

**CITY COUNCIL REGULAR MEETING AGENDA**City Hall - 10769 W State Street, Star, Idaho  
Tuesday, April 19, 2022 at 7:00 PM

**PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.**

1. **CALL TO ORDER** – Welcome/Pledge of Allegiance
2. **INVOCATION** – Jeff Graviet - Star Ward
3. **ROLL CALL**
4. **PRESENTATIONS & PROCLAMATIONS:**
  - A. **Deputy Introduction:** Deputy Woodcook
  - B. **Star Police Monthly Report March 2022**
  - C. **Proclamation: Sexual Assault Awareness Month & Denim Day** - Declaring April as Sexual Awareness Month and April 27, 2022 as Denim Day to draw attention to the fact that rape and sexual assaults remain a serious issue in our society.
5. **CONSENT AGENDA (ACTION ITEM)** *\*All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*
  - A. **December 7, 2021 City Council Meeting Minutes**
  - B. **January 4, 2022 City Council Meeting Minutes**
  - C. Approval of Claims Provided & Previously Approved
  - D. **Findings of Fact: Life Springs Church (CUP-22-02)**
6. **ACTION ITEMS:**
  - A. **Contract: Plumbing Inspection - John Stocke:** Contracting with John Stocke for Plumbing Inspecting Services beginning May 1, 2022
  - B. **Ordinance 363-2022 & Development Agreement-Josh Kinney Annexation: AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AT 8675 W FLOATING FEATHER ROAD, IN STAR, IDAHO (ADA COUNTY PARCELS R5437560010, R5437560210, R5437560215, R5437560220, R5437560230) AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED JOSH KINNEY; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS MIXED USE (MU-DA) AND RESIDENTIAL (R-1-DA) WITH A DEVELOPMENT AGREEMENT OF APPROXIMATELY 25.07 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE.**
  - C. **Comprehensive Plan - Future Land Use Map:** An open discussion with Staff and Elected Officials on updating the Future Land Use Map within the Star Comprehensive Plan
7. **PUBLIC HEARINGS with ACTION ITEMS:**
  - A. **Public Hearing: Early Learning Facility (CUP-22-01)** - The Star City Council will hold a public hearing on an Conditional Use Permit application for an Early Learning Center Facility, to include a 9,488 square foot building with parking and landscaping. The property is located at 594 N. Star Road in Star, Idaho.
  - B. **Public Hearing: Hayden Homes - Easement Vacation (VAC-21)** - The City Council will hold a public hearing on an application to vacate an existing ten foot wide permanent public utility easement located along lot lines common to N. Wing Road and Scenic View Lane, and vacation of the 6-foot wide permanent public utilities easement along the former common lot lines. These are remnants of the platted Karma Crest Estates Subdivision, Notes 2 & 3. This subdivision is being re-platted as part of Trident Ridge Subdivision.
  - C. **Public Hearing: Addington Subdivision (PP-22-02 & PR-22-01)** - The City Council will hold a public hearing on a Preliminary Plat and Private Street for a Street for a proposed residential subdivision consisting of 34 residential lots and 1 common lot. The property is located on the east side of North Highbrook Way in Star, Idaho, and consists of 5.58 acres with a proposed density of 6.09 dwelling units per acre.
  - D. **Public Hearing: 10206 W State Street Development Agreement Modification (DA-20-16-MOD)** - The City Council will hear testimony on a request to modify the existing Development Agreement for the property located at 10206 W. State Street. The applicant seeks to increase the height of the proposed

*Any person needing special accommodation to participate in the above noticed meeting should contact the City Clerk's Office at 208-286-7247, at least 24 hours in advance of the meeting date.*



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commercial buildings along State Street to a maximum of 45 feet and requests a waiver of up to 50% reduction of the required parking spaces for the commercial uses. The consists of 4.76 acres.

- E. Public Hearing: Area of Impact** - The City Council will hear testimony on two ordinances related to the Area of City Impact. The first Ordinance adoption will repeal and replace the current Star City Area of City Impact Map. The second Ordinance will adopt the Star City Codes and Plans Applicable to the City's Area of City Impact Situated in Canyon County.
- F. Executive Session 74-206 (f)**: To communicate with legal counsel for the public agency to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated but imminently likely to be litigated.

\*ACTION ITEM\* - Actions after Executive Session

### 8. ADJOURNMENT





CITY OF STAR, IDAHO  
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The meeting can be viewed via a link posted to the City of Star website at [staridaho.org](http://staridaho.org). Information on how to participate in a public hearing remotely will be posted to [staridaho.org](http://staridaho.org) under the meeting information. The public is always welcomed to submit comments in writing.

**Land Use Public Hearing Process**

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Applicant has up to **20 minutes** to present their project

Council can ask the applicant questions and staff questions

Public Testimony (**3 minutes per person**)

1. Those for the project speak
2. Those against the project speak
3. Those who are neither for or against but wish to speak to the project
4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick

**FUTURE MEETING TOPICS – INFORMATIONAL PURPOSES ONLY**



# MARCH 2022 POLICE REPORT

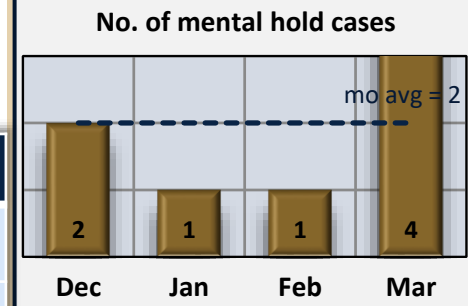
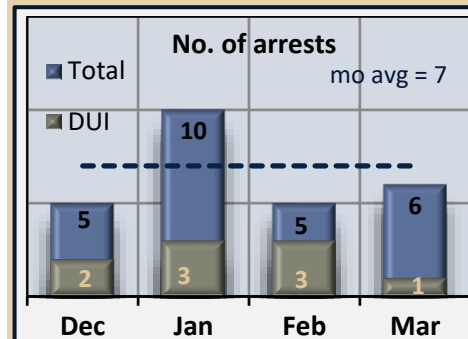
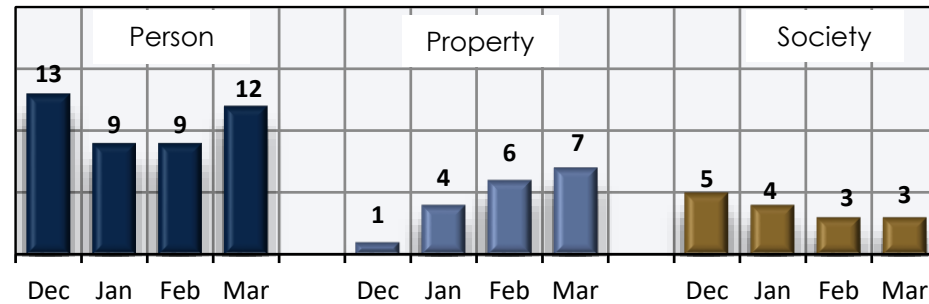
(Released April 18, 2022)

Section 4, Item B.

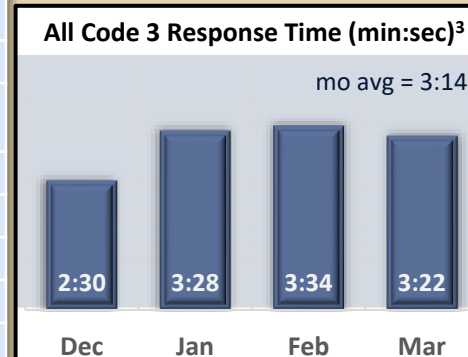
Case Reports <sup>1</sup>	2022			Previous Years		
	Mar	YTD	Projected	2021	2020	2019
<b>Crimes (#)</b>	<b>22</b>	<b>57</b>	<b>199</b>	<b>189</b>	<b>202</b>	<b>180</b>
Person	12	30	89	79	63	56
Property	7	17	63	72	109	104
Society	3	10	47	38	30	20
<b>Case Type/ Pop</b> (#/1000 population)			<b>14.9</b>	<b>14.1</b>	<b>17.0</b>	<b>16.4</b>

- ### Case Report Types
- **Person Crimes** = murder, manslaughter, rape/sodomy, assault, intimidation and kidnapping offenses
  - **Property Crimes** = robbery, burglary, larceny/theft, arson, destruction of property, counterfeiting, fraud, embezzlement, blackmail and stolen property offenses
  - **Society Crimes** = drugs/narcotics, gambling, pornography, prostitution and weapons law violations

Crime Types: Last 4 Months (Dec 2021 – Mar 2022)



Police Activity <sup>4</sup>	Monthly Average <sup>2</sup>	Dec-21	Jan-22	Feb-22	Mar-22	Mar-21
Citizen Calls for Service (CFS)	213	206	214	191	241	272
Proactive Policing	626	544	401	699	859	491
<b>Selected Call types</b>						
Domestic Violence	5	1	8	4	8	5
Crisis/Mental Health/CIT	6	9	9	3	4	8
Juvenile Activity	14	17	13	14	14	12
School Checks	50	48	30	49	73	34
Traffic Stops	108	109	58	136	131	90
Crash Response	20	16	23	23	17	27
Welfare Checks	16	12	15	18	18	25
Property Calls <sup>5</sup>	13	6	12	16	19	5



<sup>1</sup>Case Reports are compiled from ITS (Pre-NIBRS). <sup>2</sup>Monthly averages are based on the identified 2021-2022 months. <sup>3</sup>Code 3 calls - Represents ALL in that are routed at Priority 3, where Priority 3 calls require an immediate emergency response. <sup>4</sup>Police Call data reflects calls within the City of Star and all calls with a Star Deputy. <sup>5</sup>Property Calls include calls for theft, vandalism, burglary, and fraud.



# City of Star



## PROCLAMATION

WHEREAS, the United States Government has declared April as "Sexual Assault Awareness Month" and the Women's and Children's Alliance has declared April 27, 2022 as "Denim Day"; and,

WHEREAS, both events are intended to draw attention to the fact that rape and sexual assault remain a serious issue in our society; and,

WHEREAS, "Sexual Assault Awareness Month" and "Denim Day" were also instituted to call attention to misconceptions and misinformation about rape and sexual assault, and the problem that many in society remain disturbingly uninformed with respect to issues of assault and forcible rape; and,

WHEREAS, with proper education on the matter, there is compelling evidence that we can successfully reduce incidents of this alarming and psychologically damaging crime; and,

WHEREAS, the City of Star is an important partner in the Women's and Children's Alliance's efforts to educate our community about the true impact of rape and sexual assault.

Therefore, I, Mayor Trevor Chadwick do hereby proclaim April 27, 2022 as Denim Day for Sexual Assault Awareness Month in the City of Star and encourage all citizens to speak out against sexual assault and support local efforts to provide help and healing to victims of these crimes.

Signed this 19th day of April, 2022

\_\_\_\_\_  
Mayor Trevor A. Chadwick



**CITY COUNCIL REGULAR MEETING MINUTES**

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**1. CALL TO ORDER – Welcome/Pledge of Allegiance**

Mayor Chadwick called the meeting to order at 7:00pm and led the Pledge of Allegiance.

**2. INVOCATION – Larry Osborn – LifeSpring Church**

Pastor Larry Osborn with LifeSpring Church offered the invocation.

**3. ROLL CALL**

Council President David Hershey, Council Member Michael Keyes, Mayor Trevor Chadwick, Council Member Jennifer Salmonsens, and Council Member Kevin Nielsen were present.

STAFF PRESENT Shawn Nickel, Planning Director, Ryan Field, Planning Assistant, Jacob Qualls, City Clerk / Treasurer, Dana Partridge, Public Information Officer, Zack Hessing, Star Police Chief.

**4. PRESENTATION – Mayor’s Walking Challenge**

Mayor Chadwick explained the walking challenge, stating Blue Cross Foundation of Idaho does a walking challenge throughout the state for all mayors in October. If the mayors walk an average of 5,000 steps a day, they will donate \$1,000 to the city. Mayor Chadwick walked 23,000 steps and put out a challenge to the citizens of Star to submit their results. A drawing was done with two \$100 gift cards being given out. Linda Dominguez and Daria Lopes were chosen, having walked an average of 18,000 and 7,400 steps respectively.

**5. CONSENT AGENDA (ACTION ITEM)**

- A. City Council Meeting Minutes: **August 3, 2021**
  - B. City Council Meeting Minutes: **August 17, 2021**
  - C. City Council Meeting Minutes: **August 24, 2021**
  - D. City Council Meeting Minutes: **September 7, 2021**
  - E. Approval of Claims Provided & Previously Approved
  - F. Findings of Fact & Conclusion of Law: **Fountain Park Subdivision**
  - G. Findings of Fact & Conclusion of Law: **Rooster Hollow Subdivision**
  - H. Findings of Fact & Conclusion of Law: **Moon Valley Townhomes Subdivision**
  - I. Findings of Fact & Conclusion of Law: **Landyn Village Subdivision**
  - J. Findings of Fact & Conclusion of Law: **Milestone Subdivision**
  - K. Findings of Fact & Conclusion of Law: **Iron Mountain Vista Subdivision**
  - L. Findings of Fact & Conclusion of Law: **Tommy’s Car Wash**
  - M. Final Plats: **Fallbrook Subdivision #5 (FP-21-24)**
- Council Member Keyes moved to approve the consent agenda consisting of items 5A, 5B, 5C, 5D, 5E, 5F, 5G, 5H, 5I, 5J, 5K, 5L, and 5M with the following changes:
    - Item 5G, the Rooster Hollow Development Agreement’s waiver of zero setbacks is for townhomes only, and the project will adhere to the architectural guidelines set forth in the about to be adopted architectural overlay district.

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- Item 5K, the Iron Mountain Vista Development Agreement's emergency access easement will become a maintenance access easement only, once the northern access is established.
- Council President Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye, Keyes – aye, and Salmonsens – aye. Nielsen abstained because he had not reviewed the items. Motion carried.

**6. ACTION ITEMS****A. 2021 Municipal Election Results Review / Acknowledgment / Acceptance**

- Council Member Keyes moved to approve the 2021 Municipal Election Results. Mayor Chadwick said Kevan Wheelock's name was spelled incorrectly by Canyon County. Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey – aye, Keyes – aye, Salmonsens – aye, and Nielsen – aye. Motion carried.

**B. Ordinance 345: Grace Assisted Living Facility Annexation & Development Agreement**

- ITEM REMOVED FROM AGENDA

**C. Ordinance 348: Stargazer Subdivision Annexation & Development Agreement**

- ITEM REMOVED FROM AGENDA

**D. Ordinance 349: Stardust Subdivision Rezone & Development Agreement**

- Council Member Nielsen moved to introduce and suspend the rules pursuant to Idaho Code Section 50-902, the rule requiring an ordinance to be read on three different days in full be dispensed with and Ordinance 349 be considered after reading by title only once. Council Member Keyes seconded the motion. ROLL CALL VOTE: Hershey – aye, Keyes – aye, Salmonsens – aye, and Nielsen – aye. Motion carried.
- Council Member Nielsen moved to approve Item 6D, Ordinance 349: Stardust Ranch Subdivision Rezone and Development Agreement and read the title. Council Member Keyes seconded the motion. ROLL CALL VOTE: Hershey – aye, Keyes – aye, Salmonsens – aye, and Nielsen – aye. Motion carried.

**E. Ordinance 352: Rooster Hollow Rezone & Development Agreement**

- ITEM REMOVED FROM AGENDA

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**7. PUBLIC HEARINGS with ACTION ITEMS:****A. PUBLIC HEARING: Comprehensive Plan Amendment / South of the River Plan**

Mayor Chadwick opened the public hearing at 7:11pm and noted there was no ex parte contact due to this being a legislative issue.

Council Member Keyes spoke on the Comprehensive Plan Amendment / South of the River Plan.

Keyes stated he sent out an updated plan for review by staffing and council the previous week. Since this was sent out, there was one change for the maps with the placeholders in the plan. They have been updated and this plan was made available via a link on the agenda.

Subsequent to a meeting in June, there were several changes made to the plan. Keyes thanked Ryan Field and the staff at Logan Simpson for the effort they put in. They created a code designation called Riverfront Center, with an ordinance creating this new special designation.

Keyes noted one of the things the Riverfront Center does is allow for a variety of housing, but single family detached was not included. Design standards were also updated, and language was created around the Comprehensive Plan which further defines some of the districts. The maps have been updated accordingly.

Keyes asked the Council to give their thoughts on the plan.

Mayor Chadwick clarified they were not going to vote on this that night, and it would be left open until December 21, 2021 to give the public an opportunity to submit comments in writing or comment at the next hearing.

Mayor Chadwick stated he thought this was an important document for the City's future in terms of providing a path for the South of the River, and they also needed to address comments and concerns from Phillips and Stillwell property owners, which were in a letter Shawn Nickel sent out that day. He noted one of the concerns was for the large amount of park space being planned for their properties. It is their opinion this will lower their property values.

Keyes mentioned a letter the Phillips had delivered to the City in August he re-reviewed, stating he didn't think anything in the plan then was inconsistent with their wishes nor was it with the amendments, but would be glad to hear their thoughts on the new plan.

Council Member Nielsen spoke on parks, and how they are usually donated by property owners, developers, or the City has acquired the land. He stated these parks are well thought out and attractive. Because of this, he felt having property owners come to them with concerns about property values when they didn't have an original intent for those areas seemed at odds with the way parks are presented to the City. He encouraged them to think about how they might overcome challenges where there isn't a desire to donate





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or give at a reduced rate and how the city would acquire property and fulfill the full measure of the plan as originally intended while keeping those property owners whole.

Mayor Chadwick commented on Nielsen’s words, stating they are utilizing a lot of the floodway as part of the plan but there is a landowner along Joplin who would rather have his property turned into park space versus development and he thought this would work itself out over a period of time as things happen.

A discussion followed regarding properties, opportunities for public spaces, and property values. Nielsen reiterated he would like to see if they could accomplish the original design while keeping landowners whole.

### Public Testimony

#### Mike Petras – 11931 West Trailheights Street, Star ID

Mr. Petras stated he was concerned with infrastructure and the toll these plans are taking on the City of Star with such rapid expansion and growth. He was also concerned about traffic.

Mayor Chadwick addressed these concerns, noting he’s met with every agency about growth. He said the infrastructure improvements are coming, but it won’t be there ahead of time and the city will always be playing catchup. As for traffic, he discussed what they can and can’t control in terms of creating plans, but they are updating the Comprehensive Plan and making necessary adjustments to help. He noted more information could be found on the City website where presentations are located under ‘Mayor and Council.’

Mayor Chadwick then stated they would be leaving this open until December 21, 2021 and encouraged those who want to make comments to please send them in writing to City staff: Shawn Nickels or Jacob Qualls.

### B. PUBLIC HEARING: Architectural Overlay for Commercial Business District

Council Member Keyes spoke on the Architectural Overlay for the Commercial Business District. He stated the only change to the plan since the draft came out was to extend the boundaries. The proposed modification to the boundaries would retain the State Street boundary but have those on State Highway 44 go from city limit to city limit. The way the ordinance is written with this adoption makes it so the Architectural Overlay District will extend east and west as the city limits grow. He also noted current downtown buildings are random in their design, but as properties redevelop and new properties are built there will be a cohesiveness and common theme, which has been labeled, “Modern Mountain”.

Mayor Chadwick mentioned input for the plan was provided by citizens, specifically those at workshops. Logan Simpson had provided boards with different design styles they were able to place stickers to show which they preferred. Based on public input, Modern Mountain was chosen in selecting building materials, building articulation, signage, lighting for public spaces, and parking. He further noted one of the big



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concerns people have had is over the lack of a theme for commercial and stated they have already talked to some coming businesses about following the design.

Council Member Salmonsén stated she'd like the council to consider adding a small wall to separate parking from sidewalks. This prompted a brief discussion about landscape buffers between the parking lot and public right-of-way, as well as screening fixtures like a wall to minimize visual impact of parked vehicles.

Next there was a discussion about setbacks, with a clarification regarding intentions for front street setbacks being for landscaping and pedestrian amenities, which could include street dining or public art. Also discussed was the minimum percentage of the building façade as paved sidewalk or plaza intended to increase walkability and pedestrian activity. Jen Gardner with Logan Simpson agreed there needed to be further clarification on percentages for active space.

Mayor Chadwick then stated they would be leaving this open until December 21, 2021 and encouraged those who want to make comments to please send them in writing to City staff: Shawn Nickels or Jacob Qualls.

Council Member Keyes asked if a link with the documents could be placed in a prominent space on the City's website, and Mayor Chadwick stated they would put one up.

### 8. DISCUSSION ITEMS

A. **Unified Development Code Amendments** – Discussion / Direction for additional amendments to be included beyond already identified.

Mayor Chadwick spoke on the amendments, including administrative interpretations and corrections, horizontal apartments, build to rent neighborhood definitions, zoning district uses, specific use standards, inclusion of Highway District 4, setbacks, no waivers, sidewalk standards including detached sidewalks, traditional lot standards, common area updates, swimming pool requirement for large developments, signage, architectural design standards in the Commercial Business District (CBD) commercial areas, and street lights.

Council Member Keyes noted he would like to come up with words to put in a requirement for articulated building fronts in residential neighborhoods, so the buildings don't line up by adding articulation by two or three feet and breaks up the plane. He stated he would work with Shawn Nickel on the specific language.

Council Member Nielsen added he'd like for them to consider trade-offs between open space requirements and increased setbacks, especially in the front of houses. He mentioned the open space requirements not always being feasible in some subdivisions or it not being desirable to create a large amount of public or homeowner open space as it creates a burden on things like Homeowner Association (HOA) dues. As such, there may be times it makes sense to put the open space in a yard and make a homeowner responsible which would create a different look and feel, in line with what Keyes spoke on.

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Mayor Chadwick clarified this would be creating larger lots by giving an open space waiver.

Council Member Nielsen added pursuant to that, they could also have particular zones where R4 means quarter acre lots, R3 means third acre lots, etc. This would allow for a variety of development types and give other tools for the Council for their Comprehensive Plan and give better outcomes. He used American Star Subdivision as an example of the intent being good, but the outcome not being what they envision. Particularly he noted the storm water collection facilities with standing water, which also attract mosquitos, being a disappointment when compared to the landscaping they had discussed. He stated he'd rather see the storm water collection facilities and similar constructs be inside subdivisions so the collectors and arterials could be beautiful and make people want to visit the city.

Nielsen spoke further on the residential over commercial intent regarding what they've seen brought to them thus far, but those haven't matched what's been envisioned. He referenced a three-story apartment complex in downtown Meridian with commercial on the bottom as something he thought was a great development more in line with what was envisioned. Some features were the building being designated for a lot of different shops, being built right up to the sidewalk, having dining areas out front, walkability, and window shopping. He added there could be language added in to shift toward CBD development rather than studio lofts with commercial space or a shop underneath.

Mayor Chadwick encouraged everyone to take a look at Stonecrest, which has two buildings already built for live-work (living above and working below) to see what it looks like when they're talking about updating the code.

Nielsen stated while live-work did meet the vision, what he spoke on was having good sized buildings and density along the highways so it isn't just strip malls as they won't look good for the city. He would like to see more commercial building and commercial residential building so downtown will look like an actual downtown. Additionally, he spoke on bridges and wanting decoration on them with river rock, masonry or brick so they aren't simply galvanized steel culverts.

Council Member Salmonsén spoke on the Ameristar subdivision and how the back of the homes all look the same. She wanted to add to the code so there would be differentiation in the back so they wouldn't look identical from collector and arterial roads. Mayor Chadwick confirmed they were already working on adding this in.

Salmonsén then prompted a discussion about adding ADA compliance into the code regarding detached sidewalks. It was determined ADA compliance is already a requirement for all sidewalks, even on private streets.

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Keyes spoke on high density residential and whether they wanted to contemplate adding another area to the Development Code regarding high density residential or multi-family to define where apartments can go in order to give the City another level of control.

Shawn Nickel stated this was what the mixed use designations of the Comprehensive Plan are for. A discussion followed regarding whether the terminology involved needed to be defined more.

Nielsen added they also have the potential to look at zonings like height restrictions and ease some of those in order to attract a different level and quality of development.

There was a discussion about differentiation of houses and Shawn Nickel stated he has proposed zoning language for horizontal apartments requiring them to not have the same type of house next to them and needing to go through five to seven types of houses before you can start over with the initial house type. He also thought adding requirements for a variety of back property elevations and articulations on collectors to the code for all residential subdivisions would be good.

Nielsen stated it was his opinion putting horizontal apartments into the code could cause trouble. He noted apartments are not single family detached apartments by definition, and while he wouldn't fight against it, he thought using the designation wasn't the best idea. He then addressed what Nickel spoke on regarding variety of house types, adding he thought no repeating architecture might also be good.

There was a further discussion about horizontal apartments with Nielsen having concerns over them becoming single family homes in the future and the zoning for them. There was also concern over the homes falling into disrepair with there being no clear consensus on the exact definition of the term 'horizontal apartments.'

Nielsen added he thought they could have an ordinance covering rental properties being sold in disrepair. He added they wouldn't have to pick on a corporation with rental properties, it could just be an individual with a rental property.

Mayor Chadwick stated this would be on the agenda for the next hearing on December 21, 2021 and they would also have comprehensive plan adjustments. He noted they completed their Committee of Nine with Canyon County, and they have a map identified for a zoning impact area in Canyon County and an ordinance identified they will be officially approving then as well.

**9. AMENDED AGENDA ITEM (12/06/2021 2:30PM)****A. Executive Session 74-206(f):**

- Council Member Nielsen moved to go onto Executive Session under Idaho Code 74-206(f) to communicate with legal counsel for the public agency to discuss the legal ramifications for pending litigation, or controversies not yet being litigated but imminently likely to be litigated. Council



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member Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye, Keyes – aye, Salmonsens – aye and Nielsen – aye. Motion carried.

Mayor and Council entered Executive Session at 8:10pm.

### 10. ADJOURNMENT

Mayor Chadwick adjourned the meeting at approximately 8:30pm.

\_\_\_\_\_  
Trevor A Chadwick, Mayor

ATTEST: \_\_\_\_\_  
Jacob M Qualls, City Clerk / Treasurer

DRAFT

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho  
Tuesday, January 4, 2022 at 7:00 PM

**1. CALL TO ORDER – Welcome/Pledge of Allegiance**

Mayor Chadwick called the meeting to order at 7:00pm and led the Pledge of Allegiance.

**2. INVOCATION – Pastor Joe Carson – Star Community Church**

Pastor Carson with Star Community Church offered the invocation.

**3. ROLL CALL**

Council President David Hershey, Council Member Michael Keyes, Mayor Trevor Chadwick, Council Member Kevin Nielsen, and Council Member Jennifer Salmonsens were present.

Also present were – City Clerk Jacob Qualls, Chief of Police Zach Hessing, Public Information Officer Dana Partridge, and City Planner Shawn Nickel.

**4. PRESENTATIONS****A. Introduction of New Police Admin:** Jada Butterfield

Chief of Police Zach Hessing introduced the newest administrative assistance for the Star Police Department, Jada Butterfield.

**B. Service Recognition:** Deputy Dale Morehouse and Deputy Chris Matkin

Deputy Morehouse with the Star Police Department and Ada County Sheriff Deputy Chris Matkin were recognized for their quick response and efforts utilizing an Automated External Defibrillator (AED) and Cardiopulmonary Resuscitation (CPR) in saving the life of Ramon Salinas after a vehicular accident in which he was found unresponsive. This marks the first time in Ada County an AED has been successfully used to save a life.

**C. Recognition:** Justin May, Owner of Firehouse Subs

Mayor Chadwick spoke on Mr. May's contributions in helping first responders get equipment as he was the one who got the grant enabling the AEDs to be in vehicles and acquiring a rescue boat. He was given a certificate of appreciation.

**5. CONSENT AGENDA (ACTION ITEM)** *\*All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*

- A. Approval of Claims Provided & Previously Approved
- B. City Council Meeting Minutes: **June 1, 2021**
- C. City Council Meeting Minutes: **October 5, 2021**
- D. City Council Meeting Minutes: **October 19, 2021**
- E. City Council Meeting Minutes: **November 16, 2021**

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**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho  
Tuesday, January 4, 2022 at 7:00 PM

- Council Member Keyes moved to approve the Consent Agenda consisting of Item 5A, Item 5B, Item 5C, Item 5D, and Item 5E. Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey – aye; Keyes – aye; Nielsen – aye; Salmonsens – aye. Motion carried.

**6. PUBLIC HEARINGS with ACTION ITEMS:**

- A. **PUBLIC HEARING: Comprehensive Plan Amendment / South of the River Plan** The City Council of the City of Star, Idaho, will hear comments from the public concerning the proposed amendments to the Comprehensive Plan, which will add a section called the South of the River Plan. Oral testimony may be offered at the hearing. Written testimony may be submitted up to the time of or at the hearing.

Mayor Chadwick noted this Public Hearing was tabled to February 15, 2021.

**7. ACTION ITEMS:**

- A. **Sine Die** (Adjournment of Current City Council)  
B. **Swearing in of Newly / Re-Elected City Council**  
C. **City Council President Selection**  
E. **General Finance Ordinance:** Adding Section 12 to Title 1 of the Star City Code; Designating Depositories and Allowing for the Charge of Certain Fees

Mayor Chadwick invited Council Member Keyes to speak.

Keyes expressed his thanks, stating he was grateful to the citizens of Star and the past four years of public service were among the greatest honors of his life. He spoke of his contributions during his tenure. He stated he would be joining the Board of Directors for key organizations to continue to be of service to the City of Star.

Mayor Chadwick presented Keyes with a star engraved with the words 'Thank you for your service to the City of Star and its citizens by driving the vision of the future through updated planning.'

Mayor Chadwick conducted the Oath of Office with Council Member David Hershey, newly elected Council Member Kevan Wheelock. ROLL CALL: Council Member David Hershey, Council Member Kevan Wheelock, Council Member Trevor Chadwick, Council Member Kevin Nielsen and Council Member Jennifer Salmonsens were all present.

- Council Member Salmonsens moved to nominate Council Member Hershey as the Council President. Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen – aye. Motion carried.



## CITY COUNCIL REGULAR MEETING MINUTES

City Hall - 10769 W State Street, Star, Idaho  
Tuesday, January 4, 2022 at 7:00 PM

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- Council President Hershey moved pursuant to Idaho Code Section 50-902, the rule requiring an ordinance to be read on three different days with one reading to be in full be dispensed with and General Finance Provisions be considered after reading once by title only. Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielson – aye. Motion carried.
  - Council Member Nielsen moved to approve the General Finance Provisions and read by title. Council President Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsens – aye; Nielsen. Motion carried.
- 8. ADJOURNMENT**  
Mayor Chadwick adjourned the meeting at 7:32pm.

