

**CITY COUNCIL REGULAR MEETING AGENDA**City Hall - 10769 W State Street, Star, Idaho
Tuesday, October 01, 2024 at 7:00 PM

PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.

1. **CALL TO ORDER** – Welcome/Pledge of Allegiance
2. **INVOCATION** – Pastor Tim Nay, LifeSpring Church
3. **ROLL CALL**
4. **PRESENTATIONS**
5. **CONSENT AGENDA (ACTION ITEM)** **All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*
 - A. **Approval of Claims:**
 - B. **Time Extension** - Stargazer Subdivision Preliminary Plat (**FILE: TE-24-08**)
 - C. **Task Order Approval - Star City Hall Generator** - Approve of Task Order #1 to Keller Associates
6. **PUBLIC HEARINGS & ACTION ITEMS:**(The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
 - A. **PUBLIC HEARING: Addington Subdivision (FILE: PP-22-02 MOD Preliminary Plat)** - The Applicant is seeking approval of a Preliminary Plat modification for a proposed residential subdivision consisting of 31 residential lots and 3 common lots. The property is located on the east side of N. Highbrook Way in Star, Idaho, and consists of 5.58 acres with a proposed density of 6.09 dwelling units per acre. The original preliminary plat was previously approved by City Council on September 6, 2022. (**ACTION ITEM**)
 - B. **Ordinance 411-2024 Joplin Rim Subdivision & Development Agreement:** AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED ON THE SOUTHEAST CORNER OF W. JOPLIN ROAD AND N. CAN ADA ROAD, IN STAR, IDAHO (ADA COUNTY PARCELS S0419233700 & S0419325561) AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED BY JOHN BOTTLES; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS RESIDENTIAL WITH A DEVELOPMENT AGREEMENT (R-4-DA) OF APPROXIMATELY 13.53 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE. (**ACTION ITEM**)
 - C. **Ordinance 412-2024 UHaul Annexation / CUP & Development Agreement:** AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AT 7020 & 7190 W. CHINDEN BLVD (HWY 20/26), IN STAR, IDAHO (ADA COUNTY PARCELS S0420438501, S0420438600, S0420438613, S0420438701) AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED BY AMERCO REAL ESTATE COMPANY; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS GENERAL COMMERCIAL WITH A DEVELOPMENT AGREEMENT (C-2-DA) OF APPROXIMATELY 14.47 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE. (**ACTION ITEM**)
 - D. **Executive Session 74-206(a)** - to consider a hiring a public officer, employee, staff member or individual agent, wherein the respective qualities of individuals are to be evaluated in order to fill a particular vacancy or need. (**ACTION ITEM**)
 - E. **Executive Session 74-206(b)** - to consider the evaluation, dismissal or disciplining of, or to hear complaints or charges brought against, a public officer, employee, staff member or individual agent, or public school student.. (**ACTION ITEM**)
 - F. **Actions after Executive Session**
7. **ADJOURNMENT**



CITY COUNCIL REGULAR MEETING AGENDA

City Hall - 10769 W State Street, Star, Idaho
Tuesday, October 01, 2024 at 7:00 PM

The meeting can be viewed via a link posted to the City of Star website at staridaho.org. Information on how to participate in a public hearing remotely will be posted to staridaho.org under the meeting information. The public is always welcomed to submit comments in writing.

Land Use Public Hearing Process

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Applicant has up to **20 minutes** to present their project

Council can ask the applicant questions and staff questions

Public Testimony (**3 minutes per person**)

1. Those for the project speak
2. Those against the project speak
3. Those who are neither for or against but wish to speak to the project
4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick

Vendor Name	Doc #	Invoice #/Description	Date	Warrant	Amount	Inv Date	Period	Fund	Org	Account	Object
ADA COUNTY LANDFILL	CL 4117	2409100347 Landfill Fees	09/12/24	23564	47.04	09/10/24	9/24	10	0	41540	411
ADA COUNTY LANDFILL	CL 4117	2409100147 Landfill Fees	09/12/24	23564	40.32	09/10/24	9/24	10	0	41540	411
ADA COUNTY LANDFILL	CL 4153	2409200382 Landfill Fees	09/25/24	23576	15.36	09/20/24	9/24	10	0	41540	411
ASSOCIATION OF IDAHO CITIES	CL 4151	12772 ICCTFOA Membership Dues	09/25/24	-99596	90.00	09/24/24	9/24	10	0	41810	570
BOISE BARK AND STONE	CL 4147	4689 Bench - Dog Park	09/25/24	23577	2,800.00	09/10/24	9/24	10	0	45130	586
BREANNA RIGBY	CL 4136	Riverhouse Deposit Refund	09/20/24	23570	500.00	09/13/24	9/24	10	0	41810	698
CANON FINANCIAL SERVICES, INC	CL 4110	35192202 Copier Lease City Hal	09/12/24	-99621	256.24	09/12/24	9/24	10	0	41810	324
CATHERINE GRUNER	CL 4115	Reimburse Variance App Fee	09/12/24	23568	1,150.00	09/11/24	9/24	10	0	41510	698
DANA PARTRIDGE	CL 4123	Services Sep 6 to Sep 19, 202	09/20/24	-99612	2,602.34	09/20/24	9/24	10	0	41810	351
DEX IMAGING	CL 4119	AR11992378 Monthly Lease Copie	09/20/24	-99616	163.93	09/19/24	9/24	10	0	41810	610
DEX IMAGING	CL 4119	AR11992378 Copier Overages	09/20/24	-99616	30.85	09/19/24	9/24	10	0	41810	610
GAMEFACE ATHLETICS	CL 4111	320208 Bldg Department Sticker	09/12/24	-99620	830.00	09/09/24	9/24	10	0	41510	324
GAMEFACE ATHLETICS	CL 4120	319400 Plumbing Inspection Tag	09/20/24	-99615	380.00	05/28/24	9/24	10	0	41510	324
GEM STATE PAPER & SUPPLY COMPANY	CL 4121	3093598 Air Freshener	09/20/24	-99614	36.24	09/18/24	9/24	10	0	41540	611
HERITAGE LANDSCAPE SUPPLY GROUP	CL 4122	*3505-001 Landscape Fabric	09/20/24	-99613	137.81	09/18/24	9/24	10	0	41540	435
HERITAGE LANDSCAPE SUPPLY GROUP	CL 4122	*6357-001 Landscape Fabric/Pin	09/20/24	-99613	448.87	09/17/24	9/24	10	0	41540	435
HERITAGE LANDSCAPE SUPPLY GROUP	CL 4122	*2416-002 Irritrol Str Valve	09/20/24	-99613	232.20	09/13/24	9/24	10	0	41540	435
HERITAGE LANDSCAPE SUPPLY GROUP	CL 4122	*2416-003 Irritrol Comm Angle/	09/20/24	-99613	188.62	09/13/24	9/24	10	0	41540	435
HERITAGE LANDSCAPE SUPPLY GROUP	CL 4122	*4785-004 PVC Riser Extension	09/20/24	-99613	16.16	09/11/24	9/24	10	0	41540	435
HERITAGE LANDSCAPE SUPPLY GROUP	CL 4122	*2416-003 Irritrol Str Valve	09/20/24	-99613	-232.20	09/13/24	9/24	10	0	41540	435
HERITAGE LANDSCAPE SUPPLY GROUP	CL 4122	*2416-001 Nozzle Pack	09/20/24	-99613	88.85	09/11/24	9/24	10	0	41540	435
IDAHO POWER COMPANY	CL 4154	10033022584 STRT LIGHTS STAR	09/25/24	-99594	379.47	09/13/24	9/24	10	0	41810	413
IDAHO POWER COMPANY	CL 4154	10033022580 STATE/PLUMMER STRT	09/25/24	-99594	11.62	09/13/24	9/24	10	0	41810	413
IDAHO POWER COMPANY	CL 4154	10033022596 BLAKE SPRINKLER ELE	09/25/24	-99594	3.66	09/13/24	9/24	10	0	41540	412
IDAHO POWER COMPANY	CL 4154	10030204591 HUNTER'S CREEK STRT	09/25/24	-99594	14.82	09/13/24	9/24	10	0	41810	413
IDAHO POWER COMPANY	CL 4154	10033022572 1310 N LITTLE CAMAS	09/25/24	-99594	101.96	09/13/24	9/24	10	0	41540	412
IDAHO POWER COMPANY	CL 4154	10033075641 HIGHBROOK / HWY 44	09/25/24	-99594	37.25	09/13/24	9/24	10	0	41810	413
IDAHO POWER COMPANY	CL 4154	10033022587 1500 N STAR RD	09/25/24	-99594	532.97	09/13/24	9/24	10	0	41540	412
IDAHO POWER COMPANY	CL 4154	10030204606 STRT LIGHTS / BLAKE	09/25/24	-99594	17.30	09/13/24	9/24	10	0	41810	413
IDAHO POWER COMPANY	CL 4154	10032863988 960 S MAIN ST	09/25/24	-99594	24.22	09/13/24	9/24	10	0	41810	412
IDAHO POWER COMPANY	CL 4154	0033207655 11665 W STATE ST A1	09/25/24	-99594	168.61	09/13/24	9/24	10	0	41540	412
IDAHO POWER COMPANY	CL 4154	0030943198 11665 W STATE ST 41	09/25/24	-99594	8.19	09/13/24	9/24	10	0	41810	413
IDAHO POWER COMPANY	CL 4154	0033207654 11665 W STATE ST A	09/25/24	-99594	494.37	09/13/24	9/24	10	0	41540	412
IDAHO POWER COMPANY	CL 4154	10033022592 1300 N STAR RD / HC	09/25/24	-99594	63.42	09/13/24	9/24	10	0	41540	412
IDAHO POWER COMPANY	CL 4154	10030968905 W PICKET CREEK/POLL	09/25/24	-99594	9.71	09/13/24	9/24	10	0	41810	412
IDAHO POWER COMPANY	CL 4154	0030885171 11665 W STATE ST C	09/25/24	-99594	126.17	09/13/24	9/24	10	0	41540	412
IDAHO POWER COMPANY	CL 4154	0033157130 11380 W HIDDEN BROO	09/25/24	-99594	41.97	09/13/24	9/24	10	0	41540	412
IDAHO POWER COMPANY	CL 4154	10032863989 960 S MAIN ST	09/25/24	-99594	289.06	09/13/24	9/24	10	0	41810	412
IDAHO POWER COMPANY	CL 4154	10030966304 OTTER ROCK DR PUMP	09/25/24	-99594	575.22	09/13/24	9/24	10	0	41810	412
IDAHO POWER COMPANY	CL 4154	0033022594 1000 S MAIN ST / PU	09/25/24	-99594	98.03	09/13/24	9/24	10	0	41540	412
IDAHO POWER COMPANY	CL 4154	10033022554 1250 N STAR RD / HU	09/25/24	-99594	1,013.99	09/13/24	9/24	10	0	41540	412
IDAHO POWER COMPANY	CL 4154	0033022563 10775 W STATE ST /	09/25/24	-99594	231.17	09/13/24	9/24	10	0	41810	412
IDAHO POWER COMPANY	CL 4154	0033022589 10769 W STATE ST /	09/25/24	-99594	980.66	09/13/24	9/24	10	0	41810	412
IDAHO POWER COMPANY	CL 4154	0033022576 11225 W BLAKE DR /	09/25/24	-99594	50.81	09/13/24	9/24	10	0	41540	412
IDAHO PRESS	CL 4124	48516 Legal/Pub Notice PH 10/1	09/20/24	-99611	104.67	09/15/24	9/24	10	0	41510	530
JACKSONS FOOD STORES	CL 4137	Surety Bond Release	09/20/24	23571	110,415.00	09/17/24	9/24	10	0	41510	881

JENNIFER COLEMAN	CL	4139	Riverhouse Deposit Refund	09/20/24	23574	400.00	09/20/24	9/24	10	0	41810	698
JUSTIN MAY	CL	4135	Riverhouse Concert	09/20/24	23572	1,000.00	09/13/24	9/24	10	54	41810	
KEELY ELECTRIC	CL	4125	688 Pavilion Parking Lot Light	09/20/24	-99610	1,489.85	09/16/25	9/24	10	0	41810	
KEELY ELECTRIC	CL	4125	644 LED Lights DMV Office	09/20/24	-99610	2,376.81	09/13/24	9/24	10	0	41810	741
KELLY MARTIN	CL	4144	Mileage ICCTFOA Conference	09/25/24	23578	63.92	09/25/24	9/24	10	0	41810	560
MODERN PRINTERS	CL	4146	31978 Business Cards Annie Pew	09/25/24	-99598	95.62	09/01/24	9/24	10	0	41810	610
MOUNT OLYMPUS WATER	CL	4128	24335904 Water Rec Center	09/20/24	-99608	84.00	09/14/24	9/24	10	0	41810	610
MOUNT OLYMPUS WATER	CL	4128	24331811 Water City Hall	09/20/24	-99608	64.50	09/14/24	9/24	10	0	41810	610
OFFICE SAVERS ONLINE	CL	4112	11187 Toner Cartridge	09/12/24	-99619	129.99	09/05/24	9/24	10	0	41810	611
PARK POINTE DEVELOPMENT	CL	4118	App 5 Freedom Park App 5	09/12/24	23566	342,309.17	09/12/24	9/24	10	0	45110	747
PATHWAY CONCRETE & LANDSCAPING LLC	CL	4129	192 Pavilion Dog Park	09/20/24	-99607	3,925.00	09/14/24	9/24	10	704	45110	738
PORTAPROS LLC	CL	4113	133217B-1 960 S Main Portable	09/12/24	-99618	1,336.00	09/10/24	9/24	10	0	41540	411
PORTAPROS LLC	CL	4126	133295B-1 Star Mid Sch Portabl	09/20/24	-99609	169.20	09/12/24	9/24	10	0	41540	411
PORTAPROS LLC	CL	4126	133464B-1 960 S Main Portable	09/20/24	-99609	975.20	09/19/24	9/24	10	0	41540	411
PORTAPROS LLC	CL	4126	112049BB-1 River Walk Portable	09/20/24	-99609	793.60	09/13/24	9/24	10	0	41540	411
REPUBLIC SERVICES INC	CL	4152	001370261 River House 960 S Ma	09/25/24	-99595	1,484.07	08/31/24	9/24	10	0	41540	411
REPUBLIC SERVICES INC	CL	4152	001368882 River House 960 S Ma	09/25/24	-99595	989.63	07/31/24	9/24	10	0	41540	411
ROBERT LITTLE	CL	4142	Life Insur Life Insurance	09/24/24	-99600	-285.38	08/23/24	9/24	10	0	41540	215
ROBERT LITTLE	CL	4142	116197 B&G Contracted Services	09/24/24	-99600	4,895.84	08/23/24	9/24	10	0	41540	351
RYAN FIELD	CL	4138	Reimburse Summer Camp Supplie	09/20/24	23573	224.01	07/29/24	9/24	10	104	44022	611
RYAN FIELD	CL	4138	Reimburse Rec Center Supplies	09/20/24	23573	23.96	06/24/24	9/24	10	0	44022	611
RYAN FIELD	CL	4138	Reimburse Rec Center Supplies	09/20/24	23573	4.20	06/24/24	9/24	10	0	44022	611
SHADEWORKS	CL	4148	Refund Permit not in City Lim	09/25/24	23579	181.81	09/20/24	9/24	10	0	41510	698
SHELLY SCHWERS	CL	4134	Pickleball Instructor	09/20/24	-99602	280.00	09/16/24	9/24	10	0	44021	352
SHERWIN WILLIAMS	CL	4114	1085-8 40% Discount	09/12/24	-99617	-62.83	09/09/24	9/24	10	0	41540	434
SHERWIN WILLIAMS	CL	4114	1085-8 Paint	09/12/24	-99617	311.76	09/09/24	9/24	10	0	41540	434
SIMPLOT TURF & HORTICULTURE	CL	4130	216075624 Lawn Fertilizers	09/20/24	-99606	206.00	09/12/24	9/24	10	0	41540	435
STAR STORAGE	CL	4155	Unit C04	09/25/24	23580	175.00	09/25/24	9/24	10	0	41810	699
STAR STORAGE	CL	4155	Unit C06	09/25/24	23580	175.00	09/25/24	9/24	10	0	41810	699
STAR STORAGE	CL	4155	Unit C08	09/25/24	23580	155.00	09/25/24	9/24	10	0	41810	699
THE ANGRY EASEL	CL	4133	Mommy & Me Painting Class	09/20/24	-99603	200.00	09/20/24	9/24	10	175	44022	352
TREASURE VALLEY COFFEE	CL	4145	10703244 City Hall Coffee/Cups	09/25/24	-99599	100.10	09/20/24	9/24	10	0	41810	610
TREASURE VALLEY COFFEE	CL	4145	10703250 Bldg Maint Coffee/FA	09/25/24	-99599	62.29	09/20/24	9/24	10	0	41810	610
TREVER MCLAWS	CL	4140	Riverhouse Deposit Refund	09/20/24	23575	500.00	09/20/24	9/24	10	0	41810	698
WESTERN HEATING & AIR CONDITIONING	CL	4131	199484838 Reconnected Air Regi	09/20/24	-99605	461.50	09/18/24	9/24	10	0	41810	751
WESTERN STATES EQUIPMENT CO	CL	4132	000283350 Light Tower Rental/F	09/20/24	-99604	177.75	07/05/24	9/24	10	0	41540	442
WHITE PETERSON	CL	4149	164771 Keith Hill-First Church	09/25/24	23581	412.00	08/31/24	9/24	10	0	41310	323
XPRESS CONSTRUCTION SOLUTIONS	CL	4116	Refund Cancelled/Dup Permit	09/12/24	23569	156.00	09/09/24	9/24	10	0	41510	698
YOUNG ELEVATOR INC	CL	4150	1268 Routine Service/Maintenan	09/25/24	-99597	150.00	09/23/24	9/24	10	0	41810	431

Section 5, Item A.



CITY OF STAR
LAND USE STAFF REPORT
MEMO

TO: Mayor & Council

FROM: City of Star – Planning & Zoning *Shen J. Muth*

MEETING DATE: **October 1, 2024**

FILE(S) #: TE-24-08 Time Extension Stargazer Subdivision # 1

OWNER/APPLICANT/REPRESENTATIVE

Applicant/Representative:
Kent Brown
Kent Brown Planning
3061 E Springwood Drive
Meridian, Idaho 83642

REQUEST

Request: The Applicant is seeking approval of a time extension for Stargazer Subdivision, consisting of 51 residential lots and 7 common lots. The property is located at the northwest corner of the intersection of N. Brandon Road and W. New Hope Road in Star, Idaho.

SUMMARY

The original preliminary plat was approved by Council on November 16, 2021. An administrative time extension was approved by the Zoning Administrator on July 10, 2023, for one year. On August 20, 2024, the applicant filed a time extension for an additional year to submit a final plat for the development. The applicant has requested an additional 1-year time extension that must be approved by the City Council. The new expiration date for signature of the final plat by the City Engineer is 11-16-2025



**TASK ORDER NO. 001
FOR
STAR CITY HALL GENERATOR**

Consultant Project No.: 224053-001

This Task Order, entered between the **City of Star** ("Owner"), and **Keller Associates, Inc.** ("Consultant"), is subject to the provisions of the Master Agreement for On Call for Professional Services ("Agreement"), dated and is effective as of **June 1, 2024**.

The Owner intends to install a diesel-generator for the Star City Hall as described in Attachment₂ hereinafter referred to as the "Project".

Owner and Consultant agree to the following scope of services, schedule, and compensation.

SCOPE: Consultant's services under this Task Order are generally identified as follows: see Attachment A.

SCHEDULE: The Task Order shall commence on the above written date. Consultant shall complete its services in accordance with Attachment A

COMPENSATION:

Basic Services. As compensation for services to be performed by Consultant, the Owner will pay Consultant a lump sum amount of \$8,800 (eight thousand eight hundred dollars) as described in Attachment A.

Additional Services. Compensation for performing Additional Services will be pursuant to a mutually agreed upon Addendum to this Task Order.

In Witness Whereof, the parties hereto have executed this Task Order Agreement by their signatures below.

OWNER: CITY OF STAR

CONSULTANT: KELLER ASSOCIATES, INC.

Signature: _____

Signature: Justin Walker

Name: _____

Name: Justin Walker

Title: _____

Title: Principal

Address: 10769 W. State Street, Star, ID
83669

Address: 100 East Bower Street, Suite 110
Meridian, ID 83642

Telephone: 208-286-7247

Telephone: (208) 288-1992

Date: _____

Date: 9-26-2024

ATTACHMENT A

CITY OF STAR CITY HALL GENERATOR SCOPE OF WORK

PROJECT DESCRIPTION

City of Star (“Owner”) has contracted with **Keller Associates, Inc.** (“Consultant”) to provide planning, assessment, and design for the addition of a generator to be installed at City Hall to provide backup power. The Star City Hall serves as a local command station for the community in event of an emergency situation in addition to housing City administration and an Idaho Transportation Department (ITD) vehicle registration office. Assessment of two alternatives is included to evaluate feasibility and associated costs for each option for decision by Owner prior to development of final design documents.

SCOPE OF WORK

TASK 1: PROJECT MANAGEMENT

Consultant Responsibilities:

- 1.1. General Project Management. Provide general project administration services including contract administration, project accounting, internal quality control, and internal project administration.
- 1.2. Kickoff Meeting. Participate in a project kickoff/scoping meeting. The purpose of this meeting will be to review/establish design criteria, review project constraints and objectives, and discuss available data and available reference materials.

Owner Responsibilities:

- Issue purchase order to Consultant to begin work.
- Provide requirements for generator assessment including critical loads required to be on emergency power backup.
- Provide site access to review existing conditions.

Assumptions:

- Kickoff meeting/assessment of existing facilities completed as part of scoping visit on 8/26/24.
- Project management budget assumes a project schedule of up to 2 months for Task 2. Task 3 schedule TBD following Owner direction of chosen alternative.

Deliverables:

- Monthly invoices and project update summaries.
- Meeting notes and documentation of project decisions.

TASK 2: CONCEPT DESIGN AND ALTERNATIVES ANALYSIS

Consultant Responsibilities:

- 2.1. Concept Design. Provide concept-level drawings for review by Owner. Drawings to show utility service modifications, addition of generator and transfer switch, required panel modifications, and planned locations for new equipment for two alternatives: 1) full generator backup and 2) separation and emergency power to critical circuits only.
- 2.2. Alternatives Analysis. Evaluate each option shown in concept design for impact to facilities and constructability.
- 2.3. Construction Cost. Estimate the cost of construction associated with each option for comparison.
- 2.4. Pros/Cons Evaluation. Provide matrix of pros and cons for each alternative for evaluation by Owner. Pros and cons to highlight benefits and concerns to allow for informed decision by Owner prior to Consultant undertaking full design of selected alternative in Task 3.

Owner Responsibilities:

- Participate in conceptual design review meeting to evaluate proposed options and intended design.
- Provide direction/select an option for electrical design of generator addition to be completed by Consultant in Task 3.
- Provide record/construction drawings for the existing building including electrical, architectural, plumbing, HVAC, and structural drawings.

Assumptions:

- Two alternatives will be evaluated.
- Concept drawings will be provided for purpose of showing changes to existing power distribution and location of equipment. Drawings will not be issued for construction.
- Consultant's opinions of probable cost represent Consultant's judgment as an experienced and qualified design professional. Since Consultant has no control over the cost of labor, materials, equipment, or services furnished by others, or over the Owner's and other contractor's methods of determining prices, or over competitive bidding or market conditions, the Consultant cannot and does not guarantee that proposals, bids, or actual construction cost will not vary from opinions of probable cost prepared by the Consultant.

Deliverables:

- Concept-level design showing modifications to existing power distribution for review with Owner. Design to include one-lines and power plans of each alternative and list of electrical equipment.
- Estimated construction costs associated with each alternative.
- Pros and cons evaluation of each alternative.

TASK 3: FINAL DESIGN

Consultant Responsibilities:

- 3.1. Design. Keller to provide electrical design for selected option from Task 2. Design to include one-line modifications, power plan drawings, panel schedules, and cable/conduit specifications. Details to be provided showing specific installation requirements contractor to adhere to. Keller to provide design and Professional Engineer review and approval.

- 3.2. 90% Design Progress Submittal. Submit a substantially complete progress set of drawings and specifications for Owner review and comment prior to final submittal.
- 3.3. Final Submittal. Upon review, Keller will incorporate appropriate revisions into a final set of stamped drawings and specifications that will be used by the Owner for bidding.
- 3.4. Opinion of Probable Cost. Prepare an opinion of probable cost for the project at final design.

Owner Responsibilities:

- Review of design.
- Provide comments at 90% design submittal by Owner-involved parties.

Assumptions:

- AutoCAD will be used to prepare drawings with existing building plans provided by Owner used as backgrounds for showing electrical design and locations.
- Owner will be responsible for bidding and construction contracting activities including developing front-end bidding documents.
- One design review required with Owner capturing project direction as decided upon following Task 2.

Deliverables:

- 90% design submittal for Owner review and.
- 100% final design and specifications for generator addition, approved and sealed by an Idaho-registered Professional Engineer.
- Opinion of probable cost.

COMPENSATION

As compensation for services to be performed by Keller, the Owner will pay Keller as described in the following table. The total authorized budget amount shall not be exceeded without written authorization from Owner. Lump sum amounts shall include all costs for direct labor, indirect labor, overhead, reimbursable expenses, equipment, travel, per diem, and fixed fees. Compensation for time and materials tasks will be according to the most current Consultant billing rates included updated semi-annually in January and July.

Additional services may be added as requested by Owner via negotiated fee.

Task	Type	Amount
Task 1: Project Management	LS	\$ 1,200
Task 2: Concept Design and Alternatives Analysis	LS	\$7,600
Task 3: Final Design	LS	TBD
Total Cost		\$ 8,800

LS = Lump Sum

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **October 1, 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Addington Subdivision
Files #'s PP-22-02 MOD Preliminary Plat

Applicant/Representative: Tamara Thompson, The Land Group, 462 E. Shore Dr., Eagle, ID 83616

Owner: STC Development, LLC, 199 N. Capital Blvd, Suite 300, Boise, ID 83702

Action: The Applicant is seeking approval of a Preliminary Plat modification for a proposed residential subdivision consisting of 31 residential lots and 3 common lots. The property is located on the east side of N. Highbrook Way in Star, Idaho, and consists of 5.58 acres with a proposed density of 6.09 dwelling units per acre. **The original preliminary plat was previously approved by City Council on September 6, 2022.**

Property Location: The subject property is generally approximately 780 feet north of the intersection of W. State Street and N. Highbrook Way. Ada County Parcel No. R8108003012.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR
LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department *Shawn J. Muth*

MEETING DATE: **October 1, 2024 – PUBLIC HEARING**
FILE(S) #: PP-22-02 MOD Preliminary Plat Modification for Addington Subdivision

OWNER/APPLICANT/REPRESENTATIVE

Applicant/Representative:
Tamara Thompson
The Land Group, Inc.
462 E. Shore Drive
Eagle, Idaho 83616

Property Owner:
STC Development, LLC
199 N. Capital Blvd., Ste. 300
Boise, Idaho 83702

REQUEST

Request: The Applicant is seeking approval of a Preliminary Plat modification for a proposed residential subdivision consisting of 31 residential lots and 3 common lots. The property is located on the east side of N. Highbrook Way in Star, Idaho, and consists of 5.58 acres with a proposed density of 6.09 dwelling units per acre. **The original preliminary plat was previously approved by City Council on September 6, 2022.**

PROPERTY INFORMATION

Property Location: The subject property is generally approximately 780 feet north of the intersection of W. State Street and N. Highbrook Way. Ada County Parcel No. R8108003014.

Surrounding Land Use/Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Residential (R-7)	Compact Residential	Vacant
Proposed	Residential (R-7)	Compact Residential	Compact Residential
North of site	Residential (R-4) (R-7) / Rural Urban Transition (RUT)	Compact Residential	Single Family Residential
South of site	Commercial (C-2)	Central Business District	Albertsons/Agricultural
East of site	Residential (R-4)	Compact Residential	Single Family Residential
West of site	Residential (R-7)	Compact Residential	Endsley Court Subdivision

Existing Site Characteristics: The property is currently vacant ground.

Irrigation/Drainage District(s): Middleton Irrigation Association
Middleton Mill Ditch Company
P.O. Box 848
Middleton, Idaho 83644

Flood Zone: This property is not currently located in a Flood Hazard Area.
FEMA FIRM Panel Number: 16001C0130J & 16001C0125J
Effective Date: 6/19/2020

Special On-Site Features:

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No evidence.
- ✪ Fish Habitat – No.
- ✪ Floodplain – No.
- ✪ Mature Trees – None.
- ✪ Riparian Vegetation – No.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – None.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- ✪ Wildlife Habitat – No known sensitive wildlife habitat observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	May 9, 2024
Application Submitted & Fees Paid	July 31, 2024
Application Accepted	August 28, 2024

Residents within 300' Notified	September 11, 2024
Legal Notice Published	September 15, 2024
Property Posted	September 20, 2024

HISTORY

September 19, 2017	Council approved annexation and zoning (R-7) as part of the Sample Property Annexation, Ordinance 264.
April 19, 2022	Council approved applications for a Preliminary Plat (PP-22-02) and Private Street (PR-22-01) for Addington Subdivision consisting of 34 residential lots and 1 common lot on 5.58 acres of property.
May 2, 2022	City Staff received a Request for Reconsideration of the Addington Subdivision approval.
September 6, 2022	Council approved the Request for Reconsideration. Building lots remained 34 residential and 1 common lot on the original 5.58 acres.

CODE DEFINITIONS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	R
Dwelling:	
Multi-Family	C
Secondary	A
Single-Family Attached	P
Single-Family Detached	P
Two-Family Duplex	P
Live/Work Multi-Use	N

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-6 to R-11 attached housing	35'	15' to living area 20' to garage 10' if alley load	15' 4' if alley load	0' for common walls 5' at end of building	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-4D-3: STANDARDS (PRIVATE STREETS):

All private streets shall be designed and constructed to the following standards:

A. Design Standards:

1. Easement: The private street shall be constructed on a perpetual ingress/egress easement or a single platted lot (with access easement) that provides access to all applicable properties.
2. Connection Point: Where the point of connection of the private street is to a public street, the private street shall be approved by the transportation authority.



3. Emergency Vehicle: The private street shall provide sufficient maneuvering area for emergency vehicles as determined and approved by the Star Fire District.

4. Gates: Gates or other obstacles shall not be allowed, unless approved by Council through a Planned Unit Development or Development Agreement.

B. Construction Standards:

1. Obtain approval from the county street naming committee for a private street name(s);

2. Contact the transportation authority to install an approved street name sign that complies with the regulations of the county street naming ordinance;

3. Roadway and Storm Drainage: The private street shall be constructed in accord with the roadway and storm drainage standards of the transportation authority or as approved by the city of Star based on plans submitted by a certified engineer.

4. Street Width: The private street shall be constructed within the easement and shall have a travel lane that meets ACHD width standards for the City of Star, or as determined by the Council and Star Fire District.

5. Sidewalks: A five foot (5') attached or detached sidewalk shall be provided on one side of the street in commercial districts. This requirement may be waived if the applicant can demonstrate that an alternative pedestrian path exists.

6. Fire Lanes: All drive aisles as determined by the Star Fire District to be fire lanes, shall be posted as fire lanes with no parking allowed. In addition, if a curb exists next to the drive aisle, it shall be painted red.

7. No building permit shall be issued for any structure using a private street for access to a public street until the private street has been approved.

C. The applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review. The condition of approval shall include the following:

1. Private Road Reserve Study Requirements.
 - a. At least once every three years, the board shall cause to be conducted a reasonably competent and diligent visual inspection of the private road components that the association is obligated to repair, replace, restore, or maintain as part of a study of the reserve account requirements of the common interest development, if the current replacement value of the major components is equal to or greater than one-half of the gross budget of the association, excluding the association's reserve account for that period. The

board shall review this study, or cause it to be reviewed, annually and shall consider and implement necessary adjustments to the board's analysis of the reserve account requirements as a result of that review.

- b. The study required by this section shall at a minimum include:
 - i. Identification of the private road components that the association is obligated to repair, replace, restore, or maintain.
 - ii. Identification of the probable remaining useful life of the components identified in paragraph (1) as of the date of the study.
 - iii. An estimate of the cost of repair, replacement, restoration, or maintenance of the components identified in paragraph (1).
 - iv. An estimate of the total annual contribution necessary to defray the cost to repair, replace, restore, or maintain the components identified in paragraph (1) during and at the end of their useful life, after subtracting total reserve funds as of the date of the study.
 - v. A reserve funding plan that indicates how the association plans to fund the contribution identified in paragraph (4) to meet the association's obligation for the repair and replacement of all private road components.
- c. A copy of all studies and updates shall be provided to the City, to be included in the development application record.

8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

8-4E-2: STANDARDS FOR COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS:

- A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):
 - 1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the total gross acreage of land area of the development. A minimum of 10% of the total gross acreage of the development shall be for useable area open space. Open space shall be designated as a total of 15% minimum for residential developments in all zones with densities of R-2 or greater.
 - 2. Each development is required to have at least one site amenity.
 - 3. One additional site amenity shall be required for each additional twenty (20) acres of

development area, plus one additional amenity per 75 residential units.

4. Developments with a density of 1 dwelling unit per acre or less may request a waiver of open space and amenities to the Council. Developments with a density of 2 dwelling units per acre or less may request a 50% reduction in total required open space and amenities to the Council.

