

**CITY COUNCIL REGULAR MEETING AGENDA**City Hall - 10769 W State Street, Star, Idaho
Tuesday, October 17, 2023 at 7:00 PM

PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.

1. **CALL TO ORDER** – Welcome/Pledge of Allegiance
2. **INVOCATION** – Relief Society President Kristi Dyer, Church of Jesus Christ of Latter-Day Saints
3. **ROLL CALL**
4. **PRESENTATIONS**
 - A. **Parks Art & Beautification Committee Presentation** - Dog Brick Donation - Hand & Paw
 - B. **Ada County Sheriff - Jail General Bond Presentation**
5. **CONSENT AGENDA (ACTION ITEM)** **All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*
 - [A.](#) Final Plat - Legado Phase 1 (Formerly North Star River Ranch Subdivision) (FILE: FP-23-13)
 - [B.](#) Final Plat - Cranefield Phase 2 (FILE: FP-23-14)
 - [C.](#) September 19, 2023 City Council Meeting Minutes
 - [D.](#) September 5, 2023 City Council Meeting Minutes
 - [E.](#) Claims to Approve
6. **PUBLIC HEARINGS with ACTION ITEMS:**
 - [A.](#) **PUBLIC HEARING: Falcon Storage (File: CUP-23-01)** - The Applicant is seeking approval of a Conditional Use Permit for a storage facility to include traditional private storage options and storage condominiums. The property is located at 8323 W. Moon Valley Road in Star, Idaho. **PREVIOUSLY TABLED AT THE APRIL 18, 2023 CITY COUNCIL MEETING. (ACTION ITEM - Table to November 21, 2023)**
7. **ACTION ITEMS:**(The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
 - [A.](#) **ITD Cooperative Agreement (Key #21863) Star Road to Can/Ada Road** - Approve / Authorize the Mayor to sign a Cooperative Agreement with ITD (**ACTION ITEM**)
 - [B.](#) **Star Middle School Pathway Project** - Approval of Bid & Notice of Award (**ACTION ITEM**)
 - [C.](#) **Ordinance 388-2023 (Willowbrook Annexation & Development Agreement AZ-21-12 / DA-21-20)** AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AS DESCRIBED IN EXHIBIT A, IN STAR, IDAHO, AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED BY WILLOWBROOK DEVELOPMENT, INC; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS RESIDENTIAL WITH A DEVELOPMENT AGREEMENT (R-2-DA) OF APPROXIMATELY 719.3 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE. (**ACTION ITEM - Previously tabled 10/3/2023**)
 - [D.](#) **ECAMP Map Update** - Update of the Star Economic Corridors Access and Roadway Connection Management Plan Development Map as recommended by the Star Transportation and Pathways Committee (**ACTION ITEM**)
 - [E.](#) **Star Transportation and Pathways Committee Appointment** - Steve Burton (**ACTION ITEM**)
 - [F.](#) **Code Update Workshop** - Discussing a Workshop Date to discuss Code Updates (**Discussion / Consensus**)
8. **EXECUTIVE SESSION**
 - A. **Executive Session 74-206 (f):** To communicate with legal counsel for the public agency to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated but imminently likely to be litigated.
ACTION ITEM - Actions after Executive Session
9. **ADJOURNMENT**

Any person needing special accommodation to participate in the above noticed meeting should contact the City Clerk's Office at 208-286-7247, at least 24 hours in advance of the meeting date.



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Tuesday, October 17, 2023 at 7:00 PM

The meeting can be viewed via a link posted to the City of Star website at staridaho.org. Information on how to participate in a public hearing remotely will be posted to staridaho.org under the meeting information. The public is always welcomed to submit comments in writing.

Land Use Public Hearing Process

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Applicant has up to **20 minutes** to present their project

Council can ask the applicant questions and staff questions

Public Testimony (**3 minutes per person**)

1. Those for the project speak
2. Those against the project speak
3. Those who are neither for or against but wish to speak to the project
4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star - Planning & Zoning Department *Shen J. M...*

MEETING DATE: **October 17, 2023**

FILE(S) #: FP-23-13, Final Plat, Legado Subdivision Phase 1 (Star River Ranch North Subdivision)

REQUEST

The Applicant is seeking approval of a Final Plat for Legado Subdivision Phase 1 (approved as Star River Ranch North Subdivision), consisting of 34 residential lots and 7 common lots on 11.70 acres. The subject property is generally located south of Hwy 44 and west of Bent Lane in Star, Idaho. Canyon County Parcel Number R3403500000.

APPLICANT/OWNER:	REPRESENTATIVE:
Bent Lane, LLC	Jeff Doersch
1857 W, Oakhampton Drive	KM Engineering, LLP
Eagle, Idaho 83669	5725 N. Discovery Way
	Boise, Idaho 83713

PROPERTY INFORMATION

Land Use Designation -	Residential R-5-DA
	Phase 1
Acres -	11.70 acres
Residential Lots -	34
Common Lots -	7
Commercial Lots -	0

HISTORY

May 1, 2007	Council approved an application for Hidden Meadows Subdivision Annexation and Zoning with Preliminary Plat to R-5. The development
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consisted of 108 residential lots and 24 common lots on approximately 24 acres.

- July 19, 2022 Council tabled public hearing for Star River Ranch North Subdivision Preliminary Plat (PP-22-05) to September 6, 2022.
- September 6, 2022 Council tabled public hearing for Star River Ranch North Subdivision Preliminary Plat (PP-22-05) to March 7, 2023.
- March 7, 2023 Council tabled public hearing for Star River Ranch North Subdivision Preliminary Plat (PP-22-05) to March 21, 2023.
- March 21, 2023 Council approved Star River Ranch North Subdivision Preliminary Plat (PP-22-05). The subdivision consists of 71 single-family residential lots and 12 common lots on 23.77 acres with a gross density of 2.99 du/ac.

GENERAL DISCUSSION

The Final Plat layout for Legado Subdivision, Phase 1 generally complies with the approved Preliminary Plat. After Phase 1, there will be a total of 34 residential lots platted, leaving 37 residential lots for future phases of the development. The preliminary plat was approved with a total of 71 residential lots.

Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:

The Preliminary Plat submitted contains 71 single family residential lots, and 12 common area lots for a total of 83 lots. The gross density of the proposed development is 2.99 dwelling units/acre. The residential lots range in size from approximately 7,949 square feet to 14,342 square feet with an average buildable lot area of 9,280 square feet. The applicant had indicated in their Open Space Exhibit that the development would contain a total of 4.34 acres (18.3%) of overall open space, which includes 3.38 acres within the proposed plat and .96 acres located within an area in Star River Ranch No. 1. The applicant’s intent was to improve this .96-acre area for a future dog park that will be utilized by both subdivisions. Council removed the .96-acre dog park from the plan. The original total usable open space proposed was 3.63 acres (15.4%). The Unified Development Code, Section 8-4E-2 states that all developments shall have a total of 15% open space and 10% usable open space. With the removal of the .96-acre dog park, the total open space and usable open space still meets the minimum requirements of the UDC. Streets are proposed to be public throughout the development and will measure 36 ft from back of curb to back of curb and satisfy Section 8-4D-34B(4) of the UDC.

The development will be primarily accessed off Bent Lane via Balto Street. There will also be access via Silverthorne Avenue from Bent Lane along the south. Silverthorne Avenue will connect to the future northern collector road when that property is developed.

The current Unified Development Code, Section 8-4E-2 requires a development of this size to have 2 site amenities. The preliminary plat shows a total of 3 amenities. The applicant is proposing a large, central open area that will house 2 soccer fields. The applicant is also proposing connected walking paths within the development and a future dog park.

ADDITIONAL PRELIMINARY PLAT DEVELOPMENT FEATURES:

- **Sidewalks:** - Sidewalks are proposed at five-foot (5') widths and will be attached throughout the overall subdivision. At the time of submittal, detached sidewalks were not required under the UDC that was in affect at the time of submittal of the application. Staff recommends that the Council consider requiring detached sidewalks that meet the current intent of the City for streetscapes.
- **Lighting:** - Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has not submitted a streetlight plan, indicating location of lights or a street light design. A condition of approval will be required to receive staff approval of streetlights prior to final plat approval.
- **Landscaping:** - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. The landscape plan submitted with the Preliminary Plat shows street trees throughout the large common area and dog park as required per code. Not all street trees are on the landscape plan and appear to be located by the builder. A condition of approval will be to hold certificates of occupancy until trees are planted per code. Common areas along the roads do not contain the necessary number of trees called for by code. A condition of approval will be to submit a new plan showing the correct number of street trees in all the common areas.
- **Setbacks:** - The Applicant is requesting 5-foot side yard setbacks that were allowed in the R-5 zoning district at the time of submittal of the application and prior to the June 7, 2022, Code revision. All other setbacks of the current R-5 zone are consistent with the new R-3 setbacks established by the June 7, 2022, UDC rewrite.
- **Block Length:** - Blocks 2 and 3 are over 750' in length. Therefore, Council must approve the waiver to the block length for these areas.
- **Mailbox Cluster:** - Applicant has provided communication to the Star Postmaster and they are awaiting his response on cluster location.
- **Subdivision Name:** - Applicant has provided documentation showing approval for the subdivision name.

- **Street Names:** - Applicant has provided documentation showing approval for the street names and they are showing accurately on the submitted preliminary plat.
- **Phasing:** - Applicant is proposing the development will be built out in two phases, which could change, based on market conditions.

STAFF ANALYSIS OF FINAL PLAT PHASE 1

Lot Layout – The gross density of Phase 1 is 2.90 du/acre.

Common/Open Space and Amenities – Proposed in Phase 1:

- Pickle Ball Court
- Open Grass Area

Sidewalks – Sidewalks are proposed to be 5 foot wide and detached throughout the development with eight foot (8') wide landscape strips.

Streetlights –A Streetlight design has not been provided with the final plat application. The proposed light style and fixture must meet Dark Sky requirements and comply with the City Code. A streetlight plan was included in the final plat application. Staff is supportive of the location of streetlights in this phase. **The Applicant shall submit and receive approval for the streetlight style prior to installation and signing the final plat.**

Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements.**

Setbacks: Council approved 5-foot side yard setbacks for this development.

Block Length – Block length waivers were approved by Council.

Mailbox Clusters – Applicant has provided communication to the Star Postmaster, and they are awaiting his response on cluster location. **Approval will be required prior to signing the mylar. Per City Code, the Mailbox Clusters shall be covered with a structure to be approved by Staff prior to installation.**

Street Names – Letter of approval of street names from Canyon County was included in the application packet and are reflected accordingly on the submitted final plat.

Conditions added by Council to the Preliminary Plat and Development Agreement

- The subdivision is approved for a maximum of 71 residential lots.
- The site amenities shall be installed in Phase 1. The applicant shall remove the dog park area from the development and remove the soccer field from the common area plan. 2 new amenities shall be added to the development with details provided to Staff prior to final plat application.
- The large open space area shall not be constructed using bentonite or other materials that may prevent the area from properly draining. Additional usable open space may be required if the common area is not usable. The City Engineer shall approve the drainage plan specific to the usable open space area.
- The Council approves waivers to the block lengths in the development. The applicant shall work with the Highway District on traffic calming measures for those blocks.
- The development shall be required to provide detached sidewalks along all roadways.
- All pathways shall be paved.
- The Development shall have a separate Homeowners Association and CC&R’s independent from Star River Ranch Subdivision.
- The development shall have conduit installed for future fiber-optic cables.

ITD Proportionate Shares – This phase will be required to provide proportionate share contributions in the amount of \$34,000.00, to be paid prior to signature of the final plat.

PUBLIC NOTIFICATIONS

Notifications of this application were sent to agencies having jurisdiction on October 5, 2023. The following agencies commented:

October 5, 2023	Canyon Hwy Dist. 4 Email Memo
October 10, 2023	Middleton School District #134
October 11, 2023	ITD Email Memo
October 9, 2023	Drainage District # 2

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

A. The Plat is in conformance with the Comprehensive Plan.
The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.

B. Public services are available or can be made available and are adequate to accommodate the proposed development.

Staff finds that all public services are available and able to accommodate this development.

C. There is public financial capability of supporting services for the proposed development.
Staff knows of no financial hardship that would prevent services from being provided.

D. The development will not be detrimental to the public health, safety or general welfare; and,
Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.

E. The development preserves significant natural, scenic or historic features.
Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.

CONDITIONS OF APPROVAL

- 1. Per the Development Agreement and prior to signing the final plat, the developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the city \$1,000.00 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$71,000.00. The City will allocate funds to roadway improvements in the vicinity of the project. Phase 1 has 34 residential lots for a fee of \$34,000.00 (34 x \$1000).**
- 2. Applicant shall meet all the setback requirements in the Unified Development Code Section 8-3A-4, unless a waiver is applied for and approved by the council. 5-foot side yard setbacks have been approved by Council.**
- 3. A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service and indicating the location of the mailbox cluster(s). All mailbox clusters shall be architecturally covered. Please submit a rendering to Staff prior to installation.**
4. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision and shall be maintained by the Homeowners Association. Streetlights shall be installed prior to any building occupancy. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall submit a streetlight design to Staff for review and approval prior to installation. All lighting shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative.**
- 5. A copy of the draft CC&R's shall be submitted to the City of Star prior to signature of the final plat.** A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
6. The approved Preliminary Plat for Legado Subdivision (Star River Ranch Subdivision North) shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
7. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.

8. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.
9. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
10. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
11. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
12. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
13. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
14. The subsequent Final Plats shall comply with and be in accordance with the current City of Star Code, with the exception of any waivers granted by Council.
15. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
16. A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service.
17. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
18. A separate sign application is required for any subdivision sign.
19. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior to signature of the final plat.**
20. Applicant shall provide the City with a full size copy and electronic copy of the signed recorded final plat with all signatures, prior to any building permits being issued.
21. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
22. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
23. A copy of signed irrigation agreements shall be submitted to the City **prior to signature of the final plat.**
24. All common areas shall be owned and maintained by the Homeowners Association.
25. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs,

starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**

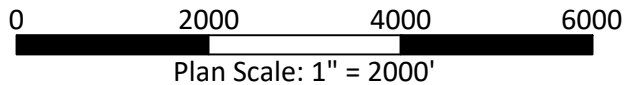
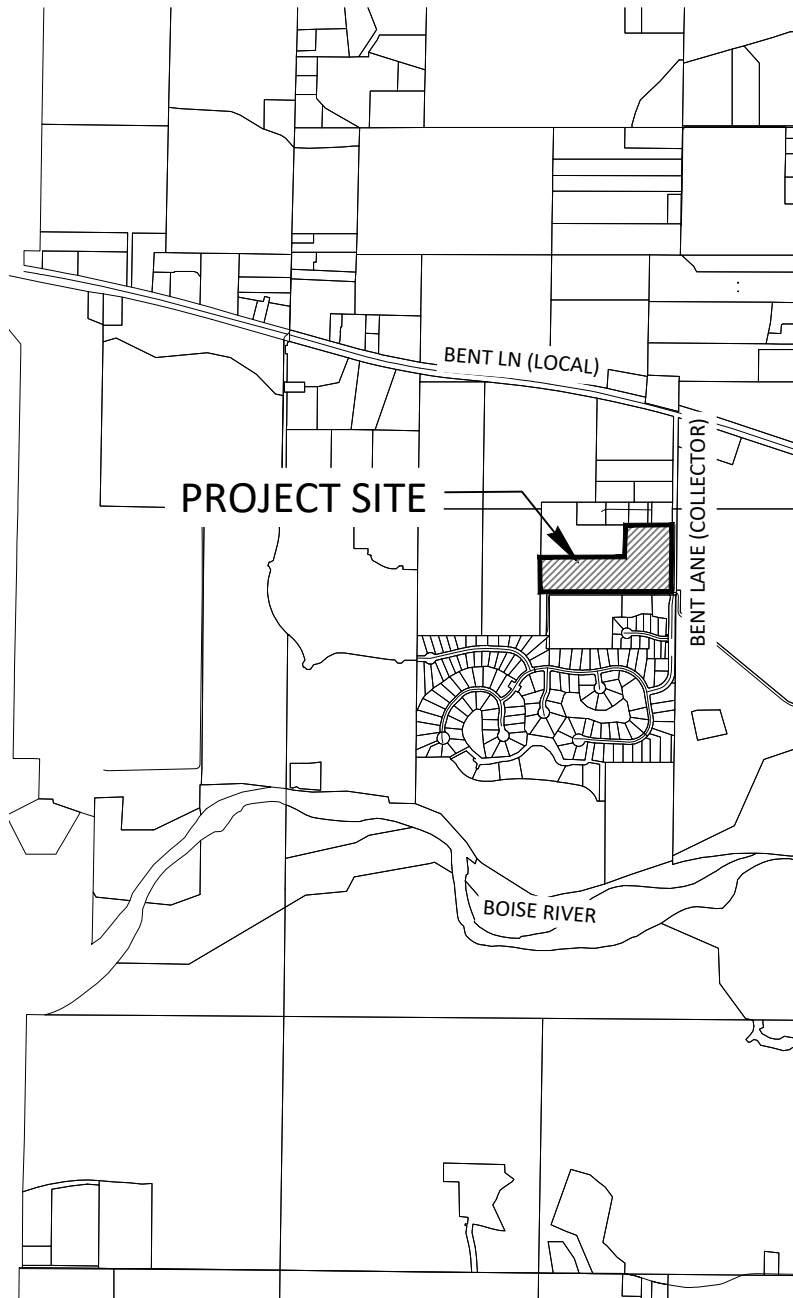
26. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.

27. **Owner/Developer will agree to install a 2” (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic and/or copper telecommunication cables.**

28. Any additional Condition of Approval as required by Staff and City Council.

COUNCIL DECISION

The Star City Council _____ File # FP-23-13 Legado Subdivision Final Plat Phase 1 (Star River Ranch North Subdivision) on _____, 2023.



ENGINEERING
 5725 NORTH DISCOVERY WAY
 BOISE, IDAHO 83713
 PHONE (208) 639-6939
 kmengllp.com

DATE: 7/26/23
 PROJECT: 23-104

SHEET:
 1

LEGADO SUBDIVISION NO.1
 STAR, IDAHO

VICINITY MAP



FINAL PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: FP-23-13
 Date Application Received: 8/25/2023 Fee Paid: \$2710.00
 Processed by: City: Barbara Norgrove

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: Bent Lane, LLC
 Applicant Address: 1857 W Oakhampton Drive, Eagle, Idaho Zip: 83616
 Phone: 208.340.0884 Email: brittany.sofro@icloud.com

Owner Name: same as applicant
 Owner Address: _____ Zip: _____
 Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):
 Contact: Jeff Doersch, P.E. Firm Name: KM Engineering, LLP
 Address: 5725 N Discovery Way, Boise, Idaho Zip: 83713
 Phone: 208.639.6939 Email: jdoersch@kmengllp.com

Property Information:

Subdivision Name: Legado Subdivision Phase: 1

Parcel Number(s): R3403500000

Approved Zoning: R-5 Units per acre: 2.91

Total acreage of phase: 11.70 Total number of lots: 41

Residential: 34 Commercial: - Industrial: -

Common lots: 7 Total acreage of common lots: 2.28 Percentage: 19%

Percent of common space to be used for drainage: 26% Acres: 0.606

Special Flood Hazard Area: total acreage 11.70 number of homes 34

Changes from approved preliminary plat pertaining to this phase:

	Preliminary Plat	Final Plat
Number of Residential Lots: <u>34</u>	<u>34</u>	<u>no change</u>
Number of Common Lots: <u>7</u>	<u>7</u>	<u>no change</u>
Number of Commercial Lots: <u>n/a</u>	<u>n/a</u>	<u>no change</u>
Roads: _____	_____	<u>no change</u>

Amenities: _____ no change _____

Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision Name: Legado Subdivision Phase: 1

Special Flood Hazard Area: total acreage 11.70 number of homes 34

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16027C0259G
 FIRM effective date(s): mm/dd/year 6/07/2019
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: AE Zone
 Base Flood Elevation(s): AE 2450.9 ft., etc.: 2455.1
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (√)	Description	Staff (√)
x	Completed and signed copy of Final Plat Application	
x	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
x	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> • Gross density of the phase of the Final Plat submitted • Lot range and average lot size of phase • Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities • List any specific approved building setbacks previously approved by Council. 	
x	Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)	
x	Electronic copy of current recorded warranty deed for the subject property	
x	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.	
x	Electronic copy of subdivision name approval from Ada County Surveyor's office.	
x	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming	
x	Electronic copy of vicinity map showing the location of the subject property	
x	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	
x	One (1) 11" X 17" paper copy of the Final Plat	
x	Electronic copy of the Final landscape plan**	

x	One (1) 11" X 17" copy of the Final landscape plan	Section 5, Item A.
x	Electronic copy of site grading & drainage plans**	
x	Electronic copy of originally approved Preliminary Plat**	
n/a	Electronic copy of a Plat with all phases marked with changes, if applicable**	
x	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	
x	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	
x	Electronic copy of streetlight design and location information	
x	Special Flood Information – Must be included on Preliminary/Final Plat and Application form.	
forthcoming	Electronic copy of all easement agreements submitted to the irrigation companies	
forthcoming	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	
x	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.</u>	
noted	<p>Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance:</p> <ul style="list-style-type: none"> • One (1) 11" X 17" and (1) 18" X 24" recorded copy of Final Plat • Electronic copy of final, approved construction drawings • Electronic copy of as-built irrigation plans • Electronic copy of recorded CC&R's • Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign • Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please. 	
	**NOTE: No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid.	

FEE REQUIREMENT:

*** I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*

Ally Danish

Applicant/Representative Signature

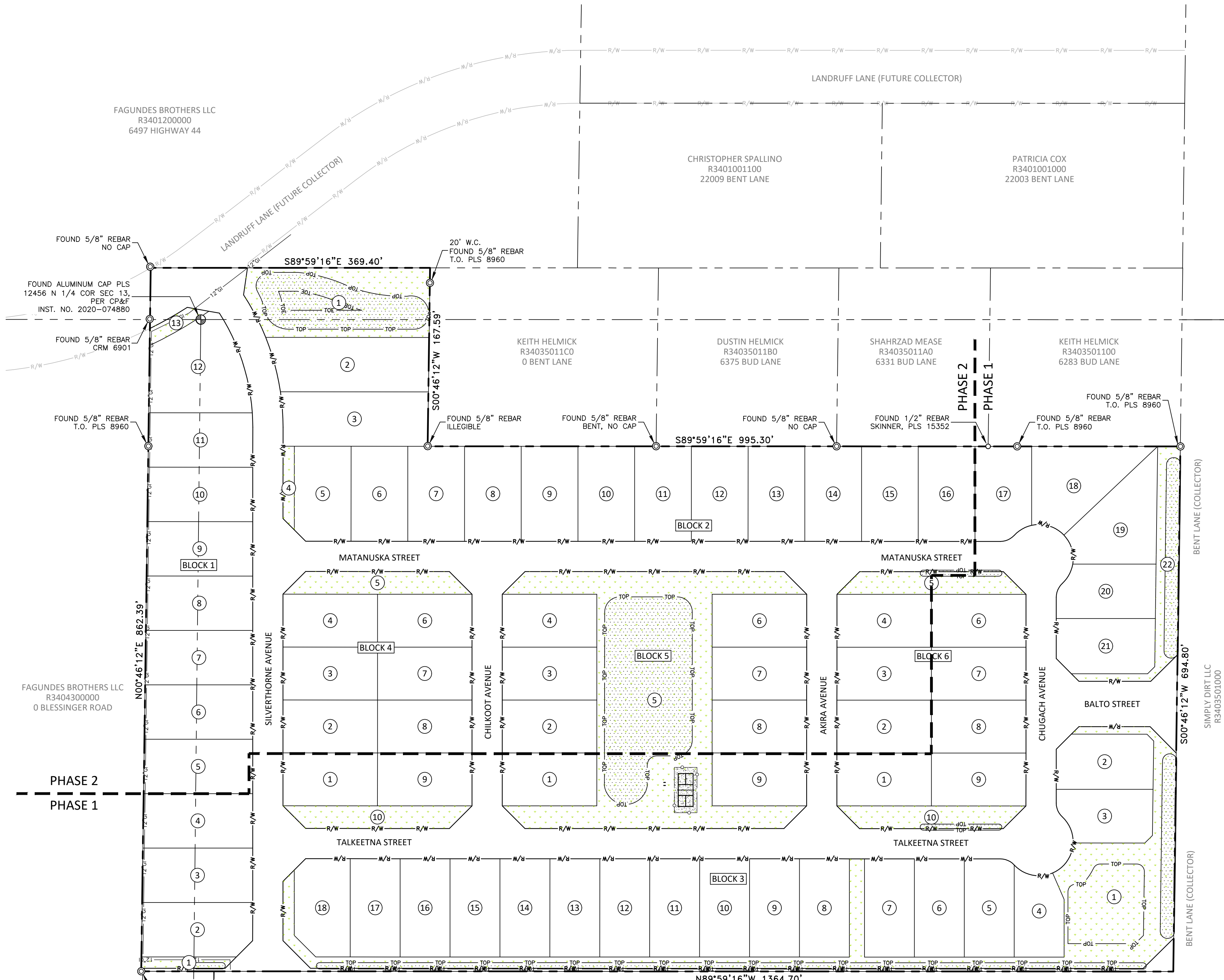
08/23/2023

Date

PRELIMINARY PLAT SHOWING STAR RIVER RANCH NORTH SUBDIVISION

A PORTION OF LAND IN THE SW 1/4 OF THE SE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF SECTION 12, ALONG WITH A PORTION OF THE NW 1/4 OF THE NE 1/4 AND THE NE 1/4 OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CITY OF STAR, CANYON COUNTY, IDAHO

JULY 2023



PRELIMINARY PLAT NOTES

1. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
2. MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT OR AS SPECIFICALLY APPROVED AND/OR REQUIRED.
3. LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY.
4. THIS DEVELOPMENT IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS.
5. DIRECT LOT ACCESS FROM COLLECTORS & ARTERIALS IS PROHIBITED UNLESS APPROVED BY CANYON HIGHWAY DISTRICT 4 AND THE CITY OF STAR.
6. THIS DEVELOPMENT RECOGNIZES 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREON."
7. ALL LOTS ARE HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, SIDEWALK AND LOT DRAINAGE OVER THE 10-FOOT ADJACENT TO ANY PUBLIC STREET. THE EASEMENT SHALL NOT PRECLUDE THE CONSTRUCTION OF HARD-SURFACE DRIVEWAYS, WALKWAYS, LANDSCAPE, PARKING, FENCING OR OTHER SUCH NON-PERMANENT STRUCTURES.
8. UNLESS OTHERWISE SHOWN AND DIMENSIONED, ALL LOTS ARE HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE OVER THE 5-FOOT ADJACENT TO ANY INTERIOR SIDE LOT LINE, AND OVER THE 10-FOOT ADJACENT TO ANY REAR LOT LINE OR SUBDIVISION BOUNDARY.
9. LOTS 1 & 13, BLOCK 1, LOTS 1, 2, 5 & 23, BLOCK 2, LOT 1, BLOCK 3, LOTS 5 & 10, BLOCK 4, LOT 5, BLOCK 5, AND LOTS 5 & 10, BLOCK 6 ARE COMMON LOTS WHICH SHALL BE OWNED AND MAINTAINED BY THE STAR RIVER RANCH SUBDIVISION NO. 3 HOMEOWNER'S ASSOCIATION.
10. IRRIGATION WATER HAS BEEN PROVIDED FROM CANAL COMPANIES WHICH INCLUDE CANYON COUNTY WATER CO. LTD. COMPLIANCE WITH IDAHO CODE SECTION 31-3805(1)(b). LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS AND WILL BE OBLIGATED FOR ASSESSMENTS FROM SAID CANAL COMPANIES.
11. THE HOMEOWNER'S ASSOCIATION, UNDERLYING PROPERTY OWNER, OR ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR ALL STORM DRAINAGE FACILITIES LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY, INCLUDING ALL ROUTINE AND HEAVY MAINTENANCE.

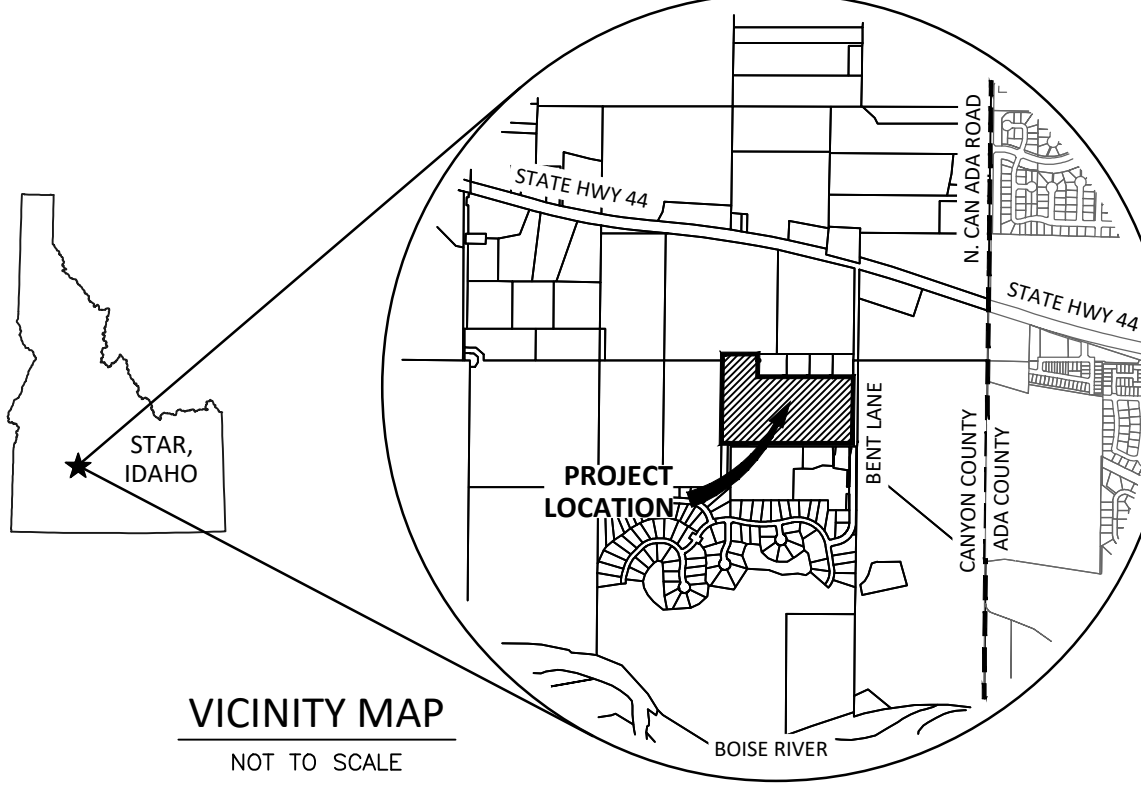
PRELIMINARY ENGINEERING NOTES

1. DOMESTIC WATER SERVICE WILL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT. 8-INCH MAINS WILL BE LOOPED THROUGHOUT THE SUBDIVISION.
2. SANITARY SEWER SERVICE WILL BE PROVIDED BY THE STAR SEWER DISTRICT. THE PROPERTY WILL BE SERVED BY CONNECTING TO EXISTING INFRASTRUCTURE IN BENT LANE. EXACT LOCATION TO BE DETERMINED DURING FINAL DESIGN.
3. WATER AND SEWER LINE SIZES AND LOCATIONS ARE PRELIMINARY AND WILL BE REFINED DURING FINAL DESIGN.
4. ALL DOMESTIC WATER MAINS AND SANITARY SEWER WILL BE INSTALLED IN ACCORDANCE WITH THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY, STAR SEWER AND WATER DISTRICT REQUIREMENTS.
5. STORM DRAINAGE FROM THE ROADWAYS AND LOTS WILL BE COLLECTED IN ROADSIDE CURB AND GUTTER AND ROUTED TO PONDS IN THE COMMON AREAS SHOWN ON THE PLAN. THE PONDS SHOULD BE DESIGNED TO MEET THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY AND CITY OF STAR'S REQUIREMENTS. THE STORM DRAINAGE FACILITIES SHOWN ARE PRELIMINARY AND SHALL BE DETERMINED DURING FINAL DESIGN.
6. THE PRESSURE AND GRAVITY IRRIGATION IMPROVEMENTS SHOWN ARE PRELIMINARY AND SHALL BE DETERMINED DURING FINAL DESIGN.
7. FIBER AND DRY UTILITIES TO BE INSTALLED GENERALLY ADJACENT TO RIGHTS-OF-WAY.
8. TEMPORARY FIRE TURN AROUND TO BE PROVIDED ON LOT 12, BLOCK 1 UNTIL LANDRUFF LANE IMPROVEMENTS ARE COMPLETED.
9. EXISTING FENCE, DRY UTILITIES, POWER POLES, AND IRRIGATION FACILITIES ALONG WEST BENT LANE AND NORTH ALPENGLOW STREET TO BE REMOVED AND/OR RELOCATED DURING CONSTRUCTION. DOWNSTREAM IRRIGATION SHARES WILL BE MAINTAINED WITH THE PROPOSED IMPROVEMENTS.

LEGEND

- BOUNDARY LINE
- - - ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- - - SECTION LINE
- - - RIGHT-OF-WAY LINE
- - - LOT LINE
- - - EASEMENT LINE
- COMMON AREA

- R.M. REFERENCE MONUMENT
- FOUND 5/8" REBAR, AS NOTED
 - FOUND 1/2" REBAR, AS NOTED
 - ⊕ FOUND BRASS CAP, NORTHEAST CORNER SECTION 12



PRELIMINARY PLAT DATA

SITE DATA	
PARCEL NUMBER(S):	R3403500000
CURRENT ZONING:	R-5-DA (RESIDENTIAL WITH A DA)
REQUESTED ZONING:	R-5 (RESIDENTIAL)
FLOOD ZONE:	ZONE AE (SPECIAL FLOOD HAZARD AREA)
PROJECT AREA:	±23.77 ACRES
DEVELOPABLE LOTS:	±15.24 ACRES
COMMON AREA(LANDSCAPE):	±4.04 ACRES
RIGHT-OF-WAY DEDICATION:	±4.49 ACRES
MAXIMUM LOT SIZE:	14,716 SF
MINIMUM LOT SIZE:	7,059 SF
AVERAGE LOT SIZE:	9,350 SF
NUMBER OF LOTS:	
DEVELOPABLE LOTS:	71
COMMON AREA (LANDSCAPE):	11
TOTAL NUMBER OF LOTS:	82
TOTAL NUMBER OF DEVELOPABLE LOTS:	71
COMMON AREA PROVIDED:	4.04 ACRES (±20.94%)
SEE PPL5.0 FOR OPEN SPACE CALCULATIONS	
DENSITY REQUIREMENTS	
R-5 (SINGLE FAMILY RESIDENTIAL)	5 UNITS PER ACRE MAXIMUM
PROPOSED DENSITY:	
R-5 SINGLE FAMILY RESIDENTIAL:	±23.77 ACRES (GROSS) 2.99 U.P.A
BUILDING HEIGHT & LOT AREA REGULATIONS	
MAXIMUM HEIGHT:	R-5 35'
FRONT YARD SETBACK:	15' TO LIVING AREA/SIDE LOAD GARAGE 20' TO GARAGE FACE
REAR YARD SETBACK:	15'
INTERIOR SIDE YARD SETBACK:	5'
STREET SIDE YARD SETBACK:	20'
UTILITIES	
CENTRAL WATER:	STAR SEWER AND WATER DISTRICT
CENTRAL SEWER:	STAR SEWER AND WATER DISTRICT
IRRIGATION:	CANYON COUNTY WATER CO. LTD.
POWER:	IDAHO POWER
NATURAL GAS:	INTERMOUNTAIN GAS CO.
TELEPHONE:	CENTURYLINK
FIRE PROTECTION:	CITY OF STAR FIRE DEPARTMENT
POLICE PROTECTION:	CITY OF STAR POLICE DEPARTMENT
PARKS AND OPEN SPACE:	STAR RIVER RANCH SUB. NO. 3 SUBDIVISION HOMEOWNER'S ASSOCIATION
SCHOOLS:	WEST ADA SCHOOL DISTRICT
SOLID WASTE COLLECTION:	REPUBLIC SERVICES

PROJECT TEAM

PROPERTY OWNER	
NAME:	BENT LN, LLC.
ADDRESS:	6152 W. HALF MOON LANE
CITY/STATE/ZIP:	EAGLE, IDAHO 83616
ENGINEERING	
NAME:	KM ENGINEERING, LLP.
CONTACT:	KEVIN MCCARTHY, P.E.
ADDRESS:	5725 N. DISCOVERY WAY
CITY/STATE/ZIP:	BOISE, IDAHO 83713
PHONE:	208.639.6939
EMAIL:	kevin@kmenllp.com

INDEX OF DRAWINGS

SHEET NO.	SHEET TITLE
SHEET PP1.0	PRELIMINARY PLAT - COVER SHEET
SHEET PP2.0	PRELIMINARY PLAT - EXISTING CONDITIONS
SHEET PP3.0	PRELIMINARY PLAT - LOT DIMENSIONS
SHEET PP4.0	PRELIMINARY PLAT - PRELIMINARY ENGINEERING
SHEET PP4.1	PRELIMINARY PLAT - PRELIMINARY ENGINEERING
SHEET PPL1.0-5.0	PRELIMINARY PLAT - LANDSCAPE, FENCE, OPEN SPACE

SURVEY CONTROL NOTES

1. ALL SURVEY DATA IS BASED ON THE NAD83 STATE PLANE COORDINATE SYSTEM (IDAHO WEST 1103) AND NAVD 88 VERTICAL DATUM.

STAR RIVER RANCH NORTH SUB STAR, IDAHO PRELIMINARY PLAT

REVISIONS

NO.	ITEM	DATE
0	INITIAL SUBMITTAL	4/5/22
1	ZONING REQUEST CHANGE	5/26/22
2	CHD4 COMMENT REVISIONS	11/17/22
3	CHD4, CITY COMMENT REVISIONS	3/1/23
4	CHD4 COMMENT REVISIONS	5/9/23
5	IRRIGATION POND ADDITION	7/14/23

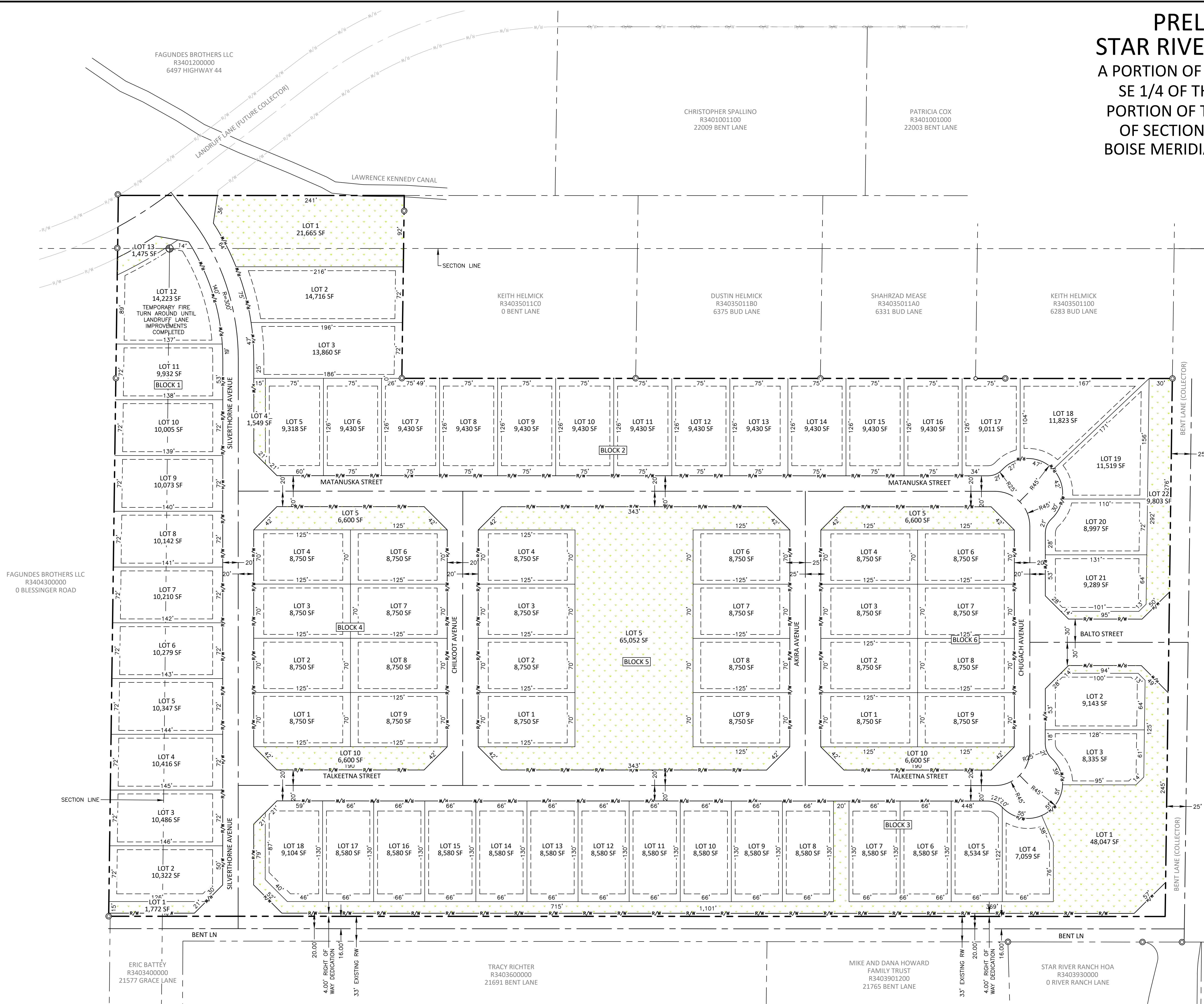
PRELIMINARY PLAT - COVER SHEET

PRELIMINARY PLAT SHOWING STAR RIVER RANCH NORTH SUBDIVISION

A PORTION OF LAND IN THE SW 1/4 OF THE SE 1/4 AND THE
SE 1/4 OF THE SW 1/4 OF SECTION 12, ALONG WITH A
PORTION OF THE NW 1/4 OF THE NE 1/4 AND THE NE 1/4
OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST,
BOISE MERIDIAN, CITY OF STAR, CANYON COUNTY, IDAHO
JULY 2023

LEGEND

- BOUNDARY LINE
- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- SECTION LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- COMMON AREA
- REFERENCE MONUMENT
- FOUND 5/8" REBAR (SEE SHEET PP2.0)
- FOUND 1/2" REBAR (SEE SHEET PP2.0)
- FOUND BRASS CAP, NORTHEAST CORNER SECTION 12 (SEE SHEET PP2.0)

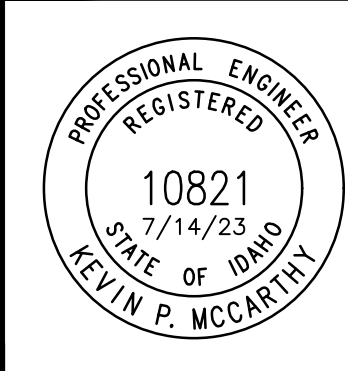


PRELIMINARY PLAT - LOT DIMENSIONS

Scale: 1" = 60'

REVISIONS		
NO.	ITEM	DATE
0	INITIAL SUBMITTAL	4/5/22
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4	CHD4 COMMENT REVISIONS	5/9/23
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STAR RIVER RANCH NORTH SUB
STAR, IDAHO
PRELIMINARY PLAT

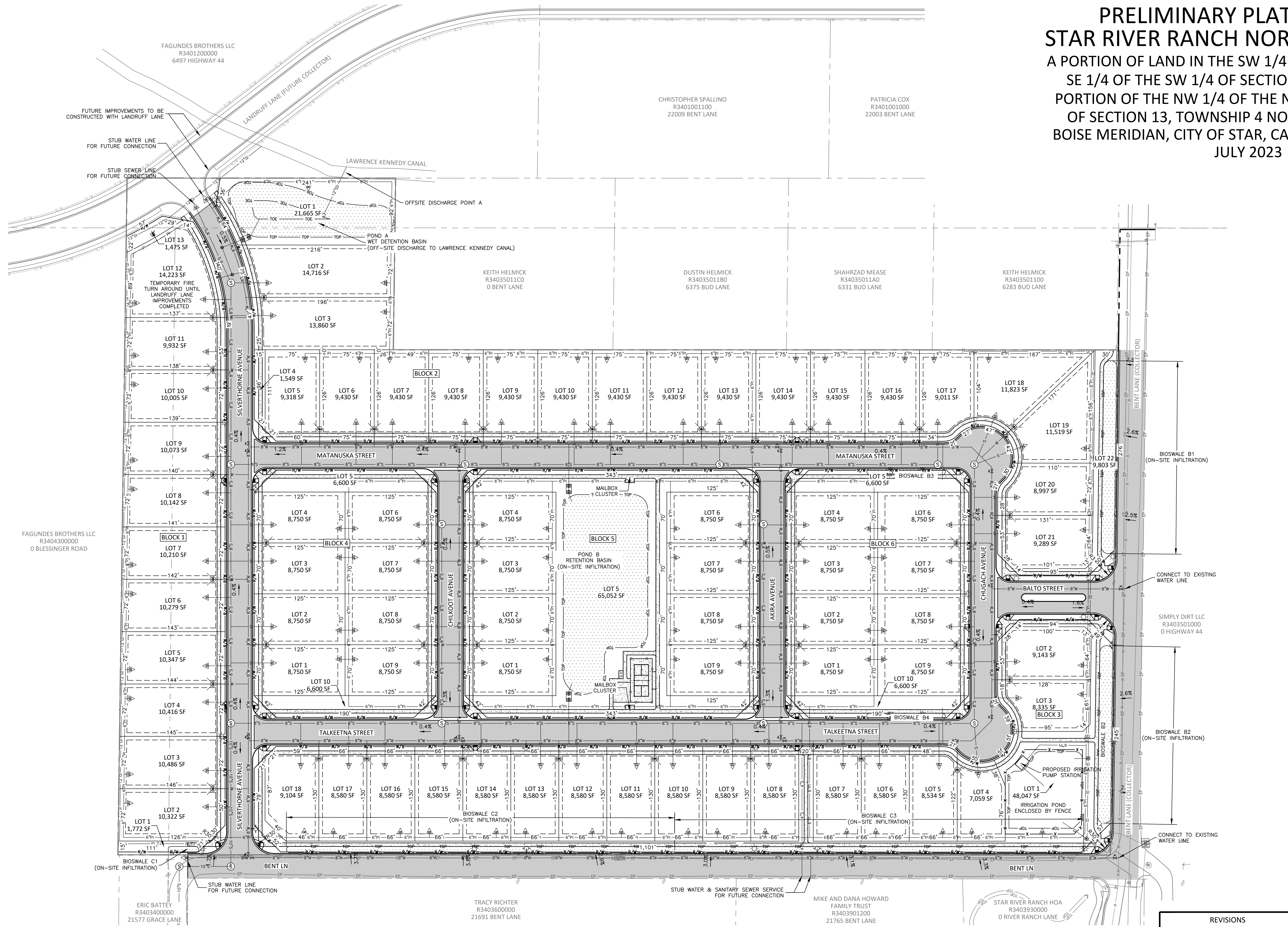


DATE: JULY 2023
PROJECT: 21-162
SHEET NO.
PP3.0

P:\31-REV\AD\PLAT\PRELIMINARY\31-162 LOT DIMENSIONS.DWG - REF FORSCH, 7/14/2023, CANYON (P)755 (R)M/FCS, AKORL (L)PPH

PRELIMINARY PLAT SHOWING STAR RIVER RANCH NORTH SUBDIVISION

A PORTION OF LAND IN THE SW 1/4 OF THE SE 1/4 AND THE
SE 1/4 OF THE SW 1/4 OF SECTION 12, ALONG WITH A
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OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST,
BOISE MERIDIAN, CITY OF STAR, CANYON COUNTY, IDAHO
JULY 2023



* SEE SHEET PP4.1 FOR STREET SECTIONS & LEGEND

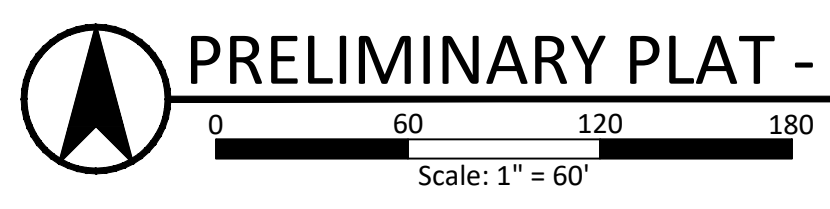
STAR RIVER RANCH NORTH SUB
STAR, IDAHO
PRELIMINARY PLAT

PROFESSIONAL ENGINEER
REGISTERED
10821
7/14/23
STATE OF IDAHO
KEYLIN P. MCCARTHY

km
ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmeng@com

NO.	ITEM	DATE
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1	ZONING REQUEST CHANGE	5/26/22
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3	CHD4, CITY COMMENT REVISIONS	3/1/23
4	CHD4 COMMENT REVISIONS	5/9/23
5	IRRIGATION POND ADDITION	7/14/23

DATE: JULY 2023
PROJECT: 21-162
SHEET NO.
PP4.0



PRELIMINARY PLAT - PRELIMINARY ENGINEERING

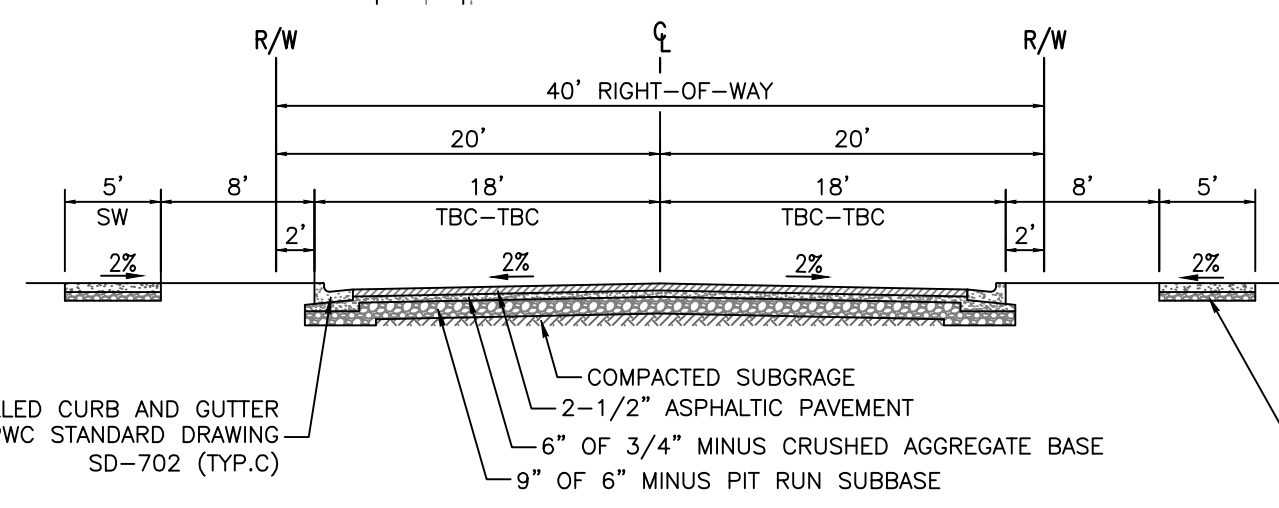
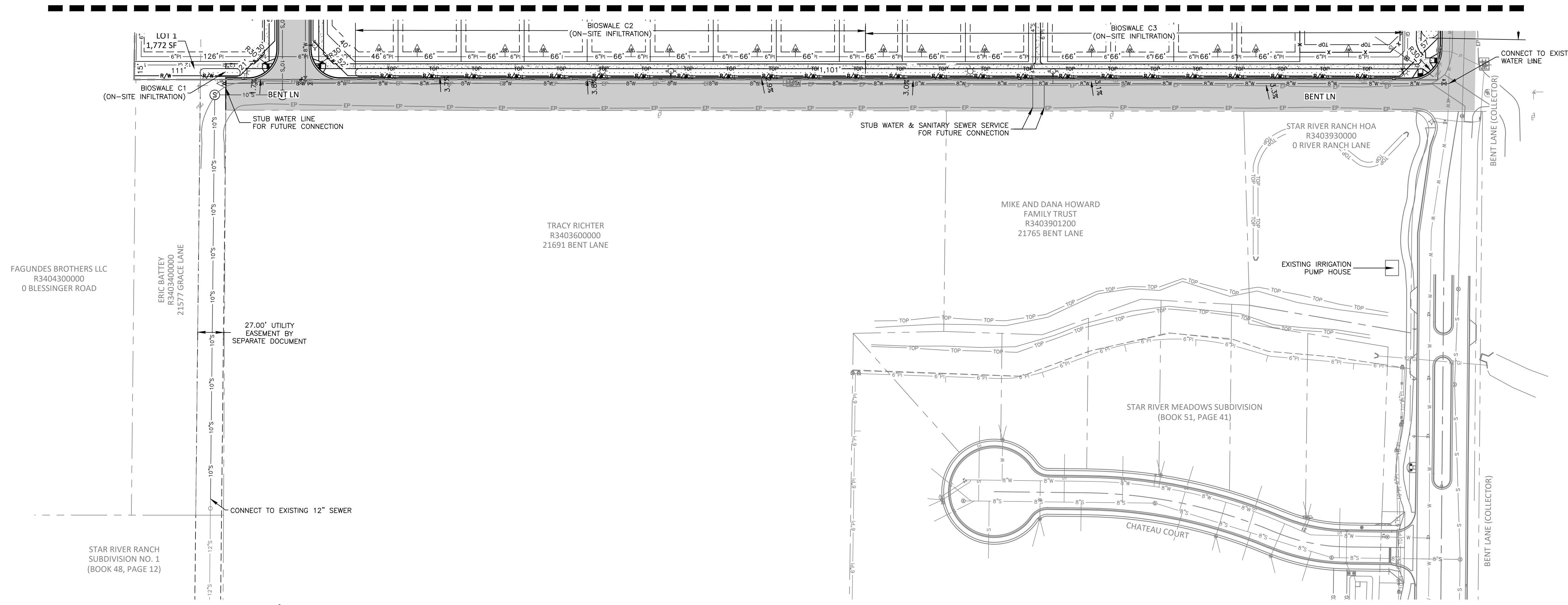
MATCH LINE - SEE SHEET PP4.1

P:\31-REV\CAD\PP4\PP4.1-162 PRELIMINARY ENGINEERING.DWG, Jeff DODDSCH, 7/14/2023, CANYON IPSS (DWG), ANKWA, IP01

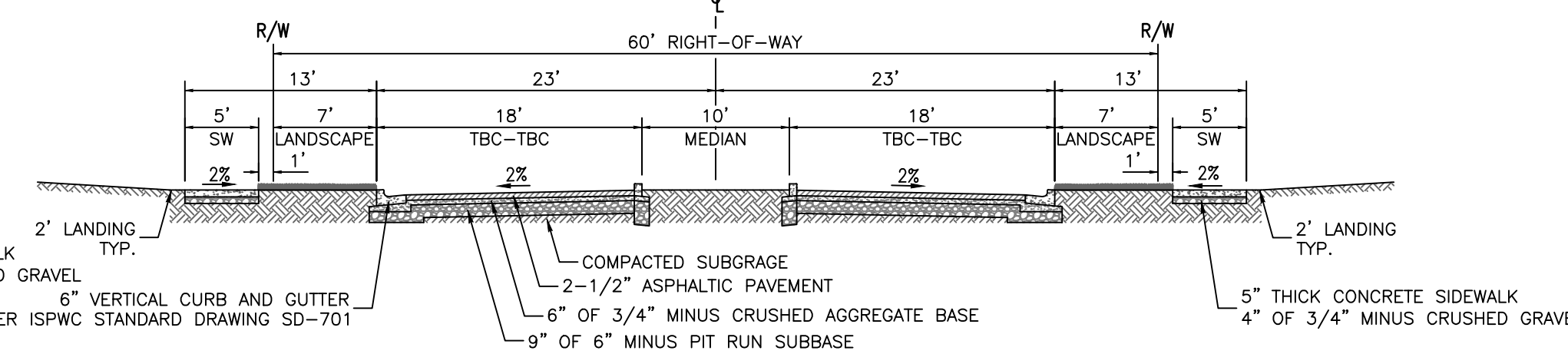
PRELIMINARY PLAT SHOWING STAR RIVER RANCH NORTH SUBDIVISION

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SE 1/4 OF THE SW 1/4 OF SECTION 12, ALONG WITH A
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BOISE MERIDIAN, CITY OF STAR, CANYON COUNTY, IDAHO
JULY 2023

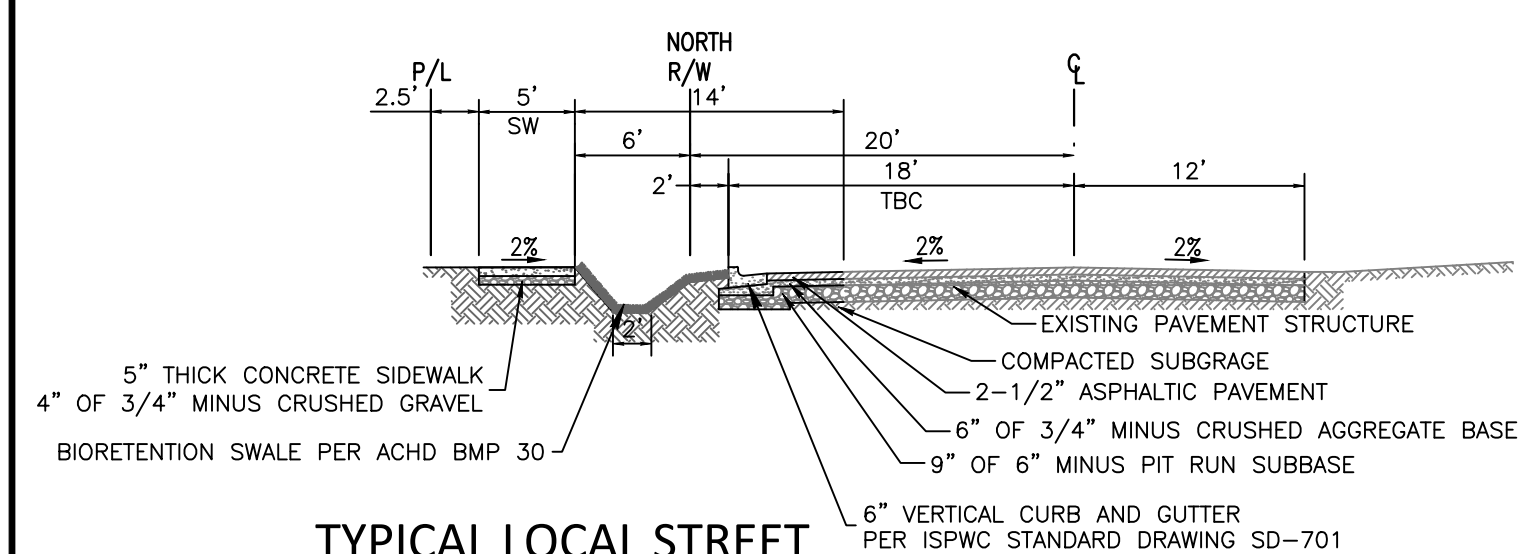
MATCH LINE - SEE SHEET PP4.0



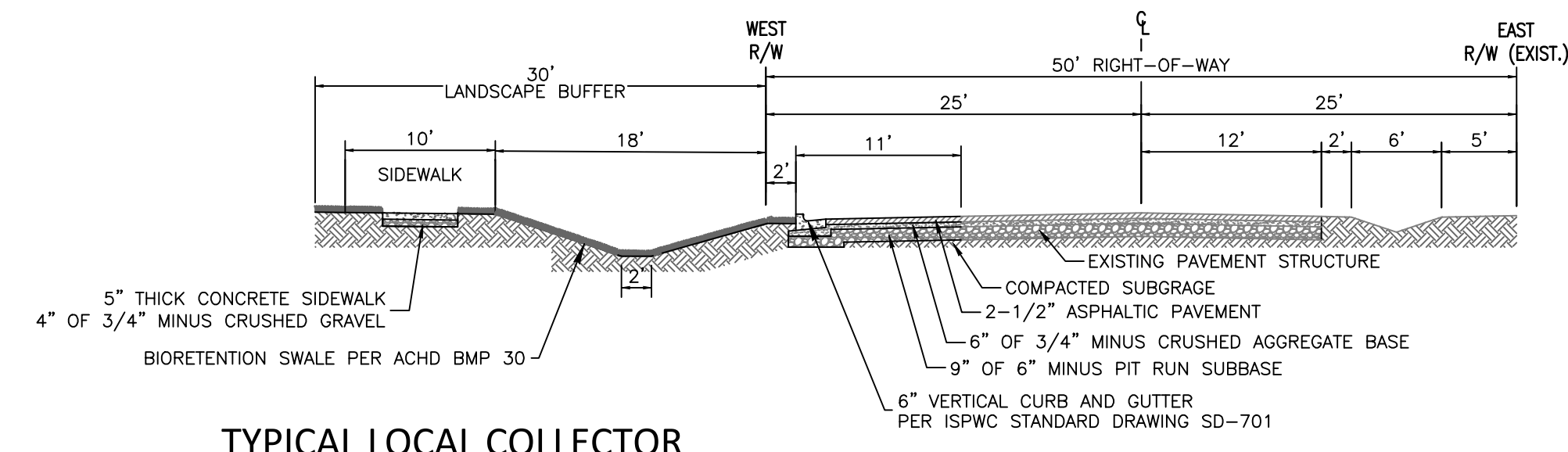
TYPICAL 40' ROW LOCAL STREET
CHUGACH AVENUE, AKIRA AVENUE, CHILKOOT AVENUE,
SILVERTHORNE AVENUE, MATANUSKA STREET, TALKETNA STREET
NTS



TYPICAL 60' ROW LOCAL STREET
BALTO STREET
NTS



TYPICAL LOCAL STREET
BENT LANE
NTS



TYPICAL LOCAL COLLECTOR
BENT LANE
NTS

LEGEND

- BOUNDARY LINE
- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- SECTION LINE
- R/W --- R/W RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SANITARY SEWER LINE
- WATER LINE
- SD --- SD STORM DRAIN LINE
- G --- G GRAVITY IRRIGATION LINE
- PI --- PI PRESSURE IRRIGATION LINE
- EG --- EG EDGE OF GRAVEL
- ED --- ED EDGE OF DIRT
- EP --- EP EDGE OF PAVEMENT
- OP --- OP OVERHEAD POWER
- G --- G GAS LINE
- W --- W SINGLE WATER SERVICE
- W --- W DOUBLE WATER SERVICE
- ⊙ SEWER MANHOLE
- ⊕ STORM DRAIN MANHOLE
- ⊕ STORM DRAIN INLET
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ FIRE HYDRANT
- ⊕ IRRIGATION BOX
- ⊕ LIGHT POLE
- COMMON AREA
- ASPHALT ROADWAY
- RETENTION/DETENTION BASIN PER PLAN

PRELIMINARY PLAT - PRELIMINARY ENGINEERING
Scale: 1" = 60'

REVISIONS		
NO.	ITEM	DATE
0	INITIAL SUBMITTAL	4/5/22
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5	IRRIGATION POND ADDITION	7/14/23

STAR RIVER RANCH NORTH SUB
STAR, IDAHO
PRELIMINARY PLAT



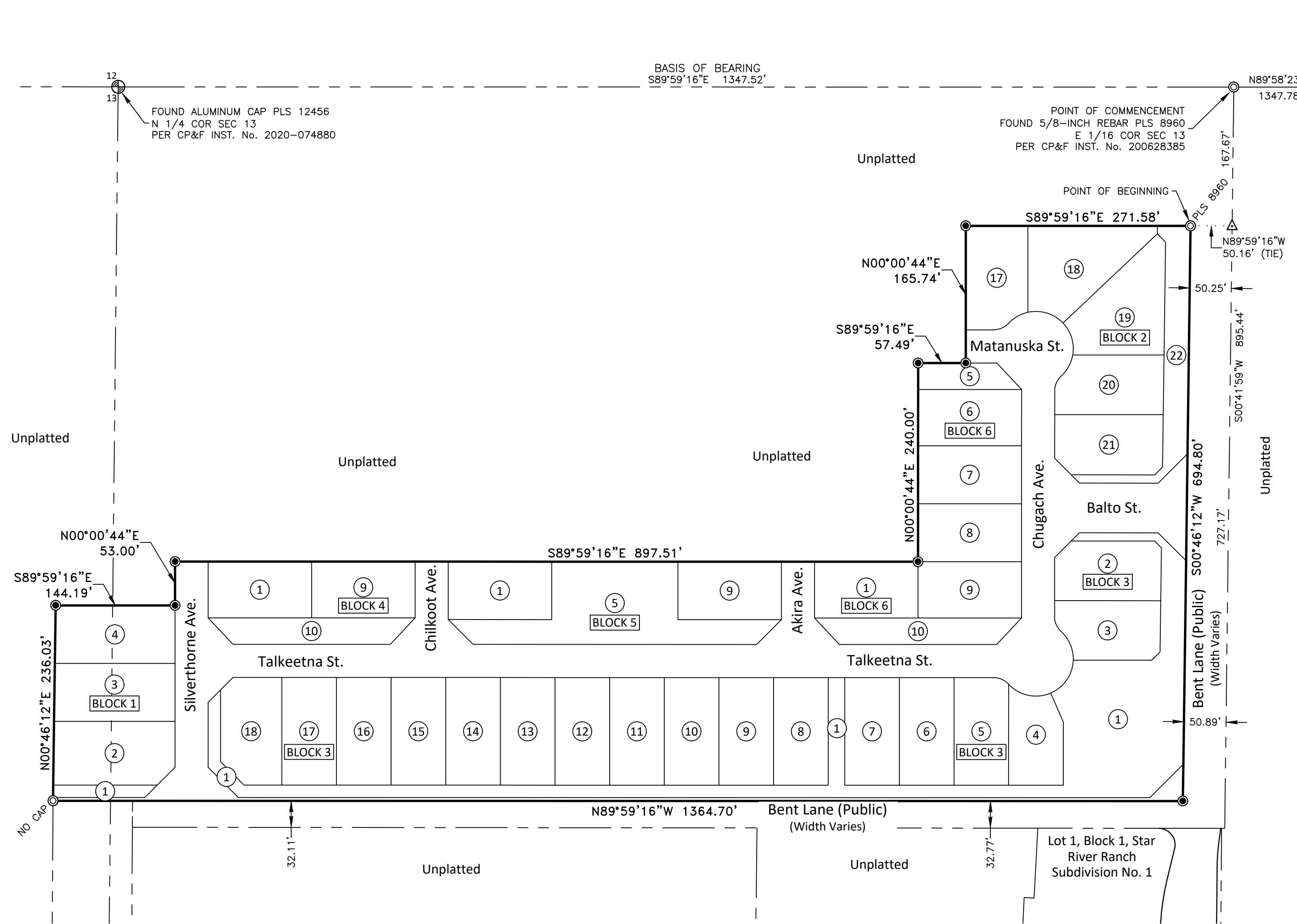
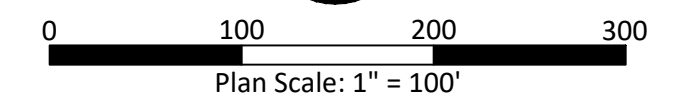
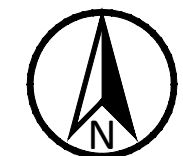
DATE: JULY 2023
PROJECT: 21-162
SHEET NO. PP4.1

SHEET INDEX

- SHEET 1 - PLAT BOUNDARY
- SHEET 2 - EAST HALF OF PLAT
- SHEET 3 - WEST HALF OF PLAT
- SHEET 4 - NOTES, CERTIFICATE OF OWNERS, CERTIFICATE OF SURVEYOR
- SHEET 5 - CERTIFICATES AND APPROVALS

PLAT OF LEGADO SUBDIVISION No. 1

A PARCEL OF LAND SITUATED IN THE NW 1/4 OF THE NE 1/4 AND THE NE 1/4 OF THE NW 1/4 OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CITY OF STAR, CANYON COUNTY, IDAHO.
2023



LEGEND

- FOUND ALUMINUM CAP, AS NOTED
- FOUND BRASS CAP, AS NOTED
- FOUND 5/8" REBAR AS NOTED
- SET 5/8" REBAR WITH PLASTIC CAP MARKED "RLW 19630"
- SET BRASS PLUG (WITH MAGNETIC INSERT) MARKED "RLW 19630"
- SET 1/2" REBAR WITH PLASTIC CAP MARKED "RLW 19630"
- CALCULATED POINT
- LOT NUMBER
- SUBDIVISION BOUNDARY LINE
- LOT LINE
- SECTION LINE
- CENTERLINE
- ADJACENT BOUNDARY LINE
- EASEMENT LINE
- SURVEY TIE LINE
- CP&F CORNER PERPETUATION AND FILING

REFERENCES

- R1. PLAT OF STAR RIVER RANCH SUBDIVISION No. 1, BOOK 48 OF PLATS AT PAGE 12, RECORDS OF CANYON COUNTY, IDAHO.
- R2. RECORD OF SURVEY PER INSTRUMENT No. 2006-49657, RECORDS OF CANYON COUNTY, IDAHO.
- R3. RECORD OF SURVEY PER INSTRUMENT No. 2009-016458, RECORDS OF CANYON COUNTY, IDAHO.
- R4. RECORD OF SURVEY PER INSTRUMENT No. 2013-051589, RECORDS OF CANYON COUNTY, IDAHO.
- R5. RECORD OF SURVEY PER INSTRUMENT No. 2005-48971, RECORDS OF CANYON COUNTY, IDAHO.

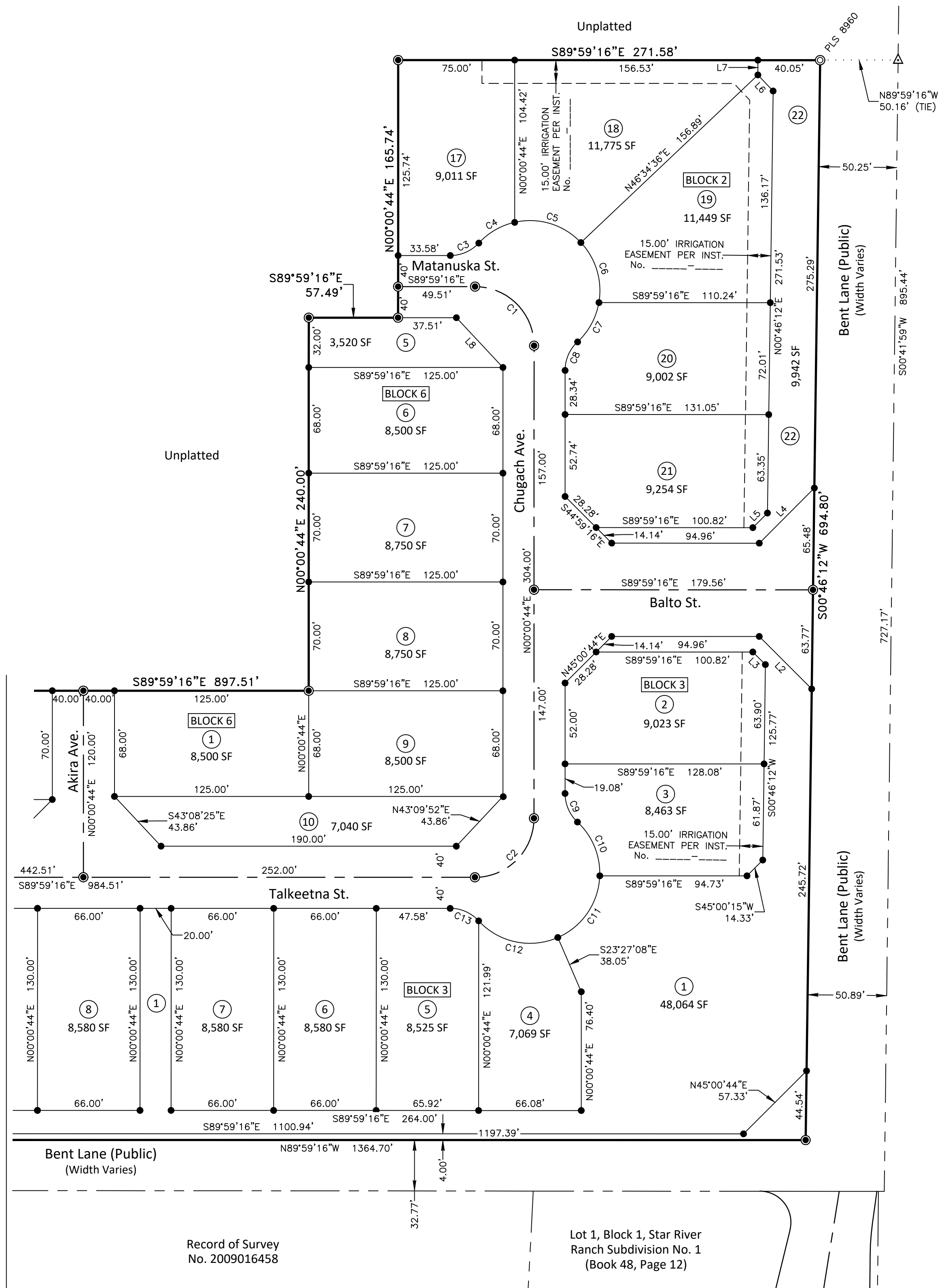
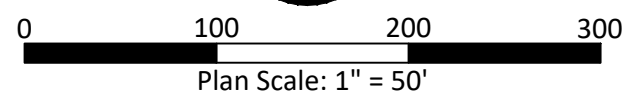
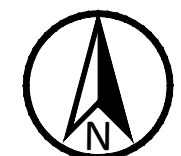
SURVEY NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE THE LAND SHOWN HEREON. THE SURVEY IS BASED UPON THE RETRACEMENT OF PLATS, SURVEYS AND DEEDS LISTED IN THE REFERENCES HEREON AND A FIELD SURVEY OF EXISTING MONUMENTATION. MONUMENTATION RECOVERED WAS FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE REFERENCES LISTED HEREON. ALL PROPERTY CORNERS WHERE MONUMENTS OF RECORD WERE NOT FOUND WERE SET/RESET AS SHOWN HEREON.

DEVELOPER
Bent Lane, LLC
BOISE, IDAHO



PLAT OF LEGADO SUBDIVISION No. 1



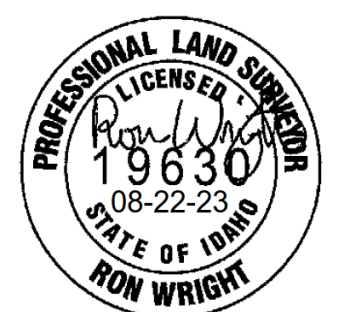
LINE TABLE		
LINE	BEARING	DISTANCE
L1	S44°59'16"E	51.62
L2	N44°59'16"W	47.75
L3	N44°59'16"W	11.47
L4	S45°00'44"W	50.16
L4	N45°00'44"E	42.43
L5	S45°00'44"W	13.29
L6	S43°25'24"E	14.23
L7	S00°00'44"W	9.51
L8	N43°08'25"W	43.86

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	38.00'	59.69'	90°00'00"	S44°59'16"E	53.74'
C2	38.00'	59.69'	90°00'00"	S45°00'44"W	53.74'
C3	25.00'	20.59'	47°11'09"	S66°25'09"W	20.01'
C4	45.00'	27.04'	34°26'00"	S60°02'35"W	26.64'
C5	45.00'	46.59'	59°19'01"	N7°30'45"W	44.53'
C6	45.00'	41.84'	53°16'17"	N16°47'16"W	40.35'
C7	45.00'	29.33'	37°21'00"	N28°31'23"E	28.82'
C8	25.00'	20.59'	47°11'09"	N23°36'18"E	20.01'
C9	25.00'	20.59'	47°11'09"	S23°34'51"E	20.01'
C10	45.00'	38.63'	49°11'23"	S22°34'44"E	37.46'
C11	45.00'	50.68'	64°31'54"	S34°16'55"W	48.05'
C12	45.00'	55.49'	70°39'01"	N78°07'38"W	52.04'
C13	25.00'	20.59'	47°11'09"	N66°23'42"W	20.01'

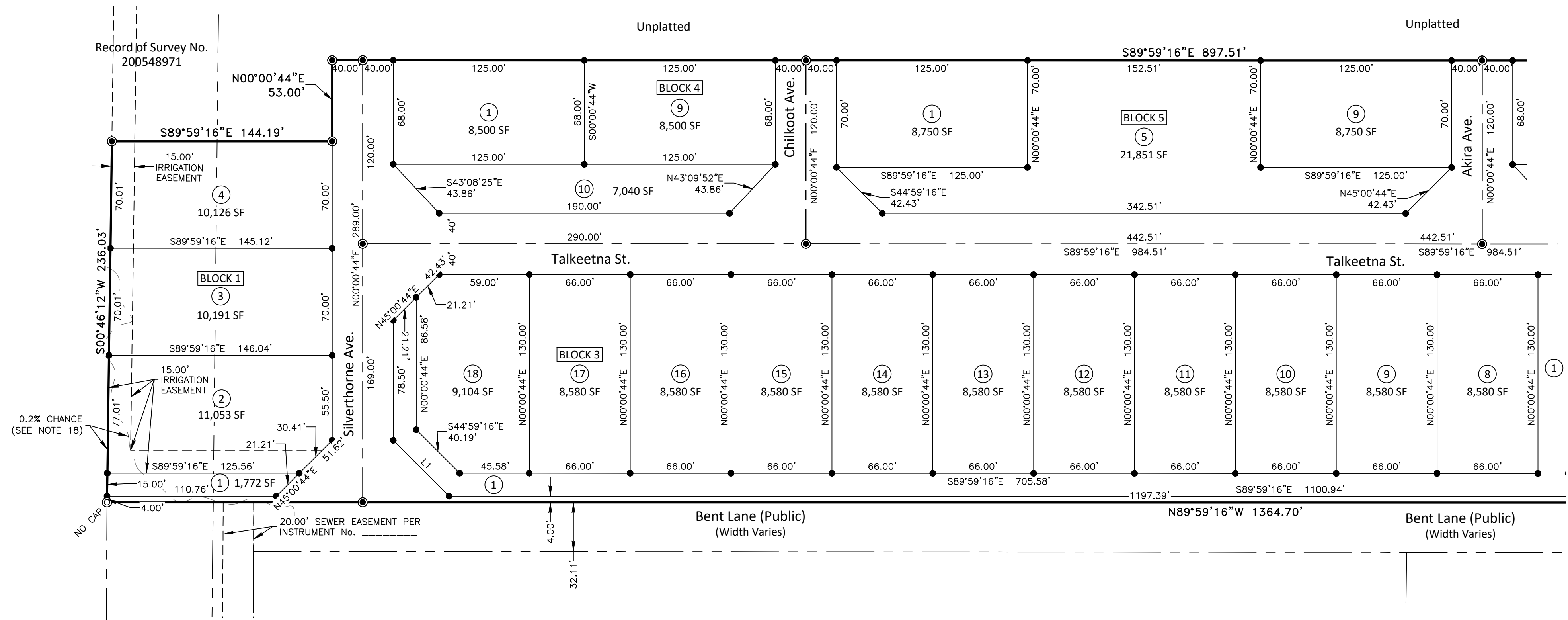
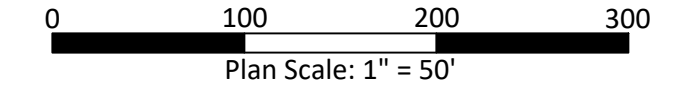
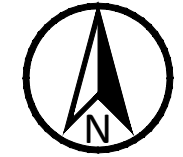
Record of Survey
No. 2009016458

Lot 1, Block 1, Star River
Ranch Subdivision No. 1
(Book 48, Page 12)

DEVELOPER
Bent Lane, LLC
BOISE, IDAHO



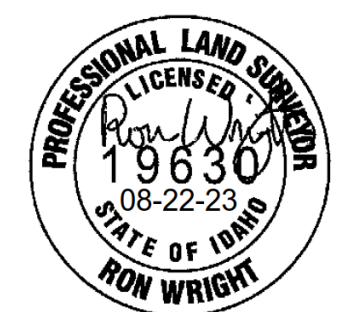
PLAT OF LEGADO SUBDIVISION No. 1



LINE TABLE		
LINE	BEARING	DISTANCE
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L2	N44°59'16"W	47.75
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L6	S43°25'24"E	14.23
L7	S00°00'44"W	9.51
L8	N43°08'25"W	43.86

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	38.00'	59.69'	90°00'00"	S44°59'16"E	53.74'
C2	38.00'	59.69'	90°00'00"	S45°00'44"W	53.74'
C3	25.00'	20.59'	47°11'09"	S66°25'09"W	20.01'
C4	45.00'	27.04'	34°26'00"	S60°02'35"W	26.64'
C5	45.00'	46.59'	59°19'01"	N73°04'55"W	44.53'
C6	45.00'	41.84'	53°16'17"	N16°47'16"W	40.35'
C7	45.00'	29.33'	37°21'00"	N28°31'23"E	28.82'
C8	25.00'	20.59'	47°11'09"	N23°36'18"E	20.01'
C9	25.00'	20.59'	47°11'09"	S23°34'51"E	20.01'
C10	45.00'	38.63'	49°11'23"	S22°34'44"E	37.46'
C11	45.00'	50.68'	64°31'54"	S34°16'55"W	48.05'
C12	45.00'	55.49'	70°39'01"	N78°07'38"W	52.04'
C13	25.00'	20.59'	47°11'09"	N66°23'42"W	20.01'

DEVELOPER
Bent Lane, LLC
BOISE, IDAHO



PLAT OF LEGADO SUBDIVISION No. 1

CERTIFICATE OF OWNERS

KNOW ALL MEN/WOMEN BY THESE PRESENTS: THAT THE UNDERSIGNED IS THE OWNER OF THE REAL PROPERTY HEREAFTER DESCRIBED.

A PARCEL OF LAND IN A PORTION OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CANYON COUNTY, IDAHO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND 5/8" REBAR MARKING THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 13, WHICH BEARS S89°59'16"E A DISTANCE OF 1,347.52 FEET FROM A FOUND ALUMINUM CAP MARKING THE NORTH 1/4 CORNER OF SAID SECTION 13;
THENCE ALONG THE EASTERLY LINE OF SAID NORTHWEST 1/4 OF THE NORTHEAST 1/4, S00°41'59"W A DISTANCE OF 167.67 FEET;
THENCE LEAVING SAID EASTERLY LINE, N89°59'16"W A DISTANCE OF 50.16 FEET TO A 5/8" REBAR ON THE NORTHEAST CORNER OF PARCEL 2 OF RECORD OF SURVEY INSTRUMENT No. 200649657, RECORDS OF CANYON COUNTY AND BEING THE POINT OF BEGINNING.

THENCE FOLLOWING THE EASTERLY BOUNDARY OF SAID PARCEL 2, S00°46'12"W A DISTANCE OF 694.80 FEET;
THENCE FOLLOWING THE SOUTHERLY BOUNDARY OF SAID PARCEL 2, N89°59'16"W A DISTANCE OF 1364.70 FEET TO A 5/8-INCH REBAR;
THENCE FOLLOWING THE WESTERLY BOUNDARY OF SAID PARCEL 2, N00°46'12"E A DISTANCE OF 236.03 FEET;
THENCE LEAVING SAID WESTERLY BOUNDARY, S89°59'16"E A DISTANCE OF 144.19 FEET;
THENCE N00°00'44"E A DISTANCE OF 53.00 FEET;
THENCE S89°59'16"E A DISTANCE OF 897.51 FEET;
THENCE N00°00'44"E A DISTANCE OF 240.00 FEET;
THENCE S89°59'16"E A DISTANCE OF 57.49 FEET;
THENCE N00°00'44"E A DISTANCE OF 165.74 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF SAID PARCEL 2;
THENCE FOLLOWING SAID NORTHERLY BOUNDARY, S89°59'16"E A DISTANCE OF 271.58 FEET TO THE POINT OF BEGINNING.

SAID DESCRIPTION CONTAINS A TOTAL OF 11.70 ACRES, MORE OR LESS, AND IS SUBJECT TO ALL EXISTING EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD OR IMPLIED.

IT IS THE INTENTION OF THE UNDERSIGNED TO HEREBY INCLUDE SAID LAND IN THIS PLAT. THE EASEMENTS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC BUT THE RIGHTS TO USE SAID EASEMENTS ARE HEREBY PERPETUALLY RESERVED FOR PUBLIC UTILITIES AND SUCH OTHER USES AS SHOWN ON THIS PLAT. NO STRUCTURES OTHER THAN FOR SUCH UTILITY AND OTHER DESIGNATED PUBLIC USES ARE TO BE ERRECTED WITHIN THE LIMITS OF SAID EASEMENTS UNLESS NOTED OTHERWISE ON THIS PLAT. THE UNDERSIGNED, BY THESE PRESENTS, DEDICATES TO THE PUBLIC FOREVER ALL PUBLIC STREETS AND RIGHTS-OF-WAYS AS SHOWN ON THIS PLAT. ALL LOTS WITHIN THIS PLAT WILL RECEIVE WATER SERVICE FROM AN EXISTING STAR SEWER AND WATER DISTRICT WATER SYSTEM, AND SAID DISTRICT HAS AGREED IN WRITING TO SERVE ALL OF THESE LOTS.

BRITTANY SOFRO, MANAGER,
BENT LANE, LLC

ACKNOWLEDGMENT

STATE OF IDAHO }
COUNTY OF } SS

THIS RECORD WAS ACKNOWLEDGED BEFORE ME ON _____, 2023, BY BRITTANY SOFRO, AS MANAGER OF BENT LANE, LLC.

SIGNATURE OF NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

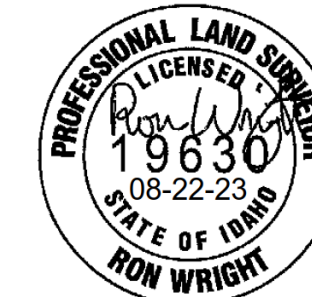
NOTES

- IRRIGATION WATER HAS BEEN PROVIDED FROM THE CANYON CANAL COMPANY IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805(1)(b). LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS AND WILL BE OBLIGATED FOR ASSESSMENTS FROM THE CANYON CANAL COMPANY.
- THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF".
- ANY RESUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF RESUBDIVISION.
- LOT 1 BLOCK 1, LOT 22 BLOCK 2, LOT 1 BLOCK 3, LOT 10 BLOCK 4, LOT 5 BLOCK 5, AND LOTS 5 & 10 BLOCK 6 ARE COMMON LOTS AND SHALL BE OWNED AND MAINTAINED BY THE SUBDIVISION HOMEOWNER'S ASSOCIATION. THESE COMMON LOTS ARE SUBJECT TO A BLANKET EASEMENT FOR PUBLIC UTILITIES, STORM DRAINAGE, IRRIGATION, AND SIDEWALK ACCESS.
- ALL LOT, PARCEL AND TRACT SIZES SHALL MEET THE DIMENSIONAL STANDARDS ESTABLISHED IN THE APPLICABLE ZONING ORDINANCE OR AS SPECIFICALLY APPROVED.
- THIS SUBDIVISION WILL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS THAT ARE TO BE FILED FOR RECORD AT THE CANYON COUNTY RECORDER'S OFFICE AND MAY BE AMENDED FROM TIME TO TIME.
- UNLESS SHOWN OTHERWISE AND EXCEPTING COMMON LOTS, ALL LOT LINES COMMON TO THE PUBLIC RIGHTS-OF-WAY CONTAIN A 23.00 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, STORM DRAINAGE, LOT DRAINAGE, IRRIGATION, AND SIDEWALKS AS SHOWN HEREON.
- UNLESS SHOWN OTHERWISE, ALL INTERIOR LOT LINES CONTAIN A 5.00 FOOT WIDE EASEMENT (EACH SIDE) FOR PUBLIC UTILITIES, LOT DRAINAGE AND IRRIGATION AS SHOWN HEREON.
- UNLESS SHOWN OTHERWISE, ALL REAR LOT LINES AND LINES ADJACENT TO THE SUBDIVISION BOUNDARY CONTAIN A 15.00 FOOT WIDE EASEMENT, FOR PUBLIC UTILITIES, LOT DRAINAGE AND IRRIGATION AS SHOWN HEREON.
- MINIMUM BUILDING SETBACK DIMENSIONS IN THIS SUBDIVISION SHALL CONFORM TO THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
- LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY.
- NO ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
- REFERENCE IS MADE TO THE PUBLIC HEALTH LETTER ON FILE REGARDING ADDITIONAL RESTRICTIONS.
- THE SUBDIVISION HOMEOWNER'S ASSOCIATION, UNDERLYING PROPERTY OWNER OR ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR ALL STORM DRAINAGE FACILITIES OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, INCLUDING ALL ROUTINE AND HEAVY MAINTENANCE.
- ALL LOTS WITHIN THIS PLAT WILL BE PROVIDED SEWER VIA A STAR SEWER AND WATER DISTRICT GRAVITY SEWER SYSTEM.
- THE HOMEOWNER'S ASSOCIATION OR ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING AND AND ALL AMENITIES (LAWNS, SPRINKLERS, SIDEWALKS, LANDSCAPING, ETC.) APPROVED BY THE DISTRICT TO BE WITHIN THE PUBLIC RIGHT-OF-WAY.
- DIRECT LOT ACCESS TO BENT LANE IS PROHIBITED.
- THIS SUBDIVISION LIES WITHIN FLOOD ZONE "AE" PER FEMA MAP NUMBER 16027C0259G. A SMALL PORTION IN THE SOUTHWEST CORNER OF THIS SUBDIVISION LIES WITHIN THE AREA OF 0.2% CHANCE FLOOD HAZARD AS SHOWN ON SHEET 3.

CERTIFICATE OF SURVEYOR

I, RON WRIGHT, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF IDAHO, AND THAT THIS PLAT OF LEGADO SUBDIVISION No. 1 AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" AND AS SHOWN ON THE ATTACHED PLAT, WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

RON WRIGHT, P.L.S. 19630



DEVELOPER
Bent Lane, LLC
BOISE, IDAHO



PLAT OF
LEGADO SUBDIVISION No. 1

CERTIFICATE AND APPROVAL OF COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR FOR CANYON COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE, TITLE 50, CHAPTER 13, RELATING TO PLATS AND SURVEYS.

CANYON COUNTY SURVEYOR

DATE

CERTIFICATE AND APPROVAL OF CANYON COUNTY COMMISSIONERS

I, THE UNDERSIGNED, CHAIRMAN OF THE CANYON COUNTY COMMISSIONERS, CANYON COUNTY, IDAHO, DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE COMMISSIONERS HELD ON THE _____ DAY OF _____, IN THE YEAR OF 20____, THIS PLAT WAS DULY ACCEPTED AND APPROVED.

CHAIRMAN

DATE

CLERK

DATE

CERTIFICATE AND APPROVAL OF CANYON HIGHWAY DISTRICT No. 4

CANYON HIGHWAY DISTRICT No. 4 DOES HEREBY ACCEPT THIS PLAT AND THE DEDICATED PUBLIC STREETS, HIGHWAYS AND RIGHTS-OF-WAY AS ARE DEPICTED ON THIS PLAT, IN ACCORDANCE WITH THE PROVISIONS OF IDAHO CODE 50-1312.

CHAIRMAN

DATE

CERTIFICATE AND APPROVAL OF THE COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF CANYON, IDAHO, PER THE REQUIREMENTS OF IDAHO STATE CODE, TITLE 50, CHAPTER 13, SECTION 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THE SUBDIVISION PLAT HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

CANYON COUNTY TREASURER

DATE

HEALTH CERTIFICATE

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED BASED ON A REVIEW BY A QUALIFIED LICENSED PROFESSIONAL ENGINEER (QLPE) REPRESENTING STAR SEWER AND WATER DISTRICT, AND THE QLPE APPROVAL OF THE DESIGN PLANS AND SPECIFICATIONS AND THE CONDITIONS IMPOSED ON THE DEVELOPER FOR CONTINUED SATISFACTION OF THE SANITARY RESTRICTIONS. BUYER IS CAUTIONED THAT AT THE TIME OF THIS APPROVAL, NO DRINKING WATER EXTENSIONS OR SEWER EXTENSIONS WERE CONSTRUCTED. BUILDING CONSTRUCTION CAN BE ALLOWED WITH APPROPRIATE BUILDING PERMITS IF DRINKING WATER EXTENSIONS OR SEWER EXTENSIONS HAVE SINCE BEEN CONSTRUCTED OR IF THE DEVELOPER IS SIMULTANEOUSLY CONSTRUCTING THOSE FACILITIES. IF THE DEVELOPER FAILS TO CONSTRUCT FACILITIES THEN THE SANITARY RESTRICTIONS MAY BE REIMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL, AND NO CONSTRUCTION OF ANY BUILDING OR SHELTER REQUIRING DRINKING WATER OR SEWER/SEPTIC FACILITIES SHALL BE ALLOWED.

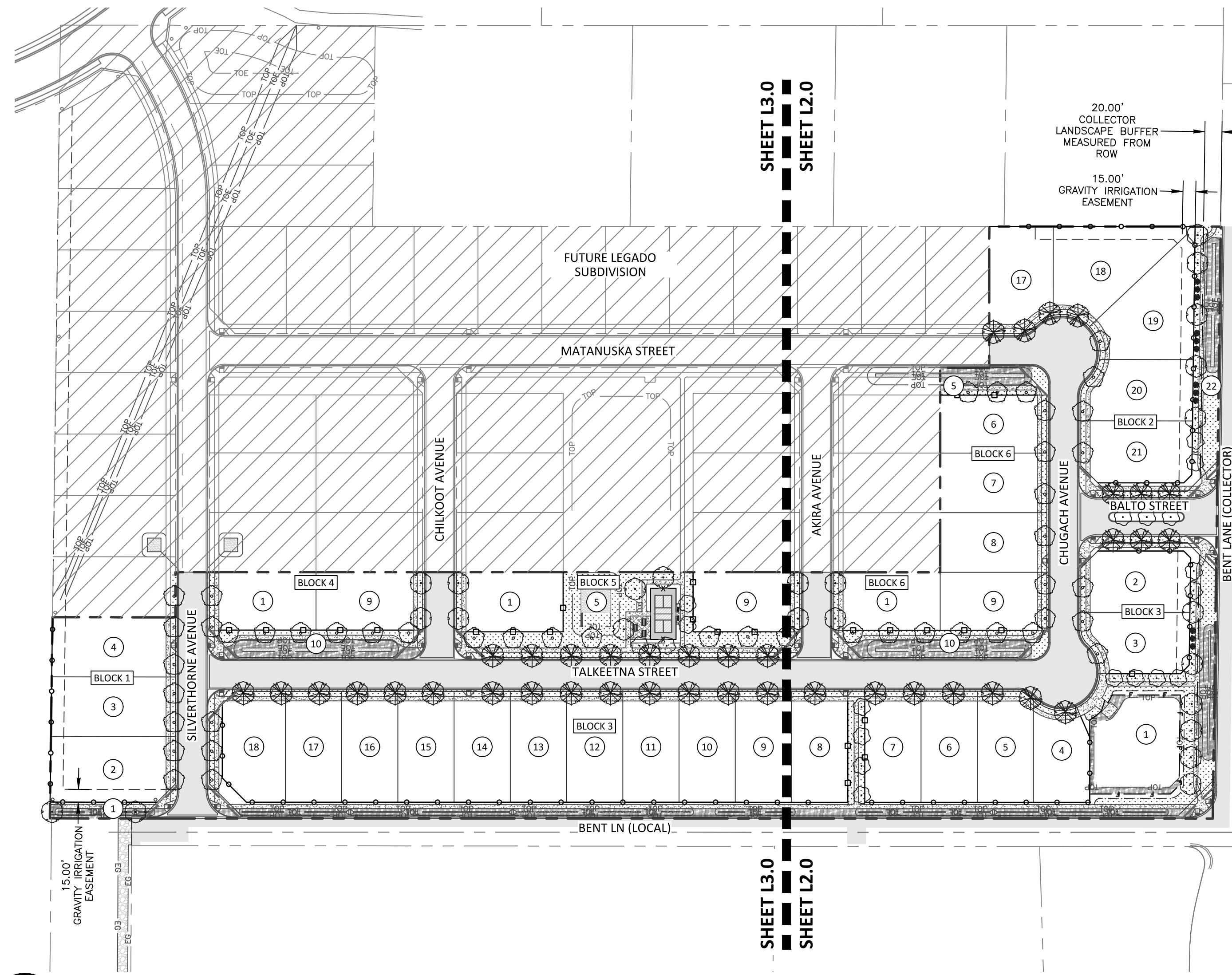
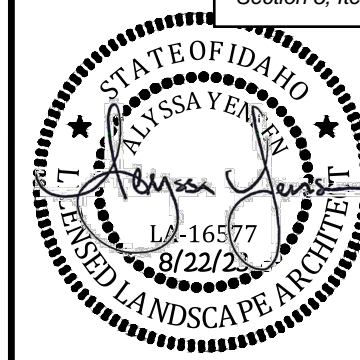
SOUTHWEST DISTRICT
HEALTH DEPARTMENT

DATE

DEVELOPER
Bent Lane, LLC
BOISE, IDAHO



km
ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmengllp.com



GENERAL LANDSCAPE NOTES

- 1. VERIFICATION OF TOTAL LANDSCAPE MATERIAL QUANTITIES AS SHOWN ON THIS LANDSCAPE PLAN AND IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. IF QUANTITIES LISTED DO NOT CORRELATE WITH WHAT IS SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. THIS INCLUDES, BUT IS NOT LIMITED TO TREE, SHRUB, ROCK, TOPSOIL, MULCH, SEED OR SOD, EDGING, AND DRIP LINE QUANTITIES.
2. IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE LANDSCAPE ARCHITECT OF AVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. IF A SPECIFIED PLANT IS NOT AVAILABLE, THE LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
3. CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD UTILITIES WITHIN CONTRACT WORK AREAS PRIOR TO CONSTRUCTION. CONTACT DIG LINE, INC. @ 1.800.342.1885. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
4. PROVIDE REQUIRED SOIL EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONTRACT PERIOD. SHOULD THERE BE EXISTING SOIL EROSION CONDITIONS THAT REQUIRE MITIGATION, NOTIFY THE RESPONSIBLE PERSON IMMEDIATELY. FAILURE TO NOTIFY THE RESPONSIBLE PERSON IMPLIES ACCEPTANCE OF THE SITE IN ITS EXISTING CONDITION.
5. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIAL SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC., SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FINISH GRADES TO BE SMOOTH AND EVEN. GRADIENTS TO REMOVE LOW AND HIGH POINTS AND TO PROVIDE POSITIVE DRAINAGE.
6. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL, AS PER SPECIFICATIONS. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. REUSE EXISTING SURFACE TOPSOIL IF AVAILABLE.
7. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, OR OTHER FOREIGN MATERIALS AND A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTORS ARE RESPONSIBLE TO EITHER: PROVIDE APPROVED IMPORTED TOPSOIL OR, AMEND THE ON-SITE TOPSOIL.
8. TOPSOIL DEPTHS SHALL BE AS FOLLOWS (WHERE APPLICABLE): LAWN AREAS - 6" MIN.; PLANTER BEDS - 12" MIN.; CURB ISLANDS - 18" MIN. ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE.
9. FINISH GRADES FOR LANDSCAPE AREAS TO BE SMOOTH AND EXISTING POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN. SLOPES FOR TURF AREAS SHALL NOT EXCEED 3:1.
10. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
11. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN HEALTHY GROWING CONDITION.
12. ALL WRAPPING MATERIAL SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PORTION OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING.
13. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN HEALTHY CONDITION IMMEDIATELY WITH COMPARABLE SIZE AND SPECIES AT NO COST TO THE OWNER.
14. FERTILIZE ALL TREES AND SHRUBS WITH AGRIFORM PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
15. CONTRACTOR'S MAINTENANCE SHALL INCLUDE:
- PRUNING, CULTIVATING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE UNTIL FINAL ACCEPTANCE BY OWNER.
- RE-SET SETTLED PLANTS TO A PROPER GRADE AND POSITION.
- RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE AND REPLACE DEAD MATERIAL.
- TIGHTEN AND REPAIR GUY WIRES AND STAKES AS REQUIRED ONLY IF ORIGINALLY NEEDED.
- CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOMES APPARENT AND WEATHER AND SEASON PERMIT.
16. FERTILIZE ALL TREES AND SHRUBS WITH AGRIFORM PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
17. CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVES UNDER ALL ROADWAY, PARKING, AND WALKWAY SURFACES. EXTEND 6" MINIMUM BEYOND SURFACE EDGE. IDENTIFY ENDPNTS OF SLEEVING.
18. ALL IRRIGATION HEADS LOCATED ADJACENT TO ROAD SURFACES NOT PROTECTED BY A VERTICAL CONCRETE CURB SHALL BE PLACED 18" FROM THE EDGE OF THE ROAD SURFACE.
19. WHERE APPLICABLE, CONTRACTOR IS RESPONSIBLE TO PROVIDE 120 VOLT POWER AND ALL REQUIRED CIRCUITS FROM THE ELECTRICAL PANEL TO THE IRRIGATION CONTROLLER. SIZE WIRE AND CONDUIT AS REQUIRED.
20. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION, INCLUDING ADJACENT PROPERTIES. REPAIR INCLUDES BUT IS NOT LIMITED TO PIPING, VALVES, HEADS, DRIP COMPONENTS, CONTROL WIRES AND EQUIPMENT, AND SLEEVES. IF APPLICABLE, IRRIGATION CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT.
21. CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTORS FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COURSE OF CONSTRUCTION.
22. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR DISCREPANCIES BETWEEN DESIGN DRAWINGS AND ACTUAL SITE CHARACTERISTICS. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION PROVIDED ON DRAWINGS. CONTRACTOR SHALL STOP CONSTRUCTION AND CONTACT THE OWNER IMMEDIATELY FOR FURTHER DIRECTION IF DISCREPANCIES OCCUR.
23. UPON COMPLETION, AND PRIOR TO FINAL PAYMENT, THE IRRIGATION CONTRACTOR SHALL PROVIDE A NEAT AND LEGIBLE AS-CONSTRUCTED IRRIGATION PLAN, AN OPERATION AND MAINTENANCE MANUAL, AND UP TO (8) HOURS OF ORIENTATION AND/OR TRAINING FOR THE OWNERS MAINTENANCE AND OPERATIONS STAFF.
24. THE ENTIRE SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ITS ACCEPTANCE. REPAIR OR REPLACEMENT OF ANY DEFECTS OCCURRING WITHIN THAT YEAR SHALL BE COMPLETED PROMPTLY BY THE IRRIGATION CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
25. CONTRACTOR SHALL PROVIDE, AT NO ADDITIONAL COST TO THE OWNER, SPRING START UP AND WINTERIZATION DURING THE GUARANTEE PERIOD.

GENERAL IRRIGATION NOTES

PLANT SCHEDULE SEE L2.0 FOR FULL PLANT SCHEDULE

Table with columns: DECIDUOUS TREES, CODE, QTY, BOTANICAL / COMMON NAME. Includes plants like ACER TRUNCATUM 'PACIFIC SUNSET' TM, CERCIS CANADENSIS, GLEDITSIA TRIACANTHOS 'SKYLINE', etc.

LANDSCAPE COVER



CONTACT INFORMATION
OWNER: BENT LN, LLC
LANDSCAPE CONSULTANT: KM ENGINEERING, LLP
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE: (208) 639-6939
FAX: (208) 639-6930
CONTACT: ALYSSA YENSEN, PLA
EMAIL: oyensen@kmenlpl.com

NOTE: CALCULATIONS SHOWN BELOW ARE TO DETERMINE THE REQUIRED NUMBER OF TREES PER CITY OF STAR JUDC AND ARE NOT OPEN SPACE CALCULATIONS. REFER TO THE OPEN SPACE EXHIBIT FOR OFFICIAL QUALIFIED OPEN SPACE CALCULATIONS.

COMMON LOT TREE REQUIREMENTS (1 TREE/4000 SF). Table with columns: BLOCK #, LOT #, LOT AREA (SF), QUALIFIED AREA (SF), REQ, PRVD.

TOTAL OPEN SPACE TREES: 19 REQ, 24 PRVD. LANDSCAPE BUFFER REQUIREMENTS ALONG COLLECTOR PER 100 LF: (2) SHADE TREES AND (2) EVERGREEN TREES.

STREET TREE CALCULATIONS (1 TREE/35 LF). Table with columns: STREET NAME, LF, CALCULATION, REQ, PRVD. Streets include MATANUSKA STREET, BALTO STREET, CHUGACH AVENUE, etc.

TOTAL STREET TREES: 115 REQ, 117 PRVD. TOTAL TREES REQUIRED/PROVIDED: 134 REQ, 141 PRVD.

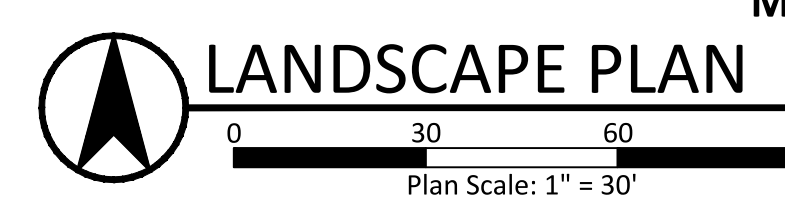
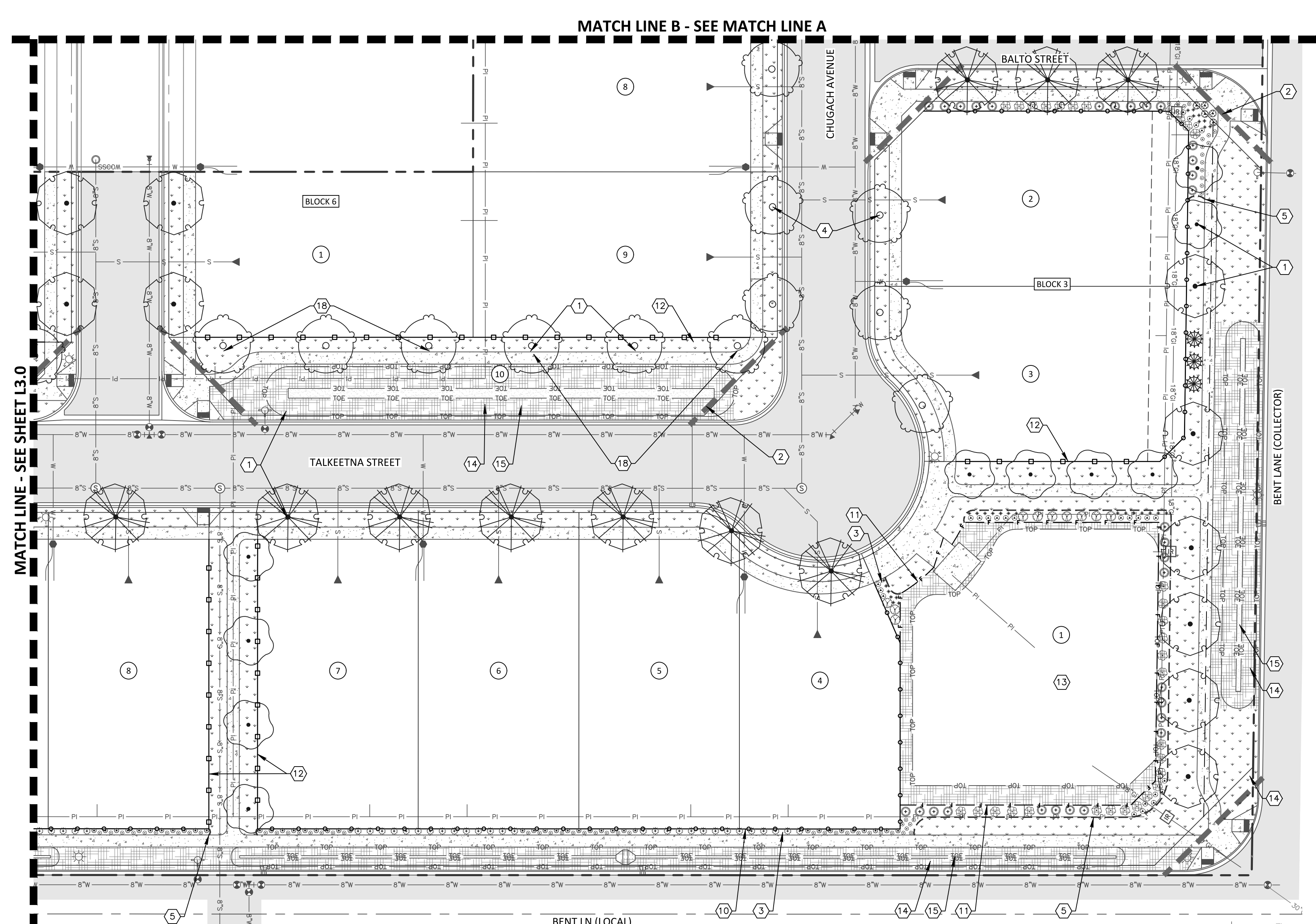
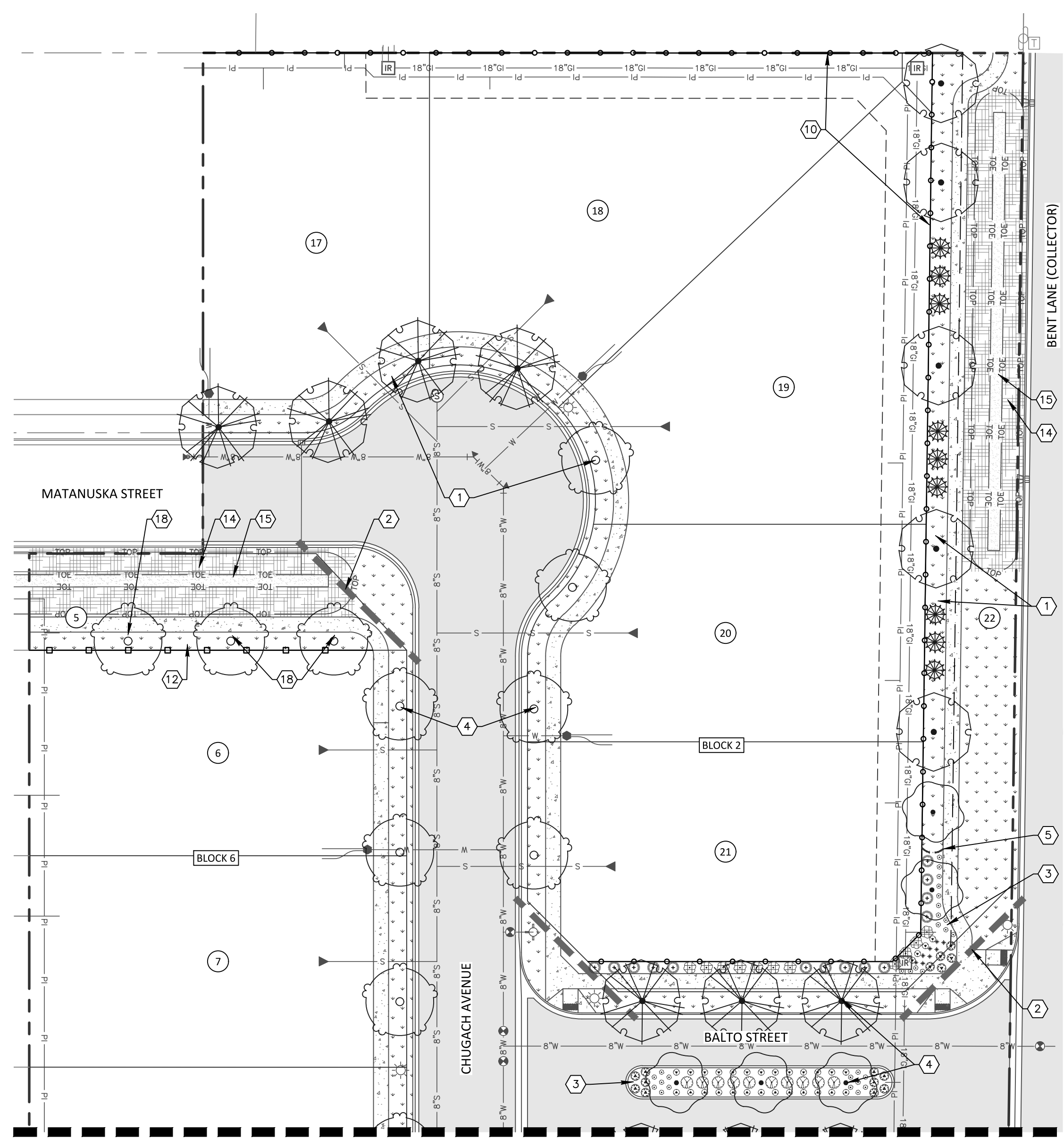
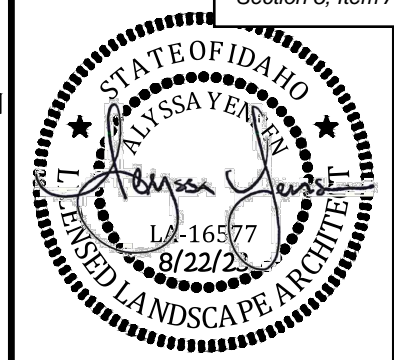
REVISIONS table with columns: NO., ITEM, SUBDIVISION NAME, DATE, REVISIONS.

LEGADO SUBDIVISION NO.1
STAR, IDAHO
LANDSCAPE COVER



DESIGN BY: WHB
DRAWN BY: WHB
CHECKED BY: AY
DATE: 7/26/23
PROJECT: 23-104

SHEET NO. L1.0



PLANT SCHEDULE										
DECIDUOUS TREES					GRASSES					
CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE HXW	CLASS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE HXW
AP2	24	ACER TRUNCATUM 'PACIFIC SUNSET' TM PACIFIC SUNSET MAPLE	2" CAL. B&B	35'X30'	CLASS II	CK3	84	CALAMAGROSIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	1 GAL.	4'X2'
CC	19	CERCIS CANADENSIS EASTERN REDBUD	2" CAL. B&B	30'X25'	CLASS I	PA	76	PENNISETUM ALOPECUROIDES 'LEMON SQUEEZE' LEMON SQUEEZE FOUNTAIN GRASS	1 GAL.	3'X2'
GS2	47	GLEDITSIA TRIACANTHOS 'SKYLINE' SKYLINE HONEYLOCUST	2" CAL. B&B	35'X30'	CLASS II	AP5	25	PERENNIALS		
TG	39	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	2" CAL. B&B	45'X35'	CLASS II	RL	136	PHLOX SUBULATA 'RED WINGS' RED WINGS CREEPING PHLOX	1 GAL.	.5'X3'
CK	12	CEDRUS DEODARA 'KARL FUCHS' FUCHS DEDDAR CEDAR	6"-8" B&B	15'X8"	EVERGREEN	SL	51	RUDBECKIA FULGIDA 'LITTLE GOLDSTAR' LITTLE GOLDSTAR BLACK-EYED SUSAN	1 GAL.	1.5'X1.5'
BG	124	BUXUS X 'GREEN MOUNTAIN' GREEN MOUNTAIN BOXWOOD	2 GAL.	5'X3'		NV4	27,457 SF	SALVIA X SYLVESTRIS 'LITTLE NIGHT' LITTLE NIGHT SALVIA	1 GAL.	1'X1.5'
CI2	33	CORNUS ALBA 'CRIMZAM' CREME DE MINT DOGWOOD	2 GAL.	4'X4'		TR	69,083 SF	PERENNIALS		
HL2	65	HYDRANGEA PANICULATA 'LITTLE LIME' LITTLE LIME HYDRANGEA	2 GAL.	4'X4'				GRASSES		
JM	54	JUNIPERUS X PFITZERIANA 'MONSAN' SEA OF GOLD® PFITZER JUNIPER	2 GAL.	3'X4'				PERENNIALS		

- KEY NOTES (TYPICAL) (#)**
- INSTALL 3' DIAMETER SHOVEL CUT TREE RING, WITH BARE EARTH SURFACE AT ALL TREES WITHIN TURF AREAS.
 - 40' CLEAR VISION TRIANGLE. NO TREES SHALL BE PLANTED WITHIN A CLEAR VISION TRIANGLE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUND COVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE 3' FROM THE ADJACENT STREET GRADE.
 - ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH ORGANIC PERMABARK (ROCK) MULCH WITH PERMEABLE FABRIC WEED BARRIER. SUBMIT SAMPLE TO OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLING. THE USE OF MULCH OR ROCK AS THE ONLY GROUND COVER IN REQUIRED PLANTING AREAS IS PROHIBITED. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED.
 - TREES PLANTED IN PARK STRIPS AND MEDIAN ISLAND TO BE CENTERED IN STRIP.
 - INSTALL FLAT-BLADE SHOVEL EDGING AT INTERFACE OF SOD AND PLANTER BED. SEE L4.0-02.
 - SURFACE MOUNTED DUMOR BACKLESS BENCH. COLOR BLACK. PRODUCT NUMBER 144-60 OR APPROVED EQUAL. SEE L4.0-05.
 - SURFACE MOUNTED DUMOR BIKE RACK. COLOR BLACK. PRODUCT NUMBER 290-00/2-2 OR APPROVED EQUAL. SEE L4.0-03.
 - PICKLEBALL COURT. SEE L4.0-06, L4.0-07, AND L4.0-08 FOR LAYOUT, SURFACE COATING, POSTS AND NET.
 - 4' HEIGHT POWDER COATED BLACK METAL PICKLEBALL FENCE OR APPROVED EQUAL. SEE L4.0-09.
 - 6' HEIGHT TAN VINYL PRIVACY FENCE OR APPROVED EQUAL. CONTRACTOR TO SUBMIT COLOR SAMPLE TO OWNER FOR APPROVAL. SEE L5.0 FENCE PLAN.
 - 6' HEIGHT POWDER COATED BLACK OPEN VISION METAL FENCE OR APPROVED EQUAL. CONTRACTOR TO SUBMIT SAMPLE TO OWNER FOR APPROVAL. SEE L5.0 FENCE PLAN.
 - 6' HEIGHT LATTICE TOP FENCE OR APPROVED EQUAL. CONTRACTOR TO SUBMIT SAMPLE TO OWNER FOR APPROVAL. SEE L5.0 FENCE PLAN.
 - GRAVITY IRRIGATION POND. SEE CIVIL PLANS.
 - BIORETENTION SWALE. CONTRACTOR SHALL NOT INSTALL TURF GRASS OVER SAND WINDOW. SEE CIVIL PLANS FOR INSTALLATION DETAILS.
 - SAND WINDOW. CONTRACTOR SHALL NOT INSTALL TURF GRASS OVER SAND WINDOW. SEE CIVIL PLANS FOR INSTALLATION DETAILS.
 - 4'X4' SCORED CONCRETE. SCORE AS SHOWN ON PLAN. ALL CONCRETE SHALL BE BROOM FINISHED OR APPROVED EQUAL. SEE L4.0-10 AND CIVIL PLANS.
 - SURFACE MOUNTED DUMOR STEEL PICNIC TABLE. COLOR BLACK. PRODUCT NUMBER 299-60HS OR APPROVED EQUAL. SEE L4.0-04.
 - TREES PLANTED ON HILLSIDE TO BE RETAINED WITH NATIVE BACKFILL. SEE L4.0-11.