\_\_\_\_\_  
Trevor A Chadwick, Mayor

ATTEST: \_\_\_\_\_

Jacob M Qualls, City Clerk / Treasurer

DRAFT

Claim Checks

Check #	Type	Vendor #/Name	Check Amount	Date Issued	Period Redeemed	Claim #	Claim Amount
20203	S	1046 22 AVENUE ENTERTAINMENT LOGISTICS	14250.00	04/15/22	_____	CL 270	14250.00
20159	S	1039 A-1 HEATING, AIR CONDITIONING, & ELECTRI	12557.00	04/08/22	_____	CL 225	12557.00
20131	S	13 ACCESS EXCAVATION	35.00	04/05/22	_____	CL 188	35.00
20204	S	19 ADA COUNTY EMERG MGMT & COMM RESILIENCE	1105.50	04/15/22	_____	CL 253	1105.50
20160	S	20 ADA COUNTY HIGHWAY DISTRICT	190566.00	04/08/22	_____	CL 207	190566.00
20202	S	20 ADA COUNTY HIGHWAY DISTRICT	60.00	04/11/22	_____	CL 214	60.00
20161	S	21 ADA COUNTY LANDFILL	62.48	04/08/22	_____	CL 244	62.48
20205	S	21 ADA COUNTY LANDFILL	596.82	04/15/22	_____	CL 265	596.82
20162	S	22 ADA COUNTY PROSECUTORS OFFICE	2500.00	04/08/22	_____	CL 248	2500.00
20206	S	23 ADA COUNTY SHERIFF'S OFFICE	126565.00	04/15/22	_____	CL 266	126565.00
20163	S	33 AHERN RENTALS INC	768.90	04/08/22	_____	CL 235	768.90
20132	S	74 ARROW ROCK PHOTOGRAPHY	105.00	04/05/22	_____	CL 172	105.00
20133	S	93 BATTERIES PLUS BULBS	175.36	04/05/22	_____	CL 182	175.36
20134	S	1035 BILLS MACHINE SHOP	26547.45	04/05/22	_____	CL 193	26547.45
20135	S	106 BLACK MOUNTAIN SOFTWARE	51997.25	04/05/22	_____	CL 170	51997.25
20164	S	145 BSN SPORTS	352.85	04/08/22	_____	CL 243	352.85
20207	S	145 BSN SPORTS	378.18	04/15/22	_____	CL 258	378.18
20136	S	159 CANYON COUNTY CLERK	100.00	04/05/22	_____	CL 195	100.00
20208	S	160 CANYON HIGHWAY DISTRICT NO. 4.	1859.18	04/15/22	_____	CL 252	1859.18
20137	S	172 CENTURY LINK	389.02	04/05/22	_____	CL 159	389.02
20165	S	184 CINTAS	278.71	04/08/22	_____	CL 234	278.71
20209	S	184 CINTAS	202.80	04/15/22	_____	CL 260	202.80
20166	S	190 CLEARFLY	232.69	04/08/22	_____	CL 202	232.69
20167	S	199 COLLEGE OF SOUTHERN IDAHO	2872.00	04/08/22	_____	CL 223	2872.00

Claim Checks

Check #	Type	Vendor #/Name	Check Amount	Date Issued	Period Redeemed	Claim #	Claim Amount
20168	S	1038 CORE BUILDING COMPANY	20.03	04/08/22	_____	CL 190	20.03
20210	S	231 DANA PARTRIDGE	5769.21	04/15/22	_____	CL 271	5769.21
20169	S	246 DELL MARKETING LP	1272.80	04/08/22	_____	CL 206	1272.80
20138	S	252 DMH ENTERPRISES	11747.30	04/05/22	_____	CL 185	11747.30
20170	S	254 DOG WASTE DEPOT	391.94	04/08/22	_____	CL 209	391.94
20139	S	271 ECI CONTRACTORS	11565.75	04/05/22	_____	CL 186	11565.75
20211	S	1045 EXCEL EXCAVATION	2.60	04/15/22	_____	CL 254	2.60
20171	S	302 FATBEAM, LLC	1640.50	04/08/22	_____	CL 200	1640.50
20172	S	308 FIREWORKS & STAGE FX AMERICA	5000.00	04/08/22	_____	CL 220	5000.00
20140	S	1036 FOUR SEASONS SPA & POOL LLC	5.00	04/05/22	_____	CL 178	5.00
20141	S	325 GAMEFACE ATHLETICS	9759.75	04/05/22	_____	CL 169	9759.75
20212	S	325 GAMEFACE ATHLETICS	209.00	04/15/22	_____	CL 272	209.00
20173	S	331 GEM STATE PAPER & SUPPLY	977.27	04/08/22	_____	CL 218	977.27
20174	S	1041 GLOBAL ATHLETIC ACADEMY LLC	1050.00	04/08/22	_____	CL 219	1050.00
20142	S	358 HAYDEN HOMES IDAHO LLC.	100.10	04/05/22	_____	CL 191	100.10
20143	S	1034 HIATT, HADDY	41.46	04/05/22	_____	CL 173	41.46
20175	S	374 HORIZON SUPPLY	190.24	04/08/22	_____	CL 224	190.24
20176	S	382 IDAHO CENTRAL CREDIT UNION.	2947.75	04/08/22	_____	CL 250	2947.75
20177	S	394 IDAHO NURSERY & LANDSCAPE ASSOCIATION	75.00	04/08/22	_____	CL 238	75.00
20144	S	398 IDAHO POWER COMPANY	2007.93	04/05/22	_____	CL 196	2007.93
20178	S	398 IDAHO POWER COMPANY	514.56	04/08/22	_____	CL 199	514.56
20213	S	398 IDAHO POWER COMPANY	2646.42	04/15/22	_____	CL 273	2646.42
20179	S	399 IDAHO PRESS TRIBUNE	283.84	04/08/22	_____	CL 210	283.84
20180	S	421 INTERMOUNTAIN GAS COMPANY	389.51	04/08/22	_____	CL 216	389.51

Claim Checks

Check #	Type	Vendor #/Name	Check Amount	Date Issued	Period Redeemed	Claim #	Claim Amount
20181	S	503 KELLER ASSOCIATES INC	4873.75	04/08/22	_____	CL 215	4873.75
20182	S	1044 KUNA MACHINE SHOP LLC	4404.78	04/08/22	_____	CL 246	4404.78
20183	S	1043 LANDPRODATA INC	1314.72	04/08/22	_____	CL 232	1314.72
20145	S	524 LARRY BEARG	250.00	04/05/22	_____	CL 180	250.00
20184	S	550 LOGAN SIMPSON DESIGN INC	7719.00	04/08/22	_____	CL 227	7719.00
20185	S	1042 LYNDA WOJCIK	35.00	04/08/22	_____	CL 222	35.00
20186	S	583 MASTERCARD	654.90	04/08/22	_____	CL 251	654.90
20187	S	635 MOUNTAIN ALARM	70.00	04/08/22	_____	CL 249	70.00
20146	S	642 NAPA AUTO PARTS	123.28	04/05/22	_____	CL 177	123.28
20147	S	649 NIKI DEAN	315.00	04/05/22	_____	CL 181	315.00
20148	S	656 OFFICE SAVERS ONLINE	264.00	04/05/22	_____	CL 171	264.00
20188	S	656 OFFICE SAVERS ONLINE	403.88	04/08/22	_____	CL 228	403.88
20214	S	656 OFFICE SAVERS ONLINE	77.98	04/15/22	_____	CL 268	77.98
20189	S	686 PORTAPROS	264.40	04/08/22	_____	CL 242	264.40
20190	S	707 REPUBLIC SERVICES INC	696.61	04/08/22	_____	CL 217	696.61
20149	S	1037 RIMI INC	14615.92	04/05/22	_____	CL 187	14615.92
20215	S	767 SHAWN NICKEL	622.70	04/15/22	_____	CL 262	622.70
20191	S	772 SHERWIN WILLIAMS	1026.33	04/08/22	_____	CL 236	1026.33
20150	S	777 SILVER CREEK SUPPLY	840.56	04/05/22	_____	CL 197	840.56
20192	S	777 SILVER CREEK SUPPLY	12.21	04/08/22	_____	CL 241	12.21
20193	S	780 SIMPLOT TURF & HORTICULTURE	4674.75	04/08/22	_____	CL 233	4674.75
20194	S	794 SPARKLIGHT	667.69	04/08/22	_____	CL 245	667.69
20216	S	794 SPARKLIGHT	673.69	04/15/22	_____	CL 274	673.69
20151	S	811 STAR FIRE DEPARTMENT	56462.90	04/05/22	_____	CL 183	56462.90

Claim Checks

Check #	Type	Vendor #/Name	Check Amount	Date Issued	Period Redeemed	Claim #	Claim Amount
20152	S	812 STAR MERCANTILE INC	220.60	04/05/22	-----	CL 192	220.60
20153	S	826 STATEFIRE DC SPECIALTIES	315.00	04/05/22	-----	CL 198	315.00
20217	S	836 STROTH GENERAL, LLC	28101.04	04/15/22	-----	CL 263 CL 264	25196.37 2904.67
20195	S	857 TATES RENTS	470.04	04/08/22	-----	CL 221	470.04
20218	S	862 TERMINEX	133.00	04/15/22	-----	CL 261	133.00
20196	S	898 TREASURE VALLEY COFFEE	431.88	04/08/22	-----	CL 231	431.88
20219	S	898 TREASURE VALLEY COFFEE	180.66	04/15/22	-----	CL 269	180.66
20197	S	605 TROPHY PROS / MERIDIAN TROPHY	52.95	04/08/22	-----	CL 213	52.95
20154	S	929 VALLEY REGIONAL TRANSIT	7026.00	04/05/22	-----	CL 175	7026.00
20198	S	930 VALLEY WIDE COOP	1025.82	04/08/22	-----	CL 208	1025.82
20199	S	949 WESTERN RECORDS DESTRUCTION	60.00	04/08/22	-----	CL 237	60.00
20220	S	1030 WHITE PETERSON	6758.75	04/15/22	-----	CL 257	6758.75
20155	S	952 WHITMAN & ASSOC INC	50067.59	04/05/22	-----	CL 184	50067.59
20156	S	960 WOODY'S OUTDOOR POWER INC	260.12	04/05/22	-----	CL 179	260.12
20200	S	962 XEROX	141.87	04/08/22	-----	CL 226	141.87
20201	S	1040 YESCO LLC	1035.70	04/08/22	-----	CL 212	1035.70
20157	S	963 YORGASON LAW OFFICES PLLC	5400.00	04/05/22	-----	CL 176	5400.00
20158	S	966 ZOOM	40.00	04/05/22	-----	CL 174	40.00

**Total for Claim Checks**  
695950.22

Count for Claim Checks  
90

\* denotes missing check number(s)

# of Checks: 90 Total: 695950.22



**FINDINGS OF FACT AND CONCLUSIONS OF LAW  
LIFSPRING CHURCH CONDITIONAL USE PERMIT  
FILE NO. CU-22-02**

The above-entitled Conditional Use Permit application came before the Star City Council for their action on April 5, 2022, at which time public testimony was taken and the public hearing was closed. The Star City Council, having requested and taken oral and written testimony, and having duly considered the matter, does hereby make the following Findings of Fact and Conclusions of Law;

**Procedural History:**

*A. Project Summary:*

The Applicant is seeking approval of a Conditional Use Permit to add a temporary modular classroom to their existing church facility. The property is located at 174 N. Star Road in Star, Idaho. The subject property is generally located on the east side of N. Star Road, north of W. State Street. Ada County Parcel Numbers R0011350085 & R0408336050.

*B. Application Submittal:*

A neighborhood meeting was held on March 14, 2022 in compliance with the application submittal requirement of the Star Unified Development Code (Section 8-1 A-6 C). The land use application was deemed complete on March 17, 2022.

*C. Notice of Public Hearing:*

Notice of Public Hearing on the application for the City of Star Council was published in accordance with the requirements of Title 67, Chapter 65, Idaho Code and the Star Unified Development Code on March 20, 2022. Notice of this public hearing was mailed to property owners within three-hundred feet (300') of the subject property in accordance with the requirements of Title 67, Chapter 65, Idaho Code and Star Unified Development Code on March 17, 2022. Notice was sent to agencies having jurisdiction in the City of Star on March 17, 2022. The property was posted in accordance with the Star Unified Development Code on March 26, 2022.

*D. History of Previous Actions:*

This property does not have any history of land use applications within the City of Star.

**LAND USE:****CONDITIONAL USE PERMIT:**

The applicant is requesting approval of a Conditional Use Permit to add a temporary modular classroom to their existing church facility. This use is allowed in Residential zone through a Conditional Use Permit. The modular unit will be on the land and next to the existing church building. Parking is sufficient, utilizing the current church parking lot. This use is not anticipated to create additional parking needs. A building permit shall be required for any tenant improvements within the unit. Star Fire District requirements shall also be adhered to.

*E. Agencies Responding:*

ACHD

March 24, 2022

*F. Letters/Emails from the Public:*

None

*G. Comprehensive Plan and Unified Development Code Provisions and Conformance:***Comprehensive Plan****8.2.3 Land Use Map Designations:**

Central Business District

The Central Business District is planned to be a vibrant downtown center for the community. Uses encouraged are commercial, retail, civic, private offices, and entertainment. High density housing is encouraged on the upper floors of mixed-use buildings and at the fringes of the land use designation. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility.

**8.3 Goal:**

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

**8.4 Objectives:**

- Implement the Land Use Map and associated policies as the official guide for development.

- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.

B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivide in the future.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

**Unified Development Code**

**8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

**R RESIDENTIAL DISTRICT:** To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly

subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

**8-3A-3: USES WITHIN ZONING DISTRICTS**

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	R	CBD
Portable Classroom/Modular Building (for private & public education)	C	C

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-4	35'	15' to living area 20' to garage face	15'	5' per story (2)	20'

Notes:

1. Interior side yard setbacks for lots with 50' or less of lot width shall be allowed 5' interior side yard setbacks for one and two-story structures.
2. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.

**8-1B-4: CONDITIONAL USES:**

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in [chapter 3](#), "District Regulations", of this title, and as otherwise required by specific development standards in [chapter 5](#), "Specific Use Standards", of this title.

C. Process:

1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.



2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.

3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.
3. Control the duration of the use.
4. Assure that the use and the property in which the use is located is maintained properly.
5. Designate the exact location and nature of the use and the property development.
6. Require the provision for on site or off-site public facilities or services.
7. Require more restrictive standards than those generally required in this title.
8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

**8-1B-4E. FINDINGS:** The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.
3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

- 5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
- 6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
- 7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
- 8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

**Findings for Conditional Use Permits (UDC §8-6B-6):**

- 1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.  
*The Council finds nothing in the record indicating that the site of the proposed use would not be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.*
- 2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.  
*The Council finds that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development meets the intent or purpose of the Central Business District.*
- 3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.  
*The Council finds that operation of the proposed use would be compatible with the other uses in the general area.*
- 4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.  
*The Council finds that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.*
- 5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.  
*The Council finds that the proposed use be adequately served by essential public facilities and services.*



6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

*The Council finds that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community. The City has not received notice from any agency having jurisdiction stating that this application will create excessive additional costs for the public facilities and services as the development will pay for all changes in services.*

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

*The Council finds that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

*The Council finds that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.*

**Public Hearing of the Council:**

- a. A public hearing on the application was held before the City Council on April 5, 2022, at which time testimony was heard and the public hearing was closed. The City Council made their decision at that time.

- b. Oral testimony in favor of the application was presented to the City Council by:

Larry Osbourne  
Mike Maglish

- c. Additional Oral testimony to the application was presented to the Council by:

None

- d. Oral testimony in opposition to the application was presented to the Council by:

None

- e. Written testimony in favor of or opposing the application was presented to the City Council by:

None received

**Deliberations and Conclusions of Law:**

The Council reviewed the particular facts and circumstances of this proposed conditional use permit application in accordance with the City of Star Title 8 (Unified Development Code), deliberated on the matter, resulting in discussions on the request.

**Conditions of Approval:**

1. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy or the unit.
  2. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
  3. Any additional Condition of Approval as required by Staff and City Council.
  4. Any additional Condition of Approval as required by Star Fire Protection District.
  5. **Applicant shall paint the building to match existing buildings only if permitted through the lease agreement. – Add by Council**
  6. **Council shall revisit the application in 3 years if the use is still present. Add by Council**
- Council Decision:**

The Council voted unanimously to approve the Conditional Use Permit on April 5, 2022.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Star, Idaho

By: \_\_\_\_\_

Trevor A. Chadwick, Mayor

ATTEST:

\_\_\_\_\_  
Jacob M. Qualls, City Clerk

AGREEMENT for Inspection Services

between

**John Stocke dba Inspect, LLC**  
and  
CITY OF STAR, IDAHO

This Agreement is made and entered into between the City of Star (“CITY”) and **John Stocke** (“CONTRACTOR”) this 01 day of May 2022.

In consideration of the mutual promises herein contained, the CITY and CONTRACTOR agree as follows:

1. **SCOPE OF SERVICES** During the term of this Agreement, CONTRACTOR shall furnish to CITY, **Plumbing Inspections and Plumbing Plan Review** Services. Such services shall be performed by individuals as employees or independent CONTRACTORS of CONTRACTOR and not as employees of CITY.
2. **TERM** The Agreement shall commence on **May 1, 2022** and shall continue until terminated. CONTRACTOR will perform services with due and reasonable diligence consistent with sound professional practices. This Agreement may be terminated by either party with thirty (30) days advanced written notice. In the event of a breach of this Agreement, the non-breaching party may terminate this Agreement without notice and pursue other legal remedies.
3. **COSTS**
  - 3.1 **Basic Services.** As compensation for Basic Services to be performed by CONTRACTOR, CITY will pay CONTRACTOR for services as follows:  
  
**Inspect, LLC shall receive 60% of all plumbing permit fees collected annually.**
  - 3.2 **Additional Services.** The CONTRACTOR shall not take any action hereunder which could cause the amount for which CITY would be obligated to CONTRACTOR to exceed the costs defined herein. However, that this sum may be increased or decreased from time to time by CITY if Additional Services are required or the scope of work is adjusted for any reason, through an Addendum to this Agreement.
  - 3.3 **Reimbursable Expenses.** CITY shall pay for items specifically agreed upon as Reimbursable Expenses.
  - 3.4 **Invoices and Payment.** CONTRACTOR will submit a report of completed inspections on a monthly basis. CITY will make payment by the 10<sup>th</sup> of the

month following receipt of the monthly report. CONTRACTOR shall keep accurate records of services rendered and expenses incurred and provide detailed invoices to CITY.

- 3.5 Suspension of Services. If CITY fails to make payments when due without a good faith reason, the CONTRACTOR may suspend performance of services until payment is received. The CONTRACTOR shall have no liability to CITY for any costs or damages as a result of such suspension.
- 4. **MODIFICATIONS** CITY may request to modify this Agreement at any time and CITY and CONTRACTOR shall agree to an equitable adjustment in cost and schedule.
- 5. **DISPUTE RESOLUTION** Should a dispute arise, CITY and CONTRACTOR agree to negotiate all disputes between them in good faith for a period of thirty (30) calendar days from the date the dispute is raised in writing by either CITY or CONTRACTOR. If the parties fail to resolve the dispute through negotiation, then prior to litigation the dispute shall be decided through non-binding mediation or other mutually agreed alternative dispute resolution technique, the fees and expenses of which shall be split equally. This Agreement shall be governed by the laws of the State of Idaho.
- 6. **SUSPENSION OF SERVICES** If CITY suspends services of the CONTRACTOR for any reason for more than thirty (30) days, CITY and the CONTRACTOR shall agree to an equitable adjustment in cost and schedule.
- 7. **INSURANCE** CONTRACTOR shall procure and maintain insurance as set forth below. CONTRACTOR shall cause CITY to be listed as an additional insured on any applicable general liability insurance policy carried by CONTRACTOR.

Workers' Compensation	Statutory
General Liability	
Each occurrence (Bodily Injury and Property Damage)	\$1,000,000
General Aggregate	\$2,000,000
Automobile Liability	
Combined Single Limit (Bodily Injury and Property Damage)	
Each Accident	\$1,000,000
Professional Liability Insurance	\$1,000,000
Each Claim Made	\$1,000,000
Annual Aggregate	\$1,000,000
Errors and Omissions	\$1,000,000

8. **CITY FURNISHED SERVICES** CITY shall provide access to CITY'S records, data, mapping, and other information needed by the CONTRACTOR to perform CITY'S requested services.
9. **INDEMNITY.** CONTRACTOR shall defend, save, hold harmless, and indemnify CITY, its officers, employees, agents, and members, from all claims, suits, actions or costs including attorney fees and costs of defense resulting from or arising out of the work performed under this contract and arising from the sole or joint negligence of the CONTRACTOR. Likewise, subject to the limits of the Idaho Torts Claims Act, CITY shall save, hold harmless and indemnify CONTRACTOR from all claims, suits, actions or costs, including attorney fees and costs of defense resulting of arising out of this contract and arising from the sole negligence of CITY.
10. **NONDISCRIMINATION** CONTRACTOR agrees that it shall not discriminate against any person in the performance of this contract, on the grounds of race, color, creed, national origin, sex, marital status, disability or age.
11. **ATTORNEY FEES** In the event an action, suit, or proceeding, including appeal there from, is brought for failure to observe any of the terms of this contract, the non-prevailing party shall be responsible for the prevailing party's attorney's fees, expenses, costs, and disbursements for said action, suit, proceeding or appeal.
12. **GOVERNING LAW; JURISDICTION; VENUE** This contract shall be governed and constructed in accordance with the laws of the State of Idaho without resort to any jurisdiction's conflict of laws, rules or doctrines. Any claim, action, suit, or proceeding between CITY and CONTRACTOR that arises from or relates to this contract shall be brought and conducted solely and exclusively in Ada County, Idaho.
13. **AMENDMENTS** The terms of this Contract may be amended upon the mutual consent of the parties. CONTRACTOR expressly agrees to amendments which may be necessary from time to time to incorporate changes or provisions required by law or the Division.
14. **SEVERABILITY** The terms of this Contract are severable and a determination by an appropriate body having jurisdiction over the subject matter of this Contract that results in the invalidity of any part, shall not affect the remainder of this Contract.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the date first above written.

CITY OF STAR

CONTRACTOR: \_\_\_\_\_

By: \_\_\_\_\_  
Trevor A. Chadwick, Mayor

By: \_\_\_\_\_  
\_\_\_\_\_

Address: 10769 W. State Street  
Star, Idaho 83644

Address: \_\_\_\_\_  
\_\_\_\_\_

ORDINANCE NO. 363-2022  
(JOSH KINNEY ANNEXATION)

AN ORDINANCE ANNEXING TO THE CITY OF STAR CERTAIN REAL PROPERTY LOCATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO; MORE SPECIFICALLY LOCATED AT 8675 W FLOATING FEATHER ROAD, IN STAR, IDAHO (ADA COUNTY PARCELS R5437560010, R5437560210, R5437560215, R5437560220, R5437560230) AND CONTIGUOUS TO THE CITY OF STAR; THE PROPERTY IS OWNED JOSH KINNEY; ESTABLISHING THE ZONING CLASSIFICATION OF THE ANNEXED PROPERTY AS MIXED USE WITH A PLANNED UNIT DEVELOPMENT AND DEVELOPMENT AGREEMENT (MU-PUD-DA) AND RESIDENTIAL WITH A PLANNED UNIT DEVELOPMENT AND DEVELOPMENT AGREEMENT (R-1-PUD-DA) OF APPROXIMATELY 26.73 ACRES; DIRECTING THAT CERTIFIED COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; PROVIDING FOR RELATED MATTERS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Star, Ada and Canyon County, Idaho (“the City”), is a municipal corporation organized and operating under the laws of the State of Idaho and is authorized to annex and to incorporate within the boundaries of the City contiguous real property in the manner provided by Section 50-222, Idaho Code; and

WHEREAS, pursuant to Section 67-6524, Idaho Code, the City of Star has adopted the Unified Development Code Ordinance, the same being Ordinance No. 303, adopted on March 3, 2020 and subsequently amended; and

WHEREAS, the owner(s) of the real property situated in the unincorporated areas of Ada County and particularly described in Section 2 of this Ordinance have requested, in writing, annexation of said real property to the City of Star; and

WHEREAS, the Mayor and Council, held a public hearing on February 01, 2022 on the proposed annexation and zoning of the property described in Section 2 below, as required by Section 67-6525, Idaho Code, and determined that the requested annexation should be granted and that the annexed property should be zoned Mixed use with a Planned Unit Development and Development Agreement (MU-PUD-DA) and Residential with a Planned Unit Development and Development Agreement (R-1-PUD-DA) pursuant to the Unified Development Code of the City of Star.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF STAR, IDAHO, as follows:

Section 1: The Mayor and Council of the City of Star, Idaho, hereby find and declare that the real property described in Section 2 of this Ordinance is contiguous to the City, that said property can be reasonably assumed to be used for orderly development of the City, that the owner(s) of said property have requested, in writing, annexation of said property by the City, and that the requirements of Section 50-222, Idaho Code, for annexation of said property, have been satisfied.

Section 2: The real property, described in the attached “Exhibit A”, including adjacent right of way, situated in Ada County, Idaho, is hereby annexed into the City of Star. From and after the effective date of this Ordinance, the residents and other occupants and property owners within such area shall enjoy all the rights and responsibilities and shall be subject to all ordinances, resolutions, police regulations, taxation and other powers of the City of Star as their fellow residents, occupants, and owners within the City of Star.

Section 3: The zoning land use classification of the land described in Section 2 above, is hereby established as Mixed Use with a Planned Unit Development and Development Agreement (MU-PUD-DA) and Residential with a Planned Unit Development and Development Agreement (R-1-PUD-DA), as provided by the Unified Development Code of the City of Star. The Zoning Map of the City is hereby amended to include the real property described in Section 2 above in the Mixed Use with a Planned Unit Development and Development Agreement (MU-PUD-DA) and Residential with a Planned Unit Development and Development Agreement (R-1-PUD-DA) land use classification.

Section 4: The City Clerk is hereby directed to file, within ten (10) days of passage and approval of this Ordinance, a certified copy of this Ordinance with the offices of the Auditor, Treasurer, and Assessor of Ada County, Idaho, and with the State Tax Commission, Boise, Idaho, as required by Section 50-223, Idaho Code, and to comply with the provisions of Section 63-215, Idaho Code, with regard to the preparation and filing of a map and legal description of the real property annexed by this Ordinance.

Section 5: This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law. In lieu of publication of the entire Ordinance, a summary thereof in compliance with Section 50-901A, Idaho Code maybe be published.

DATED this \_\_\_\_ day of \_\_\_\_\_, 2022.

CITY OF STAR  
Ada and Canyon County, Idaho

BY: \_\_\_\_\_  
Trevor A. Chadwick, Mayor

ATTEST:

\_\_\_\_\_  
Jacob M. Qualls, City Clerk



**EXHIBIT A**

Section 6, Item B.

Description for  
**MU-PUD-DA**  
*April 6, 2022*

All of Lot 1, Block 1 of Magnolia Subdivision as filed in Book 61 of Plats at Pages 6074 and 6075, records of Ada County, Idaho and a portion of the Southwest 1/4 of the Southeast 1/4 of Section 4, Township 4 North, Range 1 West, Boise Meridian, Ada County, Idaho more particularly described as follows:

Commencing at the Center-South 1/16 corner of said Section 4 from which the Southwest 1/16 corner of said Section 4 bears, North 89°36'06" West, 1,314.46 feet; thence on the north boundary line of the Southwest 1/4 of the Southeast 1/4 of said Section 4, South 89°27'07" East, 906.37 feet to the northerly extension of the west boundary line of said Lot 1 and the **REAL POINT OF BEGINNING**;

thence continuing on said north boundary line, South 89°27'07" East, 122.24 feet to the northwesterly extension of the exterior boundary line of said Magnolia Subdivision;

thence on said exterior boundary line and the northwesterly extension thereof the following six (6) courses and distances:

South 30°13'52" East, 158.06 feet;

South 14°17'17" East, 72.42 feet;

South 89°27'07" East, 189.00 feet;

South 00°55'54" West, 59.98 feet;

South 58°27'54" West, 340.49 feet;

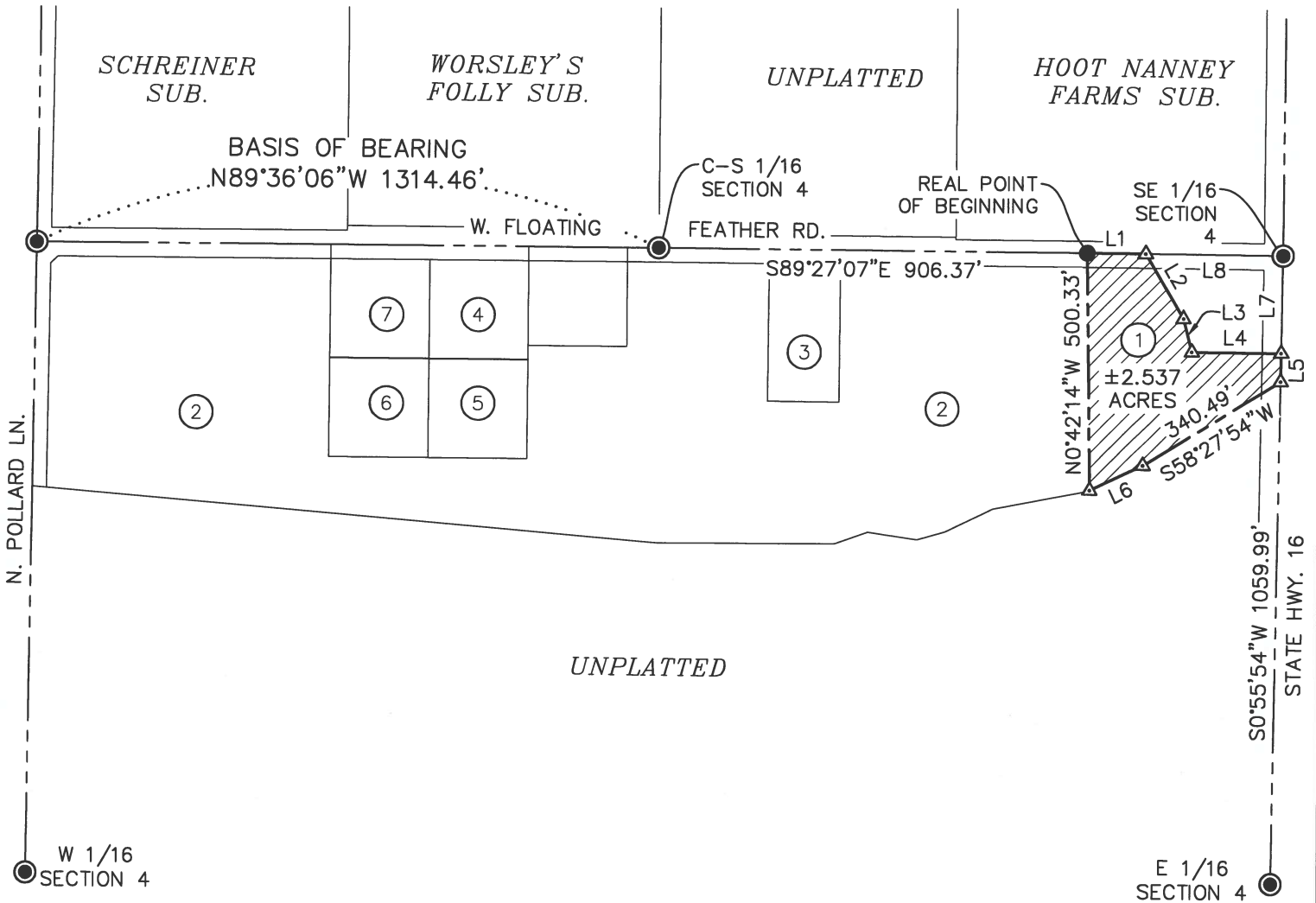
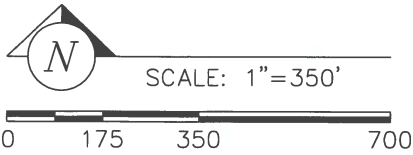
South 64°44'54" West, 123.12 feet to the west boundary line of said Lot 1;

thence on said west boundary line and the northerly extension thereof, North 00°42'14" West, 500.33 feet to the **REAL POINT OF BEGINNING**.

Containing 2.537 acres, more or less.

End of Description.





LINE TABLE		
LINE	BEARING	LENGTH
L1	S89°27'07"E	122.24
L2	S30°13'52"E	158.06
L3	S14°17'17"E	72.42
L4	S89°27'07"E	189.00
L5	S0°55'54"W	59.98
L6	S64°44'54"W	123.12

LINE TABLE		
LINE	BEARING	LENGTH
L7	N0°55'54"E	205.80
L8	S89°27'07"E	289.80

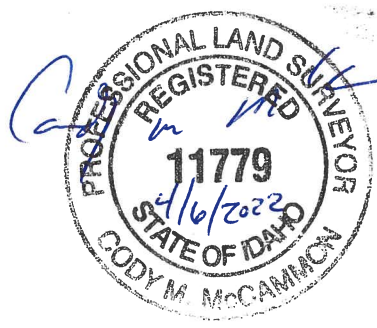
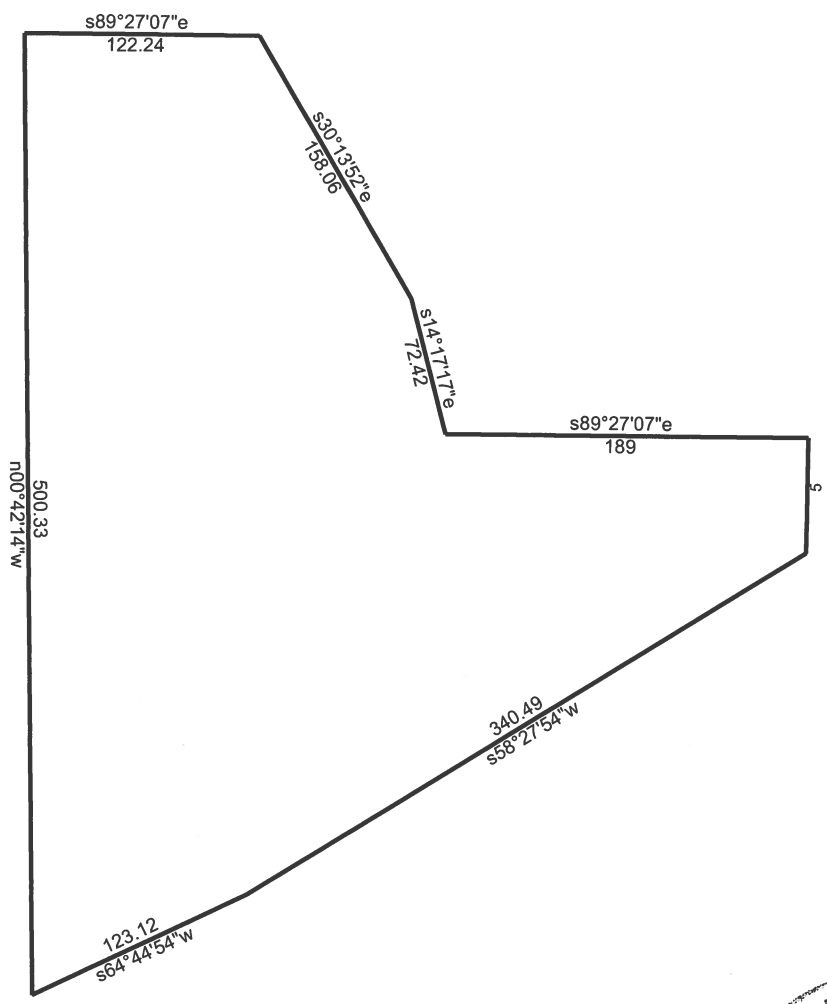


P:\Magnolia Sub Lot Split 21-051\dwg\MU-DA Zone Ex.dwg 4/6/2022 9:44:12 AM

**ISG** IDAHO SURVEY GROUP, LLC  
 9955 W. EMERALD ST.  
 BOISE, IDAHO 83704  
 (208) 846-8570

EXHIBIT DRAWING FOR  
**MU-PUD-DA**  
 LOT 1, BLOCK 1, MAGNOLIA SUBDIVISION AND PORTIONS OF THE SW 1/4 OF THE SE 1/4 OF SECTION 4, T.4N., R.1W., B.M., ADA COUNTY, IDAHO

JOB NO.	21-051
SHEET NO.	1
DWG.	36
4/6	



4/6/2022

Scale: 1 inch= 100 feet

File: MU-DA Zone.ndp

Tract 1: 2.5370 Acres (110511 Sq. Feet), Closure: n27.3537e 0.01 ft. (1/228665), Perimeter=1566 ft.