5. For multi-family developments, see Section 8-5-20 for additional standards.

B. Qualified Usable Area Open Space: The following qualifies to meet the useable area open space requirements:

1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:

a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;

b. Qualified natural areas, as determined by the Administrator;

c. Ponds or water features where active fishing, paddle boarding, or other activities are provided (50% qualifies towards total required usable area open space, must be accessible by all residents to qualify. Ponds must be aerated. All ponds shall be provided with safety floatation devices (rings) located at reasonable distances, as determined by the administrator;

d. A plaza.

e. Common lots that include a pathway providing local or regional connectivity that is a minimum of 20' in width.

f. Irrigation easements/ditches when a pathway is included (to be measured from the center of the ditch to the property line of the common lot).

2. Additions to a public park or other public open space area.

3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.

4. Parkway along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:

a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified

otherwise herein.

b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.

c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:

1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.

5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total, as determined by the Administrator.

C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:

1. Clubhouse;
2. Fitness facilities, indoors or outdoors;
3. Public art;
4. Picnic area; or
5. Recreation amenities:
 - a. Swimming pool with an enlarged deck and changing and restroom facility (pools shall count towards 3 required site amenities).
 - b. Children's play structures.
 - c. Sports courts.
 - d. Additional open space in excess of 10% qualified usable space.

- e. RV parking for the use of the residents within the development.
- f. School and/or Fire station sites if accepted by the district.
- g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
 - (1) The system is not required for sidewalks adjacent to public right of way;
 - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
 - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- h. Pond and/or waterway amenities including, but not limited to docks, shade structures, ADA access, and fish stocking.

6. Community Gardens.

D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

E. Maintenance:

- 1. All common open space and site amenities shall be owned by and be the responsibility of an owners' association for the purpose of maintaining the common area and improvements thereon.

8-3B-3: RESIDENTIAL DISTRICTS: ADDITIONAL RESIDENTIAL DISTRICT STANDARDS

J. Additional residential standards applying to all new residential subdivisions:

- 1. Residential Elevations:
 - i. Building elevations for all residential uses shall be submitted with any development application and will be included as part of any preliminary plat, development agreement and/or any other condition of approval.
 - ii. Single-Family Residential Building Front and Side Elevation Minimum Standards. These standards shall be reviewed for compliance with all submitted residential building permits under the Building Zoning Certificate process. Council may adopt these standards as part of a development agreement or preliminary plat approval. The following minimum standards shall be applied to all new residential structure elements in all zones:
 - 1. Exterior finishes shall be primarily horizontal/vertical wood or

wood product siding, brick, stucco, stone, or other decorative masonry product. A minimum of three (3) architectural elements shall be provided for all single-family residential structures. These elements shall include, but are not limited to, shingled, horizontal or vertical siding, stone or brick highlights, garage door windows or hardware, colored window frames, or other architectural treatments deemed appropriate by the administrator.

8-3B-3 - FIGURE EXTERIOR ARCHITECTURAL ELEMENTS:



2. Two-story detached structures should provide a minimum of one, second story side window per side elevation, when appropriate.
3. A minimum one (1) foot overhang shall be provided on all roof overhangs. Administrator may approve deviation from this standard.
4. Dwellings backing up to collector or arterial streets shall have rear elevations and/or architectural designs that provide depth and dimension, avoiding the flat-wall appearance. These elements must be functional and may not be minimized or created solely for the purpose of compliance with this provision.
5. Additional landscaping buffers may also be required.

2. Dwelling Unit Design. Building styles shall be spread throughout the entire development (including all contiguously owned and phased properties). Nowhere within the development shall any fewer than 5 different exterior elevation styles and/or floorplans be located adjacent to each other. The number of different dwelling styles within a development shall be as follows:

- a. 1 to 50 units = minimum of 5 architectural styles and/or floorplans
 - b. 51 to 100 units = minimum of 7 architectural styles and/or floorplans
 - c. 101 and over units = minimum of 10 architectural styles and/or floorplans
3. Homeowners Associations. All subdivisions shall be maintained by a Homeowners association with appropriate Conditions, Covenants and Restrictions (CC&R's). CC&R's are not enforceable by the City and are private contracts between the developer and the property owner.
 4. Irrigation and drainage ditches shall not be covered, tiled or re-routed as part of any new residential development unless specifically approved by Council and the applicable irrigation and/or drainage district. Perforated piping may be considered as an option if tiling is allowed.

8-4A-21: MAILBOXES:

All mailbox clusters shall be approved by the postmaster prior to installation. All clusters shall be covered with an architecturally designed cover, to be approved by the Administrator prior to final plat signature. All covers shall be provided with lighting and shall be stained/painted and kept in good condition at all times. The administrator may issue a letter of violation to the HOA when any mailbox cluster or cover falls into disrepair. Maintenance shall be included in the CC&R's. A turnout shall be installed adjacent to the mailbox cluster to provide community access, if approved by the transportation authority and postmaster. The design shall be included as part of the preliminary plat submittal.



8-6A-3: PRELIMINARY PLAT PROCESS

A. Preapplication Conference: The applicant shall complete a preapplication conference with the administrator or designee prior to submittal of an application for a preliminary plat. The purpose of this meeting is to discuss early and informally the purpose and effect of this title, and the criteria and standards contained herein.

B. Neighborhood Meeting: Applicants are required to hold a neighborhood meeting, in conformance with Section 8-1A-6C to provide an opportunity for public review of the proposed project prior to the submittal of an application. The applicant shall provide a summary of the meeting, including questions and concerns of the neighbors and how the submitted application addresses those issues.

C. Application Requirements: A complete subdivision application form and preliminary plat data as required in this title, together with fees shall be submitted to the administrator. At the discretion of the administrator or city engineer, appropriate supplementary information may also be required to sufficiently detail the proposed development within any special development area, including, but not limited to, hillside, planned unit development, floodplain, cemetery, manufactured home parks, and/or hazardous or unique areas of development. When possible, any unresolved access or traffic generation issues related to ACHD/HD4 or ITD regulated roadways should be resolved by the applicant prior to acceptance of any application. The administrator may require a letter from the appropriate transportation agency or servient property owner to be submitted with the application.

D. Required Information and Data: The contents of the preliminary plat and related information shall be in such a form as stipulated by the City Council, however, additional maps or data deemed necessary by the administrator may also be required. The applicant shall submit to the administrator at least the following:

1. Two (2) copies of the preliminary plat of the proposed subdivision, drawn in accordance with the requirements hereinafter stated. Each copy of the preliminary plat shall be submitted on good quality paper, be professionally drafted, shall have the dimensions of not less than twenty-four inches by thirty-six inches (24" x 36"), and shall be drawn to a scale of not less than one inch to one hundred feet (1"=100') and contain a drafting date and north arrow.
2. For hillside developments, one (1) bound copy of the preliminary engineering plans (not meant to be cross sections or detailed designs) showing streets, water, sewers, sidewalks, and other required public improvements, together with preliminary site grading, drainage and irrigation plans of the proposed subdivision. Such engineering plans shall contain sufficient information and detail to make a determination as to conformance of the proposed improvements to applicable regulations, ordinances and standards.

3. Two (2) copies of a landscape plan showing all open space, common areas, amenities, street trees and development signage;
4. Additional information on the preliminary plat and separately submitted information to include the following:
 - a. The name of the proposed subdivision, as approved in advance by the Ada County Engineering office;
 - b. The name, address, telephone and email of the applicant, developer, engineer and surveyor or drafter who prepared the preliminary plat;
 - c. The names and addresses of all adjoining property owners and recorded plats within three hundred feet (300') of the external boundaries of the land being considered for subdivision.
 - d. The land use and existing and proposed zoning of the proposed subdivision and the adjacent land;
 - e. Streets, street names, rights of ways and roadway widths, including adjoining streets or roadways;
 - f. Lot lines and blocks showing the dimensions and numbers of each, together with area of each lot in acres and square feet;
 - g. Contour lines, shown at five-foot (5') intervals where the land slope is greater than ten percent (10%) and at two-foot (2') intervals where land slope is ten percent (10%) or less, referenced to an established benchmark, including location and elevation;
 - h. Any proposed or existing utilities, including, but not limited to, power poles, storm and sanitary sewers, irrigation laterals, ditches, bridges, culverts, water mains and fire hydrants;
 - i. Any flood zone information including FEMA FIRM panels;
 - j. The legal description of the boundary of the property being subdivided with the seal of the surveyor of record;
 - k. Phasing plan showing all proposed phases of the development;
 - l. Preliminary irrigation analysis showing availability of water rights and distribution of irrigation to the lots within the proposed subdivision, or waiver request;
 - m. One (1) copy of a site report of the highest seasonal groundwater elevation prepared by a licensed engineer;
 - n. narrative, signed by the applicant, fully describing the proposed subdivision, including such information as number and type of uses on the lots (residential single, two or multi-family, commercial, etc.), common lots and the proposed uses of those lots (open space, parks, playgrounds, landscaping, or other uses) and any other information deemed necessary to explain the intent of the development including how it relates to other concurrently submitted applications (annexations, rezones, PUD's, CUP's, etc.).
 - o. Neighborhood meeting information including sign-in sheet, copy of meeting letter, copy of mailing labels, and detailed summary of neighbor questions and

concerns and how the development has been designed to address those concerns;

- p. A vicinity map showing the relationship of the proposed plat to the surrounding area (1/2-mile radius);
 - q. Deeds, affidavit of legal interest, address labels, postal service location approval, ACHD traffic study review status, electronic copies, or any other required information deemed necessary by the administrator to allow for proper review of the application;
 - r. A conceptual site plan shall be submitted for any non-residential developments showing building locations, parking and loading areas, traffic access drives and traffic circulation and trash enclosure locations;
 - s. Any additional required information for special area of developments including, but not limited to hillsides, wetlands or as further specified in this Title.
5. Additional information in the application as determined by the administrator may include the following:
- a. Building elevations, including multi-family uses, non-residential uses, clubhouses, well houses, or other elevations deemed necessary to assist the Council in their decision regarding a development;
 - b. Colored site plan and renderings of a subdivision detailing residential lot locations, open space and common areas, buffers, roadways, waterways and irrigation ditches, fencing, signs and landscaping.

E. Acceptance: Upon receipt of the preliminary plat, and compliance with all other requirements as provided for herein, the administrator shall certify the application as complete and shall affix the date of acceptance.

F. Decision: A decision on a preliminary plat for a parcel of land is made by the City Council after receiving a recommendation from the administrator and a public hearing is held.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Compact Residential

Suitable primarily for residential use allowing a mix of housing types such as single family, two family, and multi-family. Densities range from 5.01 units per acre to 10 units per acre.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.

B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivide in the future.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

PROJECT OVERVIEW

PRELIMINARY PLAT MODIFICATION:

The revised Preliminary Plat submitted contains 31 single family residential lots and 1 common area lots on 5.58 acres with a proposed density of 5.56 dwelling units per acre. This is a reduction of 3 building lots from the original plat. The lots will still have access and frontage from the previously approved private street. The homes will continue to be attached units with one exception, Lot 31 will be a single family detached structure. Lots will include zero-lot-lines to accommodate the attached dwelling units only. Primary access for the development remains W. Joslyn Lane (previously Addington Lane) from N. Highbrook Way. This road originally had a cul-de-sac at the eastern end, against N. Center Street. That cul-de-sac has been removed and emergency access will be allowed onto N. Center Street using bollards to restrict public traffic.

The revised Preliminary Plat will now be completed in two phases, versus a single phase as presented originally. Phase 1 will remain front-loaded lots, with the driveways abutting W. Joslyn Lane. Phase 2 has been modified to include an alley and the units will have garages abutting the alley. The proposed alley is twenty-three feet (23') wide within a twenty-seven and a half feet (27.5') wide easement. This width will require approval from Star Fire and must have signage restricting all parking. Signs to be approved by the Fire Marshall.

The revised Preliminary Plat roadway alignment was shifted slightly to align with the irrigation easements of Drainage District No. 2 and the Flake Lateral. This adjustment satisfies the requirements outlined by the irrigation district, after the original approval was granted by Council. Furthermore, Phase 1 has also been shifted to allow the main sewer line to be under the roadway versus behind the residential lots, as the original plat proposed.

The revised Preliminary Plat is calling for attached sidewalks versus the detached walks proposed in the original Preliminary Plat. The reason for attached sidewalks is to allow for the planting of trees behind the sidewalk, out of the irrigation district easement. Public sidewalks are still proposed on both sides of W. Joslyn Lane.

The Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of 1 site amenity. The applicant is proposing a shade structure in a pocket park with a walking path and landscaping.

ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks
Internal sidewalks are proposed at five-foot (5') widths and will be attached throughout the development.

- Lighting
Streetlights shall reflect the “Dark Sky” criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a proposed streetlight plan. All proposed light locations satisfy City code. **Applicant has provided a streetlight plan. The applicant will need to provide a design/cut sheet for City approval. Applicant will be required to work with Staff and submit an updated cut sheet and design before signature of the final plat. Staff also suggests a streetlight be placed at the intersection of the emergency access.**
- Street Names
Applicant has not provided documentation from Ada County that the street name is acceptable and has been approved. This will be required at final plat.
- Subdivision Name
Applicant has provided a letter from Ada County that the subdivision name has been approved and reserved for this development.
- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use “Treasure Valley Tree Selection Guide”, as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements for the open areas. The plan does not show the appropriate number of required street trees. These will need to be added once driveways are designed to meet the requirement and receive occupancy permits.**
- Setbacks – The applicant is not requesting any setback waivers and will follow the approved setbacks for the R-7 zone.
- Mailbox Cluster – Applicant has provided documentation from the Star Postmaster depicting the approved location for the mailbox cluster within the development as a single location.
- Phasing – The applicant is proposing the development be built out in two phases.
- Storm Water - Will be retained on site and utilize Drain 9 and two pervious paver sections in the private road.

AGENCY & DEPARTMENT RESPONSES

Star Fire District Pending

PUBLIC RESPONSES

No public comments have been received.

STAFF RECOMMENDATION

Based upon the information provided to staff in the applications and agency comments received to date, the proposed Preliminary Plat will meet the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code. The proposed density of 5.56 dwelling unit per acre is within the range of 6-11 dwelling units per acre allowed in the Compact Residential Comprehensive Plan Future Land Use Map. Staff is supportive of proposed housing sizes and density that the (R-7) zoning designation will provide.

The Council should consider recommendations from Staff, together with the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

PRELIMINARY PLAT FINDINGS:

1. The plat is in compliance with the Comprehensive Plan.
 - The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:*
 1. *Designing development projects that minimize impacts on existing adjacent properties, and*
 2. *Managing urban sprawl to protect outlying rural areas.*

2. Public Services are available or can be made available and are adequate to accommodate the proposed development.

The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.

- 3. There is public financial capability of supporting services for the proposed development;
The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.
- 4. The development will not be detrimental to the public health, safety or general welfare;
The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.
- 5. The development preserves significant natural, scenic or historic features;
The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.

PRIVATE STREET FINDINGS:

- A. The design of the private street meets the requirements of this article;
The City must find that the proposed private streets meets the design standards in the Code.
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity:

The City must find that it has not been presented with any facts stating this private road will cause damage, hazard or nuisance, or other detriment to persons, property or uses in the vicinity.
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

The City must find that the use is not in conflict with the comprehensive plan and/or regional transportation plan.

Upon granting approval or denial of the application, the Council shall specify:

- 1. The Ordinance and standards used in evaluating the application;
- 2. The reasons for recommending approval or denial; and
- 3. The actions, if any, that the applicant could take to obtain approval.

Upon granting approval or denial of the application, the Council shall specify:

- 1. The Ordinance and standards used in evaluating the application;

2. The reasons for recommending approval or denial; and
3. The actions, if any, that the applicant could take to obtain approval.

CONDITIONS OF APPROVAL

1. The approved Preliminary Plat for the Addington Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **The applicant has entered into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. These fees are currently being calculated at \$1,000.00 per residential lot. These fees will be collected by the City of Star, by phase, prior to final plat signature.**
3. **The applicant shall pay all required emergency services mitigation fees to the City, as determined by City Council.**
4. The private streets shall have a minimum street width of 36' and shall otherwise be constructed to ACHD standards, unless otherwise approved by Council and the Fire District. The private street shall meet all requirements of the Star Fire District.
5. **All sidewalks and planter strips shall be built to UDC standards, unless otherwise approved by Council.**
6. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, with the submittal of the final plat application.**
7. **The Applicant shall provide approval for all street names from the Ada County Street Naming Committee and all names shall be correctly depicted on the final plat prior to signature.**
8. **The applicant shall comply with the Residential Standards for all new houses, as required in Section 8-3B-3 of the UDC.**
9. **The mailbox cluster must be covered and reasonably lit.**
10. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall submit a streetlight design prior to Final Plat approval. Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative.**
11. Street trees along the private street shall be installed per Chapter 8, including Section 8-8C-2-M(2) Street Trees. If the trees will be installed by the builder, Certificate of Occupancy may be withheld until trees have been verified they are installed per code.
12. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
13. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the

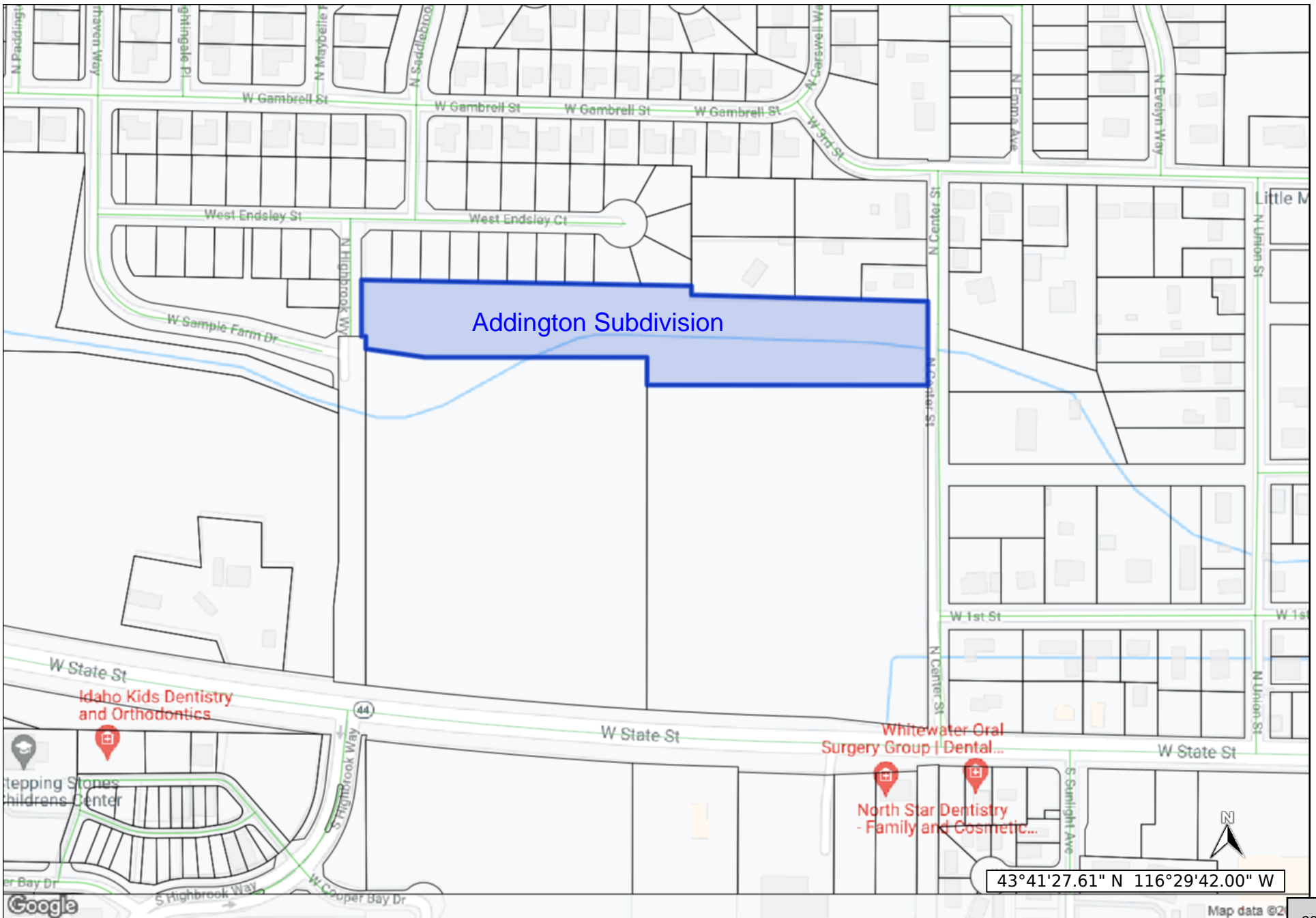
property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.

- 14. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
- 15. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 16. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
- 17. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
- 18. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
- 19. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
- 20. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 21. All common areas shall be owned and maintained by the Homeowners Association.
- 22. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 23. A sign application is required for any subdivision signs.

24. Any additional Condition of Approval as required by Staff and City Council.

COUNCIL DECISION

The Star City Council _____ File Number PP-22-02 MOD and for Addington Subdivision on _____, 2024.





July 31, 2024

Shawn Nickel
Planning Director and Zoning Administrator
City of Star – Planning and Zoning Department
10769 W. State Street
Star, ID 83669

RE: Preliminary Plat Modification Application – Addington Townhomes Subdivision

Dear Mr. Nickel:

Attached to this letter is the preliminary plat modification application for the Addington Townhomes Subdivision. This application includes parcel R8108003014 (5.58 acres total area).

The 5.58-acre site (area highlighted in blue below) is generally located on the northeast corner of W. Sample Farm Drive and N Highbrook Way. The property is currently zoned R-7 in the City of Star. The property is currently vacant land.

The site is bound on the south by the Albertsons development (Sample Commercial Subdivision) and future commercial; existing residential to the north, including the newly developed Endsley Court Subdivision; and public rights of way to the east and west.

Addington Subdivision was approved by Star City Council on April 19, 2022, and on September 6, 2022 as part of a reconsideration request. The file numbers are PP-22-02/PR-22-01. The project was approved with 34 residential lots and 1 common lot.



Although the City transmitted the preliminary plat (PP) application to the irrigation and drainage districts with the original preliminary plat, unfortunately, they did not review and comment until after City Council approval, when we submitted our construction permits. The requested revisions are primarily needed to facilitate the comments and requirements of the irrigation and drainage districts.

Key revisions:

- Buildable Lot Count – The original approved PP had 34 building lots. The amended PP is proposing 31, a reduction of 3 building lots.
- The homes continue to be attached units except for one, 1-unit home. The original PP had a mix of 2-unit and 3-unit attached single-family homes. Due to lot configuration constraints, the amended PP has all 2-unit attached single-family homes and one 1-unit home (lot 31).
- The original PP was planned as one phase, the amended PP is proposed as two phases. The western half of the subdivision (phase 1) will retain front loaded lots. The eastern half was revised to include an alley, with alley loaded lots.
- A 23' alley within 27.5' easement is proposed.
 - Per Deputy Chief Victor Islas, the alley will need to be signed 'Fire Access – No Parking.' The drawings illustrate the signs.
 - Vehicular turning movement exhibit has been submitted and reviewed by Deputy Chief Islas illustrating appropriate clearances.
- The original PP included a cul-de-sac. The cul-de-sac was removed in the amended PP as the alley will accommodate the required emergency vehicle circulation.
- Roadway alignments were shifted such that the private roadway easement overlays the DD2 & Flake Lateral easements. The irrigation district requires their easements to only be encumbered by common lots. The original PP had portions of private lots overlapping irrigation district easements. Additionally, the western half (Phase 1) was shifted further north to allow the sewer main to be under the street section in lieu of behind lots 3-16.
 - Western half (Phase 1) shifted north $\pm 12.5'$.
 - Eastern half (Phase 2) shifted south $\pm 17'$.
- The Original PP had a detached sidewalk adjacent to the eastern lots (Phase 2). Attached sidewalks are proposed to allow street trees at back of walk, out of the Irrigation District easements. Street trees in the planter strip between the back of curb and front of sidewalk would be within the irrigation easements which is prohibited.
- Public access pathways - 5' public sidewalks are proposed on both sides of the private roadway, linking N. Highbrook Way and N. Center Street.

Key items that remain the same:

- 36' private roadway remains within a 50' easement. Street parking can be accommodated with this street section.
 - The eastern end of the private street will still have an emergency access connection to N. Center Street with bollards. This will serve both first responders and the irrigation districts.
 - The original PP was approved with 0'/5' side yard setbacks. The amended PP includes the same 0'/5' side yard setbacks. Please note, Star's zoning code was amended after the original PP approval. Current setbacks are 0'/7.5' side yard. Per the email labeled Exhibit A, we request the amended PP be approved with the reduced side yard width as it is consistent with the prior approval.
 - Minimum lot width
 - Original PP had lots 32' and 27'. Amended PP lots are 31' to 32'. Please note, Star's zoning code has a minimum lot width of 35'. We request the amended PP be approved with the reduced lot width as it is consistent with the prior approval.
1. As with the original PP, utilities are available to support the project, and preliminary utility design is included with this submittal. For irrigation of the common areas and lots we propose to utilize surface water right shares supplemented by a well to supply the needed water for the system. The layout is shown on the attached drawings; the existing pump system is a private system owned and maintained by Star Town Center Land, LLC. The well and pumps were designed for the 28 acres, of which Addington is a part. All rights and responsibilities are documented in a recorded Shared Facilities and Use Agreement. Stubs are in place and ready for extensions. The recently completed Endsley Court HOA and STC Development are parties to the sharing agreement.
- The Homeowners Association of this development will be responsible for all landscape and irrigation maintenance
 - Storm water will be discharged off-site utilizing three connections to the Drain 9 piped system. A license agreement will be entered into with Drainage District No. 2.

The amended preliminary plat (as was the original PP), is consistent with the concept plat submitted to the City with the annexation and rezone applications, includes 31 single family lots (34 originally approved) and three common lots. Common lots will have 1.24 acres of usable open space and 1.99 acres for a perpetual easement for the Private Street (W. Joslyn Lane) and alley. This subdivision is proposed as a single-family development with a density of 5.56 units per acre. Access to the subdivision is from N. Highbrook Way.

The homes will be constructed with two different, yet complimentary, design styles:

Mountain Modern residential design blends contemporary architectural elements with the rustic charm of mountain environments, creating homes that harmonize with their natural

surroundings. Natural materials such as wood tones, stone, and metal are prominently featured, lending a rugged yet refined aesthetic that complements the mountainous terrain. The design often includes large, single sloped overhanging roofs, a variety of window fenestrations providing both protection from the elements and a sense of openness. This approach creates a serene and comfortable living space that reflects the beauty and tranquility of its mountain setting that blends with the Treasure Valley.

Prairie Modern design is a contemporary design that emphasizes harmony with the landscape and modern sensibilities. Characterized by a strong horizontal emphasis, it features low slope hip roofs, exaggerated overhangs, and expansive windows that blend the indoor and outdoor environments. This style utilizes natural materials like wood and stone, creating a warm, organic feel, and focuses on open, flowing floor plans that encourage spacious and flexible living. This approach melds timeless architectural principles with modern innovation, resulting in homes that are both beautiful and functional.

Thank you in advance for your consideration and support.

Sincerely,



Tamara Thompson
Director of Client Services

Exhibit A

From: Shawn Nickel <Snickel@staridaho.org>
Sent: Thursday, February 22, 2024 7:33 AM
To: Tamara Thompson <tamara@thelandgroupinc.com>; Ryan Field <rfield@staridaho.org>
Subject: RE: Addington Townhouse Subdivision

Good morning, Tamara. Addington was originally approved for attached homes with zero lot lines and 5' setbacks at the end of the buildings. As long as you are continuing attached homes then you would be fine. If you are now asking for detached now, then you would need to meet current Code requirements for detached dwellings with setbacks of 7.5'.

Shawn

SHAWN L NICKEL
PLANNING DIRECTOR AND ZONING ADMINISTRATOR
CITY OF STAR
SNICKEL@STARIDAHO.ORG
208-286-7247 eTC. 3004





PRELIMINARY PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: PP-22-02 MOD
 Date Application Received: 7/31/2024 Fee Paid: \$3815.71
 Processed by: City: BN

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: The Land Group, Inc. - Tamara Thompson
 Applicant Address: 462 E. Shore Dr., Eagle, ID Zip: 83616
 Phone: 208.939.4041 Email: tamara@thelandgroupinc.com

Owner Name: STC Development, LLC. - P. Eric Davis
 Owner Address: 199 N. Capital Blvd., Suite 300, Boise, ID Zip: 83702
 Phone: 208.331.0110 Email: davis@retailwest.com

Representative (e.g., architect, engineer, developer):
 Contact: Tamara Thompson Firm Name: The Land Group, Inc.
 Address: 462 E. Shore Dr., Eagle, ID Zip: 83616
 Phone: 208.939.4041 Email: tamara@thelandgroupinc.com

Property Information:

Subdivision Name: Addington Subdivision
 Site Location: Approximately 1,000 feet north of State Street between Highbrook Way and Center Street.
 Approved Zoning Designation of Site: R-7
 Parcel Number(s): R8108003014

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	R-7	Compact Res/ Central Business	Residential
Proposed	R-7		
North of site	R-7; R-7-DA	Compact Residential	Residential
South of site	C-2	Central Business District	General Commercial
East of site	R-4	Central Business District	Residential
West of site	R-7	Compact Residential	Residential

SITE DATA (to be noted on the Preliminary Plat):

Total Acreage of Site - 5.58 acres
 Breakdown of Acreage of Land in Contiguous Ownership - 5.58 acres - STC Development, LLC.
 Total Acreage of Site in Special Flood Hazard Area - 0 - Site in Zone X
 Dwelling Units per Gross Acre (Density) - 6 units
 Minimum Lot Size - 2774 sf
 Minimum Lot Width - 31 (requesting council waiver)

Total Number of Lots - 34
 Residential - 31
 Commercial - _____
 Industrial - _____
 Common - 3

Total Number of Residential Units - 31
 Single-family - 31
 Duplex - _____
 Multi-family - _____

Percent of Site and Total Acreage of Common Area (min 15% of entire site) -
57.89 % / 3.23 acres
 Percent of Site and Total Usable Open Space Area (min 10% of entire site) -
22.22 % / 1.24 acres
 Percent of Common Space to be used for drainage - 0
 Describe Common Space Areas (amenities, landscaping, structures, etc.) –
There are grass accent areas, a shade structure, pedestrian connections to Highbrook and Center Street

Public Streets - None Private Streets - Joslyn Ln
 Describe Pedestrian Walkways (location, width, material) - 5' sidewalks along both sides of the Private St and additional 5' sidewalks to shade structure.
 Describe Bike Paths (location, width, material) - There are no dedicated bike paths, but ample width provided in street to provide a share type (street shared with vehicles) for bike use.

FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance):

Total Acreage of Site in Special Flood Hazard Area - 0 - Site in Zone X

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: #16001C0125J & #16001C0130J
 FIRM effective date(s): mm/dd/year 06/19/2020
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone X
 Base Flood Elevation(s): AE _____.0 ft., etc.: _____

- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.
- d. Please see link for help with FEMA information <https://msc.fema.gov/portal/search>.
- e. All maps will delineate flood plain lines.

