CITY OF STAR, IDAHO



CITY COUNCIL REGULAR MEETING AGENDA

City Hall - 10769 W State Street, Star, Idaho Tuesday, February 21, 2023 at 7:00 PM

PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.

- 1. CALL TO ORDER Welcome/Pledge of Allegiance
- 2. INVOCATION Associate Pastor Nathan Held, Calvary Chapel Star
- 3. ROLL CALL
- **4. PUBLIC INPUT** The public in invited to speak to any item NOT on the agenda. Items regarding Personnel or Elected Officials should be discussed with the Mayor. Items regarding Land Use Applications either in process or likely to be in process may not be discussed. The Mayor or Presiding Officer may limit the amount of time. The public may be called upon to to speak on any item on the agenda as that item is being discussed.

5. PRESENTATIONS & REPORTS

- A. III-A Annual Report III-A Staff will make a presentation to the City Council
- **B. Building Permit Report** Informational Only
- **6. CONSENT AGENDA (ACTION ITEM)** *All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.
 - Approval of Minutes: January 17, 2023; February 7, 2023 & July 19, 2022
 - B. Approval of Claims Provided & Previously Approved: February 2023
 - <u>C.</u> Findings of Fact / Conclusions of Law Jacksons Food Stores (FILE # CU-22-07)
 - <u>D.</u> Findings of Fact / Conclusions of Law Burnett Storage Annexation & Conditional Use Permit (FILE # AZ-22-13 / DA-22-14 / CUP-22-06)
 - E. Findings of Fact / Conclusions of Law Colt Heights Subdivision Preliminary Plat (FILE # PP-22-09 / PR-22-03)
 - Final Plat Rivercreek Landing Subdivision Phase 1 & 2 (FILE # FP-22-25 & FP-22-26)
 - G. Final Plat Canvasback Subdivision Phase 2 (FILE # FP-22-28)
 - H. Final Plat Sellwood Place Subdivision Phase 1 (FILE # FP 22-29)

7. PUBLIC HEARINGS with ACTION ITEMS:

A. PUBLIC HEARING: First Street Townhomes Subdivision (FILE # PP-22-16 & PR-22-07) - The Applicant is seeking approval of a Preliminary Plat and Private Street for a proposed residential subdivision consisting of 30 residential lots, 4 commercial lots and 3 common lots. The property is located at 10206 W. State Street in Star, Idaho, and consists of 4.77 acres with a proposed residential density of 11 dwelling units per acre. Tabled from February 7, 2023 (ACTION ITEM) UPDATE: ITEM BEING TABLED TO MARCH 7, 2023

8. ACTION ITEMS:

- A. Ordinance 373 2023: Quarry at River Park Annexation & Development Agreement: AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF CANYON COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AT 21339 BLESSINGER ROAD, CANYON COUNTY PARCELS R3404900000, IN STAR, IDAHO AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTIES ARE OWNED BY H5 LAND HOLDINGS 6 LLC, AND SCHOOLHOUSE RANCH LLC; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS RESIDENTIAL WITH A DEVELOPMENT AGREEMENT (R-2-DA), AND COMMERCIAL WITH A DEVELOPMENT AGREEMENT (C-1-DA) OF APPROXIMATELY 185.93 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE. (ACTION ITEM)
- B. Construction, Engineering & Inspection Contract Authorize / Approve the Horrocks Engineering CE&I Contract for Highway 44 (Star Road to Bent Lane) utilizing ITD Proportionate Share Funds (ACTION ITEM)
- C. Approve / Authorize Expenditure of Splash Pad Installation Approve the Capital Improvement Installation of a Splash Pad at Pavilion Park using Park Impact Fees and declaring Landscape Structures as a Sourcewell Vendor (ACTION ITEM)

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- <u>D.</u> Approve / Authorize Expenditure of Vehicle Purchase(s) Authorize the purchase of two vehicles up to \$30,000 utilizing ARPA funds. One to be utilized for City Hall Code Response and Inspections and the other to be utilized for Buildings & Grounds Maintenance. (ACTION ITEM)
- E. Approve / Authorize Expenditure for Historical Committee Approve / Authorize the expenditure of up to \$23,000 for Oral History Interviews for Production on Film (ACTION ITEM)
- F. Approve PAB Committee Member Appointment Rod McClure Approve appointment (ACTION ITEM)
- G. Approve / Authorize Expenditure for PAB Committee Approve / Authorize the Capital Expenditure of \$25,142.40 for Outdoor Fitness Equipment to be installed and utilizing up to \$25,000 of Park Impact Fees. (ACTION ITEM)
- <u>H.</u> Approve / Authorize PAB Grant Application & Expenditure for Flower Boxes at the Riverhouse Approve / Authorize the Flower Boxes Project at the Riverhouse in the amount of \$9,780 and approving the Lunaria Grant (ACTION ITEM).

9. ADJOURNMENT

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The meeting can be viewed via a link posted to the City of Star website at <u>staridaho.orq</u>. Information on how to participate in a public hearing remotely will be posted to <u>staridaho.orq</u> under the meeting information. The public is always welcomed to submit comments in writing.

Land Use Public Hearing Process

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Applicant has up to 20 minutes to present their project

Council can ask the applicant questions and staff questions

Public Testimony (3 minutes per person)

- 1. Those for the project speak
- 2. Those against the project speak
- 3. Those who are neither for or against but wish to speak to the project
- 4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (10 minutes)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick



Shared Strength · Trusted Care



2021-22 Annual Report

MISSION: To provide the best quality and structure of health benefits plans and services to our agency's employees by directly managing the costs and administration of those benefit plans through a cooperative pool in a manner that will be more efficient, economical, and competitive than what the market can offer through traditional insurance providers.

Annual Report - PUBLIC

The last two years have been difficult for health trusts and insurance companies across the country. The direct and indirect costs of the pandemic took a toll.

The III-A staff has continued to be proactive and innovative to help reduce the impact of the pandemic and high claimants. I appreciate the opportunity to share the program information and data contained in the annual report.

As always, we remain committed to providing:

- Exceptional, gold standard care to each member
- Enhanced, innovative benefits
- Strategic, planned growth to protect our agencies
- Fiscally responsible, transparent operations

Thank you for trusting the III-A team with caring for your team!



III-A Executive Director



AT A GLANCE

MEMBERSHIP

5,285

GROWTH

+8% Agencies

PROGRAMS SAVINGS

\$638,550

FINANCE

\$5,519,257

Total Liabilities and Net Position

III-A AGENCIES (95)

CITIES

Aberdeen American Falls

Arco Athol Blackfoot **Bonners Ferry** Cascade

Challis Council

Dalton Gardens

Declo Donnelly Dover Downey Dubois

Emmett Firth Franklin Fruitland

Garden City Grangeville Hayden

Homedale Kamiah Ketchum

Kooskia Kootenai

Lava Hot Springs

Malad Marsing McCall Menan

New Meadows New Plymouth Nezperce

Oakley Parma Paul

Payette Potlatch

Preston Rupert Salmon

Star

St. Anthony Tetonia Troy Victor Wilder

FIRST RESPONDERS

Bear Lake Co. Fire Blackfoot Police & Fire Cascade Rural Fire Eagle Fire East Side Fire

Kootenai County EMS Kuna Fire Marsing Fire McCall Fire

Meadows Valley Rural Fire Minidoka County Fire

Nampa Fire Nampa Police Northern Lakes Fire Sagle Fire Sandpoint Fire Shoshone County Fire #2

Spirit Lake Fire St. Maries Fire Star Fire

Teton County Fire & Rescue

Tetonia Westside Fire

IRRIGATION DISTRICTS

Lewiston Orchards Irrigation Minidoka Irrigation

LIBRARY DISTRICT

American Falls Library

HIGHWAY DISTRICTS

Buhl Highway East Side Highway Filer Highway Ferdinand Highway Grangeville Highway Hillsdale Highway Keuterville Highway Minidoka Highway **Power County Highway** Worley Highway

TRANSPORTATION AUTHORITY

Mountain Rides Selkirk Pend Oreille Transit

ABATEMENT DISTRICTS

Payette County Gopher Twin Falls Pest Abatement

RECREATION DISTRICTS

Middleton Parks & Recreation **Payette County Recreation**

WATER & SEWER DISTRICTS

North Lake Rec. Sewer & Water Southside Water & Sewer Star Sewer & Water

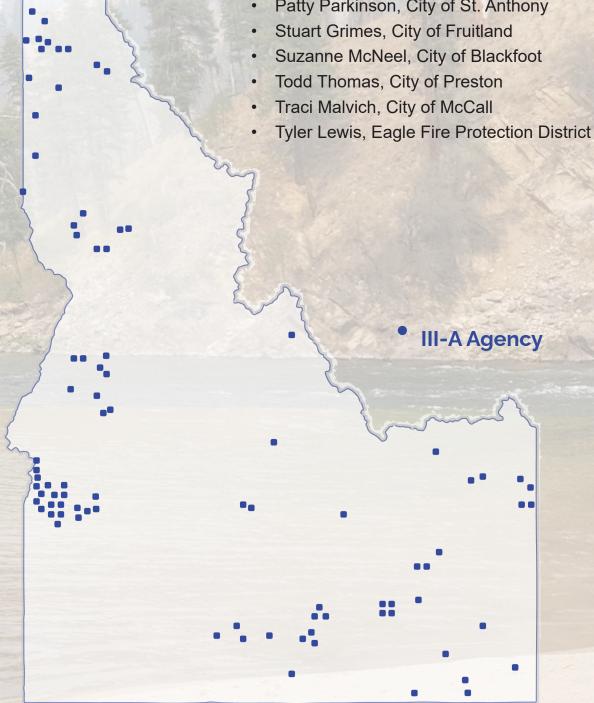
LHTAC

III-A

"Outstanding coverage, extra benefits, and best of all is the preventative measures to help members get and stay healthy."

BOARD OF TRUSTEES

- Dan Hammond, Chair, City of American Falls
- Ruth Bailes, Vice-Chair, Minidoka Irrigation District
- Danielle Painter, Secretary, City of New Plymouth
- Gilbert Hofmeister, Power County Highway District
- Kyla Gardner, City of New Meadows
- Lori Yarbrough, City of Athol
- Pat Riley, Northern Lakes Fire Protection District
- Patty Parkinson, City of St. Anthony



YOUR III-A TEAM



Amy Manning, Executive Director

Director of the Trust, Strategic Planning, Budget Creation/Oversight, Program Development, Growth and Membership, Board of Trustees and Committee Meetings/Issues, Contact for DOI, Contractors, TPAs, and On-site Annual Reports



Susan Lasuen, Operations Manager

Rating/Implementation of New Agencies, Financial Reports, COBRA Administration and Retiree Program, Bill Approval Process, Invoice Payments/ Budget Tracking, Payment/Tracking of Internal Claims, Policies and Manuals, Agency Billing, and On-site Annual Reports



Megan Smith, Wellness Manager & Data Analyst

Medical, Dental, Vision & Prescription Claims, Reports for Trustees and Committees, Benefit Utilization Reports, Rate Impact, Processing of Claims Reports, Payments, and Wellness Programs



Kandice Dickinson, Marketing & Education Manager

Marketing and Public Relations, Administrative Assistant, Programs Promotion, Creation of Educational Materials, Website, Social Media, Newsletter, and Staff Training



Nicole Tuttle, Benefits Manager

Medical, Dental, Vision and Rx Claims Issues, Member PA Issues, Benefits Meetings, Open Enrollment Meetings, Research New Benefits, Acupuncture Provider Network, Review of TPA and PBM Plan Documents, EAP Program and Mental Health Training Coordinator



Brooke Calton, Benefits Specialist

Medical, Dental, Vision and Rx Claims issues, Member PA Issues, Open Enrollment Meetings, Benefit Meetings, ACU Provider Network, and Forms Processing

STAFF OPERATIONS

• Total hours worked: 11,979 (7% more than FT)

• Miles traveled: 28,878

• Conferences attended: 8

First Aid

Grants received: \$3,500 Fire Chiefs

• Administration and Operating Expenses

• 20-21: -9%

• 21-22: -2%



MEMBER RELATIONS

• Serving: 5,285 members 24/7

• Benefit Line calls: 1,429

• On-site agency meetings: 172

• COBRA members: 38

Retirees: 31

Internally administered benefits: 9

On-site benefits meetings: 81



4.92 out of 5 satisfaction survey results from Benefits Meetings

6

GROWTH

83 Agencies (19% Increase) 1,611 Employees

(21% Increase)

9/30/21

(22% Increase)

1,337 Employees
(41% Increase)

70 Agencies

9/30/20

90 Agencies (8% Increase)

1,830 Employees (14% Increase)

9/30/22

AGENCY STATS

38

Provided III-A Info

2

Added

Vision

Added Dental **26**

Rated

Added Orthodontia

Joined

0

Dropped Benefits

1

Small Agencies
Now Able to
Offer Benefits

"If you ever have a spot on your Board, I would gladly serve on it to support what you have built with III-A. You are amazing and the organization is everything health insurance should be."

"...We have
always been so happy
and satisfied with our coverage
and their service. Anytime we
have needed their assistance,
they are there and take care of us
quickly and easily. They have
been the best partners..."

"Wonderful customer service and support for administrative and member questions and needs."

PROGRAMS

Maternity

\$40,700 **Estimated Savings**

Rx Mail-Orders

202 Member Utilization

Medication Infusion Telehealth Benefit

\$482,810 **Estimated Savings**

\$115,040 **Estimated** Savings

Wellness Wednesdays (Webinars)

241 Registered **Participants**

91% Plan to Implement Something They Have Learned

95% Participants Found Content Very Helpful or **Extremely Helpful**

"We were enjoying lunch as a TEAM while listening. Several of us were taking notes. Thanks for all you do for us!"

Wondr Health Weight Loss

709 lbs 1,624 Lost by Sessions **Participants** Engaged



10

WELLNESS

80

(96%)**Agencies**

Wellness Screening **Participation** 824

(51%) Members

Wellness Screening **Participation**

(5% decrease from 20-21)

64

Members

Health Coaching Participation

Cessation Program **Participation**

Members

Tobacco

WELLNESS SCREENINGS HIGHLIGHTS

"After I got my results from the wellness screening, and spoke with the provider,

prescriptions. I had elevated cholesterol, triglyceride, and my A1C was creeping up there. I really didn't want to start medication so I decided to take matters into my hands and use my resources. I joined the Wond'r Health Program and started

exercising regularly. I've lost 25 lbs and feel the best I have in years. I am excited

to see my blood results this coming Fall to see how they compare. I am very thankful for these wellness programs that the III-A provides." -III-A Member

I knew I had to make lifestyle changes or I was going to soon need a few

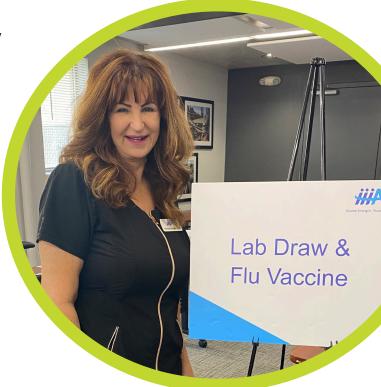
FINDINGS:

- III-A providers referred 2 positive Coloquards. 7 elevated PSA, and 3 abnormal GFR (Kidney function) for further testing.
- Through blood work, a Hashimoto's diagnosis was made and treated, and a parathyroid tumor was found and treated.

TOP CONDITIONS DETERMINED:

- Elevated Cholesterol or Triglycerides: over 300 members
- Overweight or Obesity: over 300 members
- Elevated A1C: 180 members Hypertension: 78 members
- Thyroid Abnormality: 57 members

Follow-up was made to members with elevated results with recommendations on lifestyle changes, and if necessary, follow-up blood work, and/or medication prescribed or prescription modifications.



257 Mental Health Sessions

Provided members resources on III-A's EAP Program.



12

EAP

EAP Visits

1,688)

206

Providers

36

First Responder Providers 2

Agencies
Purchased
EAP for their
Volunteers



Agencies
Utilized
Shift Wellness
Trainings
(CISD 3)

18

First Responder Helpline Calls

158
61% Increased
Utilization

First Responder Crisis Calls

25

Total
Members
Inpatient

16
1.7% Decrease
Utilization

INPATIENT DETAILS:

Enrollee: 5 Spouse: 2 Child: 9



FINANCE







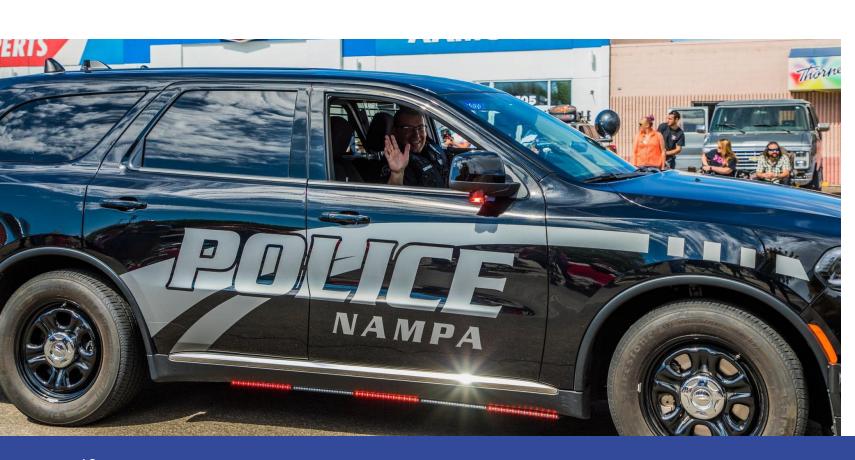
IBNP C Reserves

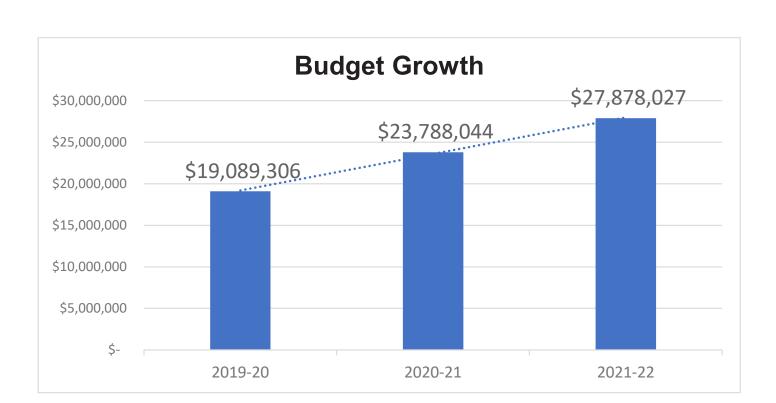
Rx Rebates

BCI Medical, Dental, Vision Admin Fee: 2% increase PEPM

Specific Stop Loss Fee: (-)16.3% reduction PEPM over PY 2020-21

Earned





Renewal vs Inflation Rate (Trend):

III-A 5.6%

Idaho 6.82%

HIGH CLAIMANTS (Over \$100k)

Member	Relationship	Total Paid	Diagnosis
1	Member	\$711,219	Cancer
2	Member	\$636,246	COVID-19
3	Member	\$505,801	Cancer Bold Red Termed
4	Member	\$499,728	Cancer
5	Member	\$443,841	Sepsis
6	Member	\$375,189	Cancer
7	Member	\$321,463	Cancer 2 Mambara with
8	Member	\$285,849	Cancer 2 Members with
9	Member	\$259,966	Cancer Pending Claims
10	Member	\$221,194	(> \$375k)
11	Member	\$213,414	Cancer
12	Member	\$184,274	Cancer
13	Member	\$168,767	MS
14	Member	\$168,484	Cardiovascular
15	Member	\$162,013	Genetic Disorder
16	Member	\$156,438	Inflammatory Disease
17	Member	\$154,885	Cardiovascular
18	Member	\$153,846	MSK
19	Member	\$143,126	MSK
20	Member	\$134,012	Neurological Disorder
21	Member	\$116,163	Neurological Disorder
22	Member	\$110,460	Cardiovascular
23	Member	\$106,630	MS
24	Member	\$105,386	Neuromuscular Dysfunction
25	Member	\$105,268	Cyst
	_	\$6,443,660	 Total Claims

LOOKING FORWARD . . .

- Reduction in administration and operation costs (-3%)
- Utilize grant writer to find available grants for III-A Programs
- 2022-2023 Stop Loss Reduction PEPM -13.4% (national average expected to be a 17% increase)
- Maintenance prescription review savings opportunities
- Exploring On-Site Mammogram Bus
- Implementing skin checks at Wellness Screenings with a Dermatologist PA
- Utilize NPs for case management
- Subrogation
- Pursuing COVID Reimbursement from the State of Idaho





2022/2023 City of Star Building Permits

SUBDIVISION	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG		<u> [AL</u>
Amazon Falls	0	0	0	0	0	0	0	0	0	0	0	Section 5, Ite	m B.
American Star	0	21	16	0	0	0	0	0	0	0	0	0	37
Canyon	0	0	0	0	0	0	0	0	0	0	0	0	0
Collina Vista	1	0	0	4	1	0	0	0	0	0	0	0	6
<u>Craftsman</u>	0	3	1	0	0	0	0	0	0	0	0	0	4
Cresta Del Sol	4	0	2	1	2	0	0	0	0	0	0	0	9
<u>Fallbrook</u>	0	0	0	15	2	0	0	0	0	0	0	0	17
<u>Greendale</u>	0	0	3	4	1	0	0	0	0	0	0	0	8
Greiners Hope Springs	1	6	0	3	0	0	0	0	0	0	0	0	10
<u>Iron Mountain</u>	0	0	0	0	1	0	0	0	0	0	0	0	1
MISC	1	0	0	0	0	0	0	0	0	0	0	0	1
Moon Valley	0	0	0	0	2	0	0	0	0	0	0	0	2
Paint Point	0	0	0	0	0	0	0	0	0	0	0	0	0
<u>Parkstone</u>	2	3	2	0	1	0	0	0	0	0	0	0	8
<u>Reunion</u>	0	0	5	0	0	0	0	0	0	0	0	0	5
Rosti Farms	0	0	0	1	1	0	0	0	0	0	0	0	2
Star River Meadows	0	0	0	0	0	0	0	0	0	0	0	0	0
Star River Ranch	0	0	0	0	0	0	0	0	0	0	0	0	0
Breitenbach Ridge	0	0	2	2	0	0	0	0	0	0	0	0	4
<u>Sunfield</u>	1	1	1	0	1	0	0	0	0	0	0	0	4
Trapper Ridge	0	0	0	0	0	0	0	0	0	0	0	0	0
Trident Ridge	1	0	0	0	7	0	0	0	0	0	0	0	8
Norterra Norterra	0	0	0	0	0	0	0	0	0	0	0	0	0
<u>Wildrye</u>	4	0	4	1	1	0	0	0	0	0	0	0	10
	0	0	0	0	0	0	0	0	0	0	0	0	0
Total Building Permits Issued	15	34	36	31	20	0	0	0	0	0	0	0	136
Exempt Park impact fees	0	0	0	0	0	0	0	0	0	0	0	0	0
COMMERCIAL	0	0	3	0	0	0	0	0	0	0	0	0	3
Commercial T.I	2	2	1	1	0	0	0	0	0	0	0	0	6
MISCELLANEOUS	13	6	3	3	8	0	0	0	0	0	0	0	33

Issued by Eddie Gomez

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CITY COUNCIL REGULAR MEETING MINUTES

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- **1. CALL TO ORDER** Welcome/Pledge of Allegiance Mayor called the meeting to order at 7pm.
- **2. INVOCATION** Dylan Austin with LifeSpring Church Pastor Austin offered the invocation.

3. ROLL CALL:

Elected Officials: Council Members David Hershey, Kevan Wheelock, Jennifer Salmonsen, Kevin Nielsen & Mayor Trevor Chadwick. Council Member Salmonsen was excused.

City Staff: City Planner Shawn Nickel; Assistant City Planner Ryan Field; City Clerk – Treasurer Jacob Qualls; Deputy City Clerk Barbara Conly; Public Information Officer Dana Partridge; City Attorney Chris Yorgason; City Engineer Ryan Morgan and Star Police Chief Zack Hessing. Chief Victor Islas was online.

4. PRESENTATIONS

A. Star Police Department Report - Police Chief Zach Hessing

Chief Hessing presented the December 2022 police department report and will offer the annual report of 2022 at another meeting. Most of the society crimes for the month of December came from traffic stops.

- 5. **CONSENT AGENDA (ACTION ITEM)**
- A. Approval of Minutes: January 3, 2023
- B. Approval of Claims Provided & Previously Approved: January
- C. Findings of Fact: First Interstate Bank Conditional Use Permit (FILE: CUP-22-08)
- D. Findings of Fact: Munger Creek Subdivision (FILE AZ-22-09/DA-22-09/PP-22-14)
- Council President Hershey moved to approve the Consent Agenda; Council Member Wheelock seconded the motion. Roll call vote: Hershey aye; Wheelock aye; Nielsen aye. Motion carried.
- 6. **ACTION ITEMS:** (The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
- A. Ordinance 377-2023 & Development Agreement: Gary & Teri Opper Annexation (FILES: AZ-22-14 / DA-22-15)
- Council Member Nielsen moved to introduce Ordinance 377-2023 and Development Agreement and suspend the rules requiring three separate readings and approve on this first reading; Council Member Hershey seconded the motion. Roll call vote: Hershey aye; Wheelock aye; Nielsen aye. Motion carried.

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• Council Member Nielsen read 377-2023 and moved to approve the ordinance; Council Member Wheelock seconded the motion. Roll call vote: Hershey – aye; Wheelock – aye; Salmonsen – aye; Nielsen – aye. Motion carried.

B. Approval of Request for Proposals for Pathways (ACTION ITEM)

Mayor Chadwick spoke about the Request for Proposals (RFP) for the Star Pathways Master Plan. He stated the Transportation Committee has been working on the pathways agreements utilizing the canal systems and putting them in a final format. When the proposals are reviewed, they will come back to the City Council for award.

Council Member Kevan Wheelock asked if the city is approving a specific company regarding the RFP's, City Attorney Chris Yorgason indicated the process is to select based on the firms' qualifications to complete the Star Pathways Master Plan (project).

- Council Member Wheelock moved to approve the Request for Proposals for the Pathways project; Council Member Nielsen seconded the motion. Roll call vote: Hershey aye; Wheelock aye; Nielsen aye. Motion carried.
- C. Request for Qualifications Award Approval / Award / Authorization to proceed with the Request for Qualifications for Construction, Engineering & Inspection (CE&I) for State Highway 44 Bent Lane to Star Road Improvement Project (ACTION ITEM)

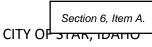
City Engineer Ryan Morgan stated he, Assistant City Planner Ryan Field, Mayor Chadwick and Council President David Hershey ranked the two firms who submitted the Request for Qualifications for Construction, Engineering and Inspection. They were ranked individually and then the rankings were shared with the group. Each member ranked the firms very similarly and recommend award to Horrocks Engineering. Morgan stated the next step is to create a scope of work for the project and bring back to the Council at a City Council Meeting in February for final approval

- Council Member Nielsen moved to approve the Request for Qualifications Award for the CE&I and award to Horrocks Engineering and utilize Proportionate Share Fees; Council President Hershey seconded the motion. Roll call vote: Hershey aye; Wheelock aye; Nielsen aye. Motion carried.
- **D.** Approve / Authorize Expenditure for Historical Committee Approve / Authorize the expenditure of up to \$21,100 for Oral History Interviews on Film (ACTION ITEM)

 Mayor Chadwick explained the Historical Committee has been working on getting an oral history project

underway. The hiring of Fish Dawg Firm would be to film the Oral Histories.

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7.

CITY COUNCIL REGULAR MEETING MINUTES

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Council Member Nielsen stated the quote was not as clear as he would like and suggested the item be tabled for further consideration at a later date. The quote appeared the city would be purchasing filming equipment.

Item tabled to another date.

ADJOURNMENT

E. Approval / Authorize Expenditure for Riverhouse Fence - Approval of Fence Installation utilizing Park Impact Fees for the Capital Expenditure (ACTION ITEM)

Mayor Chadwick explained because of the increase of use of the Riverhouse, the neighboring property needs to be protected. This proposal is to utilize Park Capital Improvement fees to build a six-foot fence between the Riverhouse and the property to the north to protect it from noise and light pollution.

• Council Member Nielsen moved to approve / authorize the expenditure for the Riverhouse Fence Project and utilize Park Capital Impact Fees; Council Member Wheelock seconded the motion. Roll call vote: Hershey – aye; Wheelock – aye; Nielsen – aye. Motion carried.

Mayor Chadwick adjourned the meeting at 7:28pr	n
	ATTEST:
Trevor A Chadwick, Mayor	Jacob M Qualls, City Clerk - Treasurer

jmq Page **3** of **3**



CITY COUNCIL REGULAR MEETING DRAFT MINUTES

City Hall - 10769 W State Street, Star, Idaho Tuesday, February 7, 2023 at 7:00 PM

 CALL TO ORDER – Welcome/Pledge of Allegiance Mayor Chadwick called the meeting to order at 7:00 p.m.

2. INVOCATION -

Bishop Cody Larsen of the Floating Feather Ward of the Church of Jesus Christ of Latter-Day Saints offered the invocation.

3. ROLL CALL

ELECTED OFFICIALS PRESENT: Mayor Trevor Chadwick, Council President David Hershey, and Council Members Kevan Wheelock, Jennifer Salmonsen and Kevin Nielsen.

STAFF PRESENT: City Planner Shawn Nickel, Assistant City Planner Ryan Field, City Engineer Ryan Morgan, City Attorney Chris Yorgason, City Clerk-Treasurer Jacob Qualls, Deputy City Clerk Barbara Conly, Public Information Officer Dana Partridge, Deputy Fire Chief Victor Islas and Star Police Sergeant Steel and Chief Zack Hessing were present.

4. CONSENT AGENDA (ACTION ITEM)

- A. Approval of Claims Provided & Previously Approved: 1/14/23 2/2/23
 - Council Member Salmonsen moved to approve the consent agenda; Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey- aye; Wheelock – aye; Salmonsen – aye; Nielsen – aye. Motion carried.

5. PUBLIC HEARINGS with ACTION ITEMS:

A. PUBLIC HEARING: Colt Heights Subdivision (FILES: PP-22-09 & PR-22-03) - The Applicant is seeking approval of a Preliminary Plat and Private Street for a proposed residential subdivision consisting of 5 residential lots and 2 common lots. The property is located on the north side of the existing Colt Place Subdivision in Star, Idaho, and consists of 10.96 acres with a proposed density of .46 dwelling units per acre. (ACTION ITEM) - INITIALLY TABLED FROM NOVEMBER 15, 2022 TO DECEMBER 6, 2022 to JANUARY 3, 2023

Mayor Chadwick noted that Council Member Nielsen was not present at the public hearing on January 3, 2023 and as such, would not participate in the decision. Mayor Chadwick asked if any of the Council Members had had any ex parte contact and, hearing none, re-opened the public hearing. He clarified that the sole purpose of this evening was to answer whether the applicant was willing to reduce the project size from five lots down to four.

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Applicant testimony:

Becky McKay with Engineering Solutions L.L.P. was present to represent the applicant Cory Barton of Challenger Development Inc. Ms. McKay explained that she had the Council's suggested meeting with Mr. Barton after the initial hearing date to discuss the number of lots and that the owner requested mitigation. McKay explained that back when the Colt Heights subdivision was originally approved this was north of the foothills ditch and there were seven lots. She said the applicant wanted to understand where it came down to a proposed reduction in lots and noted their extensive mitigation to try to preserve as much of the vegetation on the ten-acre parcel as possible.

McKay referenced a site drawing available in the Council Packet and explained that Challenger Development Inc. has 6.3 acres on the eastern side of the development. She stated that Cory Barton asked to put the plan together to better demonstrate what the building envelopes would look like. Referencing the drawing, she noted that they darkened all of the trees, vegetation, and wetland areas so these could easily be viewed. McKay explained that they created the building envelopes and certain pads that will be buildable, and noted it is possible to combine two lots. However, she stated that the owner's answer after looking at his building plan is that he does not see why it would be necessary to reduce the number of lots. She said Barton's position is that the development agreement was approved with five lots, and they have reduced the planned street length and made a specific effort to save as many trees as possible. For allowing 28 feet of roadway vs. the standard 36, McKay noted the developer feels that he has mitigated as much as possible to save trees and is entitled to having the five lots. The applicant stood for questions.

Mayor Chadwick closed the Public Hearing at 7:09 p.m.

Council deliberation:

Council Member Wheelock stated that he prefers wider roads regardless of public or private designation. His opinion is that the people below will want trees, but that the new owners may not want them. He expressed appreciation for the updated map.

Council Member Salmonsen said she agreed with Wheelock and that the applicant has gone to lengths to preserve the natural habitat and trees. She said her position is that they are entitled to the five lots and noted they could go up and cut it all down and the City has not say over that. She said she felt the developer is making an effort to save trees, that this is a good design. Salmonsen said she is okay with the narrower streets because it is only going to serve five homes, as long as it meets the fire department requirements. She asked for clarity about the waiver for the park impact fees; Council discussion verified that this was only if it was four lots.

Council discussion also surrounded the applicant's idea to turn the natural space (see map, Council Packet) over the to the City which could be an option as a conservation land trust. Salmonsen noted Council has

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not had much discussion about that idea and would be interested in further pursuit. Council discussion also further clarified that the offer to waive Park Impact fees was only in the event of four lots.

Council Member Hershey advised he is all for turning the aforementioned land into a conservation trust and likes what the developer is proposing.

Council Member Salmonsen inquired if Council could put the idea of the conservation trust in a motion as a condition of approval and work out the details later. Mayor Chadwick noted that further discussion needed to occur and suggested that Council pursue an easement for pathways.

City Planner Nickel verified that the City wants to reestablish the forty-foot setback on the north boundary to the property line and the easement for a public pathway along the Foothill Ditch running East and West and into the common area, and place the common lot into a conservation easement, City park or land trust.

- Council Member Salmonsen moved to approve the Colt Heights Subdivision Preliminary Plat and Private Street with the following conditions of approval: re-establishing the forty foot setback on the north boundary to the property line; the granting of an easement for a public pathway along the Foothill Ditch running East and West and into the common area; placing the common lot into a conservation easement, City park, or land trust with further discussion to follow; that the density is set at R1; that there is no private gate; that the developer Challenger Development Inc. does agree to the ITD proportionate share; open fencing to be placed on the north side; and allowing the twenty-eight foot roadway, with sidewalk to be installed on Wooden Wagon Way. Council Member Hershey seconded the motion. ROLL CALL VOTE: Nielsen abstained. Hershey aye; Wheelock aye; Salmonsen aye. Motion carried.
- **B.** PUBLIC HEARING: Medici Vista Subdivision Annexation (FILES: AZ-22-08 & DA-22-08) The Applicant is seeking approval of an Annexation & Zoning (R-1) and Development Agreement for a parcel to be future subdivided. The property is located at 4401 N. Pollard Lane in Star, Idaho, and consists of 13.12 acres. (ACTION ITEM)

Mayor Chadwick clarified the administrative need to open both public hearings at the same time and noted that the vote would be taken first for Item 5B, then item 5C in turn. See below item 5C for full notes.

C. PUBLIC HEARING: Medici Hills Subdivision (FILES: AZ-22-07, DA-22-07, PP-22-12 & PR22-04) - The Applicant is seeking approval of an Annexation & Zoning (R-2) Development Agreement, Preliminary Plat and Private Street for a proposed residential development consisting of 74 residential lots and 10 common lots. The property is located on N. Highway 16 in Star, Idaho, and consists of 48.74 acres with a proposed density of 1.81 dwelling units per acre. (ACTION ITEM)

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The Mayor clarified the public hearing process, asked the Council if there had been any ex parte communication and hearing none, opened the public hearing at 7:20 p.m.

Council Member Salmonsen noted that there was a question of two different dates. Planner Nickel advised that a question had come up with respect to the process and clarified that the Hillsdale subdivision had a neighborhood meeting and that the application was made.

Mayor Chadwick noted that the question was of the date it was submitted vs. when it was accepted, pointing out that the City kept it while undergoing the process of updating the City code. He further noted that the language needs to be submitted by date, and that the City followed code with respect to the timing of the submission and payment.

Applicant Presentation

<u>Blaine Womer of Blaine Womer Civil Engineering of 4355 West Emerald Street, Boise,</u> represented the applicant, Bruce Bente of Medici Hills Joint Venture. He noted that Andrew Newell, who did the bulk of the technical specifications was present if there were other questions.

Mr. Womer noted that the times are for the annexation and zoning and preliminary plat on the location of the West side of Highway 16 and showed Medici Vista vs. Medici Hills on the map (included in the Agenda Packet). He clarified that Medici Hills is going to have access through Medici Vista.

Womer discussed that both land tracts are designated as Estate Residential and that they are not proposing changes to the zoning and are planning on 1.25 dwellings per acre. He explained that the Medici Hills preliminary plat is for 74 single family lots. Private streets would be governed by the HOA and there would be a sixty foot right of way with curbs and sidewalks on either side. He said that lot sizes would range from 12,377 to 35,216 square feet. He stated that proposed open space is in compliance; per the City Code R2 it is 15% of the project area and thus their project meets the requirement at 17% and that at least ten percent of that is useable land. The applicant has calculated 9.54% and will request a waiver to work with City Staff to get to the usable open space requirement.

Womer explained that Medici Hills is not a typical flat land development. There is significant topographical relief present, so terracing and contour grading will be necessary. They plan to cut slopes and work with the landscape to create enhanced views and privacy. He stated that Hillsdale would not be negatively impacted. The minimum elevation differential between Hillsdale and Medici is 55 feet and the maximum building height is 35 feet.

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The applicant noted that the City's comprehensive plan discusses steep slope and explained that there would be certain areas designated as "no development areas" which are isolated areas noted in red on the map (see Agenda Packet). He said these are clearly isolated areas.

Referencing the map, the applicant demonstrated that the cross section depicting the proposed site grading where there are 25%+ slopes, noting the western boundary where there are contours leading to Hillsdale. With respect to lot grading, he noted that the hillside storm water needs to be intercepted in a concrete ditch and allow the water to run off and drain to the v ditch through a system of drainage swales. Individual pads will also have a 1% grade drainage and water will route to the street and ultimately to the storm drainage system to help reduce maintenance.

The applicant noted as a final point that they have been talking about rumors of the lots possibly having been used as a dumping ground. No debris has been found by the geotechnical firm during excavation; if dumping is discovered, he noted that the developer is required to report it and pursue remediation.

The applicant concluded by stating that they concur with the findings and the conditions of the City Staff Report and have also worked out temporary access with ITD on Highway 16 through Medici Hills as a future point of access. He noted that City Engineer Ryan Morgan has set specific conditions that the primary access be through Plummer. The applicant stood for questions.

Council deliberations:

Council Member Nielsen said he appreciated the application's level of detail, and asked about the development plan for landscaping, house plans/types of housing, and any mitigation details. He asked the representative to say what the applicant is about.

The representative noted that the conceptual landscaping plan in packet and showed some sample home styles. He referenced the "butterfly plaza" as a specific landscaping amenity, as well as a pocket park, noting there were some active and some passive amenities. Mayor Chadwick asked that home elevations be included as part of the development phase.

City Planner Shawn Nickel provided clarification on a late issue that came up with the transitional lot requirements in the City code. He explained that City code requires that when there is an overlay area where we have two areas adjacent, for example in this property at the north and west side. With respect to the west side there is one lot where the majority of the western lot is an open space in the Hillsdale are there is one lot that abuts the subdivision and as such, the requirement in the code is that there be a one-acre transitional lot. Lost 18 to 22 would need to be combined and the second area to the north would be an undeveloped lot. He said that with the way the code reads it does not fall under the requirement of "transitional" and as such, the lots to the north would not need to be redesigned. Nickel asked the applicant to confirm awareness and that they will comply.

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The applicant representative stated that they are now aware of the requirement and will comply.

Council Member Nielsen commented that we have seen this printout of the sample home elevations and they look like beautiful homes that will fit on the one and two acre lots. He asked what will be seen in the Medici Hills subdivision. The representative answered that these were provided by the applicant and were geared to be nice homes.

Mayor Chadwick expressed concern over the 25% grade of slopes, noting a fear of slippage and sliding.

The applicant responded that the hillside concern is for 2:1 slope and explained that when there are potential situations where landslides could occur you plan for construction stability through engineering and grading. He said the question ends up an interpretation of how it meets with the City Code. He stated we are talking about an isolated 25% of the area.

Council discussion moved to roadways. Mayor Chadwick talked about Highway 16 and how ITD had already started the process with it as an expressway. Council Member Salmonsen spoke about Plummer Lane, noting concern about the traffic on Pollard that this would result in. She asked if the applicant was proposing any improvements.

The applicant answered that Pollard would be improved in areas to allow for safety. ACHD restricted the improvements to the Medici Vista frontage road and the left turns off Highway 16 onto Pollard/Medici.

Council Member Salmonsen thanked the applicant for the elevations for Medici Hills and expressed concern over Medici Vista, noting that it has some steep slopes. She asked if the City should the require the chance to see the concept plan?

Mayor Chadwick noted there is one in the packet for concept. The development agreement would be a condition of approval and the elevations could be brough back and placed for the Consent Agenda so Council could see them.

City Engineer Ryan Morgan said he looked at the lower one, and that it does not have any 25% slopes, so is not as critical as per the Comprehensive Plan.

Council Member Salmonsen noted section 8-1B of the development agreement about concept plan requirements for steep slope and mentioned the neighborhood to the north with respect to pathways.

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The applicant mentioned regarding the pathway, that the proposed pathway to connect to Hillsdale to the north would require the neighbors to the north agree to it.

Council Member Wheelock asked clarification that the left turn lane is off of Highway 16 and onto Pollard and that the other entrance is not to allow anything but emergency vehicles. The applicant said it was the middle two strips of land in that. Wheelock stated it looks like leveling off a mountain to fit the project plan and that he preferred for it to be left the hilly sloping area that it currently is, that from his perspective it would be taking a whole mountain and moving it to another area and going around the intent of the City's code and Comprehensive Plan.

Council Member Hershey remarked that the documents say 25%+ slopes; he inquired as to what amount the plus would equate to.

The applicant pointed out the highways and said that they determined if some of these areas are for example, 30% and covered everything then that is higher. He stated that it's a lot of land, so it appears a lot.

Public Testimony:

<u>Cornelius Zuman</u> was asked to the podium but declined to speak; he stated his question was answered by the Mayor's line of questioning.

<u>Devin Connor of 5486 N Star Ridge Lane, Star</u>, read from prepared remarks. He stated that he has some questions about the subject property. He said he is owner of the parcel of the west side and has noticed in the Comprehensive Plan that the special overlay transition area does not have him listed on the map. He stated that because his property is no different than the Hillsdale subdivision, that his request is to be able to have the same protections as the special overlay with respect to the 8-3B-3 with lots abutting having to conform to the one acre or larger acre size. Mr. Connor also expressed concern that the water needs to be moved to a higher elevation. He noted that he expected this tank could potentially be right outside his backdoor and asked that mitigations be performed for the design and size of any screening. He is concerned to ensure that these items not adversely impact his view and property value.

City Engineer Ryan Morgan replied that yes, it is typically preferred to have buried water tanks and that the City can talk with the neighbors about screening and mitigation.

Council Member Wheelock asked to confirm on Mr. Connor's behalf that the lot mentioned be a part of the overlay. Shawn Nickel added with respect to the Comprehensive Plan, that when Hillsdale was designated as a special transition area, that Mr. Connor's land was missed; it will be included going forward.

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Amber McCormick of 54586 N. Star Ridge Lane thanked Council with respect to the special overlay area. She said the meeting was already addressing several of her concerns about transitional area, as well as the water tank. She stated that her number one concern is having screening or a privacy wall between the properties for the sake of the properties below them. She said she prefers nature screening, to protect the property values of all concerned. She noted concern over slopes.

Niles Norquist of 4652 N. Echo Summit Place, Star, expressed his appreciation the questions the council has been asking. He said many of those issues were addressed by Staff and engineer and in particular, the City Engineer. He said for the most part, Council homed in on his concerns about Highway 16 becoming a five lane road. He noted he did not see any crossing of the Farmers Union Canal and was not sure if they were asked to respond. Norquist said there is at least one crossing and that pathways and crossings were going to require their approval. He expressed concern over the steep slopes and said that was part of the character of the property. Norquist noted that on the grading plan, these are north and east facing slopes and this environment requires great planning given that the slopes will have severe winter exposure. He suggested an easement rather than steep grading coming down to property lines and left a document (on file with the City Clerk).

Gordan Sony of 12670 W. Deep Canyon Drive said he felt Council was asking the right questions. He stated he had lived at his residence for eleven years, and that his understanding was that the intended subdivision was an old County dump. He said he had encountered old timers who recalled going there with their parents many years ago to dump. Sonly said he knows the information is still coming in and said he is not against the development. He said he went to a meeting about eight or ten months ago and asked if that didn't used to be an old county dump. Three or four days later, he said he was out walking his dog and observed equipment with sniffer tubes for what he assumed was methane gas. He to IDEQ to inquire and says he is concerned because the applicant does not know what they have there and for kids because of the potential of methane gas presence.

Mayor Chadwick noted that if this project is approved, that the applicant will need to comply with IDEQ.

<u>Keith Hill of 8602 W. High Ridge Lane</u> stated that this land was used as a dump. He said he was pleased to hear that there will be a north turn lane to get onto Pollard. Regarding making decisions, Hill suggested to Council that under the Land Use Procedures Act their decisions are correct until they are challenged. He expressed concern for health and safety and said that God does not make dozer tracks on the mountain. He said he thinks it should be ten acre lots and make that work with the existing plan and don't spend millions of dollars. He said the less they dig, the less likely they will find the old dump.

<u>Scott Emmerich of 4981 N High Prairie Place</u> asked about the date of application of the map, noting on pages 180 and 184 of the Agenda Packet he sees a handwritten date of 6/3/22 and for the Medici Hills and Vista on June 2, 2022. He asked clarification, as this looked like it exceeds the three-month requirement in

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which concerns are to be answered. Mr. Gordan mentioned he felt the dump was not addressed. He mentioned that during the applicant's presentation of the map that the lots to the north that were not Hillsdale, those were annexed in Gold Fork and were as transitional lots.

Abby Germaine from Elam & Burke said she was representing the Hillsdale Estates HOA. She said that the issues the HOA have were indicated in their February 2nd letter sent to the attention of the City Engineer. She said the letter was included at the end of the report and asserted that those conditions must be met prior to Council approval. She referenced code 8-6-3 and 8-1B-1 regarding traffic and access. She said adjustments were made by the applicant at the 11th hour. For access by Hillsdale Estates, they have had those discussions, but it was denied. For the geotechnical report, with regard to a potential landfill present, she has not seen the report and feels the Council should not act to approve at this time.

Council Member Hershey asked Ms. Germaine which were the agencies that have not gotten the initial reviews? She said ITD and ACHD have provided initial reviews but not the new revisions and the point about primary access being off Highway 16 and had no idea how they feel about those.

Sheree Shields of 9947 W. Langtree Gulch Road, Star, said many of her concerns have already been addressed during the meeting. For Highway 16, she asked if that is supposed to be a primary access road and inquired if those plans have been submitted. She expressed concern over the density of the project and preserving the rural nature of the area. She mentioned rural development in Star and that some do not have streetlights and encouraged protecting the rural nature of Star. She said she lives close to BLM land and that she has concerns over light pollution and diversity of land. She asked that the lots all be changed to 1 acre and higher.

Chris Todd of 10497 W. Canyon Drive, Star, said this is a hillside and is something new. He noted that the City had Trident Ridge. He noted the wildlife corridor is vital, and that it is a multiuse byway - a pathway to farmers, lots of wildlife, and a cool area. He noted the land connects into the Farmers Union canal, and mentioned the byway to connect the north and to the south butterfly garden. He said it seems to be built on a slope and that there is no license agreement with Farmers Union so wondered if the City planning to work with them. He noted the soil and geology reports, and said the owners have a right to develop their land in compliance with code.

<u>Eric Wiseman of 100060 Highway 16 in Eagle</u>, says he lives north of the drag strip. He stated there is a reason families move out to a rural area, because of the wide-open spaces. He said people are going to miss what they lost and will not know until it happens. He asked the Council to avoid approving postage stamp sized lots. He said his background is in public safety and that he has not seen the where is the water going to come from in this project, so wonders what happens when the area has a drought. He noted there is too much high density on Highway 16, said he is in Star Fire District, and asked if there will be more fire stations planned.

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Mayor Chadwick explained that Star Fire District is building a new station on Floating Feather, Station 53; the City put in place a mitigation fee structure that will pay for new deputies and fire personnel for that station.

Todd Collins of 4728 N Echo Summit Way, Star, said his area has a Dead Man's Curve. He said he implores the Council to look closely at the intersections that go into Medici and that the only way for emergency access ITD gave without any improvements and that ITD also approved that on Pollard as long as there was a left turn on Pollard, they did not need to build this until August 2025. He said this is going to leave many people stuck out in the road as they attempt to turn on Pollard without a turn lane, and noted that at the same time, the people coming up Highway 16 are curving thorough an S curve. In order to make this safe, he feels it would need a left and right turn lane on both the highway and on Pollard. One other improvement would be an acceleration lane to merge into the southbound traffic. He proposed main access with a left at Beacon Light and a right at Pollar. He stated he felt a lot of improvements need to be made.

<u>Joyce D'Agostina – 2521 N 24th Street, Boise</u> – used to live in the neighborhood and is still a landowner. She said she owns 40 acres on the left of Medici Vista and 15 acres on the side, and noted both are vacant lots coming up Pollard. She mentioned that on a very preliminary plat there was a Catarina stub. Her concern is that the subdivision may have a lot of traffic. She wants to make sure that she is going to continue to be able to access her 40 acres and that people will be able to live there if someone else wants to develop at some point. Mayor Chadwick verified with City Planner Shawn Nickel that the stub road was still in place and verified that it could be made a condition in the development agreement.

Robert Fallow of 2203 N Sunny Lane, Star said he was not familiar but would like to follow up on ask staff if there is a vicinity map in the packet. He suggested that the Council deny or table consideration of the project until such time that the applicant fully meets the criteria.

<u>Linda Wombult of 5188 N. High Prairie Place, Star</u> said that she lived in Hillsdale. She wanted to verify that trees would remain. Mayor Chadwick noted that the trees she was referencing were HOA trees and were under Hillsdale's control.

Applicant Rebuttal:

The applicant representative referenced that for Devin Connor, the concern noted was to make sure his land was in the transition area and also the water tank. He said they had done some preliminary work and will do some grading and pressure and work with the City to make sure the height and location is as innocuous as possible.

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He said we now have a pathway to do that as a result of the Council meeting, and remarked that with respect to perceived changes, that this is a normal project and that they work with the City and the development process and conditions of approval come out of this process.

He noted the common theme of the dump, and said he recommended to his client to have Environmental History Phase 1 completed. He said the PVC sticking up and the tractor tracks was from the March 16-17 geotechnical study of the land. For preparation of the geotechnical report, which was submitted to the City, going forward a geologic slope study will be prepared.

For ACHD and ITD, those reports took months of communication. Referencing density, he noted that 1.5 – 2 dwelling units per acre for the transitional development between south and east and Hillsdale to the north is in compliance. With respect to the letter from ITD, he said they had a traffic impact study prepared.

Regarding the testimony of Amber McCormick, the applicant noted she expressed concern for fencing on her western boundary on the slope side. She said they did not have a chance for fencing, noting it is not good for slope stability for drainage and creating some sort of fencing and do not know what this. The applicant will consider what the city feels most appropriate from the testimony provided tonight.

The applicant noted a common theme is the Highway 16 issue; they asserted this is the normal process for developments. He noted the process flow of staff reports and conditions of approval, and what we are seeing this evening and that the only significant change is to take primary access off of Pollard Lane and reduce Highway 16 and noted he sees all this as a positive result.

The Farmers Union canal crossing will be pursued. The applicant remarked on the common theme of the dump, and stated he did not hear anything beyond rumor and that they do not have hard evidence. He reiterated that the process is to hire an engineer and purse an Environmental Phase One and go through records and determine if there has been any dumping in the past. He reminded that the PVC sticking up and recent tractor tracks were the result of the geotechnical report of March 16 and 17 of last year and noted that IDEQ and response took place on March 22. The report in accordance requires the preparation of the report and submittal to the city. He stated he does not know if it becomes public information other than for the City of Star for evaluation purposes and certainly for the use of the applicant. He stated that an upcoming geotechnical report will also need to be prepared with respect to the letters form ITD and ACHD from December and October after working with both agencies and adjusting the applications. He said that nothing has changed except the City of Star has decided to amend the subdivision access.

He noted that another common theme has been density, stating that the Comprehensive Plan and 1.52 dwelling units per acre are in accordance. He said all the lots are residential and a good transitional development to the south and the east.

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Regarding testimony from Sheree Shields' question regarding the access concept plan through Medici Vista, he replied that obviously this would have to an approved right of way. The letter from ITD was traffic engineering done and submitted to ITD and they came back with a letter response.

Mayor Chadwick noted that would have to go back to Farmers Union canal.

Council Member Nielsen asked a question of City Staff, requesting clarification of filing dates and that compliance be assured.

Mayor Chadwick called a ten-minute recess at 9:11 p.m. for a stretch break.

The City Council meeting reconvened at 9:22 p.m.

City Planner Shawn Nickel clarified that the neighborhood meeting was on February 8, 2022. The applicant submitted on March 2, 2022. He said in June, when the applicant the applicant withdrew the preliminary plat for Vista he submitted an updated annexation application and clarified that that was the June date present on the paperwork. The application was held for acceptance while the City was in the process of updating the Comprehensive Plan and the corresponding City Code. It was determined that the signature dates meet the requirements for the submittal date with reference to the neighborhood meeting.

Council Member Wheelock inquired about fire mitigation for the hills. He mentioned lack of trees, and the need for low-sloped fire suppression. For Fire Station 55, Fire Staff noted that they will work with the City on building and staffing the station planned for twelve staff and further noted that it was on donated land. The station will be on Floating Feather there on two acres of donated land and the proposal to fund that build the building and staff with 12 fireman 100% 1st year, 75% 2nd year, 3rd year 50% and 4th year 25% and 5th year would be on the district.

Fire Victor Islas said the project is upcoming and that "five bugle level" staffing conversations have happened. Per his role as fire marshal, Mr. Islas noted this project is within the wildland urban interface area and will require a mitigation plan. He noted his co-worker has already hit on the landscaping, plants that require less water, the need to address backyards, and the grass in the neighbors' properties, and water supply. Islas said that ultimately there is a situation that brings in wildland mitigation, from Canada Road to the Boise foothills.

Council Member Wheelock asked about the boundary.

City Engineer Ryan Morgan noted that building code requires three feet plus one foot of every vertical change, with a minimum of seven feet. He said it is six feet from the top of the slope to the property line.

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Council discussion surrounded Environmental Phase 1, and what that entails. It was clarified that a geotechnical firm performs records research and interviews past property owners and after this exhaustive records research, the firm will determine whether or not there is a need for Phase 2 if excavation is needed. Takes anywhere from two weeks to a month to prepare.

Council Member Wheelock wondered about the isolated slopes, and whether the applicant looked at preserving the natural slopes rather than moving earth and terracing.

Council Member Nielsen inquired about the fire station, asking clarification as to whether this is part of a development agreement and if yes, where the documents were. It was clarified that this is conversation only at this point.

Mayor Chadwick said he believed the project needed to be looked at again with respect to the slopes. He mentioned the fingers and said he would like to see what that looks like and to see an updated preliminary plat and see what those lots look like with an actual Highway 16 and the plan on the pathway not being a concrete pathway. He said maybe the thought was doing crushed gravel, noting a concern for ADA compliance.

Mayor Chadwick stated he would like to see the development work with the nature that is already there, and to go back and look at that. He summarized the ideas about keeping the hills, having lots be at least one acre, the access roads, and the pathway in the center.

Council Member Nielsen said he wants to pursue the paper the citizen presented about the deadly corridor and work with Staff and the City Engineer and maybe it is time to take a serious look at Pollard.

The applicant stated that the critical point to them this evening is the topic of annexation and zoning and that they would be more than happy to come back before Council with a preliminary plat.

Council Member Wheelock noted that no one has said "no" to development overall for the project, and said he thought perhaps Council could approve and then have density assigned. The applicant representative replied that he thinks it will be above R1 but lower than current.

Mayor Chadwick closed the public hearing at 9:57 p.m. on the topic of annexation and zoning.

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Council deliberations:

Council Member Nielsen said he really appreciates the discussion over Comprehensive Plan interpretations and what he is especially moved by is the willingness of the applicant to take the feedback presented from the public and City Council.

Chris Yorgason advised that the Council had various options, but that the annexation has to come first. He said they could move to rezone the subdivision through the development agreement, that they can table it, and reminded that nothing becomes official until the City adopts the ordinance. He clarified that this matter could be bifurcated.

Mayor Chadwick inquired if the Council approved annexation and zoning, how long would it be if they tabled the other portions of the proposal.

City Planner Shawn Nickel noted the issues of Highway 16, traffic reports, and said he the applicant would need to submit a preliminary plat so agencies can update their reports, also noting the slope and hillside issues.

Mayor Chadwick directed City Staff for noticing to go out not just to people who have land 300 feet away, but also the names who signed in on the Public Comment sheets this evening.

Council Member Nielsen requested that the applicant look at maybe a cul-de-sac at the end of Pollard and consider closing it off. The applicant replied that they would bring a traffic engineer consultant in to look at this.

Mayor Chadwick asked the applicant if they are good with the annexation and zoning this evening and tabling the rest to a later date. The applicant answered yes and said they would bring the preliminary plat back to Council in the future. Mayor Chadwick noted there would be a new public hearing later for the other segments.

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- Council Member Nielsen moved to approve the Medici Vista subdivision annexation with the following conditions of approval: hard path surface with ADA compliance and notice to go out not only to landowners within 300 feet but to all that testified this evening and no greater than 1.52 density with an Environmental Phase 1 study and requirement that the applicant submit new concept plans to the engineers the Highway 16 access to be emergency only and directed applicant to leave slopes in. Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey aye; Wheelock aye; Salmonsen aye; Nielsen aye. Motion carried.
- Council Member Nielsen moved to approve the Medici Hills subdivision annexation with the following conditions of approval: hardscape pathways and notice to go out not only to landowners within 300 feet but to all that testified this evening, no greater than 1.52 density, and require new concept plans and work with City Staff and Engineers, and with Highway 16 access to be emergency-only. Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey aye, Wheelock aye, Salmonsen aye, Nielsen aye. Motion carried.
- Council Member Nielsen moved to table the remaining related items of DA-22-08 and DA-22-07 to
 a later date. Council Member Hershey seconded the motion. ROLL CALL VOTE: Nielsen aye;
 Salmonsen aye; Wheelock aye; Hershey aye. Motion carried.

Mayor Chadwick called a five-minute recess. The meeting was called back to order at 10:10 p.m.

D. **PUBLIC HEARING: Jackson's Food Store Conditional Use Permit (FILE: CU-22-07)** - The Applicant is seeking approval of a Conditional Use Permit for a Jackson's Food Store. The property is located on the northwest corner of W. State Street and N. Star Road and includes 61 N. Star Road, 11273 W. 1st Street, 11289 W. 1st Street and 11253 W. 1st Street in Star, Idaho. Property consists of a total of 1.41 acres. (ACTION ITEM)

Mayor Chadwick read the Public Hearing Rules and asked Council Members if they knew of any ex-parte contact. Hearing none, the Mayor opened the public hearing at 10:11 p.m.

Applicant Presentation

Jessica Aguilar of Jackson Food Stores at 3450 Meridian presented a request for the Jackson location to be placed at the corner of State Street and Star Road. She explained the proposal was for a 4800 square foot convenience store and gas station on approximately 1.4 acres. Ms. Aguilar noted that the request involved a conditional use permit for the construction of the new convenience store, fuel canopy, and various site improvements. Aguilar said that Jackson's has reviewed the City's conditions of approval and that they have no issues. She noted there would be a swale and permeable pavers for stormwater. She also explained that Jackson's has secured cross access with the neighbors to the West, and that they disagree with the

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request for the northern one. She asserted that the property to the west will have access off of Union and State Streets. The applicant stood for questions.

Mayor Chadwick asked if it was north/south on the cross access. City Planner Shawn Nickel said it was modified per ACHD. Mayor Chadwick also asked about the lighting plan regarding surrounding neighboring homes. The applicant noted that they were submitting a lighting plan with the sign and that the address was designed to be on the building.

Council Member Salmonsen asked the applicant to describe the pedestrian footpath at the corner of Star Road and State Street, as well as the curbs, gutter, and sidewalk. She asked if there was any access off of State Street from the corner, noting that there are many children in Star and the need for pedestrian child safety.

Council Member Wheelock asked about First Street access, inquiring whether it was 35 feet only or if it could be made wider.

City Planner Shawn Nickel advised that the City could take a look at potentially making the access wider, and that the City would communicate with the applicant's contract engineer.

Public Testimony

Matthew Dugan of 11450 West First Street, Star, explained that he had the largest lot on First street. He said he has no problem with progress. He noted that First Street is narrow, and he expressed concern about the large number of children, perhaps up to twenty, who live on the street. He said driving on narrow streets is one thing, but people cannot walk across the street on Star Road. He suggested the potential mitigation effort of making First Street one way going west.

Applicant rebuttal:

Jessica Aguilar noted this was helpful information and said that ACHD is requiring Jackson's to improve a local street. Specifically, they are to improve to the center line 18 feet and put in curbs, gutters, and sidewalk and there is currently an irrigation ditch they are covering for safety.

Mayor Chadwick closed the public hearing at 10:26 p.m.

Council Deliberations

Council Member Hershey said he wasn't aware of any objection to this project and went ahead and
moved to approve the conditional use permit, with the added condition of approval for the applicant
to look for any viable solutions for a wider access than thirty-five feet on First Street if possible and
removing the northern cross access. Council Member Nielsen seconded the motion. ROLL CALL
VOTE: Hershey – aye; Wheelock – aye; Salmonsen – aye; Nielsen – aye. Motion carried.

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E. PUBLIC HEARING: Burnett Storage Annexation & CUP (FILES: AZ-22-13, DA-22-14 & CU-22-06) - The Applicant is seeking approval of an Annexation and Zoning, Development Agreement and Conditional Use Permit for a Storage Unit Facility. The property is located at 771 N. Hwy 16 in Star, Idaho, and consists of 16.76 acres. (ACTION ITEM)

Mayor Chadwick read the Public Hearing Rules and called for a report of any ex-parte contact from the Council Members. Hearing none, Mayor Chadwick opened the public hearing at 10:29 p.m.

Applicant Presentation

Jeff Hatch of 200 West 36th Street, Boise, of Hatch Architects said represented the owner, Brian Burnett, who had purchased the property and initially proposed town homes. He stated that he went through a few iterations when attempting to find the most appropriate use for the property. He said town homes were not recommended when discussing with the City, so they returned and looked at the idea of apartments, then finally decided to propose the storage condos. Hatch noted that storage condos is a significantly different product than usual storage places because they are individually owned rather than rented storage units.

Mr. Hatch noted the land was surrounded by residential and some agricultural. He explained that the proposed site had a range of self-storage condo units and pointed out the future roadway on the western side and that they were working with ITD for access off Highway 16.

Hatch said primary access would be set in in place for the development initially and then modified in the future. Hatch asserted that it was logical and complementary land use, as the project would be tucked in between subdivisions that have fairly strict HOA's, so the expectation would be that the surrounding neighbors could store their boats and RV's. Hatch said the owner considers it to be a low impact/low traffic area and noted they removed Toll Brothers' access per their feedback. The applicant stood for questions.

Council Member Nielsen asked about signage, inquiring if they plan on having signage banners or other large advertising. The applicant noted that the renderings show signage physically attached on buildings. Nielsen asked if the units are enclosed, and as to what types of uses there would be (shops, light manufacturing)? The applicant replied that yes, are units all enclosed. With respect to what storage condo owners can do inside, the applicant noted that they can submit a tenant improvement request but that the CC&R's would not allow someone to live in the units. He said that the standard Storage CC&R's protect the neighborhood from things like manufacturing. City Planner Shawn Nickel noted that the conditional use permit is specific for storage, but that the Council could also set conditions as needed.

Council Member Wheelock asked the applicant to envision a 5-year timeline, and asked what happens if the western access does not turn out for him. For example, if Highway 16 is to be improved, he wondered if ITD would allow them to pursue building a frontage road to the property.

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Council Member Salmonsen said she was curious to understand why it was proposed with a Mixed-Use designation when it is all storage. She inquired why the applicant was not asking for commercial. City Planner Shawn Nickel explained that they are pursuing Mixed Use because of the Comprehensive Plan and that they are trying to keep the use as the least intrusive as possible.

Council Member Salmonsen referenced the Pathway Master Plan Map and noted that there is a listing for a community pathway at the Rosti property and on the western side, a proposed future north/south connector.

<u>Brian Burnett, owner of the subject property</u>, noted the potential access points. He stated that he felt the landowner was not required to build their second structure, and that ITD had to give if they build the frontage road. He said that he will give 60 feet if it becomes a right-in and right-out drive, and then the frontage road would be another option.

Council Member Nielsen noted the earlier hearings' applicants were willing to work with the City and guided the applicant and with his willingness to work on the subject of traffic in terms of this project is a critical point and the Mayor is offering him an opportunity by working through this with him. Burnett noted he had tried out various project ideas for the property previously, and he would continue to work with the City.

Chris Yorgason asked if there was any alternative for direct access if ITD builds the frontage road, stating perhaps there were multiple ways to pursue this.

<u>Craig Kramer of 1026 West Eagle</u>, spoke in support of the project. Kramer noted the market is very good for this type of business and that it is very difficult to find a storage condo in this region. He said he felt it would be good for the city because of all the development in Star and in the immediate area. He said he thought it was a great project to increase tax revenue and that it would also help the other developing neighborhoods by keeping their toys off the streets. He noted another positive was that these units are owned and not rented, and lots can be customized with flooring, lighting, and cabinets, etc.

Michelle Galloway of 1025 Highway 16, Star, said that she and her family live on the adjacent property to the north. On October 21, she said they were told of the proposed road that and that they had no recourse. She said they met with City Planners Nickel and Field, and that the proposed road is unacceptable to her family. She said her family and property will be adversely impacted by this project, noting that she supports the applicant's right to develop his property but not to adversely impact hers.

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Chad Hartley of 1015 Highway 16, asked to clarify which plan. *Clarification was provided that it was the one shown onscreen at the City Council meeting. Mr. Hartley said that his property is the fire station that everyone sees when they pass the area. He said the proposed future, to live there with 50 feet of road between the well in the middle and all of his family's sewer and water, that this could take away water and sewer and possibly impact electric. He said he has two special needs children, and the road would separate his family from their grandmother, Ms. Galloway, who helps care for them. Mr. Hartley said the project was actually a good business idea, just not through his property.

<u>Chris Todd of 12537 West Goldcrest, Star</u>, stated that he had questions, and that he was not against the project. With respect to the access point off of Highway 16, he said hopefully they get the environmental study in the next two years based off of funding. He said his first question was that there are two property's and how does it work combining the two properties. He said the roofing property to the north gives access points and makes it one. He said he is in favor of the right in, right out driveway design, and has been present when significant accidents have occurred. He expressed concern that trailers, toys, and their tow vehicles changes the traffic problem.

<u>Todd Collins of 4718 N Echo Summit Way</u>, said he felt this was a temporary access solution with the combination of the right in, right out design with very large vehicles coming south and entering into this complex and only allowing one vehicle in at a time will cause vehicles to stack up on Highway 16. He suggested perhaps a provision could be made to allow people on the property to sign in, or other mitigation to avoid traffic delays.

Applicant Rebuttal

Hatch said they would take the feedback given into consideration and discuss with ITD, noting that it gives ITD some proposed solutions. He stated he felt that the project works with several different access points. He said he hopes it comes from the east with the Moyle property. He noted access from the southwest and that they currently have three but with consolidating to one, for both ITD and ACHD, it would meet their intention for backup space.

Council Member Nielsen mentioned that he would like to hear about the property to the north, and whether they were still proposing to go through that property, asking for further detail so there would be resolution for the family.

Brian Burnett said the dispute came about when Rosti Farms and Toll Brothers were going in, that Rosti stubbed in. He gave some history on the two homes, a house and a tiny house. Council Member Nielsen asked, are you or are you not relying on that access?

Mayor Chadwick closed the public hearing at 11:20 p.m.

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Council Deliberations:

Council Member Hershey noted that mixed use is fine, going to and full intentions. Access to anyone else's property, he noted he will not support. Hershey said he would support if we can ask the Mayor to work with ITD the best possible solution for access. He said he thinks it is a great idea and understands Highway 16 is a challenge.

Council Member Nielsen said he likes where access is related to see a motion where the applicant is required to construct the right in right out design, pending a ITD mitigation solution.

- Council Member Hershey moved to approve the Burnett Storage Annexation and CUP with the
 following conditions of approval: that the applicant is required to have the right in right out and the
 ITD works with City of Star on the best possible mitigation option. Council Member Wheelock
 seconded the motion. ROLL CALL VOTE: Hershey aye; Wheelock aye; Salmonsen aye; Nielsen
 -aye. Motion carried.
- F. PUBLIC HEARING: First Street Townhomes Subdivision (FILES PP-22-16 & PR-22-07) The Applicant is seeking approval of a Preliminary Plat and Private Street for a proposed residential subdivision consisting of 30 residential lots, 4 commercial lots and 3 common lots. The property is located at 10206 W. State Street in Star, Idaho, and consists of 4.77 acres with a proposed residential density of 11 dwelling units per acre. (ACTION ITEM)

Mayor Chadwick noted that Item 5F, the public hearing for First Street Townhomes Subdivision, would need to be tabled at the request of the applicant.

- Council Member Salmonsen moved to table the First Street Townhomes Subdivision public hearing until the City Council meeting date of February 21, 2023. Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsen – aye; Nielsen – aye. Motion carried.
- **6. ACTION ITEMS:** (The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
 - A. **FY 2024 Idaho Transportation Office of Highway Safety Grant Application** Discussion / Authorization of Grant Application for the Star Police Department (ACTION ITEM)

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Chief Zach Hessing noted that achieve the goal 1 officer per 1000 citizens. He said we are close to the 18,000-citizen mark and that this grant will help ease the burden. Hexplained that back in October the City Council added an additional sergeant and were adding two more deputies before the end of the fiscal year. He explained that if that occurs, we can add two more deputies and an additional shift and have both a day shift, a late day shift, a swing and a graveyard shift in terms of coverage. This would begin on October 1st and add one more deputy, who would focus on traffic control and add another to assist with all the traffic. He said these two deputies would be a special team.

He stated that Star needs to have deputies focus on speed and education, and also focus on pursuing narcotics arrests. He said this grant would help to pay for an additional deputy; noting that the City of Kuna applied for the grant and got it. When Kuna received the grant, they were able to add two motor traffic deputies one of which was paid with this grant.

Chief Hessing noted that he got help from both the ITD and the City Clerk of Kuna on the proposed application. He said the application must be submitted by February 28th if the City of Star would like to apply.

• Council Member Wheelock moved to approve the FY 2024 Idaho Transportation Office of Highway Safety Grant Application for the City of Star. Council Member Nielsen seconded the motion. ROLL CALL VOTE: Wheelock – aye; Hershey – aye; Salmonsen – aye; Nielsen – aye. Motion carried.

7. ADJOURNMENT

	ATTEST:
Trevor A Chadwick Mayor	lacob M Qualls City Clerk - Treasurer

Mayor Chadwick adjourned the City Council meeting at 11:39 p.m.

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CALL TO ORDER –

Mayor Chadwick opened the meeting at 7pm. He then welcomed those in attendance and led the Pledge of Allegiance.

2. INVOCATION -

Josh Austin, with the Church of Jesus Christ of Latter-Day Saints led the invocation.

3. ROLL CALL

Council Members present were Council President David Hershey, Council Members Kevan Wheelock, Jennifer Salmonsen, Kevin Nielsen and Mayor Chadwick.

Staff present were City Clerk / Treasurer Jacob Qualls, Public Information Officer Dana Partridge, City Planning Administrator Shawn Nickel, City Planning Assistant Ryan Field, City Engineer Ryan Field and City Attorney Chris Yorgason.

4. PRESENTATIONS

A. Star Police Department Report -

Star Police Chief Zack Hessing gave his department's monthly report including crime statistics and trends. The Star Police Department will be doing a Community Education Crime Prevention Night on July 28 at the River house, educating the public and discussing Child Abuse Awareness. They have been doing more property checks and putting up cameras where vandalism is occurring. Hessing also mentioned the Star Police Department patrol cars have Fingerprint Kits in each car which is unlike other police cars in the county. Society crimes are going up, including drug use and DUIs. Hessing talked about practical policing and being proactive and explained Code 3 response times. Mayor Chadwick mentioned an example of how effective the community education and engagements are.

- 5. CONSENT AGENDA (ACTION ITEM) *All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.
 - A. Claim Approval: Provided & Previously Approved
 - B. Findings of Fact: Royal British Motors (CUP-22-04)
 - C. Findings of Fact: Stardale Place Subdivision (AZ-22-02, RZ-21-04, DA-22-02, PP-22-03)
 - D. Final Plat: Cherished Estates Phase 1 (FP-22-15)
 - E. Final Plat: Stargazer Subdivision Phase 1 (FP-22-14)
 - F. Final Plat: Greiner's Hope Springs Subdivision Phases 5 & 6 (FP-22-10 & FP-22-11) REMOVED



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- Council Member Salmonsen moved to approve the consent agenda, removing Item 5F Phase 6;
 Council President Hershey seconded the motion. ROLL CALL VOTE: Hersey-aye, Wheelock-aye,
 Salmonsen-aye, Nielsen-aye. Motion carried.
- 6. ACTION ITEMS: (The Council at its option, may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda. This will be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion; ROLL CALL VOTE.)
 - A. **AREA OF IMPACT RATIFICATION:** Ratification of Canyon County Commissioner's Area of Impact Agreement and Map Proposal **(ACTION ITEM)**

City Attorney, Chris Yorgason explained this is simply a ratification of the Area of Impact Agreement and Map with Canyon County which had been recommended by the Committee of Nine.

 Council Member Nielsen moved to ratify the Canyon County Commissioner's Area of Impact Agreement and Map Proposal; Council Member Wheelock seconded the motion.
 ROLL CALL VOTE: Hersey-aye, Wheelock-aye, Salmonsen-aye, Nielsen-aye. Motion carried.

Mayor Chadwick noted that Public Hearing 7C, Star River Ranch North Subdivision would be tabled to September 6th, as they are still waiting for reports from Canyon Highway District 4.

B. **REQUEST FOR RECONSIDERATION:** Addington Request for Reconsideration - (PP-22-02, PR-22-01) (ACTION ITEM)

City Planning Director, Shawn Nickel explained the applicant for the Addington development has requested reconsideration specific to the conditions of approval at the previous public hearing. The applicant stated three conditions they would like reconsidered: public access easements along walking paths behind the townhouse units adjacent to the private back yards, paving of public access easements along walking paths behind the townhouse units, and payment of proportionate shares of ITD impacts to the State Highway System.

Chris Yorgason reviewed the city code and explained the reconsideration under section 8-1A-9 of the city code, to request reconsideration an applicant or requesting party must have been a party in the underlying action as property owner or applicant, request must be in writing and presented to the city no more than 14 days after council action, must state a basis and brief statement of issues, and have relevant information not previously presented or available. This is the 4th standard that must be met when the city is considering a reconsideration request. It must be something new that was not available previously and is in response to something brought up at the previous hearing.



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Shawn Nickel read the brief justification from the applicant that Council Person Salmonsen included conditions related to items a. and c. that were not brought up during the public hearing and therefore they were not able to rebut. Although the ITD impact fees were discussed, more detailed information has been brought to their attention.

Council Member Salmonsen asked about being able to add additional conditions after the public hearing is closed. Chris Yorgason explained that you can require the additional conditions if it is something that was discussed in the hearing and not something new. Salmonsen noted that pathways were discussed in the hearing. Shawn Nickel mentioned that staff did not make a recommendation or have a condition on items a. and b. but believes they were brought up during the consideration, and the applicants are arguing it was after the public hearing, so they did not have a chance to abut. Mayor Chadwick, Salmonsen and Council President Hershey agreed that there was a lengthy discussion regarding pathways during the hearing so only item a. would be an arguable point. There was a discussion further explaining the proportionate share development agreement and condition.

Council Member Nielsen also agreed that item a. was the only one that should be reconsidered, and he expressed concern about allowing the public easement going in behind those particular lots, that the sidewalks could be used to ensure community walkability but he would like the city to reconsider and remove the public easement off the pathways that go behind the townhomes.

Council Member Hershey moved to offer reconsideration to item a., public easements along walking
path behind the townhouse units. Council Member Wheelock seconded the motion.
 ROLL CALL VOTE: Hersey-aye, Wheelock-aye, Salmonsen-aye, Nielsen-aye. Motion carried.

7. PUBLIC HEARINGS with ACTION ITEMS:

A. CONTINUTATION FROM JUNE 21, 2022 - PUBLIC HEARING: UDC AMENDMENTS - The following Sections of the Unified Development Code will be reviewed for amendment: CHAPTER 1 THROUGH CHAPTER 8: UPDATES TO INCLUDE BUT NOT LIMITED TO ADMINISTRATIVE AND REGULATORY PROCESSES, APPLICATION CRITERIA, IMPLEMENTATION, PURPOSES, DEFINITIONS, APPLICABILITY, ZONING DISTRICT STANDARDS AND REGULATIONS, SPECIFIC USE STANDARDS, SUBDIVISION REGULATIONS, PLANNED UNIT DEVELOPMENTS, DESIGN AND DEVELOPMENT STANDARDS FOR SIGNS, BICYCLE PARKING, LANDSCAPE AND BUFFER AREA STANDARDS, LIGHTING AND STREETLIGHT STANDARDS, SIDEWALK STANDARDS UPDATE; AND ESTABLISHMENT OF DESIGN REVIEW AND DEVELOPMENT STANDARDS; ESTABLISHMENT OF A HORIZONTAL APARTMENT/BUILD TO RENT ORDINANCE; ESTABLISHMENT OF AN AREA OF CITY IMPACT ORDINANCE. (ACTION ITEM)

This public hearing was a continuation from June 21, 2022 and re-opened at 7:35 pm.

Mayor Chadwick mentioned the public hearing on June 21 regarding UDC updates and it was requested by several of the development community to hold a workshop to talk about some of their concerns.



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Shawn Nickel provided the council with the workshop discussion exhibit and briefly went over some of the highlights.

Under Annexations: they updated language regarding traffic impact study requirement; added performance bonds to bonding section; allowed additional days for execution of development agreement to 180 days; left in language on item 7 in the annexation section but removing it from the preliminary and final plat sections; put back in the allowance for bonding of street lights during the final plat process.

Council Member Salmonsen asked for clarification regarding 8-1B-7, stating that it was not clear whether it was for residential as well as commercial. Shawn Nickel confirmed that the intent was for commercial only and assured that it would be made clear.

Under the Useable Open Space Definitions: staff clarified the acceptance of pathways within irrigation ditch easements or common areas as usable open space; did not change setbacks from what was approved.

Under the sales trailers/Offices/Construction Site: allowed for time extensions for model homes, sales centers and construction trailers per the recommendations of the development community.

Under Open Space/Pathways: clarified the useable area open space; included the pathway allowance when it is on an irrigation easement or common area as usable open space; removed the mandatory pool requirements for single family residential developments and increased the incentives by counting pools as three site amenities, keeping it in the multi-family section but taking it out of the single-family section; took out 80' x 40' requirement from multi-family developments.

Under Preliminary Plat Section, TIS: updated the traffic impact study language to match the annexation section. The language was recommended by several development community members and is consistent with Eagle and Meridian; removed the two references in the Preliminary Plat and Final Plat Decision sections regarding building permit limits.

Nickel referred to a letter from BCA regarding the changes staff made after the workshop and is overall happy with changes but still has concerns with setbacks and the language about withholding permits.

Council Member Nielsen asked regarding language concerning the building permits, if they want to change it or remove it once there is a solution. Mayor Chadwick suggested to leave it in and remove it once a solution comes. Mayor and Nickel, both reiterated it is actively being worked on.

Council Member Nielsen noticed that comments around setbacks were questioning why Star Fire requires it when other cities don't, and asked if it had been represented to them that it was not about fire code.



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Mayor Chadwick responded that they had been made aware of our reasoning for not wanting 3-foot setbacks.

Shawn Nickel added an additional item regarding sidewalks and pathways. The BCA recommended on item 4, and staff is in agreement to add some language that will allow the ability for council to on a case by case basis, look at an alternative compliance. They want to have the flexibility in certain circumstances to put language that the council would have to approve any such waivers.

Council Member Nielsen recommended that we do not add that language. If they want it or if there is a need for it that would fall under compliance with our code, they can ask for a variance. Shawn Nickel agreed that the language may be too vague and could easily be abused but recommended using some alternative language rather than just saying a blanket "no."

City Attorney Chris Yorgason read the three standards of variances; that it relieves undo hardship because of the characteristics of the site, must be other than financial in nature and is not detrimental to public health, safety and welfare. Yorgason stated that we have a variance process identified in our code and if they need something different.

For the Build to Rent section, Shawn Nickel said the BCA did not want to get too much into that other than to make sure we have legal backing in anything we approve in that section. Chris Yorgason talked about the legal side, that the police powers is a general term used in statute but the powers of the city are to protect the health, safety and welfare of the community and when it comes to the Build to Rent, the city has the ability to determine what those are and are within its rights to regulate these as long as we are not prohibiting certain types of rentals. The city is no prohibiting those, just trying to address the look and feel of the construction and maintenance of the projects similar to what we do with other multi-family type developments.

Shawn Nickel mentioned that he has been working with members of the development community regarding the Build to Rents and referenced the highlighted areas in the packet on that section.

Mayor Chadwick called a five-minute recess at 8:04 pm. The public hearing resumed at 8:09 pm.

Shawn Nickel referenced the highlighted area, which is the proposed language that staff has compiled using the recommendations from the development community and council input over the last eight months or so and is the basis for the recommendation for that section of the code that discussed the Build to Rent.



City Hall - 10769 W State Street, Star, Idaho Tuesday, July 19, 2022 at 7:00 PM

There were discussions with the Build to Rent community and they were not completely in agreement. Specifically, they were concerned about the review being a conditional use permit that goes back in front of the council for approval. Staff is of the opinion that it's necessary for these types of applications to come before the council similar to a multi-family development due to the moving parts that need to be reviewed. The council has expressed the desire to look at elevations but they are not trying to restrict them or treat them differently. If the intent is to be built like a single-family residential subdivision, then they need to look like those and this ordinance would get us to that point.

Council Member Wheelock asked if there was a way to give the HOA management of this to make sure their houses are maintained and neighborhoods protected. Shawn Nickel responded that the business model is that they own and maintain the entire development, so they will control all of that like an HOA would but it would just be one member, not a board. Wheelock asked if at some point they decided to sell off individual places, if that model would follow it. Council Member Nielsen pointed out that once it is sold, it's no longer under the control of that management company but would be an individual lot owner. Mayor Chadwick and Nickel agreed that there was a need to add language to the standards relating to single-family dwelling developments and subdivisions that CC&Rss and HOAs are to be established if they are to sell the product. There was a discussion on voting rights and limiting unfair control to a portion of the neighborhood. Chris Yorgason pointed out some code requirements and Nickel suggested having a standard reference in there for now and coming back in a future meeting to make adjustments or additions. Nielsen suggest a separation of corporations so there would be no question.

Mayor Chadwick referenced item 2 under the Build to Rent section and assured that the intent of the section is to provide design standards for the Build to Rent development and not to deny the application based on the rental use. Nickel mentioned that was a concern the developer had because in a lot of instances for conditional use permits you have the ability to deny use based on whether you can place enough conditions to protect public health, safety and welfare. Nickel suggested tweaking the language a bit to assure the developers that it would not be a decision based on a rental community but if they cannot meet the design and requirements of the city, it could be denied.

Mayor Chadwick pointed out one more concern, referencing 6l regarding a platted subdivision being developed as a build-to-rent being sold on the open market to an individual. There was a discussion addressing the concerns regarding selling on the free market and what that would mean for protecting the community, making the language in the code more detailed and specific to reflect the city's vision and bring consistency, which would apply to all single-family homes not just the rental communities.

Shawn Nickel suggested taking the sections out of the code and putting together some workshops with some developers, American Homes for Rent, the council and staff, and create consistent standards for every subdivision.



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Mayor Chadwick invited the public to begin their comments at 8:49pm.

Mike Irwin, 2176 W Grassy Branch Dr, Meridian ID

Mr. Irwin expressed appreciation to the Mayor and staff for going through all the different iterations, for the discussion tonight and hopes that they can take this section out right now and work together to figure out some language that works for everyone.

Emily Mueller, 839 S Bridgeway Place, Eagle ID

Ms Mueller expressed thanks for creating a space to dialogue about the UDC Amendments, which was very helpful. Her only remaining concern is with the section about the annexation and rezone and Section B7 discussing limiting building permits. Her understanding was they would hold a workshop to discuss all of the other UDC changes and table those for tonight but weren't expected to have a solution yet to the fire/police mitigation issues so she was surprised to see it still included when they got the comments. They are continuing to work on solutions to the police and fire concerns and would like to see another workshop to talk about what the development community is coming up with. They are all in support of some sort of mitigation fee for fire and police and other solutions the BCA is working on. Mueller stated that another workshop just on that piece would be helpful. She referred to Section 7 and commented that it was unclear how it would be applied and creates unpredictability about where the city would take an annexation application that includes a preliminary plat. She understands that there is no certainty when you come with an annexation application but thinks that this language creates an unpredictability. She requested to have one more workshop to talk about the other UDC amendments, get those agreed to and then continue to work on this.

Mayor Chadwick and Shawn Nickel agreed to removing section 7 and having a workshop, expressing the importance of having the BCA, the realtors included as well.

Council Member Nielsen questioned whether it was even possible to mitigate and talked about the issues with growth being able to pay for growth. Mayor Chadwick mentioned that it's a challenge with small communities in Idaho, but the BCA and realtors are working with legislation on making changes.

Ms Mueller confirmed that their group was not pushing annexations back because of the code, but because the traffic agencies are saying they are five and six months out on traffic study reviews, and it was reiterated that would determine when new applications can go on the agenda because the council won't hear or approve until they get the comments back from the traffic studies.

Mayor Chadwick closed the public hearing at 9:06 pm and moved to council deliberations.



City Hall - 10769 W State Street, Star, Idaho Tuesday, July 19, 2022 at 7:00 PM

Council Member Hershey noted that he is fine with pulling out the language on section 7 but would be hard-pressed to approve annexations without some level of certainty that it could be covered. Hershey also wondered why it was not regular language for everyone and agreed with Council Member Nielsen about restricting the market.

Council Member Nielsen referenced the language in section 7 and said that he doesn't think that having it in there or taking it out really makes a difference because if the city requires limits on the number of permits, it doesn't matter if it's annexed or not because the permitting process happens after annexation and after platting. The council already has the ability to make a decision one way or another. He would like to see language stating if we have a concern for availability of public or emergency services, then we would limit building permits and not have language in a section that has anything to do with plotting or annexation or rezone because it would be a health and safety concern.

Council Member Wheelock understands the ability to limit the lots for public safety and emergency services but if the council gives the okay to put 14 million dollars into the ground but not sell you a building permit later, that has to be a deterrent. We need to have the foresight to be able to assure we can provide services before they put their money into the ground.

Shawn Nickel gave a reminder that one of the findings necessary for an annexation is public services.

- Council Member Salmonsen moved to approve the UDC amendments with the change of removing item 7 of the annexation section, 8-5-7 the Build-to-Rent section, and any reference to it so it can be further worked on. Council Member Hershey seconded the motion.
 - ROLL CALL VOTE: Hersey-aye, Wheelock-aye, Salmonsen-aye, Nielsen-aye. Motion carried.
- B. Ordinance 370-2022-UDC: AN ORDINANCE OF THE CITY OF STAR, IDAHO REPEALING THE UNIFIED DEVELOPMENT CODE, ORDINANCE NO. 310; AND ADOPTING THE UNIFIED DEVLOPEMENT CODE FOR THE CITY OF STAR, IDAHO; PROVIDING FOR ADMINISTRATION, NONCONFORMING PROPERTY, USE OR STRUCTURE, ZONING DISTRICT STANDARDS, ADDITIONAL REGULATIONS APPLICABLE TO ALL DISTRICTS, SPECIFIC USE STANDARDS, SUBDIVISION REGULATIONS, PLANNED UNIT DEVELOPMENTS AND DESIGN AND DEVELOPMENT STANDARDS; providing for severability; AND PROVIDING AN EFFECTIVE DATE. (ACTION ITEM)
 - Council Member Hershey moved pursuant to Idaho Code Section 50-902, the rule requiring an ordinance to be read on three different days with one reading to be in full be dispensed with and that ordinance 370-2022 be considered after reading once by title only. Council Member Wheelock seconded the motion.
 - ROLL CALL VOTE: Hersey-aye, Wheelock-aye, Salmonsen-aye, Nielsen-aye. Motion carried.



City Hall - 10769 W State Street, Star, Idaho Tuesday, July 19, 2022 at 7:00 PM

- Council Member Hershey moved to approve ordinance 370-2022 as discussed and agreed upon in the previous motion by Council Member Salmonsen. Hershey read the title of the ordinance. Council Member Wheelock seconded the motion.
 - ROLL CALL VOTE: Hersey-aye, Wheelock-aye, Salmonsen-aye, Nielsen-aye. Motion carried.
- C. **PUBLIC HEARING:** Star River Ranch North Subdivision (RZ-22-01, DA-22-03, PP-22-05) The Applicant is seeking approval of a Rezone (R-5-DA to R-3-DA), a Development Agreement, and Preliminary Plat for a proposed residential subdivision consisting of 72 residential lots and 11 common lots. The property is located on the west side of Bent Lane in Star, Canyon County, Idaho, and consists of 23.8 acres with a proposed density of 3 dwelling units per acre. **(ACTION ITEM Table to a date specific)**

Mayor Chadwick asked if there was any ex parte contact; all council members reported none. Mayor Chadwick opened the Public Hearing at 9:17 pm.

- Council Member Nielsen moved to table the public hearing to September 6, 2022. Council Member Hershey seconded the motion.
 - ROLL CALL VOTE: Hersey-aye, Wheelock-aye, Salmonsen-aye, Nielsen-aye. Motion carried.

Mayor Chadwick called a short recess at 9:18 pm. The meeting resumed at 9:22 pm.

D. **PUBLIC HEARING:** 11600 Coriander Lane (V-22-01) - The Applicant is seeking approval of a Variance from City Council for Ordinance 10-1-5 for Flood Hazard Reduction to allow fill within portions of the Floodway. The property is located at 11600 Coriander Lane in Star, Idaho. (**ACTION ITEM**)

Mayor Chadwick opened the Public Hearing at 9:22 pm. Mayor Chadwick asked if there was any ex parte contact; all council members reported none.

Julie Fisher, attorney for the applicant WNBC, 4 Ogden Ave, Nampa ID. Owner is Kevin Zinngrabe.

Ms. Fisher is requesting a variance to Section 10-1-5A-19 of the Municipal Code. The existing property is located within the Boise River floodway and the proposed project involved replacing an existing structure on the property, a barn, and replace it with a new single-family dwelling using the current footprint as the existing structure. Despite numerous design modifications, a small amount of fill would be necessary in the floodway in order to construct a driveway to get to the residence that replaces the existing structure. The replacement won't obstruct any flow and report will certify that the fill, which is for the driveway only, will not increase the likelihood of flooding upstream or downstream in the event of a flood event. Mr. Manning has communicated with both Shawn Nickel and City Engineer Ryan Morgan regarding certification that he's prepared to meet any conditions that must be met to grant a variance to put fill in the floodway have been satisfied and there would be no damage to public health or safety.



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Council Member Salmonsen asked how much dirt would need to be brought in. Ms. Fisher responded that it would be to construct a ramp to get to the elevation the garage needs, so a very modest amount.

Council Member Nielsen asked a question of staff if the property is already a permitted use for an additional dwelling structure versus the barn. Shawn Nickel answered that it is a legal parcel, it's the floodplain that is the issue.

City Engineer Ryan Morgan talked about the height of the area needing to be filled and mentioned that the city's ordinance regarding fills placed in a floodway is more stringent than FEMA's. A pending Hydrologic and Hydraulic report determined that there was no rise. Approval of that study will be part of the conditions of approval. Morgan also mentioned that there was some fill being placed for some mechanical equipment on the north side of the garage and some being place for the stairs going up the front entryway, so he asked that those portions of fill be in the wording of the document.

Council Member Nielsen mentioned considering that a ramp may be needed in the future, and it was agreed to add that in now so it wouldn't need to be added at a later time.

Mayor Chadwick closed the public hearing at 9:34 pm and moved to council deliberations.

• Council Member Hershey moved to approve with the wording discussed by Ryan Morgan and Council Member Nielsen. Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hersey-aye, Wheelock-aye, Salmonsen-aye, Nielsen-aye. Motion carried.