- 01 s89.2707e 122.24
- 02 s30.1352e 158.06
- 03 s14.1717e 72.42
- 04 s89.2707e 189
- 05 s00.5554w 59.98
- 06 s58.2754w 340.49
- 07 s64.4454w 123.12

08 n00.4214w 500.33

Description for  
**R-1-PUD-DA**  
April 6, 2022

All of Lots 2 and 3, Block 1 of Magnolia Subdivision as filed in Book 61 of Plats at Pages 6074 and 6075, records of Ada County, Idaho and portions of the Southeast 1/4 of the Southwest 1/4 and the Southwest 1/4 of the Southeast 1/4 of Section 4, Township 4 North, Range 1 West, Boise Meridian, Ada County, Idaho more particularly described as follows:

**BEGINNING** at the Southwest 1/16 corner of said Section 4 from which the Center-South 1/16 corner of said Section 4 bears, South 89°36'06" East, 1,314.46 feet;

thence on the exterior boundary line of said Magnolia Subdivision which is coincident with the north boundary line of the Southeast 1/4 of the Southwest 1/4 of said Section 4, South 89°36'06" East, 622.77 feet to the northerly extension of the exterior boundary line of Lot 2, Block 1 of said Magnolia Subdivision.

thence on said exterior boundary line and the northerly extension thereof, South 00°23'54" West, 447.29 feet;

thence continuing on said exterior boundary line the following two (2) courses and distances:

South 89°36'06" East, 417.51 feet;

North 00°23'54" East, 238.58 feet to the exterior boundary line of said Magnolia Subdivision;

thence on said exterior boundary line the following two (2) courses and distances:

South 89°36'06" East, 208.71 feet;

North 00°23'54" East, 208.71 feet to the north boundary line of the Southeast 1/4 of the Southwest 1/4 of said Section 4;

thence continuing on said exterior boundary line, South 89°36'06" East, 65.47 feet to the Center-South 1/16 corner;



thence continuing on said exterior boundary line, which is coincident with the north boundary line of the Southwest 1/4 of the Southeast 1/4 of said Section 4, South 89°27'07" East, 906.37 feet to the northerly extension of the west boundary line of Lot 1, Block 1 of said Magnolia Subdivision;

thence on said west boundary line and the northerly extension thereof, South 00°42'14" East, 500.33 feet to the south boundary line of said Magnolia Subdivision;

thence on said south boundary line and the westerly extension thereof, the following eight (8) courses and distances:

South 64°44'54" West, 5.55 feet;

South 79°28'24" West, 202.37 feet;

South 64°19'52" West, 113.32 feet;

South 73°59'53" West, 60.76 feet;

North 81°17'54" West, 105.28 feet;

South 71°00'58" West, 74.30 feet;

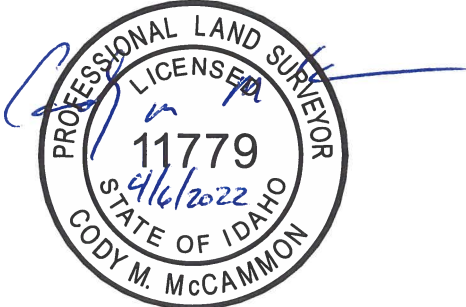
North 89°58'26" West, 373.77 feet;

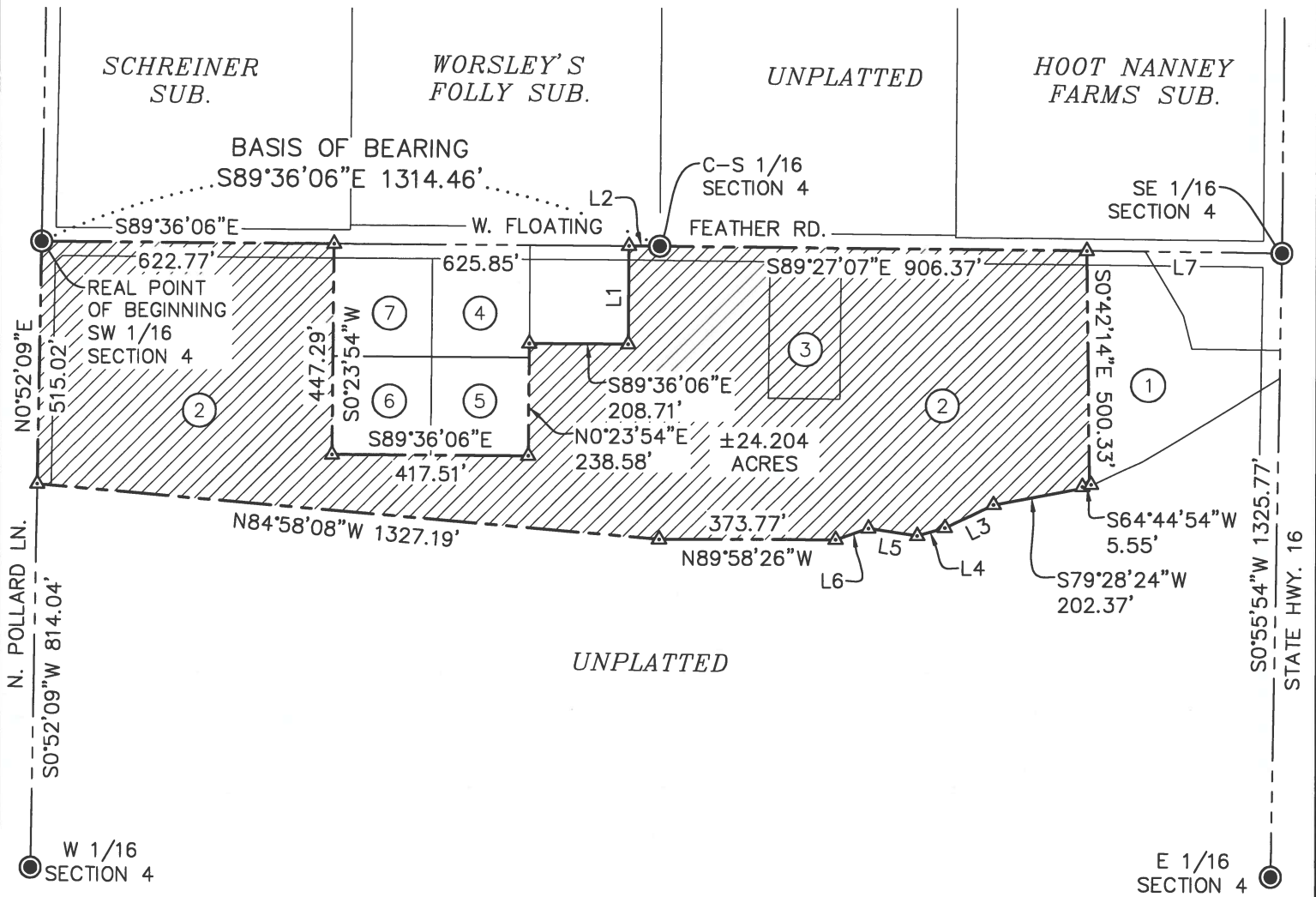
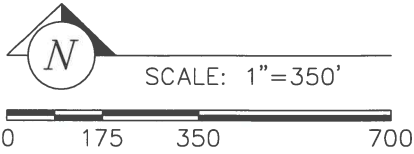
North 84°58'08" West, 1,327.19 feet to the west boundary line of the Southeast 1/4 of the Southwest 1/4 of said Section 4;

thence on said west boundary line coincident with said exterior boundary line, North 00°52'09" East, 515.02 feet to the **REAL POINT OF BEGINNING**.

Containing 24.204 acres, more or less.

End of Description.





LINE TABLE		
LINE	BEARING	LENGTH
L1	N0°23'54"E	208.71
L2	S89°36'06"E	65.47
L3	S64°19'52"W	113.32
L4	S73°59'53"W	60.76
L5	N81°17'54"W	105.28
L6	S71°00'58"W	74.30

LINE TABLE		
LINE	BEARING	LENGTH
L7	S89°27'07"E	412.04





**IDAHO SURVEY GROUP, LLC**  
 9955 W. EMERALD ST.  
 BOISE, IDAHO 83704  
 (208) 846-8570

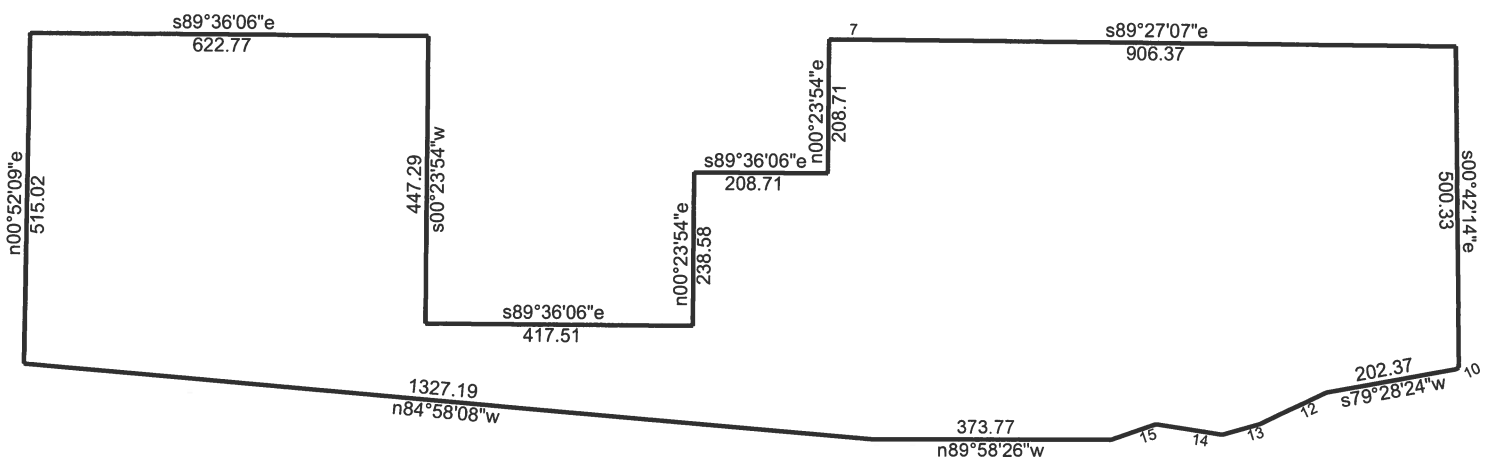
EXHIBIT DRAWING FOR  
**R-1-PUD-DA**

LOTS 2 AND 3, BLOCK 1, MAGNOLIA SUBDIVISION AND PORTIONS OF THE SE 1/4 OF THE SW 1/4 AND THE SW 1/4 OF THE SE 1/4 OF SECTION 4, T.4N., R.1W., B.M., ADA COUNTY, IDAHO

JOB NO. 21-051	DWG 4/6/2022
SHEET NO. 40	

P:\Magnolia Sub Lot Split 21-051\dwg\R-1-DA Zone Ex.dwg 4/6/2022 10:16:52 AM





4/6/2022

Scale: 1 inch= 300 feet

File: R-1-DA Zone.ndp

Tract 1: 24.2043 Acres, Closure: s79.0736w 0.02 ft. (1/393806), Perimeter=6393 ft.

01 s89.3606e 622.77	12 s64.1952w 113.32
02 s00.2354w 447.29	13 s73.5953w 60.76
03 s89.3606e 417.51	14 n81.1754w 105.28
04 n00.2354e 238.58	15 s71.0058w 74.3
05 s89.3606e 208.71	16 n89.5826w 373.77
06 n00.2354e 208.71	17 n84.5808w 1327.19
07 s89.3606e 65.47	18 n00.5209e 515.02
08 s89.2707e 906.37	
09 s00.4214e 500.33	
10 s64.4454w 5.55	
11 s79.2824w 202.37	

**DEVELOPMENT AGREEMENT  
JOSH KINNEY ANNEXATION**

This Development Agreement ("Agreement") is entered into by and between the City of Star, a municipal corporation in the State of Idaho, hereinafter referred to as "City", and Josh Kinney, hereinafter referred to as "Owner".

WHEREAS, Owner owns parcels of land of approximately 25.15 acres in size (26.73 acres including right-of-way) currently located within the City of Star and Ada County, zoned RUT, and more particularly described in **Exhibit A** of Ordinance 363, which is attached hereto and incorporated by reference herein (the "Property");

WHEREAS, Owner requested that the Property be annexed into the City, and that the entire Property be developed in accordance with the applicable ordinances and regulations of the City and this Agreement;

WHEREAS, the City, pursuant to Section 67-6511A, Idaho Code, and Star City Code at Title 8, Chapter 1, has the authority to enter into a development agreement for the purpose of allowing, by agreement, a specific development to proceed in a specific area and for a specific purpose or use which is appropriate in the area, but for which all allowed uses for the requested zoning may not be appropriate;

WHEREAS, the City has authority to enter into development agreements to condition annexations and re-zones;

WHEREAS, Owner desires to be assured that it may proceed with allowing its Property to be annexed and zoned and developed in accordance with this Agreement;

WHEREAS, the parties agree to the zoning designations for the Property as provided in Exhibit A;

WHEREAS, a Request for Annexation and Zoning of the Property to MU-PUD-DA and R-1-PUD-DA was made as File No. AZ-21-19/DA-21-27/PUD-21-02, so that the City can review all the applications affecting the use and development of the Property in an integrated manner consistent with the City's Comprehensive Plan and land use ordinances, which applications were approved;

WHEREAS, the intent of this Agreement is to protect the rights of Owner use and enjoyment of the Property while at the same time mitigating any adverse impacts of the development upon neighboring properties and the existing community and ensuring the Property is developed in a manner consistent with City Ordinances;

THEREFORE, the City and Owner, for and in consideration of the mutual covenants, duties and obligations herein set forth, hereby agree as follows:

**Section 1. Legal Authority.** This Agreement is made pursuant to and in accordance with the provisions of Idaho Code Section 67-6511A and Star City Code, Title 8, Chapter 1.

**Section 2. Development/Uses/Standards.**

**2.1 Development Acreage and Uses Permitted.** As to the Property described on **Exhibit A**, Owner is allowed to develop the 25.15 acres as follows:

- Zoning Classification: The zoning classification of the Property shall be R-1-PUD-DA/MU-PUD-DA.
- The Owner shall comply with all city ordinances relating to the Property except as otherwise provided herein.

**2.2 Site Design.** The Property shall be developed in substantial conformance with the approved concept plan, and as conditioned, a copy of which is attached hereto and incorporated by reference herein as **Exhibit B**.

**2.3 Uses.** The Property is hereby approved for residential and mixed use land uses allowed in the designated zoning districts and as further conditioned.

**2.4 Setbacks.** The development shall comply with the standard setbacks for the MU and R-1 zone.

**2.5 Additional Requirements:**

- Council approves a
- 7' Sidewalks shall be constructed along W. Floating Feather Road at the time of development of each phase
- A cross access easement shall be provided to the south to connect this development with the future commercial uses in Rosti Farms Subdivision
- A gravel pathway shall be installed along the southern boundary of the property at the time of redevelopment of the residential subdivision
- A berm shall be placed along the north side of the gravel pathway adjacent to the existing two Magnolia Subdivision lots. This shall be included as part of the redevelopment of the residential subdivision.
- The future preliminary plat shall meet all requirements of the Unified Development Code that is in place at the time of final platting, unless modified by Council
- Future residential lots shall be limited to a minimum of 1-acre unless approved by Council and the Magnolia Subdivision HOA

- Lot 1 of Magnolia Subdivision, as it currently exists, shall be zoned Mixed-Use; Lot 2 of Magnolia Subdivision, as it currently exists, shall be zoned Residential R-1
- The following uses shall be prohibited within the Mixed-Use zone, per the Magnolia Subdivision Amended CC&R's:
  - Animal Care Facility
  - Bar/Drinking Establishment
  - Cement Manufacturing. Cemetery
  - Chemical Manufacturing Plant
  - Convenience Store
  - Products Processing
  - Gasoline Station
  - Gasoline Station with Convenience Store
  - Heliport
  - Kennel
  - Mortuary
  - Parking Garage
  - Pawnshop
  - Recycling Center
  - Shooting Range
  - Truck Terminal
  - Vehicle Impound Yard
  - Vehicle Sales or Rentals
- All new residential development shall comply with the current CC&R's associated with the existing Magnolia Subdivision
- Agricultural uses shall be allowed within the MU and R-1 zoning designations to accommodate the proposed vineyards and orchards

**2.6 Proportionate Share Agreement for ITD Improvements.** Developer agrees to participate in the costs of construction or improvements to the portions of the State Highway System within the City of Star and/or City of Star Area of City Impact. The Developer will pay the traffic mitigation fee determined by the Idaho Transportation Department as follows: the Developer will pay the City the determined amount per buildable lot within each phase prior to signature on the final plat for the applicable phase. The City will allocate the funds to roadway improvements in the vicinity of the project. The Developer shall pay this amount (unless otherwise revised by ITD) directly to the City of Star. The City will maintain this contribution in a specific Development Contributions account, to be distributed to ITD when requested for use with a specific Idaho Transportation Improvement Plan (ITIP) project within the City of Star Area of City Impact or City Limits in accordance with the terms of the Intergovernmental Agreement between the Idaho Transportation

Department and the City of Star dated April 22, 2020.

**2.7 Changes and Modifications.** No change in the use or restrictions specified in this Agreement shall be allowed or changed without modification of this Agreement pursuant to the requirements of the Star City Ordinances. In the event Owner changes or expands the use permitted by this Agreement or fails to comply with the restrictions without formal modification of this Agreement as allowed by the Star City Ordinances, Owners shall be in default of this Agreement.

**2.8 Conditions, Bonding for Completion.** All of the conditions set forth herein shall be complied with or shall be bonded for completion by Owner before an Occupancy permit will be granted. Failure to comply with the Star City Ordinances or the terms of this Agreement shall result in a default of this Agreement by Owner. Owner may be allowed to bond for certain conditions at one hundred and fifty percent (150%) of the estimated cost of completion pursuant to Star City Ordinances.

**Section 3. Affidavit of Property Owner.** At the City's request, Owner shall provide an affidavit agreeing to submit the Property to this Agreement and to the provisions set forth in Idaho Code section 67-6511A and Star Zoning Ordinance and such affidavit is incorporated herein by reference.

**Section 4. Default.** The failure of Owner, its heirs or assigns or subsequent owners of the Property or any other person acquiring an interest in the Property, to faithfully comply with any of the terms and conditions of this Agreement shall be deemed a default herein. This Agreement may be modified or terminated by the Star City Council as set forth in the Star City Ordinances. In the event this Agreement is modified, Owner shall comply with the amended terms. Failure to comply with the amended terms shall result in default. In the event the City Council, after compliance with the requirements of the Star City Ordinances, determines that this Agreement shall be terminated, the zoning of the Property or portion thereof that has not been developed in accordance with this Agreement shall revert its prior zoning designation. All uses of such property, which are not consistent with the prior zoning designation, shall cease. A waiver by the City of Star for any default by Owner of any one or more of the covenants or conditions hereof shall apply solely to the breach and breaches waived and shall not bar any other rights or remedies of the City or apply to any subsequent breach of any such or other covenants and conditions. Owner, by entering into this Agreement, do hereby consent to a reversion of the subject property to its prior zoning designation in the event there is a default in the terms and/or conditions of this Agreement.

**Section 5. Unenforceable Provisions.** If any term, provision, commitment or restriction of this Agreement or the application thereof to any party or circumstances shall, to any extent, be held invalid or unenforceable, the remainder of the instrument shall remain in full force and effect.

**Section 6. Assignment and Transfer.** After its execution, this Agreement shall be recorded in the office of the County Recorder at the expense of Owner. Each commitment and restriction on the development subject to this Agreement, shall be a burden on the Property, shall be appurtenant to and for the benefit of the Property and shall run with the land. This Agreement shall be binding on the City and Owner, and their respective heirs, administrators, executors, agents, legal representatives, successors and assigns: provided, however, that if all or any portion of the Property is divided, each owner of a legal lot shall only be responsible for duties and obligations associated with an owner's parcel and shall not be responsible for duties and obligations or defaults as to other parcels of lots within the Property. The new owners of the Property or any portion thereof (including, without limitation, any owner who acquires its interest by foreclosure, trustee's sale or otherwise) shall be liable for all commitments and other obligations arising under this Agreement with respect only to such owner's lot or parcel.

**Section 7. General Matters.**

**7.1 Amendments.** Any alteration or change to this Agreement shall be made only after complying with the notice and hearing provisions of Idaho Code Section 67-6509, as required by Star City Code.

**7.2 Paragraph Headings.** This Agreement shall be construed according to its fair meaning and as if prepared by both parties hereto. Titles and captions are for convenience only and shall not constitute a portion of this Agreement. As used in this Agreement, masculine, feminine or neuter gender and the singular or plural number shall each be deemed to include the others wherever and whenever the context so dictates.

**7.3 Choice of Law.** This Agreement shall be construed in accordance with the laws of the State of Idaho in effect at the time of the execution of this Agreement. Any action brought in connection with this Agreement shall be brought in a court of competent jurisdiction located in Ada County, Idaho.

**7.4 Notices.** Any notice which a party may desire to give to another party must be in writing and may be given by personal delivery, by mailing the same by registered or certified mail, return receipt requested postage prepaid, or by Federal Express or other reputable overnight delivery service, to the party to whom the notice is directed at the address of such party set forth below.

Star: City of Star  
Attn: City Clerk  
P.O. Box 130  
Star, ID 83669



Owner: Josh Kinney  
8675 W. Floating Feather Road  
Star, Idaho 83669

**7.5 Effective Date.** This Agreement shall be effective after delivery to each of the parties hereto of a fully executed copy of this Agreement.

**7.6 Attorney Fees.** Should any litigation be commenced between the parties hereto concerning this Agreement, the prevailing party shall be entitled, in addition to any other relief as may be granted, to court costs and reasonable attorney fees as determined by a court of competent jurisdiction. This provision shall be deemed to be a separate contract between the parties and shall survive any default, termination or forfeiture of this Agreement.

**IN WITNESS WHEREOF,** the parties have hereunto caused this Agreement to be executed on the day and year set forth below.

Dated this \_\_\_\_ day \_\_\_\_\_, 2022.

\_\_\_\_\_  
Trevor A. Chadwick, Mayor

ATTEST:

\_\_\_\_\_  
Jacob M. Qualls, City Clerk

OWNER:

\_\_\_\_\_  
Josh Kinney  
\_\_\_\_\_

STATE OF IDAHO )  
                          ) ss.  
County of Ada)

On this \_\_\_\_\_ day of \_\_\_\_\_, 2022, before me the undersigned, a Notary Public in and for said state, personally appeared Josh Kinney, who subscribed his name to the foregoing instrument, and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

\_\_\_\_\_  
Notary Public for Idaho  
Residing at \_\_\_\_\_  
My Commission expires \_\_\_\_\_

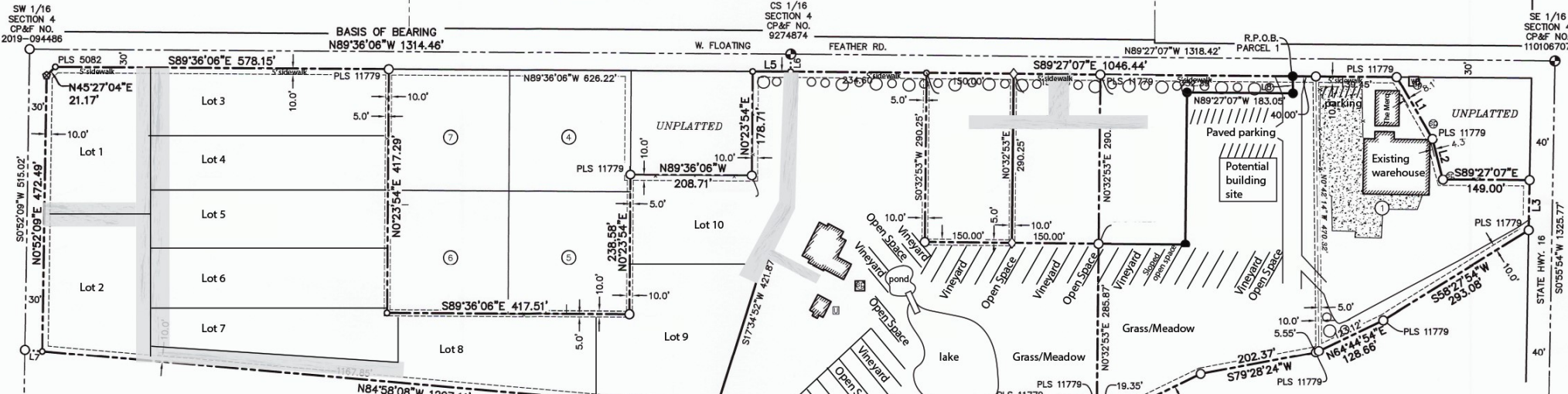
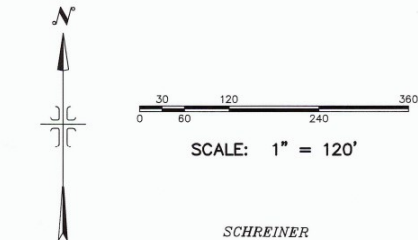
# EXHIBIT B

## Conceptual Development Plan For

# JOSH KINNEY

LOTS 1, 2, AND 3, MAGNOLIA SUBDIVISION LOCATED WITHIN THE SE 1/4 OF THE SW 1/4  
AND THE SW 1/4 OF THE SE 1/4 OF SECTION 4, T.4N., R.1W., B.M., CITY OF STAR,  
ADA COUNTY, IDAHO  
2021

Section 6, Item B.



### LEGEND

- FOUND BRASS CAP MONUMENT
- FOUND ALUMINUM CAP MONUMENT
- FOUND 1/2" IRON PIN, PLS 4347, UNLESS OTHERWISE NOTED
- FOUND 5/8" IRON PIN, PLS 4347, UNLESS OTHERWISE NOTED
- FOUND 5/8" IRON PIN, PLS 4347, DISTURBED, RESET 5/8" IRON PIN, PLS 11779
- SET 5/8" IRON PIN, PLS 11779
- ORIGINAL LOT NO. (MAGNOLIA SUB.)
- REAL POINT OF BEGINNING
- PROPERTY BOUNDARY LINE
- NEW PARCEL LINE
- ORIGINAL LOT LINE REMOVED
- ORIGINAL LOT LINE (MAGNOLIA SUB.)
- SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- EASEMENT LINE (MAGNOLIA SUB.)
- FENCE LINE
- CONCRETE
- BUILDING
- POWER TRANSFORMER
- UTILITY BOX
- WATER SPIGOT
- WATER WELL

### REFERENCE DOCUMENTS

- ROS NO. 261, 264, 2140, 4308, 4931, 7072, 12023
- MAGNOLIA SUB., BK. 61 PG. 6074-6075
- SCHREINER SUB., BK. 59 PG. 5716-5717
- WORSLEY'S FOLLY SUB., BK. 86, PG. 9656-9657
- HOOT NANNEY FARMS SUB., BK. 103, PG. 13839-13841

### NOTES

1. THE RECORDING OF THIS RECORD OF SURVEY DOES NOT ENABLE THE OWNERS OF THE PARCELS TO CONVEY OWNERSHIP BASED SOLELY ON THIS MAP. A WRITTEN CONVEYANCE MUST ACCOMPANY SUCH A CHANGE IN OWNERSHIP.
2. IDAHO SURVEY GROUP, LLC ASSUMES NO LIABILITY FOR PRESENT OR FUTURE COMPLIANCE OR NON-COMPLIANCE WITH CANYON COUNTY PLANNING AND ZONING ORDINANCE RESTRICTIONS AS IT PERTAINS TO BUILDING PERMITS AND THE ISSUANCE THEREOF.

### CERTIFICATE OF LAND SURVEYOR

I, CODY M. MCCAMMON, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND THAT THIS MAP HAS BEEN PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND THAT THIS MAP IS AN ACCURATE REPRESENTATION OF SAID SURVEY, AND IS IN CONFORMITY WITH THE CURRENT LAWS OF THE STATE OF IDAHO PERTAINING TO PLATS AND SURVEYS.



CODY M. MCCAMMON

LICENSE NO. 11779

LINE TABLE		
LINE	BEARING	LENGTH
L1	S30°13'52"E	123.14
L2	S14°17'17"E	72.42
L3	S0°55'54"W	85.16
L5	S89°36'06"E	65.43
L6	S0°28'23"W	30.00
L7	S84°58'08"E	30.08
L8	N0°42'14"W	30.01

### COUNTY RECORDER'S CERTIFICATE

INST. NO. \_\_\_\_\_  
STATE OF IDAHO, COUNTY OF ADA, ss.  
FILED FOR RECORD AT THE REQUEST OF \_\_\_\_\_  
MIN. PAST \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M. THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021  
PHIL McGRANE, RECORDER  
BY \_\_\_\_\_ DEPUTY  
FEE \$ \_\_\_\_\_

### RECORDING INDEX NUMBER:

414-04-2-3-0-61-6074  
414-04-3-2-0-61-6074

Josh Kinney  
8675 W Floating Feather Rd  
Star, ID 83669

49

208-715-0004

## LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **April 19, 2022** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard. **COVID-19 UPDATE: Please see City Website [www.staridaho.org](http://www.staridaho.org) for Public Hearing instructions for Virtual Public Hearings if necessary.**

**Application:** Early Learning Facility  
**File # CU-22-01**

**Applicant/Representative:** Glenn Walker, ADP Architects, 1831 E. Overland Rd, Meridian, ID 83642

**Owner:** Epic Development II LLC, 1831 E Overland Road, Meridian, ID 83642

**Action:** The Applicant is seeking approval of a Conditional Use Permit (CU-22-01) for an Early Learning Center Facility, to include a 9,488 square foot building with parking and landscaping. The property is located at 594 N. Star Road in Star, Idaho.

**Property Location:** The subject property is generally located on the east side of N. Star Road immediately south of the Star Elementary School. Ada County Parcel No. S0408325602.

**Information/Comments:** A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel  
Planning Director and Zoning Administrator  
[snickel@staridaho.org](mailto:snickel@staridaho.org)



# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star Planning Department *Shawn J. Mink*  
**MEETING DATE:** **April 19, 2022 – PUBLIC HEARING**  
**FILE(S) #:** CUP-22-01 Star Road Early Learning Center

**OWNER/APPLICANT/REPRESENTATIVE**

**Applicant/Owner**

Glenn Walker  
ADP Architects  
1831 E. Overland Road  
Meridian, Idaho 83642

**Representative:**

Epic Development II, LLC  
1831 E. Overland Road  
Meridian, Idaho 83642

**REQUEST**

**Request:** The Applicant is seeking approval of a Conditional Use Permit (CU-22-01) for an Early Learning Center Facility, to include a 9,488 square foot building with parking and landscaping. The property is location at 594 N. Star Road in Star, Idaho.

**PROPERTY INFORMATION**

**Property Location:** The subject property is generally located on the east side of N. Star Road, immediately south of the Star Elementary School. Ada County Parcel Number S0408325602.

**APPLICATION REQUIREMENTS**

Pre-Application Meeting Held	January 27, 2022
Neighborhood Meeting Held	February 17, 2022
Application Submitted & Fees Paid	March 2, 2022
Application Accepted	March 4, 2022
Residents within 300' Notified	March 31, 2022

Agencies Notified  
Legal Notice Published  
Property Posted

March 4, 2022  
April 3, 2022  
April 5, 2022

**HISTORY**

This property was approved for a Comprehensive Plan Amendment and Rezone (CPA-RZ-01) in 2009 from Medium Density Residential to Mixed-Use with a Development Agreement.

**ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN**

**UNIFIED DEVELOPMENT CODE:**

**8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

MU MIXED USE DISTRICT: To provide for a mixture of uses which may, at the sole discretion of the Council, include office, commercial, and/or residential depending upon the specific comprehensive plan area designated as Mixed Use. Development within this zone is to proceed through the PUD process unless a development agreement has already been executed for the particular property. Identifying areas for mixed-use development has two objectives. The first objective is to give the city a better tool to manage the type of developments through the planned unit development and/or the Development Agreement process. The second objective is that this zone may allow the development community to be more innovative in design and placement of structures subject to Council review and approval. Rezoning within this land use designation is to be strictly monitored by the city to assure that the Mixed-Use areas are not being used simply to justify high density residential use. Residential uses may be part of an overall mixed-use development that includes a non-residential component and may not exceed 30% of the overall size of the development.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

**8-3A-3: USES WITHIN ZONING DISTRICTS**

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	MU
Educational Institution - Private	C

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
MU	35'	For MU and CBD - Unless otherwise approved by the Council as a part of a PUD or development agreement, all residential buildings shall follow the residential setbacks shown in this table based upon the project density and all other buildings shall follow setbacks for the C-2 zone (3).			
C-2	35'	20'	5'	0'	20'

Notes:

1. Interior side yard setbacks for lots with 50' or less of lot width shall be allowed 5' interior side yard setbacks for one and two-story structures.
2. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
3. All setbacks in the MU zone shall be a minimum 15' when adjacent to a residential use or zone.

**COMPREHENSIVE PLAN:**

8.2.3 Land Use Map Designations:

Mixed Use District



Generally suitable for a mixture of uses which may, at the sole discretion of the Council, include office, commercial, light industrial, and/or residential depending upon the specific area designated as Mixed Use. See Mixed Use Implementation Policies for specific criteria. Development within this land use designation is to proceed through the PUD and/or development agreement process. Identifying areas for mixed-use development has two objectives. The first objective is to give the city a better tool to manage the type of developments through the planned unit development and/or the Development Agreement process. The second objective is that this land use designation will allow the development community to be more innovative in design and placement of structures. Development design guidelines should also be established to guide development within mixed-use areas. Rezoning within this land use designation is to be strictly monitored by the city to assure that the Mixed Use areas are not being used simply to justify high density residential use.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.7 Policies Related Mostly to the Mixed Use Planning Areas:

- A. Council, at their sole discretion, shall determine what mix of uses are appropriate for any Mixed Use area considering existing property owners rights.
- B. Development within the Mixed Use Designation is to proceed through the CUP, PUD, and/or Development Agreement process, and a concept plan must be included with any such proposed use.
- C. In general, Mixed Use areas along state highways should be predominantly commercial with a very minor component of residential unless the residential is placed on upper floors as part of a mixed use building.
- D. Mixed use areas along state and U.S. Highways where direct access to the state highway is prohibited, like along State Highway 16 between State Highway 44 and US Highway 20/26, should be predominately residential with a minor component of neighborhood commercial, or light industrial if sufficient

roadway access, by means of backage or other roads, to the State Highway is provided. E. Mixed use areas located between commercial and residential land use designations are to provide a compatible transition between the higher intensity use of commercial and the lower intensity use of Estate and Neighborhood Residential. Uses for these Mixed Use areas could include multi-family housing and or office related uses if determined by the Council through the public hearing process, to be appropriate.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

**PROJECT OVERVIEW**

**CONDITIONAL USE PERMIT:**

The applicant is requesting approval of a Conditional Use Permit for a 9,488 square foot early learning facility with a large outdoor play area. The Applicant is proposing 39 parking spaces which includes two ADA spaces. This exceeds the requirement of the Unified Development Code which calls for 3 spaces per classroom with a minimum of 9 total spaces. Access will be taken from Star Road with the parking lot established to create a hammer head, providing access for the fire department. The applicant has not asked for any setback waivers and the site plan is compliant with the required Mixed Use setbacks.