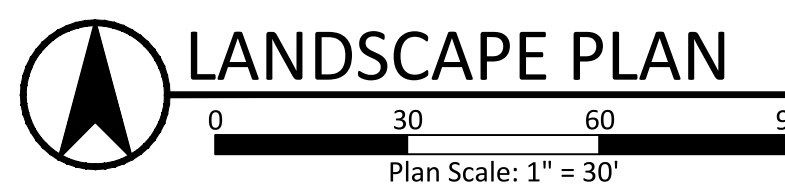
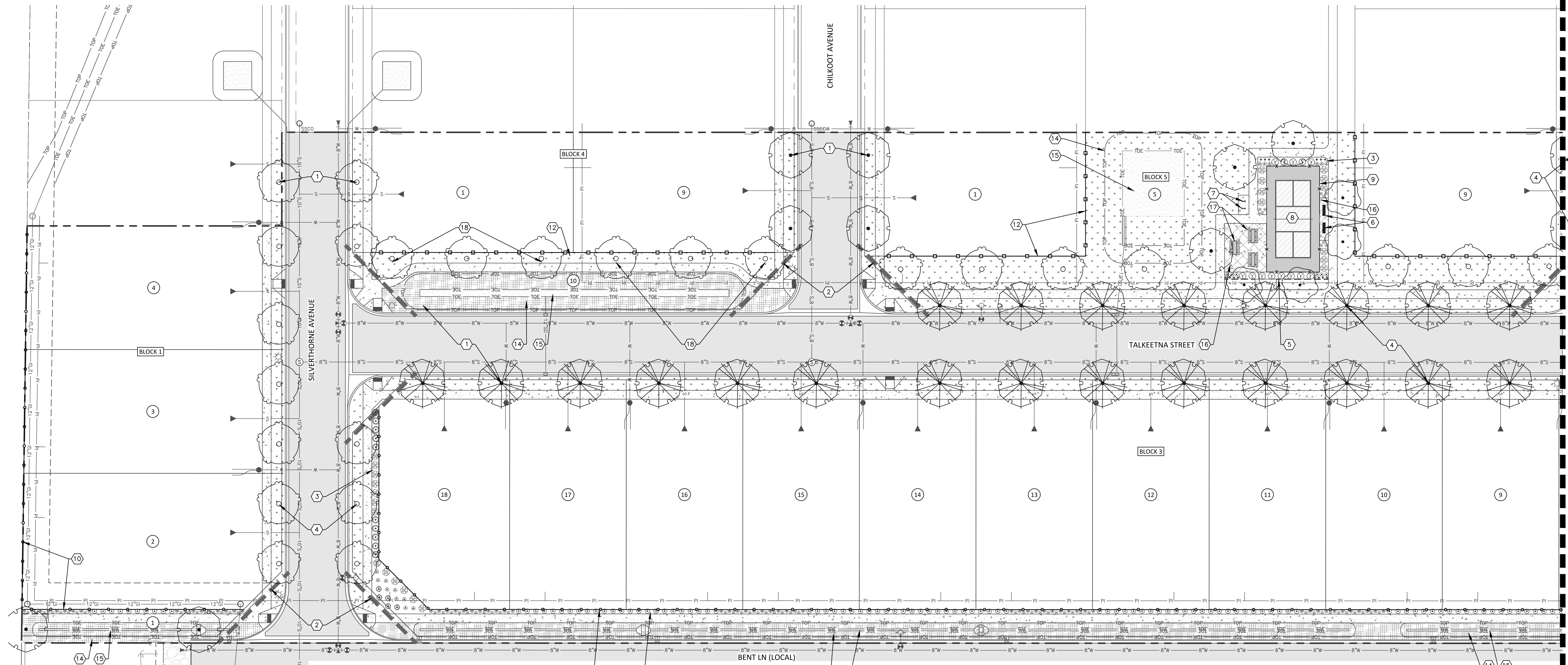
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NO.	DATE
1	8/22/23
SUBDIVISION NAME CHANGE	

LEGADO SUBDIVISION NO.1
STAR, IDAHO
LANDSCAPE PLAN



DESIGN BY:	WHB
DRAWN BY:	WHB
CHECKED BY:	AY
DATE:	7/26/23
PROJECT:	23-104

SHEET NO. L2.0



PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE HXW	CLASS
	AP2	24	ACER TRUNCATUM 'PACIFIC SUNSET' TM PACIFIC SUNSET MAPLE	2" CAL. B&B	35'x30'	CLASS II
	CC	19	CERCIS CANADENSIS EASTERN REDBUD	2" CAL. B&B	30'x25'	CLASS I
	GS2	47	GLEDITSIA TRIACANTHOS 'SKYLINE' SKYLINE HONEYLOCUST	2" CAL. B&B	35'x30'	CLASS II
	TG	39	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	2" CAL. B&B	45'x35'	CLASS II
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE HXW	CLASS
	CK	12	CEDRUS DEODARA 'KARL FUCHS' FUCHS DEODAR CEDAR	6"-8" B&B	15'x8"	EVERGREEN
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE HXW	
	BG	124	BUXUS X 'GREEN MOUNTAIN' GREEN MOUNTAIN BOXWOOD EVERGREEN	2 GAL.	5'x3'	
	CI2	33	CORNUS ALBA 'CRIMZAM' CREME DE MINT DOGWOOD	2 GAL.	4'x4'	
	HL2	65	HYDRANGEA PANICULATA 'LITTLE LIME' LITTLE LIME HYDRANGEA	2 GAL.	4'x4'	
	JM	54	JUNIPERUS X PFITZERIANA 'MONSAN' SEA OF GOLD PFITZER JUNIPER	2 GAL.	3'x4'	

KEY NOTES (TYPICAL) (#)

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NO.	REVISIONS	DATE
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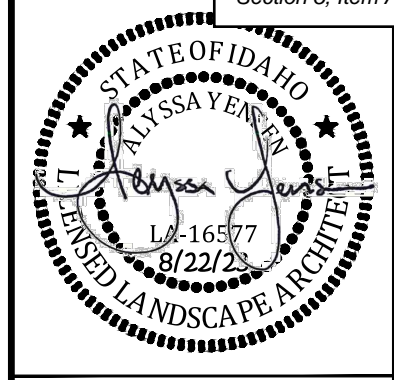
LEGADO SUBDIVISION NO.1
STAR, IDAHO
LANDSCAPE PLAN



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DRAWN BY:	WHB
CHECKED BY:	AY
DATE:	7/26/23
PROJECT:	23-104

SHEET NO. L3.0

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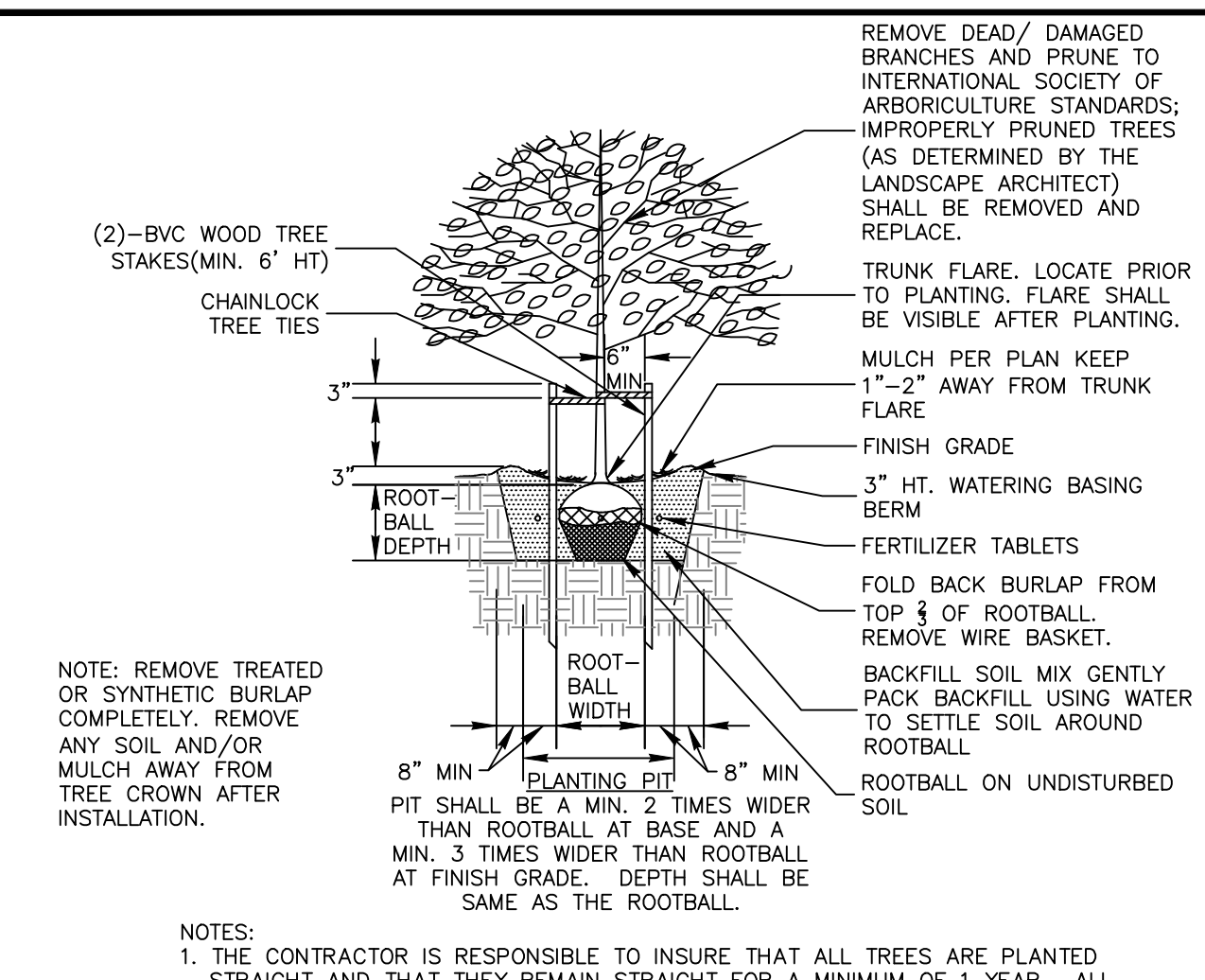
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1	8/22/23	SUBDIVISION NAME CHANGE

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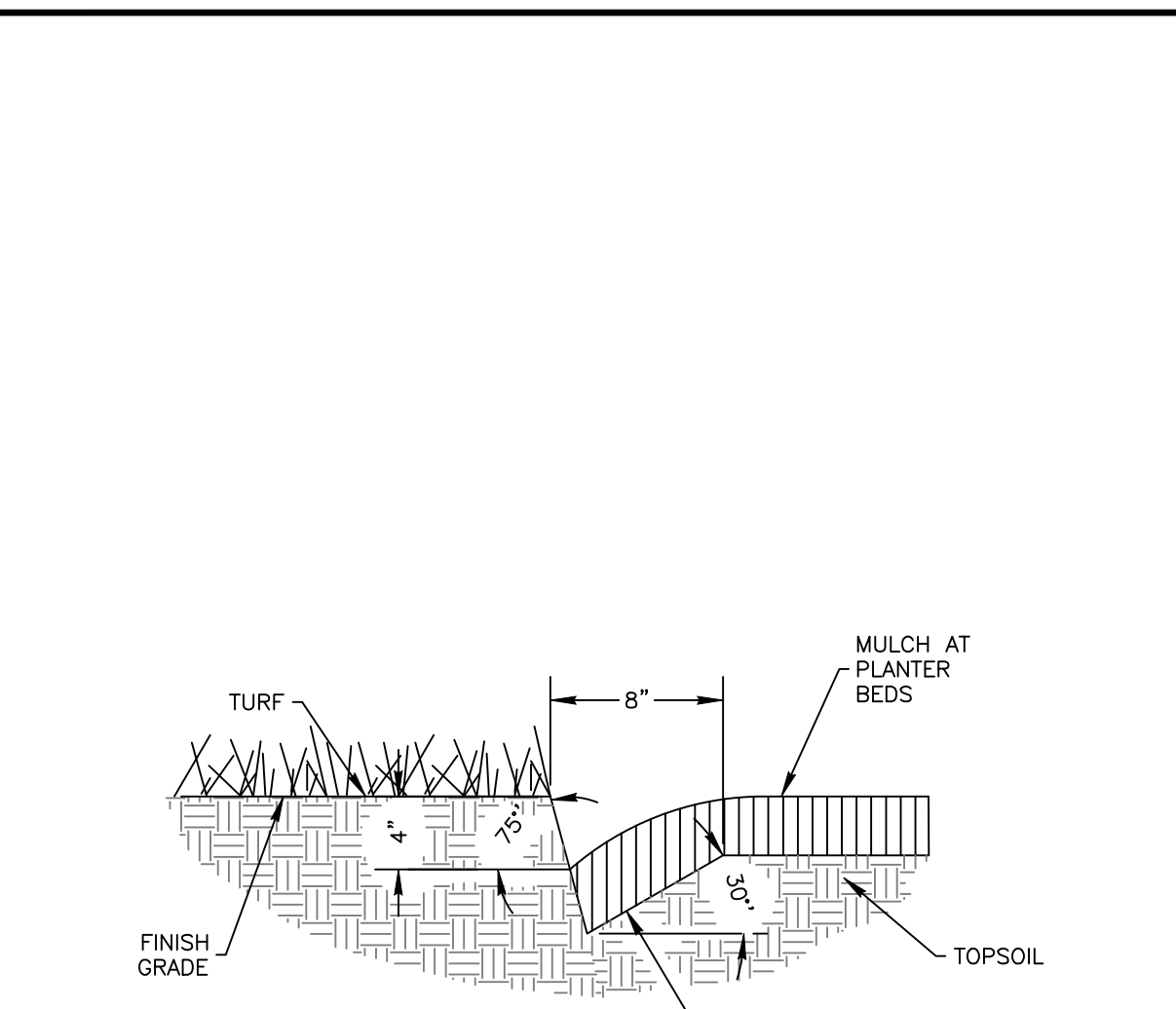


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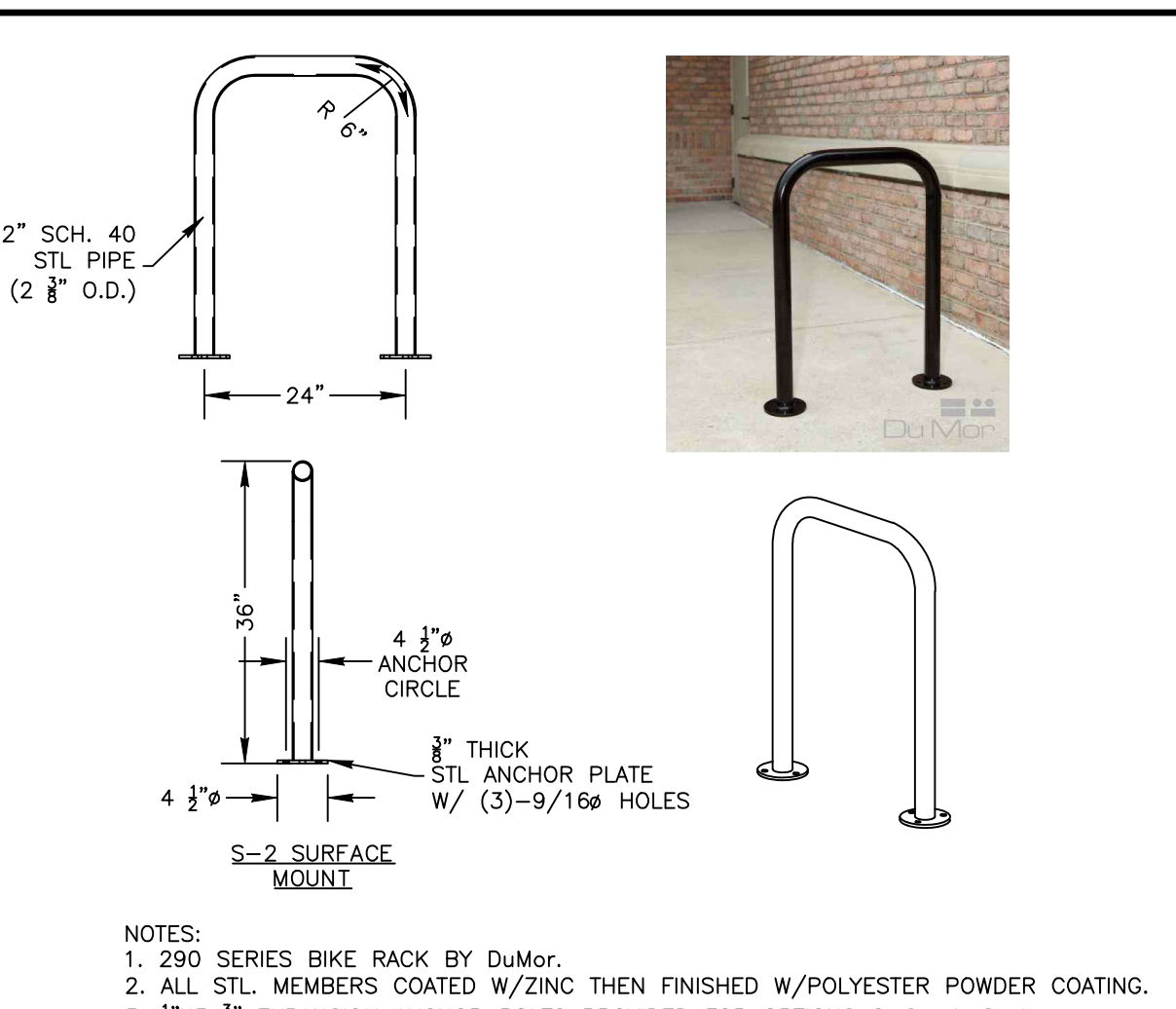
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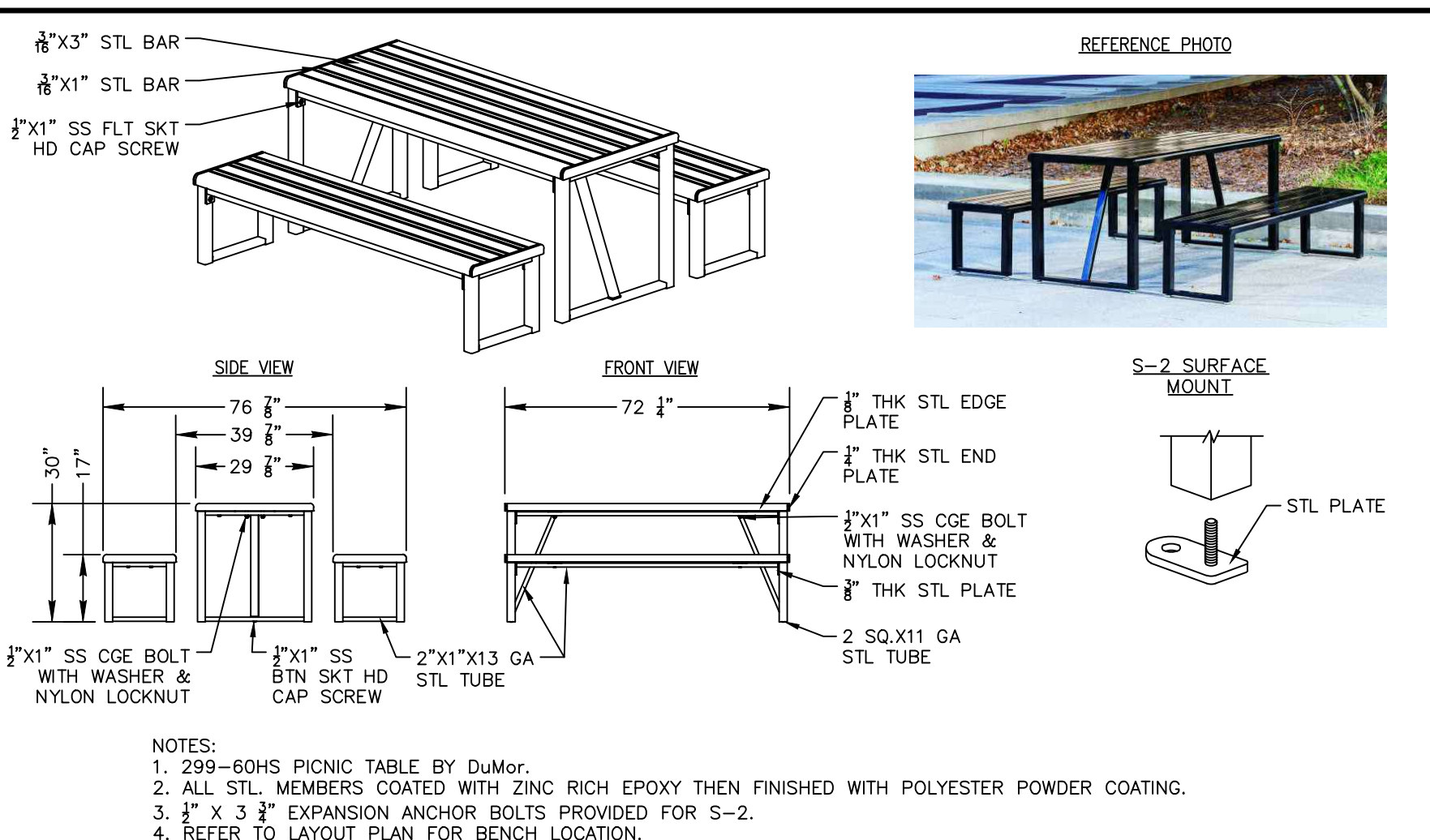
01 DECIDUOUS TREE PLANTING AND STAKING DETAIL NTS



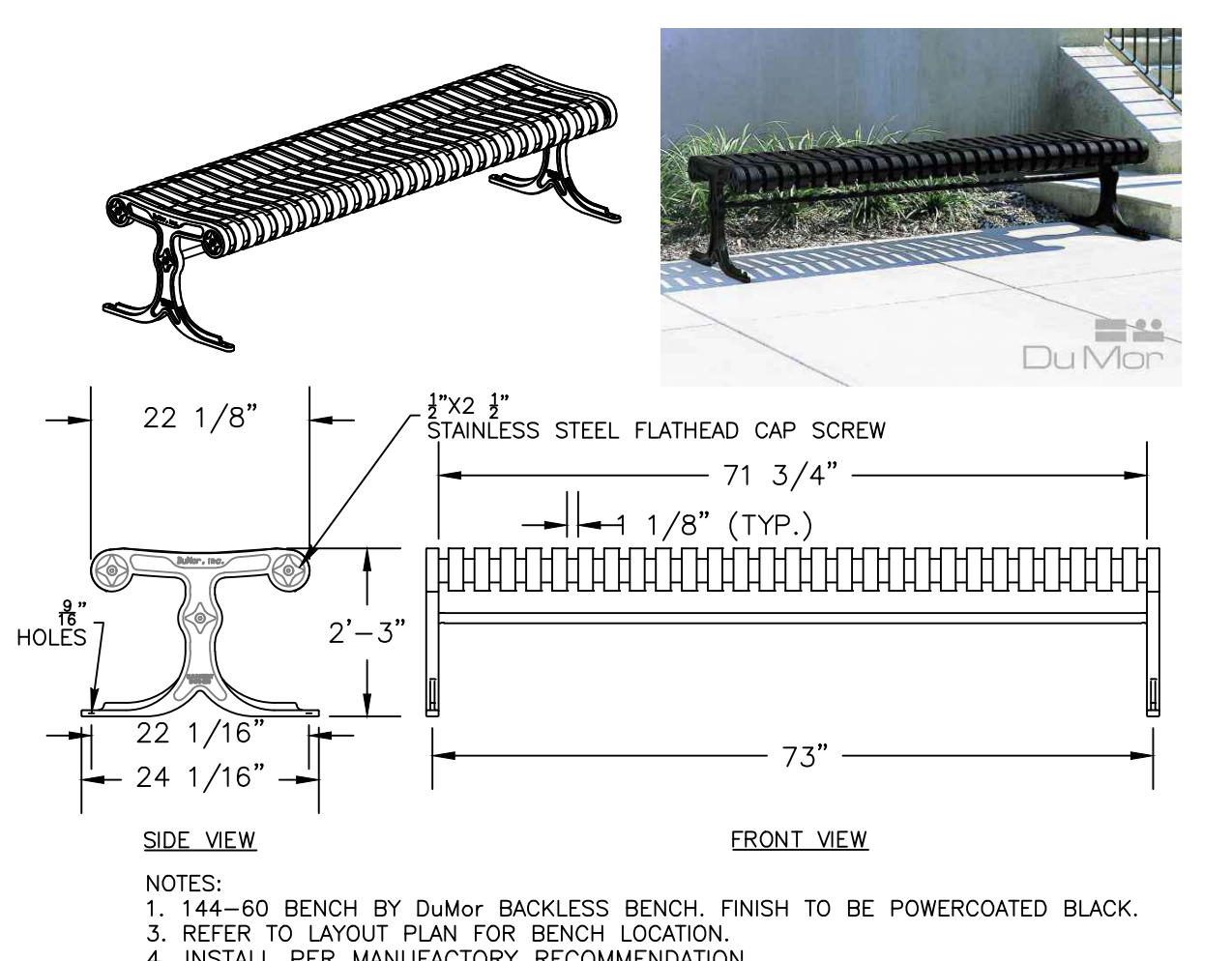
02 SHOVEL CUT EDGE NTS



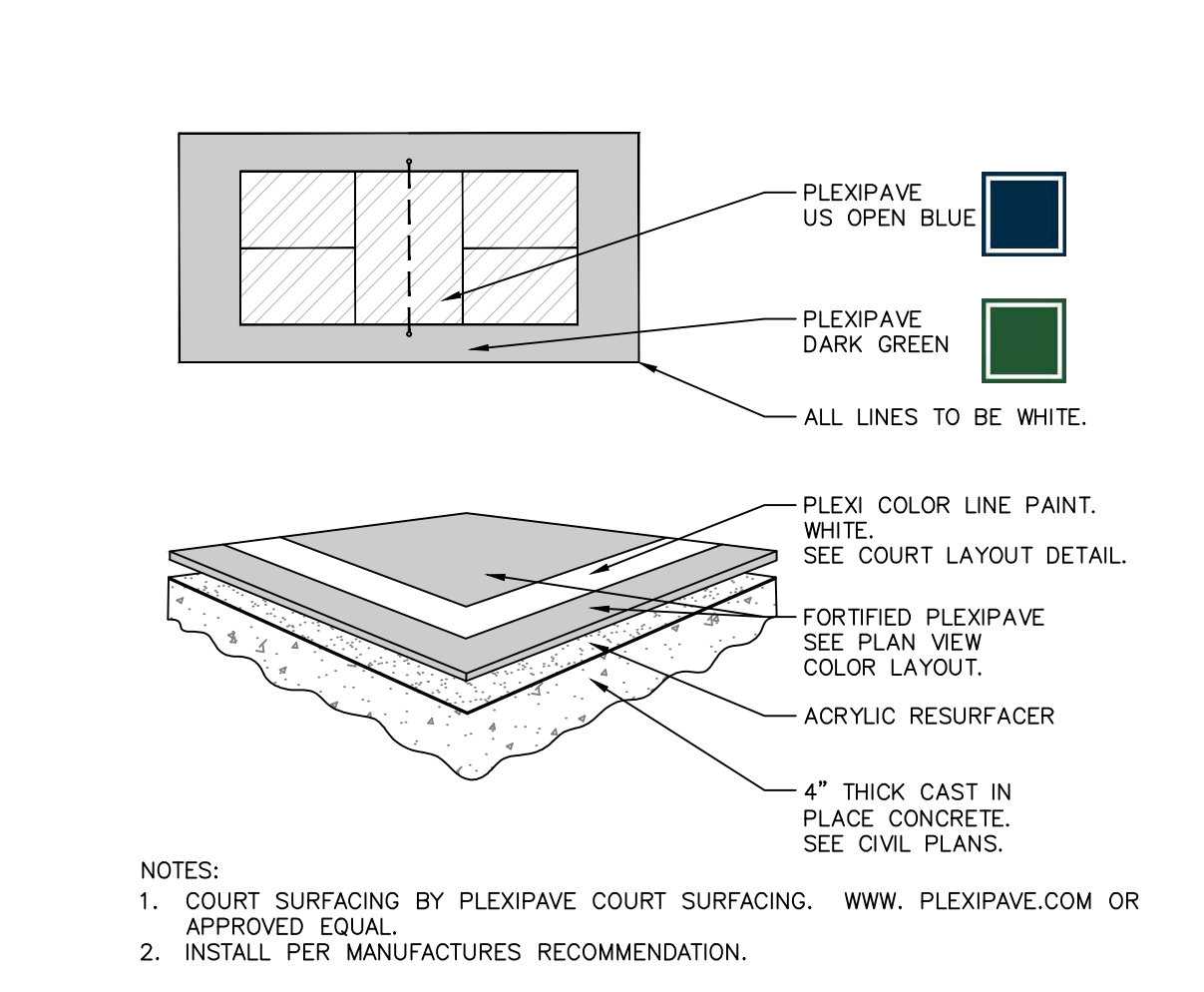
03 BIKE RACK DETAIL NTS



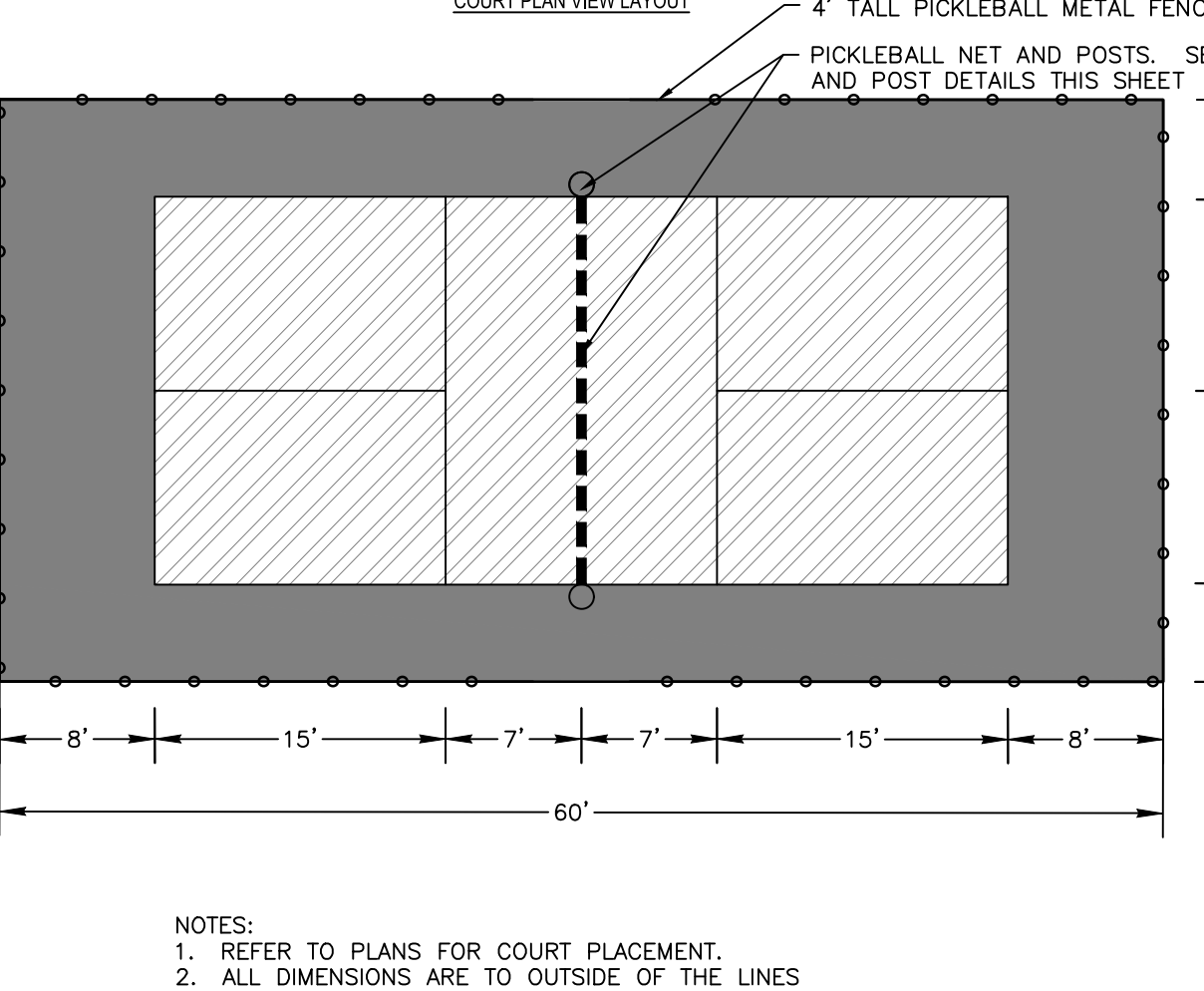
04 PICNIC TABLE DETAIL NTS



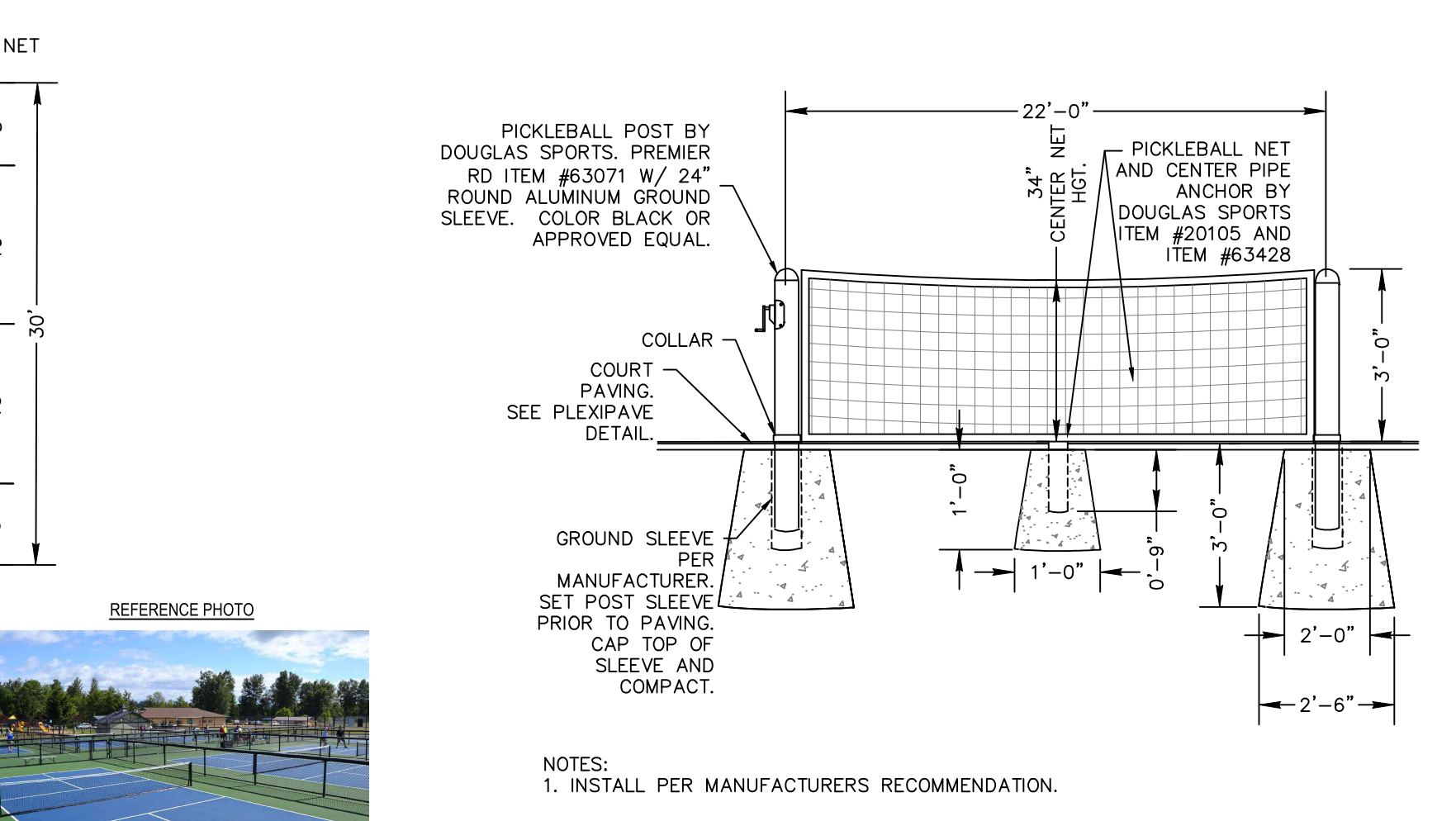
05 BACKLESS BENCH DETAIL NTS



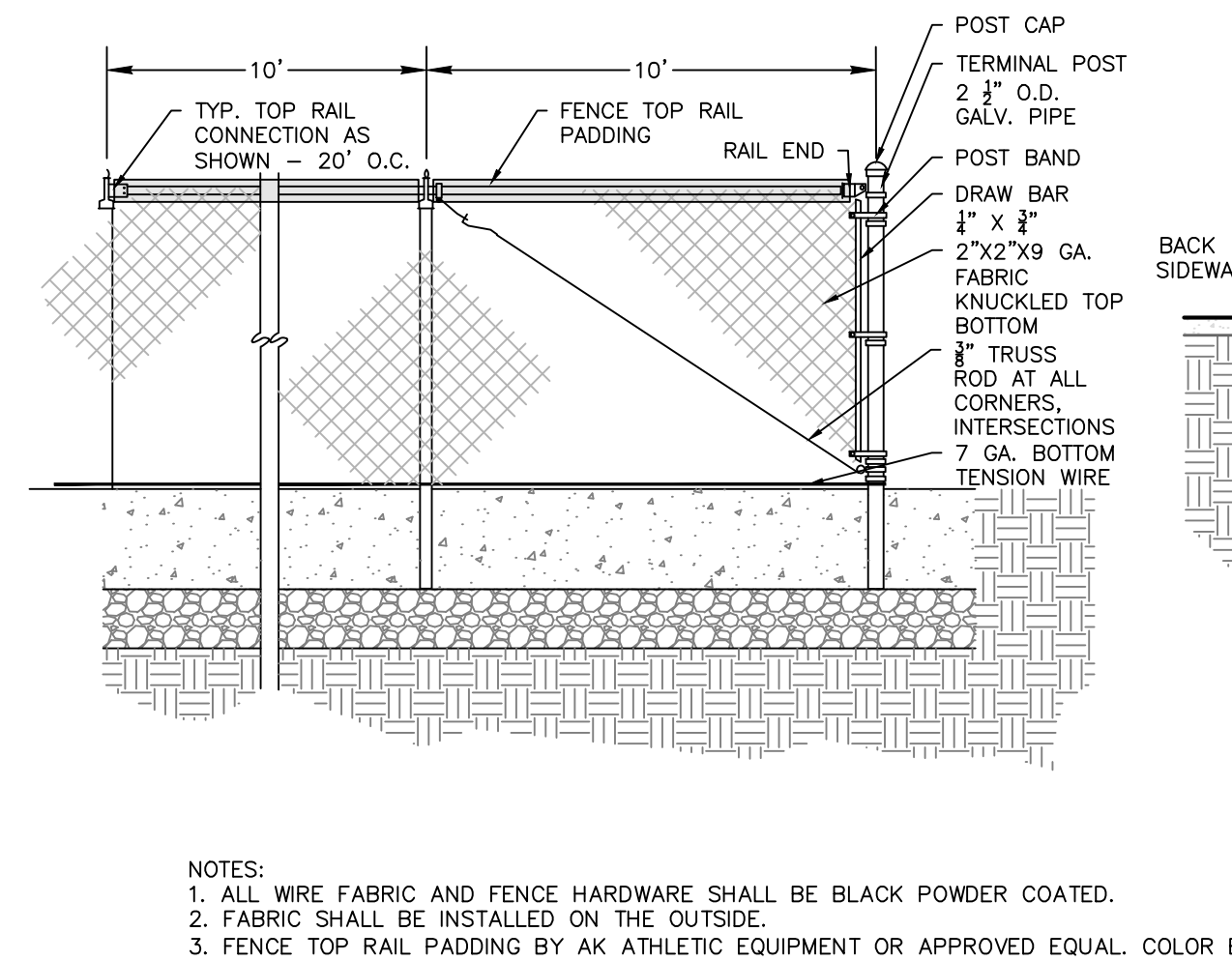
06 PLEXIPAVE COLOR LAYOUT NTS



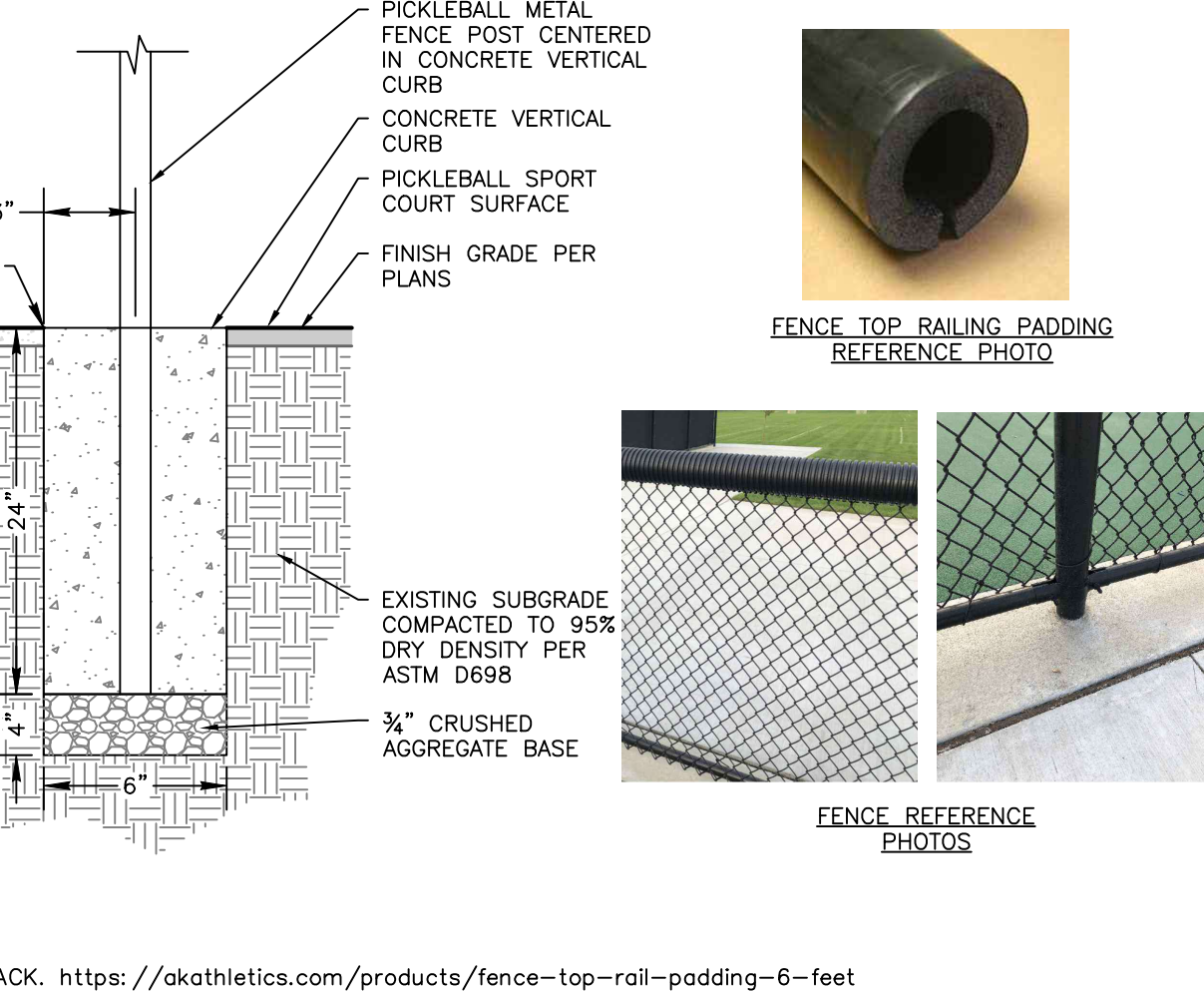
07 PICKLEBALL COURT LAYOUT NTS



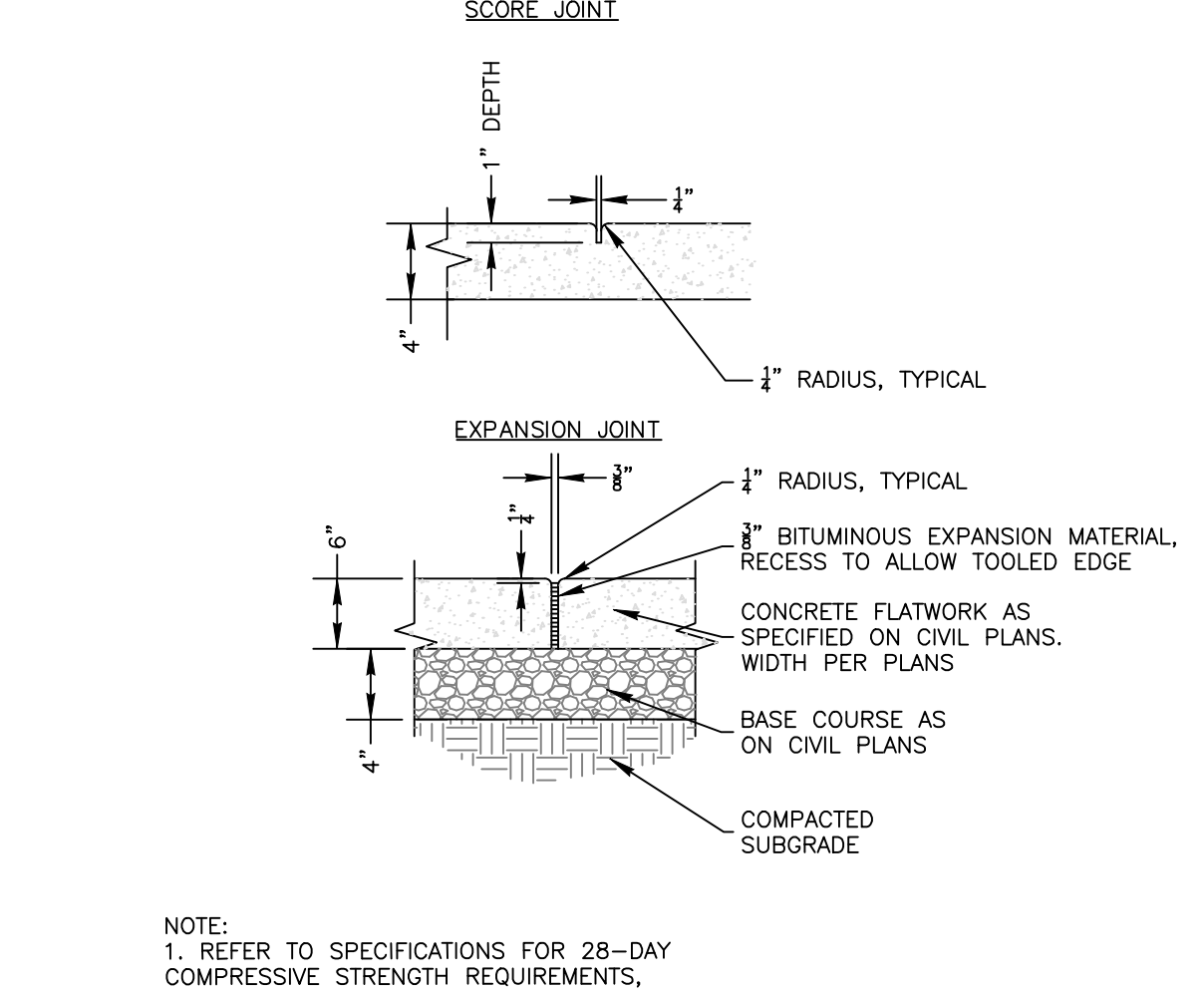
08 PICKLEBALL COURT POSTS AND NET NTS



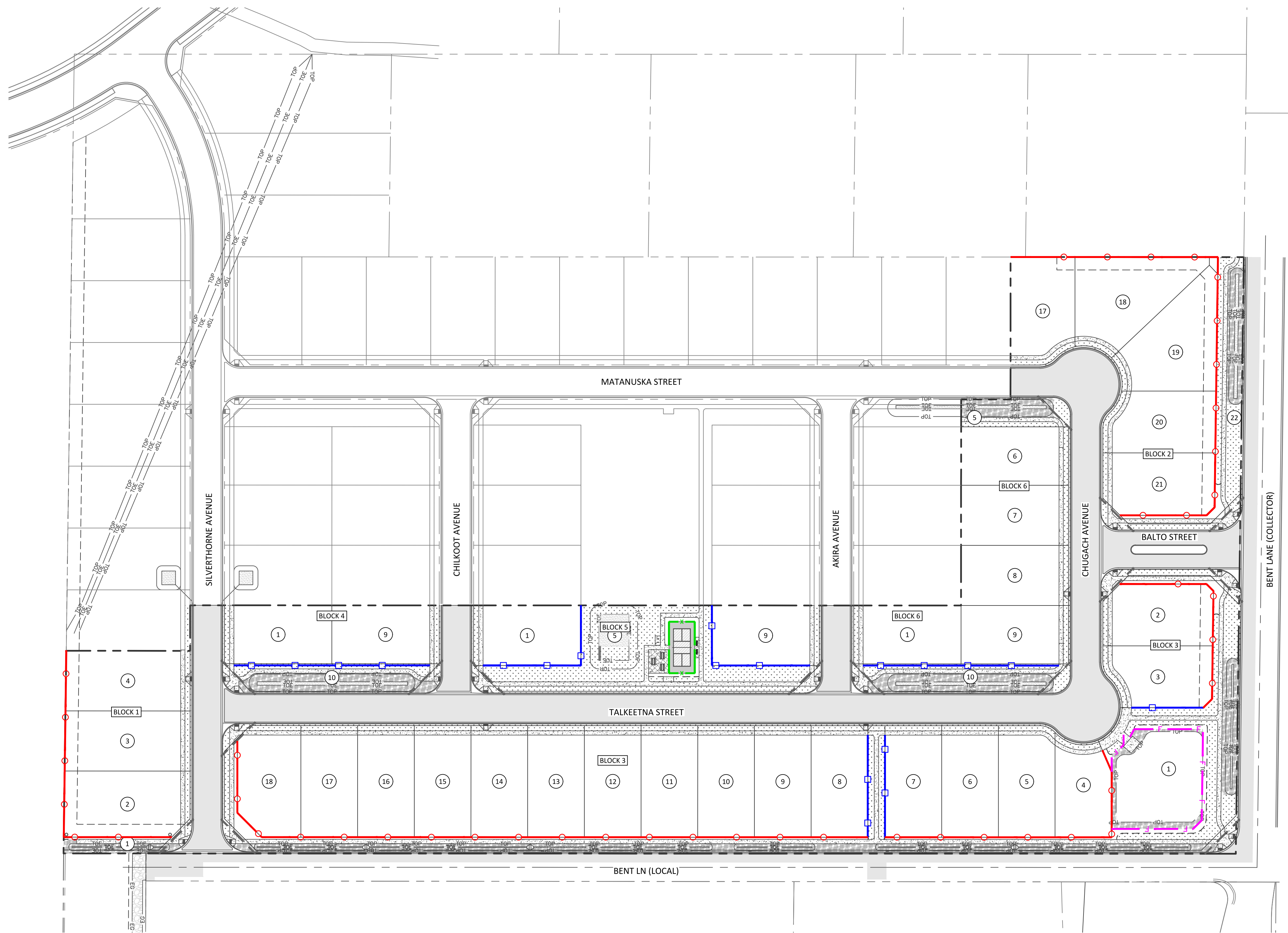
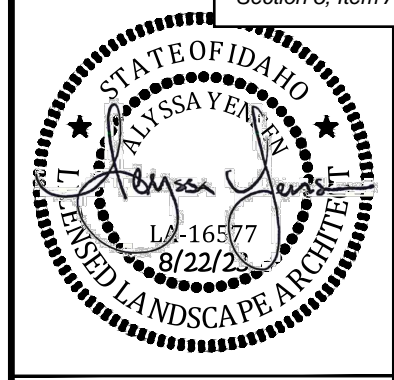
09 PICKLEBALL METAL FENCE NTS



10 CONCRETE JOINTS NTS



11 HILLSIDE TREE PLANTING DETAIL NTS



FENCE SCHEDULE

- 6' SOLID TAN VINYL FENCE. SEE L5.0-12.
- 6' TAN VINYL WITH LATTICE FENCE. SEE L5.0-13.
- 6' OPEN VISION METAL FENCE. SEE L5.0-14.
- 4' PICKLEBALL FENCE. SEE L4.0-09.

NOTE: NO FENCE HIGHER THAN 3' FROM THE LOWEST ADJACENT STREET GRADE ARE PERMITTED WITHIN 4' FROM THE CORNER OF A LOT THAT ABUTS 2 STREETS TO PROVIDE A SAFE CLEAR VISION TRIANGLE FOR VEHICULAR TRAFFIC.



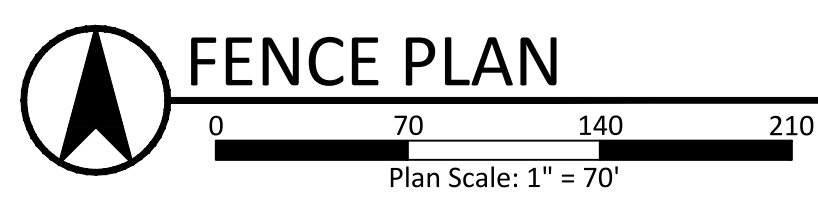
12 6-FOOT HEIGHT VINYL FENCE
NTS



13 6-FOOT HEIGHT VINYL LATTICE FENCE
NTS



14 6-FOOT CLEAR VISION METAL FENCE
NTS



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LEGADO SUBDIVISION NO.1
STAR, IDAHO
FENCE PLAN

km
ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmengllp.com

DESIGN BY:	WHB
DRAWN BY:	WHB
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DATE:	7/26/23
PROJECT:	23-104

SHEET NO. L5.0

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Shawn Nickel

From: Saran Becker <Saran.Becker@itd.idaho.gov>
Sent: Wednesday, October 11, 2023 7:25 AM
To: Barbara Norgrove; Shawn Nickel
Subject: RE: Agency Transmittal - Legado Subdivision Final Plat Phase 1

Hi Barbara and Shawn,

ITD does not object to the proposed application as presented at this time.

Thank you,

Saran J Becker
District 3 - Development Services Coordinator

8150 W Chinden Blvd, Garden City, ID 83714
Phone: (208) 334-8377
Email: saran.becker@itd.idaho.gov



Your Safety • Your Mobility
Your Economic Opportunity

From: Barbara Norgrove <bnorgrove@staridaho.org>
Sent: Thursday, October 5, 2023 1:27 PM
To: sheriff@adaweb.net; Daniel.Weed@cableone.biz; chopper@canyonhd4.org; Iriccio@canyonhd4.org; GIS@tax.idaho.gov; D3 Development Services <D3Development.Services@itd.idaho.gov>; irrigation.mm.mi@gmail.com; bryce@sawtoothlaw.com; Melvin.B.Norton@usps.gov; ERIC.GRZEBINSKI@mdu.com; BRO.Admin@deq.idaho.gov; kris.margheim@idwr.idaho.gov; permits@starfirerescue.org; lbuckway@msd134.org; projectmgr@boiseriver.org; bcrawforth@canyonco.org; rstewart@middletoncity.com; zoninginfo@canyoncounty.id.gov; brandy.walker@centurylink.com; samuel.flores@sparklight.biz; jack.nygaard@phd3.idaho.gov; oocc@canyonco.org; irrigation.mm.mi@gmail.com; kdahl@canyonco.org; zoninginfo@canyonco.org; info@pioneerirrigation.com; Julissa Wolf <jwolf@baileyengineers.com>; syarrington@adacounty.id.gov; hday@starswd.com; westerninfo@idwr.idaho.gov; mgee@msd134.org; LPennington@msd134.org; lgrooms@msd134.org; Gloria Stokes <drain.dist.2@gmail.com>; Kerry.schmidt@intgas.com; Ryan Morgan <rmorgan@staridaho.org>; Ryan Morgan <rmorgan@starswd.com>; gmprdtim@gmail.com; gmprdjulie@gmail.com; Andy Waldera <andy@sawtoothlaw.com>; brandon.flack@idfg.idaho.gov; Mwallace@achdidaho.org; Ryan Field <rfield@staridaho.org>; Richard Girard <rgirard@staridaho.org>; Chris Todd <ctodd@staridaho.org>; John Tensen <jtensen@staridaho.org>; gis@compassidaho.org; Brian Duran <Brian.Duran@itd.idaho.gov>
Cc: Shawn Nickel <snickel@staridaho.org>
Subject: FW: Agency Transmittal - Legado Subdivision Final Plat Phase 1

CAUTION: This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.

Subject: Agency Transmittal - Legado Subdivision Final Plat Phase 1



October 12, 2023

KM Engineering, LLP
5725 North Discovery Way
Boise, Idaho 83713
Attention: Jeff Doersch, P.E

**RE: Star River Ranch North No. 1 (Legado)
Improvement Drawings 1st Submittal**

Canyon Highway District No. 4 (CHD4) has reviewed the improvement drawings for Star River Ranch North No. 1 stamped 7/26/2023, accessing via Bent Lane south of SH44/Bent Ln Intersection. Staff Reviewed for conformance with ACHD Policy Manual Sections 3000-3005, Sections 7200-7211 and CHD4 Storm Drainage standards, and provides the following comments:

Plat

1. Revise CL radius to be 45' minimum. (C-1 & C-2)
2. Revise Cul-de-sac/knuckle radius to be 50' minimum.
3. Provide SD easements for temporary basins outside the platted boundary.
4. Provide SD easement for portion of SD basin west of lot 5, blk 6, or add to plat.

Improvement Plans

General

1. Revise all notes, including plan sheets, to identify the correct jurisdictional entity for permitting, inspection & specifications (policy). Roadway jurisdiction, CHD4, for all public street (*CHD4 has adopted portions of the ACHD policy manual for development within city of Star, ACHD has no jurisdictional authority for Canyon county development*).
2. Revise to add Note, "All work shall be completed in accordance with the Idaho Standards for Public Works Construction (latest edition), the Highway Standards and Development Procedures for the Canyon County Highway Districts and the Project Specifications."
3. Revise to add Note, "Contractor shall request a permit to use right-of-way: Utilities and Others from Canyon Highway District No. 4 prior to work on Bent Lane for widening and utility work. Request shall be submitted a minimum of 7 days prior to work start date. Contractor(s) should include a temporary traffic control plan with any permit application."
4. Revise Project General Note #11 to include, "*Use of plans not stamped "Approved for Construction" shall be grounds for the issuance of a stop work order.*"
5. Add note to Specify Plant Mix Pavement shall be per HSDP Section 3060.0703 or SP 2 or better, with a nominal maximum aggregate size of ¾", PG 64-28(Performance Graded Asphalt Binder) shall be used. A Minimum of 0.5% Anti-Stripping additive is specified.
6. Add, The Contractor shall be responsible for providing and paying for all costs associated with all testing required by the Project Specifications. All tests shall be performed by a

certified testing laboratory and certified test results shall be submitted to the Owner's Engineer. Work performed without certified test results shall not be accepted.

7. Add note to Plans, *"The Homeowners Association, underlying property owner or adjacent property owner is responsible for all storm drainage facilities outside the public right-of-way, including all routine and heavy maintenance."*

Sheet C1.1

1. Revise to add General notes, from above.
2. Revise to remove SD note #6.

Sheet C1.3-C1.5

1. Revise KN "SCA". Replace ACHD with CHD4.

Sheet C1.6

1. Add note to reference ACCHD Highway Standards and Development Procedures Manual (HSDP Manual) Section 3090.090 for sign installation and materials.
2. Provide a 24" stop bar with all stop sign installations, located 6-feet behind the major street edge of traveled way or as needed to accommodate pedestrian crossings.
3. All stop signs to be 36".
4. Revise to provide roadway CL station/offset for Street Light, coordinate with sheets C2.6-C2.8.

Sheet C2.1 – 2.9

1. Revise plans & Note "F" to reference centerline for station/offset labeling, Plat defines CL and plan geometry should match.
2. Revise to provide stationing through CL radius at Matanuska/Chugach/Talkeetna CL intersections, provide Equation Station if necessary at PC or PT if stations conflict with another street. Provide station/offset labels from CL.
3. Revise profile for Matanuska/Chugach/Talkeetna cul-de-sacs, with CL grade and station/elevation for PC/PT & cul-de-sac radius point.
4. Revise to show SD pipes in profiles.
5. Revise/verify sheets C2.2 & 2.5,"VG" specifies per SD-708, this detail shows 30' crown taper, typical, profile appears to show ~50' crown taper PVI.
6. Revise on sheet C2.8 to provide asphalt taper from widening to existing EP at north boundary.
7. Revise sheets C2.6 - 2.8, to profile existing saw-cut line, to show existing Bent Lane grade for the entire length of the improvements, provide FG curb profile.
8. Revise to show irrigation crossing pipes in roadway plan & profiles (~10+30 & ~22+50).
9. Revise to provide location of Bent Lane typical section and label with detail and sheet number.
10. Revise to specify street light station/offset.(C1.6)
11. Revise/Verify SD catch basin elevations, per SD-701- Lip to TBVC=0.42', FL to TBVC=0.48', check TBVC/Rim elevations.
12. Revise/Verify TBVC/FL/LIP SD elevations, per SD-701, FL elevations are below swale design HGW elevation.
13. Revise on sheet C2.8 to add Type II barricade at end of sidewalk, north boundary.

14. Revise/Verify asphalt saw cut is outside the wheel path for Bent Lane, *Wheel paths are considered to be three (3) foot wide strips in each lane of traffic, centered at three (3) feet and ten (10) feet from the centerline or adjacent lane stripe. ACCHD 3060.020.*
15. Revise sheet C2.8 to add TBC highpoint on curb Radii of Bent/Bent (C2.7).
16. Revise to show Equation Station for PC/PT on Bent/Bent Curb callouts.
17. Revise sheet C2.7 & C2.9 to show irrigation in roadway plan & profiles.

Sheet C3.1 & C4.1

1. Revise to provide SD elements with sta/off TBVC/FL elevation and invert elevation of pipe/swale.
2. Revise to provide easement from west ½ of “BSW A2” bio-swale outside of boundary or Plat all of lot 5 blk 6.
3. Revise to provide easements for “IP D1 & D2” temporary ponds outside the platted boundary.
4. Revises/Verify, Keynote “IP #” specifies ACHD BMP 10, that detail is a infiltration basin with forebay, no forebay is shown.
5. Revises/Verify, Keynote “BSW #” specifies ACHD BMP 30, bio swales shown don’t meet minimum width and depth minimums specified on BMP 30. (C4.2 table)

Sheet C4.2

1. Revise Bio-swale table to specify width being top of swale.
2. Revise Bio-swale table to include gutter/grate elevations.
3. Revise bioswale typical to include tbc/apron as depicted on SD715 with bottom and fore/back slope to catch point (full width similar to roadway typical).
4. Revise to add detail, per C4.1, note “IP #”, no detail for A3 shown.

Sheet C6.1

1. Revise to provide CL sta/off for FH, adjacent to Bent Ln & bioswale. Will FH block the swale or thrust block @ swale bottom need special treatment?

Sheet C7.1

1. Revise P.I. to meet ACCHD policy 3066.020/030 for valves @ ROW and approved pipe type, coordinate with C1.2.
2. Revise to callout pipe length @ all “SLV” locations (typ) coordinate with C1.2.

Sheet C8.1

1. Revise /verify cover over irrigation pipe extension, by plan TBVC ~54.65, bottom of curb ~53.60, top pf pipe ~53.50. May need to remove existing pipe toward SE to lower pipe to get 1’ min cover, below asphalt section ~53.98.
2. Revise to provide a note for Gravity irrigation pipe to have a minimum cover of 1’ or greater, meeting pipe manufacturers specifications, for pipe crossing within the public roadway/ROW during the construction phase, video/camera inspection may be required at the expense of the contractor to verify no pipe damage occurred during construction.

Sheet C8.3

1. Revise /verify cover over irrigation pipe extension, by plan TBVC ~54.70, bottom of curb ~53.66, top pf pipe ~53.27. 1' min cover, below asphalt section ~54.03.
2. Revise to provide a note for Gravity irrigation pipe to have a minimum cover of 1' or greater, meeting pipe manufacturers specifications, for pipe crossing within the public roadway/ROW during the construction phase, video/camera inspection may be required at the expense of the contractor to verify no pipe damage occurred during construction.
3. Revise/verify are GIB 30/40 accessible from street side (not behind fence) coordinate with L5.0.

Sheet C8.4 & 8.5

1. Revise "Temporary Borrow Ditch" to be **Temporary Drain Ditch**, borrow implies roadway drainage.

Sheet C8.6

1. Revise to provide Bent Ln CL sta/off for Irr MH locations and pipe begin, or provide dimensions from CL/ROW to GIC 400/500/600.
2. Revise /verify cover over irrigation pipe.
3. Revise to provide a note for Gravity irrigation pipe to have a minimum cover of 1' or greater, meeting pipe manufacturers specifications, for pipe crossing within the public roadway/ROW during the construction phase, video/camera inspection may be required at the expense of the contractor to verify no pipe damage occurred during construction.
4. Revise/verify GIC 500 is accessible from street side (not behind fence) coordinate with L5.0.

Drainage

1. Provide at least one monitoring well per infiltration facility where high groundwater is less than 10-feet below the infiltration surface.
2. Demonstrate storm drain system will function and maintain at least one-half the outside travel lane free of standing water during the 100-yr storm. Bent Ln curb FL elevations are lower than adjacent swales HW elev. (Design volume elevations appear to be with water above FL elevations)
3. Revise/verify Bent lane swales have no freeboard with curb FL lower than HW elev.
4. Revise/Verify drainage calculations to correspond with above revisions.

Responsibility of Design Engineer: The Registered Engineer who signs and stamps the improvement plans is responsible for the proper design and function of the improvements. Due to the nature and number of comments, additional comments may be made for future submittals.

Acceptance of the improvement plans by the District *does not* relieve the design Engineer of this responsibility. CHD4 Plan review is not intended to be the QA/QC review of the construction plans, is solely the responsibility of the Registered Engineer and the firm which they represent.

Please feel free to contact me with any questions on these comments or CHD4 development standards. Due to the nature and number of comments, additional comments may be made for future submittals.

Please provide CHD4 with a single hard copy and electronic copy of the plans, including supplementary materials requested above, for additional review. Also, submit a review comment sheet which explains the changes made versus the review comments provided.

Respectfully,

A handwritten signature in blue ink that reads "Kraig Wartman". The signature is fluid and cursive, with the first name "Kraig" being more prominent than the last name "Wartman".

Kraig Wartman
Senior Engineering Tech.
Canyon Highway District No. 4

CC: Chris Hopper, District Engineer, P.E.

Shawn Nickel

From: Chris Hopper <CHopper@canyonhd4.org>
Sent: Thursday, October 5, 2023 3:18 PM
To: Barbara Norgrove
Cc: Shawn Nickel; Kraig Wartman
Subject: RE: Agency Transmittal - Legado Subdivision Final Plat Phase 1

To whom it may concern:

CHD4 has just this week begun review of improvement drawings and final plat for Star River Ranch North subdivision. CHD4 anticipates that one or more reviews and plan/plat revisions will be required prior to approval of public road improvements to serve the development.

In accordance with the agreement between Star and CHD4 for maintenance of city streets within Canyon County, the city should not approve or consider a final plat until approval has been received from the highway district.

As the plat is likely to change in some fashion during CHD4 review and approval and/or construction, the highway district does not recommend the city consider the final plat prior to plan approval and construction of improvements.

Respectfully,

Chris Hopper, P.E.
 District Engineer

Canyon Highway District No. 4
 15435 Hwy 44
 Caldwell, Idaho 83607
 208-454-8135

From: Barbara Norgrove <bnorgrove@staridaho.org>
Sent: Thursday, October 5, 2023 1:27 PM
To: sheriff@adaweb.net; Daniel.Weed@cableone.biz; Chris Hopper <CHopper@canyonhd4.org>; Lenny Riccio <LRiccio@canyonhd4.org>; GIS@tax.idaho.gov; D3Development.Services@itd.idaho.gov; irrigation.mm.mi@gmail.com; bryce@sawtoothlaw.com; Melvin.B.Norton@usps.gov; ERIC.GRZEBINSKI@mdu.com; BRO.Admin@deq.idaho.gov; kris.margheim@idwr.idaho.gov; permits@starfirerescue.org; lbuckway@msd134.org; projectmgr@boiseriver.org; bcrawforth@canyonco.org; rstewart@middletoncity.com; zoninginfo@canyoncounty.id.gov; brandy.walker@centurylink.com; samuel.flores@sparklight.biz; jack.nygaard@phd3.idaho.gov; oocc@canyonco.org; irrigation.mm.mi@gmail.com; kdahl@canyonco.org; zoninginfo@canyonco.org; info@pioneerirrigation.com; Julissa Wolf <jwolf@baileyengineers.com>; syarrington@adacounty.id.gov; hday@starswd.com; westerninfo@idwr.idaho.gov; mgee@msd134.org; LPennington@msd134.org; lgrooms@msd134.org; Gloria Stokes <drain.dist.2@gmail.com>; Kerry.schmidt@intgas.com; Ryan Morgan <rmorgan@staridaho.org>; Ryan Morgan <rmorgan@starswd.com>; gmprdtim@gmail.com; gmprdjulie@gmail.com; Andy Waldera <andy@sawtoothlaw.com>; brandon.flack@idfg.idaho.gov; Mwallace@achdidaho.org; Ryan Field <rfield@staridaho.org>; Richard Girard <rgirard@staridaho.org>; Chris Todd <ctodd@staridaho.org>; John Tensen <jtensen@staridaho.org>; gis@compassidaho.org; Brian.Duran@itd.idaho.gov
Cc: Shawn Nickel <snickel@staridaho.org>
Subject: FW: Agency Transmittal - Legado Subdivision Final Plat Phase 1

Subject: Agency Transmittal - Legado Subdivision Final Plat Phase 1

Please see attached Agency Transmittal for Legado Subdivision Final Plat Phase 1 (formerly Star River Ranch North Subdivision), located in Star, Canyon County.



Middleton School District #134

Every Child Learning Every Day

Section 5, Item A.

Middleton School District #134--Public Hearing Notice Response

General Response for New Development

Middleton School District is currently experiencing significant growth in its student population. **Currently Middleton School District has 2 of our 3 elementary schools over capacity. Heights Elementary is at 134% of capacity with five (5) portable units totaling 10 classrooms. Mill Creek Elementary is at 123% of capacity with six (6) portable classroom units totaling 12 classrooms.** We are nearing capacity, but have not superseded at this point, at our high school (91%) and middle school (85%). As it stands now there is an immediate need for additional facilities in our school district, primarily at the elementary grades. However, we have significant concerns of the continued growth and our ability to meet the future facility needs of our district at the secondary level (Middleton Middle School and Middleton High School).

We have completed demographic study performed for our school district boundaries and data suggests that for every new home we could expect between 0.5 and 0.7 (with an average of .569) students to come to our schools. That is the factor/rate we use to make our projection of student impact for each development.

Legado Subdivision, Star, ID

Elementary students living in the subdivision as planned would be in the attendance zone for Mill Creek Elementary School, which, as stated above, is already well above capacity. With the 34 proposed lots we anticipate approximately 20 students will need educational services provided by our district, just under one classroom of new students.

In addition to the increase in student population and its impact on facilities, bussing would be provided for all students. As such, it would be important that the developer include plans for appropriate spacing for bus stops. Typically busses do not enter subdivisions. As such, safe routes to planned stops would be an important consideration.

As a school district we would ask that City of Star City Council take all of these factors into consideration as you make your decision. Any questions regarding this response should be directed to Marc Gee at the contact information shared below.

Marc C. Gee, Superintendent

_____ October 10, 2023 _____

Date

Boise Office
1101 W. River St.
Suite 110
Boise, Idaho 83702
Tel. (208) 629-7447

Challis Office
1301 E. Main Ave.
P.O. Box 36
Challis, Idaho 83226
Tel. (208) 879-4488

Twin Falls Office
213 Canyon Crest Drive
Suite 200
Twin Falls, Idaho 83301
Tel. (208) 969-9585

Fax (all offices)
(208) 629-7559

Rec'd
10/12/23
SMAE



SAWTOOTH LAW OFFICES, PLLC

October 9, 2023

D: Section 5, Item A.

S. Bryce Farris

Evan T. Roth

Daniel V. Steenson

Andrew J. Waldera

Kelsea E. Donahue

Brian A. Faria

Thomas M. Larsen

Patxi Larrocea-Phillips

John A. Richards

Katie L. Vandenberg-Van Vliet

James R. Bennetts (retired)

City of Star
Attn: Shawn Nickel
P.O. Box 130
Star, Idaho 83669

Re: File #: FP-23-13 (Final Plat Phase 1) - **Legado Subdivision**

Dear Mr. Nickel:

Drainage District #2 has a drainage ditch and easement that runs through or abuts this property. The easement is 100 feet, 50 feet each side of the centerline, for open drains and 50 feet, 25 feet each side of the centerline for piped or closed drains. The developer/owner must contact the District's attorney's, Sawtooth Law Offices, PLLC, for approval before any encroachment, change of easement, or drainage discharge into the District's facilities occurs. The District must review drainage plans and construction plans prior to any approval.

The District generally requires a License Agreement prior to any approval for the following reasons:

1. Relocation of a District facility which would also require a new easement and relinquishment of the old easement once the relocation has been completed.
2. Piping of District facility.
3. Encroachment on a District facility with gas, water and sewer lines, utility lines, roadways, bridges or any other structures.
4. Drainage discharges into District facilities.

Also, please be advised that the District does not approve of trees within the District's easement. Therefore, any existing trees within the District's easement will need to be removed. On occasion, the District may make exceptions on a case by case basis, which requires the developers/owners to obtain written permission from the District for existing trees to remain. Please contact me if you have any questions.

Yours very truly,

*Sent without signature
To avoid delay*

S. Bryce Farris

SBF:krk

cc: DD#2 Board of Directors www.sawtoothlaw.com
Attorneys licensed in Idaho, Montana, Oregon and Washington



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star - Planning & Zoning Department *Shen T. Mink*

MEETING DATE: **October 17, 2023**

FILE(S) #: FP-23-14, Final Plat, Cranefield Subdivision Phase 2

REQUEST

The Applicant is seeking approval of a Final Plat for Cranefield Subdivision Phase 2, consisting of 68 residential lots and 7 common lots on 24.28 acres. The property is located at 12667 W. State Street in Star, Idaho. Ada County Parcel Number S0418223400.

APPLICANT:	OWNER:	REPRESENTATIVE:
Williams Communities	WH Star 203, LLC	Tim Nicholson
21080 Centre Point Pkwy	11760 W. Executive Dr., Ste. 120	Kimley-Horn & Associates
Santa Clara, CA 91350	Boise, Idaho 83713	1100 W. Idaho St., Ste. 210
		Boise, Idaho 83702

PROPERTY INFORMATION

Land Use Designation -	Residential R-4-DA
	Phase 2
Acres -	24.28 acres
Residential Lots -	68
Attached -	0
Detached -	68
Common Lots -	7
Commercial Lots -	0

HISTORY

June 1, 2021 Council approved applications for Rezone (RZ-21-02), Preliminary Plat (PP-21-05), Private Road (PR-21-04) and Development Agreement (DA-21-04) for Cranefield Subdivision. The preliminary plat was approved for 137 detached single family residential lots and 66 attached single family

residential lots and 12 common lots on 50.56 acres with a density of 4.0 dwelling units per acre.

June 28, 2021 The Council received a request for reconsideration from Pinewood Lakes Community Association on June 28, 2021. On August 3, 2021, the Council granted the request for reconsideration and directed the Staff to provide revised Findings of Fact, conclusions of Law that address specific claims made by the Petitioner of the reconsideration request regarding the deficiencies in the record as it relates to Sections 8-1B-1C and 8-6A-7 of the Star Unified Development Code.

May 2, 2023 The Council approved applications for the Final Plat of Cranefield Subdivision Phase 1 (FP-23-03). Phase 1 included 73 single family residential lots and 5 common lots on 10.66 acres. The residential lots consist of 66 attached and 7 detached units.

GENERAL DISCUSSION

The Final Plat layout for Cranefield Subdivision, Phase 2 generally complies with the approved Preliminary Plat. After Phase 2, there will be a total of 66 attached lots platted, leaving 0 attached residential lots for future phases and 75 detached lots platted, leaving 62 detached residential lots for future phases of the development. The preliminary plat was approved with a total of 203 residential lots (66 attached and 137 detached).

Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:

The Preliminary Plat submitted contains 203 single family residential lots, and 12 common area lots for a total of 215 total lots. The residential lots will include 137 detached single-family dwellings and 66 attached single-family townhomes. Lots range in size from 1,545 square feet (attached townhomes) to 25,586 square feet with the average lot size of 6,281.58 square feet. The street system within the development will be both public and private. Proposed local public streets and private streets measure 36 ft from back of curb to back of curb on the submitted preliminary plat which meets the minimum City width requirement of the UDC. The private alleyways within the townhome section of the development will measure 24 feet in width. The Star Fire District has approved the width of the alleyways.

The applicant has indicated on the preliminary plat that the development will contain a total of 13.53 acres (26.8%) of open space with the majority being usable open space (over 15%). This exceeds the minimum requirements for total and usable open space in the current Unified Development Code, Section 8-4E-2. Amenities proposed include a community pool with on-site restroom and changing rooms, a tot lot, an open space park with picnic area, a public pathway along the Lawrence-Kennedy Lateral that will connect to the east and west, and a pond with a fishing dock.

The development has two current access points, including access to the east at W. Bridger Bay Drive (Pinewood Lakes Subdivision), and north at S. Quincannon Avenue (Stonecrest Subdivision). In addition, two stub streets to the west are included for future connection to S. Can Ada Road extension and a future planned collector road to the west.

ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks
Sidewalks are proposed at five-foot (5') widths and will be detached throughout the subdivision with 8-foot landscape strips.
- Streetlights
A streetlight location plan and design sample has been submitted by the applicant. Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a concept design for the streetlights that meet the intent of this criteria. The streetlight location plan submitted satisfies the code by having a light at all intersections.
- Pathways
The development contains several internal pathways throughout the development linking open space and amenities to the residents. City policy requires all pathways to be improved with a concrete or asphalt surface. The City has also been working towards public pathway connections along canals and other waterways with the individual irrigation districts. The applicant has included a pathway along the Lawrence-Kennedy lateral that will connect the proposed community to the east and eventually the north and west. The applicant shall provide a public easement for this pathway.
- Subdivision and Street Names
The Applicant has provided approval from Ada County for the proposed street names. The names are reflected correctly on the submitted final plat. The subdivision name has been approved by the County Surveyor.
- Landscaping
As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. The submitted landscape plan meets this requirement. Section 8-8C-2 also requires that common areas have a minimum of one deciduous shade tree per four thousand (4,000) square feet. The submitted landscape plan appears to satisfy this requirement.

- Floodplain
The property is located within a Special Flood Hazard Area. The applicant shall submit an application Permit to Develop in an Area of Special Flood Hazard to the City Engineer for review and approval.
- Block Length Waiver
Many of the block lengths in the proposed subdivision exceed the 750' maximum block length requirement. Given the physical constraints of the property, including the locations of existing stub street from the east and north, along with the unique, circuitous layout of the street system and use of private streets, Staff is supportive of a waiver to the block lengths in this development. The applicant should work with the Highway District with regards to traffic calming technics, if necessary.
- Phasing Plan
The applicant has submitted a phasing plan for this development.
- Setback Waiver
The applicant has requested the following setbacks through the Development Agreement for the attached single-family dwellings:
 - **Zero (0') setback for interior lot lines, and**
 - **3-foot rear setback from garage to alley.**
 - **14-foot corner side yards from back of sidewalk.**
 - **14-foot front yards from back of sidewalk.**
 - **15 feet minimum between buildings.**

Staff analysis of Final Plat Submittal:

Lot Layout – The gross density of Phase 2 is 2.79 du/acre.

Common/Open Space and Amenities – Proposed in Phase 2:

- Community Pool/Club House

Mailbox Clusters – The Star Postmaster, Mel Norton has approved the mailbox clusters for this development to be placed on the south side of Hwy 44, between N. Can Ada Road and S. Highbrook Way, which appears to be on the southeast corner of Block 4, Lot 31 of Phase 1. The Postmaster's letter of approval was included in the application material. **All mailbox clusters shall be provided with architectural covers. The applicant shall submit a design to Staff for review and approval prior to installation.**

Streetlights –A Streetlight design has been provided with the final plat application and the proposed light style and type meet Dark Sky requirements and comply with the City Code. A

streetlight plan was also included in the final plat application. Staff is supportive of the location of streetlights in this phase.

Street Names – Letter or approval of street names from Ada County was included in the application packet and are reflected accordingly on the submitted final plat.

Sidewalks – Sidewalks are proposed to be 5 foot wide and detached throughout the development with eight foot (8') wide landscape strips.

Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements.**

Council added to the Preliminary Plat application approval and Development Agreement the following conditions of approval to their decision to approve the applications to include the following:

- Match rear lot widths of Lots 2-9, Block 6* of the approved Preliminary Plat with rear lot lines of the adjacent Pinewood Lakes Subdivision to the east. This may result in the removal of one (1) lot.
- Match rear lot lines of Lots 11-24, Block 6* of the approved Preliminary Plat with rear lot lines of the adjacent rectangular lots in Pinewood Lakes Subdivision to the east and utilize those lot widths adjacent to the pie shaped lots. This may result in the removal of one (1) or more lots.
- Construction traffic shall be directed north to W. State Street via the Stonecrest Subdivision access. No heavy equipment shall be transported to or from the construction site through adjacent subdivisions during normal school bus pick-up or drop-off hours.
- Twenty Foot (20') rear yard setbacks (R-2 standard) shall only be allowed on all lots along the eastern boundary of the development, south of the Lawrence Kennedy Canal (Lots 11-24, Block 6* of the approved Preliminary Plat).
- Single-story homes shall be required where abutting existing single-story homes in Pinewood Lakes Subdivision along the eastern boundary of the development, south of the Lawrence Kennedy Canal (Lots 11-24, Block 6* of the approved Preliminary Plat).
- Parking spaces shall be provided for the pool for guest parking. This shall be illustrated in the revised landscape plan.
- A Conditional Letter of Map Revision (CLOMR) shall be required prior to any construction on the property.
- A six-foot (6') vinyl fence shall be constructed along the entire western boundary of the subdivision adjacent to the existing agricultural use to the west. A gate shall be required at the northern stub street to the west unless an emergency or secondary

access connection is not obtained, at which point the fencing shall be solid at the stub.

- The developer shall extend the right of way of the future extension of Bridger Bay Drive to the north boundary of the subdivision at the 3-way intersection in the northwest corner of the development in order to accommodate a potential four-way intersection and future northern roadway extension. If a connection to the north is not approved within one year of the approval date of Cranefield Subdivision, this condition shall not apply.
- Rear fences of lots, where fencing currently does not exist, abutting Pinewood Lakes Subdivision south of the Lawrence-Kennedy Lateral shall have wrought iron style fencing installed by the developer.
- The applicant shall dedicate a public access easement for the pathway along the Lawrence-Kennedy Lateral to the City for public use.
- The Council hereby allows, through the Development Agreement process, waivers to the 750' maximum block length and the allowance of attached single-family dwellings in the R-4 zoning district.
- The Council hereby allows the following setback waivers for the attached single-family dwellings:
 - Zero (0') setback for interior lot lines, and
 - 3-foot rear setback from garage to alley.
 - 14-foot corner side yards from back of sidewalk.
 - 14-foot front yards from back of sidewalk.
 - 15 feet minimum between buildings.

*Lot numbers subject to change with revised Preliminary Plat

STAFF COMMENT:

The submitted Final Plat shall be revised to combine Lots 20 and 21, Block 2 (Lots 21 & 22 of the Preliminary Plat) into one lot in order to meet the Development Agreement Condition above requiring matching lot lines along the eastern boundary of the development. In addition, the Preliminary Plat was not approved with flag lots (shared driveways). Lots 23 and 24, Block 2 shall be revised to remove the flags and shared driveways. A condition of approval of this Final Plat application shall require this prior to signature of the Final Plat.

PUBLIC NOTIFICATIONS

Notifications of this application were sent to agencies having jurisdiction on October 3, 2023. The following agencies responded:

October 11, 2023 Central District Health Department

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

A. The Plat is in conformance with the Comprehensive Plan.

The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.

B. Public services are available or can be made available and are adequate to accommodate the proposed development.

Staff finds that all public services are available and able to accommodate this development.

C. There is public financial capability of supporting services for the proposed development.

Staff knows of no financial hardship that would prevent services from being provided.

D. The development will not be detrimental to the public health, safety or general welfare; and, *Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.*

E. The development preserves significant natural, scenic or historic features.

Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.

CONDITIONS OF APPROVAL

1. **Prior to signature of the Final Plat, the applicant shall revise the Final Plat to meet the Development Agreement Condition requiring lot matching for Lots 20 & 21, Block 2 (combine lots); and reconfigure Lots 23 & 24, Block 2, removing the unapproved flag lots.**
2. **Per the Development Agreement and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the City approximately \$355 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$72,798.00. The City will allocate funds to roadway improvements in the vicinity of the project. Phase 2 has 68 residential lots for a fee of \$24,140.00 (68 x \$355).**
3. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, prior to signature of the final plat.**
4. **The applicant shall submit a revised Landscape Plan referencing the revised Preliminary Plat and including parking spaces at the pool area, a six-foot (6') vinyl fence along the entire western boundary of the development with an optional gate at the northernmost western stub if access is granted, and wrought iron fencing along**

the eastern boundary of the development, south of the Lawrence-Kennedy Lateral, where existing fencing does not exist.

5. **The applicant shall provide a recorded public easement for the pathway located along the Lawrence-Kennedy Lateral prior to signature of the Final Plat.**
6. **The applicant shall submit a revised Preliminary Plat matching rear lot widths of Lots 2-9, Block 6* of the approved Preliminary Plat with rear lot lines of the adjacent Pinewood Lakes Subdivision to the east and matching rear lot lines of Lots 11-24, Block 6* of the approved Preliminary Plat with rear lot lines of the adjacent rectangular lots in Pinewood Lakes Subdivision to the east and utilizing those lot widths adjacent to the pie shaped lots. The Preliminary Plat shall also show the right of way of Bridger Bay Drive in the northwest corner of the development at the intersection extending to the north property line for potential future extension to the north. If a connection to the north is not approved within one year of the approval date of Cranefield Subdivision, this condition shall not apply.**
7. The approved Preliminary Plat for Cranefield Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
8. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
9. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.
10. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
11. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
12. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
13. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
14. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
15. The subsequent Final Plats shall comply with and be in accordance with the current City of Star Code, with the exception of any waivers granted by Council.
16. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
17. A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service.

- 18. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
- 19. A separate sign application is required for any subdivision sign.
- 20. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior to signature of the final plat.**
- 21. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.
- 22. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 23. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
- 24. A copy of signed irrigation agreements shall be submitted to the City **prior to signature of the final plat.**
- 25. All common areas shall be maintained by the Homeowners Association.
- 26. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 27. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
- 28. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
- 29. **Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic and/or copper telecommunication cables.**
- 30. Any additional Condition of Approval as required by Staff and City Council.

COUNCIL DECISION

The Star City Council _____ File # FP-23-14 Cranefield Subdivision, Final Plat, Phase 2
on _____, 2023.

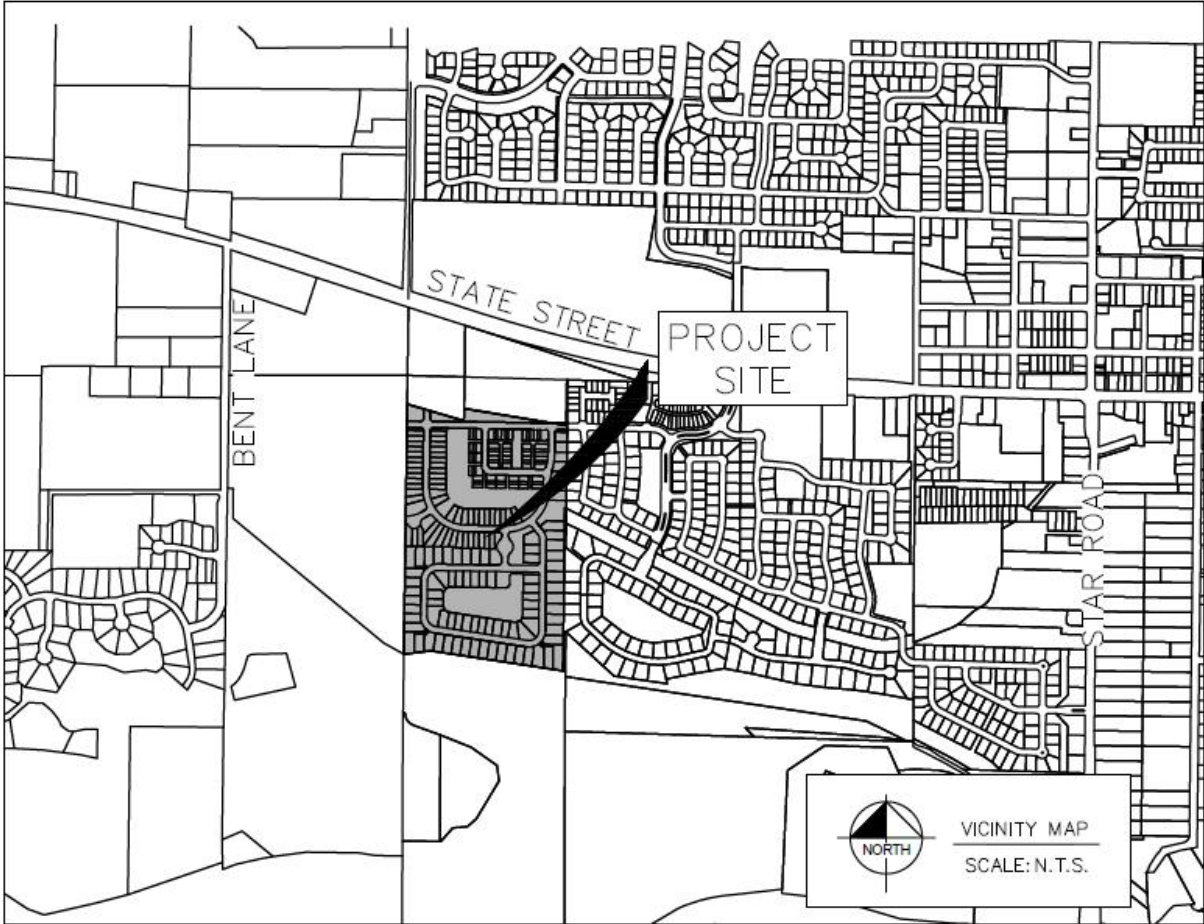


Figure 1: Vicinity Map



August 29, 2023

City of Star
Planning and Zoning
P.O. Box 130
Star, Idaho 83669

RE: Cranefield Subdivision No. 2

Dear City of Star Staff,

Attached for your review is the Final Plat application for Cranefield Subdivision No. 2. This plat has been submitted in conformance with the City of Star's Zoning Code and substantial compliance with the approved Preliminary Plat and Conditions of Approval.

Cranefield No. 2 includes 68 single-family detached residential lots and 7 common lots on approximately 24.3 acres. The gross density is 2.8 units per acre. The detached lots vary between two types of lots, one set with lot widths of approximately 40 feet and one set with 60-68' lot widths. Overall, the average lot size is approximately 9,000 SF. The overall open space for phase 2 is approximately 11 acres and includes a large pond for irrigation, portions of the Kennedy Canal, and usable open space areas for residents. Amenities proposed within this phase include a pool and pool house, and passive open space area surrounding the pond; the remaining landscape areas will be generously planted.

Construction of Cranefield Subdivision No. 2 will substantially comply the approved preliminary plat. If you have any questions or need additional information, please reach out to me at 208-410-6147 or at tim.nicholson@kimley-horn.com.

Thanks for your review and assistance with this application,

A handwritten signature in blue ink, appearing to read 'Tim Nicholson'.

Tim Nicholson, P.E.
Project Engineer



FINAL PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: <u>FP-23-14</u>
Date Application Received: <u>8-30-2023</u> Fee Paid: <u>\$3050.00</u>
Processed by: City: _____

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: Williams Communities
 Applicant Address: 21080 Centre Pointe Pkwy, Santa Clara, CA Zip: 91350
 Phone: _____ Email: _____

Owner Name: WH Star 203, LLC
 Owner Address: 11760 W. Executive Dr., Suite 120, Boise ID Zip: 83713
 Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):
 Contact: Tim Nicholson or Joe Dodson Firm Name: Kimley-Horn & Associates
 Address: 1100 W. Idaho Street, Suite 210, Boise, Idaho 83702 Zip: 83702
 Phone: 208-992-3751 Email: joe.dodson@kimley-horn.com

Property Information:

Subdivision Name: Cranefield Subdivision Phase: 2

Parcel Number(s): S0418223400

Approved Zoning: R4 Units per acre: 2.8

Total acreage of phase: 24.289 acres Total number of lots: 75

Residential: 68 Commercial: _____ Industrial: _____

Common lots: 7 Total acreage of common lots: 11.6 acres Percentage: 47.7%

Percent of common space to be used for drainage: 2.4% Acres: 0.28 acres (underground beds)

Special Flood Hazard Area: total acreage 5.5 acres (Approved CLOMR) number of homes 0

Changes from approved preliminary plat pertaining to this phase:

	Preliminary Plat	Final Plat
Number of Residential Lots:	<u>68</u>	<u>68</u>
Number of Common Lots:	<u>7</u>	<u>7</u>
Number of Commercial Lots:	<u>0</u>	<u>0</u>
Roads:	<u>W. Rosetta Street, S. Pecknold Avenue, S. Quincannon Way, W. Atlas Street, W. Meloria Street</u>	<u>W. Rosetta Drive, S. Pecknold Lane, S. Quincannon Lane, W. Atlas Lane, W. Meloria Lane</u>

Amenities: _____

Subdivision Pool and Clubhouse, and
 shade structures

Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision Name: Cranefield Subdivision Phase: 2

Special Flood Hazard Area: total acreage 1.91 (Approved CLOMR) number of homes 0

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16001C0125J, 16001C0120J
 FIRM effective date(s): mm/dd/year 06/19/2020
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone AE
 Base Flood Elevation(s): AE ____ .0 ft., etc.: AE 2458.0 ft., AE 2460.0 ft.
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Application Requirements:

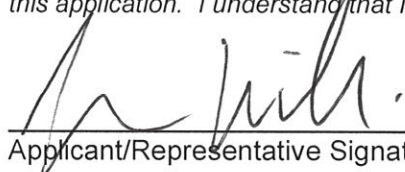
(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (√)	Description	Staff (√)
X	Completed and signed copy of Final Plat Application	
X	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
X	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> • Gross density of the phase of the Final Plat submitted • Lot range and average lot size of phase • Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities • List any specific approved building setbacks previously approved by Council. 	
X	Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)	
X	Electronic copy of current recorded warranty deed for the subject property	
X	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.	
X	Electronic copy of subdivision name approval from Ada County Surveyor's office.	
X	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming	
X	Electronic copy of vicinity map showing the location of the subject property	
X	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	
X	One (1) 11" X 17" paper copy of the Final Plat	
X	Electronic copy of the Final landscape plan**	

X	One (1) 11" X 17" copy of the Final landscape plan	
X	Electronic copy of site grading & drainage plans**	
X	Electronic copy of originally approved Preliminary Plat**	
N/A	Electronic copy of a Plat with all phases marked with changes, if applicable**	
X	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	
X	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	
X	Electronic copy of streetlight design and location information	
X	Special Flood Information – Must be included on Preliminary/Final Plat and Application form.	
X	Electronic copy of all easement agreements submitted to the irrigation companies	
X	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	
X	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.</u>	
	<p>Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance:</p> <ul style="list-style-type: none"> • One (1) 11" X 17" and (1) 18" X 24" recorded copy of Final Plat • Electronic copy of final, approved construction drawings • Electronic copy of as-built irrigation plans • Electronic copy of recorded CC&R's • Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign • Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please. 	
	**NOTE: No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid.	

FEE REQUIREMENT:

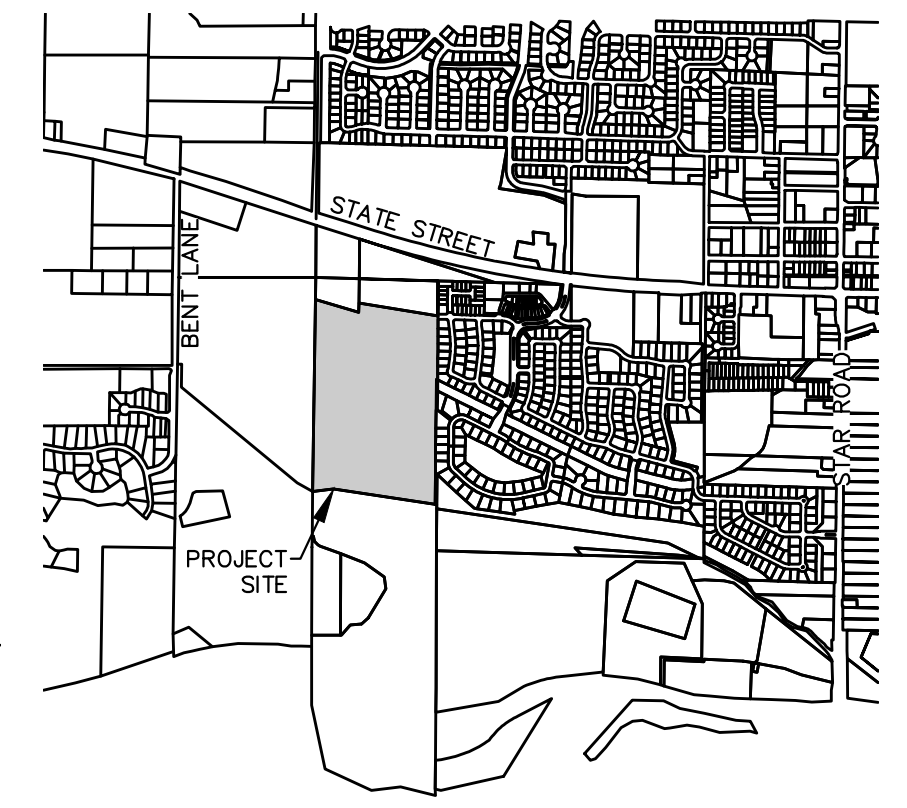
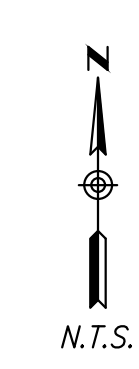
*** I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*


 Applicant/Representative Signature

8/4/2023
 Date

CRANEFIELD SUBDIVISION PRELIMINARY PLAT

A PORTION OF THE NW 1/4 OF SECTION 18,
TOWNSHIP 4 NORTH, RANGE 1 WEST
ADA COUNTY, IDAHO



VICINITY MAP
N.T.S.

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	PROPOSED CONDITIONS
4	LOT & CURVE DATA
5	PRESSURE IRRIGATION PLAN

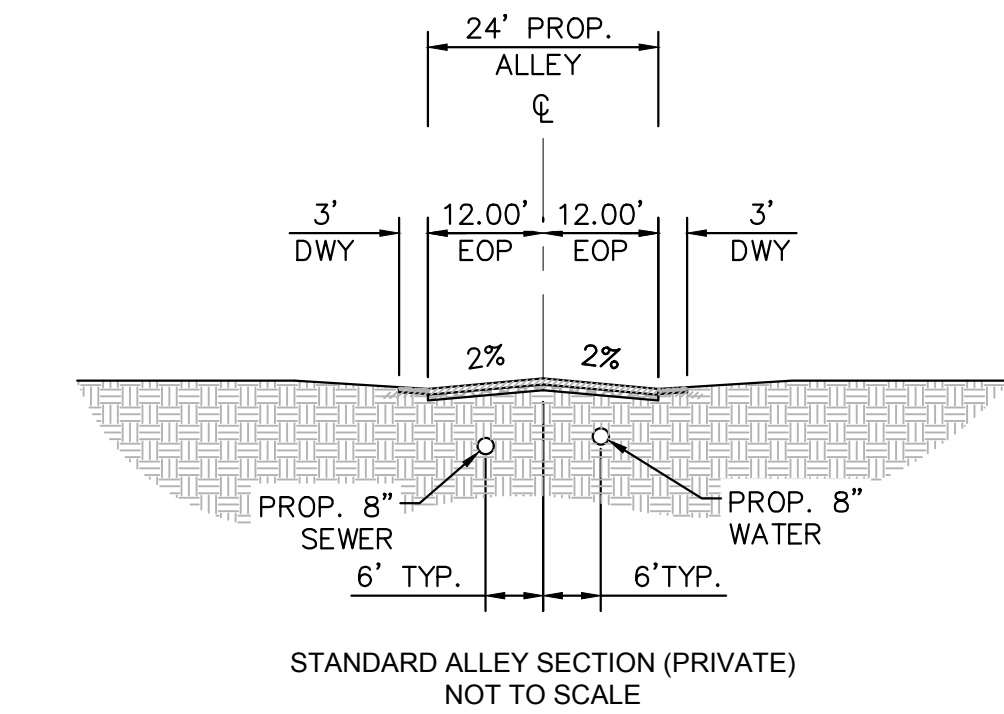
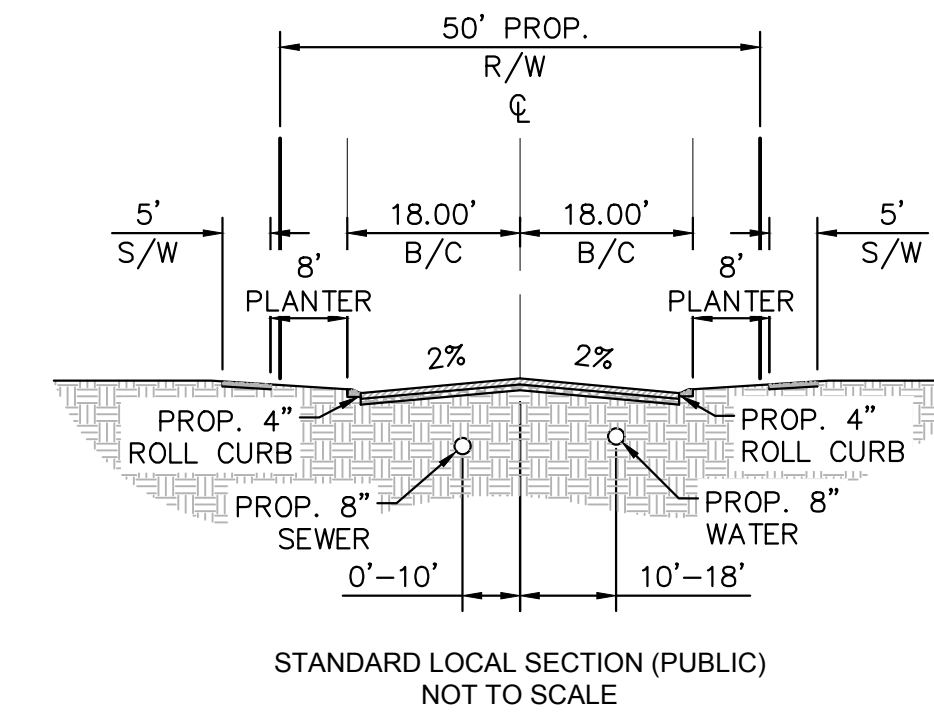
CRANEFIELD LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHWEST 1/4 OF SECTION 18, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SECTION 18 FROM WHICH THE WEST 1/4 CORNER OF SAID SECTION 18 BEARS SOUTH 88°25'08" EAST, 2,504.41 FEET; THENCE ON THE WEST BOUNDARY LINE OF SAID SECTION 18, SOUTH 00°47'01" WEST, 215.68 FEET TO THE REAL POINT OF BEGINNING;
THENCE SOUTH 73°34'03" EAST, 443.75 FEET;
THENCE NORTH 01°06'57" EAST, 92.00 FEET TO THE SOUTHWEST CORNER OF STONECREST SUBDIVISION NO. 1 AS FILE IN BOOK 119 OF PLATS AT PAGES 18528 THROUGH 18532, RECORDS OF ADA COUNTY, IDAHO;
THENCE ON THE SOUTHERLY BOUNDARY LINE OF SAID STONECREST SUBDIVISION NO. 1 AND THE EASTERLY EXTENSION THEREOF, SOUTH 80°37'42" EAST, 785.51 FEET TO THE WEST BOUNDARY LINE OF PINWOOD LAKES SUBDIVISION PHASE 1 AS FILE IN BOOK 87 OF PLATS AT PAGES 9974 THROUGH 9976, RECORDS OF ADA COUNTY, IDAHO;
THENCE ON THE WEST BOUNDARY LINE OF SAID PINWOOD LAKES SUBDIVISION PHASE 1 AND THE WEST BOUNDARY LINE OF PINWOOD LAKES SUBDIVISION PHASE 2 AS FILE IN BOOK 92 OF PLATS AT PAGES 11022 AND 11023, RECORDS OF ADA COUNTY, IDAHO, SOUTH 00°25'33" WEST, 623.85 FEET TO THE SOUTHWEST CORNER OF SAID PINWOOD LAKE SUBDIVISION PHASE 2;
THENCE LEAVING SAID WEST BOUNDARY LINE, NORTH 63°35'22" WEST, 14.96 FEET;
THENCE SOUTH 00°34'48" WEST, 1,225.82 FEET;
THENCE NORTH 81°23'03" WEST, 1,004.95 FEET;
THENCE SOUTH 82°54'49" WEST, 205.67 FEET TO THE WEST BOUNDARY LINE OF SAID SECTION 18;
THENCE NORTH 00°47'01" EAST, 1,879.39 FEET TO THE REAL POINT OF BEGINNING.

CONTAINING 2,201,105 SQUARE FEET OR 50.53 ACRES, MORE OR LESS.
END OF DESCRIPTION.

PRELIMINARY PLAT NOTES

- CONTOUR AND SPOT ELEVATION DATA IS REFERENCE TO NAVD '88 DATUM.
- THE PUBLIC STREETS IN THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACHD STANDARD FOR PUBLIC STREETS.
- LOT 14 BLOCK 2, LOT 1 BLOCK 4, LOT 37 BLOCK 5, LOTS 1, 10, AND 53 BLOCK 6, LOT 1 BLOCK 7, AND LOTS 18 AND 29 BLOCK 8 ARE COMMON LOTS TO BE OWNED AND MAINTAINED BY THE CRANEFIELD SUBDIVISION HOMEOWNERS ASSOCIATION. THESE LOTS SHALL BE USED FOR HOMEOWNER PEDESTRIAN ACCESS AND LANDSCAPING AND ARE SUBJECT TO A BLANKET EASEMENT ACROSS SAID LOTS FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE.
- STORMWATER RUNOFF GENERATED ON THIS SITE SHALL HAVE A QUALITY CONTROL TREATMENT PRIOR TO BEING CONVEYED TO ON-SITE STORAGE FACILITIES.
- PUBLIC UTILITIES SHALL INCLUDE WATER, SEWER, ELECTRIC POWER, NATURAL GAS, TELEPHONE, AND CABLE TELEVISION.
- THIS SUBDIVISION WILL RECEIVE PRESSURE IRRIGATION FROM A PRESSURE IRRIGATION SYSTEM OWNED AND MAINTAINED BY THE HOA.
- DOMESTIC WATER SERVICE AND FIRE PROTECTION SHALL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
- SANITARY SEWER COLLECTION SHALL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
- THIS DEVELOPMENT RECOGNIZES IDAHO CODE SECTION 22-4503, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHENEVER A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
- THE OWNER SHALL COMPLY WITH IDAHO CODE, SECTION 31-3805 OR ITS PROVISIONS THAT MAY APPLY TO IRRIGATION RIGHTS.
- BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH CITY OF STAR CODE UNLESS OTHERWISE MODIFIED BY CONDITIONAL USE PERMIT OR DEVELOPMENT AGREEMENT.
- THE BOTTOM ELEVATION OF BUILDING FOOTINGS SHALL BE SET A MINIMUM OF 12 INCHES ABOVE THE HIGHEST ESTABLISHED NORMAL GROUNDWATER ELEVATION.
- ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE MOST RECENTLY APPROVED SUBDIVISION STANDARDS OF THE CITY OF STAR AT THE TIME OF THE RE-SUBDIVISION.
- ALL LOT LINES COMMON TO PUBLIC STREETS ARE HEREBY DESIGNATED TO HAVE A TEN (10) FOOT PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE, UNLESS OTHERWISE DIMENSIONED.
- FRONT AND REAR YARDS WILL BE SUBJECT TO A 10' EASEMENT AND ALL SIDE YARDS WILL BE SUBJECT TO A 5' EASEMENT FOR DETACHED HOMES, AS NEEDED. ATTACHED UNITS WILL BE SUBJECT TO DIFFERENT FRONT, REAR, AND SIDE YARD EASEMENTS.
- MAINTENANCE OF ANY IRRIGATION AND DRAINAGE PIPES OR DITCHES CROSSING A LOT IS THE RESPONSIBILITY OF THE LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION/DRAINAGE ENTITY.
- RESTRICTIVE COVENANTS WILL BE IN EFFECT FOR THIS SUBDIVISION.



OWNER/DEVELOPER

WILLIAMS HOMES
21080 CENTRE POINTE PARKWAY
SANTA CLARITA, CA 91350
TELEPHONE: (661) 222-9207
CONTACT: MIKE BADNER

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
950 W. BANNOCK STREET, SUITE 1100
BOISE, IDAHO 83702
PHONE: (208) 297-2885
CONTACT: TIM NICHOLSON, PE

LAND SURVEYOR

IDAHO SURVEY GROUP
9955 W. EMERALD ST.
BOISE, IDAHO 83704
PHONE: (208) 846-8570
CONTACT: CODY MCCAMMON, PLS

LEGEND

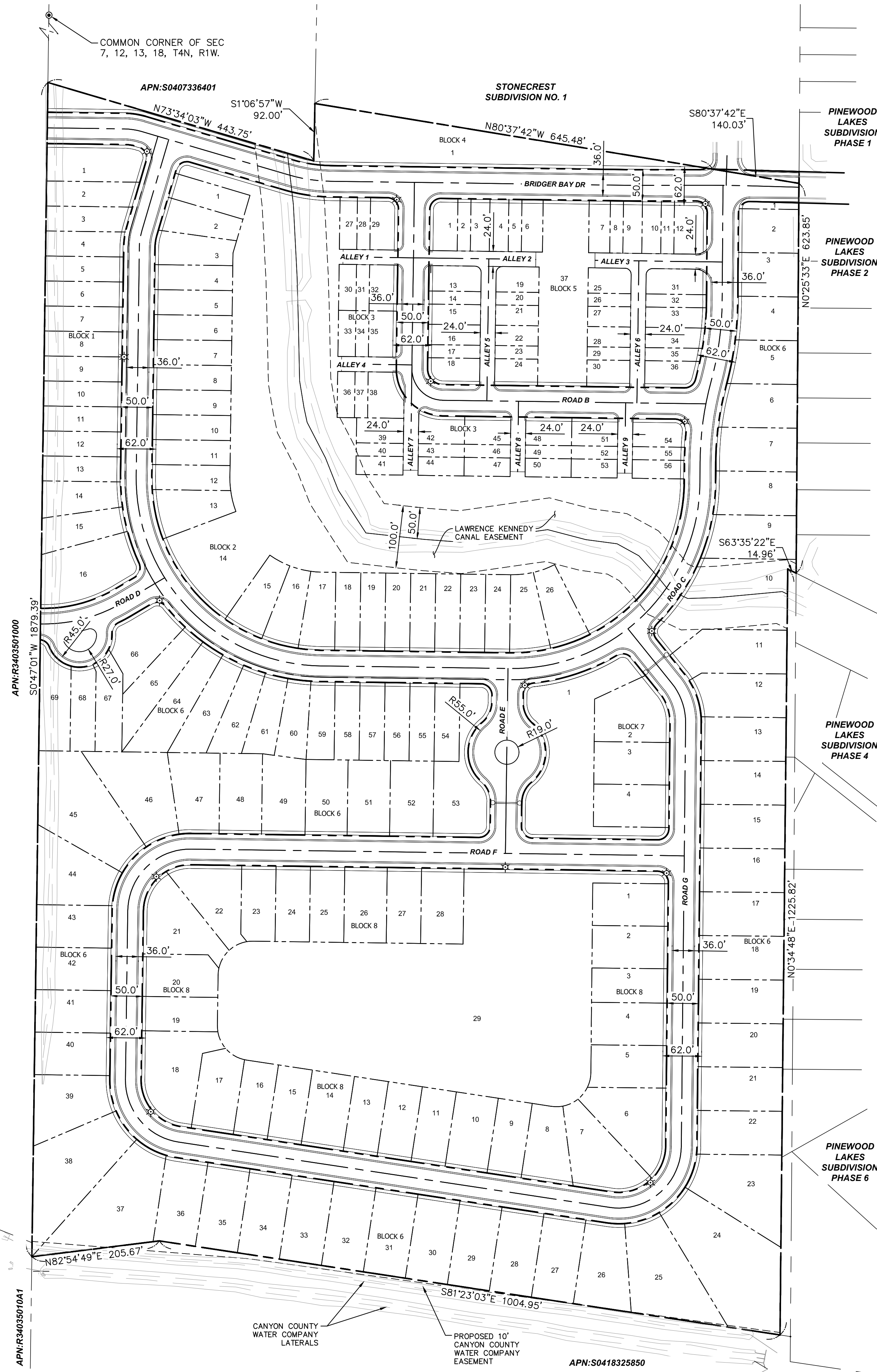
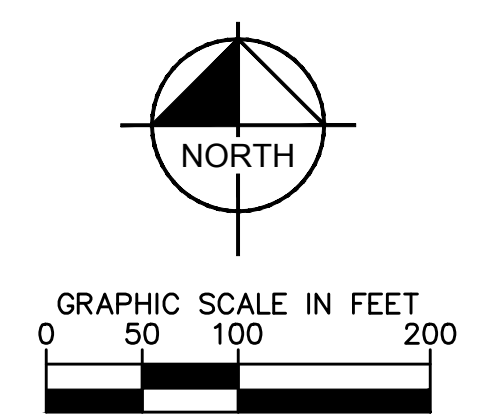
	PROPOSED CL/SECTION LINE		PROPOSED FIRE HYDRANT
	PROPOSED SWALE		PROPOSED GATE VALVE
	PROPOSED BOUNDARY		SIDEWALK RAMP
	ROAD RIGHT OF WAY		PROP. STORM DRAIN
	LOT LINE		PROP. CATCH BASIN
	EASEMENT		EXISTING CATCH BASIN
	PROPOSED 8" SEWER		EXISTING SEWER MAIN
	PROPOSED 8" WATER (3' COVER)		EXISTING WATER MAIN
	STORM WATER INFRASTRUCTURE EASEMENT		EXISTING EDGE OF PAVEMENT
	PROPOSED CURB		EXISTING EDGE OF GRAVEL ROAD
	PROPOSED STORM DRAIN MANHOLE		EXISTING FENCE
	PROPOSED CATCH BASIN		EXISTING OVERHEAD POWER
	PROPOSED SEWER MANHOLE		EXISTING GAS LINE

PRELIMINARY PLAT DATA

EXISTING ZONING: R-3-DA
PROPOSED ZONING: R-4-DA

GROSS ACREAGE: 50.56 AC
TOTAL LOTS: 215
RESIDENTIAL LOTS: 203
COMMON LOTS: 12
RESIDENTIAL GROSS DENSITY: 4.0 DU/AC
TOTAL OPEN SPACE: 13.53 AC (26.8%)

AVERAGE LOT AREA: 5,000 SF
MINIMUM LOT AREA: 1,449 SF



K:\B0_Civil\093683000_Cranefield\CAD\Plan Sheets\PP-CVR.dwg Jun 01, 2021 Tim Nicholson
 XREFS: swh_xfp_kfb-pp the concepts and details presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. REUSE OF ANY PORTION OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

Section 5, Item B

BY DATE: APP

REVISION

IND

Kimley»Horn
 © 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 950 Bannock Street, Suite 1100
 Boise, Idaho 83702 (208) 297-2885

SCALE (H): 1"=100'
 SCALE (V): NONE
 DESIGNED BY: TPN
 DRAWN BY: TPN
 CHECKED BY: MFO
 DATE: 06/01/2021

CRANEFIELD SUBDIVISION
 COVER SHEET
 STAR, IDAHO

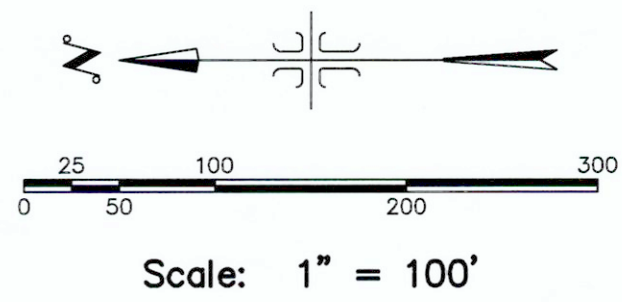
PROFESSIONAL ENGINEER
 REGISTERED
 13312
 06/01/2021
 STATE OF IDAHO
 TIMOTHY P. NICHOLSON

PROJECT NO.
 093683001
 DRAWING NAME
 PP-CVR

1 OF 5

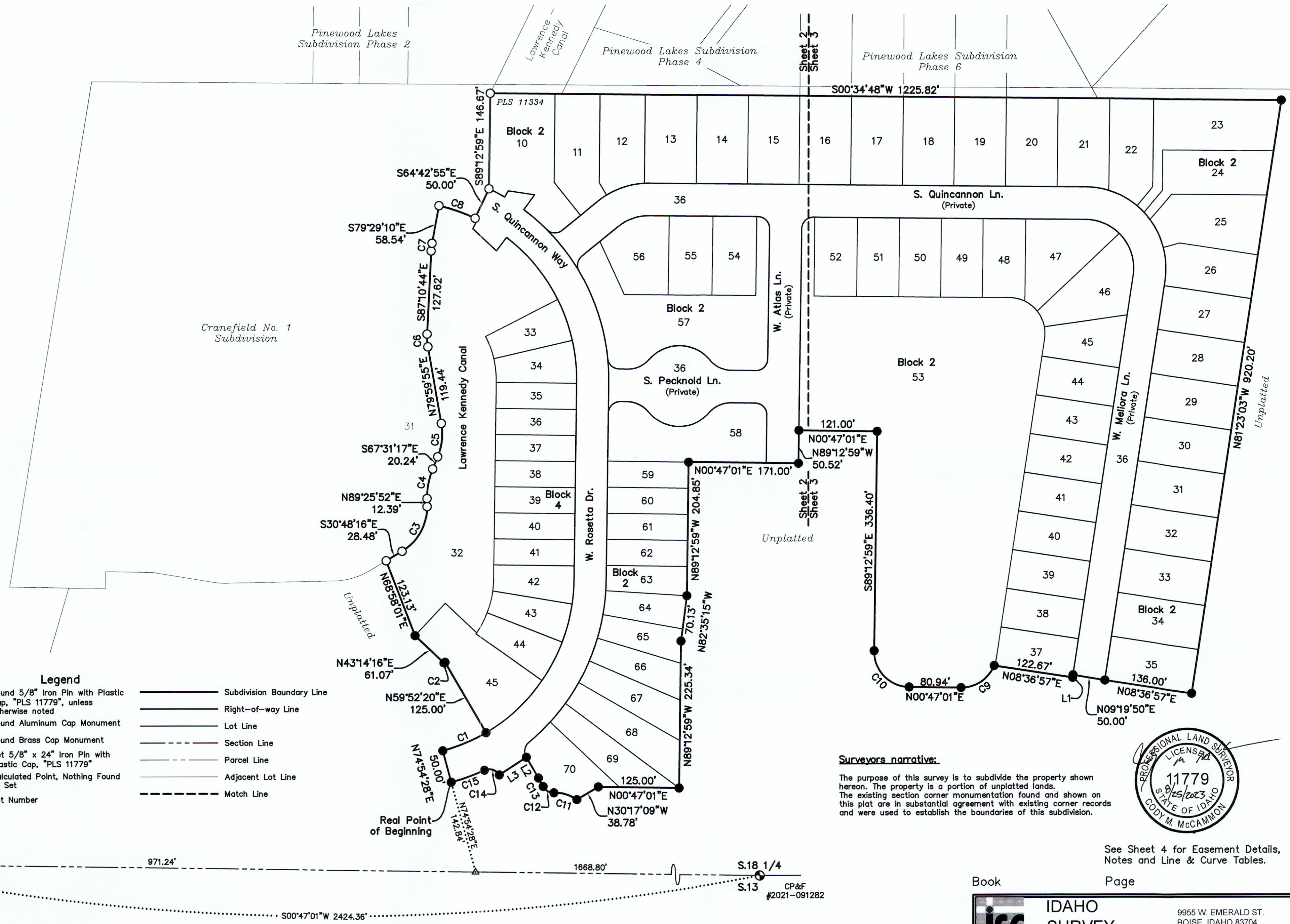
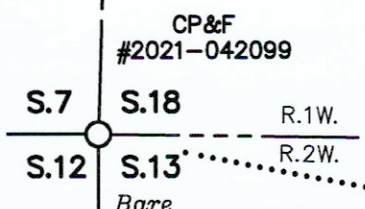
Plat Showing Cranefield Subdivision No. 2

A portion of Government Lots 1 and 2 of Section 18,
Township 4 North, Range 1 West, Boise Meridian,
City of Star, Ada County, Idaho.
2023



S68°25'08"E 2504.41'
Basis of Bearings

- Legend**
- Found 5/8" Iron Pin with Plastic Cap, "PLS 11779", unless otherwise noted
 - Found Aluminum Cap Monument
 - ⊙ Found Brass Cap Monument
 - Set 5/8" x 24" Iron Pin with Plastic Cap, "PLS 11779"
 - ▲ Calculated Point, Nothing Found or Set
 - 1 Lot Number
- Subdivision Boundary Line
 - Right-of-way Line
 - Lot Line
 - - - Section Line
 - - - Parcel Line
 - - - Adjacent Lot Line
 - - - Match Line



Surveyors narrative:

The purpose of this survey is to subdivide the property shown hereon. The property is a portion of unplatted lands. The existing section corner monumentation found and shown on this plat are in substantial agreement with existing corner records and were used to establish the boundaries of this subdivision.



See Sheet 4 for Easement Details, Notes and Line & Curve Tables.

Book

Page

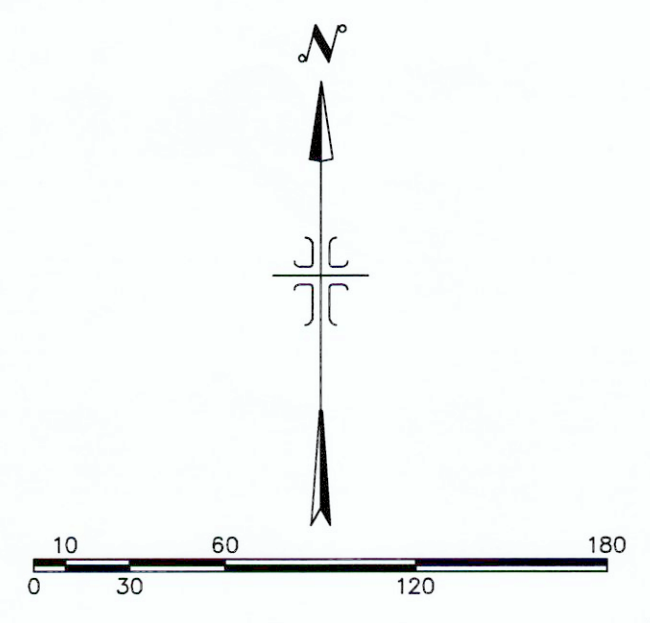
Job No. 22-092
Sheet 1 of 6



IDAHO SURVEY GROUP, LLC

9955 W. EMERALD ST.
BOISE, IDAHO 83704
(208) 846-8570
WWW.IDAHOSURVEY.COM

Cranefield Subdivision No. 2



Real Point of Beginning

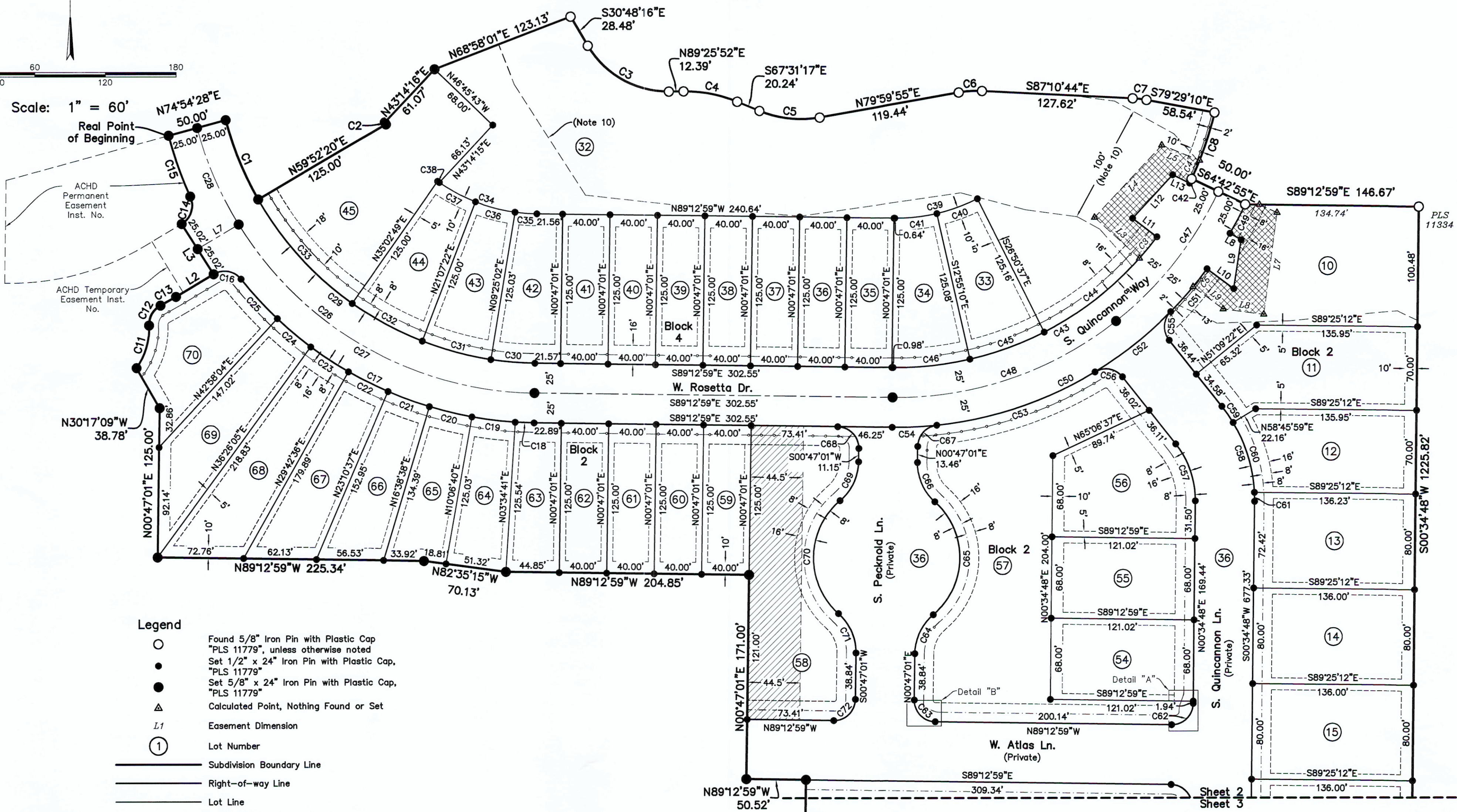
ACHD Permanent Easement Inst. No.

ACHD Temporary Easement Inst. No.

N30°17'09"W 38.78'

- Legend**
- Found 5/8" Iron Pin with Plastic Cap "PLS 11779", unless otherwise noted
 - Set 1/2" x 24" Iron Pin with Plastic Cap, "PLS 11779"
 - Set 5/8" x 24" Iron Pin with Plastic Cap, "PLS 11779"
 - △ Calculated Point, Nothing Found or Set
 - L1 Easement Dimension
 - ① Lot Number
 - Subdivision Boundary Line
 - Right-of-way Line
 - Lot Line
 - Centerline Line
 - - - Match Line
 - - - Easement Line (Note 6)
 - - - Easement Line, as Noted
 - ACHD Permanent Easement (Note 7)
 - ▨ ACHD Master Storm Drain Easement (Note 9)
 - ▩ ACHD Bridge/Culvert Maintenance Easement (Note 14)
 - - - HOA Sidewalk Easement Line (Note 12)

See Sheet 4 for Easement Details, Notes and Line & Curve Tables.

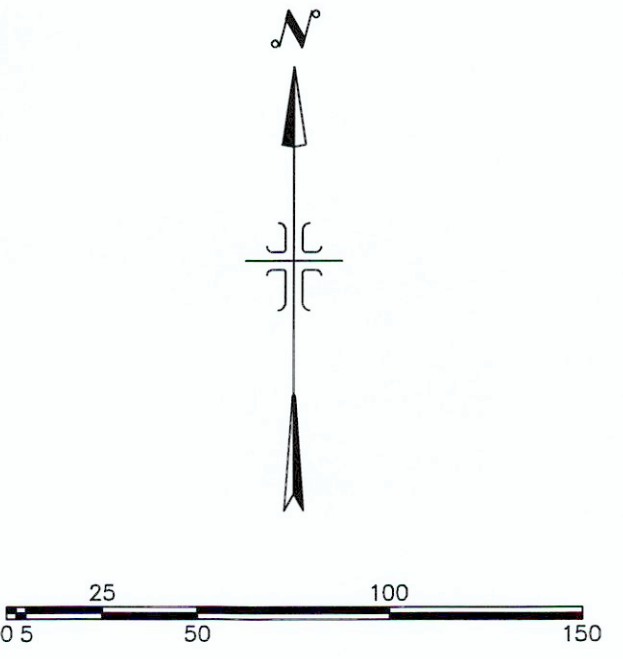
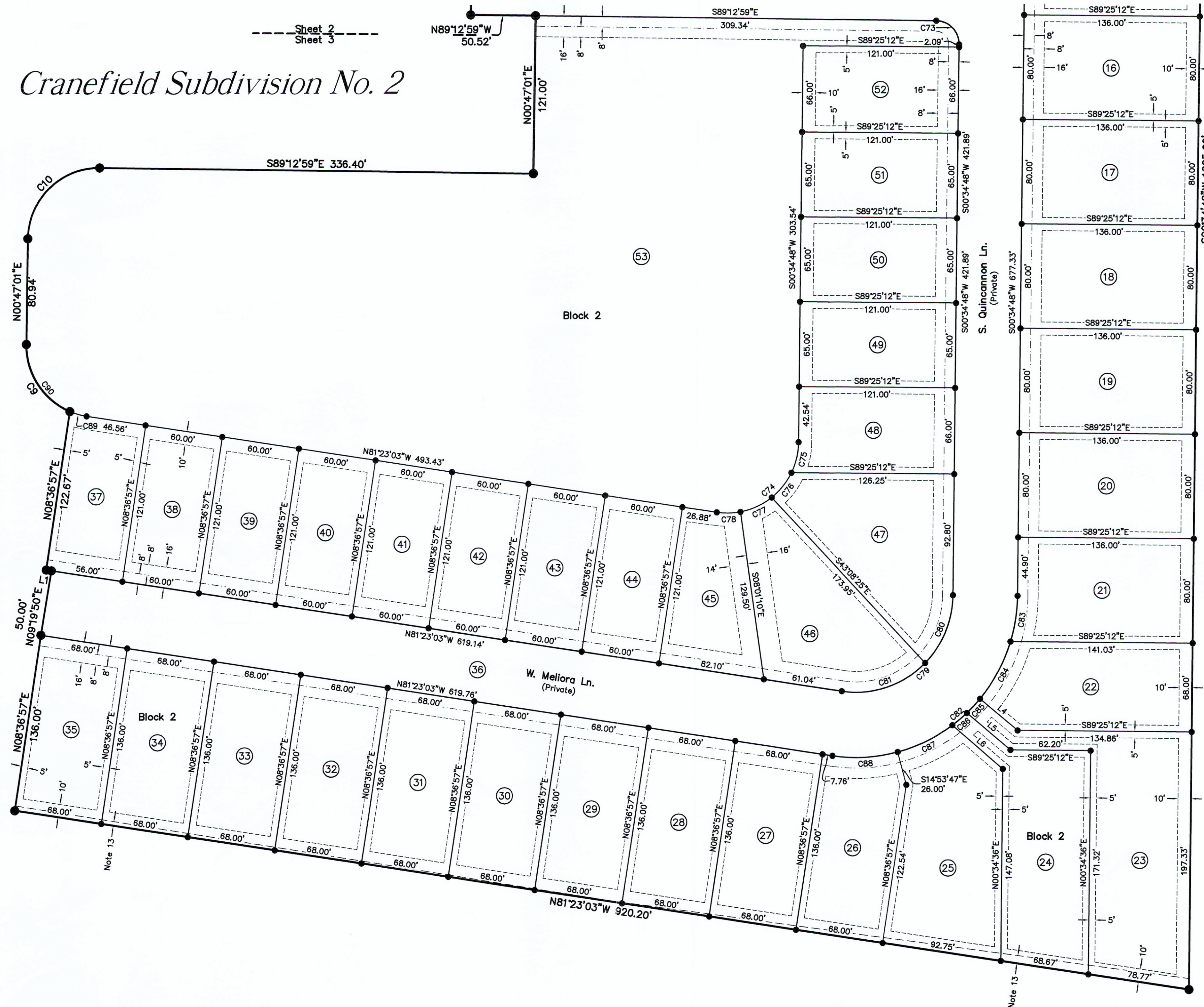


Book _____ Page _____

ISG IDAHO SURVEY GROUP, LLC

9955 W. EMERALD ST.
BOISE, IDAHO 83704
(208) 846-8570
WWW.IDAHOSURVEY.COM

Cranefield Subdivision No. 2



- Legend**
- Set 1/2" x 24" Iron Pin with Plastic Cap, "PLS 11779"
 - Set 5/8" x 24" Iron Pin with Plastic Cap, "PLS 11779"
 - ① Lot Number
 - Subdivision Boundary Line
 - Right-of-way Line
 - Lot Line
 - Centerline Line
 - - - Match Line
 - - - Easement Line (Note 6)
 - - - Easement Line, as Noted
 - - - HOA Sidewalk Easement Line (Note 12)

See Sheet 4 for Easement Details, Notes and Line & Curve Tables.