8.	ADJOURNMENT		
	Mayor Chadwick adjourned the meeting at 9:35 pm.		
		ATTEST:	
	Trevor A Chadwick, Mayor		Jacob M Qualls, City Clerk - Treasurer

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* ... Over spent expenditure

Claim/ Line #	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Disc \$ Line \$	PO #	Fund Org	Acct	Object	Proj	Cash Account
1574	21395S	4 A & B LOCK AND KEY	505.40						
1		09/23 Keys Duplicated	97.00		10	41540	431		10110
2		29/22 Locks and Plates	408.40		10	41540			10110
		Total for Ver	ndor: 505.40						
1546	21381S	21 ADA COUNTY LANDFILL	135.64						
1	230210008	9 02/10/23 Landfill Fees	15.00		10	41540	411		10110
2	230210015	6 02/10/23 Landfill Fees	53.65		10	41540	411		10110
3	230207027	4 02/07/23 Landfill Fees	46.40		10	41540	411		10110
4	230209035	2 02/09/23 Landfill Fees	20.59		10	41540	411		10110
1561	21396S	21 ADA COUNTY LANDFILL	180.85						
1	230215015	1 02/15/23 Landfill Fees	15.00		10	41540	411		10110
2	230215033	8 02/15/23 Landfill Fees	33.64		10	41540	411		10110
3	230216009	2 02/16/23 Landfill Fees	18.85		10	41540	411		10110
4		7 02/14/23 Landfill Fees	15.00		10	41540			10110
5		4 02/15/23 Landfill Fees	15.00		10	41540			10110
6		5 02/14/23 Landfill Fees	15.00		10	41540			10110
7		4 02/14/23 Landfill Fees	15.00		10	41540			10110
8	230210022	8 02/10/23 Landfill Fees	53.36		10	41540	411		10110
		Total for Ver	ndor: 316.49						
1527	21354S	22 ADA COUNTY PROSECUTORS OFFIC							
1	FEB 2023 (01/23/23 Prosecutions Contract - E	• • • • • • • • • • • • • • • • • • • •		10	42110	322		10110
		Total for Ver	ndor: 2,500.00						
1541	21382S	23 ADA COUNTY SHERIFF'S OFFICE	•						
1	110953 02,	/02/23 Police Services February 20	· · · · · · · · · · · · · · · · · · ·		10	42110	365		10110
		Total for Ver	ndor: 160,006.83						
1513		1067 ANNIE PEW	117.49						
1		Reimbursement Walmart	59.51		10 101				10110
2	. ,	Reimbursement Walmart	21.36		10	44021			10110
3	01/18/23	Reimbursement El Mariachi	36.62		10	44021	699		10110
		Total for Ver	ndor: 117.49						

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CITY OF STAR Claim Details by Posted Date For Claims from 02/03/23 to 02/17/23

* ... Over spent expenditure

Claim/ Line #	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Disc \$ Line \$	PO #	Fund Org	Acct	Object	Proj	Cash Account
1508	21356s	79 ASSOCIATION OF IDAHO CITIES	200.00						
1	20000955	0 12/20/22 CODC Luncheon - Chadwick	50.00		10	41810	560		10110
2	20000955	0 12/20/22 CODC Luncheon - Salmonser	n 50.00		10	41810	560		10110
		0 12/20/22 CODC Luncheon - Nielsen			10	41810	560		10110
4	20000955	0 12/20/22 CODC Luncheon - Wheelock	50.00		10	41810	560		10110
		Total for Vend	dor: 200.00						
		1296 BENITON BUILDING SERVICES							
1	IV00270	02/10/23 Locks Star Police Station	20,871.40		10 800	45110	741		10110
		Total for Vend	dor: 20,871.40						
		1035 BILLS MACHINE SHOP	32,000.00						
2	23-2156	01/30/23 Skatepark Platform Roof	32,000.00		10	45110	735		10110
		Total for Vend	dor: 32,000.00						
1520	21358S	1283 BLUEBEAM INC	300.00						
1	1553878	02/02/23 Construction Software	300.00		10	41510	751		10110
		Total for Vend	dor: 300.00						
1515	21359s	145 BSN SPORTS	264.23						
1	30653682	6 01/25/23 Sports Equipment	264.23		10	44021	612		10110
		Total for Vend	dor: 264.23						
1569	21398S	159 CANYON COUNTY CLERK	100.00						
1	Jan 2023	02/06/23 Prosecution Services	100.00		10	42110	322		10110
		Total for Vend	dor: 100.00						
1526	21360S	1291 CHENEY ENERGY INC	2,293.25						
	llation of er projec	f Permit EXC2023-009. Contractor wil t.	ll pull another permit for						
1	01/03/2	3 Cancellation of Permit	2,293.25		10	41510	698		10110
		Total for Vend	dor: 2,293.25						

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* ... Over spent expenditure

Claim/ Line #		Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ I	Disc \$	Fund Org	Acct	Object	Proi	Cash Account
1545	21383S	184 CINTAS	320.61						
1		1 01/24/23 City Hall Mat Cleaning	46.37		10	41540	344		10110
2		3 01/24/23 Riverhouse Mat Cleaning	60.50		10	41540			10110
3	4145102881	1 01/31/23 City Hall Mat Cleaning	46.37		10	41540	344		10110
4	4145102770	0 01/31/23 Riverhouse Mat Cleaning	60.50		10	41540	344		10110
5	4145785968	8 02/07/23 City Hall Mat Cleaning	46.37		10	41540	344		10110
6	4145785884	4 02/07/23 Riverhouse Mat Cleaning	60.50		10	41540	344		10110
1563	21399S	184 CINTAS	106.87						
1	4146534847	7 02/14/23 City Hall Mat Cleaning	46.37		10	41540	344		10110
2	4146534708	8 02/14/23 Riverhouse Mat Cleaning	60.50		10	41540	344		10110
		Total for Vendo	r: 427.48						
1553	21384S	190 CLEARFLY	228.81						
1	INV487099	02/01/23 Telephone Services	228.81		10	41810	416		10110
		Total for Vendo	r: 228.81						
1535	21375S	195 COATINGS PLUS	484.08						
1	33133 08/0	08/23 4x4 x242 Poles for Outfield Fe	484.08		10	41540	436		10110
		Total for Vendo	r: 484.08						
1519	21361S	231 DANA PARTRIDGE	2,640.00						
1		Services Week of January 23	1,245.00		10	41140			10110
2		Services Week of January 30	1,305.00		10	41140			10110
3	02/03/23	Reimburse PAB Comm Mtg	90.00		10	45130	586		10110
1578	21400S	231 DANA PARTRIDGE	2,505.00						
1	02/17/23	Services Week of February 6	1,230.00		10	41140	351		10110
2	02/17/23	Services Week of February 13	1,275.00		10	41140	351		10110
		Total for Vendo	r: 5,145.00						
1532	21376S	1288 DANIEL W LANE	760.00						
1	01/26/23	Lego/Robotics Instructor	760.00		10	44022	352		10110
		Total for Vendo	r: 760.00						

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* ... Over spent expenditure

Claim/ Line #	Check	The state of the s	Document \$/ Disc \$ Line \$	PO #	Fund Org	Acct	Object	Proj	Cash Account
1554 1	21385S 01/25/2	1294 DEBBIE DURAND 3 Refund - NFL Flag Football Total for Vendo	35.00 35.00 x: 35.00		10	44021	698		10110
1543 1	21386S 3243 02/	253 DOCUTOPIA 09/23 Public Access License Total for Vendo	•		10	41810	610		10110
PTP L:	ink, Swit	274 EDNETICS INC ch and Access Point for Community Cen 1/31/23 Community Center Total for Vendo			10	45110	737		10110
1552 1 2 3	31976 02	302 FATBEAM LLC /01/23 Monthly Gigabit Fiber Optic /01/23 Monthly Maintenance Fiber /01/23 Property Surcharge Total for Vendo			10 10 10	41810 41810 41810	419		10110 10110 10110
1511 1	21362s 315420 1	325 GAMEFACE ATHLETICS 2/19/22 Staff Uniforms Total for Vendo	1,177.00		10	44021	615		10110
Cleans 1 2	3068217- 3068837 3069331 3069406	ies for new Police Department 03 02/08/23 Mops 02/08/23 Mat 02/08/23 Waterhog Diamond 02/08/23 Airworks 02 02/01/23 Mop Frame	741.88 24.79 221.71 454.94 36.24 4.20 741.88		10 10 10 10 10	41540 41540 41540 41540 41540	611 611 611		10110 10110 10110 10110 10110
	01/26/2	333 GERRI MCCORKLE for Parks, Art and Beautifcation Work 3 BiMart - Supplies 3 El Mariachi Loco - Lunch	138.16 shop 47.00 47.69		10 10	45130 45130			10110 10110

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* ... Over spent expenditure

Claim/ Line #	Check Vendor #/Name/ Do Invoice #/Inv Date/Description	cument \$/ Disc \$ Line \$	PO #	Fund Org	Acct	Object	Proj	Cash Account
3	01/26/23 Ridleys - Drinks Total for Vendor:	43.47 138.16		10	45130	586		10110
1524 1	21364S 1290 GREYLOCH 01/25/23 Cabinetry Police Dept Total for Vendor:	1,726.74 1,726.74 1,726.74		10 800	45110	741		10110
1 2	21389S 1258 HB WORKPLACES 114483 01/17/23 Mirra Triflex w/arms 114483 01/17/23 Mirra Triflex w/o Arms 114483 01/17/23 design 114483 01/17/23 Del / Install Total for Vendor:	182.00	4 4 4 4	10 800 10 800 10 800 10 800	45110 45110	744 744		10110 10110 10110 10110
	21377S	795.52 79.72 418.88 296.92 795.52		10 10 10	41810 41540 41810	414		10110 10110 10110
1531 Woods	21378S 1285 JOHN ERIC OWENS arving Folk Fish Class 01/23/23 Woodcarving Instructor Total for Vendor:	269.50 269.50		10	44022	352		10110
1577 1	21402S 1298 KAMI PAHLAS 02/14/23 Valentine's Cookie Class Total for Vendor:	515.20		10	44022	352		10110
1567 1	21403S 502 KEELY ELECTRIC 20-1932 02/15/23 Outlets and fan Media Closet Total for Vendor:			10	45110	812		10110
1551 1	21390S 503 KELLER ASSOCIATES INC 0230036 01/28/23 Star SH 44 Widening Total for Vendor:	48,280.00		10 500	41510	736		10110

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* ... Over spent expenditure

Claim/ Line #	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Disc \$ Line \$	PO #	Fund Org	Acct	Object F	Cash Proj Account
	21404S t BPS2022	1297 KENNETH WILLIAMS	160.46					
		16 02/10/23 Refund - permit not app. Total for Vene			10	41510	698	10110
1518 1	21365S 01/26/2	524 LARRY BEARG 3 Tai Chi Instruction January Total for Venc			10	44022	352	10110
1506 3 4 5 6	3327693 3327693 3327692	635 MOUNTAIN ALARM 01/01/23 Fire Alarm Inspection 01/01/23 Fire Monitoring 01/01/23 Security Cellular Backup 01/01/23 Security Monitoring Total for Vene	19.50		10 10 10 10	41810 41810 41810 41810	3 4 4 3 4 4	10110 10110 10110 10110
1521 1	21367s 929 02/0	1289 NEW BEGINNINGS HOMES 2/23 Appliances Police Station Total for Vend			10 800	45110	741	10110
1517 1	21368S 01/26/2	649 NIKI DEAN 3 Yoga Instruction January Total for Vend	654.50 654.50 dor: 654.50		10	44022	352	10110
1533 1 3		656 OFFICE SAVERS ONLINE 24/23 Supplies pop up pads/files 06/23 Copy Paper Total for Venc	191.41		10 10	41810 41810		10110 10110
Remai		670 PATHWAY CONCRETE & LANDSCAPING nce for shade structure at skate page and a walkway.	,					
1	95 02/13	/23 Skate Park Additions Total for Vend	7,850.00 dor: 7,850.00		10	45110	735	10110

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Claim/ Line #	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Disc \$	PO #	Fund Org	Acct	Object	Proi	Cash
1510	21369S	684 PIONEER DITCH COMPANY	294.84						
1312		Assessment City Hall	27.00		10	41810	417		10110
2		re Assessment S Main St River Pk	64.26		10	41810			10110
3		re Assessment 1000 S Main Rv Pk	64.26		10	41810			10110
4		e Assessment 88 Knox St	4.32		10	41810			10110
5		Assessment 960 S Main	135.00		10	41810			10110
Ü	0 0110100	Total for Ven				11010	11,		10110
1528	-99893E	685 PITNEY BOWES	200.00						
Paid 1	10/28/22	- jmq ACH							
1	On Accou	nt 10/28/22 Postage	200.00		10	41810	641		10110
1536	-99892E	685 PITNEY BOWES	200.00						
		- jmq ACH							
1	On Accou	nt 12/06/22 Postage	200.00		10	41810	641		10110
	-99891E	685 PITNEY BOWES	200.00						
		- jmq ACH	0.00		1.0	41010	C 4.1		10110
1	On Accou	nt 12/28/22 Postage	200.00		10	41810	641		10110
1 5 2 0	-99890E	685 PITNEY BOWES	200.00						
		- jmg ACH	200.00						
		nt 12/22/22 Postage	200.00		1.0	41810	641		10110
1	Oli Accou	110 12/22/22 103 tage	200.00		10	41010	041		10110
1540	-99889E	685 PITNEY BOWES	200.00						
	1/20/23 -		200.00						
		nt 01/20/23 Postage	200.00		1.0	41810	641		10110
=		Total for Ven							
			_,						
1548	21391s	686 PORTAPROS LLC	277.60						
1	112049AG	-1 02/07/23 River Walk Park	277.60		10	41540	411		10110
1549	21391s	686 PORTAPROS LLC	277.60						
1	112049AG	-1 02/07/23 River Walk Park	277.60		10	41540	411		10110
		Total for Ven	dor: 555.20						

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* ... Over spent expenditure

•	Check	Vendor #/Name/	Document \$/	Disc \$	"					Cash
Line #		Invoice #/Inv Date/Description	Line \$		PO #	Fund Org	Acct	Object ————	Proj	Account
1540	012000	603 22000000 000000	105.00							
	21392S		105.80			1.0	44001	255		10110
1		01/31/23 Sports Programming	26.45 79.35			10 10	44021 44022			10110 10110
2	10291/3	01/31/23 Recreation Programming Total for Vendon		1		10	44022	333		10110
4560	044065	4440	5 504 00							
	21406S		6,501.00			1.0	44001	C1 F		10110
1		02/16/23 Uniforms	5,886.00			10	44021			10110
2		02/16/23 Coaches Shirts	345.00			10 10	44021			10110
3	24346-1	02/16/23 Equipment Total for Vendo	270.00 r: 6,501.00			10	44021	612		10110
		Total for Vendo	r: 6,501.00							
1504	21370s	707 REPUBLIC SERVICES INC	731.36							
1	00130753	39 01/31/23 Hunters Creek Park	331.68			10	41540	411		10110
2	00130761	10 01/31/23 Star River Access 1000 S Ma	a 81.34			10	41540	411		10110
3	00130762	22 01/31/23 River Park 1000 S Main St	110.78			10	41540	411		10110
7	00130797	79 01/31/23 Star City Hall	121.24			10	41540	411		10110
8	00130800	08 01/31/23 Blake Haven Park	86.32			10	41540	411		10110
		Total for Vendo	r: 731.36	i						
1539	21188S	713 RIDLEY'S	1,000.00							
Gift (Cards for	r Employee Holiday Party								
1	12/14/2	22 Gift Cards for Employee Holida				10	41810	598		10110
		Total for Vendo	r: 1,000.00)						
1530	21380s	1287 ROBIN ROBINSON	210.00							
1	01/26/2	23 Jan Evening Yoga	210.00			10	44022	352		10110
		Total for Vendo	r: 210.00	1						
1571	21407S	1299 ROCKERZ AND ROLLERZ LLC	444.00							
1	384 02/1	11/23 Lettering Star Police Station	444.00			10 800	45110	741		10110
		Total for Vendo	r: 444.00	1						
1514	21371s	727 RON WESTON	34.89							
1	01/27/2	23 Reimbursement Walmart	34.89			10	44021	612		10110
		Total for Vendo	r: 34.89)						

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* ... Over spent expenditure

Claim/ Line #	Check		Vendor #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org	Acct	Object	Proj	Cash Account
1560	21/1089	1238 D	OYALTY ELECTRIC LLC	1,697.00							
			ack, swapped sensor switches	•	ar Police Dent						
			Star Police Station	The state of the s	ir rorree bept		10 800	45110	741		10110
_	22103 3	02/20/23		dor: 1,697.00)		10 000	40110	/ 11		10110
			10001 101								
1564	21409S	752 S	BI CONTRACTING INC	25,975.00							
1	22141BB-	3 02/14/	23 Lockers Police Station				10 800	45110	741		10110
			Total for Vend	dor: 25,975.00)						
1523	21372S	1267 S	COTT'S CARPENTRY	240.00							
1	01/25/2	3 Cabine	t Boxes Police Station	240.00			10 800	45110	741		10110
			Total for Vend)						
1572	21410S	772 S	HERWIN WILLIAMS	1,138.35							
Paint	for City	Hall Cl	erk's Office Remodel								
1	4081-4 0	2/01/23	Paint City Hall	157.48			10 802	45110	812		10110
2			Paint City Hall	82.48			10 802				10110
3			Paint City Hall	259.47			10 802				10110
4			Paint City Hall	104.99			10 802	45110	812		10110
5	3750-5 0	1/24/23	Paint City Hall	533.93			10 802	45110	812		10110
			Total for Vend	dor: 1,138.3	5						
1576	21411S	777 S	ILVER CREEK SUPPLY	567.90							
1			23 Valves/Nipple	213.09			10	41540	735		10110
2	*9752-00	3 01/30/	23 Pipe/Hose/Tape	221.39			10	41540	735		10110
3		02 01/30/		33.90			10	41540			10110
4	*9582-00	02/06/	23 Box Cover	49.90			10	41540			10110
5	*7535-00	01/31/	23 PVC	49.62			10	41540	735		10110
			Total for Vend	dor: 567.90)						
	21412S er Eggstr		TAR CHAMBER OF COMMERCE Sponsorship	500.00							
		_	/23 Supporting Sponsor	500.00			10	41810	531		10110
	22	-	Total for Vend)						

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* ... Over spent expenditure

Claim/ Line #	Check		Vendor #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org	Acct	Object	Proj	Cash Account
1558	21413S	812 ST	'AR MERCANTILE INC	242.59							
1	02-3041527	01/23/	23 Hardware Police Dept	26.15			10	41540	434		10110
2	02-3041842	01/23/	23 Spackle	51.96			10	41540	434		10110
3	02-3042375	01/24/	23 Spackle 23 Painting Trays 23 Light Cover 23 Wall Texture	12.37			10	41540	434		10110
4	02-3043812	01/25/	23 Light Cover	2.57			10	41540	434		10110
5	02-3049371	01/30/	23 Wall Texture	44.97			10	41540	434		10110
6	02-3045897	01/27/	23 Hardware	4.99			10	41540	434		10110
7	02-3051442	02/01/	23 Tape for Name Plates	5.99			10	41540	434		10110
	02-3050504	01/31/	23 Hardware	0.99 26.96 2.59 7.98 9.99 3.32			10	41540			10110
9	02-3050563	01/31/	23 Hardware	26.96			10	41540	434		10110
10	02-3051541	02/01/	23 Hardware	2.59			10	41540	434		10110
11			23 Caulking	7.98			10	41540			10110
12	02-3052726		23 Tarp	9.99			10	41540			10110
13			23 Hardware	3.32			10	41540			10110
14	02-3053847	02/03/	23 ITayground 103c3	14.00			10	41540			10110
15	02-3059397	02/08/	23 Hose Bib Fittings 23 Hardware	6.76			10	41540			10110
16	02-3044639	01/26/					10	41540	434		10110
			Total for V	endor: 242.5	9						
	21393S ional unit	added	AR STORAGE LLC	139.50							
1	02/03/23	Feburar	y 2023 Rental Unit C08 Total for V	139.50 endor: 139.5	0		10	44022	443		10110
1505 1			ROTH GENERAL LLC 23 Final Pay Request Bla	181,899.99 ke/Pa 181,899.99			10	45110	733		10110
			Total for V	endor: 181,899.9	9						
1573 1	21414S *2052-0001	1281 SU . 01/18/	NBELT RENTALS INC 23 Manlift Rental Total for W	2,554.82 2,554.82 endor: 2,554.8			10	41540	442		10110
1581 1	21415S 11/30/22		I IDAHO BUSINESS ALLIANCE ship Total for V	100.00	0		10	41810	531		10110

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* ... Over spent expenditure

Claim/ Line #	Check	Vendor #/Name/ Invoice #/Inv Date/Description	• •	Disc \$	PO #	Fund Org	Acct	Object	Proj	Cash Account
1562	21416S	898 TREASURE VALLEY COFFEE	277.10							
2	08811183	01/31/23 Ciity Hall Coffee Tea Water	161.10			10	41810	611		10110
3	08651398	01/31/23 Ciity Hall Coffee Tea Water 02/14/23 Ciity Hall Coffee Water Rent	116.00			10	41810	611		10110
		Total for Vendor	277.10							
1510	21374S	907 TUCKER JOHNSON	11,250.00							
1	01/30/2	3 Bond Release	11,250.00			10	41510	881		10110
		Total for Vendor	11,250.00							
		1295 VALLEY OFFICE SYSTEMS for Clerk's Office	163.93							
		9 01/19/23 Monthly Lease - Copier	163.93			10	41810	742		10110
		Total for Vendor	163.93							
1580	21418S	1301 VERSUS LLC	3,078.75							
1	02/13/2	3 Shade Poles River House				10	45110	737		10110
		Total for Vendor	3,078.75							
		1129 WESTERN HEATING & AIR he River Community Center	1,892.00							
1	15307385	3 01/31/23 Installed thermostats	1,125.00			10	45110	737		10110
2	15281973	7 01/31/23 Installed HVAC duct				10 802	45110	812		10110
		Total for Vendor	1,892.00							
	21394S Read fro	962 XEROX m 11/20/22 to 12/27/22	164.07							
1	01813053	6 02/01/23 Black Prints	8.92			10	41810	742		10110
2	01792386	6 02/01/23 Color Prints	155.15			10	41810	742		10110
		Total for Vendor								
		# of Claims		554,435.16	# of Ver	ndors 64	l			
			tronic Claims tronic Claims	•						

^{**} This report runs by Claim Posted Date, which is a system generated field that always shows the date on which the Claim was actually posted in the system. If a Claim was cancelled and re-posted, the posted date will show as of the date it was re-posted. **

02/17/23 16:58:06 CITY OF STAR
Fund Summary for Claims by CL Posted Date
For Claims from 02/03/23 to 02/17/23

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Section 6, Item B.

Fund/Account	Amount		
10 General 10110 ICCU - GEN CHECKING #3766	\$554,435.16		

Total: \$554,435.16

FINDINGS OF FACT AND CONCLUSIONS OF LAW JACKSON'S FOOD STORES CONDITIONAL USE PERMIT FILE NO. CU-22-07

The above-entitled Conditional Use Permit application came before the Star City Council for their action on February 7, 2023, at which time public testimony was taken and the public hearing was closed. The Star City Council, having requested and taken oral and written testimony, and having duly considered the matter, does hereby make the following Findings of Fact and Conclusions of Law;

Procedural History:

A. Project Summary:

The Applicant is seeking approval of a Conditional Use Permit for a Jackson's Food Store and Fuel Station. The property is located on the northwest corner of W. State Street and N. Star Road and includes 61 N. Star Road, 11273 W. 1st Street, 11289 W. 1st Street and 11253 W. 1st Street in Star, Idaho. The property consists of a total of 1.41 acres. The subject property is generally located on the northwest corner of W. State Street and N. Star Road. Ada County Parcel Numbers R8108000009, R8108000090, R81080000095, R8108000101, R8108000107 and R8108000084.

B. Application Submittal:

A neighborhood meeting was held on October 6, 2022 in compliance with the application submittal requirement of the Star Unified Development Code (Section 8-1 A-6 C). The land use application was deemed complete on October 11, 2022.

C. Notice of Public Hearing:

Notice of Public Hearing on the application for the City of Star Council was published in accordance with the requirements of Title 67, Chapter 65, Idaho Code and the Star Unified Development Code on January 20, 2023. Notice of this public hearing was mailed to property owners within three-hundred feet (300') of the subject property in accordance with the requirements of Title 67, Chapter 65, Idaho Code and Star Unified Development Code on January 17, 2023. Notice was sent to agencies having jurisdiction in the City of Star on October 11, 2022. The property was posted in accordance with the Star Unified Development Code on January 26, 2023.

D. History of Previous Actions:

This property was previously zoned Central Business District (CBD).

E: Land Use.

CONDITIONAL USE PERMIT:

The applicant is requesting approval of a Conditional Use Permit for an approximately 4,800 square foot convenience store, with a fuel canopy and six gas pumps. The applicant is proposing 26 parking spaces, 1 of which is ADA compliant. *Staff suggests that the applicant have a second ADA parking spot and place it on the east side of the proposed ADA loading zone.* Section 8-4B-3H of the Unified Development Code states that one bicycle parking space shall be provided for every twenty-five (25) vehicle parking spaces. The applicant is proposing 4 bicycle parking spots on the west side of the building satisfying this requirement.

Access to the site appears to be in three separate locations. One is on the north of the property fronting W. First Street. The second is on N. Star Road and the third is via W. State Street. The Applicant will need to obtain the appropriate approvals from ITD and ACHD for use of these three access points. The Applicant shall work with the owner of the vacant property to the west fronting W. State Street to provide paved access to this parcel along State Street. Applicant will also be required to secure a cross access agreement for the northern and southern access points for this parcel. (removed by Council). These agreements shall be recorded before occupancy will be given.

All signage, including building, fuel canopy and directionals require separate permit and approval from Staff prior to installation.

Applicant has not submitted a lighting plan for the site. Prior to issuing building permits, the applicant shall submit a full plan for all lighting on site, including fixture type and a photometric plan. Shields and other modifications may be necessary to avoid fugitive light and changes may be required even after installation. Existing residential uses will need to be protected from fugitive lighting and unreasonable noise.

Applicant is proposing a building with a maximum height of approximately 23 feet. The Unified Development Code, Section 8-3A-4 provides for a maximum height of 35 feet. The proposed building satisfies this section of the code. The fuel canopy is proposed to be approximately 18' 9", which is less than the maximum 20' height allowance found in Section 8-5-1 of the UDC.

The applicant has submitted color renderings of the proposed building, which will still need to go through design review (Certificate of Zoning Compliance) for approval.

Unified Development Code, Section 8-4B-2 requires parking spaces to be 20 feet in depth and a minimum of 9 feet wide. The applicant is proposing 20 feet deep stalls that are 10 feet wide, satisfying this section of the code.

The application further complies with the Specific Use Standards in Section 8-5-15 of the UDC for the proposed use. This includes compliance with the maximum fuel canopy height, vehicle

2

stacking in the fueling areas, location of the facility on a principal arterial or collector and required 100' minimum buffer from existing residential lots to the fueling areas in the CBD zoning district.

The applicant has not indicated in the application materials the hours of operation and if this will be a 24-hour business.

F. Agencies Responding:

 ITD
 June 16, 2022

 DEQ
 October 21, 2022

ACHD Pending (transmitted to agency on 10/11/22)

STAR FIRE DISTRICT February 3, 2023

G. Letters/Emails from the Public:

None

H. Comprehensive Plan and Unified Development Code Provisions and Conformance:

Comprehensive Plan

8.2.3 Land Use Map Designations:

Central Business District

The Central Business District is planned to be a vibrant downtown center for the community. Uses encouraged are commercial, retail, civic, private offices, and entertainment. High density housing is encouraged on the upper floors of mixed-use buildings and at the fringes of the land use designation. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

• Implement the Land Use Map and associated policies as the official guide for development.

- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

8.5.5 Policies Related Mostly to The Central Business District Planning Areas:

- The CBD zoning district should allow for a mix of commercial, office, institutional, and civic type uses with specific provisions for residential use in appropriate locations with compatible densities.
- The city should develop a street improvement plan for the CBD identifying drainage and street improvements with a functional grid system and use public private partnerships to assure the system is built and that "ad hoc" development of parcels within the CBD do not block good planning.
- The city should develop a downtown grid system, in part, planning for the easterly extension of Tempe Lane and easterly extension of West First Street to help provide better downtown access and parking facilities.
- The east west public road from the Heron River Development, south of the LDS Church on Main Street, should be extended to Star Road.
- Implement, review, and update the 2011 Star Downtown Revitalization Plan for development strategies within the plan intended to stimulate development within the CBD.
- As recommended in the 2011 Star Downtown Revitalization Plan, the city should create an Urban Renewal District to stimulate development within the CBD.
- The city should encourage assemblage of the smaller properties where appropriate.

8.5.6 Policies Related Mostly to the Commercial Planning Areas:

• Assist in the provision of coordinated, efficient, and cost-effective public facilities and utility services, carefully managing both residential and non-residential development and design, and proactively reinforcing downtown Star's role as the urban core while protecting existing property rights. B. Encourage commercial facilities to locate on transportation corridors. C. Locate neighborhood services within walking distance to residential development. D. Discourage the development of strip commercial areas. E. Maintain and develop convenient access and opportunities for shopping and employment activities. F. Commercial areas of five acres or less should be encouraged in residential land use designations with appropriate zoning to allow for commercial services for residential neighborhoods and to limit trip lengths. Such commercial areas

should be submitted for approvals with a Conditional Use Permit or Development Agreement to assure that conditions are placed on the use to provide for compatibility with existing or planned residential uses. These areas should be oriented with the front on a collector or arterial street.8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4
 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of
 roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

Unified Development Code

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

(CBD) CENTRAL BUSINESS DISTRICT: To provide for commercial, retail, civic, office, and entertainment uses. High density housing is encouraged on the upper floors of mixed-use buildings and may also be allowed at the fringes of the land use designation shown on the comprehensive plan. Live/work designed development is also encouraged in this district. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility. Special emphasis shall be placed on development in the central downtown area to encourage and create a vibrant, walkable downtown community that incorporates the Boise River as an active amenity.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	
Gasoline, Fueling & Charging station with or without	С
convenience store 1	

Notes:

1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.

8-3C-2: ADDITIONAL CENTRAL BUSINESS DISTRICT STANDARDS:

- A. Comply with Section 8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED.
- B. High density residential may be permitted within the CBD in mixed use buildings with commercial or office type uses on the first floor and high density residential on upper floors.
- C. New development on Main Street and Star Road, generally south of State Street, shall include transition consisting of a compatible mix of lower intensity commercial, retail and office type uses mixed with live/work type residential. Existing Single-Family uses are encouraged to convert to or redevelop as non-residential uses.
- D. Big Box commercial, generally a single-story single use building over 50,000 square feet, shall not be permitted and any single-story single use building which is large in scale, such as approaching the 50,000 square foot size, shall be located to front on Highway 44 or Star Road.
- E. The Council may place requirements on a mixed-use development, including a ratio of uses and/or timing of phases, to ensure that the overall development maintains its commercial intent.

8-1B-4: CONDITIONAL USES:

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

- 1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.
- 2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.
- 3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.
- D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:
- 1. Minimize adverse impact of the use on other property.

JACKSON'S FOOD STORES CUP FFCL CUP-22-07 6

- 2. Control the sequence and timing of the use.
- 3. Control the duration of the use.
- 4. Assure that the use and the property in which the use is located is maintained properly.
- 5. Designate the exact location and nature of the use and the property development.
- 6. Require the provision for on site or off-site public facilities or services.
- 7. Require more restrictive standards than those generally required in this title.
- 8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.
- **8-1B-4E. FINDINGS:** The council shall base its determination on the conditional use permit request upon the following:
- 1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
- 2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.
- 3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
- 4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
- 5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
- 6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
- 7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
- 8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

- 1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
- 2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.
- 3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
- 4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
- 5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
- 6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
- 7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
- 8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

3			n Yard Setbacks Conditions			
ote				Street		
onditions	Front (1)	Rear	Interior Side	Side		
35'	0'	0'	0' 4	0'		
	ote onditions	ote onditions Front ⁽¹⁾	ote onditions Front ⁽¹⁾ Rear	orde onditions Front (1) Rear Interior Side		

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.

- 2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
- 3. <u>All setbacks in the CBD, C-1. C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.</u>
- 4. As approved by the Fire District.

Note Conditions:

- D. Maximum Height Limit:
- 1. Height exceptions shall not be permitted except by discretion of the council with the submittal of a conditional use permit or development agreement application.

8-4B-3: REQUIRED NUMBER OF OFF-STREET PARKING SPACES:

Convenience Store	1 per 250 square feet gross floor area plus 1 for each 2 gasoline
	pumps.

8-5-15: GASOLINE STATION/GASOLINE STATION WITH CONVENIENCE STORE, AND TRUCK STOP:

A. General standards:

- 1. When allowed as an accessory use, gasoline or diesel fuel sale facilities shall not occupy more than twenty five percent (25%) of the subject property.
- 2. The total height of any overhead canopy or weather protection device shall not exceed twenty feet (20').
- 3. Vehicle stacking lanes shall be available on the property but outside the fueling areas. Stacking lanes shall have sufficient capacity to prevent obstruction of the public right of way by patrons. Such stacking lanes shall be separate from areas required for access and parking. The stacking lanes shall not be located within ten feet (10') of any abutting residential districts.
- B. Additional standards for fuel sales facility, truck stop:
- 1. The use shall be located on a principal arterial, collector or near an interstate interchange.
- 2. The use shall be located a minimum of six hundred feet (600') from any residential district and a minimum of one thousand feet (1,000') from any hospital, unless located within the central business district, in which case a minimum buffer of one hundred feet (100') shall be required from the existing residential lot line to the property line of the use.

Findings for Conditional Use Permits (UDC §8-1B-4E):

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

The Council finds nothing in the record indicating that the site of the proposed use would not be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

The Council finds that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development meets the intent or purpose.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

The Council finds that operation of the proposed use would be compatible with the other uses in the general area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

The Council finds that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

The Council finds that the proposed will be adequately served by essential public facilities and services.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

The Council finds that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community. The City has not received notice from any agency having jurisdiction stating that this application will create excessive additional costs for the public facilities and services as the development will pay for all changes in services.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The Council finds that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

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8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

The Council finds that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.

Public Hearing of the Council:

- a. A public hearing on the application was held before the City Council on February 7, 2023, at which time testimony was heard and the public hearing was closed. The City Council made their decision at that time.
- b. Oral testimony in favor of the application was presented to the City Council by: Jessica Aguilar, Applicant
- c. Additional Oral testimony to the application was presented to the Council by:

 None
- d. Oral testimony uncommitted to the application was presented to the Council by: Mathew Dugan
- e. Written testimony in favor of or opposing the application was presented to the City Council by:

None

Deliberations and Conclusions of Law:

The Council reviewed the particular facts and circumstances of this proposed conditional use permit application in accordance with the City of Star Title 8 (Unified Development Code), deliberated on the matter, resulting in discussions on the request.

Council finds that, with added conditions of approval, the Applicant has met all requirements of the Unified Development Code and the intent and purpose of the Comprehensive Plan and Map requirements.

The Council concludes that the Applicant's request meets the requirements for conditional use. Council hereby incorporates the staff report dated February 7, 2023, together with the hearing minutes into the official decision as part of these Findings of Fact, Conclusions of Law.

Council added to the Conditional Use Permit the following site-specific conditions of approval to their decision to approve the application to include the following:

• Provide an additional ADA parking space located on the east side of the proposed ADA loading zone.

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- Council removes requirement for cross access easement to north.
- Widen 1st Street access to 40' if approved by ACHD.

CONDITIONS OF APPROVAL

- 1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 2. Applicant has not submitted a lighting plan for the site. Prior to issuing building permits, applicant shall submit a full plan for all lighting on site, including fixture type and a photometric plan. Shields and other modifications may be necessary to avoid fugitive light and changes may be required even after installation.
- 3. Building will need to go through the design review process and receive approval prior to issuing of building permits.
- 4. The applicant shall be responsible for additional mitigation measures regarding noise and lighting for existing, adjacent residential uses when it is determined by the City that unreasonable, negative impacts are a direct result of the business activity. This shall include, but not be limited to additional landscaping, fencing/walls, and light shields or relocation of light poles.
- 5. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 6. A form signed by the Star Sewer & Water District shall be submitted to the City prior to issuance of building permit stating that all conditions of the District have been met, including annexation into the District.
- 7. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). Sign shall be approved by the City prior to start of any construction.
- 8. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy or the unit.
- 9. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
- 10. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
- 11. A Certificate of Zoning Compliance will be required prior to the start of construction.
- 12. Any additional Condition of Approval as required by Staff and City Council.
- 13. Any Conditions of Approval as required by Star Fire Protection District.

The Council voted unanimously to approve the Conditional Use Permit on February 7, 2023.

Dated this 22nd day of February, 2023.

	Star, Idaho
ATTEST:	By: Trevor A. Chadwick, Mayor
Jacob M. Qualls, City Clerk	

FINDINGS OF FACT AND CONCLUSIONS OF LAW BURNETT STORAGE ANNEXATION – CONDITIONAL USE PERMIT AZ-22-13/DA-22-14/CUP-22-06

The above-entitled Annexation, Development Agreement and Conditional Use Permit application came before the Star City Council for their action on February 7, 2023, at which time public testimony was taken and the public hearing was closed. The Star City Council, having requested and taken oral and written testimony, and having duly considered the matter, does hereby make the following Findings of Fact and Conclusions of Law.

Procedural History:

A. Project Summary:

The Applicant is seeking approval of an Annexation and Zoning, Development Agreement and Conditional Use Permit for a storage unit facility. The property is located at 771 N. Hwy 16 in Star, Idaho and consists of 16.76 acres. The subject property is generally located on the west side of N. Hwy 16, south of Floating Feather Road. Ada County Parcel Numbers S0409131605, S0409131500 & S0409131700.

B. Application Submittal:

A neighborhood meeting was held on March 28, 2022, in compliance with the application submittal requirement of the Star Unified Development Code (Section 8-1 A-6 C). The Land Use application was deemed complete on October 11, 2022.

C. Notice of Public Hearing:

Notice of Public Hearing on the application for the City of Star Council was published in accordance with the requirements of Title 67, Chapter 65, Idaho Code and the Star Unified Development Code on January 20, 2023. Notice of this public hearing was mailed to property owners within three-hundred feet (300') of the subject property in accordance with the requirements of Title 67, Chapter 65, Idaho Code and Star Unified Development Code on January 17, 2023. Notice was sent to agencies having jurisdiction in the City of Star on October 11, 2022. The property was posted in accordance with the Star Unified Development Code on January 26, 2023.

D. History of Previous Actions:

The city does not have any previous land use history for this parcel.

E. Comprehensive Plan Land Use Map and Zoning Map Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	County Rural	Mixed Use (MU)	Single Family
	Transitional (RUT)		Residential/Bare Ground
Proposed	Mixed Use (MU-DA)	Mixed Use (MU)	Storage Condos
North of site	County Rural	Estate Urban Residential	Single Family Residential
	Transitional (RUT)		
South of site	County Rural	Mixed Use (MU)	Single Family
	Transitional		Residential/Bare Ground
	(RUT)/Mixed Use (MU)		
East of site	County Rural	Neighborhood Residential	Bare
	Transitional (RUT)		Ground/Agricultural Use
West of site	Residential (R-3PUD-	Estate Urban Residential	Rosti Farms
	DA)/County Rural		Subdivision/Single
	Transitional (RUT)		Family
			Residential/Agricultural

F. Development Features.

ANNEXATION & REZONE:

The annexation and rezone request from County Rural Urban Transition (RUT) to Multi-Use (MU) on the applicant's property will allow for the development of the property in a manner that will be consistent with the current Comprehensive Plan Map. Sewer and Water will be provided by the Star Sewer and Water District and is available at the northwest and southwest corners of the property. Annexation into the Sewer and Water District will be required.

CONDITIONAL USE PERMIT:

The applicant is requesting approval of a Conditional Use Permit for an approximately 274,750 square feet self-storage facility. The proposed development would consist of 14 buildings that will contain individually owned units (condominiums) and will be used for the storage of recreational vehicles and personal items. The main buildings change in size from 11,000 square feet to 28,000 square feet. The applicant has not stated how many individual units will be within the facility. The site will be improved with paved driving aisles, perimeter landscaping and a security gate. Main access will currently be taken from N. Hwy 16. The site plan shows approximately 100 linear feet from the edge of Hwy 16 to the gate entrance of the facility. This distance will provide adequate room for most trucks with trailers or motorhomes to pull off the highway without blocking traffic, creating an unsafe situation. Staff is recommending a remote

gate control system be installed to insure that entrance into the facility from Highway 16 will not impede traffic flow at any time.

The Owner has agreed to and is setting aside a 54-foot-wide easement for a future road along the entirety of the western property boundary. The current, approved City transportation map (ECAMP) shows a future collector road from W. Floating Feather south through this property and eventually down to W. State Street. When this future road is constructed and connected to the north and/or south providing another access point to the facility, the Hwy 16 access will be closed permanently.

The applicant has provided exterior elevations and color renderings that demonstrate compliance with the architectural overlay design guidelines.

The applicant has not asked for any setback waivers and the site plan is compliant with the required Mixed-Use setbacks.

Once the buildings are constructed, the applicant shall submit a condominium plat to the City for approval and recordation.

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. The submitted landscape plan appears to meet these requirements.

DEVELOPMENT AGREEMENT:

Through the Development Agreement process, the applicant is proposing to work with the City and neighboring property owners to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- Access to Hwy 16/Remote Access to gate
- Landscaping
- Specifically requested Conditional Use Approvals
- Emergency Access
- Future Condominium Plat

H. On-Site Features:

Irrigation/Drainage District(s): - Middleton Mill Ditch Company Middleton Irrigation Association P.O. Box 848, Middleton, ID 83644

Flood Zone: This property is not located in a Special Flood Hazard Area.

- Special On-Site Features: Areas of Critical Environmental Concern No known areas.
- Evidence of Erosion No known areas.
- Fish Habitat No known areas.
- Mature Trees Yes, healthy, mature trees will be preserved if possible.
- Riparian Vegetation None.
- Steep Slopes None.
- Stream/Creek Along the north, west and south of the property.
- Unique Animal Life No unique animal life has been identified.
- O Unique Plant Life No unique plant life has been identified.
- Unstable Soils No known issues.
- Wildlife Habitat No wildlife habitat has been developed or will be destroyed.
- Historical Assets No historical assets have been observed.

I. Agencies Responding:

The following agencies responded, and correspondence was attached to the staff report.

Star Fire District Pending

ACHD November 1,2022
ITD November 21, 2022
COMPASS November 8, 2022

J. Staff received the following letters & emails for the development:

January 31, 2023 Adam Capell on behalf of Toll Brothers

K. Comprehensive Plan and Unified Development Code Provisions:

Comprehensive Plan:

.2.3 Land Use Map Designations:

Mixed Use District

Generally suitable for a mixture of uses which may, at the sole discretion of the Council, include office, commercial, light industrial, and/or residential depending upon the specific area designated as Mixed Use. See Mixed Use Implementation Policies for specific criteria. Development within this land use designation is to proceed through the PUD and/or development agreement process. Identifying areas for mixed-use development has two objectives. The first objective is to give the city a better tool to

manage the type of developments through the planned unit development and/or the Development Agreement process. The second objective is that this land use designation will allow the development community to be more innovative in design and placement of structures. Development design guidelines should also be established to guide development within mixed-use areas. Rezoning within this land use designation is to be strictly monitored by the city to assure that the Mixed-Use areas are not being used simply to justify high density residential use.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.7 Policies Related Mostly to the Mixed-Use Planning Areas:

A. Council, at their sole discretion, shall determine what mix of uses are appropriate for any Mixed-Use area considering existing property owners rights. B. Development within the Mixed-Use Designation is to proceed through the CUP, PUD, and/or Development Agreement process, and a concept plan must be included with any such proposed use. C. In general, Mixed-Use areas along state highways should be predominantly commercial with a very minor component of residential unless the residential is placed on upper floors as part of a mixed-use building. D. Mixed use areas along state and U.S. Highways where direct access to the state highway is prohibited, like along State Highway 16 between State Highway 44 and US Highway 20/26, should be predominately residential with a minor component of neighborhood commercial, or light industrial if sufficient roadway access, by means of backage or other roads, to the State Highway is provided. E. Mixed use areas located between commercial and residential land use designations are to provide a compatible transition between the higher intensity use of commercial and the lower intensity use of Estate and Neighborhood Residential. Uses for these Mixed-Use areas could include multifamily housing and or office related uses if determined by the Council through the public hearing process, to be appropriate.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Require more open space and trees in subdivisions.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4
 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of
 roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

18.4 Implementation Policies:

E. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

<u>Unified Development Code:</u>

8-1B-1: ANNEXATION AND ZONING; REZONE:

- B. Standards:
- 1. The subject property shall meet the minimum dimensional standards of the proper district.
- 2. The city may require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement and concept plan shall be required for any rezone to a mixed-use zone, high density zone or land which includes steep slope (land over 25%) or floodway.
- 3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion

of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.

- 4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.
- 5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.
- C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:
- 1. The map amendment complies with the applicable provisions of the comprehensive plan;
- 2. The map amendment complies with the regulations outlined for the proposed district;
- 3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
- 4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
- 5. The annexation (as applicable) is in the best interest of city.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

MU MIXED USE DISTRICT: To provide for a mixture of uses which may, at the sole discretion of the Council, include office, commercial, and/or residential depending upon the specific comprehensive plan area designated as Mixed Use. Development within this zone is to proceed through the PUD process unless a development agreement has already been executed for the particular property. Identifying areas for mixed-use development has two objectives. The first objective is to give the city a better tool to manage the type of developments through the planned unit development and/or the Development Agreement process. The second objective is

that this zone may allow the development community to be more innovative in design and placement of structures subject to Council review and approval. Rezoning within this land use designation is to be strictly monitored by the city to assure that the Mixed-Use areas are not being used simply to justify high density residential use. Residential uses may be part of an overall mixed-use development that includes a non-residential component and may not exceed 30% of the overall size of the development.

<u>DA DEVELOPMENT AGREEMENT:</u> This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	MU
Storage facility, outdoor (Commercial) 1	С
Storage facility, self-service (Commercial) 1	С

Notes:

1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

	Maximum Height	Minimum Yard Setbacks Note Conditions				
Zoning District	Note Conditions	Front (1) Rear Interior Side Street				
MU	35'	For MU and CBD - Unless otherwise approved by the Council as a part of a PUD or development agreement, all residential buildings shall follow the residential setbacks shown in this table based upon the project density and all other buildings shall follow setbacks for the C-2 zone (3).				
C-2	35'	20'	5'	0'	20'	

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.

- 2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
- 3. All setbacks in the CBD, C-1. C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
- 4. As approved by the Fire District.

8-1B-4: CONDITIONAL USES:

- A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.
- B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

- 1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.
- 2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.
- 3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.
- D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:
- 1. Minimize adverse impact of the use on other property.
- 2. Control the sequence and timing of the use.
- 3. Control the duration of the use.
- 4. Assure that the use and the property in which the use is located is maintained properly.
- 5. Designate the exact location and nature of the use and the property development.
- 6. Require the provision for on site or off-site public facilities or services.

- 7. Require more restrictive standards than those generally required in this title.
- 8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.
- **8-1B-4E. FINDINGS:** The council shall base its determination on the conditional use permit request upon the following:
- 1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
- 2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.
- 3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
- 4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
- 5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
- 6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
- 7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
- 8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

8-1B-1C: ANNEXATION AND ZONING FINDINGS:

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.

The Council finds that the purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:

- ✓ Protection of property rights.
- ✓ Adequate public facilities and services are provided to the people at reasonable cost.
- ✓ Ensure the local economy is protected.
- ✓ Encourage urban and urban-type development and overcrowding of land.
- ✓ Ensure development is commensurate with the physical characteristics of the land.

The goal of the Comprehensive Plan for the Mixed Use District is to allow a mixture of uses which may, at the sole discretion of the Council, include office, commercial, light industrial, and/or residential depending upon the specific area designated as Mixed Use. The Council finds that this annexation is in compliance with the Comprehensive Plan.

2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

The Council finds that the mixed-use purpose statement states that the purpose of the mixed-use districts is to provide for a mixture of uses which may, at the sole discretion of the Council, include office, commercial, and/or residential depending upon the specific comprehensive plan area designated as Mixed Use. Council finds that this request is consistent with the statement.

3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

The Council finds that there is no indication from the material and testimony submitted that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.

4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

The Council finds that the City has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.

5. The annexation is in the best interest of the city.

The Council finds this annexation is reasonably necessary for the orderly development of the City.

8-1B-4E: CONDITIONAL USE PERMIT FINDINGS:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

The Council finds nothing in the record indicating that the site of the proposed use would not be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

The Council finds that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development meets the intent or purpose.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

The Council finds that operation of the proposed use would be compatible with the other uses in the general area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

The Council finds that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

The Council finds that the proposed will be adequately served by essential public facilities and services.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

The Council finds that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community. The City has not received notice from any agency having jurisdiction stating that this application will create excessive additional costs for the public facilities and services as the development will pay for all changes in services.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The Council finds that the proposed use would involve activities that would not be

detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

The Council finds that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.

Public Hearing of the Council:

- a. A public hearing on the application was heard by the City Council on February 7, 2023, at which time testimony was heard and the public hearing was closed. The City Council made their decision at that time.
- b. Oral testimony regarding the application was presented to the City Council by:
 - Jeff Hatch
 - Brian Burnett
 - Craig Kramme
- c. Written testimony in favor of or opposing the application was presented to the City Council at the hearing by:
 - Michelle Galloway
 - Chad Hartley
 - Chris Todd
 - Todd Collins

Deliberations and Conclusions of Law:

The Council reviewed the particular facts and circumstances of this proposed annexation and conditional use permit application in accordance with the City of Star Title 8 (Unified Development Code), deliberated on the matter, resulting in review of the record, including the staff report, and discussions on the development. Review and discussion included access, landscaping, lighting and building elevations. The Council placed conditions of approval on the application. Council concluded that the Applicant's request, as conditioned, meets the requirements for annexation and conditional use. Council hereby incorporates the staff report dated February 7, 2023, together with the hearing minutes, into the official decision as part of these Findings of Fact, Conclusions of Law.

Statement of Compliance:

Council finds the Applicant has met all requirements of the Unified Development Code and the intent and purpose of the Comprehensive Plan and Map requirements.

Council added to the Development Agreement and Conditional Use Permit the following conditions of approval to their decision to approve the application to include the following:

- The applicant shall construct a right-in, right-out access with approval from ITD to mitigate traffic concerns on Highway 16.
- The applicant shall provide a 54' easement to the City of Star along the entire western boundary of the property for the purpose of a future internal access to the facility. Once the internal access is in place, the applicant agrees to permanently close the access on Highway 16, other than for emergency access if approved by the Star Fire District and ITD.
- The applicant shall provide a remote gate control system be installed to insure that entrance into the facility from Highway 16 will not impede traffic flow at any time.
- Once the buildings are constructed, the applicant shall submit a condominium plat to the City for approval and recordation.

CONDITIONAL USE PERMIT CONDITIONS OF APPROVAL

- 1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 2. Prior to certificate of occupancy for the storage facility, the applicant shall submit a condominium plat for review and approval.
- 3. Once access is provided to the development internally, the access onto Hwy 16 shall be removed.
- 4. The applicant shall provide a remote gate control system be installed to insure that entrance into the facility from Highway 16 will not impede traffic flow at any time.
- 5. The applicant shall provide a 54' easement to the City of Star along the entire western boundary of the property for the purpose of a future internal access to the facility. Once the internal access is in place, the applicant agrees to permanently close the access on Highway 16, other than for emergency access if approved by the Star Fire District and ITD.
- 6. The applicant shall construct a right-in, right-out access with approval from ITD to mitigate traffic concerns on Highway 16.
- 7. Streetlights/Parking Lot lights shall comply with the Star City Code. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a streetlight design that meets city standards prior to Building Permit.**

- 8. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 9. A form signed by the Star Sewer & Water District shall be submitted to the City prior to issuance of building permit stating that all conditions of the District have been met, including annexation into the District.
- 10. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
- 11. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy or the unit.
- 12. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
- 13. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
- 14. A Certificate of Zoning Compliance will be required prior to the start of construction.
- 15. Any additional Condition of Approval as required by Staff and City Council. Any Conditions of Approval as required by Star Fire Protection District.

Council Decision:

The Council voted 4-0 to approve the Annexation and Development Agreement, and Conditional Use Permit on February 7, 2023.

Dated this 22 nd day of February 2023.	
	Star, Idaho
ATTEST:	By: Trevor A. Chadwick, Mayor
Jacob M. Qualls, City Clerk	,

FINDINGS OF FACT AND CONCLUSIONS OF LAW COLT HEIGHTS SUBDIVISION FILE NO. PP-22-09/PR-22-03

The above-entitled Preliminary Plat and Private Street land use applications came before the Star City Council for their action on January 3, 2023, and on February 7, 2023, at which time public testimony was taken and the public hearing was closed. The Star City Council, having requested and taken oral and written testimony, and having duly considered the matter, does hereby make the following Findings of Fact and Conclusions of Law.

Procedural History:

A. Project Summary:

The Applicant is seeking approval of a Preliminary Plat and Private Street for a proposed residential subdivision consisting of 5 residential lots and 2 common lots. The property is located on the north side of the existing Colt Place Subdivision in Star, Idaho and consists of 10.96 acres with a proposed density of .46 dwelling units per acre. The subject property is generally located north of Floating Feather Road, west of N. Plummer Road and will be accessed from W. Wyatt Earp Drive. Ada County Parcel Number S0405438440.

B. Application Submittal:

A neighborhood meeting was held on July 13, 2022, in compliance with the application submittal requirement of the Star Unified Development Code (Section 8-1 A-6 C). The Land Use application was deemed complete on August 11, 2022.

C. Notice of Public Hearing:

Notice of Public Hearing on the application for the City of Star Council was published in accordance with the requirements of Title 67, Chapter 65, Idaho Code and the Star Unified Development Code on November 1, 2022. Notice of this public hearing was mailed to property owners within three-hundred feet (300') of the subject property in accordance with the requirements of Title 67, Chapter 65, Idaho Code and Star Unified Development Code on October 27, 2022 and December 21, 2022. Notice was sent to agencies having jurisdiction in the City of Star on August 11, 2022. The property was posted in accordance with the Star Unified Development Code on December 21, 2022.

D. History of Previous Actions:

January 17, 2006

Council approved applications for annexation and zoning (AZ-06-01) and Preliminary Plat (PP-06-01) for the Connor-Carson

Property. Property size is 47.26 acres, zoned R-3 with a development agreement. The Preliminary Plat consisted of 122 single family residential lots with 14 common lots on 47.26 acres with a density of 2.6 units per acres. The Development Agreement included a condition of approval restricting no more than 5 lots north of Foothill Canal.

Council approved Final Plat (FP-06-10) for Phase 1 of Colt Place, formerly known as Connor-Carson property. Phase 1 has 49 residential lots, reduced from 53 originally proposed.

Council approved Final Plat (FP-13/01) for Phase 2 of Colt Place consisting of 30 residential lots, reduced from 34 originally proposed.

Council approved Final Plat (FP-14-05) for Phase 3 of Colt Place consisting of 29 residential lots, reduced from 30 originally

proposed.

E. Comprehensive Plan Land Use Map and Zoning Map Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Residential (R-3-DA)	Estate Urban Residential	Vacant
Proposed	Residential (R-3-DA)	Estate Urban Residential	Single-Family Residential
North of site	RUT (County)	Rural Residential	Star Acres Subdivision
South of site	Residential (R-3-DA)	Estate Urban Residential	Colt Place Sub. No. 2
East of site	Residential (R-4-DA)	Neighborhood Residential	Approved Langtree
			Bungalows
West of site	RUT (County)	Estate Urban Residential	Vacant

F. Development Features.

June 6, 2006

April 2, 2013

June 17, 2014

PRELIMINARY PLAT & PRIVATE STREET:

Colt Heights Subdivision consists of 5 single-family detached residential lots and 2 common lots for a total of 7 lots on 10.96 acres. Residential lots range in size from 1.0 acres to 1.39 acres with an average buildable lot size of 1.23 acres. The gross density of the development is 0.46 dwelling units per acre.

Primary access and frontage for the lots will be from W. Wyatt Earp Drive using proposed Wooden Wagon Lane and proposed Silverpeak Lane, which will be a private street. Silverpeak Lane will provide access to each residential lot. A hammerhead, on the west end of Silverpeak

Lane will provide turn around access for the fire department. The access and turn-around shall be approved by the Fire District.

As earlier stated, the City Council originally approved five (5) residential lots on this property located north of the Foothills Ditch as part of the Colt Place Subdivision annexation in 2006. Included in the original conditions of approval in the Development Agreement was the following:

- i. Future development at a density not to exceed three (3) du/acre and not more than five (5) lots north of the Foothills Ditch;
- ii. <u>Developer must meet the requirements, if any, of Idaho Fish and Game and the Army Corps of Engineers prior to final plat of any subject ground north of Foothills ditch;</u>
- iii. <u>Developer must continue the historic path of the irrigation drainage through the subject property from Star Acres.</u>

In July of 2022, the applicant submitted a preliminary plat with five 1 plus acre lots encompassing the entire 10.98 acres. Staff required the applicant to notify both the Army Corps of Engineers and Idaho Fish and Game to address issues related to the original concerns by the City Council that were part of the three conditions of approval. On October 13, 2022, City Staff, including the City Engineer met on-site with the applicant's representative and representatives from Army Corp of Engineers and walked the entire site. A correspondence addressing that visit is included within this record and indicates that there may be some areas on the property that could require further wetland delineation be studied, based on the original site layout. In discussions with the Army Corp representatives on-site, it was Staff's understanding that future wetlands delineation may be required in small areas of the development, mostly in the eastern portions of the property and as a result of the proposed private street (The applicant has recently provided Staff with a copy of a Delineation report dated December 28, 2006). Based upon the site visit and meeting with the Army Corp representatives, Staff met with the applicant and made a suggestion that the preliminary plat be redesigned to cluster the residential lots to the west and leave the eastern portion of the property as open space, thus reducing the amount of disturbance to the more sensitive area of the property. It was also suggested that the eastern area may make for an excellent community park.

As redesigned and resubmitted to Staff, Lot 1 of the development is 4.63 acres or approximately 43% of the parcel and is being set aside as an open area to address the comments from the Army Corp of Engineers and help with the concerns of the neighbors regarding wildlife habitat and drainage. The future use and ownership of this lot will need to be determined by Council. The applicant suggests that the area be dedicated to the City as natural park area. The applicant has agreed to provide a passive pathway within the property to connect to any future pathway along the Foothill Ditch and also to connect to the natural pathway to the east within the Langtree Bungalows development.

On November 17, 2022, Staff arranged a meeting between the property owner and his representatives and several neighboring property owners to review the proposed concept of clustering the residential lots to the west and leaving the eastern portion as open space.

Section 8-4E-2 of the UDC allows Council to waive landscaping requirements for subdivisions with densities of 1 acre or less. Given the large lot size and density of this development, and with the potential protection of Lot 1, staff is supportive of the waiver for open space.

The Unified Development Code, Section 8-6B-2 requires public and private street widths to be a minimum of thirty-six feet (36') wide, unless specifically approved by Council. The applicant is proposing 28-foot-wide private roads with no sidewalks. Staff is supportive of the street width and waiver of sidewalks, given the low density and number of homes served by the private road and recommends no parking on either side of the street. **The reduced width and sidewalk waiver will also minimize disturbance of the property, which was a request by neighboring property owners.**

ADDITIONAL DEVELOPMENT FEATURES:

<u>Lighting</u>

Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a streetlight design that is in compliance with city requirements. The Applicant has provided streetlight locations. Staff will require a light at the intersection of W. Wyatt Earp Dr. and Wooden Wagon Lane. Applicant shall provide streetlight style/design to City Staff for approval, prior to installation. Shielding of streetlights may be required to protect adjacent properties from fugitive light.

Mailbox Clusters

Applicant has not provided approval from the Star Postmaster for the indicated location of the mailbox cluster. This will be required prior to signing the final plat. The applicant shall work with the Postmaster on relocation of the cluster if a private gate is utilized on the private street.

Street Names

Applicant has not provided documentation from Ada County that the street names are acceptable and have been approved. This will be required prior to signing the final plat.

Subdivision Name

Applicant has provided a letter from Ada County that the subdivision name has been approved and reserved for this development.

- <u>Setbacks</u> The applicant has not proposed changes to the current setbacks of the R-3 zone. Staff recommends that the five residential lots be required to adhere to the R-1 setbacks to further protect adjacent rural residences.
- Block lengths The single block meet the 750' block length requirement.

ADDITIONAL ITEMS FOR COUNCIL CONSIDERATION Items that should be considered by the applicant and Council include the following:

- Private Street Width of 28' with no parking or sidewalks;
- Private Gate for Private Street;
- R-1 Setbacks
- ITD Proportionate Share Fees;
- Dedication of Open Space to City including initial preparation of pathways, tree cleanup, etc.;
- Fencing along northern boundary of development
- Additional landscaping to address fugitive car headlights

STAFF ANALYSIS & RECOMMENDATIONS

Staff is supportive of the initially submitted five lot preliminary plat without the set aside open space that was originally approved and conditioned by Council as part of the annexation and overall design of the Colt Place Subdivision. The submittal matches what was originally approved and expected by the surrounding community at the time of approval. The applicant has satisfied the original Development Agreement conditions of approval by working with the Army Corp of Engineers and Fish and Game. Any disturbance of sensitive wetland areas would be required to be delineated under the supervision of the Army Corp.

Staff is also supportive of the revised preliminary plat with the preserved open space and believes that it is a superior design that addresses as many of the concerns from the Army Corp of Engineers regarding potential wetland delineation, Fish and Game on the protection of wildlife and the concerns of the neighboring property owners.

G. Existing Site Characteristics:

Existing Site Characteristics: The property is currently vacant ground.

Irrigation/Drainage District(s): Middleton Irrigation Association

Middleton Mill Ditch Company

P.O. Box 848

Middleton, Idaho 83644

Flood Zone: This property is located in an area of minimal flood hazard, Zone X.

FEMA FIRM panel: 16001C0130J Effective Date: 6/19/2020

Special On-Site Features:

- Areas of Critical Environmental Concern No critical environmental concerns identified, per Idaho Department of Fish and Game and Army Corp of Engineers documents received.
- ♣ Evidence of Erosion No known areas.
- ◆ Fish Habitat No known areas.
- ◆ Mature Trees Yes. Trees in eastern section of property to be preserved within open space proposed to be dedicated to the City.
- Riparian Vegetation No.
- Steep Slopes Yes.
- Stream/Creek None. Existing irrigation/drainage ditches.
- Unique Animal Life No "Special Status" animal life has been identified, per Idaho Fish and Game documentation received.
- Unique Plant Life No "Special Status" plant life has been identified, per Idaho Fish and Game documentation received.
- Unstable Soils No known issues.
- ◆ Wildlife Habitat Yes. Approximately 43% of overall property to be permanently preserved for habitat.
- Historical Assets No historical assets have been observed.

H. Agencies Responding:

The following agencies responded, and correspondence was attached to the staff report.

City Engineer	December 20, 2022
Star Trans. & Pathway Committee	August 29, 2022
ACHD	August 24, 2022
Idaho Dept of Fish & Game	November 1, 2022
US Army Corps of Engineers	November 4, 2022 Email

I. Staff received the following letters & emails for the development:

Katy Slater	Email	November 18, 2022
	Email	December 26, 2022
Carol Ward	Email	December 26, 2022
Robert Fehlau	Letter	December 26, 2022
Peggy Fahy	Email	December 27, 2022

J. Comprehensive Plan and Unified Development Code Provisions:

Comprehensive Plan:

8.2.3 Land Use Map Designations:

Estate Urban Residential:

Suitable primarily for single family residential use. Densities in this land use area are a maximum of 3 dwelling units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed immediately adjacent to existing residential lots of greater than one acre where those existing larger lots are not likely to be subdivided in the future. Clustering is allowed to preserve open space.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Retain and encourage rural areas where it will not result in increased costs for urban service.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.

B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Require more open space and trees in subdivisions.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4
 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of
 roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

Unified Development Code:

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

(R) RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

Zoning District Uses	Α	RR	R
Dwelling:			
Multi-Family	N	N	С
Secondary	Α	Α	Α
Single-Family Attached	N	N	Р

Single-Family Detached	Р	Р	Р
Two-Family Duplex	N	N	Р
Live/Work Multi-Use	N	N	Ν

Notes:

1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

	Maximum	Minimum Yard Setbacks Note Conditions			
Zoning District	Height Note Conditions	Front (1)	Rear	Interior Side	Street Side
R-1_	35'	30'	30'	10'	20'
R-2	35'	20'	20'	10'	20'
R-3	35'	15' to living area/side load garage 20' to garage face	15'	7.5′ (2)	20'

Notes:

- 1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
- 2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
- 3. All setbacks in the CBD, C-1. C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
- 4. As approved by the Fire District.

8-3B-3: RESIDENTIAL DISTRICTS:

- A. Comply with Section 8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED.
- B. When development is planned with lots that directly abut existing lots within a Rural

Residential area, or "Special Transition Overlay Area" as shown on the Comprehensive Plan Land Use map, an appropriate transition shall be provided for the two abutting residential lot types. A transition shall take into consideration site constraints that may exist and may include clustering of the urban lots in order to provide an open space area avoiding urban lots directly abutting rural residential lots, or may include the provision of a buffer strip avoiding urban lots directly abutting rural residential lots, or may include setbacks within the urban lots similar to the rural residential lots directly abutting, or may include the provision of one half to one acre size lots directly abutting the rural residential lots.

- C. Urban style development, as guided by provisions within the compressive plan and this Title, is required to limit urban sprawl, however, densities of no more than 1 to 2 dwelling units per acre are to be designed within the floodplain, ridgeline developable areas and hillside developable areas (both as defined within the comprehensive plan).
- D. Housing developments with densities of R-11 and higher shall be designed to limit height, increase setbacks and/or provide additional landscaping along the perimeter of the development, if determined by the council, where abutting areas are planned for lower densities.
- E. Rezoning to R-11 and higher shall not be allowed unless adequate ingress/egress to major transportation corridors is assured.
- F. All new residential, accessory uses or additions/remodels within the residential zones shall pave all unpaved driveways to the home.
- G. Spite strips, common lots, unreasonable development phasing, or other means of any type purposely or unintentional that may result in the blocking of services or development, including but not limited to sewer, water, streets, or utilities are prohibited in any zoning district within the City of Star.
- H. In any development that requires a traffic signal as part of the approval process, the developer shall be responsible for providing an Emergency Opticom System to the intersection.
- I. Transitional Lots. For proposed residential developments located adjacent to a Special Transition Area only, as determined on the current Comprehensive Plan Land Use Map, transitional standards listed below shall be required if reasonable evidence is presented that adjacent properties will not be further subdivided in the future. This shall be through a legal encumbrance that prevents the adjacent land from being further subdivided. These encumbrances shall include:
 - a. Property with a Future Comprehensive Plan Land Use Map designation that does not allow future redevelopment to densities lower than one dwelling unit per acre.
 - b. Subdivision CC&R's preventing further redevelopment;
 - c. Easements granted to municipal or other political entities, voluntary development easements granted to conservation land trusts, or other, legal encumbrances conserving the property in perpetuity, such as deed restrictions.

This specifically excludes statements from landowners regarding future intent

without proof of legal encumbrance.

The allowed Transitional Density for new development adjacent to Special Transition Areas, shall be as follows:

Existing Transitional Lot	Allowed Immediately	Allowed Immediately
Sizes	Adjacent Minimum Lot	Across the Road from
	Size	Transitional Lot
Lots larger than 1.1-acre	1 acre lots	½ acre lots
Lots of 1 to 1.1-acre	½ acre lots	1/3 acre lots
Lots smaller than 1-acre	1/3 acre lots	R-3 density Maximum

8-4D-3: STANDARDS (PRIVATE STREETS):

All private streets shall be designed and constructed to the following standards:

A. Design Standards:

- p1. Easement: The private street shall be constructed on a perpetual ingress/egress easement or a single platted lot (with access easement) that provides access to all applicable properties.
- 2. Connection Point: Where the point of connection of the private street is to a public street, the private street shall be approved by the transportation authority.
- 3. Emergency Vehicle: The private street shall provide sufficient maneuvering area for emergency vehicles as determined and approved by the Star Fire District.
- 4. Gates: Gates or other obstacles shall not be allowed, unless approved by Council through a Planned Unit Development or Development Agreement.
- B. Construction Standards:
- 1. Obtain approval from the county street naming committee for a private street name(s);
- 2. Contact the transportation authority to install an approved street name sign that complies with the regulations of the county street naming ordinance;
- 3. Roadway and Storm Drainage: The private street shall be constructed in accord with the roadway and storm drainage standards of the transportation authority or as approved by the city of Star based on plans submitted by a certified engineer.
- 4. Street Width: The private street shall be constructed within the easement and shall have a travel lane that meets ACHD width standards for the City of Star, or as determined by the Council and Star Fire District.
- 5. Sidewalks: A five foot (5') attached or detached sidewalk shall be provided on one side of the

street in commercial districts. This requirement may be waived if the applicant can demonstrate that an alternative pedestrian path exists.

- 6. Fire Lanes: All drive aisles as determined by the Star Fire District to be fire lanes, shall be posted as fire lanes with no parking allowed. In addition, if a curb exists next to the drive aisle, it shall be painted red.
- 7. No building permit shall be issued for any structure using a private street for access to a public street until the private street has been approved.
- C. The applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review. The condition of approval shall include the following:
 - 1. Private Road Reserve Study Requirements.
 - a. At least once every three years, the board shall cause to be conducted a reasonably competent and diligent visual inspection of the private road components that the association is obligated to repair, replace, restore, or maintain as part of a study of the reserve account requirements of the common interest development, if the current replacement value of the major components is equal to or greater than one-half of the gross budget of the association, excluding the association's reserve account for that period. The board shall review this study, or cause it to be reviewed, annually and shall consider and implement necessary adjustments to the board's analysis of the reserve account requirements as a result of that review.
 - b. The study required by this section shall at a minimum include:
 - i. Identification of the private road components that the association is obligated to repair, replace, restore, or maintain.
 - ii. Identification of the probable remaining useful life of the components identified in paragraph (1) as of the date of the study.
 - iii. An estimate of the cost of repair, replacement, restoration, or maintenance of the components identified in paragraph (1).
 - iv. An estimate of the total annual contribution necessary to defray the cost to repair, replace, restore, or maintain the components identified in paragraph (1) during and at the end of their useful life, after subtracting total reserve funds as of the date of the study.
 - v. A reserve funding plan that indicates how the association plans to fund the contribution identified in paragraph (4) to meet the association's obligation for the repair and replacement of all private road components.

c. A copy of all studies and updates shall be provided to the City, to be included in the development application record.

8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

8-4E-2: COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS - STANDARDS:

- A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):
- 1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the gross land area of the development. Ten percent (10%) of that area shall be usable open space.
- 2. Each development is required to have at least one site amenity.
- 3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.
- 4. <u>Developments with a density of less than 1 dwelling units per acre may request a reduction in total required open space and amenities to the Council.</u> Developments with a density of less than 2 dwelling units per acre may request a 50% reduction in total required open space to the Council.
- 5. For multi-family developments, see Section 8-5-20 for additional standards.
- B. Qualified Open Space: The following may qualify to meet the common open space requirements:
- 1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:
- a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;
- b. Qualified natural areas;
- c. Ponds or water features where active fishing, paddle boarding or other activities are provided (50% qualifies towards total required open space, must be accessible by all residents to qualify.) ponds must be aerated;
- d. A plaza.

- 2. Additions to a public park or other public open space area.
- 3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.
- 4. Parkways along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:
- a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.
- b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.
- c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:
 - 2. Must be at least fifty feet by one hundred feet (50' x 100') in area;
 - 3. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
 - 4. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.
- 5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total.
- C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:
- 1. Clubhouse;
- 2. Fitness facilities, indoors or outdoors;
- 3. Public art;
- 4. Picnic area; or
- 5. Recreation amenities:
- a. Swimming pool.
- b. Children's play structures.
- c. Sports courts.

- d. Additional open space in excess of 5% usable space.
- e. RV parking for the use of the residents within the development.
- f. School and/or Fire station sites if accepted by the district.
- g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
- (1) The system is not required for sidewalks adjacent to public right of way;
- (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
- (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

8-6A-7: PRELIMINARY PLAT FINDINGS:

- 1. The plat is in conformance with the Comprehensive Plan;

 The Council finds that the Preliminary Plat, as approved and conditioned meets all requirements associated with Section 8-6A-3 of the UDC and is consistent with the Comprehensive Plan and will meet the intent of the Land Use designation. Further, the property is required to develop under the guidelines of the Comprehensive Plan and requirements of the Unified Development Code.
- 2. Public Services are available or can be made available and are adequate to accommodate the proposed development;

 The Council finds that Agencies having jurisdiction on this parcel were notified of this action. The City has not received notice that public services are not available or cannot be made available for this development. Emergency services were reviewed and mitigation recommended by the Star Fire District.
- 3. There is public financial capability of supporting services for the proposed development; The Council finds that the City has not received notice from any jurisdictional agency that there are any problems with public financial capability for this development.
- 4. The development will not be detrimental to the public health, safety or general welfare; The Council finds that the City has not been made aware of any known detriment that will be caused by this development. Residential uses are a permitted use and are compatible with other residential uses in the immediate area. Further, this property was previously approved under the original development agreement for Colt Place Subdivision, allowing for 5 lots.
- 5. The development preserves significant natural, scenic or historic features;

The Council finds that the preliminary plat, as presented with protected open space, will maintain known natural, scenic, or historic features that have been identified with this Preliminary Plat. The property has remained vacant.

8-4D-4: PRIVATE STREET FINDINGS:

- A. The design of the private street meets the requirements of this article; Council finds that the proposed private street meets the design standards in the Code.
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity:

Council finds that it has not been presented with any facts stating this private road will cause damage, hazard or nuisance, or other detriment to persons, property or uses in the vicinity. Conditions of approval shall be placed to insure compliance with emergency services.

C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

Council finds that the use is not in conflict with the comprehensive plan and/or regional transportation plan.

Public Hearing of the Council:

- a. A public hearing on the application was heard by the City Council on January 3, 2023, and February 7, 2023, at which time testimony was heard and the public hearing was closed. The City Council made their decision at that time.
- b. Oral testimony regarding the application was presented to the City Council by:
 - Becky McKay
 - Shawn L. Nickel, Planning Director
- c. Written testimony in favor of or opposing the application was presented to the City Council at the hearing by:
 - Katy Slater
 - Peggy Fahy
 - Carol Ward
 - Amy Berg
 - Michael Ware
 - Maxine McCombs
 - Rosalyn Studarus

- Layla Lockart
- Bob Fehlau
- Vic Warr

Deliberations and Conclusions of Law:

The Council reviewed the particular facts and circumstances of this proposed preliminary plat and private street application in accordance with the City of Star Title 8 (Unified Development Code), deliberated on the matter, resulting in review of the record, including the staff report, and discussions on the platting of the development. Review and discussion included development layout, emergency access/turn-around and street configuration, setbacks, open space, pathways and landscaping. The Council concluded that the Applicant's request, as conditioned, meets the requirements for preliminary plat and private streets. Council hereby incorporates the staff report and meeting minutes dated February 7, 2023 into the official decision as part of these Findings of Fact, Conclusions of Law.

Statement of Compliance:

Council finds the Applicant has met all requirements of the Unified Development Code and the intent and purpose of the Comprehensive Plan and Map requirements.

Council hereby approves the Preliminary Plat and Private Street applications and includes the following allowances and conditions of approval to their decision to include the following:

- The applicant shall provide a public access easement for a future pathway along the Foothill Ditch prior to signature of final plat.
- The common open space lot shall be placed into permanent open space as a City park, conservation easement or land trust.
- A natural pathway shall be provided by the applicant. The applicant shall work with the City Staff on the details of the pathway.
- The subdivision is approved with an R-1 maximum density.
- Future structures shall meet the setback requirements of the R-1 zoning district. A 40' minimum setback shall apply along the entire northern property line of the development.
- ITD Proportionate Shares shall be paid to the City for each residential lot.
- Private street is hereby approved by Council with a 28' road width with no parking and shall be approved by the Star Fire District.
- Sidewalks shall be installed along both sides of the private street on N. Wooden Wagon Lane to the north side of the bridge across the Foothills Ditch.
- The maintenance of the private street shall be the sole responsibility of the Colt Heights neighborhood association.

CONDITIONS OF APPROVAL

- 1) The applicant shall comply with the following Council added Conditions of Approval:
 - a) The applicant shall provide a public access easement for a pathway along the Foothill Ditch prior to signature of final plat.
 - b) The common open space lot shall be placed into permanent open space as a City park, conservation easement or land trust.
 - c) Sidewalks shall be installed along both sides of the private street on N. Wooden Wagon Lane to the north side of the bridge across the Foothills Ditch.
- 2) The approved Preliminary Plat for the Colt Heights Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.

3)

- 4) Applicant shall work with the Army Corp of Engineers regarding any wetland delineation associated with construction of the subdivision, including street and building pad locations.
- 5) Applicant shall meet all requirements of the City Engineer regarding development within the Hillside and/or sloped areas of the property.
- 6) The applicant agrees to a proportionate share assessment by ITD regarding impacts to the State Highway System. ITD has calculated the fees to be \$1,000.00 per residential unit. These fees will be collected by the City of Star, by phase, prior to final plat signature.
- 7) Applicant shall meet all the setback requirements in the Unified Development Code Section 8-3A-4 for the R-1 zone. A 40' structure setback shall be required along the entire north property line of the development.
- 8) Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision and shall be maintained by the Homeowners Association. Streetlights shall be installed prior to any building occupancy. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. Applicant/Owner shall add a streetlight at the intersection of W. Wyatt Earp Drive and Wooden Wagon Lane. Applicant shall also provide streetlight style/design to City Staff for approval, prior to installation. Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative and may require additional screening to protect neighboring properties.
- 9) All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
- 1) Applicant shall provide A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service.
- 2) Private street must be built to fire district standards and pass an inspection by the Fire Marshall prior to use.
- 3) The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, with the submittal of the final plat application.

- 4) The property with the approved Preliminary Plat shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
- 5) The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.
- 6) A letter from Ada County shall be provided approving the street names in the development and all names shall be reflected correctly on all pages of the final plat, before the mylar will be signed.
- 7) Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 8) A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
- 9) A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
- 10) A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
- 11) A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
- 12) Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 13) All common areas shall be owned and maintained by the Homeowners Association.
- 14) The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). Sign shall be approved by the City prior to start of construction.
- 15) A sign application is required for any subdivision signs.
- 16) Unless otherwise provided, Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic, high speed internet connectivity.

Council Decision:

The Council voted 4-0 to approve the Preliminary Plat and Private Street for Colt Heights Subdivision on February 7, 2023.

Dated this 22nd day of February, 2023.

	Star, Idaho
ATTEST:	By: Trevor A. Chadwick, Mayor
Jacob M. Qualls, City Clerk	



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

City of Star - Planning & Zoning Department Shu 1. Muh. FROM:

MEETING DATE: February 21, 2023

FP-22-25, Final Plat, Rivercreek Landing Subdivision, Phase 1 FILE(S) #:

FP-22-26, Final Plat, Rivercreek Landing Subdivision, Phase 2

REQUEST

Applicant is seeking approval of a Final Plat for Rivercreek Landing Subdivision Phase 1, consisting of 56 residential lots and 7 common lots on 16.63acres, and Phase 2, consisting of 72 residential lots and 9 common lots on 20.09 acres. The property is located at 3013 N. Pollard Lane, at the southwest corner of W. Beacon Light Road and N. Pollard Lane in Star, Idaho. Ada County Parcel Number S0404223010.

APPLCIANT/REPRESENTATIVE:

Joe Canning Centurion engineers, Inc. 2323 South Vista Ave., Ste. 206 Boise, Idaho 83705

OWNER:

AMH Development, LLC 921 S. Orchard Street, Ste. G Boise, Idaho 83705

PROPERTY INFORMATION

Land Use Designation -Residential R-4

Phase 1	Phase 2
16.63	20.09
56	79
7	9
0	0

HISTORY

January 5, 2021 Council tabled the Annexation and Zoning (AZ-20-17), Preliminary Plat

(PP-20-14) and Development Agreement (DA-20-23) to February 2, 2021 to allow the Applicant an opportunity to address density, setbacks,

floodplain issues and work with the neighbors.

February 2, 2021 Council approved applications for Annexation and Zoning (AZ-20-17),

Preliminary Plat (PP-20-14) and Development Agreement for Rivercreek Landing Subdivision. The revised preliminary plat was approved for 128 single family residential lots, 11 common area lots on 34.8 acres. Zoning

Designation given was residential (R-4).

GENERAL DISCUSSION

The Final Plat layout for Phase 1 and 2 generally complies with the approved Preliminary Plat.

Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:

The Original Preliminary Plat submitted contained 147 single family residential lots, and 15 common area lots for a total of 162 total lots. As approved by council, the conceptual layout dated February 2, 2021 (to be revised as a preliminary plat) contains 128 residential lots and 11 common lots for a total of 139 lots. Total open space was revised to include 5.93 acres (17.1%). Usable open space area must be a minimum of 10%. The final density as approved by Council is 3.44 dwelling units per acre, and the zoning designation was approved for R-4.

The residential lots range in size from 4,419 square feet to 8,000 square feet with the average buildable lot area of 7,300 square feet. The applicant has indicated that the development will contain a total of 5.50 acres (15.8%) of open space. This meets the minimum requirement for usable open space in the current Unified Development Code, Section 8-4E-2. Streets are proposed to be public throughout the development and will measure 36 ft from back of curb to back of curb and satisfy Section 8-4D-34B(4) of the UDC.

The development will be accessed on the north from W. Beacon Light Road. There will also be access on the east of the development to N. Pollard Lane. The development will also have a stub road located on the southwest edge of the property that will terminate at the property line with the possibility to extend in the future.

The current Unified Development Code, Section 8-4E-2 requires a development of this size to have 4 site amenities. The applicant is proposing a 10 ft wide exercise pathway around the eastern perimeter of block 7. The applicant also calls out a park and additional walking paths. These other features are not specified on the preliminary plat. This will be a condition of approval for the final plat and all 4 amenities need to be called out.

Staff analysis of Final Plat Submittal:

Lot Layout – The gross density of Phase 1 is 3.30 du/acre, with lots ranging in size from 5,187 square feet to 8,805 square feet. The gross density of Phase 2 is 3.78 du/ac, with lots ranging in size from 6,520 square feet to 10,128 square feet. The overall density is 3.44 du/ac.

<u>Common/Open Space and Amenities</u> – The Applicant has proposed 4 total amenities, which satisfies the Unified Development Code.

- Tot Lot
- 10-foot-wide Pathway
- Pool
- Clubhouse

<u>Mailbox Clusters</u> – The Applicant has not provided approval from the Star Postmaster, Mel Norton on the location of the mailbox clusters for this development. **This approval will be required prior to signing the final plat.**

Streetlights –A Streetlight design has not been provided with the final plat application. **A cut sheet/design and lighting plan will be required before signing the final plat.**

The lighting plan for phase 1 meets city standards. For phase 2, staff recommends that the light at W. Sunchase St. and N. Palma Ave. be moved to the northwest corner of that intersection. Staff also suggests that the light on N. Picton Ave. be moved north and placed on the property line of Lot 1 and 13 of Block 1 to help with any fugitive light on the neighbor to the north.

<u>Street Names</u> – Letter of approval of street names from Ada County for Phase 1 was included in the application packet and are reflected accordingly on the submitted final plat. The application for Phase 2 approval appears to have been submitted to Ada County, however no letter of approval was included in the application materials. This will be required before the final plat can be signed.

<u>Subdivision Name</u> – Letter of approval from Ada County Development Services was included in the application packet and is reflected on the plat.

<u>Sidewalks</u> – Sidewalks are proposed to be 5 foot wide and attached throughout the development.

<u>Landscaping</u> - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements.**

Setbacks – The Applicant has not been granted any special setbacks and will meet the requirements of the R-4 zone, as originally approved by Council.

PUBLIC NOTIFICATIONS

Notifications of this application were sent to agencies having jurisdiction on January 24, 2023.

None

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

A. The Plat is in conformance with the Comprehensive Plan.

The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.

- B. Public services are available or can be made available and are adequate to accommodate the proposed development.
- Staff finds that all public services are available and able to accommodate this development.
- C. There is public financial capability of supporting services for the proposed development. Staff knows of no financial hardship that would prevent services from being provided.
- D. The development will not be detrimental to the public health, safety or general welfare; and, Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.
- E. The development preserves significant natural, scenic or historic features. Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.

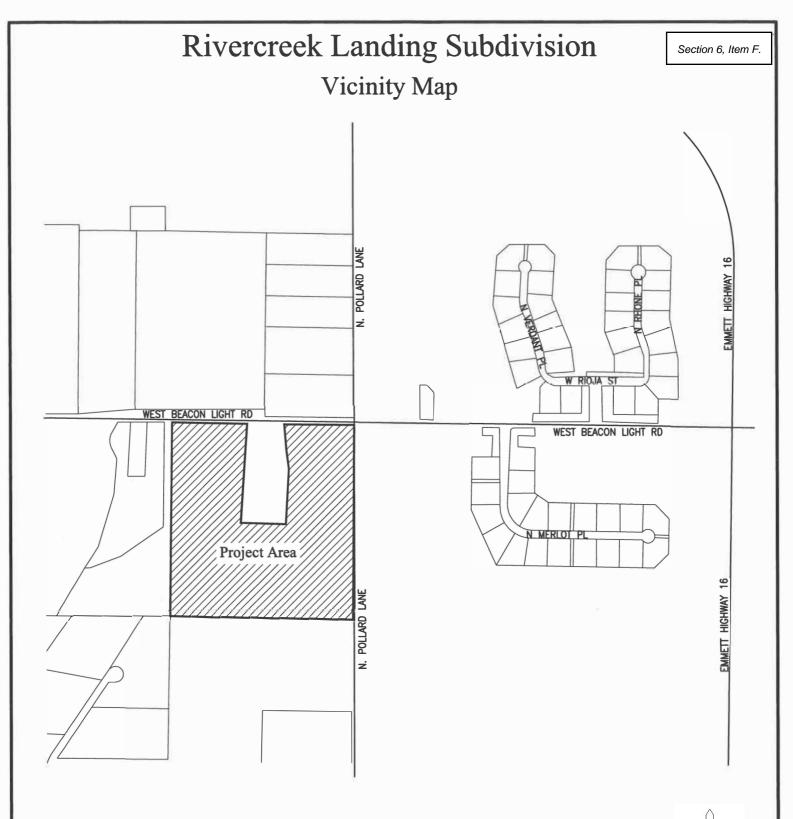
CONDITIONS OF APPROVAL

1. Per the Development Agreement and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the City \$966.08 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$123,659.00 The City will allocate funds to roadway improvements in the vicinity of the project. Phase 1 has 56 residential lots for a fee of \$54,100.48 (56 x \$966.08). Phase 2 has 72 residential lots for a fee of \$69,557.76. Total for both phases is \$123,659 (128 x \$966.08)

- 2. The approved Preliminary Plat for Rivercreek Landing Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 3. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
- 4. Lots 2 thru 5, Block 8, and Lots 14 & 15, Block 7 of the approved conceptual Layout dated February 2, 2021, shall be limited to one-story homes. This shall be a condition within the Development Agreement.
- 5. All pathways in the subdivision shall be provided with a hard surface of either concrete or pavement.
- 6. All public streets shall have a minimum street width of 36' and shall be constructed to ACHD standards.
- 7. Applicant shall meet all required setback requirements in the Unified Development Code Section 8-3A-4 for the R-4 zone, including side street setbacks of 20 feet.
- 8. Street trees shall be installed per Chapter 8, including Section 8-8C-2-M (2) Street Trees including one (1) tree per thirty-five (35) linear feet. The revised landscape plan shall be submitted that shows the correct placement and number of trees throughout the development and shall include a minimum of 10% usable open space. This shall be required prior to Final Plat approval. In addition, the landscape plan shall be revised to match the approved conceptual Layout dated February 2, 2021, and revised preliminary plat and shall include details regarding the required landscape berm and trees proposed along the western boundary of the neighboring property (9393 W. Beacon Light Rd). This plan shall be reviewed by the above-mentioned property owner and by Council prior to final approval.
- 9. The Applicant shall utilized the housing designs that were presented to Staff by the Owner's representatives including style, colors, and variation of models throughout the development.
- 10. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.
- 11. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
- 12. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 13. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
- 14. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.

- 15. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
- 16. The subsequent Final Plats shall comply with and be in accordance with the current City of Star Code, with the exception of any waivers granted by Council.
- 17. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
- 18. A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service.
- 19. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
- 20. A separate sign application is required for any subdivision sign.
- 21. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior** to signature of the final plat.
- 22. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.
- 23. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 24. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
- 25. A copy of signed irrigation agreements shall be submitted to the City **prior to signature of the final plat.**
- 26. All common areas shall be maintained by the Homeowners Association.
- 27. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). Sign shall be approved by the City prior to start of construction.
- 28. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
- 29. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
- 30. Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench, if not installed already by another, to be used for future fiber optic cables.
- 31. Any additional Condition of Approval as required by Staff and City Council.

	COUNCIL DECISION
The Star City Council Subdivision, Final Plat, Phase 1 and P	_ File # FP-22-25 and FP-22-26 Rivercreek Landing Phase 2, on





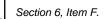
CENTURION | B&A ENGINEERS, INC.

Consulting Engineers, Land Surveyors, Planners 2323 S. Vista Ave. Ste. 206 | Boise, ID 83705 208.343.3381 | www.centengr.com





NORTH Not to Sca





City o P.O. Box 130 Star, Idaho 83669 P: 208-286-7247

FINAL PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.:	Fee Paid:
Applicant Information:	
PRIMARY CONTACT IS: Applicant X Own	er Representative
Applicant Name: Centurion Engineers, Inc Applicant Address: 2323 South Vista Ave, #206, Boise, Phone: (208) 343-3381 Email: jdcanning@centengr	ID Zip: <u>83705</u> com
Owner Name: <u>AMH Develpoment, LLC</u> Owner Address: <u>921 S Orchard St, Suite G Boise, ID</u> Phone: <u>(208)</u> <u>960-2436</u> Email: <u>kwellburn@ah4r.co</u>	
Representative (e.g., architect, engineer, developer): Contact: Joe Canning Firm Name: Address: 2323 South Vista Ave, #206, Boise, ID Phone: (208) 343-3381 Email: _jdcanning@centen Property Information:	∠ip: <u>83705</u>
Subdivision Name: Rivercreek Landing Sub.	Phase: 1
Parcel Number(s): S0404223010	
Approved Zoning: R-5 Units p	per acre: 3.79
Total acreage of phase: 16.63 Total r	
Residential: 56 Commercial: 0	
Common lots: 7 Total acreage of common lots	S: 2.38 Percentage: .14 %
Percent of common space to be used for drainage: 0.0	
Special Flood Hazard Area: total acreage None	
Changes from approved preliminary plat pertaining to the Preliminary Plat	
Number of Residential Lots: 54	63
Number of Common Lots: 6	7
Number of Commercial Lots: <u>N/A</u> Roads: <u>No changes</u>	N/A No changes
Final Plat Application	En. #5

Amenities: Common areas			
		_	
Flood Zo	one Data: (This Info Must Be Filled Out Completely Prior to Acceptance):	-	
Subdivi	sion Name: N/A Phase:	_	
	Flood Hazard Area: total acreage number of homes		
v ti	note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn one plat in situations where two or more flood zones intersect over the property or properties being surveyed.		
	EMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: IRM effective date(s): mm/dd/year		
	lood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.:		
E	Base Flood Elevation(s): AE0 ft., etc.:		
c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.			
	on Requirements:		
	(Applications are required to contain <u>one</u> copy of the following unless otherwise noted.)		
Applicant		Staff	
(√)	Description	(√)	
X	Completed and signed copy of Final Plat Application Fee: Please contact the City for current fee. Fees may be paid in person with check or		
	electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.		
	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall).	
×	include the following: • Gross density of the phase of the Final Plat submitted		
	Lot range and average lot size of phase		
	 Description of approved open space being provided in the submitted phase including 		
	percentage of overall open space, number and type of approved amenities		
	 List any specific approved building setbacks previously approved by Council. Electronic copy of legal description of the property (word doc and pdf version with engineer's 		
X	seal and closure sheet)		
X	Electronic copy of current recorded warranty deed for the subject property		
×	If the signature on this application is not the owner of the property, an original notarized		
^	statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.		
X	Electronic copy of subdivision name approval from Ada County Surveyor's office.		
	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada	d.	
X	County Street Naming		
X X X X	Electronic copy of vicinity map showing the location of the subject property		
$\stackrel{\wedge}{\nabla}$	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy** One (1) 11" X 17" paper copy of the Final Plat		
X	Electronic copy of the Final landscape plan**		

		Section 6, itel
X	One (1) 11" X 17" copy of the Final landscape plan	
X	Electronic copy of site grading & drainage plans**	
X X X	Electronic copy of originally approved Preliminary Plat**	
X	Electronic copy of a Plat with all phases marked with changes, if applicable**	
×	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	
×	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	
X	Electronic copy of streetlight design and location information	
N/A	Special Flood Information – Must be included on Preliminary/Final Plat and Application form	1.
N/A	Electronic copy of all easement agreements submitted to the irrigation companies	
	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	
×	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.	
	Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance: One (1) 11" X 17" and (1) 18" X 24" recorded copy of Final Plat Electronic copy of final, approved construction drawings Electronic copy of as-built irrigation plans Electronic copy of recorded CC&R's Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans - No Scanned PDF's please. **NOTE: No building permits will be issued until property is annexed into the Star Sewer & Woter Pictrict and all sewer beginning are point.	-
	Water District and all sewer hookup fees are paid.	

FEE REQUIREMENT:

Applicant/Representative Signature

Date

^{**} I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.

AFFIDAVIT OF LEGAL INTEREST

STATE OF IDAHO)			
) ss COUNTY OF ADA)			
	> 3975	Park Same In Classes	
(name)	(address)	TATE SOMERTO DE SOO	
Calabasas	CA	Park Somento Ste 300 91302	
(city)	(state)	(zip)	
	, depose and say: That I am the rec	_	
described on the attached, and	grant my permission to 200 my 4206 , 6030 ∓ 2 (n (state)	Caning	
7323 S. Vista Aur	#206 Boise FD (n	name)	
(address)	(state)	(zip)	
	olication pertaining to that property.		
Address or location of property:	3013 N. Pollard Lane	Ster, 17 83669	
I agree to indemnify, defend and or liability resulting from any disp of the property which is the subj	hold the City of Star and its employoute as to the statements contained lect of the application.	ees harmless from any claim herein or as to the ownership	
I understand there may be direct costs incurred by the City in obtaining a review of the application by architects, engineers, or other professionals necessary to enable the City to approve or disapprove the application. I understand that I will be billed on a monthly basis and will remit payment within 30 days.			
I hereby grant permission to the City of Star staff to enter the subject property for the purpose of site inspections related to processing said application(s).			
Type of application:			
Dated this	ay of October		
-	1/1/1		
	(Signature)		
SUBSCRIBED AND SWORN to	before me the day and year first abo	ove written.	
	Coca Codo		
RIQUEL COOK Notary Public, State of U	Notary Public for Idaho		
Commission # 718626 My Commission Expires	My Commission Expires		

Final Plat Application

Form #512 Rev 02-2021 Page 4of 4



City of Star P.O. Box 130 Star, Idaho 83669 P: 208-286-7247

FINAL PLAT APPLICATION

***All information must be filled out to be processed.

Zip: 83705 Zip: 83705 Centurion Engineers, Inc Zip: 83705 Com
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Centurion Engineers, Inc Zip: 83705
Zip: 83705
Zip: 83705
Zip: 83705
com
Phase: 2
acre: 4.03
nber of lots: 81
Industrial: 0
3.44 Percentage: 0.17%
Acres: .06
number of homes 31
phase:
Final Plat
72
9
0 No changes

Amenitie	S: Common ares and community pool	_
Flood Zo	one Data: (This Info Must Be Filled Out Completely Prior to Acceptance):	
Subdivi	sion Name: Rivercreek Landing Phase: 2	
Special	Flood Hazard Area: total acreage number of homes	
v ti	note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn one plat in situations where two or more flood zones intersect over the property or properties being surveyed.	
	EMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: 16001C0130H FIRM effective date(s): mm/dd/year 2/19/2003	
F	Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone A Base Flood Elevation(s): AE0 ft., etc.:	
	lood Zones are subject to change by FEMA and all land within a floodplain is egulated by Chapter 10 of the Star City Code.	
	on Requirements: (Applications are required to contain one copy of the following unless otherwise noted.)	
Applicant (√)	Description	Staff (√)
<u> </u>	Completed and signed copy of Final Plat Application	(7)
A	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following:	
×	 Gross density of the phase of the Final Plat submitted Lot range and average lot size of phase Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities List any specific approved building setbacks previously approved by Council. 	
×	Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)	
X	Electronic copy of current recorded warranty deed for the subject property	
K	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.	
X	Electronic copy of subdivision name approval from Ada County Surveyor's office.	
	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming	
ζ	Electronic copy of vicinity map showing the location of the subject property	11
	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	
<u> </u>	One (1) 11" X 17" paper copy of the Final Plat	
_	FIRCHOUNG CORN OF THE FIRST ISPASSAND DISP."	

