

**CITY COUNCIL REGULAR MEETING AGENDA**City Hall - 10769 W State Street, Star, Idaho  
Tuesday, October 15, 2024 at 7:00 PM

**PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.**

1. **CALL TO ORDER** – Welcome/Pledge of Allegiance
2. **INVOCATION** – Bishop Scott Snelders, Church of Jesus Christ of Latter-Day Saints
3. **ROLL CALL**
4. **PRESENTATIONS**
  - A. **Police Chief Report**
  - B. **Fire Chief Presentation**
  - C. **Sports & Recreation Update**
  - D. **Star Pathway Master Plan Update - Kimley-Horn**
5. **CONSENT AGENDA (ACTION ITEM)** *\*All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*
  - A. **Approval of Minutes: September 17 & October 1, 2024**
  - B. **Approval of Claims**
  - C. **Findings of Fact/Conclusions of Law - SETTING SUN RANCH (PREVIOUSLY HAVEN RANCH) SUBDIVISION FINAL PLAT (FP-24-09)**
  - D. **Findings of Fact/Conclusions of Law-CRANEFIELD SUBDIVISION PHASE 3 FINAL PLAT (FP-24-10)**
6. **ACTION ITEMS:**(The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
  - A. **Milestone Ranch Subdivision Development Agreement (ACTION ITEM)**
7. **PUBLIC HEARINGS with ACTION ITEMS:** (The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
  - A. **PUBLIC HEARING: DOWDY'S AUTO REPAIR CONDITIONAL USE PERMIT (CU-24-06)** The Applicant is requesting approval of a Conditional Use Permit (CU-24-06) for a proposed auto repair shop. The property is located at 12645 W Norterra Ln in Star, Idaho, and consists of .80 acres. Property Location: The subject property is generally located east of Can Ada Road and north of W State Street (HWY) 44, Ada County Parcel No. R6119280400. **(ACTION ITEM)**
  - B. **PUBLIC HEARING: ADDINGTON SUBDIVISION PRELIMINARY PLAT MODIFICATION (PP-22-02 MOD)** The Applicant is seeking approval of a Preliminary Plat modification for a proposed residential subdivision consisting of 31 residential lots and 3 common lots. The property is located on the east side of N Highbrook Way in Star, Idaho and consists of 5.58 acres with a proposed density of 6.09 dwelling units per acre. The original preliminary plat was previously approved by City Council on September 6, 2022. **(ACTION ITEM)**
8. **ADJOURNMENT**



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### **Land Use Public Hearing Process**

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Applicant has up to **20 minutes** to present their project

Council can ask the applicant questions and staff questions

Public Testimony (**3 minutes per person**)

1. Those for the project speak
2. Those against the project speak
3. Those who are neither for or against but wish to speak to the project
4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick





# September 2024 Police Report

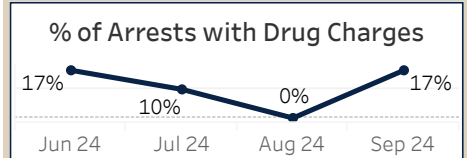
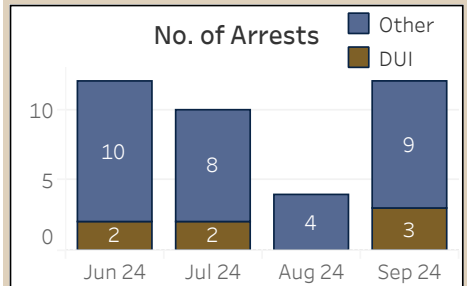
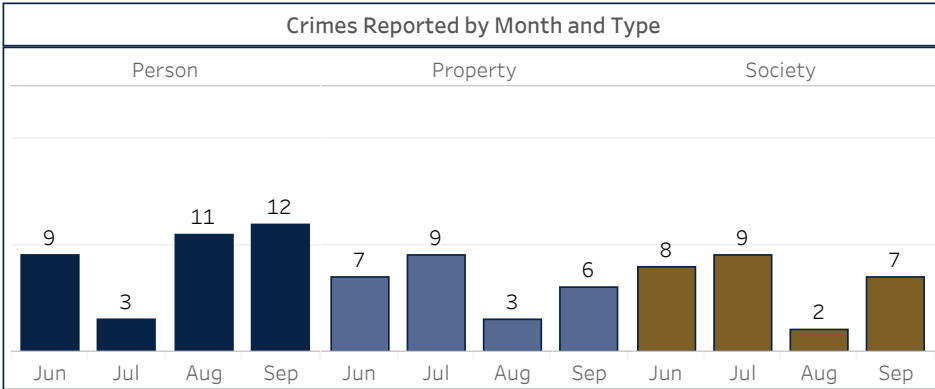
Release Date 2024-10-10

## Offenses Reported<sup>1</sup>

Types	2021	2022	2023 <sup>2</sup>	2024 YTD
Person	74	110	96	70
Property	59	92	117	50
Society	52	67	134	75
<b>Total Crimes</b>	<b>185</b>	<b>269</b>	<b>347</b>	<b>195</b>
<b>Crimes/1,000 Pop</b>	<b>13.8</b>	<b>17.7</b>	<b>19.6</b>	

### Case Report Types

- Person Crimes** = murder, manslaughter, rape/sodomy, assault, intimidation and kidnapping offenses
- Property Crimes** = robbery, burglary, larceny/theft, arson, destruction of property, counterfeiting, fraud, embezzlement, blackmail and stolen property offenses
- Society Crimes** = drugs/narcotics, gambling, pornography, prostitution and weapons law violations



### Police Activity<sup>3</sup>

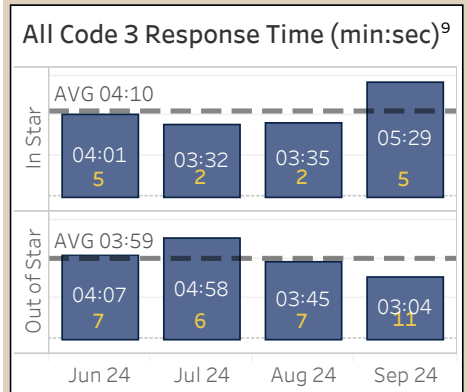
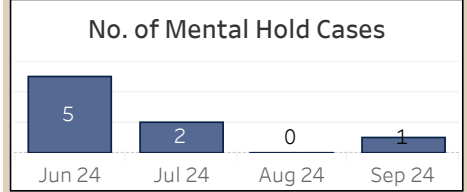
	2024 Monthly Avg <sup>4</sup>	Jun 24	Jul 24	Aug 24	Sep 24	September 2023
Citizen Calls for Service (CFS)	2,067*	337	308	*Due to a Dispatch process change, the breakdowns for August and September incident data will be updated in a future report.		310
Proactive Policing		1,632	1,243	Total Aug 24 Incidents: 2,102.		1,622
				Total Sep 24 Incidents: 1,920.		

### Citations<sup>8</sup>

	Jun 24	Jul 24	Aug 24	Sep 24
Infraction	57	32	46	36
Misdemeanor	11	13	3	12

### Select Call Types

	2024 Monthly Avg <sup>4</sup>	Jun 24	Jul 24	Aug 24	Sep 24	September 2023
Crash Response	32	29	30	25	38	25
Crisis/Mental Health <sup>5</sup>	11	11	15	7	8	16
Domestic Violence	5	10	1	10	6	2
Juvenile Activity	18	13	14	18	18	24
Location Checks <sup>6</sup>	346	299	254	283	263	430
Property Crime Calls <sup>7</sup>	16	18	21	17	20	13
School Checks	41	28	15	38	44	72
Traffic Stops	329	321	163	275	284	284
Welfare Checks	21	19	21	20	19	19



<sup>1</sup>Offense Reports are compiled from NIBRS RMS. <sup>2</sup>Counts updated to reflect NIBRS audit update. <sup>3</sup>Police Activity reflects calls in the City of Star and all calls dispatched with a Star deputy. <sup>4</sup>Monthly averages are based on all prior months of the current year. <sup>5</sup>Calls are for Crisis/Mental Hold/Suicidal Subject/Attempted Suicide. <sup>6</sup>Location checks include Construction Site, Property, and Security checks. <sup>7</sup>Property Crime Calls include Theft, Vandalism, Burglary, Fraud. <sup>8</sup>Infraction and Misdemeanor Citations issued by a Star deputy as listed in the current Patrol schedule. <sup>9</sup>Code 3 Calls represent all incidents routed at Priority 3, where Priority 3 calls require an immediate emergency response.



**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho  
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**1. CALL TO ORDER – Welcome/Pledge of Allegiance**

Mayor called the meeting to order at 7pm and led the Pledge of Allegiance.

**2. INVOCATION – Kristi Dyer, Relief Society President / Church of Jesus Christ of Latter-Day Saints**

Kristi Dyer offered the invocation.

**3. ROLL CALL**

**ELECTED OFFICIALS:** Mayor Trevor Chadwick; Council President David Hershey; Council Members, Kevan Wheelock, Jennifer Salmonsens and Kevin Nielsen were all present.

**STAFF:** City Attorney Chris Yorgason; Public Information Officer Dana Partridge; Asst. City Planner Ryan Field, Asst. City Engineer Tim Clark, Star Police Chief Zach Hessing

**4. PRESENTATIONS****A. Star Police Chief Report**

Police Chief Zach Hessing gave the update on the metrics from the month of August 2024. This report is located on the City of Star website. Chief Hessing shared a story about the celebration of first responders on 9/11. He was able to go to Twin Falls, ID with Abbey Bolter and participate in a celebration over there. He thanked the community for all of their support.

Chief admonished to look out for your neighbors and if something doesn't look right, say something, especially as Domestic Violence month is coming up and they are seeing an uptick in domestic violence calls.

**B. Sports & Recreation Update**

Sports & Recreation Director Ryan Field provided an update on the adult and youth programs in the City of Star.

**C. Proclamation – Constitution Week**

Mayor Chadwick read the proclamation which proclaims the week of September 17 through September 23 as Constitution Week. Mayor stated that today is actually Constitution Day, and he read some facts about the Constitution. Mayor Chadwick took pictures with the Daughters of the American Revolution.

**5. CONSENT AGENDA (ACTION ITEM) *\*All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.***

A. **Approval of City Council Meeting Minutes:** June 18, 2024 (Removed as needs corrected)

B. **Approval of Claims Provided & Previously Approved:** 8/30/2024 – 9/11/2024



# CITY COUNCIL REGULAR MEETING MINUTES

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## C. Findings of Fact / Conclusion of Law: Gruner Flood Plain Variance (File V-24-01)

Council Member Salmonsens moved to approve the Consent Agenda removing the Meeting Minutes of June 18, 2024 and adding the date of August 20 to the Gruner Findings and Facts. Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

## 6. ACTION ITEMS:

- A. Impact Fee Committee Member Appointments – Approval of Mayor Chadwick’s Appointments to the Star Impact Fee Committee by Resolution 016-2024.

Council Member Nielsen move to approve the list of appointments to the Star Impact Fee Committee. Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

- B. **Executive Session 74-206(1)(b)** - A Resolution of the City of Star, Idaho within Ada and Canyon Counties, formally recording the Amendment and Restatement of the City of Star 457(b) Deferred Compensation Plan. **(ACTION ITEM)**

- Council President Hershey moved to go into Executive Session 74-206(1)(b) to consider the evaluation, dismissal or disciplining of, or to hear complaints or charges brought against, a public officer, employee, staff member or individual agent, or public-school student; Council Member Salmonsens seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

The Star City Council retired into Executive Session at 7:25 pm.

The Star City Council moved back into regular session at 8:25 pm.

No action was taken after the Executive Session.

## 8. ADJOURNMENT

Mayor Chadwick adjourned the meeting at 8:26 pm.

\_\_\_\_\_/s/\_\_\_\_\_  
Trevor A Chadwick, Mayor

ATTEST: \_\_\_\_/s/\_\_\_\_\_  
Jacob M Qualls, City Clerk – Treasurer



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**CITY COUNCIL REGULAR MEETING AGENDA**

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**1. CALL TO ORDER** – Welcome/Pledge of Allegiance

- Mayor called the meeting to order at 7pm and led the Pledge of Allegiance.

**2. INVOCATION** – Pastor Tim Nay, LifeSpring Church

- Pastor Tim Nay offered the invocation.

**3. ROLL CALL**

**ELECTED OFFICIALS:** Mayor Trevor Chadwick; Council President David Hershey; Council Members, Kevan Wheelock, Jennifer Salmonsens and Kevin Nielsen were all present.

**STAFF:** City Attorney Chris Yorgason via ZOOM; Public Information Officer Dana Partridge; Asst. City Planner Ryan Field, City Engineer Ran Morgan, Star Police Chief Zach Hessing, City Planning Director Shawn Nickel via ZOOM. Star Deputy Elijah McCullough and Star Sargent Alex McCray were introduced to the Council and then left the meeting.

**4. PRESENTATIONS** –**A. New Deputy Introductions:**

Police Chief Zach Hessing introduced two new Deputy's to the Star Police Department.

Deputy Elijah McCullough is a local, graduated from Rocky Mountain High School. He also played football for BSU. He joined the ACSO in 2022. He is replacing Deputy Kiker on the graveyard shift. Deputy Kiker moved to a position with Boise PD.

Sergeant Alex McCray come to us from Norther California where he has been a police officer since 2010., He joined the ACSO in 2021. He has an extensive law enforcement resume and will be taking Sergeant Steele's position on the Silver Team as Sergeant Steele has moved into the Administrative Sergeant role. Sergeant McCray lives in Star.

Councilman Nielsen asked Chief Hessing how many deputies live in Star. He said he believes 8 and a couple who live in Middleton out of the 20.25 commissioned officers.

Councilman Wheelock asked how the POP team schedule worked. Chief Hessing explained that they work a schedule that covers both shifts each week.

Chief gave an update on the K-9 Deputy. Sam Goldstein has been selected for that position; he is a current Deputy in Star. He will remain on patrol until his position can be backfilled. He will get his dog very soon and will still need to be certified through POST.

**5. CONSENT AGENDA (ACTION ITEM)** *\*All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*

**A. Approval of Claims:****B. Time Extension** - Stargazer Subdivision Preliminary Plat (**FILE: TE-24-08**)**C. Task Order Approval - Star City Hall Generator** - Approve of Task Order #1 to Keller Associates

- Council Member Salmonsens moved to approve the Consent Agenda. Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

**6. PUBLIC HEARINGS & ACTION ITEMS:**(The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)

**CITY COUNCIL REGULAR MEETING AGENDA**

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- A. **PUBLIC HEARING: Addington Subdivision (FILE: PP-22-02 MOD Preliminary Plat)** - The Applicant is seeking approval of a Preliminary Plat modification for a proposed residential subdivision consisting of 31 residential lots and 3 common lots. The property is located on the east side of N. Highbrook Way in Star, Idaho, and consists of 5.58 acres with a proposed density of 6.09 dwelling units per acre. The original preliminary plat was previously approved by City Council on September 6, 2022. **(ACTION ITEM)**
- Council Member Hershey motioned to table the Addington Subdivision Public Hearing to October 15, 2024, at the request of the Applicant. Council Member Salmonsén seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsén – aye; Nielsen – aye. Motion carried.
- B. **Ordinance 411-2024 Joplin Rim Subdivision & Development Agreement:** AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED ON THE SOUTHEAST CORNER OF W. JOPLIN ROAD AND N. CAN ADA ROAD, IN STAR, IDAHO (ADA COUNTY PARCELS S0419233700 & S041925561) AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED BY JOHN BOTTLES; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS RESIDENTIAL WITH A DEVELOPMENT AGREEMENT (R-4-DA) OF APPROXIMATELY 13.53 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE. **(ACTION ITEM)**
- Council Member Nielsen moved to introduce Ordinance 411-2024 Joplin Rim Subdivision Annexation and Development Agreement and suspend the rules requiring three separate readings on three separate days and consider after this first reading (IC-50-905); Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsén – aye; Nielsen – aye. Motion carried.
  - Council Member Salmonsén then read the Lake Haven Estates Annexation Ordinance and moved to approve Ordinance 411-2024 Lake Haven Estates Annexation with the Development Agreement section 2.4.4 modified to include a 10-foot-wide multi-use pathway along the east side of Can Ada Road.; Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsén – aye; Nielsen – aye. Motion carried.
- C. **Ordinance 412-2024 UHaul Annexation / CUP & Development Agreement:** AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AT 7020 & 7190 W. CHINDEN BLVD (HWY 20/26), IN STAR, IDAHO (ADA COUNTY PARCELS S0420438501, S0420438600, S0420438613, S0420438701) AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED BY AMERCO REAL ESTATE COMPANY; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS GENERAL COMMERCIAL WITH A DEVELOPMENT AGREEMENT (C-2-DA) OF APPROXIMATELY 14.47 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE. **(ACTION ITEM)**
- Council Member Wheelock moved to introduce Ordinance 412-2024 UHaul Annexation / CUP and Development Agreement and suspend the rules requiring three separate readings on three separate days and consider after this first reading (IC-50-905); Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsén – aye; Nielsen – aye. Motion carried.
  - Council Member Hershey then read the Lake Haven Estates Annexation Ordinance and moved to approve Ordinance 412-2024 UHaul Annexation / CUP and Development Agreement; Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsén – aye; Nielsen – aye. Motion carried.
- D. **Executive Session 74-206(a)** - to consider a hiring a public officer, employee, staff member or individual agent, wherein the respective qualities of individuals are to be evaluated in order to fill a particular vacancy or need. **(ACTION ITEM)**
- Council Member Nielsen motioned to move to Executive Session per Idaho Code 74-206(a). Council Member Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsén – aye; Nielsen – aye. Motion carried. Entered Executive Session at 7:18 pm.



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- E. **Executive Session 74-206(a)** - to consider the evaluation, dismissal or disciplining of, or to hear complaints or charges brought against, a public officer, employee, staff member or individual agent, or public-school student. **(ACTION ITEM)** F. **Actions after Executive Session**

- Council exited Executive Session at 7:40 pm. Dana Partridge restarted the Zoom Meeting and Mayor Chadwick gavelled the group back in session at 7:42 pm.
- Council Member Salmonsens motioned to accept the resignation of current City Clerk/Treasurer Jacob Qualls and to unappoint him from both positions. Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

**Mayor Chadwick presented candidate Michelle Meyer to the Council and asked them to consider her for appointment to the Treasurer position in the City of Star.**

- Council Member Nielsen motioned to appoint Michelle Meyer as the Treasurer for the City of Star. Council Member Salmonsens seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

**Mayor Chadwick presented candidate Shelly Tilton to the Council and asked them to consider her for appointment to the City Clerk position in the City of Star.**

- Council Member Hershey motioned to appoint Shelly Tilton as the City Clerk for the City of Star. Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

**Mayor Chadwick advised the Council that they now needed to remove Jacob Qualls from all financial and investments accounts and add the new Treasurer and City Clerk to these accounts. This needs to be done through a motion.**

- Council Member Salmonsens motioned to remove Jacob Qualls from all City of Star financial and investment accounts. Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.
- Council Member Hershey motioned to add the new City Treasurer, Michelle Meyer and the new City Clerk, Shelly Tilton to all City of Star financial and investment accounts. Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.

## 7. ADJOURNMENT

- Mayor Chadwick gavelled the meeting adjourned at 7:47 pm

*Any person needing special accommodation to participate in the above noticed meeting should contact the City Clerk's Office at 208-286-7247, at least 24 hours in advance of the meeting date.*

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Public Testimony (**3 minutes per person**)

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2. Those against the project speak
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Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick

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# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star – Planning & Zoning Department *Shawn T. Marmillion*

**MEETING DATE:** **October 15, 2024**

**FILE(S) #:** **FP-24-09, Final Plat, Setting Sun Ranch Subdivision**

### REQUEST

Applicant is seeking approval of a Final Plat for Setting Sun Ranch Subdivision (originally approved as Haven Ranch Subdivision), consisting of 5 residential lots and 2 common lot on 5.010 acres. The subject property is located at 2645 N Brandon Rd. Star, Idaho, Ada County Parcel Number is R7626730100.

**APPLICANT/REPRESENTATIVE:**

David Marmillion  
Marmillion Development  
516 S. Capital Blvd.  
Boise, Idaho 83702

**OWNER:**

CHJL LLC  
6267 Joplin Road  
Meridian, Idaho 83687

### PROPERTY INFORMATION

Land Use Designation -	Residential R-1-DA
Acres -	5.010 acres
Residential Lots -	<b>5</b>
Common Lots -	2
Commercial Lots -	0

**HISTORY**

- October 6, 2020, Council approved applications for Annexation and Zoning (AZ-20-12), Development Agreement (DA-20-13), Preliminary Plat (PP-20-12), and a Private Street (PR-20-04) for Haven Ranch Subdivision. The Preliminary Plat was approved for a maximum of 5 single family residential lots and 2 common lot on 5.010 acres. Zoning Designation approved was residential (R-1-DA).
- November 14, 2022 Administrator approved a 1-year time extension running to October 6, 2023. First time extension is approved by The Administrator. Second extension requires Council Approval.
- October 3, 2023 Council approved a Time Extension (TE-23-05) for Haven Ranch Subdivision. The new expiration date is October 6, 2024. The application was submitted to the Administrator prior to the expiration date and the City Engineer will be signing the plat in the next few weeks. As allowed under Section 8-6A-8 of the UDC, the Administrator has determined that that the intent of the time approval has been met.

**GENERAL DISCUSSION**

The applicant is requesting approval of the Final Plat for Setting Sun Ranch Subdivision consisting of 5 residential lots and 2 common lot on 5.010 acres.

The Final Plat layout generally complies with the approved Preliminary Plat.

**Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:**

The Preliminary Plat submitted contains 5 single family residential lots and 1 common area lot (road frontage buffer). The lots will have access and frontage from a private street. The residential lots range in size from 29,194 square feet to 74,117 square feet. The private street will be built to ACHD, City of Star and Star Fire District standards. The submitted preliminary plat is showing a 30 ft width within a 30 ft easement with no sidewalks. The Fire District shall approve this width as it is below the standards in the UDC. Due to the rural nature of the development and because a maximum of 5 lots will be accessing the private street, Staff is supportive of the reduced width and elimination of sidewalks but will recommend that ribbon curb be required at the edges of the street to prevent continued destruction from vehicles. A private street maintenance plan, including proposed funding, shall also be required by Staff prior to final plat signature. Street name must be obtained by the Ada County Street Naming Committee prior to

signature of the final plat. The applicant is also requesting, through the submitted preliminary plat, to waive the requirement for 15% open space. Because of the low density proposed, staff is supportive of this request, as is allowed for by Code.

**Staff Analysis of Final Plat Submittal:**

Setbacks – The applicant has not been approved for any special setbacks and the development will comply with the standard setbacks of the R-1 zones as follows:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front	Rear	Interior Side	Street Side
R-1	35'	20'	20'	10'	20'

Mailbox Cluster – Applicant has provided documentation from the Star Postmaster depicting the approved location for the mailbox cluster.

Street Names – **The street name designated on the Final Plat is not the name approved by Ada County. The mylar will need to be updated and the street name reflected accurately prior to signature.**

Subdivision Name – The subdivision name has been approved by Ada County. Supporting documentation provided with the application packet.

**PUBLIC NOTIFICATIONS**

Notifications of this application were sent to agencies having jurisdiction on September 20, 2024.

ITD	October 10, 2024 (from September 1, 2020 memo)
DEQ	October 3, 2024

**UNIFIED DEVELOPMENT CODE REQUIREMENTS**

On May 30, 2024, Council approved the updated Unified Development Code for the City of Star. The following residential design standards have been adopted and will be enforced at building permit, as applicable. The applicant is hereby noticed of these revisions.



**8-3B-3: RESIDENTIAL DISTRICTS: ADDITIONAL RESIDENTIAL DISTRICT STANDARDS**

J. Additional residential standards applying to all new residential subdivisions:

- 1. Residential Elevations:
  - i. Building elevations for all residential uses shall be submitted with any development application and will be included as part of any preliminary plat, development agreement and/or any other condition of approval.
  - ii. Single-Family Residential Building Front and Side Elevation Minimum Standards. These standards shall be reviewed for compliance with all submitted residential building permits under the Building Zoning Certificate process. Council may adopt these standards as part of a development agreement or preliminary plat approval. The following minimum standards shall be applied to all new residential structure elements in all zones:
    - 1. Exterior finishes shall be primarily horizontal/vertical wood or wood product siding, brick, stucco, stone, or other decorative masonry product. **A minimum of three (3) architectural elements shall be provided for all single-family residential structures.** These elements shall include, but are not limited to, shingled, horizontal or vertical siding, stone or brick highlights, garage door windows or hardware, colored window frames, or other architectural treatments deemed appropriate by the administrator.

**8-3B-3 - FIGURE EXTERIOR ARCHITECTURAL ELEMENTS:**



2. Two-story detached structures should provide a minimum of one, second story side window per side elevation, when appropriate.
  3. A minimum one (1) foot overhang shall be provided on all roof overhangs. Administrator may approve deviation from this standard.
  4. Dwellings backing up to collector or arterial streets shall have rear elevations and/or architectural designs that provide depth and dimension, avoiding the flat-wall appearance. These elements must be functional and may not be minimized or created solely for the purpose of compliance with this provision.
  5. Additional landscaping buffers may also be required.
2. Dwelling Unit Design. Building styles shall be spread throughout the entire development (including all contiguously owned and phased properties). Nowhere within the development shall any fewer than 5 different exterior elevation styles and/or floorplans be located adjacent to each other. The number of different dwelling styles within a development shall be as follows:
    - a. 1 to 50 units = minimum of 5 architectural styles and/or floorplans
    - b. 51 to 100 units = minimum of 7 architectural styles and/or floorplans
    - c. 101 and over units = minimum of 10 architectural styles and/or floorplans
  3. Homeowners Associations. All subdivisions shall be maintained by a Homeowners association with appropriate Conditions, Covenants and Restrictions (CC&R's). CC&R's are not enforceable by the City and are private contracts between the developer and the property owner.
  4. Irrigation and drainage ditches shall not be covered, tiled or re-routed as part of any new residential development unless specifically approved by Council and the applicable irrigation and/or drainage district. Perforated piping may be considered as an option if tiling is allowed.

#### **8-4A-21: MAILBOXES:**

All mailbox clusters shall be approved by the postmaster prior to installation. All clusters shall be covered with an architecturally designed cover, to be approved by the Administrator prior to final plat signature. All covers shall be provided with lighting and shall be stained/painted and kept in good condition at all times. The administrator may issue a letter

of violation to the HOA when any mailbox cluster or cover falls into disrepair. Maintenance shall be included in the CC&R's. A turnout shall be installed adjacent to the mailbox cluster to provide community access, if approved by the transportation authority and postmaster. The design shall be included as part of the preliminary plat submittal.



## FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

- A. The Plat is in conformance with the Comprehensive Plan.  
*The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.*
- B. Public services are available or can be made available and are adequate to accommodate the proposed development.  
*Staff finds that all public services are available and able to accommodate this development.*
- C. There is public financial capability of supporting services for the proposed development.  
*Staff knows of no financial hardship that would prevent services from being provided.*
- D. The development will not be detrimental to the public health, safety or general welfare; and,  
*Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.*
- E. The development preserves significant natural, scenic or historic features.  
*Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.*

## CONDITIONS OF APPROVAL

1. The approved Final Plat for Setting Sun Ranch Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **Per the Development Agreement and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the city \$554 per buildable lot, within each phase prior to signature on the final plat for the applicable phase, capped at \$2,770. There is only 1 Phase, so the full \$2,770 is to be paid before signing the final plat.**
3. **Applicant will plant trees along Brandon Road every 35 feet per the Unified Development Code.**
4. **Applicant will install one (1) streetlight at the intersection of Brandon Road and the private street.**
5. **Applicant will install lighting in the development so as to light the private street for safety issues and shall comply will all Dark Sky provisions. Applicant/Owner shall submit a streetlight plan/design prior to Final Plat approval. Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative and shall be of the same design throughout the entire property.**
6. **The private street shall have a minimum street width of 30' and shall otherwise be constructed to ACHD standards. The private street shall meet all requirements of the Star Fire District.**
7. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC.**
8. **The Private Street name shall be approved by the Ada County Street Naming Committee and reflected accurately on the final plat prior to signing the mylar.**
9. **The applicant shall comply with the Residential Standards for all new houses, as required in Section 8-3B-3 of the UDC.**
10. **The mailbox cluster must be covered and reasonably lit, as required in Section 8-4A-21 of the UDC.**
11. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
12. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the

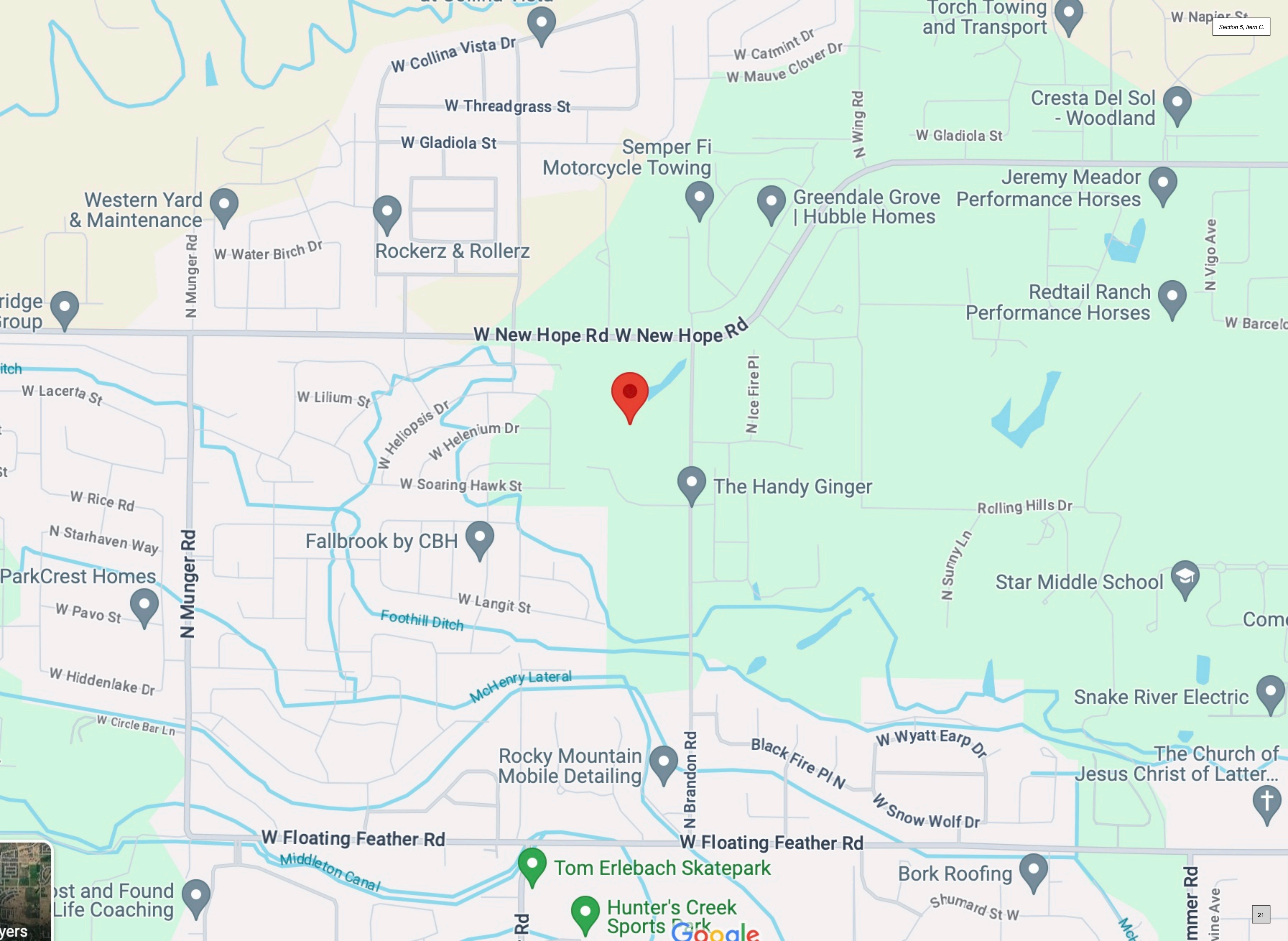
above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.

13. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
14. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
15. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
16. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
17. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
18. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
19. A separate sign application is required for any subdivision sign.
20. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior to signature of the final plat.**
21. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
22. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
23. All common areas shall be maintained by the Homeowners Association.
24. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
25. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
26. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
27. Any additional Condition of Approval as required by Staff and City Council.

**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File # FP-24-09 Setting Sun Ranch Subdivision Final Plat,  
on \_\_\_\_\_, 2024.





Section 5, Item C.

21





# FINAL PLAT APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: <u>FP-24-09</u>
Date Application Received: <u>09/06/2024</u> Fee Paid: <u>\$2350.00</u>
Processed by: City: _____

## Applicant Information:

**PRIMARY CONTACT IS:** Applicant  Owner  Representative

Applicant Name: Marmillion Development  
 Applicant Address: 516 S Capitol Blvd Zip: 83702  
 Phone: (208) 703-0758 Email: Davidm@liveinboise.com

Owner Name: CHJL LLC  
 Owner Address: 6267 Joplin Rd Zip: 83687  
 Phone: (208) 891-1212 Email: Landon@pestshare.com

Representative (e.g., architect, engineer, developer):  
 Contact: David Marmillion Firm Name: Marmillion Development  
 Address: 516 S Capitol Blvd Zip: 83702  
 Phone: (208) 703-0758 Email: Davidm@liveinboise.com

## Property Information:

2645 N Brandon Rd

Subdivision Name: Setting Sun Phase: 1

Parcel Number(s): R7626730100

Approved Zoning: R-1 Units per acre: 1

Total acreage of phase: 5 Total number of lots: 5

Residential: 5 Commercial: 0 Industrial: 0

Common lots: 1 Total acreage of common lots: >.03 Percentage: 10

Percent of common space to be used for drainage: >.02 Acres: N/A

Special Flood Hazard Area: total acreage <.02 number of homes 5

Changes from approved preliminary plat pertaining to this phase:

	Preliminary Plat	Final Plat
Number of Residential Lots:	<u>5</u>	<u>5</u>
Number of Common Lots:	<u>1</u>	<u>1</u>
Number of Commercial Lots:	<u>0</u>	<u>0</u>
Roads:	<u>1</u>	<u>1</u>

Amenities: N/A

**Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance):**

Subdivision Name: Setting Sun Phase: 1

Special Flood Hazard Area: total acreage 0 number of homes 5

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16001C0130J  
 FIRM effective date(s): mm/dd/year 06/19/202  
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone AE  
 Base Flood Elevation(s): AE0.0 ft., etc.: 1%
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

**Application Requirements:**

*(Applications are required to contain one copy of the following unless otherwise noted.)*

Applicant (√)	Description	Staff (√)
	Completed and signed copy of Final Plat Application	BN
X	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
X	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> <li>• Gross density of the phase of the Final Plat submitted</li> <li>• Lot range and average lot size of phase</li> <li>• Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities</li> <li>• List any specific approved building setbacks previously approved by Council.</li> </ul>	BN
X	Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)	BN
x	Electronic copy of current recorded warranty deed for the subject property	BN
X	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.	BN
x	Electronic copy of subdivision name approval from Ada County Surveyor's office.	BN
X	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming	BN
x	Electronic copy of vicinity map showing the location of the subject property	BN
	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	BN
	One (1) 11" X 17" paper copy of the Final Plat	BN
x	Electronic copy of the Final landscape plan**	BN

x	One (1) 11" X 17" copy of the Final landscape plan	Section 5, Item C. BN BN
x	Electronic copy of site grading & drainage plans**	
x	Electronic copy of originally approved Preliminary Plat**	BN
x	Electronic copy of a Plat with all phases marked with changes, if applicable**	
X	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	BN
X	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	
x	Electronic copy of streetlight <b>design</b> and <b>location</b> information	
x	Special Flood Information – Must be included on Preliminary/Final Plat and Application form.	BN
x	Electronic copy of all easement agreements submitted to the irrigation companies	
x	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	BN
X	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.</u>	BN
	<p><b>Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance:</b></p> <ul style="list-style-type: none"> <li>• One (1) 11" X 17" and (1) 18" X 24" <b>recorded</b> copy of Final Plat</li> <li>• Electronic copy of final, approved construction drawings</li> <li>• Electronic copy of as-built irrigation plans</li> <li>• Electronic copy of recorded CC&amp;R's</li> <li>• Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign</li> <li>• Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please.</li> </ul>	
	**NOTE: No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid.	

**FEE REQUIREMENT:**

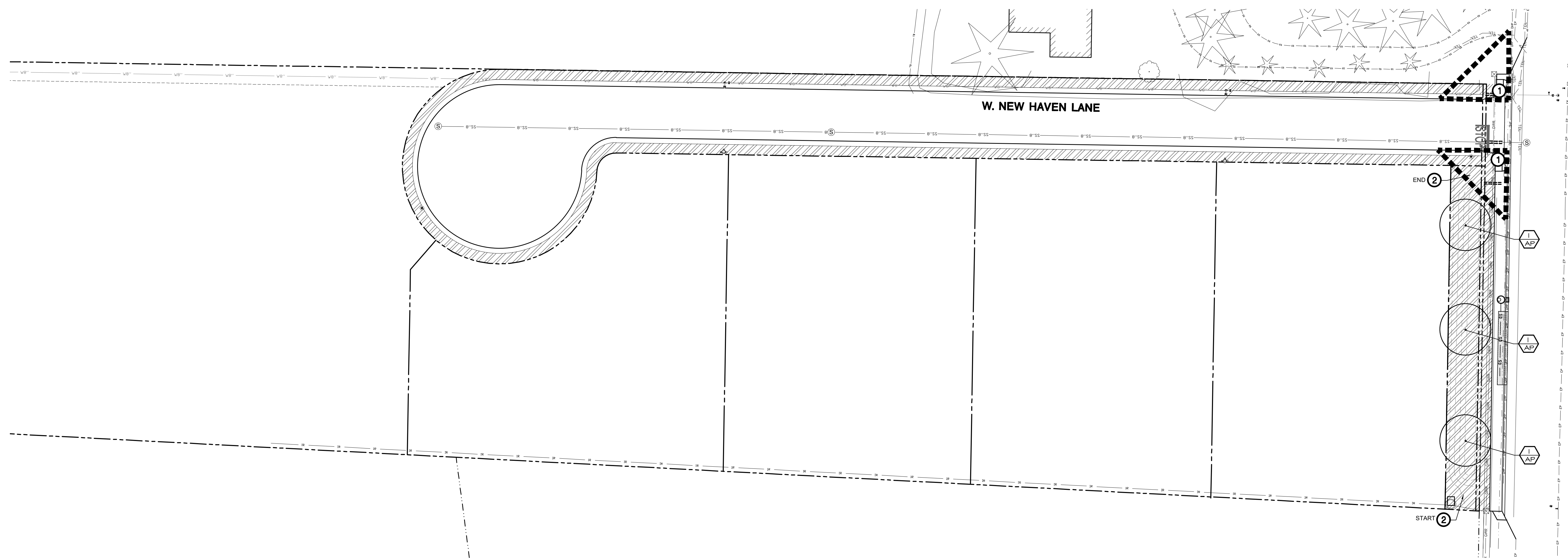
*\*\* I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*

\_\_\_\_\_  
Applicant/Representative Signature

08/22/2024

\_\_\_\_\_  
Date



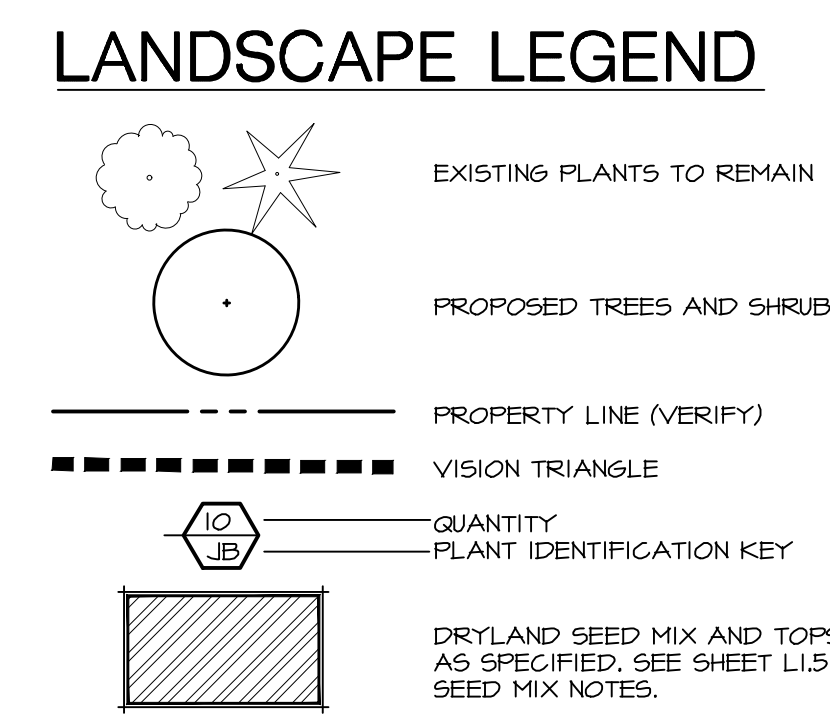


### LANDSCAPE PLAN

SCALE: 1" = 30'-0"

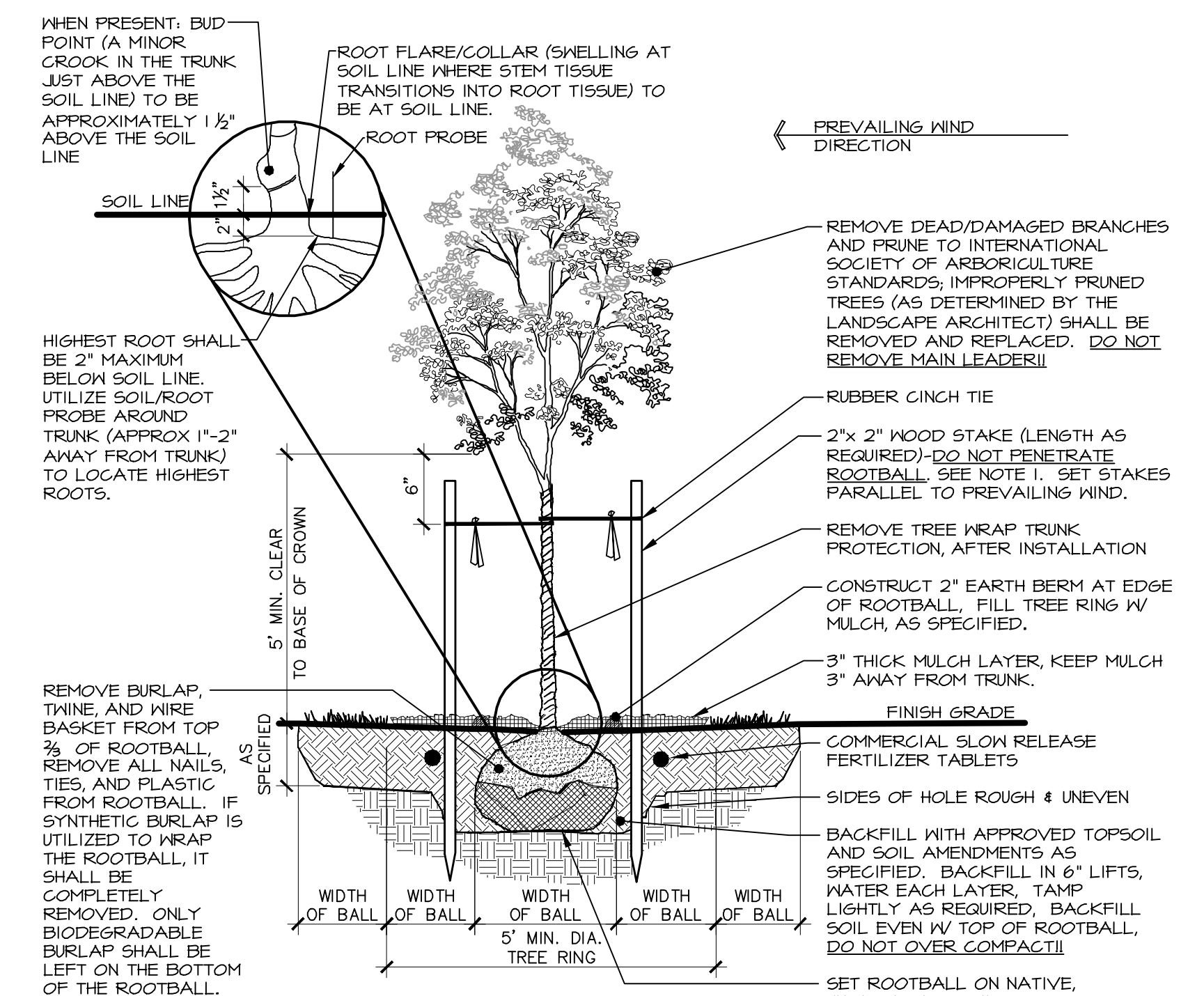
#### PLANT SCHEDULE

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	CLASS
<b>DECIDUOUS SHADE TREES</b>						
3	AP	<i>Acer platanoides</i> 'Deborah'	Deborah Norway Maple	2" CAL.	50' X 50' W	II



#### LANDSCAPE NOTES:

- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
- COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
- AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL.
- FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 1" BELOW ADJACENT SURFACES OF SEED AREAS.
- REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST/ ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A HAVE A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
  - A) PROVIDE APPROVED IMPORTED TOPSOIL, OR
  - B) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
- IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
  - A) OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
  - B) REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION. ACIDITY/ALKALINITY RANGE = PH 5.5 TO 7.6.
- IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
- TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL A.C.H.D. STORM DRAIN PIPE, STRUCTURES, OR FACILITIES. TREES SHALL NOT BE PLANTED WITHIN 5'-0" OF AN A.C.H.D. SIDEWALK.
- SEEPAGE BEDS AND OTHER STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.



- #### NOTES:
- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
  - IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
  - LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
  - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
  - FOR TREES LOCATED WITHIN ROADSIDE PLANTERS LESS THAN 8'-0" IN WIDTH, PROVIDE TREE ROOT BARRIER (DEEPROOT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS, CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS.

### 1 DECIDUOUS TREE PLANTING (TYPICAL FOR TREES 3" CALIPER OR LESS) NOT TO SCALE



Civil Engineering  
Landscape Architecture  
Graphic Communication  
Site Planning  
Lighting Design

www.breckonlandscape.com  
Phone: 808-376-9183  
Fax: 208-376-6268  
888 North Government Street  
Coeur d'Alene, Idaho 83814



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HAVEN RANCH SUBDIVISION  
2645 N. BRANDON ROAD  
STAR, IDAHO 83669  
LANDSCAPE PLAN

#### LANDSCAPE REQUIREMENTS

##### STREET BUFFER - BRANDON ROAD

Requirements:	LINEAR FEET	TREES REQ'D	TREES PROVIDED
20' BUFFER (MIN)	250 L.F.	3	31
1 TREE / 35 L.F.			

#### CALLOUT LEGEND

Symbol	Description
1	VISION TRIANGLE.
2	LANDSCAPE BERM. 3:1 SLOPE. SEE SHEET C2.1 FOR BERM GRADING ALONG BRANDON ROAD.

#### REVISIONS

No.	Date	Description
6	02/18/22	AGENCY COMMENTS
7	07/11/22	GRAVITY IRRIG REV
8	09/01/22	GRAVITY IRRIG REV
9	10/21/22	AGENCY COMMENTS

PROJECT NO.: 20086  
DRAWN BY: CS  
CHECKED BY: JB/MW  
DATE: 07/11/21  
SHEET NUMBER: L11

100% CONSTRUCTION DRAWINGS

SA:\projects\2020\20086\_brendon\_read\CAD\Sheets\20086\_L1\_Landscape.dwg plotted by Claire Smarda on Wed, November 16, 2022 at 10:06 AM



1445 N. Orchard St.  
Boise ID 83706 • (208) 373-0550



Brad Little, Governor  
Jess Byrne, Director

October 3, 2024

Shawn L. Nickel  
Planning Director and Zoning Administrator  
Star City Hall  
P.O. Box 130  
Star, Idaho 83669  
[snickel@staridaho.org](mailto:snickel@staridaho.org)

Subject: Setting Sun Ranch Subdivision  
Files No. FP-24-09

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: <https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

**1. AIR QUALITY**

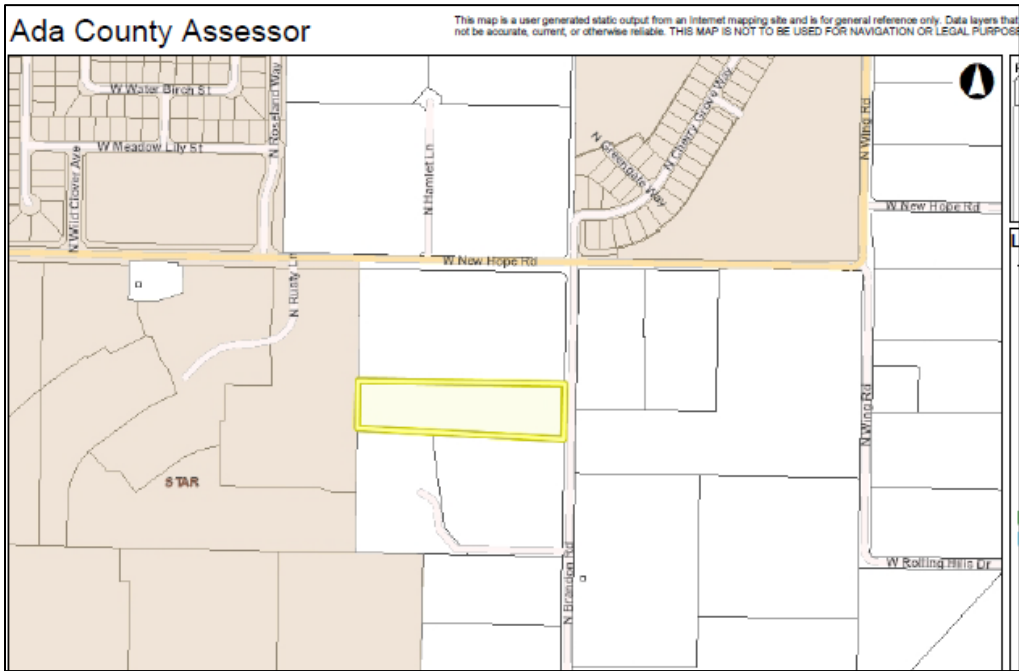
- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), and trade waste burning (58.01.01.600-617).
- For new development projects, all property owners, developers, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.
- DEQ recommends the city/county require the development and submittal of a dust prevention and control plan for all construction projects prior to final plat approval. Dust prevention and control plans incorporate appropriate best management practices to control fugitive dust that may be generated at sites.



# Haven Ranch Subdivision Proportionate Share Contribution 9/1/2020

5 Units  
Single Family Homes  
ITE Code (210) Single Family

AM Trip Rate = 0.74  
PM Trip Rate = 0.99



A trip distribution diagram was not provided to the department. ITD must assume a worst case scenario that all 5 residential units will head east on Beacon Light Road to the SH-16 / Beacon Light Road Intersection. Analysis from the Hormachea Development shows the southbound thru movement on SH-16 fails during the AM Peak starting in 2028. The recommended mitigation is adding a southbound auxiliary lane thru the signalized intersection.

Proportionate share is based on the total AM site trips through the intersection of Beacon Light Road / SH-16 compared to total number of AM trips in 2028.

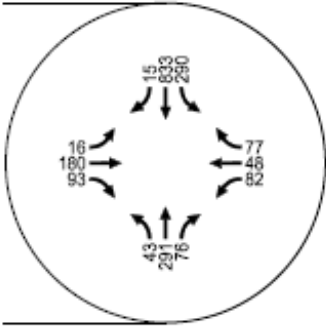
### Site Traffic

#### AM Peak

$$5 \text{ units} \times 0.74 \times 45\% = 4 \text{ trips}$$

**Total Traffic 2028 @ SH-16 / Beacon Light Road**

AM 2028 Total Trips



Total 2028 intersection trips = 2044

$4 \text{ site trips} / 2044 \text{ Total Trips} = 0.20\%$

ITD estimates the cost of design, construction and R/W for the southbound auxiliary lane on SH-16 through the Beacon Light intersection to be approximately \$1,385,000.

Proportionate share contribution of 0.20% is \$2,770.

- Citizen complaints received by DEQ regarding fugitive dust from development and construction activities approved by cities or counties will be referred to the city/county to address under their ordinances.
- IDAPA 58.01.01.600-617, the open burning of any construction waste is prohibited. The property owner, developer, and their contractor(s) are responsible for ensuring no prohibited open burning occurs during construction.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

## 2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

## 3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.

- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

#### 4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Multi-Sector General Permit from DEQ may be required for facilities that have an allowable discharge of stormwater or authorized non-storm water associated with the primary industrial activity and co-located industrial activity.

For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.

- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at:  
<https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

#### 5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste

generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.

- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho’s Ground Water Quality Rules (IDAPA 58.01.11), which states that “No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method.”

For questions, contact Matthew Pabich, Waste & Remediation Manager, at (208) 373-0550.

**6. ADDITIONAL NOTES**

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff  
Regional Administrator

c:

2021AEK



# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star - Planning & Zoning Department

**MEETING DATE:** **October 15, 2024**

**FILE(S) #:** FP-24-10, Final Plat, Cranefield Subdivision Phase 3

### REQUEST

The Applicant is seeking approval of a Final Plat for Cranefield Subdivision Phase 3, consisting of 62 residential lots and 7 common lots on 15.6 acres. The property is located at 12667 W. State Street in Star, Idaho. Ada County Parcel Number S0418223300.

**APPLICANT:**

Williams Homes  
24911 Avenue Stanford  
Santa Clarita, CA 91355

**OWNER:**

WH Star 203, LLC  
11760 W. Executive Dr., Ste. 120  
Boise, Idaho 83713

**REPRESENTATIVE:**

Tim Nicholson  
Kimley-Horn & Associates  
1100 W. Idaho St., Ste. 210  
Boise, Idaho 83702

### PROPERTY INFORMATION

Land Use Designation - Residential R-4-DA

**Phase 3**

Acres -	15.60 acres
Residential Lots -	<b>62</b>
Attached -	0
Detached -	62
Common Lots -	7
Commercial Lots -	0

**HISTORY**

- June 1, 2021 Council approved applications for Rezone (RZ-21-02), Preliminary Plat (PP-21-05), Private Road (PR-21-04) and Development Agreement (DA-21-04) for Cranefield Subdivision. The preliminary plat was approved for 137 detached single family residential lots and 66 attached single family residential lots and 12 common lots on 50.56 acres with a density of 4.0 dwelling units per acre.
  
- June 28, 2021 The Council received a request for reconsideration from Pinewood Lakes Community Association on June 28, 2021. On August 3, 2021, the Council granted the request for reconsideration and directed the Staff to provide revised Findings of Fact, conclusions of Law that address specific claims made by the Petitioner of the reconsideration request regarding the deficiencies in the record as it relates to Sections 8-1B-1C and 8-6A-7 of the Star Unified Development Code.
  
- May 2, 2023 The Council approved applications for the Final Plat of Cranefield Subdivision Phase 1 (FP-23-03). Phase 1 included 73 single family residential lots and 5 common lots on 10.66 acres. The residential lots consist of 66 attached and 7 detached units.
  
- October 17, 2023 The Council approved applications for the Final Plat of Cranefield Subdivision Phase 2 (FP-23-14). Phase 2 included 68 single family residential lots and 7 common lots on 24.28 acres. The residential lots in Phase 2 are all detached.