Book _____ Page _____

ISG IDAHO SURVEY GROUP, LLC

9955 W. EMERALD ST.
BOISE, IDAHO 83704
(208) 846-8570
WWW.IDAHOSURVEY.COM

Cranefield Subdivision No. 2

Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Length
C1	72.17'	275.00'	15°02'08"	S22°36'36"E	71.96'
C2	1.98'	150.00'	0°45'22"	N29°44'59"W	1.98'
C3	82.10'	78.71'	59°45'52"	S60°41'12"E	78.43'
C4	46.43'	115.43'	23°02'51"	S79°02'42"E	46.12'
C5	52.08'	91.87'	32°28'48"	S83°45'41"E	51.38'
C6	19.70'	88.00'	12°49'29"	N86°24'31"E	19.86'
C7	11.82'	88.00'	7°41'34"	S83°19'57"E	11.81'
C8	58.89'	275.00'	12°16'12"	S19°08'59"W	58.78'
C9	65.30'	55.00'	68°01'14"	N33°13'36"W	61.53'
C10	86.39'	55.00'	90°00'00"	N45°47'01"E	77.78'
C11	37.86'	57.00'	38°03'39"	N16°36'52"E	37.17'
C12	20.38'	18.00'	64°52'17"	N30°01'11"E	19.31'
C13	14.94'	275.00'	3°06'47"	N60°53'55"E	14.94'
C14	26.38'	18.00'	83°58'21"	N17°21'21"E	24.08'
C15	54.10'	325.00'	9°32'18"	N19°51'40"W	54.04'
C16	25.64'	18.00'	81°37'15"	S79°50'51"E	23.53'
C17	284.63'	325.00'	50°10'46"	S64°07'36"E	275.62'
C18	15.85'	325.00'	2°47'40"	S87°49'09"E	15.85'
C19	37.06'	325.00'	6°31'59"	S83°09'20"E	37.04'
C20	37.06'	325.00'	6°31'59"	S76°37'21"E	37.04'
C21	37.06'	325.00'	6°31'59"	S70°05'22"E	37.04'
C22	37.06'	325.00'	6°31'59"	S63°33'24"E	37.04'
C23	38.15'	325.00'	6°43'29"	S56°55'40"E	38.12'
C24	37.06'	325.00'	6°31'59"	S50°17'56"E	37.04'
C25	45.35'	325.00'	7°59'43"	S43°02'05"E	45.31'
C26	388.11'	300.00'	74°07'27"	S52°09'15"E	361.61'
C27	299.63'	300.00'	57°13'29"	S60°36'14"E	287.33'
C28	88.49'	300.00'	16°53'58"	S23°32'31"E	88.17'
C29	355.77'	275.00'	74°07'27"	S52°09'15"E	331.47'
C30	37.32'	275.00'	7°46'30"	N85°19'44"W	37.29'
C31	60.30'	275.00'	12°33'50"	N75°09'34"W	60.18'
C32	66.83'	275.00'	13°55'27"	N61°54'55"W	66.67'
C33	119.15'	275.00'	24°49'32"	N42°32'26"W	118.22'

Easement Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Length
C3	23.21'	275.00'	004°50'07"	N39°31'37"E	23.20'
C4	16.80'	275.00'	003°29'59"	N23°32'06"E	16.79'
C5	19.04'	325.00'	003°21'23"	N38°03'06"E	19.04'
C6	26.38'	18.00'	083°58'21"	N17°21'21"E	24.08'
C7	42.70'	325.00'	007°31'37"	S20°52'01"E	42.67'
C8	6.07'	18.00'	019°18'29"	N81°07'47"E	6.04'
C9	4.42'	3.00'	084°23'23"	N42°40'24"E	4.03'
C10	4.08'	11.98'	019°31'48"	S10°32'55"W	4.06'
C11	2.76'	8.00'	019°46'40"	N10°26'49"E	2.75'
C12	4.05'	3.00'	077°25'17"	S37°55'37"E	3.75'
C13	4.47'	13.00'	019°43'21"	S79°21'19"E	4.45'

Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Length
C34	87.88'	150.00'	33°34'10"	S72°25'54"E	86.63'
C35	18.48'	150.00'	7°03'34"	N85°41'12"W	18.47'
C36	34.77'	150.00'	13°16'46"	N75°31'01"W	34.69'
C37	36.45'	150.00'	13°55'27"	N61°54'55"W	36.36'
C38	1.82'	150.00'	0°41'38"	N55°18'00"W	1.82'
C39	72.33'	150.00'	27°37'38"	N76°58'12"E	71.63'
C40	36.45'	150.00'	13°55'27"	S70°07'06"W	36.36'
C41	35.87'	150.00'	13°42'11"	S83°55'56"W	35.79'
C42	3.93'	275.00'	0°49'05"	N25°41'37"E	3.93'
C43	257.62'	275.00'	53°40'28"	N63°56'47"E	248.30'
C44	125.32'	275.00'	26°06'38"	S50°09'52"W	124.24'
C45	66.86'	275.00'	13°55'49"	S70°11'06"W	66.70'
C46	65.44'	275.00'	13°38'00"	S83°58'01"W	65.28'
C47	139.82'	300.00'	26°42'17"	N38°38'13"E	138.56'
C48	203.13'	300.00'	38°47'39"	N71°23'11"E	199.27'
C49	27.44'	325.00'	4°50'14"	N27°42'12"E	27.43'
C50	308.63'	325.00'	54°24'37"	N63°34'43"E	297.16'
C51	47.16'	325.00'	8°18'53"	N40°31'51"E	47.12'
C52	81.71'	325.00'	14°24'17"	N51°53'26"E	81.49'
C53	142.01'	325.00'	25°02'08"	N71°36'39"E	140.88'
C54	37.75'	325.00'	6°39'18"	N87°27'22"E	37.73'
C55	26.24'	18.00'	83°31'56"	N02°55'20"E	23.98'
C56	25.78'	18.00'	82°03'47"	S79°52'32"E	23.63'
C57	51.61'	75.00'	39°25'26"	S19°07'55"E	50.59'
C58	86.01'	125.00'	39°25'26"	N19°07'55"W	84.32'
C59	16.60'	125.00'	7°36'37"	N35°02'20"W	16.59'
C60	61.83'	125.00'	28°20'21"	N17°03'51"W	61.20'
C61	7.58'	125.00'	3°28'28"	N01°09'26"W	7.58'
C62	28.34'	18.00'	90°12'13"	S45°40'54"W	25.50'
C63	28.27'	18.00'	90°00'00"	N44°12'59"W	25.46'
C64	37.25'	43.00'	49°38'16"	N25°36'09"E	36.10'
C65	107.43'	62.00'	99°16'31"	N00°47'01"E	94.48'
C66	37.25'	43.00'	49°38'16"	N24°02'07"W	36.10'

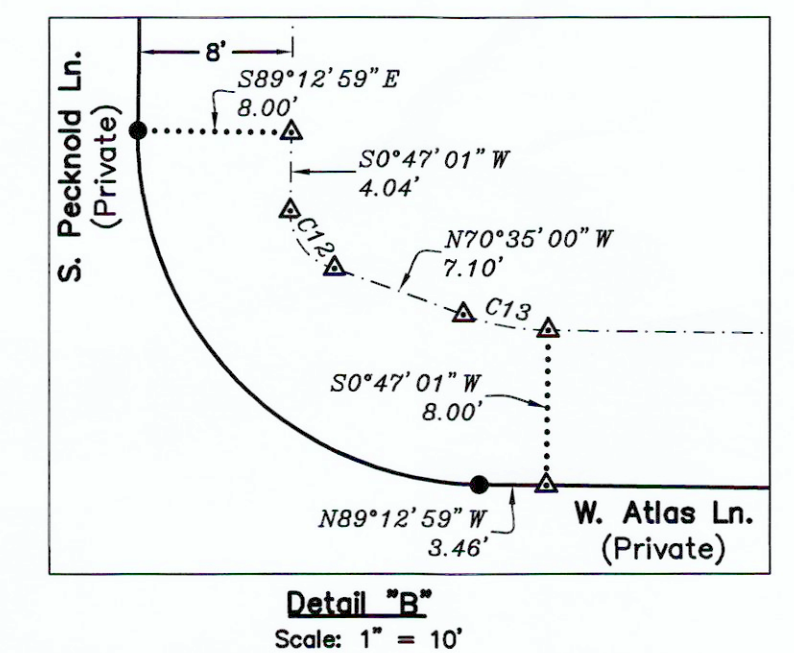
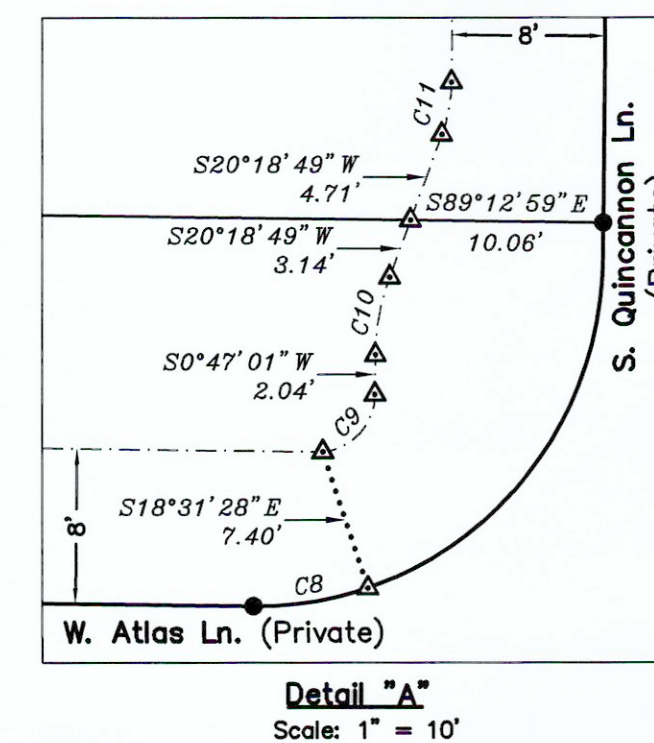
Line Table			Easement Line Table		
Line	Bearing	Length	Line	Bearing	Length
L1	N81°23'03"W	4.00'	L3	S48°03'20"E	51.26'
L2	N59°20'32"E	37.07'	L4	S43°21'56"W	82.92'
L3	N32°40'47"W	50.03'	L5	N68°12'54"W	34.47'
L4	S50°09'29"E	37.92'	L7	S07°29'56"W	85.86'
L5	S50°01'10"E	44.16'	L8	N82°30'04"W	34.48'
L6	S49°21'01"E	51.52'	L9	N53°43'23"W	31.58'
L7	S59°20'32"W	40.30'			

Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Length
C67	26.18'	18.00'	83°20'42"	N42°27'22"E	23.94'
C68	28.27'	18.00'	90°00'00"	S44°12'59"E	25.46'
C69	37.25'	43.00'	49°38'16"	S25°36'09"W	36.10'
C70	107.43'	62.00'	99°16'31"	S00°47'01"W	94.48'
C71	37.25'	43.00'	49°38'16"	S24°02'07"E	36.10'
C72	28.27'	18.00'	90°00'00"	S45°47'01"W	25.46'
C73	28.21'	18.00'	89°47'47"	S44°19'06"E	25.41'
C74	94.11'	55.00'	98°02'09"	N49°35'53"E	83.04'
C75	24.24'	55.00'	25°14'52"	N13°12'14"E	24.04'
C76	24.59'	55.00'	25°37'02"	N38°38'12"E	24.39'
C77	26.79'	55.00'	27°54'13"	N65°23'49"E	26.52'
C78	18.50'	55.00'	19°16'02"	N88°58'56"E	18.41'
C79	128.33'	75.00'	98°02'09"	N49°35'53"E	113.24'
C80	57.62'	75.00'	44°01'04"	S22°35'20"W	56.21'
C81	70.71'	75.00'	54°01'05"	S71°23'25"W	68.12'
C82	213.88'	125.00'	98°02'09"	N49°35'53"E	188.73'
C83	35.58'	125.00'	16°18'37"	N08°44'06"E	35.46'
C84	50.07'	125.00'	22°57'06"	N28°21'58"E	49.74'
C85	14.93'	125.00'	6°50'34"	N43°15'48"E	14.92'
C86	14.62'	125.00'	6°42'12"	N50°02'11"E	14.62'
C87	47.38'	125.00'	21°42'56"	N64°14'45"E	47.09'
C88	51.30'	125.00'	23°30'44"	N86°51'35"E	50.94'
C89	13.58'	55.00'	14°08'50"	S74°18'38"E	13.55'
C90	78.88'	55.00'	82°10'04"	S40°18'01"E	72.29'

- Legend**
- ▲ Calculated Point, Nothing Found or Set
 - Set 1/2" x 24" Iron Pin with Plastic Cap, "PLS 11779"
 - Set 5/8" x 24" Iron Pin with Plastic Cap, "PLS 11779"
 - Subdivision Boundary Line
 - Right-of-way Line
 - Lot Line
 - ACHD Permanent Easement (Note 7)
 - HOA Sidewalk Easement Line (Note 12)
 - Survey Tie Line

Notes:

- Lots 10, 36, 53, 57, and 58, Block 2; and Lots 32 and 45, Block 4 are common lots to be owned and maintained by the Cranefield Subdivision Homeowners' Association. Except for Lot 36, Block 2, these lots are subject to a blanket easement across said lots for pressure irrigation and lot drainage. Lot 36 is subject to a blanket easement across said lot for common access, Star Sewer and Water District, and public utilities.
- Irrigation water is not available from any irrigation entity pursuant to Idaho Code 31-3805(1)(a). Lots within the subdivision will be entitled to receive irrigation water from a pressure irrigation system owned and maintained by the Homeowners' Association supplied by groundwater or by surface water if reasonably available and will be obligated for assessments from Homeowners' Association.
- Any re-subdivision of this plat shall comply with the most recently approved subdivision standards of the City of Star at the time of the re-subdivision.
- Minimum Building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and/or required, or as shown on this plat.
- This development recognizes Idaho code, title 22, chapter 45 Right to Farm Act, section 22-4503, which states "no agricultural operation or an appurtenance to it shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after the same has been in operation for more than one (1) year, when the operation was not a nuisance at the time the operation began; provided, that the provisions of this section shall not apply whenever nuisance results from the improper or negligent operation of any agricultural operation or appurtenance to it."
- All lot lines common to a public right-of-way have a sixteen (16) foot wide permanent pressure irrigation, public utilities and lot drainage easement, unless otherwise delineated and referenced. A ten (10) foot wide permanent pressure irrigation, lot drainage and public utilities easement is hereby designated along the rear lot lines, unless otherwise delineated and referenced. Each side of interior lot lines have a five (5) foot wide pressure irrigation and lot drainage easement, unless otherwise delineated and referenced.
- ACHD Permanent Easement. See Instrument Number _____.
- Restrictive covenants will be in effect for this subdivision.
- A portion of Lot 58, Block 2 is servient to and contain the ACHD storm water drainage system. These lots are encumbered by that first amended master perpetual storm water drainage easement recorded on November 10, 2015, as Instrument No. 2015-103256, official records of Ada county and incorporated herein by this reference as if set forth in full (the "master easement"). The master easement and the storm water drainage system are dedicated to ACHD pursuant to section 40-2312 Idaho code. The master easement is for the operation and maintenance of the storm water drainage system.
- Lot 10, Block 2 and Lot 32, Block 4 are subject to a 100' wide easement for the Kennedy Canal.
- The subdivision is located within the FEMA determined Special Flood Hazard Zone "AE" per Firm Panel No. 16001C0125J, which bears an effective date of June 19, 2020. Flood zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 11-08 of the City of Star Code.
- All lot lines common to a private right-of-way have an eight (8) foot wide sidewalk easement, unless otherwise delineated and referenced hereon, to be owned and maintained by the Cranefield Subdivision Homeowners' Association.
- Canyon County Water Company Easement is granted herein for the benefit of the Canyon County Water Company as delineated and referenced. See License Agreement Instrument No. 2023-020720.
- ACHD Bridge/Culvert Maintenance Easement. See Instrument Number _____.
- ACHD Temporary License Agreement - Instrument No. _____.



Cranefield Subdivision No. 2

Certificate Of Owners

Know all men by these presents: that WH Star 203 LLC, a Delaware Limited Liability Company, is the Owner of the Property described as follows:

Legal Description:

A portion Government Lots 1 and 2 of Section 18, Township 4 North, Range 1 West, Boise Meridian, City of Star, Ada County, Idaho being more particularly described as follows:

Commencing at the Northwest corner of Section 18 from which the North 1/4 corner of said Section 18 bears S88°25'08" E, 2,504.41 feet; thence on the west boundary line of said Section 18, S00°47'01" W, 971.24 feet; thence N74°54'28" E, 142.84 feet to the REAL POINT OF BEGINNING;

thence continuing N74°54'28"E, 50.00 feet;
thence 72.17 feet on curve to the left, having a radius of 275.00 feet, a central angle of 15°02'08", a chord bearing of S22°36'36"E, and a chord length of 71.96 feet;
thence North 59°52'20" East, 125.00 feet;
thence 1.98 feet on the arc of a non-tangent curve to the right having a radius of 150.00 feet, a central angle of 00°45'22", and a long chord which bears North 29°44'59" West, 1.98 feet;

thence North 43°14'16" East, 61.07 feet;
thence North 68°58'01" East, 123.13 feet to the southerly boundary line of Cranefield Subdivision No. 1 as filed in Book of Plats at Pages through records of Ada county, Idaho;

thence on said southerly boundary line the following fourteen (14) courses and distances:

S30°48'16"E, 28.48 feet;
82.10 feet on a curve to the left, having a radius of 78.71 feet, a central angle of 59°45'52", a chord bearing of S60°41'12"E, and a chord length of 78.43 feet;
N89°25'52"E, 12.39 feet;
46.43 feet on a curve to the right, having a radius of 115.43 feet, a central angle of 23°02'51", a chord bearing of S79°02'42"E, and a chord length of 46.12 feet;
S67°31'17"E, 20.24 feet;
52.08 feet on a curve to the left, having a radius of 91.87 feet, a central angle of 32°28'48", a chord bearing of S83°45'41"E, and a chord length of 51.38 feet;
N79°59'55"E, 119.44 feet;
19.70 feet on a curve to the right, having a radius of 88.00 feet, a central angle of 12°49'29", a chord bearing of N86°24'31"E, and a chord length of 19.66 feet;
S87°10'44"E, 127.62 feet;
11.82 feet on a curve to the right, having a radius of 88.00 feet, a central angle of 07°41'34", a chord bearing of S83°19'57"E, and a chord length of 11.81 feet;
S79°29'10"E, 58.54 feet;
58.89 feet on a curve to the right, having a radius of 275.00 feet, a central angle of 12°16'12", a chord bearing of S19°08'59"W, and a chord length of 58.78 feet;
S64°42'55"E, 50.00 feet;
S89°12'59"E, 146.67 feet;

thence leaving said southerly boundary line, S00°34'48"W, 1225.82 feet to the north boundary line of the Canyon County Water Company property as described in a Warranty Deed, Book 114 at Page 132, records of Ada County, Idaho;

thence on said north boundary line, N81°23'03"W, 920.20 feet;
thence leaving said north boundary line, N08°36'57"E, 136.00 feet;
thence N09°19'50"E, 50.00 feet;
thence N81°23'03"W, 4.00 feet;
thence N08°36'57"E, 122.67 feet;
thence 65.30 feet on a curve to the right, having a radius of 55.00 feet, a central angle of 68°01'14", a chord bearing of N33°13'36"W, and a chord length of 61.53 feet;
thence N00°47'01"E, 80.94 feet;
thence 86.39 feet on a curve to the right, having a radius of 55.00 feet, a central angle of 90°00'00", a chord bearing of N45°47'01"E, and a chord length of 77.78 feet;
thence S89°12'59"E, 336.40 feet;
thence N00°47'01"E, 121.00 feet;
thence N89°12'59"W, 50.52 feet;
thence N00°47'01"E, 171.00 feet;
thence N89°12'59"W, 204.85 feet;
thence N82°35'15"W, 70.13 feet;
thence N89°12'59"W, 225.34 feet;
thence N00°47'01"E, 125.00 feet;
thence N30°17'09"W, 38.78 feet;

thence 37.86 feet on a curve to the left, having a radius of 57.00 feet, a central angle of 38°03'39", a chord bearing of N16°36'52"E, and a chord length of 37.17 feet;
thence 20.38 feet on a reverse curve to the right, having a radius of 18.00 feet, a central angle of 64°52'17", a chord bearing of N30°01'11"E, and a chord length of 19.31 feet;
thence 14.94 feet on a reverse curve to the left, having a radius of 275.00 feet, a central angle of 03°06'47", a chord bearing of N60°53'55"E, and a chord length of 14.94 feet;
thence N59°20'32"E, 37.07 feet;
thence N32°40'47"W, 50.04 feet;
thence 26.38 feet on a curve to the left, having a radius of 18.00 feet, a central angle of 83°58'21", a chord bearing of N17°21'21"E, and a chord length of 24.08 feet;
thence 54.10 feet on a reverse curve to the right, having a radius of 325.00 feet, a central angle of 09°32'18", a chord bearing of N19°51'40"W, and a chord length of 54.04 feet to the REAL POINT OF BEGINNING.

Containing 24.289 acres, more or less.

It is the intention of the undersigned to hereby include the above described property in this plat and to dedicate to the public, the public streets as shown on this plat. The private streets and easements indicated on said plat are not dedicated to the public. However, the right to use said easements is perpetually reserved for public utilities and for such other uses as designated hereon, no permanent structure other than for such utility purposes are to be erected within the limits of said easements. All lots in this plat will be eligible to receive domestic water and sanitary sewer service from an existing Star Sewer and Water District main line located adjacent to the subject Subdivision and Star Sewer and Water District has agreed in writing to serve all the lots in this Subdivision. (I.C. 50-1334) and (I.C. 50-1326).

In witness whereof I have hereunto set my hand:

WH Star 203 LLC, a Delaware Limited Liability Company

By: Williams Communities LLC, a California Limited Liability Company
Its: Manager

By: Lance K. Williams
Its: Manager

Acknowledgment

State of Idaho)
County of Ada) s.s.

On this _____ day of _____, 2023, before me, the undersigned, a Notary Public in and for the State of Idaho, personally appeared Lance K. Williams, known or identified to me to the manager of WH Star 203 LLC, a Delaware Limited Liability Company, or the person who executed the instrument on behalf of said Limited Liability Company, and acknowledged to me that WH Star 203 LLC, executed the same.

In witness whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Notary Public for Idaho
Residing in _____
My commission expires _____

Certificate of Surveyor

I, Cody M. McCammon, do hereby certify that I am a Professional Land Surveyor licensed by the State of Idaho, and that this plat as described in the "Certificate of Owners" is drawn from an actual survey made on the ground under my direct supervision and accurately represents the points platted thereon, and is in conformity with the State of Idaho Code relating to plats and surveys.

Cody M. McCammon



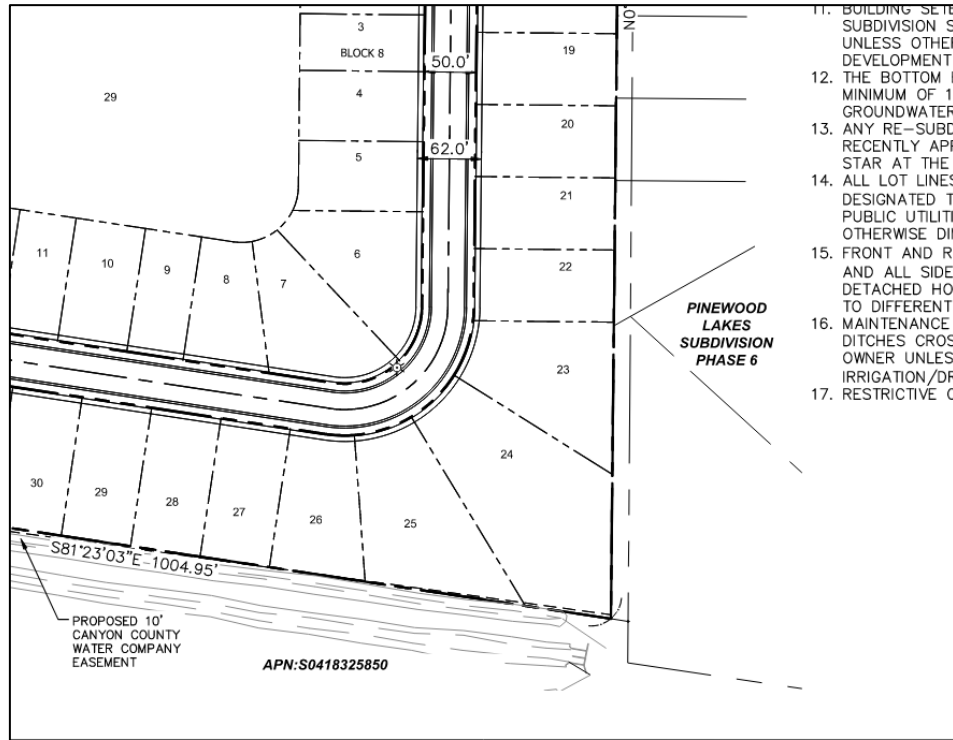
P.L.S. No. 11779

Book _____ Page _____

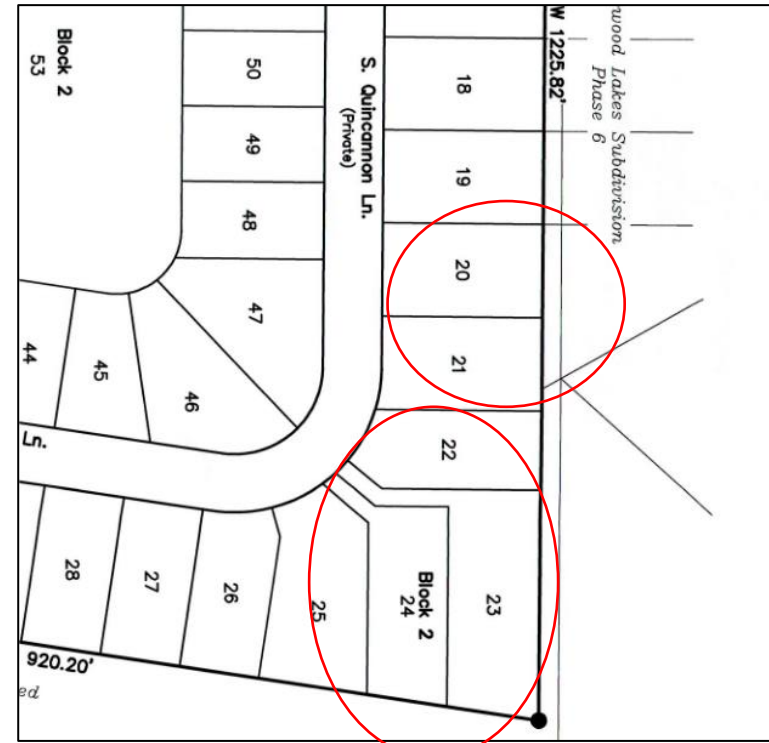
Section 5, Item B.

- Match rear lot lines of Lots 11-24, Block 6* of the approved Preliminary Plat with rear lot lines of the adjacent rectangular lots in Pinewood Lakes Subdivision to the east and utilize those lot widths adjacent to the pie shaped lots. This may result in the removal of one (1) or more lots.

Approved Preliminary Plat



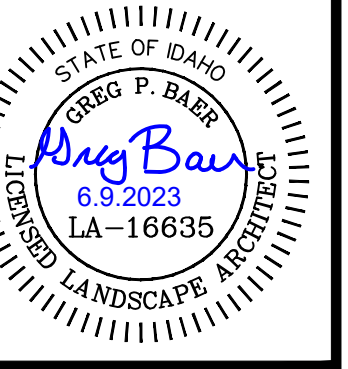
Submitted Final Plat



Flag Lots Not Approved as part of Preliminary Plat – Fire District Approval



BAER DESIGN GROUP, LLC
 greg@baerdg.com
 Ph. 208.859.1980



Idaho

Cranefield Subdivision

Star

Overall Landscape Plan

Revisions

Project Name: 21001
 Drawn by: GB
 Checked by: GB
 Date: 6.9.2023

Sheet No.: L1.0

PLANT SCHEDULE CRANEFIELD						
DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HXW	CLASS	QTY
	<i>Acer rubrum</i> 'Franksred'	Red Sunset Maple	2" CAL. B&B	40' x 30'	Class II	12
	<i>Acer truncatum</i> x <i>platanoides</i> 'Keithsform' TM	Norwegian Sunset Maple	2" CAL. B&B	40'X25'	Class II	63
	<i>Carpinus betulus</i> 'Fastigiata'	Pyramidal European Hornbeam	2" CAL. B&B	45'X30'	Class II	49
	<i>Celtis occidentalis</i>	Common Hackberry	2" CAL. B&B	45'X30'	Class II	44
	<i>Fraxinus americana</i> 'Autumn Purple'	Autumn Purple Ash	2" CAL. B&B	50'X40'	Class II	11
	<i>Liquidambar styraciflua</i> 'Slender Silhouette'	Columnar Sweet Gum	2" CAL. B&B	60'X8'	Class II	12
	<i>Liriodendron tulipifera</i> 'Emerald City' TM	Emerald City Tulip Tree	2" CAL. B&B	55'X25'	Class II	70
	<i>Platanus x acerifolia</i>	London Plane Tree	2" CAL. B&B	80' x 80'	Class III	5
	<i>Tilia americana</i> 'Boulevard'	Boulevard Linden	2" CAL. B&B	50' x 25'	Class II	20
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HXW	CLASS	QTY
	<i>Cedrus deodara</i> 'Karl Fuchs'	Karl Fuchs Deodar Cedar	10"-12" B&B	15'x8'		25
	<i>Picea abies</i> 'Cupressina'	Cupressina Norway Spruce	6"-8" B&B	20'x6'		24
	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	8"-9" B&B	35'X15'		8
	<i>Picea pungens</i> 'Glaucua'	Colorado Blue Spruce	7"-8" B&B	35'X15'		15
	<i>Picea pungens glauca</i> 'Hoopsii'	Hoopsii Blue Spruce	6"-8" B&B	40' x 20'		3
	<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Pine	10"-12" B&B	25'X15'		10
	<i>Pinus nigra</i>	Austrian Black Pine	6"-8" B&B	40'X25'		7
	<i>Pinus strobus</i>	White Pine	7"-8" B&B	60'X20'		10
FLOWERING TREES	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HXW	CLASS	QTY
	<i>Pyrus calleryana</i> 'Capital'	Capital Flowering Pear	2" CAL. B&B	40'X15'	Class II	53
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HXW		
	<i>Berberis thunbergii</i> 'Helmold Pillar'	Columnar Barberrry	5 GAL.	4'X2'		96
	<i>Buxus microphylla japonica</i> 'Winter Gem'	Winter Gem Boxwood	5 GAL.	4'X4'		36
	<i>Chamaecyparis pisifera</i> 'Golden Map'	Golden Map Threadleaf False Cypress	2 GAL.	3'X3'		62
	<i>Cornus stolonifera</i> 'Farrow'	Arctic Fire Dogwood	2 GAL.	4'X4'		31
	<i>Cotinus coccinea</i> 'Golden Spirit'	Golden Spirit Smoke Tree	5 GAL.	8'X6'		12
	<i>Daphne x burkwoodii</i> 'Carol Mackie'	Carol Mackie Daphne	2 GAL.	3'X4'		88
	<i>Euonymus fortunei</i> 'Moonshadow' TM	Moonshadow Euonymus	2 GAL.	3'X5'		6
	<i>Hydrangea arborescens</i> 'Abetwo'	Incrediball Hydrangea	5 GAL.	4'X4'		42
	<i>Hydrangea paniculata</i> 'Pinky Winky'	Panicled Hydrangea	5 GAL.	6'X6'		52
	<i>Juniperus chinensis</i> 'Daub's Frosted'	Daub's Frosted Juniper	2 GAL.	1.5'x5'		48
	<i>Juniperus scopulorum</i> 'Blue Arrow'	Blue Arrow Juniper	6"-8" B&B	12'X3'		188
	<i>Perovskia atrorotundoides</i>	Russian Sage	1 GAL.	4'X4'		34
	<i>Philadelphus x virginialis</i> 'Dwarf Snowflake'	Dwarf Snowflake Mockorange	5 GAL.	4'X4'		9
	<i>Physocarpus opulifolius</i> 'Dart's Gold'	Dart's Gold Ninebark	5 GAL.	5'X5'		24
	<i>Physocarpus opulifolius</i> 'Summer Wine'	Summer Wine Ninebark	5 GAL.	5'X5'		54
	<i>Pinus strobus</i> 'Blue Shag'	Blue Shag White Pine	5 GAL.	3'X3'		4
	<i>Prunus laurocerasus</i> 'Otto Luyken'	Luykens Laurel	5 GAL.	3'X6'		26
	<i>Rhododendron</i> x 'P.J.M.'	PJM Rhododendron	2 GAL.	5'X5'		48
	<i>Sambucus nigra</i> 'Gerda' TM	Black Beauty Elderberry	2 GAL.	12'X10'		15
	<i>Spiraea x bumalda</i> 'Goldflame'	Goldflame Spiraea	2 GAL.	3'X3'		56
	<i>Viburnum x bodnantense</i> 'Pink Dawn'	Pink Dawn Viburnum	5 GAL.	8'X6'		33
ANNUALS/PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HXW		
	<i>Hemerocallis</i> x 'Happy Returns'	Happy Returns Daylily	1 GAL.	1.5'X1.5'		106
	<i>Heuchera</i> x 'Lime Rickey'	Lime Rickey Coral Bells	1 GAL.	1'X1.5'		36
	<i>Hosta</i> x 'Regal Splendor'	Plantain Lily	1 GAL.	3'X3'		85
	<i>Rudbeckia fulgida</i> 'Goldstrum'	Coneflower	1 GAL.	2'X2'		108
	<i>Salvia nemorosa</i> 'May Night'	May Night Sage	1 GAL.	2'X2'		17
	<i>Salvia nemorosa</i> 'May Night'	May Night Sage	1 GAL.	2'X2'		12
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HXW		
	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1 GAL.	4'X2'		169
	<i>Calamagrostis x acutiflora</i> 'Overdam'	Overdam Feather Reed Grass	1 GAL.	6'X2'		50
	<i>Hakonechloa macro</i> 'Alli Gold'	Japanese Forest Grass	1 GAL.	1'X2'		100
	<i>Helictotrichon sempervirens</i> 'Blue Oats'	Blue Oat Grass	1 GAL.	3'X3'		70
	<i>Pennisetum alopecuroides</i> 'Hornet'	Hornet Dwarf Fountain Grass	1 GAL.	2'X2'		93
GROUND COVERS	BOTANICAL NAME	COMMON NAME	QTY			
	<i>Festuca rubra</i>	Red Fescue	71,623 sf			
	Turf Sod Rhizomatous	Rhizomatous Tall Fescue	314,418 sf			

KEYNOTES

- TOT LOT- SEE DETAIL 7/L1.10
- PEDESTRIAN CIRCULATION PATH
- MAINTENANCE ROAD - SEE CIVIL.
- COMMUNITY POOL/CLUB HOUSE- SEE ARCHITECTURAL.
- GATED ENTRY ROAD D - SEE SHEET L1.7
- GATED ENTRY ROAD C - SEE SHEETS L1.8
- GATED ENTRY KEY PAD LOCATION.
- 6" WROUGHT IRON FENCE - SEE DETAIL 5/L1.10.
- 6" SOLID VINYL FENCE - SEE DETAIL 6/L1.10.
- MAIL CLUSTER AREA. TYPICAL CLUSTER BOX UNIT. ITEM #191b1353139 BY SALSBURY INDUSTRIES.
- MONUMENT SIGNAGE - SEE SHEET L1.9.
- DRAINAGE UTILITY - NO TREES SHALL BE PLANTED WITHIN 10' OF DRAINAGE UTILITY.

LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREE KEY: E-ELM, J-JUNIPER, P-POPLAR, PI-PINE, R-RUSSIAN OLIVE, W-WILLOW (SIZES NOTED ON PLAN)
- EXISTING TREES TO BE REMOVED
- 6" TALL WROUGHT IRON FENCE, SEE DETAIL 5/L1.10
- 6" TALL SOLID VINYL FENCE, SEE DETAIL 6/L1.10

DEVELOPER

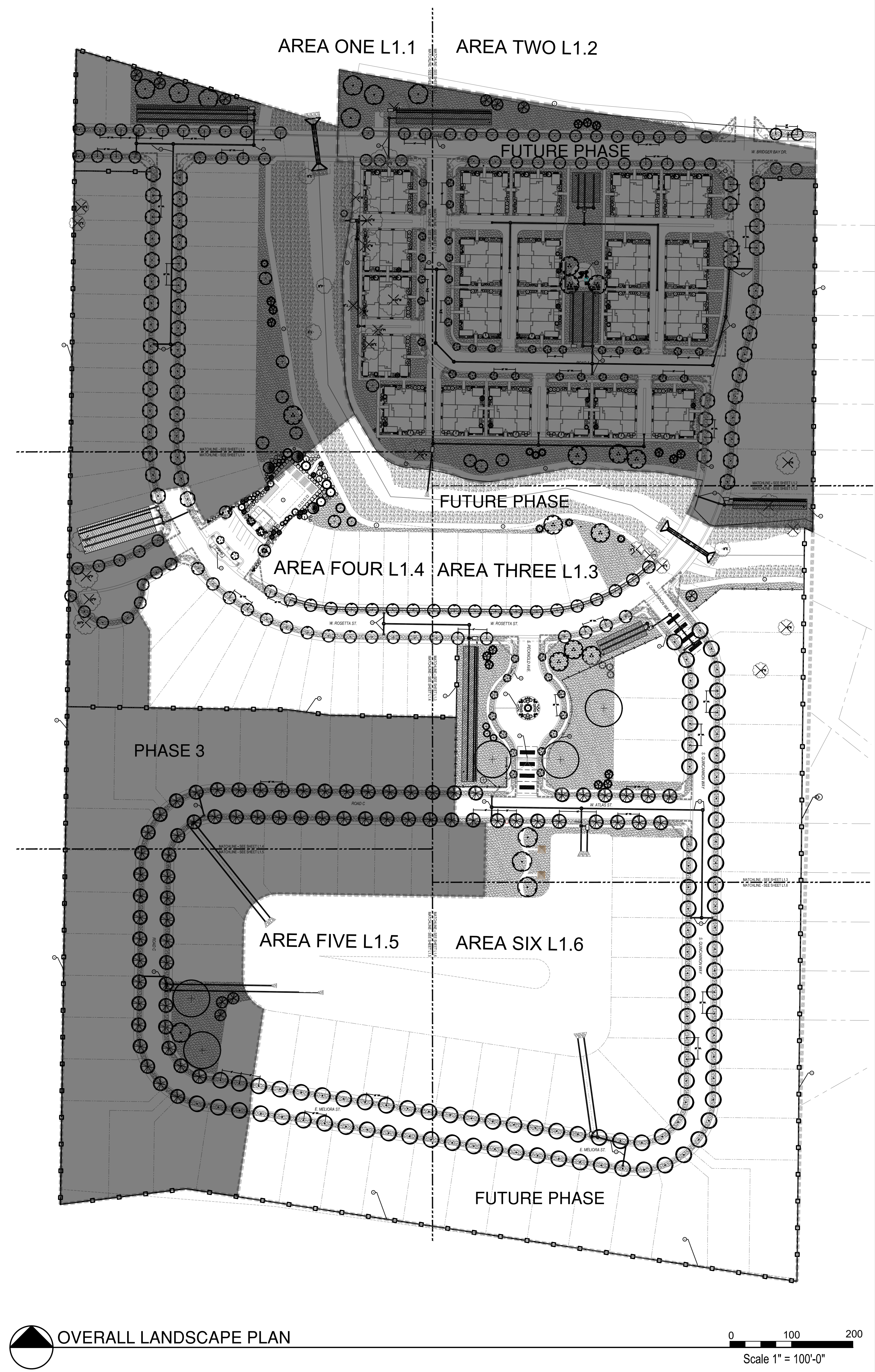
WILLIAMS HOMES
 MIKE BADNER
 21080 CENTRE POINTE PKWY.
 SANTA CLARITA, CA 91350
 PHONE: 661-222-9207
 EMAIL: mbadner@williamshomes.com

LANDSCAPE ARCHITECT

BAER DESIGN GROUP, LLC.
 10674 N. SAGE HOLLOW WAY
 BOISE, IDAHO 83704
 CONTACT: MAGGIE CLARK
 406-490-7610
 EMAIL: maggie@baerdg.com

NOTES:

- TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.

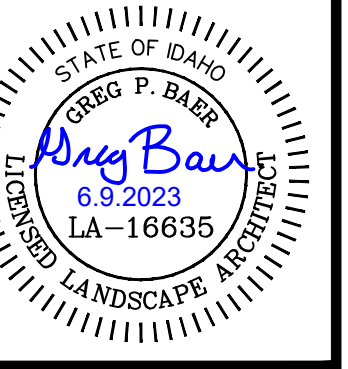


OVERALL LANDSCAPE PLAN

Scale 1" = 100'-0"



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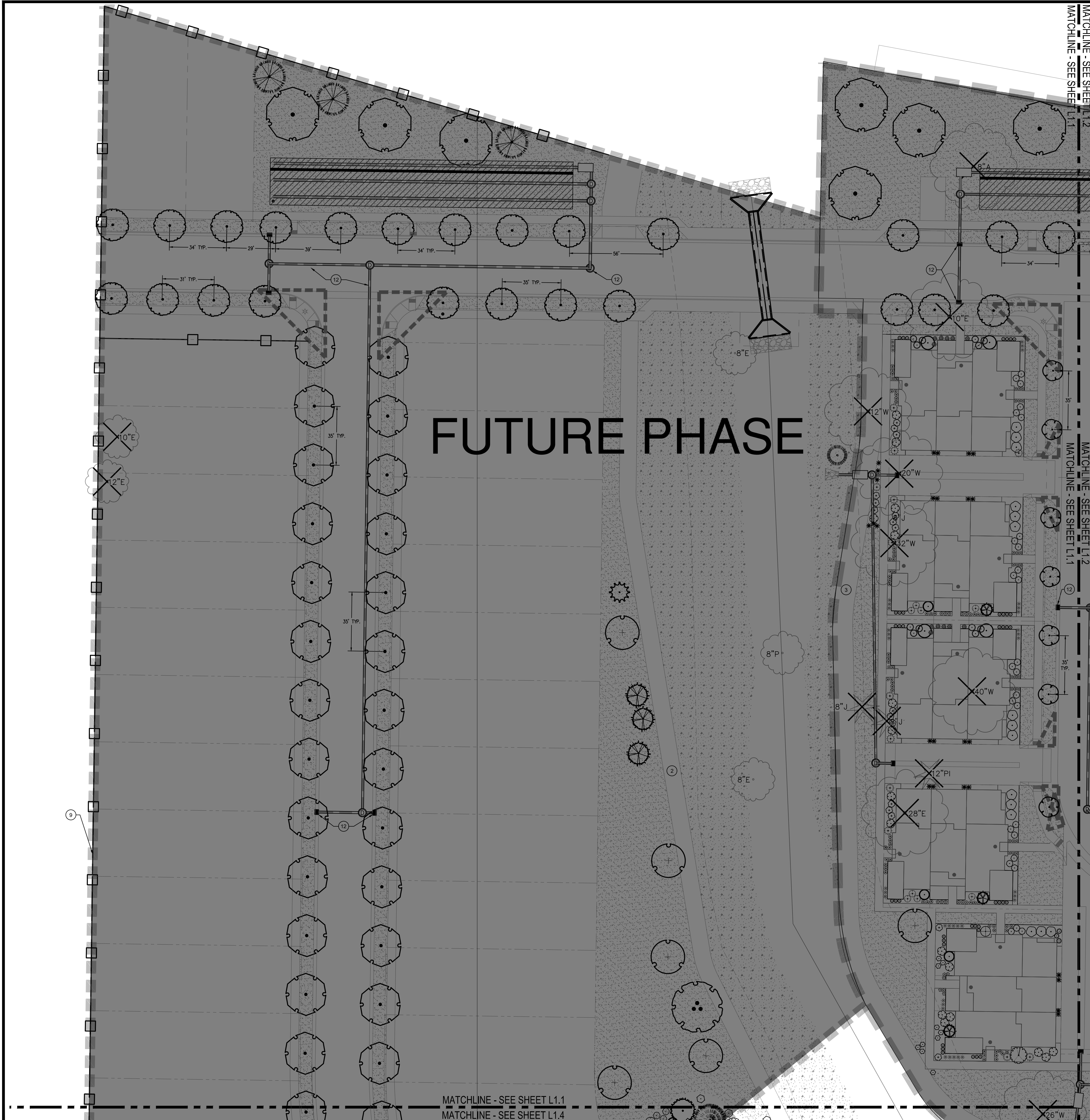
Landscape Plan
Area One

Revisions

Project Name: 21001
Drawn by: GB
Checked by: GB
Date: 6.9.2023

Sheet No:

L1.1



FUTURE PHASE

NOTES:

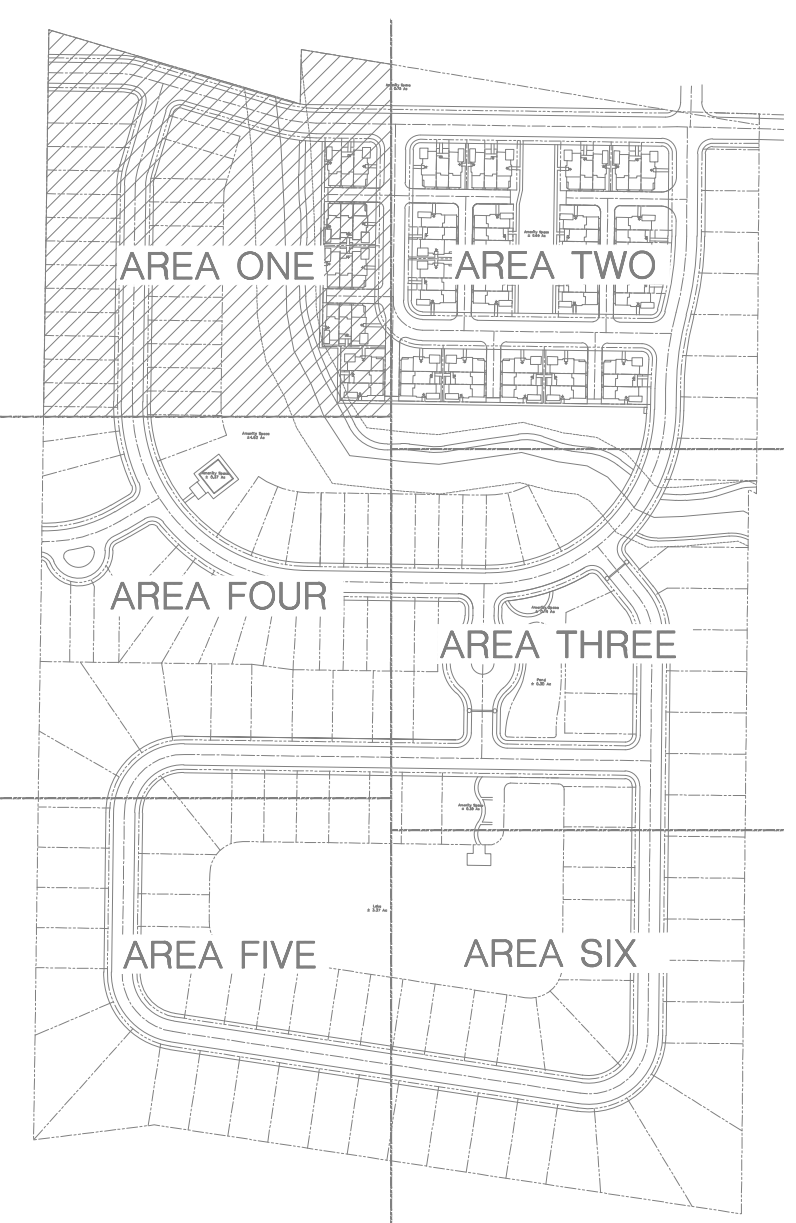
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LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREE KEY:
E-ELM, J-JUNIPER, P-POPLAR,
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- 40'X40' STREET CLEAR VISION TRIANGLE
- 20'X10' DRIVEWAY CLEAR VISION TRIANGLE

KEYNOTES #

1. TOT LOT - SEE DETAIL 7/L1.10
2. PEDESTRIAN CIRCULATION PATH
3. MAINTENANCE ROAD - SEE CIVIL.
4. COMMUNITY POOL/CLUB HOUSE - SEE ARCHITECTURAL.
5. GATED ENTRY ROAD D - SEE SHEET L1.7
6. GATED ENTRY ROAD C - SEE SHEETS L1.8
7. GATED ENTRY KEY PAD LOCATION.
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11. MONUMENT SIGNAGE - SEE SHEET L1.9.
12. DRAINAGE UTILITY - NO TREES SHALL BE PLANTED WITHIN 10' OF DRAINAGE UTILITY.



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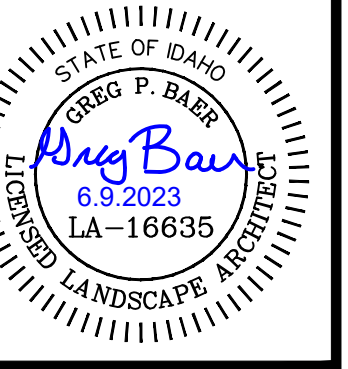
LANDSCAPE PLAN - AREA ONE

MATCHLINE - SEE SHEET L1.1
MATCHLINE - SEE SHEET L1.4

Scale 1" = 30'-0"



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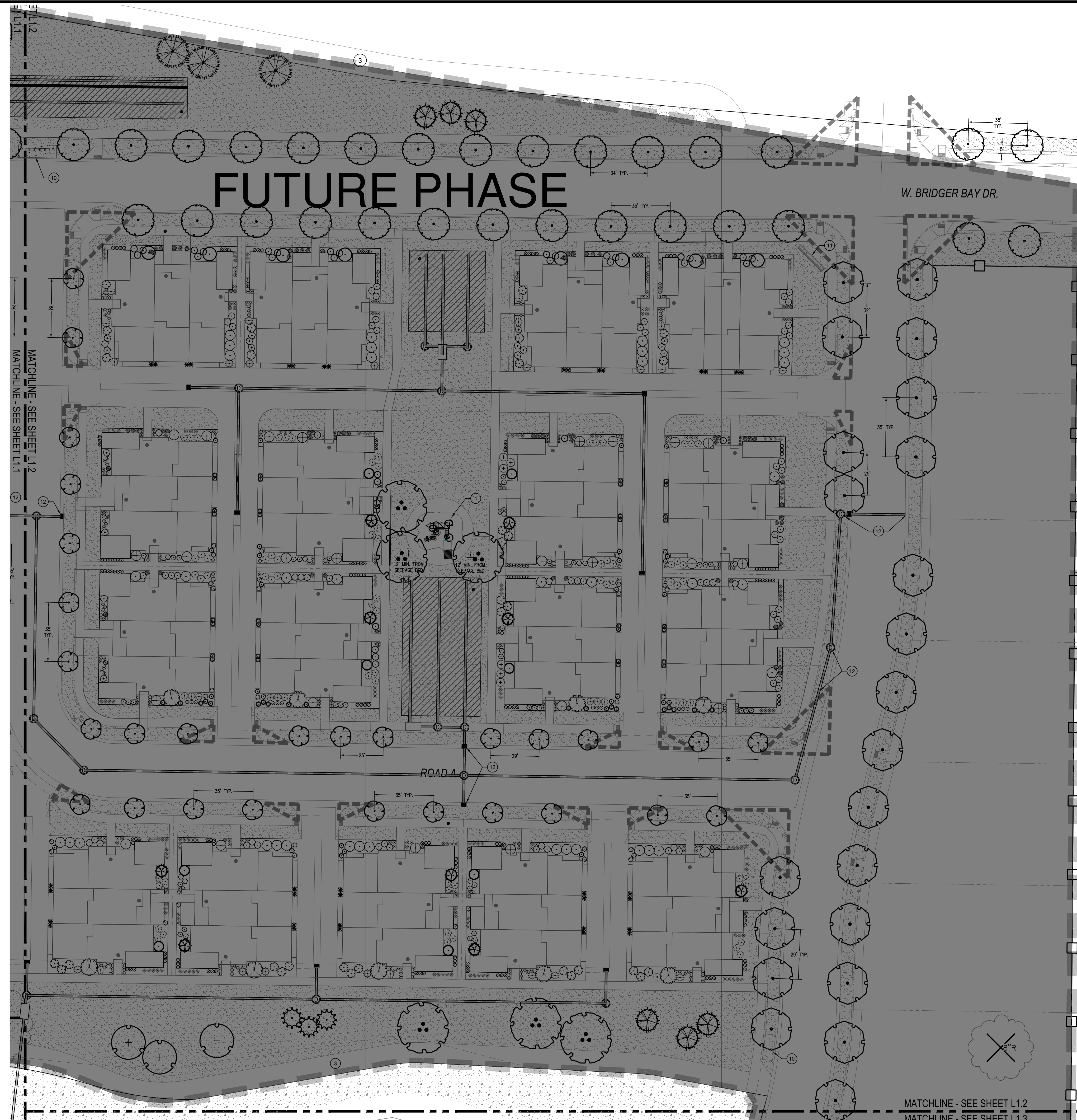
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Landscape Plan
Area Two

Project Name:	21001
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Sheet No.: L1.2

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FUTURE PHASE

W. BRIDGER BAY DR.

ROAD A

MATCHLINE - SEE SHEET L1.2
MATCHLINE - SEE SHEET L1.1

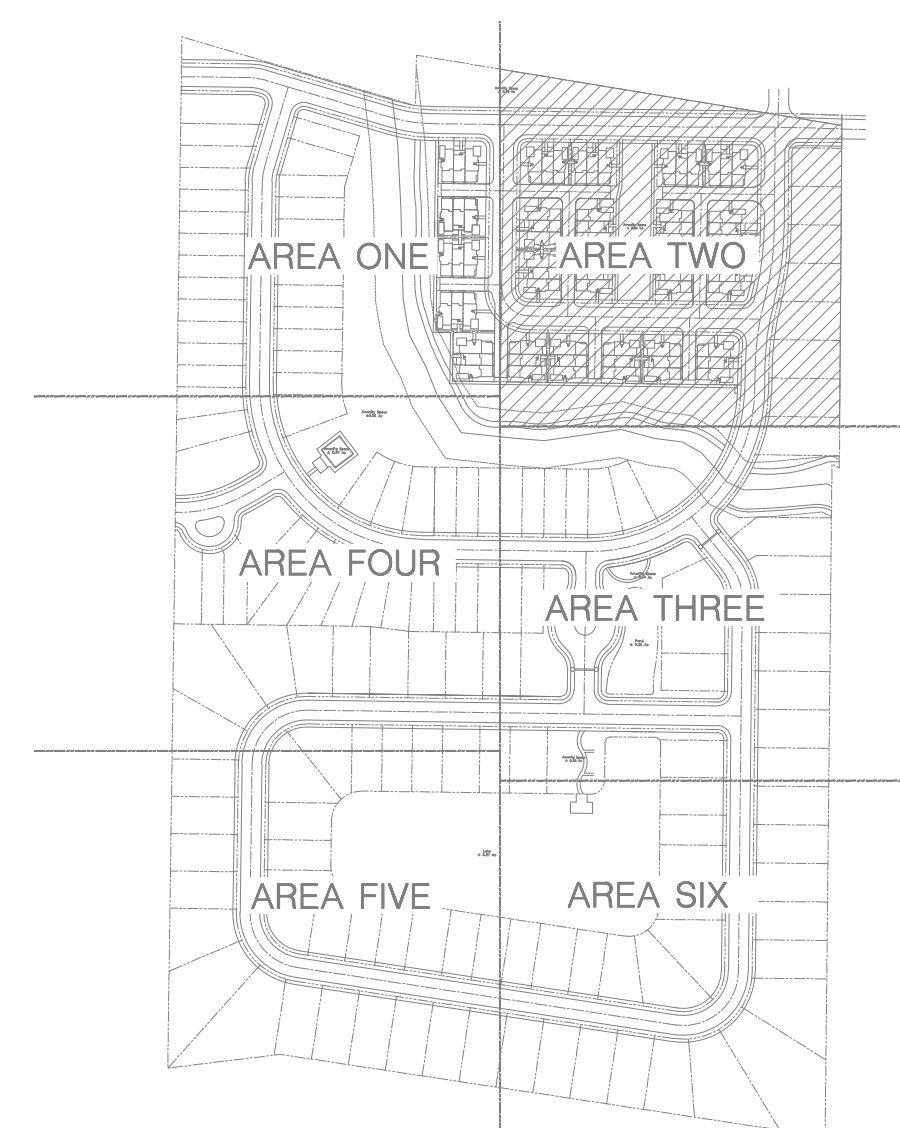
MATCHLINE - SEE SHEET L1.2
MATCHLINE - SEE SHEET L1.3

LANDSCAPE PLAN - AREA TWO

Scale 1" = 30'-0"

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KEYMAP

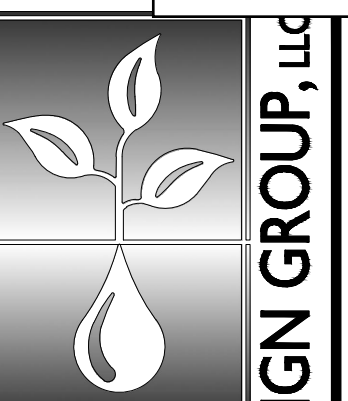
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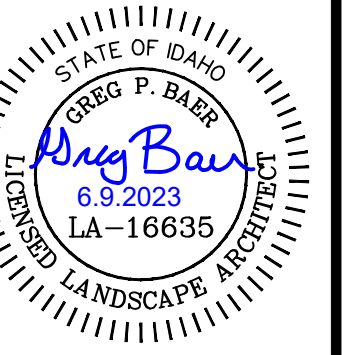
KEYNOTES

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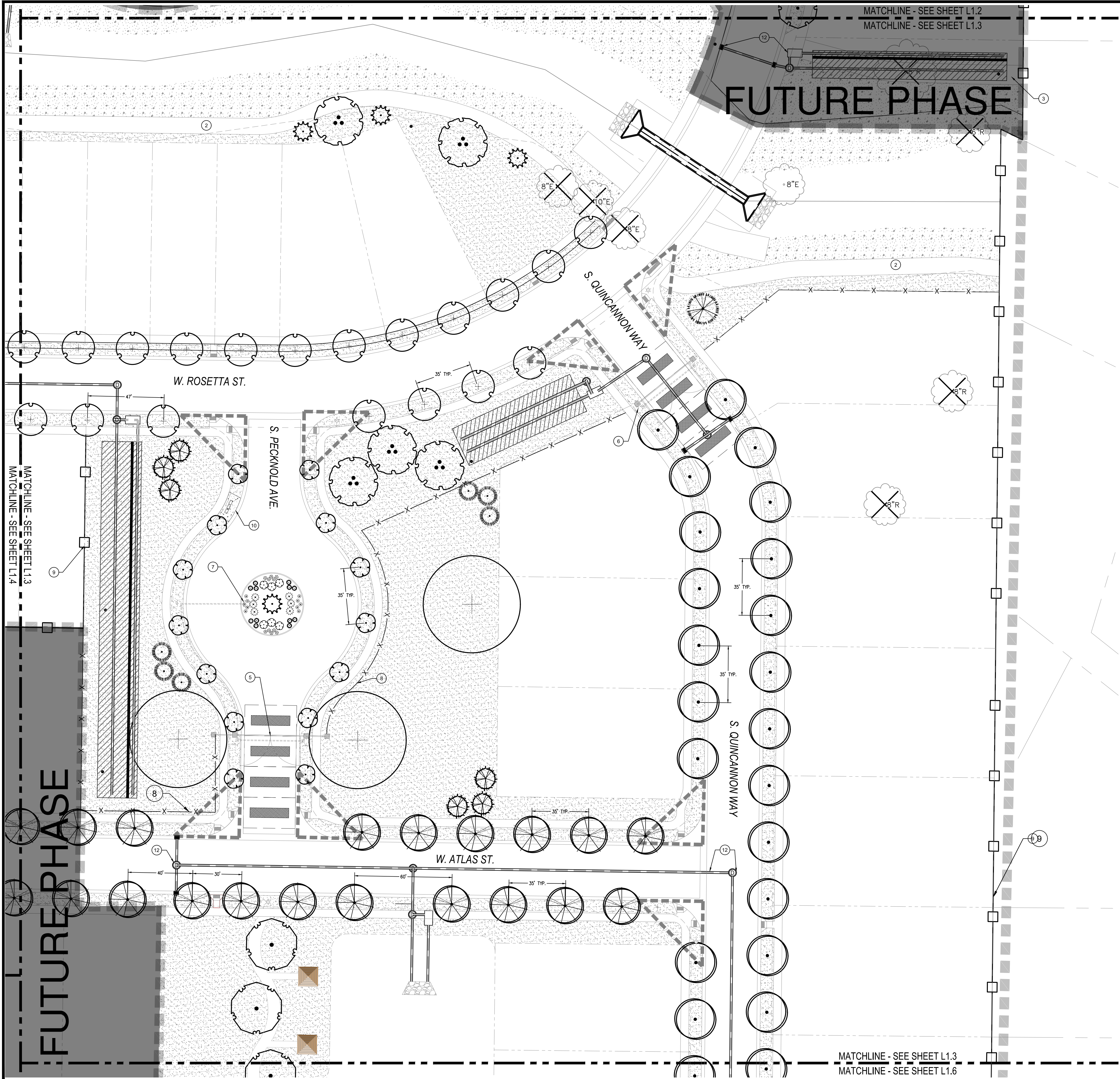
Landscape Plan
Area Three

Revisions

Project Name: 21001
Drawn by: GB
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Date: 6.9.2023

Sheet No.:

L1.3

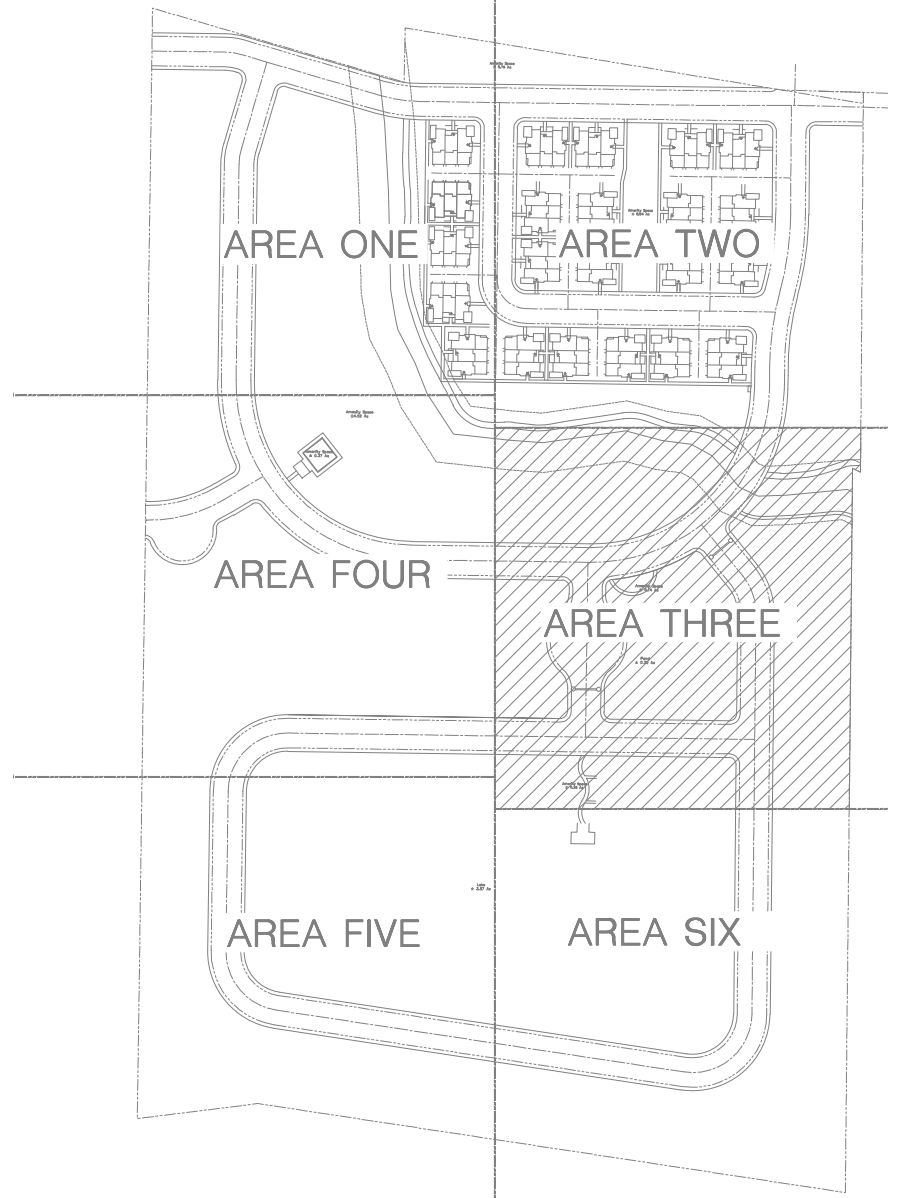


FUTURE PHASE

FUTURE PHASE

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KEYMAP

LANDSCAPE LEGEND

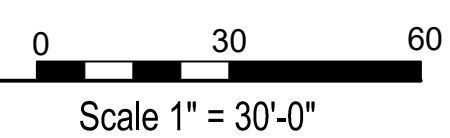
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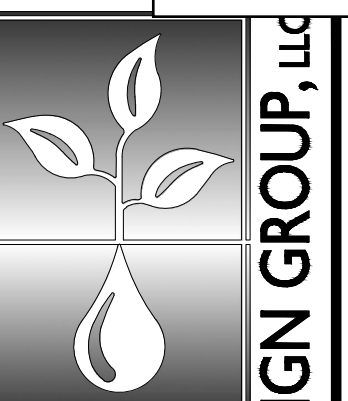
KEYNOTES

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- MAINTENANCE ROAD - SEE CIVIL.
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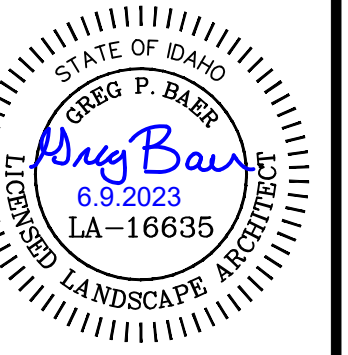
LANDSCAPE PLAN - AREA THREE

MATCHLINE - SEE SHEET L1.3
MATCHLINE - SEE SHEET L1.6





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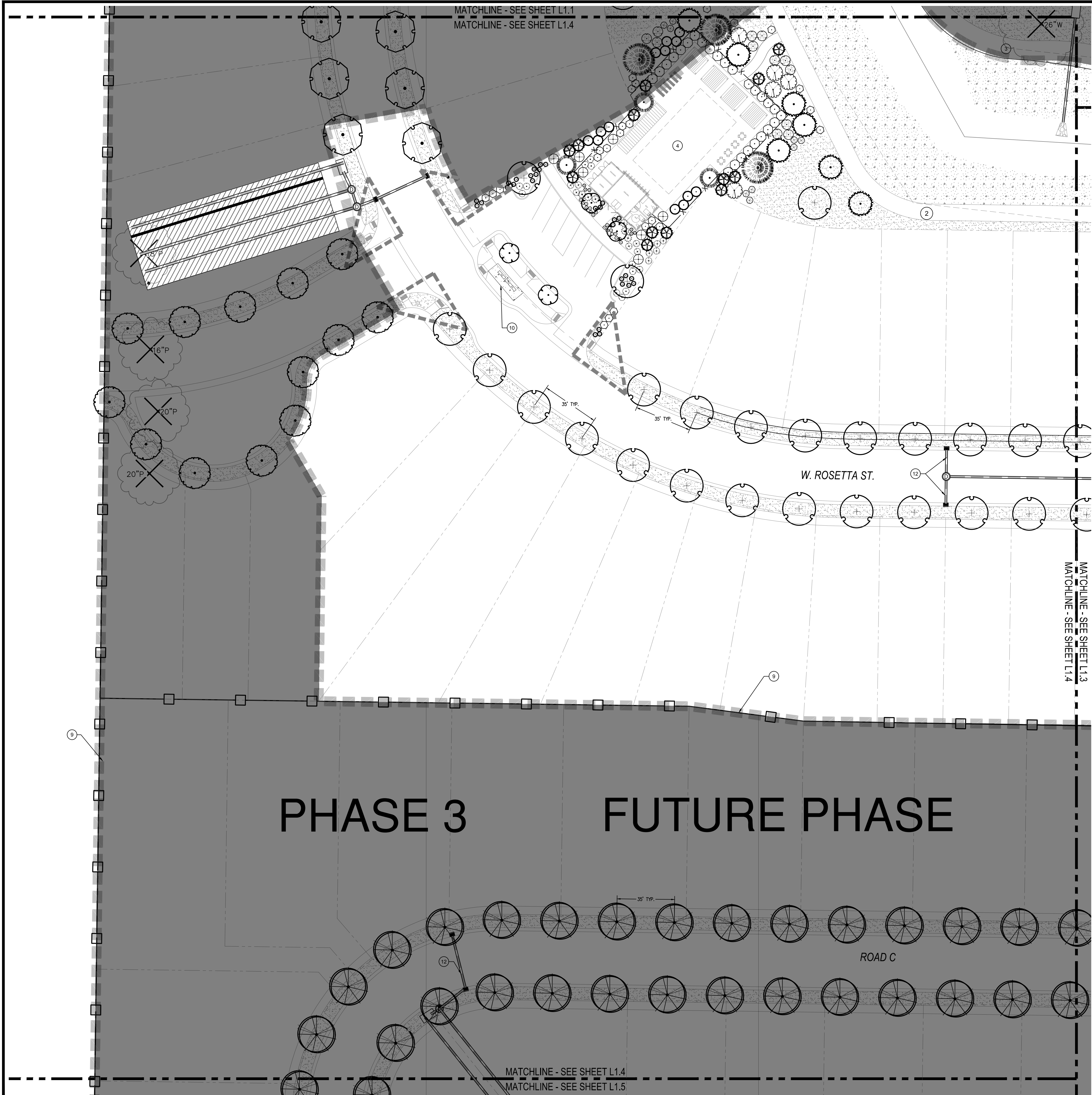
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Landscape Plan
Area Four

Revisions

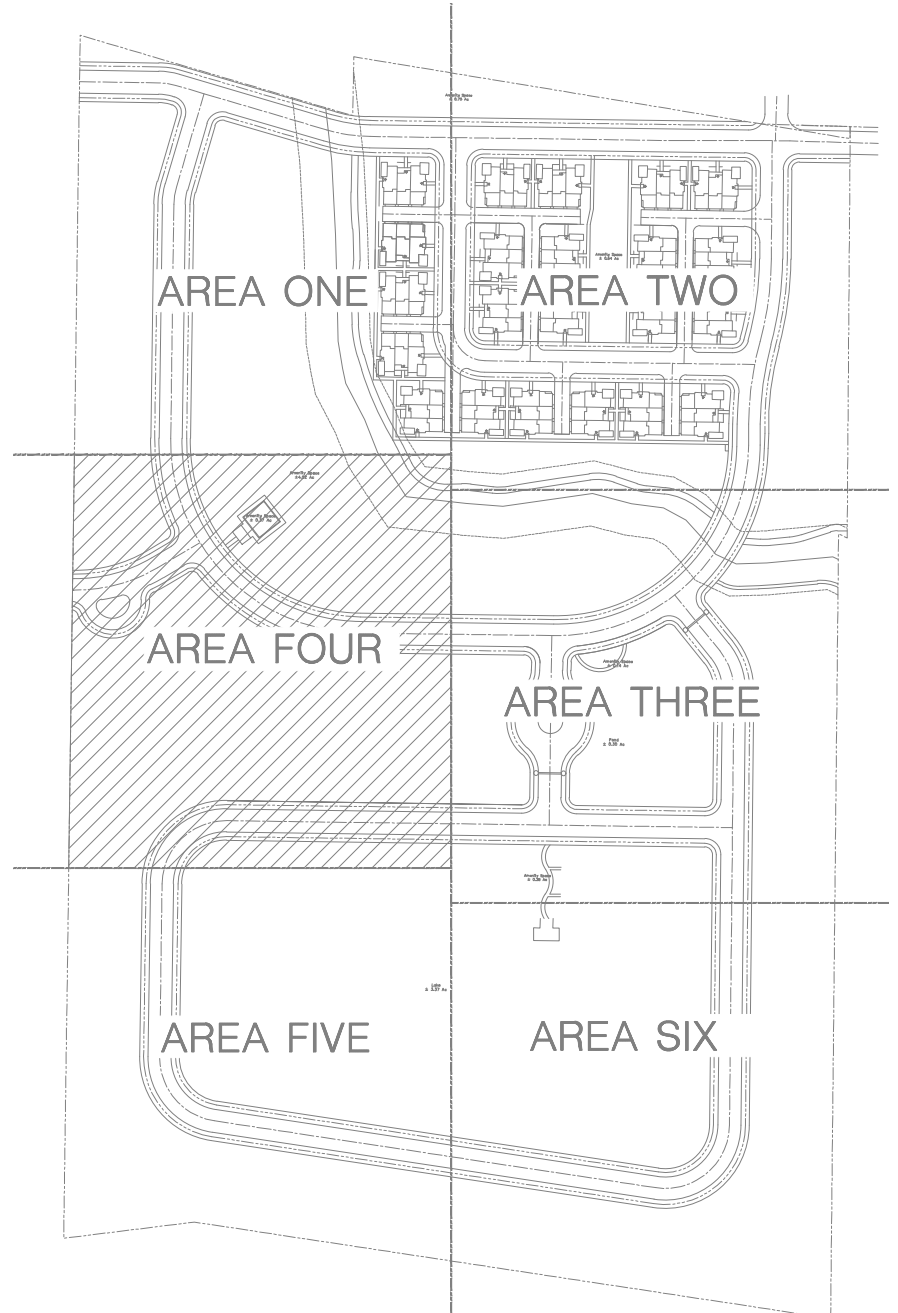
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Date: 6.9.2023

Sheet No.:
L1.4



NOTES:

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KEYMAP

LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
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KEYNOTES #

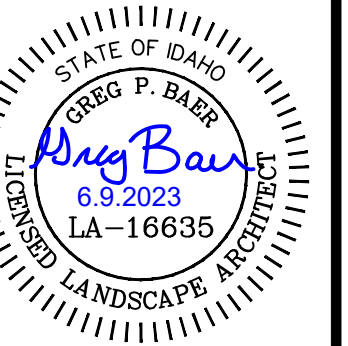
- TOT LOT- SEE DETAIL 7/L1.10
- PEDESTRIAN CIRCULATION PATH
- MAINTENANCE ROAD - SEE CIVIL.
- COMMUNITY POOL/CLUB HOUSE- SEE ARCHITECTURAL.
- GATED ENTRY ROAD D - SEE SHEET L1.7
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- MONUMENT SIGNAGE - SEE SHEET L1.9.
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LANDSCAPE PLAN - AREA FOUR

0 30 60
Scale 1" = 30'-0"



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Landscape Plan
Area Five

Revisions

Project Name: 21001
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Checked by: GB
Date: 6.9.2023

Sheet No.:
L1.5

FUTURE PHASE

MATCHLINE - SEE SHEET L1.4
MATCHLINE - SEE SHEET L1.5

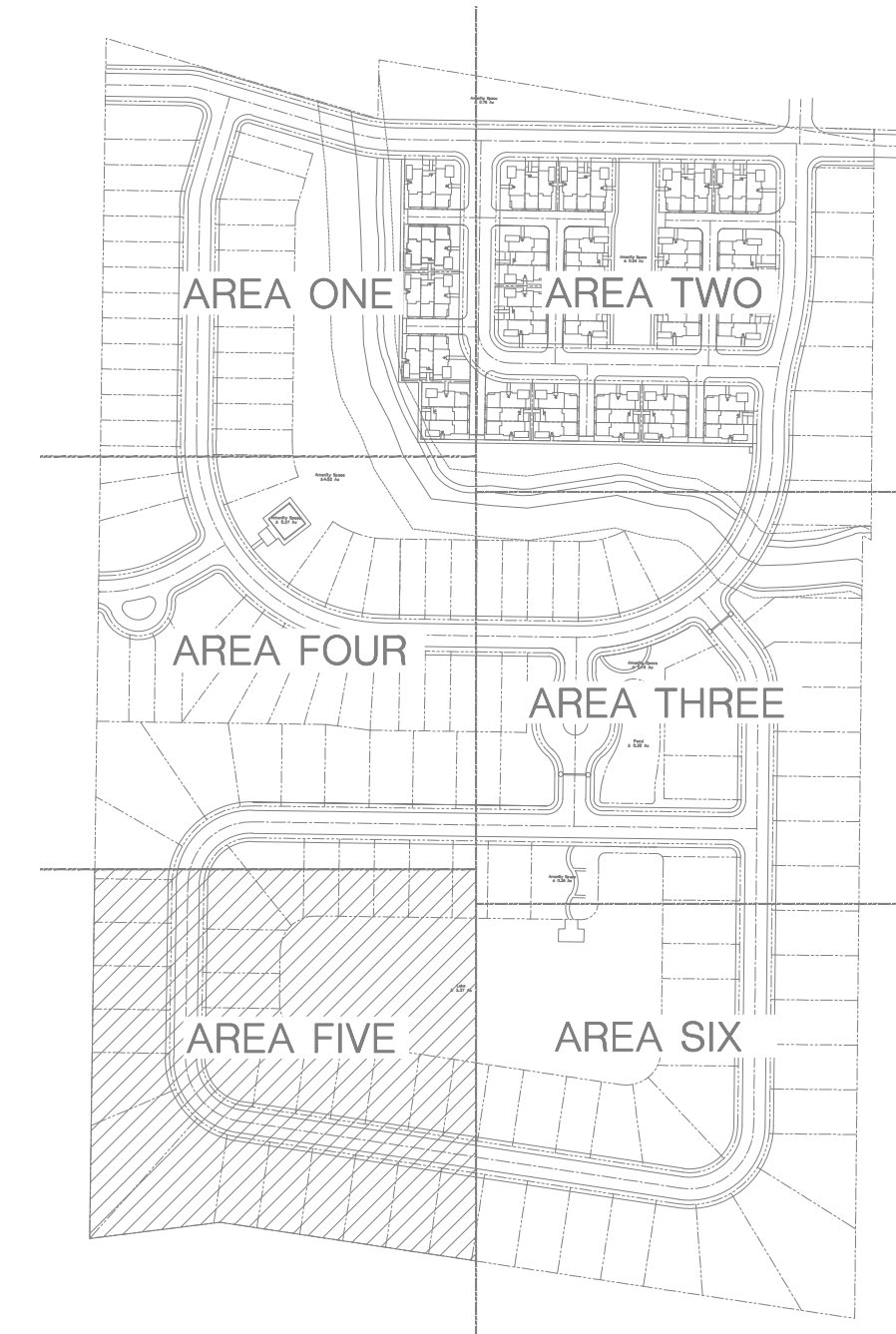
MATCHLINE - SEE SHEET L1.6
MATCHLINE - SEE SHEET L1.5

ROAD C

E. MELIORA ST.

NOTES:

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KEYMAP

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KEYNOTES

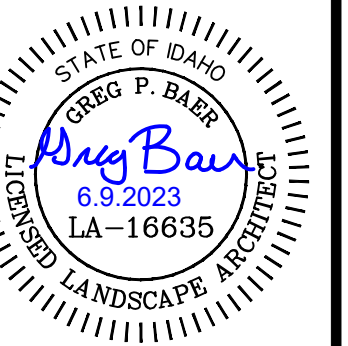
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- ITEM #19fb1353139 BY SALSURY INDUSTRIES.
- MONUMENT SIGNAGE - SEE SHEET L1.9.
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LANDSCAPE PLAN - AREA FIVE

Scale 1" = 30'-0"



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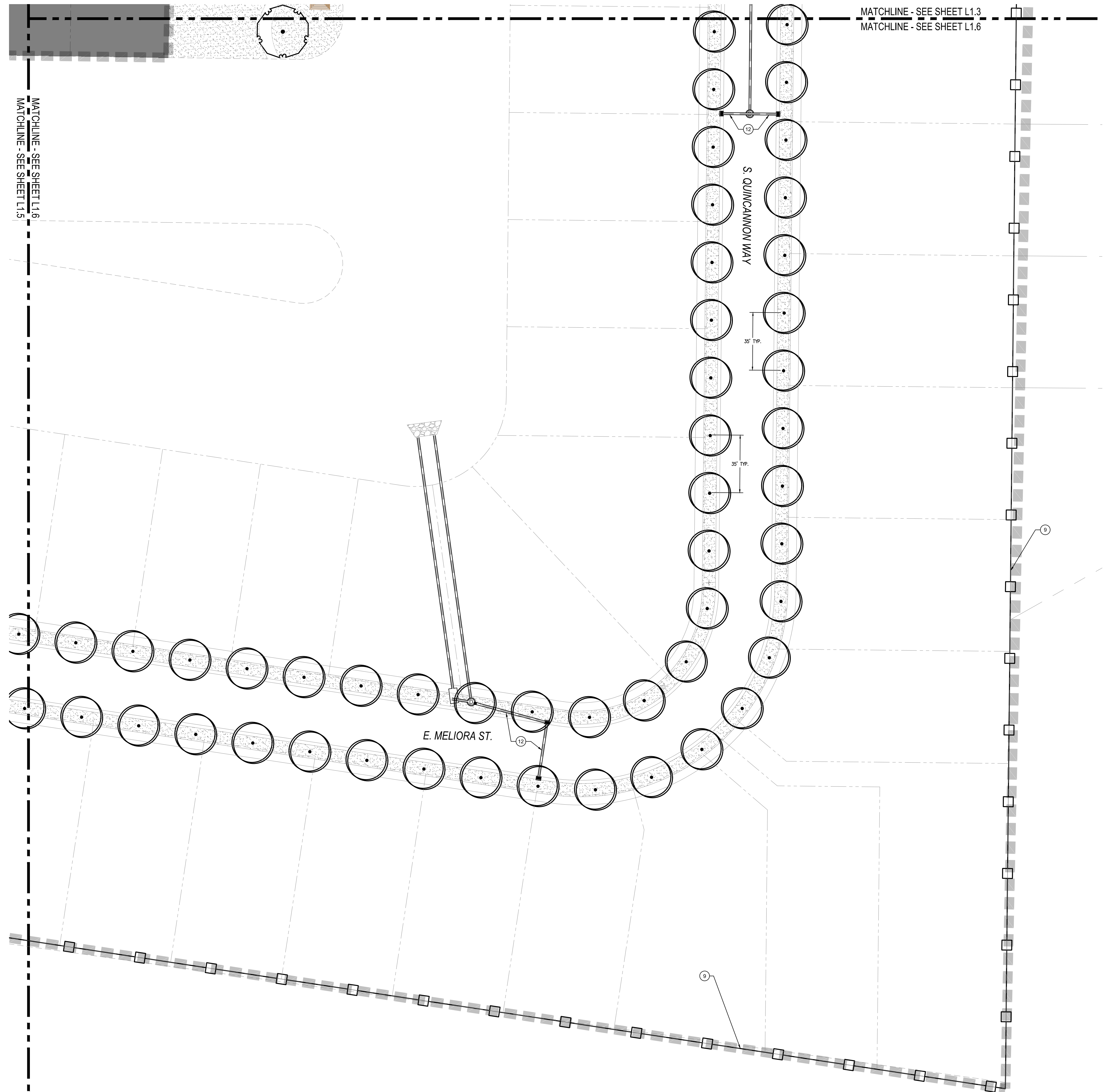
Landscape Plan
Area Six

Revisions

Project Name: 21001
Drawn by: GB
Checked by: GB
Date: 6.9.2023

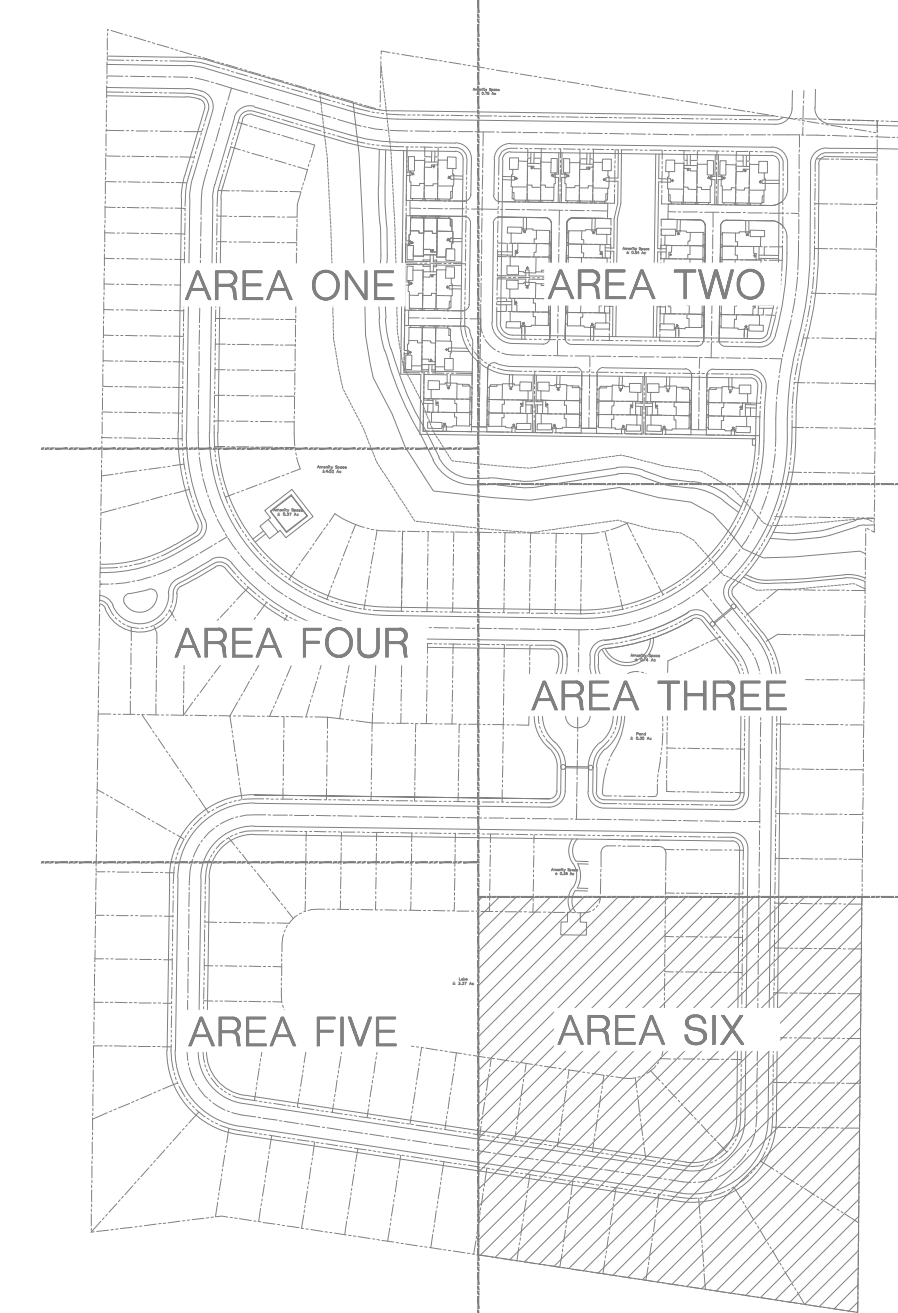
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L1.6



NOTES:

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KEYMAP

LANDSCAPE LEGEND

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KEYNOTES #

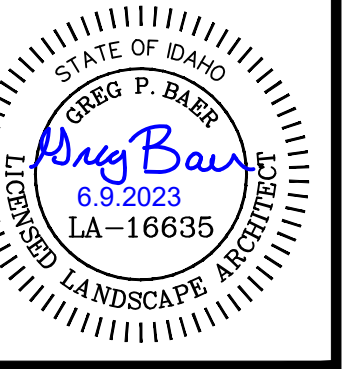
1. TOT LOT- SEE DETAIL 7/L1.10
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11. MONUMENT SIGNAGE - SEE SHEET L1.9.
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LANDSCAPE PLAN - AREA SIX

Scale 1" = 30'-0"



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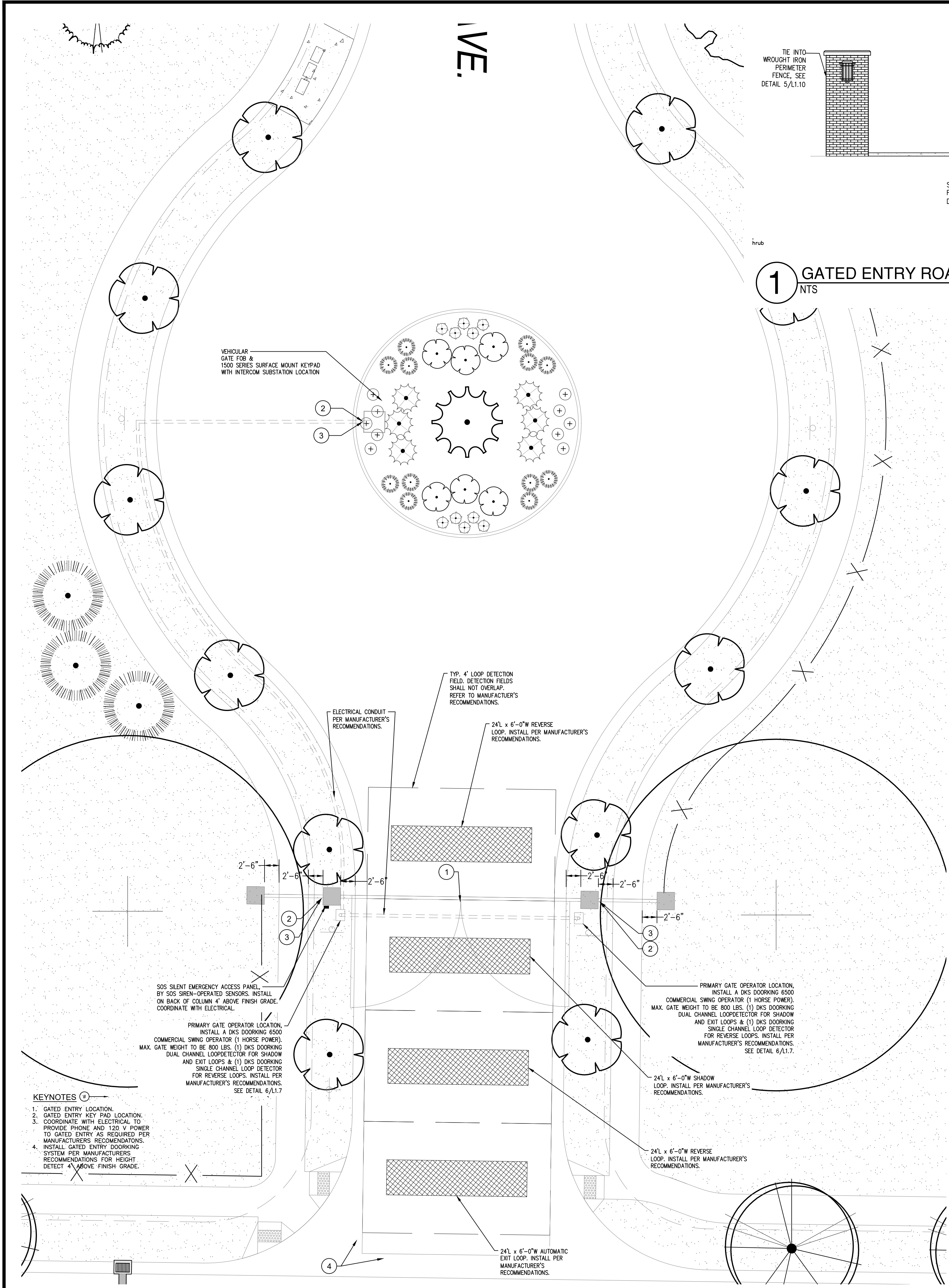
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Landscape Details

Project Name:	21001
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Checked by:	GB
Date:	6.9.2023
Sheet No.:	L1.7

Revisions

L1.7



1 GATED ENTRY ROAD D ELEVATION
NTS

hrub

1 NTS

2 NTS

3 NTS

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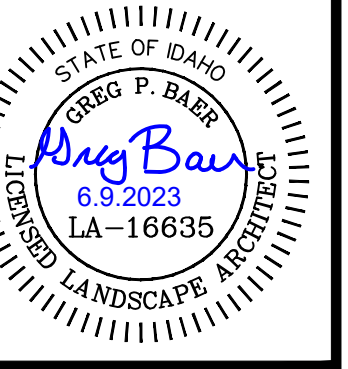
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BAER DESIGN GROUP, LLC
greg@baerdg.com
Ph. 208.859.1980



Idaho

Cranefield Subdivision

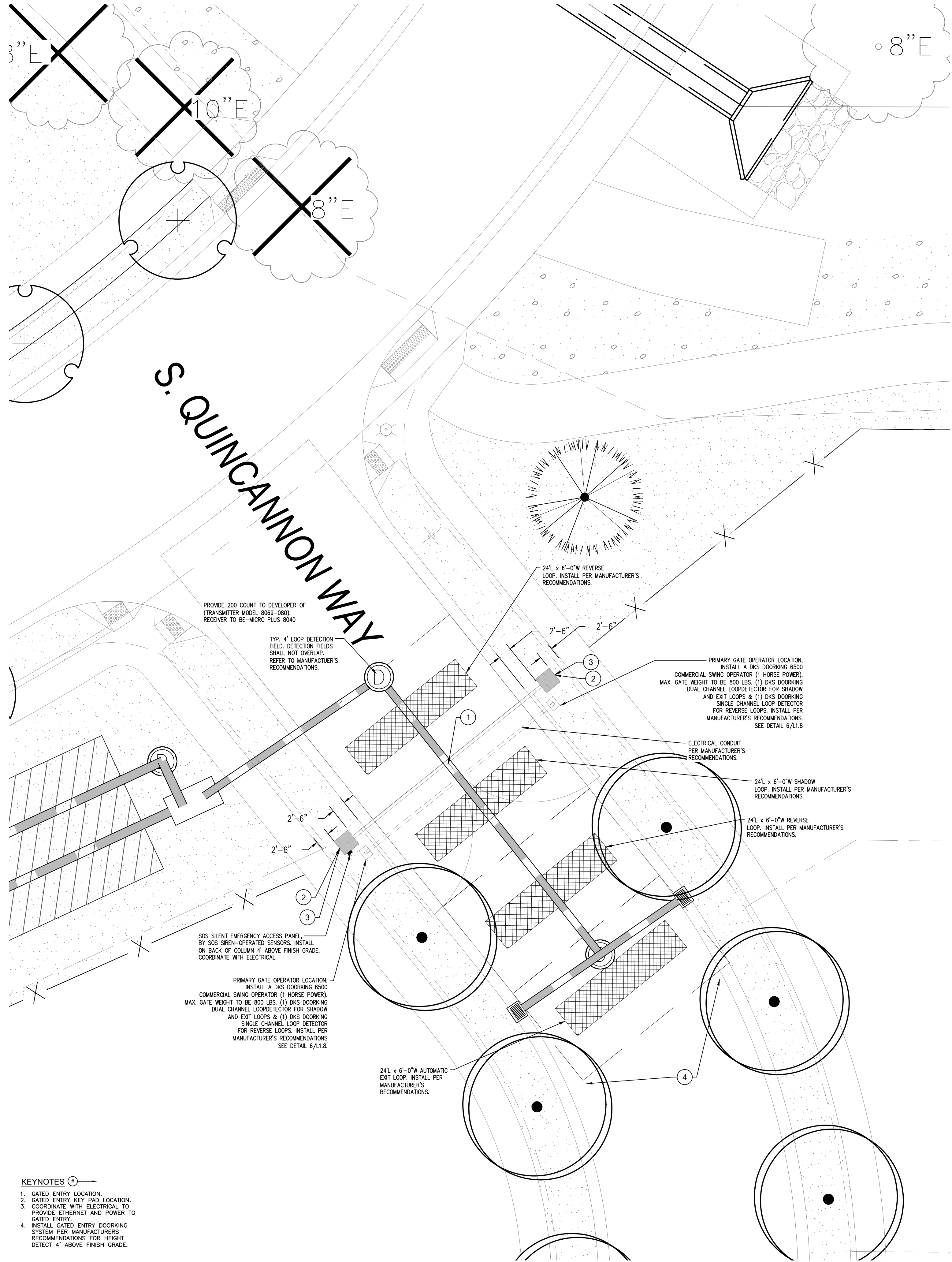
Star

Landscape Details

Revisions

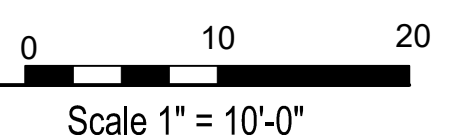
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Drawn by: GB
Checked by: GB
Date: 6.9.2023
Sheet No.:

L1.8



- KEYNOTES**
1. GATED ENTRY LOCATION.
 2. GATED ENTRY KEY PAD LOCATION.
 3. COORDINATE WITH ELECTRICAL TO PROVIDE ETHERNET AND POWER TO GATED ENTRY.
 4. INSTALL GATED ENTRY DOORING SYSTEM PER MANUFACTURER'S RECOMMENDATIONS FOR HEIGHT DETECT 4" ABOVE FINISH GRADE.

SITE PLAN ROAD 'C' GATED ENTRY

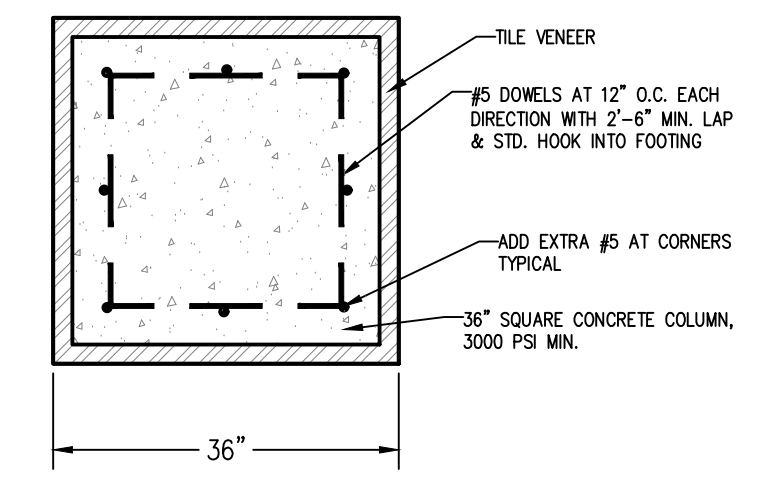


1 GATED ENTRY ROAD C ELEVATION
NTS

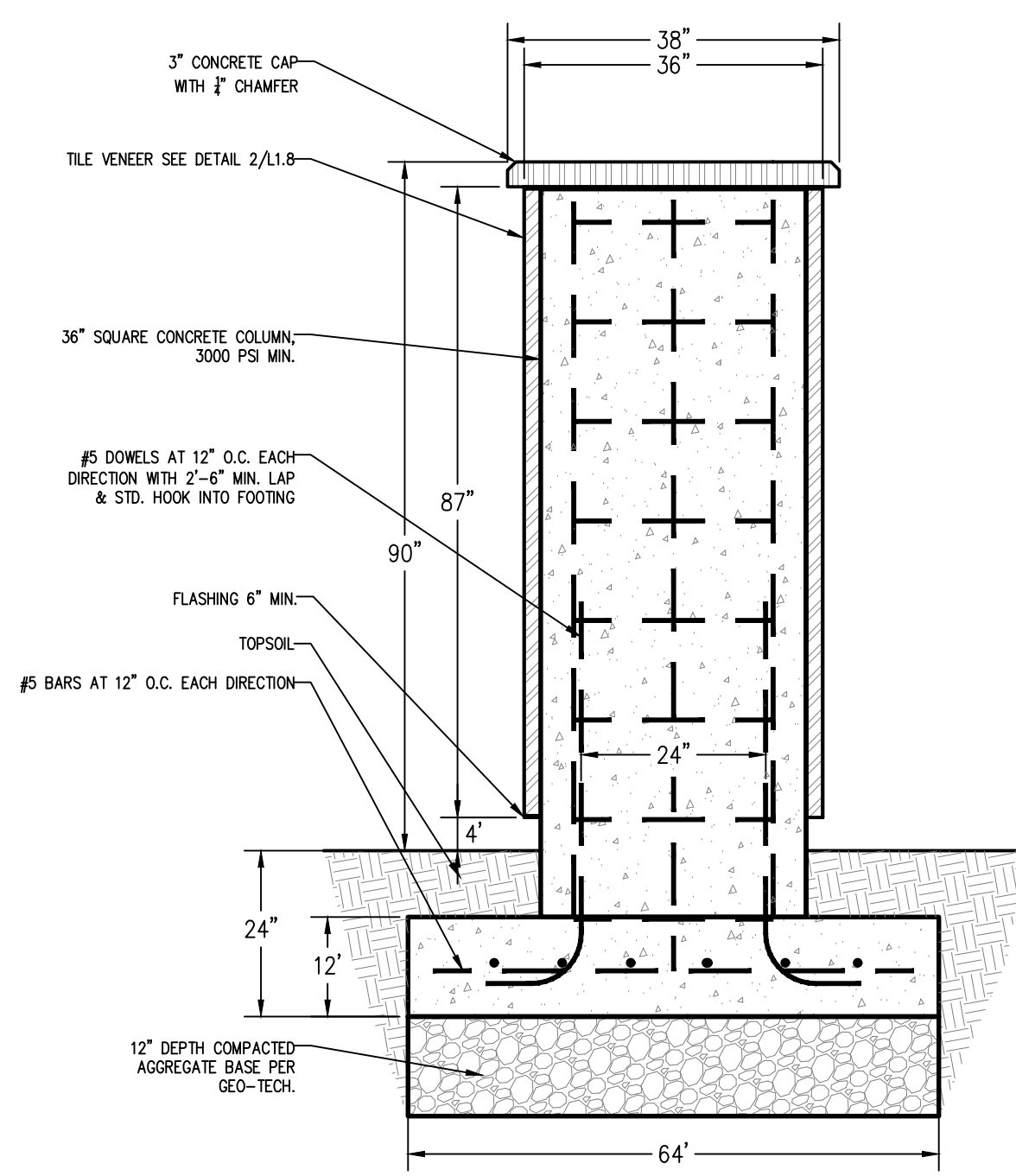


- NOTES:**
1. MARAZZI TILE- AMERICAN ESTATE STYLE IN 'SUEDE' COLOR CODE: AE02
 2. FINISH TO BE 'MATTE'
 3. SIZE TO BE 6X36 AND 1/2" THICK

2 TILE VENEER
NTS

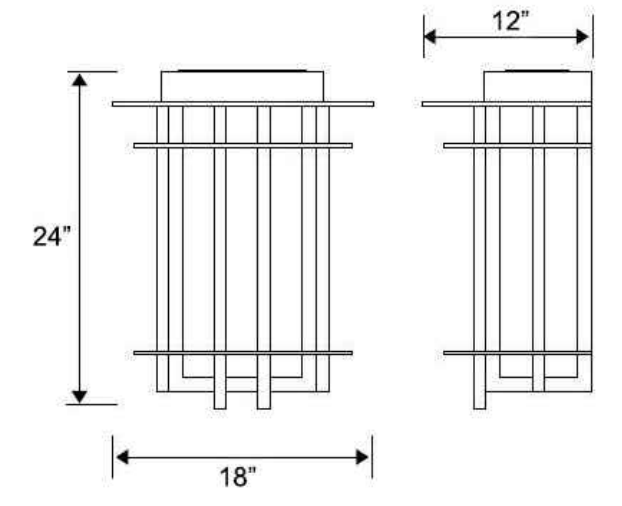


3 COLUMN SECTION
NTS



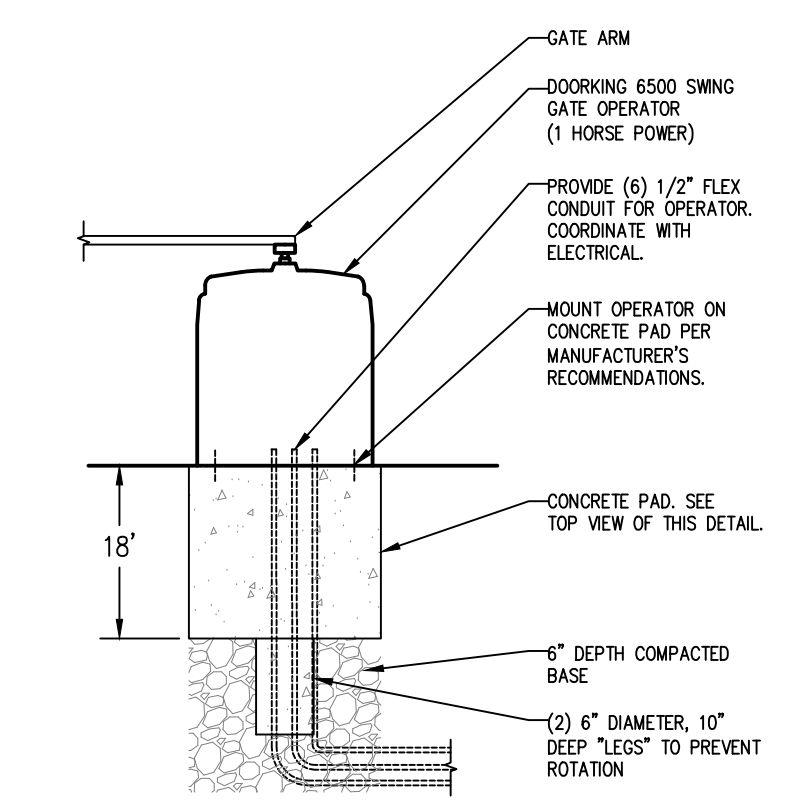
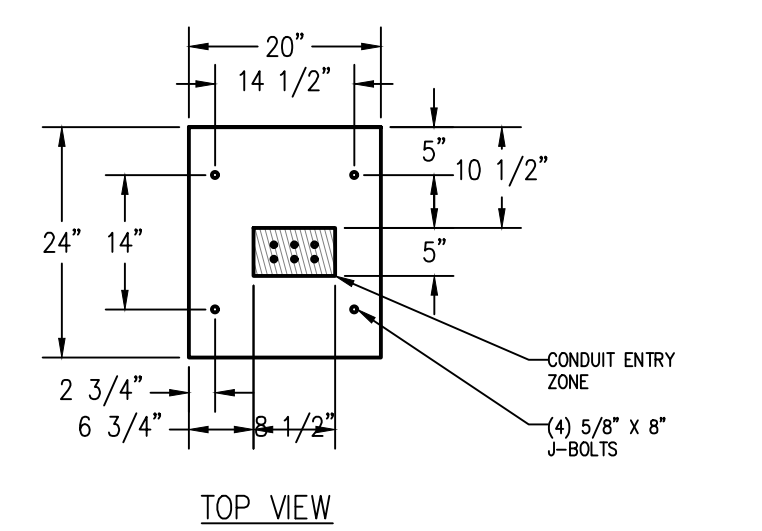
5 COLUMN
NTS

4 LIGHT FIXTURE
NTS



- NOTES:**
1. PACE ILLUMINATION TPWM WALL MOUNT, MODEL 4200
 2. TEXTURED BLACK IN COLOR
 3. VOLT- 120-277UNV, 8,000 LUMENS, 70WLED
 4. SIZE LARGE, W-18.5", H-24", D-12"
 5. COLOR TEMP- 3000K, 120VAC, 50/60Hz

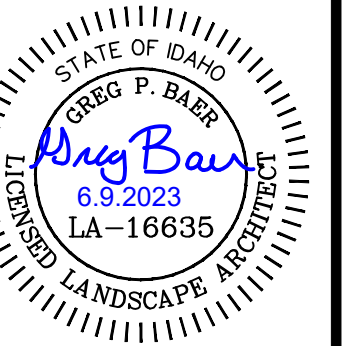
GATE LINE ON THIS SIDE



6 GATE OPERATOR MOUNTING
NTS



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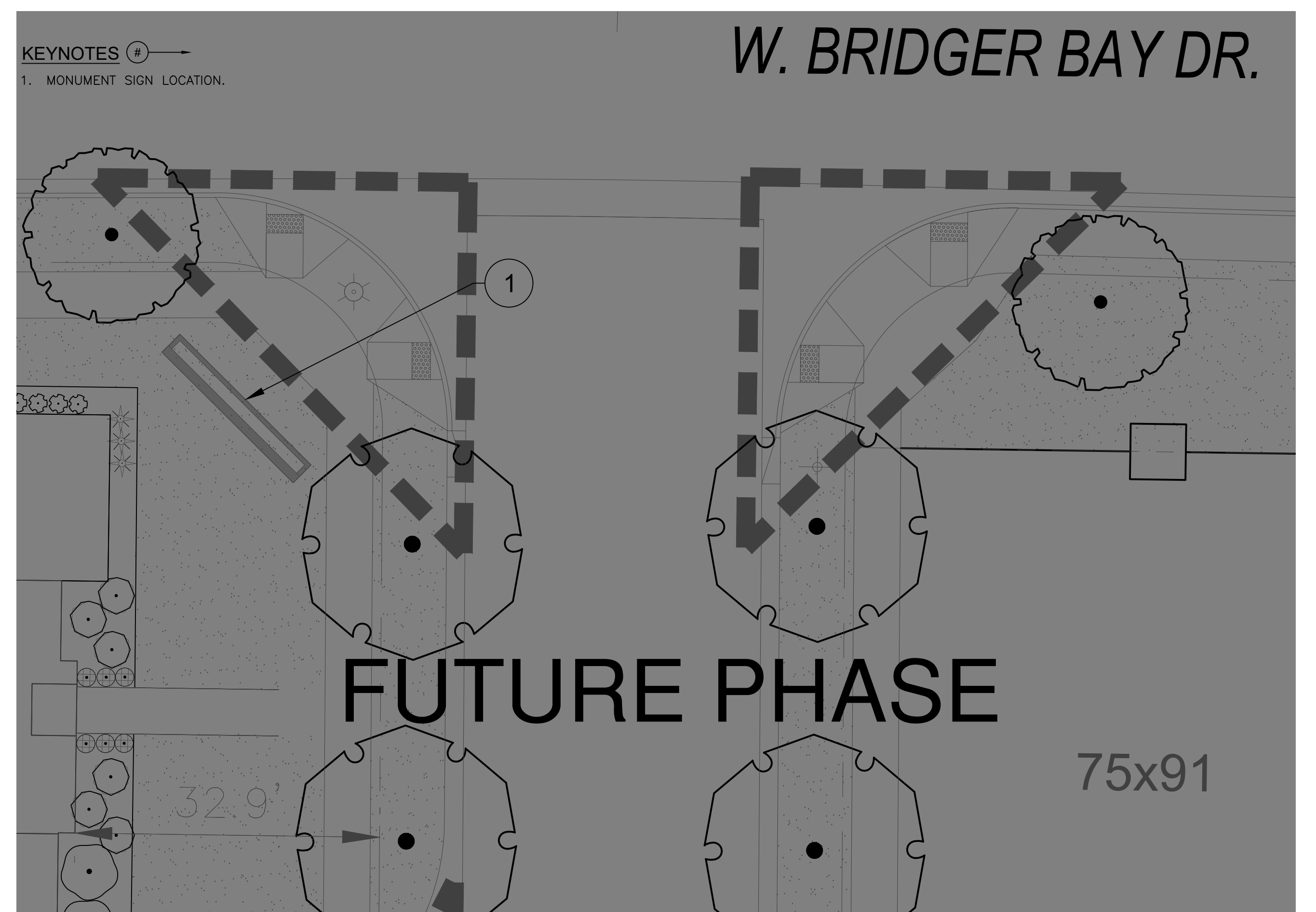


Cranefield Subdivision

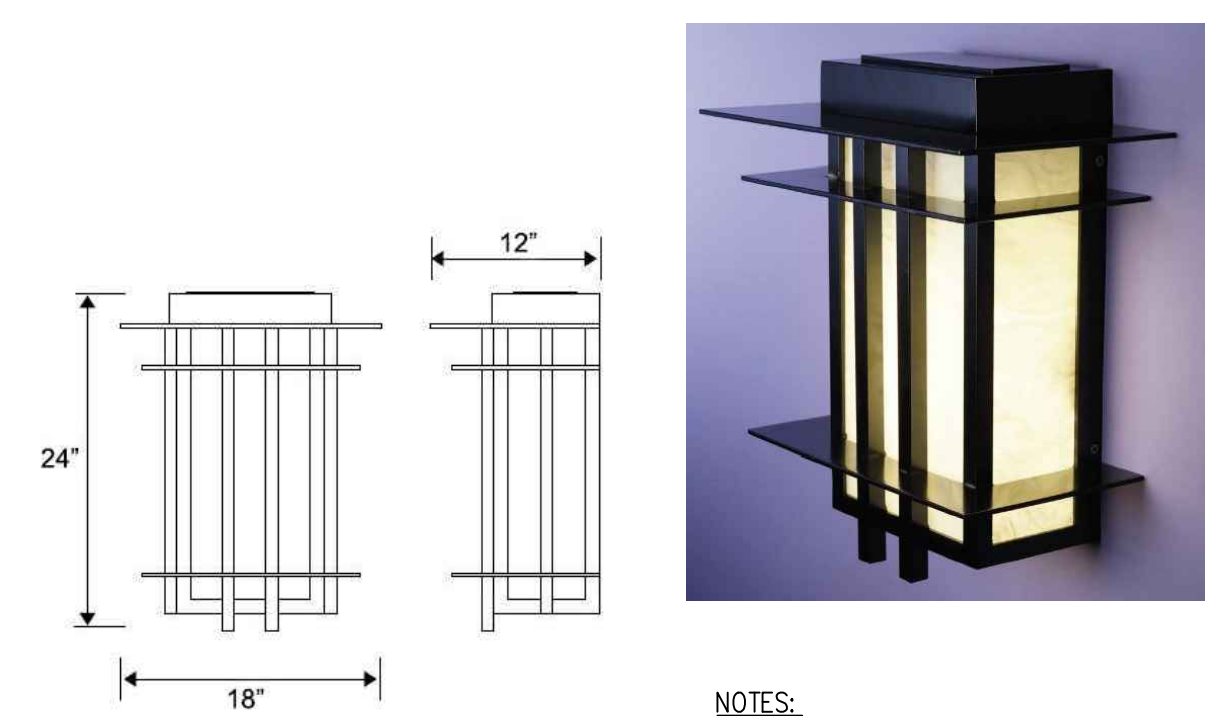
Star

Landscape Details

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Drawn by:	GB
Checked by:	GB
Date:	6.9.2023
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1 SITE PLAN
 Scale 1" = 10'-0"

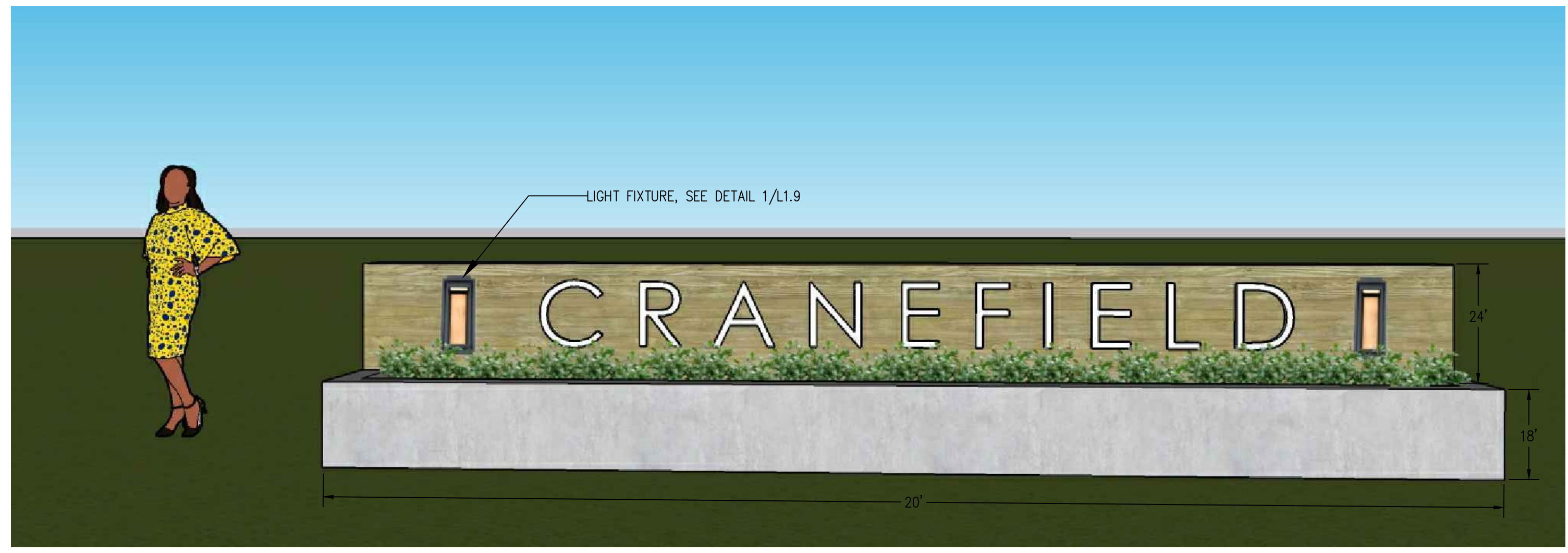


1 LIGHT FIXTURE
 NTS



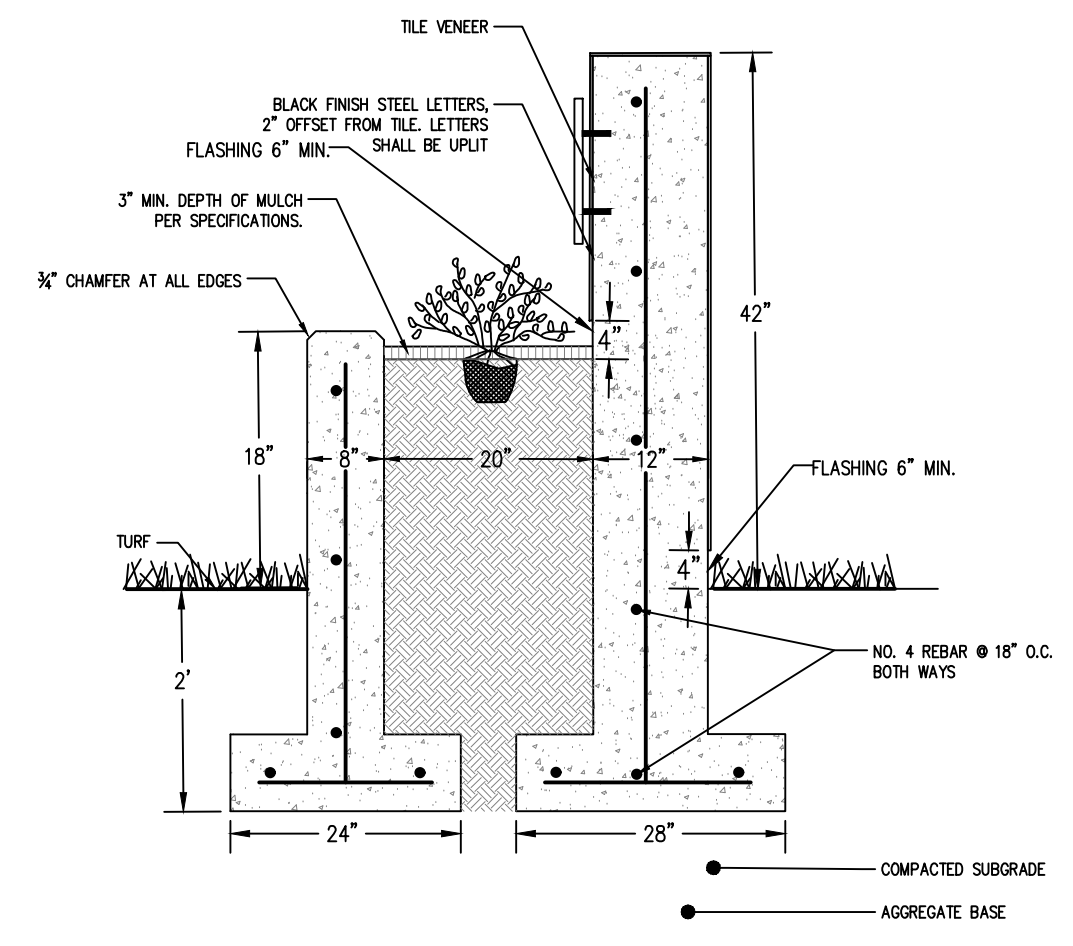
- NOTES:
- MARAZZI TILE- AMERICAN ESTATE STYLE IN "SUEDE" COLOR CODE: AEO2
 - FINISH TO BE "MATTE"
 - SIZE TO BE 6X36 AND 3/8" THICK

2 TILE VENEER
 NTS



- NOTES:
- LIGHTS - SEE DETAIL 1/L1.9.
 - TILE VENEER - SEE DETAIL 2/L1.9.
 - CONCRETE TO BE NATURAL COLOR AND BROOM FINISHED.
 - COORDINATE WITH ELECTRICAL TO PROVIDE POWER TO SIGN.

3 MONUMENT SIGN FRONT ELEVATION
 NTS



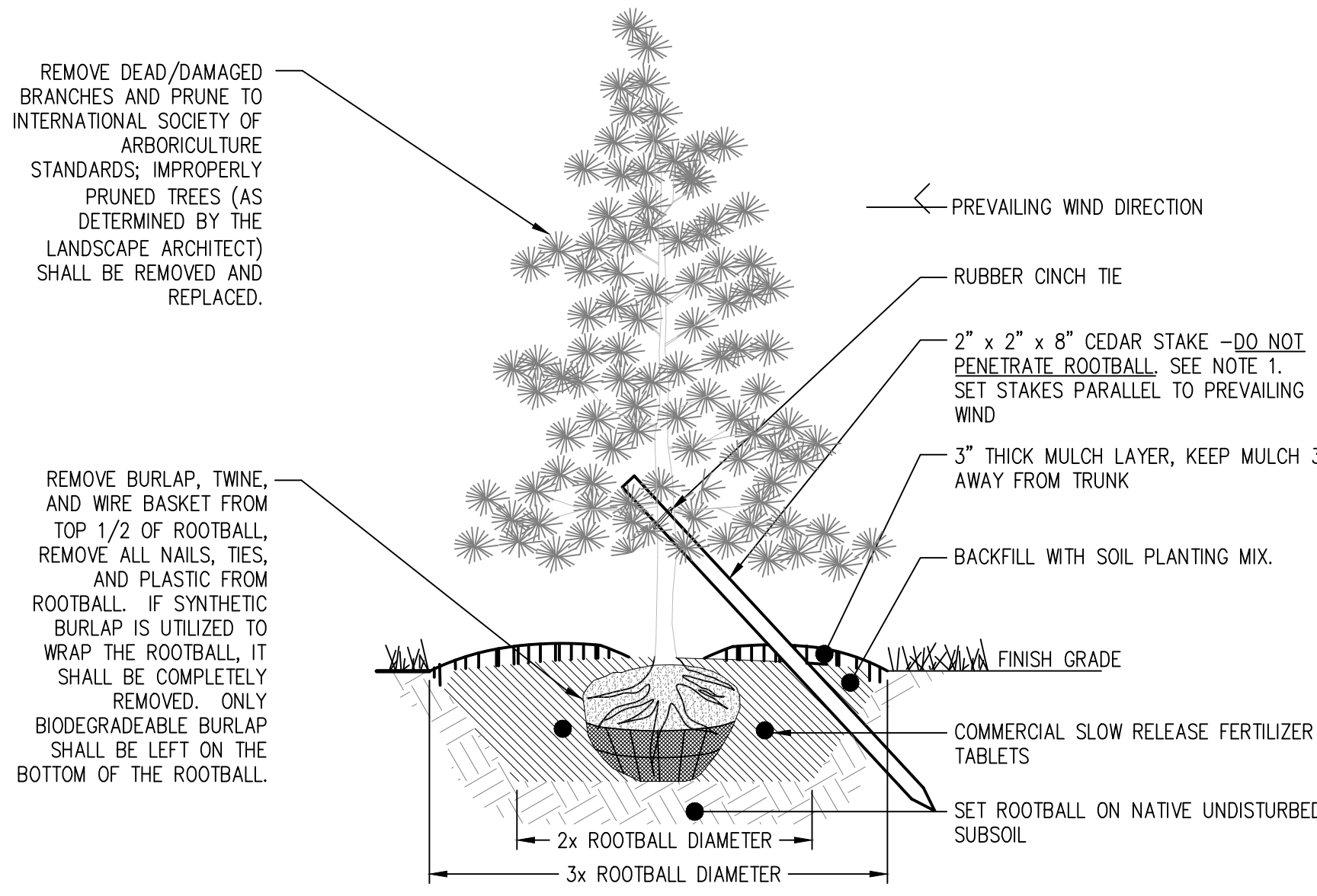
4 MONUMENT SIGN ELEVATION
 NTS

GENERAL LANDSCAPE NOTES - AGENCY SUBMITTAL

- CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD UTILITIES WITHIN CONTRACT WORK AREAS PRIOR TO CONSTRUCTION. CONTACT DIG LINE, INC. @ 1.800.342.1885. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN.
- ALL TOPSOIL TO BE AMENDED AT A RATIO OF 3 CU. YDS. OF ORGANIC MATTER PER 1000 SQ. FT. ROTO-TILL ORGANIC MATTER INTO THE TOP 6 INCHES OF TOPSOIL.
- ALL SHRUB BEDS SHALL HAVE A MIN 12 INCHES OF TOPSOIL, ALL PLANTER ISLANDS SHALL HAVE MIN 12" TOPSOIL AND ALL LAWN AREAS SHALL HAVE MIN 6" TOPSOIL. SPREAD, COMPACT AND FINE GRADE SMOOTHLY TO 3 INCHES BELOW THE SURFACE OF WALKWAYS AND CURBS.
- FINISH GRADES ARE TO BE SMOOTH WITH POSITIVE DRAINAGE IN ACCORDANCE WITH THE GRADING PLAN.
- TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF ROCKS (LARGER THAN 2 INCHES), WEEDS, ROOTS, GRASS, OR OTHER FOREIGN MATERIAL THAT IS HARMFUL TO PLANT GROWTH. TOPSOIL SHALL HAVE A PH OF 5.5 TO 7.0.
- WHERE POSSIBLE, RE-USE EXISTING SURFACE TOPSOIL FROM SITE. VERIFY TOPSOIL WILL MEET THE REQUIREMENTS AND AMEND AS NECESSARY. IMPORT WHEN EXISTING TOPSOIL QUANTITIES ARE INSUFFICIENT.
- IF IMPORTING TOPSOIL FROM OFFSITE, OBTAIN FROM LOCAL SOURCES THAT HAVE SIMILAR SOIL CHARACTERISTICS TO THE PROJECT SITE. NEW TOPSOIL MUST BE FERTILE, FRIABLE, NATURAL LOAM, REASONABLY FREE OF SUBSOIL, CLAY CLUMPS, WEEDS, ROOTS, STONES LARGER THAN 1 INCH. REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY AND GENERAL TEXTURE. COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT.
- ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH OF 2" MINUS BARK MULCH. INSTALL A PERMEABLE FABRIC WEED BARRIER UNDER ROCK MULCH. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED. STAPLE ALL EDGES 10' MAX.
- TREES PLANTED IN PARK STRIPS TO BE CENTERED IN STRIP.
- NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT CONSENT FROM THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL STAKE ALL TREES NECESSARY TO PREVENT THEM FROM BEING BLOWN OVER.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL REPLACE ALL PLANT MATERIAL FOUND DEAD OR UNHEALTHY IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- FERTILIZE ALL TREES WITH 'AGRIFORM' PLANTING TABLETS. FOLLOW MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE IMMEDIATE CLEAN UP OF ANY TOPSOIL OR OTHER DEBRIS ON SITE CREATED FROM LANDSCAPE CONSTRUCTION OPERATIONS.
- TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.

GENERAL IRRIGATION NOTES - AGENCY SUBMITTAL

- ALL PLANT MATERIALS TO BE WATERED BY THE DEVELOPMENT OR SUBDIVISION PRESSURIZED IRRIGATION SYSTEM. IRRIGATION OF COMMON AREAS SHALL BE VIA THE SUBDIVISION'S PRESSURIZED IRRIGATION SYSTEM. IRRIGATION OF INDIVIDUAL LOTS AND LANDSCAPING ALONG THE FRONTAGE OF PRIVATE LOTS SHALL BE VIA METERED, POTABLE WATER AND THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.
- COVERAGE: THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ONE HUNDRED PERCENT (100%) COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- MATCHED PRECIPITATION RATES: SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE.
- IRRIGATION DISTRICTS: SPRINKLER HEADS IRRIGATING LAWN OR OTHER HIGH WATER DEMAND AREAS SHALL BE CIRCUITED SO THAT THEY ARE ON THE SEPARATE ZONE OR DISTRICT FROM THOSE IRRIGATING TREES, SHRUBS, OR OTHER REDUCED WATER DEMAND AREAS.
- OVERSPRAY: SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS STREETS, SIDEWALKS, DRIVEWAYS, AND PARKING AREAS.



