM)**
  - F. **Ordinance 418-2025 Title 2, Chapter 4 Vendors, Solicitors & Temporary Merchants Municipal Code Update (ACTION ITEM)**
7. **ACTION ITEMS:**(The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
  - A. ~~**City of Star Technology Systems Policy (ACTION ITEM)**~~
  - B. ~~**City of Star Artificial Intelligence (AI) Policy (ACTION ITEM)**~~
8. **ADJOURNMENT**



## CITY COUNCIL REGULAR MEETING AGENDA

City Hall - 10769 W State Street, Star, Idaho  
Tuesday, June 17, 2025 at 7:00 PM

---

The meeting can be viewed via a link posted to the City of Star website at [staridaho.org](http://staridaho.org). Information on how to participate in a public hearing remotely will be posted to [staridaho.org](http://staridaho.org) under the meeting information. The public is always welcomed to submit comments in writing.

### **Land Use Public Hearing Process**

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Staff presents the application

Applicant has up to **20 minutes** to present their project

Council can ask the applicant questions and staff questions

Public Testimony (**3 minutes per person**)

1. Those for the project speak
2. Those against the project speak
3. Those who are neither for or against but wish to speak to the project
4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick



# May 2025 Police Report

Release Date 2025-06-10

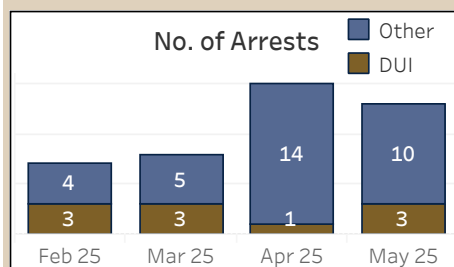
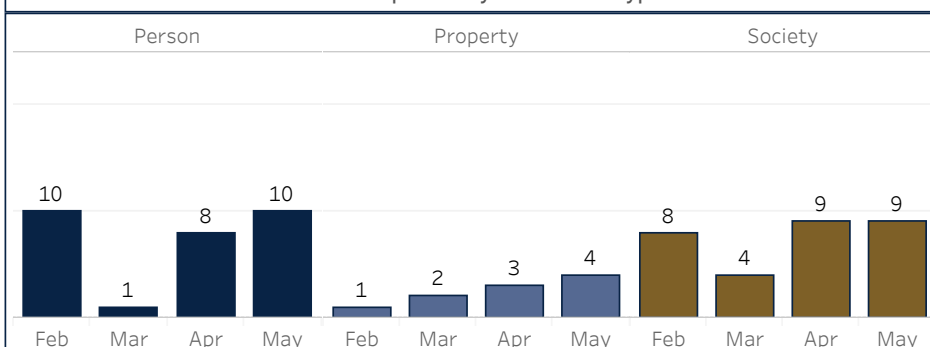
## Offenses Reported<sup>1</sup>

Types	2022	2023 <sup>2</sup>	2024 <sup>2</sup>	2025 YTD
Person	110	96	118	39
Property	92	117	68	14
Society	67	134	101	37
<b>Total Crimes</b>	<b>269</b>	<b>347</b>	<b>287</b>	<b>90</b>
<b>Crimes/1,000 Pop</b>	<b>17.7</b>	<b>19.6</b>	<b>14.1</b>	

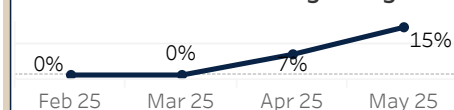
### Case Report Types

- Person Crimes** = murder, manslaughter, rape/sodomy, assault, intimidation and kidnapping offenses
- Property Crimes** = robbery, burglary, larceny/theft, arson, destruction of property, counterfeiting, fraud, embezzlement, blackmail and stolen property offenses
- Society Crimes** = drugs/narcotics, gambling, pornography, prostitution and weapons law violations

### Crimes Reported by Month and Type



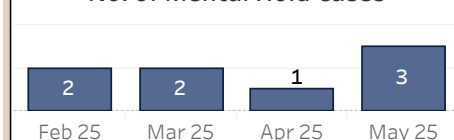
### % of Arrests with Drug Charges



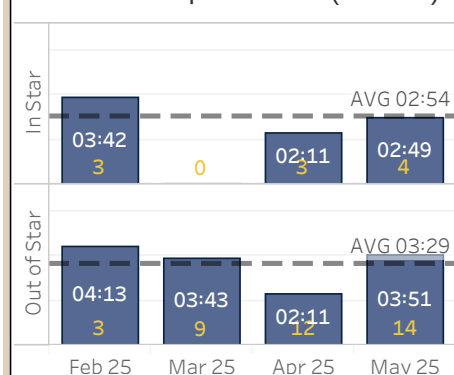
### Citations<sup>8</sup>

	Feb 25	Mar 25	Apr 25	May 25
Infraction	60	77	71	113
Misdemeanor	15	10	26	15

### No. of Mental Hold Cases



### All Code 3 Response Time (min:sec)<sup>9</sup>



## Police Activity<sup>3</sup>

	2025 Monthly Avg <sup>4</sup>	Feb 25	Mar 25	Apr 25	May 25	May 2024
Citizen Calls for Service (CFS)	330	239	309	355	436	364
Proactive Policing	2,682	2,858	2,831	2,447	2,710	1,998

## Select Call Types

	2025 Monthly Avg <sup>4</sup>	Feb 25	Mar 25	Apr 25	May 25	May 2024
Crash Response	29	20	27	38	30	36
Crisis/Mental Health <sup>5</sup>	7	8	6	6	8	10
Domestic Violence	4	4	3	3	6	3
Juvenile Activity	22	13	20	15	37	22
Location Checks <sup>6</sup>	654	697	699	561	605	396
Property Crime Calls <sup>7</sup>	18	16	19	14	30	16
School Checks	61	70	82	49	38	32
Traffic Stops	435	425	471	481	422	419
Welfare Checks	23	15	30	26	29	13

<sup>1</sup>Offense Reports are compiled from NIBRS RMS. <sup>2</sup>Counts updated to reflect each year's NIBRS audit update. <sup>3</sup>Police Activity reflects calls in the City of Star and all calls dispatched with a Star deputy. <sup>4</sup>Monthly averages are based on all prior months of the current year. <sup>5</sup>Calls are for Crisis/Mental Hold/Suicidal Subject/Attempted Suicide. <sup>6</sup>Location checks include Construction Site, Property, and Security checks. <sup>7</sup>Property Crime Calls include Theft, Vandalism, Burglary, Fraud. <sup>8</sup>Infraction and Misdemeanor Citations issued by a Star deputy as listed in the current Patrol schedule. <sup>9</sup>Code 3 Calls represent all incidents routed at Priority 3, where Priority 3 calls require an immediate emergency response.

Vendor Name	Doc #	Invoice #/Description	Date	Warrant	Amount	Inv Date	Period	Fund	Org	Acco	Section 5, Item A.
ADA COUNTY HIGHWAY DISTRICT	CL 5197	19406 ACHD Impact Fees May 202	06/04/25	-99056	296,905.00	06/04/25	5/25	10	0	40000	791
ADA COUNTY LANDFILL	CL 5195	132117 Landfill Fees	06/04/25	24021	15.00	05/27/25	5/25	10	0	41595	831
ADA COUNTY SHERIFF'S OFFICE	CL 5208	122730 Police Services June 2025	06/05/25	-99048	301,181.48	06/03/25	6/25	10	0	42110	365
ADVANCED SIGN LLC	CL 5202	6100077761 Uneven Surface Sign	06/04/25	-99053	43.00	05/22/25	5/25	10	563	41550	435
ALBERTSONS	CC 142	CC-142 Food Counselor Training	06/12/25	-99030	82.22	05/28/25	5/25	10	104	44022	560
ALBERTSONS	CC 142	CC-142 Gift Cards Employee Inc	06/12/25	-99030	100.00	05/28/25	5/25	10	101	44022	690
ALLIED ELECTRONICS	CC 142	CC-142 Air Compressor Freedom Park	06/12/25	-99030	1,614.68	04/24/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Refrigerator Locks	06/11/25	-99031	39.98	05/24/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Cotton Candy/SnoCone Supplies	06/11/25	-99031	106.26	05/20/25	5/25	10	104	44022	611
AMAZON CAPITAL SERVICES	CC 138	CC-138 Table Cloth Summer Camp	06/11/25	-99031	31.38	05/26/25	5/25	10	104	44022	611
AMAZON CAPITAL SERVICES	CC 138	CC-138 Paddle Board Fin Replacement	06/11/25	-99031	19.99	05/24/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Door Hangers- Code Enforcement	06/11/25	-99031	27.39	05/22/25	5/25	10	0	42110	365
AMAZON CAPITAL SERVICES	CC 138	CC-138 Storage Bags	06/11/25	-99031	29.97	05/24/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Name Tag Lanyards Freedom Park	06/11/25	-99031	24.98	05/25/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Fitness Shelf Recreation	06/11/25	-99031	49.99	04/24/25	5/25	10	0	44022	611
AMAZON CAPITAL SERVICES	CC 138	CC-138 Cotton Candy/SnoCone Supplies	06/11/25	-99031	212.94	05/20/25	5/25	10	104	44022	611
AMAZON CAPITAL SERVICES	CC 138	CC-138 Table Cloth Summer Camp	06/11/25	-99031	54.08	05/26/25	5/25	10	104	44022	611
AMAZON CAPITAL SERVICES	CC 138	CC-138 Hot Plates Baking Camp	06/11/25	-99031	287.72	05/20/25	5/25	10	104	44022	611
AMAZON CAPITAL SERVICES	CC 138	CC-138 Whistles	06/11/25	-99031	27.63	05/23/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Scholarship Gift Bag Swag	06/11/25	-99031	12.98	05/07/25	5/25	10	0	48520	840
AMAZON CAPITAL SERVICES	CC 138	CC-138 Bug Spray and Easel Sign	06/11/25	-99031	68.72	05/12/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 First Aid Cold Packs	06/11/25	-99031	185.97	05/12/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 First Aid Kits	06/11/25	-99031	153.20	05/12/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Scholarship Gift Bag Swag	06/11/25	-99031	35.99	05/07/25	5/25	10	0	48520	840
AMAZON CAPITAL SERVICES	CC 138	CC-138 Riverbarn Rental Supplies	06/11/25	-99031	271.28	05/12/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Scholarship Gift Bag Swag	06/11/25	-99031	266.63	05/02/25	5/25	10	0	48520	840
AMAZON CAPITAL SERVICES	CC 138	CC-138 Wicker Chairs (4)	06/11/25	-99031	269.99	05/12/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Walkie Talkies	06/11/25	-99031	97.90	05/12/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Door Hangers- Code Enforcement	06/11/25	-99031	29.35	05/23/25	5/25	10	0	42110	365
AMAZON CAPITAL SERVICES	CC 138	CC-138 Halo Event	06/11/25	-99031	163.98	04/21/25	5/25	10	0	47001	594
AMAZON CAPITAL SERVICES	CC 138	CC-138 Halo Event	06/11/25	-99031	67.45	04/23/25	5/25	10	0	47001	594
AMAZON CAPITAL SERVICES	CC 138	CC-138 Scholarship Gift Bag Swag	06/11/25	-99031	79.98	05/08/25	5/25	10	0	48520	840
AMAZON CAPITAL SERVICES	CC 138	CC-138 EMS First Aid Kit Freedom Park	06/11/25	-99031	139.85	05/12/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Door Hangers- Code Enforcement	06/11/25	-99031	28.83	05/22/25	5/25	10	0	42110	365
AMAZON CAPITAL SERVICES	CC 138	CC-138 Halo Event	06/11/25	-99031	81.99	04/21/25	5/25	10	0	47001	594
AMAZON CAPITAL SERVICES	CC 138	CC-138 Hot Plate Baking Camp	06/11/25	-99031	35.96	05/14/25	5/25	10	104	44022	611
AMAZON CAPITAL SERVICES	CC 138	CC-138 Paddleboard	06/11/25	-99031	209.99	04/23/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Office Cleaning Goo Gone	06/11/25	-99031	22.74	04/29/25	5/25	10	0	41810	611
AMAZON CAPITAL SERVICES	CC 138	CC-138 Paddleboard	06/11/25	-99031	63.62	04/23/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 138	CC-138 Paddleboard	06/11/25	-99031	262.42	04/23/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 141	CC-141 Prizes Golf Tournament	06/09/25	-99032	19.07	06/04/25	6/25	10	0	48500	595
AMAZON CAPITAL SERVICES	CC 142	CC-142 Laminating Sheets	06/12/25	-99030	74.08	04/23/25	5/25	10	0	44022	611
AMAZON CAPITAL SERVICES	CC 142	CC-142 Schools Out Party	06/12/25	-99030	106.47	05/23/25	5/25	10	109	44022	620
AMAZON CAPITAL SERVICES	CC 142	CC-142 Round Printable Labels	06/12/25	-99030	11.18	04/21/25	5/25	10	0	45050	585
AMAZON CAPITAL SERVICES	CC 142	CC-142 Keurig Coffee Maker	06/12/25	-99030	283.14	04/25/25	5/25	10	0	41810	611
AMAZON CAPITAL SERVICES	CC 142	CC-142 SUP Pump Adapter	06/12/25	-99030	7.49	05/10/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 142	CC-142 Freedom Park Rental Supplies	06/12/25	-99030	60.43	04/25/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 142	CC-142 RETURN Keurig Coffee Maker	06/12/25	-99030	-283.14	05/16/25	5/25	10	0	41810	611
AMAZON CAPITAL SERVICES	CC 142	CC-142 Freedom Park Refrigerator (Returned)	06/12/25	-99030	2,449.00	05/14/25	5/25	10	163	44022	621
AMAZON CAPITAL SERVICES	CC 142	CC-142 Baking Camp Supplies	06/12/25	-99030	47.98	05/30/25	5/25	10	102	44022	611
AMAZON CAPITAL SERVICES	CC 142	CC-142 Football Medals	06/12/25	-99030	352.56	05/03/25	5/25	10	216	44021	699
AMAZON CAPITAL SERVICES	CC 142	CC-142 Air Compressor	06/12/25	-99030	267.72	05/14/25	5/25	10	0	44021	612
AMAZON CAPITAL SERVICES	CC 142	CC-142 Heavy Duty Brooms	06/12/25	-99030	37.44	05/22/25	5/25	10	0	41810	611
ANALYTICAL LABORATORIES, INC	CL 5216	2504225 Pond Water Testing Freedom Park	06/05/25	-99044	725.00	05/31/25	6/25	10	571	45100	747
ANNIE PEW	CL 5183	Supplies Freedom Park Rentals	05/30/25	24020	264.80	05/24/25	5/25	10	163	44022	621
ANNIE PEW	CL 5183	Rec Employee Incentive Party	05/30/25	24020	757.90	05/27/25	5/25	10	101	44022	690
ANNIE PEW	CL 5183	Rec Employee Incentive Party	05/30/25	24020	138.49	05/27/25	5/25	10	101	44022	690
ANNIE PEW	CL 5183	B/A School Plaques	05/30/25	24020	49.84	04/15/25	5/25	10	101	44022	690
ANNIE PEW	CL 5183	Door Seals Freedom Pk Rentals	05/30/25	24020	14.82	05/26/25	5/25	10	163	44022	621
ANNIE PEW	CL 5183	Canisters Summer Camps	05/30/25	24020	11.65	05/26/25	5/25	10	104	44022	611
ASSOCIATION OF IDAHO CITIES	CC 140	CC-140 AIC Registration/Award Banquet	06/09/25	-99034	675.00	06/01/25	6/25	10	0	41740	560
ASSOCIATION OF IDAHO CITIES	CL 5198	200013272 AIC Registration/Award Banquet	06/04/25	-99055	325.00	05/28/25	5/25	10	0	41740	560
ASSOCIATION OF IDAHO CITIES	CL 5198	200013287 AIC Award Banquet (3)	06/04/25	-99055	200.00	05/30/25	5/25	10	0	41740	560
ASSOCIATION OF IDAHO CITIES	CL 5231	200013285 AIC Registration Balance	06/09/25	-99035	75.00	05/30/25	6/25	10	0	41740	560
BI-MART 689	CC 142	CC-142 Freedom Park Rental Supplies	06/12/25	-99030	48.70	05/27/25	5/25	10	163	44022	621
BILLS MACHINE SHOP	CL 5217	25-1870 Freedom Park Bridge Railing	06/05/25	-99043	16,450.00	06/05/25	6/25	10	0	45100	747
BRYANT PRINTS LLC	CC 138	CC-138 Summer Camp Uniforms	06/11/25	-99031	2,499.00	05/05/25	5/25	10	104	44022	615
BRYANT PRINTS LLC	CC 138	CC-138 Staff Uniforms Summer Camp	06/11/25	-99031	1,653.75	05/05/25	5/25	10	104	44022	615
CANYON COUNTY CLERK	CL 5203	May 2025 Prosecution Services	06/04/25	24022	100.00	06/03/25	5/25	10	0	41300	328
CAROLE ORR	CL 5226	Riverhouse Deposit Refund	06/05/25	24031	500.00	06/02/25	6/25	10	0	40700	882
CHEF'SSTORE	CC 142	CC-142 Freedom Park Concession	06/12/25	-99030	672.55	05/27/25	5/25	10	162	44022	621
CHEVRON	CC 142	CC-142 Keys Freedom Park Rentals	06/12/25	-99030	6.35	05/28/25	5/25	10	163	44022	621
CLEARWATER FINANCIAL LLC	CL 5220	3286 Park Impact Fee Project Add 1	06/06/25	-99040	3,700.00	05/31/25	6/25	10	0	48960	593
CLEARWATER FINANCIAL LLC	CL 5220	3286 Travel Costs in-person Mtgs	06/06/25	-99040	47.00	05/31/25	6/25	10	0	48960	593
CLEARWATER FINANCIAL LLC	CL 5220	3286 Pathways Impact Fee Proj Add 3	06/06/25	-99040	2,400.00	05/31/25	6/25	10	0	48960	593
CLEARWATER FINANCIAL LLC	CL 5220	3286 Police Impact Fee Proj Add 3	06/06/25	-99040	3,700.00	05/31/25	6/25	10	0	48960	593
COSTCO	CC 138	CC-138 Coffee City Hall	06/11/25	-99031	27.45	05/08/25	5/25	10	0	41810	611
COSTCO	CC 138	CC-138 Water/ Coffee City Hall	06/11/25	-99031	113.93	04/23/25	5/25	10	0	41810	611
COSTCO	CC 141	CC-141 Goodie Bags Golf Tournament	06/09/25	-99032	303.26	06/04/25	6/25	10	0	48500	595
COSTCO	CC 142	CC-142 Baking Camp Supplies	06/12/25	-99030	3.99	05/21/25	5/25	10	102	44022	611
COSTCO	CC 142	CC-142 B/A School End of Year	06/12/25	-99030	181.99	05/21/25	5/25	10	101	44022	611
COSTCO	CC 142	CC-142 Freedom Park Concession	06/12/25	-99030	488.46	05/27/25	5/25	10	162	44022	621
COSTCO	CC 142	CC-142 Freedom Park Life Vests	06/12/25	-99030	239.94	05/21/25	5/25	10	163	44022	621
COSTCO	CC 142	CC-142 Bins Recreation Center	06/12/25	-99030	176.00	05/27/25	5/25	10	0	44022	612
COUNTRY TIME ASSISTED LIVING	CL 5211	Riverhouse Deposit Refund	06/05/25	24029	500.00	03/03/25	6/25	10	0	40700	882
DANA PARTRIDGE	CL 5210	Services 05/22/25 to 06/4/25	06/05/25	-99046	3,182.32	06/05/25	6/25	10	0	41740	565
DUTCH BROS	CC 142	CC-142 HALO Counselors Incentives	06/12/25	-99030	100.00	05/27/25	5/25	10	0	47001	594
DUTCH BROS	CC 142	CC-142 Summer Counselor Incentives	06/12/25	-99030	100.00	05/27/25	5/25	10	104	44022	690
ECI CONTRACTORS	CL 5187	May 2025 Electrical Inspection	06/02/25	-99060	18,620.12	06/01/25	5/25	10	0	40500	454
EPIC SOLUTIONS WORLDWIDE LLC	CL 5230	QN57093 Pedestrian Barricades	06/09/25	-99036	17,525.00	06/09/25	6/25	10	0	45100	753
FATBEAM LLC	CL 5207	56985 Fiber Optic Internet Services	06/05/25	-99049	4,682.50	06/01/25	6/25	10	0	41100	419
FISHER'S TECHNOLOGY	CL 5209	1508024 Copier Rec Center	06/05/25	-99047	167.64	06/02/25	6/25	10	0	42200	374
FISHER'S TECHNOLOGY	CL 5209	1508023 Copier City Hall	06/05/25	-99047	145.14	06/02/25	6/25	10	0	42200	374
GAMEFACE ATHLETICS	CL 5190	321960 Basketball Jerseys	06/02/25	-99059	45.00	05/14/25	5/25	10	0	44021	615



GRACE RANKIN	CL	5225	Riverhouse Deposit Refund	06/05/25	24032	500.00	06/02/25	6/25	10	0	40700	882
HARBOR FREIGHT	CC	142	CC-142 Freedom Park Rental Supplies	06/12/25	-99030	244.76	05/14/25	5/25	10	163	44022	621
HERITAGE LANDSCAPE SUPPLY GROUP	CL	5206	*0910-001 Irrigation Repair Supplies	06/04/25	-99050	50.50	05/22/25	5/25	10	565	41550	435
HERITAGE LANDSCAPE SUPPLY GROUP	CL	5206	*6369-001 Irrigation Repair Supplies	06/04/25	-99050	93.66	05/21/25	5/25	10	565	41550	435
HERITAGE LANDSCAPE SUPPLY GROUP	CL	5206	*6369-003 Irrigation Repair Supplies	06/04/25	-99050	362.21	05/22/25	5/25	10	565	41550	435
HERITAGE LANDSCAPE SUPPLY GROUP	CL	5206	*6369-002 Irrigation Repair Supplies	06/04/25	-99050	153.40	05/22/25	5/25	10	565	41550	435
HERITAGE LANDSCAPE SUPPLY GROUP	CL	5206	*7357-002 Irrigation Repair Supplies	06/04/25	-99050	543.60	05/22/25	5/25	10	565	41550	435
HOLLY THOMAS-MOWERY LLC	CL	5214	32600 Interpreting Svcs CCM 5/6/25	06/06/25	24033	120.00	06/03/25	6/25	10	0	48590	699
IDAHO CENTRAL CREDIT UNION	CL	5235	CC-142 Purchase Correction	06/12/25	-99030	-6.64	04/21/25	5/25	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	5235	CC-142 Double Charge from ICCU	06/12/25	-99030	6.64	04/21/25	5/25	10	0	20300	
IDAHO PRESS	CL	5200	56965 Legal/Pub Notice PH 6/17/25	06/04/25	-99054	80.88	05/31/25	5/25	10	0	41810	530
IDAHO PRESS	CL	5200	56964 Legal/Pub Notice PH 6/17/25	06/04/25	-99054	95.52	05/31/25	5/25	10	0	41810	530
IDAHO RECREATION AND PARKS ASSOCIATION	CC	142	CC-142 IRPA Conference Registration	06/12/25	-99030	325.00	04/23/25	5/25	10	0	44021	560
INSPECT LLC	CL	5185	May 2025 Plumbing Inspections	06/02/25	-99062	22,012.16	05/01/25	5/25	10	0	40500	453
INVICTUS TECHNOLOGY & EQUIPMENT	CL	5213	10103 Wifi Antennas/Stack Cables	06/05/25	24034	680.00	06/03/25	6/25	10	0	42200	371
JD PALATINE, LLC	CC	138	CC-138 Background Checks	06/11/25	-99031	42.90	05/01/25	5/25	10	0	41810	533
JERSEY MIKES	CC	142	CC-142 Lunch Freedom Park Crew	06/12/25	-99030	72.93	05/27/25	5/25	10	0	44022	690
JOHN BELISLE	CL	5212	Riverhouse Refund	06/05/25	24030	2,500.00	06/05/25	6/25	10	0	40700	883
JOHN BELISLE	CL	5212	Riverhouse Deposit Refund	06/05/25	24030	500.00	06/05/25	6/25	10	0	40700	882
KHALILA MITREVSKI	CL	5189	Reimburse B/A School Supplies	06/02/25	24023	27.53	05/09/25	5/25	10	101	44022	611
KIM MCKROLA	CL	5227	Riverhouse Deposit Refund	06/05/25	24035	250.00	06/02/25	6/25	10	0	40700	882
MAVERIK	CC	140	CC-140 Fuel Ford Truck	06/09/25	-99034	80.25	05/20/25	6/25	10	0	41560	626
MC FIRE, LLC	CL	5199	2522 50% Deposit for WUI Project	06/04/25	24024	12,497.50	05/15/25	5/25	10	0	45100	754
MERIDIAN TROPHY	CC	142	CC-142 Plaques B/A School Program	06/12/25	-99030	315.56	04/25/25	5/25	10	101	44022	690
MOUNTAIN ALARM	CL	5228	6404685 Security Backup/Monitoring	06/05/25	-99038	46.33	06/01/25	6/25	10	327	48900	333
MOUNTAIN ALARM	CL	5228	6404686 Fire Alarm/Monitoring	06/05/25	-99038	92.50	06/01/25	6/25	10	327	48900	333
MOUNTAIN MIKES	CC	142	CC-142 Employee Recognition	06/12/25	-99030	102.85	05/12/25	5/25	10	112	44022	690
MOUNTAIN MIKES	CC	142	CC-142 Employee Recognition	06/12/25	-99030	30.47	05/12/25	5/25	10	112	44022	690
PATHWAY CONCRETE & LANDSCAPING LLC	CL	5215	230 Concrete Work Boothill Park	06/05/25	-99045	24,833.77	06/02/23	6/25	10	0	45100	748
PGA TOUR SUPERSTORE	CC	141	CC-141 Prizes Golf Tournament	06/09/25	-99032	1,422.68	06/04/25	6/25	10	0	48500	595
REMARKABLE OSLO	CC	141	CC-141 International Fee	06/09/25	-99032	0.03	06/05/25	6/25	10	0	41810	611
REMARKABLE OSLO	CC	141	CC-141 Tablet Fee	06/09/25	-99032	3.17	06/05/25	6/25	10	0	41810	611
RICE CONTEMPORARY ASIAN CUISINE	CC	141	CC-141 Lunch Golf Tournament	06/09/25	-99032	90.98	06/05/25	6/25	10	0	48500	595
RIDLEY'S FAMILY MARKETS	CC	142	CC-142 Council Meeting Soda	06/12/25	-99030	27.53	05/23/25	5/25	10	0	41810	611
RIMI INC	CL	5186	May 2025 Mechanical Inspections	06/02/25	-99061	20,518.09	06/01/25	5/25	10	0	40500	455
ROYALTY ELECTRIC LLC	CL	5193	25001-6 Phone Service May 2025	06/02/25	-99057	1,148.00	06/02/25	5/25	10	0	41100	416
ROYALTY ELECTRIC LLC	CL	5218	24070-6 Network/Power Upgrades	06/05/25	-99042	33,700.00	06/03/25	6/25	10	0	42200	371
RUSTIC TABLE	CC	140	CC-140 Mayors Youth Cncl Breakfast	06/09/25	-99034	319.65	05/27/25	6/25	10	0	45070	590
RUSTIC TABLE	CC	140	CC-140 Planning & Zoning Meeting	06/09/25	-99034	72.21	05/23/23	6/25	10	0	45050	585
RUSTIC TABLE	CC	141	CC-141 Police Freedom Park Meeting	06/09/25	-99032	146.83	06/05/25	6/25	10	0	45050	585
SCHEELS	CC	138	CC-138 IRPA Basket	06/11/25	-99031	23.78	04/24/25	5/25	10	0	44022	611
SHELL OIL COMPANY	CC	142	CC-142 Ice School Day Out Event	06/12/25	-99030	25.38	05/27/25	5/25	10	109	44022	611
SHELL OIL COMPANY	CC	142	CC-142 Ice School Day Out Event	06/12/25	-99030	42.29	05/27/25	5/25	10	109	44022	611
SHELL OIL COMPANY	CC	142	CC-142 Ice School Day Out Event	06/12/25	-99030	42.29	05/27/25	5/25	10	109	44022	611
SHIRLEY BASSETT	CL	5224	Blake Park Deposit Refund	06/05/25	24036	50.00	06/02/25	6/25	10	0	40700	886
STANDARD RESTAURANT	CC	142	CC-142 Freedom Park Refrigerator	06/12/25	-99030	2,379.56	05/27/25	5/25	10	163	44022	621
STAR FIRE DEPARTMENT	CL	5184	May 2025 Star Fire Impact Fees	06/02/25	24025	250,190.48	06/01/25	5/25	10	0	40000	734
STAR SEWER & WATER DISTRICT	CL	5192	2025-124 Splash Pad Water Usage	06/04/25	24026	6,000.00	05/27/25	5/25	10	0	41100	420
STERLING HOMES	CL	5223	Refund Duplicate Permit	06/05/25	24037	1,716.32	06/02/25	6/25	10	0	40700	884
TAP HOUSE PUB & EATERY	CC	140	CC-140 Star Sewer & Water Meeting	06/09/25	-99034	101.83	05/30/25	6/25	10	0	45050	585
TARNA RAMSEY	CL	5188	Albertsons Reimburse Baking Camp	06/02/25	24027	11.11	05/27/25	5/25	10	102	44022	611
TARNA RAMSEY	CL	5188	Costco Reimburse Baking Camp Supplies	06/02/25	24027	30.18	05/23/25	5/25	10	102	44022	611
TATES RENTS	CL	5205	2443321119 Sod Cutter	06/04/25	-99051	58.24	05/06/25	5/25	10	0	41570	442
TATES RENTS	CL	5205	2453166215 Trencher	06/04/25	-99051	105.28	05/30/25	5/25	10	0	41570	442
TATES RENTS	CL	5205	2449914119 Trencher	06/04/25	-99051	384.16	05/22/25	5/25	10	0	41570	442
TATES RENTS	CL	5205	2443335119 Trencher	06/04/25	-99051	213.54	05/06/25	5/25	10	0	41570	442
THE HOME DEPOT	CC	138	CC-138 Sports Tools	06/11/25	-99031	52.88	05/09/25	5/25	10	0	44021	612
THE HOME DEPOT	CC	140	CC-140 Veterans Flag Pole Materials	06/09/25	-99034	133.48	05/23/25	6/25	10	130	45070	590
THE WEBSTAURANT STORE	CC	142	CC-142 Baking Camp Supplies	06/12/25	-99030	543.19	05/24/25	5/25	10	102	44022	612
ULINE	CL	5204	193206922 Picnic Table Freedom Park	06/04/25	-99052	1,305.52	05/21/25	5/25	10	0	45100	747
ULINE	CL	5204	193440387 Picnic Table Pavilion Park	06/04/25	-99052	10,168.17	05/28/25	5/25	10	0	45100	738
VALLEY WIDE COOP	CL	5219	A94664 Fuel	06/06/25	-99041	2,049.09	05/19/25	5/25	10	0	41560	626
VALLEY WIDE COOP	CL	5219	F35568 Gas Credit Allowance	06/06/25	-99041	-136.09	05/30/25	5/25	10	0	41560	626
WALMART	CC	138	CC-138 Sports Tools	06/11/25	-99031	185.02	05/08/25	5/25	10	0	44021	612
WALMART	CC	142	CC-142 Freedom Park Rental Supplies	06/12/25	-99030	154.93	05/27/25	5/25	10	163	44022	621
WALMART	CC	142	CC-142 B/A School End of Year Party	06/12/25	-99030	197.32	05/22/25	5/25	10	101	44022	611
WALMART	CC	142	CC-142 Baking Camp Supplies Week 2	06/12/25	-99030	81.90	05/29/25	5/25	10	102	44022	611
WALMART	CC	142	CC-142 Freedom Park Rental Supplies	06/12/25	-99030	69.64	05/22/25	5/25	10	163	44022	621
WES CROSS	CL	5201	Refund Cancelled Application	06/04/25	24028	230.00	06/04/25	5/25	10	0	40700	885
WESTERN RECORDS DESTRUCTION	CL	5222	0754611 02-64 Gallon City Hall	06/05/25	-99039	62.00	06/01/25	5/25	10	0	41100	411
WESTSIDE PIZZA	CC	142	CC-142 B/A School End of Year Party	06/12/25	-99030	93.09	05/23/25	5/25	10	101	44022	620
WORLD MARKET	CC	141	CC-141 Prize Baskets Golf Tournament	06/09/25	-99032	63.56	06/04/25	6/25	10	0	48500	595
YORGASON LAW OFFICES PLLC	CL	5191	559 City Attorney Additional Services	06/02/25	-99058	880.00	06/02/25	5/25	10	0	41300	322
YORGASON LAW OFFICES PLLC	CL	5191	559 City Attorney Monthly Services	06/02/25	-99058	3,500.00	06/02/25	5/25	10	0	41300	322
YOUNG ELEVATOR INC	CL	5229	1588 Routine Service/Maintenance	06/05/25	-99037	150.00	06/02/25	6/25	10	331	48900	333

Section 5, Item A.

**CITY COUNCIL REGULAR MEETING NOTES**

City Hall - 10769 W State Street, Star, Idaho

Tuesday, May 07, 2024 at 7:00 PM

**1. CALL TO ORDER – Welcome/Pledge of Allegiance**

Mayor Chadwick called the meeting to order at 7:00 pm.

**2. INVOCATION – Pastor Jason Carr, Eagle Christian Church**

Pastor Carr led the invocation.

**3. ROLL CALL**

**ELECTED OFFICIALS:** Mayor Trevor Chadwick; Council President David Hershey; Council Members Kevan Wheelock, Jennifer Salmonsens and Kevin Neilsen.

**STAFF:** City Attorney Chris Yorgason (remote); City Clerk – Treasurer Jacob Qualls; City Planning Administrator Shawn Nickel; Assistant City Planner / Code Officer Ryan Field; Public Information Officer Dana Partridge; City Engineer Ryan Morgan; Star Police Chief Zach Hessing and Deputy De Bie.

**4. PRESENTATIONS****A. Ada County Sheriff Presentation**

Ada County Sheriff Matt Clifford made a presentation discussing the varying services provided by the Ada County Sheriff's Office. He explained that the Ada County Sheriff's Office is the largest local law enforcement agency in Idaho with approximately 850 employees. They are separated into five different bureaus that include Police, Jail, Court, Administrative and Communications. He reviewed their service area, which includes 1100 square miles of land and 2100 square miles of roadways and has jurisdiction within the incorporated cities within Ada County. He discussed their K9 unit and SWAT teams and discussed their crime lab that will soon work independent of the state lab. Sheriff Clifford mentioned School Resource Officers in various schools including Star Middle School. They also have an off-road and a motorcycle patrol team. Administratively they have a records center, including property and evidence, concealed weapons and vehicle pool tracking and service. Finance keeps track of their budget. Community outreach is conducted through the administrative bureau. Sheriff Clifford discussed the Ada County Sheriff's Youth Foundation and projects funded with revenue received from youth plate sales and fundraising for a Victim's Fund. He discussed Ada County's 911 dispatch call center. Mayor Chadwick asked how many dispatchers the office has and how many are needed. Sheriff Clifford explained he thought there were around 54 dispatchers, a national agency suggests Ada County needs 74. The mayor urged those in attendance and listening online to contact the Ada County Commissioners to encourage adding the needed positions, especially where seconds count in an emergency. Sheriff Clifford discussed court services programs that help to keep the jail population down and mentioned transports; both in state as well as out of state extraditions. He said that a jail facility is like a small town inside of a building. They have a sewing center with inmates sewing the clothing that is worn, they also have inmates that obtain certification to run the kitchen and prepare the food that is served. This certification is something that is helpful for them when they leave the facility as well. Benevolent and charitable programs the Sheriff's office is involved in were reviewed including Shop with a Sheriff to help kids purchase clothing and backpacks for school and help with assistance for Christmas. Sheriff Clifford mentioned the staff turnover which means they are always hiring; he stated he would like to have more female applicants.

**CITY COUNCIL REGULAR MEETING NOTES**

City Hall - 10769 W State Street, Star, Idaho  
Tuesday, May 07, 2024 at 7:00 PM

Councilman Neilson asked about the Sheriff's office being nearly fully staffed. Sheriff Clifford attributes this to the area of the state that allows them to have a large number of applicants to choose from, they have competitive compensation and benefits and the culture in how the employees are treated; there are high expectations, but they are well-trained and equipped and he feels that goes a long way with employees. He said this is a good place to live which helps to attract good employees.

**B. Star Police Chief Monthly Report**

Star Police Chief Zach Hessing made his monthly report. Chief Hessing thanked Sheriff Clifford for what he does. In light of events that occurred this week, seeing deputies that lined the streets and people reaching out to help, he is proud to live and work in a community such as Star. He provided a report with statistics on the number of offenses reported for the month of March including person, property and society crimes with case report types. He reviewed call volume for traffic stops, detailing the number of infractions versus misdemeanor citations, showing a substantial increase from the same month last year. He discussed arrests, mental holds and response times.

Councilman Salmonsens asked if the number of drug charges making a significant jump was related to the increased number of traffic stops. Chief Hessing said it was lower previously and moves up and down, he discussed the types of drugs involved and said he's not certain of the correlation.

**C. Star Fire Chief Monthly Report**

Star Fire Chief Timinsky is out on training.

**D. PROCLAMATION: Provider Appreciation Day**

Mayor Chadwick read a proclamation declaring May 10, 2024, as Childcare Provider Appreciation Day.

**5. CONSENT AGENDA (ACTION ITEM) *\*All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*****A. ~~Approval of Minutes:~~ April 16, 2024****Approval of Claims****B. ~~Finding of Fact / Conclusion of Law~~ - Milled Olive Reconsideration (~~CU-23-06~~)****C. ~~Finding of Fact / Conclusion of Law~~ - Stonecrest / Dennis Downs Conditional Use Permit (~~CUP-24-01~~)****D. ~~Finding of Fact / Conclusion of Law~~ -Watson Annexation & Development Agreement (~~AZ-24-03 & DA-24-03~~)****E. ~~Finding of Fact / Conclusion of Law~~ -Star Fire Station No. 55 (~~CU-24-02~~)****F. ~~Final Plat~~ -River Park Phase 2 (~~FILE: FP-24-03~~)****G. ~~Final Plat~~ -Trident Ridge Phase 8 (~~FP-24-01~~)****H. ~~Final Plat~~ -Naismith Commons Phase 3 (~~FP-24-02~~)**

**CITY COUNCIL REGULAR MEETING NOTES**

City Hall - 10769 W State Street, Star, Idaho

Tuesday, May 07, 2024 at 7:00 PM

There was a request to remove item 5H. Naismith Final Plat, item 5B. Findings of Fact for Milled Olive Reconsideration and Item 5A Approval of April 16, 2024 Minutes.

- Council Member Salmonsens moved to approve the Consent Agenda consisting of items 5A Approval of Claims, item 5C Findings of Fact/Conclusions of Law for Stonecrest/Dennis Downs Conditional Use Permit, item 5D Findings of Fact/Conclusions of Law for Watson Annexation & Development Agreement, item 5E Findings of Fact/Conclusions of Law for Star Fire Station No 55, item 5F Final Plat for River Park Phase 2 and item 5G Final Plat for Trident Ridge Phase 8. Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

**6. PUBLIC HEARINGS with ACTION ITEMS:** (The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)

- A. **PUBLIC HEARING - UDC Updates** - The Mayor and Council will hear testimony regarding updates to the Unified Development Code: CHAPTER 1 THROUGH CHAPTER 8: UPDATES TO INCLUDE BUT NOT LIMITED TO ADMINISTRATIVE AND REGULATORY PROCESSES, APPLICATION CRITERIA, IMPLEMENTATION, PURPOSES, DEFINITIONS, APPLICABILITY, ZONING DISTRICT STANDARDS AND REGULATIONS, SPECIFIC USE STANDARDS, SUBDIVISION REGULATIONS, PLANNED UNIT DEVELOPMENTS, DESIGN AND DEVELOPMENT STANDARDS FOR SIGNS, BICYCLE PARKING, LANDSCAPE AND BUFFER AREA STANDARDS, LIGHTING AND STREETLIGHT STANDARDS, SIDEWALK STANDARDS UPDATE, DESIGN REVIEW AND DEVELOPMENT STANDARDS **(ACTION ITEM)**
- B. **PUBLIC HEARING - Municipal Code Updates** - The Mayor and City Council will hear Public Testimony on updates to Sections of Title 1 through 7 and Title 10 for amendment UPDATES TO INCLUDE BUT NOT LIMITED TO ADMINISTRATION, BUSINESS AND LICENCE REGULATIONS, HEALTH AND SANITATION, PUBLIC SAFETY, MOTOR VEHICLES AND TRAFFIC, PUBLIC WAYS AND PROPERTY, BUILDING REGULATIONS AND FLOOD CONTROL **(ACTION ITEM)**

Mayor Chadwick opened the public hearing at 7:46 p.m.

City Planning Administrator Shawn Nickel presented text amendments to Star Municipal Code Title 3 : Health and Sanitation, Title 4: Public Safety, Title 5: Motor Vehicle and Traffic, Title 7: Building Regulations and Title 8: Unified Development Code. Application requirements including publishing and agency notification in both Ada and Canyon Counties have been done, a City Council Workshop was held, and staff met with Builders and Developers in the community.

Shawn reviewed proposed changes to the Unified Development Code including public hearing process, neighborhood meetings, flag lot definition, fire department approval for street light installation, added emergency service turnaround definition for common drives, changed definition of flag lot, added

**CITY COUNCIL REGULAR MEETING NOTES**

City Hall - 10769 W State Street, Star, Idaho

Tuesday, May 07, 2024 at 7:00 PM

police stations to definitions of public infrastructure, accessory structures and clarified convenience store with and without fuel in CBD zone, clarify maximum height in CBD zone.

A recess was taken at 7:52 p.m. to make copies; the meeting reconvened at 8:04 p.m.

Shawn continued to review the amendments in the Unified Development Code. Chapter 1 Administration includes the public hearing process, update of public hearing sign requirements to increase the lettering from 2" to 6", application criteria to include de-annexation and vacation of plats and density standards. Addition arterials and collectors to mitigation proportionate share was discussed. Shawn reviewed sections for Certification of Zoning Compliance adding a process for building permit review to include setbacks and certain conditions of approval and findings of facts, Administrative Design Review defines the committee, a section was added for Vacation of Plats and Surety Agreements. Article D. Implementation Provisions, E. Definitions for Accessory Structures and Common Drives were discussed. There was discussion regarding the definition of Build to Rent Communities. It was decided to remove this section for further discussion at a future meeting. Other sections discussed included Event Facilities, Live/Work Unit, Flag Lot, Mixed Use Development and Multiple Use Buildings. Definitions and setbacks were added for accessory structures.

There was discussion regarding the Build to Rent Community definition that was added, concern was whether or not including the definition may cause regulation challenges related to Fair Housing. This will be removed for a future meeting.

Common drives, event and entertainment facilities both indoor and outdoor, Live Work definition and flag lots were included in the changes. Multi-use building definitions to differentiate between live work units and multi-use buildings were discussed. Public infrastructure added fire and police stations.

Chapter 3 Zoning Standards changes included Central Business District (CBD), name changes for C-1 Neighborhood Commercial and C-2 General Commercial, updated several zoning district uses and included height exceptions allowing for 60' heights in some zones.

Article B Additional Residential District Standards builds up residential standards, including minimum side elevations and additional landscaping buffers were discussed. Dwelling unit intent is to restrict the architectural style and elevations without restricting floorplans.

Irrigation and drainage ditch wording in intended to facilitate cooperation with the district.

Commercial and Office District wording was reviewed. Fencing and grading were discussed. City Engineer Ryan Morgan said the intent for the grading changes was to provide consideration for adjacent roadways and properties and to some control over hillside properties. Roof drainage, retaining walls and sidewalks and parkways were discussed.

Police Chief Zach Hessing discussed issues with people parking RVs on the street and living in them that led to the changes to the Traveling and Sleeping Quarters section. Assistant Planner discussed approved uses within the section. City Attorney Chris Yorgason discussed the city parking ordinance; this section is intended to be in addition to what is already included in code.

Covering and lighting for mailboxes and mailbox clusters, required number of off-street parking for Entertainment Facilities, Christmas Tree lots, Common open space outdoor amenities regarding community gardens and floatation devices at ponds were discussed. Events/Entertainment Facilities, Model Home, Office and Amenity Administrative Permit and Multiple Use Buildings were added to the Specific Use Standards section.

**CITY COUNCIL REGULAR MEETING NOTES**

City Hall - 10769 W State Street, Star, Idaho

Tuesday, May 07, 2024 at 7:00 PM

Drive-through establishments were updated including the requirement for a Conditional Use Permit and protection for residential developments along the Business District Corridor. It also adds lighting standards.

Changes to secondary dwellings and wireless communication facilities were reviewed, as were subdivision regulations and shared driveways.

That completed review of the changes to the Unified Development Code.

Council President Hershey was excused from the meeting at 9:48 p.m.

Assistant Planner Ryan Field reviewed changes to Star Municipal Code. He reviewed changes to the Health and Sanitation section regarding various types of noise, including noise that is continuous, in construction zones, motor vehicle mechanical related, habitual barking and other animal noise and roosters. Also reviewed was animal nuisance and impoundment. Maintenance of Farm Animals within the City section defined animals allowed and disallowed within city limits. The Right to Farm Act and animals that should and should not be allowed or should be exempt were discussed; the discussion included the lot size animals would be allowed on, including roosters and laying hens. Setbacks and noise barriers for neighboring properties being part of the permit were reviewed.

The public street definition was reviewed. Possession of an open container on public streets and within city parks was discussed. In the Motor Vehicle and Traffic section overnight parking on city property was added.

The Building Regulation section adopts the International Fire Code, adds heat detection in enclosed garages. Electrical code removes language to allow current code to determine how it is wired, and it also adopts the International Fire Code.

Council Member Nielsen asked about the Plumbing Code and landscaping changes that he had submitted that didn't make it into these changes.

It was suggested to table the hearing to allow for the changes discussed during the hearing to be made.

Todd Collins asked if input could be provided at the next meeting; public comment will be allowed at the continued hearing.

- Council Member Salmonson moved to table item 6A and 6B, the public hearing for UDC Update and Municipal Code Update to June 4th. Council Member Neilsen seconded the motion. ROLL CALL VOTE: Wheelock – aye; Salmonsens – aye; Neilsen – aye. Motion carried.

**7. ACTION ITEMS:****A. Development Agreement Modification - Milepost Commons (**FILE # DA-21-15-MOD**)**

- Council Member Salmonsens moved to approve item 7A Development Agreement Modification for Milepost Commons File# DA-21-15-MOD. Council Member Wheelock seconded the motion. Council Member Neilsen asked what is being changed. City Planning Administrator Shawn Nickel explained that Milestone Ranch Subdivision was approved a few years ago with a Development Agreement,



**CITY COUNCIL REGULAR MEETING NOTES**

City Hall - 10769 W State Street, Star, Idaho

Tuesday, May 07, 2024 at 7:00 PM

Milepost Subdivision was approved a month ago, the Milestone Development Agreement was modified to include that subdivision, amending and restating the original Development Agreement bringing in the original conditions of approval. Staff brought in the original Milestone Ranch conditions of approval including setbacks and the proportionate share and added a new section and development standards for the Milepost Commons Subdivision. ROLL CALL VOTE: Wheelock – aye; Salmonsens – aye; Neilsen – aye. Motion carried.

B. **Riverhouse Parking Lot** - Review / Approve of Riverhouse Parking Specs and Drawing **(ACTION ITEM)**

The drawing was not in packet; it was handed out. City Engineer Ryan Morgan said the intent is to extend the parking and mirror existing parking. Ryan pointed out a location for a future public restroom facility. Utilities are planned to be run through the parking lot with stubs for future buildings. The restroom is intended to be used for the River Walk and events held in the grass area.

- Council Member Neilsen moved to authorize the bid documents be sent out for bid and approve the design. Council Member Salmonson seconded the motion. ROLL CALL VOTE: Wheelock – aye; Salmonsens – aye; Neilsen – aye. Motion carried.

8. **ADJOURNMENT**

Mayor Chadwick adjourned the meeting at 10:50 p.m.

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho

Tuesday, June 03, 2025 at 7:00 PM

**PUBLIC NOTICE: THIS MEETING IS BEING RECORDED AND PLACED IN AN ONLINE FORMAT, PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO/AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.**

**1. CALL TO ORDER – Welcome/Pledge of Allegiance**

Mayor Chadwick called the meeting to order at 7:06 p.m. and led the Pledge of Allegiance.

**2. INVOCATION – Bishop Charles Ashton, Church of Jesus Christ of Latter-Day Saints**

Bishop Ashton provided the invocation.

**3. ROLL CALL**

**ELECTED OFFICIALS:** Mayor Trevor Chadwick, Council President David Hershey and Council Members Kevan Wheelock, Jennifer Salmonsens and Kevin Nielsen.

**STAFF:** City Attorney Chris Yorgason; City Clerk Shelly Tilton; City Planning Administrator Shawn Nickel; Assistant City Planner and Sports & Recreation Director Ryan Field; City Engineer Ryan Morgan; Public Information Officer Dana Partridge and Star Police Chief Zach Hessing.

**4. PRESENTATIONS**

- A. Police Chief Zach Hessing introduced Cameron Stuart as Code Enforcement Officer for the city. He presented the April 2025 police report which included person, property and society crimes for the month. Calls for service and proactive policing calls were reviewed. Chief Hessing discussed call types including crash response, mental health, domestic, juvenile activity, location checks, property crimes, school checks, traffic stops and welfare checks. He also reviewed the number of arrests and citations and discussed response time. Code enforcement statistics will be added for future reports.

**5. CONSENT AGENDA (ACTION ITEM)** *\*All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*

- A. **Approval of Claims**
- B. **Approval of Minutes: May 6, 2025**
- C. **Approval of Minutes: May 27, 2025 Budget Workshop**
- D. **Hacienda De Estralla Planned Unit Development, Development Agreement and Preliminary Plat Findings of Fact/Conclusions of Law**
- E. **The Quarry at River Park Preliminary Plat and Private Road Findings of Fact/Conclusions of Law**
- F. **Milestone #3 Easement Vacation (VAC-25-03)**
- G. **Milestone #4 Easement Vacation (VAC-25-02)**

- Council Member Salmonsens made a motion to approve the Consent Agenda consisting of 5A Approval of Claims, 5B Approval of Minutes for May 6th 2025, 5C Approval of Minutes May 27th 2025 Budget

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho

Tuesday, June 03, 2025 at 7:00 PM

Workshop, 5D Hacienda De Estralla Planned Unit Development, Development Agreement and Preliminary Plat Findings of Fact/Conclusions of Law, 5E The Quarry at River Park Preliminary Plat and Private Road Findings of Fact/Conclusions of Law, 5F Milestone #3 Easement Vacation and 5G Milestone #4 Easement Vacation. Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. The motion carried.

**6. PUBLIC HEARING**

- A. Star River Crossing Rezone & Development Agreement (RZ-25-01)(DA-25-01)** The Applicant is requesting approval of a Rezone to Central Business District (CBD) and a Development Agreement for a proposed Future commercial development. The property is located at 10122 W. State Street in Star, Idaho, and consists of 6.27 acres.

Mayor Chadwick opened the hearing at 7:19 p.m. Council members have had no ex-parte communication.

City Planning Administrator Shawn Nickel reviewed the application for a Rezone and Development Agreement. He reviewed the property location, surrounding land use designations and site characteristics. Application requirements include pre-application and neighborhood meetings, agency notifications, legal notice publications and site posting have been completed. The request meets Unified Development Code requirements and complies with the Comprehensive Plan. There were no late exhibits. Items for special consideration include approved commercial uses, emergency services mitigation fees and proportionate shares for Seneca Springs/State Street signal light. Staff is recommending approval with conditions of approval in the development agreement. Shawn reviewed the site plan, pointing out the location the proposed fitness center could be located on the property. Part of the application is the continued development of the backage road. He said Anderson Reserve will construct their portion of that collector road as part of their development. Any uses approved tonight would come back to staff for design review. Shawn said when Rockbridge Subdivision was approved a land strip was approved as a common lot, that strip allows the connection. Staff is recommending the owner of this property build the road to that strip and the city will work to get an easement or right-of-way for the connection.

Council Member Wheelock asked about the spite strip for the connection holding this up. Shawn explained it would be an eminent domain process to take the strip to dedicate it to the public; it is unknown how long that will take. A meeting was held last week to try to get help from the transportation agencies. The mayor said the transportation agencies will have to do it; the city isn't able to.

Council Member Salmonsens asked about the backage road. It will be built to public road standards but be a private road until a plat is approved and recorded which will establish the public right-of-way and approved by the Ada County Highway District.

Chris Todd presented the project with a vicinity map. He said the Central Business District (CBD) zoning matches the current comprehensive plan; the site is comprised of 2 parcels. A lot line adjustment will be done to create the north lot for a specialized athletic training facility. He discussed transportation which is the biggest site constraint. Cross access would allow development of other properties. He said the common collector would be a private road with a dedicated easement for the

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho

Tuesday, June 03, 2025 at 7:00 PM

city. The city can then work with the transportation agencies. This is part of the Economic Corridor Access Plan for access for future development. Chris reviewed the preliminary training facility site plan including setbacks, height and landscape buffering and discussed requested uses for the rest of the property. They have asked for childcare, preschool, live/work, fueling station, garden nursery, retirement home, indoor shooting range and drive through or service window for possibly a bank and/or food establishment. They would like these to be included in the development agreement as allowable uses.

Council Member Wheelock asked about the training facility location, it would take the majority of the back (northern) section. All roads and approaches will be paved and built to standards. Turn around for fire access was discussed. Council Member Wheelock said he would like an indoor shooting range but would be hesitant to approve it close to the residents in the area. Mayor Chadwick doesn't feel a car wash is an appropriate permitted use, it possibly could be conditional. Council Member Nielsen asked about areas where he anticipates the live/work and drive through would be; potential locations, based on initial discussions, were reviewed. The childcare designations they are requesting are a childcare center and childcare preschool or early learning. Council Member Salmonsens would like the laboratory use to be conditional use; it was clarified that would be for a research lab. She would also like the portable classroom/modular building to be conditional. Definition of winery was discussed; this was requested as a tasting room.

Shane Jimenez spoke in favor of the application. He said that one thought on the boulevard property is they would rather not build an entire boulevard to ACHD standards and then find out there isn't a way to continue it through to the Seneca springs property; they would recommend waiting until it is known that it can be built out. It will take some time; the project can be conditioned so that if the city gets the access figured out it will be built out. It can be a condition and also in the development agreement. Council Member Wheelock asked if the road should be bonded to ensure it is built out. Shawn suggested it be bonded if the development gets to the last phase and it hasn't been done. In the letter to the city from Chris it states that they are asking if the agreement isn't made between ACHD he would like that easement or road to be returned to him. If the city, ACHD and ITD don't come to an agreement to build a public road through there they would like the opportunity to develop it, having some flexibility is what they are looking for. The mayor suggests in two years having another hearing to determine where it is at. Shawn said the development agreement can provide conditions so it can be looked at in the future, he explained it would be an easement rather than a right-of-way that would be relinquished back to the developer if needed. Council Member Nielsen said there are other users that have not been required to develop this, maybe a cul-de-sac at the end would allow for a turnaround. Seneca Springs wouldn't be an outlet but it's self-contained for those properties between Seneca Springs and Taurus. Shawn explained access options. Council Member Nielsen said this road is a significant feature that has been required. Development timing was discussed; Mr. Jimenez estimated he could see the site being developed in 18-24 months. Shawn said that ITD is actively looking into this, he would think there could be an idea in 12 months what can happen with it and where the city is legally on it.

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho

Tuesday, June 03, 2025 at 7:00 PM

Randy Bates spoke against the application. He is representing Rockbridge Subdivision HOA and said this isn't the first time commenting on this. They don't oppose the rezone; they thought it was already zoned CBD. He said the piece of land being referred to as a spite strip is a strip of land owned by Rockbridge HOA, a common area strip between the subdivision and this development. He said the HOA is allowed to restrict use of the land, they don't feel that ACHD has the right to seize the property. From the HOA Board's perspective, they have a concern with the city pushing the requirement of developing this road on to the developer. He says it is concerning that a precedent could be set with eminent domain being looked at for this. Additionally, they wouldn't agree with an indoor range so close to homes, that would be concerning. He wonders how the live/work space conflicts with the CBD plan, the mayor said it is allowed and there is one down the street from this property. Randy discussed landscaping for a noise border. The mayor discussed a traffic light at Seneca Springs Way and State Street, saying there is a give and take with the HOA; it will take these businesses helping with funding to get it put in. So, if they want the light this project will help. He discussed the use of eminent domain by the transportation agencies to get roadways along Highway 16 and a portion of Chinden Road. Rules within the HOA that won't allow for the sale or conveyance of the property were discussed. Randy said it is concerning to give up rights to a piece of land with the hope the light would be put in. The mayor said there is approval from ITD for the light, but it needs to be funded. O'Reilly and Anderson Reserve have contributed to the light so far. Council Member Nielsen asked about the HOA rules that disallow the conveyance of the property, most HOA covenants he has seen would allow for the turnover of property, the mayor said their legal counsel advised them that their rules don't allow it. It would require 90% of the HOA members to change the rule and they wouldn't be able to get that participation. It was discussed that the city now requires connectivity for access, spite strips are no longer allowed. This spite strip was approved many years ago. The city can't do eminent domain on the roads; it must be done by the highway district.

Kathy Freeman is neutral on the application. She has talked with ITD to discuss the traffic issue, she suggested lowering the speed limit on highway 44, she said lowering the speed limit would cost less than putting in stop lights; making it 5 lanes instead of 3 will make it a thoroughfare. She said by having the speed limit lower you might be able to get out of the side street onto the highway unless it goes to 5 lanes and then maybe not. She asked about the type of club the athletic club will be. She wondered how many stories it will be; stating a facility of this size might be better closer to Highway 16. The mayor said this building is lower than the maximum allowed height, half the height of Greyloch. She isn't sure if the size of the proposed building is the right fit for downtown.