PUBLIC SERVICES (Describe what services are available and agency providing service):

Potable Water - Star Sewer & Water District
 Irrigation Water- Middleton Irrigation Association (Flake Lateral)
 Sanitary Sewer- Star Sewer & Water District
 Fire Protection - Star Fire Protection District
 Schools - West Ada School District
 Roads - ACHD

SPECIAL ON-SITE FEATURES (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern - None Floodplain - None
 Evidence of Erosion - None Fish Habitat - None
 Historical Assets - None Mature Trees - None
 Riparian Vegetation - None Steep Slopes - None
 Stream/Creek - None Unstable Soils - None
 Unique Animal Life - None Unique Plant Life - None

Application Requirements:

(Applications are required to contain *one* copy of the following unless otherwise noted. **When combining with other applications (Annexation, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
N/A	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Preliminary Plat Application	BN
	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
✓	Narrative explaining the project. (must be signed by applicant)	BN
✓	Legal description of the property (word.doc and pdf version with engineer's seal)	BN
✓	Recorded warranty deed for the subject property	BN
✓	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	BN
✓	Approval of the proposed subdivision name from Ada County Surveyor's office.	BN
✓	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	BN
✓	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	BN
✓	Electronic copy in pdf. format of Preliminary Plat	BN

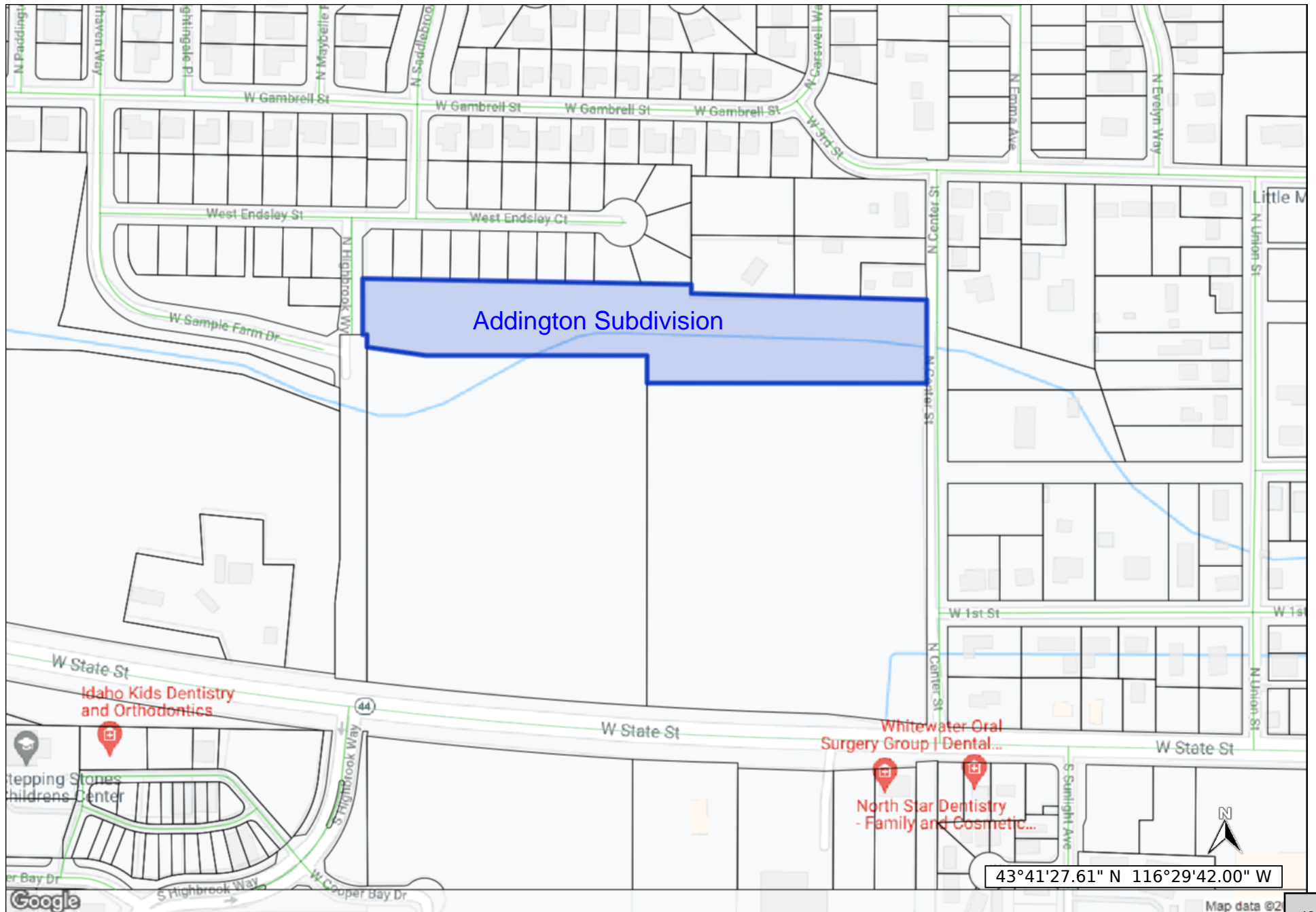
✓	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	BN
✓	Electronic copy in pdf. format of landscape plan	BN
✓	Electronic copy in pdf. format of preliminary site grading & drainage plans See sheets C1.07-C1.09	BN
✓	Phasing plan shall be included in the application if the project is to be phased. See sheet C1.00	BN
✓	Letter of authorization from the local Post Office approving mailbox delivery to subdivision including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	BN
✓	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the proposed development. See sheet C1.00	BN
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	BN
✓	Site report of the highest seasonal groundwater elevation prepared by a registered soils scientist. (If requested by City Engineer)	BN
✓	Special Flood Information – Must be included on Preliminary Plat and Application form.	
✓	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight design and location information. Streetlights shall meet all City "Dark Sky" requirements. See sheet C1.00	BN
	Written confirmation that a traffic impact study is not required and/or has been submitted for review to Ada County Highway District/Canyon Highway District No. 4/Idaho Transportation Department (if applicable).	
✓	One (1) copy of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation district information, streetlight design & location, confirmation of a traffic impact study <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit a colored version of the preliminary plat and/or landscape plan for presentation purposes prior to City Council.</u>	BN
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
✓	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval. Please contact SSWD for details.	

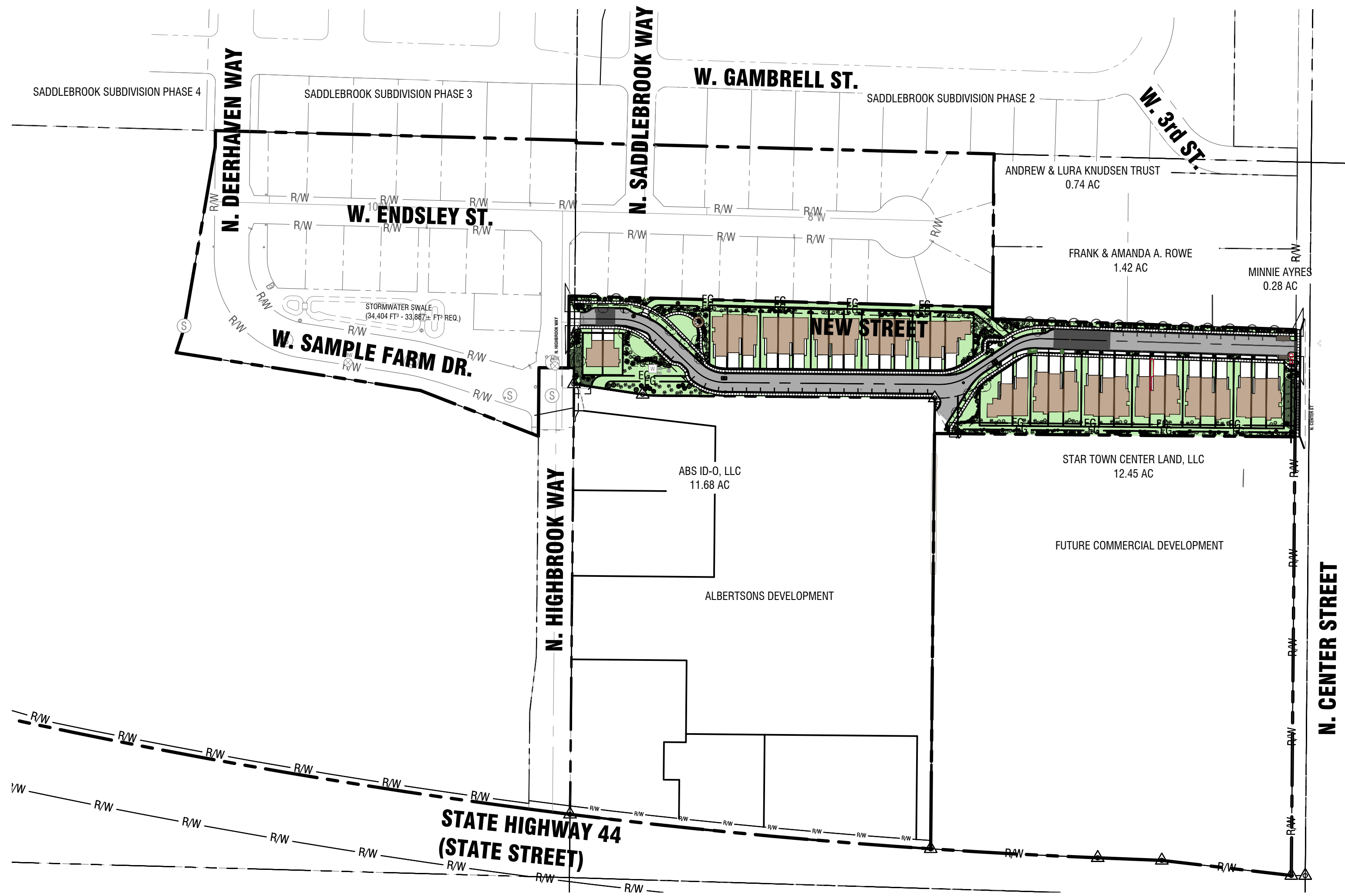
FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

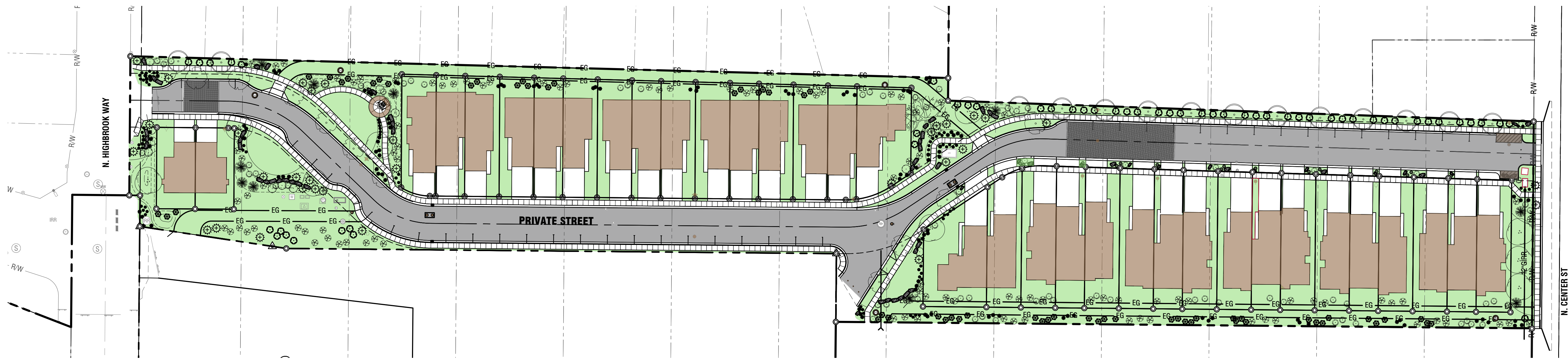

 Applicant/Representative Signature

7/31/2024
 Date



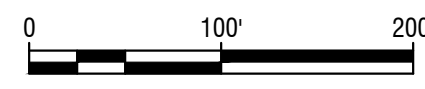


Originally Approved
Preliminary Plat
April 19, 2022



Concept Plan

HORIZONTAL SCALE: 1" = 150' (AT 22" X 34")
Dec 16, 2021



Addington Townhomes
Conceptual Site Plan

Star, Idaho



462 East Shore Drive, Suite 100
Bozeman, Idaho 83716
Ph: 208.939.4041 Fax: 208.939.4445
www.thelandgroupinc.com



Owner / Developer:

STC DEVELOPMENT, LLC
ERIC DAVIS
199 N. CAPITOL BLVD., SUITE 300
BOISE, ID. 83702
PH: 208.331.0110

Project Engineer / Surveyor / Landscape:

THE LAND GROUP, INC.
ENGINEER: ERIC CROWIN, PE
SURVEYOR: MIKE FEMENIA, PLS
LANDSCAPE ARCHITECT: JAMES LEO, PLA
462 E. SHORE DR., SUITE 100
EAGLE, ID. 83616
PH: 208.939.4041

Irrigation & Drainage Company:

DRAINAGE DISTRICT NO. 2
ALLEN FUNKHAUSER
1101 W RIVER ST, SUITE 110
BOISE, IDAHO 83702
PH: 208.571.3804

MIDDLETON MILL DITCH COMPANY
MIDDLETON IRRIGATION ASSOCIATION, INC.
FLAKE DITCH COMPANY
P.O. BOX 848
MIDDLETON, ID 83644
PH: 208.585.3207

Star Sewer & Water District:

HANK DAY
10831 W. STATE STREET
STAR, ID 83669
PH: 208.286.7388

Planning Notes:

CURRENT ZONING: R7
PROPOSED ZONING: R7
DIMENSIONAL STANDARDS (AT THE TIME OF ORIGINAL PRELIMINARY PLAT APPROVAL):
MINIMUM STREET FRONTAGE: 35-FT. (REQUESTING COUNCIL WAIVER 31-FT)
FRONT SETBACK: 15-FT TO LIVING, 20-FT TO GARAGE
REAR SETBACK: 15-FT
INTERIOR SIDE SETBACK: 0-FT FOR COMMON WALLS, 5-FT AT END OF BUILDING
STREET SIDE SETBACK: 20-FT (LOCAL)
ALLEY LOADING - FRONT: 10-FT TO LIVING SPACE
ALLEY LOADING - REAR: 4-FT
MAXIMUM BUILDING HEIGHT: 35-FT

Special Flood Hazard Area:

PROPERTY IS LOCATED IN ZONE X PER FEMA FIRM PANELS: #16001C0125J & #16001C0130J.

Area Calculations:

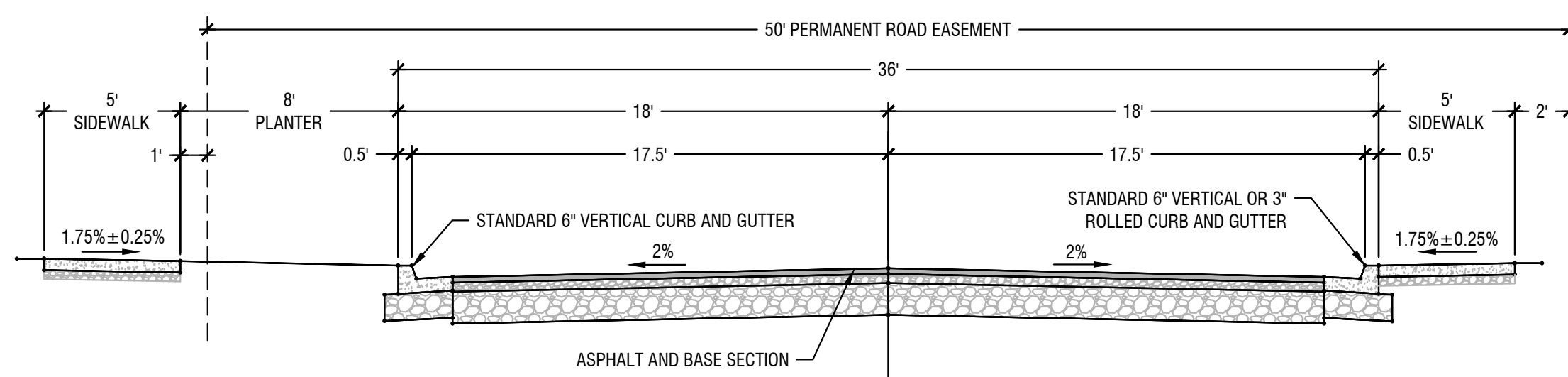
PROJECT SITE - 5.58 AC
TOTAL COMMON LOT OPEN SPACE AREA - 3.18 AC (56.98%)
PRIVATE ROADWAY EASEMENT DEDICATION - 1.99 AC (35.66%)
USABLE COMMON LOT OPEN SPACE AREA - 1.19 AC (21.33%)
RESIDENTIAL LOT AREA - 2.40 AC (43.01%)

Density Calculations:

RESIDENTIAL AREA - 5.58 AC
MAX ALLOWED DENSITY - 7 UNITS/ACRE = 39 UNITS MAX.
TOTAL RESIDENTIAL LOTS AREA (THIS PLAT) -
31 RESIDENTIAL UNITS SHOWN = 5.56 UNITS/ACRE

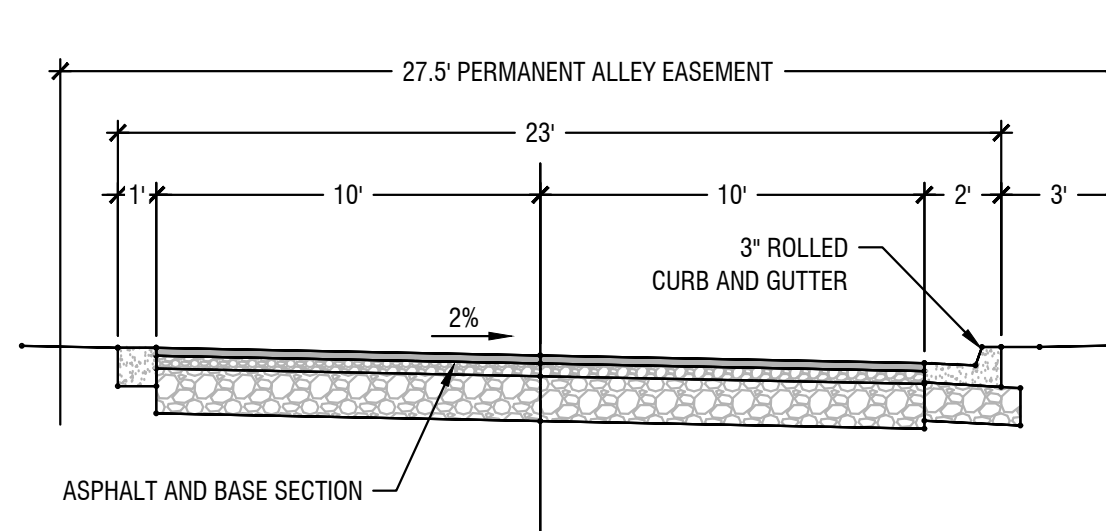
Sheet Index:

SHEET NUMBER	SHEET TITLE
C1.00	OVERALL SITE
SITE PLAN	
C1.01	AREA A
C1.02	AREA B
C1.03	AREA C
UTILITY PLAN	
C1.04	AREA A
C1.05	AREA B
C1.06	AREA C
GRADING AND DRAINAGE	
C1.07	AREA A
C1.08	AREA B
C1.09	AREA C
LANDSCAPE PLANS	
L1.00	OVERALL
L1.01	AREA A
L1.02	AREA B
L1.03	AREA C
L1.50	DETAILS



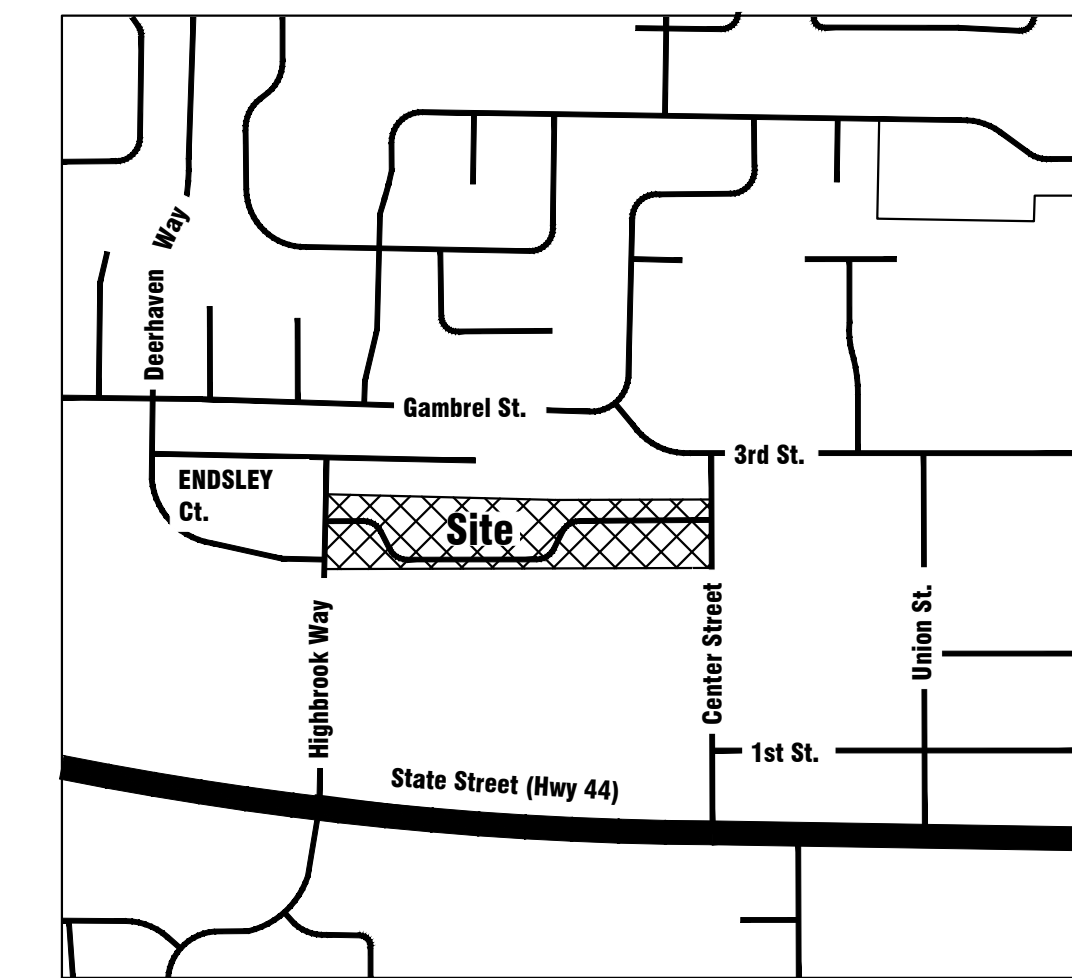
1 36/50 Private Road - Attached & Detached Sidewalks

Scale: 1" = 5'

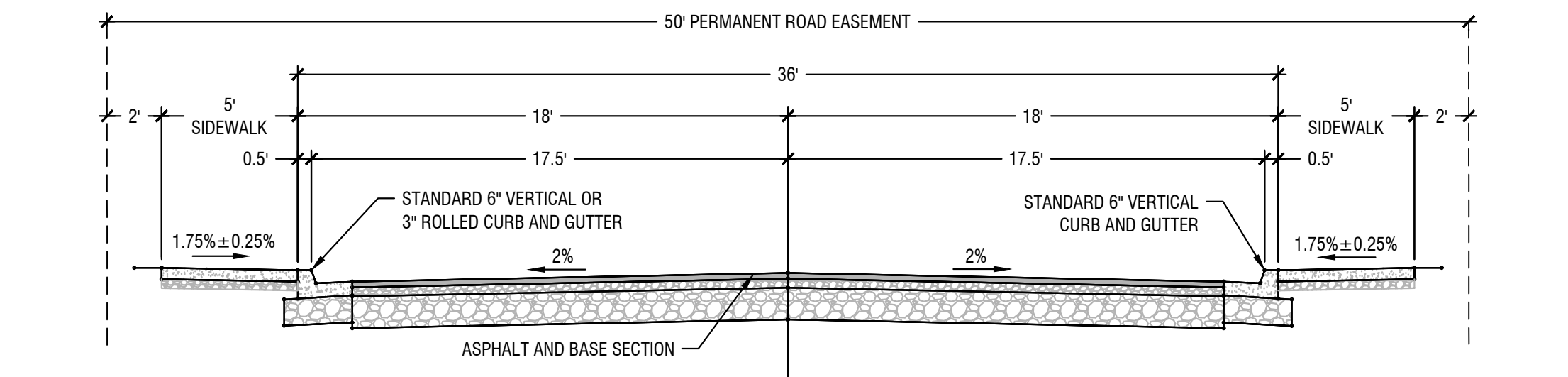


3 Private Alley

Scale: 1" = 5'



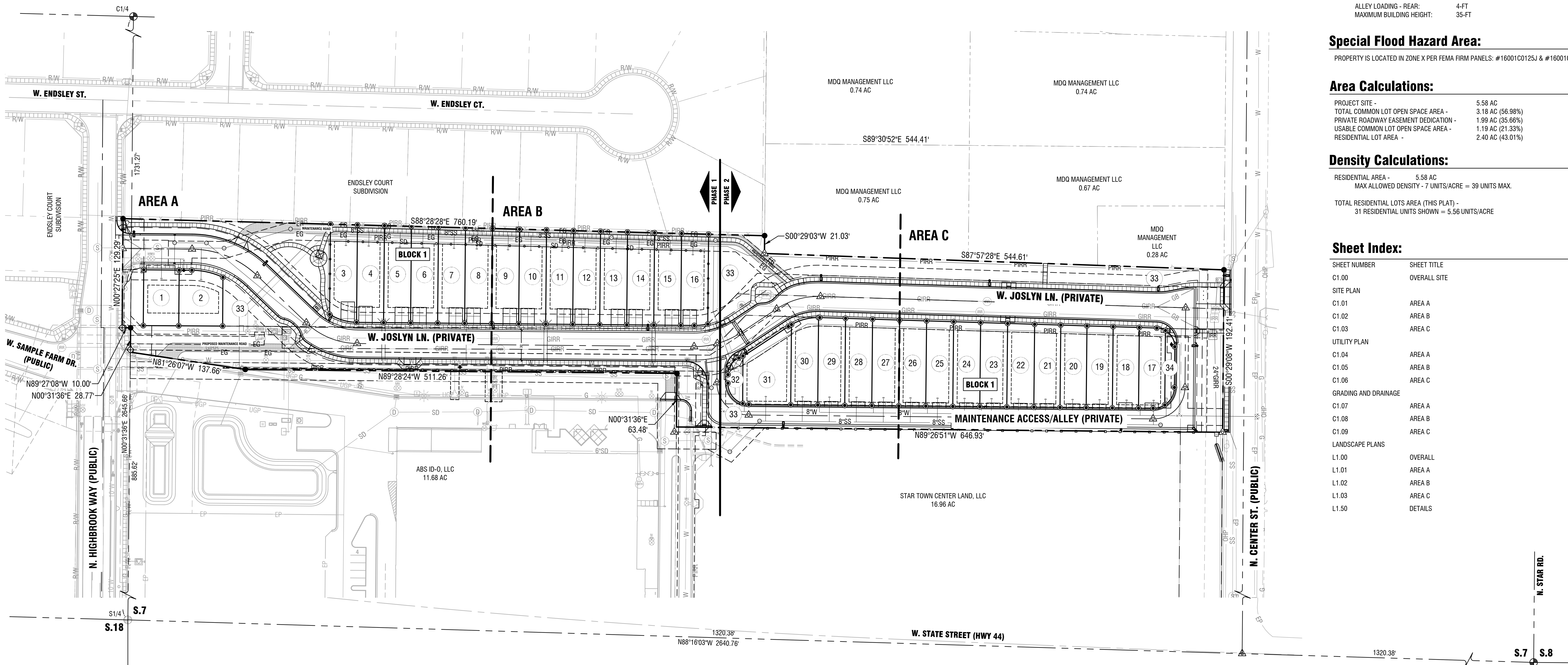
Vicinity Map
NOT TO SCALE



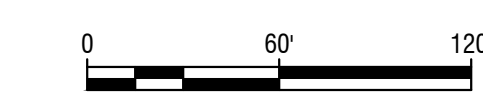
2 36/50 Private Road - Attached Sidewalks

Scale: 1" = 5'

Proposed Modification Preliminary Plat

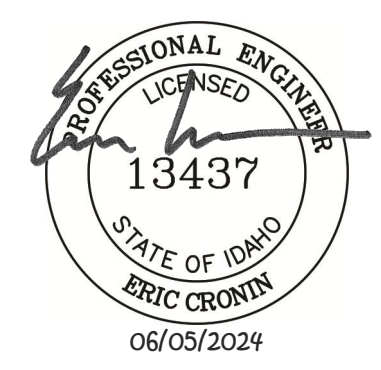


Overall Site
Horizontal Scale: 1" = 60'



Addington Townhomes Sub. - Amended Preliminary Plat STC Development

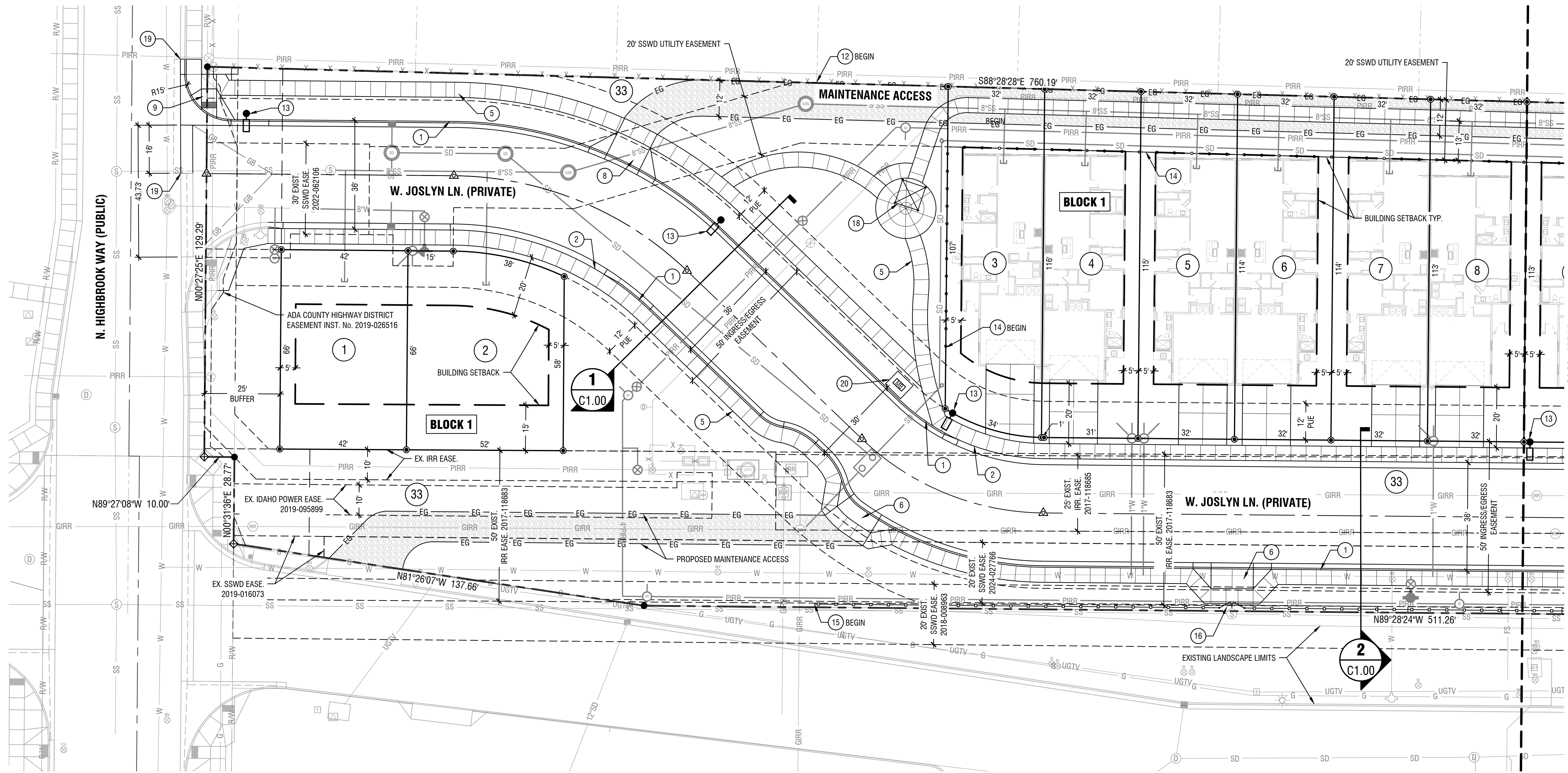
NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO



Project No.: 121064
Date of Issuance: 05.05.2024
Project Milestone: Amended Preliminary Plat

Overall Site

C1.00



Sheet Notes:

- SEE L-SERIES SHEETS FOR LANDSCAPE PLANS AND SHEETS C1.04-C1.06 FOR PRESSURE IRRIGATION PLANS.
- A MINIMUM 20' WIDE EASEMENT SHALL BE GRANTED TO STAR SEWER & WATER DISTRICT FOR ALL MAINS OUTSIDE THE PUBLIC RIGHTS OF WAY.
- ALL PEDESTRIAN CROSSINGS WILL HAVE A TACTILE WARNING SURFACE (TWS) FOR PEDESTRIAN ACCESS PER ACHD SUPPLEMENT TO THE ISPCW SD-712.
- BUILDING FOOTPRINTS ARE PRELIMINARY AND SUBJECT TO CHANGE.

Legend:

- BOUNDARY LINE
- LOT LINE
- ROADWAY CENTERLINE
- BUILDING SETBACK
- EASEMENT LINE
- LOT NUMBER
- 6" VERTICAL CURB & GUTTER
- 3" ROLLED CURB & GUTTER
- 12" WIDE RIBBON CURB
- 5' WIDE SIDEWALK
- FOUND 5/8" SURVEY MONUMENT
- FOUND COPPER DISC MONUMENT
- CALCULATED POINT (NOTHING SET OR FOUND)
- LOT CORNER MONUMENT (NOTHING SET OR FOUND)

Material Legend:

- DECORATIVE GRAVEL FINISH SURFACE.

Keynotes:

- 6" VERTICAL CURB & GUTTER PER ACHD SUPPLEMENT TO THE ISPCW SD-701.
- 3" ROLLED CURB & GUTTER PER ACHD SUPPLEMENT TO THE ISPCW SD-702.
- 12"x8" RIBBON CURB SIMILAR TO ACHD SUPPLEMENT TO THE ISPCW SD-703.
- VALLEY GUTTER PER ACHD SUPPLEMENT TO THE ISPCW SD-708.
- 5' SIDEWALK PER ACHD SUPPLEMENT TO THE ISPCW SD-709.
- DRIVEWAY WITH SIDEWALK AROUND APPROACH PER ACHD SUPPLEMENT TO THE ISPCW SD-710A.
- DRIVEWAY APPROACH WITH RAMPED SIDEWALK PER ACHD SUPPLEMENT TO THE ISPCW SD-710B.
- DRIVEWAY APPROACH WITH DETACHED SIDEWALK PER ACHD SUPPLEMENT TO THE ISPCW SD-710C.
- PEDESTRIAN RAMP TYPE "A", PER THE ISPCW SD-712A.
- PEDESTRIAN RAMP TYPE "G" MID-BLOCK PER ACHD SUPPLEMENT TO THE ISPCW SD-712G.
- REMOVABLE BOLLARDS FOR EMERGENCY ACCESS AND IRRIGATION DISTRICT ACCESS.
- SCREEN EXTENSION FENCE ON PROJECT SIDE OF EXISTING FENCE. SEE DETAIL 1/C1.01.
- STREET LIGHT PER CITY OF STAR STANDARDS.
- 4' WROUGHT IRON FENCE TO BE INSTALLED WITH HOUSE CONSTRUCTION.
- 9' TALL SCREEN FENCE PER DETAIL 1/C1.01.
- GATED ACCESS FOR SEWER MAINTENANCE.
- INSTALL "NO PARKING" SIGN. ALL SIGNS SHALL BE INSTALLED AT 45° ANGLE RELATIVE TO TRAVEL LANE.
- 8'x8' SHADE STRUCTURE AT PLAZA WITH TABLE.
- WIDEN EXISTING APPROACH AS DIMENSIONED. RECONSTRUCT PEDESTRIAN RAMP, SIDEWALK AND VALLEY GUTTER. PROVIDE 2" MINIMUM PAVEMENT SAW-CUT AND REPAIR.
- USPS MAILBOX CLUSTER LOCATION.