122

X X X	One (1) 11" X 17" copy of the Final landscape plan	
X	Electronic copy of site grading & drainage plans**	
X	Electronic copy of originally approved Preliminary Plat**	
X	Electronic copy of a Plat with all phases marked with changes, if applicable**	
×	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	
N/A	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	
X	Electronic copy of streetlight design and location information	
X N/A	Special Flood Information - Must be included on Preliminary/Final Plat and Application form.	
N/A	Electronic copy of all easement agreements submitted to the irrigation companies	
	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	
×	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.	
	 Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance: One (1) 11" X 17" and (1) 18" X 24" recorded copy of Final Plat Electronic copy of final, approved construction drawings Electronic copy of as-built irrigation plans Electronic copy of recorded CC&R's Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please. 	
	**NOTE: No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid.	

FEE REQUIREMENT:

** I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.

Applicant/Representative Signature

Date



CENTURION | B&A ENGINEERS, INC.

Consulting Engineers and Land Surveyors 2323 S. Vista Ave, Ste 206, Boise, ID 83705 Telephone 208.343.3381 | www.centengr.com



Rivercreek Landing Subdivision Final Plat Application - Phase One Letter of Intent Compliance with Preliminary Plat

Date: 11 October 2022

The purpose of this letter is to submit the final plat to the city of Star to begin the process of approval of the final plat to move toward its recording.

The preliminary plat is in substantial conformance with the approved preliminary plat and conditions of approval as it is moving through the construction phase of the project. This letter will provide particulars on the final plat in relation to the preliminary plat and the project's conditions of approval.

Land Use Comparison for Phase One

	Preliminary Plat	Final Plat
Number of Lots	63	63
Phase One Area	16.63	16.63
Gross Density	3.37	3.37
Common Area	2.38	2.38
Roadways	3.82	3.82
Average Lot Size	8,107	8,107
Smallest Building Lot	6,250	6,520
Largest Building Lot	11,341	11,341

Building Setbacks

Front	15
Rear	15
Side	5
Side Street	15

Common Area Details

There are 7 common area lots within Phase One. They are described as follows:

Lot	Block	Area	Use
1	1	50,979	Common area
1	2	1,025	Common area
10	2	1,058	Common area
1	3	34,620	Common area
1	4	14,861	Common area/storm drain
1	5	1,043	Common area
7	5	989	Common area

Water and Sanitary Sewer

All lots are served with water and sanitary sewer with service provided by Star Sewer and Water District. Water and sewer have been stubbed to provide service to Phase Two.

Public Roadways and Drainage

The internal street system is public and will be dedicated to the Ada County Highway District.

Existing Gravity Irrigation

The existing gravity surface water irrigation system that traversed the site from Beacon Light Road to the south and west boundary has been piped with the approval of the Emmett Lateral Users Association.

<u>Pressure Irrigation – Water Availability</u>

The entire project has 38.5 miner's inches of water available to it from the Emmett Lateral Users Association. This is equivalent to approximately 350 gallons per minute of irrigation water. The project includes a pressure irrigation distribution and pump station capable of using the water available to water home and common lots.

Should any questions arise, please contact our office at 208.343.3381.



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Rivercreek Landing Subdivision Final Plat Application - Phase Two Letter of Intent Compliance with Preliminary Plat

Date 11 October 2022

The purpose of this letter is to submit the final plat to the city of Star to begin the process of approval of the final plat to move toward its recording.

The preliminary plat is in substantial conformance with the approved preliminary plat and conditions of approval as it is moving through the construction phase of the project. This letter will provide particulars on the final plat in relation to the preliminary plat and the project's conditions of approval.

Land Use Comparison for Phase Two

	Preliminary Plat	Final Plat
Number of Lots	81	81
Phase Two Area	20.09	20.09
Gross Density	3.58	3.58
Common Area	3.44	3.44
Roadways	4.10	4.10
Average Lot Size	6,260	6,260
Smallest Building Lot	5,187	5,187
Largest Building Lot	9,529	9,529

Building Setbacks

Front	15
Rear	15
Side	5
Side Street	15

Common Area Details

There are 7 common area lots within Phase Two. They are described as follows:

Lot	Block	Area	Use
1	1	3,619 sf	Common area/stormdrain
28	4	18,842 sf	Common area/stormdrain
1	5	34,489 sf	Common area/stormdrain
1	6	14,948 sf	Common area
1	7	2,439 sf	Common area
13	7	2,443 sf	Common area
1	8	65,744 sf	Common area

Water and Sanitary Sewer

All lots are served with water and sanitary sewer with service provided by Star Sewer and Water District. Water and sewer have been stubbed to provide service to Phase Two.

Public Roadways and Drainage

The internal street system is public and will be dedicated to the Ada County Highway District.

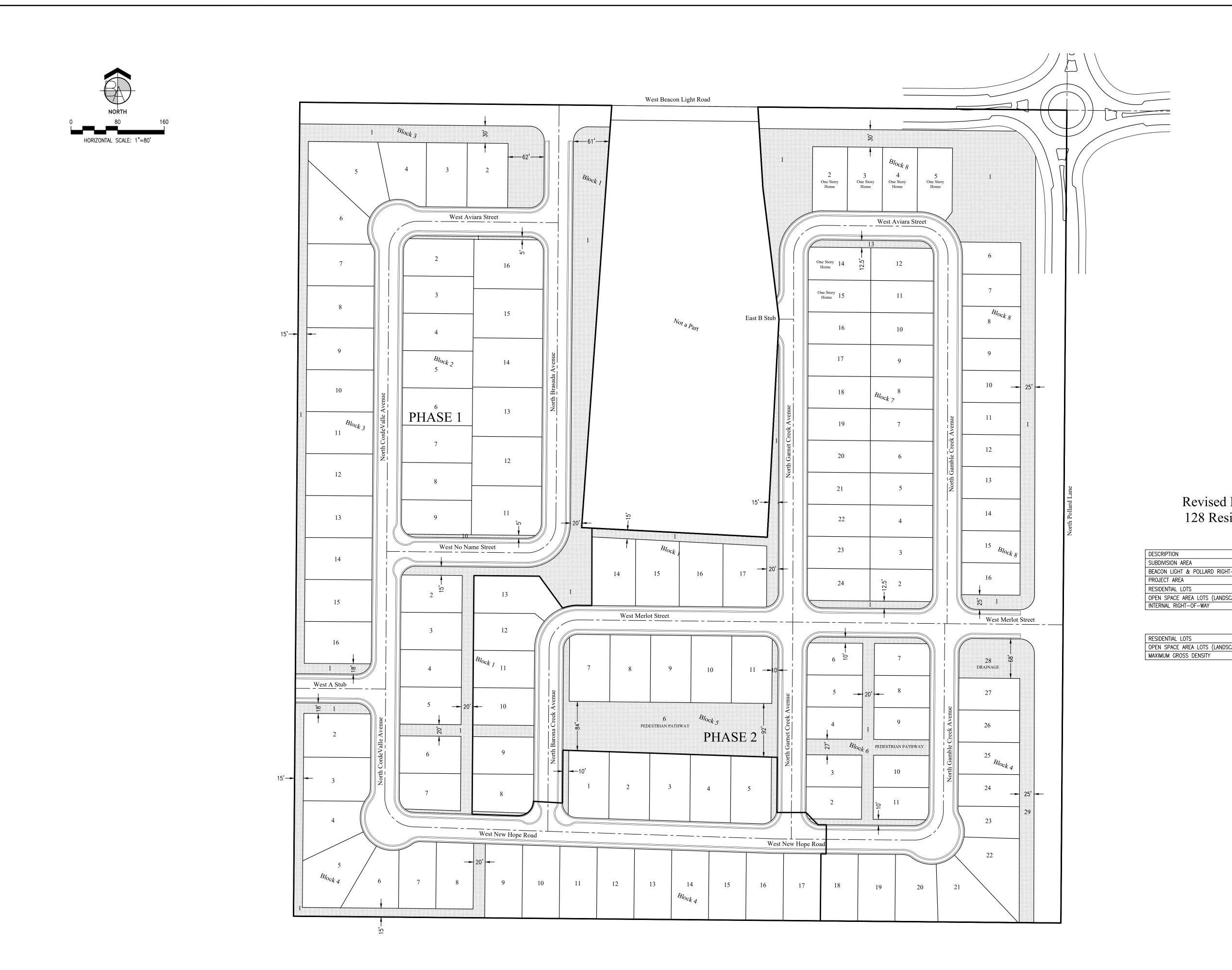
Existing Gravity Irrigation

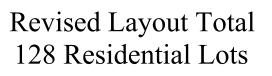
The existing gravity surface water irrigation system that traversed the site from Beacon Light Road to the south and west boundary has been piped with the approval of the Emmett Lateral Users Association.

Pressure Irrigation – Water Availability

The entire project has 38.5 miner's inches of water available to it from the Emmett Lateral Users Association. This is equivalent to approximately 350 gallons per minute of irrigation water. The project includes a pressure irrigation distribution and pump station capable of using the water available to water home and common lots.

Should any questions arise, please contact our office at 208.343.3381.

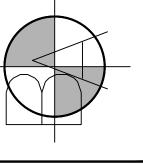




DESCRIPTION	AREA (ACRES)	PERCENTAGI
SUBDIVISION AREA	37.17	N/A
BEACON LIGHT & POLLARD RIGHT-OF-WAY	2.46	N/A
PROJECT AREA	34.71	100%
RESIDENTIAL LOTS	20.91	60.2%
OPEN SPACE AREA LOTS (LANDSCAPE)	5.93	17.1%
INTERNAL RIGHT-OF-WAY	7.87	22.7%

RESIDENTIAL LOTS	128
OPEN SPACE AREA LOTS (LANDSCAPE)	11
MAXIMUM GROSS DENSITY	3.74 DU/A



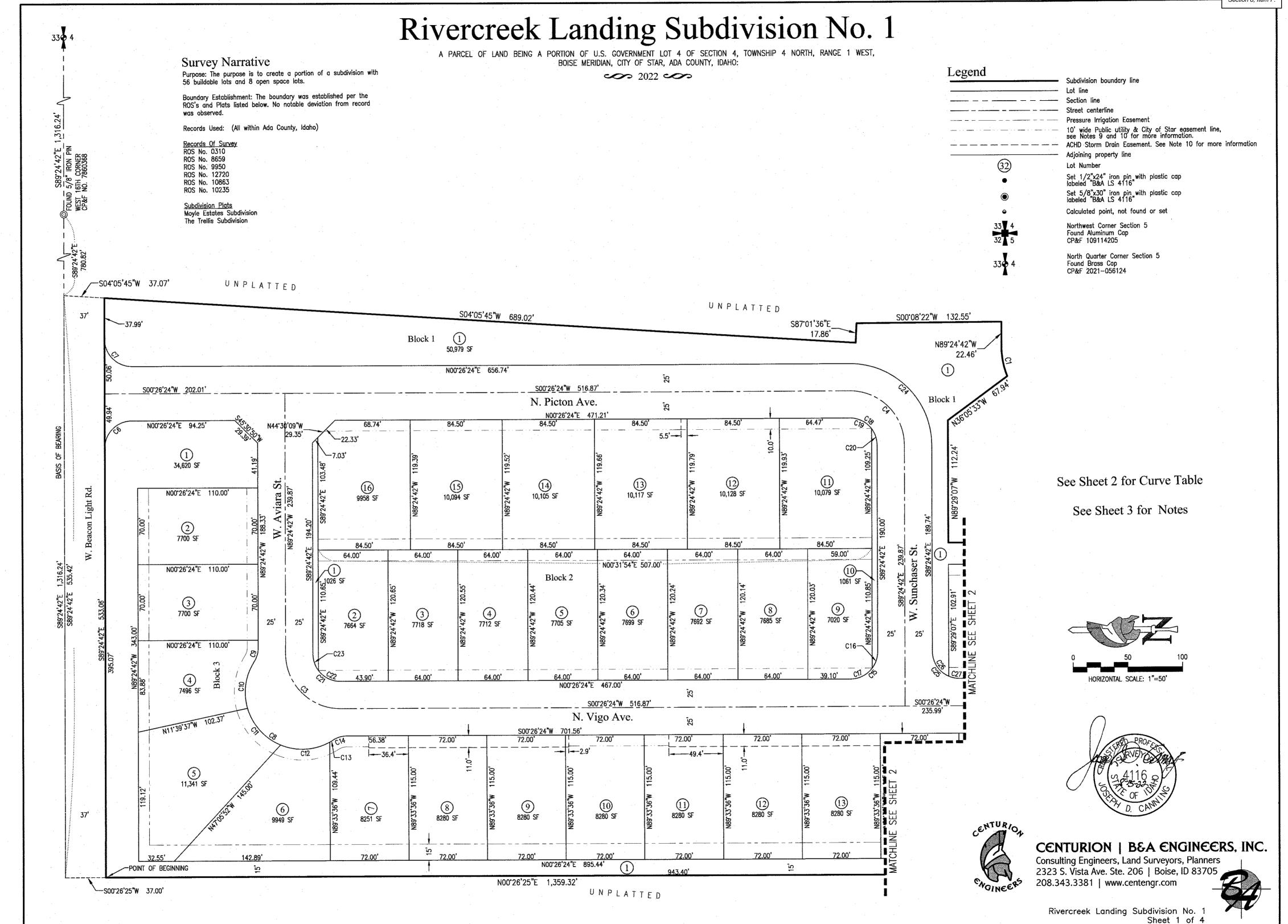


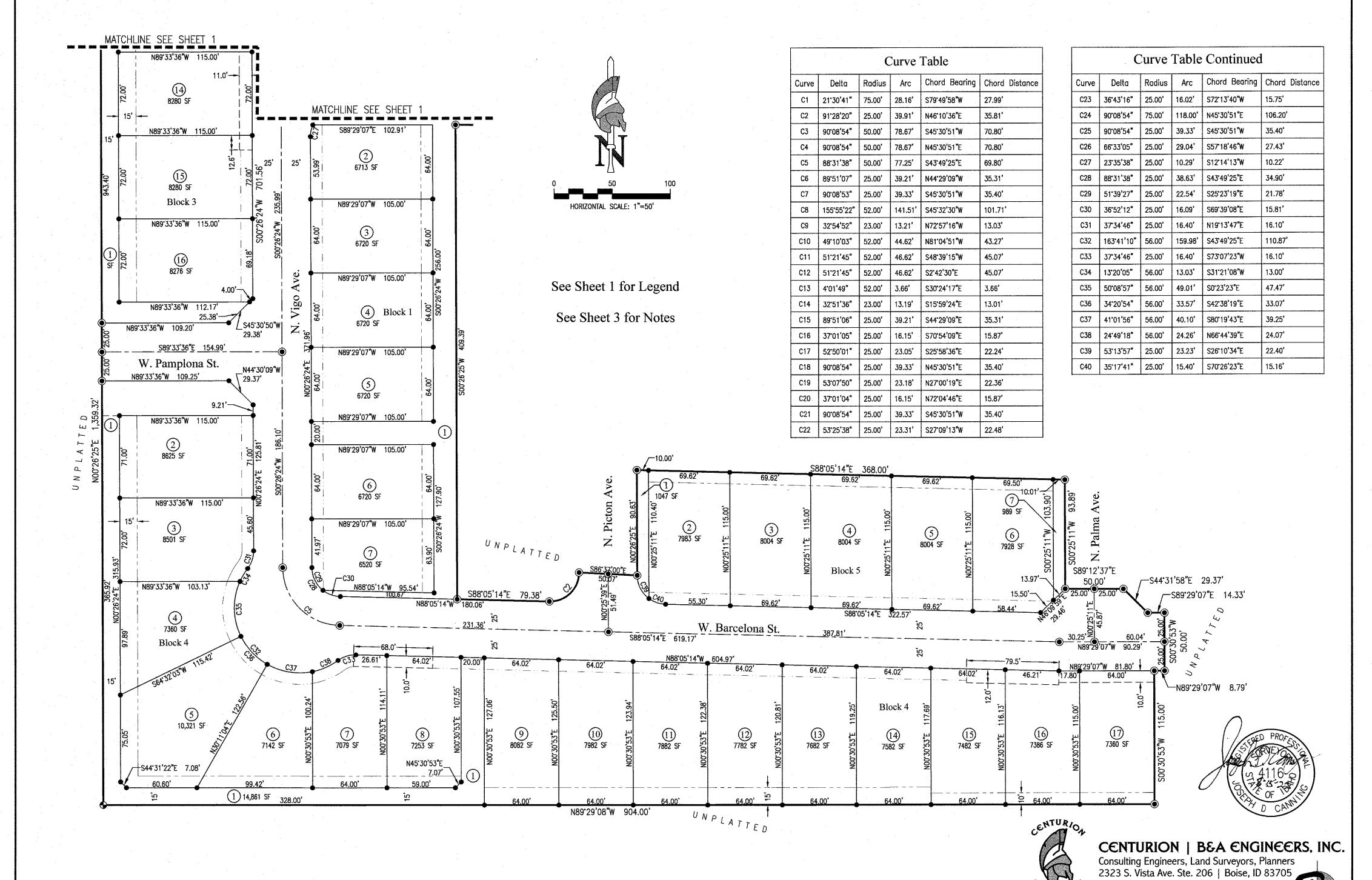


PER Creek Landing Subdivision In The Northwest Quarter of the Northwest Quarter of the Northwest Quarter of the Northwest Quarter of the North Boise Meridian, ADA COUNTY, IDAHO

	DATE/B	06-25-14					
Revisions	REV. DESC.	CITY OF KUNA COMMENTS DATED MAY 14, 2014					
Rev	REV.	A					

DATE: JANUARY 18, 2021	DRAWN BY: K.M. KETTELLE	CHECKED BY: J.D. CANNING	PROJECT NO. TC06	DRAWING FILE NAME: TCO6 REVISED LOT LAYOUT
F 110				





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Rivercreek Landing Subdivision No. 1 Sheet 2 of 4

Notes

- Irrigation water will be provided by Farmers Union Irrigation District and in compliance with Idaho Code Section §31-3805(1)(b). All lots within this subdivision will be entitled to irrigation rights through Farmers Union Irrigation District, and will be obligated for assessments from the said district.
- 2. All references to Homeowners' Association hereon are to the Rivercreek Landing Subdivision Homeowners' Association and the owners of the lots, within said subdivision, jointly pursuant to the Master Declaration of Covenants, Conditions, and Restrictions, recorded as Instrument No. ______, as amended
- 3. Any resubdivision of this plat shall comply with the applicable zoning regulations in effect at the time of the resubdivision and may require amendment of the development agreement.
- 4. Minimum building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and/or required, or as shown on the this plat.
- 5. Lots shall not be reduced in size without prior approval from the health authority.
- 6. Lot 1, Block 1, Lots 1 & 10, Block 2, Lot 1, Block 3, Lot 1, Block 4, Lots 1 & 7, Block 5 are designated as common area lots to be owned and maintained by the Homeowners Association. The Homeowners' Association (HOA), it's ownership, and maintenance commitments cannot be dissolved without express written consent from the City of Star, idaho.
- 7. No easement shown or designated hereon shall preclude the construction and maintenance of hard-surfaced driveways, landscaping (except trees), parking, or other such non-permanent
- 8. All easements are parallel (or concentric) to the lines (or arcs) that they are dimensioned from unless
- 9. Public utility, Star Sewer and Water District & pressure irrigation easements are hereby reserved as follows:

 • 10—feet wide adjoining public rights—of—ways.

 • 10—feet along all rear lot lines.
- 10. Maintenance of any gravity irrigation, drainage pipe, or ditch crossing a lot is the responsibility of the lot owner unless such responsibility is assumed by an irrigation/drainage district.
- 11. This development recognizes Idaho Code Section §22—4503, Right to Farm Act, which states: "No Agricultural operation, agricultural facility or expansion thereof shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding non-agricultural activities after it has been in operation for more than one (1) year, when the operation, facility or expansion was not a nuisance at the time it began or was constructed. The provisions of this section shall not apply when a nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility
- 12. Portions of Lot 1, Block 4 is servient to and contain the ACHD storm water drainage system. These lots are encumbered by that certain First Amended Master Perpetual Storm Water Drainage Easement, recorded on November, 10, 2015 as Instrument No. 2015—103256, Official Records of Ada County, and incorporated herein by this reference as if set forting the MASTER EASEMENT"). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to Section §40—2302 Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage
- 13. This subdivision is located within Zone A as shown on the FIRM Panel 125 of 875, Ada County, Idaho and Incorporated Areas. A building permit shall not be issued by the City of Star for any lot that is located within the mapped floodplain until a Flood Plain Development Permit is obtained for the individual lot. Each lot within the mapped floodplain shall require an individual Flood Plain Development Permit.
- 14. Direct lot or parcel access to W. Beacon Light Rd. streets is prohibited.

• 5-feet on each side of side lot lines.

Certificate of Owners

KNOW ALL MEN BY THESE PRESENTS: That the undersigned do hereby certify that it is the owner of a certain tract of land to be known as Rivercreek Landing Subdivision No. 1; and that it intends to include the folling

A parcel of land being a portion of U.S. Government Lot 4 of Section 4, Township 4 North, Range 1 West, Boise Meridian, City of Star, Ada County, Idaho:

Commencing at the northwest corner of said Lot 4, which bears N89°24'42"W, 2,632.48 feet from the north quarter corner of said Section 4; thence S00'26'24"W, 37.00 feet along the westerly boundary of said Lot 4 to the Point of Beginning:

'Thence S89'24'42"E, 533.06 feet along a line parallel with the northerly boundary of said Lot 4;

Thence S04'05'45"W, 689.02 feet;

Thence S87'01'36"E, 17.86 feet:

Thence S00'08'22"W, 132.55 feet;

Thence N89'24'42"W, 22.46 feet along a line parallel with the northerly boundary of said Lot 4;

Thence 28.16 feet along a tangent curve deflecting to the left, with a radius of 75.00 feet, a central angle of 21'30'41", a long chord of 27.99 feet and a chord bearing S79'49'58"W;

Thence N36'05'33"W. 67.94 feet:

Thence N89'29'07"W, 112.24 feet;

Thence S00'26'25"W, 409.39 feet along a line parallel with the westerly boundary of said Lot 4;

Thence S88'05'14"E, 79.38 feet;

Thence 39.91 feet along a non-tangent curve deflecting to the left, with a radius of 25.00 feet, a central angle of 91°28'20", a long chord of 35.81 feet and a chord bearing N46'10'36"E;

Thence N00°26'25"E, 90.63 feet along a line parallel with the westerly boundary of said Lot 4;

Thence S88 05'14"E. 368.00 feet:

Thence S00'25'11"W. 93.89 feet;

Thence S89°12'37"E, 50.00 feet;

Thence S44'31'58"E, 29.37 feet;

Thence S89'29'07"E, 14.33 feet;

Thence S00'30'53"E, 50.00 feet;

Thence N89'29'07"E, 8.79 feet;

Thence S00'30'53"W, 115.00 feet to the southerly boundary of said Lot 4;

Thence N89'29'08"W, 904.00 feet along the southerly boundary of said Lot 4 to the southwest corner of said Lot 4;

Thence N00'26'25"E, 1,359.32 feet along the westerly boundary of said Lot 4 to the Point of Beginning.

Comprising 16.42 acres, more or less.

See Sheet 4 for Certificate of Owners Signature





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Rivercreek Landing Subdivision No. Sheet 3 of 4

Certificate of Owner Continued

The public streets shown on this plat are hereby dedicated to the public; the utility, drainage, and irrigation easements shown on this plat are not dedicated to the public, but the right to used said easements is hereby reserved for the uses specifically depicted on the plat, and for any other purposes designated hereon, and no permanent structures are to be erected within the lines of said easements. the lots within this subdivision are eligible to receive water service from Star Water & Sewer District; and the Star Water & Sewer District has agreed in writing to serve all of the lots within this subdivision.

In witness whereof: I have hereunto set my hand.

6-29-27 AMH Development LLC

Acknowledgment

State of Idaho)

County of Ada)

On this 29 day of Lune, in the year of 2022, before me the undersigned, a Notary Public in and for said state, personally appeared Thomas Lufkin, known or identified to me to be the VP of Land Development for AMH Development LLC, the limited liability company that executed the instrument or the person who executed the instrument on behalf of said limited liability company and acknowledged to me that such limited liability company executed the same.

IN WITNESS WHEREOF: I have set my hand and seal the day and year in this certificate first above written.



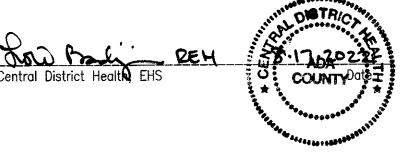
Certificate of Surveyor

I, JOSEPH D. CANNING, do hereby certify that I am a Professional Land Surveyor, licensed by the State of Idaho, and that this plat of RIVERCREEK LANDING SUBDIVISION NO. 1, as described in the Certificate of Owners and as shown on the attached plat, was drawn from an actual survey made on the ground under my supervision, and accurately and correctly represents the points platted thereon, and is in conformance with the State of Idaho Code relating to plats and surveys.

Joseph D. Canning, P.L.S. No. 4116

Approval of Central District Health
Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have

been satisfied according to the letter to be read on file with the County Recorder or his agent listing the conditions of approval. Sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.



Approval of Ada County Highway District
The foregoing plat was accepted and approved by the Board of Ada County
Highway District Commissioners on the _____ day of _____,

Commission President Ada County Highway District Approval of City Engineer I, the undersigned, City Engineer in and for the City of Star, Ada County, Idaho, on this day, _____ hereby approve this plat.

Star City Engineer

Approval of City Council

I, the undersigned, City Clerk in and for the City of Star, Ada County, Idaho, do hereby certify that at a regular meeting of the City Council held on the ____ day of _____, this plat of was approved and accepted.

City Clerk, City of Star

Certificate of County Surveyor

I, the undersigned, Professional Land Surveyor for Ada County, Idaho, do

hereby certify that I have checked this plat and that it complies with the State of Idaho Code relating to plats and surveys.

ounty	Surveyor	Date

Certificate of County Treasurer

I, the undersigned, County Treasurer in and for the County of Ada, State of ldaho, per requirements of ldaho Code 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this proposed subdivision have been paid in full. This certificate is valid for the next thirty (30) days only.

Ada County Treasurer	Date

Certificate of County Recorder

State of Idaho)
)ss. Instrument No
County of Ada)
I hereby certify that this instrument was filed at the
request of
at minutes past o'clockM.,
this, day of, ,,
in my office, and was recorded in Book of Plats
at Pages through
Fee:
Ex-Officio Recorder: Phil McGrane

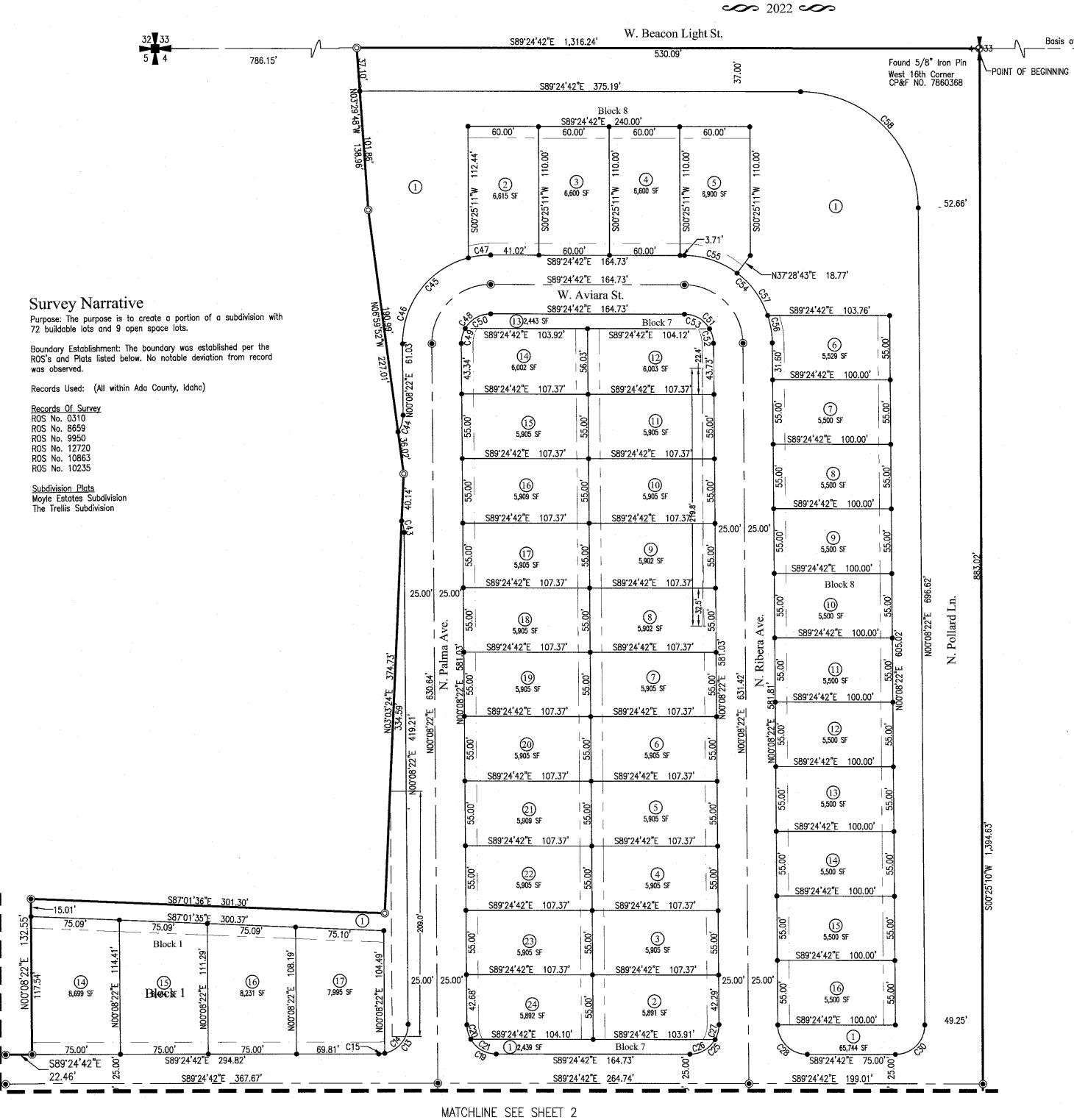


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Rivercreek Landing Subdivision No. 1 Sheet 4 of 4

A PARCEL OF LAND BEING A PORTION OF U.S. GOVERNMENT LOT 4 OF SECTION 4, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO:

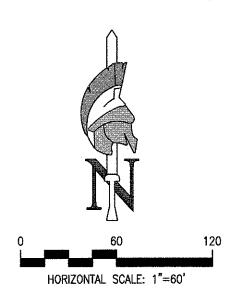


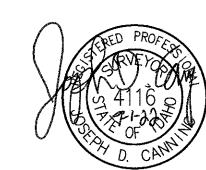
Lot line Section line Street centerline Pressure Irrigation Easement 10' wide Public Utility & City of Star easement line, see Note 9 for more information. ACHD Storm Drain Easement. See Note 10 for more in Adjoining property line Lot Number Set 1/2"x24" iron pin with plastic cap labeled "B&A LS 4116" Set 5/8"x30" iron pin with plastic cap labeled "B&A LS 4116" Calculated point, not found or set Northwest Corner Section 5	formation
Street centerline Pressure Irrigation Easement 10' wide Public Utility & City of Star easement line, see Note 9 for more information. ACHD Storm Drain Easement. See Note 10 for more in Adjoining property line Lot Number Set 1/2"x24" iron pin with plastic cap labeled "B&A LS 4116" Set 5/8"x30" iron pin with plastic cap labeled "B&A LS 4116" Calculated point, not found or set	formation
Pressure Irrigation Easement 10' wide Public Utility & City of Star easement line, see Note 9 for more information. ACHD Storm Drain Easement. See Note 10 for more in Adjoining property line Lot Number Set 1/2"x24" iron pin with plastic cap labeled "B&A LS 4116" Set 5/8"x30" iron pin with plastic cap labeled "B&A LS 4116" Calculated point, not found or set	formation
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● Set 5/8"x30" iron pin with plastic cap labeled "B&A LS 4116" Calculated point, not found or set	
Calculated point, not found or set	
and the second s	٠
33 4 Northwest Corner Section 5	
Found Aluminum Cap CP&F 109114205	
North Quarter Corner Section 5 Found Brass Cap 4 CP&F 2021-056124	

Basis of Bearing N89'24'43"W 1,316.24' 33

See Sheet 2 for Curve Table

See Sheet 3 for Notes





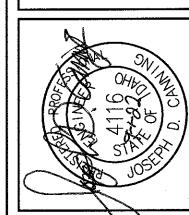


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Rivercreek Landing Subdivision No. 2 Sheet 1 of 4 CENTURION | BEA ENGINEERS, INC Consulting Engineers, Land Surveyors, Planners 2323 S. Vista Ave. Ste. 206 | Boise, ID 83705 208.343.3381 | www.centengr.com





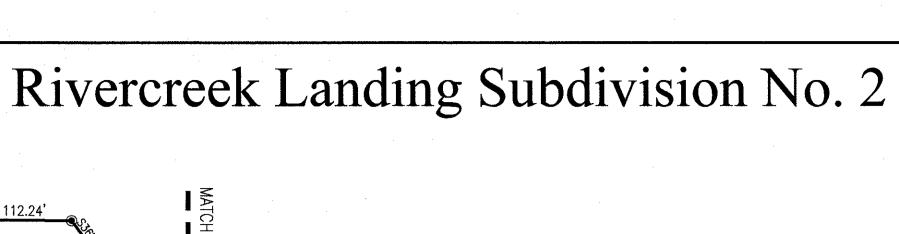
Final Plat Rivercreek Landing
Subdivision 2
Rivercreek Landing Subdivision No

	Revisions	sions	
	REV.	DESC.	DATE/BY
T			
	-		
dwg dwg			

SCALE: AS SHOWN
DATE: SEPTEMBER 01, 2022
DRAWN BY: Z.M. NICHOLS
CHECKED BY: J.D. CANNING
Project no. Tco6
DRAWING FILE NAME: River Creek Landina Sub.dwa

SHEET NO:

2.0



C46 | 75·47'47" | 75.00' | 99.22' | \$38·02'16"W

C47 14'39'09" 75.00' 19.18' S83'15'44"W

C48 90°26'56" 25.00' 39.47' S45°21'50"W

C49 30°26'56" 25.00' 13.29' \$15°21'50"W

C50 60°00'00" 25.00' 26.18' S60°35'18"W

C51 89'33'04" 25.00' 39.07' N44'38'10"W

C52 | 29'33'11" | 25.00' | 12.89' | N14'38'13"W

C53 60°00'00" 25.00' 26.18' N59°24'42"W

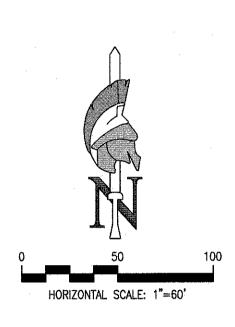
C54 89°33'04" 75.00' 117.22' N44°38'10"W

C55 36'53'17" 75.00' 48.29' N70'58'03"W

C56 18·12·12" 75.00' 23.83' N8·57'44"W

C57 34'27'34" 75.00' 45.11' N35'17'37"W

C58 89'33'04" 100.00' 156.30' N44'38'10"W



See Sheet 1 for Legend
See Sheet 3 for Notes

Curve Table

Curve | Delta | Radius | Arc | Chord Bearing | Chord Distance

C26 59'56'53" 25.00' 26.16' N60'36'52"E

C27 30'30'03" 25.00' 13.31' N15'23'24"E

C28 89'33'04" 25.00' 39.07' S44'38'10"E

C29 | 88°14'29" | 25.00' | 38.50' | S46°28'04"W

C30 90'26'56" 25.00' 39.47' N45'21'50"E

C31 89'33'04" 25.00' 39.07' N44'38'10"W

C33 | 157'48'25" | 56.00' | 154.24' | N48'37'46"E

C34 | 37'01'06" | 25.00' | 16.15' | N70'58'34"W

C35 39'36'40" 56.00' 38.72' N10'28'06"W

C36 36'25'12" 56.00' 35.60' N27'32'49"E

C37 | 36°25′12" | 56.00' | 35.60' | N63°58'01"E

C38 | 45°21'22" | 56.00' | 44.33' | \$75°08'42"E

C39 90'06'50" 25.00' 39.32' N45'27'28"E

C40 53'39'16" 25.00' 23.41' N63'41'15"E

C1 91'28'20" 25.00' 39.91' S46'10'36"W

C2 36'52'12" 25.00' 16.09' \$73'28'40"W

C3 54'36'09" 25.00' 23.82' \$27'44'30"W

C4 68'37'57" 75.00' 89.85' S34'45'28"W

C5 38'45'03" 75.00' 50.73' \$19'49'01"W

C6 | 29'52'53" | 75.00' | 39.12' | \$54'08'00"W

C7 90'08'54" 25.00' 39.33' \$45'30'51"W

C8 53'00'32" 25.00' 23.13' S26'56'40"W

C9 37'08'22" 25.00' 16.21' \$72'01'07"W

C10 90°42'38" 25.00' 39.58' N44'56'08"W

C11 37'34'15" 25.00' 16.39' N71'30'19"W

 C12
 53'08'23"
 25.00'
 23.19'
 N26'09'00"W

 C13
 90'26'56"
 25.00'
 39.47'
 N45'21'50"E

C14 78'27'47" 25.00' 34.24' N39'22'16"E

C15 11'59'09" 25.00' 5.23' N84'35'44"E

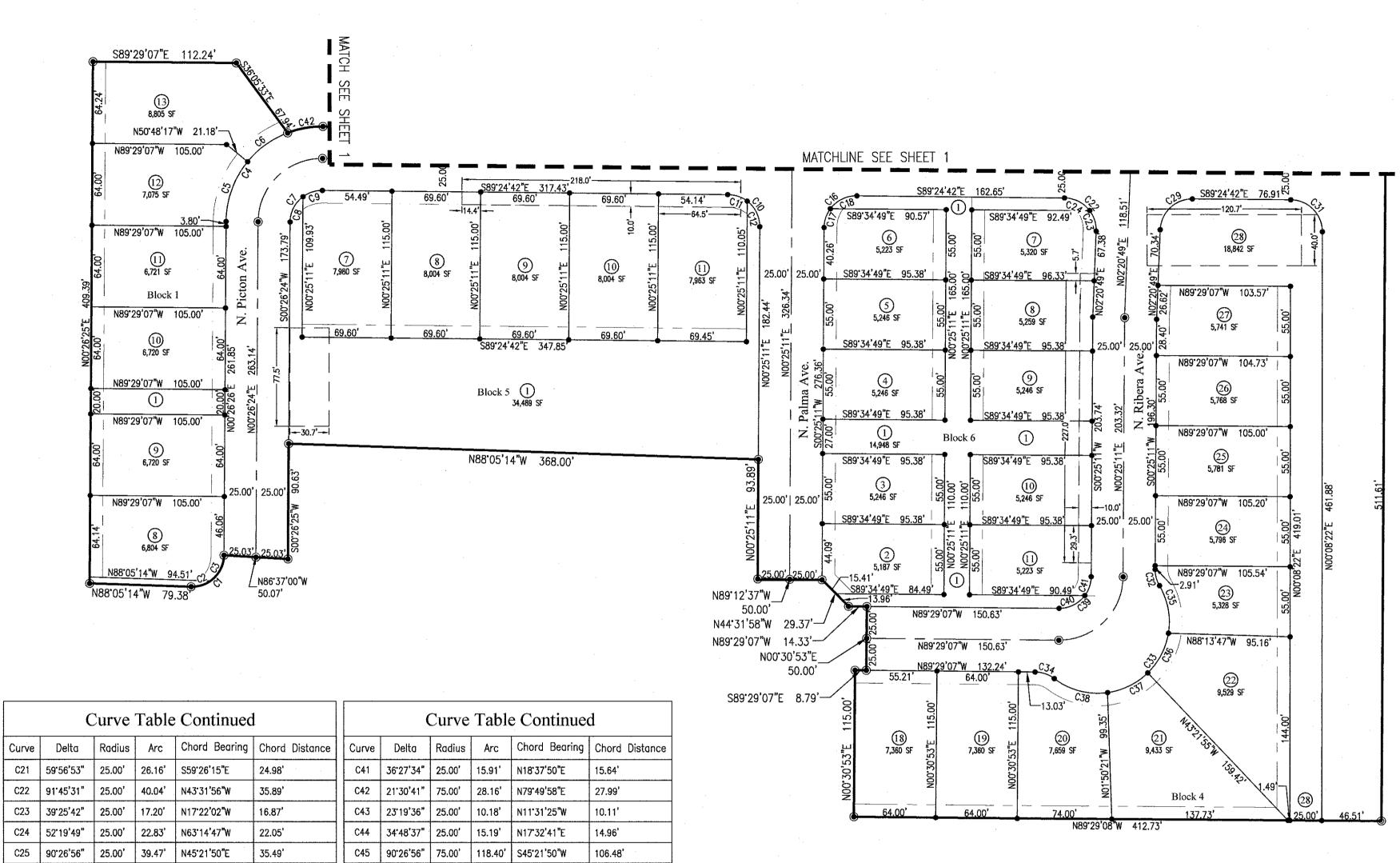
C17 36.07'10" 25.00' 15.76' S18.28'46"W

C18 54'55'42" 25.00' 23.97' \$64'00'12"W

C19 89'33'04" 25.00' 39.07' S44'38'10"E

C20 | 29'36'11" | 25.00' | 12.92' | S14'39'43"E

C16 91°02′52" 25.00′ 39.73′ \$45°56′37"W 35.68′









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Rivercreek Landing Subdivision No. 2
Sheet 2 of 4

Revisions
Revisions
REV. DESC.

OBATE/BY
REV. DESC.

CREV. DEATE/BY

CREV. DESC.

CREV. DESC.

CREV. DEATE/BY

CREV. DESC.

CREV. DEATE/BY

CREV. DESC.

CREV. DEATE/BY

CREV. DESC.

CREV. DEATE/BY

CREV. DESC.

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- Irrigation water will be provided by Farmers Union Irrigation District and in compliance with Idaho Code Section §31-3805(1)(b). All lots within this subdivision will be entitled to irrigation rights through Farmers Union Irrigation District, and will be obligated for assessments from the said district.
- 2. All references to Homeowners' Association hereon are to the Rivercreek Landing Subdivision Homeowners' Association and the owners of the lots, within said subdivision, jointly pursuant to the Master Declaration of Covenants, Conditions, and Restrictions, recorded as Instrument No. ______, as amended and as may be amended from time to time.
- 3. Any resubdivision of this plat shall comply with the applicable zoning regulations in effect at the time of the resubdivision and may require amendment of the development agreement.
- 4. Minimum building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and/or required, or as shown on the this plat.
- 5. Lots shall not be reduced in size without prior approval from the health authority.
- Lot 1, Block 1, Lots 28, Block 4, Lot 1, Block 5, Lot 1, Block 6, Lots 1 & 13, Block 7, Lot 1, Block 8 are designated as common area lots to be owned and maintained by the Homeowners' Association.
 The Homeowners' Association (HOA), it's ownership, and maintenance commitments cannot be dissolved without express written consent from the City of Star, Idaho.
- No easement shown or designated hereon shall preclude the construction and maintenance of hard—surfaced driveways, landscaping (except trees), parking, or other such non—permanent improvements.
- 8. All easements are parallel (or concentric) to the lines (or arcs) that they are dimensioned from unless otherwise noted.
- 9. Public utility, Star Sewer and Water District & pressure irrigation easements are hereby reserved as follows:
 10-feet wide adjoining public rights-of-ways.
 10-feet along all rear lot lines.
 5-feet on each side of side lot lines.
- 10. Maintenance of any gravity irrigation, drainage pipe, or ditch crossing a lot is the responsibility of the lot owner unless such responsibility is assumed by an irrigation/drainage district.
- 11. This development recognizes Idaho Code Section §22-4503, Right to Farm Act, which states: "No Agricultural operation, agricultural facility or expansion thereof shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding non-agricultural activities after it has been in operation for more than one (1) year, when the operation, facility or expansion was not a nuisance at the time it began or was constructed. The provisions of this section shall not apply when a nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility or expansion thereof."
- 12. This subdivision is located within Zone A as shown on the FIRM Panel 125 of 875, Ada County, Idaho and Incorporated Areas. A building permit shall not be issued by the City of Star for any lot that is located within the mapped floodplain until a Flood Plain Development Permit is obtained for the individual lot. Each lot within the mapped floodplain shall require an individual Flood Plain Development Permit.
- 13. Direct lot or parcel access to W. Beacon Light Rd. & N. Pollard Ln. streets is prohibited.

Certificate of Owners

KNOW ALL MEN BY THESE PRESENTS: That the undersigned do hereby certify that it is the owner of a certain tract of land to be known as Rivercreek Landing Subdivision No. 2; and that it intends to include the folling described land in this plat:

A parcel of land being a portion of U.S. Government Lot 4 of Section 4, Township 4 North, Range 1 West, Boise Meridian, City of Star, Ada County, Idaho:

Commencing at the northeast corner of said Lot 4, which bears N89'24'42"W, 1,31.24 feet from the north quarter corner of said Section 4 at the Point of Beginning:

Thence S00°25'10"W, 1,394.63 feet along the easterly boundary of said Lot 4 to the southeast corner of said lot 4;

Thence N89'29'08"W, 412.73 feet along the southerly boundary;

Thence N00'30'53"E, 115.00 feet;

Thence S89'29'07"E, 8.79 feet;

Thence N00'30'53"E, 50.00 feet;

Thence N89*29'07"W, 14.33 feet;

Thence N44*31'58"W, 29.37 feet;

Thence N89'12'37"W, 50.00 feet;

Thence N00'25'11"E, 93.89 feet;

Thence N88'05'14"W, 368.00 feet;

Thence S00°26'25"W, 90.63 feet along a line parallel with the westerly boundary of said Lot 4;

Thence N86'37'00"W, 50.07 feet;

Thence 39.91 feet along a non-tangent curve deflecting to the left, with a radius of 25.00 feet, a central angle of 91°28'20", a long chord of 35.81 feet and a chord bearing \$46'10'36"W;

Thence N88'05'14"E, 79.38 feet;

Thence N00°26'25"E, 409.39 feet along a line parallel with the westerly boundary of said Lot 4;

Thence S88'29'07"E, 112.24 feet;

Thence S36*05'33"E, 67.94 feet;

Thence 28.16 feet along a non-tangent curve deflecting to the right, with a radius of 75.00 feet, a central angle of 21°30′41″, a long chord of 27.99 feet and a chord bearing N79°49′58″E;

Thence S89°24'42"E, 22.46 feet along a line parallel with the northerly boundary of said Lot 4;

Thence N00'08'22"E, 132.55 fee

Thence S87'01'36"E, 301.30 feet;

Thence N03'03'24"E, 374.73 feet;

Thence N06'59'52"W, 227.01 feet;

Thence N03'29'48"W, 138.96 feet;

Thence S89'24'42"E, 530.09 feet along the northerly boundary of said Lot 4 to the Point of Beginning;

Comprising 20.09 acres, more or less.

See Sheet 4 for Certificate of Owners Signature





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Consulting Engineers, Land Surveyors, Planners 2323 S. Vista Ave. Ste. 206 | Boise, ID 83705 208.343.3381 | www.centengr.com

Rivercreek Landing Subdivision No. 2 Sheet 3 of 4 CENTURION | BEA ENGINEERS, Consulting Engineers, Land Surveyors, Planners 2323 S. Vista Ave. Ste. 206 | Boise, ID 83705 208.343.3381 | www.centengr.com

Section 6, Item F.





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Final Flat Nivercieck Landing
Subdivision 2
ivercreek Landing Subdivision N

		DATE/BY					
	ions	JESC.					
	Revisions	REV.					

AS SHOWN
DATE:
SEPTEMBER 01, 2022
DRAWN BY:
Z.M. NICHOLS
CHECKED BY:
J.D. CANNING
PROJECT NO.
TGO6
DRAWING FILE NAME:

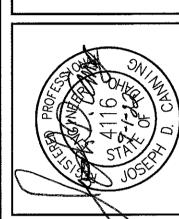
NO:

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Certificate of Owner Continued The public streets shown on this plat are hereby dedicated to the public; the utility, drainage, and irrigation easements shown on this plat are not dedicated to the public, but the right to used said easements is hereby reserved for the uses specifically depicted on the plat, and for any other purposes designated hereon, and no permanent structures are to be erected within the lines of said easements. the lots within this subdivision are eligible to receive water service from Star Water & Sewer District; and the Star Water & Sewer District has agreed in writing to serve all of the lots within this subdivision.	Certificate of Surveyor I, JOSEPH D. CANNING, do hereby certify that I am a Professional Land Surveyor, licensed by the State of Idaho, and that this plat of RIVERCREEK LANDING SUBDIVISION NO. 2, as described in the Certificate of Owners and as shown on the attached plat, was drawn from an actual survey made on the ground under my supervision, and accurately and correctly represents the points platted thereon, and is in conformance with the State of Idaho Code relating to plats and surveys.	Approval of City Council I, the undersigned, City Clerk in and for the City of Star, Ada County, Idaho, do hereby certify that at a regular meeting of the City Council held on the day of,, this plat of was approved and accepted
In witness whereof: I have hereunto set my hand.	Joseph D. Canning, P.L.S. No. 4116	City Clerk, City of Star
Thomas Lufkin, VP of Land Development Date AMH Development LLC	D. CAME	Certificate of County Surveyor I, the undersigned, Professional Land Surveyor for Ada County, Idaho, do hereby certify that I have checked this plat and that it complies with the
Acknowledgment State of Idaho))ss. County of Ada) On this day of, in the year of, before me the undersigned, a Notary Public in and or said state, personally appeared Thomas Lufkin, known or identified to me to be the VP of Land Development or AMH Development LLC, the limited liability company that executed the instrument or the person who executed	Approval of Central District Health Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read on file with the County Recorder or his agent listing the conditions of approval. Sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.	State of Idaho Code relating to plats and surveys. County Surveyor Date
he instrument on behalf of said limited liability company and acknowledged to me that such limited liability company executed the same. N WITNESS WHEREOF: I have set my hand and seal the day and year in this certificate first above written.	Central District Health, EHS Date	Certificate of County Treasurer I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per requirements of Idaho Code 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for the property
Notary Public for Idaho Residing in Boise, Idaho Ny Commission Expires		included in this proposed subdivision have been paid in full. This certificate is valid for the next thirty (30) days only.
	Approval of Ada County Highway District The foregoing plat was accepted and approved by the Board of Ada County Highway District Commissioners on the day of,	Ada County Treasurer Date
	Commission President Ada County Highway District	Certificate of County Recorder State of Idaho))ss. Instrument No
	Approval of City Engineer	County of Ada) I hereby certify that this instrument was filed at the request of at minutes past o'clockM.,
	l, the undersigned, City Engineer in and for the City of Star, Ada County, Idaho, on this day, hereby approve this plat.	this day of,, in my office, and was recorded in Book of Plats at Pages through Fee:
	Star City Engineer Date	Ex-Officio Recorder: Phil McGrane
		CENTURION B&A ENGINEERS, INC Consulting Engineers, Land Surveyors, Planners 2323 S. Vista Ave. Ste. 206 Boise, ID 83705 208.343.3381 www.centengr.com

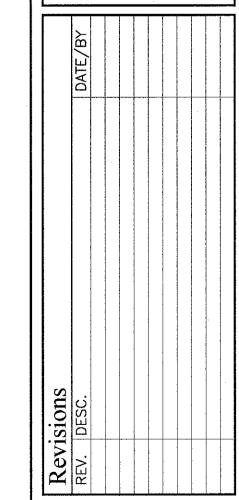
83705

CENTURION | BEA ENGINEERS, consulting Engineers, Land Surveyors, Planners 3223 S. Vista Ave. Ste. 206 | Boise, ID 83705





Subdivision 2
Rivercreek Landing Subdivision No.



AS SHOWN
DATE:
SEPTEMBER 01, 2022
BRAWN BY:
Z.M. NICHOLS
CHECKED BY:
J.D. CANNING
PROJECT NO.
TC06

SHEET NO

Rivercreek Landing Subdivision No. 2 Sheet 4 of 4

2.3

LANDSCAPE NOTES:

CALL OUT SYMBOL NUMBERS.

- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
- COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS. COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION. IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND
- ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF LARGE (1" MINUS) BARK MULCH. SUBMIT SAMPLE FOR APPROVAL
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION
- IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- 10. FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
- AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL. 12. FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS. QUANTITY PER MANUFACTURER'S
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 12" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF SOD AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
- 14. REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST/ ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A HAVE A PH OF 5.5 TO 7.0. IF ONSITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
- A) PROVIDE APPROVED IMPORTED TOPSOIL, OR B) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
- 15. IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
- A) OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES. B) REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE
- BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION. ACIDITY/ALKALINITY RANGE - PH. 5.5 TO 7.6. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS
- AND DISPOSE OF PROPERLY OFF SITE. TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL <u>A.C.H.D.</u> STORM DRAIN PIPE, STRUCTURES, OR FACILITIES. TREES SHALL NOT BE PLANTED WITHIN 5'-0" OF AN A.C.H.D. SIDEWALK.
- SEEPAGE BEDS AND OTHER STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL
- CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM. 19. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

WEED ABATEMENT NOTES:

- ALL AREAS TO BE PLANTED OR HYDROSEEDED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING OR HYDROSEEDING.
- 2. CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH "ROUND-UP" (CONTACT HERBICIDE) OR APPROVED
- 3. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE
- 4. CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT
- CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS. APPLY SECOND APPLICATION OF "ROUND-UP" TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
- 6. IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
- 7. AT THE TIME OF PLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE WEED FREE.

IRRIGATION NOTES:

- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS.
- PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER
- REQUIREMENTS ARE AS FOLLOWS: PRECISE INDIVIDUAL STATION TIMING
- RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
- c. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
- SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED
- AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR
- 8. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS)

PROJECT INFORMATION LANDSCAPE REQUIREMENTS

TOTAL PROPERTY SIZE= 1,619,299.44 S.F. - 37.174 ACRES ZONING DISTRICT= RUT LOT IMPROVEMENTS AREA= 1,619,299.44 S.F.

BUILDING COVERAGE (CLUB HOUSE): 1,824 S.F. BUILDABLE LOT COVERAGE: 908,661.6 S.F. HARDSCAPE COVERAGE (INCLUDES POOL AND PATIO): 464,608.74

LANDSCAPE AREA: 244,207.06 S.F. PROVIDED PARKING: STANDARD STALLS: 10

ADA STALLS: 2 COMPACT STALLS: 0 TOTAL STALLS: 12

OPEN SPACE:

REQUIRED COMMON OPEN SPACE: 242,894.91 S.F. (15% OVERALL SITE) PROVIDED COMMON OPEN SPACE: 244,207.06

REQUIRED USABLE OPEN SPACE: 24,289.49 S.F. (10% REQUIRED COMMON OPEN SPACE)

PROVIDED USABLE OPEN SPACE: 86,491.37 S.F. 50' X 100' GRASSY AREAS: FIVE (5) AT 5,000 S.F. EACH/25,000 S.F.

COLLECTOR/ARTERIAL STREET LANDSCAPE BUFFER AREA: 61,491.37 S.F.

QUALIFYING SITE AMENITIES:

 TOT LOT 2. POOL

3. CLUB HOUSE 4. 10' WIDE PEDESTRIAN PATHWAY

TOTAL NUMBER OF TREES: 479 TOTAL NUMBER OF TREE SPECIES: 11; 5 SPECIES REQUIRED

LANDSCAPE BUFFER REQUIREMENTS: WEST LANDSCAPE BUFFER (RUT)

- 1,309 LIN. FT. 25 FT. BUFFER PROVIDED
- (5 FT. BUFFER REQUIRED)
- REQUIRED TREES 37
- PROVIDED TREES 37 NORTH BOUNDARY LANDSCAPE BUFFER
- (W BEACON LIGHT ROAD)
- 25 FT. BUFFER PROVIDED (25 FT. BUFFER REQUIRED)
- REQUIRED TREES 27 PROVIDED TREES - 27

EAST BOUNDARY LANDSCAPE BUFFER (N POLLARD LANE)

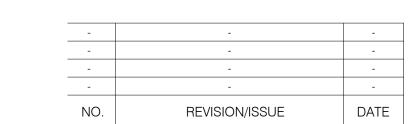
0 FT. BUFFER PROVIDED

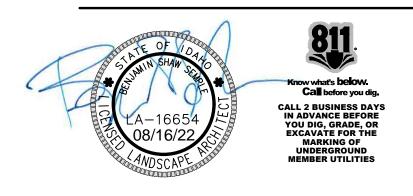
(0 FT. LANDSCAPE BUFFER REQUIRED) REQUIRED TREES - 0

- PROVIDED TREES 0 SOUTH BOUNDARY LANDSCAPE BUFFER (R-2) 1,269 LIN. FT.
- 0 FT. BUFFER PROVIDED (0 FT. BUFFER REQUIRED) REQUIRED TREES - 0 PROVIDED TREES - 0
- 8-4B-12 MICROPATHWAY LANDSCAPING: MIN. 5' LANDSCAPING ON EITHER SIDE 1 TREE PER 35' LINEAR FEET OF PATHWAY NO EVERGREEN TREES OR CLASS 3 SHRUBS LIMITED TO 3' HEIGHT
- 3,261.83 LIN. FEET TOTAL 3,261.83/35 LIN. FEET = 93 OPEN SPACE LANDSCAPE REQUIREMENTS:

1 DECIDUOUS TREE PER 8,000 SF

86,491.37 SF/8,000 SF = 11 TREES





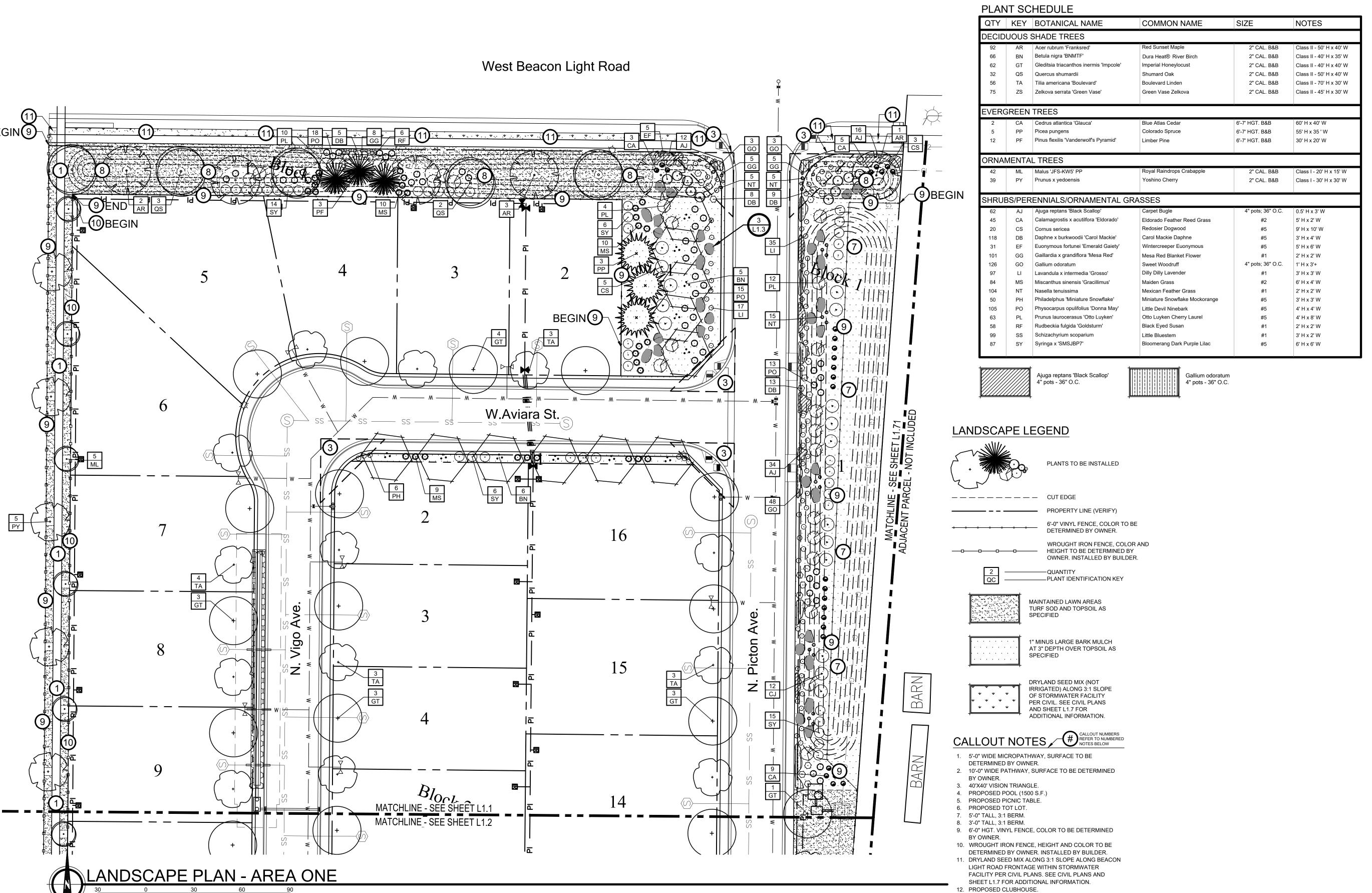


RIVERCREEK LANDING 3013 N. POLLARD LANE STAR, ID 83669 FINAL PLAT

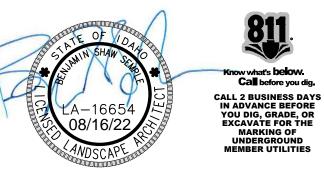
OVERALL LANDSCAPE PLAN

20021 L1.0 06/21/22

AGENCY REVI 137



12. PROPOSED CLUBHOUS13. PROPOSED PARKING.





RIVERCREEK LANDING 3013 N. POLLARD LANE STAR, ID 83669 FINAL PLAT

LANDSCAPE PLAN - AREA ONE

DATE

06/21/22

DRAWN BY

LP

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SHEET

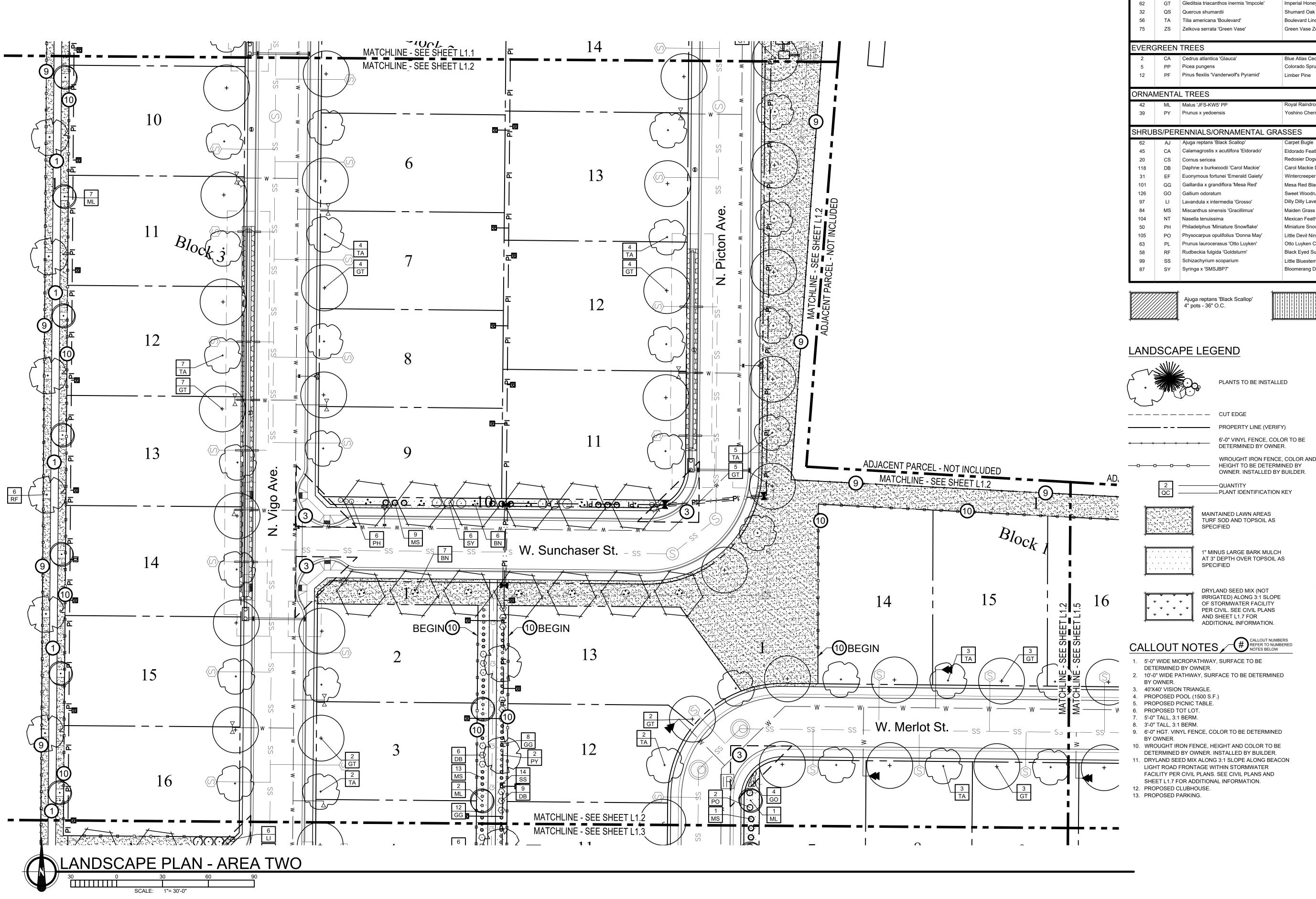
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AGENCY REV 138

NOTES

SIZE



PLANT SCHEDULE

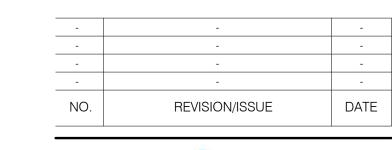
QTY KEY BOTANICAL NAME

DECID	UOUS	SHADE TREES			
92	AR	Acer rubrum 'Franksred'	Red Sunset Maple	2" CAL. B&B	Class II - 50' H x 4
66	BN	Betula nigra 'BNMTF'	Dura Heat® River Birch	2" CAL. B&B	Class II - 40' H x 3
62	GT	Gleditsia triacanthos inermis 'Impcole'	Imperial Honeylocust	2" CAL. B&B	Class II - 40' H x 4
32	QS	Quercus shumardii	Shumard Oak	2" CAL. B&B	Class II - 50' H x 4
56	TA	Tilia americana 'Boulevard'	Boulevard Linden	2" CAL. B&B	Class II - 70' H x 3
75	ZS	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2" CAL. B&B	Class II - 45' H x 3
EVERG	REEN	I TREES	· ·	ļ	
2	CA	Cedrus atlantica 'Glauca'	Blue Atlas Cedar	6'-7' HGT. B&B	60' H x 40' W
5	PP	Picea pungens	Colorado Spruce	6'-7' HGT. B&B	55' H x 35 ' W
12	PF	Pinus flexilis 'Vanderwolf's Pyramid'	Limber Pine	6'-7' HGT. B&B	30' H x 20' W
ODNAN	4ENT.	L AL TREES			
	/IIIII /	31 IIXIIX			
			Royal Raindrops Crabapple	2" CAL B&B	Class I - 20' H x 1!
42 39	ML PY	Malus 'JFS-KW5' PP Prunus x yedoensis	Royal Raindrops Crabapple Yoshino Cherry RASSES	2" CAL. B&B 2" CAL. B&B	
42 39	ML PY BS/PEF	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI	Yoshino Cherry	2" CAL. B&B	
42 39 SHRUE	ML PY	Malus 'JFS-KW5' PP Prunus x yedoensis	Yoshino Cherry RASSES		Class I - 30' H x 30
42 39 SHRUE	ML PY BS/PEF	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop'	Yoshino Cherry RASSES Carpet Bugle	2" CAL. B&B 4" pots; 36" O.C.	Class I - 30' H x 30
42 39 SHRUE 62 45	ML PY BS/PER AJ CA	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado'	PASSES Carpet Bugle Eldorado Feather Reed Grass	2" CAL. B&B 4" pots; 36" O.C. #2	Class I - 30' H x 30 0.5' H x 3' W 5' H x 2' W
42 39 SHRUE 62 45 20	ML PY BS/PER AJ CA CS	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood	2" CAL. B&B 4" pots; 36" O.C. #2 #5	O.5' H x 3' W 5' H x 2' W 9' H x 10' W
42 39 SHRUE 62 45 20 118	ML PY BS/PER AJ CA CS DB	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie'	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W
42 39 SHRUE 62 45 20 118 31	ML PY BS/PEF AJ CA CS DB EF	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety'	PASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W
42 39 SHRUE 62 45 20 118 31 101	ML PY BS/PER AJ CA CS DB EF GG	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red'	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #5 #1	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W
42 39 SHRUE 62 45 20 118 31 101 126	ML PY AJ CA CS DB EF GG	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #5 #1 4" pots; 36" O.C.	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3' + 3' H x 3' W
42 39 SHRUE 62 45 20 118 31 101 126 97	ML PY AJ CA CS DB EF GG GO LI	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso'	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #5 #1 4" pots; 36" O.C. #1	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+
42 39 SHRUE 62 45 20 118 31 101 126 97 84	ML PY AJ CA CS DB EF GG GO LI MS	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus'	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #1 4" pots; 36" O.C. #1 #2	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3' + 3' H x 3' W 6' H x 4' W
42 39 SHRUE 62 45 20 118 31 101 126 97 84 104	ML PY AJ CA CS DB EF GG GO LI MS NT	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima	PASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #1 4" pots; 36" O.C. #1 #2 #1	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3' + 3' H x 4' W 6' H x 4' W 2' H x 2' W
42 39 SHRUE 62 45 20 118 31 101 126 97 84 104 50	ML PY AJ CA CS DB EF GG GO LI MS NT PH	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima Philadelphus 'Miniature Snowflake'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass Miniature Snowflake Mockorange	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #1 4" pots; 36" O.C. #1 #2 #1 #2 #1 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+ 3' H x 3' W 6' H x 4' W 2' H x 2' W
42 39 SHRUE 62 45 20 118 31 101 126 97 84 104 50 105	ML PY AJ CA CS DB EF GG GO LI MS NT PH PO	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima Philadelphus 'Miniature Snowflake' Physocarpus opulifolius 'Donna May' Prunus laurocerasus 'Otto Luyken'	PASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass Miniature Snowflake Mockorange Little Devil Ninebark	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #1 4" pots; 36" O.C. #1 #2 #1 #5 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 2' W 1' H x 3' + 3' H x 3' W 6' H x 4' W 2' H x 2' W 1' H x 3' W 6' H x 4' W 2' H x 2' W 3' H x 4' W
42 39 SHRUE 62 45 20 118 31 101 126 97 84 104 50 105 63	ML PY AJ CA CS DB EF GG GO LI MS NT PH PO PL	Malus 'JFS-KW5' PP Prunus x yedoensis RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima Philadelphus 'Miniature Snowflake' Physocarpus opulifolius 'Donna May'	PASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass Miniature Snowflake Mockorange Little Devil Ninebark Otto Luyken Cherry Laurel	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #1 4" pots; 36" O.C. #1 #2 #1 #5 #5 #5 #5 #5 #5 #5 #5	5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3' + 3' H x 3' W 6' H x 4' W 2' H x 2' W 3' H x 3' W 4' H x 4' W 4' H x 8' W

Gallium odoratum 4" pots - 36" O.C.

COMMON NAME

WROUGHT IRON FENCE, COLOR AND







RIVERCREEK LANDING 3013 N. POLLARD LANE STAR, ID 83669 FINAL PLAT

LANDSCAPE PLAN - AREA TWO

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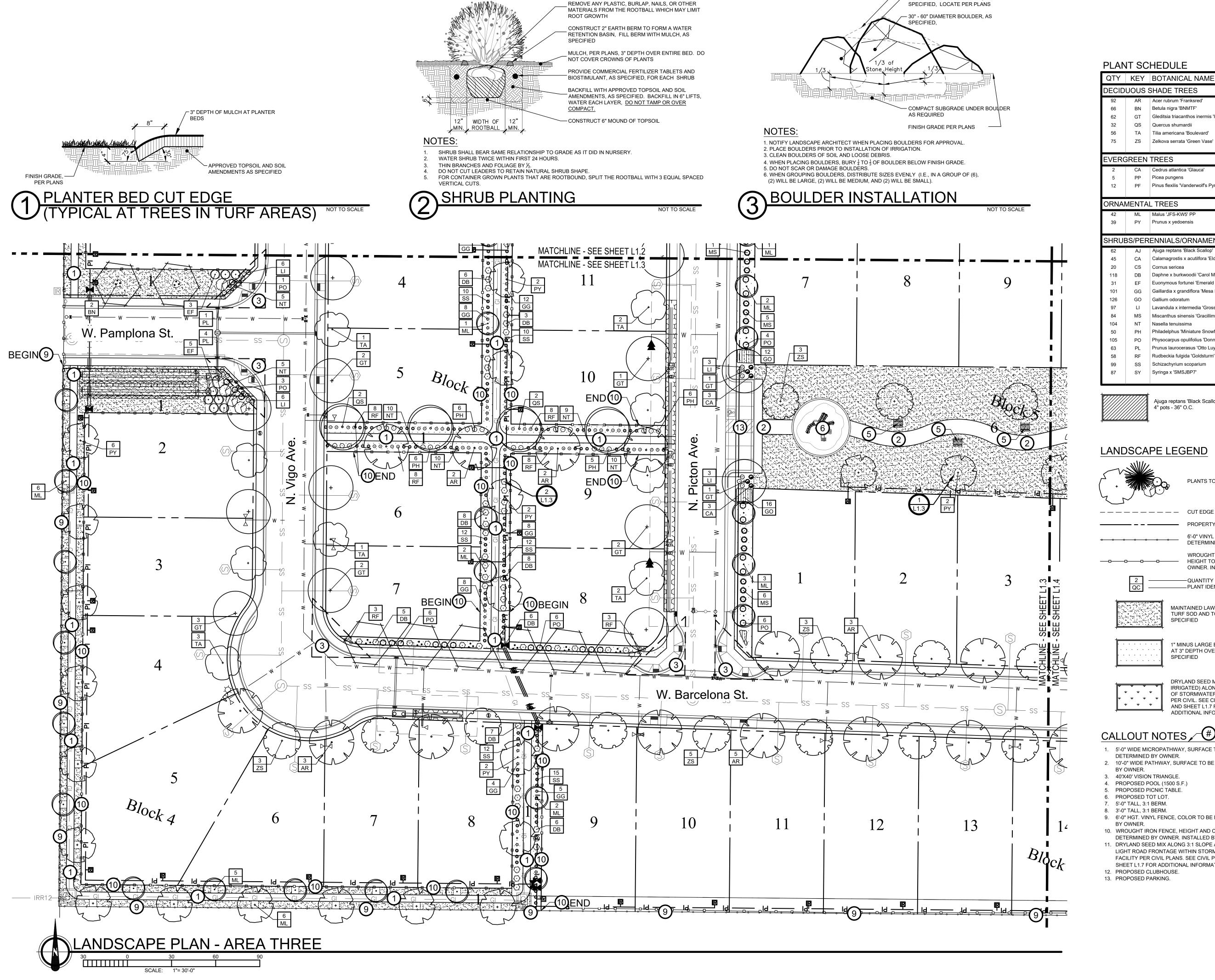
AGENCY REVI 139

NOTES

2' H x 2' W

3' H x 2' W

6' H x 6' W



PLANT SCHEDULE

— VARY HEIGHTS OF BOULDERS.

- 18" - 36" DIAMETER BOULDER, AS

DECID	UOUS	SHADE TREES			
92	AR	Acer rubrum 'Franksred'	Red Sunset Maple	2" CAL. B&B	Class II - 50' H x 40
66	BN	Betula nigra 'BNMTF'	Dura Heat® River Birch	2" CAL. B&B	Class II - 40' H x 35
62	GT	Gleditsia triacanthos inermis 'Impcole'	Imperial Honeylocust	2" CAL. B&B	Class II - 40' H x 40
32	QS	Quercus shumardii	Shumard Oak	2" CAL. B&B	Class II - 50' H x 40
56	TA	Tilia americana 'Boulevard'	Boulevard Linden	2" CAL. B&B	Class II - 70' H x 30
75	ZS	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2" CAL. B&B	Class II - 45' H x 30
EVER	GREEN	I TREES	\	<u> </u>	
2	CA	Cedrus atlantica 'Glauca'	Blue Atlas Cedar	6'-7' HGT. B&B	60' H x 40' W
5	PP	Picea pungens	Colorado Spruce	6'-7' HGT. B&B	55' H x 35 ' W
12	PF	Pinus flexilis 'Vanderwolf's Pyramid'	Limber Pine	6'-7' HGT. B&B	30' H x 20' W
ORNA	MENTA	AL TREES			
42	N/I	Molue LES KWE DD	Poval Paindrone Crahannia	O" CAL DOD	Close I 20' H v 15
42 39	ML PY	Malus 'JFS-KW5' PP Prunus x yedoensis	Royal Raindrops Crabapple Yoshino Cherry	2" CAL. B&B 2" CAL. B&B	Class I - 20' H x 15' Class I - 30' H x 30'
39	PY	Prunus x yedoensis RENNIALS/ORNAMENTAL GF	Yoshino Cherry RASSES	2" CAL. B&B	
39	PY	Prunus x yedoensis	Yoshino Cherry		
39 SHRU	BS/PEF	Prunus x yedoensis RENNIALS/ORNAMENTAL GF	Yoshino Cherry RASSES	2" CAL. B&B	Class I - 30' H x 30
39 SHRU 62	BS/PEF	Prunus x yedoensis RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop'	Yoshino Cherry RASSES Carpet Bugle	2" CAL. B&B 4" pots; 36" O.C.	Class I - 30' H x 30
39 SHRU 62 45	BS/PEF AJ CA	Prunus x yedoensis RENNIALS/ORNAMENTAL GF Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado'	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass	2" CAL. B&B 4" pots; 36" O.C. #2	O.5' H x 3' W 5' H x 2' W
39 SHRU 62 45 20	BS/PEF AJ CA CS	Prunus x yedoensis RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood	2" CAL. B&B 4" pots; 36" O.C. #2 #5	O.5' H x 3' W 5' H x 2' W 9' H x 10' W
39 SHRUI 62 45 20 118	BS/PEF AJ CA CS DB	Prunus x yedoensis RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie'	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W
39 SHRU 62 45 20 118 31	BS/PEF AJ CA CS DB EF	Prunus x yedoensis RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety'	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W
39 SHRU 62 45 20 118 31 101	BS/PEF AJ CA CS DB EF GG	Prunus x yedoensis RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red'	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #5 #1	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W
39 SHRU 62 45 20 118 31 101 126	BS/PEF AJ CA CS DB EF GG GO	Prunus x yedoensis RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #5 #1 4" pots; 36" O.C.	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+
39 SHRU 62 45 20 118 31 101 126 97	BS/PEF AJ CA CS DB EF GG GO LI	Prunus x yedoensis RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso'	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #5 #1 4" pots; 36" O.C. #1	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+ 3' H x 3' W
39 SHRU 62 45 20 118 31 101 126 97 84	BS/PEF AJ CA CS DB EF GG GO LI MS	Prunus x yedoensis RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus'	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #1 4" pots; 36" O.C. #1 #2	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+ 3' H x 3' W 6' H x 4' W
39 SHRU 62 45 20 118 31 101 126 97 84 104	BS/PEF AJ CA CS DB EF GG GO LI MS NT	Prunus x yedoensis RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima	Yoshino Cherry RASSES Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass	2" CAL. B&B 4" pots; 36" O.C. #2 #5 #5 #1 4" pots; 36" O.C. #1 #2 #1	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3' + 3' H x 3' W 6' H x 4' W 2' H x 2' W

Black Eyed Susan

Bloomerang Dark Purple Lilac

Little Bluestem

COMMON NAME

SIZE



Ajuga reptans 'Black Scallop' 4" pots - 36" O.C.

Rudbeckia fulgida 'Goldsturm

SS Schizachyrium scoparium

SY Syringa x 'SMSJBP7'



Gallium odoratum 4" pots - 36" O.C.

LANDSCAPE LEGEND



PLANTS TO BE INSTALLED

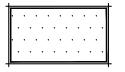
PROPERTY LINE (VERIFY) 6'-0" VINYL FENCE, COLOR TO BE DETERMINED BY OWNER.

WROUGHT IRON FENCE, COLOR AND ———————— HEIGHT TO BE DETERMINED BY OWNER. INSTALLED BY BUILDER.

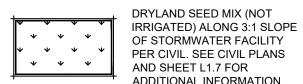
> -QUANTITY PLANT IDENTIFICATION KEY



MAINTAINED LAWN AREAS TURF SOD AND TOPSOIL AS SPECIFIED

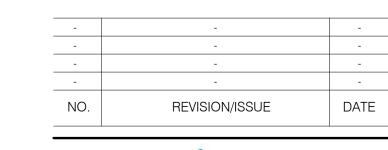


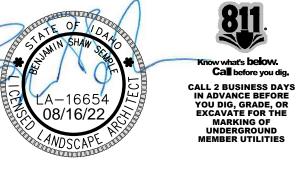
1" MINUS LARGE BARK MULCH AT 3" DEPTH OVER TOPSOIL AS SPECIFIED



PER CIVIL. SEE CIVIL PLANS AND SHEET L1.7 FOR ADDITIONAL INFORMATION. CALLOUT NOTES # CALLOUT NUMBERS REFER TO NUMBERED NOTES BELOW

- 1. 5'-0" WIDE MICROPATHWAY, SURFACE TO BE DETERMINED BY OWNER.
- 2. 10'-0" WIDE PATHWAY, SURFACE TO BE DETERMINED
- BY OWNER.
- 3. 40'X40' VISION TRIANGLE. 4. PROPOSED POOL (1500 S.F.)
- PROPOSED PICNIC TABLE.
- 6. PROPOSED TOT LOT. 7. 5'-0" TALL, 3:1 BERM.
- 8. 3'-0" TALL, 3:1 BERM.
- 9. 6'-0" HGT. VINYL FENCE, COLOR TO BE DETERMINED BY OWNER.
- 10. WROUGHT IRON FENCE, HEIGHT AND COLOR TO BE DETERMINED BY OWNER. INSTALLED BY BUILDER.
- 11. DRYLAND SEED MIX ALONG 3:1 SLOPE ALONG BEACON LIGHT ROAD FRONTAGE WITHIN STORMWATER FACILITY PER CIVIL PLANS. SEE CIVIL PLANS AND SHEET L1.7 FOR ADDITIONAL INFORMATION.
- 12. PROPOSED CLUBHOUSE. 13. PROPOSED PARKING.







RIVERCREEK LANDING 3013 N. POLLARD LANE STAR, ID 83669 FINAL PLAT

LANDSCAPE PLAN - AREA THREE

20021 06/21/22

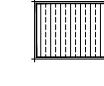
AGENCY REVI 140

PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECID	UOUS	SHADE TREES	•	,	'
92	AR	Acer rubrum 'Franksred'	Red Sunset Maple	2" CAL. B&B	Class II - 50' H x 40' W
66	BN	Betula nigra 'BNMTF'	Dura Heat® River Birch	2" CAL. B&B	Class II - 40' H x 35' W
62	GT	Gleditsia triacanthos inermis 'Impcole'	Imperial Honeylocust	2" CAL. B&B	Class II - 40' H x 40' V
32	QS	Quercus shumardii	Shumard Oak	2" CAL. B&B	Class II - 50' H x 40' V
56	TA	Tilia americana 'Boulevard'	Boulevard Linden	2" CAL. B&B	Class II - 70' H x 30' V
75	ZS	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2" CAL. B&B	Class II - 45' H x 30' V
EVERO	GREEN	I TREES		-	
2	CA	Cedrus atlantica 'Glauca'	Blue Atlas Cedar	6'-7' HGT. B&B	60' H x 40' W
5	PP	Picea pungens	Colorado Spruce	6'-7' HGT. B&B	55' H x 35 ' W
12	PF	Pinus flexilis 'Vanderwolf's Pyramid'	Limber Pine	6'-7' HGT. B&B	30' H x 20' W
39	PY	Prunus x yedoensis	Yoshino Cherry	2" CAL. B&B	Class I - 30' H x 30' V
39	PY	Prunus x yedoensis	Yoshino Cherry	2" CAL. B&B	Class I - 30' H x 30' W
SHRUE	BS/PEF	RENNIALS/ORNAMENTAL GI	RASSES		
62	AJ	Ajuga reptans 'Black Scallop'	Carpet Bugle	4" pots; 36" O.C.	0.5' H x 3' W
45	CA	Calamagrostis x acutilfora 'Eldorado'	Eldorado Feather Reed Grass	#2	5' H x 2' W
20	CS	Cornus sericea	Redosier Dogwood	#5	9' H x 10' W
118	DB	Daphne x burkwoodii 'Carol Mackie'	Carol Mackie Daphne	#5	3' H x 4' W
31	EF	Euonymous fortunei 'Emerald Gaiety'	Wintercreeper Euonymous	#5	5' H x 6' W
101	GG	Gaillardia x grandiflora 'Mesa Red'	Mesa Red Blanket Flower	#1	2' H x 2' W
126	GO	Gallium odoratum	Sweet Woodruff	4" pots; 36" O.C.	1' H x 3'+
97	LI	Lavandula x intermedia 'Grosso'	Dilly Dilly Lavender	#1	3' H x 3' W
84	MS	Miscanthus sinensis 'Gracillimus'	Maiden Grass	#2	6' H x 4' W
104	NT	Nasella tenuissima	Mexican Feather Grass	#1	2' H x 2' W
50	PH	Philadelphus 'Miniature Snowflake'	Miniature Snowflake Mockorange	#5	3' H x 3' W
105	PO	Physocarpus opulifolius 'Donna May'	Little Devil Ninebark	#5	4' H x 4' W
63	PL	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel	#5	4' H x 8' W
58	RF	Rudbeckia fulgida 'Goldsturm'	Black Eyed Susan	#1	2' H x 2' W
99	SS	Schizachyrium scoparium	Little Bluestem	#1	3' H x 2' W
87	SY	Svringa x 'SMSJBP7'	Bloomerang Dark Purple Lilac	#5	6' H x 6' W



Ajuga reptans 'Black Scallop' 4" pots - 36" O.C.



Gallium odoratum 4" pots - 36" O.C.

LANDSCAPE LEGEND



PLANTS TO BE INSTALLED

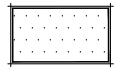
PROPERTY LINE (VERIFY) 6'-0" VINYL FENCE, COLOR TO BE DETERMINED BY OWNER.

WROUGHT IRON FENCE, COLOR AND ———————— HEIGHT TO BE DETERMINED BY OWNER. INSTALLED BY BUILDER.

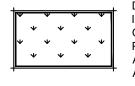
> -QUANTITY PLANT IDENTIFICATION KEY

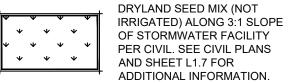


MAINTAINED LAWN AREAS TURF SOD AND TOPSOIL AS SPECIFIED



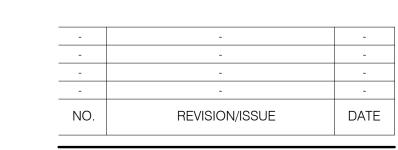
1" MINUS LARGE BARK MULCH AT 3" DEPTH OVER TOPSOIL AS SPECIFIED





CALLOUT NOTES # CALLOUT NUMBERS REFER TO NUMBERED NOTES BELOW

- 5'-0" WIDE MICROPATHWAY, SURFACE TO BE DETERMINED BY OWNER.
 10'-0" WIDE PATHWAY, SURFACE TO BE DETERMINED
- BY OWNER.
- 3. 40'X40' VISION TRIANGLE.
- 4. PROPOSED POOL (1500 S.F.) PROPOSED PICNIC TABLE.
- PROPOSED TOT LOT. 7. 5'-0" TALL, 3:1 BERM. 8. 3'-0" TALL, 3:1 BERM.
- 9. 6'-0" HGT. VINYL FENCE, COLOR TO BE DETERMINED BY OWNER.
- 10. WROUGHT IRON FENCE, HEIGHT AND COLOR TO BE DETERMINED BY OWNER. INSTALLED BY BUILDER. 11. DRYLAND SEED MIX ALONG 3:1 SLOPE ALONG BEACON
- LIGHT ROAD FRONTAGE WITHIN STORMWATER FACILITY PER CIVIL PLANS. SEE CIVIL PLANS AND SHEET L1.7 FOR ADDITIONAL INFORMATION.
- 12. PROPOSED CLUBHOUSE. 13. PROPOSED PARKING.







RIVERCREEK LANDING 3013 N. POLLARD LANE STAR, ID 83669 FINAL PLAT

LANDSCAPE PLAN - AREA FOUR

PROJECT 2	0021	SHEET
DATE 06	/21/22	L1.4
DRAWN BY	CHECKED BY BSS	

AGENCY REV 141

PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECID	UOUS	SHADE TREES	·	'	1
92	AR	Acer rubrum 'Franksred'	Red Sunset Maple	2" CAL. B&B	Class II - 50' H x 40
66	BN	Betula nigra 'BNMTF'	Dura Heat® River Birch	2" CAL. B&B	Class II - 40' H x 35
62	GT	Gleditsia triacanthos inermis 'Impcole'	Imperial Honeylocust	2" CAL. B&B	Class II - 40' H x 40
32	QS	Quercus shumardii	Shumard Oak	2" CAL. B&B	Class II - 50' H x 40
56	TA	Tilia americana 'Boulevard'	Boulevard Linden	2" CAL. B&B	Class II - 70' H x 30
75	ZS	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2" CAL. B&B	Class II - 45' H x 30
EVER	GREEN	TREES		ļ	
2	CA	Cedrus atlantica 'Glauca'	Blue Atlas Cedar	6'-7' HGT. B&B	60' H x 40' W
5	PP	Picea pungens	Colorado Spruce	6'-7' HGT. B&B	55' H x 35 ' W
12	PF	Pinus flexilis 'Vanderwolf's Pyramid'	Limber Pine	6'-7' HGT. B&B	30' H x 20' W
ORNA	MENTA	L TREES		·	·
42	ML	Malus 'JFS-KW5' PP	Royal Raindrops Crabapple	2" CAL. B&B	Class I - 20' H x 15
39	PY	Prunus x yedoensis	Yoshino Cherry	2" CAL. B&B	Class I - 30' H x 30
SHRUI	BS/PEF	RENNIALS/ORNAMENTAL GI	RASSES		
SHRUI 62	BS/PEF	RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop'	RASSES Carpet Bugle	4" pots; 36" O.C.	0.5' H x 3' W
		,		4" pots; 36" O.C. #2	0.5' H x 3' W 5' H x 2' W
62	AJ	Ajuga reptans 'Black Scallop'	Carpet Bugle	' '	
62 45	AJ CA	Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado'	Carpet Bugle Eldorado Feather Reed Grass	#2	5' H x 2' W
62 45 20	AJ CA CS	Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood	#2 #5	5' H x 2' W 9' H x 10' W
62 45 20 118	AJ CA CS DB	Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne	#2 #5 #5	5' H x 2' W 9' H x 10' W 3' H x 4' W
62 45 20 118 31	AJ CA CS DB EF	Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous	#2 #5 #5 #5	5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W
62 45 20 118 31	AJ CA CS DB EF GG	Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower	#2 #5 #5 #5 #1	5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W
62 45 20 118 31 101 126	AJ CA CS DB EF GG GO	Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff	#2 #5 #5 #5 #1 4" pots; 36" O.C.	5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+
62 45 20 118 31 101 126 97	AJ CA CS DB EF GG GO LI	Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender	#2 #5 #5 #5 #1 4" pots; 36" O.C.	5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+ 3' H x 3' W
62 45 20 118 31 101 126 97 84	AJ CA CS DB EF GG GO LI MS	Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass	#2 #5 #5 #5 #1 4" pots; 36" O.C. #1	5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+ 3' H x 3' W 6' H x 4' W
62 45 20 118 31 101 126 97 84 104	AJ CA CS DB EF GG GO LI MS NT	Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass	#2 #5 #5 #5 #1 4" pots; 36" O.C. #1 #2	5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+ 3' H x 3' W 6' H x 4' W 2' H x 2' W
62 45 20 118 31 101 126 97 84 104 50	AJ CA CS DB EF GG GO LI MS NT PH	Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima Philadelphus 'Miniature Snowflake'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass Miniature Snowflake Mockorange	#2 #5 #5 #5 #1 4" pots; 36" O.C. #1 #2 #1	5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3' + 3' H x 3' W 6' H x 4' W 2' H x 2' W 3' H x 3' W
62 45 20 118 31 101 126 97 84 104 50	AJ CA CS DB EF GG GO LI MS NT PH PO	Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima Philadelphus 'Miniature Snowflake' Physocarpus opulifolius 'Donna May'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass Miniature Snowflake Mockorange Little Devil Ninebark	#2 #5 #5 #5 #1 4" pots; 36" O.C. #1 #2 #1 #5	5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3' + 3' H x 3' W 6' H x 4' W 2' H x 2' W 3' H x 3' W 4' H x 4' W
62 45 20 118 31 101 126 97 84 104 50 105 63	AJ CA CS DB EF GG GO LI MS NT PH PO PL	Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima Philadelphus 'Miniature Snowflake' Physocarpus opulifolius 'Donna May' Prunus laurocerasus 'Otto Luyken'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass Miniature Snowflake Mockorange Little Devil Ninebark Otto Luyken Cherry Laurel	#2 #5 #5 #5 #1 4" pots; 36" O.C. #1 #2 #1 #5	5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3' + 3' H x 3' W 6' H x 4' W 2' H x 2' W 3' H x 3' W 4' H x 4' W 4' H x 8' W

Gallium odoratum 4" pots - 36" O.C.





PLANTS TO BE INSTALLED

PROPERTY LINE (VERIFY)

WROUGHT IRON FENCE, COLOR AND OWNER. INSTALLED BY BUILDER.

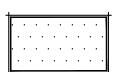
6'-0" VINYL FENCE, COLOR TO BE DETERMINED BY OWNER.

-QUANTITY __PLANT IDENTIFICATION KEY

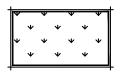
Ajuga reptans 'Black Scallop' 4" pots - 36" O.C.



MAINTAINED LAWN AREAS TURF SOD AND TOPSOIL AS SPECIFIED



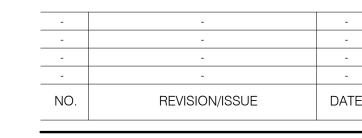
1" MINUS LARGE BARK MULCH AT 3" DEPTH OVER TOPSOIL AS SPECIFIED



DRYLAND SEED MIX (NOT IRRIGATED) ALONG 3:1 SLOPE OF STORMWATER FACILITY PER CIVIL. SEE CIVIL PLANS AND SHEET L1.7 FOR ADDITIONAL INFORMATION.