Chris addressed questions. He said he has been trapped into managing HOAs in the past and 90% participation is tough. He discussed noise and lighting. Lowering the speed limit is a slow process but maybe it can be done. The proposed facility isn't an elitist facility but they do want to train kids to be elite athletes. Landscaping, fencing, and setbacks to provide sound buffering were discussed. They are under contract to sell that piece of property, they would come up with a specific landscape plan. The mayor said to come up with a plan with heavy landscaping to protect the residences. Taylor Bateman said the goal is to have access on the north side of the athletic building, but parking will be on the south side of the building. The mayor said tall thick landscaping would need to be put in on the north



**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho

Tuesday, June 03, 2025 at 7:00 PM

side so that someone else doesn't come in and put parking next to the Rockbridge residents. It was stated that a green screen with evergreens will be placed along that boundary.

Requested uses were discussed. Council Member Nielsen is in favor of including the shooting range, live work, drive through and fitness center as permitted rather than conditional uses with the shooting range limited to certain areas. The other listed permitted uses would remain. Shawn suggested that the fitness center be the only approved conditional use on the north side of the backage road and any new uses would require a new hearing.

Mayor Chadwick closed the public hearing at 8:42 pm.

Council Member Nielsen finds the application to be consistent with the vision of the comprehensive plan, zoning ordinances and uses for the corridor. He likes the conversion to the CBD zone; he is supportive of this .

Council Member Salmonson said it is difficult without knowing the future of the backage road; hearing from Rockbridge hopefully a good answer can be found She is also in support of the project, it is good commercial use of the area that makes sense.

The mayor asked to be sure to include the cost of the light.

- Council Member Nielsen moved to approve with conditions as stated in the staff report and with the additional conditions to take precedent if they are in conflict with the staff report. The first condition is that the applicant provide \$3.46 per square foot of total building space as a pro rata share to the light that is to be built at Seneca Springs, that they provide landscape buffering for the neighbor to the west to keep lights from shining onto that property just to protect them a little bit and then to have a greenscape buffer along the north to protect residents from light and sound (trees that stay green all year long), conditional uses for live/work, fitness center, shooting range and drive up window be permitted on these properties that the only conditional use that would be permitted be the fitness center north of the backage road and a bond with an expiration date that may be needed to complete the road.

Shawn suggested providing the easement and phasing in the last phase of the development and including it in the development agreement.

Council Member Wheelock requested asphalt to the other access. The mayor said it would probably be required by the fire department anyway. Council Member Nielsen added this to his motion as a condition of approval.

Council Member Nielsen requested the applicant to reach out to the HOA to see if there is a way to construct it without eminent domain.; not a condition just a recommendation.

Council Member Salmonsen asked about changing the portable classroom and laboratory from permitted to conditional. There was a discussion about laboratories.

Council Member Nielsen amended the motion to prohibit portable classrooms. Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsen – aye; Nielsen – aye. The motion carried.

**6. ACTION ITEMS:****A. ~~Fiscal Year 2023 Audit~~**



**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho

Tuesday, June 03, 2025 at 7:00 PM

**B. City of Star Ordinance 417-2025 for Sorano Estates Subdivision with Development Agreement**

City of Star Ordinance 417-2025 for Sorano Estates Subdivision with Development Agreement was presented.

- Council Member Hershey moved to introduce and pursuant to Idaho Code, Section 50-902, the rule requiring an ordinance to be read on three different days, with one reading to be in full, be dispensed with and that Ordinance No. 417-2025 for Sorano Estates Subdivision with Annexation be considered after reading once by title only. Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. The motion carried.
- Council Member Salmonsens moved to approve Ordinance 417-2025 Sorano Estates Subdivision Annexation an ordinance rezoning certain real property located in Star, Canyon County, Idaho; more specifically located at 6497 and 6689 Hwy 44, Star, Idaho (Canyon County Parcels R340140000, R340120000, R340420000, R340430000, R340190100 & R340410110); the property is owned by Fagundes Brothers, LLC; establishing the zoning classification of the annexed property as Residential District with a Development Agreement and Planned Unit Development (R-3-DA-PUD) and Neighborhood Commercial District with a Development Agreement and Planned Unit Development (C-1-DA-PUD) of approximately 92.68 acres; directing that certified copies of this ordinance be filed as provided by law; providing for related matters; and providing for an effective date. Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. The motion carried.

**C. Downtown Revitalization Plan Scope of Work & Contract**

Ryan Morgan presented the scope of work and contract for the downtown revitalization plan. Parking studies will be incorporated in the plan. The cost is \$99,570 and could be completed by December 2025. Market analysis comparison was discussed; three comparable cities will be determined. How the downtown was developed while they were growing will be considered. Ensuring cities with peak versus consistent growth was discussed.

- Council Member Hershey moved to approve this at \$99,750. Council Member Wheelock seconded the motion. The mayor clarified that the market analysis is included in the cost. ROLL CALL VOTE: Nielsen – aye; Salmonsens – aye; Wheelock – aye; Hershey – aye. The motion carried.

**D. Executive Session – Idaho Code 74-206(f) To Communicate with Legal Counsel regarding potential and/or pending litigation.**

At 9:02 p.m. Council Member Nielsen moved according to Idaho Code 74-206(f) to enter into executive session to communicate with legal counsel regarding potential and/or pending litigation. Council



## CITY COUNCIL REGULAR MEETING MINUTES

City Hall - 10769 W State Street, Star, Idaho

Tuesday, June 03, 2025 at 7:00 PM

Member Salmonsens seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. The motion carried.

Regular session reconvened at 9:24 p.m.

### E. Actions after Executive Session

There was no action taken.

### F. ADJOURNMENT

Mayor Chadwick adjourned the meeting at 9:24 p.m.

DRAFT



CITY OF STAR

**LAND USE STAFF REPORT**

**TO:** Mayor & Council

**FROM:** City of Star – Planning & Zoning Department *Shawn T. Smith*

**MEETING DATE:** June 17, 2025  
**FILE(S) #:** FP-25-04, Final Plat, Legado Subdivision Phase 2

**REQUEST**

The Applicant is requesting approval of a Final Plat for Legado Subdivision Phase 2 consisting of 37 residential lots and 6 common lots on 11.97 acres. The subject property is generally located south of Highway 44, west of Bent Lane, in Star, Idaho 83669. Canyon County Parcel Number is R3403500000.

**APPLICANT/OWNER:**  
Bent Lane, LLC  
1691 S. Grand Fork Way  
Meridian, Idaho 83642

**REPRESENTATIVE:**  
Cheryl Heath  
KM Engineering, LLP  
5725 N. Discovery Way  
Boise, Idaho 83713

**PROPERTY INFORMATION**

Land Use Designation - Residential R-5-DA

**Phase 2**  
Acres - 11.97 acres  
Residential Lots - 37  
Common Lots - 6  
Commercial Lots - 0

## HISTORY

May 1, 2007	Council approved an application for Hidden Meadows Subdivision Annexation and Zoning with Preliminary Plat to R-5. The development consisted of 108 residential lots and 24 common lots on approximately 24 acres.
July 19, 2022	Council tabled public hearing for Star River Ranch North Subdivision Preliminary Plat (PP-22-05) to September 6, 2022.
September 6, 2022	Council tabled public hearing for Star River Ranch North Subdivision Preliminary Plat (PP-22-05) to March 7, 2023.
March 7, 2023	Council tabled public hearing for Star River Ranch North Subdivision Preliminary Plat (PP-22-05) to March 21, 2023.
March 21, 2023	Council approved Star River Ranch North Subdivision Preliminary Plat (PP-22-05). The subdivision consists of 71 single-family residential lots and 12 common lots on 23.77 acres with a gross density of 2.99 du/ac.
October 17, 2023	Council approved applications for the Final Plat of Legado Subdivision (Star River Ranch North), Phase 1, (FP-23-13). Phase 1 included 34 residential lots and 7 common lots on 11.70 acres.

## GENERAL DISCUSSION

The Final Plat layout for Phase 2 of Legado Subdivision generally complies with the approved preliminary plat. The Preliminary Plat was approved for a maximum of 71 single family residential lots. Phase 1 has 34 residential lots and Phase 2 has 37 residential lots, leaving zero (0) residential lots remaining, resulting in full build out of the development.

### **Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:**

The Preliminary Plat submitted contains 71 single family residential lots, and 12 common area lots for a total of 83 lots. The gross density of the proposed development is 2.99 dwelling units/acre. The residential lots range in size from approximately 7,949 square feet to 14,342 square feet with an average buildable lot area of 9,280 square feet. The applicant had indicated in their Open Space Exhibit that the development would contain a total of 4.34 acres (18.3%) of overall open space, which includes 3.38 acres within the proposed plat and .96 acres located within an area in Star River Ranch No. 1. The applicant's intent was to improve this .96-acre area for a future dog park that will be utilized by both subdivisions. Council removed the .96-acre dog park from the plan. The original total usable open space proposed was 3.63 acres (15.4%). The Unified Development Code, Section 8-4E-2 states that all developments shall have a total of 15% open space and 10% usable open space. With the removal of the .96-acre dog park, the

total open space and usable open space still meets the minimum requirements of the UDC. Streets are proposed to be public throughout the development and will measure 36 ft from back of curb to back of curb and satisfy Section 8-4D-34B(4) of the UDC.

The development will be primarily accessed off Bent Lane via Balto Street. There will also be access via Silverthorne Avenue from Bent Lane along the south. Silverthorne Avenue will connect to the future northern collector road when that property is developed.

The current Unified Development Code, Section 8-4E-2 requires a development of this size to have 2 site amenities. The preliminary plat shows a total of 3 amenities. The applicant is proposing a large, central open area that will house 2 soccer fields. The applicant is also proposing connected walking paths within the development and a future dog park.

#### **ADDITIONAL PRELIMINARY PLAT DEVELOPMENT FEATURES:**

- **Sidewalks:** - Sidewalks are proposed at five-foot (5') widths and will be attached throughout the overall subdivision. At the time of submittal, detached sidewalks were not required under the UDC that was in affect at the time of submittal of the application. Staff recommends that the Council consider requiring detached sidewalks that meet the current intent of the City for streetscapes.
- **Lighting:** - Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has not submitted a streetlight plan, indicating location of lights or a street light design. A condition of approval will be required to receive staff approval of streetlights prior to final plat approval.
- **Landscaping:** - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. The landscape plan submitted with the Preliminary Plat shows street trees throughout the large common area and dog park as required per code. Not all street trees are on the landscape plan and appear to be located by the builder. A condition of approval will be to hold certificates of occupancy until trees are planted per code. Common areas along the roads do not contain the necessary number of trees called for by code. A condition of approval will be to submit a new plan showing the correct number of street trees in all the common areas.
- **Setbacks:** – The Applicant is requesting 5-foot side yard setbacks that were allowed in the R-5 zoning district at the time of submittal of the application and prior to the June 7, 2022, Code revision. All other setbacks of the current R-5 zone are consistent with the new R-3 setbacks established by the June 7, 2022, UDC rewrite.

- **Block Length:** - Blocks 2 and 3 are over 750' in length. Therefore, Council must approve the waiver to the block length for these areas.
- **Mailbox Cluster:** - Applicant has provided communication to the Star Postmaster and they are awaiting his response on cluster location.
- **Subdivision Name:** - Applicant has provided documentation showing approval for the subdivision name.
- **Street Names:** - Applicant has provided documentation showing approval for the street names and they are showing accurately on the submitted preliminary plat.
- **Phasing:** - Applicant is proposing the development will be built out in two phases, which could change based on market conditions.

#### **Staff analysis of Final Plat Submittal:**

**Lot Layout** – The gross density of Phase 1 is 3.09 du/acre.

**Common/Open Space and Amenities** – Council conditioned site amenities be built in Phase 1.

- Pickle Ball Court
- Picnic Tables
- Open Grass Area

**Sidewalks** – Sidewalks are proposed to be 5 foot wide and detached throughout the development with eight foot (8') wide landscape strips.

**Streetlights** –A Streetlight design has not been provided with the final plat application. The proposed light style and fixture must meet Dark Sky requirements and comply with the City Code. A streetlight plan was included in the final plat application. Staff is supportive of the location of streetlights in this phase. **The Applicant shall submit and receive approval for the streetlight style prior to installation and signing the final plat.** The same streetlight design shall continue throughout the entire development.

**Landscaping** - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements.**

**Setbacks: Council approved 5-foot side yard setbacks for this development.**

**Block Length** – Block length waivers were approved by Council.



**Setbacks** – The Council approved 5-foot side yard setbacks. The Applicant has not requested any additional special setback, and the development will adhere to the requirements of the R-3/R-5 zone.

Zoning District	Maximum Height	Minimum Yard Setbacks Note Conditions			
	Note Conditions	Front (1)	Rear	Interior Side	Street Side
R-3 R-5	35'	15' to living area/side load garage  20' to garage face	15'	5'	20'

**Mailbox Cluster** – Applicant has provided documentation from Mel Norton, Star Postmaster depicting the approved location for the mailbox cluster for the development. The approval is to add additional clusters to the Milestone Ranch mail clusters. The Unified Development Code Section 8-4A-21: states that All mailbox clusters shall be approved by the postmaster prior to installation. **All clusters shall be covered with an architecturally designed cover, to be approved by the Administrator prior to final plat signature. All covers shall be provided with lighting and shall be stained/painted and kept in good condition at all times.** The administrator may issue a letter of violation to the HOA when any mailbox cluster or cover falls into disrepair. Maintenance shall be included in the CC&R's. A turnout shall be installed adjacent to the mailbox cluster to provide community access, if approved by the transportation authority and postmaster. The design shall be included as part of the preliminary plat submittal.



Section 8-3B-3 of the Unified Development Code sets forth additional residential district standards in the City of Star.

J. Additional residential standards applying to all new residential subdivisions:

1. Residential Elevations:

- i. Building elevations for all residential uses shall be submitted with any development application and will be included as part of any preliminary plat, development agreement and/or any other condition of approval.
- ii. Single-Family Residential Building Front and Side Elevation Minimum Standards. These standards shall be reviewed for compliance with all submitted residential building permits under the Building Zoning Certificate process. Council may adopt these standards as part of a development agreement or preliminary plat approval. The following minimum standards shall be applied to all new residential structure elements in all zones:
  1. Exterior finishes shall be primarily horizontal/vertical wood or wood product siding, brick, stucco, stone, or other decorative masonry product. **A minimum of three (3) architectural elements shall be provided for all single-family residential structures.** These elements shall include, but are not limited to, shingled, horizontal or vertical siding, stone or brick highlights, garage door windows or hardware, colored window frames, or other architectural treatments deemed appropriate by the administrator.

Section 8-3B-3 designates EXTERIOR ARCHITECTURAL ELEMENTS:



2. Two-story detached structures should provide a minimum of one, second story side window per side elevation, when appropriate.

3. A minimum one (1) foot overhang shall be provided on all roof overhangs. Administrator may approve deviation from this standard.
  4. **Dwellings backing up to collector or arterial streets shall have rear elevations and/or architectural designs that provide depth and dimension, avoiding the flat-wall appearance. These elements must be functional and may not be minimized or created solely for the purpose of compliance with this provision.**
  5. Additional landscaping buffers may also be required.
2. Dwelling Unit Design. Building styles shall be spread throughout the entire development (including all contiguously owned and phased properties). Nowhere within the development shall any fewer than 5 different exterior elevation styles and/or floorplans be located adjacent to each other. The number of different dwelling styles within a development shall be as follows:
    - a. **1 to 50 units = minimum of 5 architectural styles and/or floorplans**
    - b. 51 to 100 units = minimum of 7 architectural styles and/or floorplans
    - c. 101 and over units = minimum of 10 architectural styles and/or floorplans
  3. Homeowners Associations. All subdivisions shall be maintained by a Homeowners association with appropriate Conditions, Covenants and Restrictions (CC&R's). CC&R's are not enforceable by the City and are private contracts between the developer and the property owner.

Irrigation and drainage ditches shall not be covered, tiled or re-routed as part of any new residential development unless specifically approved by Council and the applicable irrigation and/or drainage district. Perforated piping may be considered as an option if tiling is allowed.

**Street Names** – Letter of approval of street names from Canyon County was included in the application packet and are reflected accordingly on the submitted final plat.

**Subdivision Name** - Applicant has provided documentation showing approval for the subdivision name.

**Landscaping** - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade

tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements.**

**Fencing Plan** – The applicant has submitted a fencing plan that is consistent with Phase 1, using a solid vinyl fence along the perimeter of the parcel and a vinyl fence with a lattice top on the interior common areas. Any changes to this plan must receive Staff Approval prior to installation.

**Roadways** – The Applicant is proposing that local roads be 36 feet wide from back of curb to back of curb in a 50-foot-wide right of way. The Applicant is also proposing that the entry way have a median of 8 feet with 21-foot-wide drive aisles from back of curb to back of curb. The proposed roadways satisfy the Unified Development Code. All roadways and right-of-way dedications, including street connection to the north (Landruff Lane) shall be included in this second phase.

**Conditions added by Council to the Preliminary Plat and Development Agreement**

- The subdivision is approved for a maximum of 71 residential lots.
- The site amenities shall be installed in Phase 1. The applicant shall remove the dog park area from the development and remove the soccer field from the common area plan. 2 new amenities shall be added to the development with details provided to Staff prior to final plat application.
- The large open space area shall not be constructed using bentonite or other materials that may prevent the area from properly draining. Additional usable open space may be required if the common area is not usable. The City Engineer shall approve the drainage plan specific to the usable open space area.
- The Council approves waivers to the block lengths in the development. The applicant shall work with the Highway District on traffic calming measures for those blocks.
- The development shall be required to provide detached sidewalks along all roadways.
- All pathways shall be paved.
- The Development shall have a separate Homeowners Association and CC&R’s independent from Star River Ranch Subdivision.
- The development shall have conduit installed for future fiber-optic cables.

**ITD Proportionate Shares** – This phase will be required to provide proportionate share contributions in the amount of \$37,000.00, to be paid prior to signature of the final plat.

PUBLIC NOTIFICATIONS

Notifications of this application were sent to agencies having jurisdiction on May 20, 2025.

May 23, 2025	DEQ	Standard Letter
May 14, 2025	CDH	Plan Comments
May 27, 2025	Star Engineer	Approval Review

May 20, 2025      Republic Services      Review Email  
May 14, 2025      HD#4      Review Letter

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

- A. The Plat is in conformance with the Comprehensive Plan.  
*The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.*
- B. Public services are available or can be made available and are adequate to accommodate the proposed development.  
*Staff finds that all public services are available and able to accommodate this development.*
- C. There is public financial capability of supporting services for the proposed development.  
*Staff knows of no financial hardship that would prevent services from being provided.*
- D. The development will not be detrimental to the public health, safety or general welfare; and,  
*Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.*
- E. The development preserves significant natural, scenic or historic features.  
*Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.*

CONDITIONS OF APPROVAL

**Conditions added by Council to the Preliminary Plat and Development Agreement**

- The subdivision is approved for a maximum of 71 residential lots.
- The site amenities shall be installed in Phase 1. The applicant shall remove the dog park area from the development and remove the soccer field from the common area plan. 2 new amenities shall be added to the development with details provided to Staff prior to final plat application.
- The large open space area shall not be constructed using bentonite or other materials that may prevent the area from properly draining. Additional usable open space may be required if the common area is not usable. The City Engineer shall approve the drainage plan specific to the usable open space area.
- The Council approves waivers to the block lengths in the development. The applicant shall work with the Highway District on traffic calming measures for those blocks.
- The development shall be required to provide detached sidewalks along all roadways.

- All pathways shall be paved.
- The Development shall have a separate Homeowners Association and CC&R's independent from Star River Ranch Subdivision.
- The development shall have conduit installed for future fiber-optic cables.

### **Conditions Specific to Signature of Final Plat.**

- 1. Per the Development Agreement and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the city \$1,000 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$71,000. \$37,000 is due (37 residential lots x \$1000) to be paid before signing the final plat of phase 2.**
- 2. Prior to signature of the final plat,** a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
- 3. As built plans for pressurized irrigation systems shall be submitted to the City of Star prior to signing the final plat.**
4. Applicant shall provide streetlight design for approval by staff.
5. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
6. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
7. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
8. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
9. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.

### **Additional Conditions of Approval**

1. The approved Final Plat for Legado Subdivision (Star River Ranch North), Phase 2 shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 2. Applicant shall meet all the setback requirements in the Unified Development Code Section 8-3A-4, unless a waiver is applied for and approved by the council. 5-foot side yard setbacks have been approved by Council.**
- 3. The applicant shall receive approval of all Floodplain applications and meet all FEMA requirements, if applicable, prior to approval of the final plat. The applicant shall also submit a Permit to Develop in an Area of Special Flood Hazard to the Floodplain Manager for review and approval prior to any development work on the property.**



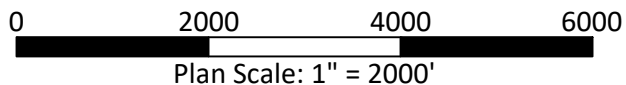
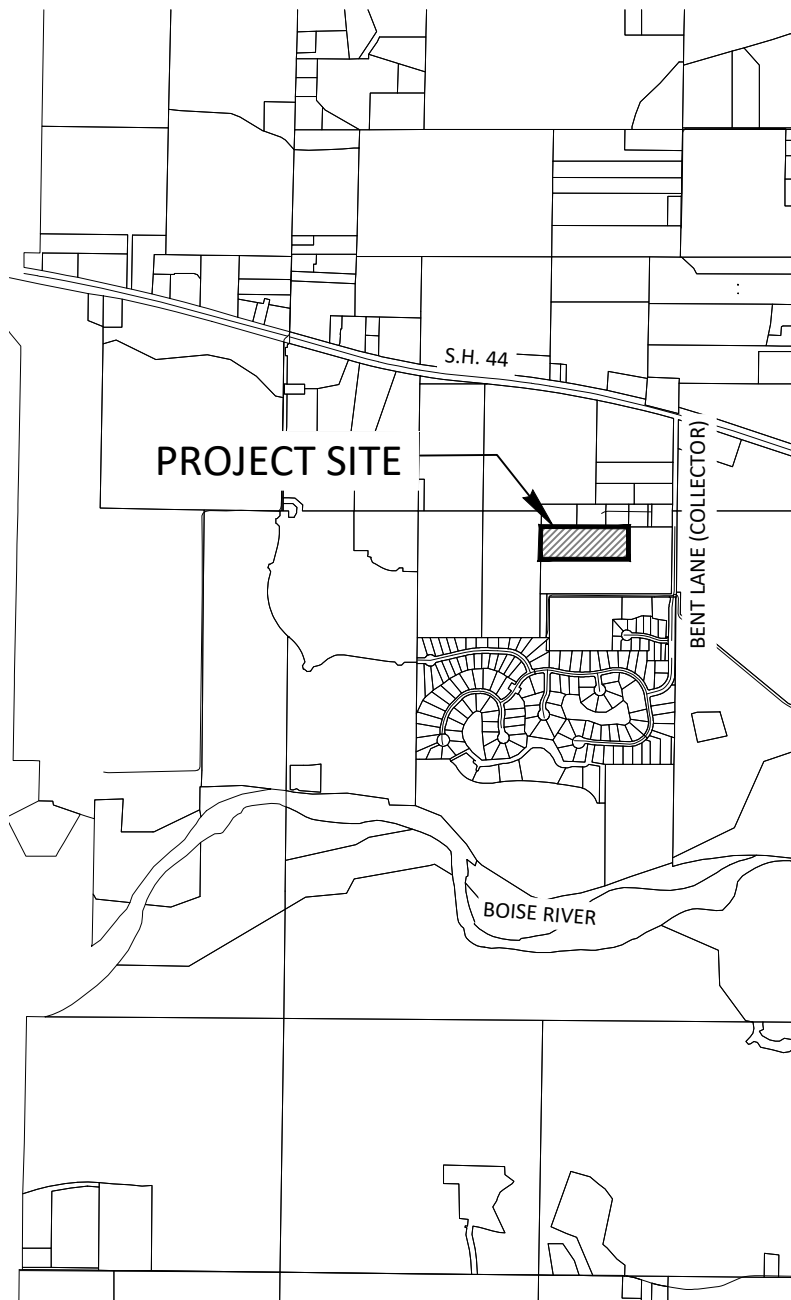
4. **The applicant shall comply with the Residential Standards for all new houses, as required in Section 8-3B-3 of the UDC.**
5. **The development shall be subject to additional Fire and Police emergency mitigation fees collected at the time of building permit for each residential dwelling. The fee shall be determined by City Council.**
6. All entrances into the subdivision (W. Stillmore Street and/or N. Sugar Loop Ave. & N. Kenora Avenue) shall be cleaned nightly to include dirt, dust, rocks, mud, and other debris. All trash shall be secured on site and trash receptacles emptied on a regular basis to avoid blowing debris.
7. During the entire construction process, dust from the site must be minimized as much as possible. Water trucks should be used as appropriate. Excess dust could result in fines and/ or work stoppage.
8. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision and shall be maintained by the Homeowners Association. Streetlights shall be installed and energized prior to any building occupancy. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall submit a streetlight design to Staff for review and approval prior to installation. All lighting shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative. Even after installation, streetlights may require shielding to prevent light trespass.**
9. **All future building permits for single family dwellings shall be reviewed for compliance with Section 8-3B-3J, including exterior finishes, dwelling unit design and rear elevation design along collector roadways.**
10. **The mailbox cluster must be covered and reasonably lit, per Section 8-4A-21 of the UDC.**
11. As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **Street trees shall be installed per Chapter 8, Section 8-8C-2-M(2) Street Trees. Applicant shall provide locations for the local street trees at the time of final plat. If driveway locations will not be determined until sale of the lot, Applicant agrees to not receive the Certificate of Occupancy until street trees are confirmed in place.**
12. All streets shall have a minimum street width of 36' and shall be constructed to ACHD standards.
13. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
14. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access

the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.

15. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
16. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
17. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
18. A separate sign application is required for any subdivision sign.
19. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.
20. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
21. All common areas shall be maintained by the Homeowners Association.
22. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
23. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.

### COUNCIL DECISION

The Star City Council \_\_\_\_\_ File # FP-25-04 Legado Subdivision, Final Plat, Phase 2  
on \_\_\_\_\_ 2025.



5725 NORTH DISCOVERY WAY  
BOISE, IDAHO 83713  
PHONE (208) 639-6939  
kmengllp.com

DATE: 2/28/25  
PROJECT: 24-303

SHEET: ----

LEGADO SUBDIVISION NO. 2  
STAR, IDAHO

24-303 X-VICINITY MAP

----

March 14, 2025  
Project No.: 24-303

Mr. Shawn Nickel  
Planning Director and Zoning Administrator  
City of Star  
10769 W. State Street  
Star, Idaho 83669

RE: Legado Subdivision No. 2 (fka Star River Ranch Subdivision)– Star, ID  
Final Plat Letter of Intent and Statement of Compliance

Dear Mr. Nickel:

On behalf of Bent Ln LLC., we are pleased to submit the attached application and the required supplements for the final plat of Legado Subdivision No. 2. Please accept this letter as the required written narrative regarding the project.

Legado Subdivision No. 2 is a single-family residential community located on one parcel (R3403500000) south of Highway 44, west of Bent Lane and just north of Star River Ranch Subdivision Numbers 1 & 2. This subdivision encompasses approximately +/- 11.97 acres of the overall site and is comprised of 37 buildable lots and 6 common lots. Buildable lots range in size from 0.19 acres to 0.34 acres, with an average lot size of 0.22 acres. The gross density of this phase of development is 3.09 du/acre and has 15% of open space containing landscaping.

This subdivision plat follows all dimensional standards for the R-5 District and conditions outlined in the staff report.

Should you have questions or require further information in order to process this application, please feel free to contact me.

Thank you,  
**KM Engineering, LLP**



Cheryl Heath  
Plat Routing Manager

Cc: Bent Ln, LLC



## FINAL PLAT APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: **FP-25-04**  
Date Application Received: **3/18/2025** Fee Paid: **\$2730.00**  
Processed by: City: **BN**

### Applicant Information:

**PRIMARY CONTACT IS:** Applicant Owner Representative X

Applicant Name: Bent Ln, LLC  
Applicant Address: 1691 S. Grand Fork Way, Meridian, ID Zip: 83642  
Phone: (208) 850-0591 Email: timothyeck@me.com

Owner Name: Same as applicant  
Owner Address: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Representative (e.g., architect, engineer, developer):  
Contact: Cheryl Heath, Plat Routing Manager Firm Name: KM Engineering, LLP  
Address: 5725 N. Discovery Way, Boise, ID Zip: 83713  
Phone: 208.639.6939 Email: cheath@kmengllp.com

### Property Information:

Subdivision Name: Legado Subdivision Phase: 2

Parcel Number(s): R3403500000

Approved Zoning: R-5 Units per acre: 3.09

Total acreage of phase: 11.97+/- Total number of lots: 43

Residential: 37 Commercial: n/a Industrial: n/a

Common lots: 6 Total acreage of common lots: 1.79 Percentage: 15%

Percent of common space to be used for drainage: 42% Acres: 0.75

Special Flood Hazard Area: total acreage 11.97+/- number of homes 37

Changes from approved preliminary plat pertaining to this phase:

	Preliminary Plat	Final Plat
Number of Residential Lots:	<u>37</u>	<u>no change</u>
Number of Common Lots:	<u>6</u>	<u>no change</u>
Number of Commercial Lots:	<u>n/a</u>	
Roads:		

Amenities: No change for this phase**Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance):**Subdivision Name: Legado Subdivision Phase: 2Special Flood Hazard Area: total acreage 11.97+/- number of homes 37

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: 16027C259G  
 FIRM effective date(s): mm/dd/year 06/07/2019  
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: AE Zone  
 Base Flood Elevation(s): AE .0 ft., etc.: 2450.9 - 2454.5
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

**Application Requirements:***(Applications are required to contain one copy of the following unless otherwise noted.)*

Applicant (√)	Description	Staff (√)
X	Completed and signed copy of Final Plat Application	BN
X	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
X	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> <li>Gross density of the phase of the Final Plat submitted</li> <li>Lot range and average lot size of phase</li> <li>Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities</li> <li>List any specific approved building setbacks previously approved by Council.</li> </ul>	BN
X	Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)	BN
X	Electronic copy of current recorded warranty deed for the subject property	BN
X	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.	BN
X	Electronic copy of subdivision name approval from Ada County Surveyor's office.	BN
canyon county	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming	
X	Electronic copy of vicinity map showing the location of the subject property	BN
X	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	BN
X	One (1) 11" X 17" paper copy of the Final Plat	BN
X	Electronic copy of the Final landscape plan**	BN

X	One (1) 11" X 17" copy of the Final landscape plan	BN
X	Electronic copy of site grading & drainage plans**	BN
X	Electronic copy of originally approved Preliminary Plat**	BN
n/a	Electronic copy of a Plat with all phases marked with changes, if applicable**	
X	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	BN
X	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	
X	Electronic copy of streetlight <b>design</b> and <b>location</b> information	BN
X	Special Flood Information – Must be included on Preliminary/Final Plat and Application form.	
forthcoming	Electronic copy of all easement agreements submitted to the irrigation companies	
forthcoming	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	
X	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.</u>	BN
noted	<b>Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance:</b> <ul style="list-style-type: none"> <li>• One (1) 11" X 17" and (1) 18" X 24" <b>recorded</b> copy of Final Plat</li> <li>• Electronic copy of final, approved construction drawings</li> <li>• Electronic copy of as-built irrigation plans</li> <li>• Electronic copy of recorded CC&amp;R's</li> <li>• Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign</li> <li>• Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please.</li> </ul>	
	<b>**NOTE:</b> No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid.	

## FEE REQUIREMENT:

*\*\* I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*

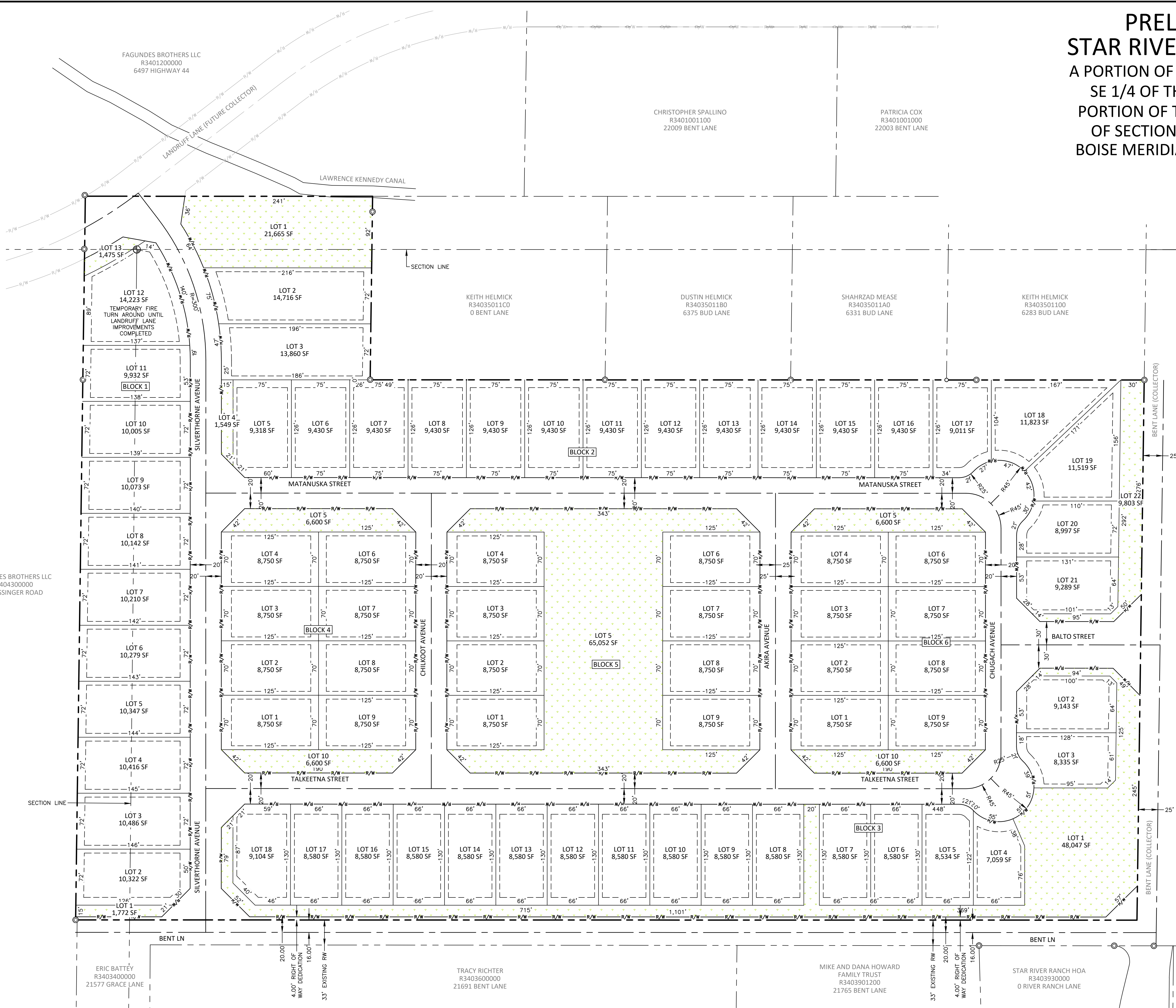
\_\_\_\_\_  
Applicant/Representative Signature

\_\_\_\_\_  
March 10, 2025  
Date



PRELIMINARY PLAT SHOWING  
STAR RIVER RANCH NORTH SUBDIVISION  
A PORTION OF LAND IN THE SW 1/4 OF THE SE 1/4 AND THE  
SE 1/4 OF THE SW 1/4 OF SECTION 12, ALONG WITH A  
PORTION OF THE NW 1/4 OF THE NE 1/4 AND THE NE 1/4  
OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST,  
BOISE MERIDIAN, CITY OF STAR, CANYON COUNTY, IDAHO  
JULY 2023

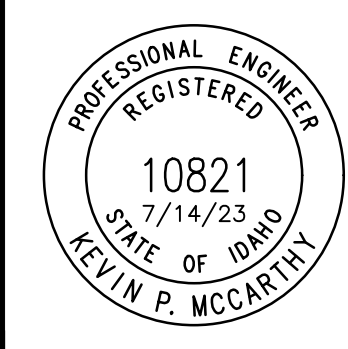
- LEGEND**
- BOUNDARY LINE
  - ADJACENT PROPERTY LINE
  - ROAD CENTERLINE
  - SECTION LINE
  - RIGHT-OF-WAY LINE
  - LOT LINE
  - EASEMENT LINE
  - COMMON AREA
  - R.M.
  - REFERENCE MONUMENT
  - FOUND 5/8" REBAR (SEE SHEET PP2.0)
  - FOUND 1/2" REBAR (SEE SHEET PP2.0)
  - FOUND BRASS CAP, NORTHEAST CORNER SECTION 12 (SEE SHEET PP2.0)



**PRELIMINARY PLAT - LOT DIMENSIONS**

0 60 120 180  
Scale: 1" = 60'

STAR RIVER RANCH NORTH SUB  
STAR, IDAHO  
PRELIMINARY PLAT



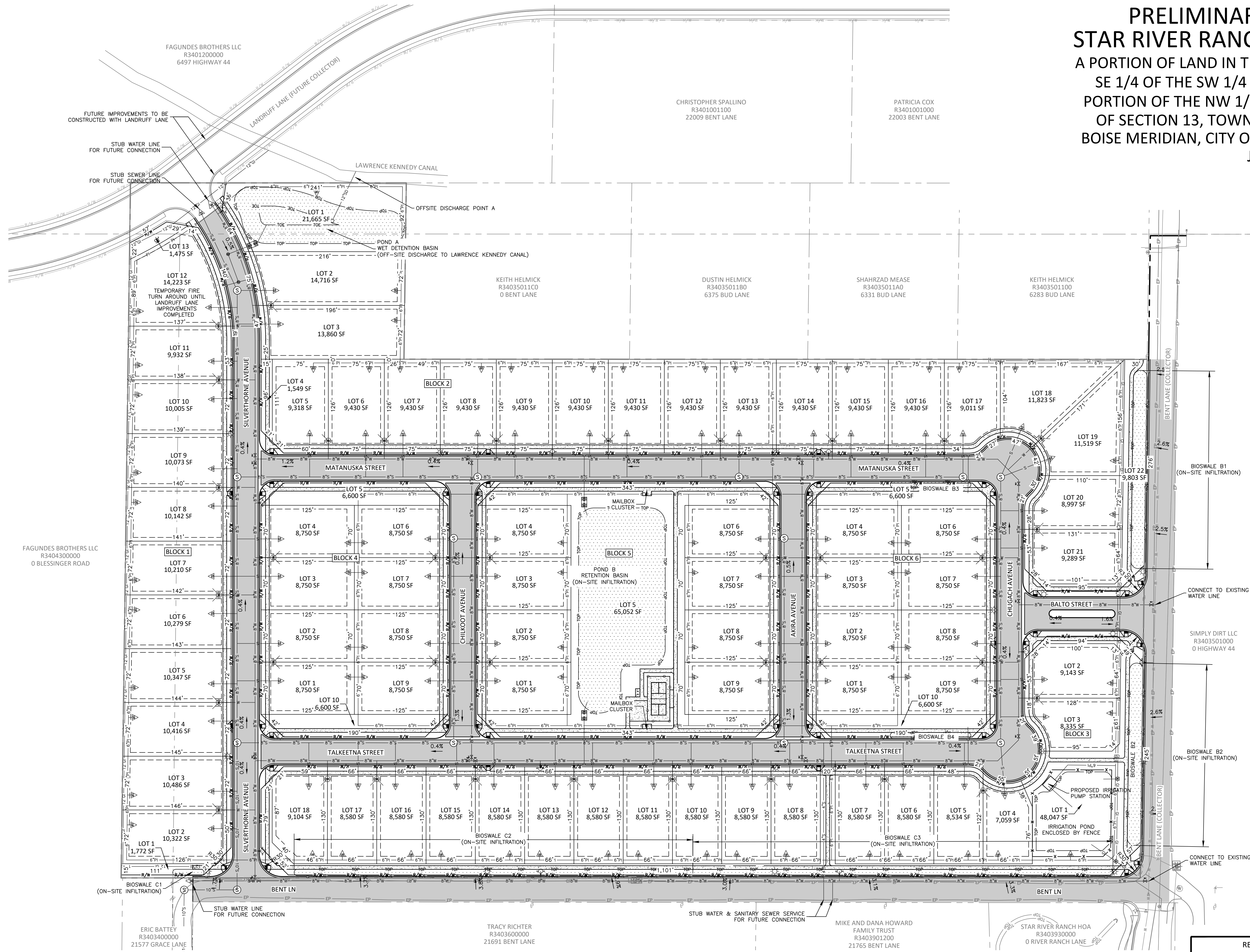
REVISIONS		
NO.	ITEM	DATE
0	INITIAL SUBMITTAL	4/5/22
1	ZONING REQUEST CHANGE	5/26/22
2	CHD4 COMMENT REVISIONS	11/17/22
3	CHD4, CITY COMMENT REVISIONS	3/1/23
4	CHD4 COMMENT REVISIONS	5/9/23
5	IRRIGATION POND ADDITION	7/14/23

DATE: JULY 2023  
PROJECT: 21-162  
SHEET NO. PP3.0

P:\21-162\CAD\ATTY\PRELIMINARY\21-162 LOT DIMENSIONS.DWG, EFF DORECH, 7/14/2023, CANON HP755 (BWP) P3, 24X36, L [PPF]

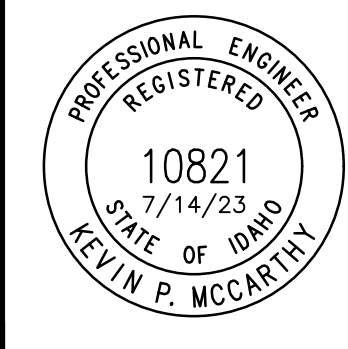


PRELIMINARY PLAT SHOWING  
STAR RIVER RANCH NORTH SUBDIVISION  
A PORTION OF LAND IN THE SW 1/4 OF THE SE 1/4 AND THE  
SE 1/4 OF THE SW 1/4 OF SECTION 12, ALONG WITH A  
PORTION OF THE NW 1/4 OF THE NE 1/4 AND THE NE 1/4  
OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST,  
BOISE MERIDIAN, CITY OF STAR, CANYON COUNTY, IDAHO  
JULY 2023



\* SEE SHEET PP4.1 FOR STREET SECTIONS & LEGEND

STAR RIVER RANCH NORTH SUB  
STAR, IDAHO  
PRELIMINARY PLAT

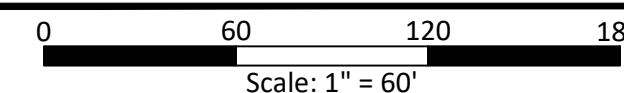


REVISIONS		
NO.	ITEM	DATE
0	INITIAL SUBMITTAL	4/5/22
1	ZONING REQUEST CHANGE	5/26/22
2	CHD4 COMMENT REVISIONS	11/17/22
3	CHD4, CITY COMMENT REVISIONS	3/1/23
4	CHD4 COMMENT REVISIONS	5/9/23
5	IRRIGATION POND ADDITION	7/14/23

DATE: JULY 2023  
PROJECT: 21-162  
SHEET NO. PP4.0

PRELIMINARY PLAT - PRELIMINARY ENGINEERING

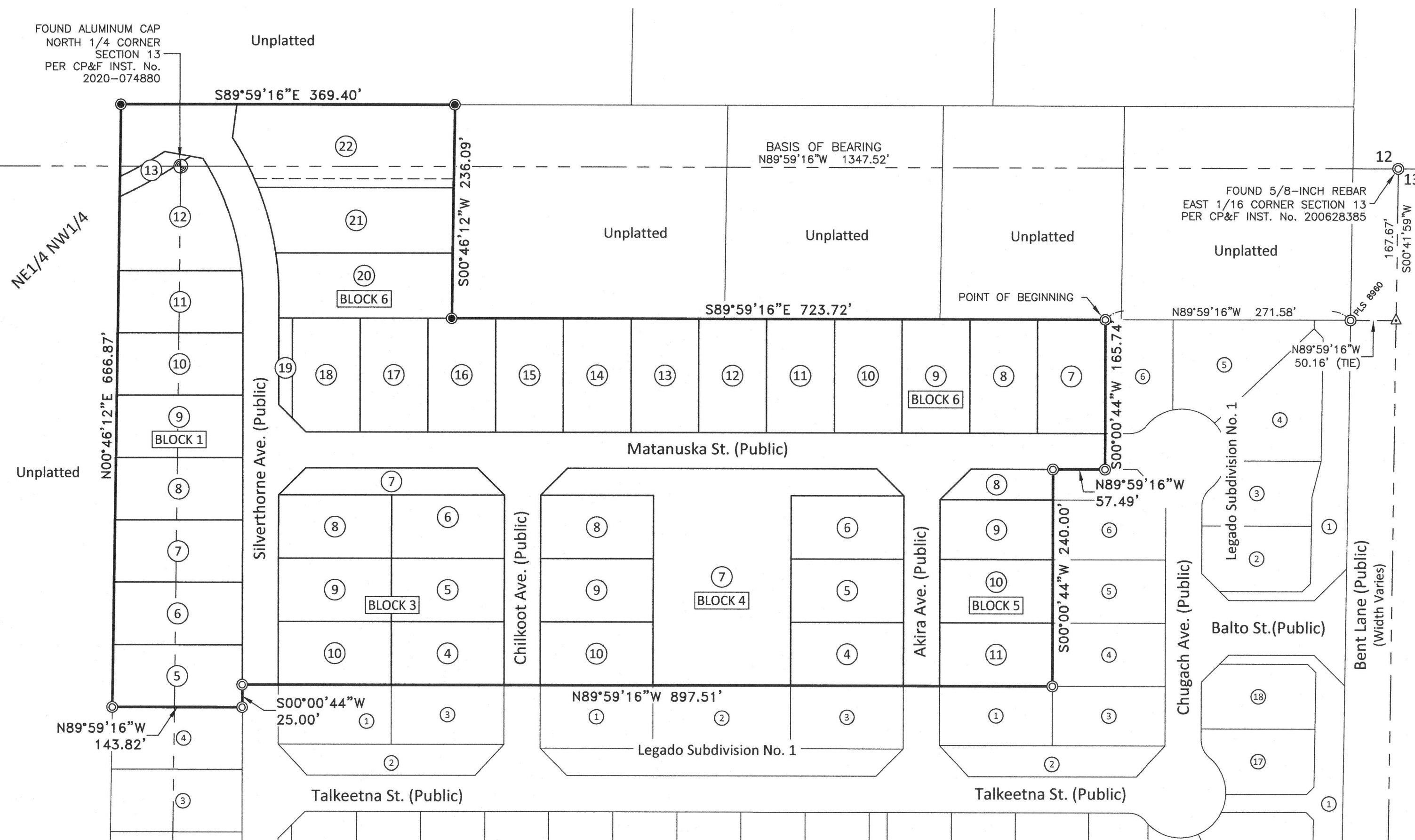
MATCH LINE - SEE SHEET PP4.1







0 100 200 300  
Plan Scale: 1" = 100'

**SHEET INDEX**

SHEET 1 - SUBDIVISION MAP AND LEGEND  
SHEET 2 - DETAIL PLAT MAP AND LINE/CURVE TABLE  
SHEET 3 - CERTIFICATE OF OWNERS AND NOTES  
SHEET 4 - CERTIFICATES AND APPROVALS

**LEGEND**

	FOUND ALUMINUM CAP, AS NOTED
	FOUND BRASS CAP, AS NOTED
	FOUND 5/8" REBAR WITH PLASTIC CAP MARKED "ALB 12459", UNLESS NOTED OTHERWISE
	SET 5/8" REBAR WITH PLASTIC CAP MARKED "ALB 12459"
	FOUND 1/2" REBAR WITH PLASTIC CAP MARKED "ALB 12459", UNLESS NOTED OTHERWISE
	SET 1/2" REBAR WITH PLASTIC CAP MARKED "ALB 12459"
	CALCULATED POINT
	LOT NUMBER
	ADJACENT LOT NUMBER
	SUBDIVISION BOUNDARY LINE
	LOT LINE
	SECTION LINE
	CENTERLINE
	ADJACENT BOUNDARY LINE
	EASEMENT LINE

**REFERENCES**

- R1. PLAT OF STAR RIVER RANCH SUBDIVISION No. 1, BOOK 48 OF PLATS AT PAGE 12, RECORDS OF CANYON COUNTY, IDAHO.
- R2. PLAT OF LEGADO SUBDIVISION No. 1, BOOK \_\_\_\_ OF PLATS AT PAGE \_\_\_\_, RECORDS OF CANYON COUNTY, IDAHO.
- R3. RECORD OF SURVEY PER INSTRUMENT No. 2005-48971, RECORDS OF CANYON COUNTY, IDAHO.
- R4. RECORD OF SURVEY PER INSTRUMENT No. 2006-49657, RECORDS OF CANYON COUNTY, IDAHO.
- R5. RECORD OF SURVEY PER INSTRUMENT No. 2009-016458, RECORDS OF CANYON COUNTY, IDAHO.
- R6. RECORD OF SURVEY PER INSTRUMENT No. 2013-051589, RECORDS OF CANYON COUNTY, IDAHO.

**SURVEY NARRATIVE**

THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE THE LAND SHOWN HEREON. THE SURVEY IS BASED UPON THE RETRACEMENT OF PLATS, SURVEYS AND DEEDS LISTED IN THE REFERENCES HEREON AND A FIELD SURVEY OF EXISTING MONUMENTATION. MONUMENTATION RECOVERED WAS FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE REFERENCES LISTED HEREON. ALL PROPERTY CORNERS WHERE MONUMENTS OF RECORD WERE NOT FOUND WERE SET/RESET AS SHOWN HEREON.

**FLOOD ZONE NOTE**

THIS SUBDIVISION IS LOCATED WITHIN FLOOD ZONE "AE" AS SHOWN ON THE FIRM PANEL NUMBER 16027C0259G, CANYON COUNTY, IDAHO, AND INCORPORATED AREAS, EFFECTIVE DATE 06/07/2019. A BUILDING PERMIT SHALL NOT BE ISSUED FOR ANY LOT THAT IS LOCATED WITHIN THE MAPPED FLOOD PLAIN UNTIL A FLOOD PLAIN DEVELOPMENT PERMIT IS OBTAINED FOR THE INDIVIDUAL LOT. EACH LOT WITHIN THE MAPPED FLOOD PLAIN SHALL REQUIRE AN INDIVIDUAL FLOOD PLAIN DEVELOPMENT PERMIT.



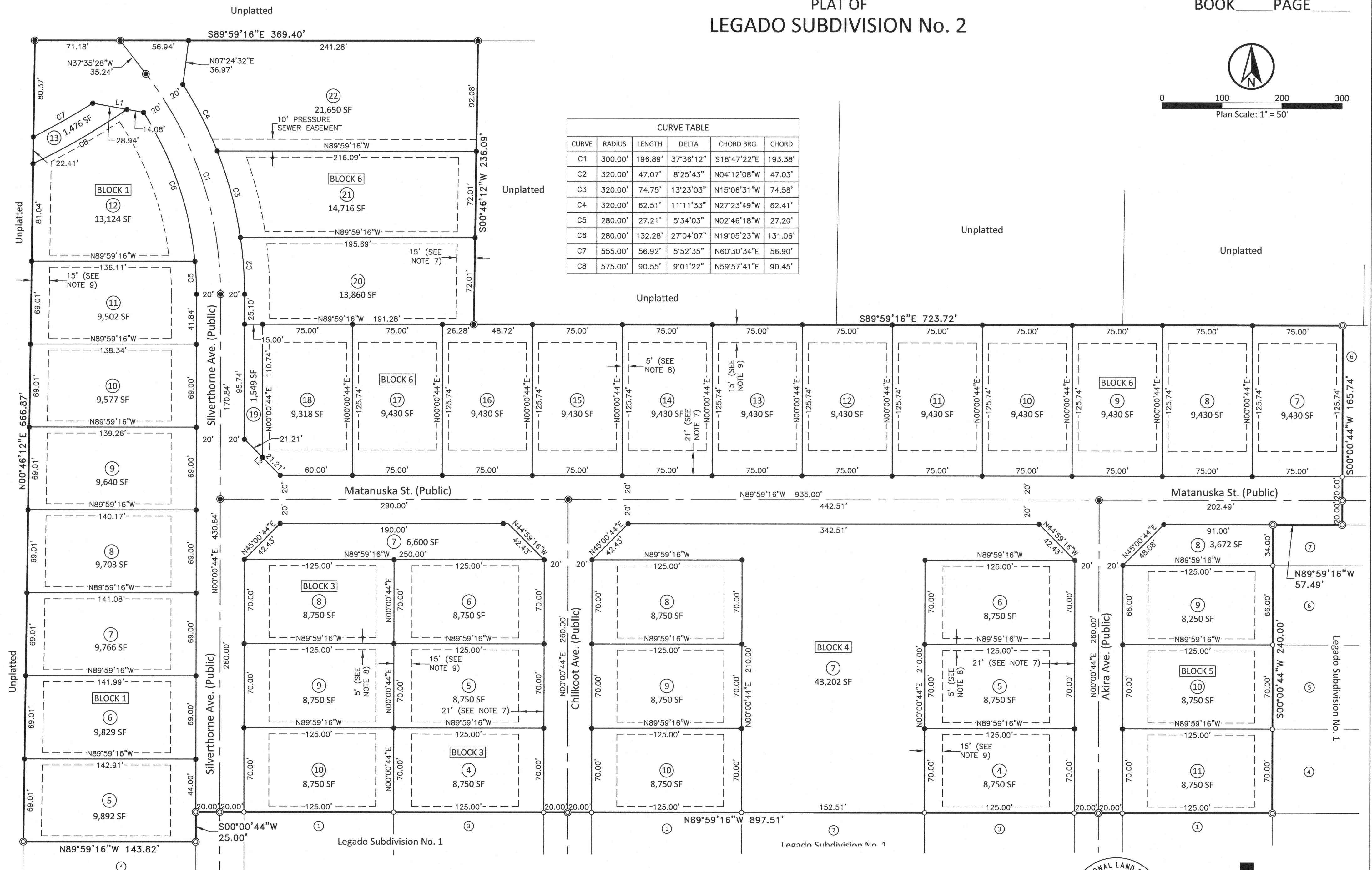
DEVELOPER  
**BENT LN, LLC**  
BOISE, IDAHO

**km**  
ENGINEERING  
5725 NORTH DISCOVERY WAY  
BOISE, IDAHO 83713  
PHONE (208) 639-6939  
kmengllp.com



Plan Scale: 1" = 50'

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	300.00'	196.89'	37°36'12"	S18°47'22"E	193.30'
C2	320.00'	47.07'	8°25'43"	N04°12'08"W	47.03'
C3	320.00'	74.75'	13°23'03"	N15°06'31"W	74.58'
C4	320.00'	62.51'	11°11'33"	N27°23'49"W	62.41'
C5	280.00'	27.21'	5°34'03"	N02°46'18"W	27.20'
C6	280.00'	132.28'	27°04'07"	N19°05'23"W	131.00'
C7	555.00'	56.92'	5°52'35"	N60°30'34"E	56.90'
C8	575.00'	90.55'	9°01'22"	N59°57'41"E	90.45'



3-7-2023  
DEVELOPER  
BENT LN, LLC  
BOISE, IDAHO





PLAT OF  
LEGADO SUBDIVISION No. 2

BOOK\_\_\_\_PAGE\_\_\_\_

CERTIFICATE OF OWNERS

KNOW ALL MEN/WOMEN BY THESE PRESENTS: THAT THE UNDERSIGNED IS THE OWNER OF THE REAL PROPERTY HEREAFTER DESCRIBED.

A PARCEL OF LAND BEING SITUATED IN A PORTION OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 12, ALONG WITH A PORTION OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, B.M., CITY OF STAR, CANYON COUNTY, IDAHO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS CAP MARKING THE NORTHEAST CORNER OF SAID SECTION 13, WHICH BEARS N89°58'51"E A DISTANCE OF 2,695.45 FEET FROM A FOUND ALUMINUM CAP MARKING THE NORTH 1/4 CORNER OF SAID SECTION 13, THENCE FOLLOWING THE NORTHERLY LINE OF THE NORTHEAST 1/4 OF SAID SECTION 13, N89°58'23"W A DISTANCE OF 1,347.78 FEET TO A 5/8-INCH REBAR MARKING THE EAST 1/16 CORNER OF SAID SECTIONS 12 AND 13;  
THENCE LEAVING SAID NORTHERLY LINE AND FOLLOWING THE EASTERLY LINE OF SAID NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13, S00°41'59"W A DISTANCE OF 167.67 FEET;  
THENCE LEAVING SAID EASTERLY LINE, N89°59'16"W A DISTANCE OF 50.16 FEET TO A 5/8-INCH REBAR ON THE WESTERLY RIGHT-OF-WAY LINE OF BENT LANE AND BEING ON THE SUBDIVISION BOUNDARY OF LEGADO SUBDIVISION NO. 1;  
THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY LINE AND FOLLOWING SAID SUBDIVISION BOUNDARY, N89°59'16"W A DISTANCE OF 271.58 FEET TO A 5/8-INCH REBAR AND BEING THE POINT OF BEGINNING.

THENCE FOLLOWING SAID SUBDIVISION BOUNDARY THE FOLLOWING SIX (6) COURSES:

- 1.S00°00'44"W A DISTANCE OF 165.74 FEET TO A 5/8-INCH REBAR;
- 2.N89°59'16"W A DISTANCE OF 57.49 FEET TO A 5/8-INCH REBAR;
- 3.S00°00'44"W A DISTANCE OF 240.00 FEET TO A 5/8-INCH REBAR;
- 4.N89°59'16"W A DISTANCE OF 897.51 FEET TO A 5/8-INCH REBAR;
- 5.S00°00'44"W A DISTANCE OF 25.00 FEET TO A 5/8-INCH REBAR;
- 6.N89°59'16"W A DISTANCE OF 143.82 FEET TO A 5/8-INCH REBAR;

THENCE LEAVING SAID SUBDIVISION BOUNDARY, N00°46'12"E A DISTANCE OF 666.87 FEET TO A 5/8-INCH REBAR;  
THENCE S89°59'16"E A DISTANCE OF 369.40 FEET TO A 5/8-INCH REBAR;  
THENCE S00°46'12"W A DISTANCE OF 236.09 FEET TO A 5/8-INCH REBAR;  
THENCE S89°59'16"E A DISTANCE OF 723.72 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS A TOTAL OF 11.975 ACRES, MORE OR LESS, AND IS SUBJECT TO ALL EXISTING EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD OR IMPLIED.