**GENERAL DISCUSSION**

The Final Plat layout for Cranefield Subdivision, Phase 3 generally complies with the approved Preliminary Plat. After Phase 3, there will be a total of 66 attached lots platted, leaving 0 attached residential lots for future phases and 137 detached lots platted, leaving 0 detached residential lots for future phases of the development. The preliminary plat was approved with a total of 203 residential lots (66 attached and 137 detached).

**Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:**

The Preliminary Plat submitted contains 203 single family residential lots, and 12 common area lots for a total of 215 total lots. The residential lots will include 137 detached single-family dwellings and 66 attached single-family townhomes. Lots range in size from 1,545 square feet (attached townhomes) to 25,586 square feet with the average lot size of 6,281.58 square feet. The street system within the development will be both public and private. Proposed local public streets and private streets measure 36 ft from back of curb to back of curb on the submitted

preliminary plat which meets the minimum City width requirement of the UDC. The private alleyways within the townhome section of the development will measure 24 feet in width. The Star Fire District has approved the width of the alleyways.

The applicant has indicated on the preliminary plat that the development will contain a total of 13.53 acres (26.8%) of open space with the majority being usable open space (over 15%). This exceeds the minimum requirements for total and usable open space in the current Unified Development Code, Section 8-4E-2. Amenities proposed include a community pool with on-site restroom and changing rooms, a tot lot, an open space park with picnic area, a public pathway along the Lawrence-Kennedy Lateral that will connect to the east and west, and a pond with a fishing dock.

The development has two current access points, including access to the east at W. Bridger Bay Drive (Pinewood Lakes Subdivision), and north at S. Quincannon Avenue (Stonecrest Subdivision). In addition, two stub streets to the west are included for future connection to S. Can Ada Road extension and a future planned collector road to the west.

**ADDITIONAL DEVELOPMENT FEATURES:**

- Sidewalks  
Sidewalks are proposed at five-foot (5') widths and will be detached throughout the subdivision with 8-foot landscape strips.
  
- Streetlights  
A streetlight location plan and design sample has been submitted by the applicant. Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a concept design for the streetlights that meet the intent of this criteria. The streetlight location plan submitted satisfies the code by having a light at all intersections.
  
- Pathways  
The development contains several internal pathways throughout the development linking open space and amenities to the residents. City policy requires all pathways to be improved with a concrete or asphalt surface. The City has also been working towards public pathway connections along canals and other waterways with the individual irrigation districts. The applicant has included a pathway along the Lawrence-Kennedy lateral that will connect the proposed community to the east and eventually the north and west. The applicant shall provide a public easement for this pathway.



- Subdivision and Street Names

The Applicant has provided approval from Ada County for the proposed street names. The names are reflected correctly on the submitted final plat. The subdivision name has been approved by the County Surveyor.

- Landscaping

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. The submitted landscape plan meets this requirement. Section 8-8C-2 also requires that common areas have a minimum of one deciduous share tree per four thousand (4,000) square feet. The submitted landscape plan appears to satisfy this requirement.

- Floodplain

The property is located within a Special Flood Hazard Area. The applicant shall submit an application Permit to Develop in an Area of Special Flood Hazard to the City Engineer for review and approval.

- Block Length Waiver

Many of the block lengths in the proposed subdivision exceed the 750' maximum block length requirement. Given the physical constraints of the property, including the locations of existing stub street from the east and north, along with the unique, circuitous layout of the street system and use of private streets, Staff is supportive of a waiver to the block lengths in this development. The applicant should work with the Highway District with regards to traffic calming technics, if necessary.

- Phasing Plan

The applicant has submitted a phasing plan for this development.

- Setback Waiver

The applicant has requested the following setbacks through the Development Agreement for the attached single-family dwellings:

- **Zero (0') setback for interior lot lines, and**
- **3-foot rear setback from garage to alley.**
- **14-foot corner side yards from back of sidewalk.**
- **14-foot front yards from back of sidewalk.**
- **15 feet minimum between buildings.**

**Staff analysis of Final Plat Submittal:**

**Lot Layout** – The gross density of Phase 3 is 3.97 du/acre.

**Common/Open Space and Amenities** – Proposed in Phase 3:

- Passive open space along the Lawerance Kennedy Canal
- Connecting walking paths

**Mailbox Clusters** – The Star Postmaster, Mel Norton has approved the mailbox clusters for this development to be placed on the south side of Hwy 44, between N. Can Ada Road and S. Highbrook Way, which appears to be on the southeast corner of Block 4, Lot 31 of Phase 1. The Postmaster’s letter of approval was included in the application material. **All mailbox clusters shall be provided with architectural covers and be internally lit. The applicant shall submit a design to Staff for review and approval prior to installation.**

**Streetlights** –A Streetlight design has been provided with the final plat application and the proposed light style and type meet Dark Sky requirements and comply with the City Code. A streetlight plan was also included in the final plat application. Staff is supportive of the location of streetlights in this phase.

**Street Names** – Letter or approval of street names from Ada County was included in the application packet and are reflected accordingly on the submitted final plat.

**Sidewalks** – Sidewalks are proposed to be 5 foot wide and detached throughout the development with eight foot (8') wide landscape strips.

**Landscaping** - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use “Treasure Valley Tree Selection Guide”, as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements.**

**Council added to the Preliminary Plat application approval and Development Agreement the following conditions of approval to their decision to approve the applications to include the following:**

- Match rear lot widths of Lots 2-9, Block 6\* of the approved Preliminary Plat with rear lot lines of the adjacent Pinewood Lakes Subdivision to the east. This may result in the removal of one (1) lot.
- Match rear lot lines of Lots 11-24, Block 6\* of the approved Preliminary Plat with rear lot lines of the adjacent rectangular lots in Pinewood Lakes Subdivision to the east and utilize those lot widths adjacent to the pie shaped lots. This may result in the removal of one (1) or more lots.

- Construction traffic shall be directed north to W. State Street via the Stonecrest Subdivision access. No heavy equipment shall be transported to or from the construction site through adjacent subdivisions during normal school bus pick-up or drop-off hours.
- Twenty Foot (20') rear yard setbacks (R-2 standard) shall only be allowed on all lots along the eastern boundary of the development, south of the Lawrence Kennedy Canal (Lots 11-24, Block 6\* of the approved Preliminary Plat).
- Single-story homes shall be required where abutting existing single-story homes in Pinewood Lakes Subdivision along the eastern boundary of the development, south of the Lawrence Kennedy Canal (Lots 11-24, Block 6\* of the approved Preliminary Plat).
- Parking spaces shall be provided for the pool for guest parking. This shall be illustrated in the revised landscape plan.
- A Conditional Letter of Map Revision (CLOMR) shall be required prior to any construction on the property.
- **A six-foot (6') vinyl fence shall be constructed along the entire western boundary of the subdivision adjacent to the existing agricultural use to the west. A gate shall be required at the northern stub street to the west unless an emergency or secondary access connection is not obtained, at which point the fencing shall be solid at the stub.**
- The developer shall extend the right of way of the future extension of Bridger Bay Drive to the north boundary of the subdivision at the 3-way intersection in the northwest corner of the development in order to accommodate a potential four-way intersection and future northern roadway extension. If a connection to the north is not approved within one year of the approval date of Cranefield Subdivision, this condition shall not apply.
- Rear fences of lots, where fencing currently does not exist, abutting Pinewood Lakes Subdivision south of the Lawrence-Kennedy Lateral shall have wrought iron style fencing installed by the developer.
- The applicant shall dedicate a public access easement for the pathway along the Lawrence-Kennedy Lateral to the City for public use.
- The Council hereby allows, through the Development Agreement process, waivers to the 750' maximum block length and the allowance of attached single-family dwellings in the R-4 zoning district.
- The Council hereby allows the following setback waivers for the attached single-family dwellings:
  - Zero (0') setback for interior lot lines, and
  - 3-foot rear setback from garage to alley.
  - 14-foot corner side yards from back of sidewalk.
  - 14-foot front yards from back of sidewalk.
  - 15 feet minimum between buildings.

\*Lot numbers subject to change with revised Preliminary Plat

**STAFF COMMENT:**

**The submitted Final Plat for Phase 3 includes flag lots on Lots 74, 82, 83, and 106, Block 2. This layout does not match the approved Preliminary Plat and Star Unified Development Code, as flag lots are not permitted unless specifically approved by the Fire District. This same issue happened in Phase 2 of the development. Staff is requiring the same conditions be placed on Phase 3 per the Star Fire District requirements as outlined in the attached review letter for Phase 3. Per the letter issued by Star Fire dated October 9, 2024, the future homes on these four flag lots shall be required to install fire sprinklers in accordance with Fire District requirements. In addition, the driveways located on these flag lots shall be separated from each other using landscape strips, as common driveways are not permitted, per the UDC. This will be a condition of approval.**

**PUBLIC NOTIFICATIONS**

Notifications of this application were sent to agencies having jurisdiction on September 20, 2024. The following agencies responded:

Star Fire District                      October 9, 2024

**UNIFIED DEVELOPMENT CODE REQUIREMENTS**

On May 30, 2024, Council approved the updated Unified Development Code for the City of Star. The following residential design standards have been adopted and will be enforced at building permit, as applicable. The applicant is hereby noticed of these revisions.

**8-3B-3: RESIDENTIAL DISTRICTS: ADDITIONAL RESIDENTIAL DISTRICT STANDARDS**

J. Additional residential standards applying to all new residential subdivisions:

1. Residential Elevations:
  - i. Building elevations for all residential uses shall be submitted with any development application and will be included as part of any preliminary plat, development agreement and/or any other condition of approval.
  - ii. Single-Family Residential Building Front and Side Elevation Minimum Standards. These standards shall be reviewed for compliance with all submitted residential building permits under the Building Zoning Certificate process. Council may adopt these standards as part of a development agreement or preliminary plat approval. The following minimum standards shall be applied to all new residential structure

elements in all zones:

1. Exterior finishes shall be primarily horizontal/vertical wood or wood product siding, brick, stucco, stone, or other decorative masonry product. **A minimum of three (3) architectural elements shall be provided for all single-family residential structures.** These elements shall include, but are not limited to, shingled, horizontal or vertical siding, stone or brick highlights, garage door windows or hardware, colored window frames, or other architectural treatments deemed appropriate by the administrator.

**8-3B-3 - FIGURE EXTERIOR ARCHITECTURAL ELEMENTS:**



2. Two-story detached structures should provide a minimum of one, second story side window per side elevation, when appropriate.
3. A minimum one (1) foot overhang shall be provided on all roof overhangs. Administrator may approve deviation from this standard.
4. **Dwellings backing up to collector or arterial streets shall have rear elevations and/or architectural designs that provide depth and dimension, avoiding the flat-wall appearance. These elements must be functional and may not be minimized or created solely for the purpose of compliance with this provision.**
5. Additional landscaping buffers may also be required.

2. Dwelling Unit Design. Building styles shall be spread throughout the entire development (including all contiguously owned and phased properties). Nowhere within the development shall any fewer than 5 different exterior elevation styles and/or floorplans be located adjacent to each other. The number of different dwelling styles within a development shall be as follows:

- a. 1 to 50 units = minimum of 5 architectural styles and/or floorplans
  - b. 51 to 100 units = minimum of 7 architectural styles and/or floorplans
  - c. 101 and over units = minimum of 10 architectural styles and/or floorplans
3. Homeowners Associations. All subdivisions shall be maintained by a Homeowners association with appropriate Conditions, Covenants and Restrictions (CC&R's). CC&R's are not enforceable by the City and are private contracts between the developer and the property owner.
4. Irrigation and drainage ditches shall not be covered, tiled or re-routed as part of any new residential development unless specifically approved by Council and the applicable irrigation and/or drainage district. Perforated piping may be considered as an option if tiling is allowed.

**8-4A-21: MAILBOXES:**

All mailbox clusters shall be approved by the postmaster prior to installation. All clusters shall be covered with an architecturally designed cover, to be approved by the Administrator prior to final plat signature. All covers shall be provided with lighting and shall be stained/painted and kept in good condition at all times. The administrator may issue a letter of violation to the HOA when any mailbox cluster or cover falls into disrepair. Maintenance shall be included in the CC&R's. A turnout shall be installed adjacent to the mailbox cluster to provide community access, if approved by the transportation authority and postmaster. The design shall be included as part of the preliminary plat submittal.



**FINDINGS**

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find

the following:

A. The Plat is in conformance with the Comprehensive Plan.

*The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.*

B. Public services are available or can be made available and are adequate to accommodate the proposed development.

*Staff finds that all public services are available and able to accommodate this development.*

C. There is public financial capability of supporting services for the proposed development.

*Staff knows of no financial hardship that would prevent services from being provided.*

D. The development will not be detrimental to the public health, safety or general welfare; and,  
*Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.*

E. The development preserves significant natural, scenic or historic features.

*Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.*

#### CONDITIONS OF APPROVAL

1. **Prior to approval of the Final Plat by Council, the applicant shall provide Staff with a letter acknowledging the Star Fire District requirements for Lots 74, 82, 83, and 106, Block 2. This shall include the requirements for fire sprinklers in the future homes on these specific lots in addition to the landscape buffers along the private driveways of each of these lots.**
2. **Per the Development Agreement and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the City approximately \$355 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$72,798.00. The City will allocate funds to roadway improvements in the vicinity of the project. Phase 3 has 62 residential lots for a fee of \$22,010.00 (62 x \$355).**
3. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, prior to signature of the final plat.**
4. **The applicant shall provide a recorded public easement for the pathway located along the Lawrence-Kennedy Lateral prior to signature of the Final Plat.**
5. **The applicant shall submit a revised Preliminary Plat matching rear lot widths of Lots 2-9, Block 6\* of the approved Preliminary Plat with rear lot lines of the adjacent Pinewood Lakes Subdivision to the east and matching rear lot lines of Lots 11-24, Block 6\* of the approved Preliminary Plat with rear lot lines of the adjacent rectangular lots in Pinewood Lakes Subdivision to the east and utilizing those lot**



**widths adjacent to the pie shaped lots. The Preliminary Plat shall also show the right of way of Bridger Bay Drive in the northwest corner of the development at the intersection extending to the north property line for potential future extension to the north. If a connection to the north is not approved within one year of the approval date of Cranefield Subdivision, this condition shall not apply.**

- 6. The applicant shall comply with the Residential Standards for all new houses, as required in Section 8-3B-3 of the UDC.**
- 7. The mailbox cluster must be covered and reasonably lit, as required in Section 8-4A-21 of the UDC.**
8. The approved Preliminary Plat for Cranefield Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
9. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
10. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.
11. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
12. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
13. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
14. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
15. The subsequent Final Plats shall comply with and be in accordance with the current City of Star Code, with the exception of any waivers granted by Council.
16. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
17. A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service.
18. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.



- 19. A separate sign application is required for any subdivision sign.
- 20. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior to signature of the final plat.**
- 21. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 22. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk’s signature.
- 23. A copy of signed irrigation agreements shall be submitted to the City **prior to signature of the final plat.**
- 24. All common areas shall be owned and maintained by the Homeowners Association.
- 25. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 26. A copy of the recorded CC&R’s shall be submitted to the City of Star prior to any building permits being issued.
- 27. Any additional Condition of Approval as required by Staff and City Council.

**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File # FP-24-10 Cranefield Subdivision, Final Plat, Phase 3  
on \_\_\_\_\_, 2024.

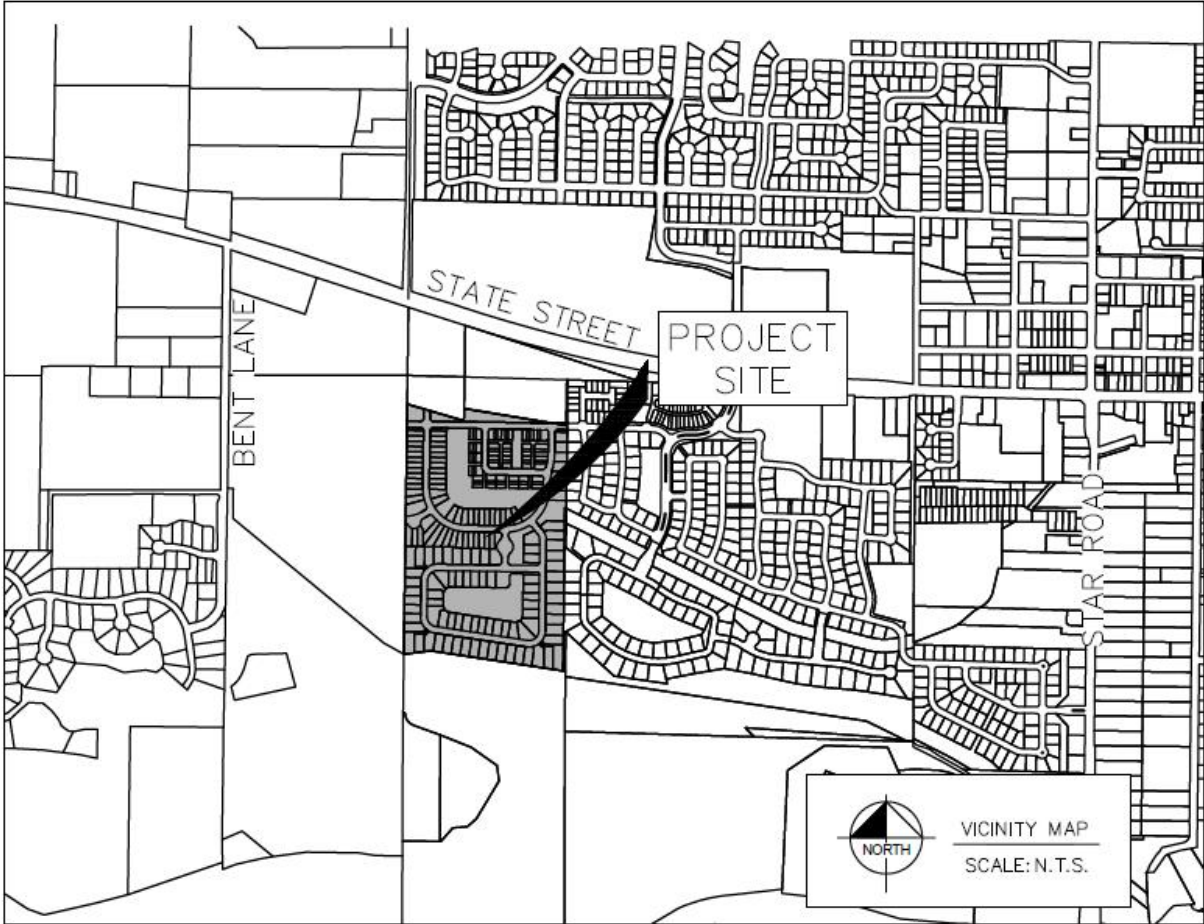


Figure 1: Vicinity Map



September 19, 2024

City of Star  
Planning and Zoning  
P.O. Box 130  
Star, Idaho 83669

**RE: Cranefield Subdivision No. 3**

Dear City of Star Staff,

Attached for your review is the Final Plat application for Cranefield Subdivision No. 3. This plat has been submitted in conformance with the City of Star's Zoning Code and substantial compliance with the approved Preliminary Plat and Conditions of Approval.

Cranefield No. 3 includes 62 single-family detached residential lots and 7 common lots on approximately 15.6 acres. The gross density is 3.98 units per acre. The detached lots vary between two types of lots, one set with lot widths of approximately 40 feet and one set with 60-68' lot widths. Overall, the average lot size is approximately 8,500 SF. The overall open space for phase 3 is approximately 4 acres and includes portions of the Lawrence Kennedy Canal and usable open space areas for residents. Amenities proposed within this phase include passive open space area surrounding the Lawrence Kennedy Canal and the remaining landscape areas will be generously planted.

Construction of Cranefield Subdivision No. 3 will substantially comply the approved preliminary plat. If you have any questions or need additional information, please reach out to me at 208-410-6147 or at [tim.nicholson@kimley-horn.com](mailto:tim.nicholson@kimley-horn.com).

Thanks for your review and assistance with this application,

A handwritten signature in blue ink, appearing to read 'Tim Nicholson'.

Tim Nicholson, P.E.  
Project Engineer



# FINAL PLAT APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: <u>FP-24-10</u>
Date Application Received: <u>9-12-2024</u> Fee Paid: <u>\$2990.00</u>
Processed by: City: <u>BN</u>

## Applicant Information:

**PRIMARY CONTACT IS:** Applicant  Owner  Representative

Applicant Name: WH STAR 203, LLC/Williams Homes (Developer)  
 Applicant Address: 24911 Avenue Stanford, Santa Clarita, CA Zip: 91355  
 Phone: 208-207-9869 Email: pseudner@williamshomes.com

Owner Name: WH Star 203, LLC  
 Owner Address: 24911 Avenue Stanford, Santa Clarita, CA Zip: 91355  
 Phone: 208-207-9869 Email: \_\_\_\_\_

Representative (e.g., architect, engineer, developer):  
 Contact: Tim Nicholson Firm Name: Kimley-Horn & Associates  
 Address: 1100 W. Idaho Street, Suite 210, Boise, Idaho Zip: 83702  
 Phone: 208-410-6147 Email: Tim.Nicholson@kimley-horn.com

## Property Information:

Subdivision Name: Cranefield Subdivision Phase: 3

Parcel Number(s): S0418223400

Approved Zoning: R4 Units per acre: 3.98

Total acreage of phase: 15.6 acres Total number of lots: 69

Residential: 62 Commercial: \_\_\_\_\_ Industrial: \_\_\_\_\_

Common lots: 7 Total acreage of common lots: 3.55 acres Percentage: 22.8%

Percent of common space to be used for drainage: 6.8% Acres: 0.24 acres (underground beds)

Special Flood Hazard Area: total acreage 1.37 acres (Approved CLOMR) number of homes 0

Changes from approved preliminary plat pertaining to this phase:

	Preliminary Plat	Final Plat
Number of Residential Lots:	<u>62</u>	<u>62</u>
Number of Common Lots:	<u>7</u>	<u>7</u>
Number of Commercial Lots:	<u>0</u>	<u>0</u>
Roads:	<u>W. Rosetta Street, W. Bridger Bay Dr, S. Turner Avenue, , W. Meloria Street</u>	<u>W. Rosetta Street, W. Bridger Bay Dr, S. Turner Avenue, , W. Meloria Street</u>

Amenities: \_\_\_\_\_  
 \_\_\_\_\_

**Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance):**

Subdivision Name: Cranefield Subdivision Phase: 3

Special Flood Hazard Area: total acreage 1.37 (Approved CLOMR) number of homes 0

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16001C0125J, 16001C0120J  
 FIRM effective date(s): mm/dd/year 06/19/2020  
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone AE  
 Base Flood Elevation(s): AE \_\_\_\_ .0 ft., etc.: AE 2458.0 ft., AE 2460.0 ft.
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

**Application Requirements:**

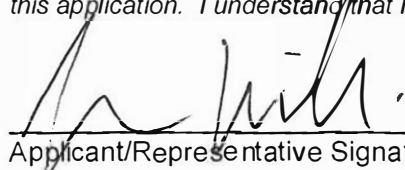
*(Applications are required to contain one copy of the following unless otherwise noted.)*

Applicant (√)	Description	Staff (√)
X	Completed and signed copy of Final Plat Application	BN
	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> <li>• Gross density of the phase of the Final Plat submitted</li> <li>• Lot range and average lot size of phase</li> <li>• Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities</li> <li>• List any specific approved building setbacks previously approved by Council.</li> </ul>	BN
X	Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)	BN
X	Electronic copy of current recorded warranty deed for the subject property	BN
X	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.	BN
X	Electronic copy of subdivision name approval from Ada County Surveyor's office.	BN
X	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming	BN
X	Electronic copy of vicinity map showing the location of the subject property	BN
	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	BN
	One (1) 11" X 17" paper copy of the Final Plat	BN
X	Electronic copy of the Final landscape plan**	BN

X	One (1) 11" X 17" copy of the Final landscape plan	BN
X	Electronic copy of site grading & drainage plans**	BN
X	Electronic copy of originally approved Preliminary Plat**	BN
N/A	Electronic copy of a Plat with all phases marked with changes, if applicable**	
X	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	BN
X	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	BN
X	Electronic copy of streetlight <b>design</b> and <b>location</b> information	BN
X	Special Flood Information – Must be included on Preliminary/Final Plat and Application form.	BN
X	Electronic copy of all easement agreements submitted to the irrigation companies	BN
X	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	BN
X	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.</u>	BN
	<p><b>Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance:</b></p> <ul style="list-style-type: none"> <li>• One (1) 11" X 17" and (1) 18" X 24" <b>recorded</b> copy of Final Plat</li> <li>• Electronic copy of final, approved construction drawings</li> <li>• Electronic copy of as-built irrigation plans</li> <li>• Electronic copy of recorded CC&amp;R's</li> <li>• Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign</li> <li>• Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please.</li> </ul>	
	**NOTE: No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid.	

**FEE REQUIREMENT:**

*\*\* I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by ~~architect~~ engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*

  
 Applicant/Representative Signature

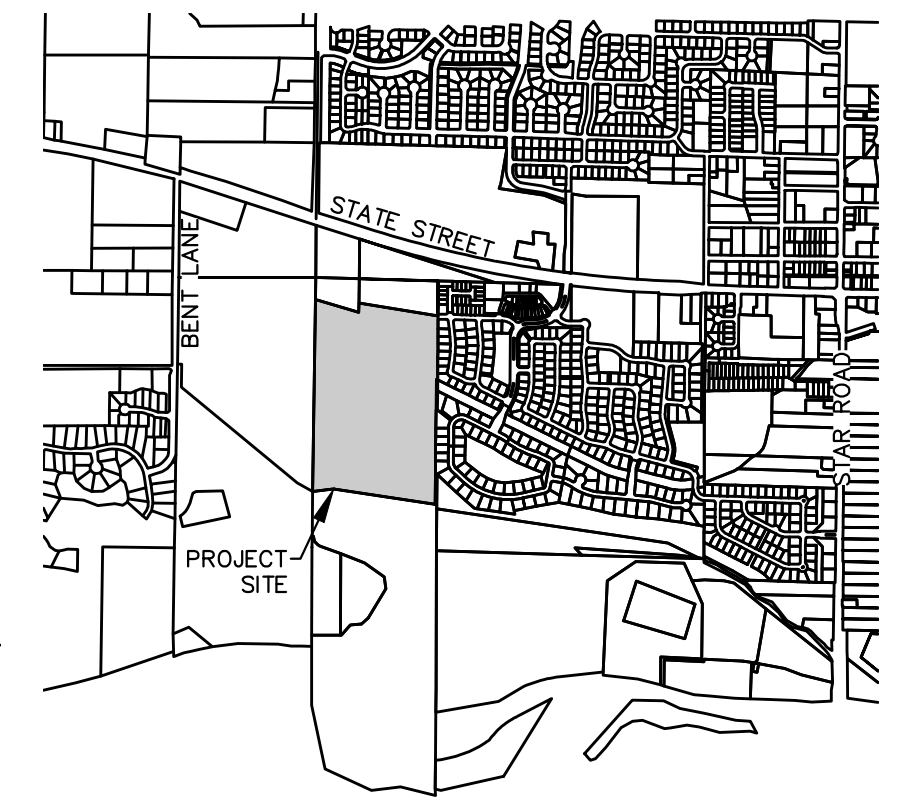
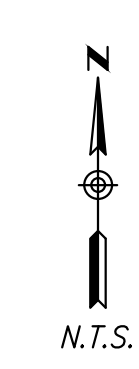
**8/23/2024**

Date



# CRANEFIELD SUBDIVISION PRELIMINARY PLAT

A PORTION OF THE NW 1/4 OF SECTION 18,  
TOWNSHIP 4 NORTH, RANGE 1 WEST  
ADA COUNTY, IDAHO



VICINITY MAP  
N.T.S.

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	PROPOSED CONDITIONS
4	LOT & CURVE DATA
5	PRESSURE IRRIGATION PLAN

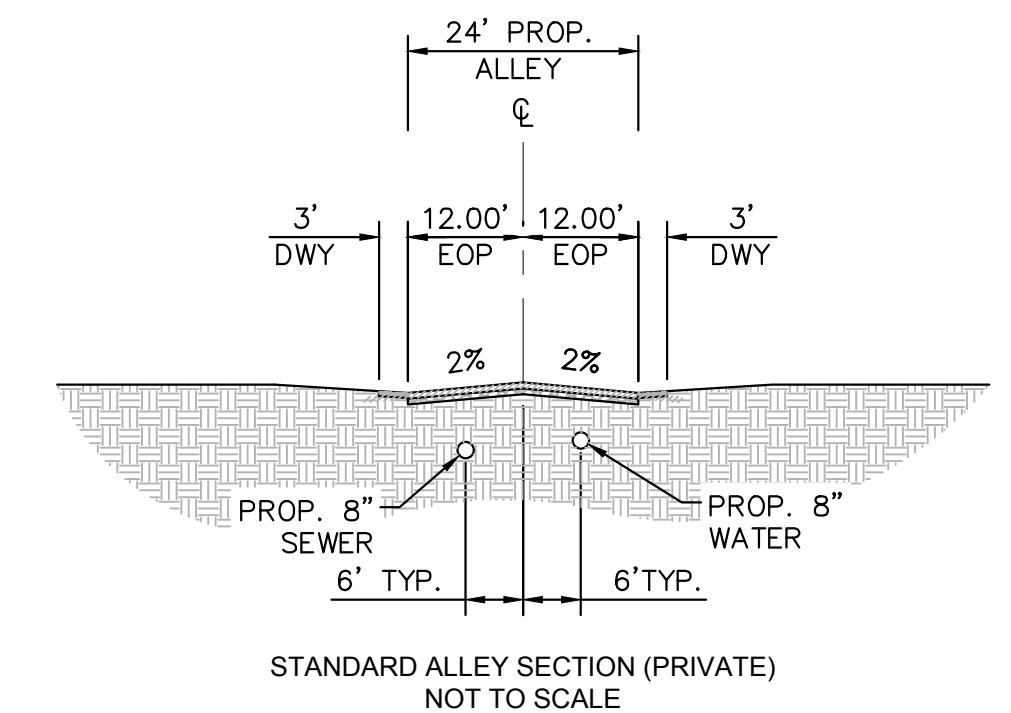
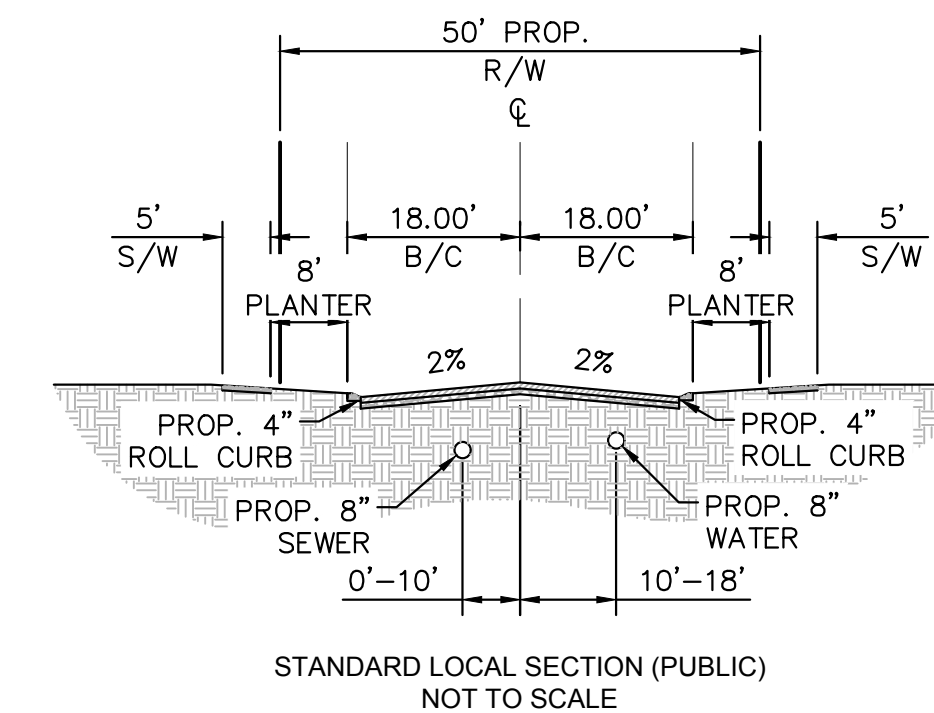
## CRANEFIELD LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHWEST 1/4 OF SECTION 18, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHWEST CORNER OF SECTION 18 FROM WHICH THE WEST 1/4 CORNER OF SAID SECTION 18 BEARS SOUTH 88°25'08" EAST, 2,504.41 FEET; THENCE ON THE WEST BOUNDARY LINE OF SAID SECTION 18, SOUTH 00°47'01" WEST, 215.68 FEET TO THE REAL POINT OF BEGINNING;  
THENCE SOUTH 73°34'03" EAST, 443.75 FEET;  
THENCE NORTH 01°06'57" EAST, 92.00 FEET TO THE SOUTHWEST CORNER OF STONECREST SUBDIVISION NO. 1 AS FILE IN BOOK 119 OF PLATS AT PAGES 18528 THROUGH 18532, RECORDS OF ADA COUNTY, IDAHO;  
THENCE ON THE SOUTHERLY BOUNDARY LINE OF SAID STONECREST SUBDIVISION NO. 1 AND THE EASTERLY EXTENSION THEREOF, SOUTH 80°37'42" EAST, 785.51 FEET TO THE WEST BOUNDARY LINE OF PINWOOD LAKES SUBDIVISION PHASE 1 AS FILE IN BOOK 87 OF PLATS AT PAGES 9974 THROUGH 9976, RECORDS OF ADA COUNTY, IDAHO;  
THENCE ON THE WEST BOUNDARY LINE OF SAID PINWOOD LAKES SUBDIVISION PHASE 1 AND THE WEST BOUNDARY LINE OF PINWOOD LAKES SUBDIVISION PHASE 2 AS FILE IN BOOK 92 OF PLATS AT PAGES 11022 AND 11023, RECORDS OF ADA COUNTY, IDAHO, SOUTH 00°25'33" WEST, 623.85 FEET TO THE SOUTHWEST CORNER OF SAID PINWOOD LAKE SUBDIVISION PHASE 2;  
THENCE LEAVING SAID WEST BOUNDARY LINE, NORTH 63°35'22" WEST, 14.96 FEET;  
THENCE SOUTH 00°34'48" WEST, 1,225.82 FEET;  
THENCE NORTH 81°23'03" WEST, 1,004.95 FEET;  
THENCE SOUTH 82°54'49" WEST, 205.67 FEET TO THE WEST BOUNDARY LINE OF SAID SECTION 18;  
THENCE NORTH 00°47'01" EAST, 1,879.39 FEET TO THE REAL POINT OF BEGINNING.

CONTAINING 2,201,105 SQUARE FEET OR 50.53 ACRES, MORE OR LESS.  
END OF DESCRIPTION.

## PRELIMINARY PLAT NOTES

- CONTOUR AND SPOT ELEVATION DATA IS REFERENCE TO NAVD '88 DATUM.
- THE PUBLIC STREETS IN THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACHD STANDARD FOR PUBLIC STREETS.
- LOT 14 BLOCK 2, LOT 1 BLOCK 4, LOT 37 BLOCK 5, LOTS 1, 10, AND 53 BLOCK 6, LOT 1 BLOCK 7, AND LOTS 18 AND 29 BLOCK 8 ARE COMMON LOTS TO BE OWNED AND MAINTAINED BY THE CRANEFIELD SUBDIVISION HOMEOWNERS ASSOCIATION. THESE LOTS SHALL BE USED FOR HOMEOWNER PEDESTRIAN ACCESS AND LANDSCAPING AND ARE SUBJECT TO A BLANKET EASEMENT ACROSS SAID LOTS FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE.
- STORMWATER RUNOFF GENERATED ON THIS SITE SHALL HAVE A QUALITY CONTROL TREATMENT PRIOR TO BEING CONVEYED TO ONSITE STORAGE FACILITIES.
- PUBLIC UTILITIES SHALL INCLUDE WATER, SEWER, ELECTRIC POWER, NATURAL GAS, TELEPHONE, AND CABLE TELEVISION.
- THIS SUBDIVISION WILL RECEIVE PRESSURE IRRIGATION FROM A PRESSURE IRRIGATION SYSTEM OWNED AND MAINTAINED BY THE HOA.
- DOMESTIC WATER SERVICE AND FIRE PROTECTION SHALL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
- SANITARY SEWER COLLECTION SHALL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
- THIS DEVELOPMENT RECOGNIZES IDAHO CODE SECTION 22-4503, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHENEVER A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
- THE OWNER SHALL COMPLY WITH IDAHO CODE, SECTION 31-3805 OR ITS PROVISIONS THAT MAY APPLY TO IRRIGATION RIGHTS.
- BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH CITY OF STAR CODE UNLESS OTHERWISE MODIFIED BY CONDITIONAL USE PERMIT OR DEVELOPMENT AGREEMENT.
- THE BOTTOM ELEVATION OF BUILDING FOOTINGS SHALL BE SET A MINIMUM OF 12 INCHES ABOVE THE HIGHEST ESTABLISHED NORMAL GROUNDWATER ELEVATION.
- ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE MOST RECENTLY APPROVED SUBDIVISION STANDARDS OF THE CITY OF STAR AT THE TIME OF THE RE-SUBDIVISION.
- ALL LOT LINES COMMON TO PUBLIC STREETS ARE HEREBY DESIGNATED TO HAVE A TEN (10) FOOT PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE, UNLESS OTHERWISE DIMENSIONED.
- FRONT AND REAR YARDS WILL BE SUBJECT TO A 10' EASEMENT AND ALL SIDE YARDS WILL BE SUBJECT TO A 5' EASEMENT FOR DETACHED HOMES, AS NEEDED. ATTACHED UNITS WILL BE SUBJECT TO DIFFERENT FRONT, REAR, AND SIDE YARD EASEMENTS.
- MAINTENANCE OF ANY IRRIGATION AND DRAINAGE PIPES OR DITCHES CROSSING A LOT IS THE RESPONSIBILITY OF THE LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION/DRAINAGE ENTITY.
- RESTRICTIVE COVENANTS WILL BE IN EFFECT FOR THIS SUBDIVISION.



## OWNER/DEVELOPER

WILLIAMS HOMES  
21080 CENTRE POINTE PARKWAY  
SANTA CLARITA, CA 91350  
TELEPHONE: (661) 222-9207  
CONTACT: MIKE BADNER

## CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.  
950 W. BANNOCK STREET, SUITE 1100  
BOISE, IDAHO 83702  
PHONE: (208) 297-2885  
CONTACT: TIM NICHOLSON, PE

## LAND SURVEYOR

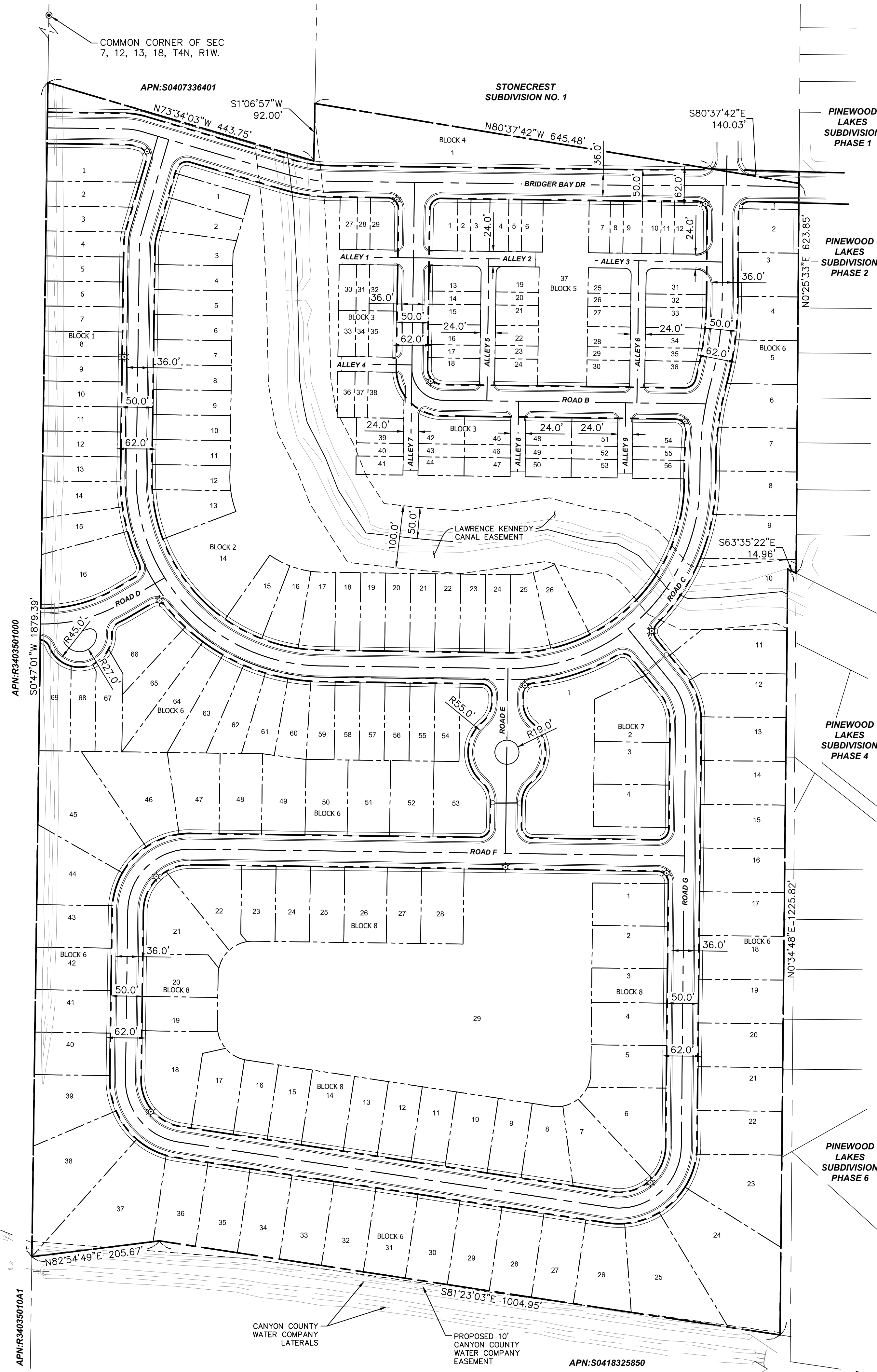
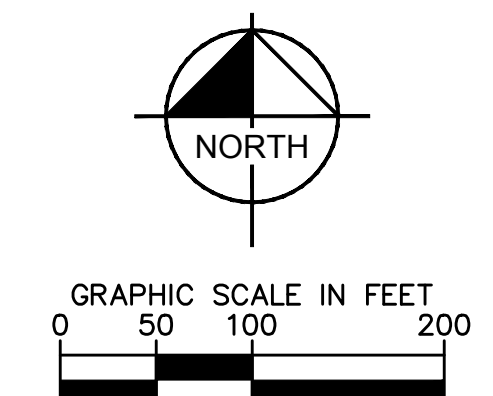
IDAHO SURVEY GROUP  
9955 W. EMERALD ST.  
BOISE, IDAHO 83704  
PHONE: (208) 846-8570  
CONTACT: CODY MCCAMMON, PLS

## LEGEND

	PROPOSED CL/SECTION LINE		PROPOSED FIRE HYDRANT
	PROPOSED SWALE		PROPOSED GATE VALVE
	PROPOSED BOUNDARY		SIDEWALK RAMP
	ROAD RIGHT OF WAY		PROP. STORM DRAIN
	LOT LINE		PROP. CATCH BASIN
	EASEMENT		EXISTING CATCH BASIN
	PROPOSED 8" SEWER		EXISTING SEWER MAIN
	PROPOSED 8" WATER (3' COVER)		EXISTING WATER MAIN
	STORM WATER INFRASTRUCTURE EASEMENT		EXISTING EDGE OF PAVEMENT
	PROPOSED CURB		EXISTING EDGE OF GRAVEL ROAD
	PROPOSED STORM DRAIN MANHOLE		EXISTING FENCE
	PROPOSED CATCH BASIN		EXISTING OVERHEAD POWER
	PROPOSED SEWER MANHOLE		EXISTING GAS LINE

## PRELIMINARY PLAT DATA

EXISTING ZONING: R-3-DA  
PROPOSED ZONING: R-4-DA  
  
GROSS ACREAGE: 50.56 AC  
TOTAL LOTS: 215  
RESIDENTIAL LOTS: 203  
COMMON LOTS: 12  
RESIDENTIAL GROSS DENSITY: 4.0 DU/AC  
TOTAL OPEN SPACE: 13.53 AC (26.8%)  
  
AVERAGE LOT AREA: 5,000 SF  
MINIMUM LOT AREA: 1,449 SF



K:\B0\_Civil\093683000\_Cranefield\CA00\Plan Sheets\PP-CVR.dwg Jun 01, 2021 Tim Nicholson  
XREFS: swh\_xfp\_ktb-pp the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. REUSE OF ANY PART OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

Section 5, Item D.

BY DATE: APP

REVISION

IND

1 OF 5

CRANEFIELD SUBDIVISION  
COVER SHEET  
STAR, IDAHO

SCALE (H): 1"=100'  
SCALE (V): NONE  
DESIGNED BY: TPN  
DRAWN BY: TPN  
CHECKED BY: MFO  
DATE: 06/01/2021

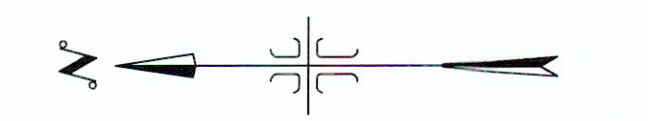
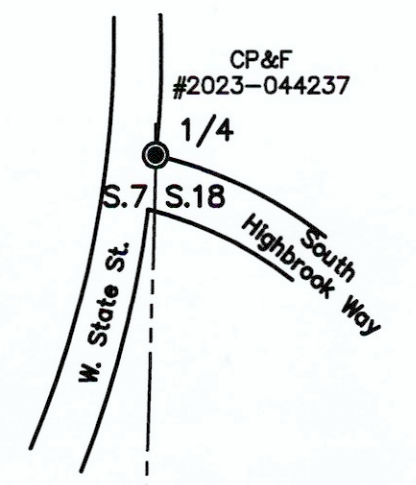
PROFESSIONAL ENGINEER  
REGISTERED  
13312  
06/01/2021  
STATE OF IDAHO  
TIMOTHY P. NICHOLSON

PROJECT NO.  
093683001  
DRAWING NAME  
PP-CVR



# Plat Showing Cranefield Subdivision No. 3

A portion of Government Lots 1 and 2 of Section 18,  
Township 4 North, Range 1 West, Boise Meridian,  
City of Star, Ada County, Idaho.  
2024



Scale: 1" = 100'

Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Length
C1	13.04'	88.00'	8°29'28"	S05°01'45"W	13.03'
C2	20.45'	112.00'	10°27'48"	S04°02'35"W	20.43'
C3	57.89'	112.00'	29°36'57"	S15°59'47"E	57.25'
C4	1.98'	150.00'	0°45'22"	S29°44'59"E	1.98'
C5	72.17'	275.00'	15°02'08"	N22°36'36"W	71.96'
C6	54.10'	325.00'	9°32'18"	S19°51'40"E	54.04'
C7	26.38'	18.00'	83°58'21"	S17°21'21"W	24.08'
C8	14.94'	275.00'	3°06'47"	S60°53'55"W	14.94'
C9	20.38'	18.00'	64°52'17"	S30°01'11"W	19.31'
C10	37.86'	57.00'	38°03'39"	S16°36'52"W	37.17'
C11	86.39'	55.00'	90°00'00"	S45°47'01"W	77.78'
C12	65.30'	55.00'	68°01'14"	S33°13'36"E	61.53'

Line Table		
Line	Bearing	Length
L1	S00°47'01"W	57.13'
L2	S89°12'59"E	25.96'
L3	S00°47'01"W	66.49'
L4	S09°16'29"W	88.79'
L5	S30°48'16"E	29.63'
L6	N43°14'16"E	61.07'
L7	S74°54'28"W	50.00'
L8	S32°40'47"E	50.03'
L9	S59°20'32"W	37.07'
L10	S30°17'09"E	38.78'
L11	S00°47'01"W	80.94'
L12	S81°23'03"E	4.00'
L13	S09°19'50"W	50.00'

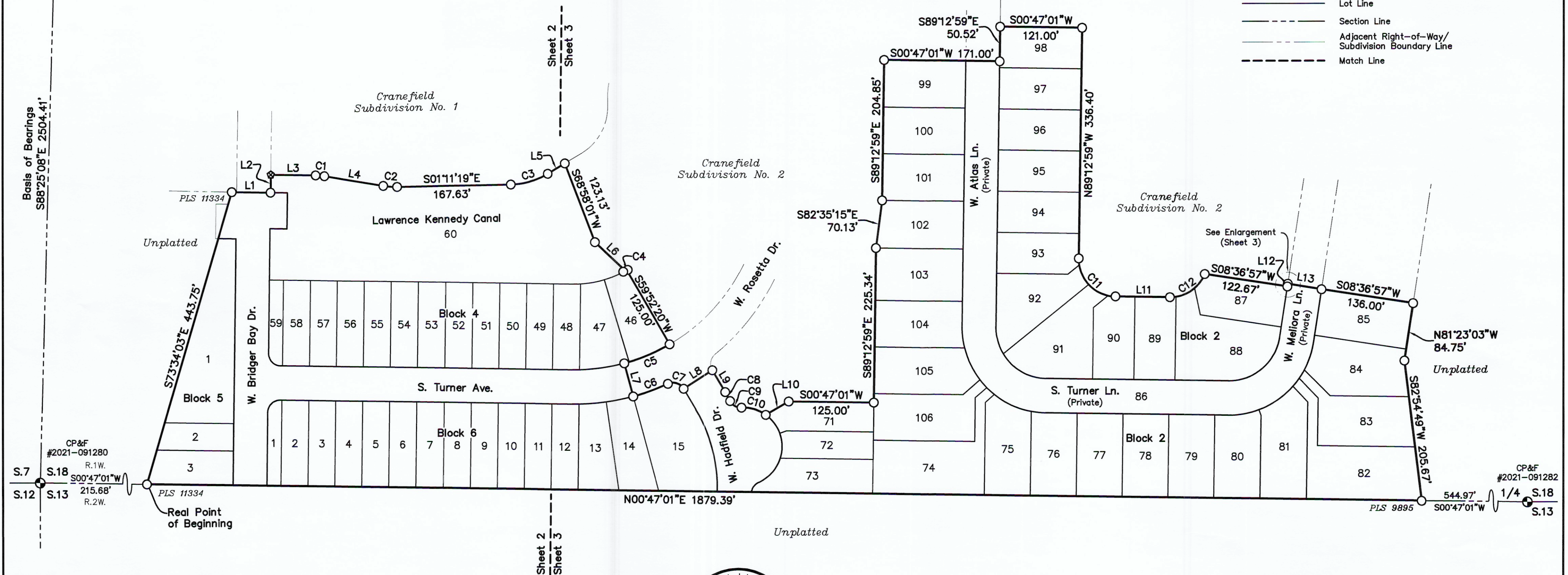
**Surveyors Narrative:**

The purpose of this survey is to subdivide the property shown hereon at the request of the property owner. The property is as conveyed by a Warranty Deed recorded as Instrument No. 2021-146351 and re-recorded as Instrument No. 2021-169149, records of Ada County, Idaho. The property is a portion of parcels as shown on Record of Survey No. 7400 recorded as Instrument No. 106082242, records of Ada County, Idaho. The property is adjacent to Cranefield Subdivision No. 1 as filed in Book 126 of Plats at Pages 20362 through 20367 and Cranefield Subdivision No. 2 as filed in Book 127 of Plats at Pages 20488 through 20493, records of Ada County, Idaho. The monuments found per the above mentioned plat and surveys are in substantial agreement and were held as controlling corners.

The Basis of Bearings used for this project is taken to be South 88°25'08" East between found monuments at the Section corner common to Sections 7 and 18, T.4N., R.1W., and Sections 12 and 13, T.4N., R.2W., B.M. and the 1/4 corner common to said Sections 7 and 18, Ada County, Idaho.

**Legend**

- Found 5/8" Iron Pin, "ISG PLS 11779", unless otherwise noted.
- ⊗ Found 1" Magnetically Detectable Copper Disk Monument, "ISG PLS 11779"
- ⊕ Found Brass Cap Monument, "P.E. 1000"
- ⊙ Found Aluminum Cap Monument, "PLS 13550"
- 1 Lot Number
- Subdivision Boundary Line
- Right of Way Line
- Lot Line
- - - Section Line
- - - Adjacent Right-of-Way/ Subdivision Boundary Line
- - - Match Line



**Reference Documents:**

- Deed Inst. No.'s: 2021-146351, 2021-169149, 2023-063622.
- Ada County R.O.S. No.'s: 567, 1198, 2204, 2940, 3128, 3492, 7400, 9576, 11757, 12963
- Canyon County R.O.S. Inst. No.'s: 1987-005547, 2010-041590, 2016-042405
- Cranefield Sub. No. 1, Bk. 126, Pgs. 20362-20367.
- Cranefield Sub. No. 2, Bk. 127, Pgs. 20488-20493.