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. The submitted landscape plan meets this requirement.

**AGENCY RESPONSES**

Star Fire District	April 11, 2022
ACHD	March 30, 2022
DEQ	March 18, 2022
Star Sewer and Water	March 7, 2022

**PUBLIC RESPONSES**

No public comments have been received.

**STAFF ANALYSIS & RECOMMENDATIONS**

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed conditional use permit meets the requirements, standards and intent for development as they relate to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

**CONDITIONS OF APPROVAL**

1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. Streetlights/Parking Lot lights shall comply with the Star City Code. **All lights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a streetlight design that meets city standards prior to Building Permit.**
3. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
4. A form signed by the Star Sewer & Water District shall be submitted to the City prior to issuance of building permit stating that all conditions of the District have been met, including annexation into the District.
5. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
6. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy or the unit.
7. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.

- 8. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
- 9. A Certificate of Zoning Compliance will be required prior to the start of construction.
- 10. Any additional Condition of Approval as required by Staff and City Council.
- 11. Any Conditions of Approval as required by Star Fire Protection District.

**COUNCIL DECISION**

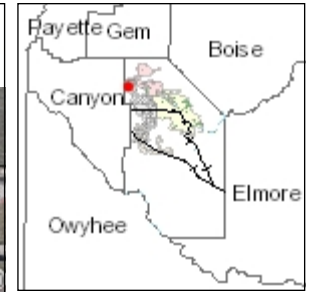
The Star City Council \_\_\_\_\_ File Number CUP-22-01 for Star Road Early Learning Center on \_\_\_\_\_, 2022.



# Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.

Section 7, Item A.



### Legend

- Railroad
- Roads (2,000 - 4,000 s)
  - <all other values>
  - Interstate
  - Ramp
  - Principal Arterial
  - Collector
  - Minor Arterial
  - Local
  - Parks
  - Alley
  - Driveway
- Parks
- Address
- Townships
- Sections
- Condos
- Parcels

3/1/2020





RECEIVED  
 MAR 02 2022  
 BY: BV

City P.O. Section 7, Item A.  
 Star, Idaho 83669  
 P: 208-286-7247

## CONDITIONAL USE PERMIT APPLICATION

\*\*\*All applicable information must be filled out to be processed.

FILE NO.: CU-22-01  
 Date Application Received: 3-2-2022 Fee Paid: 1150.<sup>00</sup>  
 Processed by: City: \_\_\_\_\_

### Applicant Information:

**PRIMARY CONTACT IS:** Applicant  Owner  Representative

Applicant Name: GLENN WALKER  
 Applicant Address: 1831 E. OVERLAND RD. Zip: 83642  
 Phone: 208.353.0734 Email: gwalker@adpboise.com

Owner Name: Epic Development II LLC  
 Owner Address: 1831 E Overland Rd Meridian, ID Zip: 83642  
 Phone: 775691-1859 Email: tmathews@epicdevelopmentco.com

Representative (e.g., architect, engineer, developer):

Contact: GLENN WALKER Firm Name: ADP ARCHITECTS  
 Address: 1831 E. OVERLAND RD. MERIDIAN Zip: 83642  
 Phone: 208.353.0734 Email: gwalker@adpboise.com

### Property Information:

Site Address: 594 N. STAR RD. Parcel Number: 50408325602  
 Requested Condition(s) for Conditional Use: NEW LEARNING CENTER  
PROPOSED.

	Zoning Designation	Comp Plan Designation
Existing	<u>MU-PA</u>	
Proposed	<u>MIXED USE</u>	
North of site		
South of site		
East of site		
West of site		

**Site Data:**

Total Acreage of Site: 1.066  
 Proposed Percentage of Site Devoted to Bldg Coverage: 20%  
 Proposed Percentage of Site Devoted to Landscaping: 37%  
 Number of Parking spaces: Proposed 39 Required \_\_\_\_\_  
 Requested Front Setback: 76' Requested Rear Setback: 52'  
 Requested Side Setback: 15' Requested Side Setback: 81'  
 Requested Side Setback: \_\_\_\_\_  
 Existing Site Characteristics: NONE

Number and Uses of Proposed Buildings: ONE  
 Location of Buildings: ON SITE - 594 N. STAR RD.  
 Gross Floor Area of Proposed Buildings: 9,488  
 Describe Proposed On and Off-Site Traffic Circulation: ON SITE, PARKING IN FRONT OF BUILDING W/ DOUBLE ROW ON FRONT  
 Proposed Signs – number, type, location: (1) STREET SIGN (2) BLDG. SIGNS  
 (include draft drawing) \_\_\_\_\_

Public Services (state what services are available and what agency is providing the service):  
 Potable Water - YES  
 Irrigation Water - YES  
 Sanitary Sewer - YES  
 Schools - \_\_\_\_\_  
 Fire Protection - YES  
 Roads - YES

**Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):**

Subdivision/Project Name: NWISW/EARLY LEARNING CENTER Phase: 1  
 Special Flood Hazard Area: total acreage 0 number of homes/structures \_\_\_\_\_

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: \_\_\_\_\_  
 FIRM effective date(s): mm/dd/year \_\_\_\_\_  
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: \_\_\_\_\_  
 Base Flood Elevation(s): AE \_\_\_\_ .0 ft., etc.: \_\_\_\_\_
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.



**Application Requirements:**

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
✓	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Conditional Use Application	
✓	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
✓	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	
✓	Legal description of the property (word.doc and electronic version with engineer's seal):	
✓	Copy of recorded warranty deed.	
✓	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
✓	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
✓	Vicinity map showing the location of the subject property	
	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	
	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	
✓	Building elevations showing construction materials	
✓	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, shall be submitted in original pdf format (no scans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	
✓	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

1150

**Site Plan (If applicable):**

✓	<b>The following items must be included on the site plan:</b>	
↓	• Date, scale, north arrow, and project name	
	• Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan	
	• Existing boundaries, property lines, and dimensions of the lot	
	• Relationship to adjacent properties, streets, and private lanes	
	• Easements and right-of-way lines on or adjacent to the lot	
	• Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties	
	• Building locations(s) (including dimensions to property lines)	
	• Parking and loading areas (dimensioned)	
↓	• Traffic access drives and traffic circulation (dimensioned)	

✓	• Open/common spaces	
↓	• Refuse and service areas	
↓	• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing & proposed)	
↓	• All on-site lighting proposed – Must Meet City "Dark Sky" Ordinances	

**Landscape Plan (If applicable):**

	<b>The following items must be included on the landscape plan:</b>	
✓	• Date, scale, north arrow, and project name	
↓	• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan	
↓	• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings	
↓	• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.	
↓	• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements	
↓	• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours	
↓	• Sight Triangles as defined in 8-4 A-7 of this Ordinance	
↓	• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size	
↓	• Proposed screening structures	
↓	• Design drawings(s) of all fencing proposed	
↓	• Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> <li>➢ Number of street trees and lineal feet of street frontage</li> <li>➢ Width of street buffers (exclusive of right-of-way)</li> <li>➢ Width of parking lot perimeter landscape strip</li> <li>➢ Buffer width between different land uses</li> <li>➢ Number of parking stalls and percent of parking area with internal landscaping</li> <li>➢ Total number of trees and tree species mix</li> <li>➢ Mitigation for removal of existing trees, including number of caliper inches being removed</li> </ul>	

**SIGNS (If applicable):**

All signs will require separate submittal of a sign application.

**FEE REQUIREMENT:**

***\*\* I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.***

\_\_\_\_\_ 

\_\_\_\_\_ 2/22/22



GLENN WALKER, AIA  
1891 N. Wildwood St.  
Ph (208) 353-0734

ARCHITECT & PLANNER  
Boise, Idaho 83713

Section 7, Item A.

Date: March 1, 2022

Re: 594 N. Star Rd. Star Idaho 83669 – Early Learning Center

The owner Epic Development is looking at constructing a new 9,294 sq. ft. Early Learning Center. The tenants of this building is from out-of-state and looking to start their business here in Idaho.

The building itself will consist of wood construction, the roof will be an architectural grade shingled roof, walls being a horizontal lap siding, with a mixture of board and batt siding. The front entrance will have a gable look with exterior columns. The main roof line will be a Dutch-Gable roof system. The colors will be white siding, with black shutters, black shingles and black window frames.

The site plan, will have a good mixture of landscaping, paving and building for the overall coverage of the site. This site will have the required parking out front, along with (2) accessible parking stalls. The proposed 28'-0" high facility is well under the allowed maximum height and the facility is situated such that it complies with the setback requirements for the MU-DA Zone.

We have shown landscaping to enhance the building design which will be consistent with good practices and will have a variety of plant materials. The landscape plan will have similar soft and hard surfaces as the existing surrounding buildings.

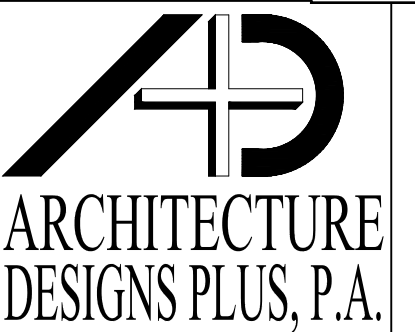
The site lighting will be done with lights from the building. All wall mounted exterior light fixtures which will transmit the light downward towards the parking only.

We hope this project will be acceptable to the planning department. We feel that this new building will add to the quality of architecture and distinctiveness of the area, also fit the needs of the owners.

Please call if you have any questions or comments,

Sincerely,

Glenn Walker, AIA,  
ADP Architects, PA



NO.	REVISIONS	DATE
1	ISSUE FOR PERMIT	1/3/2022

PROFESSIONAL SEAL

**ADP ARCHITECTS**  
 ARCHITECTURE & REAL ESTATE PLANNING  
 GLENN WALKER, AIA  
 1891 N. WILDWOOD ST.  
 BOISE, IDAHO 83713  
 OFFICE: 208-353-0734  
 gwalker@adpphoto.com

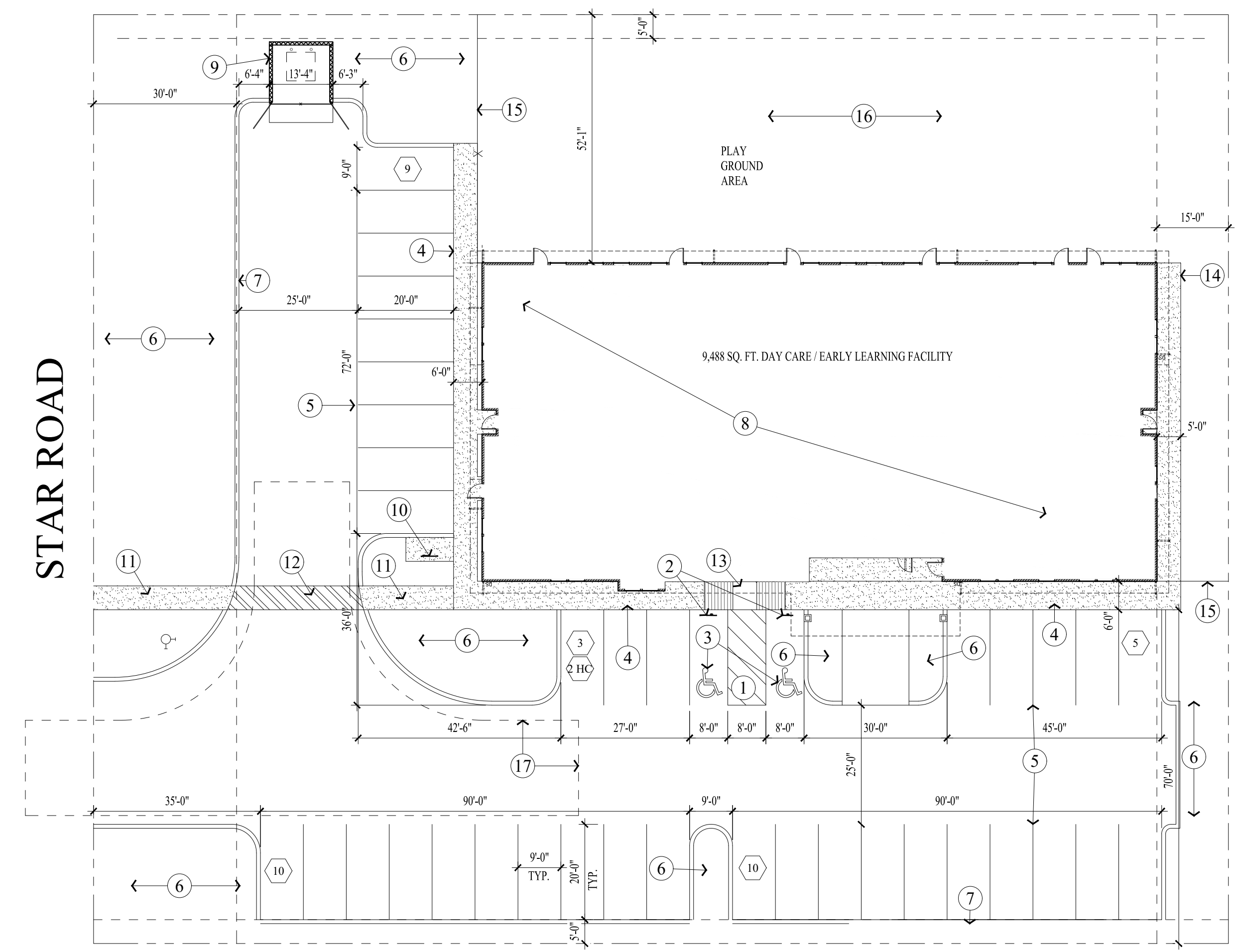
PROJECT NAME:  
 NEW FACILITY FOR:  
 EARLY LEARNING CENTER  
 594 N. STAR RD.  
 STAR, IDAHO 83669  
**OVERALL SITE PLAN**

JOB NO:	21202
DATE:	01-03-22
DRAWN BY:	JN

SHEET NUMBER  
**A-1.0**  
PLOT DATE: Mar 03, 2022 - 2:04pm

**KEY NOTES**

- 1 8'-0" WIDE HANDICAP ACCESS AISLE PAINTED w/ TRIPS.
- 2 HANDICAP SIGN MOUNTED TO POST. REFER TO DETAIL 8/A-1.1 TYP., AT EACH ACCESSIBLE STALL.
- 3 PAINTED HANDICAP SYMBOL, REFER TO DETAIL 3/A-1.1 TYP., AT EACH ACCESSIBLE STALL.
- 4 NEW 6'-0" WIDE x 4" THICK CONCRETE SIDEWALK W/ TURNDOWN EDGE REFER TO DETAIL 2/A-1.1
- 5 4" WIDE PAINTED PARKING STALL DIVIDER STRIPS, TYP.
- 6 LANDSCAPE ISLAND/AREA, REFER TO LANDSCAPE PLAN, TYP. AS SHOWN
- 7 EXTRUDED CURB TYP. REFER TO DETAIL 4/A-1.1
- 8 NEW FACILITY REFER TO FLOOR PLAN SHEETS
- 9 13'-4"W x 12'-8"L TRASH ENCLOSURE, REFER TO DETAIL 1/A-1.2
- 10 BICYCLE RACK PARKING ON CONCRETE PAD, REFER TO DETAIL 7/A-1.1
- 11 5'-0" WIDE SIDEWALK FOR CONNECTION TO STREET
- 12 STRIPE AREA FOR ACCESSIBLE ROUTE FROM BUILDING ENTRY TO PUBLIC RIGHT-OF-WAY, WIDTH = 5'-0"
- 13 ADA PED RAMP, REFER TO DETAIL 6/A-1.2
- 14 5'-0" WIDE X 4" THICK CONCRETE SIDEWALK W/ TURNDOWN EDGE REFER TO DETAIL 2/A-1.1
- 15 6 FT. TALL WHITE VINYL FENCE, FOR PLAY AREA
- 16 OUTDOOR PLAY AREA
- 17 FIRE TRUCK TURN-AROUND AREA



**OWNER DATA**

OWNER: EPIC DEVELOPMENT  
 1831 E. OVERLAND RD.  
 MERIDIAN, IDAHO 83642

ARCHITECT: ADP ARCHITECTS, PA  
 1891 N. WILDWOOD ST.  
 BOISE, IDAHO 83713

PROPERTY DESCRIPTION:  
 Parcel: S0408325602  
 Year: 2021  
 Parcel Status: Active in 2021  
 Primary Owner:  
 EPIC DEVELOPMENT IDAHO II LLC  
 Zone Code: MU-DA  
 Total Acres: 1.066  
 Tax Code Area: 07  
 Instrument Number:  
 2021157697  
 Assessor ID:  
 PAR #5602 @ CTR W POR NW4SW4  
 SEC 8 4N 1W  
 #325601-B

Address: 594 N STAR RD STAR, ID 83669  
 Subdivision: 4N 1W 08  
 Land Group Type: SECT  
 Township/Range/Section: 4N1W08

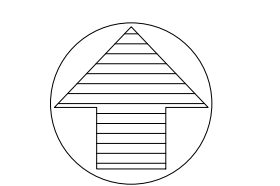
**SITE DATA**

PROJECT RECAP	
• ADDRESS	594 N STAR RD STAR, ID 83669
• PARKING STALLS PROVIDED	37 STALLS TOTAL (2) H.C. PARKING STALL
• TOTAL SITE AREA	46,370 SQ. FT. OR 1.06 ACRES
• TOTAL BUILDING AREA:	9,488 SQ. FT. NEW - TOTAL
• BUILDING COVERAGE:	2046 OR 20%
• PAVED AREA:	16,639 S.F. 358 OR 36%
• LANDSCAPE AREA:	17,193 S.F. 370% OR 37%
• OTHER AREA: - INCLUDING BUT NOT LIMITED TO: CONCRETE, CURBING, AND SIDEWALKS	3,245 S.F. 07 OR 7%

**SYMBOL LEGEND**

X = AMOUNT OF PARKING STALLS

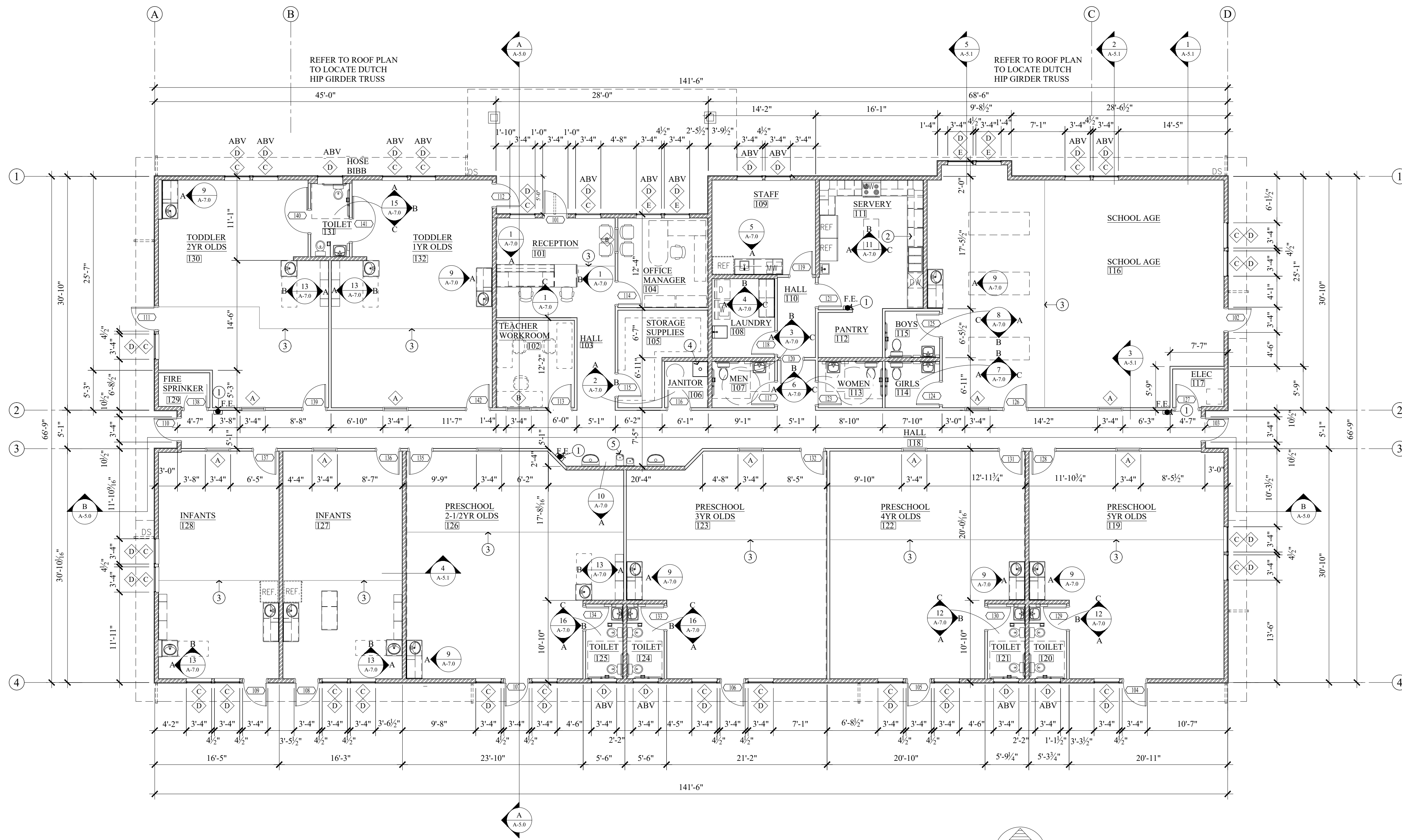
**OVERALL SITE PLAN**



**NORTH**

SCALE: 1" = 20'-0"





**GENERAL NOTES**

2x6 EXTERIOR FRAMING W/DBL. TOP PLATE AND SINGLE BOTTOM PLATE. INTERIOR FRAMING TO BE 2x4 (TYP. UNLESS NOTED OTHERWISE). ALL PLUMBING WALLS TO BE 2x6 FRAMING.

ALL STRUCTURAL LUMBER SIZED FOR #2 OR BETTER DOUG-FIR LARCH.

R-21 BATT INSULATION AT EXTERIOR WALLS W/4 MIL. CLEAR V.B. AT WARM SIDE.

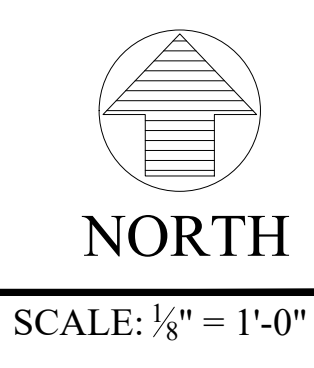
NOMINAL R-38 CEILING INSULATION (UNLESS NOTED OTHERWISE).

ALL ACCESSORIES (I.E. GRAB BARS, TOWEL BARS, PAPER DISPENSERS, AND SOAP DISHES) PROVIDED ON OR WITHIN WALLS. SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE.

USE TEMPERED GLAZING IN DOORS, SLIDING PATIO DOORS, STORM DOORS, SHOWER AND BATH ENCLOSURES, WINDOWS WHERE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARCH OF EITHER VERTICAL EDGE OF DOOR IN A CLOSED POSITION, & FIXED PANELS GREATER THAN 9 S.F. WITH THE LOWEST EDGE LESS THAN 18" ABOVE THE FLOOR (SEE PLAN).

NOTE:  
 FIRE EXTINGUISHERS SHALL CARRY A MINIMUM OF 2-A-10-B-C RATING AND SPACED ON THE BASIS OF ONE 2-A RATING FOR EACH 4,000 SQ. FT. OF FLOOR AREA, WITH A MAXIMUM 75 FT. TRAVEL DISTANCE TO AN EXTINGUISHER. EXTINGUISHERS SHALL BE MOUNTED ON HANGERS OR BRACKETS, OR IN CABINETS. IF A CABINET HOUSING IS PROVIDED, THE CABINET SHALL NOT BE LOCKED. MOUNT HANDLE AT 48" A.F.F. EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED ALONG NORMAL PATHS OF TRAVEL, WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE. THE FIRE EXTINGUISHERS SHALL BE CURRENT WITH INSPECTION TESTING AND PROVIDED WITH A QUALIFIED AND APPROVED INSPECTION. (IFC 906, NFPA 10)

**FLOOR PLAN**



FLOOR PLAN KEY NOTES	
1 SEMI-RECESSED FIRE EXTINGUISHER CABINET 2-A-10-B-C RATING FIRE EXTINGUISHER AS MFR BY "JL" OR EQ. REFER TO NOTE THIS SHEET.	7 WALK-OFF CARPET TILE MATT 6'-0" x 4'-0"
2 BUILT-IN MILLWORK, REFER TO DETAIL 1/A-9.0. VERIFY W/ OWNER FINAL CABINETRY DESIGN PRIOR TO CONSTRUCTION & INSTALLATION	8 BOTTLE PREP SINK, REGULAR MOUNTING HEIGHT, TOP OS SPOUT 34" A.F.F.
3 FLOOR FINISH TRANSITION.	9 HAND WASHING SINK, REGULAR MOUNTING HEIGHT, TOP OS SPOUT 34" A.F.F.
4 PROVIDE SERVICE SINK, WITH FRP BEHIND SINK EACH WALL 4'-0" ABOVE SINK. PROVIDE BROOM AND MOP HOLDER.	10 CHILD HEIGHT HAND WASHING SINK, TOP OF SPOUT 24" A.F.F.
5 PROVIDE HIGH / LOW DRINKING FOUNTAIN	11 STACKABLE WASHER & DRYER
6 ROOF LADDER TO MECH. CEILING MOUNTED EXHAUST FAN PLATFORM, REFER TO DETAIL 1/A-7.0 FOR LADDER DETAIL.	12 5'-6" x 10'-0" LVT AREA

SYMBOL LEGEND	
	WINDOW TYPE, REFER TO SHEET A-11.0
	DOOR TYPE, REFER TO SHEET A-11.0

NO.	REVISIONS	DATE
1	ISSUE FOR PERMIT	1/3/2022

PROFESSIONAL SEAL

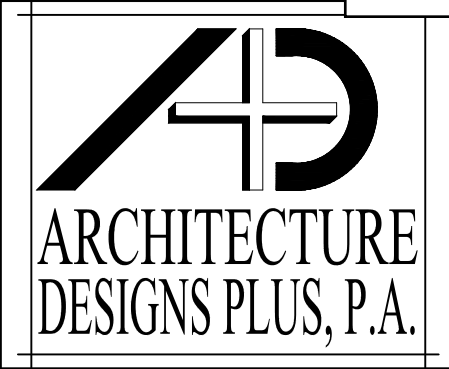
**ADP ARCHITECTS**  
 ARCHITECTURE & REAL ESTATE PLANNING  
 GLENN WALKER, AIA  
 1891 N. WILDWOOD ST.  
 BOISE, IDAHO 83713  
 OFFICE: 208-353-0734  
 gwalker@adpboise.com

PROJECT NAME:  
**NEW FACILITY FOR:  
 EARLY LEARNING CENTER  
 594 N. STAR RD.  
 STAR, IDAHO 83669**

FLOOR PLAN

JOB NO: 21202  
 DATE: 01-03-22  
 DRAWN BY: JN

SHEET NUMBER  
**A-2.0**



NO.	REVISIONS	DATE
1	ISSUE FOR PERMIT	1/3/2022

PROFESSIONAL SEAL

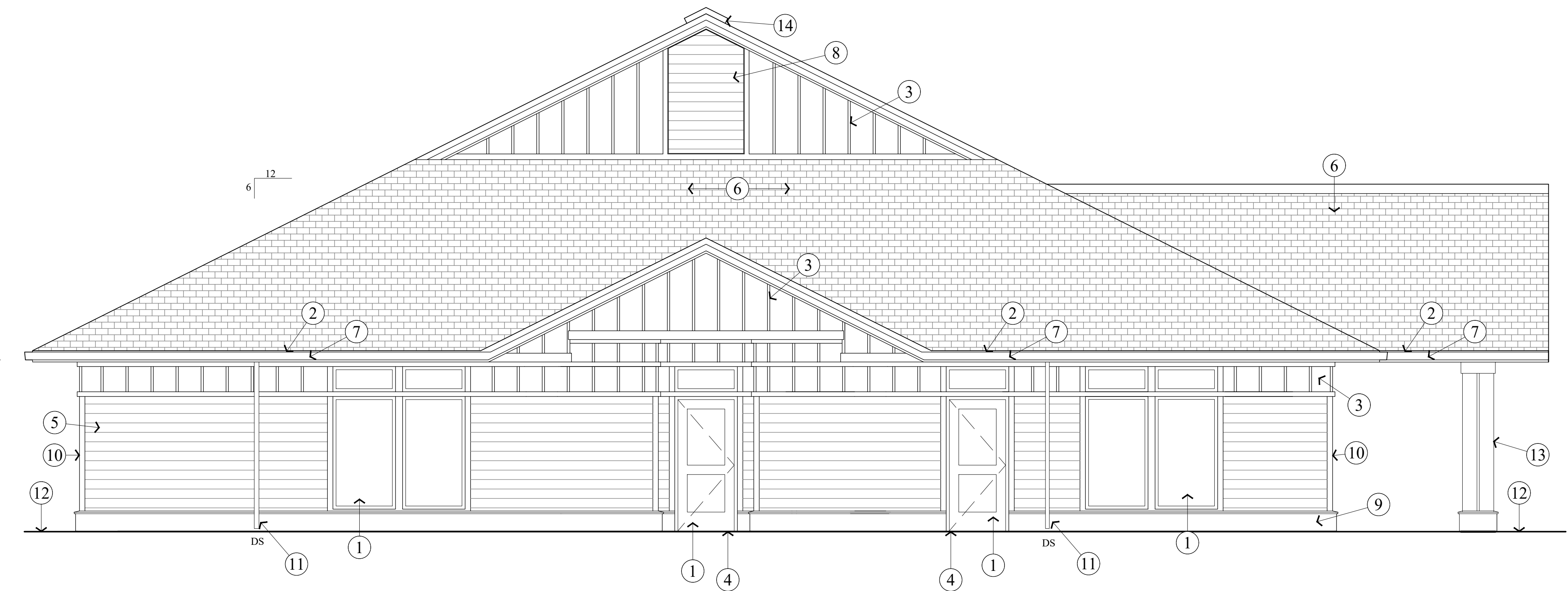
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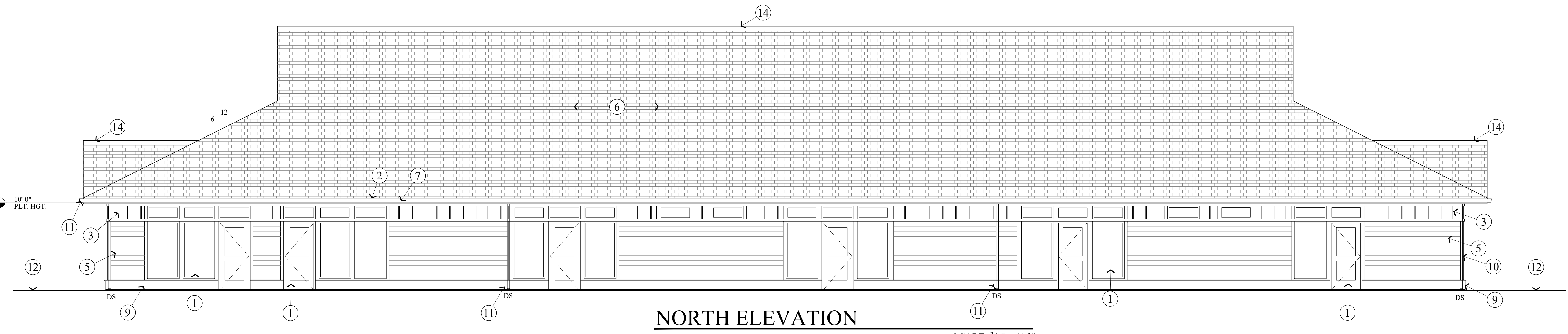
SHEET NUMBER  
**A-3.0**  
PLOT DATE: 1/10/22 2:21 pm