CALLOUT NOTES # CALLOUT NUMBERS REFER TO NUMBERED NOTES BELOW

- 5'-0" WIDE MICROPATHWAY, SURFACE TO BE DETERMINED BY OWNER.
 10'-0" WIDE PATHWAY, SURFACE TO BE DETERMINED
- BY OWNER.
- 3. 40'X40' VISION TRIANGLE. 4. PROPOSED POOL (1500 S.F.)
- PROPOSED PICNIC TABLE.
- 6. PROPOSED TOT LOT. 7. 5'-0" TALL, 3:1 BERM.
- 8. 3'-0" TALL, 3:1 BERM.
- 9. 6'-0" HGT. VINYL FENCE, COLOR TO BE DETERMINED
- BY OWNER. 10. WROUGHT IRON FENCE, HEIGHT AND COLOR TO BE DETERMINED BY OWNER. INSTALLED BY BUILDER.
- 11. DRYLAND SEED MIX ALONG 3:1 SLOPE ALONG BEACON LIGHT ROAD FRONTAGE WITHIN STORMWATER FACILITY PER CIVIL PLANS. SEE CIVIL PLANS AND SHEET L1.7 FOR ADDITIONAL INFORMATION.
- 12. PROPOSED CLUBHOUSE. 13. PROPOSED PARKING.





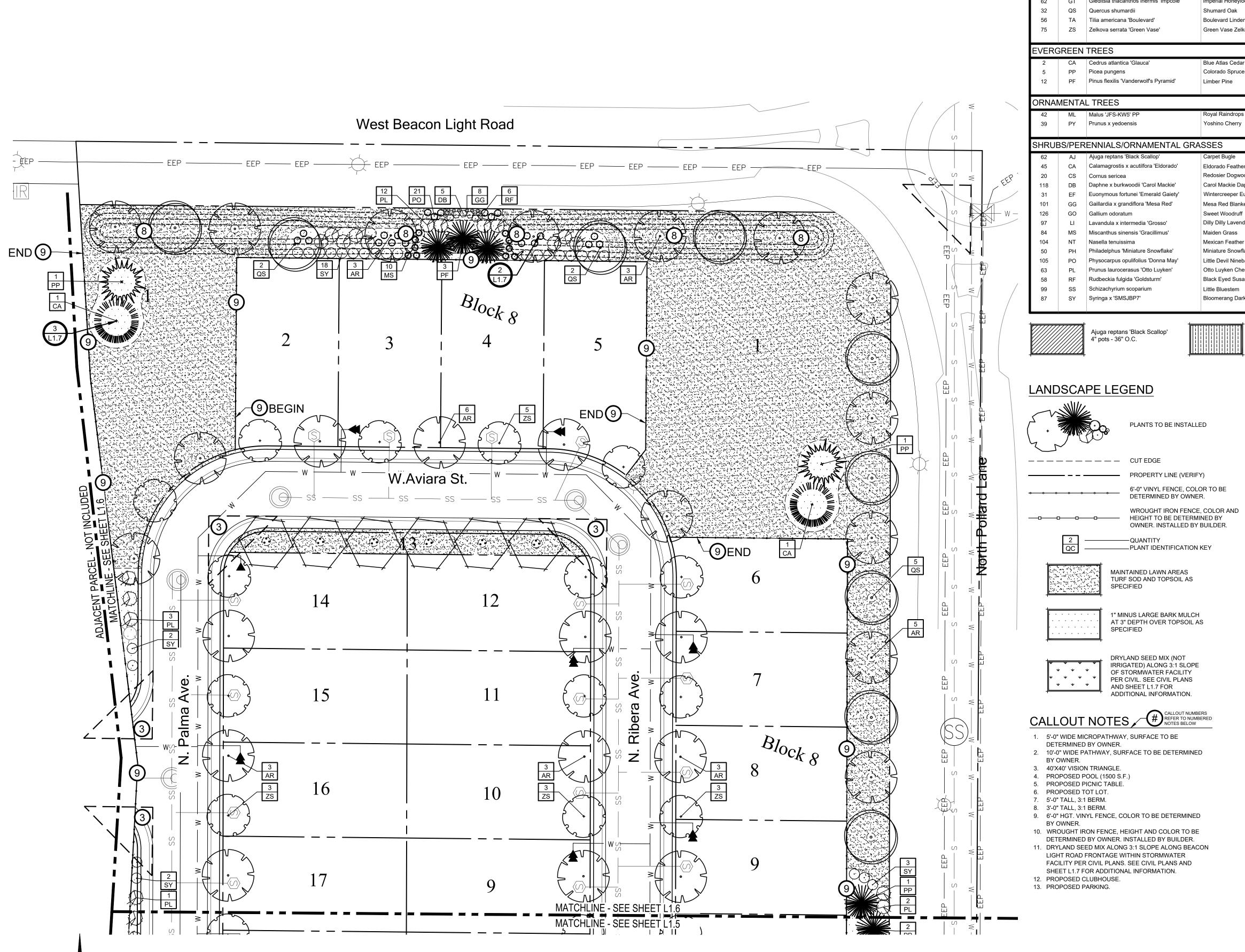


RIVERCREEK LANDING 3013 N. POLLARD LANE STAR, ID 83669 FINAL PLAT

LANDSCAPE PLAN - AREA FIVE

20021 06/21/22

AGENCY REVI 142



LANDSCAPE PLAN - AREA SIX

PLANT SCHEDULE

QTY KEY BOTANICAL NAME

92	AR	Acer rubrum 'Franksred'	Red Sunset Maple	2" CAL. B&B	Class II - 50' H x 40' V
66	BN	Betula nigra 'BNMTF'	Dura Heat® River Birch	2" CAL. B&B	Class II - 40' H x 35' V
62	GT	Gleditsia triacanthos inermis 'Impcole'	Imperial Honeylocust	2" CAL. B&B	Class II - 40' H x 40' V
32	QS	Quercus shumardii	Shumard Oak	2" CAL. B&B	Class II - 50' H x 40' V
56	TA	Tilia americana 'Boulevard'	Boulevard Linden	2" CAL. B&B	Class II - 70' H x 30' V
75	ZS	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2" CAL. B&B	Class II - 45' H x 30' V
EVER	GREEN	TREES	- I		
2	CA	Cedrus atlantica 'Glauca'	Blue Atlas Cedar	6'-7' HGT. B&B	60' H x 40' W
5	PP	Picea pungens	Colorado Spruce	6'-7' HGT. B&B	55' H x 35 ' W
12	PF	Pinus flexilis 'Vanderwolf's Pyramid'	Limber Pine	6'-7' HGT. B&B	30' H x 20' W
ORNA	MENTA	L TREES			
42	ML	Malus 'JFS-KW5' PP	Royal Raindrops Crabapple	2" CAL. B&B	Class I - 20' H x 15' W
	D) (Prunus x yedoensis	Yoshino Cherry	2" CAL. B&B	Class I - 30' H x 30' W
39	PY	Tranad X yearshele		Z OAL. Dad	Class 1 - 30 11 x 30 V
		RENNIALS/ORNAMENTAL G	·	2 OAL BUB	Class I - 30 II X 30 V
		,	·	4" pots; 36" O.C.	0.5' H x 3' W
SHRU	BS/PEF	RENNIALS/ORNAMENTAL GI	RASSES		
SHRU 62	BS/PEF	RENNIALS/ORNAMENTAL GR	RASSES Carpet Bugle	4" pots; 36" O.C.	0.5' H x 3' W
SHRU 62 45	BS/PEF AJ CA	RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado'	RASSES Carpet Bugle Eldorado Feather Reed Grass	4" pots; 36" O.C. #2	0.5' H x 3' W 5' H x 2' W
SHRU 62 45 20	BS/PEF AJ CA CS	RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood	4" pots; 36" O.C. #2 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W
62 45 20 118	BS/PEF AJ CA CS DB	RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne	4" pots; 36" O.C. #2 #5 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W
62 45 20 118 31	BS/PEF AJ CA CS DB EF	RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous	4" pots; 36" O.C. #2 #5 #5 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W
62 45 20 118 31 101	BS/PEF AJ CA CS DB EF GG	RENNIALS/ORNAMENTAL GI Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower	4" pots; 36" O.C. #2 #5 #5 #5 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W
62 45 20 118 31 101 126	BS/PEF AJ CA CS DB EF GG GO	RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff	4" pots; 36" O.C. #2 #5 #5 #5 #1 4" pots; 36" O.C.	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+
62 45 20 118 31 101 126 97	BS/PEF AJ CA CS DB EF GG GO LI	RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender	4" pots; 36" O.C. #2 #5 #5 #5 #1 4" pots; 36" O.C.	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+ 3' H x 3' W
62 45 20 118 31 101 126 97 84	BS/PEF AJ CA CS DB EF GG GO LI MS	RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass	4" pots; 36" O.C. #2 #5 #5 #5 #1 4" pots; 36" O.C. #1 #2	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+ 3' H x 3' W 6' H x 4' W
62 45 20 118 31 101 126 97 84 104	BS/PEF AJ CA CS DB EF GG GO LI MS NT	RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass	4" pots; 36" O.C. #2 #5 #5 #5 #1 4" pots; 36" O.C. #1 #2 #1	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3' + 3' H x 3' W 6' H x 4' W 2' H x 2' W
62 45 20 118 31 101 126 97 84 104 50	BS/PEF AJ CA CS DB EF GG GO LI MS NT PH	RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima Philadelphus 'Miniature Snowflake'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass Miniature Snowflake Mockorange	4" pots; 36" O.C. #2 #5 #5 #1 4" pots; 36" O.C. #1 #2 #1 #2 #1 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+ 3' H x 3' W 6' H x 4' W 2' H x 2' W 3' H x 2' W
62 45 20 118 31 101 126 97 84 104 50 105	BS/PEF AJ CA CS DB EF GG GO LI MS NT PH PO	RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima Philadelphus 'Miniature Snowflake' Physocarpus opulifolius 'Donna May'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass Miniature Snowflake Mockorange Little Devil Ninebark	4" pots; 36" O.C. #2 #5 #5 #1 4" pots; 36" O.C. #1 #2 #1 #2 #1 #5 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3' + 3' H x 3' W 6' H x 4' W 2' H x 2' W 3' H x 3' W 4' H x 4' W
62 45 20 118 31 101 126 97 84 104 50 105 63	BS/PEF AJ CA CS DB EF GG GO LI MS NT PH PO PL	RENNIALS/ORNAMENTAL GR Ajuga reptans 'Black Scallop' Calamagrostis x acutilfora 'Eldorado' Cornus sericea Daphne x burkwoodii 'Carol Mackie' Euonymous fortunei 'Emerald Gaiety' Gaillardia x grandiflora 'Mesa Red' Gallium odoratum Lavandula x intermedia 'Grosso' Miscanthus sinensis 'Gracillimus' Nasella tenuissima Philadelphus 'Miniature Snowflake' Physocarpus opulifolius 'Donna May' Prunus laurocerasus 'Otto Luyken'	Carpet Bugle Eldorado Feather Reed Grass Redosier Dogwood Carol Mackie Daphne Wintercreeper Euonymous Mesa Red Blanket Flower Sweet Woodruff Dilly Dilly Lavender Maiden Grass Mexican Feather Grass Miniature Snowflake Mockorange Little Devil Ninebark Otto Luyken Cherry Laurel	4" pots; 36" O.C. #2 #5 #5 #1 4" pots; 36" O.C. #1 #2 #1 #5 #5 #5 #5	0.5' H x 3' W 5' H x 2' W 9' H x 10' W 3' H x 4' W 5' H x 6' W 2' H x 2' W 1' H x 3'+ 3' H x 3' W 6' H x 4' W 2' H x 2' W 3' H x 2' W 4' H x 8' W

COMMON NAME

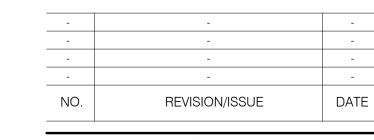
SIZE

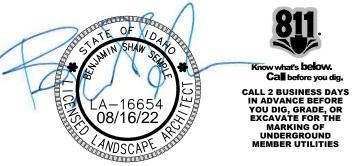
NOTES

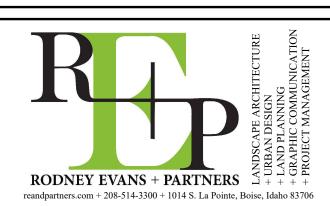


Gallium odoratum 4" pots - 36" O.C.

OWNER. INSTALLED BY BUILDER.







RIVERCREEK LANDING 3013 N. POLLARD LANE STAR, ID 83669 FINAL PLAT

LANDSCAPE PLAN - AREA SIX

	PROJECT	2	0021	SHEET
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AGENCY REVI 143

THESE REQUIREMENTS OUTLINE THE RECOMMENDED GUIDELINES FOR REVEGETATION OF SIDE-SLOPES, BANKS, AND BOTTOMS (EXCLUDING SAND INVERT AREAS) OF NEW STORMWATER MANAGEMENT PONDS THROUGHOUT THE JURISDICTION OF ADA COUNTY HIGHWAY DISTRICT (ACHD). THE RECOMMENDATIONS AND REQUIREMENTS DESCRIBED HERE ARE TAKEN IN PART FROM THE ACHD STORMWATER MANAGEMENT POND REVEGETATION GUIDANCE MANUAL (ASMPRGM) (DATED: APRIL 2014). THE FIVE MAIN GOALS FOR THE REVEGETATION OF NEW PONDS ARE AESTHETICS, NOXIOUS WEED AND INVASIVE SPECIES MANAGEMENT, FIRE HAZARD REDUCTION, WATER QUALITY AND EROSION CONTROL. REFER TO SECTIONS OF THE MANUAL AS NOTED IN THESE REQUIREMENTS.

ALL WORK SHALL BE LIMITED TO THE AREA REQUIRED FOR CONSTRUCTION. ALL FINISHED GRADES SHALL BE SMOOTH AND ROUNDED TO ENSURE A NATURAL TRANSITION BETWEEN NEW AND EXISTING GRADES. REFER TO GRADING AND DRAINAGE PLANS FOR ADDITIONAL REQUIREMENTS. IF NATURAL TOPSOIL OCCURS AT VARYING DEPTHS ON THE PROJECT SITE. THE TOPSOIL SHOULD BE EXCAVATED AND STOCKPILED AT DESIGNATED STORAGE AREAS PRIOR TO THE PROPOSED GRADING OPERATIONS.

CONTRACTOR SHALL ASSESS THE EXISTING SOIL CONDITIONS TO IDENTIFY ANY BARRIERS TO A SUCCESSFUL ESTABLISHMENT OF THE DESIRED SPECIES DUE TO CONDITIONS AT THE SITE. REFER TO ASMPRGM SECTION 3.3 FOR VISUAL AND FIELD ASSESSMENT SOIL CHARACTERISTICS. IF VISUAL ASSESSMENT OF SOIL INDICATES ANY UNUSUAL SOIL CONDITIONS, THE CONTRACTOR SHALL HAVE THREE (3) SOIL TESTS PERFORMED BY A QUALIFIED SOIL ANALYSIS LABORATORY. THESE RESULTS WILL DIRECT THE PREPARATION OF THE SOIL FOR THE REVEGETATION ACTIVITIES.

CONTRACTOR SHALL ALSO ASSESS THE EXISTING HYDROLOGICAL CONDITIONS IF ANY AND THE PROPOSED TOPOGRAPHY OF THE PROPOSED POND. REFER TO ASMPRGM SECTION 3.4 AND 3.5 FOR ADDITIONAL INFORMATION AND CONDITIONS.

SITE PREPARATION

REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. TOPSOIL REQUIREMENTS: ASTM D 5268, PH RANGE OF 5.5 TO 7, FOUR PERCENT ORGANIC MATERIAL MINIMUM, FREE OF STONES 1/2 INCH OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO

TOPSOIL SOURCE: STRIP EXISTING TOPSOIL FROM ALL AREAS OF THE SITE TO BE DISTURBED. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, ORGANIC MATTER LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED TO ACHIEVE THIS

CONTRACTOR SHALL HAVE (3) TOPSOIL SAMPLES TESTS PERFORMED BY A QUALIFIED SOIL ANALYSIS LABORATORY. REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY AND GENERAL TEXTURE BY A QUALIFIED SOIL ANALYSIS LABORATORY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE LANDSCAPE ARCHITECT'S REPRESENTATIVE BY THE CONTRACTOR. ALL TOPSOIL SHALL BE AMENDED TO ACHIEVE SPECIFIED PH AND ORGANIC REQUIREMENTS. RE-TEST TOPSOIL PRIOR TO FINAL COMPLETION TO ENSURE REQUIREMENTS HAVE BEEN MET. NO TOPSOIL SHALL BE PLACED WHILE IN A FROZEN OR

MUDDY CONDITION PLACE TOPSOIL IN AREAS WHERE REQUIRED TO OBTAIN THICKNESS AS SCHEDULED. PLACE TOPSOIL DURING DRY WEATHER. PROVIDE ADDITIONAL IMPORTED TOPSOIL REQUIRED TO BRING SURFACE TO PROPOSED FINISH GRADE, AS

COMPACTED TOPSOIL THICKNESS AT THE FOLLOWING AREAS: GRASSES AND FORBS: 6 INCHES MINIMUM

FINE GRADE TOPSOIL TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES.

TOPSOIL STOCKPILE LOCATIONS TO BE COVERED COORDINATE WITH EROSION AND SEDIMENT CONTROL PLAN.

ALL GRAVEL, SUBBASE, AND OTHER IMPORTED FILL MATERIALS OTHER THAN TOPSOIL SHALL ONLY BE STOCKPILED IN PROPOSED IMPERVIOUS AREAS. NO GRAVEL OR ROCK MATERIALS SHALL BE STOCKPILED OR TEMPORARILY PLACED IN PROPOSED LANDSCAPE AREAS TO PREVENT LANDSCAPE AREAS FROM BEING CONTAMINATED WITH ROCK MATERIALS. CONTRACTOR SHALL SUBMIT A DETAILED STOCKPILE PLAN TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ANY EARTHWORK OPERATIONS.

TOPSOIL DISTRIBUTION

ONCE THE GENERAL EARTHWORK IS COMPLETE AND ROUGH GRADING HAS BEEN ACCOMPLISHED, THE TOPSOIL SHOULD BE REDISTRIBUTED OVER THE AREA TO MINIMUM DEPTHS AS SPECIFIED. WHERE NEEDED, SLOPES SHOULD BE GRADED WITH SERRATION TO HOLD TOPSOIL ADEQUATELY. TOPSOIL SHOULD BE SPREAD AND LIGHTLY COMPACTED UTILIZING A SMALL CLEATED TRACTOR MOVING PERPENDICULAR TO THE CONTOURS OR ANOTHER METHOD WITH EQUAL CAPABILITY. IT IS OUR RECOMMENDATION THAT ANY NECESSARY MECHANICAL MEANS OF EROSION CONTROL BE

IN PLACE PRIOR TO BEGINNING SITE DISTURBANCE. ONCE TOPSOIL HAS BEEN DISTRIBUTED AND GRADED, REVEGETATION SEEDING SHALL FOLLOW IMMEDIATELY. IN ORDER TO ELIMINATE SURFACE CRUSTING AND TO FACILITATE BETTER ROOT PENETRATION, THE SURFACE SHOULD BE SCARIFIED PRIOR TO SEEDING

COMPOST ADDITION TO THE TOPSOIL

COMPOST ADDITION RATES WILL BE DEPENDENT ON THE QUALITIES OF THE COMPOST AND THE QUALITIES OF THE TOPSOIL. COMPOST APPLICATION RATES SHALL BE DETERMINED BY CONSULTATION WITH A QUALIFIED RECLAMATION SPECIALIST, AGRICULTURAL PROFESSIONAL OR A REPRESENTATIVE OF THE COMPOST PRODUCER. CONTRACTOR SHALL HAVE ONE (1) SAMPLE OF THE COMPOST TESTED BY A QUALIFIED SOIL ANALYSIS LABORATORY.

IF APPLYING COMPOST, LOOSEN SURFACE SOIL TO A DEPTH OF AT LEAST 6 INCHES. PROVIDE WEED ABATEMENT PROCEDURE. APPLY SOIL AMENDMENTS ACCORDING TO PLANTING SOIL MIX PROPORTIONS AND MIX THOROUGHLY INTO TOP 6 INCHES OF SOIL. TILL SOIL TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE. APPLY SOIL AMENDMENTS DIRECTLY TO SURFACE SOIL BEFORE LOOSENING.

REFER TO ASMPRGM SECTIONS 4.1.2 AND 4.1.3 FOR ADDITIONAL INFORMATION.

PROBLEMATIC SOIL CONDITIONS

SITE INVESTIGATION AND TOPSOIL ANALYSIS MAY INDICATE THE NEED FOR REMEDIATION OF PROBLEMATIC SOIL CONDITIONS SUCH AS COMPACTION OR NUTRIENT EXCESSES OR DEFICIENCIES. SEE ASMPRGM SECTION 4.2 FOR

WEED ABATEMENT

ALL AREAS TO BE PLANTED OR SEEDED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH ROUND-UP (CONTACT HERBICIDE) OR APPROVED EQUAL. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE. CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING

PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS. APPLY SECOND APPLICATION OF ROUND-UP TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE. IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION. AT THE

THE FOLLOWING INFORMATION PROVIDES MATERIAL AND EXECUTION FOR SEEDING.

TIME OF PLANTING AND SEEDING, ALL PLANTING AREAS SHALL BE WEED FREE.

AREAS WITH CLAY SOILS	INTERMITTENTLY FLOODED OR SATURAT	POUNDS PER LIVE	PERCENT OF PURE LIVE
COMMON NAME	BOTANICAL NAME	SEED PER ACRE	SEED IN MIX
ALKALI BULRUSH	Bolboschoenus maritimus	4.8	20
MEADOW BARLEY	Hordeum brachyatherum	9.2	20
MEADOW SEDGE	Carex praegracilis	1.2	20
NEBRASKA SEDGE	Carex nebrascensis	1.5	20
TUFTED HAIRGRASS	Deschampsia caespitosa	<u>0.5</u>	<u>20</u>
<u>TOTAL</u>		10.4	100

GROW NUTRIBASE FROM QUATTRO ENVIRONMENTAL, A COMPOSTED POULTRY BASED MULCH MATERIAL FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. APPLY AT THE RATE OF 2000 LBS. PER ACRE.

GROW NUTRIBOOST FROM QUATTRO ENVIRONMENTAL (OR APPROVED EQUAL) APPLIED AT 5 GALLONS PER ACRE.

MULCH TACKIFIER SOIL STABILIZER - ECOLOGY CONTROLS M-BINDER. TACKIFIER APPLIED AT THE RATE OF 80 LBS. PER **GRANITE SEED**

1697 WEST 2100 NORTH P.O. BOX 177 **LEHI. UTAH 84043** 1-800-768-4433

(OR APPROVED EQUAL)

DRILL SEEDING IS RECOMMENDED IN THE UPLAND AREAS WITH SLOPES LESS THAN 3:1. SEED DEPOSITION SHOULD BE CALIBRATED TO A DEPTH OF 0.25 TO 0.5 INCH. FULL SIZE OR COMPACT RANGELAND DRILLS ARE RECOMMENDED. DEPENDING ON SIZE, DRILLS CAN BE PULLED BY TRACTOR OR ALL-TERRAIN VEHICLE. DRILL SEEDING SHOULD FOLLOW CONTOURS IN TOPOGRAPHY TO MINIMIZE EROSION POTENTIAL. CONTRACTOR'S OPTION TO DRILL SEED OR HYDROSEED UPLAND AREAS.

MIX SPECIFIED SEED AND ORGANIC SOIL AMENDMENT IN WATER PER MANUFACTURER'S RECOMMENDATIONS. APPLY SEEDED SLURRY EVENLY IN TWO INTERSECTION DIRECTIONS. DO NOT HYDROSEED AREA IN EXCESS OF THAT WHICH CAN BE MULCHED ON SAME DAY. KEEP OFF ROADS, WALKS, STRUCTURES AND AREAS NOT TO BE SEEDED. CLEAN UP THESE AREAS.

AFTER HYDROSEEDING IN UPLAND AREAS, TRACK IN SEED USING A CLEATED CRAWLER WITH TRACK MARKS PERPENDICULAR TO THE SLOPE. AFTER TRACKED, MULCH SLOPE WITH 2000 LBS. PER ACRE OF FERTILE-FIBER MULCH

MATERIAL AND 80 LBS. PER ACRE OF TACKIFIER. AFTER HYDROSEEDING IN WETLAND AREAS, DO NOT TRACK IN SEED USING A CLEATED CRAWLER. AFTER SEEDING, MULCH AREA WITH 2000 LBS. PER ACRE OF FERTILE-FIBER MULCH MATERIAL AND 80 LBS. PER ACRE OF TACKIFIER.

SEEDING TIME
THE OPTIMAL SEEDING TIME SHALL BE IN FALL, BETWEEN MID SEPTEMBER AND MID OCTOBER. IF SEEDING IS APPLIED TOO EARLY OR TOO LATE AND PROPER GERMINATION IS NOT REALIZED PRIOR TO FALL DORMANCY, THEN RESEEDING SHALL BE APPLIED IN EARLY SPRING, AS SOON AS SOIL IS WORKABLE (NOT MUDDY) BETWEEN MARCH AND MID MAY. THIS PLANTING TIME PROVIDES THE OPTIMUM WEATHER CONDITIONS FOR SEED GERMINATION AND SEEDLING SURVIVAL RATE. SEEDING AFTER NOVEMBER 20, 'DORMANT SEEDING' INSURES THAT THE SEED DOES NOT GERMINATE PRIOR TO FREEZING WINTER TEMPERATURES AND SEED SHOULD BE IN PLACE FOR THE EARLY SPRING RAINS.

THE CONTRACTOR SHALL PROVIDE SUPPLEMENTAL IRRIGATION IN SITUATIONS WHERE IMMEDIATE VEGETATION ESTABLISHMENT IS DESIRED, SUCH AS HIGHLY VISIBLE SITES OR EROSION PRONE AREAS OR WHERE IT MAY BE NECESSARY FOR SEEDLING ESTABLISHMENT.

SEEDED AREAS SHOULD BE IRRIGATED USING OVERHEAD SPRAY OR ROTOR IN-GROUND SPRINKLER IRRIGATION SYSTEM. IT IS RECOMMENDED THAT, IF USED, THE IRRIGATION BE CONTINUED FOR AT LEAST TWO (2) SEASONS. SEE IRRIGATION PLANS.

THE CONTRACTOR SHALL MAINTAIN THE SITE FOLLOWING REVEGETATION FOR THE PERIOD OF TWO (2) YEARS. THIS INCLUDES REMOVAL OF VOLUNTEER TREES AND SHRUBS, LITTER CONTROL, WEED CONTROL AND MOWING OF TALL GRASSES AT THE DISCRETION OF ACHD STAFF. MOWING SHOULD ONLY BE PERFORMED WHERE FORBS, SHRUBS AND TREES ARE NOT PLANTED.

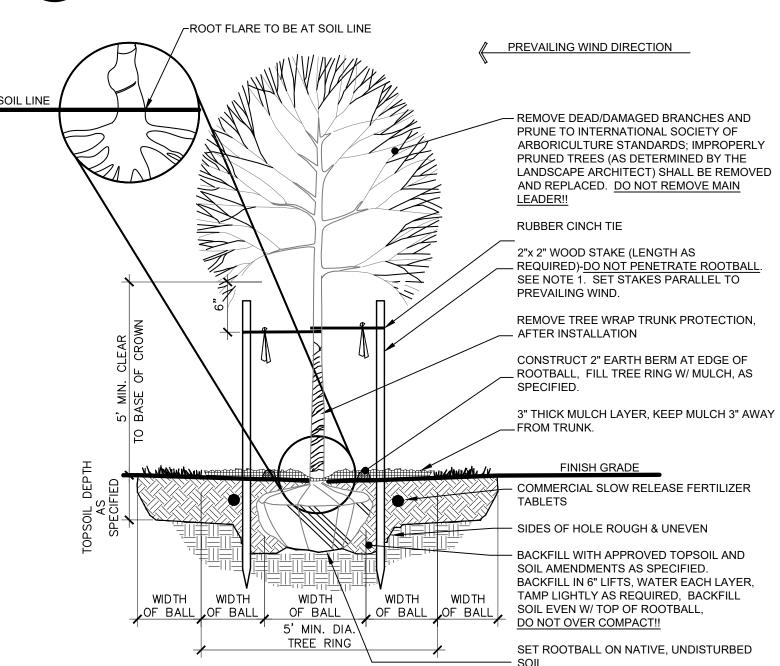
SITES SHALL BE VISITED EVERY TWO (2) WEEKS FOR MONITORING AND ASSESSING THE SEEDING SUCCESS VISUAL ASSESSMENT BY TRAINED PERSONNEL SHOULD OCCUR SEVERAL TIMES OVER THE THE NEXT TWO (2) GROWING SEASONS FOLLOWING THE REVEGETATION PROJECT. VISUAL ASSESSMENTS SHALL INCLUDE ESTIMATIONS OF VEGATATIVE COVER AND ESTABLISHMENT, VEGETATION SPECIES COMPOSITION, SOIL CONDITIONS AND HYDROLOGICAL CONDITIONS. VISUAL ASSESSMENT WILL IDENTIFY PROBLEM AREAS WHERE REVEGETATION AND SITE PREPARATION EFFORTS WILL BE REQUIRED. SITES SHOULD BE MONITORED FOR PRESENCE OF NOXIOUS WEEDS AND INVASIVE SPECIES. REAPPLY HERBICIDE AS NEEDED FOLLOWING MANUFACTURER'S GUIDELINES AND MAINTENANCE PERSONNEL EXPERTISE. OTHER POST-MONITIORING METHODS ARE DESCRIBED IN ASMPRGM SECTION 8 AND SHOULD BE FOLLOWED.

RESEEDING EFFORTS SHALL FOLLOW THE SPECIFIED SEED MIXES FOR THE PROJECT ALONG WITH RECOMMENDATIONS FROM ASMPRGM SECTION 6.

 A = I FNGTH, AS SPECIFIED OR PER PLANT SCHEDULE ■ B = 85% OF 'A' FINISH GRADE PER PLANS **PLAN VIEW** - GROUNDCOVER PLANTING PER PLANTING PLAN MULCH, PER PLANS, 3" DEPTH OVER ENTIRE BED. DO NOT COVER CROWNS OF PLANTS TILL SOIL TO A DEPTH OF 12", BACKFILL WITH - APPROVED TOPSOIL AND SOIL AMENDMENTS, AS

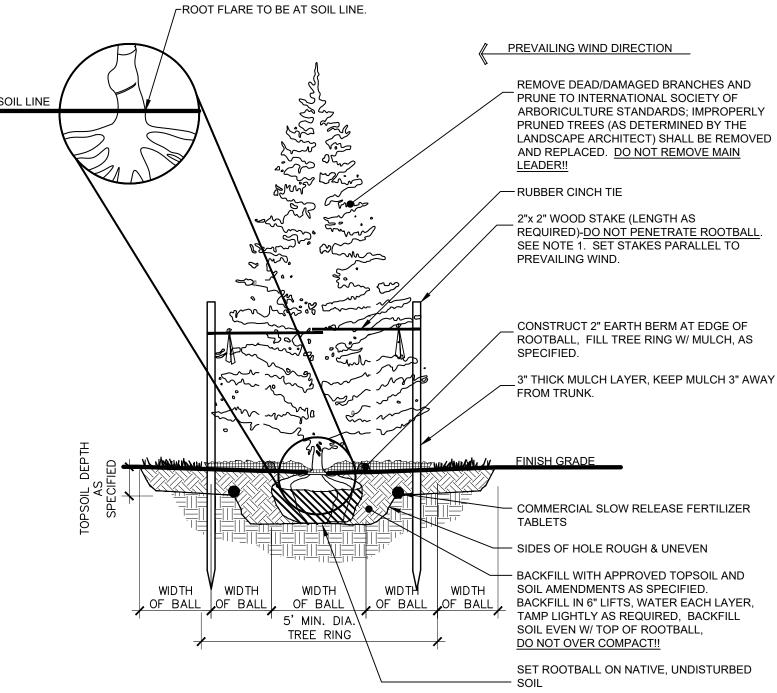
ALL GROUNDCOVER PLANTS TO BE PLANTED ON CENTER AND IN A TRIANGULAR PATTERN. 2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER





- 1. REMOVE BURLAP, TWINE, AND WIRE BASKET FROM TOP \(\frac{1}{3} \) OF ROOTBALL. REMOVE ALL NAILS, TIES, AND PLASTIC FROM ROOTBALL. IF SYNTHETIC BURLAP IS UTILIZED TO WRAP THE ROOTBALL, IT SHALL BE COMPLETELY REMOVED. ONLY BIODEGRADABLE BURLAP SHALL BE LEFT ON THE BOTTOM OF THE ROOTBALL.
- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE
- 3. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- 4. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT
- 5. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
- WATER TREE TWICE WITHIN THE FIRST 24 HOURS. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. 8. FOR TREES LOCATED WITHIN ROADSIDE PLANTERS LESS THAN 8'-0" IN WIDTH, PROVIDE TREE ROOT BARRIER (DEEPROOT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. ALL TREE INSTALLATIONS

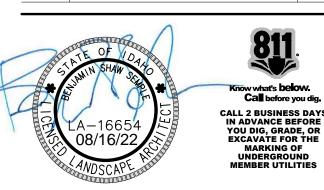
SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS, CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS. **DECIDUOUS TREE PLANTING**



- REMOVE BURLAP, TWINE, AND WIRE BASKET FROM TOP $\frac{2}{3}$ OF ROOTBALL. REMOVE ALL NAILS, TIES, AND PLASTIC FROM ROOTBALL. IF SYNTHETIC BURLAP IS UTILIZED TO WRAP THE ROOTBALL, IT SHALL BE COMPLETELY REMOVED. ONLY
- BIODEGRADABLE BURLAP SHALL BE LEFT ON THE BOTTOM OF THE ROOTBALL. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD
- IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT
- WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
- WATER TREE TWICE WITHIN THE FIRST 24 HOURS. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

CONIFEROUS TREE PLANTING

REVISION/ISSUE





RIVERCREEK LANDING 3013 N. POLLARD LANE STAR, ID 83669 FINAL PLAT

LANDSCAPE DETAILS

20021 06/21/22 CHECKED BY

AGENCY REV 144



CITY OF STAR

LAND USE STAFF REPORT

Shen T. Much

TO: Mayor & Council

FROM: City of Star Planning Department

MEETING DATE: February 21, 2023

FILE(S) #: FP-22-28, Final Plat, Canvasback Subdivision – Phase 2

REQUEST

Applicant is seeking approval of a Final Plat for Canvasback Subdivision, Phase 2 consisting of 45 residential lots and 4 common lots on 12.78 acres. The subject property is generally located on the southwest corner of New Hope Road and N. Wing Road, Ada County Parcel Numbers S0405244250, S0405244701.

<u>Applicant:</u> <u>Owner</u> <u>Representative</u>

Trilogy Idaho Viper Investments, LLC Kent Brown, Kent Brown Planning 9839 Cable Car St. 1977 E. Overland Rd 3161 E. Springwood Drive Meridian, ID 83642 Meridian, ID 83642

PROPERTY INFORMATION

Land Use Designation - Residential R-4

Acres - 12.78 acres

Residential Lots - 45 Common Lots - 4

HISTORY

October 6, 2020 The Annexation and Zoning (AZ-20-11) Preliminary Plat (PP-20-11) and

Development Agreement (DA-20-11) Public Hearing for Canvasback

Subdivision was tabled to November 17, 2020 by the Council.

November 17, 2020 The Annexation and Zoning (AZ-20-11) Preliminary Plat (PP-20-11) and

Development Agreement (DA-20-11) Public Hearing for Canvasback

Subdivision was tabled to January 19, 2021 by the Council.

January 19, 2021 The Annexation and Zoning (AZ-20-11) Preliminary Plat (PP-20-11) and

Development Agreement (DA-20-11) Public Hearing for Canvasback Subdivision was approved by the Council. The Preliminary Plat was

approved with 106 single family residential lots. The zoning designation is

residential (R-4-DA) with a Development Agreement.

August 17, 2021 Council approved applications for the Final Plat of Canvasback

Subdivision, Phase 1, (FP-21-14). Phase 1 included 61 residential lots and

10 common lots on 18.13 acres.

GENERAL DISCUSSION

The applicant is requesting approval of the Final Plat for Canvasback Subdivision, Phase 2 consisting of 45 residential lots and 4 common lots on 12.78 acres.

The Final Plat layout generally complies with the approved Preliminary Plat.

Original Preliminary Plat Review:

Site Data: All Phases

Total Acreage of Site – 30.49 acres

Total Number of Lots – 117 lots

Total Number of Residential Lots – 106 lots

Total Number of Common Lots – 11 lots

Total Number of Commercial Lots – None

Type of Units – Single Family Units

Dwelling Units Per Gross Acre – 3.67 Units per acre

Total Acreage of Common Lots – 5.30 acres

Percent of Site as Common Area - 17.40%

General Site Design Features:

Landscaping

The landscape plan submitted was approved as far as the locations. The UDC, Chapter 4, Section B-7 C-3 Street Trees, states that a minimum density of one (1) tree per thirty-five (35) linear feet is required. The submitted landscape plan appears to satisfy this requirement.

Open Space

Open space for the subdivision comes in the form of passive green space with amenities.

Street Design.

Public Streets

The development is proposing to have 36-foot-wide streets from back of curb to back of curb and a 50 foot right of way. This satisfies UDC Section 8-6B-2.

Sidewalks

Sidewalks are proposed at five-foot (5') widths and will be attached throughout the overall subdivision. Sidewalks along N. Brandon Road will be detached per code and Council Approval on January 19, 2021.

Streetlights

Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant did not originally submit a plan or design/cut sheet for streetlights. This will be required before the final plat can be signed.

Staff Analysis of Final Plat Submittal:

The submitted plat consisted of 45 residential lots and 4 common lots. This completes the phasing of the total development. Council approved 106 residential lots and 11 common lots on the preliminary plat on January 19, 2021.

<u>Lot Layout</u> – The density of Canvasback Subdivision, Phase 2 is 3.52 du/acre. The Final Plat indicates lot sizes range in size from 5,750 square feet to 19,000 square feet. This is in line with the approved preliminary plat.

Common/Open Space and Amenities - Completed in Phase 1

- Tot Lot
- Covered Picnic Shelter
- Neighborhood Pathway
- Neighborhood Park

<u>Landscaping - Landscaping as required by the Unified Development Code, Street Trees; the minimum density of one (1) tree per thirty-five (35) linear feet is required. The landscaping plan, as submitted appears to satisfy this requirement. Common Area landscape requirements call for one deciduous shade tree per 4,000 square feet. The plan as submitted appears to meet these requirements.</u>

<u>Setbacks</u> – The applicant has not received approval for any special setbacks and the development will adhere to current requirements of the R-4 zone.

<u>Mailbox Clusters</u> – The Mailbox cluster has been approved and the letter from Star Postmaster Mel Norton was included in the original application materials.

<u>Street Names</u> – Applicant has provided documentation from Ada County that the proposed street names have been approved and the approval letter is part of the application packet.

<u>Subdivision Name</u> – Ada County Development Services has approved the subdivision name and approval letter is part of the application packet.

<u>Irrigation</u> – The City received a letter from Jerry Kiser, representative for the HRM Pipeline, which serves the property with irrigation water. Per the concerns brought up by Mr. Kiser, staff has placed a condition of approval on this plat requiring written approval from the HRM Pipeline regarding irrigation for the subdivision. <u>Applicant shall provide</u> documentation that these issues have been resolved prior to signature of the Phase 2 final plat.

<u>Wing Road Connection</u> – The City made a request to ACHD to remove the street connection to N. Wing Road from the development on February 15, 2021. This was supported by the Council and neighbors. ACHD responded to the request stating that they would not be supporting the removal of the Wing Road access. The Condition of Approval stated:

The Applicant shall remove the proposed street connection to N. Wing Road prior to the submittal of the final plat for the specific phase with the connection only if ACHD approves the removal of the connection prior to final plat submittal. Written approval from ACHD shall be required. This is in Phase 2 of the development.

Staff considers this issue closed and will not require the applicant to remove the access to Wing Road.

Landscape Buffer for Neighbor to the East on Wing Road – The Applicant shall work with the property owner to the immediate east of the street connection onto N. Wing Road to provide a landscape buffer that would prevent vehicle headlights from encroaching onto the existing residence, as detailed in the Development Agreement. This shall be required only if the property owner agrees to the buffer. The Applicant shall submit a written letter of intent from the property owner prior to submittal of final plat for the phase. If a buffer is agreed upon, the applicant shall revise the landscape plan for that phase to recognize and detail the buffer. Staff will require that this be completed prior to signature of final plat for Phase 2.

PUBLIC NOTIFICATIONS

Notifications of this application were sent to agencies having jurisdiction on January 19, 2023.

No comments have been received

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find

the following:

- A. The Plat is in conformance with the Comprehensive Plan.
- The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.
- B. Public services are available or can be made available and are adequate to accommodate the proposed development.
- Staff finds that all public services are available and able to accommodate this development.
- C. There is public financial capability of supporting services for the proposed development. *Staff knows of no financial hardship that would prevent services from being provided.*
- D. The development will not be detrimental to the public health, safety or general welfare; and, Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.
- E. The development preserves significant natural, scenic or historic features. Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.

CONDITIONS OF APPROVAL

- 1. Per the Development Agreement and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the City \$1,773.58 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$188,000. The City will allocate funds to roadway improvements in the vicinity of the project. Phase 2 has 45 residential lots for a fee of \$79,811.10 (45 x \$1773.58).
- 2. The approved Final Plat for Canvasback Subdivision, Phase 2 shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 3. All public streets shall have a minimum street width of 36' and shall be constructed to ACHD standards.
- 4. Per the City Council approval on January 19, 2021, homes built on Lots 4-7 of Block 2 in Phase 1 shall be single story. This applies to Lot 2 of Block 8 in Phase 2.
- 5. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
- 6. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process by the developer to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall be removed from public right of way daily.

- 7.—The Applicant shall remove the proposed street connection to N. Wing Road prior to the submittal of the final plat for the specific phase with the connection only if ACHD approves the removal of the connection prior to final plat submittal. Written approval from ACHD shall be required. This is in Phase 2 of the development.
- 8. The Applicant shall work with the property owner to the immediate east of the street connection onto N. Wing Road to provide a landscape buffer that would prevent vehicle headlights from encroaching onto the existing residence, as detailed in the Development Agreement. This shall be required only if the property owner agrees to the buffer. The Applicant shall submit a written letter of intent from the property owner prior to submittal of final plat for the phase. If a buffer is agreed upon, the applicant shall revise the landscape plan for that phase to recognize and detail the buffer.
- 9. All pathways located within common areas shall be concrete surfaced.
- 10. <u>The applicant shall provide written approval from the HRM Pipeline regarding irrigation water to the development prior to signature of the final plat for Phase 2.</u>
- 11. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
- 12. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 13. Prior to signature on the mylar, all street names need to be displayed correctly on all pages of the mylar, per Ada County Development Services approval.
- 14. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
- 15. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
- 16. Streetlight design/locations shall be submitted to staff for review prior to approval of the final plat. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision and shall be maintained by the Homeowners Association. Streetlights shall be installed prior to issuing any building permits.
- 17. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
- 18. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
- 19. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
- 20. A separate sign application is required for any subdivision sign.
- 21. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior** to signature of the final plat.
- 22. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.

- 23. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 24. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
- 25. All common areas shall be maintained by the Homeowners Association.
- 26. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 27. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
- 28. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
- 29. Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic and/or copper telecommunication cables.
- 30. Any additional Condition of Approval as required by Staff and City Council.

		COUNCIL DECISION
The Star City Council _		_ File # FP-22-28 Canvasback Subdivision, Phase 2 Final
Plat, on	, 2023.	

KENT BROWN PLANNING SERVICES

January 19, 2023

Star City Council PO Box 130 Star, ID 83669

RE: Final Plat for Canvasback Subdivision No. 2

Dear Mayor and Council:

On behalf of Trilogy Idaho, please accept this request for Final Plat approval. The lot count for Canvasback No. 2;

is 45 single-family residential and 4 common lots. This subdivision is located in the southwest corner of New Hope Road and Wing Road.

- Canvasback Subdivision No.2 is in compliance with the preliminary plat (AZ20-11;DA 20-11 &PP20-11) and meets all requirements of conditions.
- Canvasback Subdivision No. 2 Final Plat is in conformance with:
 - 1. The approved preliminary plat layout and uses
 - 2. Acceptable engineering, architectural and surveying practices and local standards.

Evidence of Substantial compliance for the Canvasback Subdivision:

Site Details	Preliminary plat	Phase One	Phase Two
Residential lots	106	61	45
Residential lots sizes	5750- 21,062	5750- 21,004	5750-19,010
Qualified open space	4.51 acres (14.8%)	2.98 acres (8%)	1.53 acres (6.8%

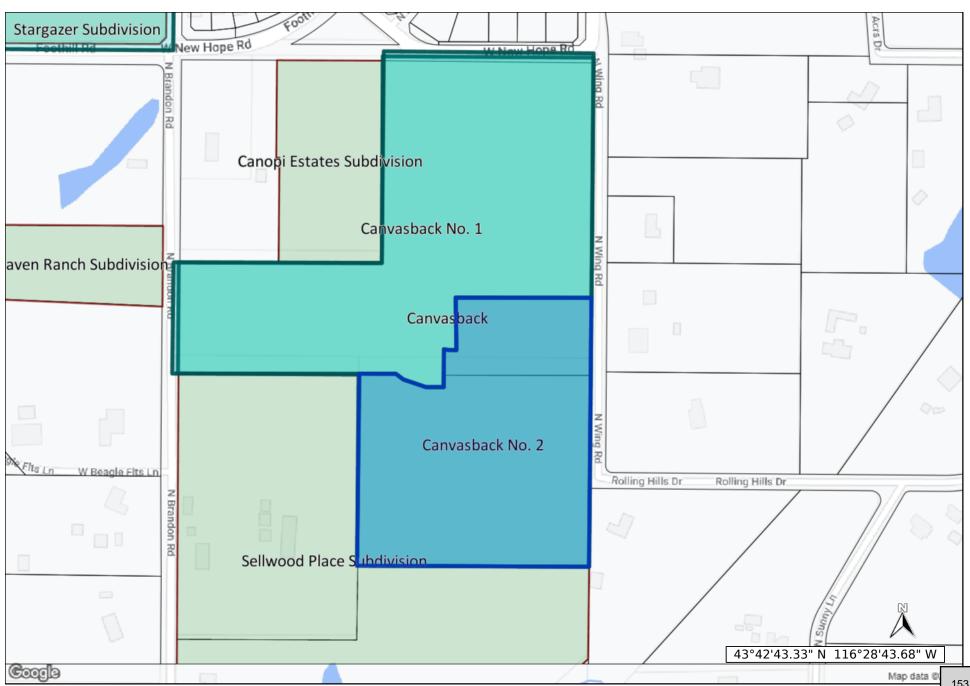
Thank you for your consideration, if you have any question please call me.

Sincerely,

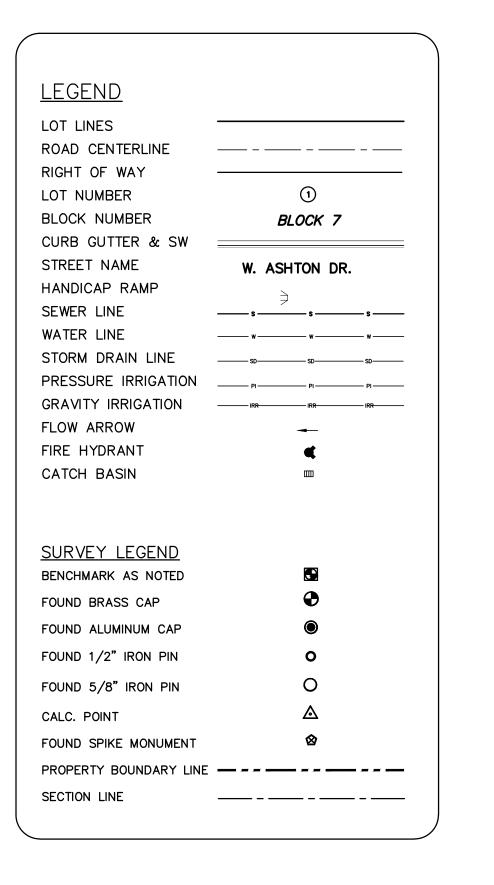
Kent Brown, Planner

landproDATA PDF

Section 6, Item G.







DEVELOPMENT FEATURES

USEABLE OPEN SPACE - 4.51 ACRES 14.8%

TOTAL PARCEL - 30.49 ACRES TOTAL LOTS - 117 BUILDABLE LOTS - 106 RESIDENTIAL - 106 COMMON LOTS - 11 DENSITY DU/ACRE - 3.48 COMMON AREA - 5.30 ACRES - 17.4%

> BUILDABLE - 71 COMMON - 6 PHASE 2 - 40

COMMON - 5 **ZONING** EXISTING - RUT/RT PROPOSED - R-4 SEWAGE DISPOSAL

BUILDABLE - 35

STAR SEWER AND WATER DISTRICT WATER SUPPLY STAR SEWER AND WATER DISTRICT

FARMERS UNION DITCH COMPANY OWNERS HYNES PATRICK & RHONDA TRUST 4835 HWY 20 CORVALLIS, OR 97330 <u>DEVELOPER</u> TRILOGY DEVELOPMENT, INC. 9839 W. CABLE CAR ST. BOISE ID 83709 **ENGINEER**

DAVID A. BAILEY, P.E.

BOISE, ID 83709

208-602-6941

BAILEY ENGINEERING, INC.

9840 W. OVERLAND RD., SUITE 120

IRRIGATION DISTRICT

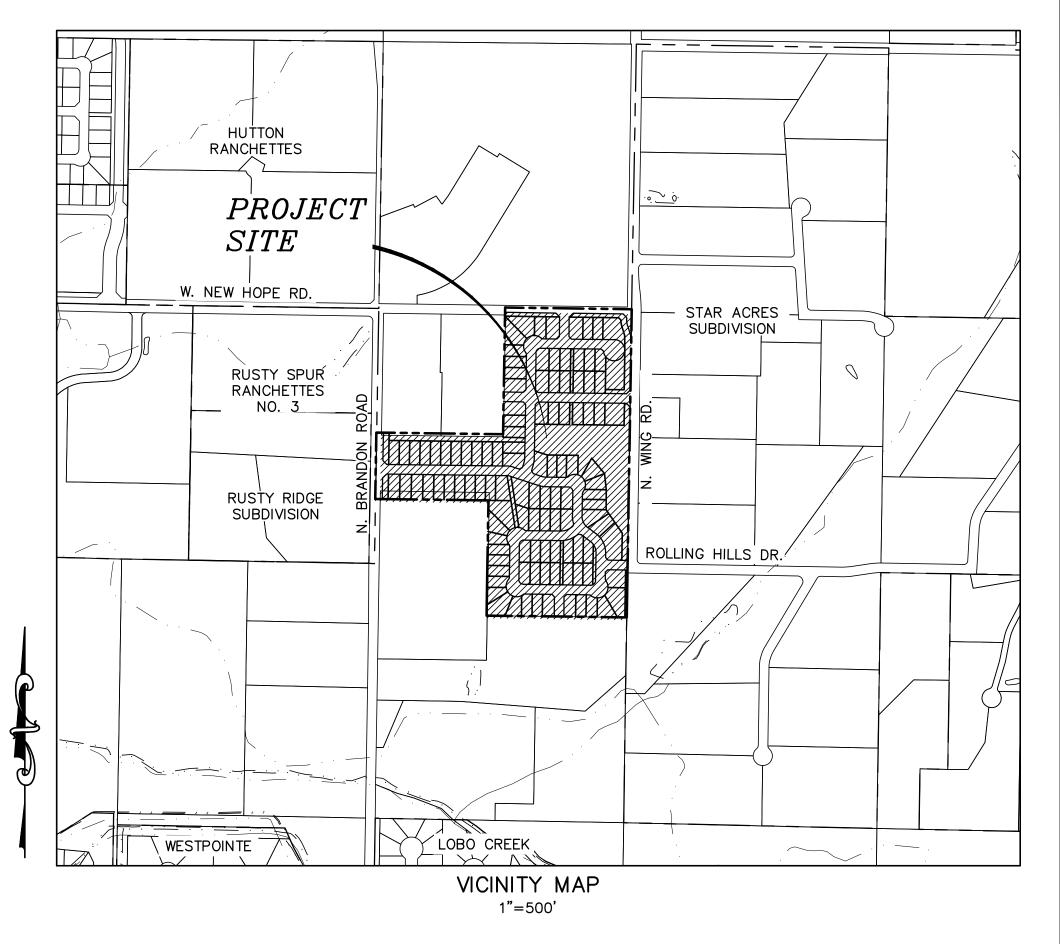
SCHOOL DISTRICT

1119 E. STATE ST., SUITE 210 EAGLE, ID 83616 208-938-0013 PLANNER/CONTACT JANE SUGGS

Common Lots Area Perimeter BLOCK 1 Lot 1 OPEN 7010 810 BUFFER 624 OPEN SPACE BLOCK 1 Lot 14 OPEN | 9314 | BLOCK 2 Lot 1 OPEN 6932 802 BUFFER 241 OPEN SPACE PATHWAY BLOCK 2 Lot 8 OPEN | 1999 | 2465 OPEN SPACE BLOCK 2 Lot 15 OPEN | 123751 | BLOCK 2 Lot 24 OPEN | 12470 | 1196 BUFFER 379 BUFFER BLOCK 4 Lot 1 OPEN | 4764 | BLOCK 4 Lot 9 OPEN | 15420 | 851 OPEN SPACE BLOCK 5 Lot 1 OPEN 3701 308 BUFFER BLOCK 6 Lot 8 OPEN | 5434 | 585 | OPEN SPACE PATHWAY 993 OPEN SPACE BLOCK 8 Lot 1 OPEN 40650

PRELIMINARY PLAT FOR CANVASBACK SUBDIVISION

LOCATED IN THE SE 1/4 OF THE NW 1/4 AND THE NE 1/4 OF THE SW 1/4 SECTION 5 T.4N., R.1W. B.M., CITY OF STAR, ADA COUNTY, IDAHO



PLAN SHEET INDEX

SHEET DESCRIPTION

PP-1 - COVER SHEET, INDEX, VICINTIY MAP, NOTES & DETAILS

PP-2 - PRELIMINARY PLAT & PARCEL TABLE

PP-3 - CONCEPTUAL ENGINEERING PLAN & CURVE TABLE

PP-4 - CONCEPTUAL SEWER PROFILES PP-6 - CONCEPTUAL SEWER PROFILES

1. STAR SEWER AND WATER DISTRICT WATER AND SEWER SERVICE SHALL BE EXTENDED TO ALL LOTS.

2. THE SUBJECT PROPERTY DOES NOT FALL WITHIN ANY FEMA FLOOD HAZARD ZONE. REFERENCE FIRM PANELS 16001C0130H REVISED FEBRUARY 19, 2003.

3. ALL LOT SHALL HAVE A PERMANENT EASEMENT FOR PUBLIC UTILITIES, STREET LIGHTS, IRRIGATION AND LOT DRAINAGE OVER THE 10 (TEN) FEET ADJACENT TO ANY PUBLIC STREET. ALL LOTS SHALL HAVE A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION AND LOT DRAINAGE OVER THE 10 (TEN) FEET ADJACENT TO THE REAR LOT LINE. EXCEPT AS OTHERWISE SHOWN, THERE SHALL BE A 5 (FIVE) FOOT PUBLIC UTILTY, IRRIGATION AND LOT DRAINAGE EASEMENT ADJACENT TO ANY LOT LINE NOT ADJACENT TO A PUBLIC STREET.

4. MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF THE CITY OF STAR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT.

5. THE DEVELOPER SHALL PROVIDE PRESSURIZED IRRIGATION WATER TO EACH LOT. ALL LOTS IN THIS SUBDIVISION WILL BE SUBJECT TO ASSESSMENTS OF THE FARMERS UNION DITCH COMPANY.

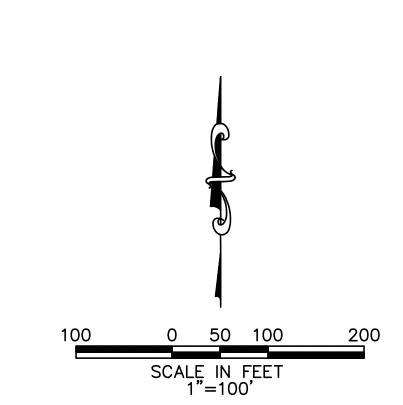
6. STORM DRAINAGE SHALL BE RETAINED ON SITE THROUGH SUBSURFACE SEEPAGE TRENCHES AS APPROVED BY ACHD.

7. ALL LOTS DESIGNATED AS COMMON LOTS ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION OR ITS ASSIGNS.

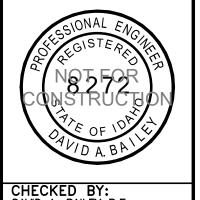
9. ALL LOTS WITHIN THIS SUBDIVISION ARE SINGLE FAMILY RESIDENTIAL LOTS, WITH THE EXCEPTION OF LOTS 1 & 14, BLOCK 1; LOTS 1, 9, 16 & 28, BLOCK 2; LOTS 1 & 9, BLOCK 4; LOTS 1, BLOCK 5; LOT 8, BLOCK 6; AND LOT 1,

BLOCK 8; THAT ARE COMMON LOTS OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

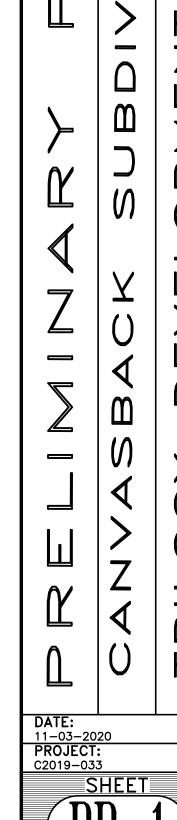
8. ALL EXISTING STRUCTURES WILL BE REMOVED PRIOR TO DEVELOPMENT OF THE PHASE CONTAINING THE STRUCTURE.







DRAWN BY:



PLAT SHOWING

CANVASBACK SUBDIVISION NO. 2

LOCATED IN THE W 1/2 OF SECTION 5, T.4N., R.1W., BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO

CP & F NO. 922145

S.32

.S.5

BASIS N00°54°

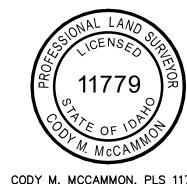
CN 1/6

POINT OF **BEGINNING**

1004.63

- 1. A ten (10) foot wide Pressure Irrigation Easement in favor of the Canvasback Homeowner's Association and a Permanent Public Utilities and Property Drainage Easement is hereby designated along all lot lines common to a Public Right-of-Way and along all rear lot lines. A five (5) foot wide Public Utilities and Property Drainage Easement is hereby designated along each side of interior lot lines unless otherwise shown.
- 2. Portions of Lots 22, Block 4, Lots 24-26 and 31-33, Block 5, Lots 3-6, Block 7, Lots 1-3, Block 8, are servient to and contain the ACHD Storm Water Drainage System. These lots are encumbered by that certain Master Perpetual Storm Water Drainage Easement recorded on May 8, 2009 as Instrument No. 109053259 and First Amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015, as Instrument No. 2015—103256, Official Records of Ada County, and incorporated herein by this reference as if set forth in full (the "Master Easement"). The Master Easement and the Storm Water Drainage System are dedicated to ACHD pursuant to Section 40—2302 Idaho Code. The Master Easement is for the Operation and Maintenance of the Storm Water Drainage System.
- 3. Any Re-Subdivision of this Plat shall be in compliance with the most recently approved Subdivision Standards of the City of Star.
- 4. This development recognizes Idaho Code Section 22-4503, right to farm act. which states: "No agricultural operation, agricultural facility or expansion thereof shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after it has been in operation for more than one (1) year, when the operation, facility or expansion was not a nuisance at the time it began or was constructed. The provisions of this section shall not apply when a nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility or expansion thereof."
- 5. Maintenance of any Irrigation or Drainage pipe or Ditch crossing a lot is the responsibility of the lot owner unless such responsibility is assumed by an Irrigation/Drainage District. Irrigation water has been provided by Farmers Union Ditch Co. in compliance with Idaho Code Section 31-3805(1)(b). Lots within the subdivision will be entitled to Irrigation Water Rights, and will be Obligated for Assessments from Farmers Union Ditch Co.
- 6. Lot 22, Block 4, Lots 14 and 20, Block 5, Lot 3, Block 8, are common lots which shall be owned and maintained by the Canvasback Homeowner's Association. All common lots are subject to a blanket public utility easement and irrigation easement.
- 7. ACHD License Agreement See Inst. ______
- 8. Direct Lot or parcel access to N. Wing Road is prohibited.
- 9. Lot 14, Block 5, and Lot 22, Block 4, are subject to a 20 (twenty) foot HRM Lateral easement as shown & dimensioned.

50 100 200 SCALE IN FEET 1" = 100'

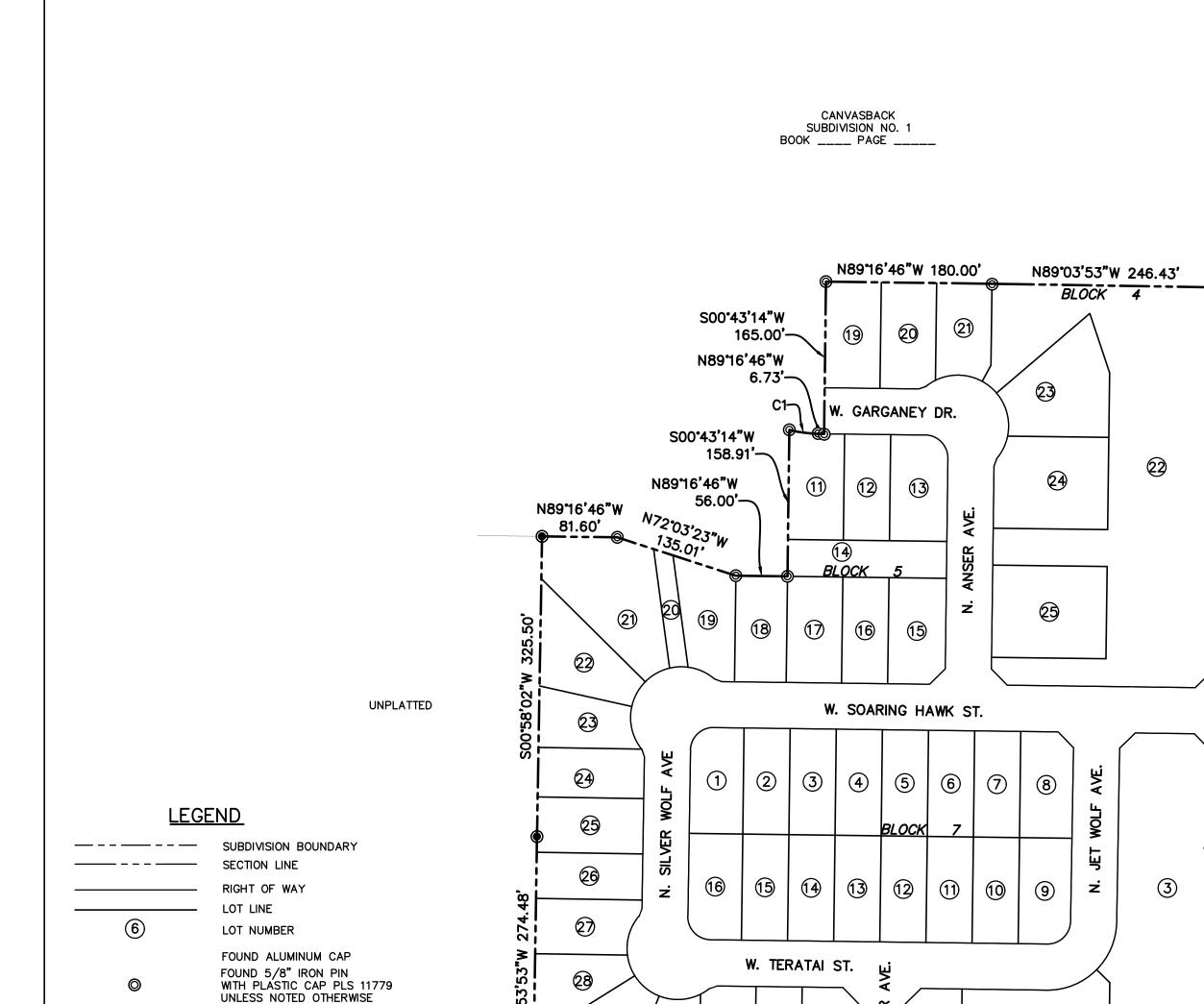


CODY M. MCCAMMON, PLS 11779 IDAHO SURVEY GROUP 9955 W. EMERALD ST BOISE, ID 83704

SHEET 1 OF 4

ailey Engineering, Inc.

CIVIL ENGINEERING | PLANNING | CADD 1119 E. STATE STREET, SUITE 210 TEL 208-938-0013 EAGLE, ID 83616 www.baileyengineers.cd

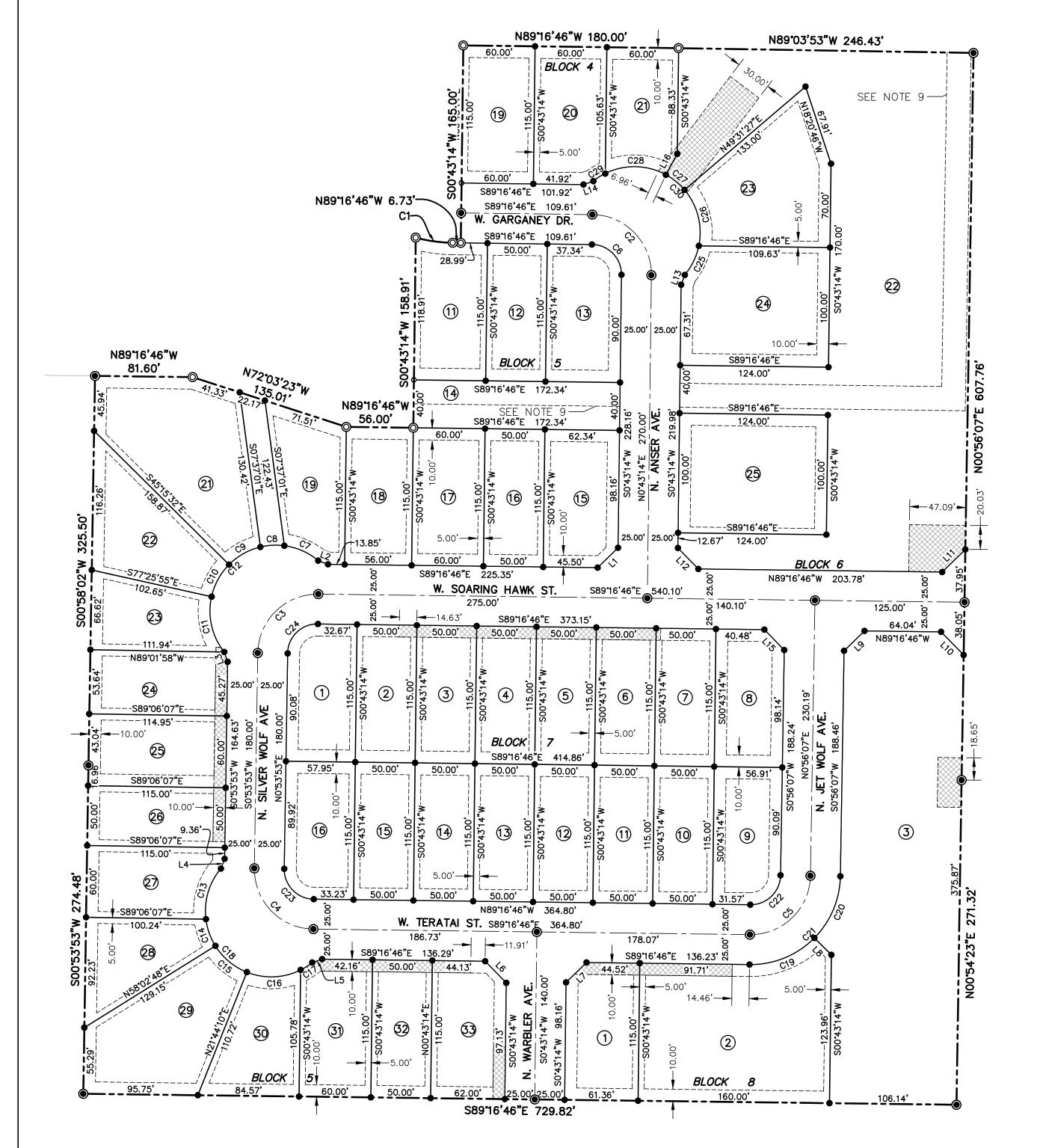


S8916'46"E 729.82'

UNPLATTED

SET 5/8" x 24" IRON PIN WITH PLASTIC CAP, PLS 11779

CANVASBACK SUBDIVISION NO. 2



	Curve Table					
Curve #	Radius	Length	Chord	Bearing	Delta	
C1	125.00'	31.33'	31.25'	N82°05'55"W	14°21'43"	
C2	50.00'	78.54	70.71	N44°16'46"W	90'00'00"	
С3	50.00'	78.38'	70.60'	S45°48'33"W	89*49'21"	
C4	50.00'	78.69'	70.82	S44°11'27"E	9010'39"	
C5	50.00'	78.35'	70.58	N45*49'40"E	89°47'07"	
C12	55.00'	161.75	109.45	S45°48'33"W	168*30'20"	
C18	55.00'	161.81'	109.45	S44°11'27"E	168*34'08"	
C21	75.00'	117.53	105.87	N45*49'40"E	89*47'07"	
C22	25.00'	39.18'	35.29'	S45°49'40"W	89*47'07"	
C23	25.00'	39.35'	35.41'	N44°11'27"W	9010'39"	
C24	25.00'	39.19'	35.30'	N45*48'33"E	89*49'21"	
C25	55.00'	27.28'	27.00'	N25°46'52"E	28*24'59"	
C26	55.00'	49.96'	48.26	N14°27'05"W	52°02'55"	
C27	55.00'	20.11'	20.00'	N50°57'05"W	20°57'05"	
C28	55.00'	52.64'	50.66	N88°50'53"W	54°50'30"	
C29	55.00'	11.79'	11.76'	S57*35'29"W	12°16'46"	
C30	55.00'	161.79'	109.45	S44°16'46"E	168°32'44"	

Line Table				
Line #	Direction	Length		
L1	S45°43'24"W	23.81'		
L2	N69°36'31"W	8.75'		
L3	S18°46'22"E	8.75'		
L4	S20°29'45"W	8.72'		
L5	N71°07'22"E	8.72'		
L6	S44°16'46"E	25.28'		
L7	S45°43'24"W	23.81'		
L8	N45°14'15"W	20.00'		
L9	S45*49'38"W	23.83'		
L10	N44*10'20"W	27.01'		
L11	S45*49'40"W	27.05'		
L12	N44*16'46"W	24.51'		
L13	N20°21'18"E	8.74'		
L14	S71°05'10"W	8.74'		
L15	S44°10'20"E	23.79'		
L16	S28*34'23"W	20.00'		

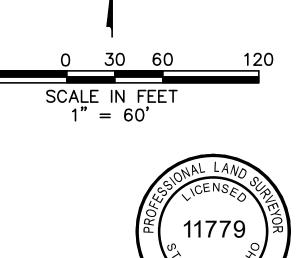
<u>LEGEND</u>

SUBDIVISION BOUNDARY ---- EASEMENT LINE (SEE NOTE 1) EXISTING EASEMENT LINE (as noted) STREET CENTERLINE RIGHT OF WAY LOT LINE LOT NUMBER FOUND 1/2" IRON PIN NO CAP, REPLACED WITH 5/8" IRON PIN WITH PLASTIC CAP PLS 11779 SET 1/2" x 24" IRON PIN WITH PLASTIC CAP, PLS 11779

FOUND ALUMINUM CAP

FOUND 5/8" IRON PIN SET ALUMINUM CAP SET 5/8" x 24" IRON PIN WITH PLASTIC CAP, PLS 11779

ACHD STORM DRAIN EASEMENT SEE NOTE 2



CODY M. MCCAMMON, PLS 11779 IDAHO SURVEY GROUP 9955 W. EMERALD ST BOISE, ID 83704

SHEET 2 OF 4



CIVIL ENGINEERING | PLANNING | CADD 1119 E. STATE STREET, SUITE 210 www.baileyengineers.cd 156 EAGLE, ID 83616

SEE SHEET 1 OF 4 FOR NOTES.

CANVASBACK SUBDIVISION NO. 2

CERTIFICATE OF OWNERS

Know all men by these presents: That Challenger Development, Inc., an Idaho Corporation, is the owner of the property described as follows:

A portion of the W1/2 of Section 5, T.4N., R.1W., B.M., Star, Ada County, Idaho, more particularly described as follows:

Commencing at the CN1/16 corner of said Section 5 from which the N1/4 corner of said Section 5 bears North 00°54'58"
East, 1393.90 feet;

thence along the North-South centerline of said Section 5 South 00°56'07" West, 725.53 feet to the REAL POINT OF BEGINNING;

thence continuing along said North-South centerline South 00°56'07" West, 607.76 feet to the C1/4 of said Section 5; thence continuing along said North-South centerline South 00°54'23" West, 271.32 feet;

thence leaving said North-South centerline North 89°16'46" West, 729.82 feet;

thence North 00°53'53" East, 274.48 feet;

thence North 00°58'02" East, 325.50 feet;

thence South 89°16'46" East, 81.60 feet;

thence South 72°03'23" East, 135.01 feet;

thence South 89°16'46" East, 56.00 feet;

thence North 00°43'14" East, 158.91 feet;

thence 31.33 feet along the arc of a non-tangent curve to the left, said curve having a radius of 125.00 feet, a central angle of 14°21'43" and a long chord which bears South 82°05'55" East, 31.25 feet;

thence South 89°16'46" East, 6.73 feet;

thence North 00°43'14" East, 165.00 feet;

thence South 89°16'46" East, 180.00 feet;

thence South 89°03'53" East, 246.43 feet to the REAL POINT OF BEGINNING. Containing 12.78 acres, more or less.

It is the intention of the undersigned to hereby include the above described property in this plat and to dedicate to the public, the public streets as shown on this plat. The easements as shown on this plat are not dedicated to the public. However, the right to use said easements is hereby perpetually reserved for public utilities and such other uses as designated within this plat, and no permanent structures are to be erected within the lines of said easements. All lots in this plat will be eligible to receive water and sewer service from the City of Star Sewer and Water District and the District has agreed in writing to serve all the lots in this subdivision.

Challenger Development, Inc.
Corey D. Barton, President

CERTIFICATE OF SURVEYOR

I, Cody M. McCammon, do hereby certify that I am a Professional Land Surveyor licensed by the State of Idaho, and that this plat as described in the "Certificate of Owners" was drawn from an actual survey made on the ground under my direct supervision and accurately represents the points platted thereon, and is in conformity with the State of Idaho Code relating to plats and surveys.



<u>ACKNOWLEDGMENT</u>		
State of Idaho)		
) s.s.		
County of Ada)		
On this day of, 20, before me, the personally appeared Corey D. Barton, known or identified to me to be Corporation, dba CBH Homes, the corporation which executed the wie executed the same of behalf of said corporation.	the president of Corey E	Barton Homes, Inc., and Idaho
In witness whereof, I have hereunto set my hand and affixed my offici written.	ial seal the day and year	in this certificate first above
My commission expires	Notary Public for Id Residing in	

CANVASBACK SUBDIVISION NO. 2

HEALTH CERTIFICATE

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied based on a review by a Qualified Licensed Professional Engineer (QLPE) representing Star Sewer and Water District and the QLPE approval of the design plans and specifications and the conditions imposed on the developer for continued satisfaction of the sanitary restrictions. Buyer is cautioned that at the time of this approval, no drinking water extensions or sewer extensions were constructed. Building construction can be allowed with appropriate building permits if drinking water extensions or sewer extensions have since been constructed or if the developer is simultaneously constructing those facilities. If the developer fails to construct facilities, then sanitary restrictions may be reimposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a Certificate of Disapproval, and no construction of any building or shelter requiring drinking water or sewer/septic facilities shall be allowed.

CERTIFICATE OF COUNTY SURVEYOR

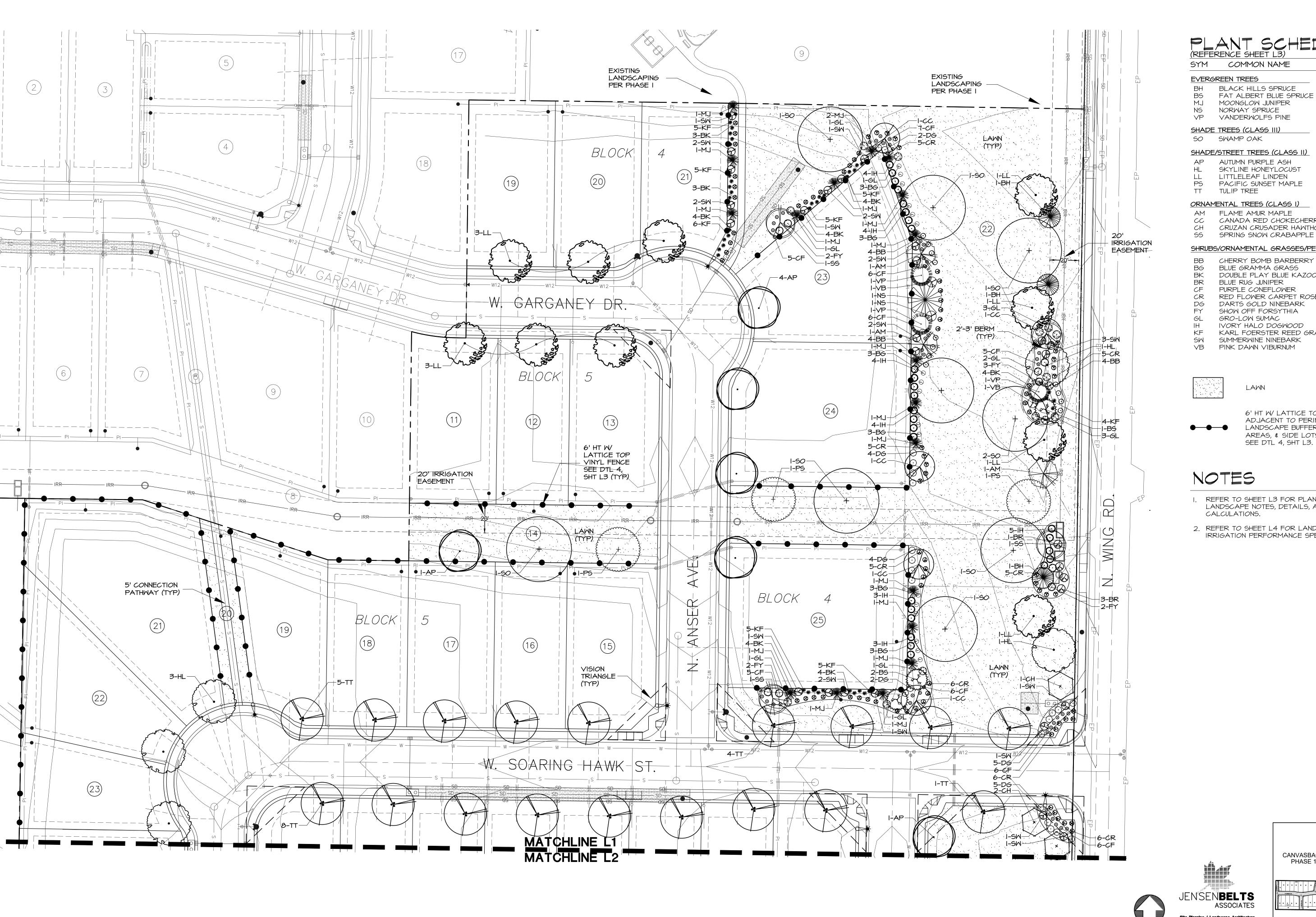
I, the undersigned, Professional Land Surveyor in and for Ada County Idaho, hereby certify that I have checked this plat and that it complies with the State of Idaho Code relating to plats and surveys.

County Surveyor

sewer/septic facilities shall be allowed.	i any banamy er enemer regaming				
	Central District Health	Date	CERTIFICATE OF COUNTY TREASURER		
APPROVAL OF ADA COUNTY HIGHWAY DIST The foregoing plat was accepted and approved by the, 20	by the Board of Ada County Highway District Commissioners on		I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per the requirements of I.C.50-1308 do hereby certify that any and all current and/or delinquent county property taxes for the property included in this subdivision hav been paid in full. This certification is valid for the next thirty (30) days only.		
	ACHD President		Date	County Treasurer	
APPROVAL OF CITY ENGINEER					
I, the undersigned, City Engineer in and for the Chereby approve this plat.	city of Star, Ada County, Idaho, o	n this day			
			COUNTY RECORDER'S CERTIFICATE		
APPROVAL OF CITY COUNCIL	City Engineer	Date	State of Idaho))s.s. County of Ada)		
I, the undersigned, City Clerk in and for the City of the City Council held on the day of			I hereby certify that this instrument was filed fo past O'clockM. on this Pages Instrument No		Minutes of plats at
	City Clerk, Star, Idaho		 Deputy	Ex-Officio Recorder	CSONAL LAND

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$\binom{2}{8}$ 1177	79 P
COPYE OF	10AMNOT

Sailey Engineering, Inc. CIVIL ENGINEERING | PLANNING | CADD



BLACK HILLS SPRUCE FAT ALBERT BLUE SPRUCE MOONGLOW JUNIPER

> NORWAY SPRUCE VANDERWOLFS PINE

SHADE/STREET TREES (CLASS II)

AUTUMN PURPLE ASH SKYLINE HONEYLOCUST LITTLELEAF LINDEN PACIFIC SUNSET MAPLE

ORNAMENTAL TREES (CLASS I)

FLAME AMUR MAPLE CANADA RED CHOKECHERRY CRUZAN CRUSADER HAWTHORN

SHRUBS/ORNAMENTAL GRASSES/PERENNIALS

CHERRY BOMB BARBERRY BLUE GRAMMA GRASS DOUBLE PLAY BLUE KAZOO SPIREA BLUE RUG JUNIPER PURPLE CONEFLOWER

RED FLOWER CARPET ROSE DARTS GOLD NINEBARK SHOW OFF FORSYTHIA

IVORY HALO DOGWOOD KARL FOERSTER REED GRASS SUMMERWINE NINEBARK

LAMN

6' HT W/ LATTICE TOP VINYL FENCE ADJACENT TO PERIMETER LANDSCAPE BUFFERS, COMMON AREAS, & SIDE LOTS (TYP). SEE DTL 4, SHT L3.

SCALE I" = 30'

- REFER TO SHEET L3 FOR PLANT SCHEDULE, LANDSCAPE NOTES, DETAILS, AND CALCULATIONS.
- 2. REFER TO SHEET L4 FOR LANDSCAPE AND IRRIGATION PERFORMANCE SPECIFICATIONS.

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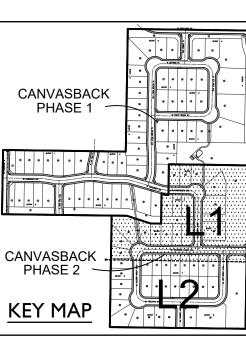
Section 6, Item G.

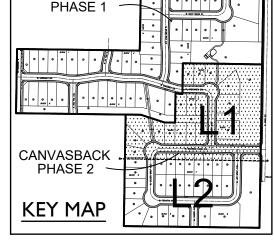
Find Planning CADD

TEL 208-938-0013
TE 210
TEL 208-938-0013

Sailey

CHECKED BY:
KCS
DRAWN BY:







CHECKED BY:
KCS
DRAWN BY:

BLUE GRAMMA GRASS DOUBLE PLAY BLUE KAZOO SPIREA BLUE RUG JUNIPER PURPLE CONEFLOWER RED FLOWER CARPET ROSE

PLANT SCHEDULE (REFERENCE SHEET L3)

SYM COMMON NAME

SHADE TREES (CLASS III) SO SWAMP OAK

TT TULIP TREE

BH BLACK HILLS SPRUCE BS FAT ALBERT BLUE SPRUCE MOONGLOW JUNIPER NORWAY SPRUCE VP VANDERWOLFS PINE

SHADE/STREET TREES (CLASS II)

ORNAMENTAL TREES (CLASS I)

AUTUMN PURPLE ASH SKYLINE HONEYLOCUST LITTLELEAF LINDEN

PACIFIC SUNSET MAPLE

AM FLAME AMUR MAPLE
CC CANADA RED CHOKECHERRY

CRUZAN CRUSADER HAWTHORN SPRING SNOW CRABAPPLE

SHRUBS/ORNAMENTAL GRASSES/PERENNIALS

CHERRY BOMB BARBERRY

EVERGREEN TREES

DARTS GOLD NINEBARK SHOW OFF FORSYTHIA

GRO-LOW SUMAC IVORY HALO DOGWOOD KARL FOERSTER REED GRASS SUMMERWINE NINEBARK

LAMN

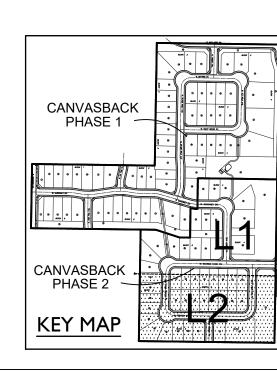
VB PINK DAWN VIBURNUM

6' HT W/ LATTICE TOP VINYL FENCE ADJACENT TO PERIMETER LANDSCAPE BUFFERS, COMMON AREAS, & SIDE LOTS (TYP). SEE DTL 4, SHT L3.

NOTES

- REFER TO SHEET L3 FOR PLANT SCHEDULE, LANDSCAPE NOTES, DETAILS, AND CALCULATIONS.
- 2. REFER TO SHEET L4 FOR LANDSCAPE AND IRRIGATION PERFORMANCE SPECIFICATIONS.

JENSEN**BELTS**ASSOCIATES 1509 Tyrell Lane, Ste 130 Boise, ID 83706 Ph. (208) 343-7175 www.jensenbelts.com SCALE I" = 30'





MATCHLINE L1

MATCHLINE L2

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JENSENBELTS

12-05-2022 PROJECT: **ASSOCIATES** SHEET

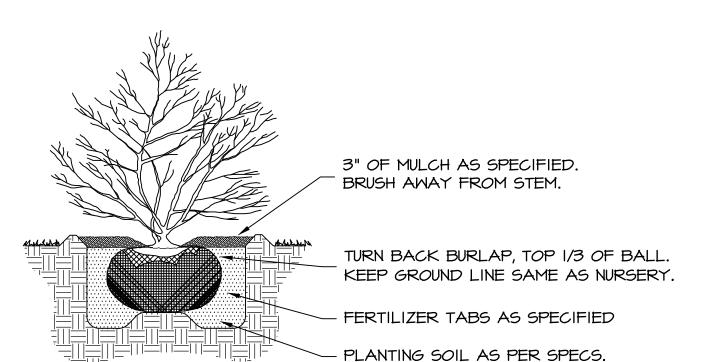
8' x 2" x 2" CEDAR STAKE, 2 PER TREE. SET STAKES PARALLEL TO PREVAILING WIND. SECURE WITH RUBBER CINCH TIES. DO NOT PENETRATE ROOTBALL. SEE NOTE 3. ROOT CROWN TO BE 1-2" ABOVE FINISH GRADE. TRUNK FLARE MUST BE VISIBLE IN PLANTING BEDS: - MULCH AS SPECIFIED. 5'-0" MIN BRUSH AWAY FROM TRUNK. FERTILIZER TABS AS SPECIFIED SNIP BASKET & TURN BACK BURLAP 1/2. BACKFILL W/ TOPSOIL MIX AS SPEC'D & TAMP LOOSELY IN 4"-6" LIFTS , 2 x BALL DIA.

I. REMOVE ALL TWINE, ROPE, OR BINDINGS FROM ALL TRUNKS.

- 2. REMOVE BURLAP AND WIRE BASKETS FROM THE TOP 1/2 OF ALL ROOT BALLS AFTER PLANTING. IF SYNTHETIC WRAP/BURLAP IS USED, IT MUST BE COMPLETELY REMOVED. 3. STAKING OF TREES TO BE THE CONTRACTOR'S OPTION: HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND REMAIN STRAIGHT FOR A MIN OF I YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF
- THE I YEAR WARRANTY PERIOD. 4. TREES PLANTED IN TURF AREAS: REMOVE TURF 3' DIA. FROM TREE TRUNK.

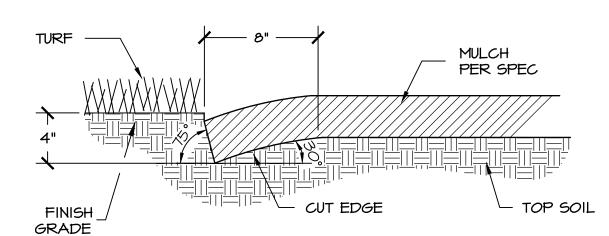
REE PLANTING/STAKING

NOT TO SCALE

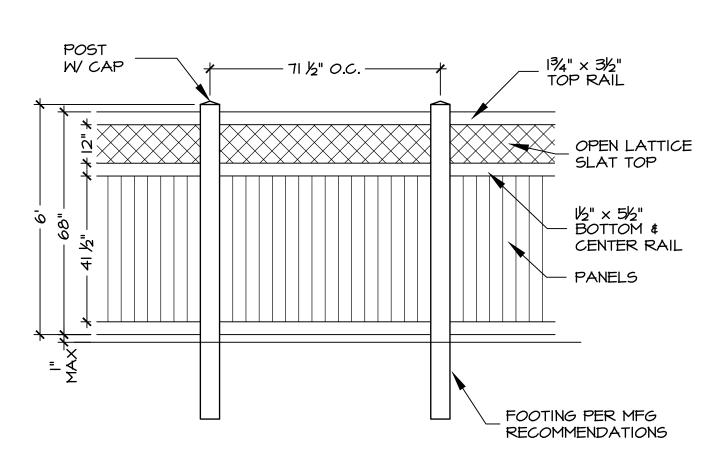


NOTE: DIG HOLE TWICE THE SIZE OF ROOTBALL.

SHRUB PLANTING NOT TO SCALE



PLANTER CUT BED EDGE NOT TO SCALE



I. VINYL FENCE STYLE MAY VERY SLIGHTLY. 2. FENCE TO STEP DOWN TO 3' HEIGHT 20' FROM ROW. 3. 6" WIDE ROCK MULCH MOW STRIP TO BE INSTALL AT

BASE OF FENCE ON COMMON LOT/LANDSCAPE BUFFER SIDE.

VINYL LATTICE TOP FENCE NOT TO SCALE

LANDSCAPE CALCULATIONS

LOCATION	BUFFER WIDTH	LENGTH	REQUIRED	PROVIDED
M. WING RD.	22'	585' / 35' =	17 TREES	26 TREES
NUMBER OF TRE	ES PROVIDED ON RESI ES PROVIDED ON BUFF ES PROVIDED ON COM	ERS:	I7 TREES	47 26 <u>67</u>
TOTAL NUMBER	OF TREES:			140

- I. ALL PLANTING AREAS SHALL BE INSTALLED BE IN ACCORDANCE WITH CITY OF STAR CODE. REFER TO SHEET L4 - SPEC SECTION 32 90 00 - LANDSCAPE SPECIFICATIONS.
- 2. ALL PLANTING AREAS TO BE WATERED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. REFER TO SHEET L4 - SPEC SECTION 32 84 00 - IRRIGATION PERFORMANCE SPECIFICATIONS.

BOTANICAL NAME

PICEA ABIES

QUERCUS BICOLOR

TILIA CORDATA

LIRIODENDRON TULIPIFERA

ACER GINNALA 'FLAME'

MALUS 'SPRINGSNOW'

SPIREA MEDIA 'SMSMBK'

ECHINACEA PURPUREA

PICEA GLAUCA 'DENSATA'

PICEA PUNGENS 'FAT ALBERT'

PINUS FLEXILIS 'VANDERWOLFS'

JUNIPERUS SCOPULORUM 'MOONGLOW'

FRAXINUS AMERICANA 'AUTUMN PURPLE'

PRUNUS VIRGINIANA 'CANADA RED'

CRATAEGUS CRUS-GALLI 'CRUZAM'

BERBERIS THUNBERGII 'MONOMB'

JUNIPERUS HORIZONTALIS 'WILTONI'

FORSYTHIA x INTERMEDIA 'MINDOR'

CALAMAGROSTIS ARUNDINACEA 'K.F.'

PHYSOCARPUS OPULIFOLIA 'SEWARD'

ADJACENT TO PERIMETER

SEE DTL 4, SHT L4.

VIBURNUM x BODNANTENSE 'PINK DAWN'

LANDSCAPE BUFFERS, COMMON AREAS, & SIDE LOTS (TYP).

6' HT W/ LATTICE TOP VINYL FENCE

ROSA 'FLOWER CARPET- NOARE'

RHUS AROMATICA 'GRO-LOW'

CORNUS ALBA 'BAILHALO'

BOUTELOUA GRACILIS 'BLONDE AMBITION'

PHYSOCARPUS OPULIFOLIUS 'DART'S GOLD'

GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'

ACER TRUNCATUM x A. PLATANOIDES 'WARRENRED

SIZE

6-8' HT B&B

2" CAL B&B

3 GAL

I GAL

2 GAL

3 GAL

2 GAL

5 GAL

5 GAL

3 GAL

5 GAL

I GAL

5 GAL

5 GAL

I GAL

6-8' HT. MULTI-STEM

6-8' HT. MULTI-STEM

3. LOCATE AND PROTECT ALL UTILITIES DURING CONSTRUCTION.

PLANT SCHEDULE

SYM COMMON NAME

SHADE TREES (CLASS III)

TULIP TREE

SO SWAMP OAK

BLACK HILLS SPRUCE

MOONGLOW JUNIPER

VANDERWOLFS PINE

SHADE/STREET TREES (CLASS II)

AUTUMN PURPLE ASH

LITTLELEAF LINDEN

FLAME AMUR MAPLE

CANADA RED CHOKECHERRY

SHRUBS/ORNAMENTAL GRASSES/PERENNIALS

RED FLOWER CARPET ROSE

KARL FOERSTER REED GRASS

DOUBLE PLAY BLUE KAZOO SPIREA

SPRING SNOW CRABAPPLE

CHERRY BOMB BARBERRY

BLUE GRAMMA GRASS

PURPLE CONEFLOWER

DARTS GOLD NINEBARK

SHOW OFF FORSYTHIA

IVORY HALO DOGWOOD

SUMMERWINE NINEBARK

PINK DAWN VIBURNUM

BLUE RUG JUNIPER

GRO-LOW SUMAC

LAWN

CRUZAN CRUSADER HAWTHORN

ORNAMENTAL TREES (CLASS I)

SKYLINE HONEYLOCUST

PACIFIC SUNSET MAPLE

NORWAY SPRUCE

FAT ALBERT BLUE SPRUCE

EVERGREEN TREES

NS

VP

TT

SS

SM

- 4. TREES SHALL NOT BE PLANTED WITHIN THE 10-FOOT CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES IN PARKSTRIPS. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM. ALL SHRUBS PLANTED OVER OR ADJACENT TO SEEPAGE BEDS TO HAVE A ROOT BALL THAT DOES NOT EXCEED 18" IN DIAMETER. NO LAWN SOD TO BE PLACED OVER DRAINAGE SWALE SAND WINDOWS. ACHD STORMWATER BASINS AND SWALES SHALL BE LANDSCAPED ACCORDING TO THE 'ADA COUNTY HIGHWAY DISTRICT STORMWATER MANAGEMENT BASIN REVEGETATION GUIDANCE MANUAL' (OCTOBER 2017) IN APPENDIX D.
- 5. NO TREES SHALL IMPEDE THE 40' VISION TRIANGLE AT ALL INTERSECTIONS. NO CONIFEROUS TREES OR SHRUBS OVER 3' HIGH AT MATURITY WILL BE LOCATED WITHIN SIGHT TRIANGLE OR ACHD ROW. AS TREES MATURE, THE OWNER SHALL BE RESPONSIBLE FOR PRUNING TREE CANOPIES TO MEET ACHD REQUIREMENTS FOR MAINTAINING CLEAR VISIBILITY WITHIN 40' STREET VISION TRIANGLE.
- 6. TREES SHALL BE PLANTED NO CLOSER THAN 50' FROM INTERSECTION STOP SIGNS.
- 7. CLASS II TREES AND LANDSCAPE IN FRONT OF BUILDING LOTS ON INTERIOR STREETS TO BE COMPLETED DURING CONSTRUCTION ON THESE LOTS. TREE LOCATIONS MAY BE ALTERED TO ACCOMMODATE DRIVEWAYS AND UTILITIES. TREES MUST BE CLASS II AND SHALL NOT BE PLANTED WITHIN 5' OF WATER METERS OR UNDERGROUND UTILITY LINES.
- 8. PLANT LIST IS SUBJECT TO SUBSTITUTIONS OF SIMILAR SPECIES DUE TO PLANT MATERIAL AVAILABILITY. BURLAP AND WIRE BASKETS TO BE REMOVED FROM ROOT BALL AS MUCH AS POSSIBLE, AT LEAST HALFWAY DOWN THE BALL OF THE TREE. ALL NYLON ROPES TO BE COMPLETELY REMOVED FROM TREES.
- 9. THERE ARE NO EXISTING TREES ON SITE. NO MITIGATION IS REQUIRED.