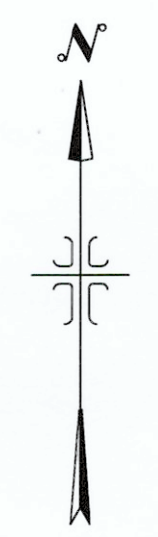
Book \_\_\_\_\_ Page \_\_\_\_\_

**ISG** IDAHO SURVEY GROUP, LLC  
 9939 W. EMERALD ST.  
 BOISE, IDAHO 83704  
 (208) 846-8570  
 WWW.IDAHOSURVEY.COM

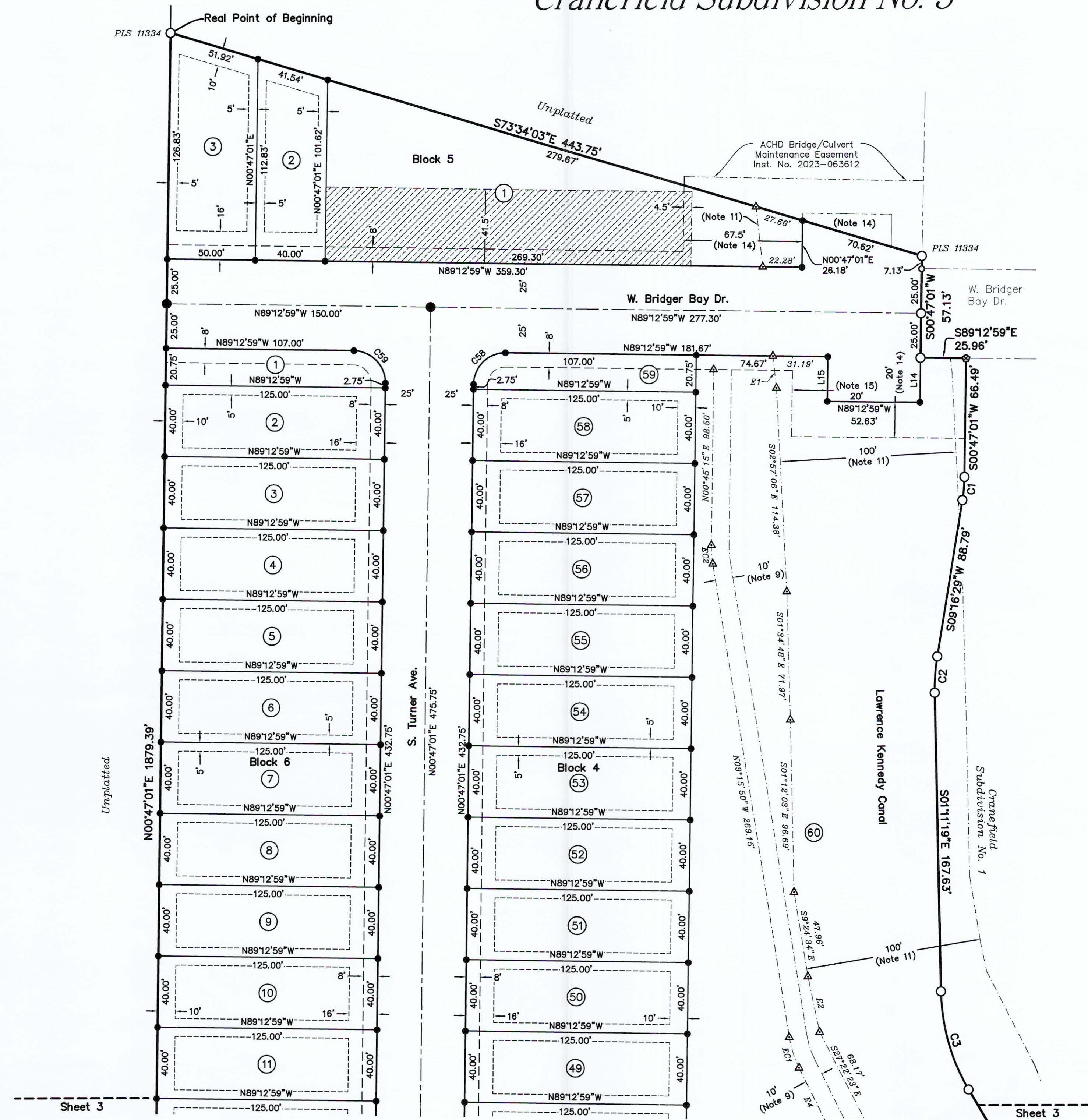
Job No. 22-203  
 Sheet 1 of 6



# Cranefield Subdivision No. 3



Scale: 1" = 40'



### Legend

- Found 5/8" Iron Pin, "ISG PLS 11779", unless otherwise noted.
- ⊗ Found 1" Magnetically Detectable Copper Disk Monument, "ISG PLS 11779"
- Found 1/2" Iron Pin, "ISG PLS 11779"
- Set 5/8" x 24" Iron Pin with Plastic Cap, "ISG PLS 11779"
- Set 1/2" x 24" Iron Pin with Plastic Cap, "ISG PLS 11779"
- △ Calculated Point, Nothing Found or Set
- ① Lot Number
- Subdivision Boundary Line
- Right of Way Line
- Lot Line
- Centerline
- Adjacent Right-of-Way/ Subdivision Boundary Line
- Match Line
- Easement Line (Note 6)
- ACHD Permanent Easement (Note 7)
- Easement Line, as Noted
- ▨ ACHD Storm Drain Easement (Note 10)
- 100.00' Easement Dimension

Easement Line Table		
Line	Bearing	Length
E1	S06°35'02"E	17.99'
E2	S11°59'31"E	31.87'
E4	N26°31'22"W	75.69'

Easement Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Length
EC1	18.07'	60.00'	017°15'32"	N17°53'36"W	18.01'
EC2	10.49'	60.00'	010°01'06"	N04°15'17"W	10.48'

See Sheet 4 for Notes and Line & Curve Tables.

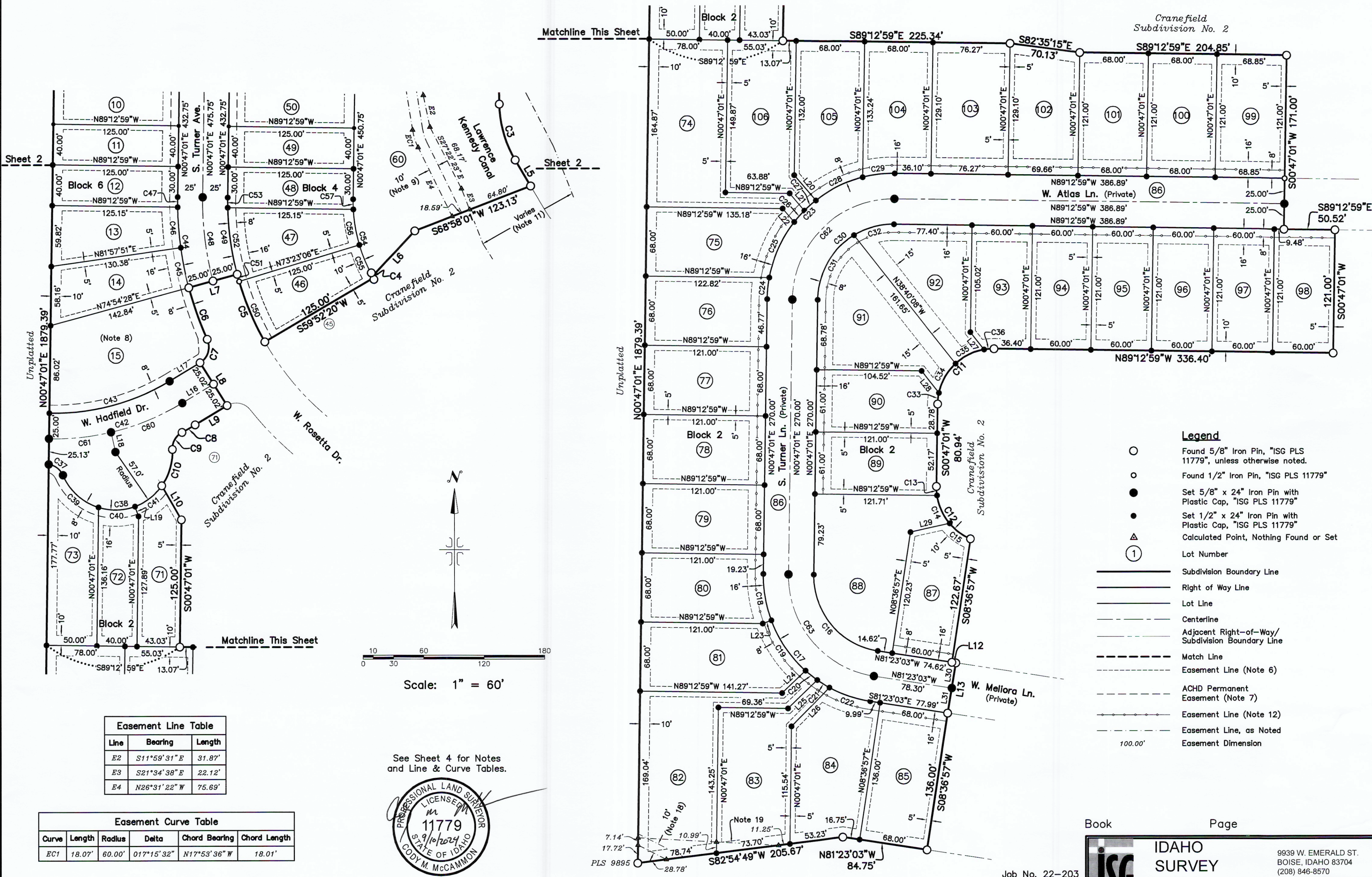


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**IDAHO SURVEY GROUP, LLC**  
 9939 W. EMERALD ST.  
 BOISE, IDAHO 83704  
 (208) 846-8570  
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# Cranefield Subdivision No. 3



Sheet 2

Sheet 2

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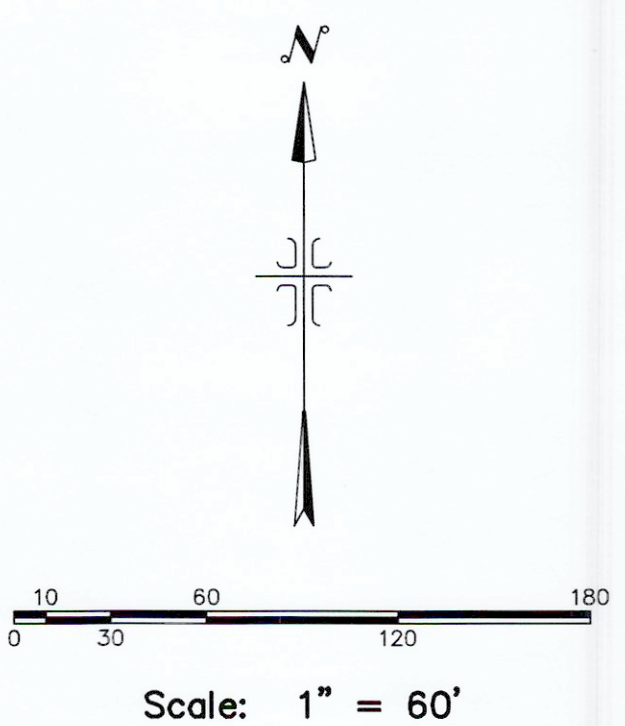
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**Easement Line Table**

Line	Bearing	Length
E2	S11°59'31" E	31.87'
E3	S21°34'38" E	22.12'
E4	N26°31'22" W	75.69'

**Easement Curve Table**

Curve	Length	Radius	Delta	Chord Bearing	Chord Length
EC1	18.07'	60.00'	017°15'32"	N17°53'36" W	18.01'



See Sheet 4 for Notes and Line & Curve Tables.



Cranefield Subdivision No. 2

**Legend**

- Found 5/8" Iron Pin, "ISG PLS 11779", unless otherwise noted.
- Found 1/2" Iron Pin, "ISG PLS 11779"
- Set 5/8" x 24" Iron Pin with Plastic Cap, "ISG PLS 11779"
- Set 1/2" x 24" Iron Pin with Plastic Cap, "ISG PLS 11779"
- ▲ Calculated Point, Nothing Found or Set
- ① Lot Number
- Subdivision Boundary Line
- Right of Way Line
- Lot Line
- Centerline
- Adjacent Right-of-Way/ Subdivision Boundary Line
- - - Match Line
- - - Easement Line (Note 6)
- - - ACHD Permanent Easement (Note 7)
- - - Easement Line (Note 12)
- - - Easement Line, as Noted
- 100.00' Easement Dimension

Book \_\_\_\_\_ Page \_\_\_\_\_

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Job No. 22-203  
 Sheet 3 of 6



# Cranefield Subdivision No. 3

Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Length
C1	13.04'	88.00'	8°29'28"	S05°01'45"W	13.03'
C2	20.45'	112.00'	10°27'48"	S04°02'35"W	20.43'
C3	57.89'	112.00'	29°36'57"	S15°59'47"E	57.25'
C4	1.98'	150.00'	0°45'22"	S29°44'59"E	1.98'
C5	72.17'	275.00'	15°02'08"	N22°36'36"W	71.96'
C6	54.10'	325.00'	9°32'18"	S19°51'40"E	54.04'
C7	26.38'	18.00'	83°58'21"	S17°21'21"W	24.08'
C8	14.94'	275.00'	3°06'47"	S60°53'55"W	14.94'
C9	20.38'	18.00'	64°52'17"	S30°01'11"W	19.31'
C10	37.86'	57.00'	38°03'39"	S16°36'52"W	37.17'
C11	86.39'	55.00'	90°00'00"	S45°47'01"W	77.78'
C12	65.30'	55.00'	68°01'14"	S33°13'36"E	61.53'
C13	8.87'	55.00'	9°14'24"	S03°50'11"E	8.86'
C14	30.57'	55.00'	31°50'38"	S24°22'42"E	30.18'
C15	25.86'	55.00'	26°56'12"	S53°46'07"E	25.82'
C16	107.56'	75.00'	82°10'04"	S40°18'01"E	98.57'
C17	179.26'	125.00'	82°10'04"	S40°18'01"E	164.29'
C18	46.50'	125.00'	21°18'49"	S09°52'23"E	46.23'
C19	60.68'	125.00'	27°48'57"	S34°26'16"E	60.09'
C20	14.72'	125.00'	6°44'50"	S51°43'10"E	14.71'
C21	14.32'	125.00'	6°33'55"	S58°22'32"E	14.32'
C22	43.04'	125.00'	19°43'34"	S71°31'16"E	42.82'
C23	196.35'	125.00'	90°00'00"	S45°47'01"W	176.78'
C24	21.33'	125.00'	9°46'40"	S05°40'21"W	21.31'
C25	60.55'	125.00'	27°45'16"	S24°26'19"W	59.96'
C26	15.01'	125.00'	6°52'47"	S41°45'21"W	15.00'
C27	15.01'	125.00'	6°52'48"	S48°38'08"W	15.00'
C28	52.19'	125.00'	23°55'19"	S64°02'12"W	51.81'
C29	32.26'	125.00'	14°47'10"	S83°23'26"W	32.17'
C30	117.81'	75.00'	90°00'00"	S45°47'01"W	106.07'
C31	76.08'	75.00'	58°07'27"	S29°50'45"W	72.86'
C32	41.73'	75.00'	31°52'33"	S74°50'45"W	41.19'

Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Length
C33	10.95'	55.00'	11°24'16"	S06°29'09"W	10.93'
C34	33.65'	55.00'	35°03'24"	S29°42'59"W	33.13'
C35	32.01'	55.00'	33°20'39"	S63°55'01"W	31.56'
C36	9.79'	55.00'	10°11'40"	S85°41'11"W	9.77'
C37	18.53'	18.00'	58°59'42"	N53°02'48"W	17.73'
C38	120.18'	57.00'	120°48'22"	S83°57'08"E	99.13'
C39	48.85'	57.00'	49°06'25"	N48°06'10"W	47.37'
C40	37.05'	57.00'	37°14'46"	S88°43'14"W	36.40'
C41	34.27'	57.00'	34°27'10"	S52°52'16"W	33.76'
C42	139.28'	250.00'	31°55'17"	N75°18'10"E	137.49'
C43	125.56'	225.00'	31°58'29"	S75°19'46"W	123.94'
C44	90.05'	325.00'	15°52'33"	N07°09'15"W	89.76'
C45	40.03'	325.00'	7°03'22"	N11°33'50"W	40.00'
C46	40.03'	325.00'	7°03'22"	N04°30'28"W	40.00'
C47	10.00'	325.00'	1°45'48"	N00°05'53"W	10.00'
C48	83.13'	300.00'	15°52'33"	S07°09'15"E	82.86'
C49	76.20'	275.00'	15°52'33"	N07°09'15"W	75.95'
C50	64.86'	275.00'	13°30'46"	N23°22'17"W	64.71'
C51	7.31'	275.00'	1°31'23"	N15°51'13"W	7.31'
C52	66.20'	275.00'	13°47'30"	S08°11'46"E	66.04'
C53	10.00'	275.00'	2°05'02"	S00°15'30"E	10.00'
C54	78.95'	150.00'	30°09'19"	N14°17'38"W	78.04'
C55	33.40'	150.00'	12°45'23"	S22°59'36"E	33.33'
C56	35.54'	150.00'	13°34'34"	N09°49'37"W	35.46'
C57	10.01'	150.00'	3°49'21"	N01°07'40"W	10.01'
C58	28.27'	18.00'	90°00'00"	N45°47'01"E	25.46'
C59	28.27'	18.00'	90°00'00"	S44°12'59"E	25.46'
C60	77.18'	250.00'	17°41'16"	N68°11'10"E	76.87'
C61	62.11'	250.00'	14°14'01"	N84°08'48"E	61.95'
C62	157.08'	100.00'	90°00'00"	S45°47'01"W	141.42'
C63	143.41'	100.00'	82°10'04"	S40°18'01"E	131.43'

Line Table		
Line	Bearing	Length
L1	S00°47'01"W	57.13'
L2	S89°12'59"E	25.96'
L3	S00°47'01"W	66.49'
L4	S09°16'29"W	88.79'
L5	S30°48'16"E	29.63'
L6	N43°14'16"E	61.07'
L7	S74°54'28"W	50.00'
L8	S32°40'47"E	50.03'
L9	S59°20'32"W	37.07'
L10	S30°17'09"E	38.78'
L11	S00°47'01"W	80.94'
L12	N81°23'03"W	4.00'
L13	S09°19'50"W	50.00'
L14	N00°47'01"E	25.00'
L15	N00°47'01"E	25.00'
L16	N59°20'32"E	36.19'

Line Table		
Line	Bearing	Length
L17	S59°20'32"W	35.30'
L18	N12°58'12"W	19.83'
L19	N19°54'09"W	10.24'
L20	N40°43'26"W	32.79'
L21	N40°43'26"W	22.37'
L22	N41°01'42"W	17.55'
L23	N69°28'12"E	9.18'
L24	N46°39'09"E	31.95'
L25	N46°01'02"E	40.17'
L26	N44°42'57"E	53.57'
L27	S38°40'08"E	21.82'
L28	S38°40'08"E	27.65'
L29	S77°37'28"W	39.95'
L30	S09°19'50"W	25.00'
L31	S09°19'50"W	25.00'

**Notes:**

1. Lot 86 and 88, Block 2; Lots 59 and 60, Block 4; Lot 1, Block 5 and Lots 1 and 15, Block 6 are common lots to be owned and maintained by the Cranefield Subdivision Homeowners' Association. Except for Lot 86, Block 2, these lots are subject to a blanket easement across said lots for pressure irrigation and lot drainage. Lot 86, Block 2 is subject to a blanket easement across said lot for common ingress/egress, Star Sewer and Water District, and public utilities. Lot 59, Block 4 and Lot 1, Block 6 are subject to a blanket public utilities easement.
2. In compliance with the disclosure requirements of Idaho Code 31-3805(1)(b), irrigation water has been provided for by the Pioneer Ditch Company, LTD., in addition, the Lots within the subdivision will be entitled to receive water for irrigation purposes supplied by groundwater (IDWR Permit No. 63-35427) and surface water (Water Right No. 63-1) through a pressure system owned and maintained by the Homeowners' Association and shall be subject to assessments by Pioneer Ditch Company, LTD. and the Homeowners' Association.
3. Any re-subdivision of this plat shall comply with the most recently approved subdivision standards of the City of Star at the time of the re-subdivision.
4. Minimum Building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and/or required, or as shown on this plat.
5. This development recognizes Idaho Code, Title 22, Chapter 45 Right to Farm Act, Section 22-4503, which states "no agricultural operation or an appurtenance to it shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after the same has been in operation for more than one (1) year, when the operation was not a nuisance at the time the operation began; provided, that the provisions of this section shall not apply whenever nuisance results from the improper or negligent operation of any agricultural operation or appurtenance to it."
6. A sixteen (16) foot wide permanent pressure irrigation, public utilities, and lot drainage easement is hereby reserved adjacent all lot lines common to a public/private right-of-way, unless otherwise delineated and referenced. A ten (10) foot wide permanent pressure irrigation, lot drainage, and public utilities easement is hereby reserved adjacent along the rear lot lines, unless otherwise delineated and referenced. A five (5) foot wide pressure irrigation and lot drainage easement is hereby reserved on each side of interior lot lines, unless otherwise delineated and referenced.
7. ACHD Permanent Easement. See Instrument No. 2024-012084.
8. Lot 15, Block 6 is subject to a blanket ACHD Permanent Easement. See Instrument No. 2023-042701.
9. Easement Agreement-Pedestrian Pathway - See Instrument No. 2023-063418.
10. A portion of Lot 1, Block 5 is servient to and contain the ACHD storm water drainage system. These lots are encumbered by that first amended master perpetual storm water drainage easement recorded on November 10, 2015, as Instrument No. 2015-103256, official records of Ada county and incorporated herein by this reference as if set forth in full (the "master easement"). The master easement and the storm water drainage system are dedicated to ACHD pursuant to section 40-2312 Idaho code. The master easement is for the operation and maintenance of the storm water drainage system.
11. Lot 60, Block 4 and Lot 1, Block 5 are subject to an easement for the benefit of Drainage District No. 2 for the maintenance and operation of the Lawrence Kennedy Canal as delineated and referenced. See License Agreement Instrument No. 2023-058558 and Instrument No. 2023-058559.
12. An eight (8) foot wide sidewalk easement is hereby reserved adjacent to residential lot lines common to a private right-of-way, unless otherwise delineated and referenced for the benefit of the Cranefield Subdivision Homeowners' Association. The easement shall be maintained by said Homeowners' Association.
13. A.C.H.D. Right-of-way Dedication Instrument No. 2023-063622.
14. ACHD Bridge/Culvert Maintenance Easement. See Instrument No. 2024-013303.
15. ACHD Temporary License Agreement - See Instrument No. 2024-017041.
16. The subdivision is located within the FEMA determined Special Flood Hazard Zone "AE" per Firm Panel No. 18001C0125J, which bears an effective date of June 19, 2020. Flood zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 11-08 of the City of Star Code.
17. Restrictive covenants will be in effect for this subdivision to be recorded in conjunction with this plat.
18. Idaho Power Company easement - See Instrument No. 108050877.
19. Canyon County Water Company Easement is hereby reserved for the benefit of the Canyon County Water Company as delineated and referenced. See License Agreement Instrument No. 2023-020720.



Book \_\_\_\_\_ Page \_\_\_\_\_

**IDAHO SURVEY GROUP, LLC**

9939 W. EMERALD ST.  
BOISE, IDAHO 83704  
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# Cranefield Subdivision No. 3

### Certificate Of Owners

Know all men by these presents: that WH Star 203 LLC, a Delaware Limited Liability Company, is the Owner of the Property described as follows:

### Legal Description

A portion Government Lots 1 and 2 of Section 18, Township 4 North, Range 1 West, Boise Meridian, City of Star, Ada County, Idaho being more particularly described as follows:

Commencing at the Northwest corner of said Section 18 from which the North 1/4 corner of said Section 18 bears S88°25'08" E, 2,504.41 feet; thence on the west boundary line of said Section 18, S00°47'01" W, 215.68 feet to the REAL POINT OF BEGINNING;

thence leaving said west boundary line, South 73°34'03" East, 443.75 feet to the westerly boundary line of Cranefield Subdivision No. 1 as filed in Book 126 of Plats at Pages 20362 and 20367, records of Ada County, Idaho;

thence on said westerly boundary line the following nine (9) courses and distances:

- South 00°47'01" West, 57.13 feet;
- South 89°12'59" East, 25.96 feet;
- South 00°47'01" West, 66.49 feet;
- 13.04 feet on the arc of a curve to the right having a radius of 88.00 feet, a central angle of 08°29'28", and a long chord which bears South 05°01'45" West, 13.03 feet;
- South 09°16'29" West, 88.79 feet;
- 20.45 feet on the arc of a curve to the left having a radius of 112.00 feet, a central angle of 10°27'48", and a long chord which bears South 04°02'35" West, 20.43 feet;
- South 01°11'19" East, 167.63 feet;
- 57.89 feet on the arc of a curve to the left having a radius of 112.00 feet, a central angle of 29°36'57", and a long chord which bears South 15°59'47" East, 57.25 feet;
- South 30°48'16" East, 29.63 feet to the exterior boundary line of Cranefield Subdivision No. 2 as filed in Book 127 of Plats at Pages 20488 and 20493, records of Ada County, Idaho;

thence on said exterior boundary line the following twenty-nine (29) courses and distances:

- South 68°58'01" West, 123.13 feet;
- South 43°14'16" West, 61.07 feet;
- 1.98 feet on the arc of a non-tangent curve to the left having a radius of 150.00 feet, a central angle of 00°45'22", and a long chord which bears South 29°44'59" East, 1.98 feet;
- South 59°52'20" West, 125.00 feet;
- 72.17 feet on the arc of a curve to the right having a radius of 275.00 feet, a central angle of 15°02'08", and a long chord which bears North 22°36'36" West, 71.96 feet;
- South 74°54'28" West, 50.00 feet;
- 54.10 feet on the arc of a curve to the left having a radius of 325.00 feet, a central angle of 09°32'18", and a long chord which bears South 19°51'40" East, 54.04 feet;
- 26.38 feet on the arc of a reverse curve to the right having a radius of 18.00 feet, a central angle of 83°58'21", and a long chord which bears South 17°21'21" West, 24.08 feet;
- South 32°40'47" East, 50.04 feet;
- South 59°20'32" West, 37.07 feet;
- 14.94 feet on the arc of a curve to the right having a radius of 275.00 feet, a central angle of 03°06'47", and a long chord which bears South 60°53'55" West, 14.94 feet;
- 20.38 feet on the arc of a reverse curve to the left having a radius of 18.00 feet, a central angle of 64°52'17", and a long chord which bears South 30°01'11" West, 19.31 feet;
- 37.86 feet on the arc of a reverse curve to the right having a radius of 57.00 feet, a central angle of 38°03'39", and a long chord which bears South 16°36'52" West, 37.17 feet;
- South 30°17'09" East, 38.78 feet;
- South 00°47'01" West, 125.00 feet;
- South 89°12'59" East, 225.34 feet;
- South 82°35'15" East, 70.13 feet;
- South 89°12'59" East, 204.85 feet;
- South 00°47'01" West, 171.00 feet;
- South 89°12'59" East, 50.52 feet;
- South 00°47'01" West, 121.00 feet;
- North 89°12'59" West, 336.40 feet;
- 86.39 feet on the arc of a curve to the left having a radius of 55.00 feet, a central angle of 90°00'00", and a long chord which bears South 45°47'01" West, 77.78 feet;
- South 00°47'01" West, 80.94 feet;
- 65.30 feet on the arc of a curve to the left having a radius of 55.00 feet, a central angle of 68°01'14", and a long chord which bears South 33°13'36" East, 61.53 feet;
- South 08°36'57" West, 122.67 feet;
- South 81°23'03" East, 4.00 feet;

- South 09°19'50" West, 50.00 feet;
- South 08°36'57" West, 136.00 feet to the north boundary line of the Canyon County Water Company property as described in a Warranty Deed, Book 114 at Page 132, records of Ada County, Idaho;
- thence on said north boundary line the following two (2) courses and distances:
- North 81°23'03" West, 84.75 feet;
- South 82°54'49" West, 205.67 feet to the west boundary line of said Section 18;
- thence on said west boundary line, North 00°47'01" East, 1,879.39 feet to the REAL POINT OF BEGINNING.

Containing 15.586 acres, more or less.

It is the intention of the undersigned to hereby include the above described property in this plat and to dedicate to the public, the public streets as shown on this plat. The private streets and easements indicated on said plat are not dedicated to the public. However, the right to use said easements is perpetually reserved for public utilities and for such other uses as designated herein, no permanent structure other than for such utility purposes are to be erected within the limits of said easements. All lots in this plat will be eligible to receive domestic water and sanitary sewer service from an existing Star Sewer and Water District main line located adjacent to the subject Subdivision and Star Sewer and Water District has agreed in writing to serve all the lots in this Subdivision. (I.C. 50-1334) and (I.C. 50-1326).

In witness whereof I have hereunto set my hand:

WH Star 203 LLC, a Delaware limited liability company

By: Williams Communities, LLC a California limited liability company  
Its: Manager

*Lance K. Williams*  
By: Lance K. Williams  
Its: Authorized Signatory/Manager

### Acknowledgment

A notary public or other officer completing this certificate verifies on the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of the document.

State of California }  
County of Los Angeles } s.s.

On this 23<sup>rd</sup> day of January, 2024, before me, Kelly Brown, Notary Public, personally appeared Lance K. Williams who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

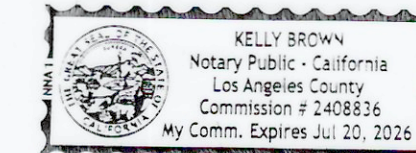
WITNESS my hand and official seal.

Signature: *Kelly Brown*  
Printed Name: Kelly Brown, Notary Public

My Commission Expires: July 20, 2026

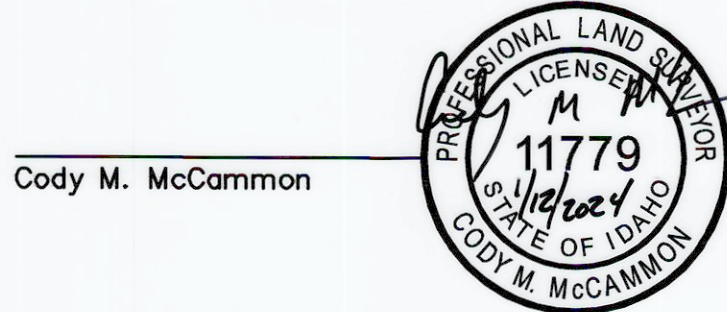
My Principal Place of Business is in Los Angeles, County

My Commission No.: 2408836



### Certificate of Surveyor

I, Cody M. McCammon, do hereby certify that I am a Professional Land Surveyor licensed by the State of Idaho, and that this plat as described in the "Certificate of Owners" is drawn from an actual survey made on the ground under my direct supervision and accurately represents the points platted thereon, and is in conformity with the State of Idaho Code relating to plats and surveys.



Cody M. McCammon

P.L.S. No. 11779

Book

Page

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# Cranefield Subdivision No. 3

### Health Certificate

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read on file with the County Recorder or his agent listing the conditions of approval. Sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.



Don Bahji REHS 2.21.2024  
Central District Health Date

### Certificate Of County Surveyor

I, the undersigned, Professional Land Surveyor in and for Ada County, Idaho, do hereby certify that I have checked this plat and that it complies with the State of Idaho Code relating to plats and surveys.

\_\_\_\_\_  
County Surveyor

### Certificate of County Treasurer

I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per the requirements of I.C.50-1308 do hereby certify that any and all current and/or delinquent county property taxes for the property included in this subdivision have been paid in full. This certification is valid for the next thirty (30) days only.

\_\_\_\_\_  
County Treasurer Date

### Approval of Ada County Highway District

The foregoing plat was accepted and approved by the Board of Ada County Highway District Commissioners on the 28 day of March, 2024.



Don Bahji  
Commission President

### Approval of City Engineer

I, the undersigned, City Engineer in and for the City of Star, Ada County, Idaho, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, hereby approve this plat.

\_\_\_\_\_  
City Engineer Date

### Approval of City Council

I, the undersigned, City Clerk in and for the City of Star, Ada County, Idaho do hereby certify that at a regular meeting of the City Council held on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, this plat was duly accepted and approved.

\_\_\_\_\_  
City Clerk, Star, Idaho

### County Recorder's Certificate

State of Idaho }  
County of Ada } ss. Instrument No. \_\_\_\_\_

I hereby certify that this instrument was filed at the request of \_\_\_\_\_

at \_\_\_\_\_ minutes past \_\_\_\_\_ o'clock \_\_\_\_\_ M., this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ in Book \_\_\_\_\_ of Plats at Pages \_\_\_\_\_ through \_\_\_\_\_.

Fee \$ \_\_\_\_\_

\_\_\_\_\_  
Deputy

\_\_\_\_\_  
Ex-Officio Recorder

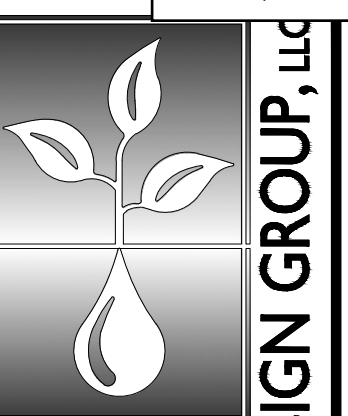


Book \_\_\_\_\_ Page \_\_\_\_\_

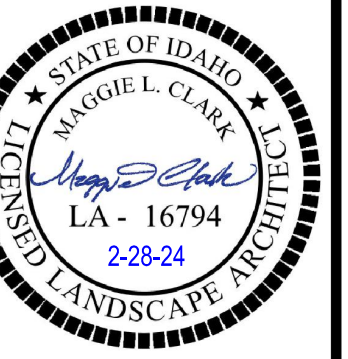
ISG IDAHO SURVEY GROUP, LLC

9955 W. EMERALD ST.  
BOISE, IDAHO 83704  
(208) 848-8570  
WWW.IDAHOSURVEY.COM





**BAER** DESIGN GROUP, LLC  
greg@baerdg.com  
Ph. 208.859.1980



Idaho

Cranefield Subdivision

Star

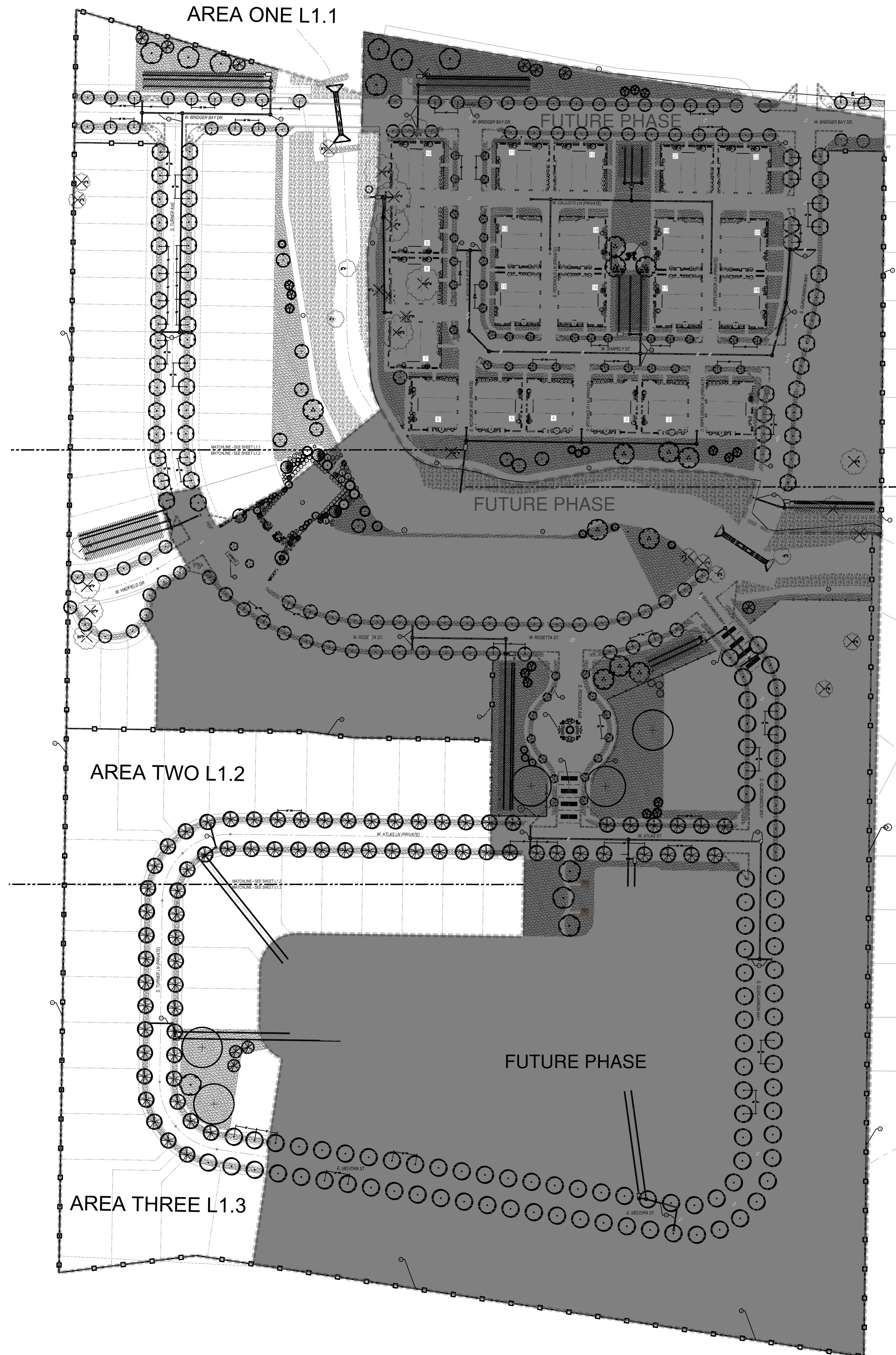
Overall Landscape Plan

Revisions

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Project Name:	21001
Drawn by:	MC
Checked by:	GB
Date:	2.28.2024

Sheet No: **L1.0**

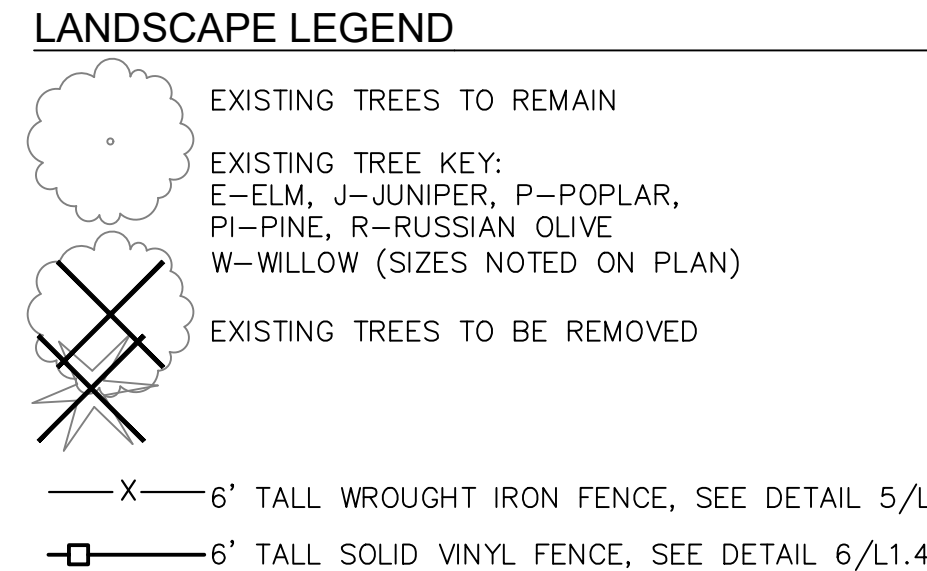


**OVERALL LANDSCAPE PLAN**

Scale 1" = 100'-0"

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HXW	CLASS	QTY
<b>DECIDUOUS TREES</b>						
	<i>Acer rubrum</i> 'Franksred'	Red Sunset Maple	2" CAL. B&B	40' x 30'	Class II	1
	<i>Acer truncatum</i> x <i>platanoides</i> 'Keithsform'™	Norwegian Sunset Maple	2" CAL. B&B	40'x25'	Class II	29
	<i>Carpinus betulus</i> 'Fastigiata'	Pyramidal European Hornbeam	2" CAL. B&B	45'x30'	Class II	55
	<i>Celtis occidentalis</i>	Common Hackberry	2" CAL. B&B	45'x30'	Class II	30
	<i>Fraxinus americana</i> 'Autumn Purple'	Autumn Purple Ash	2" CAL. B&B	50'x40'	Class II	4
	<i>Liriodendron tulipifera</i> 'Emerald City'™	Emerald City Tulip Tree	2" CAL. B&B	55'x25'	Class II	5
	<i>Platanus</i> x <i>acerifolia</i>	London Plane Tree	2" CAL. B&B	80' x 80'	Class III	2
	<i>Tilia americana</i> 'Boulevard'	Boulevard Linden	2" CAL. B&B	50' x 25'	Class II	5
<b>EVERGREEN TREES</b>						
	<i>Cedrus deodara</i> 'Karl Fuchs'	Karl Fuchs Deodar Cedar	10'-12' B&B	15'x8'		1
	<i>Picea abies</i> 'Cupressina'	Cupressina Norway Spruce	6'-8' B&B	20'x6'		5
	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	8'-9' B&B	35'x15'		1
	<i>Picea pungens</i> 'Glauca'	Colorado Blue Spruce	7'-8' B&B	35'x15'		3
	<i>Picea pungens glauca</i> 'Hoopsii'	Hoopsii Blue Spruce	6'-8' B&B	40' x 20'		2
	<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Pine	10'-12' B&B	25'x15'		1
	<i>Pinus nigra</i>	Austrian Black Pine	6'-8' B&B	40'x25'		1
	<i>Pinus strobus</i>	White Pine	7'-8' B&B	60'x20'		6
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HXW		QTY
<b>SHRUBS</b>						
	<i>Cotinus coggygria</i> 'Golden Spirit'	Golden Spirit Smoke Tree	5 GAL.	8'x6'		3
	<i>Philadelphus</i> x <i>virginialis</i> 'Dwarf Snowflake'	Dwarf Snowflake Mockorange	5 GAL.	4'x4'		3
	<i>Physocarpus opulifolius</i> 'Dart's Gold'	Dart's Gold Ninebark	5 GAL.	5'x5'		5
	<i>Prunus laurocerasus</i> 'Otto Luyken'	Luykens Laurel	5 GAL.	3'x6'		8
SYMBOL	BOTANICAL NAME	COMMON NAME				QTY
<b>GROUND COVERS</b>						
	<i>Festuca rubra</i>	Red Fescue				29,379 sf
	Turf Sod Rhizomatous	Rhizomatous Tall Fescue				64,026 sf

- KEYNOTES** #
- TOT LOT- SEE DETAIL 7/L1.4
  - PEDESTRIAN CIRCULATION PATH
  - MAINTENANCE ROAD - SEE CIVIL.
  - COMMUNITY POOL/CLUB HOUSE- SEE ARCHITECTURAL.
  - GATED ENTRY ROAD D - SEE SHEET L1.7
  - GATED ENTRY ROAD C - SEE SHEETS L1.5
  - GATED ENTRY KEY PAD LOCATION.
  - 6" WROUGHT IRON FENCE - SEE DETAIL 5/L1.4.
  - 6" SOLID VINYL FENCE - SEE DETAIL 6/L1.4.
  - MAIL CLUSTER AREA. TYPICAL CLUSTER BOX UNIT. ITEM #191b1353139 BY SALSBURY INDUSTRIES.
  - MONUMENT SIGNAGE - SEE SHEET L1.7.
  - DRAINAGE UTILITY - NO TREES SHALL BE PLANTED WITHIN 10' OF DRAINAGE UTILITY.



**DEVELOPER**  
WILLIAMS HOMES  
MIKE BADNER  
21080 CENTRE POINTE PKWY.  
SANTA CLARITA, CA 91350  
PHONE: 661-222-9207  
EMAIL: mbadner@williamshomes.com

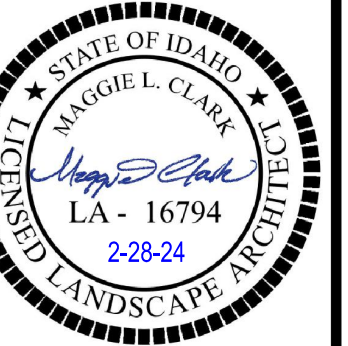
**LANDSCAPE ARCHITECT**  
BAER DESIGN GROUP, LLC.  
10674 N. SAGE HOLLOW WAY  
BOISE, IDAHO 83704  
CONTACT: MAGGIE CLARK  
406-490-7610  
EMAIL: maggie@baerdg.com

- NOTES:**
- TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
  - SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.





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Idaho

Cranefield Subdivision

Star

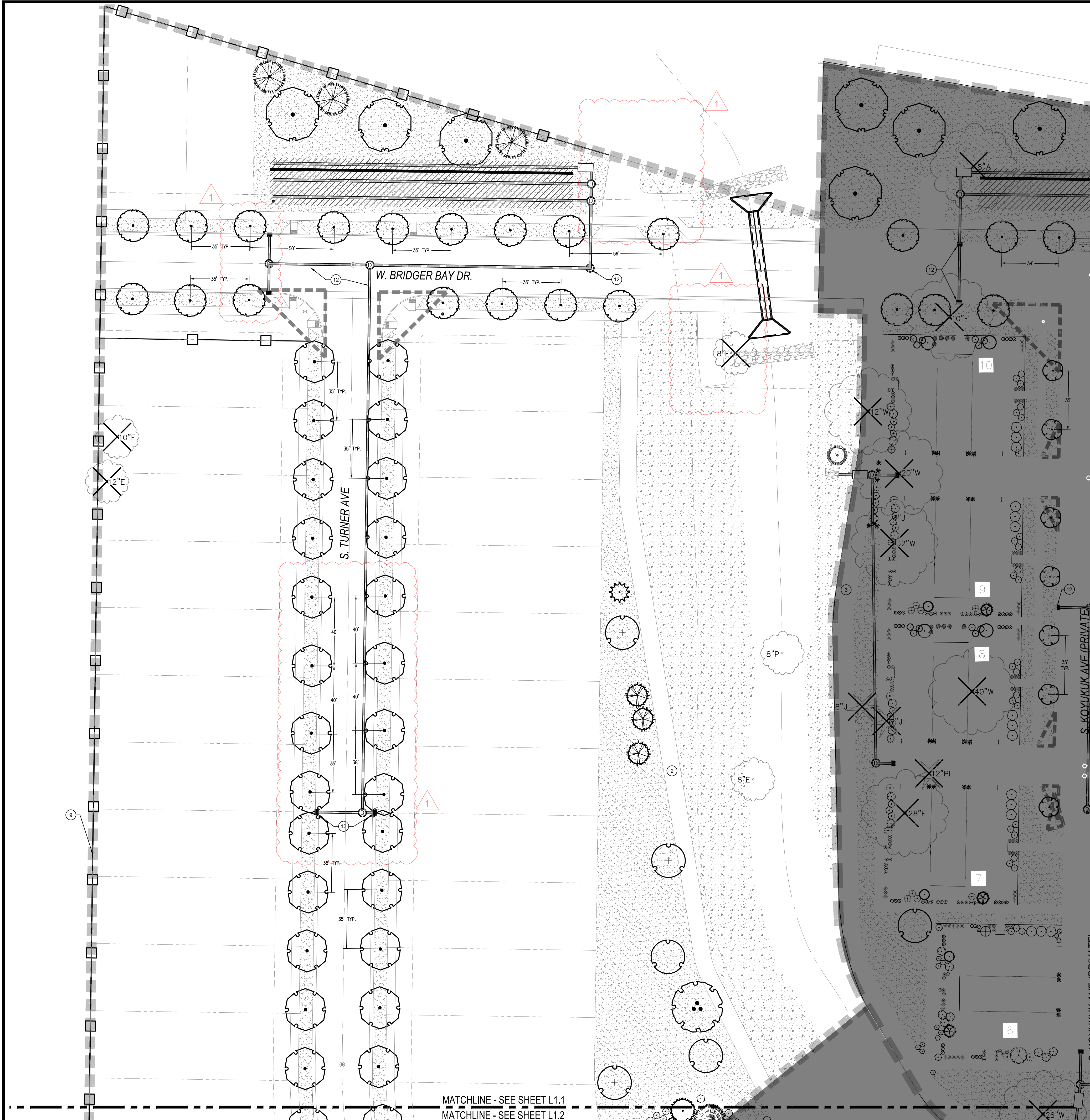
Landscape Plan  
Area One

Revisions

Project Name: 21001  
Drawn by: MC  
Checked by: GC  
Date: 2.28.2024

Sheet No:

L1.1



NOTES:

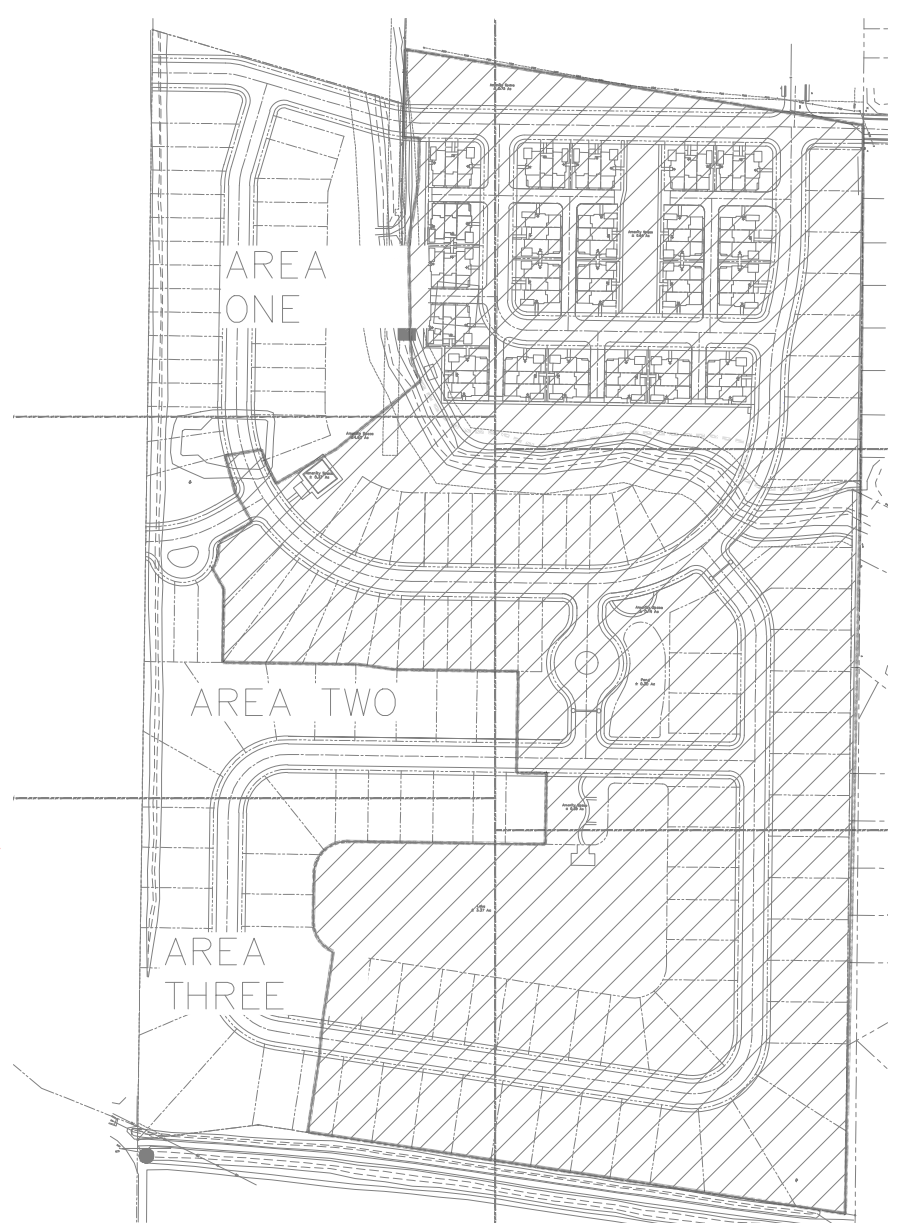
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- SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.

LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREE KEY:  
E-ELM, J-JUNIPER, P-POPLAR,  
PI-PINE, R-RUSSIAN OLIVE  
W-WILLOW (SIZES NOTED ON PLAN)
- EXISTING TREES TO BE REMOVED
- X - 6' TALL WROUGHT IRON FENCE, SEE DETAIL 5/L1.4
- - 6' TALL SOLID VINYL FENCE, SEE DETAIL 6/L1.4
- 40'X40' STREET CLEAR VISION TRIANGLE
- 20'X10' DRIVEWAY CLEAR VISION TRIANGLE

KEYNOTES #

- TOT LOT - SEE DETAIL 7/L1.4
- PEDESTRIAN CIRCULATION PATH
- MAINTENANCE ROAD - SEE CIVIL.
- COMMONITY POOL/CLUB HOUSE - SEE ARCHITECTURAL.
- GATED ENTRY ROAD D - SEE SHEET L1.7
- GATED ENTRY ROAD C - SEE SHEETS L1.5
- GATED ENTRY KEY PAD LOCATION.
- 6' WROUGHT IRON FENCE - SEE DETAIL 5/L1.4.
- 6' SOLID VINYL FENCE - SEE DETAIL 6/L1.4.
- MAIL CLUSTER AREA. TYPICAL CLUSTER BOX UNIT. ITEM #19fb1353139 BY SALSBUURY INDUSTRIES.
- MONUMENT SIGNAGE - SEE SHEET L1.7.
- DRAINAGE UTILITY - NO TREES SHALL BE PLANTED WITHIN 10' OF DRAINAGE UTILITY.



KEYMAP

LANDSCAPE PLAN - AREA ONE

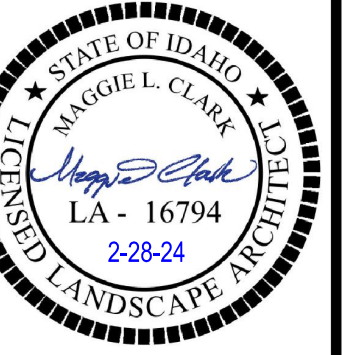
MATCHLINE - SEE SHEET L1.1  
MATCHLINE - SEE SHEET L1.2

Scale 1" = 30'-0"





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greg@baerdg.com  
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Idaho

Cranefield Subdivision

Star

Landscape Plan  
Area Two

Revisions

Project Name: 21001  
Drawn by: MC  
Checked by: GB  
Date: 2.28.2024

Sheet No.:

L1.2

MATCHLINE - SEE SHEET L1.1  
MATCHLINE - SEE SHEET L1.2

FUTURE

W. HADFIELD DR

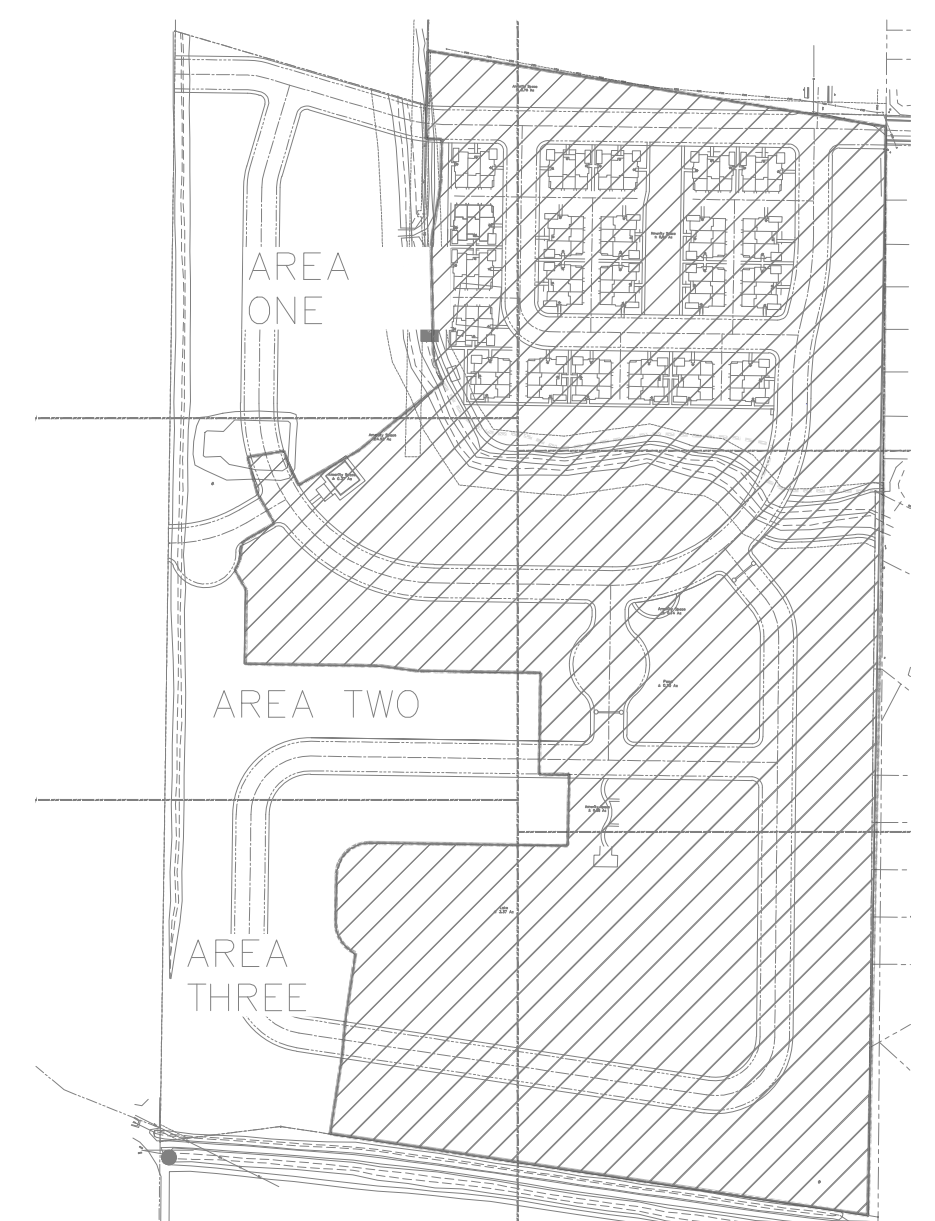
W. ROSE TA ST.