Site Plan - Area A

Horizontal Scale: 1" = 20'



1 Screen Fence Detail

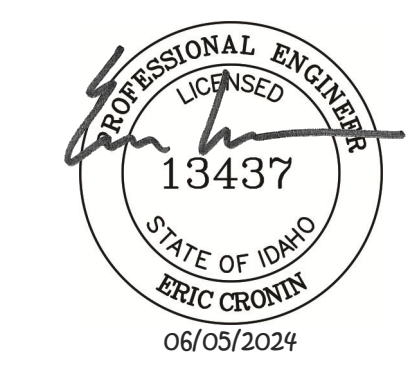
Scale: NTS

**Addington Townhomes Sub. - Amended Preliminary Plat
STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO

Revisions

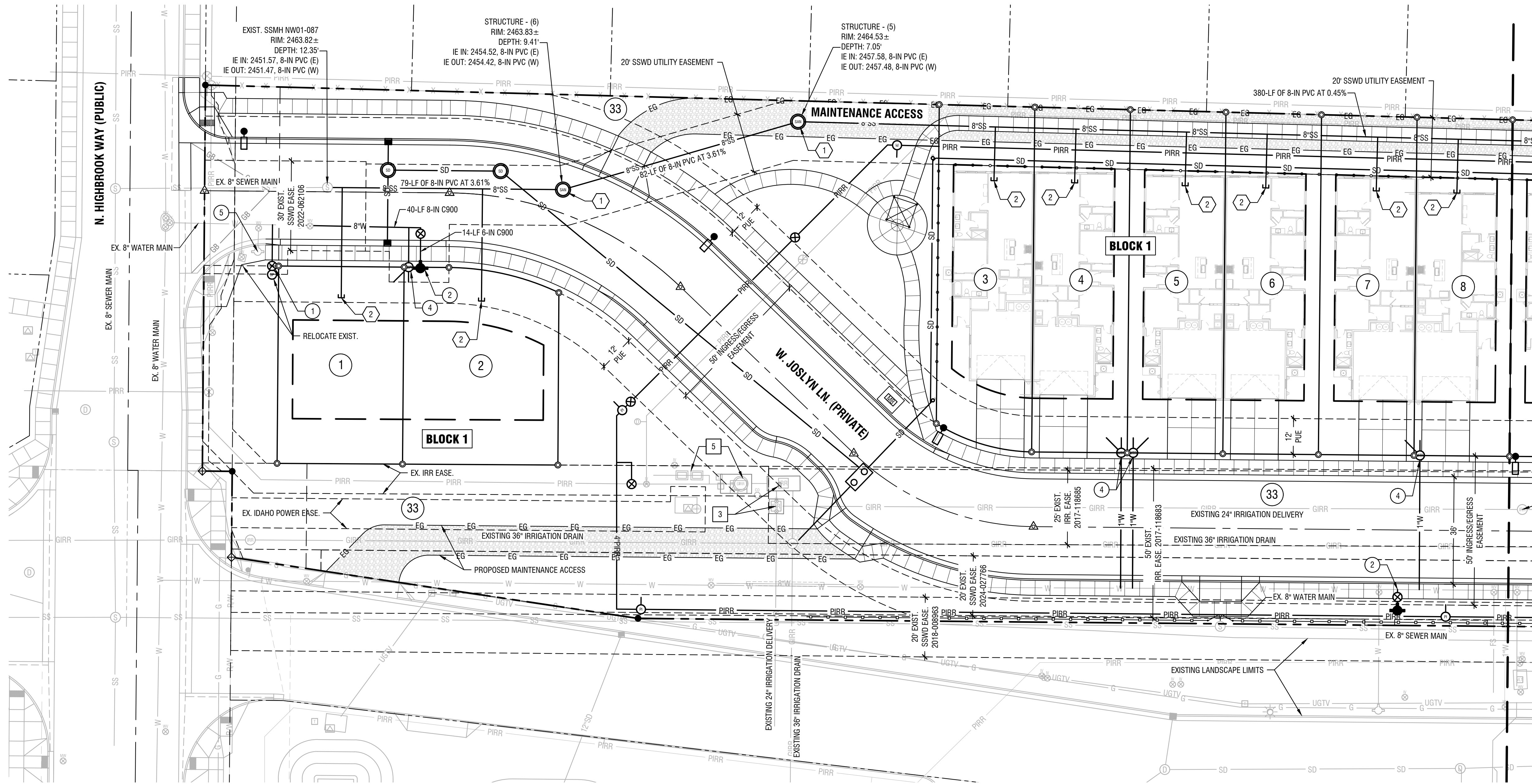
1.	
----	--



Project No.: 121064
 Date of Issuance: 05.05.2024
 Project Milestone: Amended Preliminary Plat

**Site Plan
Area A**

C1.01



Utility Plan - Area A
Horizontal Scale: 1" = 20'

Sheet Notes:

- THE PROPOSED IMPROVEMENTS AS SHOWN ARE CONCEPTUAL IN NATURE. THEY ARE INTENDED TO SHOW ONE METHOD BY WHICH NECESSARY WATER, SEWER, AND PRESSURE IRRIGATION SYSTEMS CAN BE CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT AND ARE SUBJECT TO CHANGE.
- PRIOR TO CONSTRUCTION, DETAILED ENGINEERING PLANS WILL BE PREPARED FOR REVIEW AND APPROVAL BY AGENCIES HAVING JURISDICTION.
- SEE L-SERIES FOR LANDSCAPE PLANS.
- A MINIMUM 20' WIDE EASEMENT SHALL BE GRANTED TO STAR WATER & SEWER DISTRICT FOR ALL WATER & SEWER MAINS OUTSIDE THE PUBLIC RIGHTS OF WAY.
- AN EXISTING PRESSURE IRRIGATION PUMP STATION WAS CONSTRUCTED WITH ENDSELEY COURT SUBDIVISION. PRIMARY SURFACE WATER SOURCE IS PROVIDED BY THE FLAKE LATERAL. SECONDARY GROUND SOURCE IS PROVIDED BY AN EXISTING WELL PERMITTED BY IDWR. THIS PUMP STATION WILL SERVE ADDINGTON TOWNHOMES SUBDIVISION AND THE REMAINDER OF STAR TOWN CENTER LAND, LLC PROPERTY. EACH DEVELOPMENT WILL BE PROVIDED ITS OWN MAINLINE CONNECTION TO ALLOW EACH PROPERTY TO BE ISOLATED FROM EACH OTHER.
- REFER TO SHEETS C1.05-C1.07 FOR GRADING AND DRAINAGE INFORMATION.

Water Keynotes:

- WATER SAMPLING STATION.
- FIRE HYDRANT ASSEMBLY.
- WATER METER WITH SINGLE RESIDENTIAL WATER SERVICE.
- WATER METER WITH DOUBLE RESIDENTIAL WATER SERVICE.
- RELOCATED FIRE HYDRANT EASTERLY AT TERMINATION OF MAIN EXTENSION.

Sewer Keynotes:

- 48" SANITARY SEWER MANHOLE.
- 4" SERVICE LINE.
- INV.-IN FOR THE SOUTHERN SEWER PIPE WILL BE A BLOCK-OUT FOR FUTURE CONNECTION. ACTUAL DIRECTION WILL BE DETERMINED PRIOR TO CONSTRUCTION.

Gravity Irrigation Keynotes:

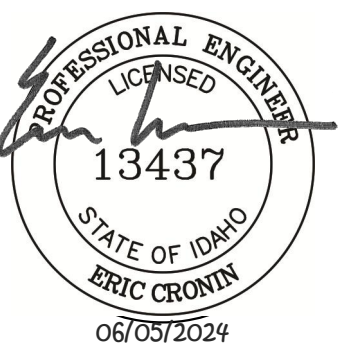
- GRAVITY IRRIGATION FIELD WASTE WATER EXTENSION.
- GRAVITY IRRIGATION STRUCTURE.
- EXISTING GRAVITY IRRIGATION STRUCTURE.
- PROPOSED FLAKE LATERAL EXTENSION.
- EXISTING PRESSURE IRRIGATION PUMP STATION & WELL.

Utility Legend:

	SEWER MAIN AND MANHOLE
	WATER MAIN AND VALVE (SIZE AS NOTED)
	STORM DRAIN PIPE (SIZE TO BE DETERMINED)
	GRAVITY IRRIGATION PIPE (SIZE AS NOTED)
	PRESSURE IRRIGATION PIPE (SIZE TO BE DETERMINED), VALVE AND SERVICE
	STREET LIGHT
	FIRE HYDRANT
	EXISTING SEWER MAIN WITH MANHOLE
	EXISTING WATER MAIN AND VALVE
	EXISTING STORM DRAIN PIPE AND MANHOLE
	EXISTING GRAVITY IRRIGATION PIPE
	EXISTING NATURAL GAS MAIN
	EXISTING UNDERGROUND TELECOMMUNICATIONS
	EXISTING PRESSURE IRRIGATION MAIN, VALVE AND SERVICE
	EXISTING OVERHEAD POWER LINE & POLE

**Addington Townhomes Sub. - Amended Preliminary Plat
STC Development**

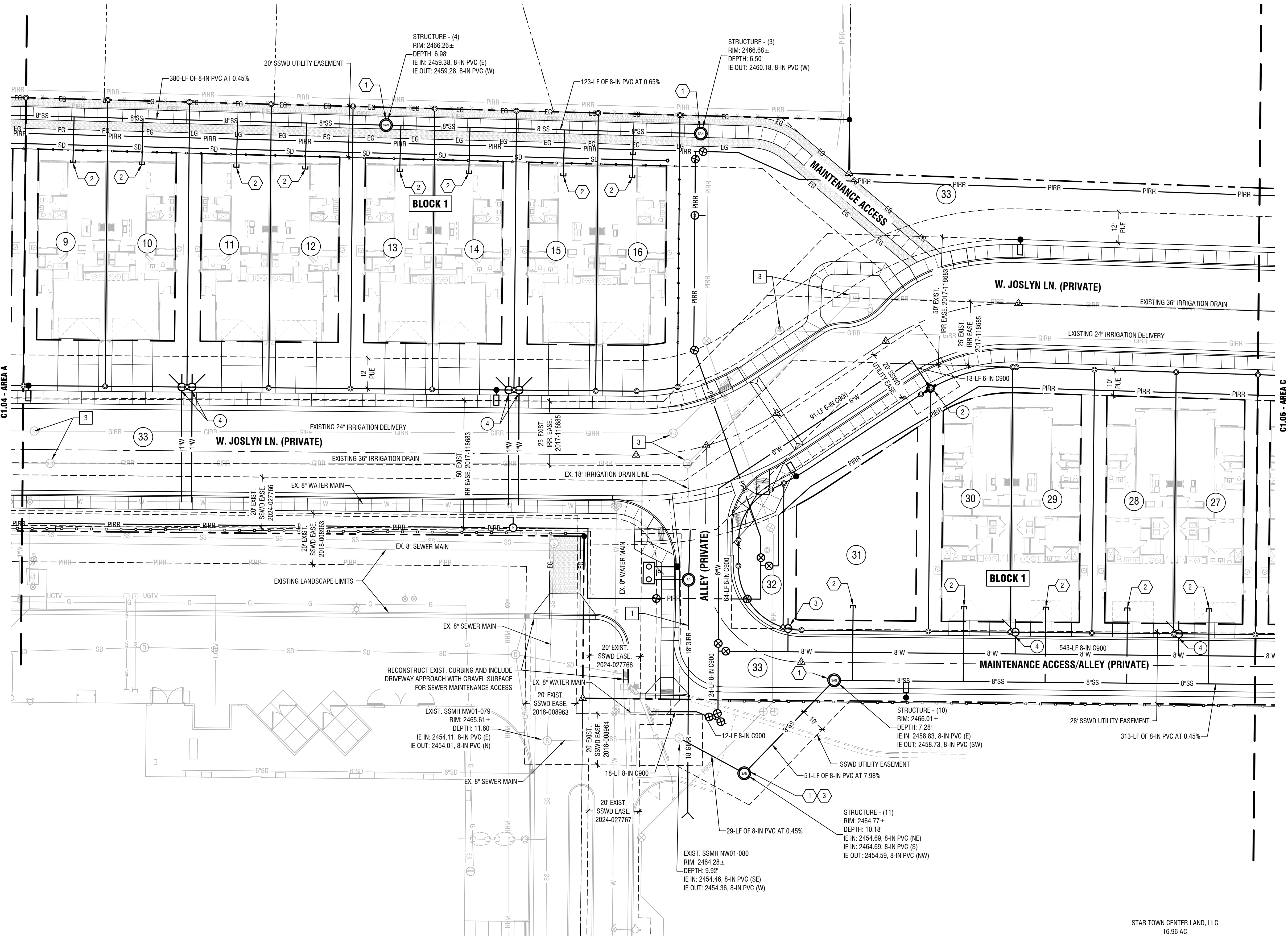
NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO



Project No.: 121064
Date of Issuance: 05.05.2024
Project Milestone: Amended Preliminary Plat

**Utility Plan
Area A**

C1.04



Sheet Notes:

- 1. THE PROPOSED IMPROVEMENTS AS SHOWN ARE CONCEPTUAL IN NATURE. THEY ARE INTENDED TO SHOW ONE METHOD BY WHICH NECESSARY WATER, SEWER, AND PRESSURE IRRIGATION SYSTEMS CAN BE CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT AND ARE SUBJECT TO CHANGE.
2. PRIOR TO CONSTRUCTION, DETAILED ENGINEERING PLANS WILL BE PREPARED FOR REVIEW AND APPROVAL BY AGENCIES HAVING JURISDICTION.
3. SEE L-SERIES FOR LANDSCAPE PLANS.
4. A MINIMUM 20' WIDE EASEMENT SHALL BE GRANTED TO STAR WATER & SEWER DISTRICT FOR ALL WATER & SEWER MAINS OUTSIDE THE PUBLIC RIGHTS OF WAY.
5. AN EXISTING PRESSURE IRRIGATION PUMP STATION WAS CONSTRUCTED WITH ENDSELEY COURT SUBDIVISION. PRIMARY SURFACE WATER SOURCE IS PROVIDED BY THE FLAKE LATERAL. SECONDARY GROUND SOURCE IS PROVIDED BY AN EXISTING WELL PERMITTED BY IDWR. THIS PUMP STATION WILL SERVE ADDINGTON TOWNHOMES SUBDIVISION AND THE REMAINDER OF STAR TOWN CENTER LAND, LLC PROPERTY. EACH DEVELOPMENT WILL BE PROVIDED ITS OWN MAINLINE CONNECTION TO ALLOW EACH PROPERTY TO BE ISOLATED FROM EACH OTHER.
6. REFER TO SHEETS C1.05-C1.07 FOR GRADING AND DRAINAGE INFORMATION.

Water Keynotes:

- 1. WATER SAMPLING STATION.
2. FIRE HYDRANT ASSEMBLY.
3. WATER METER WITH SINGLE RESIDENTIAL WATER SERVICE.
4. WATER METER WITH DOUBLE RESIDENTIAL WATER SERVICE.
5. RELOCATED FIRE HYDRANT EASTERLY AT TERMINATION OF MAIN EXTENSION.

Sewer Keynotes:

- 1. 48" SANITARY SEWER MANHOLE.
2. 4" SERVICE LINE.
3. INV.-IN FOR THE SOUTHERN SEWER PIPE WILL BE A BLOCK-OUT FOR FUTURE CONNECTION. ACTUAL DIRECTION WILL BE DETERMINED PRIOR TO CONSTRUCTION.

Gravity Irrigation Keynotes:

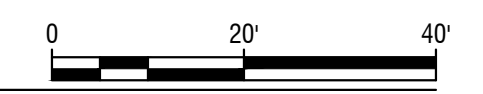
- 1. GRAVITY IRRIGATION FIELD WASTE WATER EXTENSION.
2. GRAVITY IRRIGATION STRUCTURE.
3. EXISTING GRAVITY IRRIGATION STRUCTURE.
4. PROPOSED FLAKE LATERAL EXTENSION.
5. EXISTING PRESSURE IRRIGATION PUMP STATION & WELL.

Utility Legend:

Table with 2 columns: Symbol and Description. Includes symbols for sewer main, water main, storm drain, gravity irrigation pipe, pressure irrigation pipe, street light, fire hydrant, existing sewer main with manhole, existing water main and valve, existing storm drain pipe and manhole, existing gravity irrigation pipe, existing natural gas main, existing underground telecommunications, existing pressure irrigation main, valve and service, and existing overhead power line & pole.

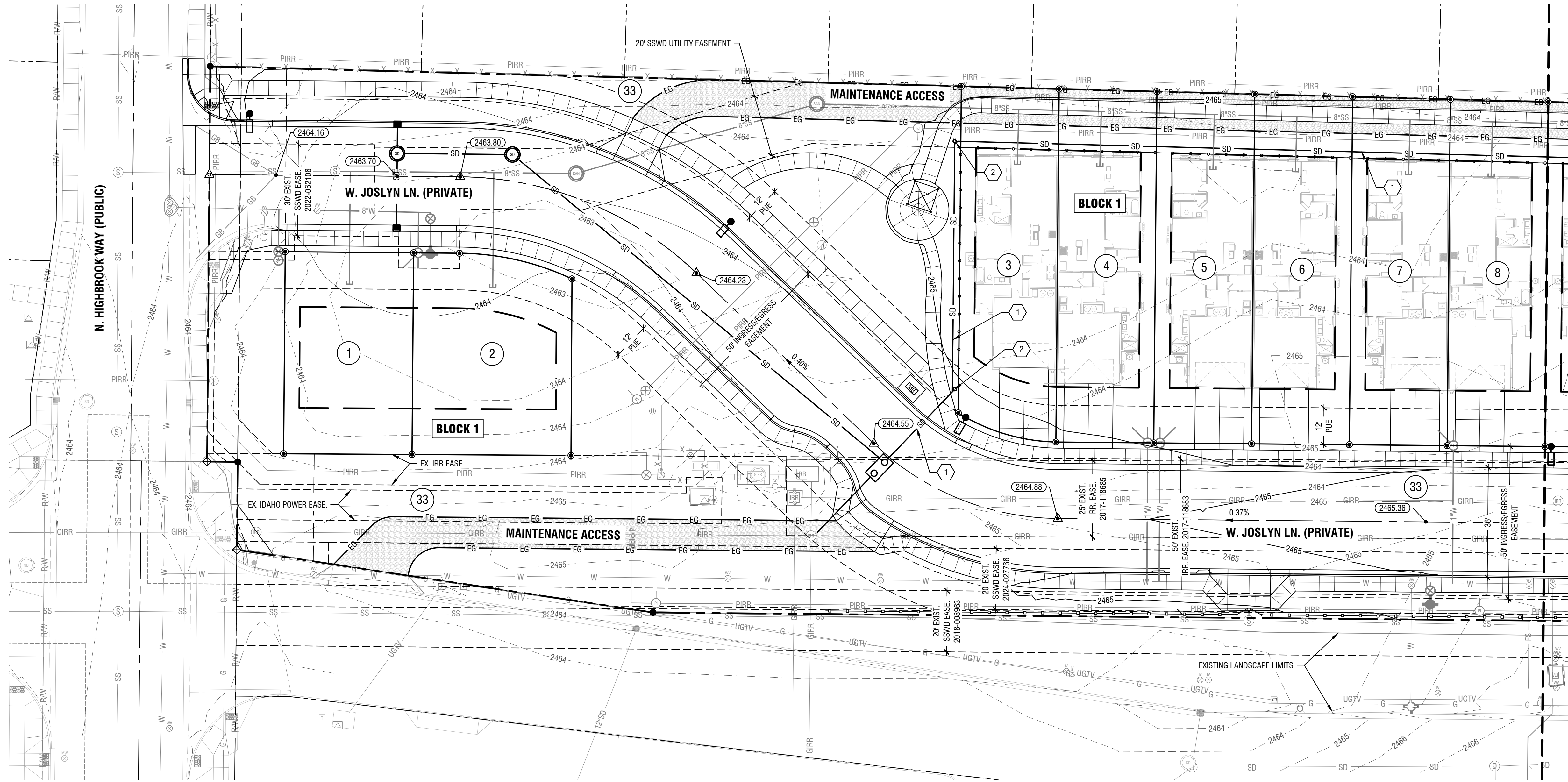
Addington Townhomes Sub. - Amended Preliminary Plat
STC Development
NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO

Utility Plan - Area B
Horizontal Scale: 1" = 20'



Project No.: 121064
Date of Issuance: 05.05.2024
Project Milestone: Amended Preliminary Plat

Utility Plan
Area B



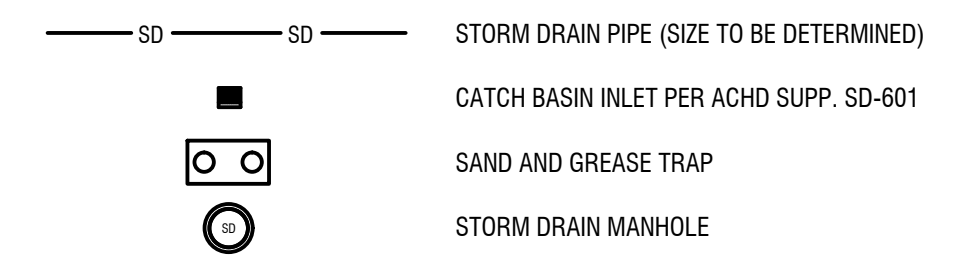
Sheet Notes:

1. THE PROPOSED IMPROVEMENTS AS SHOWN ARE CONCEPTUAL IN NATURE. THEY ARE INTENDED TO SHOW THE METHOD BY WHICH NECESSARY STORM WATER SYSTEMS CAN BE CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT AND ARE SUBJECT TO CHANGE. PRIOR TO CONSTRUCTION, DETAILED ENGINEERING PLANS WILL BE PREPARED FOR REVIEW AND APPROVAL BY THE AGENCIES HAVING JURISDICTION (AHL).
2. SITE STORM WATER WILL BE PRETREATED WITH SAND & GREASE TRAP AND DISCHARGED TO THE DRAIN 9A. A LICENCE AGREEMENT WILL BE ENTERED INTO WITH DRAINAGE DISTRICT NO. 2.
3. REFER TO SHEETS C1.04-1.06 FOR ADDITIONAL UTILITY INFORMATION.
4. SPOT ELEVATIONS INDICATED ARE PROPOSED FINISH GRADE.

Storm Drain Keynotes:

1. ROOF DRAIN CONVEYANCE TILE. BUILDING CONTRACTOR TO MAKE CONNECTION AT THE TIME OF HOUSE CONSTRUCTION.
2. STORM DRAIN CLEAN-OUT.

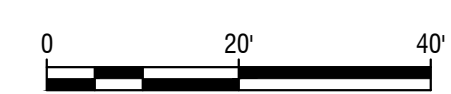
Storm Drain Legend:



C1.08 - AREA B

Grading and Drainage - Area A

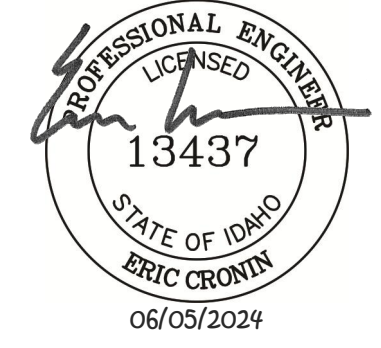
Horizontal Scale: 1" = 20'



Addington Townhomes Sub. - Amended Preliminary Plat
STC Development

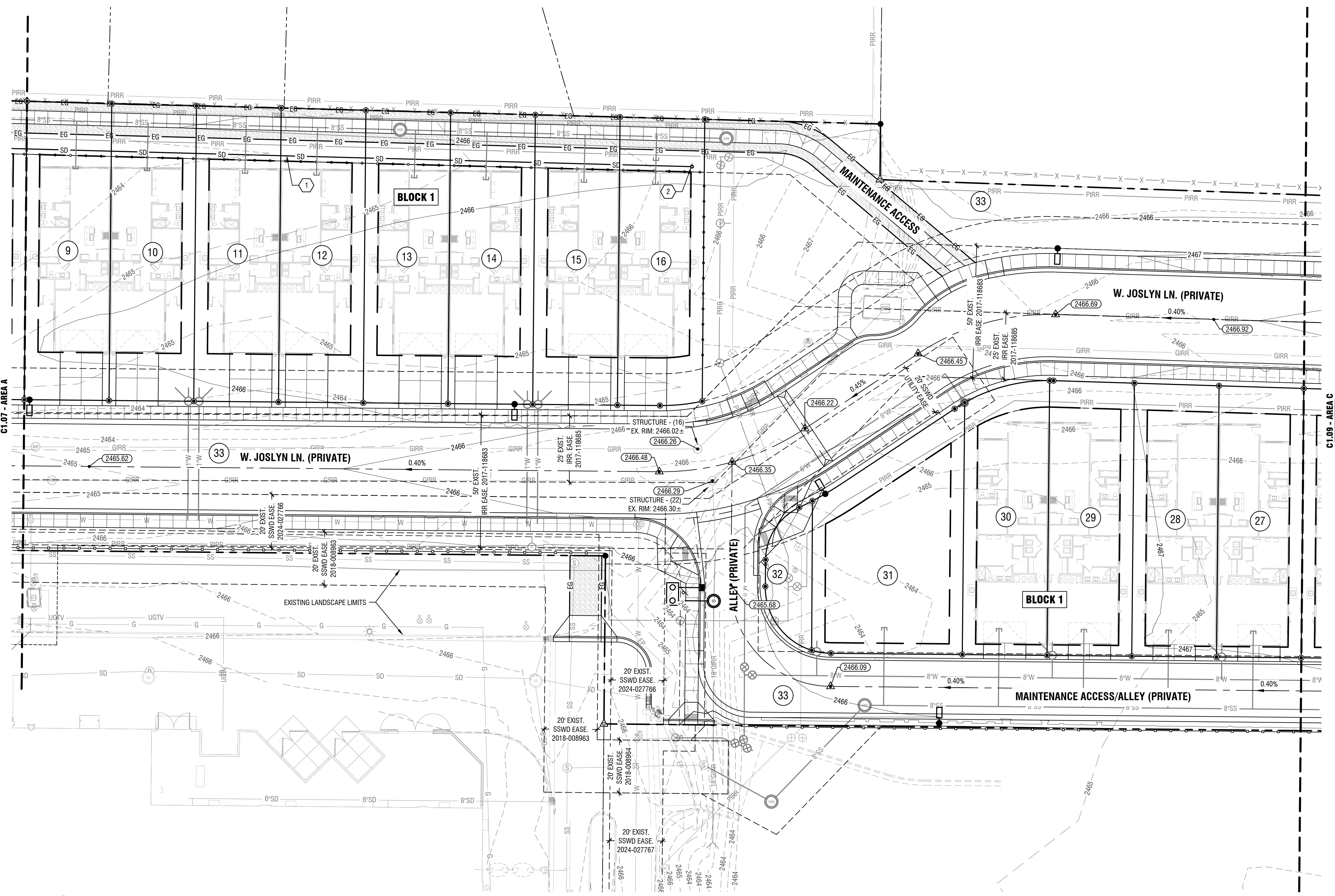
NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
 STAR, IDAHO

Revisions	
1.	



Project No.: 121064
 Date of Issuance: 05.05.2024
 Project Milestone: Amended Preliminary Plat
Grading and Drainage Area A

C1.07



Sheet Notes:

1. THE PROPOSED IMPROVEMENTS AS SHOWN ARE CONCEPTUAL IN NATURE. THEY ARE INTENDED TO SHOW THE METHOD BY WHICH NECESSARY STORM WATER SYSTEMS CAN BE CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT AND ARE SUBJECT TO CHANGE. PRIOR TO CONSTRUCTION, DETAILED ENGINEERING PLANS WILL BE PREPARED FOR REVIEW AND APPROVAL BY THE AGENCIES HAVING JURISDICTION (AHL).
2. SITE STORM WATER WILL BE PRETREATED WITH SAND & GREASE TRAP AND DISCHARGED TO THE DRAIN 9A. A LICENCE AGREEMENT WILL BE ENTERED INTO WITH DRAINAGE DISTRICT No. 2.
3. REFER TO SHEETS C1.04-1.06 FOR ADDITIONAL UTILITY INFORMATION.
4. SPOT ELEVATIONS INDICATED ARE PROPOSED FINISH GRADE.

Storm Drain Keynotes:

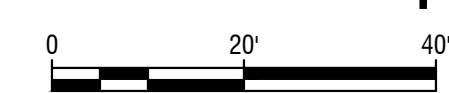
1. ROOF DRAIN CONVEYANCE TILE. BUILDING CONTRACTOR TO MAKE CONNECTION AT THE TIME OF HOUSE CONSTRUCTION.
2. STORM DRAIN CLEAN-OUT.

Storm Drain Legend:

- SD — SD STORM DRAIN PIPE (SIZE TO BE DETERMINED)
- CATCH BASIN INLET PER ACHD SUPP. SD-601
- SAND AND GREASE TRAP
- STORM DRAIN MANHOLE

Grading and Drainage - Area B

Horizontal Scale: 1" = 20'



Addington Townhomes Sub. - Amended Preliminary Plat
STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO

Revisions

1.	



Project No.: 121064
Date of Issuance: 05.05.2024
Project Milestone: Amended Preliminary Plat

Grading and Drainage Area B

DATE PLOTTED: 05/05/2024 10:05:00 AM
DRAWN BY: JACOB
CHECKED BY: JACOB
DATE: 05/05/2024 10:05:00 AM



Addington Townhomes Sub. - Amended Preliminary Plat STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO

Revisions

1.	



Project No.: 121064
Date of Issuance: 05.05.2024
Project Milestone: Amended Preliminary Plat

Grading and Drainage Area C

C1.09

Sheet Notes:

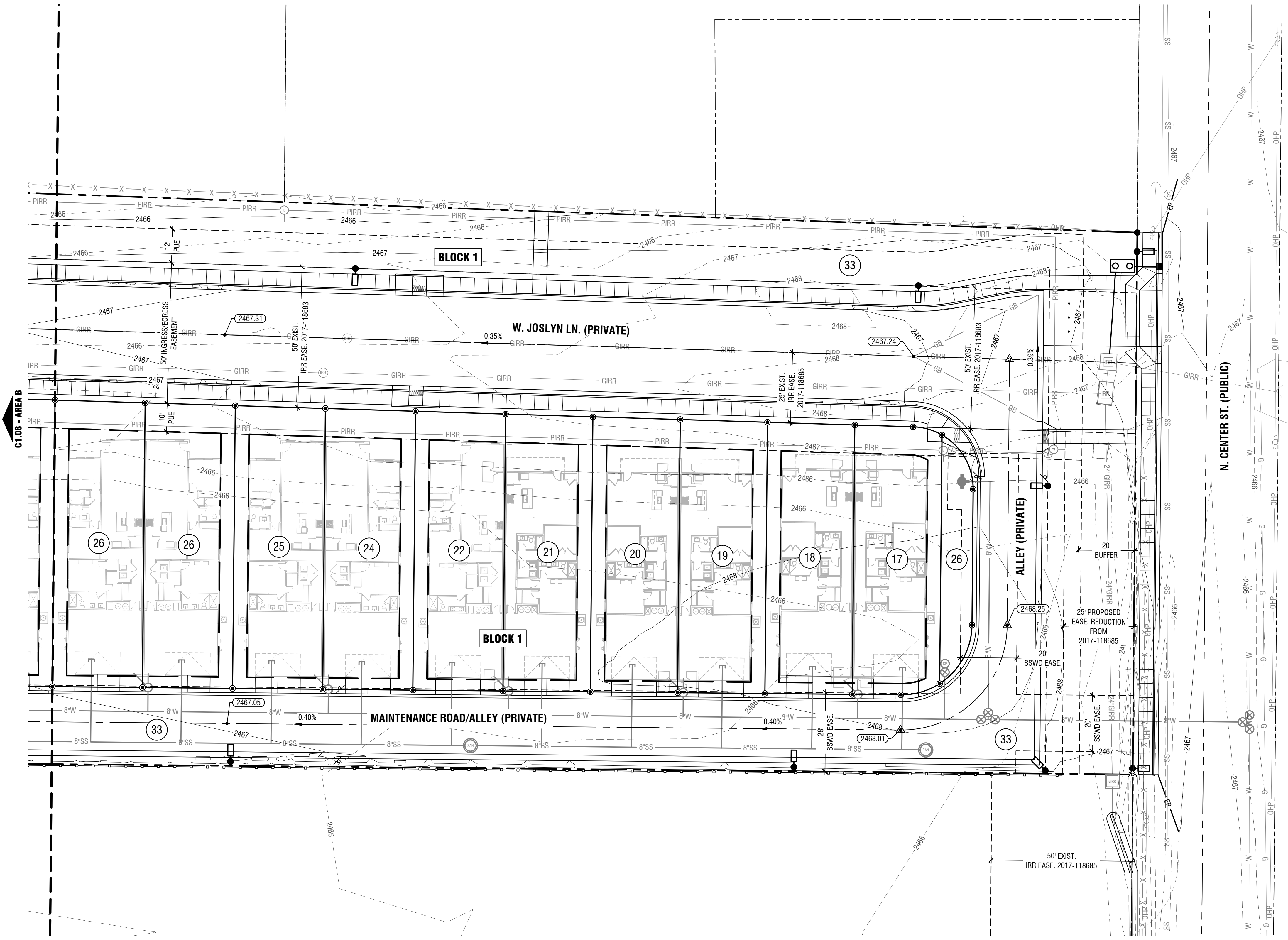
1. THE PROPOSED IMPROVEMENTS AS SHOWN ARE CONCEPTUAL IN NATURE. THEY ARE INTENDED TO SHOW THE METHOD BY WHICH NECESSARY STORM WATER SYSTEMS CAN BE CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT AND ARE SUBJECT TO CHANGE. PRIOR TO CONSTRUCTION, DETAILED ENGINEERING PLANS WILL BE PREPARED FOR REVIEW AND APPROVAL BY THE AGENCIES HAVING JURISDICTION (AHL).
2. SITE STORM WATER WILL BE PRETREATED WITH SAND & GREASE TRAP AND DISCHARGED TO THE DRAIN 9A. A LICENCE AGREEMENT WILL BE ENTERED INTO WITH DRAINAGE DISTRICT No. 2.
3. REFER TO SHEETS C1.04-1.06 FOR ADDITIONAL UTILITY INFORMATION.
4. SPOT ELEVATIONS INDICATED ARE PROPOSED FINISH GRADE.