ENGINEER

CORVALLIS, OR 97330

1.1 RELATED DOCUMENTS A. Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specification Sections.

1.2 SUMMARY

A. This Section includes provisions for the following items:

Trees. 2. Shrubs; Ground cover.

Lawns.

4. Topsoil and Soil Amendments.

5. Miscellaneous Landscape Elements. 6. Initial maintenance of landscape materials.

B. Related Sections: The following sections contain requirements.

1. Underground sprinkler system is specified in Section 32 84 00 - Irrigation

1.3 QUALITY ASSURANCE

A. Subcontract landscape work to a single firm specializing in landscape work.

B. Source Quality Control: 1. General: Ship landscape materials with certificates of inspection required by governing

authorities. Comply with regulations applicable to landscape materials. 2. Do not make substitutions. If specified landscape material is not obtainable, submit proof of non-availability to Architect, with proposal for use of equivalent material.

3. Analysis and Standards: Package standard products with manufacturer's certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agriculture Chemists,

4. Trees, Shrubs and Groundcovers: Provide trees, shrubs, and groundcovers of quantity, size, genus, species, and variety shown and scheduled for work complying with recommendations and requirements of ANSI Z60.1 "American Standard for Nursery Stock". Provide healthy, vigorous stock, grown in recognized nursery in accordance with good horticultural practice and free of disease, insects, eggs, larvae, and defects such as knots, sun-scald, injuries, abrasions, or disfigurement.

5. Label at least one tree and one shrub of each variety with attached waterproof tag with legible designation of botanical and common name.

a. Where formal arrangements or consecutive order of trees or shrubs are shown, select stock for uniform height and spread.

6. Inspection: The Architect may inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size, and quality. Architect retains right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Remove rejected trees or shrubs immediately from project site.

1.4 SUBMITTALS

A. General: Submit the following in accordance with Conditions of Contract and Division 1 Specification Sections.

B. Plant and Material Certifications:

1. Certificates of inspection as required by governmental authorities.

2. Manufacturer's or vendor's certified analysis for soil amendments and fertilizer materials. 3. Label data substantiating that plants, trees, shrubs and planting materials comply specified requirements

C. Mulch: Submit 1 gal bag of mulch sample for approval.

1.5 DELIVERY, STORAGE AND HANDLING

A. Sod: Time delivery so that sod will be placed within 24 hours after stripping. Protect sod against drying and breaking of rolled strips.

B. Trees and Shrubs: Provide freshly dug trees and shrubs. Do not prune prior to delivery unless otherwise approved by Architect. Do not bend or bind-tie trees or shrubs in such manner as to damage bark, break branches, or destroy natural shape. Provide protective covering during delivery. Do not drop balled and burlapped stock during delivery.

C. Deliver trees and shrubs after preparations for planting have been completed and plant immediately. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist by covering with mulch, burlap or other acceptable means of retaining moisture.

D. Do not remove container-grown stock from containers until planting time. E. Do not drop or dump materials from vehicles during delivery or handling. Avoid any damage to rootballs during deliver, storage and handling.

1.6 JOB CONDITIONS

A. Utilities: Determine location of underground utilities and work in a manner which will avoid possible damage. Hand excavate, as required. Maintain grade stakes until removal is mutually agreed upon by parties concerned.

B. Excavation: When conditions detrimental to plant growth are encountered, such rubble fill, adverse drainage conditions, or obstructions, notify Architect before planting.

C. Adjacent Landscape: Protect planted areas adjacent to construction area. Replace or recondition to prior conditions at project completion.

1.7 SEQUENCING AND SCHEDULING

A. Planting Time: Proceed with, and complete landscape work as rapidly as portions of site become available, working within seasonal limitations for each kind of landscape work

1. Plant or install all plant materials during normal planting seasons from 15 March to 15 November.

2. Correlate planting with specified maintenance periods to provide maintenance from date of substantial completion.

B. Coordination with Lawns: Plant trees and shrubs after final grades are established and prior to planting of lawns, unless otherwise acceptable to Architect. If planting of trees and shrubs occurs after lawn work, protect lawn areas and promptly repair damage to lawns resulting from planting operations.

1.8 SPECIAL PROJECT WARRANTY

A. Warranty lawns through specified lawn maintenance period, until Final Project Acceptance. B. Warranty trees and shrubs, for a period of one year after date of substantial completion, against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others, or unusual phenomena or incidents beyond

Landscape Installer's control. C. Remove and replace trees, shrubs, or other plants dead or in unhealthy condition during warranty period. Make replacements during growth season following end of warranty period. Replace trees and shrubs which are in doubtful condition at end of warranty period; unless, in opinion of Architect, it is advisable to extend warranty period for a full growing season.

PART 2 - PRODUCTS

A. If deemed usable, native topsoil shall be stockpiled for re-use in landscape work. Topsoil shall be fertile, friable, natural loam, surface soil, reasonable free of subsoil, clay lumps, brush, weeds, roots, stumps, stones larger than 1 inch in any dimension, and other

extraneous or toxic matter harmful to plant growth. 1. Contractor shall send a minimum of three (3) representative topsoil samples for testing. See testing requirements below. Contractor is responsible for whatever soil additives are recommended by the tests. Submit to Architect for approval. Compost will be added to other additives and added regardless of test results.

B. If quantity of stockpiled topsoil is insufficient, contractor to provide imported topsoil that is fertile, friable, natural loam, surface soil, reasonably free of subsoil, clay lumps, brush, weeds and other litter, and free of roots, stumps, stones larger than 1 inches in any

dimension, and other extraneous or toxic matter harmful to plant growth. 1. Obtain topsoil from local sources or areas with similar soil characteristics to that of project site. Obtain topsoil only from naturally well-drained sites where topsoil occurs in a depth

2. Composition: Topsoil shall contain from 1 to 20% organic matter as determined by the Organic Carbon, 6A, Chemical Analysis Method described in USDA Soil Survey Investigation Report No. 1. Maximum particle size, 3/4-inch, with maximum 3% retained on 1/4-inch screen.

Other components shall conform to the following limits: 6.5 to 7.5 Soluble Salts 600 ppm maximum 25-50% 10-30% 20-50%

of not less than 4 inches. Do not obtain from bogs or marshes.

3. Contractor shall submit representative soil report on imported topsoil proposed for use for approval. Report shall meet standards below. Contractor is responsible for whatever soil additives are recommended by the test. Compost will be in addition to other additives and added regardless of test results.

C. Soil Testing

1. Soil tests are required for this project (see above for requirements). Test shall be provided

a. Provide certified analysis at time of sample submitted (three samples imported topsoil). Amend soils per chemist's recommendations and as herein specified unless otherwise approved by Architect.

2. Test shall include, but not limited to recommendations on chemical distributions, organic contents, pH factors, and sieve analysis as necessary. Test #1T by Western

Laboratories (1-800-658-3858) is required. 3. Contractor is responsible for whatever soil additives are recommended by the soil testing

4. Contractor shall coordinate, obtain and pay for all soil tests. 5. If regenerative noxious weeds are present in the soil, remove all resultant growth

including roots throughout one-year period after acceptance of work, at no cost to Owner.

A. When pH does not comply with this specification, commercial grade aluminum sulfate shall be used to adjust soil pH.

2.3 SOIL AMENDMENTS

A. Compost: "Cascade Compost" from Cloverdale Nursery (208) 375-5262 and NuSoil Compost (208) 629-6912 or approved equal in equal amounts by volume.

B. Commercial Fertilizer: Fertilizer shall be complete, standard commercial brand fertilizer. It shall be free-flowing and packaged in new waterproof, non-overlaid bags clearly labeled as to weight, manufacturer, and content. Protect materials from deterioration during delivery and while stored at site. 1. Commercial fertilizer "A" for trees and shrubs during planting; slow release Agriform

Planting 5-gram tablets 20-10-5 type or equal. 2. Commercial fertilizer "B" for lawn areas, applied to bed prior to sodding, to be 16-16-17

applied at the rate of ten pounds per acre.

3. Commercial fertilizer "C" for lawn areas three to four weeks after planting sod. Organic Fertilizer Milorganite (6-0-2) type or equal.

C. Herbicide: Pre-emergent for topical application in planting beds. Oxiadiazon 2G brand or pre-approved equal. Use in accordance with manufacturer's recommendation on all planting

2.4 PLANT MATERIALS

A. Quality: Provide trees, shrubs, and other plants of size, genus, species, and variety shown for landscape work and complying with recommendations and requirements of ANSI Z60.1 "American Standard for Nursery Stock".

B. Deciduous Trees: Provide trees of height and caliper scheduled or shown with branching configuration recommended by ANSI Z60.1 for type and species required. Single stem trees except where special forms are shown or listed.

C. Deciduous Shrubs: Provide shrubs of the height shown or listed, not less than minimum number of canes required by ANSI Z60.1 for type and height of shrub.

D. Coniferous and Broadleafed Evergreens: Provide evergreens of sizes shown or listed. Dimensions indicate minimum spread for spreading and semi-spreading type evergreens and height for other types, such as globe, dwarf, cone, pyramidal, broad upright, and columnar. Provide normal quality evergreens with well balanced form complying with requirements for other size relationships to the primary dimension shown.

2.5 GRASS MATERIALS

A. Lawn sod: Provide strongly rooted sod, not less than 1 growing season old, and free of weeds and undesirable native grasses. Provide only sod capable of growth and development when planted (viable, not dormant).

1. Provide sod of uniform pad sizes with maximum 5% deviation in either length or width. Broken pads or pads with uneven ends will not be acceptable. Sod pads incapable of supporting their own weight when suspended vertically with a firm grasp on upper 10% of pad will be rejected.

B. Provide sod composed of: Rhizomatous Tall Fescue (RTF) from the The Turf Company, Meridian, ID (208) 888-3760 or approved equal.

2.6 MISCELLANEOUS LANDSCAPE MATERIALS

A. Anti-Desiccant: Emulsion type, film-forming agent designed to permit transpiration, but retard excessive loss of moisture from plants. Deliver in manufacturer's fully identified containers and mix in accordance with manufacturer's instructions.

B. Mulch: Mulch for planting beds shall be medium ground bark mulch, free of splinters,

consistent in appearance, and shall contain no toxic substance detrimental to plant life. C. Stakes and Guys: Provide stakes and deadmen of sound new hardwood, treated softwood, or redwood, free of knot holes and other defects. Provide wire ties and guys of 2-strand, twisted, pliable galvanized iron wire, not lighter than 12 ga. with zinc-coated turnbuckles. Provide not less than 2 inch diameter rubber or plastic hose, cut to required lengths and of uniform color, material, and size to protect tree trunks from damage by wires.

PART 3 - EXECUTION

3.1 PREPARATION - GENERAL

A. General Contractor shall be responsible for excavating planting areas to appropriate depths for placement of topsoil as specified herein.

B. Lay out individual tree and shrub locations and areas for multiple plantings. Stake locations and outline areas and secure Architect's acceptance before start of planting work. Make minor adjustments as may be required.

3.2 PREPARATION OF PLANTING SOIL

A. Before mixing, clean topsoil of roots, plants, sod, stones, clay lumps, and other extraneous

materials harmful or toxic to plant growth. B. Mix specified compost and fertilizers with topsoil at rates specified. Delay mixing fertilizer if planting will not follow placing of planting soil in a few days. Compost: Lawn Areas: 1/4 compost, : 3/4 topsoil.

Fertilizer: Per soil test and manufacture's recommendations. C. For shrub and lawn area, mix planting soil either prior to planting or apply on surface of topsoil and mix thoroughly before planting.

3.3 PREPARATION FOR PLANTING LAWNS

Shrub Areas: 1/3 compost, 2/3 topsoil.

A. After excavating and removing surface material to proper depth, loosen subgrade of lawn areas to a minimum depth of 4 inches. Remove stones measuring over 1-1/2 inches in any dimension. Remove sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.

1. Spread topsoil mix to minimum depth of 4 inches for sodded lawns as required to meet lines, grades, and elevations shown, after light rolling, addition of amendments, and natural settlement. Place approximately 1/2 of total amount of topsoil required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil. Add specified soil amendments as required and mix thoroughly into upper 4 inches of topsoil.

3.4 PREPARATION OF PLANTING BEDS

A. Loosen subgrade of planting areas to a minimum depth of 6 inches using a culti-mulcher or similar equipment. Remove stones measuring over 1 1/2 inches in any dimension. Remove stocks, stones, rubbish, and other extraneous matter.

B. Spread planting soil mixture to minimum 12 inch depth required to meet lines, grades, and elevations shown, after light rolling and natural settlement. Add 1 1/2 inches of specified compost over entire planting area and mix thoroughly into upper 6 inches of topsoil. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer, then place remainder of the planting soil. C. Apply Pre-Emergent per manufacturer's recommendation.

3.5 PLANTING TREES AND SHRUBS

A. Set balled and burlapped (B&B) stock on layer of compacted planting soil mixture, plumb and in center of pit or trench with top of ball at same elevation as adjacent finished landscape grades. Remove burlap from sides of balls; retain on bottoms. When set, place additional backfill around base and sides of ball, and work each layer to settle backfill and eliminate voids and air pockets. Place fertilizer tablets in excavated area per manufacture's written instructions. When excavation is approximately 2/3 full, water roughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill. Remove all ties from around base of trunk.

B. Set container grown stock, as specified, for balled burlapped stock, except cut cans on 2 sides with an approved can cutter and remove can; remove bottoms of wooden boxes after partial backfilling so as not to damage root balls.

C. Trees planted in turf area: Remove turf 3' dia around tree trunk. Dish top of backfill to allow for mulching. D. Mulch pits, and planted areas. Provide not less than following thickness of mulch, and work

into top of backfill and finish level with adjacent finish grades. Provide 3 inches thickness of mulch

E. If season and weather conditions dictate, apply anti-desiccant, using power spray, to provide an adequate film over trunks, branches, stems, twigs and foliage. F. Prune, thin out, and shape trees and shrubs in accordance with standard horticultural

practice. Prune trees to retain required height and spread. Unless otherwise directed by Architect, do not cut tree leaders, and remove only injured or dead branches from flowering trees, if any. Prune shrubs to retain natural character. G. Remove and replace excessively pruned or misformed stock resulting from improper pruning.

H. Guy and stake trees immediately after planting, as indicated. I. Apply approved herbicide to all shrub bed areas at manufacture specified rate. Re-apply as necessary for elimination of weeds.

3.6 SODDING NEW LAWNS

A. General: Install lawn sod in all areas designated on the drawings. B. Soil Preparation

1. Any sod lawn areas that may have become compacted prior to sodding must be scarified to a depth of eight (8) inches by approved means, then finish graded as hereinbefore

C. Lay sod within 24 hours from time of stripping. Do not plant dormant sod or if ground is

D. Sod Placement

1. Sod will be brought onto lawn areas by wheeled means with proper protection of sod beds. Sod layers shall be experienced, or if inexperienced, shall be constantly supervised by an experienced foreman. The Contractor shall insure that the base immediately ahead of sod layer is moist. Sod shall be laid tight with not gaps. Allowance

2. Lay to form a solid mass with tightly fitted joints. Butt ends and sides of strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work on boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces; remove excess to avoid smothering of adjacent grass.

shall be made for shrinkage. Lay sod with long edges perpendicular to primary slope.

3. Sod shall be rolled with a two hundred (200) pound roller after installation to insure proper contact between soil and sod. Final rolling must provide a uniform surface. After final rolling, the sod lawn shall be mowed and watered. Approval of sod lawns shall be based on uniform, healthy and vigorous growth with no dry or dead spots.

4. Add fertilizer "B" at the manufacturer's recommended application rate. . Water sod thoroughly with a fine spray immediately after planting.

F. Sodded Lawn Establishment 1. The Contractor shall be responsible for first mowing, subsequent mowings and fertilizing

of sod lawn areas until Final Acceptance of the project. 2. Mowing shall be done by an approved "reel" type mower. Mower blades shall be set at

two (2) inches high for all mowings. 3. Subsequent fertilizing shall occur three to four weeks after installation. Apply fertilizer as per the Manufacturer's recommended application rate. Verify all methods of application. Contractor shall notify the Architect in writing that the fertilizer applications have occurred

3.7 MAINTENANCE

and on what dates.

A. Begin landscape maintenance immediately after planting. Maintenance shall continue until Project Final Acceptance.

B. Maintain trees, shrubs, and other plants by pruning, cultivating, and weeding as required for healthy growth. Restore planting saucers. Tighten and repair stake and guy supports and reset trees and shrubs to proper grades or vertical position as required. Restore or replace damaged wrappings. Spray as required to keep trees and shrubs free of insects and disease. C. Maintain lawns by watering, fertilizing, weeding, mowing, trimming, and other operations such as tolling, regrading and replanting as required to establish a smooth, acceptable lawn, free of eroded or bare areas.

D. Maintain lawns for no less than period stated above, or longer as required to establish acceptable lawn.

3.8 CLEANUP AND PROTECTION

A. During landscape work, keep pavements clean and work area in an orderly condition. B. Protect landscape work and materials from damage due to landscape operations, operations by other contractors and trades, and trespassers. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged landscape work as directed.

3.9 INSPECTION AND ACCEPTANCE

A. When landscape work is completed, including maintenance, Architect will, upon request, make an inspection to determine acceptability. B. When inspected landscape work does not comply with requirements, replace rejected work

and continue specified maintenance until reinspected by Architect and found to be acceptable. Remove rejected plants and materials promptly from project site.

END OF SECTION

SECTION 32 84 00 - IRRIGATION (PERFORMANCE)

PART 1 - GENERAL

1.1 CONDITIONS AND REQUIREMENTS: A. General and Supplementary Conditions, and Division 1 General Requirements

1.2 SUMMARY A. Work included:

1. Provide and install a complete and operating automatic irrigation system for

all lawn and planting areas. 2. Connect to main water supply at existing site stubout as provided.

3. Sleeving under paved areas (by others) 4. Obtain and pay for all permits and fees for the work of this section.

5. Perform work on a design/construct basis, subject to the requirements of the Contract Documents, applicable codes, and good design practice. Winterization of system.

1.3 SUBMITTALS

A. Within 30 days after Contractor's receipt of Owner's Notice to Proceed, submit: 1. Manufacturer's printed product information and catalog cut sheets for all system components; five copies.

B. Shop Drawings: Submit shop drawings for underground irrigation system including plan layout and details illustrating location and type of head, type and size of valve, piping circuits, circuit GPM, pipe size, controls, and accessories. C. Record Drawings: At completion of this work, submit to the Contractor:

1. Record Drawings; reproducible and five prints. 2. Operations and Maintenance information (2 copies), including: a. Information including descriptive details, parts list, specifications, maintenance schedules and procedures for system components.

b. Operation, adjustment of system and components instructions.

c. Winterization procedures. d. Schedule indicating required open valve time to produce given precipitation amounts and seasonal adjustments.

e. Warranties and guarantees. f. Submit five copies.

1.4 GUARANTEE A. Guarantee in writing all materials, equipment and workmanship furnished to be free of all defects of workmanship and materials. Within one year after date of Substantial Completion repair or replace all defective parts or workmanship that

may be found at no additional cost to Owner. B. Fill and repair all depressions and replace all necessary lawn and planting which result from the settlement of irrigation trenches for one year after date of Substantial Completion.

C. Supply all manufacturer's printed guarantees.

1.5 QUALITY ASSURANCE A. Contractor shall be licensed in the State in which this work is being performed. B. Contractor shall have at least two years prior experience in projects of equal or larger scope. Provide minimum of three references and list of similar projects with owners' names, addresses, and phone numbers, when requested by

C. Contractor shall employ on site at all times a foreman who is thoroughly experienced and competent in all phases of the work of this Section.

1.6 SYSTEM DESCRIPTION

A. Design requirements: 1. Minimum water coverage: Planting areas - 85%, Lawn areas - 100%

2. Layout system to obtain optimum coverage using manufacturer's standard heads. Spray on walks, walls or paved areas is not acceptable. 3. Zoning shall be designed for optimum use of available pressure and efficient

distribution for types of plantings and shapes of planting areas. 4. Design pressures: Install pressure regulating equipment as necessary. 5. Provide/install approved fixed tee or coupling device for air blow winterization. Location shall be on main supply line downstream from main shut off valve.

6. Install approved backflow prevention device in conformance with local or

prevailing codes, and in approved site location. Provide for drainage without erosive damage.

1.7 EXTRA EQUIPMENT A. In addition to installed system, furnish owner with the following:

1. Valve operating key and marker key. 2. Wrench for each sprinkler head cover type.

3. Two (2) sprinkler head bodies of each size and type. 4. Two (2) nozzles for each size and type used. B. Store above items safely until Substantial Completion.

C. Deliver above items at Substantial Completion.

"polypipe" riser.

2.2 SPRINKLER HEADS

PART 2 - PRODUCTS

2.1 PIPE AND FITTINGS A. PVC 1120, ASTM D-1784, permanently marked with manufacturer's name, schedule rating, size, type. Solvent-weld type:

1. Pipe:

a. Pressure lines: Schedule 40 solvent weld. b. Lateral lines: Class 200 pvc.

c. Sleeving: Class 200 pvc 2. Fittings: Schedule 40 PVC, solvent-weld type. Install threaded joints where required at valves, risers, etc. 3. Risers: Lawn and shrub heads - flexible and damage-resistant plastic

4. Solvent: NSF approved solvent for Type I & II PVC. B. Polyethylene Pipe 1. Pipe: Class 100, 3/4" lateral line, for use on drip irrigation zone(s) where

drip tubing is not otherwise used. 2. Fittings: Schedule 80 PVC.

capacity to suit number of circuits as indicated.

of control unit; type AWG-UF, UL approved.

adjustment; same manufacturer as control unit.

3. Clamps: Stainless Steel. C. Drip Line: Netafim Techline Dripperline, with .6 GPH drippers at 18" spacing.

A. Description: Appropriate for application in throw, pressure and discharge. Each

type of head shall be of a single manufacturer. 1. Lawn heads: pop-up type.

B. Manufacturer: Rainbird, Hunter, Weathermatic Irrigation Company. 2.3 AUTOMATIC CONTROL SYSTEM A. General; Furnish low voltage system manufactured expressly for control of

Including switch for manual or automatic operation of each circuit.

B. Control Enclosure: Manufacturer's standard wall mount with locking cover, complying with NFPA 70. C. Circuit Control: each circuit variable from approximately 5 to 60 minutes.

automatic circuit valves of underground irrigation systems. Provide unit of

D. Timing Device: Adjustable 24-hour and 7 or 14 day clocks to operate any time of day and skip any day in a 7 or 14 day period. E. Wiring: Solid or stranded direct-burial type as recommended by manufacturer

2.4 VALVING

or valve grouping.

2. Size: 3/4 inch.

A. Manual valves: brass or bronze for direct burial, gate valves, 150 pound class, threaded connection with cross type handle designed to receive operating key. B. Automatic circuit valves: high impact plastic with corrosion-resistant internal parts. Low power solenoid control, normally closed, with manual flow

valve if not connected to potable water. 2. Drip Control Zone Kit: Hunter PCZ-101. C. Quick coupler valve: brass or bronze construction with hinged top. One per zone

1. Standard sprinkler valve shall be Rainbird PEB-PRS-B. Use scrubber

D. Manual drain valves: 1. Bronze construction, straight type, 150 pound class, threaded connections, with cross type operating handle designed to receive operating key. Calco, Champion 100, or approved equal.

E. Pressure Regulator: Netafim Model PRV075HF35, 3/4", one per zones. F. Flushing Valve: Netafim Model TLFV-1, two per zone (each end).

G. Filter: Netafim Model DF075-120, 3/4" filter; one per drip zone. H. Air Relief Valve: Netafim Model TLAVRV,

2.5 MISCELLANEOUS

A. Chemicals: primer and solvent glue as required by pipe manufacturer. B. Valve box - high impact plastic, green in color. C. Valve cover and frame - compatible with valve box with provision for locking. D. Drainage backfill - clean gravel or crushed stone, graded from 3" maximum to

PART 3 - EXECUTION

A. Install system to provide for adequate protection against freeze damage. B. Install system in accordance with approved Contractor design drawings. All deviations from the plans must be approved, and clearly recorded on record drawing.

C. Install system and components in strict accordance with manufacturer's

recommendations. D. Install quick coupler(s) on main supply line, approximately equal spacing, at valve box locations or intervals of approximately 200 feet, whichever is greater. Locate adjacent to paved surfaces, at valve boxes where practical.

3.2 SURFACE CONDITIONS

A. Examine the areas and conditions under which work will be performed. Notify Contractor of conditions detrimental to timely and proper completion of Section work. Do not proceed until unsatisfactory conditions are corrected. B. Locate all underground utilities and structures and notify Architect of any conflict with Section work. Protect structures and utilities. Repair or

replace said structures or utilities damaged by this work at no cost to the Owner.

3.3 SLEEVING A. Sleeving installed by others. Coordinate with other trades.

3.4 TRENCHING AND BACKFILLING A. Trenching and backfilling shall be per applicable ISPWC Section. B. Cut trenches straight and without abrupt grade changes to allow the following

1. Main Lines and Sleeving: 18 inches. 2. PVC Laterals: 12 inches.

C. Surround lines with 2 inches of clean rock-free material on all sides.

pressure required for each sprinkler circuit.

3.5 MISCELLANEOUS VALVES A. Install manual drain valves up stream. Install devise at mainline tap in accordance with manufacturer requirements for complete operation. Install backflow provision and connect to controller.

3.6 CIRCUIT VALVES

minimum cover:

A. Install in valve box, arranged for easy adjustment and removal. 1. Provide union on downstream side. 2. Adjust automatic control valves to provide flow rate of rated operating

3.7 PIPE INSTALLATION A. Lay PVC pipe in accordance with standard and acceptable practice. Thrust blocks to be used at points of intersection and change of direction in main line

pipe as per manufacturer's recommended specifications. Install manual drains.

C.Contractor shall size pipe according to schedule provided. Flow velocities shall

B. PVC pipe joints, solvent welded except as indicated. Cut pipe square, deburr, wipe from surface all saw chips, dust, dirt, moisture and any foreign matter which may contaminate the cemented joint. Apply cleaner/primer and solvent cement, make joints in accordance with manufacturer's recommendations. Use

not exceed 5 feet/second in all cases. Lateral lines shall be laid out and installed per zone to balance the pressure loss and provide minimum fluctuation in system operating pressures. Pipe Size Pipe Section Pipe Size Pipe Section 3/4" 0-9 GPM 1 1/2" 26-34 GPN

Teflon thread sealant (tape) at all threaded joints.

10-17 GPM

2 1/2" 51-80 GPM 1 1/4" 18-25 GPM D. Techline Drip Line: Place in shallow furrow at 1"-2" below finish topsoil grade, below layer of specified mulch. Lay in uniform grid pattern in groundcover/shrub areas (rows 18"-24" apart max). Coil 20 linear feet at each balled and burlapped tree around base and to allow

for tree removal if required. Staple drip line every 36" max. Flush all lines with full head

35-50 GPM

of water prior to installation of flush valves at end of circuit runs. E. Flush Valves: Install flush valve at end of each drip line run.

3.8 SPRINKLER HEADS A. Flush circuit lines with full head of water prior to head installation.

1. Install heads at level with mulch 2. Locate part-circle shrubbery heads to maintain a minimum distance of six inches (6") from walls and four inches (4") from other boundaries unless

otherwise indicated. Keep overspray to a minimum. 3.9 CONTROL WIRE INSTALLATION

A. Bury wires beside or below main line pipe in same trench. B. Bundle multiple wires together with tape at ten feet (10') maximum intervals. C. Provide 36 inch loop in wires at each valve where controls are connected and at 100' maximum intervals between.

waterproof. Scotch-Lock connectors, or approved.

3.10 AUTOMATIC CONTROLLER A. Install on site as approved. Verify location with Owner Representative. B. Install typewritten legend inside controller door.

D. Make all electrical joints (splices) in boxes only. Make electrical joints

occurs in 15 minutes.

A. Do not allow or cause any work of this Section to be covered up or enclosed until it has been inspected and tested. B. Pressure testing: 1. Make necessary provision for thoroughly bleeding the line of air and debris.

2. Before testing, cap all risers, and install all valves. 3. Fill all main supply lines with water. Pressurize to 100 psi. Close air supply and test for leakage. Test shall be approved if no greater than 5 psi loss

4. Fill all zone lines with water to static pressure. Hold for 15 minutes. Inspect for leakage. 5. Contractor shall provide all required testing equipment and personnel. Test

shall be performed in presence of Architect. Contractor shall make notice of test (48) hours in advance. 6. Provide required testing equipment and personnel. 7. Repair leaks, and retest until acceptance by the Architect.

C. Coverage inspection: upon completion of all systems, perform a coverage test

to determine if coverage of water afforded all areas is complete, adequate and

uniform. Change heads, nozzles, orifices and/or adjustment as directed to provide uniform coverage. D. Final inspection:

Review procedures with Owner Representative.

1. Clean, adjust, and balance all systems. Verify that: a. Remote control valves are properly balanced; b. Heads are properly adjusted for radius and arc of coverage; c. The installed system is workable, clean and efficient.

E. Winterization: Winterize system at the end of first season of system operation.

END OF SECTION



Section 6, Item G.

ring, Inc.

Engin

ailey

DRAWN BY:

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12-05-2022 PROJECT:

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City of Star

P.O. Box 130 Star, Idaho 83669 208-286-7247 Fax 208-286-7569

www.staridaho.org



Mayo Section 6, Item G.
Trevor A. Chauwick

Council:
Kevin Nielsen
Jennifer Salmonsen
Michael Keyes
David Hershey

February 15, 2021

Ada County Highway District Commissioners 3775 Adams Street Garden City, ID 83714

Dear Commissioners:

Regarding the Canvasback Subdivision located in Star, Idaho, and on behalf of myself and the City Council, the City of Star would like to address the issue of the proposed public street connection to N. Wing Road through development. At our January 19, 2021 public hearing, the Council unanimously approved the proposed preliminary plat, but had concerns with the proposed connection of the development to the existing N. Wing Road, an existing local road that provides access to the Star Acres Subdivision. Neighbors within the Star Acres Subdivision testified against the layout of the development with the direct connection to Wing Road. The Council believes that this connection is unnecessary, and requests that ACHD allow the developer to remove the connection entirely from the approved preliminary plat. Given the other proposed access points on N. Brandon Road, W. New Hope Road and the new southern access through the recently approved Sellwood Place Subdivision, interconnectivity to the immediate community is being provided. In addition, the reclassification of W. New Hope Road to a local roadway once the reconfiguration of W. Beacon Light Road is completed will mean that Canvasback will still have interconnectivity to Wing Road, only it will be through the newly classified New Hope segment.

Thank you for your consideration. Please let me know if you have any further questions.

Sincerely,

Trevor A. Chadwick, Mayor

City of Star

Shawn Nickel

From:

Trevor Chadwick < TChadwick@staridaho.org>

Sent:

Tuesday, September 28, 2021 2:18 PM

To:

Shawn Nickel

Subject:

FW: Ms, Kuck and Canvasback Subdivision

FYI

Trevor A. Chadwick Mayor, City of Star 208-869-0426 (Cell) 208-286-7247 (Office) 10769 W. State Street Star, Idaho 83669

"There can be no personal victory or triumph for those who serve here. There can be no individual defeat. No man or woman can rule here, or for any prolonged period impose his or her will upon others. **The only victor when we are wise** – <u>is Idaho</u>. **The only victim if we are unwise** – <u>is her People</u>." Grandpa Jack M Murphy, Lt. Governor, Idaho, 1967-1975

From: Bruce Wong bwong@achdidaho.org
Sent: Tuesday, September 28, 2021 2:05 PM
To: Trevor Chadwick <TChadwick@staridaho.org>

Cc: Mary May < Mmay@achdidaho.org>

Subject: Ms, Kuck and Canvasback Subdivision

Mr. Mayor I hope this finds you in great spirits and that you are feeling better each day. Sir our staff continues to receive inquiries from Ms. Kuck regarding last year's decision on the Canvasback Subdivision and her request that ACHD remove the public street connection to Wing Road. As you recall, the subdivision was approved last September 2020 with ACHD's requirement to retain the public road in question for connectivity. In February 2021 we received her request for reconsideration, well past stated reconsideration timelines (we also received your 15 Feb 2021 letter). Ms. Kuck's letter was forwarded to the Commission and our Staff did reply to your planning team and Ms. Kuck letting her know that her request for reconsideration has passed and that the Commission had seen her request.

Mr. Mayor, just to tie this up, our Staff had reviewed Ms. Kuck's February 2021 on the September 2020 application and has communicated to her that our Staff does not support closing a public road, for whatever her reason is, with regard to the Canvasback Subdivision. We will again attempt to close this with Ms. Kuck but I did not want you to be surprised if she reaches out to you and your outstanding staff.

Very Respectfully

BRUCE WONG
DIRECTOR, ADA COUNTY HIGHWAY DISTRICT



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

City of Star - Planning & Zoning Department

Shu 7. Muh

February 21, 2022 FROM:

MEETING DATE: February 21, 2023

FP-22-29, Final Plat, Sellwood Place Subdivision, Phase 1 FILE(S) #:

REQUEST

Applicant is seeking approval of a Final Plat for Sellwood Place Subdivision Phase 1, consisting of 40 residential lots and 12 common lots on 11.50 acres. The property is located at 2200 & 2359 N. Brandon Road in Star, Idaho, generally located on the east side of N. Brandon Road, south of W. New Hope Road. Ada County Parcel Number S0405244552, S0405314925 & S040534950.

APPLCIANT/REPRESENTATIVE:

OWNER:

Kent Brown Kent Brown Planning 3161 E. Springwood Drive Meridian, Idaho 83642

HDP Sellwood, LLC 708 Main Street Evanston, Illinois 60202

PROPERTY INFORMATION

Land Use Designation -Residential R-4

Phase 1

Acres -11.50 Residential Lots -40 Common Lots -12 Commercial Lots -0

HISTORY

Council tabled the Annexation and Zoning (AZ-20-20), Preliminary Plat January 5, 2021 (PP-20-25 and Development Agreement to February 2, 2021 to allow the Applicant an opportunity to review the location of the entrance with ACHD.

February 2, 2021

Council approved applications for Annexation and Zoning (AZ-20-20) and Preliminary Plat (PP-20-18) for Sellwood Place Subdivision. The preliminary plat was approved for 76 single family residential lots, 15 common area lots and 2 common driveway lots with 0 commercial lots on 21.35 acres. Zoning Designation given was residential (R-4).

GENERAL DISCUSSION

The Final Plat layout for Phase 1 generally complies with the approved Preliminary Plat.

<u>Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:</u>

The Preliminary Plat submitted contains 76 single family residential lots, and 15 common area lots and 2 common driveway lots for a total of 93 lots. The residential lots range in size from 6,300 square feet to 27,934 square feet with the average buildable lot area of 7,526 square feet. The applicant has indicated that the development will contain a total of 3.20 acres (15.00%) of open space with 2.14 acres (10.00%) of qualified open space. This meets the minimum requirement for usable open space in the current Unified Development Code, Section 8-4E-2. Streets are proposed to be public throughout the development. Proposed local streets measure 36 ft from back of curb to back of curb on the submitted preliminary plat with a 50-foot easement. This street width satisfies the requirements of the UDC.

The development will be accessed on the west N. Brandon Road. The development will also have a stub road located on the southeast edge of the property that will terminate at the property line with the possibility to extend in the future. It does appear that the development has an emergency access, also off N. Brandon Road on the south parcel.

The development has 1 cul-de-sac that measures approximately 150 feet long. This satisfies the requirements of Section 8-6B-2-B4.

The applicant is **NOT** requesting any setback waivers from current code.

This application was originally heard by Council on January 5, 2021. At the meeting, Council tabled the application and directed the applicant to review the location of the entrance to the subdivision on Brandon Road with ACHD for possible relocation, detached sidewalks along Brandon Road, irrigation and drainage issues, and an updated landscape plan. The applicant will provide Council with and updated landscape plan and will update the Council on the other issues at the upcoming hearing. The applicant has indicated that ACHD does not support moving the access to the south on Brandon Road. As approved by Council, the preliminary plat contains 76 residential lots, 15 common area lots and 2 common driveway lots for a total of 93 lots. Residential lots range from 6,228 square feet to 14,760 square feet (existing home lot).

<u>Total open space approved includes 3.30 acres (15.5%) with a total useable open space area of 2.14 acres (10%).</u>

Staff analysis of Final Plat Submittal:

Lot Layout – The gross density of Phase 1 is 3.48 du/acre, with lots ranging in size from 6,400 square feet to 14,972 square feet.

Common/Open Space and Amenities – To Be Completed in Phase 1:

- Neighborhood Park
- Pathway

<u>Mailbox Clusters</u> – The Applicant has not provided approval from the Star Postmaster, Mel Norton on the location of the mailbox clusters for this development. <u>This approval will be required prior to signing the final plat.</u>

Streetlights –A Streetlight design has not been provided with the final plat application and a lighting plan is also not available. The Applicant shall work with City Staff on the design and location of streetlights prior to installation. **A cut sheet/design and lighting plan will be required before signing the final plat.**

<u>Street Names</u> – Letter or approval of street names from Ada County was included in the application packet and are reflected accordingly on the submitted final plat.

<u>Subdivision Name</u> – Letter of approval from Ada County Development Services was included in the application packet and is reflected on the plat.

<u>Sidewalks</u> – Sidewalks are proposed to be 5 foot wide and attached throughout the development.

<u>Landscaping</u> - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements.**

Shared Driveway – The development appears to have 2 shared driveways on the northern portion of the development. Each drive appears to service 2 dwellings and are approximately 120 feet in length and 28 feet in width.

ADDITIONAL ITEMS TO BE RESOLVED PRIOR TO FINAL PLAT SIGNATURE

- 1. The applicant shall provide solid fencing along the entire southern boundary of the development. In addition, the applicant shall work with the City Engineer to determine if additional drainage (French drain) is necessary to alleviate potential erosion along the southern property boundary. This shall be a condition prior to signature of final plat.
- 2. The applicant shall work with the Army Corp of Engineers to determine if wetland area exists within the development and if mitigation is necessary. Documentation from the Corp shall be provided to staff prior to approval of construction drawings. This shall be a condition prior to signature of final plat.

PUBLIC NOTIFICATIONS

Notifications of this application were sent to agencies having jurisdiction on January 10, 2023.

None

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

A. The Plat is in conformance with the Comprehensive Plan.

The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.

- B. Public services are available or can be made available and are adequate to accommodate the proposed development.
- Staff finds that all public services are available and able to accommodate this development.
- C. There is public financial capability of supporting services for the proposed development. *Staff knows of no financial hardship that would prevent services from being provided.*
- D. The development will not be detrimental to the public health, safety or general welfare; and, Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.
- E. The development preserves significant natural, scenic or historic features. Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.

CONDITIONS OF APPROVAL

- 1. Per the Development Agreement and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the City \$1,726.20 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$113,191.00 The City will allocate funds to roadway improvements in the vicinity of the project. Phase 1 has 40 residential lots for a fee of \$69,048 (40 x \$1,726.20).
- **2.** The approved Preliminary Plat for Sellwood Place Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- **3.** The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
- 3. Lots 8, and 10-13, Block 6, as they appear on the approved preliminary plat, shall be limited to one-story homes. This shall be a condition within the Development Agreement.
- 4. Prior to signature of the final plat for Phase 1, the applicant shall provide solid fencing along the entire southern boundary of the development. In addition, the applicant shall work with the City Engineer to determine if additional drainage (French drain) is necessary to alleviate potential erosion along the southern property boundary. This shall be a condition within the Development Agreement.
- 5. Prior to signature of the final plat for Phase 1, the applicant shall work with the Army Corp of Engineers to determine if wetland area exists within the development and if mitigation is necessary. Documentation from the Corp shall be provided to staff prior to approval of construction drawings. This shall be a condition within the Development Agreement.
- 6. The applicant shall manage fugitive lighting directed towards existing land uses to the east and south of the development.
- 7. The applicant shall provide detached sidewalk along the entire frontage of the subdivision on Brandon Road.
- 8. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.
- 9. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
- 10. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 11. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)

- 12. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
- 13. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
- 14. The subsequent Final Plats shall comply with and be in accordance with the current City of Star Code, with the exception of any waivers granted by Council.
- 15. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
- 16. A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service.
- 17. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
- 18. A separate sign application is required for any subdivision sign.
- 19. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior** to signature of the final plat.
- 20. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.
- 21. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 22. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
- 23. A copy of signed irrigation agreements shall be submitted to the City **prior to signature of the final plat.**
- 24. All common areas shall be maintained by the Homeowners Association.
- 25. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). Sign shall be approved by the City prior to start of construction.
- 26. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
- 27. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
- 28. Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic and/or copper telecommunication cables.
- 29. Any additional Condition of Approval as required by Staff and City Council.

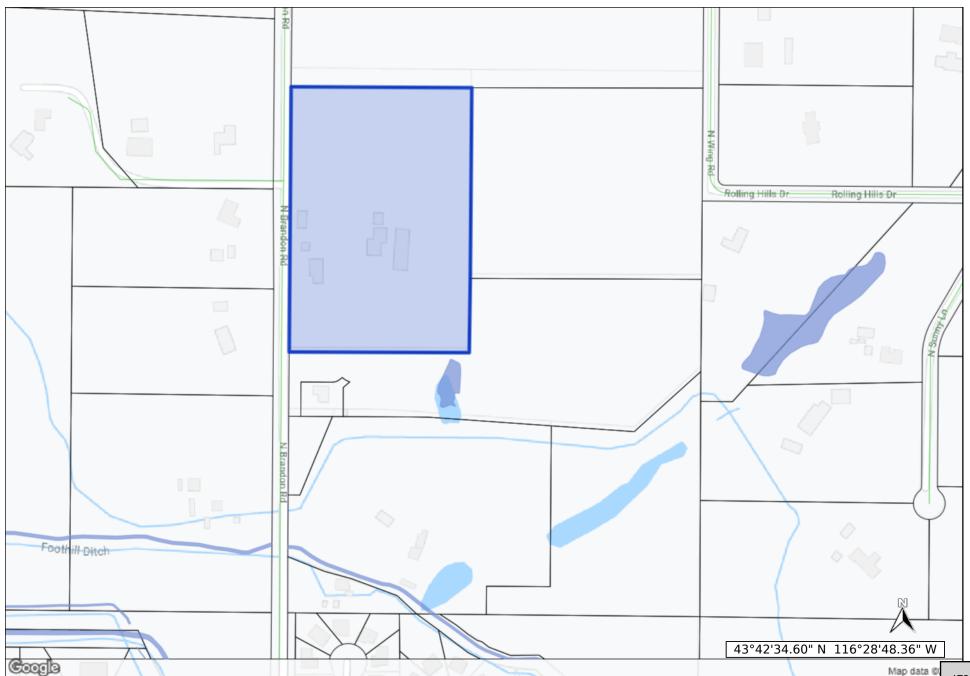
	COUNCIL DECISION
The Star City Council	File # FP-22-29 Sellwood Place Subdivision, Final Plat,
Phase 1, on	, 2023.



SELLWOOD PLACE NO 1

VICINITY MAP

Section 6, Item H.





P: 208-286-7247



Final Plat Application

FINAL PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: I Date Application Received: I Processed by: City:	Fee Paid:
Applicant Information:	
PRIMARY CONTACT IS: Applicant Owner	r Representative
Applicant Name:	
Applicant Address: Email:	
Owner Name: HDP SELLWOOD LLC Owner Address: Email:	
Phone: Email:	
Contact: <u>KENT BROWN</u> Firm Name: _ Address: <u>3161 E SPRINGWOOD DR MERIDIAN ID</u> Phone: <u>208-871-6842</u> Email: <u>KENTLKB@GMAIL.</u> Property Information:	Zip: <u>83642</u>
Subdivision Name: <u>SELLWOOD PLACE SUBD NO 1</u>	
Parcel Number(s):S0405244552 & S0405314925 & S040	05314950
Approved Zoning: R-4 Units pe	r acre:3.47
Total acreage of phase: 11.50 Total nu	mber of lots: 52
Residential:40 Commercial: _0	Industrial: 0
Common lots: 12 Total acreage of common lots:	1.91 Percentage: 6
Percent of common space to be used for drainage: 15.9	Acres:12
Special Flood Hazard Area: total acreage 0	
Changes from approved preliminary plat pertaining to this Preliminary Plat	s phase: Final Plat
Number of Residential Lots: 40	40
Number of Common Lots: 12	
Number of Commercial Lots: 0Roads:	0

173

Amenities	S: COMMUNITY PARK	-
Flood Zo	ne Data: (This Info Must Be Filled Out Completely Prior to Acceptance):	
Subdivis	sion Name: Sellwood Place Subdivision no 1 Phase: One	
	Flood Hazard Area: total acreage0 number of homes0	
₩ ti	A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn one plat in situations where two or more flood zones intersect over the property or properties being surveyed.	
F	EMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: IRM effective date(s): mm/dd/year	_
	Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.:	
c. F	Flood Zones are subject to change by FEMA and all land within a floodplain is egulated by Chapter 10 of the Star City Code.	 -
	on Requirements: (Applications are required to contain one copy of the following unless otherwise noted.)	_
Applicant (√)	Description	Staff (√)
KF	Completed and signed copy of Final Plat Application	
	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following:	
	Gross density of the phase of the Final Plat submitted	
	 Lot range and average lot size of phase Description of approved open space being provided in the submitted phase including 	
	percentage of overall open space, number and type of approved amenities	
KB	List any specific approved building setbacks previously approved by Council.	
	Electronic copy of legal description of the property (word.doc and pdf version with engineer's	
	seal and closure sheet) Electronic copy of current recorded warranty deed for the subject property	
KB	If the signature on this application is not the owner of the property, an original notarized	
	statement (affidavit of legal interest) from the owner stating the applicant and/or	
	representative is authorized to submit this application.	
KB	Electronic copy of subdivision name approval from Ada County Surveyor's office.	
KD	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada	
	County Street Naming Electronic copy of vicinity map showing the location of the subject property	
	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	
	One (1) 11" X 17" paper copy of the Final Plat	
	Electronic copy of the Final landscape plan**	

KB	One (1) 11" X 17" copy of the Final landscape plan	ection 6, Ite
KB	Electronic copy of site grading & drainage plans**	
KB	Electronic copy of originally approved Preliminary Plat**	
KB	Electronic copy of a Plat with all phases marked with changes, if applicable**	
	Electronic copy of final engineering construction drawings, stamped and signed by a	
KB	registered engineer**	
	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas	
	within subdivisions**	
KB	Electronic copy of streetlight design and location information	
N/A	Special Flood Information – Must be included on Preliminary/Final Plat and Application form.	
N/A	Electronic copy of all easement agreements submitted to the irrigation companies	
KB	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	
	One (1) copy of Electronic versions of submitted applications, including signed Final Plat	
	Application, legal description, recorded warranty deed, vicinity map, final plat, landscape	
	plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases	
	marked, engineering construction drawings, storm drainage calculations, streetlight design	
	and location, and signed irrigation agreements, CC&R's shall be submitted in original pdf	
	format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a	
КВ	thumb drive only (no discs) with the files named with project name and plan type.	
	Upon Recording of Final Plat, the applicant shall submit the following to the Planning	g
	Department prior to building permit issuance:	
	One (1) 11" X 17" and (1) 18" X 24" recorded copy of Final Plat Floatening and final appropriate description described in the propriate of the plant of the	
	Electronic copy of final, approved construction drawings	
	Electronic copy of as-built irrigation plans Electronic copy of as-and of CC® P's	
	Electronic copy of recorded CC&R's Proof of construction Circuits to the lection of contract to development (as	
	Proof of required Construction Sign installation at entrance to development (as and distance in Draliminary Plat approval). Platture of installed sign.	
	conditioned in Preliminary Plat approval) – Picture of installed sign	
	 Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans 	
	No Scanned PDF's please.	
	**NOTE: No building permits will be issued until property is annexed into the Star Sewer &	
	Water District and all sewer hookup fees are paid.	
	Trace. District and an obtton monthly room and pards	

FEE REQUIREMENT:

Applicant/Representative Signature

12-13-2022 Date

^{**} I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.

KENT BROWN PLANNING SERVICES

January 19, 2023

Star City Council PO Box 130 Star, ID 83669

RE: Final Plat for Sellwood Place Subdivision No 1

Dear Mayor and Council:

On behalf of Greendale Grove Properties LLC, please accept this request for Final Plat approval. The lot count for Canopi Estates is; 15 single-family residential and 3 common lots. This subdivision is located at 10606 New Hope Road.

- Sellwood Place Subdivision No 1 is in compliance with the preliminary plat (AZ20-20;DA 20-25 &PP20-18) and meets all requirements of conditions.
- Sellwood Place Subdivision No 1 Final Plat is in conformance with:
 - 1. The approved preliminary plat layout and uses
 - 2. Acceptable engineering, architectural and surveying practices and local standards.

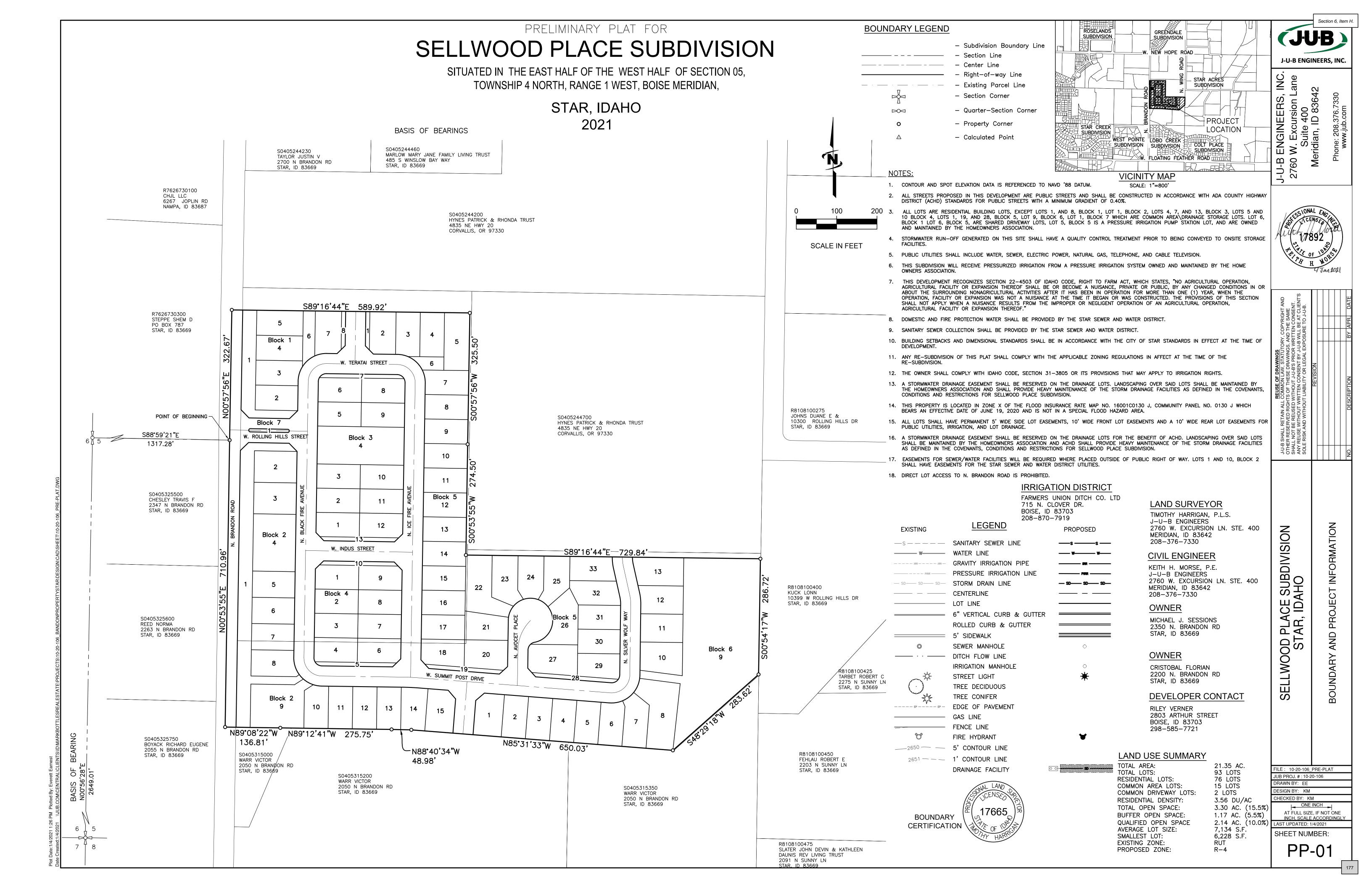
Evidence of Substantial compliance for the Sellwood Place Subdivision:No 1

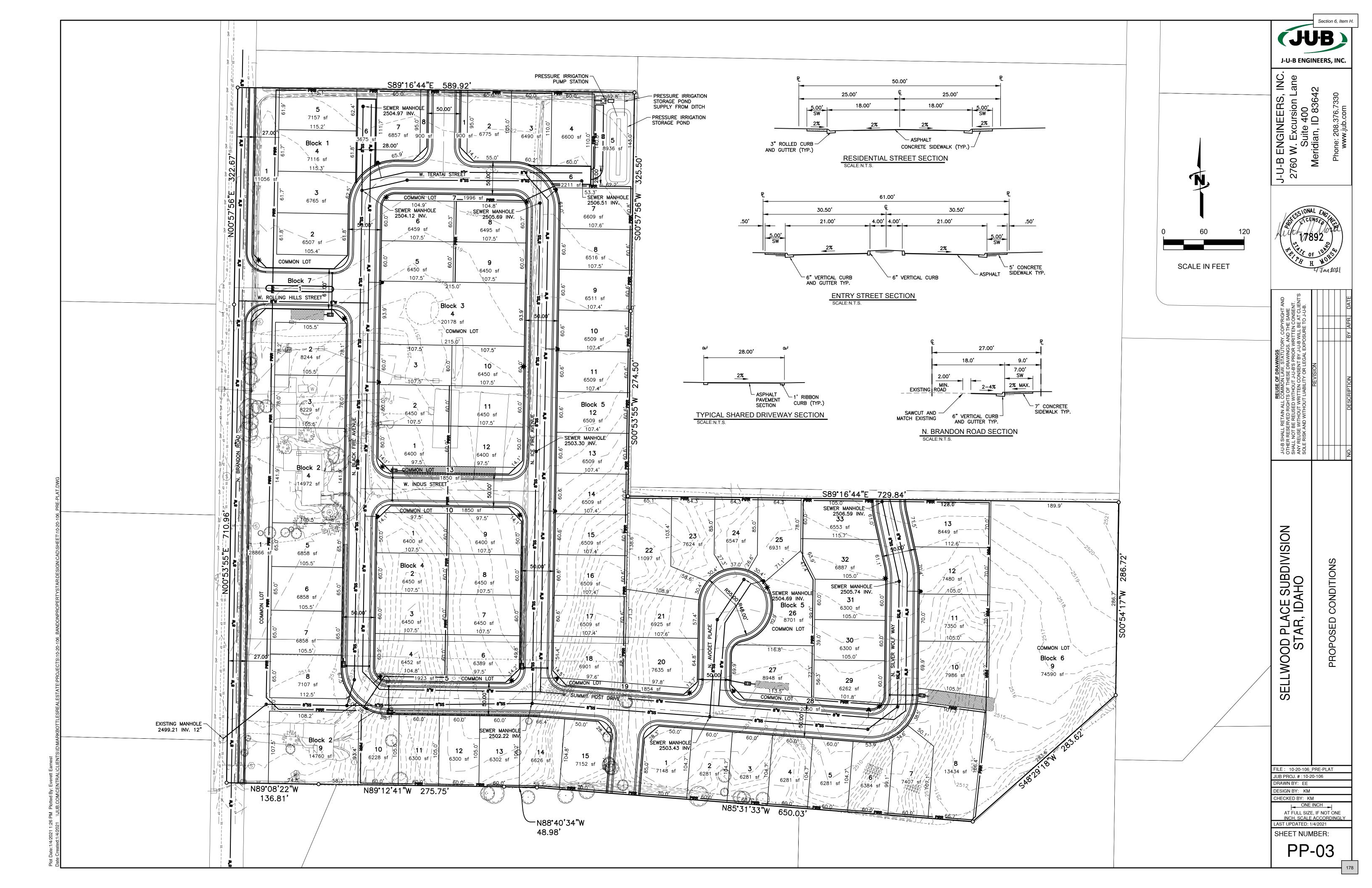
APPROVED PRELIMINARY SUBDIVISION	PHASE ONE
Total Residential lots -76	Total Residential lots -40
Range of residential lots – 6300- 27,934	Range of residential lots – 6400- 14,972
OPEN SPACE	
Qualified open space – 2.14.acres (10%)	Qualified open space – .46 acres (6)
Gross Density- 3 units per acre	Gross Density -3.98-units per acre
AMENITIES: Neighborhood park, playground	AMENITIES: Neighborhood Park
picnic shelter, pathways	

Thank you for your consideration, if you have any question please call me.

Sincerely,

Kent Brown, Planner

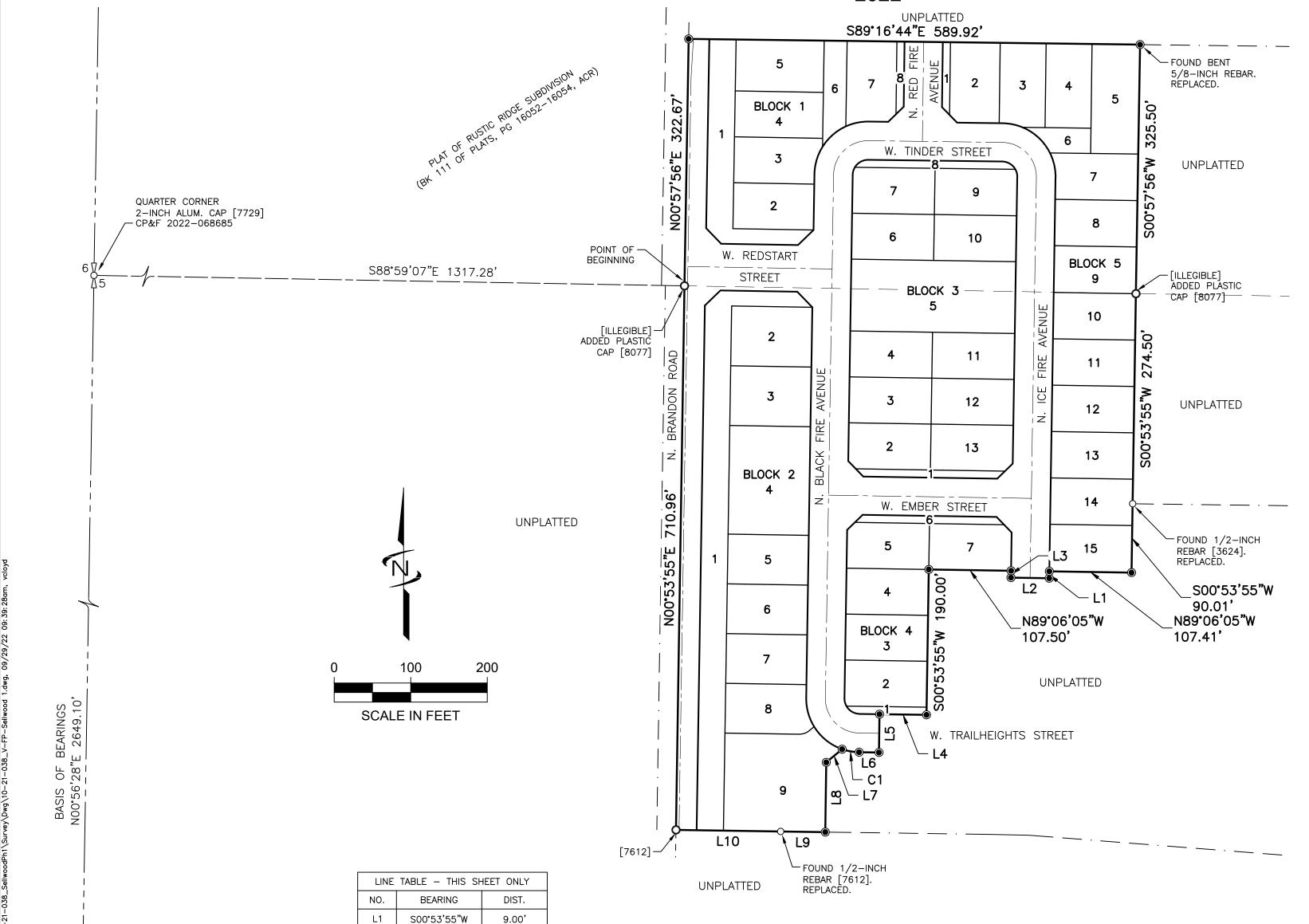




SELLWOOD PLACE SUBDIVISION NO. 1

SITUATE IN THE EAST HALF OF THE WEST HALF OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN CITY OF STAR, COUNTY OF ADA, STATE OF IDAHO

2022



N89°06'05"W

N00°53'55"E

N89°12'41"W

S00°47'19"W

N89°12'41"W

S50°15'10"W

S00°47'19"W

N89°12'41"W

N89°08'22"W

POINT OF COMMENCEMENT

SECTION CORNER

50.00'

9.00'

61.46

50.00'

26.00'

26.95'

91.11

58.32

136.81'

LEGEND

- SUBDIVISION BOUNDARY LINE

LOT LINE

- RIGHT-OF-WAY LINE

- CENTER LINE

- ADJACENT PROPERTY LINE

—··—··- — MATCH LINE

----- **–** TIE LINE

----- - UTILITY EASEMENT LINE --- -- -- EX. ACHD SIDEWALK EASEMENT LINE

- ACHD STORM DRAIN EASEMENT

----- - EMERGENCY ACCESS EASEMENT LINE

SECTION CORNER

- QUARTER SECTION CORNER

- SET 1/2-INCH × 24-INCH REBAR WITH PLASTIC CAP MARKED "JUB PLS 8077"

- SET 5/8-INCH × 24-INCH REBAR WITH PLASTIC CAP MARKED "JUB PLS 8077"

- FOUND 1/2-INCH REBAR AS NOTED

- FOUND 5/8-INCH REBAR AS NOTED

- DIMENSION POINT - NOT SET OR FOUND

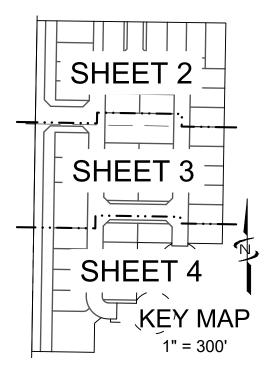
- CURVE COURSE NUMBER (TYPICAL)

LINE COURSE NUMBER (TYPICAL)

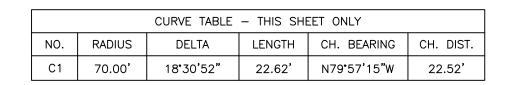
LOT NUMBER (TYPICAL)

- PLS NUMBER FOUND ON MONUMENT

- ADA COUNTY RECORDS



SEE SHEET 5 FOR NOTES, EASEMENT NOTES, REFERENCES, AND SURVEYOR'S NARRATIVE



SEE SHEET 5 FOR NOTES, EASEMENT NOTES, REFERENCES, AND SURVEYOR'S NARRATIVE

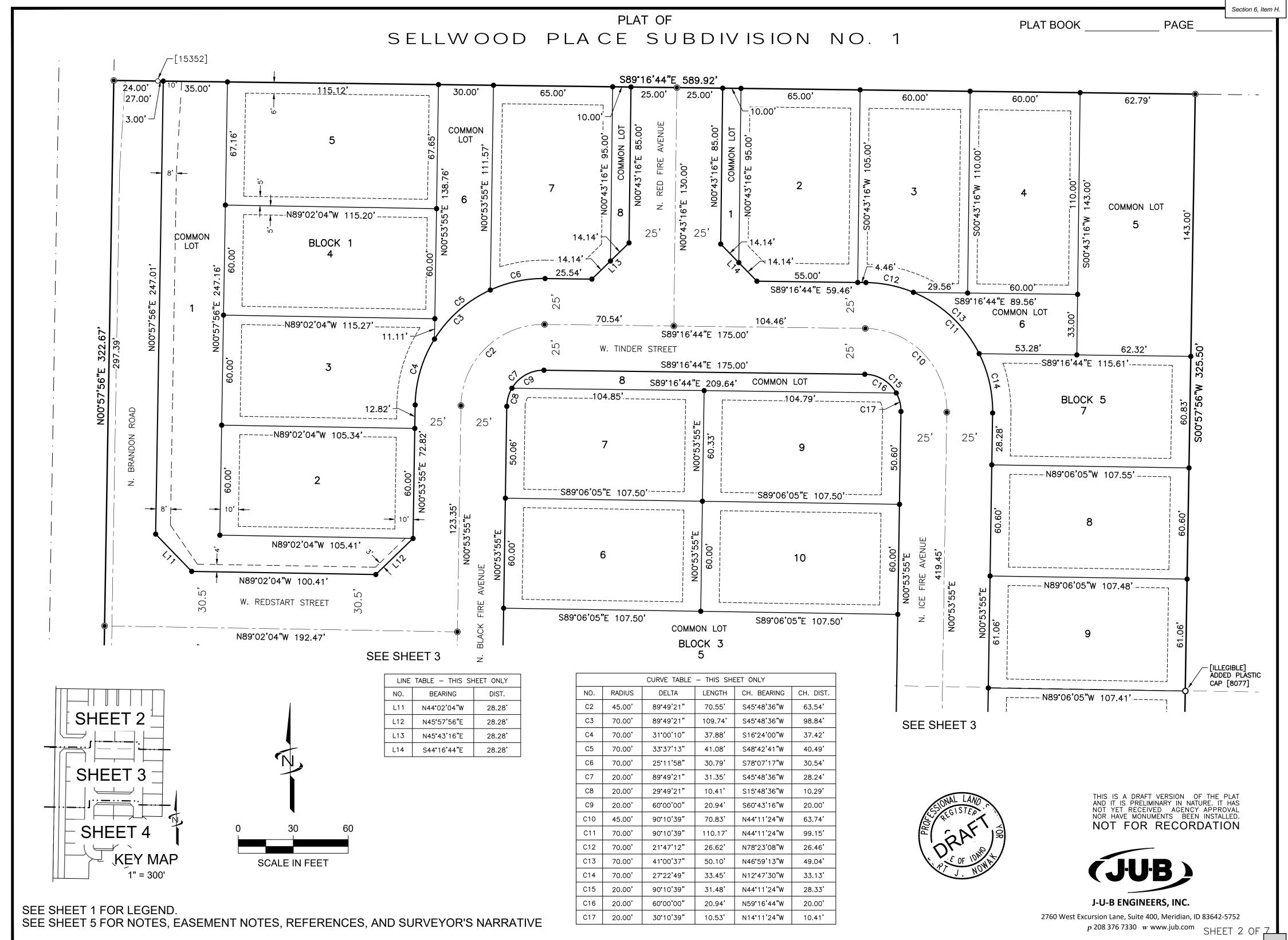
THIS IS A DRAFT VERSION OF THE PLAT AND IT IS PRELIMINARY IN NATURE. IT HAS NOT YET RECEIVED AGENCY APPROVAL NOR HAVE MONUMENTS BEEN INSTALLED NOT FOR RECORDATION

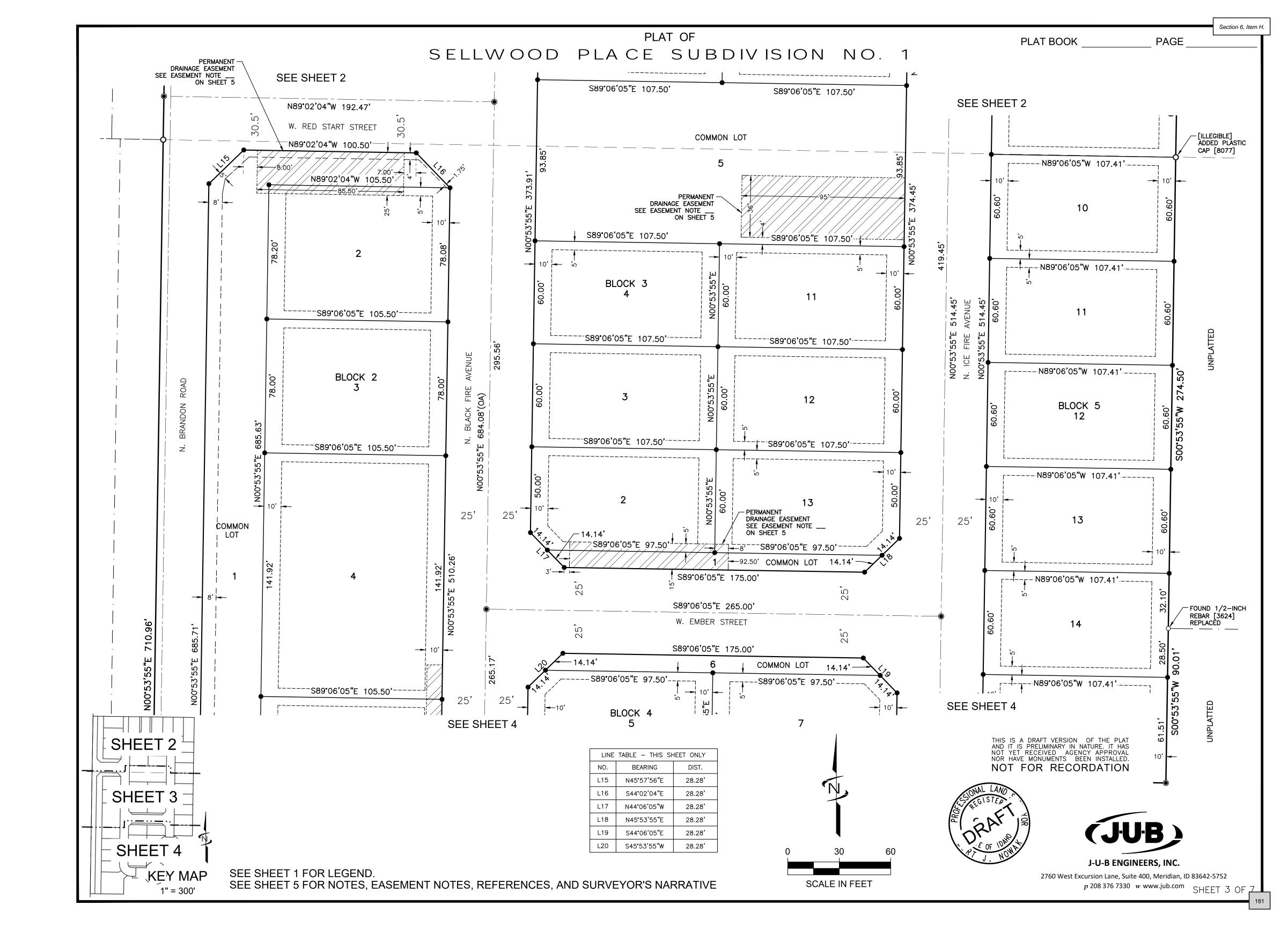


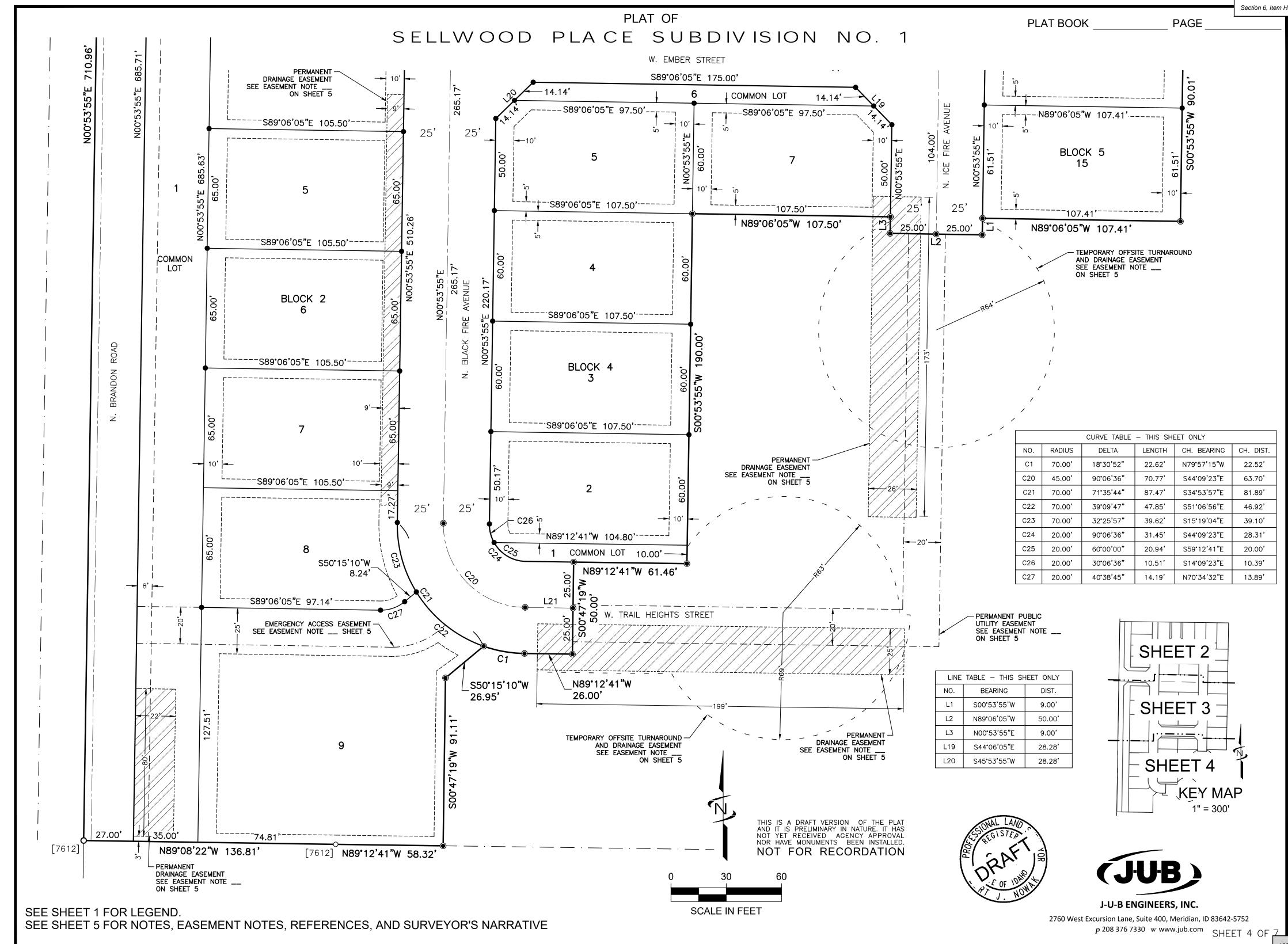


J-U-B ENGINEERS, INC.

2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5752







SELLWOOD PLACE SUBDIVISION NO. 1

NOTES

- 1. MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF STAR APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR AS SPECIFICALLY APPROVED AND/OR REQUIRED, OR AS SHOWN ON THIS PLAT.
- 2. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
- 3. THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES, "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
- 4. LOTS 1, 6, AND 8 OF BLOCK 1, LOT 1 OF BLOCK 2, LOTS 1, 5, AND 8 OF BLOCK 3, LOTS 1 AND 6 OF BLOCK 4, LOTS 1, 5, AND 6 OF BLOCK 5, AND LOT 1 OF BLOCK 6 ARE COMMON LOTS WHICH SHALL BE OWNED AND MAINTAINED BY THE SELLWOOD SUBDIVISION HOMEOWNER'S ASSOCIATION.
- 5. DIRECT LOT ACCESS TO N. BRANDON ROAD IS PROHIBITED.
- 6. THIS SUBDIVISION IS SUBJECT TO A LICENSE AGREEMENT WITH ADA COUNTY HIGHWAY DISTRICT RECORDED AS INSTRUMENT NO. 20__-__, OFFICIAL RECORDS OF ADA COUNTY.

REFERENCE DOCUMENTS

SUBDIVISIONS: RUSTIC RIDGE SUBDIVISION (BK 111 OF PLATS, PGS 16052-16054, ACR) RECORDS OF SURVEY: NOS. 11639, 9393, 2415, ACR DEEDS: 2021-127305, 2021-127306, ORAC EASEMENTS:

EASEMENT NOTES

- 1. ALL UTILITY EASEMENTS SHOWN OR DESIGNATED HEREON ARE NON-EXCLUSIVE, PERPETUAL, SHALL RUN WITH THE LAND, ARE APPURTENANT TO THE LOTS SHOWN HEREON, AND ARE HEREBY RESERVED FOR THE INSTALLATION, MAINTENANCE, OPERATION, AND USE OF PUBLIC & PRIVATE UTILITIES, PRESSURIZED IRRIGATION, SEWER SERVICE, CABLE TELEVISION/DATA; APPURTENANCES THERETO; AND LOT DRAINAGE.
- 2. LOTS 1, 6, AND 8 OF BLOCK 1, LOT 1 OF BLOCK 2, LOTS 1, 5, AND 8 OF BLOCK 3, LOTS 1 AND 6 OF BLOCK 4, LOTS 1, 5, AND 6 OF BLOCK 5, AND LOT 1 OF BLOCK 6 ARE HEREBY DESIGNATED AS BEING SUBJECT TO A BLANKET UTILITY EASEMENT OVER SAID LOTS.
- 3. NO UTILITY EASEMENT SHOWN OR DESIGNATED HEREON SHALL PRECLUDE THE CONSTRUCTION AND MAINTENANCE OF HARD-SURFACED DRIVEWAYS, LANDSCAPING, PARKING, SIDE AND REAR PROPERTY LINE FENCES, OR OTHER SUCH NON-PERMANENT IMPROVEMENTS.
- 4. ALL EASEMENTS ARE PARALLEL WITH THE LINES, OR CONCENTRIC WITH THE CURVES THAT THEY ARE DIMENSIONED FROM UNLESS OTHERWISE NOTED.
- 5. PORTIONS OF LOTS 1, 5, 6, 7 AND 8 OF BLOCK 2, AND ALL OF LOT 1 OF BLOCK 3 ARE SERVIENT TO AND CONTAIN THE ACHD STORM WATER DRAINAGE SYSTEM. THESE LOTS ARE ENCUMBERED BY THAT CERTAIN FIRST AMENDED MASTER PERPETUAL STORM WATER DRAINAGE EASEMENT RECORDED ON NOVEMBER 10, 2015 AS INSTRUMENT NO. 2015—103256, OFFICIAL RECORDS OF ADA COUNTY, AND INCORPORATED HEREIN BY THIS REFERENCE AS IF SET FORTH IN FULL (THE "MASTER EASEMENT"). THE MASTER EASEMENT AND THE STORM WATER DRAINAGE SYSTEM ARE DEDICATED TO ACHD PURSUANT TO SECTION 40—2302 IDAHO CODE. THE MASTER EASEMENT IS FOR THE OPERATION AND MAINTENANCE OF THE STORM WATER DRAINAGE SYSTEM.
- 6. ALL FRONT AND REAR LOT LINES HAVE A 10-FOOT WIDE PUBLIC UTILITY, DRAINAGE, AND IRRIGATION EASEMENT. ALL SIDE LOT LINES HAVE A 5-FOOT WIDE PUBLIC UTILITY, DRAINAGE, AND IRRIGATION EASEMENT UNLESS OTHERWISE SHOWN OR NOTED.
- 7. SEE INSTRUMENT NO. 20____, OFFICIAL RECORDS OF ADA COUNTY FOR EXISTING PERMANENT ACHD EASEMENT.

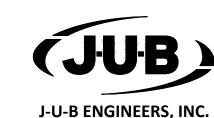
SURVEYOR'S NARRATIVE

- 1. THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE THE LAND SHOWN HEREON IN ACCORDANCE WITH IDAHO CODE RELATING TO PLATS AND SURVEYS.
- 2. THE BOUNDARY LINES SHOWN HERE WERE ESTABLISHED BY HOLDING THE MONUMENTS FOUND REPRESENTING THE GOVERNMENT CORNERS FOR THE ALIQUOT LINES, AND BY HOLDING MONUMENTS FOUND REPRESENTING BOUNDARY CORNERS AS SHOWN ON RECORD OF SURVEY NOS. 11639, 9393, AND 2415, ACR.

THIS IS A DRAFT VERSION OF THE PLAT AND IT IS PRELIMINARY IN NATURE. IT HAS NOT YET RECEIVED AGENCY APPROVAL NOR HAVE MONUMENTS BEEN INSTALLED.

NOT FOR RECORDATION





CERTIFICATE OF OWNERS

KNOW ALL MEN BY THESE PRESENTS: THAT **PROVIDENCE PROPERTIES, LLC, AN IDAHO LIMITED LIABILITY COMPANY**, DOES HEREBY CERTIFY THAT IT IS THE OWNER OF THAT REAL PROPERTY TO BE KNOWN AS **SELLWOOD PLACE SUBDIVISION NO. 1**, AND THAT IT INTENDS TO INCLUDE SAID REAL PROPERTY, AS DESCRIBED BELOW, IN THIS PLAT:

A TRACT OF LAND SITUATE IN THE EAST HALF OF THE WEST HALF OF SECTION 5, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, COUNTY OF ADA, STATE OF IDAHO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 5; THENCE FROM SAID POINT OF COMMENCEMENT, NORTH 00°56'28" EAST, COINCIDENT WITH THE WEST LINE OF SAID SECTION 5, A DISTANCE OF 2,649.01 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 5; THENCE LEAVING SAID WEST LINE, SOUTH 88°59'21" EAST, COINCIDENT WITH THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 1,317.28 FEET TO THE CENTER WEST SIXTEENTH CORNER OF SAID SECTION 5 SAID CORNER BEING THE POINT OF BEGINNING OF THIS DESCRIPTION;

THENCE FROM SAID **POINT OF BEGINNING**, LEAVING SAID NORTH LINE, NORTH 00°57'56" EAST, COINCIDENT WITH THE WEST LINE OF THE EAST HALF OF THE WEST HALF OF SAID SECTION 5, A DISTANCE OF 322.67 FEET TO THE NORTHWESTERLY CORNER OF THE TRACT OF LAND DESCRIBED IN THE QUITCLAIM DEED RECORDED AS INSTRUMENT NO. 2016-031433, OFFICIAL RECORDS OF ADA COUNTY; THENCE LEAVING SAID WEST LINE, COINCIDENT WITH THE RESPECTIVE NORTHERLY AND EASTERLY LINES OF SAID TRACT, THE FOLLOWING THREE (3) CONSECUTIVE COURSES AND DISTANCES:

- 1. SOUTH 89°16'44" EAST, A DISTANCE OF 589.92 FEET TO THE NORTHEASTERLY CORNER THEREOF
- 2. SOUTH 00°57'56" WEST, A DISTANCE OF 325.50 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 5, AND
- 3. LEAVING SAID NORTH LINE, SOUTH 00°53'55" WEST, A DISTANCE OF 274.50 FEET TO A POINT ON THE NORTHERLY LINE OF THE TRACT OF LAND DESCRIBED IN THE QUITCLAIM DEED RECORDED AS INSTRUMENT NO. 9382150, OFFICIAL RECORDS OF ADA COUNTY;

THENCE LEAVING SAID NORTHERLY LINE, THE FOLLOWING THIRTEEN (13) CONSECUTIVE COURSES AND DISTANCES:

- 1. CONTINUING SOUTH 00°53'55" WEST, A DISTANCE OF 90.01 FEET,
- 2. NORTH 89°06'05" WEST, A DISTANCE OF 107.41 FEET,
- 3. SOUTH 00°53'55" WEST, A DISTANCE OF 9.00 FEET,
- 4. NORTH 89°06'05" WEST, A DISTANCE OF 50.00 FEET,
- 5. NORTH 00°53'55" EAST, A DISTANCE OF 9.00 FEET,
- 6. NORTH 89°06'05" WEST, A DISTANCE OF 107.50 FEET
- 7. SOUTH 00°53'55" WEST, A DISTANCE OF 190.00 FEET,
- 8. NORTH 89°12'41" WEST, A DISTANCE OF 61.46 FEET,
- 9. SOUTH 00°47'19" WEST, A DISTANCE OF 50.00 FEET,
- 10. NORTH 89°12'41" WEST, A DISTANCE OF 26.00 FEET
 11. ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT, CONCAVE NORTHERLY, HAVING A RADIUS OF 70.00 FEET, THROUGH A CENTRAL ANGLE OF 18°30'52", AN ARC LENGTH OF 22.62 FEET, AND A CHORD BEARING NORTH 79°57'15" WEST, A DISTANCE OF 22.52 FEET,
- 12. SOUTH 50°15'10" WEST, A DISTANCE OF 26.95 FEET, AND
- 13. SOUTH 00°47'19" WEST, A DISTANCE OF 91.11 FEET TO A POINT ON THE AGREED BOUNDARY LINE DESCRIBED IN THE BOUNDARY LINE AGREEMENT RECORDED AS INSTRUMENT NO. 113024490, OFFICIAL RECORDS OF ADA COUNTY;

THENCE COINCIDENT WITH SAID AGREED BOUNDARY LINE, THE FOLLOWING TWO (2) CONSECUTIVE COURSES AND DISTANCES:

- 1. NORTH 89°12'41" WEST, A DISTANCE OF 58.32 FEET, AND
- 2. NORTH 89°08'22" WEST, A DISTANCE OF 136.81 FEET TO A POINT ON THE WEST LINE OF THE EAST HALF OF THE WEST HALF OF SAID SECTION 5;

THENCE NORTH 00°53'55" EAST, COINCIDENT WITH SAID WEST LINE, A DISTANCE OF 710.96 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 11.54 ACRES OF LAND, MORE OR LESS.

END OF DESCRIPTION.

THE PUBLIC STREETS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE PUBLIC. THE EASEMENTS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC, HOWEVER THE RIGHT TO USE SAID EASEMENTS IS HEREBY RESERVED FOR THE USES SPECIFICALLY DEPICTED ON THE PLAT, AND FOR ANY OTHER PURPOSES DESIGNATED HEREON, AND NO PERMANENT STRUCTURES, OTHER THAN FOR SUCH USES AND PURPOSES, ARE TO BE ERECTED WITHIN THE LINES OF SAID EASEMENTS. ALL OF THE LOTS WITHIN THIS SUBDIVISION ARE ELIGIBLE TO RECEIVE SEWER AND WATER SERVICE FROM STAR SEWER AND WATER DISTRICT, WHICH HAS AGREED IN WRITING TO SERVE ALL LOTS WITHIN THE SUBDIVISION. IRRIGATION WATER HAS BEEN PROVIDED FROM MIDDLETON MILL DITCH COMPANY, IN COMPLIANCE WITH IDAHO CODE 31-3805(1)(B). LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS, AND WILL BE OBLIGATED FOR ASSESSMENTS FROM MIDDLETON MILL DITCH COMPANY.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS:

MITCHELL S. ARMUTH, AUTHORIZED AGENT PROVIDENCE PROPERTIES, LLC

ACKNOWLEDGMENT

STATE OF IDAHO SS

ON THIS ______ DAY OF ______, IN THE YEAR 20 ____, BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE OF _____, PERSONALLY APPEARED MITCHELL S. ARMUTH, KNOWN OR IDENTIFIED TO ME TO BE AN AUTHORIZED AGENT OF PROVIDENCE PROPERTIES, LLC, THAT EXECUTED THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT PROVIDENCE PROPERTIES, LLC EXECUTED THE SAME.

CERTIFICATE OF OWNERS (CONTINUED)

CRISTOBAL FLORIAN

CRISTOBAL FLORIAN AND DENICE FLORIAN, HUSBAND AND WIFE

ACKNOWLEDGMENT

DENICE FLORIAN

STATE OF ________ ss.

ON THIS _____ DAY OF _____, IN THE YEAR 20____, BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE OF _____, PERSONALLY APPEARED CRISTOBAL FLORIAN AND DENICE FLORIAN, IDENTIFIED TO ME THAT THEY EXECUTED THE WITHIN INSTRUMENT.

NOTARY PUBLIC FOR ______

MY COMMISSION NO. _____

MY COMMISSION EXPIRES _____

CERTIFICATE OF SURVEYOR

I, BERT J. NOWAK, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF IDAHO, AND THAT THIS PLAT OF **SELLWOOD PLACE SUBDIVISION NO. 1** IS TRUE AND CORRECT AS DESCRIBED IN THE CERTIFICATE OF OWNERS AND AS SHOWN HEREON, AND WAS SURVEYED IN ACCORDANCE WITH IDAHO CODE RELATING TO PLATS AND SURVEYS.

BERT J. NOWAK, PLS 8077 DATE





2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5752

p 208 376 7330 w www.jub.com SHEET 6 ОГ Д

AT BOOK	PAGE	

APPROVAL OF CENTRAL DISTRICT HEALTH SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RE LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY ACCORDANCE WITH SECTION 50–1326, IDAHO CODE, BY THE ISSUANCE DISAPPROVAL.	ECORDER OR HIS AGE Y BE RE—IMPOSED,	ENT IN
CENTRAL DISTRICT HEALTH DATE	- [
APPROVAL OF ADA COUNTY HIGHWAY DISTRICT THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF DISTRICT COMMISSIONERS ON THEDAY OF, 20		WAY
COMMISSION PRESIDENT ADA COUNTY HIGHWAY DISTRICT	-	
APPROVAL OF CITY ENGINEER I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA DAY	COUNTY, IDAHO, ON T	HIS
CITY ENGINEER	-	
APPROVAL OF CITY COUNCIL THE FOREGOING PLAT WAS ACCEPTED AND APPROVED THIS , BY THE CITY OF STAR, IDAHO.	DAY	OF
CITY CLERK	_	

CERTIFICATE OF COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR IN AND FOR ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND FIND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

ADA COUNTY SURVEYOR	DATE

CERTIFICATE OF COUNTY TREASURER

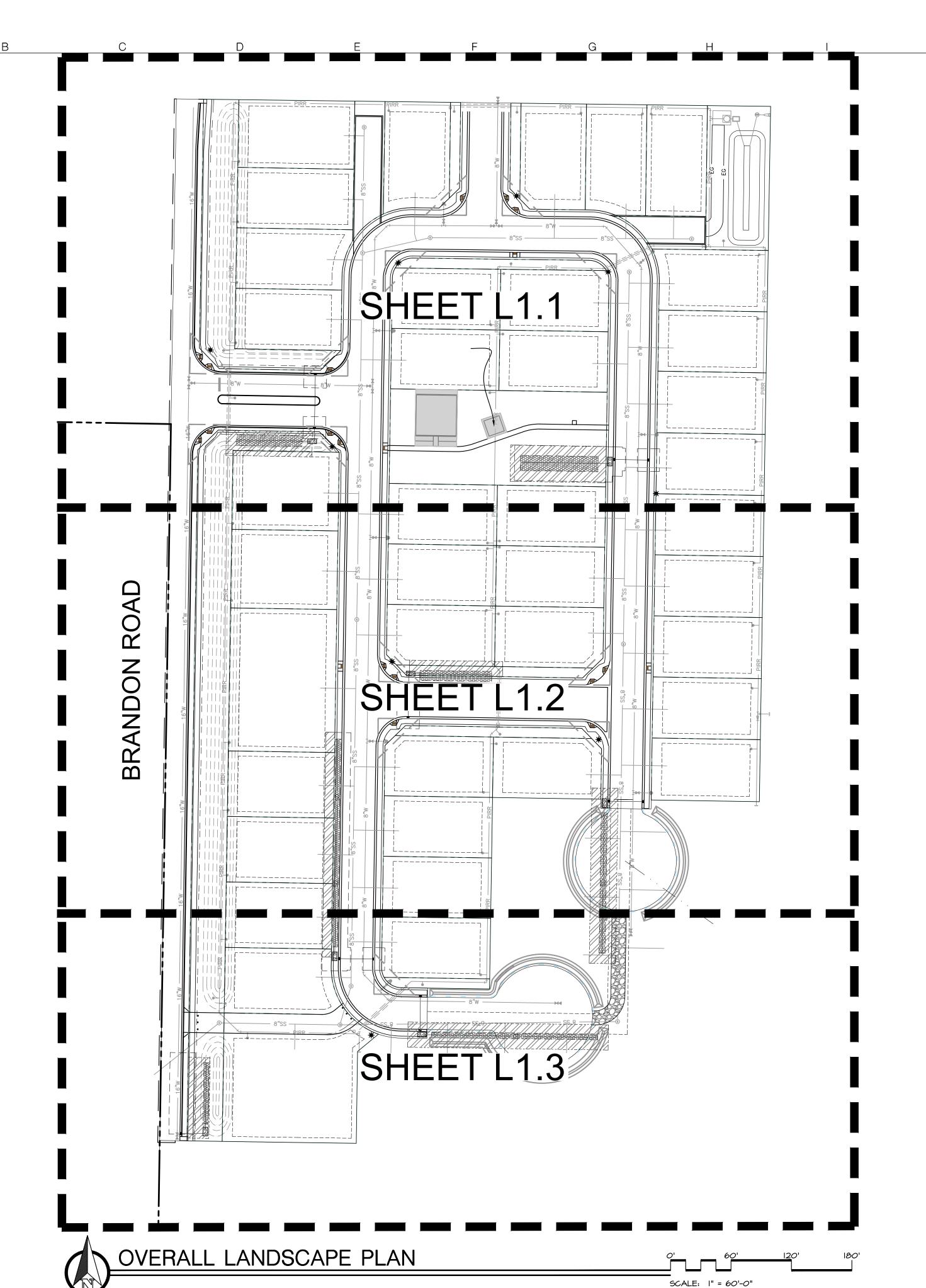
I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER REQUIREMENTS OF IDAHO CODE 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS PROPOSED SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATE IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

ADA COUNTY TREASURER	DATE

COUNTY RECORDER'S CERTIFICATE

STATE OF IDAHO SS. INSTRUMENT NO
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED AT THE REQUEST OF JUB ENGINEERS, INC ATMINUTES PASTO'CLOCKM.,
THISDAY OF, IN MY OFFICE, AND WAS RECORDED IN
BOOKOF PLATS AT PAGES THROUGH
FEE:
DEPUTY EX-OFFICIO RECORDER





SEE SHEET L1.1-L1.3 FOR DETAILED LANDSCAPE PLAN

SEE SHEET L2.2 FOR FENCING PLAN AND DETAILS

SEE SHEET L2.0-L2.1 FOR LANDSCAPE NOTES AND DETAILS

SEE SHEET L3.0-L3.1 FOR DESIGN BUILD IRRIGATION SPECS.