W. ATLAS LN (PRIVATE)

MATCHLINE - SEE SHEET L1.2  
MATCHLINE - SEE SHEET L1.3

NOTES:

1. TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
2. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.



KEYMAP

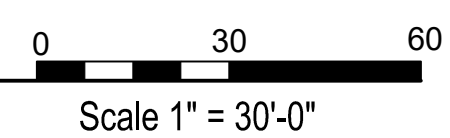
LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREE KEY:  
E-ELM, J-JUNIPER, P-POPLAR,  
PI-PINE, R-RUSSIAN OLIVE  
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- X- 6' TALL WROUGHT IRON FENCE, SEE DETAIL 5/L1.4
- 6' TALL SOLID VINYL FENCE, SEE DETAIL 6/L1.4
- 40'X40' STREET CLEAR VISION TRIANGLE
- 20'X10' DRIVEWAY CLEAR VISION TRIANGLE

KEYNOTES #

1. TOT LOT- SEE DETAIL 7/L1.4
2. PEDESTRIAN CIRCULATION PATH
3. MAINTENANCE ROAD - SEE CIVIL.
4. COMMUNITY POOL/CLUB HOUSE- SEE ARCHITECTURAL
5. GATED ENTRY ROAD D - SEE SHEET L1.7
6. GATED ENTRY ROAD C - SEE SHEETS L1.5
7. GATED ENTRY KEY PAD LOCATION.
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9. 6' SOLID VINYL FENCE - SEE DETAIL 6/L1.4.
10. MAIL CLUSTER AREA, TYPICAL CLUSTER BOX UNIT. ITEM #19F1353139 BY SALSURY INDUSTRIES.
11. MONUMENT SIGNAGE - SEE SHEET L1.7.
12. DRAINAGE UTILITY - NO TREES SHALL BE PLANTED WITHIN 10' OF DRAINAGE UTILITY.

LANDSCAPE PLAN - AREA TWO







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Cranefield Subdivision

Star

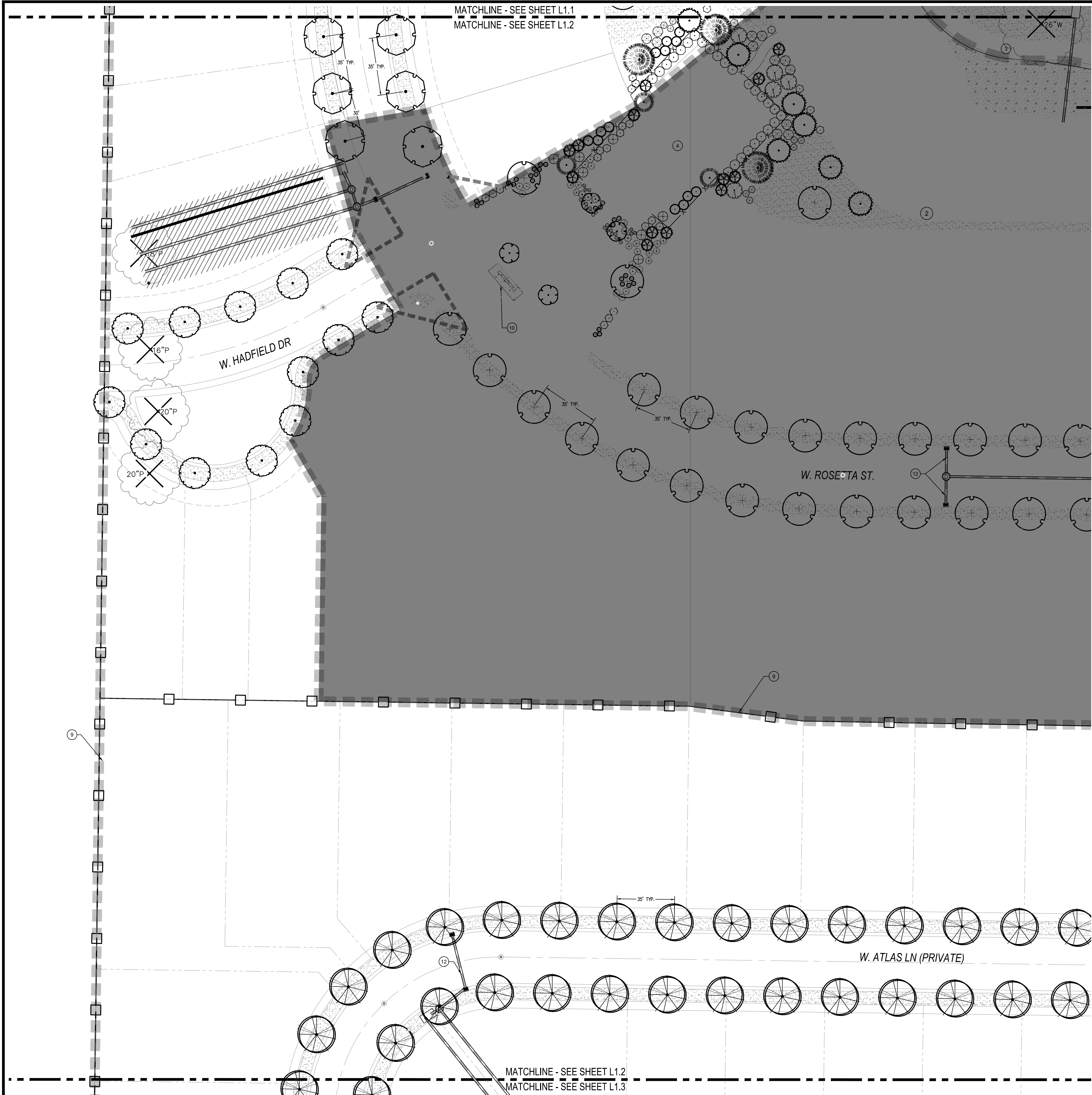
Landscape Plan  
Area Three

Revisions

Project Name: 21001  
Drawn by: MC  
Checked by: GB  
Date: 2.28.2024

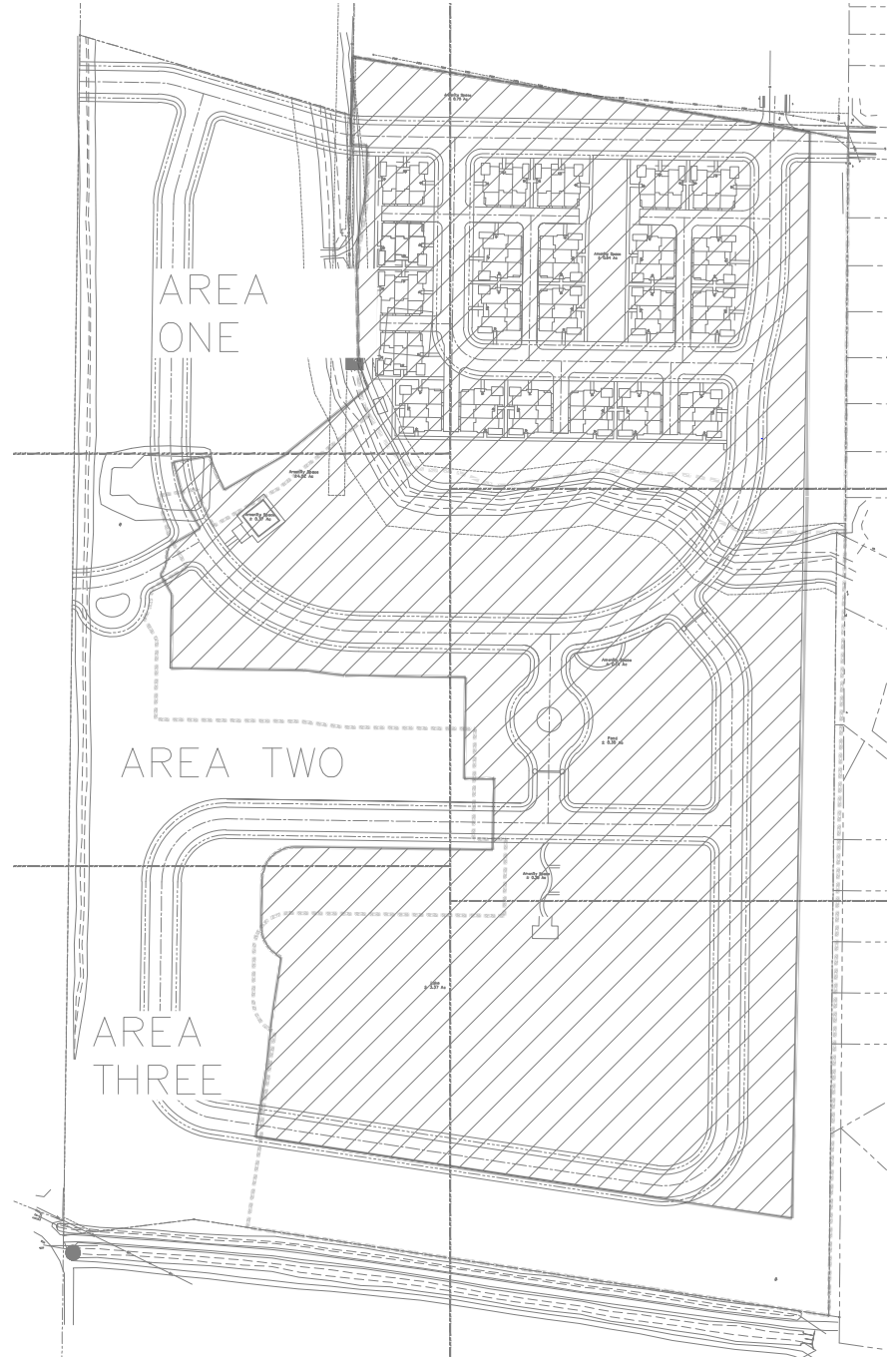
Sheet No.:

L1.3



NOTES:

1. TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
2. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.



KEYMAP

LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREE KEY:  
E-ELM, J-JUNIPER, P-POPLAR,  
PI-PINE, R-RUSSIAN OLIVE  
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KEYNOTES #

1. TOT LOT - SEE DETAIL 7/L1.4
2. PEDESTRIAN CIRCULATION PATH
3. MAINTENANCE ROAD - SEE CIVIL.
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5. GATED ENTRY ROAD D - SEE SHEET L1.7
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9. 6' SOLID VINYL FENCE - SEE DETAIL 6/L1.4.
10. MAIL CLUSTER AREA, TYPICAL CLUSTER BOX UNIT. ITEM #19fb1353139 BY SALSBURY INDUSTRIES.
11. MONUMENT SIGNAGE - SEE SHEET L1.7.
12. DRAINAGE UTILITY - NO TREES SHALL BE PLANTED WITHIN 10' OF DRAINAGE UTILITY.

LANDSCAPE PLAN - AREA THREE

Scale 1" = 30'-0"

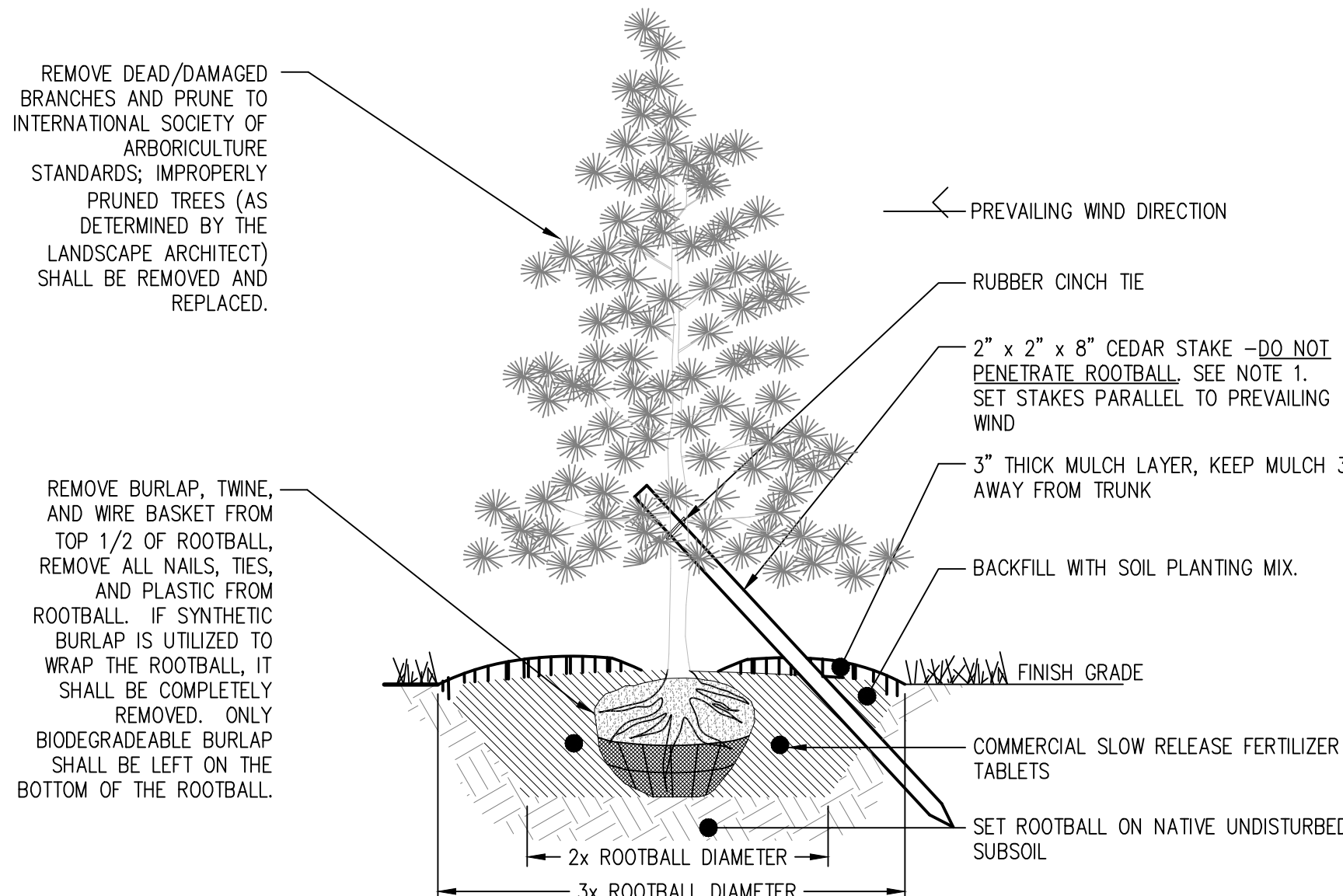


**GENERAL LANDSCAPE NOTES - AGENCY SUBMITTAL**

- CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD UTILITIES WITHIN CONTRACT WORK AREAS PRIOR TO CONSTRUCTION. CONTACT DIG LINE, INC. @ 1.800.342.1885. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN.
- ALL TOPSOIL TO BE AMENDED AT A RATIO OF 3 CU. YDS. OF ORGANIC MATTER PER 1000 SQ. FT. ROTO-TILL ORGANIC MATTER INTO THE TOP 6 INCHES OF TOPSOIL.
- ALL SHRUB BEDS SHALL HAVE A MIN 12 INCHES OF TOPSOIL, ALL PLANTER ISLANDS SHALL HAVE MIN 12" TOPSOIL AND ALL LAWN AREAS SHALL HAVE MIN 6" TOPSOIL. SPREAD, COMPACT AND FINE GRADE SMOOTHLY TO 3 INCHES BELOW THE SURFACE OF WALKWAYS AND CURBS.
- FINISH GRADES ARE TO BE SMOOTH WITH POSITIVE DRAINAGE IN ACCORDANCE WITH THE GRADING PLAN.
- TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF ROCKS (LARGER THAN 2 INCHES), WEEDS, ROOTS, GRASS, OR OTHER FOREIGN MATERIAL THAT IS HARMFUL TO PLANT GROWTH. TOPSOIL SHALL HAVE A PH OF 5.5 TO 7.0.
- WHERE POSSIBLE, RE-USE EXISTING SURFACE TOPSOIL FROM SITE. VERIFY TOPSOIL WILL MEET THE REQUIREMENTS AND AMEND AS NECESSARY. IMPORT WHEN EXISTING TOPSOIL QUANTITIES ARE INSUFFICIENT.
- IF IMPORTING TOPSOIL FROM OFFSITE, OBTAIN FROM LOCAL SOURCES THAT HAVE SIMILAR SOIL CHARACTERISTICS TO THE PROJECT SITE. NEW TOPSOIL MUST BE FERTILE, FRIABLE, NATURAL LOAM, REASONABLY FREE OF SUBSOIL, CLAY CLUMPS, WEEDS, ROOTS, STONES LARGER THAN 1 INCH. REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY AND GENERAL TEXTURE. COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT.
- ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH OF 2" MINUS BARK MULCH. INSTALL A PERMEABLE FABRIC WEED BARRIER UNDER ROCK MULCH. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED. STAPLE ALL EDGES 10' MAX.
- TREES PLANTED IN PARK STRIPS TO BE CENTERED IN STRIP.
- NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT CONSENT FROM THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL STAKE ALL TREES NECESSARY TO PREVENT THEM FROM BEING BLOWN OVER.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE BY OWNER. CONTRACTOR SHALL REPLACE ALL PLANT MATERIAL FOUND DEAD OR UNHEALTHY IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- FERTILIZE ALL TREES WITH 'AGRIFORM' PLANTING TABLETS. FOLLOW MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE IMMEDIATE CLEAN UP OF ANY TOPSOIL OR OTHER DEBRIS ON SITE CREATED FROM LANDSCAPE CONSTRUCTION OPERATIONS.
- TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.

**GENERAL IRRIGATION NOTES - AGENCY SUBMITTAL**

- ALL PLANT MATERIALS TO BE WATERED BY THE DEVELOPMENT OR SUBDIVISION PRESSURIZED IRRIGATION SYSTEM. IRRIGATION OF COMMON AREAS SHALL BE VIA THE SUBDIVISION'S PRESSURIZED IRRIGATION SYSTEM. IRRIGATION OF INDIVIDUAL LOTS AND LANDSCAPING ALONG THE FRONTAGE OF PRIVATE LOTS SHALL BE VIA METERED, POTABLE WATER AND THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.
- COVERAGE: THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ONE HUNDRED PERCENT (100%) COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- MATCHED PRECIPITATION RATES: SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE.
- IRRIGATION DISTRICTS: SPRINKLER HEADS IRRIGATING LAWN OR OTHER HIGH WATER DEMAND AREAS SHALL BE CIRCUITED SO THAT THEY ARE ON THE SEPARATE ZONE OR DISTRICT FROM THOSE IRRIGATING TREES, SHRUBS, OR OTHER REDUCED WATER DEMAND AREAS.
- OVERSPRAY: SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS STREETS, SIDEWALKS, DRIVEWAYS, AND PARKING AREAS.



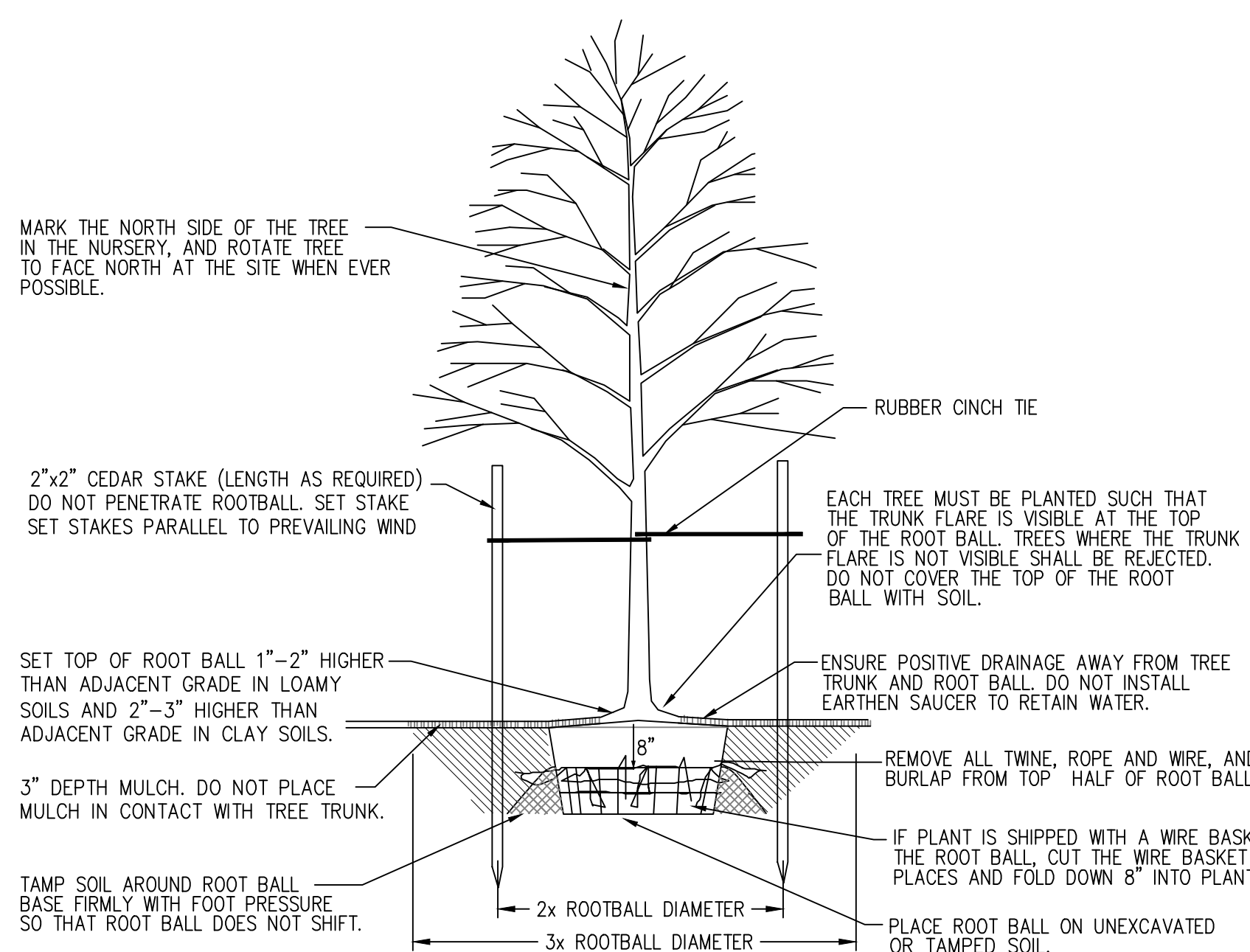
- NOTES:**
- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
  - WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
  - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.

**1 CONIFER TREE DETAIL**  
NTS

**TREE MITIGATION NOTES**

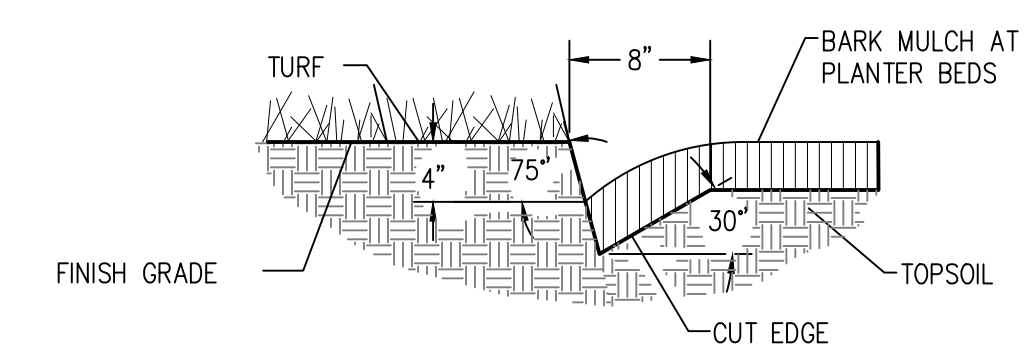
- THE EXISTING TREES TO BE REMOVED ARE AS FOLLOWS FROM THE SITE. (AS NOTED ON PLAN):
  - (1) 6" CAL. RUSSIAN OLIVE
  - (2) 8" CAL. ELM
  - (2) 8" CAL. JUNIPER
  - (4) 8" CAL. RUSSIAN OLIVE
  - (3) 10" CAL. ELM
  - (1) 12" CAL. ELM
  - (1) 12" CAL. PINE
  - (1) 12" CAL. WILLOW
  - (1) 16" CAL. POPLAR
  - (1) 18" CAL. POPLAR
  - (2) 20" CAL. POPLAR
  - (1) 20" CAL. WILLOW
  - (1) 26" CAL. WILLOW
  - (1) 28" CAL. ELM
  - (1) 32" CAL. WILLOW
  - (1) 40" CAL. WILLOW

TOTAL CALIPER INCHES BEING REMOVED = 356 CALIPER INCHES. WITH THE EXCEPTION OF THE PINE TREE ALL OF THE TREES TO BE REMOVED ARE HAZARDOUS DUE TO THEIR WEAK WOODED STRUCTURE. NO MITIGATION REQUIREMENTS WERE NOTED IN THE STAR CITY CODE.

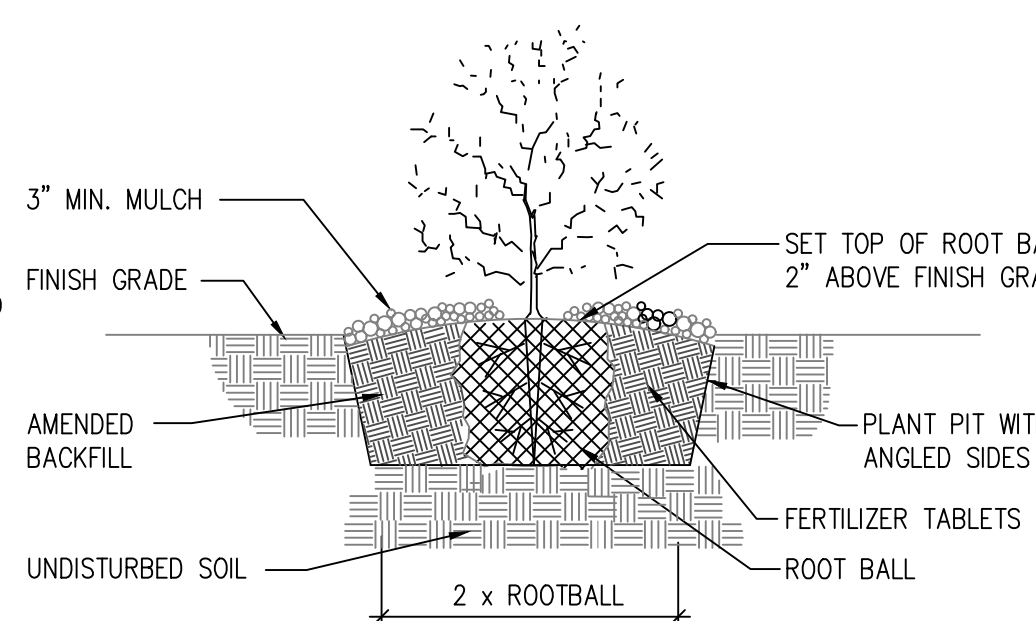


- NOTES:**
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN AND DEAD BRANCHES. DO NOT PRUNE TERMINAL BUDS OF BRANCHES EXTENDING TO THE CROWN.
  - WRAP TREE TRUNKS ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.
  - STAKE TREES AS NECESSARY. STAKES MUST BE REMOVED WITHIN 12 MONTHS OF PLANTING.

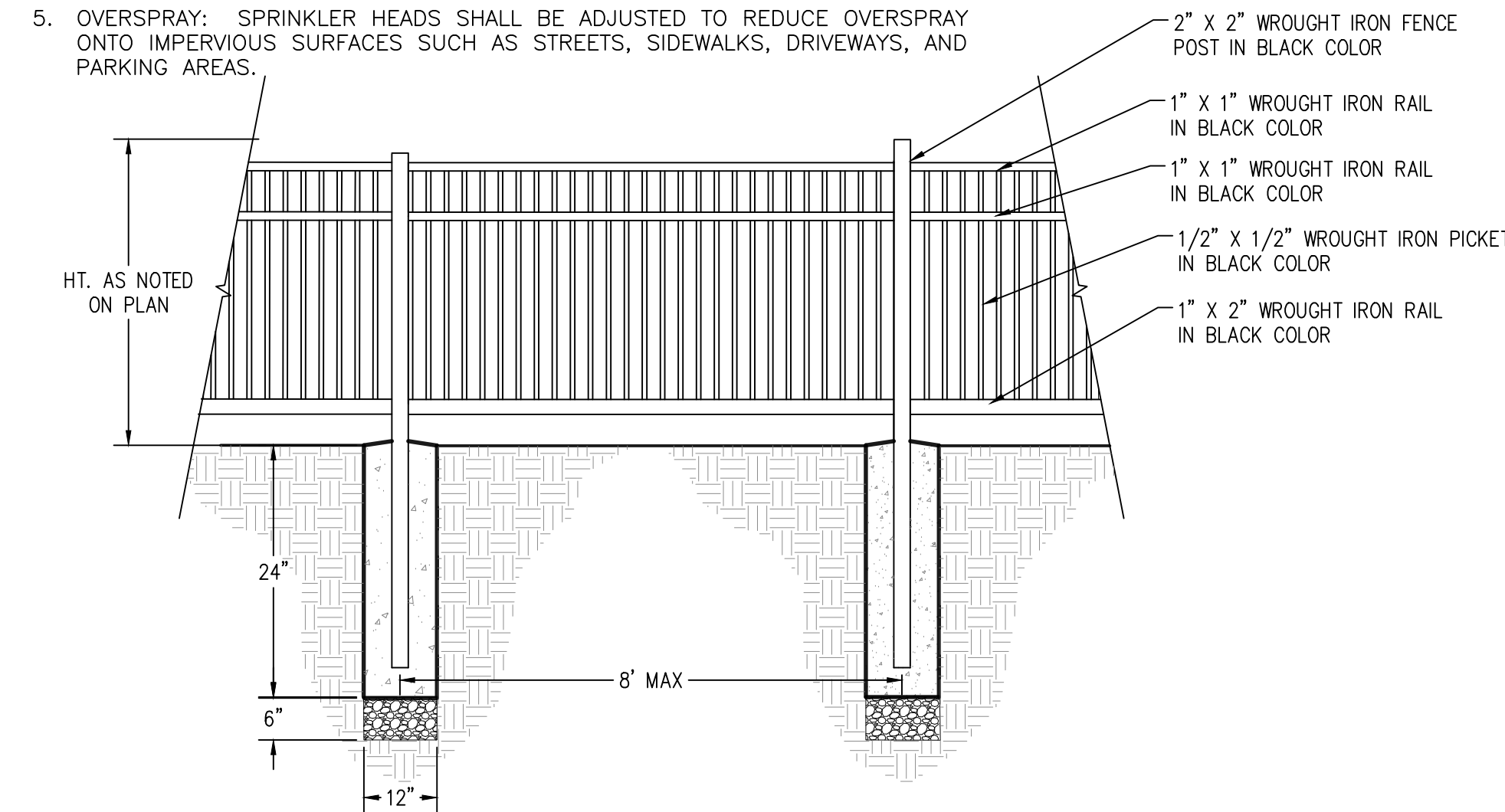
**2 TREE PLANTING DETAIL**  
NTS



**3 EDGING DETAIL**  
NTS

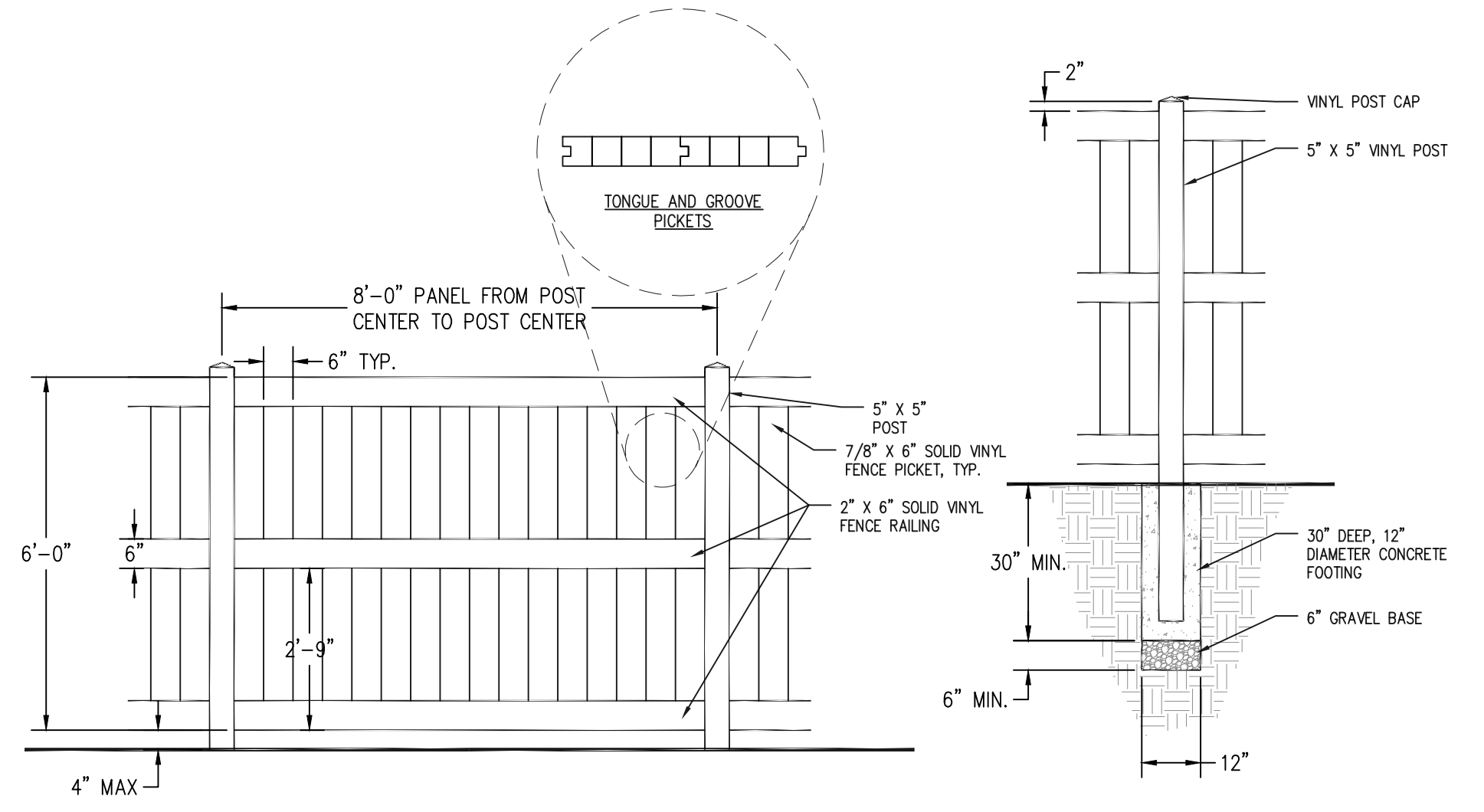


**4 SHRUB PLANTING DETAIL**  
NTS



- NOTE:**
- CONTRACTORS ARE RESPONSIBLE FOR SHOP DRAWINGS TO BE REVIEWED BY LANDSCAPE ARCHITECT BEFORE INSTALLATION.
  - ALL CONCRETE SHALL BE MIN. 3000 PSI STANDARD GRAY IN COLOR. TROWEL FINISH ALL EXPOSED SURFACES.

**5 STANDARD WROUGHT IRON FENCE**  
NTS



- NOTES:**
- ALL SOLID VINYL FENCING PANELING TO BE IN TAN COLOR.
  - CONTRACTOR TO PROVIDE DETAILED SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

**6 6' HIGH VINYL PRIVACY FENCE (TAN)**  
NTS



MIRACLE PLAY SYSTEMS, TYPHOON STRUCTURE. NATURAL COLOR PALETTE. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO SECURING AND INSTALLING PRODUCT.

BONDED RUBBER MULCH BY RUBBER DESIGNS, CYPRESS COLOR. INSTALLED BY CERTIFIED PROFESSIONAL. SHALL MEET ALL SAFETY CODE REQUIREMENTS FOR THE PLAY STRUCTURES INSTALLED ABOVE.

**7 TOT LOT PLAYGROUND**  
NTS

Section 5, Item D.

**BAER DESIGN GROUP, LLC**  
greg@baerdg.com  
Ph. 208.859.1980

STATE OF IDAHO  
MAGGIE L. CLARK, L.C.  
L.A. - 16794  
2-28-24  
LICENSED LANDSCAPE ARCHITECT

Cranefield Subdivision

Idaho

Star

Landscape Details

Revisions

Project Name: 21001  
Drawn by: MC  
Checked by: GB  
Date: 2.28.2024  
Sheet No.: L1.4





# Star Fire Protection District

DATE: October 9, 2024  
TO: City of Star – Planning and Zoning  
CC: Kimley-Horn  
FROM: Victor Islas, Deputy Chief  
SUBJECT: Fire District Comment  
PROJECT: Cranefield Subdivision Phase 3  
Final Plat FP-24-10

The Star Fire Protection District has reviewed the documents provided by the City of Star for our review final plat for Cranefield Subdivision Phase 3.

This development will be serviced by Station 51 located at 11665 W. State St., Star, ID. Station 51 is 0.8 miles from the development entrance with an estimated 3-minute travel time under normal driving conditions.

The Fire District level of service expectation goal is 5 minutes. This development sits within the Fire District service level expectations when resources are available.

The Star Fire Protection District does not oppose the applications subject to compliance with all the following code requirements and conditions of approval.

CONDITIONS OF APPROVAL:

1. Flag Lots
  - a. If the final plat is approved by council, the following conditions will apply to the flag lots (Block 2 – Lot 82, Lot 83, Lot 74 and Lot 106).
    - i. Homes within flag lots for this development will have a approved NFPA 13D Sprinkler System installed.
    - ii. Separation of driveways using landscaping.
2. Additional Comments
  - a. Any overlooked hazardous condition and/or violation of the International Building and/or Fire Code does not imply approval of such condition or violation.

**AMENDED AND RESTATED DEVELOPMENT AGREEMENT  
MILESTONE RANCH SUBDIVISION AND MILEPOST COMMONS SUBDIVISION**

This Amended and Restated Development Agreement (this “**Agreement**”) is entered into as of the date set forth below by and between the City of Star, a municipal corporation in the State of Idaho (“**City**”), BHEG Milestone Ranch LLC, (“**BHEG**”), and Toll West, Inc (“**Toll West**”), and each of their respective successors and assigns. BHEG and Toll West may be individually referred to as an “**Owner**” and collectively referred to herein as “**BHEG/Toll West**” or “**Owners**”.

**RECITALS**

WHEREAS, pursuant to approvals identified in City File No. AZ 21-10/RZ-21-06/DA-21-15, BHEG and City entered into that certain Development Agreement (Milestone Ranch Subdivision) dated February 8, 2022 (the “**Original Agreement**”), recorded on February 9, 2022 in the records of Ada County as Instrument No. 2022-014198 as part of Ordinance No. 350;

WHEREAS, the real property identified in the Original Agreement was annexed and zoned pursuant to Ordinance No. 350, approval date October 12, 2021 and recorded with the Original Agreement;

WHEREAS, by this Agreement, no changes to Ordinance No. 350 are made;

WHEREAS, the Original Agreement pertained to the development of that certain residential development commonly known as Milestone Ranch and approved for platting pursuant to City File No. AZ 21-10/RZ-21-06/DA-21-15;

WHEREAS, following the approval of Milestone Ranch and the Original Agreement, Owners sought approval for a residential development of property immediately adjacent to and incorporated within the Milestone Ranch project, which project was approved as part of City File No. PP-23-05 and is commonly known as Milepost Commons;

WHEREAS, due to interconnectedness of the Milestone Ranch and Milepost Commons projects, the parties desire to amend and restate the Original Agreement so that one development agreement governs both the Milestone Ranch project and the Milepost Commons project and so that City can review all of the applications affecting the use and development of the area in an integrated manner consistent with the City’s Comprehensive Plan and land use ordinances;

WHEREAS, BHEG/Toll West owns the real property legally described and depicted on Exhibit A attached hereto and made a part hereof, which makes up the Milestone Ranch Development (the “**Milestone Ranch Property**”);

WHEREAS, Toll West owns the real property legally described and depicted on Exhibit B attached hereto and made a part hereof, which makes up the Milepost Commons Development (the “**Milepost Commons Property**”, and together with the Milestone Ranch Property, the “**Property**”);

WHEREAS, this Agreement fully amends and restates the Original Agreement, which following the mutual execution of this Agreement, shall be void and of no further force or effect;

WHEREAS, the City, pursuant to Section 67-6511A, Idaho Code, and City Code at Title 8, Chapter 1, has the authority to enter into and amend a development agreement for the purpose of allowing, by agreement, a specific development to proceed in a specific area and for a specific purpose or use which is appropriate in the area, but for which all allowed uses for the requested zoning may not be appropriate;

WHEREAS, the City has authority to enter into development agreements to condition annexations and re-zones;

WHEREAS, the Owners desire to be assured that they may proceed with developing the Property in accordance with this Agreement;

WHEREAS, the intent of this Agreement is to protect the rights of the Owners and such Owners' successors and assigns' use and enjoyment of the Property while at the same time mitigating any adverse impacts of the development upon neighboring properties and the existing community and ensuring the Property is developed in a manner consistent with City Code.

**AGREEMENT**

THEREFORE, the City and the Owners, for and in consideration of the mutual covenants, duties and obligations herein set forth, hereby agree as follows:

**Section 1 Legal Authority.** This Agreement is made pursuant to and in accordance with the provisions of Idaho Code Section 67-6511A and Star City Code, Title 8, Chapter 1.

**Section 2 Development/Uses/Standards for the Milestone Ranch Development.**

**2.1 Development Acreage and Uses Permitted.** As to the Milestone Ranch Property described on Exhibit A, which constitutes approximately 70.52 acres, BHEG/Toll West is allowed to develop the Milestone Ranch Property as follows:

- Zoning Classification: The zoning classification of the Milestone Ranch Property shall be R-5-DA.
- BHEG/Toll West shall comply with all city ordinances relating to the Milestone Ranch Property except as otherwise provided herein.

**2.2 Site Design.** The Milestone Ranch Property shall be developed in substantial conformance with the approved preliminary plat, a copy of which is attached hereto and incorporated by reference herein as Exhibit C (the "**Milestone Ranch Development**").

**2.3 Uses.** The Milestone Ranch Property is hereby approved for a maximum of 284 residential lots (240 single-family detached lots and 44 single-family attached townhome lots). The Milestone Ranch Property may also be used to provide residential amenities (e.g. clubhouses and parks). When sewer and water are available, but prior to a final plat being recorded for any portion of the Milestone Ranch Property, any owner or developer of such property may apply, through City's standard permit process, for building permits for future residential amenities (e.g. clubhouse) and model homes.

**2.4 Setbacks.** The Milestone Ranch Development shall comply with the following approved setbacks and dimensional standards:

**Single-family Detached Setbacks:**

Max. Height	Min. Front Yard Setback	Min. Rear Yard Setback	Min. Interior Side Setback	Min. Street Side Setback
35'	15' to living area/side load garage 20' to garage face	10'	5'	20'

**Single-Family Attached Setbacks (Front-load):**

Max. Height	Min. Front Yard Setback	Min. Rear Yard Setback	Min. Interior Side Setback	Min. Street Side Setback
35'	15' to living area 20' to garage face	10'	0' for common walls 5' at end of building	20'

**Single-Family Attached Setbacks (Alley-load):**

Max. Height	Min. Front Yard Setback	Min. Rear Yard Setback from Alley	Min. Interior Side Setback	Min. Street Side Setback
35'	10'	20'	0' for common walls 5' at end of building	20'

**2.5 Additional Requirements:**

- Provide a 7-foot sidewalk along W. Floating Feather Road.
- North stub street may be public in future.

**2.6 Milestone Ranch Proportionate Share Agreement for ITD Improvements.** BHEG/Toll West has agreed to participate in the costs of construction or

improvements to the portions of the State Highway System within the City of Star and/or City of Star Area of City Impact. The \$39,200.00 traffic mitigation fee for the Milestone Ranch Development determined by the Idaho Transportation Department shall be paid as follows: a \$138.10 fee will be paid to the City per buildable lot within each phase prior to signature on the final plat for the applicable phase. The City will allocate the funds received to roadway improvements in the vicinity of the Milestone Ranch Development. BHEG/Toll West shall pay this amount (unless otherwise revised by ITD) directly to the City of Star. The City will maintain this contribution in a specific development contributions account, to be distributed to ITD when requested for use with a specific Idaho Transportation Improvement Plan (ITIP) project within the City of Star Area of City Impact or City Limits in accordance with the terms of the Intergovernmental Agreement between the Idaho Transportation Department and the City of Star dated April 22, 2020.

**2.7 Milestone Ranch Conditions, Bonding for Completion.** All of the conditions set forth herein with respect to Milestone Ranch shall be complied with or shall be bonded for completion by BHEG/Toll West before an occupancy permit will be granted within Milestone Ranch, or a specific phase therein. Failure to comply with the Star City Ordinances or the terms of this Agreement with respect to the development of the Milestone Ranch Development shall result in a default of this Agreement by BHEG/Toll West . BHEG/Toll West may be allowed to bond for certain conditions at one hundred and fifty percent (150%) of the estimated cost of completion pursuant to Star City Ordinances.

**Section 3 Development/Uses/Standards for Milepost Commons Development.**

**3.1 Development Acreage and Uses Permitted.** As to the Milepost Commons Property described on Exhibit B, which constitutes approximately 19.93 acres, Toll West is allowed to develop the Milepost Commons Property as follows:

- Zoning Classification: The zoning classification of the Property is R-4.
- Toll West shall comply with all city ordinances relating to the Property except as otherwise provided herein.

**3.2 Site Design.** The Milepost Commons Property shall be developed in substantial conformance with the approved preliminary plat, a copy of which is attached hereto and incorporated by reference herein as Exhibit D (the “**Milepost Commons Development**”).

**3.3 Uses.** The Milepost Commons Property is hereby approved for a maximum of 72 residential lots. The Milepost Commons Property may also be used to provide residential amenities (e.g. clubhouses and parks). When sewer and water are available, but prior to a final plat being recorded for any portion of the Milepost Commons Property, any owner or developer of such property may apply, through City’s standard permit process, for building permits for future residential amenities (e.g. clubhouse) and model homes.

**3.4 Setbacks.** The Milepost Commons Development shall comply with the following approved setbacks and dimensional standards:

Single-family Detached Setbacks:

Max. Height	Min. Front Yard Setback	Min. Rear Yard Setback	Min. Interior Yard Setback	Min. Street Side Setback
35'	15' to living area/side load garage 20' to garage face	10'	7.5'	20'

**3.5 Additional Requirements:**

- Side yard setbacks shall be 7.5'. A waiver has not been granted.
- Council approves minimum rear yard setbacks of 10'.
- A sidewalk/pathway shall be provided in the northwest corner of the Milepost Commons Development along Big Gulch Creek. The sidewalk/pathway shall be in alignment with the pathway installed to the south, between Big Gulch Creek and Iron Mountain Estates. This pathway would be located in the southwest portion of the project, at W Stillmore Street, and in the northwest portion of the project, near the end point of the 12' gravel access road.

**3.6 Proportionate Share Agreement for ITD Improvements.** Toll West has agreed to participate in the costs of construction or improvements to the portions of the State Highway System within the City of Star and/or City of Star Area of City Impact. The \$72,000.00 traffic mitigation fee for the Milepost Commons Development determined by the Idaho Transportation Department shall be paid as follows: a \$1,000.00 fee will be paid to the City per buildable lot within each phase prior to signature on the final plat for the applicable phase. The City will allocate the funds to roadway improvements in the vicinity of the Milepost Commons Development. Toll West shall pay this amount (unless otherwise revised by ITD) directly to the City of Star. The City will maintain this contribution in a specific development contributions account, to be distributed to ITD when requested for use with a specific Idaho Transportation Improvement Plan (ITIP) project within the City of Star Area of City Impact or City Limits in accordance with the terms of the Intergovernmental Agreement between the Idaho Transportation Department and the City of Star dated April 22, 2020.

**3.7 Milepost Commons Conditions, Bonding for Completion.** All of the conditions set forth herein with respect to Milepost Commons shall be complied with or shall be bonded for completion by Toll West before an occupancy permit will be granted within Milepost Commons, or a specific phase therein. Failure to comply with the Star City Ordinances or the terms of this Agreement with respect to the development of the Milepost Commons Development shall result in a default of this Agreement by Toll West. Toll West may be allowed to bond for certain



conditions at one hundred and fifty percent (150%) of the estimated cost of completion pursuant to Star City Ordinances.

**Section 4 Changes and Modifications.** No change in the use or restrictions specified in this Agreement shall be allowed or changed without modification of this Agreement pursuant to the requirements of the Star City Ordinances. In the event any Owner changes or expands the use permitted by this Agreement or fails to comply with the restrictions without formal modification of this Agreement as allowed by the Star City Ordinances, such Owner shall be in default of this Agreement with respect to (i) only that Property owned by said defaulting Owner and (ii) the specific portion of the Property wherein such unauthorized change, expansion, or noncompliance is occurring. This Section 64 is expressly subject to Sections 6 and 8 of this Agreement, which provides that a breach or default by one Owner on one portion of the Property will not impact or effect the rights, duties, and obligations of other Owners on separate portions of the Property.

**Section 5 Affidavit of Property Owner.** At the City's request, the respective Owners shall provide an affidavit agreeing to submit the Property owned by said Owners to this Agreement and to the provisions set forth in Idaho Code section 67-6511A and Star Zoning Ordinance and such affidavit is incorporated herein by reference.

**Section 6 Default.** The failure of either Owner, its heirs or assigns or subsequent owners of the Property or any other person acquiring an interest in the Property or portion thereof, to faithfully comply with any of the terms and conditions of this Agreement shall be deemed a default herein only with respect to such defaulting Owner and the specific portion of the Property owned by such defaulting Owner only. Said default by a defaulting Owner shall not impact, interfere, or delay in any manner with the rights and benefits conferred hereunder to a non-defaulting Owner. This Agreement may be modified or terminated, in whole or in part, by the Star City Council as set forth in the Star City Ordinances. In the event this Agreement is modified, each Owner shall comply with the amended terms as they are applicable. Failure to comply with the amended terms shall result in default; provided, said default by a defaulting Owner shall not impact, interfere, or delay in any manner with the rights and benefits conferred hereunder to a non-defaulting Owner. In the event the City Council, after compliance with the requirements of the Star City Ordinances, determines that this Agreement shall be terminated, the zoning of the Property or portion thereof that has not been developed in accordance with this Agreement shall revert to its prior zoning designation. All uses of such Property, which are not consistent with the prior zoning designation, shall cease. A waiver by the City of Star for any default by Owner of any one or more of the covenants or conditions hereof shall apply solely to the breach and breaches waived and shall not bar any other rights or remedies of the City or apply to any subsequent breach of any such or other covenants and conditions. Each Owner, by entering into this Agreement, does hereby consent to a reversion of the subject property owned by such defaulting party to its prior zoning designation in the event there is a default by such defaulting party in the terms and/or conditions of this Agreement. This Section 66 is expressly subject to 8 of this Agreement, which provides that a breach or default by one Owner on one portion of the Property will not impact or effect the rights, duties, and obligations of other Owners on separate portions of the Property.

**Section 7 Unenforceable Provisions.** If any term, provision, commitment or restriction of this Agreement or the application thereof to any party or circumstances shall, to any

extent, be held invalid or unenforceable, the remainder of the instrument shall remain in full force and effect.

**Section 8 Assignment and Transfer.** After its execution, this Agreement shall be recorded in the office of the County Recorder at the expense of Owners. Each commitment and restriction on the development subject to this Agreement, shall be a burden on the Property, shall be appurtenant to and for the benefit of the Property and shall run with the land. This Agreement shall be binding on the City and each Owner, and their respective heirs, administrators, executors, agents, legal representatives, successors and assigns; provided, however, each Owner, and their respective successors and assigns, shall only be responsible for those duties and obligations associated with such Owner’s parcel(s) and shall not be responsible for any duties and obligations or defaults as to any other parcels or lots within the Property. The new owners of the Property or any portion thereof (including, without limitation, any owner who acquires its interest by foreclosure, trustee’s sale or otherwise) shall be liable for all commitments and other obligations arising under this Agreement with respect only to such owner’s lot or parcel.

**Section 9 General Matters.**

**9.1 Amendments.** Any alteration or change to this Agreement shall be made only after complying with the notice and hearing provisions of Idaho Code Section 67-6509, as required by Star City Code.

**9.2 Paragraph Headings.** This Agreement shall be construed according to its fair meaning and as if prepared by both parties hereto. Titles and captions are for convenience only and shall not constitute a portion of this Agreement. As used in this Agreement, masculine, feminine or neutral gender and the singular or plural number shall each be deemed to include the others wherever and whenever the context so dictates.

**9.3 Choice of Law.** This Agreement shall be construed in accordance with the laws of the State of Idaho in effect at the time of the execution of this Agreement. Any action brought in connection with this Agreement shall be brought in a court of competent jurisdiction located in Ada County, Idaho.

**9.4 Notices.** Any notice which a party may desire to give to another party must be in writing and may be given by personal delivery, by mailing the same by registered or certified mail, return receipt requested postage prepaid, or by Federal Express or other reputable overnight delivery service, to the party to whom the notice is directed at the address of such party set forth below.

Star: City of Star  
Attn: City Clerk  
P.O. Box 130  
Star, Idaho 83669

Owner: BHEG Milestone Ranch LLC  
650 Newport Center Dr.  
Newport Beach, California 92660

Owner: Toll West, Inc.  
1140 Virginia Dr.  
Fort Washington, Pennsylvania 19034

**9.5 Effective Date.** This Agreement shall be effective after delivery to each of the parties hereto of a fully executed copy of this Agreement.

**9.6 Attorney Fees.** Should any litigation be commenced between the parties hereto concerning this Agreement, the prevailing party shall be entitled, in addition to any other relief as may be granted, to court costs and reasonable attorney fees as determined by a court of competent jurisdiction. This provision shall be deemed to be a separate contract between the parties and shall survive any default, termination or forfeiture of this Agreement.