Storm Drain Keynotes:

1. ROOF DRAIN CONVEYANCE TILE. BUILDING CONTRACTOR TO MAKE CONNECTION AT THE TIME OF HOUSE CONSTRUCTION.
2. STORM DRAIN CLEAN-OUT.

Storm Drain Legend:

- SD — SD — STORM DRAIN PIPE (SIZE TO BE DETERMINED)
- CATCH BASIN INLET PER ACHD SUPP. SD-601
- SAND AND GREASE TRAP
- STORM DRAIN MANHOLE



Grading and Drainage - Area C

Horizontal Scale: 1" = 20'



ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.



Addington Townhomes Sub. - Amended Preliminary Plat

STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO

Landscape Requirements:

AS IDENTIFIED IN THE STAR, IDAHO CITY ORDINANCE:

LANDSCAPE BUFFERS ALONG STREETS (8-8D-2-M)
ONE (1) TREE PER THIRTY-FIVE (35) LINEAR FEET WITH SHRUBS, LAWN, OR OTHER VEGETATIVE GROUND COVER.

STREET	TREES REQUIRED	TREES PROVIDED
N. HIGHBROOK WAY (LESS DRIVE/EASEMENTS)	3 TREES (120 L.F. / 35)	1 SHADE TREE 4 ORNAMENTAL TREES*
N. CENTER ST (LESS DRIVE/EASEMENTS)	5 TREES (172 L.F. / 35)	3 SHADE TREES 4 ORNAMENTAL TREES*

*COLUMNAR SWEETGUM SUBSTITUTED FOR REQUIRED SHADE TREE AT 2:1 USING ORNAMENTAL TREE SUBSTITUTION ALLOWANCE FROM MUNICIPAL CODE.

QUALIFIED OPEN SPACE (8-4E-2)
TOTAL LAND AREA OF ALL COMMON OPEN SPACE SHALL EQUAL OR EXCEED FIFTEEN PERCENT (15%) OF THE GROSS LAND AREA OF DEVELOPMENT. A MINIMUM OF 10% OF THE TOTAL GROSS ACREAGE OF THE DEVELOPMENT SHALL BE FOR USEABLE AREA OPENSACE. OPENSACE SHALL BE DESIGNATED AS A TOTAL OF 15% MINIMUM FOR RESIDENTIAL DEVELOPMENTS IN ALL ZONES WITH DENSITIES OF R-2 OR GREATER.

REQUIRED S.F.	PROVIDED S.F.
36,459.72 S.F. (15% x 243065 S.F.)	51,836.4 S.F. (21.33%)

NEW RESIDENTIAL SUBDIVISION COMMON AREA LANDSCAPES SHALL BE COMPRISED OF THE FOLLOWING: LAWN, EITHER SEED OR SOD, A MINIMUM OF ONE DECIDUOUS SHADE TREE PER FOUR THOUSAND (4,000) SQUARE FEET. (8-8D-2-J-5)

PROVIDED S.F.	REQUIRED TREES	PROVIDED TREES
51,836.4 S.F.	13 TREES (51836.4 / 4000)	42 TREES*

*A MIX OF DECIDUOUS SHADE AND CONIFEROUS TREES HAVE BEEN PROVIDED IN THE COMMON LOTS AND THROUGHOUT THE SITE.

Automatic Underground Irrigation Notes:

- A. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
- B. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- C. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 18" AT NON-MOW FESCUE AREAS, 6" AT SOD LAWN AREAS.
- D. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEMS - WITH DRIP CONTROL ZONE KIT AND 150 MESH FILTER (MIN.).
- E. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
E.A. PRECISE INDIVIDUAL STATION TIMING
E.B. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
E.C. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
E.D. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
E.E. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- F. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- G. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- H. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, AND PARKING AREA.
- I. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX LARGE ENOUGH TO ALLOW FOR MAINTENANCE AND REMOVAL. ONLY ONE VALVE PER BOX.

Landscape Plan Notes:

- A. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- B. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- C. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
- D. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- F. ALL NON-TURF PLANTERS SHALL RECEIVE 4" LAYER OF DECORATIVE MULCH.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. PLANT QUANTITIES IDENTIFIED ON THE PLAN AREA APPROXIMATE. CONTRACTOR SHALL VERIFY.

Preliminary Plat Landscape Notes:

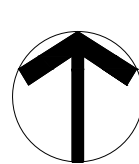
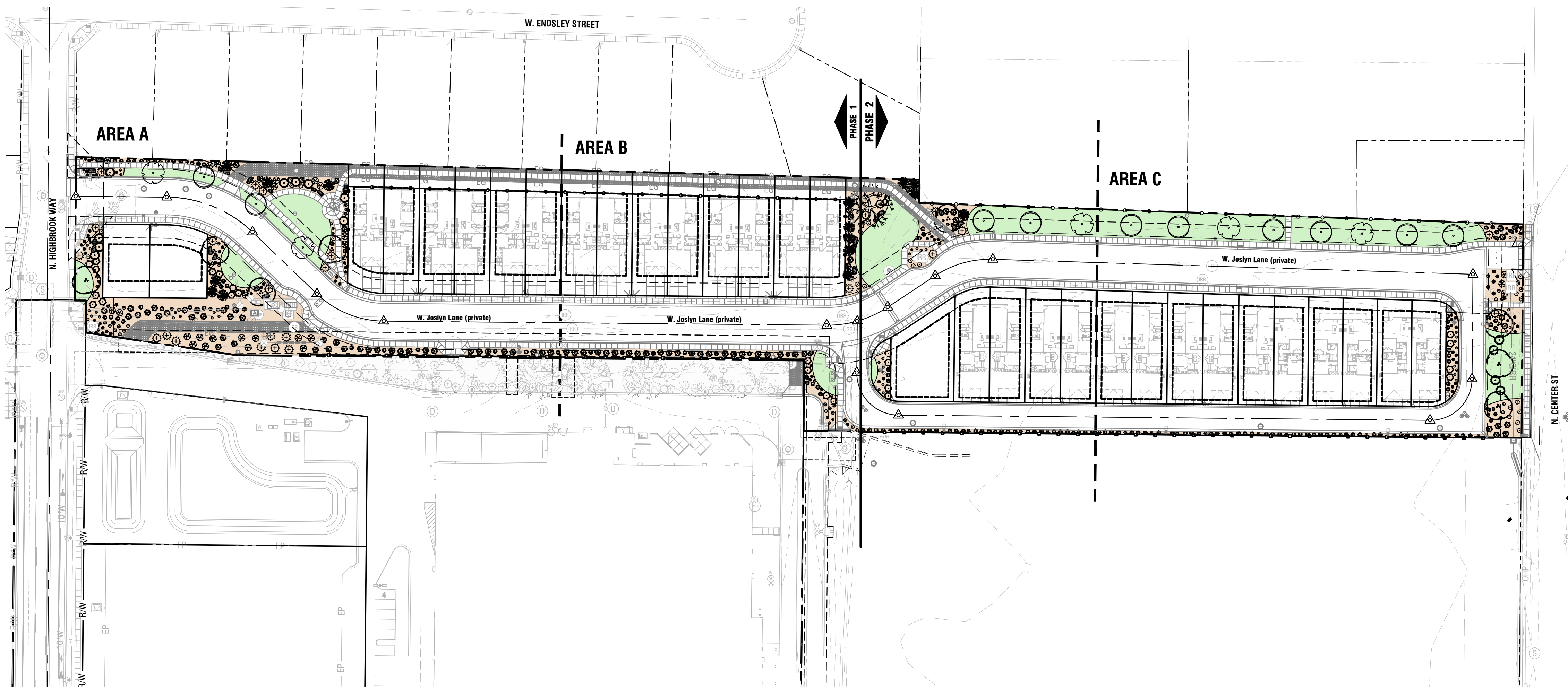
- 1. NO SLOPES GREATER THAN 20% SLOPE EXIST OR ARE PROPOSED ON THIS SITE.
- 2. REFER TO PLAN SHEETS FOR SIGHT TRIANGLES PER STAR ORDINANCE.
- 3. FENCING BY OWNER, BUILDER, OR DEVELOPER.
- 4. ANY TREES PLANTED WITHIN A PARKWAY STRIP SHALL BE CENTERED IN PARKWAY STRIP.
- 5. NO TREES EXIST ON SITE THAT REQUIRE MITIGATION PER STAR ORDINANCE.

Street Tree Notes:

- 1. TREES SHALL NOT BE PLANTED WITHIN A MINIMUM 5' OF ANY SSWD WATER SERVICE.
- 2. ANY TREES PLANTED WITHIN A CLEAR VISION TRIANGLE SHALL BE PRUNED TO A MINIMUM OF EIGHT FEET (8') ABOVE THE GROUND OR SIDEWALK SURFACE AND 14 FEET (14') ABOVE ADJACENT STREET SURFACE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUNDCOVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE THREE FEET (3') FROM THE LOWEST ADJACENT STREET.
- 3. ROOTBARRIERS SHALL BE INSTALLED AT CURBS AND SIDEWALKS AT STREET TREES WHERE THE PARKWAY STRIP IS LESS THAN 8' WIDE.

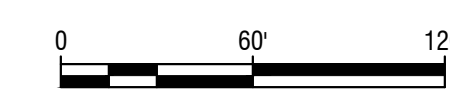
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
TREES					
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	CLASS II; MATURITY: 35' H X 25' W
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM / PRAIRIE SPIRE ASH	2" CAL.	B&B	CLASS II; MATURITY: 40' H X 20' W
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE	2" CAL.	B&B	CLASS III; MATURITY: 55' H X 25' W
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	2" CAL.	B&B	CLASS II; MATURITY: 50' H X 8' W
	PD	PINUS NIGRA 'OREGON GREEN' / OREGON GREEN PINE	6' HT.	B&B	CONIFEROUS; MATURITY: 18' H X 12' W
	QM	QUERCUS MACROCARPA / BURR OAK	2" CAL.	B&B	CLASS III; MATURITY: 50' H X 40' W
SHRUBS					
	AL	ARONIA MELANOCARPA 'UCONN165' TM / LOW SCAPE MOUND BLACK CHOKEBERRY	3 GAL		MATURITY: 1.5' H X 3.5' W
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL		MATURITY: 2.5' H X 2.5' W
	CA	CORNUS ALBA 'BAILHALD' TM / IVORY HALO DOGWOOD	5 GAL		MATURITY: 5' H X 5' W
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL		MATURITY: 4' H X 3' W
	CS	CORNUS ALBA 'SIBIRICA' / REDBARK DOGWOOD	5 GAL		MATURITY: 9' H X 5' W
	EU	EUONYMUS JAPONICUS 'GREENSPIRE' / GREENSPIRE UPRIGHT EUONYMUS	2 GAL		MATURITY: 6' H X 3' W
	HX	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL		MATURITY: 2' H X 2' W
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL		MATURITY: 15H X 3W
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE	2 GAL		MATURITY: 2' H 6' W
	PM	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	2 GAL		MATURITY: 3' H X 3' W
	PS2	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMER WINE® NINEBARK	5 GAL		MATURITY: 5H X 5W
	RT	RHUS TYPHINA 'BAILTIGER' / TIGER EYE STAGHORN SUMAC	5 GAL		MATURITY: 6W X 6H



Landscape Plan - Overall

Horizontal Scale: 1" = 60'

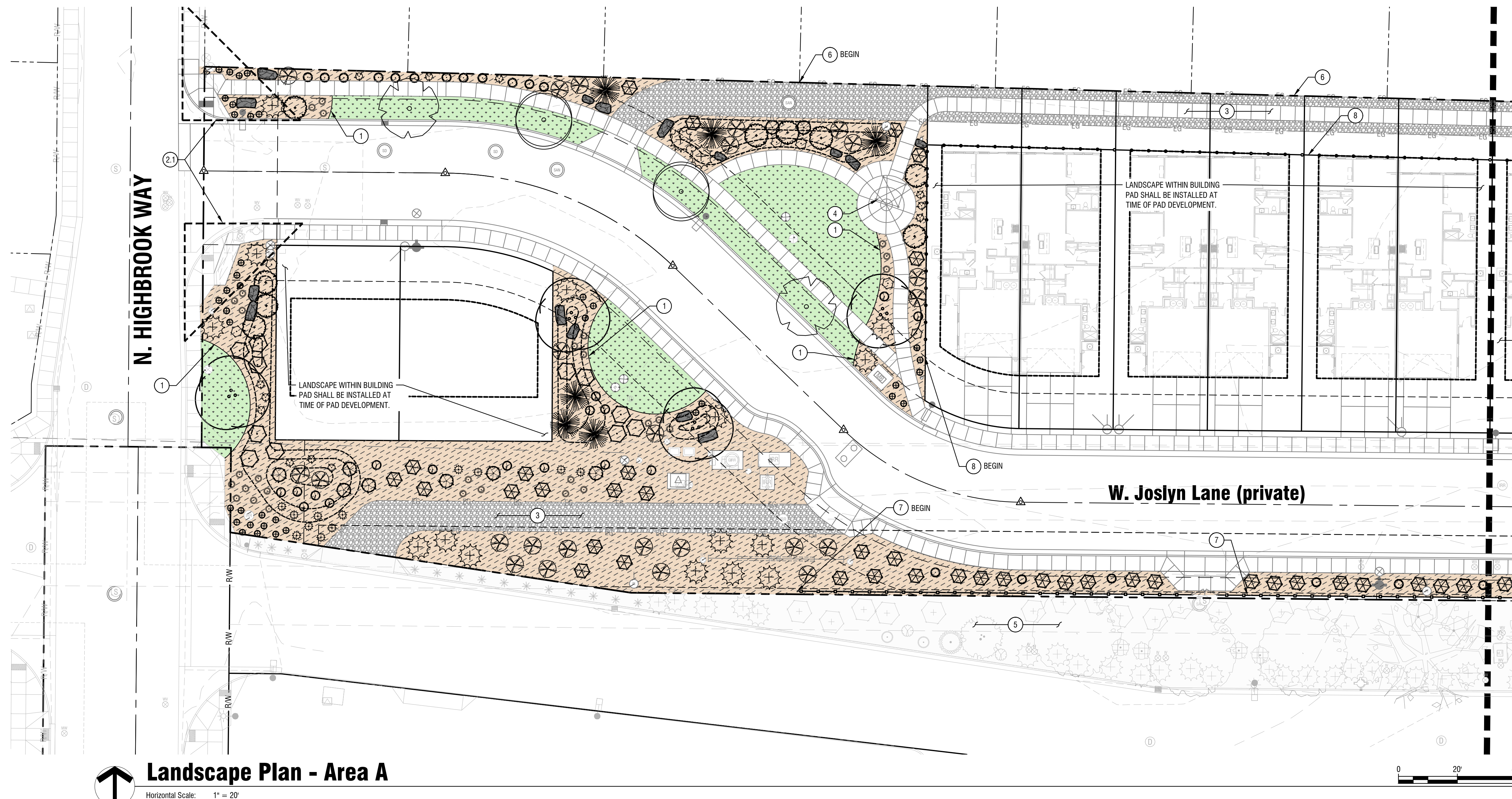


Revisions

1.	

06/05/2024
Project No.: 121064
Date of Issuance: 05/05/2024
Project Milestone: Amended Preliminary Plat

Landscape Plan Overall



Landscape Plan Notes:

- A. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- B. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- C. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
- D. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR.
- E. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- F. ALL NON-TURF PLANTERS SHALL RECEIVE 4" LAYER OF DECORATIVE MULCH.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. PLANT QUANTITIES IDENTIFIED ON THE PLAN AREA APPROXIMATE. CONTRACTOR SHALL VERIFY.

Preliminary Plat Landscape Notes:

- 1. NO SLOPES GREATER THAN 20% SLOPE EXIST OR ARE PROPOSED ON THIS SITE.
- 2. REFER TO PLAN SHEETS FOR SIGHT TRIANGLES PER STAR ORDINANCE.
- 3. FENCING BY OWNER, BUILDER, OR DEVELOPER.
- 4. ANY TREES PLANTED WITHIN A PARKWAY STRIP SHALL BE CENTERED IN PARKWAY STRIP.
- 5. NO TREES EXIST ON SITE THAT REQUIRE MITIGATION PER STAR ORDINANCE.

Street Tree Notes:

- 1. TREES SHALL NOT BE PLANTED WITHIN A MINIMUM 5' OF ANY SSWD WATER SERVICE.
- 2. ANY TREES PLANTED WITHIN A CLEAR VISION TRIANGLE SHALL BE PRUNED TO A MINIMUM OF EIGHT FEET (8') ABOVE THE GROUND OR SIDEWALK SURFACE AND 14 FEET (14') ABOVE ADJACENT STREET SURFACE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUNDCOVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE THREE FEET (3') FROM THE LOWEST ADJACENT STREET.
- 3. ROOTBARRIERS SHALL BE INSTALLED AT CURBS AND SIDEWALKS AT STREET TREES WHERE THE PARKWAY STRIP IS LESS THAN 8' WIDE.

Material Legend:

	TURF SOD		4"-DEPTH BLACK & TAN ROCK MULCH.
	CONCEPTUAL LANDSCAPE BERM, 1' CONTOURS.		LARGE LANDSCAPE BOULDERS, 4'-6" DIA. TYP PER DETAIL 4/L1.50.

Keynotes:

- 1. PLANTER CUT EDGE PER DETAIL 1/L1.50.
- 2. CLEAR VISION TRIANGLE. ALL IMPROVEMENTS WITH VISION TRIANGLE SHALL CONFORM TO CITY CODE.
 - 2.1. 40-FT X 40-FT STREET INTERSECTION TRIANGLE
 - 2.2. 20-FT X 10-FT STREET TO DRIVEWAY TRIANGLE
- 3. MAINTENANCE ROAD FOR GRAVITY IRRIGATION OR PUBLIC UTILITY. REFER TO UTILITY PLAN OR MORE INFORMATION.
- 4. 8' X 8' SHADE STRUCTURE AT PLAZA WITH TABLE.
- 5. LANDSCAPE IMPROVEMENTS PREVIOUSLY INSTALLED BY ADJACENT DEVELOPMENT. RETAIN & PROTECT.
- 6. SCREEN EXTENSION FENCE ON PROJECT SIDE OF EXISTING FENCE. SEE DETAIL 6/L1.50.
- 7. 9-FT TALL SCREEN FENCE PER DETAIL 6/L1.50.
- 8. 4-FT TALL WROUGHT IRON FENCE TO BE INSTALLED WITH HOUSE CONSTRUCTION.

Landscape Plan - Area A
Horizontal Scale: 1" = 20'

Addington Townhomes Sub. - Amended Preliminary Plat
STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST. STAR, IDAHO

Revisions	DATE	DESCRIPTION
1.		

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
TREES					
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	CLASS II; MATURITY: 35' H X 25' W
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM / PRAIRIE SPIRE ASH	2" CAL.	B&B	CLASS II; MATURITY: 40' H X 20' W
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE	2" CAL.	B&B	CLASS III; MATURITY: 55' H X 25' W
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	2" CAL.	B&B	CLASS II; MATURITY: 50' H X 8' W
	PO	PINUS NIGRA 'OREGON GREEN' / OREGON GREEN PINE	6' HT.	B&B	CONIFEROUS; MATURITY: 18' H X 12' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	QM	QUERCUS MACROCARPA / BURR OAK	2" CAL.	B&B	CLASS III; MATURITY: 50' H X 40' W
SHRUBS					
	AL	ARONIA MELANOCARPA 'CONNAM165' TM / LOW SCAPE MOUND BLACK CHOKEBERRY	3 GAL.		MATURITY: 1.5' H X 3.5' W
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL.		MATURITY: 2.5' H X 2.5' W
	CA	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.		MATURITY: 5' H X 5' W
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.		MATURITY: 4' H X 3' W
	CS	CORNUS ALBA 'SIBIRICA' / REDBARK DOGWOOD	5 GAL.		MATURITY: 9' H X 5' W
	EU	EUONYMUS JAPONICUS 'GREENSPIRE' / GREENSPIRE UPRIGHT EUONYMUS	2 GAL.		MATURITY: 6' H X 3' W
	HX	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL.		MATURITY: 2' H X 2' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.		MATURITY: 15H X 3' W
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE	2 GAL.		MATURITY: 2' H 6' W
	PM	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	2 GAL.		MATURITY: 3' H X 3' W
	PS2	PHYSOCARPUS OPULEFOLIUS 'SEWARD' / SUMMER WINE® NINEBARK	5 GAL.		MATURITY: 5H X 5W
	RT	RHUS TYPHINA 'BAILTIGER' / TIGER EYE STAGHORN SUMAC	5 GAL.		MATURITY: 6W X 6H



Project No.: 121064
Date of Issuance: 05/05/2024
Project Milestone: Amended Preliminary Plat

Landscape Plan Area A

DATE PLOTTED: 05/05/2024 10:58:11 AM. PLOT FILE: I:\Projects\2024\121064\121064_Prelim\121064_Prelim.dwg. PLOTTER: HP DesignJet T1100. PLOT SCALE: 1"=20'. PLOT SHEET: L1.01



Addington Townhomes Sub. - Amended Preliminary Plat
STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO

Revisions

1.

Landscape Plan Notes:

- A. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- B. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- C. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
- D. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR.
- E. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- F. ALL NON-TURF PLANTERS SHALL RECEIVE 4" LAYER OF DECORATIVE MULCH.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. PLANT QUANTITIES IDENTIFIED ON THE PLAN AREA APPROXIMATE. CONTRACTOR SHALL VERIFY.

Preliminary Plat Landscape Notes:

- 1. NO SLOPES GREATER THAN 20% SLOPE EXIST OR ARE PROPOSED ON THIS SITE.
- 2. REFER TO PLAN SHEETS FOR SIGHT TRIANGLES PER STAR ORDINANCE.
- 3. FENCING BY OWNER, BUILDER, OR DEVELOPER.
- 4. ANY TREES PLANTED WITHIN A PARKWAY STRIP SHALL BE CENTERED IN PARKWAY STRIP.
- 5. NO TREES EXIST ON SITE THAT REQUIRE MITIGATION PER STAR ORDINANCE.

Street Tree Notes:

- 1. TREES SHALL NOT BE PLANTED WITHIN A MINIMUM 5' OF ANY SSWD WATER SERVICE.
- 2. ANY TREES PLANTED WITHIN A CLEAR VISION TRIANGLE SHALL BE PRUNED TO A MINIMUM OF EIGHT FEET (8') ABOVE THE GROUND OR SIDEWALK SURFACE AND 14 FEET (14') ABOVE ADJACENT STREET SURFACE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUND COVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE THREE FEET (3') FROM THE LOWEST ADJACENT STREET.
- 3. ROOTBARRIERS SHALL BE INSTALLED AT CURBS AND SIDEWALKS AT STREET TREES WHERE THE PARKWAY STRIP IS LESS THAN 8' WIDE.

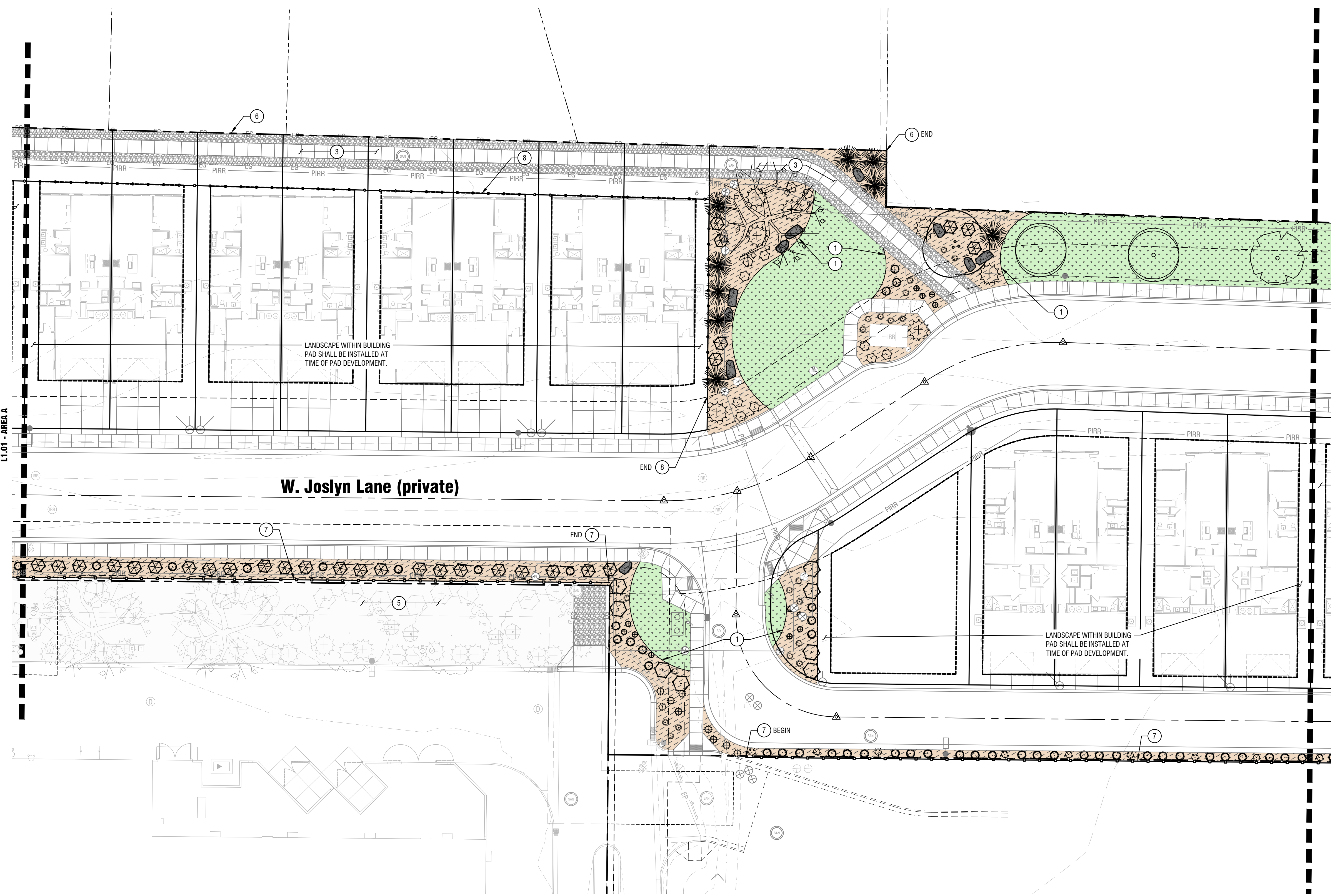
Material Legend:

	TURF SOD		4"-DEPTH BLACK & TAN ROCK MULCH.
	CONCEPTUAL LANDSCAPE BERM, 1' CONTOURS.		LARGE LANDSCAPE BOULDERS, 4-6' DIA. TYP PER DETAIL 4/L1.50.

Keynotes:

- 1. PLANTER CUT EDGE PER DETAIL 1/L1.50.
- 2. CLEAR VISION TRIANGLE. ALL IMPROVEMENTS WITH VISION TRIANGLE SHALL CONFORM TO CITY CODE.
 - 2.1. 40-FT X 40-FT STREET INTERSECTION TRIANGLE
 - 2.2. 20-FT X 10-FT STREET TO DRIVEWAY TRIANGLE
- 3. MAINTENANCE ROAD FOR GRAVITY IRRIGATION OR PUBLIC UTILITY. REFER TO UTILITY PLAN OR MORE INFORMATION.
- 4. 8' X 8' SHADE STRUCTURE AT PLAZA WITH TABLE.
- 5. LANDSCAPE IMPROVEMENTS PREVIOUSLY INSTALLED BY ADJACENT DEVELOPMENT. RETAIN & PROTECT.
- 6. SCREEN EXTENSION FENCE ON PROJECT SIDE OF EXISTING FENCE. SEE DETAIL 6/L1.50.
- 7. 9-FT TALL SCREEN FENCE PER DETAIL 6/L1.50.
- 8. 4-FT TALL WROUGHT IRON FENCE TO BE INSTALLED WITH HOUSE CONSTRUCTION.

CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.



Landscape Plan - Area B
Horizontal Scale: 1" = 20'



SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
TREES					
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	CLASS II; MATURITY: 35' H X 25' W
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM / PRAIRIE SPIRE ASH	2" CAL.	B&B	CLASS II; MATURITY: 40' H X 20' W
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE	2" CAL.	B&B	CLASS III; MATURITY: 55' H X 25' W
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	2" CAL.	B&B	CLASS II; MATURITY: 50' H X 8' W
	PO	PINUS NIGRA 'OREGON GREEN' / OREGON GREEN PINE	6' HT.	B&B	CONIFEROUS; MATURITY: 18' H X 12' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	QM	QUERCUS MACROCARPA / BURR OAK	2" CAL.	B&B	CLASS III; MATURITY: 50' H X 40' W
SHRUBS					
	AL	ARONIA MELANOCARPA 'UCONNAM165' TM / LOW SCAPE MOUND BLACK CHOCHEBERRY	3 GAL.		MATURITY: 1.5' H X 3.5' W
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL.		MATURITY: 2.5' H X 2.5' W
	CA	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.		MATURITY: 5' H X 5' W
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.		MATURITY: 4' H X 3' W
	CS	CORNUS ALBA 'SIBIRICA' / REDBARK DOGWOOD	5 GAL.		MATURITY: 9' H X 5' W
	EU	EUONYMUS JAPONICUS 'GREENSPIRE' / GREENSPIRE UPRIGHT EUONYMUS	2 GAL.		MATURITY: 6' H X 3' W
	HX	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL.		MATURITY: 2' H X 2' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.		MATURITY: 15H X 3'W
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE	2 GAL.		MATURITY: 2' H 6' W
	PM	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	2 GAL.		MATURITY: 3' H X 3' W
	PS2	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMER WINE® NINEBARK	5 GAL.		MATURITY: 5H X 5W
	RT	RHUS TYPHINA 'BAILTIGER' / TIGER EYE STAGHORN SUMAC	5 GAL.		MATURITY: 6'W X 6'H

DATE PLOTTED: 05/05/2024 10:58:11 AM
DRAWN BY: J. B. LEE
CHECKED BY: J. B. LEE
DATE: 05/05/2024



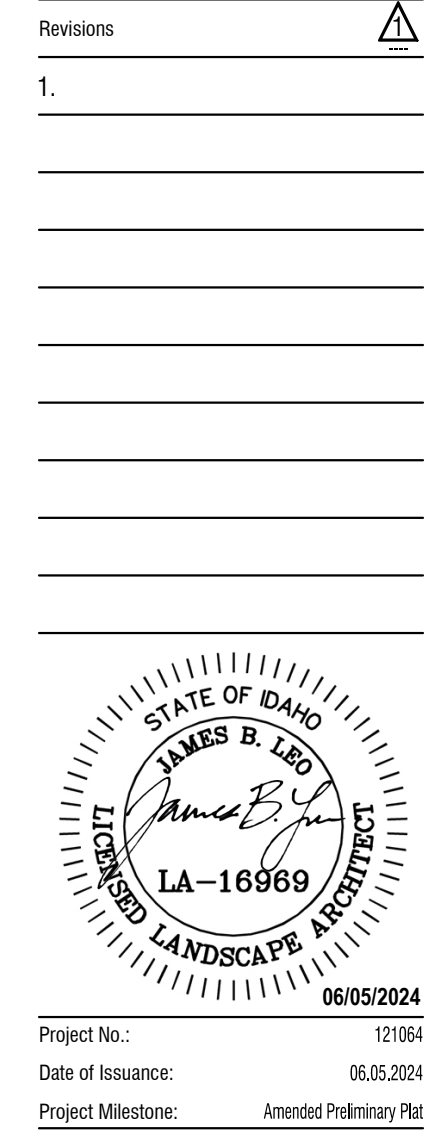
Project No.: 121054
Date of Issuance: 05.05.2024
Project Milestone: Amended Preliminary Plat

Landscape Plan Area B



Addington Townhomes Sub. - Amended Preliminary Plat
STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO



Project No.: 121054
Date of Issuance: 05.05.2024
Project Milestone: Amended Preliminary Plat

Landscape Plan Area C

L1.03

Landscape Plan Notes:

- A. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- B. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- C. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
- D. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR.
- E. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- F. ALL NON-TURF PLANTERS SHALL RECEIVE 4" LAYER OF DECORATIVE MULCH.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. PLANT QUANTITIES IDENTIFIED ON THE PLAN AREA APPROXIMATE. CONTRACTOR SHALL VERIFY.