A PARCEL OF LAND ON BRANDON RD. LOCATED IN THE SE4NW4 & NE4SW4 OF SECTION 5, T. 4 N., R. 1 W., BOISE MERIDIAN, ADA COUNTY IDAHO

DEVELOPER PROVIDENCE PROPERTIES MITCH ARMUTH 701 S. ALLEN ST. MERIDIAN, IDAHO 83642 208-433-8800

ENGINEER

J-U-B ENGINEERS
KEITH H. MORSE, PE
2760 W. EXCURSION LN. SUITE 400
MERIDIAN, ID 83642
208-376-7330

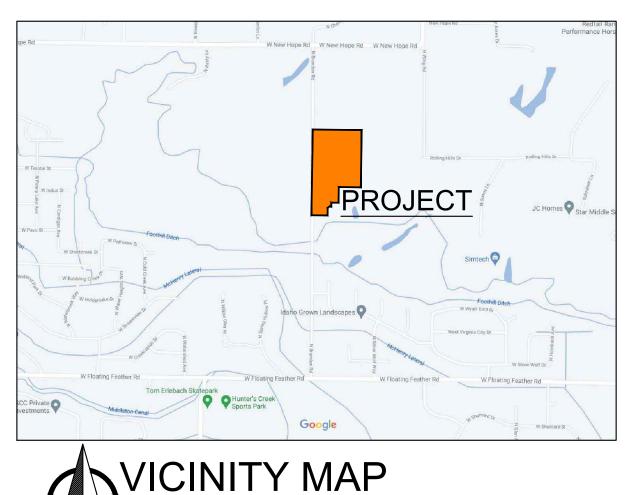
SURVEYOR

J-U-B ENGINEERS TIMOTHY HARRIGAN, PLS 2760 W. EXCURSION LN. SUITE 400 MERIDIAN, ID 83642 208-376-7330

LANDSCAPE

ARCHITECT SOUTH BECK & BAIRD JOHN ROTERS 2002 S. VISTA AVENUE BOISE, ID 83705 208-342-2999

SELLWOOD PLACE SUBDIVISION



DEVELOPMENT FEATURES

TOTAL ACRES. TOTAL LOTS..... COMMON/OPEN SPACE LOTS SINGLE FAMILY LOTS.... COMMON DRIVEWAY LOTS AVERAGE BLDG. LOT SIZE. PROPOSED ZONING... OPEN SPACE...

PERCENTAGE OF OPEN SPACE......

7,134 SF 3.56 UNITS/ACRE 3.30 AC 15.5%

SCALE: NTS

LANDSCAPING INFORMATION

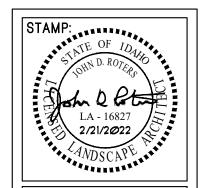
LANDSCAPE BUFFERS:

BRANDON ROAD - 20'-0" BUFFER TOTAL OF 973 LINEAR FEET SHADE TREES REQ. @ 2/100' (19 TREES REQUIRED) (19 TREES PROPOSED) CONIFER TREES REQ. @ 2/100' (19 SHRUBS REQUIRED) (19 SHRUBS PROPOSED)

* <u>PATHWAYS:</u> 5 FOOT WIDE PATHWAY - 700.0 LINEAR FEET +/-NO TREES REQUIRED

* MITIGATION FOR REMOVAL OF EXISTING TREES: N/A

* AMENTIES PROVIDED: COMMON OPEN SPACE 5' WALKING PATHWAY PICNIC SHELTER EXERCISE STATIONS (2)



2/21/2@22



SOUTH BECK& BAIRD

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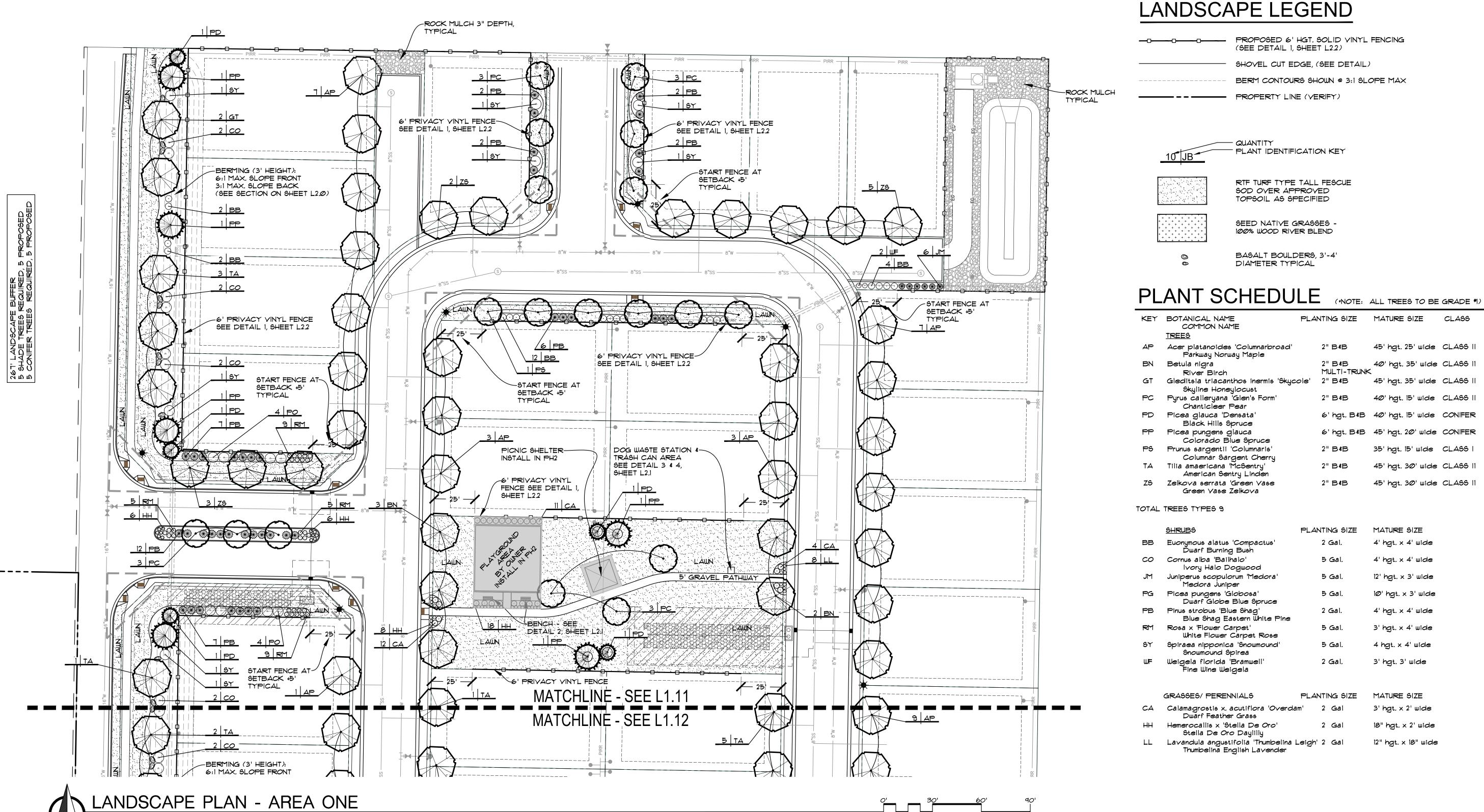
REVISIONS:

No. Date Description 8-16-22 FRONTAGE UPDATE

DRAWN BY: J.A.G.

CHECKED BY:

PROJECT NUMBER 21-Ø78 SHEET:



SCALE: I" = 30'-0"

SEE SHEET L1.1-L1.3 FOR DETAILED LANDSCAPE PLAN SEE SHEET L2.0-L2.1 FOR LANDSCAPE NOTES AND DETAILS SEE SHEET L2.2 FOR FENCING PLAN AND DETAILS SEE SHEET L3.0-L3.1 FOR DESIGN BUILD IRRIGATION SPECS. STAMP: 2/21/2022

2/21/2022

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8-16-22 FRONTAGE UPDATE

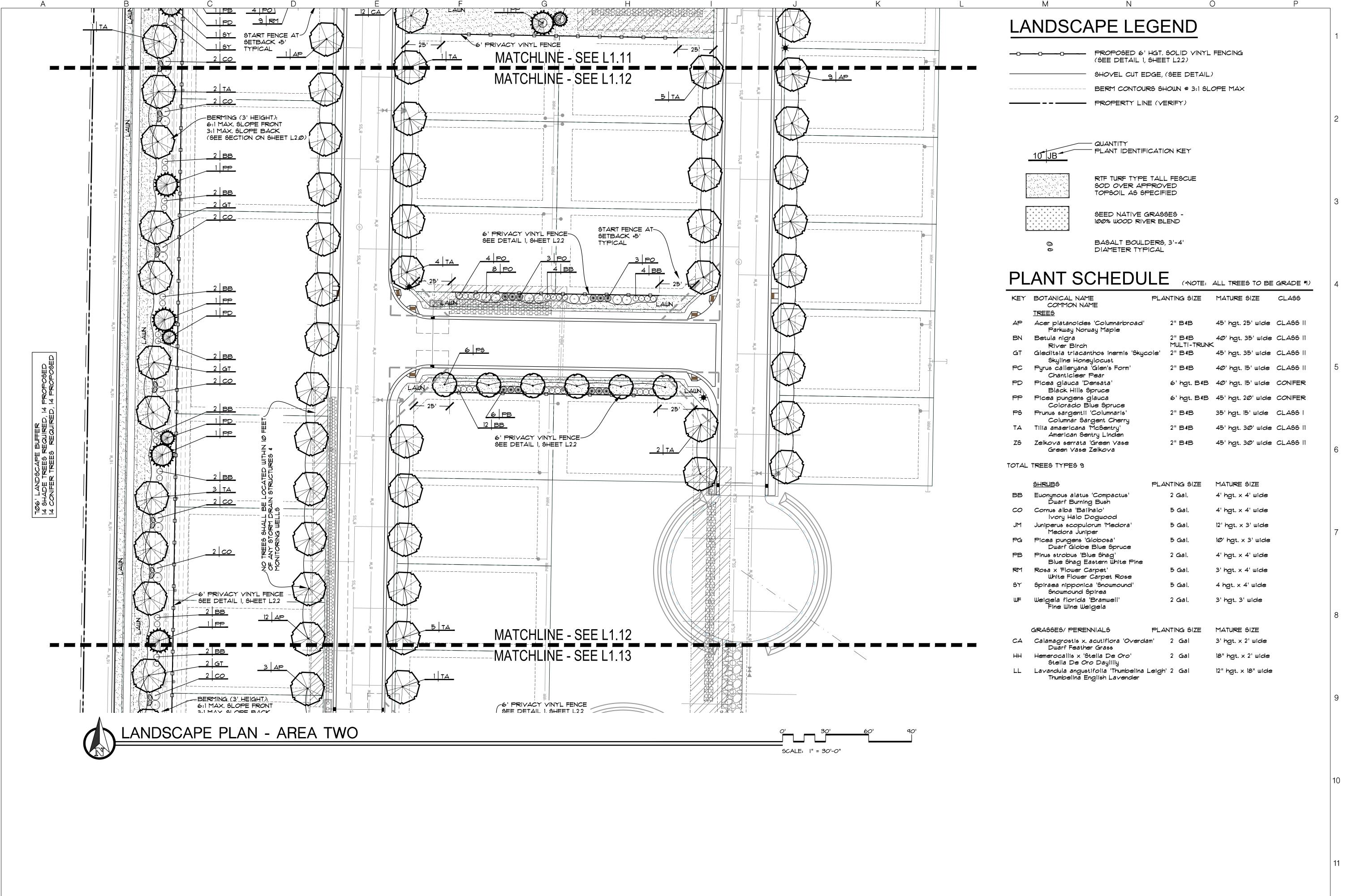
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PE SC QZ.

DRAWN BY: J.A.G. CHECKED BY:

J.D.R. PROJECT NUMBER 21-Ø78

SHEET:



SEE SHEET L1.1-L1.3 FOR DETAILED LANDSCAPE PLAN

SEE SHEET L2.2 FOR FENCING PLAN AND DETAILS

SEE SHEET L2.0-L2.1 FOR LANDSCAPE NOTES AND DETAILS

SEE SHEET L3.0-L3.1 FOR DESIGN BUILD IRRIGATION SPECS.

STAMP:

2/21/2022

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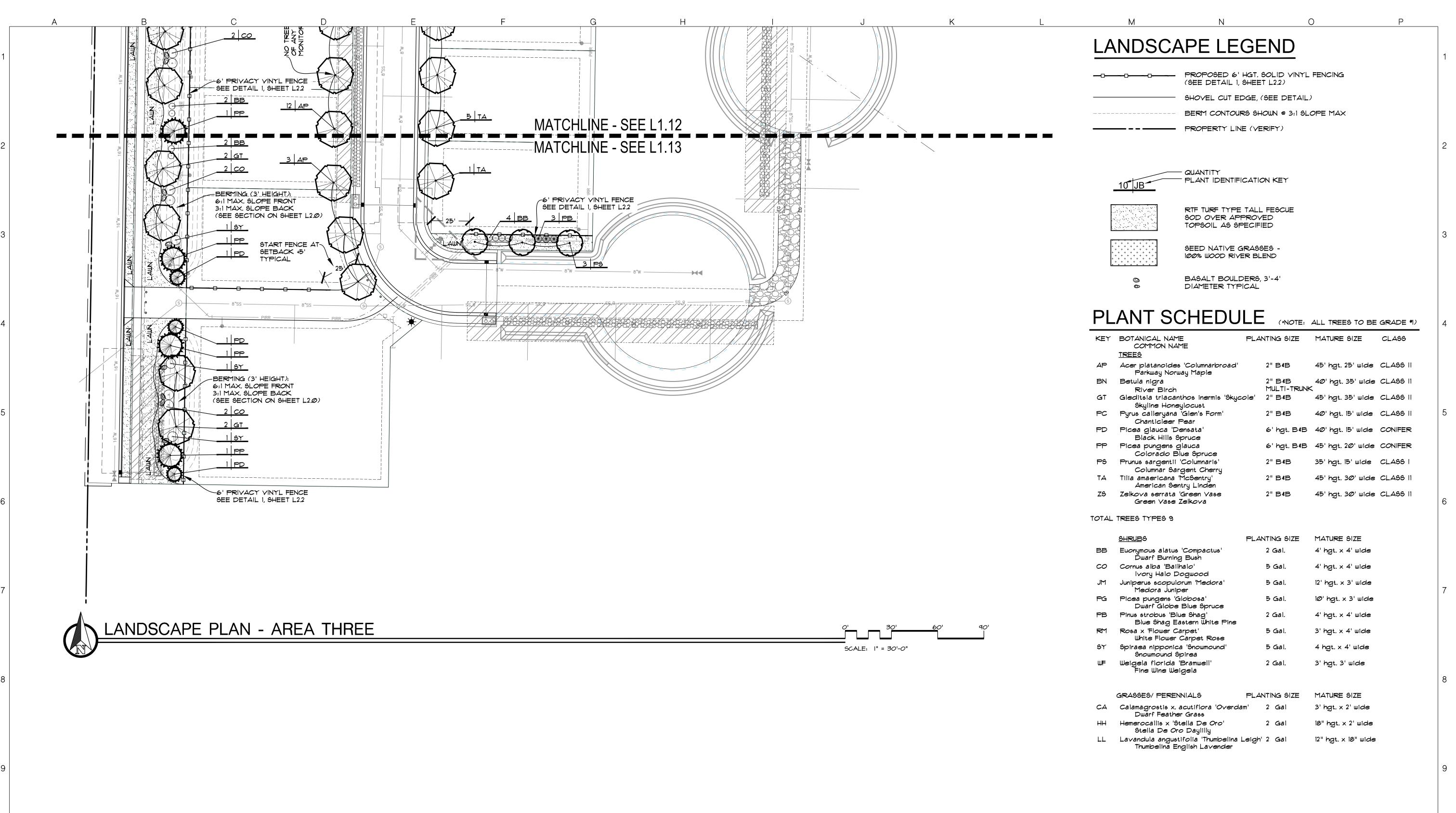
PE SC QN.

DRAWN BY: J.A.G.

CHECKED BY:

PROJECT NUMBER 21-Ø78

SHEET:



SEE SHEET L1.1-L1.3 FOR DETAILED LANDSCAPE PLAN SEE SHEET L2.0-L2.1 FOR LANDSCAPE NOTES AND DETAILS SEE SHEET L2.2 FOR FENCING PLAN AND DETAILS SEE SHEET L3.0-L3.1 FOR DESIGN BUILD IRRIGATION SPECS. STAMP: 2/21/2022

2/21/2022

2002 S. Vis Boise, ID 8 208.342.2 info@sbbg SECK&

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CHECKED BY: J.D.R. PROJECT NUMBER

21-Ø78 SHEET:

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STAMP:

2/21/2022

2/21/2022

1. All plant material shall conform to the American Nurseryman Standards for type and size shown. Plants will be rejected if not in a sound and healthy condition. All plant material shall be Grade #1

2. All planting beds and tree wells in lawn areas (wells to be 3' in diameter) shall be covered with a minimum of 3" of small (1") bark chips. Submit sample for approval.

3. All lawn areas shall be seeded or sodded with 100% Turf Type Tall Fescue (Festuca arundinacia). Seed to be placed within 48 hours of cutting and immediately after fine grading of topsoil and installation of irrigation system. Immediately after placement of sod, water to saturate sod and top 4" of topsoil. When adequately dry, roll to remove minor irregularities with 150-200 pound roller. Contractor shall provide (at time of bid) an add/alternate price per square foot

for sodded lawn in place of lawn seeding. 4. All plant material shall be guaranteed for a period of one year beginning at the date of acceptance by Owner. Replace all plant material found dead or not in a healthy condition immediately with the same size and species at no cost to the Owner.

5. Planting backfill for trees and planting beds shall be 5 parts topsoil and 1 part compost with straw. Stake all trees per details.

6. All seeded or sod'ded lawn areas shall have 6" of topsoil and all planting beds shall have 12" of topsoil. Topsoil shall be a loose, friable, sandy loam, clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass, or other foreign material larger than i" in any dimension, a pH from 5.5 to 7.0. Top soil from site shall be used, if meeting these standards. Place 1/2" compost over all landscaped areas and rototill into top 4". Spread, compact, and fine grade topsoil to a smooth and uniform grade, I" below surface of walks and curbs in areas to be sodded and 3" in

planting bed areas. 7. Fertilize all trees and shrubs with 'Agriform" planting tablets, 21 gram. Quantity per manufacturer's recommendation.

8. Plant material shall not be substituted without the written permission of Owner. Submit names of three suppliers contacted if substitution is requested and plant material specified is not

9. Shrub planting beds shall be shovel edged to create a distinct separation of landscape

types.

10. Immediately clean up any topsoil, or other debris on site created from landscape operation and dispose of properly off site.

11. This irrigation system shall be design built by a qualified irrigation contractor. The contractor shall provide professional designed irrigation construction drawings to the owner before construction (for review by the landscape architect). The drawings shall contain all the components in a professional irrigation system including but not limited to: mainlines, lateral lines, zones, valves, shut-off valves, drain valves, filtering, drip valve manifolds, wiring routes, POC connections, and details. All products shall be from Hunter Industries and "commercial" grade components as determined by the manufacturer. No residential grade components will be accepted. Note: The Contractor shall refer to the Irrigation Design Build Specifications and the typical irrigation installation details on sheet L3.0 and L3.1.

12. All landscape areas shall have an state of the art (2-wire) automatic underground sprinkler system which insures complete coverage and is properly zoned for required water uses and has a weather station capable of turning off for rain/freeze events. All shrub zones, spray zones and gear driven zones shall be placed on separate zones. Shrub zones shall be drip irrigation installed per manufacturer's recommendations. Do not exceed a maximum of 5 fps in all mainline and lateral lines. Coordinate the points of connection, water availability, water scheduling with the owner prior to providing an irrigation design and installing the irrigation system 13. Coordinate all drainage areas and utilities with tree locations and adjust per field conditions.

14. All fencing shall comply with the City of Star code... 15. Coordinate all trees with site utilities, do not plant near any underground utility (see civil

16. All trees to be located a minimum of 5 feet or greater from the back of any sidewalk, unless they are located within the parkway planter strips.

IRRIGATION NOTES:

A. REFER TO THE DESIGN BUILD IRRIGATION SPECIFICATIONS AND DETAILS SHEETS.

ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.

PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN

AREAS AND 18" AT PLANTER BEDS.

PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM ANNUALS, PERENNIALS GROUND COVERS OR SHRUB MASSINGS SHALL HAVE A POP-UP

ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:

a. PRECISE INDIVIDUAL STATION TIMING b. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES

c. AT LEAST ONE PROGRAM FOR EACH HYDROZONE

APPROVE Q.C.Y. LOCATIONS WITH LANDSCAPE ARCHITECT.

d. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF e. POWER FAILURE BACKUP FOR ALL PROGRAMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.

INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD

COVERAGE WITH TRIANGULAR SPACING. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVER SPRAY ONTO IMPERVIOUS

SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS). 9. PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES.

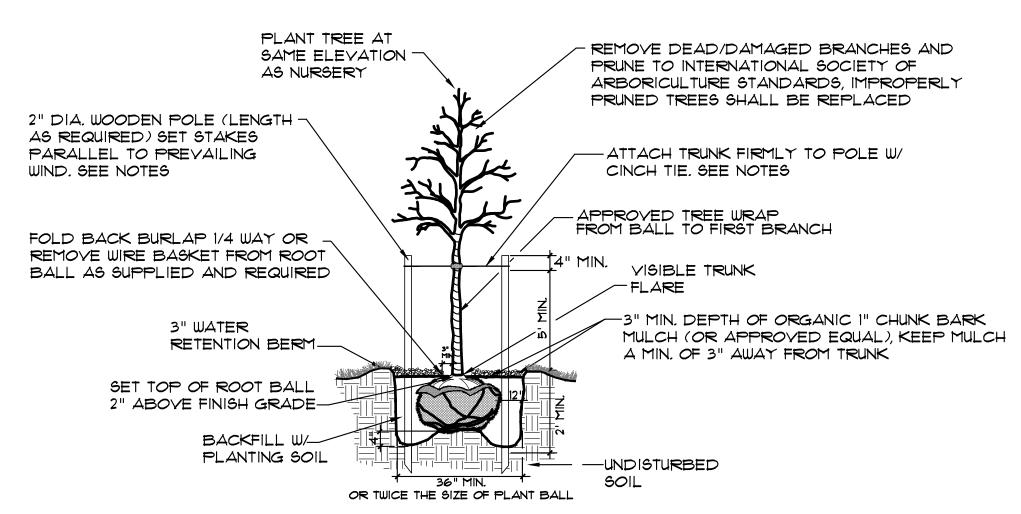
⁻SANDSTONE OR BASALT AT APPROX. 2'X2'X2' DIMENSIONS -FINISH GRADE UNDISTURBED SUBGRADE BOULDER PLACEMENT DETAIL

BOULDER TO BE LOCAL

NO SCALE -3" DEPTH OF MULCH AT PLANTER BEDS PPROVED TOPSOIL AND SOIL AMENDMENTS AS SPECIFIED

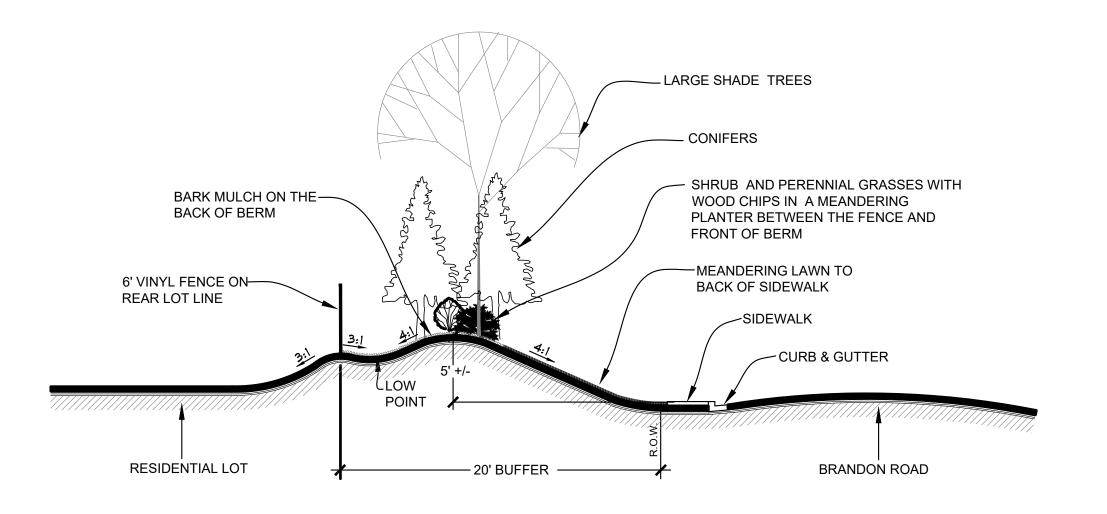
> PLANTER BED CUT EDGE NO SCALE

FINISH GRADE. -PER PLANS



THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR THE TERM OF THE WARRANTY 2. WRAP RUBBER CINCH TIE (OR APPROVED EQUAL) AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT MOVEMENT 3. WATER IN BACKFILL BELOW THE ROOT BALL PRIOR TO SETTING TREE (TO INSURE NO SETTLING WILL OCCUR). 4. DEEP SOAK TREE TWICE WITHIN THE FIRST 48 HOURS.

DECIDUOUS TREE PLANTING DETAIL



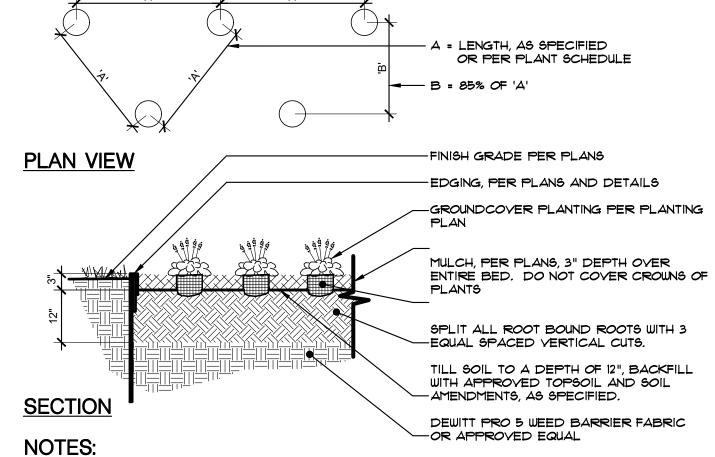
TYPICAL LANDSCAPE BERM (BRANDON ROAD)

3" MIN. DEPTH OF ORGANIC 1" CHUNK BARK MULCH (OR APPROVED EQUAL), KEEP BARK 3" WATER -MULCH A MIN. OF 1" AWAY FROM TRUNK RETENTION BERM-FINISH GRADE BACKFILL W/ PLANTING SOIL -UNDISTURBED SOIL NOTE - DIG HOLE TWICE THE SIZE OF ROOT BALL

SHRUB PLANTING DETAIL

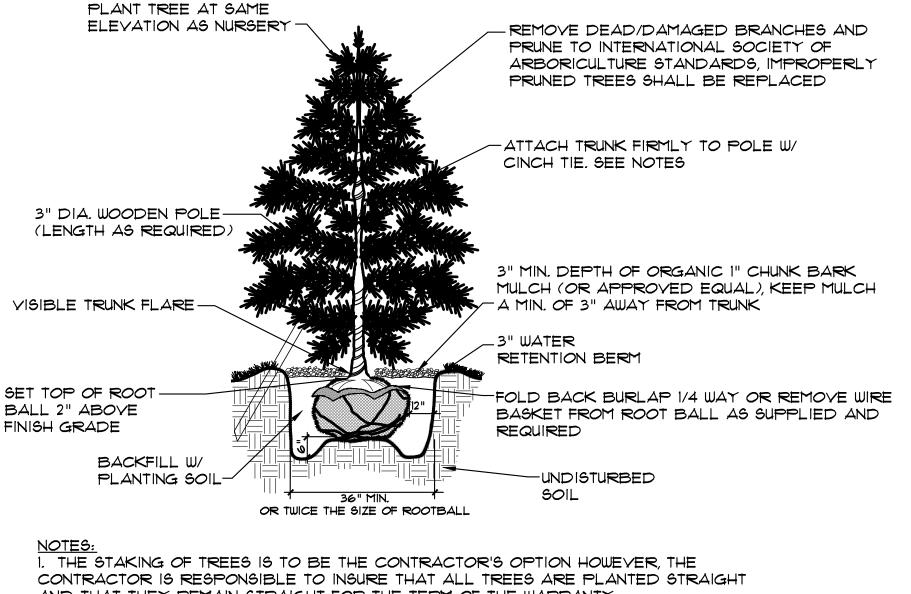
PLANT SHRUB AT SAME

ELEVATION AS NURSERY



1. ALL GROUNDCOVER PLANTS TO BE PLANTED ON CENTERUS FAPE TRIANGULAR 2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL

PERENNIAL AND GROUND COVER



AND THAT THEY REMAIN STRAIGHT FOR THE TERM OF THE WARRANTY. 2. WRAP RUBBER CINCH TIE (OR APPROVED EQUAL) AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT MOVEMENT. 3. WATER IN BACKFILL BELOW THE ROOT BALL PRIOR TO SETTING TREE (TO INSURE NO SETTLING WILL OCCUR). 4. DEEP SOAK TREE TWICE WITHIN THE FIRST 48 HOURS.

CONIFEROUS TREE PLANTING DETAIL

.√ - 5 - 4 - 7 IN OMA SMM Copyright © 2020 All rights reserved. Reproduction or use in any form or by any means without written permission or South Landscape Architecture P.C. Dba South Beck & Baird Landscape Architecture P.C. is unlawful and subject to criminal prosecution. **REVISIONS:** No. Date Description SITE UPDATE 8-16-22 FRONTAGE UPDATE 11-17-22 | Phase 1 Amenities

> **G** di A Œ

DRAWN BY: J.A.G. CHECKED BY:

J.D.R. PROJECT NUMBER 21-Ø78

SHEET:

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STAMP:

2/21/2022

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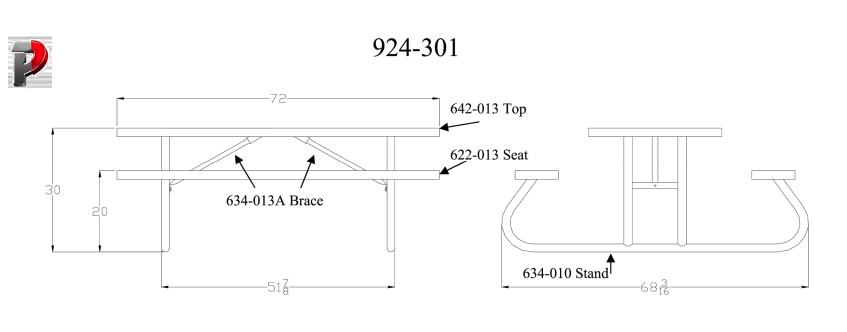
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No. Date Description

2 8-16-22 FRONTAGE UPDATE

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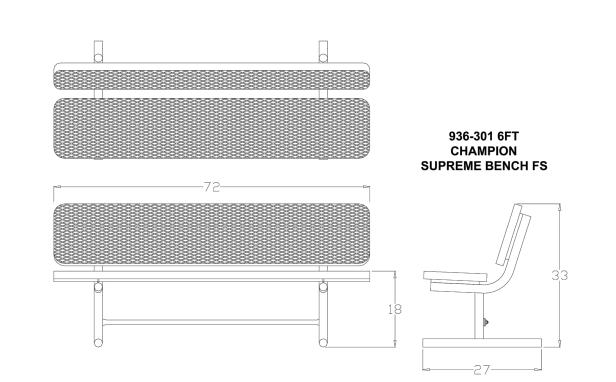
REVISIONS:



PREMIER POLYSTEEL
The Best Commercial Outdoor Furniture Available. Period.

1 BENCHES - TYP.

NOT TO SCALE



936-301

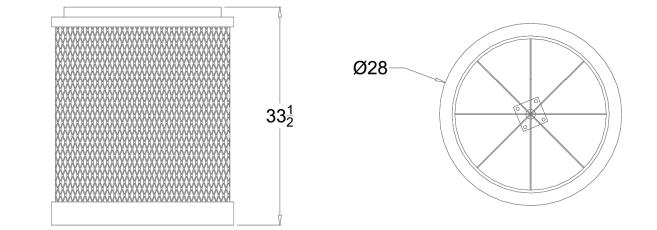


PICINIC TABLES - TYP.

NOT TO SCALE

995-031

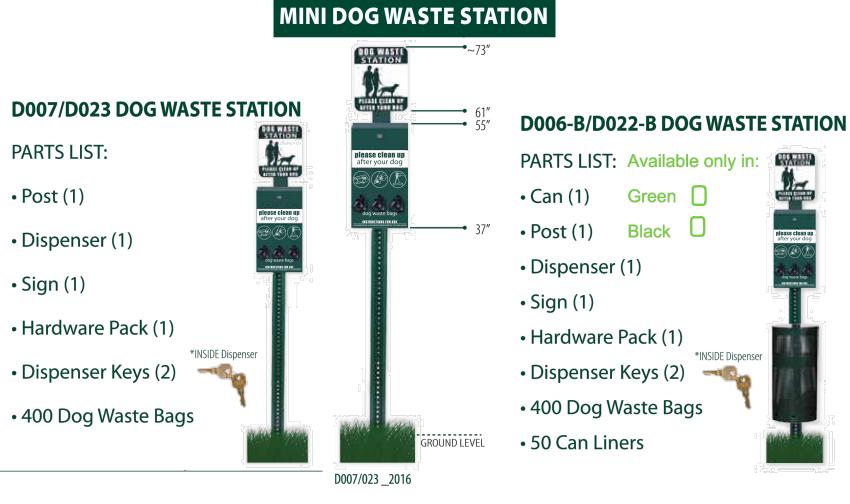
995-031 ROUND RECEPTACLE





TRACH RECEPTACLES - TYP.

NOT TO SCALE



4 DOG WASTE STATION

NOT TO SCALE

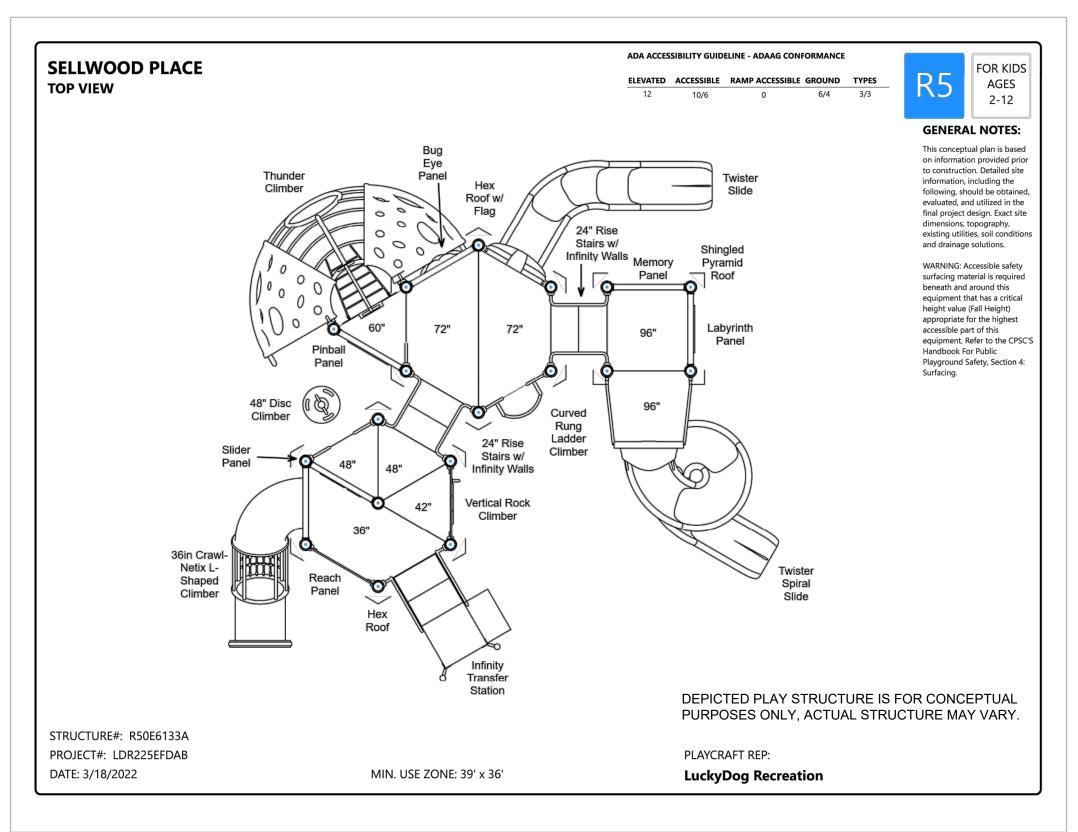
SITE FURNISHING NOTES

- ALL 6 FOOT BENCHES TO BE SURFACE MOUNTED ON A MINIMUM 4" CONCRETE PAD. BENCH TO BE A POLYSTEEL 936 SERIES BENCH, SURFACE MOUNT WITH A POWDER COAT. COLOR BY OWNER. CONTACT LESLIE SMITH AT LUCKYDOG RECREATION, 208-521-8997. ORDER SHALL BE PLACED A MINIMUM OF 12 WEEKS TO INSURE DELIVERY.
- 2. PICNIC TABLE TO BE SURFACE MOUNTED ON A MINIMUM 4"
 CONCRETE PAD. PICNIC TABLE TO BE A POLYSTEEL 924-301 SERIES
 TABLE, SURFACE MOUNT WITH A POWDER COAT. COLOR BY
 OWNER. CONTACT LESLIE SMITH AT LUCKYDOG RECREATION,
 208-521-8997. ORDER SHALL BE PLACED A MINIMUM OF 12 WEEKS
 TO INSURE DELIVERY.
- 3. TRASH RECEPTACLE TO BE SURFACE MOUNTED ON A MINIMUM 4" CONCRETE PAD. TRASH RECEPTACLE TO BE A POLYSTEEL 995-031 SERIES ROUND RECEPTACLE, SURFACE MOUNT WITH A POWDER COAT. COLOR BY OWNER. CONTACT LESLIE SMITH AT LUCKYDOG RECREATION, 208-521-8997. ORDER SHALL BE PLACED A MINIMUM OF 12 WEEKS TO INSURE DELIVERY.
- 4. DOG WASTE STATION TO BE POST MOUNTED.
 CONTACT LESLIE SMITH AT LUCKYDOG RECREATION, 208-521-8997.
 ORDER SHALL BE PLACED A MINIMUM OF 12 WEEKS TO INSURE
- 5. THE CONTRACTOR SHALL MEET AND/OR EXCEED ALL LOCAL, STATE, AND FEDERAL GOVERNMENT ACCESSIBILITY STANDARDS.



(5) PICNIC SHELTER

NOT TO SCALE



6 PLAYGROUND STRUCTURE
NOT TO SCALE

AMENITIES
ellwood Place Subdivision

DRAWN BY:

CHECKED BY:

SHEET:

PROJECT NUMBER

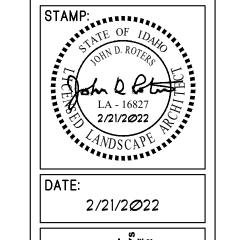
J.A.G.

J.D.R.

21-Ø78

L2.1

Section 6, Item H.



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REVISIONS: 2 8-16-22 FRONTAGE UPDATE

No. Date Description
1 3-3-22 SITE UPDATE

ANDSCA Sellwood DRAWN BY: J.A.G.

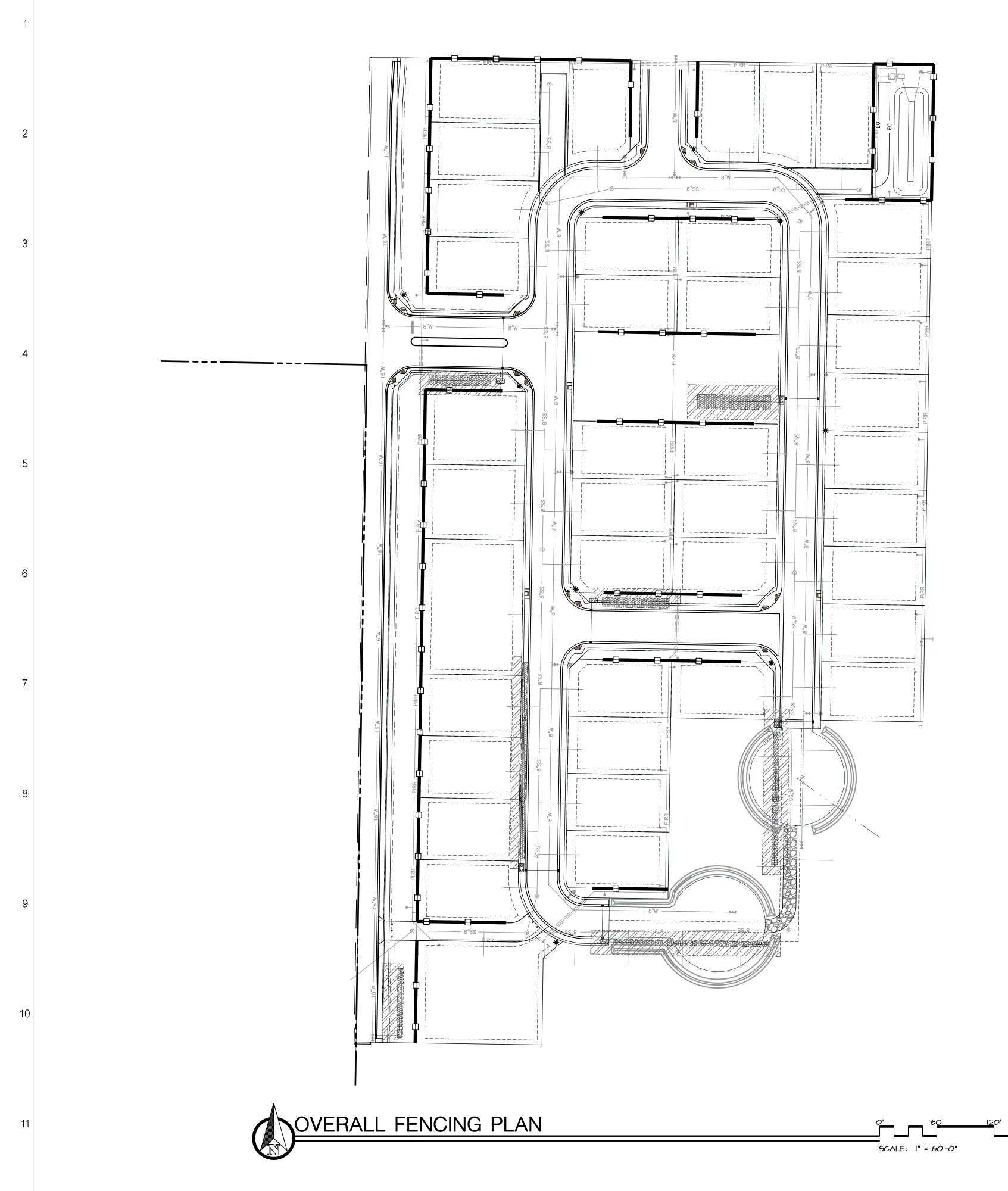
CHECKED BY:

PROJECT NUMBER 21-078

- 4" × 4" VINYL POST (TYP). COLOR-WHITE WOOD GRAIN (TYP). _5½" YINYL RAIL, COLOR-WHITE WOOD GRAIN (TYP). 6" VINYL PRIVACY FENCE— PANELS (COLOR WHITE WOOD GRAIN) _5½" YINYL RAIL, COLOR-WHITE WOOD GRAIN (TYP). —FINISH GRADE - 6" PICKETS, COLOR-WHITE 2" SPACE-WOOD GRAIN -CONCRETE FOOTING (TYPICAL) 6' HIGH VINYL FENCE NO SCALE 0

6' HGT. VINYL PRIVACY FENCING (SEE DETAIL THIS SHEET)

LEGEND:



1.1 SUMMARY:

- A. Includes, but not limited to furnishing and installing sprinkler system complete with accessories necessary for proper function.
- B. Coordinate head location with plant material (new and existing). Irrigation heads to take priority
- C. Coordinate all irrigation work with existing utilities and respective trades. D. Irrigation system to connect to Existing Pressurized Irrigation System with no cross connection to domestic water supply.

1.2 GUARANTEE:

- A. All components of installed sprinkler system shall be quaranteed for one (1) year from date of
- B. Fill and repair depressions and replacing plantings due to settlement of irrigation trenches. C. Any repair or replacement of the sprinkler system during the guarantee period shall be without any additional cost to the owner.

1.3 QUALITY ASSURANCE:

- A. Work and materials shall be in accordance with the latest rules, regulations, and other applicable state and local laws. Nothing in the Contract Documents is to be construed to permit work not conforming to these codes. Contractor shall obtain and pay for any and all permits and fees
- B. Perform work with personnel experienced in the work required in this section under the direction of
- a skilled foreman. C. Contractor shall furnish all components, labor, tools, and equipment as necessary for the proper
- execution and completion of all irrigation work D. During construction, protect materials from damage and prolonged exposure to sunlight.

1.4 SUBSTITUTIONS:

A. Any requested substitutions shall be in writing, submitted to the Owner, giving reason for substitution and specifications of requested substituted product which meet or exceed

1.5 SUBMITTALS:

- A. Prepare an accurate record drawing, as installation proceeds, to be submitted prior to final inspection. Record drawings to show, by dimension, all components.
- B. Final payment for sprinkler system will not be authorized until accurate and complete record drawings are submitted.

WARRANTY

A. Standard one year quarantee stipulated in shall include-

1. Filling and repairing depressions and replacing plantings due to settlement of irrigation trenches. 2. Adjusting system to supply proper coverage of areas to receive water. 3. Ensuring system can be adequately drained.

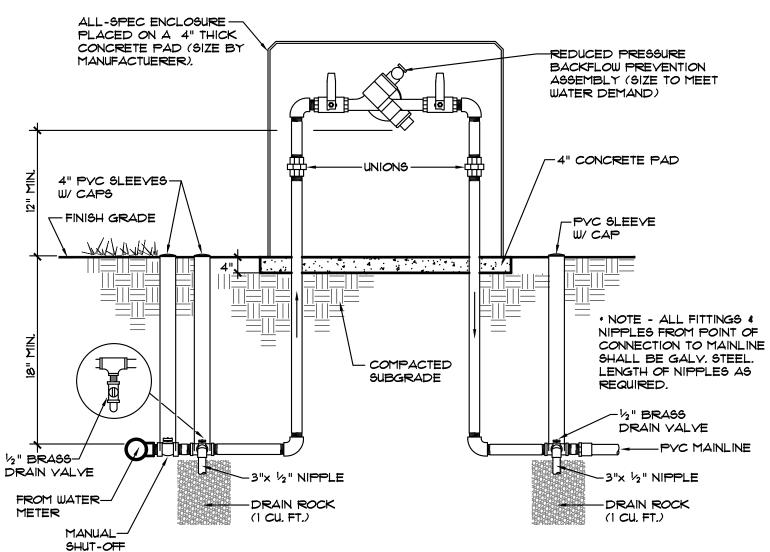
1.7 MAINTENANCE:

- Submit manufacturer's operation and maintenance manuals, to include manufacturer's parts catalog for each head type, valves, and controller.
- Provide operation and maintenance instruction to the Owner for proper operation, maintenance, and length of watering time each valve is required to be open for proper watering of area covered throughout the watering season.
- C. At the beginning of the first winter drain, blow out, and make any required adjustments to the system, to insure complete winterization.

1.8 EXTRA STOCK:

- A. Provide owner with the following extra stock
 - 1. One valve key for shut-off and drain
- 2. One valve marker keys.
- 3. One head of each type.

VALVE



REDUCED PRESSURE BACKFLOW ASSEMBL'

LANDSCAPE/IRRIGATION WATER TO BE SUPPLIED BY THE IRRIGATION PUMP HOUSE LOCATED AT THE NORTHWEST CORNER OF THE SITE - REFER TO THE CIVIL CONSTRUCTION DRAWINGS FOR INFORMATION AND QUANTITIES. COORDINATE WITH CIVIL ENGINEER AND OWNER).

PART 2 PRODUCTS

2.1 MATERIALS:

A. Pipe and pipe fittings ±

- 1. Pipe for pressure lines (mainlines) shall be Schedule 40 PVC. Pipe for lateral lines shall be Class 200 PVC. Pipe for drip zones shall be minimum 100 PSI Polyethylene (PE). Pipe shall be continuously and permanently marked with manufacturer's name, size, weight, type, and working
 - 2. Fittings shall be Schedule 40 PVC. 3. Sleeving shall be Class 200 PVC.
 - 4. Solvent Cement for Joining PVC Piping: ASTM D 2564. Include Primer according to ASTM

B. Sprinkler heads and nozzles:

recommendations).

- Small Lawn Areas + Hunter Pro-Spray PROS-4 with Hunter Pro-Spray nozzles. 2. Large Lawn Areat Hunter PGP heads or Hunter 1-20 heads.
- 3. All heads shall include a triple swing assembly. Horizontal nipple (parallel to side of lateral lines) shall be a minimum of 6" long. All other nipples on swing assembly shall be of length required for proper installation of heads. A minimum of 12" (maximum of 18") of Swing Riser Pipe and Swing Riser Fittings shall be on all pop-up spray heads.
- 4. Shrub Areas + Netafim Techline Cy tubing, 6 GPH/12" Dripperline or Equal Hunter Dripperline. See manufacturer for the proper dripline in relation to existing soils.

C. Valves:

1. Circuit valves + Hunter ICV series, sized as not to lose more than 4 PSI through valve. 2. Manual shut-off valves brass gate, size same as mainline, non-rising stem. Place in 6" PVC class 200 sleeve (length as required to be flush with finish grade) with valve box and cover. 3. Manual drain valvest brass, 1/2" gate or ball. Place in 2" PVC class 200 sleeve (length as required to be flush with finish grade) with locking valve marker. 3. Drip zones: pressure regulating valve (size as required per manufacture's

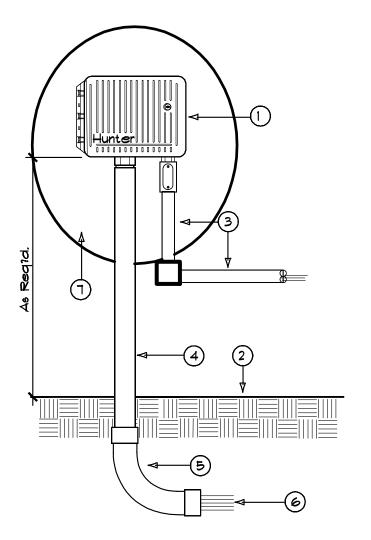
D. Filter:

1. Netafim Disk Filter± 100 mesh screen, size as required for manufacturer's recommendations.

E. Controller:

1. Hunter ACC-99D 2 wire Decoder System Controller, station number as required, coordinate with manufacturer's recommendations. 2. Control wire shall be UF-UL listed annealed copper conductor direct burial. Minimum sizet 14 gauge. Control wire placed next to mainline provide a 10"-12" expansion coil at 100' intervals and at corners. Splices at valves shall be with UL listed waterproof wire connectors.

No splices shall be permitted between valve boxes and controller.



- O Automatic sprinkler controller (PLACE IN HUNTER PEDESTAL)
- 2) Finish Grade
- 3 1/2" UL approved electrical conduit, ring nut and junction box for 120V AC electrical power
- (4) PVC schedule 40 control wire conduit (size as
- 5 PVC sweep ell (depth as required)
- 6 Control wires to electric valves
- (1) Exterior surface for mounting of sprinkler
- NOTE: All electrical work must conform to local codes. Refer to product literature for additional installation requirements.

This drawing is provided for reference only. Individual project requirements and local codes may dictate differences in installation



PART 3 EXECUTION

3.1 PREPARATION:

- A. Design system for available PSI and GPM, size mainline pipe so as not to exceed 5 FPS. Route piping to avoid plants and structures and. Review layout requirements with existing utilities and respective trades. Lawn areas and shrub zones shall not be mixes on the same circuit. Gear heads and pop-up heads shall not be on same zones. All shrub planting beds shall be irrigated with Netafim tubing. Northern and eastern exposed areas shall not be on the same zones as southern and western exposed areas.
- Coordinate location of sleeves, under paving, with existing utilities and respective
- Space all heads so as not to exceed 90 % of manufacturer's performance charts maximum spacing. Space Netafim tubing in parallel lines not more than 24" apart.

3.2 PERFORMANCE:

A. Trenching and backfilling (PVC pipe):

- 1. Over-excavate trenches 2" and bring back to proper depth by filling with sand or fine, rock free soils. Do not cut roots on existing plants larger than 2" 2. Cover pipe with 2" sand or fine, rock free soil.
- 3. Backfill remaining portion of trench with rock free excavated trenching material and compact to 90%.

B. Grades and Draining:

- 1. Install manual drain valves on each end of main line. Provide I cu. ft. drain rock below
- 2. Slope pipe under paving and walks to drain outside these areas.

C. Pipe Installation:

- 1. Install pipe in a manner to provide for expansion and contraction as recommended by the 2. Install mainline with a minimum of 18" of cover and lateral lines with a minimum of 12" of cover
- 3. Install sleeves under walks and/or paved areas with a minimum of 18" of cover based on finish grade of base material. Extend all sleeves a minimum of 6" beyond walks, curbs, and/or
- 4. Cut pipe square and remove burrs at cut ends prior to installation. Make solvent weld joints per manufacturer's recommendations. Do not use an excessive amount of solvent to cause an obstruction to form inside the pipe. 5. Use Teflon tape on all threaded connections. Apply per manufacturer's recommendations

D. Heads:

- 1. Locate pop-up sprinkler heads no closer than 2" from walk or back of curbs in lawn
- 2. Flush all lines prior to installation of heads.
- 3. Set all heads perpendicular to and flush with finish grade.
- 4. Install Netafim tubing 4" below surface of planting beds, after completion of planting and fine grading. Pin with 6" wire pins at a maximum of 4' O.C. Install so all tubing is looped, space lines at 24" O.C. with PVC headers, and provide drain valve for each drip

E. Control valves and Controller

1. Controller: Wall mounted in pump house or Pedestal mounted in the field, install per manufacturer's recommendations. Location per Owner's requirements. 2. Install control valves in Ametek or Brook plastic valve boxes, size as required for easy access and maintenance. Provide snap top plastic covers. Top of valve box to be flush with finish grade and place 1/2 cu. ft. of drain rock in boxes below valves. Install filter and Pressure Regulating Valve on Netafim tubing zone(s) per manufacturer's recommendation. 3. Provide Textra control wire to each end of mainline.

3.3 FIELD TEST:

- A. Prior to backfilling, fill mainline with water and pressure test to 100 PSI. Mainline shall not lose more than 15 PSI in 15 minutes. Pressure test to be approved by Owner or Owner's representative.
- B. Perform water coverage test by irrigation industry approved method to insure uniform precipitation rate. Perform coverage test for each type of lateral circuit, i.e. one each for lawn rotors, lawn pop-ups. Coverage test to be approved by Owner or Owner's representative.

3.4 ADJUSTMENTS:

A. Adjust all heads to be flush and perpendicular with finish grade. Adjust all heads and or nozzles for distance and arc per field conditions and so water does not spray on any building, parts of buildings, walks, or paving.

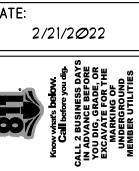
3.5 CLEAN UP:

A. Immediately clean up and properly dispose of off site any debris created from sprinkler installation operation.

LANDSCAPE/IRRIGATION WATER TO BE SUPPLIED BY THE IRRIGATION PUMP HOUSE LOCATED AT THE NORTHWEST CORNER OF THE SITE - REFER TO THE CIVIL CONSTRUCTION DRAWINGS FOR INFORMATION AND QUANTITIES.

SEE SHEETS L3.1 FOR TYPICAL IRRIGATION INSTALLATION DETAILS

STAMP: 2/21/2022



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REVISIONS: No. Date Description 8-16-22 FRONTAGE UPDATE

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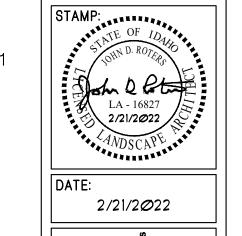
A DRAWN BY: J.A.G.

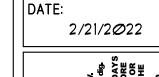
CHECKED BY:

PROJECT NUMBER 21-Ø78

SHEET:







2002 S. Vis Boise, ID 8 208.342.2 info@sbbg

Copyright © 2020

REVISIONS: No. Date Description 2 8-16-22 FRONTAGE UPDATE 11-17-22 Phase 1 Amenities

0 H N 4 **DESIGN**

DRAWN BY: J.A.G.

CHECKED BY: PROJECT NUMBER 21-Ø78

SHEET:

SEE SHEETS L3.0 FOR

3" IN LAWN AREAS

3" IN SHRUB BEDS

- SWING JOINT 1/2" FLEX TUBING

(12" MIN.) (IS" MAX.)

- AMETEK OR APPROVED

-QUICK COUPLING YALVE

(LENGTH AS REQUIRED)

-SWING JOINT NIPPLE

SCH. 80 PVC (LENGTH AS REQUIRED)

*4 REBAR - 30" LENGTH

TWO PLACES W/ SS SCREW CLAMPS

CLAMPED TO RISER IN

-GALY, NIPPLE

-DRAIN ROCK

YALVE BOX W/ LID 8" ROUND

WALK OR

MOW STRIP

SPRAY HEAD -

FINISH GRADE -

SWING JOINT

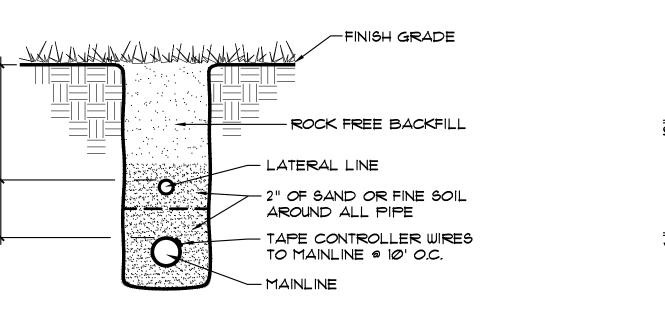
FITTINGS

TINISH GRADE

MAINLINE

SWING JOINT FITTINGS -

3 SCH. 40 PVC ELLS



* GLUE ALL PIPE & FITTINGS PER MANUF. RECOMMENDATIONS

TRENCH SECTION DETAIL





- AMETEK OR APPROVED VALVE BOX W/ LID

> - SUPPORT BRICK OR CONC. BLOCK

4 REQUIRED

(1 CU. FT.)

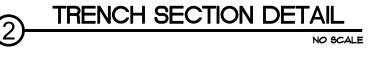
-MAINLINE W/ CONTROL WIRES

TAPED TOGETHER @ 10' Ø.C. AND

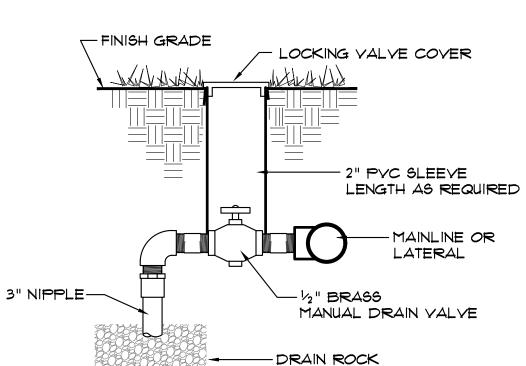
-CONTROL \ \AL\E



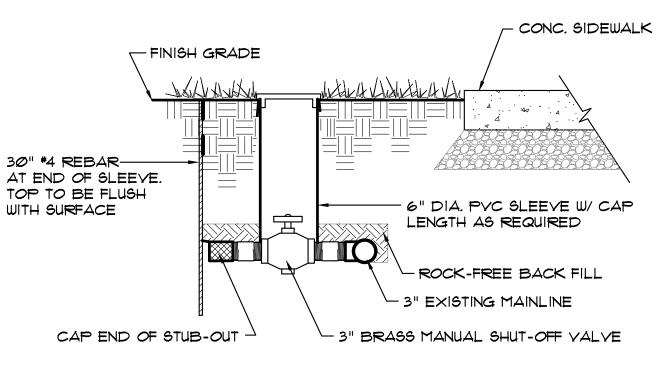








MANUAL DRAIN VALVE



TINISH GRADE

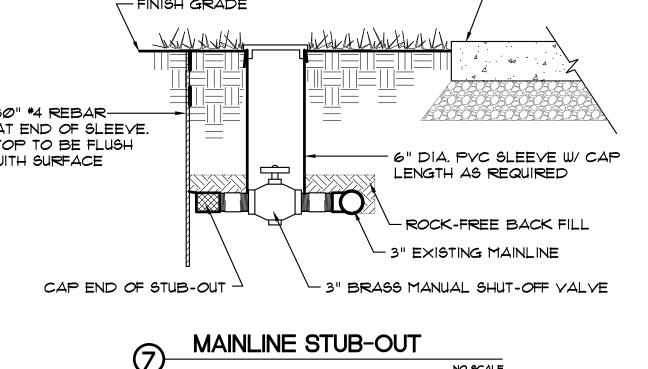
COILED

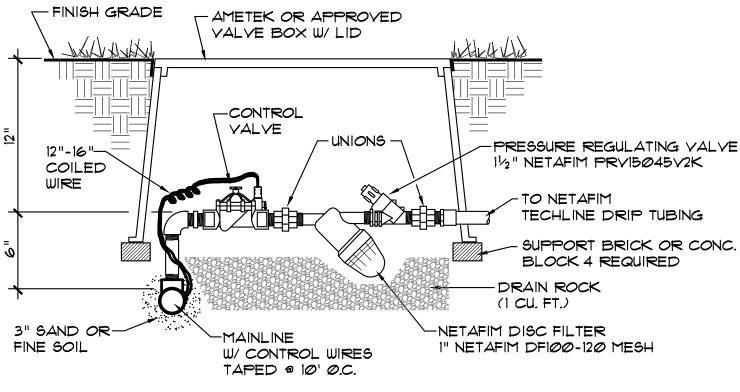
WIRE

3" SAND OR-

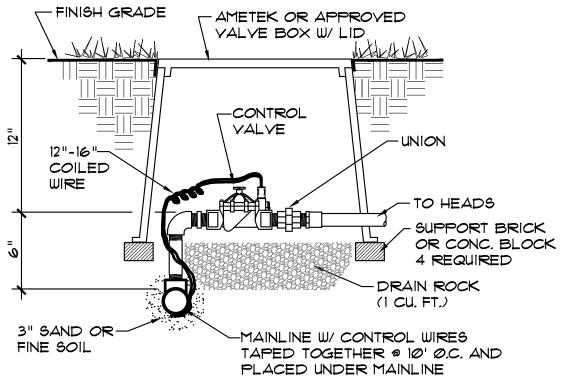
FINE SOIL

MAINLINE STUB-OUT





REMOTE CONTROL VALVE FOR DRIP



REMOTE CONTROL VALVE

IRRIGATION DESIGN BUILD DETAILS

FINISH GRADE

ROCK FREE BACKFILL

2" OF SAND OR FINE SOIL

LATERAL LINE

WALK OR

SWING JOINT -34" SCH 80 PYC

AS REQUIRED

LATERAL LINE

NIPPLE, LENGTH

- PIN MAX. 4' O.C.

MOW STRIP

* GLUE ALL PIPE & FITTINGS PER MANUF. RECOMMENDATIONS

TRENCH SECTION DETAIL

GEAR ROTOR HEAD-

34" SCH. 40 PVC -

ELL, 3 REQUIRED

FINISH GRADE -OF TOPSOIL

DEPTH

DRIP TUBING INSTALLATION

FITTING

AROUND ALL PIPE

IRRIGATION DESIGN **BUILD SPECIFICATIONS**

(1 CU. FT.)

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **February 7, 2023** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: First Street Townhomes Subdivision

Files #'s PP-22-16 Preliminary Plat PR-22-07 Private Street

Applicant: Antonio Conti, 7661 W. Riverside Dr. Suite 102, Garden City, ID

Owner: 10206 W. State Street LLC

Action: The Applicant is seeking approval of a Preliminary Plat and Private Street for a proposed residential subdivision consisting of 30 residential lots, 4 commercial lots and 3 common lots. The property is located at 10206 W. State Street in Star, Idaho, and consists of 4.77 acres with a proposed residential density of 11 dwelling units per acre.

Property Location: The subject property is generally located on the north side of W. State Street, east of N. Taurus Way. Ada County Parcel No. S0408438600.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department

MEETING DATE: February 21, 2023 – PUBLIC HEARING (tabled from 2/7/23)
FILE(S) #: PP-22-16 Preliminary Plat for First Street Townhomes Subdivision

PR-22-07 Private Street

OWNER/APPLICANT/REPRESENTATIVE

Applicant/Representative:

Antonio Conti Ackerman-Estvold 7661 W. Riverside Drive, Ste. 103 Garden City, Idaho 83714 **Property Owner:**

10206 W. State Street, LLC 2001 N. 20th Street Boise, Idaho 83702

Shen 1. Much

REQUEST

Request: The Applicant is seeking approval of a Preliminary Plat and Private Street for a proposed residential subdivision consisting of 30 residential lots, 4 commercial lots and 3 common lots. The property is located at 10206 W. State Street in Star, Idaho and consists of 4.77 acres with a proposed density of 11 dwelling units per acre.

PROPERTY INFORMATION

Property Location: The subject property is generally located on the north side of W. State Street, east of N. Taurus Way. Ada County Parcel No. S0408438600.

Surrounding Land Use/Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	CBD-PUD-DA	Central Business District	Bare Land
Proposed	CBD-PUD-DA	Central Business District	Residential
North of site	Residential (R-4)	Neighborhood Residential	Rockbridge Subdivision
South of site	Limited Office	Central Business District	Commercial

East of site	Rural Urban Transition	Central Business District	Single Family
	(RUT)		Residential/Bare Land
West of site	Commercial (C-2)	Central Business District	Animal Clinic/Bare
			Ground

Existing Site Characteristics: The property is currently vacant ground.

Irrigation/Drainage District(s): Pioneer Ditch Company

P.O. Box 70 Star, Idaho 83669

Flood Zone: This property is not currently located in a Flood Hazzard Area.

FEMA FIRM Panel Number: 16001C0130J

Effective Date: 6/19/2020

Special On-Site Features:

- Areas of Critical Environmental Concern No known areas.
- Evidence of Erosion No evidence.
- Fish Habitat No.
- Floodplain No.
- Riparian Vegetation No.
- Steep Slopes None.
- Stream/Creek None.
- O Unique Animal Life No unique animal life has been identified.
- Unique Plant Life No unique plant life has been identified.
- Unstable Soils No known issues.
- Historical Assets No historical assets have been observed.
- ➡ Wildlife Habitat No known sensitive wildlife habitat observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held April 28, 2022 Neighborhood Meeting Held August 5, 2021

Application Submitted & Fees Paid August 22, 2022/September 21, 2022

Application Accepted October 11, 2022
Residents within 300' Notified January 17, 2023
Agencies Notified December 13, 2022
Legal Notice Published January 20, 2023
Property Posted January 27, 2023

HISTORY		
October 16, 2007	Council approved Annexation and Zoning (AZ-07-08) of Multi Use (MU) with a Development Agreement and conceptual approval of a supermarket and retail space.	
July 28, 2020	Council approved rezone (RZ-20-04) of the property from Multi Use (MU-DA) with a Development Agreement to Central Business District, Planned Unit Development (CBD-PUD-DA) with a Development Agreement (PUD-20-05). Ordinance Number 328.	
September 7, 2021	Council approved a modification of the original Development Agreement (DA-20-16-MOD) to increase the residential uses and modify the timing for the commercial use.	
April 19, 2022	Council approved modification of the Development Agreement (DA-20-16-MOD) including height allowance of 45 feet for front 2 commercial buildings and parking requirements.	

CODE DEFINITIONS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

(CBD) CENTRAL BUSINESS DISTRICT: To provide for commercial, retail, civic, office, and entertainment uses. High density housing is encouraged on the upper floors of mixed-use buildings and may also be allowed at the fringes of the land use designation shown on the comprehensive plan. Live/work designed development is also encouraged in this district. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility. Special emphasis shall be placed on development in the central downtown area to

encourage and create a vibrant, walkable downtown community that incorporates the Boise River as an active amenity.

(PUD) PLANNED UNIT DEVELOPMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., R-4-P), indicates that the development was approved by the city as a planned unit development, with specific allowances and design approved by Council. When submitting a CUP, PUD or development agreement for a mixed-use zone, or for multiple conditional uses on one site, all uses that are contemplated for the development shall be identified with the application and shall be reviewed by the council to determine which may be permitted, which should remain as conditional uses and which should be prohibited. A development agreement may be used in lieu of a conditional use permit application or a PUD application if the council makes the findings as otherwise required.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	CBD
Dwelling:	
Multi-Family	N
Secondary	N
Single-Family Attached (approved thru PUD)	N
Single-Family Detached	N
Two-Family Duplex	N
Live/Work Multi-Use (approved thru PUD)	C

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height	Minimum Yard Setbacks Note Conditions		
	Note Conditions			Street
		Front (1)	Rear Int	erior Side Side
R-6 to R-11 attached housing	35'	15' to living area 20' to garage 10' if alley load	15' 4' if alley load	0' for common walls 7.5' at end of building

CBD	35'	0,	0'	0' 4
C-2	35'	20'	5'	0' 4
MU	35'	For MU and CBD - Unless otherwise approved by the Coun as a part of a PUD or development agreement, all residential buildings shall follow the residential setbacks shown in this table based upon the project density and all other buildings shall follow setbacks for the C-2 zone (3).		greement, all residential setbacks shown in this and all other buildings

Notes:

- 1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
- 2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
- 3. All setbacks in the CBD, C-1. C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
- 4. As approved by the Fire District.

Note Conditions:

A. Minimum Property Size:

- 1. Each property shall be of sufficient size to meet the minimum setbacks as established in this section.
- 2. Minimum property size shall be determined exclusive of land that is used for the conveyance of irrigation water, drainage, creek or river flows unless: a) the water is conveyed through pipe or tile; and b) included as part of a utility easement that generally runs along the property lines.
- 3. When two (2) or more parcels of land, each of which is of inadequate area and dimension to qualify for a permitted use under the requirements of the district in which the parcels are located, are held in one ownership, they shall be used as one property for such use.
- B. Minimum Street Frontage:
- 1. Properties with street frontages on cul-de-sacs or at approximately a ninety-degree (90°) angle shall be a minimum of twenty feet (20') measured as a chord measurement.
- 2. Street knuckles shall be separated from through traffic by a landscape island. Properties with frontages on such knuckles shall be a minimum of twenty feet (20') measured as a chord

measurement.

- 3. All other properties with street frontage shall have a minimum of thirty feet (35').
- C. Additional Setback Criteria:
- 1. Chimneys, pop out windows, direct vent gas fireplaces, entertainment centers, window seats and other projections which do not increase the usable floor area and do not exceed eight feet (8') in width may project up to two feet (2') into any required setback, provided that projections that are at finished grade, including, but not limited to, chimneys and fireplaces, do not encroach within a side yard utility easement.
- 2. One detached accessory building that is less than two hundred (200) square feet in area and nine feet (9') or less in height shall be allowed in the required rear yard. In no case shall an accessory building be allowed in the street yard or the required side yard.
- 3. Accessory structures, such as decks and patios, which are one foot (1') or less in height, as measured from the property's finished grade, may occupy any yard area.
- 4. In all residential zones garages and carports opening onto a side street must have a minimum distance between the opening of such garage or carport and the side street lot line of not less than twenty feet (20').
- 5. Front yard setback from arterial and collector streets (as identified on the highway district functional classification map) is 30 feet in all residential zoning districts.
- 6. Street side setback on arterial and collector streets (as identified on the highway district functional classification map) is 20 feet in all residential zoning districts.
- 7. Setback areas are subject to drainage compliance or otherwise specified within this title.
- 8. <u>If a Planned Unit Development is approved, waivers to setbacks may be permitted if</u> determined by the council to be appropriate for the development and that such waivers will be compatible with the area and shall meet emergency service requirements.
- 9. Building eves may project up to two feet (2') into any required setback.
- 10. Patio covers may project to within 10' of the rear yard setback provided that posts or foundations are not located within the required setback, and utility easements are not encroached upon.
- D. Maximum Height Limit:
- 1. Height exceptions shall not be permitted except by discretion of the council with the submittal of a conditional use permit or development agreement application.
- 2. The maximum height limitations shall not apply to the following architectural features, not intended for human occupation: spire or steeple, belfry, cupola, chimney. Such architectural

features shall have a maximum height limit of twenty feet (20'), as measured from the roofline.

- 3. The maximum height limitations shall not apply to the following: amateur radio antenna; bridge tower; fire and hose tower; observation tower; power line tower; smokestack; water tank or tower; ventilator; windmill; wireless communication facility, or other commercial or personal tower and/or antenna structure; or other appurtenances usually required to be placed above the level of the ground and not intended for human occupancy.
- 4. No exception shall be allowed to the height limit where the height of any structures will constitute a hazard to the safe landing and takeoff of aircraft in an established airport.
- E. All new residential and accessory structures of any size within any zoning district shall comply with residential setbacks.
- F. Spite strips, common lots, unreasonable development phasing, or other means of any type purposely or unintentional that may result in the blocking of services or development, including but not limited to sewer, water, streets, or utilities are prohibited in any zoning district within the City of Star.

8-4D-3: STANDARDS (PRIVATE STREETS):

All private streets shall be designed and constructed to the following standards:

A. Design Standards:

- 1. Easement: The private street shall be constructed on a perpetual ingress/egress easement or a single platted lot (with access easement) that provides access to all applicable properties.
- 2. Connection Point: Where the point of connection of the private street is to a public street, the private street shall be approved by the transportation authority.
- 3. Emergency Vehicle: The private street shall provide sufficient maneuvering area for emergency vehicles as determined and approved by the Star Fire District.
- 4. Gates: Gates or other obstacles shall not be allowed, unless approved by Council through a Planned Unit Development or Development Agreement.
- B. Construction Standards:
- 1. Obtain approval from the county street naming committee for a private street name(s);
- 2. Contact the transportation authority to install an approved street name sign that complies with the regulations of the county street naming ordinance;
- 3. Roadway and Storm Drainage: The private street shall be constructed in accord with the roadway and storm drainage standards of the transportation authority or as approved by the city of Star based on plans submitted by a certified engineer.

- 4. Street Width: The private street shall be constructed within the easement and shall have a travel lane that meets ACHD width standards for the City of Star, or as determined by the Council and Star Fire District.
- 5. Sidewalks: A five foot (5') attached or detached sidewalk shall be provided on one side of the street in commercial districts. This requirement may be waived if the applicant can demonstrate that an alternative pedestrian path exists. Residential private streets may request a waiver of sidewalks to be approved by Council.
- 6. Fire Lanes: All drive aisles as determined by the Star Fire District to be fire lanes, shall be posted as fire lanes with no parking allowed. In addition, if a curb exists next to the drive aisle, it shall be painted red.
- 7. No building permit shall be issued for any structure using a private street for access to a public street until the private street has been approved.
- C. The applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review. The condition of approval shall include the following:
 - 1. Private Road Reserve Study Requirements.
 - a. At least once every three years, the board shall cause to be conducted a reasonably competent and diligent visual inspection of the private road components that the association is obligated to repair, replace, restore, or maintain as part of a study of the reserve account requirements of the common interest development, if the current replacement value of the major components is equal to or greater than one-half of the gross budget of the association, excluding the association's reserve account for that period. The board shall review this study, or cause it to be reviewed, annually and shall consider and implement necessary adjustments to the board's analysis of the reserve account requirements as a result of that review.
 - b. The study required by this section shall at a minimum include:
 - i. Identification of the private road components that the association is obligated to repair, replace, restore, or maintain.
 - ii. Identification of the probable remaining useful life of the components identified in paragraph (1) as of the date of the study.
 - iii. An estimate of the cost of repair, replacement, restoration, or maintenance of the components identified in paragraph (1).
 - iv. An estimate of the total annual contribution necessary to defray the cost to repair, replace, restore, or maintain the components identified in paragraph (1) during and at the end of their useful life, after subtracting total reserve funds as of the date of the study.

- v. A reserve funding plan that indicates how the association plans to fund the contribution identified in paragraph (4) to meet the association's obligation for the repair and replacement of all private road components.
- c. A copy of all studies and updates shall be provided to the City, to be included in the development application record.

8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

8-4E-2: COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS - STANDARDS:

- A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):
- 1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the gross land area of the development. Ten percent (10%) of that area shall be usable open space.
- 2. Each development is required to have at least one site amenity.
- 3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.
- 4. Developments with a density of less than 1 dwelling units per acre may request a reduction in total required open space and amenities to the Council. Developments with a density of less than 2 dwelling units per acre may request a 50% reduction in total required open space to the Council.
- 5. For multi-family developments, see Section 8-5-20 for additional standards.
- B. Qualified Open Space: The following may qualify to meet the common open space requirements:
- 1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:
- a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;
- b. Qualified natural areas;
- c. Ponds or water features where active fishing, paddle boarding or other activities are provided

(50% qualifies towards total required open space, must be accessible by all residents to qualify.) ponds must be aerated;

- d. A plaza.
- 2. Additions to a public park or other public open space area.
- 3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.
- 4. Parkways along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:
- a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.
- b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.
- c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:
 - 1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
 - 2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
 - 3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.
- 5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total.
- C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:
- 1. Clubhouse:
- 2. Fitness facilities, indoors or outdoors;
- 3. Public art;
- 4. Picnic area; or
- 5. Recreation amenities:
- a. Swimming pool.

- b. Children's play structures.
- c. Sports courts.
- d. Additional open space in excess of 5% usable space.
- e. RV parking for the use of the residents within the development.
- f. School and/or Fire station sites if accepted by the district.
- g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
- (1) The system is not required for sidewalks adjacent to public right of way;
- (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
- (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Central Business District:

The Central Business District is planned to be a vibrant downtown center for the community. Uses encouraged are commercial, retail, civic, private offices, and entertainment. High density housing is encouraged on the upper floors of mixed-use buildings and at the fringes of the land use designation. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.

- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- 8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:
 - A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.
 - B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivide in the future.
- 8.5.9 Additional Land Use Component Policies:
 - Encourage flexibility in site design and innovative land uses.
 - Work with Ada County Highway District (ACHD), Canyon Highway District #4
 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of
 roadway and access needs.
 - Support well-planned, pedestrian-friendly developments.
 - Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

PROJECT OVERVIEW

PRELIMINARY PLAT & PRIVATE STREET:

The Preliminary Plat submitted contains 30 single family residential lots, 4 Commercial lots and 3 common lots on 4.77 acres with a proposed residential density of 11 dwelling units per acre. The lots will have access and frontage from a proposed private street. Residential building lots will be either 1603 square feet or 1995 square feet in size. Each townhome will have a two (2) car garage accessed from a private street with the front doors opening to access a common area.

Three (3) of the residential lots are required to be live/work style units (Lots 10, 20 & 30) per the Planned Unit Development approval of this development. The signed Development Agreement calls for residential units adjacent to 1st Street (or W. Stella View Street) to be live/work and have office and storefront entrances facing the street. The submitted preliminary plat shows all residential units designed in the same configuration.

The private streets are proposed based on Staff's recommendations to the applicant. The north/south street entrance from W. State Street will provide the main access to the

development until the east/west collector street is dedicated to ACHD and functions as intended in the adopted ECAMP, with connections east to Seneca Springs Way, and west to Taurus Way. Until this happens, the east/west street will continue as an improved private street. Access to the townhomes will be through permanent private streets. These streets need to meet all standards of the Star Fire District. To provide for additional guest parking in the residential area of the development, staff is recommending that N. Baldy Lane be widened to allow parking along the west side of the street. In addition, N. Mimi Lane should be widened to a minimum of 28' to meet Fire District requirements.

The Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of 1 site amenity. The applicant is proposing a shade structure and playground equipment within a pocket park area, together with a walking paths and common open space between the residential units.

ADDITIONAL DEVELOPMENT FEATURES:

Sidewalks

Internal sidewalks are proposed at five-foot (5') widths and will be both attached and detached throughout the development. The east-west collector street should be designed with detached sidewalks.

Lighting

Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a proposed streetlight plan. Staff recommends that streetlights be added at the corner of N. Baldy Lane and W. Merab Lane as well as at N. Mimi Lane and W. Merab Lane. Staff also suggests that the proposed streetlight on W. Merab Lane be moved to the south, across the street to better light the access to the common area. The light at W. Merab Lane and N. Mimi Lane should be positioned to also light the entrance to the tot lot. Stall also recommends a streetlight on W. Stellar View Street at the entrance to the common lot.

The applicant will need to provide a design/cut sheet for City approval. <u>The proposed cobra head lights do NOT meet city requirements.</u> Applicant will be required to work with Staff and submit an updated cut sheet and design before signature of the final plat. <u>Applicant will also need to submit a photometric plan for the entire site for approval prior to signature of the final plat.</u>

Street Names

Applicant has provided documentation from Ada County that the street names are acceptable and have been approved for this development.

Subdivision Name

Applicant has provided a letter from Ada County that the subdivision name has been approved and reserved for this development.

- <u>Landscaping</u> As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. The submitted landscape is for the retail portion of the development. Applicant has not provided a landscape plan for the residential portion. A condition of approval will be included requiring a full landscape plan be submitted for review and approval by staff prior to submission of <u>any</u> final plat applications.
- <u>Setbacks</u> The Development Agreement includes the setbacks below:

Commercial Uses – Current CBD Zoning Standards

Minimum Residential Lot Frontage: 30 feet

Front Setbacks (Measured from the back of sidewalk or property line): 20

feet for garage; 10' Living Area

Rear Setbacks: 20 feet or <u>5' maximum for alley loaded garages</u>; **Interior Setbacks**: 5' side for detached, <u>0' feet (for zero-lot lines)</u>

Local Street Side Setbacks: 20 feet (waiver requested adjacent to east-west

Collector.)

Maximum Building Height: 35 feet for residential; 45' approved by Council for

Commercial.

- <u>Mailbox Cluster</u> Applicant has provided documentation from the Star Postmaster depicting the approved location for the mailbox cluster within the development as a single location. Cluster will be located on the northside of W. Stellar View Street near the intersection of N. Baldy Lane.
- <u>Phasing</u> The applicant has not provided a phasing plan for the development. It is assumed that the residential portion of the subdivision will be built in a single phase.
- <u>Storm Water</u> Will be retained on site and utilize Drain 9 and two pervious paver sections in the private road.

AGENCY & DEPARTMENT RESPONSES

ITD January 6, 2023
Star Fire District February 3, 2023
DEQ January 5, 2023
ACHD January 13, 2023
COMPASS January 2023

PUBLIC RESPONSES

No public comments have been received.

STAFF REVIEW AND RECOMMENDATION

Staff review of the application submittal materials reveals several questions that must be addressed regarding the development before final approval is granted. Staff is supportive of Council approving the preliminary plat at this time, provided a condition of approval is included requiring further design review through the Zoning Certificate process. Items to be conditioned and detailed include the following:

- 1. <u>Further review of the access and circulation by the Star Fire District. Residential streets should be widened to allow for additional guest parking and access;</u>
- 2. Complete landscape plan showing front yard trees in the common areas in front of dwellings at 35' distances, landscaping within common areas, details for shade structure and playground equipment;
- 3. Revised building elevations showing live/work units on Lots 10, 20 & 30 with entrances and storefronts facing south (First Street). Staff supports waiver of Street Side Setbacks of 20' as long as storefronts and entrances face south (First Street);
- 4. <u>Preliminary Plat revisions to include a separate common lot for the future collector street</u> and the private north/south street/drive from State Street;
- 5. <u>Applicant consider adding additional guest parking at the north boundary of the</u> residential area (within buffer area);
- 6. <u>Provide shared parking agreement between the live/work units and the commercial parking areas;</u>
- 7. No parking along N. Mimi Lane in the residential portion of the development. Stub driveways adjacent to the garages shall be 5' in depth or less, with no parking;
- 8. The east-west collector street shall include detached sidewalks;
- 9. The applicant shall submit full building elevations for all structures within the development.

Based upon the information provided to staff in the applications and agency comments received to date, the proposed Preliminary Plat and Private Road, <u>as conditioned</u>, will meet the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code. The proposed density of 11 dwelling unit per acre is consistent with the Council approval of the Rezone and PUD that was approved on January 28, 2020.

The Council should consider recommendations from Staff, together with the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

PRELIMINARY PLAT FINDINGS:

1. The plat is in compliance with the Comprehensive Plan.

The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:

- 1. Designing development projects that minimize impacts on existing adjacent properties, and
- 2. Managing urban sprawl to protect outlying rural areas.
- 2. Public Services are available or can be made available and are adequate to accommodate the proposed development.

The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.

- 3. There is public financial capability of supporting services for the proposed development; The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.
- 4. The development will not be detrimental to the public health, safety or general welfare; The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.
- 5. The development preserves significant natural, scenic or historic features;

 The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.

PRIVATE STREET FINDINGS:

- A. The design of the private street meets the requirements of this article;

 The City must find that the proposed private streets meets the design standards in the Code.
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity:

The City must find that it has not been presented with any facts stating this private road will cause damage, hazard or nuisance, or other detriment to persons, property or uses in the vicinity.

C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

The City must find that the use is not in conflict with the comprehensive plan and/or regional transportation plan.

Upon granting approval or denial of the application, the Council shall specify:

- 1. The Ordinance and standards used in evaluating the application;
- 2. The reasons for recommending approval or denial; and
- 3. The actions, if any, that the applicant could take to obtain approval.

CONDITIONS OF APPROVAL

- 1. The approved Preliminary Plat for the First Street Townhomes Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 2. Prior to submittal of the residential phase of the final plat, the applicant shall submit a Certificate of Zoning Compliance (Design Review) application for review and approval by Staff. The application shall include Staff's list of details from the Staff Review and Recommendation section of the staff report.
- 3. The applicant has entered into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. ITD has calculated the fees to be \$30,000 (\$1,000 per residential lot). These fees will be collected by the City of Star, by phase, prior to final plat signature. The development agreement contains the details of the fees to be collected.
- 4. As per the Development Agreement, the owner shall participate in the cost of the future traffic signal located at the intersection of W. State Street and N. Seneca Springs Way. The owners share for this development shall not exceed \$25,000.00. Payment shall be made to the City prior to occupancy of the first building on the property.
- 5. Applicant shall provide a revised Preliminary Plat and Landscape Plan that indicates that ten (10%) percent usable open space is provided as required by the Unified Development Code. In addition, street trees meeting the 35' distance requirement shall be designated for the east-west collector street and in front of all residential units.
- 6. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with

requirements for light trespass and "Dark Skies" lighting. Applicant/Owner shall work with staff and submit a streetlight design that meets city standards prior to Final Plat approval. Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative. A photometric plan shall also be submitted and approved prior to signing the final plat.

- 7. The property with the approved Preliminary Plat shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
- 8. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.
- 9. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
- 10. Street trees shall be installed per Chapter 8, Section 8-8C-2-M(2) Street Trees.

 Applicant shall provide locations for the local street trees at the time of final plat. If driveway locations will not be determined until sale of the lot, Applicant agrees to not receive the Certificate of Occupancy until street trees are confirmed in place.
- 11. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 12. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
- 13. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
- 14. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
- 15. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
- 16. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 17. All common areas shall be owned and maintained by the Homeowners Association.
- 18. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). Sign shall be approved by the City prior to start of construction.
- 19. A sign application is required for any subdivision signs.
- 20. Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic data lines. This is only necessary if there are not any vendors or empty conduit in the trench already.

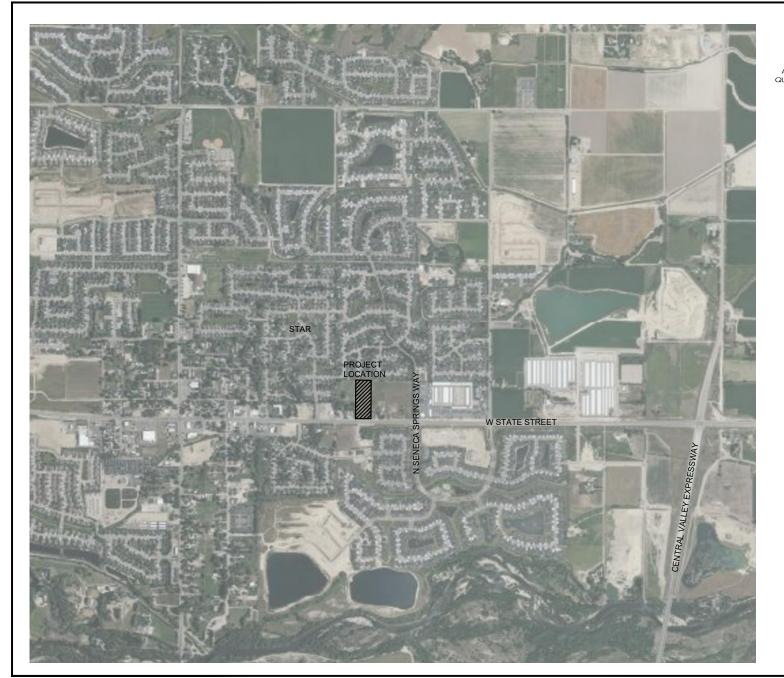
21. Any additional Condition of Approval as required by Staff and City Council.

	COUNCIL DECISION
The Star City Council	File Number PP-22-16 and PR-22-07 for First Street
Townhomes Subdivision on	, 2023.

FIRST STREET



PRE PLAT



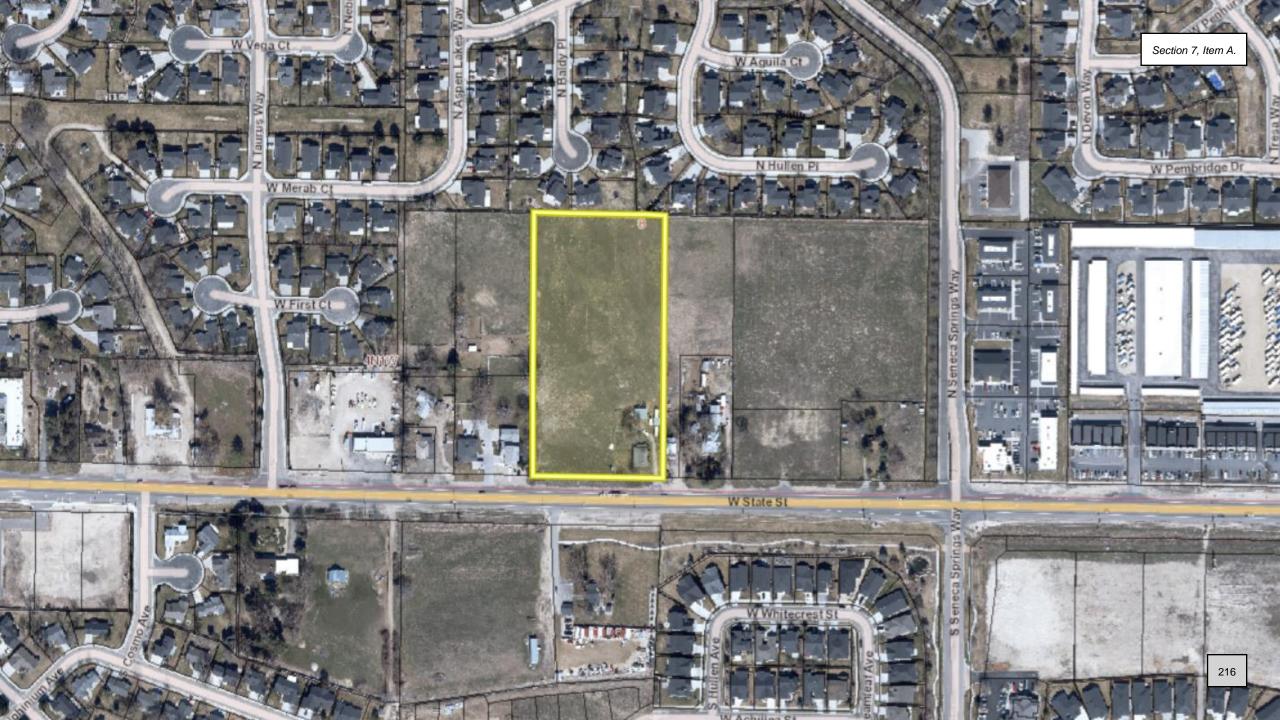
PRELIMINARY PLAT

A PORTION OF THE SW QUARTER OF THE SE QUARTER OF SECTION δ , T.4N., R. I.W., CITY OF STAR, ADA COUNTY, IDAHO.

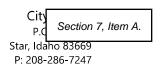
AUGUST 2022 SCALE: I" = 500' SHEET I OF I



Scale: 1" = 500"







PRELIMINARY PLAT APPLICATION

***All information must be filled out to be processed.

	FILE NO.:	
	Date Application Received: Fee Paid:	
	Processed by: City:	
L		
Applica	nt Information:	
ı	PRIMARY CONTACT IS: Applicant Owner Representative 🗹	
	nt Name: Antonio Conti	
	nt Address:7661 W Riverside Drive, Ste 102, Garden City, IDZip: 83714	
Phone: _	208-853-6470 Email: antonio.conti@ackerman-estvold.com	
Owner N	lame: _ 10206 W State Street LLC	
	Address: 2001 N 20th Street, Boise, ID Zip: 83702	
Phone:	509-475-9695 Email: evan.mclaugh@gmail.com	
110110.	200 470 3000 Email: 2 3 3 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	
Represe	entative (e.g., architect, engineer, developer):	
	Antonio Conti Firm Name: Ackerman-Estvold	
	: 7661 W Riverside Drive, Ste 102, Garden City, ID Zip: 83714	
Phone: 2	208-853-6470 Email: antonio.conti@ackerman-estvold.com	
Property	y Information:	
Subdivis	ion Name: First Street Townhomes Subdivision	
Site Loca	ation: 10206 W State Street, Star, ID	
	d Zoning Designation of Site: <u>CBDPUD/DA</u>	
Parcel N	lumber(s): <u>S0408438600</u>	
.		
zoning l	Designations:	

	Zoning Designation	Comp Plan Designation	Land Use
Existing	CBDPUD/DA	Central Business District	Residential
Proposed CBDPUD/DA		Central Business District	Residential
North of site	CBDPUD/DA	Compact Residential Residential	
South of site	L-O	Central Business District	Residential/Public
East of site	RUT	Central Business District	Residential
West of site C-2		Central Business District	Residential

SITE DATA:

SITE DATA.				
Total Acreage of Site - 2.72 ac Breakdown of Acreage of Land in Contiguous Ownership - 2.72 ac Total Acreage of Site in Special Flood Hazard Area - 0.0 ac Dwelling Units per Gross Acre - 11.0 du/ac Minimum Lot Size - 1603 sf Minimum Lot Width - 28 ft				
Total Number of Lots - 37 Residential - 30 Single-family Duplex Multi-family - 3 - 10 unit buildings				
Percent of Site and Total Acreage of Common Area - 38.9 % / 1.06 acres Percent of Common Space to be used for drainage - 0% (subsurface) Describe Common Space Areas (amenities, landscaping, structures, etc.) - Playground, landscaping, and walkways Proposed Dedicated Lots & Acreage (school, parks, etc):				
Public Streets - 1 - River Crossing Drive Private Streets - 3 Describe Pedestrian Walkways (location, width, material)				
FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance): Total Acreage of Site in Special Flood Hazard Area - 0.0 ac				
a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.				
b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: 16001C0130J FIRM effective date(s): mm/dd/year 06/19/2020 Flood Zone(s): Zone X, Zone AE, Zone AH, etc.: X				

c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Base Flood Elevation(s): AE2474.0 ft., etc.:

- d. Please see link for help with FEMA information https://msc.fema.gov/portal/search.
- e. All maps will delineate flood plain lines.