IN WITNESS WHEREOF, the parties have hereunto caused this Agreement to be executed on the day and year set forth below.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Trevor A. Chadwick, Mayor

ATTEST:

\_\_\_\_\_  
Shelly Tilton, City Clerk

OWNER:

\_\_\_\_\_  
BHEG Milestone Ranch, LLC, a Delaware  
limited liability company

\_\_\_\_\_  
By:  
Its:

THE COMMONWEALTH OF )  
 ) ss.  
County of )

On this \_\_\_\_ day of \_\_\_\_\_, 2024, before me the undersigned, a Notary Public in and for said state, personally appeared \_\_\_\_\_, known to me to be the Representative of **BHEG Milestone Ranch LLC**, who subscribed her name to the foregoing instrument, and acknowledged to me that she executed the same in said limited liability company's name.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

\_\_\_\_\_  
Notary Public for  
Residing at \_\_\_\_\_  
My Commission expires \_\_\_\_\_

OWNER:

\_\_\_\_\_  
Toll West, Inc

\_\_\_\_\_  
By:  
Its:

STATE OF            )  
                          ) ss.  
County of            )

On this \_\_\_\_ day of \_\_\_\_\_, 2024, before me the undersigned, a Notary Public in and for said state, personally appeared \_\_\_\_\_, known to me to be the Representative of **Toll West, Inc**, who subscribed her name to the foregoing instrument, and acknowledged to me that she executed the same in said limited liability company's name.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

\_\_\_\_\_  
Notary Public for  
Residing at \_\_\_\_\_  
My Commission expires \_\_\_\_\_



**Exhibit A – Milestone Ranch Property Description**

**Legal Description**

**Milestone Ranch Subdivision – MU to R-5 Rezone**

A parcel of land being Lots 1 and 2 of Block 1 of Hoot Nanney Farms Subdivision as shown in Book 103 of Plats on Pages 13839 through 13841, records of Ada County, Idaho, and a portion of the NW ¼ of the SE ¼ and the SW ¼ of the NE ¼ of Section 4, Township 4 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

Commencing at a Brass Cap monument marking the southwest corner of said NW ¼ of the SE ¼ (CS 1/16 corner), from which an Aluminum Cap monument marking the northwest corner of said NW ¼ of the SE ¼ (C ¼ corner) bears N 0°48'29" E a distance of 1329.13 feet;

Thence along the westerly boundary of said NW ¼ of the SE ¼ N 0°48'29" E a distance of 694.00 feet to the southwest corner of said Lot 2 of Block 1 of Hoot Nanney Farms Subdivision and the **POINT OF BEGINNING**;

Thence continuing along said westerly boundary and the westerly boundary of said Lot 2 N 0°48'29" E a distance of 635.13 feet to the Aluminum Cap marking the northwest corner of said NW ¼ of the SE ¼;

Thence continuing along said westerly boundary of Lot 2 and the westerly boundary of said SW ¼ of the NE ¼ N 0°48'31" E a distance of 979.09 feet to a point marking the northwest corner of said Lot 2;

Thence along the northerly boundary of said Lot 2 and the extension thereof S 89°07'52" E a distance of 1323.06 feet to a point on the easterly boundary of said SW ¼ of the NE ¼;

Thence along said easterly boundary and the easterly boundary of said NW ¼ of the SE ¼ S 0°55'29" W a distance of 2300.84 feet to a Brass Cap marking the southeast corner of said NW ¼ of the SE ¼;

Thence along the southerly boundary of said NW ¼ of the SE ¼ N 89°27'07" W a distance of 690.31 feet to a 5/8 inch diameter iron pin on the extension of the westerly boundary of said Lot 1;

Thence along the westerly boundary of said Lot 1 and the extension thereof N 0°48'29" E a distance of 694.00 feet to a 5/8 inch diameter pin marking the northwest corner of said Lot 1;

Thence along the southerly boundary of said Lot 2 N 89°27'07" W a distance of 628.08 feet to the **POINT OF BEGINNING**.

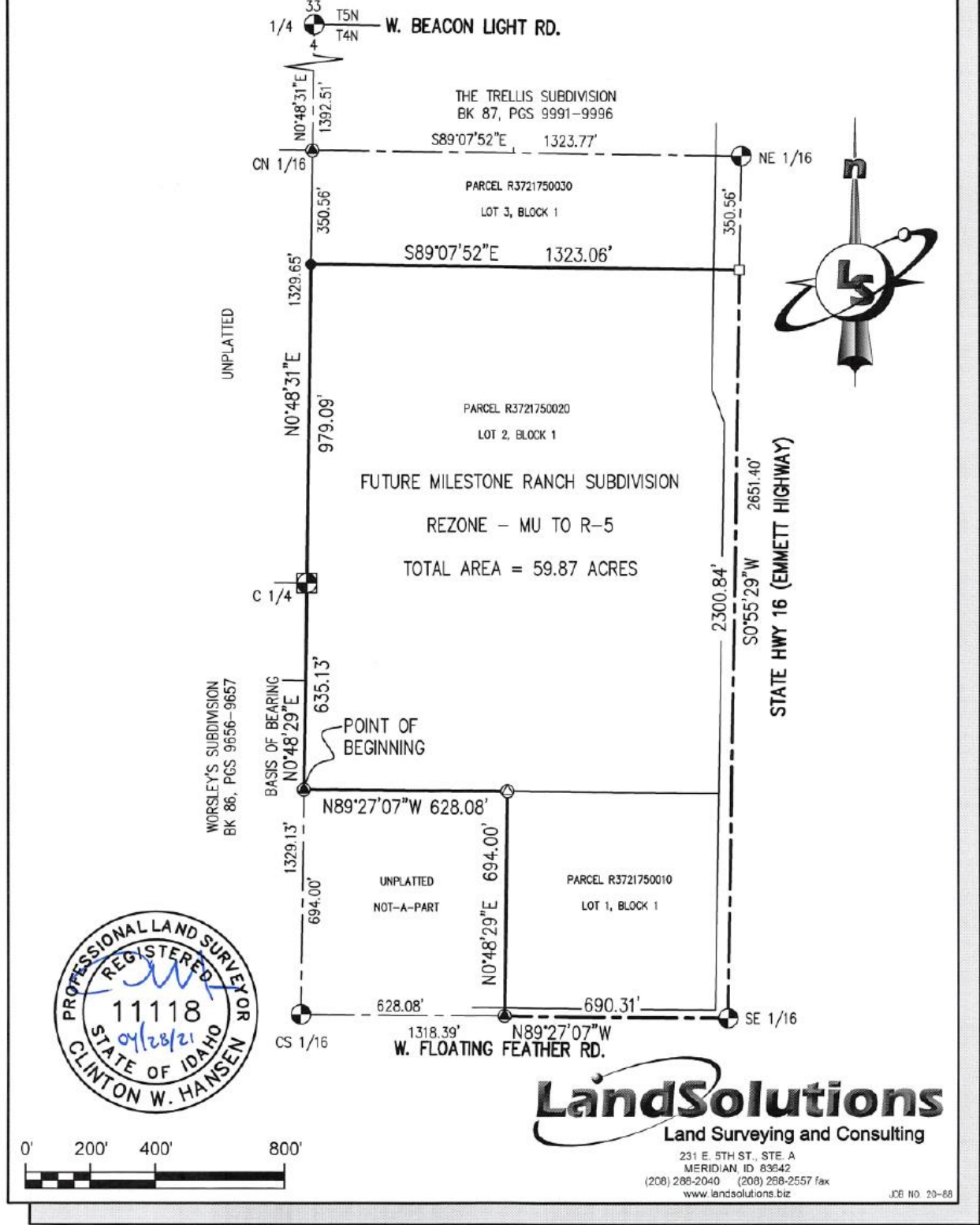
This parcel contains 59.87 acres and is subject to any easements existing or in use.

Clinton W. Hansen, PLS  
Land Solutions, PC  
April 28, 2021



# MILESTONE RANCH SUBDIVISION

## MU TO R-5 REZONE EXHIBIT



**LandSolutions**  
Land Surveying and Consulting

231 E. 5TH ST., STE. A  
MERIDIAN, ID 83642  
(208) 288-2040 (208) 288-2557 fax  
www.landsolutions.biz JCB NO. 20-88

**Legal Description**  
**Milestone Ranch Subdivision – Annexation and R-5-DA Rezone**

A parcel of land being Lot 3 of Block 1 of Hoot Nanney Farms Subdivision as shown in Book 103 of Plats on Pages 13839 through 13841, records of Ada County, Idaho, and a portion of SW ¼ of the NE ¼ of Section 4, Township 4 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

Commencing at a Brass Cap monument marking the northwest corner of the NE ¼ of said Section 4, from which an Aluminum Cap monument marking the southwest corner of said SW ¼ of the NE ¼ (C ¼ corner) bears S 0°48'31" W a distance of 2659.16 feet;

Thence along the westerly boundary of said NE ¼ S 0°48'31" W a distance of 1392.51 feet to the northwest corner of said Lot 3 of Block 1 of Hoot Nanney Farms Subdivision and the **POINT OF BEGINNING**;

Thence along the northerly boundary of said Lot 3 and the extension thereof, also being the northerly boundary of said SW ¼ of the NE ¼, S 89°07'52" E a distance of 1323.77 feet to a Brass Cap monument marking the northeast corner of said SW ¼ of the NE ¼;

Thence along said easterly boundary of said NW ¼ of the SE ¼ S 0°55'29" W a distance of 350.56 feet to a point on the extension of the southerly boundary of said Lot 3;

Thence along said southerly boundary of Lot 3 and the extension thereof N 89°07'52" W a distance of 1323.06 feet to a point marking the southwest corner of said Lot 3;

Thence along the westerly boundary of said Lot 3 N 0°48'31" E a distance of 350.56 feet to the **POINT OF BEGINNING**.

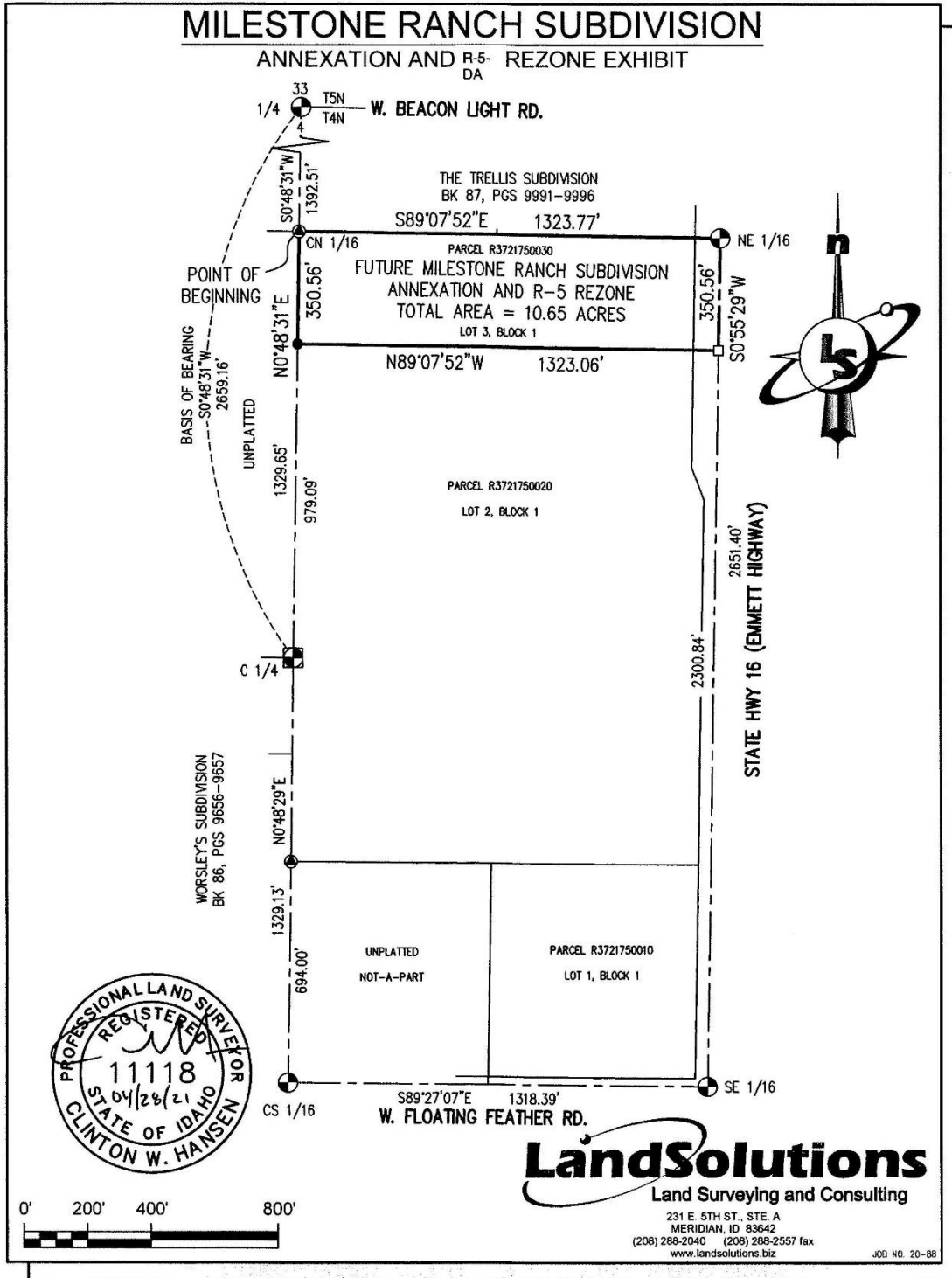
This parcel contains 10.65 acres and is subject to any easements existing or in use.

Clinton W. Hansen, PLS  
Land Solutions, PC  
April 28, 2021



Milestone Ranch Subdivision  
Job No. 20-88  
Page 1 of 1

# EXHIBIT A





## Exhibit B – Milepost Commons Property Description

A PARCEL OF LAND SITUATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 4, FROM WHICH THE NORTHWEST CORNER OF SAID SECTION 4 BEARS N89°01'06"W, A DISTANCE OF 2,632.47 FEET;

THENCE N89°01'06"W, ALONG THE NORTH LINE OF SAID SECTION 4, A DISTANCE OF 1,316.22 FEET TO THE NORTH COMMON CORNER OF GOVERNMENT LOTS 3 AND 4 OF SAID SECTION 4;

THENCE S00°48'35"W, ALONG THE COMMON LINE OF GOVERNMENT LOTS 3 AND 4, A DISTANCE OF 1,394.66 FEET TO THE SOUTH CORNER COMMON TO SAID GOVERNMENT LOTS 3 AND 4, SAID POINT BEING THE **POINT OF BEGINNING**;

THENCE S89°06'47"E, ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 3 A DISTANCE OF 1,316.23 FEET TO THE COMMON CORNER OF SAID GOVERNMENT LOT 3 AND THE NORTHWEST CORNER OF HOOT NANNEY FARMS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN BOOK 103 OF PLATS, PAGES 13839 THROUGH 13841 OF ADA COUNTY RECORDS;

THENCE S00°48'31"W, ALONG THE WEST LINE OF SAID HOOT NANNEY FARMS SUBDIVISION, A DISTANCE OF 1,329.65 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 4, SAID POINT ALSO BEING THE NORTHEAST CORNER OF WORSLEY'S FOLLY SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN BOOK 86 OF PLATS, PAGES 9656 AND 9657 OF ADA COUNTY RECORDS;

THENCE N89°15'50"W, ALONG THE NORTH LINE OF SAID WORSLEY'S FOLLY SUBDIVISION, A DISTANCE OF 656.24 FEET TO THE NORTHEAST CORNER OF IRON MOUNTAIN ESTATES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN BOOK 121 OF PLATS, PAGES 19064 THROUGH 19069 OF ADA COUNTY RECORDS;

THENCE N89°14'30"W, ALONG THE NORTH LINE OF SAID IRON MOUNTAIN ESTATES SUBDIVISION AND THE NORTH LINE OF SCHREINER SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN BOOK 59 OF PLATS AT PAGE 5716 OF ADA COUNTY RECORDS, A DISTANCE OF 656.39 FEET TO THE CENTER-WEST 1/16<sup>TH</sup> SECTION CORNER, SAID POINT BEING ON THE WEST LINE OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 4;

THENCE NORTH 00°39'14" EAST, ALONG SAID WEST LINE, A DISTANCE OF 80.00 FEET;

THENCE SOUTH 89°14'49" EAST, A DISTANCE OF 865.00 FEET;

THENCE NORTH 00°39'14" EAST, A DISTANCE OF 550.00 FEET;

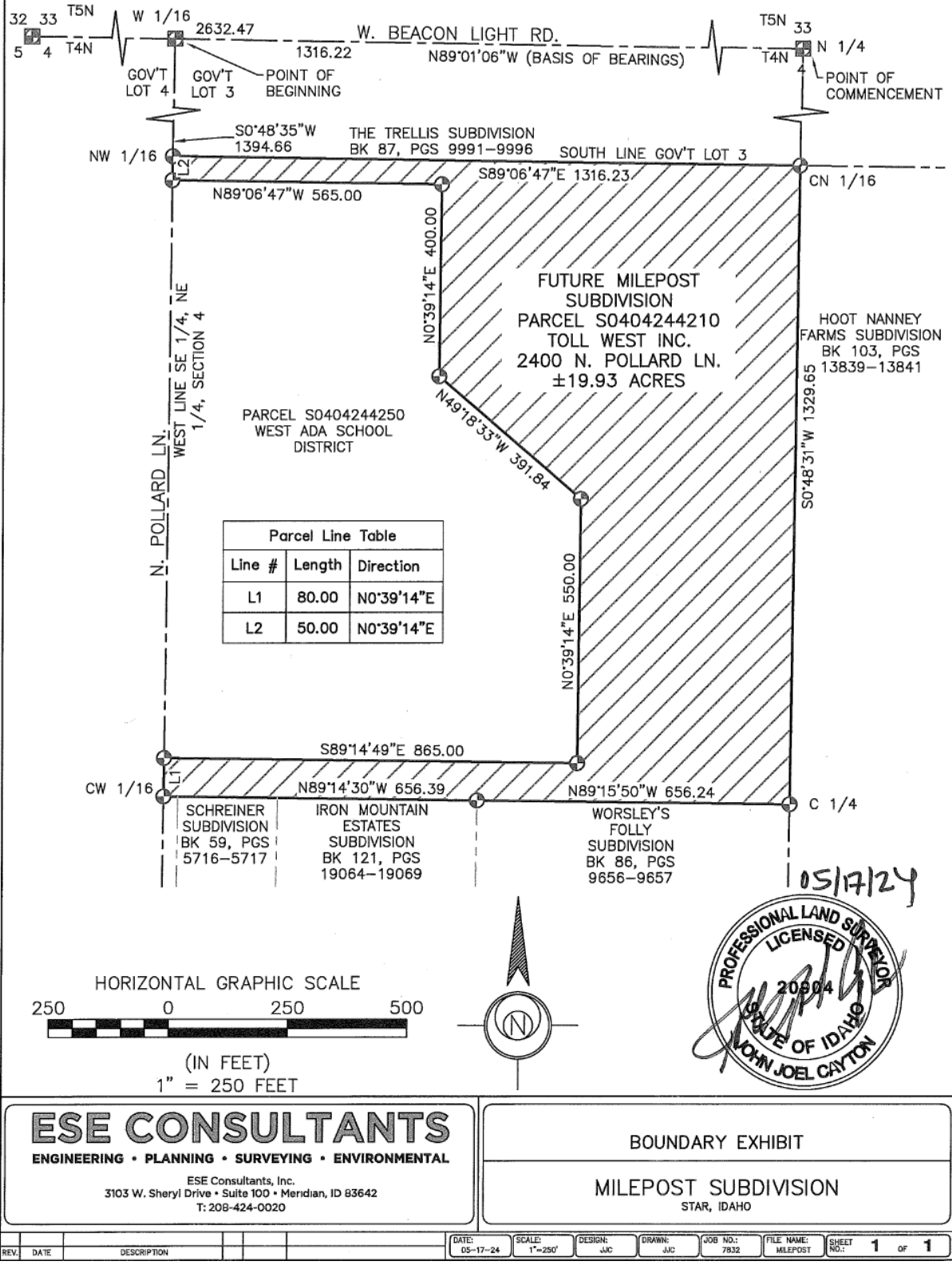
THENCE NORTH 49°18'33" WEST, A DISTANCE OF 391.84 FEET;

THENCE NORTH 00°39'14" EAST, A DISTANCE OF 400.00 FEET;

THENCE NORTH 89°06'47" WEST, A DISTANCE OF 565.00 FEET TO A POINT ON SAID WEST LINE OF SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 4;

THENCE NORTH 00°39'14" EAST, ALONG SAID WEST LINE, A DISTANCE OF 50.00 FEET TO THE **POINT OF BEGINNING**.

CONTAINS: +/- 19.93 ACRES



**Exhibit C – Milestone Ranch Development Preliminary Plat**

[see following one (1) page]



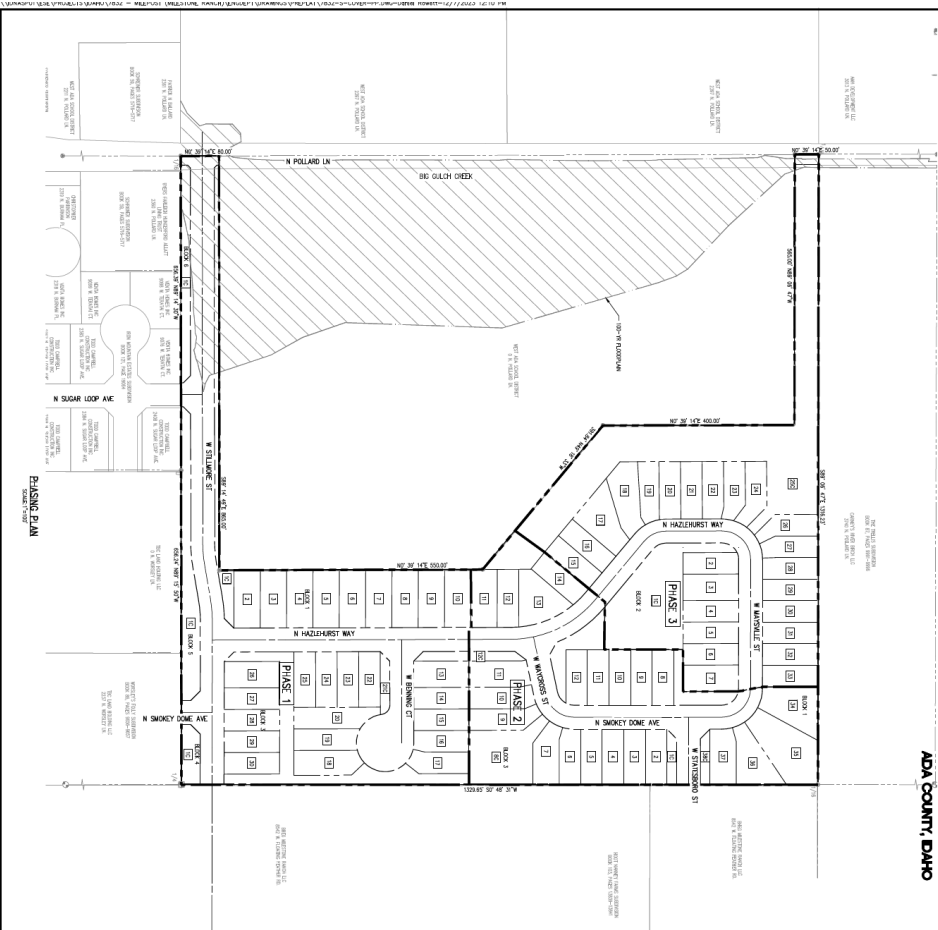


**Exhibit D – Milepost Commons Development Preliminary Plat**

[see following one (1) page]

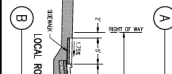
# PRELIMINARY PLAN FOR MILEPOST COMMONS SUBDIVISION

PROPERTY LOCATED IN THE NW ¼ OF SECTION 4, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN,  
ADA COUNTY, IDAHO



**PRELIMINARY PLANNING NOTES:**

1. SHOWN ARE AND COORDINATE WITH THE RECORD OF THIS SUBDIVISION AND SHALL BE CONSIDERED AS PART OF THIS SUBDIVISION.
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**LEGEND**

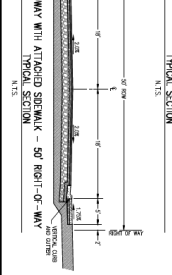
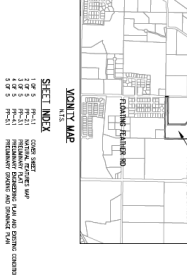
Symbol	Description
○	Lot Center
□	Lot Boundary
—	Property Boundary
—	Right-of-Way Boundary
—	Street Boundary
—	Utility Line
—	Setback Line
—	Other Boundary

**LAND USE SUMMARY**

Use	Area (Sq. Ft.)
Residential Single-Family	1,234,567
Commercial	123,456
Public Use	56,789
Other	12,345

**BUILDING SETBACK REQUIREMENTS**

Setback	Requirement
Front	10' (15' for 1.5-story)
Rear	5'
Side	5' (10' for 1.5-story)
Corner	10' (15' for 1.5-story)



**COVER SHEET**

**MILEPOST COMMONS SUBDIVISION**

SEC. 4, T. 4N., R. 1W., B.M., STAR, ADA COUNTY, IDAHO

DATE: 12/27/23	PRELIM. SUBMITTAL	SCALE: AS SHOWN	SHEET: 1 OF 5
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**CONTRACTOR**  
DAVID L. STARR, INC.

**OWNER**  
MILEPOST COMMONS, INC.

**DESIGNER**  
ESE CONSULTANTS, INC.

**DATE**  
12/27/23

**ESE CONSULTANTS**

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.  
2101 W. Brady Blvd., Suite 400 • Boise, Idaho 83725 • © 2024  
T: 208-334-0050

IDAHO PROFESSIONAL ENGINEERING BOARD

12449

MAY 14, 2024

MISTY E. BOYD

APPROVED FOR REVIEW



**CITY OF STAR**  
**LAND USE STAFF REPORT**

**TO:** Mayor & Council

**FROM:** City of Star Planning Department *Shen T. Smith*

**MEETING DATE:** **October 15, 2024 – PUBLIC HEARING**

**FILE(S) #:** CUP-24-06 – Dowdy’s Automotive

**OWNER/APPLICANT/REPRESENTATIVE**

**Representative:**

Jeff Likes  
ALC  
1119 E. State Street, Ste. 120  
Eagle, Idaho 83616

**Applicant:**

Dakota Gullickson  
350 N. 9<sup>th</sup> St. Ste. 200  
Boise, Idaho 83702

**Owner:**

Norterra Holdings LLC  
Travis Stroud  
1980 S. Meridian Road, Ste. 140  
Meridian, Idaho 83616

**REQUEST**

**Request:** The Applicant is seeking approval of a Conditional Use Permit to construct an automotive repair facility. The property is located at 12645 W. Norterra Lane in Star, Idaho. The property size is approximately .80 acres and currently zoned Central Business District (CBD-DA).

**PROPERTY INFORMATION**

**Property Location:** The subject property is generally located east of Can Ada Road and north of W. State Street (Hwy 44). Ada County Parcel Numbers R6119280400.

**APPLICATION REQUIREMENTS**

Pre-Application Meeting Held	August 15, 2024
Neighborhood Meeting Held	August 27, 2024

Application Submitted & Fees Paid	August 28, 2024
Application Accepted	September 5, 2024
Residents within 300' Notified	September 23, 2024
Agencies Notified	September 5, 2024
Legal Notice Published	September 26, 2024
Property Posted	September 25, 2024

**HISTORY**

- October 6, 2020 Council approved Annexation and Rezone (AZ-20-05), Development Agreement (DA-20-05), Preliminary Plat (PP-20-07) and Private Road (PR-20-03) for Norterra Subdivision.
- March 3, 2021 Annexation recorded via Ordinance 327.
- June 1, 2021 Council approved Final Plat (FP-21-10) for Norterra Subdivision, Phase 1. This phase consists of 118 residential lots and 8 common lots on 19.95 acres.
- October 19, 2021 Council approved Final Plat (FP-21-23) for Norterra Subdivision, Phase 2. This phase consists of 0 residential lots, 2 common lots and 32 commercial lots on 27.67 acres.

**ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN**

**UNIFIED DEVELOPMENT CODE:**

**8-1B-4: CONDITIONAL USES:**

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a specific property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use within this title. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through issuance of a conditional use permit, development agreement or PUD, upon approval by Council.

C. Process:

1. The applicant shall complete a pre-application conference with the administrator prior to submittal of an application for a conditional use.

2. A neighborhood meeting shall be held by the applicant pursuant to Section 8-1A-6C of this title.





3. An application and appropriate application fees shall be submitted to the City on forms provided by the city.

4. Prior to issuing the conditional use permit, the administrator may require additional information, including studies, concerning the social, economic, fiscal or environmental effects of the proposed conditional use. Traffic studies may be required by the transportation authority prior to acceptance of an application.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.
3. Control the duration of the use.
4. Assure that the use and the property in which the use is located is maintained properly.
5. Designate the location and nature of the use and the property development.
6. Require the provision for on site or off-site public facilities or services.
7. Require more restrictive standards than those generally required in this title.
8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

E. Findings: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use shall meet the intent of the Star comprehensive plan and be in compliance with the requirements of this title.
3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance as determined by the City.

**8-1B-4E. FINDINGS:** The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

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2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

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8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

**8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

(CBD) CENTRAL BUSINESS DISTRICT: To provide for commercial, retail, civic, office, and entertainment uses. High density housing is encouraged on the upper floors of mixed-use buildings and may also be allowed at the fringes of the land use designation shown on the comprehensive plan. Live/work designed development is also encouraged in this district. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility. Special emphasis shall be placed on development in the central downtown area to encourage and create a vibrant, walkable downtown community that incorporates the Boise River as an active amenity.

**8-3A-3: USES WITHIN ZONING DISTRICTS**

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	CBD
Automotive mechanical/electrical repair and maintenance	C

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
CBD	35'	0'	0'	0' <sup>4</sup>	0'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

**8-4B-3: REQUIRED NUMBER OF OFF-STREET PARKING SPACES:**

Automotive repair shop, body shop, or tire shop	1 for each 225 square feet of gross floor area.
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**COMPREHENSIVE PLAN:**

8.2.3 Land Use Map Designations:

Central Business District

The Central Business District is planned to be a vibrant downtown center for the community. Uses encouraged are commercial, retail, civic, private offices, and entertainment. High density housing is encouraged on the upper floors of mixed-use



buildings and at the fringes of the land use designation. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility.

### 8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

### 8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

### 8.5.5 Policies Related Mostly to The Central Business District Planning Areas:

- The CBD zoning district should allow for a mix of commercial, office, institutional, and civic type uses with specific provisions for residential use in appropriate locations with compatible densities.
- The city should develop a street improvement plan for the CBD identifying drainage and street improvements with a functional grid system and use public private partnerships to assure the system is built and that "ad hoc" development of parcels within the CBD do not block good planning.
- The city should develop a downtown grid system, in part, planning for the easterly extension of Tempe Lane and easterly extension of West First Street to help provide better downtown access and parking facilities.
- The east west public road from the Heron River Development, south of the LDS Church on Main Street, should be extended to Star Road.
- Implement, review, and update the 2011 Star Downtown Revitalization Plan for development strategies within the plan intended to stimulate development within the CBD.
- As recommended in the 2011 Star Downtown Revitalization Plan, the city should create an Urban Renewal District to stimulate development within the CBD.
- The city should encourage assemblage of the smaller properties where appropriate.

8.5.6 Policies Related Mostly to the Commercial Planning Areas:

- Assist in the provision of coordinated, efficient, and cost-effective public facilities and utility services, carefully managing both residential and non-residential development and design, and proactively reinforcing downtown Star’s role as the urban core while protecting existing property rights. B. Encourage commercial facilities to locate on transportation corridors. C. Locate neighborhood services within walking distance to residential development. D. Discourage the development of strip commercial areas. E. Maintain and develop convenient access and opportunities for shopping and employment activities. F. Commercial areas of five acres or less should be encouraged in residential land use designations with appropriate zoning to allow for commercial services for residential neighborhoods and to limit trip lengths. Such commercial areas should be submitted for approvals with a Conditional Use Permit or Development Agreement to assure that conditions are placed on the use to provide for compatibility with existing or planned residential uses. These areas should be oriented with the front on a collector or arterial street.
- 8.5.9 Additional Land Use Component Policies:
- Encourage flexibility in site design and innovative land uses.
  - Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
  - Support well-planned, pedestrian-friendly developments.
  - Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

**PROJECT OVERVIEW**

**CONDITIONAL USE PERMIT:**

The applicant is requesting approval of a Conditional Use Permit for an approximately 4,955 square foot automotive repair facility. The property is currently zoned Central Business District (CBD-DA). The Unified Development Code, Section 8-3A-3, and the recorded Development Agreement for Norterra Subdivision requires all automotive mechanical/electrical repair or maintenance uses to be approved through a Conditional Use Permit.

Section 8-4B-3 requires automotive repair shop, body shop or tire shop to provide 1 parking spot per 225 square feet of gross floor area. The proposed building size would require 22 parking spaces. The Applicant is proposing 19 external spots and 4 spots using the bays in the building for a total of 23 parking spaces. This will satisfy the parking requirements of the Unified Development Code. The Applicant is proposing 1 ADA parking stall.

Section 8-4B-2 of the UDC requires all parking stalls to be a minimum of nine feet (9') wide and twenty feet (20') deep.

- A. When a vehicle bumper overhangs onto a sidewalk or landscape area, the parking stall dimensions may be reduced two (2) feet in length if two (2) feet is added to the width of the sidewalk or landscaped area, and the additional area is planted in ground cover. In this case, wheel restraints may be removed.

The proposed site plan calls out the appropriate dimensions to satisfy these requirements.

Access is proposed to be taken from W. Norterra Lane on the north of the property and from the private lane to the south of the property.

The Unified Development Code (UDC), Section 8-4B-2 requires "all drive aisles adjacent to a building shall be a minimum of 25' 0" or as required by the fire code..." The proposed site plan appears to call out 25 feet at the narrowest section of the drive aisle, satisfying this portion of the UDC.

All signage, including building, directional and monuments will need separate permits and approval from Staff.

The applicant has not asked for any setback waivers and the site plan is compliant with the required Commercial setbacks.

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. **The Applicant has provided a landscape plan that appears to satisfy these requirements. The proposed plan also appears to satisfy the commercial parking lot requirements for landscaping.**

**The applicant has provided exterior elevations and color renderings that will need to be reviewed by the Design Review Committee, as part of the Certificate of Zoning Compliance process, for approval.**

The proposed dumpster location appears to be in a good location so as not to disturb any adjacent residences. The Applicant should gain approval on final location from Republic Services. Staff is supportive of a brick CMU trash enclosure with metal double gates.

**The Applicant has not provided a site/building lighting plan. This will need to be submitted and reviewed as part of the Design Review/CZC process.**

**AGENCY RESPONSES**

No agency comments have been received.

**PUBLIC RESPONSES**

No public comments have been received.

**STAFF ANALYSIS & RECOMMENDATIONS**

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed conditional use permit meets the requirements, standards and intent for development as they relate to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

**FINDINGS**

**CONDITIONAL USE PERMIT FINDINGS:**

- 1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

*The Council must find that the site of the proposed use would be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.*

- 2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

*The Council must find that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development should meet the intent or purpose of the Mixed-Use District.*

- 3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

*The Council must find that the operation of the proposed use would be compatible with the other uses in the general area.*





- 4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

*The Council must find that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.*

- 5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

*The Council must find that the proposed use be adequately served by essential public facilities and services.*

- 6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

*The Council must find that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community.*

- 7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

*The Council must find that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*

- 8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

*The Council must find that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.*

**CONDITIONS OF APPROVAL**

- 1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 2. **Prior to issuance of a building permit, the applicant shall receive a certificate of zoning compliance and design review for compliance with the Architectural Design Guidelines.**
- 3. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 4. A form signed by the Star Sewer & Water District shall be submitted to the City prior to issuance of building permit stating that all conditions of the District have been met, including annexation into the District.

5. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
6. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy of the unit.
7. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
8. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
9. A Certificate of Zoning Compliance will be required prior to the start of construction.
10. Any additional Condition of Approval as required by Staff and City Council.
11. Any Conditions of Approval as required by Star Fire Protection District.
12. The property associated with this approved conditional use permit shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of the conditional use permit or building permit.
13. Any additional Condition of Approval as required by Staff and City Council.

**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File Number CU-24-06 for Dowdy's Automotive on \_\_\_\_\_, 2024.





CAN ADA

SITE

STATE STREET

ALBERTSONS

DOWDY'S STAR  
12645 W. NORTERRA LN, STAR, ID 83669  
VICINITY MAP



1  
VIC

VICINITY MAP

NOT TO SCALE

REVISION:

FILE NO.:

PROJECT NO.:

DRAWING:

VIC

94



**City of Star Planning and Zoning Department**

**Re: Conditional Use Request for Auto Repair Shop at Norterra Mixed-Use Development**

**Location:** 12645 W Norterra Ln, Star, ID 83669

**Parcel Number:** R6119280400

**Current Zoning:** Central Business District (CBD)

Dear Members of the Planning and Zoning Commission,

We are writing to formally request a conditional use permit for an auto repair shop at the Norterra Mixed-Use Development, located at 12645 W Norterra Ln, Star, ID 83669. The subject parcel, identified as #R6119280400, is currently zoned as Central Business District (CBD) and is presently vacant.

Our proposal is to establish an auto repair shop within this location, aligning with the vibrant, mixed-use character envisioned for the Norterra development. We believe this use will complement the existing businesses and contribute positively to the area by:

1. **Enhancing Local Services:** The auto repair shop will offer essential services to residents and businesses in the area, filling a need that aligns with the convenience and accessibility goals of the Central Business District.
2. **Generating Economic Activity:** By attracting customers and creating job opportunities, the shop will stimulate economic activity within the Norterra Mixed-Use Development and the broader community.
3. **Maintaining Zoning Consistency:** We are committed to adhering to the Central Business District zoning regulations and do not seek any changes to the current zoning classification. The auto repair shop will operate in a manner that respects the CBD’s objectives and integrates seamlessly with other permitted uses.
4. **Supporting Community Development:** Our business plan includes sustainable practices and community engagement, ensuring that the shop contributes positively to the overall ambiance and development of the Norterra area.

We are prepared to address any concerns and comply with all conditions that the Planning and Zoning Commission may require to ensure that our use aligns with the City’s vision for the Central Business District. Thank you for considering our request.

Sincerely, 

**Dakota Gullickson**  
**Owners Representative**  
**Rocky Mountain Companies**



## CONDITIONAL USE PERMIT APPLICATION

*\*\*\*All applicable information must be filled out to be processed.*

FILE NO.: **CU-24-06**  
Date Application Received: **8-28-24** Fee Paid: **\$1660.00**  
Processed by: City: **BN**

### Applicant Information:

**PRIMARY CONTACT IS:** Applicant  Owner  Representative

Applicant Name: Dakota Gullickson  
Applicant Address: 350 N 9th St, Suite 200, Boise, ID Zip: 83702  
Phone: 208.345.7030 Email: dgullickson@rmcos.com

Owner Name: Travis Stroud - Norterra Holdings LLC  
Owner Address: 1980 S Meridian Rd, Suite 140, Meridian, ID Zip: 83642  
Phone: 208.577.5810 Email: travis@nwdevco.com

Representative (e.g., architect, engineer, developer):  
Contact: Jeff Likes Firm Name: ALC  
Address: 1119 E State Street, Suite 120 Zip: 83616  
Phone: 208.514.2713 x8200 Email: jeff@alcarchitecture.com

### Property Information:

Site Address: 12645 W Norterra Ln, Star, ID 83669 Parcel Number: R6119280400  
Requested Condition(s) for Conditional Use: Auto repair use in Central Business District (CBD)

	Zoning Designation	Comp Plan Designation
Existing	CBD-DA (Central Business District)	Central Business District
Proposed	CBD-DA (Central Business District)	Central Business District
North of site	R-7-DA (Residential)	Compact Residential
South of site	CBD-DA (Central Business District)	Central Business District
East of site	CBD-DA (Central Business District)	Central Business District
West of site	CBD-DA (Central Business District)	Central Business District



**Site Data:**

Total Acreage of Site: .8 acres

Proposed Percentage of Site Devoted to Bldg Coverage: 14%

Proposed Percentage of Site Devoted to Landscaping: 17.3%

Number of Parking spaces: Proposed 19 Required 2 per bay - 8 required

Requested Front Setback: 49' North Requested Rear Setback: 18' South

Requested Side Setback: 5'-6" East Requested Side Setback: 5'-6" West

Requested Side Setback: N/A

Existing Site Characteristics: Site includes the entirety of Norterra Ln on North side and comes to the middle of the private drive on the south side.

Number and Uses of Proposed Buildings: 1

Location of Buildings: Center of the site

Gross Floor Area of Proposed Buildings: 4,955 SF

Describe Proposed On and Off-Site Traffic Circulation: Traffic circulation can come from Can Ada Road running North-South and enter on Norterra or the Private Drive. Traffic can also enter site by turning off State St onto Quincannon Ln and then accessing Norterra or the Private Drive.

Proposed Signs – number, type, location: (4) 3'x13' building signs  
(include draft drawing) see elevations at end of application

Public Services (state what services are available and what agency is providing the service):  
Potable Water - Star Sewer & Water - stubbed in from south on private drive  
Irrigation Water - Star Sewer & Water - stubbed in from south on private drive  
Sanitary Sewer - Star Sewer & Water - stubbed in from south on private drive  
Schools - N/A  
Fire Protection - Star Fire District - Star Fire Station 51  
Roads - Ada County Highway District

**Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):**

Subdivision/Project Name: Norterra Mixed-Use Development Phase: 2

Special Flood Hazard Area: total acreage 0 number of homes/structures N/A

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: 16001C0125J  
FIRM effective date(s): mm/dd/year 6/19/2020  
Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: N/A  
Base Flood Elevation(s): AE N/A .0 ft., etc.: N/A
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

**Application Requirements:**

*(Applications are required to contain one copy of the following unless otherwise noted.)*

Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	BN
	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	BN
✓	Completed and signed Conditional Use Application	BN
✓	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments. <b>\$1660 + \$55.01 radius fee = \$1750.01</b>	BN
✓	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	BN
✓	Legal description of the property (word.doc and electronic version with engineer's seal):	BN
✓	Copy of recorded warranty deed.	BN
✓	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	BN
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	BN
N/A	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
✓	Vicinity map showing the location of the subject property	BN
	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	BN
	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	BN
✓	Building elevations showing construction materials	BN
	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, shall be submitted in original pdf format (no scans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	BN
DW	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

**Site Plan (If applicable):**

	<b>The following items must be included on the site plan:</b>	BN
✓	• Date, scale, north arrow, and project name	BN
✓	• Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan	BN
✓	• Existing boundaries, property lines, and dimensions of the lot	BN
✓	• Relationship to adjacent properties, streets, and private lanes	BN
✓	• Easements and right-of-way lines on or adjacent to the lot	BN
✓	• Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties	BN
✓	• Building locations(s) (including dimensions to property lines)	BN
✓	• Parking and loading areas (dimensioned)	BN
✓	• Traffic access drives and traffic circulation (dimensioned)	BN

✓	• Open/common spaces	BN
✓	• Refuse and service areas	BN
✓	• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing & proposed)	BN
✓	• All on-site lighting proposed – Must Meet City “Dark Sky” Ordinances	BN

**Landscape Plan (If applicable):**

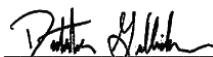
	<b>The following items must be included on the landscape plan:</b>	
✓	• Date, scale, north arrow, and project name	BN
✓	• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan	BN
✓	• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings	BN
✓	• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.	BN
✓	• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements	BN
✓	• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours	BN
✓	• Sight Triangles as defined in 8-4 A-7 of this Ordinance	BN
✓	• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size	BN
✓	• Proposed screening structures	BN
✓	• Design drawings(s) of all fencing proposed	BN
✓	• Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> <li>➢ Number of street trees and lineal feet of street frontage</li> <li>➢ Width of street buffers (exclusive of right-of-way)</li> <li>➢ Width of parking lot perimeter landscape strip</li> <li>➢ Buffer width between different land uses</li> <li>➢ Number of parking stalls and percent of parking area with internal landscaping</li> <li>➢ Total number of trees and tree species mix</li> <li>➢ Mitigation for removal of existing trees, including number of caliper inches being removed</li> </ul>	BN

**SIGNS (If applicable):**

All signs will require separate submittal of a sign application.

**FEE REQUIREMENT:**

***\*\* I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.***



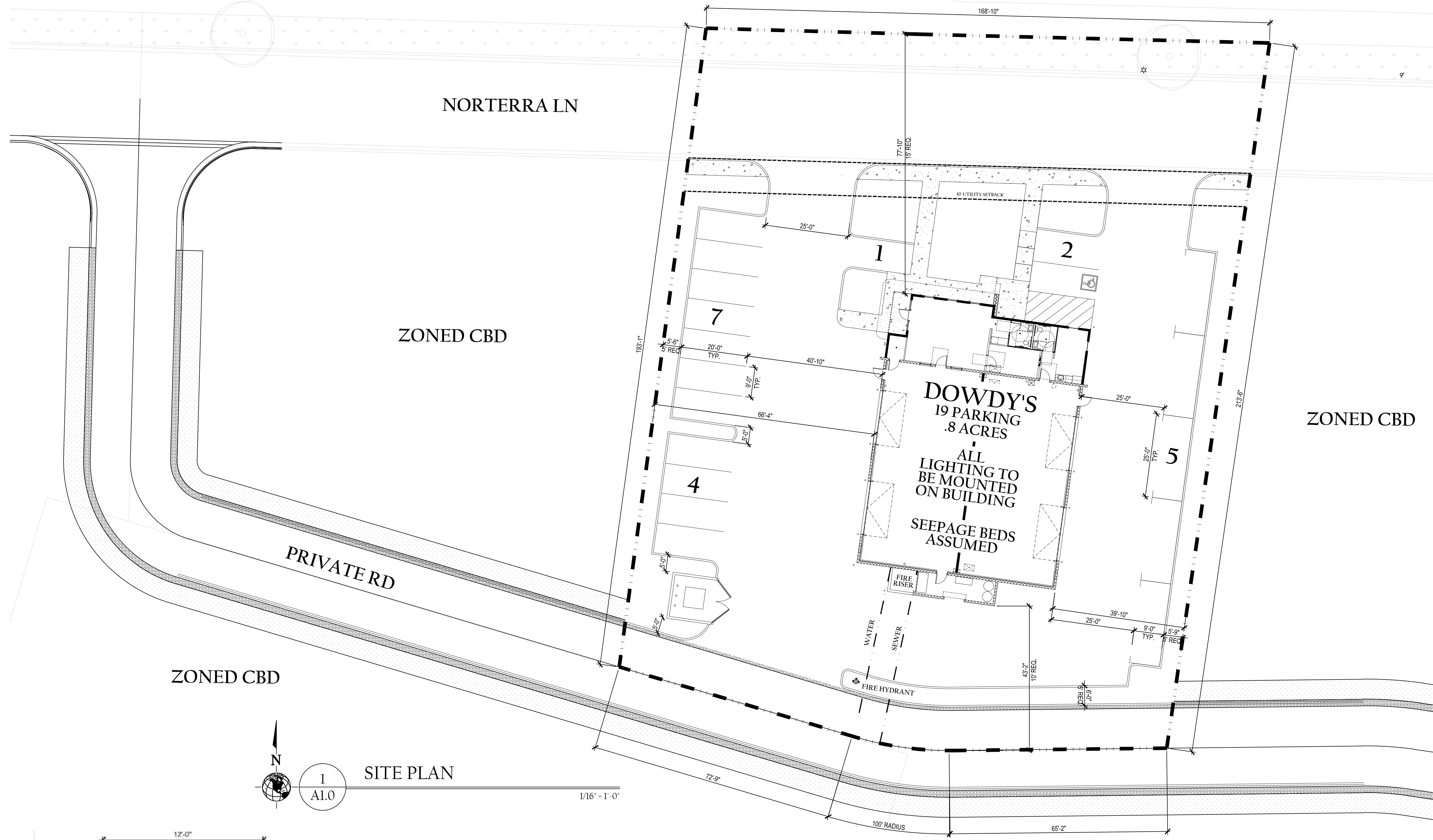
Dakota Gullickson

8/28/24

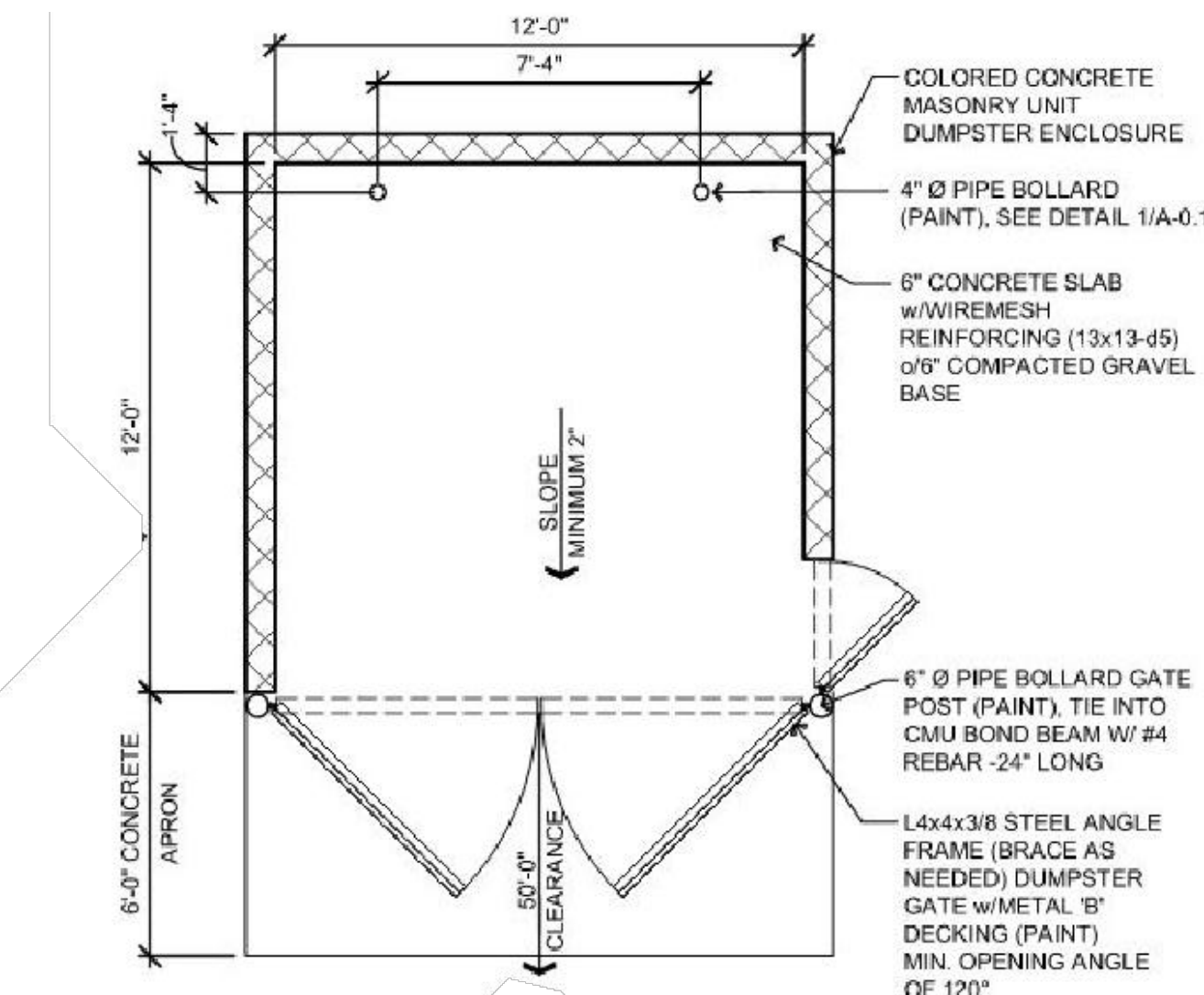


**PROJECT INFORMATION**

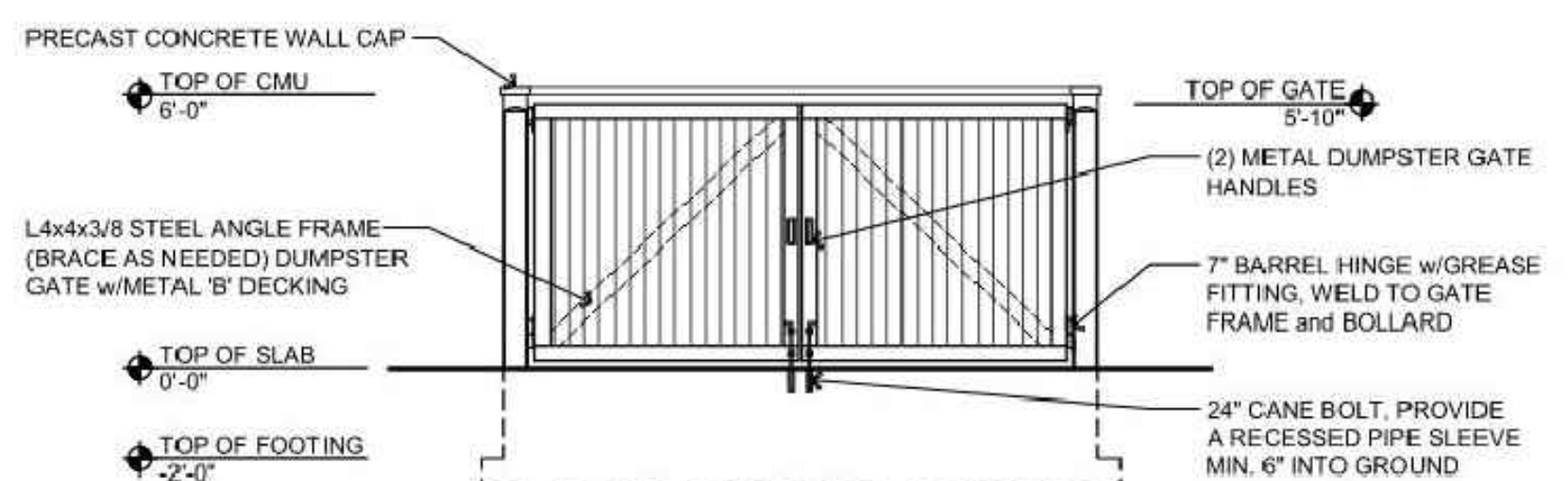
PARKING: 2 SPACES PER SERVICE BAY (8-4B-3)  
 REQUIRED: 8 SPACES  
 PROVIDED: 21 SPACES  
 BICYCLE PARKING: NO REQUIREMENT.  
 REQUIRED: 0 SPACES  
 PROVIDED: 0 SPACES



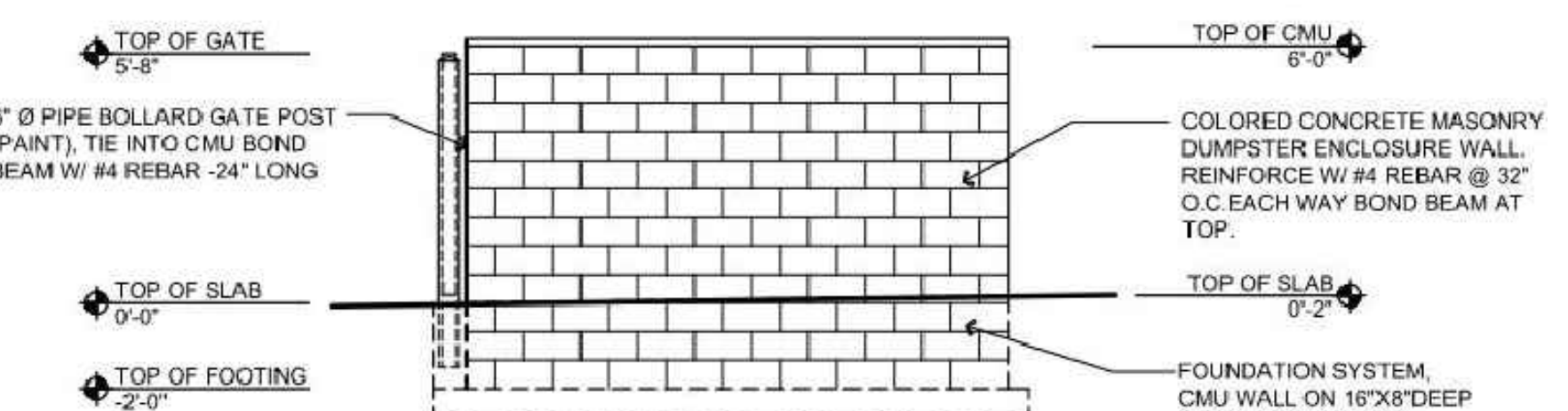
1 SITE PLAN  
 A1.0  
 1/16" = 1'-0"