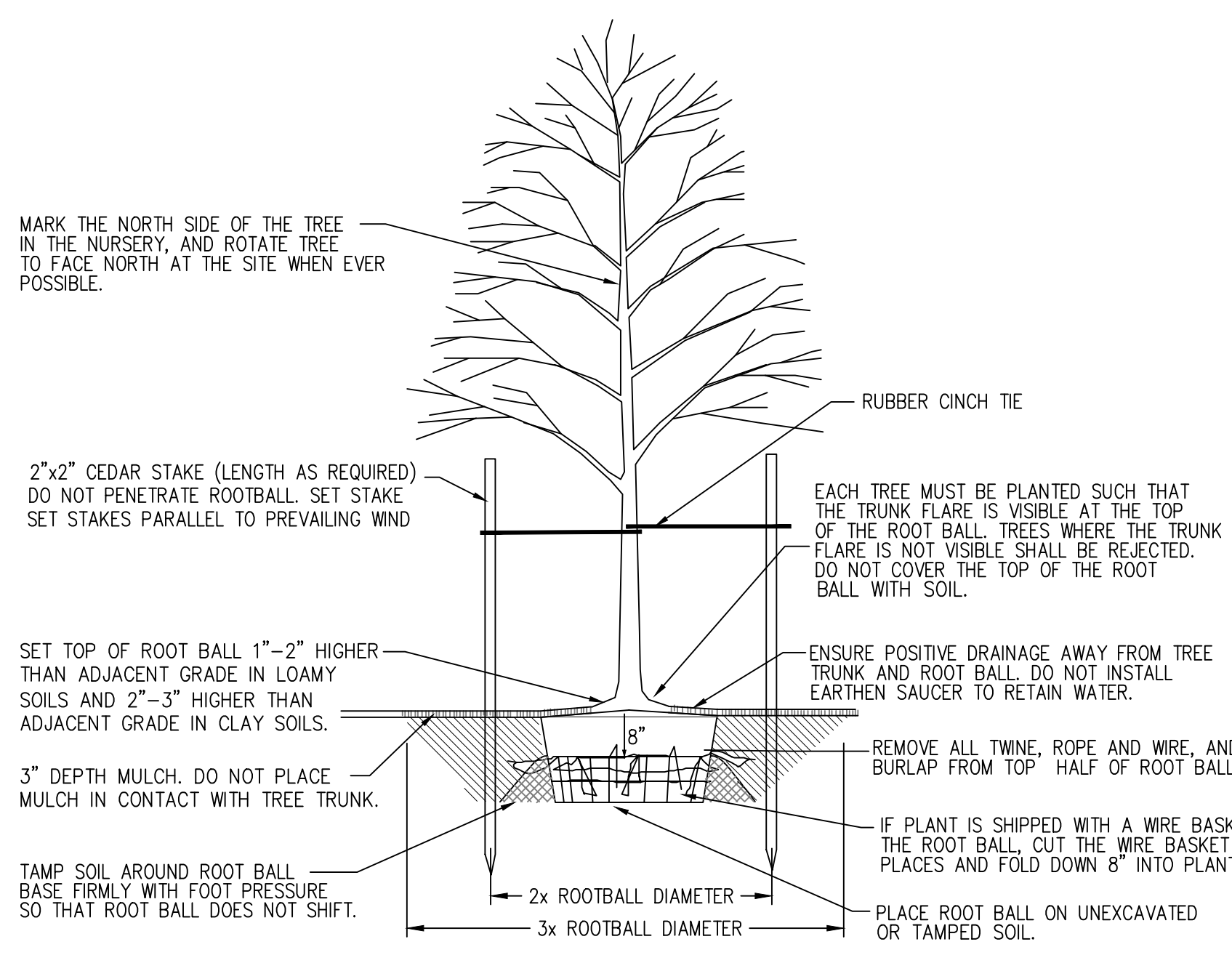
- NOTES:**
- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
 - WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
 - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.

1 CONIFER TREE DETAIL
NTS

TREE MITIGATION NOTES

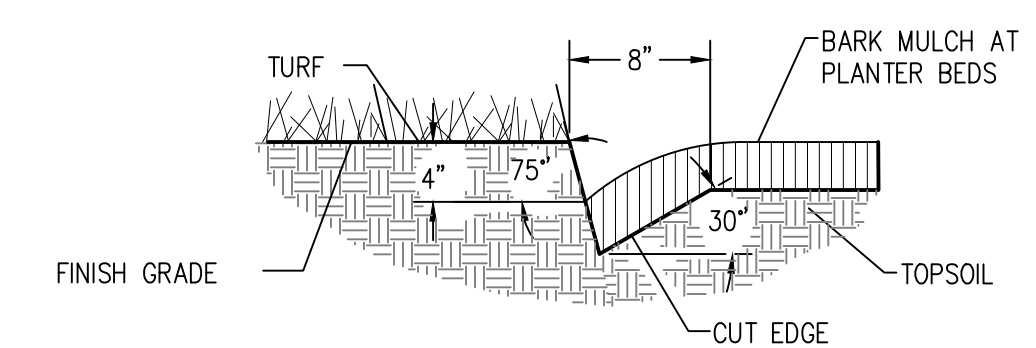
- THE EXISTING TREES TO BE REMOVED ARE AS FOLLOWS FROM THE SITE. (AS NOTED ON PLAN):
 - (1) 6" CAL. RUSSIAN OLIVE
 - (2) 8" CAL. ELM
 - (2) 8" CAL. JUNIPER
 - (4) 8" CAL. RUSSIAN OLIVE
 - (3) 10" CAL. ELM
 - (1) 12" CAL. ELM
 - (1) 12" CAL. PINE
 - (1) 12" CAL. WILLOW
 - (1) 16" CAL. POPLAR
 - (1) 18" CAL. POPLAR
 - (2) 20" CAL. POPLAR
 - (1) 20" CAL. WILLOW
 - (1) 26" CAL. WILLOW
 - (1) 28" CAL. ELM
 - (1) 32" CAL. WILLOW
 - (1) 40" CAL. WILLOW

TOTAL CALIPER INCHES BEING REMOVED = 356 CALIPER INCHES. WITH THE EXCEPTION OF THE PINE TREE ALL OF THE TREES TO BE REMOVED ARE HAZARDOUS DUE TO THEIR WEAK WOODED STRUCTURE. NO MITIGATION REQUIREMENTS WERE NOTED IN THE STAR CITY CODE.

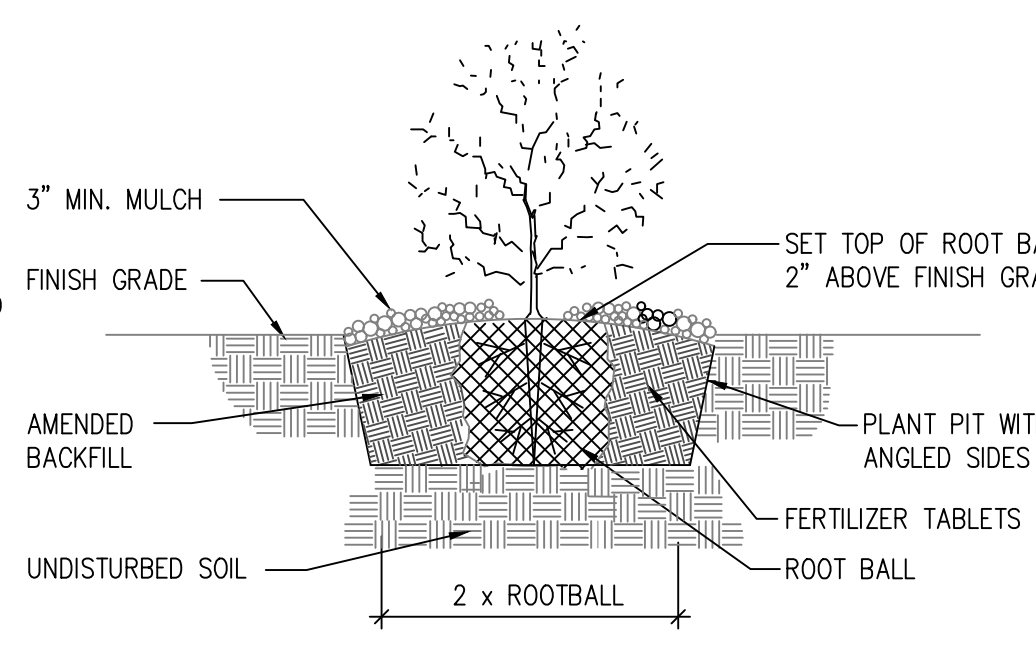


- NOTES:**
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN AND DEAD BRANCHES. DO NOT PRUNE TERMINAL BUDS OF BRANCHES EXTENDING TO THE CROWN.
 - WRAP TREE TRUNKS ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.
 - STAKE TREES AS NECESSARY. STAKES MUST BE REMOVED WITHIN 12 MONTHS OF PLANTING.

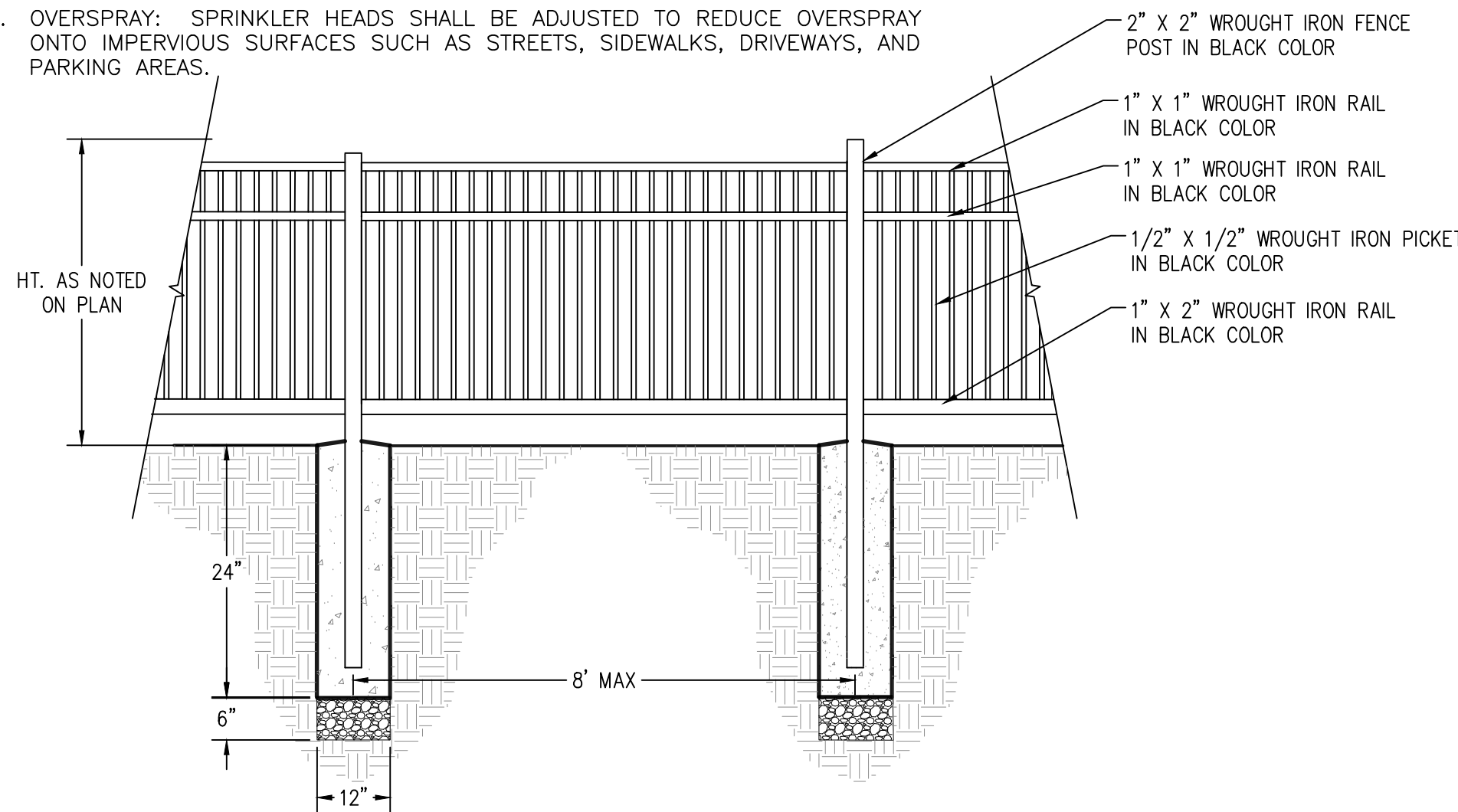
2 TREE PLANTING DETAIL
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3 EDGING DETAIL
NTS

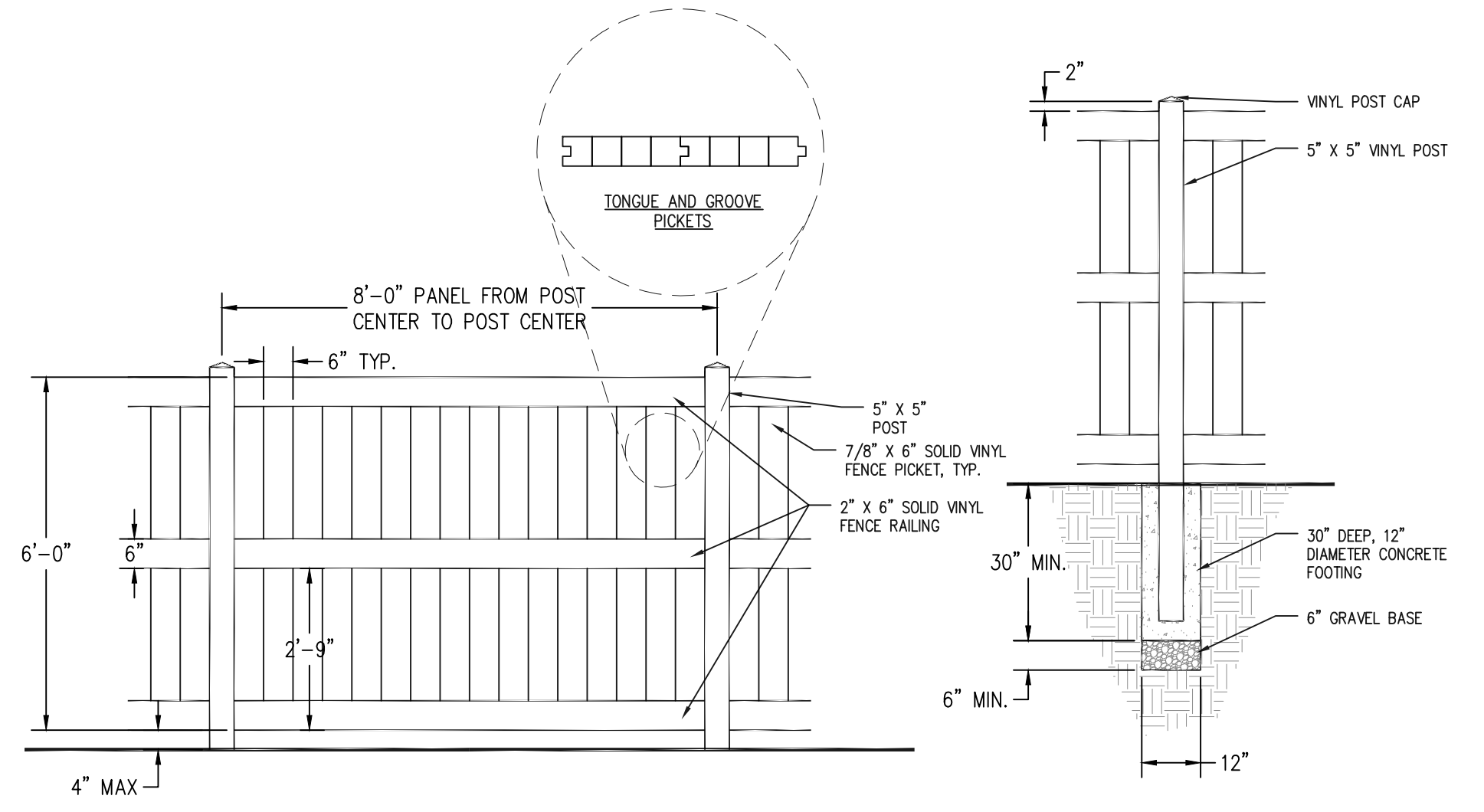


4 SHRUB PLANTING DETAIL
NTS



- NOTE:**
- CONTRACTORS ARE RESPONSIBLE FOR SHOP DRAWINGS TO BE REVIEWED BY LANDSCAPE ARCHITECT BEFORE INSTALLATION.
 - ALL CONCRETE SHALL BE MIN. 3000 PSI STANDARD GRAY IN COLOR. TROWEL FINISH ALL EXPOSED SURFACES.

5 STANDARD WROUGHT IRON FENCE
NTS



- NOTES:**
- ALL SOLID VINYL FENCING PANELING TO BE IN TAN COLOR.
 - CONTRACTOR TO PROVIDE DETAILED SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

6 6' HIGH VINYL PRIVACY FENCE (TAN)
NTS



MIRACLE PLAY SYSTEMS, TYPHOON STRUCTURE. NATURAL COLOR PALETTE. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO SECURING AND INSTALLING PRODUCT.

BONDED RUBBER MULCH BY RUBBER DESIGNS, CYPRESS COLOR. INSTALLED BY CERTIFIED PROFESSIONAL. SHALL MEET ALL SAFETY CODE REQUIREMENTS FOR THE PLAY STRUCTURES INSTALLED ABOVE.

7 TOT LOT PLAYGROUND
NTS



Ada County Transmittal
Division of Community and Environmental Health

- Return to:
[] ACZ
[] Boise
[] Eagle
[] Garden City
[] Meridian
[] Kuna
[] Star

Rezone/OTD #
Conditional/Accessory Use #
Preliminary / Final / Short Plat FP-23-14
Development Name/Section Cranefield 2 CDH File #

- 1. We have No Objections to this Proposal.
2. We recommend Denial of this Proposal.
3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
4. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
5. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
6. After written approvals from appropriate entities are submitted, we can approve this proposal for:
7. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
8. Infiltration beds for storm water disposal are considered shallow injection wells. If they are not in the City of Boise or ACHD right-of-way, an application and fee per well, vicinity map and construction plans must be submitted to CDH.
9. If restroom or plumbing facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
10. An accessory use application, fee, detailed site plan and floor plans must be submitted to CDH for review.
11. Land development application, fee per lot, test holes and full engineering report is required.
12. CDH makes no guarantee a septic permit will be issued on the split off lot. A speculative site evaluation is recommended.
13. We will require plans be submitted for a plan review for any:

Reviewed By: [Signature] Date: 10/11/23

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho
Tuesday, September 19, 2023 at 7:00 PM

1. CALL TO ORDER – Welcome/Pledge of Allegiance

Mayor Chadwick called the meeting to order at 7:00 p.m.

2. INVOCATION – Dylan Austin, LifeSpring Church

Dylan Austin of the Worship and Creative Arts Ministry at LifeSpring Christian Church provided the invocation.

3. ROLL CALL

Elected officials present: Council President David Hershey, Council Member Kevan Wheelock, Mayor Trevor Chadwick, Council Member Jennifer Salmonsens, and Council Member Kevin Nielsen.

Staff present: City Attorney Chris Yorgason, Assistant City Engineer Tim Clark, City Planner & Zoning Administrator Shawn Nickel; Assistant City Planner & Zoning Administrator Ryan Field, Deputy City Clerk Barbara Conly, Public Information Officer Dana Partridge, Star Police Chief Zach Hessing, Star Fire Chief Greg Timinsky.

4. PRESENTATIONS**A. Domestic Violence Proclamation - Women's & Children's Alliance / Faces of Hope**

Mayor Chadwick acknowledged community partners Women's and Children's Alliance and Faces of Hope as he read a proclamation giving statistics on domestic violence. He encouraged neighbors to look out for one another, and to seek help as needed. Chadwick read aloud the proclamation declaring the month of October as Domestic Violence Awareness Month in the City of Star.

B. Star Police Monthly Report - Chief Hessing

Star Police Chief Zach Hessing presented the monthly police report for August 2023. Hessing noted that he appreciated the proclamation for domestic violence, since those are some of the most volatile types of calls that police respond to. For 2023, he said the year-to-date figure is 173 crimes per thousand, with 21.5 crimes per month. The City of Star is at 14.9 crimes per thousand, which Hessing said is lower than last year, but the police continue to strive for even lower. For the month of August, there were five person crimes (three domestic violence), ten property crimes, and eleven society crimes. Hessing noted three-hundred and fifty-two calls for service in August and two-thousand and five proactive policing instances. Hessing broke down the various call types: domestic violence responded to were seven, with three being actual. Crisis / mental health was at fourteen calls. Hessing stated that welfare checks jumped a bit from the prior month, from twelve up to twenty-four.

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho
Tuesday, September 19, 2023 at 7:00 PM

C. Mid/Star Fire Department Report - Chief Timinsky

Star Fire Chief Greg Timinsky explained that he will start providing monthly reports for the City Council meetings going forward. For this first report, he said he brought the annual YTD statistics from January 1 through August 31 so Council and citizens could see a baseline. Timinsky explained that grassland fires, cooking fires, other grass fires (yard fires) were at twenty-seven, outside illegal burns at nine and other fires at twenty-seven for the year so far. Timinsky said hazardous conditions such as reports of gas leaks, oil spills, etc. totaled thirty-four, with service calls such as non-code animal rescues, lockouts, smoke detectors, etc. at one hundred and seventy-two. Chief Timinsky explained false alarms, and also said he felt the average turnout time is a bit skewed and they will work to break it out going forward. He explained that when a station responds one or the other one is dispatched – probably in a forty-five to fifty second range. For the incident count per month, Timinsky stated the slowest month was February and busiest so far was June 2023. He said that next month, Fire will include a statistic for total acres burned.

Council Member Wheelock mentioned seeing the ladder truck in use in town now. Mayor Chadwick noted the evening news reported recently on garage fires that occurred due to batteries. Chief Timinsky explained that everyone tends to store various flammables in garages and that gas, car malfunction, and batteries (especially lithium-ion batteries) are common causes of garage fires. Timinsky said that Fire has discussed pursuing adding to the code a heat detector for garages to improve the warning time to homeowners. Council Member Wheelock asked if that would come with a carbon monoxide detector added to the space. Chief Timinsky replied that one could always add that separately, but that these are heat detection only. He said one concern is over potential malfunction of carbon monoxide detectors when warming up cars.

Council Member Salmonsens asked for clarification on ambulance response vs. Fire Department response and how that works given that there is an ambulance shelter in Star. Chief Timinsky clarified that there are approximately fourteen or fifteen ambulances operating in Ada County, so frequently Fire is called upon to go do the initial check since an ambulance may be on its way from Eagle, Meridian, or Boise. He said a new ambulance will be located in Meridian.

Council Member Nielsen thanked Chief Timinsky for his report and insights. Nielsen asked, along with heat sensor in garage, what is the cost impact to having a sprinkler system required in garages and whether that is something that should be looked at. Chief Timinsky explained that ladder trucks can hook to a hydrant and can put a lot of water in a hurry. Timinsky said that sprinklers are required when hydrants are not available. He further explained that the water tenders are not always available. For a three-person fire engine, outside city limits a water supply is always asked for. In discussing cost, Timinsky mentioned that residential fire sprinklers will cost maybe a dollar and twenty-five cents to two dollars a square foot, which is very close to the cost of putting a granite countertop in a home. Council Member Wheelock replied that the topic was for another time, but wondered if Council had thought of requiring putting sprinklers in the new horizontal apartments that are being built.

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho
Tuesday, September 19, 2023 at 7:00 PM

5. CONSENT AGENDA (ACTION ITEM)**A. Approval of Claims**

- Council Member Salmonsens moved to approve the Consent Agenda. Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey-aye; Wheelock-aye; Salmonsens-aye; Nielsen-aye. Motion carried.

6. ACTION ITEMS:**A. Idaho Humane Society Agreement FY23/24 - Approve / Authorize the Signature of the Mayor to enter into an Agreement for Animal Control Services (ACTION ITEM)**

Council Salmonsens thanked Mayor Chadwick for pursuing information on the subject. Council Member Nielsen asked for City Attorney Yorgason to provide clarification on clause wording for the Idaho Humane Society agreement with respect to written verification that a vendor/contractor is not owned or operated by the government of China or Israel. Yorgason advised the wording of the clause referenced is actually a newer state law. Council discussion ensued on the law, and Yorgason stated that he did not have any statutory concerns.

- Council Member Hershey moved to approve the Idaho Humane Society Agreement FY23/24 and to approve/authorize the Mayor to sign and enter into an Agreement for Animal Control Services. Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

Council Member Wheelock inquired if Star Veterinary would still be used after hours; Mayor Chadwick stated that he has a separate meeting about this, and that the matter of after hours was still being worked out.

B. 946 S Main Demolition Agreement - Approval / Authorize the demolishing of 946 S Main Street (ACTION ITEM)

Mayor Chadwick advised City Council that the City had put this project out to bid for someone to potentially purchase the unit and take it out, but that no one submitted any requests so now the already-authorized Plan B of considering demolition would need to be considered. Chadwick explained that the price to demolish would \$16,337.00 and that it would need to take place near the end of October. He clarified that the tool shed could be taken out by City staff.

- Council Member Wheelock moved to approve the 946 South Main demolition agreement. Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

C. Pavilion Park Bathroom - Approve / Authorize the purchase of Pavilion Park Bathroom Facilities utilizing Park Impact Fees (ACTION ITEM)

Mayor Chadwick noted that City Engineer Ryan Morgan was at a flood plain meeting, and that Assistant City Engineer Tim Clark was present this evening to explain the proposed Pavilion Park bathroom. Clark

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showed a slide depicting a sample design of a prefabricated bathroom building. Clark noted that the building will likely be built mostly at a facility in Nampa and said that local consideration carried an appeal.

Clark detailed the split face block exterior with faux cedar shake roof, and asked Council to weigh in on exterior color options. He explained the quote was \$130,000.00 and then to run utilities, water, and pad, \$160,000.00, so in total the project would come out under \$200,000.00.

Council discussion ensued on Sourcewell, the various color options, and potential location. Mayor Chadwick explained that the location would be near the dog park and new splash pad, with a bit of work to be done on sidewalks for connectivity.

Council Member Nielsen asked how this project fit in with existing City design standards. City Planner Nickel noted that the ordinance does not require this type of facility to confirm design standards, as it is not for commercial use. Mayor Chadwick noted that the project under consideration was consistent with similar buildings at Hunters Creek and Blake Parks. Chadwick noted the building would be heated, so would help people who were over at the dog park walking in the winter months.

Nickel asked about potential coating along the bottom of the structure; Clark said that it could be included for another couple thousand dollars.

Council Member Salmonsens inquired about two vs. four stalls given the future potential for a pickleball court. Council discussion with Engineering and Planning staff ensued on the viability of relocating the smaller structure to another area in the City if it ever became logical in the future. Staff was instructed to follow up on the topic of ability to re-locate the structure.

- Council Member Nielsen moved to approve and authorize the purchase of the Pavilion Park bathroom facilities using Park Impact Fees for an amount not to exceed two hundred thousand dollars and to direct Staff and Contractors to make color selections and material selections so that the facility is consistent with what is currently installed at Blake Park and Hunter's Creek Park. Council Member Salmonsens seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.



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D. Pathway Master Plan Consultant Recommendation for Selection - Approve / Authorize Staff to enter into Negotiations with Kimley Horn as recommended by the Star Transportation and Pathways Committee (ACTION ITEM)

Mayor Chadwick noted that Assistant Tim Clark would speak on the subject, and that Council Member Salmonsens and City Planner Nickel were also present to answer questions.

Clark explained that the City put out a Request for Proposal (RFP) a few weeks ago, and received three statements of qualifications. He said the Transportation Committee had reviewed the qualifications and recommended the City Council to select Kimley Horn because they have useful tools for interacting with the public. Salmonsens added that the same consultant was used for the South of the River Plan, Logan Simpson, who is part of the Kimley Horn team. Salmonsens said that she reviewed all three, and that Kimley Horn scored the highest.

- Council Member Nielsen moved to approve Kimley Horn as the Pathway Master Plan Consultant as recommended by the Star Transportation and Pathways Committee. Council Member Hershey seconded the motion. ROLL CALL VOTE: Nielsen – aye; Salmonsens -aye; Wheelock – aye; Hershey – aye. Motion carried.

E. Advertisements for Bids: Floating Feather to Star Middle School Pathway - Approval of the Advertisements for Bids (ACTION ITEM)

Mayor Chadwick noted that Tim Clark has been working hard on this project, and explained length that the pathway will run.

- Council Member Salmonsens moved to approve the advertisement for bids for the Floating Feather to Star Middle School Pathway. Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock -aye; Salmonsens – aye; Nielsen – aye. Motion carried.

7. ADJOURNMENT

Mayor Chadwick adjourned the Star City Council meeting at 8:07 p.m.

Trevor A Chadwick, Mayor

ATTEST: _____
Jacob M Qualls, City Clerk - Treasurer

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1. CALL TO ORDER – Welcome/Pledge of Allegiance
Mayor Chadwick called the meeting to order at 7:00 p.m.

2. INVOCATION – Pastor David Ax, Calvary Star Church
Pastor David Ax of Calvary Star Church offered the invocation.

3. ROLL CALL**Elected officials present:**

Council President David Hershey, Council Member Kevan Wheelock, Mayor Trevor Chadwick, Council Member Jennifer Salmonsens, and Council Member Kevin Nielsen.

Staff present:

City Attorney Chris Yorgason, Deputy City Clerk Barbara Conly, City Public Information Officer Dana Partridge, City Planner & Zoning Administrator Shawn Nickel, Assistant City Planner & Zoning Administrator Ryan Field, City IT Director Shane Dale, Star Police Chief Zach Hessing, and School Resource Officer Alan Takeuchi.

4. PROCLAMATIONS / PRESENTATIONS**A. Constitution Week Proclamation**

Mayor Chadwick read the proclamation honoring the 236th anniversary of the drafting of the Constitution of the United States of America by the Constitutional Convention and proclaimed the week of September 17-23, 2023 to be Constitution Week. Mayor Chadwick presented the proclamation to attending members of the local Eagle, Idaho chapter of the Daughters of the American Revolution Becky Reynolds, Dana Partridge, Wenley Kim, and Mary Garner.

B. Elevate Our Heroes Day Proclamation

Mayor Chadwick read the proclamation acknowledging Law Enforcement Officers, Firefighters, EMS Dispatchers, Corrections, Coroners, Chaplains, retired First Responders, Health Care Workers, Clinicians, our Military, our Veterans, and their families as Everyday Heroes, and proclaiming September 11, 2023 as Elevate Our Everyday Heroes Day. He called out the need for the best mental health and wellness support resources for first responders given the stress levels in their day to day jobs and a recent increase in suicides in these professions. Mayor Chadwick expressed support and appreciation for first responders, and acknowledged that Star Police Chief Zach Hessing and Star's new School Resource Officer Alan Takeuchi were present this evening.

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C. Star Police - Introduction School Resource Officer, Alan Takeuchi & Chief Hessing July Report

Chief Hessing introduced the new School Resource Officer for Star Middle School, Detective Alan Takeuchi. Chief Hessing also thanked the Mayor, Council and community for the proclamation. He noted that it is one of the harder times in law enforcement at this point in history. Hessing explained that Detective Rob Fowler is retiring, and that Detective Takeuchi is taking on that role. Hessing noted that Takeuchi was born and raised in Cascade, Idaho, has been married to his high school sweetheart for twenty-one years and that they have three children. Detective Takeuchi volunteers coaching youth soccer and track and field. He has worked in animal control, code enforcement, jail deputy, patrol deputy, field training officer, patrol sergeant, chief of police, and now currently as a school resource officer. Chief Hessing said that Detective Takeuchi has been employed by Ada County Sheriff's Office for one year now and is very excited to be in Star and feels blessed to be a part of the community.

Detective Takeuchi thanked the Mayor and Council for their support and said he appreciated the chance to meet face to face and to make a difference in the community.

Chief Hessing went on to present the Police report for the month of July 2023. He noted that one goal is to keep the crime rate low at eighteen crimes per thousand or below. Hessing noted there were 172 crimes in the City of Star for the month of July and broke notable areas out. Per Chief Hessing, there were eight person crimes, fifteen property and fifteen society crimes. Six assaults ranged from simple battery to domestic battery. There were fourteen different drug violations, mostly due to traffic stops of off Highway 44 with scenarios like drug paraphernalia found or drugs in vehicles. He noted the importance of the proactive policing approach vs. reactive policing, which he said made a difference in Star's crime rate. Hessing reminded citizens that for anyone who parks their vehicles outside, to be sure to lock their cars and not leave anything in sight. Hessing also explained that in Star there is a delineation of code 3 emergency calls outside City limits as opposed to code 3 within Star city limits where the goal is a response time of under four minutes. In July, the in-City-limits response was at two minutes and seventeen seconds, well below the four minute mark. For outside of Star, there were fifteen calls. He noted the importance of getting there first if they are the closest officers, ensuring citizens are safe, and getting back into city to be there for residents of Star.

Council Member Wheelock thanked Chief Hessing for breaking out the detail for in-Star vs. outside City limits, and commended him on the service times.

5. CONSENT AGENDA (ACTION ITEM)

- A. **City Council Minutes - May 9, 2023 & August 15, 2023 and CLAIMS**
- B. **Final Plat - Milestone 6 (FILE #FP-23-11)**

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C. Claims to be Approved

- Council Member Salmonsens moved to approve Consent Agenda Items 5A and 5C, with the removal of item 5B Final Plat for Milestone 6 (FILE #FP-23-11), which will be placed on a future agenda; Council Member Hershey seconded the motion. **ROLL CALL VOTE:** Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

6. PUBLIC HEARINGS with ACTION ITEMS:

- A. PUBLIC HEARING - De-Annexing an Easement in Iron Mountain Vista Subdivision (FILE: DE-AX-23-01)**
- The Applicant is seeking approval of a De-Annexation of a small area along the south boundary line. Approximately 3,500 square feet or 0.08 acres. The subject property is generally located NE ¼, SW ¼ Section 4 T4N, R1W. Ada County Parcel No# R9545740040. **(ACTION ITEM)**

Mayor Chadwick noted that the property did not have signage posted properly and that staff was unable to reach the applicant, so he recommended tabling the topic indefinitely until they are able to communicate.

- Council Member Nielsen moved to table indefinitely the topic of De-annexing an Easement in Iron Mountain Vista Subdivision (FILE: DE-AX-23-01). Council Member Salmonsens seconded the motion. **ROLL CALL VOTE:** Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

- 7. ACTION ITEMS:**(The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)

- A. Request for Mediation - Dude Dewalt (FILE # CU-23-05) (ACTION ITEM)**

Mayor Chadwick summarized that Mr. Keith Hill had requested mediation with respect to the Dude Dewalt Winery. Chadwick noted that mediation needs to come from a governing board and that the Council acts as such since they approved the recent annexation of Dude Dewalt into City limits. He said that Council is able to see that the request is based on the fact that Mr. Hill set up a church in May 2023. Mayor Chadwick stated that it is his position that no mediation needs to take place since Dude Dewalt has been in place as a business since 2011. City Attorney Yorgason clarified that any party can request mediation, but that it would only become mandatory if the City were to pursue it and that at least one mediation session would need to occur in that case. Yorgason guided that if the Council chooses not to require it, there is no obligation, and that the question before Council this evening is whether Council wishes to order that mediation to occur or not. Yorgason further clarified that if there were any specifics that changed through the course of mediation that could potentially result in having to go through an additional public hearing process in the event that there might be additional conditions placed on the Conditional Use Permit, so the public would have a chance to comment on what those terms might be.

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Council Member Nielsen noted that the City annexed the property in accordance with both City of Star's zoning laws/rules of operation and the applicable State of Idaho laws; and that the use of said property also matches with Star's Unified Development Code, noting that no exceptions were made. Mayor Chadwick said he agreed with Nielsen's remarks, and that he has difficulty with the fact that the winery has been operating for so many years and was simply taking action to annex into the City vs. the fact that a citizen comes forward who has set up a church through their own home much later. Nielsen requested to deny the request for mediation.

Council Member Wheelock remarked that his thought process was that if this business was running prior, regardless of the Council's decision, he wondered if there was some form of grandfather clause since they'd already been operating. He said he felt that in looking at it this way, that it would take the whole idea of a Council decision out of the equation.

- Council Member Nielsen moved to deny the request for neighbor mediation with respect to Dude Dewalt (FILE # CU-23-05). Council Member Salmonsens stated that she would abstain, as she was not present at the original public hearing for Dude Dewalt. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Nielsen – aye. Motion carried, with Council Member Salmonsens abstaining.
- B. Ordinance 387-2023 - Oliver Estates & Development Agreement (FILE # AZ-22-01 / DA-22-01 / PUD-22-01 / PP-22-01)** AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF CANYON COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AT 22491 N. CAN ADA ROAD IN STAR, IDAHO (CANYON COUNTY PARCELS R340000000 & R34000010A1) AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED BY CAROL A. STORKAN & JEFFREY D. STORKAN; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS RESIDENTIAL WITH A DEVELOPMENT AGREEMENT AND PLANNED UNIT DEVELOPMENT (R-3-PUD-DA) OF APPROXIMATELY 37.58 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE. **(ACTION ITEM)**
- Council Member Hershey moved to introduce and, pursuant to Idaho Code Section 50 and Section 902, that the rule requiring an ordinance be read in three different days with one reading being in full be dispensed with, and that Ordinance Number 387-2023 be considered after reading once by title only. Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye, Salmonsens – aye; Nielsen – aye. Motion carried.
 - Council Member Hershey read the ordinance title and moved to approve Ordinance Number 387-2023 Oliver Estates & Development Agreement (FILE #AZ-22-01 / DA-22-01 / PUD-22-01 / PP-22-01; Council Member Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

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- C. **Ordinance 389-2023 - Dude Dewalt & Development Agreement (FILE # AZ-23-02 / DA-23-04):** AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AT 5446 HWY 16, IN STAR, IDAHO (ADA COUNTY PARCEL S0328427800) AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED BY TRAE & JOHNNA BUCHERT; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS RURAL RESIDENTIAL WITH A DEVELOPMENT AGREEMENT (RR-DA) OF APPROXIMATELY 32.5 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE. **(ACTION ITEM)**
- Council Member Wheelock moved to introduce and, pursuant to Idaho Code Section 50 and Section 902, that the rule requiring an ordinance be read in three different days with one reading being in full be dispensed with, and that Ordinance Number 389-2023 be considered after reading once by title only. Council Member Hershey seconded the motion. Council Member Salmonsens asked to obtain clarification from City Attorney Yorgason that, given that she had abstained on the prior agenda topic of Dude Dewalt mediation, it was now acceptable for her to vote given that this was an administrative item. City Attorney Yorgason verified that it was correct that this is now an administrative item, and proper for Council Member Salmonsens to vote. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.
 - Council Member Wheelock read the ordinance title and moved to approve Ordinance 389-2023 Dude Dewalt & Development Agreement (FILE # AZ-23-02 / DA-23-04; Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.
- D. **Access Control System** - Approval to purchase an Access Control System for security purposes for Star City Hall, Star Riverhouse and Star Recreation Center **(ACTION ITEM)**

City of Star Information Technology Director Shane Dale explained the proposed access control system. He noted the City obtained three quotes from three qualified vendors. Dale explained that the proposal for three properties – the City Hall building, the Star Riverhouse, and Star Recreation Center. He noted 25 doors for the scope, and said he walked with all three potential vendors to ensure matching scope. Dale noted that the goal for the City Hall and Star Recreation Center buildings was to enhance safety and security, and to eliminate having staff have to carry traditional building keys. For the Riverhouse, he said the security goal was to eliminate part of the problem of issuing temporary keys for citizens, who tend to lose them. In the case of the Riverhouse, a temporary access PIN could be granted, then deactivated after use and the building would self-lock.

Dale said that the vendors he interviewed were Ednetics, Compunet, and Royalty Electric.

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For Ednetics, Dale noted that this particular set of hardware is battery-operated, and that staff would have to replace the batteries every year or two, so there was a certain amount of maintenance involved. Council Member Nielsen noted that cameras were included in this quote and asked that these be broken out for consistency with the other two vendors; he also noted licenses per door.

For Compunet, Dale noted that the budget number needs to be further dialed in, but that the total \$75,000.00 scope is correct, and that the number of doors, licensing, and access control is all correct. Council discussion ensued on batteries; Shane Dale answered this one was a low-maintenance hard wired system and that if the building lost power, people could still get out of the building.

For the Royalty Electric quote, Dale noted that there was less in terms of licensing fees and that this was the Staff-recommended quote. He stated that he could do the configuration in-house, and that codes could be generated from an Outlook calendar. Council Member Nielsen asked about the technology. Dale explained that they were inter-range, and provided clarification that the controllers are their own. In terms of reliability, Dale said the company has been around and is not going anywhere.

Council Member Wheelock asked which system was used by Star Fire. Dale explained that Fire uses Linear, which is a bit more expensive and ties together in a different way designed for more frequency with respect to EMS services. Dale explained that the City is planning on doing their own codes, and that it is possible to cross-code with the Fire department. He said he would work with Deputy Fire Chief Victor Islas to get the cards they need, and that Star Police can use the cards they have with all-access. Council Member Salmonsens asked to better understand why City Hall needed a system, noting that she saw the reasoning behind a need at the Riverhouse and the Recreation Center. Mayor Chadwick replied that if a staff member lost a key, at the current time it would signal a need to re-key the building. Chadwick said that this was an important step to help improve security. Dale clarified that auto-unlocking could be set for certain times and for common areas such as the exterior doors.

- Council Member Hershey moved to approve the staff recommended quote from Royalty Electric at the proposed bid of \$50,000.00 and added as a budget line to the current year's City budget. Council Member Wheelock seconded the motion. Council Member Nielsen asked to verify if this was to be adding a budget line item and for the project to come out of the General Fund; Mayor Chadwick verified yes. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

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E. **Traffic Box Art Project Resolution TBD-2023** - Approval of a Resolution suggested by the Park, Art & Beautification Committee for Traffic Box Art at identified locations - **(ACTION ITEM)**

Council Member Salmonsens reported that the Parks, Art, & Beautification Committee did a Call for Artists for artwork to cover three traffic boxes. These are traffic boxes located in front of Albertsons, in front of Maverick, and by Star Middle School. Another option considered was the Star Library book drop. She noted that twenty-five artists submitted work, which was judged by a panel consisting of City Council Members and members of the community. The Top Four selected were "All Aboard" by Mary Ann Fraser, "A New Generation (In Memory of Phaedra) by April McIntyre, and "A Star Barn" by Mary Ann Fraser. "All Aboard" was suggested for the traffic box near Albertsons, "A New Generation" was suggested for the box near Maverick, and "A Star Barn" was suggested for placement near Star Middle School.

"Star Pride" by Cassidy Crawford was a fourth choice and was suggested for the Star Library book drop. Council Member Salmonsens noted that details were still being worked on with the library district to see if this can be worked out. Mayor Chadwick asked Sue Speer of the Parks, Art, & Beautification Committee to come forward to provide further information.

Sue Speer of 620 South Stream Leaf, Star, explained that the Star Library applied for a grant with Art Idaho, with the grant application due the same day as the City Council meeting so feedback was not available yet. If the library grant ends up successful, Speer noted that it would be a 50/50 matching grant that would pay for half of the art-wrap for the box. Speer said that the library would know the results of the grant application in about three weeks, so PAB was not able to make a recommendation for funding until that time.

- Council Member Salmonsens moved to approve Resolution TBD-2023 – Approval of a Resolution suggested by the Parks, Art, & Beautification Committee for Traffic Box Art at identified locations near Albertsons, Maverick, and Star Middle School; Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.



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F. Beer / Wine License - Dude Dewalt Winery (ACTION ITEM)

Council discussed the Dude Dewalt Winery beer/wine license. Council Member Hershey asked to take into consideration the memo prepared by City Clerk Qualls noting that it would be approved contingent upon obtaining the Star Fire Department’s approval. Council Member Nielsen asked to clarify that this was a beer / wine license, not a liquor license; Mayor Chadwick verified that this was correct.

- Council Member Hershey moved to approve the Beer / Wine License for Dude Dewalt Winery with the stipulations as outlined in the City Clerk / Treasurer memo dated August 31, 2023. Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye.

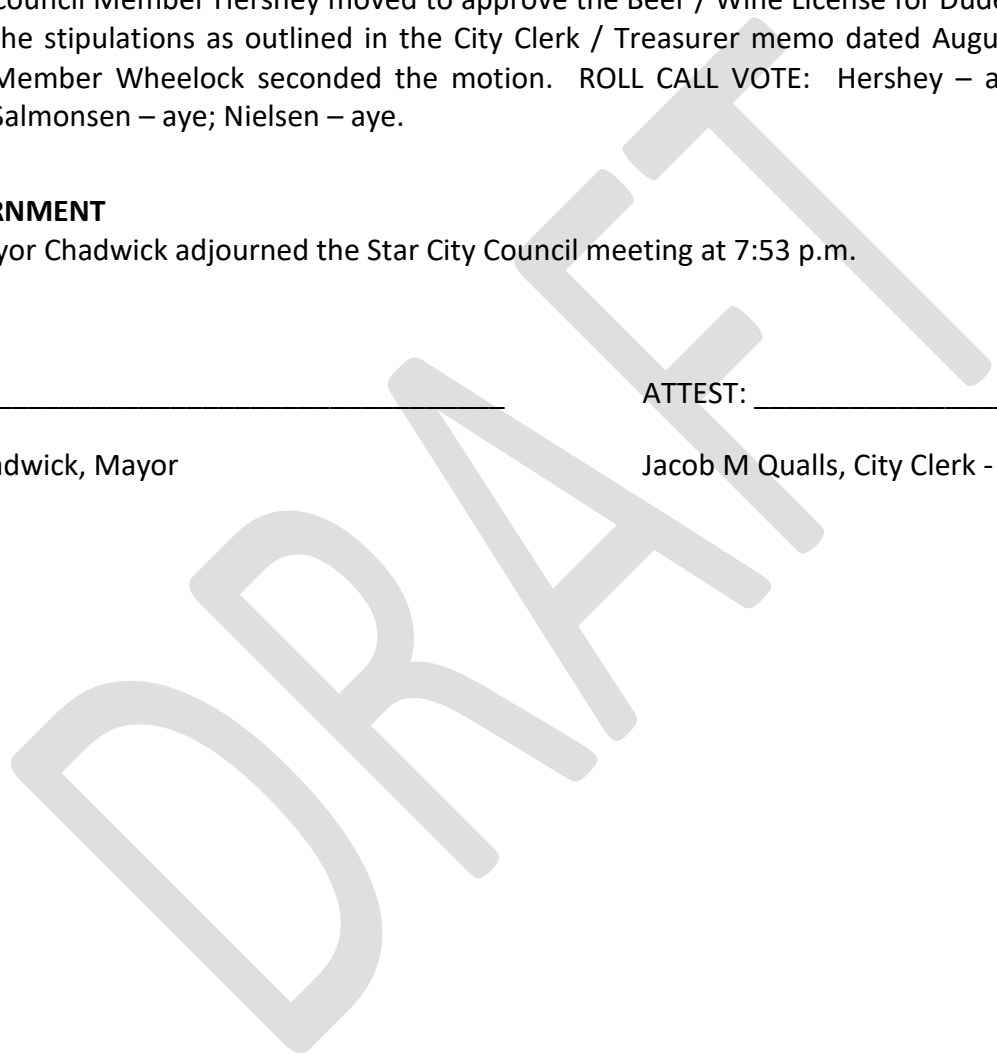
8. ADJOURNMENT

Mayor Chadwick adjourned the Star City Council meeting at 7:53 p.m.

Trevor A Chadwick, Mayor

ATTEST: _____

Jacob M Qualls, City Clerk - Treasurer



* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
2538	22313S	15 ACTION PLUMBING	225.00						
1	2890	09/19/23 Unclog Drain Hunters Creek	225.00			10 41540	735		10110
		Total for Vendor:	225.00						
2497	22280S	21 ADA COUNTY LANDFILL	31.32						
1	230912-014	09/12/23 Landfill Fees	31.32			10 41540	411		10110
		Total for Vendor:	31.32						
2495	22281S	1377 ANALYTICAL LABORATORIES, INC	555.00						
1	2306437	08/31/23 Fish Pond Water Testing	555.00			10 41810	737		10110
		Total for Vendor:	555.00						
2529	22306S	1284 ARDEN YUNDT	150.00						
1	1 09/22/23	Daddy/Daughter Dance Lesson	150.00			10 103 44022	352		10110
		Total for Vendor:	150.00						
2496	22282S	79 ASSOCIATION OF IDAHO CITIES	275.00						
1	200010712	09/11/23 ICCTFOA Registration Hudson	275.00			10 41810	560		10110
2520	22286S	79 ASSOCIATION OF IDAHO CITIES	275.00						
1	200010722	09/15/23 ICCTFOA Registration Field	275.00			10 41810	560		10110
		Total for Vendor:	550.00						
2498	22283S	93 BATTERIES PLUS BULBS	304.74						
1	P65351489	08/30/23 Batteries	304.74			10 41540	437		10110
		Total for Vendor:	304.74						
2502	22287S	1403 BILLY R ARNOLD	1,000.00						
1	09/15/23	Summer Concert	1,000.00			10 41810	598		10110
		Total for Vendor:	1,000.00						
2503	22288S	145 BSN SPORTS	907.26						
1	922619833	08/28/23 Sports Equipment	907.26			10 44021	612		10110
		Total for Vendor:	907.26						

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Inv Date/Description	Vendor #/Name/ Date	Document \$/ Line \$	Disc \$	PO #	Fund	Org Acct	Object	Proj	Cash Account
2504	22289S	159 CANYON COUNTY CLERK		100.00							
1	Jul 2023	09/01/23 Prosecution Services		100.00			10	42110	322		10110
		Total for Vendor:		100.00							
2539	22314S	160 CANYON HIGHWAY DISTRICT # 4		63.66							
		Property Tax Collected for 08/01/23 - 08/31/23									
1	09/22/23	CHD4 Property Tax		58.16			10	41510	732		10110
2	09/22/23	CHD4 Penalty		1.16			10	41510	732		10110
3	09/22/23	CHD4 Interest		4.34			10	41510	732		10110
		Total for Vendor:		63.66							
2522	22305S	168 CASH		150.00							
		Recreation Dept Drawer Float									
1	09/22/23	Rec Dept Drawer Float		150.00			10	10300			10110
		Total for Vendor:		150.00							
2501	22290S	231 DANA PARTBRIDGE		3,050.11							
1	09/15/23	Services Aug 31 - Sept 14 2023		2,997.00			10	41140	351		10110
2	09/15/23	Reimburse Phone Shoulder Supp		10.81			10	41810	610		10110
3	09/15/23	Reimburse Traffic Cone Markers		42.30			10	41810	598		10110
		Total for Vendor:		3,050.11							
2532	22315S	1395 DOUG THOMPSON		2,420.75							
1	113 08/11/23	Bal Bldg Dept Desk Remodel		1,920.75			10	41510	324		10110
2	118 09/19/23	Bldg Inspector Desk		500.00			10	41510	324		10110
		Total for Vendor:		2,420.75							
2523	22307S	326 GAME TIME		1,333.69							
1	PJ10216798	09/22/23 Wave Climber Replacement		1,333.69			10	41540	733		10110
		Total for Vendor:		1,333.69							
2506	22291S	325 GAMEFACE ATHLETICS		790.23							
1	317370	09/06/23 Sports Equipment		790.23			10	44021	612		10110

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Inv Date/Description	Vendor #/Name/ Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund	Org	Acct	Object	Proj	Cash Account
2530	22316S	325	GAMEFACE ATHLETICS	7,589.15								
1	317215	08/28/23	Rec Staff Uniforms	965.75			10		44022	610		10110
2	317215	08/28/23	Sports Staff Uniforms	1,041.50			10		44021	615		10110
3	317215	08/28/23	Sports Coaches Uniforms	2,963.75			10		44021	615		10110
4	317215	08/28/23	Sports Uniforms	2,468.05			10		44021	615		10110
5	317492	09/13/23	Sports Uniforms	150.10			10		44021	615		10110
			Total for Vendor:	8,379.38								
2505	22292S	331	GEM STATE PAPER & SUPPLY	140.15								
1	3078559	09/13/23	Wasp/Hornet Spray	140.15			10		41540	611		10110
			Total for Vendor:	140.15								
2508	22293S	1344	HORROCKS	45,229.73								
1	79961	09/11/23	SH-44 CE&I Progress Pay App 6	45,229.73			10	500	41510	331		10110
			Total for Vendor:	45,229.73								
2521	22304S	382	IDAHO CENTRAL CREDIT UNION	3,936.37								
1	3994	09/15/23	Qualls	3,936.37			10		41810	611		10110
			Total for Vendor:	3,936.37								
2511	22294S	399	IDAHO PRESS TRIBUNE	398.19								
1	37994	09/12/23	Legal/Pub Notice PH 10/3/23	106.50			10		41510	530		10110
2	38100	09/15/23	Legal/Pub Notice Ord 389-2023	199.83			10		41510	530		10110
3	38099	09/15/23	Legal/Pub Notice PH 10/3/23	91.86			10		41510	530		10110
			Total for Vendor:	398.19								
2509	22295S	1404	JORDEN FOSTER	154.50								
1	09/15/23	Refund Park Facilities Fee		154.50			10		41810	698		10110
			Total for Vendor:	154.50								
2458	22253S	480	JULEE ELLIOTT	2,900.00								
1	2199	07/26/23	Veterans Banners	2,900.00			10		45130	586		10110

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
2510	22296S	480 JULIE ELLIOTT	100.00						
1	2209	09/09/23 Veterans Banners	100.00			10 45130	586		10110
2534	22317S	480 JULIE ELLIOTT	50.00						
1	2211	09/18/23 Veterans Banner	50.00			10 45130	586		10110
		Total for Vendor:	3,050.00						
2417	22308S	515 KIM INGRAHAM	1,113.86						
1	07/01/23	Reimburse Fit N Fall Training	901.38			10 44022	560		10110
2	07/01/23	Reimburse Hotel	212.48			10 44022	560		10110
2524	22308S	515 KIM INGRAHAM	280.59						
1	09/22/23	Reimburse Summer Camps	280.59			10 104 44022	612		10110
		Total for Vendor:	1,394.45						
2512	22297S	1405 MANNING CIVIL, LLC	536.70						
1	1025	07/20/23 City Boat Ramp	536.70			10 703 45110	737		10110
		Total for Vendor:	536.70						
2500	22284S	605 MERIDIAN TROPHY	524.65						
1	M9178474	08/30/23 Trophy Police VS Fire	524.65			10 53 41810	598		10110
		Total for Vendor:	524.65						
2525	22309S	635 MOUNTAIN ALARM	105.00						
1	3913844	10/01/23 Fire Alarm Inspection	15.00			10 41810	344		10110
2	3913844	10/01/23 Backflow Inspection	7.00			10 41810	344		10110
3	3913844	10/01/23 Fire Monitoring	32.50			10 41810	344		10110
4	3913844	10/01/23 Fire Sprinkler Inspection	18.00			10 41810	344		10110
5	3913843	10/01/23 Security Cellular Backup	13.00			10 41810	344		10110
6	3913843	10/01/23 Security Monitoring	19.50			10 41810	344		10110
		Total for Vendor:	105.00						
2513	22298S	642 NAPA AUTO PARTS	129.96						
1	095542	09/15/23 Trailer Ball and Mount	129.96			10 41540	437		10110
		Total for Vendor:	129.96						

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
2528	22310S	1220 NIKNOX PHOTO BOX	703.00						
1	ID 102 09/12/23	Photo Booth Dad/Daughter Dance	703.00			10 103 44022	324		10110
		Total for Vendor:	703.00						
2514	22299S	656 OFFICE SAVERS ONLINE	200.12						
1	9762 08/07/23	Passport desk supplies	96.95			10 41140	400		10110
2	9762 08/07/23	Clerk office supplies	103.17			10 41140	611		10110
2526	22311S	656 OFFICE SAVERS ONLINE	117.98						
1	9933 09/14/23	Copy Paper	117.98			10 41810	611		10110
		Total for Vendor:	318.10						
2543	22318S	1407 PADRES LLC	636.00						
		For Art By the River Event							
1	0002 08/12/23	Breakfast Burritos	636.00			10 615 45130	586		10110
		Total for Vendor:	636.00						
2527	22312S	686 PORTAPROS LLC	1,249.60						
1	128660-1 09/20/23	Chili Cook Off	396.00			10 41810	598		10110
2	128298-1 09/20/23	Art By the River	337.00			10 615 45130	586		10110
3	112049AO-1 09/15/23	River Walk Park	516.60			10 41540	411		10110
		Total for Vendor:	1,249.60						
2542	22319S	1406 RDS DESIGN	543.00						
		For Art By the River Event							
1	202317 08/31/23	Logo Cutting Boards	45.00			10 615 45130	586		10110
2	202316 08/31/23	Logo Wine Glasses	498.00			10 615 45130	586		10110
		Total for Vendor:	543.00						
2545	22327S	721 ROBERT P LITTLE	4,402.50						
1	116186 09/25/23	B&G Contracted Services	4,660.00			10 41540	351		10110
2	Life Insur 09/25/23	Life Insurance	-203.50			10 41540	215		10110
3	Vision Ins 09/25/23	Spousal Vision Insurance	-13.00			10 41540	211		10110
4	Dental Ins 09/25/23	Spousal Dental Insurance	-41.00			10 41540	212		10110
		Total for Vendor:	4,402.50						

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund	Org	Acct	Object	Proj	Cash Account
2499	22285S	727 RON WESTON	113.75								
1	09/11/23	Reimburse Sports Equip	55.49			10		44021	612		10110
2	09/11/23	Reimburse Sports Refs	58.26			10		44021	353		10110
		Total for Vendor:	113.75								
2540	22320S	1238 ROYALTY ELECTRIC LLC	1,069.00								
1	23102-1	08/31/23 Monitors/Cables Bldg Dept	1,069.00			10		41510	610		10110
		Total for Vendor:	1,069.00								
2516	22300S	1279 SPACESAVER INTERMOUNTAIN LLC	14,657.91								
1	119775	07/28/23 Police Evidence Lockers	14,657.91			10	800	45110	741		10110
		Total for Vendor:	14,657.91								
2507	22301S	1184 STAR LIONS CLUB	500.00								
1	09/15/23	Hackers/Slackers Event Sponsor	500.00			10		41810	598		10110
		Total for Vendor:	500.00								
2533	22321S	857 TATES RENTS	145.95								
1	1778654-9	09/21/23 Edger, Gatorline Magnum	145.95			10		41540	442		10110
		Total for Vendor:	145.95								
2535	22322S	1355 THE STAR COURIER NEWSPAPER	439.20								
1	1806	09/22/23 Rec Dept Advertising	292.80			10		44022	530		10110
2	1806	09/22/23 City Advertising	146.40			10		41810	530		10110
		Total for Vendor:	439.20								
2518	22302S	898 TREASURE VALLEY COFFEE	328.23								
2	09689762	09/12/23 Rec Dept Water	20.10			10		44022	611		10110
4	09747214	09/12/23 Bldg Maint Drinks/Pain Relie	148.10			10		41540	611		10110
5	09747203	09/12/23 City Hall Water/Coffee	160.03			10		41810	611		10110
		Total for Vendor:	328.23								
2519	22303S	915 ULINE	2,039.55								
2	165897514	07/12/23 Racks and Shelves	2,039.55			10		41540	435		10110
		Total for Vendor:	2,039.55								

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Inv Date/Description	Vendor #/Name/ Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
2531	22323S	1241 UNIVERSITY OF IDAHO EXTENSION		100.00						
1	09122023	09/12/23 Archery Program		100.00			10 44022	352		10110
		Total for Vendor:		100.00						
2537	22324S	1295 VALLEY OFFICE SYSTEMS		170.49						
1	AR1215325	09/18/23 Monthly Lease - Copier		170.49			10 41810	610		10110
		Total for Vendor:		170.49						
2536	22325S	1308 YOUNG ELEVATOR INC		150.00						
1	238 09/22/23	Service Maintenance		150.00			10 41810	431		10110
		Total for Vendor:		150.00						
2541	22326S	966 ZOOM		40.00						
1	220086865	09/22/23 Cloud Recording		40.00			10 41810	570		10110
		Total for Vendor:		40.00						
		# of Claims		50						
		# of Vendors		44						
		Total:		102,426.89						

** This report runs by Claim Posted Date, which is a system generated field that always shows the date on which the Claim was actually posted in the system. If a Claim was cancelled and re-posted, the posted date will show as of the date it was re-posted. **

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Inv Date/Description	Vendor #/Name/	Document \$/ Line \$	Disc \$	PO #	Fund	Org	Acct	Object	Proj	Cash Account
2550	22328S	4 A & B LOCK AND KEY		46.50								
1	64055	09/21/23 Keys - new and duplicated		46.50			10		41540	431		10110
2627	22395S	4 A & B LOCK AND KEY		63.00								
1	64079	09/26/23 Keys 18 qty		63.00			10		41540	431		10110
		Total for Vendor:		109.50								
2615	22385S	20 ADA COUNTY HIGHWAY DISTRICT		317,863.00								
1	17932	10/04/23 ACHD Impact Fees Sep 2023		317,863.00			10		41510	731		10110
		Total for Vendor:		317,863.00								
2549	22329S	21 ADA COUNTY LANDFILL		824.47								
1	0180	09/20/23 Landfill Fees		16.53			10		41540	411		10110
2	0391	09/20/23 Landfill Fees		27.26			10		41540	411		10110
3	0063	09/22/23 Landfill Fees		304.50			10		41540	411		10110
4	0537	09/25/23 Landfill Fees		21.17			10		41540	411		10110
5	0347	09/25/23 Landfill Fees		24.07			10		41540	411		10110
6	0394	09/26/23 Landfill Fees		55.39			10		41540	411		10110
7	0216	09/26/23 Landfill Fees		46.98			10		41540	411		10110
8	0093	09/26/23 Landfill Fees		38.57			10		41540	411		10110
9	0095	09/26/23 Landfill Fees		36.83			10		41540	411		10110
10	0083	09/27/23 Landfill Fees		44.08			10		41540	411		10110
11	0302	09/27/23 Landfill Fees		49.30			10		41540	411		10110
12	0184	09/27/23 Landfill Fees		55.39			10		41540	411		10110
13	0313	09/28/23 Landfill Fees		22.91			10		41540	411		10110
14	0187	09/28/23 Landfill Fees		35.09			10		41540	411		10110
15	0045	09/29/23 Landfill Fees		46.40			10		41540	411		10110
2626	22396S	21 ADA COUNTY LANDFILL		252.80								
1	2310020305	10/02/23 Landfill Fees		48.96			10		41540	411		10110
2	2310020189	10/02/23 Landfill Fees		117.12			10		41540	411		10110
3	2310020109	10/02/23 Landfill Fees		86.72			10		41540	411		10110
		Total for Vendor:		1,077.27								

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
2630	22397S	72 ARCHIVESOCIAL INC	2,988.00						
		ANNUAL RENEWAL							
1	274209	10/06/23 FY 23/24 RENEWAL	2,988.00			10	41810	570	10110
		Total for Vendor:	2,988.00						
2552	22330S	1199 ARCTIC AIR INC	30.00						
1	09/25/23	Refund - Overpayment on Permit	30.00			10	41510	698	10110
		Total for Vendor:	30.00						
2551	22331S	79 ASSOCIATION OF IDAHO CITIES	534.00						
1	200010671	08/23/23 ICCTFOA Registration Qualls	267.00			10	41810	560	10110
2	200010671	08/23/23 ICCTFOA Registration Conly	267.00			10	41810	560	10110
		Total for Vendor:	534.00						
2553	22365S	1035 BILLS MACHINE SHOP	4,101.31						
1	23-2766	09/13/23 Dump Trailer Hinge Repair	601.31			10	41540	437	10110
2	23-2554	07/13/23 Railing Project	3,500.00			10	45110	741	10110
		Total for Vendor:	4,101.31						
2605	22378S	119 BOISE STATE UNIVERSITY	1,455.00						
		Scholarship Award Funds for Elizabeth Olsen Student ID: 114208121							
1	10/03/23	Scholarship Elizabeth Olsen	1,455.00			10	48520	840	10110
		Total for Vendor:	1,455.00						
2582	22332S	1226 BRAYDEN RILEY	400.00						
1	09/29/23	DJ Daddy Daughter Dance	400.00			10	103 44022	352	10110
		Total for Vendor:	400.00						
2564	22333S	1411 BRYANT IDEAS OF IDAHO	199.50						
1	09/29/23	Banner Fishing Rodeo	199.50			10	58 41810	598	10110
		Total for Vendor:	199.50						

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
2609	22386S	144 BRYANT PRINTS LLC	466.20						
1	0844	09/29/23 Police VS Fire Tee shirts	466.20			10 53 41810	598		10110
		Total for Vendor:	466.20						
2620	22398S	159 CANYON COUNTY CLERK	100.00						
1	Sep 2023	10/03/23 Prosecution Services	100.00			10 42110	322		10110
		Total for Vendor:	100.00						
2604	22379S	1418 CARROLL COLLEGE	1,380.00						
		Scholarship Award Funds for Isabella Fields Student ID: 6182247							
1	10/03/23	Scholarship Isabella Fields	1,380.00			10 48520	840		10110
		Total for Vendor:	1,380.00						
2623	22399S	1261 CARTER COMFORT SYSTEMS	1,939.00						
1	141146	10/02/23 Duct Cleaning Police Dept	1,939.00			10 800 45110	741		10110
		Total for Vendor:	1,939.00						
2616	22391S	1072 CIVIC PLUS	2,790.00						
		For the period of 8/16/22 - 5/15/23							
1	276463	09/15/23 Municode License Renewal	2,790.00			10 41810	751		10110
2636	22400S	1072 CIVIC PLUS	6,590.00						
		For the period of 8/16/23 - 8/15/24							
1	276495	09/15/23 Municode License Renewal	2,790.00			10 41810	751		10110
2	269281	10/01/23 Municode Mtgs Annual Renewal	3,800.00			10 41810	751		10110
		Total for Vendor:	9,380.00						
2639	22401S	204 COMMUNITY PLANNING ASSOCIATION	7,799.00						
		Digital Orthophotography Project							
1	0000069	10/02/23 FY 2024 Annual Membership	7,799.00			10 41810	570		10110
		Total for Vendor:	7,799.00						
2555	22334S	231 DANA PARTRIDGE	2,770.50						
1	09/29/23	Services Sep 15 - Sep 29 2023	2,770.50			10 41140	351		10110
		Total for Vendor:	2,770.50						

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund	Org	Acct	Object	Proj	Cash Account
2573	22335S	1318 DENIELLE REDONDO	308.00			10		44022	352		10110
1	09/29/23	Sept Barre Strength	308.00								
		Total for Vendor:	308.00								
2590	22366S	271 ECI CONTRACTORS	18,063.88			10		41510	454		10110
1	Sep 2023	Electrical Inspections, 60% of Total 10/01/23 Electrical Inspections	18,063.88								
		Total for Vendor:	18,063.88								
2634	22402S	19 EMCR	6,947.00			10		41810	570		10110
1	FY 2024 -	ANNUAL MEMBERSHIP CONTRIBUTION 80124.00 10/02/23 FY 2023 ANNUAL MEMBERSHIP CO	6,947.00								
		Total for Vendor:	6,947.00								
2554	22336S	1409 EPIC SOLUTIONS WORLDWIDE LLC	5,995.10			10		41540	435		10110
1	R-61976	07/25/23 Steel Barricade	5,995.10								
		Total for Vendor:	5,995.10								
2610	22387S	1419 ERICA PETERSON	35.00			10		44021	698		10110
1	10/04/23	Coaching Refund	35.00								
		Total for Vendor:	35.00								
2556	22337S	302 FATBEAM LLC	2,597.50			10		41810	419		10110
1	36449 08/01/23	Fiber Optic Internet Service	2,597.50								
2631	22403S	302 FATBEAM LLC	2,597.50			10		41810	419		10110
1	38117 10/01/23	Fiber Optic Internet Service	2,597.50								
		Total for Vendor:	5,195.00								
2601	22380S	1338 FISHER INC	2,896.00			10	600	45200	351		10110
1	1397 06/30/23	Video Production Services for Historic Committee Meeting	2,496.00								
2	1397 06/30/23	Edit 4 additional Interviews	400.00			10	600	45200	351		10110
		Total for Vendor:	2,896.00								

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund	Org	Acct	Object	Proj	Cash Account
2557	22338S	325 GAMEFACE ATHLETICS	2,138.00								
1	317711	09/28/23 Buildings and Grounds Clothes	1,888.00			10	41540	615			10110
2	317585	09/14/23 Sports Uniforms	250.00			10	44022	352			10110
2606	22381S	325 GAMEFACE ATHLETICS	1,282.30								
1	317562	09/26/23 Staff Polo Shirts	1,282.30			10	41810	699			10110
2622	22404S	325 GAMEFACE ATHLETICS	24,778.00								
1	317326	10/04/23 Inspection Stickers	1,140.00			10	41510	324			10110
2	317380	10/02/23 Battling cages	23,638.00			10	44021	612			10110
		Total for Vendor:	28,198.30								
2632	22405S	331 GEM STATE PAPER & SUPPLY COMPANY	1,235.55								
1	3080406	10/03/23 Cleaning Supplies	1,235.55			10	41540	611			10110
		Total for Vendor:	1,235.55								
2548	22339S	1047 HAND & PAW INC	1,661.67								
1	09/29/23	Donation - Dog Brick Program	1,661.67			10	45130	586			10110
		Total for Vendor:	1,661.67								
2588	22367S	777 HERITAGE LANDSCAPE SUPPLY GROUP	182.59								
1	*5455-001	08/31/23 Blake Park - includes credi	182.59			10	41540	733			10110
		Total for Vendor:	182.59								
2598	22368S	382 IDAHO CENTRAL CREDIT UNION	4,934.33								
1	4825	09/21/23 Chadwick	3,080.10			10	41810	611			10110
2	3463	09/21/23 Qualls	1,296.37			10	41810	611			10110
3	6074	09/21/23 Little	557.86			10	41540	611			10110
		Total for Vendor:	4,934.33								
2640	22406S	1424 IDAHO HUMANE SOCIETY INC	82,225.00								
1	FY24IHSSta	10/01/23 Animal Control Svcs FY2023	82,225.00			10	42150	364			10110
		Total for Vendor:	82,225.00								

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Name/ Vendor #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund	Org	Acct	Object	Proj	Cash Account
2560	22340S	399 IDAHO PRESS TRIBUNE	304.50								
4	38208	09/22/23 Legal/Pub Notice Ord 387-2023	207.15			10		41510	530		10110
5	38367	09/27/23 Legal/Pub Notice Pub Hearing	97.35			10		41510	530		10110
		Total for Vendor:	304.50								
2559	22341S	413 IDAHO TRACTOR INC	1,007.40								
1	PI30868	09/25/23 Kubota New Tires	1,007.40			10		41540	437		10110
		Total for Vendor:	1,007.40								
2617	22392S	1422 IDAHO TRACTOR RENTS INC	948.00								
1	09/29/23	Kubota KX040 Mini Ex	948.00			10		41540	442		10110
		Total for Vendor:	948.00								
2592	22369S	1073 INSPECT LLC	13,662.62								
1	Sep 2023	Monthly Plumbing Inspections, 60% of Total 10/01/23 Plumbing Inspections	13,662.62			10		41510	453		10110
		Total for Vendor:	13,662.62								
2621	22407S	1423 JEANINE ROCK	500.00								
1	10/06/23	Refund River House Deposit	500.00			10		41810	698		10110
		Total for Vendor:	500.00								
2561	22342S	1410 JESSICA DESALLES	80.00								
1	09/22/23	Refund - Parents Night Out	80.00			10		44022	698		10110
		Total for Vendor:	80.00								
2583	22343S	1417 JOHN BOMBEN	400.00								
1	100 09/20/23	Security - Art by the River	400.00			10	99	45130	586		10110
		Total for Vendor:	400.00								
2619	22394S	1404 JORDEN FOSTER	154.50								
1	09/15/23	Re-issuing a check that did not reach its destination. Replacing check 22295 Claim 2509	154.50			10		41810	698		10110
		Total for Vendor:	154.50								

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Inv Date/Description	Vendor #/Name/ Line \$	Document \$/ Disc \$	PO #	Fund	Org	Acct	Object	Proj	Cash Account
2558	22344S	480 JULIE ELLIOTT	60.00								
1	2213	09/27/23 ABTR A Frame Sign Board	60.00			10	99	45130	586		10110
2629	22408S	480 JULIE ELLIOTT	50.00								
1	2215	10/02/23 Veterans Banner	50.00			10		45130	586		10110
		Total for Vendor:	110.00								
2575	22345S	1354 LARA YOUNGMAN	336.00								
1	09/29/23	Mat Pilates Sept	336.00			10		44022	352		10110
		Total for Vendor:	336.00								
2576	22346S	524 LARRY BEARG	476.00								
1	09/29/23	Tai Chi Instruction Sept	476.00			10		44022	352		10110
		Total for Vendor:	476.00								
2580	22347S	1416 LAZY ACRES MINI RANCH	150.00								
1	100	09/26/23 Livestock at Community Event	150.00			10		44022	324		10110
		Total for Vendor:	150.00								
2562	22348S	1327 LONE STAR CHALLENGE COINS LLC	858.00								
1	09/29/23	Challenge Coins 200 qty	858.00			10		48520	840		10110
		Total for Vendor:	858.00								
2635	22409S	1374 MADYSSON JUNGENBERG	1,451.10								
1	09/29/23	Sept Cheer/Teams	1,451.10			10		44022	352		10110
		Total for Vendor:	1,451.10								
2547	22349S	583 MASTERCARD	4,301.44								
1	7969	08/10/23 Qualis USPS Passports	48.25			10		41140	642		10110
2	7969	08/11/23 Qualis USPS Passports	28.95			10		41140	642		10110
3	7969	08/14/23 Qualis USPS Passports	28.95			10		41140	642		10110
4	7969	08/15/23 Qualis Skynova Travel	15.00			10		41810	550		10110
5	7969	08/15/23 Qualis USPS Passports	9.65			10		41140	642		10110
6	7969	08/15/23 Qualis USPS Passports	28.95			10		41140	642		10110
7	7969	08/16/23 Qualis USPS Passports	19.30			10		41140	642		10110
8	7969	08/16/23 Qualis Driver License Guide	31.95			10		41140	400		10110

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Name/ Vendor #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund	Org	Acct	Object	Proj	Cash Account
9	7969	08/17/23	Qualis USPS Passports	28.95		10		41140	642		10110
10	7969	08/18/23	Qualis USPS Passports	19.30		10		41140	642		10110
11	7969	08/21/23	Qualis Remarkable Tablet	2.99		10		41810	610		10110
12	7969	08/21/23	Qualis USPS Passports	28.95		10		41140	642		10110
13	7969	08/22/23	Qualis Remarkable Tablet	2.99		10		41810	610		10110
14	7969	08/22/23	Qualis USPS Passports	19.30		10		41140	642		10110
15	7969	08/23/23	Qualis USPS Passports	9.65		10		41140	642		10110
16	7969	08/23/23	Qualis USPS Passports	19.30		10		41140	642		10110
17	7969	08/24/23	Qualis USPS Passports	9.65		10		41140	642		10110
18	7969	08/25/23	Qualis USPS Passports	9.65		10		41140	642		10110
19	7969	08/28/23	Qualis Signworld Sign Posts	2,230.00		10		45110	741		10110
20	7969	08/28/23	Qualis Staples Supplies	28.48		10		41810	611		10110
21	7969	08/28/23	Qualis USPS Passports	28.95		10		41140	642		10110
22	7969	08/29/23	Qualis USPS Passports	166.34		10		41810	610		10110
23	7969	08/29/23	Qualis Costco Checks	57.50		10		41140	642		10110
24	7969	08/29/23	Qualis USPS Passports	9.65		10		41140	642		10110
25	7969	08/29/23	Qualis USPS Passports	19.30		10		41140	642		10110
26	7969	08/30/23	Qualis USPS Passports	28.75		10		41140	642		10110
27	7969	08/30/23	Qualis USPS Passports	19.30		10		41140	642		10110
28	7969	08/31/23	Qualis USPS Passports	19.30		10		41140	642		10110
29	7969	09/01/23	Qualis Amazon	87.47		10		41810	610		10110
30	7969	09/01/23	Qualis USPS Passports	19.30		10		41140	642		10110
31	7969	09/05/23	Qualis USPS Passports	19.30		10		41140	642		10110
32	7969	09/06/23	Qualis USPS Passports	9.65		10		41140	642		10110
33	7969	09/06/23	Qualis USPS Passports	28.95		10		41140	642		10110
34	7969	09/07/23	Qualis USPS Passports	28.95		10		41140	642		10110
35	7969	09/08/23	Qualis USPS Passports	19.30		10		41140	642		10110
36	7586	08/15/23	Little Home Depot PAB Rings	1,099.92		10		45130	586		10110
Total for Vendor:				4,301.44							

2581	22350S	605 MERIDIAN TROPHY	27.80								10110
1	M3349328	09/25/23 Medal Police VS Fire	27.80			10	53	41810	598		10110
Total for Vendor:			27.80								

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
2638	22410S	1201 MODERN PRINTERS	1,155.00						
1	30410	10/04/23 Business Cards City Staff	1,155.00			10 41810	610		10110
		Total for Vendor:	1,155.00						
2574	22351S	649 NIKI DEAN	735.00						
1	09/29/23	Yoga Instruction Sept	735.00			10 44022	352		10110
		Total for Vendor:	735.00						
2565	22352S	1412 OCONNOR PAINTING LLC	300.00						
		Painting garage doors that were damaged by the City earlier in summer							
1	2946	09/22/23 Paint 2 Garage Doors	300.00			10 41540	434		10110
		Total for Vendor:	300.00						
2613	22388S	1420 PARK POINTE DEVELOPMENT	850,379.04						
1	App 1	10/04/23 Freedom Park App 1	850,379.04			10 708 45110	741		10110
		Total for Vendor:	850,379.04						
2566	22353S	686 PORTAPROS LLC	420.00						
1	121435Q-1	09/28/23 Dog Park	260.00			10 41540	411		10110
2	128029A-1	09/27/23 Dog Park	160.00			10 41540	411		10110
2625	22411S	686 PORTAPROS LLC	595.00						
1	128708-1	10/05/23 River House	199.00			10 41540	411		10110
2	128710-1	10/03/23 Daddy Daughter Dance	396.00			10 103 44022	617		10110
		Total for Vendor:	1,015.00						
2593	22370S	1037 RIMI INC	17,465.69						
1	Sep 2023	10/01/23 Mechanical Inspections	17,465.69			10 41510	455		10110
		Total for Vendor:	17,465.69						
2611	22389S	727 RON WESTON	13.77						
1	10/04/23	Reimburse Sports Equip	13.77			10 44021	612		10110
		Total for Vendor:	13.77						

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Inv Date/Description	Vendor #/Name/ Date	Document \$/ Line \$	Disc \$	PO #	Fund	Org	Acct	Object	Proj	Cash Account
2569	22354S	1238 ROYALTY ELECTRIC LLC		1,278.00			10		41810	741		10110
1	23102-3	09/28/23 Monitors 4 Qty		1,278.00								
2599	22371S	1238 ROYALTY ELECTRIC LLC		25,000.00			10		45110	741		10110
1	23501-1	09/26/23 City Hall Doors		9,000.00		20			45110	741		10110
2	23501-1	09/26/23 Riverhouse Doors		10,000.00		20			45110	741		10110
3	23501-1	09/26/23 Rec Center Doors		6,000.00		20			45110	741		10110
2628	22412S	1238 ROYALTY ELECTRIC LLC		890.00			10		41810	416		10110
1	23088-3	10/06/23 VOIP Phone Service		890.00								
		Total for Vendor:		27,168.00								
2572	22355S	1267 SCOTT'S CARPENTRY		1,400.00			10		45110	741		10110
1	09/29/23	Cabinetry Bldg Dept		1,400.00								
		Total for Vendor:		1,400.00								
2577	22356S	1415 SHELLY SKEWERS		280.00			10		44022	352		10110
1	09/29/23	Intro to Pickleball		280.00								
		Total for Vendor:		280.00								
2585	22357S	772 SHERWIN WILLIAMS		1,197.49			10		41810	741		10110
1	5433-6	09/15/23 Paint City Hall		146.53					41540	435		10110
2	1354-6	09/18/23 Paint Field Marking		1,050.96								
		Total for Vendor:		1,197.49								
2594	22372S	811 STAR FIRE DEPARTMENT		90,826.92			10		41510	734		10110
1	Sep 2023	10/01/23 Star Fire Impact Fees		91,635.92					41510	734		10110
2	prev paid	09/07/23 Credit for canceled permit		-809.00								
		Total for Vendor:		90,826.92								
2618	22393S	812 STAR MERCANTILE INC		136.80			10		41540	611		10110
1	Sep 2023	09/30/23 Supplies		136.80								
		Total for Vendor:		136.80								

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Name/ Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund	Org	Acct	Object	Proj	Cash Account
2614	22390S	1421 STAR SHIP & PRINT	675.00			10		44021	612		10110
1	657	09/25/23 Field Flags	675.00								
		Total for Vendor:	675.00								
2587	22373S	818 STAR STORAGE LLC	330.00			10		41810	699		10110
1	10/01/23	Unit C04 October	175.00			10		41810	699		10110
2	10/01/23	Unit C08 October	155.00			10		41810	699		10110
		Total for Vendor:	330.00								
2608	22382S	820 STAR VETERINARY CLINIC	1,400.00			10		42150	364		10110
1	Contract	10/01/23 Animal Control Svcs Sep 2023	1,400.00			10		42150	364		10110
		Total for Vendor:	1,400.00								
2584	22358S	1197 STEVE CELI	850.00			10	99	45130	586		10110
1	917	09/24/23 Music for Art by the River	850.00			10	99	45130	586		10110
		Total for Vendor:	850.00								
2570	22359S	1414 SUE SPEER	483.65			10		45130	586		10110
1	09/27/23	Reimburse PAB Make Star Shine	483.65			10		45130	586		10110
		Total for Vendor:	483.65								
2602	22383S	1281 SUNBELT RENTALS INC	256.91			10		41540	442		10110
1	*8058-0001	09/29/23 Manlift Rental	256.91			10		41540	442		10110
		Total for Vendor:	256.91								
2595	22374S	857 TATES RENTS	334.88			10		41540	442		10110
1	1781114-9	09/28/23 Stump Grinder	334.88			10		41540	442		10110
		Total for Vendor:	334.88								
2578	22360S	1370 TAYLOR HAMMRICH	1,051.40			10		44022	352		10110
1	09/29/23	Sept Tumbling Instructor	1,051.40			10		44022	352		10110
		Total for Vendor:	1,051.40								

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #/Inv Date/Description	Vendor #/Name/ Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund	Org	Acct	Object	Proj	Cash Account
2596	22375S	862	TERMINIX COMMERCIAL	151.00								
1	438602507	09/30/23	Pest Control - City Hall	151.00			10		41540	434		10110
			Total for Vendor:	151.00								
2568	22361S	1413	TKG PROTECTION SYSTEMS	7,000.00								
1	1219 07/21/23	Rec Building Fire Alarm System		7,000.00			10	850	45110	741		10110
			Total for Vendor:	7,000.00								
2571	22362S	898	TREASURE VALLEY COFFEE	119.43								
2	09797187	09/26/23	City Hall Water/Coffee/FA	119.43			10		41810	611		10110
			Total for Vendor:	119.43								
2586	22363S	1369	VALERIE SCHWERS	280.00								
1	09/29/23	Pickleball Instructor Sept		280.00			10		44022	352		10110
			Total for Vendor:	280.00								
2600	22377S	935	VERIZON WIRELESS	966.08								
1	9943397415	09/01/23	Monthly Cell Phone Charge	966.08			10		41810	416		10110
			Total for Vendor:	966.08								
2579	22364S	1131	VICKI O'KEEFE	2,171.21								
1	09/22/23	Reimburse Art by the River		2,171.21			10	99	45130	586		10110
			Total for Vendor:	2,171.21								
2633	22413S	949	WESTERN RECORDS DESTRUCTION	60.00								
1	0659141	10/01/23	02-64 Gallon City Hall	60.00			10		41810	411		10110
			Total for Vendor:	60.00								
2597	22376S	952	WHITMAN & ASSOC INC	152,545.63								
1	2023-9 10/01/23	Building Inspections - August		152,545.63			10		41510	452		10110
			Total for Vendor:	152,545.63								

* ... Over spent expenditure

Claim/ Line #	Check	Invoice #	Vendor #/Name/ Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund	Org	Acct	Object	Proj	Cash Account
2624	22414S	962	XEROX	213.33								
			Meter Read from 08/21/23 - 09/30/23									
2	019925892	10/05/23	Meter Usage	213.33			10		41810	742		10110
Total for Vendor:				213.33								
2603	22384S	963	YORGASON LAW OFFICES PLLC	3,659.30								
1	Contract	10/01/23	City Attorney Monthly Servic	3,500.00			10		41310	322		10110
2	2023-Sep	10/01/23	City Attorney Additional Svc	159.30			10		41310	322		10110
Total for Vendor:				3,659.30								
# of Claims				87								
# of Vendors				77								
Total:				1699,857.59								

** This report runs by Claim Posted Date, which is a system generated field that always shows the date on which the Claim was actually posted in the system. If a Claim was cancelled and re-posted, the posted date will show as of the date it was re-posted. **



CITY OF STAR
LAND USE STAFF REPORT
MEMO

TO: Mayor & Council

FROM: City of Star – Planning & Zoning *Shen J. Nish*

MEETING DATE: **October 17, 2023 – PUBLIC HEARING**

FILE(S) #: CU-23-01 Conditional Use Permit – Falcon Storage

OWNER/APPLICANT/REPRESENTATIVE

<u>Applicant/Representative:</u> Chris Todd Green Mountain Resources & Planning	<u>Property Owner:</u> M-3 Companies
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REQUEST

Request: The Applicant is seeking approval of a Conditional Use Permit for a storage facility to include traditional private storage options and storage condominiums. The property is located at 8323 W. Moon Valley Road in Star, Idaho. The subject property is generally located on the south side of W. Moon Valley Road at the southeast corner of Moon Valley Road and S. Herons Flight Lane and adjacent to Hwy 16. Ada County Parcel No’s. S0416110105, S0416121100 & S0416110400.

SUMMARY

This application is being tabled to November 21, 2023 to allow additional time for Staff to receive information.



**COOPERATIVE AGREEMENT
FY23, D3 INTERSECTION
IMPROVEMENTS PROJECT NO.
A021(863)
KEY NO. 21863
PERMIT NO. 3-23-416
STAR RD TO CAN/ADA RD,
ADA COUNTY**

PARTIES

This Agreement is made and entered into this _____ day of _____, _____, by and between the **IDAHO TRANSPORTATION BOARD** by and through the **IDAHO TRANSPORTATION DEPARTMENT**, hereafter collectively called the State, and the **CITY OF STAR**, hereafter called the City.

PURPOSE

The City and State wish to construct additional travel lanes on SH-44 between Star Rd (MP 10.55) and Can/Ada Rd (MP 9.55) within the State Highway Right-of-Way. The City has agreed to pay for the cost of this work (referred to herein as the “Project”) using proportionate share funds already collected and retained by the City. The Project will consist of the following: (1) widening SH 44 from three lanes to five lanes including right turn lanes at the major intersections on SH-44 between Star Rd (MP 10.55) and Can/Ada Rd (MP 9.55) within the State Right-of-Way; (2) an urban cross section with curb, gutter, and sidewalk will be constructed on the eastern most 1100 feet of the project just west of Star Road; and (3) drainage facilities that will include seepage beds for the urban section placed under the sidewalk on the south side of the roadway.

This Agreement will provide for the responsibilities of the parties in this

Project. Authority for this Agreement is established by Section 40-317 of the

Idaho Code. It is mutually agreed and understood by the Parties that:

SECTION I That the State will:

1. Review construction plans for the improvements. Once approved, issue right of way encroachment permit(s), at zero (\$0) cost to the City, to complete said work.
2. Perform an inspection of the work upon notification from the City of substantial completion of said work.

3. Pay to the City the sum of twenty-one thousand five hundred dollars (\$21,500) for roadway marking obliteration and restriping of existing SH-44 from approximately N. Mira Ave to the east side of the intersection with Star Rd. in order to have the roadway markings correspond with the improvements being made to the west of Star Rd. (Exhibit A).
4. Pay to the City the sum of sixty thousand seven hundred sixty-two dollars and fifty cents (\$60,762.50) for roadway milling and paving work to correct an existing roadway geometric issue on SH-44, west of S. Highbrook Way (Exhibit B).

SECTION II That the City will:

1. With the exception of the amounts set forth in Section I, pay all costs and expenses related to the Project.
2. Advertise and award a contract in accordance with standard City procurement processes.
3. Administer ALL work in accordance with the ITD right-of-way encroachment permit (Exhibit C) and the plans and specifications (Exhibit D). All work shall be completed by October 30, 2023.
4. Hire a Construction Inspection and Engineering (CE&I) firm to represent the City on the project and ensure all State Standard Specifications for Highway Construction are met on the project.
5. Require all contractors who perform work on this project to include the following provision in its contract with the City:

The Contractor shall indemnify, defend and save harmless the Idaho Transportation Department and the State of Idaho, its officers, agents, and employees, from and against all liability, claims, damages, losses, expenses, actions, disallowances, fines, penalties, attorney fees, and suits whatsoever, including but not limited to injury or death of others or any employee of the Contractor or subcontractor, caused in whole or in part or that arise from the negligent or wrongful acts or omissions of the Contractor, its employees, agents or subcontractors under the Contract or that arise from a failure to comply with any state, federal or local statute, law, act, regulation, or rule. Contractor shall not have any indemnification liability for any damages arising out of the sole negligence or misconduct of the State.

6. Obtain from the Contractor(s) a certificate of insurance wherein the State is named as the additional insured.

7. City agrees to require Contractor(s) to comply with all laws, including the following Required Certifications:

Required Certifications

A. Boycott of Israel. Pursuant to Idaho Code section 67-2346, if payments under the Contract exceed one hundred thousand dollars (\$100,000) and Contractor employs ten (10) or more persons, Contractor certifies that it is not currently engaged in, and will not for the duration of the Contract engage in, a boycott of goods or services from Israel or territories under its control. The terms in this section defined in Idaho Code section 67-2346 shall have the meaning defined therein.

B. Ownership or Operation by China. Pursuant to Idaho Code section 67-2359, Contractor certifies that it is not currently owned or operated by the government of China and will not for the duration of the Contract be owned or operated by the government of China. The terms in this section defined in Idaho Code section 67-2359 shall have the meaning defined therein.

8. At the State's request, the City shall provide evidence of participation in a self-insurance program or retained liability program or certificates of insurance evidencing liability and property coverage, including workers' compensation coverage. If a property claim or damage is not covered by the City's self-insurance or other property coverage, the City shall pay the costs arising from such claim or damage to the extent funds are legally available therefore.
9. Pay ALL invoices, in full, associated with this agreement.
10. Obtain written approval from ACHD for any signal modifications.
11. Obtain written approval from ACHD for the stormwater facilities, without this approval the City accepts all maintenance responsibility.
12. Coordinate with land and business owners for the removal of all on street parking along SH-44 between N. Mira Ave and the east side of the Star Rd. intersection prior to that section of roadway be restriped.
13. Manage all public outreach and construction updates via the City's Public Information Officer (PIO).
14. Upon completion of the work:
- a. Notify the State and provide the opportunity for inspection and acceptance of the completed project by the State; and

- b. Complete and submit “As Constructed” drawings for the completed work. The drawings can be mailed to the District Three Office at PO Box 8028, Boise, ID 83707-2028.

GENERAL

1. No Partnership. This Agreement does not create a partnership between the state of Idaho and another governmental entity and nothing contained herein shall be interpreted to create an employer-employee, master-servant, a joint venture, or principal-agent relationship between any party in any respect.
2. No Third-Party Beneficiaries. This Agreement is for the sole benefit of the parties and no person or entity has any rights under this Agreement as a third party beneficiary.
3. Assignment of Liability. Each party shall be responsible only for the acts, omissions or negligence of its own officers, employees or agents and only to the extent provided by law.
4. Force Majeure. No Party will be liable for failure to perform any duty under this Agreement where such failure is due to unforeseeable causes beyond the Parties’ control and without the fault or negligence of the Parties, including, but not restricted to, acts of God or the public enemy, fire, flood, epidemics, quarantine, strikes or other natural disasters. No Party shall be liable for any failure to perform resulting from any order of any court or state or federal agency.
5. Sufficient Appropriation. It is understood and agreed that the State is a governmental agency, and this Agreement shall in no way be construed so as to bind or obligate the State beyond the term of any particular appropriation of funds by the Federal Government or the State Legislature as may exist from time to time. The State reserves the right to terminate this Agreement if, in its sole judgment, the Federal Government or the legislature of the State of Idaho fails, neglects or refuses to appropriate sufficient funds as may be required for the State to continue payments. Any such termination shall take effect immediately upon notice and be otherwise effective as provided in this Agreement.
6. Entire Agreement. This Agreement constitutes the entire agreement between the Parties and supersedes all prior agreements or understandings between the Parties. No change, modification or waiver of any term of this Agreement shall be valid unless it is in writing and signed by both Parties
7. This Agreement shall become effective on the first date mentioned above and shall remain in full force and effect until terminated as referenced above, or until

amended or replaced upon the mutual consent of the City and the State.

- 8. The parties agree that the State’s obligations on this project are only those set forth in Section I above.

EXECUTION

This Agreement is executed for the State by its District Engineer and executed for the City by its authorized representative.

IDAHO TRANSPORTATION DEPARTMENT

J. Caleb Lakey
 Digitally signed by J. Caleb Lakey
 DN: C=US, E=j.caleb.lakey@itd.idaho.gov, O=Idaho
 Transportation Department, OU=District 3, CN=J.
 Caleb Lakey
 Location: District 3, ITD
 Reason: I am approving this document
 Contact Info: District Administrator
 Date: 2023.10.06 14:54:05-06'00'

District Engineer

CITY OF STAR

Mayor

RESOLUTION

WHEREAS, the Idaho Transportation Department, hereafter called the **STATE**, has submitted an Agreement stating obligations of the **STATE** and the **CITY OF STAR**, hereafter called the **CITY**, for construction of Star Rd to Can/Ada Rd; and

WHEREAS, the **STATE** is responsible for obtaining compliance with laws, standards and procedural policies in the development, construction and maintenance of improvements made to the Federal-aid Highway System when there is federal participation in the costs; and

WHEREAS, certain functions to be performed by the **STATE** involve the expenditure of funds as set forth in the Agreement; and

WHEREAS, The **STATE** can only pay for work associated with the State Highway system; and

WHEREAS, the **CITY** is fully responsible for its share of project costs; and

NOW, THEREFORE, BE IT RESOLVED:

1. That the Agreement for Federal Aid Highway Project A021(863) is hereby approved.
2. That the Mayor and the City Clerk are hereby authorized to execute the Agreement on behalf of the **CITY**.
3. That duly certified copies of the Resolution shall be furnished to the Idaho Transportation Department.

CERTIFICATION

I hereby certify that the above is a true copy of a Resolution passed at a *regular, duly* called special (X-out non-applicable term) meeting of the City Council, City of Star, held on _____, _____.

(Seal)

City Clerk

CAPITAL PAVING COMPANY, INC.

P.O. Box 190810
Boise, ID 83719
P-208-362-9845
F-208-362-5502

Change Order Request

Company	City of Star	CO #	5
Job	SH-44 - Bent Lane to Star Road	Date	6/9/2023
Attention:	Ryan Morgan		

Description of Request

As requested, below is the pricing for restriping SH-44

Item No.	Description of Work	Qty	Unit	Unit Price	Total
1	Remove Existing Solid Pavement Markings	1	LS	\$3,750.00	\$3,750.00
2	Paint 4" Skip Line	1	LS	\$2,500.00	\$2,500.00
3	Traffic Control	1	LS	\$6,500.00	\$6,500.00
4	Traffic Control Plan	1	LS	\$3,750.00	\$3,750.00
5	Mobilization	1	LS	\$5,000.00	\$5,000.00
				Total	\$21,500.00



Right-Of-Way Encroachment Application and Permit Other Encroachments

Section 7, Item A.

Idaho Transportation Department

ITD Permit Application Number _____

Route SH 44 Milepost 9.55 to 10.55

Applicant Information - Print or Type

Applicant(s) Name (Printed) Ryan Morgan, City Engineer		Mailing Address or P.O. Box P.O. Box 130		City Star		State ID	Zip Code 83669
E-Mail Address (if available) rmorgan@staridaho.org			Daytime Phone Number 208-286-7247		Alternate Phone Number 208-440-1534		
Property Owner's Name (Printed) City of Star, ID		Property Address and TAX ID Number 10769 W. State St. Tax Exempt		City (If in city limits) Star		County Ada	
Request Detail (i.e., landscaping, benches, busturnout, etc.) Widening of SH 44 from three lanes to five lanes with right turn lanes at major intersections. An urban section with curb, gutter, and sidewalk will be constructed on the eastern most 1100 feet of the project just west of Star Road. Drainage facilities include seepage beds for the urban section placed under the sidewalk on the south side of the roadway.							

For ITD Use

Project Number From ITD Highway Plan		Date Application Received		Date Application Determined Complete		In City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Route SH 44	Segment 002130	C/L Milepost 9.55-10.55		<input type="checkbox"/> Right <input type="checkbox"/> Left		C/L Highway Station <input type="checkbox"/> Right <input type="checkbox"/> Left	
Site Distance Right Left		Reason if Restricted to Right Or Left					

ITD District Review

Section	Review er	Date	Recommendation Approve: Deny		Section	Review er	Date	Recommendation Approve: Deny	
Design			<input type="checkbox"/>	<input type="checkbox"/>	Property Mgmt			<input type="checkbox"/>	<input type="checkbox"/>
Maintenance			<input type="checkbox"/>	<input type="checkbox"/>	Traffic			<input type="checkbox"/>	<input type="checkbox"/>
Planner			<input type="checkbox"/>	<input type="checkbox"/>	Dist. Engineer			<input type="checkbox"/>	<input type="checkbox"/>
List any conditions of approval									
List reason(s) for denial recommendation									

Attachments

<input checked="" type="checkbox"/> Special Provisions/Conditions of Approval	<input checked="" type="checkbox"/> Construction Drawings
<input checked="" type="checkbox"/> Traffic Control Plan	<input type="checkbox"/> Dept. Roadway Plansheets _____
<input checked="" type="checkbox"/> Standard Drawings	<input type="checkbox"/> Letters of Recommendation/Denial _____

Upon signature of both parties, subject to all terms, conditions, and provisions of this permit or attachments, permission is hereby granted to begin work within the State Highway Right of Way.

Property Owner/Authorized Representative's Signature X	Date	Phone Number
Idaho Transportation Department Authorized Representative's Signature	Title	Date

X

Section 7, Item A.

General Requirements

ITD Permit Application Number

Section 7, Item A.

1. The original permit or a copy must be kept on the job site whenever work is taking place.
2. No work shall commence until the permittee is given notice to proceed by an authorized representative of ITD. The permittee shall notify ITD five (5) working days prior to commencing the permitted work if work does not commence immediately upon notice by ITD.
3. During the progress of all work, traffic control devices shall be erected and maintained as necessary or as directed. All traffic control devices shall conform to the most current edition of the *Manual on Uniform Traffic Control Devices for Streets and Highways*, as adopted by the State. Equipment or materials left within the highway right-of-way when work is not taking place shall be delineated and protected with appropriate approved traffic control devices.
4. All work within the State Highway Right of Way shall comply with the requirements of the ITD Workzone Safety and Mobility Policy. Copies available from ITD upon request.
5. All work herein permitted shall conform to current government and industry standards, including Americans with Disabilities Act, and shall be performed and completed to the satisfaction of ITD. The expense of any required supervision of work performed under this permit shall be borne by the permittee.
6. All utilities shall be installed under culverts.
7. Work done under this permit shall be constructed in a manner that shall not cause water to flow onto the roadway or shoulder, and shall not interfere with the existing drainage on the State Highway System or any adjacent drainage system.
8. The permittee shall furnish all material, labor, and equipment for the installation and maintenance of approved encroachments. This shall include furnishing drainage pipe, curb, gutter, concrete sidewalk, etc., where required.
9. ITD may inspect the materials and workmanship during construction and upon completion to determine that all terms and conditions of the permit are met. Inspectors are authorized to enforce the conditions of the permit during construction and to halt any activities within state right-of-way that do not comply with the provisions of the permit, that conflict with concurrent highway construction or maintenance work, and/or that endanger highway property, natural or cultural resources protected by law, or the health and safety of workers or the public.
10. ITD shall be reimbursed by the permittee for any additional inspection required to insure compliance with the conditions of this permit. Inspection fees will be based upon inspection time including travel from the ITD facility and charged at rates commensurate with industry standards.
11. Upon completion of the permitted work, any disturbance of the highway, right of way, and/or traffic control devices shall be restored to the satisfaction of ITD including the removal of all rubbish and debris and may include seeding, planting and grading.
12. Any encroachment that is found to be in non-compliance with the terms of the approved permit may be required to be modified, relocated, or removed at the sole expense of the permittee upon written notification by the District Engineer or his authorized representative.
13. The permittee shall maintain at its sole expense the encroachment for which this permit is granted.
14. Changes in the use as defined in I.D.A.P.A. 39.03.42, of the permitted access not consistent with the terms and conditions listed on the permit may be considered a violation of the permit. Any modification, relocation, or removal of an encroachment or subject granted by this permit shall require a new permit prior to commencement of such work.
15. ITD may revoke, amend, amplify, or terminate this permit or any of the conditions herein enumerated if the permittee fails to comply with any or all of its provisions, requirements, or regulations as herein set forth or through willful or unreasonable neglect, fails to heed or comply with notices given, or if the approach, structure, or subject herein granted is not installed or operated and maintained in conformity herewith.

Final Inspection and Approval

Subject to all terms, conditions, and provisions of this permit or attachments, **Final Inspection** has been completed and the permitted work within the State Highway Right of Way is hereby given final approval.

District Engineer or Assigns Signature	Date
X	



Instructions For Completing ITD 2111, Right-of-Way Encroachment Application And Permit - Other Encroachments

Section 7, Item A.

Idaho Transportation Department

Note: An incomplete application will delay processing

You may be able to expedite the application process and reduce site designing and engineering costs by requesting a pre-application conference with the Idaho Transportation Department (ITD). Contact your local ITD District Office and ask to speak with the Permits Coordinator to schedule a meeting.

<u>District 1</u>	<u>District 2</u>	<u>District 3</u>	<u>District 4</u>	<u>District 5</u>	<u>District 6</u>
600 W. Prairie Ave. Coeur d'Alene, Idaho 83815-8764 (208) 772-1200	P.O. Box 837 Lewiston, Idaho 83501-0837 208) 799-4300	8150 Chinden Blvd. Boise, Idaho 83714-8028 (208) 334-8300	216 S. Date St. Shoshone, Idaho 83352-0820 (208) 886-7800	5151 S. 5th Ave. Pocatello, Idaho 83205-4700 (208) 239-3300	206 N. Yellowstone Ave. Rigby, Idaho 83442-0097 (208) 745-7781
Counties served: Benewah, Bonner, Boundary, Kootenai, Shoshone	Counties served: Clearwater, Idaho, Latah, Lewis, Nez Perce	Counties served: Ada, Adams, Boise, Canyon, Elmore, Gem, Owyhee, Payette, Valley, Washington	Counties served: Blaine, Camas, Cassia, Custer, Gooding, Jerome, Lincoln, Minidoka, Twin Falls	Counties served: Bannock, Bear Lake, Bingham, Caribou, Franklin, Oneida, Power	Counties served: Bonneville, Butte, Clark, Custer, Fremont, Jefferson, Lemhi, Madison, Teton

1. The form initially serves as an **application**. If approved, the completed and signed form becomes a **permit** for the encroachment.
2. Please print (in ink), type, or complete the application in Microsoft Word and print the form.
3. Read and understand these instructions and all of the General Requirements on the form. These requirements apply to all permits and if you are granted a permit, you must adhere to each of them. Additional permit-specific provisions may be a part of any approved permit.
4. Complete each item in the shaded box titled "Applicant Information."
5. Include the following with your application:
 - a. \$50 non-refundable application fee.
 - b. Photographs of the proposed encroachment location, including one looking each direction along the highway from the proposed location. Digital photographs are acceptable.
 - c. Include:
 - i. A drawing or map that shows the location of your property in relation to other roads and/or landmarks.
 - ii. A drawing, such as a landscaping plan or detail of a turnout location. Show the requested encroachment in relation to property lines, the highway, existing buildings, etc. Show dimensions, mark which direction is north and if possible, draw to scale.
6. After your application is received:
 - a. ITD will review the application, all access options, local conditions, and local government plans. The application will then be discussed internally with staff. Your request may be approved, approved with conditions, or denied.
 - b. If your application is approved or approved with conditions, you will receive your permit from ITD accompanied by any additional special provisions that must be adhered to.
 - i. All work under the permit shall be completed within one year from the date that the Department issues the permit to begin work. You may request, in writing, one, 6 month extension prior to expiration of the permit.
 - ii. All permitted work shall be completed and available for final inspection within thirty (30) days after construction begins, unless otherwise stated in the special provisions of the permit.
 - iii. After construction is completed you must notify the ITD Maintenance Foreman for final inspection of the permitted work. The contact information for the foreman will be included in your permit package.
 - iv. Permit will be considered temporary until final approval by the ITD.
 - v. Failure to complete all work in accordance with the requirements of the permit and receive final approval within the allotted time will render the permit null and void.
 - c. If your application is denied, you will be notified by certified mail. The reason(s) for the denial and the process for appealing the denial will be outlined in the letter you receive.

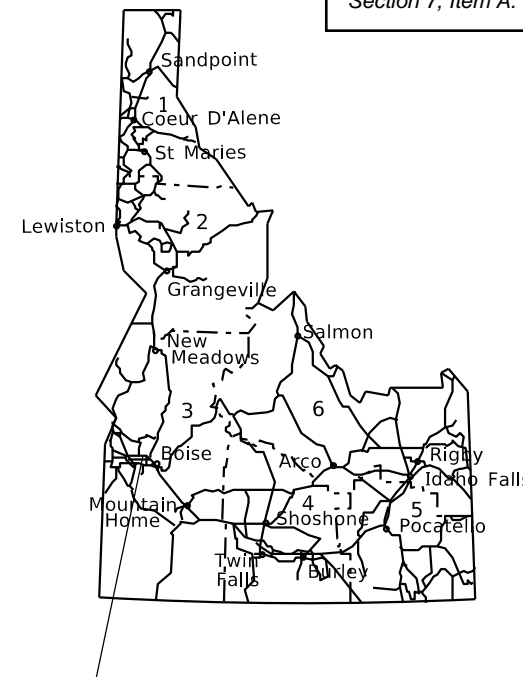
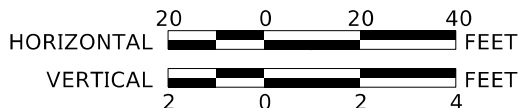
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SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	PROJECT KEYMAP
3-5	TYPICAL SECTIONS
6-18	PLAN SHEETS
18-21	PROFILE SHEETS
22-23	DRAINAGE PLAN SHEETS
24	DRAINAGE DETAIL
25-26	APPROACH PLAN SHEETS
27	APPROACH DETAILS
28-48	SIGNING, PAV MARKINGS, & SIGNALS
49-51	TEMPORARY TRAFFIC CONTROL
52-62	UTILITY PLAN SHEETS
63	MONUMENT PRESERVATION

IDAHO TRANSPORTATION DEPARTMENT

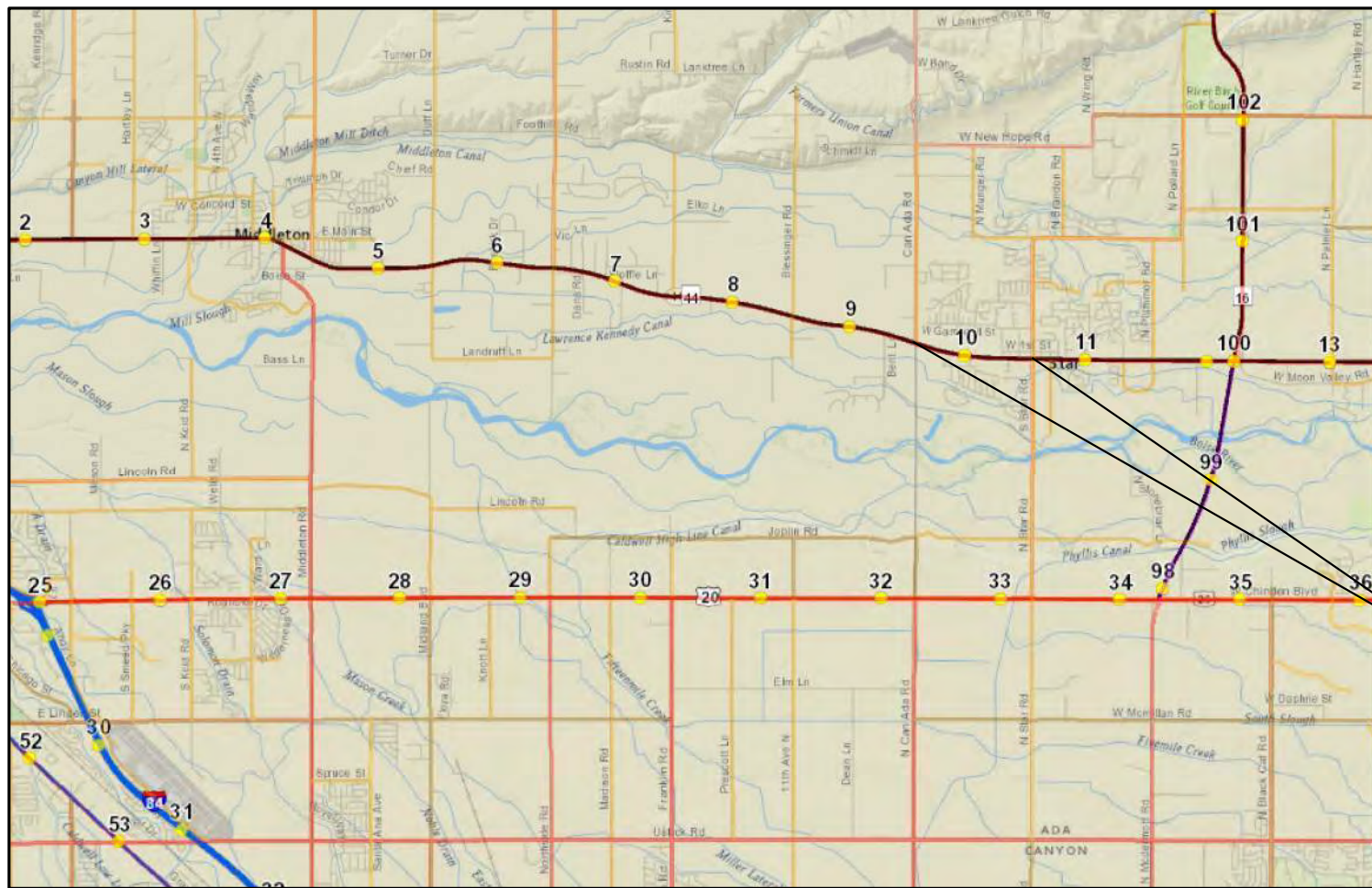
PLAN AND PROFILE OF PROPOSED SH-44 CAN ADA RD TO STAR RD

CITY OF STAR ADA COUNTY

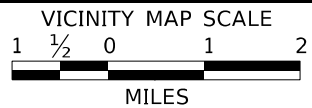
JULY 2022



SH-44
CAN ADA RD TO STAR RD
STAR
M.P. 9.55 TO M.P. 10.55



SH-44
CAN ADA RD TO STAR RD
STAR
M.P. 9.55 TO M.P. 10.55



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REVISIONS			
NO.	DATE	BY	DESCRIPTION

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CITY OF STAR, ID

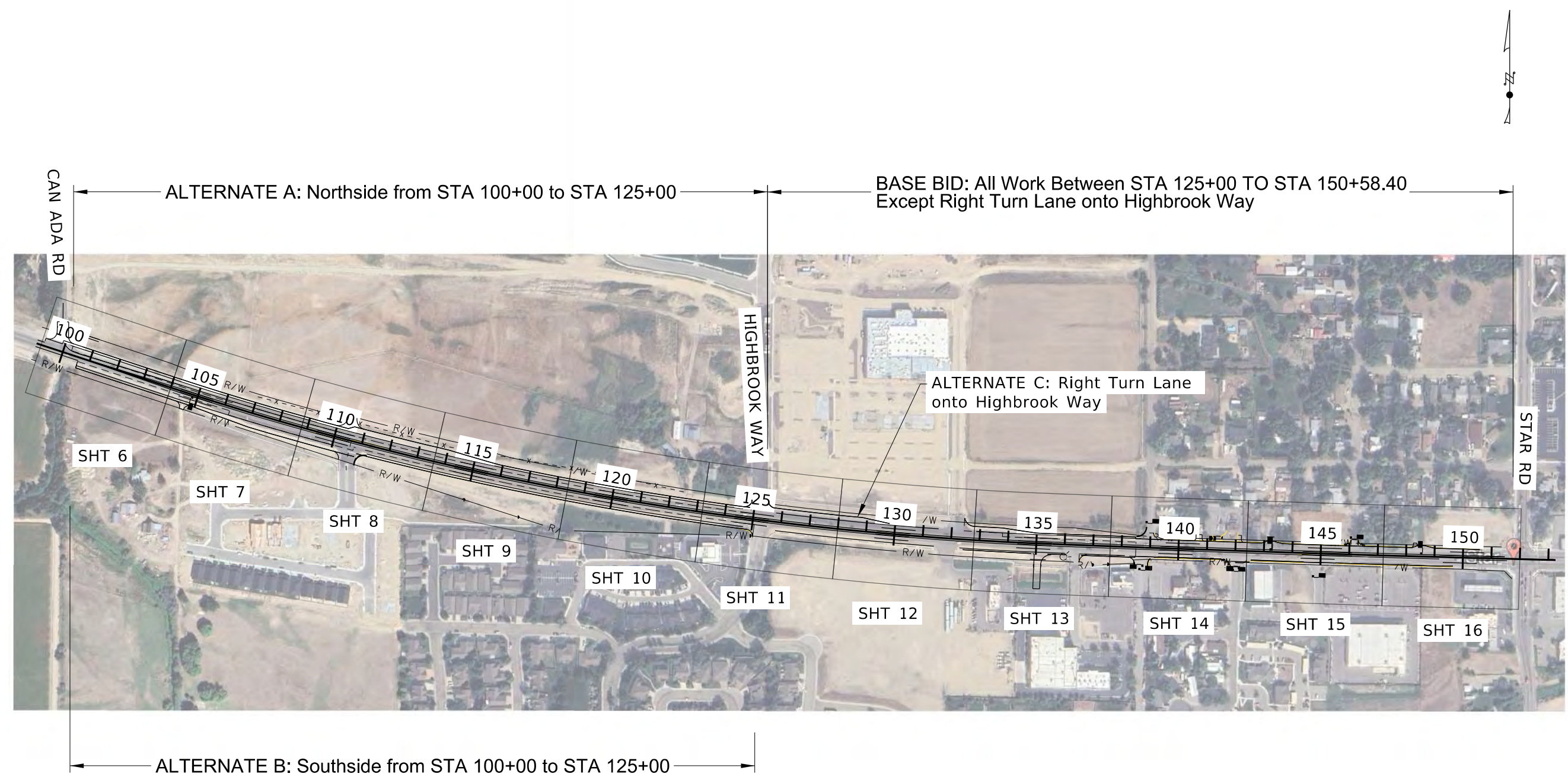
KELLER ASSOCIATES

PROJECT NO.
203010-464

TITLE SHEET
SH-44
CAN ADA RD TO STAR RD

ENGLISH
COUNTY
ADA COUNTY
KA NUMBER
203010-464
SHEET 1 OF 63

Approved for Advertising
Date Approved 118



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REVISIONS			
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DETAILED C. KOON	
DRAWING CHECKED D. CARNAHAN	

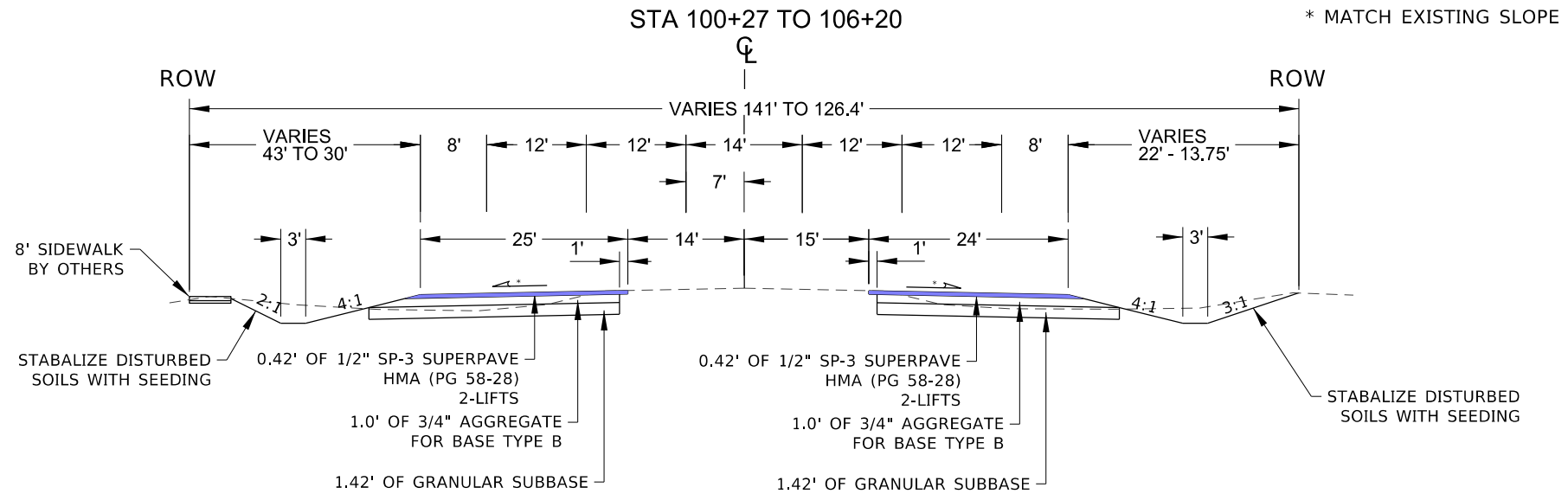
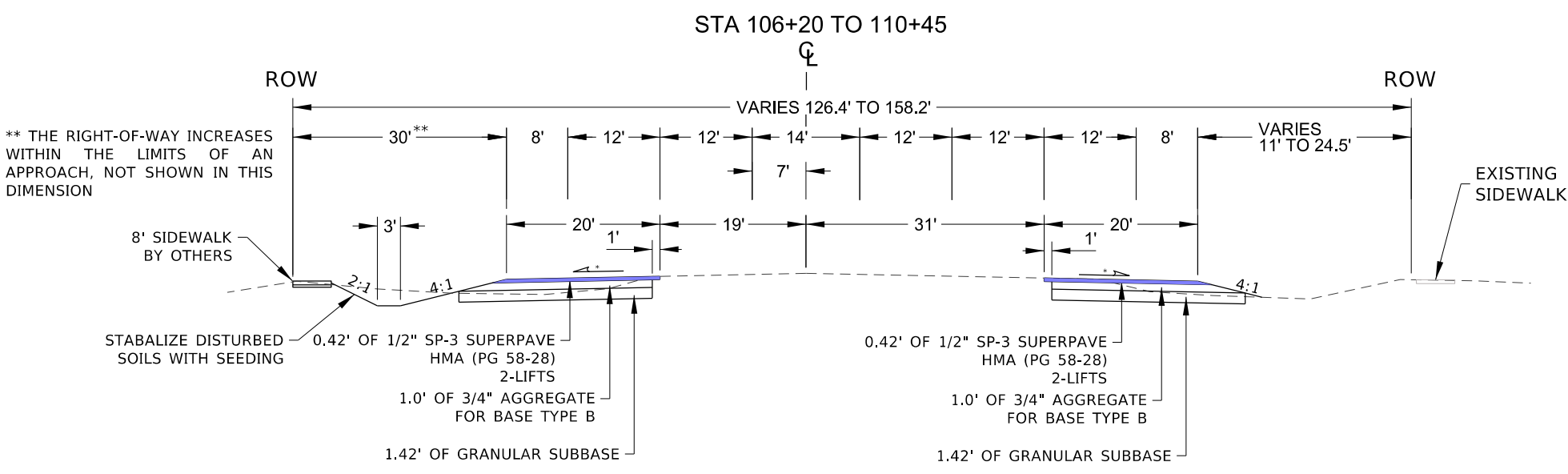
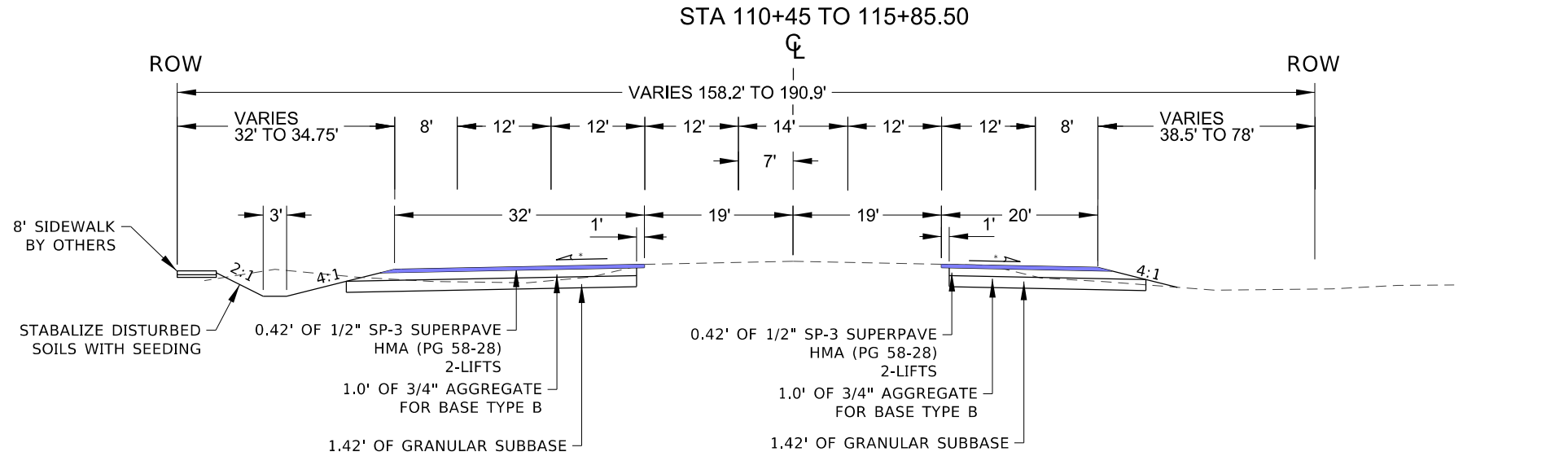
CITY OF STAR, ID

KELLER ASSOCIATES

PROJECT NO.	PROJECT KEYMAP
	SH-44 CAN ADA RD TO STAR RD

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER
SHEET 2 OF 63

PROFESSIONAL ENGINEER
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10/28/2022
STATE OF IDAHO
CLIFTON KOOP
119



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DETAILED	C. KOON	
DRAWING CHECKED	D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO.

TYPICAL SECTION


SH-44
CAN ADA RD TO STAR RD

ENGLISH

COUNTY
ADA COUNTY

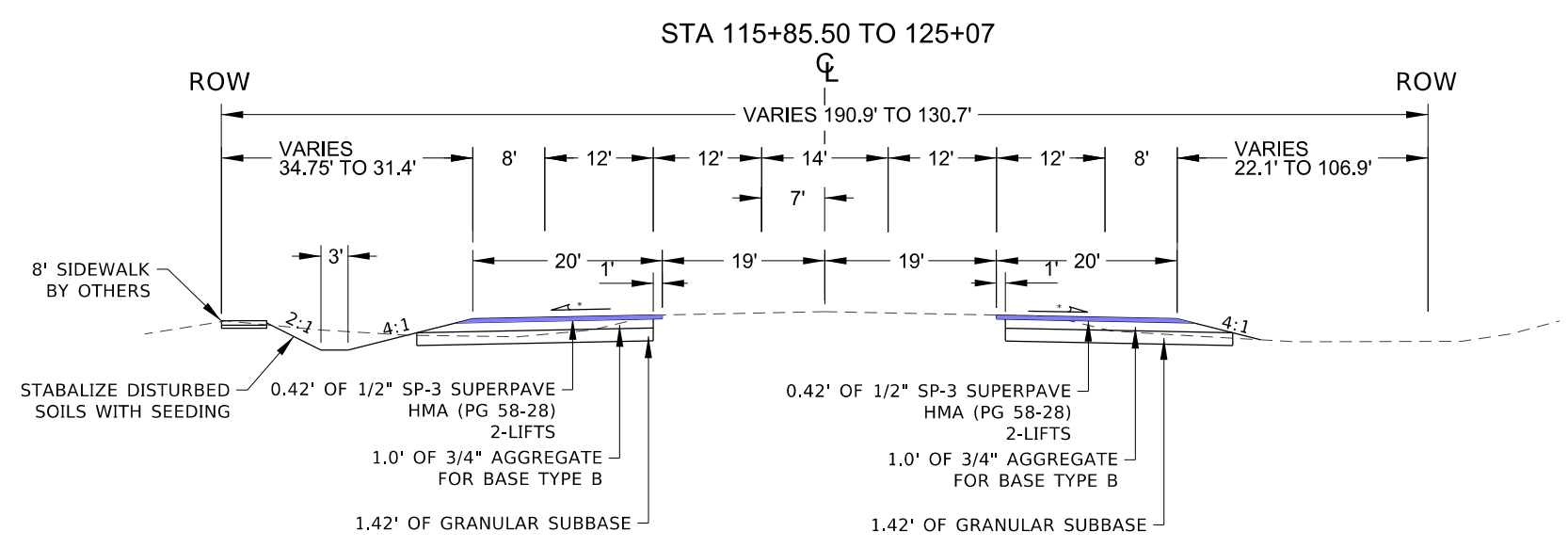
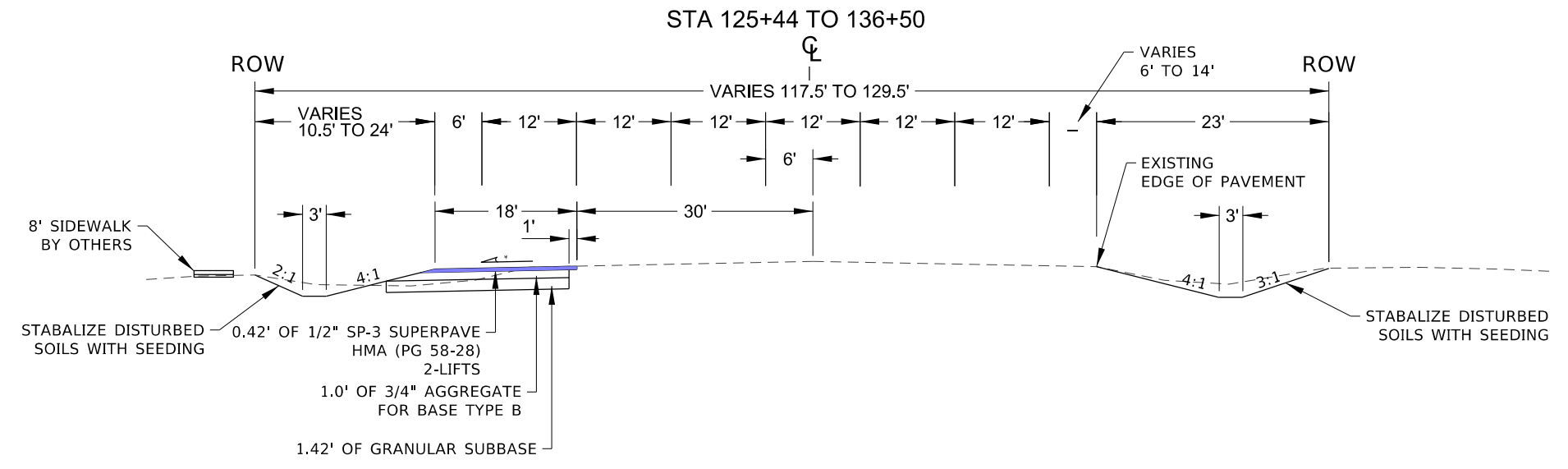
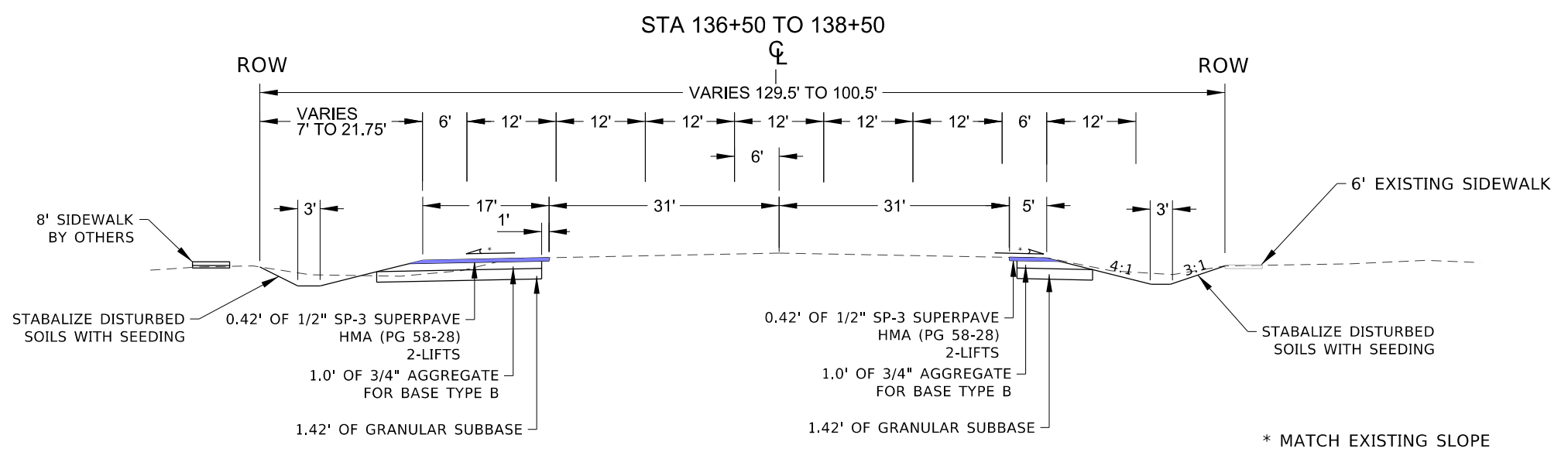
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SHEET 3 OF 63



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REVISIONS			
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DETAILED	C. KOON	
DRAWING CHECKED	D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO.