IT IS THE INTENTION OF THE UNDERSIGNED TO HEREBY INCLUDE SAID LAND IN THIS PLAT. THE EASEMENTS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC BUT THE RIGHTS TO USE SAID EASEMENTS ARE HEREBY PERPETUALLY RESERVED FOR PUBLIC UTILITIES AND SUCH OTHER USES AS SHOWN ON THIS PLAT. NO STRUCTURES OTHER THAN FOR SUCH UTILITY AND OTHER DESIGNATED PUBLIC USES ARE TO BE ERECTED WITHIN THE LIMITS OF SAID EASEMENTS UNLESS NOTED OTHERWISE ON THIS PLAT. THE UNDERSIGNED, BY THESE PRESENTS, DEDICATES TO THE PUBLIC FOREVER ALL PUBLIC STREETS AND RIGHTS-OF-WAYS AS SHOWN ON THIS PLAT. ALL LOTS WITHIN THIS PLAT WILL RECEIVE WATER SERVICE FROM AN EXISTING STAR SEWER AND WATER DISTRICT WATER SYSTEM, AND SAID DISTRICT HAS AGREED IN WRITING TO SERVE ALL OF THESE LOTS.

TIMOTHY W. ECK, MANAGER,  
BENT LN, LLC

ACKNOWLEDGMENT

STATE OF IDAHO }  
COUNTY OF }SS

THIS RECORD WAS ACKNOWLEDGED BEFORE ME ON \_\_\_\_\_, 202\_\_\_\_, BY TIMOTHY W. ECK, AS  
MANAGER OF BENT LN, LLC.

SIGNATURE OF NOTARY PUBLIC

MY COMMISSION EXPIRES\_\_\_\_\_

NOTES

- IRRIGATION WATER HAS BEEN PROVIDED FROM THE CANYON COUNTY WATER COMPANY IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805(1)(b). LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS AND WILL BE OBLIGATED FOR ASSESSMENTS FROM THE CANYON COUNTY WATER COMPANY.
- THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF".
- ANY RESUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF RESUBDIVISION.
- LOT 13, BLOCK 1, LOT 7, BLOCK 3, LOT 7, BLOCK 4, LOT 8, BLOCK 5, AND LOTS 5, 19 AND 22, BLOCK 6 ARE COMMON LOTS AND SHALL BE OWNED AND MAINTAINED BY THE SUBDIVISION HOMEOWNER'S ASSOCIATION. THESE COMMON LOTS ARE SUBJECT TO A BLANKET EASEMENT FOR PUBLIC UTILITIES, STORM DRAINAGE, IRRIGATION, AND SIDEWALK MAINTENANCE/ACCESS.
- ALL LOT, PARCEL AND TRACT SIZES SHALL MEET THE DIMENSIONAL STANDARDS ESTABLISHED IN THE APPLICABLE ZONING ORDINANCE OR AS SPECIFICALLY APPROVED.
- THIS SUBDIVISION WILL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS THAT ARE TO BE FILED FOR RECORD AT THE CANYON COUNTY RECORDER'S OFFICE AND MAY BE AMENDED FROM TIME TO TIME.
- ALL LOT LINES COMMON TO THE PUBLIC RIGHTS-OF-WAY CONTAIN A 21.00 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, STORM DRAINAGE, LOT DRAINAGE, IRRIGATION, AND SIDEWALKS.
- UNLESS SHOWN OTHERWISE, ALL INTERIOR LOT LINES CONTAIN A 5.00 FOOT WIDE EASEMENT (EACH SIDE) FOR PUBLIC UTILITIES, LOT DRAINAGE AND IRRIGATION.
- ALL REAR LOT LINES CONTAIN A 15.00 FOOT WIDE EASEMENT, FOR PUBLIC UTILITIES, LOT DRAINAGE AND IRRIGATION.
- MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF STAR APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR AS SPECIFICALLY APPROVED AND/OR REQUIRED BY A DEVELOPMENT AGREEMENT OR OTHER AGREEMENT, OR AS SHOWN ON THIS PLAT.
- LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY.
- NO ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
- REFERENCE IS MADE TO THE PUBLIC HEALTH LETTER ON FILE REGARDING ADDITIONAL RESTRICTIONS.
- THE SUBDIVISION HOMEOWNER'S ASSOCIATION, UNDERLYING PROPERTY OWNER OR ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR ALL STORM DRAINAGE FACILITIES OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, INCLUDING ALL ROUTINE AND HEAVY MAINTENANCE.
- ALL LOTS WITHIN THIS PLAT WILL BE PROVIDED SEWER VIA A STAR SEWER AND WATER DISTRICT GRAVITY SEWER SYSTEM.
- THE HOMEOWNER'S ASSOCIATION OR ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ALL AMENITIES (LAWNS, SPRINKLERS, SIDEWALKS, LANDSCAPING, ETC.) APPROVED BY THE DISTRICT TO BE WITHIN THE PUBLIC RIGHT-OF-WAY.
- THIS SUBDIVISION IS LOCATED WITHIN FLOOD ZONE "AE" AS SHOWN ON THE FIRM PANEL NUMBER 16027C0259G, CANYON COUNTY, IDAHO, AND INCORPORATED AREAS, EFFECTIVE DATE 06/07/2019. A BUILDING PERMIT SHALL NOT BE ISSUED FOR ANY LOT THAT IS LOCATED WITHIN THE MAPPED FLOOD PLAIN UNTIL A FLOOD PLAIN DEVELOPMENT PERMIT IS OBTAINED FOR THE INDIVIDUAL LOT. EACH LOT WITHIN THE MAPPED FLOOD PLAIN SHALL REQUIRE AN INDIVIDUAL FLOOD PLAIN DEVELOPMENT PERMIT.

CERTIFICATE OF SURVEYOR

I, AARON BALLARD, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF IDAHO, AND THAT THIS PLAT OF LEGADO SUBDIVISION No. 2, AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" AND AS SHOWN ON THE ATTACHED PLAT, WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

AARON L. BALLARD, PLS 12459



DEVELOPER  
BENT LN, LLC  
BOISE, IDAHO



PLAT OF  
LEGADO SUBDIVISION No. 2

BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

CERTIFICATE AND APPROVAL OF COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR FOR CANYON COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE, TITLE 50, CHAPTER 13, RELATING TO PLATS AND SURVEYS.

\_\_\_\_\_  
CANYON COUNTY SURVEYOR  
UNDER I.C. 50-1305

\_\_\_\_\_  
DATE

CERTIFICATE AND APPROVAL OF THE COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF CANYON, IDAHO, PER THE REQUIREMENTS OF IDAHO STATE CODE, TITLE 50, CHAPTER 13, SECTION 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THE SUBDIVISION PLAT HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

\_\_\_\_\_  
CANYON COUNTY TREASURER

\_\_\_\_\_  
DATE

CERTIFICATE AND APPROVAL OF CITY COUNCIL

I, THE UNDERSIGNED, CLERK IN AND FOR THE CITY OF STAR, CANYON COUNTY, IDAHO, ON THIS DAY, \_\_\_\_\_, HEREBY APPROVE THIS PLAT.

\_\_\_\_\_  
CITY CLERK

\_\_\_\_\_  
DATE

HEALTH CERTIFICATE

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED BASED ON A REVIEW BY A QUALIFIED LICENSED PROFESSIONAL ENGINEER (QLPE) REPRESENTING STAR SEWER AND WATER DISTRICT, AND THE QLPE APPROVAL OF THE DESIGN PLANS AND SPECIFICATIONS AND THE CONDITIONS IMPOSED ON THE DEVELOPER FOR CONTINUED SATISFACTION OF THE SANITARY RESTRICTIONS. BUYER IS CAUTIONED THAT AT THE TIME OF THIS APPROVAL, NO DRINKING WATER EXTENSIONS OR SEWER EXTENSIONS WERE CONSTRUCTED. BUILDING CONSTRUCTION CAN BE ALLOWED WITH APPROPRIATE BUILDING PERMITS IF DRINKING WATER EXTENSIONS OR SEWER EXTENSIONS HAVE SINCE BEEN CONSTRUCTED OR IF THE DEVELOPER IS SIMULTANEOUSLY CONSTRUCTING THOSE FACILITIES. IF THE DEVELOPER FAILS TO CONSTRUCT FACILITIES THEN THE SANITARY RESTRICTIONS MAY BE REIMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL, AND NO CONSTRUCTION OF ANY BUILDING OR SHELTER REQUIRING DRINKING WATER OR SEWER/SEPTIC FACILITIES SHALL BE ALLOWED.

\_\_\_\_\_  
SOUTHWEST DISTRICT HEALTH DEPARTMENT

\_\_\_\_\_  
DATE

CERTIFICATE AND APPROVAL OF HIGHWAY DISTRICT No. 4

HIGHWAY DISTRICT No. 4 DOES HEREBY ACCEPT THIS PLAT AND THE DEDICATED PUBLIC STREETS, HIGHWAYS AND RIGHTS-OF-WAY AS ARE DEPICTED ON THIS PLAT, IN ACCORDANCE WITH THE PROVISIONS OF IDAHO CODE 50-1312.

\_\_\_\_\_  
CHAIRMAN

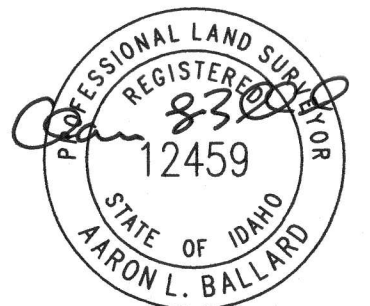
\_\_\_\_\_  
DATE

CERTIFICATE AND APPROVAL OF CITY ENGINEER

I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, ON THIS DAY, \_\_\_\_\_, HEREBY APPROVE THIS PLAT.

\_\_\_\_\_  
CITY ENGINEER

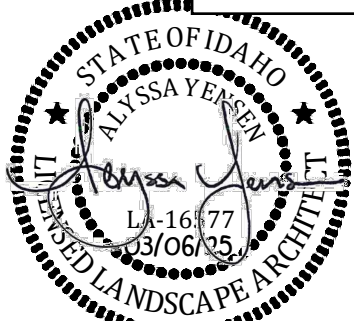
\_\_\_\_\_  
DATE



3.7.2025  
DEVELOPER  
BENT LN, LLC  
BOISE, IDAHO







REVISIONS

ITEM

DATE

NO.

LEGADO SUBDIVISION NO. 2

STAR, IDAHO

LANDSCAPE IMPROVEMENT PLANS  
LANDSCAPE PLAN**km**  
ENGINEERING  
5725 NORTH DISCOVERY WAY  
BOISE, IDAHO 83713  
PHONE (208) 639-6939  
kmengllp.comDESIGN BY: MPH  
DRAWN BY: MPH  
CHECKED BY: AY  
DATE: 2/28/25  
PROJECT: 24-303

SHEET NO.

L1.0

## GENERAL IRRIGATION NOTES

- NO GUARANTEE IS MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN, OR SHOWN CORRECTLY. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES ADEQUATE WATER COVERAGE TO ALL LAWN AND PLANTING AREAS. THE WORK SHALL CONSIST OF PROVIDING AND INSTALLING ALL MATERIALS NECESSARY FOR A COMPLETE SYSTEM INCLUDING POINT OF CONNECTION, PIPE, VALVES, FITTINGS, HEADS, AUTOMATIC CONTROLS, AND ALL ASSOCIATED LABOR. THE CONTRACTOR SHALL FURNISH THE LANDSCAPE ARCHITECT WITH A SHOP DRAWING SHOWING THE DESIGN LAYOUT, PIPE SIZE AND TYPE, VALVE LOCATIONS AND TYPE, HEAD LOCATIONS AND TYPE, CONTROLLER LOCATION AND TYPE, WIRE SIZING, ETC., FOR APPROVAL PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THIS WORK.
- ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS.
- INSTALLATION SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL LAWS AND ORDINANCES.
- POINT OF CONNECTION: COMPLY WITH REQUIREMENTS OF UTILITY SUPPLYING WATER FOR PREVENTION OF BACKFLOW AND BACK-SIPHONAGE.
- COVERAGE: THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ONE HUNDRED PERCENT (100%) COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- MATCHED PRECIPITATION RATES: SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE.
- IRRIGATION DISTRICTS: SPRINKLER HEADS IRRIGATING LAWN OR OTHER HIGH WATER DEMAND AREAS SHALL BE CIRCUITED SO THAT THEY ARE ON SEPARATE ZONES FROM THOSE IRRIGATING TREES, SHRUBS, OR OTHER REDUCED WATER DEMAND AREAS.
- OVERSPRAY: SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS STREETS, SIDEWALKS, DRIVEWAYS, AND PARKING AREAS.
- PRIOR TO COMMENCING WORK, CONTRACTOR TO CONFIRM PSI IS ADEQUATE TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES ADEQUATE WATER COVERAGE TO ALL LAWN AND PLANTING AREAS. SHOULD THE PSI BE LESS THAN ADEQUATE, NOTIFY THE ARCHITECT IMMEDIATELY. IN THE EVENT THAT THE ARCHITECT IS NOT NOTIFIED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- WHERE APPLICABLE, LABEL ALL IRRIGATION RISERS, FAUCETS, VALVE BOXES, AND VAULTS WITH DURABLE TAGS CARRYING THE WARNING "DANGER-UNSAFE WATER OR NON-POTABLE WATER."
- INSTALL ALL PIPING AND VALVES IN PLANTING AREAS WHERE POSSIBLE, AND LOCATE ELECTRIC CONTROL AND QUICK COUPLING VALVES IN GROUND COVER/SHRUB AREAS, 6" TO 12" AWAY FROM EDGE OF PAVEMENT FOR EASE OF ACCESS.
- PROVIDE UNDERGROUND IRRIGATION SYSTEM AS A COMPLETE UNIT PRODUCED BY A SINGLE ACCEPTABLE MANUFACTURER, INCLUDING HEADS, VALVES, CONTROLS, AND ACCESSORIES.
- A MIN. OF 4" POP-UPS ARE TO BE USED IN ALL LAWN AREAS. DRIP IRRIGATION TO BE USED IN ALL PLANTER BEDS.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO SIZE CIRCUIT PIPING. WATER VELOCITY IN ALL PIPES SHALL NOT EXCEED FIVE FEET PER SECOND. MINIMUM PIPE SIZE TO BE 1".
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVES UNDER ALL ROADWAY, PARKING, AND WALKWAY SURFACES. EXTEND 6" MINIMUM BEYOND SURFACE EDGE. IDENTIFY ENDPOINTS OF SLEEVING.
- ALL IRRIGATION HEADS LOCATED ADJACENT TO ROAD SURFACES NOT PROTECTED BY A VERTICAL CONCRETE CURB SHALL BE PLACED 18" FROM THE EDGE OF THE ROAD SURFACE.
- WHERE APPLICABLE, CONTRACTOR IS RESPONSIBLE TO PROVIDE 120 VOLT POWER AND ALL REQUIRED CIRCUITS FROM THE ELECTRICAL PANEL TO THE IRRIGATION CONTROLLER. SIZE WIRE AND CONDUIT AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION, INCLUDING ADJACENT PROPERTIES. REPAIR INCLUDES BUT IS NOT LIMITED TO PIPING, VALVES, HEADS, DRIP COMPONENTS, CONTROL WIRES AND EQUIPMENT, AND SLEEVES. IF APPLICABLE, IRRIGATION CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT.
- CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTOR'S FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COURSE OF CONSTRUCTION.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR DISCREPANCIES BETWEEN DESIGN DRAWINGS AND ACTUAL SITE CHARACTERISTICS. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION PROVIDED ON DRAWINGS. CONTRACTOR SHALL STOP CONSTRUCTION AND

CONTACT THE OWNER IMMEDIATELY FOR FURTHER DIRECTION IF DISCREPANCIES OCCUR.

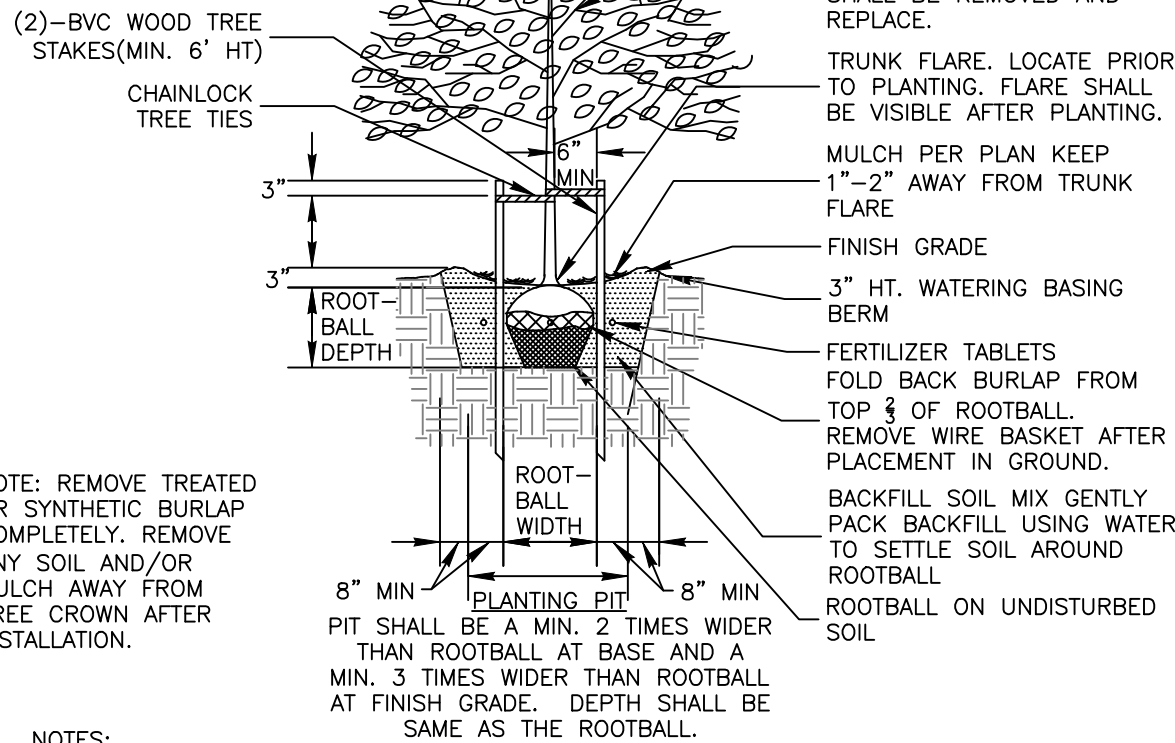
23. UPON COMPLETION, AND PRIOR TO FINAL PAYMENT, THE IRRIGATION CONTRACTOR SHALL PROVIDE A NEAT AND LEGIBLE AS-CONSTRUCTED IRRIGATION PLAN, AN OPERATION AND MAINTENANCE MANUAL, AND UP TO (8) HOURS OF ORIENTATION AND/OR TRAINING FOR THE OWNERS MAINTENANCE AND OPERATIONS STAFF.

24. THE ENTIRE SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ITS ACCEPTANCE. REPAIR OR REPLACEMENT OF ANY DEFECTS OCCURRING WITHIN THAT YEAR SHALL BE COMPLETED BY THE IRRIGATION CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

25. CONTRACTOR SHALL PROVIDE, AT NO ADDITIONAL COST TO THE OWNER, SPRING START UP AND WINTERIZATION DURING THE GUARANTEE PERIOD.

## PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE HxW	CLASS
<b>DECIDUOUS TREES</b>						
	AP2	26	ACER TRUNCATUM 'PACIFIC SUNSET'™	2" CAL.	B&B	35'x30'
	CC	18	CERCIS CANADENSIS EASTERN REDBUD	2" CAL.	B&B	30'x25'
	GP	30	GINKGO BILOBA 'PNI 2720' PRINCETON SENTRY® GINKGO MALE VARIETY ONLY	2" CAL.	B&B	45'x20'
	GS2	29	GLEDTISIA TRIACANTHOS 'SKYLINE' SKYLINE HONEYLOCUST	2" CAL.	B&B	35'x30'
<b>EVERGREEN TREES</b>						
	PH	3	PICEA PUNGENS 'HOOPSII' HOOPSI BLUE SPRUCE	6"-8" B&B		35'x15'
	PV	5	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' VANDERWOLF'S PYRAMID PINE	6"-8" B&B		25'x15'
<b>SHRUBS</b>						
	HL2	12	HYDRANGEA PANICULATA 'LITTLE LIME' LITTLE LIME HYDRANGEA	2 GAL.		4'x4'
	PM	16	PINUS MUGO 'MOPS' MOPS MUGO PINE	2 GAL.		3'x3'
<b>SOD/SEED</b>						
	NV4	2,674 SF	SHEEP FESCUE SEED MIX OR APPROVED EQUAL. INSTALL AT MIN. OF 5 LBS PER 1000 SQUARE FEET	SEED		
	TS2	20,298 SF	TURF SEED	SEED		
	TR	73,254 SF	TURF SOD RHIZOMATOUS RHIZOMATOUS TALL FESCUE	SOD		



NOTE: REMOVE TREATED OR SYNTHETIC BURLAP COMPLETELY. REMOVE ANY SOIL AND/OR MULCH AWAY FROM TREE CROWN AFTER INSTALLATION.

NOTES:  
1. THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.

## 1 DECIDUOUS TREE PLANTING AND STAKING DETAIL

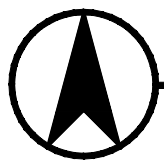
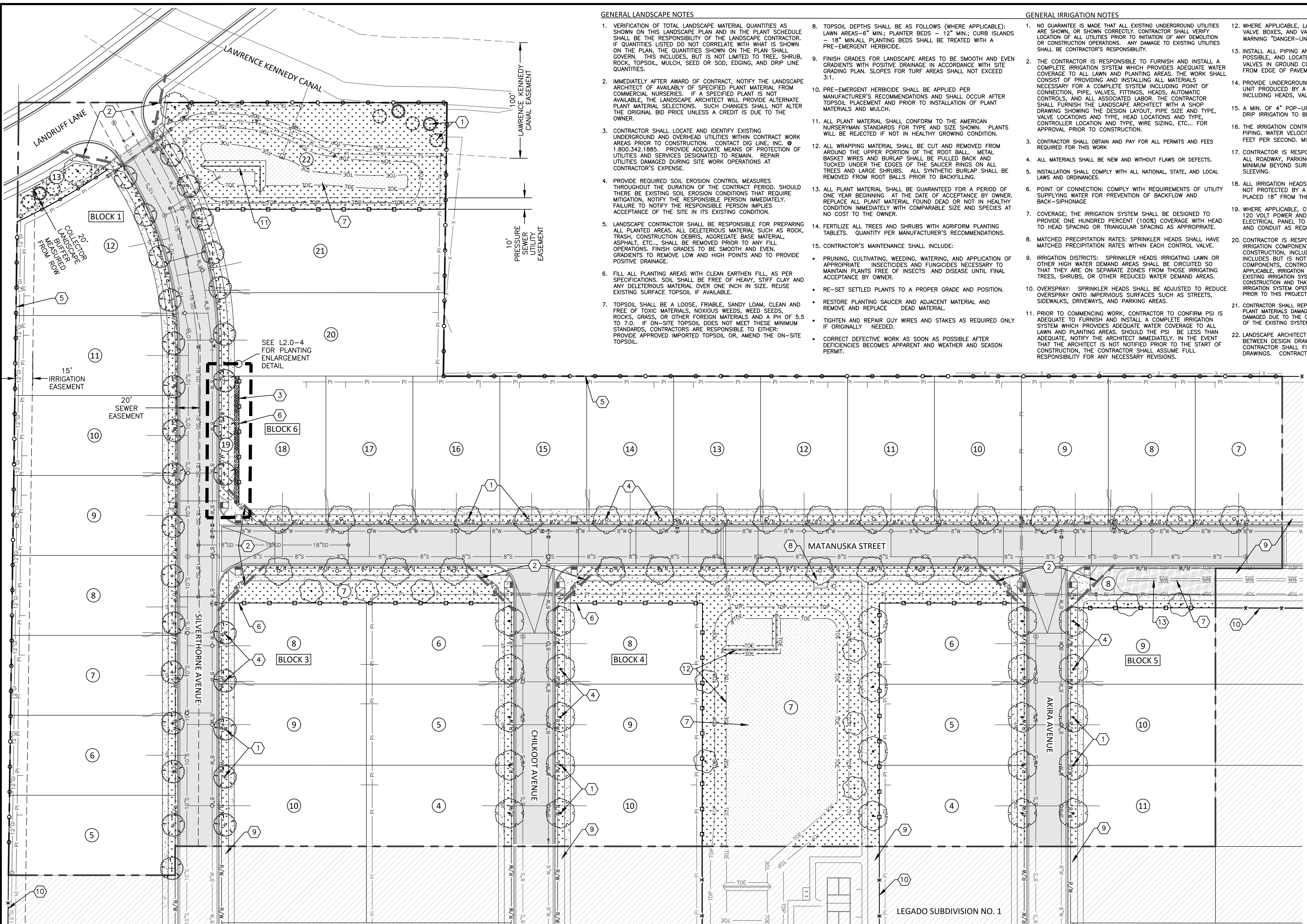
NTS

## GENERAL LANDSCAPE NOTES

- VERIFICATION OF TOTAL LANDSCAPE MATERIAL QUANTITIES AS SHOWN ON THIS LANDSCAPE PLAN AND IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. IF QUANTITIES LISTED DO NOT CORRELATE WITH WHAT IS SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. THIS INCLUDES, BUT IS NOT LIMITED TO TREE, SHRUB, ROCK, TOPSOIL, MULCH, SEED, SOD, EDGING, AND DRIP LINE QUANTITIES.
- IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE LANDSCAPE ARCHITECT OF AVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. IF A SPECIFIED PLANT IS NOT AVAILABLE, THE LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD UTILITIES WITHIN CONTRACT WORK AREAS PRIOR TO CONSTRUCTION. CONTACT DIG LINE, INC. @ 1.800.342.1885. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
- PROVIDE REQUIRED SOIL EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONTRACT PERIOD. SHOULD THERE BE EXISTING SOIL EROSION CONDITIONS THAT REQUIRE MITIGATION, NOTIFY THE RESPONSIBLE PERSON IMMEDIATELY. FAILURE TO NOTIFY THE RESPONSIBLE PERSON IMPLIES ACCEPTANCE OF THE SITE IN ITS EXISTING CONDITION.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIAL SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC., SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FINISH GRADES TO BE SMOOTH AND EVEN. GRADIENTS TO REMOVE LOW AND HIGH POINTS AND TO PROVIDE POSITIVE DRAINAGE.
- FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL, AS PER SPECIFICATIONS. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. REUSE EXISTING SURFACE TOPSOIL IF AVAILABLE.
- TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIALS AND A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTORS ARE RESPONSIBLE TO EITHER PROVIDE APPROVED IMPORTED TOPSOIL OR AMEND THE ON-SITE TOPSOIL.
- TOPSOIL DEPTHS SHALL BE AS FOLLOWS (WHERE APPLICABLE): LAWN AREAS-6" MIN.; PLANTER BEDS - 12" MIN.; CURB ISLANDS - 18" MIN. ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE.
- FINISH GRADES FOR LANDSCAPE AREAS TO BE SMOOTH AND EVEN GRADIENTS WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN. SLOPES FOR TURF AREAS SHALL NOT EXCEED 3:1.
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN HEALTHY GROWING CONDITION.
- ALL WRAPPING MATERIAL SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PORTION OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN HEALTHY CONDITION IMMEDIATELY WITH COMPARABLE SIZE AND SPECIES AT NO COST TO THE OWNER.
- FERTILIZE ALL TREES AND SHRUBS WITH AGRIFORM PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR'S MAINTENANCE SHALL INCLUDE:
  - PRUNING, CULTIVATING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE UNTIL FINAL ACCEPTANCE BY OWNER.
  - RE-SET SETTLED PLANTS TO A PROPER GRADE AND POSITION.
  - RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE AND REPLACE DEAD MATERIAL.
  - TIGHTEN AND REPAIR GUY WIRES AND STAKES AS REQUIRED ONLY IF ORIGINALLY NEEDED.
  - CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOMES APPARENT AND WEATHER AND SEASON PERMIT.

## KEY NOTES (TYPICAL) (#)

- INSTALL 3" DIAMETER SHOVEL CUT TREE RING, WITH BARE EARTH SURFACE AT ALL TREES WITHIN TURF AREAS.
- 40' CLEAR VISION TRIANGLE. NO TREES SHALL BE PLANTED WITHIN A CLEAR VISION TRIANGLE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUND COVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE 3' FROM THE ADJACENT STREET GRADE.
- ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH ORGANIC PERMABARK (ROCK) MULCH WITH PERMEABLE FABRIC WEED BARRIER. SUBMIT SAMPLE TO OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLING. THE USE OF MULCH OR ROCK AS THE ONLY GROUND COVER IN REQUIRED PLANTING AREAS IS PROHIBITED. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED.
- TREES PLANTED IN PARK STRIPS TO BE CENTERED IN STRIP.
- 6" HEIGHT VINYL FENCE. MATCH PREVIOUS PHASE. SEE FENCE PLAN AND L2.0-2.
- 6" HEIGHT VINYL FENCE WITH LATTICE TOP. MATCH PREVIOUS PHASE. SEE FENCE PLAN L2.0-3.
- TURF SEED. SOD NOT ALLOWED.
- MAIL KIOSK. SEE CIVIL PLANS.
- EXISTING LANDSCAPING AND IRRIGATION TO REMAIN. RETAIN, PROTECT, AND OR ADJUST AS SHOWN. CONTRACTOR SHALL FIELD VERIFY LIMITS OF DISTURBANCE AND PATCH BACK ALONG PHASE BOUNDARY AS NECESSARY. TRANSITION BETWEEN NEW AND EXISTING LANDSCAPE SHALL BE NON RECOGNIZABLE AND COHESIVE WHEN FINISHED. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING LANDSCAPE PLANTING AREAS AND IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT. CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTOR'S FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COURSE OF CONSTRUCTION.
- EXISTING FENCE FROM PREVIOUS PHASE TO REMAIN. PRESERVE AND PROTECT.
- DETENTION POND. SEE CIVIL PLANS.
- INFILTRATION POND. SEE CIVIL PLANS.
- BIORETENTION SWALE. SEE CIVIL PLANS.



## LANDSCAPE PLAN

0 50 100 150  
Plan Scale: 1" = 50'

## CONTACT INFORMATION

## OWNER/DEVELOPER

BENT LN, LLC  
1857 W. OAKHAMPTON DRIVE  
EAGLE, IDAHO 83616  
CONTACT: BRITTANY SOFRO  
PHONE: (208) 340-0884  
EMAIL: brittany.sofro@icloud.com

## LANDSCAPE CONSULTANT

KM ENGINEERING, LLP  
5725 NORTH DISCOVERY WAY  
BOISE, IDAHO 83713  
PHONE: (208) 639-6939  
FAX: (208) 639-6930  
CONTACT: ALYSSA YENSEN, PLA  
EMAIL: ayensen@kmengllp.com

## RESIDENTIAL COMMON LOT TREE REQUIREMENTS (1 TREE/4000 SF)

BLOCK #	LOT #	LOT AREA (SF)	QUALIFIED AREA (SF)	QUALIFIED AREA (AC)	REQ	PRVD
1	13	1,476	1,476	0.03	0	0
3	7	6,600	6,600	0.15	1	3
4	7	43,202	43,202	0.99	9	9
5	8	3,672	3,672	0.08	1	2
6	19	1,549	1,549	0.04	0	0
6	22	21,650	15,626	0.36	3	5
			EXCLUDES LAWRENCE KENNEDY CANAL			

## TOTAL COMMON LOT TREES

14 19

## LANDSCAPE BUFFER REQUIREMENTS ALONG COLLECTOR PER 100 LF:

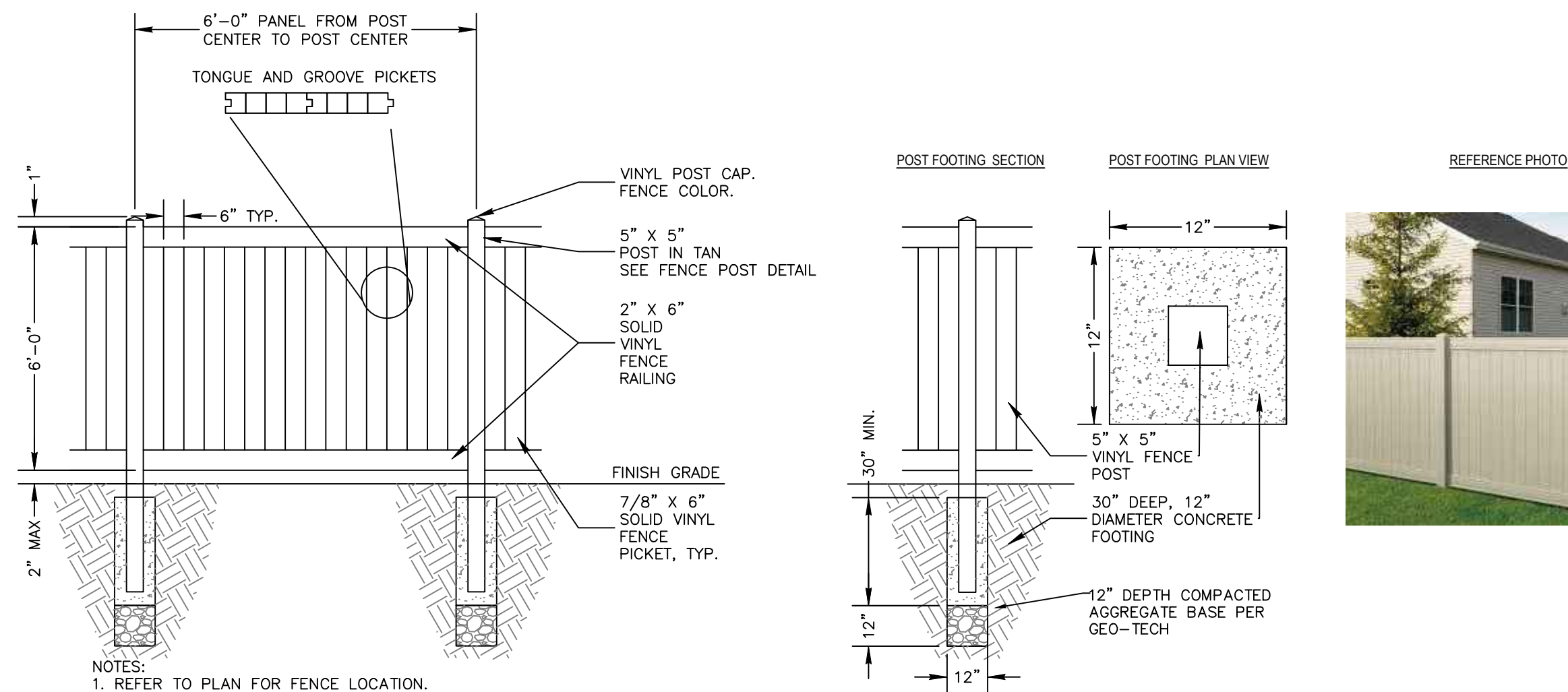
(2) SHADE TREES AND (2) EVERGREEN TREES

STREET NAME	LF	CALCULATION	REQ	PRVD
LANDRUFF LN.	126	SHADE TREES = (126/100)*2	2	2
		EVERGREEN = (126/100)*2	2	3

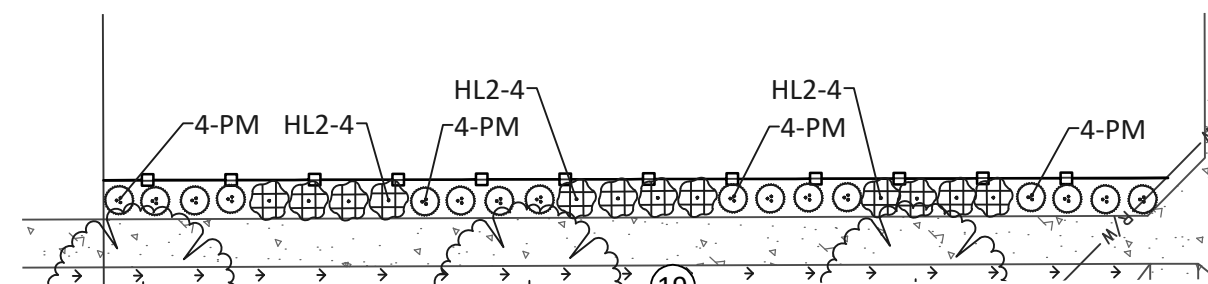
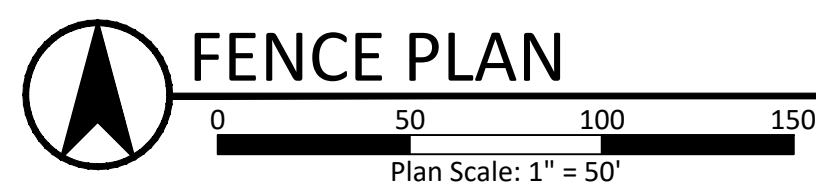
## TOTAL TREES REQUIRED/PROVIDED

18 103







### 3 6' TAN VINYL FENCE WITH LATTICE TOP



**4. PLANTING DETAIL**

0 20 40 60  
Plan Scale: 1" = 20'

PLANT SCHEDULE SEE L.1.0 FOR FULL PLANT SCHEDULE					
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE HXW
<b>SHRUBS</b>					
	HL2	12	HYDRANGEA PANICULATA 'LITTLE LIME'	2 GAL.	4'X4'
	PM	16	LITTLE LIME HYDRANGEA PINUS MUGO 'MOPS' MOPS MUGO PINE	2 GAL.	3'X3'

[illegible]

LEGADO SUBDIVISION NO. 2  
STAR, IDAHO

---

LANDSCAPE IMPROVEMENT PLAN  
FENCE PLAN AND PLANTING DETAILS



**kme**  
ENGINEERING  
5725 NORTH DISCOVERY WAY  
BOISE, IDAHO 83713  
PHONE (208) 639-6939  
kmengllp.com

DESIGN BY:	MPH
DRAWN BY:	MPH
CHECKED BY:	AY
DATE:	2/28/25
PROJECT:	24-303
<b>SHEET NO.</b>	

L2.0

**Shawn Nickel**

**From:** McDannel, Konrad <KMcDannel@republicservices.com>  
**Sent:** Tuesday, May 20, 2025 3:16 PM  
**To:** Shawn Nickel; cheath@kmengllp.com  
**Cc:** Klein, Rachele; Pastoor, William  
**Subject:** FW: Agency Transmittal - Legado Subdivision Final Plat Phase 2  
**Attachments:** Agency Transmittal - Legado Subdivision Final Plat Phase 2.pdf

Good afternoon,

Question about the NW corner and if Silverthorne Ave continues through or dead ends? We might have trouble getting to those customers if the road ends without a proper turnaround.

Sincerely,

**Konrad McDannel**

Municipal Marketing Coordinator

11101 W Executive Dr  
 Boise, ID 83713  
 e [kmcdannel@republicservices.com](mailto:kmcdannel@republicservices.com)  
 o 2084078290  
 w [RepublicServices.com](http://RepublicServices.com)



Sustainability in Action

---

**From:** Klein, Rachele <RKlein@republicservices.com>  
**Sent:** Tuesday, May 20, 2025 2:36 PM  
**To:** McDannel, Konrad <KMcDannel@republicservices.com>; Pastoor, William <WPastoor@republicservices.com>  
**Subject:** FW: Agency Transmittal - Legado Subdivision Final Plat Phase 2

**Rachele Klein**

Municipal Services Manager

11101 W. Executive Drive  
 83713  
 e [rklein@republicservices.com](mailto:rklein@republicservices.com)  
 o 2082830624  
 w [RepublicServices.com](http://RepublicServices.com)



Sustainability in Action



**Shawn Nickel**

**From:** Ryan Morgan  
**Sent:** Tuesday, May 27, 2025 7:34 PM  
**To:** Barbara Norgrove; Shawn Nickel  
**Cc:** Tim Clark; Ryan Field  
**Subject:** RE: Agency Transmittal - Legado Subdivision Final Plat Phase 2  
**Attachments:** 2025-05-21, Legado Phase 2, Final Plat and Construction Drawing Checklist 2.pdf

The engineering team has completed two reviews for the proposed final plat. With those reviews have resolved most of the issues and support moving forward with the final plat approval.

**Ryan V. Morgan; P.E., CFM**  
**City Engineer**  
 City of Star  
 P.O. Box 130  
 Star, ID 83669  
 208-286-7247 x3002



*"The brightest jewel in the Gem State"*

This message has been sent to you as official business of the City of Star. This E-mail and any attachments may be considered confidential. If you are not the intended recipient, please be advised that you are legally prohibited from retaining, using, copying, distributing, or otherwise disclosing this information in any manner. If you have received this communication in error, please reply to the sender and then immediately delete it. Thank you for your cooperation.

**PUBLIC RECORD NOTICE: All communications transmitted within the City of Star Email system may be a public record and may be subject to disclosure under the Idaho Public Records Act (Idaho Code 9-337 et seq.) and as such may be copied and reproduced by members of the public.**

**From:** Barbara Norgrove <bnorgrove@staridaho.org>  
**Sent:** Tuesday, May 20, 2025 8:09 AM  
**To:** sheriff@adaweb.net; Daniel.Weed@cableone.biz; GIS@tax.idaho.gov; D3Development.Services@itd.idaho.gov; irrigation.mm.mi@gmail.com; bryce@sawtoothlaw.com; Melvin.B.Norton@usps.gov; ERIC.GRZEBINSKI@mdu.com; BRO.Admin@deq.idaho.gov; kris.margheim@idwr.idaho.gov; permits@midstarfire.org; lbuckway@msd134.org; projectmgr@boiseriver.org; bcrawforth@canyonco.org; rstewart@middletoncity.com; zoninginfo@canyoncounty.id.gov; brandy.walker@centurylink.com; samuel.flores@sparklight.biz; jack.nygaard@phd3.idaho.gov; oocc@canyonco.org; irrigation.mm.mi@gmail.com; kdahl@canyonco.org; zoninginfo@canyonco.org; info@pioneerirrigation.com; syarrington@adacounty.id.gov; hday@starswd.com; westerninfo@idwr.idaho.gov; mgee@msd134.org; LPennington@msd134.org; lgrooms@msd134.org; Cheryl.Implach@intgas.com; Gloria Stokes <drain.dist.2@gmail.com>; file@idwr.idaho.gov; Mitch Kiester <Mitch.Kiester@phd3.idaho.gov>; Kerry.schmidt@intgas.com; Ryan Morgan <rmorgan@staridaho.org>; rmorgan@starswd.com; Andy Waldera <andy@sawtoothlaw.com>; brandon.flack@idfg.idaho.gov; Mwallace@achdidaho.org; Ryan Field <rfield@staridaho.org>; rgirard@staridaho.org; ctodd@staridaho.org;



## CITY OF STAR FINAL PLAT AND CONSTRUCTION DRAWING REVIEW CHECKLIST

Subdivision: Legado Phase: 2 Date: 5/21/2025

Developable Lots: 37 Review No: 2

Development Team: Bent Lane LLC Contact: Tim Eck

Tel: 208-850-0591 Email: [timothyeck@me.com](mailto:timothyeck@me.com)

Engineering Firm: KM Engineering Engineer: Jeff Doersch

Tel: 2086396939 Email: [jdoersch@kmengllp.com](mailto:jdoersch@kmengllp.com)

Property Location: Bent Lane

Review Check By: Ryan Morgan, P.E., City Engineer

### CONSTRUCTION DRAWING AND FINAL PLAT REVIEW

ITEM	OK	NEED	N/A	GENERAL APPLICATION REQUIREMENTS
1	X			Submit one PDF copy of final engineering construction drawings showing streets, sidewalk, water, sewer, pressure irrigation, street lighting, landscaping, and other public improvements.
2	X			Submit one PDF copy of final plat, including signatory sheet.
3	X			Submit 8½ x 11 map showing property in relation to floodplain and/or floodway. Provide Floodplain Development Permit Application as required.
4	X			Submit one PDF copy of landscape plan. Confirm consistent with approved preliminary plat.
5	X			Submit one PDF copy of fencing and wall plan, can be included as part of the landscape plan. Fences and walls must be setback 5 feet from back of walk.
ITEM	OK	NEED	N/A	RE-SUBMITTAL REQUIREMENTS*
6				Return (1) one revised plan set in pdf format <b>to the City of Star Engineer</b> . PDF may be provided via email or on a thumb drive Unbound or un-collated plan sets will not be accepted.
7				Provide a response letter, <b>referencing the City of Star checklist</b> with the revised plan set that highlights what actions were taken to correct any outstanding items.
ITEM	OK	NEED	N/A	FINAL PLAT REVIEW
8	X			10-foot utility and irrigation easements are shown, or noted, along the front lot lines, rear lot lines, and side lot lines as required.

9	X			Public and private easements are shown on plat for open spaces, access drives, drainage facilities, floodway maintenance boundaries, offsite storage areas and connecting piping for detached flood water storage impoundments, existing irrigation ditches, new irrigation ditches or pipelines, bicycle / pedestrian pathways (connectivity to adjacent developments), and irrigation piping.
10	X			Verified written legal description.
11	X			Right to Farm Act Note on face of plat.
12	X			Note on face of plat: "This subdivision is located within zone XX as shown on the firm panel ### , City of Star, Ada County, (or Canyon County?) Idaho and Incorporated Areas. A building permit shall not be issued for any lot that is located within the mapped floodplain until a Flood Plain Development Permit is obtained for the individual lot. Each lot within the mapped floodplain shall require an individual Flood Plain Development Permit."
13	X			Note is shown on the final plat: <b>"Minimum building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and / or required."</b>
14	X			Seal of Professional Land Surveyor is displayed, dated, and signed on face of plat.
15	X			On the signature page of the plat please include the following <b>"I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, ON THIS DAY,</b> _____, <b>HEREBY APPROVE THIS PLAT."</b> underneath the <b>APPROVAL OF CITY ENGINEER</b> line, and before the signature line.
<b>ITEM</b>	<b>OK</b>	<b>NEED</b>	<b>N/A</b>	<b>GENERAL</b>
16	X			Construction drawings are stamped, signed, & dated by a professional engineer licensed in the State of Idaho.
17	X			A natural features map showing all existing site features and 1-foot contour elevations is provided in accordance with the City's code.
18	X			Each sheet has north arrow, graphic scale, date, title block and sheet number.
19	X			Street lighting plans are provided showing pole locations at every corner and end of cul-de-sac and luminary types. All street lighting shall be in accordance with the current edition of the ISPWC and the City of Star standards.



20	X			All profiles are drawn to the same horizontal scale as plan views.
21	X			Subdivision layout is consistent with Preliminary Plat and Development Agreement requirements – Street width sidewalk location and width or other requirements.
<b>ITEM</b>	<b>OK</b>	<b>NEED</b>	<b>N/A</b>	<b>FLOODPLAIN DEVELOPMENT</b>
22	X			Provide completed Floodplain Application. Floodplain application must be approved prior to approval of final plat. <b>Included with Phase 1</b>
23	X			Floodplain and floodway boundaries and elevations are shown on the grading plans and final plat.
24	X			Building pad elevations are greater than or equal to 2 feet above the base flood elevation.
25	X			Roadway centerline elevations, manholes and other minor structure rim elevations are 0.5-feet above the base flood elevation.
26	X			The vertical datum used for elevations shown on grading and drainage plans is NAVD 88 for all developments that are fully or partially within the floodplain.
27			X	Easements and conveyance provisions have been made for connection between the floodway and any detached floodwater storage impoundment.
28			X	Calculations are provided and show 48-hour max time for 100% utilization of detached storage impoundment.
<b>ITEM</b>	<b>OK</b>	<b>NEED</b>	<b>N/A</b>	<b>GRADING PLAN</b>
29	X			Grading plans are provided and are stamped, dated, and signed by a professional engineer licensed in the State of Idaho.
30	X			Grading plans show finished, existing, and base flood 1-foot contour elevations.
31	X			Plan and profile sheets show proposed and existing utilities (rim elevations, pipe invert elevations, etc.), finished centerline roadway grades, existing grade, and base flood elevations.
32	X			Existing irrigation ditches, canals, and easements are shown.
33	X			Tops and toes of all cut and fill slopes are set back from property boundary at least 3-feet plus 1/5 the height of the cut or fill but need not exceed 10-feet. (Spot checked by City Engineer)
34	X			Tops and toes of cut and fill slopes are set back from structures 6-feet plus 1/5 of the height of the cut or fill but need not exceed 10-feet. (Spot checked by City Engineer)
35	X			Cut and fill slopes are no steeper than 2H:1V. (Spot checked by City Engineer)

36	X			Drainage facilities and easements are shown.
37			X	Retaining walls are shown on plans with weephole locations. Weep holes cannot drain onto neighboring properties without written permission from property owner.
38			X	Retaining wall top of wall, bottom of wall and bottom of footing elevations are provide.
39			X	Retaining walls are dimensioned on the plans, providing lineal foot of the face of the wall(s).
40			X	Retaining wall details are provided.
41	X			Provisions have been made for permeant erosion control at pipe outfalls, along steep earth slopes, and within drainage ditches.
42	X			Existing and proposed elevations match at property boundaries.
43		X		Drainage swale or other mitigation provided to prevent drainage onto neighboring properties. <b>Prior to construction drawing approval I need to see the retaining wall detail, including the location of any weep holes or other drainage discharge from the wall.</b>
ITEM	OK	NEED	N/A	<b>DRAINAGE PLAN</b>
44	X			Drainage plans are provided and stamped, dated, and signed by a professional engineer licensed in the State of Idaho.
45	X			Drainage calculations are provided and stamped, dated, and signed by a professional engineer licensed in the State of Idaho.
46	X			Narrative is provided that describes the proposed method of stormwater retention.
47	X			Drainage calculations contain no arithmetic errors. Drainage basin map areas match calculations. (Spot checked by City Engineer)
48	X			The design storm, percolation rate, or other design criteria are within accepted limits. (ITD Zone A—IDF Curve; Storage designed for 100 year storm; Primary conveyance designed for 25-year storm)
49			X	Peak discharge rate and velocity through sand and grease traps calculated and are less than 0.5 ft/sec.
50	X			Able to determine drainage directions from information given.
51	X			Drainage facilities do not conflict with other utilities. (Spot check by City Engineer)
52			X	Provision for conveyance or disposal of roof drainage provided for commercial developments.
53	X			Storm water pretreatment provided. BMP facilities are designed in conformance with the "State of Idaho

				Catalog of Stormwater Best Management Practices”.
54	X			5-foot setback from property line maintained for drainage facilities.
55	X			Drainage basin / pond dimensions listed or noted.
56	X			Drainage facilities drawn to scale on grading and drainage plan.
57	X			Section view of drainage facility provided; Section view includes high ground water elevation.
58	X			Drain rock, ASTM C33 sand, or pond liner specified.
59	X			Vegetative cover shown over biofiltration facilities.
60	X			3-foot separation from bottom of drainage facility to maximum seasonal high groundwater elevation shown on detail. Ground water elevation must be shown, if not encountered provide elevation of the bottom of deepest test pit.
61	X			Stormwater retained onsite, does not drain to adjacent property without written approval. Residential lots do not drain onto adjacent residential lots within the subdivision.
62		X		Appropriate license agreements have been executed and are provided for offsite discharge of storm water. <b>It appears I missed this earlier but it appears you are discharging into the Lawrence Kennedy Canal. Please provide agreement with Drainage District #2 that show this is allowed.</b>
<b>ITEM</b>	<b>OK</b>	<b>NEED</b>	<b>N/A</b>	<b>GRAVITY IRRIGATION</b>
63		X		Plan approval letter is provided from the appropriate irrigation district. <b>I see something in regards to CCWC easement, but what about work in the Lawrence Kennedy, including the discharge.</b>
<b>ITEM</b>	<b>OK</b>	<b>NEED</b>	<b>N/A</b>	<b>PRESSURE IRRIGATION</b>
64	X			Plans for a pressure irrigation system are provided (Required only if development contains more than four lots).
65	x			The pressure irrigation system is <i>not</i> connected to the potable water system.
66			X	Provide written verification and plan approval from Star Sewer and Water District if potable water is planned to be used as a secondary irrigation source.
67	X			Design provides a minimum of 15 gpm @ 45 PSI to each destination point.
68	X			If pressure irrigation will not be available to each lot at all times, provide rotation schedule for irrigation system usage identifying times and days that pressure irrigation will be available to each lot.
69	X			Easements are provided for all pressure irrigation piping.

				(Note on face of plat).
70	X			Main line distribution piping is 3-inches in diameter or greater.
71	X			Provisions are made for diversion and flow measurement from a gravity irrigation source ditch.
72	x			Applicants provided verification with a signed contract indicating written assurance that provisions have been made for ownership, operation, and maintenance of the irrigation system.
73	x			Provided verification that water rights and/or irrigation shares will be transferred to the association managing entity.
<b>ITEM</b>	<b>OK</b>	<b>NEED</b>	<b>N/A</b>	<b>Prior to Final Plat Signature</b>
74		X		Proportionate shares are paid.
75		X		All improvements constructed as outlined on approved construction plans, including sidewalk widths and landscaping improvements. Street trees located in front of residential developments may be withheld and tied to residential building permits and final occupancy.
76		X		Letter from Landscape Architect of Record that Landscaping is in general compliance with landscape plans.
77		X		Letter of credit for outstanding pressure irrigation and landscaping improvements <b>only</b> when weather conditions precludes construction of improvements prior to signature of mylar.
78		X		Provide infiltration test results for all private storm drainage infiltration facilities.
79		X		General development appearance is consistent with City standards.
80		X		Signed and executed license agreements with all pertinent irrigation and drainage districts.

**\*All re-submittals should be returned to the City of Star for re-review.**

**Notes:**

*Additional Final Plat Comments:*

•

*Additional Construction Drawing Comments:*

•



**Your Safety • Your Mobility  
Your Economic Opportunity**

**IDAHO TRANSPORTATION DEPARTMENT**

P.O. Box 8028 • Boise, ID 83707-2028  
(208) 334-8300 • [itd.idaho.gov](http://itd.idaho.gov)

September 9, 2022

Paul & Vicki Larson  
Star River Development, LLC  
855 S. Calhoun Place  
Star, ID 83669  
[paul@pdlarson.com](mailto:paul@pdlarson.com)  
Phone: (925) 922-9201

VIA EMAIL

RE: Star River Ranch – ITD Development Condition Memo (update to and replacement for previous memo dated 16 November 2021)

Dear Mr. Larson,

We appreciate your continued partnership as we work with your team, the City of Star and ACHD to appropriately consider the transportation impacts of your proposed development. Much effort has been made to consider both the ultimate, full buildout impacts of all development in the Southwest quadrant of SH-16 and SH-44 off of Moyle Dr. and the current proposed proportion of those impacts from your specific development. After additional consideration of the timing and available funding for state funded transportation projects in the Star area, we offer the following conditions for your development:

Proportionate Share. ITD entered into a intergovernmental agreement with the City of Star to provide for the maintenance and improvement of SH-44. The TIS for your project estimates the total impacts from all development on the site. However, the City of Star estimated your proportion of the total proportionate share to be \$900 per dwelling, as described in Development Agreement for Edgefield at Star River Ranch, dated 15 March 2022, for a total of \$237,600 and included that agreement in the adoption of City Ordinance No. 347-2022.

Intersection of SH-44 and Secondary Access (RIRO, 460ft east of Moyle). The development has proposed a right-in, right-out approach onto SH-44 approximately 460ft east of Moyle Ave (measured from centerline to centerline). A right-in, right-out approach functions at acceptable levels of operation with the addition of an



**Your Safety • Your Mobility  
Your Economic Opportunity**

**IDAHO TRANSPORTATION DEPARTMENT**

P.O. Box 8028 • Boise, ID 83707-2028  
(208) 334-8300 • [itd.idaho.gov](http://itd.idaho.gov)

eastbound right-turn lane and can be designed to fit outside the current purchased access control of the ITD. See summary for more detail.

Intersection of SH-44 and Moyle Ave. Per the TIS, the intersection has failing northbound movements at 20% buildout. The recommended mitigation is signalization of the intersection. ITD previously discussed this mitigation with the city of Star and finds it to be an acceptable solution. The city of Star's Traffic Signal Analysis showed that for a signal at Moyle Ave to function at acceptable levels of operation in 2045, the intersection needed to include additional turn lanes. ITD requires that the traffic signal and associated turn lanes be installed concurrently upon issuance of the encroachment permit. See summary below for more detail.

Thank you again for your partnership. If there are any questions or concerns please don't hesitate to contact the Planning and Development Services Manager, Vince Trimboli, at [Vincent.trimboli@itd.idaho.gov](mailto:Vincent.trimboli@itd.idaho.gov) or at 208-334-8817.

Sincerely,

J. Caleb Lakey, P.E.  
ITD District 3 Administrator

cc.  
Shawn Nickel – City of Star  
Mindy Wallace – ACHD  
Vince Trimboli – ITD D3





**Your Safety • Your Mobility  
Your Economic Opportunity**

**IDAHO TRANSPORTATION DEPARTMENT**

P.O. Box 8028 • Boise, ID 83707-2028  
(208) 334-8300 • [itd.idaho.gov](http://itd.idaho.gov)

## Star River Ranch – Mitigation Improvements Summary

### Proportionate Share

- In accordance with Development Agreement para 2 (h), signed 15 March 2022, between the City of Star and Star River Development, the developer shall pay the City of Star \$237,600 as a proportionate share contribution for roadway improvements prior to occupancy of any improvements.