2 TRASH ENCLASURE PLAN  
 A1.0  
 1/4" = 1'-0"



3 TRASH ENCLASURE FRONT ELEVATION  
 A1.0  
 1/4" = 1'-0"

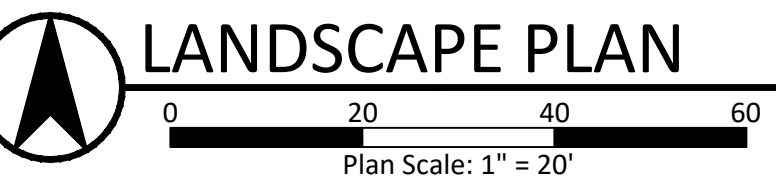
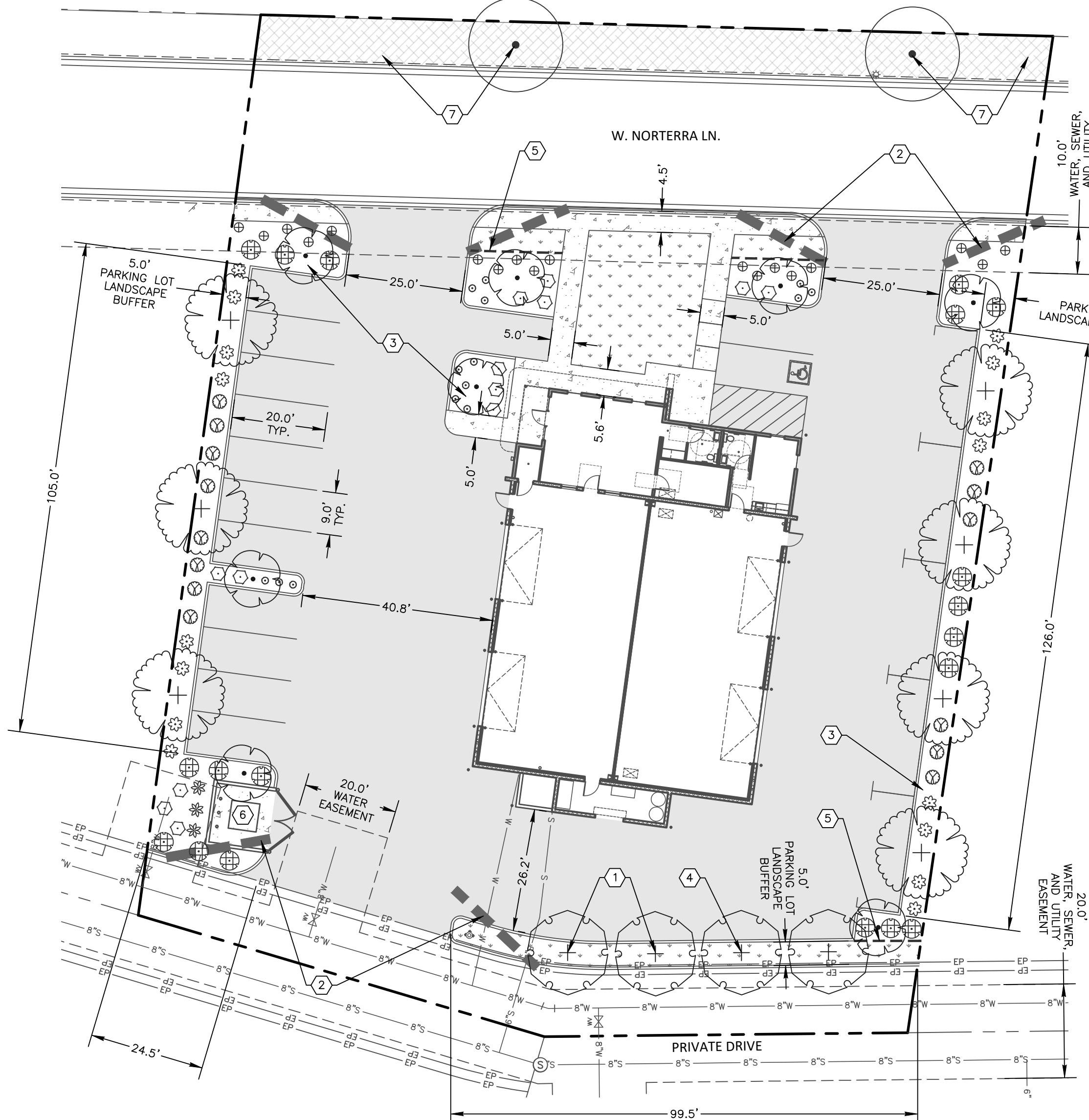
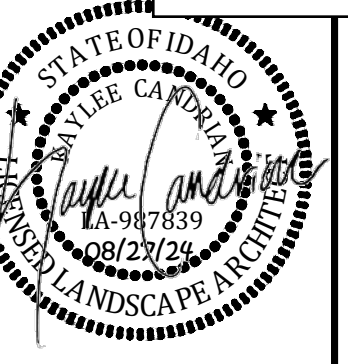


4 TRASH ENCLASURE SIDE ELEVATION  
 A1.0  
 1/4" = 1'-0"

DOWDY'S STAR  
 12645 W NORTERRA LN, STAR, ID 83669  
 SITE PLAN

REVISION:
FILE NO.:
PROJECT NO.:
DRAWING:
A1.0



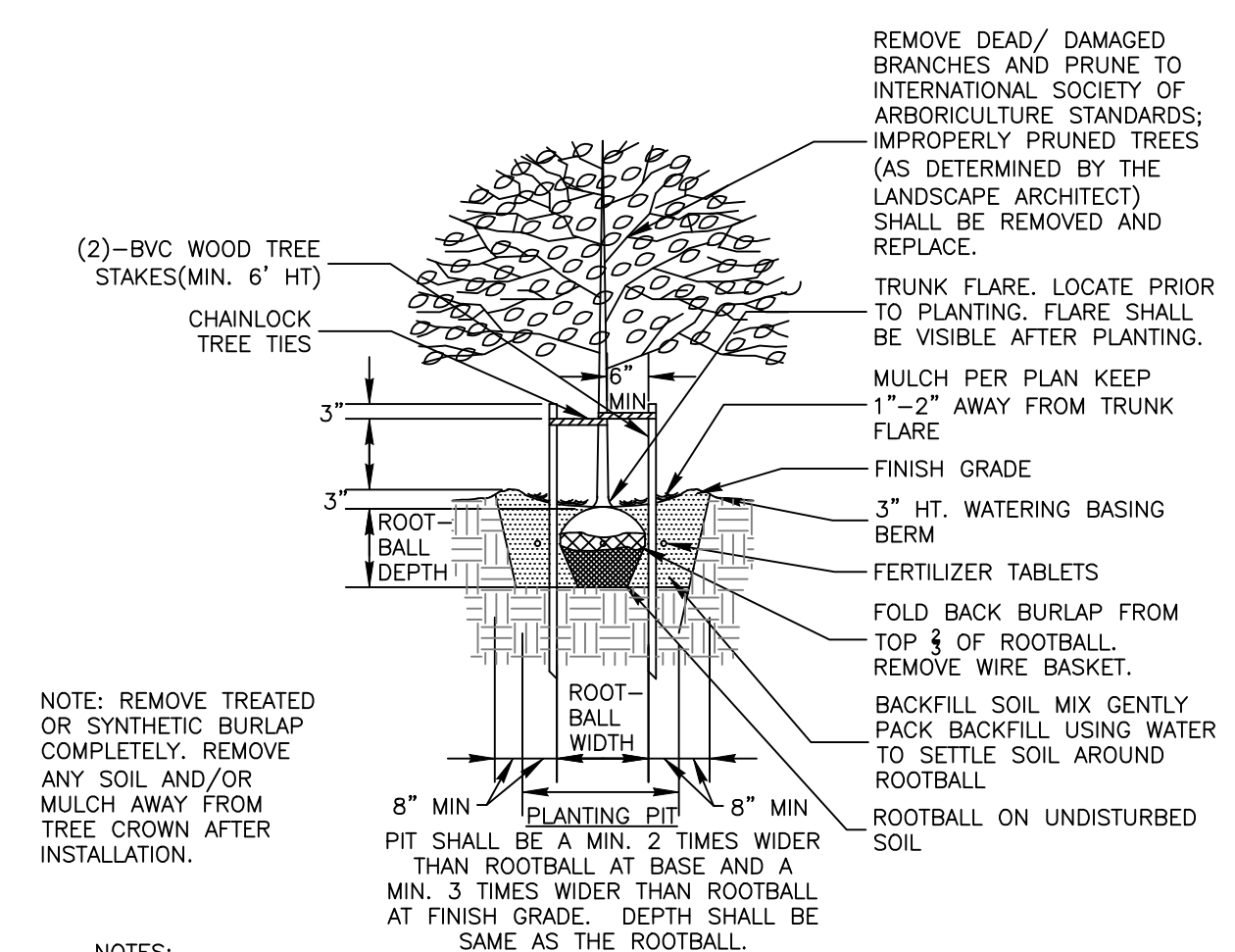


**CONTACT INFORMATION**

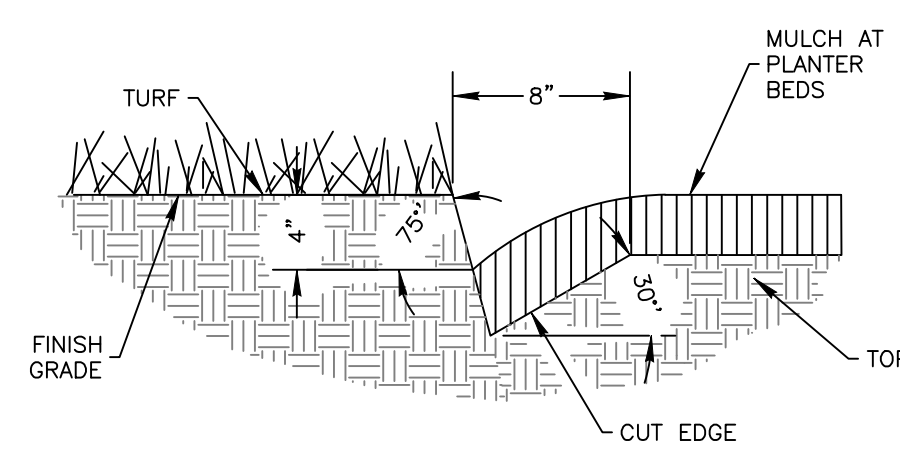
**LANDSCAPE CONSULTANT**  
 KM ENGINEERING, LLP  
 5725 NORTH DISCOVERY WAY  
 BOISE, IDAHO 83713  
 PHONE: (208) 639-6939  
 FAX: (208) 639-6930  
 CONTACT: KAYLEE CANDRIAN, PLA  
 EMAIL: kcandrian@kmenllp.com

**KEY NOTES (TYPICAL) (#)**

- INSTALL 3" DIAMETER SHOVEL CUT TREE RING, WITH BARE EARTH SURFACE AT ALL TREES WITHIN TURF AREAS.
- CLEAR VISION TRIANGLE. NO TREES SHALL BE PLANTED WITHIN A CLEAR VISION TRIANGLE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUND COVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE 3' FROM THE ADJACENT STREET GRADE.
- ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH ORGANIC PERMABARK (ROCK) MULCH WITH PERMEABLE FABRIC WEED BARRIER. SUBMIT SAMPLE TO OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLING. THE USE OF MULCH OR ROCK AS THE ONLY GROUND COVER IN REQUIRED PLANTING AREAS IS PROHIBITED. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED.
- TREES PLANTED IN PARK STRIPS TO BE CENTERED IN STRIP.
- INSTALL FLAT-BLADE SHOVEL EDGING AT INTERFACE OF SOD AND PLANTER BED. SEE L1.0-2.
- TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS.
- EXISTING LANDSCAPING AND IRRIGATION PER NORTERRA SUBDIVISION LANDSCAPE PLANS TO REMAIN. RETAIN, PROTECT, AND OR ADJUST AS SHOWN. CONTRACTOR SHALL FIELD VERIFY LIMITS OF DISTURBANCE AND PATCH BACK ALONG PHASE BOUNDARY AS NECESSARY. TRANSITION BETWEEN NEW AND EXISTING LANDSCAPE SHALL BE NON-RECOGNIZABLE AND COHESIVE WHEN FINISHED. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING LANDSCAPE PLANTING AREAS AND IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT. CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTORS FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COURSE OF CONSTRUCTION.



**1 DECIDUOUS TREE PLANTING AND STAKING DETAIL**  
 NOTES:  
 1. THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.



**2 SHOVEL CUT EDGE**  
 NOTES

**STREET TREE CALCULATIONS (1TREE/35 LF)**

STREET NAME	LF	CALCULATIONS	REQ	EXST/PRVD
PRIVATE DRIVE	124	124 LF / 35	4	4

**TOTAL STREET TREES**

4	4
---	---

**PARKING LOT BUFFER TREE CALCULATIONS (1TREE/35 LF)**

LF	CALCULATIONS	REQ	PRVD
231	231 LF / 35	7	7

**TOTAL PARKING LOT BUFFER TREES**

7	7
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**PARKING CALCULATIONS**

NUMBER OF STALLS = 19 TOTAL  
 TOTAL SF OF INTERNAL LANDSCAPE = 4,364 SQUARE FEET  
 INTERNAL PARKING LANDSCAPE PERCENT = 12.4%

**TOTAL PARKING ISLAND TREES**

8	8
---	---

**MITIGATION REQUIREMENTS**

THERE ARE NO HEALTHY TREES > 4" CAL. PROPOSED FOR REMOVAL

REQ	PRVD
19	19

**TOTAL SITE TREES**

REQ	PRVD
2	3

**TREE SPECIES MIX**

**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE HWX	CLASS
<b>DECIDUOUS TREES</b>					
(+)	4	ACER TRUNCATUM X PLATANOIDES 'IFS-KW19' URBAN SUNSET® MAPLE	3" CAL. B&B	35'x20'	CLASS II
(+)	7	GINKGO BILOBA 'PNI 2728' PRINCETON SENTRY® GINKGO MALE VARIETY ONLY	2" CAL. B&B	45'x20'	CLASS II
(+)	8	PYRUS CALLERYANA 'CAPITAL' CAPITAL CALLERY PEAR	2" CAL. B&B	35'x15'	CLASS II
<b>EXISTING TREES</b>					
(●)	2	EXISTING TREE TO REMAIN PRESERVE AND PROTECT SEE TREE PROTECTION NOTES AND KEY NOTES	EXISTING	VARIES	
<b>SHRUBS</b>					
(*)	19	BUDDLEJA X 'MISS VIOLET' MISS VIOLET BUTTERFLY BUSH	2 GAL.	4'x4'	
(*)	14	CORNUS SERICEA 'KELSEY' KELSEY DOGWOOD	2 GAL.	2'x3'	
(*)	3	JUNIPERUS SCOPULORUM 'BLUE ARROW' BLUE ARROW JUNIPER	6"-8" B&B	12'x3'	
(*)	18	ROSA X 'FARROWRSP' OSO EASY HOT PAPIKA® ROSE	2 GAL.	2'x2'	
(*)	13	SPIRAEA JAPONICA 'NEON FLASH' NEON FLASH SPIREA	2 GAL.	3'x3'	
<b>PERENNIALS</b>					
(○)	14	HEMEROCALLIS X 'HAPPY RETURNS' HAPPY RETURNS DAYLILY	1 GAL.	1.5'x1.5'	
<b>GRASSES</b>					
(*)	16	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' STANDING OVATION LITTLE BLUESTEM	1 GAL.	3'x3'	
<b>OTHER</b>					
(*)	1,443 SF	TURF SOD RHIZOMATOUS RHIZOMATOUS TALL FESCUE		SOD	
(*)	1,659 SF	EXISTING LANDSCAPE TO REMAIN PRESERVE AND PROTECT SEE KEY NOTES		NONE	

**GENERAL LANDSCAPE NOTES**

- VERIFICATION OF TOTAL LANDSCAPE MATERIAL QUANTITIES AS SHOWN ON THIS LANDSCAPE PLAN AND IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. IF QUANTITIES LISTED DO NOT CORRELATE WITH WHAT IS SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. THIS INCLUDES, BUT IS NOT LIMITED TO TREE, SHRUB, ROCK, TOPSOIL, MULCH, SEED OR SOD, EDGING, AND DRIP LINE QUANTITIES.
- IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE LANDSCAPE ARCHITECT OF AVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. IF A SPECIFIED PLANT IS NOT AVAILABLE, THE LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD UTILITIES WITHIN CONTRACT WORK AREAS PRIOR TO CONSTRUCTION. CONTACT DIG LINE, INC. @ 1.800.342.1885. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
- PROVIDE REQUIRED SOIL EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONTRACT PERIOD. SHOULD THERE BE EXISTING SOIL EROSION CONDITIONS THAT REQUIRE MITIGATION, NOTIFY THE RESPONSIBLE PERSON IMMEDIATELY. FAILURE TO NOTIFY THE RESPONSIBLE PERSON IMPLIES ACCEPTANCE OF THE SITE IN ITS EXISTING CONDITION.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIAL SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC., SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FINISH GRADES TO BE SMOOTH AND EVEN. GRADIENTS TO REMOVE LOW AND HIGH POINTS AND TO PROVIDE POSITIVE DRAINAGE.
- FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL, AS PER SPECIFICATIONS. SOIL SHALL BE FREE FROM ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. REUSE EXISTING SURFACE TOPSOIL IF AVAILABLE.
- TOPSOIL SHALL BE A LOOSE, FRABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS, OR OTHER FOREIGN MATERIALS AND A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTORS ARE RESPONSIBLE TO EITHER: PROVIDE APPROVED IMPORTED TOPSOIL OR, AMEND THE ON-SITE TOPSOIL.
- TOPSOIL DEPTHS SHALL BE AS FOLLOWS (WHERE APPLICABLE): LAWN AREAS-6" MIN.; PLANTER BEDS - 12" MIN.; CURB ISLANDS - 18" MIN. ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE.
- FINISH GRADES FOR LANDSCAPE AREAS TO BE SMOOTH AND EVEN GRADIENTS WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN. SLOPES FOR TURF AREAS SHALL NOT EXCEED 3:1.
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSESMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN HEALTHY GROWING CONDITION.
- ALL WRAPPING MATERIAL SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PORTION OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN HEALTHY CONDITION IMMEDIATELY WITH COMPARABLE SIZE AND SPECIES AT NO COST TO THE OWNER.
- FERTILIZE ALL TREES AND SHRUBS WITH AGRIFORM PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR'S MAINTENANCE SHALL INCLUDE:
  - PRUNING, CULTIVATING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE UNTIL FINAL ACCEPTANCE BY OWNER.
  - RE-SET SETTLED PLANTS TO A PROPER GRADE AND POSITION.
  - RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE AND REPLACE DEAD MATERIAL.
  - TIGHTEN AND REPAIR GUY WIRES AND STAKES AS REQUIRED ONLY IF ORIGINALLY NEEDED.
  - CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOMES APPARENT AND WEATHER AND SEASON PERMIT.

**TREE PROTECTION NOTES**

- THE CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT THE CRITICAL ROOT ZONE OF ALL TREES AT ALL TIMES THROUGHOUT PROJECT.
- PRIOR TO COMMENCING WORK, TEMPORARY FENCING SHALL BE INSTALLED IMMEDIATELY AROUND EACH TREE IMPACTED BY DEMOLITION OR CONSTRUCTION. FENCING SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THE ENTIRE DEMOLITION AND CONSTRUCTION PROCESS.
- BULK MATERIAL, EQUIPMENT, VEHICLES, AND CONSTRUCTION DEBRIS AND WASTE SHALL NOT BE STOCKPILED WITHIN THE CRITICAL ROOT ZONE.
- COMPACTION BY EQUIPMENT TRAFFIC IS PROHIBITED WITHIN THE CRITICAL ROOT ZONE.
- MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE. APPLY A MIN. 1.5" OF WATER OVER THE CRITICAL ROOT ZONE PER WEEK. THIS IS A MIN. RECOMMENDATION; CONTRACTOR IS RESPONSIBLE TO DETERMINE IF MORE WATER IS NECESSARY DURING CONSTRUCTION.
- ANY DAMAGE TO EXISTING TREES DURING CONSTRUCTION SHALL BE THE CONTRACTORS RESPONSIBILITY. THE CONTRACTOR SHALL PERFORM REMEDIAL WORK TO DAMAGED TREES AT THE CONTRACTOR'S EXPENSE.

**GENERAL IRRIGATION NOTE**

- NO GUARANTEE IS MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN, OR SHOWN CORRECTLY. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES ADEQUATE WATER COVERAGE TO ALL LAWN AND PLANTING AREAS. THE WORK SHALL CONSIST OF PROVIDING AN INSTALLING ALL MATERIALS NECESSARY FOR A COMPLETE SYSTEM INCLUDING POINT OF CONNECTION, PIPE, VALVES, FITTINGS, HEADS, AUTOMATIC CONTROLS, AND ALL ASSOCIATED LABOR. THE CONTRACTOR SHALL FURNISH THE LANDSCAPE ARCHITECT WITH A SHOP DRAWING SHOWING THE DESIGN LAYOUT, PIPE SIZE AND TYPE, VALVE LOCATIONS AND TYPE, HEAD LOCATIONS AND TYPE, CONTROLLER LOCATION AND TYPE, WIRE SIZING, ETC... FOR APPROVAL PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THIS WORK
- ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS.
- INSTALLATION SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL LAWS AND ORDINANCES.
- POINT OF CONNECTION: COMPLY WITH REQUIREMENTS OF UTILITY SUPPLYING WATER FOR PREVENTION OF BACKFLOW AND BACK-SIPHONAGE
- COVERAGE: THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ONE HUNDRED PERCENT (100%) COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- MATCHED PRECIPITATION RATES: SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE.
- IRRIGATION DISTRICTS: SPRINKLER HEADS IRRIGATING LAWN OR OTHER HIGH WATER DEMAND AREAS SHALL BE CIRCUITED SO THAT THEY ARE ON SEPARATE ZONES FROM THOSE IRRIGATING TREES, SHRUBS, OR OTHER REDUCED WATER DEMAND AREAS.
- OVERSPRAY: SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS STREETS, SIDEWALKS, DRIVEWAYS, AND PARKING AREAS.
- PRIOR TO COMMENCING WORK, CONTRACTOR TO CONFIRM PSI IS ADEQUATE TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES ADEQUATE WATER COVERAGE TO ALL LAWN AND PLANTING AREAS. SHOULD THE PSI BE LESS THAN ADEQUATE, NOTIFY THE ARCHITECT IMMEDIATELY. IN THE EVENT THAT THE ARCHITECT IS NOT NOTIFIED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- WHERE APPLICABLE, LABEL ALL IRRIGATION RISERS, FAUCETS, VALVE BOXES, AND VAULTS WITH DURABLE TAGS CARRYING THE WARNING "DANGER-UNSAFE WATER OR NON-POTABLE WATER."
- INSTALL ALL PIPING AND VALVES IN PLANTING AREAS WHERE POSSIBLE, AND LOCATE ELECTRIC CONTROL AND QUICK COUPLING VALVES IN GROUND COVER/SHRUB AREAS, 6" TO 12" AWAY FROM EDGE OF PAVEMENT FOR EASE OF ACCESS.
- PROVIDE UNDERGROUND IRRIGATION SYSTEM AS A COMPLETE UNIT PRODUCED BY A SINGLE ACCEPTABLE MANUFACTURER, INCLUDING HEADS, VALVES, CONTROLS, AND ACCESSORIES.
- A MIN. OF 4" POP-UPS ARE TO BE USED IN ALL LAWN AREAS. DRIP IRRIGATION TO BE USED IN ALL PLANTER BEDS.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO SIZE CIRCUIT PIPING, WATER VELOCITY IN ALL PIPES SHALL NOT EXCEED FIVE FEET PER SECOND, MINIMUM PIPE SIZE TO BE 1".
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVES UNDER ALL ROADWAY, PARKING, AND WALKWAY SURFACES. EXTEND 6" MINIMUM BEYOND SURFACE EDGE. IDENTIFY ENDPOINTS OF SLEEVING.
- ALL IRRIGATION HEADS LOCATED ADJACENT TO ROAD SURFACES NOT PROTECTED BY A VERTICAL CONCRETE CURB SHALL BE PLACED 18" FROM THE EDGE OF THE ROAD SURFACE.
- WHERE APPLICABLE, CONTRACTOR IS RESPONSIBLE TO PROVIDE 120 VOLT POWER AND ALL REQUIRED CIRCUITS FROM THE ELECTRICAL PANEL TO THE IRRIGATION CONTROLLER. SIZE WIRE AND CONDUIT AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION, INCLUDING ADJACENT PROPERTIES. REPAIR INCLUDES BUT IS NOT LIMITED TO PIPING, VALVES, HEADS, DRIP COMPONENTS, CONTROL WIRES AND EQUIPMENT, AND SLEEVES. IF APPLICABLE, IRRIGATION CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT.
- CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTORS FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COARSE OF CONSTRUCTION.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR DISCREPANCIES BETWEEN DESIGN DRAWINGS AND ACTUAL SITE CHARACTERISTICS. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION PROVIDED ON DRAWINGS. CONTRACTOR SHALL STOP CONSTRUCTION AND CONTACT THE OWNER IMMEDIATELY FOR FURTHER DIRECTION IF DISCREPANCIES OCCUR.
- UPON COMPLETION, AND PRIOR TO FINAL PAYMENT, THE IRRIGATION CONTRACTOR SHALL PROVIDE A NEAT AND LEGIBLE AS-CONSTRUCTED IRRIGATION PLAN, AN OPERATION AND MAINTENANCE MANUAL, AND UP TO (6) HOURS OF ORIENTATION AND/OR TRAINING FOR THE OWNERS MAINTENANCE AND OPERATIONS STAFF.
- THE ENTIRE SYSTEM SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ITS ACCEPTANCE. REPAIR OR REPLACEMENT OF ANY DEFECTS OCCURRING WITHIN THAT YEAR SHALL BE COMPLETED PROMPTLY BY THE IRRIGATION CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE, AT NO ADDITIONAL COST TO THE OWNER, SPRING START UP AND WINTERIZATION DURING THE GUARANTEE PERIOD.

**ACHD LANDSCAPE NOTES**

- TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- ALL TREES SHALL BE PLANTED A MINIMUM OF 5' FROM ALL ACHD CURBS AND/OR ATTACHED SIDEWALK, UNLESS PLANTED WITHIN THE PARKSTRIP. ALL TREES PLANTED IN PARKSTRIP SHALL BE CENTERED.

NO.	REVISIONS	DATE

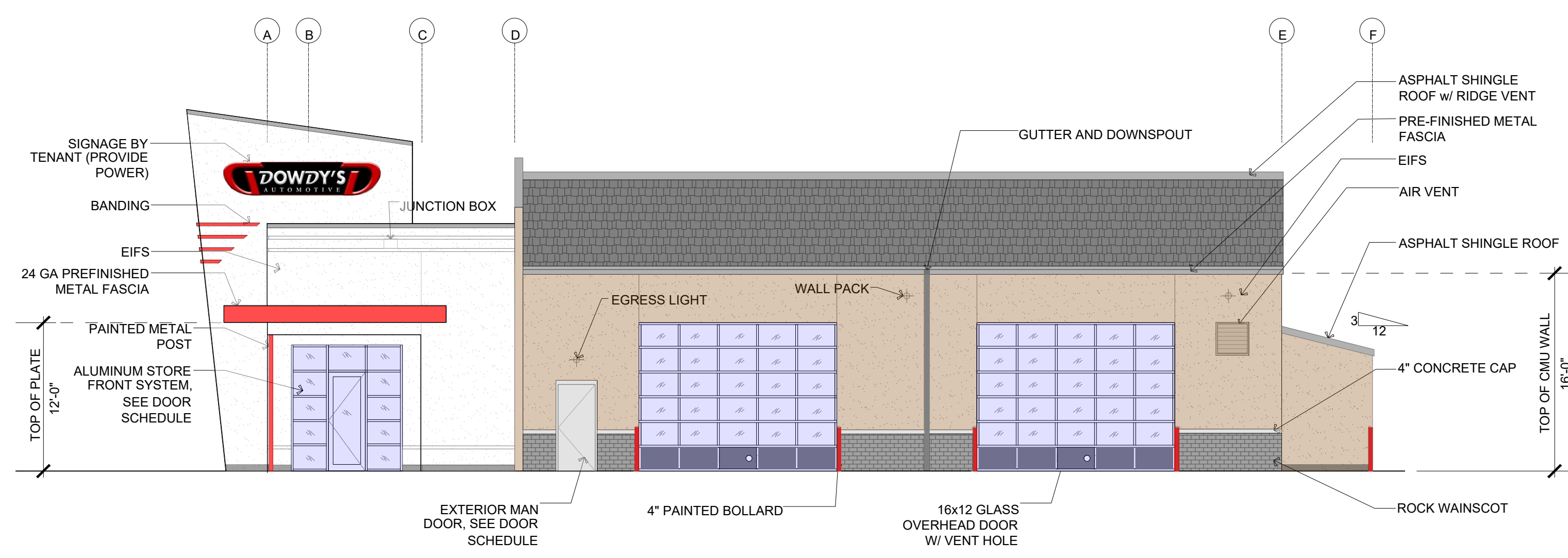
**LOWE'S**  
 STAR, IDAHO  
 LANDSCAPE PLAN

DESIGN BY:	KAC
DRAWN BY:	KAC
CHECKED BY:	KAC
DATE:	08/26/24
PROJECT:	24-209

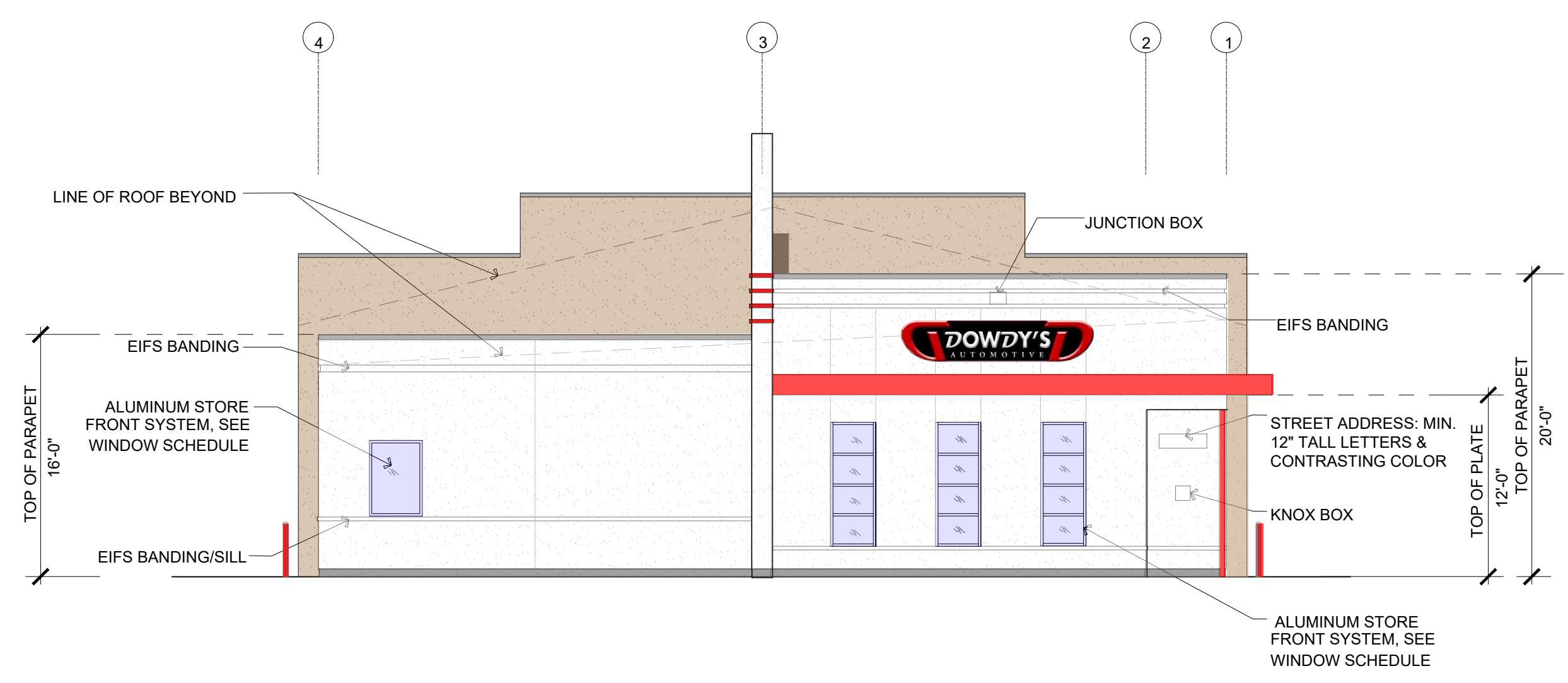
SHEET NO. L1.0

FOR ENTITLEMENT APPROVAL ONLY

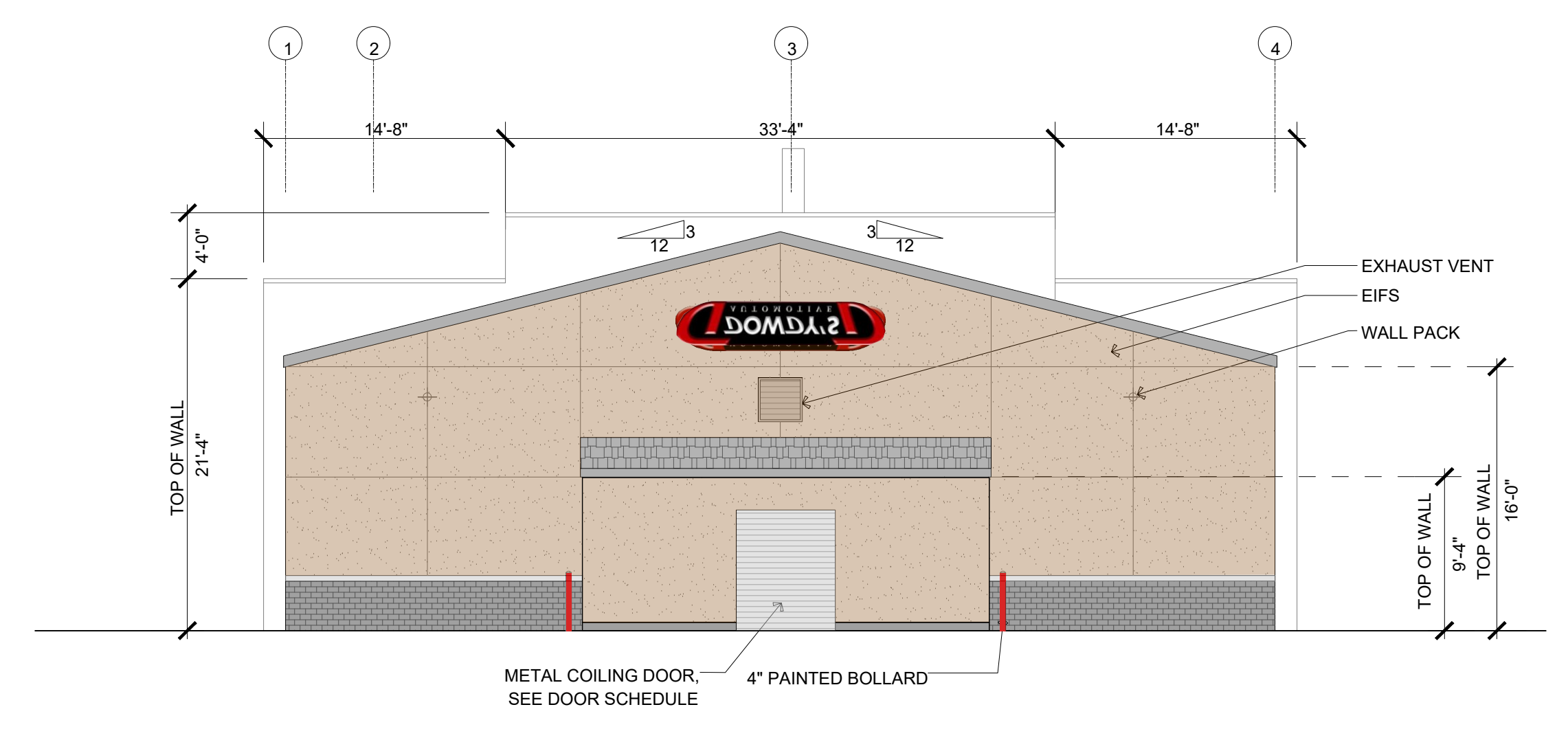




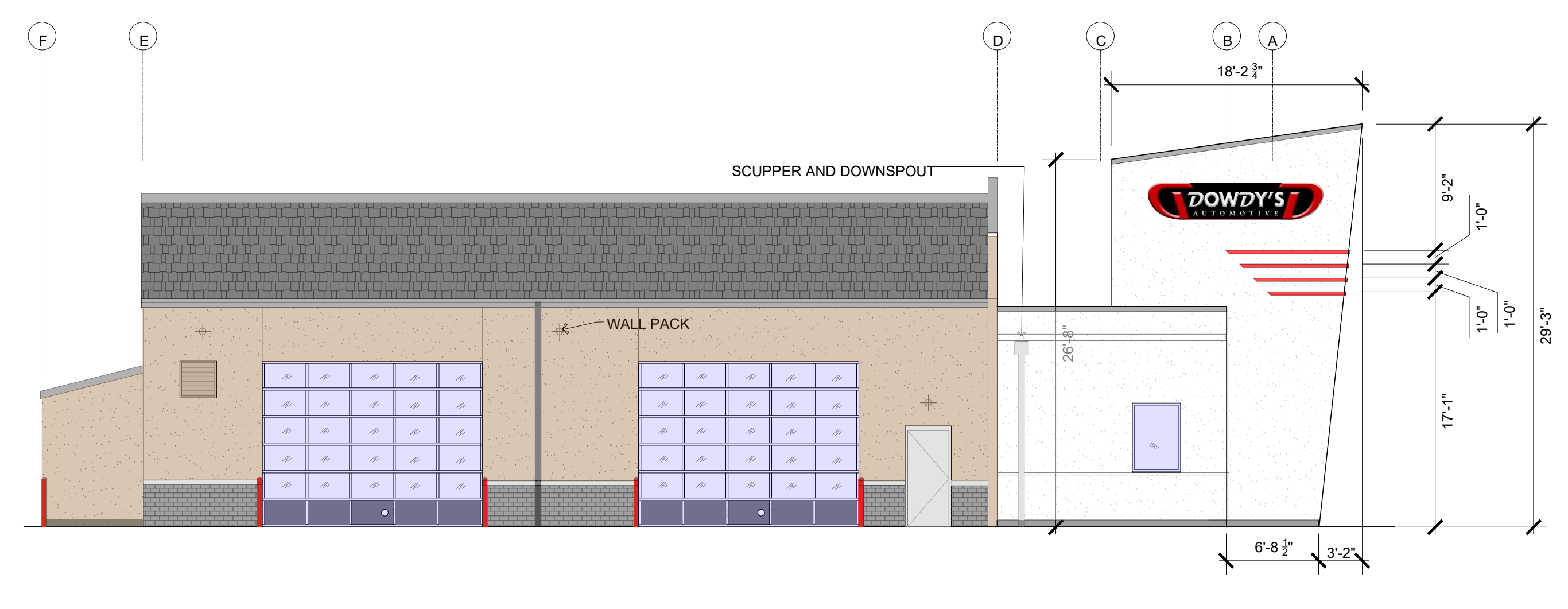
**1 WEST ELEVATION**  
 SCALE 1/16" = 1'-0"



**2 NORTH ELEVATION**  
 SCALE 1/16" = 1'-0"



**3 SOUTH ELEVATION**  
 SCALE 1/16" = 1'-0"



**4 EAST ELEVATION**  
 SCALE 1/16" = 1'-0"

DOWDY'S STAR  
 12645 W. NORTERRA LN., STAR, ID 83669  
 ELEVATIONS

REVISION:
FILE NO.:
PROJECT NO.:
DRAWING:





**CITY OF STAR**  
**LAND USE STAFF REPORT**

**TO:** Mayor & Council

**FROM:** City of Star Planning Department *Shawn J. Niska*

**MEETING DATE:** **October 15, 2024 – PUBLIC HEARING (tabled from 10/1/24)**  
**FILE(S) #:** PP-22-02 MOD Preliminary Plat Modification for Addington Subdivision

**OWNER/APPLICANT/REPRESENTATIVE**

**Applicant/Representative:**  
Tamara Thompson  
The Land Group, Inc.  
462 E. Shore Drive  
Eagle, Idaho 83616

**Property Owner:**  
STC Development, LLC  
199 N. Capital Blvd., Ste. 300  
Boise, Idaho 83702

**REQUEST**

**Request:** The Applicant is seeking approval of a Preliminary Plat modification for a proposed residential subdivision consisting of 31 residential lots and 3 common lots. The property is located on the east side of N. Highbrook Way in Star, Idaho, and consists of 5.58 acres with a proposed density of 6.09 dwelling units per acre. **The original preliminary plat was previously approved by City Council on September 6, 2022.**

**PROPERTY INFORMATION**

**Property Location:** The subject property is generally approximately 780 feet north of the intersection of W. State Street and N. Highbrook Way. Ada County Parcel No. R8108003014.

**Surrounding Land Use/Designations:**

	<b>Zoning Designation</b>	<b>Comp Plan Designation</b>	<b>Land Use</b>
<b>Existing</b>	Residential (R-7)	Compact Residential	Vacant
<b>Proposed</b>	Residential (R-7)	Compact Residential	Compact Residential
<b>North of site</b>	Residential (R-4) (R-7) / Rural Urban Transition (RUT)	Compact Residential	Single Family Residential
<b>South of site</b>	Commercial (C-2)	Central Business District	Albertsons/Agricultural
<b>East of site</b>	Residential (R-4)	Compact Residential	Single Family Residential
<b>West of site</b>	Residential (R-7)	Compact Residential	Endsley Court Subdivision

**Existing Site Characteristics:** The property is currently vacant ground.

**Irrigation/Drainage District(s):** Middleton Irrigation Association  
Middleton Mill Ditch Company  
P.O. Box 848  
Middleton, Idaho 83644

**Flood Zone:** This property is not currently located in a Flood Hazard Area.  
FEMA FIRM Panel Number: 16001C0130J & 16001C0125J  
Effective Date: 6/19/2020

**Special On-Site Features:**

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No evidence.
- ✪ Fish Habitat – No.
- ✪ Floodplain – No.
- ✪ Mature Trees – None.
- ✪ Riparian Vegetation – No.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – None.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- ✪ Wildlife Habitat – No known sensitive wildlife habitat observed.

<b>APPLICATION REQUIREMENTS</b>
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Pre-Application Meeting Held	May 9, 2024
Application Submitted & Fees Paid	July 31, 2024
Application Accepted	August 28, 2024



Residents within 300' Notified	September 11, 2024
Legal Notice Published	September 15, 2024
Property Posted	September 20, 2024

**HISTORY**

September 19, 2017	Council approved annexation and zoning (R-7) as part of the Sample Property Annexation, Ordinance 264.
April 19, 2022	Council approved applications for a Preliminary Plat (PP-22-02) and Private Street (PR-22-01) for Addington Subdivision consisting of 34 residential lots and 1 common lot on 5.58 acres of property.
May 2, 2022	City Staff received a Request for Reconsideration of the Addington Subdivision approval.
September 6, 2022	Council approved the Request for Reconsideration. Building lots remained 34 residential and 1 common lot on the original 5.58 acres.

**CODE DEFINITIONS / COMPREHENSIVE PLAN**

**UNIFIED DEVELOPMENT CODE:**

**8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

**8-3A-3: USES WITHIN ZONING DISTRICTS**

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

<b>ZONING DISTRICT USES</b>	<b>R</b>
Dwelling:	
Multi-Family	C
Secondary	A
Single-Family Attached	P
Single-Family Detached	P
Two-Family Duplex	P
Live/Work Multi-Use	N

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

<b>Zoning District</b>	<b>Maximum Height Note Conditions</b>	<b>Minimum Yard Setbacks Note Conditions</b>			
		<b>Front (1)</b>	<b>Rear</b>	<b>Interior Side</b>	<b>Street Side</b>
R-6 to R-11 attached housing	35'	15' to living area 20' to garage 10' if alley load	15' 4' if alley load	0' for common walls 5' at end of building	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

**8-4D-3: STANDARDS (PRIVATE STREETS):**

All private streets shall be designed and constructed to the following standards:

A. Design Standards:

1. Easement: The private street shall be constructed on a perpetual ingress/egress easement or a single platted lot (with access easement) that provides access to all applicable properties.
2. Connection Point: Where the point of connection of the private street is to a public street, the private street shall be approved by the transportation authority.





3. Emergency Vehicle: The private street shall provide sufficient maneuvering area for emergency vehicles as determined and approved by the Star Fire District.

4. Gates: Gates or other obstacles shall not be allowed, unless approved by Council through a Planned Unit Development or Development Agreement.

B. Construction Standards:

1. Obtain approval from the county street naming committee for a private street name(s);

2. Contact the transportation authority to install an approved street name sign that complies with the regulations of the county street naming ordinance;

3. Roadway and Storm Drainage: The private street shall be constructed in accord with the roadway and storm drainage standards of the transportation authority or as approved by the city of Star based on plans submitted by a certified engineer.

4. Street Width: The private street shall be constructed within the easement and shall have a travel lane that meets ACHD width standards for the City of Star, or as determined by the Council and Star Fire District.

5. Sidewalks: A five foot (5') attached or detached sidewalk shall be provided on one side of the street in commercial districts. This requirement may be waived if the applicant can demonstrate that an alternative pedestrian path exists.

6. Fire Lanes: All drive aisles as determined by the Star Fire District to be fire lanes, shall be posted as fire lanes with no parking allowed. In addition, if a curb exists next to the drive aisle, it shall be painted red.

7. No building permit shall be issued for any structure using a private street for access to a public street until the private street has been approved.

C. The applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review. The condition of approval shall include the following:

1. Private Road Reserve Study Requirements.

- a. At least once every three years, the board shall cause to be conducted a reasonably competent and diligent visual inspection of the private road components that the association is obligated to repair, replace, restore, or maintain as part of a study of the reserve account requirements of the common interest development, if the current replacement value of the major components is equal to or greater than one-half of the gross budget of the association, excluding the association's reserve account for that period. The

board shall review this study, or cause it to be reviewed, annually and shall consider and implement necessary adjustments to the board's analysis of the reserve account requirements as a result of that review.

- b. The study required by this section shall at a minimum include:
  - i. Identification of the private road components that the association is obligated to repair, replace, restore, or maintain.
  - ii. Identification of the probable remaining useful life of the components identified in paragraph (1) as of the date of the study.
  - iii. An estimate of the cost of repair, replacement, restoration, or maintenance of the components identified in paragraph (1).
  - iv. An estimate of the total annual contribution necessary to defray the cost to repair, replace, restore, or maintain the components identified in paragraph (1) during and at the end of their useful life, after subtracting total reserve funds as of the date of the study.
  - v. A reserve funding plan that indicates how the association plans to fund the contribution identified in paragraph (4) to meet the association's obligation for the repair and replacement of all private road components.
- c. A copy of all studies and updates shall be provided to the City, to be included in the development application record.

#### **8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):**

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

#### **8-4E-2: STANDARDS FOR COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS:**

- A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):
  - 1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the total gross acreage of land area of the development. A minimum of 10% of the total gross acreage of the development shall be for useable area open space. Open space shall be designated as a total of 15% minimum for residential developments in all zones with densities of R-2 or greater.
  - 2. Each development is required to have at least one site amenity.
  - 3. One additional site amenity shall be required for each additional twenty (20) acres of

development area, plus one additional amenity per 75 residential units.

4. Developments with a density of 1 dwelling unit per acre or less may request a waiver of open space and amenities to the Council. Developments with a density of 2 dwelling units per acre or less may request a 50% reduction in total required open space and amenities to the Council.

5. For multi-family developments, see Section 8-5-20 for additional standards.

B. Qualified Usable Area Open Space: The following qualifies to meet the useable area open space requirements:

1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:

a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;

b. Qualified natural areas, as determined by the Administrator;

c. Ponds or water features where active fishing, paddle boarding, or other activities are provided (50% qualifies towards total required usable area open space, must be accessible by all residents to qualify. Ponds must be aerated. All ponds shall be provided with safety floatation devices (rings) located at reasonable distances, as determined by the administrator;

d. A plaza.

e. Common lots that include a pathway providing local or regional connectivity that is a minimum of 20' in width.

f. Irrigation easements/ditches when a pathway is included (to be measured from the center of the ditch to the property line of the common lot).

2. Additions to a public park or other public open space area.

3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.

4. Parkway along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:

a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified



otherwise herein.

b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.

c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:

1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.

5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total, as determined by the Administrator.

C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:

1. Clubhouse;
2. Fitness facilities, indoors or outdoors;
3. Public art;
4. Picnic area; or
5. Recreation amenities:
  - a. Swimming pool with an enlarged deck and changing and restroom facility (pools shall count towards 3 required site amenities).
  - b. Children's play structures.
  - c. Sports courts.
  - d. Additional open space in excess of 10% qualified usable space.

- e. RV parking for the use of the residents within the development.
- f. School and/or Fire station sites if accepted by the district.
- g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
  - (1) The system is not required for sidewalks adjacent to public right of way;
  - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
  - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- h. Pond and/or waterway amenities including, but not limited to docks, shade structures, ADA access, and fish stocking.

6. Community Gardens.

D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

E. Maintenance:

- 1. All common open space and site amenities shall be owned by and be the responsibility of an owners' association for the purpose of maintaining the common area and improvements thereon.

**8-3B-3: RESIDENTIAL DISTRICTS: ADDITIONAL RESIDENTIAL DISTRICT STANDARDS**

J. Additional residential standards applying to all new residential subdivisions:

- 1. Residential Elevations:
  - i. Building elevations for all residential uses shall be submitted with any development application and will be included as part of any preliminary plat, development agreement and/or any other condition of approval.
  - ii. Single-Family Residential Building Front and Side Elevation Minimum Standards. These standards shall be reviewed for compliance with all submitted residential building permits under the Building Zoning Certificate process. Council may adopt these standards as part of a development agreement or preliminary plat approval. The following minimum standards shall be applied to all new residential structure elements in all zones:
    - 1. Exterior finishes shall be primarily horizontal/vertical wood or

wood product siding, brick, stucco, stone, or other decorative masonry product. A minimum of three (3) architectural elements shall be provided for all single-family residential structures. These elements shall include, but are not limited to, shingled, horizontal or vertical siding, stone or brick highlights, garage door windows or hardware, colored window frames, or other architectural treatments deemed appropriate by the administrator.

**8-3B-3 - FIGURE EXTERIOR ARCHITECTURAL ELEMENTS:**



2. Two-story detached structures should provide a minimum of one, second story side window per side elevation, when appropriate.
3. A minimum one (1) foot overhang shall be provided on all roof overhangs. Administrator may approve deviation from this standard.
4. Dwellings backing up to collector or arterial streets shall have rear elevations and/or architectural designs that provide depth and dimension, avoiding the flat-wall appearance. These elements must be functional and may not be minimized or created solely for the purpose of compliance with this provision.
5. Additional landscaping buffers may also be required.

2. Dwelling Unit Design. Building styles shall be spread throughout the entire development (including all contiguously owned and phased properties). Nowhere within the development shall any fewer than 5 different exterior elevation styles and/or floorplans be located adjacent to each other. The number of different dwelling styles within a development shall be as follows:



- a. 1 to 50 units = minimum of 5 architectural styles and/or floorplans
  - b. 51 to 100 units = minimum of 7 architectural styles and/or floorplans
  - c. 101 and over units = minimum of 10 architectural styles and/or floorplans
3. Homeowners Associations. All subdivisions shall be maintained by a Homeowners association with appropriate Conditions, Covenants and Restrictions (CC&R's). CC&R's are not enforceable by the City and are private contracts between the developer and the property owner.
  4. Irrigation and drainage ditches shall not be covered, tiled or re-routed as part of any new residential development unless specifically approved by Council and the applicable irrigation and/or drainage district. Perforated piping may be considered as an option if tiling is allowed.

**8-4A-21: MAILBOXES:**

All mailbox clusters shall be approved by the postmaster prior to installation. All clusters shall be covered with an architecturally designed cover, to be approved by the Administrator prior to final plat signature. All covers shall be provided with lighting and shall be stained/painted and kept in good condition at all times. The administrator may issue a letter of violation to the HOA when any mailbox cluster or cover falls into disrepair. Maintenance shall be included in the CC&R's. A turnout shall be installed adjacent to the mailbox cluster to provide community access, if approved by the transportation authority and postmaster. The design shall be included as part of the preliminary plat submittal.



### 8-6A-3: PRELIMINARY PLAT PROCESS

A. Preapplication Conference: The applicant shall complete a preapplication conference with the administrator or designee prior to submittal of an application for a preliminary plat. The purpose of this meeting is to discuss early and informally the purpose and effect of this title, and the criteria and standards contained herein.

B. Neighborhood Meeting: Applicants are required to hold a neighborhood meeting, in conformance with Section 8-1A-6C to provide an opportunity for public review of the proposed project prior to the submittal of an application. The applicant shall provide a summary of the meeting, including questions and concerns of the neighbors and how the submitted application addresses those issues.

C. Application Requirements: A complete subdivision application form and preliminary plat data as required in this title, together with fees shall be submitted to the administrator. At the discretion of the administrator or city engineer, appropriate supplementary information may also be required to sufficiently detail the proposed development within any special development area, including, but not limited to, hillside, planned unit development, floodplain, cemetery, manufactured home parks, and/or hazardous or unique areas of development. When possible, any unresolved access or traffic generation issues related to ACHD/HD4 or ITD regulated roadways should be resolved by the applicant prior to acceptance of any application. The administrator may require a letter from the appropriate transportation agency or servient property owner to be submitted with the application.

D. Required Information and Data: The contents of the preliminary plat and related information shall be in such a form as stipulated by the City Council, however, additional maps or data deemed necessary by the administrator may also be required. The applicant shall submit to the administrator at least the following:

1. Two (2) copies of the preliminary plat of the proposed subdivision, drawn in accordance with the requirements hereinafter stated. Each copy of the preliminary plat shall be submitted on good quality paper, be professionally drafted, shall have the dimensions of not less than twenty-four inches by thirty-six inches (24" x 36"), and shall be drawn to a scale of not less than one inch to one hundred feet (1"=100') and contain a drafting date and north arrow.
2. For hillside developments, one (1) bound copy of the preliminary engineering plans (not meant to be cross sections or detailed designs) showing streets, water, sewers, sidewalks, and other required public improvements, together with preliminary site grading, drainage and irrigation plans of the proposed subdivision. Such engineering plans shall contain sufficient information and detail to make a determination as to conformance of the proposed improvements to applicable regulations, ordinances and standards.