EXTERIOR FINISH SCHEDULE			
ITEM	MATERIAL	FINISH	COLOR
VERTICAL PANEL SIDING	CEMENTITIOUS	PAINT	SHERWIN WILLIAMS SW2855 "SYCAMORE TAN"
VERTICAL BATTENS	WOOD	PAINT	SHERWIN WILLIAMS SW2855 "SYCAMORE TAN"
TRIM	WOOD	PAINT	SHERWIN WILLIAMS SW7505 "MANOR HOUSE"
ROOFING	LAMINATED FIBERGLASS		TO BE SELECTED
FASCIA BOARD	WOOD	PAINT	SHERWIN WILLIAMS SW7505 "MANOR HOUSE"
GUTTERS	SHEET METAL; SHOP PRIMED	PAINT	SHERWIN WILLIAMS SW7505 "MANOR HOUSE"
HORIZONTAL LAP SIDING	CEMENTITIOUS	PAINT	SHERWIN WILLIAMS SW2802 "ROCKWOOD RED"
CORNER TRIM	WOOD	PAINT	SHERWIN WILLIAMS SW2802 "ROCKWOOD RED"
WINDOW TRIM	WOOD	PAINT	SHERWIN WILLIAMS SW2855 "SYCAMORE TAN"
WINDOW	VINYL	PREFINISHED	MILGARD STANDARD "TAN"
BASE TRIM	WOOD	PAINT	SHERWIN WILLIAMS SW7505 "MANOR HOUSE"
SOFFIT	T111 PLYWOOD	PAINT	SHERWIN WILLIAMS SW2855 "SYCAMORE TAN"
PLUMBING VTR	PVC	PAINT	BLACK
HVAC EXHAUST ROOF HOODS	METAL	PAINT	BLACK
HOT WATER TANK EXHAUST FLUE	METAL	PAINT	BLACK
ROOF FLASHING	METAL SHOP PRIME	PAINT	SHERWIN WILLIAMS SW7505 "MANOR HOUSE"
WINDOW FLASHING	METAL SHOP PRIME	PAINT	SHERWIN WILLIAMS SW2855 "SYCAMORE TAN"
DOORS	REFER TO DOOR FINISH SCH A601	REFER TO DOOR FINISH SCH A601	SHERWIN WILLIAMS SW7750 "OLYMPIC RANGE"
DOORS FRAMES	REFER TO DOOR FINISH SCH A601	REFER TO DOOR FINISH SCH A601	SHERWIN WILLIAMS SW2855 "SYCAMORE TAN"
DOWNSPOUTS	SHEET METAL; SHOP PRIMED	PAINT	SHERWIN WILLIAMS SW2802 "ROCKWOOD RED"
WEATHER LOUVERS	ALUMINUM SHOP PRIME	PAINT	GREENHECK "SIERRA TAN"
BOLLARDS	GALV STEEL	PAINT	SHERWIN WILLIAMS SW2802 "ROCKWOOD RED"
CMU @ REFUSE ENCLOSURE	GROUND FACE CMU	CLEAR SEALER	TO BE SELECTED
STEEL @ REFUSE ENCLOSURE	GALV SHOP PRIMED	----	SHERWIN WILLIAMS SW7505 "MANOR HOUSE"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**

SCALE: 3/16" = 1'-0"

**KEY NOTES**

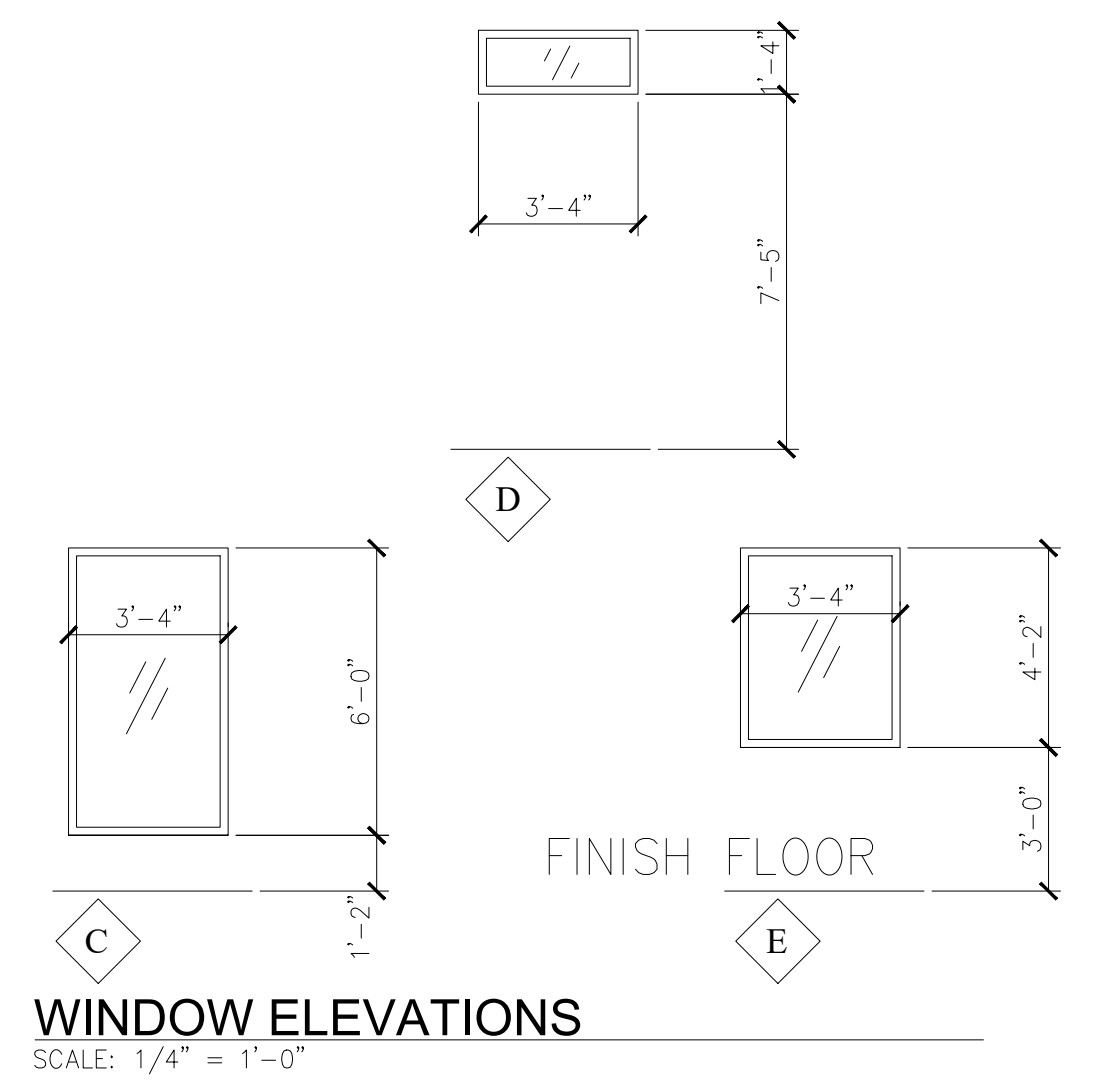
- |   |   |
|---|---|
| 1 DOOR OR WINDOW, REFER TO SCHEDULES SHEET A-7.2  | 8 METAL LOUVER (COORDINATE W/ MECH.)  |
| 2 CONT. METAL GUTTER  | 9 WATER TABLE TRIM  |
| 3 PANEL SIDING W/ 1 x 2 BATTENS @ 16" O.C.  | 10 WOOD CORNER TRIM   |
| 4 SLOPE EXTERIOR CONCRETE WALKWAY 1/2" PER FOOT AWAY FROM BUILDING AT ALL DOORS.  | 11 4" x 4" PRE-FIN. METAL GUTTER W/DOWNSPOUTS W/ 12" x 24" PRECAST CONC. SPLASHBLOCK. SEE ELEVATIONS AND ROOF PLAN FOR DOWNSPOUT LOCATIONS - PROVIDE DOWNSPOUTS LOCATOR PER INDUSTRY STANDARDS. |
| 5 HORIZONTAL LAP SIDING   | 12 EXTERIOR GRADE   |
| 6 ARCHITECTURAL GRADE SHINGLE ROOFING, OVER ICE & WATER SHIELD OVER APA RATED ROOF SHEATING. REFER SHINGLE SPEC. ON SHEET A-4.0 | 13 EXTERIOR COLUMN REFER TO DETAIL 7/A-7.1  |
| 7 FASCIA BOARD & TRIM BOARD   | 14 HIGH PROFILE RIDGE CAP   |

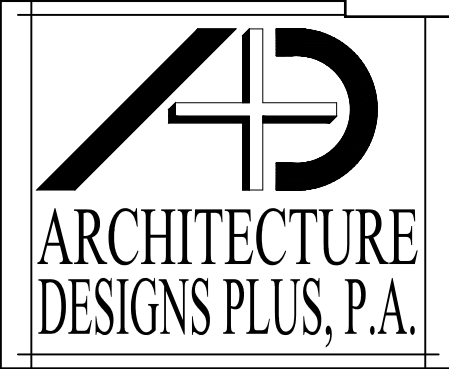
**EXTERIOR NOTES**

- VERIFY ALL MATERIALS AND ROOF PITCHES SHOWN IN THESE DRAWINGS WITH SUBDIVISION CC&S PRIOR TO CONSTRUCTION.
- DO NOT SCALE ELEVATIONS. VERIFY ALL UNKNOWN DIMENSIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
- INSTALL ALL EXTERIOR FINISHES PER MANUFACTURERS SPECIFICATIONS.
- T&G STAINED CEDAR #2 ROUGH SAWN SOFFIT BOARD W/ MINWAX STAIN COLOR RED OAK.
- TYPE OF INSULATION BEING INSTALLED OMTS NEED FOR ALL ROOF VENTS AT SOFFITS AND RIDGE VENTS. ATTIC MUST BE VENTILATED. REFER TO MECHANICAL & ELECTRICAL DRAWINGS AND DESCRIPTION ON PAGE A-5.0

**SPECIFICATIONS**

**HORIZONTAL SIDING**  
 PRODUCT: 6" HARDPLANK LAP SIDING PRE-PRIMED THEN PAINTED, STYLE AND COLOR AS SELECTED BY OWNER.





DATE	1/3/2022
NO. REVISIONS	1
ISSUE FOR PERMIT	

PROFESSIONAL SEAL

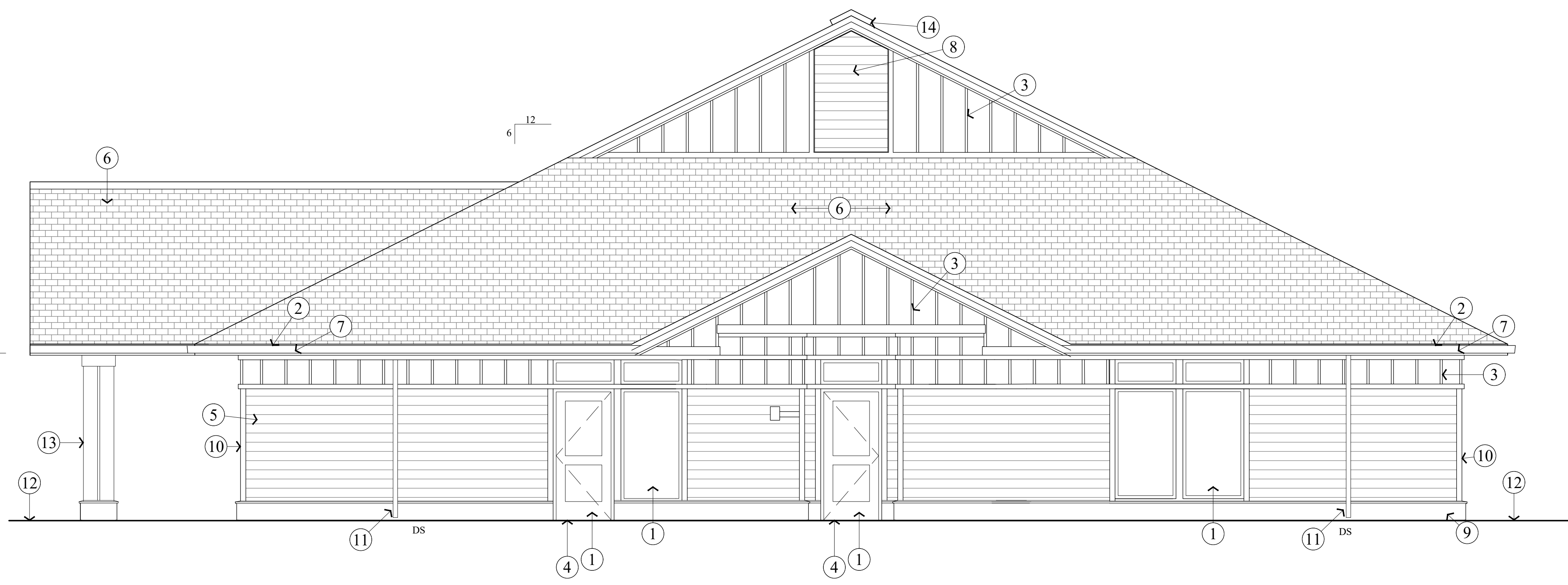
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JOB NO: 21202  
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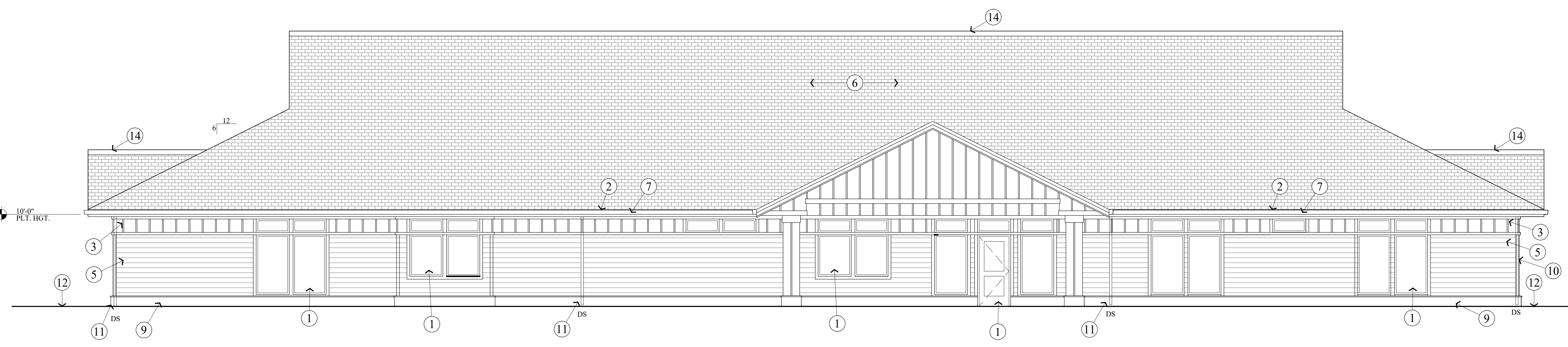
SHEET NUMBER  
**A-3.1**  
Plot Date: Nov 03, 2022 - 2:22 pm

BUILDING ELEVATIONS



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"

KEY NOTES	
1	DOOR OR WINDOW, REFER TO SCHEDULES SHEET A-7.2
2	CONT. METAL GUTTER
3	PANEL SIDING W/ 1 x 2 BATTENS @ 16" O.C.
4	SLOPE EXTERIOR CONCRETE WALKWAY 1/2" PER FOOT AWAY FROM BUILDING AT ALL DOORS.
5	HORIZONTAL LAP SIDING
6	ARCHITECTURAL GRADE SHINGLE ROOFING, OVER ICE & WATER SHIELD OVER APA RATED ROOF SHEATING. REFER SHINGLE SPEC. ON SHEET A-4.0
7	FASCIA BOARD & TRIM BOARD
8	METAL LOUVER (COORDINATE W/ MECH.)
9	WATER TABLE TRIM
10	WOOD CORNER TRIM
11	4" x 4" PRE-FIN. METAL GUTTER W/DOWNSPOUTS W/ 12" x 24" PRE-CAST CONC. SPLASHBLOCK. SEE ELEVATIONS AND ROOF PLAN FOR DOWNSPOUT LOCATIONS - PROVIDE DOWNSPOUTS LOCATIONS PER INDUSTRY STANDARDS.
12	EXTERIOR GRADE
13	EXTERIOR COLUMN REFER TO DETAIL 7/A-7.1
14	HIGH PROFILE RIDGE CAP

EXTERIOR NOTES
1. VERIFY ALL MATERIALS AND ROOF PITCHES SHOWN IN THESE DRAWINGS WITH SUBDIVISION CC&S PRIOR TO CONSTRUCTION.
2. DO NOT SCALE ELEVATIONS. VERIFY ALL UNKNOWN DIMENSIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
3. INSTALL ALL EXTERIOR FINISHES PER MANUFACTURERS SPECIFICATIONS.
4. T&G STAINED CEDAR #2 ROUGH SAWN SOFFIT BOARD W/ MINWAX STAIN COLOR RED OAK.
5. TYPE OF INSULATION BEING INSTALLED OMTS NEED FOR ALL ROOF VENTS AT SOFFITS AND RIDGE VENTS. ATTIC MUST BE VENTILATED. REFER TO MECHANICAL & ELECTRICAL DRAWINGS AND DESCRIPTION ON PAGE A-5.0

SPECIFICATIONS
HORIZONTAL SIDING PRODUCT: 6" HARDPLANK LAP SIDING PRE-PRIMED THEN PAINTED, STYLE AND COLOR AS SELECTED BY OWNER.

REFER TO A-3.0 FOR EXTERIOR FINISH SCHED. & WINDOW ELEV.



# MIDDLETON STAR FIRE DISTRICTS

Section 7, Item A.

Fire District Headquarters  
11665 W. State St., Suite B  
Star, Idaho 83669

Tel. No.: (208) 286-7772  
Web: [www.midstarfire.org](http://www.midstarfire.org)  
Email: [permits@starfirerescue.org](mailto:permits@starfirerescue.org)

DATE: April 11, 2022  
TO: City of Star Planning & Zoning  
City of Star Council  
FROM: Victor Islas, Deputy Chief  
SUBJECT: Fire District Review  
PROJECT NAME: Early Learning Facility (CU-22-01)

### Fire District Summary Report:

1. **Overview** This development can be serviced by the Star Fire Protection District. This development shall comply with the 2018 International Fire Code (IFC), AHJ requirements and any codes set forth by the City of Star, Idaho.
2. **Fire Response Time:** This development will be served by the Star Fire Protection District Station 51, located at 11665 W. State St., Star, Idaho 83669. Station 51 is 0.7 miles with a travel time of 2 minutes under ideal driving conditions to the purposed entrance.
3. **Accessibility:** Roadway Access, Traffic, Radio Coverage
  - a. Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.
  - b. Access road design shall be designed and constructed to allow for evacuation simultaneously with emergency response operations.
  - c. All access roads in this development shall remain clear and unobstructed during construction of the development. Additional parking restrictions may be required as to always maintain access for emergency vehicles. Hydrants shall always remain unobstructed per city code.
  - d. Purposed emergency access/turn-around hammer head will meet the intent of the fire code.
  - e. Signs – Fire Lane signs shall be in place to keep turn around clear at all times.
  - f. The applicant shall work with Ada County, City of Star and Star Fire Protection District to provide an address identification plan and signage which meets the requirements set forth by each agency. Addressing shall be placed in a position that is plainly legible and visible from the street or road fronting the property, as set forth in International Fire Code Section 505.1
  - g. All residential, commercial, and industrial buildings within the City shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. When required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response.





# MIDDLETON STAR FIRE DISTRICTS

Fire District Headquarters  
11665 W. State St., Suite B  
Star, Idaho 83669

Tel. No.: (208) 286-7772  
Web: [www.midstarfire.org](http://www.midstarfire.org)  
Email: [permits@starfirerescue.org](mailto:permits@starfirerescue.org)

- h. Address numbers shall have a minimum stroke width of one-half inch (0.5"), and of a color contrasting with the background. The required height of each address number shall be calculated by the distance of the addressed building from the road, as follows:

Less than one hundred feet (100')	6"
one hundred feet to one hundred fifty feet (100 - 150')	8"
one hundred fifty-one feet to two hundred feet (151 - 200')	10"
two hundred one feet to two hundred fifty-one feet (201 - 251')	12"

- i. Upon commencement of initial construction of a new structure, a clear visible freestanding sign or post shall be erected and maintained in place until the permanent address numerals are attached or otherwise displaced upon the premises at completion.
4. **Water Supply:** Water supply requirements will be followed as described in Appendix B of the 2018 International Fire Code unless agreed upon by the Fire District.
- a. Fire Flow: Minimum Fire Flow requirements for 9,488 square feet building will be 2,750 GPM for a duration of 2 hours as per Appendix B of the International Fire Code
  - b. Automatic Fire Sprinklers will be required
    - i. Contractor to submit sprinkler plans to State Fire Marshal's Office & AHJ for review, approval and permitting.
  - c. Water Supply: Hydrants to be placed no less than 100ft from the Riser Room FDC.
  - d. Water Supply: Life Safety water lines to be separate from domestic water lines.
  - e. Water Supply: Acceptance of the water supply for fire protection will be by the Fire District and water quality by Star Sewer & Water for bacteria testing.
  - f. Water Supply: Fire hydrants shall have a Storz LDH connection in place of the 4 1/2" outlet. The Storz connection may be integrated into the hydrant, or an approved adapter may be used on the 4 1/2" outlet.

5. **Additional Comments:**

- a. Knox Box Required <https://www.knoxbox.com/3901>
- b. Fire Extinguishers per IFC 906
- c. Fire Alarm Required.
  - i. Contractor to submit Alarm plans to State Fire Marshal's Office & AHJ for review, approval and permitting.
  - ii. Additional permitting for electrical is required by the City of Star.
- d. Commercial Kitchen Hood Required.
- e. Means of Egress Illumination per IFC 1008
- f. Emergency Preparedness as per IFC Chapter 4 for Group E Occupancies
- g. Final inspection for Fire Code Compliance is required prior to issuing the Certificate of Occupancy.



**STATE OF IDAHO**  
DEPARTMENT OF  
ENVIRONMENTAL QUALITY

1445 N Orchard Street, Boise, ID 83706  
(208) 373-0550

Brad Little, Governor  
Jess Byrne, Director

March 18, 2022

By e-mail: [snickel@staridaho.org](mailto:snickel@staridaho.org)

City of Star  
P.O. Box 130  
Star, Idaho 83669

Subject: Star Early Learning Facility, CU-22-01

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: <https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

**1. AIR QUALITY**

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).
- All property owners, developers, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.
- DEQ recommends the city/county require the development and submittal of a dust prevention and control plan for all construction projects prior to final plat approval. Dust prevention and control plans incorporate appropriate best management practices to control fugitive dust that may be generated at sites.
- Citizen complaints received by DEQ regarding fugitive dust from development and construction activities approved by cities or counties will be referred to the city/county to address under their ordinances.

- Per IDAPA 58.01.01.600-617, the open burning of any construction waste is prohibited. The property owner, developer, and their contractor(s) are responsible for ensuring no prohibited open burning occurs during construction.
- For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

## **2. WASTEWATER AND RECYCLED WATER**

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

## **3. DRINKING WATER**

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.

- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

#### 4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Construction General Permit from DEQ may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

## 5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

## 6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.

Response to Request for Comment

March 18, 2022

Page 5

- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff  
Regional Administrator  
DEQ-Boise Regional Office

EDMS#: 2022AEK47



Mary May, President  
Alexis Pickering, Vice-President  
Jim D. Hansen, 2<sup>nd</sup> Vice President  
Kent Goldthorpe, Commissioner  
Dave McKinney, Commissioner

March 30, 2022

To: ADP Architects  
Glenn Walker  
1831 E. Overland Road  
Meridian, Idaho 83642

Subject: STAR22-0004/ CU-22-01  
594 N. Star Road  
Early Learning Facility

The applicant is requesting approval of a conditional use permit for the construction of the Early Learning, 9,488 square foot Day Care Facility with parking on a 1.066 acre site.

## A. Findings of Fact

### 1. Star Road

a. **Existing Conditions:** Star Road is improved with 2-travel lanes, on-street bike lanes, on-street parking lane, vertical curb, gutter, and 7-foot wide attached concrete sidewalk abutting the site. There is 64-feet of right-of-way for Star Road (32-feet from centerline).

b. **Policy:**

**Collector Street Policy:** District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets.

**Master Street Map and Typologies Policy:** District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default.

**Street Section and Right-of-Way Policy:** District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 46-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

**Sidewalk Policy:** District policy 7206.5.6 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 6-foot wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District’s planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-foot wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**Minor Improvements Policy:** District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter, and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.

**ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features required through development. This segment of Star Road is designated in the MSM as a Towncenter Collector with 2-lanes and on-street bike lanes, a 46-foot street section within 50-70-feet of right-of-way.

- c. **Applicant’s Proposal:** The applicant is proposing no improvements to Star Road abutting the site.
- d. **Staff Comments/Recommendations:** Star Road is fully improved with 2-travel lanes, on-street bike lanes, on-street parking lane, vertical curb, gutter, and 7-foot wide attached concrete sidewalks within 64-feet of right-of-way for Star Road, 32-feet from the centerline consistent with the MSM. Therefore, no additional improvements or right-of-way dedication are required for Star Road as part of this development application.

Consistent with the District’s Minor Improvements Policy, the applicant should be required to replace any damaged or deteriorated portions of curb, gutter, and sidewalk on Star Road abutting the site.

## 2. Driveways:

### Star Road

- a. **Existing Conditions:** There are two existing curb cut type driveways from the site onto Star Road locations below:
  - **30-foot wide driveway** is located approximately 105-feet south of the site’s north property line (measured centerline to property line).
  - **30-foot wide driveway** is located approximately 43-feet north of the site’s south property line (measured centerline to property line).



**b. Policy:**

**Access Policy:** District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

District Policy 7206.1 states that the primary function of a collector is to intercept traffic from the local street system and carry that traffic to the nearest arterial. A secondary function is to service adjacent property. Access will be limited or controlled. Collectors may also be designated at bicycle and bus routes.

**Driveway Location Policy (Stop Controlled Intersection):** District policy 7206.4.4 requires driveways located on collector roadways near a STOP controlled intersection to be located outside of the area of influence; OR a minimum of 150-feet from the intersection, whichever is greater. Dimensions shall be measured from the centerline of the intersection to the centerline of the driveway.

**Successive Driveways:** District policy 7206.4.5 Table 1, requires driveways located on collector roadways with a speed limit of 35 MPH and daily traffic volumes greater than 100 VTD to align or offset a minimum of 285-feet from any existing or proposed driveway.

**Driveway Width Policy:** District policy 7206.4.6 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

**Driveway Paving Policy:** Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7206.4.6, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7206.4.6.

**Minor Improvements Policy:** District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter, and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.

- c. Applicant's Proposal :** The applicant is proposing to close the existing 30-foot wide driveway onto Star Road located 105-feet north of the site's south property line with curb, gutter, and concrete sidewalk 7-foot attached concrete sidewalk.

The applicant is proposing to maintain and pave the existing 30-foot wide curb cut type driveway from the site onto Star Road located approximately 43-feet north of the site's south property line as the one shared driveway.

- d. **Staff Comments/Recommendations:** The applicant's proposal to close the existing driveway meets District policy and should be approved.

The applicant's proposal to maintain and pave the existing 30-foot wide curb cut type driveway from the site onto Star Road located 43-feet north of the site's south property line as the one access/driveway, meets District Policy with one exception the curb cut type of driveway. Consistent with ACHD's Driveway Width policy, which requires curb return type driveways on collector roadway. Therefore, the applicant should be required to reconstruct the exiting 30 foot wide driveway located approximately 43-feet north of the site's south property line as a 30-foot wide curb return type driveway.

### 3. Tree Planters

**Tree Planter Policy:** Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

### 4. Landscaping

**Landscaping Policy:** A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

### 5. Other Access

Star Road is classified as collector roadway. Other than the access specifically approved with this application, direct lot access is prohibited to this roadway.

## B. Site Specific Conditions of Approval

1. Replace any damaged or deteriorated portions of curb, gutter, and sidewalk on Star Road abutting the site.
2. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
3. Close the existing 30-foot wide curb cut type driveway on Star Road, located 105-feet north of the site's south property line, with curb, gutter, and 7-foot wide attached concrete sidewalk.
4. Reconstruct and pave the exiting 30 foot wide driveway located approximately 43-feet north of the site's south property line as a 30-foot wide curb return type driveway.

- 5. A Traffic Impact Fee will be assessed by ACHD and will be due prior to issuance of building permit. Please contact the ACHD Planner (see below) for information regarding impact fees.
- 6. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
- 7. Comply with the Standard Conditions of Approval as noted below.

### C. Traffic Information

#### Trip Generation

This development is estimated to generate 452 vehicle trips per day; and 106 vehicle trips per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 11<sup>th</sup> edition.

#### Condition of Area Roadways: Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Star Road	194-feet	Collector	170	Better Than "D"

\* Acceptable level of service for a two-lane collector is "D" (425 VPH).

#### Average Daily Traffic Count (VDT): Average daily traffic counts are based on ACHD's most current traffic counts

- The average daily traffic count for Star Road south of Floating Feather Road was 5,370 on June 9, 2021.

### D. Attachments

- 1. Vicinity Map
- 2. Site Plan
- 3. Standard Conditions of Approval
- 4. Appeal Guidelines

If you have any questions, please feel free to contact me at (208) 387-6171.

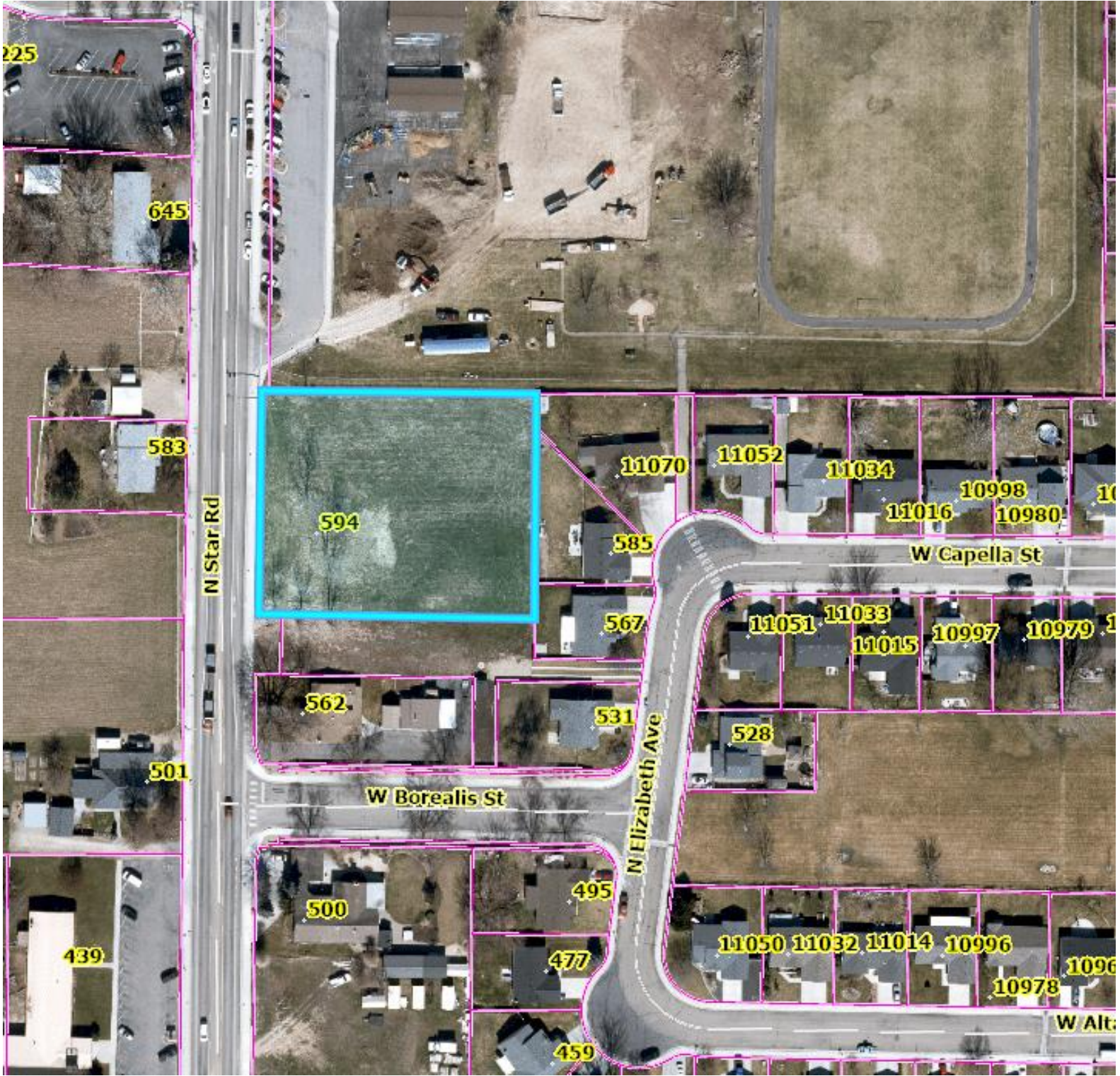
Sincerely,



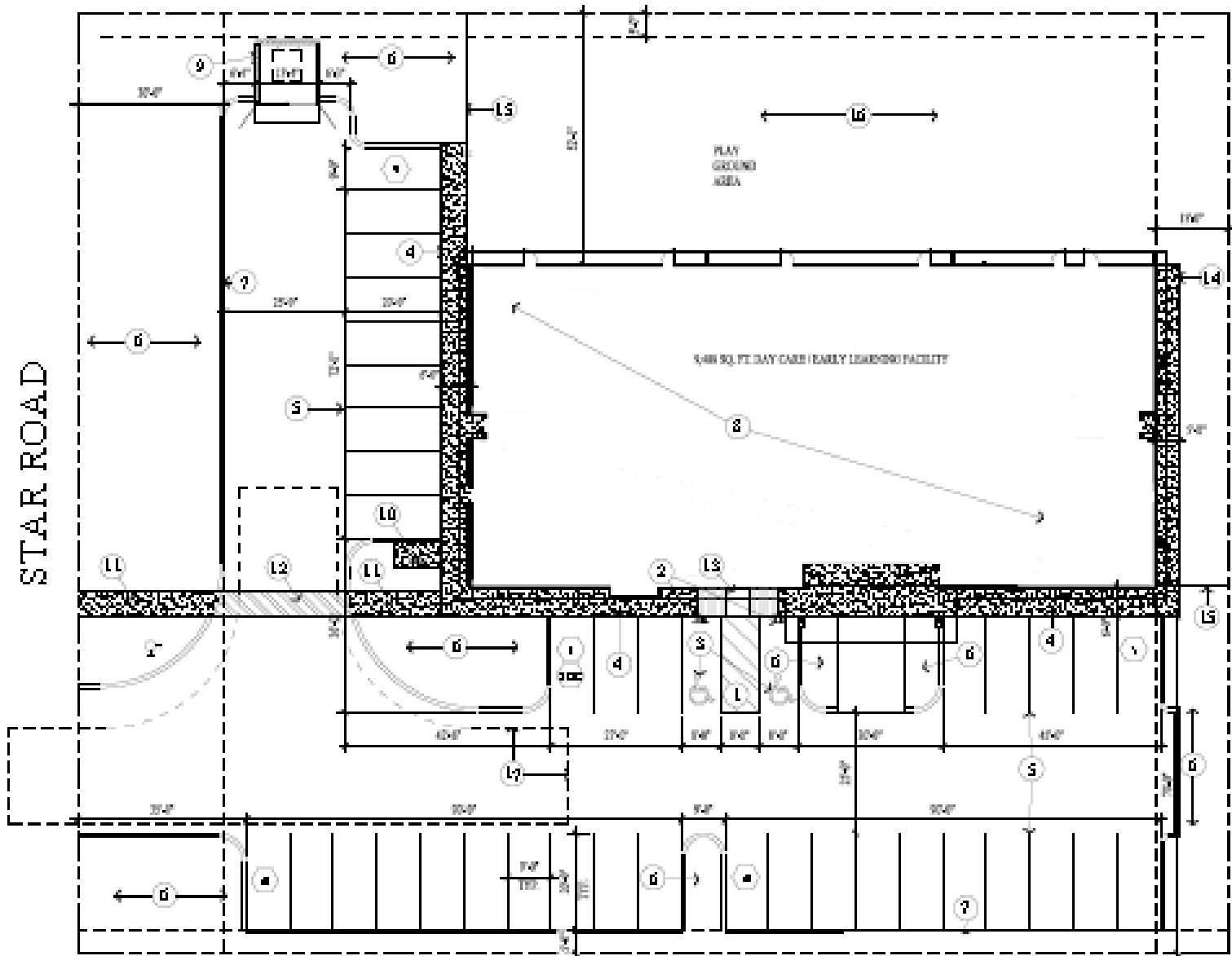
Renata Ball-Hamilton  
Planner I  
Development Services

cc: City of Star (Shawn L. Nickel), Via Email  
Owner (Epic Development, II LLC), Via Email

VICINITY MAP



SITE PLAN





## Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.6, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter, and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.



## Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
  - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
  - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
  - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
  - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
  - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

**From:** Ryan Morgan <RMorgan@StarSWD.com>  
**Sent:** Monday, March 7, 2022 8:30 AM  
**To:** Barbara Norgrove <bnorgrove@staridaho.org>; rfeild@staridaho.org  
**Cc:** Shawn Nickel <snickel@staridaho.org>; Hank Day <HDay@StarSWD.com>  
**Subject:** RE: Agency Transmittal Star Road Early Learning Center

Shawn

We have reviewed the attached documents. There are existing water and sewer lines in Star road that the applicant will be able to tap into. No additions requirements will be required by SSWD.

*Ryan V. Morgan, PE*  
*District Engineer*  
*Star Sewer and Water District*  
[rmorgan@starswd.com](mailto:rmorgan@starswd.com)  
*Main Office: 208-286-7388*  
*Cell: 208-440-1534*



## LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **April 19, 2022** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

**Application:** Hayden Homes-Easement Vacation

**Applicant/Representative:** Alec Egurrola, T-O Engineers, 332 N. Broadmore Way, Nampa, ID 83687

**Owner:** Hayden Homes, LLC, 2464 SW Glacier Place, Suite 110, Redmond, Oregon 97756

**Action:** The Applicant is requesting approval of a vacation of the existing 10-foot wide permanent public utility easement located along lot lines common to N. Wing Road and Scenic View Lane, and vacation of the 6-foot wide permanent public utilities easement along the former common lot lines. These are remnants of the platted Karma Crest Estates Subdivision, Notes 2 & 3. This subdivision is being re-platted as part of Trident Ridge Subdivision.

**Property Location:** The subject property is generally located at the SE corner of N. Wing Road & Scenic View Lane.

**Information/Comments:** A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel  
Planning Director and Zoning Administrator  
[snickel@staridaho.org](mailto:snickel@staridaho.org)



# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star Planning Department *Shen T. Muth*

**MEETING DATE:** April 19, 2022 – PUBLIC HEARING

**FILE(S) #:** VAC-21- Vacation of Utility Easements

**OWNER/APPLICANT/REPRESENTATIVE**

**Property Owner/Applicant:**

Alec Egurrola  
 T-O Engineers  
 332 N. Broadmore Way  
 Nampa, ID 83687

**REQUEST**

**Request:** The Applicant is requesting approval of a vacation of the existing 10-foot-wide permanent public utility easement located along lot lines common to N. Wing Road and Scenic View Lane, and vacation of the 6-foot-wide permanent public utilities easement along the former common lot lines. These are remnants of the platted Karma Crest Estates Subdivision, Notes 2 & 3. This subdivision is being re-platted as part of Trident Ridge Subdivision.

**PROPERTY INFORMATION**

**Property Location:** The subject property is generally located at the SE corner of N. Wing Road & Scenic View Lane.

**APPLICATION REQUIREMENTS**

Pre-Application Meeting Held	December 30, 2021
Application Submitted & Fees Paid	February 14, 2022
Application Accepted	February 14, 2022
Residents within 300' Notified	March 31, 2022
Agencies Notified	March 23, 2022

Legal Notice Published  
Property Posted

April 03, 2022  
April 7, 2022

**HISTORY**

The original subdivision for Karma Crest Estates was approved through Ada County.

**PUBLIC RESPONSES**

CTC Telecom	December 14, 2021
Idaho Power	December 3, 2021
Intermountain Gas	November 10, 2021
Lumen	November 1, 2021
Sparklight	November 30, 2021
Star Sewer & Water	November 9, 2021
City of Star Engineer	April 12, 2022

**STAFF REVIEW AND RECOMMENDATIONS**

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed vacation of easements meets the requirements, standards and intent of the Comprehensive Plan and Zoning Ordinance. The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

**COUNCIL ACTION**

The Council may **approve, conditionally approve, deny** or **table** this request for vacation of easements.

*Council may consider:*

1. This application complies with the framework of Star’s Comprehensive Plan;
2. The vacations do not create any landlocked property;
3. The vacations do not restrict access to any parcel;
4. The vacations do not reduce the quality of public services to any parcel of land.

**PROPOSED CONDITIONS OF APPROVAL**

- 1. The future Final Plats for Trident Ridge Subdivision shall continue to comply with all conditions of approval for the final plat, along with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 2. The applicant shall comply with all requirements of the City Engineer.
- 3. Any additional site-specific conditions and considerations as required by Staff or Council.

**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File VAC-22-01 Easement Vacation for Karma Crest Subdivision-Hayden Homes on \_\_\_\_\_, 2022.





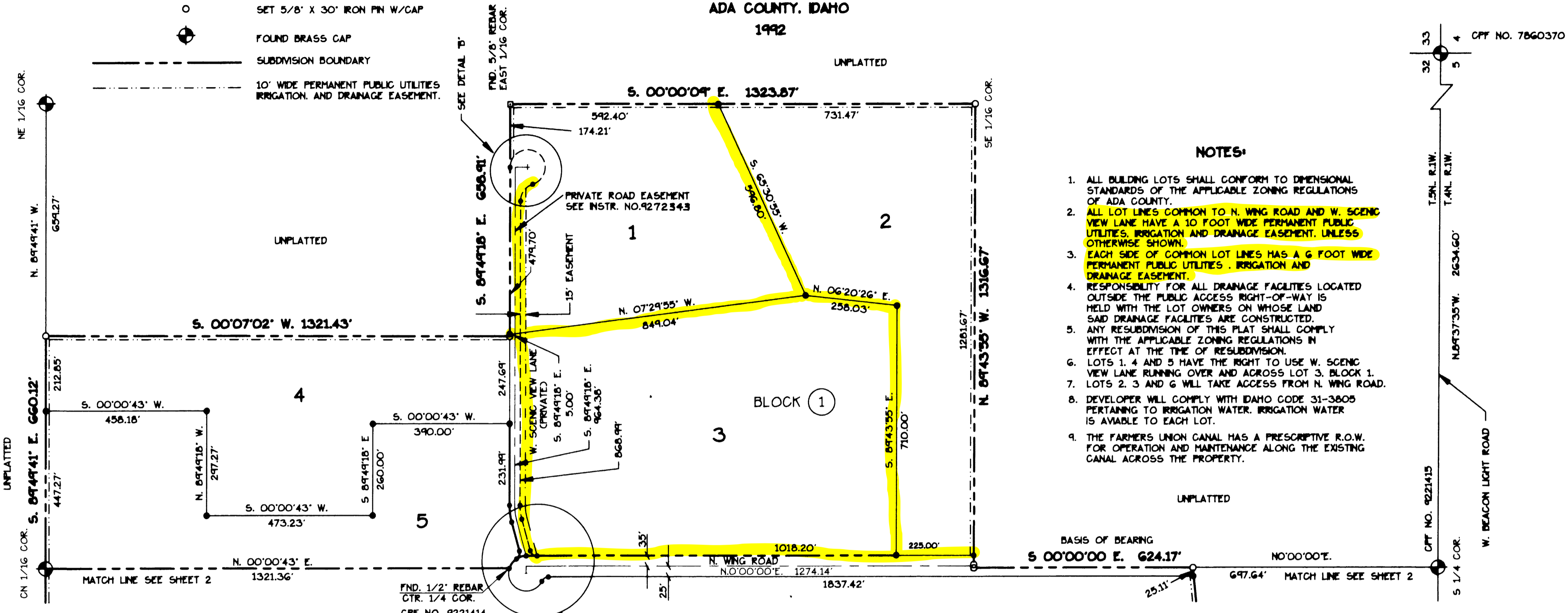


# SUBDIVISION PLAT SHOWING KARMA CREST ESTATES

BEING A PORTION OF SECTION 32  
T.5N. R.1W. B.M.  
ADA COUNTY, IDAHO  
1992

**LEGEND**

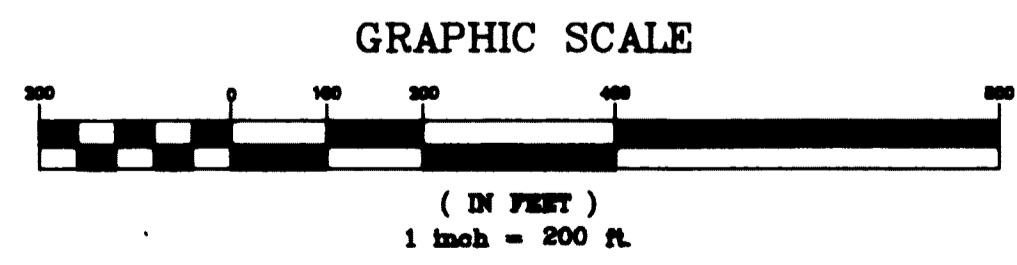
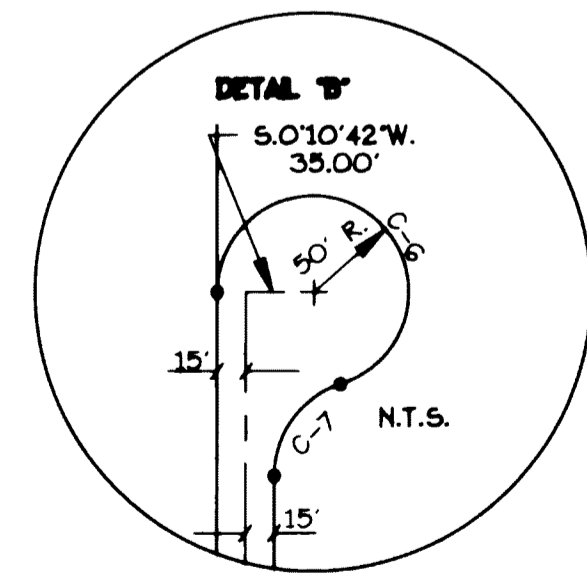
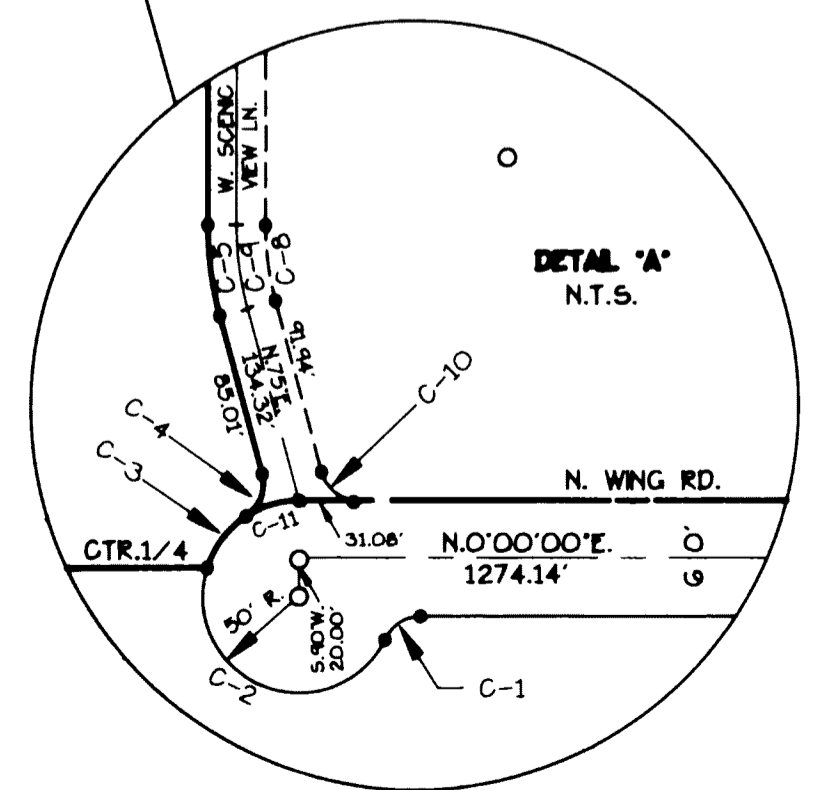
- SET 1/2" X 24" IRON PIN W/CAP
- SET 5/8" X 30" IRON PIN W/CAP
- ⊕ FOUND BRASS CAP
- SUBDIVISION BOUNDARY
- - - 10' WIDE PERMANENT PUBLIC UTILITIES IRRIGATION, AND DRAINAGE EASEMENT.



- NOTES:**
1. ALL BUILDING LOTS SHALL CONFORM TO DIMENSIONAL STANDARDS OF THE APPLICABLE ZONING REGULATIONS OF ADA COUNTY.
  2. ALL LOT LINES COMMON TO N. WING ROAD AND W. SCENIC VIEW LANE HAVE A 10 FOOT WIDE PERMANENT PUBLIC UTILITIES, IRRIGATION AND DRAINAGE EASEMENT, UNLESS OTHERWISE SHOWN.
  3. EACH SIDE OF COMMON LOT LINES HAS A 6 FOOT WIDE PERMANENT PUBLIC UTILITIES, IRRIGATION AND DRAINAGE EASEMENT.
  4. RESPONSIBILITY FOR ALL DRAINAGE FACILITIES LOCATED OUTSIDE THE PUBLIC ACCESS RIGHT-OF-WAY IS HELD WITH THE LOT OWNERS ON WHOSE LAND SAID DRAINAGE FACILITIES ARE CONSTRUCTED.
  5. ANY RESUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF RESUBDIVISION.
  6. LOTS 1, 4 AND 5 HAVE THE RIGHT TO USE W. SCENIC VIEW LANE RUNNING OVER AND ACROSS LOT 3, BLOCK 1.
  7. LOTS 2, 3 AND 6 WILL TAKE ACCESS FROM N. WING ROAD.
  8. DEVELOPER WILL COMPLY WITH IDAHO CODE 31-3805 PERTAINING TO IRRIGATION WATER. IRRIGATION WATER IS AVAILBLE TO EACH LOT.
  9. THE FARMERS UNION CANAL HAS A PRESCRIPTIVE R.O.W. FOR OPERATION AND MAINTENANCE ALONG THE EXISTING CANAL ACROSS THE PROPERTY.

**CURVE DATA**

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C-1	64°37'23"	20.00'	22.56'	12.65'	21.38'	S.32°18'42"E.
C-2	172°04'51"	50.00'	150.17'	722.35'	99.76'	S.21°25'02"W.
C-3	39°20'39"	50.00'	34.33'	17.88'	33.66'	N.52°52'13"W.
C-4	71°45'07"	20.00'	25.06'	14.48'	23.46'	S.69°05'57"E.
C-5	15°10'42"	180.00'	47.68'	23.48'	47.54'	N.82°35'21"E.
C-6	107°27'27"	50.00'	43.77'	68.14'	80.62'	S.36°26'58"W.
C-7	72°32'33"	50.00'	63.31'	36.69'	59.16'	N.53°33'02"W.
C-8	15°10'42"	150.00'	39.74'	19.99'	39.62'	N.82°35'21"E.
C-9	15°10'42"	165.00'	43.71'	21.46'	43.58'	S.82°35'21"W.
C-10	75°00'00"	20.00'	26.18'	13.35'	24.35'	N.37°30'00"E.
C-11	33°11'53"	50.00'	28.97'	14.90'	28.57'	N.16°35'54"W.

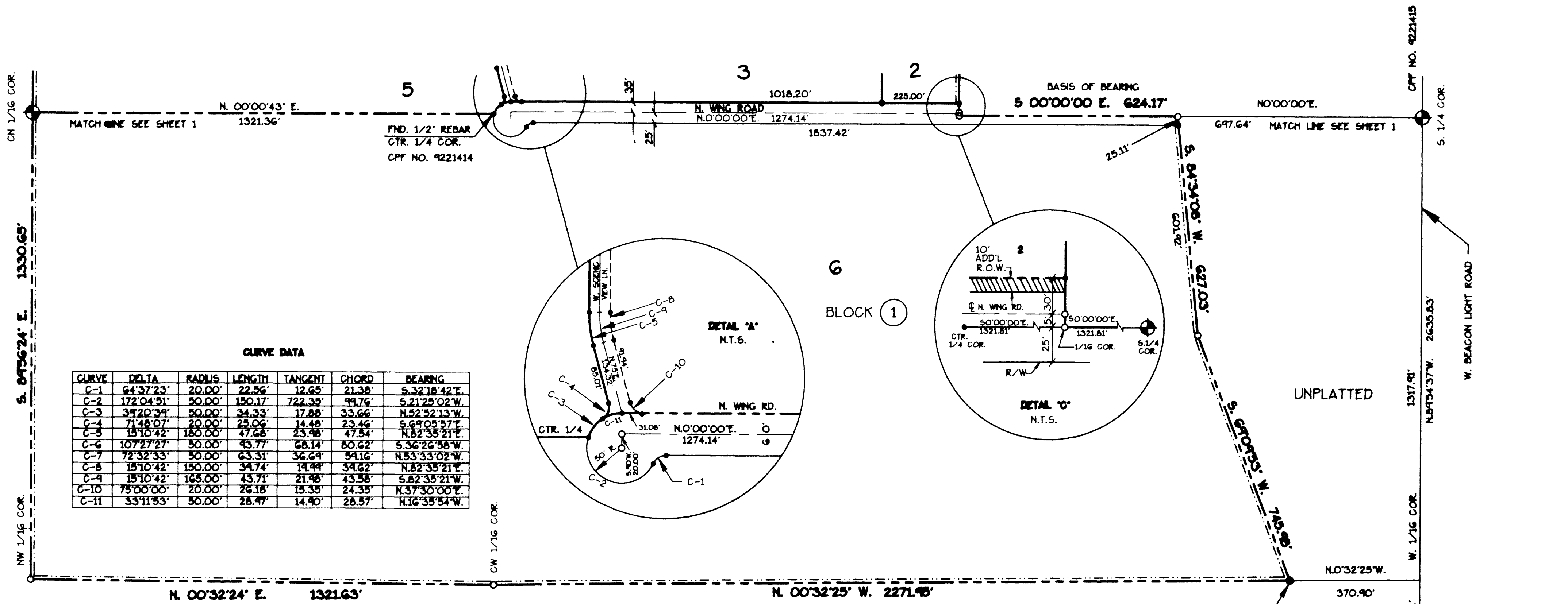
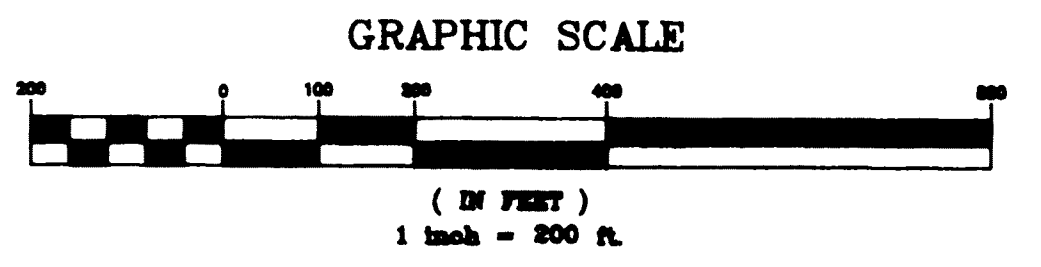
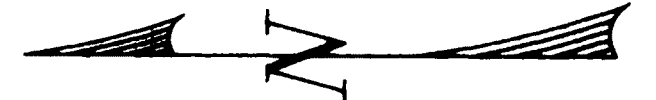


# SUBMISSION PLAT SHOWING KARMA CREST ESTATES

BEING A PORTION OF SECTION 32  
T.5N. R.1W. B.M.  
ADA COUNTY, IDAHO  
1992

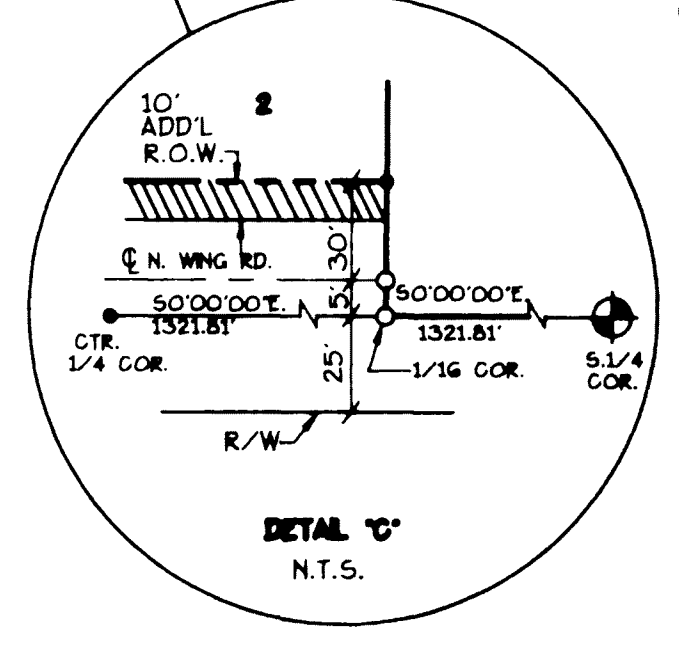
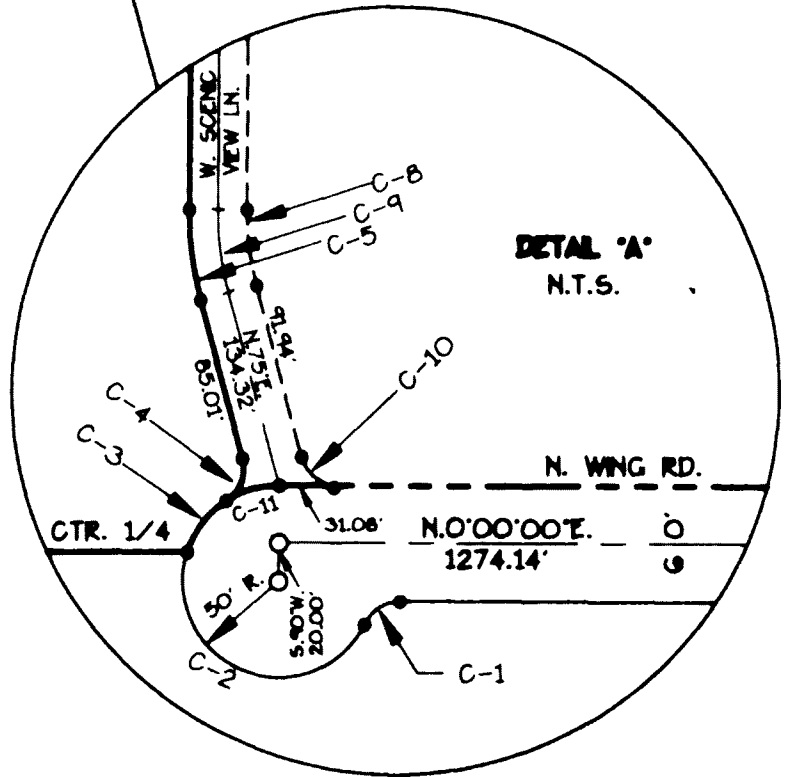
**LEGEND**

- INITIAL POINT OF PLAT
- SET 1/2" X 24" IRON PIN W/CAP
- SET 5/8" X 30" IRON PIN W/CAP
- ⊕ FOUND BRASS CAP
- SUBDIVISION BOUNDARY
- - - 10' WIDE PERMANENT PUBLIC UTILITIES IRRIGATION, AND DRAINAGE EASEMENT.

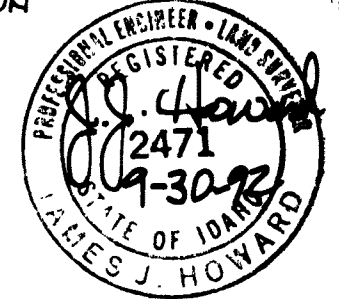


**CURVE DATA**

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C-1	64°37'23"	20.00'	22.56'	12.65'	21.38'	S.32°18'42"E.
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C-10	75°00'00"	20.00'	26.18'	15.35'	24.35'	N.37°30'00"E.
C-11	33°11'53"	50.00'	28.47'	14.40'	28.57'	N.16°35'54"W.



INITIAL POINT OF PLAT - SET 5/8" X 30" IRON PIN W/CAP INSIDE 2" X 36" IRON PIPE.



FOUND. ALUM. CAP ON 5/8" REBAR CPT NO. 0488727

# KARMA CREST ESTATES

## CERTIFICATE OF OWNERS

KNOW ALL MEN BY THESE PRESENTS, THAT CHARLES E. AND K. ARLENE BAILEY, HUSBAND AND WIFE, DO HEREBY CERTIFY THAT THEY ARE THE OWNERS OF THE REAL PROPERTY DESCRIBED BELOW AND THAT THEY INTEND TO INCLUDE SAID LAND IN THIS SUBDIVISION.

A PARCEL OF LAND BEING A PORTION OF SECTION 32, T.5N., R.1W., B.M., ADA COUNTY, IDAHO, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE BRASS CAP MARKING THE CORNER COMMON TO SECTIONS 5 AND 6, T.4N., R.1W. AND SECTIONS 31 AND 32, T.5N., R.1W., B.M., ADA COUNTY, IDAHO; THENCE, S.89°54'37"E. 1317.92 FEET ALONG THE LINE COMMON TO SAID SECTIONS 32 AND 5 TO A POINT MARKING THE W 1/16 CORNER OF SAID SECTION 32; THENCE, N.0°32'25"W. 370.90 FEET ALONG THE WEST 1/16 LINE OF SAID SECTION 32 TO A 5/8" X 30" IRON PIN SET INSIDE A 2" X 36" IRON PIPE, SAID POINT BEING THE INITIAL POINT OF PLAT; THENCE ALONG THE FOLLOWING COURSES AND DISTANCES TO IRON PINS: N.0°32'25"W. 2271.95 FEET ALONG SAID WEST 1/16 LINE TO AN IRON PIN MARKING THE CW 1/16 CORNER OF SAID SECTION 32; THENCE, N.0°32'24"E. 1321.63 FEET TO AN IRON PIN MARKING THE NW 1/16 CORNER OF SAID SECTION 32; THENCE, S.89°56'24"E. 1330.65 FEET TO A BRASS CAP MARKING THE CN 1/16 CORNER OF SAID SECTION 32; THENCE, S.89°49'41"E. 660.12 FEET; THENCE, S.0°07'02"W. 1321.43 FEET; THENCE, S.89°49'18"E. 658.91 FEET TO AN IRON PIN MARKING THE EAST 1/16 CORNER OF SAID SECTION 32; THENCE, S.0°00'09"E. 1323.87 FEET TO AN IRON PIN MARKING THE SE 1/16 CORNER OF SAID SECTION 32; THENCE, N.89°43'55"W. 1316.67 FEET TO AN IRON PIN ON THE WEST LINE OF THE EAST 1/2 OF SAID SECTION 32; THENCE, S.0°00'00"E. 624.17 FEET; THENCE, S.84°34'08"W. 627.03 FEET; THENCE, S.69°09'53"W. 745.98 FEET TO THE INITIAL POINT OF PLAT, SAID PARCEL CONTAINING 163.63 ACRES, MORE OR LESS.

N. WING ROAD AS SHOWN ON THIS PLAT OF KARMA CREST ESTATES, IS HEREBY DEDICATED TO THE PUBLIC. WEST SCENIC VIEW LANE AS SHOWN ON THIS PLAT IS A PRIVATE ROAD AND IS NOT DEDICATED TO THE PUBLIC. THE EASEMENTS AS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC, BUT THE RIGHT TO USE SAID EASEMENTS IS HEREBY PERPETUALLY RESERVED FOR UTILITY PURPOSES AND ANY OTHER PURPOSES AS MAY BE DESIGNATED HEREON, AND NO STRUCTURES OTHER THAN FOR THOSE PURPOSES ARE TO BE ERRECTED WITHIN THE LIMITS OF SAID EASEMENTS.

THE INDIVIDUAL LOTS IN THIS SUBDIVISION WILL NOT BE SERVED BY ANY WATER SYSTEM COMMON TO ONE ( 1 ) OR MORE OF THE LOTS, BUT WILL BE SERVED BY INDIVIDUAL WELLS.

IN WITNESS WHEREOF, WE HAVE SET OUR HANDS THIS 31<sup>ST</sup> DAY OF July, 1992.

Charles E. Bailey K. Arlene Bailey  
CHARLES E. BAILEY K. ARLENE BAILEY

STATE OF IDAHO)  
COUNTY OF ADA)

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED CHARLES E. AND K. ARLENE BAILEY, HUSBAND AND WIFE, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL ON THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

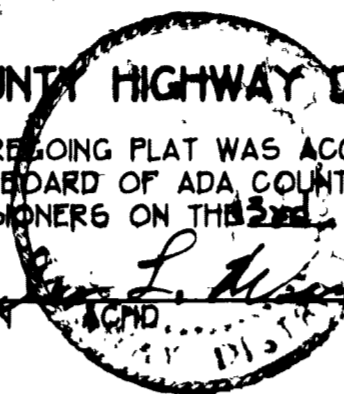
Julie A. Parker  
NOTARY PUBLIC FOR IDAHO RESIDING AT Boise  
MY COMMISSION EXPIRES 1/29/98



## ADA COUNTY HIGHWAY DISTRICT ACCEPTANCE

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE 2<sup>ND</sup> DAY OF September, 1992.

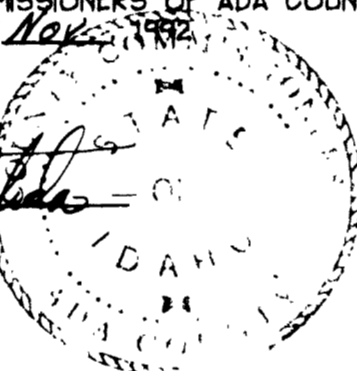
Charles L. Mendenhall  
CHAIRMAN



## APPROVAL OF COUNTY COMMISSIONERS

THE FOREGOING PLAT WAS DULY ACCEPTED AND APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF ADA COUNTY, IDAHO ON THIS 2 DAY OF Nov, 1992.

John E. Priester  
CHAIRMAN



## APPROVAL OF CENTRAL DISTRICT HEALTH DEPARTMENT

SANITARY RESTRICTIONS OF THIS PLAT ARE HEREBY REMOVED ACCORDING TO THE LETTER OF APPROVAL ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL.

Thomas E. Johnson 8/4/92  
CENTRAL DISTRICT HEALTH DEPARTMENT

## CERTIFICATE OF COUNTY TREASURER

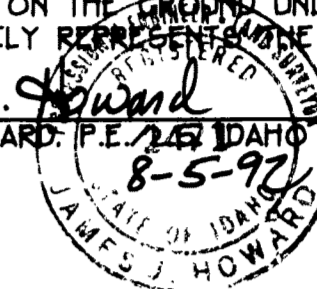
I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS OF I.C. 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAX FOR THE PROPERTY INCLUDED IN THIS SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

Deborah L. Sawyer by Dennis J. Probst 11-5-92  
COUNTY TREASURER Deputy Treasurer

## CERTIFICATE OF SURVEYOR

I, JAMES J. HOWARD, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND THAT THIS PLAT AS DESCRIBED IN THE 'CERTIFICATE OF OWNERS' WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED HEREON.

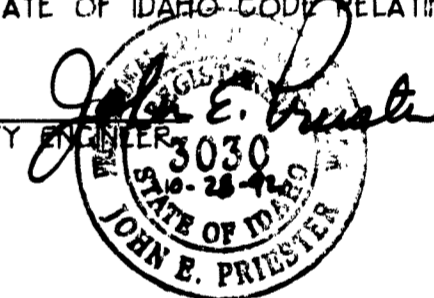
James J. Howard  
JAMES J. HOWARD, P.E. # 249 IDAHO NO. 2471



## CERTIFICATE OF COUNTY ENGINEER

I, JOHN E. PRIESTER, REGISTERED PROFESSIONAL ENGINEER/LAND SURVEYOR FOR ADA COUNTY, IDAHO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND FIND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

John E. Priester  
JOHN E. PRIESTER, COUNTY ENGINEER # 3030



## CERTIFICATE OF COUNTY RECORDER

INSTRUMENT NO. 9276627

STATE OF IDAHO)  
COUNTY OF ADA)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF J.J. HOWARD AT 17 MINUTES PAST 9 O'CLOCK A.M., THIS 6<sup>th</sup> DAY OF November, 1992.