Preliminary Plat Landscape Notes:

1. NO SLOPES GREATER THAN 20% SLOPE EXIST OR ARE PROPOSED ON THIS SITE.
2. REFER TO PLAN SHEETS FOR SIGHT TRIANGLES PER STAR ORDINANCE.
3. FENCING BY OWNER, BUILDER, OR DEVELOPER.
4. ANY TREES PLANTED WITHIN A PARKWAY STRIP SHALL BE CENTERED IN PARKWAY STRIP.
5. NO TREES EXIST ON SITE THAT REQUIRE MITIGATION PER STAR ORDINANCE.

Street Tree Notes:

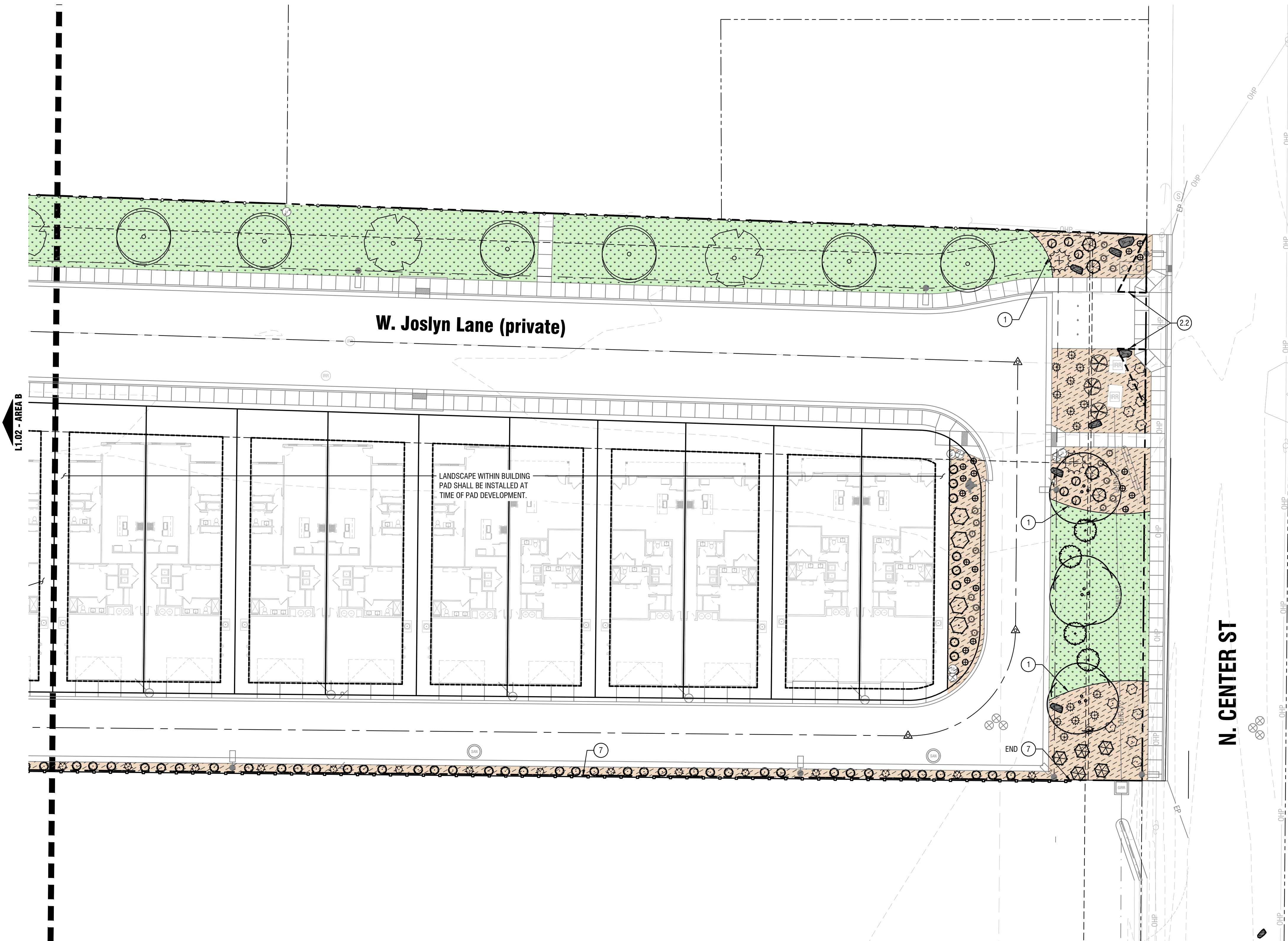
1. TREES SHALL NOT BE PLANTED WITHIN A MINIMUM 5' OF ANY SSWD WATER SERVICE.
2. ANY TREES PLANTED WITHIN A CLEAR VISION TRIANGLE SHALL BE PRUNED TO A MINIMUM OF EIGHT FEET (8') ABOVE THE GROUND OR SIDEWALK SURFACE AND 14 FEET (14') ABOVE ADJACENT STREET SURFACE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUNDCOVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE THREE FEET (3') FROM THE LOWEST ADJACENT STREET.
3. ROOTBARRIERS SHALL BE INSTALLED AT CURBS AND SIDEWALKS AT STREET TREES WHERE THE PARKWAY STRIP IS LESS THAN 8' WIDE.

Material Legend:

 TURF SOD	 4"-DEPTH BLACK & TAN ROCK MULCH.
 CONCEPTUAL LANDSCAPE BERM, 1' CONTOURS.	 LARGE LANDSCAPE BOULDERS, 4'-6" DIA. TYP PER DETAIL 4/L1.50.

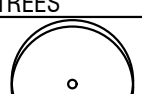




Keynotes:


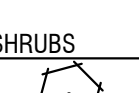
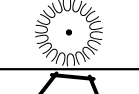
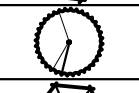
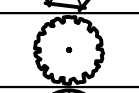
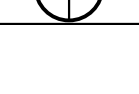

1. PLANTER CUT EDGE PER DETAIL 1/L1.50.
2. CLEAR VISION TRIANGLE. ALL IMPROVEMENTS WITH VISION TRIANGLE SHALL CONFORM TO CITY CODE.
 - 2.1. 40-FT X 40-FT STREET INTERSECTION TRIANGLE
 - 2.2. 20-FT X 10-FT STREET TO DRIVEWAY TRIANGLE
3. MAINTENANCE ROAD FOR GRAVITY IRRIGATION OR PUBLIC UTILITY. REFER TO UTILITY PLAN OR MORE INFORMATION.
4. 8' X 8' SHADE STRUCTURE AT PLAZA WITH TABLE.
5. LANDSCAPE IMPROVEMENTS PREVIOUSLY INSTALLED BY ADJACENT DEVELOPMENT. RETAIN & PROTECT.
6. SCREEN EXTENSION FENCE ON PROJECT SIDE OF EXISTING FENCE. SEE DETAIL 6/L1.50.
7. 9-FT TALL SCREEN FENCE PER DETAIL 6/L1.50.
8. 4-FT TALL WROUGHT IRON FENCE TO BE INSTALLED WITH HOUSE CONSTRUCTION.

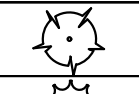
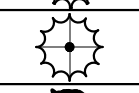





Landscape Plan - Area C

Horizontal Scale: 1" = 20'

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
TREES					
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	CLASS II; MATURITY: 35' H X 25' W
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM / PRAIRIE SPIRE ASH	2" CAL.	B&B	CLASS II; MATURITY: 40' H X 20' W
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE	2" CAL.	B&B	CLASS III; MATURITY: 55' H X 25' W
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	2" CAL.	B&B	CLASS II; MATURITY: 50' H X 8' W
	PO	PINUS NIGRA 'OREGON GREEN' / OREGON GREEN PINE	6' HT.	B&B	CONIFEROUS; MATURITY: 18' H X 12' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	QM	QUERCUS MACROCARPA / BURR OAK	2" CAL.	B&B	CLASS III; MATURITY: 50' H X 40' W
SHRUBS					
	AL	ARONIA MELANOCARPA 'UCONNAM165' TM / LOW SCAPE MOUND BLACK CHOKEBERRY	3 GAL.		MATURITY: 1.5' H X 3.5' W
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL.		MATURITY: 2.5' H X 2.5' W
	CA	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.		MATURITY: 5' H X 5' W
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.		MATURITY: 4' H X 3' W
	CS	CORNUS ALBA 'SIBIRICA' / REDBARK DOGWOOD	5 GAL.		MATURITY: 9' H X 5' W
	EU	EUONYMUS JAPONICUS 'GREENSPIRE' / GREENSPIRE UPRIGHT EUONYMUS	2 GAL.		MATURITY: 6' H X 3' W
	HX	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL.		MATURITY: 2' H X 2' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.		MATURITY: 15H X 3'W
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE	2 GAL.		MATURITY: 2' H 6' W
	PM	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	2 GAL.		MATURITY: 3' H X 3' W
	PS2	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMER WINE® NINEBARK	5 GAL.		MATURITY: 5H X 5W
	RT	RHUS TYPHINA 'BAILTIGER' / TIGER EYE STAGHORN SUMAC	5 GAL.		MATURITY: 6'W X 6'H

L1.03 (REVISED) 05/05/2024
 DATE PLOTTED: 05/05/2024 10:58:11 AM
 DATE PRINTED: 05/05/2024 10:58:11 AM

ORDINANCE NO. 411-2024
(JOPLIN RIM SUBDIVISION ANNEXATION)

AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED ON THE SOUTHEAST CORNER OF W. JOPLIN ROAD AND N. CAN ADA ROAD, IN STAR, IDAHO (ADA COUNTY PARCELS S0419233700 & S0419325561) AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED BY JOHN BOTTLES; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS RESIDENTIAL WITH A DEVELOPMENT AGREEMENT (R-4-DA) OF APPROXIMATELY 13.53 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Star, Ada and Canyon County, Idaho (“the City”), is a municipal corporation organized and operating under the laws of the State of Idaho and is authorized to annex and to incorporate within the boundaries of the City contiguous real property in the manner provided by Section 50-222, Idaho Code; and

WHEREAS, pursuant to Section 67-6524, Idaho Code, the City of Star has adopted the Unified Development Code Ordinance, the same being Ordinance No. 404-2024, adopted on June 18, 2022 and subsequently amended; and

WHEREAS, the owner(s) of the real property situated in the unincorporated areas of Ada County and particularly described in Section 2 of this Ordinance have requested, in writing, annexation of said real property to the City of Star; and

WHEREAS, the Mayor and Council, held a public hearing on August 20, 2024 on the proposed annexation and zoning of the property described in Section 2 below, as required by Section 67-6525, Idaho Code, and determined that the requested annexation should be granted and that the annexed property should be zoned Residential with a Development Agreement (R-4-DA) pursuant to the Unified Development Code of the City of Star.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF STAR, IDAHO, as follows:

Section 1: The Mayor and Council of the City of Star, Idaho, hereby find and declare that the real property described in Section 2 of this Ordinance is contiguous to the City, that said property can be reasonably assumed to be used for orderly development of the City, that the owner(s) of said property have requested, in writing, annexation of said property by the City, and that the requirements of Section 50-222, Idaho Code, for annexation of said property, have been satisfied.

Section 2: The real property, described in the attached “Exhibit A”, including adjacent right of way, situated in Ada County, Idaho, is hereby annexed into the City of Star. From and after the effective date of this Ordinance, the residents and other occupants and property owners

within such area shall enjoy all the rights and responsibilities and shall be subject to all ordinances, resolutions, police regulations, taxation and other powers of the City of Star as their fellow residents, occupants, and owners within the City of Star.

Section 3: The zoning land use classification of the land described in Section 2 above, is hereby established as Residential with a Development Agreement (R-4-DA), as provided by the Unified Development Code of the City of Star. The Zoning Map of the City is hereby amended to include the real property described in Section 2 above in the Residential with a Development Agreement (R-4-DA) land use classification.

Section 4: The City Clerk is hereby directed to file, within ten (10) days of passage and approval of this Ordinance, a certified copy of this Ordinance with the offices of the Auditor, Treasurer, and Assessor of Ada County, Idaho, and with the State Tax Commission, Boise, Idaho, as required by Section 50-223, Idaho Code, and to comply with the provisions of Section 63-215, Idaho Code, with regard to the preparation and filing of a map and legal description of the real property annexed by this Ordinance.

Section 5: This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law. In lieu of publication of the entire Ordinance, a summary thereof in compliance with Section 50-901A, Idaho Code maybe be published.

DATED this ____ day of _____, 2024.

CITY OF STAR
Ada and Canyon County, Idaho

BY: _____
Trevor A. Chadwick, Mayor

ATTEST:

Jacob M. Qualls, City Clerk



March 1, 2024
Job Number: ID-8727-23
Page 1 of 2

PROPERTY DESCRIPTION BOTTLES JOPLIN SUBDIVISION

A PIECE OF LAND LYING IN GOVERNMENT LOTS 2 AND 3, SECTION 19, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO, SAID PARCEL IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

POINT OF BEGINNING BEING AN ALUMINUM CAP MARKING THE WEST 1/4 CORNER OF SAID SECTION 19; BEING N.89°17'17"W., 2521.15 FEET DISTANT FROM THE CENTER 1/4 CORNER; SAID POINT OF BEGINNING ALSO BEING THE POINT OF BEGINNING OF PARCEL C AS SHOWN ON RECORD OF SURVEY NUMBER 12543, RECORDS OF ADA COUNTY.

- 1) Thence S.89°19'01"E., 19.81 FEET TO A POINT;
- 2) THENCE N.00°54'29"E., 123.58 FEET TO A POINT;
- 3) THENCE N.85°58'11"E., 187.13 FEET TO A POINT
- 4) THENCE N.72°27'55"E., 427.04 FEET TO A POINT MORE OR LESS ON THE EXISTING CENTERLINE OF JOPLIN ROAD;
- 5) THENCE ALONG THE EXISTING CENTERLINE OF SAID JOPLIN ROAD FOR THE NEXT 9 CALLS:
- 6) THENCE S.86°25'57"E., 11.89 FEET TO A POINT;
- 7) THENCE S.74°52'47"E., 28.68 FEET TO A POINT;
- 8) THENCE S.67°31'21"E., 30.56 FEET TO A POINT;
- 9) THENCE S.59°20'29"E., 28.01 FEET TO A POINT;
- 10) THENCE S.56°07'33"E., 22.11 FEET TO A POINT;



- 11) THENCE S.54°29'42"E., 25.24 FEET TO A POINT;
- 12) THENCE S.51°43'50"E., 65.38 FEET TO A POINT;
- 13) THENCE S50°53'16"E., 18.61 FEET TO A POINT;
- 14) THENCE S.51°14'04"E., 103.83 FEET TO A POINT, LEAVING THE EXISTING CENTERLINE OF SAID JOPLIN ROAD;
- 15) THENCE S.00°51'30"W., 30.70 FEET, TO A POINT LYING ON THE EXISTING SOUTHERLY EDGE OF SAID JOPLIN ROAD, AND FOLLOW THE EXISTING SOUTHERLY EDGE OF JOPLIN ROAD FOR THE NEXT 4 CALLS;
- 16) THENCE S.52°19'29"E., 34.32 FEET TO A POINT;
- 17) THENCE S.54°17'55"E., 27.28 FEET TO A POINT;
- 18) THENCE S.58°43'32"E., 30.79 FEET TO A POINT;
- 19) THENCE S.66°35'42"E. 10.57 FEET TO A POINT;
- 20) THENCE S.00°38'22"W. 11.09 FEET TO A POINT ON THE LATITUDINAL CENTERLINE OF SAID SECTION 19;
- 21) THENCE S.89°17'17"E., ALONG SAID LATITUDINAL CENTERLINE, 234.10 FEET TO A POINT MARKING THE CENTER WEST 1/16TH CORNER OF SAID SECTION 19;
- 22) THENCE S.01°15'14"W., ALONG THE WEST 1/16TH LINE OF SAID SECTION 19, 349.68 FEET TO A POINT MARKING THE SOUTH EAST CORNER OF PARCEL C AS SHOWN ON RECORD OF SURVEY NUMBER 12543;
- 23) THENCE N.89°10'08"W., ALONG THE SOUTHERLY LINE OF THE AFOREMENTIONED PARCEL C, 1210.77 FEET, TO A POINT ON THE WESTERLY BOUNDARY LINE OF SAID SECTION 19;
- 24) THENCE ON SAID WESTERLY BOUNDARY LINE N.01°02'26"E., 347.14 FEET, TO **THE POINT OF BEGINNING.**

SAID PARCEL CONTAINS 13.53 ACRES, MORE OR LESS.

March 1, 2024
Job Number: ID-8727-23
Page 1 of 2

PROPERTY DESCRIPTION
BOTTLES JOPLIN SUBDIVISION

A PIECE OF LAND LYING IN GOVERNMENT LOTS 2 AND 3, SECTION 19, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO, SAID PARCEL IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

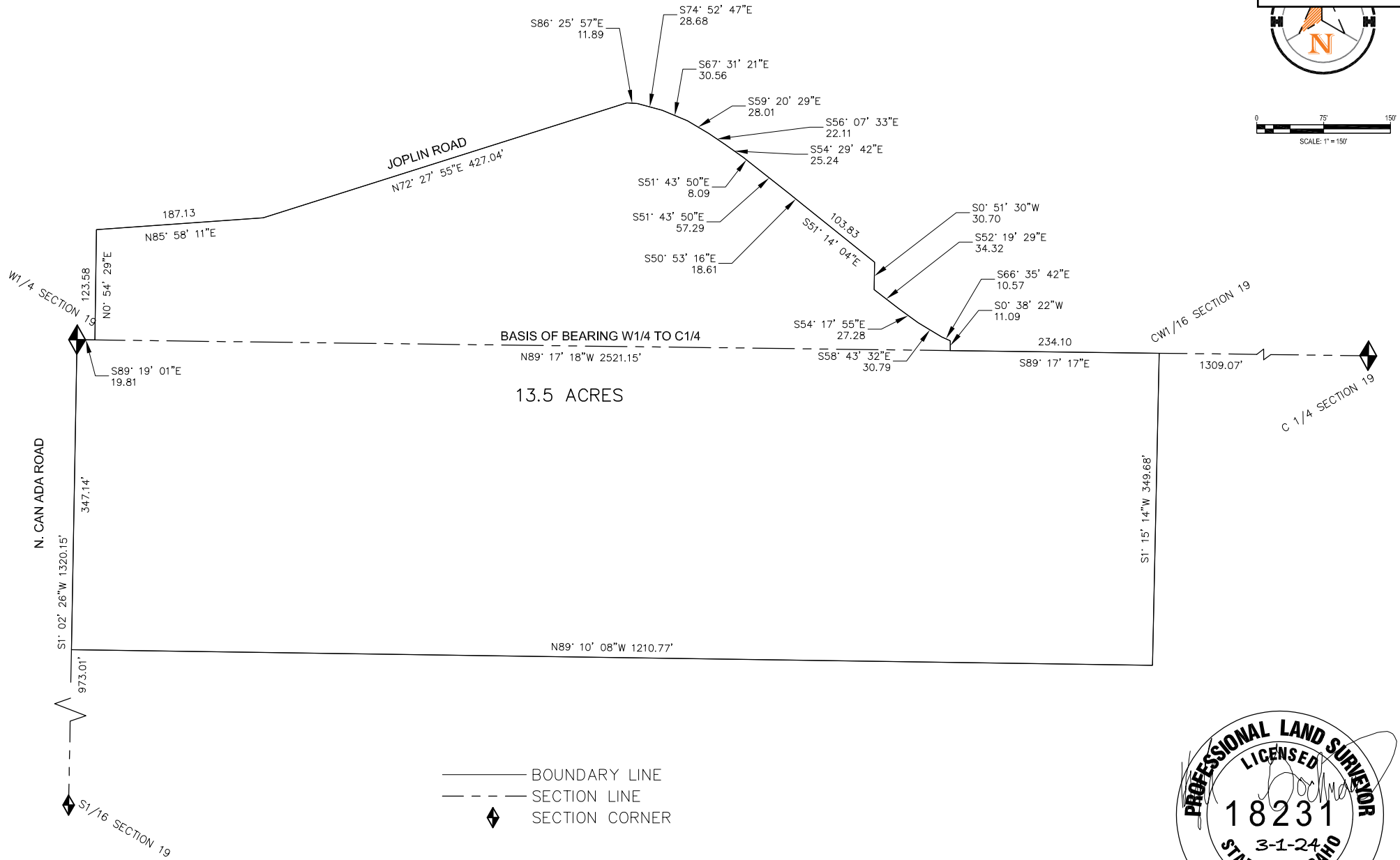
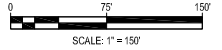
POINT OF BEGINNING BEING AN ALUMINUM CAP MARKING THE WEST 1/4 CORNER OF SAID SECTION 19; BEING N.89°17'17"W., 2521.15 FEET DISTANT FROM THE CENTER 1/4 CORNER; SAID POINT OF BEGINNING ALSO BEING THE POINT OF BEGINNING OF PARCEL C AS SHOWN ON RECORD OF SURVEY NUMBER 12543, RECORDS OF ADA COUNTY.

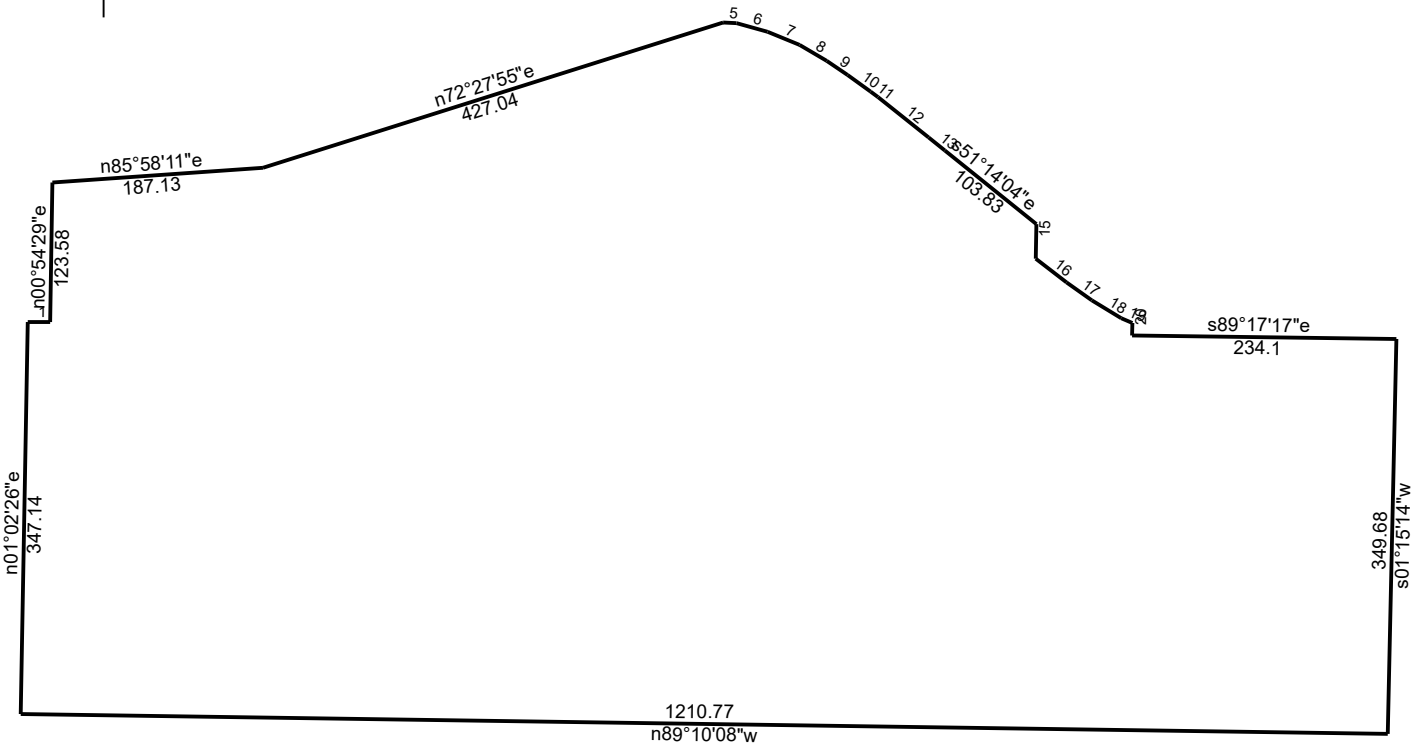
- 1) Thence S.89°19'01"E., 19.81 FEET TO A POINT;
- 2) THENCE N.00°54'29"E., 123.58 FEET TO A POINT;
- 3) THENCE N.85°58'11"E., 187.13 FEET TO A POINT
- 4) THENCE N.72°27'55"E., 427.04 FEET TO A POINT MORE OR LESS ON THE EXISTING CENTERLINE OF JOPLIN ROAD;
- 5) THENCE ALONG THE EXISTING CENTERLINE OF SAID JOPLIN ROAD FOR THE NEXT 10 CALLS:
- 6) THENCE S.86°25'57"E., 11.89 FEET TO A POINT;
- 7) THENCE S.74°52'47"E., 28.68 FEET TO A POINT;
- 8) THENCE S.67°31'21"E., 30.56 FEET TO A POINT;
- 9) THENCE S.59°20'29"E., 28.01 FEET TO A POINT;
- 10) THENCE S.56°07'33"E., 22.11 FEET TO A POINT;

- 11) THENCE S.54°29'42"E., 25.24 FEET TO A POINT;
- 12) THENCE S.51°43'50"E., 8.09 FEET TO A POINT;
- 13) THENCE S.51°43'50"E., 57.29 FEET TO A POINT;
- 14) THENCE S50°53'16"E., 18.61 FEET TO A POINT;
- 15) THENCE S.51°14'04"E., 103.83 FEET TO A POINT, LEAVING THE EXISTING CENTERLINE OF SAID JOPLIN ROAD;
- 16) THENCE S.00°51'30"W., 30.70 FEET, TO A POINT LYING ON THE EXISTING SOUTHERLY EDGE OF SAID JOPLIN ROAD, AND FOLLOW THE EXISTING SOUTHERLY EDGE OF JOPLIN ROAD FOR THE NEXT 4 CALLS;
- 17) THENCE S.52°19'29"E., 34.32 FEET TO A POINT;
- 18) THENCE S.54°17'55"E., 27.28 FEET TO A POINT;
- 19) THENCE S.58°43'32"E., 30.79 FEET TO A POINT;
- 20) THENCE S.66°35'42"E. 10.57 FEET TO A POINT;
- 21) THENCE S.00°38'22"W. 11.09 FEET TO A POINT ON THE LATITUDINAL CENTERLINE OF SAID SECTION 19;
- 22) THENCE S.89°17'17"E., ALONG SAID LATITUDINAL CENTERLINE, 234.10 FEET TO A POINT MARKING THE CENTER WEST 1/16TH CORNER OF SAID SECTION 19;
- 23) THENCE S.01°15'14"W., ALONG THE WEST 1/16TH LINE OF SAID SECTION 19, 349.68 FEET TO A POINT MARKING THE SOUTH EAST CORNER OF PARCEL C AS SHOWN ON RECORD OF SURVEY NUMBER 12543;
- 24) THENCE N.89°10'08"W., ALONG THE SOUTHERLY LINE OF THE AFOREMENTIONED PARCEL C, 1210.77 FEET, TO A POINT ON THE WESTERLY BOUNDARY LINE OF SAID SECTION 19;
- 25) THENCE ON SAID WESTERLY BOUNDARY LINE N.01°02'26"E., 347.14 FEET, TO **THE POINT OF BEGINNING.**



SAID PARCEL CONTAINS 13.53 ACRES, MORE OR LESS.





2/20/2024

Scale: 1 inch= 170 feet

File: BOTTLES JOPLIN SUBDIVISION CLOSURE 2-29-2024.ndp

Tract 1: 13.5275 Acres, Closure: s80.1751e 0.01 ft. (1/411329), Perimeter=3378 ft.

01 s89.1901e 19.81	15 s00.5130w 30.7
02 n00.5429e 123.58	16 s52.1929e 34.32
03 n85.5811e 187.13	17 s54.1755e 27.28
04 n72.2755e 427.04	18 s58.4332e 30.79
05 s86.2557e 11.89	19 s66.3542e 10.57
06 s74.5247e 28.68	20 s00.3822w 11.09
07 s67.3121e 30.56	21 s89.1717e 234.1
08 s59.2029e 28.01	22 s01.1514w 349.68
09 s56.0733e 22.11	23 n89.1008w 1210.77
10 s54.2942e 25.24	24 n01.0226e 347.14
11 s51.4350e 8.09	
12 s51.4350e 57.29	
13 s50.5316e 18.61	
14 s51.1404e 103.83	

March 1, 2024

SUBJECT: ID-8727-23 JOPLIN BOUNDARY CLOSURE

North: 734403.1211' East: 2422914.4323'

Segment #1 : Line

Course: N1° 02' 26"E Length: 347.14'

North: 734750.2039' East: 2422920.7364'

Segment #2 : Line

Course: S89° 19' 01"E Length: 19.81'

North: 734749.9677' East: 2422940.5450'

Segment #3 : Line

Course: N0° 54' 29"E Length: 123.58'

North: 734873.5322' East: 2422942.5035'

Segment #4 : Line

Course: N85° 58' 11"E Length: 187.13'

North: 734886.6844' East: 2423129.1708'

Segment #5 : Line

Course: N72° 27' 55"E Length: 427.04'

North: 735015.3446' East: 2423536.3681'

Segment #6 : Line

Course: S86° 25' 57"E Length: 11.89'

North: 735014.6047' East: 2423548.2351'

Segment #7 : Line

Course: S74° 52' 47"E Length: 28.68'

North: 735007.1237' East: 2423575.9222'

Segment #8 : Line

Course: S67° 31' 21"E Length: 30.56'

North: 734995.4399' East: 2423604.1606'

Segment #9 : Line

Course: S59° 20' 29"E Length: 28.01'

North: 734981.1570' East: 2423628.2553'

Segment #10 : Line

Course: S56° 07' 33"E Length: 22.11'

North: 734968.8336' East: 2423646.6125'

Segment #11 : Line

Course: S54° 29' 42"E Length: 25.24'

North: 734954.1748' East: 2423667.1595'

Segment #12 : Line

Course: S51° 43' 50"E Length: 8.09'

North: 734949.1642' East: 2423673.5110'

Segment #13 : Line

Course: S51° 43' 50"E Length: 57.29'

North: 734913.6811' East: 2423718.4898'

Segment #14 : Line

Course: S50° 53' 16"E Length: 18.61'

North: 734901.9411' East: 2423732.9295'

Segment #15 : Line

Course: S51° 14' 04"E Length: 103.83'

North: 734836.9295' East: 2423813.8872'

Segment #16 : Line

Course: S0° 51' 30"W Length: 30.70'

North: 734806.2329' East: 2423813.4273'

Segment #17 : Line

Course: S52° 19' 29"E Length: 34.32'

North: 734785.2570' East: 2423840.5912'

Segment #18 : Line

Course: S54° 17' 55"E Length: 27.28'

North: 734769.3375' East: 2423862.7444'

Segment #19 : Line

Course: S58° 43' 32"E Length: 30.79'

North: 734753.3532' East: 2423889.0604'

Segment #20 : Line

Course: S66° 35' 42"E Length: 10.57'

North: 734749.1545' East: 2423898.7607'

Segment #21 : Line

Course: S0° 38' 22"W Length: 11.09'

North: 734738.0652' East: 2423898.6369'

Segment #22 : Line

Course: S89° 17' 17"E Length: 234.10'

North: 734735.1564' East: 2424132.7188'

Segment #23 : Line

Course: S1° 15' 14"W Length: 349.68'

North: 734385.5602' East: 2424125.0669'

Segment #24 : Line

Course: N89° 10' 08"W Length: 1210.77'

North: 734403.1225' East: 2422914.4242'

Perimeter: 3378.31' Area: 589256.94 Sq. Ft.**Error Closure: 0.0082 Course: N80° 17' 51"W****Error North: 0.00138 East: -0.00809****Precision 1: 411989.02**

**DEVELOPMENT AGREEMENT
JOPLIN RIM SUBDIVISION ANNEXATION**

This Development Agreement ("Agreement") is entered into by and between the City of Star, a municipal corporation in the State of Idaho, hereinafter referred to as "City", and John Bottles, hereinafter referred to as "Owner".