PUBLIC SERVICES (Describe what services are available and agency providing service):					
Potable Water - Star Sewer and Water					
Irrigation Water- Middleton Irrigation Association					
Sanitary Sewer- Star Sewer and Water					
Fire Protection - Star Fire					
Schools - Meridian School District					
Roads - City of Star					

SPECIAL ON-SITE FEATURES (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern - No	Floodplain - <u>No</u>
Evidence of Erosion - No	Fish Habitat - <u>No</u>
Historical Assets - No	Mature Trees - Yes
Riparian Vegetation - No	Steep Slopes - No
Stream/Creek - No	Unstable Soils - <u>No</u>
Unique Animal Life - <u>No</u>	Unique Plant Life - <u>No</u>

Application Requirements:

(Applications are required to contain <u>one</u> copy of the following unless otherwise noted. **When combining** with other applications (Annexation, CUP, etc.) please include one paper copy for all applications)

Applicant		Staff
(√)	Description	(√)
	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting	
•	sign-in sheet. (Please contact the City for addresses & labels)	
	(Applicants are required to hold a neighborhood meeting to provide an opportunity for	
	public review of the proposed project prior to the submittal of an application.)	
	Completed and signed Preliminary Plat Application	
	Fee: Please contact the City for current fee. Fees may be paid in person with check or	
•	electronically with credit card. Please call City for electronic payment. Additional service	
	fee will apply to all electronic payments.	
	Narrative explaining the project. (must be signed by applicant)	
	Legal description of the property (word.doc and pdf version with engineer's seal)	
	Recorded warranty deed for the subject property	
	If the signature on this application is not the owner of the property, an original notarized	
·	statement (affidavit of legal interest) from the owner stating the applicant is authorized to	
	submit this application.	
	Approval of the proposed subdivision name from Ada County Surveyor's office.	
	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the	
	location of the subject property	
	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	
	Electronic copy in pdf. format of Preliminary Plat	
	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	
	Electronic copy in pdf. format of landscape plan	
	Electronic copy in pdf. format of preliminary site grading & drainage plans	
-	Phasing plan shall be included in the application if the project is to be phased.	

	Letter of earliestics from the level Dest Office commenders as all brown to earlie it is be-	
	Letter of authorization from the local Post Office approving mailbox delivery to subdivision	l
	including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	-
	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the	l
•	proposed development.	
	One (1) copy of names and addresses printed on address labels, of property owners within	
•	three hundred feet (300') of the external boundaries of the property being considered as	
	shown on record in the County Assessor's office. Please contact the City to request	
	addresses and labels.	
	Site report of the highest seasonal groundwater elevation prepared by a registered soils	
	scientist. (If requested by City Engineer)	l
	Special Flood Information – Must be included on Preliminary Plat and Application form.	
	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight design and	
•	location information. Streetlights shall meet all City "Dark Sky" requirements.	
	Written confirmation that a traffic impact study is not required and/or has been submitted	
	for review to Ada County Highway District/Canyon Highway District No. 4/Idaho	l
	Transportation Department (if applicable).	
. /	One (1) copy of the Electronic versions of submitted application including neighborhood	
•	meeting information, signed application, narrative, legal description, warranty deed, vicinity	l
	map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation	l
	district information, streetlight design & location, confirmation of a traffic impact study shall	
	be submitted in original pdf format (no scans for preliminary plat, landscape plans or	l
	grading and drainage plans) on a thumb drive only (no discs) with the files named with	l
	project name and plan type. We encourage you to also submit a colored version of the	l
	preliminary plat and/or landscape plan for presentation purposes prior to City Council.	l
	Signed Certification of Posting with pictures. (see attached posting requirements and	
	certification form) – To be completed by application after acceptance of application. Staff	
	will notify applicant of hearing and posting date.	
. /	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval.	
	Please contact SSWD for details.	

FEE REQUIREMENT:





August 18, 2022

City of Star PO Box 130 Star, ID 83669

RE: Narrative Letter for 10206 West State Street Lot Split

To whom it may concern,

Attached to this letter are application documents for a preliminary plat at 10206 West State Street, Star, Idaho. This application pertains to the northern 2.72 acres of Ada County parcel S0408438600. The property is currently zoned CBDPUD/DA in Ada County. The property is bounded by Rockbridge Subdivision to the north, unplatted land to the east, residential lots to the west, and State Highway 44 to the south. The subdivision to the north is zoned R-4, the lot to the east is zoned RUT, and the lot to the west is zoned C-2.

The northern 2.72 acres of the parcel are currently vacant. Water and sewer services will be provided by Star Sewer and Water District.

Upon creation of the parcel, it will be rezoned accordingly. The development plan is to rezone the parcel to residential and build three 10-unit townhomes. Access will be provided through a proposed private road.

Thank you in advance for your consideration and support. We look forward to working with the city staff.

Respectfully submitted,

Antonio M Conti, P.E., P.L.S.

Mh CC

LEGEND: SET 5/8" REBAR WITH PLASTIC CAP MARKED LS 18350

▲ FOUND MONUMENT AS NOTED

CALCULATED POINT - NOTHING FOUND OR SETB.O.B. BASIS OF BEARING

CP&F CORNER PERPETUATION AND FILING RECORD

— — — SUBJECT PARCEL
— — — PROPERTY LINE
— — — REFERENCE BOUNDARIES
— — — EASEMENT

PRELIMINARY PLAT DATA

TOTAL SITE AREA	4.77 ACRES
TOWNHOMES (30.6%)	1.46 ACRES
COMMERCIAL (39.0%)	1.86 ACRES
FUTURE RIGHT-OF-WAY (8.6%)	0.41 ACRES
COMMON AREA (21.8%)	1.04 ACRES
EXISTING ZONING	CBDPUD/DA
PROPOSED ZONING	CBDPUD/DA
TOWNHOME LOTS	30
COMMERCIAL LOTS	4
OPEN SPACE/COMMON LOTS	2
PRIVATE ROAD - FUTURE PUBLIC ROAD	1
TOTAL LOTS	37
GROSS RESIDENTIAL DENSITY	6.3 DU/ACRE
NET RESIDENTIAL DENSITY	20.5 DU/ACRE

(EXCLUDES COMMERCIAL, PUBLIC STREET & OPEN SPACE)

AMENUTIES

1. WALKING PATHWAYS, PLAYGROUND

NOTES

- 1. SANITARY SEWER AND DOMESTIC WATER SERVICES TO BE PROVIDED BY EXTENSION OF STAR SEWER & WATER DISTRICT SERVICES.
- 2. SUBJECT PROPERTY DOES NOT FALL WITHIN ANY FEMA FLOOD HAZARD ZONE SEE FIRM PANEL 16001C0130J DATED 06/19/2020.
- 3. LOTS 31, 32 AND 33 WILL HAVE A BLANKET INGRESS, EGRESS, AND PUBLIC UTILITY EASEMENT.
- THIS SUBDIVISION WILL BE SUBJECT TO THE TERMS OF A DEVELOPMENT AGREEMENT WITH THE CITY OF STAR.
 IRRIGATION WATER SHALL BE PROVIDED BY THE MIDDLETON IRRIGATION ASSOCIATION IN
- COMPLIANCE WITH IDAHO CODE 31-3805(B). COMMON LOTS WITHIN THE SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS AND WILL BE SUBJECT TO IRRIGATION WATER ASSESSMENTS.

 6. BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN
- COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS OF THE CITY OF STAR OR AS OTHERWISE APPROVED IN THE DEVELOPMENT AGREEMENT.
- LOTS 31 AND 32 ARE COMMON/OPEN SPACE LOTS TO BE OWNED AND MAINTAINED BY FIRST STREET TOWNHOMES HOME OWNERS ASSOCIATION OR ITS ASSIGNS.
- 8. LOT 33 IS INTENDED TO BE DEDICATED AS A PUBLIC ROAD IN THE FUTURE

OWNER OF RECORD

10206 WEST STATE STREET LLC
2001 N 20TH STREET
BOISE, ID 83702

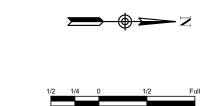
DEVELOPER
10206 WEST STATE STREET LLC
2001 N 20TH STREET
BOISE, ID 83702

ENGINEER/SURVEYOR
ANTONIO CONTI PE, PLS
ACKERMAN-ESTVOLD
7661 WEST RIVERSIDE DR., STE 102
GARDEN CITY, ID 83714

FIRST STREET TOWNHOMES SUBDIVISION

A PORTION OF THE SOUTHWEST 1/4 OF THE
SOUTHEAST 1/4 OF SECTION 8, T.4N., R. IW.,
CITY OF STAR, ADA COUNTY, IDAHO.

AUGUST 2022 SCALE: I" = 30' SHEET I OF I



Graphic Scal

Attention is Drawn to the Fact That Drawing Scales May be Altered During Reproduction Processes. Scales Shown Hereon are Based on a Full Scale Sheet Size of 24" x 36".

Scale: 1" = 30'





FIRST STREET TOWNHOMES SUBDIVISION 10206 W STATE STREET

DRAWN BY: KES CHECKED BY: AMO

DATE: 08/18/2022

REVISIONS

--/---# --/---

|--/---Project No. R21206

PRELIMINARY PLAT

1.0

PLANT SCHEDULE

EVERGREEN TREES

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AND SOURCE

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ANNUA PROPERTY OF THE PROPERTY

William William

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GROUND COVERS

GRASSES

ANNUALS/PERENNIALS BOTANICAL NAME

Acer rubrum 'Columnare'

Carpinus betulus 'Fastigiata'

Gleditsia triacanthos inermis 'Shademaster'

Liquidambar styraciflua 'Slender Silhouette'

Chamaecyparis nootkatensis 'Green Arrow'

Juniperus Scopulorum 'Blue Arrow'

Pinus flexilis 'Vanderwolf's Pyramid'

Pinus nigra 'Arnold Sentinel'

Berberis thunbergii 'Maria' TM

Cornus sericea 'Kelseyi'

Berberis thunbergii 'Orange Rocket'

Chamaecyparis pisifera 'Golden Mop'

Cotinus coggygria 'Atropurpurea'

Euonymus fortunei 'Moonshadow' TM

Euonymus fortunei 'Emerald Gaiety'

Euonymus kiautschovicus 'Manhattan'

Physocarpus opulifolius 'Summer Wine'

llex crenata 'Sky Pencil'

Mahonia aquifolium

Pinus mugo 'Pumilio'

Rhus aromatica 'Gro-Low'

Geranium x 'Tiny Monster'

Heuchera x 'Lime Rickey'

Hosta x 'Blue Angel'

Hosta x 'Fire and Ice'

Liatris spicata 'Alba'

Rudbeckia hirta fulgida

BOTANICAL NAME

BOTANICAL NAME

Turf Sod Rhizomatous

Salvia nemorosa 'May Night'

Hakonechloa macra 'All Gold'

Panicum virgatum 'Heavy Metal'

Pennisetum alopecuroides 'Hameln'

Pennisetum alopecuroides 'Little Bunny'

Helictotrichon sempervirens 'Blue Oats'

Nepeta x faassenii 'Junior Walker'

Spiraea betulifolia 'Tor Gold' TM

Euonymus alatus 'Compactus'

BOTANICAL NAME

Picea glauca 'Pendula'

Platanus x acerifolia 'Bloodgood'

Cedrus deodara 'Karl Fuchs'

BOTANICAL NAME

Crimson Sentry Maple

Pyramidal European Hornbean

loodgood London Plane Tree

Karl Fuchs Deodar Cedar

Green Arrow Nootka Cypress

Vanderwolf's Pyramid Pine

Arnold Sentinel Austrian Pine

Sunjoy Gold Pillar Japanese Barberry

Orange Rocket Japanese Barberry

Golden Mop Threadleaf False Cypress

Kelseyi Dogwood

Purple Smoke Tree

Dwarf Burning Bush

Emerald Gaiety Wintercreeper

Sky Pencil Japanese Holly

Gro-Low Fragrant Sumac

Glow Girl Birchleaf Spirea

Tiny Monster Geranium

Lime Rickey Coral Bells

Paprika Coral Bells

Plantain Lily

White Blazing Star

Black-eyed Susan

May Night Sage

COMMON NAME

Blue Oat Grass

Blue Switch Grass

COMMON NAME

lameln Dwarf Fountain Grass

Little Bunny Fountain Grass

hizomatous Tall Fescue

Burgundy Bunny Dwarf Fountain Grass 1 GAL.

Japanese Forest Grass

Junior Walker Catmint

Golden Privet

Oregon Grape

Dwarf Ninebark

COMMON NAME

COMMON NAME

Blue Arrow Juniper

Amelanchier x grandiflora 'Autumn Brilliance' | Autumn Brilliance Apple Serviceberry

Section 7, Item

In	Income -	la	T .
SIZE 2" CAL. B&B	MATURE SIZE HXW 25'X15'	CLASS Class I	QTY 12
3" CAL. B&B	60'x15'	Class II	13
2" CAL. B&B	20'x20'	Class I	6
2" CAL. B&B	45'X30'	Class II	8
2" CAL. B&B	60' x 30'	Class II	7
2" CAL. B&B	60,X8,	Class II	2
2" CAL. B&B	80' x 60'	Class II	3
SIZE	MATURE SIZE HXW	CLASS	QTY
10'-12' B&B	15'X10'		6
6'-8' B&B	20'x6'		2
5'-6' B&B	15'X4'		6
6' Min.	20'x6'		1
10'-12' B&B	25'X15'		3
6'-8' B&B	20'x6'		6
SIZE	MATURE SIZE HXW		
2 GAL.	4'X2'		16
2 GAL.	4'X2'		51
2 GAL.	3'X3'		32
5 GAL.	2'X3'		27
2 GAL.	12 ' X10'		10
5 GAL.	6'X6'		12
2 GAL.	3'X5'		39
2 GAL.	2'X3'		44
2 GAL.			45
2 GAL.	3'X3'		10
2 GAL.	8'x8'		6
5 GAL.	5'X5'		16
5 GAL.	5'X5'		38
2 GAL.	3.5'X3.5'		15
5 GAL.	5'X5'		17
2 GAL.	3'X6'		3
2 GAL.	3'X3'		48
SIZE 1 GAL.	MATURE SIZE HXW		39
1 GAL.	1'X1.5'		65
1 GAL.	1 71.5		53
2 GAL.	3'X6'		6
1 GAL.	1'X2'		35
1 GAL.	3'X1.5'		28
1 GAL.	1.5'X2.5'		12
1 GAL.	2'X2'		18
1 GAL.	2'X2'		125
SIZE	MATURE SIZE HXW		
1 GAL.	1'X2'		73
1 GAL.	3'X3'		82
1 GAL.	4'X2'		99
1 GAL.	2'X2'		9
1 GAL.	1'X1'		105
1 GAL.			17
	QTY		
	32,176 sf		
	<u> </u>		

KEYNOTES (#)---

PER STAR CITY CODE

1. EXISTING TREE- PRESERVE AND PROTECT

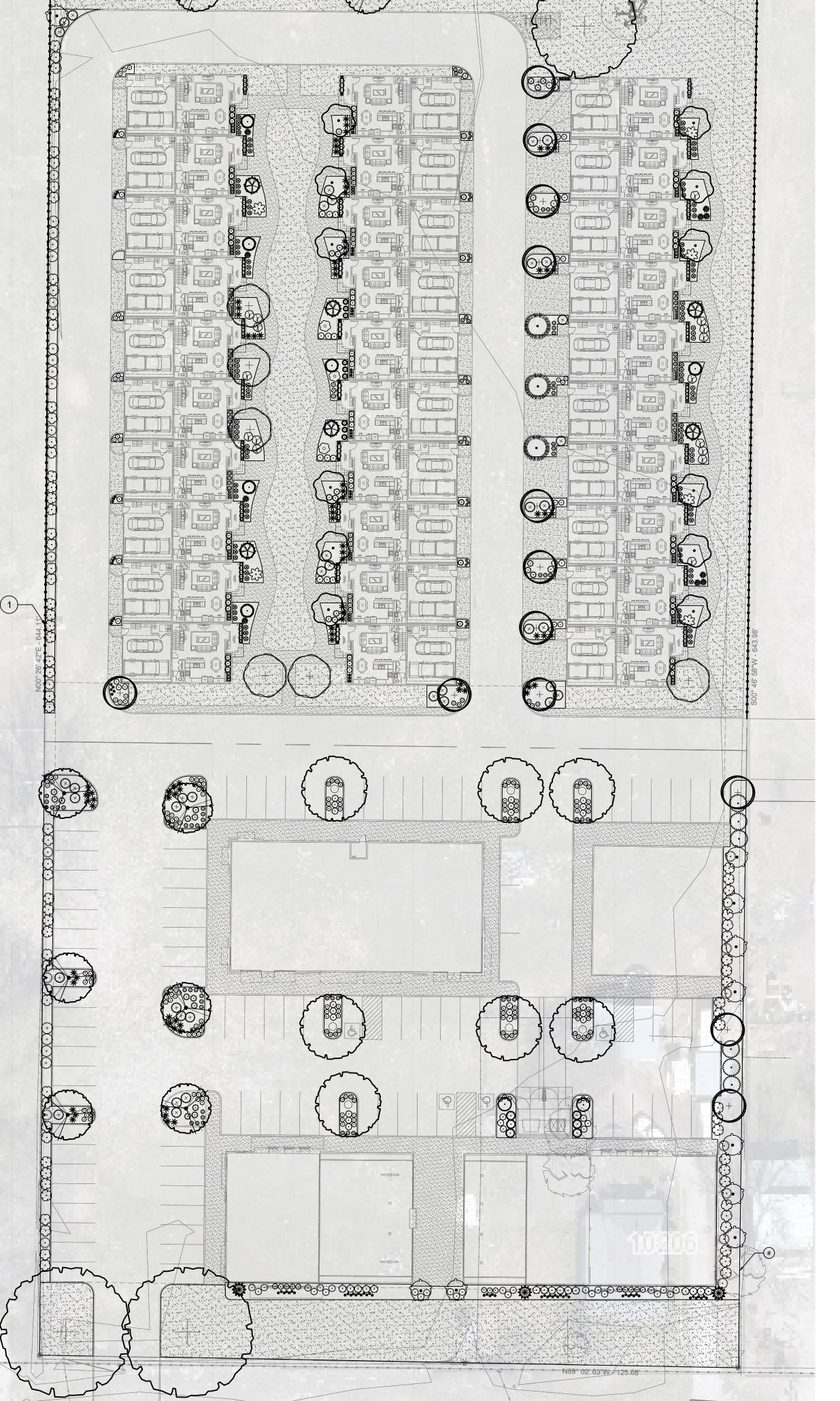
LANDSCAPE LEGEND

6' TALL WHITE VINYL FENCE- SEE DETAIL 5/L1.1

LANDSCAPE REQUIREMENTS:

REQUIREMENT RESIDENTIAL COMMON 1 Tree per 4,000 sq ft (400,049/4,000=10) RESIDENTIAL/COMMERCIAL BUFFER 10' BUFFER, 6' TALL SHRUBS WITH 60% EVERGREEN YES TREE MITIGATION (2) 30" TREES AND (1) 12" TREE MITIGATED WITH 36 DECIDUOUS TREES AND 14 EVERGREEN TREES (2 EVERGREEN=1 DECIDUOUS TO

MITIGATE TREES LOST)



S88° 57' 28"E - 324.79'



OVERALL LANDSCAPE PLAN

Scale 1" = 30'-0"

LANDSCAPE PLAN

alc - 21107

PLANT SCHEI	DULE COMMERCIAL					BRANCHE:	HOVE DEAD/DAMAGED ————————————————————————————————————
DECIDUOUS TREES	BOTANICAL NAME Acer rubrum 'Columnare'	COMMON NAME Columnar Red Maple	SIZE 3" CAL. B&B	MATURE SIZE HXW 60'x15'	CLASS Class II	5	
+						PF	NDARDS; IMPROPERLY PRUNED TREES (AS PROPERLY PREVAILING WIND DIRECTION
	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbean	2" CAL. B&B	45'X30'	Class II	LANDS	NDSCAPE ARCHITECT) ALL BE REMOVED AND RUBBER CINCH TIE
	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honey Locust	2" CAL. B&B	60' x 30'	Class II		REPLACED.
							RE POSITIVE DRAINAGE AY FROM TREE TRUNK 2" x 2" x 8" CEDAR STAKE - <u>DO NO</u> PENETRATE ROOTBALL. SEE NOTE 1.
$\overline{\bigcirc}$	Liquidambar styraciflua 'Slender Silhouette'	Columnar Sweet Gum	2" CAL. B&B	60'X8'	Class II	AND RO	O ROOT BALL. <u>DO NOT</u> SALL EARTHEN SAUCER TO RETAIN WATER. 7" THICK MILL OF PREVAILING
+	Platanus x acerifolia 'Bloodgood'	Bloodgood London Plane Tree	2" CAL. B&B	80' x 60'	Class II	R€MOV	MOVE BURLAP, TWINE, AWAY FROM TRUNK TO RETAIN WATER. 3" THICK MULCH LAYER, KEEP MULCH MULCH LAYER, KEEP MULCH MULCH LAYER, KEEP MULCH MULCH MULCH LAYER, KEEP MULCH M
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HXW	CLASS	TOP 1	OP 1/2 OF ROOTBALL, MOVE ALL NAILS, TIES, BACKFILL WITH SOIL PLANTING MIX.
O	Cedrus deodara 'Karl Fuchs'	Karl Fuchs Deodar Cedar	10'-12' B&B	15'X10'	02.433	4 A ROOTBAI BURLA	AND PLASTIC FROM OTBALL. IF SYNTHETIC URLAP IS UTILIZED TO
	Chamaecyparis nootkatensis 'Green Arrow'	Green Arrow Nootka Cypress	6'-8' B&B	20'x6'		SHALI	HAP THE ROOTBALL, IT SHALL BE COMPLETELY REMOVED. ONLY
\bigcirc	Juniperus Scopulorum 'Blue Arrow'	Blue Arrow Juniper	5'-6' B&B	15'X4'		SHALL	DEGRADEABLE BURLAP HALL BE LEFT ON THE DM OF THE ROOTBALL. COMMERCIAL SLOW RELEASE FERTILIZ TABLETS
	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	6'-8' B&B	15'X3'		12	14 ZX NOOTBALL DIAMETER -1
White State of the	Picea abies 'Cupressina'	Cupressina Norway Spruce	6'-8' B&B	20°x6°		NOTES:	
\odot	Tiosa asies capitossina			25 %		W	THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HXW		SE	WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOI SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
O	Berberis thunbergii 'Orange Rocket'	Orange Rocket Japanese Barberry	2 GAL.	4'X2'		3110 W,	O WAITER TREE TWICE WITHIN THE FIRST 24 HOURS.
♡	Chamaecyparis pisifera 'Golden Mop'	Golden Mop Threadleaf False Cypress	2 GAL.	3'X3'		34	CONIFER TREE DETAIL NTS
(•)	Cotinus coggygria 'Atropurpurea'	Purple Smoke Tree	2 GAL.	12'X10'		8	
(+)	Euonymus fortunei 'Moonshadow' TM	Moonshadow Euonymus	2 GAL.	3'X5'		25	5
\bigcirc	Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Wintercreeper	2 GAL.	2'X3'		16	
\odot	Euonymus kiautschovicus 'Manhattan'	Manhattan Euonymus	2 GAL.			23	3
+	Hydrangea paniculata 'Renhy'	Vanilla Strawberry Hydrangea	2 GAL.	6'X6'		4	January Page Page Page Page Page Page Page Page
0	Juniperus chinensis 'Daub's Frosted'	Daub's Frosted Juniper	2 GAL.	1.5'x5'		4	
*	Juniperus Scopulorum 'Blue Arrow'	Blue Arrow Juniper	6'-8' B&B	12'X3'		21	
(·)	Ligustrum vicaryi	Golden Privet	2 GAL.	8'x8'		3	
\odot	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	5 GAL.	5'X5'		35	5
	Physocarpus opulifolius 'Little Devil' TM	Dwarf Ninebark	2 GAL.	3.5'X3.5'		27	$\overline{7}$
, muce.	Pinus mugo 'Pumilio'	Mugo Pine	5 GAL.	5'X5'		12	2
an of the state of	Rhus aromatica 'Gro—Low'	Gro-Low Fragrant Sumac	2 GAL.	3'X6'		30	O TO THE REPORT OF THE PARTY OF
<u> </u>	Spiraea betulifolia 'Tor Gold' TM	Glow Girl Birchleaf Spirea	2 GAL.	3'X3'		12	
0		COMMON NAME	0175	MATURE CIZE LIVIN			
ANNUALS/PERENNIALS	BOTANICAL NAME Nepeta x faassenii 'Junior Walker'	COMMON NAME Junior Walker Catmint	SIZE 1 GAL.	MATURE SIZE HXW 1.5'X2.5'		36	6
	Salvia nemorosa 'May Night'	May Night Sage	1 GAL.	2'X2'		72	
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HXW			
O O	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 GAL.	4'X2'		6	
(+)	Calamagrostis x acutiflora 'Overdam'	Overdam Feather Reed Grass	1 GAL.	6'X2'		4	
*	Helictotrichon sempervirens 'Blue Oats'	Blue Oat Grass	1 GAL.	3'X3'		151	8
SALVE STATE	Panicum virgatum 'Heavy Metal'	Blue Switch Grass	1 GAL.	4'X2'		22	
GROUND COVERS	BOTANICAL NAME Turf Sod Rhizomatous	COMMON NAME Rhizomatous Tall Fescue		QTY 595 sf			

LANDSCAPE LEGEND

PLANTER POT — SEE DETAIL 4/L1.1.CONTRACTOR TO PLANT MIX OF ANNUALS AND PERENNIALS.

PLANTER POT — SEE DETAIL 4/L1.1. CONTRACTOR
TO PLANT ONE BLUE ARROW JUNIPER PER POT ____ ACCORDING TO PLANTING SCHEDULE.

LANDSCAPE REQUIREMENTS: PER STAR CITY CODE

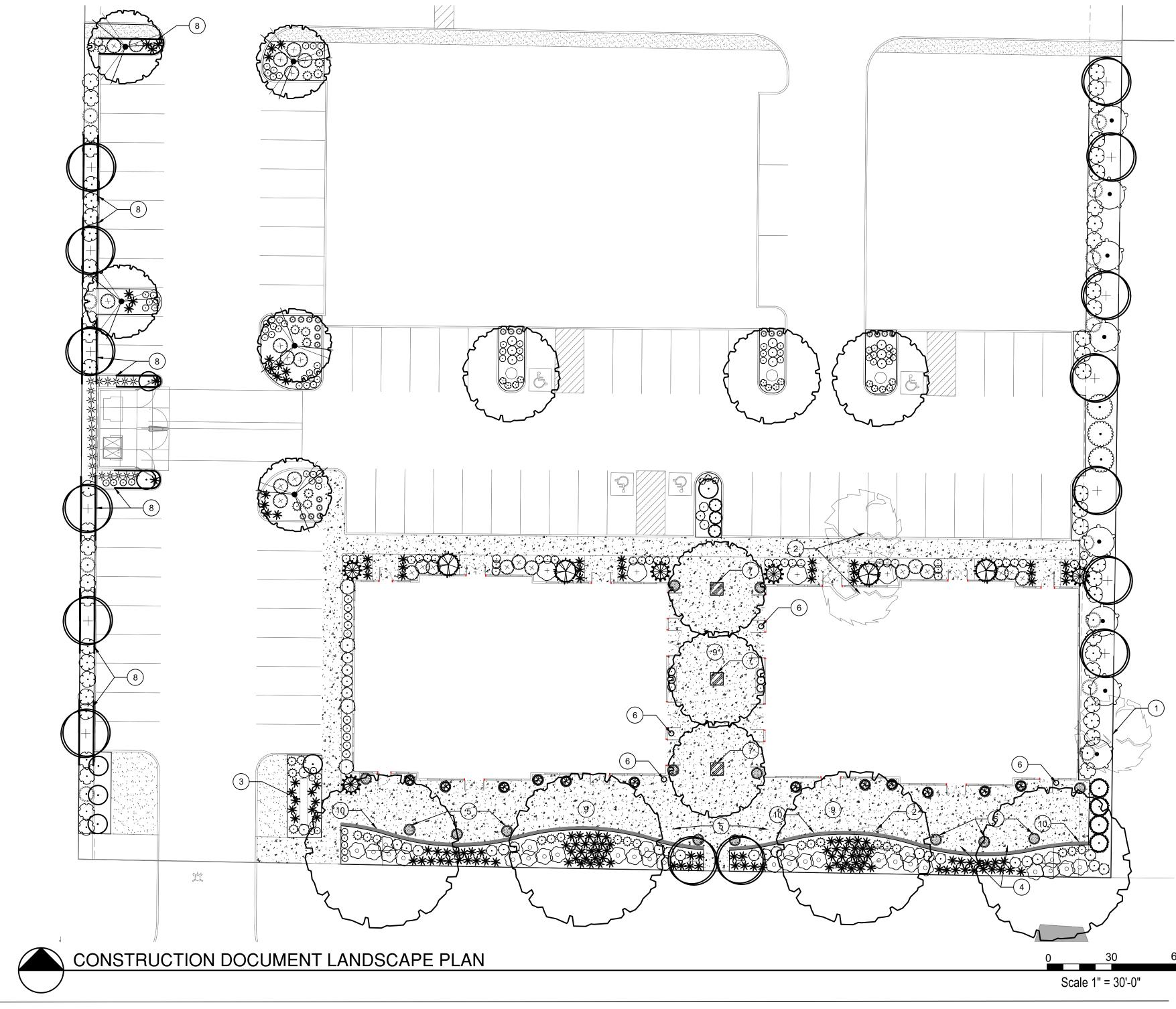
TREE MITIGATION

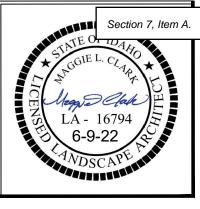
(2) 30" TREES AND (1) 12" TREE MITIGATED WITH 36 DECIDUOUS TRÉES AND 14 EVERGRÉEN TREES WITHIN ADJACENT TOWNHOUSE DEVELOPMENT (2 EVERGREEN=1 DECIDUOUS TO MITIGATE TREES

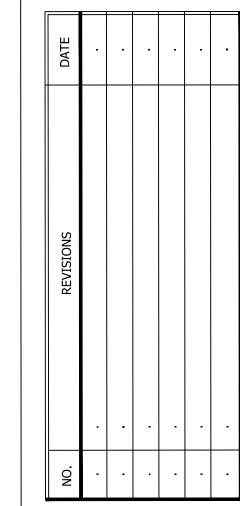
KEYNOTES

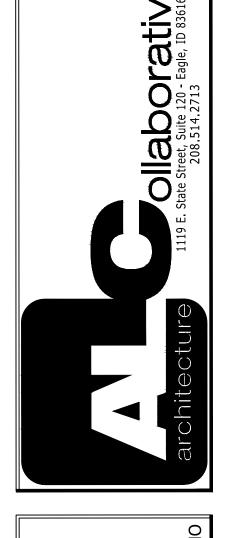
- EXISTING TREE— PRESERVE AND PROTECT.
 TREE TO REMOVE, NO MITIGATION REQUIRED.
 MONUMENT SIGN BY OTHERS
- 4. BENCH SEE DETAIL 6/L1.1.
- 5. PLANTER POT SEE DÉTAIL 4/L1.1.
- 6. TRASH RECEPTACLE SEE DETAIL 7/L1.1.
- TREE GRATE BY IRONAGE, 'RAIN' TYPE 4'X4' SQUARE. CONTACT RICH LEE 1-425-501-7321.
 ROOT CONTROL FABRIC PER CITY CODE. INSTALL PER MANUFACTURERS
- RECOMMENDATIONS. EXTEND 10' PAST THE TREE TRUNK ON EACH SIDE.

 9. STANDARD GRAY CONCRETE, 24" SQUARE SCORING AT DEG ANGLE OFF
- BUILDING. 10. 24" HIGH POURED IN PLACE CONCRETE WALL FACED WITH CULTURED STONE- SEE DETAIL 1/L1.1, TO MATCH BUILDING. SEE ARCHITECTURE.









.06 W. RETA

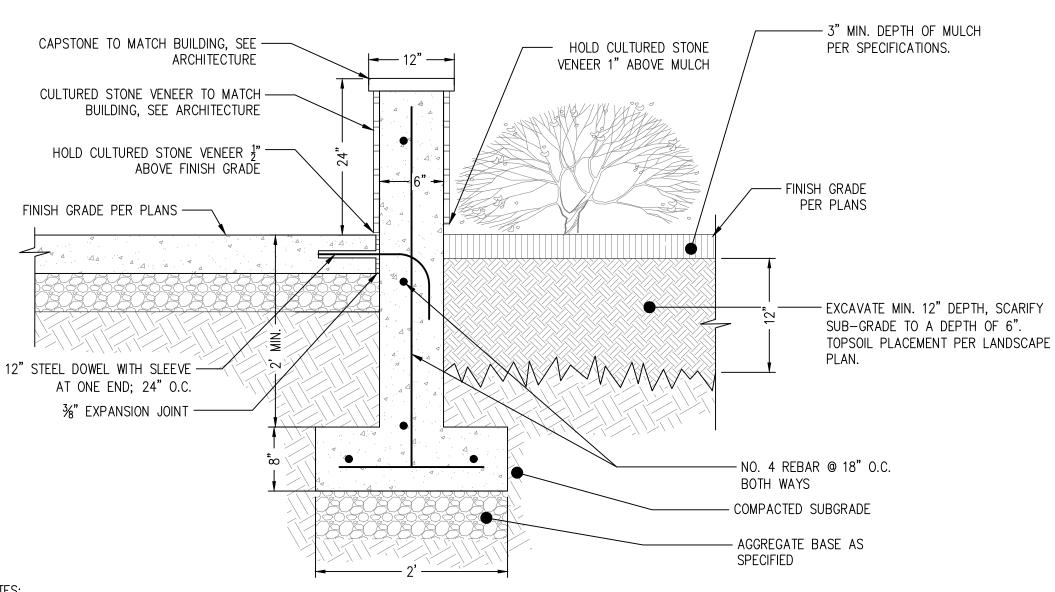
DRAWN BY: CHECKED BY: JOB # SUBMITTAL: --/--/--

GENERAL LANDSCAPE NOTES - AGENCY SUBMITTAL

- 1. CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD UTILITIES WITHIN CONTRACT WORK AREAS PRIOR TO CONSTRUCTION. CONTACT DIG LINE, INC. @ 1.800.342.1885. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
- 2. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN.
- 3. ALL TOPSOIL TO BE AMENDED AT A RATIO OF 3 CU. YDS. OF ORGANIC MATTER PER 1000 SQ. FT. ROTO-TILL ORGANIC MATER INTO THE TOP 6 INCHES OF TOPSOIL.
- 4. ALL SHRUB BEDS SHALL HAVE A MIN 12 INCHES OF TOPSOIL, ALL PLANTER ISLANDS SHALL HAVE MIN 12" TOPSOIL AND ALL LAWN AREAS SHALL HAVE MIN 6" TOPSOIL. SPREAD, COMPACT AND FINE GRADE SMOOTHLY TO 3 INCHES BELOW THE SURFACE OF WALKWAYS
- 5. FINISH GRADES ARE TO BE SMOOTH WITH POSITIVE DRAINAGE IN ACCORDANCE WITH THE GRADING PLAN.
- 6. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF ROCKS (LARGER THAN 2 INCHES), WEEDS, ROOTS, GRASS, OR OTHER FOREIGN MATERIAL THAT IS HARMFUL TO PLANT GROWTH. TOPSOIL SHALL HAVE A PH OF 5.5 TO 7.0.
- 7. WHERE POSSIBLE, RE-USE EXISTING SURFACE TOPSOIL FROM SITE. VERIFY TOPSOIL WILL MEET THE REQUIREMENTS AND AMEND AS NECESSARY. IMPORT WHEN EXISTING TOPSOIL QUANTITIES ARE INSUFFICIENT.
- 8. IF IMPORTING TOPSOIL FROM OFFSITE, OBTAIN FROM LOCAL SOURCES THAT HAVE SIMILAR SOIL CHARACTERISTICS TO THE PROJECT SITE. NEW TOPSOIL MUST BE FERTILE, FRIABLE, NATURAL LOAM, REASONABLY FREE OF SUBSOIL, CLAY CLUMPS, WEEDS, ROOTS, STONES LARGER THAN 1 INCH. REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY AND GENERAL TEXTURE. COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT.
- 9. ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH 3/4" MINUS BLACK AND TAN ROCK MULCH. INSTALL A PERMEABLE FABRIC WEED BARRIER UNDER MULCH. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED. STAPLE ALL EDGES 10' MAX.
- 10. TREES PLANTED IN PARK STRIPS TO BE CENTERED IN STRIP.
- 11. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT CONSENT FROM THE LANDSCAPE ARCHITECT.
- 12. CONTRACTOR SHALL STAKE ALL TREES NECESSARY TO PREVENT THEM FROM BEING BLOWN OVER.
- 13. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL REPLACE ALL PLANT MATERIAL FOUND DEAD OR UNHEALTHY IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- 14. FERTILIZE ALL TREES WITH 'AGRIFORM' PLANTING TABLETS. FOLLOW MANUFACTURER'S RECOMMENDATIONS.
- 15. CONTRACTOR IS RESPONSIBLE FOR THE IMMEDIATE CLEAN UP OF ANY TOPSOIL OR OTHER DEBRIS ON SITE CREATED FROM LANDSCAPE CONSTRUCTION OPERATIONS.

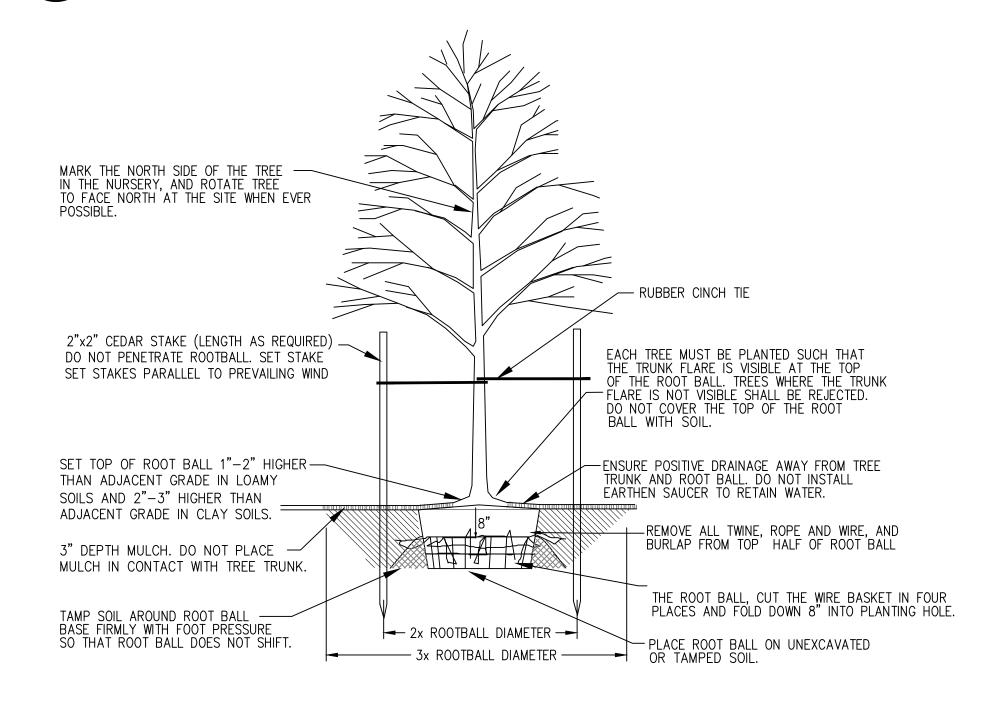
GENERAL IRRIGATION NOTES - AGENCY SUBMITTAL

- 1. ALL PLANT MATERIALS TO BE WATERED BY THE DEVELOPMENT OR SUBDIVISION PRESSURIZED IRRIGATION SYSTEM. IRRIGATION OF COMMON AREAS SHALL BE VIA THE SUBDIVISION'S PRESSURIZED IRRIGATION SYSTEM. PLANTING IN FRONTAGE BUFFERS SHALL BE IRRIGATED WITH DRIP TYPE IRRIGATION, EMITTER SIZES APPROVED BY LANDSCAPE ARCHITECT. IRRIGATION OF INDIVIDUAL LOTS AND LANDSCAPING ALONG THE FRONTAGE OF PRIVATE LOTS SHALL BE VIA METERED, POTABLE WATER AND THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.
- 2. COVERAGE; THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ONE HUNDRED PERCENT (100%) COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS
- 3. MATCHED PRECIPITATION RATES: SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL
- 4. IRRIGATION DISTRICTS: SPRINKLER HEADS IRRIGATING LAWN OR OTHER HIGH WATER DEMAND AREAS SHALL BE CIRCUITED SO THAT THEY ARE ON THE SEPARATE ZONE OR DISTRICT FROM THOSE IRRIGATING TREES, SHRUBS, OR OTHER REDUCED WATER DEMAND AREAS.
- 5. OVERSPRAY: SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS STREETS, SIDEWALKS, DRIVEWAYS, AND PARKING AREAS.



1. CULTURED STONE TO BE COBBLEFIELD IN 'TEXAS CREAM'. CAP MATERIAL TO BE BORAL FLAT CULTURED STONE WALL CAP 12"X20" IN "MOCHA" COLOR.

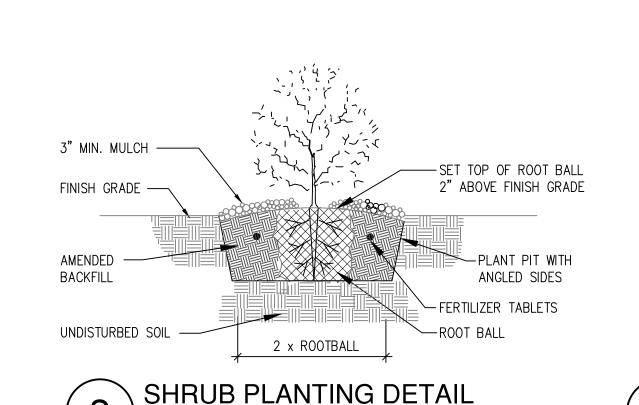
WALL DETAIL



1. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN AND DEAD BRANCHES. DO NOT PRUNE TERMINAL BUDS OF BRANCHES EXTENDING TO THE CROWN.

2. WRAP TREE TRUNKS ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.

3. STAKE TREES AS NECESSARY. STAKES MUST BE REMOVED WITHIN 12 MONTHS OF PLANTING. TREE PLANTING DETAIL





PLANTER DETAIL

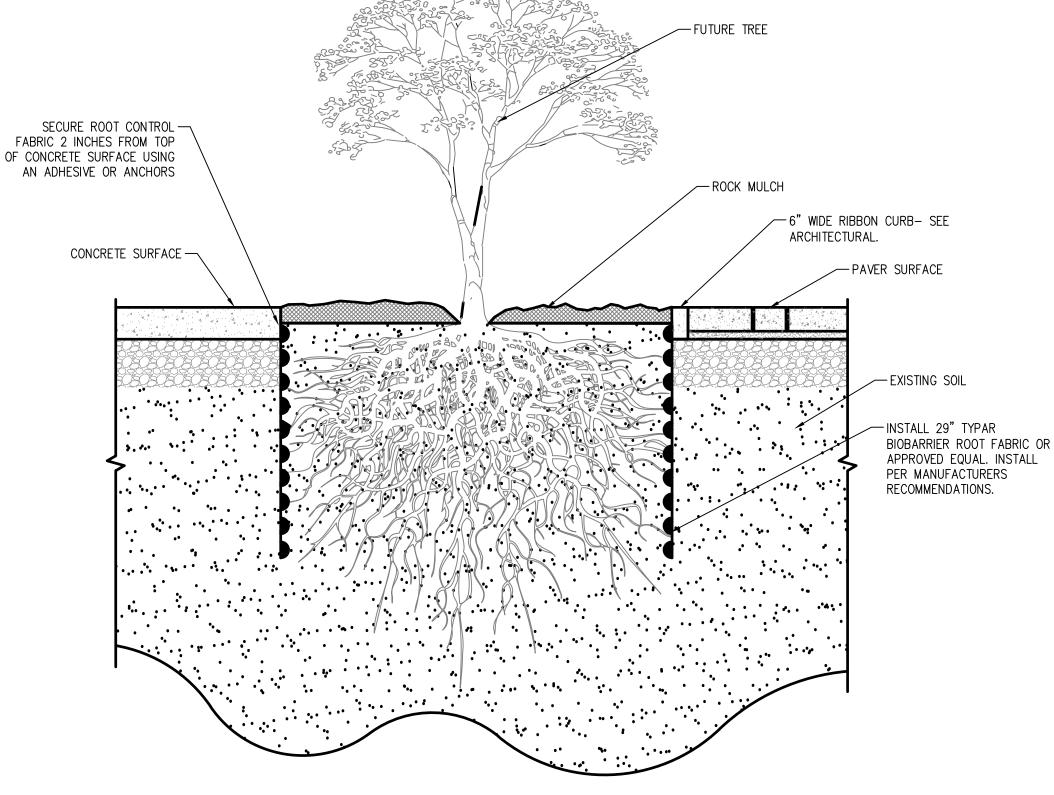
ROURNESOL DOWNTOWN COLLECTION, DS-4824 ROUND 42' DIA., 36" TALL, FIBERGLASS PLANTER. COLOR TO BE "SHADOW".

LOCATION NOTED ON PLAN.



MAGLIN 200 TRASH CONTAINER TO BE GLOSS BLACK IN COLOR. LOCATION NOTED ON PLAN.

TRASH RECEPTACLE DETAIL



ROOT CONTROL FABRIC DETAIL



BENCH DETAIL

NOTES:

1. MAGLIN 1200 BACKED BENCH, SEAT AND BACK MADE FROM HIGH DENSITY PAPER COMPOSITE IN "CHARCOAL' COLOR. 2. FRAME IS SOLID CAST ALUMINUM IN GLOSS BLACK COLOR.

3. LOCATION NOTED ON PLAN.

LANDSCAPE DETAILS

 \triangleleft

~ 0

DRAWN BY:

JOB #

CHECKED BY:

SUBMITTAL:

BDG

21107

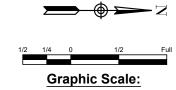
VG CONTAINS INFORMATION WHICH IS THE PROPRIETARY PROPERTY OF ALC ARCHITECTURE.)RIZED REUSE OR DUPLICATION OF THESE PLANS OR ANY INFORMATION CONTAINED HEREIN, IE EXPRESS WRITTEN CONSENT OF ALC ARCHITECTURE. NG IS NOT TO BE USED FOR CONSTRUCTION UNTIL IT IS SIGNED BY THE ARCHITECT. © ALC ARCHITECTURE

PRELIMINARY PLAT FOR

FIRST STREET TOWNHOMES SUBDIVISION

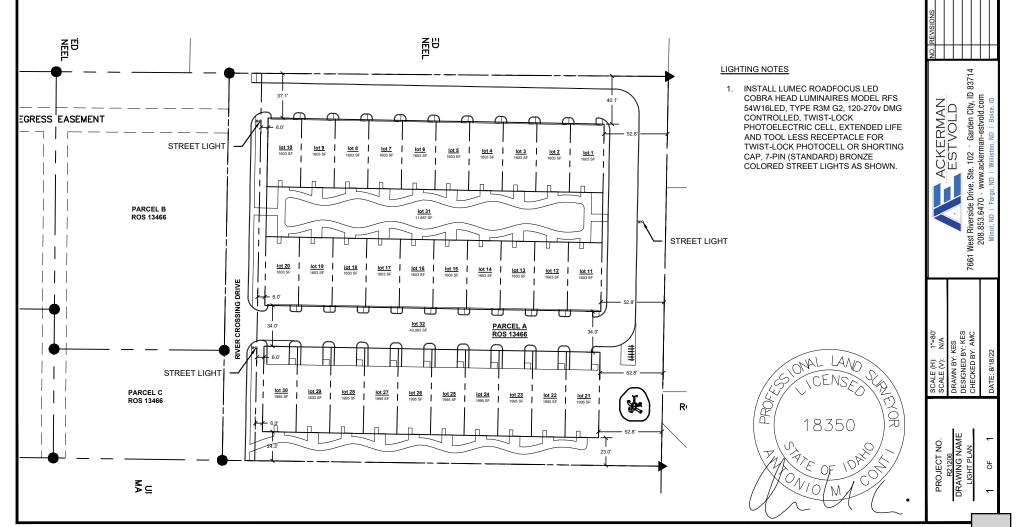
A PORTION OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, T.4N., R. I W., CITY OF STAR, ADA COUNTY, IDAHO.

AUGUST 2022 SCALE: I" = 80' SHEET I OF I



Attention is Drawn to the Fact That Drawing Scales May be Altered During Reproduction Processes. Scales Shown Hereon are Based on a Full Scale Sheet Size of 8.5" x 11".

Scale: 1" = 80'



FIRST STREET TOWNHOMES SUBDIVISION FIRST STREET TOWNHOMES SUBDIVISION FIRST STREET TOWNHOMES SUBDIVISION FIRST STREET TOWNHAFST 1/4 OF THE

PRELIMINARY PLAT DATA

TOTAL SITE AREA
TOWNHOMES (30.6%) 1.46 ACRES COMMERCIAL (39.0%) 1.86 ACRES ▲ FOUND MONUMENT AS NOTED FUTURE RIGHT-OF-WAY (8.6%) 0.41 ACRES COMMON AREA (21.8%) 1.04 ACRES **EXISTING ZONING** CBDPUD/DA CBDPUD/DA PROPOSED ZONING CP&F CORNER PERPETUATION AND FILING RECORD COMMERCIAL LOTS OPEN SPACE/COMMON LOTS

TOTAL LOTS

REFERENCE BOUNDARIES ____ EASEMENT

(EXCLUDES COMMERCIAL, PUBLIC STREET & OPEN SPACE)

PRIVATE ROAD - FUTURE PUBLIC ROAD

6.3 DU/ACRE

4.77 ACRES 1. SANITARY SEWER AND DOMESTIC WATER SERVICES TO BE PROVIDED BY EXTENSION OF STAR SEWER & WATER DISTRICT SERVICES

2. SUBJECT PROPERTY DOES NOT FALL WITHIN ANY FEMA FLOOD HAZARD ZONE - SEE FIRM

5. IRRIGATION WATER SHALL BE PROVIDED BY THE MIDDLETON IRRIGATION ASSOCIATION IN

6. BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN

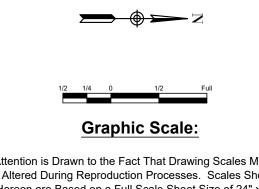
7. LOTS 31 AND 32 ARE COMMON/OPEN SPACE LOTS TO BE OWNED AND MAINTAINED BY

OWNER OF RECORD 10206 WEST STATE STREET LLC 2001 N 20TH STREET BOISE, ID 83702

DEVELOPER 10206 WEST STATE STREET LLC 2001 N 20TH STREET BOISE, ID 83702

SOUTHEAST 1/4 OF SECTION 8, T.4N., R. I W., CITY OF STAR, ADA COUNTY, IDAHO.

AUGUST 2022 SCALE: I" = 30' SHEET I OF I



Attention is Drawn to the Fact That Drawing Scales May be Altered During Reproduction Processes. Scales Shown Hereon are Based on a Full Scale Sheet Size of 24" x 36". Scale: 1" = 30'

Additional Guest Parking to be included as part of CZC/Design Reveiw N BALDY LANE - PRIVATE 25.0' INGRESS, EGRESS **N BALDY LANE - PRIVATE** 1603 SF 1603 SF _ 20.0' INGRESS, EGRESS & UTILITY EASEMENT <u>lot 34</u> 26,797 SF MMLMM PARCEL A ROS 13466 <u>lot 35</u> 10,417 SF

_20' driveway depths to be provided

|--/--/ # --/--/----

PRELIMINARY

Project No. R21206

CHECKED BY: AM DATE: 08/18/2022

UBDI

STREET

FIRST

DRAWN BY: KES

REVISIONS

--/--/----

LEGEND:

SET 5/8" REBAR WITH PLASTIC CAP MARKED LS 18350

O CALCULATED POINT - NOTHING FOUND OR SET B.O.B. BASIS OF BEARING

— – – SUBJECT PARCEL

1. WALKING PATHWAYS, PLAYGROUND

GROSS RESIDENTIAL DENSITY

NET RESIDENTIAL DENSITY

OTHERWISE APPROVED IN THE DEVELOPMENT AGREEMENT.

FIRST STREET TOWNHOMES HOME OWNERS ASSOCIATION OR ITS ASSIGNS.

8. LOT 33 IS INTENDED TO BE DEDICATED AS A PUBLIC ROAD IN THE FUTURE

ENGINEER/SURVEYOR ANTONIO CONTI PE, PLS ACKERMAN-ESTVOLD 7661 WEST RIVERSIDE DR., STE 102 GARDEN CITY, ID 83714



August 19, 2022

Austin Alexander 3210 27th Street West, Suite 200 Williston, Nd 58801 701.577.4127 Austin.Alexander@ackerman-estvold.com

Subject: Delivery Method Approval

Austin,

Thank you for contacting the Postal Service to established delivery to the State Street Townhomes on the north side of W State St, between N Taurus Way and N Seneca Springs Way. I am authorizing the developer to place cluster box units at point A on the attached map to provide enough CBUs for the entirety of the development in all of its phases. The location will be on the north side of River Crossing Dr and should be facing south and accessible for the road.

Please keep in mind when ordering your cluster boxes from the manufacturer we request that you ask them to number the boxes consecutively. As an example, we would want the boxes to be labeled 1-90 as opposed to multiple units repeatedly numbered 1-16. We also request that the Parcel Lockers on the units also be numbered consecutively, so if there are five CBU units needed for the development, and there were two parcel lockers per unit, then the parcel lockers would be numbered 1 through 10. If the CBUs are not numbered correctly, we may refuse to deliver until the numbering has been corrected.

Thank you for your assistance.

Mel Norton Postmaster, Star

Mel Norton Postmaster 10780 W State St Star ID 83669-9998 Phone: 208-286-7304 1445 N. Orchard St. Boise ID 83706 • (208) 373-0550



Brad Little, Governor Jess Byrne, Director

January 5, 2023

Shawn I. Nickel
Planning Director & Zoning Administrator
City of Star
P.O. Box 130
10769 W. State St.
Star, ID 83669
snickel@staridaho.org

Subject: First Street Townhomes Subdivision, PP-22-16, PR-22-07

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

 Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality
permit to construct prior to the commencement of construction or modification of any
facility that will be a source of air pollution in quantities above established levels. DEQ
asks that cities and counties require a proposed facility to contact DEQ for an applicability
determination on their proposal to ensure they remain in compliance with the rules.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

2. WASTEWATER AND RECYCLED WATER

 DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.

Section 7, Item A.

- and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require
 preconstruction approval. Recycled water projects and subsurface disposal projects
 require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: https://www.deq.idaho.gov/water-quality/drinking-water/. For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use
 management plan which addresses the present and future needs of this area for
 adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for
 further discussion and recommendations for plan development and implementation.
 - For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant
 Discharge Elimination System (IPDES) Permit. A Construction General Permit from DEQ
 may be required if this project will disturb one or more acres of land, or will disturb less
 than one acre of land but are part of a common plan of development or sale that will
 ultimately disturb one or more acres of land.
- For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate
 construction best management practices (BMPs) to assist in the protection of Idaho's
 water resources. Additionally, please contact DEQ to identify BMP alternatives and to
 determine whether this project is in an area with Total Maximum Daily Load stormwater
 permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- Solid Waste. No trash or other solid waste shall be buried, burned, or otherwise disposed of
 at the project site. These disposal methods are regulated by various state regulations
 including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06),
 Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for
 the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are
 also defined in the Solid Waste Management Regulations and Standards
- Hazardous Waste. The types and number of requirements that must be complied with under the federal Resource Conservations and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.

Section 7, Item A.

- Water Quality Standards. Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- Ground Water Contamination. DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/ for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the
 following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal
 facilities, composted waste, and ponds. Please contact DEQ for more information on any of
 these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,

Aaron Scheff

Regional Administrator

c:

2021AEK

Communities in Motion 2050 Development Check

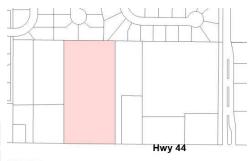
Section 7, Item A.

The Community Planning Association of Southwest Idaho (COMPASS) is the metropolitan planning organization (MPO) for Ada and Canyon Counties. COMPASS has developed this review as a tool for local governments to evaluate whether land developments are consistent with the goals of Communities in Motion 2050 (CIM 2050), the regional long-range transportation plan for Ada and Canyon Counties. This checklist is not intended to be prescriptive, but rather a guidance document based on CIM 2050 goals.

Development Name: First Street Townhomes Subdivision

CIM Vision Category: Existing Neighborhood **New Jobs:** 37

CIM Corridor: State Highway 44 **New Households:** 30





Safety

Level of Stress measures how safe and comfortable a bicyclist or pedestrian would feel on a corridor and considers multimodal infrastructure number of vehicle lanes and travel speeds.

Pedestrian level of stress

caestrial level of stress

Bicycle level of stress



Economic Vitality

These tools evaluate whether the location of the proposal supports economic vitality by growing near existing public services.

Activity Center Access



Farmland Preservation



Net Fiscal Impact



Within CIM Forecast





Convenience

Residents who live or work less than 1/2 mile from critical services have more transportation choices, especially for vulnerable populations

Nearest bus stop

 \bigotimes

Nearest public school

Nearest public park



Quality of Life

Checked boxes indicate that additional information is attached.

Active Transportation

Automobile Transportation

Public Transportation

Roadway Capacity



Improves performance



Does not improve or reduce performance



Reduces performance

Comments: The COMPASS Transportation Improvement Program (TIP) identified State Highway 44 (State Street) from Star Road to State Highway 16 to have an additional travel lane constructed in both directions (Key 20574). State Street is also listed as a future secondary transit route in the COMPASS Complete Network Policy. The project's proposed higher density is supportive of transit.

Communities in Motion 2050 2020 Change in Motion Report Development Review Process

Web: www.compassidaho.org Email: info@compassidaho.org



Sent: 12/20/22

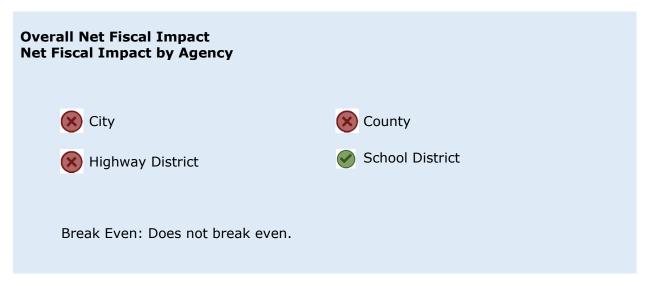
Section 7, Item A.

Fiscal Impact Analysis Supplemental for the Development Review Checklist

The purpose of the fiscal impact analysis is to better estimate expected revenues and costs to local governments as a result of new development so that the public, stakeholders, and the decision- makers can better manage growth. Capital and operating expenditures are determined by various factors that determine service and infrastructure needs, including persons per household, student generation rates, lot sizes, street frontages, vehicle trip and trip adjustment factors, average trip lengths, construction values, income, discretionary spending, and employment densities.

The COMPASS Development Checklist considers the level of fiscal benefits, how many public agencies benefit or are burdened by additional growth, and how long the proposal will take to achieve a fiscal break-even point, if at all.

More information about the COMPASS Fiscal Impact Tool is available at: www.compassidaho.org/prodserv/fiscalimpact.htm



Section 7, Item A.



IDAHO TRANSPORTATION DEPARTMENT

P.O. Box 8028 • Boise, ID 83707-2028 (208) 334-8300 • itd.idaho.gov

January 6, 2023

City of Star Shawn Nickels, P&Z Administrator 10769 W State St Star, ID 83669

Re: First Street Townhomes Subdivision, File No. PP-22-16 & PR-22-07

Dear Mr. Nickels,

Idaho Transportation Department (ITD) appreciates this opportunity to provide comments regarding the First Street Townhouse Subdivision located at 10206 W State Street, Star, Idaho. The application is for 30 residential lots, 4 commercial lots, and 3 common lots on 4.77 acres.

- 1. This project abuts State Highway 44 (SH-44).
- 2. Traffic generation numbers were not provided with this application. ITD needs more information on the trip generations to determine what mitigations, if any, that the applicant may be required to construct on the State Highway system. If the new development generates 100 or more new trips in the peak hour or 1,000 new trips in a day, a Traffic Impact Study (TIS) is required. Mitigations identified by the Traffic Impact Study shall be the responsibility of the applicant.
- 3. Approach Permit application and fee must be submitted with the TIS. The TIS will not be placed in the queue for review until the permit application is received.
- 4. Any addition, modification, change use, relocation, maintaining, or removal of encroachment of the state highway or use of highway right-of-way for any purpose other than normal travel, shall obtain an Encroachment Permit to use state right-of-way.
- 5. Idaho Code 40-1910 does not allow advertising within the right-of-way of any State highway.
- 6. The Idaho Administrative Procedures Act (IDAPA) 39.03.60 governs advertising along the State highway system. The applicant may contact Justin Pond, Program Manager for ITD's Headquarters Right-of-Way Section at (208) 334-8832 for more information.

ITD reserves the right to make further comments upon review of a submitted TIS or other documents.

Sincerely,

Wendy I. Howell

ITD - District 3

Development Services Coordinator



Project/File: First Street Townhomes Subdivision / SPP22-0015 / PP-22-16, PR-22-07

This is a preliminary plat and private street approval application consisting of 30

townhomes, 4 commercial lots, and 3 common lots on 4.77 acres.

Lead Agency: City of Star

Site address: 10206 W State Street

Staff Approval: January 13, 2023

Applicant: Ackerman-Estvold

Antonio Conti

7661 W. Riverside Dr., Ste 102 Garden City, Idaho 83714

Staff Contact: Brandon Atchley

Phone: (208) 387-6294

E-mail: batchley@achdidaho.org



A. Findings for Fact

1. **Description of Application:** The Applicant is seeking approval of a Preliminary Plat and five Private Streets on a 4.77-acre parcel for a proposed residential subdivision consisting of 30 residential lots, 4 commercial lots, and 3 common lots located at 10206 State Street in Star, Idaho.

The parcel is currently zoned as Central Business District according to the 2022 City of Star Comprehensive Plan Future Land Use Map.

2. Description of Adjacent Surrounding Area:

Direction	Land Use	Zoning
North	Single-family residential	Neighborhood Residential (3-5 DU/AC)
South	Commercial	Central Business District
East	Undeveloped/vacant	Central Business District
West	Commercial	Central Business District

- **3. Site History:** ACHD staff/Commission previously reviewed this site as Whitener / Star20-0001 in March 2020. The requirements of this staff report are consistent with those of the prior action.
- **4. Adjacent Development:** The following developments are pending or underway in the vicinity of the site:
 - State & Seneca Springs Way, an 8,400 square-foot commercial building with potential drivethru located description, location 450 feet east of the site, with an ACHD Staff Report issued in July 2020

- **5. Transit:** Transit services are not available to serve this site.
- **6. Pathway Crossings:** United States Access Board R304.5.1.2 Shared Use Paths. In shared use paths, the width of curb ramps runs and blended transitions shall be equal to the width of the shared use path.

AASHTO's Guidelines for the Development of Bicycle Facilities 5.3.5 Other Intersection Treatments: The opening of a shared use path at the roadway should be at least the same width as the shared use path itself. If a curb ramp is provided, the ramp should be the full width of the path, not including any flared sides if utilized. . . . Detectable warnings should be placed across the full width of the ramp.

FHWA's "Designing Sidewalks and Trails for Access" (1999) reflected common ADA-related concepts: Chapter 6, Page 16-6: The width of the ramp should be at least as wide as the average width of the trail to improve safety for users who will be traveling at various speeds. In addition, the overall width of the trail should be increased, so the curb ramp can be slightly offset to the side. The increased width reduces conflict at the intersection by providing more space for users at the bottom of the ramp.

- New Center Lane Miles: The proposed development includes 0 centerline miles of new public road.
- 8. Impact Fees: There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.
- 9. Capital Improvements Plan (CIP) / Integrated Five Year Work Plan (IFYWP):

There are no roadways, bridges or intersections in the general vicinity of the project that are in the Integrated Five Year Work Plan (IFYWP) or the District's Capital Improvement Plan (CIP).

10. Roadways to Bikeways Master Plan: ACHD's Roadways to Bikeways Master Plan (BMP) was adopted by the ACHD Commission in May of 2009 and was update in 2018. The plan seeks to implement the Planned Bicycle Network to support bicycling as a viable transportation option for Ada County residents with a wide range of ages and abilities, maintain bicycle routes in a state of good repair in order to ensure they are consistently available for use, promote awareness of existing bicycle routes and features and support encouragement programs and to facilitate coordination and cooperation among local jurisdictions in implementing the Roadways to Bikeways Plan recommendations.

The BMP identifies SH-44 as Level 2 facilities that will be constructed as part of a future project.

B. Traffic Findings for Consideration

1. **Trip Generation:** This development is estimated to generate 5,764 additional vehicle trips per day (9 existing), 443 additional vehicle trips per hour in the PM peak hour (1 existing), based on the Institute of Transportation Engineers Trip Generation Manual, 11th edition.

2. Condition of Area Roadways

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification		PM Peak Hour Level of Service
**State Highway 44 State Street	320-feet	Principal Arterial	568	N/A

^{**} ACHD does not set level of service thresholds for State Highways.

3. Average Daily Traffic Count (VDT)

Average daily traffic counts are based on ACHD's most current traffic counts.

• The average daily traffic count for SH 44 east of Star Road was 14,378 on July 14, 2021.

C. Findings for Consideration

1. State Highway 44 / State Street

SH-44 is under the jurisdiction of the Idaho Transportation Department (ITD). The applicant, City of Star, and ITD should work together to determine if additional right-of-way or improvements are necessary on SH-44.

2. Private Roads

- a. **Private Road Policy:** District policy 7212.1 states that the lead land use agencies in Ada County establish the requirements for private streets. The District retains authority and will review the proposed intersection of a private and public street for compliance with District intersection policies and standards. The private road should have the following requirements:
 - Designed to discourage through traffic between two public streets,
 - Graded to drain away from the public street intersection, and
 - If a private road is gated, the gate or keypad (if applicable) shall be located a minimum of 50-feet from the near edge of the intersection and a turnaround shall be provided.
- b. Applicant Proposal: The applicant is proposing to construct one 25-foot wide private road, one 37-foot wide private road, and three 24-foot wide private roads/drive aisles within the site. The applicant is also proposing two 20-foot wide drive aisles to serve the commercial lots. The 37-foot wide east-west private road is labeled as a future public street on the preliminary plat, and is reserving 56-feet of right-of way for the potential for a future reclassification as a public local road.
- c. Staff Comments/Recommendations: If the City of Star approves the private roads, the applicant shall be required to pave the private roadway a minimum of 20 to 24-feet wide and at least 30-feet into the site beyond the edge of pavement of all public streets and install pavement tapers with 15-foot curb radii abutting the existing roadway edge. If private roads are not approved by the City of Star, the applicant will be required to revise and resubmit the preliminary plat to provide public standard local streets in these locations.

Street names and stop signs are required for the private roads. The signs may be ordered through the District. Verification of the correct, approved name of the road is required.

ACHD does not make any assurances that the private roads, which are a part of this application, will be accepted as a public road if such a request is made in the future. Substantial redesign and reconstruction costs may be necessary in order to qualify this road for public ownership and maintenance.

The following requirements must be met if the applicant wishes to dedicate the roadway to ACHD:

- Dedicate a minimum of 50-feet of right-of-way for the road.
- Construct the roadway to the minimum ACHD requirements.
- Construct a stub street to the surrounding parcels.

Although it may be applicant's intent to dedicate the east-west private road as public street in the future, there is no guarantee that this will occur or that the private road would be accepted as a public street in the future. The applicant should remove all references to future public streets and right-of-way on the plat.

3. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

4. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

D. Site Specific Conditions of Approval

- 1. Pave the private roads/drive aisles its full width and at least 30-feet into the site beyond the edge of pavement of SH-44.
- 2. Install street names and stop signs for the private roads/drive aisles. The signs may be ordered though the District. Verification of the correct, approved names of the road are required.
- 3. Remove all references to future public streets and right-of-way on the final plat.
- **4.** Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
- **5.** Payment of impact fees is due prior to issuance of a building permit.
- **6.** Comply with all Standard Conditions of Approval.

E. Standard Conditions of Approval

- 1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
- 2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
- 3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
- **4.** Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
- **5.** A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
- **6.** All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.

- 7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
- **8.** Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
- **9.** All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
- **10.** Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
- 11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
- 12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

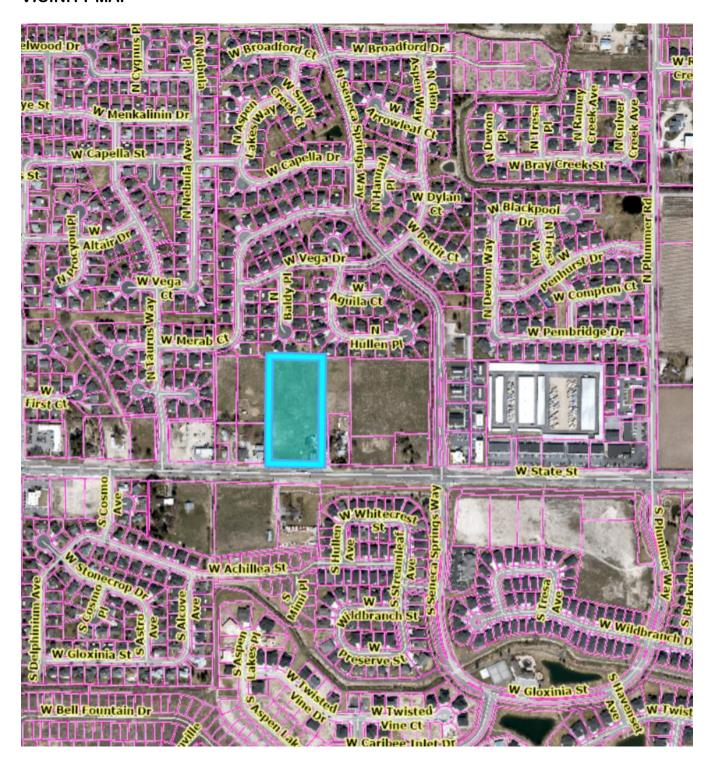
F. Conclusions of Law

- 1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
- 2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

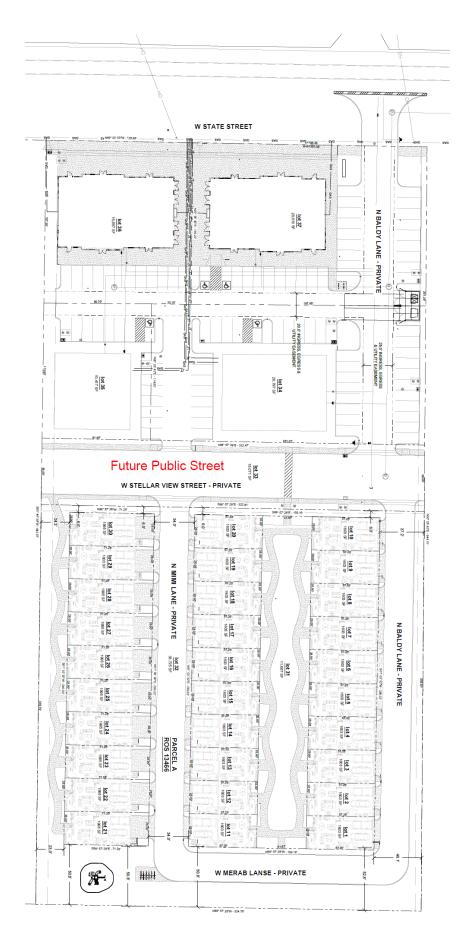
G. Attachments

- 1. Vicinity Map
- 2. Site Plan
- 3. Utility Coordinating Council
- 4. Development Process Checklist
- 5. Request for Appeal Guidelines

VICINITY MAP



SITE PLAN



Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) Plan Review: The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) Final Notification: The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Development Process Checklist

Items Completed to Date:

Submit a development application to a City or to Ada County
☑The City or the County will transmit the development application to ACHD
☐ The ACHD Planning Review Section will receive the development application to review
☑The Planning Review Section will do <u>one</u> of the following:
Send a "No Review" letter to the applicant stating that there are no site specific conditions of approval at this time.
⊠Write a Staff Level report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
⊠Write a Commission Level report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
Items to be completed by Applicant:
☐For ALL development applications, including those receiving a "No Review" letter:
 The applicant should submit one set of engineered plans directly to ACHD for review by the Development Review Section for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
 The applicant is required to get a permit from Construction Services (ACHD) for <u>ANY</u> work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.
DID YOU REMEMBER: Construction (Non-Subdivisions) □ Driveway or Property Approach(s) • Submit a "Driveway Approach Request" form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.
☐ Working in the ACHD Right-of-Way
 Four business days prior to starting work have a bonded contractor submit a "Temporary Highway Use Permit Application" to ACHD Construction – Permits along with: a) Traffic Control Plan b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50' or you are placing >600 sf of concrete or asphalt.
 Construction (Subdivisions) Sediment & Erosion Submittal At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.
☐ Idaho Power Company • Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.
☐ Final Approval from Development Services is required prior to scheduling a Pre-Con.

Request for Appeal of Staff Decision

- 1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. Filing Fee: The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. Initiation: An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. Time to Reply: The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. Notice of Hearing: Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. Action by Commission: Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.



STAR FIRE PROTECTION DISTRICT

DATE:

February 3, 2023

TO:

City of Star – Planning and Zoning

FROM:

Victor Islas, Deputy Chief

SUBJECT:

Fire District Review

PROJECT NAME:

First Street Townhomes Subdivision

Files: PP-22-16 & PR-22-07

Fire District Summary Report:

1. <u>Overview</u> This development can be serviced by the Star Fire Protection District. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.

- 2. <u>Fire Response Time:</u> This development will be served by the Star Fire Protection District Station 51, located at 11665 W. State St., Star, Idaho 83669. Station 51 is 0.9 miles with a travel time of 3 minutes under ideal driving conditions.
- 3. Side Setback: Side Setback as per Star City Code.
- 4. Accessibility: Roadway Access, Traffic, Radio Coverage
 - a. Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.
 - i. Fire District will require 28ft drivable surface for the private road with no parking signs as indicated in Appendix D of the IFC.
 - ii. Autoturn modles are required to verify radius.
 - b. Access road design shall be designed and constructed to allow for evacuation simultaneously with emergency response operations.
 - c. All access roads in this development shall remain clear and unobstructed during construction of the development. Additional parking restrictions may be required as to always maintain access for emergency vehicles. Hydrants shall always remain unobstructed per city code.
 - d. Traffic calming devices will require approval by the Fire District
 - e. An unobstructed vertical clearance of no less than 13 feet 6 inches shall be always maintained.
 - f. One- or two-family dwelling residential developments: Developments of one- or two-family dwellings where the number of dwelling units exceeds 30 shall provide with at least two separate and approved fire apparatus access roads.
 - i. The current main entrance will work for the first 30 building permits.
 - g. It shall be the responsibility of the developer and or HOA to maintain clearance of access roads all year around. This shall include but not limited to snow removal and vehicles.



STAR FIRE PROTECTION DISTRICT

- h. The applicant shall work with Ada County, City of Star and Star Fire Protection District to provide an address identification plan and signage which meets the requirements set forth by each agency. Addressing shall be placed in a position that is plainly legible and visible from the street or road fronting the property, as set forth in International Fire Code Section 505.1
- i. All residential, commercial, and industrial buildings within the City shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. When required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response.
- j. Address numbers shall have a minimum stroke width of one-half inch (0.5"), and of a color contrasting with the background. The required height of each address number shall be calculated by the distance of the addressed building from the road, as follows:

Less than one hundred feet (100')	6"
one hundred feet to one hundred fifty feet (100 - 150')	8"
one hundred fifty-one feet to two hundred feet (151 - 200')	10"
two hundred one feet to two hundred fifty-one feet (201 - 251')	12"

- k. Upon commencement of initial construction of a new structure, a clear visible freestanding sign or post hall be erected and maintained in place until the permanent address numerals are attached or otherwise displaced upon the premises at completion.
- 5. <u>Water Supply:</u> Water supply requirements will be followed as described in Appendix B of the 2018 International Fire Code unless agreed upon by the Fire District.
 - a. Fire Sprinklers: This project will require that all buildings be equipped with residential sprinkler system.
 - b. Water Supply: Acceptance of the water supply for fire protection will be by the Fire District and water quality by Star Sewer & Water for bacteria testing.
 - c. Water Supply: Final Approval of the fire hydrant locations shall be by the Star Fire Protection District or their designee in accordance with International Fire Code Section (IFC) 508.5.4 as follows:
 - i. Fire hydrants shall have a locking Storz LDH connection in place of the 4 ½" outlet. The Storz connection may be integrated into the hydrant, or an approved adapter may be used on the 4 1/2" outlet.
 - ii. Fire hydrants shall have the Storz outlet face the main street or parking lot drive aisle.
 - iii. Fire hydrants shall be placed on corners when spacing permits.
 - iv. Fire hydrants shall not have any vertical obstructions to outlets within 10'.
 - v. Fire hydrants shall be placed 18" above finished grade to the center of the Storz outlet.
 - vi. Fire hydrants shall be provided to meet the requirements of Star Sewer & Water Standards. Show all proposed or existing hydrants for all new construction or additions to existing buildings within 1,000 feet of the project.



STAR FIRE PROTECTION DISTRICT

- vii. Fire hydrant relocations to be approved by the Fire District & Star Sewer and Water.
- viii. Hydrants are to always remain clear and unobstructed.
- ix. Hydrants to be marked with temporary fencing creating a 3 ft clearance around the hydrant and shall remain in place until approved by fire district. See exabit 1.
- x. Developer to review landscape plans to ensure landscaping will not obstruct hydrants.
- xi. Hydrant to be located within 100ft of the Fire Riser/FDC.
- 6. <u>Inspections:</u> Final inspection by the Fire District of the above listed including hydrant flow must be completed before building permits are issued.

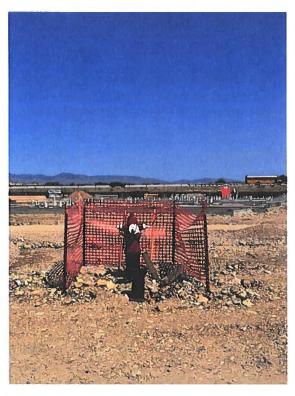
7. Additional Comments:

- a. Streetlights shall be turned on once residential building begins, Lighting is essential in assisting first responders with identifying entrances safely while responding to calls for service.
- b. Fire Alarms system will be required as per IFC and NFPA.
- c. Fire Sprinkler plans and Alarm plans are to be submitted to the Fire District and State Fire Marshal's Office for approval.
- d. Knox Box will be required for Fire Risers.



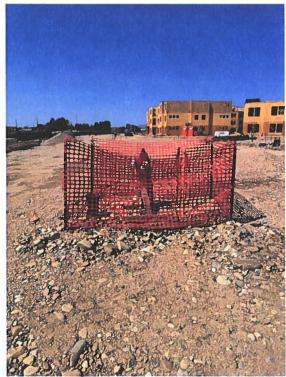
STAR FIRE PROTECTION DISTRICT

Exabit 1









Section 7, Item A.

The Rockbridge HOA board strongly recommends that the City of Star deny the application / preliminary proposed residential subdivision "First Street Townhomes Subdivision (FILES - PP-22-16 & PR-22-07)".

The proposed 'mixed use' development containing high density residential use does not fit the current City plan for this area. That this property is part of the Central Business District (CBD) zoning alone should further prohibit such high density residential use.

In particular, the City's own comprehensive plan declaration for the Central Business District (8-3A-1: Zoning Districts And Purposes Established) specifically lists "commercial, retail, civic, office, and entertainment uses." and restricts high density housing to "the upper floors of mixed-use buildings" which this project is clearly not. This development plan is clearly NOT Live/work focused, but an R11 standard townhome association.

In addition:

1) Single Family attached (townhomes) are specifically identified as NOT allowed in CBD zones 8-3A-3: Uses Within Zoning Districts

Dwelling:	CBD
Multi-family ¹	N
Secondary ¹	N
Single-family attached	N
Single-family detached	N
Two-family duplex ¹	N
Live/Work Multi-Use ¹	C

2) We would encourage the council to review the designs with the following code requirements in mind as we feel that they are not met in this specific plan. While the access road placement on the rear of the property is an improvement over the initial design in setback, it still introduces a significant disturbance on homeowners right on the other side of that property in vehicle noise, headlights, etc. and should at least require a landscape barrier of some type

8-3B-3: Residential Districts

- D. Housing developments with densities of R-11 and higher shall be designed to limit height, increase setbacks and/or provide additional landscaping along the perimeter of the development, if determined by the council, where abutting areas are planned for lower densities.
- E. Rezoning to R-11 and higher shall not be allowed unless adequate ingress/egress to major transportation corridors is assured.
- 3) It is clear that the intended zoning and plan for these sites along State Street should be commercial with the optional use of condos/studios in addition to the primary commercial or office use. Such a large townhome complex with such a Frontage commercial aspect instead of primarily "main street" commercial use is clearly not an appropriate use in this zone. Also, since the city is actively encouraging the removal of existing single family homes in the CBD, it make zero sense to create a whole new development with 30 single family attached townhomes.

8-3C-2: Central Business District (CBD)

- B. High density residential may be permitted within the CBD in mixed use buildings with commercial or office type uses on the first floor and high density residential on upper floors.
- C. New development on Main Street and Star Road, ... shall include transition consisting of a compatible mix of lower intensity commercial, retail and office type uses mixed with live/work type residential. Existing Single-Family uses are encouraged to convert to or redevelop as non-residential uses.

Section 7, Item A.

In summary, it is clear that this project's intended R11 use of 30 multi-story, high density townhomes is no with existing surrounding properties (office, retail, office space commercial, low density residential) nor the CBD zoning / planned uses for this area and is in fact apparently prohibited from CBD zoning by code.

Lastly, we would like to encourage a similar project and plan that had a lower density Live / Work commercial and retail type office design in this location, fitting with the city's CBD plan as presented in the extensive comprehensive plan presentations and public comment session in the past.

Signed,	
Doug Kramer	President
Charity Arthur	
	Vice President
Randy Bates	Treasurer
Dennis Stewart	
	Board Member
Don Pyle	Board Member

ORDINANCE NO. 373-2022 (THE QUARRY AT RIVER PARK SUBDIVISION ANNEXATION)

AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF CANYON COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AT 21339 BLESSINGER ROAD, CANYON COUNTY PARCELS R3404900000, IN STAR, IDAHO AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTIES ARE OWNED BY H5 LAND HOLDINGS 6 LLC, AND SCHOOLHOUSE RANCH LLC; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS RESIDENTIAL WITH A DEVELOPMENT AGREEMENT (R-2-DA), AND COMMERCIAL WITH A DEVELOPMENT AGREEMENT (C-1-DA) OF APPROXIMATELY 185.93 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Star, Ada and Canyon County, Idaho ("the City"), is a municipal corporation organized and operating under the laws of the State of Idaho and is authorized to annex and to incorporate within the boundaries of the City contiguous real property in the manner provided by Section 50-222, Idaho Code; and

WHEREAS, pursuant to Section 67-6524, Idaho Code, the City of Star has adopted the Unified Development Code Ordinance, the same being Ordinance No. 370-2022, adopted on July 19, 2022 and subsequently amended; and

WHEREAS, the owner(s) of the real property situated in the unincorporated areas of Canyon County and particularly described in Section 2 of this Ordinance have requested, in writing, annexation of said real property to the City of Star; and

WHEREAS, the Mayor and Council, held a public hearing on October 4, 2022, on the proposed annexation and zoning of the property described in Section 2 below, as required by Section 67-6525, Idaho Code, and determined that the requested annexation should be granted and that the annexed property should be zoned Residential with a Development Agreement (R-2-DA), and Commercial with a Development Agreement (C-1-DA) pursuant to the Unified Development Code of the City of Star.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF STAR, IDAHO, as follows:

Section 1: The Mayor and Council of the City of Star, Idaho, hereby find and declare that the real property described in Section 2 of this Ordinance is contiguous to the City, that said property can be reasonably assumed to be used for orderly development of the City, that the owner(s) of said property have requested, in writing, annexation of said property by the City, and that the requirements of Section 50-222, Idaho Code, for annexation of said property, have been satisfied.

- Section 2: The real property, described in the attached "Exhibit A", situated in Canyon County, Idaho, is hereby annexed into the City of Star. From and after the effective date of this Ordinance, the residents and other occupants and property owners within such area shall enjoy all the rights and responsibilities and shall be subject to all ordinances, resolutions, police regulations, taxation and other powers of the City of Star as their fellow residents, occupants, and owners within the City of Star.
- Section 3: The zoning land use classification of the land described in Section 2 above, is hereby established as Residential with a Development Agreement (R-2-DA), and Commercial with a Development Agreement (C-1-DA) as provided by the Unified Development Code of the City of Star. The Zoning Map of the City is hereby amended to include the real property described in Section 2 above in the Residential with a Development Agreement (R-2-DA) and Commercial with a Development Agreement (C-2-DA) land use classifications.
- Section 4: The City Clerk is hereby directed to file, within ten (10) days of passage and approval of this Ordinance, a certified copy of this Ordinance with the offices of the Auditor, Treasurer, and Assessor of Canyon County, Idaho, and with the State Tax Commission, Boise, Idaho, as required by Section 50-223, Idaho Code, and to comply with the provisions of Section 63-215, Idaho Code, with regard to the preparation and filing of a map and legal description of the real property annexed by this Ordinance.

<u>Section 5:</u> This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law. In lieu of publication of the entire Ordinance, a summary thereof in compliance with Section 50-901A, Idaho Code maybe be published.

DATED this day of	, 2022.
	CITY OF STAR Ada and Canyon County, Idaho
ATTEST:	BY: Trevor A. Chadwick, Mayor
Jacob M. Qualls, City Clerk	

EXHIBIT A

Section 8. Item A.



9955 W Emerald St Boise, ID 83704

Phone: (208) 846-8570

21339 Blessinger Rd. City of Star Annexation Description

Project Number 22-111 May 11, 2022

A parcel of land originally described in Warranty Deed 2021-028128, records of Canyon County, Idaho, being situated in the south half of Section 11, the north half of Section 14, and the north half of the southeast quarter of Section 14, Township 4 North, Range 2 West, Boise Meridian, Canyon County, Idaho, and being more particularly described as follows:

BEGINNING at the northeast corner of Leighton Ranch Subdivision (Book 53 of Plats at Pages 9 through 13, records of Canyon County, Idaho) and the center quarter-section of Section 14, which bears N89°16'27"W, 2643.49 feet from the east quarter-section corner of Section 14,:

Thence N89°48'14"W, 203.00 feet along the south line of the North Half of Section 14 and the boundary of Leighton Ranch Subdivision to the southeast corner of Leighton Lake Estates Subdivision (Book 49 of Plats at Pages 38 through 43, records of Canyon County, Idaho);

Thence N01°05'50"E, 2640.91 feet along the boundary of Leighton Lake Estates Subdivision;

Thence N01°05'21"E, 1674.01 feet along the boundary of Leighton Lake Estates Subdivision;

Thence N39°09'03"W, 179.60 feet along the boundary of Leighton Lake Estates Subdivision to the corner between Parcels A & B as depicted on Record of Survey 2019-052923, records of Canyon County;

Thence continuing N39°09'03"W, 59.56 feet along the boundary of Parcel A;

Thence NO2°21'44"W, 100.79 feet along the boundary of Parcel A;

Thence N42°49'19"W, 44.45 feet along the boundary of Parcel A;

Thence N03°43'24"W, 410.18 feet along the boundary of Parcel A to the boundary of the lands of Star West Gravel, LLC as described in that Warranty Deed recorded under Instrument No. 9827666, records of Canyon County;

Thence S78°48'15"E, 931.76 feet along the boundary of the lands of Star West Gravel, LLC;



Phone: (208) 846-8570

Thence S00°53'35"W, 278.65 feet along the boundary of the lands of Star West Gravel, LLC;

Thence S67°41'22"E, 169.53 feet along the boundary of the lands of Star West Gravel, LLC;

Thence S00°53'11"W, 1890.15 feet along the boundary of the lands of Star West Gravel, LLC to the north line of Section 14;

Thence S89°12'01"E, 1081.41 feet along the north line of Section 14 to the boundary of the lands of For Our Four Partners, LP as described in that Warranty Deed recorded under Instrument No. 2014-004238, records of Canyon County;

Thence S00°32'10"W, 2639.50 feet along the boundary of the lands of For Our Four Partners, LP to the south line of the north half of Section 14;

Thence S00°56'23"W, 246.99 feet along the boundary of the lands of For Our Four Partners, LP to the southwest corner of the lands of For Our Four Partners, LP;

Thence N88°35'17"W, 13.43 feet to the boundary of the lands of Low as described in that Warranty Deeds recorded under Instrument No.s 9629929 and 9629930, records of Canyon County;

Thence S00°55'33"W, 240.82 feet along the boundaries of the lands of Low;

Thence S65°06'08"W, 545.73 feet along the boundary of the lands of Low;

Thence N89°27'59"W, 326.93 feet along the boundary of the lands of Low;

Thence NO3°39'40"E, 343.40 feet along the boundary of the lands of Low;

Thence S88°18'45"W, 294.42 feet along the boundary of the lands of Low to the boundary of Parcels 1 and 2 as described in that Grant Deed recorded under Instrument No. 2016-018248, records of Canyon County;

Thence S00°51'35"W, 199.57 feet along the boundary of Parcels 1 and 2 to the northeasterly corner of Leighton Ranch Subdivision;

Thence N74°18'49"W, 89.48 feet along the boundary of Leighton Ranch Subdivision;

Thence N70°38'51"W, 358.63 feet along the boundary of Leighton Ranch Subdivision;

Thence N09°23'34"W, 41.29 feet along the boundary of Leighton Ranch Subdivision;

Thence N89°22'24"W, 145.81 feet along the boundary of





Phone: (208) 846-8570

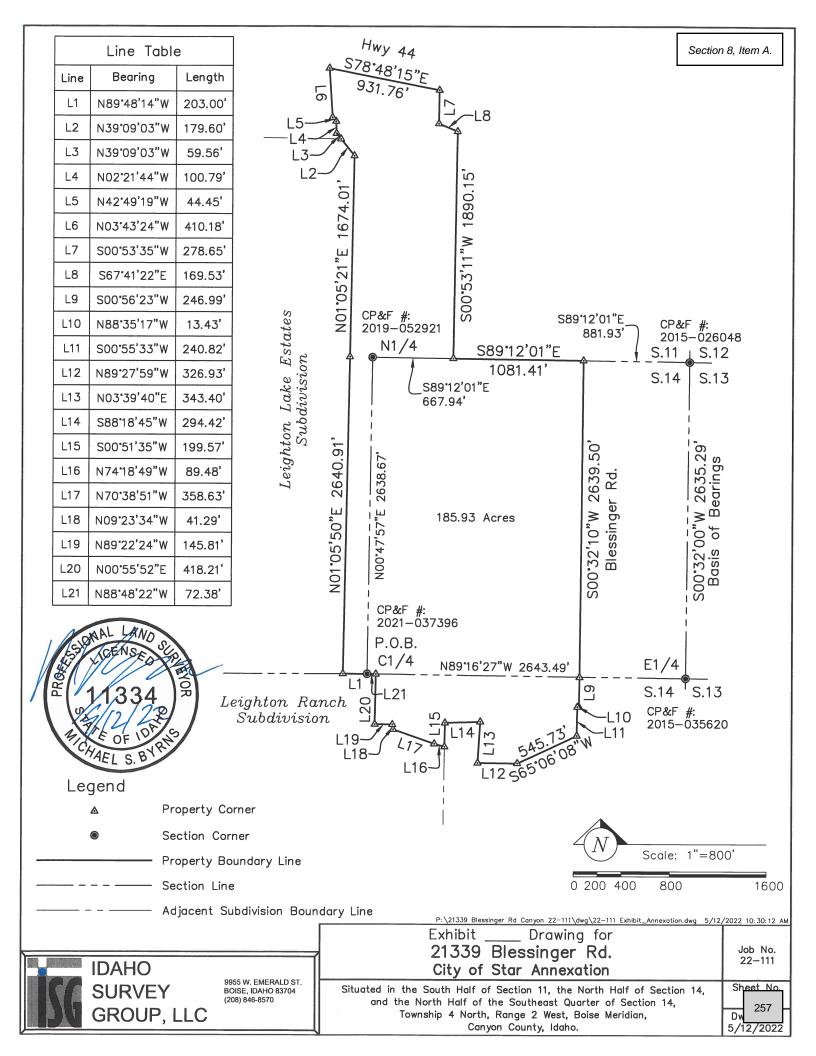
Leighton Ranch Subdivision;

Thence N00°55'52"E, 418.21 feet along the boundary of Leighton Ranch Subdivision to the south line of the north half of Section 14;

Thence N88°48'22"W, 72.38 feet along the boundary of Leighton Ranch Subdivision and the south line of the north half of Section 14 to the POINT OF BEGINNING.

The above-described parcel contains 185.93 acres, more or less.