D Jacobson David Navarro  
DEPUTY EX-OFFICIO RECORDER

File 1620





RECEIVED  
FEB 14 2022



City of Star  
P.O. Section 7, Item B.  
Star, Idaho  
P: 208-286-7247 F: 208-286-7569

BY: BN VACATION APPLICATION

Ryan Morgan  
3/23/22

\*\*\*All information must be filled out to be processed.

FILE NO.: VAC-22-01  
Date Application Received: 2-14-22 Fee Paid: 230.  
Processed by: City: \_\_\_\_\_

**Applicant Information:**

PRIMARY CONTACT IS: Applicant  Owner  Representative

Applicant Name: Same as Representative  
Applicant Address: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

Owner Name: Hayden Homes Idaho, LLC  
Owner Address: 2464 SW Glacier Pl, Suite 110, Redmond, OR Zip: 97756  
Phone: (208) 869-9758 Fax: \_\_\_\_\_ Email: tmokwa@hayden-homes.com

Representative (e.g., architect, engineer, developer):  
Contact: Alec Egurrola Firm Name: T-O Engineers  
Address: 332 N. Broadmore Way, Nampa, ID Zip: 83687  
Phone: (208) 442-6300 Fax: \_\_\_\_\_ Email: aegurrola@to-engineers.com

**Property Information:**

Site Location: SEC of N Wing Rd & Scenic View Ln  
Parcel Number(s): R4830410110, R4830410210, R4830410310  
Approved Zoning Designation: R-3

**Application Requirements:**

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with the Planning Department required prior to neighborhood meeting.	
N/A	Copy of neighborhood meeting notice sent to property owners within 300' and meeting sign-in sheet. (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Vacation Application	✓
✓	Fee	✓
✓	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (Affidavit of Legal Interest) from the owner stating the applicant is authorized to submit this application is required.	✓

✓	Narrative fully describing the proposed request including the following: <ul style="list-style-type: none"> <li>• Particular circumstances regarding the request to vacate</li> <li>• Names of the persons affected by the proposed vacation</li> </ul>	✓
✓	Relinquishment of easement letters from the applicable parties (e.g. public utilities: phone, power, gas, cable, applicable irrigation and/or drainage entity, etc.)	✓
✓	Legal description of platted area or property to be vacated (with engineers seal). <ul style="list-style-type: none"> <li>• Submit two (2) paper and one (1) electronic copy <b>see Karma Crest Estates Plat</b></li> </ul>	✓
✓	Copy of recorded deed.	
✓	One (1) 8 ½" X 11" vicinity map showing the location of subject property	✓
✓	Two (2) 11" X 17" copies of site plan or plat showing the proposed vacation	
N/A	Names and addresses, printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office.	
✓	Two (2) Electronic versions of the site plan or plat showing the easement proposed to be vacated and vicinity map in PDF format submitted on disks with the files named with project name and plan type. We encourage you to also submit at least one color version for presentation purposes.	
N/A	Signed Certification of Posting with pictures. (see attached posting requirements and certification form)	
N/A	Submit (1) 11" X 17" and (1) 18" X 24" <b>recorded</b> copy of Plat to the Star City Planning Department prior to any building permits being issued.	

**FEE REQUIREMENT:**

*\*\* I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*

Alec Equinola  
 Applicant/Representative Signature  
 T-O Engineers

02/10/2022  
 Date

**\*\*Note:** All presentation boards, material boards, and documentation that are a part of the public hearing shall become property of the City of Star.



February 10, 2022

City of Star Planning & Zoning  
P.O. Box 130  
Star, Idaho 83669

Re: Proposed Vacation Application - Assessor Parcel No.'s R4830410110, R4830410210 & R4830410310

City of Star Planning & Zoning Staff:

The referenced parcels are owned by Hayden Homes Idaho, LLC. The site is located at the remaining phases of the approved Trident Ridge Subdivision. These parcels are at the SE corner of N. Wing Rd & Scenic View Ln, within the E 1/2 of the SW 1/4 of Section 32, Township 5N, Range 1W, Boise Meridian.

The owner desires to obtain approval for a Vacation Application. The existing lots are in the soon to be platted Trident Ridge Subdivision. The future platting requires an easement vacation of the existing ten-foot-wide permanent public utilities easement located along lot lines common to N. Wing Road and Scenic View Ln. Also, the request is to vacate the 6-foot-wide permanent public utilities easement along the former common lot lines. These are remnants of the platted Karma Crest Estates, Notes 2 & 3.

The purpose of the easement vacation is due to the proposed Trident Ridge Subdivision. Trident Ridge Phases 1-5 have been platted and completed to the west of N. Wing Rd. The remaining phases to be platted east of N. Wing Rd are in the pre-approval phase of construction. To plat these future phases, the existing public utilities easements must be vacated from the formerly platted Karma Crest Estates. The platting of Trident Ridge subdivision will reinstate the public utilities easement common to prescriptive ROW and to current City of Star Municipal Code.

Letters of relinquishment of all pertinent public utilities have been provided. No known persons are to be affected by the proposed vacation.

Please find attached for your review and approval the required documents for a Vacation Application.

Sincerely,

T-O ENGINEERS, INC.  
Alec Egurrola  
Land Use Planner

**SCHEDULE I**

Lots 1, 2, 3, and 6 in Block 1 of Karma Crest Estates, according to the plat thereof, filed in Book 60 of Plats at Page(s) 6037 through 6039, records of Ada County, Idaho



## SCHEDULE II

1. Rights or claims of parties in possession not shown by the public records.
2. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Property.
3. Easements, or claims of easements, not shown by the public records.
4. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights or easements appurtenant to water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the public records.
6. Taxes or special assessments which are not shown as existing liens by the public records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
7. Special assessments, if any, for the City of Star.
8. Liens, levies and assessments of the Star Sewer and Water District.
9. Levies and assessments of the Farmers Union Ditch Co. Ltd. Irrigation District, and the rights, powers and easements of said district as by law provided.
10. Ditch, road and public utility easements as the same may exist over said premises.
11. Right-of-way for Farmers Union Canal and the rights of access thereto for maintenance of said canal.
12. Right-of-way for Hutton Ranchette Lateral and the rights of access thereto for maintenance of said lateral.
13. Right-of-way for HRM Lateral and the rights of access thereto for maintenance of said lateral.
14. Easements, reservations, notes and/or dedications as shown on the official plat of Karma Crest Estates.
15. Power Line Easement, recorded June 29, 1946 as Instrument No. 251751, Book 19 of Miscellaneous Page 539, records of Ada County.

16. Power Line Easement, recorded June 29, 1946 as Instrument No. 251752, Book 19 of Miscellaneous Page 540, records of Ada County.
17. Power Line Easement, recorded June 29, 1946 as Instrument No. 251753, Book 19 of Miscellaneous Page 541, records of Ada County.
18. Power Line Easement, recorded: February 23, 1971 as Instrument No. 763309, records of Ada County.
19. Power Line Easement, recorded August 9, 1989 as Instrument No. 8937584, records of Ada County.
20. Non-Exclusive Easement, recorded: June 12, 1991 as Instrument No. 9131177, records of Ada County.
21. Non-Exclusive Easement, recorded: October 22, 1992 as Instrument No. 9272343, records of Ada County.
22. Easement (with subordination), recorded September 13, 2012 as Instrument No. 112093600, records of Ada County.
23. Order of Inclusion and Annexation, recorded: May 2, 2018 as Instrument No. 2018-039396, records of Ada County.
24. Sewer Easement Agreement, recorded January 18, 2019 as Instrument No. 2019-004635, records of Ada County.
25. Crossing Agreement, recorded February 13, 2019 as Instrument No. 2019-011645, records of Ada County.
26. Crossing Agreement, recorded February 21, 2019 as Instrument No. 2019-013874, records of Ada County.
27. Temporary License Agreement, recorded July 8, 2019 as Instrument No. 2019-059517, records of Ada County.
28. Permanent Slope Easement Agreement, recorded July 9, 2019 as Instrument No. 2019-060331, records of Ada County.
29. Unrecorded leaseholds, if any, and the rights of vendors and holders of security interest in personal property of tenants to remove said personal property at the expiration of the term.
30. Lack of right of access to Lot 6.
31. Temporary License Agreement, recorded July 8, 2019 as Instrument No. 2019-059517, re-recorded on October 21, 2019 as Instrument No. 2009-102810, records of Ada County.

City of Star

P.O. Box 130  
Star, Idaho 83669  
208-286-7247  
Fax 208-286-7569

www.staridaho.org



Ma Section 7, Item B.  
Trevor A. Chadwick

Council:  
Kevin Nielsen  
Jennifer Salmonsén  
Kevan Wheelock  
David Hershey

12 April 2022

Alec Egurrola  
T-O Engineers  
332 N Broadmore Way  
Nampa, ID 83687

**Re: Karma Crest Estates Easement Vacation**

Dear Alec

The City of Star has reviewed the easement vacation request for the existing Karma Crest Estates subdivision in conjunction with the proposed improvements for future phase of Trident Ridge Estates. We reviewed this package to check conformance with the City Subdivision Ordinance and coordinated our review with Shawn L. Nickel.

We recommend the approval of the proposed application based on received comments for utility companies located within the region. Please note that there did not appear to be any correspondence for any irrigation districts or drainage districts, however there also does not appear to be any irrigation facilities located within the existing easements. Any relocation of irrigation or historic drainage facilities shall not impact upstream or downstream property owners without the written consent of said property owners.

If you have any questions, please do not hesitate to contact City Hall

Sincerely,

Ryan V. Morgan, P.E.  
City Engineer

**From:** Alec Egurrola  
**Sent:** Tuesday, December 14, 2021 8:20 AM  
**To:** Alec Egurrola  
**Subject:** FW: Trident Ridge Easement Vacations

---

**From:** Dan Morris <[dmorris@ctctele.com](mailto:dmorris@ctctele.com)>  
**Sent:** Tuesday, December 14, 2021 7:50 AM  
**To:** Alec Egurrola <[AEgurrola@to-engineers.com](mailto:AEgurrola@to-engineers.com)>  
**Subject:** RE: Trident Ridge Easement Vacations

To Whom it may concern,

CTC Telecom, Inc has no facilities in the vicinity of the of the Karma Crest Estates/Trident Ridge Subdivision and has no objection to the abandonment of the public utility easements as recorded on Ada County, Idaho instrument number 9276627.

Thank you,

**Dan Morris**

*Facilities Manager*

**CTC TELECOM, INC**

130 N Superior St Cambridge, ID 83610

208-257-8240 O [www.ctcweb.net](http://www.ctcweb.net)

208-566-1000 M



December 3, 2021

*Sent via email to [AEgurrola@to-engineers.com](mailto:AEgurrola@to-engineers.com)*

Alec Egurrola  
T-O Engineers  
332 N Broadmore Way  
Nampa, Idaho 83687

Re: Relinquishment of Public Utility Easement / Block 1, Lots 1, 2, & 3, of Karma Crest Estates Subdivision, Ada County, ID

Dear Alec,

This is in response to the relinquishment request submitted to Idaho Power Company and received in our office November 8, 2021, regarding the possible relinquishment of a public utility easement (PUE) located as noted above. The attached Exhibit A more specifically identifies the requested area for relinquishment.

Idaho Power's review of your request indicated that we do not have facilities located within the requested area. As such, Idaho Power agrees to relinquish our interest in the PUE that is located around and between Block 1, Lots 1, 2, & 3 of the Karma Crest Estates Subdivision, as shown in the attached exhibits for development of the Trident Ridge Subdivision No. 6-8.

Thank you once again for providing Idaho Power Company the opportunity to review and comment upon the subject petition for relinquishment.

Sincerely,

Laura Lacy  
Associate Real Estate Specialist  
Corporate Real Estate / Idaho Power Company  
208-388-5070  
[llacy@idahopower.com](mailto:llacy@idahopower.com)



November 10, 2021

To Whom It May Concern:

Intermountain Gas Company has no objections to vacating the easement set forth in the plat for Monarch Ridge Subdivision, a re-subdivision of Karma Crest Estates located in the Section 32, T.5N., R.1W., B.M., Ada County, Idaho.

See Parcels A, B and C Land Descriptions, Project No. 190534, dated December 2, 2019.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Rachel Anderson', with a long, wavy horizontal line extending to the right.

Rachel Anderson

Nampa District Manager

**From:** Alec Egurrola  
**Sent:** Monday, November 1, 2021 8:46 AM  
**To:** Alec Egurrola  
**Subject:** FW: Facility Location (N. Wing Rd & Scenic View Ln)

**From:** Klaudt, Gunnar <[Gunnar.Klaudt@lumen.com](mailto:Gunnar.Klaudt@lumen.com)>  
**Sent:** Friday, October 29, 2021 9:34 AM  
**To:** Alec Egurrola <[AEgurrola@to-engineers.com](mailto:AEgurrola@to-engineers.com)>  
**Subject:** RE: Facility Location (N. Wing Rd & Scenic View Ln)

Good Morning Alec,

My understanding is that as we (Lumen) does not have facilities in the actual project are (the green box of the previous attached) we would not have any easements in regards to that. I hope this helps  
Sincerely  
Gunnar

**From:** Alec Egurrola <[AEgurrola@to-engineers.com](mailto:AEgurrola@to-engineers.com)>  
**Sent:** Friday, October 29, 2021 9:16 AM  
**To:** Klaudt, Gunnar <[Gunnar.Klaudt@lumen.com](mailto:Gunnar.Klaudt@lumen.com)>  
**Subject:** RE: Facility Location (N. Wing Rd & Scenic View Ln)

Thank you, Gunnar.

We are attempting to relinquish an existing public utility easement on this site. After meeting with staff at City of Star, we are going to need letters from each public utility, including Lumen, that it is okay if we abandon this easement. Can you please direct me on this process for your company?

Thank you,

**ALEC EGURROLA** | *Land Use Planner*

 **T•O ENGINEERS**  
332 N. Broadmore Way | Nampa, Idaho 83687  
O 208-442-6300  
[www.to-engineers.com](http://www.to-engineers.com)  
  

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Re: Vacation of Easements—Karma Crest Estates--

Dear:

Cable One Inc dba Sparklight has reviewed the proposed utility easement vacation for Karma Crest Estates. Based on this review we have no objections to the proposed vacation of public utility easements in lots 1,2, and 3 per attached map.

Sincerely,

Signature: C. Goettsche

11 / 30 / 2021

Date: \_\_\_\_\_

# STAR SEWER & WATER DISTRICT

November 9, 2021

T-O Engineers  
324 N. Broadmore Way  
Nampa, ID 83687

RE: Karma Crest Estates – Relinquishment of Easement

To Whom It May Concern:

We, the undersigned public utility company, Star Sewer & Water District, release rights for the following in Karma Crest Estates (exhibit attached)


- 1. The 10-foot wide permanent public utilities easement on all lot lines common to N. Wing Road and W. Scenic View Lane
- 2. The 6-foot wide permanent public utilities easement on each side of the common lots

Please feel free to contact me if you have any questions or if you need any additional information.

Thank you,



Terra Estrada, Administrative Manager  
Star Sewer & Water District  
[testrada@starswd.com](mailto:testrada@starswd.com)  
208-286-7388



PO BOX 400 STAR, ID 83669	PHONE (208) 286-7388 FAX (208) 286-7361 WEB SITE <a href="http://www.starswd.com">http://www.starswd.com</a>
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## LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **April 19, 2022** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard. **COVID-19 UPDATE: Please see City Website [www.staridaho.org](http://www.staridaho.org) for Public Hearing instructions for Virtual Public Hearings if necessary.**

**Application:** Addington Subdivision  
Files #'s PP-22-02 Preliminary Plat  
PR-22-01 Private Street

**Applicant/Representative:** Tamara Thompson, The Land Group, 462 E. Shore Dr., Eagle, ID 83616

**Owner:** STC Development, LLC, 199 N. Capital Blvd, Suite 300, Boise, ID 83702

**Action:** The Applicant is seeking approval of a Preliminary Plat and Private Street for a proposed residential subdivision consisting of 34 residential lots and 1 common lot. The property is located on the east side of N. Highbrook Way in Star, Idaho, and consists of 5.58 acres with a proposed density of 6.09 dwelling units per acre.

**Property Location:** The subject property is generally approximately 780 feet north of the intersection of W. State Street and N. Highbrook Way. Ada County Parcel No. R8108003012.

**Information/Comments:** A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel  
Planning Director and Zoning Administrator  
[snickel@staridaho.org](mailto:snickel@staridaho.org)



# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star Planning Department *Shen J. Smith*

**MEETING DATE:** **April 19, 2022 – PUBLIC HEARING**

**FILE(S) #:** PP-22-02 Preliminary Plat for Addington Subdivision  
PR-22-01 Private Street

**OWNER/APPLICANT/REPRESENTATIVE**

<p><b>Applicant/Representative:</b>          Tamara Thompson          The Land Group, Inc.          462 E. Shore Drive          Eagle, Idaho 83616</p>	<p><b>Property Owner:</b>          STC Development, LLC          199 N. Capital Blvd., Ste. 300          Boise, Idaho 83702</p>
--	---

**REQUEST**

**Request:** The Applicant is seeking approval of a Preliminary Plat and Private Street for a proposed residential subdivision consisting of 34 residential lots and 1 common lot. The property is located on the east side of N. Highbrook Way in Star, Idaho, and consists of 5.58 acres with a proposed density of 6.09 dwelling units per acre.

**PROPERTY INFORMATION**

**Property Location:** The subject property is generally approximately 780 feet north of the intersection of W. State Street and N. Highbrook Way. Ada County Parcel No. R8108003014.

**Surrounding Land Use/Designations:**

	Zoning Designation	Comp Plan Designation	Land Use
<b>Existing</b>	Residential (R-7)	Compact Residential	Vacant
<b>Proposed</b>	Residential (R-7)	Compact Residential	Compact Residential

<b>North of site</b>	Residential (R-4) (R-7) / Rural Urban Transition (RUT)	Compact Residential	Single Family Residential
<b>South of site</b>	Commercial (C-2)	Central Business District	Albertsons/Agricultural
<b>East of site</b>	Residential (R-4)	Compact Residential	Single Family Residential
<b>West of site</b>	Residential (R-7)	Compact Residential	Endsley Court Subdivision

**Existing Site Characteristics:** The property is currently vacant ground.

**Irrigation/Drainage District(s):** Middleton Irrigation Association  
Middleton Mill Ditch Company  
P.O. Box 848  
Middleton, Idaho 83644

**Flood Zone:** This property is not currently located in a Flood Hazard Area.  
FEMA FIRM Panel Number: 16001C0130J & 16001C0125J  
Effective Date: 6/19/2020

**Special On-Site Features:**

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No evidence.
- ✪ Fish Habitat – No.
- ✪ Floodplain – No.
- ✪ Mature Trees – None.
- ✪ Riparian Vegetation – No.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – None.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- ✪ Wildlife Habitat – No known sensitive wildlife habitat observed.

**APPLICATION REQUIREMENTS**

Pre-Application Meeting Held	October 14, 2021
Neighborhood Meeting Held	December 16, 2021
Application Submitted & Fees Paid	January 26, 2022
Application Accepted	February 28, 2022
Residents within 300' Notified	February 28, 2022
Agencies Notified	February 28, 2022
Legal Notice Published	April 3, 2022
Property Posted	April 7, 2022

**HISTORY**

September 19, 2017 Council approved annexation and zoning (R-7) as part of the Sample Property Annexation, Ordinance 264.

**CODE DEFINITIONS / COMPREHENSIVE PLAN**

**UNIFIED DEVELOPMENT CODE:**

**8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

**8-3A-3: USES WITHIN ZONING DISTRICTS**

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	R
Dwelling:	
Multi-Family	C
Secondary	A
Single-Family Attached	P
Single-Family Detached	P
Two-Family Duplex	P
Live/Work Multi-Use	N

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-6 to R-11 attached housing	35'	15' to living area 20' to garage 10' if alley load	15' 4' if alley load	0' for common walls 5' at end of building	20'

Notes:

1. Interior side yard setbacks for lots with 50' or less of lot width shall be allowed 5' interior side yard setbacks for one and two-story structures.
2. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.

**8-4D-3: STANDARDS (PRIVATE STREETS):**

All private streets shall be designed and constructed to the following standards:

A. Design Standards:

1. Easement: The private street shall be constructed on a perpetual ingress/egress easement or a single platted lot (with access easement) that provides access to all applicable properties.
2. Connection Point: Where the point of connection of the private street is to a public street, the private street shall be approved by the transportation authority.
3. Emergency Vehicle: The private street shall provide sufficient maneuvering area for emergency vehicles as determined and approved by the Star Fire District.
4. Gates: Gates or other obstacles shall not be allowed, unless approved by Council through a Planned Unit Development or Development Agreement.

B. Construction Standards:

1. Obtain approval from the county street naming committee for a private street name(s);
2. Contact the transportation authority to install an approved street name sign that complies with the regulations of the county street naming ordinance;
3. Roadway and Storm Drainage: The private street shall be constructed in accord with the roadway and storm drainage standards of the transportation authority or as approved by the



city of Star based on plans submitted by a certified engineer.

4. Street Width: The private street shall be constructed within the easement and shall have a travel lane that meets ACHD width standards for the City of Star, or as determined by the Council and Star Fire District.

5. Sidewalks: A five foot (5') attached or detached sidewalk shall be provided on one side of the street in commercial districts. This requirement may be waived if the applicant can demonstrate that an alternative pedestrian path exists. Residential private streets may request a waiver of sidewalks to be approved by Council.

6. Fire Lanes: All drive aisles as determined by the Star Fire District to be fire lanes, shall be posted as fire lanes with no parking allowed. In addition, if a curb exists next to the drive aisle, it shall be painted red.

7. No building permit shall be issued for any structure using a private street for access to a public street until the private street has been approved.

C. The applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review. The condition of approval shall include the following:

1. Private Road Reserve Study Requirements.
  - a. At least once every three years, the board shall cause to be conducted a reasonably competent and diligent visual inspection of the private road components that the association is obligated to repair, replace, restore, or maintain as part of a study of the reserve account requirements of the common interest development, if the current replacement value of the major components is equal to or greater than one-half of the gross budget of the association, excluding the association's reserve account for that period. The board shall review this study, or cause it to be reviewed, annually and shall consider and implement necessary adjustments to the board's analysis of the reserve account requirements as a result of that review.
  - b. The study required by this section shall at a minimum include:
    - i. Identification of the private road components that the association is obligated to repair, replace, restore, or maintain.
    - ii. Identification of the probable remaining useful life of the components identified in paragraph (1) as of the date of the study.
    - iii. An estimate of the cost of repair, replacement, restoration, or maintenance of the components identified in paragraph (1).
    - iv. An estimate of the total annual contribution necessary to defray the cost to repair, replace, restore, or maintain the components identified

- in paragraph (1) during and at the end of their useful life, after subtracting total reserve funds as of the date of the study.
- v. A reserve funding plan that indicates how the association plans to fund the contribution identified in paragraph (4) to meet the association’s obligation for the repair and replacement of all private road components.
- c. A copy of all studies and updates shall be provided to the City, to be included in the development application record.

**8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):**

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

**8-4E-2: COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS - STANDARDS:**

- A. Open Space and Site Amenity Requirement (see also Chapter 8 “Architectural Review”):
  - 1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the gross land area of the development. Ten percent (10%) of that area shall be usable open space.
  - 2. Each development is required to have at least one site amenity.
  - 3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.
  - 4. Developments with a density of less than 1 dwelling units per acre may request a reduction in total required open space and amenities to the Council. Developments with a density of less than 2 dwelling units per acre may request a 50% reduction in total required open space to the Council.
  - 5. For multi-family developments, see Section 8-5-20 for additional standards.
- B. Qualified Open Space: The following may qualify to meet the common open space requirements:
  - 1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:
    - a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;
    - b. Qualified natural areas;

c. Ponds or water features where active fishing, paddle boarding or other activities are provided (50% qualifies towards total required open space, must be accessible by all residents to qualify.) ponds must be aerated;

d. A plaza.

2. Additions to a public park or other public open space area.

3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.

4. Parkways along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:

a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.

b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.

c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:

1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.

5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total.

C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:

1. Clubhouse;
2. Fitness facilities, indoors or outdoors;
3. Public art;
4. Picnic area; or
5. Recreation amenities:
  - a. Swimming pool.

- b. Children's play structures.
  - c. Sports courts.
  - d. Additional open space in excess of 5% usable space.
  - e. RV parking for the use of the residents within the development.
  - f. School and/or Fire station sites if accepted by the district.
  - g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
    - (1) The system is not required for sidewalks adjacent to public right of way;
    - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
    - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

**COMPREHENSIVE PLAN:**

8.2.3 Land Use Map Designations:

Compact Residential

Suitable primarily for residential use allowing a mix of housing types such as single family, two family, and multi-family. Densities range from 5.01 units per acre to 10 units per acre.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

### 8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

- A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.
- B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivide in the future.

### 8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

## PROJECT OVERVIEW

### PRELIMINARY PLAT & PRIVATE STREET:

The Preliminary Plat submitted contains 34 single family residential lots and 1 common area lots on 5.58 acres with a proposed density of 6.09 dwelling units per acre. The lots will have access and frontage from a proposed private street. Lots will range in size from 2,716 square feet to 5,408 square feet with the average buildable lot being 3,603 square feet. Lots will include zero-lot-lines to accommodate the proposed attached dwelling units. **The submitted preliminary plat is showing a private road with four different width dimensions. None of these widths currently meet the City of Star requirement of 36 feet from back of curb to back of curb of travel lane.** The applicant is requesting a waiver of these standards. Primary access for the development will be on Addington Lane from N. Highbrook Way. Applicant is providing an emergency access in approximately the middle of the development to the south connecting to the entrance street to Albertsons. Applicant is also proposing an emergency access at Center Street with bollards to prevent direct access. The preliminary plat indicates a small, T-type turn-around at the end of street. **Staff and the Star Fire District are concerned with the functionality of this proposed "turn-around" and recommends a revision to the preliminary plat to accommodate residents, delivery drivers, trash collection and emergency services. This can be accomplished with either an approved cul-de-sac turn around, or direct connection to Center Street. This connection would require a revision to the plat to include a public street rather than the proposed private street.**

**Staff will require one of these options as a condition of approval.** Sidewalks are proposed to be attached with a 5-foot, concrete sidewalk. Street names must be obtained by the Ada County Street Naming Committee prior to signature of the final plat. The applicant is proposing 1.18 acres (21.15%) of common open space which satisfies the Unified Development Code requirement of 15 percent. **It appears that the applicant is only proposing 12,095 square feet of usable open space which is less than 24,306 square feet (10%) required by the Unified Development Code. The applicant shall demonstrate that the required open space is provided within the development.**

The Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of 1 site amenity. The applicant is proposing a shade structure in a pocket park with a walking path.

#### **ADDITIONAL DEVELOPMENT FEATURES:**

- Sidewalks  
Internal sidewalks are proposed at five-foot (5') widths and will be both attached and detached throughout the development.
- Lighting  
Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a proposed streetlight plan. All proposed light locations satisfy City code. **Applicant has provided a streetlight plan. The applicant will need to provide a design/cut sheet for City approval. Applicant will be required to work with Staff and submit an updated cut sheet and design before signature of the final plat. Staff also suggests a streetlight be placed at the intersection of the emergency access.**
- Street Names  
**Applicant has not provided documentation from Ada County that the street name is acceptable and has been approved. This will be required at final plat.**
- Subdivision Name  
Applicant has provided a letter from Ada County that the subdivision name has been approved and reserved for this development.
- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements for the open areas. The plan does not show the appropriate number**



**of required street trees. These will need to be added once driveways are designed to meet the requirement and receive occupancy permits.**

- Setbacks – The applicant is not requesting any setback waivers and will follow the approved setbacks for the R-7 zone.
- Mailbox Cluster – Applicant has provided documentation from the Star Postmaster depicting the approved location for the mailbox cluster within the development as a single location.
- Phasing – The applicant has not provided a phasing plan for the development. It is assumed that the subdivision will be built in a single phase.
- Storm Water - Will be retained on site and utilize Drain 9 and two pervious paver sections in the private road.

**AGENCY & DEPARTMENT RESPONSES**

Star City Engineer	April 12, 2022
ITD	No Response
Star Fire District	Pending
DEQ	March 11, 2022
ACHD	Pending
Intermountain Gas Company	April 1, 2022
Central District Health	March 10, 2022

**PUBLIC RESPONSES**

No public comments have been received.

**STAFF RECOMMENDATION**

**Staff recommends as a condition of approval, a revision to the preliminary plat to address the turn-around issue discussed in this report. Staff also recommends as a condition of approval, a revised landscape plan, or testimony from the applicant that demonstrates that the usable open space requirements of 10% will be met. Staff recommends that the Council review the request for waiver of the 36’ street width for the entire proposed private road prior to approval.**

Based upon the information provided to staff in the applications and agency comments received to date, the proposed Preliminary Plat and Private Road, **as conditioned**, will meet the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code. The proposed density of 6.09 dwelling unit per acre is within

the range of 6-11 dwelling units per acre allowed in the Compact Residential Comprehensive Plan Future Land Use Map. Staff is supportive of proposed housing sizes and density that the (R-7) zoning designation will provide.

The Council should consider recommendations from Staff, together with the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

## FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

### PRELIMINARY PLAT FINDINGS:

1. The plat is in compliance with the Comprehensive Plan.  
*The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:*
  1. *Designing development projects that minimize impacts on existing adjacent properties, and*
  2. *Managing urban sprawl to protect outlying rural areas.*
2. Public Services are available or can be made available and are adequate to accommodate the proposed development.  
*The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.*
3. There is public financial capability of supporting services for the proposed development;  
*The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.*
4. The development will not be detrimental to the public health, safety or general welfare;  
*The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.*
5. The development preserves significant natural, scenic or historic features;

*The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.*

**PRIVATE STREET FINDINGS:**

A. The design of the private street meets the requirements of this article;

*The City must find that the proposed private streets meets the design standards in the Code.*

B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity:

*The City must find that it has not been presented with any facts stating this private road will cause damage, hazard or nuisance, or other detriment to persons, property or uses in the vicinity.*

C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

*The City must find that the use is not in conflict with the comprehensive plan and/or regional transportation plan.*

*Upon granting approval or denial of the application, the Council shall specify:*

- 1. The Ordinance and standards used in evaluating the application;
- 2. The reasons for recommending approval or denial; and
- 3. The actions, if any, that the applicant could take to obtain approval.

*Upon granting approval or denial of the application, the Council shall specify:*

- 1. The Ordinance and standards used in evaluating the application;
- 2. The reasons for recommending approval or denial; and
- 3. The actions, if any, that the applicant could take to obtain approval.

**CONDITIONS OF APPROVAL**

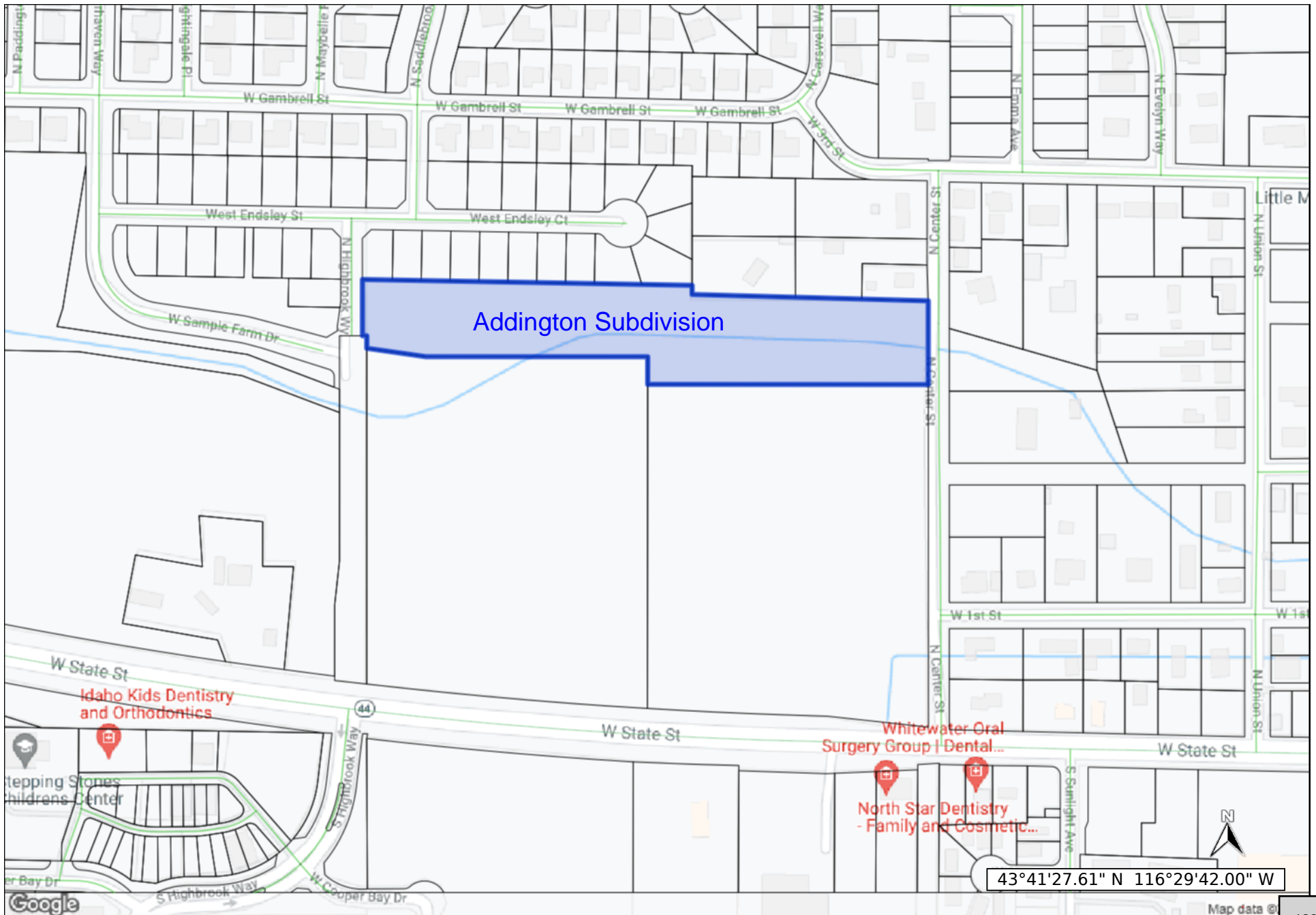
- 1. The approved Preliminary Plat for the Addington Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 2. **The applicant shall enter into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. ITD has calculated the fees to be \$TBD. These fees will be collected by the City of Star, by phase, prior to final plat signature. The development agreement shall be signed and recorded as part of the ordinance for annexation and zoning and shall contain the details of the fees to be collected.**

3. **Applicant shall provide a revised preliminary plat showing the private road meeting the City of Star requirements of 50 feet of easement with 36 feet, from back of curb to back of curb of travel lane, unless a waiver is approved by Council.**
4. **Applicant shall provide a revised Preliminary Plat and Landscape Plan that indicating that ten (10%) percent usable open space as required by the Unified Development Code.**
5. **Applicant shall provide a revised preliminary plat that shows either a cul-de-sac at Addington and Center Street or make Addington Lane a public road and connect to Center Street.**
6. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a streetlight design that meets city standards prior to Final Plat approval. Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative. Staff also suggests a streetlight be places as the emergency access.**
7. The property with the approved Preliminary Plat shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
8. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.
9. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
10. **Street trees shall be installed per Chapter 8, Section 8-8C-2-M(2) Street Trees. Applicant shall provide locations for the local street trees at the time of final plat. If driveway locations will not be determined until sale of the lot, Applicant agrees to not receive the Certificate of Occupancy until street trees are confirmed in place.**
11. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
12. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
13. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
14. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
15. **Prior to signing the final plat, Applicant shall provide approval from Ada County for all street names and they should be accurately reflected on the plat.**

- 16. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
- 17. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 18. All common areas shall be owned and maintained by the Homeowners Association.
- 19. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 20. A sign application is required for any subdivision signs.
- 21. Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic telecommunication cables.**
- 22. Any additional Condition of Approval as required by Staff and City Council.**

**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File Number PP-22-02 and PR-22-01 for Addington Subdivision on \_\_\_\_\_, 2022.