TYPICAL SECTION

SH-44
CAN ADA RD TO STAR RD

ENGLISH

COUNTY
ADA COUNTY

KEY NUMBER
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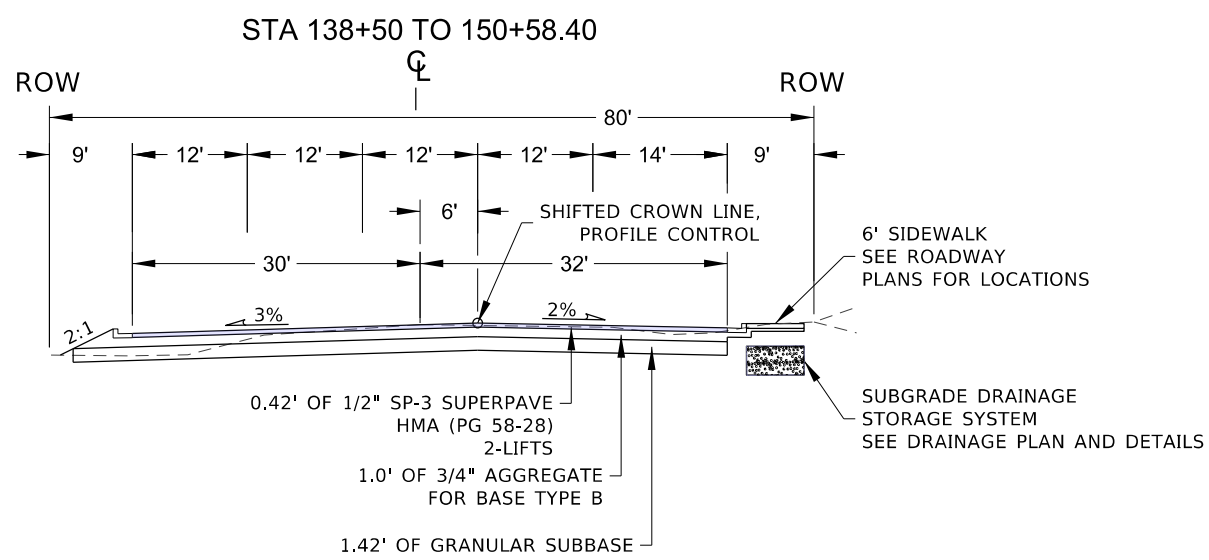
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CITY OF STAR, ID



KELLER ASSOCIATES

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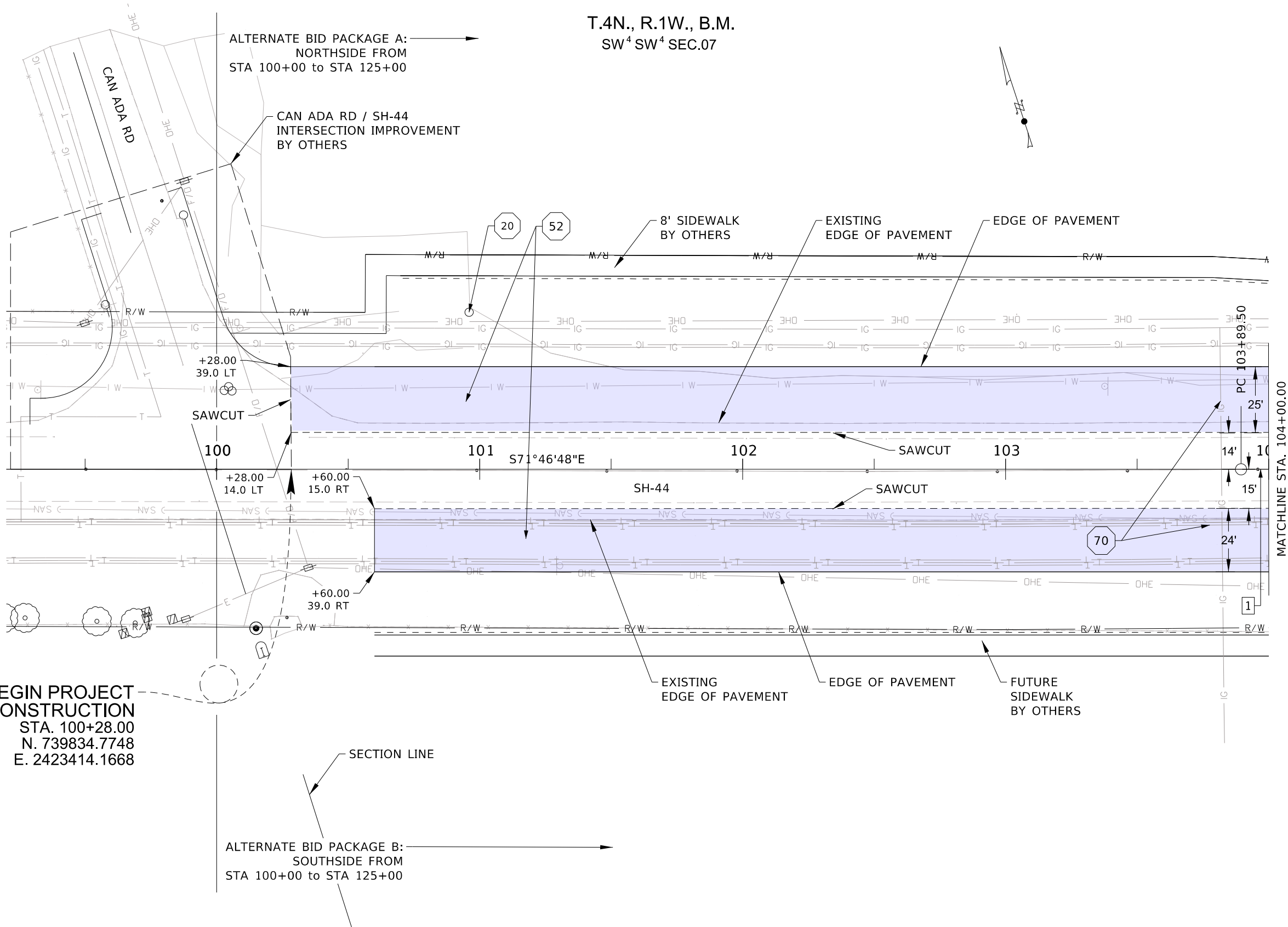
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SH-44 CAN ADA RD TO STAR RD

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 5 OF 63



PROFESSIONAL ENGINEER
CLIFTON KOC
17544
10/28/2022
STATE OF IDAHO
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BEGIN PROJECT & CONSTRUCTION
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- GENERAL SHEET NOTES**
1. PRIOR TO CONSTRUCTION TO POTHOLE, IN MANNER, EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH. WHERE EXISTING UTILITIES WILL BE ENCOUNTERED IT'S RECOMMENDED THAT THE CONTRACTOR HAND DIG OR VACUUM TRUCK EXCAVATE FOR MATERIAL EXCAVATION IN THESE AREAS.
 2. AREAS DISTURBED BY CONSTRUCTION WHERE SURFACE REPAIR IS NOT INDICATED SHALL BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN PRIOR TO CONSTRUCTION.
 3. FURNISH MATERIALS WHERE INSTALL, PLACE, RELOCATE OR CONSTRUCT IS REQUIRED; UNLESS NOTED OTHERWISE.
 4. CONTRACTOR TO DISPOSE OF ALL DEMOLISHED MATERIALS IN OFFSITE LOCATION IN ACCORDANCE WITH STATE AND LOCAL LAWS.
 5. CONTRACTOR RESPONSIBLE TO CLEAR AND GRUB SITE AS NEEDED FOR COMPLETION OF WORK. REMOVE AND DISPOSE OF EXCESS SPOILS OFFSITE IN ACCORDANCE WITH LOCAL AND STATE LAWS/REQUIREMENTS.

- SHEET KEYNOTES**
- 20 ADJUST WATER VALVES COVER TO GRADE
 - 52 CONSTRUCT ROADWAY SECTION; RE: TYPICAL SECTION
 - 70 RETAIN AND PROTECT EXISTING UTILITIES

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L = 1888.94
R = 11000.00
N = 739425.782
E = 2424656.669

LEGEND
LIMITS OF NEW PAVEMENT

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED C. KOON
DESIGN CHECKED E. HULSLANDER
DETAILED C. KOON
DRAWING CHECKED D. CARNAHAN

SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
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CITY OF STAR, ID

KELLER ASSOCIATES

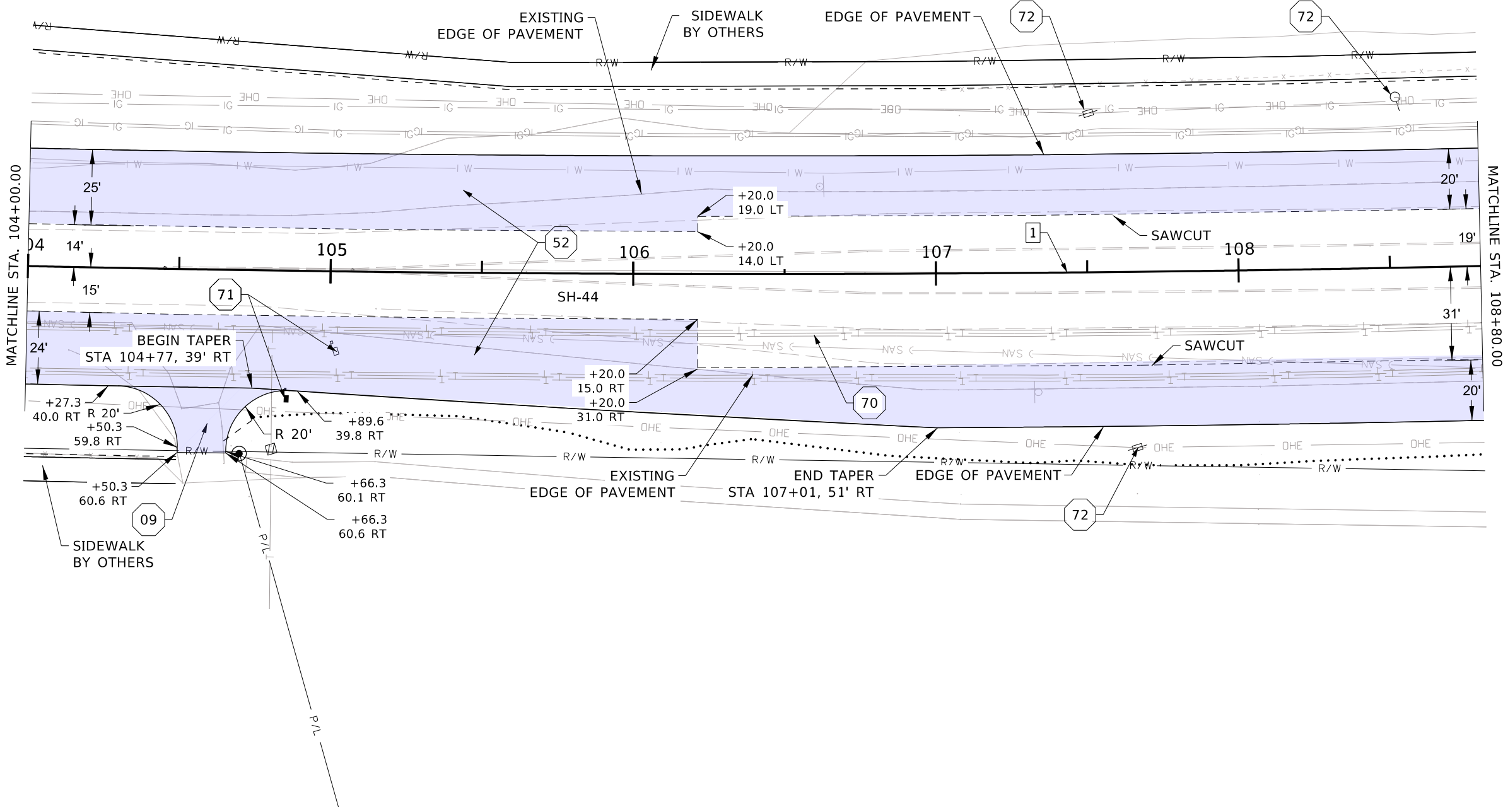
PROJECT NO.
203010-464

PLAN SHEET
SH-44
CAN ADA RD TO STAR RD
ALTERNATES A & B

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 1 OF 1

PROFESSIONAL ENGINEER
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17544
10/28/2022
STATE OF IDAHO
CLIFTON KOC
123

T.4N., R.1W., B.M.
SW⁴ SW⁴ SEC.07



GENERAL SHEET NOTES

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Section 7, Item A.

SHEET KEYNOTES

- 09 CONSTRUCT RURAL APPROACH; RE: ITD SPECS SEC. 405, SD 405-1
- 52 CONSTRUCT ROADWAY SECTION; RE: TYPICAL SECTION
- 70 RETAIN AND PROTECT EXISTING UTILITIES
- 71 REMOVE AND RESET MAILBOX
- 72 UTILITIES TO BE RELOCATED BY OTHERS

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LEGEND
LIMITS OF NEW PAVEMENT

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DETAILED	C. KOON	
DRAWING CHECKED	D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

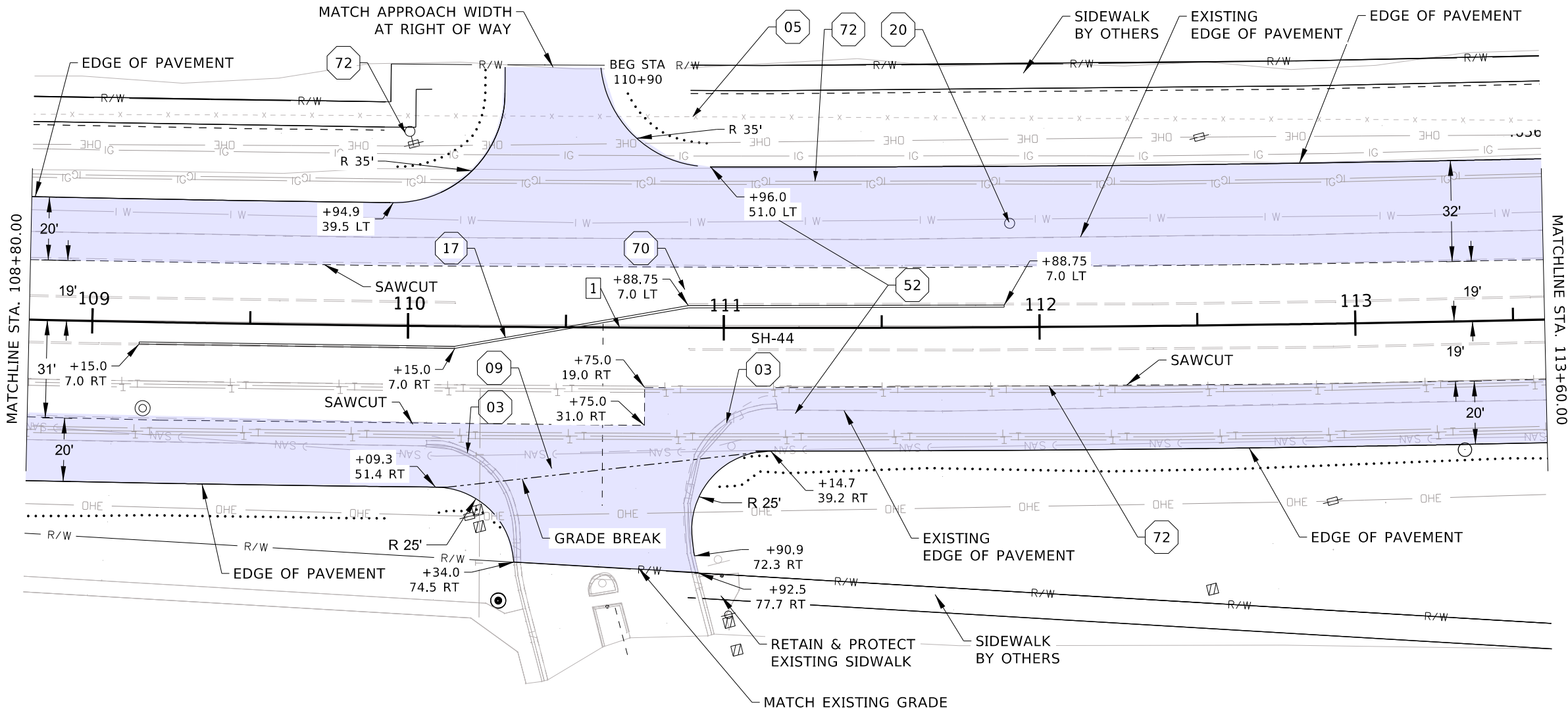
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203010-464

PLAN SHEET
SH-44
CAN ADA RD TO STAR RD
ALTERNATES A & B

ENGLISH
COUNTY
ADA COUNTY
KEY NUMBER
203010-464
SHEET 7 OF 63

PROFESSIONAL ENGINEER
REGISTERED
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17544
10/28/2022
STATE OF IDAHO
CLIFTON KOC
124

T.4N., R.1W., B.M.
SW⁴ SW⁴ SEC.07



GENERAL SHEET NOTES

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Section 7, Item A.

SHEET KEYNOTES

- 03 REMOVE CURB, GUTTER, AND OR SIDEWALK WITHIN NEW CONSTRUCTION LIMITS
- 05 REMOVE FENCE; RE: ITD SPECS SEC. 203
- 09 CONSTRUCT RURAL APPROACH; RE: ITD SPECS SEC. 405, SD 405-1
- 17 CONSTRUCT TRAFFIC SEPARATOR; RE: ITD SPECS SEC. 615, SD 615-1
- 20 ADJUST WATER VALVES COVER TO GRADE
- 52 CONSTRUCT ROADWAY SECTION; RE: TYPICAL SECTION
- 70 RETAIN AND PROTECT EXISTING UTILITIES
- 72 UTILITIES TO BE RELOCATED BY OTHERS

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LIMITS OF NEW PAVEMENT

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REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED	C. KOON
DESIGN CHECKED	E. HULSLANDER
DETAILED	C. KOON
DRAWING CHECKED	D. CARNAHAN

SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
CADD FILE NAME 03010-464, plan 00.dgn
DRAWING DATE: AUG 2022

CITY OF STAR, ID



KELLER ASSOCIATES

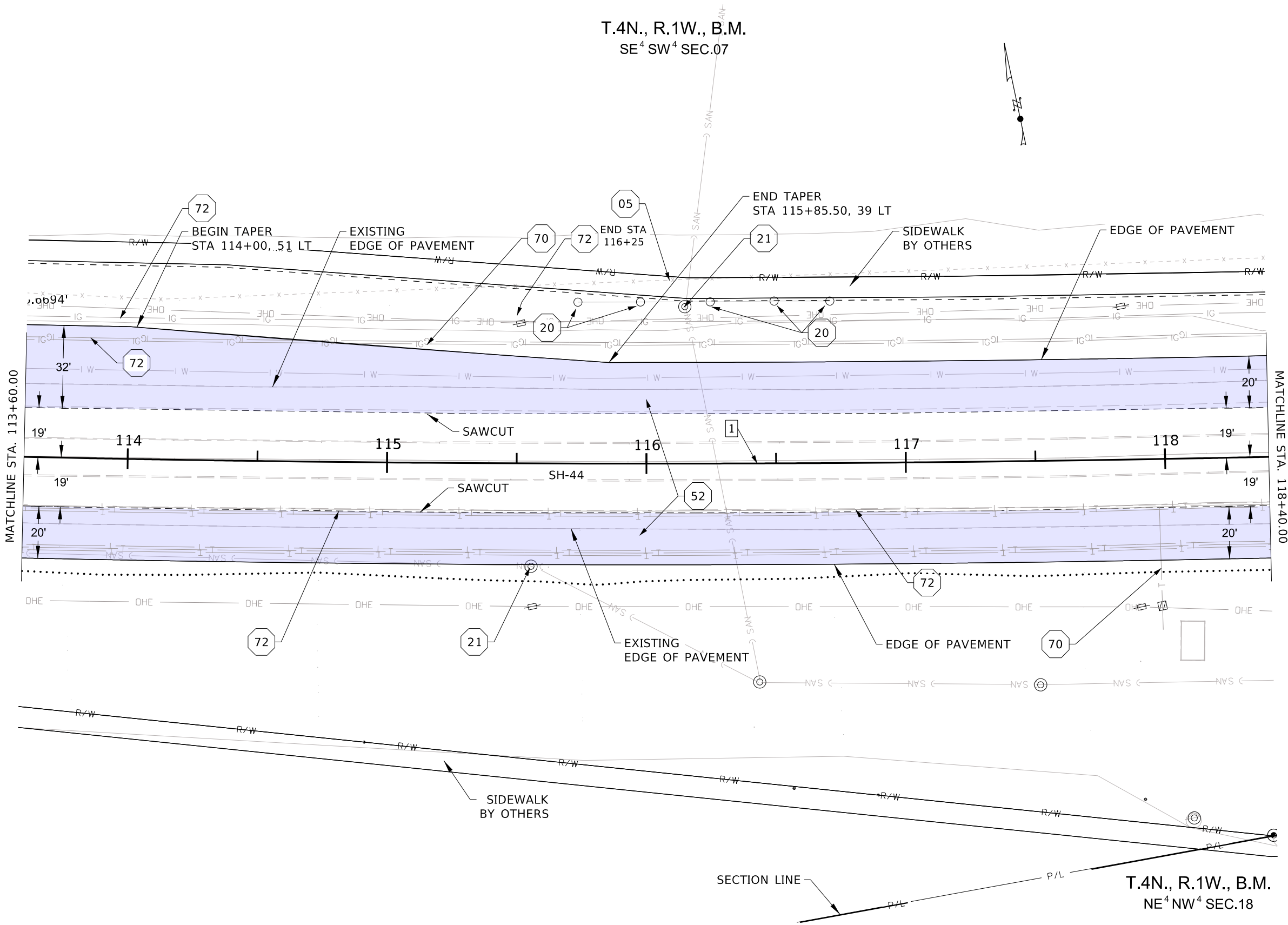
PROJECT NO.
203010-464

PLAN SHEET
SH-44
CAN ADA RD TO STAR RD
ALTERNATES A & B

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 8 OF 63

PROFESSIONAL ENGINEER
REGISTERED
B273EB73AC7D47A...
17544
10/28/2022
STATE OF IDAHO
CLIFTON KOC 125

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GENERAL SHEET NOTES

1. PRIOR TO CONSTRUCTION TO POTHOLE, IN MANNER, EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH. WHERE EXISTING UTILITIES WILL BE ENCOUNTERED IT'S RECOMMENDED THAT THE CONTRACTOR HAND DIG OR VACUUM TRUCK EXCAVATE FOR MATERIAL EXCAVATION IN THESE AREAS.
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5. CONTRACTOR RESPONSIBLE TO CLEAR AND GRUB SITE AS NEEDED FOR COMPLETION OF WORK. REMOVE AND DISPOSE OF EXCESS SPOILS OFFSITE IN ACCORDANCE WITH LOCAL AND STATE LAWS/REQUIREMENTS.

Section 7, Item A.

SHEET KEYNOTES

- 05 REMOVE FENCE; RE: ITD SPECS SEC. 203
- 20 ADJUST WATER VALVES COVER TO GRADE
- 21 ADJUST MANHOLE COVER TO GRADE
- 52 CONSTRUCT ROADWAY SECTION; RE: TYPICAL SECTION
- 70 RETAIN AND PROTECT EXISTING UTILITIES
- 72 UTILITIES TO BE RELOCATED BY OTHERS

CV. NO. 1
D = 0°31'16"
Δ = 9°50'20" LEFT
T = 946.80
L = 1888.94
R = 11000.00
N = 739425.782
P.I. E = 2424656.669

LEGEND
LIMITS OF NEW PAVEMENT

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED	C. KOON
DESIGN CHECKED	E. HULSLANDER
DETAILED	C. KOON
DRAWING CHECKED	D. CARNAHAN

SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
CADD FILE NAME 03010-464_plan_00.dgn
DRAWING DATE: AUG 2022

CITY OF STAR, ID



KELLER ASSOCIATES

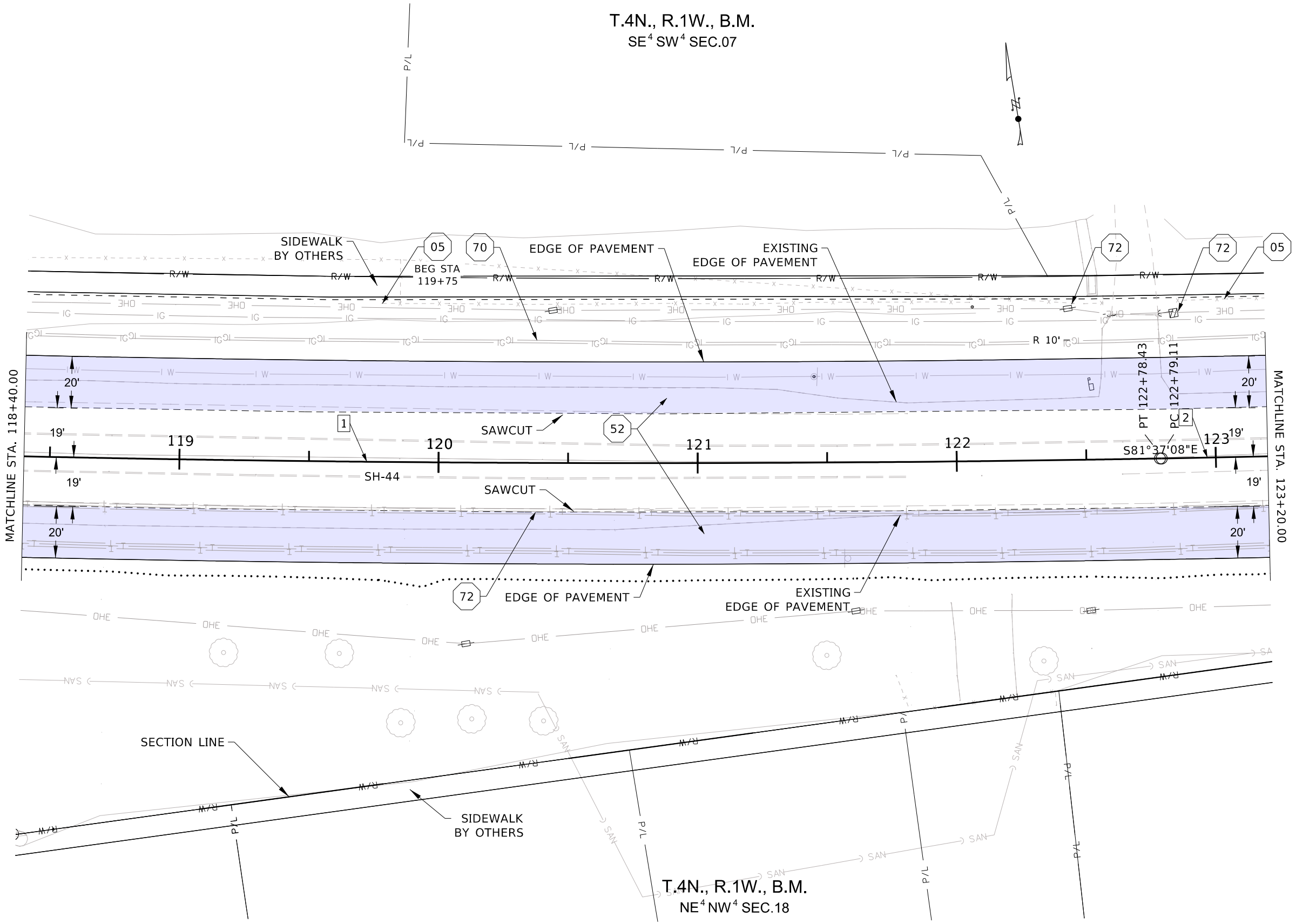
PROJECT NO.
203010-464

PLAN SHEET
SH-44
CAN ADA RD TO STAR RD
ALTERNATES A & B

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 9 OF 63

PROFESSIONAL ENGINEER
REGISTERED
B273EB73AC7D47A...
17544
10/28/2022
STATE OF IDAHO
CLIFTON KOC 126

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GENERAL SHEET NOTES

1. PRIOR TO CONSTRUCTION TO POTHOLE, IN MANNER, EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH. WHERE EXISTING UTILITIES WILL BE ENCOUNTERED IT'S RECOMMENDED THAT THE CONTRACTOR HAND DIG OR VACUUM TRUCK EXCAVATE FOR MATERIAL EXCAVATION IN THESE AREAS.
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Section 7, Item A.

SHEET KEYNOTES

- 05 REMOVE FENCE; RE: ITD SPECS SEC. 203
- 52 CONSTRUCT ROADWAY SECTION; RE: TYPICAL SECTION
- 70 RETAIN AND PROTECT EXISTING UTILITIES
- 72 UTILITIES TO BE RELOCATED BY OTHERS

CV. NO. [1]
D = 0°31'16"
Δ = 9°50'20" LEFT
T = 946.80
L = 1888.94
R = 11000.00
N = 739425.782
E = 2424656.669

CV. NO. [2]
D = 0°29'10"
Δ = 6°12'39" LEFT
T = 639.10
L = 1276.95
R = 11780.00
N = 7391947.532
E = 2426226.293

LEGEND

LIMITS OF NEW PAVEMENT

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED	C. KOON
DESIGN CHECKED	E. HULSLANDER
DETAILED	C. KOON
DRAWING CHECKED	D. CARNAHAN

SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
CADD FILE NAME 03010-464_plan_00.dgn
DRAWING DATE: AUG 2022

CITY OF STAR, ID



KELLER ASSOCIATES

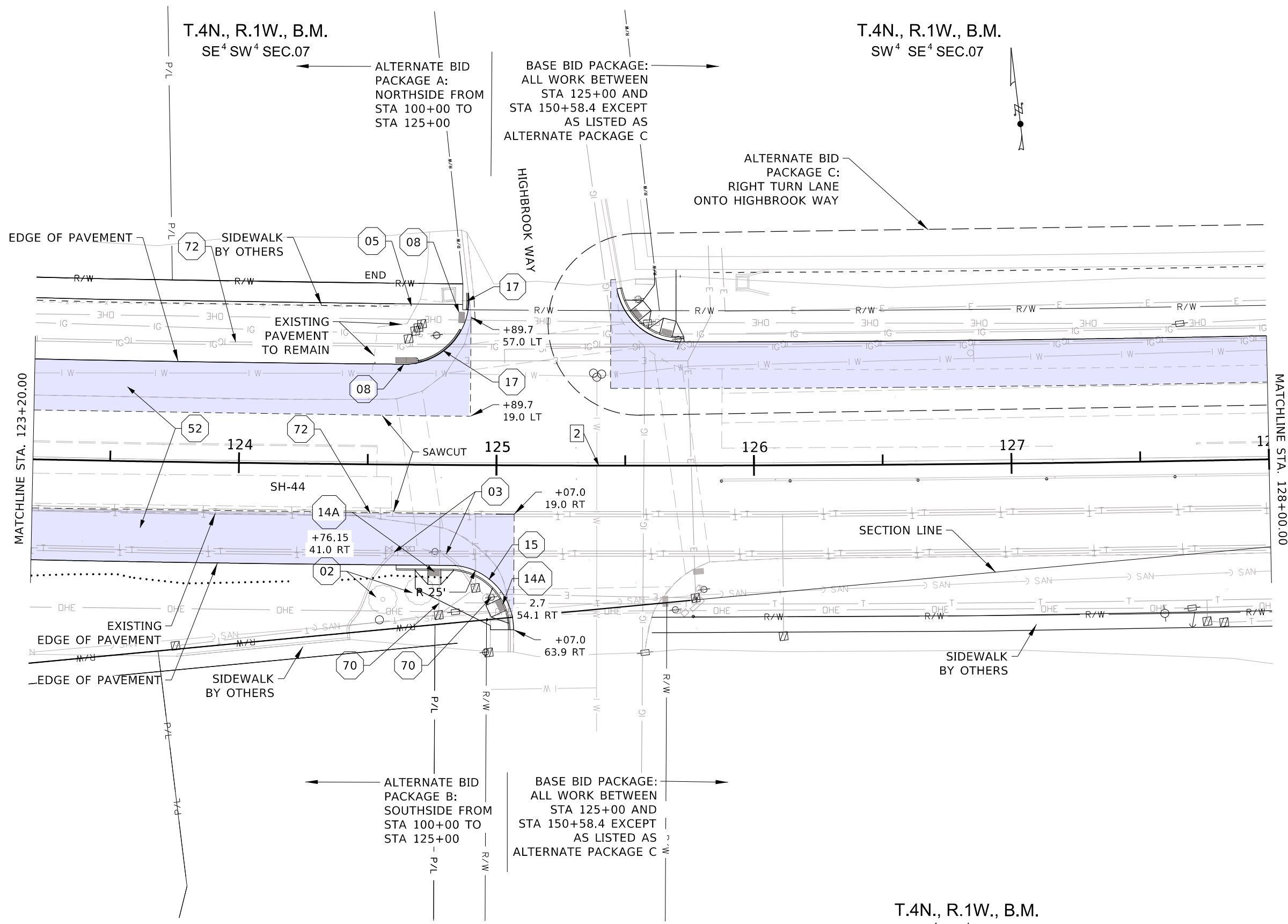
PROJECT NO.
203010-464

PLAN SHEET
SH-44
CAN ADA RD TO STAR RD
ALTERNATES A & B

ENGLISH
COUNTY
ADA COUNTY
KEY NUMBER
203010-464
SHEET 10 OF 63

PROFESSIONAL ENGINEER
REGISTERED
B273EB73AC7D47A...
17544
10/28/2022
STATE OF IDAHO
CLIFTON KOC 127

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GENERAL SHEET NOTES

1. PRIOR TO CONSTRUCTION TO POTHOLE, IN MANNER, EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH. WHERE EXISTING UTILITIES WILL BE ENCOUNTERED IT'S RECOMMENDED THAT THE CONTRACTOR HAND DIG OR VACUUM TRUCK EXCAVATE FOR MATERIAL EXCAVATION IN THESE AREAS.
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Section 7, Item A.

SHEET KEYNOTES

- 02 REMOVE TREE, INCLUDING STUMP; RE: ITD SPECS SEC. 202
- 03 REMOVE CURB, GUTTER, AND OR SIDEWALK WITHIN NEW CONSTRUCTION LIMITS
- 05 REMOVE FENCE; RE: ITD SPECS SEC. 203
- 08 CONSTRUCT DETECTABLE WARNING SURFACE; RE: ITD SPECS SEC. 614, SD 614-3, CONSTRUCT 5" CONCRETE PAD BENEATH WARNING SURFACE
- 14A CONSTRUCT PERPENDICULAR CURB RAMP; RE: ITD SPECS SEC. 614, SD-614-3
- 15 CONSTRUCT CURB & GUTTER TYPE 2; RE: ITD SPECS SEC. 615, SD 615-1
- 17 CONSTRUCT TRAFFIC SEPARATOR; RE: ITD SPECS SEC. 615, SD 615-1
- 52 CONSTRUCT ROADWAY SECTION; RE: TYPICAL SECTION
- 70 RETAIN AND PROTECT EXISTING UTILITIES
- 72 UTILITIES TO BE RELOCATED BY OTHERS
- 85 RELOCATE PEDESTRIAN SIGNAL POLE, JUNCTION BOXES, AND CONDUIT; RE: ACHD SPEC 1131

CV. NO. 2
D = 0°29'10"
Δ = 6°12'39" LEFT
T = 639.10
L = 1276.95
R = 11780.00
P.I. N = 7391947.532
E = 2426226.293

LEGEND

LIMITS OF NEW PAVEMENT

T.4N., R.1W., B.M.
NW⁴ NE⁴ SEC.18

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED	C. KOON	SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY CADD FILE NAME 03010-464_plan_00.dgn DRAWING DATE: SEPT 2022
DESIGN CHECKED	E. HULSLANDER	
DETAILED	C. KOON	
DRAWING CHECKED	D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

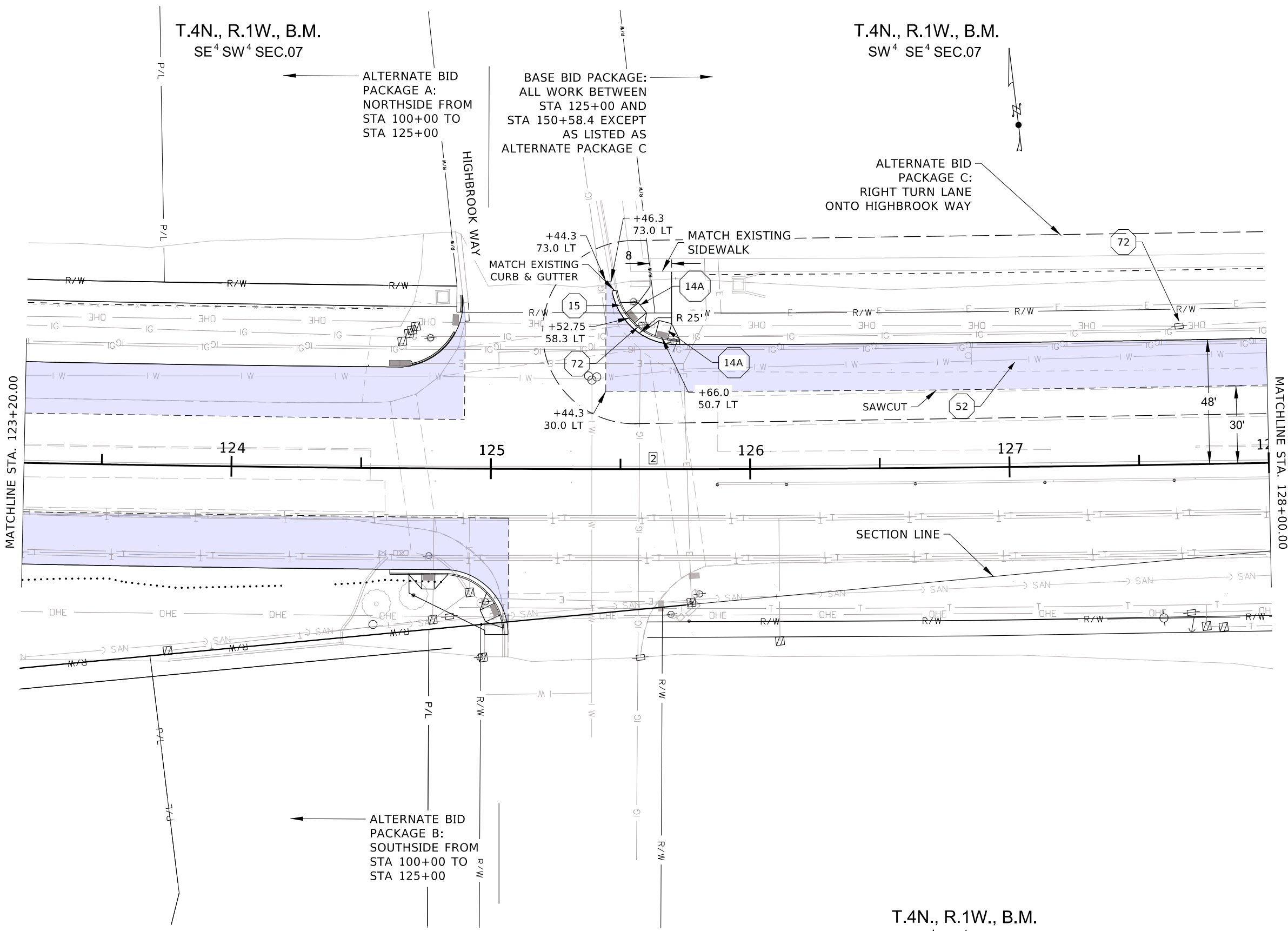
PROJECT NO.	203010-464
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PLAN SHEET	SH-44 CAN ADA RD TO STAR RD ALTERNATES A & B
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 11 OF 63

PROFESSIONAL ENGINEER
 REGISTERED
 B273EB73AC7D47A...
17544
 10/28/2022
 STATE OF IDAHO
 CLIFTON KOC

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GENERAL SHEET NOTES

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Section 7, Item A.

SHEET KEYNOTES

- 14A CONSTRUCT PERPENDICULAR CURB RAMP; RE: ITD SPECS SEC. 614, SD-614-3
- 15 CONSTRUCT CURB & GUTTER TYPE 2; RE: ITD SPECS SEC. 615, SD 615-1
- 52 CONSTRUCT ROADWAY SECTION; RE: TYPICAL SECTION
- 72 UTILITIES TO BE RELOCATED BY OTHERS

CV. NO. 2
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 R = 11780.00
 P.I. N = 7391947.532
 E = 2426226.293

LEGEND

LIMITS OF NEW PAVEMENT

T.4N., R.1W., B.M.
 NW⁴ NE⁴ SEC.18

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED	C. KOON
DESIGN CHECKED	E. HULSLANDER
DETAILED	C. KOON
DRAWING CHECKED	D. CARNAHAN

SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
 CADD FILE NAME 03010-464, plan 00.dgn
 DRAWING DATE: SEP 2022

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO.
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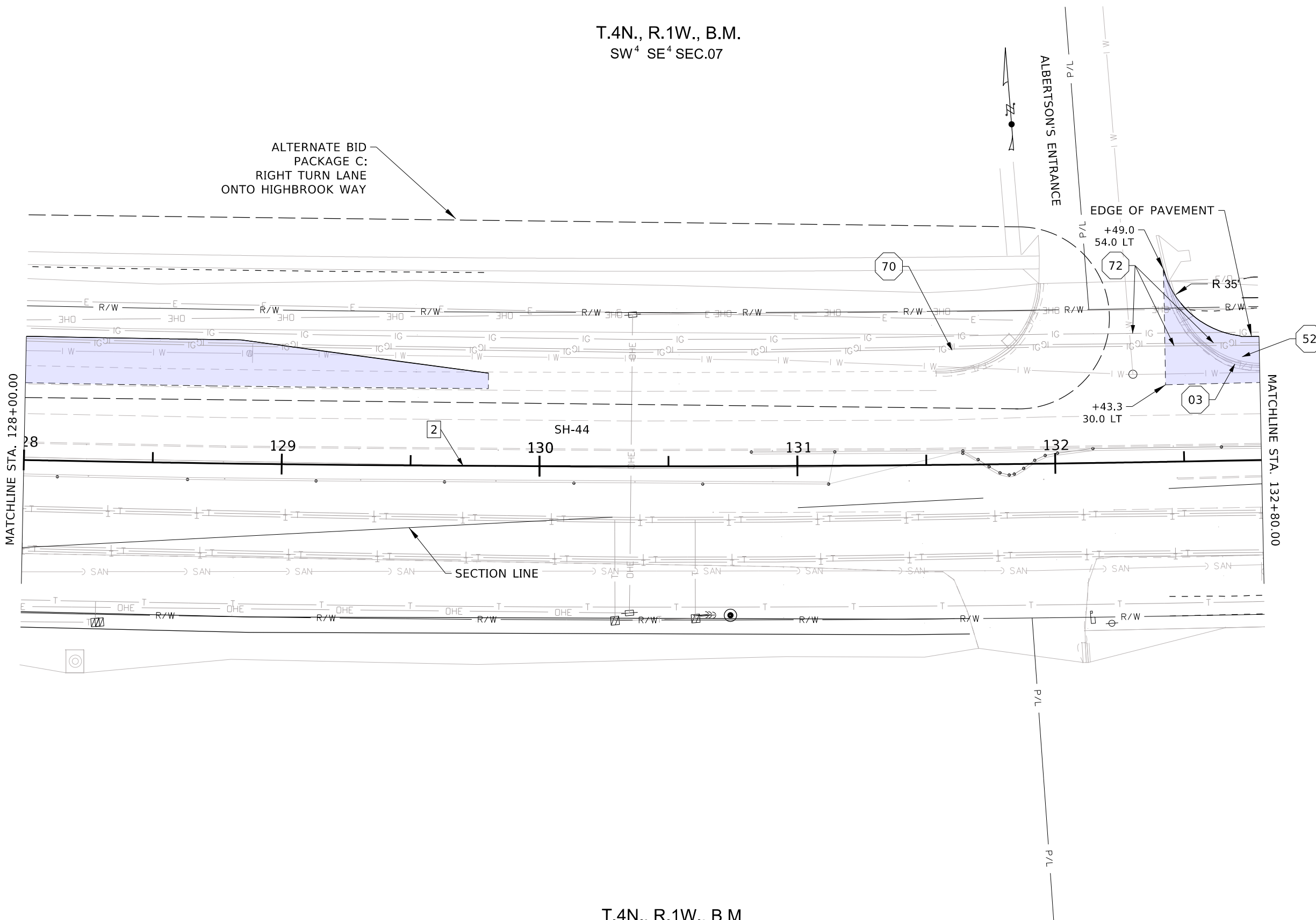
PLAN SHEET
 SH-44
 CAN ADA RD TO STAR RD
 ALTERNATE C

ENGLISH
 COUNTY ADA COUNTY
 KEY NUMBER 203010-464
 SHEET 12 OF 63

Designed by
 REGISTERED PROFESSIONAL ENGINEER
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17544
 10/28/2022
 STATE OF IDAHO
 CLIFTON KOC
 129

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T.4N., R.1W., B.M.
SW⁴ SE⁴ SEC.07



ALTERNATE BID
PACKAGE C:
RIGHT TURN LANE
ONTO Highbrook Way

GENERAL SHEET NOTES

1. PRIOR TO CONSTRUCTION TO POTHOLE, IN MANNER, EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH. WHERE EXISTING UTILITIES WILL BE ENCOUNTERED IT'S RECOMMENDED THAT THE CONTRACTOR HAND DIG OR VACUUM TRUCK EXCAVATE FOR MATERIAL EXCAVATION IN THESE AREAS.
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Section 7, Item A.

SHEET KEYNOTES

- 03 REMOVE CURB, GUTTER, AND OR SIDEWALK WITHIN NEW CONSTRUCTION LIMITS
- 52 CONSTRUCT ROADWAY SECTION; RE-TYPICAL SECTION
- 70 RETAIN AND PROTECT EXISTING UTILITIES
- 72 UTILITIES TO BE RELOCATED BY OTHERS

LEGEND
LIMITS OF NEW PAVEMENT

T.4N., R.1W., B.M.
NW⁴ NE⁴ SEC.18

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED C. KOON	SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY CADD FILE NAME 03010-464_plan_00.dgn DRAWING DATE: SEP 2022
DESIGN CHECKED E. HULSLANDER	
DETAILED C. KOON	
DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO. 203010-464

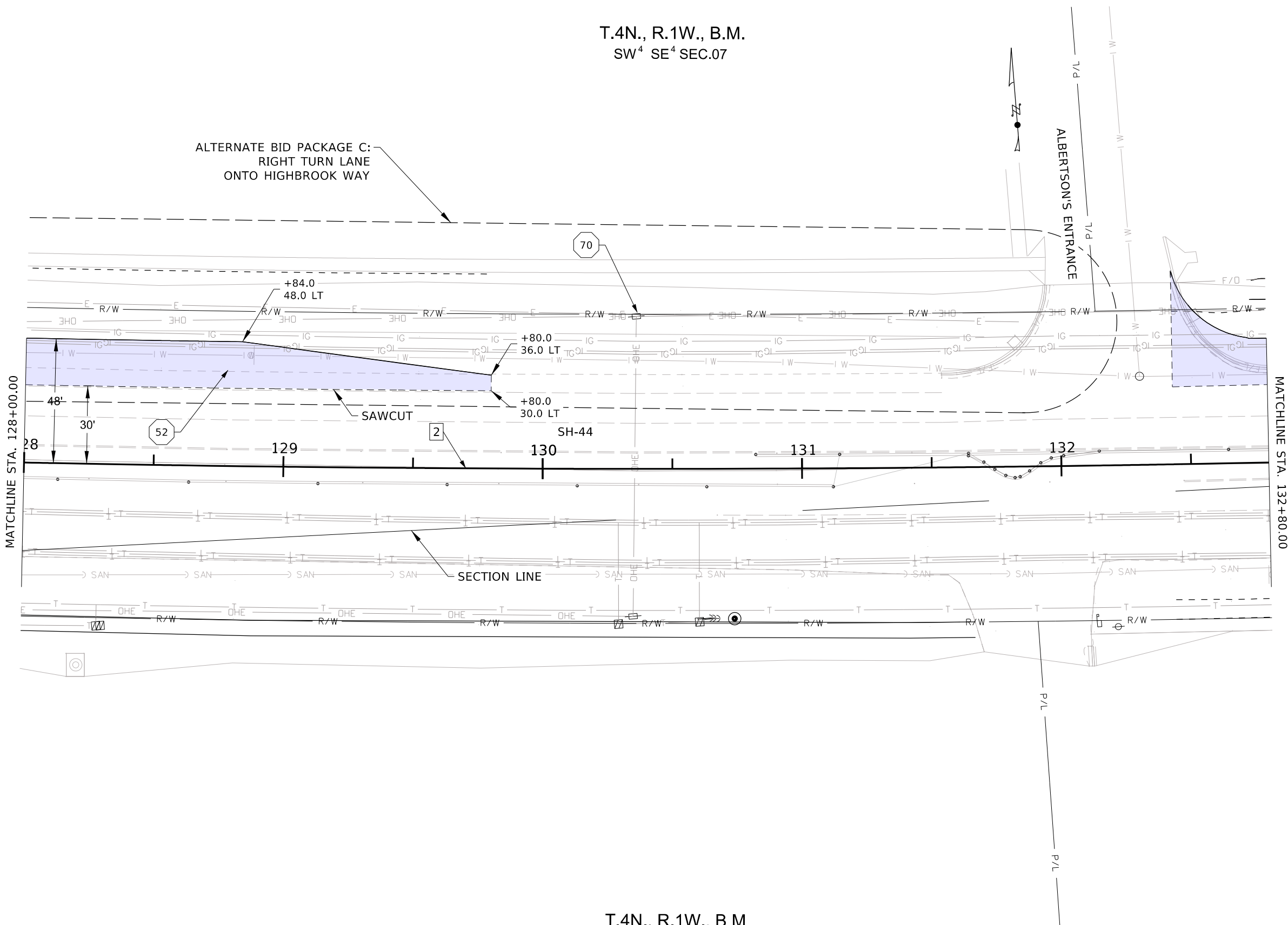
PLAN SHEET SH-44 CAN ADA RD TO STAR RD BASE BID
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 13 OF 63

Designed by
REGISTERED PROFESSIONAL ENGINEER
B273EB73AC7D47A...
17544
10/28/2022
STATE OF IDAHO
CLIFTON KOC
130

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T.4N., R.1W., B.M.
SW⁴ SE⁴ SEC.07



ALTERNATE BID PACKAGE C:
RIGHT TURN LANE
ONTO Highbrook Way

GENERAL SHEET NOTES

1. PRIOR TO CONSTRUCTION TO POTHOLE, IN A MANNER, EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH. WHERE EXISTING UTILITIES WILL BE ENCOUNTERED IT'S RECOMMENDED THAT THE CONTRACTOR HAND DIG OR VACUUM TRUCK EXCAVATE FOR MATERIAL EXCAVATION IN THESE AREAS.
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Section 7, Item A.

SHEET KEYNOTES

- 52 CONSTRUCT ROADWAY SECTION; RE: TYPICAL SECTION
- 70 RETAIN AND PROTECT EXISTING UTILITIES

CV. NO. 2
D = 0°29'10"
Δ = 6°12'39" LEFT
T = 639.10
L = 1276.95
R = 11780.00
N = 7391947.532
E = 2426226.293

LEGEND
LIMITS OF NEW PAVEMENT

T.4N., R.1W., B.M.
NW⁴ NE⁴ SEC.18

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED	C. KOON
DESIGN CHECKED	E. HULSLANDER
DETAILED	C. KOON
DRAWING CHECKED	D. CARNAHAN

SCALES SHOWN
ARE FOR 11" X 17"
PRINTS ONLY

CADD FILE NAME
03010-464_plan_00.dgn

DRAWING DATE:
SEP 2022

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO.
203010-464

PLAN SHEET
SH-44
CAN ADA RD TO STAR RD
ALTERNATE C

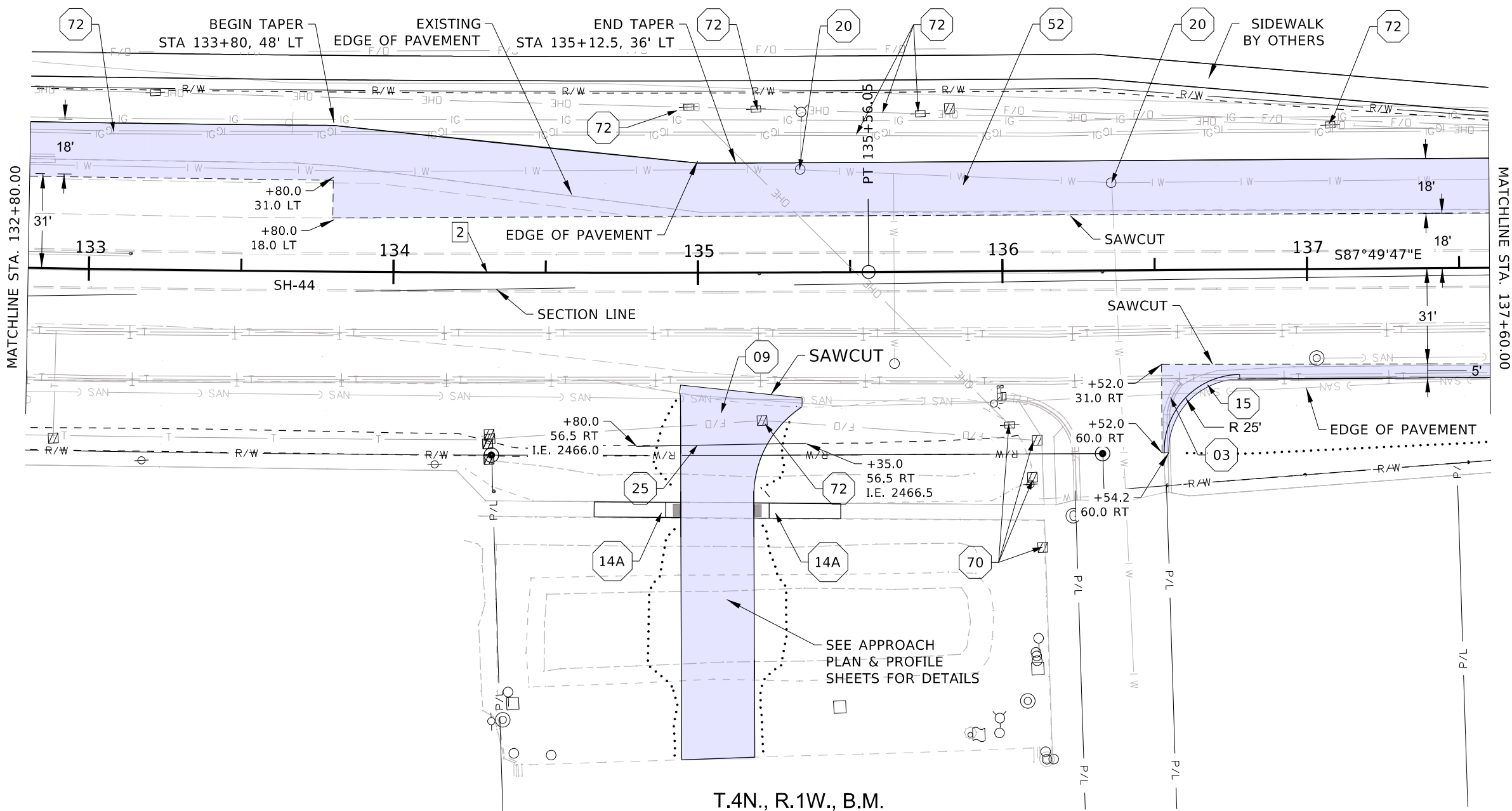
ENGLISH
COUNTY
ADA COUNTY
KEY NUMBER
203010-464
SHEET 14 OF 63

Designed by
REGISTERED PROFESSIONAL ENGINEER
B273EB73AC7D47A...
17544
10/28/2022
STATE OF IDAHO
CLIFTON KOC
131

J:\203010 - City of Star\464 - Hwy 44 Improvements\PROJECT DEVELOPMENT\Plan Sheets\Roadway\203010-464_plan_00.dgn

T.4N., R.1W., B.M.
SW⁴ SE⁴ SEC.07

T.4N., R.1W., B.M.
NE⁴ NE⁴ SEC.18



GENERAL SHEET NOTES

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Section 7, Item A.

SHEET KEYNOTES

- 03 REMOVE CURB, GUTTER, AND OR SIDEWALK WITHIN NEW CONSTRUCTION LIMITS
- 09 CONSTRUCT RURAL APPROACH; RE: ITD SPECS SEC. 405, SD 405-1
- 14A CONSTRUCT PERPENDICULAR CURB RAMP; RE: ITD SPECS SEC. 614, SD-614-3
- 15 CONSTRUCT CURB & GUTTER TYPE 2; RE: ITD SPECS SEC. 615, SD 615-1
- 20 ADJUST WATER VALVES COVER TO GRADE
- 25 INSTALL 12" CULVERT
- 52 CONSTRUCT ROADWAY SECTION; RE: TYPICAL SECTION
- 70 RETAIN AND PROTECT EXISTING UTILITIES
- 72 UTILITIES TO BE RELOCATED BY OTHERS

CV. NO. [2]
D = 0°29'10"
Δ = 6°12'39" LEFT
T = 639.10
L = 1276.95
R = 11780.00
N = 7391947.532
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LEGEND
LIMITS OF NEW PAVEMENT

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED C. KOON	SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
DESIGN CHECKED E. HULSLANDER	CADD FILE NAME 03010-464_plan_00.dgn
DETAILED C. KOON	DRAWING DATE: AUG 2022
DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO.
203010-464

PLAN SHEET
SH-44
CAN ADA RD TO STAR RD
BASE BID

ENGLISH
COUNTY
ADA COUNTY
KEY NUMBER
203010-464
SHEET 15 OF 63

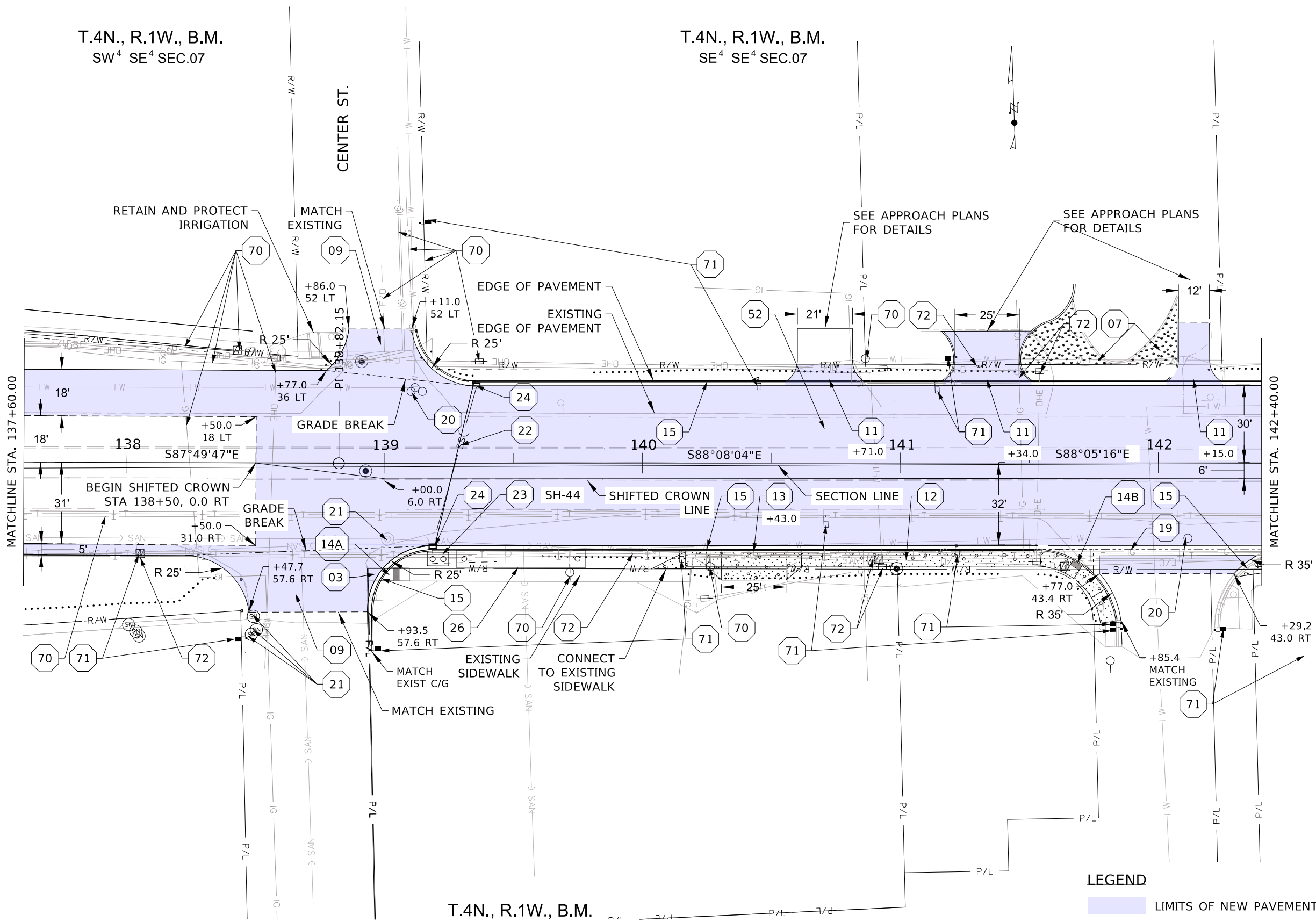
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REGISTERED ENGINEER
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17544
10/28/2022
STATE OF IDAHO
CLIFTON KOC
132

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T.4N., R.1W., B.M.
SW⁴ SE⁴ SEC.07

T.4N., R.1W., B.M.
SE⁴ SE⁴ SEC.07

T.4N., R.1W., B.M.
NE⁴ NE⁴ SEC.18



- GENERAL SHEET NOTES**
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- SHEET KEYNOTES**
- 03 REMOVE CURB, GUTTER, AND OR SIDEWALK WITHIN NEW CONSTRUCTION LIMITS
 - 07 REMOVE PAVEMENT, PLACE LANDSCAPE ROCK
 - 09 CONSTRUCT RURAL APPROACH; RE: ITD SPECS SEC. 405, SD 405-1
 - 10 CONSTRUCT URBAN APPROACH; RE: ITD SPECS SEC. 405
 - 11 CONSTRUCT MODIFIED APPROACH; RE: APPROACH DETAILS
 - 12 CONSTRUCT CONCRETE 6' SIDEWALK; RE: ITD SPECS SEC. 614, SD 614-1
 - 13 CONSTRUCT DIPPED SIDEWALK DRIVEWAY; RE: ITD SD 614-2
 - 14A CONSTRUCT PERPENDICULAR CURB RAMP; RE: ITD SPECS SEC. 614, SD-614-3
 - 14B CONSTRUCT PARALLEL CURB RAMP; RE: ITD SPECS SEC. 614, SD-614-3
 - 15 CONSTRUCT CURB & GUTTER TYPE 2; RE: ITD SPECS SEC. 615, SD 615-1
 - 16 CONSTRUCT CURB TYPE 1; RE: ITD SPECS SEC. 615, SD 615-1
 - 19 INSTALL GUTTER TYPE 1, ITD SD 615-1
 - 20 ADJUST WATER VALVES COVER TO GRADE
 - 21 ADJUST MANHOLE COVER TO GRADE
 - 22 INSTALL 12" STORM SEWER PIPE
 - 23 INSTALL 1000 GAL SAND AND OIL TRAP RE: ITD SD 605-31
 - 24 INSTALL INLET TYPE 2A RE: ITD SD 605-21
 - 26 INSTALL UNDERGROUND DRAINAGE STORAGE SYSTEM
 - 52 CONSTRUCT ROADWAY SECTION; RE: TYPICAL SECTION
 - 70 RETAIN AND PROTECT EXISTING UTILITIES
 - 71 REMOVE AND RESET MAILBOX
 - 72 UTILITIES TO BE RELOCATED BY OTHERS

LEGEND

- LIMITS OF NEW PAVEMENT
- LIMITS OF NEW SIDEWALK

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED	C. KOON	SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY CADD FILE NAME 203010-464_plan_00.dgn DRAWING DATE: AUG 2022
DESIGN CHECKED	E. HULSLANDER	
DETAILED	C. KOON	
DRAWING CHECKED	D. CARNAHAN	

CITY OF STAR, ID

KELLER ASSOCIATES

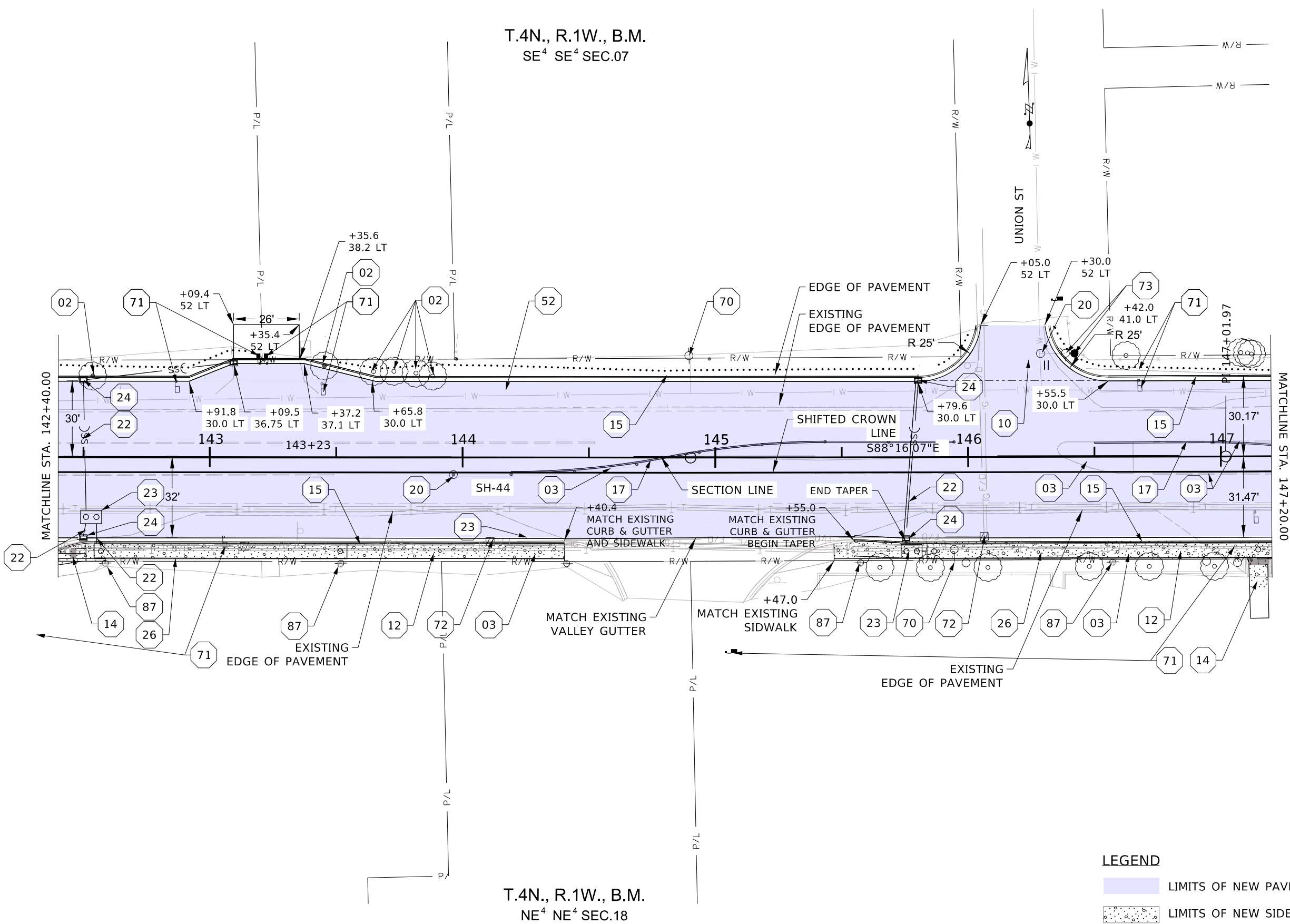
PROJECT NO.
203010-464

PLAN SHEET
SH-44
CAN ADA RD TO STAR RD
BASE BID

ENGLISH
COUNTY
ADA COUNTY
KEY NUMBER
203010-464
SHEET 16 OF 63

PROFESSIONAL ENGINEER
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 B273EB73AC7D47A...
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 STATE OF IDAHO
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T.4N., R.1W., B.M.
SE⁴ SE⁴ SEC.07

T.4N., R.1W., B.M.
NE⁴ NE⁴ SEC.18

GENERAL SHEET NOTES

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Section 7, Item A.

SHEET KEYNOTES

- 02 REMOVE TREE, INCLUDING STUMP; RE: ITD SPECS SEC. 202
- 03 REMOVE CURB, GUTTER, AND OR SIDEWALK WITHIN NEW CONSTRUCTION LIMITS
- 10 CONSTRUCT URBAN APPROACH; RE: ITD SPECS SEC. 405
- 11 CONSTRUCT MODIFIED APPROACH; RE: APPROACH DETAILS
- 12 CONSTRUCT CONCRETE 6' SIDEWALK; RE: ITD SPECS SEC. 614, SD 614-1
- 14A CONSTRUCT PERPENDICULAR CURB RAMP; RE: ITD SPECS SEC. 614, SD-614-3
- 15 CONSTRUCT CURB & GUTTER TYPE 2; RE: ITD SPECS SEC. 615, SD 615-1
- 16 CONSTRUCT CURB TYPE 1; RE: ITD SPECS SEC. 615, SD 615-1
- 17 CONSTRUCT TRAFFIC SEPARATOR; RE: ITD SPECS SEC. 615, SD 615-1
- 19 INSTALL GUTTER TYPE 1, ITD SD 615-1
- 20 ADJUST WATER VALVES COVER TO GRADE
- 22 INSTALL 12" STORM SEWER PIPE
- 23 INSTALL 1000 GAL SAND AND OIL TRAP RE: ITD SD 605-31
- 24 INSTALL INLET TYPE 2A RE: ITD SD 605-21
- 26 INSTALL UNDERGROUND DRAINAGE STORAGE SYSTEM
- 52 CONSTRUCT ROADWAY SECTION; RE: TYPICAL SECTION
- 70 RETAIN AND PROTECT EXISTING UTILITIES
- 71 REMOVE AND RESET MAILBOX
- 72 UTILITIES TO BE RELOCATED BY OTHERS
- 73 RELOCATE FIRE HYDRANT
- 87 REMOVE AND RESET LIGHTPOLE & BASE AND ASSOCIATED ELECTRICAL

LEGEND

- LIMITS OF NEW PAVEMENT
- LIMITS OF NEW SIDEWALK

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED	C. KOON
DESIGN CHECKED	E. HULSLANDER
DETAILED	C. KOON
DRAWING CHECKED	D. CARNAHAN

SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY

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DRAWING DATE:
AUG 2022

CITY OF STAR, ID

KELLER ASSOCIATES

PROJECT NO.
203010-464

PLAN SHEET
**SH-44
CAN ADA RD TO STAR RD
BASE BID**

ENGLISH

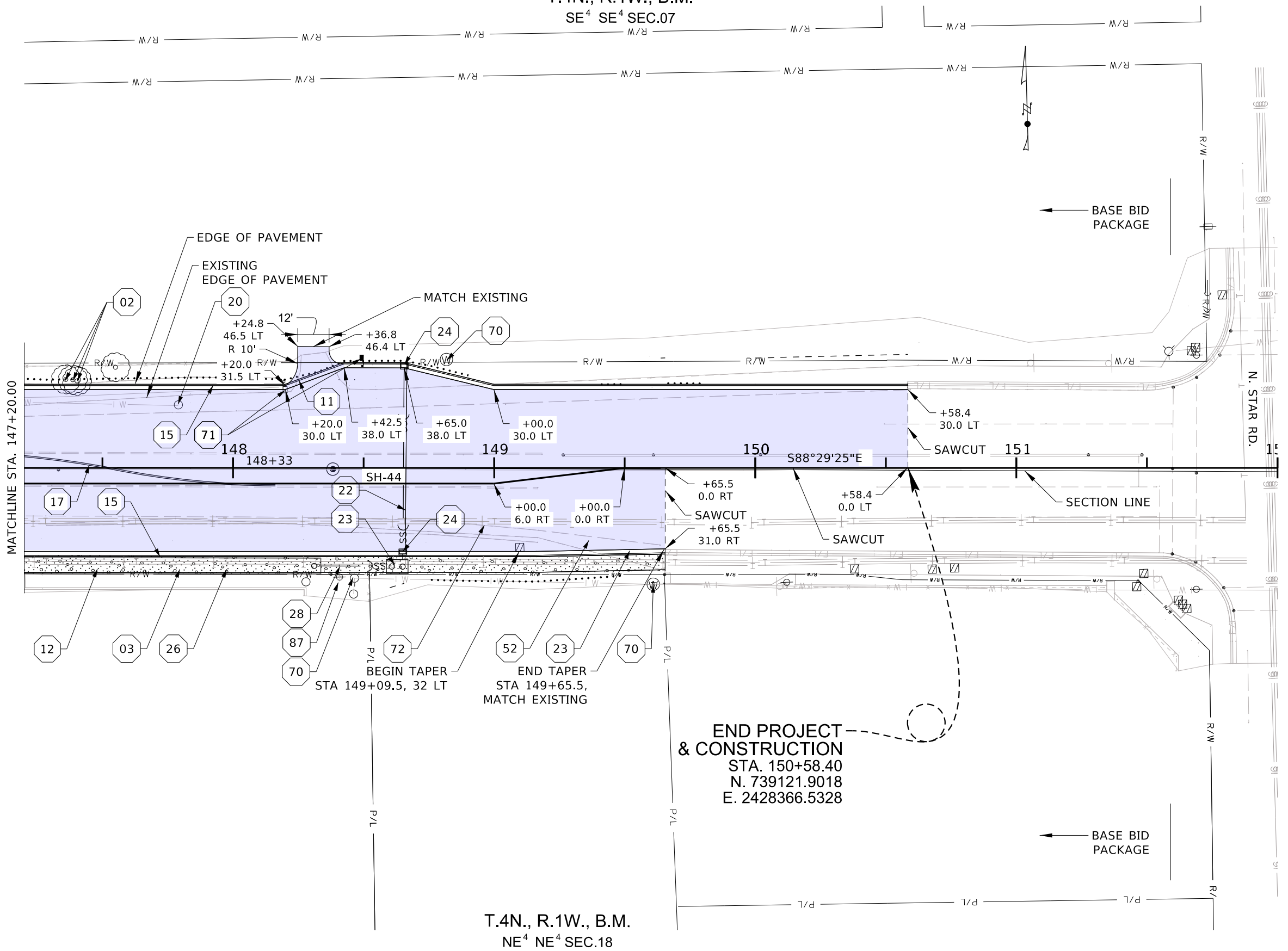
COUNTY
ADA COUNTY

KEY NUMBER
203010-464

SHEET 17 OF 63

DESIGNED BY
REGISTERED PROFESSIONAL ENGINEER
B273EB73AC7D47A...
17544
10/28/2022
STATE OF IDAHO
CLIFTON KOC

T.4N., R.1W., B.M.
SE⁴ SE⁴ SEC.07



T.4N., R.1W., B.M.
NE⁴ NE⁴ SEC.18

GENERAL SHEET NOTES

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Section 7, Item A.

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- 15 CONSTRUCT CURB & GUTTER TYPE 2; RE: ITD SPECS SEC. 615, SD 615-1
- 17 CONSTRUCT TRAFFIC SEPARATOR; RE: ITD SPECS SEC. 615, SD 615-1
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- 87 REMOVE AND RESET LIGHTPOLE & BASE AND ASSOCIATED ELECTRICAL

LEGEND

- LIMITS OF NEW PAVEMENT
- LIMITS OF NEW SIDEWALK

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REVISIONS			
NO.	DATE	BY	DESCRIPTION

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DETAILED C. KOON	CADD FILE NAME 03010-464, plan 00.dgn
DRAWING CHECKED D. CARNAHAN	DRAWING DATE: AUG 2022

CITY OF STAR, ID



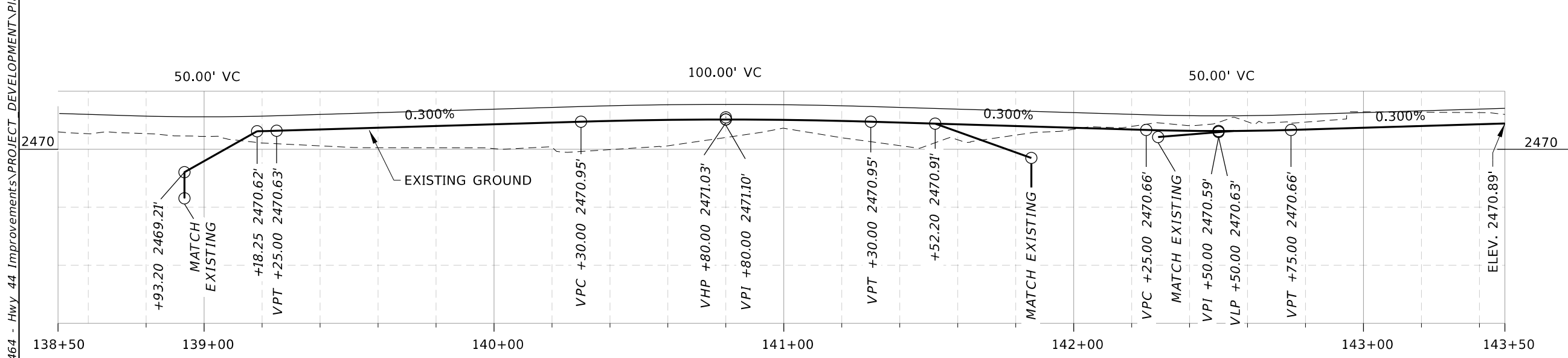
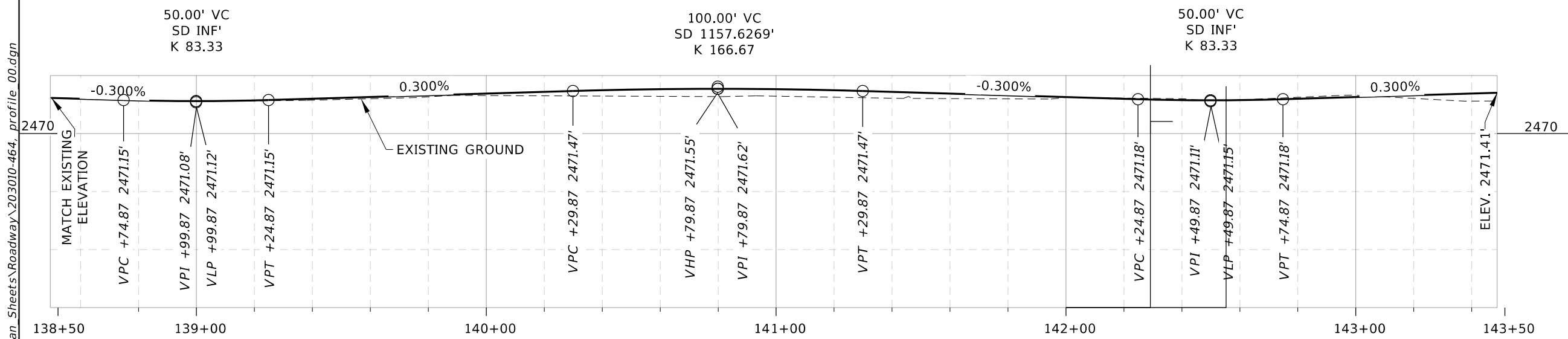
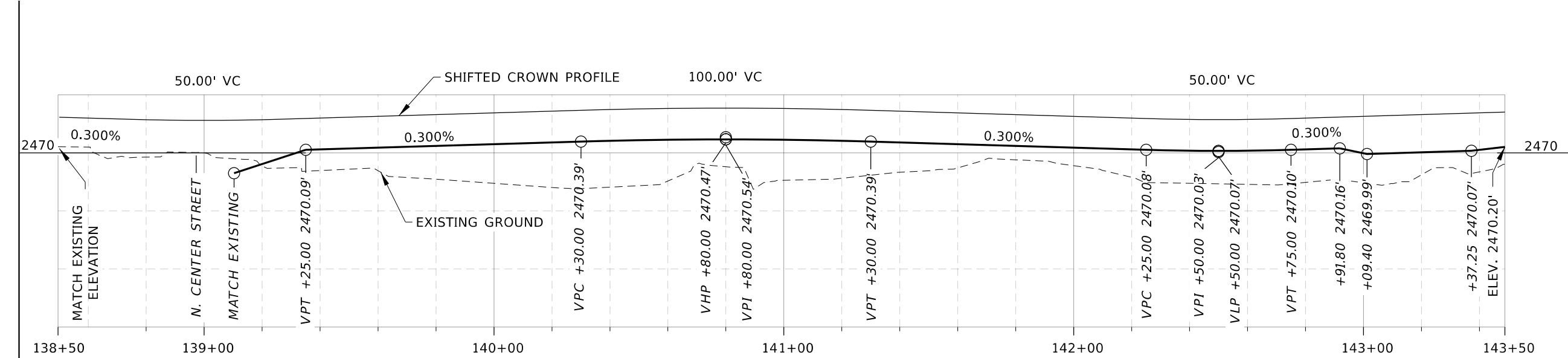
KELLER ASSOCIATES

PROJECT NO. 203010-464

PLAN SHEET SH-44 CAN ADA RD TO STAR RD BASE BID
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 18 OF 63

Designed by
PROFESSIONAL REGISTERED ENGINEER
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17544
10/28/2022
STATE OF IDAHO
CLIFTON KOC 135



REVISIONS			
NO.	DATE	BY	DESCRIPTION

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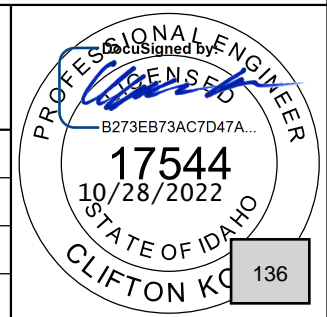
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KELLER ASSOCIATES

PROJECT NO. 203010-464

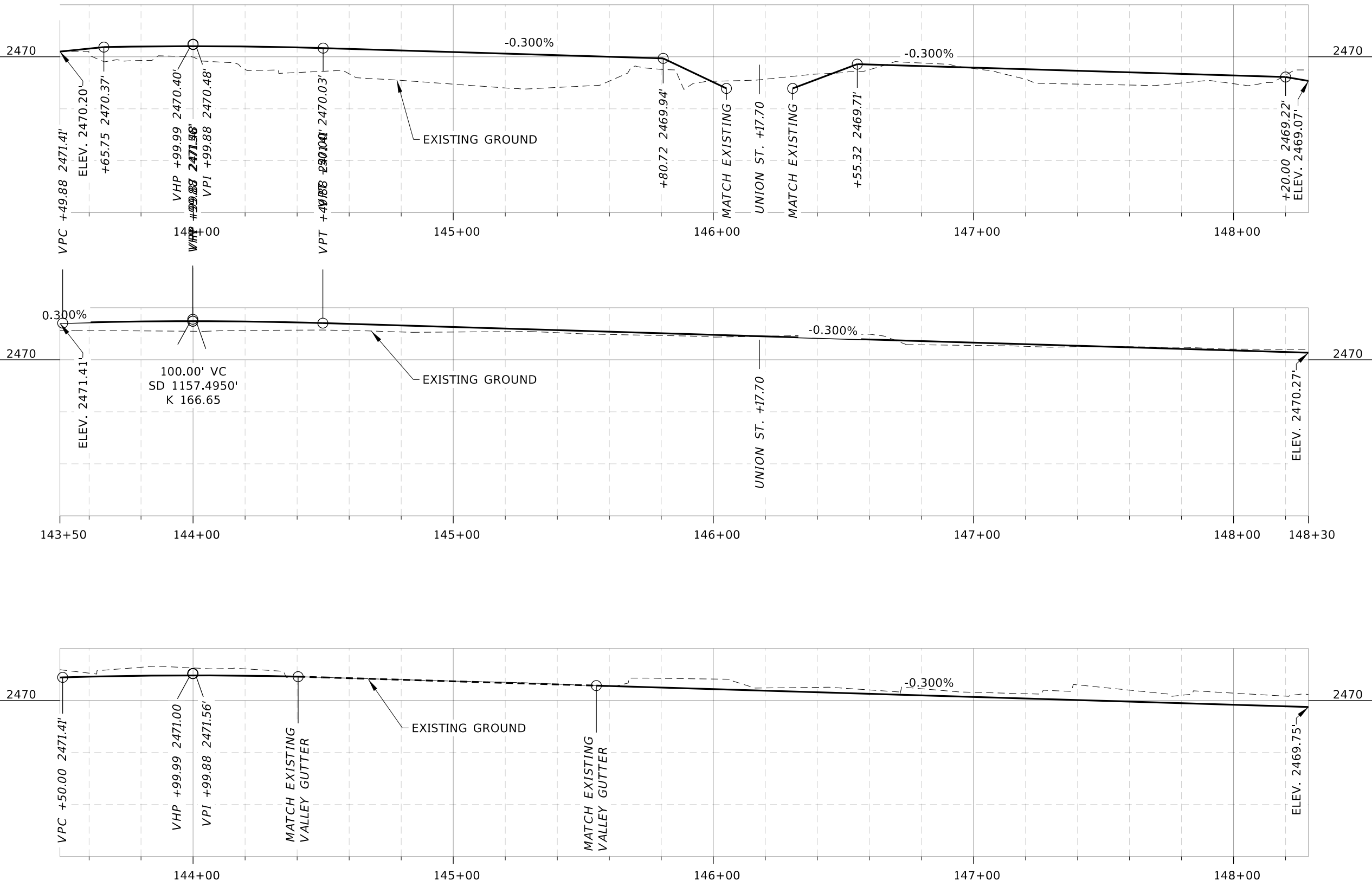
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 19 OF 63



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REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED	C. KOON
DESIGN CHECKED	E. HULSLANDER
DETAILED	C. KOON
DRAWING CHECKED	D. CARNAHAN

SCALES SHOWN
 ARE FOR 11" X 17"
 PRINTS ONLY

CADD FILE NAME
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DRAWING DATE:
 JULY 2022

CITY OF STAR, ID

KELLER ASSOCIATES

PROJECT NO.
 203010-464

PROFILE SHEET
 SH-44
 CAN ADA RD TO STAR RD

ENGLISH

COUNTY
 ADA COUNTY

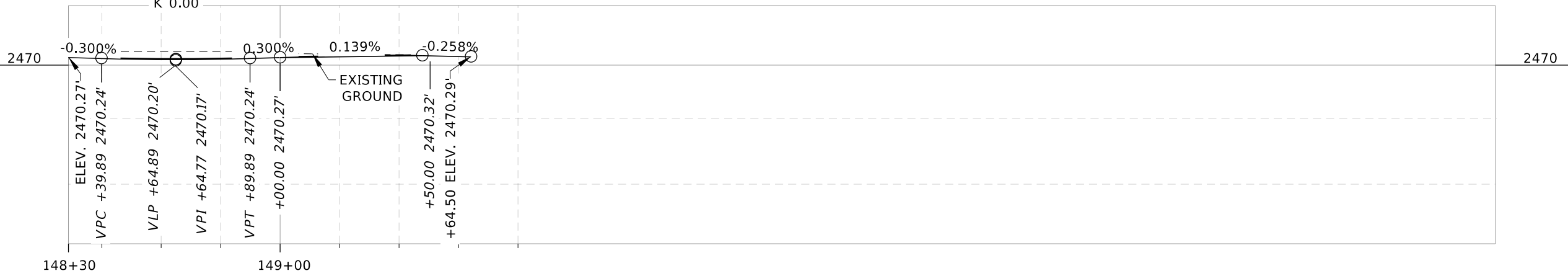
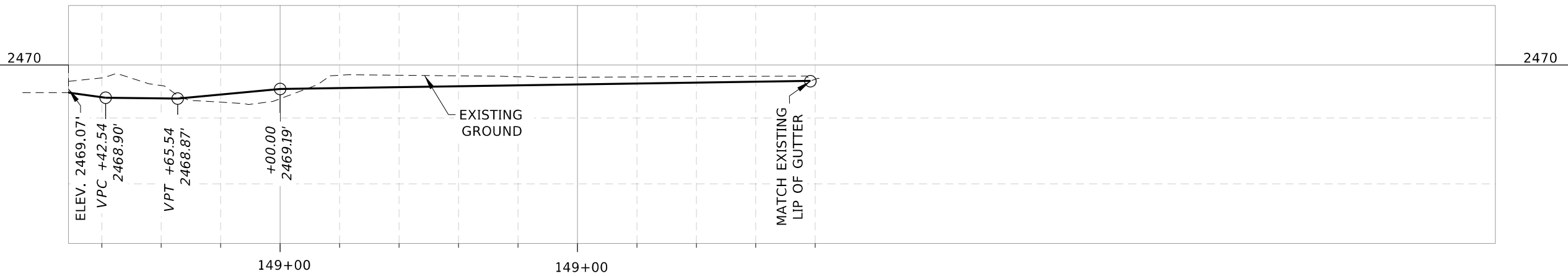
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SHEET 20 OF 63



Section 7, Item A.

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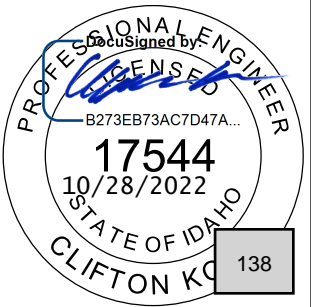
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DRAWING CHECKED	D. CARNAHAN	DRAWING DATE: JULY 2022

CITY OF STAR, ID
KELLER ASSOCIATES

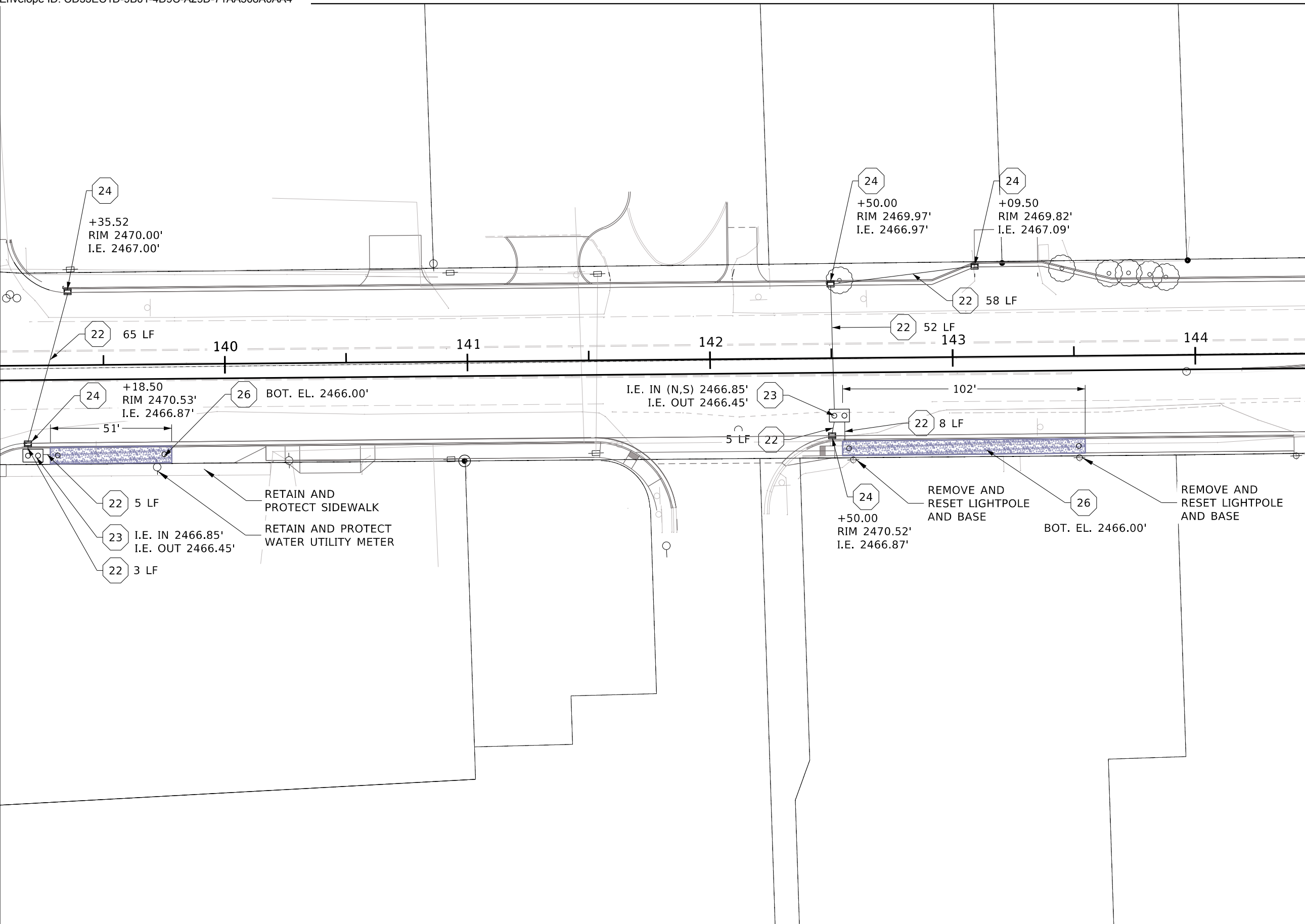
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PROFILE SHEET
SH-44
CAN ADA RD TO STAR RD

ENGLISH
COUNTY
ADA COUNTY
KEY NUMBER
203010-464
SHEET 21 OF 63



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- GENERAL SHEET NOTES**
- PRIOR TO CONSTRUCTION, VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES. WHERE EXISTING UTILITIES WILL BE ENCOUNTERED IT'S RECOMMENDED THAT THE CONTRACTOR HAND DIG OR VACUUM TRUCK EXCAVATE FOR MATERIAL EXCAVATION IN THESE AREAS.
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 - 23 INSTALL 1000 GAL SAND AND OIL TRAP RE: ITD SD 605-31
 - 24 INSTALL INLET TYPE 2A RE: ITD SD 605-21
 - 26 INSTALL ACO STORMBRIX, ABT PERMAVOID, OR APPROVED EQUAL UNDERGROUND DRAINAGE STORAGE SYSTEM

LEGEND

[Blue Hatched Box] LIMITS OF UNDERGROUND DRAINAGE STORAGE SYSTEM

REVISIONS			
NO.	DATE	BY	DESCRIPTION

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DETAILED C. KOON	
DRAWING CHECKED D. CARNAHAN	

IDAHO TRANSPORTATION DEPARTMENT

 YOUR Safety → YOUR Mobility → YOUR Economic Opportunity
KELLER ASSOCIATES

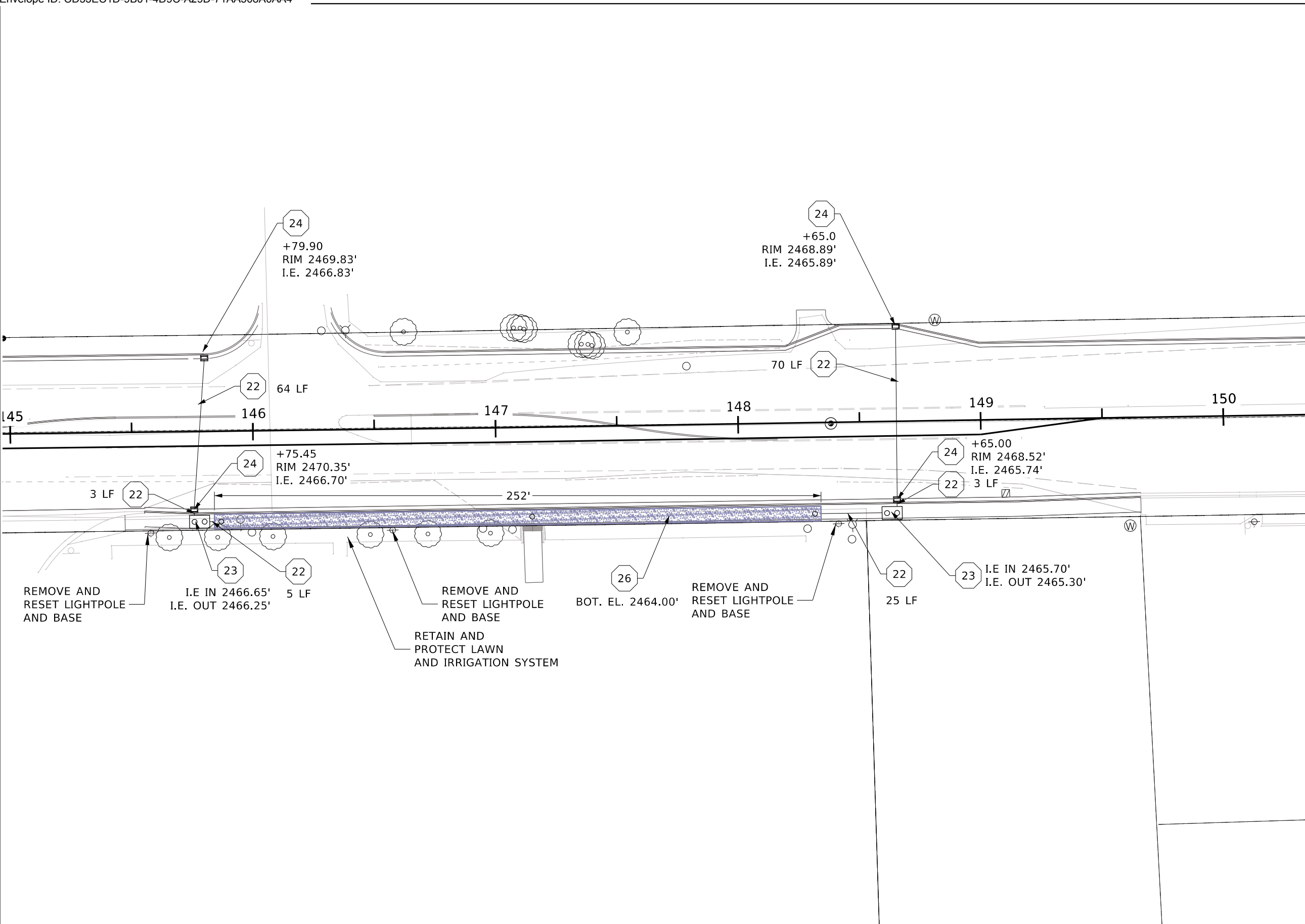
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203010-464

DRAINAGE PLAN SHEET
SH-44
CAN ADA RD TO STAR RD

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 22 OF 63

PROFESSIONAL ENGINEER
 LICENSE
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 STATE OF IDAHO
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LEGEND

LIMITS OF UNDERGROUND DRAINAGE STORAGE SYSTEM

REVISIONS			
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DETAILED	C. KOON	
DRAWING CHECKED	D. CARNAHAN	
CADD FILE NAME		203010-464_drnng_00.dgn
DRAWING DATE:		JULY 2022

IDAHO TRANSPORTATION DEPARTMENT

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KELLER ASSOCIATES

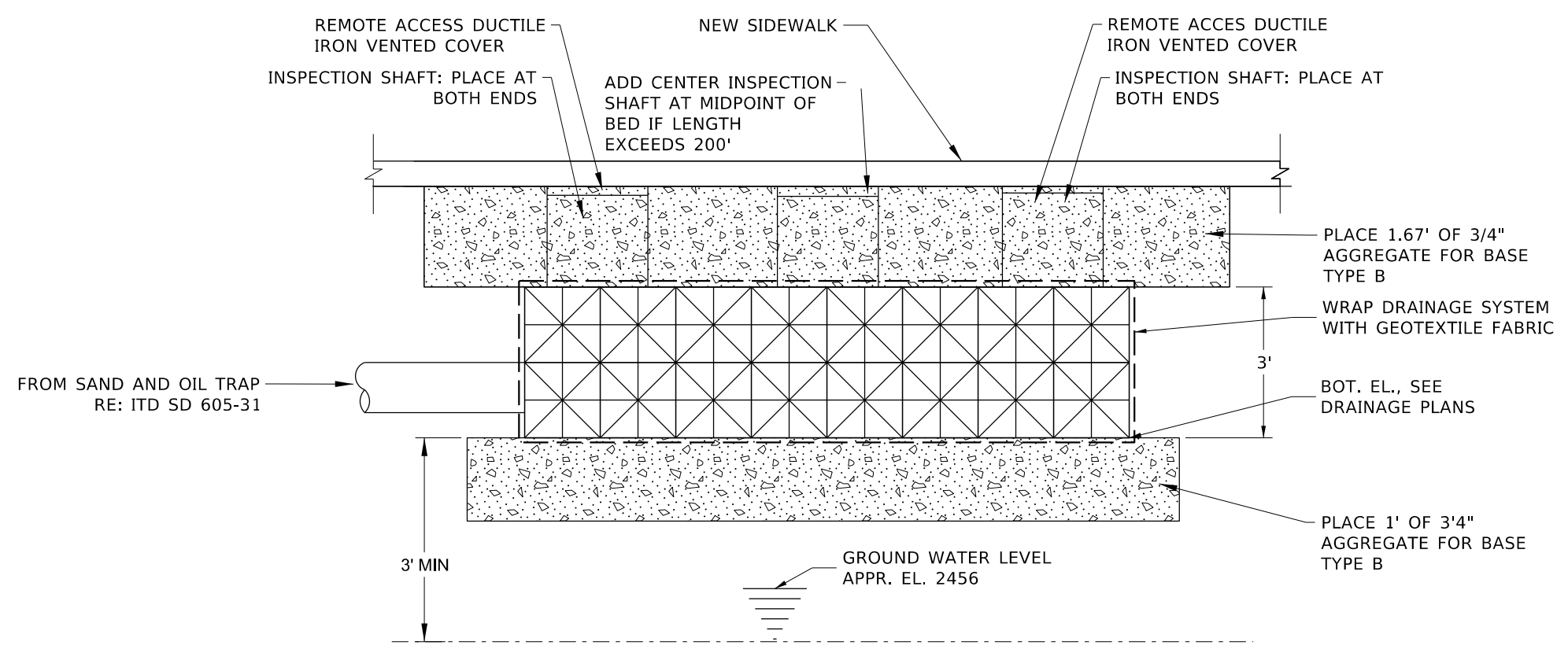
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DRAINAGE PLAN SHEET
SH-44
CAN ADA RD TO STAR RD

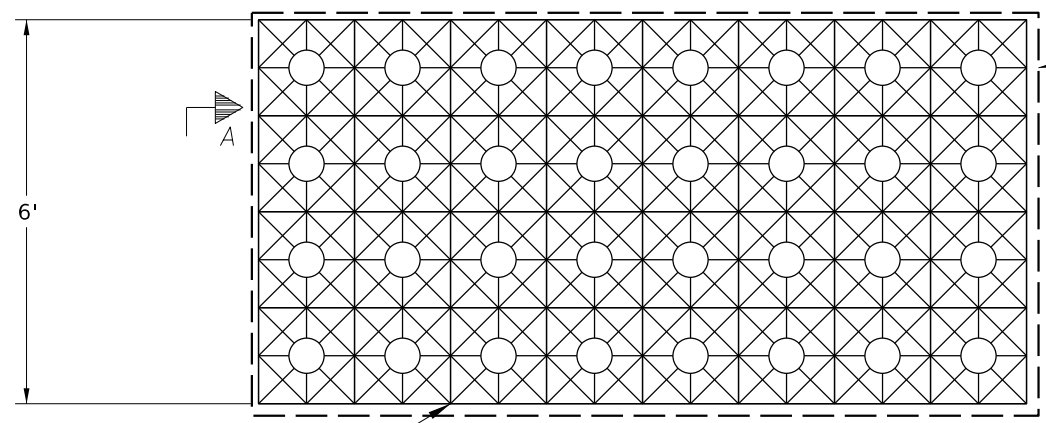
ENGLISH
COUNTY
ADA COUNTY
KEY NUMBER
203010-464
SHEET 23 OF 63

PROFESSIONAL ENGINEER
 LICENSE
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17544
 10/28/2022
 STATE OF IDAHO
 CLIFTON KOON
 140

SEEPAGE BED DETAIL



SECTION A-A



PLAN

INSTALL ABT PERMAVOID INNOVATIVE DRAINAGE SYSTEM, ACO STROMBRIXX, OR APPROVED DETAIL

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REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED	C. KOON	SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
DESIGN CHECKED	E. HULSLANDER	
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IDAHO TRANSPORTATION DEPARTMENT

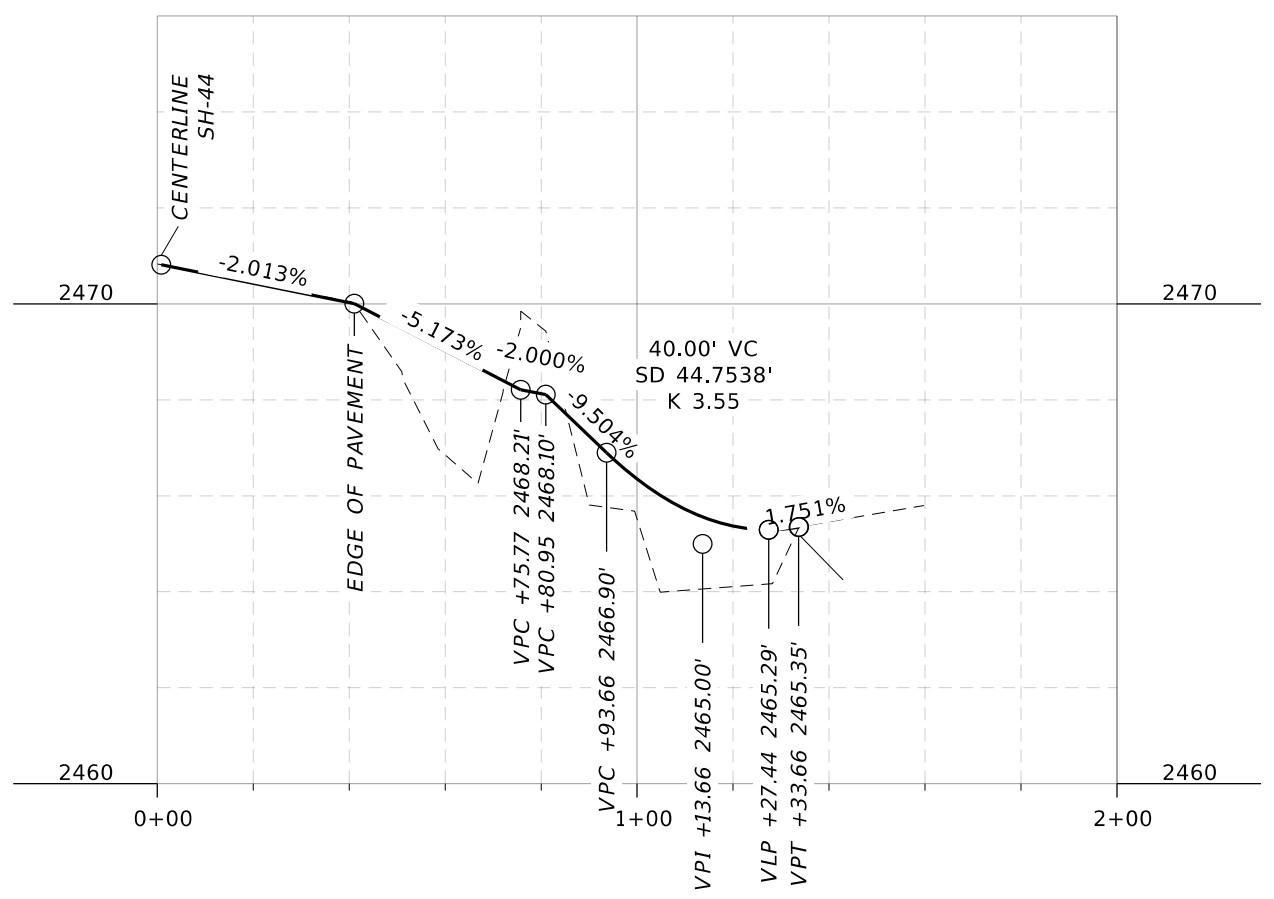
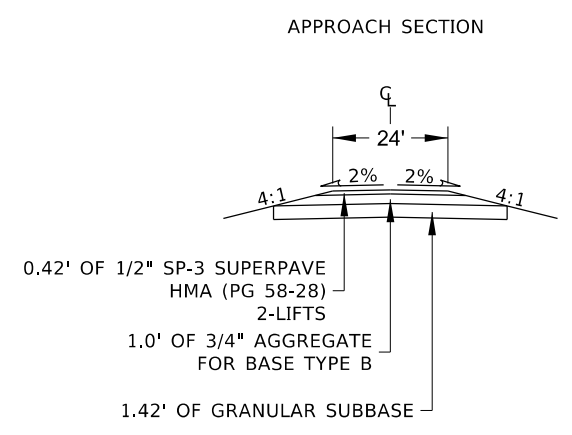
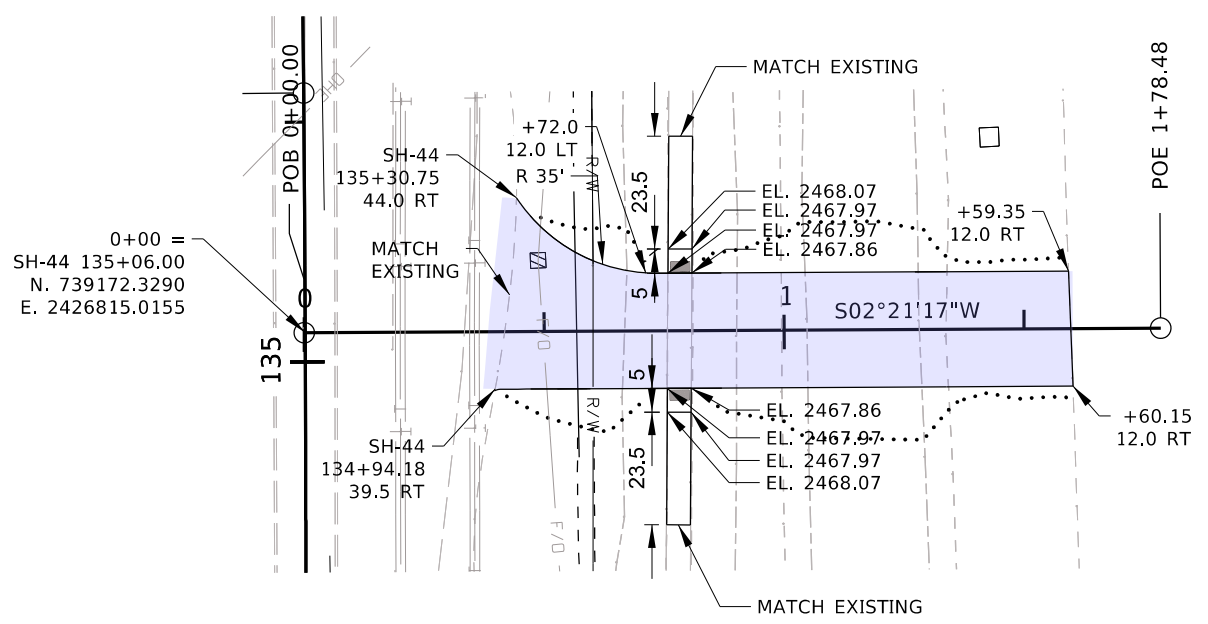
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KELLER ASSOCIATES

PROJECT NO.	203010-464
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DRAINAGE DETAIL	SH-44 CAN ADA RD TO STAR RD
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 24 OF 63

PROFESSIONAL ENGINEER
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 STATE OF IDAHO
 CLIFTON KOON
 141



LEGEND
 LIMITS OF NEW PAVEMENT

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NO.	DATE	BY	DESCRIPTION

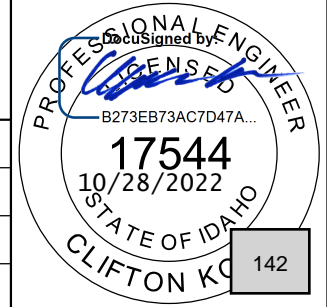
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DESIGN CHECKED	E. HULSLANDER	
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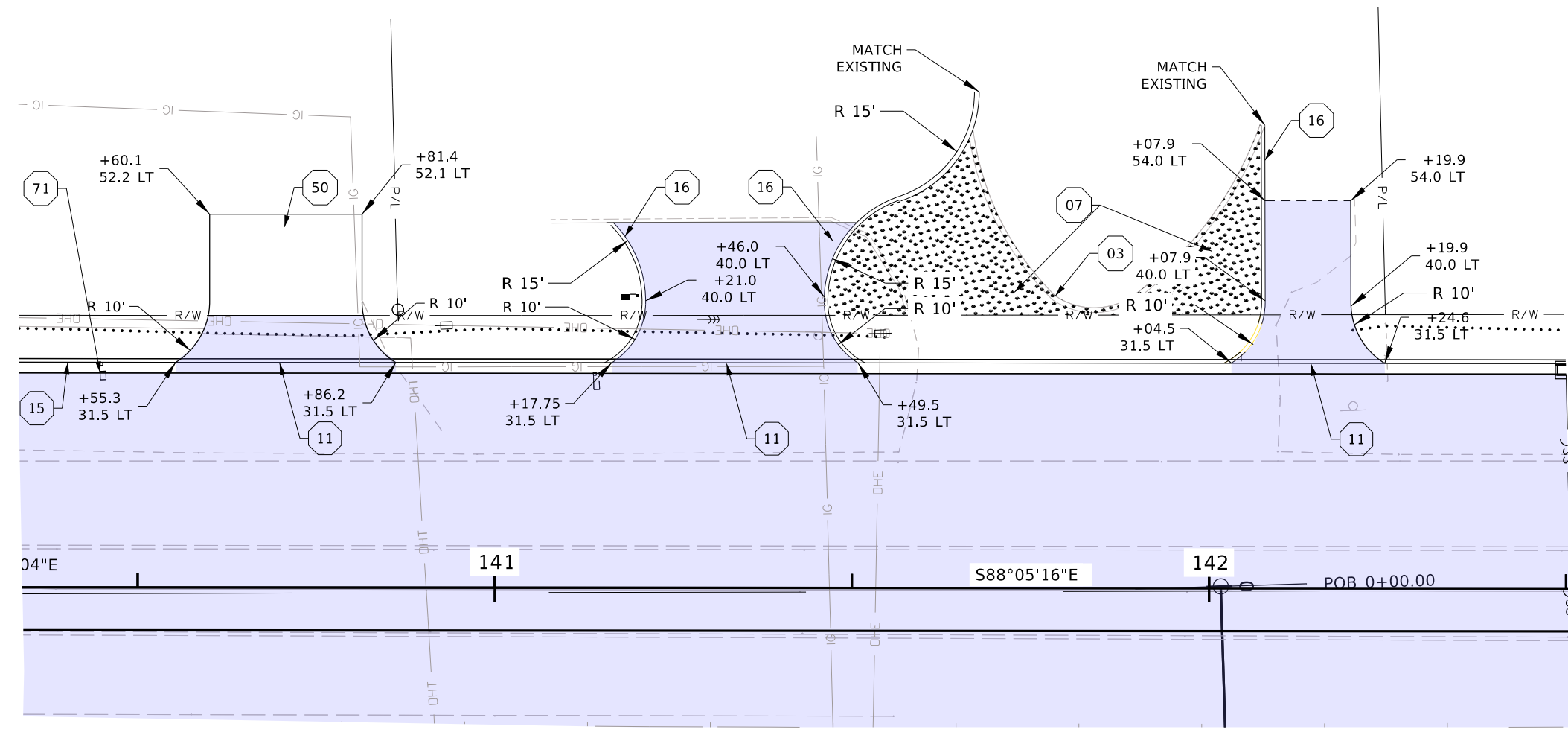
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APPROACH PLAN & PROFILE SHEET	SH-44 CAN ADA RD TO STAR RD
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 25 OF 63



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GENERAL SHEET NOTES

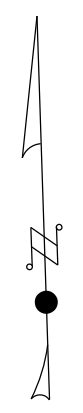
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Section 7, Item A.

SHEET KEYNOTES

- 03 REMOVE CURB, GUTTER, AND OR SIDEWALK WITHIN NEW CONSTRUCTION LIMITS
- 07 REMOVE PAVEMENT, PLACE LANDSCAPE ROCK
- 11 CONSTRUCT MODIFIED APPROACH; RE: APPROACH DETAILS
- 16 CONSTRUCT CURB TYPE 1; RE: ITD SPECS SEC. 615, SD 615-1
- 50 PLACE 6" OF 3/4" AGGREGATE FOR BASE TYPE B

LEGEND
 LIMITS OF NEW PAVEMENT



REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED C. KOON	SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
DESIGN CHECKED E. HULSLANDER	CADD FILE NAME 03010-464_appr_00.dgn
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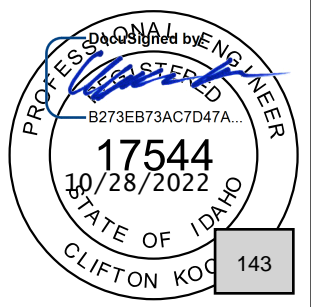
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KELLER ASSOCIATES

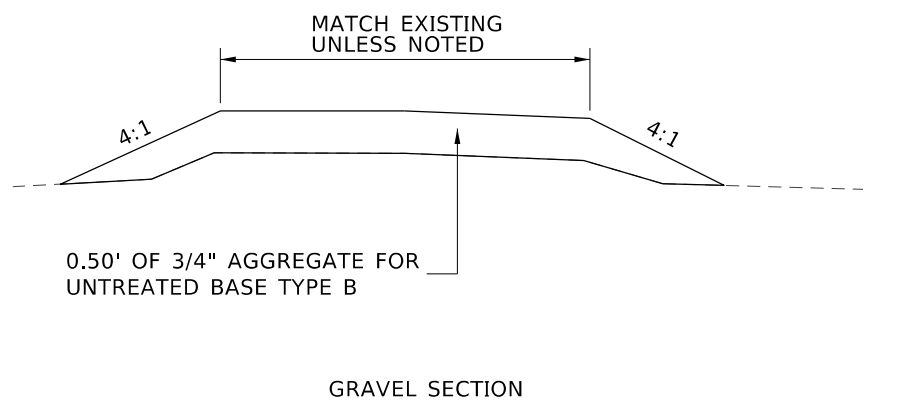
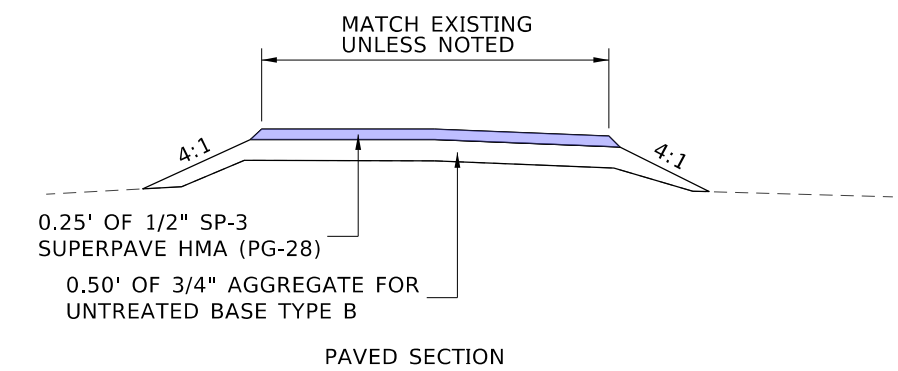
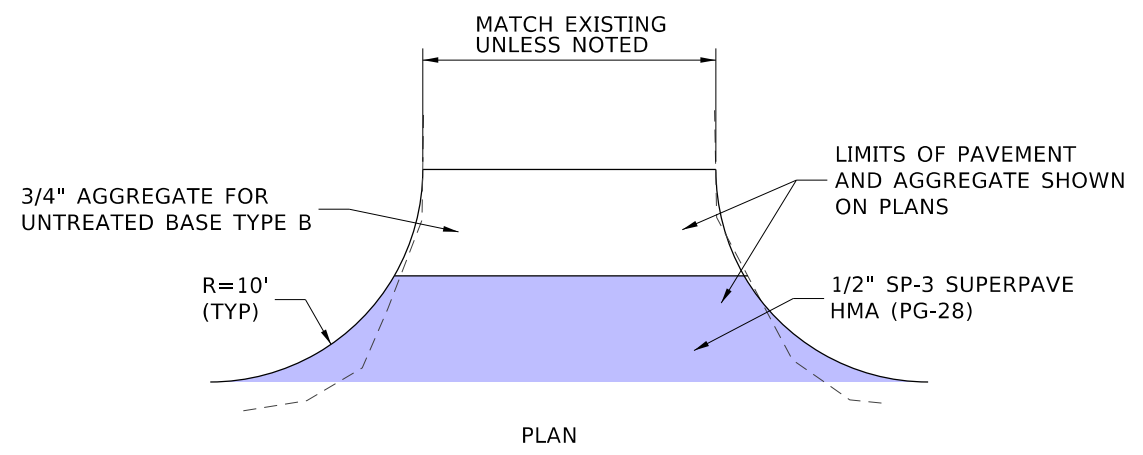
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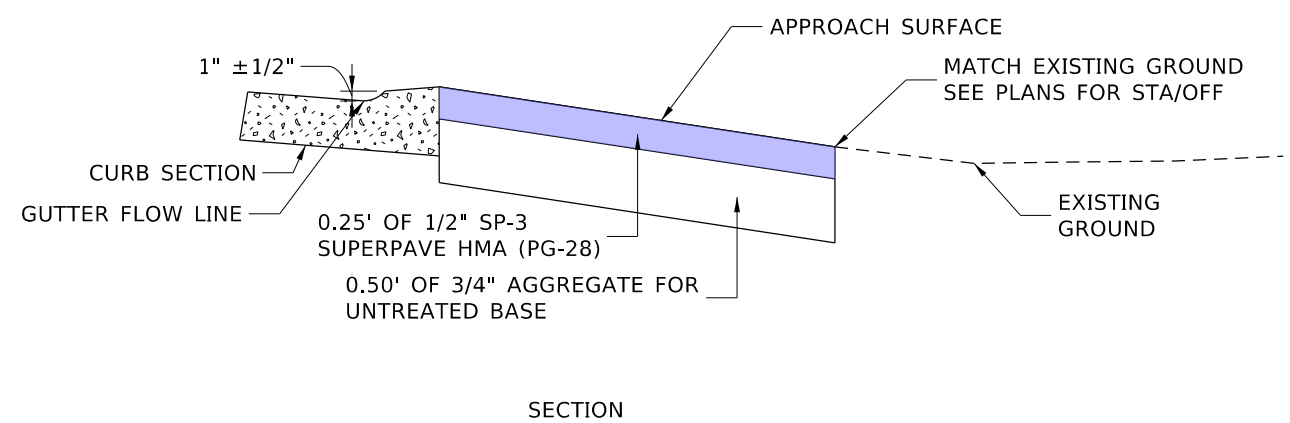
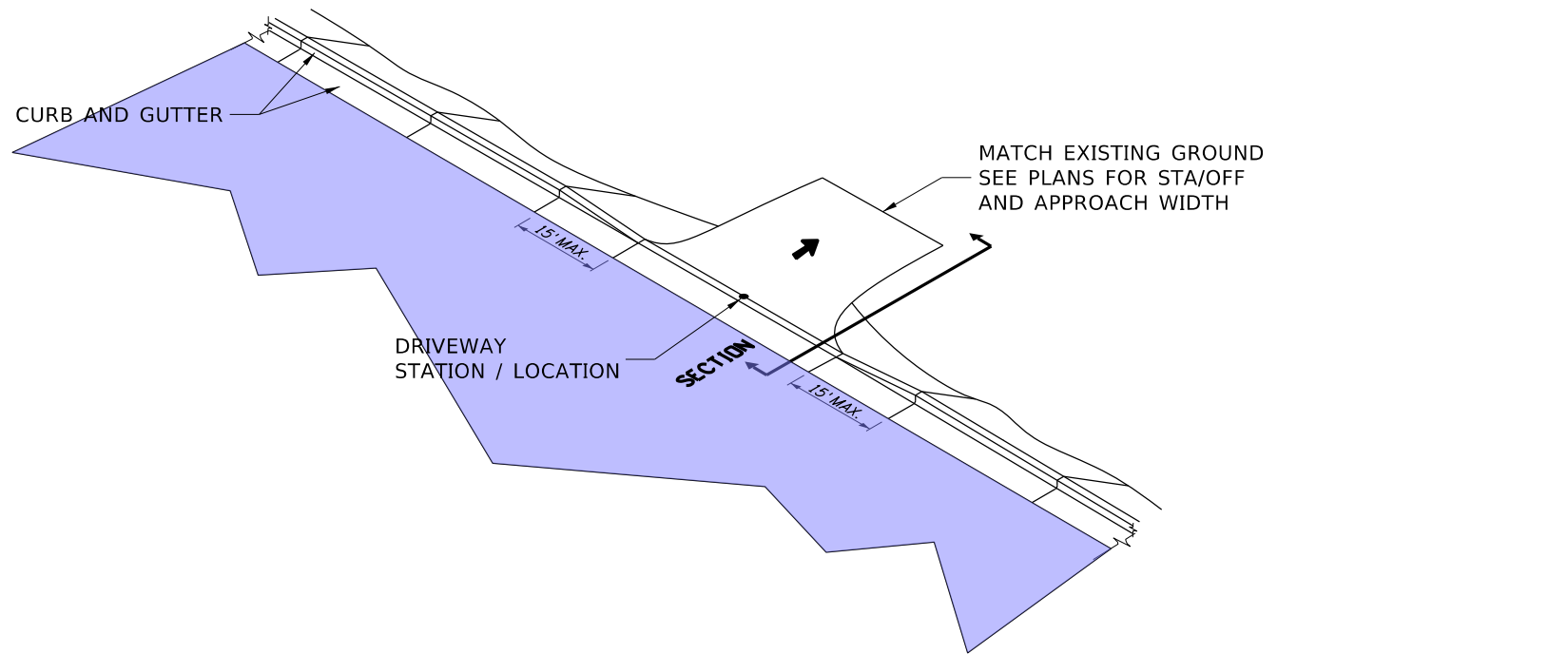
ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 26 OF 63



RURAL APPROACH DETAIL



MODIFIED APPROACH DETAIL



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DRAWING CHECKED	D. CARNAHAN	DRAWING DATE: AUGUST 2022

IDAHO TRANSPORTATION DEPARTMENT

KELLER ASSOCIATES

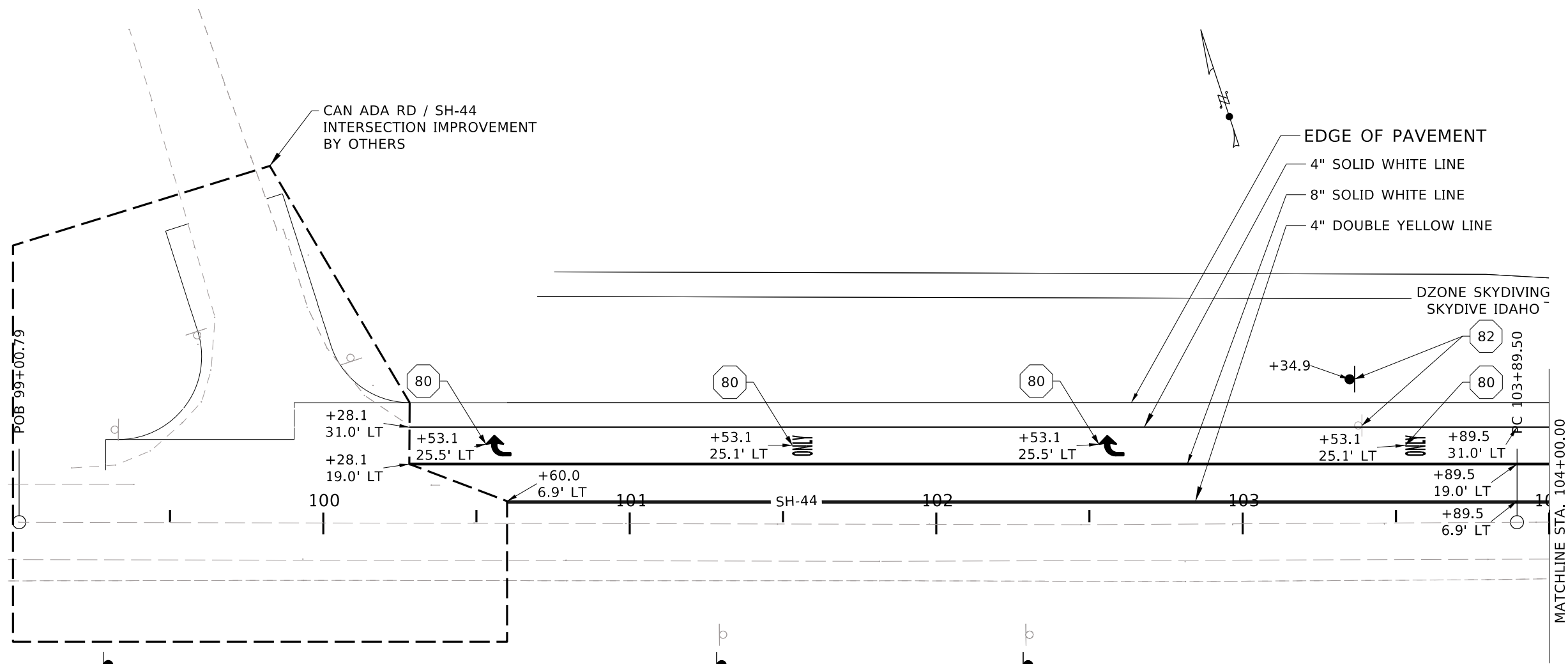
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APPROACH DETAILS	SH-44 CAN ADA RD TO STAR RD
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 27 OF 63

PROFESSIONAL ENGINEER
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STATE OF IDAHO
CLIFTON KOON

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GENERAL SHEET NOTES

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INVESTIGATE TO POTHOLE, IN A MANNER, EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH. WHERE EXISTING UTILITIES WILL BE ENCOUNTERED IT'S RECOMMENDED THAT THE CONTRACTOR HAND DIG OR VACUUM TRUCK EXCAVATE FOR MATERIAL EXCAVATION IN THESE AREAS.
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6. REFERENCE ITD STD. DWG. 630-1 FOR ALL PAVEMENT MARKINGS.