### Intersection of SH-44 / Site Access A (Proposed Right-in Right-out Approach)

- Construct to ITD design standards for a 55MPH roadway a 12ft wide eastbound right turn lane at the intersection of SH-44/Site Access A.
  - Shoulders along the entire length of the right turn lane shall be 8ft wide.
  - Right turn lane length = 180ft deceleration + 180ft taper = 360ft total.
  - Any needed right of way to accommodate the turn lane and future widening of SH-44 is to be dedicated by the developer.
- Install a traffic separator using shur-curb along the southern edge of the two-way-left-turn lane to limit the approach to right-in, right-out
  - Traffic separator shall extend 150ft in both directions from the centerline of the approach.
  - Traffic separator shall installed so that emergency services can continue utilizing the approach north of SH-44.
- Ensure all design elements are coordinated with future plans for SH-44 and/or the SH-44/SH-16 interchange.
- Coordinate with ITD D3 for final plan approval and encroachment permitting.

[D3developmentservices@itd.idaho.gov](mailto:D3developmentservices@itd.idaho.gov)

### Intersection of SH-44 / Moyle Ave

- Subsequent to issuance of ITD's encroachment permit install a traffic signal that meets ACHD design standards.
  - Signal shall be connected to ACHD's traffic management center with fiber.
  - All traffic signals between Plummer Road and SH-16 must be in a coordinated system prior to turning on the signal at Moyle Ave.
  - Signal timing shall give priority to SH-44 traffic, especially during peak hour traffic to minimize delay on the already congestion SH-44 corridor, until such time that SH-44 is widened to two lanes each direction. *The developer notes that this will cause delays for Moyle Ave traffic in the interim and that the signal is being accepted in advance of the widening at their request.* The widening of SH-44 is currently in ITD's program as Key Number 20574 in FY2026.



**Your Safety • Your Mobility  
Your Economic Opportunity**

**IDAHO TRANSPORTATION DEPARTMENT**

P.O. Box 8028 • Boise, ID 83707-2028

(208) 334-8300 • [itd.idaho.gov](http://itd.idaho.gov)

- Intersection design shall accommodate the following:
  - Two eastbound and westbound thru lanes on SH-44
  - Dual 14ft-wide westbound left-turn lanes off of SH-44
  - Dual lefts must be centered along SH-44 to cause minimal shifting of the thru lanes.
  - Single 14ft wide eastbound left turn lane off of SH-44.
  - Total length including taper = 1406ft
- Intersection configuration shall be as follows:
  - Two southbound receiving lanes on the south leg of Moyle Avenue designed to ACHD standards.
  - Northbound Moyle Ave shall have a dedicated left turn lane, a thru lane and a right turn lane designed to meet ACHD standards.
  - Southbound Moyle Ave shall have a dedicated left turn lane and combined thru-right designed to meet ACHD standards.
  - Single 14ft wide eastbound and westbound left turn lane off of SH-44.
  - Eastbound and westbound right turn lanes on SH-44, total length = 570ft including taper
  - Signal poles shall be in the ultimate configuration to accommodate the future widening of SH-44 (KN20574).
  - Interim accommodations for pedestrians crossings of SH-44; final accommodations for crossing Moyle Ave.
  - Interim striping, as needed, to accommodate future widening of SH-44.
- Construct 8ft shoulders along SH-44 for any areas associated with pavement widening.
- Developer is responsible for dedicating any right of way necessary to accommodate the turn lanes and drainage that extends outside of ITD's right of way.
- Ensure all design elements are coordinated with future plans for SH-44 and/or the SH-44/SH-16 interchange.
- Coordinate with ITD D3 for final plan approval and encroachment permitting.

[D3developmentservices@itd.idaho.gov](mailto:D3developmentservices@itd.idaho.gov)



May 14, 2025

KM Engineering, LLP  
5725 North Discovery Way  
Boise, Idaho 83713  
Attention: Jeff Doersch, P.E

**RE: Legado Subdivision No. 2  
Improvement Drawings 1<sup>st</sup> Submittal**

Canyon Highway District No. 4 (HD4) has reviewed the improvement drawings for Legado Subdivision No. 2 stamped 3/07/2025, accessing through phase 1, via Bent Lane south of SH44/Bent Ln Intersection. Staff Reviewed for conformance with ACHD Policy Manual Sections 3000-3005, Sections 7200-7211 and HD4 Storm Drainage standards, and provides the following comments:

**General**

1. Provide to HD4, approval from Drainage District 2, to discharge Storm Drain to the Lawrence Kennedy canal and amount of discharge.
2. Provide a detailed estimate for payment, in lieu of Construction, for the portion of Silverthorne Ave that extends to Landruff, provide the estimate for HD4 to review/approve prior to submission of the actual fees, fees will be required prior to Plat signature.
  - a. ~\_\_\_ lf curb/gutter & sidewalk.
  - b. ~\_\_\_ sf of roadway, to include base, subbase and asphalt quantities
  - c. Roadway signing/stripping quantities.
3. Revise to provide a note on sheets C2.1-2.2 & C4.1, Contractor shall provide adequate cover over installed SD pipes during construction, any damage/failure to SD pipe due to heavy construction traffic is the responsibility of the contractor to inspect and/or replace.

**Plat**

1. Revise to show 1/4 section corner and line for Section 12/13 on all plat sheets.
2. Revise sheet 2 of 4, graphic "Bar" scale doesn't match drawing or "Plan Scale" units.
3. Revise to provide a note specifying no direct lot access to Landruff Lane.

**Improvement Plans**

**Sheet C1.0**

1. Revise/verify there are two #4 benchmarks, one at SE boundary & one at NE, on section line, E of Bent Ln.

**Sheet C1.2**

1. Revise to callout to retain & protect Benchmark #1, S ¼ Cor Sec 12 & N ¼ Cor Sec 13. Coordinate to show with all sheets, identifying any conflicts, (G.I. or P.I. etc.) do not disturb Benchmark #1. Sheet C1.0

**Sheet C1.4**

1. Revise to show 1/4 section corner monument and line for Section 12/13, identify any conflicts, (G.I. or P.I. etc.) do not disturb Benchmark #1. Sheet C1.0
2. Revise/coordinate pedestrian ramp crossing locations with sheets C2.1 - 2.3.

**Sheet C2.1**

1. Revise to show “Begin Construction” (~13+05) CL FG in the profile.
2. Consider “End of Construction” @ 19+13.28 (HP in profile), so rough grading can match into existing (~2’ fill), until road is connected into Landruff alignment. *See General #2 above.*
3. Revise to show SD pipe, MH, inlets in profile & plan view with CL station/offset, coordinate with C4.1.
4. Revise “TB3” to include “Road to be Extended in the Future” sign on barricade.
5. Revise pedestrian ramp transition “wings” to be drawn to scale, ~3’. *(Per ISPWC tables & C2.5 detail)*
6. To accommodate driveways, revise the E-W ped alignment to be near or at the lot corner of 9 & 10 Blk 1, on the west side, move east side accordingly to align. Coordinate revised location with landscaping and water plans.

**Sheet C2.2**

1. Revise to show SD pipe, MH, inlets in profile & plan view with CL station/offset, including DI @ ~4+52, coordinate with C4.1.
2. Revise pedestrian ramp transition “wings” to be drawn to scale, ~3’ *(Per ISPWC tables & C2.5 detail)*
3. To accommodate driveways, revise the N-S ped alignment to be near or at the lot corner of 14 & 15 Blk 6, on the north side, move south side accordingly to align. Coordinate revised location with landscaping and water plans.
4. Revise to add crown taper lines west and east of the valley gutter @ 14+52.

**Sheet C2.3**

1. Revise pedestrian ramp transition “wings” to be drawn to scale, ~3’ *(Per ISPWC tables & C2.5 detail)*.
2. To accommodate driveways, revise the N-S ped alignment to be near or at the lot corner of 8 & 9 Blk 6, on the north side, move south side accordingly to align. Coordinate revised location with landscaping and water plans.
3. Revise profile to show end of improvements/match existing station/elevation of profile ~19+35.(show existing as dashed TYP).

**Sheet C2.4**

1. Revise profile to show begin/end of improvements/match existing station/elevation of profile.(show existing as dashed TYP).
2. Revise to coordinate with C2.2 & 2.3 ped ramp comments.
3. Revise sheet continuation callout to be sheet C2.3 at Akira Plan (for Matanuska).

**Sheet C2.5**

1. Revise to add Storm Drain facility plan/section details.

**Sheet C4.1**

1. Revise/verify all storm drain design, pipes at manholes;
  - a. Top of 18" pipes are at/near bottom of road section, is there the minimum amount of barrel section above the hole/pipe for the in/out
  - b. Based on the proposed MH the top of the "Flat" lid needs to be minimum of 6" (collar) below FG, and Flat lid is 8" thick (1.167')
  - c. Verify there is enough road section on top of the MH Lid plus the 8" thick lid compared to the Top of pipe/barrel section (with minimum barrel section above pipe).
2. Revise to provide dimensions & detail for "BM1", "FB", "DET" & "IP1".
3. If approved by Lawrence Kennedy Canal, provide HGW elevation and verify outfall/discharge invert is above.
4. Revise "Sheet Notes" & "Civil Acronyms", no sheet C4.2 as referenced.
5. Revise to provide minimum 1' (foot) sump in all SD MHs (*SD-611 catch MH*).
6. Revise inlet(s) B-1 to meet SD-604A, minimum 3' from TBC to FL invert.
7. Consider moving SD to roadway sheets C2.1 thru 2.3, callouts and elevations are crowded and under objects, hard to read.

**Sheet C5.1-5.3**

1. Revise to show SD pipe, MH, inlets in profile for reference.
2. Revise Sewer to utilize CL station/offset, to coordinate with road geometry of plat and Storm Drain or provide EQ CL=Sewer (equation station) for sewer callouts.

**Sheet C6.1**

1. Revise to provide Water CL station/offset for meters, valves etc., to coordinate with road/plat geometry and lots corners.

**Sheet C7.1**

1. Revise "SLV", ACHD Policy 3066.020/030 does not exist. (H.S. & D.P. ACCHD policy?)

**Sheet C8.1**

1. Verify/revise that the ¼ Section Corner of 12 & 13 (common lot 13 blk 1) is not destroyed with gravity/pressure irrigation construction.

**Sheet L1.0**

1. Revise /verify tree location, to allow driveways where "T" pedestrian crossings are proposed, coordinate with sheets C2.1 thru 2.4.
2. Revise to show 1/4 section corner monument and line for Section 12/13.

### Drainage

1. No details or dimensions, elevations, HGW elevations, etc. are shown to check/verify drainage sizing calculations.
2. Revise Drainage Map to provide symbols legend, triangle=design points?
3. Revise to provide constant rainfall intensity numbers, how can phase 2 have lower intensity than phase 1 calculations (**PH 1-A3** 2.13/1.03 in/hr; **PH 2-DP 13 & 14** 1.67/1.03 in/hr) same basin.
4. Revise to provide infiltration calculations for DP 9 & 13/14 with time to drain/infiltrate.
5. Revise calculations for DP 9 & 13/14 to state infiltration pond/basin/forebay in the title.
6. Revise calculations for DP 9 & 13/14 to include *sheet flow length, mannings roughness, sheet flow slope, pipe flow length/velocity*, in calculation sheet. *Appear to be incomplete vs PH-1 calcs.*
7. Revise to provide the IDF curve/table.
8. Revise inlet reports, indicate event and max Q(cfs).

HD4 is charging additional review fees for any submittal after the 3<sup>rd</sup> review.

We recommend you perform complete in-house quality control reviews of plans and plats and supporting reports or documents, prior to submittal to avoid additional delays or additional fees for review of this and any other project submitted.

Responsibility of Design Engineer: The Registered Engineer who signs and stamps the improvement plans is responsible for the proper design and function of the improvements. Due to the nature and number of comments, additional comments may be made for future submittals. Acceptance of the improvement plans by the District does not relieve the design Engineer of this responsibility. HD4 Plan review is not intended to be the QA/QC review of the construction plans, is solely the responsibility of the Registered Engineer and the firm which they represent.

Please provide HD4 with a single hard copy and electronic copy of the plans, including supplementary materials requested above, for additional review. Also, submit a review comment sheet which explains the changes made versus the review comments provided.

Please feel free to contact me with any questions on this matter.

Respectfully,



Kraig Wartman  
Senior Engineering Tech.  
Highway District No. 4

Cc; File, Chris Hopper, District Engineer  
Shawn Nickel, Star Planning Director

1445 N. Orchard St.  
Boise ID 83706 • (208) 373-0550



Brad Little, Governor  
Jess Byrne, Director

May 23, 2025

Shawn L. Nickel  
Planning Director and Zoning Administrator  
Star City Hall  
P.O. Box 130  
Star, Idaho 83669  
[snickel@staridaho.org](mailto:snickel@staridaho.org)

Subject: Agency Transmittal - Legado Subdivision Final Plat Phase 2

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at:  
<https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

## 1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), and trade waste burning (58.01.01.600-617).
- For new development projects, all property owners, developers, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.
- DEQ recommends the city/county require the development and submittal of a dust prevention and control plan for all construction projects prior to final plat approval. Dust prevention and control plans incorporate appropriate best management practices to control fugitive dust that may be generated at sites.
- Citizen complaints received by DEQ regarding fugitive dust from development and construction activities approved by cities or counties will be referred to the city/county to address under their ordinances.
- Per IDAPA 58.01.01.600-617, the open burning of any construction waste is prohibited. The property owner, developer, and their contractor(s) are responsible for ensuring no prohibited open burning occurs during construction.
- For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.



## 2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

## 3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

#### 4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Multi-Sector General Permit from DEQ may be required for facilities that have an allowable discharge of storm water or authorized non-storm water associated with the primary industrial activity and co-located industrial activity. For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

#### 5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservations and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.

- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Matthew Pabich, Waste & Remediation Manager, at (208) 373-0550.

## 6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Troy Smith  
Regional Administrator

**REVISED**  
**FINDINGS OF FACT AND CONCLUSIONS OF LAW**  
**DUDE DEWALT WINERY ANNEXATION, COMPREHENSIVE PLAN AMENDMENT &**  
**CONDITIONAL USE PERMIT**  
**AZ-23-02/DA-23-04/CPA-23-01/CU-23-05**

The above-entitled Annexation and Zoning, Comprehensive Plan Amendment and Conditional Use Permit application came before the Star City Council for action on July 18, 2023, at which time public testimony was taken and the public hearing was closed. The Star City Council, having requested and taken oral and written testimony, and having duly considered the matter, does hereby make the following Findings of Fact and Conclusions of Law.

**Procedural History:**

***A. Proposed Project Summary:***

The Applicant is requesting approval of an Annexation and Zoning (RR Rural Residential), a Comprehensive Plan Map Amendment, a Development Agreement, and a Conditional Use Permit for a proposed winery and events center to be located within the City of Star. The property is located at 5446 Hwy 16 in Star, Idaho, and consists of 34.60 acres. The subject property is generally located on the east side of Hwy 16, near W. Deep Canyon Drive. Ada County Parcel No. S0328427800.

***B. Application Submittal and Agency Transmittal:***

A neighborhood meeting was held on May 5, 2023, in compliance with the application submittal requirement of the Star Unified Development Code (Section 8-1A-6C). The Land Use applications were accepted by the City on June 8, 2023. Original notice was sent to agencies having jurisdiction in the City of Star on June 8, 2023.

***C. Notice of Public Hearing:***

Notice of Public Hearing on the application for the City of Star City Council was published in accordance with the requirements of Title 67, Chapter 65, Idaho Code, and the Star Unified Development Code on June 30, 2023. Notice of this public hearing was mailed to property owners within three-hundred feet (300') of the subject property in accordance with the requirements of Title 67, Chapter 65, Idaho Code and Star Unified Development Code on June 27, 2023. The property was posted in accordance with the Star Unified Development Code on July 7, 2023.

***D. Property History:***

This property does not have any history of land use applications within the City of Star. The property has received previous approvals from Ada County for a winery and events center.

**E. Comprehensive Plan Land Use Map and Zoning Map Designations:**

	<b>Zoning Designation</b>	<b>Comp Plan Designation</b>	<b>Land Use</b>
<b>Existing</b>	Rural Residential (RR) Ada County	Ada County – Rural Residential	Winery - Agricultural Use County Approved Event Center
<b>Proposed</b>	Rural Residential (RR) City of Star	Proposed Rural Residential City of Star	Winery - Agricultural Use Event Center - CUP
<b>North of site</b>	Rural Residential (RR) Ada County	Ada County – Rural Residential	Vacant
<b>South of site</b>	Rural Residential (RR) Ada County	Ada County – Rural Residential	Single Family Residential
<b>East of site</b>	Rural Residential (RR) Ada County	Ada County – Rural Residential	Vacant - BLM
<b>West of site</b>	Rural Residential (RR) Ada County Residential (R-2) City of Star	Estate Rural Residential	Vacant/Single Family Residential

**F. Development Features (As Proposed by the Applicant with Staff analysis and comments included):****COMPREHENSIVE PLAN MAP AMENDMENT:**

The applicant is requesting approval of a Comprehensive Plan Map Amendment with a land use designation of Rural Residential. By amending the Future Land Use Map, the proposed annexation application and proposed zoning designation of RR will match the new City Comprehensive Plan designation.

**ANNEXATION & ZONING:**

The applicant is requesting approval of an annexation and zoning application with a zoning designation of Rural Residential (RR-DA) on 34.60 acres. This zoning district allows for residential and certain commercial uses through the conditional use permit process. The property is located in an area that can be serviceable with central sewer and water provided by Star Sewer and Water District in the near future, if necessary. The property currently has access to Hwy 16, a public roadway. The zoning request includes a development agreement that will address conditions of approval placed upon the application from Staff and the City Council.

DEVELOPMENT AGREEMENT

Through the Development Agreement process, the applicant is proposing to work with the City to provide further insurances that the development will be built as presented and/or modified by the Council through the review process.

CONDITIONAL USE PERMIT

The applicant is requesting approval of a Conditional Use Permit for a Winery and Indoor/Outdoor Event Center. These uses are allowed in the proposed RR zoning district. The applicant has previously received approval of the proposed uses through Ada County, and is operating the facility on a limited basis, until specific conditions of approval have been met. The County has had several public hearings with the applicant and neighboring property owners and has set specific conditions of approval requirements for the applicant based on those meetings. **Staff has reviewed the record, including findings of fact and final decisions by the County Commissioners, and recommends that the City Council adopt the applicable County conditions of approval as they exist, with some modifications.** Staff is recommending additional conditions based on the applicant’s revisions to the site plan that, in Staff’s opinion, follow the intent of the County in their approval.

Winery Use

Included in the existing/proposed Winery Use is the following:

- Vineyards (existing agricultural use – protected by Right to Farm Act). The property currently contains approximately 8- acres of wine grapes, irrigated from a private well and cultivated by the property owner.
- Primary Residence – (existing) 5,400 square feet Caretakers Dwelling. Currently lived in by owners/applicant. Current personal residential activities not associated with the winery or event center shall continue to be allowed. Applicant proposes potential future use of structure as an additional tasting room and/or event area. Staff will require any future change of use from a residence to be subject to Certificate of Zoning Compliance. All current building and fire codes would need to be completed prior to any public occupancy.
- Tasting Room (existing) – 2,250 square feet with additional 1,104 square feet of tented or permanent enclosed area. Tasting room includes tastings, sales by the glass or bottle for on-site consumption and retail sales of wine and gifts for off-site export. Food currently served includes charcuterie boards (cheese & meats), breads, pizza and soups and other similar foods.

- Storage/Production Facility (existing) – 3,500 square feet. Currently used for storage of wine barrels and wine production. Staff will require the applicant to meet all Fire District requirements.
- Winery Events – Current/existing winery related events (normal winery operations) including, but not limited to, ticketed and non-ticketed events such as wine dinners, wine classes, wine industry related events, wine releases, wine club releases and gatherings, special tastings. These events may or may not include music.
- Food Services – (existing) In addition to providing limited food services for sale or complimentary to wine tastings, the winery use includes food trucks servicing patrons. Staff will require the applicant to meet all Central District Health requirements regarding the serving of food.
- Proposed Expansion of Existing Tasting Room\* – Applicant is proposing to expand the existing tasting room from 2,250 square feet to approximately 3,700 square feet.
- Proposed New Tasting Room\* – Applicant is proposing a new 3,000 square feet building near the southeast corner of the property. This area would include indoor and outdoor seating. Per Ada County conditions of approval, this building and the associated patio seating shall be a minimum of 125 feet from the southern property line.
- Proposed New Production/Tasting Room/Event Center Facility\* – Applicant is proposing a new, approximately 14,000 square feet facility located near the western boundary of the property. This facility would include interior office space and balconies.
- Proposed New Storage Building\* – Applicant is proposing a new, 6,000 square feet storage building that will be used to house wine barrels and other winery related items. Occupancy will be from 1 to 10 persons, typically.
- Miscellaneous Structures\* and amenities\* – The site plan shows additional materials storage buildings, parking areas, pergolas, vineyards, bike and UTV parking, landscaping, and patios and other hardscape areas throughout the property. These locations are conceptual and subject to change as specific details are completed. These locations shall be subject to all specific conditions of approval.
- Potential Tasting & or Events areas and/or Buildings\* – Applicant has indicated additional areas in the north and northeast area of the property for potential locations for the Tasting and/or Events area. Buildings would be 5,000 square feet each.
- Potential Amphitheater Area\* – Applicant has indicated location of a potential amphitheater area in the northeast corner of the property.



**\*All new structures shall be subject to fire and building code standards. Extension of sewer & water may be required by Star Sewer & Water District to accommodate fire suppression and domestic water and sewer needs. All new structures shall be subject to future Certificate of Zoning Compliance (CZC) applications. Building elevations, parking, lighting, access details, fire and building code reviews and other Staff requested details will be reviewed for each building and proposed amenity under the CZC process.**

**Event Center Use**

Included in the existing/proposed Event Center Use is the following:

- Event Center activities that are not associated with the winery or its use include but are not limited to advertised and ticketed private events including concerts, fundraisers and car shows, and private events including holiday, business or office parties and meetings, birthdays, weddings and engagement parties.
- Events associated with the Event Center are proposed to be limited to a maximum of 250 guests at any given time. The applicant has requested events with 125 or fewer guests be unlimited in the number of events allowed. Events between 126 and 250 guests are proposed to be limited to 24 events annually.

**ADDITIONAL DEVELOPMENT FEATURES:**

- Hours of Operation – The applicant has requested hours of operation for the winery and associated uses as 10 a.m. to 10 p.m. daily, with 24 hours a day, seven days a week for the winery production and agricultural operations. The applicant has not indicated hours of operation for the Events Center portion of the application. Staff recommends adopting Ada County’s condition limiting the Event Center uses (over 125 people) to 10 a.m. to 10 p.m., daily, with Mondays and Tuesdays limited to 10 a.m. to 6 p.m. and the operation of the winery use as 24 hours/7 days a week.
- Access – ITD Review – Current access to the facility is a gravel, private driveway from Hwy 16 east into the property and to the existing tasting facility, storage and production facility and single-family dwelling. The applicant submitted a traffic impact study (TIS) to ITD on January 13, 2022. ITD reviewed the TIS and has provided written comment to the City regarding the proposed application. A condition of approval from the original Ada County review process included a northbound right turn lane be installed at the access point on Hwy 16. The applicant is coordinating with the developers of the Spring Valley Development located to the north and east of the subject property to include the northbound right turn lane as part of the Hwy 16 roadway improvements that are currently being constructed adjacent to and north of the subject property. ITD has also verbally commented to Staff that a southbound left turn lane will be constructed at the

same time by the Spring Valley developers.

- Lighting – All site lighting shall reflect the “Dark Sky” criteria established by the City. The applicant shall submit a lighting plan with the first CZC application, and all subsequent submittals illustrating compliance with all City lighting requirements.
- Parking – The applicant currently has 4 parking spaces for the existing single-family dwelling (2-spaces required). The applicant currently has 40 existing spaces located in the southern area of the property. The Star Unified Development Code does not specify parking requirements for wineries and event centers. Ada County required in their review a minimum of 150 total spaces be provide. RV parking has been included on the site plan. All vehicle, RV or Bus parking shall be specifically designed on illustrated on all future CZC application site plans.
- Landscaping/Buffering – The applicant is proposing a landscape berm of approximately 300 feet on the southern boundary of the property starting near the eastern corner of the property. Although the applicant has not provided details on the size of the berm or the type of landscaping being provided, Ada County has conditioned the berm to be 8 feet tall with 6 feet tall trees provided between the parking lot and residences to the south. All additional internal landscaping shall be reviewed with the CZC application submitted with each phased individual building and/or use. The remaining majority of the property will be left in either native vegetation or will be vineyards.
- Phasing/Timing – The applicant has not provided a final build-out date for the facility but has stated that final expansion could exceed 5-years. Staff will recommend a reasonable time period for the CUP to be valid.
- Emergency Services - The applicant shall meet all requirements for emergency access, water supply and vehicle turn-around from the Star Fire District. Should municipal water be required to meet fire flows, the applicant shall annex into the Star Sewer and Water District and comply with any District requirements.
- Existing Well & Septic System – The current use of the winery utilizes an existing well and septic system for all existing uses. The applicant shall be required to meet all Central District Health Department and Idaho Department of Water Resources standards for any necessary expansion of the well and septic systems. The applicant may use portable bathroom facilities on this property.

#### **Ada County Conditions of Approval and City Staff Analysis and Recommendations.**

Staff recommends that the Council adopt the following Conditions of Approval that were part of the Ada County review and approval.

1. Central District Health shall approve any new or upgraded septic systems.

2. Star Fire District shall approve all fire flow requirements and/or building permits, and any occupancy requirements for all buildings on-site. All Wildland Urban Fire Interface Overlay District requirements shall be met.
3. The owner/applicant shall maintain a minimum 125 feet distance from the southern property line to the new proposed tasting room and associated patio.
4. The owner/applicant shall submit plans for food or beverage establishment to the Central District Health Department for plan review and approval.
5. Idaho Department of Water Resources shall approve any new or upgraded well construction.
6. The owner/applicant shall pay the ACHD all traffic impact fees prior to issuance of a building permit.
7. The owner/applicant shall provide an all-weather dustless material (or other City approved dust mitigation) if the off-street parking areas and private drive are not surfaced with asphalt or concrete.
8. The owner/applicant shall either install a placard or striping that clearly identifies and demarcates the ADA accessible parking spaces.
9. The owner/applicant, engineer of record and/or contractor shall notify the City when a construction start date is established.
10. The Engineer of Record shall submit a letter to the City stating the work has been completed in substantial compliance with the approved plans for the construction of the driveways and parking areas.
11. The owner/applicant shall schedule a final inspection with the City upon completion of each phase of the driveways and parking areas.
12. The owner/applicant shall schedule a final inspection with the Star Fire District prior to issuance of a Certificate of Occupancy.
13. During the time that the future construction of the production facility happens, the current driveway shall be constructed to Star Fire District standards. Star Fire District shall approve all access requirements.
14. A northbound right turn lane shall be constructed to the ITD current standards to mitigate for entering traffic.
15. A Certificate of Occupancy will be issued when all the above conditions are met. In the event conditions cannot be met by the desired date of occupancy, the owner/applicant may request a surety agreement in lieu of completing the improvements.
16. If a gate is ever installed, it will need to be equipped with a KNOX key lock specific to Star Fire District.
17. The outdoor public address/speaker system shall comply with the noise regulations of the City Code.
18. Food service for events shall be approved by the Central District Health Department.
19. Any (Event Center) event of more than 125 people and no greater than 250 people shall be limited to 24 events per year.
20. The days and hours of operation for the wine tasting and associated uses and the Event Center uses are from 10 a.m. to 10 p.m., daily; On Mondays and Tuesdays, hours of operation for events greater than 125 people shall be limited to 10 a.m. to 6 p.m. The operation of the winery use is allowed 24 hours/7 days a week.

21. The owner/applicant shall comply with ITD Permit No. 3-19-504 or any updated permits. Should the use of the parcel change causing any increase in trip generation, or the parcel is split, the property owner shall reapply for access with ITD.
22. All drainage shall be retained onsite during and after construction.
23. During construction earthmoving equipment operation, hours shall be limited to between 7 a.m. to 6 p.m.
24. The owner/applicant is responsible for restoring all disturbed areas. Restoration shall match the approved plans. For unapproved areas of disturbance, the City Engineer shall determine the level of restoration. This could include geotechnical reports, grading, erosion control blankets and hydro seeding.
25. The property must be managed and maintained consistent with the standard regulations of Star City Code regarding the accumulation of junk, atmospheric emissions, construction sites, hazardous materials storage, outdoor public address systems, outdoor storage of chemicals and fertilizers, transmission line corridors, and utilities.
26. The use shall comply with the noise regulations in Star City Code.

**Staff recommends the following additional conditions of approval for Council to adopt into the approval of this application:**

1. Comply with all requirements of the Star City Engineer including, but not limited to, drainage, grading, hillsides and slopes, site improvement engineering, retaining walls greater in height than 4 feet.
2. All future improvement phases are subject to a Certificate of Zoning Compliance application submitted to the City. This will include detailed review of parking, landscaping, lighting, dust mitigation, and building elevations.
3. Any signage within ITD right of way shall be approved by the District prior to installation.
4. The owner/applicant shall meet all requirements of Central District Health Department regarding the preparation and sale of food.
5. A landscape plan shall be submitted to the City detailing the existing, required berm along the southern boundary of the property, including types of trees and landscaping proposed. The existing 8' berm shall include 6' tall trees to provide additional buffer on the southern parking lot boundary per the submitted site plan.
6. **The conditional use permit shall be valid for a period of 10-years from the date of approval to allow for the applicants phasing plans. The applicant may apply for a time extension prior to the expiration date as allowed per Code.**
7. The owner/applicant shall notify the City in advance of all events of greater than 125 people and no greater than 250 people per year (24 events per year maximum). This time period shall be from January 1<sup>st</sup> through December 31<sup>st</sup>, annually. The total number of events in 2023 shall include those already conducted prior to annexation.
8. The owner/applicant shall provide for adequate parking for all events on-site. At final build-out, a total of 150 permanent parking spaces shall be provided.
9. Any future change of use of the existing residence to a commercial use shall be subject to review of a Certificate of Zoning Compliance. All current building and fire codes would need to be completed prior to any public occupancy.

- 10. The existing Storage/Production Facility (3,500 square feet) shall meet all Star Fire District requirements.
- 11. All new structures shall be subject to fire and building code standards. Extension of sewer & water may be required by Star Sewer & Water District to accommodate fire suppression and domestic water and sewer needs. All new structures shall be subject to future Certificate of Zoning Compliance (CZC) applications. Building elevations, parking, lighting, access details, fire and building code reviews and other Staff requested details will be reviewed for each building and proposed amenity under the CZC process.
- 12. The applicant shall submit a lighting plan with the first CZC application, and all subsequent submittals illustrating compliance with all City lighting requirements.
- 13. The applicant shall meet all requirements for emergency access, water supply and vehicle turn-around from the Star Fire District. Should municipal water be required to meet fire flows, the applicant shall annex into the Star Sewer and Water District and comply with any District requirements.

**G. On-Site Features:**

- ✧ Areas of Critical Environmental Concern – No known areas.
- ✧ Evidence of Erosion – No evidence.
- ✧ Fish Habitat – No.
- ✧ Floodplain – No.
- ✧ Mature Trees – Yes.
- ✧ Riparian Vegetation – No.
- ✧ Steep Slopes – Yes.
- ✧ Stream/Creek – None.
- ✧ Unique Animal Life – No unique animal life has been identified.
- ✧ Unique Plant Life – No unique plant life has been identified.
- ✧ Unstable Soils – No known issues.
- ✧ Historical Assets – No historical assets have been observed.
- ✧ Wildlife Habitat – No known sensitive wildlife habitat observed.

**H. Agencies Responding:**

The following agencies responded, and correspondence was attached to the staff report.

ITD	June 28, 2023
DEQ	June 29, 2023
Ada County Development Services	June 30, 2023
Star Fire District	July 7, 2023
Star City Engineer	July 10, 2023

**I. Staff received the following letters & emails in support and opposition of the development application:**

Keith Hill

John & Christine Fiorino

**J. Comprehensive Plan and Unified Development Code Provisions:**

**COMPREHENSIVE PLAN:**

7.5 Implementation Policies:

D. **Consider lands along Highways 16 and 20/26 as the location for a mix of uses consisting of commercial** and an industrial/high-technical park with a minor component of high density residential.

8.2.3 Land Use Map Designations:

Rural Residential

Suitable primarily for rural single-family residential use adjacent to agricultural uses, adjacent to other Rural Residential type uses, and adjacent to BLM land areas. Densities typically range from 1 unit per 2 acres to 1 dwelling units per 5 acres.

It is the intent of this land use designation to help to preserve Star’s rural feel. Huge manicured “Rural Residential” lots are discouraged and therefore manicured home site areas on these properties should not exceed 1/2 acre. **Uses may include active agriculture, viticulture**, equestrian, and residential. Uses include native open space and small-scale active farmland. The Rural Residential land use is not amenity based (sewer, water, schools) and will usually be located away from goods and services. These areas encourage the keeping and raising of crops and/or animals and do not necessarily include manicured yards, sidewalks, bike paths, or planned park and recreation facilities. Density may be further limited due to the limited availability of infrastructure. Modified street sections and a reduction in light pollution (by reducing lighting standards) may be offered for a more rural feel. This land use designation is to be located such that it does not block extension of urban services at reasonable costs. Wells and septic systems should be permitted for lots in this land use designation if approved by the applicable Health Department.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

#### 8.5.2 Policies Related Mostly to the Rural and Agricultural Planning Areas:

A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.

B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

#### 8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

#### 18.4 Implementation Policies:

E. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

### **UNIFIED DEVELOPMENT CODE (UDC):**

#### **8-1B-1: ANNEXATION AND ZONING; REZONE:**

##### B. Standards:

1. The subject property shall meet the minimum dimensional standards of the proper district.
2. The city may require a development agreement in conjunction with the annexation and



zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement and concept plan shall be required for any rezone to a mixed-use zone, high density zone or land which includes steep slope (land over 25%) or floodway.

3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.

4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

1. The map amendment complies with the applicable provisions of the comprehensive plan;
2. The map amendment complies with the regulations outlined for the proposed district;
3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
5. The annexation (as applicable) is in the best interest of city.

**8-1B-3: COMPREHENSIVE PLAN AMENDMENTS:**

A. Process:

2. Comprehensive Plan Amendment Initiated by A Property Owner: The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a

comprehensive plan amendment. An application and fees shall be submitted to the administrator on application forms provided by the city.

3. Public Hearing: The city council shall conduct at least one public hearing in accordance with this chapter and in accordance with the procedures in section 67-6509 of the Idaho Code.

B. Required Findings: The council shall review the application at the public hearing. In order to adopt a new comprehensive plan or grant an amendment to the existing comprehensive plan, the council shall make the following findings:

1. The proposed amendment is consistent with the other elements of the comprehensive plan.
2. The proposed amendment provides an improved guide to future growth and development of the city.
3. The proposed amendment is internally consistent with the goals, objectives and policies of the comprehensive plan and the comprehensive plan future land use map.
4. The proposed amendment is consistent with this unified development code.
5. The proposed amendment is in the best interest of the city of Star.
6. The proposed amendment includes a justification letter for the amendment addressing the following criteria and the Council finds that the amendment is in compliance with the stated criteria:
  - a. A specific description of the change being requested.
  - b. Specific information on any property(s) involved.
  - c. A description of the condition or situation which warrants a change being made in the plan.
  - e. A detailed list of all applicable comprehensive plan goals, policies, and objectives that the proposed change would help implement or policies that must also be amended as part of the proposed change.
  - f. A proposed development plan for any land involved.
  - h. An analysis showing the estimated impact that the proposed change is expected to have on existing and planned infrastructure.
  - i. If the amendment will impact more individuals than the applicant submitting the application a detailed description of the efforts made to inform other parties potentially impacted by the change of the application is to be provided.
  - j. Any other data and information required by the city for their evaluation of the request.

**8-1B-4: CONDITIONAL USES:**

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.

2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.

3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.

2. Control the sequence and timing of the use.

3. Control the duration of the use.

4. Assure that the use and the property in which the use is located is maintained properly.

5. Designate the exact location and nature of the use and the property development.

6. Require the provision for on site or off-site public facilities or services.

7. Require more restrictive standards than those generally required in this title.

8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

E. Findings: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.
3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

#### **8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

(RR) RURAL-RESIDENTIAL DISTRICT: To provide for rural single-family residential use adjacent to agricultural uses, adjacent to other Rural Residential type uses, and adjacent to BLM land areas. Parcels are to be two acres minimum. It is the intent of this land use designation to help to preserve Star's rural feel. Huge manicured "Rural Residential" lots are discouraged and therefore manicured home site areas on these properties should not exceed 1/2 acre. **Uses may include active agriculture, viticulture,** equestrian, and residential. Uses include native open space and small-scale active farmland. The Rural Residential land use is not amenity based (sewer, water, schools) and will usually be located away from goods and services. These areas encourage the keeping and raising of small-scale crops and/or animals and do not necessarily include manicured yards, sidewalks, bike paths, streetlights or planned park and recreation facilities. Density may be further limited due to the limited availability of infrastructure. Modified street sections and a reduction in light pollution (by reducing or eliminating lighting standards) may be offered for a more rural feel. Private streets may be permitted in this district for access to newly subdivided or split property. This land use designation is to be located such that it does not block extension of urban services at reasonable costs. Wells and septic systems should be permitted for lots in this land use designation if approved by the applicable Health Department.

Easements of at least 20-feet in width shall be provided where determined necessary for the future extension of water and sewer mains. **This district does allow for some commercial uses as specified in 8-3A-3.**

**DA DEVELOPMENT AGREEMENT:** This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

**8-3A-3: USES WITHIN ZONING DISTRICTS**

The below table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N).

<b><u>ZONING DISTRICT USES</u></b>		<b>R-R</b>	
Accessory structure		A	
Dwelling:			
Single-family detached		P	
Winery		C	
Events Center, public or private (indoor/outdoor)		C	

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front <sup>(1)</sup>	Rear	Interior Side	Street Side
R-R	35'	30'	30'	20'	20'

**CITY COUNCIL FINDINGS OF FACT AND CONCLUSIONS OF LAW**

**8-1B-3B COMPREHENSIVE PLAN AMENDMENT FINDINGS:**

1. The proposed amendment is consistent with the other elements of the comprehensive plan.  
*The Council finds that the applicants request for Comprehensive Plan Map Amendment is consistent with elements of the Comprehensive Plan. The Council finds that Rural Residential is suitable primarily for rural single-family residential use adjacent to agricultural uses and the Raising of Crops, and Viticulture is an encouraged use within the Rural Residential designation. A key Objective of Section 7.4 Enhancement and*

*Development of Star's Economy is to support existing community agricultural businesses. The Council finds that existing agricultural uses will be protected within Idaho's Right to Farm Act.*

2. The proposed amendment provides an improved guide to future growth and development of the city.

*The Council finds that the applicants request for Comprehensive Plan Map Amendment provides an improved guide to growth and development. The Plan is intended to be the public growth policy for the City. The Council finds that this proposed Map Amendment supports the Economic Development Policies including the employment of local workers, and the location of mixed uses consisting of commercial along Highway 16.*

3. The proposed amendment is internally consistent with the goals, objectives and policies of the comprehensive plan and the comprehensive plan future land use map.

*The Council finds that the applicants request for Comprehensive Plan Amendment meets the purpose of the Star Comprehensive Plan to promote the health, safety, and general welfare of the people of the City of Star. Some of the prime objectives of the Comprehensive Plan include:*

- ✓ *Protection of property rights.*
- ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
- ✓ *Ensure the local economy is protected.*
- ✓ *Ensure development is commensurate with the physical characteristics of the land.*
- ✓ *Economic development efforts on the enhancement of the business climate for entrepreneurs and small businesses*
- ✓ *Enhance and develop Star's economy which will build a stronger community.*

*The Comprehensive Plan Land Use Designation for Rural Residential is primarily for rural single-family residential use adjacent to agricultural uses, adjacent to other Rural Residential type uses, and adjacent to BLM land areas. Council finds that the proposed uses specific to this approval meets these policies. Further, Council finds that, per 18.4 Implementation Policies, that Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.*

4. The proposed amendment is consistent with this unified development code.

*The Council finds that the applicants request for Comprehensive Plan Amendment complies with the regulations and purpose statement for the proposed Rural Residential zoning district and other sections of the adopted Uniform Development Code (UDC). Specifically, Council finds the purpose statement provides for rural single-family residential use adjacent to agricultural uses, adjacent to other Rural Residential type uses, and adjacent to BLM land areas. It is the intent of this land use designation to help to preserve Star's rural feel. Uses may include active agriculture, viticulture, equestrian,*

*and residential. These areas encourage the keeping and raising of small-scale crops and/or animals and do not necessarily include manicured yards, sidewalks, bike paths, streetlights or planned park and recreation facilities. This district does allow for some commercial uses as specified in 8-3A-3.*

5. The proposed amendment is in the best interest of the city of Star.

*The Council finds this Comprehensive Plan Amendment is reasonably necessary for the orderly development of the City. The Council finds that the Amendment will establish a land use designation on the Comprehensive Plan Future Land Use Map that will align with annexation and zoning of the property to the proposed Rural Residential zoning district, allowing for the proposed land uses approved as part of this application.*

6. The proposed amendment includes a justification letter for the amendment addressing the following criteria and the Council finds that the amendment is in compliance with the stated criteria:

- a. A specific description of the change being requested.
- b. Specific information on any property(s) involved.
- c. A description of the condition or situation which warrants a change being made in the plan.
- e. A detailed list of all applicable comprehensive plan goals, policies, and objectives that the proposed change would help implement or policies that must also be amended as part of the proposed change.
- f. A proposed development plan for any land involved.
- h. An analysis showing the estimated impact that the proposed change is expected to have on existing and planned infrastructure.
- i. If the amendment will impact more individuals than the applicant submitting the application a detailed description of the efforts made to inform other parties potentially impacted by the change of the application is to be provided.
- j. Any other data and information required by the city for their evaluation of the request.

*The Council finds that the Comprehensive Plan Amendment justification letter addresses and is in compliance with the stated criteria, including description of the change, information on the property, lists of Comprehensive Plan goals, policies and objectives, a development plan, application impacts, detailed description of efforts made for other parties impacted and additional information provided to Staff to evaluate the application.*

**8-1B-1C: ANNEXATION AND ZONING FINDINGS:**

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.

*The Council finds that the applicants request for Annexation and Zoning (Map Amendment) complies with the intent and applicable provisions of the adopted Comprehensive Plan. The Council finds that the purpose of the Star Comprehensive Plan*



*is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime goals and objectives of the Comprehensive Plan include:*

- ✓ *Protection of property rights.*
- ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
- ✓ *Ensure the local economy is protected.*
- ✓ *Ensure development is commensurate with the physical characteristics of the land.*
- ✓ *Economic development efforts on the enhancement of the business climate for entrepreneurs and small businesses*
- ✓ *Enhance and develop Star's economy which will build a stronger community.*

*The Comprehensive Plan Land Use Designation for Rural Residential is primarily for rural single-family residential use adjacent to agricultural uses, adjacent to other Rural Residential type uses, and adjacent to BLM land areas. It is the intent of this land use designation to help to preserve Star's rural feel. Uses may include active agriculture, viticulture, equestrian, and residential. Council finds that the proposed uses specific to this approval meets the Comprehensive Plan goals and policies. Further, Council finds that, per 18.4 Implementation Policies, that Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning. In addition, Council finds that, per 7.5 Implementation Policies, consideration for lands along Highways 16 and 20/26 as the location for a mix of uses consisting of commercial and an industrial/high-technical park with a minor component of high density residential.*

2. The map amendment complies with the regulations outlined for the proposed district.  
*The Council finds that the applicants request for Annexation and Zoning (Map Amendment) complies with the regulations and purpose statement for the proposed Rural Residential zoning district and other sections of the adopted Uniform Development Code (UDC). Specifically, the purpose statement provides for rural single-family residential use adjacent to agricultural uses, adjacent to other Rural Residential type uses, and adjacent to BLM land areas. Parcels are to be two acres minimum. It is the intent of this land use designation to help to preserve Star's rural feel. Uses may include active agriculture, viticulture, equestrian, and residential. Uses include native open space and small-scale active farmland. This district does allow for some commercial uses as specified in 8-3A-3.*
3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and  
*The Council finds the materials and testimony submitted in this annexation and zoning application request, including adoption of existing Ada County conditions and new, City conditions will help ensure the uses of this property will not be materially detrimental to the public health, safety or welfare. Council finds that roadway improvements to*

*Highway 16, in the form of turn-lanes, will be provided as part of the site development. Established hours of operation, light and noise restrictions, landscape buffers and setbacks, and additional City design review have been further conditioned. The Council finds that the required conditions of approval that will be part of the Development Agreement will protect the public health, safety and welfare of the citizens of the City of Star and its Impact Area.*

4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
- The Council finds that the City has not been presented with any information from agencies having jurisdiction, that public services, with the conditions and requirements of the agencies adopted into the Development Agreement, will be adversely impacted. The Council finds that ITD, Star Fire District and the Star Sewer and Water District, in addition to the City Engineer, have all reviewed the application requests and provided comments and proposed conditions to limit any adverse impact on delivery of services.*
5. The annexation is in the best interest of the city.
- The Council finds this annexation and zoning is reasonably necessary for the orderly development of the City. The Council finds that the annexation of this property will bring the property, with requirements, into and under the jurisdiction of the City. Council finds that the proposed use of this property with the required conditions of approval, including immediate improvements to the existing roadway system and provisions for mitigation of adverse impacts will provide for continued economic growth in the City.*

**8-1B-4E CONDITIONAL USE FINDINGS (REVISED):**

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
- The Council finds that the site is large enough accommodate the proposed uses and meet all of the dimensional standards. The site and landscape plan includes all proposed uses, and the development is conditioned to meet all dimensional standards, including setbacks.*
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.
- The Council finds that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development meets the intent and purpose. Council finds that the goal of the Comprehensive Plan for Rural Residential is to encourage rural single-family residential use adjacent to agricultural uses, adjacent to other Rural Residential type uses, and adjacent to BLM land areas. It is the intent of this land use designation to help to preserve Star's rural feel. Uses may include active agriculture, viticulture, equestrian, and residential. Council finds that the proposed uses specific to this approval meets the Comprehensive Plan goals and policies.*

*Further, Council finds that, per 18.4 Implementation Policies, that Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning. In addition, Council finds that, per 7.5 Implementation Policies, consideration for lands along Highways 16 and 20/26 as the location for a mix of uses consisting of commercial and an industrial/high-technical park with a minor component of high density residential. Council finds that the proposed use is consistent with other existing uses along Highway 16, including Firebird Raceway, Eagle Parks and Recreation facilities, and the Eagle Rodeo. Applicant's Written Narrative, p. 1. Council finds that locating winery and events center uses on Highway 16 is consistent with the goals and policies of the Comprehensive Plan.*

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

*The Council finds that operation of the proposed use will be compatible with the other uses in the general area. In addition to sparse, existing rural single family uses, the surrounding area includes a mixture of existing and future approved uses including the Eagle Rodeo, Spring Valley sewer treatment plant, Firebird Speedway, existing and approved residential communities (Hillsdale Estates, Spring Valley, Willowbrook), future Willowbrook Golf Course, future Eagle Sports Complex and BLM land with public access.*

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

*The Council finds that the proposed use, with imposed conditions of approval, would not adversely affect other properties in the vicinity. The proposed use is consistent with the existing use on the property, and will only modestly intensify that existing use by increasing maximum attendance at smaller events from 100 to 125. See Public Hearing Transcript (7/18/23), 9:5-11; 63:21-23. The construction of additional tasting room facilities will accommodate expansion of the uses. The additional tasting room facilities may be placed at a location farther from neighboring residential uses, which would further reduce impacts on these uses. Public Hearing Transcript, 8:24-9:2; 56:8-16.*

*In making these findings of fact, Council considered the concerns that were brought up by neighboring property owners regarding potential noise and traffic impacts that would be created by the proposed use, including direct issues as they related to the hours of operation, number of events and landscape buffering and insufficient setbacks to the neighboring properties. In their considerations, Council adopted staffs recommended conditions of approval for the CUP that would limit the number of large events for the winery and events center (greater than 125 and a maximum of 250 patrons) to a maximum of 24 events per year.*

*Council also adopted the recommendations that limits the hours of operation of the event center from 10 a.m. thru 10 p.m. daily, with a 6 p.m. closing time on Mondays and Tuesdays. Comments from neighboring property owners at the public hearing suggested that operating hours should be curtailed, with a closing time at 6:00 p.m. Council finds that the winery and event center uses are already in existence on the property, and that the applicant has been through three prior permitting processes with Ada County. Public Hearing Transcript, 8:7-14. Council finds that the hours of operation are the same as those previously approved by Ada County for the existing use on the property. Council finds that these operating hours are appropriate for an event center use, and are consistent with the existing use of the property. Public Hearing Transcript, 23:8-18; 31:23-32:7; 34:12-21. Council further finds that the volume of amplified music at events is typically not excessive, and that amplified music is customarily played only until 7:00 p.m. Public Hearing Transcript, 19:10-18; 34:3-6; 37:12-15; 61:2-11. Council finds that curtailing operating hours as suggested by neighboring property owners would be unduly burdensome for the applicant and inconsistent with the existing use of the property.*

*Council further considered the applicants proposed, and staffs recommended condition regarding the 8-foot-tall landscape berm, between the parking lot and the residences to the south, of approximately 300 feet in length along the southern boundary of the property starting near the eastern corner of the property. The berm would include 6 feet tall trees. Council also recognizes that the City Municipal Code regulates a noise ordinance of 10 p.m. to 7 a.m. to prevent additional detriment to surrounding properties and uses. Council believes that these conditions and limits on the event center activities were consistent with the conditions originally stipulated during the initial approval of the winery and event center by Ada County and, together with the City noise ordinance, would continue to provide the surrounding neighbors with reasonable relief to noise from the proposed use, and will help protect to protect the enjoyment of their own properties and rural lifestyles. Council also finds that potential noise related to the winery activities, including growing and cultivation of grapes, and the processing of the grapes into wine, would not adversely affect the neighboring properties based on the location of the vineyards and processing facilities in relation to the neighbors. Council also recognizes the Right to Farm Act that protects farming activities, including the viticultural operations associated with winery.*

*In evaluating traffic concerns brought up in the public hearing, Council considered review responses that were included in the record from the Idaho Transportation Department regarding the access to the winery and facility from Hwy 16 when determining the impacts of traffic from the proposed uses. Included in ITD's review was the discussion of the adjacent Spring Valley Development providing highway improvements, including a left turn lane and a deceleration lane into the winery facility. Council also considered staff's recommendations requiring 150 permanent parking spaces at final build out of the facility, together with added conditions related to dust control and drainage. Council finds that the proposed transportation improvements on*

*Hwy 16, together with on-site improvements, help assist in mitigating traffic related concerns.*

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

*The Council finds that the proposed use can be adequately served by essential public facilities and services. Council has placed conditions of approval for upgraded roadways to accommodate the proposed uses. Star Sewer and Water, Star Fire District and Star Police can adequately serve the proposed use.*

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

*The Council finds that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community. The City has conditioned the application to include roadway improvements. The development will also be responsible for payment of Fire and ACHD impact fees. Council finds that the commercial use will benefit the City economically through increased tax revenue.*

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

*The Council finds that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors. Council has placed conditions of approval regarding lighting, buffering and setbacks, and hours of operation that will help protect the general welfare. Further, City Municipal Code regulates a noise ordinance to prevent additional detriment to surrounding properties and uses.*

*Council finds that the proposed use is consistent with the existing use of the property and represents only a modest intensification of previously approved uses. Public Hearing Transcript, 63:5-23. Council finds that neighboring residential uses will be adequately protected by an existing berm and planting of vegetation to create a boundary between the existing use and neighboring uses. Public Hearing Transcript, 11:9-18. Council further finds that enforcement of the noise ordinance will protect neighboring residential uses from excessive noise.*

*Comments made at the public hearing and materials provided by neighboring property owners suggest that the 125-foot setback is insufficient to protect neighboring property owners from traffic and noise. Council finds that the proposed setback is identical to the setback approved by Ada County in previous permitting processes involving the property. Council finds that the applicant has placed improvements on the property in reliance on the existing 125-foot setback approved by Ada County, and that it would be*

*unduly burdensome to the applicant to increase the previously approved setback. The 1000-foot setback proposed by neighboring property owners is not reasonable given that improvements are already constructed on the property. Council finds that the proposed use represents only a modest intensification of a previously existing use. Council finds that new facilities to be constructed on the property will likely be located more than 125 feet from the south property line. Public Hearing Transcript, 63:5-23. Council finds that trees and shrubs have been planted on an existing berm, and the applicant has planted Thuja and poplar trees between the Hill/Fairbanks property and the existing parking lot. Public Hearing Transcript, 12:5-15. The trees, shrubs and vines already on the property or planted as required by conditions of approval will continue to grow and create a vegetative boundary that will absorb noise and screen neighboring property owners from adverse effects of the use. Public Hearing Transcript, 11:6-18. For these reasons, the Council finds that the 125-foot setback is adequate and that the use will not result in excessive noise.*

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.
- The Council finds that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site. Council finds that the continuation and addition of new agricultural and commercial uses would enhance the natural and scenic climate of the area more so than the continuation of approving additional residential uses, as would be allowed under current Comprehensive Plan and Zoning through Ada County.*

**Public Hearing of the Council:**

- a. A public hearing on the application was heard by the City Council on July 18, 2023, at which time testimony was heard and the public hearing was closed. The City Council made their decision at that time.
- b. Shawn L Nickel, City of Star Planning and Zoning Director presented the application.
- c. Oral testimony in favor of or opposing the application was presented to the City Council by:
  - Johnna Buchert
  - Trae Buchert
  - Brian Howard
  - Jerry Brackbill
  - Korina Bennallack
  - Nick Bennallack
  - David Stephens
  - Danny Robinson
  - Todd Collins
  - Scott Nickell
  - John Courtney

- Kent Borgman
- Kathy Peters
- David Blackstock
- Suzy Campbell
- Isaac Ax
- Chris Todd
- Keith Hill
- Barbara Fairbanks
- Paul Hudson
- Sara Keyes
- Scott Emerich

d. Additional testimony from City Staff, Agencies  
None

e. Written testimony in favor of or opposing the application was presented to the City Council at the hearing by:  
None

### **Deliberations and Conclusions of Law:**

The Council reviewed the particular facts and circumstances of the proposed applications in accordance with the City of Star Title 8 (Unified Development Code), took public testimony, and deliberated on the matter, resulting in review of the record, including the staff report, and discussions on the development. Review and discussion included access, traffic concerns, parking, noise, lights, landscaping, buffers and previous County actions.

The Council discussed conditions of approval on the annexation and zoning, and conditional use permit applications, and the conditions of approval that will be part of the accompanying Development Agreement. Council concluded that the Applicant's request meets the requirements for the annexation and zoning and conditional use permit request. Council hereby incorporates the Council Packet with staff report dated July 18, 2023, together with all public and agency comments and the meeting minutes into the official decision as part of these Findings of Fact, Conclusions of Law.

### **Statement of Compliance:**

Council finds and concludes that the Applicant has met all requirements of the applicable Unified Development Code and the intent and purpose of the applicable Comprehensive Plan and Map requirements for annexation and zoning, and conditional use permit.

Council added the following requirements to their decision to approve the annexation and zoning application that will be part of the Development Agreement and Conditional Use Permit conditions of approval to include the following:

1. Central District Health shall approve any new or upgraded septic systems.
2. Star Fire District shall approve all fire flow requirements and/or building permits, and any occupancy requirements for all buildings on-site. All Wildland Urban Fire Interface Overlay District requirements shall be met.
3. The owner/applicant shall maintain a minimum 125 feet distance from the southern property line to the new proposed tasting room and associated patio.
4. The owner/applicant shall submit plans for food or beverage establishment to the Central District Health Department for plan review and approval.
5. Idaho Department of Water Resources shall approve any new or upgraded well construction.
6. The owner/applicant shall pay the ACHD all traffic impact fees prior to issuance of a building permit.
7. The owner/applicant shall provide an all-weather dustless material (or other City approved dust mitigation) if the off-street parking areas and private drive are not surfaced with asphalt or concrete.
8. The owner/applicant shall either install a placard or striping that clearly identifies and demarcates the ADA accessible parking spaces.
9. The owner/applicant, engineer of record and/or contractor shall notify the City when a construction start date is established.
10. The Engineer of Record shall submit a letter to the City stating the work has been completed in substantial compliance with the approved plans for the construction of the driveways and parking areas.
11. The owner/applicant shall schedule a final inspection with the City upon completion of each phase of the driveways and parking areas.
12. The owner/applicant shall schedule a final inspection with the Star Fire District prior to issuance of a Certificate of Occupancy.
13. During the time that the future construction of the production facility happens, the current driveway shall be constructed to Star Fire District standards. Star Fire District shall approve all access requirements.
14. A northbound right turn lane shall be constructed to the ITD current standards to mitigate for entering traffic.
15. A Certificate of Occupancy will be issued when all the above conditions are met. In the event conditions cannot be met by the desired date of occupancy, the owner/applicant may request a surety agreement in lieu of completing the improvements.
16. If a gate is ever installed, it will need to be equipped with a KNOX key lock specific to Star Fire District.
17. The outdoor public address/speaker system shall comply with the noise regulations of the City Code.
18. Food service for events shall be approved by the Central District Health Department.
19. Any (Event Center) event of more than 125 people and no greater than 250 people shall be limited to 24 events per year.
20. The days and hours of operation for the wine tasting and associated uses and the Event Center uses are from 10 a.m. to 10 p.m., daily; On Mondays and Tuesdays.