WHEREAS, Owner own parcels of land of approximately 13.5 acres in size, currently located within Ada County, zoned RUT and more particularly described in **Exhibit A** of Ordinance 411-2024, which is attached hereto and incorporated by reference herein (the "Properties");

WHEREAS, Owner have requested that the Properties be annexed into the City and developed in accordance with the applicable ordinances and regulations of the City and this Agreement;

WHEREAS, the City, pursuant to Section 67-6511A, Idaho Code, and Star City Code Title 8, Chapter 1, has the authority to enter into a development agreement for the purpose of allowing, by agreement, a specific development to proceed in a specific area and for a specific purpose or use which is appropriate in the area, but for which all allowed uses for the requested zoning may not be appropriate;

WHEREAS, the City has authority to enter into development agreements to condition annexations and re-zones;

WHEREAS, Owner desires to be assured that it may proceed with allowing its Property to be rezoned in accordance with this Agreement;

WHEREAS, the parties agree to the zoning designations for various parcels within the Property to be rezoned in accordance with this Agreement;

WHEREAS, Owner filed with the City of Star, a Request for Annexation and Rezone of the Properties and Zoning of R-4-DA, as File No. AZ-24-04/DA-24-04/PP-24-03, so that the City can review all the applications affecting the use and development of the Property in an integrated manner consistent with the City's Comprehensive Plan and land use ordinances;

WHEREAS, the intent of this Agreement is to protect the rights of Owner's use and enjoyment of the Property while at the same time mitigating any adverse impacts of the development upon neighboring properties and the existing community and ensuring the Property is developed in a manner consistent with City Ordinances;

THEREFORE, the City and Owner, for and in consideration of the mutual covenants, duties and obligations herein set forth, hereby agree as follows:

Section 1. Legal Authority. This Agreement is made pursuant to and in accordance with the provisions of Idaho Code Section 67-6511A and Star City Code, Title 8, Chapter 1.

Section 2. Development/Uses/Standards.

2.1 **Development Acreage and Uses Permitted.** As to the Parcels shown on **Exhibit A**, Owner is allowed to develop the 13.5 acres as follows:

- Zoning Classification: The zoning classifications shall be R-4-DA.
- The Owner shall comply with all city ordinances relating to the property except as otherwise provided herein.

2.2 **Site Design.** The Preliminary Plat, as set forth in **Exhibit B**, is hereby approved.

2.3 **Uses.** The development is hereby approved for a maximum of 48 single-family residential lots. Building elevations consistent with the **Exhibit C** shall be constructed within this development. A minimum of three (3) architectural elements shall be provided for all single-family residential structures. A minimum of 5 architectural styles and/or floorplans shall be provided for this development.

2.4 **Additional Requirements/Considerations:**

- **The Preliminary Plat approved by Council dated 8-20-24 is approved for a maximum of 48 residential lots.**
- **The Council approves the requested rear setback waivers as follows for Lot 2 (14'), Lot 3 (5'), Lot 4 (8'), Lot 11 (3.5') & Lot 12 (5'), Block 1 of the approved preliminary plat dated 8-20-24.**
- **Council approves a 27' width for the private street with no sidewalks adjacent to private street.**
- **The Applicant shall provide 8' planter strips along the detached sidewalks and a 10' multi-use pathway on Joplin Road per ACHD standards.**
- **The Applicant shall be responsible for payment of all emergency services mitigation fees and ITD Proportionate Shares.**
- **Building elevations presented by Applicant shall be included as an Exhibit in Development Agreement.**
- **The Applicant shall provide an Exhibit showing compliance with Section 8-3B-3J-2 of the UDC regarding Dwelling Unit Design.**
- **All future building permits for single family dwellings shall be reviewed for compliance with Section 8-3B-3J, including exterior finishes, dwelling unit design and rear elevation design along collector roadways.**
- **All mailbox clusters shall be approved by the postmaster prior to installation. All clusters shall be covered with an architecturally designed cover, to be approved by the Administrator prior to final plat signature. All covers shall be provided with lighting and shall be stained/painted and kept in good condition at all times.**

- **The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above is a direct violation of this Development Agreement and may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.**

2.5 Proportionate Share Agreement for ITD Improvements. Developer has agreed to participate in the costs of construction or improvements to the portions of the State Highway System within the City of Star and/or City of Star Area of City Impact. The Developer will pay the \$48,000.00 (48 lots x \$1,000) traffic mitigation fee determined, as determined by the Idaho Transportation Department as follows: the Developer will pay the City \$1,000.00 per buildable lot within each phase prior to signature on the final plat for the applicable phase. The City will allocate the funds to roadway improvements in the vicinity of the project. The Developer shall pay this amount (unless otherwise revised by ITD) directly to the City of Star. The City will maintain this contribution in a specific Development Contributions account, to be distributed to ITD when requested for use with a specific Idaho Transportation Improvement Plan (ITIP) project within the City of Star Area of City Impact or City Limits in accordance with the terms of the Intergovernmental Agreement between the Idaho Transportation Department and the City of Star dated April 22, 2020.

2.6 Changes and Modifications. No change in the use or restrictions specified in this Agreement shall be allowed or changed without modification of this Agreement pursuant to the requirements of the Star City Ordinances. In the event Owner changes or expands the use permitted by this Agreement or fail to comply with the restrictions without formal modification of this Agreement as allowed by the Star City Ordinances, Owner shall be in default of this Agreement.

2.7 Conditions, Bonding for Completion. All of the conditions set forth herein shall be complied with or shall be bonded for completion by Owner before an Occupancy permit will be granted. Failure to comply with the Star City Ordinances or the terms of this Agreement shall result in a default of this Agreement by Owner. Owner may be allowed to bond for certain conditions at one hundred and fifty percent (150%) of the estimated cost of completion pursuant to Star City Ordinances.

Section 3. Affidavit of Property Owner. Owner shall provide an affidavit agreeing to submit the Property to this Development Agreement and to the provisions set forth in Idaho Code section 67-6511A and Star Zoning Ordinance and such affidavit is incorporated herein by reference.

Section 4. Default. The failure of Owner, its heirs or assigns or subsequent Owner of the Property or any other person acquiring an interest in the Property, to faithfully comply with any of the terms and conditions of this Agreement shall be deemed a default herein. This Agreement may be modified or terminated by the Star City Council as set forth in the Star City Ordinances. In the event this Agreement is modified, Owner shall comply with the amended terms. Failure to comply with the amended terms shall result in default. In the event the City Council, after compliance with the requirements of the Star City Ordinances, determines that this Agreement shall be terminated, the zoning of the Property or portion thereof that has not been developed in accordance with this Agreement shall revert its prior zoning designation. All uses of such property, which are not consistent with the prior zoning designation, shall cease. A waiver by the City of Star for any default by Owner of any one or more of the covenants or conditions hereof shall apply solely to the breach and breaches waived and shall not bar any other rights or remedies of the City or apply to any subsequent breach of any such or other covenants and conditions. Owner, by entering into this Agreement, do hereby consent to a reversion of the subject property to its prior zoning designation in the event there is a default in the terms and/or conditions of this Agreement.

Section 5. Unenforceable Provisions. If any term, provision, commitment or restriction of this Agreement or the application thereof to any party or circumstances shall, to any extent, be held invalid or unenforceable, the remainder of the instrument shall remain in full force and effect.

Section 6. Assignment and Transfer. After its execution, this Agreement shall be recorded in the office of the County Recorder at the expense of the Applicant. Each commitment and restriction on the development subject to this Agreement, shall be a burden on the Property, shall be appurtenant to and for the benefit of the Property and shall run with the land. This Agreement shall be binding on the City and Owner, and their respective heirs, administrators, executors, agents, legal representatives, successors and assigns: provided, however, that if all or any portion of the Property is divided, each owner of a legal lot shall only be responsible for duties and obligations associated with an owner's parcel and shall not be responsible for duties and obligations or defaults as to other parcels of lots within the Property. The new owner of the Property or any portion thereof (including, without limitation, any owner who acquires its interest by foreclosure, trustee's sale or otherwise) shall be liable for all commitments and other obligations arising under this Agreement with respect only to such owner's lot or parcel.

Section 7. General Matters.

7.1 Amendments. Any alteration or change to this Agreement shall be made only after complying with the notice and hearing provisions of Idaho Code Section 67- 6509, as required by Star City Code.

7.2 Paragraph Headings. This Agreement shall be construed according to its fair meaning and as if prepared by both parties hereto. Titles and captions are for convenience only and shall not constitute a portion of this Agreement. As used in this Agreement, masculine, feminine or neutral gender and the singular or plural number shall each be deemed to include the others wherever and whenever the context so dictates.

7.3 Choice of Law. This Agreement shall be construed in accordance with the laws of the State of Idaho in effect at the time of the execution of this Agreement. Any action brought in connection with this Agreement shall be brought in a court of competent jurisdiction located in Ada County, Idaho.

7.4 Notices. Any notice which a party may desire to give to another party must be in writing and may be given by personal delivery, by mailing the same by registered or certified mail, return receipt requested postage prepaid, or by Federal Express or other reputable overnight delivery service, to the party to whom the notice is directed at the address of such party set forth below.

Star: City of Star
Attn: City Clerk
P.O. Box 130
Star, ID 83669

Owner: John Bottles
839 S. Bridgeway Place
Eagle, ID 83616

7.5 Effective Date. This Agreement shall be effective after delivery to each of the parties hereto of a fully executed copy of this Agreement.

7.6 Attorney Fees. Should any litigation be commenced between the parties hereto concerning this Agreement, the prevailing party shall be entitled, in addition to any other relief as may be granted, to court costs and reasonable attorney fees as determined by a court of competent jurisdiction. This provision shall be deemed to be a separate contract between the parties and shall survive any default, termination or forfeiture of this Agreement.

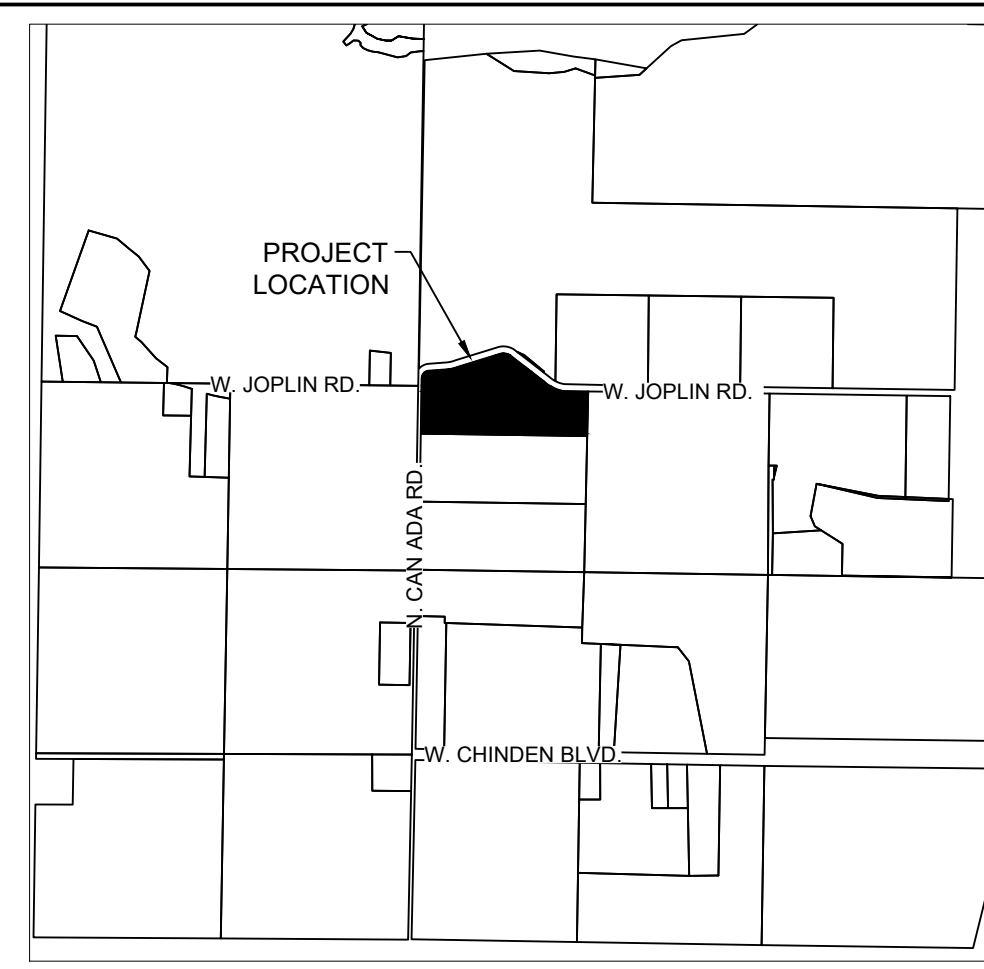
IN WITNESS WHEREOF, the parties have hereunto caused this Agreement to be executed on the day and year set forth below.

Dated this ____ day _____, 2024.

Trevor A. Chadwick, Mayor

ATTEST:

Jacob M. Qualls, City Clerk



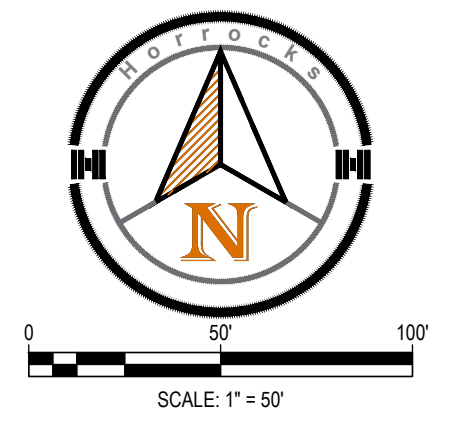
VICINITY MAP (NOT TO SCALE)

PROJECT BENCHMARK
5/8" IRON PIN WITH "JUB" CONTROL CAP
NORTHING 731290.9067
EASTING 2422837.6290
ELEVATION 2496.31'

PRELIMINARY PLAT FOR JOPLIN RIM SUBDIVISION EXHIBIT B

LOCATED IN A PORTION OF GOVERNMENT LOTS 2 & 3 OF SECTION 19, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN CITY OF STAR, ADA COUNTY, IDAHO -2024-

APPROVED BY COUNCIL 8-20-24



LEGEND

	CALCULATED POINT
	PLSS CORNER
	BOUNDARY LINE
	LOT LINE
	STREET CENTERLINE
	SECTION LINE
	ACHD SIDEWALK EASEMENT
	CROSS ACCESS & PUBLIC UTILITY UTILITIES EASEMENT AS NOTED
	PUBLIC UTILITIES EASEMENT
	CROSS ACCESS EASEMENT
	PUBLIC RIGHT-OF-WAY

P.U.E. PUBLIC UTILITIES EASEMENT
C.A.E. CROSS ACCESS EASEMENT
ROW PUBLIC RIGHT-OF-WAY

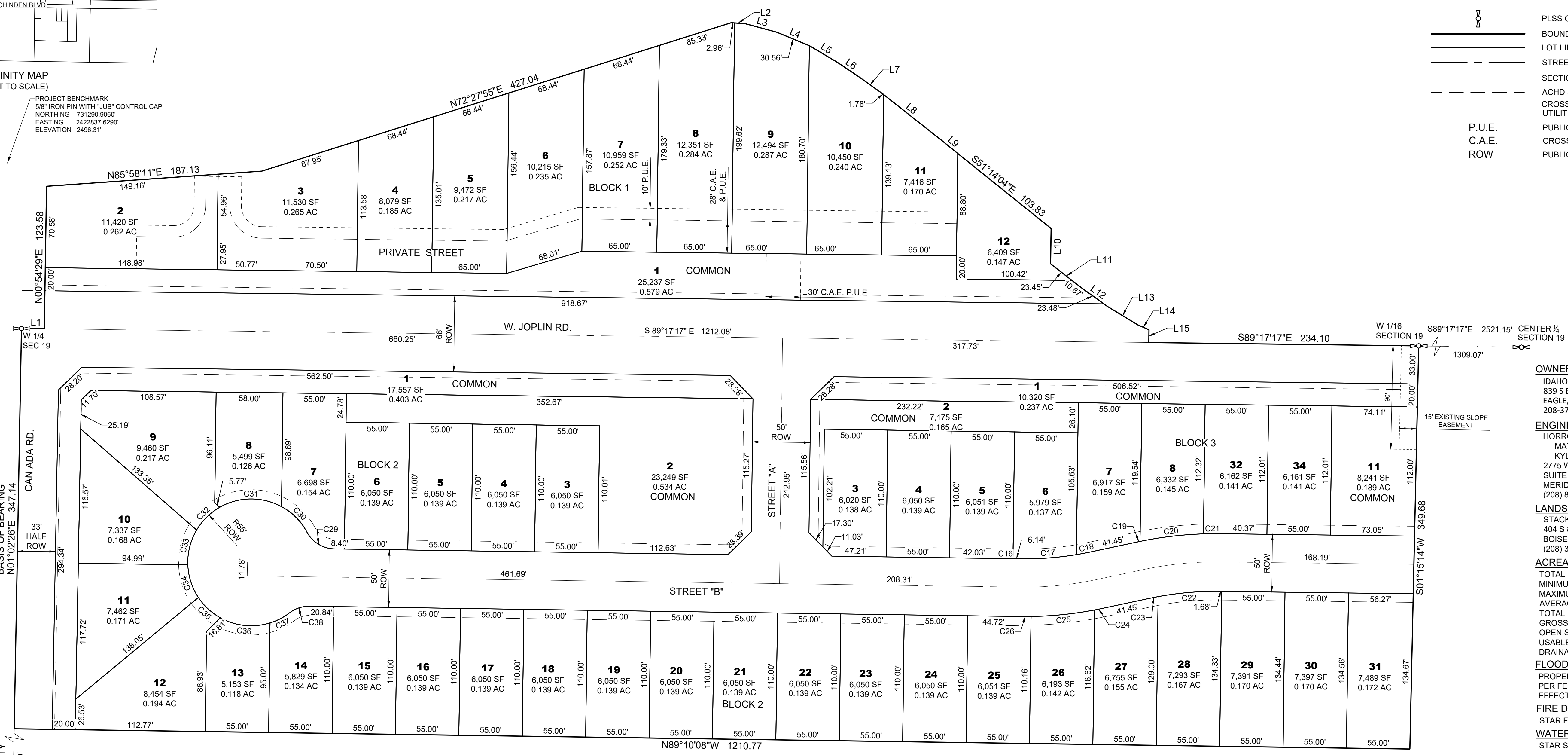
HORROCKS ENGINEERS
2775 West Navigator Dr., Suite 210
Meridian, ID 83642
(208) 895-2520
www.horrock.com

WARNING

IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	REV #	DATE
	1	07/24/24

DRAWING INFO	DATE	DESIGNED	MDK	DRAWN	MDK	CHECKED	MSKG	PROJECT	ID-8727-23
	03/14/24								



OWNERS/DEVELOPERS:
IDAHO HOLDINGS, LLC
839 S BRIDGEWAY PLACE
EAGLE, ID 83616
208-377-5700

ENGINEER/PLANNER
HORROCKS ENGINEERS
MATHEW GRAHAM, P.E.
KYLE GOCHNOUR, PLS
2775 W NAVIGATOR DR.,
SUITE 210
MERIDIAN, ID 83642
(208) 895-2520

LANDSCAPE ARCHITECT
STACK ROCK GROUP
404 S 8TH ST., SUITE 300A1
BOISE, ID 83702
(208) 345-0500

ACREAGE SUMMARY
TOTAL = 13.53 ACRES
MINIMUM LOT SIZE: 5153 SF
MAXIMUM LOT SIZE: 12494 SF
AVERAGE RESIDENTIAL LOT SIZE: 7855 SF
TOTAL BUILDABLE LOTS: 48
GROSS DENSITY 3.54 LOT/AC
OPEN SPACE AREA: 2.11 AC/15%
USABLE OPEN SPACE AREA: 1.91 AC/14%
DRAINAGE AREA: 0.21 AC

FLOOD PLAIN
PROPERTY IS ZONED X
PER FEMA FLOOD PANEL 16001C0120J
EFFECTIVE DATE: JUNE 19, 2020

FIRE DISTRICT
STAR FIRE DISTRICT

WATER PROVIDER
STAR SEWER & WATER DISTRICT

SEWER PROVIDER
STAR SEWER & WATER DISTRICT

STORM WATER RETENTION
ALL STORM WATER TO BE RETAINED IN SURFACE OR SUB-SURFACE RETENTION BASINS

IRRIGATION DISTRICT
PIONEER IRRIGATION DISTRICT

ROADWAY JURISDICTION
CANYON HIGHWAY DISTRICT NO. 4
ADA COUNTY HIGHWAY DISTRICT

ZONING
AG WITH REZONE TO R3

SHEET INDEX

PP1.0	OVERALL SITE AND SURVEY DATA AND LOT DIMENSIONS
PP2.0	NATURAL FEATURES & UTILITIES
PP3.0	TYPICAL STREET CROSS SECTIONS
PP4.0	PRELIMINARY GRADING AND DRAINAGE PLAN

BASIS OF BEARING
N01°02'26"E ALONG THE WEST LINE FROM THE SOUTH 1/16 CORNER TO THE WEST QUARTER CORNER OF SECTION 19.

PROJECT BENCHMARK
A 5/8" IRON PIN WITH "JUB" CONTROL CAP IN THE NORTH WEST CORNER OF PROJECT.
NORTHING 731290.9067
EASTING 2422837.6290
ELEVATION 2496.31'

- NOTES**
- ALL BUILDING SETBACK DISTANCES AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE DEVELOPMENT AGREEMENT WITH THE CITY OF STAR, INSTRUMENT NO. _____.
 - COMMON LOTS, AS SHOWN, WILL BE USED FOR OPEN SPACE, WALKING PATHS, AND STORM WATER FACILITIES TO BENEFIT RESIDENTS OF THE COMMUNITY AND GUESTS. ALL COMMON LOTS ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - PRESSURE IRRIGATION WILL BE SUPPLIED TO EACH LOT AND CONNECTED TO AN OFF SITE PRIVATE PRESSURE IRRIGATION SYSTEM.
 - STORM DRAINAGE WILL BE DESIGNED IN ACCORDANCE WITH ALL CITY OF STAR STORMWATER DESIGN STANDARDS AND REQUIREMENTS.
 - ALL PROPOSED SEWER MAINS WILL CONNECT TO AND DISCHARGE INTO THE STAR SEWER AND WATER DISTRICT.
 - WATER WILL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
 - PUBLIC UTILITY AND IRRIGATION EASEMENTS WILL BE AS FOLLOWS:
 - 10 FOOT WIDE ADJACENT TO THE SUBDIVISION BOUNDARY AND PUBLIC RIGHT-OF-WAY
 - 5 FOOT WIDE ON EACH SIDE OF INTERIOR LOT LINES
 - 5 FOOT WIDE REAR LOT LINES
 - ALL OTHER EASEMENTS ARE AS SHOWN
 - EASEMENTS FOR WATER AND SEWER WILL BE PROVIDED AS REQUIRED BY THE STAR SEWER AND WATER DISTRICT FOR AREAS OUTSIDE THE PUBLIC RIGHT-OF-WAY.
 - NO PORTION OF THE SITE IS LOCATED IN A FEMA DESIGNATED FLOOD PLAIN OR FLOODWAY ZONE.
 - PRIVATE DRAINAGE SYSTEMS AND COMMON SITE IMPROVEMENTS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - ALL PUBLIC ROADS AND RIGHT-OF-WAY WILL BE DEDICATED TO ADA COUNTY HIGHWAY DISTRICT.
 - THE SUBDIVISION FINISHED SURFACE ELEVATION IS PLANNED TO BE INCREASED TO ENSURE MINIMUM COVER FOR FUTURE SEWER MAINS. THE ELEVATION INCREASE VARIES AND IS ANTICIPATED TO BE AN INCREASE BETWEEN APPROXIMATELY 0' AND 4' FEET AS NEEDED. ALL STORMWATER IS PLANNED TO BE RETAINED WITH THE USE OF SURFACE AND SUB-SURFACE INFILTRATION FACILITIES. STORMWATER RUNOFF IS EXPECTED ALONG THE FRONT OF EACH LOT INTO THE STREET BUT HOMEOWNERS WILL BE EXPECTED TO RETAIN AS MUCH STORMWATER AS POSSIBLE IN THE BACK OF EACH LOT. THE PROJECT DESIGN WILL ENSURE JURISDICTIONAL MINIMUM DESIGN REQUIREMENTS ARE MET AND/OR EXCEEDED.

CURVE TABLE

CURVE #	Δ	ARC LENGTH	RADIUS	DIRECTION	DISTANCE
C16	002°42'14"	12.98'	274.95'	S 89°10'09"E	12.97'
C17	010°13'59"	49.12'	275.00'	N 85°42'52"E	49.05'
C18	002°38'31"	12.68'	275.00'	N 79°16'36"E	12.68'
C19	000°23'12"	2.19'	325.00'	N 78°08'57"E	2.19'
C20	009°47'28"	55.54'	325.00'	N 83°14'17"E	55.47'
C21	002°34'45"	14.63'	325.00'	N 89°25'23"E	14.63'
C22	011°10'45"	53.66'	275.00'	S 85°07'24"W	53.57'
C23	001°34'41"	7.57'	275.00'	S 78°44'41"W	7.57'
C24	001°17'28"	7.32'	325.00'	S 78°36'04"W	7.32'
C25	009°46'20"	55.43'	325.00'	S 84°07'58"W	55.36'
C26	001°48'43"	10.28'	325.00'	S 89°55'30"W	10.28'
C27	012°52'31"	67.41'	300.00'	N 84°23'36"E	67.27'
C28	012°45'26"	66.80'	300.00'	N 84°20'03"E	66.66'
C29	060°37'31"	29.63'	28.00'	S 58°51'23"E	28.28'
C30	036°19'49"	31.60'	49.83'	S 44°57'06"E	31.07'
C31	058°20'22"	56.00'	55.00'	N 89°28'15"E	53.61'
C32	029°38'36"	28.46'	55.00'	N 45°28'46"E	28.14'
C33	032°47'15"	31.47'	55.00'	N 14°15'51"E	31.05'
C34	031°28'43"	30.22'	55.00'	N 17°52'09"W	29.84'

CURVE TABLE

CURVE #	Δ	ARC LENGTH	RADIUS	DIRECTION	DISTANCE
C35	027°24'23"	26.31'	55.00'	N 47°18'42"W	26.06'
C36	046°17'46"	44.44'	55.00'	N 84°09'46"W	43.24'
C37	022°03'20"	19.21'	49.90'	S 62°41'39"W	19.09'
C38	038°07'55"	18.63'	28.00'	S 71°45'54"W	18.29'

LINE TABLE

LINE #	DISTANCE	DIRECTION
L1	19.81'	S 89°19'01"E
L2	11.89'	S 86°25'57"E
L3	28.68'	S 74°52'47"E
L4	30.56'	S 67°31'21"E
L5	28.01'	S 59°20'29"E
L6	22.11'	S 56°07'33"E
L7	25.24'	S 54°29'42"E
L8	65.38'	S 51°43'50"E
L9	18.61'	S 50°53'16"E
L10	30.70'	S 00°51'30"W
L11	34.32'	S 52°19'29"E
L12	27.28'	S 54°17'55"E
L13	30.79'	S 58°43'32"E
L14	10.57'	S 66°35'42"E
L15	11.09'	S 00°38'22"W

JOPLIN RIM SUBDIVISION
ADA COUNTY, IDAHO
PRELIMINARY PLAT
OVERALL SITE AND SURVEY DATA AND LOT DIMENSIONS

PP1.0

PAGE 1 OF 4

EXHIBIT C

Section 6, Item B.

Conceptual Home Renderings

- Minimum Lot Size: **5,153 SF**
- Maximum Lot Size: **12,494 SF**



ORDINANCE NO. 412-2024
(UHAUL ANNEXATION)

AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AT 7020 & 7190 W. CHINDEN BLVD (HWY 20/26), IN STAR, IDAHO (ADA COUNTY PARCELS S0420438501, S0420438600, S0420438613, S0420438701) AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED BY AMERCO REAL ESTATE COMPANY; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS GENERAL COMMERCIAL WITH A DEVELOPMENT AGREEMENT (C-2-DA) OF APPROXIMATELY 14.47 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Star, Ada and Canyon County, Idaho (“the City”), is a municipal corporation organized and operating under the laws of the State of Idaho and is authorized to annex and to incorporate within the boundaries of the City contiguous real property in the manner provided by Section 50-222, Idaho Code; and

WHEREAS, pursuant to Section 67-6524, Idaho Code, the City of Star has adopted the Unified Development Code Ordinance, the same being Ordinance No. 404-2024, adopted on June 18, 2022 and subsequently amended; and

WHEREAS, the owner(s) of the real property situated in the unincorporated areas of Ada County and particularly described in Section 2 of this Ordinance have requested, in writing, annexation of said real property to the City of Star; and

WHEREAS, the Mayor and Council, held a public hearing on August 20, 2024 on the proposed annexation and zoning of the property described in Section 2 below, as required by Section 67-6525, Idaho Code, and determined that the requested annexation should be granted and that the annexed property should be zoned General Commercial with a Development Agreement (C-2-DA) pursuant to the Unified Development Code of the City of Star.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF STAR, IDAHO, as follows:

Section 1: The Mayor and Council of the City of Star, Idaho, hereby find and declare that the real property described in Section 2 of this Ordinance is contiguous to the City, that said property can be reasonably assumed to be used for orderly development of the City, that the owner(s) of said property have requested, in writing, annexation of said property by the City, and that the requirements of Section 50-222, Idaho Code, for annexation of said property, have been satisfied.

Section 2: The real property, described in the attached “Exhibit A”, including adjacent right of way, situated in Ada County, Idaho, is hereby annexed into the City of Star. From and after the effective date of this Ordinance, the residents and other occupants and property owners

within such area shall enjoy all the rights and responsibilities and shall be subject to all ordinances, resolutions, police regulations, taxation and other powers of the City of Star as their fellow residents, occupants, and owners within the City of Star.

Section 3: The zoning land use classification of the land described in Section 2 above, is hereby established as General Commercial with a Development Agreement (C-2-DA), as provided by the Unified Development Code of the City of Star. The Zoning Map of the City is hereby amended to include the real property described in Section 2 above in the General Commercial with a Development Agreement (C-2-DA) land use classification.

Section 4: The City Clerk is hereby directed to file, within ten (10) days of passage and approval of this Ordinance, a certified copy of this Ordinance with the offices of the Auditor, Treasurer, and Assessor of Ada County, Idaho, and with the State Tax Commission, Boise, Idaho, as required by Section 50-223, Idaho Code, and to comply with the provisions of Section 63-215, Idaho Code, with regard to the preparation and filing of a map and legal description of the real property annexed by this Ordinance.

Section 5: This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law. In lieu of publication of the entire Ordinance, a summary thereof in compliance with Section 50-901A, Idaho Code maybe be published.

DATED this ____ day of _____, 2024.