SHEET KEYNOTES

- 06 REMOVE SIGN; RE: ITD SPECS SEC. 203
- 80 PLACE PAVEMENT MARKINGS-PREFORMED THERMO; RE: ITD SPECS SEC. 630
- 81 INSTALL SIGN; RE: ITD SPECS SEC. 616
- 82 REMOVE AND RESET SIGN, RE: ITD SPECS SEC. 616

INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
99+30	LT	Type 4	White
100+30	LT	Type 4	White
101+30	LT	Type 2	White
102+30	LT	Type 2	White
102+50	RT	Type 1	White

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED C. KOON	SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
DESIGN CHECKED E. HULSLANDER	CADD FILE NAME 10-464_sign_pvmk_00A.dgn
DETAILED C. KOON	DRAWING DATE: JULY 2022
DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID




KELLER ASSOCIATES

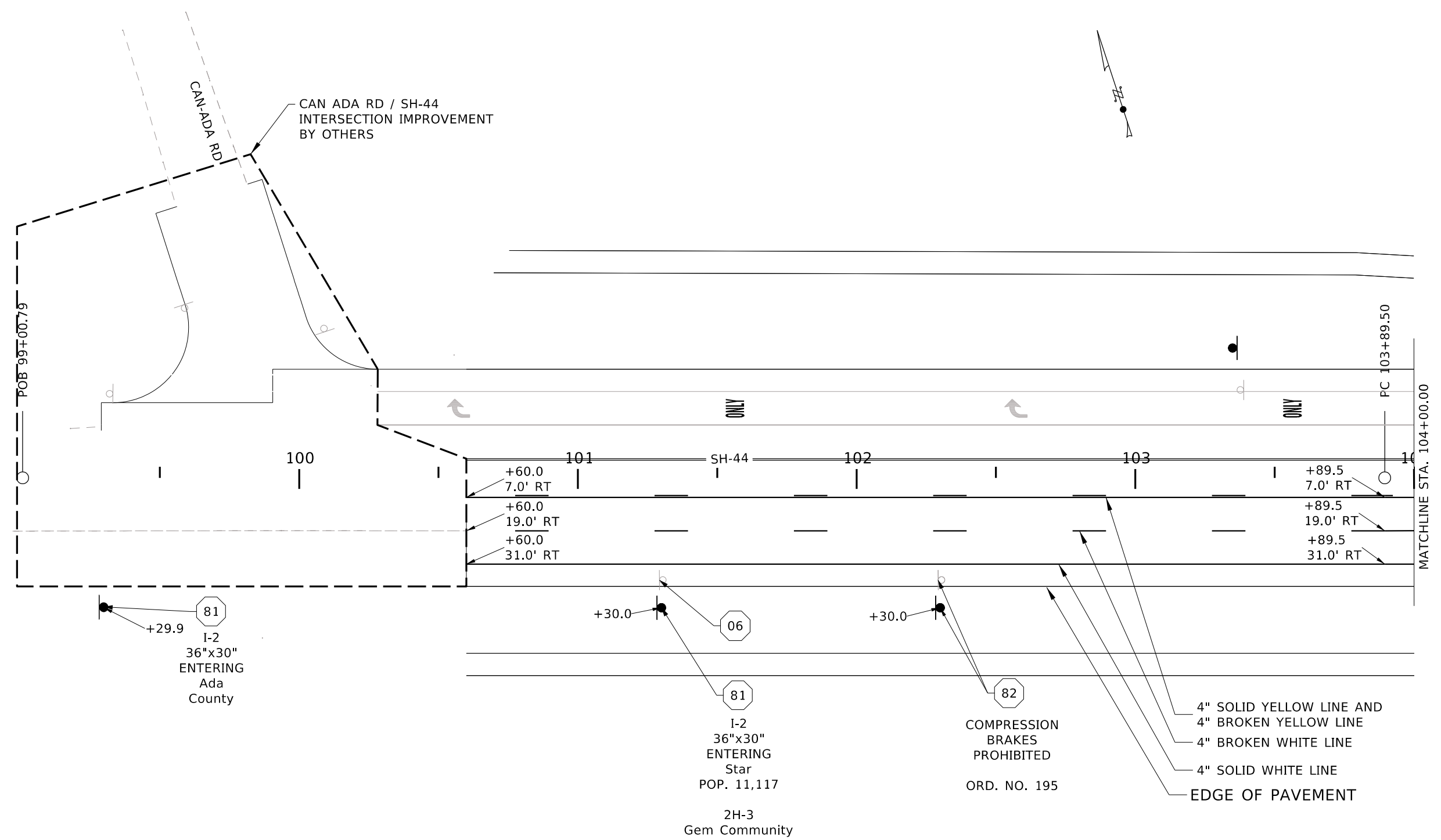
PROJECT NO. 203010-464

SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD ALTERNATE A

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 28 OF 63



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GENERAL SHEET NOTES

1. PRIOR TO CONSTRUCTION TO POTHOLE, IN A MANNER, EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH. WHERE EXISTING UTILITIES WILL BE ENCOUNTERED IT'S RECOMMENDED THAT THE CONTRACTOR HAND DIG OR VACUUM TRUCK EXCAVATE FOR MATERIAL EXCAVATION IN THESE AREAS.
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99+30	LT	Type 4	White
100+30	LT	Type 4	White
101+30	LT	Type 2	White
102+30	LT	Type 2	White
102+50	RT	Type 1	White

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED	C. KOON
DESIGN CHECKED	E. HULSLANDER
DETAILED	C. KOON
DRAWING CHECKED	D. CARNAHAN

SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
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CITY OF STAR, ID



KELLER ASSOCIATES

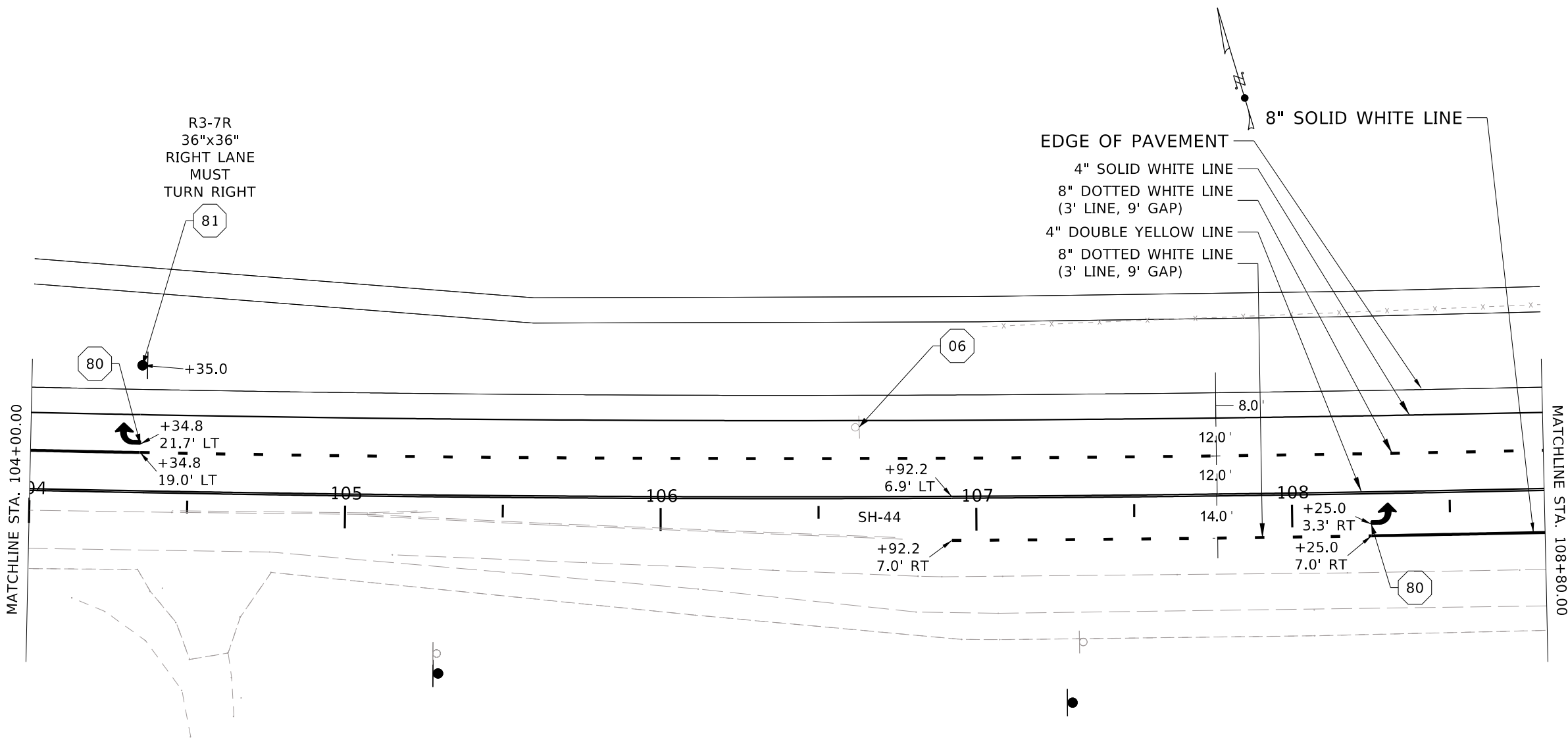
PROJECT NO.
203010-464

SIGNING, PAV MARKINGS, & SIGNALS
SH-44
CAN ADA RD TO STAR RD
ALTERNATE B

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 29 OF 63

PROFESSIONAL ENGINEER
ALEX GROVUM
17886
10/28/2022
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GENERAL SHEET NOTES

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INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
103+30	LT	Type 2	White
104+30	LT	Type 2	White
107+00	RT	Type 2	White
107+78	LT	Type 1	White
108+00	RT	Type 2	White

REVISIONS			
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DETAILED C. KOON	DRAWING DATE: JULY 2022
DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID

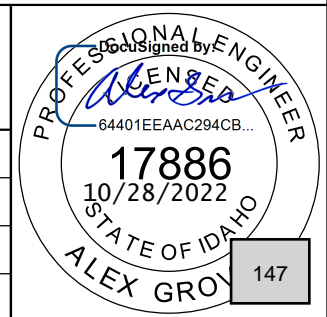


KELLER ASSOCIATES

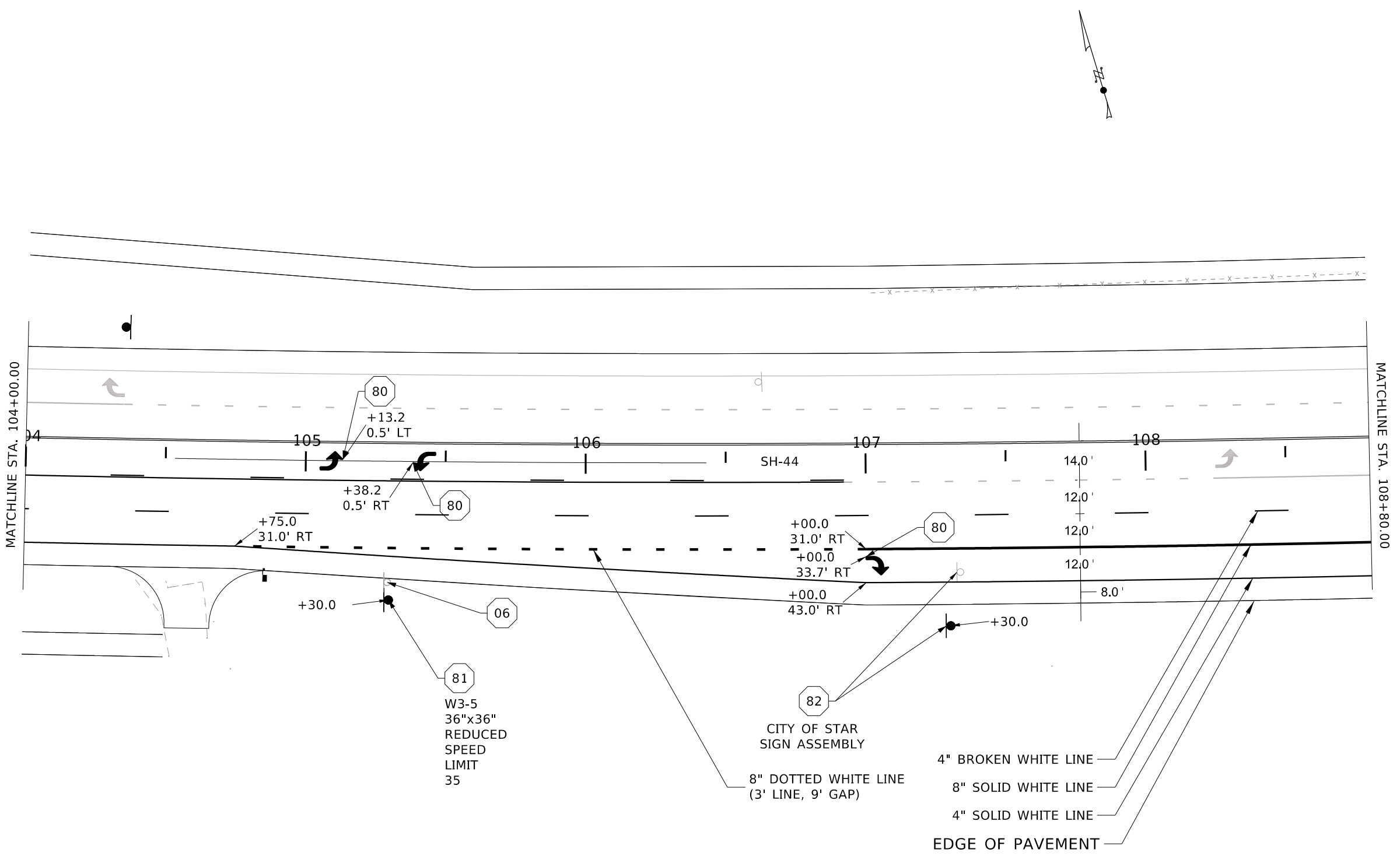
PROJECT NO. 203010-464

SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD ALTERNATE A

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 30 OF 63



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GENERAL SHEET NOTES

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INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
103+30	LT	Type 2	White
104+30	LT	Type 2	White
107+00	RT	Type 2	White
107+78	LT	Type 1	White
108+00	RT	Type 2	White

REVISIONS			
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DETAILED C. KOON	DRAWING DATE: JULY 2022
DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID

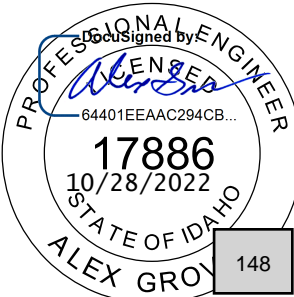


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PROJECT NO. 203010-464

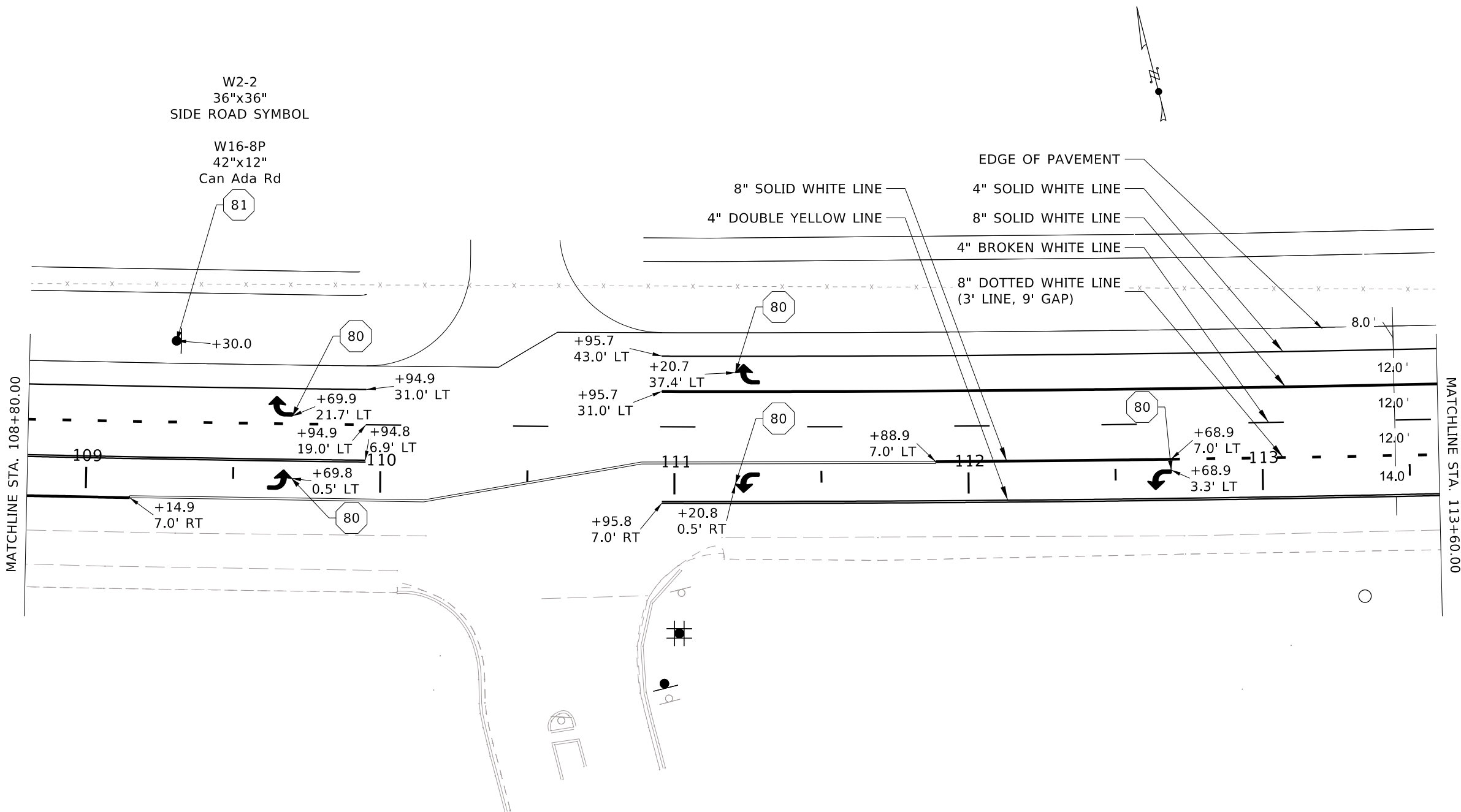
SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD ALTERNATE B

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 31 OF 63



PROFESSIONAL ENGINEER
ALEX GROVES
17886
10/28/2022
STATE OF IDAHO
148

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GENERAL SHEET NOTES

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INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
109+00	RT	Type 2	White
110+00	RT	Type 2	White
111+00	LT	Type 2	White
112+00	LT	Type 2	White
113+00	LT	Type 2	White
113+06	RT	Type 1	White

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED C. KOON	SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
DESIGN CHECKED E. HULSLANDER	CADD FILE NAME 10-464_sign_pvmk_00A.dgn
DETAILED C. KOON	DRAWING DATE: JULY 2022
DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO.
203010-464

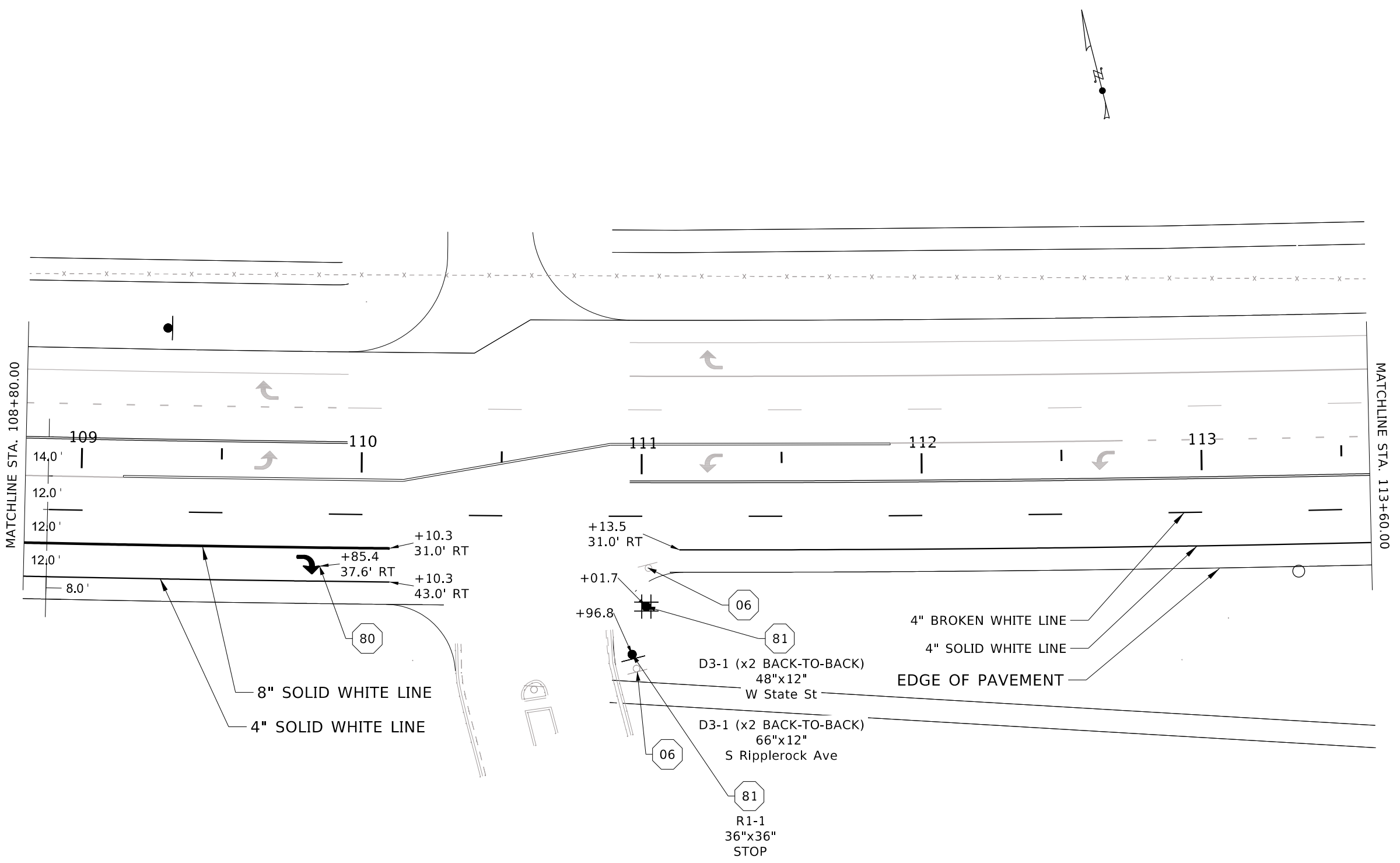
SIGNING, PAV MARKINGS, & SIGNALS
**SH-44
CAN ADA RD TO STAR RD
ALTERNATE A**

ENGLISH
COUNTY
ADA COUNTY
KEY NUMBER
203010-464
SHEET 32 OF 63

PROFESSIONAL ENGINEER
ALEX GROV

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10/28/2022
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GENERAL SHEET NOTES

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INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
109+00	RT	Type 2	White
110+00	RT	Type 2	White
111+00	LT	Type 2	White
112+00	LT	Type 2	White
113+00	LT	Type 2	White
113+06	RT	Type 1	White

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED
C. KOON
DESIGN CHECKED
E. HULSLANDER
DETAILED
C. KOON
DRAWING CHECKED
D. CARNAHAN

SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
CADD FILE NAME
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DRAWING DATE:
JULY 2022

CITY OF STAR, ID



KELLER ASSOCIATES

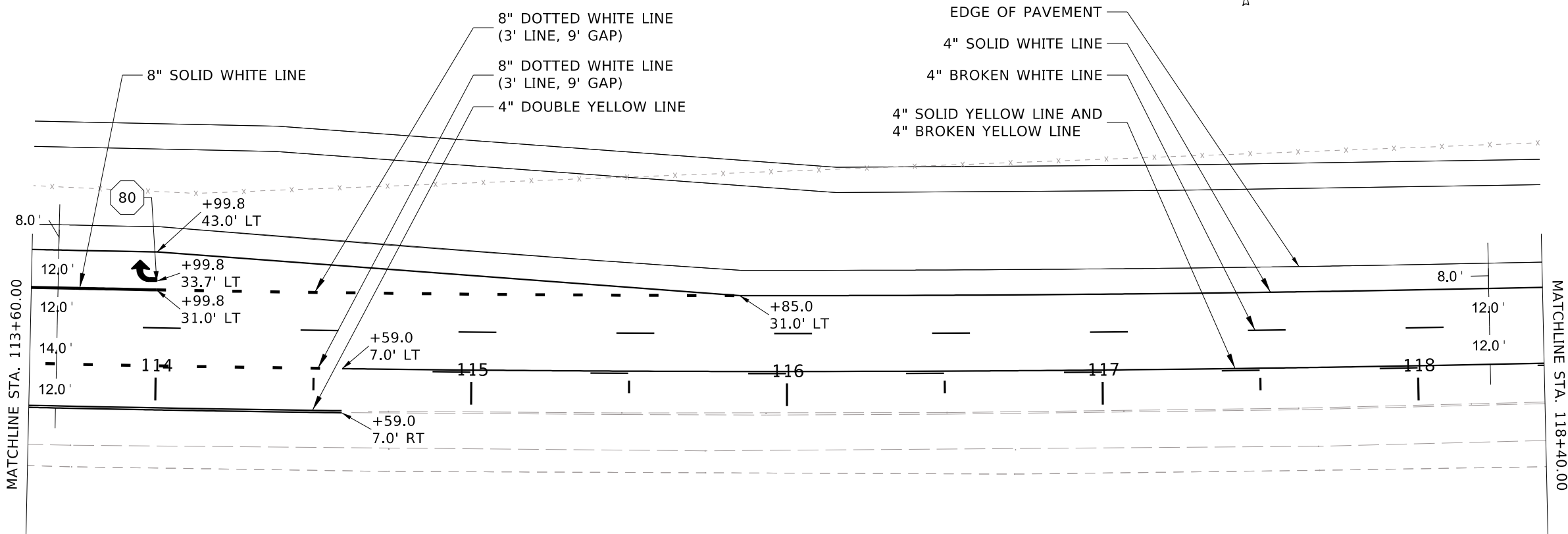
PROJECT NO.
203010-464

SIGNING, PAV MARKINGS, & SIGNALS
SH-44
CAN ADA RD TO STAR RD
ALTERNATE B

ENGLISH
COUNTY
ADA COUNTY
KEY NUMBER
203010-464
SHEET 33 OF 63

PROFESSIONAL ENGINEER
ALEX GROV
17886
10/28/2022
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GENERAL SHEET NOTES

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SHEET KEYNOTES

- 80 PLACE PAVEMENT MARKINGS-PREFORMED THERMO; RE: ITD SPECS SEC. 630

INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
114+00	LT	Type 2	White
118+34	LT	Type 1	White
118+34	RT	Type 1	White

REVISIONS			
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DESIGN CHECKED E. HULSLANDER	
DETAILED C. KOON	
DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO. 203010-464

SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD ALTERNATE A

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 34 OF 63

PROFESSIONAL ENGINEER

Alex Groves

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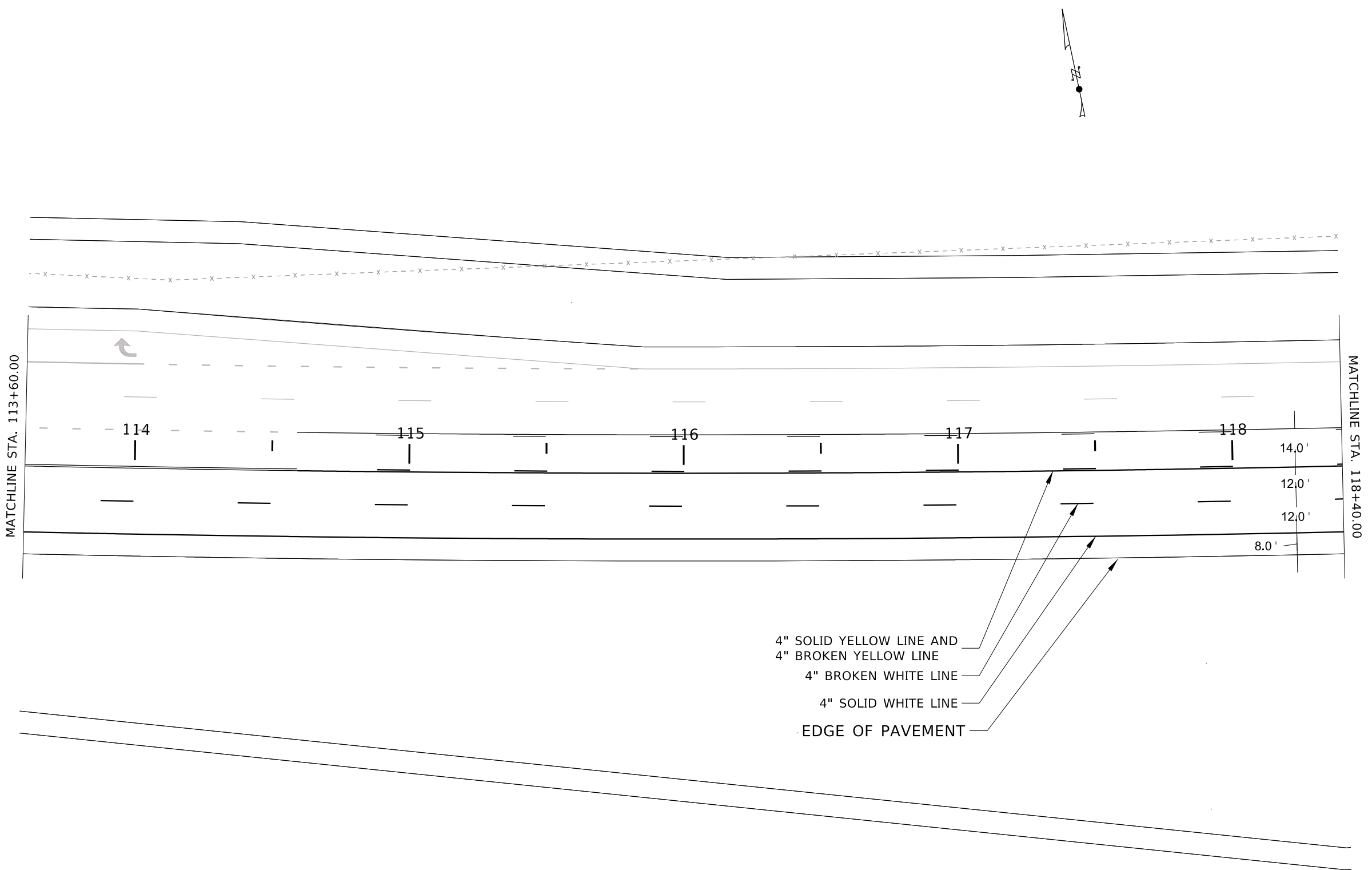
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STATE OF IDAHO

ALEX GROVES 151

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4" SOLID YELLOW LINE AND
4" BROKEN YELLOW LINE
4" BROKEN WHITE LINE
4" SOLID WHITE LINE
EDGE OF PAVEMENT

GENERAL SHEET NOTES

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STATION	OFFSET	TYPE	COLOR
114+00	LT	Type 2	White
118+34	LT	Type 1	White
118+34	RT	Type 1	White

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DETAILED	C. KOON
DRAWING CHECKED	D. CARNAHAN

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CITY OF STAR, ID



KELLER ASSOCIATES

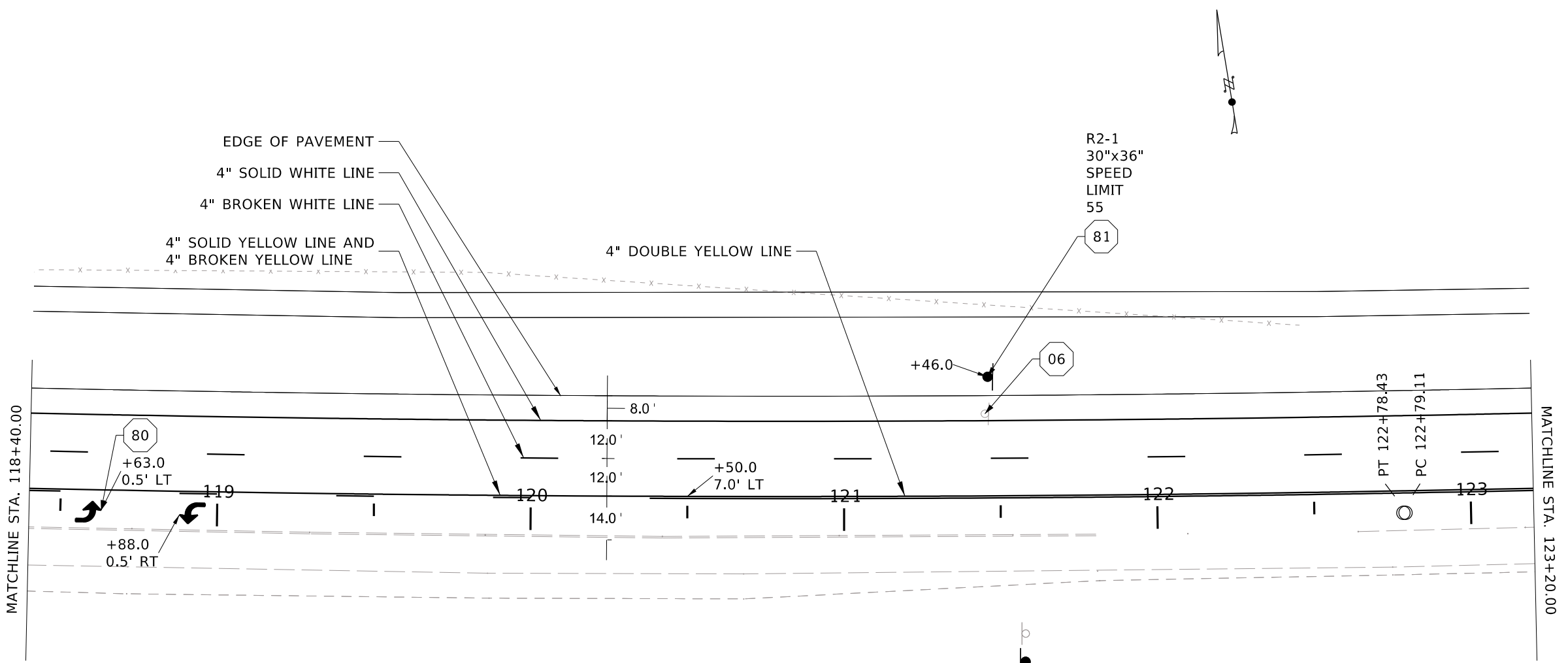
PROJECT NO.
203010-464

SIGNING, PAV MARKINGS, & SIGNALS
SH-44
CAN ADA RD TO STAR RD
ALTERNATE B

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 35 OF 63

PROFESSIONAL ENGINEER
ALEX GROV
17886
10/28/2022
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DESIGN CHECKED	E. HULSLANDER	
DETAILED	C. KOON	
DRAWING CHECKED	D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO.	203010-464
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SIGNING, PAV MARKINGS, & SIGNALS	SH-44 CAN ADA RD TO STAR RD ALTERNATE A
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 36 OF 63

PROFESSIONAL ENGINEER

17886

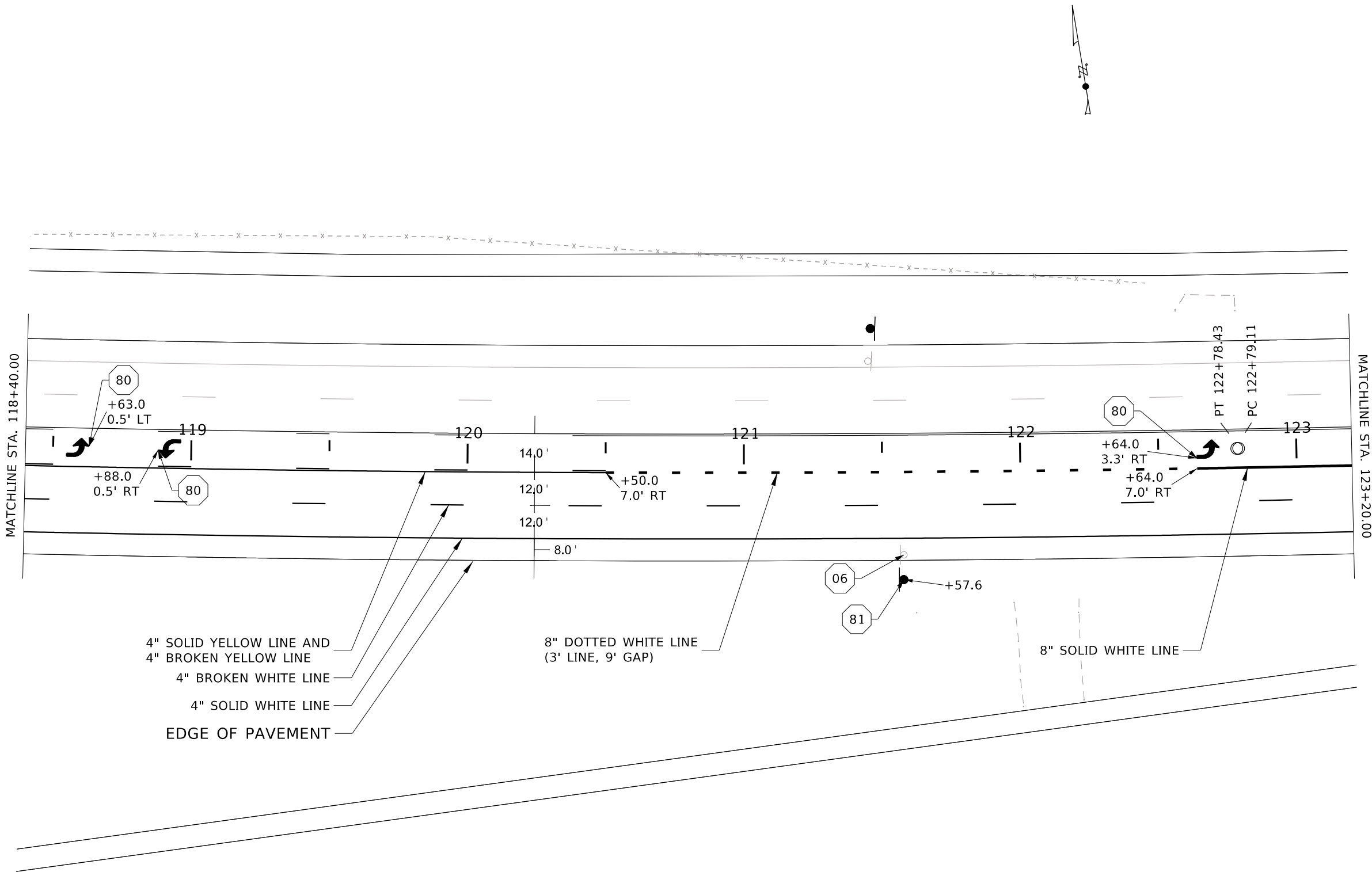
10/28/2022

STATE OF IDAHO

ALEX GROV

153

J:\203010 - City of Star\464 - Hwy 44 Improvements\PROJECT DEVELOPMENT\Plan_Sheets\Traffic\203010-464_sign_pvmk_00B.dgn



4" SOLID YELLOW LINE AND
4" BROKEN YELLOW LINE
4" BROKEN WHITE LINE
4" SOLID WHITE LINE
EDGE OF PAVEMENT

8" DOTTED WHITE LINE
(3' LINE, 9' GAP)

8" SOLID WHITE LINE

GENERAL SHEET NOTES

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6. REFERENCE ITD STD. DWG. 630-1 FOR ALL PAVEMENT MARKINGS.

Section 7, Item A.

SHEET KEYNOTES

- 06 REMOVE SIGN; RE: ITD SPECS SEC. 203
- 80 PLACE PAVEMENT MARKINGS-PREFORMED THERMO; RE: ITD SPECS SEC. 630
- 81 INSTALL SIGN; RE: ITD SPECS SEC. 616

REVISIONS			
NO.	DATE	BY	DESCRIPTION

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DESIGN CHECKED E. HULSLANDER	
DETAILED C. KOON	
DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO. 203010-464

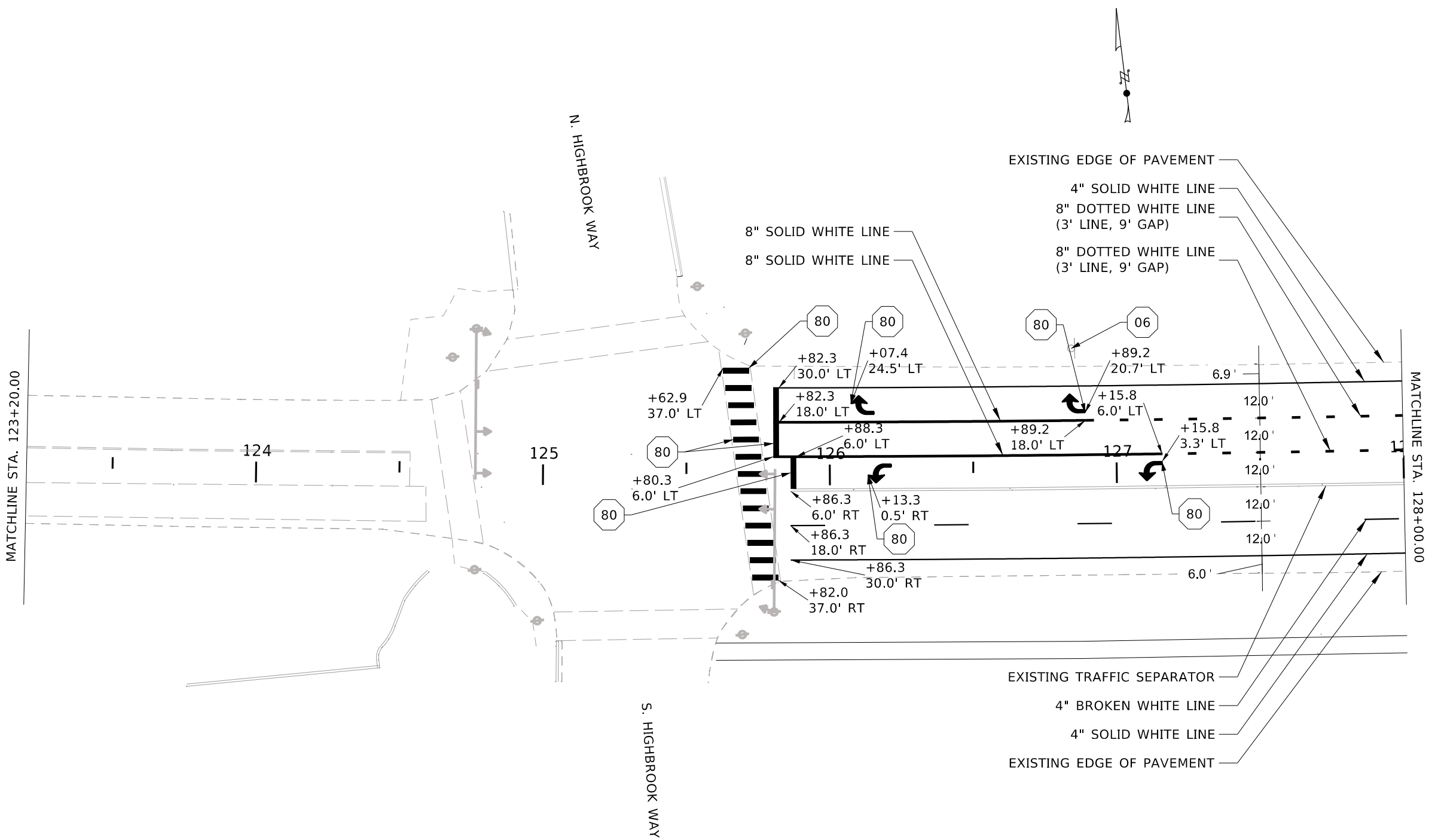
SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD ALTERNATE B

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GENERAL SHEET NOTES

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INVESTIGATE TO POTHOLE, IN A MANNER, EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH. WHERE EXISTING UTILITIES WILL BE ENCOUNTERED IT'S RECOMMENDED THAT THE CONTRACTOR HAND DIG OR VACUUM TRUCK EXCAVATE FOR MATERIAL EXCAVATION IN THESE AREAS.
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- 81 INSTALL SIGN; RE: ITD SPECS SEC. 616
- 82 REMOVE AND RESET SIGN, RE: ITD SPECS SEC. 616

INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
123+62	LT	Type 1	White
123+62	RT	Type 1	White
124+75	LT	Type 4	White
124+85	RT	Type 4	White
125+75	LT	Type 4	White
125+85	RT	Type 4	White

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DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID

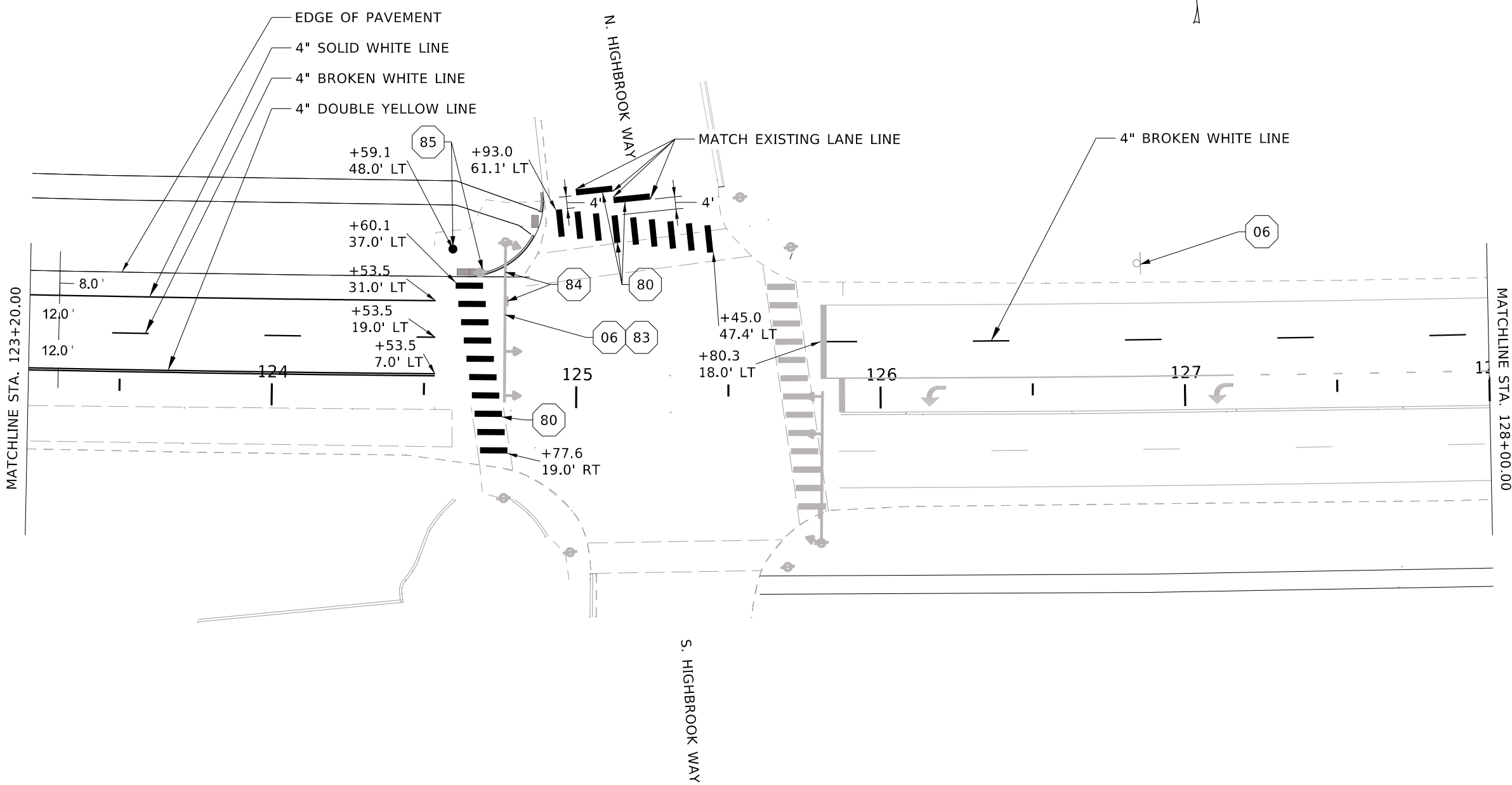
KELLER ASSOCIATES

PROJECT NO. 203010-464

SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD BASE BID
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 38 OF 63

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GENERAL SHEET NOTES

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- 82 REMOVE AND RESET SIGN, RE: ITD SPECS SEC. 616
- 83 INSTALL R/Y/G 3-SECTION SIGNAL HEAD; RE: ACHD SPEC 1131
- 84 RELOCATE MAST-ARM MOUNTED SIGN; RE: ACHD SPEC 1131
- 85 RELOCATE PEDESTRIAN SIGNAL POLE, JUNCTION BOXES, AND CONDUIT; RE: ACHD SPEC 1131

INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
123+62	LT	Type 1	White
123+62	RT	Type 1	White
124+75	LT	Type 4	White
124+85	RT	Type 4	White
125+75	LT	Type 4	White
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CITY OF STAR, ID

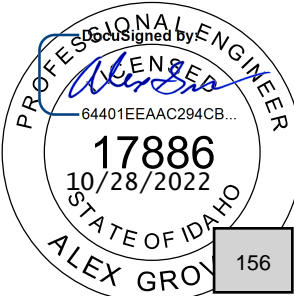


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PROJECT NO. 203010-464

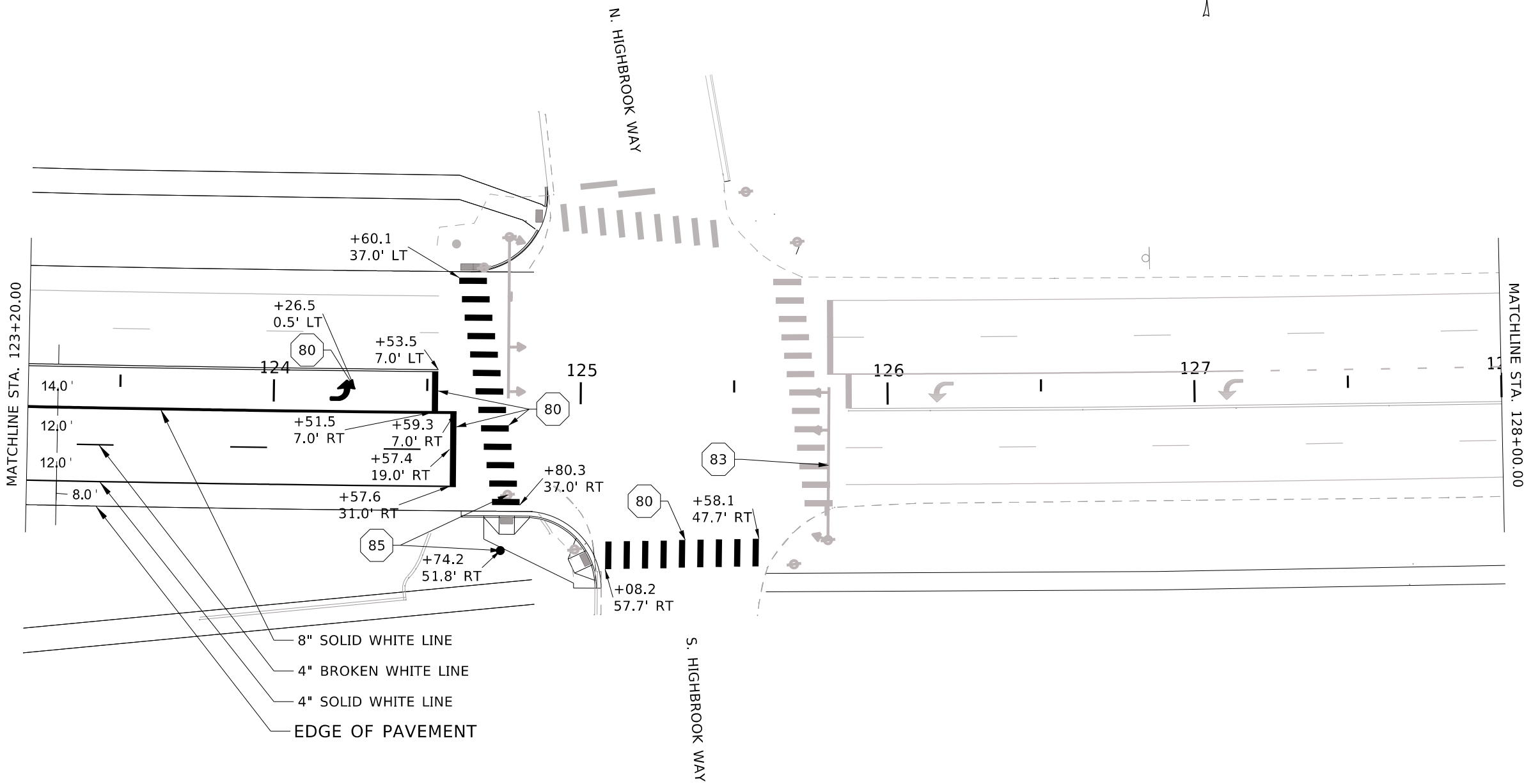
SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD ALTERNATE A

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COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 39 OF 63



PROFESSIONAL ENGINEER
ALEX GROVES
17886
10/28/2022
STATE OF IDAHO

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GENERAL SHEET NOTES

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STATION	OFFSET	TYPE	COLOR
123+62	LT	Type 1	White
123+62	RT	Type 1	White
124+75	LT	Type 4	White
124+85	RT	Type 4	White
125+75	LT	Type 4	White
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DETAILED C. KOON	
DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID

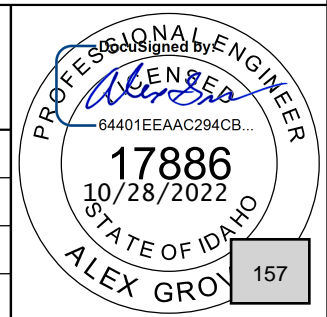


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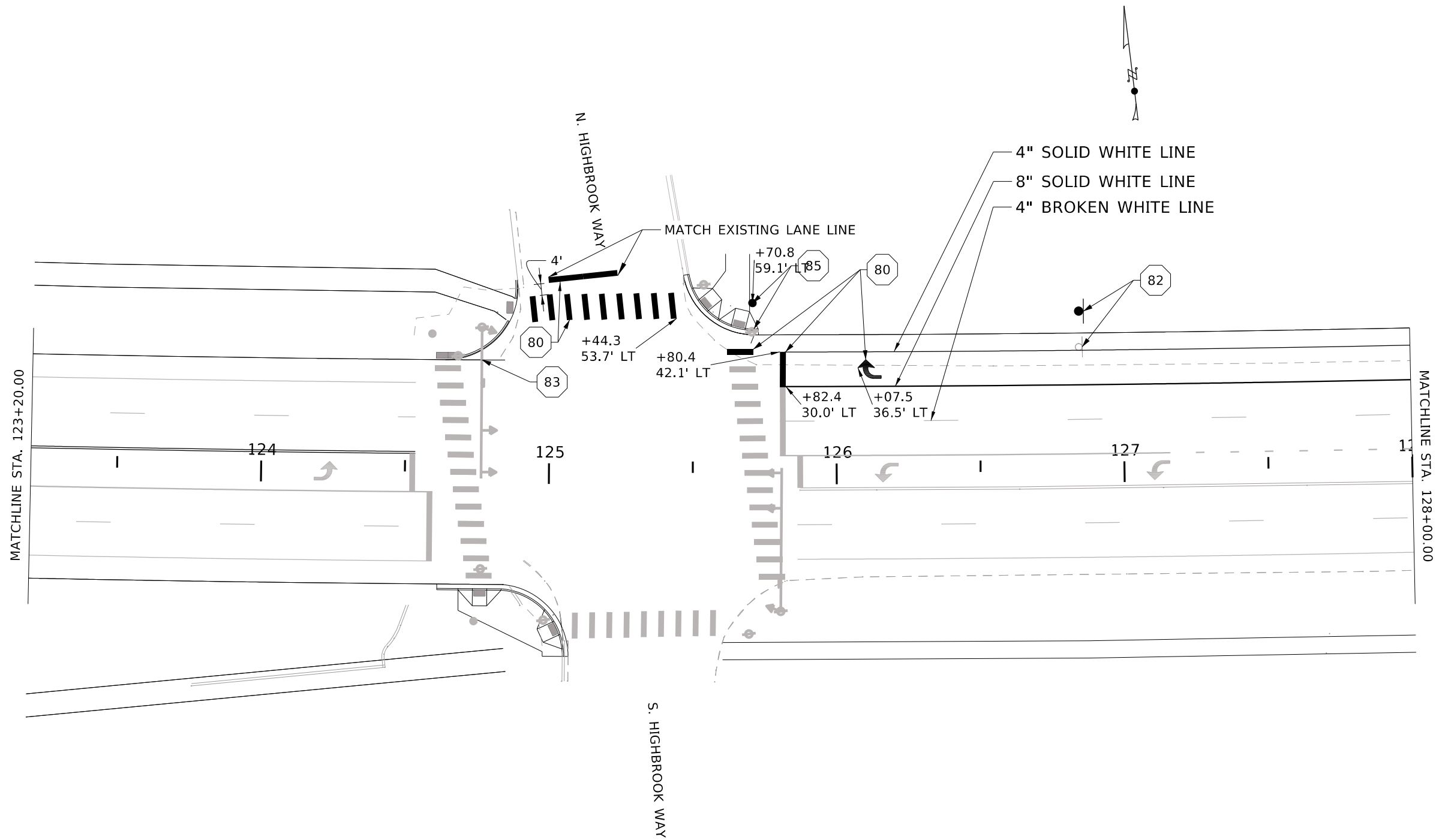
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SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD ALTERNATE B

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COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 40 OF 63



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- GENERAL SHEET NOTES**
1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES IN A MANNER, EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH. WHERE EXISTING UTILITIES WILL BE ENCOUNTERED IT'S RECOMMENDED THAT THE CONTRACTOR HAND DIG OR VACUUM TRUCK EXCAVATE FOR MATERIAL EXCAVATION IN THESE AREAS.
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 - 85 RELOCATE PEDESTRIAN SIGNAL POLE, JUNCTION BOXES, AND CONDUIT; RE: ACHD SPEC 1131

INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
123+62	LT	Type 1	White
123+62	RT	Type 1	White
124+75	LT	Type 4	White
124+85	RT	Type 4	White
125+75	LT	Type 4	White
125+85	RT	Type 4	White

REVISIONS

NO.	DATE	BY	DESCRIPTION

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DESIGN CHECKED E. HULSLANDER	CADD FILE NAME 10-464_sign_pvmk_00C.dgn
DETAILED C. KOON	DRAWING DATE: AUGUST 2022
DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO.
203010-464

SIGNING, PAV MARKINGS, & SIGNALS
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CAN ADA RD TO STAR RD
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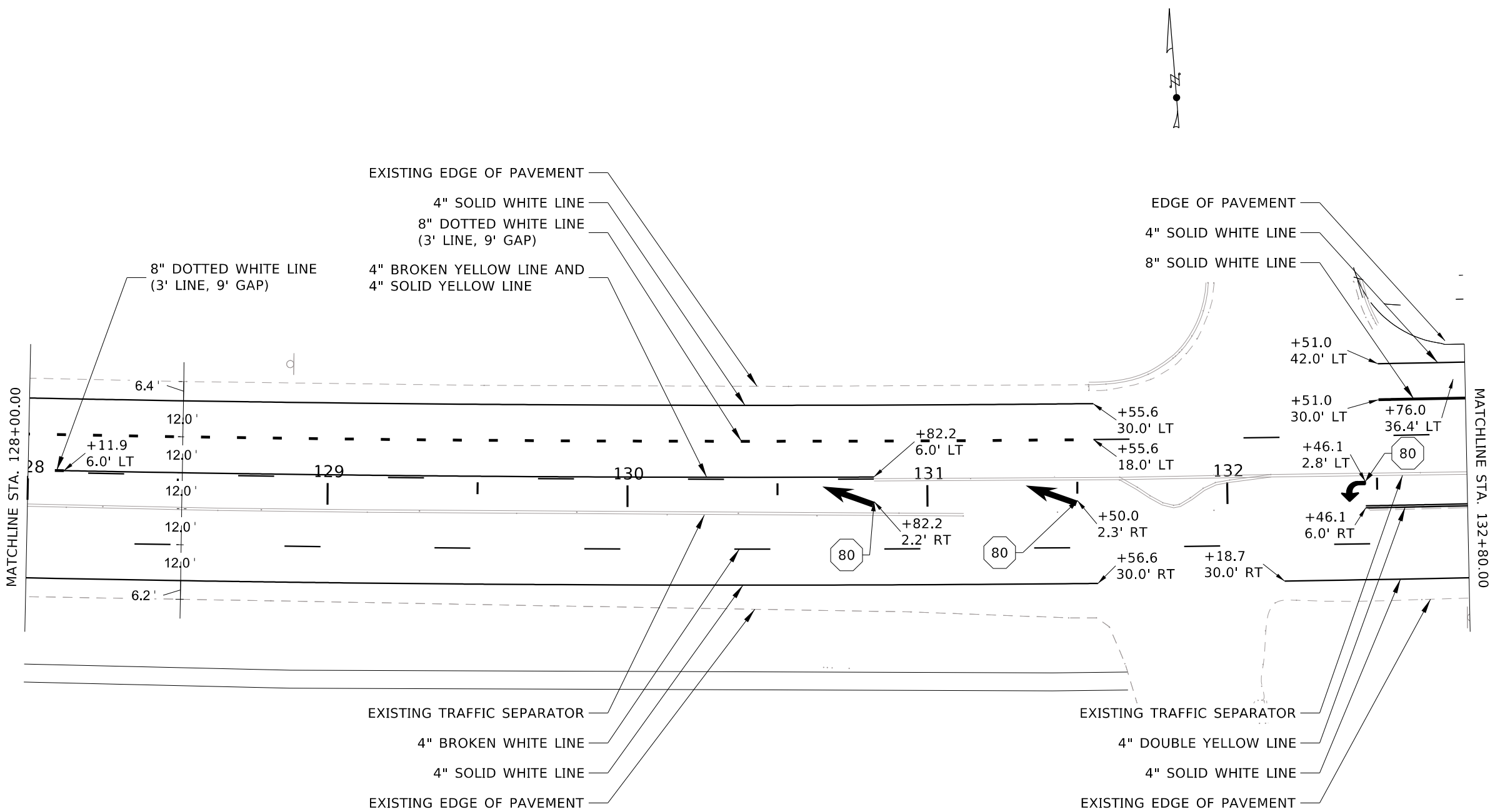
ENGLISH
COUNTY
ADA COUNTY
KEY NUMBER
203010-464
SHEET 41 OF 63

PROFESSIONAL ENGINEER
ALEX GROV

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GENERAL SHEET NOTES

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INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
128+90	LT	Type 1	White
128+90	RT	Type 1	White

REVISIONS			
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DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO. 203010-464

SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD BASE BID
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 42 OF 63

PROFESSIONAL ENGINEER

Alex Groves

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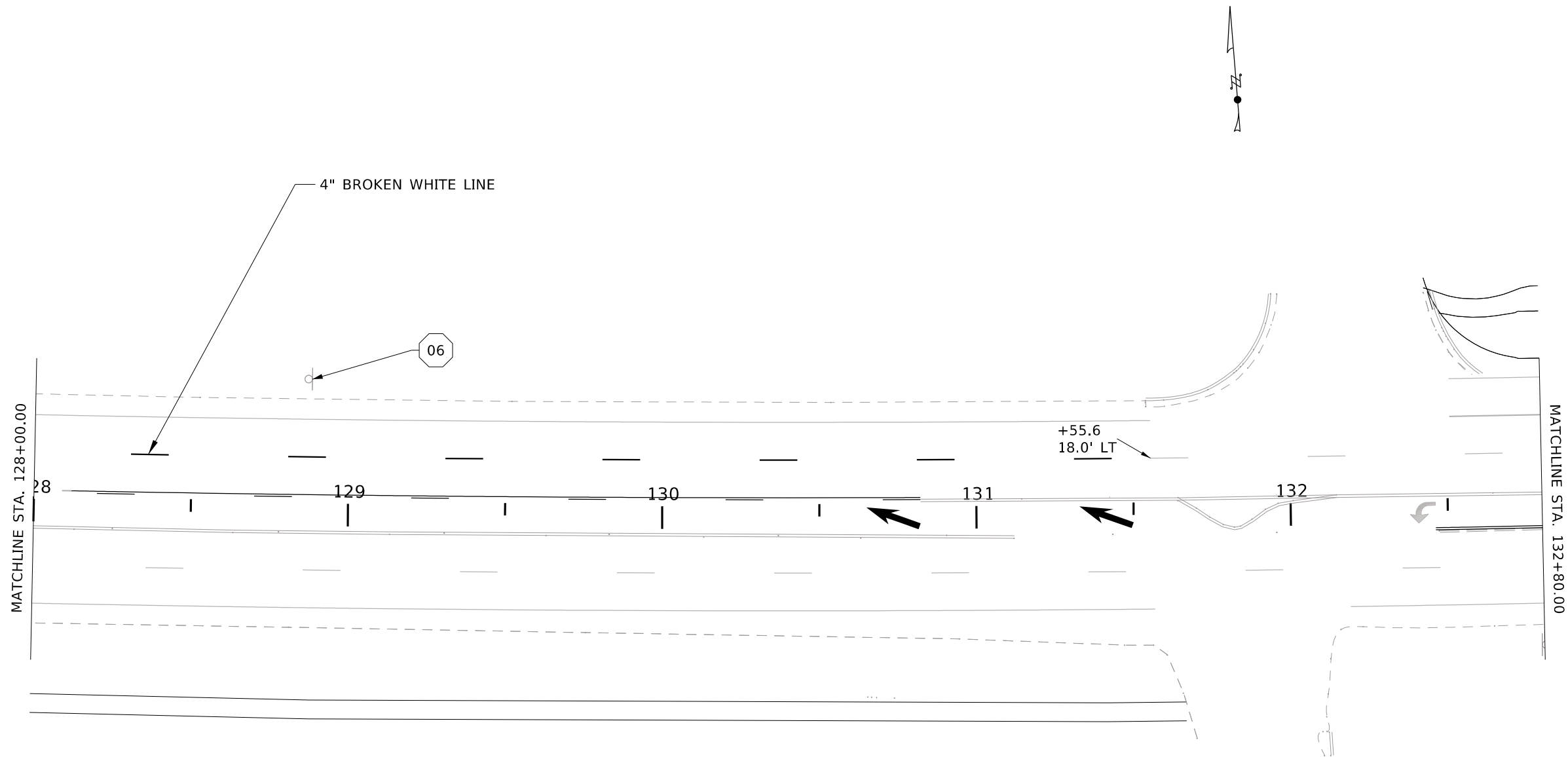
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10/28/2022

STATE OF IDAHO

ALEX GROVES 159

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GENERAL SHEET NOTES

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STATION	OFFSET	TYPE	COLOR
128+90	LT	Type 1	White
128+90	RT	Type 1	White

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SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD ALTERNATE A

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 43 OF 63

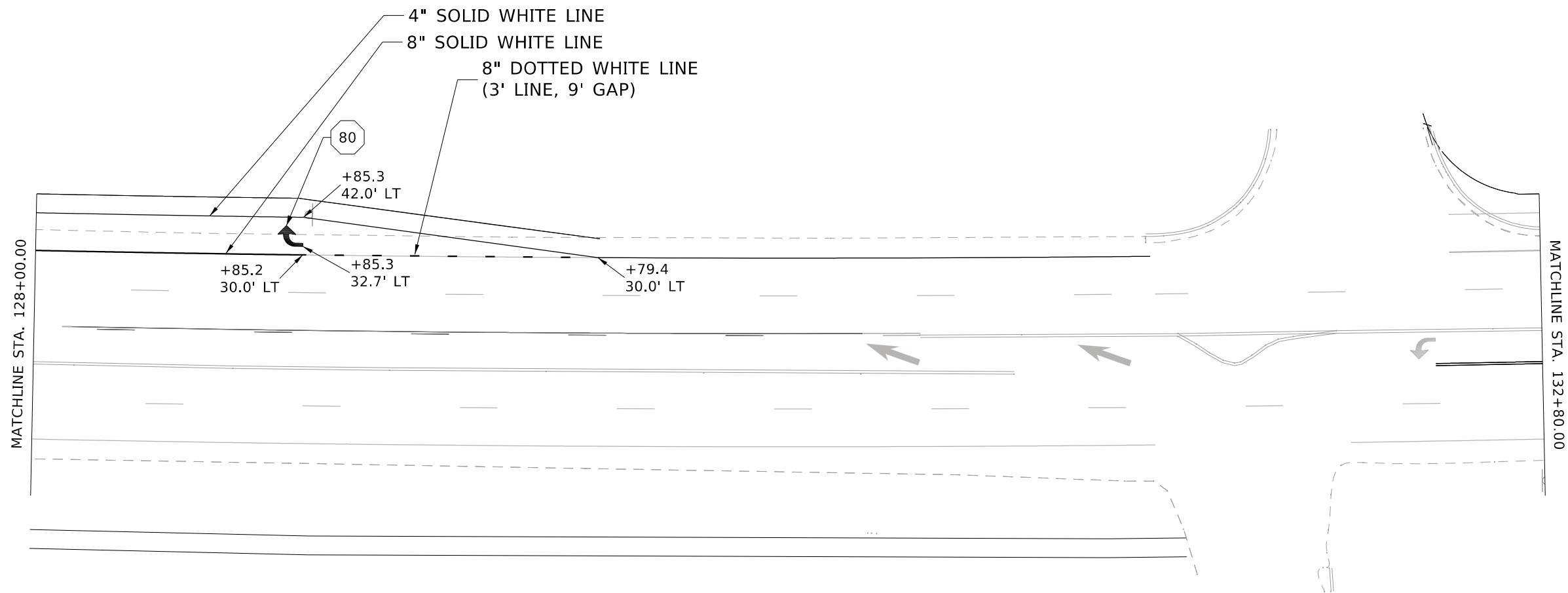
Professional Engineer
ALEX GROV

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10/28/2022

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STATION	OFFSET	TYPE	COLOR
128+90	LT	Type 1	White
128+90	RT	Type 1	White

REVISIONS			
NO.	DATE	BY	DESCRIPTION

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DESIGN CHECKED	E. HULSLANDER
DETAILED	C. KOON
DRAWING CHECKED	D. CARNAHAN

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CITY OF STAR, ID



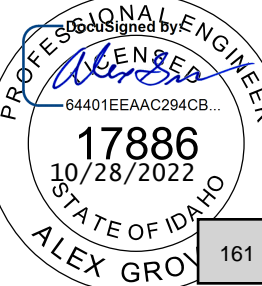
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PROJECT NO.
203010-464

SIGNING, PAV MARKINGS, & SIGNALS
SH-44
CAN ADA RD TO STAR RD
ALTERNATE C

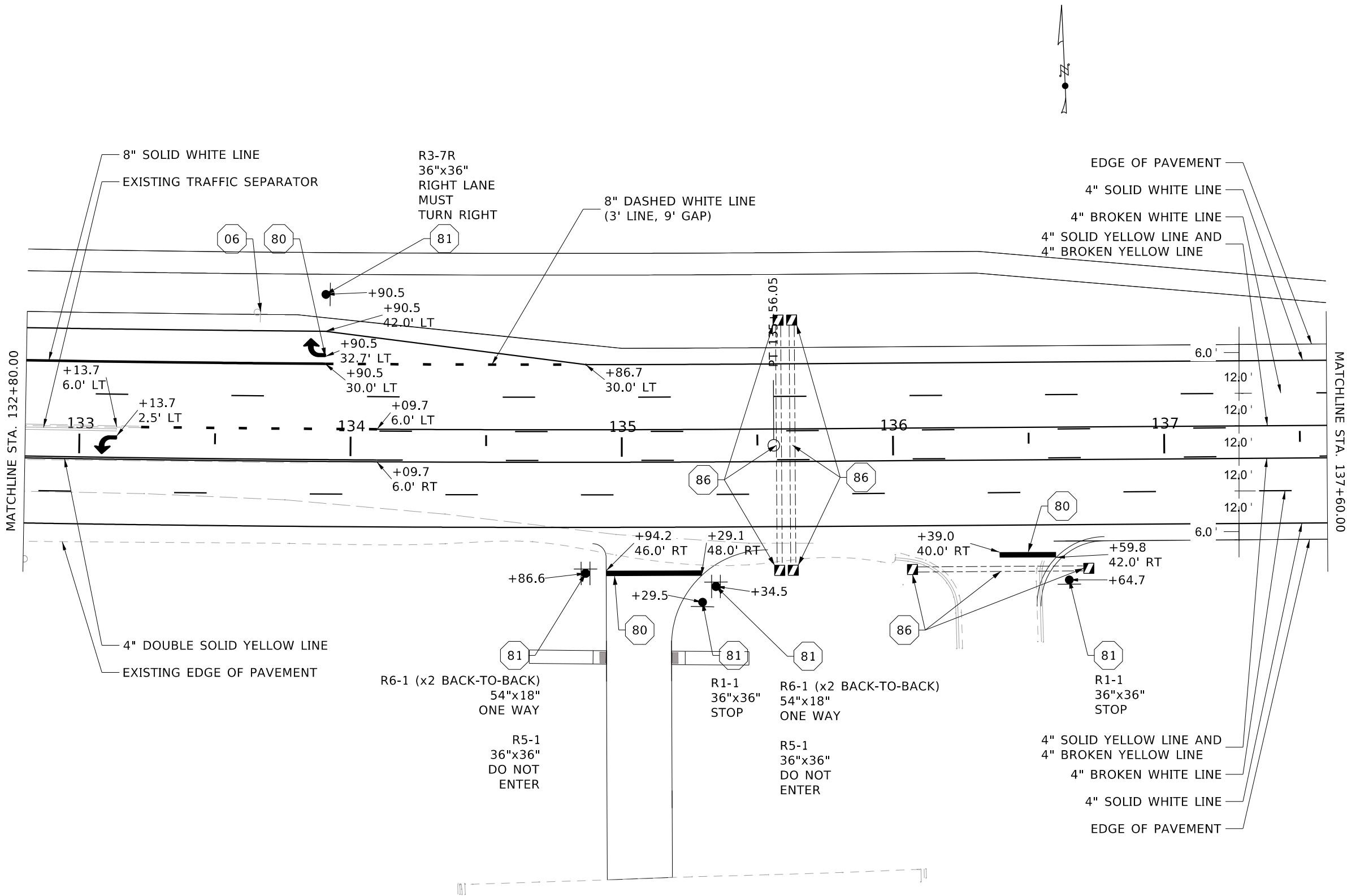
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COUNTY ADA COUNTY
KEY NUMBER 203010-464
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PROFESSIONAL ENGINEER
ALEX GROV



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- 81 INSTALL SIGN; RE: ITD SPECS SEC. 616
- 86 INSTALL JUNCTION BOXES AND CONDUIT FOR FUTURE EMERGENCY SIGNAL; RE: ACHD SPEC 1131

INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
132+90	LT	Type 2	White
133+90	LT	Type 2	White
134+18	LT	Type 1	White
134+18	RT	Type 1	White
134+85	RT	Type 4	White
135+50	RT	Type 4	White

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CITY OF STAR, ID

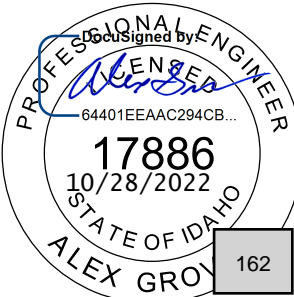


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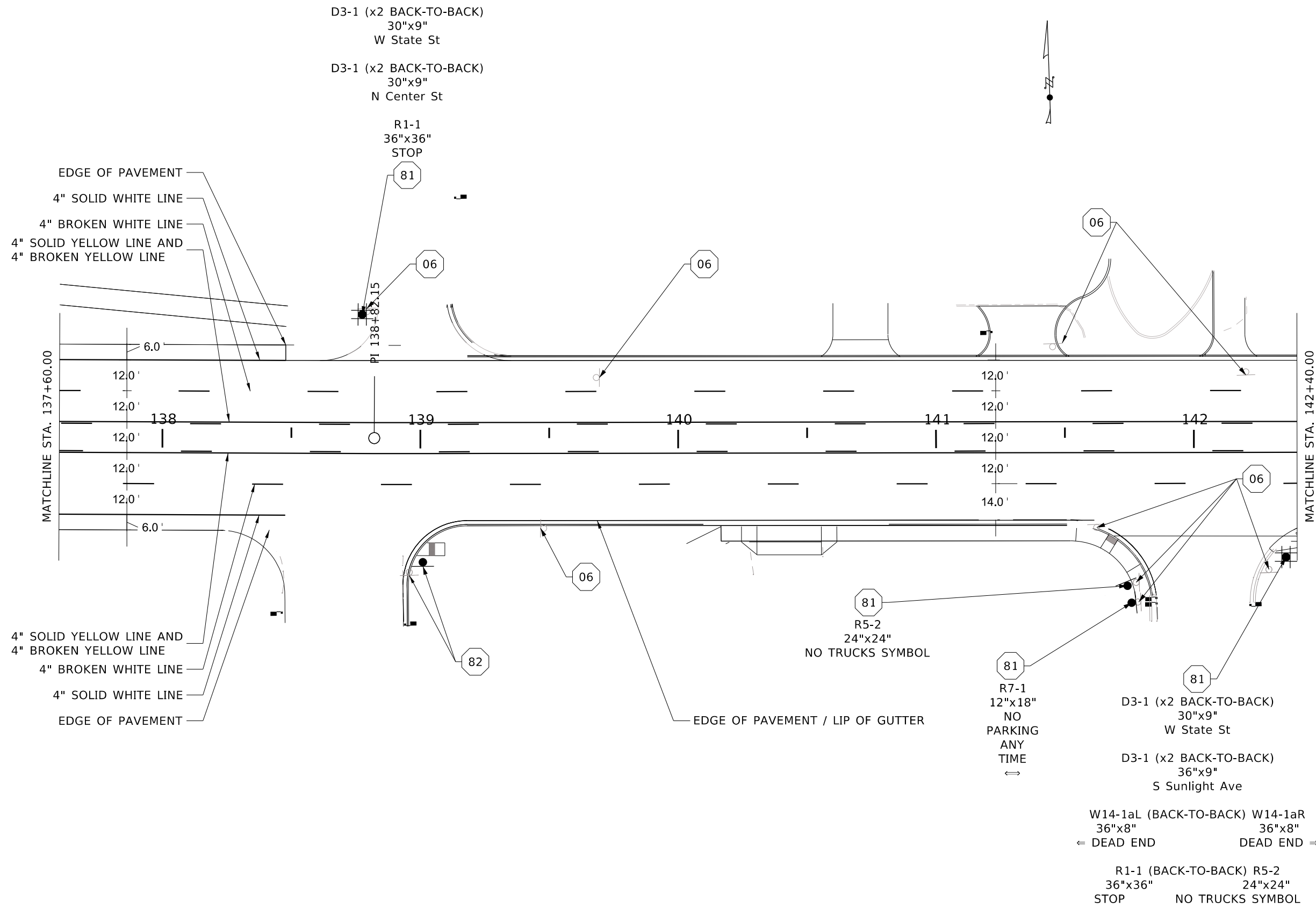
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SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD BASE BID
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GENERAL SHEET NOTES

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5. CONTRACTOR RESPONSIBLE TO CLEAR AND GRUB SITE AS NEEDED FOR COMPLETION OF WORK. REMOVE AND DISPOSE OF EXCESS SPOILS OFFSITE IN ACCORDANCE WITH LOCAL AND STATE LAWS/REQUIREMENTS.
6. REFERENCE ITD STD. DWG. 630-1 FOR ALL PAVEMENT MARKINGS.

SHEET KEYNOTES

- 06 REMOVE SIGN; RE: ITD SPECS SEC. 203
- 81 INSTALL SIGN; RE: ITD SPECS SEC. 616

INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
138+25	RT	Type 4	White
138+60	LT	Type 4	White
139+15	RT	Type 4	White
139+35	LT	Type 4	White
139+46	LT	Type 1	White
139+46	RT	Type 1	White
141+50	RT	Type 4	White

REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED C. KOON	SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
DESIGN CHECKED E. HULSLANDER	CADD FILE NAME 203010-464_sign_pvmk_00.dgn
DETAILED C. KOON	DRAWING DATE: JULY 2022
DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO. 203010-464

SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD BASE BID
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 46 OF 63

PROFESSIONAL ENGINEER

Alex Groves

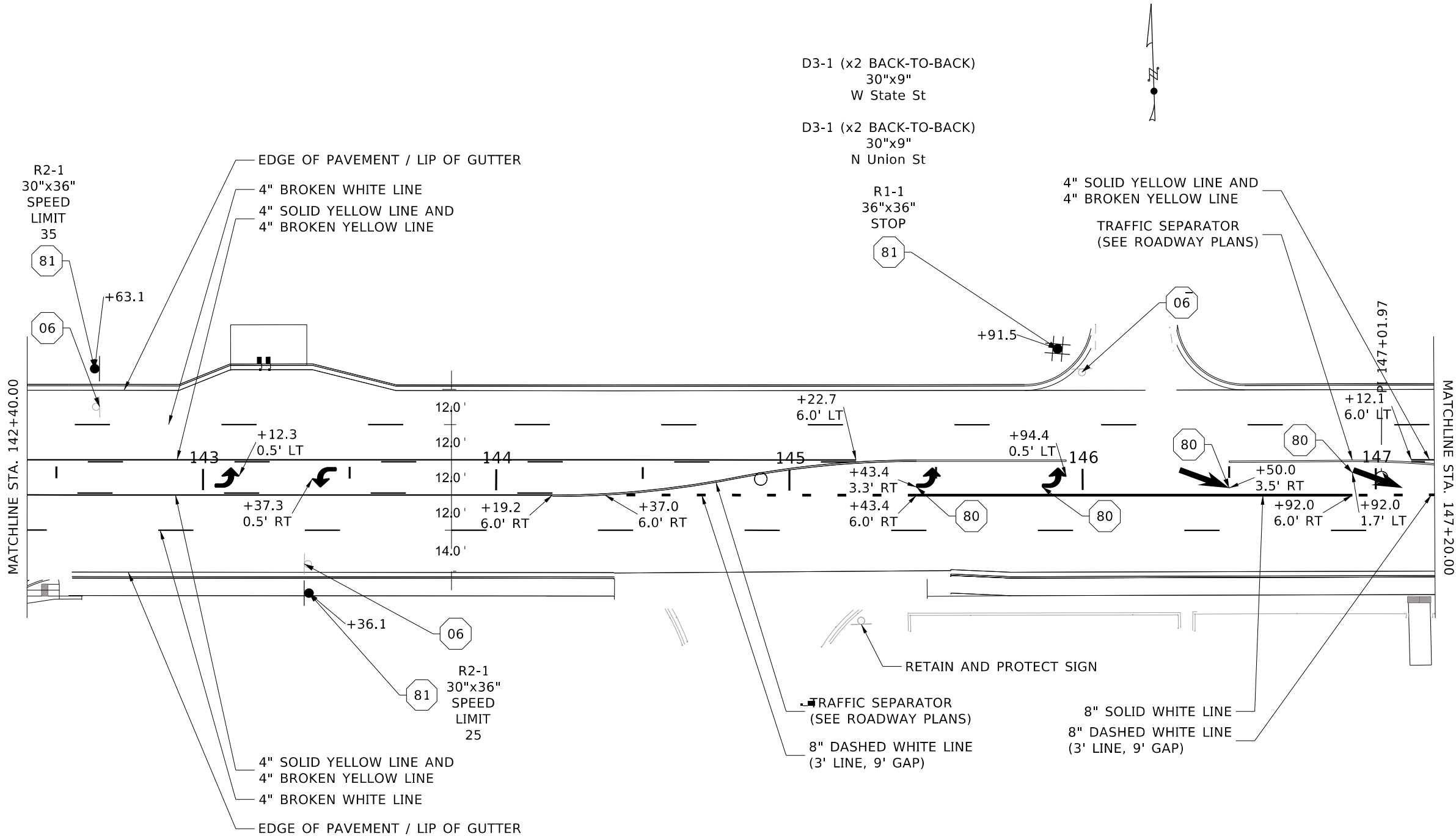
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STATE OF IDAHO

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GENERAL SHEET NOTES

1. PRIOR TO CONSTRUCTION TO POTHOLE, IN A MANNER, EXISTING UTILITIES TO VERIFY LOCATION AND DEPTH. WHERE EXISTING UTILITIES WILL BE ENCOUNTERED IT'S RECOMMENDED THAT THE CONTRACTOR HAND DIG OR VACUUM TRUCK EXCAVATE FOR MATERIAL EXCAVATION IN THESE AREAS.
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- 06 REMOVE SIGN; RE: ITD SPECS SEC. 203
- 80 PLACE PAVEMENT MARKINGS-PERFORMED THERMO; RE: ITD SPECS SEC. 630
- 81 INSTALL SIGN; RE: ITD SPECS SEC. 616

INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
142+55	RT	Type 4	White
144+74	LT	Type 1	White
144+22	RT	Type 1	White
145+80	LT	Type 4	White
146+55	LT	Type 4	White

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CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO. 203010-464

SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD BASE BID
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 47 OF 63

PROFESSIONAL ENGINEER

Alex Groves

17886

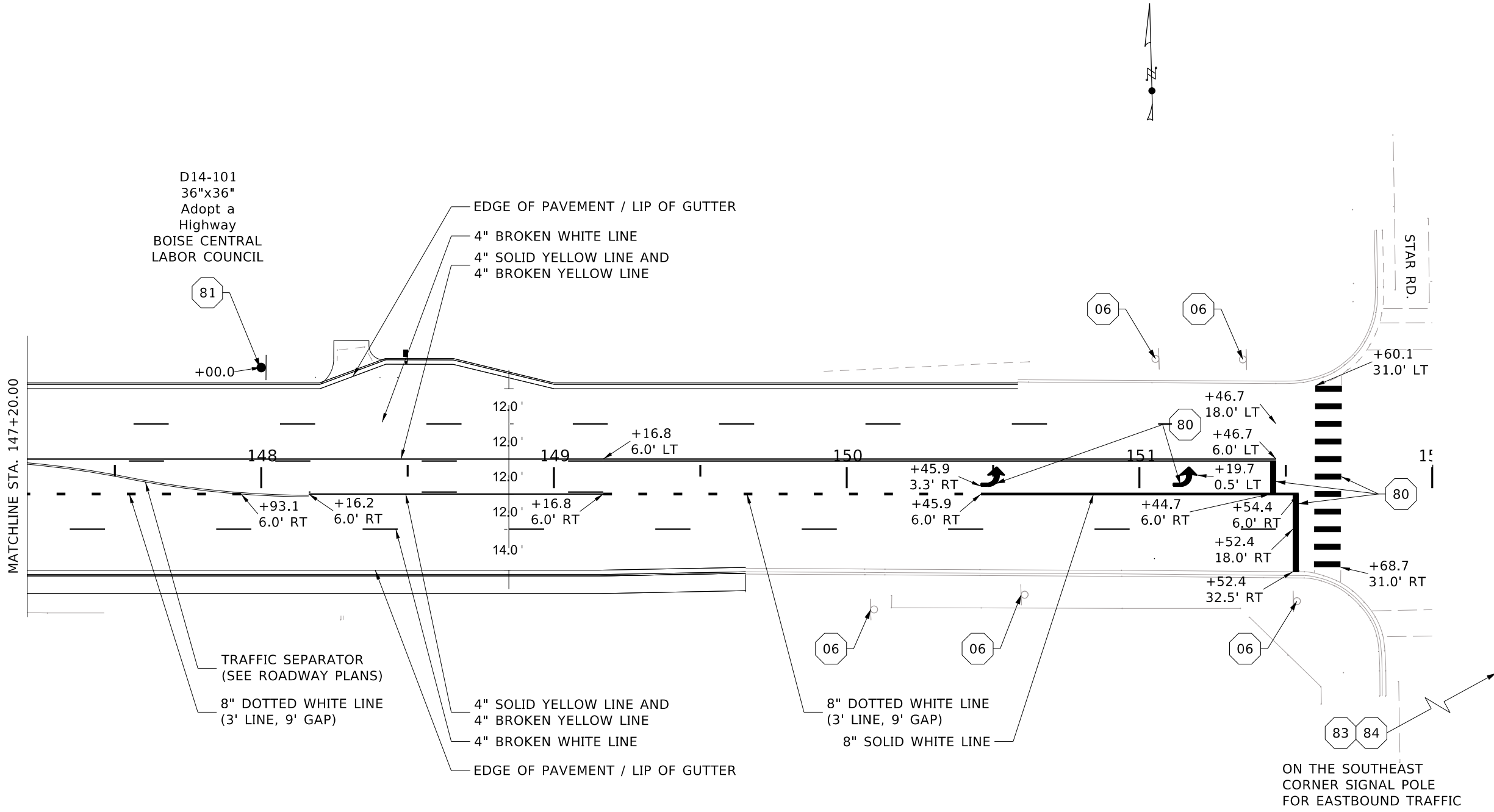
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STATE OF IDAHO

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GENERAL SHEET NOTES

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- 80 PLACE PAVEMENT MARKINGS-PERFORMED THERMO; RE: ITD SPECS SEC. 630
- 81 INSTALL SIGN; RE: ITD SPECS SEC. 616
- 83 INSTALL R/Y/G 3-SECTION SIGNAL HEAD; RE: ACHD SPEC 1131
- 84 RELOCATE MAST-ARM MOUNTED SIGN; RE: ACHD SPEC 1131

INSTALL GREEN FLEXIBLE DELINEATORS PER ITD STD. DWG. 617-1 AT THE LOCATIONS LISTED BELOW.

STATION	OFFSET	TYPE	COLOR
150+02	LT	Type 1	White
150+02	RT	Type 1	White

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DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID

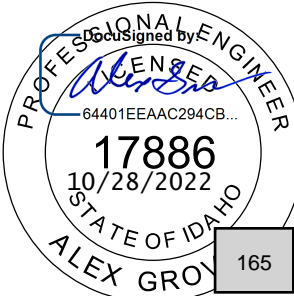


KELLER ASSOCIATES

PROJECT NO. 203010-464

SIGNING, PAV MARKINGS, & SIGNALS SH-44 CAN ADA RD TO STAR RD BASE BID
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 48 OF 63

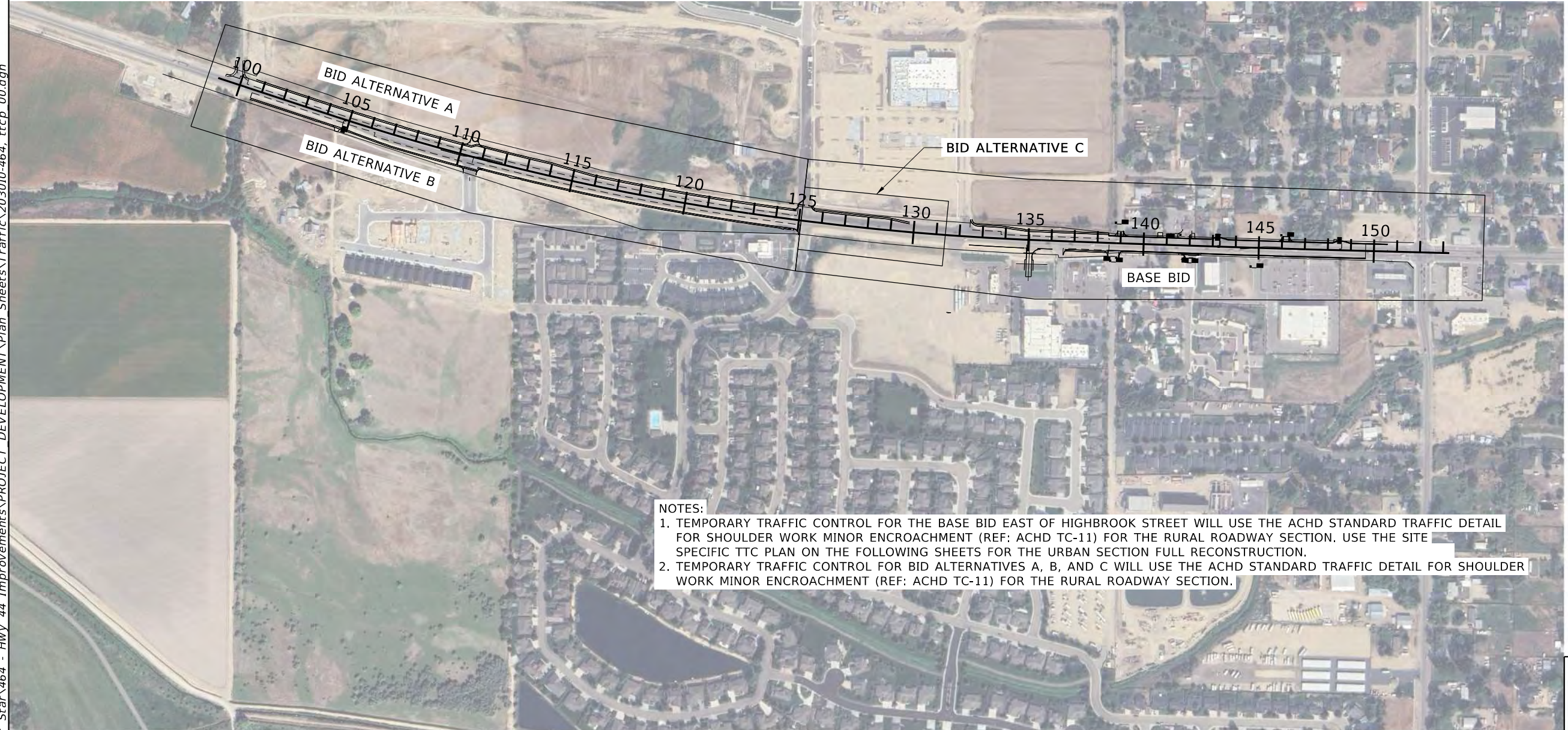


Section 7, Item A.

GENERAL NOTES:

1. ALL TAPERS LENGTHS, AND WORKZONE TRAFFIC CONTROL SIGNING AND DEVICES, SHALL MEET OR EXCEED THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AS ADOPTED BY THE STATE.
2. ALL SIGNS AND CHANNELIZING DEVICES SHALL BE NEW OR LIKE NEW CONDITION AND SHALL MEET THE RETRO REFLECTIVITY REQUIREMENTS OF THE IDAHO TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION SUBSECTION 712.02.
3. TRAFFIC CONTROL OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE IDAHO TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, SUBSECTION 105.14 D -MAINTENANCE OF TRAFFIC.
4. SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL IF THE TRAFFIC CONTROL PLAN AS SHOWN DOES NOT CONFORM TO THE CONTRACTOR'S METHOD OF OPERATION.
5. ALL TEMPORARY SPEED LIMITS SIGNS SHALL HAVE TYPE B HIGH-INTENSITY FLASHING WARNING LIGHT IN OPERATION AT ALL TIMES. FLASHING WARNING LIGHTS SHALL BE MOUNTED NO GREATER THAN 12 INCHES ABOVE SIGN.
6. ALL DISTANCES BETWEEN SIGNS ARE A MINIMUM AND MAY REQUIRE SPACING ADJUSTMENTS IN THE FIELD DEPENDING ON PREVAILING CONDITIONS, AND/OR CONFLICTS WITH EXISTING SIGNS.
7. SIGNS AND SIGN STANDS NOT IN USE SHALL BE REMOVED OR LAID DOWN AT LEAST 15 FEET FROM THE RIGHT OF WAY.
8. CONFLICTING SIGNS SHALL BE COVERED BY AND APPROVED METHOD OR REMOVED DURING CONSTRUCTION. BLACK PLASTIC WILL NOT BE ACCEPTED.

9. SIGNS 48"X48" OR LARGER SHALL REQUIRE TWO POSTS IF TYPE E-2 STEEL POSTS ARE UTILIZED; OR ONE TYPE D-3 WOOD SIGN POST INSTALLED PER STANDARD DRAWING 616-10.
10. THE MOUNTING HEIGHT FOR ALL POST MOUNTED SIGNS SHALL BE MINIMUM OF 5 FT ABOVE THE LEVEL OF THE ROADWAY MEASURED FROM THE BOTTOM OF THE SIGN TO THE TOP OF THE PAVEMENT SURFACE.
11. THE MOUNTING HEIGHT FOR ALL SIGNS MOUNTED ON TEMPORARY SIGN STANDS SHALL BE A MINIMUM OF 5 FT ABOVE THE LEVEL OF THE ROADWAY MEASURED FROM THE BOTTOM OF THE SIGN TO THE TOP OF THE PAVEMENT SURFACE. TEMPORARY SIGN STANDS SHALL BE PERMITTED ONLY WHERE SIGNS ARE PLACED AT THE SAME LOCATION LESS THAN THREE (3) DAYS.
12. HAVE A CERTIFIED WORK SITE TRAFFIC CONTROL SUPERVISOR ON SITE TO DIRECT THE INSTALLATION AND MODIFICATIONS OF THE TEMPORARY TRAFFIC CONTROL.
13. PORTABLE CHANGEABLE MESSAGE SIGNS (PCMS) SHALL BE PLACED AT THE PROJECT LIMITS TO ADVISE MOTORISTS OF THE UPCOMING ROAD WORK. PCMS SHALL BE SET IN PLACE SEVEN (7) DAYS BEFORE WORK BEGINS ON EACH ROAD SECTION, AND WILL CONTINUE TO BE USED AS DIRECTED DURING CONSTRUCTION TO PROVIDE INFORMATION TO THE MOTORISTS.
14. COORDINATE WORK WITH THE AUTHORITIES HAVING JURISDICTION OVER THE LOCAL ROADS IMPACTED BY THIS PROJECT, INCLUDING OBTAINING ANY REQUIRED PERMITS.
15. TUBULAR MARKERS WITH DOUBLE BASES SHALL BE USED IN TANGENT SECTIONS UNLESS SHOWN OTHERWISE. DRUMS CLASS B SHALL BE USED IN ALL TAPERS.
16. WORK AREAS WILL BE PERMITTED ON ONE SIDE OF THE ROADWAY AT A TIME AND SHOULD BE COORDINATED WITH THE URBAN SECTION CONSTRUCTION PHASING.



NOTES:
 1. TEMPORARY TRAFFIC CONTROL FOR THE BASE BID EAST OF HIGHBROOK STREET WILL USE THE ACHD STANDARD TRAFFIC DETAIL FOR SHOULDER WORK MINOR ENCROACHMENT (REF: ACHD TC-11) FOR THE RURAL ROADWAY SECTION. USE THE SITE SPECIFIC TTC PLAN ON THE FOLLOWING SHEETS FOR THE URBAN SECTION FULL RECONSTRUCTION.
 2. TEMPORARY TRAFFIC CONTROL FOR BID ALTERNATIVES A, B, AND C WILL USE THE ACHD STANDARD TRAFFIC DETAIL FOR SHOULDER WORK MINOR ENCROACHMENT (REF: ACHD TC-11) FOR THE RURAL ROADWAY SECTION.

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REVISIONS			
NO.	DATE	BY	DESCRIPTION

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DESIGN CHECKED	E. HULSLANDER	
DETAILED	C. KOON	CADD FILE NAME 203010-464, ttcp_00.dgn
DRAWING CHECKED	D. CARNAHAN	DRAWING DATE: AUGUST 2022

IDAHO TRANSPORTATION DEPARTMENT

YOUR Safety → YOUR Mobility → YOUR Economic Opportunity

KELLER ASSOCIATES

PROJECT NO.	203010-464
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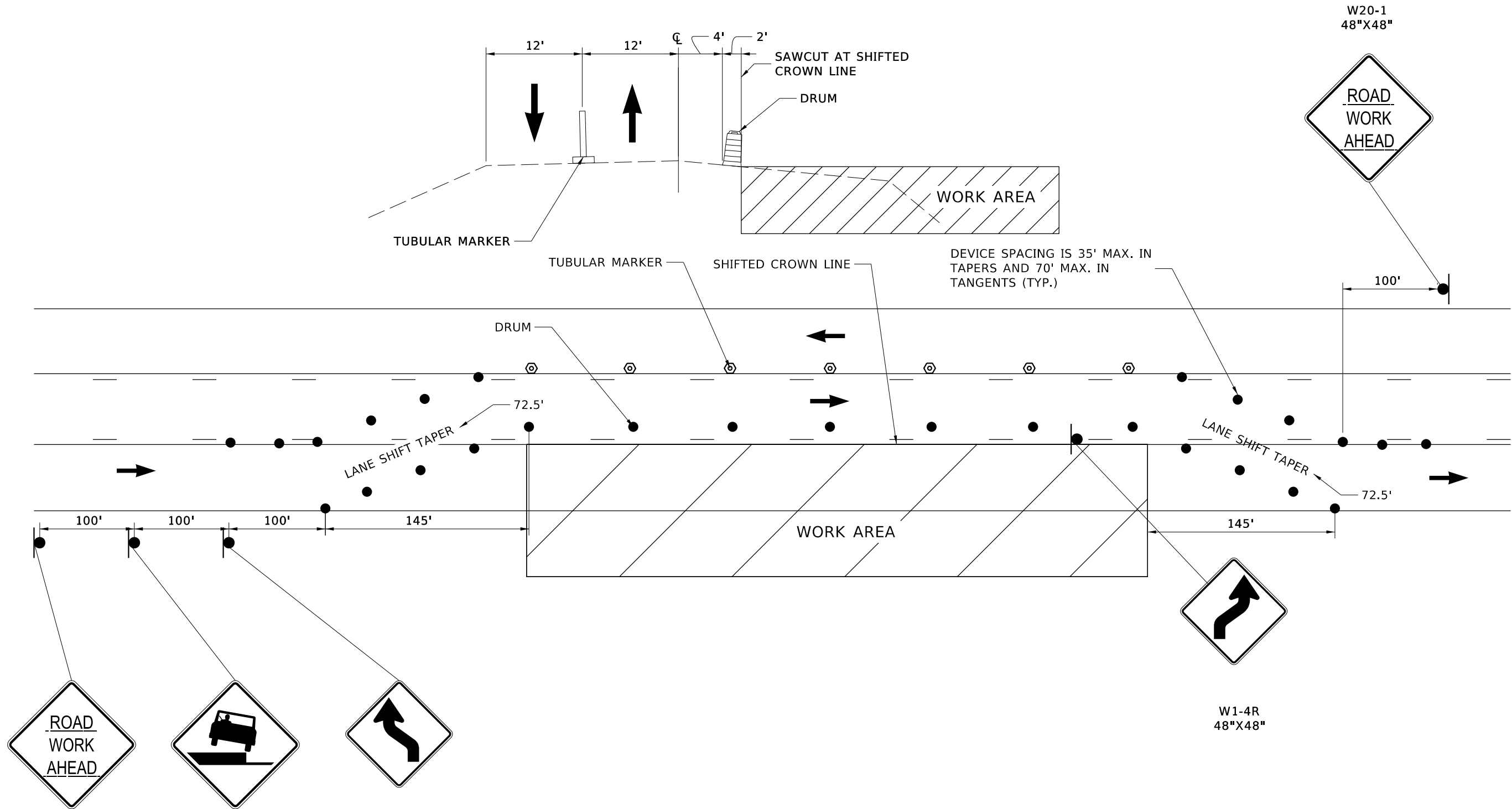
TEMPORARY TRAFFIC CONTROL	SH-44 CAN ADA RD TO STAR RD
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 49 OF 63

PROFESSIONAL ENGINEER
 REGISTERED
 4ADDE40148BD426...
9210
 10/28/2022
 STATE OF IDAHO
 ERIC HULSLANDER
 166

PHASE 1 URBAN SECTION TEMPORARY TRAFFIC CONTROL

Section 7, Item A.



NOTES:

- EXISTING PAVEMENT CONSISTS OF (1) TRAVEL LANE IN EACH DIRECTION PLUS A CENTER TURN LANE. PHASE 1 WILL MOVE TRAFFIC TO WB LANE AND CENTER TURN LANE WHILE EB LANE BECOMES WORK AREA FOR CONSTRUCTION SOUTH OF SHIFTED CROWN LINE.
- PHASE 2 WILL UTILIZE NEWLY CONSTRUCTED PAVEMENT FOR (1) TRAVEL LANE IN EACH DIRECTION WHILE THE REMAINING EXISTING PAVEMENT IS THE WORK AREA FOR CONSTRUCTION NORTH OF SHIFTED CROWN LINE. IT IS IMPORTANT PHASES ARE IN THIS ORDER DUE TO SEEPAGE BED CONSTRUCTION ON THE SOUTH.

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DESIGN CHECKED	E. HULSLANDER	
DETAILED	C. KOON	CADD FILE NAME
DRAWING CHECKED	D. CARNAHAN	DRAWING DATE: MAY 2022

IDAHO TRANSPORTATION DEPARTMENT

KELLER ASSOCIATES

PROJECT NO.	203010-464
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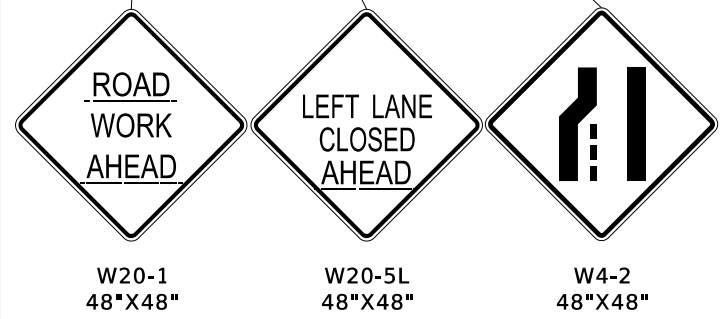
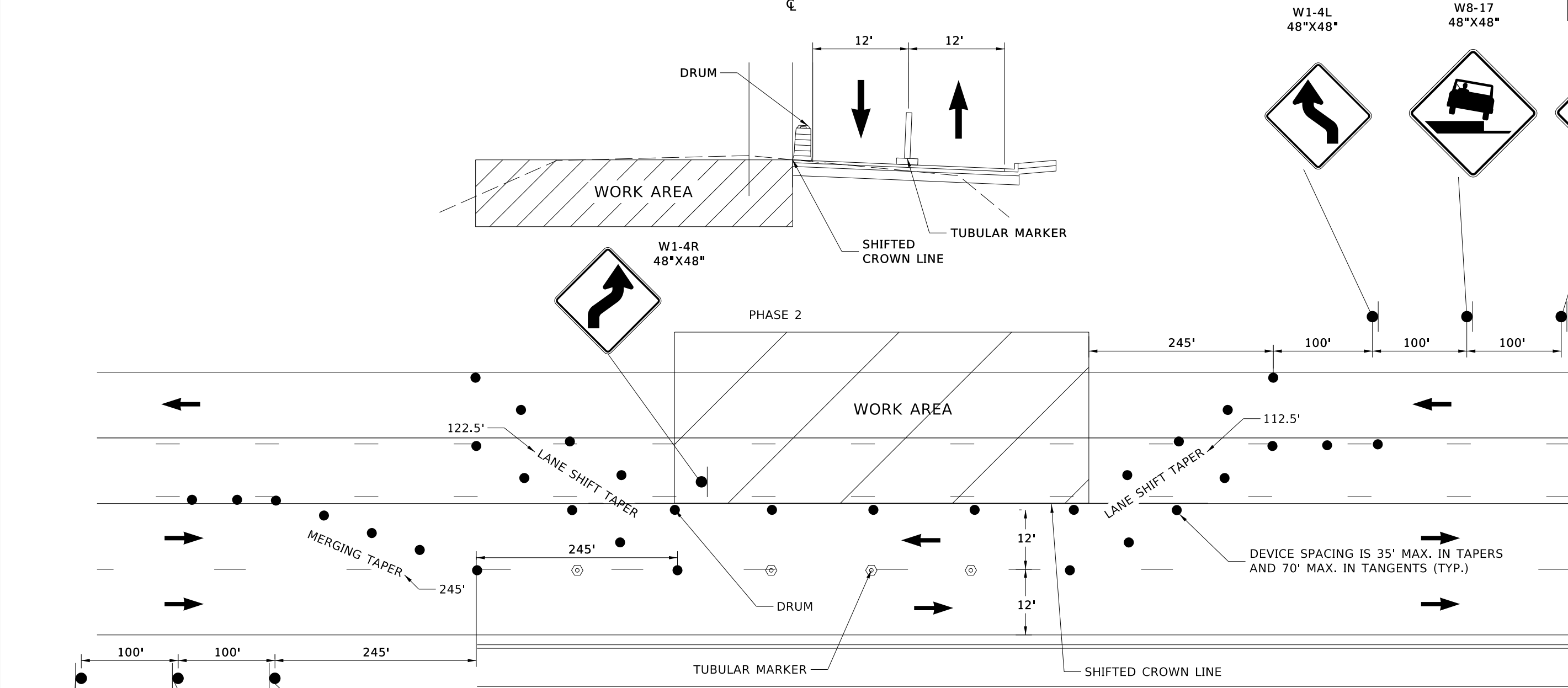
TEMPORARY TRAFFIC CONTROL	SH-44 CAN ADA RD TO STAR RD
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 50 OF 63

PROFESSIONAL ENGINEER
REGISTERED
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9210
10/28/2022
STATE OF IDAHO
ERIC HULSLANDER
167

PHASE 2 URBAN SECTION TEMPORARY TRAFFIC CONTROL

Section 7, Item A.



- NOTES:**
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 - THE PHASE 2 TEMPORARY TRAFFIC CONTROL PLAN SHOWN ASSUMES THE RURAL SECTION HAS ALREADY BEEN CONSTRUCTED. IF THIS IS NOT THE CASE THEN THE MERGING TAPER MAY BE REPLACED WITH A SHIFTING TAPER.

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REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED C. KOON
 DESIGN CHECKED E. HULSLANDER
 DETAILED C. KOON
 DRAWING CHECKED D. CARNAHAN

SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
 CADD FILE NAME 203010-464_tcp_00.dgn
 DRAWING DATE: MAY 2022

IDAHO TRANSPORTATION DEPARTMENT
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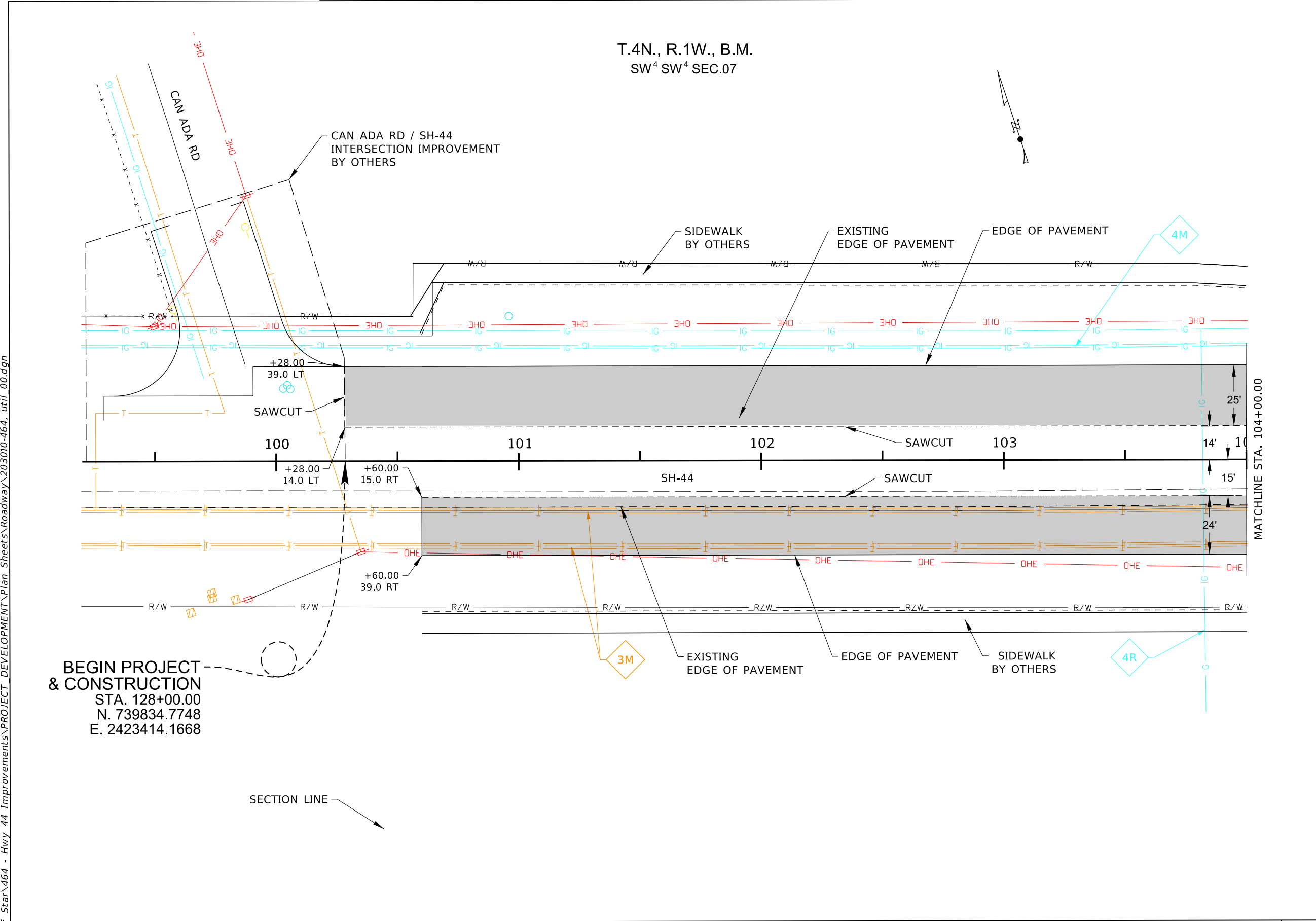
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TEMPORARY TRAFFIC CONTROL SH-44 CAN ADA RD TO STAR RD

ENGLISH
 COUNTY ADA COUNTY
 KEY NUMBER 203010-464
 SHEET 51 OF 63

PROFESSIONAL ENGINEER
 REGISTERED
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 9210
 10/28/2022
 STATE OF IDAHO
 ERIC HULSLANDER
 168

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T.4N., R.1W., B.M.
 SW⁴ SW⁴ SEC.07

GENERAL SHEET NOTES

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Section 7, Item A.

SHEET KEYNOTES

- 1 IDAHO POWER
- 2 ACHD POWER
- 3 LUMEN FIBER LINE
- 4 INTERMOUNTAIN GAS LINE
- 5 CITY OF STAR WATER LINE
- 6 SPARKLIGHT FIBER LINE

- M MOVE, RELOCATE UTILITY AT COMPANY EXPENSE
- R RETAIN AND PROTECT UTILITY

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DESIGN CHECKED	E. HULSLANDER
DETAILED	C. KOON
DRAWING CHECKED	D. CARNAHAN

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CITY OF STAR, ID

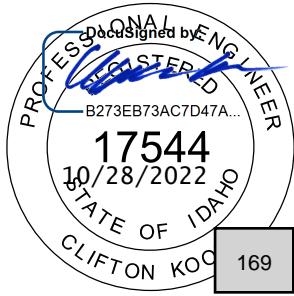


KELLER ASSOCIATES

PROJECT NO.	203010-464
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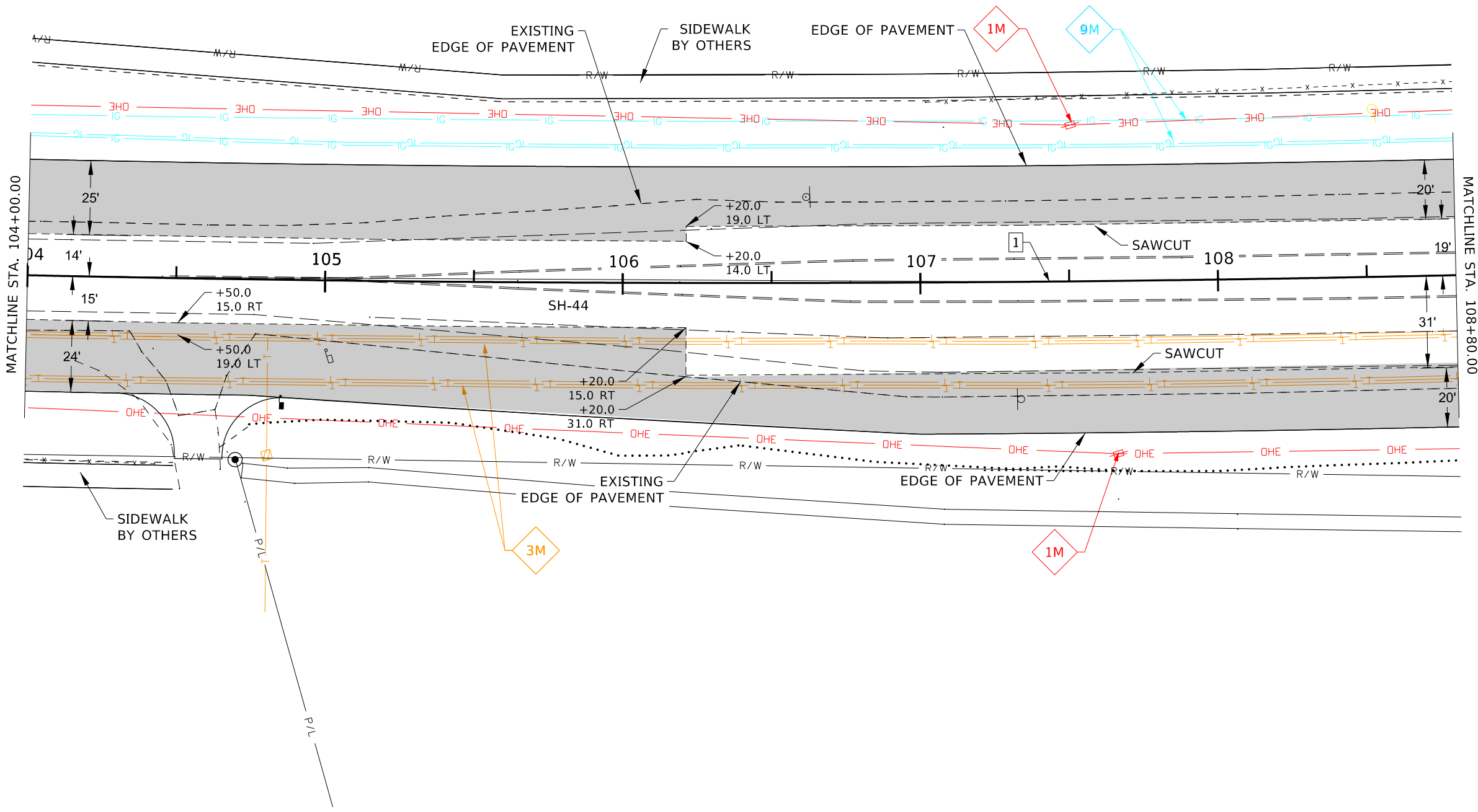
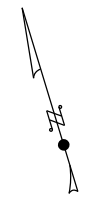
PLAN SHEET	SH-44 CAN ADA RD TO STAR RD
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 52 OF 63



PROFESSIONAL ENGINEER
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17544
 10/28/2022
 STATE OF IDAHO
 CLIFTON KOON

T.4N., R.1W., B.M.
SW⁴ SW⁴ SEC.07



GENERAL SHEET NOTES

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DESIGN CHECKED	E. HULSLANDER	
DETAILED	C. KOON	
DRAWING CHECKED	D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO.	203010-464
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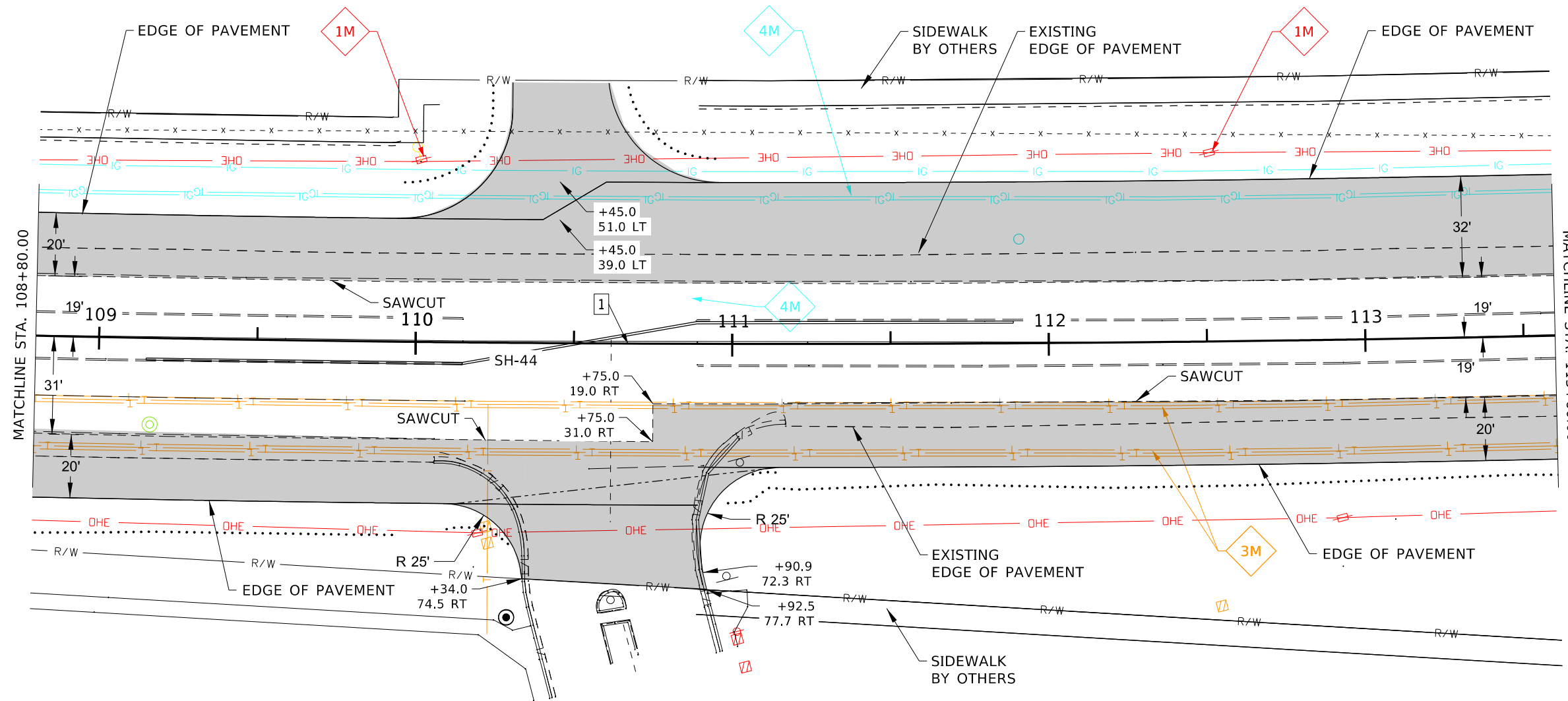
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ENGLISH
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PROFESSIONAL ENGINEER
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STATE OF IDAHO
CLIFTON KOC 170

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CITY OF STAR, ID



KELLER ASSOCIATES

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203010-464

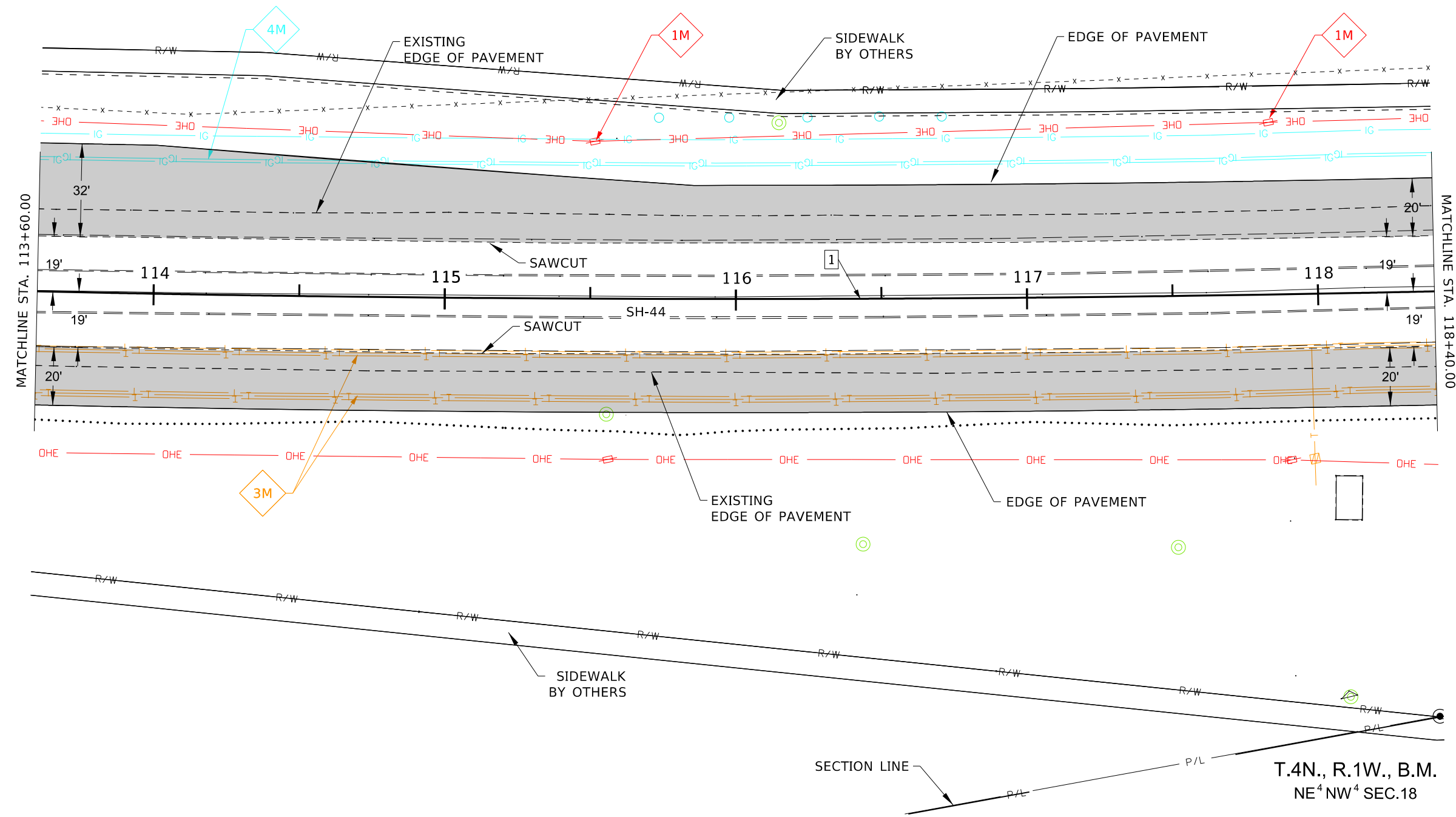
PLAN SHEET
SH-44
CAN ADA RD TO STAR RD

ENGLISH
COUNTY
ADA COUNTY
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SHEET 54 OF 63



PROFESSIONAL ENGINEER
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Section 7, Item A.