3. Two (2) copies of a landscape plan showing all open space, common areas, amenities, street trees and development signage;
4. Additional information on the preliminary plat and separately submitted information to include the following:
  - a. The name of the proposed subdivision, as approved in advance by the Ada County Engineering office;
  - b. The name, address, telephone and email of the applicant, developer, engineer and surveyor or drafter who prepared the preliminary plat;
  - c. The names and addresses of all adjoining property owners and recorded plats within three hundred feet (300') of the external boundaries of the land being considered for subdivision.
  - d. The land use and existing and proposed zoning of the proposed subdivision and the adjacent land;
  - e. Streets, street names, rights of ways and roadway widths, including adjoining streets or roadways;
  - f. Lot lines and blocks showing the dimensions and numbers of each, together with area of each lot in acres and square feet;
  - g. Contour lines, shown at five-foot (5') intervals where the land slope is greater than ten percent (10%) and at two-foot (2') intervals where land slope is ten percent (10%) or less, referenced to an established benchmark, including location and elevation;
  - h. Any proposed or existing utilities, including, but not limited to, power poles, storm and sanitary sewers, irrigation laterals, ditches, bridges, culverts, water mains and fire hydrants;
  - i. Any flood zone information including FEMA FIRM panels;
  - j. The legal description of the boundary of the property being subdivided with the seal of the surveyor of record;
  - k. Phasing plan showing all proposed phases of the development;
  - l. Preliminary irrigation analysis showing availability of water rights and distribution of irrigation to the lots within the proposed subdivision, or waiver request;
  - m. One (1) copy of a site report of the highest seasonal groundwater elevation prepared by a licensed engineer;
  - n. narrative, signed by the applicant, fully describing the proposed subdivision, including such information as number and type of uses on the lots (residential single, two or multi-family, commercial, etc.), common lots and the proposed uses of those lots (open space, parks, playgrounds, landscaping, or other uses) and any other information deemed necessary to explain the intent of the development including how it relates to other concurrently submitted applications (annexations, rezones, PUD's, CUP's, etc.).
  - o. Neighborhood meeting information including sign-in sheet, copy of meeting letter, copy of mailing labels, and detailed summary of neighbor questions and



concerns and how the development has been designed to address those concerns;

- p. A vicinity map showing the relationship of the proposed plat to the surrounding area (1/2-mile radius);
  - q. Deeds, affidavit of legal interest, address labels, postal service location approval, ACHD traffic study review status, electronic copies, or any other required information deemed necessary by the administrator to allow for proper review of the application;
  - r. A conceptual site plan shall be submitted for any non-residential developments showing building locations, parking and loading areas, traffic access drives and traffic circulation and trash enclosure locations;
  - s. Any additional required information for special area of developments including, but not limited to hillsides, wetlands or as further specified in this Title.
5. Additional information in the application as determined by the administrator may include the following:
- a. Building elevations, including multi-family uses, non-residential uses, clubhouses, well houses, or other elevations deemed necessary to assist the Council in their decision regarding a development;
  - b. Colored site plan and renderings of a subdivision detailing residential lot locations, open space and common areas, buffers, roadways, waterways and irrigation ditches, fencing, signs and landscaping.

E. Acceptance: Upon receipt of the preliminary plat, and compliance with all other requirements as provided for herein, the administrator shall certify the application as complete and shall affix the date of acceptance.

F. Decision: A decision on a preliminary plat for a parcel of land is made by the City Council after receiving a recommendation from the administrator and a public hearing is held.

### **COMPREHENSIVE PLAN:**

#### 8.2.3 Land Use Map Designations:

##### Compact Residential

Suitable primarily for residential use allowing a mix of housing types such as single family, two family, and multi-family. Densities range from 5.01 units per acre to 10 units per acre.

### 8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

### 8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

### 8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.

B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivide in the future.

### 8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

## PROJECT OVERVIEW

### PRELIMINARY PLAT MODIFICATION:

The revised Preliminary Plat submitted contains 31 single family residential lots and 3 common area lots on 5.58 acres with a proposed density of 5.56 dwelling units per acre. This is a reduction of 3 building lots from the original plat. The lots will still have access and frontage from the previously approved private streets. The homes will continue to be attached units with one exception, Lot 31 will be a single family detached structure. Lots will include zero-lot-lines to accommodate the attached dwelling units only. Primary access for the development remains W. Joslyn Lane (previously Addington Lane) from N. Highbrook Way. This road originally had a cul-de-sac at the eastern end, against N. Center Street. That cul-de-sac has been removed and emergency access will be allowed onto N. Center Street using bollards to restrict public traffic.

The revised Preliminary Plat will now be completed in two phases, versus a single phase as presented originally. Phase 1 will remain front-loaded lots, with the driveways abutting W. Joslyn Lane. Phase 2 has been modified to include an alley and the units will have garages abutting the alley. The proposed alley is twenty-three feet (23') wide within a twenty-seven and a half feet (27.5') wide easement. This width will require approval from Star Fire and must have signage restricting all parking. Signs to be approved by the Fire Marshall.

The revised Preliminary Plat roadway alignment was shifted slightly to align with the irrigation easements of Drainage District No. 2 and the Flake Lateral. This adjustment satisfies the requirements outlined by the irrigation district, after the original approval was granted by Council. Furthermore, Phase 1 has also been shifted to allow the main sewer line to be under the roadway versus behind the residential lots, as the original plat proposed.

The revised Preliminary Plat is calling for attached sidewalks versus the detached walks proposed in the original Preliminary Plat. The reason for attached sidewalks is to allow for the planting of trees behind the sidewalk, out of the irrigation district easement. Public sidewalks are still proposed on both sides of W. Joslyn Lane.

The Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of 1 site amenity. The applicant is proposing a shade structure in a pocket park with a walking path and landscaping.

The applicant is requesting a waiver to the minimum lot widths from 35' to 31' in order to accommodate the new changes in the plat. Staff is supportive of this request.

### ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks  
Internal sidewalks are proposed at five-foot (5') widths and will be attached throughout the development.



- Lighting  
Streetlights shall reflect the “Dark Sky” criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a proposed streetlight plan. All proposed light locations satisfy City code. **Applicant has provided a streetlight plan. The applicant will need to provide a design/cut sheet for City approval. Applicant will be required to work with Staff and submit an updated cut sheet and design before signature of the final plat. Staff also suggests a streetlight be placed at the intersection of the emergency access.**
- Street Names  
**Applicant has not provided documentation from Ada County that the street name is acceptable and has been approved. This will be required at final plat.**
- Subdivision Name  
Applicant has provided a letter from Ada County that the subdivision name has been approved and reserved for this development.
- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use “Treasure Valley Tree Selection Guide”, as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements for the open areas. The plan does not show the appropriate number of required street trees. These will need to be added once driveways are designed to meet the requirement and receive occupancy permits.**
- Setbacks – The applicant is not requesting any setback waivers and will follow the approved setbacks for the R-7 zone.
- Mailbox Cluster – Applicant has provided documentation from the Star Postmaster depicting the approved location for the mailbox cluster within the development as a single location.
- Phasing – The applicant is proposing the development be built out in two phases.
- Storm Water - Storm water will be discharged off-site into Drain 9. The original approved preliminary plat noted discharge to Drain 9 with permeable pavers. Under the

new plat, the pavers have been removed as DD2 will allow discharge of storm water to Drain 9 at (3) locations, (2) within the subdivision (Joslyn Ln.) and (1) from Center Street (ACHD roadway). License agreements will be required by DD2 for both the Developer and ACHD.

**AGENCY & DEPARTMENT RESPONSES**

Star Fire District                      September 30, 2024

**PUBLIC RESPONSES**

No public comments have been received.

**STAFF RECOMMENDATION**

Based upon the information provided to staff in the applications and agency comments received to date, the proposed Preliminary Plat will meet the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code. The proposed density of 5.56 dwelling unit per acre is within the range of 6-11 dwelling units per acre allowed in the Compact Residential Comprehensive Plan Future Land Use Map. Staff is supportive of proposed housing sizes and density that the (R-7) zoning designation will provide.

The Council should consider recommendations from Staff, together with the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

**FINDINGS**

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

**PRELIMINARY PLAT FINDINGS:**

- 1. The plat is in compliance with the Comprehensive Plan.
  - The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:*
    - 1. *Designing development projects that minimize impacts on existing adjacent*

*properties, and*

2. *Managing urban sprawl to protect outlying rural areas.*

2. Public Services are available or can be made available and are adequate to accommodate the proposed development.

*The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.*

3. There is public financial capability of supporting services for the proposed development;  
*The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.*

4. The development will not be detrimental to the public health, safety or general welfare;  
*The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.*

5. The development preserves significant natural, scenic or historic features;  
*The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.*

**PRIVATE STREET FINDINGS:**

- A. The design of the private street meets the requirements of this article;

*The City must find that the proposed private streets meets the design standards in the Code.*

- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity:

*The City must find that it has not been presented with any facts stating this private road will cause damage, hazard or nuisance, or other detriment to persons, property or uses in the vicinity.*

- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

*The City must find that the use is not in conflict with the comprehensive plan and/or regional transportation plan.*

*Upon granting approval or denial of the application, the Council shall specify:*

1. The Ordinance and standards used in evaluating the application;
2. The reasons for recommending approval or denial; and



3. The actions, if any, that the applicant could take to obtain approval.

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1. The Ordinance and standards used in evaluating the application;
2. The reasons for recommending approval or denial; and
3. The actions, if any, that the applicant could take to obtain approval.

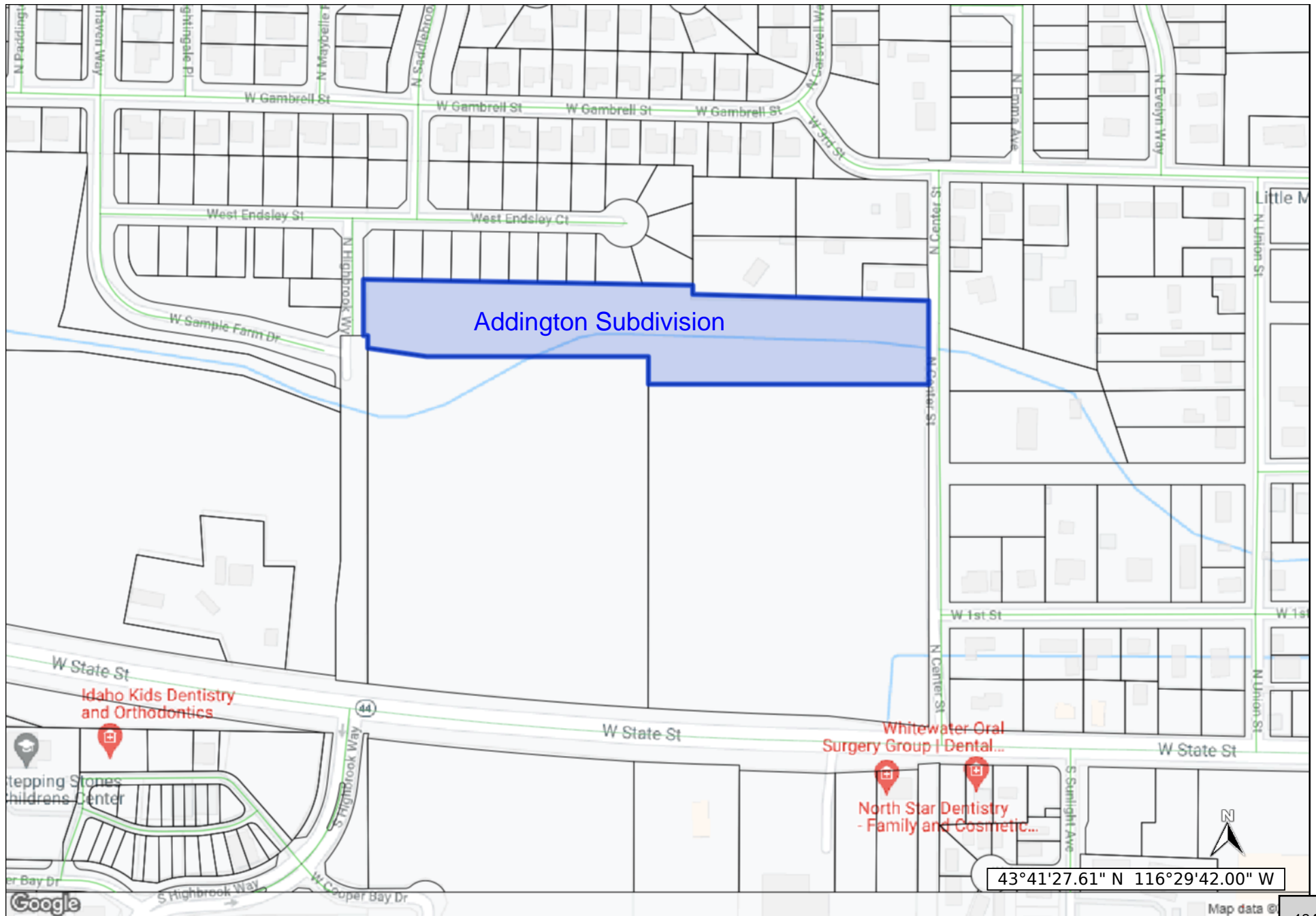
**CONDITIONS OF APPROVAL**

1. The approved Preliminary Plat for the Addington Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **The applicant has entered into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. These fees are currently being calculated at \$1,000.00 per residential lot. These fees will be collected by the City of Star, by phase, prior to final plat signature.**
3. **The applicant shall pay all required emergency services mitigation fees to the City, as determined by City Council.**
4. The private streets shall have a minimum street width of 36' and shall otherwise be constructed to ACHD standards, unless otherwise approved by Council and the Fire District. The private street shall meet all requirements of the Star Fire District.
5. **All sidewalks and planter strips shall be built to UDC standards, unless otherwise approved by Council.**
6. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, with the submittal of the final plat application.**
7. **The Applicant shall provide approval for all street names from the Ada County Street Naming Committee and all names shall be correctly depicted on the final plat prior to signature.**
8. **The applicant shall comply with the Residential Standards for all new houses, as required in Section 8-3B-3 of the UDC.**
9. **The mailbox cluster must be covered and reasonably lit.**
10. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall submit a streetlight design prior to Final Plat approval. Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative.**
11. Street trees along the private street shall be installed per Chapter 8, including Section 8-8C-2-M(2) Street Trees. If the trees will be installed by the builder, Certificate of Occupancy may be withheld until trees have been verified they are installed per code.

- 12. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
- 13. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.
- 14. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
- 15. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 16. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
- 17. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
- 18. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
- 19. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
- 20. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 21. All common areas shall be owned and maintained by the Homeowners Association.
- 22. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 23. A sign application is required for any subdivision signs.
- 24. Any additional Condition of Approval as required by Staff and City Council.**

**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File Number PP-22-02 MOD and for Addington Subdivision on \_\_\_\_\_, 2024.







July 31, 2024

Shawn Nickel  
Planning Director and Zoning Administrator  
City of Star – Planning and Zoning Department  
10769 W. State Street  
Star, ID 83669

RE: Preliminary Plat Modification Application – Addington Townhomes Subdivision

Dear Mr. Nickel:

Attached to this letter is the preliminary plat modification application for the Addington Townhomes Subdivision. This application includes parcel R8108003014 (5.58 acres total area).

The 5.58-acre site (area highlighted in blue below) is generally located on the northeast corner of W. Sample Farm Drive and N Highbrook Way. The property is currently zoned R-7 in the City of Star. The property is currently vacant land.

The site is bound on the south by the Albertsons development (Sample Commercial Subdivision) and future commercial; existing residential to the north, including the newly developed Endsley Court Subdivision; and public rights of way to the east and west.

Addington Subdivision was approved by Star City Council on April 19, 2022, and on September 6, 2022 as part of a reconsideration request. The file numbers are PP-22-02/PR-22-01. The project was approved with 34 residential lots and 1 common lot.



Although the City transmitted the preliminary plat (PP) application to the irrigation and drainage districts with the original preliminary plat, unfortunately, they did not review and comment until after City Council approval, when we submitted our construction permits. The requested revisions are primarily needed to facilitate the comments and requirements of the irrigation and drainage districts.

Key revisions:

- Buildable Lot Count – The original approved PP had 34 building lots. The amended PP is proposing 31, a reduction of 3 building lots.
- The homes continue to be attached units except for one, 1-unit home. The original PP had a mix of 2-unit and 3-unit attached single-family homes. Due to lot configuration constraints, the amended PP has all 2-unit attached single-family homes and one 1-unit home (lot 31).
- The original PP was planned as one phase, the amended PP is proposed as two phases. The western half of the subdivision (phase 1) will retain front loaded lots. The eastern half was revised to include an alley, with alley loaded lots.
- A 23' alley within 27.5' easement is proposed.
  - Per Deputy Chief Victor Islas, the alley will need to be signed 'Fire Access – No Parking.' The drawings illustrate the signs.
  - Vehicular turning movement exhibit has been submitted and reviewed by Deputy Chief Islas illustrating appropriate clearances.
- The original PP included a cul-de-sac. The cul-de-sac was removed in the amended PP as the alley will accommodate the required emergency vehicle circulation.
- Roadway alignments were shifted such that the private roadway easement overlays the DD2 & Flake Lateral easements. The irrigation district requires their easements to only be encumbered by common lots. The original PP had portions of private lots overlapping irrigation district easements. Additionally, the western half (Phase 1) was shifted further north to allow the sewer main to be under the street section in lieu of behind lots 3-16.
  - Western half (Phase 1) shifted north  $\pm 12.5'$ .
  - Eastern half (Phase 2) shifted south  $\pm 17'$ .
- The Original PP had a detached sidewalk adjacent to the eastern lots (Phase 2). Attached sidewalks are proposed to allow street trees at back of walk, out of the Irrigation District easements. Street trees in the planter strip between the back of curb and front of sidewalk would be within the irrigation easements which is prohibited.
- Public access pathways - 5' public sidewalks are proposed on both sides of the private roadway, linking N. Highbrook Way and N. Center Street.

Key items that remain the same:

- 36' private roadway remains within a 50' easement. Street parking can be accommodated with this street section.
  - The eastern end of the private street will still have an emergency access connection to N. Center Street with bollards. This will serve both first responders and the irrigation districts.
  - The original PP was approved with 0'/5' side yard setbacks. The amended PP includes the same 0'/5' side yard setbacks. Please note, Star's zoning code was amended after the original PP approval. Current setbacks are 0'/7.5' side yard. Per the email labeled Exhibit A, we request the amended PP be approved with the reduced side yard width as it is consistent with the prior approval.
  - Minimum lot width
    - Original PP had lots 32' and 27'. Amended PP lots are 31' to 32'. Please note, Star's zoning code has a minimum lot width of 35'. We request the amended PP be approved with the reduced lot width as it is consistent with the prior approval.
1. As with the original PP, utilities are available to support the project, and preliminary utility design is included with this submittal. For irrigation of the common areas and lots we propose to utilize surface water right shares supplemented by a well to supply the needed water for the system. The layout is shown on the attached drawings; the existing pump system is a private system owned and maintained by Star Town Center Land, LLC. The well and pumps were designed for the 28 acres, of which Addington is a part. All rights and responsibilities are documented in a recorded Shared Facilities and Use Agreement. Stubs are in place and ready for extensions. The recently completed Endsley Court HOA and STC Development are parties to the sharing agreement.
- The Homeowners Association of this development will be responsible for all landscape and irrigation maintenance
  - Storm water will be discharged off-site utilizing three connections to the Drain 9 piped system. A license agreement will be entered into with Drainage District No. 2.

The amended preliminary plat (as was the original PP), is consistent with the concept plat submitted to the City with the annexation and rezone applications, includes 31 single family lots (34 originally approved) and three common lots. Common lots will have 1.24 acres of usable open space and 1.99 acres for a perpetual easement for the Private Street (W. Joslyn Lane) and alley. This subdivision is proposed as a single-family development with a density of 5.56 units per acre. Access to the subdivision is from N. Highbrook Way.

The homes will be constructed with two different, yet complimentary, design styles:

**Mountain Modern** residential design blends contemporary architectural elements with the rustic charm of mountain environments, creating homes that harmonize with their natural



surroundings. Natural materials such as wood tones, stone, and metal are prominently featured, lending a rugged yet refined aesthetic that complements the mountainous terrain. The design often includes large, single sloped overhanging roofs, a variety of window fenestrations providing both protection from the elements and a sense of openness. This approach creates a serene and comfortable living space that reflects the beauty and tranquility of its mountain setting that blends with the Treasure Valley.

**Prairie Modern** design is a contemporary design that emphasizes harmony with the landscape and modern sensibilities. Characterized by a strong horizontal emphasis, it features low slope hip roofs, exaggerated overhangs, and expansive windows that blend the indoor and outdoor environments. This style utilizes natural materials like wood and stone, creating a warm, organic feel, and focuses on open, flowing floor plans that encourage spacious and flexible living. This approach melds timeless architectural principles with modern innovation, resulting in homes that are both beautiful and functional.

Thank you in advance for your consideration and support.

Sincerely,



Tamara Thompson  
Director of Client Services

Exhibit A

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**From:** Shawn Nickel <Snickel@staridaho.org>  
**Sent:** Thursday, February 22, 2024 7:33 AM  
**To:** Tamara Thompson <tamara@thelandgroupinc.com>; Ryan Field <rfield@staridaho.org>  
**Subject:** RE: Addington Townhouse Subdivision

Good morning, Tamara. Addington was originally approved for attached homes with zero lot lines and 5' setbacks at the end of the buildings. As long as you are continuing attached homes then you would be fine. If you are now asking for detached now, then you would need to meet current Code requirements for detached dwellings with setbacks of 7.5'.

Shawn

SHAWN L NICKEL  
PLANNING DIRECTOR AND ZONING ADMINISTRATOR  
CITY OF STAR  
[SNICKEL@STARIDAHO.ORG](mailto:SNICKEL@STARIDAHO.ORG)  
208-286-7247 eTC. 3004





## PRELIMINARY PLAT APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: PP-22-02 MOD  
 Date Application Received: 7/31/2024 Fee Paid: \$3815.71  
 Processed by: City: BN

### Applicant Information:

**PRIMARY CONTACT IS:** Applicant  Owner  Representative

Applicant Name: The Land Group, Inc. - Tamara Thompson  
 Applicant Address: 462 E. Shore Dr., Eagle, ID Zip: 83616  
 Phone: 208.939.4041 Email: tamara@thelandgroupinc.com

Owner Name: STC Development, LLC. - P. Eric Davis  
 Owner Address: 199 N. Capital Blvd., Suite 300, Boise, ID Zip: 83702  
 Phone: 208.331.0110 Email: davis@retailwest.com

Representative (e.g., architect, engineer, developer):  
 Contact: Tamara Thompson Firm Name: The Land Group, Inc.  
 Address: 462 E. Shore Dr., Eagle, ID Zip: 83616  
 Phone: 208.939.4041 Email: tamara@thelandgroupinc.com

### Property Information:

Subdivision Name: Addington Subdivision  
 Site Location: Approximately 1,000 feet north of State Street between Highbrook Way and Center Street.  
 Approved Zoning Designation of Site: R-7  
 Parcel Number(s): R8108003014

### Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	R-7	Compact Res/ Central Business	Residential
Proposed	R-7		
North of site	R-7; R-7-DA	Compact Residential	Residential
South of site	C-2	Central Business District	General Commercial
East of site	R-4	Central Business District	Residential
West of site	R-7	Compact Residential	Residential



**SITE DATA (to be noted on the Preliminary Plat):**

Total Acreage of Site - 5.58 acres  
 Breakdown of Acreage of Land in Contiguous Ownership - 5.58 acres - STC Development, LLC.  
 Total Acreage of Site in Special Flood Hazard Area - 0 - Site in Zone X  
 Dwelling Units per Gross Acre (Density) - 6 units  
 Minimum Lot Size - 2774 sf  
 Minimum Lot Width - 31 (requesting council waiver)

Total Number of Lots - 34  
 Residential - 31  
 Commercial - \_\_\_\_\_  
 Industrial - \_\_\_\_\_  
 Common - 3

Total Number of Residential Units - 31  
 Single-family - 31  
 Duplex - \_\_\_\_\_  
 Multi-family - \_\_\_\_\_

Percent of Site and Total Acreage of Common Area (min 15% of entire site) -  
57.89 % / 3.23 acres  
 Percent of Site and Total Usable Open Space Area (min 10% of entire site) -  
22.22 % / 1.24 acres  
 Percent of Common Space to be used for drainage - 0  
 Describe Common Space Areas (amenities, landscaping, structures, etc.) –  
There are grass accent areas, a shade structure, pedestrian connections to Highbrook and Center Street

Public Streets - None Private Streets - Joslyn Ln  
 Describe Pedestrian Walkways (location, width, material) - 5' sidewalks along both sides of the Private St and additional 5' sidewalks to shade structure.  
 Describe Bike Paths (location, width, material) - There are no dedicated bike paths, but ample width provided in street to provide a share type (street shared with vehicles) for bike use.

**FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance):**

Total Acreage of Site in Special Flood Hazard Area - 0 - Site in Zone X

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: #16001C0125J & #16001C0130J  
 FIRM effective date(s): mm/dd/year 06/19/2020  
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone X  
 Base Flood Elevation(s): AE \_\_\_\_\_.0 ft., etc.: \_\_\_\_\_

- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.
- d. Please see link for help with FEMA information <https://msc.fema.gov/portal/search>.
- e. All maps will delineate flood plain lines.

**PUBLIC SERVICES** (Describe what services are available and agency providing service):

Potable Water - Star Sewer & Water District  
 Irrigation Water- Middleton Irrigation Association (Flake Lateral)  
 Sanitary Sewer- Star Sewer & Water District  
 Fire Protection - Star Fire Protection District  
 Schools - West Ada School District  
 Roads - ACHD

**SPECIAL ON-SITE FEATURES** (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern - None Floodplain - None  
 Evidence of Erosion - None Fish Habitat - None  
 Historical Assets - None Mature Trees - None  
 Riparian Vegetation - None Steep Slopes - None  
 Stream/Creek - None Unstable Soils - None  
 Unique Animal Life - None Unique Plant Life - None

**Application Requirements:**

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Annexation, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
N/A	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Preliminary Plat Application	BN
	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
✓	Narrative explaining the project. (must be signed by applicant)	BN
✓	Legal description of the property (word.doc and pdf version with engineer's seal)	BN
✓	Recorded warranty deed for the subject property	BN
✓	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	BN
✓	Approval of the proposed subdivision name from Ada County Surveyor's office.	BN
✓	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	BN
✓	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	BN
✓	Electronic copy in pdf. format of Preliminary Plat	BN

✓	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	BN
✓	Electronic copy in pdf. format of landscape plan	BN
✓	Electronic copy in pdf. format of preliminary site grading & drainage plans See sheets C1.07-C1.09	BN
✓	Phasing plan shall be included in the application if the project is to be phased. See sheet C1.00	BN
✓	Letter of authorization from the local Post Office approving mailbox delivery to subdivision including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	BN
✓	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the proposed development. See sheet C1.00	BN
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	BN
✓	Site report of the highest seasonal groundwater elevation prepared by a registered soils scientist. (If requested by City Engineer)	BN
✓	Special Flood Information – Must be included on Preliminary Plat and Application form.	
✓	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight <b>design</b> and <b>location</b> information. Streetlights shall meet all City "Dark Sky" requirements. See sheet C1.00	BN
	Written confirmation that a traffic impact study is not required and/or has been submitted for review to Ada County Highway District/Canyon Highway District No. 4/Idaho Transportation Department (if applicable).	
✓	One (1) copy of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation district information, streetlight design & location, confirmation of a traffic impact study <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit a colored version of the preliminary plat and/or landscape plan for presentation purposes prior to City Council.</u>	BN
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
✓	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval. Please contact SSWD for details.	

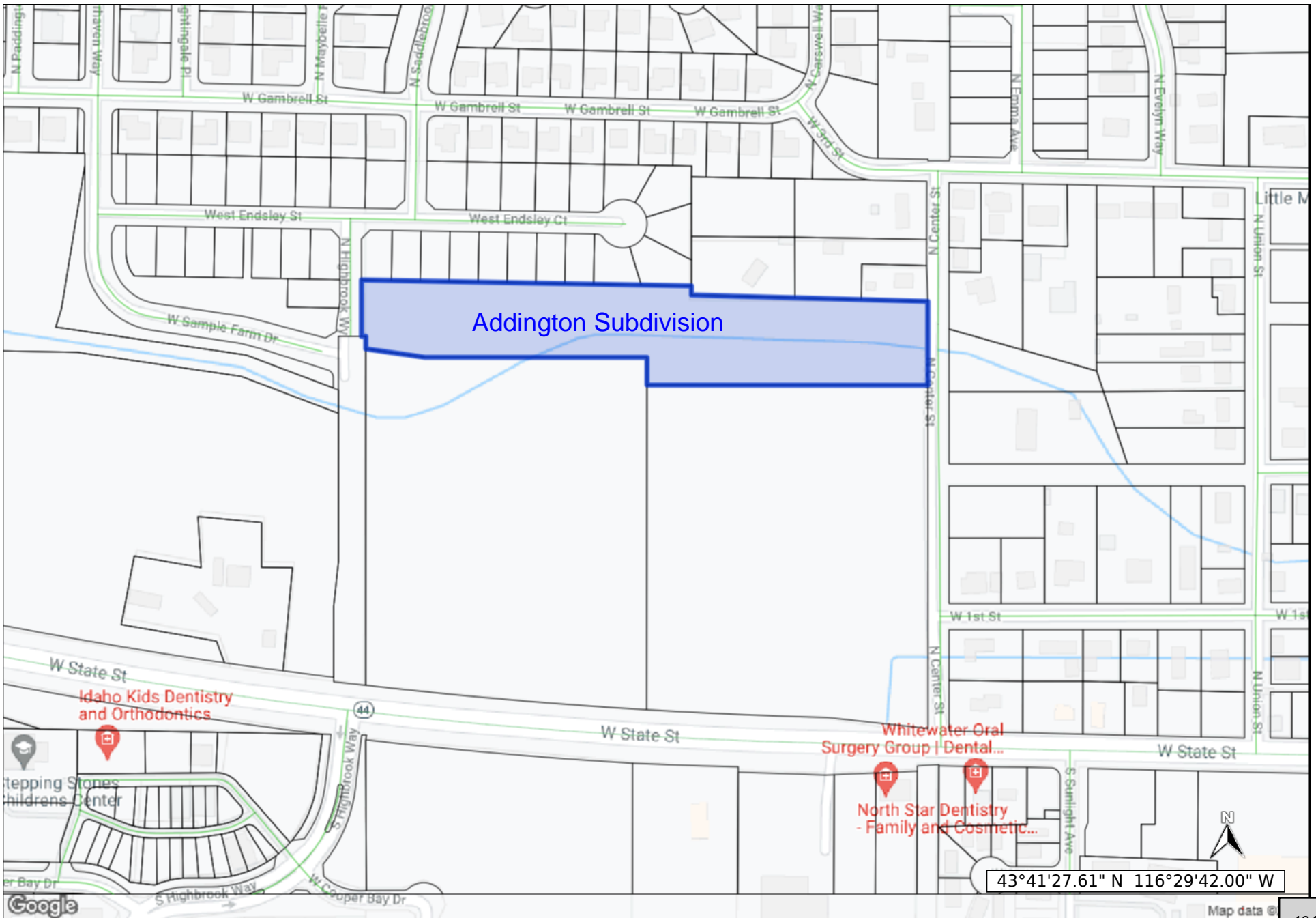
**FEE REQUIREMENT:**

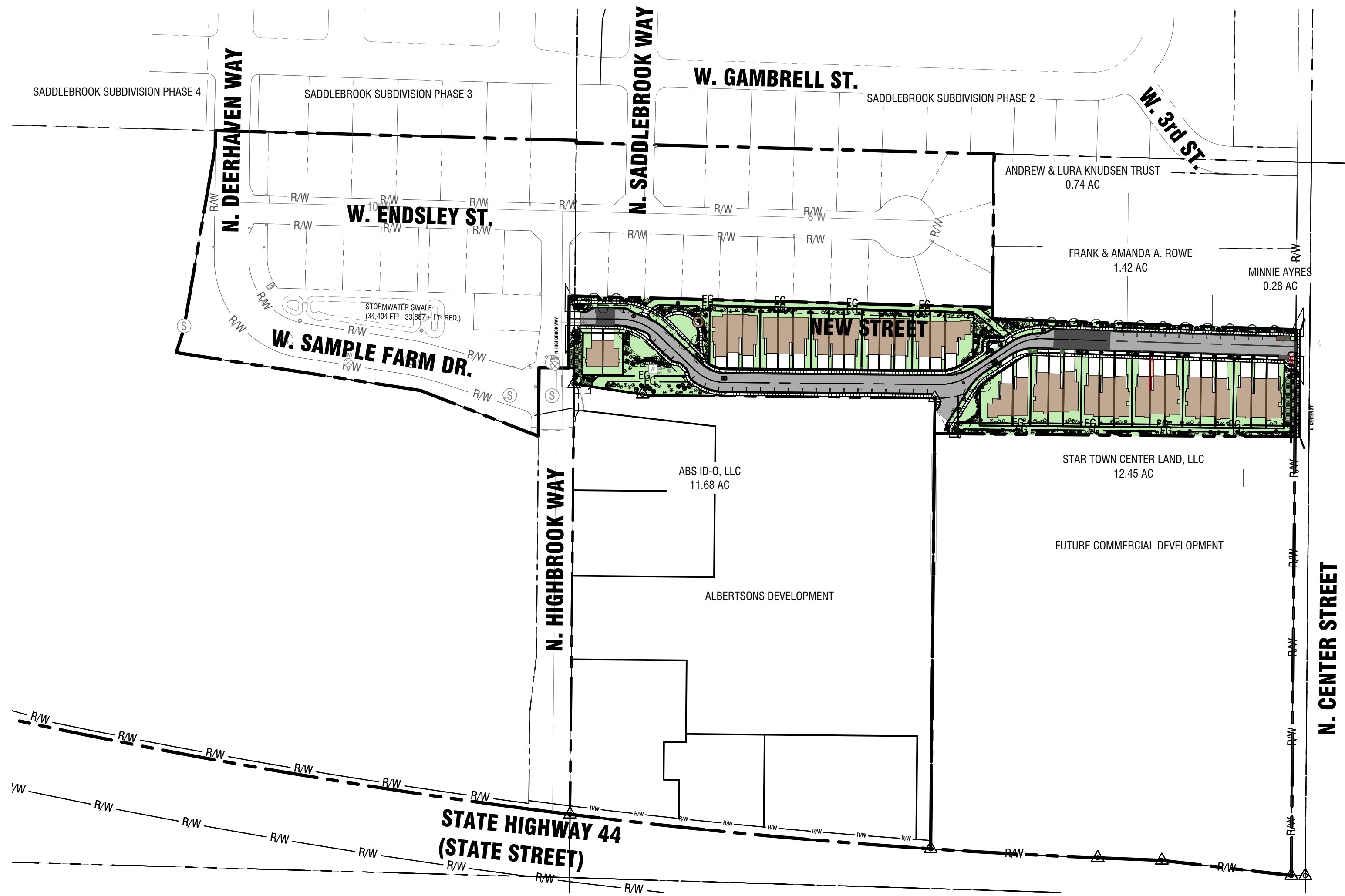
**\*\* I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

  
 Applicant/Representative Signature

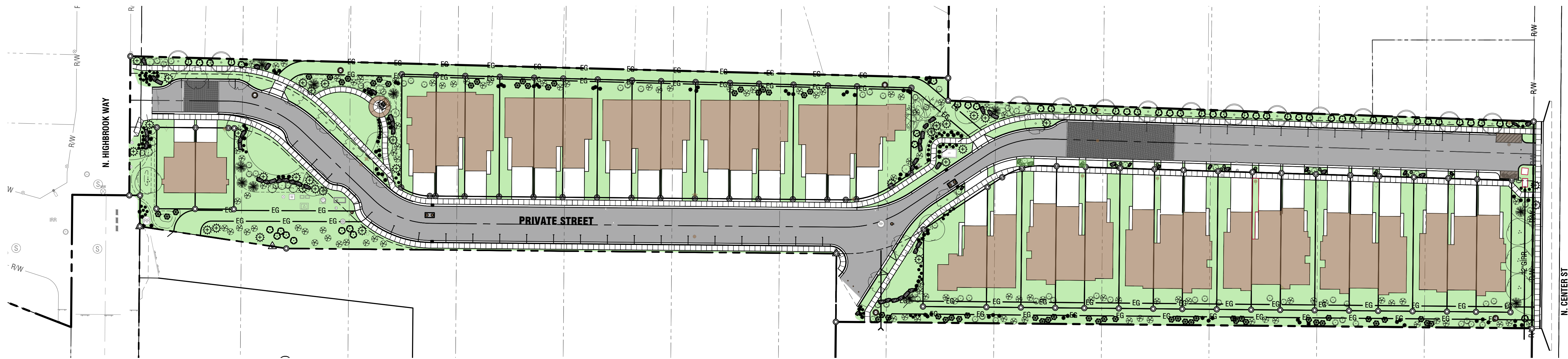
7/31/2024  
 Date







Originally Approved  
Preliminary Plat  
April 19, 2022



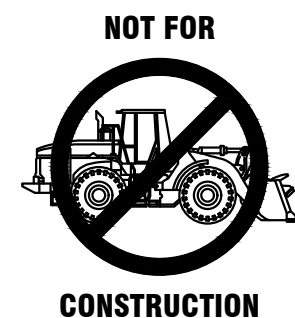
**Concept Plan**

HORIZONTAL SCALE: 1" = 150' (AT 22" X 34")  
Dec 16, 2021



**Addington Townhomes**  
Conceptual Site Plan

Star, Idaho



462 East Shore Drive, Suite 100  
Bozeman, Idaho 83816  
Ph: 208.939.4041 Fax: 208.939.4445  
www.thelandgroupinc.com

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**Owner / Developer:**

STC DEVELOPMENT, LLC  
ERIC DAVIS  
199 N. CAPITOL BLVD., SUITE 300  
BOISE, ID. 83702  
PH: 208.331.0110

**Project Engineer / Surveyor / Landscape:**

THE LAND GROUP, INC.  
ENGINEER: ERIC CROWIN, PE  
SURVEYOR: MIKE FEMENIA, PLS  
LANDSCAPE ARCHITECT: JAMES LEO, PLA  
462 E. SHORE DR., SUITE 100  
EAGLE, ID. 83616  
PH: 208.939.4041

**Irrigation & Drainage Company:**

DRAINAGE DISTRICT NO. 2  
ALLEN FUNKHAUSER  
1101 W RIVER ST, SUITE 110  
BOISE, IDAHO 83702  
PH: 208.571.3804

MIDDLETON MILL DITCH COMPANY  
MIDDLETON IRRIGATION ASSOCIATION, INC.  
FLAKE DITCH COMPANY  
P.O. BOX 848  
MIDDLETON, ID 83644  
PH: 208.585.3207

**Star Sewer & Water District:**

HANK DAY  
10831 W. STATE STREET  
STAR, ID 83669  
PH: 208.286.7388

**Planning Notes:**

CURRENT ZONING: R7  
PROPOSED ZONING: R7  
DIMENSIONAL STANDARDS (AT THE TIME OF ORIGINAL PRELIMINARY PLAT APPROVAL:  
MINIMUM STREET FRONTAGE: 35-FT. (REQUESTING COUNCIL WAIVER 31'-FT)  
FRONT SETBACK: 15-FT TO LIVING, 20-FT TO GARAGE  
REAR SETBACK: 15-FT  
INTERIOR SIDE SETBACK: 0-FT FOR COMMON WALLS, 5-FT AT END OF BUILDING  
STREET SIDE SETBACK: 20-FT (LOCAL)  
ALLEY LOADING - FRONT: 10-FT TO LIVING SPACE  
ALLEY LOADING - REAR: 4-FT  
MAXIMUM BUILDING HEIGHT: 35-FT

**Special Flood Hazard Area:**

PROPERTY IS LOCATED IN ZONE X PER FEMA FIRM PANELS: #16001C0125J & #16001C0130J.

**Area Calculations:**

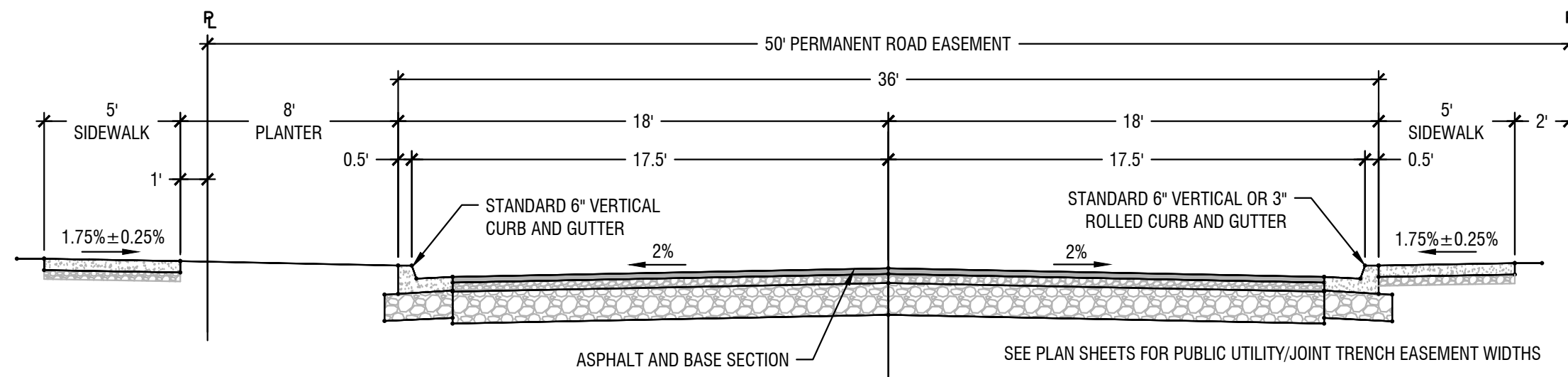
PROJECT SITE - 5.58 AC  
RESIDENTIAL LOT AREA - 2.35 AC (42.11%)  
COMMON LOT OPEN SPACE AREA - 3.23 AC (57.89%)  
COMMON LOT OPEN SPACE USAGE BREAKDOWN  
PRIVATE ROADWAY EASEMENT DEDICATION - 1.99 AC (35.67%)  
USABLE COMMON LOT OPEN SPACE AREA - 1.24 AC (22.22%)

**Density Calculations:**

RESIDENTIAL AREA - 5.58 AC  
MAX ALLOWED DENSITY - 7 UNITS/ACRE = 39 UNITS MAX.  
TOTAL RESIDENTIAL LOTS AREA (THIS PLAT) - 31 RESIDENTIAL UNITS SHOWN = 5.56 UNITS/ACRE

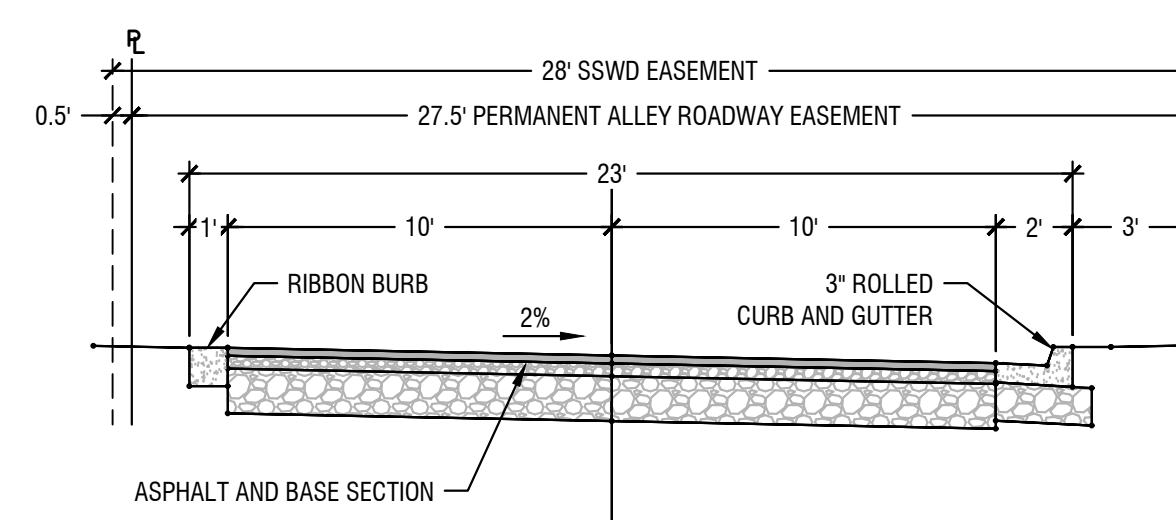
**Sheet Index:**

SHEET NUMBER	SHEET TITLE
C1.00	OVERALL SITE
SITE PLAN	
C1.01	AREA A
C1.02	AREA B
C1.03	AREA C
UTILITY PLAN	
C1.04	AREA A
C1.05	AREA B
C1.06	AREA C
GRADING AND DRAINAGE	
C1.07	AREA A
C1.08	AREA B
C1.09	AREA C
LANDSCAPE PLANS	
L1.00	OVERALL
L1.01	AREA A
L1.02	AREA B
L1.03	AREA C
L1.50	DETAILS



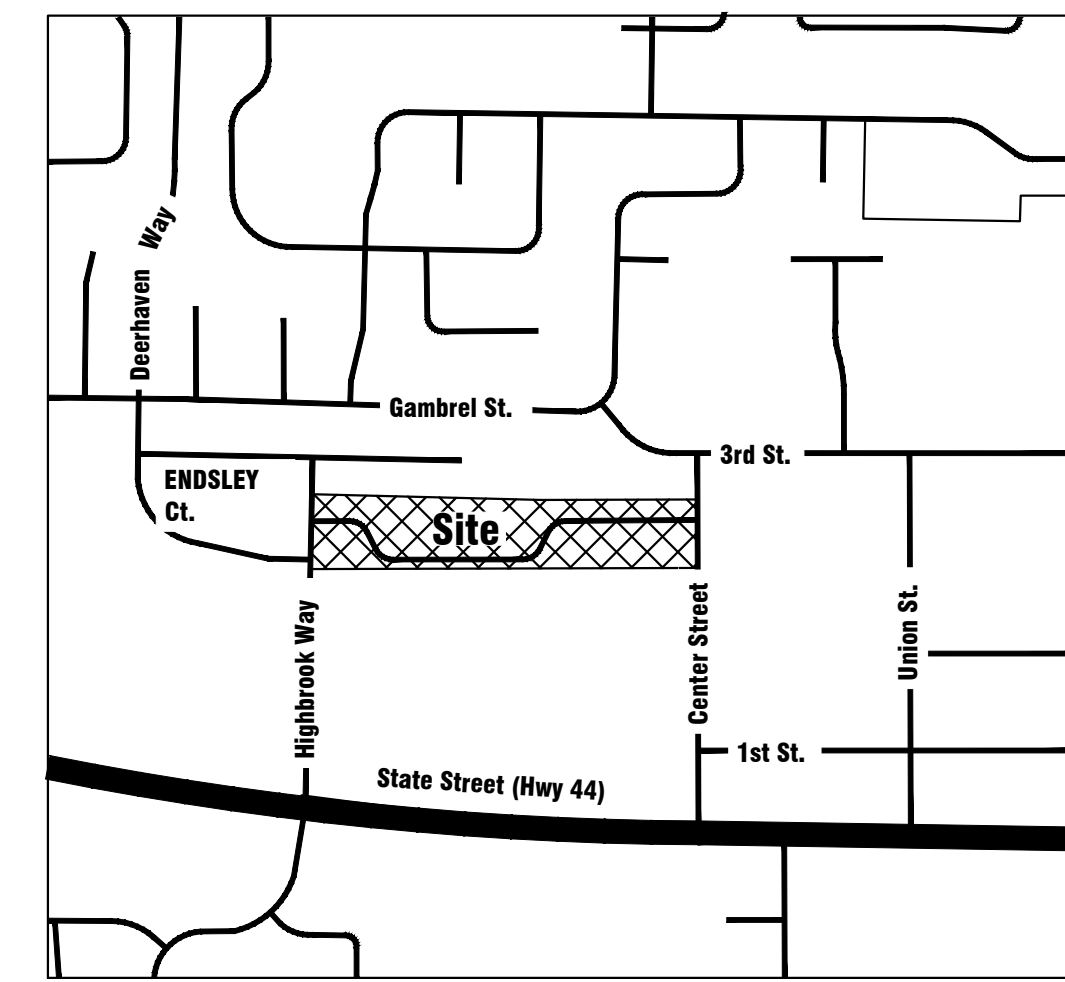
**1 36/50 Private Road - Attached & Detached Sidewalks**

Scale: 1" = 5'

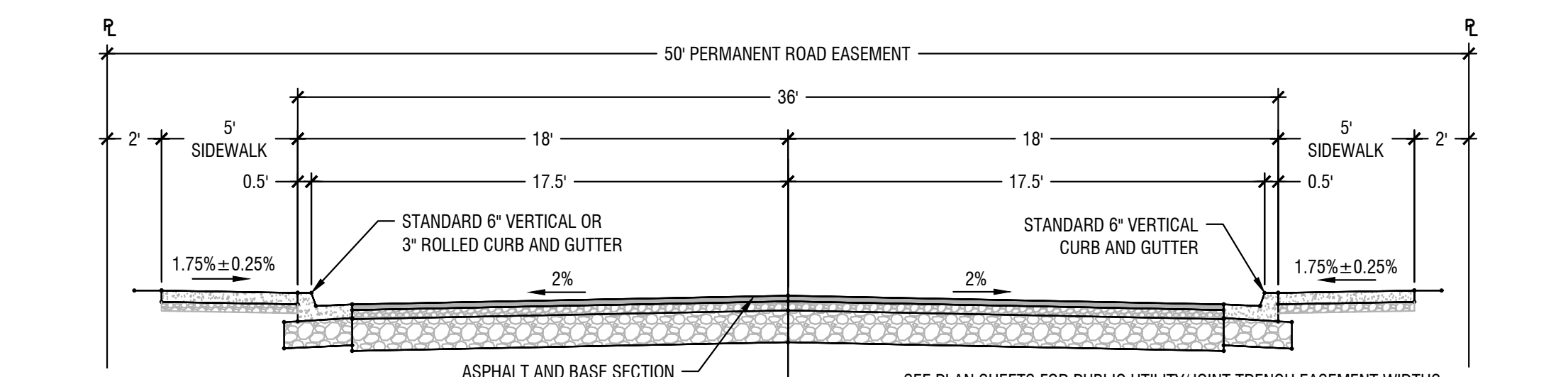


**3 Private Alley**

Scale: 1" = 5'



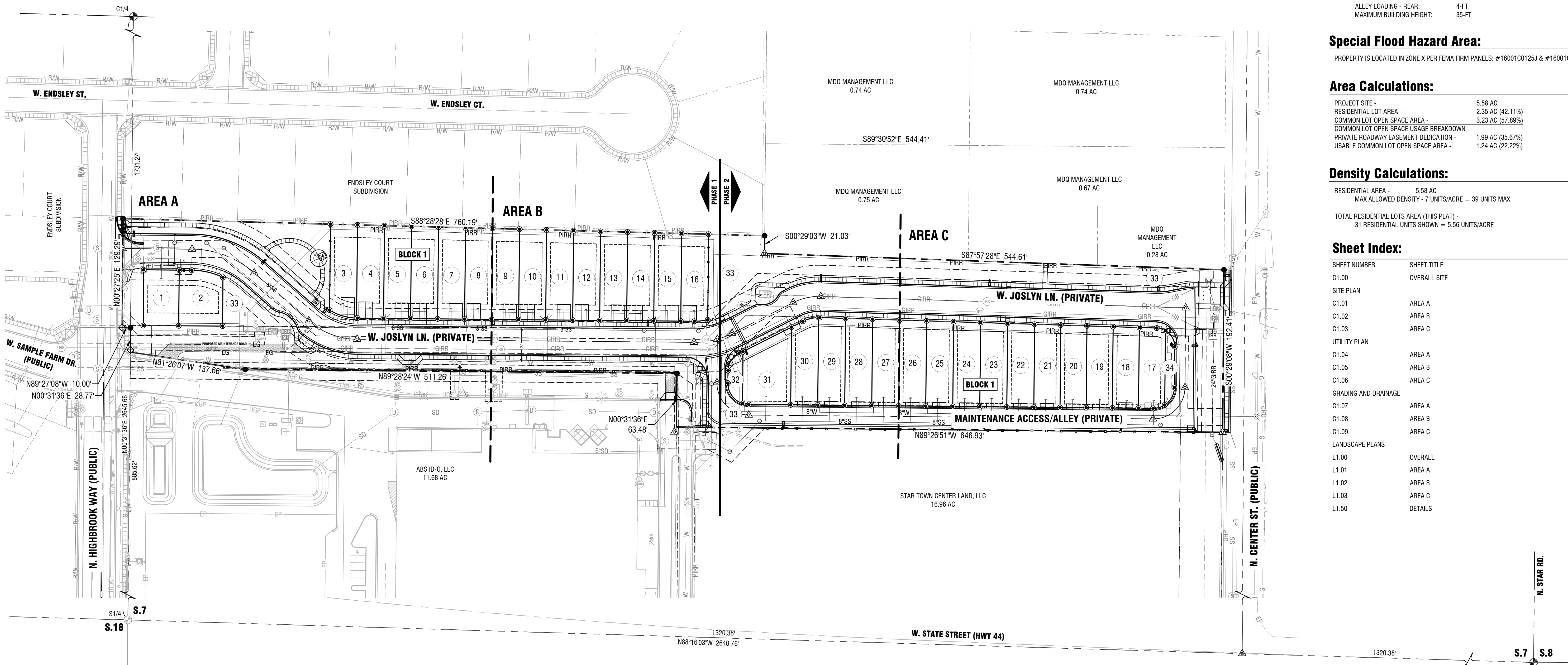
**Vicinity Map**  
NOT TO SCALE



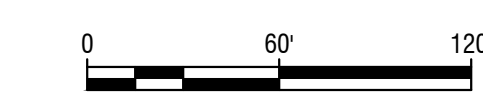
**2 36/50 Private Road - Attached Sidewalks**

Scale: 1" = 5'

**Proposed Modification Preliminary Plat**

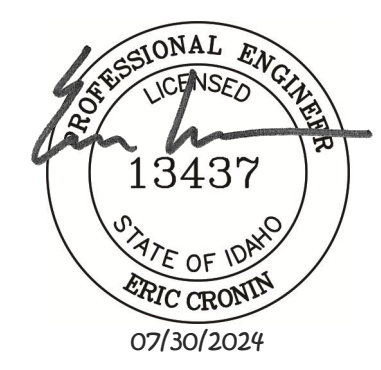


**Overall Site**  
Horizontal Scale: 1" = 60'



**Addington Townhomes Sub. - Amended Preliminary Plat**  
**STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
STAR, IDAHO

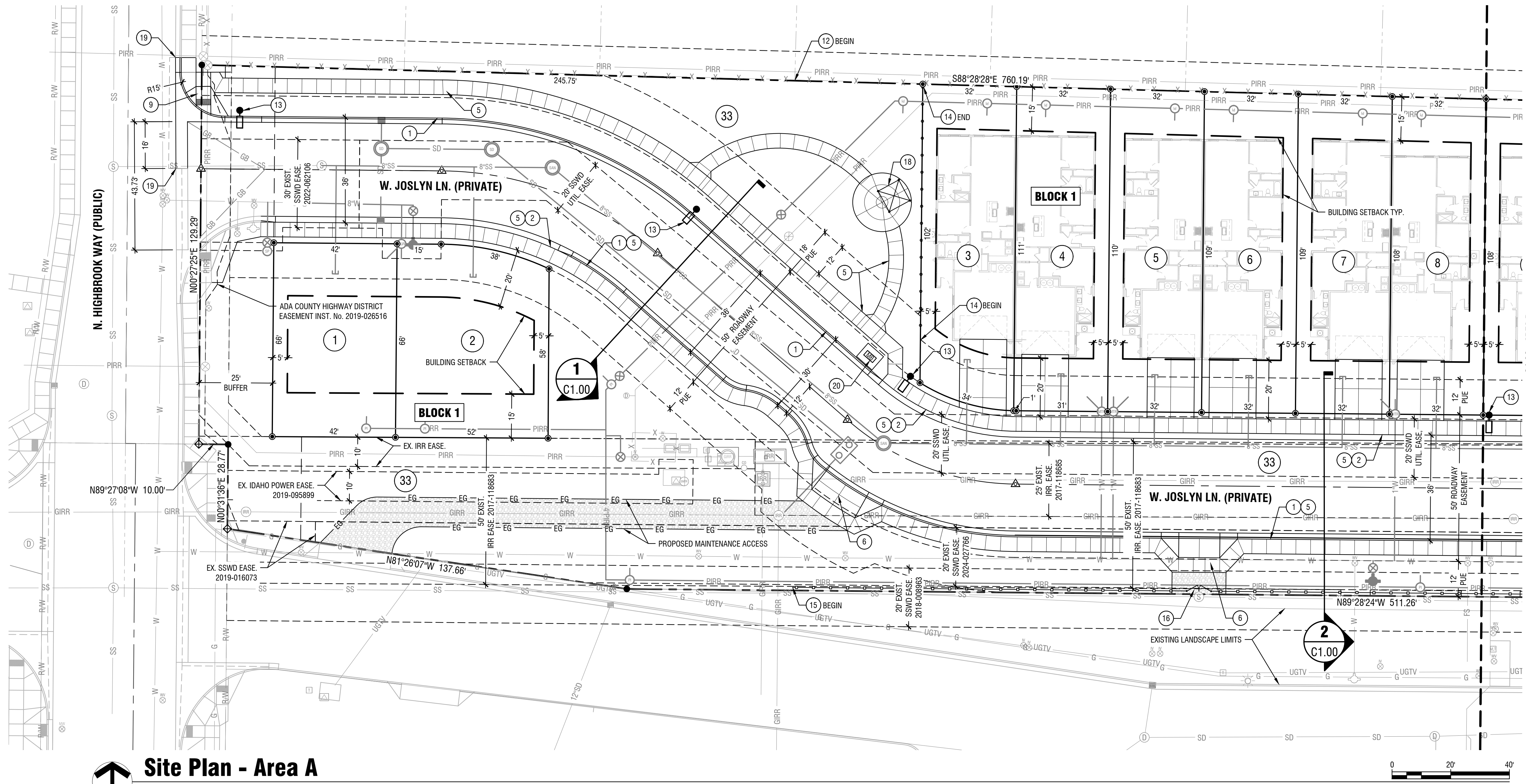


Project No.: 121064  
Date of Issuance: 07.30.2024  
Project Milestone: Amended Preliminary Plat

Overall Site

**C1.00**





**Sheet Notes:**

1. SEE L-SERIES SHEETS FOR LANDSCAPE PLANS AND SHEETS C1.04-C1.06 FOR PRESSURE IRRIGATION PLANS.
2. A MINIMUM 20' WIDE EASEMENT SHALL BE GRANTED TO STAR SEWER & WATER DISTRICT FOR ALL MAINS OUTSIDE THE PUBLIC RIGHTS OF WAY.
3. ALL PEDESTRIAN CROSSINGS WILL HAVE A TACTILE WARNING SURFACE (TWS) FOR PEDESTRIAN ACCESS PER ACHD SUPPLEMENT TO THE ISPCW SD-712.
4. BUILDING FOOTPRINTS ARE PRELIMINARY AND SUBJECT TO CHANGE.