Phone: (208) 846-8570 Fax: (208) 884-5399

21339 Blessinger Rd. City of Star R-2-DA Boundary Description

Project Number 22-111

August 16, 2022

A parcel of land situated in Sections 11 and 14, Township 4 North, Range 2 West, Boise Meridian, Canyon County, Idaho, and being more particularly described as follows:

BEGINNING at the northeast corner of Leighton Ranch Subdivision (Book 53 of Plats at Page 9, Records of Canyon County, Idaho) and the center quarter-section corner of Section 14, which bears N89°16′27″W, 2643.49 feet from the east quarter-section corner of Section 14;

Thence N89°48'14"W, 203.00 feet along the south line of the north half of Section 14 and the boundary of Leighton Ranch Subdivision to the southeast corner of Leighton Lake Estates Subdivision (Book 49 of Plats at Page 38, records of Canyon County, Idaho);

Thence N01°05'50"E, 2640.91 feet along the boundary of Leighton Lake Estates Subdivision;

Thence N01°05'21"E, 1674.01 feet along the boundary of Leighton Lake Estates Subdivision;

Thence N39°09'03"W, 179.60 feet along the boundary of Leighton Lake Estates Subdivision to the corner between Parcels A & B (Record of Survey 2019-052923, records of Canyon County, Idaho);

Thence continuing N39°09'03"W, 59.56 feet along the boundary of Parcel A;

Thence NO2°21'44"W, 100.79 feet along the boundary of Parcel A;

Thence N42°49'19"W, 44.45 feet along the boundary of Parcel A;

Thence N03°43'24"W, 410.18 feet along the boundary of Parcel A to the boundary of the lands of Star West Gravel, LLC (Warranty Deed 9827666, records of Canyon County, Idaho);

Thence S78°48'15"E, 41.79 feet along the boundary of the lands of Star West Gravel, LLC;

Thence S03°40'42"E, 348.09 feet;

Thence N86°19'18"E, 81.22 feet;





City of Star R-3 Zone continued...

9955 W Emerald St Boise, ID 83704

Phone: (208) 846-8570 Fax: (208) 884-5399

Thence 74.87 feet on a curve to the right, having a radius of 132.00 feet, a central angle of 32°29'52", a chord bearing of S77°25'46"E, and a chord length of 73.87 feet;

Thence 92.12 feet on a reverse curve to the left, having a radius of 318.00 feet, a central angle of 16°35'50", a chord bearing of S69°28'45"E, and a chord length of 91.80 feet;

Thence S77°46'40"E, 781.15 feet to the boundary of the lands of Star West Gravel, LLC;

Thence S00°53'11"W, 1850.13 feet along the boundary of the lands of Star West Gravel, LLC to the north line of Section 14;

Thence S89°12'01"E, 1081.41 feet along the north line of Section 14 to the boundary of the lands of For Our Four Partners, LP (Warranty Deed 2014-004238, records of Canyon County, Idaho);

Thence S00°32'10"W, 2639.50 feet along the boundary of the lands of For Our Four Partners, LP;

Thence S00°56'23"W, 246.99 feet along the boundary of the lands of For Our Four Partners, LP to the southwest corner of the lands of For Our Four Partners, LP;

Thence N88°35'17"W, 13.43 feet to the boundary of the lands of Low (Warranty Deeds 9629929 and 9629930, records of Canyon County, Idaho);

Thence S00°55'33"W, 240.82 feet along the boundaries of the lands of Low;

Thence S65°06'08"W, 545.73 feet along the boundary of the lands of Low;

Thence N89°27'59"W, 326.93 feet along the boundary of the lands of Low;

Thence N03°39'40"E, 343.40 feet along the boundary of the lands of Low;

Thence S88°18'45"W, 294.42 feet along the boundary of the lands of Low to the boundary of Parcels 1 and 2 (Grant Deed 2016-018248, records of Canyon County, Idaho);

Thence S00°51'35"W, 199.57 feet along the boundary of Parcels 1 and 2 to the northeasterly corner of Leighton Ranch Subdivision;

Thence N74°18'49"W, 89.48 feet along the boundary of Leighton Ranch Subdivision;



City of Star R-3 Zone continued...

9955 W Emerald St Boise, ID 83704

Phone: (208) 846-8570 (208) 884-5399

Thence N70°38'51"W, 358.63 feet along the boundary of Leighton Ranch Subdivision;

Thence N09°23'34"W, 41.29 feet along the boundary of Leighton Ranch Subdivision;

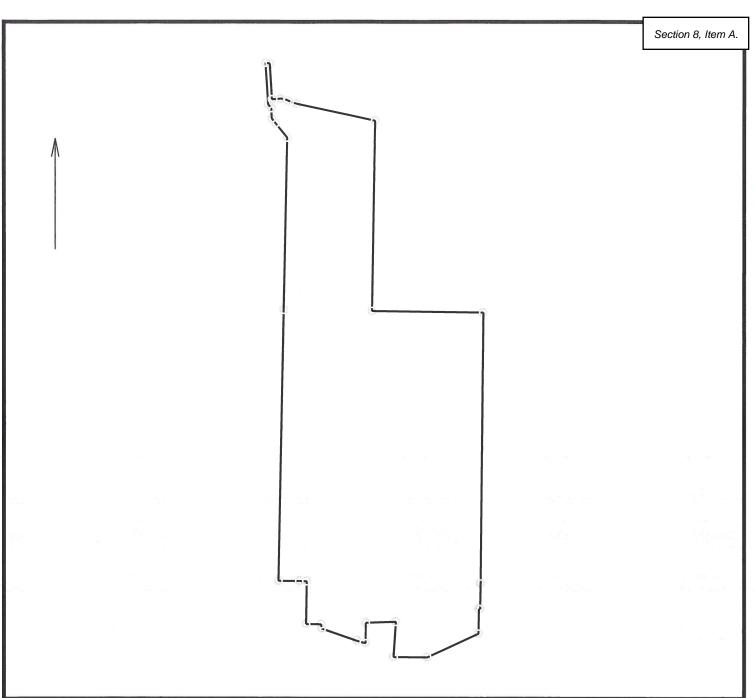
Thence N89°22'24"W, 145.81 feet along the boundary of Leighton Ranch Subdivision;

Thence N00°55'52"E, 418.21 feet along the boundary of Leighton Ranch Subdivision to the south line of the north half of Section 14;

Thence N88°48'22"W, 72.38 feet along the boundary of Leighton Ranch Subdivision and the south line of the north half of Section 14 to the POINT OF BEGINNING.

The above-described parcel contains 179.02 acres, more or less.





21339 Blessinger Rd. City of Star R-3 Zone Closure

8/16/2022

Scale: 1 inch= 900 feet

File:

Tract 1: 179.0221 Acres, Closure: s21.4707e 0.01 ft. (1/999999), Perimeter=15640 ft.

01 n89.4814w 203

02 n01.0550e 2640.91

03 n01.0521e 1674.01

04 n39.0903w 179.6

05 n39.0903w 59.56

06 n02.2144w 100.79

07 n42.4919w 44.45 08 n03.4324w 410.18

09 s78.4815e 41.79

10 s03.4042e 348.09

11 n86.1918e 81.22

11 N86. 19 186 8 1.22

12 Rt, r=132.00, delta=032.2952, chord=s77.2546e 73.87

13 Lt, r=318.00, delta=016.3550, chord=s69.2845e 91.80

14 s77.4640e 781.15

15 s00.5311w 1850.13

16 s89.1201e 1081.41

17 s00.3210w 2639.5 18 s00.5623w 246.99

19 n88.3517w 13.43

20 s00.5533w 240.82 21 s65.0608w 545.73 22 n89.2759w 326.93

23 n03.3940e 343.4 24 s88.1845w 294.42

25 s00.5135w 199.57 26 n74.1849w 89.48

27 n70.3851w 358.63 28 n09.2334w 41.29

29 n89.2224w 145.81 30 n00.5552e 418.21

31 n88.4822w 72.38





Phone: (208) 846-8570 Fax: (208) 884-5399

21339 Blessinger Rd. City of Star C-2-DA Boundary Description

Project Number 22-111

August 16, 2022

A parcel of land situated in the south half of Section 11, Township 4 North, Range 2 West, Boise Meridian, Canyon County, Idaho, and being more particularly described as follows:

Commencing at the northeast corner of Leighton Ranch Subdivision (Book 53 of Plats at Page 9, Records of Canyon County, Idaho) and the center quarter-section corner of Section 14, which bears N89°16′27″W, 2643.49 feet from the east quarter-section corner of Section 14;

Thence N89°48'14"W, 203.00 feet along the south line of the north half of Section 14 and the boundary of Leighton Ranch Subdivision to the southeast corner of Leighton Lake Estates Subdivision (Book 49 of Plats at Page 38, records of Canyon County, Idaho); Thence N01°05'50"E, 2640.91 feet along the boundary of Leighton Lake Estates Subdivision;

Thence N01°05'21"E, 1674.01 feet along the boundary of Leighton Lake Estates Subdivision;

Thence N39°09'03"W, 179.60 feet along the boundary of Leighton Lake Estates Subdivision to the corner between Parcels A & B (Record of Survey 2019-052923, records of Canyon County, Idaho);

Thence continuing N39°09'03"W, 59.56 feet along the boundary of Parcel A;

Thence N02°21'44"W, 100.79 feet along the boundary of Parcel A;

Thence N42°49'19"W, 44.45 feet along the boundary of Parcel A;

Thence N03°43'24"W, 410.18 feet along the boundary of Parcel A to the boundary of the lands of Star West Gravel, LLC (Warranty Deed 9827666, records of Canyon County, Idaho);

Thence S78°48'15"E, 41.79 feet along the boundary of the lands of Star West Gravel, LLC to the POINT OF BEGINNING:

Thence continuing S78°48'15"E, 889.97 feet along the boundary of the lands of Star West Gravel, LLC;

Thence S00°53'35"W, 278.65 feet along the boundary of the lands of Star West Gravel, LLC;

Thence S67°41'22"E, 169.53 feet along the boundary of the lands of Star West Gravel, LLC;



9955 W Emerald St Boise, ID 83704

Phone: (208) 846-8570 (208) 884-5399

City of Star MU Zone continued...

Thence S00°53'11"W, 40.02 feet along the boundary of the lands of Star West Gravel, LLC;

Thence N77°46'40"W, 781.15 feet;

Thence 92.12 feet on a curve to the right, having a radius of 318.00 feet, a central angle of 16°35'50", a chord bearing of N69°28'45"W, and a chord length of 91.80 feet;

Thence 74.87 feet on a reverse curve to the left, having a radius of 132.00 feet, a central angle of 32°29'52", a chord bearing of N77°25'46"W, and a chord length of 73.87 feet;

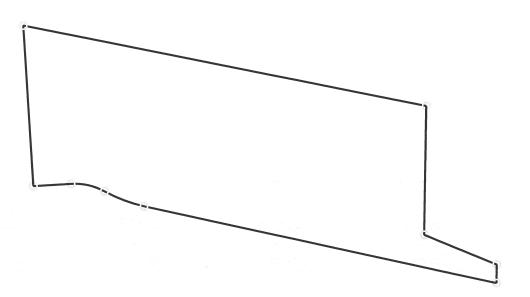
Thence S86°19'18"W, 81.22 feet;

Thence N03°40'42"W, 348.09 feet to the POINT OF BEGINNING.

The above-described parcel contains 6.91 acres, more or less.









21339 Blessinger Rd. City of Star MU Zone Closure

8/16/2022

Scale: 1 inch= 200 feet

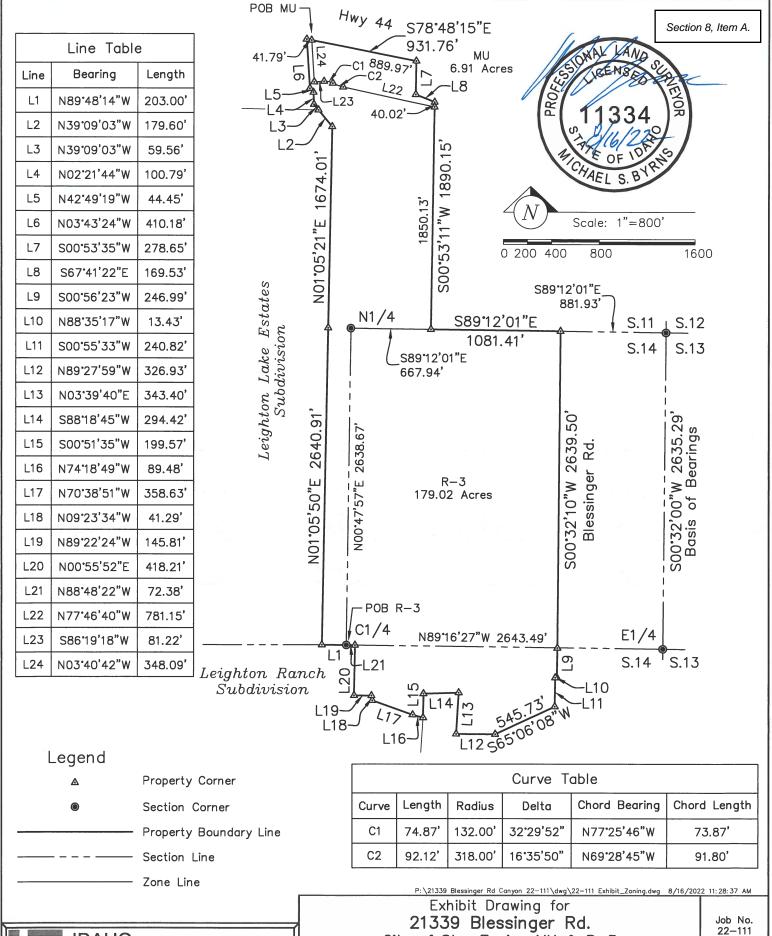
File:

Tract 1: 6.9054 Acres (300799 Sq. Feet), Closure: s81.0240w 0.01 ft. (1/232703), Perimeter=2756 ft.

01 s78.4815e 889.97 02 s00.5335w 278.65 03 s67.4122e 169.53 08 s86.1918w 81.22 09 n03.4042w 348.09

03 s67.4122e 169.53 04 s00.5311w 40.02 05 n77.4640w 781.15

06 Rt, r=318.00, delta=016.3550, chord=n69.2845w 91.80 07 Lt, r=132.00, delta=032.2952, chord=n77.2546w 73.87



IDAHO
SURVEY
GROUP, LLC

9955 W. EMERALD ST. BOISE, IDAHO 83704 (208) 846-8570 City of Star Zoning MU & R-3

Situated in the Sections 11 and 14,

Situated in the Sections 11 and 14, Township 4 North, Range 2 West, Boise Meridian, Canyon County, Idaho. Sheet No.

DEVELOPMENT AGREEMENT THE QUARRY AT RIVER PARK SUBDIVISION ANNEXATION

This Development Agreement ("Agreement") is entered into by and between the City of Star, a municipal corporation in the State of Idaho, hereinafter referred to as "City", and H5 Land Holdings 6, LLC, and Schoolhouse Ranch, LLC, hereinafter referred to as "Owner".

WHEREAS, Owner owns a parcel of land of approximately 185.93 acres in size, currently located within Canyon County, zoned AG and more particularly described in **Exhibit A** of Ordinance 373-2022, which is attached hereto and incorporated by reference herein (the "Property");

WHEREAS, Owner has requested that the Property be annexed into the City and developed in accordance with the applicable ordinances and regulations of the City and this Agreement;

WHEREAS, the City, pursuant to Section 67-6511A, Idaho Code, and Star City Code Title 8, Chapter 1, has the authority to enter into a development agreement for the purpose of allowing, by agreement, a specific development to proceed in a specific area and for a specific purpose or use which is appropriate in the area, but for which all allowed uses for the requested zoning may not be appropriate;

WHEREAS, the City has authority to enter into development agreements to condition annexations and re-zones;

WHEREAS, Owner desires to be assured that it may proceed with allowing its Property to be rezoned in accordance with this Agreement;

WHEREAS, the parties agree to the zoning designations for various parcels within the Property to be rezoned in accordance with this Agreement;

WHEREAS, Owner filed with the City of Star, a Request for Annexation and Rezone of the Property and Zoning of R-2-DA and C-1-DA, as File No. AZ-22-12/DA-22-03, so that the City can review all the applications affecting the use and development of the Property in an integrated manner consistent with the City's Comprehensive Plan and land use ordinances;

WHEREAS, the intent of this Agreement is to protect the rights of Owner's use and enjoyment of the Property while at the same time mitigating any adverse impacts of the development upon neighboring properties and the existing community and ensuring the Property is developed in a manner consistent with City Ordinances;

THEREFORE, the City and Owner, for and in consideration of the mutual covenants, duties and obligations herein set forth, hereby agree as follows:

Section 1. <u>Legal Authority</u>. This Agreement is made pursuant to and in accordance with the provisions of Idaho Code Section 67-6511A and Star City Code, Title 8, Chapter 1.

Section 2. <u>Development/Uses/Standards</u>.

- **2.1** <u>Development Acreage and Uses Permitted.</u> As to the Parcel shown on **Exhibit A**, Owner is allowed to develop <u>185.93</u> acres as follows:
 - Zoning Classification: The zoning classification shall be a R-2-DA and C-1-DA.
 - The Owner shall comply with all city ordinances relating to the property except as otherwise provided herein.
 - 2.2 <u>Site Design</u>. The Concept Plan, as set forth in **Exhibit B**, is hereby approved. Council approves the use of private streets within the development, except that the future east-west collector roadway will be a future public street. The applicant may plat/construct the collector roadway as a private street provided that it is constructed to public street standards and easements are dedicated for public access and future dedication. A note shall be placed on the final plat and a recognition of future public dedication shall be noted in the CC&R's.
 - **Uses.** The development is hereby approved for a maximum of 228 single-family residential lots. Commercial uses have been approved for the area fronting Highway 44.
 - **2.4 Setbacks.** The development shall include the following residential setbacks ad approved by Council:
 - R-3 setbacks for all residential lots, excluding the lots immediately adjacent to the western boundary (1-plus acre lots). These lots shall have R-2 setback standards for all construction. Setbacks are based on the current setbacks in place within the Star Unified Development Code as of the date of approval of the annexation.

2.5 Additional Requirements:

- An RV Park may be allowed in this zone (C-1) subject to approval of a Conditional Use Permit;
- The Applicant requested 5' side yard setbacks are <u>not</u> approved as part of this agreement but may be requested at preliminary plat. If approved, this Agreement shall be updated accordingly;
- Clubhouse shall be relocated to the eastern side of the development, as indicated in the public hearing;
- The Applicant shall cul-de-sac the western north/south road and provide an emergency access as indicated in the public hearing;
- A detailed landscape plan shall be reviewed as part of the future preliminary plat;

- The Applicant shall provide a revised conceptual plan to detail all Council revisions prior to recordation of this document;
- 2.6 **Proportionate Share Agreement for ITD Improvements.** Developer has agreed to participate in the costs of construction or improvements to the portions of the State Highway System within the City of Star and/or City of Star Area of City Impact. The Developer will pay the \$228,000.00 traffic mitigation fee determined, or revised, by the Idaho Transportation Department as follows: the Developer will pay the City \$1,000.00 per buildable lot within each phase prior to signature on the final plat for the applicable phase. The City will allocate the funds to roadway improvements in the vicinity of the project. The Developer shall pay this amount (unless otherwise revised by ITD) directly to the City of Star. The City will maintain this contribution in a specific Development Contributions account, to be distributed to ITD when requested for use with a specific Idaho Transportation Improvement Plan (ITIP) project within the City of Star Area of City Impact or City Limits in accordance with the terms of the Intergovernmental Agreement between the Idaho Transportation Department and the City of Star dated April 22, 2020.
- **2.7 Changes and Modifications.** No change in the use or restrictions specified in this Agreement shall be allowed or changed without modification of this Agreement pursuant to the requirements of the Star City Ordinances. In the event Owner changes or expands the use permitted by this Agreement or fail to comply with the restrictions without formal modification of this Agreement as allowed by the Star City Ordinances, Owner shall be in default of this Agreement.
- **2.8** Conditions, Bonding for Completion. All of the conditions set forth herein shall be complied with or shall be bonded for completion by Owner before an Occupancy permit will be granted. Failure to comply with the Star City Ordinances or the terms of this Agreement shall result in a default of this Agreement by Owner. Owner may be allowed to bond for certain conditions at one hundred and fifty percent (150%) of the estimated cost of completion pursuant to Star City Ordinances.
- **Section 3.** Affidavit of Property Owner. Owner shall provide an affidavit agreeing to submit the Property to this Development Agreement and to the provisions set forth in Idaho Code section 67-6511A and Star Zoning Ordinance and such affidavit is incorporated herein by reference.
- **Section 4. Default.** The failure of Owner, its heirs or assigns or subsequent owners of the Property or any other person acquiring an interest in the Property, to faithfully comply with any of the terms and conditions of this Agreement shall be deemed a default herein. This Agreement may be modified or terminated by the. Star City Council as set forth in the Star City Ordinances. In the event this Agreement is modified, Owner shall comply with the amended terms. Failure to comply with the amended terms shall result in default. In the event the City Council, after compliance with the requirements of the Star City Ordinances, determines that this Agreement shall be terminated, the zoning of the Property or portion thereof that has not

been developed in accordance with this Agreement shall revert its prior zoning designation. All uses of such property, which are not consistent with the prior zoning designation, shall cease. A waiver by the City of Star for any default by Owner of any one or more of the covenants or conditions hereof shall apply solely to the breach and breaches waived and shall not bar any other rights or remedies of the City or apply to any subsequent breach of any such or other covenants and conditions. Owner, by entering into this Agreement, do hereby consent to a reversion of the subject property to its prior zoning designation in the event there is a default in the terms and/or conditions of this Agreement.

Section 5. <u>Unenforceable Provisions</u>. If any term, provision, commitment or restriction of this Agreement or the application thereof to any party or circumstances shall, to any extent, be held invalid or unenforceable, the remainder of the instrument shall remain in full force and effect.

Section 6. Assignment and Transfer. After its execution, this Agreement shall be recorded in the office of the County Recorder at the expense of the Applicant. Each commitment and restriction on the development subject to this Agreement, shall be a burden on the Property, shall be appurtenant to and for the benefit of the Property and shall run with the land. This Agreement shall be binding on the City and Owner, and their respective heirs, administrators, executors, agents, legal representatives, successors and assigns: provided, however, that if all or any portion of the Property is divided, each owner of a legal lot shall only be responsible for duties and obligations associated with an owner's parcel and shall not be responsible for duties and obligations or defaults as to other parcels of lots within the Property. The new owner of the Property or any portion thereof (including, without limitation, any owner who acquires its interest by foreclosure, trustee's sale or otherwise) shall be liable for all commitments and other obligations arising under this Agreement with respect only to such owner's lot or parcel.

Section 7. General Matters.

- **7.1** Amendments. Any alteration or change to this Agreement shall be made only after complying with the notice and hearing provisions of Idaho Code Section 67- 6509, as required by Star City Code.
- 7.2 Paragraph Headings. This Agreement shall be construed according to its fair meaning and as if prepared by both parties hereto. Titles and captions are for convenience only and shall not constitute a portion of this Agreement. As used in this Agreement, masculine, feminine or neuter gender and the singular or plural number shall each be deemed to include the others wherever and whenever the context so dictates.
- **7.3** Choice of Law. This Agreement shall be construed in accordance with the laws of the State of Idaho in effect at the time of the execution of this Agreement. Any action brought in connection with this Agreement shall be brought in a court of competent jurisdiction located in Ada County, Idaho.
- **7.4 Notices.** Any notice which a party may desire to give to another party must be in writing and may be given by personal delivery, by mailing the same by registered or

certified mail, return receipt requested postage prepaid, or by Federal Express or other reputable overnight delivery service, to the party to whom the notice is directed at the address of such party set forth below.

Star:	A P	City of Star Attn: City Clerk P.O. Box 130 Star, ID 83669
Owner:	H 9 E J S	ames H. Hunter H5 Land Holdings 6, LLC H23 S. Bridgeway Place Eagle, Idaho 83616-6098 Sames H. Hunter H2 Schoolhouse Ranch, LLC H5 Land Holdings 6, LLC
	9	23 S. Bridgeway Place Eagle, Idaho 83616-6098
7.5 Effective parties hereto of a full		Agreement shall be effective after delivery to each of the of this Agreement.
concerning this Agree as may be granted, to competent jurisdiction	ement, the preva- co court costs and this provision	ald any litigation be commenced between the parties hereto- iling party shall be entitled, in addition to any other relief and reasonable attorney fees as determined by a court of an shall be deemed to be a separate contract between the termination or forfeiture of this Agreement.
IN WITNESS executed on the day ar		the parties have hereunto caused this Agreement to be below.
Dated this	day	, 2022.
ATTEST:		Trevor A. Chadwick, Mayor

Jacob M. Qualls, City Clerk

OWNER:

Schoolhouse Ranch, LLC

By: James H. Hunter

Manager

STATE OF Idaho) ss.

On this 27th day of Junum, 2027, before me the undersigned, a Notary Public in and for said state, personally appeared James H. Hunter, known or identified to me to be the Manager of Schoolhouse Ranch, LLC, who subscribed his name to the foregoing instrument, and acknowledged to me that he executed the same in said limited liability company's name.

IN WITNESS WHEREOF, I have hereunto set my hand and seal, the day and year in this certificate first above written.

Notary Public for State of Idaho

Residing at: An Count

My Commission Expires: <u>'9-2-7</u>

KARA SCHOFIELD
COMMISSION #40616
NOTARY PUBLIC
STATE OF IDAHO
MY COMMISSION EXPIRES 09/02/202

OWNER:

H5 Land Holdings 6, LLC

By:

James H. Hunter

Its: / Manager

STATE OF

On this 11 day of 14 day of 15 day of 16 day of 16 day of 16 day of 17 day of 18 day of 18 day of 18 day of 20 day o

IN WITNESS WHEREOF, I have hereunto set my hand and seal, the day and year in this certificate first above written.

Notary Public for State of Ida

Residing at: Mr (unl

My Commission Expires: 9'-2-27

KARA SCHOFIELD
COMMISSION #40616
NOTARY PUBLIC
STATE OF IDAHO
MY COMMISSION EXPIRES 09/02/2027

CONCEPTUAL DEVELOPMENT PLAN

EXHIBIT B

LEGEND

1 Commercial Area

3 Open Space/Park

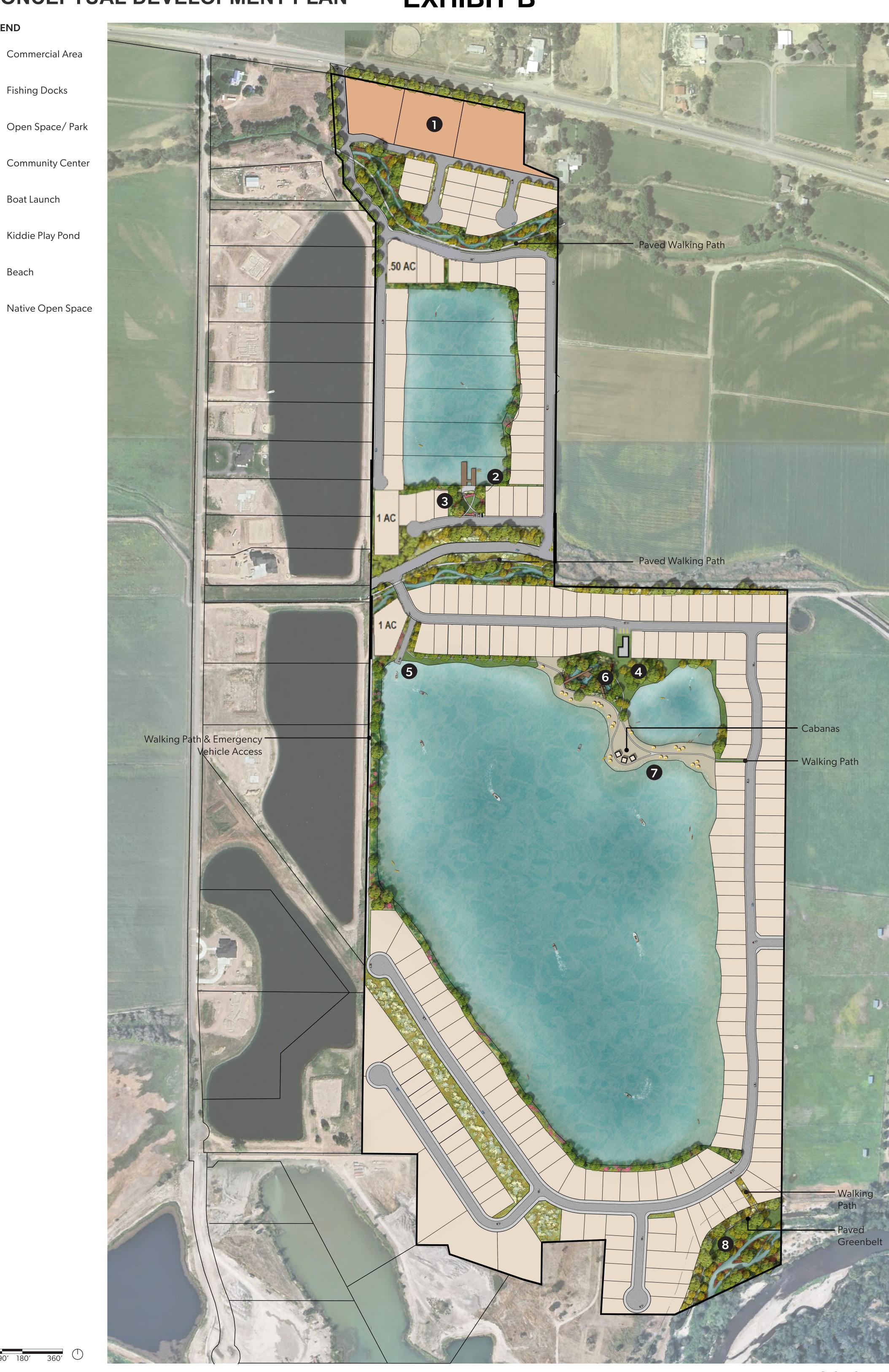
4 Community Center

5 Boat Launch

6 Kiddie Play Pond

Beach

8 Native Open Space



SH-44, BENT LANE TO STAR ROAD SCOPE OF SERVICES FOR

CONSTRUCTION ENGINEERING, INSPECTION, SAMPLING AND TESTING (CEIS&T) SERVICES

PROJECT NO.: KEY NO.:

DATE: JANUARY 2023

DESCRIPTION

This scope of work is to provide Construction Engineering, Inspection, Sampling and Testing (CEIS&T) Services to include contract administration, inspection, materials sampling and testing, and project office documentation under the general direction of the Star City Engineer, for construction of the SH-44, Bent Lane to Star Road project during the 2023 construction season.

The CONSULTANT will provide the City Engineer with experienced administration, inspection and sampling/testing personnel, including Subconsultants, capable of and devoted to the successful accomplishment of work to be performed under this construction contract. The CONSULTANT shall assure the requirements of the construction contract are met through knowledge of the contract and active and timely inspection and testing of all the work. The CONSULTANT shall provide daily diaries and perform all materials testing. The CONSULTANT shall perform all record keeping (including all electronic files), and assure items incorporated into the work have the documentation required. The CONSULTANT shall maintain project files at a location acceptable to the City of Star, and shall maintain testing certifications and materials test reports in ProjectWise electronic format. This includes project initiation, daily diaries, pay estimates, adjustments, and change orders.

The primary point of contact with the City of Star shall be the City Engineer or designated Project Manager (PM). The CONSULTANT will maintain active and open communication with the Contractor and the PM and make efficient and economical use of Consultant staff.

Anticipate this contract will begin February 2023 construction season and finish in July 2023. The majority of the work on SH-44, Bent Lane to Star Road will be substantially complete by June 15, 2023.

The following tasks represent the individual services that are to be provided by CONSULTANT under this agreement:

PRIMARY TASKS:

- 1. <u>Construction Administration</u> CONSULTANT will provide qualified personnel to conduct project administration tasks in accordance with the contract documents to ensure the project is accepted by City of Star. The following subtasks represent a partial list of those activities necessary to administer the contract.
 - <u>Project Management</u> CONSULTANT will provide project management duties from project activation through close-out. CONSULTANT will involve the City of Star project manager during project management activities and will ensure he is involved with all potential disputes and decisions and interpretations that potentially affect quality, cost, and time.
 - 1.1. Pre-construction Conference (Horrocks) City of Star will attend the Pre-construction Conference. CONSULTANT's Project Manager, Lead Inspector, and Testing Coordinator will attend.
 - 1.2. Filing & Records Verification (Horrocks) This is a paperless project, so most files will be electronic and stored in Horrocks's ProjectWise database. CONSULTANT will perform an on-going periodic check of the files during the project to ensure that all records are being accurately kept and the filing system is up to date.

Performance Assumptions:

- i Maintain project filing system on Horrocks's ProjectWise database.
- ii Address periodic review comments.

- iii Maintain all correspondence documents electronically. Do not submit hard copy correspondence responses to contractor's submittals and their responses.
- iv Post testing results and/or certification for each contract item on ProjectWise within 24 hours of receiving results. CONSULTANT will maintain materials acceptance documents in ProjectWise.
- v The CONSULTANT will implement changes to the project documents and filing in ProjectWise.
- vi Provide daily monitoring of the Contractor's Quality Control activities at the project site and on ProjectWise and project workbook. If percent within limits (PWL) falls below 0.75, the City Engineer will be notified immediately.
- vii File and review common contract administration correspondence.
- 1.3. Shop Drawings & Submittal Review (Horrocks) CONSULTANT will assist City of Star with reviewing contractor submittals for compliance with the contract requirements. Coordinate approval with the appropriate City of Star personnel and draft response correspondence as needed. Up to 5 shop drawings and submittals are scoped for these projects.
- 1.4. Material and Source Submittals Review (Horrocks) CONSULTANT will assist City of Star with reviewing contractor material submittals for compliance with the contract requirements. Coordinate approval with the appropriate City staff and draft response correspondence as needed. Horrocks will generate response. Up to 5 material submittals are scoped for these projects.
- 1.5. RFI Submittal Review (Horrocks) –CONSULTANT will assist City of Star with reviewing contractor Request for Information (RFI) submittals for compliance with the contract requirements. Coordinate approval with the appropriate City staff personnel and draft response correspondence as needed. Up to 5 RFIs are scoped for these projects.
- 1.6. RFC Submittal Review (Horrocks) –CONSULTANT will assist City of Star with reviewing contractor Request for Change (RFC) submittals and analyzing submittal for costs, time and compliance with the contract requirements. Coordinate response draft with the appropriate City staff and Engineer of Record personnel as needed. Up to 2 RFCs are scoped for these projects.
- 1.7. CPM schedule Reviews (Horrocks) CONSULTANT will assist City of Star with reviewing and providing responses to the Contractor's update. Consultant will meet with the Contractor to discuss review comments of the updated schedule as requested by the City. Up to 3 CPM updates are scoped for these projects. Several reviews and revisions of the baseline schedule are anticipated.
- 1.8. Materials Certifications (Horrocks) Certifications, as required by bid item, will be requested for all materials incorporated into the project. No materials will be accepted for payment until the certifications are received and reviewed for acceptance. The hours associated with this task are included in task 1.4.
- 1.9. Progress Estimate Preparation (Horrocks) Develop and maintain all progress estimates for review and processing. Generating estimates are anticipated to occur once per month.
- 1.10. Pre-paving Meeting (Horrocks) CONSULTANT field personnel will attend HMA pre-paving meeting with the Contractor.
- 1.11. Inspection Team Meeting (Horrocks) Bi-Weekly/Periodic progress meeting as needed will be held on site or at an otherwise approved location. 11 weekly meetings are scoped for these projects.

Performance Assumptions:

- i Attend weekly/periodic progress meetings as required.
- 1.12. Bi-Weekly Progress Meetings (Horrocks) Weekly/Periodic progress meetings will be held on site or at an otherwise Engineer approved location. CONSULTANT's Project Manager and Lead Inspector will attend the weekly meeting, as needed. 11weekly meetings are scoped for these projects.

Performance Assumptions:

i Attend weekly/periodic progress meetings as required.

- 1.13. Monthly Invoicing (Horrocks and T-O Engineers) Monthly invoices of CONSULTANT labol submitted to the City Engineer for review and processing each month. Each invoice package will contain approved timesheets for all labor expended and appropriate backup for all direct costs. Project scope includes 6 invoices from each firm.
- 1.14. Change Orders (Horrocks) –CONSULTANT will assist City Engineer with preparing and analyzing Change Orders for review and processing by the City of Star Engineer. This scope includes up to 2 Change Orders.

Performance Assumptions:

- i CONSULTANT will consult with the City Engineer and in coordination with other assigned personnel, as required, and prepare documents necessary to complete the change order process.
- consultant will assist the City Engineer in preparing for any litigation or other action that may arise. The claim package will be prepared in accordance with the 2020 ISPWC Division 100 on all claims of the City of Star and the Contractor relating to the acceptability of the Contractor's work or the interpretation of the requirements of the Contract Documents pertaining to the execution and progress of the Contractor's work. Preparation of claim package or interpretation of the Contract requirements will be considered extra work and negotiated at a later date.
- 1.15. Calculate Incentive/Disincentive (Horrocks) Generate pay factor and calculate bonus/deduct according to 2020 QASP. The hours associated with this task are included in task 1.4.
- 1.16. Asphalt and Fuel Price Adjustment Calculations (Horrocks) Fuel Price adjustment will be calculated monthly. Record of each month's calculation must be included in the project files and posted to ProjectWise. The hours associated with this task are included in task 1.4.
- 2. <u>Project Inspection (Horrocks)</u> Inspection will be performed by CONSULTANT with qualified and certified inspection staff. The CONSULTANT will provide a Lead Inspector throughout the duration of the project. The CONSULTANT and City of Star will have ongoing dialogue on how best to utilize the available personnel for the success of the project. It is anticipated that the need will change in response to the contractor's schedule. A spreadsheet with qualifications and certifications will be prepared and maintained to ensure full compliance with the ITD, WAQTC, and IQP requirements.
 - 2.1. Inspection Inspectors will monitor and document the contractors work. Daily diaries (Diaries) will be prepared to record the Contractor's hours on the site, weather conditions, data relative to questions of change orders, filed orders, or changed conditions, site visitors, daily activities, decisions, observations in general, and specific observations in more detail as the case of observing test procedures. Certificates of inspections, tests, and approvals required by the Contract Documents will be received and reviewed. Diaries will include work completed and coordination effort with utility companies, irrigation districts, and City of Star.
 - 2.2. Record Drawings CONSULTANT to maintain an "as constructed" plan set to document field changes throughout the project. As constructed plan set will be submitted to City of Star during project closeout.
 - 2.3. Identify and Recommend Corrections Any omissions, substitutions, defects and deficiencies in the work of the Contractor will be identified and documented with recommendations reported to the Engineer.
 - 2.4. Environmental & Erosion Control Monitoring Contractor to perform all storm water inspections for storm water pollution prevention plan or erosion and sediment control plan.
 - 2.5. Traffic Control Inspection CONSULTANT will monitor the traffic control for safety and compliance with the traffic control plans, ensure traffic control plan revisions are obtained as needed and clearly documented on diaries. Maintain a record of the Contractor's compliance with work restrictions in ProjectWise.
- 3. Survey Monument Establishment and Recording

Tasks:

- 3.1. As requested, CONSULTANT will verify and check contractor provided establishment of survey monuments.
- 3.2. Miscellaneous Survey If requested, task will be negotiated at a later date.

- 4. Materials Sampling & Testing CONSULTANT will provide materials sampling & testing services as respecifications, the MTR's and the City Engineer on all the required ITD forms. City of Star and the CONSULTANT Testing Coordinator will have ongoing dialogue on how best to utilize the available personnel for the success of the project. It is anticipated that this will change in response to the contractor's schedule. The CONSULTANT will use their laboratory for all testing needs.
 - 4.1. Quality Acceptance Sampling & Testing (Horrocks) Sampling & Testing will be performed according to ITD Quality Assurance requirements and the City Engineer including acceptance sampling. Sampling of component materials and completed work items will be performed to verify that the materials and workmanship incorporated in the project are in substantial conformity with the plans, specifications, and contract special provisions. CONSULTANT will meet the minimum sampling frequencies per the MTR's as presented by the City Engineer and as required due to project phasing, or other factors which could affect minimum testing frequencies. CONSULTANT will provide daily monitoring of the Contractor's Quality Control activities at the project site.
 - 4.2. Prepare and Transmit Test Results (Horrocks) The Contractor's Quality Control Plan will be monitored pursuant to QC/QA Special Provisions. All sampling data generated by CONSULTANT will be documented and filed in ProjectWise and quality level analysis for penalty / bonus calculations using ITD developed spreadsheet generated for 2020 QASP 10/21/2019.
 - 4.3. Schedule for Sampling (Horrocks) The City will be informed of the project IA sampling and testing schedule and all documentation reports of sampling and testing will be completed and submitted the same week the work is done or as otherwise directed.
 - 4.4. Acceptability of "or-equal" Products (Horrocks) CONSULTANT will evaluate and determine the acceptability of substitute or "or-equal" materials and equipment proposed by the Contractor. CONSULTANT to verify materials meet the QPL requirements and include documentation in ProjectWise. Recommendations will be made to the City Engineer for change orders before allowing any substitutes.
- 5. Record Drawings & Project Close-Out (Horrocks) CONSULTANT will track changes and deviations from the plans and review the As-Built drawings provided by the Contractor. At the completion of the project, marked drawings will be submitted to the City Engineer. At project close-out, all records will be finalized and quantity calculations verified. A final package of records will be submitted to the City Engineer for review and acceptance.

Performance Assumptions:

- 5.1. Verify that all necessary documents have been received for submission of contractor's affidavit of payment.
- 5.2. Maintain and distribute an up-to-date list of documents needed from the contractor.
- 5.3. Coordinate with City staff for the resolution of items are improperly certified or deficient.
- 5.4. Prepare closeout documents such as the Materials Summary Report, the ITD-854, the ITD-860, the ITD-852, and the Materials Certification Letter.
- 5.5. Receive bonds, certificates, or other evidence of insurance not previously submitted and required by the Contract Documents. Ensure receipt of certificates of inspection, and required test results in order to receive final payment.
- 5.6. Promptly conduct an inspection after notice from the Contractor that the entire work is ready for its intended use, in the company of the City Engineer and the Contractor, to determine if the work is Substantially Complete. Generate and manage a punch list of items based in this inspection. Coordinate completion of this list with the Contractor.
- 5.7. Participate in a final inspection, to include representatives from the City of Star to determine if the completed work by the contractor is acceptable so that CONSULTANT and the City of Star may recommend in writing, final payment to the Contractor.
- 5.8. Respond to questions during the material and financial audit performed by ITD District 3 and the City of Star. Make corrections to the files as necessary for final project closeout through Final Materials Certification Letter and Final Estimate.

- 6. Materials Testing Location The hours associated with this task are included in task 4.1.
- 7. <u>Key Understandings</u> It is anticipated that each CONSULTANT personnel assigned to the project will be furnished with proper Personal Protection Equipment, a vehicle, digital camera and cellular phone by CONSULTANT and all work will be under the supervision of the City Engineer or assigned representative.
 - 7.1. The CONSULTANT will provide access to an office and office equipment for use by the CONSULTANT to properly conduct contract/construction administration tasks.
 - 7.2. It is understood that City of Star may limit the CONSULTANT's coverage of certain items to preserve the budget should the project not progress as anticipated.
 - 7.3. The time required for administrative tasks such as RFI and RFC review, change order development, and project closeout can vary in complexity depending on the contractor's operations.
- 8. <u>Project Schedule</u> CONSULTANT proposes to implement its services within the following schedule: The scope of work for this project will run in accordance with the contractor's construction schedule. It is anticipated that CONSULTANT will be engaged in CE&I field services for approximately 18 weeks starting, February 2023 through July 2023 with project closeout completing by September 15, 2023.

Estimated

Horrocks' Estimate of Costs

A. SUMMARY ESTIMATED MANHOUR COSTS

			Hours		Loaded Rate		Labor Cost
Project Manager	C. Brown		221	@	165.03	=	\$ 36,471.61
1st ROM	J. Harvey		395	@	133.51		\$ 52,735.53
2nd ROM	R. Frechette		340	@	111.50		\$ 37,910.55
Lead Inspector	R. Guevara		834	@	118.95		\$ 99,205.75
Lead Tester	TJ Williams		610	@	102.61	=	\$ 62,593.03
Inspector/ Testing Coordina	t E. Boucher		464	@	122.71	=	\$ 56,936.56
1st Inspector/ Tester	M. Hawk		160	@	103.52	=	\$ 16,563.09
2nd Inspector/ Tester	A. Williams		200	@	111.56	=	\$ 22,312.84
Clerical	J. Peters		6	@	101.14	=	\$ 606.84
		Total	3230		Total		\$ 385,335.81

OH = 176.93%

B. REIMBURSABLE EXPENSES

1

 Estimated Quantity
 Unit Cost
 Expense Horrocks

 Mileage
 8160
 @ \$ 0.655 = \$ 5,344.80

FFCM = 0.10%

TOTAL REIMBURSABLE EXPENSES = \$ 5,344.80

Fee=13.0%

C. SUBCONSULTANTS

T-O Engineers Fee

TOTAL SUBCONSULTANT FEES = \$

TOTAL (A thru C) \$390,680.61



952.445.5135 | 877.632.0503 aquatix.playlsi.com















































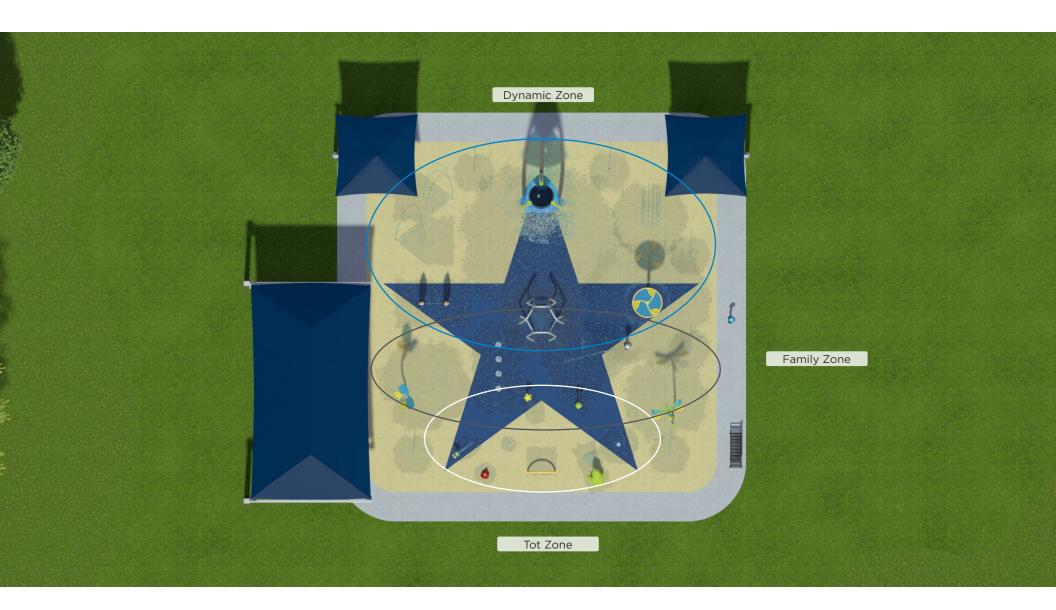














Design# 1171978-02-02 2/9/2023





Design Details

*Surface finishes and/or site furnishings shown are conceptual and provided by others.

Proposed Color Palette

Paint Colors









Acrylic Colors





Step Pad Color

Project Details
Dimensions
70' 0" x 70' 0"

Total System Flow Rate 177 GPM

Site FurnishingsSkyways # 237674 (x2)
216042 (x1)

Color Approval

Customer Signature Date

Colors shown are for representation purposes.

Consult with your Representative for actual color swatches for final color selection.

- ALL CONCRETE SLOPES TO BE 1/8"/FT MIN. AND 1/4"/FT MAX.
- SITE ELEVATIONS OF SPLASH PAD AND CONCRETE APRON TO BE VERIFIED BY OTHERS. AQUATIX ELEVATION REFERENCE IS 0'-0" FOR TOP OF DRAIN BOX. ALL OTHER NOTED ELEVATIONS ARE REFERENCED FROM THAT POINT.
- REFER TO SPEC SHEET AND INSTALLATION DRAWING FOR EACH PRODUCT
- ACTUAL SIZE, SHAPE, AND LOCATION OF SPLASH PAD TO BE FIELD DETERMINED BY OTHERS. ALL DIMENSIONS OF SIZE AND SHAPE OF SPLASH PAD FOR REFERENCE ONLY.
- THE INTENT OF A SPLASH PAD IS TO BE A DRY DECK WITH NO STANDING WATER. THE WATER IS TO BE CONTAINED WITHIN THE PERIMETER OF THE SPLASH PAD AND ALL WATER IS TO DRAIN INTO THE DRAIN BOXES. THE CONCRETE IS TO BE FORMED AND SLOPED TO ACCOMMODATE THIS DRAIN PATTERN.
- ALL TREATED SPLASH PAD WATER IS INTENDED TO REMAIN WITHIN DESIGNATED SPLASH PAD DECK. UNDER NO CIRCUMSTANCES SHOULD SLOPE OF SPLASH PAD ALLOW WATER TO DRAIN OFF PAD.
- UNDER NO CIRCUMSTANCES SHALL THE SURROUNDING HARDSCAPE AREA BE SLOPED TO ALLOW WATER TO BE DRAINED INTO THE SPLASH PAD DECK.
- ALL CONCRETE SURFACES TO HAVE A MEDIUM BROOM FINISH.
- COORDINATE EXPANSION JOINT AND SAW CUT LOCATIONS WITH PLAY EQUIPMENT LOCATIONS.
- DRAWINGS ARE FOR DESIGN/LAYOUT PURPOSES ONLY. PLEASE SEE AQUATIX BY LANDSCAPE STRUCTURES FOR INCLUDED STRUCTURES, EQUIPMENT, SERVICES, AND EXCLUSIONS.
- ----NDICATES SPLASH ZONE.
- SPLASH ZONES ARE APPROXIMATE. ACTUAL SPLASH ZONE MAY VARY BASED ON VARIOUS ENVIRONMENTAL CONDITIONS, FLOW RATES, SLOPE OF THE SPLASH PAD, SUBMERGENCE
- DEPTH AND WIND.

 DRAWINGS ARE SCHEMATIC ONLY.

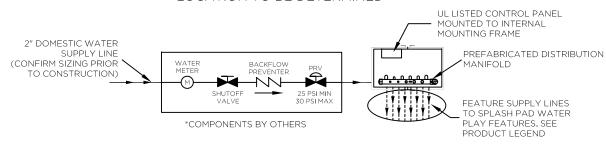
 18" OF GRANULAR FILL RECOMMENDED, OR AS SOIL CONDITIONS AND/OR LOCAL CODE REQUIRES WITH A MINIMUM OF 2500 PSF SOIL BEARING
- THERE IS TO BE A MINIMUM OF 6" OF GRANULAR FILL AROUND ALL PIPING
- CONCRETE REINFORCEMENT TO BE #4 REBAR @12" O.C. EACH WAY OR EQUIVALENT WELDED WIRE MES (W6 ON 4"X4" SPACING OR W10 ON 6"X6" SPACING)
- SCHEDULE 80 PVC TO BE UTILIZED FOR ALL SPLASH PAD MECHANICAL SYSTEM PIPING.

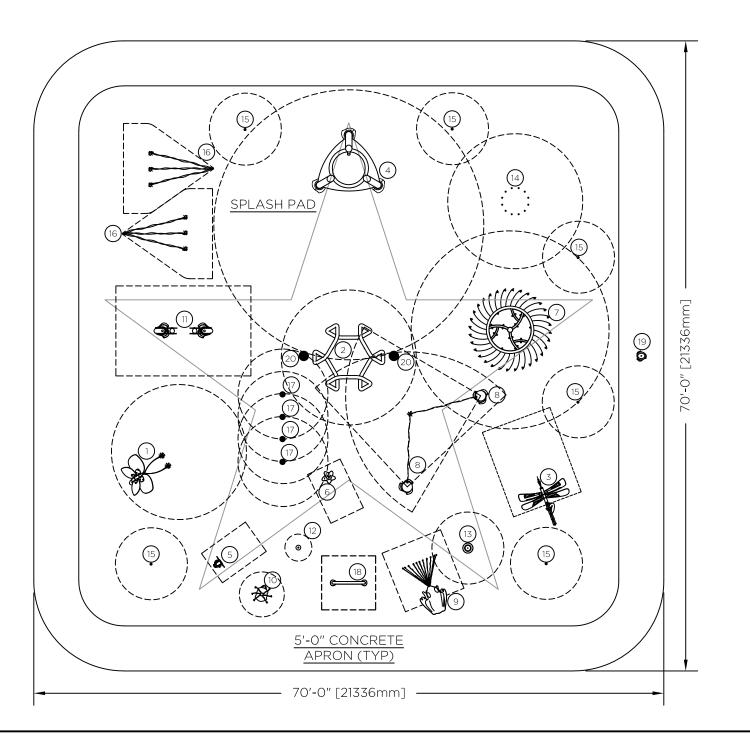
SPLASH PAD AREA: 3579 SQ FT. APRON AREA: 1235 SQ. FT. OTAL AREA: 4814 SQ FT. OTAL FEATURE FLOW RATE: 177 GPM

SYSTEM TO BE SEQUENCED NOT TO EXCEED 75 GPM'S

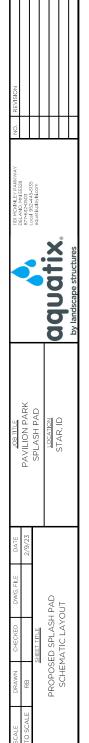
PRELIMINARY FOR BID ONLY NOT FOR CONSTRUCTION

ABOVEGROUND MECHANICAL ENCLOSURE (NTS) **LOCATION TO BE DETERMINED**





NO	PRODUCT	QTY	GPM	LINE S	Section 8, Item C.
1	AQUAFLIER	1	5	1"	
2	AQUAHEDRA	1	15	1 ½"	
3	DRAGONFLIER	1	5	1"	
4	THEMED FLASHFLOOD	1	20	1 ½"	
5	FLORASPOUT	1	2	1"	
6	FLORASWIRL	1	3	1"	
7	HYDROHELIX W/ ACRYLIC	1	30	1 ½"	
8	HYDROSPHERE	2	5 EA	1" EA	
9	SPLASHPACK FROG	1	10	1 ½"	
10	TOTPACK LADYBUG	1	5	1 ½"	
11	WATERLIMBO	1	20	1 ½"	
12	BUBBLER	1	10	1"	REVISION
13	CRACKLE CORN	1	5	1"	
14	MINI UPWARD SPRAY RING	1	12	1 ½"	Ö.
15	STREAM JET	6	1EA	1" EA	
16	TRIPLE ARCH JET	2	2.5 EA	1" EA	KWAY
17	JUMPING STREAM JET	4	1EA	1" EA	EY PAR NI 55328 NI 55328 145-5135 ds.com
18	TOT ARCH	1	10	1"	INDI MCRANLEY PARROWAY BELLANO NM 53528 BELLANO NM 53528 BELLANO NM 53528 ACHERICADO MICOM
19	AQUAVATOR	1		==	1101 DEL 877 Loco aqu
20	DRAIN BOX	2			×







Customer Information

Trevor Chadwick

Jeremiah Webb

PRINT NAME

PROPOSED BY LSI REPRESENTATIVE

PRINT NAME

PROPOSAL

ALL PURCHASE ORDERS, CONTRACTS, AND CHECKS TO BE MADE OUT TO:

LANDSCAPE STRUCTURES, INC.

601 7TH STREET SOUTH

DELANO, MN 55328 U.S.A.



Sourcewell Contract No. 010521-LSI

FREIGHT

TOTAL \$

IDAHO USE TAX

763-972-3391 800-328-0035 Fax: 763-972-3185

CONTACT:	Trevor Chadwid	ck					
PHONE	208-286-7247		Destinati	ion			
FAX:			F.O.B.				
	email: tchadwic	k@staridaho.org		FREIGHT	✓ Prepaid		Collect
SHIP TO:	Pavilion Park						
Maintenance			Net 30	days upon credi	t approv., de	pos	it may be required
Kit/Info ?				Subject To Credit			, i
			20-24 W	eeks ARO			
BILL TO:	City of Star		SHIPPING	3 TIME			
	Accounts Payab	ole	D	ina Caad fan (0 Jana franc	D.	40 of Duomosal
	P.O. Box 130		Pric	cing Good for 6	o days irom	Da	te of Proposal
	Star, ID 83669		_				
	We	are pleased to submit this proposal to s	upply the	e following ite	ms:		
QTY	ITEM NO.	DESCRIPTION	UNIT WT	UNIT PRICE	WEIGHT	Е	XTENDED AMT
		Project Name:	•				
1	1171978-02-02	Pavilion Park Splash Pad Opt 2 Features		\$222,980.00	-	\$	222,325.00
1		Domestic Water System:		\$56,947	-	\$	56,947.00
1		Design & Construction drawings:		\$4,016	-	\$	4,016.00
1		Sealed Engineer Stamp:		\$2,510	-	\$	2,510.00
1	216042B	SkyWays® Cantilever 20'x36' Shade 10'		22,910.00	-	\$	22,910.00
		Entrance Height			-	\$	-
2	237674B	SkyWays® Cantilever Single Post		8,400.00	-	\$	16,800.00
		Pyramid (14'x14') Shade 10' Entrance			-	\$	-
					-		
					-		
					-	\$	-
		ourcewell Contract No. 010521-LSI Prici	ng Applie				
		THIS PROPOSAL WILL CONSTITUTE A PURCHASE		Total Weight			
		LANDSCAPE STRUCTURES, INC. CUSTOMER			L MATERIAL	\$	325,508.00
RECEIPT OF AN	ORDER ACKNOWI	LEDGEMENT CONSTITUTES SUCH APPROVAL.		Source	Well Discount	\$	(26,040.65)
				INI	CTALLATION	φ.	405 400 00
			,	IIN	STALLATION	\$	405,190.00
ACCEPTED BY C	CUSTOMER	DATE	_				
ACCEL LED DI C	OUTOWILK	DATE					

Taxable: Freight _____ Installation _____

DATE

\$19,516

Included

724,173.35

Print

Clear

Section 8, Item D.

Form 1520-34 (Sept 2016)

UNITED STATES DEPARTMENT OF THE INTERIOR BUREAU OF LAND MANAGEMENT

Available Property Report 1520-34

Report No. 10 ALPHA/NUMERIC: IDTAR23005	TODAY'S DATE: 02/09/2023		
TO: OC-653 PROPERTY DISPOSAL SECTION NATIONAL OPERATIONS CENTER DENVER FEDERAL CENTER DENVER, CO 80225-0047	FROM: HOLDING OFFICE COMPLETE ADDRESS: Twin Falls District BLM 400 West F St. Shoshone, ID 83352		
A. PLATE#: 1428487 EQUIP#: 100	49045 ASSET#: 617907		
B. ITEM AND	DESCRIPTION:		
BODY TYPE/TRIM (LT XLT LTZ ETC.): ST	DAMAGES: Normal wear and tear for off road use. *****		
PICKUP BED LENGTH/FT: 6'	Besides normal wear and tear the DS rear bumper is slightly bent		
NUMBER OF DOORS: 2 3 4	(pic attached), the PS panel under the rear door is dented in due to hitting something (3 pics attached).		
MFG: Dodge			
MFG YEAR: 2012			
MODEL (CREW CAB, EXT CAB ETC. /150 1500 250 2500/ DUALLY SRW DRW ETC.): Quad / 1500 / SRW	NEEDED DEDA IDG (CA FETTY ICCLIFC MUIOT DE A DEDEGGED		
VIN NUMBER: 1C6RD7FP7CS259853	NEEDED REPAIRS (SAFETY ISSUES MUST BE ADDRESSED BEFORE TURN IN):		
\checkmark 4x4 OR \Box 4x2 OR \Box AWD	None.		
GVWR: 1/2 TON // 6,700			
CYLINDER: 4 5 6 6 8 OTHER			
CID (ENGINE SIZE): 4.7 L V8 FFV			
FUEL TYPE: DIESEL GAS E85 HYBRID			
TRANSMISSION: 🗸 AUTO 🗌 MANUAL	***I CERTIFY THAT THE MILEAGE/HOURS ARE ACCURATE MUST BE WITHIN 25 MI OR 2 HRS COMPARED WITH		
INTERIOR/EXTERIOR COLOR: Dark Slate/Medium Graystone // Mineral Gray	FBMS. MILEAGE AND OR HOURS: 75966		
	POC NAME: Mark Kelley		
ACCESSORIES (USE SECTION I/PAGE TWO)	POC PHONE NUMBER: 208-308-4173		
C. QTY: 1	D. UNIT PRICE (ORIGINAL COST): 19141.52		
E. TOTAL PRICE (ORIGINAL COST):	F. COND. CODE (SEE PAGE 2): 4		
G. The above listed property has been inspected and the descrip	otion(s) and condition(s) provided is (are) correct.		
Signature: DUSTIN VAUGHN Date: 2023.02.09 11:16:06 -07'00'			
H. TITLE OF THE DISPOSER:Property Management Specialist			

ACCESSORIES

(THIS PAGE SHOULD MATCH THE ORIGINAL ASSET RECEIVING REPORT UNLESS ITEMS WERE ADDED AFTER PURCHASE)

I. CHECK ALL APPLICABLE ACCESSORIES:	
✓ Air Conditioning	Quad Seating
Rear Air	Roof Rack
✓ Power Steering	✓ Tinted Glass
✓ Power Door Locks	Running Boards
✓ Power Windows	Trailer Towing Pkg.
✓ Tilt Wheel	Grill Guard
✓ Cruise Control	Winch
✓ AM/FM Stereo Radio	Optional Fuel Tank
Cassette	Rear Window Wiper
✓ CD Player	Rear Window Defroster
✓ Dual Air Bags	✓ Intermittent Wipers
✓ ABS (4-Wheel)	Power Mirrors
Power Seat	☐ Bed liner
Dual Power Seats	Number of Passengers: 5
☐ Third Seat	Upholstery: Vinyl Cloth Leather
OTHERS: LIST ALL ITEMS NOT INCLUDED IN TI	HE CHECK BOXES:
Tow hooks Transfer case and front suspension skid plates Vinyl floor covering Daytime running headlamps Anti-spin differential rear axle locking tailgate Class IV receiver hitch electronic stability control	
* Was used as Law Enforcement: Console	No console Used as undercover

^{*} IF CHECKED, ENTER UNDER DAMAGES SECTION "USED AS LAW ENFORCEMENT AND MAY BE ROUGH DUE TO OFF-ROAD USE; NUMEROUS HOLES FROM RADIO, CAGE, AND LIGHT BAR – DE-INSTALLMENT."

^{*} IF CHECKED "USED AS UNDERCOVER," ENTER UNDER DAMAGES "USED AS LAW ENFORCEMENT AND MAY BE ROUGH DUE TO OFF-ROAD USE."

GENERAL INSTRUCTIONS

- 1. DOCUMENT NUMBER IS TEN ALPHA/NUMERIC NUMBER FOR EXAMPLE MT09AR1601
- 2. THE FROM OFFICE IS THE OFFICE DISPOSING OF THE EQUIPMENT.

SPECIFIC INSTRUCTIONS

(COLUMNS NOT LISTED ARE SELF-EXPLANATORY)

- (A) ONLY ONE ITEM PER FORM.
- (B) ENTER BLM TAG NUMBER, EQUIPMENT NUMBER AND CORRECT ASSET NUMBER FOR THE ITEM.
- (C) GIVE COMPLETE DESCRIPTION OF EACH ITEM, SUCH AS MANUFACTURER'S NAME, YEAR, MODEL, SERIAL NUMBER ETC.
- (D) ENTER NUMBER OF UNITS OF EACH LINE ITEM.
- (E AND F) ENTER THE ORIGINAL COST. UNIT PRICE AND TOTAL PRICE SHOULD BE THE SAME NUMBER.
- (G) CONDITION CODE **MUST** BE ACCURATE AND CURRENT AS OF THE DATE OF REPORT. FOR ITEMS CODED 7, X, OR S, THE NATURE OF REPAIRS REQUIRED **MUST** BE NOTED IN THE ITEM AND DESCRIPTION BLOCK.19 SHOW ONE OF THE FOLLOWING CONDITION CODES FOR ALL LINE ITEMS.
- (H) SIGNATURE OF THE DISPOSER
- (I) TITLE OF THE DISPOSER
- (J) CHECK ALL APPLICABLE ACCESSORIES AND ADD ADDITIONAL IF NEEDED.
- **PLEASE REMEMBER TO ENTER YOUR UTILIZATION BEFORE SENDING IN YOUR AVAILABLE PACKAGES.
- *VEHICLE KEYS, CREDIT CARDS, AND LOG BOOKS INCLUDING ALL RECEIPTS FOR FUEL, MAINTENANCE AND REPAIRS SHALL BE TURNED IN TO THE PROPERTY MANAGER PRIOR TO COMPLETION OF THIS. DOCUMENT.
- *VEHICLES AND EQUIPMENT WILL NOT BE UTILIZED BY ANYONE, EXCEPT IN SUPPORT OF AN EMERGENCY, ONCE THIS FORM HAS BEEN SUBMITTED TO NOC DISPOSAL TEAM.

DISPOSAL CONDITION CODES

- 1- EXCELLENT-PROPERTY WHICH IS IN NEW CONDITION OR UNUSED CONDITION AND CAN BE USED IMMEDIATELY WITHOUT MODIFICATION OR REPAIRS.
- 4- USABLE-PROPERTY WHICH SHOWS SOME WEAR, BUT CAN BE USED WITHOUT SIGNIFICANT REPAIR.
- 7- REPAIRABLE-PROPERTY WHICH IS UNUSABLE IN ITS CURRENT CONDITION, BUT CAN BE ECONOMICALLY REPAIRED.
- X- SALVAGE- PROPERTY WHICH HAS VALUE IN EXCESS OF ITS BASIC MATERIAL CONTENT, BUT REPAIR OR REHABILITATION IS IMPRACTICAL AND/OR UNECONOMICAL.
- S- SCRAP- PROPERTY WHICH HAS NO VALUE EXCEPT FOR ITS BASIC MATERIAL CONTENT

Print

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Section 8, Item D.

Form 1520-34 (Sept 2016)

UNITED STATES DEPARTMENT OF THE INTERIOR BUREAU OF LAND MANAGEMENT

Available Property Report 1520-34

	<u> </u>		
Report No. 10 ALPHA/NUMERIC: IDTAR23004	TODAY'S DATE: 02/08/2023		
TO: OC-653 PROPERTY DISPOSAL SECTION NATIONAL OPERATIONS CENTER DENVER FEDERAL CENTER DENVER, CO 80225-0047	FROM: HOLDING OFFICE COMPLETE ADDRESS: Twin Falls District BLM 400 West F St. Shoshone, ID 83352		
A DI ATEU 1427024)29022 ACCEPTU 542972		
A. PLATE#: 1427934 EQUIP#: 100	028033 ASSET#: 512872		
B. ITEM AND	DESCRIPTION:		
BODY TYPE/TRIM (LT XLT LTZ ETC.): ST	DAMAGES: Normal wear and tear for off road use. DS front bumper has some		
PICKUP BED LENGTH/FT: 6'	damage and DS front fender by the head light has some damage (pics attached).		
NUMBER OF DOORS: 2 3 4	,		
MFG: Dodge			
MFG YEAR: 2011			
MODEL (CREW CAB, EXT CAB ETC. /150 1500 250 2500/ DUALLY SRW DRW ETC.): Quad / 1500 / SRW			
VIN NUMBER: 1D7RV1GP7BS667615	NEEDED REPAIRS (SAFETY ISSUES MUST BE ADDRESSED BEFORE TURN IN):		
\checkmark 4x4 OR \Box 4x2 OR \Box AWD	None.		
GVWR: 1/2 TON // 6,700			
CYLINDER: 4 5 6 8 OTHER			
CID (ENGINE SIZE): 4.7 L V8 FFV			
FUEL TYPE: DIESEL GAS E85 HYBRID			
TRANSMISSION: 🗸 AUTO 🗌 MANUAL	***I CERTIFY THAT THE MILEAGE/HOURS ARE ACCURAT MUST BE WITHIN 25 MI OR 2 HRS COMPARED WITH FBMS.		
INTERIOR/EXTERIOR COLOR: Dark Slate/Medium Graystone // Rugged Brown	MILEAGE AND OR HOURS: 88468		
	POC NAME: Mark Kelley		
ACCESSORIES (USE SECTION I/PAGE TWO)	POC PHONE NUMBER: 208-308-4173		
C. QTY: 1	D. UNIT PRICE (ORIGINAL COST): 19141.52		
E. TOTAL PRICE (ORIGINAL COST): 19141.52	F. COND. CODE (SEE PAGE 2): 4		
G. The above listed property has been inspected and the description(s) and condition(s) provided is (are) correct.			
Signature: DUSTIN VAUGHN Digitally signed by DUSTIN VAUGHN Date: 2023.02.07 14:35:24 -07'00'			
H. TITLE OF THE DISPOSER:Property Management Specialist			

ACCESSORIES

(THIS PAGE SHOULD MATCH THE ORIGINAL ASSET RECEIVING REPORT UNLESS ITEMS WERE ADDED AFTER PURCHASE)

I. CHECK ALL APPLICABLE ACCESSORIES:	
✓ Air Conditioning	Quad Seating
Rear Air	Roof Rack
✓ Power Steering	✓ Tinted Glass
✓ Power Door Locks	Running Boards
✓ Power Windows	Trailer Towing Pkg.
✓ Tilt Wheel	Grill Guard
✓ Cruise Control	Winch
✓ AM/FM Stereo Radio	Optional Fuel Tank
☐ Cassette	Rear Window Wiper
✓ CD Player	Rear Window Defroster
✓ Dual Air Bags	✓ Intermittent Wipers
✓ ABS (4-Wheel)	Power Mirrors
Power Seat	☐ Bed liner
Dual Power Seats	Number of Passengers: 5
☐ Third Seat	Upholstery: Vinyl Cloth Leather
OTHERS: LIST ALL ITEMS NOT INCLUDED IN TI	HE CHECK BOXES:
Tow hooks Transfer case and front suspension skid plates Vinyl floor covering Daytime running headlamps 3.92 rear axle ratio with anti-spin differential locking tailgate Class IV receiver hitch electronic stability control	
* Was used as Law Enforcement: Console	No console Used as undercover

^{*} IF CHECKED, ENTER UNDER DAMAGES SECTION "USED AS LAW ENFORCEMENT AND MAY BE ROUGH DUE TO OFF-ROAD USE; NUMEROUS HOLES FROM RADIO, CAGE, AND LIGHT BAR – DE-INSTALLMENT."

^{*} IF CHECKED "USED AS UNDERCOVER," ENTER UNDER DAMAGES "USED AS LAW ENFORCEMENT AND MAY BE ROUGH DUE TO OFF-ROAD USE."

GENERAL INSTRUCTIONS

- 1. DOCUMENT NUMBER IS TEN ALPHA/NUMERIC NUMBER FOR EXAMPLE MT09AR1601
- 2. THE FROM OFFICE IS THE OFFICE DISPOSING OF THE EQUIPMENT.

SPECIFIC INSTRUCTIONS

(COLUMNS NOT LISTED ARE SELF-EXPLANATORY)

- (A) ONLY ONE ITEM PER FORM.
- (B) ENTER BLM TAG NUMBER, EQUIPMENT NUMBER AND CORRECT ASSET NUMBER FOR THE ITEM.
- (C) GIVE COMPLETE DESCRIPTION OF EACH ITEM, SUCH AS MANUFACTURER'S NAME, YEAR, MODEL, SERIAL NUMBER ETC.
- (D) ENTER NUMBER OF UNITS OF EACH LINE ITEM.
- (E AND F) ENTER THE ORIGINAL COST. UNIT PRICE AND TOTAL PRICE SHOULD BE THE SAME NUMBER.
- (G) CONDITION CODE **MUST** BE ACCURATE AND CURRENT AS OF THE DATE OF REPORT. FOR ITEMS CODED 7, X, OR S, THE NATURE OF REPAIRS REQUIRED **MUST** BE NOTED IN THE ITEM AND DESCRIPTION BLOCK.19 SHOW ONE OF THE FOLLOWING CONDITION CODES FOR ALL LINE ITEMS.
- (H) SIGNATURE OF THE DISPOSER
- (I) TITLE OF THE DISPOSER
- (J) CHECK ALL APPLICABLE ACCESSORIES AND ADD ADDITIONAL IF NEEDED.
- **PLEASE REMEMBER TO ENTER YOUR UTILIZATION BEFORE SENDING IN YOUR AVAILABLE PACKAGES.
- *VEHICLE KEYS, CREDIT CARDS, AND LOG BOOKS INCLUDING ALL RECEIPTS FOR FUEL, MAINTENANCE AND REPAIRS SHALL BE TURNED IN TO THE PROPERTY MANAGER PRIOR TO COMPLETION OF THIS. DOCUMENT.
- *VEHICLES AND EQUIPMENT WILL NOT BE UTILIZED BY ANYONE, EXCEPT IN SUPPORT OF AN EMERGENCY, ONCE THIS FORM HAS BEEN SUBMITTED TO NOC DISPOSAL TEAM.

DISPOSAL CONDITION CODES

- 1- EXCELLENT-PROPERTY WHICH IS IN NEW CONDITION OR UNUSED CONDITION AND CAN BE USED IMMEDIATELY WITHOUT MODIFICATION OR REPAIRS.
- 4- USABLE-PROPERTY WHICH SHOWS SOME WEAR, BUT CAN BE USED WITHOUT SIGNIFICANT REPAIR.
- 7- REPAIRABLE-PROPERTY WHICH IS UNUSABLE IN ITS CURRENT CONDITION, BUT CAN BE ECONOMICALLY REPAIRED.
- X- SALVAGE- PROPERTY WHICH HAS VALUE IN EXCESS OF ITS BASIC MATERIAL CONTENT, BUT REPAIR OR REHABILITATION IS IMPRACTICAL AND/OR UNECONOMICAL.
- S- SCRAP- PROPERTY WHICH HAS NO VALUE EXCEPT FOR ITS BASIC MATERIAL CONTENT

Scope of Work

I. General Requirements

- A. This proposal is for the Star History Committee to capture interviews of Star, Idaho natives. Lynn Davis will work on scheduling 12-13 people to be interviewed by historian Dean Hagerman.
- B. The purpose of this project is to produce a series of professionally developed videos to preserve and tell the stories of Star, Idaho. The videos will be compiled from a series of interviews into one video for the use in Star's forthcoming museum. We will partner with Catapult3 (which earlier provided its estimate costs) by giving them our created work to put onto exhibit hardware, some of which will be portable.
- C. To save on costs and production time we will consolidate production days. We will do 4 video shoots per day to control costs. The provided quote will be based on 3 production days. This is to cover the equipment rental costs and for the time that FlshDawg Productions spends to the project. (NOTE: The way the videography industry works is to charge a fee for use of the company's own equipment along with its time.)

II. Services to be Performed

- A. FishDawg Productions shall:
 - 1. Create a series of videos as follows:
 - a. The first of these videos will be a 3-minute video to create a visual and oral history of members of Star, Idaho. This will be used for the visual display in the museum.
 - b. We will be filming and producing 12-13 interviews of people in Star, Idaho.
 - c. We will be driving our team and equipment from Boise to these various locations in Star, Idaho.
 - d. We will take those 12-13 interviews and edit them into individual videos as visual and oral history of members of Star.
 - e. Once the videos are captured we will get them transcribed (This cost is included in the quote.) That transcription will be given to Lynn Davis, who serves on the Star History Committee, for editing assistance. Lynn Davis will help schedule the interviews and help as needed in the video production prior to June 31, 2023.
- B. We will work with Historian Dean Hagerman to video his interviews (His time and costs associated with this project were provided earlier by him.)
- C. Lynn Davis and Dean Hagerman will assist in developing the story to be told for the 3-minute video (Her time and costs associated with this project will not be billed because she is donating her time and expertise.)

2. Deliverables

1. FishDawg Productions shall produce work products and deliverables throughout the

duration of the project. The deliverables on this project shall be the production of the videos that meet the specifications as outlined.

- 2. FishDawg Productions shall develop a feasible and targeted timeline and schedule for all activities and deliverables for Spring/Summer 2023.
- 3. Final files will be delivered to Catapult3 in a format needed by them and to Lynn Davis on a Hard Drive for the Star History Committee for Archive.

Section 8, Item E.

Fisher, Inc.

1755 N Westgate Dr Ste #225

ID 83704

(208)794-8663

brandan@fishdawgproductions.co

m

fishdawgproductions.com

Fisher, Inc.

BILL TO Lynn Davis

DATE 12/21/2022

Invoice 1377

PLEASE PAY \$22,535.18

DUE DATE 04/30/2023

DESCRIPTION	QTY	RATE	AMOUNT
Video Production The goal is to Film 4 Interviews in one day Rental Equipment -2 HD Camera Kits -Microphone to Capture Audio Operators Time -Camera Operator and Sound Person -Travel Time	3	5,000.00	15,000.00
Video Editing Getting all the footage organized -Archive of Audio for preservation of the story of Star -Editing of individual stories -Editing of stories complied into Museum Exhibit	1	5,000.00	5,000.00
Graphics Package Lower Third Graphics (This will show who is talking. There name and title) Logo Animation (Nice outro on the video)	1	500.00	500.00
Royalty Free Music Track Licensed Music for your project	3	200.00	600.00
Transcription Transcribe interview footage 12 interviews Roughly 1 hour a piece. Getting everything transcribed for Lynn Davis to help with the story.	1	1,080.00	1,080.00
Hard Drive Deliverables 1 Hard Drive (All Footage, Audio and Transcription files as backup for archive.) 1 Flash Drive (File for Museum)	1	355.18	355.18

SUBTOTAL	Section 8, Item E.
TAX	0.00
TOTAL	22,535.18
TOTAL DUE	\$22,535.18

THANK YOU.

RODNEY C. MCCLURE

11670 W. Soaring Hawk Court Star, Idaho 83669 Mobile Phone: 208-991-6581

E-Mail: rod170@comcast.net

SUMMARY / OBJECTIVE

A highly experienced executive with extensive management experience in logistics, marketing and sales. Expertise in the Far East, South American and European arenas, encompassing both domestic and international sourcing and transportation. Additional specialties include import / export; freight forwarding; ocean, rail and truck transport; and knowledge of production planning, warehousing and inventory control. A strong record of new business development, account maintenance and profit improvement through innovative cost saving programs. An energetic, focused, creative and enterprising professional. Well adaptable to either corporate team structure or entrepreneurial startup. Searching for a position where strength in general management of marketing, sales and building strategic alliances is a major consideration.

MAJOR ACCOMPLISHMENTS

Management

- General Manager, Matson Agencies SFO west coast sales and marketing of international logistics agency, encompassing Far East / European arenas. Reported directly to senior vice president.
- General Manager, west coast operations for J.F. Hillebrand GmbH. SFO; a European logistics company, specializing in international wine and spirits transport. Reported directly to vice president in Mainz, Germany.
- Marketing Manager, USA western region, Hapag Lloyd, San Francisco, CA. Structured marketing / sales / customer service departments to ensure quality control.
- Operations warehouse supervisor for Consolidated Freightways, Hayward, CA.

Marketing/Logistics/Sales

- Directed western region marketing for Far East and N. Europe/Med import/export transactions, specializing in major moving commodities, including wine and spirits.
- Directed pricing and marketing for southbound trade lanes of cargoes from North America to South America, resulting in increased profits. Experienced in project cargo.
- Conducted research of marketing and sales techniques, resulting in improved utilization of sales executive account production.

Page 2

Mobile Phone: 208-991-6581 E-mail: rod170@comcast.net

Section 8, Item F.

Marketing/Logistics/Sales, continued:

- Developed and implemented an account database of clientele for regional sales offices resulting in improved market identification, tracking and sales direction.
- Conducted successful executive level client contacts to consistently meet targeted goals with both regional and global accounts.
- Directed successful sales for multi-state and multi-office regions to increase budget goals over consecutive years for both import and export targets.
- Experienced contract negotiator with importers / exporters / 3rd Party Logistics companies.

WORK HISTORY

2022 Jan thru Aug Sailing Hawk HOA 'transition' Vice President, Star, ID

1991 to June 2019 Norton Lilly International / China Ocean Shipping Co. SFO

General Manager, Marketing-Sales / District Sales Manager

1988 to 1991 Matson Agencies / Lavino Agencies, SFO, CA

General Manager, Marketing and Sales (1990-1991)

District Sales Manager (1988-1990)

1983-1988 Showa Maritime Corporation, SFO, CA General Manager, Marketing and Sales

1979-1983 J. F. Hillebrand GmbH, SFO, CA

Director of West Coast Operations

1975-1979 Hapag Lloyd GmbH, SFO, CA

General Sales Manager, Western Region

1972-1975 Consolidated Freightways, Hayward, CA

Linehaul dispatcher / dock supervisor

EDUCATION

University of San Francisco, San Francisco, Calif.

Bachelor of Arts in Economics and International Marketing
Additional Minor in Real Estate;

Proficient in Microsoft Office (Word, Excel, Access, Powerpoint); Microsoft Outlook

EXPERIENCE HIGHLIGHTS

- Asian / European / Mediterranean /N. American Arenas
- Knowledge of Import and Export Transportation Process

Section 8, Item F.

- Ability to take initiative when required
- Good crises management and problem solving
- Experienced in coordinating with customer service centers, to insure successful servicing of client base.
- Commodity specialist in (Export) Refrigerated Goods; dried fruit & nuts; foodstuff; wine and spirits and exempt cargo; (Import) General Department Store Merchandise; Consumer Products; furniture and Project Cargo.
- Experienced in multi-level relationships / staff to executive levels

PERSONAL NOTES

- Born in Ontario, OR February 7, 1944. Resided in Weiser, ID through 1944.
- Raised in Blaine County, ID, (Bellevue, ID). Graduated Bellevue High School 1962
- February 1964, joined US Navy; TAD San Diego CA 1964, then electronics school in Treasure Island (SFO) Fall 64/Spring 65. Transferred to USS Jenkins,, DD447 based out of Pearl Harbor, Honolulu, HI. Two tours SE Asia (66/67); two Vietnam Service Medals; mustered out as E-5 rating under Honorable Discharge Feb 3 1968.
- Upper level education: College of Idaho, Caldwell, ID Sept 62-April 63; Sept 63-Jan 64 /
 University of San Francisco (1969 1971. Bachelor degree in Econ/Intl Marketing
- Retired June 2019 from China Ocean Shipping Company, Shanghai, PRC / Secaucus, NJ after 25 years in regional / national sales management;
- California Real Estate Brokers license 1985 2022.

1 Rod Resume 2022.doc

ExoFit

Section 8, Item G.



10271 Deer Run Farms Rd, Suite 1 Fort Myers, FL 33966 (800) 527-0797 info@Exo.Fit www.Exo.Fit

Estimate

ADDRESS Claudia Sanders SHIP TO Claudia Sanders Star Outdoor Fitness Project Star, ID 83669 ESTIMATE 1016
DATE 02/08/2023

			TOTAL	\$13,625.52
on the BOL and take pictures if possible.		uocument it	SHIPPING	2,978.52
Please make sure the shipment is checked upon delivery and if there is anything that looks like it was damaged please make sure to document it			TAX	0.00
All freight quotes will only be valid for 30 d	lays		SUBTOTAL	10,647.00
***SHIPS ON LARGE PALLETS- FORKLIFTS NEEDED TO UNLOA EXOFIT IS NOT RESPONSIBLE FOR DAMAGE CAUSED BY UNLOADING BY OTHER METHODS	D			
ExoFlex Squat Machine RSS S&D	RSS	1	2,099.50	2,099.50T
2-Person Cross Skier DCCS S&D	DCCS	1	1,799.50	1,799.50T
ExoFlex Chest Press RCP S&D	RCP	1	2,099.50	2,099.50T
2-Person Leg Press SLP II S&D	SLP II	1	1,599.50	1,599.50T
ExoFlex Vertical Press RSP S&D	RSP	1	2,099.50	2,099.50T
ExoKids Rider CR S&D	CR	1	949.50	949.50T
PRODUCT	SKU	QTY	RATE	AMOUNT

Accepted By

Accepted Date

STAR PAB Committee Proposal for Outdoor Fitness Equipment On Floating Feather and Star Road (across from Hunters Creek Park)

Target Completion Date – May 31, 2023



Vertical Press

Shoulders/Chest/Arms - \$2099.50





Chest Press

Chest/Triceps/Rear shoulders/Abs - \$2099.50



Squat Machine

Legs/Glutes - \$2099.50



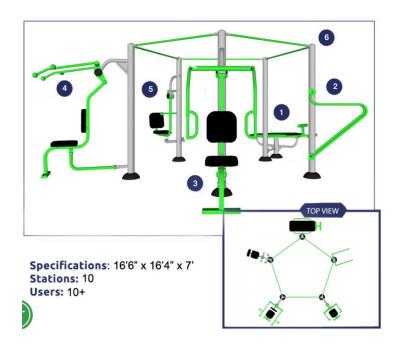
2-Person Leg Press - Legs/Calves/Glutes - \$1599.50

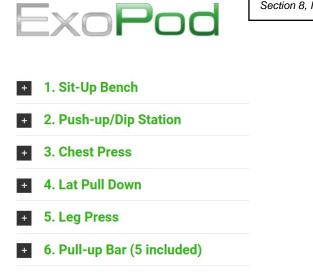


2-Person Cross Skier - Lower Body/Core/Upper Body - \$1799.50

Total for above <u>5 pieces</u> = \$9697.50 + \$2500 (approx. shipping) = \$12197.50

Section 8, Item G.



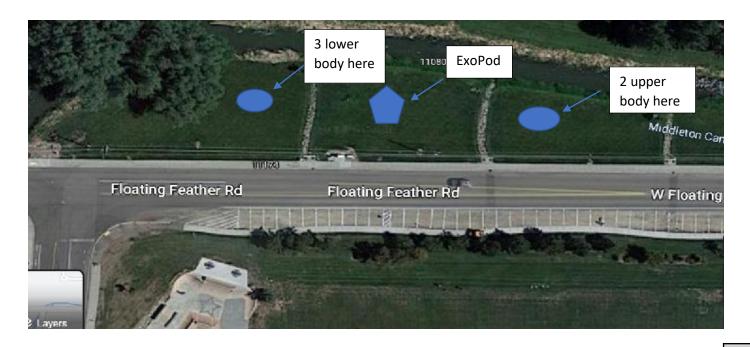


ExoPod = \$9,499.50 + \$3445.40 (shipping) = \$12,944.90

Total for all = \$25,142.40

- \$6,000 PAB Budgeted Contribution \$19142.40

+ \$4000.00 Approx. Installation/pad with Bob Little \$23142.40 - Asking from Park Impact Fees





2023 LUNARIA GRANT PROGRAM APPLICATION FORM

Applicant Organization: City of Star, Parks, Arts & Beautification Committee						
Project Title:	River House Ho	River House Horticulture Project				
Project Location:	Star River Hous	Star River House, 960 S. Main St., Star, ID 83669				
Organization website: www.staridaho.org						
	Is this a non-profit organization: YES NO If yes, provide a copy of your IRS designation letter with your application.					
Contact information fo	r organization rep	oresentative:				
Name: Gerri McCorkl	e, Chairperson, Ar	ts, Parks & Beautif	ication Committee			
Street/Address : 10769 W. Stat	e St.					
City: Star		Idaho	Zip code: 83669			
Phone: (661) 618-2629		Email Address:	gmccorkle@staridaho.org			
A. Project Description:						
Total projected project	cost \$ 9,780	Amount requ	ested of IBG \$ 1,500			

On a separate page(s), describe the project and state its goals and objectives. Narrative should explain why this project is worthwhile, the project's time line, geographical area to be served, who and how many will be served, who will do the work, how the success of the project will be evaluated, and information about any collaborative project partners. Indicate if this is a one-time project or will be continued in future years. If it is a continuing project, describe how it will be maintained. Label each section of this narrative.

B. Project Budget:

Income: List amount and sources of contribution of cash and in-kind support committed to
this project to date (in one column), and those that are pending (you have asked but are not
sure that you will receive them) in another column. Please indicate if those contributions are
dedicated for specific expense line items.

- Expenses: List expenses by category as separate line items.
- The total of confirmed, pending and grant requested income should match the total of expenses for project.

Sample Itemized Budget Template

	Confirmed Income	Pending Income
INCOME ITEM		
Donations (Cash)	\$100	\$200
 Donations (In-kind) plants from XYZ Nursery 60 plants at \$5/plant 	\$300	
 Donation – labor, from Garden Scholars Club – 30 hours at \$25/hour 	\$750	
Total	\$1,150	\$200

EXPENSE ITEM	Expense	Grant
		Request
Top soil – 12 yards at \$10/yard	\$120	\$20
Plants – 120 plants at \$5/plant	\$600	\$300
 Fertilizer – two 30lb bags of 10-10-10 or Gro Mor organic fertilizer at \$25/bag 	\$50	\$50
• Labor – 50 hours at \$25/hour	\$1,250	
Total	\$2,020	\$370

Please email jennifer@idahobotanicalgarden.org with any application questions.

Date

The decision-making body of the applicant has discu	issed this information and all information
provided is accurate.	
	Mayor
Applicant Representative's Signature	Title
Trevor Chadwick	February 3, 2023

5|Page

Print Name

TITLE: The Star River House Horticulture Project

PROJECT DESCRIPTION

Formerly a home that was acquired in 2013, the River House was remodeled by the City in 2019 and now contains a large, partitioned meeting space, full kitchen, beautiful rock fireplace and room for storage. It is available to the public for rent and is used as well for educational classes. The wrap-around deck facing the river on the south side of the center provides a natural stage for musical performances, our Art by the River event and is a nice area for outdoor seating. As a fairly new location for such activities, the number of visitors to the River House is growing as activities there also increase. In 2022, we experienced approximately 5,600 visitors to the River House. Our current city population is approximately 17,000 with a 52% rate of growth since 2020. There is a definite need for these educational opportunities in the western Treasure Valley.

EDUCATION

In addition to creating a beautiful landscape element, this project will be accompanied by a horticulture-based education program, achieved through City-sponsored classes.

A Master Gardener has committed to providing classroom and laboratory education to individuals interested in horticulture. Students would participate in the planting and maintenance of the garden area throughout the growing season and prepare the greenhouse for the propagation of seeds. Additionally, the PAB Committee would formulate youth workshops, provide similar educational opportunities for scout groups, church groups, and individual children interested in expanding their horticultural knowledge. Emphasis will be on the role and important of pollinators in our environment and to help our many new citizens to Idaho that have relocated to Star, make decisions in their plantings that promote these pollinators' needs and wise gardening choices.

COLLABORATION

The PAB Committee views this project as a springboard to a multitude of collaborative opportunities, perhaps the strongest between our own City departments. The Committee has prided itself on providing outlets for individual community members and groups to participate in activities and events that not only enhance the participants, but the City as well.

Ada and Canyon County Master Gardeners are well established volunteers for the City for several years now and have committed to this project.

There will be additional educational opportunities through workshops for local youth, and a potential canvas for projects which can be accomplished through Boy Scout Eagle Award and Girl Scout Gold Award programs. The PAB Committee Chairperson is an experienced Eagle Award and Gold Award mentor and advisor having supervised over one dozen high-level scout projects. Additional collaboration is described in the Additional Funding and Partnerships and Budget section of this application.

Implementation is described below in four proposed components:

1. Raised Garden Boxes

The primary component of the project includes the construction of six, 12-foot by three-foot, stone-bordered, raised garden planters, to be placed along the north side of the main entrance driveway to the River House property. These boxes will provide a visually pleasing barrier between the River House property and private residences to the north.

1a. Plants The boxes will contain a combination of perennial flowers and native plants, which will allow pollinators such as bees, butterflies and hummingbirds to prosper. Plant identification tags will be used for education of the public viewing the beds, and to help them in making wise choices in their own gardening endeavors.

2. Irrigation

Appropriate irrigation to the garden box area including water lines, valves and the appropriate emitters will be installed to sustain the plantings. The water source has been identified and a plan developed with the assistance of a professional landscape company to deliver water to the area. The City will take responsibility for the cost and implementation of this aspect.

3. Greenhouse

This project also includes building a greenhouse (approximately 8-feet by 10-feet) that will serve as an area to cultivate seeds for not only the River House, but also for other areas of the City. This greenhouse will serve as one of the primary laboratory areas for City-sponsored horticulture classes for adults and youth alike.

4. Maintenance

Ongoing maintenance of the completed project will be carried out by PAB volunteers, youth groups, and students of the horticulture programs provided by the City. All individuals involved in the maintenance plan will work at the direction of the City Staff and volunteer Master Gardener in our community.

PROJECT METRICS

Successes of this project will be measured in several ways. The River House is a focal point of the community and host to numerous public and private events. Those in attendance will have the ability to enjoy and experience this project's beauty.

The regularly occurring public events at the time of this application are the Fishing Derby; Fourth of July celebration; Christmas Tree Lighting; New Year's Eve Celebration, Opera by the River; Art by the River; Summer Music and Movie Night Events; Summer Camps; Recreational Classes; Educational Classes and Private events including weddings.

It is estimated that approximately 5,600 people attend scheduled public and private events at the River House property. This does not include community members and others who may use the property on non-event days.

It is anticipated that the enhanced beauty realized by the completion of this project will be reflected in an increase of class/workshop participation, an increased number of private events, expansion of horticultural classes and increased participation in other City-sponsored recreation and educational classes. This is a metric that will be tracked by the City of Star in collaboration with the PAB Committee.

TIMELINE

The implementation timeline is as follow:

Design phase - Currently in progress with the goal of completion by April 1, 2023

Acquisition of Materials – Acquisition of materials for garden boxes to begin about late April 2023, to early May 2023

Construction of Garden Boxes - Early May 2023

Educational Opportunities – Late April 2023, to November 2023

Ongoing educational classes will be held to coincide with beds being built and the placement of acquired perennials and native plants.

Instillation of Greenhouse - To begin after late October 2023

Ongoing Maintenance – To begin in April 2023 with no end date.

ADDITIONAL FUNDING & PARTNERSHIPS

Partnering with local businesses has been a cornerstone to the success of numerous PAB Committee projects. PAB foresees multiple opportunities for not only in-kind donations of product and materials, but also direct funding by potential contributors. The key to success is properly articulating the goals of the project and the proposed benefit to the community.

The PAB Committee's intent is to provide matching funds from its existing budget to assist in underwriting this project.

The PAB Committee has partnered with Basalite-Boise, for consideration of materials to construct the six garden boxes and Roots Landscape Products for premium garden soil mix.

BUDGET

REVENUE	COMMITTED REVENUE	PENDING REVENUE
1. PAB Budget Contribution	\$4,500	
2. 2023 Supplemental Budget Adjustment		\$2,700
3. City of Star: In-kind donation for irrigation materials and labor	\$480	
4. IBG Lunaria Grant Proceeds		\$1,500
5. In-kind donation for plant ID tags (50)	\$600	
Total	\$5,580	\$4,200
TOTAL PROJECTED REVENUE	\$9,780	

EXPENSES	BUDGETEDEXPENSE	GRANT REQUEST
1. Materials & Labor		
Stones/materials for garden boxes	\$4,200	\$270
Greenhouse	\$2,700	
Irrigation	\$480	\$200
Premium garden mix soil	\$445	\$450
Road base for wall	\$180	\$180
Perennial plants	\$1,150	\$400
Plant Identification Tags (50)	\$625	
Total Expenses	\$9,780	\$1,500
Total Projected Revenue	\$9,780	
Net	0	

SUMMARY

The City of Star is one of the fastest growing communities in the Treasure Valley – we have increased our population by 52% since 2020. It is the goal of the City and its PAB Committee to enhance public areas for families and individuals. The completion of this project is a significant step in making the River House the perennial location for events in the City.



Raised planters will extend from right foreground of photo to second tree trunk beyond the orange cone



Planter boxes will extend from the immediate left foreground of photo to top of driveway