SHEET KEYNOTES

- 1 IDAHO POWER
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- 6 SPARKLIGHT FIBER LINE

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- R RETAIN AND PROTECT UTILITY

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REVISIONS			
NO.	DATE	BY	DESCRIPTION

DESIGNED C. KOON	SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY CADD FILE NAME 203010-464_util_00.dgn DRAWING DATE: JULY 2022
DESIGN CHECKED E. HULSLANDER	
DETAILED C. KOON	
DRAWING CHECKED D. CARNAHAN	

CITY OF STAR, ID



KELLER ASSOCIATES

PROJECT NO. 203010-464

PLAN SHEET SH-44 CAN ADA RD TO STAR RD
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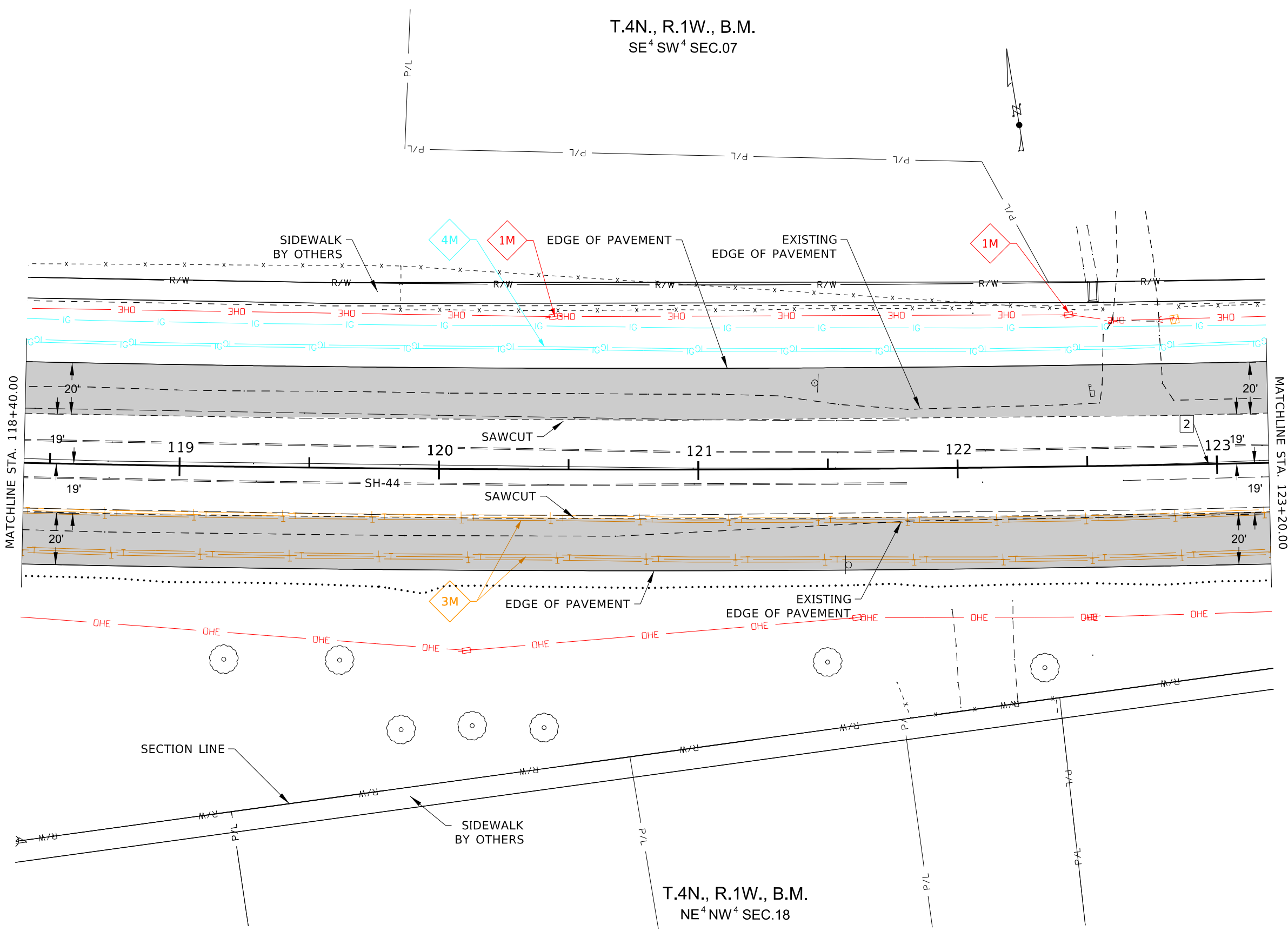
ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 55 OF 63



PROFESSIONAL ENGINEER
REGISTERED
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17544
10/28/2022
STATE OF IDAHO
CLIFTON KOC 172

T.4N., R.1W., B.M.
NE⁴ NW⁴ SEC.18

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GENERAL SHEET NOTES

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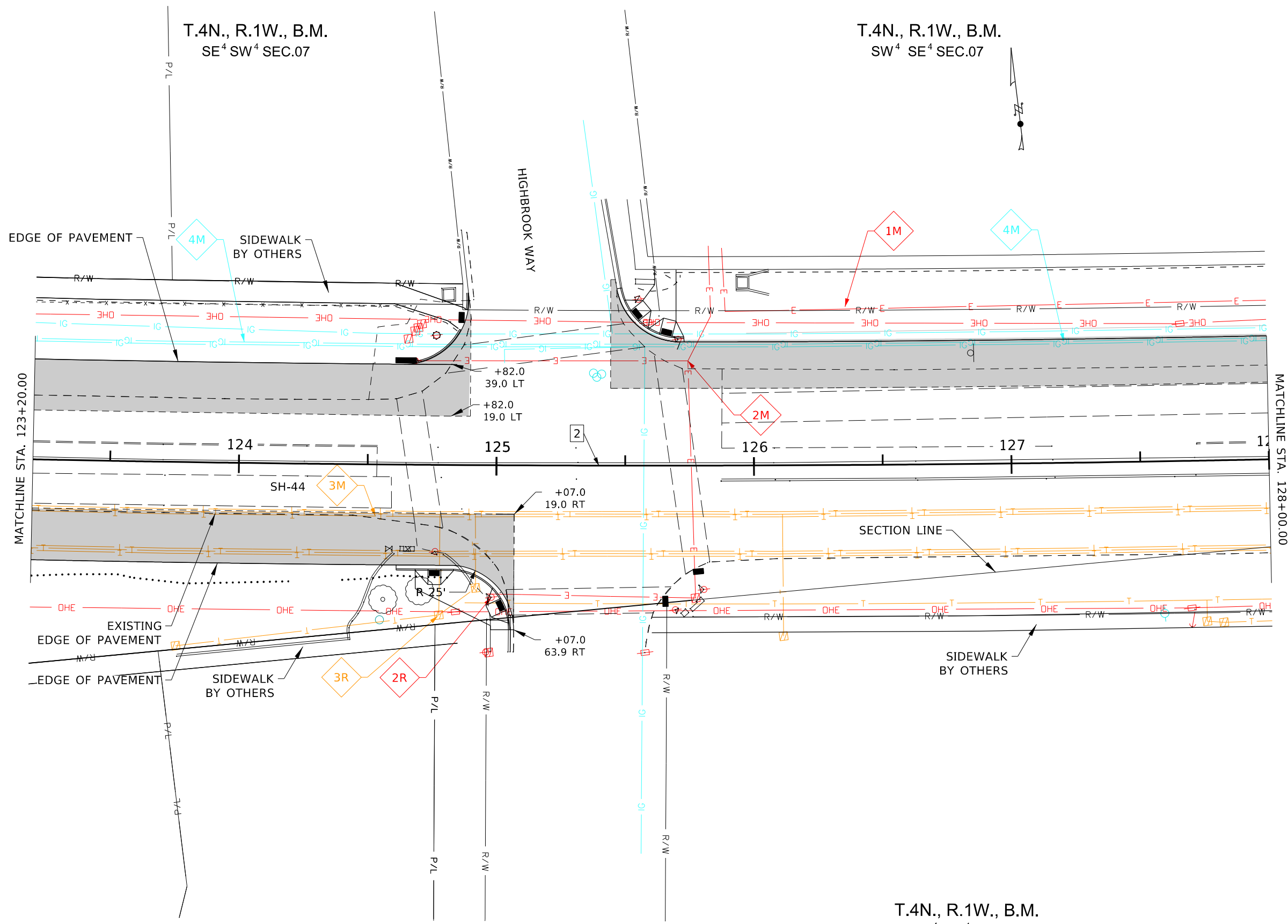
PLAN SHEET	SH-44 CAN ADA RD TO STAR RD
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ENGLISH
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PLAN SHEET	SH-44 CAN ADA RD TO STAR RD
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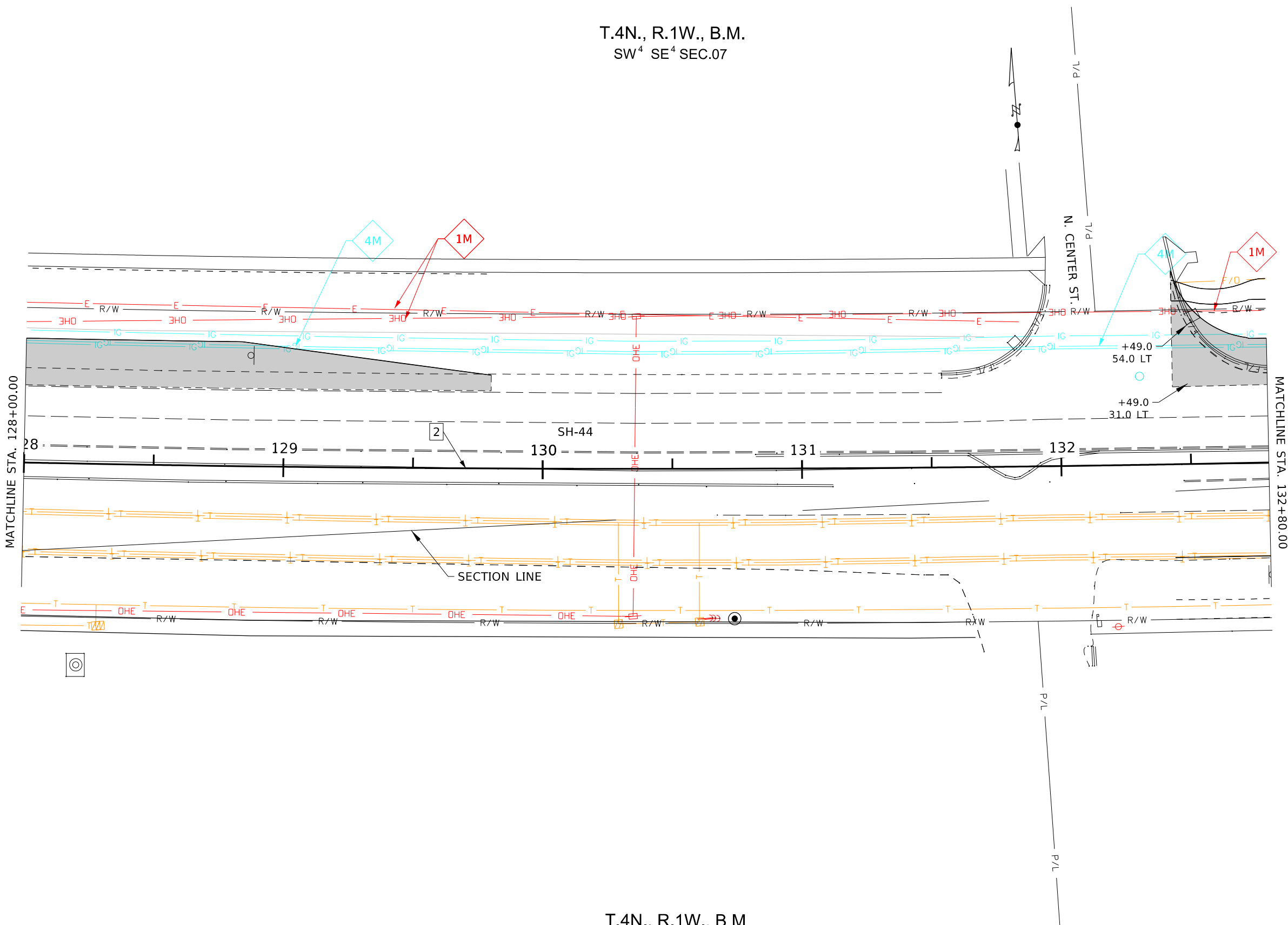
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KEY NUMBER 203010-464
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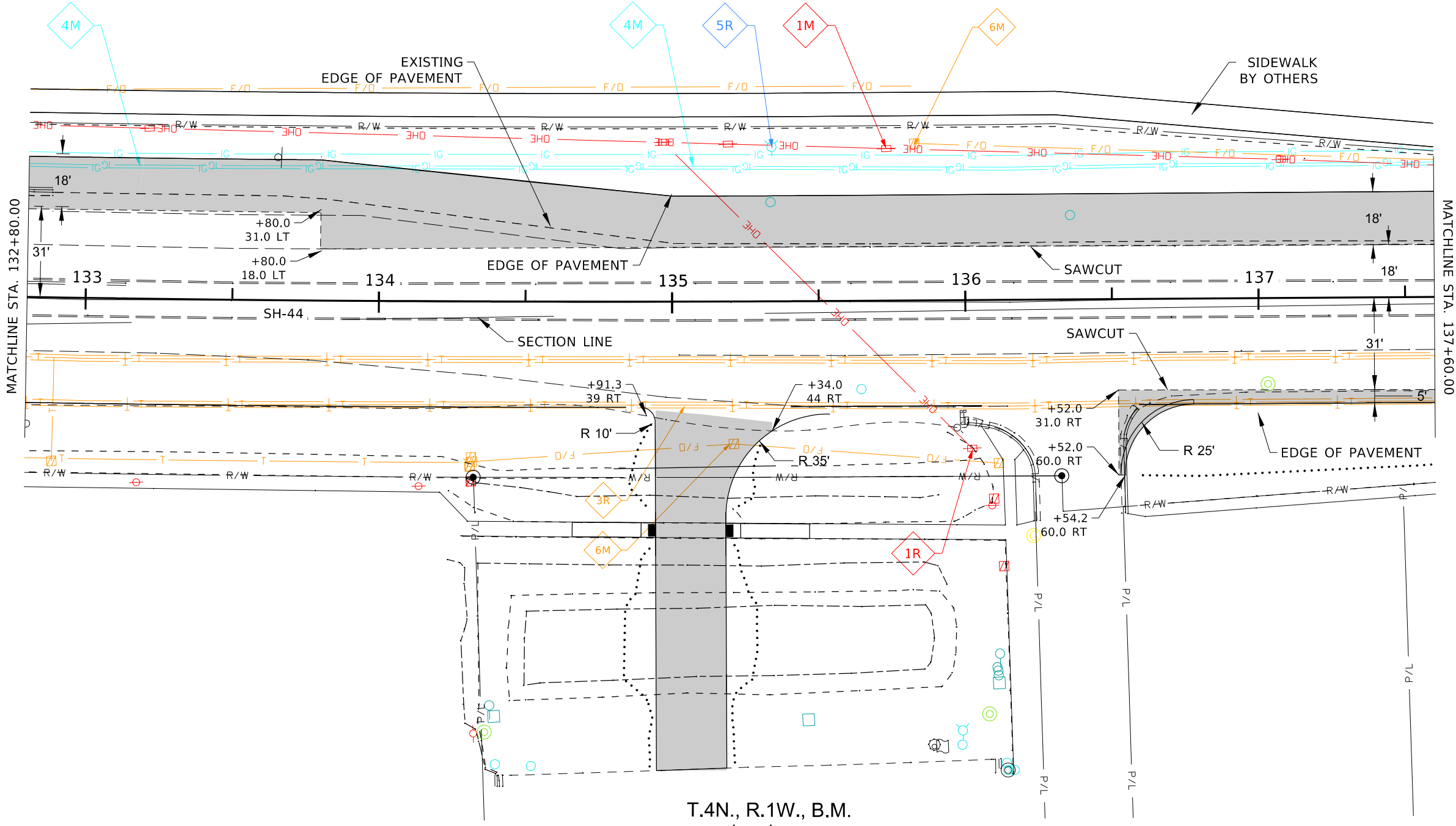
PLAN SHEET
SH-44
CAN ADA RD TO STAR RD

ENGLISH
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STATE OF IDAHO
CLIFTON KOC 175

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KELLER ASSOCIATES

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PLAN SHEET SH-44 CAN ADA RD TO STAR RD
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ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 59 OF 63

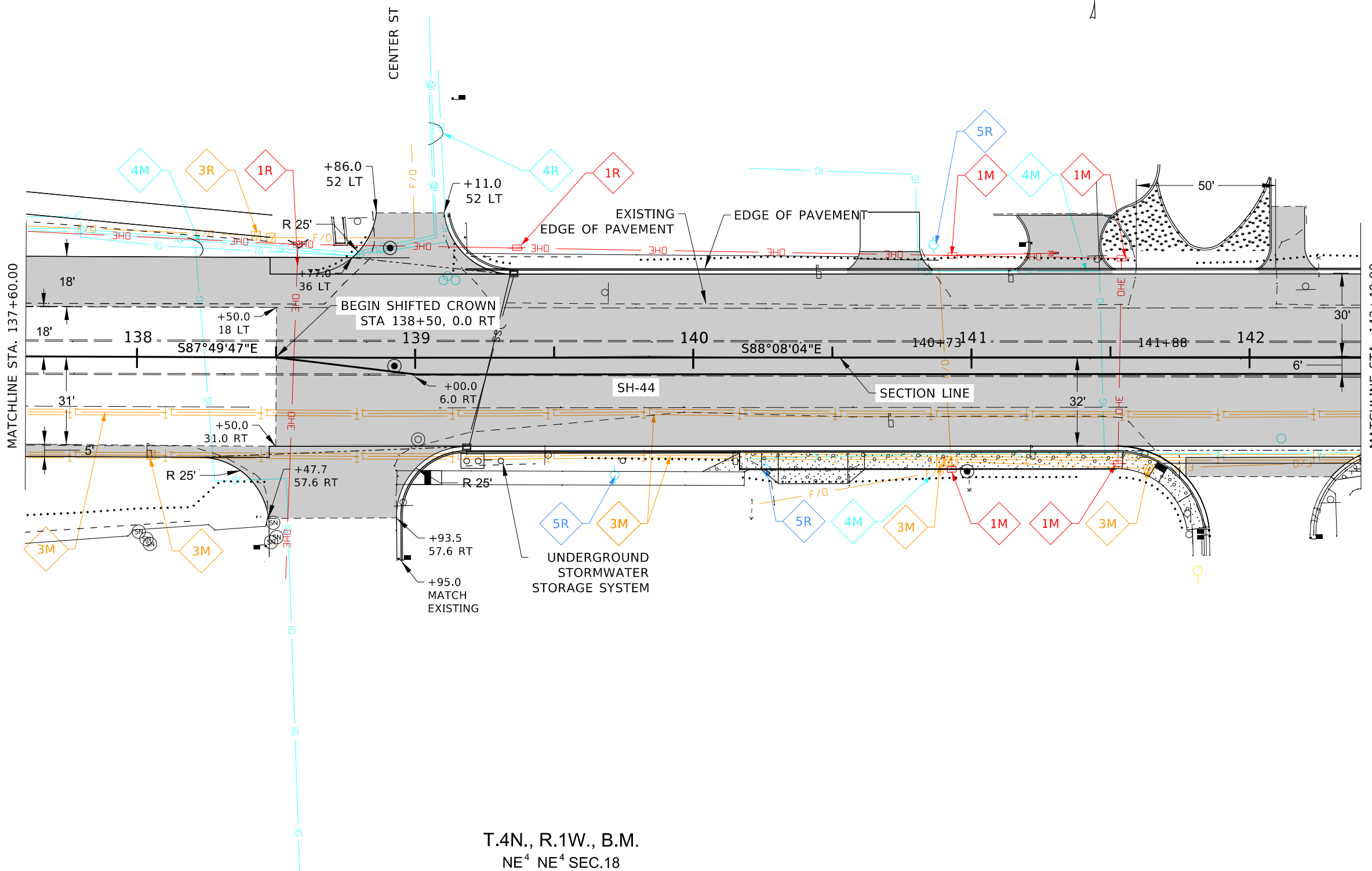
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STATE OF IDAHO
CLIFTON KOC 176

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KELLER ASSOCIATES

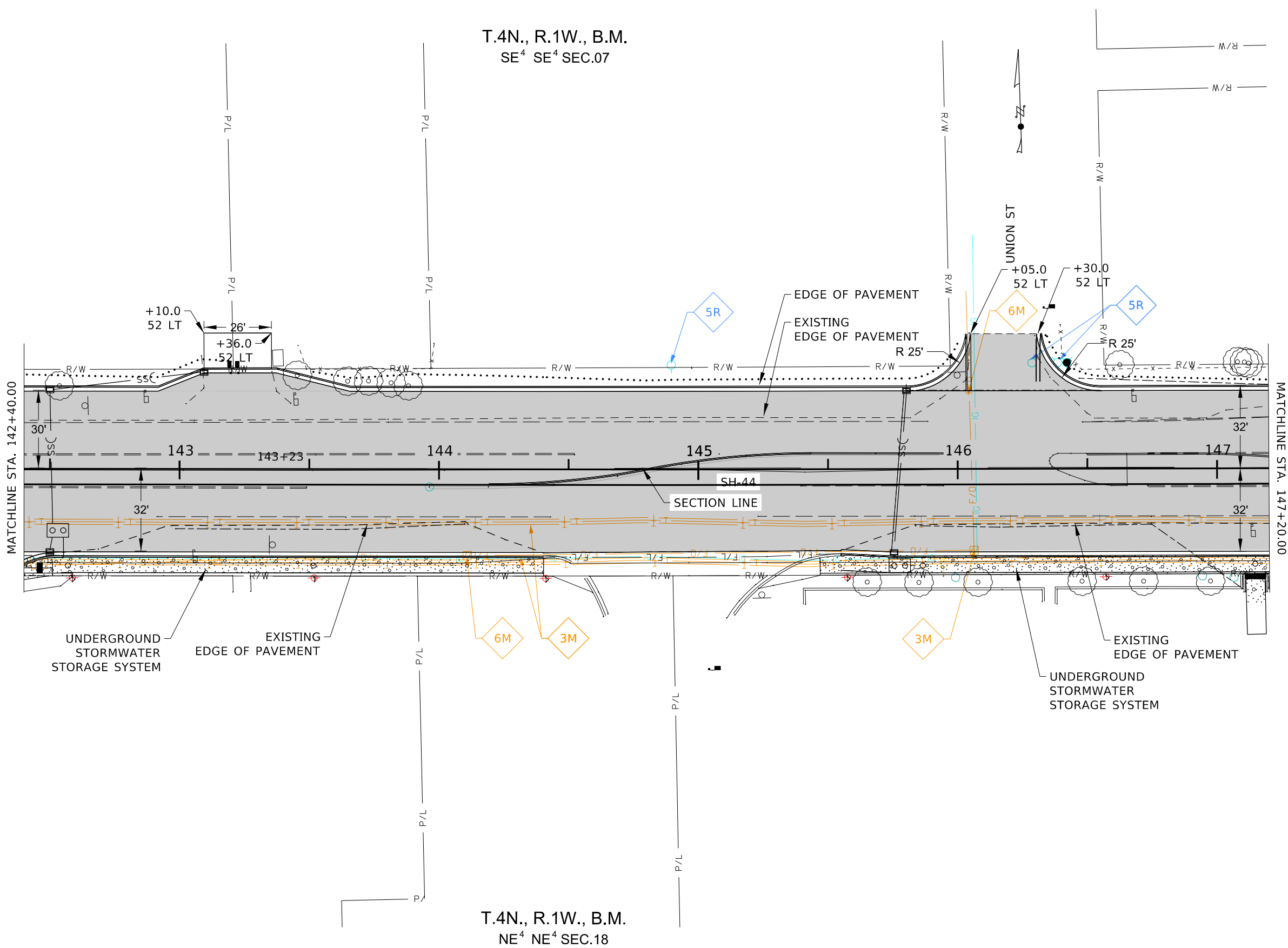
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PLAN SHEET	SH-44 CAN ADA RD TO STAR RD
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ENGLISH
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SHEET 60 OF 63

Designed by
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17544
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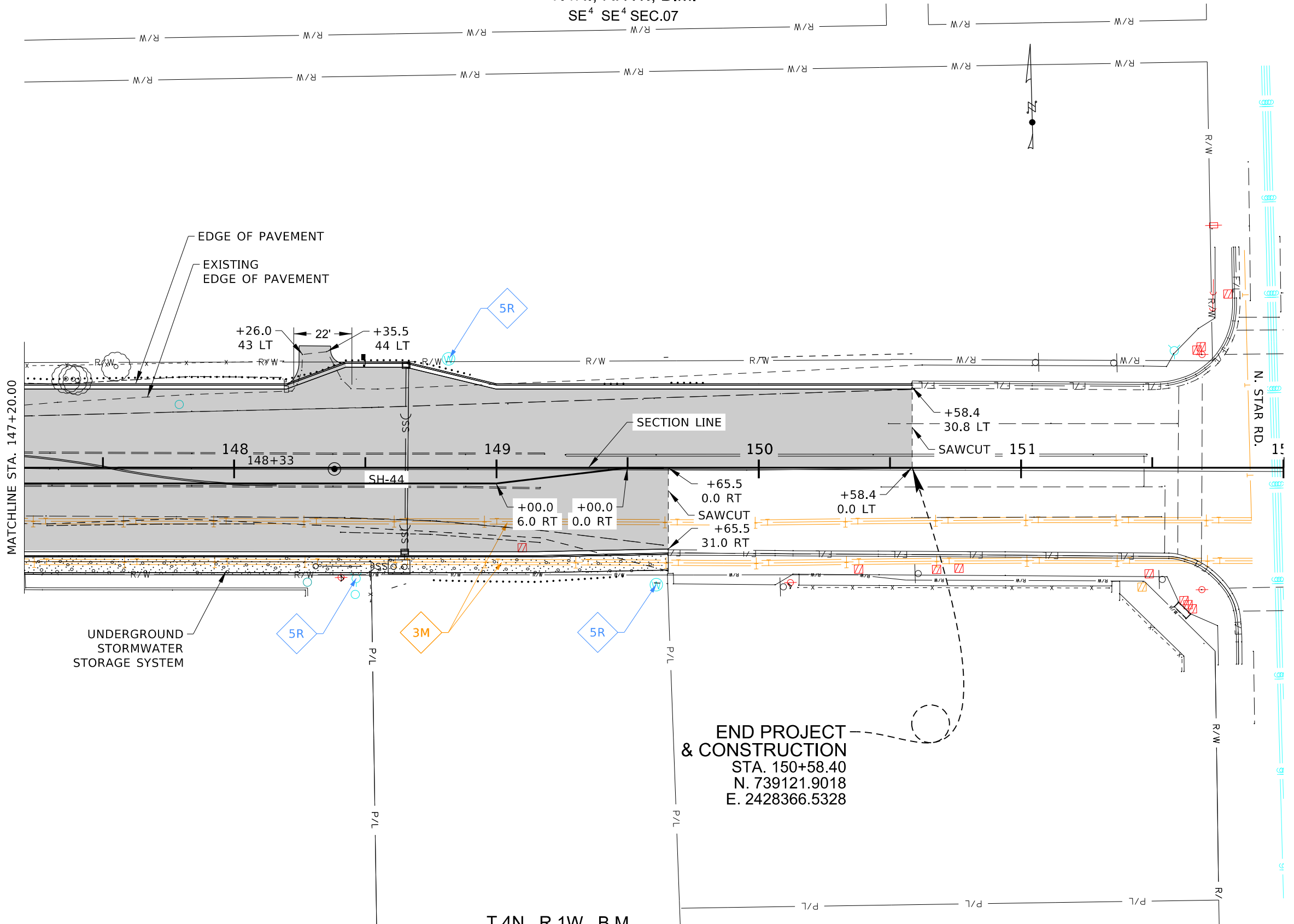
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SE⁴ SE⁴ SEC.07



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END PROJECT & CONSTRUCTION
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N. 739121.9018
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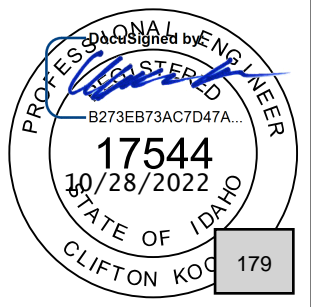


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PLAN SHEET
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B273EB73AC7D47A...
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CLIFTON KOC 179

MONUMENT PERPETUATION

PT. NO.	STATION	OFFSET	PROJECT COORDINATES		ELEVATION	DESCRIPTION	NOTES
			NORTHING	EASTING			
52	100+15.00	60.45 ' RT.	739781.49	2423382.72	2452.91	5/8" REBAR - 12459	RETAIN AND PROTECT
213	100+15.03	60.41 ' RT.	739781.51	2423382.76	2452.94	5/8" REBAR - LS-12469	RETAIN AND PROTECT
214	100+16.30	60.17 ' RT.	739781.35	2423384.04	2451.42	1/2" REBAR	RETAIN AND PROTECT
50	103+02.22	61.05 ' RT.	739691.11	2423655.35	2459.38	BRASS CAP	RETAIN AND PROTECT
51	103+03.71	58.85 ' LT.	739804.53	2423694.26	2459.27	BRASS CAP	REFERENCE AND RESET
212	104+70.68	60.68 ' RT.	739638.94	2423816.00	2459.59	5/8" REBAR	RETAIN AND PROTECT
229	110+29.28	86.86 ' RT.	739455.61	2424348.20	2461.96	5/8" REBAR	RETAIN AND PROTECT
211	110+29.29	86.70 ' RT.	739455.76	2424348.26	2461.81	5/8" REBAR	RETAIN AND PROTECT
210	110+63.56	88.43 ' RT.	739445.26	2424381.21	2463.40	CHISELED X	RETAIN AND PROTECT
223	110+99.55	78.55 ' RT.	739445.68	2424418.79	2462.81	1/2" REBAR - 16662	RETAIN AND PROTECT
209	116+41.32	101.65 ' RT.	739299.30	2424945.47	2464.78	1/2" REBAR	RETAIN AND PROTECT
208	116+56.33	125.28 ' RT.	739273.10	2424955.55	2463.19	1/2" REBAR	RETAIN AND PROTECT
207	117+90.18	131.05 ' RT.	739240.97	2425087.22	2464.67	1/2" REBAR	RETAIN AND PROTECT
206	118+38.72	145.88 ' RT.	739217.20	2425132.72	2464.12	5/8" REBAR	RETAIN AND PROTECT
216	125+75.68	52.30 ' RT.	739190.28	2425881.15	2467.42	5/8" REBAR	RETAIN AND PROTECT
205	130+73.88	57.82 ' RT.	739140.80	2426379.06	2469.90	5/8" REBAR	RETAIN AND PROTECT
56	134+32.37	59.94 ' RT.	739115.80	2426738.47	2466.17	5/8" REBAR - 7729	RETAIN AND PROTECT
57	136+32.50	60.14 ' RT.	739107.34	2426939.04	2470.02	5/8" REBAR	RETAIN AND PROTECT
59	138+91.03	39.48 ' LT.	739197.14	2427200.99	2469.30	5/8" REBAR	REFERENCE AND RESET
58	138+92.57	2.96 ' RT.	739154.67	2427201.11	2471.27	5/8" REBAR	REFERENCE AND RESET
204	140+98.44	40.95 ' RT.	739109.84	2427405.61	2469.85	5/8" REBAR	REFERENCE AND RESET
202	142+36.79	41.29 ' RT.	739104.89	2427543.86	2470.69	BRASS CAP - LS-11463	REFERENCE AND RESET
60	143+20.74	38.59 ' LT.	739181.92	2427630.44	2468.64	1/2" REBAR	REFERENCE AND RESET
203	143+91.65	41.24 ' RT.	739099.76	2427698.63	2471.61	ALUMINUM CAP - LS-11463	REFERENCE AND RESET
61	143+97.22	38.97 ' LT.	739179.76	2427706.89	2468.46	1/2" REBAR - 4108	REFERENCE AND RESET
215	143+97.22	38.97 ' RT.	739179.75	2427706.88	2468.49	1/2" REBAR - LS-4108	REFERENCE AND RESET
201	144+90.24	40.99 ' RT.	739096.72	2427797.30	2470.79	ALUMINUM CAP - LS-11463	REFERENCE AND RESET
62	144+98.07	39.55 ' LT.	739176.83	2427807.10	2468.84	1/2" REBAR	REFERENCE AND RESET
63	147+32.71	40.61 ' RT.	739089.89	2428039.84	2470.85	BRASS CAP	REFERENCE AND RESET
64	148+37.51	40.79 ' RT.	739086.95	2428144.60	2470.28	BRASS CAP	REFERENCE AND RESET
200	148+37.51	40.79 ' RT.	739086.99	2428144.58	2470.23		REFERENCE AND RESET
65	148+38.24	0.46 ' RT.	739127.25	2428146.39	2469.79	5/8" REBAR	REFERENCE AND RESET
449	151+36.95	5,271.50 ' LT.	744389.50	2428583.89	2468.12	ALUMINUM CAP	RETAIN AND PROTECT
66	152+12.68	1.48 ' RT.	739116.36	2428520.67	2470.07	ALUMINUM CAP	REFERENCE AND RESET
67	152+85.41	39.76 ' RT.	739076.18	2428592.37	2470.16	ALUMINUM CAP	REFERENCE AND RESET
451	153+26.97	4,572.34 ' RT.	734543.56	2428535.90	2481.90	ALUMINUM CAP	RETAIN AND PROTECT

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DESIGNED C. KOON	SCALES SHOWN ARE FOR 11" X 17" PRINTS ONLY
DESIGN CHECKED E. HULSLANDER	
DETAILED C. KOON	CADD FILE NAME 203010-464_monp_00.dgn
DRAWING CHECKED N. CLEAVER	DRAWING DATE: JULY 2022

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DEPARTMENT**

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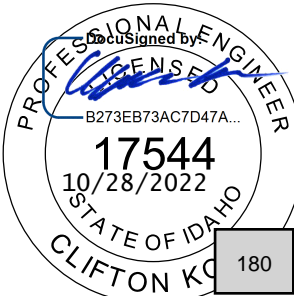
KELLER ASSOCIATES



PROJECT NO. 203010-464

MONUMENT PRESERVATION SH-44 CAN ADA RD TO STAR RD

ENGLISH
COUNTY ADA COUNTY
KEY NUMBER 203010-464
SHEET 63 OF 63



17544
10/28/2022
CLIFTON KOON

SH 44, Can Ada Road to Star Road

STORM WATER DESIGN



Prepared by:

Keller Associates, Inc.
100 E Bower St, Suite 100
Meridian, Idaho 83642

Keller Project Number: 203010-464

Prepared for the
City of Star

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SH-44, Can Ada to Star Rd

Storm Drainage Design Narrative

1.1 Project Description

The project consists of the construction of improvements to the east and westbound lanes and sidewalk from Can Ada Road to Star Road. These improvements include the addition of lanes and center turn lanes, a dedicated right hand turn lane and curb, gutter, and sidewalk. The project also includes improvements to the stormwater system, these include roadside swales and underground storage facilities.

1.2 Existing Stormwater Facilities

The existing SH-44 corridor is comprised of two-lanes from Can Ada Road to Highbrook Way then two-lanes plus a center turn lane to the intersection at Star Road. The existing stormwater runoff sheet flows to the adjacent properties. There is currently no existing curb, gutter or sidewalk except at the intersection of Star Road and SH-44.

1.3 Design Criteria

The stormwater facilities are to be designed in accordance with the Idaho Transportation Department Standards and the Ada County Highway District Stormwater Manual. The design criteria are listed below:

1.3.1 Conveyance Facilities

1.3.1.1 Design Storm Frequencies and Design Criteria in Idaho

- Minor (Primary) System – 25-year (ITD Roadside Design Guide, 645.00 Storm Sewers)
- Major (Secondary) System (Storage) – 100-year (ACHD Section 8011.3.2)

1.3.1.2 Pipe Standards

- Material design life will be 100-years (ITD Roadside Design Guide, 645.00 Storm Sewers)
- Minimum diameter 12-inches (ITD Roadside Design Guide, 645.00 Storm Sewers)

1.3.2 Gutter Capacity Standards

1.3.2.1 General Requirements

- Flooding will not encroach the traveled way beyond one-half of the adjacent travel lane. (ITD Roadside Design Guide, 645.00 Storm Sewers)

1.4 Proposed Stormwater Facilities

This project will utilize roadside swales in the rural section of this project, broken up into 6 drainage basins. The urban section will utilize curb and gutter conveyance to seepage beds to contain the stormwater, which is broken up into 3 basins. Each basin has catch basins, a sand and grease trap, and a seepage bed with manufactured storage chambers. The basin map for both rural and urban sections can be found in appendix A.

1.4.1.1 Rural Section

This section has a normal crown from the beginning of the project to station 104+55, at this point the roadway becomes super elevated, draining to the swales on the north. The super elevation ends near Center Street, approximately station 132+49. The project continues from station 132+49, this section has a normal crown and drains to swales on both sides of the road.

SH-44, Can Ada to Star Rd

The roadside swales in the rural section have been designed to contain the 25-year storm event. See Appendix B – Swale Calculations.

1.4.1.2 Urban Section

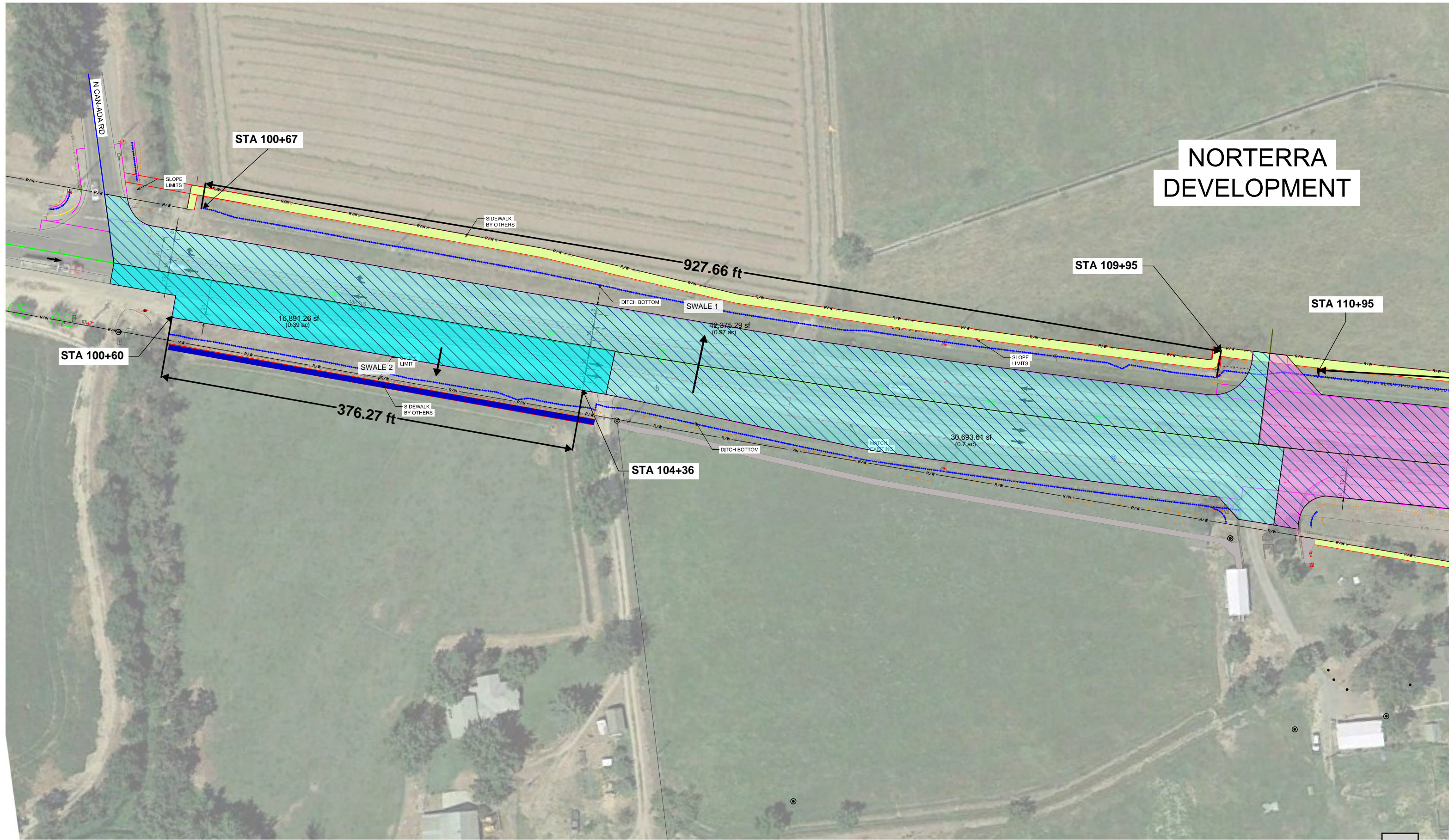
This section runs from the intersection of Center Street to the Intersection at Star Road. Full width pavement reconstruction and regrading of the existing roadway is required within the curb and gutter section as the existing profile grades are too flat to convey stormwater in gutters. Intermittent high and low points will be introduced with catch basins installed at each low point between Center Street and Star Road. Standard catch basins on the north side will convey storm water to sediment control catch basins on the south side prior to entering the seepage beds. Retention and disposal of the urban storm water will use underground storage facilities constructed under the sidewalk on the south side of the highway. Permavoid or a similar manufactured storage chambers are proposed to increase the void space and accommodate water from both sides of the roadway. The basin map can be found in appendix A.

The peak flows from the ten-minute duration, 25-yr return event are accommodated in a 12-inch smooth walled storm sewer pipe on a 0.2% grade. Total storage volume for the urban section was calculated using the 100-yr return event. Seepage beds 6 feet wide by 3 feet deep with a cumulative length of 408 feet and a minimum of 90% void space will provide the necessary storage volume. See Appendix C – Underground Storage Calculations.

1.5 Design Inputs

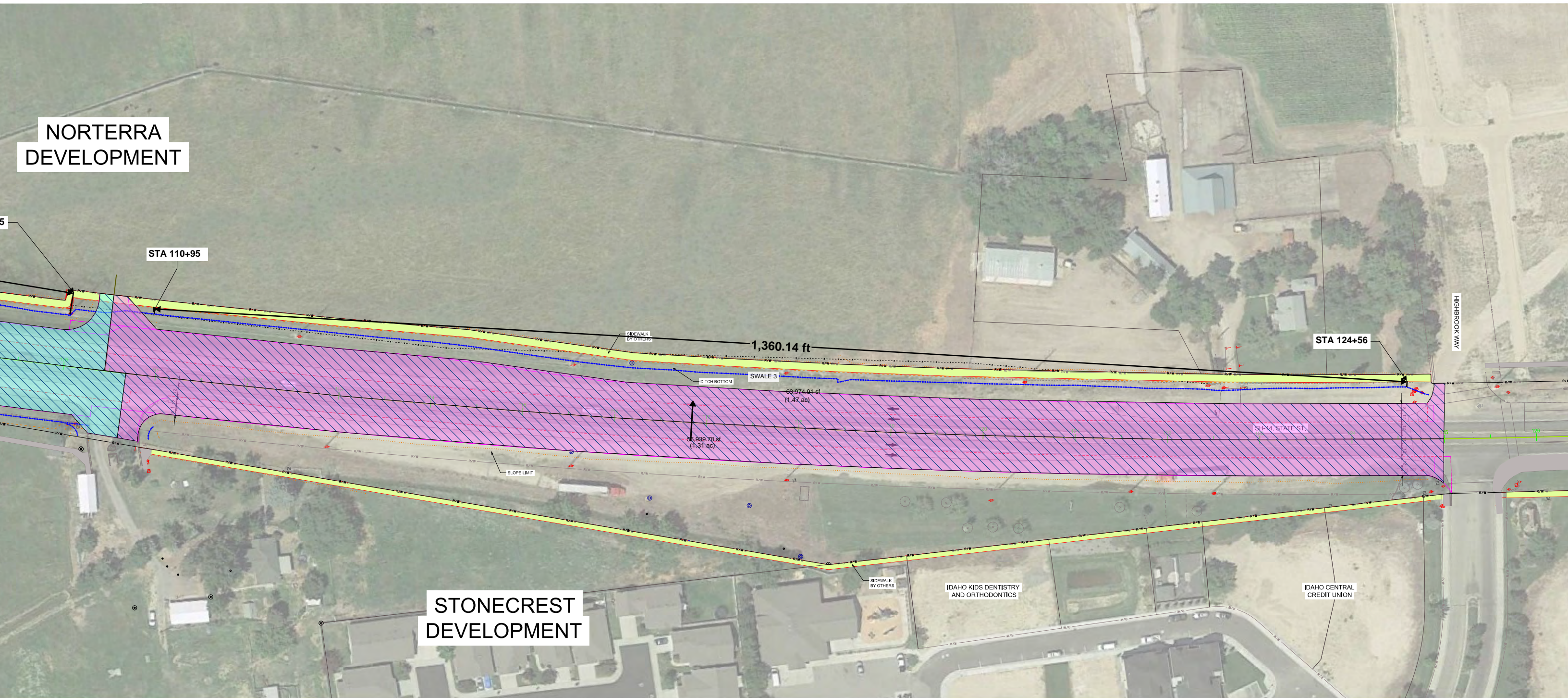
- The urban area consists of approximately 1.86 acres of runoff area of pavement and concrete further broken down into drains and basin (See Appendix A)
- The rural section has 3,920 linear feet of roadway.
- Minimum runoff coefficient to use in the Rational Method Formula for pavement and concrete is 0.90
- Based on the soil type, from the NRCS Soil Survey the infiltration rate of 8 in/hour was used in the urban sections and infiltration rate of 2in/hr was used in the rural sections

APPENDIX A: BASIN MAP

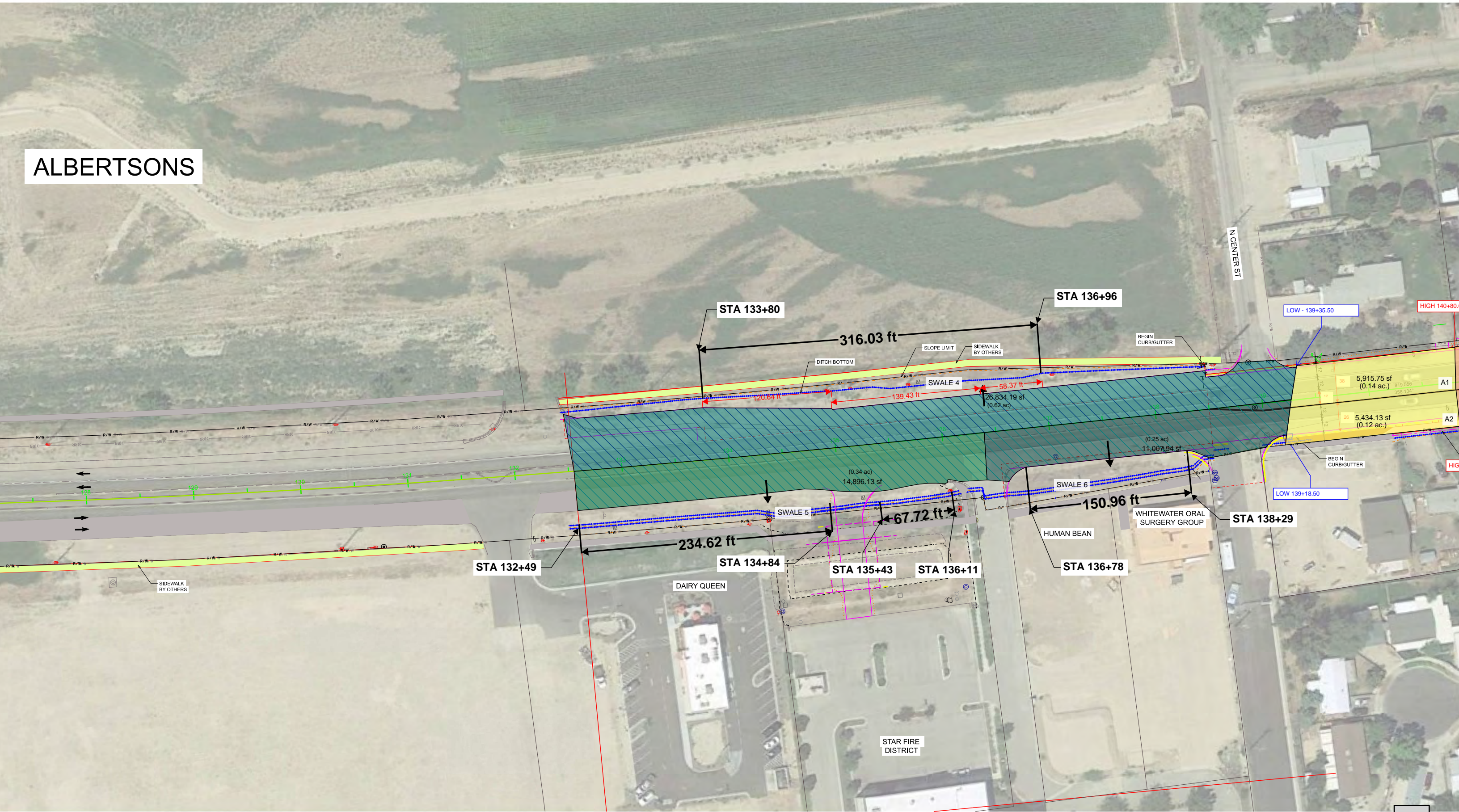


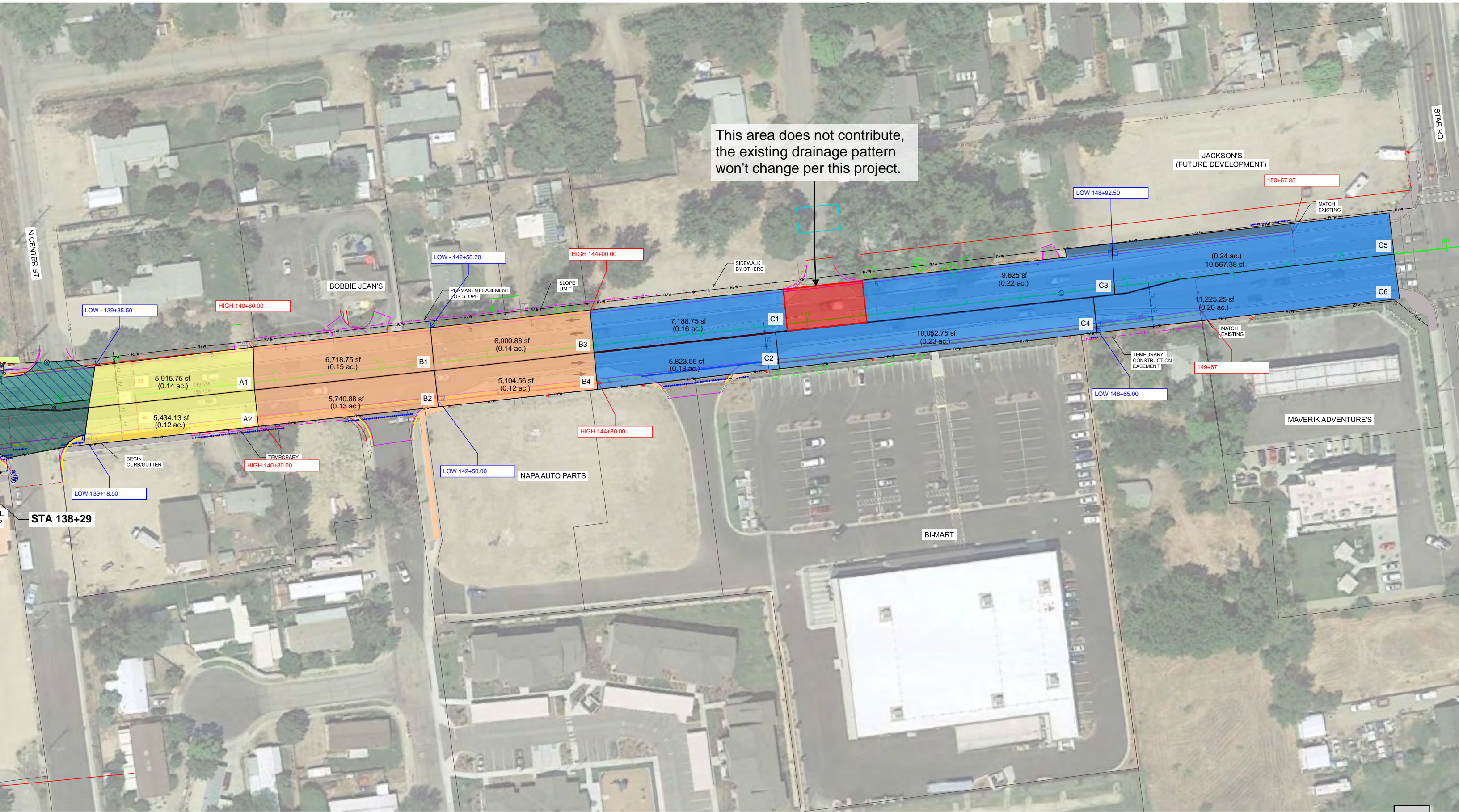
NORTERRA DEVELOPMENT

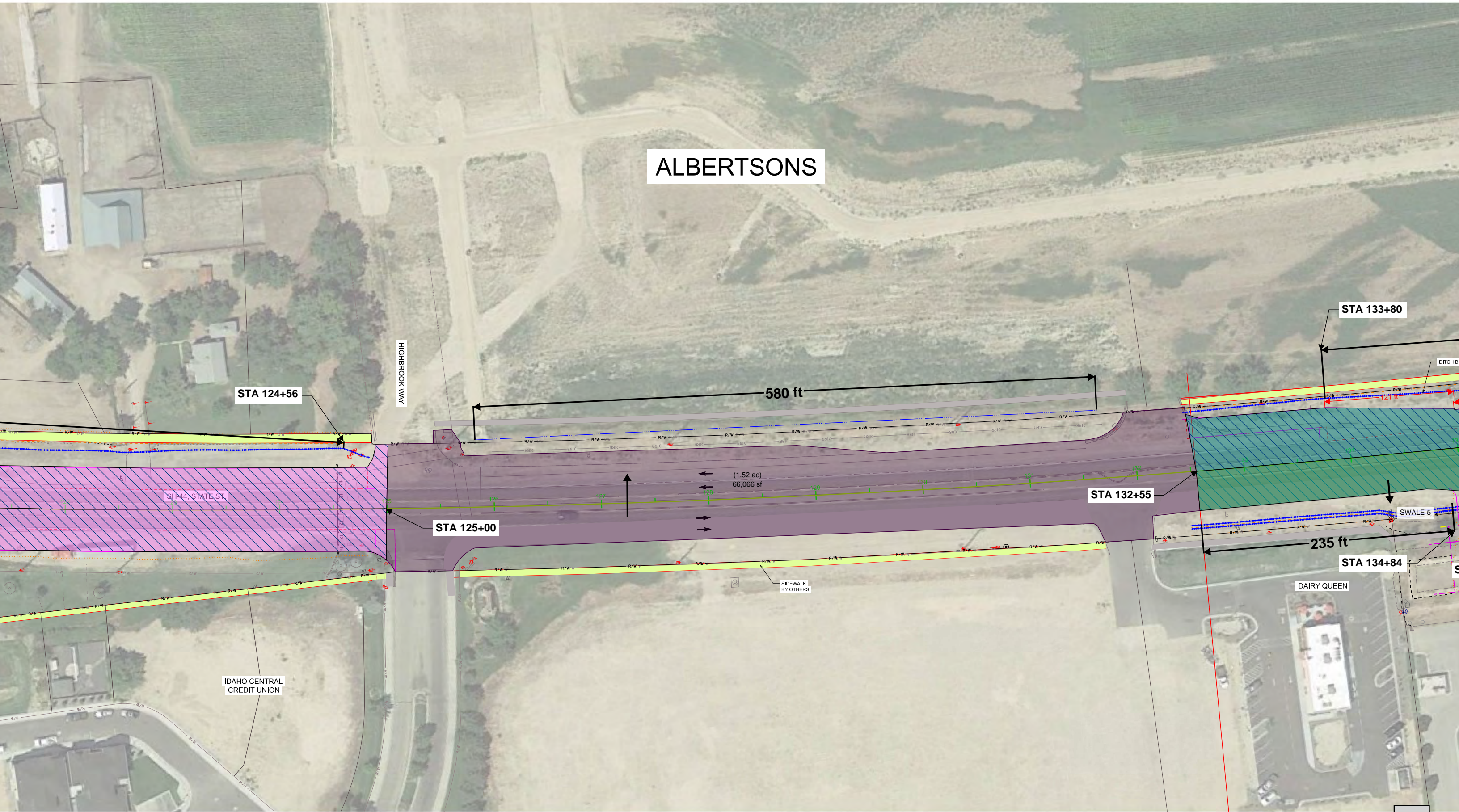
1.00" = 1'



ALBERTSONS







APPENDIX B: SWALE CALCULATIONS

Swale Dimensions & Volume Check

Swale Calculations



100 E Bower St, Suite 110, Meridian, Idaho 83642
 Phone: 208.288.1992 - Fax: 208.288.1999

Project: SH-44
 Client: City of Star
 Designer: K. Styrlund
 Key No.
 Date & Time: 10/31/2022 11:12

SUMMARY: Swale Dimensions & Volume Check

* Storage volume calculations can be found in the IDF Curve spreadsheets

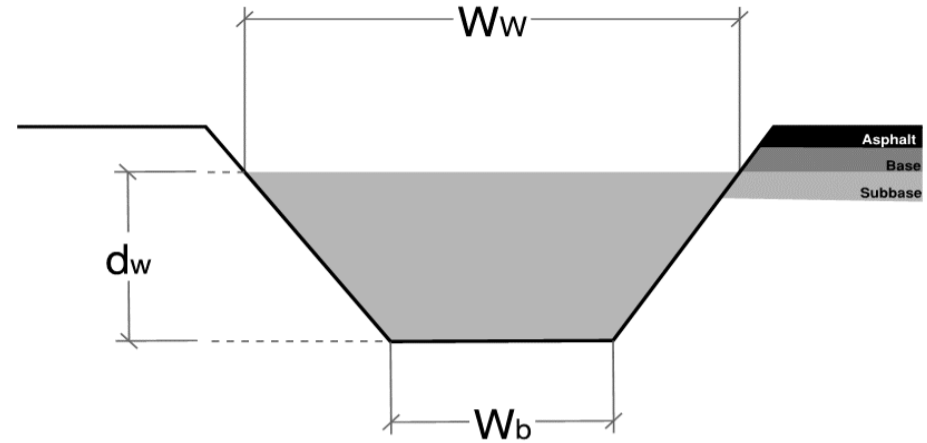
$$V_a = A \times L$$

$$A = \text{cross sectional area, sf} = \frac{W_w + W_b}{2} \times d_w$$

W_w = width @ top of water, ft

W_b = width @ swale bottom, ft = 3 ft

d_w = depth of water (max. @ bottom of base material), ft



Swales	CONTRIBUTING AREA (AC)	Stationing	L LENGTH (FT)	W_w WIDTH @ TOP OF WATER (FT)	d_w DEPTH OF WATER (FT)	V_a AVAILABLE VOLUME OF SWALE (CF)	V_r * STORAGE VOLUME REQUIRED (CF)	$V_a > V_r = \text{OK}$
Swale 1	1.68	100+67 to 104+67	400	25	4.00	31,376	10,050	OK
		104+67 to 109+95	528	14	2.00			
Swale 2	0.39	100+60 to 104+36	376	11	1.50	3,948	2,323	OK
Swale 3	2.78	110+95 to 124+56	1361	14	2.00	23,137	16,631	OK
Swale 4	0.62	133+80 to 135+01	121	16	2.30	6,209	3,691	OK
		135+01 to 136+40	139	16	2.30			
		136+40 to 136+90	58	10	1.40			
Swale 5	0.34	132+55 to 134+84	234	14	2.00	4,238	2,049	OK
		135+43 to 136+11	68	6	0.85			
Swale 6	0.25	136+78 to 138+29	151	17	2.40	3,624	1,514	OK
Swale 7 (Turn-bay)	1.52	125+00 to 132+55	580	15.5	2.00	10,730	9,087	OK



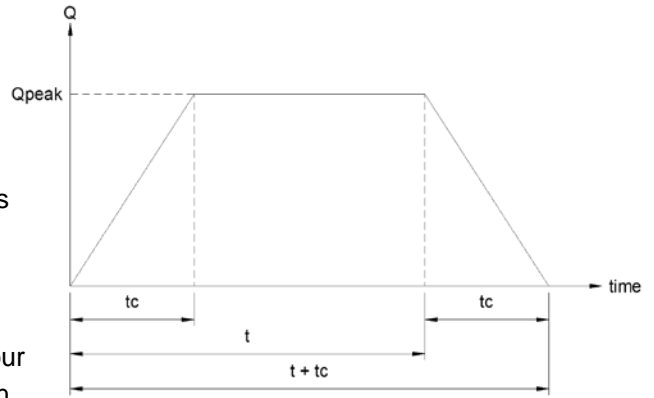
100 E Bower St, Suite 110, Meridian, Idaho 83642
 Phone: 208.288.1992 - Fax: 208.288.1999

Project: SH-44
 Client: City of Star
 Designer: K. Styrlund
 Location: Star, Idaho
 Date & Time: 7/20/2022 11:26

IDF CURVE ZONE A - Swale 1

Flow, Q = CIA (cfs)

- Pre-Developed Runoff Coefficient, $C_{pre} = 0.00$
- Developed Runoff Coefficient, $C_w = 0.90$
- Storm Event = 25 year
- Total Area, A = 1.68 acres
- Time of Concentration, $t_c = 10$ min
- Infiltration Area, $A_i = 0$ sqft
- Available Facility Volume, $V_a = 26336$ cuft
- Infiltration Rate, $I_r = 2$ in/hour
 $= 0.0028$ ft/min
- Infiltrated Flow Rate, $Q_i = A_i \times I_r = 0.0$ cfm



MODIFIED RATIONAL METHOD HYDROGRAPH

- Offsite Historical Discharge Rate, $Q_d = C_{pre} \times I \times A$ (see table below)
- Maximum Flow, $Q_{peak} = C_w \times I \times A - Q_d$ (see table below)
- Pond Volume, $V = Q_{peak} \times t - Q_i \times (t + t_c) - (Q_d \times t)$ (see table below)
- Sedimentation Increase Factor, $f_v = 1.15$
- Required Facility Volume, $V_r = V \times f_v$ (see table below)
- Time to infiltrate, $t_i = (V_r / Q_i) / 60$

Duration, t		I	Q_d		Q_{peak}		V	V_r
hours	minutes		in/hr	cfs	cfm	cfs		
0.08	5	3.20	0.00	0.0	4.83	289.9	1,449	1,667
0.17	10	2.26	0.00	0.0	3.41	204.7	2,047	2,354
0.25	15	1.87	0.00	0.0	2.82	169.4	2,541	2,922
0.33	20	1.65	0.00	0.0	2.49	149.5	2,989	3,438
0.50	30	1.29	0.00	0.0	1.95	116.9	3,506	4,031
0.67	40	1.00	0.00	0.0	1.51	90.6	3,623	4,167
0.83	50	0.86	0.00	0.0	1.30	77.9	3,895	4,479
1	60	0.76	0.00	0.0	1.15	68.8	4,131	4,750
2	120	0.48	0.00	0.0	0.72	43.5	5,217	6,000
3	180	0.35	0.00	0.0	0.53	31.7	5,707	6,563
4	240	0.28	0.00	0.0	0.42	25.4	6,087	7,000
5	300	0.24	0.00	0.0	0.36	21.7	6,522	7,500
6	360	0.21	0.00	0.0	0.32	19.0	6,848	7,875
8	480	0.17	0.00	0.0	0.26	15.4	7,391	8,500
10	600	0.14	0.00	0.0	0.21	12.7	7,609	8,750
12	720	0.13	0.00	0.0	0.20	11.8	8,478	9,750
18	1080	0.08	0.00	0.0	0.13	7.5	8,120	9,338
24	1440	0.07	0.00	0.0	0.10	6.1	8,739	10,050

<<<<<

Maximum Required Pond Volume, $V_r = 10,050$ cf < 26336 cf, VOLUME OK!
Storm Duration Resulting in Max Volume = 24 hours



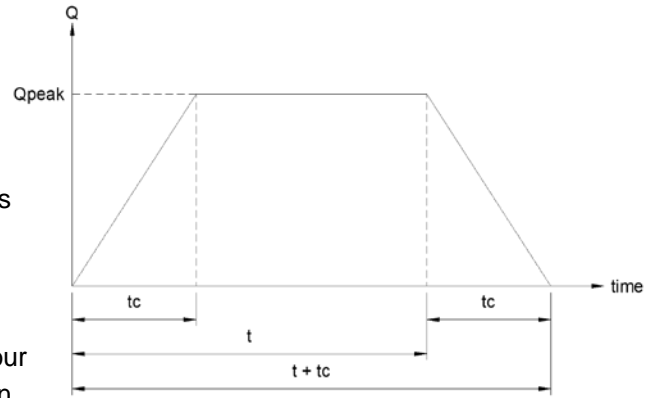
100 E Bower St, Suite 110, Meridian, Idaho 83642
 Phone: 208.288.1992 - Fax: 208.288.1999

Project: SH-44
 Client: City of Star
 Designer: K. Styrlund
 Location: Star, Idaho
 Date & Time: 7/20/2022 11:26

IDF CURVE ZONE A - Swale 2

Flow, Q = CIA (cfs)

- Pre-Developed Runoff Coefficient, C_{pre} = 0.00
- Developed Runoff Coefficient, C_w = 0.90
- Storm Event = 25 year
- Total Area, A = 0.39 acres
- Time of Concentration, t_c = 10 min
- Infiltration Area, A_i = 0 sqft
- Available Facility Volume, V_a = 3102 cuft
- Infiltration Rate, I_r = 2 in/hour
= 0.0028 ft/min
- Infiltrated Flow Rate, $Q_i = A_i \times I_r$ = 0.0 cfm



MODIFIED RATIONAL METHOD HYDROGRAPH

- Offsite Historical Discharge Rate, $Q_d = C_{pre} \times I \times A$ (see table below)
- Maximum Flow, $Q_{peak} = C_w \times I \times A - Q_d$ (see table below)
- Pond Volume, $V = Q_{peak} \times t - Q_i \times (t + t_c) - (Q_d \times t)$ (see table below)
- Sedimentation Increase Factor, $f_v = 1.15$
- Required Facility Volume, $V_r = V \times f_v$ (see table below)
- Time to infiltrate, $t_i = (V_r / Q_i) / 60$

Duration, t		I	Q_d		Q_{peak}		V	V_r
hours	minutes		in/hr	cfs	cfm	cfs		
0.08	5	3.20	0.00	0.0	1.12	67.0	335	385
0.17	10	2.26	0.00	0.0	0.79	47.3	473	544
0.25	15	1.87	0.00	0.0	0.65	39.2	587	675
0.33	20	1.65	0.00	0.0	0.58	34.5	691	795
0.50	30	1.29	0.00	0.0	0.45	27.0	810	932
0.67	40	1.00	0.00	0.0	0.35	20.9	838	963
0.83	50	0.86	0.00	0.0	0.30	18.0	900	1,035
1	60	0.76	0.00	0.0	0.27	15.9	955	1,098
2	120	0.48	0.00	0.0	0.17	10.1	1,206	1,387
3	180	0.35	0.00	0.0	0.12	7.3	1,319	1,517
4	240	0.28	0.00	0.0	0.10	5.9	1,407	1,618
5	300	0.24	0.00	0.0	0.08	5.0	1,508	1,734
6	360	0.21	0.00	0.0	0.07	4.4	1,583	1,820
8	480	0.17	0.00	0.0	0.06	3.6	1,709	1,965
10	600	0.14	0.00	0.0	0.05	2.9	1,759	2,023
12	720	0.13	0.00	0.0	0.05	2.7	1,960	2,254
18	1080	0.08	0.00	0.0	0.03	1.7	1,877	2,159
24	1440	0.07	0.00	0.0	0.02	1.4	2,020	2,323

<<<<<

Maximum Required Pond Volume, V_r = 2,323 cf < 3102 cf, VOLUME OK!
Storm Duration Resulting in Max Volume = 24 hours



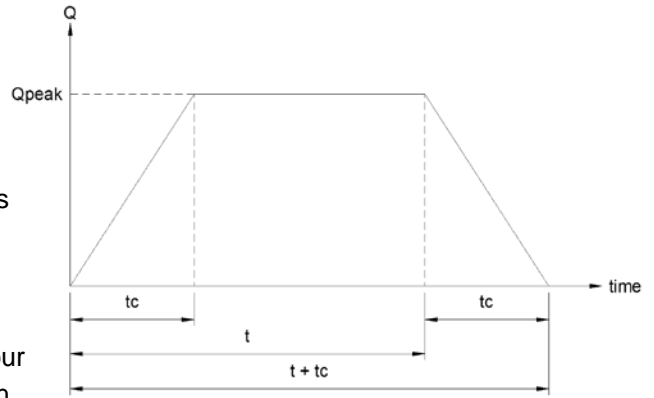
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Project: SH-44
 Client: City of Star
 Designer: K. Styrlund
 Location: Star, Idaho
 Date & Time: 7/20/2022 11:26

IDF CURVE ZONE A - Swale 3

Flow, Q = CIA (cfs)

- Pre-Developed Runoff Coefficient, C_{pre} = 0.00
- Developed Runoff Coefficient, C_w = 0.90
- Storm Event = 25 year
- Total Area, A = 2.78 acres
- Time of Concentration, t_c = 10 min
- Infiltration Area, A_i = 0 sqft
- Available Facility Volume, V_a = 19054 cuft
- Infiltration Rate, I_r = 2 in/hour
= 0.0028 ft/min
- Infiltrated Flow Rate, $Q_i = A_i \times I_r$ = 0.0 cfm



MODIFIED RATIONAL METHOD HYDROGRAPH

- Offsite Historical Discharge Rate, $Q_d = C_{pre} \times I \times A$ (see table below)
- Maximum Flow, $Q_{peak} = C_w \times I \times A - Q_d$ (see table below)
- Pond Volume, $V = Q_{peak} \times t - Q_i \times (t + t_c) - (Q_d \times t)$ (see table below)
- Sedimentation Increase Factor, $f_v = 1.15$
- Required Facility Volume, $V_r = V \times f_v$ (see table below)
- Time to infiltrate, $t_i = (V_r / Q_i) / 60$

Duration, t		I	Q_d		Q_{peak}		V	V_r
hours	minutes		in/hr	cfs	cfm	cfs		
0.08	5	3.20	0.00	0.0	7.99	479.7	2,398	2,758
0.17	10	2.26	0.00	0.0	5.65	338.8	3,388	3,896
0.25	15	1.87	0.00	0.0	4.67	280.3	4,205	4,835
0.33	20	1.65	0.00	0.0	4.12	247.3	4,947	5,689
0.50	30	1.29	0.00	0.0	3.22	193.4	5,801	6,671
0.67	40	1.00	0.00	0.0	2.50	149.9	5,996	6,895
0.83	50	0.86	0.00	0.0	2.15	128.9	6,445	7,412
1	60	0.76	0.00	0.0	1.90	113.9	6,835	7,860
2	120	0.48	0.00	0.0	1.20	71.9	8,634	9,929
3	180	0.35	0.00	0.0	0.87	52.5	9,443	10,860
4	240	0.28	0.00	0.0	0.70	42.0	10,073	11,584
5	300	0.24	0.00	0.0	0.60	36.0	10,792	12,411
6	360	0.21	0.00	0.0	0.52	31.5	11,332	13,032
8	480	0.17	0.00	0.0	0.42	25.5	12,231	14,066
10	600	0.14	0.00	0.0	0.35	21.0	12,591	14,480
12	720	0.13	0.00	0.0	0.32	19.5	14,030	16,135
18	1080	0.08	0.00	0.0	0.21	12.4	13,437	15,452
24	1440	0.07	0.00	0.0	0.17	10.0	14,462	16,631

←←←←

Maximum Required Pond Volume, V_r = 16,631 cf < 19054 cf, VOLUME OK!
Storm Duration Resulting in Max Volume = 24 hours



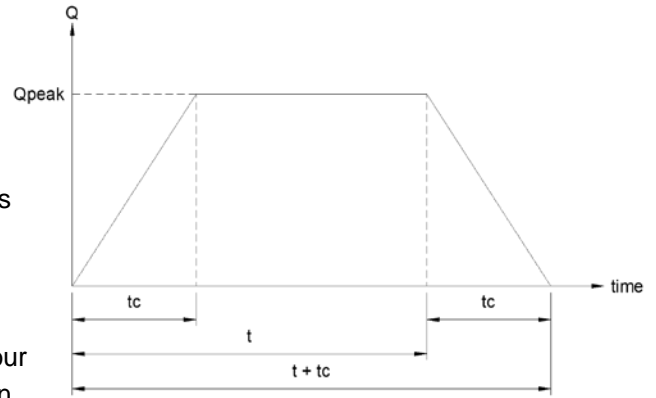
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Project: SH-44
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 Location: Star, Idaho
 Date & Time: 7/20/2022 11:26

IDF CURVE ZONE A - Swale 4

Flow, Q = CIA (cfs)

- Pre-Developed Runoff Coefficient, C_{pre} = 0.00
- Developed Runoff Coefficient, C_w = 0.90
- Storm Event = 25 year
- Total Area, A = 0.62 acres
- Time of Concentration, t_c = 10 min
- Infiltration Area, A_i = 0 sqft
- Available Facility Volume, V_a = 3804 cuft
- Infiltration Rate, I_r = 2 in/hour
= 0.0028 ft/min
- Infiltrated Flow Rate, $Q_i = A_i \times I_r$ = 0.0 cfm



MODIFIED RATIONAL METHOD HYDROGRAPH

- Offsite Historical Discharge Rate, $Q_d = C_{pre} \times I \times A$ (see table below)
- Maximum Flow, $Q_{peak} = C_w \times I \times A - Q_d$ (see table below)
- Pond Volume, $V = Q_{peak} \times t - Q_i \times (t + t_c) - (Q_d \times t)$ (see table below)
- Sedimentation Increase Factor, $f_v = 1.15$
- Required Facility Volume, $V_r = V \times f_v$ (see table below)
- Time to infiltrate, $t_i = (V_r / Q_i) / 60$

Duration, t		I	Q_d		Q_{peak}		V	V_r
hours	minutes		in/hr	cfs	cfm	cfs		
0.08	5	3.20	0.00	0.0	1.77	106.4	532	612
0.17	10	2.26	0.00	0.0	1.25	75.2	752	865
0.25	15	1.87	0.00	0.0	1.04	62.2	933	1,073
0.33	20	1.65	0.00	0.0	0.91	54.9	1,098	1,262
0.50	30	1.29	0.00	0.0	0.72	42.9	1,287	1,480
0.67	40	1.00	0.00	0.0	0.55	33.3	1,331	1,530
0.83	50	0.86	0.00	0.0	0.48	28.6	1,430	1,645
1	60	0.76	0.00	0.0	0.42	25.3	1,517	1,744
2	120	0.48	0.00	0.0	0.27	16.0	1,916	2,203
3	180	0.35	0.00	0.0	0.19	11.6	2,096	2,410
4	240	0.28	0.00	0.0	0.16	9.3	2,235	2,571
5	300	0.24	0.00	0.0	0.13	8.0	2,395	2,754
6	360	0.21	0.00	0.0	0.12	7.0	2,515	2,892
8	480	0.17	0.00	0.0	0.09	5.7	2,714	3,122
10	600	0.14	0.00	0.0	0.08	4.7	2,794	3,213
12	720	0.13	0.00	0.0	0.07	4.3	3,114	3,581
18	1080	0.08	0.00	0.0	0.05	2.8	2,982	3,429
24	1440	0.07	0.00	0.0	0.04	2.2	3,209	3,691

←←←←

Maximum Required Pond Volume, V_r = 3,691 cf < 3803.6 cf, VOLUME OK!
Storm Duration Resulting in Max Volume = 24 hours



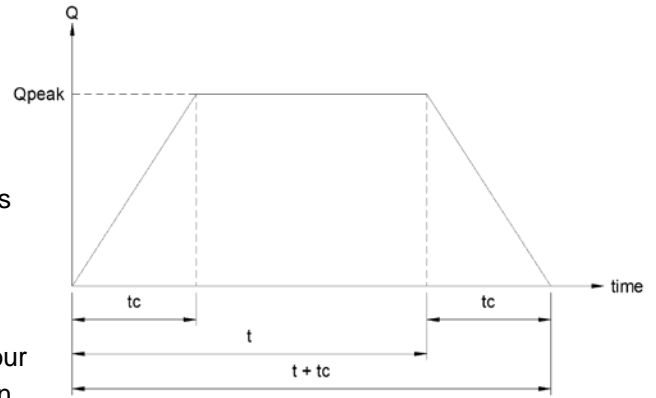
100 E Bower St, Suite 110, Meridian, Idaho 83642
 Phone: 208.288.1992 - Fax: 208.288.1999

Project: SH-44
 Client: City of Star
 Designer: K. Styrlund
 Location: Star, Idaho
 Date & Time: 7/20/2022 11:26

IDF CURVE ZONE A - Swale 5

Flow, Q = CIA (cfs)

- Pre-Developed Runoff Coefficient, C_{pre} = 0.00
- Developed Runoff Coefficient, C_w = 0.90
- Storm Event = 25 year
- Total Area, A = 0.34 acres
- Time of Concentration, t_c = 10 min
- Infiltration Area, A_i = 0 sqft
- Available Facility Volume, V_a = 3449 cuft
- Infiltration Rate, I_r = 2 in/hour
= 0.0028 ft/min
- Infiltrated Flow Rate, $Q_i = A_i \times I_r$ = 0.0 cfm



MODIFIED RATIONAL METHOD HYDROGRAPH

- Offsite Historical Discharge Rate, $Q_d = C_{pre} \times I \times A$ (see table below)
- Maximum Flow, $Q_{peak} = C_w \times I \times A - Q_d$ (see table below)
- Pond Volume, $V = Q_{peak} \times t - Q_i \times (t + t_c) - (Q_d \times t)$ (see table below)
- Sedimentation Increase Factor, $f_v = 1.15$
- Required Facility Volume, $V_r = V \times f_v$ (see table below)
- Time to infiltrate, $t_i = (V_r / Q_i) / 60$

Duration, t		I	Q_d		Q_{peak}		V	V_r
hours	minutes		in/hr	cfs	cfm	cfs		
0.08	5	3.20	0.00	0.0	0.98	59.1	295	340
0.17	10	2.26	0.00	0.0	0.70	41.7	417	480
0.25	15	1.87	0.00	0.0	0.58	34.5	518	596
0.33	20	1.65	0.00	0.0	0.51	30.5	609	701
0.50	30	1.29	0.00	0.0	0.40	23.8	715	822
0.67	40	1.00	0.00	0.0	0.31	18.5	739	849
0.83	50	0.86	0.00	0.0	0.26	15.9	794	913
1	60	0.76	0.00	0.0	0.23	14.0	842	968
2	120	0.48	0.00	0.0	0.15	8.9	1,064	1,223
3	180	0.35	0.00	0.0	0.11	6.5	1,163	1,338
4	240	0.28	0.00	0.0	0.09	5.2	1,241	1,427
5	300	0.24	0.00	0.0	0.07	4.4	1,330	1,529
6	360	0.21	0.00	0.0	0.06	3.9	1,396	1,605
8	480	0.17	0.00	0.0	0.05	3.1	1,507	1,733
10	600	0.14	0.00	0.0	0.04	2.6	1,551	1,784
12	720	0.13	0.00	0.0	0.04	2.4	1,728	1,988
18	1080	0.08	0.00	0.0	0.03	1.5	1,655	1,904
24	1440	0.07	0.00	0.0	0.02	1.2	1,782	2,049

<<<<<

Maximum Required Pond Volume, V_r = 2,049 cf < 3449.4 cf, VOLUME OK!
Storm Duration Resulting in Max Volume = 24 hours



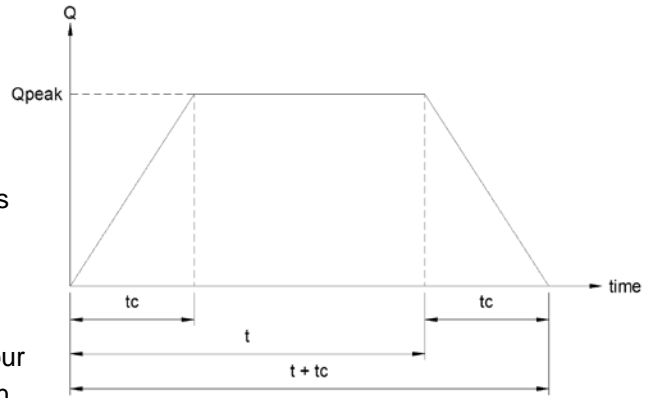
100 E Bower St, Suite 110, Meridian, Idaho 83642
 Phone: 208.288.1992 - Fax: 208.288.1999

Project: SH-44
 Client: City of Star
 Designer: K. Styrlund
 Location: Star, Idaho
 Date & Time: 7/20/2022 11:26

IDF CURVE ZONE A - Swale 6

Flow, Q = CIA (cfs)

- Pre-Developed Runoff Coefficient, C_{pre} = 0.00
- Developed Runoff Coefficient, C_w = 0.90
- Storm Event = 25 year
- Total Area, A = 0.25 acres
- Time of Concentration, t_c = 10 min
- Infiltration Area, A_i = 0 sqft
- Available Facility Volume, V_a = 3080 cuft
- Infiltration Rate, I_r = 2 in/hour
= 0.0028 ft/min
- Infiltrated Flow Rate, $Q_i = A_i \times I_r$ = 0.0 cfm



MODIFIED RATIONAL METHOD HYDROGRAPH

- Offsite Historical Discharge Rate, $Q_d = C_{pre} \times I \times A$ (see table below)
- Maximum Flow, $Q_{peak} = C_w \times I \times A - Q_d$ (see table below)
- Pond Volume, $V = Q_{peak} \times t - Q_i \times (t + t_c) - (Q_d \times t)$ (see table below)
- Sedimentation Increase Factor, $f_v = 1.15$
- Required Facility Volume, $V_r = V \times f_v$ (see table below)
- Time to infiltrate, $t_i = (V_r / Q_i) / 60$

Duration, t		I	Q_d		Q_{peak}		V	V_r
hours	minutes		in/hr	cfs	cfm	cfs		
0.08	5	3.20	0.00	0.0	0.73	43.7	218	251
0.17	10	2.26	0.00	0.0	0.51	30.8	308	355
0.25	15	1.87	0.00	0.0	0.43	25.5	383	440
0.33	20	1.65	0.00	0.0	0.38	22.5	450	518
0.50	30	1.29	0.00	0.0	0.29	17.6	528	607
0.67	40	1.00	0.00	0.0	0.23	13.6	546	628
0.83	50	0.86	0.00	0.0	0.20	11.7	587	675
1	60	0.76	0.00	0.0	0.17	10.4	622	716
2	120	0.48	0.00	0.0	0.11	6.6	786	904
3	180	0.35	0.00	0.0	0.08	4.8	860	989
4	240	0.28	0.00	0.0	0.06	3.8	917	1,055
5	300	0.24	0.00	0.0	0.05	3.3	983	1,130
6	360	0.21	0.00	0.0	0.05	2.9	1,032	1,186
8	480	0.17	0.00	0.0	0.04	2.3	1,114	1,281
10	600	0.14	0.00	0.0	0.03	1.9	1,146	1,318
12	720	0.13	0.00	0.0	0.03	1.8	1,277	1,469
18	1080	0.08	0.00	0.0	0.02	1.1	1,223	1,407
24	1440	0.07	0.00	0.0	0.02	0.9	1,317	1,514

←←←←

Maximum Required Pond Volume, V_r = 1,514 cf < 3080.4 cf, VOLUME OK!
Storm Duration Resulting in Max Volume = 24 hours



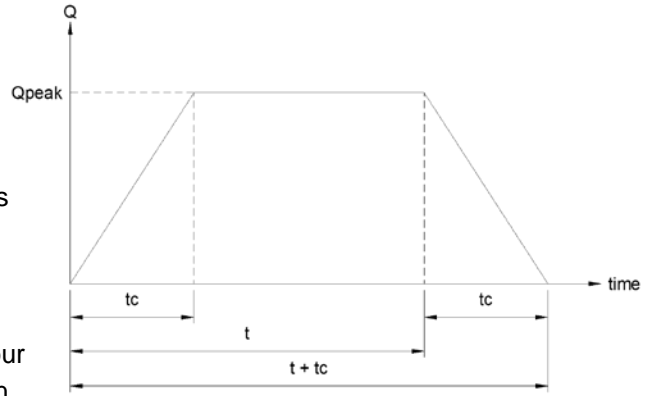
100 E Bower St, Suite 110, Meridian, Idaho 83642
 Phone: 208.288.1992 - Fax: 208.288.1999

Project: SH-44
 Client: City of Star
 Designer: K. Styrlund
 Location: Star, Idaho
 Date & Time: 10/31/2022 10:56

IDF CURVE ZONE A - Swale 7

Flow, Q = CIA (cfs)

- Pre-Developed Runoff Coefficient, C_{pre} = 0.00
- Developed Runoff Coefficient, C_w = 0.90
- Storm Event = 25 year
- Total Area, A = 1.52 acres
- Time of Concentration, t_c = 10 min
- Infiltration Area, A_i = 0 sqft
- Available Facility Volume, V_a = 10730 cuft
- Infiltration Rate, I_r = 2 in/hour
= 0.0028 ft/min
- Infiltrated Flow Rate, $Q_i = A_i \times I_r$ = 0.0 cfm



MODIFIED RATIONAL METHOD HYDROGRAPH

- Offsite Historical Discharge Rate, $Q_d = C_{pre} \times I \times A$ (see table below)
- Maximum Flow, $Q_{peak} = C_w \times I \times A - Q_d$ (see table below)
- Pond Volume, $V = Q_{peak} \times t - Q_i \times (t + t_c) - (Q_d \times t)$ (see table below)
- Sedimentation Increase Factor, $f_v = 1.15$
- Required Facility Volume, $V_r = V \times f_v$ (see table below)
- Time to infiltrate, $t_i = (V_r / Q_i) / 60$

Duration, t		I	Q_d		Q_{peak}		V	V_r
hours	minutes		in/hr	cfs	cfm	cfs		
0.08	5	3.20	0.00	0.0	4.37	262.1	1,310	1,507
0.17	10	2.26	0.00	0.0	3.08	185.1	1,851	2,129
0.25	15	1.87	0.00	0.0	2.55	153.2	2,297	2,642
0.33	20	1.65	0.00	0.0	2.25	135.1	2,703	3,108
0.50	30	1.29	0.00	0.0	1.76	105.7	3,170	3,645
0.67	40	1.00	0.00	0.0	1.37	81.9	3,276	3,767
0.83	50	0.86	0.00	0.0	1.17	70.4	3,522	4,050
1	60	0.76	0.00	0.0	1.04	62.2	3,735	4,295
2	120	0.48	0.00	0.0	0.66	39.3	4,718	5,425
3	180	0.35	0.00	0.0	0.48	28.7	5,160	5,934
4	240	0.28	0.00	0.0	0.38	22.9	5,504	6,329
5	300	0.24	0.00	0.0	0.33	19.7	5,897	6,781
6	360	0.21	0.00	0.0	0.29	17.2	6,192	7,120
8	480	0.17	0.00	0.0	0.23	13.9	6,683	7,686
10	600	0.14	0.00	0.0	0.19	11.5	6,880	7,912
12	720	0.13	0.00	0.0	0.18	10.6	7,666	8,816
18	1080	0.08	0.00	0.0	0.11	6.8	7,342	8,443
24	1440	0.07	0.00	0.0	0.09	5.5	7,902	9,087

←←←←←

Maximum Required Pond Volume, V_r = 9,087 cf < 10730 cf, VOLUME OK!
Storm Duration Resulting in Max Volume = 24 hours

APPENDIX C: UNDERGROUND STORAGE CALCULATIONS

Basin Volume Calculations

Storage Volume Calculations

Sand & Grease Trap Calculations

ACHD Calculation Sheet for Finding Peak Discharge/Volume - Rational Method

NOTE: This worksheet is intended to be a guideline to standardize ACHD checking of drainage calculations and shall not replace the Engineer's calculation methodology. These calculations shall establish a minimum requirement. The Engineer's methodology must result in facilities that meet or exceed these calculations in order to be accepted.

Steps for Peak Discharge Rate using the Rational Method calculated for post-development

Calculate Post-Development Flows (for pre-development flows, increase number of storage facilities to create new tab)

User input in yellow cells.

1 Project Name Star, SH-44 , BASIN A

2 Is area drainage basin map provided? YES

(map must be included with stormwater calculations)

3 Enter Design Storm (100-Year or 25-Year With 100-Year Flood Route) 100

4 Enter number of storage facilities (25 max) 3

Click to Show More Subbasins

	Subbasin 1	Subbasin 2	Subbasin 3	Subbasin 4	Subbasin 5	Subbasin 6	Subbasin 7	Subbasin 8	Subbasin 9	Subbasin 10
5 Area of Drainage Subbasin (SF or Acres)	11,351									
Acres	0.26									
6 Determine the Weighted Runoff Coefficient (C)	0.95									
C=[(C1xA1)+(C2xA2)+(CnxA _n)]/A	0.95									
Weighted Avg	0.95									

7 Calculate Overland Flow Time of Concentration in Minutes (Tc) or use default 10 min

User Calculate

8 Determine the average rainfall intensity (i) from IDF Curve based on Tc	i	2.58	in/hr
9 Calculate the Post-Development peak discharge (QPeak)	Q _{peak}	0.64	cfs

10 Calculate total runoff vol (V) (for sizing primary storage)	V	856	ft ³
<i>V = Ci (Tc=60)Ax3600</i>			
11 Calculate Volume of Runoff Reduction V _{rr}			
Enter Percentile Storm I (95th percentile = 0.60 in)	95th	0.60	in
Enter Runoff Reduction Vol (95th Percentile=0.60-in x Area x C)	V _{rr}	535	ft ³
12 Detention: Approved Discharge Rate to Surface Waters (if applicable)			cfs

13 Volume Summary			
Surface Storage: Basin			
Basin Forebay	V	86	ft ³
Primary Treatment/Storage Basin	V	770	ft ³
Subsurface Storage			
Volume Without Sediment Factor (See BMP 20 Tab)	V	856	ft ³

Type of Surface	Runoff Coefficients "C"
Business	
Downtown areas	0.70-0.95
Urban neighborhoods	0.50-0.70
Residential	
Single Family	0.35-0.50
Multi-family	0.60-0.75
Residential (rural)	0.25-0.40
Apartment Dwelling Areas	0.70
Industrial and Commercial	
Light areas	0.80
Heavy areas	0.90
Parks, Cemeteries	0.10-0.25
Playgrounds	0.20-0.35
Railroad yard areas	0.20-0.40
Unimproved areas	0.10-0.30
Streets	
Asphalt	0.95
Concrete	0.95
Brick	0.95
Roofs	0.95
Gravel	0.75
Fields: Sandy soil	Soil Type
	A B C D
Slope	
Flat: 0-2%	0.04 0.07 0.11 0.
Average: 2-6%	0.09 0.12 0.15 0.
Steep:>6%	0.13 0.18 0.23 0.
Adapted from ASCE	

ACHD Calculation Sheet for Sizing Seepage Bed With Optional Chambers

NOTE: This worksheet is intended to be a guideline to standardize ACHD checking of drainage calculations and shall not replace the Engineer's calculation methodology. These calculations shall establish a minimum requirement. The Engineer's methodology must result in facilities that meet or exceed these calculations in order to be accepted.

Note this spreadsheet pulls information from the "Peak Q,V" tab

Steps for Seepage Beds

Calculate Post-Development Flows (for pre-development flows, increase number of storage facilities to create new tab)

User input in yellow cells.

1 Project Name **Star, SH-44, BASIN A**

2 Enter number of Seepage Beds (25 max) **1**

3 Design Storm			100	
4 Weighted Runoff Coefficient C			0.95	Link to: Q.V, Q.V2, Q.V3, Q.V TR55
5 Area A (Acres)			0.26 acres	
6 Approved discharge rate (if applicable)			0.00 cfs	
7 Is Seepage Bed in Common Lot?	No	V	1,069 ft ³	25% Sediment
8 Set Total Design Width of All Drain Rock		W	6.0 ft	
9 Set Total Design Depth of All Drain Rock Rock Only, Do Not Include Filter Sand Depth or Cover		D	3.0 ft	
10 Void Ratio of Drain Rock 0.4 for 1.5"-2" drain rock and 3/4" Chips		Voids	0.4	
11 Design Infiltration Rate (8 in/hr max)		Perc	8.00 in/hr	
12 Size of WQ Perf Pipe (Perf 180°)		Dia pipe	18 in	
13 Size of Overflow Perf Pipe (Perfs 360°), REQD if Q100>3.3 cfs			 in	
14 Calculate Total Storage per Foot		Spf	11.4 ft ³ /ft	
15 Calculate Design Length Override Value Required for Chambers		L	94 0 ft	
16 Variable Infiltration Window L		SWL	0 ft	
17 Variable Infiltration Window W		SWW	6.0 ft	
18 Time to Drain 90% volume in 48-hours minimum			0.0 hours	OK
19 Length of WQ & Overflow Perf Pipes			0 ft	
20 Perf Pipe Checks. Qperf >= Qpeak; where Qperf=CdxAxv(2xgxH)				NO

Optional Storage Chambers

Note: This assumes chambers are organized in a rectangular layout.

1 Type of Chambers			5-Other	
2 Volume to Store	V		1,069 1,069 ft ³	
3 Installed Chamber Width	Cw		0.00 6.00 ft	
Installed Chamber Depth	Cd		0.00 3.00 ft	
Installed Chamber Height	Ch		0.00 3.00 ft	
4 Chamber Void Factor			0.90	
5 Chamber Storage Volume, Without Rock, Per Manuf			48.60 ft ³ /Unit	
6 Chamber Storage Volume, With Rock, Per Manuf			0.00 ft ³ /Unit	
7 Total Number of Units Required			8 ea	
8 Area of Infiltration	Aperc		144 ft ²	
9 Volume Infiltration	Vperc		96 ft ³ /hr	
10 Time to Drain 90% volume in 48-hours minimum			10.0 hours	OK

ACHD Calculation Sheet for Sand/Grease Traps

NOTE: This worksheet is intended to be a guideline to standardize ACHD checking of drainage calculations and shall not replace the Engineer's calculation methodology. These calculations shall establish a minimum requirement. The Engineer's methodology must result in facilities that meet or exceed these calculations in order to be accepted.

Steps for Sand/Grease Trap Velocity Calculation

User input in yellow cells.

1 Project Name Star, SH-44 , BASIN A

2 Enter number of Sand/Grease Traps (25 max) 3

Vault Size	Number of S/G Traps	Peak Flow Q-cfs	Baffle Spacing (inch)	Throat width (inch)	Area (ft ²)	Velocity 0.5 fps max.	Is the Velocity ok?
1000 G	1	0.64	20	48	6.67	0.10	YES

Reference for Throat widths (inch)

	Boise Vault	Lar-ken	ADS WQU, BMP 16
1000 G	48.0	50.5	n/a
1500 G	60.0	61.5	n/a
WQU1000	n/a	n/a	60
WQU1500	n/a	n/a	60

ACHD Calculation Sheet for Finding Peak Discharge/Volume - Rational Method

NOTE: This worksheet is intended to be a guideline to standardize ACHD checking of drainage calculations and shall not replace the Engineer's calculation methodology. These calculations shall establish a minimum requirement. The Engineer's methodology must result in facilities that meet or exceed these calculations in order to be accepted.

Steps for Peak Discharge Rate using the Rational Method calculated for post-development

Calculate Post-Development Flows (for pre-development flows, increase number of storage facilities to create new tab)

User input in yellow cells.

- 1 Project Name Star, SH-44, Facility 2 , BASIN B

- 2 Is area drainage basin map provided? YES
(map must be included with stormwater calculations)

- 3 Enter Design Storm (100-Year or 25-Year With 100-Year Flood Route) 100

Click to Show More Subbasins

		Subbasin 1	Subbasin 2	Subbasin 3	Subbasin 4	Subbasin 5	Subbasin 6	Subbasin 7	Subbasin 8	Subbasin 9	Subbasin 10
5 Area of Drainage Subbasin (SF or Acres)	SF	23,565									
	Acres	0.54									
6 Determine the Weighted Runoff Coefficient (C) C=[(C1xA1)+(C2xA2)+(CnxA _n)]/A	Weighted Avg	0.95									
	Weighted Avg	0.95									

- 7 Calculate Overland Flow Time of Concentration in Minutes (Tc) or use default 10 min

8 Determine the average rainfall intensity (i) from IDF Curve based on Tc		i	2.58		in/hr
9 Calculate the Post-Development peak discharge (Q _{Peak})		Q _{Peak}	1.33		cfs
10 Calculate total runoff vol (V) (for sizing primary storage) V = Ci (Tc=60)Ax3600		V	1,776		ft ³
11 Calculate Volume of Runoff Reduction V _{rr} Enter Percentile Storm I (95th percentile = 0.60 in) Enter Runoff Reduction Vol (95th Percentile=0.60-in x Area x C)		V _{rr}	1,110	95th 0.60	ft ³
12 Detention: Approved Discharge Rate to Surface Waters (if applicable)					cfs
13 Volume Summary					
Surface Storage: Basin					
Basin Forebay	V	178			ft ³
Primary Treatment/Storage Basin	V	1,599			ft ³
Subsurface Storage					
Volume Without Sediment Factor (See BMP 20 Tab)	V	1,776			ft ³

Estimated Runoff Coefficients for Various Surfaces	
Type of Surface	Runoff Coefficients "C"
Business	
Downtown areas	0.70-0.95
Urban neighborhoods	0.50-0.70
Residential	
Single Family	0.35-0.50
Multi-family	0.60-0.75
Residential (rural)	0.25-0.40
Apartment Dwelling Areas	0.70
Industrial and Commercial	
Light areas	0.80
Heavy areas	0.90
Parks, Cemeteries	0.10-0.25
Playgrounds	0.20-0.35
Railroad yard areas	0.20-0.40
Unimproved areas	0.10-0.30
Streets	
Asphalt	0.95
Concrete	0.95
Brick	0.95
Roofs	0.95
Gravel	0.75
Fields: Sandy soil	Soil Type
	A B C D
Slope	
Flat: 0-2%	0.04 0.07 0.11 0.
Average: 2-6%	0.09 0.12 0.15 0.
Steep: >6%	0.13 0.18 0.23 0.
Adapted from ASCE	

ACHD Calculation Sheet for Sizing Seepage Bed With Optional Chambers

NOTE: This worksheet is intended to be a guideline to standardize ACHD checking of drainage calculations and shall not replace the Engineer's calculation methodology. These calculations shall establish a minimum requirement. The Engineer's methodology must result in facilities that meet or exceed these calculations in order to be accepted.

Note this spreadsheet pulls information from the "Peak Q,V" tab

Steps for Seepage Beds

Calculate Post-Development Flows (for pre-development flows, increase number of storage facilities to create new tab)

User input in yellow cells.

1 Project Name **Star, SH-44, Facility 2 , BASIN B**

2 Enter number of Seepage Beds (25 max) **1**

3 Design Storm			100	
4 Weighted Runoff Coefficient C			0.95	Link to: Q.V Q.V2 Q.V3 Q.V TR55
5 Area A (Acres)			0.54 acres	
6 Approved discharge rate (if applicable)			0.00 cfs	
7 Is Seepage Bed in Common Lot?	No	V	2,220 ft ³	25% Sediment
8 Set Total Design Width of All Drain Rock		W	6.0 ft	
9 Set Total Design Depth of All Drain Rock Rock Only, Do Not Include Filter Sand Depth or Cover		D	3.0 ft	
10 Void Ratio of Drain Rock 0.4 for 1.5"-2" drain rock and 3/4" Chips		Voids	0.4	
11 Design Infiltration Rate (8 in/hr max)		Perc	8.00 in/hr	
12 Size of WQ Perf Pipe (Perf 180°)		Dia pipe	18 in	
13 Size of Overflow Perf Pipe (Perfs 360°), REQD if Q100>3.3 cfs			 in	
14 Calculate Total Storage per Foot		Spf	11.4 ft ³ /ft	
15 Calculate Design Length Override Value Required for Chambers		L	195 0 ft	
16 Variable Infiltration Window L		SWL	0 ft	
17 Variable Infiltration Window W		SWW	6.0 ft	
18 Time to Drain 90% volume in 48-hours minimum			0.0 hours	OK
19 Length of WQ & Overflow Perf Pipes			0 ft	
20 Perf Pipe Checks. Qperf >= Qpeak; where Qperf=CdxAxv(2xgxH)				NO

Optional Storage Chambers

Note: This assumes chambers are organized in a rectangular layout.

1 Type of Chambers			5-Other	
2 Volume to Store	V		2,220 ft ³	
3 Installed Chamber Width	Cw		0.00 6.00 ft	
Installed Chamber Depth	Cd		0.00 3.00 ft	
Installed Chamber Height	Ch		0.00 3.00 ft	
4 Chamber Void Factor			0.90	
5 Chamber Storage Volume, Without Rock, Per Manuf			48.60 ft ³ /Unit	
6 Chamber Storage Volume, With Rock, Per Manuf			0.00 ft ³ /Unit	
7 Total Number of Units Required			17 ea	
8 Area of Infiltration	Aperc		306 ft ²	
9 Volume Infiltration	Vperc		204 ft ³ /hr	
10 Time to Drain 90% volume in 48-hours minimum			9.8 hours	OK

ACHD Calculation Sheet for Sand/Grease Traps

NOTE: This worksheet is intended to be a guideline to standardize ACHD checking of drainage calculations and shall not replace the Engineer's calculation methodology. These calculations shall establish a minimum requirement. The Engineer's methodology must result in facilities that meet or exceed these calculations in order to be accepted.

Steps for Sand/Grease Trap Velocity Calculation

User input in yellow cells.

1 Project Name Star, SH-44, Tank 2 , BASIN B

2 Enter number of Sand/Grease Traps (25 max) 3

Vault Size	Number of S/G Traps	Peak Flow Q-cfs	Baffle Spacing (inch)	Throat width (inch)	Area (ft ²)	Velocity 0.5 fps max.	Is the Velocity ok?
1000 G	1	1.33	20	48	6.67	0.20	YES

Reference for Throat widths (inch)

	Boise Vault	Lar-ken	ADS WQU, BMP 16
1000 G	48.0	50.5	n/a
1500 G	60.0	61.5	n/a
WQU1000	n/a	n/a	60
WQU1500	n/a	n/a	60

ACHD Calculation Sheet for Finding Peak Discharge/Volume - Rational Method

NOTE: This worksheet is intended to be a guideline to standardize ACHD checking of drainage calculations and shall not replace the Engineer's calculation methodology. These calculations shall establish a minimum requirement. The Engineer's methodology must result in facilities that meet or exceed these calculations in order to be accepted.

Steps for Peak Discharge Rate using the Rational Method calculated for post-development

Calculate Post-Development Flows (for pre-development flows, increase number of storage facilities to create new tab)

User input in yellow cells.

- 1 Project Name Star, SH-44, Facility 3 , BASIN C

- 2 Is area drainage basin map provided? YES
(map must be included with stormwater calculations)

- 3 Enter Design Storm (100-Year or 25-Year With 100-Year Flood Route) 100

Click to Show More Subbasins

		Subbasin 1	Subbasin 2	Subbasin 3	Subbasin 4	Subbasin 5	Subbasin 6	Subbasin 7	Subbasin 8	Subbasin 9	Subbasin 10
5 Area of Drainage Subbasin (SF or Acres)	SF	54,485									
	Acres	1.25									
6 Determine the Weighted Runoff Coefficient (C) C=[(C1xA1)+(C2xA2)+(CnxA _n)]/A	Weighted Avg	0.95									
	Weighted Avg	0.95									

- 7 Calculate Overland Flow Time of Concentration in Minutes (Tc) or use default 10 min

8 Determine the average rainfall intensity (i) from IDF Curve based on Tc		i	2.58		in/hr
9 Calculate the Post-Development peak discharge (Q _{Peak})		Q _{Peak}	3.07		cfs
10 Calculate total runoff vol (V) (for sizing primary storage) V = Ci (Tc=60)Ax3600		V	4,107		ft ³
11 Calculate Volume of Runoff Reduction V _{rr} Enter Percentile Storm I (95th percentile = 0.60 in) Enter Runoff Reduction Vol (95th Percentile=0.60-in x Area x C)		V _{rr}	2,567	95th 0.60	ft ³
12 Detention: Approved Discharge Rate to Surface Waters (if applicable)					cfs
13 Volume Summary					
Surface Storage: Basin					
Basin Forebay	V	411			ft ³
Primary Treatment/Storage Basin	V	3,696			ft ³
Subsurface Storage					
Volume Without Sediment Factor (See BMP 20 Tab)	V	4,107			ft ³

Estimated Runoff Coefficients for Various Surfaces	
Type of Surface	Runoff Coefficients "C"
Business	
Downtown areas	0.70-0.95
Urban neighborhoods	0.50-0.70
Residential	
Single Family	0.35-0.50
Multi-family	0.60-0.75
Residential (rural)	0.25-0.40
Apartment Dwelling Areas	0.70
Industrial and Commercial	
Light areas	0.80
Heavy areas	0.90
Parks, Cemeteries	0.10-0.25
Playgrounds	0.20-0.35
Railroad yard areas	0.20-0.40
Unimproved areas	0.10-0.30
Streets	
Asphalt	0.95
Concrete	0.95
Brick	0.95
Roofs	0.95
Gravel	0.75
Fields: Sandy soil	Soil Type
	A B C D
Slope	
Flat: 0-2%	0.04 0.07 0.11 0.
Average: 2-6%	0.09 0.12 0.15 0.
Steep: >6%	0.13 0.18 0.23 0.
Adapted from ASCE	

ACHD Calculation Sheet for Sizing Seepage Bed With Optional Chambers

NOTE: This worksheet is intended to be a guideline to standardize ACHD checking of drainage calculations and shall not replace the Engineer's calculation methodology. These calculations shall establish a minimum requirement. The Engineer's methodology must result in facilities that meet or exceed these calculations in order to be accepted.

Note this spreadsheet pulls information from the "Peak Q,V" tab

Steps for Seepage Beds

Calculate Post-Development Flows (for pre-development flows, increase number of storage facilities to create new tab)

User input in yellow cells.

1 Project Name Star, SH-44, Facility 3 , BASIN C

2 Enter number of Seepage Beds (25 max) 1

3 Design Storm		100			
4 Weighted Runoff Coefficient C		0.95		Link to:	Q.V Q.V2 Q.V3 Q.V TR55
5 Area A (Acres)		1.25	acres		
6 Approved discharge rate (if applicable)		0.00	cfs		
7 Is Seepage Bed in Common Lot?	No	V	5,133	ft ³	25% Sediment
8 Set Total Design Width of All Drain Rock	W	6.0	ft		
9 Set Total Design Depth of All Drain Rock Rock Only, Do Not Include Filter Sand Depth or Cover	D	3.0	ft		
10 Void Ratio of Drain Rock 0.4 for 1.5"-2" drain rock and 3/4" Chips	Voids	0.4			
11 Design Infiltration Rate (8 in/hr max)	Perc	8.00	in/hr		
12 Size of WQ Perf Pipe (Perf 180°)	Dia pipe	18	in		
13 Size of Overflow Perf Pipe (Perfs 360°), REQD if Q100>3.3 cfs			in		
14 Calculate Total Storage per Foot	Spf	11.4	ft ³ /ft		
15 Calculate Design Length <i>Override Value Required for Chambers</i>	L	451	0	ft	
16 Variable Infiltration Window L	SWL	0	ft		
17 Variable Infiltration Window W	SWW	6.0	ft		
18 Time to Drain 90% volume in 48-hours minimum			0.0	hours	OK
19 Length of WQ & Overflow Perf Pipes		0	ft		
20 Perf Pipe Checks. Qperf >= Qpeak; where Qperf=CdxAxv(2xgxH)					NO

Optional Storage Chambers

Note: This assumes chambers are organized in a rectangular layout.

1 Type of Chambers		5-Other			
2 Volume to Store	V	5,133	ft ³		
3 Installed Chamber Width	Cw	0.00	6.00	ft	
Installed Chamber Depth	Cd	0.00	3.00	ft	
Installed Chamber Height	Ch	0.00	3.00	ft	
4 Chamber Void Factor		0.90			
5 Chamber Storage Volume, Without Rock, Per Manuf		48.60	ft ³ /Unit		
6 Chamber Storage Volume, With Rock, Per Manuf		0.00	ft ³ /Unit		
7 Total Number of Units Required			42	ea	
8 Area of Infiltration	Aperc	756	ft ²		
9 Volume Infiltration	Vperc	504	ft ³ /hr		
10 Time to Drain 90% volume in 48-hours minimum			9.2	hours	OK

ACHD Calculation Sheet for Sand/Grease Traps

NOTE: This worksheet is intended to be a guideline to standardize ACHD checking of drainage calculations and shall not replace the Engineer's calculation methodology. These calculations shall establish a minimum requirement. The Engineer's methodology must result in facilities that meet or exceed these calculations in order to be accepted.

Steps for Sand/Grease Trap Velocity Calculation

User input in yellow cells.

1 Project Name Star, SH-44, Tank 3, BASIN C

2 Enter number of Sand/Grease Traps (25 max) 3

Vault Size	Number of S/G Traps	Peak Flow Q-cfs	Baffle Spacing (inch)	Throat width (inch)	Area (ft ²)	Velocity 0.5 fps max.	Is the Velocity ok?
1000 G	1	3.07	20	48	6.67	0.46	YES

Reference for Throat widths (inch)

	Boise Vault	Lar-ken	ADS WQU, BMP 16
1000 G	48.0	50.5	n/a
1500 G	60.0	61.5	n/a
WQU1000	n/a	n/a	60
WQU1500	n/a	n/a	60

APPENDIX D: GUTTER, INLET & SPREAD

Summary: Gutter & Inlet Capacity

Summary: Spread Calculations

Gutter Capacity Figures

Gutter Flow and Inlet Spacing Calculations



131 S.W. 5TH Avenue, Suite A, Meridian, Idaho 83642
 Phone: 208.288.1992 - Fax: 208.288.1999

Project: SH-44, Can Ada to Star Rd
 Client: City of Star
 Designer: K. Styrlund
 Project No. 203010-464
 Date & Time: 7/20/2022 11:26

SUMMARY: GUTTER & INLET FLOW CAPACITY

* Refer to the Gutter Flow and Inlet Spacing for calculations on flow capacity and Q, actual flow per gutter

CATCH BASIN AREAS	AREA (AC)	MIN SLOPE (FT/FT)	FLOW CAPACITY (CFS)	Q, ACTUAL FLOW PER GUTTER (CFS)	GUTTER FLOW CHECK	ACTUAL FLOW PER INLET (CFS)
A1	0.14	0.3%	1.19	0.39	OK	0.39
A2	0.12	0.3%	0.85	0.33	OK	0.33
B1	0.15	0.3%	1.19	0.42	OK	0.81
B3	0.14	0.3%	1.19	0.39	OK	
B2	0.13	0.3%	0.85	0.36	OK	0.70
B4	0.12	0.3%	0.85	0.33	OK	
C1	0.16	0.3%	1.19	0.45	OK	0.45
C2	0.13	0.3%	0.85	0.36	OK	0.36
C3	0.22	0.3%	1.19	0.61	OK	1.28
C5	0.24	0.3%	1.19	0.67	OK	
C4	0.23	0.3%	0.85	0.64	OK	1.37
C6	0.26	0.3%	0.85	0.73	OK	

GUTTER FLOW SUMMARY

MINIMUM GUTTER SLOPE 0.3%
 MINIMUM GUTTER CAPACITY 0.85
 MAX FLOW PER INLET 0.73
 GUTTER CAPACITY CHECK OK

INLET FLOW SUMMARY

MINIMUM INLET CAPACITY 1.56
 MAX FLOW PER INLET 1.37
 INLET CAPACITY CHECK OK



100 E Bower St, Suite 110, Meridian, Idaho 83642
Phone: 208.288.1992 - Fax: 208.288.1999

Project: SH-44

Client: City of Star

Designer: K. Styrhund

Date & Time: 7/20/2022 11:26

SUMMARY: SPREAD CALCULATIONS

$$T = [(Qn)/(K_u S_x^{1.67} S_L^{0.5})]^{0.375}$$

T = Width of flow (spread), m (ft)

Q = Flow rate, m³/s (ft³/s) = See Summary: Inlet & Gutter Capacity

n = Manning's coefficient = 0.0016

K_u = 0.376 (0.56 in English Units)

S_x = Cross slope, m/m (ft/ft) = 0.02

S_L = Longitudinal slope, m/m (ft/ft) = 0.03

T_{ITD} = ITD Allowable Spread

= $\frac{1}{2}$ Lane Width + Gutter

$\therefore T_{ITD} = 7.5'$

T_{AASHTO} = AASHTO Allowable Spread

= 3' + Gutter

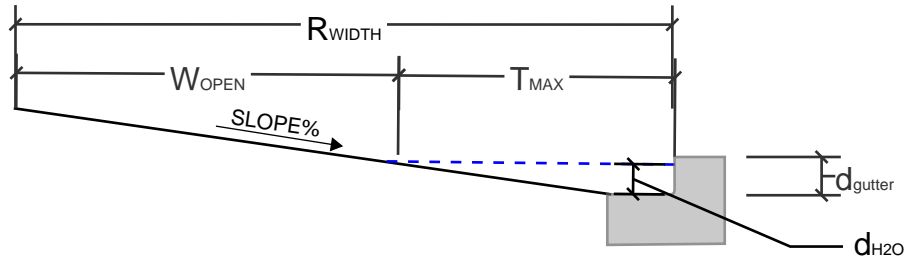
$\therefore T_{AASHTO} = 4.5'$

CATCH BASIN AREAS	WATER DEPTH @ GUTTER (IN)	Q, ACTUAL FLOW PER GUTTER (CFS)	T _{ACTUAL} , WIDTH OF SPREAD (FT)	ITD ALLOWABLE SPREAD CHECK (<7.5)	AASHTO ALLOWABLE SPREAD CHECK (<4.5)
A1	0.65	0.39	2.69	OK	OK
A2	0.61	0.33	2.54	OK	OK
B1	0.66	0.42	2.76	OK	OK
B3	0.65	0.39	2.69	OK	OK
B2	0.63	0.36	2.62	OK	OK
B4	0.61	0.33	2.54	OK	OK
C1	0.77	0.45	3.19	OK	OK
C2	0.63	0.36	2.62	OK	OK
C3	0.77	0.61	3.19	OK	OK
C5	0.79	0.67	3.29	OK	OK
C4	0.78	0.64	3.24	OK	OK
C6	0.81	0.73	3.39	OK	OK

NOTE: DEPTH AT GUTTER DOES NOT OVERTOP CURB

GUTTER CAPACITY, Northside (12' Lanes)

ALLOWABLE SPREAD



$$R_{\text{WIDTH}} = 13.5' \quad (\text{WIDTH OF ROADWAY DRAINING TO GUTTER+ GUTTER WIDTH})$$

$$W_{\text{OPEN}} = 6' \quad (\text{PER JURISDICTION REQUIREMENTS BASED ON ROADWAY CLASSIFICATION})$$

$$T_{\text{MAX}} = \text{THE LESSER OF } T_{\text{ALLOWED}} \text{ VERSUS } T_{\text{CURB}}$$

$$T_{\text{CURB}} = \frac{d_{\text{gutter}}}{\text{cross slope}} = \frac{0.38'}{2\%} = 19' \quad \text{THIS IS THE MAXIMUM SPREAD THAT WILL NOT OVERTOP THE CURB}$$

$$T_{\text{ALLOWED}} = 7.5' \quad (T_{\text{MAX}} = R_{\text{WIDTH}} - W_{\text{OPEN}}) \quad \text{THIS IS THE MAXIMUM SPREAD THAT ALLOWS } W_{\text{OPEN}} \text{ TO BE TRUE}$$

$$T_{\text{MAX}} = 7.5'$$

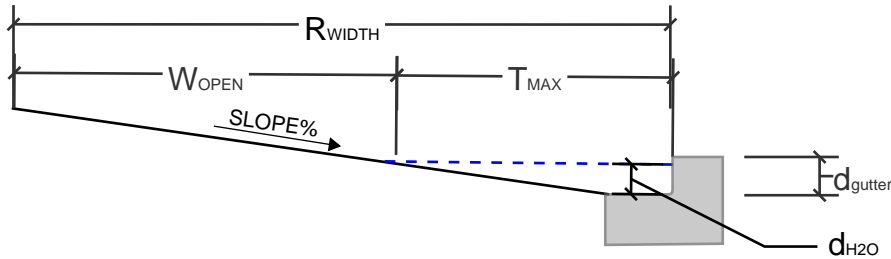
$$d_{\text{H2O}} = T_{\text{MAX}} \times \text{SLOPE \%} = 0.15' = 1.8''$$

SECONDARY CONVEYANCE (100 YEAR STORM)

The elevation of the top back of curb must contain the 100-year storm event. Therefore the maximum spread for the 100-year storm event is T_{CURB} feet and the depth of flow in the gutter is d_{GUTTER}

GUTTER CAPACITY

ALLOWABLE SPREAD



$$R_{\text{WIDTH}} = 15.5' \quad (\text{WIDTH OF ROADWAY DRAINING TO GUTTER} + \text{GUTTER WIDTH})$$

$$W_{\text{OPEN}} = 7' \quad (\text{PER JURISDICTION REQUIREMENTS BASED ON ROADWAY CLASSIFICATION})$$

$$T_{\text{MAX}} = \text{THE LESSER OF } T_{\text{ALLOWED}} \text{ VERSUS } T_{\text{CURB}}$$

$$T_{\text{CURB}} = \frac{d_{\text{gutter}}}{\text{cross slope}} = \frac{0.38'}{2\%} = 19' \quad \text{THIS IS THE MAXIMUM SPREAD THAT WILL NOT OVERTOP THE CURB}$$

$$T_{\text{ALLOWED}} = 8.5' \quad (T_{\text{MAX}} = R_{\text{WIDTH}} - W_{\text{OPEN}}) \quad \text{THIS IS THE MAXIMUM SPREAD THAT ALLOWS } W_{\text{OPEN}} \text{ TO BE TRUE}$$

$$T_{\text{MAX}} = 8.5'$$

$$d_{\text{H2O}} = T_{\text{MAX}} \times \text{SLOPE \%} = 0.17' = 2.04''$$

SECONDARY CONVEYANCE (100 YEAR STORM)

The elevation of the top back of curb must contain the 100-year storm event. Therefore the maximum spread for the 100-year storm event is T_{CURB} feet and the depth of flow in the gutter is d_{GUTTER}



131 SW 5th Avenue, Suite A, Meridian, Idaho 83642
Phone: 208.288.1992 - Fax: 208.288.1999

Project Name: SH-44
Project No.: 203010-464
Calculations by: K. Styrlund
Date & Time: 7/20/2022 11:39 AM

GUTTER FLOW AND INLET SPACING

THESE CONDITIONS APPLY TO BASINS: A1, B1 & B3, C1, C3 & C5 (Northside, 12' lanes)

GUTTER FLOW CAPACITY

$$\text{GUTTER FLOW, } Q = (0.56/n) * S_x^{1.67} * S_c^{0.5} * T^{2.67}$$

CROSS SLOPE, S_x =	<u>0.03</u> ft/ft
CURB & GUTTER SLOPE, S_c =	<u>0.003</u> ft/ft (0.3%=0.003 absolute min., 0.5%=0.005 recommended min.)
TOP BACK OF CURB HEIGHT, H_c =	<u>0.375</u> ft (Type 2 curb & gutter is 0.375' high from lip of gutter)
HEIGHT WATER CAN OVER TOP THE CURB, H_{ot} =	<u>0.00</u> ft (Without causing offsite damages)
MAXIMUM WATER DEPTH ABOVE GRATE, $H_{max} = H_c + H_{ot}$ =	0.375 ft
WATER DEPTH SPREAD, T_{h2o} = [$T_{h2o} = (H_{max}) / S_x$]	12.5 ft (based on max. depth of water at curb)
ALLOWABLE SPREAD, T_{allow} =	<u>7.50</u> ft (for roadways, see jurisdictions requirements)
SPREAD, T_{max} =	7.50 ft (minimum value of T_{allow} or T_{h2o})
MANNING COEF., n =	0.016
MAX. GUTTER FLOW, Q_{gutter} =	1.19 cfs

INLET GRATE CAPACITY

DEPTH OF WATER AT SPREAD, H_{spread} =	0.225 ft, ($H = T_{max} * S_x$)
DISTANCE FROM LIP OF GUTTER TO DEPRESSED GRATE, H_{lip} =	<u>0.00</u> ft (0.17 feet for Type 4 Catch Basins, otherwise enter 0)
$H = H_{spread} + H_{lip}$ =	0.225 ft

GRATE ANALYZED LIKE A WEIR

GRATE FLOW, $Q_{weir} = 3.3 * P * H^{1.5}$	
GRATE LENGTH ALONG LIP OF GUTTER, L_{grate} =	<u>3.9</u> ft
GRATE WIDTH FROM LIP TO FACE OF CURB, W_{grate} =	<u>2.13</u> ft
IS THE GRATE AT THE BOTTOM OF A SAG CURVE? [YES = 1, NO = 0]	<u>1</u> (USE INLET WITH CURB OPENING, AND CONSIDER FLANKING INLETS)
WEIR PERIMETER, P =	8.15 ft, (If in sag of curve, $P = L_{grate} + 2 * W_{grate}$, otherwise $P = W_{grate}$)
GRATE FLOW, Q_{weir} =	2.87 cfs



131 SW 5th Avenue, Suite A, Meridian, Idaho 83642
Phone: 208.288.1992 - Fax: 208.288.1999

Project Name: SH-44
Project No.: 203010-464
Calculations by: K. Styrlund
Date & Time: 7/20/2022 11:39 AM

GUTTER FLOW AND INLET SPACING

THESE CONDITIONS APPLY TO BASINS: A2, B2 & B4, C2, C4 & C6 (Southside, 14' Lanes)

GUTTER FLOW CAPACITY

$$\text{GUTTER FLOW, } Q = (0.56/n) * S_x^{1.67} * S_c^{0.5} * T^{2.67}$$

CROSS SLOPE, S_x =	<u>0.02</u> ft/ft
CURB & GUTTER SLOPE, S_c =	<u>0.003</u> ft/ft (0.3%=0.003 absolute min., 0.5%=0.005 recommended min.)
TOP BACK OF CURB HEIGHT, H_c =	<u>0.375</u> ft (Type 2 curb & gutter is 0.375' high from lip of gutter)
HEIGHT WATER CAN OVER TOP THE CURB, H_{ot} =	<u>0.00</u> ft (Without causing offsite damages)
MAXIMUM WATER DEPTH ABOVE GRATE, $H_{max} = H_c + H_{ot}$ =	<u>0.375</u> ft
WATER DEPTH SPREAD, T_{h2o} = [$T_{h2o} = (H_{max}) / S_x$]	<u>18.75</u> ft (based on max. depth of water at curb)
ALLOWABLE SPREAD, T_{allow} =	<u>8.50</u> ft (for roadways, see jurisdictions requirements)
SPREAD, T_{max} =	<u>8.50</u> ft (minimum value of T_{allow} or T_{h2o})
MANNING COEF., n =	0.016
MAX. GUTTER FLOW, Q_{gutter} =	<u>0.85</u> cfs


INLET GRATE CAPACITY

DEPTH OF WATER AT SPREAD, H_{spread} =	<u>0.170</u> ft, ($H = T_{max} * S_x$)
DISTANCE FROM LIP OF GUTTER TO DEPRESSED GRATE, H_{lip} =	<u>0.00</u> ft (0.17 feet for Type 4 Catch Basins, otherwise enter 0)
$H = H_{spread} + H_{lip}$ =	<u>0.170</u> ft

GRATE ANALYZED LIKE A WEIR

$$\text{GRATE FLOW, } Q_{weir} = 3.3 * P * H^{1.5}$$

GRATE LENGTH ALONG LIP OF GUTTER, L_{grate} =	<u>3.9</u> ft
GRATE WIDTH FROM LIP TO FACE OF CURB, W_{grate} =	<u>2.13</u> ft
IS THE GRATE AT THE BOTTOM OF A SAG CURVE? [YES = 1, NO = 0]	<u>1</u> (USE INLET WITH CURB OPENING, AND CONSIDER FLANKING INLETS)
WEIR PERIMETER, P =	<u>8.15</u> ft, (If in sag of curve, $P = L_{grate} + 2 * W_{grate}$, otherwise $P = W_{grate}$)
GRATE FLOW, Q_{weir} =	<u>1.89</u> cfs



CITY OF STAR
ENGINEER DEPARTMENT
MEMO

TO: Mayor & Council
FROM: Tim Clark, P.E., Assistant City Engineer
MEETING DATE: **October 17, 2023**
RE: **Floating Feather to Star Middle School Pathway Project**

ACTION

Bid openings for the Floating Feather to Star Middle School Pathway project were held October 11, 2023, 4:00 pm in the Public Meeting Room. One bid was received for the proposed project. The bid appeared to meet the bidding requirements. This project was bid as a lump sum project with no alternative items. The base bid was the only item considered in determining the selection of a qualified contractor.