- hours of operation for events greater than 125 people shall be limited to 10 a.m. to 6 p.m. The operation of the winery use is allowed 24 hours/7 days a week.
21. The owner/applicant shall comply with ITD Permit No. 3-19-504 or any updated permits. Should the use of the parcel change causing any increase in trip generation, or the parcel is split, the property owner shall reapply for access with ITD.
  22. All drainage shall be retained onsite during and after construction.
  23. During construction earthmoving equipment operation, hours shall be limited to between 7 a.m. to 6 p.m.
  24. The owner/applicant is responsible for restoring all disturbed areas. Restoration shall match the approved plans. For unapproved areas of disturbance, the City Engineer shall determine the level of restoration. This could include geotechnical reports, grading, erosion control blankets and hydro seeding.
  25. The property must be managed and maintained consistent with the standard regulations of Star City Code regarding the accumulation of junk, atmospheric emissions, construction sites, hazardous materials storage, outdoor public address systems, outdoor storage of chemicals and fertilizers, transmission line corridors, and utilities.
  26. The use shall comply with the noise regulations in Star City Code.
  27. Comply with all requirements of the Star City Engineer including, but not limited to, drainage, grading, hillsides and slopes, site improvement engineering, retaining walls greater in height than 4 feet.
  28. All future improvement phases are subject to a Certificate of Zoning Compliance application submitted to the City. This will include detailed review of parking, landscaping, lighting, dust mitigation, and building elevations.
  29. Any signage within ITD right of way shall be approved by the District prior to installation.
  30. The owner/applicant shall meet all requirements of Central District Health Department regarding the preparation and sale of food.
  31. A landscape plan shall be submitted to the City detailing the existing, required berm along the southern boundary of the property, including types of trees and landscaping proposed. The existing 8' berm shall include 6' tall trees to provide additional buffer on the southern parking lot boundary per the submitted site plan.
  32. The conditional use permit shall be valid for a period of 10-years from the date of approval to allow for the applicants phasing plans. The applicant may apply for a time extension prior to the expiration date as allowed per Code.
  33. The owner/applicant shall notify the City in advance of all events of greater than 125 people and no greater than 250 people per year (24 events per year maximum). This time period shall be from January 1<sup>st</sup> through December 31<sup>st</sup>, annually. The total number of events in 2023 shall include those already conducted prior to annexation.
  34. The owner/applicant shall provide for adequate parking for all events on-site. At final build-out, a total of 150 permanent parking spaces shall be provided.
  35. Any future change of use of the existing residence to a commercial use shall be subject to review of a Certificate of Zoning Compliance. All current building and fire codes would need to be completed prior to any public occupancy.

36. The existing Storage/Production Facility (3,500 square feet) shall meet all Star Fire District requirements.
37. All new structures shall be subject to fire and building code standards. Extension of sewer & water may be required by Star Sewer & Water District to accommodate fire suppression and domestic water and sewer needs. All new structures shall be subject to future Certificate of Zoning Compliance (CZC) applications. Building elevations, parking, lighting, access details, fire and building code reviews and other Staff requested details will be reviewed for each building and proposed amenity under the CZC process.
38. The applicant shall submit a lighting plan with the first CZC application, and all subsequent submittals illustrating compliance with all City lighting requirements.
39. The applicant shall meet all requirements for emergency access, water supply and vehicle turn-around from the Star Fire District. Should municipal water be required to meet fire flows, the applicant shall annex into the Star Sewer and Water District and comply with any District requirements.

#### **STANDARD CONDITIONS OF APPROVAL FOR CU-23-05**

1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). Sign shall be approved by the City prior to start of any construction.
3. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy or the unit.
4. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
5. The applicant shall obtain a sign permit for any new signage along Hwy 16.
6. A Certificate of Zoning Compliance will be required prior to the start of construction.
7. The applicant shall provide for future cross access to the north if, and when the property to the north were to redevelop, and direct access to the subject property is eliminated or limited to Hwy 16.

#### **Council Decision:**

Councilmember Nielson made a motion, seconded by Councilmember Hershey for approval. The Council voted 3-0 (Councilmember Salmonsens absent) to approve the Annexation and Zoning, Development Agreement and Conditional Use Permit applications on July 18, 2023.

Dated this 1<sup>st</sup> day of August 2023.

Star, Idaho

By: \_\_\_\_\_  
Trevor A. Chadwick, Mayor

ATTEST:  
\_\_\_\_\_  
Jacob M. Qualls, City Clerk



City of Star  
P.O. Box 130  
Star, Idaho 83669  
P: 208-286-7247  
cityclerk@staridaho.org

## APPLICATION FOR BEER, WINE, LIQUOR LICENSE

☒ New License ☐ Renewal ☐ Transfer

Applicant: Paul Anderson / Prime American Steakhouse LLC  
Business Name: Prime Neighborhood Bar  
Business Address: 68 N Short Rd Star ID 83669  
Mailing Address (if different from business address): P.O. Box 100, Sweet ID 83670  
Business Phone: 208-352-6166 Other Phone: [REDACTED]  
Email Address: paul@andersonreserve.com  
Owner Full Name: Paul Dennis Anderson

- I AM OR WILL BE: ☐ Sole Owner ☒ Partner ☐ Officer ☐ Director ☐ Stockholder ☐ Business Manager
- Owner date of birth: [REDACTED] Owner driver's License #: [REDACTED] State: ID  
On-Site Manager Name (if different from owner) \_\_\_\_\_
- I AM OR WILL BE: ☐ Sole Owner ☐ Partner ☐ Officer ☐ Director ☐ Stockholder ☐ Business Manager  
Building Owner Name: Brusher LLC  
Address: 70 North Short Rd City: Eagle State: ID Zip: 83616  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

LICENSE TYPE:	FEES (PER YEAR):	FEE:
<input checked="" type="checkbox"/> Beer consumed on premises	\$200.00	<u>200.00</u>
<input checked="" type="checkbox"/> Beer consumed off premises	\$50.00	<u>50.00</u>
<input checked="" type="checkbox"/> Wine consumed on premises	\$200.00	<u>200.00</u>
<input checked="" type="checkbox"/> Wine consumed off premises	\$50.00	<u>50.00</u>
<input checked="" type="checkbox"/> Liquor	\$225.00	<u>225.00</u>
	<b>Total Fee Due</b>	<u>562.50</u>





City of Star  
P.O. Box 130  
Star, Idaho 83669  
P: 208-286-7247  
cityclerk@staridaho.org

## APPLICATION FOR BEER, WINE, LIQUOR LICENSE

### A complete application includes:

Applicant (v)	Description	Staff (v)
✓	Completed and signed Liquor License Application	✓
✓	Payment in Full	✓
✓	Copy of any lease agreement if premises to be used are not owned by the applicant(s), partners, or members	✓
✓	Articles of Incorporation and Bylaws	✓
✓	Copy of State of Idaho Alcohol Beverage License	✓
✓	Copy of Ada County Alcohol Beverage License	✓
✓	Copy of approval letter from the Star Fire Department	✓
✓	Proof of Insurance	✓

### OFFICERS AND/OR DIRECTORS:

Title Member Name Paul Anderson DL# (attach copy) \_\_\_\_\_  
 Address 7275 Sweet Old Hwy Sweet ID 83670  
 Title Member Name Samantha Scheller DL# (attach copy) \_\_\_\_\_  
 Address 7275 Sweet Old Hwy Sweet 83670  
 Title Member Name Mans Montgomery DL# (attach copy) \_\_\_\_\_  
 Address 276 S Moon Beam Way Engle 83616  
 (use reverse side if necessary) Joanna Montgomery \_\_\_\_\_  
Member 276 S Moon Beam Way Engle 83616

### Please answer the following questions:

- Are the premises to be licensed located within 300 feet to the entrance from any public school, church, or other place of worship? ☒ No ☐ Yes
- Are the premises to be licensed located within a neighborhood predominantly residential?  
☒ No ☐ Yes
- Do you now have any direct or indirect interest in any other business licensed for the sale of alcoholic beverages? ☐ No ☒ Yes  
If yes, please list other businesses licensed for the sale of alcoholic beverages: \_\_\_\_\_

Anderson Reserve LLC

- Have you, as an individual, or partner, or while an officer, director or stockholder or a corporation application or licensee ever had an alcoholic beverage license denied, suspended, or revoked by any jurisdiction granting such license, including the state of Idaho and Ada or Canyon County?  
☒ No ☐ Yes  
If yes, explain each event fully: \_\_\_\_\_





City of Star  
P.O. Box 130  
Star, Idaho 83669  
P: 208-286-7247  
cityclerk@staridaho.org

## APPLICATION FOR BEER, WINE, LIQUOR LICENSE

5. Have you, any partner, or the manager of the premises (within the past three years) been convicted of a violation of any laws governing or prohibiting the sale of alcoholic beverages or intoxicating liquor? (If any of these events has occurred, this question must be answered "YES" regardless of subsequent court action resulting in dismissal or expungement.)

☒ No ☐ Yes If yes, please explain each event fully:

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_

6. Have you, any partner, or the manager of the premises (within the past three years) been convicted of a violation of driving under the influence of alcoholic beverages or other intoxicating substances and/or hasn't paid the fine or completed the sentence or parole/probation for such an offense? (If any of these events has occurred, this question must be answered "YES" regardless of subsequent court action resulting in dismissal or expungement.)

☒ No ☐ Yes If yes, please explain each event fully:

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_

7. Have you, any partner or the manager of the premises, been convicted or received a withheld judgement for any crime relating to possession of a controlled substance? (If any of these events has occurred, this question must be answered "YES" regardless of subsequent court action resulting in dismissal or expungement.)

☒ No ☐ Yes If yes, please explain each event fully:

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_

8. Do you, any partner or the manager of the premises, allow conduct to occur on the premises which is defined as a moral nuisance by state law or City of Star ordinance?

☒ No ☐ Yes If yes, please explain: \_\_\_\_\_

9. Do you, any partner or manager of the premises, manage or operate the premises in a way to be a nuisance to surrounding businesses by reason of the conduct of employees or clientele constituting lewd, violent or disorderly behavior?


☒ No ☐ Yes If yes, please explain: \_\_\_\_\_




City of Star  
P.O. Box 130  
Star, Idaho 83669  
P: 208-286-7247  
cityclerk@staridaho.org

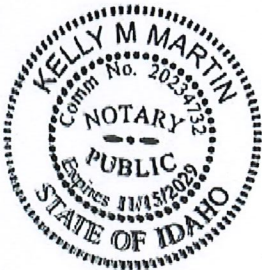
APPLICATION FOR BEER, WINE, LIQUOR LICENSE

I have read all of the above and declare under penalty of perjury that each and every statement made is true, correct and complete.

  
Applicant Signature

SUBSCRIBED AND SWORN BEFORE ME this 12 day of June, 2025.

  
NOTARY PUBLIC in and for the State of Idaho  
Residing: Star, Idaho  
Commission Expires: 11/15/2029



Date Application Received: <u>6/12/25</u>	Date License Issued: _____
Fee Paid: <u>1062.50</u>	Star License No: _____
Application Complete: _____	

State of Idaho  
Idaho State Police

Premises Number: 1A-45404  
Incorporated City

Retail Alcohol Beverage License

License Year: 2026  
License Number: 45404

Cycle Tracking Number: 162405  
ISLD ID: 9835

This is to certify, that Prime American Steakhouse LLC  
doing business as: Prime Neighborhood Bar  
is licensed to sell alcoholic beverages as stated below at:  
68 N Short Rd , Star, Ada County

Acceptance of a license by a retailer shall constitute knowledge of and agreement to operate by and in accordance to the Alcohol Beverage Code, Title 23. Only the licensee herein specified shall use this license.  
County and city licenses are also required in order to operate.

Liquor	Yes	<u>\$750.00</u>
Beer	Yes	<u>\$50.00</u>
Wine by the bottle	Yes	<u>\$0.00</u>
Wine by the glass	Yes	<u>\$0.00</u>
Kegs to go	No	
Growlers	Yes	<u>\$0.00</u>
Restaurant	No	
On-premises consumption	Yes	<u>\$0.00</u>
Multipurpose arena	No	
Plaza	No	
Brewer's Retail	No	

TOTAL FEE: \$800.00

Signature of Licensee, Corporate Officer, LLC Member or Partner

PRIME AMERICAN STEAKHOUSE LLC  
PRIME NEIGHBORHOOD BAR  
PO BOX 100  
SWEET, ID 83670  
Mailing Address

License Valid: 05/01/2025 - 04/30/2026

Expires: 04/30/2026

Director of Idaho State Police





2025

ADA COUNTY  
STATE OF IDAHO

No. 45404

# RETAIL ALCOHOL BEVERAGE LICENSE

THIS IS TO CERTIFY THAT PRIME AMERICAN STEAKHOUSE LLC  
doing business as PRIME NEIGHBORHOOD BAR  
at 68 N SHORT RD STAR ID 83669  
a(n) LLC, is licensed to sell Alcoholic Beverages as stated below, subject to the provisions of  
Chapters 23-903 and 23-916 Idaho Code Annotated, and the laws of the State of Idaho, Municipal Ordinances, and the  
regulations of the Commissioner in regard to sale of Alcoholic Beverages and the resolution passed by the Commissioners of  
said County, on file in the office of the Clerk of the Board at the Ada County Courthouse, Boise, Idaho

Dated 05/01/2025

Bottled/canned beer, Consumed off premise	\$0 00
Bottled/canned beer, Consumed on premise	\$0 00
Draft beer, Includes draft, bottled, and/or canned	\$100 00
Wine by the glass (This covers Retail & By the Drink	\$0 00
Wine by the bottle	\$0 00
Liquor Boise City	\$0 00
Liquor Eagle City	\$0 00
Liquor Kuna City	\$0 00
Liquor Garden City	\$187 50
Liquor Racing Facility	\$0 00
Eligible Golf Course	\$0 00
Total	\$287 50

Signature of Licensee or Officer of Corporation

This license is TRANSFERABLE and EXPIRES 05/31/2025  
Witness my hand and seal this Thu May 01 10 29 30 MDT 2025

Chairman



05/02/2025

Commissioner



05/02/2025

Commissioner



05/02/2025



Clerk of the Board of County Commissioners



(This license must be conspicuously displayed)



## Middleton Star Fire Districts

Fire Marshal's Office  
11665 W State St, Ste B  
Star, ID 83669  
208-286-7772

[www.midstarfire.org](http://www.midstarfire.org) [www.midstarfirepermits.org](http://www.midstarfirepermits.org)



250196

## Inspection Report

Inspection Date: June 12, 2025

Inspection Status: **Passed**

Inspection Type: Fire and Life Safety BWL

Permit: Operational - Beer/Wine/Liquor Licensure #2025-0267

Inspection Scope: 2025 Operational Permit Prime Neighborhood Bar

Location: Prime Neighborhood Bar, 68 N SHORT RD, Eagle, ID 83616

AHJ: Star Fire Protection District

Inspected By: Victor Islas

No violations found.

Notice: Any overlooked hazardous condition and/or violation of the International Building and/or Fire Code does not imply approval of such condition or violation.



**CITY OF STAR**  
P.O. Box 130  
Star, Idaho 83669  
P: 208-286-7247 F: 208-286-7569

### APPLICATION FOR BEER, WINE, LIQUOR LICENSE

☐ New License ☒ Renewal ☒ Transfer

Applicant: Cassandra Pinas  
Business Name: Rustic Table Steakhouse + Bar dba: Rare Steakhouse  
Business Address: 9846 W. State St. Star, ID. 83669  
Mailing Address (if different from business address): \_\_\_\_\_  
Business Phone: 951-756-6934 Other Phone: \_\_\_\_\_  
Email Address: Casshull@icloud.com  
Owner Full Name: Cassandra Pinas

I AM OR WILL BE: ☒ Sole Owner ☐ Partner ☐ Officer ☐ Director ☐ Stockholder ☐ Business Manager

Owner date of birth: 08/18/1981 Owner driver's License #: ██████████ State: ID

On-Site Manager Name (if different from owner): \_\_\_\_\_

I AM OR WILL BE: ☐ Sole Owner ☐ Partner ☐ Officer ☐ Director ☐ Stock Holder ☐ Business Manager

Building Owner Name: Out of the weeds, LLC  
Address: 10049 W. Chino dr. City: Star State: ID Zip: 83669  
Phone: 208-371-9815 Email: Carolchurch1234@gmail.com

LICENSE TYPE:	FEES (PER YEAR):	FEE:
<input checked="" type="checkbox"/> Beer consumed on premises	\$200.00	<u>200.00</u>
<input checked="" type="checkbox"/> Beer consumed off premises	\$50.00	<u>50.00</u>
<input checked="" type="checkbox"/> Wine consumed on premises	\$200.00	<u>200.00</u>
<input checked="" type="checkbox"/> Wine consumed off premises	\$50.00	<u>50.00</u>
<input checked="" type="checkbox"/> Liquor	\$225.00	<u>562.50</u>
	<b>Total Fee Due</b>	<u>1,062.50</u>

## A complete application includes:

Applicant (✓)	Description	Staff (✓)
✓	Completed and signed Liquor License Application	✓
✓	Payment in Full	✓
✓	Copy of any lease agreement if premises to be used are not owned by the applicant(s), partners, or members	✓
✓	Articles of Incorporation and Bylaws	✓
✓	Copy of State of Idaho Alcohol Beverage License	✓
✓	Copy of Ada County Alcohol Beverage License	✓
✓	Copy of approval letter from the Star Fire Department	✓
✓	Proof of Insurance	✓

## OFFICERS AND/OR DIRECTORS:

Title Owner Name Cassandra Rivas DL# (attach copy) [REDACTED]

Address 9485 W. Chino St. Star, ID. 83409

Title Owner Name Eith Rivas DL# (attach copy) [REDACTED]

Address 9485 W. Chino St. Star, ID. 83409

Title \_\_\_\_\_ Name \_\_\_\_\_ DL# (attach copy) \_\_\_\_\_

Address \_\_\_\_\_

(use reverse side if necessary)

## Please answer the following questions:

- Are the premises to be licensed located within 300 feet to the entrance from any public school, church, or other place of worship?  
☒ No ☐ Yes
- Are the premises to be licensed located within a neighborhood predominantly residential?  
☒ No ☐ Yes
- Do you now have any direct or indirect interest in any other business licensed for the sale of alcoholic beverages?  
☒ No ☐ Yes  
If yes, please list other businesses licensed for the sale of alcoholic beverages: \_\_\_\_\_
- Have you, as an individual, or partner, or while an officer, director or stockholder or a corporation application or licensee ever had an alcoholic beverage license denied, suspended, or revoked by any jurisdiction granting such license, including the state of Idaho and Ada or Canyon County?  
☒ No ☐ Yes  
If yes, explain each event fully: \_\_\_\_\_

5. Have you, any partner, or the manager of the premises (within the past three years) been convicted of a violation of any laws governing or prohibiting the sale of alcoholic beverages or intoxicating liquor? (If any of these events has occurred, this question must be answered "YES" regardless of subsequent court action resulting in dismissal or expungement.)

☒ No      ☐ Yes      Explain each event fully:

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_  
Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. Have you, any partner, or the manager of the premises (within the past three years) been convicted of a violation of driving under the influence of alcoholic beverages or other intoxicating substances and/or hasn't paid the fine or completed the sentence or parole/probation for such an offense? (If any of these events has occurred, this question must be answered "YES" regardless of subsequent court action resulting in dismissal or expungement.)

☒ No      ☐ Yes      Explain each event fully:

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_  
Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

7. Have you, any partner or the manager of the premises, been convicted or received a withheld judgement for any crime relating to possession of a controlled substance? (If any of these events has occurred, this question must be answered "YES" regardless of subsequent court action resulting in dismissal or expungement.)

☒ No      ☐ Yes      Explain each event fully:

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_  
Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. Do you, any partner or the manager of the premises, allow conduct to occur on the premises which is defined as a moral nuisance by state law or City of Star ordinance?

☒ No      ☐ Yes      Explain: \_\_\_\_\_

9. Do you, any partner or manager of the premises, manage or operate the premises in a way to be a nuisance to surrounding businesses by reason of the conduct of employees or clientele constituting lewd, violent or disorderly behavior?

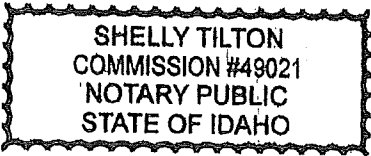
☒ No      ☐ Yes      Explain: \_\_\_\_\_

I have read all of the above and declare under penalty of perjury that each and every statement made is true, correct and complete.

*Camille Rivas*  
Applicant

SUBSCRIBED AND SWORN BEFORE ME this 6<sup>th</sup> day of June, 2025.

*Shelly Tilton*  
NOTARY PUBLIC in and for the State of Idaho  
Residing: *Idaho*  
Commission Expires: *1-18-31*



Date Application Received: <u>6/6/25</u>	Date License Issued: _____
Fee Paid: <u>1002.50</u>	Star License No: _____
Application Complete: _____	

Premises Number: 1A-27723

Incorporated City

# Idaho State Police

## Retail Alcohol Beverage License

Cycle Tracking Number: 162942  
ISLD ID: 9504

License Year: 2026

License Number: 27723

*This is to certify, that*      Rustic Table Steak House + Bar LLC  
*doing business as:*      Rare Steakhouse  
*is licensed to sell alcoholic beverages as stated below at:*  
9846 W State St, Star, Ada County

*Acceptance of a license by a retailer shall constitute knowledge of and agreement to operate by and in accordance to the Alcohol Beverage Code, Title 23. Only the licensee herein specified shall use this license. County and city licenses are also required in order to operate.*

Liquor	Yes	<u>\$750.00</u>
Beer	Yes	<u>\$50.00</u>
Wine by the bottle	Yes	<u>\$0.00</u>
Wine by the glass	Yes	<u>\$0.00</u>
Kege to go	No	
Growlers	No	
Restaurant	Yes	<u>\$0.00</u>
On-premises consumption	Yes	<u>\$0.00</u>
Multipurpose arena	No	
Plaza	No	
Brewer's Retail	No	
TOTAL FEE:		<u>\$800.00</u>

RUSTIC TABLE STEAK HOUSE + BAR LLC

RARE STEAKHOUSE

9846 W STATE ST

STAR, ID 83669

Mailing Address

Valid

05/02/2025 - 04/30/2026

**Expires**

**04/30/2026**



2026

ADA COUNTY  
STATE OF IDAHO

No. 27723

# RETAIL ALCOHOL BEVERAGE LICENSE

THIS IS TO CERTIFY THAT RUSTIC TABLE STEAK HOUSE + BAR LLC  
doing business as RARE STEAKHOUSE  
at 9846 W STATE ST STAR ID 83669  
a(n) 0, is licensed to sell Alcoholic Beverages as stated below, subject to the provisions of  
Chapters 23-903 and 23-916 Idaho Code Annotated, and the laws of the State of Idaho, Municipal Ordinances, and the  
regulations of the Commissioner in regard to sale of Alcoholic Beverages and the resolution passed by the Commissioners of  
said County, on file in the office of the Clerk of the Board at the Ada County Courthouse, Boise, Idaho.

Dated 05/02/2025

Bottled/canned beer, Consumed off premise \$0 00

Bottled/canned beer, Consumed on premise \$0 00

Draft beer, Includes draft, bottled, and/or canned \$100 00

Wine by the glass (This covers Retail & By the  
Drnk \$0 00

Wine by the bottle \$0 00

Liquor Boise City \$0 00

Liquor Eagle City \$0 00

Liquor Garden City \$0 00

Liquor Racing Facility \$0 00

Total \$287.50

Signature of Licensee or Officer of Corporation  
*[Signature]*

This license is TRANSFERABLE and EXPIRES 05/31/2026  
Witness my hand and seal this Tue May 27 09 35 41 MDT 2025

*[Signature]*

Chairman

*[Signature]*

Commissioner

*[Signature]*

Commissioner

*[Signature]*  
Clerk of the Board of County Commissioners

(This license must be conspicuously displayed)





## Middleton Star Fire Districts

Fire Marshal's Office  
11665 W State St, Ste B  
Star, ID 83669  
208-286-7772

[www.midstarfire.org](http://www.midstarfire.org) [www.midstarfirepermits.org](http://www.midstarfirepermits.org)



250192

### Inspection Report

Inspection Date: **June 12, 2025**

Inspection Status: **Passed**

Inspection Type: **Fire and Life Safety BWL**

Permit: **Operational - Beer/Wine/Liquor Licensure #2025-0263**

Inspection Scope: **New operational permit**

Location: **Rustic Table Steak House +Bar, LLC DAB Rare Steakhouse, 9846 W STATE ST, Star, ID 83669**

AHJ: **Star Fire Protection District**

Inspected By: **Victor Islas**

No violations found.

**Notice: Any overlooked hazardous condition and/or violation of the International Building and/or Fire Code does not imply approval of such condition or violation.**



City of Star  
P.O. Box 130  
Star, Idaho 83669  
P: 208-286-7247  
cityclerk@staridaho.org

APPLICATION FOR BEER, WINE, LIQUOR LICENSE

☐ New License ☒ Renewal ☒ Transfer

Applicant: CWWilson, LLC

Business Name: Star Saloon

Business Address: 10937 W. State St. Star, ID 83669

Mailing Address (if different from business address): \_\_\_\_\_

Business Phone: 208-695-4379 Other Phone: \_\_\_\_\_

Email Address: StarsaloonLLC@gmail.com

Owner Full Name: Whitney Hudgens

I AM OR WILL BE: ☒ Sole Owner ☐ Partner ☐ Officer ☐ Director ☐ Stockholder ☐ Business Manager

Owner date of birth: [REDACTED] Owner driver's License #: [REDACTED] State: ID

On-Site Manager Name (if different from owner) \_\_\_\_\_

I AM OR WILL BE: ☐ Sole Owner ☐ Partner ☐ Officer ☐ Director ☐ Stockholder ☐ Business Manager

Building Owner Name: 18th Hole, LLC

Address: 1775 W. State St City: Boise State: ID Zip: 83702

Phone: 208-850-3915 Email: \_\_\_\_\_

LICENSE TYPE:	FEES (PER YEAR):	FEE:
<input checked="" type="checkbox"/> Beer consumed on premises	\$200.00	<u>200-</u>
<input checked="" type="checkbox"/> Beer consumed off premises	\$50.00	<u>50-</u>
<input checked="" type="checkbox"/> Wine consumed on premises	\$200.00	<u>200-</u>
<input checked="" type="checkbox"/> Wine consumed off premises	\$50.00	<u>50-</u>
<input checked="" type="checkbox"/> Liquor	\$562.50	<u>562.50</u>
Total Fee Due		<u>\$ 1062.50</u>



City of Star  
P.O. Box 130  
Star, Idaho 83669  
P: 208-286-7247  
cityclerk@staridaho.org

**A complete application includes:**

Applicant (v)	Description	Staff (v)
✓	Completed and signed Liquor License Application	✓
✓	Payment in Full	✓
✓	Copy of any lease agreement if premises to be used are not owned by the applicant(s), partners, or members	✓
N/A	Articles of Incorporation and Bylaws	
✓	Copy of State of Idaho Alcohol Beverage License	✓
✓	Copy of Ada County Alcohol Beverage License	✓
✓	Copy of approval letter from the Star Fire Department	✓
✓	Proof of Insurance	✓

**OFFICERS AND/OR DIRECTORS:**

Title owner Name Whitney Hudgens DL# (attach copy) [REDACTED]  
 Address 947 N. Cardigan Pl, Star, ID 83669  
 Title \_\_\_\_\_ Name \_\_\_\_\_ DL# (attach copy) \_\_\_\_\_  
 Address \_\_\_\_\_  
 Title \_\_\_\_\_ Name \_\_\_\_\_ DL# (attach copy) \_\_\_\_\_  
 Address \_\_\_\_\_  
 (use reverse side if necessary)

**Please answer the following questions:**

- Are the premises to be licensed located within 300 feet to the entrance from any public school, church, or other place of worship? ☒ No ☐ Yes
- Are the premises to be licensed located within a neighborhood predominantly residential?  
☒ No ☐ Yes
- Do you now have any direct or indirect interest in any other business licensed for the sale of alcoholic beverages? ☒ No ☐ Yes  
If yes, please list other businesses licensed for the sale of alcoholic beverages: \_\_\_\_\_
- Have you, as an individual, or partner, or while an officer, director or stockholder or a corporation application or licensee ever had an alcoholic beverage license denied, suspended, or revoked by any jurisdiction granting such license, including the state of Idaho and Ada or Canyon County?  
☒ No ☐ Yes  
If yes, explain each event fully: \_\_\_\_\_





City of Star  
P.O. Box 130  
Star, Idaho 83669  
P: 208-286-7247  
cityclerk@staridaho.org

5. Have you, any partner, or the manager of the premises (within the past three years) been convicted of a violation of any laws governing or prohibiting the sale of alcoholic beverages or intoxicating liquor? (If any of these events has occurred, this question must be answered "YES" regardless of subsequent court action resulting in dismissal or expungement.)

☒ No ☐ Yes If yes, please explain each event fully:

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_

6. Have you, any partner, or the manager of the premises (within the past three years) been convicted of a violation of driving under the influence of alcoholic beverages or other intoxicating substances and/or hasn't paid the fine or completed the sentence or parole/probation for such an offense? (If any of these events has occurred, this question must be answered "YES" regardless of subsequent court action resulting in dismissal or expungement.)

☒ No ☐ Yes If yes, please explain each event fully:

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_

7. Have you, any partner or the manager of the premises, been convicted or received a withheld judgement for any crime relating to possession of a controlled substance? (If any of these events has occurred, this question must be answered "YES" regardless of subsequent court action resulting in dismissal or expungement.)

☒ No ☐ Yes If yes, please explain each event fully:

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_

Date of conviction: \_\_\_\_\_ Place of conviction: \_\_\_\_\_ Offense: \_\_\_\_\_

8. Do you, any partner or the manager of the premises, allow conduct to occur on the premises which is defined as a moral nuisance by state law or City of Star ordinance?

☒ No ☐ Yes If yes, please explain: \_\_\_\_\_

9. Do you, any partner or manager of the premises, manage or operate the premises in a way to be a nuisance to surrounding businesses by reason of the conduct of employees or clientele constituting lewd, violent or disorderly behavior?

☒ No ☐ Yes If yes, please explain: \_\_\_\_\_



City of Star  
P.O. Box 130  
Star, Idaho 83669  
P: 208-286-7247  
cityclerk@staridaho.org

I have read all of the above and declare under penalty of perjury that each and every statement made is true, correct and complete.

[Signature]  
Applicant Signature

SUBSCRIBED AND SWORN BEFORE ME this 11th day of June, 2025.

[Signature]  
NOTARY PUBLIC in and for the State of Idaho  
Residing: Star, ID  
Commission Expires: 06-03-30

EMILY BROWN  
COMMISSION #20242041  
NOTARY PUBLIC  
STATE OF IDAHO

Date Application Received: <u>6/11/25</u>	Date License Issued: _____
Fee Paid: <u>\$1062.50</u>	Star License No: _____
Application Complete: _____	

Premises Number: 1A-204  
Incorporated City

# Idaho State Police

## Retail Alcohol Beverage License

Cycle Tracking Number: 163263  
ISLD ID: 9844  
License Year: 2026  
License Number: 1407

*This is to certify, that*      CWWilson LLC  
*doing business as:*      Star Saloon  
*is licensed to sell alcoholic beverages as stated below at:*  
**10937 W State Street , Star, Ada County**

*Acceptance of a license by a retailer shall constitute knowledge of and agreement to operate by and in accordance to the Alcohol Beverage Code, Title 23. Only the licensee herein specified shall use this license.*  
*County and city licenses are also required in order to operate.*

Liquor	Yes	<u>\$750.00</u>
Beer	Yes	<u>\$50.00</u>
Wine by the bottle	Yes	<u>\$0.00</u>
Wine by the glass	Yes	<u>\$0.00</u>
Kegs to go	Yes	<u>\$20.00</u>
Growlers	Yes	<u>\$0.00</u>
Restaurant	No	
On-premises consumption	Yes	<u>\$0.00</u>
Multipurpose arena	No	
Plaza	No	
Brewer's Retail	No	
TOTAL FEE:		<u>\$820.00</u>

CWWILSON LLC  
STAR SALOON  
10937 W STATE STREET

STAR, ID 83669

Mailing Address

*Valid*  
05/01/2025 - 04/30/2026  
***Expires***  
**04/30/2026**

2026

ADA COUNTY  
STATE OF IDAHO

No. 1407

## RETAIL ALCOHOL BEVERAGE LICENSE

THIS IS TO CERTIFY THAT \_\_\_\_\_ CWWILSON LLC  
doing business as \_\_\_\_\_ STAR SALOON  
at \_\_\_\_\_ 10937 W STATE ST STAR ID 83669  
a(n) \_\_\_\_\_ LLC, is licensed to sell Alcoholic Beverages as stated below, subject to the provisions of  
Chapters 23-903 and 23-916 Idaho Code Annotated, and the laws of the State of Idaho, Municipal Ordinances, and the  
regulations of the Commissioner in regard to sale of Alcoholic Beverages and the resolution passed by the Commissioners of  
said County, on file in the office of the Clerk of the Board at the Ada County Courthouse, Boise, Idaho

Dated 05/01/2025

Bottled/canned beer, Consumed off premise	\$0 00
Bottled/canned beer, Consumed on premise	\$0 00
Draft beer, Includes draft, bottled, and/or canned	\$100 00
Wine by the glass (This covers Retail & By the Drink	\$0 00
Wine by the bottle	\$0 00
Liquor Boise City	\$0 00
Liquor Eagle City	\$0 00
Liquor Garden City	\$0 00
Liquor Kuna City	\$0 00
Liquor Mendian City	\$0 00
Liquor Star City	\$187 50
Liquor Racing Facility	\$0 00
Eligible Golf Course	\$0 00
Total	\$287.50

Signature of Licensee or Officer of Corporation

This license is TRANSFERABLE and EXPIRES 05/31/2026  
Witness my hand and seal this Tue May 13 10 14 26 MDT 2025

*[Signature]*

05/21/2025

Chairman

*[Signature]*

05/21/2025

Commissioner

*[Signature]*

05/21/2025

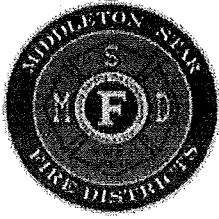
Commissioner



*[Signature]*  
Clerk of the Board of County Commissioners

(This license must be conspicuously displayed)





## **Middleton Star Fire Districts**

Fire Marshal's Office  
11665 W State St, Ste B  
Star, ID 83669  
208-286-7772

[www.midstarfire.org](http://www.midstarfire.org) [www.midstarfirepermits.org](http://www.midstarfirepermits.org)



250143

### **Inspection Report**

*Inspection Date:* **May 15, 2025**

*Inspection Status:* **Passed**

*Inspection Type:* **Fire and Life Safety BWL**

*Permit:* **Operational - Beer/Wine/Liquor Licensure #2025-0213**

*Inspection Scope:* **New operational permit**

*Location:* **CWWilson LLC, DBA Star Saloon, 10937 W STATE ST, Star, ID 83669**

*AHJ:* **Star Fire Protection District**

*Inspected By:* **Victor Islas**

*No violations found.*

**Notice: Any overlooked hazardous condition and/or violation of the International Building and/or Fire Code does not imply approval of such condition or violation.**



CITY OF STAR

**LAND USE STAFF REPORT**

**TO:** Mayor & Council

**FROM:** City of Star – Planning & Zoning Department *Shawn T. Muth*

**MEETING DATE:** June 17, 2025 – PUBLIC HEARING  
**FILE(S) #:** AZ-25-02 – Annexation  
DA-25-04 – Development Agreement

**OWNER/APPLICANT/REPRESENTATIVE**

**Applicant/Representative/Owner:**  
Jeremy & Sabrina Newberry  
9909W. Lanktree Gulch Road  
Star, Idaho 83669

**REQUEST**

**Request:** The Applicant is requesting approval of Annexation and Zoning (R-1), and a Development Agreement. The property is located on N. Echo Summit Way in Star, Ada County, Idaho, and consists of 10.96 acres.

**PROPERTY INFORMATION**

**Property Location:** The subject property is generally located on the corner of N. Echo Summit Way and N. Summit Place, south of W. Lanktree Gulch Road in Hillsdale Estates Subdivision No. 5 (Lot 8, Block 6). Ada County Parcel No. R3626150220.

**Surrounding Land Use/Designations:**

	<b>Zoning Designation</b>	<b>Comp Plan Designation</b>	<b>Land Use</b>
<b>Existing</b>	Rural Residential (RR)	Low Density Residential	Vacant Ground
<b>Proposed</b>	Residential (R-1)	Low Density Residential	Single Family Residential
<b>North of site</b>	Rural Residential (RR)	Low Density Residential	Hillsdale Estates Subdivision
<b>South of site</b>	Residential (R-1))	Estate Rural Residential	Candau Estates Subdivision
<b>East of site</b>	Residential (R-1)	Low Density Residential	Hillsdale Estates Subdivision
<b>West of site</b>	Residential (R-1)	Low Density Residential	Hillsdale Estates Subdivision

**Existing Site Characteristics:** The property is currently bare ground with a large outbuilding.

**Irrigation/Drainage District(s):** N/A

**Flood Zone:** This property is not located in a Special Flood Hazard Area.

Flood Zone: Zone X

FEMA FIRM Panel Number: 16001C0130J

Effective Date: 6/19/2020

**Special On-Site Features:**

- ✧ Areas of Critical Environmental Concern – No known areas.
- ✧ Evidence of Erosion – No evidence.
- ✧ Fish Habitat – No.
- ✧ Floodplain – No.
- ✧ Mature Trees – No.
- ✧ Riparian Vegetation – No.
- ✧ Steep Slopes – Yes, 20% of slopes greater than 15%.
- ✧ Stream/Creek – None.
- ✧ Unique Animal Life – No unique animal life has been identified.
- ✧ Unique Plant Life – No unique plant life has been identified.
- ✧ Unstable Soils – No known issues.
- ✧ Historical Assets – No historical assets have been observed.
- ✧ Wildlife Habitat – No known sensitive wildlife habitat observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	March 3, 2025
Neighborhood Meeting Held	April 1, 2025
Application Submitted & Fees Paid	April 3, 2025
Application Accepted	April 3, 2025
Residents within 300' Notified	April 24, 2025
Agencies Notified	April 24, 2025
Legal Notice Published	May 31, 2025
Property Posted	Pending

HISTORY

There have been no previous requests through the City for development of this property.

CODE DEFINITIONS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-1B-1: ANNEXATION AND ZONING; REZONE:

B. Standards:

1. The subject property shall meet the minimum dimensional standards of the proper district.
2. The city may require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement and concept plan shall be required for any rezone to a mixed-use zone, high density zone or land which includes steep slope (land over 25%) or floodway.
3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.
4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

1. The map amendment complies with the applicable provisions of the comprehensive plan;
2. The map amendment complies with the regulations outlined for the proposed district;
3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
5. The annexation (as applicable) is in the best interest of city.

**8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

(R) RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

**8-3A-3: USES WITHIN ZONING DISTRICTS**

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited

Zoning District Uses	R-1
Dwelling:	
Multi-family <sup>1</sup>	A
Secondary <sup>1</sup>	P
Single-family attached	P
Single-family detached	P
Two-family duplex <sup>1</sup>	N
Live/Work Multi-Use <sup>1</sup>	

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

Zoning District	Maximum Height	Minimum Yard Setbacks Note Conditions			
	Note Conditions	Front (1)	Rear	Interior Side	Street Side
R-1	35'	30'	30'	10'	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhanging onto the sidewalk.
2. Zero-Lot-Line, reduced street side yard setbacks and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless approved by Council as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, LI, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone. A waiver may be requested if the adjacent property has the potential to redevelop as a non-residential use in the future.
4. As approved by the Fire District.
5. 35' height requirement unless a height exception is approved by Council through the Conditional Use Permit or Planned Unit Development Process.



**8-3B-3: RESIDENTIAL DISTRICTS:**

- A. Comply with Section 8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED.
- B. When development is planned with lots that directly abut existing lots within a Rural Residential area, or "Special Transition Overlay Area" as shown on the Comprehensive Plan Land Use map, an appropriate transition shall be provided for the two abutting residential lot types. A transition shall take into consideration site constraints that may exist and may include clustering of the urban lots in order to provide an open space area avoiding urban lots directly abutting rural residential lots, or may include the provision of a buffer strip avoiding urban lots directly abutting rural residential lots, or may include setbacks within the urban lots similar to the rural residential lots directly abutting, or may include the provision of one half to one acre size lots directly abutting the rural residential lots.
- C. Urban style development, as guided by provisions within the comprehensive plan and this Title, is required to limit urban sprawl, however, densities of no more than 1 to 2 dwelling units per acre are to be designed within the floodplain, ridgeline developable areas and hillside developable areas (both as defined within the comprehensive plan).
- D. Housing developments with densities of R-11 and higher shall be designed to limit height, increase setbacks and/or provide additional landscaping along the perimeter of the development, if determined by the council, where abutting areas are planned for lower densities.
- E. Rezoning to R-11 and higher shall not be allowed unless adequate ingress/egress to major transportation corridors is assured.
- F. All new residential, accessory uses or additions/remodels within the residential zones shall pave all unpaved driveways to the home.
- G. Spite strips, common lots, unreasonable development phasing, or other means of any type purposely or unintentional that may result in the blocking of services or development, including but not limited to sewer, water, streets, or utilities are prohibited in any zoning district within the City of Star.
- H. In any development that requires a traffic signal as part of the approval process, the developer shall be responsible for providing an Emergency Opticom System to the intersection.
- I. Transitional Lots. For proposed residential developments located adjacent to a Special Transition Area only, as determined on the current Comprehensive Plan Land Use Map, transitional standards listed below shall be required if reasonable evidence is presented that adjacent properties will not be further subdivided in the future. This shall be through a legal encumbrance that prevents the adjacent land from being further subdivided. These encumbrances shall include:
  - 1. Property with a Future Comprehensive Plan Land Use Map designation that does not allow future redevelopment to densities lower than one dwelling unit per acre.
  - 2. Subdivision CC&R's preventing further redevelopment;

3. Easements granted to municipal or other political entities, voluntary development easements granted to conservation land trusts, or other, legal encumbrances conserving the property in perpetuity, such as deed restrictions.  
This specifically excludes statements from landowners regarding future intent without proof of legal encumbrance.

The allowed Transitional Density for new development adjacent to Special Transition Areas, shall be as follows:

Existing Transitional Lot Sizes	Allowed Immediately Adjacent Minimum Lot Size	Allowed Immediately Across the Road from Transitional Lot
Lots larger than 1.1-acre	1 acre lots	½ acre lots
Lots of 1 to 1.1-acre	½ acre lots	1/3 acre lots
Lots smaller than 1-acre	1/3 acre lots	R-3 density Maximum

J. Additional residential standards applying to all new residential subdivisions:

1. Residential Elevations:

- i. Building elevations for all residential uses shall be submitted with any development application and will be included as part of any preliminary plat, development agreement and/or any other condition of approval.
- ii. Single-Family Residential Building Front and Side Elevation Minimum Standards. These standards shall be reviewed for compliance with all submitted residential building permits under the Building Zoning Certificate process. Council may adopt these standards as part of a development agreement or preliminary plat approval. The following minimum standards shall be applied to all new residential structure elements in all zones:
  - 1. Exterior finishes shall be primarily horizontal/vertical wood or wood product siding, brick, stucco, stone, or other decorative masonry product. A minimum of three (3) architectural elements shall be provided for all single-family residential structures. These elements shall include, but are not limited to, shingled, horizontal or vertical siding, stone or brick highlights, garage door windows or hardware, colored window frames, or other architectural treatments deemed appropriate by the administrator.

8-3B-4 - FIGURE EXTERIOR ARCHITECTURAL ELEMENTS:



2. Two-story residential dwellings should provide a minimum of one, second story side window per side elevation, when appropriate.
  3. A minimum one (1) foot overhang shall be provided on all roof overhangs. Administrator may approve deviation from this standard.
  4. Dwellings backing up to collector or arterial streets shall have rear elevations and/or architectural designs that provide depth and dimension, avoiding the flat-wall appearance. These elements must be functional and may not be minimized or created solely for the purpose of compliance with this provision.
  5. Additional landscaping buffers may also be required.
2. Dwelling Unit Design. Building styles shall be spread throughout the entire development (including all contiguously owned and phased properties). Nowhere within the development shall any fewer than 5 different exterior elevation styles and/or floorplans be located adjacent to each other. The number of different dwelling styles within a development shall be as follows:
- a. 1 to 50 units = minimum of 5 architectural styles and/or floorplans
  - b. 51 to 100 units = minimum of 7 architectural styles and/or floorplans
  - c. 101 and over units = minimum of 10 architectural styles and/or floorplans

- 3. Homeowners Associations. All subdivisions shall be maintained by a Homeowners association with appropriate Conditions, Covenants and Restrictions (CC&R's). CC&R's are not enforceable by the City and are private contracts between the developer and the property owner.
- 4. Irrigation and drainage ditches shall not be covered, tiled or re-routed as part of any new residential development unless specifically approved by Council and the applicable irrigation and/or drainage district. Perforated piping may be considered as an option if tiling is allowed.

**COMPREHENSIVE PLAN:**

8.2.3 Land Use Map Designations:

Low Density Residential:

Suitable primarily for single family residential use. Densities in this land use area are a maximum of 1 dwelling unit per acre. It is the intent of this land use designation to provide larger lots and help transition from higher densities to the Rural Residential land uses, typically to the north of the City. Densities may be limited due to the availability of infrastructure however sewer and water may be extended to serve these properties where available, and wells and septic systems may be permitted for lots in this land use designation if approved by the applicable Health Department. Modified street sections and a reduction in light pollution (by reducing lighting standards) may be offered for a more rural feel. Clustering is allowed to preserve open space.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Preserve the family friendly feel of Star.
- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.

- Work to create a vibrant Central Business District.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

#### 8.5.2 Policies Related Mostly to the Rural and Agricultural Planning Areas

- A. Create a "Rural Residential" land use zoning designation for rural lots to permanently remain as a part of the city in strategic locations and terminate rezones to the Rural Transitional (RT).
- B. Rural Residential areas help to preserve Star's rural feel and huge manicured "Rural Residential" lots are discouraged in order to preserve land for more rural/agricultural type use. The manicured home site areas on these properties should be minimal and subordinate to open rural ground for pastures, farming, and other rural uses.
- C. Modified street sections with dark sky lighting standards should be encouraged in Rural Residential land use areas.
- D. When an urban density residential development is planned with lots that directly abut lots within a Rural Residential area an appropriate transition is to be provided for the two abutting residential lot types. A transition must take into consideration site constraints that provide transitional lots and/or open space area avoiding urban lots directly abutting rural residential lots.
- E. Larger setbacks should be required for new lots planned to abut existing Rural Residential lots.
- F. Lots within a Rural Residential Land Use designation should be designed such that lots on each side of the street are of similar size.
- G. Rural Residential developments are to be located so that they do not block extension of urban services at reasonable costs and will require utility easements where necessary to assure urban service extensions.
- H. Add an Agricultural (A) zoning designation within the zoning code to allow for large parcels of land to be annexed into the city as either agricultural use or as agricultural use transitioning in the future to city rural residential or urban lots.

#### 8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

18.4 Implementation Policies:

- F. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

**PROJECT OVERVIEW**

**ANNEXATION/REZONE:**

The annexation and rezone request from Rural Residential (RR) to Low Density Residential (R-1) on the applicant’s property will bring the applicants property into the City of Star and allow for the benefits afforded to citizens within the City. The current Comprehensive Plan Land Use Map designates this property as Low Density Residential, with an allowed density of 1 dwelling units per acre. Any future uses will be required to meet all requirements within the current Unified Development Code. The requested zoning designation and future plans by the property owner meets the intent of the Comprehensive Plan. The annexation request includes a development agreement that provide conditions of annexation to ensure compliance with City codes and plans.

**DEVELOPMENT AGREEMENT**

Through the Development Agreement process, the applicant is proposing to work with the City to provide further insurances that the property and all future uses will be compatible and meet the intent of the City. Items that should be considered by the applicant and Council include the following:

- ITD Proportionate Shares
- Dedication of Requested Sewer District Easements
- Future Emergency Services Mitigation Fees
- Future Development Standards



AGENCY RESPONSES

Idaho Transportation Department	April 29, 2025
Ada County Development Services	April 29, 2025
City of Star Engineering Department	May 7, 2025
ACHD	June 3, 2025

PUBLIC RESPONSES

No public comments have been received.

STAFF ANALYSIS AND RECOMMENDATION

Based upon the information provided to staff in the applications and agency comments received to date, the proposed annexation and zoning request meets the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the application, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

ANNEXATION/REZONE FINDINGS:

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.  
*The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:*
  - ✓ *Protection of property rights.*
  - ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
  - ✓ *Ensure the local economy is protected.*
  - ✓ *Encourage urban and urban-type development and overcrowding of land.*

- ✓ *Ensure development is commensurate with the physical characteristics of the land.*

*The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides an assortment of amenities within walking distance of a residential development. The Council must find compliance with the Comprehensive Plan.*

2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

*The Council must find that the proposal complies with the proposed district and purpose statement. The purpose of the residential districts is to provide regulations and districts for various residential neighborhoods with gross densities in compliance with the intent of the Comprehensive Plan designation. Housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications in all districts exceeding one dwelling unit per acre. Private streets may be approved in this district for access to newly subdivided or split property.*

3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

*The Council must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.*

4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

*The Council must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.*

5. The annexation is in the best interest of the city.

*The Council must find that this annexation is reasonably necessary for the orderly development of the City.*

*Upon granting approval or denial of the application, the Council shall specify:*

1. The Ordinance and standards used in evaluating the application;
2. The reasons for recommending approval or denial; and
3. The actions, if any, that the applicant could take to obtain approval.

**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File Number AZ-25-02 and DA-25-04 for Jeremy & Sabrina Newberry on \_\_\_\_\_, 2025.





## ANNEXATION & ZONING - REZONE - DEANNEXATION APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: <u>A2-25-08</u>
Date Application Received: <u>4-3-25</u> Fee Paid: <u>2190.<sup>00</sup></u>
Processed by: City: _____

### Applicant Information:

PRIMARY CONTACT IS: Applicant ☐ Owner ☐ Representative ☐

Applicant Name: Jeremy Newberry  
Applicant Address: 9909 W Lanktree Gulch, Star Zip: 83609  
Phone: 925-746-6756 Email: 621newberry@gmail.com

Owner Name: Jeremy & Sabrina Newberry  
Owner Address: Same as above Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Representative (e.g., architect, engineer, developer):  
Contact: Jeremy newberry Firm Name: \_\_\_\_\_  
Address: 9909 W Lanktree Gulch Rd Star, ID Zip: 83609  
Phone: 925-746-6756 Email: 621newberry@gmail.com

### Property Information:

Site Address: 9909 Summit Way, Star Parcel Number: R3626150220  
Total Acreage of Site: 10.90 acres  
Total Acreage of Site in Special Flood Hazard Area: none  
Proposed Zoning Designation of Site: R-1

### Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	<u>RR</u>	<u>RR</u>	<u>RR</u>
Proposed	<u>R-1</u>	<u>R-1</u>	<u>R-1</u>
North of site	<u>RR</u>		
South of site	<u>R-1</u>		
East of site	<u>RR</u>		
West of site	<u>RR</u>		

**Special On-Site Features** (Yes or No – If yes explain):

Areas of Critical Environmental Concern - none  
 Evidence of Erosion - none  
 Fish Habitat - none  
 Floodplain - none  
 Mature Trees - none  
 Riparian Vegetation - none  
 Steep Slopes - yes 20% of slopes greater than 15%  
 Stream/Creek - none  
 Unique Animal Life - none  
 Unique Plant Life - none  
 Unstable Soils - none  
 Wildlife Habitat - none  
 Historical Assets - none

**Application Requirements:**

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Prelim Plat, CUP, etc.) please include one paper copy for all applications**)

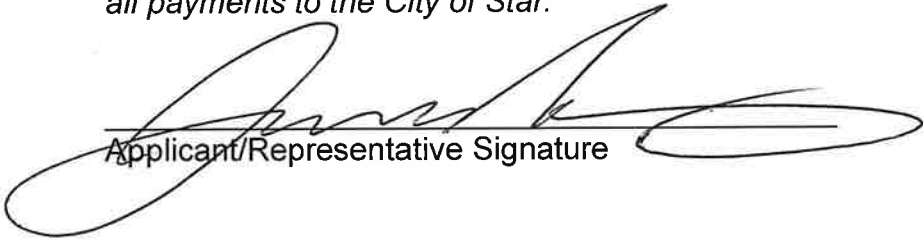
Applicant (✓)	Description	Staff (✓)
✓	Pre-application meeting with the Planning Department required prior to neighborhood meeting. <b>Date of Pre-App Meeting:</b> <u>3-3-2025</u>	BN
	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.) <b>Date of Neighborhood Meeting:</b> <u>4-1-2025</u>	BN
✓	Completed and signed Annexation & Zoning/Rezone Application	BN
✓	All Annexations & Rezones require a Development Agreement *Applicant agrees to enter into a Development Agreement with this application. Applicant's Signature: <u>[Signature]</u>	BN
X	An application for annexation or rezone shall <del>not</del> be accepted until any required traffic impact study is submitted and accepted by the appropriate transportation authority. A hearing date before the Council shall not be scheduled until the traffic impact study has been approved and the transportation authority (ACHD, ITD, Highway District #4) has issued a staff report/review on the development application.	
n/a	If the Annexation & Zoning or Rezone request is accompanied by a preliminary plat and/or site plan, building elevations shall be included with the application.	
✓	Fee: (Include Development Agreement Fee). Please contact the City for current fees. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
✓	Narrative fully describing the proposed project (must be signed by applicant)	BN
✓	Legal description of the property to be annexed and/or rezoned: <u>Mike</u>	BN



✓	<ul style="list-style-type: none"> <li>Include a metes &amp; bounds description to the section line/centerline of an adjacent roadways, stamped and signed by a registered professional land surveyor, with a calculated closure sheet.</li> <li>Scaled exhibit map showing the boundaries of the legal description in compliance w/the requirements of the Idaho State Tax Commission Property Tax Administrative Rules IDAPA 35.01.03.225.01h.</li> <li>If requesting more than one zoning designation, include a legal description for each zone along with an overall annexation/rezone boundary description. Also include the boundaries of each different zone on the map.</li> <li>Submit <u>word.doc</u> and <u>pdf version</u> with engineer's seal.</li> </ul>	BN
✓	Recorded warranty deed for the subject property	BN
n/a	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
✓	Vicinity map showing the location of the subject property with minimum 1-mile radius <i>mike</i>	BN
✓	Copy of any <u>associated applications</u> (i.e. CUP/PUD Site Plan/Preliminary Plat). If this application is not accompanied by a plat or site plan, <u>a conceptual development plan for the property is required.</u>	BN
n/a	List of name(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the entire property being considered as shown on record in the County Assessor's office. <b>Please contact the City to request addresses and labels (additional fee required).</b>	BN
	Electronic versions of all submitted application materials including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat/site plan or concept plan, <u>irrigation district information, shall be submitted in original pdf format (no scans for preliminary plat/site, concept plans) on a thumb drive only (no discs)</u> with the files named with project name and plan type. <i>awk chg</i>	BN
	Signed Certification of Posting with pictures (see attached posting requirements and certification form) – To be completed by applicant a minimum of 10-days prior to public hearing. Staff will notify applicant in writing of hearing and posting date.	
✓	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval, building permits, if applicable. Please contact SSWD for details at 208-286-7388.	

APPLICANT ACKNOWLEDGEMENT\*\*:

*\*\* I have read, understand and accept the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be additional fees associated with this application incurred by the City in obtaining reviews or referrals by architect, outside engineering, or other professionals necessary to enable the City to process this application. I understand that I, as the applicant, I am responsible for all payments to the City of Star.*

  
Applicant/Representative Signature

3/3/25  
Date

AFFIDAVIT OF LEGAL INTEREST

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) ss

I \_\_\_\_\_, \_\_\_\_\_  
(name) (address)  
\_\_\_\_\_, \_\_\_\_\_  
(city) (state) (zip)

being first duly sworn upon oath, depose and say: That I am the record owner of the property described on the attached, and I grant my permission to \_\_\_\_\_  
(name)  
\_\_\_\_\_, \_\_\_\_\_  
(address) (state) (zip)

to submit the accompanying application pertaining to that property.

Address or location of property: \_\_\_\_\_

I agree to indemnify, defend and hold the City of Star and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

I understand there may be direct costs incurred by the City in obtaining a review of the application by architects, engineers, or other professionals necessary to enable the City to approve or disapprove the application. I understand that I will be billed on a monthly basis and will remit payment within 30 days.

I hereby grant permission to the City of Star staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Type of application: \_\_\_\_\_

## Neighborhood Meeting Notice

**Mailing:**

9909 W Lantree Gulch Rd

Star, ID 83669

(925) 776-6756

[Sabrinanewberry23@gmail.com](mailto:Sabrinanewberry23@gmail.com)

[62Jnewberry@gmail.com](mailto:62Jnewberry@gmail.com)

Dear Neighbor,

You are invited to a neighborhood meeting to discuss a project we are proposing near your property. The purpose of this meeting is to discuss the project, answer any questions, and listen to your feedback and suggestions.

This is not a public hearing and public officials will not be present. If you have questions regarding meeting requirements, please contact the Star City Planning & Development Services Department.

**Purpose:** To review and discuss plans for 0 N Echo Summit Pl.

**When:** April 1, 2025

6:30PM (MT)

**Where:**

'The Shop'

0 N Echo Summit Way

Star, ID 83669

**Project Description:** The development of 10.6 acres to be divided into 2 additional buildable sites, plus divide 3 non buildable lots.

**Please Note:** to track and certify that a meeting was held, a sign-in sheet will be present at this meeting. We will submit the sign-in sheet with our application, which will then be used to notify you of when the application was submitted.