**Legend:**

- BOUNDARY LINE
- LOT LINE
- ROADWAY CENTERLINE
- BUILDING SETBACK
- EASEMENT LINE
- LOT NUMBER
- 6" VERTICAL CURB & GUTTER
- 3" ROLLED CURB & GUTTER
- 12" WIDE RIBBON CURB
- 5" WIDE SIDEWALK
- FOUND 5/8" SURVEY MONUMENT
- FOUND COPPER DISC MONUMENT
- CALCULATED POINT (NOTHING SET OR FOUND)
- LOT CORNER MONUMENT (NOTHING SET OR FOUND)

**Material Legend:**

- DECORATIVE GRAVEL FINISH SURFACE

**Keynotes:**

1. 6" VERTICAL CURB & GUTTER PER ACHD SUPPLEMENT TO THE ISPCW SD-701.
2. 3" ROLLED CURB & GUTTER PER ACHD SUPPLEMENT TO THE ISPCW SD-702.
3. 12"x8" RIBBON CURB SIMILAR TO ACHD SUPPLEMENT TO THE ISPCW SD-703.
4. VALLEY GUTTER PER ACHD SUPPLEMENT TO THE ISPCW SD-708.
5. 5' SIDEWALK PER ACHD SUPPLEMENT TO THE ISPCW SD-709.
6. DRIVEWAY WITH SIDEWALK AROUND APPROACH PER ACHD SUPPLEMENT TO THE ISPCW SD-710A.
7. NOT USED.
8. NOT USED.
9. PEDESTRIAN RAMP TYPE "A", PER THE ISPCW SD-712A.
10. PEDESTRIAN RAMP TYPE "G" MID-BLOCK PER ACHD SUPPLEMENT TO THE ISPCW SD-712G.
11. REMOVABLE BOLLARDS FOR EMERGENCY ACCESS AND IRRIGATION DISTRICT ACCESS.
12. SCREEN EXTENSION FENCE ON PROJECT SIDE OF EXISTING FENCE. SEE DETAIL 1/C1.01.
13. STREET LIGHT PER CITY OF STAR STANDARDS.
14. 4' WROUGHT IRON FENCE TO BE INSTALLED WITH HOUSE CONSTRUCTION.
15. 9' TALL SCREEN FENCE PER DETAIL 1/C1.01.
16. GATED ACCESS FOR SEWER MAINTENANCE.
17. INSTALL "NO PARKING" SIGN. ALL SIGNS SHALL BE INSTALLED AT 45° ANGLE RELATIVE TO TRAVEL LANE.
18. 8'x8' SHADE STRUCTURE AT PLAZA WITH TABLE.
19. WIDEN EXISTING APPROACH AS DIMENSIONED. RECONSTRUCT PEDESTRIAN RAMP, SIDEWALK AND VALLEY GUTTER. PROVIDE 2' MINIMUM PAVEMENT SAW-CUT AND REPAIR.
20. USPS MAILBOX CLUSTER LOCATION.

**Site Plan - Area A**

Horizontal Scale: 1" = 20'



**1 Screen Fence Detail**

Scale: NTS

**Addington Townhomes Sub. - Amended Preliminary Plat  
STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
STAR, IDAHO

Revisions

1.	



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**Site Plan  
Area A**



Sheet Notes:

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Legend:

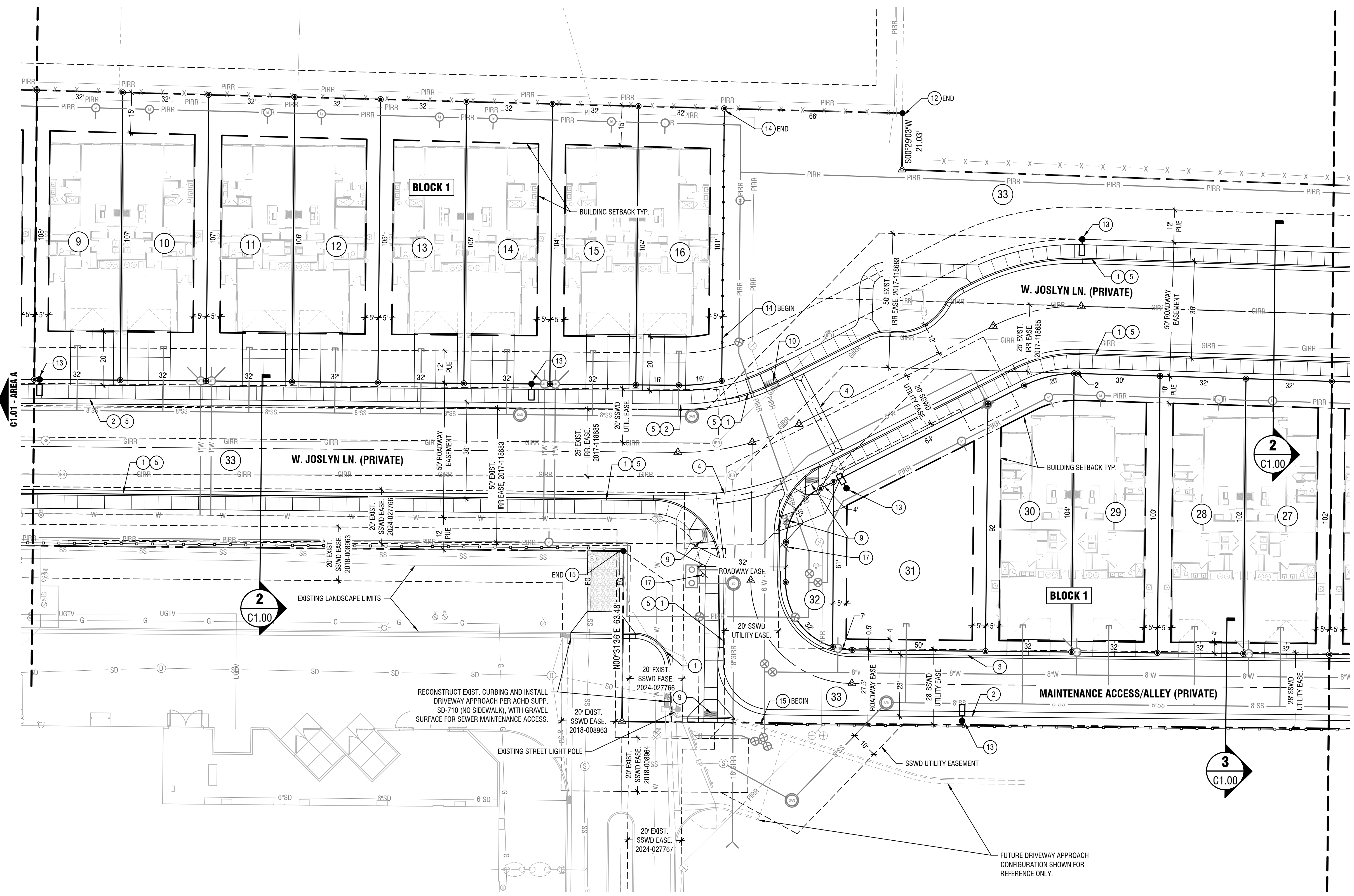
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- LOT CORNER MONUMENT (NOTHING SET OR FOUND)

Material Legend:

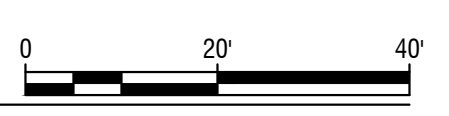
- DECORATIVE GRAVEL FINISH SURFACE

Keynotes:

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- 3" ROLLED CURB & GUTTER PER ACHD SUPPLEMENT TO THE ISPPWC SD-702.
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- NOT USED.
- NOT USED.
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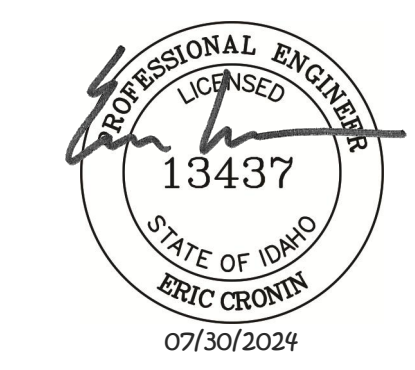
**Site Plan - Area B**  
 Horizontal Scale: 1" = 20'



**Addington Townhomes Sub. - Amended Preliminary Plat**  
**STC Development**  
 NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
 STAR, IDAHO

Revisions

1.	
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Project No.: 121064  
 Date of Issuance: 07.30.2024  
 Project Milestone: Amended Preliminary Plat

**Site Plan**  
**Area B**

12/15/2023 10:45:00 AM C:\Users\eric\OneDrive\Documents\121064\121064\_Prelim\121064\_Prelim\_SitePlan\_AreaB.dwg  
 Date Plotted: Monday, July 30, 2024 11:15 AM























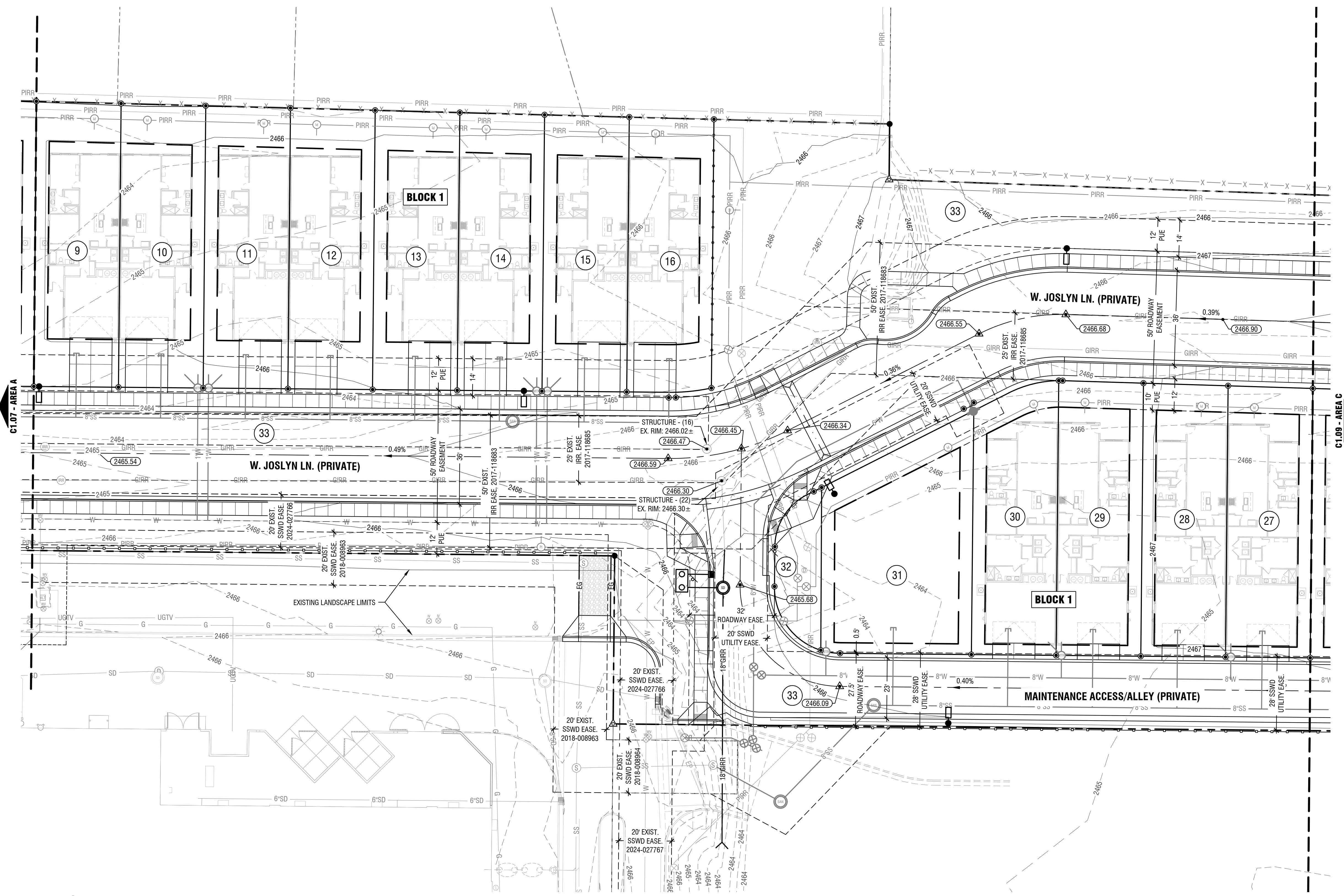


Sheet Notes:

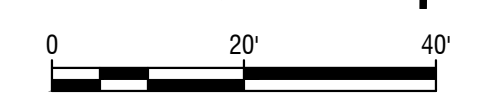
1. THE PROPOSED IMPROVEMENTS AS SHOWN ARE CONCEPTUAL IN NATURE. THEY ARE INTENDED TO SHOW THE METHOD BY WHICH NECESSARY STORM WATER SYSTEMS CAN BE CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT AND ARE SUBJECT TO CHANGE. PRIOR TO CONSTRUCTION, DETAILED ENGINEERING PLANS WILL BE PREPARED FOR REVIEW AND APPROVAL BY THE AGENCIES HAVING JURISDICTION (AHL).
2. SITE STORM WATER WILL BE PRETREATED WITH SAND & GREASE TRAP AND DISCHARGED TO THE DRAIN 9A. A LICENCE AGREEMENT WILL BE ENTERED INTO WITH DRAINAGE DISTRICT NO. 2.
3. REFER TO SHEETS C1.04-1.06 FOR ADDITIONAL UTILITY INFORMATION.
4. SPOT ELEVATIONS INDICATED ARE PROPOSED FINISH GRADE.

Storm Drain Legend:

- SD — SD STORM DRAIN PIPE (SIZE TO BE DETERMINED)
- CATCH BASIN INLET PER ACHD SUPP. SD-601
- SAND AND GREASE TRAP
- STORM DRAIN MANHOLE



**Grading and Drainage - Area B**  
 Horizontal Scale: 1" = 20'

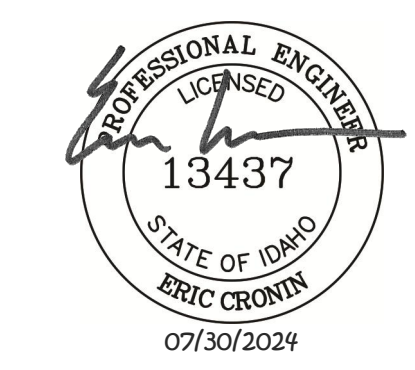


**Addington Townhomes Sub. - Amended Preliminary Plat**  
**STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
 STAR, IDAHO

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Project No.: 121064  
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**Grading and Drainage**  
**Area B**

1. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF THE LAND GROUP AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE LAND GROUP.



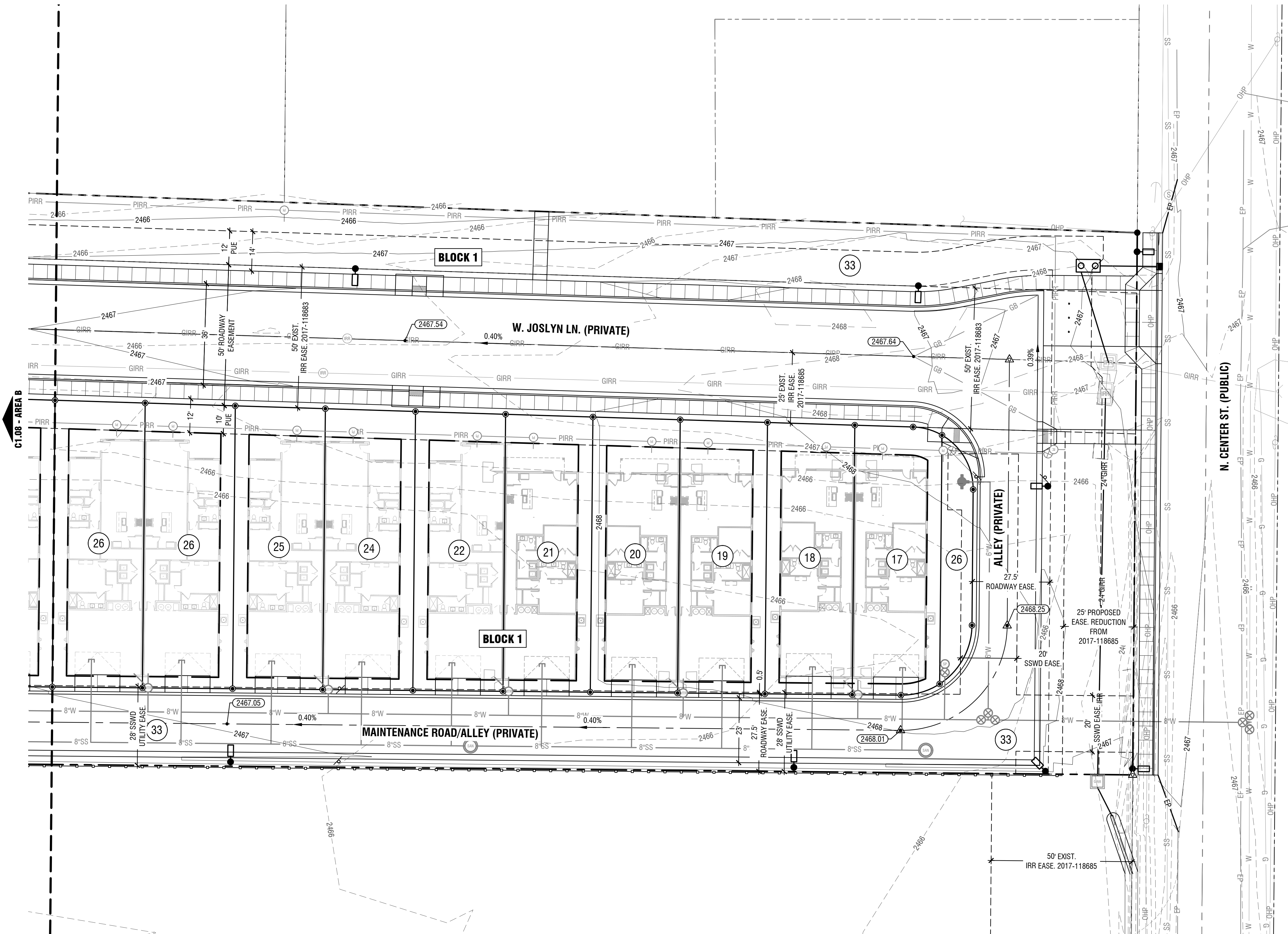


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**Addington Townhomes Sub. - Amended Preliminary Plat**

**STC Development**

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**Landscape Plan Overall**

**L1.00**

PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS	
<b>TREES</b>						
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	CLASS II; MATURITY: 35' H X 25' W	
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM / PRAIRIE SPIRE ASH	2" CAL.	B&B	CLASS II; MATURITY: 40' H X 20' W	
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE	2" CAL.	B&B	CLASS III; MATURITY: 55' H X 25' W	
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	2" CAL.	B&B	CLASS II; MATURITY: 50' H X 8' W	
	PD	PINUS NIGRA 'OREGON GREEN' / OREGON GREEN PINE	6' HT.	B&B	CONIFEROUS; MATURITY: 18' H X 12' W	
	OM	QUERCUS MACROCARPA / BURR OAK	2" CAL.	B&B	CLASS III; MATURITY: 50' H X 40' W	
<b>SHRUBS</b>						
	AL	ARONIA MELANOCARPA 'UCONNAM165' TM / LOW SCAPE MOUND BLACK CHOKEBERRY	3 GAL		MATURITY: 1.5' H X 3.5' W	
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL		MATURITY: 2.5' H X 2.5' W	
	CA	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL		MATURITY: 5' H X 5' W	
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL		MATURITY: 4' H X 3' W	
	CS	CORNUS ALBA 'SIBIRICA' / REDBARK DOGWOOD	5 GAL		MATURITY: 9' H X 5' W	
	EU	EUONYMUS JAPONICUS 'GREENSPIRE' / GREENSPIRE UPRIGHT EUONYMUS	2 GAL		MATURITY: 6' H X 3' W	
	HK	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL		MATURITY: 2' H X 2' W	
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL		MATURITY: 15H X 3W	
	LM	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER	1 GAL		MATURITY: 2' H X 2' W	
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE	2 GAL		MATURITY: 2' H 6' W	
	PM	PINUS MUJGO 'SLOWMOUND' / SLOWMOUND MUJGO PINE	2 GAL		MATURITY: 3' H X 3' W	
	PS2	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMER WINE® NINEBARK	5 GAL		MATURITY: 5H X 5W	
	RT	RHUS TYPHINA 'BAILTIGER' / TIGER EYE STAGHORN SUMAC	5 GAL		MATURITY: 6W X 6H	

**Landscape Plan Notes:**

- A. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- B. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- C. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
- D. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- F. ALL NON-TURF PLANTERS SHALL RECEIVE 4" LAYER OF DECORATIVE MULCH.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. PLANT QUANTITIES IDENTIFIED ON THE PLAN AREA APPROXIMATE. CONTRACTOR SHALL VERIFY.

**Preliminary Plat Landscape Notes:**

- 1. NO SLOPES GREATER THAN 20% SLOPE EXIST OR ARE PROPOSED ON THIS SITE.
- 2. REFER TO PLAN SHEETS FOR SIGHT TRIANGLES PER STAR ORDINANCE.
- 3. FENCING BY OWNER, BUILDER, OR DEVELOPER.
- 4. ANY TREES PLANTED WITHIN A PARKWAY STRIP SHALL BE CENTERED IN PARKWAY STRIP.
- 5. NO TREES EXIST ON SITE THAT REQUIRE MITIGATION PER STAR ORDINANCE.

**Street Tree Notes:**

- 1. TREES SHALL NOT BE PLANTED WITHIN A MINIMUM 5' OF ANY SSWD WATER SERVICE.
- 2. ANY TREES PLANTED WITHIN A CLEAR VISION TRIANGLE SHALL BE PRUNED TO A MINIMUM OF EIGHT FEET (8') ABOVE THE GROUND OR SIDEWALK SURFACE AND 14 FEET (14') ABOVE ADJACENT STREET SURFACE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUNDCOVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE THREE FEET (3') FROM THE LOWEST ADJACENT STREET.
- 3. ROOTBARRIERS SHALL BE INSTALLED AT CURBS AND SIDEWALKS AT STREET TREES WHERE THE PARKWAY STRIP IS LESS THAN 8' WIDE.

**Automatic Underground Irrigation Notes:**

- A. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
- B. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- C. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 18" AT NON-MOW FESCUE AREAS, 6" AT SOD LAWN AREAS.
- D. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEMS - WITH DRIP CONTROL ZONE KIT AND 150 MESH FILTER (MIN.).
- E. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:  
E.A. PRECISE INDIVIDUAL STATION TIMING  
E.B. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES  
E.C. AT LEAST ONE PROGRAM FOR EACH HYDROZONE  
E.D. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF  
E.E. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- F. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- G. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- H. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, AND PARKING AREA.
- I. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX LARGE ENOUGH TO ALLOW FOR MAINTENANCE AND REMOVAL. ONLY ONE VALVE PER BOX.

**Landscape Requirements:**

AS IDENTIFIED IN THE STAR, IDAHO CITY ORDINANCE:

**LANDSCAPE BUFFERS ALONG STREETS (8-8D-2-M)**  
ONE (1) TREE PER THIRTY-FIVE (35) LINEAR FEET WITH SHRUBS, LAWN, OR OTHER VEGETATIVE GROUND COVER.

STREET	TREES REQUIRED	TREES PROVIDED
N. Highbrook Way (Less Drive/Easements)	3 TREES (120 L.F. / 35)	1 SHADE TREE 4 ORNAMENTAL TREES*
N. Center St (Less Drive/Easements)	5 TREES (172 L.F. / 35)	3 SHADE TREES 4 ORNAMENTAL TREES*

\*COLUMNAR SWEETGUM SUBSTITUTED FOR REQUIRED SHADE TREE AT 2:1 USING ORNAMENTAL TREE SUBSTITUTION ALLOWANCE FROM MUNICIPAL CODE.

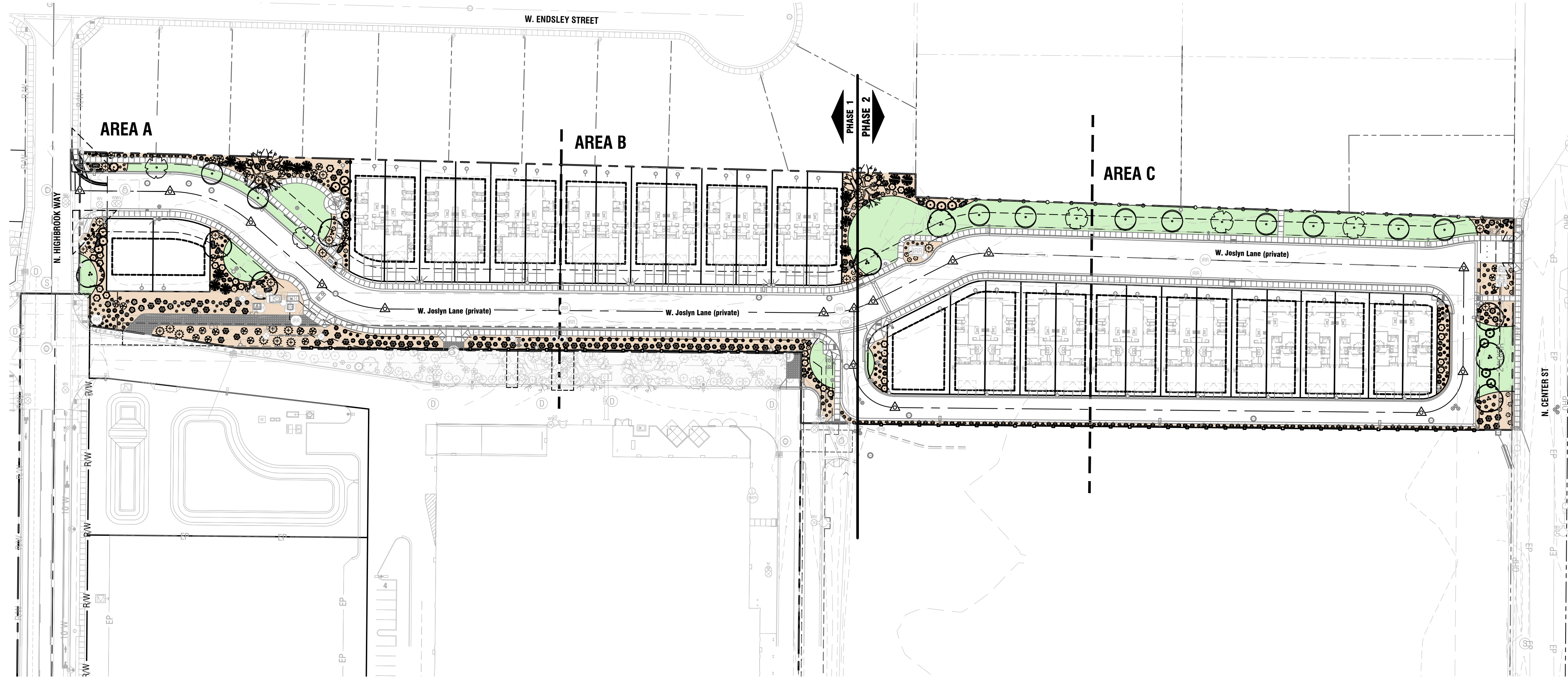
**QUALIFIED OPEN SPACE (8-4E-2)**  
TOTAL LAND AREA OF ALL COMMON OPEN SPACE SHALL EQUAL OR EXCEED FIFTEEN PERCENT (15%) OF THE GROSS LAND AREA OF DEVELOPMENT. A MINIMUM OF 10% OF THE TOTAL GROSS ACREAGE OF THE DEVELOPMENT SHALL BE FOR USEABLE AREA OPEN SPACE. OPEN SPACE SHALL BE DESIGNATED AS A TOTAL OF 15% MINIMUM FOR RESIDENTIAL DEVELOPMENTS IN ALL ZONES WITH DENSITIES OF R-2 OR GREATER.

REQUIRED S.F.	PROVIDED S.F.
36,459.72 S.F. (15% x 243065 S.F.)	54,014.4 S.F. (22.22%)

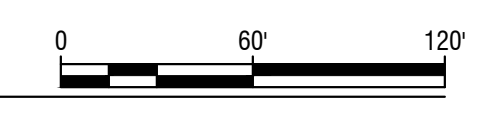
NEW RESIDENTIAL SUBDIVISION COMMON AREA LANDSCAPES SHALL BE COMPRISED OF THE FOLLOWING: LAWN, EITHER SEED OR SOD, A MINIMUM OF ONE DECIDUOUS SHADE TREE PER FOUR THOUSAND (4,000) SQUARE FEET. (8-8D-2-J-5)

PROVIDED S.F.	REQUIRED TREES	PROVIDED TREES
54,014.4 S.F.	14 TREES (64014.4 / 4000)	43 TREES*

\*A MIX OF DECIDUOUS SHADE AND CONIFEROUS TREES HAVE BEEN PROVIDED IN THE COMMON LOTS AND THROUGHOUT THE SITE.

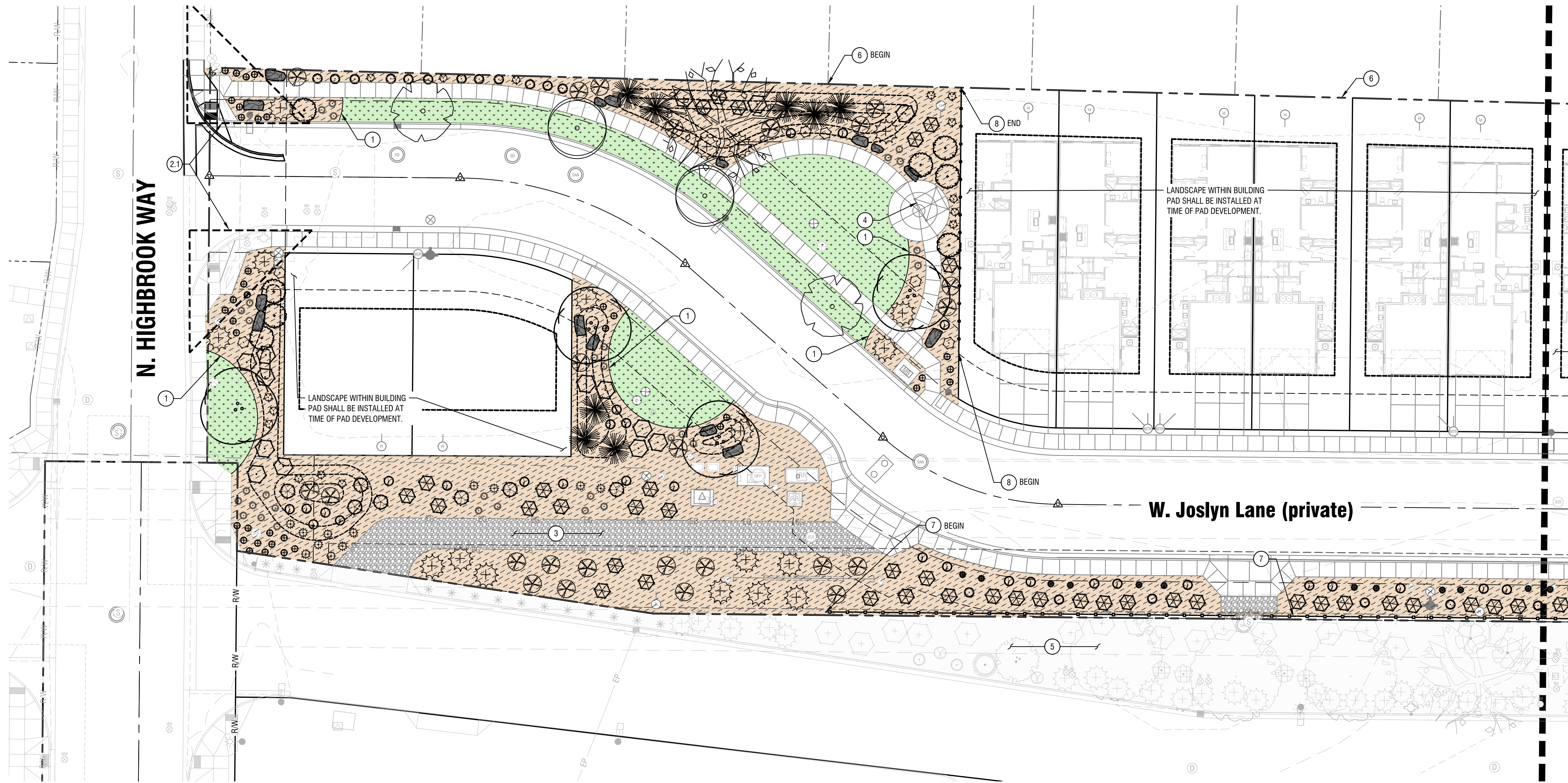


**Landscape Plan - Overall**  
Horizontal Scale: 1" = 60'



DATE PLOTTED: 07/30/2024 10:58:11 AM  
DRAWN BY: J. B. LEDDY  
CHECKED BY: J. B. LEDDY  
PROJECT NO.: 121064





**Landscape Plan - Area A**  
Horizontal Scale: 1" = 20'

**Landscape Plan Notes:**

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- D. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR.
- E. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- F. ALL NON-TURF PLANTERS SHALL RECEIVE 4" LAYER OF DECORATIVE MULCH.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. PLANT QUANTITIES IDENTIFIED ON THE PLAN AREA APPROXIMATE. CONTRACTOR SHALL VERIFY.

**Preliminary Plat Landscape Notes:**

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- 2. REFER TO PLAN SHEETS FOR SIGHT TRIANGLES PER STAR ORDINANCE.
- 3. FENCING BY OWNER, BUILDER, OR DEVELOPER.
- 4. ANY TREES PLANTED WITHIN A PARKWAY STRIP SHALL BE CENTERED IN PARKWAY STRIP.
- 5. NO TREES EXIST ON SITE THAT REQUIRE MITIGATION PER STAR ORDINANCE.

**Street Tree Notes:**

- 1. TREES SHALL NOT BE PLANTED WITHIN A MINIMUM 5' OF ANY SSWD WATER SERVICE.
- 2. ANY TREES PLANTED WITHIN A CLEAR VISION TRIANGLE SHALL BE PRUNED TO A MINIMUM OF EIGHT FEET (8') ABOVE THE GROUND OR SIDEWALK SURFACE AND 14 FEET (14') ABOVE ADJACENT STREET SURFACE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUNDCOVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE THREE FEET (3') FROM THE LOWEST ADJACENT STREET.
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**Material Legend:**

	TURF SOD		4"-DEPTH BLACK & TAN ROCK MULCH.
	CONCEPTUAL LANDSCAPE BERM, 1' CONTOURS.		LARGE LANDSCAPE BOULDERS, 4'-6" DIA. TYP PER DETAIL 4/L1.50.

**Keynotes:**

- 1. PLANTER CUT EDGE PER DETAIL 1/L1.50.
- 2. CLEAR VISION TRIANGLE. ALL IMPROVEMENTS WITH VISION TRIANGLE SHALL CONFORM TO CITY CODE.
- 2.1. 40-FT X 40-FT STREET INTERSECTION TRIANGLE
- 2.2. 20-FT X 10-FT STREET TO DRIVEWAY TRIANGLE
- 3. MAINTENANCE ROAD FOR GRAVITY IRRIGATION OR PUBLIC UTILITY. REFER TO UTILITY PLAN OR MORE INFORMATION.
- 4. 8' X 8' SHADE STRUCTURE AT PLAZA WITH TABLE.
- 5. LANDSCAPE IMPROVEMENTS PREVIOUSLY INSTALLED BY ADJACENT DEVELOPMENT. RETAIN & PROTECT.
- 6. SCREEN EXTENSION FENCE ON PROJECT SIDE OF EXISTING FENCE. SEE DETAIL 6/L1.50.
- 7. 9-FT TALL SCREEN FENCE PER DETAIL 6/L1.50.
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**Addington Townhomes Sub. - Amended Preliminary Plat**  
**STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
STAR, IDAHO

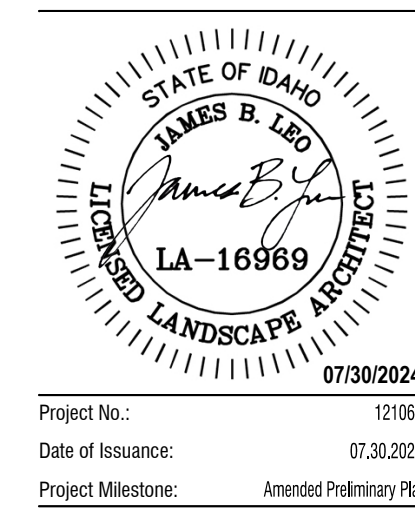
Revisions

1.	
----	--

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
<b>TREES</b>					
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	CLASS II; MATURITY: 35' H X 25' W
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM / PRAIRIE SPIRE ASH	2" CAL.	B&B	CLASS II; MATURITY: 40' H X 20' W
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE	2" CAL.	B&B	CLASS III; MATURITY: 55' H X 25' W
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	2" CAL.	B&B	CLASS II; MATURITY: 50' H X 8' W
	PO	PINUS NIGRA 'OREGON GREEN' / OREGON GREEN PINE	6' HT.	B&B	CONIFEROUS; MATURITY: 18' H X 12' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	QM	QUERCUS MACROCARPA / BURR OAK	2" CAL.	B&B	CLASS III; MATURITY: 50' H X 40' W
<b>SHRUBS</b>					
	AL	ARONIA MELANOCARPA 'UCONNAM165' TM / LOW SCAPE MOUND BLACK CHOKEBERRY	3 GAL.		MATURITY: 1.5' H X 3.5' W
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL.		MATURITY: 2.5' H X 2.5' W
	CA	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.		MATURITY: 5' H X 5' W
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.		MATURITY: 4' H X 3' W
	CS	CORNUS ALBA 'SIBIRICA' / REDBARK DOGWOOD	5 GAL.		MATURITY: 9' H X 5' W
	EU	EUONYMUS JAPONICUS 'GREENSPIRE' / GREENSPIRE UPRIGHT EUONYMUS	2 GAL.		MATURITY: 6' H X 3' W
	HX	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL.		MATURITY: 2' H X 2' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.		MATURITY: 15H X 3'W
	LM	LAVANDULA ANGSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER	1 GAL.		MATURITY: 2' H X 2' W
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE	2 GAL.		MATURITY: 2' H 6' W
	PM	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	2 GAL.		MATURITY: 3' H X 3' W
	PS2	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMER WINE® NINEBARK	5 GAL.		MATURITY: 5H X 5W
	RT	RHUS TYPHINA 'BAILTIGER' / TIGER EYE STAGHORN SUMAC	5 GAL.		MATURITY: 6'W X 6'H

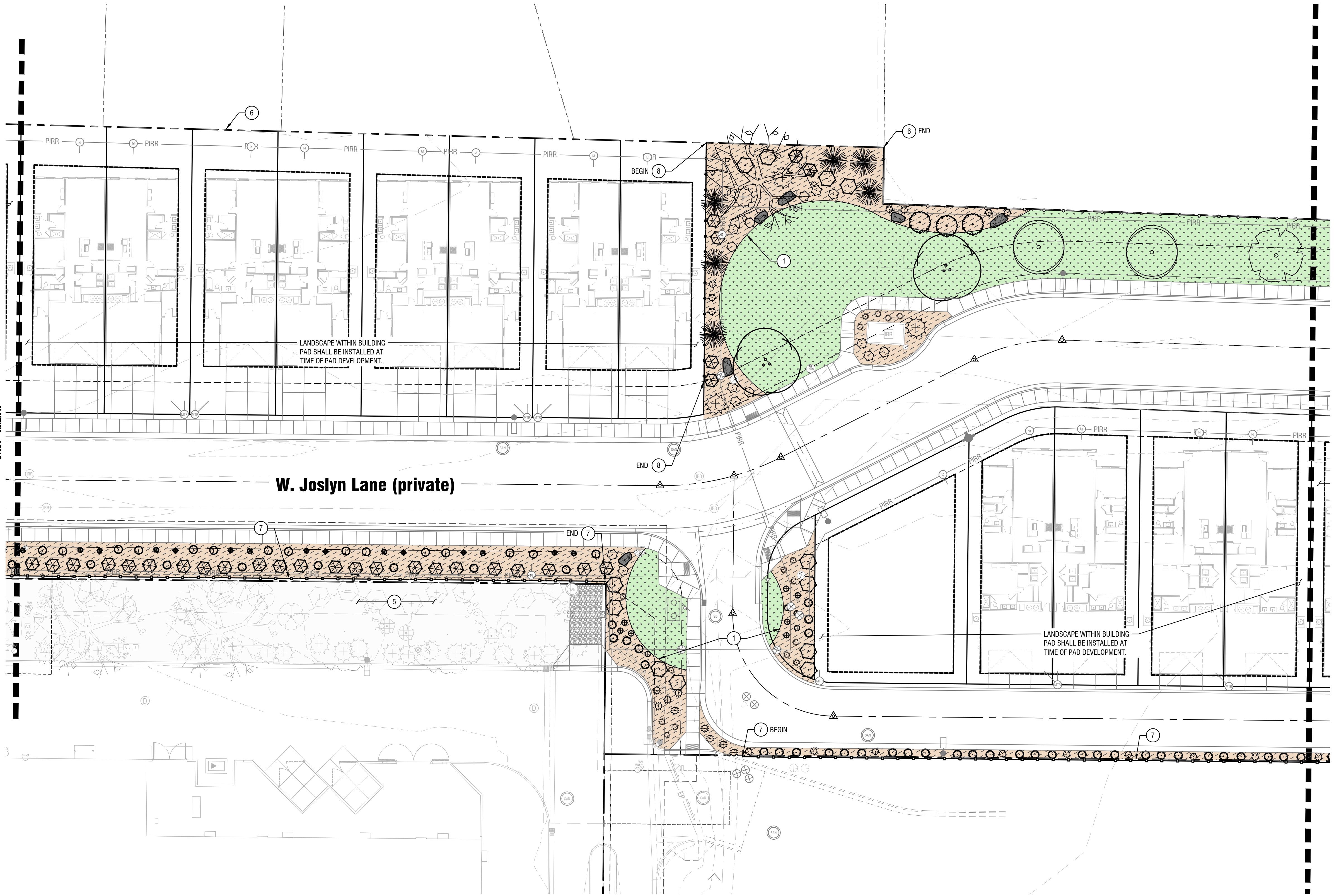


Project No.: 121054  
Date of Issuance: 07.30.2024  
Project Milestone: Amended Preliminary Plat

**Landscape Plan Area A**

DATE PLOTTED: 07/30/2024 10:45:11 AM  
DATE PRINTED: 07/30/2024 10:45:11 AM  
DRAWN BY: JBL  
CHECKED BY: JBL  
SCALE: AS SHOWN  
SHEET NO.: 147 OF 147





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CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.

**Landscape Plan - Area B**  
Horizontal Scale: 1" = 20'



SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
<b>TREES</b>					
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	CLASS II; MATURITY: 35' H X 25' W
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM / PRAIRIE SPIRE ASH	2" CAL.	B&B	CLASS II; MATURITY: 40' H X 20' W
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE	2" CAL.	B&B	CLASS III; MATURITY: 55' H X 25' W
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	2" CAL.	B&B	CLASS II; MATURITY: 50' H X 8' W
	PO	PINUS NIGRA 'OREGON GREEN' / OREGON GREEN PINE	6' HT.	B&B	CONIFEROUS; MATURITY: 18' H X 12' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	QM	QUERCUS MACROCARPA / BURR OAK	2" CAL.	B&B	CLASS III; MATURITY: 50' H X 40' W
<b>SHRUBS</b>					
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	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL.		MATURITY: 2.5' H X 2.5' W
	CA	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.		MATURITY: 5' H X 5' W
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**Addington Townhomes Sub. - Amended Preliminary Plat**  
**STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
STAR, IDAHO

Revisions

1.	

Project No.: 121054  
Date of Issuance: 07.30.2024  
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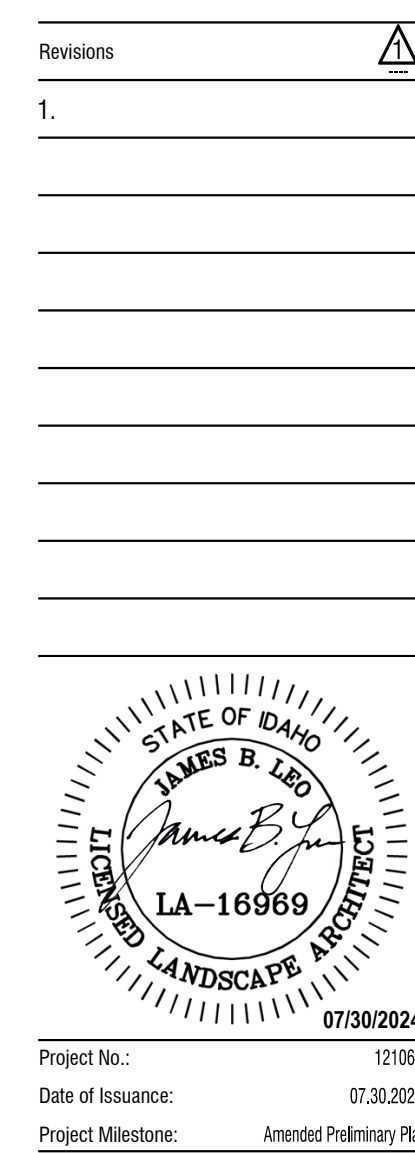
**Landscape Plan Area B**





**Addington Townhomes Sub. - Amended Preliminary Plat**  
**STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
STAR, IDAHO



Project No.: 121054  
Date of Issuance: 07.30.2024  
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**Landscape Plan Area C**

**L1.03**

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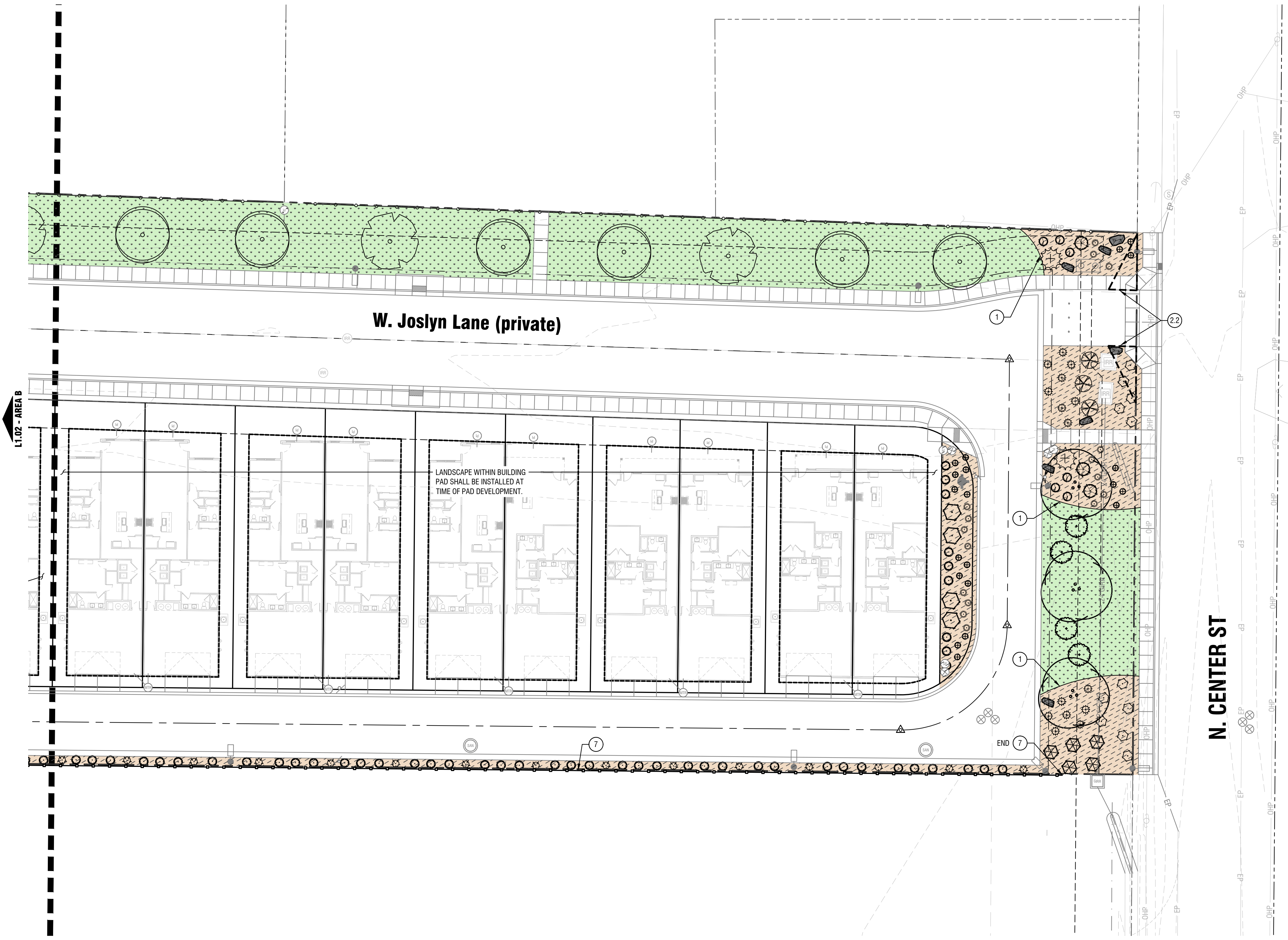
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**Landscape Plan - Area C**

Horizontal Scale: 1" = 20'

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
<b>TREES</b>					
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	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL.		MATURITY: 2.5' H X 2.5' W
	CA	CORNUS ALBA 'BAILHALO' TM / IVORY HALO DOGWOOD	5 GAL.		MATURITY: 5' H X 5' W
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL.		MATURITY: 4' H X 3' W
	CS	CORNUS ALBA 'SIBIRICA' / REDBARK DOGWOOD	5 GAL.		MATURITY: 9' H X 5' W
	EU	EUONYMUS JAPONICUS 'GREENSPIRE' / GREENSPIRE UPRIGHT EUONYMUS	2 GAL.		MATURITY: 6' H X 3' W
	HX	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL.		MATURITY: 2' H X 2' W

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.		MATURITY: 15H X 3'W
	LM	LAVANDULA ANGSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER	1 GAL.		MATURITY: 2' H X 2' W
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE	2 GAL.		MATURITY: 2' H 6' W
	PM	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	2 GAL.		MATURITY: 3' H X 3' W
	PS2	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMER WINE® NINEBARK	5 GAL.		MATURITY: 5H X 5W
	RT	RHUS TYPHINA 'BAILTIGER' / TIGER EYE STAGHORN SUMAC	5 GAL.		MATURITY: 6'W X 6'H

DATE PLOTTED: 07/30/2024 10:58:11 AM  
DRAWN BY: JACOB W. BROWN  
CHECKED BY: JACOB W. BROWN  
DATE: 07/30/2024 10:58:11 AM







**Shawn Nickel**

**From:** Victor Islas <vislas@midstarfire.org>  
**Sent:** Monday, September 30, 2024 12:33 PM  
**To:** Shawn Nickel  
**Subject:** Addington Subdivision Amended Preliminary Plat

Shawn,

Apologies for my absence last week. My office has been in communication with the applicant team regarding the proposed changes, and my comments are as follows:

The conditions of approval from the original fire district review dated April 11, 2022, remain in effect. The modifications presented, including the AutoTURN models for verifying access, have been submitted to the district. After reviewing the documentation, the changes meet the intent of the code for Fire District Access.

Please feel free to reach out if you have any questions.

DC Islas

**Victor Islas, Deputy Chief**

Middleton Rural Fire District Star Fire Protection District

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**P:** (208) 286-7772 **M:** (208) 860-1078

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**We are social!** <https://linktr.ee/dcmidstarfd>



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