The bid received was from:

- Pathway Concrete and Landscape Company LLC

The apparent low bidder at this time is Pathway Concrete and Landscape Company LLC with a low bid of \$280,000. Staff is recommending issuance of a Notice of Award to Pathway Concrete and Landscape Company LLC. This will allow the City to retain the \$250,000 grant that was awarded to the City to build the pathway. This grant expires at the end of the year.



**REQUEST FOR PROPOSAL (RFP)
For Professional Services**

Star Pathway Master Plan

The City of Star, hereinafter “City” or “Star”, is seeking the services of a consultant team of professional planners, engineers and architects experienced with urban pathway design, and planning, hereinafter the “Proposer”. This experience shall be translated into a comprehensive master pathway plan document that can help guide the City as pathways are implemented in the future.

PROPOSAL DELIVERY AND SCHEDULE

Proposals will be received until 3:00 PM, _____. Proposals may be hand-delivered to Shawn Nickel by 3:00 PM on _____ at Star City Hall, 10769 W. State St., Star, ID 83669. Alternatively, proposals may be mailed to Star City Hall, c/o Shawn Nickel, P.O. Box 130, Star, ID 83669. Five (5) proposals shall be delivered together in an envelope addressed to Shawn Nickel, Planning Director & Zoning Administrator with the words “Star Pathway Master Plan Proposal” clearly written on the envelope. Additionally, a memory stick shall be provided in the envelope with a PDF of the proposal.

SCOPE OF SERVICES/DELIVERABLES/PRODUCT

Please refer to Appendix A – Star Pathway Master Plan Scope of Work for the effort requested, hereafter referred to as the “Scope”.

PROPOSALS

Proposers should letter and number responses exactly as the questions are presented herein. Proposals shall be prepared using size 11 font not including headings and shall not exceed ten (10) 8 ½”x11” sheets of paper, not including the front and back cover. Sheets may be double sided. All pages shall be numbered.

1. Introduction (Transmittal Letter)

By signing the letter and/or offer, the Proposer certifies that the signatory is authorized to bind the Proposer. The transmittal letter should include the title “Professional Services for the Star Pathway Master Plan” and include the company name, address, telephone number, federal tax identification number and the name, title, address, telephone number, fax number and email address of the contact person authorized to contractually obligate the Proposer on behalf of the Proposer.

By signing the letter and/or offer, the Proposer certifies that the signatory is authorized to bind the Proposer. The proposal shall include:

- a. A brief statement of the Proposer’s understanding of the scope of work to be performed.
- b. A confirmation that the Proposer meets the appropriate state licensing requirements to practice in the State of Idaho, if applicable.

- c. A confirmation that, if awarded the contract, the Proposer acknowledges its complete responsibility for the entire contract, including payment of any and all charges resulting from the contract.
- d. A brief statement of which subconsultants will be included in the Proposer's team and a confirmation the prime consultant has secured teaming commitments and can commit the subconsultant resources listed in the Proposal.
- e. Any other information the Proposer feels is appropriate.
- f. The signature of an individual who is authorized to make offers of this nature in the name of the Proposer submitting the proposal.
- g. The Introduction shall be limited to one page and shall be Page 1.

2. Firm Experience and Qualifications

Proposers should:

- a. Describe Proposer's firm by providing its full legal name, date of establishment, type of entity and business expertise, short history, current ownership structure and any recent or materially significant proposed change in ownership. The same information shall be provided for any subconsultants involved.
- b. Describe any prior engagements in which the Proposer's firm assisted a municipality with any other similar projects. Proposer shall include all relevant examples of work on similar projects as described in the Scope. Proposer shall provide the names, phone numbers and emails of contact persons in the organizations for whom any projects referenced in this section were conducted. Proposer may include written references (letters or forms are acceptable) from previous clients attesting to the quality of work Proposer cites in this section.
- c. Describe any issue the characteristics of which would be uniquely relevant in evaluating the experience of Proposer's firm to handle the proposed project.
- d. Provide current information on professional errors and omissions coverage carried by Proposer's firm, including amount of coverage.
- e. Describe any relevant specialized knowledge in planning.

3. The "Team"

The City believes the people working on a project make a significant difference. As a minimum, the City requires that:

- The Proposer's project manager shall be local to the Treasure Valley area.
- The project manager shall be either a licensed planner, architect or professional engineer, licensed in the State of Idaho.
- The project manager shall have prior experience working on at least one (1) master plan project.

Proposers shall:

- a. Identify staff members who would be assigned to act for the Proposer in key management and field positions providing the services described in the Scope and the functions to be performed by each.

- b. Provide an organizational chart showing the Proposer's team with name, position title, areas of responsibility, and firm shown.
- c. Include resumes of each team member shown in the organizational chart including name position, telephone number, email address, education, licensing credentials, if applicable, and years and type of experience. Describe for each such person, the relevant projects on which they have worked. Provide contact information including names, telephone numbers and email addressed of contact person with the firms or organizations with whom these staff members worked on similar or related projects.

4. Project Approach

Proposers shall:

- a. Clearly describe the unique approach, methodologies, knowledge and capability to be employed in the performance of the Scope.
- b. Present innovative concepts, approaches, and methodologies, if any, not discussed in the Scope for consideration.
- c. Identify expected challenges and proposed solutions to those challenges.

5. Project Schedule

The City is interested in moving forward as quickly as possible. The Proposer shall:

- a. Propose a schedule for the development of the Star Pathway Master Plan using the review time assumptions listed in the Scope.
- b. Assume the Notice to Proceed and the beginning point of the schedule is _____, 2023. This date has been established as a baseline for all proposers for comparison purposes and is subject to change.
- c. Identify all assumptions made in the development of the schedule including those listed in the Scope.
- d. The Project Schedule shall be limited to one page.

6. Cost Proposal

Compensation shall be on a time and materials basis with a not-to-exceed amount for each task identified in the Scope.

Proposer shall:

- a. Provide a cost proposal in table format showing each task and subtask identified in the Scope with total labor and total direct expenses shown.
- b. Identify general assumptions made in the development of the Cost Proposal including expected meetings,
- c. The Cost Proposal shall be limited to one page.

Once selected, the Proposer shall submit to the City during contract negotiations a breakdown of labor rates, overhead rates, and expected hours for those expected to be involved on the project.

The City shall not be liable for any cost incurred by any Proposer prior to the execution of an agreement or contract created as a result of this RFP. The City shall not be liable for any costs incurred by the selected consultant that are not specified in the contract.

7. Contract Concerns

The Proposer shall identify any exceptions and propose alternative language to Appendix B – Sample Consultant Agreement.

SELECTION CRITERIA

The City of Star reserves the right to accept or reject any or all proposals. All proposals become the property of the City. The City shall evaluate each proposal as follows:

1. The following categories shall be evaluated using the weighting shown.
 - a. **Firm Experience and Qualifications (200 points)**
The Proposer’s firm and subconsultants have the necessary experience and qualifications and capacity for the satisfactory performance of the required services. References shall be checked and considered in the evaluation.
 - b. **The “Team” (300 points)**
The Proposer has identified a Project Manager and key staff with the experience and qualifications necessary for the satisfactory performance of the required services. References shall be checked and considered in the evaluation.
 - c. **Project Approach (300 points)**
Proposer demonstrates an understanding of the level of effort required and what the project will entail overall.
 - d. **Project Schedule (100 points)**
The Proposer recognizes the need to complete this project in a timely manner without sacrificing the quality of the final product.
 - e. **Cost Proposal (100 points)**
Cost Proposals amounts shall be listed lowest to highest. The lowest score shall be awarded 200 points, the highest cost proposal shall be awarded the lowest points. Depending on the number of proposers, the 200 points will be equally prorated. For example, if there are 4 proposers, the lowest proposer shall be awarded 200 points, the second lowest 150, the third lowest 100 and the highest cost awarded 50 points.

CONTRACT REQUIREMENTS

Contract discussion and negotiation will follow award selection

The agreement will be based on a time and materials, not-to-exceed price basis, with payment terms to be negotiated with the selected respondent.

The contract shall not be considered executed unless signed by the authorizing representative of the City and the successful respondent. The contract may be extended beyond the original term by agreement of both parties.

Please refer to Appendix B – Sample Consultant Agreement for the requirements the City anticipates for this work effort.

COMPLIANCE WITH LAWS

The selected firm agrees to be bound by all applicable federal, State, and local laws, regulations and directives as they pertain to the performance of the contract.

QUESTIONS

Questions concerning this RFP shall be in writing and submitted no later than 10 business days prior to the submittal date. Questions may be emailed, mailed, or hand delivered. Inquiries made orally are not allowed and shall not be answered. The subject line on a question submitted via email must have “PATHWAY MASTER PLAN – QUESTION” as the subject line. Mailed or hand delivered questions must be in an envelope addressed as shown below and must have “PATHWAY MASTER PLAN – QUESTION” written on the envelope. Emails and addresses are shown below.

Email

snickel@staridaho.org

Mailed

City of Star
c/o Shawn Nickel/City Planner
P.O. Box 130
Star, ID 83669

Hand Delivered

City Hall
Shawn Nickel
10769 W. State Street
Star, ID 83669

APPENDIX A

STAR PATHWAY MASTER PLAN SCOPE OF WORK

GENERAL OVERVIEW

The City of Star is soliciting proposals through invitation to perform Consultant Services for the preparation of the Star Pathway Master Plan. The project shall be managed by Star's Planning Director. Funding for the project will be through local funds.

Star is seeking the services of a consultant team of professional planners, engineers and/or architects experienced with urban pathway design, planning and construction. This experience shall be translated into a comprehensive master plan document that can help guide the City as pathways are implemented in the future.

Star has established a pathway map showing approximately 66 miles of pathways throughout Star including approximately 31 miles of community pathways within developments and neighborhoods typically along ditch easements, 13 miles of greenbelt pathways along the Boise River and 22 miles of Highway pathways along US Highway 20/26, State Highway 44, and State Highway 16. A draft pathway agreement has been created and shared with the Middleton Mill Ditch Company but execution of this agreement remains pending. A preliminary pathway map has been established and approved by the Star City Council, see Appendix C – City of Star Master Pathway Map.

The anticipated Scope of Work "Scope" for the Consultant Services is outlined below.

PROJECT APPROACH

The project approach entails gaining a familiarization with the pathway program and the work that has been to date. The City's participants in this process include the City's Mayor, City Council, City staff, and Star's volunteer Pathway Subcommittee and in this document shall be recognized as the City's Team. Understanding the dynamics of where pathways are intended to go, the various types of pathways, and the relationship between the City and the entities that control the various jurisdictions where the pathways will be placed including but not limited to ditch companies, Ada County Highway District (ACHD) and Canyon Highway District No. 4 (CHD4) corridors, or ITD corridors shall be required with the project approach.

Field work will have to be conducted to get a full understanding of existing and proposed pathway locations.

Ultimately, the City desires to have a comprehensive map(s) showing where pathways exist and are planned so when property is developed or made available, the City can clearly see what pathway effort needs to be promoted.

Finally, the City needs a master plan document that identifies the types of pathways planned in different locations, a discussion of how the pathways will be used, typical sections showing how different pathway types will be constructed, the types and frequency of amenities that should be implemented, wayfinding, and any other common facets typical to a community pathway system and a master plan document.

PROJECT TASKS

Task 1.0 – Project Management

This task includes oversight and direction of the entire work effort including each of the below stated tasks. This task ensures consistent coordination and communication throughout the project.

Monthly, the Project Manager shall provide the City with a progress report including a schedule update. The progress report shall address progress made during the month and identify any “road blocks” the consultant needs assistance with from the City in order to keep the project on schedule.

Deliverables

1.0a - Monthly progress report.

Task 2.0 – Pathway Master Plan

2.1 Mapping

The Consultant shall use the City’s existing CAD pathway map as a starting point. The map files will be provided or can be requested during the RFP process. The Consultant shall update the mapping files to delineate between existing pathways and proposed pathways. This will require the Consultant to field verify the existing and proposed pathways. The mapping of the pathways does not need to be surveyed; limits can be visually approximated.

The Consultant shall prepare the following maps:

Pathway Types Map – This map shows the various types of pathways including Community, Greenbelt, Highway, Natural Pathways and segments of sidewalks that will serve a dual purpose as a sidewalk and connectivity between pathways. The map must show existing and proposed pathway locations.

Pathway Jurisdictional Map – This map shows the same information as the Pathway Types Map in addition to showing the various special districts (ditch companies), government agencies, or highway districts along the pathway corridors including but not limited to the ditch companies, ACHD, CHD4 or ITD. Each homeowner’s association or private property owner does not need to be identified.

Pathway Materials Map – This map shows the various pathway materials types anticipated for each pathway shown.

All PDF files of the pathway maps shall be created for implementation into a document or as a handout on 11x17 paper at a reasonable scale and presentation at a 22x34 scale for hanging on a wall. All maps shall be consistent with the City’s map standard including borders, logos and legends.

The final pathway maps shall be integrated into the Master Plan document.

A sample electronic file of the pathway mapping files shall be submitted early in the effort to the City’s engineer for review. Draft e-files, both CAD and PDF, shall be submitted to the City

Engineer on a memory stick and ten (10) full size plots of the pathway maps listed above shall be submitted to the City's Team for review. Reviews shall take no longer than 30 days. Submittal of the drafts shall coincide with the monthly City Transportation & Pathway Committee meeting.

Deliverables

- 2.1a – CAD Mapping Files, draft and final
- 2.1b – PDF Pathway Types Map, draft and final
- 2.1c – PDF Pathway Jurisdictional Map, draft and final
- 2.1d – PDF Pathway Materials Map, draft and final

2.2 Pathway Typical Sections

The Consultant shall develop typical sections of the four types of pathways; Community, Greenbelt, Highway, and Natural. The typical sections shall identify corridor width, pathway width, depth of materials, and material types. The consultant shall work with the City's Team to identify which pathway material types shall be used at various locations.

Draft plots of the pathway typical sections shall be submitted to the City's Team for review. Reviews shall take no longer than 30 days. Submittal of the drafts shall coincide with the monthly City Transportation & Pathway Committee meeting.

The final typical sections shall be integrated into the Master Plan document.

Deliverables

- 2.2a – CAD Section Files, final
- 2.2b – PDF Files of Pathway Typical Sections, draft and final

2.3 Amenities

The Consultant shall provide recommendations to the City on the types and frequency of amenities to utilize on the various pathway types. Consideration shall be given to cost, ease of installation, durability, operations, and maintenance needs. Types of amenities include (but are not limited to) trash receptacles, pet waste facilities, bicycle repair, benches, and wayfinding. Wayfinding information shall be limited to sign and post types and a general discussion regarding regional signs, local signs, and other considerations in a wayfinding program. Pathway heads, their location and associated amenities shall be addressed in a cursory manner.

A memorandum with graphics of proposed amenities shall be submitted to the City's Team for review. Reviews shall take no longer than 30 days. Submittal of the drafts shall coincide with the monthly City Transportation & Pathway Committee meeting.

The feedback gathered from the review of the amenities memorandum shall be incorporated into the Master Plan document.

Deliverables

- 2.3a – Memorandum with graphics of proposed amenities.

2.4 Public Outreach

The City desires to gather public input in the development of the City Pathway Master Plan regarding pathway locations, pathway types, and pathway amenities. The Consultant shall host at least two (2) 3-hour public open houses at either City Hall or the River House. The information shown shall include the draft pathway maps identified in Task 2.1, draft typical sections developed in Task 2.2 and the proposed compliment of amenities identified in Task 2.3. A presentation is not necessary but ample display boards at a scale the public can clearly view and understand is required. Computer monitors and the ability for the public, with assistance from the consultant, to zoom in on their area of interest shall be used.

The input from the public meetings shall be compiled and discussed with the City. At the direction of the City, comments shall be implemented into the final maps, typical sections, and amenity selection.

A description of the public outreach efforts and the feedback gathered shall be incorporated into the Master Plan document.

Deliverables

2.4a – (2) 3-hour Open Houses

2.5 Maintenance

The Consultant shall develop a memorandum on the anticipated pathway maintenance the City will need to implement consistent with the pathway maintenance programs used by other municipalities in the Treasure Valley.

The memorandum shall address daily maintenance (trash, landscape), routine maintenance (sweeping, leaf blowing, snow removal, general maintenance, tree trimming, etc), periodic maintenance (removal of ditch debris, resurfacing, regrading, tree removal, striping, etc), and long-term maintenance (pavement replacement, bridge inspection, painting, etc).

The feedback gathered from the review of the maintenance memorandum shall be incorporated into the Master Plan document.

Deliverables

2.5a – Maintenance memorandum.

2.6 Master Plan Document

The Consultant shall prepare a master plan document that compiles the information gathered Tasks 2.1 – 2.5 above in a comprehensive manner. An outline of the Master Plan document shall be submitted to the City’s Team early in the process to ensure the document will address all of the City’s needs. The City shall provide feedback on the outline in no more than 10 days.

A complete draft document shall be submitted in PDF format to the City’s Team for review. Reviews shall take no longer than 30 days. Submittal of the draft shall coincide with the monthly City Transportation & Pathway Committee meeting.

Once comments are received, the Consultant shall advance the final master plan document without delay. The final master plan submittal shall include (2) bound hard copies, a single

PDF file of the document, indexed, and an organized directory with all e-files used to create the document including MS Word files and other files as appropriate.

Deliverables

- 2.6a – Master Plan Outline
- 2.6b – Master Plan, draft and final

Task 3.0 - Cost Estimate

The Consultant shall prepare a cost estimate for the implementation of the pathway system identified in the prepared pathway maps. The cost estimate shall provide the length of each pathway type in the proposed system, a unit price for each pathway type per mile, a total cost for each pathway type and a total cost of the overall program. Unit costs shall only include construction costs and will not include right of way costs or design costs. A comprehensive breakdown and write-up of each unit price is expected.

Additionally, the Consultant shall prepare a maintenance cost per mile estimate for the various pathway types and maintenance categories (daily, routing, periodic, and long term). A comprehensive breakdown and write-up of each unit price is expected.

The draft and final estimates shall be submitted to the City’s Team in PDF format along with any MS Word and MS Excel files. For scheduling purposes, assume the draft review shall last 30 days.

Deliverables

- 3.0a – Capital Cost Estimate, draft and final
- 3.0b – Maintenance Cost Estimate, draft and final

Task 4.0 – Land Use Plan Update

The Consultant shall review the City’s existing Land Use Plan and provide an updated section as it relates to pathways.

The Consultant shall review the City’s existing Comprehensive Plan and provide an updated section at it relates to pathways.

The draft and final update shall be submitted to the City’s Team in PDF format along with any MS Word files. For scheduling purposes, assume the draft review shall last 30 days.

Deliverables

- 4.0a – Land Use Plan Pathways Section Update, draft and final

Task 5.0 – City Transportation & Pathway Committee Meetings

The Consultant’s Project Manager or representative shall attend the monthly City Transportation Committee meeting held at the Star City Hall, typically the first Wednesday of each month. The Consultant shall provide a brief update of the Master Plan effort and be provided a limited time for discussion. The Consultant shall compile and provide a list of questions in advance of the meeting to make the most of the available time. This meeting addresses many topics and cannot solely focus on the Master Plan discussion. The meeting typically lasts 2 hours.

Deliverables

5.0a – Participation in the monthly meeting.

Floating Feather to Star Middle School Pathway

Bidder	Bid Bond	License Number	Signed	Price
Pathways, Concrete, and Landscape Company Inc	X	X	X	\$ 280,000.00

City of Star
Floating Feather to Star Middle School Pathway

ARTICLE 5 – BASIS OF BID

5.01 Bidder will complete the Work in accordance with the Contract Documents for the following price(s):

FLOATING FEATHER TO STAR MIDDLE SCHOOL PATHWAY BID PACKAGE

Total of Bid Package	\$ 280,000
	(Amount in Figures)
<i>Two Hundred Eighty Thousand dollars and no cents</i>	
(Amount in Words)	
(Amount shall be shown in both words and figures. In case of discrepancy, the amount shown in words shall govern.)	

ARTICLE 6 – TIME OF COMPLETION

6.01 Bidder agrees that the Work will be substantially complete and will be completed and ready for final payment in accordance with Paragraph 15.06 of the General Conditions on or before the dates or within the number of calendar days indicated in the Agreement.

6.02 Bidder accepts the provisions of the Agreement as to liquidated damages.

ARTICLE 7 – ATTACHMENTS TO THIS BID

7.01 The following documents are submitted with and made a condition of this Bid:

- A. Required Bid security.
- B. List of Proposed Subcontractors.
- C. Evidence of authority to do business in the state of the Project; or a written covenant to obtain such license within the time for acceptance of Bids.
- D. Idaho Public Works Contractor’s License No. or Evidence of Bidder’s ability to obtain an Idaho Public Works Contractor’s License and a covenant by Bidder to obtain said license prior to award and execution of contract.

ARTICLE 8 – DEFINED TERMS

8.01 The terms used in this Bid with initial capital letters have the meanings stated in the Instructions to Bidders, the General Conditions, and the Supplementary Conditions.

ARTICLE 9 – BID SUBMITTAL

BIDDER: *[Indicate correct name of bidding entity]*

Pathway Concrete and Landscape Company LLC

By: *[Signature]* *David A Purzel*

[Printed name] *David A Purzel*

City of Star
Floating Feather to Star Middle School Pathway

(If Bidder is a corporation, a limited liability company, a partnership, or a joint venture, attach evidence of authority to sign.)

Attest: Sarah Punzel Sarah Punzel
[Signature] David A Punzel

[Printed name] David A Punzel

Title: owner / Director

Submittal Date: 10-11-2023

Address for giving notices:

12495 Cinnabar way
Murphy, Idaho. 83450

Telephone Number: 608-921-4971

Fax Number: _____

Contact Name and e-mail address: David A Punzel

pathwayconcrete5@gmail.com

Bidder's License No.: RCE-55801, OS1939-B-4
(where applicable)

NOTE TO USER: Use in those states or other jurisdictions where applicable or required.

City of Star
Floating Feather to Star Middle School Pathway

SECTION 00 43 36 – PROPOSED SUBCONTRACTORS

Bidder shall include in his or her Bid the name, address, and Idaho Public Works Contractor License Number of the Subcontractors who shall, in the event the Bidder secures the Contract, subcontract for the project in the areas listed below under the general Contract. Failure to name Subcontractors as required shall render any Bid submitted by the Bidder unresponsive and void.

(Insert "self" if properly licensed and so intended. Insert "Not required" if such specialty work is not required)

<u>Subcontractor</u>	<u>Name/Address/Public Works License Number</u>	<u>% of Work Performed</u>
Electrical Contractor:		
Address:	N/A	
License Number:		1
Plumbing Contractor:		
Address:	N/A	
License Number:		
HVAC Contractor:		
Address:	N/A	
License Number:		1
Address:	N/A	
License Number:		1
Address:	N/A	
License Number:		1
Address:	N/A	
License Number:		1
Address:	N/A	
License Number:		1
Total % of Work Performed by Subcontractors		<input type="text"/>

City of Star
Floating Feather to Star Middle School Pathway

ARTICLE 1 – BID RECIPIENT

1.01 This Bid is submitted to:

City of Star
10769 West State Street
Star, Idaho 83669

1.02 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with Owner in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

ARTICLE 2 – BIDDER’S ACKNOWLEDGEMENTS

2.01 Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid security. This Bid will remain subject to acceptance for 60 days after the Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of Owner.

ARTICLE 3 – BIDDER’S REPRESENTATIONS

3.01 In submitting this Bid, Bidder represents that:

A. Bidder has examined and carefully studied the Bidding Documents, and any data and reference items identified in the Bidding Documents, and hereby acknowledges receipt of the following Addenda:

<u>Addendum No.</u>	<u>Addendum, Date</u>
N/A	—
N/A	—
N/A	—
N/A	—

B. Bidder has visited the Site, conducted a thorough, alert visual examination of the Site and adjacent areas, and become familiar with and satisfied itself as to the general, local, and Site conditions that may affect cost, progress, and performance of the Work.

C. Bidder is familiar with and has satisfied itself as to all Laws and Regulations that may affect cost, progress, and performance of the Work.

D. Bidder has carefully studied all: (1) reports of explorations and tests of subsurface conditions at or adjacent to the Site and all drawings of physical conditions relating to existing surface or subsurface structures at the Site that have been identified in the Supplementary Conditions, especially with respect to Technical Data in such reports and drawings, and (2) reports and drawings relating to Hazardous Environmental Conditions, if any, at or adjacent to the Site that have been identified in the Supplementary Conditions, especially with respect to Technical Data in such reports and drawings.

E. Bidder has considered the information known to Bidder itself; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Bidding Documents; and any Site-related reports and drawings identified in the Bidding Documents, with respect to the effect of such information,

Western Surety Company

POWER OF ATTORNEY - CERTIFIED COPY

Bond No. 72592082

Know All Men By These Presents, that WESTERN SURETY COMPANY, a corporation duly organized and existing under the laws of the State of South Dakota, and having its principal office in Sioux Falls, South Dakota (the "Company"), does by these presents make, constitute and appoint KELSEY C HOLDER

its true and lawful attorney(s)-in-fact, with full power and authority hereby conferred, to execute, acknowledge and deliver for and on its behalf as Surety, bonds for:

Principal: Pathway Concrete and Landscape Company LLC

Obligee: City of Star

Amount: \$1,000,000.00

and to bind the Company thereby as fully and to the same extent as if such bonds were signed by the Vice President, sealed with the corporate seal of the Company and duly attested by its Secretary, hereby ratifying and confirming all that the said attorney(s)-in-fact may do within the above stated limitations. Said appointment is made under and by authority of the following bylaw of Western Surety Company which remains in full force and effect.

"Section 7. All bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys in Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile."

This Power of Attorney may be signed by digital signature and sealed by a digital or otherwise electronic-formatted corporate seal under and by the authority of the following Resolution adopted by the Board of Directors of the Company by unanimous written consent dated the 27th day of April, 2022:

"RESOLVED: That it is in the best interest of the Company to periodically ratify and confirm any corporate documents signed by digital signatures and to ratify and confirm the use of a digital or otherwise electronic-formatted corporate seal, each to be considered the act and deed of the Company."

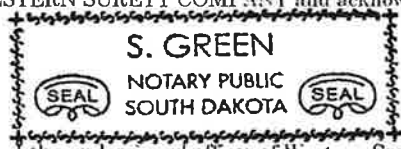
If Bond No. 72592082 is not issued on or before midnight of January 11th, 2024, all authority conferred in this Power of Attorney shall expire and terminate.

In Witness Whereof, Western Surety Company has caused these presents to be signed by its Vice President, Larry Kasten, and its corporate seal to be affixed this 11th day of October, 2023.

STATE OF SOUTH DAKOTA }
COUNTY OF MINNEHAHA } ss

WESTERN SURETY COMPANY
Larry Kasten
Larry Kasten, Vice President

On this 11th day of October, in the year 2023, before me, a notary public, personally appeared Larry Kasten, who being to me duly sworn, acknowledged that he signed the above Power of Attorney as the aforesaid officer of WESTERN SURETY COMPANY and acknowledged said instrument to be the voluntary act and deed of said corporation.



S. Green
Notary Public - South Dakota

My Commission Expires February 12, 2027

I, the undersigned officer of Western Surety Company, a stock corporation of the State of South Dakota, do hereby certify that the attached Power of Attorney is in full force and effect and is irrevocable, and furthermore, that Section 7 of the bylaws of the Company as set forth in the Power of Attorney is now in force.

In testimony whereof, I have hereunto set my hand and seal of Western Surety Company this 11th day of October, 2023.

WESTERN SURETY COMPANY
Larry Kasten
Larry Kasten, Vice President

To validate bond authenticity, go to www.cnasurety.com > Owner/Obligee Services > Validate Bond Coverage.
Form F5306-5-2023

BID BOND
(Percentage)

Bond Number: 72592082

KNOW ALL PERSONS BY THESE PRESENTS, That we Pathway Concrete and Landscape Company LLC

_____ of

12495 Cinnamon Way, Murphy, ID 83659, hereinafter

referred to as the Principal, and Western Surety Company,

as Surety, are held and firmly bound unto City of Star

of 10768 West State Street, Star, ID 83669,

hereinafter referred to as the Obligee, in the sum of Five Percent of the Amount Bid _____ (5 %) percent of the greatest

amount bid, for the payment of which we bind ourselves, our legal representatives, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Principal has submitted or is about to submit a proposal to Obligee on a contract for _____

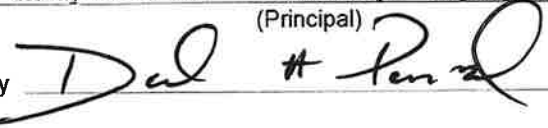
Floating Feather to Star Middle School Pathway

NOW, THEREFORE, if the said contract be awarded to Principal and Principal shall, within such time as may be specified, enter into the contract in writing and give such bond or bonds as may be specified in the bidding or contract documents with surety acceptable to Obligee; or if Principal shall fail to do so, pay to Obligee the damages which Obligee may suffer by reason of such failure not exceeding the penalty of this bond, then this obligation shall be void; otherwise to remain in full force and effect.

SIGNED, SEALED AND DATED this 11th day of October, 2023.

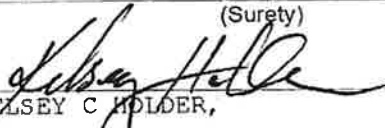
Pathway Concrete and Landscape Company LLC

(Principal)

By  (Seal)

Western Surety Company

(Surety)

By  (Seal)
KELSEY C. HOLDER,
Attorney In Fact



PO Box 5077 Sioux Falls SD 57117-5077

1-800-331-6053
Fax 1-605-335-0357
www.cnasurety.com
uwservices@cnasurety.com

DATE: October 10th, 2023

AGENT CODE: 11 16438

ATTENTION: Dustin Hiersekorn

Number of Pages: 3

RE: Bond 72592082 - Pathway Concrete and Landscape Company LLC

Floating Feather to Star Middle School Pathway
5%

Contract Amount: \$ 280,000.00
Company Code: 0601

Thank you for placing this business with CNA Surety.

Please execute the requested bond(s) by using the documents sent with this fax/email. Sign the bond(s) and attach a gold colored seal from your Western Surety Company kit to each bond issued.

****Please advise us of the bid results as soon as they are available. Please complete and fax/email us the following:

Contract Price: \$ _____

Contract Date: _____

Next two lowest bidders: \$ _____

\$

Was the principal the low bidder? Yes No

Do you need approval for the Performance and Payment bond at this time? Yes No

Please check your supply of gold seals periodically to ensure you have an adequate amount. To reorder gold seals, simply visit cnasurety.com and click on the "Order Supplies Here" icon under the Broker/Agent Services section.

****IMPORTANT NOTICE AND REMINDER:** Approval of the requested Bid Bond is NOT an approval of any final or other bonds that may be requested by this principal. Further, the Bid Bond approval is limited to the contract amount approved by the underwriter. If the anticipated bid exceeds this amount, you must contact the underwriter at 800-331-6053 to inquire about specific approval before filing the bid. Failure to receive approval could result in declination of any subsequent performance and payment bond(s) requested. Furthermore, we reserve the right to decline any bond for any reason per the terms of the General Indemnity Agreement, and shall not be liable to the principal or any person or entity for such declination.

Business Services

NOTICE OF AWARD

Date of Issuance: October 18, 2023
Owner: City of Star Owner's Contract No.:
Project: Floating Feather to Star Middle School Pathway Contract Name: Same as project name
Bidder: Pathway Concrete and Landscape Company LLC
Bidder's Address: 12495 Cinnabar Way
Murphy, ID 83650

TO BIDDER:

You are notified that Owner has accepted your Bid dated October 11, 2023 for the above Contract, and that you are the Successful Bidder and are awarded a Contract for:

Construction of a pathway from Floating Feather Rd to the Star Middle School, including a new concrete sidewalk and irrigation drainage ditch.

The Contract Price of the awarded Contract is: \$ 280,000

[1] unexecuted counterparts of the Agreement accompany this Notice of Award, and one copy of the Contract Documents accompanies this Notice of Award, or has been transmitted or made available to Bidder electronically. *[revise if multiple copies accompany the Notice of Award]*

a set of the Drawings will be delivered separately from the other Contract Documents.

You must comply with the following conditions precedent within 15 days of the date of receipt of this Notice of Award:

1. Deliver to Owner 3 counterparts of the Agreement, fully executed by Bidder.
2. Deliver with the executed Agreement(s) the Contract security *[e.g., performance and payment bonds]* and insurance documentation as specified in the Instructions to Bidders and General Conditions, Articles 2 and 6.
3. Other conditions precedent (if any):

Failure to comply with these conditions within the time specified will entitle Owner to consider you in default, annul this Notice of Award, and declare your Bid security forfeited.

Within ten days after you comply with the above conditions, Owner will return to you one fully executed counterpart of the Agreement, together with any additional copies of the Contract Documents as indicated in Paragraph 2.02 of the General Conditions.

Owner: City of Star

Authorized Signature

By: Ryan V. Morgan

Title: City Engineer

**ORDINANCE NO. 388-2023
(WILLOWBROOK DEVELOPMENT ANNEXATION)**

AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AS DESCRIBED IN EXHIBIT A, IN STAR, IDAHO, AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED BY WILLOWBROOK DEVELOPMENT, INC; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS RESIDENTIAL WITH A DEVELOPMENT AGREEMENT (R-2-DA) OF APPROXIMATELY 719.30 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Star, Ada and Canyon County, Idaho (“the City”), is a municipal corporation organized and operating under the laws of the State of Idaho and is authorized to annex and to incorporate within the boundaries of the City contiguous real property in the manner provided by Section 50-222, Idaho Code; and

WHEREAS, pursuant to Section 67-6524, Idaho Code, the City of Star has adopted the Unified Development Code Ordinance, the same being Ordinance No. 370-2022, adopted on July 19, 2022 and subsequently amended; and

WHEREAS, the owner(s) of the real property situated in the unincorporated areas of Ada County and particularly described in Section 2 of this Ordinance have requested, in writing, annexation of said real property to the City of Star; and

WHEREAS, the Mayor and Council, held a public hearing on June 20, 2023 on the proposed annexation and zoning of the property described in Section 2 below, as required by Section 67-6525, Idaho Code, and determined that the requested annexation should be granted and that the annexed property should be zoned Residential with a Development Agreement (R-2-DA) pursuant to the Unified Development Code of the City of Star.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF STAR, IDAHO, as follows:

Section 1: The Mayor and Council of the City of Star, Idaho, hereby find and declare that the real property described in Section 2 of this Ordinance is contiguous to the City, that said property can be reasonably assumed to be used for orderly development of the City, that the owner(s) of said property have requested, in writing, annexation of said property by the City, and that the requirements of Section 50-222, Idaho Code, for annexation of said property, have been satisfied.

Section 2: The real property, described in the attached “Exhibit B”, including adjacent right of way, situated in Ada County, Idaho, is hereby annexed into the City of Star. From and after the effective date of this Ordinance, the residents and other occupants and property owners

within such area shall enjoy all the rights and responsibilities and shall be subject to all ordinances, resolutions, police regulations, taxation and other powers of the City of Star as their fellow residents, occupants, and owners within the City of Star.

Section 3: The zoning land use classification of the land described in Section 2 above, is hereby established as Residential with a Development Agreement (R-2-DA), as provided by the Unified Development Code of the City of Star. The Zoning Map of the City is hereby amended to include the real property described in Section 2 above in the Residential with a Development Agreement (R-2-DA) land use classification.

Section 4: The City Clerk is hereby directed to file, within ten (10) days of passage and approval of this Ordinance, a certified copy of this Ordinance with the offices of the Auditor, Treasurer, and Assessor of Ada County, Idaho, and with the State Tax Commission, Boise, Idaho, as required by Section 50-223, Idaho Code, and to comply with the provisions of Section 63-215, Idaho Code, with regard to the preparation and filing of a map and legal description of the real property annexed by this Ordinance.

Section 5: This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law. In lieu of publication of the entire Ordinance, a summary thereof in compliance with Section 50-901A, Idaho Code maybe be published.

DATED this ____ day of _____, 2023.

CITY OF STAR
Ada and Canyon County, Idaho

BY: _____
Trevor A. Chadwick, Mayor

ATTEST:

Jacob M. Qualls, City Clerk

EXHIBIT A
Property Legal Description and Depiction

A Description for
Annexation
Willowbrook Development
October 13, 2023

A portion of the Northwest 1/4 of the Southwest 1/4 of Section 28, Section 29, Section 30 and the North 1/2 of the North 1/2 of Section 32, Township 5 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

BEGINNING at the Section corner common to Sections 30 and 31, T.5N., R.1W., B.M., and Sections 25 and 36, T.5N., R.2W., B.M.;

thence on the west boundary line of said Section 30, coincident with the west boundary line of Hillsdale Estates No. 7 Subdivision as filed in Book 86 of Plats at Pages 9666 through 9672, records of Ada County, Idaho, North 00°39'45" East, 1,929.81 feet;

thence leaving said west boundary lines on the exterior boundary line of Lot 59, Block 5 of said Hillsdale Estates No. 7 Subdivision the following seven (7) courses and distances:

- South 89°19'35" East, 298.64 feet;
- North 00°40'43" East, 151.92 feet;
- South 89°19'25" East, 774.33 feet;
- North 00°40'25" East, 316.20 feet;
- North 14°19'20" East, 251.78 feet;
- North 89°33'19" West, 833.70 feet;
- North 00°40'43" East, 200.30 feet;

thence continuing on said exterior boundary line and the northwesterly prolongation thereof, North 49°34'10" West, 182.97 feet to the centerline of W. Deep Canyon Drive;

thence on said centerline, 28.71 feet on the arc of a curve to the left having a radius of 300.00 feet, a central angle of 05°28'59", and a long chord which bears North 24°07'58" East, 28.70 feet to the westerly prolongation of the exterior boundary line of said Lot 59;

thence on said exterior boundary line the prolongation thereof, the following seven (7) courses and distances:

- South 88°56'21" East, 314.12 feet;
- North 21°03'21" East, 276.79 feet;



South 55°47'35" East, 339.91 feet;

North 01°04'33" East, 306.95 feet;

North 21°11'11" East, 253.76 feet;

North 84°14'25" East, 159.89 feet;

North 01°39'55" East, 247.42 feet;

thence leaving said exterior boundary line, North 05°45'35" West, 30.00 feet to the centerline of W. Deep Canyon Drive;

thence on said centerline the following two (2) courses and distances:

South 84°14'25" West, 277.61 feet;

74.50 feet on the arc of a curve to the left having a radius of 200.00 feet, a central angle of 21°20'29", and a long chord which bears South 73°34'11" West, 74.07 feet to the southeasterly prolongation the west boundary line of Lot 49, Block 4 of said Hillsdale Estates No. 7 Subdivision;

thence on said westerly boundary line the prolongation thereof, North 28°09'33" West, 134.99 feet to the north boundary line of the South 1/2 of the North 1/2 of said Section 30, coincident with the north boundary line of said Hillsdale Estates No. 7 Subdivision;

thence on said north boundary lines, South 89°23'18" East, 527.44 feet to the Northeast corner of Government Lot 2 of said Section 30;

thence continuing of said north boundary lines, South 89°38'27" East, 870.13 feet to the east boundary line of said Lot 49;

thence on the east boundary line of said Lot 49, South 01°00'22" West, 106.31 feet;

thence leaving said east boundary line, South 39°54'09" West, 30.00 feet to the centerline of W. Deep Canyon Drive;

thence on said centerline the following five (5) courses and distances:

219.79 feet on the arc of a curve to the right having a radius of 275.00 feet, a central angle of 45°47'37", and a long chord which bears South 27°12'02" East, 213.99 feet;

South 04°18'14" East, 280.27 feet;
444.83 feet on the arc of a curve to the left having a radius of 500.00 feet, a central angle of 50°58'25", and a long chord which bears South 29°47'26" East, 430.30 feet;



South 55°16'39" East, 394.38 feet;

56.50 feet on the arc of a curve to the left having a radius of 500.00 feet, a central angle of 06°28'30", and a long chord which bears South 58°30'54" East, 56.47 feet to the southwesterly prolongation of the westerly boundary line of Lot 39, Block 4 of said Hillsdale Estates No. 7 Subdivision;

thence on the westerly boundary line of said Lot 39 and the prolongation thereof, the following three (3) courses and distances:

North 42°40'26" East, 279.54 feet;

North 49°16'24" West, 579.77 feet;

North 11°40'25" West, 654.53 feet to the north boundary line of the South 1/2 of the North 1/2 of said Section 30, coincident with the north boundary line of said Hillsdale Estates No. 7 Subdivision;

thence on said north boundary lines, South 89°38'27" East, 900.16 feet to the easterly boundary line of said Lot 39;

thence on said easterly boundary line, South 23°51'51" East, 130.39 feet

thence leaving said easterly boundary line, South 49°36'02" East, 50.00 feet to the centerline of N. Highhill Place;

thence on said centerline the following three (3) courses and distances:

South 08°06'41" East, 381.23 feet;

18.94 feet on the arc of a curve to the right having a radius of 150.00 feet, a central angle of 07°14'10", and a long chord which bears South 04°29'36" East, 18.93 feet;

South 00°52'31" East, 125.21 feet;

thence leaving said centerline, South 89°07'29" West, 25.00 feet to the westerly boundary line of said Lot 39;

thence on said westerly boundary line the following three (3) courses and distances:

South 49°13'59" West, 320.60 feet;

South 42°10'21" East, 177.42 feet;

North 51°37'58" East, 293.84 feet;

thence leaving said westerly boundary line, North 22°58'14" East, 25.00 feet to the centerline of N. Highhill Place;



thence on said centerline the following five (5) courses and distances:

South 67°01'46" East, 132.85 feet;

67.29 feet on the arc of a curve to the right having a radius of 150.00 feet, a central angle of 25°42'10", and a long chord which bears South 54°10'41" East, 66.73 feet;

South 41°19'36" East, 207.57 feet;

76.56 feet on the arc of a curve to the right having a radius of 150.00 feet, a central angle of 29°14'40", and a long chord which bears South 26°42'16" East, 75.73 feet;

South 09°57'22" East, 53.15 feet to the centerline of W. Deep Canyon Drive;

thence on said centerline the following two (2) courses and distances:

North 80°02'38" East, 107.45 feet;

169.12 feet on the arc of a curve to the left having a radius of 1,000.00 feet, a central angle of 09°41'23", and a long chord which bears North 75°11'57" East, 168.92 feet to the southeasterly prolongation of the westerly boundary line of Lot 30, Block 4 of said Hillsdale Estates No. 7 Subdivision;

thence on said westerly boundary line and the prolongation thereof, the following four (4) courses and distances:

North 24°44'10" West, 450.18 feet;

North 58°16'00" West, 166.35 feet;

North 17°00'44" West, 379.22 feet;

North 00°40'25" East, 252.34 feet to the north boundary line of the South 1/2 of the North 1/2 of said Section 30, coincident with the north boundary line of said Hillsdale Estates No. 7 Subdivision;

thence on said north boundary lines, South 89°38'27" East, 716.99 feet to the easterly boundary line of said Lot 30;

thence on said easterly boundary line the following two (2) courses and distances:

South 04°30'31" East, 312.14 feet;

South 43°23'21" East, 100.71 feet to the westerly boundary line of Lot 28, Block 4 of said Hillsdale Estates No. 7 Subdivision;



thence on said westerly boundary line the following three (3) courses and distances:

North 67°32'26" East, 156.34 feet;

North 29°08'29" West, 98.58 feet;

North 02°31'26" East, 237.51 feet to the north boundary line of the South 1/2 of the North 1/2 of said Section 30, coincident with the north boundary line of said Hillsdale Estates No. 7 Subdivision;

thence said north boundary lines, South 89°38'27" East, 544.09 feet to the South 1/16 corner common to said Sections 29 and 30;

thence on the north boundary line of the South 1/2 of the North 1/2 of said Section 29, coincident with the north boundary line of said Hillsdale Estates No. 7 Subdivision, South 89°25'14" East, 900.32 feet to the exterior boundary line of Lot 27, Block 4 of said Hillsdale Estates No. 7 Subdivision;

thence on said exterior boundary line the following four (4) courses and distances:

South 10°50'49" West, 360.98 feet;

South 52°35'53" East, 161.65 feet;

North 66°20'24" East, 110.26 feet;

North 04°19'50" East, 407.68 feet the north boundary line of the South 1/2 of the North 1/2 of said Section 29, coincident with the north boundary line of said Hillsdale Estates No. 7 Subdivision,;

thence on said north boundary lines, South 89°25'14" East, 233.13 feet to the east boundary line of Lot 26, Block 4 of said Hillsdale Estates No. 7 Subdivision;

thence on said east boundary line and the southerly prolongation thereof, South 00°57'25" East, 746.83 feet to the centerline of W. Deep Canyon Drive;

thence on said centerline, South 89°45'03" East, 465.91 feet to the exterior boundary line of said Hillsdale Estates No. 7 Subdivision;

thence on said exterior boundary line, South 00°38'52" West, 305.20 feet to the exterior boundary line of Hillsdale Estates No. 3 Subdivision as filed in Book 77 of Plats at Pages 8167 through 8170, records of Ada County, Idaho;

thence on said exterior boundary line, South 77°14'03" East, 266.73 feet;



thence continuing on said exterior boundary line and the southeasterly prolongation thereof, South 66°31'50" East, 399.85 feet to the centerline of N. High Country Way;

thence on said centerline the following two (2) courses and distances:

139.67 feet on the arc of a curve to the right having a radius of 400.00 feet, a central angle of 20°00'21", and a long chord which bears North 78°19'12" East, 138.96 feet;

North 88°18'55" East, 129.73 feet;

thence leaving said centerline, South 01°41'05" East, 30.00 feet to the easterly boundary line of Lot 25, Block 3 of Hillsdale Estates No. 2 Subdivision as filed in Book 75 of Plats at Pages 7759 through 7761, records of Ada County, Idaho;

thence on said easterly boundary line the following five (5) courses and distances:

South 16°34'18" East, 189.96 feet;

North 86°58'10" East, 242.03 feet;

North 73°23'56" East, 221.39 feet;

South 05°51'20" East, 223.58 feet;

South 23°18'54" East, 350.00 feet;

thence continuing on said easterly boundary line and the easterly prolongation thereof, North 66°41'06" East, 274.96 feet to the centerline of N. Hill Haven Place;

thence on said centerline the following two (2) courses and distances:

South 23°18'54" East, 302.84 feet;

116.72 feet on the arc of a curve to the right having a radius of 300.00 feet, a central angle of 22°17'28", and a long chord which bears South 12°10'10" East, 115.98 feet;

thence leaving said centerline, South 88°58'34" West, 25.00 feet to the easterly boundary line of Lot 24, Block 3 of said Hillsdale Estates No. 2 Subdivision;

thence on said easterly boundary line the following three (3) courses and distances:

South 82°17'08" West, 454.55 feet;

South 24°41'24" East, 449.30 feet;



South 76°53'47" East, 426.64 feet to the exterior boundary line of Hillsdale Estates No. 5 Subdivision as filed in Book 80 of Plats at Pages 8550 through 8552, records of Ada County, Idaho;

thence on said exterior boundary line the following two (2) courses and distances:

North 00°09'27" East, 1,425.15 feet to the Center-East 1/16 corner of said Section 29;

South 89°25'57" East, 1,316.85 feet to the 1/4 corner common to said Sections 28 and 29, coincident with the Northwest corner of Lot 7, Block 3 of Hillsdale Estates No. 1 Subdivision as filed in Book 68 of Plats at Pages 6982 through 6985, records of Ada County, Idaho;

thence on the north boundary line of said Lot 7 and the easterly prolongation thereof, South 88°40'58" East, 180.70 feet to the centerline of N. Star Ridge Way;

thence on said centerline the following five (5) courses and distances:

South 20°52'11" East, 121.26 feet;

41.76 feet on the arc of a curve to the right having a radius of 200.00 feet, a central angle of 11°57'51", and a long chord which bears South 14°53'16" East, 41.69 feet;

South 08°54'20" East, 188.14 feet;

112.82 feet on the arc of a curve to the left having a radius of 200.00 feet, a central angle of 32°19'13", and a long chord which bears South 25°03'57" East, 111.33 feet;

South 41°13'34" East, 50.53 feet to the northeasterly prolongation of the southerly boundary line of said Lot 7;

thence on said southerly boundary line and the northeasterly prolongation thereof, the following three (3) courses and distances:

South 67°05'26" West, 265.43 feet;

South 18°35'49" East, 37.96 feet;

North 89°21'08" West, 113.81 feet to the exterior boundary line of said Hillsdale Estates No. 1 Subdivision, coincident with the exterior boundary line of said of Hillsdale Estates No. 5 Subdivision;



thence on said exterior boundary lines, South 00°11'15" West, 812.10 feet to the southerly boundary line of Lot 58, Block 3 of said of Hillsdale Estates No. 5 Subdivision;

thence on said southerly boundary line the following two (2) courses and distances:

- South 78°25'51" West, 225.00 feet;
- South 66°23'46" West, 289.65 feet;

thence continuing on said southerly boundary line and the southeasterly prolongation thereof, South 44°41'45" East, 265.51 feet to the centerline of N. Echo Summit Way;

thence on said centerline, 114.04 feet on the arc of a curve to the left having a radius of 275.00 feet, a central angle of 23°45'39", and a long chord which bears South 30°31'50" West, 113.23 feet to the centerline of N. Golden View Court;

thence on said centerline the following four (4) courses and distances:

- North 71°23'42" West, 109.61 feet;
- 103.51 feet on the arc of a curve to the right having a radius of 300.00 feet, a central angle of 19°46'09", and a long chord which bears North 61°30'37" West, 103.00 feet;
- North 51°37'33" West, 187.23 feet;
- 19.01 feet on the arc of a curve to the left having a radius of 300.00 feet, a central angle of 03°37'51", and a long chord which bears North 53°26'28" West, 19.01 feet to the southerly prolongation of the southerly boundary line of said Lot 58;

thence on said southerly boundary line the following six (6) courses and distances:

- North 15°20'57" East, 227.56 feet;
- North 48°56'57" West, 361.33 feet;
- North 89°14'01" West, 86.76 feet;
- South 07°00'29" West, 204.29 feet;
- 24.46 feet on the arc of a curve to the left having a radius of 50.00 feet, a central angle of 28°01'50", and a long chord which bears South 64°21'39" West, 24.22 feet;



South 78°21'35" West, 262.75 feet to the exterior boundary line of said Hillsdale Estates No. 5 Subdivision, coincident with the exterior boundary line of said of Hillsdale Estates No. 2 Subdivision and said Hillsdale Estates No. 3 Subdivision;

thence on said exterior boundary lines, South 00°09'27" West, 975.79 feet to the exterior boundary line of Lot 32, Block 3 of said Hillsdale Estates No. 3 Subdivision;

thence on said exterior boundary line the following seven (7) courses and distances:

- North 69°41'35" West, 196.40 feet;
- South 79°08'25" West, 239.45 feet;
- North 19°32'16" West, 999.94 feet;
- North 30°24'37" West, 545.06 feet;
- North 15°06'41" West, 180.50 feet;
- North 37°56'04" West, 742.70 feet;
- South 63°54'45" West, 186.69 feet;

thence leaving said exterior boundary line, South 61°07'57" West, 30.00 feet to the centerline of N. High Country Way;

thence on said centerline, 180.22 feet on the arc of a curve to the right having a radius of 200.00 feet, a central angle of 51°37'46", and a long chord which bears North 03°03'10" West, 174.18 feet;

thence leaving said centerline, North 67°14'17" West, 30.00 feet to the exterior boundary line of Lot 8, Block 5 of said Hillsdale Estates No. 3 Subdivision;

thence on said exterior boundary line the following nine (9) courses and distances:

- North 60°07'41" West, 76.13 feet;
- North 89°25'57" West, 326.17 feet;
- South 22°51'36" East, 484.89 feet;
- South 26°12'27" East, 175.31 feet;
- South 11°28'06" East, 184.02 feet;
- South 41°32'09" East, 540.48 feet;
- South 06°47'16" East, 352.88 feet;



South 22°22'02" East, 529.32 feet;

South 27°19'26" East, 526.97 feet;

thence continuing on said exterior boundary line and the southerly prolongation thereof, South 20°45'13" East, 235.03 feet to the centerline of W. Lanktree Gulch Road;

thence on said centerline the following two (2) courses and distances:

South 64°46'52" West, 44.16 feet;

177.08 feet on the arc of a curve to the right having a radius of 350.00 feet, a central angle of 28°59'18", and a long chord which bears South 79°16'31" West, 175.20 feet to the southerly prolongation of the exterior boundary line of said Lot 8;

thence on said exterior boundary line the following four (4) courses and distances:

North 00°20'56" West, 267.00 feet;

North 84°31'52" West, 222.22 feet;

North 04°49'30" East, 100.85 feet;

North 77°56'27" West, 206.51 feet to the exterior boundary line of said Hillsdale Estates No. 3 Subdivision, coincident with the exterior boundary line of Hillsdale Estates No. 6 Subdivision as filed in Book 81 of Plats at Pages 8842 through 8844, records of Ada County, Idaho;

thence on said exterior boundary lines and the southerly prolongation thereof, South 00°39'33" West, 263.10 feet to the centerline of W. Lanktree Gulch Road;

thence on said centerline 124.89 feet on the arc of a curve to the left having a radius of 350.00 feet, a central angle of 20°26'38", and a long chord which bears South 82°11'00" West, 124.22 feet to the northerly prolongation of the exterior boundary line of Lot 12, Block 7 of said Hillsdale Estates No. 3 Subdivision;

thence on said exterior boundary line and the northerly prolongation thereof, the following three (3) courses and distances:

South 23°38'35" East, 247.76 feet;

South 31°02'48" East, 172.97 feet;

South 81°39'29" East, 464.68 feet to the exterior boundary line of Lot 7, Block 7 of said Hillsdale Estates No. 3 Subdivision;



thence on said exterior boundary line the following two (2) courses and distances:

North 81°22'34" East, 193.30 feet;

North 01°58'58" East, 325.52 feet;

thence leaving said exterior boundary line, North 25°13'08" West, 30.00 feet to the centerline of W. Lanktree Gulch Road;

thence on said centerline, North 64°46'52" East, 161.32 feet;

thence leaving said centerline, South 25°13'08" East, 30.00 feet to the exterior boundary line of said Lot 7;

thence on said exterior boundary line the following three (3) courses and distances:

South 13°22'45" East, 336.07 feet;

South 30°35'37" East, 600.09 feet;

South 21°22'40" West, 363.89 feet to the south boundary line of said Hillsdale Estates No. 3 Subdivision;

thence on said south boundary line, North 89°24'42" West, 1,368.94 feet to the westerly boundary line of said Hillsdale Estates No. 3 Subdivision;

thence on said westerly boundary line, North 31°03'48" West, 118.78 feet the exterior boundary line of Lot 12, Block 7 of said Hillsdale Estates No. 3 Subdivision;

thence on said exterior boundary line the following five (5) courses and distances:

South 89°17'49" East, 432.19 feet;

North 00°09'15" East, 305.32 feet;

North 14°57'53" West, 214.17 feet;

North 31°02'48" West, 357.37 feet;

North 23°38'35" West, 219.07 feet;

thence leaving said exterior boundary line, North 35°30'13" West, 30.00 feet to the centerline of W. Lanktree Gulch Road;



thence on said centerline, 33.24 feet on the arc of a curve to the right having a radius of 350.00 feet, a central angle of 05°26'32", and a long chord which bears North 57°13'03" East, 33.23 feet to the southerly prolongation of the exterior boundary line of Lot 29, Block 5 of said Hillsdale Estates No. 6 Subdivision;

thence on said exterior boundary line and the southerly prolongations thereof, the following fifteen (15) courses and distances:

- North 37°11'11" West, 754.50 feet;
- North 57°34'45" West, 586.91 feet;
- North 22°14'21" West, 348.75 feet;
- North 15°22'18" West, 753.17 feet;
- North 82°23'12" West, 415.34 feet;
- South 34°58'22" West, 178.25 feet;
- South 01°51'37" East, 249.60 feet;
- South 15°36'07" East, 338.73 feet;
- South 74°21'00" West, 150.00 feet;
- South 15°39'00" East, 200.00 feet;
- North 74°21'00" East, 199.97 feet;
- South 15°39'00" East, 524.15 feet;
- South 50°34'45" East, 236.06 feet;
- South 67°53'46" East, 216.97 feet;
- South 52°38'08" East, 220.54 feet to the Northeast corner of Lot 58, Block 5 of said Hillsdale Estates No. 6 Subdivision;

thence on the westerly boundary line of said Lot 58 and the southeasterly prolongation thereof, South 36°42'42" East, 721.29 feet to the centerline of W. Lanktree Gulch Road;

thence on said centerline the following five (5) courses and distances:

- South 54°29'47" West, 79.86 feet;



283.52 feet on the arc of a curve to the left having a radius of 500.00 feet, a central angle of 32°29'21", and a long chord which bears South 38°15'06" West, 279.74 feet;

1,341.57 feet on the arc of a reverse curve to the right having a radius of 792.00 feet, a central angle of 97°03'13", and a long chord which bears South 70°32'03" West, 1,186.84 feet;

252.05 feet on the arc of a reverse curve to the left having a radius of 500.00 feet, a central angle of 28°52'57", and a long chord which bears North 75°22'49" West, 249.39 feet;

North 89°49'18" West, 167.16 feet to the west boundary line of the Northwest 1/4 of the Northwest 1/4 of said Section 32, coincident with the west boundary line of said Hillsdale Estates No. 6 Subdivision;

thence on said west boundary lines, North 01°38'35" East, 1,114.31 feet to the Section corner common to said Sections 29, 30, 31 and 32;

thence on the south boundary lines of said Hillsdale Estates No. 3 Subdivision and Hillsdale Estates No. 4 Subdivision, North 89°34'15" West, 2,646.60 feet to the 1/4 corner common to said Section 30 and 31;

thence on the south boundary lines of said Hillsdale Estates No. 4 Subdivision, Hillsdale Estates No. 5 Subdivision and Hillsdale Estates No. 7 Subdivision, North 89°34'26" West, 2,528.83 feet to the **POINT OF BEGINNING**.

EXCEPTING THEREFROM

A portion of the Southeast 1/4 of the Northwest 1/4 of Section 30, Township 5 North, Range 1 West, Boise Meridian, Ada County, Idaho more particularly described as follows:

Commencing at the Northeast corner of Government Lot 2 of said Section 30 from which the North 1/16 corner common to Section 30, T.5N., R.1W., B.M., and Section 25, T.5N., R.2W., B.M. bears North 89°23'18" West, 1,231.55 feet; thence South 62°44'26" East, 140.31 feet to the centerline of W. Deep Canyon Drive and the **POINT OF BEGINNING**;

thence on said centerline, South 89°19'35" East, 285.03 feet to the northerly prolongation of the exterior boundary line of Lot 59, Block 5 of Hillsdale Estates No. 7 Subdivision as filed in Book 86 of Plats at Pages 9666 through 9672, records of Ada County, Idaho ;

thence on said exterior boundary line and the northerly prolongations thereof, the following six (6) courses and distances:

South 03°44'45" East, 797.77 feet;

North 79°22'29" West, 61.17 feet;



South 08°44'51" East, 400.49 feet;

North 89°19'35" West, 228.75 feet;

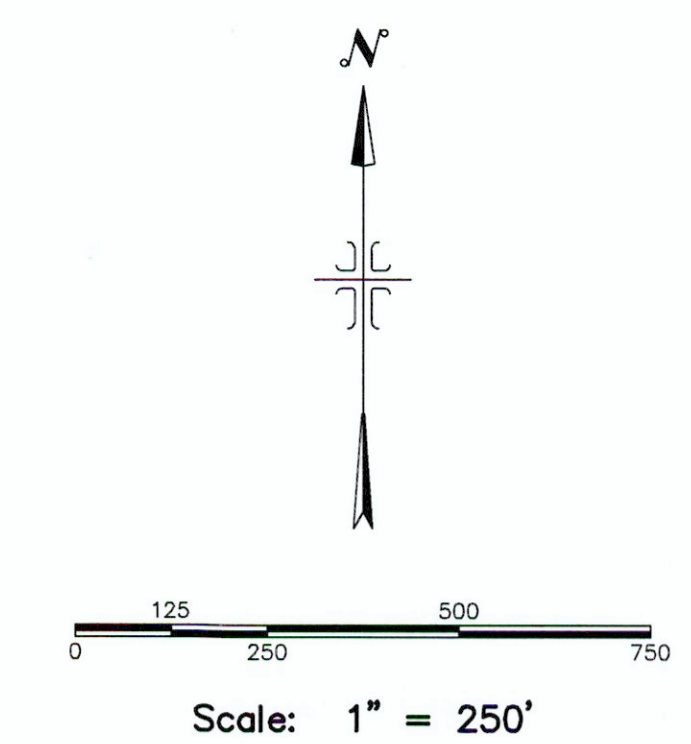
North 01°02'03" West, 426.14 feet;

North 07°39'14" West, 762.00 feet to the **POINT OF BEGINNING**.

Containing 719.304 acres, more or less.

End of Description.





Legend

- Annexation Boundary Line
- Annexation Area
- Subdivision Boundary Line
- Lot Line
- Right-of-Way Line
- Section Line
- Lot Number

Line Table

Line	Bearing	Length
L1	N49°34'10"W	182.97'
L2	N05°45'35"W	30.00'
L3	N28°09'33"W	134.99'
L4	S01°00'22"W	106.31'
L5	S39°54'09"W	30.00'
L6	S23°51'51"E	130.39'
L7	S49°38'02"E	50.00'
L8	S89°07'29"W	25.00'
L9	N22°58'14"E	25.00'
L10	S67°01'46"E	132.85'
L11	S09°57'22"E	53.15'
L12	N80°02'38"E	107.45'
L13	S43°23'21"E	100.71'
L14	N67°32'26"E	156.34'
L15	N29°08'29"W	98.58'
L40	S62°44'26"E	140.31'
L41	N79°22'29"W	61.17'

Curve Table

Curve	Length	Radius	Delta	Chord Bearing	Chord Length
C1	28.71'	300.00'	5°28'59"	N24°07'58"E	28.70'
C2	74.50'	200.00'	21°20'29"	S73°34'11"W	74.07'
C3	219.79'	275.00'	45°47'37"	S27°12'02"E	213.99'
C4	444.83'	500.00'	50°58'25"	S29°47'26"E	430.30'
C5	56.50'	500.00'	6°28'30"	S58°30'54"E	56.47'
C6	18.94'	150.00'	7°14'10"	S04°29'36"E	18.93'
C7	67.29'	150.00'	25°42'10"	S54°10'41"E	66.73'
C8	76.56'	150.00'	29°14'40"	S26°42'16"E	75.73'
C9	169.12'	1000.00'	9°41'23"	N75°11'57"E	168.92'



IDAHO SURVEY GROUP, LLC

9955 W. EMERALD ST.
BOISE, IDAHO 83704
PH. (208) 846-8570
FAX (208) 884-5399
WWW.IDAHOSURVEY.COM

Willowbrook Development

Annexation

A portion of the Northwest 1/4 of the Southwest 1/4 of Section 28, Section 29, Section 30 and the North 1/2 of the North 1/2 of Section 32, Township 5 North, Range 1 West, Boise Meridian, Ada County, Idaho

Drawn: CMCCAMMON	Checked: CMM	Job No. 21-503	Sheet No. 1 of 2
Date: 10/13/2023	Date: 10/13/2023		

These drawings, or any portion thereof, shall not be used on any project or extensions of this project except by agreement in writing with Idaho Survey Group, LLC.
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**DEVELOPMENT AGREEMENT
WILLOWBROOK DEVELOPMENT ANNEXATION**

This Development Agreement ("Agreement") is entered into by and between the City of Star, a municipal corporation in the State of Idaho, hereinafter referred to as "City", and Willowbrook Development, Inc., an Idaho limited liability company, hereinafter referred to as "Owner".

WHEREAS, Owner owns parcels of land of approximately 719.30 acres in size, currently located within Ada County, zoned RR, and more particularly described in **Exhibit A** of Ordinance 388-2023, which is attached hereto and incorporated by reference herein (the "Property");

WHEREAS, Owner requested that the Property be annexed into the City, be zoned, and be developed in accordance with the applicable ordinances and regulations of the City and this Agreement;

WHEREAS, the City, pursuant to Section 67-6511A, Idaho Code, and Star City Code at Title 8, Chapter 1, has the authority to enter into a development agreement for the purpose of allowing, by agreement, a specific development to proceed in a specific area and for a specific purpose or use which is appropriate in the area, but for which all allowed uses for the requested zoning may not be appropriate;

WHEREAS, the City has authority to enter into development agreements to condition annexations and re-zones and for approval in lieu of conditional use permits;

WHEREAS, Owner desires to be assured that it may proceed with allowing its Property to be zoned and developed in accordance with this Agreement;

WHEREAS, the parties agree to the zoning designations for the Property as provided in **Exhibit A**;

WHEREAS, a Request for Annexation and Zoning of the Property to R-2-DA, was made as File No. AZ-21-12/DA-21-20, so that the City can review all the applications affecting the use and development of the Property in an integrated manner consistent with the City's Comprehensive Plan and land use ordinances, which applications were approved;

WHEREAS, the intent of this Agreement is to protect the rights of Owner's use and enjoyment of the Property while at the same time mitigating any adverse impacts of the development upon neighboring properties and the existing community and ensuring the Property is developed in a manner consistent with City Ordinances;

THEREFORE, the City and Owner, for and in consideration of the mutual covenants, duties and obligations herein set forth, hereby agree as follows:

Section 1. Legal Authority. This Agreement is made pursuant to and in accordance with the provisions of Idaho Code Section 67-6511A and Star City Code, Title 8, Chapter 1.

Section 2. Development/Uses/Standards.

2.1 Development Acreage and Uses Permitted. As to the Property described on **Exhibit A**, Owner is allowed to develop the approximately 719.30 acres as follows:

- Zoning Classification: The zoning classification of the Property shall be R-2-DA.
- The Owner shall comply with all city ordinances relating to the Property except as otherwise provided herein.

2.2 Site Design. The Property shall be developed in substantial conformance with the approved Conceptual Master Plan, attached hereto and incorporated by reference herein as **Exhibit B**. Transitional lots shall be provided as required by City Council and incorporated by reference herein as **Exhibit C**.

2.3 Uses.

- **Residential** – The Property is hereby approved for a maximum of 1,000 single-family residential lots (maximum residential density of 1.389 du/acre).
- **Commercial** – The Property is hereby approved for a 175-acre golf course and associated clubhouse amenities including the clubhouse and accessory structures, pro shop, restaurant/bar and driving range. Any additional commercial uses on the Property may not proceed unless and until the Council approves a Preliminary Plat application and Planned Unit Development to incorporate Council's additional conditions of approval on such subsequent applications and any updates to the Conceptual Master Plan. All future uses are subject to review requirements as stated within the Unified Development Code, unless specified within this Agreement. This approval shall be part of a new public hearing through City Council.

2.4 Setbacks. The development shall comply with the standard setbacks for the R-2 zoning designation based on the Unified Development Code in place at the time of preliminary plat approval unless exceptions are approved through a Planned Unit Development.

2.5 Additional Requirements:

- All golf course details shall receive further review and approval through the CZC/Design Review Committee process. The architecture of the clubhouse and restaurant shall meet current City design review standards.
- The golf course shall be hooked onto Star Sewer and Water District reclaimed water for application to the course at the time of availability through the Star Sewer and Water District.
- Owner shall provide a minimum 10-acre Public School Site and a future Fire Station site within the development. Owner shall work with the Star Fire District on the location of the station. The Fire Station site and School site shall be deeded to the appropriate agency with the first phase of the residential development, if accepted by the agency at that time.
- The development shall meet all requirements of the Star Fire District and Star Sewer and Water District.
- The approval of this development adopts all recommended conditions of approval from ITD, ACHD & CHD4. An updated TIS shall be required with every phase within the Preliminary Plat.
- Owner shall provide for one-half acre minimum residential lot sizes adjacent to all existing Hillsdale Estates Subdivision residential lots with matching lot lines as illustrated on Applicant's Transitional Lot Exhibit, dated May 9, 2023, referenced herein as **Exhibit C**, as approved by Council. A minimum 25-foot setback for all new structures shall be provided adjacent to existing residential lots.
- Provide a minimum 100-foot landscape buffer setback to proposed residential lots adjacent to Monument Ridge Subdivision as illustrated in **Exhibit C**.
- Owner agrees to pay all proportionate shares and mitigation fees in place at the time of recordation of Development Agreement to include the following:
 - ITD Proportionate Shares - \$1,000.00 per lot at final plat phasing pursuant to Section 2.6 below.
 - Star Fire District Mitigation Fees – \$1,200.00 per lot at time of residential building permit.
 - Star Police Mitigation Fees – \$1,120.00 per lot at time of residential building permit.
- Owner shall pay an upfront mitigation fee of \$370,000.00 for Star Police Department services. These fees shall be deducted from the

future Star Police Mitigation Fees that are collected at the time of residential building permit.

- The Development Agreement will be modified during the Preliminary Plat and Planned Unit Development in order to update or add any new conditions of approval that may be required by the City Council or other reviewing Agencies.
- Wing Road will not be connected to the development from Beacon Light Road.
- A traffic signal light at Hwy 44 and Can Ada Road shall be constructed by Owner prior to the first day of operation of the Golf Course and associated facilities. A latecomer's agreement shall be entered between Owner and the City and/or CHD4 for future reimbursement.
- Driving range hours of operation shall be from dawn to dusk with no lighting allowed.
- This entire development shall adhere to the City "Dark Sky Initiative" for all lighting. All residential structures shall provide recessed outside lighting within the roof soffits.
- Owner shall provide conduit for future fiber-optic services at the time of construction of the infrastructure of the development.
- Future fire station lot shall be provided with all services during the construction of the development.
- No rock-crushing of aggregate shall be allowed without future Conditional Use Permit approval from the City.
- Owner shall construct a visual and sound barrier berm along the south side of the driving range. This shall be reviewed as part of the CZC application for the golf course.
- All public pathways shall be deeded to the public through public access easements. Public pathways are typically constructed with solid surfaces. Further analysis of the future preliminary plat shall determine the construction type of individual pathways and shall be conditioned accordingly.
- Safe school routes shall be designed within the preliminary plat to accommodate any future school site.
- Owner shall comply with Section 8-4A-11 Grading and 8-6B-3 Developer's Responsibilities for the development of the golf course and residential phases of the development. Owner shall comply with all dust mitigation requirements. A dust mitigation plan shall be required prior to start of any grading operations.

2.6 Proportionate Share Agreement for ITD Improvements. By signing this Development Agreement, Owner has agreed to participate in the

costs of construction or improvements to the portions of the State Highway System within the City of Star and/or City of Star Area of City Impact. Owner will pay the City \$1,000.00 per buildable residential lot within each phase prior to signature on the final plat for the applicable phase. The City will allocate the funds to roadway improvements in the vicinity of the project. Owner shall pay this amount (unless otherwise revised by ITD) directly to the City of Star. The City will maintain this contribution in a specific Development Contributions account, to be distributed to ITD when requested for use with a specific Idaho Transportation Improvement Plan (ITIP) project within the City of Star Area of City Impact or City Limits in accordance with the terms of the Intergovernmental Agreement between the Idaho Transportation Department and the City of Star dated April 22, 2020.

2.7 Changes and Modifications. No change in the use or restrictions specified in this Agreement shall be allowed or changed without modification of this Agreement pursuant to the requirements of the Star City Ordinances. In the event Owner changes or expands the use permitted by this Agreement or fails to comply with the restrictions without formal modification of this Agreement as allowed by the Star City Ordinances, Owner shall be in default of this Agreement.

2.8 Conditions, Bonding for Completion. All of the conditions set forth herein shall be complied with or shall be bonded for completion by Owner before an Occupancy permit will be granted. Failure to comply with the Star City Ordinances or the terms of this Agreement shall result in a default of this Agreement by Owner. Owner may be allowed to bond for certain conditions at one hundred and fifty percent (150%) of the estimated cost of completion pursuant to Star City Ordinances.

Section 3. Affidavit of Property Owner. By signing this Agreement, Owner agrees to submit the Property to this Agreement and to the provisions set forth in Idaho Code section 67-6511A and Star Zoning Ordinance.

Section 4. Default. The failure of Owner, its heirs or assigns or subsequent owners of the Property or any other person acquiring an interest in the Property, to faithfully comply with any of the terms and conditions of this Agreement shall be deemed a default herein. This Agreement may be modified or terminated by the Star City Council as set forth in the Star City Ordinances. In the event this Agreement is modified, Owner shall comply with the amended terms. Failure to comply with the amended terms shall result in default. In the event the City Council, after compliance with the requirements of the Star City Ordinances, determines that this Agreement shall be terminated, the zoning of the Property or portion thereof that has not been developed in accordance with this Agreement shall revert to an RR zoning designation. All uses of such property, which are not consistent with the prior zoning designation, shall cease. A waiver by the City of Star for any default by Owner of any one or more of the covenants or conditions hereof shall apply solely to

the breach and breaches waived and shall not bar any other rights or remedies of the City or apply to any subsequent breach of any such or other covenants and conditions. Owner, by entering into this Agreement, does hereby consent to a reversion of the subject property to a RR zoning designation in the event there is an uncured default in the terms and/or conditions of this Agreement to the extent required by the City Council.

Section 5. Unenforceable Provisions. If any term, provision, commitment or restriction of this Agreement or the application thereof to any party or circumstances shall, to any extent, be held invalid or unenforceable, the remainder of the instrument shall remain in full force and effect.

Section 6. Assignment and Transfer. After its execution, this Agreement shall be recorded in the office of the County Recorder at the expense of Owner. Each commitment and restriction on the development subject to this Agreement, shall be a burden on the Property, shall be appurtenant to and for the benefit of the Property and shall run with the land. This Agreement shall be binding on the City and Owner, and their respective heirs, administrators, executors, agents, legal representatives, successors and assigns: provided, however, that if all or any portion of the Property is divided, each owner of a legal lot shall only be responsible for duties and obligations associated with an owner's parcel and shall not be responsible for duties and obligations or defaults as to other parcels of lots within the Property. The new owners of the Property or any portion thereof (including, without limitation, any owner who acquires its interest by foreclosure, trustee's sale or otherwise) shall be liable for all commitments and other obligations arising under this Agreement with respect only to such owner's lot or parcel.

Section 7. General Matters.

7.1 Amendments. Any alteration or change to this Agreement shall be made only after complying with the notice and hearing provisions of Idaho Code Section 67-6509, as required by Star City Code.

7.2 Paragraph Headings. This Agreement shall be construed according to its fair meaning and as if prepared by both parties hereto. Titles and captions are for convenience only and shall not constitute a portion of this Agreement. As used in this Agreement, masculine, feminine or neutral gender and the singular or plural number shall each be deemed to include the others wherever and whenever the context so dictates.

7.3 Choice of Law. This Agreement shall be construed in accordance with the laws of the State of Idaho in effect at the time of the execution of this Agreement. Any action brought in connection with this Agreement shall be brought in a court of competent jurisdiction located in Ada County, Idaho.

7.4 Notices. Any notice which a party may desire to give to another party must be in writing and may be given by personal delivery, by mailing the same by registered or

certified mail, return receipt requested postage prepaid, or by Federal Express or other reputable overnight delivery service, to the party to whom the notice is directed at the address of such party set forth below.

Star: City of Star
Attn: City Clerk
P.O. Box 130
Star, ID 83669

Owner: Willowbrook Development, Inc.
Attn: Richard M. Phillips
210 Murray Street
Garden City, ID 83714

and with copy to: Deborah Nelson
Givens Pursley LLP
601 W. Bannock Street
Boise, ID 83702

7.5 Effective Date. This Agreement shall be effective after delivery to each of the parties hereto of a fully executed copy of this Agreement.

7.6 Attorney Fees. Should any litigation be commenced between the parties hereto concerning this Agreement, the prevailing party shall be entitled, in addition to any other relief as may be granted, to court costs and reasonable attorney fees as determined by a court of competent jurisdiction. This provision shall be deemed to be a separate contract between the parties and shall survive any default, termination or forfeiture of this Agreement.

[end of text; signatures and exhibits follow]

IN WITNESS WHEREOF, the parties have hereunto caused this Agreement to be executed on the day and year set forth below.

Dated this ____ day _____, 2023.

Trevor A. Chadwick, Mayor

ATTEST:

Jacob M. Qualls, City Clerk

OWNER:

Willowbrook Development, Inc.

Richard M. Phillips

By: Richard M. Phillips

Its: President

STATE OF IDAHO)
) ss.
County of Ada)

On this 2nd day of October, 2023, before me the undersigned, a Notary Public in and for said state, personally appeared Richard M. Phillips, known to me to be the President of Willowbrook Development, Inc, who subscribed his name to the foregoing instrument, and acknowledged to me that he executed the same in said limited liability company's name.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Christina A. Shull

Notary Public for Idaho

Residing at Kuna, ID

My Commission expires 8/7/2029



EXHIBIT A
Property Legal Description and Depiction

A Description for
Annexation
Willowbrook Development
October 13, 2023

A portion of the Northwest 1/4 of the Southwest 1/4 of Section 28, Section 29, Section 30 and the North 1/2 of the North 1/2 of Section 32, Township 5 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

BEGINNING at the Section corner common to Sections 30 and 31, T.5N., R.1W., B.M., and Sections 25 and 36, T.5N., R.2W., B.M.;

thence on the west boundary line of said Section 30, coincident with the west boundary line of Hillsdale Estates No. 7 Subdivision as filed in Book 86 of Plats at Pages 9666 through 9672, records of Ada County, Idaho, North 00°39'45" East, 1,929.81 feet;

thence leaving said west boundary lines on the exterior boundary line of Lot 59, Block 5 of said Hillsdale Estates No. 7 Subdivision the following seven (7) courses and distances:

South 89°19'35" East, 298.64 feet;

North 00°40'43" East, 151.92 feet;

South 89°19'25" East, 774.33 feet;

North 00°40'25" East, 316.20 feet;

North 14°19'20" East, 251.78 feet;

North 89°33'19" West, 833.70 feet;

North 00°40'43" East, 200.30 feet;

thence continuing on said exterior boundary line and the northwesterly prolongation thereof, North 49°34'10" West, 182.97 feet to the centerline of W. Deep Canyon Drive;

thence on said centerline, 28.71 feet on the arc of a curve to the left having a radius of 300.00 feet, a central angle of 05°28'59", and a long chord which bears North 24°07'58" East, 28.70 feet to the westerly prolongation of the exterior boundary line of said Lot 59;

thence on said exterior boundary line the prolongation thereof, the following seven (7) courses and distances:

South 88°56'21" East, 314.12 feet;

North 21°03'21" East, 276.79 feet;



South 55°47'35" East, 339.91 feet;

North 01°04'33" East, 306.95 feet;

North 21°11'11" East, 253.76 feet;

North 84°14'25" East, 159.89 feet;

North 01°39'55" East, 247.42 feet;

thence leaving said exterior boundary line, North 05°45'35" West, 30.00 feet to the centerline of W. Deep Canyon Drive;

thence on said centerline the following two (2) courses and distances:

South 84°14'25" West, 277.61 feet;

74.50 feet on the arc of a curve to the left having a radius of 200.00 feet, a central angle of 21°20'29", and a long chord which bears South 73°34'11" West, 74.07 feet to the southeasterly prolongation the west boundary line of Lot 49, Block 4 of said Hillsdale Estates No. 7 Subdivision;

thence on said westerly boundary line the prolongation thereof, North 28°09'33" West, 134.99 feet to the north boundary line of the South 1/2 of the North 1/2 of said Section 30, coincident with the north boundary line of said Hillsdale Estates No. 7 Subdivision;

thence on said north boundary lines, South 89°23'18" East, 527.44 feet to the Northeast corner of Government Lot 2 of said Section 30;

thence continuing of said north boundary lines, South 89°38'27" East, 870.13 feet to the east boundary line of said Lot 49;

thence on the east boundary line of said Lot 49, South 01°00'22" West, 106.31 feet;

thence leaving said east boundary line, South 39°54'09" West, 30.00 feet to the centerline of W. Deep Canyon Drive;

thence on said centerline the following five (5) courses and distances:

219.79 feet on the arc of a curve to the right having a radius of 275.00 feet, a central angle of 45°47'37", and a long chord which bears South 27°12'02" East, 213.99 feet;

South 04°18'14" East, 280.27 feet;
444.83 feet on the arc of a curve to the left having a radius of 500.00 feet, a central angle of 50°58'25", and a long chord which bears South 29°47'26" East, 430.30 feet;



South 55°16'39" East, 394.38 feet;

56.50 feet on the arc of a curve to the left having a radius of 500.00 feet, a central angle of 06°28'30", and a long chord which bears South 58°30'54" East, 56.47 feet to the southwesterly prolongation of the westerly boundary line of Lot 39, Block 4 of said Hillsdale Estates No. 7 Subdivision;

thence on the westerly boundary line of said Lot 39 and the prolongation thereof, the following three (3) courses and distances:

North 42°40'26" East, 279.54 feet;

North 49°16'24" West, 579.77 feet;

North 11°40'25" West, 654.53 feet to the north boundary line of the South 1/2 of the North 1/2 of said Section 30, coincident with the north boundary line of said Hillsdale Estates No. 7 Subdivision;

thence on said north boundary lines, South 89°38'27" East, 900.16 feet to the easterly boundary line of said Lot 39;

thence on said easterly boundary line, South 23°51'51" East, 130.39 feet

thence leaving said easterly boundary line, South 49°36'02" East, 50.00 feet to the centerline of N. Highhill Place;

thence on said centerline the following three (3) courses and distances:

South 08°06'41" East, 381.23 feet;

18.94 feet on the arc of a curve to the right having a radius of 150.00 feet, a central angle of 07°14'10", and a long chord which bears South 04°29'36" East, 18.93 feet;

South 00°52'31" East, 125.21 feet;

thence leaving said centerline, South 89°07'29" West, 25.00 feet to the westerly boundary line of said Lot 39;

thence on said westerly boundary line the following three (3) courses and distances:

South 49°13'59" West, 320.60 feet;

South 42°10'21" East, 177.42 feet;

North 51°37'58" East, 293.84 feet;

thence leaving said westerly boundary line, North 22°58'14" East, 25.00 feet to the centerline of N. Highhill Place;



thence on said centerline the following five (5) courses and distances:

South 67°01'46" East, 132.85 feet;

67.29 feet on the arc of a curve to the right having a radius of 150.00 feet, a central angle of 25°42'10", and a long chord which bears South 54°10'41" East, 66.73 feet;

South 41°19'36" East, 207.57 feet;

76.56 feet on the arc of a curve to the right having a radius of 150.00 feet, a central angle of 29°14'40", and a long chord which bears South 26°42'16" East, 75.73 feet;

South 09°57'22" East, 53.15 feet to the centerline of W. Deep Canyon Drive;

thence on said centerline the following two (2) courses and distances:

North 80°02'38" East, 107.45 feet;

169.12 feet on the arc of a curve to the left having a radius of 1,000.00 feet, a central angle of 09°41'23", and a long chord which bears North 75°11'57" East, 168.92 feet to the southeasterly prolongation of the westerly boundary line of Lot 30, Block 4 of said Hillsdale Estates No. 7 Subdivision;

thence on said westerly boundary line and the prolongation thereof, the following four (4) courses and distances:

North 24°44'10" West, 450.18 feet;

North 58°16'00" West, 166.35 feet;

North 17°00'44" West, 379.22 feet;

North 00°40'25" East, 252.34 feet to the north boundary line of the South 1/2 of the North 1/2 of said Section 30, coincident with the north boundary line of said Hillsdale Estates No. 7 Subdivision;

thence on said north boundary lines, South 89°38'27" East, 716.99 feet to the easterly boundary line of said Lot 30;

thence on said easterly boundary line the following two (2) courses and distances:

South 04°30'31" East, 312.14 feet;

South 43°23'21" East, 100.71 feet to the westerly boundary line of Lot 28, Block 4 of said Hillsdale Estates No. 7 Subdivision;



thence on said westerly boundary line the following three (3) courses and distances:

North 67°32'26" East, 156.34 feet;

North 29°08'29" West, 98.58 feet;

North 02°31'26" East, 237.51 feet to the north boundary line of the South 1/2 of the North 1/2 of said Section 30, coincident with the north boundary line of said Hillsdale Estates No. 7 Subdivision;

thence said north boundary lines, South 89°38'27" East, 544.09 feet to the South 1/16 corner common to said Sections 29 and 30;

thence on the north boundary line of the South 1/2 of the North 1/2 of said Section 29, coincident with the north boundary line of said Hillsdale Estates No. 7 Subdivision, South 89°25'14" East, 900.32 feet to the exterior boundary line of Lot 27, Block 4 of said Hillsdale Estates No. 7 Subdivision;

thence on said exterior boundary line the following four (4) courses and distances:

South 10°50'49" West, 360.98 feet;

South 52°35'53" East, 161.65 feet;

North 66°20'24" East, 110.26 feet;

North 04°19'50" East, 407.68 feet the north boundary line of the South 1/2 of the North 1/2 of said Section 29, coincident with the north boundary line of said Hillsdale Estates No. 7 Subdivision,;

thence on said north boundary lines, South 89°25'14" East, 233.13 feet to the east boundary line of Lot 26, Block 4 of said Hillsdale Estates No. 7 Subdivision;

thence on said east boundary line and the southerly prolongation thereof, South 00°57'25" East, 746.83 feet to the centerline of W. Deep Canyon Drive;

thence on said centerline, South 89°45'03" East, 465.91 feet to the exterior boundary line of said Hillsdale Estates No. 7 Subdivision;

thence on said exterior boundary line, South 00°38'52" West, 305.20 feet to the exterior boundary line of Hillsdale Estates No. 3 Subdivision as filed in Book 77 of Plats at Pages 8167 through 8170, records of Ada County, Idaho;

thence on said exterior boundary line, South 77°14'03" East, 266.73 feet;



thence continuing on said exterior boundary line and the southeasterly prolongation thereof, South 66°31'50" East, 399.85 feet to the centerline of N. High Country Way;

thence on said centerline the following two (2) courses and distances:

139.67 feet on the arc of a curve to the right having a radius of 400.00 feet, a central angle of 20°00'21", and a long chord which bears North 78°19'12" East, 138.96 feet;

North 88°18'55" East, 129.73 feet;

thence leaving said centerline, South 01°41'05" East, 30.00 feet to the easterly boundary line of Lot 25, Block 3 of Hillsdale Estates No. 2 Subdivision as filed in Book 75 of Plats at Pages 7759 through 7761, records of Ada County, Idaho;

thence on said easterly boundary line the following five (5) courses and distances:

South 16°34'18" East, 189.96 feet;

North 86°58'10" East, 242.03 feet;

North 73°23'56" East, 221.39 feet;

South 05°51'20" East, 223.58 feet;

South 23°18'54" East, 350.00 feet;

thence continuing on said easterly boundary line and the easterly prolongation thereof, North 66°41'06" East, 274.96 feet to the centerline of N. Hill Haven Place;

thence on said centerline the following two (2) courses and distances:

South 23°18'54" East, 302.84 feet;

116.72 feet on the arc of a curve to the right having a radius of 300.00 feet, a central angle of 22°17'28", and a long chord which bears South 12°10'10" East, 115.98 feet;

thence leaving said centerline, South 88°58'34" West, 25.00 feet to the easterly boundary line of Lot 24, Block 3 of said Hillsdale Estates No. 2 Subdivision;

thence on said easterly boundary line the following three (3) courses and distances:

South 82°17'08" West, 454.55 feet;

South 24°41'24" East, 449.30 feet;



South 76°53'47" East, 426.64 feet to the exterior boundary line of Hillsdale Estates No. 5 Subdivision as filed in Book 80 of Plats at Pages 8550 through 8552, records of Ada County, Idaho;

thence on said exterior boundary line the following two (2) courses and distances:

North 00°09'27" East, 1,425.15 feet to the Center-East 1/16 corner of said Section 29;

South 89°25'57" East, 1,316.85 feet to the 1/4 corner common to said Sections 28 and 29, coincident with the Northwest corner of Lot 7, Block 3 of Hillsdale Estates No. 1 Subdivision as filed in Book 68 of Plats at Pages 6982 through 6985, records of Ada County, Idaho;

thence on the north boundary line of said Lot 7 and the easterly prolongation thereof, South 88°40'58" East, 180.70 feet to the centerline of N. Star Ridge Way;

thence on said centerline the following five (5) courses and distances:

South 20°52'11" East, 121.26 feet;

41.76 feet on the arc of a curve to the right having a radius of 200.00 feet, a central angle of 11°57'51", and a long chord which bears South 14°53'16" East, 41.69 feet;

South 08°54'20" East, 188.14 feet;

112.82 feet on the arc of a curve to the left having a radius of 200.00 feet, a central angle of 32°19'13", and a long chord which bears South 25°03'57" East, 111.33 feet;

South 41°13'34" East, 50.53 feet to the northeasterly prolongation of the southerly boundary line of said Lot 7;

thence on said southerly boundary line and the northeasterly prolongation thereof, the following three (3) courses and distances:

South 67°05'26" West, 265.43 feet;

South 18°35'49" East, 37.96 feet;

North 89°21'08" West, 113.81 feet to the exterior boundary line of said Hillsdale Estates No. 1 Subdivision, coincident with the exterior boundary line of said of Hillsdale Estates No. 5 Subdivision;



thence on said exterior boundary lines, South 00°11'15" West, 812.10 feet to the southerly boundary line of Lot 58, Block 3 of said of Hillsdale Estates No. 5 Subdivision;

thence on said southerly boundary line the following two (2) courses and distances:

South 78°25'51" West, 225.00 feet;

South 66°23'46" West, 289.65 feet;

thence continuing on said southerly boundary line and the southeasterly prolongation thereof, South 44°41'45" East, 265.51 feet to the centerline of N. Echo Summit Way;

thence on said centerline, 114.04 feet on the arc of a curve to the left having a radius of 275.00 feet, a central angle of 23°45'39", and a long chord which bears South 30°31'50" West, 113.23 feet to the centerline of N. Golden View Court;

thence on said centerline the following four (4) courses and distances:

North 71°23'42" West, 109.61 feet;

103.51 feet on the arc of a curve to the right having a radius of 300.00 feet, a central angle of 19°46'09", and a long chord which bears North 61°30'37" West, 103.00 feet;

North 51°37'33" West, 187.23 feet;

19.01 feet on the arc of a curve to the left having a radius of 300.00 feet, a central angle of 03°37'51", and a long chord which bears North 53°26'28" West, 19.01 feet to the southerly prolongation of the southerly boundary line of said Lot 58;

thence on said southerly boundary line the following six (6) courses and distances:

North 15°20'57" East, 227.56 feet;

North 48°56'57" West, 361.33 feet;

North 89°14'01" West, 86.76 feet;

South 07°00'29" West, 204.29 feet;

24.46 feet on the arc of a curve to the left having a radius of 50.00 feet, a central angle of 28°01'50", and a long chord which bears South 64°21'39" West, 24.22 feet;



South 78°21'35" West, 262.75 feet to the exterior boundary line of said Hillsdale Estates No. 5 Subdivision, coincident with the exterior boundary line of said of Hillsdale Estates No. 2 Subdivision and said Hillsdale Estates No. 3 Subdivision;

thence on said exterior boundary lines, South 00°09'27" West, 975.79 feet to the exterior boundary line of Lot 32, Block 3 of said Hillsdale Estates No. 3 Subdivision;

thence on said exterior boundary line the following seven (7) courses and distances:

- North 69°41'35" West, 196.40 feet;
- South 79°08'25" West, 239.45 feet;
- North 19°32'16" West, 999.94 feet;
- North 30°24'37" West, 545.06 feet;
- North 15°06'41" West, 180.50 feet;
- North 37°56'04" West, 742.70 feet;
- South 63°54'45" West, 186.69 feet;

thence leaving said exterior boundary line, South 61°07'57" West, 30.00 feet to the centerline of N. High Country Way;

thence on said centerline, 180.22 feet on the arc of a curve to the right having a radius of 200.00 feet, a central angle of 51°37'46", and a long chord which bears North 03°03'10" West, 174.18 feet;

thence leaving said centerline, North 67°14'17" West, 30.00 feet to the exterior boundary line of Lot 8, Block 5 of said Hillsdale Estates No. 3 Subdivision;

thence on said exterior boundary line the following nine (9) courses and distances:

- North 60°07'41" West, 76.13 feet;
- North 89°25'57" West, 326.17 feet;
- South 22°51'36" East, 484.89 feet;
- South 26°12'27" East, 175.31 feet;
- South 11°28'06" East, 184.02 feet;
- South 41°32'09" East, 540.48 feet;
- South 06°47'16" East, 352.88 feet;



South 22°22'02" East, 529.32 feet;

South 27°19'26" East, 526.97 feet;

thence continuing on said exterior boundary line and the southerly prolongation thereof, South 20°45'13" East, 235.03 feet to the centerline of W. Lanktree Gulch Road;

thence on said centerline the following two (2) courses and distances:

South 64°46'52" West, 44.16 feet;

177.08 feet on the arc of a curve to the right having a radius of 350.00 feet, a central angle of 28°59'18", and a long chord which bears South 79°16'31" West, 175.20 feet to the southerly prolongation of the exterior boundary line of said Lot 8;

thence on said exterior boundary line the following four (4) courses and distances:

North 00°20'56" West, 267.00 feet;

North 84°31'52" West, 222.22 feet;

North 04°49'30" East, 100.85 feet;

North 77°56'27" West, 206.51 feet to the exterior boundary line of said Hillsdale Estates No. 3 Subdivision, coincident with the exterior boundary line of Hillsdale Estates No. 6 Subdivision as filed in Book 81 of Plats at Pages 8842 through 8844, records of Ada County, Idaho;

thence on said exterior boundary lines and the southerly prolongation thereof, South 00°39'33" West, 263.10 feet to the centerline of W. Lanktree Gulch Road;

thence on said centerline 124.89 feet on the arc of a curve to the left having a radius of 350.00 feet, a central angle of 20°26'38", and a long chord which bears South 82°11'00" West, 124.22 feet to the northerly prolongation of the exterior boundary line of Lot 12, Block 7 of said Hillsdale Estates No. 3 Subdivision;

thence on said exterior boundary line and the northerly prolongation thereof, the following three (3) courses and distances:

South 23°38'35" East, 247.76 feet;

South 31°02'48" East, 172.97 feet;

South 81°39'29" East, 464.68 feet to the exterior boundary line of Lot 7, Block 7 of said Hillsdale Estates No. 3 Subdivision;



thence on said exterior boundary line the following two (2) courses and distances:

North 81°22'34" East, 193.30 feet;

North 01°58'58" East, 325.52 feet;

thence leaving said exterior boundary line, North 25°13'08" West, 30.00 feet to the centerline of W. Lanktree Gulch Road;

thence on said centerline, North 64°46'52" East, 161.32 feet;

thence leaving said centerline, South 25°13'08" East, 30.00 feet to the exterior boundary line of said Lot 7;

thence on said exterior boundary line the following three (3) courses and distances:

South 13°22'45" East, 336.07 feet;

South 30°35'37" East, 600.09 feet;

South 21°22'40" West, 363.89 feet to the south boundary line of said Hillsdale Estates No. 3 Subdivision;

thence on said south boundary line, North 89°24'42" West, 1,368.94 feet to the westerly boundary line of said Hillsdale Estates No. 3 Subdivision;

thence on said westerly boundary line, North 31°03'48" West, 118.78 feet the exterior boundary line of Lot 12, Block 7 of said Hillsdale Estates No. 3 Subdivision;

thence on said exterior boundary line the following five (5) courses and distances:

South 89°17'49" East, 432.19 feet;

North 00°09'15" East, 305.32 feet;

North 14°57'53" West, 214.17 feet;

North 31°02'48" West, 357.37 feet;

North 23°38'35" West, 219.07 feet;

thence leaving said exterior boundary line, North 35°30'13" West, 30.00 feet to the centerline of W. Lanktree Gulch Road;



thence on said centerline, 33.24 feet on the arc of a curve to the right having a radius of 350.00 feet, a central angle of 05°26'32", and a long chord which bears North 57°13'03" East, 33.23 feet to the southerly prolongation of the exterior boundary line of Lot 29, Block 5 of said Hillsdale Estates No. 6 Subdivision;

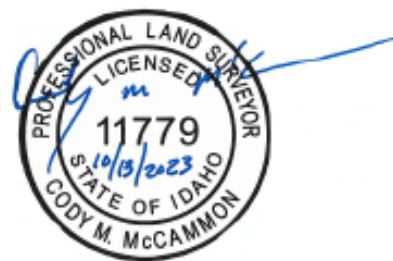
thence on said exterior boundary line and the southerly prolongations thereof, the following fifteen (15) courses and distances:

- North 37°11'11" West, 754.50 feet;
- North 57°34'45" West, 586.91 feet;
- North 22°14'21" West, 348.75 feet;
- North 15°22'18" West, 753.17 feet;
- North 82°23'12" West, 415.34 feet;
- South 34°58'22" West, 178.25 feet;
- South 01°51'37" East, 249.60 feet;
- South 15°36'07" East, 338.73 feet;
- South 74°21'00" West, 150.00 feet;
- South 15°39'00" East, 200.00 feet;
- North 74°21'00" East, 199.97 feet;
- South 15°39'00" East, 524.15 feet;
- South 50°34'45" East, 236.06 feet;
- South 67°53'46" East, 216.97 feet;
- South 52°38'08" East, 220.54 feet to the Northeast corner of Lot 58, Block 5 of said Hillsdale Estates No. 6 Subdivision;

thence on the westerly boundary line of said Lot 58 and the southeasterly prolongation thereof, South 36°42'42" East, 721.29 feet to the centerline of W. Lanktree Gulch Road;

thence on said centerline the following five (5) courses and distances:

- South 54°29'47" West, 79.86 feet;



283.52 feet on the arc of a curve to the left having a radius of 500.00 feet, a central angle of 32°29'21", and a long chord which bears South 38°15'06" West, 279.74 feet;

1,341.57 feet on the arc of a reverse curve to the right having a radius of 792.00 feet, a central angle of 97°03'13", and a long chord which bears South 70°32'03" West, 1,186.84 feet;

252.05 feet on the arc of a reverse curve to the left having a radius of 500.00 feet, a central angle of 28°52'57", and a long chord which bears North 75°22'49" West, 249.39 feet;

North 89°49'18" West, 167.16 feet to the west boundary line of the Northwest 1/4 of the Northwest 1/4 of said Section 32, coincident with the west boundary line of said Hillsdale Estates No. 6 Subdivision;

thence on said west boundary lines, North 01°38'35" East, 1,114.31 feet to the Section corner common to said Sections 29, 30, 31 and 32;

thence on the south boundary lines of said Hillsdale Estates No. 3 Subdivision and Hillsdale Estates No. 4 Subdivision, North 89°34'15" West, 2,646.60 feet to the 1/4 corner common to said Section 30 and 31;

thence on the south boundary lines of said Hillsdale Estates No. 4 Subdivision, Hillsdale Estates No. 5 Subdivision and Hillsdale Estates No. 7 Subdivision, North 89°34'26" West, 2,528.83 feet to the **POINT OF BEGINNING**.

EXCEPTING THEREFROM

A portion of the Southeast 1/4 of the Northwest 1/4 of Section 30, Township 5 North, Range 1 West, Boise Meridian, Ada County, Idaho more particularly described as follows:

Commencing at the Northeast corner of Government Lot 2 of said Section 30 from which the North 1/16 corner common to Section 30, T.5N., R.1W., B.M., and Section 25, T.5N., R.2W., B.M. bears North 89°23'18" West, 1,231.55 feet; thence South 62°44'26" East, 140.31 feet to the centerline of W. Deep Canyon Drive and the **POINT OF BEGINNING**;

thence on said centerline, South 89°19'35" East, 285.03 feet to the northerly prolongation of the exterior boundary line of Lot 59, Block 5 of Hillsdale Estates No. 7 Subdivision as filed in Book 86 of Plats at Pages 9666 through 9672, records of Ada County, Idaho ;

thence on said exterior boundary line and the northerly prolongations thereof, the following six (6) courses and distances:

South 03°44'45" East, 797.77 feet;

North 79°22'29" West, 61.17 feet;



South 08°44'51" East, 400.49 feet;

North 89°19'35" West, 228.75 feet;

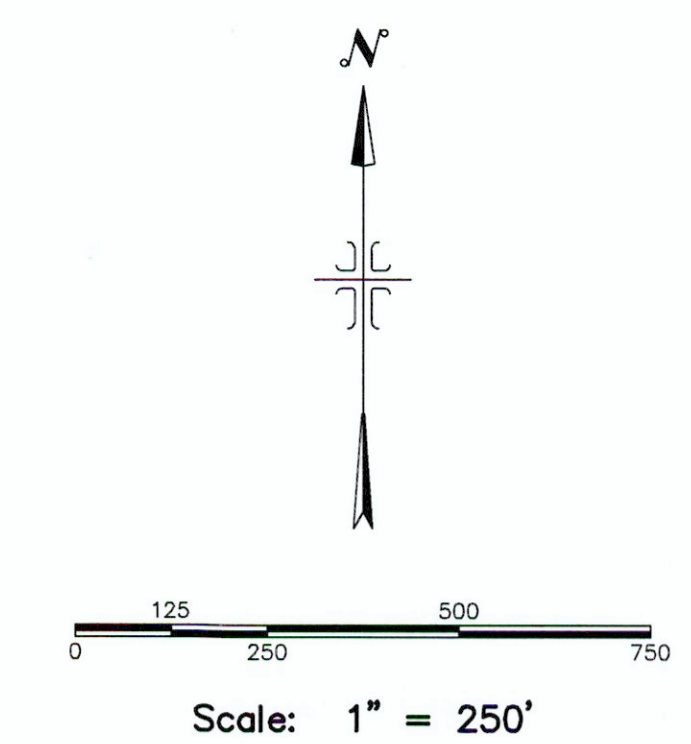
North 01°02'03" West, 426.14 feet;

North 07°39'14" West, 762.00 feet to the **POINT OF BEGINNING**.

Containing 719.304 acres, more or less.

End of Description.





- Legend**
- Annexation Boundary Line
 - Annexation Area
 - Subdivision Boundary Line
 - Lot Line
 - Right-of-Way Line
 - Section Line
 - Lot Number

Line	Bearing	Length
L1	N49°34'10"W	182.97'
L2	N05°45'35"W	30.00'
L3	N28°09'33"W	134.99'
L4	S01°00'22"W	106.31'
L5	S39°54'09"W	30.00'
L6	S23°51'51"E	130.39'
L7	S49°38'02"E	50.00'
L8	S89°07'29"W	25.00'
L9	N22°58'14"E	25.00'
L10	S67°01'46"E	132.85'
L11	S09°57'22"E	53.15'
L12	N80°02'38"E	107.45'
L13	S43°23'21"E	100.71'
L14	N67°32'26"E	156.34'
L15	N29°08'29"W	98.58'
L40	S62°44'26"E	140.31'
L41	N79°22'29"W	61.17'

Curve	Length	Radius	Delta	Chord Bearing	Chord Length
C1	28.71'	300.00'	5°28'59"	N24°07'58"E	28.70'
C2	74.50'	200.00'	21°20'29"	S73°34'11"W	74.07'
C3	219.79'	275.00'	45°47'37"	S27°12'02"E	213.99'
C4	444.83'	500.00'	50°58'25"	S29°47'26"E	430.30'
C5	56.50'	500.00'	6°28'30"	S58°30'54"E	56.47'
C6	18.94'	150.00'	7°14'10"	S04°29'36"E	18.93'
C7	67.29'	150.00'	25°42'10"	S54°10'41"E	66.73'
C8	76.56'	150.00'	29°14'40"	S26°42'16"E	75.73'
C9	169.12'	1000.00'	9°41'23"	N75°11'57"E	168.92'

These drawings, or any portion thereof, shall not be used on any project or extensions of this project except by agreement in writing with Idaho Survey Group, LLC.



IDAHO SURVEY GROUP, LLC

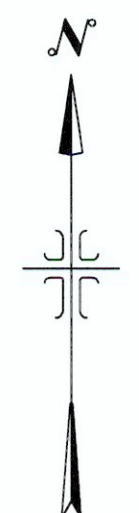
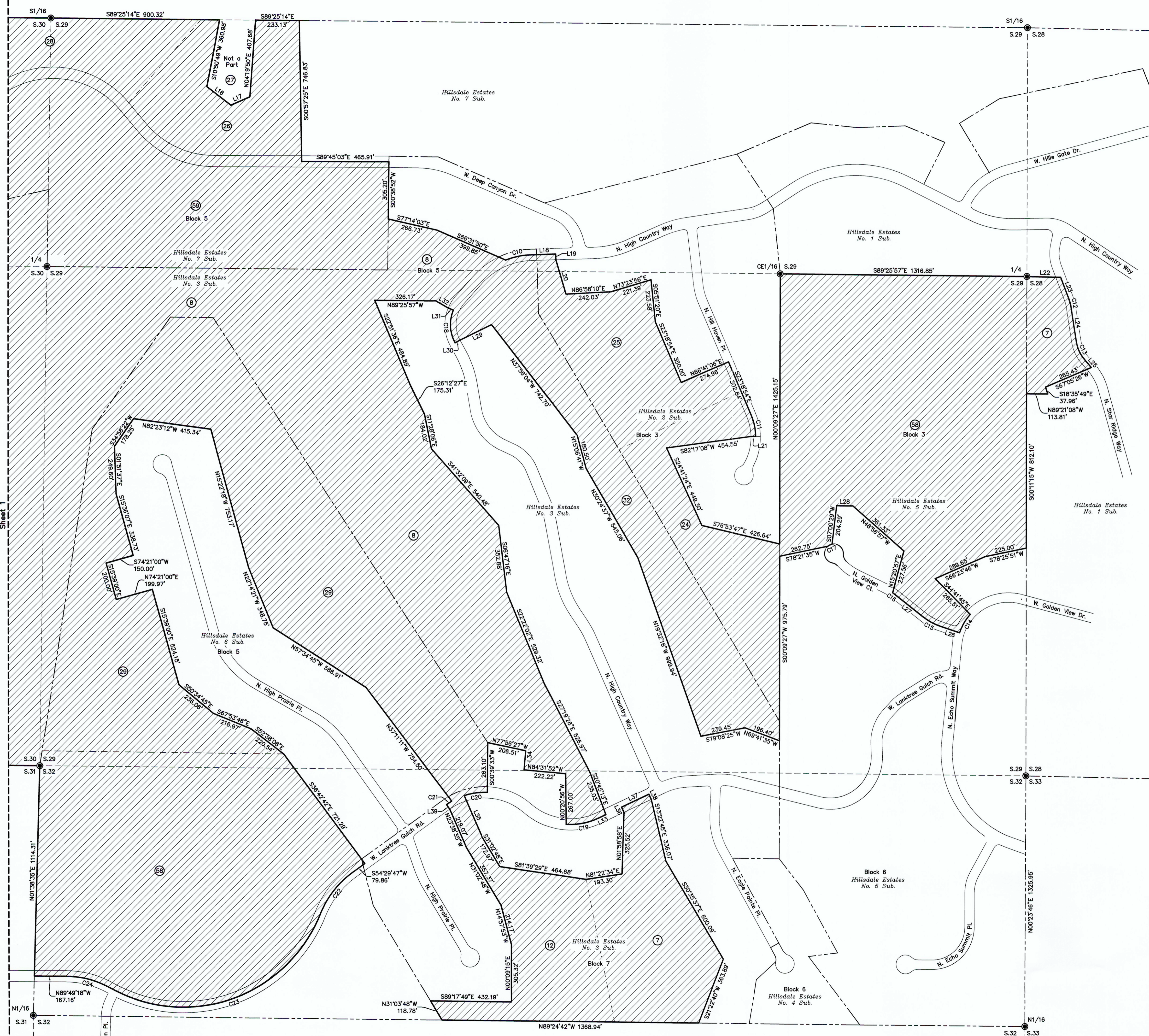
9955 W. EMERALD ST.
BOISE, IDAHO 83704
PH. (208) 846-8570
FAX (208) 884-5399
WWW.IDAHOSURVEY.COM

Willowbrook Development

Annexation

A portion of the Northwest 1/4 of the Southwest 1/4 of Section 28, Section 29, Section 30 and the North 1/2 of the North 1/2 of Section 32, Township 5 North, Range 1 West, Boise Meridian, Ada County, Idaho

Drawn: CMCCAMMON	Checked: CMM	Job No. 21-503	Sheet No. 1 of 2
Date: 10/13/2023	Date: 10/13/2023		



0 125 250 500 750
 Scale: 1" = 250'

Legend

- Annexation Boundary Line
- Annexation Area
- Subdivision Boundary Line
- Lot Line
- Right-of-Way Line
- Section Line
- Lot Number

Line	Bearing	Length
L16	S52°35'53"E	161.65'
L17	N66°20'24"E	110.26'
L18	N88°18'55"E	128.73'
L19	S01°41'05"E	30.00'
L20	S16°34'18"E	189.96'
L21	S88°58'34"W	25.00'
L22	S88°40'58"E	180.70'
L23	S20°52'11"E	121.26'
L24	S08°54'20"E	188.14'
L25	S41°13'34"E	50.53'
L26	N71°23'42"W	109.61'
L27	N51°37'33"W	187.23'
L28	N89°14'01"W	86.76'

Line	Bearing	Length
L29	S63°54'45"W	186.69'
L30	S61°07'57"W	30.00'
L31	N67°14'17"W	30.00'
L32	N60°07'41"W	76.13'
L33	S64°46'52"W	44.16'
L34	N04°49'30"E	100.85'
L35	S23°38'35"E	247.76'
L36	N25°13'08"W	30.00'
L37	N64°46'52"E	161.32'
L38	S25°13'08"E	30.00'
L39	N35°30'13"W	30.00'

Curve	Length	Radius	Delta	Chord Bearing	Chord Length
C10	139.67'	400.00'	20°00'21"	N78°19'12"E	138.96'
C11	116.72'	300.00'	22°17'28"	S12°10'10"E	115.98'
C12	41.76'	200.00'	11°57'51"	S14°53'16"E	41.69'
C13	112.82'	200.00'	32°19'13"	S25°03'57"E	111.33'
C14	114.04'	275.00'	23°45'39"	S30°31'50"W	113.23'
C15	103.51'	300.00'	19°46'09"	N61°30'37"W	103.00'
C16	19.01'	300.00'	3°37'51"	N53°26'28"W	19.01'
C17	24.46'	50.00'	28°01'50"	S64°21'39"W	24.22'
C18	180.22'	200.00'	51°37'46"	N03°03'10"W	174.18'
C19	177.08'	350.00'	28°59'18"	S79°16'31"W	175.20'
C20	124.89'	350.00'	20°26'38"	S82°11'00"W	124.22'
C21	33.24'	350.00'	5°26'32"	N57°13'03"E	33.23'
C22	283.52'	500.00'	32°29'21"	S38°15'06"W	279.74'
C23	1341.57'	782.00'	97°03'13"	S70°32'03"W	1186.84'
C24	252.05'	500.00'	28°52'57"	N75°22'49"W	249.39'



IDAHO SURVEY GROUP, LLC

9955 W. EMERALD ST.
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Willowbrook Development

Annexation

A portion of the Northwest 1/4 of the Southwest 1/4 of Section 28, Section 29, Section 30 and the North 1/2 of the North 1/2 of Section 32, Township 5 North, Range 1 West, Boise Meridian, Ada County, Idaho

Drawn: CMCCAMMON	Checked: CMM	Job No. 21-503	Sheet No. 2 of 2
Date: 10/13/2023	Date: 10/13/2023		

These drawings, or any portion thereof, shall not be used on any project or extensions of this project except by agreement in writing with Idaho Survey Group, LLC.

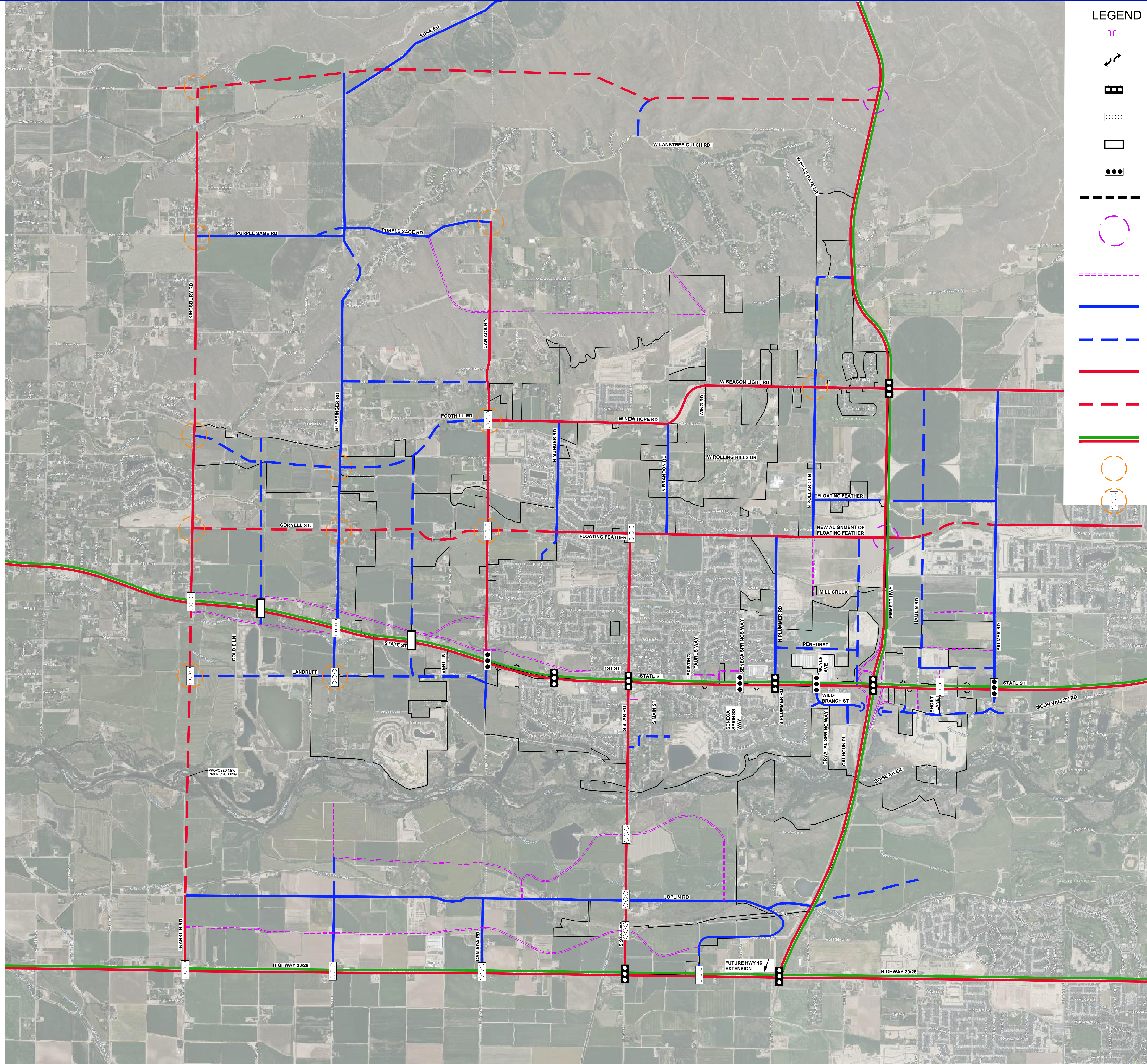
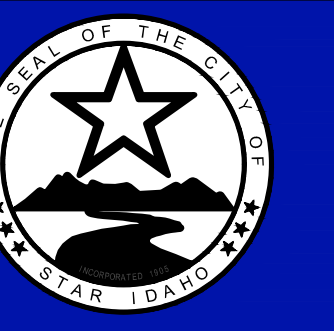
EXHIBIT C
Transitional Lots



THIS EXHIBIT C IS INTENDED BY THE PARTIES TO BE IN COLOR, AND THE ORIGINAL AND ALL COPIES SHALL BE IN COLOR.



CITY OF STAR



LEGEND

- FULL ACCESS
- PROPOSED RIGHT IN / RIGHT OUT
- EXISTING SIGNAL LIGHT
- PROPOSED SIGNAL LIGHT
- FUTURE CONTROLLED INTERSECTION (TBD)
- ITD APPROVED FUTURE SIGNAL LIGHT
- STAR CITY LIMITS
- OVERPASS W/ FULL ACCESS TO HWY 16
- CONCEPTUAL ALIGNMENT PROPOSED FUTURE ROAD CLASSIFICATION TBD
- EXISTING COLLECTOR
- CONCEPTUAL ALIGNMENT PROPOSED FUTURE COLLECTOR
- EXISTING ARTERIAL
- CONCEPTUAL ALIGNMENT PROPOSED FUTURE ARTERIAL
- EXISTING STATE HIGHWAY
- ROUND ABOUT
- ROUND ABOUT / SIGNAL OPTION

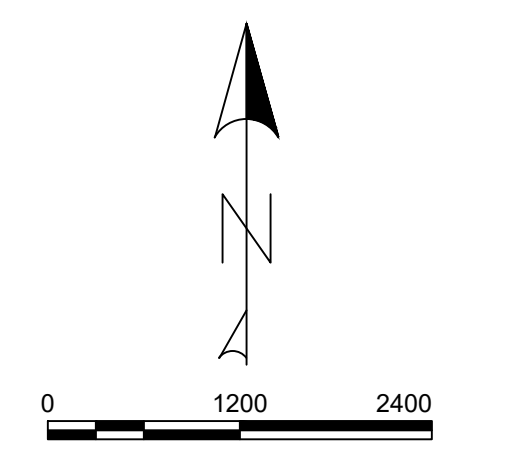
NOTES:

1. MAP DEPICTS PROPOSED CONCEPTUAL ALIGNMENTS OF FUTURE COLLECTORS, ARTERIALS, AND ACCESS POINTS AND TRAFFIC SIGNALS.
2. FINAL LOCATION OF PROPOSED ROADS, DRIVEWAYS AND SIGNALS ALL SUBJECT TO REVIEW AND APPROVAL OF GOVERNMENT AGENCIES HAVING JURISDICTION.
3. PROPOSED ROAD ALIGNMENTS AND SIGNALS ARE SUBJECT TO BE MODIFIED DEPENDING UPON SPECIFIC DEVELOPMENT PROPOSALS.
4. LOCATE SIGNAL LIGHT AT HAMLIN ROAD OR SHORT LANE WITH APPROPRIATE RIGHT IN / RIGHT OUT.
5. RECLASSIFY PLUMMER ROAD AND POLLARD LANE BETWEEN BEACON LIGHT AND STATE STREET AS A MINOR ARTERIAL.
6. RECLASSIFY S. CALHOUN PLACE AS A COLLECTOR.
7. CLASSIFY FOOTHILL RD. AND NEW HOPE RD. WEST FROM CANADA RD. AS A MINOR ARTERIAL.
8. PEDESTRIAN CROSSING SIGNAL LOCATIONS TO BE DETERMINED ALONG STATE STREET CORRIDOR.
9. PROVIDE FOR FUTURE PARK & RIDE (VRT) LOCATIONS AT HWY 44 & 20/26.
10. UNDERPASS

APPROVED BY STAR CITY COUNCIL ON 12-15-20

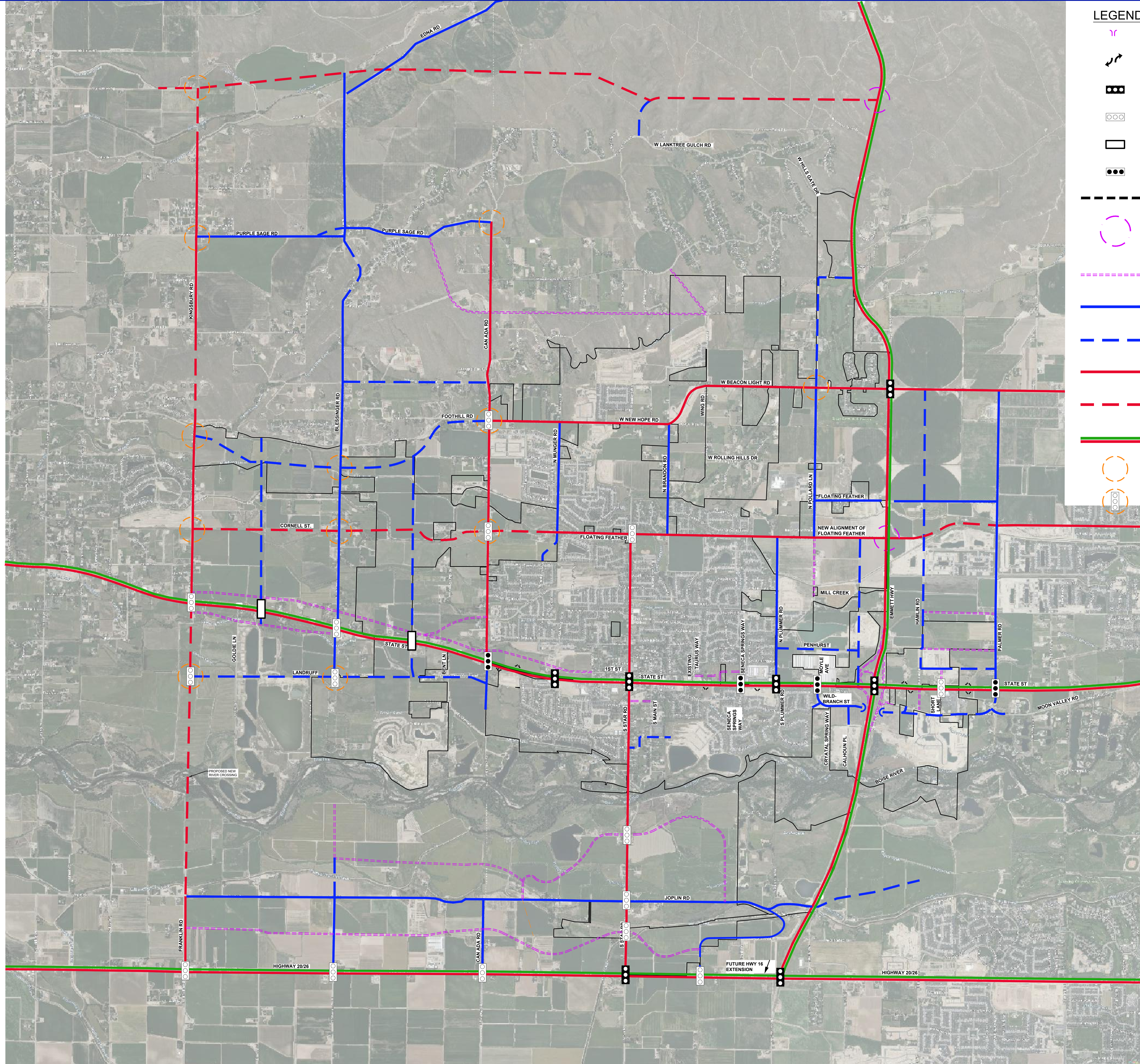
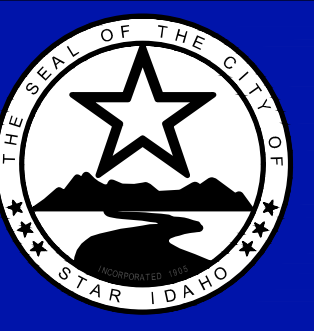
REVISED AND APPROVED BY CITY COUNCIL ON 10-5-21

REVISED AND APPROVED BY CITY COUNCIL ON 2-21-23





CITY OF STAR



LEGEND

- FULL ACCESS
- PROPOSED RIGHT IN / RIGHT OUT
- EXISTING SIGNAL LIGHT
- PROPOSED SIGNAL LIGHT
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- EXISTING COLLECTOR
- CONCEPTUAL ALIGNMENT PROPOSED FUTURE COLLECTOR
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- ROUND ABOUT / SIGNAL OPTION

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APPROVED BY STAR CITY COUNCIL ON 12-15-20

REVISED AND APPROVED BY CITY COUNCIL ON 10-5-21

REVISED AND APPROVED BY CITY COUNCIL ON 2-21-23

REVISED AND APPROVED BY CITY COUNCIL ON 10-17-23