Best regards,

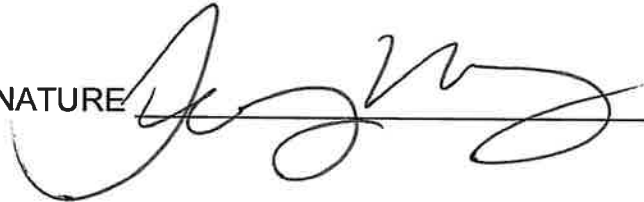
Jeremy and Sabrina Newberry

# NEIGHBORHOOD MEETING ATTENDANCE ROSTER

PROJECT NAME: 0 N. Echo SummitMeeting Date: April 1, 2025 Meeting Time: 1130 PMMeeting Location: 0 N Echo Summit Star, ID 83609**ATTENDEES:**

NAME	ADDRESS	TELEPHONE
TIM FERRILL	4722 N. EAGLE POINTE	714-580-1605
MILES & JUDY NORDQUIST	4652 N. ECHO SUMMIT PL	208-860-4739
Joyce D'Agostino		208-841-1195
Deb & Kelsey Royball	4556 N. Echo Summit Pl.	208-867-2448
Jeff Laney	4492 N. Echo Summit Pl	208-631-0498
Wayne, Annette, Kurt & Hinrichs	4596 N. Eagle Pt. Pl	208-898-4799
JEFF NINDS	4638 N. Eagle Pointe Pl	208-859-9694
HEIDI & DAVE BUTLER	4588 N. Echo Summit PL	208-407-4221 208-371-9911 (H)
Bruce & Susan Wood	4680 N. Eagle Pointe Pl	208-880-4870
MARK & JANA WESEL	4511 N EAGLE POINTE PL	818-854-9926
Traay & Keri Rieless	4620 N Echo Summit Pl.	208-949-0310
Brian Nichols	4524 N Echo Summit Pl.	208-284-4488
Hugh & Amy GARNES	9871 LAUREL TREE GLEN	208-867-4571
Kevin Helbert	9837 W. Laurel Tree	208-870-7174
TODD & NANCY COLLINS	4718 N ECHO SUMMIT WAY	208-559-6942
Steve Allen	4910 N Echo Summit way	505-987-8321
Barbie & Ken Stevens	4587 N Echo Summit Pl	208-440-1549
Zoe Ferguson	4816 Echo Summit	208-562-9896
TALBOT	4553 N EAGLE POINTE PL	208-286-0321
Caisey Minifter	4523 N ECHO SUMMIT PL	408-464-3302

APPLICANT SIGNATURE


DATE 4/1/25



# **NARRATIVE**

03.18.2025

## **Newberry Family 2014 Revocable Trust**

Jeremy and Sabrina Newberry 9909 W Lanktree Gulch Rd, Star, ID 83669

## **Overview**

Annexation, Minor Land Division & Private Street applications - Newberry Family 2014 Revocable Trust

Lot 8, Block 6 of Hillsdale Estates No. 5 – Ada County Parcel No. R3626150220 – 0 N. Echo Summit Way

## **Goals**

1. Subdivide 10.6 acres
2. 6 lots ranging from .46 to 4.27 acres

## **Specifications**

This proposal is to annex 10.932 acres into the City of Star with a zoning designation of R-2-DA. The Site Plan reflects the existing and proposed conditions. This would be consistent with the comprehensive plan and surrounding lot sizes.

Three single family residential parcels are proposed with an average size of 2.963 acres and three non-buildable parcels averaging 0.680 acres each. The latter are proposed to be sold to the adjacent owners of Lots 20, 21 and 22, Block 6 of Hillsdale Estates No. 5 Subdivision.

Central District Health has approved individual domestic water wells and septic systems on Parcels A and C. Parcel B currently has a well and septic system in place

2251 S. Sumac Street, Boise, Idaho 83706

Telephone (208) 859-6032 mike@elsurveys.com

14 March 2025

ELS Project No. 240802 - Jeremy & Sabrina Newberry  
Land Description for Annexation

Lot 8, Block 6 of Hillsdale Estates No. 5 (a recorded Plat on file in Book 80 at Pages 8550-8552) records of Ada County, Idaho and within the NE ¼ of the NE ¼ of Section 32, Township 5 North, Range 1 West, Boise Meridian, Ada County, Idaho more particularly described as follows:

Commencing at the northeast corner of said Section 32 marked by a found brass cap monument; thence southerly along the easterly line of said NE ¼ of the NE ¼ S 00°15'39" E a distance of 1325.95 feet to a found aluminum cap monument marking the southeast corner of said NE ¼ of the NE ¼ and the southeast corner of said Lot 8, the POINT OF BEGINNING.

Thence along the boundary line of said Lot 8 the following 18 (eighteen) courses:

Thence westerly along the southerly line of said NE ¼ of the NE ¼ S 89°50'03" W a distance of 881.05 feet to a found #5 bar with cap PLS 2824;

Thence leaving said southerly line N 37°34'33" W a distance of 453.49 feet to a found #5 bar with cap PLS 2824;

Thence N 82°12'10" E a distance of 156.47 feet to a found #5 bar with cap PLS 2824;

Thence N 29°31'40" W a distance of 376.78 feet to a found #5 bar with cap PLS 2824;

Thence N 79°14'14" E a distance of 365.52 feet to a found #4 bar with cap PLS 2824;

Thence N 35°29'24" E a distance of 664.08 feet to a found #4 bar with cap PLS 2824 on the southerly rights-of-way line of Echo Summit Way;

Thence along said rights-of-way line 390.49 feet along the arc of a non-tangent curve to the left, said curve having a radius of 530.00 feet, a central angle of 42°12'51" and a long chord bearing S 35°27'08" E a distance of 381.72 feet to a found #4 bar with cap PLS 2824;

Thence continuing along said rights-of-way line 37.02 feet along a curve to the right, said curve having a radius of 25.00 feet, a central angle of 84°50'46" and a long chord bearing S 14°08'37" E a distance of 33.73 feet to a found #4 bar with cap PLS 2824 on the westerly rights-of-way line of Echo Summit Place;

Thence along said rights-of-way line S 28°16'19" W a distance of 179.78 feet to a found #4 bar with cap PLS 2824;

Thence continuing along said rights-of-way 112.87 feet along a curve to the left, said curve having a radius of 225.00 feet, a central angle of 28°44'31" and a long chord bearing S 13°54'06" W a distance of 111.69 feet to a found #4 bar with cap PLS 2824;

Thence leaving said rights-of-way line N 57°12'23" W a distance of 219.55 feet to a #4 bar with cap PLS 2824;

Thence S 34°06'32" W a distance of 296.81 feet to a found #4 bar with cap PLS 2824;

Thence S 67°57'49" W a distance of 169.81 feet to a found #4 bar with cap PLS 2824;

Thence S 07°56'01" W a distance of 287.53 feet to a found #4 bar with cap PLS 2824;

Thence S 35°52'14" E a distance of 162.17 feet to a found #4 bar with cap PLS 2824;

Thence N 89°50'03" E a distance of 637.33 feet to a found #4 bar with cap PLS 2824;

Thence N 58°58'54" E a distance of 164.38 feet to a found #4 bar with cap PLS 2824 on said easterly line of the NE ¼ of the NE ¼;

Thence southerly along said line S 00°15'39" E a distance of 184.30 feet to the POINT OF BEGINNING.

The above-described tract of land contains 10.932 acres more or less subject to all existing easements and rights-of-way.



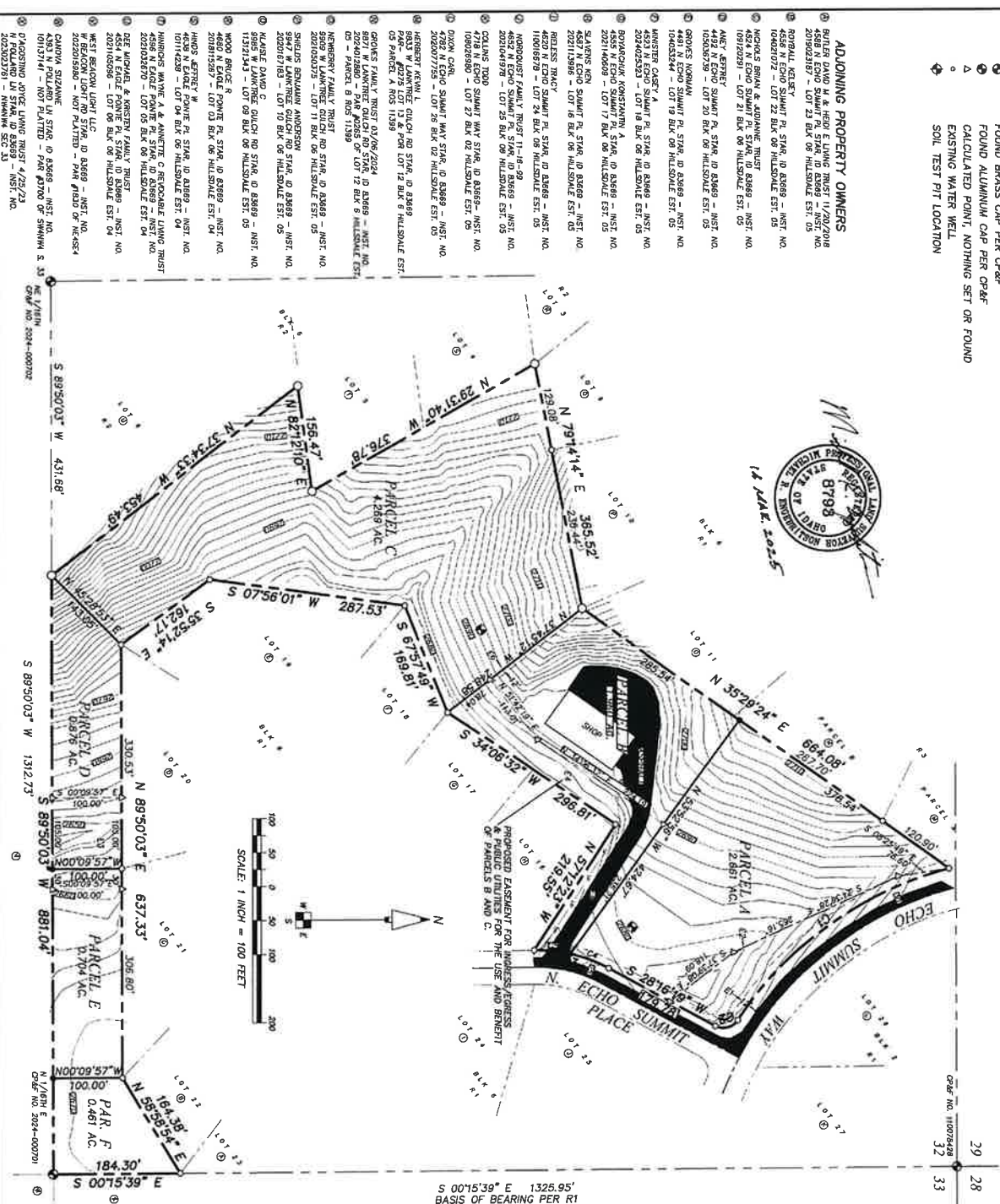


LEGEND

- BOUNDARY LINE
- SECTION LINE
- CENTER LINE
- RIGHTS-OF-WAY OR ADJOINING BOUNDARY LINE
- UNDERGROUND POWER WITH TRANSDUCER
- SET #4 BAR WITH CAP ELS PLS 8733
- FOUND #4 BAR WITH CAP PLS 2824
- FOUND #5 BAR WITH CAP PLS 2824
- FOUND BRASS CAP PER CP&F
- FOUND ALUMINUM CAP PER CP&F
- CALCULATED POINT, NOTHING SET OR FOUND
- EXISTING WATER WELL
- SOIL TEST PIT LOCATION

SITE PLAN

ANNEXATION, MLD & PRIVATE STREET - DRIVEWAY  
FOR  
NEWBERRY FAMILY 2014 REVOCABLE TRUST  
LOT 8, BLOCK 6 OF HILLSDALE ESTATES NO. 5  
WITHIN THE NE 1/4 OF THE NE 1/4 OF SECTION 32,  
TOWNSHIP 5 NORTH, RANGE 1 WEST, BOISE MERIDIAN  
ADA COUNTY, IDAHO, USA - 2025



### GENERAL NOTES

- A PORTION OF PARCELS A, D AND E ARE SUBJECT TO ACHD STORM DRAINAGE FACILITIES AND EASEMENTS PER E2 AND E3 AS SHOWN HEREON.
- PER I.C. 31-3005, IRRIGATION IS NOT PROVIDED OR PROPOSED FOR THIS DEVELOPMENT.
- PARCELS A AND PARCEL C WILL BE SERVED BY INDIVIDUAL DOMESTIC WATER WELLS AND SEPTIC SYSTEMS. PARCEL B HAS A EXISTING DOMESTIC WATER WELL AND SEPTIC SYSTEM IN PLACE.
- PARCELS D, E & F ARE NON-BUILDABLE PARCELS AND WILL BE SUBJECT TO DEED RESTRICTIONS.
- THE CURRENT PROPERTY: 0 NORTH ECHO SUMMIT WAY, STAR, ID 83669 - INST. NO. 2020032791 - NW/4 SEC. 33.
- THE CURRENT PROPERTY: 0 NORTH ECHO SUMMIT WAY, STAR, ID 83669 - INST. NO. 2020032791 - NW/4 SEC. 33.
- PROPOSED 6 TOTAL PARCELS - AVERAGE SIZE 1.822 ACRES
- SINGLE FAMILY RESIDENTIAL AND 3 NON-BUILDABLE PARCELS
- THE PROPOSED DEVELOPMENT WILL BE A 6.680 ACRES AND THE PROPOSED ZONE: R-2-D4
- THIS PROPERTY HAS NO TREES ONLY MAJOR GRASSES. NO SENSITIVE PLANTS OR RARE SPECIES AND HAS HISTORICALLY BEEN USED FOR DRY GRASSING. SOILS CONSIST OF LANKEBUSH-GREENT SANDY LOAMS (90) & QUINCY-LANKEBUSH COMPLEX (15). THERE ARE NO SPRINGS OR WATER FEATURES. THERE ARE NO HAZARDOUS WELLS OR DRILLING HOLE WATERS. FLOODING AND THE SITE IS NOT IN A FLOOD HAZARD ZONE.

### EASEMENT NOTES

E1 & E2: WIDE EASEMENT ADJACENT TO ALL STREET FRONTAGE FOR PUBLIC UTILITIES, DRAINAGE AND IRRIGATION PURPOSES AS SHOWN HEREON PER RI.

E3: CENTER LINE OF A 20' WIDE EASEMENT RESERVED PER RI FOR ACID DRAINAGE PURPOSES AS SHOWN HEREON.

E4: AN EASEMENT RESERVED PER RI FOR ACID ACCESS AND DRAINAGE PURPOSES AS SHOWN HEREON.

E5: AN EASEMENT FOR CROSS INTEREST, EGRESS, DRAINAGE AND PARCEL C IS PROPOSED AS SHOWN HEREON.

### REFERENCE DATA

RI - HILLSDALE ESTATES NO. 4 - BOOK 79 AT PAGE 8372

R2 - HILLSDALE ESTATES NO. 4 - BOOK 79 AT PAGE 8372

R3 - RECORD OF SURVEY INST. NO. 2016-001802

D1 - WARRANTY DEED FROM HILLBROOK DEVELOPMENT, INC. TO NEWBERRY FAMILY 2014 REVOCABLE TRUST - INST. NO. 2020-003889 AND CASE NO. CVO1-24-00522 MEMORANDUM DECISION TO DENY.

### CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	42°12'51"	530.00	59.49	59.77
C2	84°50'46"	25.00	37.02	37.02
C3	28°42'31"	225.00	112.87	112.87
C4	15°25'31"	225.00	60.86	60.86
C5	15°25'31"	225.00	60.86	60.86

### PROPERTY OWNER

NEWBERRY FAMILY 2014 REVOCABLE TRUST  
JEFFREY NEWBERRY & SABINA NEWBERRY, TRUSTEES  
9905 W. LANTRIER GULCH ROAD  
1-975-766-5141 / 1-208-595-1188  
62jnewberry@gmail.com / sabina@newberry23@gmail.com

ENGINEERITSON LAND SURVEYS, PLLC  
2251 S. SHILOH STREET  
BOISE, IDAHO 83706  
PHONE (208) 855-6102  
info@engineeritson.com

City of Star

P.O. Box 130  
Star, Idaho 83669  
208-286-7247  
Fax 208-286-7569

[www.staridaho.org](http://www.staridaho.org)



Mayor:  
Trevor A. Chadwick

Council:  
Kevin Nielsen  
Jennifer Salmonsens  
Kevan Wheelock  
David Hershey

7 May 2025

Jeremy Newberry  
9909 W Lanktree Gulch  
Star, ID 83669

**Re: Newberry – Annexation**

Dear Mr. Newberry

The City of Star Engineering Department has reviewed the Annexation Application for the your property dated March 2, 2025. We reviewed the package to check conformance with the City's Ordinance and coordinated our review with Shawn L. Nickel. We have the following comments and question based on our review.

1. Historic irrigation lateral, drain, and ditch flow patterns shall be maintained unless approved in writing by the local irrigation district or ditch company.
2. Finish grades at property boundaries shall match existing finish grades. Runoff shall be maintained on the property unless otherwise approved.
3. This property should approach the Star Sewer and Water District to discuss potential for future services of a new buildings.

We recommend that the Annexation be APPROVED with the conditions listed above. Any variance or waivers to the City of Star standards, ordinances, or policies must be specifically approved in writing by the City. Approval of the above does not relieve the Registered Professional Land Surveyor or the Registered Professional Engineer of those responsibilities.

If you have any questions, please do not hesitate to contact City Hall

Sincerely,

Ryan V. Morgan, P.E.  
City Engineer



## RE: Agency Transmittal - Jeremy & Sabrina Newberry Annexation

**From** D3 Development Services <D3Development.Services@itd.idaho.gov>

**Date** Tue 4/29/2025 11:43 AM

**To** Barbara Norgrove <bnorgrove@staridaho.org>

Hello,

After careful review of the transmittal submitted to ITD on April 24, 2025 regarding, Jeremy & Sabrina Newberry Annexation, the Department has no comments or concerns to make at this time. This application does not meet thresholds for a Traffic Impact Study nor does it pose any safety concern. If you have any questions please contact Niki Benyakhlef at (208) 334-8337/ [Niki.Benyakhlef@itd.idaho.gov](mailto:Niki.Benyakhlef@itd.idaho.gov).

Thank you

*Mila Kinakh*

D3 Planning and Development  
Administrative Assistant



**YOUR Safety** \* \* \* **YOUR Mobility** \* \* \* **YOUR Economic Opportunity**

**From:** Barbara Norgrove <bnorgrove@staridaho.org>

**Sent:** Thursday, April 24, 2025 3:40 PM

**To:** jboal@adaweb.net; sheriff@adaweb.net; Daniel.Weed@cableone.biz; Terence.Alsup@cableone.biz; Lbadigian@cdhd.idaho.gov; Mreno@cdhd.idaho.gov; Gloria Stokes <drain.dist.2@gmail.com>; GIS@tax.idaho.gov; D3 Development Services <D3Development.Services@itd.idaho.gov>; Ryan Morgan <rmorgan@staridaho.org>; rmorgan@starswd.com; bryce@sawtoothlaw.com; gtiminsky@midstarfire.org; Melvin.B.Norton@usps.gov; harp.kimberly@westada.org; farmers.union.ditch@gmail.com; ERIC.GRZEBINSKI@mdu.com; planningreview@achdidaho.org; hday@starswd.com; bmoore@adacounty.id.gov; BRO.Admin@deq.idaho.gov; samuel.flores@sparklight.biz; PDickerson@idahopower.com; permits@midstarfire.org; info@pioneerirrigation.com; irrigation.mm.mi@gmail.com; syarrington@adacounty.id.gov; westerninfo@idwr.idaho.gov; gmprdtim@gmail.com; Andy Waldera <andy@sawtoothlaw.com>; brandon.flack@idfg.idaho.gov; Ryan Field <rfield@staridaho.org>; file@idwr.idaho.gov; Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>; data@landprodata.com; Cheryl.imlach@intgas.com; irr.water.3@gmail.com; Mwallace@achdidaho.org; rgirard@staridaho.org; Kerry.schmidt@intgas.com; ctodd@staridaho.org; jtensen@staridaho.org; gis@compassidaho.org; Vincent Trimboli <Vincent.Trimboli@itd.idaho.gov>; zsmith@adacounty.id.gov; Brian Duran <Brian.Duran@itd.idaho.gov>; gmprdclerk@gmail.com; carson.miranda@westada.org; reinhart.david@westada.org; RKlein@republicservices.com

**Cc:** Shawn Nickel <snickel@staridaho.org>

**Subject:** FW: Agency Transmittal - Jeremy & Sabrina Newberry Annexation

**CAUTION:** This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.



# ADA COUNTY DEVELOPMENT SERVICES

200 W. FRONT STREET, BOISE, IDAHO 83702-7300  
<https://adacounty.id.gov/developmentservices>

PHONE (208) 287-7900  
FAX (208) 287-7909

Section 6, Item B.

BUILDING • COMMUNITY PLANNING • ENGINEERING & SURVEYING • PERMITTING

April 29, 2025

Shawn Nickel  
City of Star Planning & Zoning  
10769 W State St  
Star, ID 83669

RE: AZ-25-02 / Parcel No. R3626150220 / Jeremy & Sabrina Newberry Annexation

Feedback has been requested regarding the proposed annexation with rezone to R-1 (one dwelling unit per acre) and a development agreement on 10.96-acres located on Parcel No. R3626150220, in unincorporated Ada County.

## Land Use

The Land Use Map of the Ada County Comprehensive Plan designates the site as *Residential (Non-Farm Sub)* which is primarily intended for detached single-family homes on large lots. As the property is 10.96 acres in size and the proposed zoning of R-1 (Residential one dwelling unit per acre), Ada County is supportive of the application as the site will be more easily served by the City of Star than by Ada County, and as the site abuts Star City limits along the southern boundary, it is supported by *Goal 2.2* of the Ada County Comprehensive Plan which calls for urban development to be directed to Areas of City Impact where investments in urban services have already been made.

To improve future connectivity, it is recommended that at such time as further development takes place, a public road be considered to allow adjacent properties to access it as they develop, in conformance with *Goals 4.3b and 4.3c* of the Ada County Comprehensive Plan which promotes connectivity through well-connected local street systems and pathways and discourages cul-de-sacs and private roads within Areas of City Impact.

It is also recommended that sidewalk be considered along the roadways in order to improve pedestrian comfort and safety and allow for a potential pedestrian connection to adjacent properties in the future, as supported by *Transportation Policy 9* of the Star Comprehensive Plan, as adopted by the County, which encourages non-motorized pathways between residential areas to reduce short trips and improve access for non-drivers.

Thank you for this opportunity to provide feedback.

Sincerely,

***Stacey DuPuis***

Stacey DuPuis  
Community & Regional Planner  
Ada County Development Services



Date: June 3<sup>rd</sup>, 2025 **DRAFT**

To: Jeremy & Sabrina Newberry

Staff Contact: Matt Pak, Planner

Project Description: Jeremy & Sabrina Newberry Annexation

Trip Generation: Trip generation will be determined with a future development application, based on the Institute of Transportation Engineers Trip Generation Manual, 11<sup>th</sup> edition.

Proposed Development Meets	
All ACHD Policies	
Requires Revisions to meet ACHD Policies	X

Area Roadway Level of Service	
Do area roadways meet ACHD's LOS Planning Thresholds?	
Yes	N/A
No	
Area roads will meet ACHD's LOS Planning Thresholds in the future with planned improvements?	
Yes	
No	

Traffic Impact Study	
Yes	
No	X
If yes, is mitigation required	

ACHD Planned Improvements	
FYP	
CIP	

Livable Street Performance Measures	
Pedestrian	LTS 1
Cyclist	LTS 1

Is Transit Available?	
Yes	
No	X





**Project/File:** **Jeremy & Sabrina Newberry Annexation / STAR25-0004 / AZ-25-02 / DA-25-04**  
 This is an annexation and rezone application to rezone an 11 acres parcel from RR (Rural Residential) to R-1 (Residential).

**Lead Agency:** City of Star

**Site address:** 0 N Echo Summit Way

**Staff Approval:** XXXX, 202X

**Applicant:** Jeremy & Sabrina Newberry  
 9909 W Lanktree Gulch  
 Star, ID 83669

**Staff Contact:** Matt Pak  
 Phone: 208-387-6171  
 E-mail: [mpak@achdidaho.org](mailto:mpak@achdidaho.org)

#### Report Summary:

ACHD Planned Improvements .....	2
Level of Service Planning Thresholds .....	2
A. Site Specific Conditions of Approval .....	3
B. Vicinity Map .....	4
C. Findings for Consideration .....	5
D. Policy .....	6
E. Standard Conditions of Approval .....	10
F. Conclusions of Law .....	10
Request for Appeal of Staff Decision .....	11



ACHD Planned Improvements

1. Capital Improvements Plan (CIP)/ Five Year Plan (FYP):

There are no roadways, bridges or intersections in the general vicinity of the project that are in the Five Year Plan (FYP) or the District’s Capital Improvement Plan (CIP).

Level of Service Planning Thresholds

1. Condition of Area Roadways

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
* Echo Summit Way	406-feet	Local	N/A	N/A
* Echo Summit Place	312-feet	Local	N/A	N/A

\* ACHD does not set level of service thresholds for local streets.

2. Average Daily Traffic Count (VDT)

Average daily traffic counts are based on ACHD’s most current traffic counts.

- There are no traffic counts available for Echo Summit Way.
- There are no traffic counts available for Echo Summit Place.

## **A. Site Specific Conditions of Approval**

*This application is for rezone only. Site specific conditions of approval will be established through the review of a future development application.*

1. Submit civil plans as part of a future development application to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
2. There will be an impact fee that is assessed and due prior to issuance of any building permits as part of a future application. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.
3. Comply with all Standard Conditions of Approval.

**B. Vicinity Map**



## C. Findings for Consideration

*This application is for annexation and rezone only. Listed below are some findings for consideration that the District may identify when it reviews a future development application. The District may add additional findings for consideration when it reviews a specific development application.*

### 1. Echo Summit Way

- a. **Existing Conditions:** Echo Summit Way is improved with 2-travel lanes, 30-feet of pavement and no curb, gutter or sidewalk abutting the site. There is 60-feet of right-of-way for Echo Summit Way (26-feet from centerline).
- b. **Staff Comments/Recommendations:** As part of a future development application, the applicant should be required to improve Echo Summit Way consistent with District policies listed on page 6.

### 2. Echo Summit Place

- a. **Existing Conditions:** Echo Summit Place is improved with 2-travel lanes, 30-feet of pavement and no curb, gutter or sidewalk abutting the site. There is 50-feet of right-of-way for Echo Summit Way (24-feet from centerline).
- b. **Staff Comments/Recommendations:** As part of a future development application, the applicant should be required to improve Echo Summit Way consistent with District policies listed on page 6.

### 3. Driveways

#### 3.1 Echo Summit Place

- a. **Existing Conditions:** There is an existing 25-foot wide unimproved driveway from the site onto Echo Summit Place, located 306-feet south of Echo Summit Way (measured centerline-to-centerline).
- b. **Staff Comments/Recommendations:** As part of a future development application, the applicant should be required to pave and improve the driveway consistent with District policies listed on page 9.

## D. Policy

### 1. **Federal Accessibility Design Guidelines and Standards**

District policy 7203.1.1 states that developers shall follow the current version of the U.S. Access Board's Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way (PROWAG), 36 CFR Part 1190, September 7, 2023; (Also see, <https://www.access-board.gov/prowag> and <https://www.access-board.gov/files/prowag/planning-and-design-for-alternatives.pdf> for additional information).

### 2. **Minor Improvements**

**Minor Improvements Policy:** District Policy 7203.3 states that minor improvements to existing Highways adjacent to a proposed development may be required. These needed transportation facilities are to correct deficiencies or replace deteriorated facilities. Included are sidewalk and/or bike lane construction or replacement (with physical buffers if missing and needed); construction of transitional sidewalk segments; crosswalk construction or replacement; curb and gutter construction or replacement; repair, replacement or expansion of curb extensions; replacement of unused driveways with curb, gutter, sidewalk, repair or addition of traffic calming or speed mitigation features; installation or reconstruction of pedestrian ramps; pavement repairs; signs, motor vehicle, pedestrian and bicycle traffic control devices; and other similar items. The current version of PROWAG will determine the applicable accessibility requirements for alterations and elements added to existing streets. ACHD staff is responsible for identifying the minor improvements that would be proportionate to the size and complexity of the development.

### 3. **Livable Street Performance Measures**

District policy 7203.8 states that ACHD has adopted performance measures (level of stress) for evaluating the experience of bicyclists and pedestrians. ACHD seeks to create a transportation network that serves all ages and abilities. Bike and pedestrian facilities built through development should achieve a bike and pedestrian level of traffic stress 1 or 2, with no new bike lane below a minimum of 5-feet.

### 4. **Echo Summit Way & Echo Summit Place**

**Local Roadway Policy:** District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

**Street Section and Right-of-Way Policy:** District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 47-feet wide and that the standard street section shall be 33-feet (back-of-curb to back-of-curb).

**Standard Urban Local Street—33-foot Street Section and Right-of-way Policy:** District Policy 7207.5.2 states that the standard street section shall be 33-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 47-feet of right-of-way.

For the City of Kuna and City of Star: Unless otherwise approved by Kuna or Star, the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 50-feet of right-of-way.

#### **Off-Site Streets Policy:**

##### Local Streets with less than 400 VTD (existing + proposed)

District Policy 7207.2.3 states that if the proposed development is not served by a public street with at least 24-feet of pavement then the developer shall pave the street or widen the existing pavement

to provide 24-feet of pavement with 3-foot gravel shoulders from the site to a public street specified by the District.

Local Streets with 400 to 1,000 VTD (existing or proposed)

District Policy 7207.2.3 states that if the proposed development is not served by a public street with at least 30-feet of pavement then the developer shall pave the street or widen the existing pavement to provide a minimum 24 to 30-feet of pavement as determined by the District, with 3-foot gravel shoulders from the site to a public street specified by the District.

Local Streets with greater than 1,000 VTD (existing or proposed)

District Policy 7207.2.3 states that if the proposed development is not served by a public street with a minimum of 30-feet of pavement, then the developer shall pave the street or widen the existing pavement to provide 30-feet of pavement with 3-foot gravel shoulders from the site to a public street specified by the District; OR shall provide 24-feet of pavement with 3-foot gravel shoulders and a minimum 6-foot wide detached asphalt/concrete pedestrian facility from the site to a public street specified by the District.

All Local Streets

Alternatives to pavement widening include sidewalks, pathways, or other proposals such as passive traffic calming measures or mitigation through design elements, may be considered by the District. The extent of the roadway improvements (improvement type and length) will be determined by evaluating site specific criteria. Criteria to establish improvement type and length include but are not limited to: traffic volumes (existing and projected); number of pedestrians (existing and projected); location of pedestrian “attractors” and “generators” (i.e. parks and schools); number of access points/streets serving the proposed development; usable right-of-way; need for traffic calming; utilities and irrigation facilities. All utility relocation costs associated with the off-site street widening shall be borne by the developer.

**Continuation of Streets Policy:** District Policy 7207.2.4 states that an existing street, or a street in an approved preliminary plat, which ends at a boundary of a proposed development shall be extended in that development. The extension shall include provisions for continuation of storm drainage facilities. Benefits of connectivity include but are not limited to the following:

- Reduces vehicle miles traveled.
- Increases pedestrian and bicycle connectivity.
- Increases access for emergency services.
- Reduces need for additional access points to the arterial street system.
- Promotes the efficient delivery of services including trash, mail and deliveries.
- Promotes appropriate intra-neighborhood traffic circulation to schools, parks, neighborhood commercial centers, transit stops, etc.
- Promotes orderly development.

**Sidewalk Policy:** District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District’s Tree Planting Policy. If no trees are to be planted in the parkway strip, the



applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**Half Street Policy:** District Policy 7207.2.2 required improvements shall consist of pavement widening to one-half the required width, including curb, gutter and concrete sidewalk (minimum 5-feet), plus 12-feet of additional pavement widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. A 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff shall be constructed on the unimproved side.

**Rural Street Section:** District policy 7207.5.2 requires rural developments with lot sizes of 5-acres or greater per dwelling provide a minimum 24-foot pavement width, with additional 3-foot gravel shoulders and borrow ditches on each side. This street section does not require the construction of curbs, gutters, or sidewalks.

Developments with lot sizes of 1-acre or greater, but less than 5-acres per dwelling will provide streets with a 30-foot wide surface (26-feet of pavement with 2-foot concrete ribbon on each side), 4-foot of which will be striped for non-motorized travel on each side. The minimum right-of-way width for this street section shall be 52-feet in order to encompass the entire swale section. The developer shall construct on both sides of the road a 2-foot wide (minimum) concrete ribbon 8-inches thick and an 8-foot wide drainage swale along the edge of the pavement to accommodate the runoff from the development. See Section 7207.5.6 for roadside swale requirements.

**Cul-de-sac Streets Policy:** District policy 7207.5.8 requires cul-de-sacs to be constructed to provide a minimum turning radius of 50-feet; in rural areas or for temporary cul-de-sacs the emergency service providers may require a greater radius. Landscape and parking islands may be constructed in turnarounds if a minimum 29-foot street section is constructed around the island. The pavement width shall be sufficient to allow the turning around of a standard AASHTO SU design vehicle without backing. The developer shall provide written approval from the appropriate fire department for this design element.

The District will consider alternatives to the standard cul-de-sac turnaround on a case-by-case basis. This will be based on turning area, drainage, maintenance considerations and the written approval of the agency providing emergency fire service for the area where the development is located.

**Landscape Medians Policy:** District policy 7207.5.16 states that landscape medians are permissible where adequate pavement width is provided on each side of the median to accommodate the travel lanes and where the following is provided:

- The median is platted as right-of-way owned by ACHD.
- The width of an island near an intersection is 12-feet maximum for a minimum distance of 150-feet. Beyond the 150-feet, the island may increase to a maximum width of 30-feet.
- At an intersection that is signalized or is to be signalized in the future, the median width shall be reduced to accommodate the necessary turn lane storage and tapers.
- The Developer or Homeowners Association shall apply for a license agreement if landscaping is to be placed within these medians.

- The license agreement shall contain the District's requirements of the developer including, but not limited to, a "hold harmless" clause; requirements for maintenance by the developer; liability insurance requirements; and restrictions.
- Vertical curbs are required around the perimeter of any raised median. Gutters shall slope away from the curb to prevent ponding.

## 5. Driveways

### 5.1 Echo Summit Way & Echo Summit Place

**Driveway Location Policy:** District policy 7207.4.1 requires driveways near intersections to be located a minimum of 75-feet (measured centerline-to-centerline) from the nearest local street intersection, and 150-feet from the nearest collector or arterial street intersection.

**Successive Driveways:** District Policy 7207.4.1 states that successive driveways away from an intersection shall have no minimum spacing requirements for access points along a local street, but the District does encourage shared access points where appropriate.

**Driveway Width Policy:** District policy 7207.4.3 states that where vertical curbs are required, residential driveways shall be restricted to a maximum width of 20-feet and may be constructed as curb-cut type driveways.

**Driveway Paving Policy:** Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7207.4.3, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway.

## 6. Tree Planters

**Tree Planter Policy:** Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

## 7. Landscaping

**Landscaping Policy:** A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

## 8. Pathway Crossings

United States Access Board R304.5.1.2 Shared Use Paths. In shared use paths, the width of curb ramps runs and blended transitions shall be equal to the width of the shared use path.

AASHTO's Guidelines for the Development of Bicycle Facilities 5.3.5 Other Intersection Treatments: The opening of a shared use path at the roadway should be at least the same width as the shared use path itself. If a curb ramp is provided, the ramp should be the full width of the path, not including any flared sides if utilized. . . . Detectable warnings should be placed across the full width of the ramp.

FHWA's "Designing Sidewalks and Trails for Access" (1999) reflected common ADA-related concepts: Chapter 6, Page 16-6: The width of the ramp should be at least as wide as the average width of the trail to improve safety for users who will be traveling at various speeds. In addition, the overall width of the trail should be increased, so the curb ramp can be slightly offset to the side.

The increased width reduces conflict at the intersection by providing more space for users at the bottom of the ramp.

## **E. Standard Conditions of Approval**

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA), Public Right-of-Way Accessibility Guidelines (PROWAG), ISPWC, or ACHD requirements. The applicant's engineer should provide documentation of compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property, which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

## **F. Conclusions of Law**

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.

2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

### **Request for Appeal of Staff Decision**

To request an appeal of a staff level decision, see District policy 7101.6.7 at <https://www.achdidaho.org/home/showpublisheddocument/452/638243231708370000>

### **Request for Reconsideration of Commission Action**

To request reconsideration of a Commission Action, see District policy 1006.11 at <https://www.achdidaho.org/home/showpublisheddocument/452/638243231708370000>



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department 

MEETING DATE: June 17 17, 2025 – PUBLIC HEARING  
FILE(S) #: CUP-25-02 – Clear Skies Therapy Center

OWNER/APPLICANT/REPRESENTATIVE

**Applicant/Representative:**  
Jessican Petty  
12.15 Design, LLC  
2816 Buckle Down Circle  
Iowa City, Iowa 52245

**Owner:**  
Melissa Kohler  
13477 W. Bluebonnet Drive  
Boise, Idaho 83713

REQUEST

**Request:** The Applicant is requesting approval of a Conditional Use Permit for a proposed Multiple Use Building consisting of commercial and residential. The property is located at 211 S. Main Street in Star, Ada County, Idaho.

PROPERTY INFORMATION

**Property Location:** The subject property is generally located on the west side of S. Main Street, south of W. State Street. Ada County Parcel No. R4239263040.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	October 31, 2024
Neighborhood Meeting Held	November 20, 2024
Application Submitted & Fees Paid	April 21, 2024/April 30, 2024
Application Accepted	May 20, 2025
Residents within 300' Notified	May 29, 2025

Agencies Notified  
 Legal Notice Published  
 Property Posted

May 20, 2025  
 May 31, 2025  
 Pending

## HISTORY

There have been no previous requests through the City for development of this property.

## ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN

### UNIFIED DEVELOPMENT CODE:

#### 8-1B-4: CONDITIONAL USES:

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a specific property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use within this title. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through issuance of a conditional use permit, development agreement or PUD, upon approval by Council.

C. Process:

1. The applicant shall complete a pre-application conference with the administrator prior to submittal of an application for a conditional use.
2. A neighborhood meeting shall be held by the applicant pursuant to Section 8-1A-6C of this title.
3. An application and appropriate application fees shall be submitted to the City on forms provided by the city.
4. Prior to issuing the conditional use permit, the administrator may require additional information, including studies, concerning the social, economic, fiscal or environmental effects of the proposed conditional use. Traffic studies may be required by the transportation authority prior to acceptance of an application.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.
3. Control the duration of the use.



4. Assure that the use and the property in which the use is located is maintained properly.
5. Designate the location and nature of the use and the property development.
6. Require the provision for on-site or off-site public facilities or services.
7. Require more restrictive standards than those generally required in this title.
8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

E. Findings: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use shall meet the intent of the Star comprehensive plan and be in compliance with the requirements of this title.
3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance as determined by the City.

**8-1B-4E. FINDINGS:** The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

(CBD) CENTRAL BUSINESS DISTRICT: To provide for commercial, retail, civic, office, and entertainment uses. High density housing is encouraged on the upper floors of mixed-use buildings and may also be allowed at the fringes of the land use designation shown on the comprehensive plan. Live/work designed development is also encouraged in this district. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility. Special emphasis shall be placed on development in the central downtown area to encourage and create a vibrant, walkable downtown community that incorporates the Boise River as an active amenity.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	CBD
Multi-Use Building	C

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
CBD	35'	0'	0'	0' 4	0'

- Notes:
1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.

2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

**8-4B-3: REQUIRED NUMBER OF OFF-STREET PARKING SPACES:**

Boarding houses, lodging houses, dormitories and fraternity houses which have sleeping rooms	1 for each sleeping room or 1 for each occupant, whichever number is greater
Offices, business and professional	1 per 250 square feet of gross floor area

**8-5-24: MULTIPLE USE BUILDING:**

A structure that blends commercial and residential uses together into one building. Multiple use buildings may be either commercial use downstairs with a single or multiple residential units upstairs, or larger scale with multiple commercial uses downstairs and multiple residential, or residential and commercial uses upstairs. Individual uses may be individually leased or rented or may be developed as condominiums for individual ownership. See Live/Work Unit for commercial with residential directly attached and accessible to each other.

**A. General Standards:**

1. The use shall require a Conditional Use Permit approval from City Council, unless approved as part of a Planned Unit Development or Development Agreement, and Certificate of Zoning Compliance (CZC) and Design Review approval.
2. Private Open Space: A minimum of sixty (60) square feet of private, usable open space shall be provided for each residential unit. This requirement can be satisfied through porches, patios, or decks.
3. All Fire District requirements, including fire suppression, addressing and access shall be met.
4. A sign permit shall be required for any commercial signage.
5. Parking requirements for both commercial and residential uses shall be met. This includes a minimum of one (1) covered parking space for each residential unit.

## COMPREHENSIVE PLAN:

### 8.2.3 Land Use Map Designations:

#### Central Business District

The Central Business District is planned to be a vibrant downtown center for the community. Uses encouraged are commercial, retail, civic, private offices, and entertainment. High density housing is encouraged on the upper floors of mixed-use buildings and at the fringes of the land use designation. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility.

### 8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

### 8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

### 8.5.5 Policies Related Mostly to The Central Business District Planning Areas:

- The CBD zoning district should allow for a mix of commercial, office, institutional, and civic type uses with specific provisions for residential use in appropriate locations with compatible densities.
- The city should develop a street improvement plan for the CBD identifying drainage and street improvements with a functional grid system and use public private partnerships to assure the system is built and that "ad hoc" development of parcels within the CBD do not block good planning.

- The city should develop a downtown grid system, in part, planning for the easterly extension of Tempe Lane and easterly extension of West First Street to help provide better downtown access and parking facilities.
- The east west public road from the Heron River Development, south of the LDS Church on Main Street, should be extended to Star Road.
- Implement, review, and update the 2011 Star Downtown Revitalization Plan for development strategies within the plan intended to stimulate development within the CBD.
- As recommended in the 2011 Star Downtown Revitalization Plan, the city should create an Urban Renewal District to stimulate development within the CBD.
- The city should encourage assemblage of the smaller properties where appropriate.

#### 8.5.6 Policies Related Mostly to the Commercial Planning Areas:

- Assist in the provision of coordinated, efficient, and cost-effective public facilities and utility services, carefully managing both residential and non-residential development and design, and proactively reinforcing downtown Star's role as the urban core while protecting existing property rights. B. Encourage commercial facilities to locate on transportation corridors. C. Locate neighborhood services within walking distance to residential development. D. Discourage the development of strip commercial areas. E. Maintain and develop convenient access and opportunities for shopping and employment activities. F. Commercial areas of five acres or less should be encouraged in residential land use designations with appropriate zoning to allow for commercial services for residential neighborhoods and to limit trip lengths. Such commercial areas should be submitted for approvals with a Conditional Use Permit or Development Agreement to assure that conditions are placed on the use to provide for compatibility with existing or planned residential uses. These areas should be oriented with the front on a collector or arterial street.
- #### 8.5.9 Additional Land Use Component Policies:
- Encourage flexibility in site design and innovative land uses.
  - Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
  - Support well-planned, pedestrian-friendly developments.
  - Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.



## PROJECT OVERVIEW

### CONDITIONAL USE PERMIT:

The applicant is requesting approval of a Conditional Use Permit for an approximately 3,388 square feet, two story, mixed-use building. The main level will include five professional offices that provide privacy for counseling and mental health services. A sixth room will serve as a breakout room to be used as needed by the therapists. The second story will have three furnished bedrooms and a shared living space. The intent of the upper level is to provide housing for traveling nurses working in the facility of the local area. The property is currently zoned Central Business District (CBD). The Unified Development Code, Section 8-3A-3 requires all mixed-use developments/buildings to be approved through a Conditional Use Permit.

Section 8-4B-3 requires one parking space for each bedroom and one parking space for every 250 square feet of gross space for office, business or professional uses. The proposed building (residential and commercial) would require 10 parking spaces. The Applicant is proposing 11 external spots, 1 of which will be ADA accessible. This will satisfy the parking requirements of the Unified Development Code. The Applicant is proposing to install an EV charging station and will have a bicycle rack on the southwest corner of the building.

Section 8-4B-2 of the UDC requires all parking stalls to be a minimum of nine feet (9') wide and twenty feet (20') deep.

- A. When a vehicle bumper overhangs onto a sidewalk or landscape area, the parking stall dimensions may be reduced two (2) feet in length if two (2) feet is added to the width of the sidewalk or landscaped area, and the additional area is planted in ground cover. In this case, wheel restraints may be removed.

The proposed site plan calls out the appropriate dimensions to satisfy these requirements.

Access is proposed to be taken off South Main Street on the north of the property via a private drive aisle.

The Unified Development Code (UDC), Section 8-4B-2 requires "all drive aisles adjacent to a building shall be a minimum of 25' 0" or as required by the fire code..." The proposed site plan appears to call out 15 feet for the drive aisle. As this is not aligned with code, the proposed width of the drive aisle will require approval from the Fire District.

All signage, including building, directional and monuments will need separate permits and approval from Staff.

The applicant has not asked for any setback waivers and the site plan is compliant with the required Commercial setbacks. A 15’ setback is required from the north property line when adjacent to a residential use. This setback has been provided.

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use “Treasure Valley Tree Selection Guide”, as adopted by the Unified Development Code. **The Applicant has provided a landscape plan with this application. It appears the plan shows street trees along Main Street that meet this requirement.**

**The applicant has provided exterior elevations and color renderings that will need to be reviewed by the Design Review Committee, as part of the Certificate of Zoning Compliance process, for approval.**

The Applicant will use residential garbage cans and not a dumpster. Given the use of the facility, staff is supportive of this approach.

**The Applicant has indicated lighting on the site plan. All lighting will need to be submitted and reviewed as part of the Design Review/CZC process. Staff recommends low lighting within the parking and access areas to avoid light pollution to surrounding neighbors.**

The Applicant will be responsible for constructing 5-foot-wide, a detached sidewalk along South Main Street for the entirety of their property frontage.

**The neighboring northern property owner has requested fencing be installed along the property line to protect their residential use. Staff is supportive of this request and recommends that the applicant install a 6’ solid vinyl fence along the northern boundary of the property to help with light trespass and noise from cars for the residential neighbor.**

**AGENCY RESPONSES**

Star City Engineer	May 27, 2025
Republic Services	May 20, 2025
Star Sewer & Water District	May 27, 2025

**PUBLIC RESPONSES**

Email from 163 S. Main Street Neighbor	June 3, 2025
----------------------------------------	--------------

**STAFF ANALYSIS & RECOMMENDATIONS**

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed conditional use permit, with recommended conditions of approval, meets the requirements, standards and intent for development as they relate to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

**Staff Recommends the Following Conditions of Approval:**

- 1. The Applicant shall provide a solid, 6’ vinyl fence along the northern property line. Please coordinate with Staff on exact style and location. A revised landscape plan shall be submitted with the CZC and Design Review application showing the fence detail.**
- 2. The Applicant shall submit a Certificate of Zoning Compliance and Design Review applicant for review and approval prior to submittal of building permits.**

**FINDINGS**

**CONDITIONAL USE PERMIT FINDINGS:**

- 1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

*The Council must find that the site of the proposed use would be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.*

- 2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

*The Council must find that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development should meet the intent or purpose of the Mixed-Use District.*

- 3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

*The Council must find that the operation of the proposed use would be compatible with the other uses in the general area.*

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

*The Council must find that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.*

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

*The Council must find that the proposed use be adequately served by essential public facilities and services.*

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

*The Council must find that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community.*

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

*The Council must find that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

*The Council must find that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.*

#### CONDITIONS OF APPROVAL

1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **Prior to submittal of a building permit, the applicant shall submit a certificate of zoning compliance and design review application for review and approval, meeting the standards of compliance with the Architectural Design Guidelines.**
3. **The Applicant shall install a solid fence along the northern boundary of the property to prevent light trespass. The applicant shall submit a revised landscape plan with the certificate of zoning compliance and design review application showing fencing detail along the northern property line for review and approval by Staff.**
4. **The Applicant shall provide a detailed site/building lighting plan. This will need to be submitted and reviewed as part of the Design Review/CZC process.**

- 5. **The Applicant shall submit a Floodplain Development Application for approval to the City Engineer prior to any site work commencing. The Applicant shall abide by all requirements for compliance with building in the floodplain.**
- 6. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 7. A form signed by the Star Sewer & Water District shall be submitted to the City prior to issuance of building permit stating that all conditions of the District have been met, including annexation into the District.
- 8. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
- 9. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy of the unit.
- 10. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
- 11. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
- 12. A Certificate of Zoning Compliance will be required prior to the start of construction.
- 13. Any additional Condition of Approval as required by Staff and City Council.
- 14. Any Conditions of Approval as required by Star Fire Protection District.
- 15. The property associated with this approved conditional use permit shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of the conditional use permit or building permit.
- 16. Any additional Condition of Approval as required by Staff and City Council.

COUNCIL DECISION

The Star City Council \_\_\_\_\_ File Number CU-25-02 for Clear Skies Therapy Center on \_\_\_\_\_, 2025.









## **Project Narrative**

### **Project Narrative – Clear Skies Therapy Center**

Clear Skies Therapy Center is a thoughtfully designed two-story, 3,388-square-foot facility located in the growing community of Star, Idaho. The project integrates both therapeutic services and residential accommodations to support the wellness of the broader community while also providing practical housing solutions for healthcare professionals.

#### **Ground Level – Therapy Center**

The main level of the building houses the primary functions of the therapy center. It includes five private therapy offices designed to support a range of counseling and mental health services. In addition, a sixth flexible office space doubles as a breakout room, allowing therapists to adapt the space for play therapy, group sessions, or other modalities as needed. The floor plan promotes a calm and welcoming atmosphere for clients with careful attention to privacy, acoustic control, and natural light.

#### **Upper Level – Nurse Residences**

The second story includes three furnished bedrooms and a shared living area, designed to serve as a comfortable residence for travel nurses. This thoughtful blend of therapeutic services and healthcare housing promotes a holistic approach to community wellness—supporting local mental health needs while also providing much-needed short-term housing for traveling healthcare workers.

#### **Exterior Design and Site Features**

The building's exterior reflects the name and ethos of Clear Skies Therapy. A palette of pale blue smooth Hardie panels evokes tranquility and optimism, while natural-color pinewood lap siding accents add warmth and a residential touch. Copper-toned standing seam metal accent roofs offer visual interest and a nod to modern craftsmanship.

Behind the building, a pergola structure shelters designated parking stalls reserved for the resident nurses, offering protection and a sense of permanence to the temporary dwellers. The site is fully landscaped with plantings selected to complement the architecture and provide a homey, comfortable setting. Careful consideration was given to integrating the building within the context of Star's growing commercial district, maintaining harmony with surrounding developments while creating a distinct, identity-driven presence.

A handwritten signature in dark ink, reading "Jessica Petty". The signature is written in a cursive, flowing style with a large initial "J" and "P".

**Jessica Petty, Owner**

Licensed Architect

12.15 Design, LLC

[jessica@1215design.com](mailto:jessica@1215design.com)

208-867-0294



## CONDITIONAL USE PERMIT APPLICATION

\*\*\*All applicable information must be filled out to be processed.

FILE NO.: **CU-25-02**  
Date Application Received: **4/21/2025** Fee Paid: **\$2756.73**  
Processed by: City: **BN**

### Applicant Information:

**PRIMARY CONTACT IS: Applicant \_\_\_ Owner \_\_\_ Representative x**

Applicant Name: Jessica Petty  
Applicant Address: 2816 Buckle Down Circle, Iowa City IA Zip: 52245  
Phone: 208-867-0294 Email: jessica@1215design.com

Owner Name: Melissa Kohler  
Owner Address: 13477 W. Bluebonnet Drive, Boise ID Zip: 83713  
Phone: 208-616-5126 Email: melissak@clearskiestcl.com

Representative (e.g., architect, engineer, developer):

Contact: Jessica Petty Firm Name: 12.15 Design, LLC  
Address: 2816 Buckle Down Circle, Iowa City IA Zip: 52245  
Phone: 208-867-0294 Email: jessica@1215design.com

### Property Information:

Site Address: 211 S. Main Street Parcel Number: R4239263040  
Requested Condition(s) for Conditional Use: Multi-Use Building - Business Occupancy on main level  
R-3 on Upper Level

	Zoning Designation	Comp Plan Designation
Existing	CBD	
Proposed	CBD	
North of site	R-8	
South of site	CBD	
East of site	R-8	
West of site	CBD	

**Site Data:**

Total Acreage of Site: .17

Proposed Percentage of Site Devoted to Bldg Coverage: 23.6%

Proposed Percentage of Site Devoted to Landscaping: 4.2%

Number of Parking spaces: Proposed 10 Required 10

Requested Front Setback: 0 Requested Rear Setback: 0

Requested Side Setback: 0 Requested Side Setback: 0

Requested Side Setback: 0

Existing Site Characteristics: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Number and Uses of Proposed Buildings: 1

Location of Buildings: SE corner of lot

Gross Floor Area of Proposed Buildings: 3388 sqft

Describe Proposed On and Off-Site Traffic Circulation: Ingress/egress from Main Street

\_\_\_\_\_

\_\_\_\_\_

Proposed Signs – number, type, location: \_\_\_\_\_

(include draft drawing) \_\_\_\_\_

Public Services (state what services are available and what agency is providing the service):

Potable Water - \_\_\_\_\_

Irrigation Water - \_\_\_\_\_

Sanitary Sewer - \_\_\_\_\_

Schools - \_\_\_\_\_

Fire Protection - \_\_\_\_\_

Roads - \_\_\_\_\_

**Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):**

Subdivision/Project Name: Clear Skies Therapy Phase: 1

Special Flood Hazard Area: total acreage .17 number of homes/structures  
1

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16001c0130J  
FIRM effective date(s): mm/dd/year 06/19/2020  
Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: AE  
Base Flood Elevation(s): AE 2470.0 ft., etc.: \_\_\_\_\_
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

**Application Requirements:***(Applications are required to contain one copy of the following unless otherwise noted.)*

Applicant (√)	Description	Staff (√)
x	Pre-application meeting with Planning Department required prior to neighborhood meeting.	BN
x	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
x	Completed and signed Conditional Use Application	BN
x	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
x	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	BN
x	Legal description of the property (word.doc and electronic version with engineer's seal):	
x	Copy of recorded warranty deed.	
x	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	BN
x	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	BN
x	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
x	Vicinity map showing the location of the subject property	BN
x	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	
x	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	
x	Building elevations showing construction materials	BN
x	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, shall be submitted in original pdf format (no scans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	BN
x	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

**Site Plan (If applicable):**

	The following items must be included on the site plan:	
x	• Date, scale, north arrow, and project name	
x	• Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan	
x	• Existing boundaries, property lines, and dimensions of the lot	
x	• Relationship to adjacent properties, streets, and private lanes	
x	• Easements and right-of-way lines on or adjacent to the lot	
x	• Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties	
x	• Building locations(s) (including dimensions to property lines)	
x	• Parking and loading areas (dimensioned)	
x	• Traffic access drives and traffic circulation (dimensioned)	

x	• Open/common spaces	
x	• Refuse and service areas	
x	• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing & proposed)	
x	• All on-site lighting proposed – Must Meet City “Dark Sky” Ordinances	

### Landscape Plan (If applicable):

	The following items must be included on the landscape plan:	BN
x	• Date, scale, north arrow, and project name	
x	• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan	
x	• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings	
x	• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.	
x	• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements	
x	• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours	
x	• Sight Triangles as defined in 8-4 A-7 of this Ordinance	
x	• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size	
x	• Proposed screening structures	
x	• Design drawings(s) of all fencing proposed	
x	• Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> <li>➤ Number of street trees and lineal feet of street frontage</li> <li>➤ Width of street buffers (exclusive of right-of-way)</li> <li>➤ Width of parking lot perimeter landscape strip</li> <li>➤ Buffer width between different land uses</li> <li>➤ Number of parking stalls and percent of parking area with internal landscaping</li> <li>➤ Total number of trees and tree species mix</li> <li>➤ Mitigation for removal of existing trees, including number of caliper inches being removed</li> </ul>	

### SIGNS (If applicable):

All signs will require separate submittal of a sign application.

### FEE REQUIREMENT:

**\*\* I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

05.05.2025



# CLEAR SKIES THERAPY CENTER

211 S. MAIN STREET, STAR, IDAHO



12.15 Design, LLC

Building, Transforming, Planning

ARCHITECT STAMP

CLEAR SKIES THERAPY CENTER

211 S. MAIN STREET, STAR, IDAHO

COMMERCIAL COVER

## GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL TECHNIQUES AND DISPOSAL OF DEBRIS. ANY CLEARING WORK SHALL BE COORDINATED WITH ALL AFFECTED UTILITY COMPANIES AND SHALL CONFORM WITH CITY, COUNTY, AND STATE CODES FOR DISPOSAL OF DEBRIS.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, IDENTIFYING AND PROTECTING ANY UTILITIES THAT ARE TO REMAIN FROM DAMAGE. ANY UTILITY LINES THAT ARE IDENTIFIED BY THE LOCAL UTILITY COMPANIES AS ACCEPTABLE FOR REMOVAL SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS ESTABLISHED BY THE UTILITY COMPANY AFFECTED.
3. ALL NEW PLUMBING, GAS, MECHANICAL AND ELECTRICAL SERVICES INTO THE NEW CONSTRUCTION AREAS SHALL BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDANCES.
4. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE PLANS AND CURRENT INTERNATIONAL RESIDENTIAL CODE.
5. VERIFY ALL EXISTING CONDITIONS AND CHECK ALL DIMENSIONS AND ELEVATION PRIOR TO STARTING WORK. NOTIFY DESIGNER OF ANY DISCREPANCIES FOUND PRIOR TO PROCEEDING WITH WORK.
6. DIMENSIONS SHOWN DO NOT INCLUDE THE THICKNESS OF ANY APPLIED FINISH MATERIALS. DIMENSIONS ARE EITHER TO FACE OF STUD, FACE OF MASONRY, OR CENTERLINE OF OPENINGS OR STRUCTURE.