CITY OF STAR
Ada and Canyon County, Idaho

BY: _____
Trevor A. Chadwick, Mayor

ATTEST:

Jacob M. Qualls, City Clerk

EXHIBIT A



LEGAL DESCRIPTION

Thursday, February 1, 2024
Project No.: 22-268

PARCEL A - CONSOLIDATED LOT
7020 WEST CHINDEN BOULEVARD

A CONSOLIDATION OF LAND SITUATED IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 20 (CP&F 2017072462) AND RUNNING SOUTH 89°14'59" EAST 19.83 FEET ALONG THE SECTION LINE AND NORTH 0°36'26" EAST 100.00 FEET TO THE TRUE POINT OF BEGINNING; AND RUNNING

THENCE NORTH 0°36'26" EAST 976.77 FEET;

THENCE SOUTH 89°17'42" EAST 640.24 FEET;

THENCE NORTH 0°35'25" EAST 248.00 FEET TO A POINT ON THE SIXTEENTH SECTION LINE;

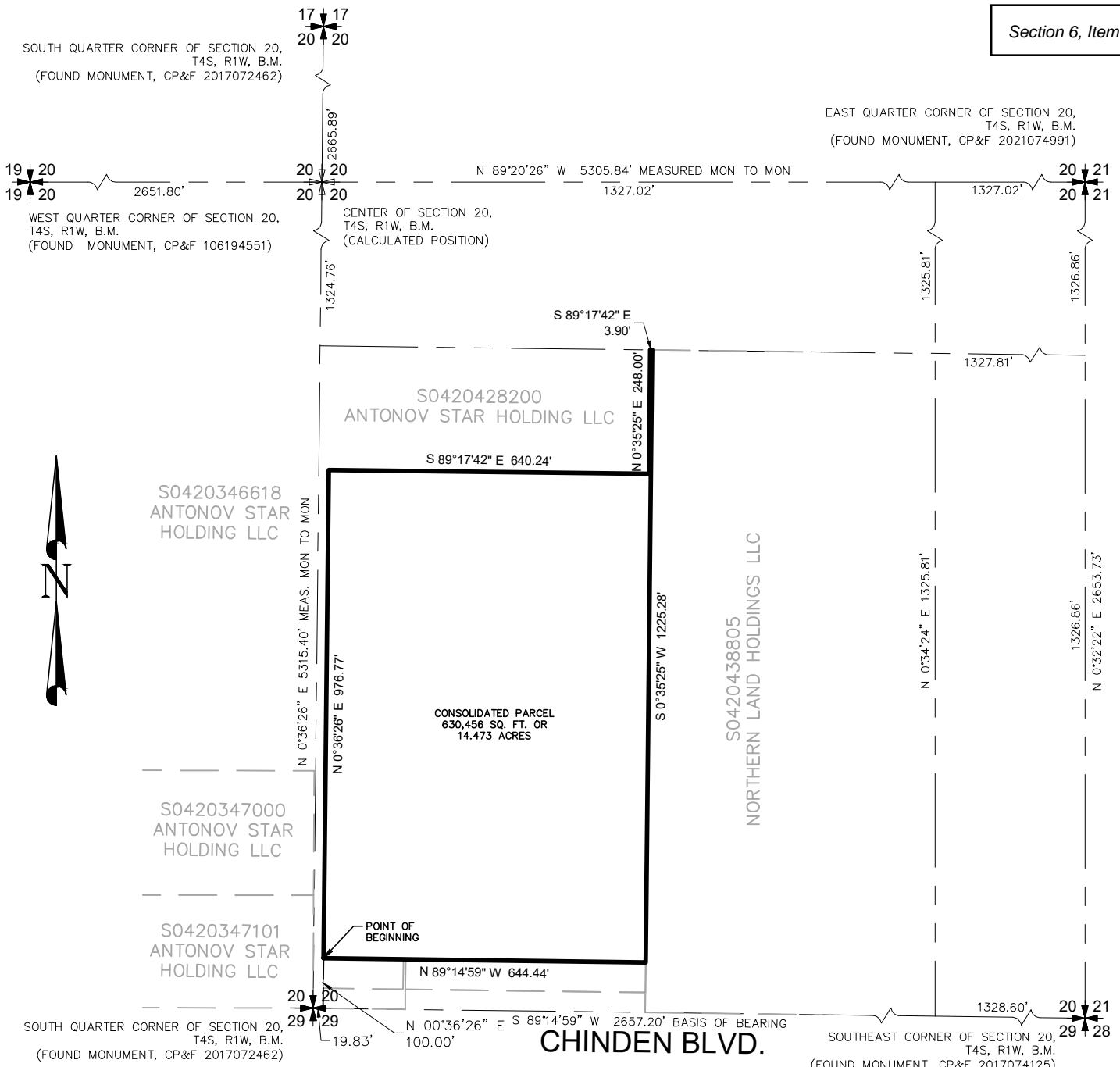
THENCE SOUTH 89°17'42" EAST 3.90 FEET ALONG SAID SIXTEENTH SECTION LINE TO THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 20;

THENCE SOUTH 0°35'25" WEST 1225.28 FEET ALONG THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 20 TO THE NORTHERLY RIGHT-OF-WAY LINE OF CHINDEN BOULEVARD;

THENCE NORTH 89°14'59" WEST 644.44 FEET ALONG SAID NORTHERLY RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING;

CONTAINS 630,456 SQ. FT. OR 14.473 ACRES

Prepared By: Nathan B Weber, PLS
Diamond Land Surveying | www.diamondlandsurveying.com



CONSOLIDATED PARCEL BOUNDARY

A CONSOLIDATION OF LAND SITUATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 20 (CP&F 2017072462) AND RUNNING SOUTH 89°14'59"EAST 19.83 FEET ALONG THE SECTION LINE AND NORTH 0°36'26"EAST 100.00 FEET TO THE TRUE POINT OF BEGINNING; AND RUNNING

THENCE NORTH 0°36'26"EAST 976.77 FEET;

THENCE SOUTH 89°17'42"EAST 640.24 FEET;

THENCE NORTH 0°35'25"EAST 248.00 FEET TO A POINT ON THE SIXTEENTH SECTION LINE;

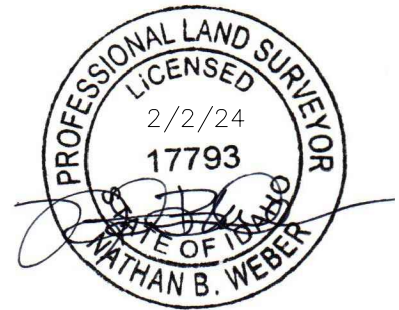
THENCE SOUTH 89°17'42"EAST 3.90 FEET ALONG SAID SIXTEENTH SECTION LINE TO THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 20;

THENCE SOUTH 0°35'25"WEST 1225.28 FEET ALONG THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 20 TO THE NORTHERLY RIGHT-OF-WAY LINE OF CHINDEN BOULEVARD;

THENCE NORTH 89°14'59"WEST 644.44 FEET ALONG SAID NORTHERLY RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING;

CONTAINS 630,456 SQ. FT. OR 14.473 ACRES

CONSOLIDATED PARCEL EXHIBIT
 7020 WEST CHINDEN BLVD
 MERIDIAN, IDAHO



DIAMOND
 LAND SURVEYING

SCALE 1"=300' 2/2/24

83

**DEVELOPMENT AGREEMENT
UHAUL ANNEXATION**

This Development Agreement ("Agreement") is entered into by and between the City of Star, a municipal corporation in the State of Idaho, hereinafter referred to as "City", and Amerco Real Estate Company, hereinafter referred to as "Owner".

WHEREAS, Owner own parcels of land of approximately 14.47 acres in size, currently located within Ada County, zoned RUT and more particularly described in **Exhibit A** of Ordinance 412-2024, which is attached hereto and incorporated by reference herein (the "Properties");

WHEREAS, Owner have requested that the Properties be annexed into the City and developed in accordance with the applicable ordinances and regulations of the City and this Agreement;

WHEREAS, the City, pursuant to Section 67-6511A, Idaho Code, and Star City Code Title 8, Chapter 1, has the authority to enter into a development agreement for the purpose of allowing, by agreement, a specific development to proceed in a specific area and for a specific purpose or use which is appropriate in the area, but for which all allowed uses for the requested zoning may not be appropriate;

WHEREAS, the City has authority to enter into development agreements to condition annexations and re-zones;

WHEREAS, Owner desires to be assured that it may proceed with allowing its Property to be rezoned in accordance with this Agreement;

WHEREAS, the parties agree to the zoning designations for various parcels within the Property to be rezoned in accordance with this Agreement;

WHEREAS, Owner filed with the City of Star, a Request for Annexation and Zoning of the Properties to C-2-DA, as File No. AZ-24-05/DA-24-05/CU-24-03, so that the City can review all the applications affecting the use and development of the Property in an integrated manner consistent with the City's Comprehensive Plan and land use ordinances;

WHEREAS, the intent of this Agreement is to protect the rights of Owner's use and enjoyment of the Property while at the same time mitigating any adverse impacts of the development upon neighboring properties and the existing community and ensuring the Property is developed in a manner consistent with City Ordinances;

THEREFORE, the City and Owner, for and in consideration of the mutual covenants, duties and obligations herein set forth, hereby agree as follows:

Section 1. Legal Authority. This Agreement is made pursuant to and in accordance with the provisions of Idaho Code Section 67-6511A and Star City Code, Title 8, Chapter 1.

Section 2. Development/Uses/Standards.

2.1 Development Acreage and Uses Permitted. As to the Parcels shown on **Exhibit A**, Owner is allowed to develop the 14.47 acres as follows:

- Zoning Classification: The zoning classifications shall be C-2-DA.
- The Owner shall comply with all city ordinances relating to the property except as otherwise provided herein.

2.2 Site Design. The Site Plan, as set forth in **Exhibit B**, is hereby approved.

2.3 Uses. The development is hereby approved for a self-storage, warehouse storage and regional maintenance operation facility for UHAUL. Building elevations consistent with the **Exhibit C** shall be constructed as part of this development.

2.4 Additional Requirements/Considerations:

- **The property associated with this approved application, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above is a direct violation of this Development Agreement and may result in a stop work order being issued until the violations are remedied, and/or revocation of the conditional use permit approval.**

2.5 Changes and Modifications. No change in the use or restrictions specified in this Agreement shall be allowed or changed without modification of this Agreement pursuant to the requirements of the Star City Ordinances. In the event Owner changes or expands the use permitted by this Agreement or fail to comply with the restrictions without formal modification of this Agreement as allowed by the Star City Ordinances, Owner shall be in default of this Agreement.

2.6 Conditions, Bonding for Completion. All of the conditions set forth herein shall be complied with or shall be bonded for completion by Owner before an Occupancy permit will be granted. Failure to comply with the Star City Ordinances or the terms of this Agreement shall result in a default of this Agreement by Owner. Owner may be allowed to bond for certain conditions at one hundred and fifty percent (150%) of the estimated cost of completion pursuant to Star City Ordinances.

Section 3. Affidavit of Property Owner. Owner shall provide an affidavit agreeing to submit the Property to this Development Agreement and to the provisions set forth in Idaho Code section 67-6511A and Star Zoning Ordinance and such affidavit is incorporated herein by reference.

Section 4. Default. The failure of Owner, its heirs or assigns or subsequent Owner of the Property or any other person acquiring an interest in the Property, to faithfully comply with any of the terms and conditions of this Agreement shall be deemed a default herein. This Agreement may be modified or terminated by the Star City Council as set forth in the Star City Ordinances. In the event this Agreement is modified, Owner shall comply with the amended terms. Failure to comply with the amended terms shall result in default. In the event the City Council, after compliance with the requirements of the Star City Ordinances, determines that this Agreement shall be terminated, the zoning of the Property or portion thereof that has not been developed in accordance with this Agreement shall revert its prior zoning designation. All uses of such property, which are not consistent with the prior zoning designation, shall cease. A waiver by the City of Star for any default by Owner of any one or more of the covenants or conditions hereof shall apply solely to the breach and breaches waived and shall not bar any other rights or remedies of the City or apply to any subsequent breach of any such or other covenants and conditions. Owner, by entering into this Agreement, do hereby consent to a reversion of the subject property to its prior zoning designation in the event there is a default in the terms and/or conditions of this Agreement.

Section 5. Unenforceable Provisions. If any term, provision, commitment or restriction of this Agreement or the application thereof to any party or circumstances shall, to any extent, be held invalid or unenforceable, the remainder of the instrument shall remain in full force and effect.

Section 6. Assignment and Transfer. After its execution, this Agreement shall be recorded in the office of the County Recorder at the expense of the Applicant. Each commitment and restriction on the development subject to this Agreement, shall be a burden on the Property, shall be appurtenant to and for the benefit of the Property and shall run with the land. This Agreement shall be binding on the City and Owner, and their respective heirs, administrators, executors, agents, legal representatives, successors and assigns: provided, however, that if all or any portion of the Property is divided, each owner of a legal lot shall only be responsible for duties and obligations associated with an owner's parcel and shall not be responsible for duties and obligations or defaults as to other parcels of lots within the Property. The new owner of the Property or any portion thereof (including, without limitation, any owner who acquires its interest by foreclosure, trustee's sale or otherwise) shall be liable for all commitments and other obligations arising under this Agreement with respect only to such owner's lot or parcel.

Section 7. General Matters.

7.1 Amendments. Any alteration or change to this Agreement shall be made only after complying with the notice and hearing provisions of Idaho Code Section 67- 6509, as required by Star City Code.

7.2 Paragraph Headings. This Agreement shall be construed according to its fair meaning and as if prepared by both parties hereto. Titles and captions are for convenience only and shall not constitute a portion of this Agreement. As used in this Agreement, masculine, feminine or neutral gender and the singular or plural number shall each be deemed to include the others wherever and whenever the context so dictates.

7.3 Choice of Law. This Agreement shall be construed in accordance with the laws of the State of Idaho in effect at the time of the execution of this Agreement. Any action brought in connection with this Agreement shall be brought in a court of competent jurisdiction located in Ada County, Idaho.

7.4 Notices. Any notice which a party may desire to give to another party must be in writing and may be given by personal delivery, by mailing the same by registered or certified mail, return receipt requested postage prepaid, or by Federal Express or other reputable overnight delivery service, to the party to whom the notice is directed at the address of such party set forth below.

Star: City of Star
Attn: City Clerk
P.O. Box 130
Star, ID 83669

Owner: Amerco Real Estate Company
2727 N. Central Ave
Phoenix, AZ 85004

7.5 Effective Date. This Agreement shall be effective after delivery to each of the parties hereto of a fully executed copy of this Agreement.

7.6 Attorney Fees. Should any litigation be commenced between the parties hereto concerning this Agreement, the prevailing party shall be entitled, in addition to any other relief as may be granted, to court costs and reasonable attorney fees as determined by a court of competent jurisdiction. This provision shall be deemed to be a separate contract between the parties and shall survive any default, termination or forfeiture of this Agreement.

IN WITNESS WHEREOF, the parties have hereunto caused this Agreement to be executed on the day and year set forth below.

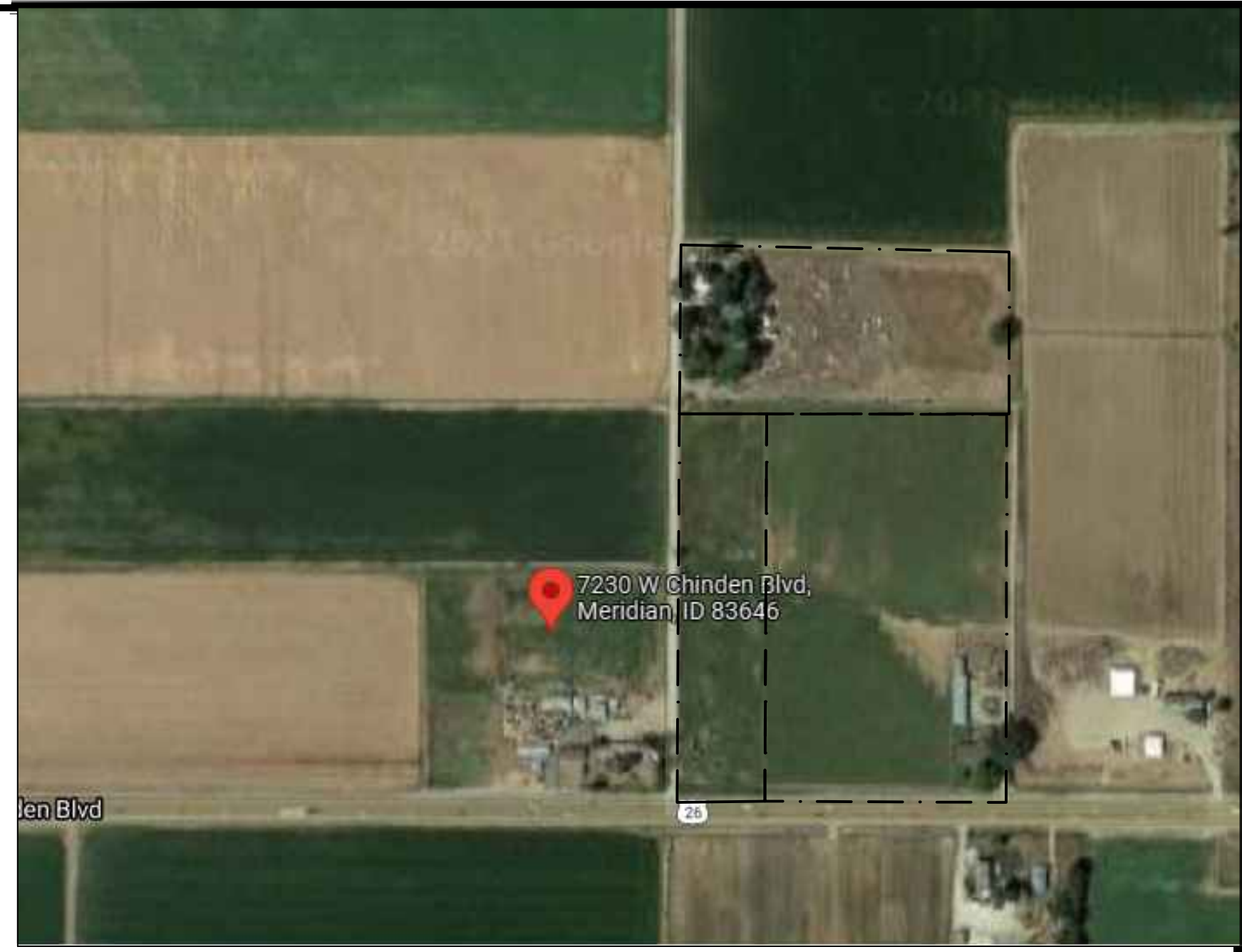
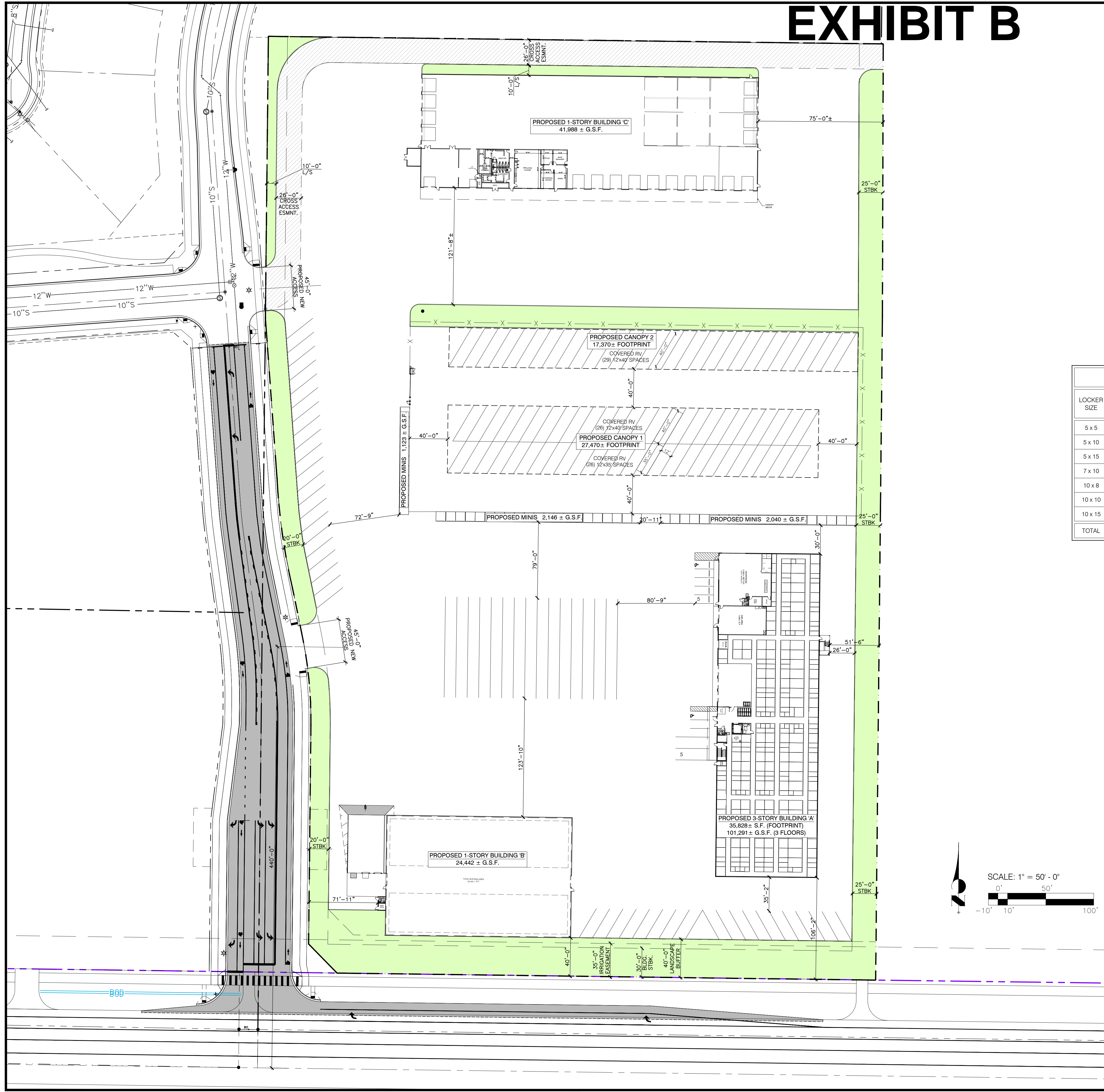
Dated this ____ day _____, 2024.

Trevor A. Chadwick, Mayor

ATTEST:

Jacob M. Qualls, City Clerk

EXHIBIT B



AERIAL

N.T.S.

LOCKER SIZE	INTERIOR						TOTAL			EXTERIOR MINIS			GRAND TOTAL					
	1st Flr	SQ. FT.	%	2nd Flr	SQ. FT.	%	3rd Flr	SQ. FT.	%	QTY	SQ. FT.	%	QTY	SQ. FT.	%	QTY	SQ. FT.	%
5 x 5	33	825	4%	43	1,075	5%	50	1,250	5%	126	3,150	5%	0	0	0%	126	3,150	4%
5 x 10	111	5,550	27%	91	4,550	22%	118	6,100	23%	320	16,000	24%	0	0	0%	320	16,000	22%
5 x 15	0	0	0%	1	75	0%	0	0	0%	1	75	0%	0	0	0%	1	75	0%
7 x 10	2	140	1%	1	70	0%	1	70	0%	4	280	0%	0	0	0%	4	280	0%
10 x 8	1	80	0%	2	160	1%	1	80	1%	4	320	0%	0	0	0%	4	320	1%
10 x 10	101	10,100	49%	99	9,900	47%	129	12,900	49%	329	32,900	48%	52	5,200	100%	381	38,100	52%
10 x 15	27	4,050	19%	36	5,400	25%	39	5,850	22%	102	15,300	23%	0	0	0%	102	15,300	21%
TOTAL	275	20,745	100%	273	21,230	100%	338	26,250	100%	886	68,025	100%	52	5,200	100%	938	73,225	100%

PROPOSED MIX

(55) 40' RV CANOPY SPACES
 (28) 35' RV CANOPY SPACES
 61 TOTAL RV CANOPY SPACES

U-BOX AREA = 23,902 ± S.F.
 TOTAL U-BOXES = 1,122 (374 x 3-HIGH)

Zoning Information

Project Name: Project # 718082
 U-Haul Moving & Storage of South Star
 Ada County
 Project Address: 7230 W. Chinden Blvd., Meridian, ID 83646

APN / Acre / Area: S0420438500; S0420438700; S0420438600; S0420438610 /
 13.9± acres / 605,575± SQ. FT.

Zone: RUT – Rural-Urban Transition
 Adjacent Zoning: N-RUT – Rural-Urban Transition
 E-RUT – Rural-Urban Transition
 S-RUT – Rural-Urban Transition
 W-RUT – Rural-Urban Transition

Uses: Storage Facility/ Self-service – Outdoor Only (C)
 C = Conditional Use

Bulk Requirements

Setbacks:	Required	Provided
Front yard:	30-ft.	30' - 0"
Interior Side yard:	25-ft.	51' - 6"
Side yard on local street:	20-ft.	72' - 3"
Rear yard:	25-ft.	25' - 0"

Height Limit: 35-ft. max.

Max lot Coverage: 5%, or 20% on non-conforming property
 Allowed: 605,575 x 5% = 30,279 sqft, OR 605,575 x 20% = 121,115 sq ft
 Proposed: 152,405 / 605,575 sq ft = 25% (0.252) Lot Coverage (Request Variance)

Parking:

Storage Facility/ Self-service = 1 space per entrance to site. Required: 3; Provided: 10 sp

Landscape:

40' Landscape Buffer along Hwy 20/26, per Planning Director

General Screening Standards:

A. Screening Elements: For the purposes of this article, screening elements shall include, but not be limited to: deciduous trees (shade and ornamental), evergreen trees, berms, solid fences, walls, and sound walls. Cyclone or chainlink fencing (with or without slats) shall not be deemed a screening material nor shall such fencing be eligible for points as set forth in table 8-4F-3 of this article.

B. Solid Fence Or Sound Wall: Where a solid fence, wall, or sound wall is used for screening, the landscape plan shall incorporate vegetative materials along the length of the screening to soften the appearance of such features.

Perimeter Landscaping and Screening Standards:

- A. Property Lines That Do Not Abut A Roadway: All principally permitted and accessory uses in the RP, RR, RUT, R1, R2, R4, R6 and R8 base districts as listed in tables 8-2A-1 and 8-2B-1 of this title shall be exempt from the regulations of this article. Requirements of this article may be modified or waived by the commission for conditional uses in the RP, RR, RUT, R1, R2, R4, R6 and R8 base districts as listed in tables 8-2A-1 and 8-2B-1 of this title. Where the dimensional standards for the base district of the subject property require a setback of 10-ft. or more, the following shall apply, unless otherwise noted:
- The min. depth of the landscaped area shall be 6-ft.
 - Abutting a residential district, a min. of 16 landscape points shall be required per 10 linear ft.
 - Abutting a rural, commercial or industrial district, a min. of 8 landscape points shall be required per 10 linear ft.
 - The director may waive perimeter landscaping requirements along portions of property lines not abutting a roadway where needed to accommodate construction of vehicular cross-access across property lines and where cross-access easements to adjacent properties are provided.
- B. Property Lines That Abut A Roadway: Entryway corridors shall be as identified in the applicable comprehensive plan. Interstate, arterial, collector, and local streets shall be as identified by the Ada County long range highway and street map functional street classification system.

SHEET NOTES:

NO.	DATE	INITIALS	NOTES
1	11/22/22	EMA	MINOR REVISIONS
2	11/30/22	EMA	ADA ROOMS/ RICH MARK UPS
3	12/02/22	EMA	BASIC ELEVATIONS
4	12/06/22	EMA	MAKE DOUBLE PITCH ROOF ON STRG BLDG A
5	12/07/22	EMA	REV. ROOF SLOPE NORTH TO SOUTH
6	12/07/22	BLC	ADD WINDOWS, REV MIX
7	01/23/23	EMA	ADDED SHOP BUILDING
8	01/31/23	EMA	SHOP BUILDING BASIC ELEVATIONS

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	11/22/22	EMA	MINOR REVISIONS
2	11/30/22	EMA	ADA ROOMS/ RICH MARK UPS
3	12/02/22	EMA	BASIC ELEVATIONS
4	12/06/22	EMA	MAKE DOUBLE PITCH ROOF ON STRG BLDG A
5	12/07/22	EMA	REV. ROOF SLOPE NORTH TO SOUTH
6	12/07/22	BLC	ADD WINDOWS, REV MIX
7	01/23/23	EMA	ADDED SHOP BUILDING
8	01/31/23	EMA	SHOP BUILDING BASIC ELEVATIONS

PROFESSIONAL SEAL:

PRELIMINARY DOCUMENTS
 NOT FOR CONSTRUCTION
 FOR INFORMATION ONLY

ARCHITECT LOGO:



CONSTRUCTION DEPARTMENT
 2727 NORTH CENTRAL AVENUE
 PHOENIX, ARIZONA 85004
 P: (602) 263-6502

SITE ADDRESS:

U-Haul of South Star
 7230 W. Chinden Blvd.
 Meridian, ID 83646

SHEET CONTENTS:

Site Plan

718082

DRAWN: EMA	SP1
CHECKED: NH	
DATE: 11/18/22	

IMP EXCEEDS SUSTAINABLE LEED STANDARDS BY PROVIDING SUPERIOR R-VALUE INSULATION FOR GREATER THERMAL EFFICIENCY

ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA

VERTICAL OFFSETS CREATE A PATTERN OF LIGHT, SHADOW, AND LYRICAL ARTICULATION



IMP EXCEEDS SUSTAINABLE LEED STANDARDS BY PROVIDING SUPERIOR R-VALUE INSULATION FOR GREATER THERMAL EFFICIENCY

ARTISTIC USE OF MATERIALS CREATES AN ARCHITECTURAL INTEREST AT THE SKYLINE

VERTICAL OFFSETS CREATE A PATTERN OF LIGHT, SHADOW, AND LYRICAL ARTICULATION

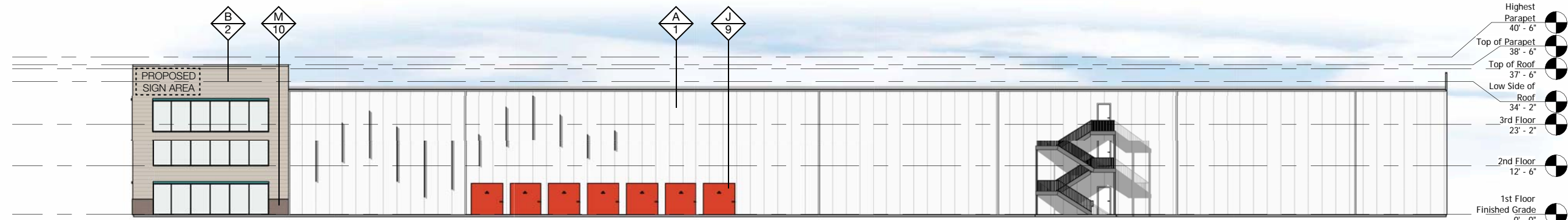


2727 N. CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: 602.263.6841



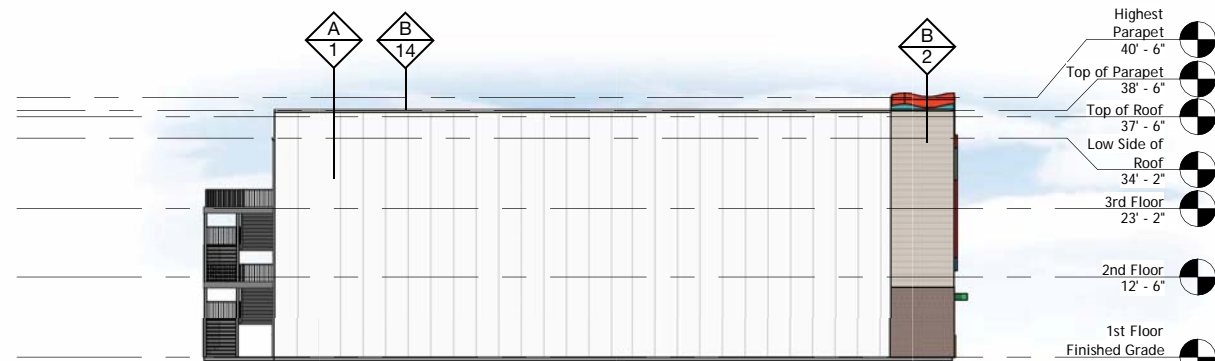
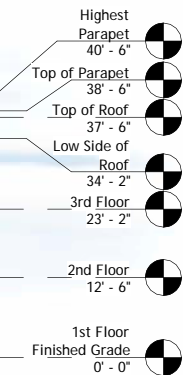
Southwest Elevation
Composite Rendering

SHEET 04



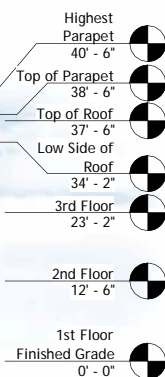
EAST ELEVATION - BLDG. A

Scale: 1/30" = 1'



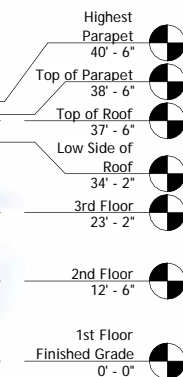
NORTH ELEVATION - BLDG. A

Scale: 1/30" = 1'



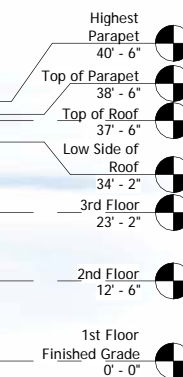
SOUTH ELEVATION - BLDG. A

Scale: 1/30" = 1'



WEST ELEVATION - BLDG. A

Scale: 1/30" = 1'



GENERAL NOTES:

D1 - THE PROPOSED IMP USES FULL-WIDTH PANELS. **DO NOT CUT IMP** DUE TO PAINT VARIATIONS. CONTACT THE DESIGNER AT A&M ASSOCIATES TO FIND A SOLUTION. P: 602.623.6841

D2 - THE PROPOSED PROJECT CONSISTS OF **42" WIDE IMP**. DEVIATING FROM THIS SIZE PANEL WILL ALTER THE LYRICAL FIN DESIGN. PLEASE CONTACT THE DESIGNER AT A&M ASSOCIATES SO THE PLAN DRAWINGS CAN BE UPDATED. P: 602.623.6841

COLOR CHART

A	POLAR WHITE (IMP CUSTOM COLOR)	J	SIERRA SUNSET
B	SANDSTONE (IMP CUSTOM COLOR)	K	BLUEPRINT
C	U-HAUL GREEN (MBCI CUSTOM COLOR)	L	WALNUT (FAUX WOODGRAIN FINISH)
D	GALVANIZED	M	PEWTER (BEST PANEL COMPANY)
E	DESERT JEWEL (SW 6767 AQUARIUM)		
F	SW 6884 OBSTINATE ORANGE		
G	SW 6451 NURTURE GREEN		
H	LIGHT BROOM FINISHED TILT WALL		
I	U-HAUL PROMO GREEN		

MATERIALS

1	42"W METL-SPAN SANTA FE STUCCO EMBOSSED VERTICAL IMP
2	24"W METL-SPAN SANTA FE STUCCO EMBOSSED HORIZONTAL IMP
3	16"W METL-SPAN CONCEPT SERIES CS-620 HORIZONTAL PANELS
4	ULTRA-GRAIN CLASSIC WALNUT CARRIAGE DOORS
5	FLAT METAL PANEL
6	9"H x 3"D ARCHITECTURAL DETAILS
7	9"D LYRICAL ARTICULATED ACCENT FIN (DESIGN ELEMENT)
8	LIGHT BROOM TILT-UP CONCRETE
9	ARCHITECTURAL DETAILS
10	BEST PANEL COMPANY REVOLUTION SERIES
11	2'H x 55'W x 10'D STORAGE: LOAD/UNLOAD AWNING
12	1'H x 37'W x 2'D CUSTOMER ENTRANCE AWNING
13	HORIZONTAL LAP SIDING W/ 2"W GALVANIZED TRIM ON SIDES
14	4.5"H TRIM TYP.



2727 N. CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: 602.263.6841



of South Star
Meridian, ID
(718082)

Colors and Materials

SHEET 05