## CONSTRUCTION NOTES

1. EXTERIOR WALLS 2x6, INTERIOR WALLS 2x4 UNLESS NOTED. DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE.
2. FIELD VERIFY ALL DIMENSIONS.
3. VERIFY ALL WINDOW AND DOOR HEADER HEIGHTS WITH GENERAL CONTRACTOR.
4. WINDOW AND DOOR HEADERS TO BE 4x8 DF w/ 2X6 TOP AND BOTTOM PLATES UNDER 5'-0" SPAN. USE 4x10 w/ 2x6 TOP AND BOTTOM PLATE AS HEADERS UP TO 7'-0" SPAN w/ DOUBLE CRIPPLES. ALL LARGER SPAN HEADERS WILL BE CALLED OUT ON PLAN.
5. SHEAR PANELS ARE TO BE 7/16" OSB SHEATHING w/ MIN. 6d NAILS OR MIN 1 3/4" GAUGE STAPLES 12 o.c. FIELD NAILING AND 3" PERIMETER NAILING. SEE FOUNDATION PLAN FOR STD14 STRAP LOCATIONS.
6. ROOF SYSTEM TO BE PRE-ENGINEERED MANUFACTURED WOOD TRUSSES. SEE TRUSS MANUFACTURER LAYOUTS AND SPECIFICATIONS FOR INSTALLATION.
7. USE TEMPERED GLAZING IN DOORS, SLIDING PATIO DOORS, STORM DOORS, SHOWER & BATH ENCLOSURES, WINDOWS WHERE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 48" OF A VERTICAL EDGE OF AN ACTIVE DOOR AND FIXED PANELS GREATER THAN 9 SQ FT WITH THE LOWEST EDGE LESS THAN 18" ABOVE FLOOR.
8. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS - BOTH VERTICAL AND HORIZONTAL - AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY & THE ROOF SPACE.
9. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS UNUSABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ.FT.
10. PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE TO NFPA 10 AND IBC SECTION 906.

## CODE ANALYSIS

2018 INTERNATIONAL BUILDING CODE	
2018 INTERNATIONAL EXISTING BUILDING CODE	
2018 INTERNATIONAL ENERGY CONSERVATION CODE	
2018 INTERNATIONAL MECHANICAL CODE	
2018 INTERNATIONAL FUEL GAS CODE	
OCCUPANCY TYPE	MIXED-USE: B & R-3
SEISMIC ZONE	C
ZONING	CENTRAL BUSINESS DISTRICT (CBD)
BUILDING CONSTRUCTION	V-B
AREA OF NEW CONSTRUCTION	1748 MAIN LEVEL 1640 SECOND LEVEL 3388 SQFT TOTAL
OCCUPANT LOAD: EXITING & EGRESS:	25 - SEE EGRESS PLAN 2 REQUIRED, 2 PROVIDED
FIRE SUPPRESSION SYSTEM:	YES

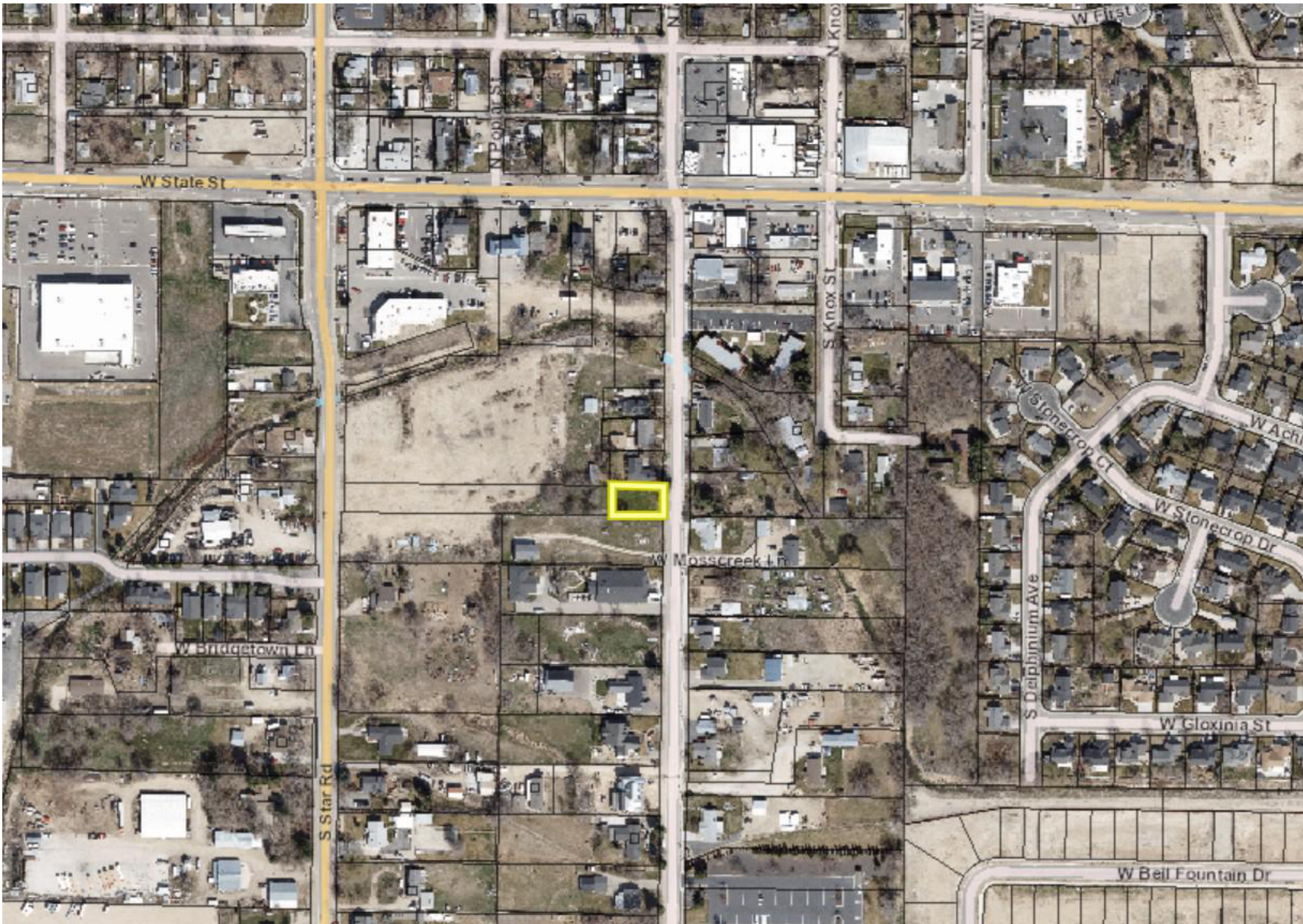
ALLOWABLE BUILDING HEIGHT: (IBC 504.3)	
B OCCUPANCY, VB CONSTRUCTION, NOT SPRINKLED	40 FT
ACTUAL BUILDING HEIGHT:	27'-2"
ALLOWABLE BUILDING AREA: (IBC 506.2)	
B OCCUPANCY, VB CONSTRUCTION, NOT SPRINKLED	9000 SQFT
ACTUAL BUILDING AREA:	3388 SQFT

<b>CHAPTER 29 (TABLE 2902.1)</b>	
OCCUPANT LOAD:	25 TOTAL (12 MEN/WOMEN)
WATER CLOSETS: REQUIRED:	1 PER 25 - FIRST 50 / 1 PER 50 <b>1 MEN / 1 WOMEN</b>
LAVATORIES: REQUIRED:	1 PER 40 - FIRST 80 / 1 PER 80 <b>1 MEN / 1 WOMEN</b>
DRINKING FOUNTAIN: REQUIRED:	1 PER 100 <b>1 D.F. REQUIRED (1 A.D.A.)</b>
SERVICE SINK REQUIRED:	1

## SHEET INDEX

SHEET	NAME
A0.1	COMMERCIAL COVER
A1.0	ENERGY REPORT & SITE PLAN
A2.0	LANDSCAPE PLAN
A2.1	MAIN FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A3.1	EGRESS PLANS
A4.1	ELEVATIONS
A4.2	ELEVATIONS
A5.1	ROOF PLAN
A6.1	SECTIONS & SCHEDULES

## VICINITY MAP

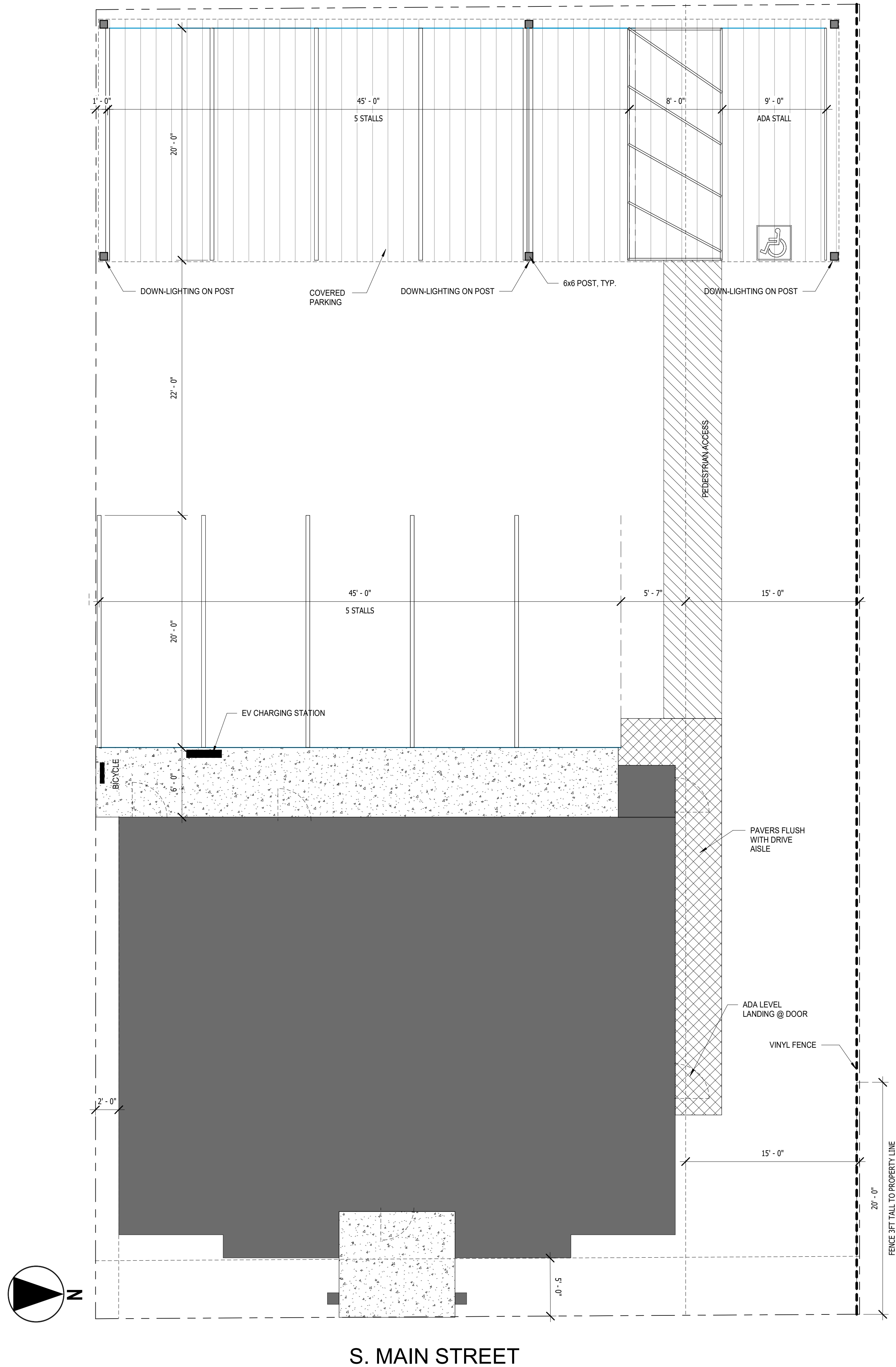


**VERIFY SCALES**  
THIS BAR IS 1 INCH ON ORIGINAL DRAWING  
**0 1"**  
IF NOT 1 INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

CHECKED	
DATE	
DRAWN	JESSICA
JOB NO.	

SHEET NUMBER  
**A0.1**





2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)							
TABLE CR402.1.3 INSULATION & FENESTRATION REQUIREMENT							
CLIMATE ZONE	FENESTRATION U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT/CRAWL SPACE R-VALUE	SLAB R-VALUE & DEPTH
5	0.32	R-49	R-20	R-11.4 CONT.	30	15/19	R-10; 2FT

Jessica Petty - Architect

Jessica Petty

06.21.2018

ARCHITECT STAMP

CLEAR SKIES THERAPY CENTER

211 S. MAIN STREET, STAR, IDAHO

ENERGY REPORT & SITE PLAN


VERIFY SCALES  
THIS BAR IS 1 INCH ON ORIGINAL DRAWING  
IF NOT 1 INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

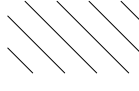
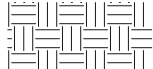
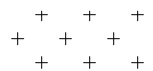
CHECKED	
DATE	
DRAWN	JESSICA
JOB NO.	

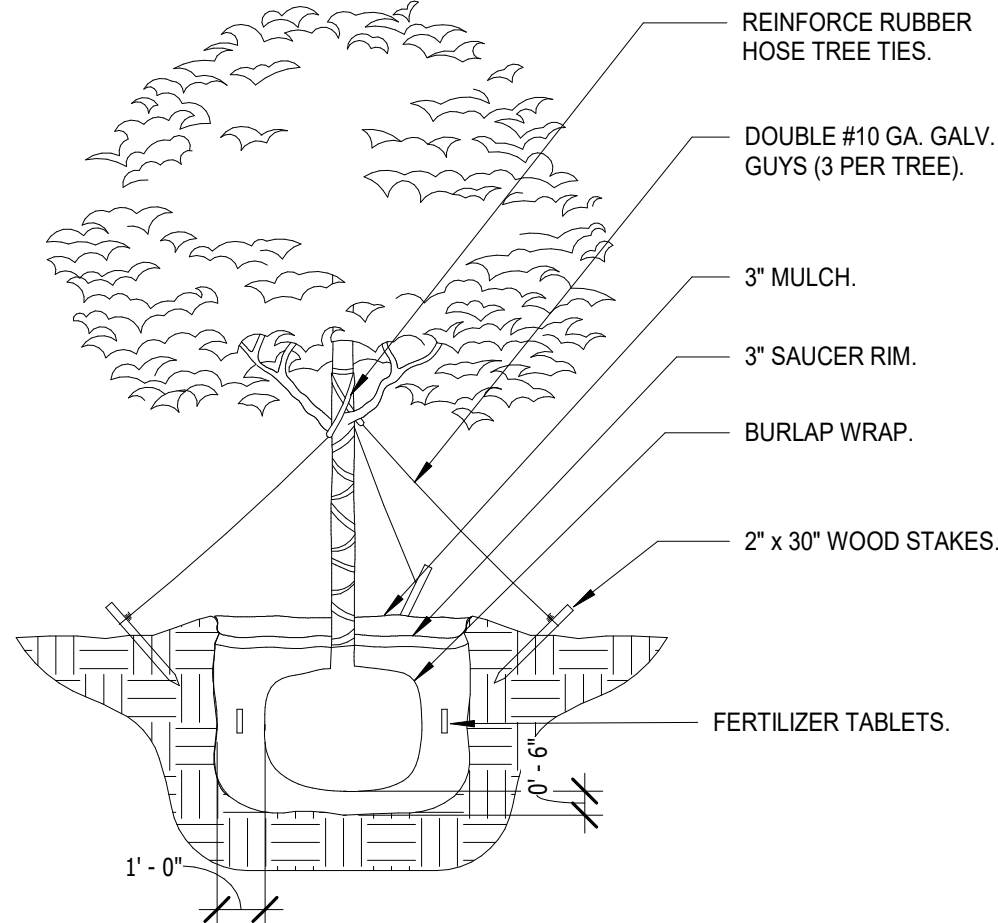
SHEET NUMBER

A1.0

© 2025 COPYRIGHT 12.15 DESIGN, LLC.  
THESE PLANS MAY NOT BE USED BY ANY OTHER ENTITY THAN 12.15 DESIGN, LLC. WITHOUT PRIOR WRITTEN CONSENT.

PLANT SCHEDULE					
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
	1	JAPANESE MAPLE	ACER PALMATUM	2" CAL B&B	10' X 3'W
	1	SNOW QUEEN OAKLEAF HYDRANGEA	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	5 GAL	1' X 2'W
	6	WINTER GEM JAPANESE BOXWOOD	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM'	5 GAL	3' X 3'W
	2	HIDCOTE ENGLISH LAVENDER	LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	2 GAL	2' X 3'W
	4	RED CREEPING THYME	THYMUS PRAECOX ARCTICUS 'COCCINEUS'	1 GAL	6" X 1.5'W
	6	KARL FOSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	2 GAL	3' X 5'H
	4	KELSEY'S DWARF RED TWIG DOGWOOD	CORNUS SERICEA 'KELSEY'	2 GAL	2.5' X 2.5'W

- NATIVE LANDSCAPE TO REMAIN
- DRYLAND SEED MIX OVER APPROVED TOPSOIL
- 3" DEPTH OF 2" MINUS CRUSHED BASALT ROCKS OVER WEED FABRIC

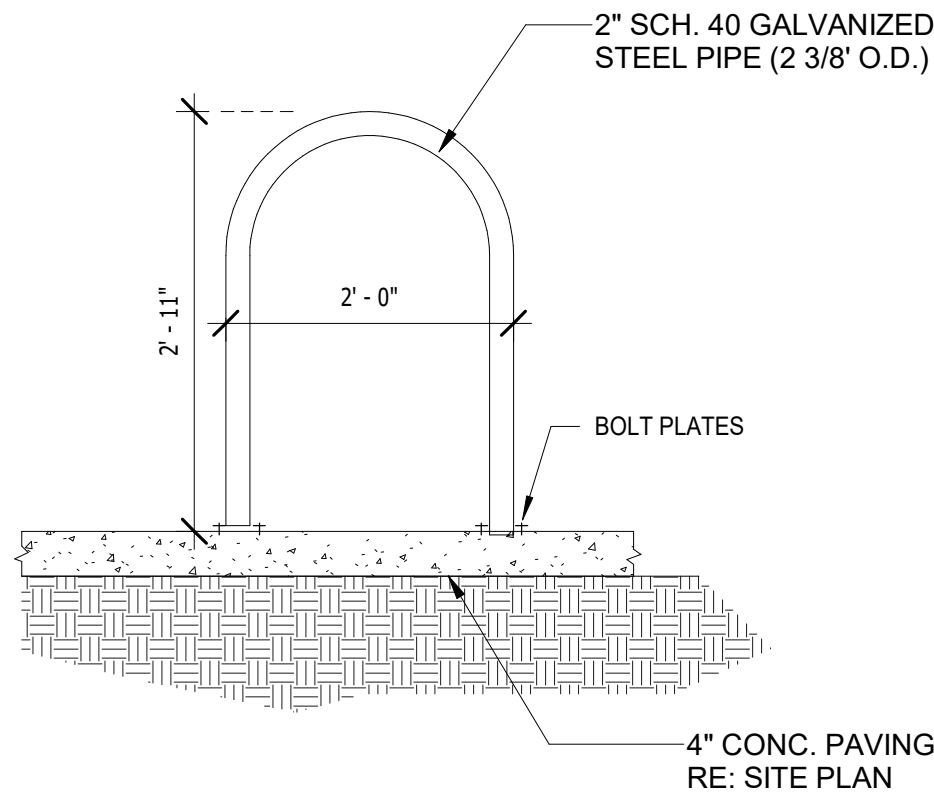


TYPICAL TREE AND SHRUB PLANTING NOTES:

- ALL TREES TO BE BALLED AND BURLAPPED. SEE DETAIL THIS SHEET TREE STAKING.
- 2" MINIMUM OF REGULAR GRIND SOIL AID TO BE PLACED ON SHRUB PLANTING AREAS.
- PROVIDE AND INSTALL (3) 2 x 2 STAKES EVENLY SPACED AT EACH TREE. TIE ALL STAKES WITH COTTON WEBBING OR OTHER APPROVED METHOD.
- PROVIDE AND INSTALL BACKFILL MIX FOR ALL PLANTS. USE 1/2 APPROVED PLANTING MIX AND 1/2 EXISTING SOIL REMOVED FROM PLANTING PITS. DIG ALL PLANT PITS TWICE THE SIZE OF ROOT BALL.
- EXISTING SOIL REMOVED FROM PLANTING PITS. DIG ALL PLANT PITS TWICE THE SIZE OF ROOT BALL.
- FINISH GRADE TOP SOIL TO A UNIFORM AND SMOOTH SURFACE. REMOVE ALL ROCKS AND FOREIGN MATERIAL 1" AND LARGER PRIOR TO LAYING SOD.
- PROVIDE AND INSTALL ONE APPLICATION OF APPROVED PLANTING TABLETS FOR ALL PLANTS. PROVIDE AND INSTALL ONE INITIAL APPLICATION OF STARTER FERTILIZER FOR SOD AREAS. ALL FERTILIZERS TO BE APPROVED BY THE OWNER PRIOR TO APPLICATION AND APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- ALL PLANTS AND LAWN SHALL BE GUARANTEED FOR ONE COMPLETE GROWING SEASON AFTER COMPLETION OF CONTRACT AND FINAL ACCEPTANCE.
- NEW LANDSCAPE AREAS TO BE PROVIDED WITH FULLY AUTOMATIC SPRINKLER SYSTEMS.

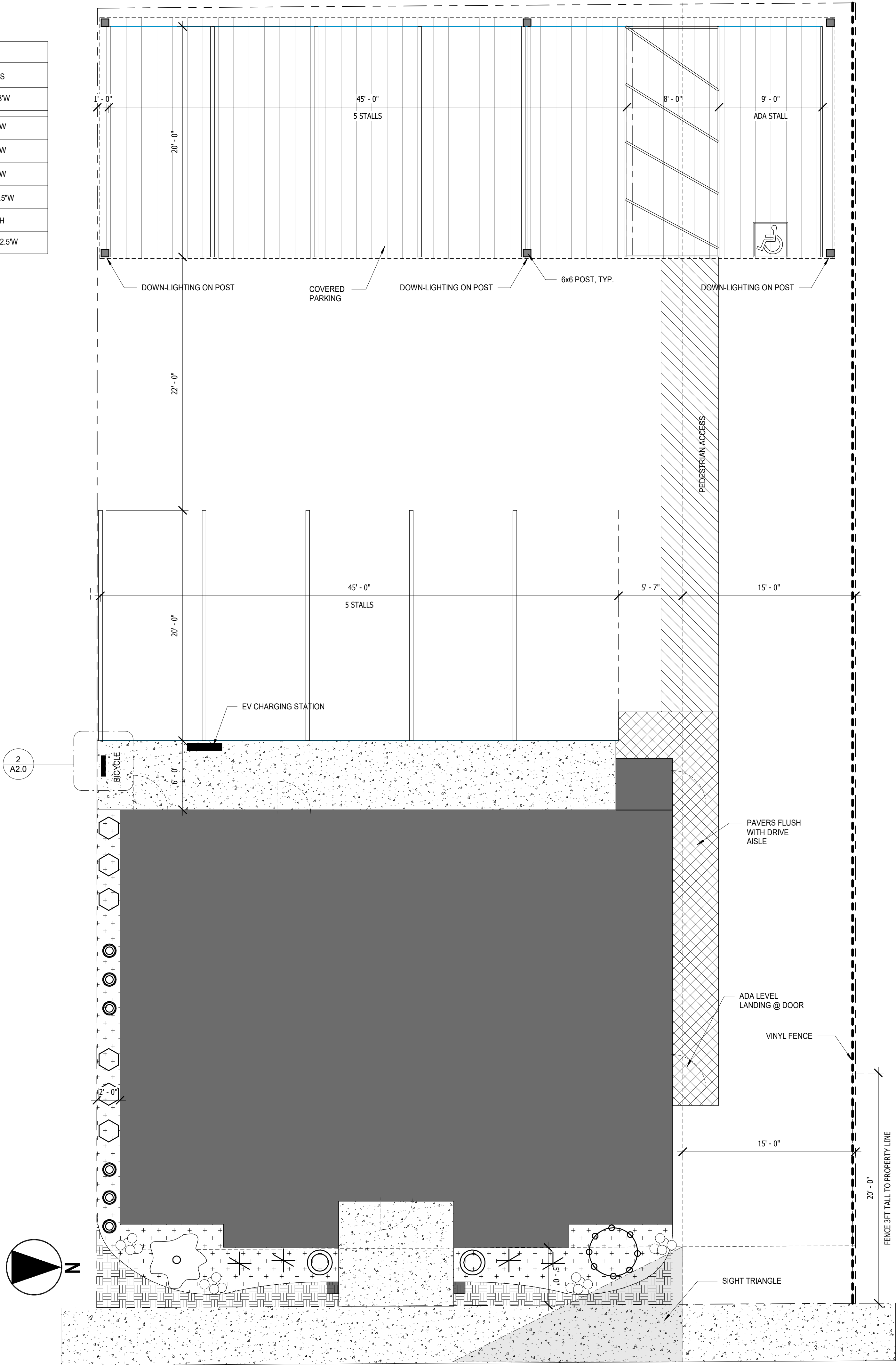
4 TREE PLANTING

1/4" = 1'-0"



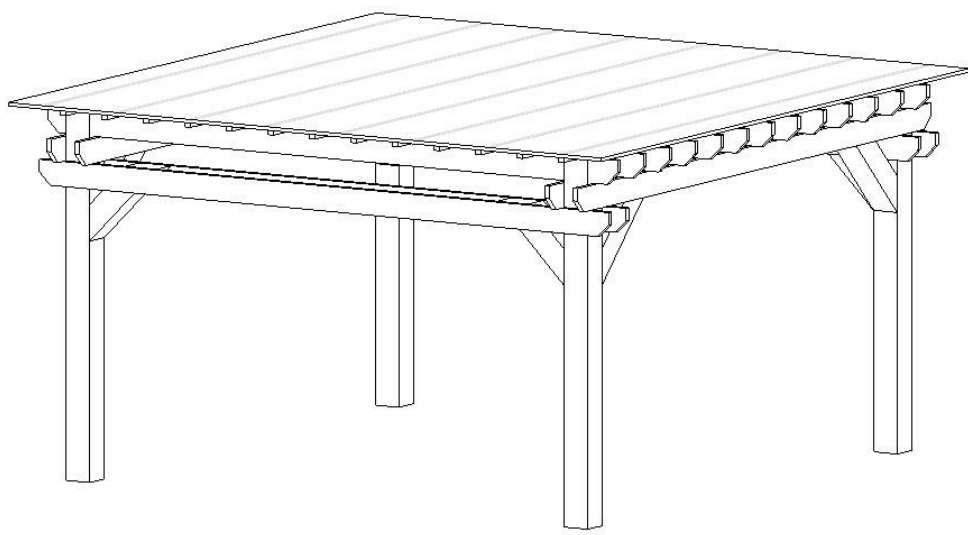
2 BIKE RACK DETAIL

3/4" = 1'-0"



1 LANDSCAPE PLAN

3/16" = 1'-0"



3 COVERED PARKING PERGOLA

1/2" = 1'-0"



© 2025 COPYRIGHT 12.15 DESIGN, LLC.  
THESE PLANS MAY NOT BE USED BY ANY OTHER ENTITY THAN  
12.15 DESIGN, LLC. WITHOUT PRIOR WRITTEN CONSENT.

CLEAR SKIES THERAPY CENTER

211 S. MAIN STREET, STAR, IDAHO

LANDSCAPE PLAN

VERIFY SCALES  
THIS BAR IS 1 INCH  
ON ORIGINAL DRAWING  
1"  
IF NOT 1 INCH ON  
THIS SHEET, ADJUST  
SCALES  
ACCORDINGLY

CHECKED	
DATE	
DRAWN	JESSICA
JOB NO.	

SHEET NUMBER

A2.0

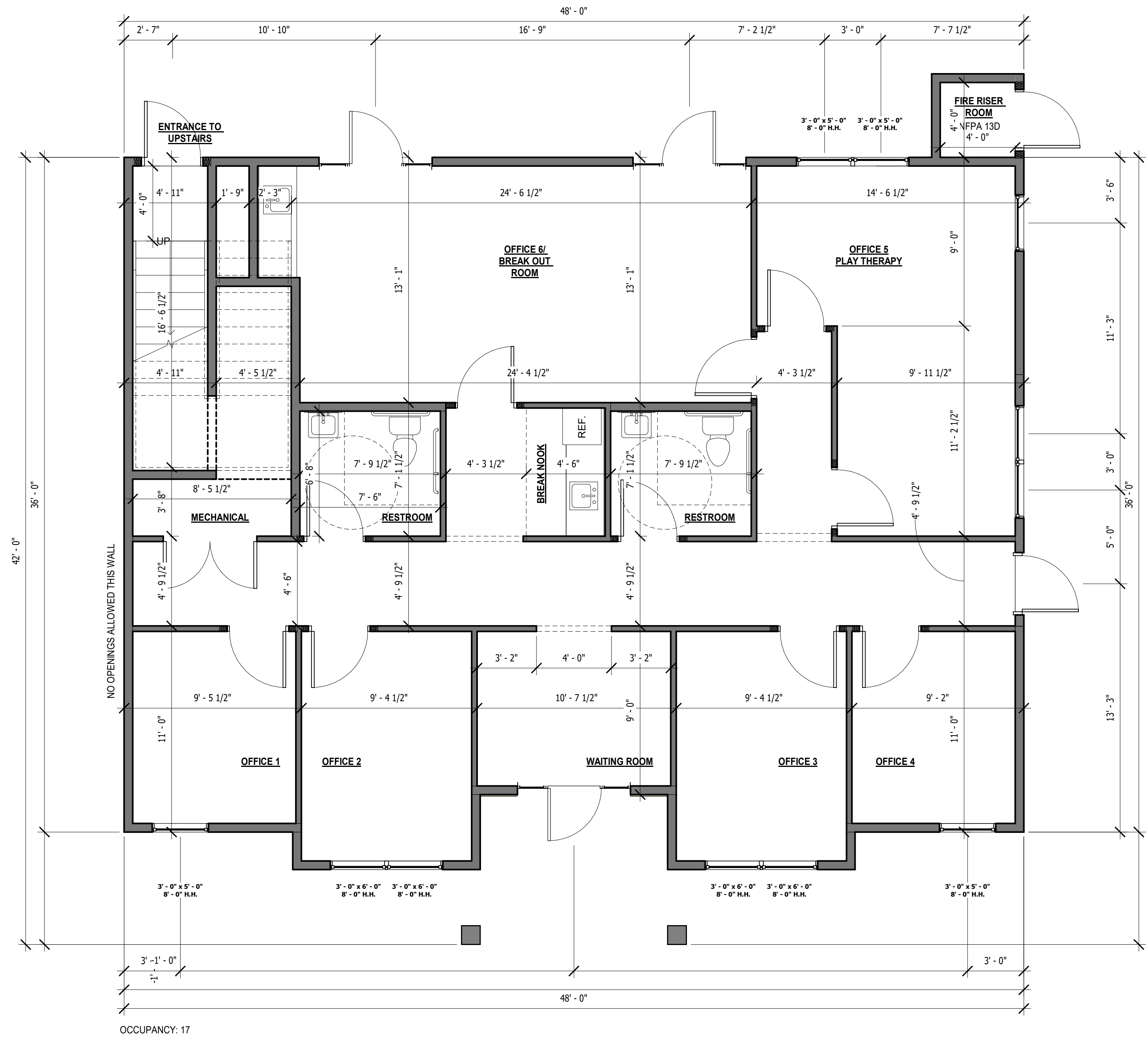
12.15 Design, LLC

Building, Transforming, Planning

Section 6, Item C.

04.15.2025





② 1 - MAIN FLOOR  
1/4" = 1'-0"

GENERAL NOTES:

1. EXTERIOR WALLS 2x6, INTERIOR WALLS 2x4 UNLESS NOTED. DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE.
2. FIELD VERIFY ALL DIMENSIONS.
3. VERIFY ALL WINDOW AND DOOR HEADER HEIGHTS WITH GENERAL CONTRACTOR.
4. WINDOW AND DOOR HEADERS TO BE 4x8 DF w/ 2x6 TOP AND BOTTOM PLATES UNDER 5'-0" SPAN. USE 4x10 w/ 2x6 TOP AND BOTTOM PLATE AS HEADERS UP TO 7'-0" SPAN w/ DOUBLE CRIPPLES. ALL LARGER SPAN HEADERS WILL BE CALLED OUT ON PLAN.
5. SHEAR PANELS ARE TO BE 7/16" OSB SHEATHING w/ MIN. 6d NAILS OR MIN 1 3/4" GAUGE STAPLES 12 o.c. FIELD NAILING AND 3" PERIMETER NAILING. SEE FOUNDATION PLAN FOR STD14 STRAP LOCATIONS.
6. ROOF SYSTEM TO BE PRE-ENGINEERED MANUFACTURED WOOD TRUSSES. SEE TRUSS MANUFACTURER LAYOUTS AND SPECIFICATIONS FOR INSTALLATION.
7. USE TEMPERED GLAZING IN DOORS, SLIDING PATIO DOORS, STORM DOORS, SHOWER & BATH ENCLOSURES, WINDOWS WHERE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 48" OF A VERTICAL EDGE OF AN ACTIVE DOOR AND FIXED PANELS GREATER THAN 9 SQ FT WITH THE LOWEST EDGE LESS THAN 18" ABOVE FLOOR.
8. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS - BOTH VERTICAL AND HORIZONTAL - AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY & THE ROOF SPACE.
9. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS UNUSABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ.FT.
10. PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE TO NFPA 10 AND IBC SECTION 906.

12.15 Design, LLC

Building.Transforming.Planning

ARCHITECT STAMP

CLEAR SKIES THERAPY CENTER

211 S. MAIN STREET, STAR, IDAHO

MAIN FLOOR PLAN

VERIFY SCALES  
THIS BAR IS 1 INCH  
ON ORIGINAL DRAWING  
1"  
IF NOT 1 INCH ON  
THIS SHEET, ADJUST  
SCALES  
ACCORDINGLY

CHECKED	
DATE	
DRAWN	JESSICA
JOB NO.	

SHEET NUMBER

A2.1

© 2025 COPYRIGHT 12.15 DESIGN, LLC.  
THESE PLANS MAY NOT BE USED BY ANY OTHER ENTITY THAN  
12.15 DESIGN, LLC. WITHOUT PRIOR WRITTEN CONSENT.

04.15.2025

12.15 Design, LLC

Building, Transforming, Planning

ARCHITECT STAMP

CLEAR SKIES THERAPY CENTER

211 S. MAIN STREET, STAR, IDAHO

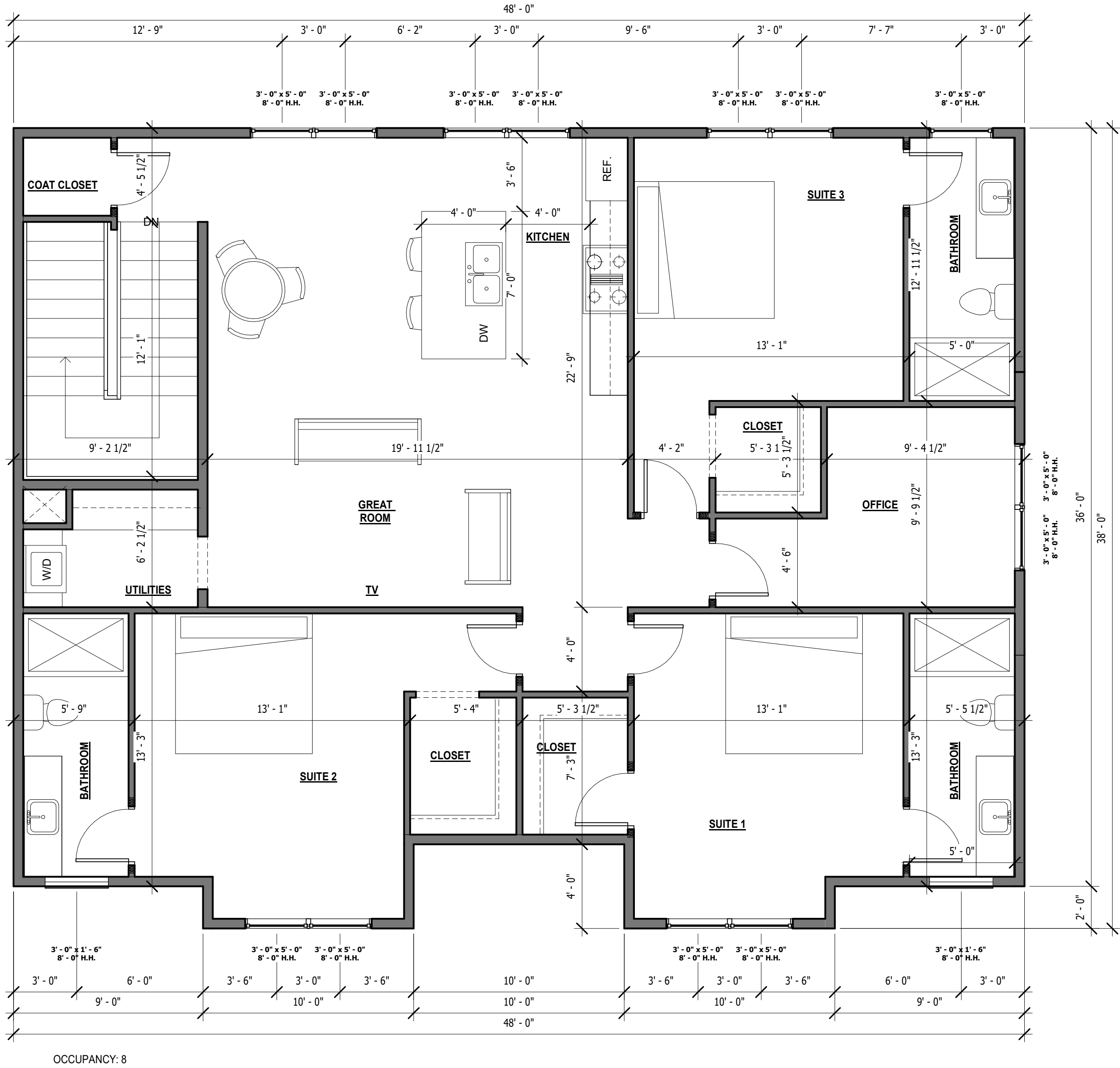
SECOND FLOOR PLAN

VERIFY SCALES  
THIS BAR IS 1 INCH  
ON ORIGINAL DRAWING  
1"  
IF NOT 1 INCH ON  
THIS SHEET, ADJUST  
SCALES  
ACCORDINGLY

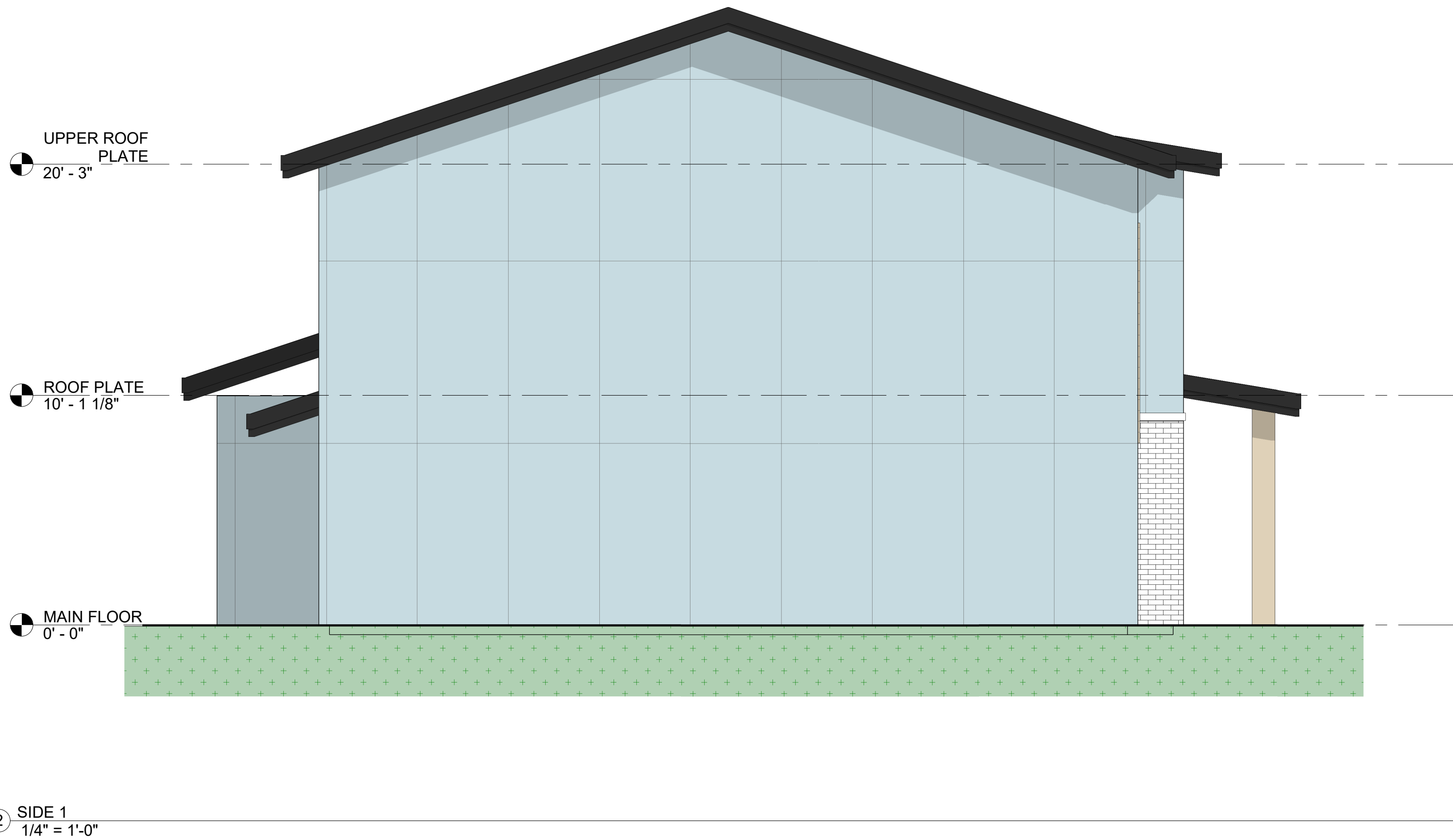
CHECKED	
DATE	
DRAWN	JESSICA
JOB NO.	

SHEET NUMBER  
A2.2

© 2025 COPYRIGHT 12.15 DESIGN, LLC.  
THESE PLANS MAY NOT BE USED BY ANY OTHER ENTITY THAN  
12.15 DESIGN, LLC. WITHOUT PRIOR WRITTEN CONSENT.



1 2 - SECOND FLOOR  
1/4" = 1'-0"



ELEVATION NOTES:

1. ALL ROOF COVERINGS SHALL CONFORM TO THE IRC, AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
2. FLASHING SHALL BE PROVIDED AT ALL EXTERIOR OPENINGS, DECKS, CHIMNEYS, AND ALL ROOF PENETRATIONS PER CODE.
3. PROVIDE ATTIC VENTILATION IN ACCORDANCE WITH IRC SECTION 806.2 SPECIFICATIONS, OR IBC SECTION 1201 SPECIFICATIONS
4. 50% OF REQUIRED VENTILATION TO BE PROVIDED 3'-0" ABOVE THE EAVES. THE REMAINDER OF VENTILATION IS TO BE PROVIDED BY SOFFIT VENTS IN THE EAVES.
5. PROVIDE ATTIC VENTS ON REAR FACE OF ROOF WHEN POSSIBLE.

12.15 Design, LLC

Building, Transforming, Planning

ARCHITECT STAMP

CLEAR SKIES THERAPY CENTER

211 S. MAIN STREET, STAR, IDAHO

ELEVATIONS

**VERIFY SCALES**  
THIS BAR IS 1 INCH  
ON ORIGINAL DRAWING  
1"  
IF NOT 1 INCH ON  
THIS SHEET, ADJUST  
SCALES  
ACCORDINGLY

CHECKED	
DATE	
DRAWN	JESSICA
JOB NO.	

SHEET NUMBER

A4.1





ELEVATION NOTES:

1. ALL ROOF COVERINGS SHALL CONFORM TO THE IRC, AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
2. FLASHING SHALL BE PROVIDED AT ALL EXTERIOR OPENINGS, DECKS, CHIMNEYS, AND ALL ROOF PENETRATIONS PER CODE.
3. PROVIDE ATTIC VENTILATION IN ACCORDANCE WITH IRC SECTION 806.2 SPECIFICATIONS. OR IBC SECTION 1201 SPECIFICATIONS
4. 50% OF REQUIRED VENTILATION TO BE PROVIDED 3'-0" ABOVE THE EAVES. THE REMAINDER OF VENTILATION IS TO BE PROVIDED BY SOFFIT VENTS IN THE EAVES.
5. PROVIDE ATTIC VENTS ON REAR FACE OF ROOF WHEN POSSIBLE.

12.15 Design, LLC

Building, Transforming, Planning

ARCHITECT STAMP

CLEAR SKIES THERAPY CENTER

211 S. MAIN STREET, STAR, IDAHO

ELEVATIONS

**VERIFY SCALES**  
THIS BAR IS 1 INCH  
ON ORIGINAL DRAWING  
0 1"  
IF NOT 1 INCH ON  
THIS SHEET, ADJUST  
SCALES  
ACCORDINGLY

CHECKED	
DATE	
DRAWN	JESSICA
JOB NO.	

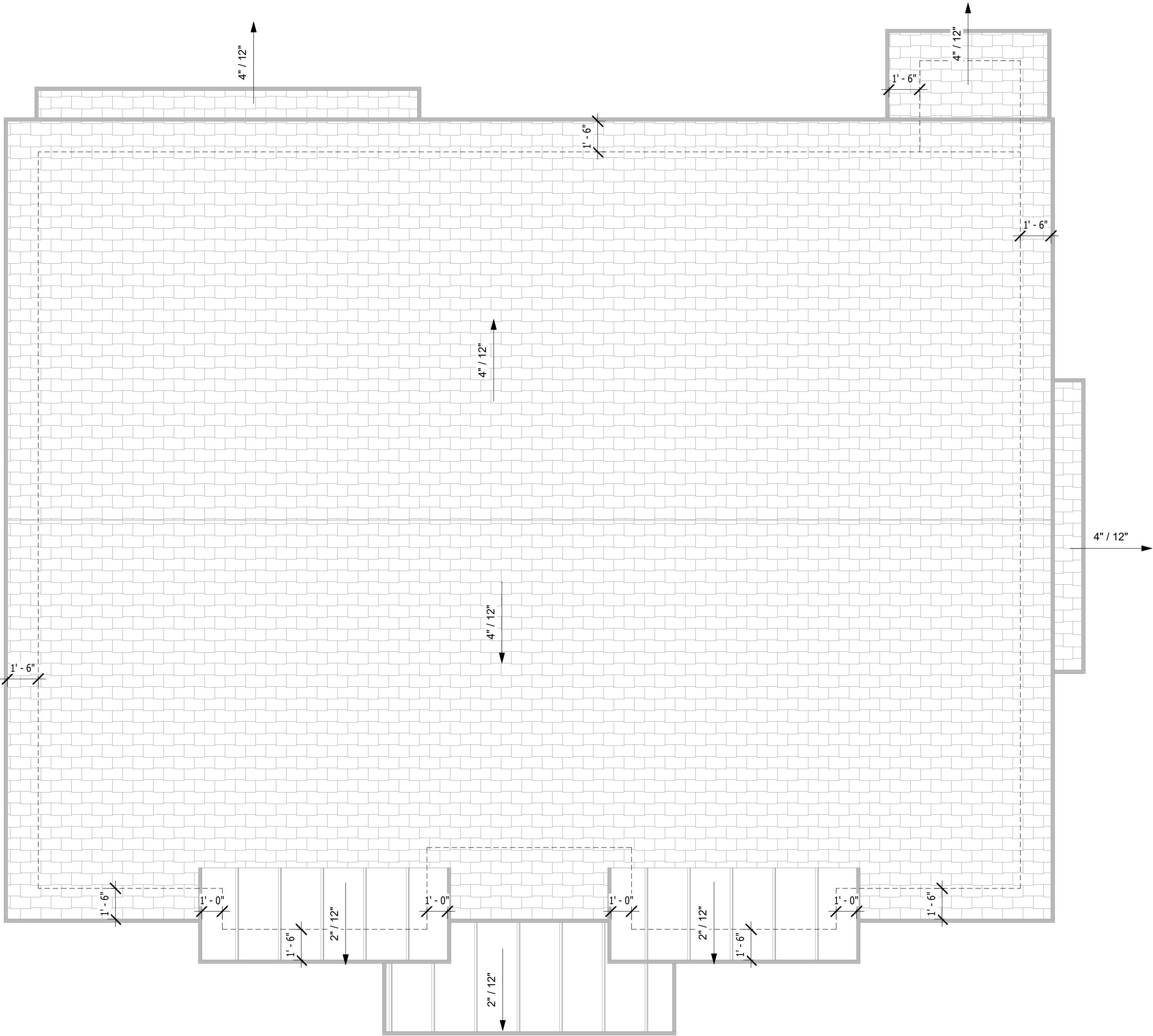
SHEET NUMBER

A4.2

ATTIC VENTILATION CALCULATIONS

REQUIRED VENTILATION:  
TOTAL VENTILATION AREA  
(PER 2018 IRC - 1203.2, USING  
VAPOR RETARDER EXCEPTION)

3388 SQ FT / 300 =  
11.3 SQ. FT.



② ROOF PLAN  
1/4" = 1'-0"

12.15 Design, LLC

Building, Transforming, Planning

ARCHITECT STAMP

CLEAR SKIES THERAPY CENTER

211 S. MAIN STREET, STAR, IDAHO

ROOF PLAN

VERIFY SCALES

THIS BAR IS 1 INCH  
ON ORIGINAL DRAWING

0 1"

IF NOT 1 INCH ON  
THIS SHEET, ADJUST  
SCALES  
ACCORDINGLY

CHECKED

DATE

DRAWN

JESSICA

JOB NO.

SHEET NUMBER

A5.1

© 2025 COPYRIGHT 12.15 DESIGN, LLC.  
THESE PLANS MAY NOT BE USED BY ANY OTHER ENTITY THAN  
12.15 DESIGN, LLC. WITHOUT PRIOR WRITTEN CONSENT.

04.15.2025

**Shawn Nickel**

---

**From:** Laurie Call <mustang65gal2000@yahoo.com>  
**Sent:** Tuesday, June 3, 2025 2:27 PM  
**To:** Shawn Nickel  
**Subject:** Clear Skies Therapy Center on Main Street

Hi Shawn,

I received the information about the upcoming meeting on June 17 regarding Clear Skies Therapy Center. However, I am out of town that week and will not be able to attend. I live in the house directly next door, north of the property in the green house with red and yellow trim.

In looking at the building and where the parking lot is in the back, it looks like there is a driveway that goes back to the parking lot behind the building. That driveway goes right alongside my house. If there are going to be cars coming and going down the driveway all day, is the owner planning on putting up a fence alongside the driveway in between our two properies? I have grandkids that come to my house often and I don't want a busy driveway right next to my house without a fence. Heidi Prigge sent me the plans and everything else looks good from what I can see. The Center looks very nice. My only question was about the fence between the two properties. If you could ask that question to Melissa Kohler and what her plans are about this issue, that would be great. I look forward to hearing from you or her regarding this. Thank you so much for your help with this matter.

Sincerely,  
Laurie Call.

City of Star

P.O. Box 130  
Star, Idaho 83669  
208-286-7247  
Fax 208-286-7569

[www.staridaho.org](http://www.staridaho.org)



Mayor:  
Trevor A. Chadwick

Council:  
Kevin Nielsen  
Jennifer Salmonsens  
Kevan Wheelock  
David Hershey

27 May 2025

Jessica Petty  
2816 Buckle Down Circle  
Iowa City, IA 52245

**Re: Clear Sky Therapy Center – CUP Application**

Dear Ms. Petty

The City of Star Engineering Department has reviewed the CUP for the Clear Sky Therapy Center dated May 5, 2025. We reviewed the applicant's package to check conformance with the City's Subdivision Ordinance and coordinated our review with Shawn L. Nickel. We have the following comments and questions based on our review.

1. Parking Drive Isle on the west side of the Building Shall be 25 wide Minimum.
2. Potable water cannot be used for irrigation purposes. A separate pressure irrigation system will be required. Construction plans for a subdivision-wide pressure irrigation system will be required for each final development. Plan approvals and license agreements from the affected irrigation and/or canal companies will be required.
3. Historic irrigation lateral, drain, and ditch flow patterns shall be maintained unless approved in writing by the local irrigation district or ditch company.
4. Finish grades at subdivision boundaries shall match existing finish grades. Runoff shall be maintained on subdivision property unless otherwise approved.
5. Easements for sewer/water facilities will be required where placed outside of public right of way.

We recommend that the condition 1 listed above be addressed prior to approval of the application. Any variance or waivers to the City of Star standards, ordinances, or policies must be

specifically approved in writing by the City. Approval of the above-referenced application does not relieve the applicant of those responsibilities.

If you have any questions, please do not hesitate to contact City Hall

Sincerely,

A handwritten signature in blue ink, appearing to read "Ryan V. Morgan", with a stylized flourish at the end.

Ryan V. Morgan, P.E.  
City Engineer

Enclosures

**Shawn Nickel**

**From:** McDannel, Konrad <KMcDannel@republicservices.com>  
**Sent:** Tuesday, May 20, 2025 3:12 PM  
**To:** Shawn Nickel; Jessica Petty  
**Cc:** Klein, Rachele; Pastoor, William  
**Subject:** FW: Agency Transmittal - Clear Skies Therapy Center CUP  
**Attachments:** Agency Transmittal - Clear Skies Therapy Center.pdf

Good afternoon,

Trash and recycling will be limited to 95 gallon carts, serviced on Main St. If there is a plan for a solid waste enclosure, please point that out for me.

Sincerely,

**Konrad McDannel**

Municipal Marketing Coordinator

11101 W Executive Dr

Boise, ID 83713

e [kmcdannel@republicservices.com](mailto:kmcdannel@republicservices.com)

o 2084078290

w [RepublicServices.com](http://RepublicServices.com)



Sustainability in Action

---

**From:** Klein, Rachele <RKlein@republicservices.com>  
**Sent:** Tuesday, May 20, 2025 2:35 PM  
**To:** McDannel, Konrad <KMcDannel@republicservices.com>; Pastoor, William <WPastoor@republicservices.com>  
**Subject:** FW: Agency Transmittal - Clear Skies Therapy Center CUP

**Rachele Klein**

Municipal Services Manager

11101 W. Executive Drive

83713

e [rklein@republicservices.com](mailto:rklein@republicservices.com)

o 2082830624

w [RepublicServices.com](http://RepublicServices.com)



Sustainability in Action



**Shawn Nickel**

**From:** Ryan Morgan <RMorgan@StarSWD.com>  
**Sent:** Tuesday, May 27, 2025 8:21 PM  
**To:** Barbara Norgrove; Ryan Field  
**Cc:** Shawn Nickel; Tim Clark  
**Subject:** RE: Agency Transmittal - Clear Skies Therapy Center CUP

SSWD has no comments on this application.

*Ryan V. Morgan, P.E.*  
*District Engineer*  
*Star Sewer and Water District*  
[rmorgan@starswd.com](mailto:rmorgan@starswd.com)  
*Main Office: 208-286-7388 x3002*



**From:** Barbara Norgrove <bnorgrove@staridaho.org>  
**Sent:** Tuesday, May 20, 2025 8:33 AM  
**To:** jboal@adaweb.net; sheriff@adaweb.net; Daniel.Weed@cableone.biz; Terence.Alsup@cableone.biz; Lbadigian@cdhd.idaho.gov; Mreno@cdhd.idaho.gov; Gloria Stokes <drain.dist.2@gmail.com>; GIS@tax.idaho.gov; D3Development.Services@itd.idaho.gov; Ryan Morgan <rmorgan@staridaho.org>; Ryan Morgan <RMorgan@StarSWD.com>; bryce@sawtoothlaw.com; gtiminsky@midstarfire.org; Melvin.B.Norton@usps.gov; harp.kimberly@westada.org; farmers.union.ditch@gmail.com; ERIC.GRZEBINSKI@mdu.com; planningreview@achdidaho.org; Hank Day <HDay@StarSWD.com>; bmoore@adacounty.id.gov; BRO.Admin@deq.idaho.gov; samuel.flores@sparklight.biz; PDickerson@idahopower.com; permits@midstarfire.org; info@pioneerirrigation.com; irrigation.mm.mi@gmail.com; syarrington@adacounty.id.gov; westerninfo@idwr.idaho.gov; gmprdtim@gmail.com; Andy Waldera <andy@sawtoothlaw.com>; brandon.flack@idfg.idaho.gov; Ryan Field <rfield@staridaho.org>; file@idwr.idaho.gov; niki.benyakhlef@itd.idaho.gov; data@landprodata.com; Cheryl.imlach@intgas.com; irr.water.3@gmail.com; Mwallace@achdidaho.org; rgirard@staridaho.org; Kerry.schmidt@intgas.com; ctodd@staridaho.org; jtensen@staridaho.org; gis@compassidaho.org; Vincent.Trimboli@itd.idaho.gov; zsmith@adacounty.id.gov; Brian.Duran@itd.idaho.gov; gmprdclerk@gmail.com; carson.miranda@westada.org; reinhart.david@westada.org; RKlein@republicservices.com  
**Cc:** Shawn Nickel <snickel@staridaho.org>  
**Subject:** FW: Agency Transmittal - Clear Skies Therapy Center CUP

**From:** Shawn Nickel <snickel@staridaho.org>  
**Sent:** Tuesday, May 20, 2025 8:29 AM  
**To:** Barbara Norgrove <bnorgrove@staridaho.org>  
**Subject:** Agency Transmittal - Clear Skies Therapy Center CUP

RESOLUTION 2025-03

A RESOLUTION OF THE CITY OF STAR, IDAHO WITHIN ADA AND CANYON COUNTIES, ESTABLISHING A SCHEDULE OF FEES FOR ADMINISTRATIVE FEES, BUILDING PERMIT FEES, PLANNING & ZONING DEVELOPMENT FEES, PARKS AND FACILITIES FEES COMMUNITY ACTIVITY FEES AND MISCELLANEOUS FEES ADDING THEM TO THE CONSOLIDATED FEE SCHEDULE AND PROVIDING AN EFFECTIVE DATE

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF STAR, AS FOLLOWS:

Section 1: The attached schedule of fees for administration, building permitting, planning and zoning development, parks and facilities, community activities and miscellaneous services within the City of Star is hereby established:

Exhibit A

Section 2: The foregoing fees shall be in addition to any other fee or fees required by the ordinances and resolutions of the City of Star.

Section 3. This resolution shall take effect and be in full force from and after its passage and approval

DATED this \_\_\_\_\_ of \_\_\_\_\_, 2025.

CITY OF STAR, IDAHO

By \_\_\_\_\_  
Trevor A. Chadwick, Mayor

Attest:

\_\_\_\_\_  
Shelly Tilton, City Clerk

# EXHIBIT A

ADMINISTRATIVE FEES		Fee (changes in red)	
<b>Dog Licenses</b>	Renewed Annually		
Spayed or Neutered		\$16.00	
Non-Spayed/Non-Neutered (over 1 year)		\$41.00	
Non-Spayed/Non-Neutered (under 1 year)		\$21.00	
Senior Citizen - Spayed or Neutered		\$9.00	
Senior Citizen - Non-Spayed or Neutered		\$41.00	
Replacement License		<del>50% of new license</del> \$5.00	
Dangerous Dog Permit		\$250.00	
Renewal Permit		\$125.00	
Liability Insurance		\$500,000	
Potentially Dangerous Dog Permit		\$150.00	
Renewal Permit		\$75.00	
Liability Insurance		\$500,000	
<b>Kennel and/or Catteries</b>	Renewed Annually		
Kennel and/or Catteries		<del>\$50.00</del> \$100.00	
Private Kennel and/or Catteries		<del>\$25.00</del> \$100.00	
(*See Zoning Code)			
<b>Beer, Wine, Liquor License</b>	Renewed Annually		
Beer consumed on premises		\$200.00	
Beer consumed off premises		\$50.00	
Wine consumed on premises		\$200.00	
Wine consumed off premises		\$50.00	
Liquor		\$562.50	
Transfer Fee		10% of the annual license fee	
Location Transfer Fee		10% of the annual license fee	
<b>Alcohol Beverage Catering Permit</b>	\$20.00/Day (3 day maximum)		
<b>Out of State Public Records Requests</b>		\$150.00	
<b>Vendor, Solicitor, Temp Merchant Permit</b>			
3 consecutive days		\$25.00 - 3 consecutive days	
14 consecutive days		\$50.00 - 14 consecutive days	
over 2 weeks/under 3 months		\$75.00 - over 2 weeks/under 3 months	
Annually (1 year)		<del>\$100.00</del> \$125.00 - annually (1 year)	
Investigation fee		\$45.00	
Out-of-State-resident, State Police/FBI Investigation - Background Check		At cost to applicant ( <del>\$41.50 as of 7-1-13</del> ) \$43.25 (\$33.25 fingerprint, \$10.00 ISP) as of 5/15/25)	
(*See Zoning Code)			
<b>Business Registration</b>		No Fee	
(*See Zoning Administrator)			
<b>Copy Fees</b>			
8 1/2 X 11 paper 1-100 pages		Free	
8 1/2 X 11 paper 101+ pages		10¢ per page	
11 X 17 (oversized)		<del>\$1.00</del> 50¢ per page	
Extraordinary Copies		City's Direct Cost	
Certified Copies		\$1.50 per page (includes Affidavit of City Clerk)	
Personnel Cost		<del>\$27.00</del> \$35.00 per hour (after 1st two hours)	
		Senior Staff and/or Attorney Review - at City's direct cost	
Miscellaneous		Charged at City's direct cost	
Digital media		<del>\$10.00</del> \$5.00	
<b>Notary</b>			
Star Residents		\$0.00	
Non-Residents		\$5.00	
<b>Passport Photos</b>		\$25.00	
<b>Returned Check Fee</b>			
Returned Check		<del>\$50.00</del> \$35.00	
<b>Stop Payment Service Fee (on City Checks)</b>		Charged at City's direct cost/financial institution's current rate	
Extraordinary Mailing Cost		At cost—reimbursed to City	
<b>Meeting Room Reservation</b>			
Government/Public Agencies		\$50.00 per hour after 5:00 pm	
Private Organizations/Citizens		\$50.00 per hour per use	
FINES			
<b>Animal Control Fines</b>			
No Dog License	(1st Offense)	\$40.00	\$50.00
	(2nd Offense)	\$65.00	
	(3rd Offense)	\$80.00	
No License Dangerous Dog		Misdemeanor	Fee Assigned by Courts
No License Potentially Dangerous Dog		Misdemeanor	Fee Assigned by Courts
At Large	(1st Offense)	\$50.00	Fee Assigned by Courts
	(2nd Offense)	<del>\$100.00</del>	Fee Assigned by Courts

	(3rd Offense)	\$300.00/Misdemeanor	Fee Assigned by Courts
At Large Dangerous	(1st Offense)	\$50.00-	Fee Assigned by Courts
	(2nd Offense)	\$300.00/Misdemeanor	Fee Assigned by Courts
Excessive Noise	(1st Offense)	\$75.00	Fee Assigned by Courts
	(2nd Offense)	\$100.00	Fee Assigned by Courts
	(3rd Offense)	\$200.00/Infraction	Fee Assigned by Courts
Keeping of Non-Domestic Animal		Misdemeanor	Fee Assigned by Courts
Cruelty to Animals		Misdemeanor	Fee Assigned by Courts
Dogs Prohibited on Posted Publicly Owned Property		Misdemeanor	Fee Assigned by Courts
Failure to Comply with Conditions for Ownership - Dangerous Dog		Misdemeanor, Criminal Sanctions & Civil Penalty	Fee Assigned by Courts
Rabies Provision		Misdemeanor	Fee Assigned by Courts
Failure to Clean Up Litter		Infraction	Fee Assigned by Courts
Keeping in Nauseous Manner		Infraction	Fee Assigned by Courts
Female Dogs & Cats in Heat		Infraction	Fee Assigned by Courts

Parking Fines

Manner of Parking	\$50.00/\$75.00/\$100.00	
Disabled Persons Parking	\$250.00	
Parking on Public Property Marked "No Parking"	\$50.00/\$75.00/\$100.00	
Parked Within 15 feet of a Fire Hydrant	\$50.00/\$75.00/\$100.00	\$250.00
Parked within 20 feet of a Crosswalk	\$50.00/\$75.00/\$100.00	
Parked in Front of a Public or Private Driveway	\$50.00/\$75.00/\$100.00	
Parking to Obstruct Traffic	\$50.00/\$75.00/\$100.00	
Parking in Alleys	\$50.00/\$75.00/\$100.00	
Prohibited Extended Parking	\$50.00/\$75.00/\$100.00	
Leaving a Vehicle Unattended	\$50.00/\$75.00/\$100.00	
Restricted Truck or Trailer Parking	\$50.00/\$75.00/\$100.00	

Covered Load Violation Fines

Violation	\$50.00/Infraction
-----------	--------------------

City Violation Fines

Nuisance Violation	Civil Abatement and/or Misdemeanor
Prohibited Noise (1st Offense)	Infraction/\$100.00
	Misdemeanor
	Infraction/\$25.00
Wheeled Apparatus	Infraction/\$100.00
Open Burning	Misdemeanor
Clean Air Violation	Misdemeanor
Liquor License Violation	Misdemeanor
Beer Wine License Violation	Misdemeanor
Catering Permit Violation	Misdemeanor
Cable Franchise Violation	Misdemeanor
Vendor, Solicitor, Temporary Merchant Permit Violation	Misdemeanor
Solicitation at Public Meetings	Infraction/\$100.00
Reckless Discharge of Firearms	Misdemeanor
Disorderly Conduct	Misdemeanor
Distrubing the Peace	Misdemeanor
Loitering	Misdemeanor
Curfew	Misdemeanor
Failure to Supervise Juvenile	Misdemeanor
Parade & Public Assembly Violation	Misdemeanor
Speeding	Infraction
Failure to Pay Parking Ticket	Infraction
<del>Vehicle Emission Non-Compliance</del>	<del>Infraction</del>
Inappropriate Park Activities	Misdemeanor
Pedestrian in Crosswalk	Infraction
	Withhold Utility Services
	Impose Interest & Penalty
	Impose Liens per Idaho Code Title 45
	Withhold Other City Approval
	Issuance of "Stop Work" Orders
Park Impact Fee Dishonored	Revocation or Suspension of Building Permit
Floodplain Violations	Misdemeanor
Littering	\$500.00
Compression "Jake" Brakes (1st Offense)	\$100.00
	(Additional Offenses)
	\$300.00

PARKS AND RECREATION

Park Facilities - Exclusive-Use Shade Structures

	Residential	Non-Residential
All-Day-Use 8 Hours	\$150.00 \$200.00	\$255.00 \$400.00
First 4 Hours- 4 Hours	\$ 75.00 \$100.00	\$120.00 \$200.00
Second 4 Hours	\$ 50.00	\$ 85.00
Third 4 Hours	\$ 25.00	\$ 50.00
Cleaning Deposit - Refundable	\$ -50.00 \$100.00	\$ -50.00 \$200.00
Black Park Electrical Outlets	\$ 25.00	\$ 25.00

Portable Restrooms—Events at Parks

250 people—1 Portable	Reimbursed to City at cost
—500 people—2 portables	—(City will order)
—1000 people—3 portables	
—2000 people—5 portables	
—3000 people—7 portables	

Riverhouse

Monday - Friday Thursday	\$150.00 per hour (minimum 2 hours)
Friday, Saturday & Sunday	\$200.00 per hour (minimum 2 hours)
Friday, Saturday & Sunday All Day	\$2,500.00
Refundable Cleaning/Damage Deposit	\$500.00

Deposit Reservation Hold(1/2 of charged rate + Security Cleaning/Damage Deposit) Cancellation (less than 30 days)	Varies 50% of Deposit
<b>Parades &amp; Assemblies</b>	
—Parade	<del>\$200.00</del> + <del>\$50.00 refundable deposit</del>
Parade and/or Public Assembly	\$300.00 + \$50.00 refundable deposit
<b>Hunters Creek Park: Field Rental Sports Field Rentals</b>	
Baseball Fields	<del>\$20.00</del> \$50.00 per hour - athletic field rental rate <del>\$75.00</del> \$350.00 all day - athletic field rental rate
Soccer Fields	<del>\$20.00</del> \$50.00 per hour - athletic field rental rate <del>\$75.00</del> \$350.00 all day - athletic field rental rate
Additional Field Costs	<del>\$20.00</del> \$30.00 per hour - field prep (each time) <del>\$20.00</del> \$30.00 per hour - tournament on-site staff
Soccer Field Painting	<del>AT FULL COST per hour</del> \$150.00 - per field (each time)
Sports Late Registration Fee	\$15.00 Residents \$25.00 Non-Residents
<b>Freedom Park Rentals &amp; Concessions</b>	
Paddleboards (SUP Board, Life Vest with whistle, paddle)	
1 hour	\$15.00
2 hours	\$30.00
Half Day (4 hours)	\$40.00
Full Day (9 hours)	\$60.00
Life Vest (extra)	\$5.00 each
Kayaks - 1 Person or Tandem (Kayak, life vest with whistle, paddle)	
1 hour	\$25.00
2 hours	\$30.00
3 hours	\$35.00
4 hours	\$40.00
Life Vest (extra)	\$5.00 each
Fishing Poles	
Under the age of 5	Free
1 hour	\$5.00
2 hours	\$10.00
Half Day (4 hours)	\$15.00
Full Day (9 hours)	\$20.00
Bait/Tackle	Market Value
Concessions	\$1.00 - \$5.00
Drinks	
Chips	
Frozen Treats	
Candy	
Other Snacks	
Star Merchandise	\$2.00 - \$35.00
T-Shirts	
Hats	
Coins	
Water Bottles	
Stickers	
Small Disc - Disc Golf	
Specialty Disc - Disc Golf	
Replacement/Repair Costs	\$ Market Cost
Life Vests	
Whistles	
Paddles	
Hole Repair	
Paddleboard	
<b>Recreation Fees</b>	
Adult Classes & Activities (ages 16 & older) - Indoor & Outdoor	Not to exceed \$250 per class or activity
Adult Sports (ages 16 & older) - Indoor & Outdoor	Not to exceed \$60 per player
Youth Classes, Activities & Camps (ages 6-15) - Indoor and Outdoor	Not to exceed \$100 per class, activity or camp
Youth Sports (ages 6-15) - Indoor & Outdoor	Not to exceed \$60 per player
Preschool Clases, Activities & Camps (ages 1-5)	Not to exceed \$100 per class, activity or camp
**Non-Residents will be charged a higher fee for each of the above activities	
Material Kits for Classes & Activities	Price not to exceed cost of materials
Sports Uniform Fee	Price not to exceed cost of uniform
Camp/Class Instructor/Lead Fees	Not to exceed 70% of the total fee of the class
Umpire/Referee Fees	Not to exceed \$35 per game
Refund Fees	\$5.00 per request - 2 requests per year only
<b>Building &amp; Permits</b>	
Building Valuation Data	International Building Code Valuation Tables As set and updated by the International Code Council
Commercial Building Application Fee (non-refundable)	<del>\$450.00</del> \$200.00
Commercial Permit Fee	Based on project cost
Commercial Plan Review Fee	65% of Commercial Permit Fee
Commercial Revision Fee	<del>\$150.00</del>
Misc Building Application Fee	\$23.50



Residential Building Permit Application Fee (non-refundable)	\$50.00	\$100.00
Residential Building Plan Review Fee	Based on Sq.Ft. fields	
Residential Building Permit Fee	Based on Sq.Ft. fields	
Residential Re-submittal/Re-stamp Fee	\$50.00	
Residential Revision Fee	\$50.00	
Residential Building Re-review Fee (at 3rd review)	\$50.00	
Mobile Home Set Up Fee (not a foundation permit)	<del>\$100.00</del>	
Mobile Home/Trailer Set-down Fee	\$76.50	
Sales Trailer Set-down Fee	\$76.50	
Building Re-inspection Fee	\$65.00	
Building Shear Inspection Fee	<del>\$65.00</del>	
Residential Roofing Permit	\$100.00	
Commercial Roofing Permit	\$200.00	
Swimming Pool Permit Application Fee-Commercial	\$150.00	
Swimming Pool Permit Application Fee-Residential	<del>\$50.00</del>	\$70.00
Electrical Circuit Fee	\$10.00 per circuit	
Electrical Floor Heat	\$75.00	
Electrical Re-inspection Fee	\$65.00	
Electrical Solar/Other Installations Commercial/Industrial/Solar	Based on project cost	
Electrical Commercial Plan Review Fee	10,000 sq. ft. and under	\$200.00
	10-000-100,000 sq. ft.	\$400.00
	Over 100,000 sq. ft.	\$600.00
Electrical Existing Residential Additional Branch Circuits	\$10.00 per circuit	
Electrical Existing Base	\$65.00	
Electrical Modular, Manufactured or Mobile Homes	\$65.00	
Electrical New Residential Single Family Dwelling Under 4,500 sq.ft.	Based on Sq.Ft. fields	
Electrical Temporary Construction Services	\$65.00	
Electrical Signs	\$65.00 per sign	
Electrical Swimming Pools-Residential	\$195.00	
Electrical Irrigation Machine- Additional Pivots and Towers	\$10.00 each	
Electrical Irrigation Machine- Electrically Driven Base	\$260.00	
Electrical New Residential Multi-Family Dwelling (3 or more Family Units)	\$65.00 per unit	
Electrical New Residential Multi-Family Dwelling (3 or more Family Buildings)	\$130.00 per unit	
Electrical New Residential Multi-Family Dwelling Duplex	\$260.00	
Electrical Outline Lighting	\$65.00	
Electrical Requested Inspections	\$65.00	
Electrical Residential Central Systems Heating and/or Cooling	\$65.00	
Electrical Residential Pumps 200+ HP	\$130.00 per pump	
Electrical Residential Pumps 26-200 HP	\$95.00 per pump	
Electrical Residential Pumps up to 25 HP	\$65.00 per pump	
Electrical Residential Spas, Hot Tubs, Hydro Massage Tubs	\$65.00	
Electrical Temporary Amusement-Industry	\$65.00	
Electrical Temporary Amusement-Industry Additional Items	\$10.00 per unit	
Mechanical Residential Review Fee	\$35.00	
Mechanical Residential Re-review Fee	\$35.00	
Mechanical Re-inspection Fee	\$65.00	
Mechanical Existing Residential Additional HVAC Equipment	\$10.00 per unit	
Mechanical Existing Residential Base	\$65.00	
Mechanical Existing Residential Fireplace Installation	\$130.00	
Mechanical Gas Line	\$65.00	
Mechanical Modular, Manufactured or Mobile Homes Additional Items	\$10.00 per unit	
Mechanical Modular, Manufactured or Mobile Homes Base	\$65.00	
Mechanical New Residential Multi-Family Dwelling (3 or more buildings)	\$130.00 per unit	
Mechanical New Residential Multi-Family Dwelling (3 or more units)	\$65.00 per unit	
Mechanical New Residential Multi-Family Dwelling Duplex	\$260.00	
Mechanical New Residential Single Family Dwelling Under 4,500 Sq.Ft.	Based on Sq.Ft.	
Mechanical New Residential Single Family Dwelling Fireplace (Gas or Electric)	\$75.00	
Mechanical Commercial Fireplace	\$75.00	
Mechanical Commercial Revision	\$150.00	
Commercial Mechanical Plan Review Fee	10,000 sq. ft. and under	\$200.00
	10-000-100,000 sq. ft.	\$400.00
	Over 100,000 sq. ft.	\$600.00
Mechanical Other Installations- Commercial/Industrial	Based on project cost	
Mechanical Existing Residential Hydroponic Flooring Additional Manifold Zones	\$10 per zone	
Mechanical Existing Residential Hydroponic Flooring Base	\$65.00	
Plumbing Re-inspection Fee	\$65.00	
Plumbing Existing Residential Additional Fixtures	\$10.00 per fixture	
Plumbing Existing Residential Base Fee	\$65.00	
Plumbing Lawn Sprinkler/Water Heater/Water Conditioners	\$65.00	
Plumbing Modular, Manufactured or Mobile Homes	\$65.00	
Plumbing New Residential Multi-Family Dwelling (3+ buildings)	\$130.00 per unit	
Plumbing New Residential Multi-Family Dwelling (3+ units)	\$65.00	
Plumbing New Residential Multi-Family Dwelling Duplex	\$260.00	
Plumbing New Residential Single Family Dwelling Under 4,500 Sq.Ft.	Based on Sq.Ft.	
Plumbing Other Installations- Commercial/Industrial	Based on project cost	
Plumbing Commercial Plan Review	10,000 sq. ft. and under	\$200.00
	10,000-100,000 sq. ft.	\$400.00
	Over 100,000 sq. ft.	\$600.00
Plumbing Residential Sewer and Water	\$65.00	
Plumbing Residential Sewer Only	\$50.00	
Plumbing Residential Water Only	\$50.00	
Demolition Permit	<del>\$50.00</del>	\$100.00
Wood Stove/Fireplace	\$30.00	
Renewal of Expired Permit	100% of the permit fee	
Change of Contractor Fee	\$50.00	

Requested Inspections or Technical Service	\$65.00
Re-certifying Residential Building Plans	\$25.00
Re-certifying Commercial Building Plans	\$150.00
Non-Residential Industrial Fire District Fee	Building Sq.Ft. * .15
Non-Residential Institutional Fire District Fee	Building Sq.Ft.*.58
Non-Residential Office Fire District Fee	Building Sq.Ft. *.32
Non-Residential Retail Fire District Fee	Building Sq.Ft *.84
Residential Impact Fee Multi-Family Fire District Fee	\$1,227.00 per unit
Residential Impact Fee Single Family Fire District Fee	\$2,152.00 per unit
ACHD Single Family Attached Impact Fee	As Amended by Council
ACHD Single Famil Detached Impact Fee	As Amended by Council
ACHD Accessory Dwelling Unit Impact Fee	As Amended by Council
Canyon Highway Impact Fee	As Amended by Council
Star Fire Impact Fee	As Amended by Council
Star Parks Impact Fee	As Amended by Council
Public Safety Mitigation Fee Fire	\$3,600.00
Public Safety Mitigation Fee Police	\$3,600.00
Star Fire Impact Fee	\$2,152.00
Star Parks Impact Fee	\$2,050.00
Public Safety Mitigation Fee Fire	\$3,600.00
Public Safety Mitigation Fee Police	\$3,360.00
<b>Land Use Fee Schedule</b>	
Annexation - Zoning & Rezone	\$2,190.00
Appeals/Reconsideration	\$500.00
Certificate Zoning Compliance (CZC)	
Commercial/Design Guidelines Review	\$1,050.00
Other	\$350.00
Zoning Review	\$75.00
Building Permit Zoning Review	
Accessory Structures, Zoning Letters, Other Reviews	
Zoning Compliance Re-Verification	\$175.00
Comprehensive Plan Text Amendment	\$2,530.00
Comprehensive Plan Map Amendment	\$2,100.00
Conditional Use Permit - Residential	\$1,460.00
Amended	\$810.00
Conditional Use Permit - Commercial	\$1,660.00
Amended	\$910.00
Development Agreement	\$1,000.00
DA-Modification	\$800.00
Final Plat	\$2300.00 + \$10.00/lot including common lots
Amended Final Plat	\$820 + \$10/lot
Floodplain Development Review/Determination Letter	\$500.00
<del>Flood Map Amendment</del>	<del>\$300.00</del>
Grading Permit	\$600.00 up to 5-acres; plus \$10.00/acre for greater than 5 acres
Home Occupation	\$230.00
On-Lieu-of Parking Fees	\$6,000.00
Lot Line/Property Boundary Adjustment/Lot Split	\$880.00
<del>Manufactured Home</del>	<del>\$500.00</del>
Neighborhood Radius List/Labels	<del>\$35.00</del> \$75.00 plus postage
Preliminary Plat	\$3060.00 + \$20.00/lot including common lots
Combined PP/FP	\$2,700.00
Short Plat	\$1,880.00
	\$1,800.00
Condominium Plat	\$1,800.00
Amended	Same Fee As Above
Printing /Scanning Documents	Cost plus 10%
Private Road	\$1,300.00
Planned Unit Development	\$2,000.00
<del>PUD—Final Development Plan</del>	<del>\$1,400.00</del>
Sign Permit	\$350.00
Sign Permit - Master Sign Plan (Multiple Buildings and/or uses	\$450.00
Sign - Removal Late Fee	\$50/day after 7 days
Sign - Temporary	\$50
Surety Agreement Processing Fee	<del>\$262.00</del> \$500.00
Re-Inspection Fee	\$150.00 per visit
Temporary Use Permit	\$425.00
Temprary Use Permit Reverification	\$173.00
Time Extension	\$200.00
Unified Development Code Text Amendment	\$1,000.00
Vacation	\$980.00
Variance	\$1,150.00
Waiver	\$500.00
Outside Consultant (not limited to architects, engineers, legal or other professionals)	At Cost

ORDINANCE NO. 419-2025  
(2024-2025 APPROPRIATIONS AMENDMENT)

Section 6, Item E.

AN ORDINANCE, TO BE TERMED THE APPROPRIATION AMENDMENT ORDINANCE OF THE CITY OF STAR, IDAHO, FOR THE FISCAL YEAR COMMENCING OCTOBER 1, 2024, AND ENDING ON SEPTEMBER 30, 2025, ADJUSTING THE APPROPRIATED SUMS OF MONEY IN THE AMOUNT OF \$8,610,005.00 TO DEFRAY UNANTICIPATED NECESSARY EXPENSES AND LIABILITIES OF THE CITY OF STAR FOR SAID FISCAL YEAR; SPECIFYING THE OBJECT AND PURPOSES FOR WHICH SUCH APPROPRIATIONS ARE MADE AND THE AMOUNT APPROPRIATED FOR EACH OBJECT AND PURPOSE; PROVIDING FOR THE FILING OF A COPY OF THIS ORDINANCE WITH THE OFFICE OF THE IDAHO SECRETARY OF STATE AS PROVIDED BY LAW; PROVIDING FOR PUBLICATION; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF STAR, IDAHO, as follows:

Section 1: The sum of \$8,610,005.00 is hereby appropriated to defray all necessary expenses and liabilities of the City of Star, Idaho, for the fiscal year commencing October 1, 2024, and ending on September 30, 2025 (the “2025 Fiscal Year”).

Section 2: The objects and purposes for which such appropriation is made, and the amount appropriated for each object and purpose are hereby approved.

Section 3: This appropriation amendment does not change or affect property taxes previously certified by the City of Star to the Board of Commissioners of Ada and Canyon Counties, Idaho, in accordance with Section 30-1007, Idaho Code, to be levied and assessed on taxable property within the City of Star for the 2024/2025 Fiscal Year.

Section 4: All Ordinances and parts of Ordinances in conflict with this Ordinance are hereby repealed.

Section 5: The City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance to be filed with the Office of the Secretary of State of the State of Idaho, as required by Section 50-1003, Idaho Code.

Section 6: This Ordinance shall be published once in full in the official newspaper of the City and shall take effect and be in force from and after its passage, approval, and publication.

APPROVED this 17<sup>th</sup> day of June 2024.

CITY OF STAR, IDAHO

By: \_\_\_\_\_  
Trevor A. Chadwick, Mayor

ATTEST:

\_\_\_\_\_  
Shelly Tilton, City Clerk

## FY25 Budget Adjustment

Account	Object	Expense	Expense Amount	Purpose	Funded From	Revenue
40000	734	Star Fire Impact Fee	\$ 1,050,000.00	Impact Fees	Impact Fee Revenue	\$ (1,050,000.00)
40000	791	ACHD Impact Fee	\$ 1,900,000.00	Impact Fees	Impact Fee Revenue	\$ (1,900,000.00)
40500	453	Plumbing Inspector	\$ 50,000.00	Inspections	32256 Plumbing Permits Revenue	\$ (50,000.00)
40500	454	Electrical Inspector	\$ 50,000.00	Inspections	32254 Electrical Permits Revenue	\$ (50,000.00)
40500	455	Mechanical Inspector	\$ 13,000.00	Inspections	32258 Mechanical Permits Revenue	\$ (13,000.00)
40600	881	Land Use - Bond Returns		Bonds	Move to a Liability/Trust Account	
40700	882	Riverhouse Deposit Refund	\$ 13,200.00	Facility Use Deposits	34710 Riverhouse Deposits	\$ (13,200.00)
40700	883	Riverhouse Rental Refund	\$ 20,740.00	Facility Use Cancellations	34711 Riverhouse Rentals	\$ (20,740.00)
40700	884	Building Department Refunds	\$ 124,175.00	Bldg Dept Refunds	32266 Plan Check - Commercial	\$ (50,575.00)
					32267 Building Permit - Commercial	\$ (73,600.00)
40700	885	Planning & Zoning Refunds	\$ 10,000.00	P & Z Refunds	34116 Plat Fees	\$ (10,000.00)
41100	412	Utilities - Power	\$ 17,700.00	Power	General Fund Cash	\$ (17,700.00)
	417	Utilities - Irrigation Shares	\$ 12,540.00	Irrigation Shares	General Fund Cash	\$ (12,540.00)
41740	210	Health Insurance	\$ 50,000.00	Insurance Changes	General Fund Cash	\$ (50,000.00)
42110	365	Law Enforcement - Add Code Enforcement to Contract	\$ 136,119.00	Add Code Enforcement to Contract	Police Mitigation Fees	\$ (136,119.00)
42110	365	Law Enforcement - Summer Overtime	\$ 30,000.00	Overtime for Freedom Park Enforcement	Police Mitigation Fees	\$ (30,000.00)
42200	371	IT Hardware	\$ 80,000.00	Park Cameras, Network for Sheds	General Fund Cash	\$ (80,000.00)
	372	IT Software & Licensing	\$ 15,000.00	Software Changes	General Fund Cash	\$ (15,000.00)
	375	IT Website & Municipal Code	\$ 25,000.00	Software Changes, will be reimbursed for some of it	General Fund Cash	\$ (25,000.00)
	376	Service and Repairs	\$ 10,000.00		General Fund Cash	\$ (10,000.00)
44000	366	Fire Mitigation Fee	\$ 3,315,600.00	Previous and current year mitigation fees	received from previous year and revenue from current year	\$ (3,315,600.00)
44021	356	Sports Coordinator	\$ 7,000.00	Sports Assistant	Registration Fees	\$ (7,000.00)
44022	620	Recreation Activities	\$ 30,000.00	Additional camps	Camp revenue increase and additional camp revenue	\$ (30,000.00)
	621	Freedom Park Rentals	\$ 20,000.00	Added rentals	Rental Revenue	\$ (20,000.00)
45000	598	Misc Events	\$ 30,000.00	Events	General Fund Cash	\$ (30,000.00)
45100	747	Parks	\$ 2,500,000.00	Freedom Park, Blake Park Playground	Impact Fee Revenue/General Fund Cash	\$ (2,500,000.00)
45110	719	DMV Remodel	\$ 12,000.00	Add Driver's License Office	General Fund Cash	\$ (12,000.00)
	744	Capital Expense - Equipment	\$ 50,000.00		General Fund Cash	\$ (50,000.00)
	755	Capital Expense - Buildings	\$ 100,000.00	Remodel offices, paint lobby	General Fund Cash	\$ (100,000.00)
45210	337	Safe Route to Star Middle	\$ 3,250.00	Project carryover	General Fund Cash - Safe Route Grant from last year	\$ (3,250.00)
	339	City Hall Generator	\$ 8,800.00	Emergency Management - Feasibility Study	General Fund Cash	\$ (8,800.00)
47001	594	HALO Events	\$ 20,000.00	New Youth Program	General Fund Cash	\$ (20,000.00)
	593	Clearwater Financial	\$ 92,000.00	Impact Fee Amendment	General Fund Cash - will be reimbursed from Impact Fees	\$ (92,000.00)
			<b>\$ 9,796,124.00</b>			
						<b>\$ (9,796,124.00)</b>

**ORDINANCE NO. 418**  
(Vendor, Solicitor, Temporary Merchant Permit)

**AN ORDINANCE OF THE CITY OF STAR, IDAHO REPEALING ORDINANCE NO. 227, THE VENDOR SOLICITOR, MERCHANT PERMITS, ENACTED ON January 17, 2017, AS AMENDED BY ORDINANCE NO. 136 ON October 18, 2005; AS AMENDED BY ORDINANCE NO. 173 ON FEBRUARY 6, 2007; PROVIDING FOR NEW REQUIREMENTS FOR VENDOR, SOLICITOR AND TEMPORARY MERCHANT PERMITS; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City of Star, pursuant to Idaho Code §50-302, has the authority to adopt all Ordinances necessary for the maintenance of the peace, good government and welfare of the City; and

**WHEREAS**, the City of Star deems it necessary to protect its citizens by regulating vendors, solicitors and temporary merchants.

**WHEREAS**, the City of Star, pursuant to Idaho Code §67-3008, has the authority to require applicants to submit to fingerprinting and background checks provided by the Federal Bureau of Investigation.

**BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF STAR, IDAHO**, as follows:

**SECTION 1. DEFINITIONS:**

**MOBILE VENDING CART:**

A moveable push cart that is operated by a vendor.

**SOLICITOR:**

Any person, whether owner or otherwise, traveling by foot, mobile vending cart, motor vehicle or any other type of conveyance; from place to place, from house to house or from street to street, for the purpose of taking or attempting to take orders for goods, wares, or merchandise, or any article for future delivery, or for services to be performed in the future, or for making, manufacturing or repairing any article or thing whatsoever for future delivery.

**TEMPORARY MERCHANT:**

Any person, whether owner or otherwise, who engages in a temporary business of selling and delivering goods, wares, merchandise and services within the City, and who, in furtherance of such purpose, hires, leases, uses or occupies any building, structure or motor vehicle within the City for the exhibition and sale of such goods, wares and merchandise.

**VENDOR:**

Any person, including an employee, representative

partner, or corporate member, who sells or offers to take orders for selling food, beverages, goods, or merchandise traveling by foot, from a mobile vending cart, mobile vending vehicle, or mobile vending trailer, or any other type of conveyance within the City.

**SECTION 2. PERMIT REQUIRED:**

It shall be unlawful for any vendor, solicitor or temporary merchant, as the same are herein defined, to engage in such business or to employ another in such business within the corporate limits of the City without first obtaining a permit from the City Clerk’s Office in compliance with the provisions of this Ordinance. All vendors, solicitors, or temporary merchants must meet all applicable city, state, federal licensing requirements, along with Central District Health Department and Southwest District Health Department Regulations and Requirements.



**SECTION 3. EXCEPTIONS:**

The provisions of this Ordinance shall not apply to:

- A. Any sales under court order;
- B. Traveling salespersons, commercial travelers or the like who exclusively or primarily sell to, or solicit orders for future delivery, from local retailers, local businesses, local governments, local schools, or local wholesale firms;
- C. The sale of a newspaper subscription in which the seller is a person engaged in both the direct delivery and sale of the newspaper.
- D. The sale of farm or garden products by the person producing the same;
- E. The occasional sale of admission by local school students to a function of their school; or fund raising sales by local service clubs or groups such as Elks, Kiwanis, Lions, Boy or Girl Scouts;
- F. Any political group seeking funds, memberships, or support;
- G. Garage, yard or similar sales by individuals at their residence not exceeding one sale per month or lasting no longer than three days. Yard sales are not commercial sales and business inventory or items purchased for resale at other garage or yard sales are prohibited.
- H. Any organization exempt from taxation as provided by 26 U.S.C. 501 and meeting all the requirements for the exemptions provided by U.S.C. 503;
- I. Sales by youth (14 years or younger) of lemonade or like items from property which they reside or from other property with the owner's permission.

**SECTION 4. APPLICATION REQUIREMENTS:**

Applicants for a permit under this Ordinance must file with the City Clerk an application furnished by the City Clerk, which shall contain the following information:

- A. Name and address of applicant; if the applicant is an association company or corporation, then state its name along with the names and descriptions of the persons who will be soliciting in the city;
- B. A brief description of the nature of the business and the goods to be sold;
- C. If employed, the name and address of the employer, together with credentials establishing the exact relationship between the employer and the applicant;
- D. The proposed method of operation, length of time for which the right to do business is desired and if a motor vehicle is to be used, a description of the same, together with license number or other means of identification;
- E. Whether the applicant or persons participating under this application have had a permit revoked during the past five (5) years, and if so, where and when;
- F. Copies of driver licenses for everyone participating in direct sales (including those driving vehicles);
- G. One - 2"x2" photographs for each participant showing the head and shoulders in a clear and distinguishable manner;
- H. The place where the goods or property proposed to be sold, or orders taken for the sale thereof, are manufactured or produced, where such goods or products are located at the time said application is filed, and the proposed method of deliver;
- I. A statement as to whether or not the applicant or the persons participating under this application have been convicted of a violation of any city, state or federal law, the nature of the offense, the date, and the punishment or penalty assessed therefore;
- J. Designation and completion of Section 5;
- J. No permit issued hereunder shall be transferable.

**SECTION 5. INVESTIGATION FEES; INVESTIGATION OF APPLICANT AND PERSONS PARTICIPATING UNDER THE APPLICATION; ISSUANCE OF PERMIT:**

- A. As part of the application process, the applicant and all those participating under his/her application shall be required to complete the following:

- . To determine the suitability of prospective applicants for the Vendor, Solicitor, or Temporary Merchant Permit, the City of Star requires an applicant to provide information and fingerprints necessary to obtain criminal history information from the Idaho State Police and Federal Bureau of Investigation. For purposes of fingerprinting, an applicant is a person and cannot be an association, company or corporation. Pursuant to Section §67-3008, Idaho Code, and Congressional Enactment Public Law 92-544, the City of Star requests a criminal records check of state and national databases by the submittal of a set of fingerprints obtained from the applicant and the required fees to be paid to the City of Star to be remitted to the Idaho State Police, Bureau of Criminal Identification. The submission of finger prints and information required by this section shall be on forms prescribed by the Idaho State Police. The City of Star Police Chief is authorized to receive criminal history information from the Idaho State Police and from the Federal Bureau of Investigation for the purposes of evaluating the fitness of applicants for Vendor, Solicitor or Temporary Merchant Permits. As required by state and federal law, further dissemination or other use of the criminal history information is prohibited.
- B. If the applicant or those associated with the application fail to submit and pay for the background checks, the application process will automatically cancel.
- C. If the applicant or a person authorized to solicit on its behalf has been convicted of a violation of any city, state or federal law, in the previous five (5) years; or if the applicant or anyone participating under the application has made a false statement on the application then the application may be denied. (Pursuant to Section 11 of this Ordinance.)
- D. Disqualifying Crimes or Circumstances: No applicant or licensee will be issued or renewed a license if the applicant, or licensee, or a person authorized to solicit on its behalf:
  - 1. Sex Offender: Is required to register as a sex offender, pursuant to Sexual Offender Registration Notification and Community Right-to-Know Act, Idaho section 18-8301 et seq, or the Juvenile Sex Offender Registration Notification and Community Right-to-know Act, Idaho Code section 18-8401 et seq.;
  - 2. Specific Sexual Offenses: Has a conviction, whether felony or misdemeanor, involving the sexual battery of any person, sexual exploitation or sexual abuse of a minor or vulnerable adult, enticement of a minor, child pornography, kidnapping, lewd conduct with a minor, prostitution, rape or homicide; orDomestic Violence: Is a respondent in a domestic violence protection order entered pursuant to Idaho Code title 39, Chapter 63 after receiving notice of and an opportunity for hearing; provided , entry of an ex parte order pursuant to Idaho Code section 39-6301 et seq., shall not apply herein.E. Driving Businesses: No applicant or licensee will be issued or renewed a license to engage in or operate a driving business while the applicant or licensee’s driver’s license is suspended or invalid.

SECTION 6. GENERAL RESTRICTIONS:

Vendors, solicitors, and temporary merchants are subject to the following restrictions unless specific exemptions are provided.

- A. Locations: No vendor, solicitor, or temporary merchant shall have any exclusive right to any location in a public street or sidewalk, nor shall they be permitted to operate in any congested area where operations might impede or inconvenience the public. This license does not preclude the issuance of a special events permit or other permits by the City or the granting of permission to sell or operate on private property by its owners.
- B. Hours of Operation: Vendors, solicitors and temporary merchants shall be allowed to engage in their licensed business only between nine o’clock (9:00) A.M. and sunset.
- C. Enforcement Authority: Any law enforcement officer or City Licensing Officer shall have enforcement authority.

**SECTION 7. PERMIT FEES:**

The vendor, solicitor or temporary merchant non-refundable permit fee, in an amount established by the Star City Council and listed on the schedule of fees, shall be paid in advance.

By accepting a fee and issuing a permit, the City does not assume any liability for any actions or any conduct engaged in by the permittee. The City, shall not endorse any products or services sold by any permittee; nor shall any permittee represent to any person that the City has any interest in any business carried on by the permittee.

**SECTION 8. BOND REQUIREMENT:**

Before any permit as provided herein shall be issued for engaging in the business of vendor, solicitor, or temporary merchant as defined in this Ordinance;

- A. Every applicant plying his trade as an individual, shall file with the City Clerk a bond, in the amount of one thousand dollars (\$1,000.00).
- B. Every business association, company or corporation which has employees or agents acting in the capacity of vendor, solicitor, or temporary merchant, shall file with the City Clerk a bond covering all such employees in the amount of one thousand dollars (\$1,000.00) per employee to a maximum of five thousand dollars (\$5,000.00).
- C. The bond may be in the form of a surety bond issued by a company licensed to issue insurance in the State of Idaho, a money order or cashier's check payable to the City of Star, or cash delivered to the City Clerk. The bond shall protect against any and all claims against the vendor, solicitor or temporary merchant arising during the effective dates of the permit issued under this Ordinance and filed with the City Clerk.  
Vendors, Solicitors and Temporary Merchants shall notify each customer that they are bonded and that any claim may be presented to the City Clerk at 10769 W. State Street during regular business hours.
- D. After expiration of a license, the City Clerk shall return the bond to the person designated on the application, upon receipt of a written request for return. The bond will be returned sixty days after receipt of the application for return, unless the Clerk has been notified of the pendency of any claim or cause of action by any person upon the bond. If the Clerk receives notice of a claim, the bond shall not be released except as directed by a court or the person(s) submitting the claim.

**SECTION 9. ISSUANCE AND EXHIBITION OF PERMIT:**

- A. *Approval* - The City Clerk shall notify the applicant whether his permit request is approved and shall issue a permit. The permit will show the name and address of said permittee, the type of permit issued, the amount of fee paid, the date of issuance and the date of expiration.
  1. Upon notification of an approved permit, the applicant will be given identification badges for all those participating under the application. The badge will show a picture of the salesperson, the type of business, the salesperson's name, and the date of issuance and expiration of the permit.
- B. *Denial* - The City Clerk shall notify the applicant if his permit request is denied, the reasons therefore, and advise him/her of the appeal procedure. (Pursuant to Section 11 of this Ordinance.)
- C. *Exhibited* - The permit shall be exhibited in a conspicuous place on the motor vehicle or other mode of transportation if the permittee is using a motor vehicle or other mode of transportation. The badges shall be worn at all times when salespeople are working under conditions of this permit.

**SECTION 10. UNLAWFUL CONDUCT:**

No permittee hereunder shall:

- A. Fail to comply with any of the requirements and restrictions set forth in this Ordinance.
- B. Misrepresent the purpose of, or affiliation of those engaged in, the solicitation;
- C. Continue efforts to solicit from an individual once that individual informs the solicitor that he does not wish to give anything to or to buy anything from that solicitor;
- D. Represent the issuance of any license under this Ordinance as an endorsement or recommendation of the solicitation;
- E. Enter upon any premises when the same is posted with a sign stating “No Peddlers Allowed” or “No Solicitation Allowed” or other words to such effect;
- F. Commit fraud, make misrepresentation or false statements in the course of carrying on the business.

#### **SECTION 11. CANCELLATION OF SALE:**

The buyer shall have the right to cancel the door-to-door sale within three business days. A business day shall be considered Monday through Friday from 8:00 am until 5:00 pm and shall exclude all City of Star Holidays.

#### **SECTION 12 APPEAL FROM DENIAL OF PERMIT:**

- A. *Right to Appeal* – Any applicant aggrieved by the refusal of the city to issue a permit or by the revocation of a permit shall have the right to appeal the city’s decision to the City Council. Such appeal shall be requested by submitting a written request to the Mayor within five days of the action of the City which denied the permit.
- B. *Council Consideration* – The city council shall consider the appeal at its next regularly scheduled meeting, at which time the applicant shall be entitled to present his appeal orally or in writing. The Council shall act on the appeal within seven business days of the hearing.

#### **SECTION 13. SUSPENSION:**

In the event that the permittee shall violate any of the terms or conditions of the permit, or that any product offered by the permittee is a stolen item, or that the permittee violates any City ordinance in reference to the business, the Star Police Department shall be authorized to seize and confiscate the permit and hold the same pending a hearing before the City Council. No business shall be conducted without a permit.

#### **SECTION 14. EXPIRATION OF PERMIT:**

All permits issued under the provisions of this Ordinance shall expire on the date specified in the permit. No permit shall be issued for a period longer than one year.

#### **SECTION 15. PENALTIES:**

Any person, business, firm, company or corporation who shall violate any of the provisions of this Ordinance shall be guilty of a misdemeanor and upon conviction shall be punished by a fine not to exceed one thousand dollars, or by imprisonment in the county jail for a period not to exceed six months, or both such fine and imprisonment. Each day or violation continued shall be separate offenses, punishable as hereinabove described.

#### **SECTION 16. REPEALER:**

Ordinance No. 136, 173 and 227 of the City of Star, Idaho, and any other conflicting Ordinances, are hereby repealed, and shall have no further force or effect.

#### **SECTION 17. SEVERANCE CLAUSE:**

The provisions of this Ordinance are declared to be severable. If any section is found to be invalid, such findings shall not affect the validity of the remaining sections, sentences, clauses and phrases of this Ordinance, but they shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

**SECTION 18. PUBLICATION:**

This Ordinance shall be published once in the official newspaper of the City of Star, Idaho, and shall become effective upon its passage and publication.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

CITY OF STAR, IDAHO

By: \_\_\_\_\_  
Trevor Chadwick, Mayor

ATTEST:

\_\_\_\_\_  
Shelly Tilton, City Clerk





# CITY OF STAR

## TECHNOLOGY SYSTEMS POLICY

Approved by xxx  
Insert date

TABLE OF CONTENTS

I. SCOPE..... 3

II. PURPOSE ..... 3

III. DEFINITIONS ..... 3

    A. TECHNOLOGY SYSTEMS..... 3

    B. USER..... 3

IV. APPROPRIATE USE ..... 3

V. EXTERNAL DEVICES ..... 5

    A. CURRENT DEVICES APPROVED FOR USE ..... 5

        PROHIBITED DEVICES ..... 6

    B. EXPECTATIONS ..... 6

    C. REQUIREMENTS FOR ACCESSING ICRMP'S TECHNOLOGY SYSTEMS ..... 6

VI. REMOTE SYSTEMS WORK AND ACCESS..... 7

    A. REMOTE WORK APPROVAL..... 7

    B. REQUIREMENTS FOR REMOTE WORK ..... 8

    C. REQUIREMENTS FOR REMOTE ACCESS..... 8

VII. ENFORCEMENT ..... 9

VIII. ACKNOWLEDGMENT ..... 10

## **I. SCOPE**

This Policy applies to all users of the City of Star's technology systems, herein referred to as "Technology Systems". Use of the City of Star's Technology Systems, even when carried out on privately owned computers or other devices that are not owned, managed or maintained by the city, is governed by this Policy.

## **II. PURPOSE**

The purpose of this Policy is to ensure a technology infrastructure that promotes the basic missions of the City of Star. This Policy aims to promote the following goals:

- A. Ensure the integrity, reliability, availability, and superior performance of Technology Systems;
- B. Ensure that use of Technology Systems is consistent with the principles and values that govern the use of other city facilities and services;
- C. Ensure that Technology Systems are used for their intended purposes; and
- D. Establish processes for addressing policy violations and sanctions for violators.

## **III. DEFINITIONS**

### **A. TECHNOLOGY SYSTEMS**

Servers, any kind of personal computing devices, applications, printers, networks (virtual, wired and wireless), online and offline storage media and related equipment, software, and data files that are owned, managed, connected to or maintained by the City of Star.

### **B. USER**

Any person, whether authorized or not, who makes any use of any Technology System from any location.

## **IV. APPROPRIATE USE**

- A. All Technology Systems are City of Star property and anything you create or load on the Technology Systems becomes city property.
- B. Technology Systems are in place to facilitate your ability to efficiently and productively do your job. To that end, these Technology Systems are solely for business purposes. Only incidental personal use that does not interfere with work

or consume Technology Systems resources will be allowed. Personal use may be permitted on an occasional, limited basis within the guidelines established by this policy provided that such use does not result in a cost to the City of Star or interferes with city business operations or the employee's job performance.

- C. The City of Star reserves the right to intercept, monitor, copy, review and download any communications or files you create or maintain on the Technology Systems, at any time, without prior notice to you. Be advised that regular monitoring will occur.
- D. The City of Star purchases and licenses the use of various computer software programs for business purposes. City of Star does not own the copyright to this software or its related documentation. Unless authorized by the software developer, the City of Star does not have the right to reproduce such software for use on more than one computer. Users may only use software on Technology Systems or according to the software license agreement. Illegal duplication of software and its related documentation for personal use is prohibited.
- E. Each user is prohibited from sharing their network password with anyone. The City's Information Technology (IT) Director has the right and capability to change any user's network password at any time when required to gain access to information from any individual user's network profile. The user will be notified of this password change wherein the user must change their network password after such activity for confidentiality.
- F. Stealing or coercion to obtain another user's code or password as well as using or disclosing a user's code or password is strictly prohibited. Also, attempting to break into any City of Star Technology Systems is strictly prohibited.
- G. E-mail and Internet access is provided by the City of Star to enhance communications and provide access to work related information and technology. Consequently, users should always ensure the business information contained in Internet E-mail messages and other transmissions is legal, accurate, appropriate and ethical. The following are examples of prohibited uses of E-mail and Internet systems:
  - 1. Sending or posting discriminatory, harassing, or threatening messages or images;
  - 2. Using city time and resources for personal gain;
  - 3. Unauthorized use, installation, copying, or distribution of copyrighted, trademarked, or patented material;
  - 4. Engaging in unauthorized transactions that may incur cost to the City of Star

- or initiate unwanted Internet or e-mail services and transmissions;
- 5. Sending or posting messages or material that could damage the city's image or reputation;
- 6. Participating in the viewing or exchange of pornography or obscene materials, that are not work related;
- 7. Sending or posting messages that defame or slander other individuals;
- 8. Sending or posting chain letters, solicitations, or advertisements not related to business purposes or activities;
- 9. Using the Internet for political causes or activities, religious activities, or any sort of gambling;
- 10. Jeopardizing the security of the organization's electronic communications systems;
- 11. Passing off personal views as representing those of the City of Star;
- 12. Sending anonymous e-mail messages;
- 13. Engaging in any other illegal activities while using city Technology Systems.

## **V. EXTERNAL DEVICES**

This section provides standards and rules of behavior for the use of personally owned smart phones, tablets, or external storage devices by users to interface with the City of Star's Technology Systems. Access to and continued use of Technology Systems is granted on condition that each user follows the city's policies concerning the use of these devices and services.

### **A. CURRENT DEVICES APPROVED FOR USE**

- 1. Android Smart Phones and Tablets
- 2. Apple iPhones and iPads

### **PROHIBITED DEVICES**

- 1. No personally owned storage devices may be used to transfer or download any city-related files or documents, this includes but is not limited to: External Hard

Drives, USB Thumb Drives, Memory Cards or any other type of storage media.

#### **B. EXPECTATIONS**

1. Privacy. The City of Star will respect the privacy of your personal device and will only request access to the device to implement security controls, as outlined below, or to respond to legitimate discovery requests arising out of administrative, civil, or criminal proceedings. This differs from policy for the city's provided equipment/services, where users do not have the right, nor should they have the expectation, of privacy while using city equipment or services. While access to the personal device itself is restricted, City of Star's Technology Systems Policy regarding the use and access of city e-mail and other Technology Systems remains in effect.
2. Only upon written authorization from the City of Star IT Director or his/her designees will connection to external devices be granted. Connection to our Technology Systems may be disabled by the City of Star at any time.
3. The City of Star is not responsible for any loss or theft of, damage to, or failure in the device that may result from use of third-party software and/or use of the device in this program.
4. Contacting vendors for troubleshooting and support of third-party software is the user's responsibility, with limited configuration support and advice provided by city staff.
5. Business use may result in increases to the user's personal monthly service plan costs. The city will not reimburse any business-related data/voice plan usage of user's personal device without prior approval.
6. If the user chooses to discontinue connection of the external device, the user will allow the city to remove and disable any city provided third-party software and services from the personal device.

#### **C. REQUIREMENTS FOR ACCESSING THE CITY OF STAR'S TECHNOLOGY SYSTEMS**

1. User will not download or transfer sensitive business data to their personal devices. Sensitive business data is defined as documents or data whose loss, misuse, or unauthorized access can adversely affect the privacy or welfare of an individual (personally identifiable information), the outcome of a claim, proprietary information, or agency financial operations;
2. User will protect the mobile device with a four-digit numeric PIN/Password;



3. User agrees to maintain the original device operating system and keep the device current with security patches and updates, as released by the manufacturer. The user will not install software that allows the user to bypass standard built-in security features and controls (Jail Break) the device;
4. User agrees the device will not be shared with other individuals or family members, due to the business use of the device;
5. User agrees to delete any sensitive business files that may be inadvertently downloaded and stored on the device through the process of viewing e-mail attachments.
6. If the device is lost or stolen, the user must notify the IT Director or their department manager within eight hours. The City of Star will lock the device, and a full erase of the device's data and programs will be completed. Failure to report the lost or stolen device may result disciplinary action, up to and including termination.

## **VI. REMOTE SYSTEMS WORK AND ACCESS**

The purpose of this section is to address the requirements and expectations for employees desiring to work outside of the city's home office located in Star, Idaho. This practice is herein referred to as "remote". The work needs of the City of Star and the security of Technology Systems are the first considerations in granting remote work and remote access. Working remotely requires employees to be focused and disciplined to avoid personal distractions that may not be present in an office environment. Remote work also requires trust from management that employees are productive and professional in their work. Remote work and the technology supporting it are evolving rapidly. Hence, this policy serves only as a basic outline of requirements and expectations. It does not serve as the absolute position of the City of Star on remote work and access practices.

### **A. REMOTE WORK APPROVAL**

1. Granting authority for remote work opportunity and remote access to the City of Star Technology Systems resides with the Executive Director, who may delegate this authority to department managers. Only upon written authorization from the Executive Director or his/her designees will remote work or remote access be granted.

### **B. REQUIREMENTS FOR REMOTE WORK**

1. Submission of a work plan outlining work to be completed during scheduled remote work time must be submitted to employee's manager.

2. Maintenance of a professional work environment in which communications and concentration are not disrupted by noise or distractions.
3. Technical knowledge required to access the city systems necessary to complete assignments in a remote work setting

#### *C. REQUIREMENTS FOR REMOTE ACCESS*

1. Secure remote access must be strictly controlled. Control will be enforced via one-time password authentication or public/private keys with strong pass-phrases. At no time should any user provide their login or email password to anyone, not even family members.
2. Users of hardware that connects to the city's network using a virtual private network (VPN) connection must ensure they are not connected to any other network using a VPN connection at the same time. This excludes the local network (i.e., Home, Hotel, Public Wireless), the remote user may use to connect to the internet.
3. Users with remote access privileges to the city's corporate network must not use non-city email accounts (i.e., Hotmail, Gmail, Yahoo), or other external resources to conduct city business, thereby ensuring that official business is never confused with personal business.
4. All hosts that connect to the city internal network must meet the following minimum-security baseline:
  - a. Anti-Virus software must be installed and kept up-to-date. This software is required to be always operating on the computer in real time protection mode. The anti-virus library definitions shall be updated at least once per day. Anti-virus scans shall be done a minimum of once per week. If your anti-virus software does not already provide separate spyware/malware protection, you must install separate applications to prevent these items.
  - b. A software firewall must be installed and enabled. If not using an operating system that has a built-in firewall, a separate firewall program must be installed and kept up-to-date.
  - c. The operating system of the device must be kept up to date with the most current available security patches, service packs and updates at all times.

## **VII. ENFORCEMENT**

Your consent to and compliance with all the above items is a term and condition of your employment. Failure to abide by these rules may be grounds for disciplinary action, up to and including termination.

## VIII. ACKNOWLEDGMENT

### ACKNOWLEDGMENT OF RECEIPT OF CITY OF STAR TECHNOLOGY SYSTEMS POLICY.

I, \_\_\_\_\_ acknowledge receipt of the City of Star Technology Systems Policy, amended [insert date last amended]. Please initial each statement below if it is true.

I understand that it is my responsibility to read and understand the contents of this Policy.

I understand that I am obligated to perform my duties of employment in conformance with the provisions of this Policy and any additional rules, regulations, policies or procedures imposed by the department in which I work whether or not I choose to read the Policy.

I understand that this Policy may be modified without prior notice to me.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
(Employee Signature)



# City of Star AI Use Policy

---

Effective Date: June 2025

## 1. Purpose

This policy governs the use of OpenAI's ChatGPT and related large language model (LLM) services by employees and contractors of the City of Star, to ensure safe, secure, and appropriate use in support of organizational goals.

## 2. Scope

Applies to all personnel using ChatGPT (or other generative AI tools) on city-owned or authorized devices, networks, or accounts.

## 3. Acceptable Use

### Permitted Uses:

- Drafting or improving documents, emails, reports, or code that do not contain confidential or personally identifiable information (PII).
- Researching general technical, regulatory, or policy information.
- Assisting with documentation, procedural guidelines, or training content.
- Supporting public communication (e.g., website copy, press drafts), after review and approval.

### Prohibited Uses:

- Inputting any sensitive or confidential data, including:
  - PII (e.g., names, addresses, SSNs)
  - Protected health information (PHI)
  - Criminal justice information (CJI)
  - Financial account data
  - Internal operational plans or non-public security protocols
- Using ChatGPT for decision-making without human oversight.
- Relying on ChatGPT outputs for legal, regulatory, or emergency operations advice without verification.
- Any use that violates local, state, or federal law or organizational policy.



#### 4. Security & Data Handling

- No Sensitive Data Entry: Under no circumstances may employees input sensitive, restricted, or classified information into ChatGPT.
- Output Review: All AI-generated output must be reviewed by a qualified human before distribution, publication, or implementation.
- Session Management: Users must not use personal accounts or unauthorized tools to access ChatGPT on city devices.
- Access Control: ChatGPT should only be used via approved interfaces (e.g., OpenAI official site, enterprise tools with organizational controls, or API keys managed by IT).

#### 5. Accountability

- Users are personally responsible for ensuring that AI-generated content complies with all relevant regulations, including HIPAA, CJIS, and state open records laws.
- All content created using ChatGPT must be attributable, reviewed, and traceable, especially if published or used in operations.

#### 6. Training & Awareness

- All staff using ChatGPT must complete AI usage and data security training prior to use.
- Departments must maintain awareness of evolving risks associated with AI, including misinformation, hallucination, and data leakage.

#### 7. Monitoring & Enforcement

- The IT Department may monitor usage patterns to ensure compliance.
- Violations of this policy may result in disciplinary action, up to and including termination, and may involve legal consequences if data protection laws are breached.

#### 8. Policy Maintenance

This policy will be reviewed and updated annually or as needed based on regulatory, technological, or organizational changes.

Approved by:  
Shane Dale, IT Director  
City of Star