## PRELIMINARY PLAT APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: \_\_\_\_\_  
 Date Application Received: \_\_\_\_\_ Fee Paid: \_\_\_\_\_  
 Processed by: City: \_\_\_\_\_

### Applicant Information:

**PRIMARY CONTACT IS: Applicant \_\_\_ Owner \_\_\_ Representative \_\_\_**

Applicant Name: The Land Group, Inc. - Tamara Thompson  
 Applicant Address: 462 E. Shore Dr., Eagle, ID Zip: 83616  
 Phone: 208.939.4041 Email: tamara@thelandgroupinc.com

Owner Name: STC Development, LLC. - P. Eric Davis  
 Owner Address: 199 N. Capital Blvd., Suite 300, Boise, ID Zip: 83702  
 Phone: 208.331.0110 Email: davis@retailwest.com

Representative (e.g., architect, engineer, developer):  
 Contact: Tamara Thompson Firm Name: The Land Group, Inc.  
 Address: 462 E. Shore Dr., Eagle, ID Zip: 83616  
 Phone: 208.939.4041 Email: tamara@thelandgroupinc.com

### Property Information:

Subdivision Name: Addington Subdivision  
 Site Location: Approximately 1,000 feet north of State Street between Highbrook Way and Center Street.  
 Approved Zoning Designation of Site: R-7  
 Parcel Number(s): A portion of R8108003012

### Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	R-7	Compact Res/Central Business	Agricultural
Proposed	R-7		Residential
North of site	R-7, RUT (county), R-4	Compact Residential	Residential
South of site	C-2	Central Business District	Agricultural
East of site	R-4	Compact Residential	Residential
West of site	R-7	Compact Res/Central Business	Residential



**SITE DATA:**

Total Acreage of Site - 5.58 acres  
 Breakdown of Acreage of Land in Contiguous Ownership - 5.58 acres - STC Development, LLC.  
 Total Acreage of Site in Special Flood Hazard Area - \_\_\_\_\_  
 Dwelling Units per Gross Acre - 6 per acre  
 Minimum Lot Size - 2,716 sf  
 Minimum Lot Width - 27'

Total Number of Lots - 35  
 Residential - 34  
 Commercial - 0  
 Industrial - 0  
 Common - 1

Total Number of Units - 34  
 Single-family - 34  
 Duplex - 0  
 Multi-family - 0

Percent of Site and Total Acreage of Common Area - 49.10 % / 2.74 acres  
 Percent of Common Space to be used for drainage - 0.02 acres (933 SF)  
 Describe Common Space Areas (amenities, landscaping, structures, etc.) - there are three grass accent areas included totaling 3,753 square feet, a shade structure with table, pedestrian connections to Highbrook and Center street as well as to future development to the north and the Albertsons Center to the south.  
 Proposed Dedicated Lots & Acreage (school, parks, etc): None.

Public Streets - None Private Streets - Addington Lane (submitted)  
 Describe Pedestrian Walkways (location, width, material) - 5' sidewalks along both sides of the Private Street and additional 5' sidewalks to the shade structure and open gravel pathways at the rear of units  
 Describe Bike Paths (location, width, material) - there are no dedicated bike paths, but ample width provided in street to provide a share type (street shared with vehicles) for bike use.

**FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance):**

Total Acreage of Site in Special Flood Hazard Area - 0 - Site in Zone X

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: #16001C0125J & #16001C0130J  
 FIRM effective date(s): mm/dd/year 06/19/2020  
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone X  
 Base Flood Elevation(s): AE     .0 ft., etc.: \_\_\_\_\_
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

- d. Please see link for help with FEMA information <https://msc.fema.gov/portal/search>.
- e. All maps will delineate flood plain lines.

**PUBLIC SERVICES** (Describe what services are available and agency providing service):

Potable Water - Star Sewer & Water District  
 Irrigation Water- Middleton Irrigation Association (Flake Lateral)  
 Sanitary Sewer- Star Sewer & Water District  
 Fire Protection - Star Joint Fire Protection District  
 Schools - West Ada School District  
 Roads - ACHD

**SPECIAL ON-SITE FEATURES** (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern - None                      Floodplain - None  
 Evidence of Erosion - None    Fish Habitat - None  
 Historical Assets - None    Mature Trees - None  
 Riparian Vegetation - None    Steep Slopes - None  
 Stream/Creek - None    Unstable Soils - None  
 Unique Animal Life - None    Unique Plant Life - None

**Application Requirements:**

*(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Annexation, CUP, etc.) please include one paper copy for all applications**)*

Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
✓	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Preliminary Plat Application	
✓	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
✓	Narrative explaining the project. (must be signed by applicant)	
✓	Legal description of the property (word.doc and pdf version with engineer's seal)	
✓	Recorded warranty deed for the subject property	
✓	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
✓	Approval of the proposed subdivision name from Ada County Surveyor's office.	
✓	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	
✓	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	
✓	Electronic copy in pdf. format of Preliminary Plat	
✓	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	
✓	Electronic copy in pdf. format of landscape plan	
✓	Electronic copy in pdf. format of preliminary site grading & drainage plans	
N/A	Phasing plan shall be included in the application if the project is to be phased.	

✓	Letter of authorization from the local Post Office approving mailbox delivery to subdivision including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	
✓	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the proposed development. (shown on sheet C1.00)	
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
	Site report of the highest seasonal groundwater elevation prepared by a registered soils scientist. (If requested by City Engineer)	
N/A	Special Flood Information – Must be included on Preliminary Plat and Application form.	
✓	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight <b>design</b> and <b>location</b> information. Streetlights shall meet all City "Dark Sky" requirements.	
✓	Written confirmation that a traffic impact study is not required and/or has been submitted for review to Ada County Highway District/Canyon Highway District No. 4/Idaho Transportation Department (if applicable).	
✓	One (1) copy of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation district information, streetlight design & location, confirmation of a traffic impact study <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit a colored version of the preliminary plat and/or landscape plan for presentation purposes prior to City Council.</u>	
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
✓	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval. Please contact SSWD for details.	

**FEE REQUIREMENT:**

**\*\* I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

\_\_\_\_\_  
Applicant/Representative Signature

\_\_\_\_\_  
Date



THE LAND GROUP, INC.

January 26, 2022

Shawn Nickel  
Planning Director and Zoning Administrator  
City of Star – Planning and Zoning Department  
10769 W. State Street  
Star, ID 83669

RE: Preliminary Plat Applications – Addington Townhomes Residential Subdivision

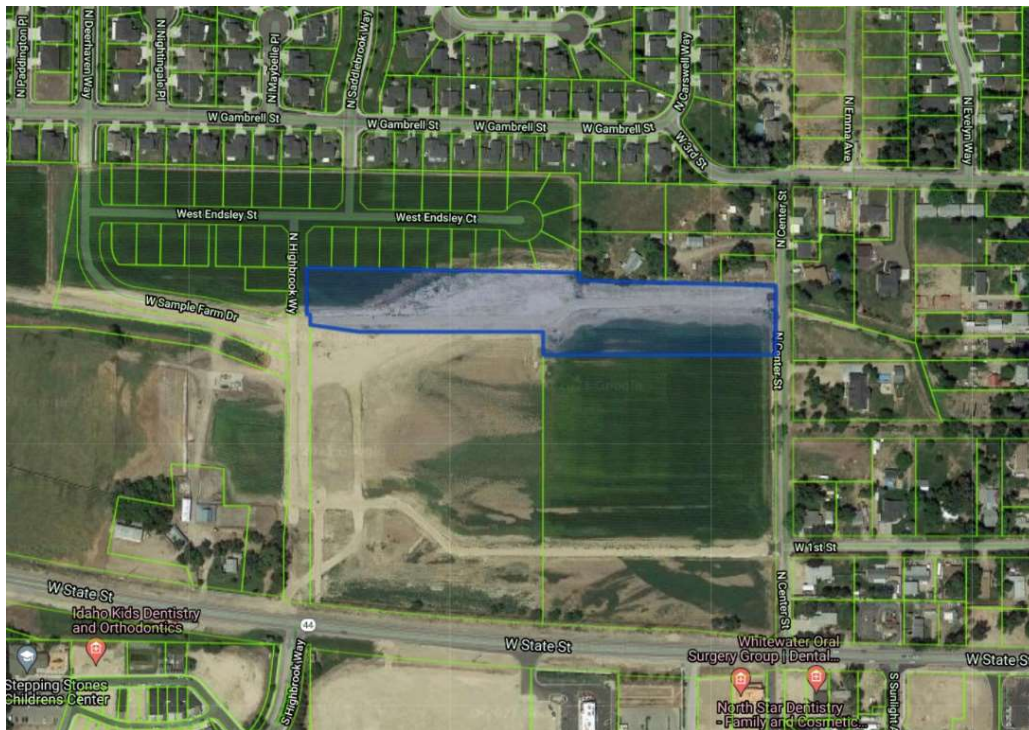
Dear Mr. Nickel:

Attached to this letter is the preliminary plat application for the Addington Townhomes Residential Subdivision. This application includes of parcel R8108003014 (5.58 acres total area).

The 5.58-acre site (blue area below) is generally located on the southeast corner of N. Deerhaven Way and the new W. Sample Farm Drive. The property is currently zoned R-7 in the City of Star. No structures exist on the property, and it is currently utilized vacant land.

The site is bound on the south by the Albertsons development and future commercial; existing residential to the north, including the newly developed Endsley Court Residential Subdivision; and public right of ways to the east and west.

Preliminary Plat Area:



The preliminary plat, which is consistent with the concept plat submitted to the City with the annexation and rezone applications, includes 34 single family lots, one common lot, and one lot of approximately 1.57 acres for a perpetual easement for the Private Street (Addington Lane). This subdivision is proposed as a single-family development with a density of 6.09 units per acre. The Preliminary plat is designed for 10 buildings to be divided into three lots and two buildings divided into two lots for private sale. Access to the subdivision is from N. Highbrook Way.

The location of the Private Street is mostly located within the Drain 9 and Flake lateral easements which precludes the street from being a public street. Discussions have been made with ACHD and they are in agreement for the Private Street. The connection to Center Street will be for emergency vehicles only.

Utilities are available to support the project, and preliminary utility design is included with this submittal. For irrigation of the common areas and lots we propose to utilize surface water right shares supplemented by a well to supply the needed water for the system. The layout is shown on the attached drawings; the existing pump system is a private system owned and maintained by the Homeowners Association and Addington will be added (previously designed and built for this area) in conjunction with the previous Endsley Court development. The Homeowners Association of this development will be responsible for all exterior maintenance including the landscape and irrigation.

A traffic impact study (TIS) was previously conducted and submitted to ACHD and ITD. Comments from ACHD and ITD have been incorporated into the design of the Private Street. The Private Street, which will be completed with this project, will include the connection to N. Highbrook Way extending 1365 feet east to Center Street with a barricaded access for emergency vehicle only access at Center Street and the Albertsons and future commercial development to the south.

Storm water will be retained on site utilizing two connections to the Drain 9 piped system (at predevelopment historical rates) and two pervious paver sections in the Private Street for the balance of the stormwater. Layout and preliminary calculations are included with this application.

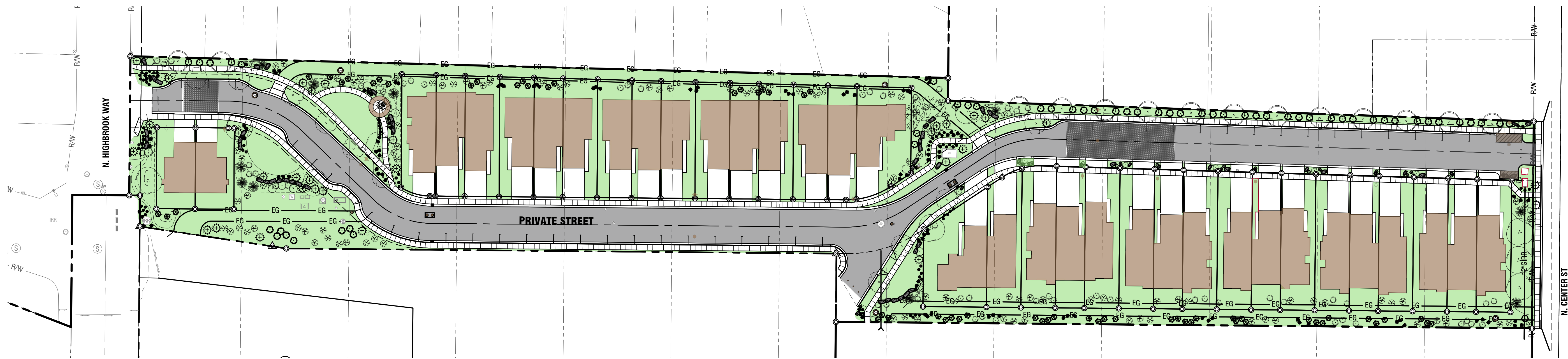
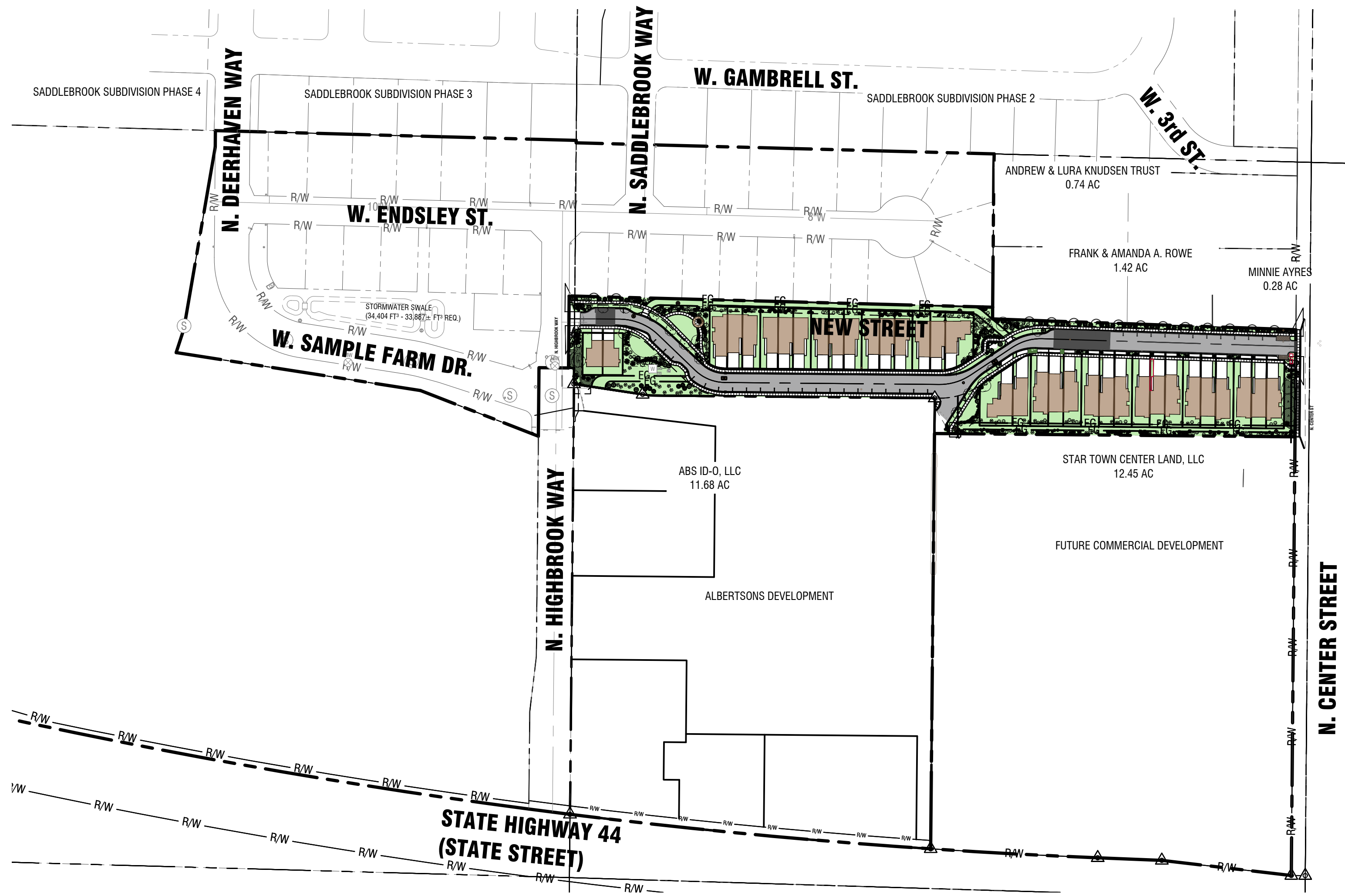
Thank you in advance for your consideration and support. We look forward to working with the City to plan a quality project of which we can all be proud.

Sincerely,



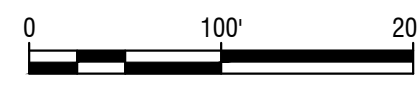
Tamara Thompson  
Director of Client Services





# Concept Plan

HORIZONTAL SCALE: 1" = 150' (AT 22" X 34")  
Dec 16, 2021



# Addington Townhomes

## Conceptual Site Plan

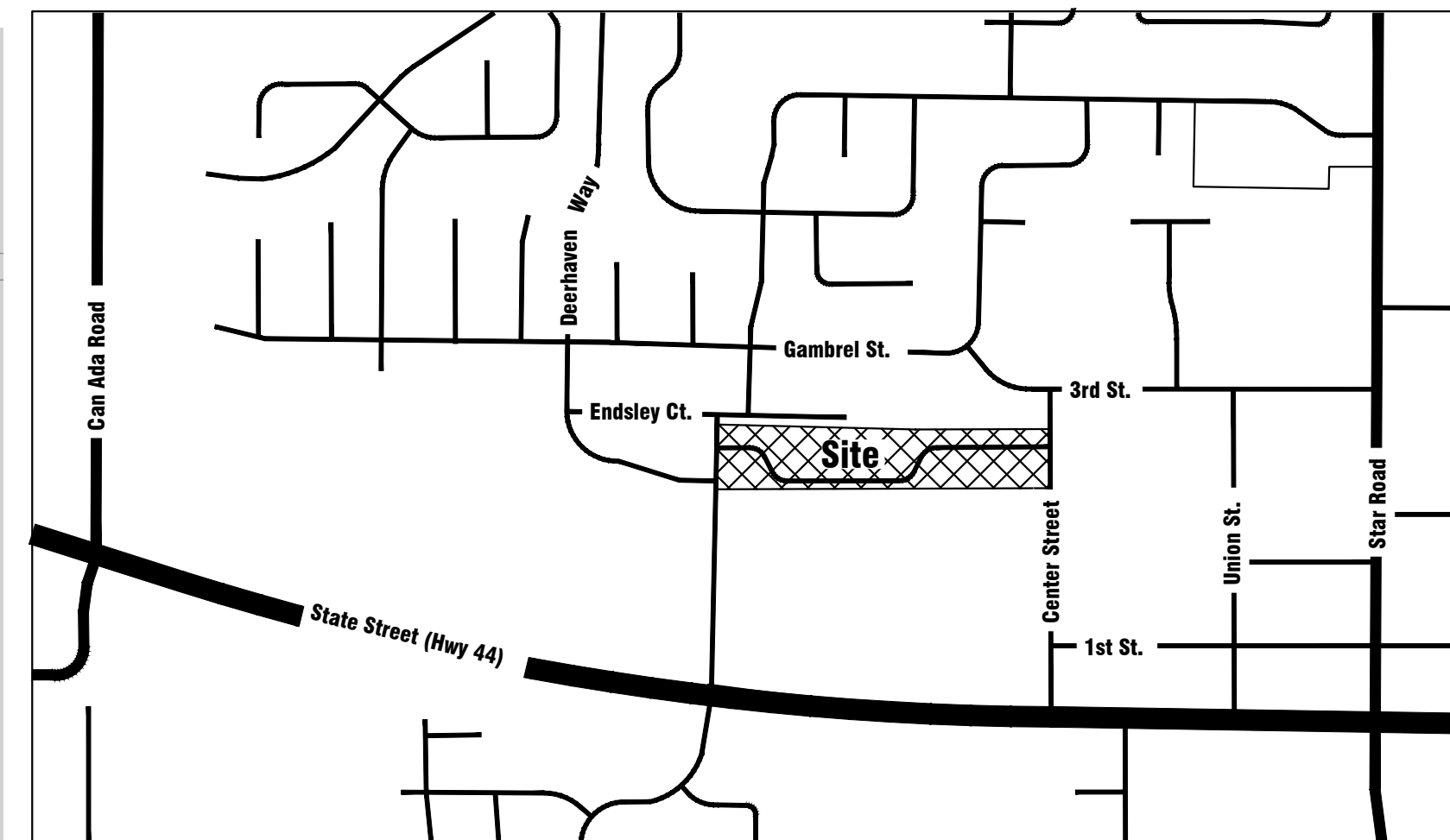
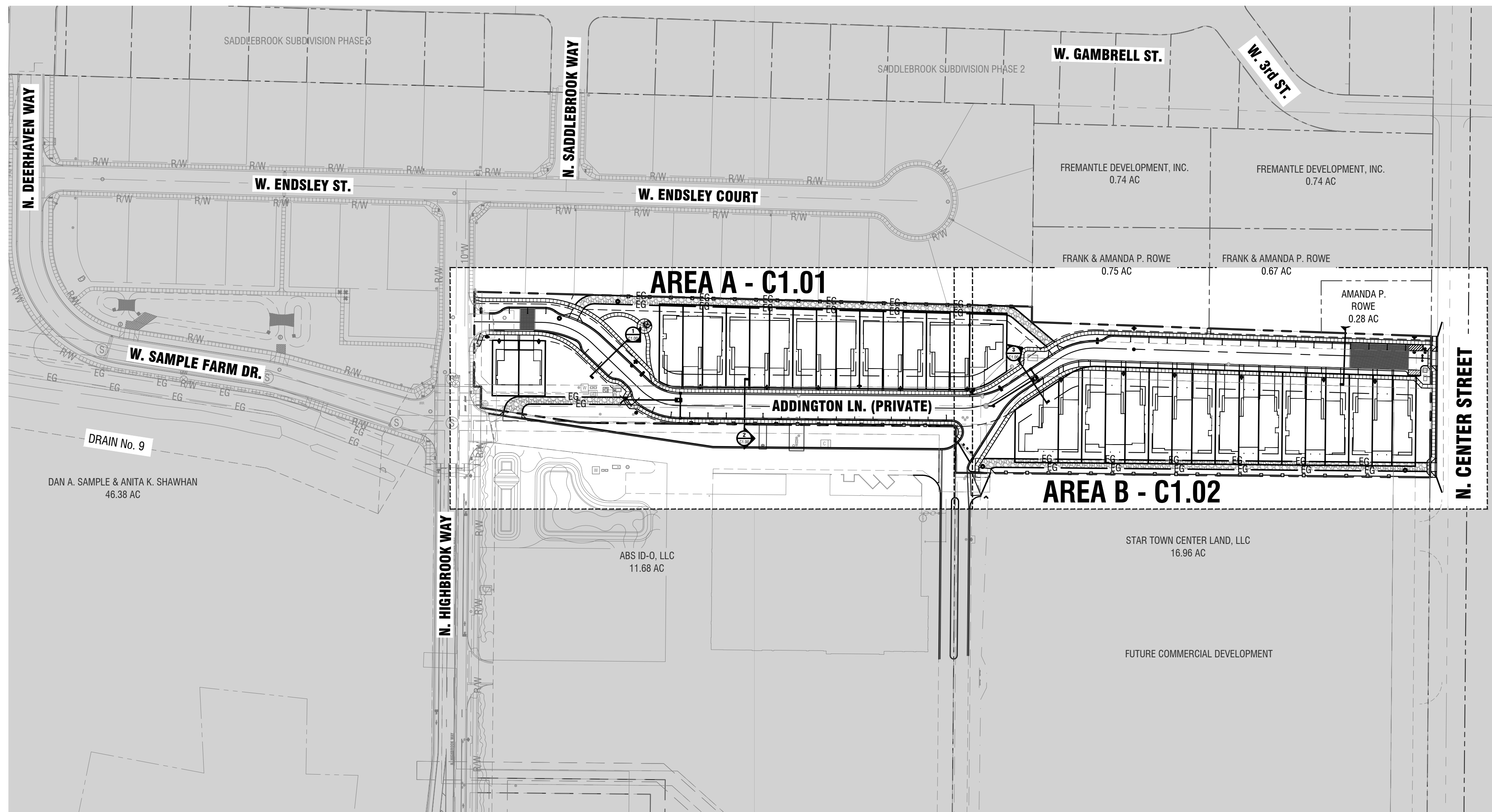
Star, Idaho



462 East Shore Drive, Suite 100  
 Eagle, Idaho 83616  
 Ph. 208.939.4041 Fax 208.939.4445  
 www.thelandgroupinc.com

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**Vicinity Map**  
NOT TO SCALE

**Owner / Developer:**

STC DEVELOPMENT, LLC  
ERIC DAVIS  
199 N. CAPITOL BLVD., SUITE 300  
BOISE, ID. 83702  
PH: 208.331.0110

**Project Engineer / Surveyor / Landscape:**

THE LAND GROUP, INC.  
ENGINEER: JASON DENSMER, P.E.  
SURVEYOR: MIKE FEMENIA, P.L.S.  
LANDSCAPE ARCHITECT: DOUG RUSSELL, L.A.  
462 E. SHORE DR., SUITE 100  
EAGLE, ID 83616  
PH: 208.939.4041

**Irrigation & Drainage Company Contacts:**

DRAINAGE DISTRICT #2 ALLEN FUNKHAUSER 455 SOUTH 3RD STREET BOISE, IDAHO 83702 PH: 208.571.3804	MIDDLETON IRRIGATION ASSOCIATION, INC. MIDDLETON MILL DITCH CO. P.O. BOX 848 MIDDLETON, ID 83644 PH: 208.585.3207
--	---

**Star Sewer & Water District Contact:**

HANK DAY  
11184 W. STATE STREET  
STAR, ID 83669  
PH: 208.631.8588

**Planning Notes:**

CURRENT ZONING:	R-7
PROPOSED ZONING:	R-7
DIMENSIONAL STANDARDS:	
R-7:	
MINIMUM STREET FRONTAGE:	35-FT
FRONT SETBACK:	15-FT TO LIVING AREA, 20-FT TO GARAGE
REAR SETBACK:	15-FT
INTERIOR SIDE SETBACK:	0-FT FOR COMMON WALLS, 5-FT AT END OF BUILDING
STREET SIDE SETBACK:	20-FT (LOCAL)
MAXIMUM BUILDING HEIGHT:	35-FT

**Area Calculations:**

TOTAL SINGLE FAMILY AREA -	5.58 AC
COMMON OPEN SPACE AREA -	1.18 AC (21.15%)
TOTAL RES. LOT AREA -	2.84 AC
PERMANENT ROADWAY EASEMENT DEDICATION -	1.57 AC

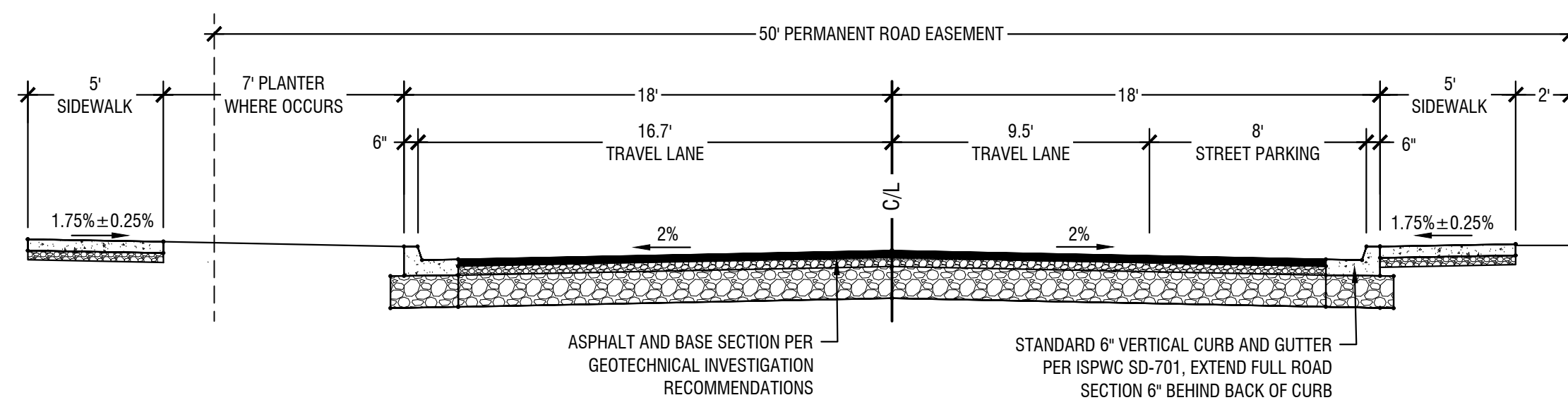
**Density Calculations:**

TOTAL RESIDENTIAL ZONE AREA -	5.58 AC
MAX ALLOWED DENSITY - 7 UNITS/ACRE =	39 UNITS MAX.
TOTAL SINGLE FAMILY AREA (THIS PLAT) -	5.58 AC
34 RESIDENTIAL UNITS SHOWN =	6.09 UNITS/ACRE

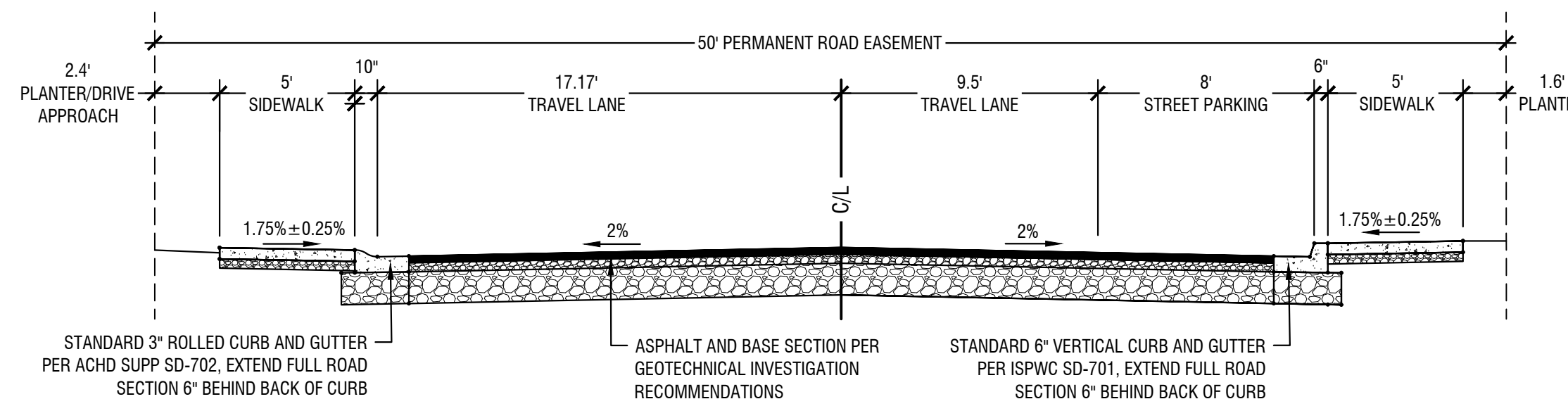
**Sheet Index:**

C1.00	OVERALL SITE PLAN
C1.01	RESIDENTIAL SITE PLAN - AREA 1
C1.02	RESIDENTIAL SITE PLAN - AREA 2
C2.00	OVERALL GRADING & DRAINAGE
C2.01	AREA A - GRADING & DRAINAGE
C2.02	AREA B - GRADING & DRAINAGE
C3.00	UTILITY PLAN
L1.00	LANDSCAPE PLAN
L1.01	AREA A - LANDSCAPE PLAN
L1.02	AREA B - LANDSCAPE PLAN
L1.50	LANDSCAPE DETAILS

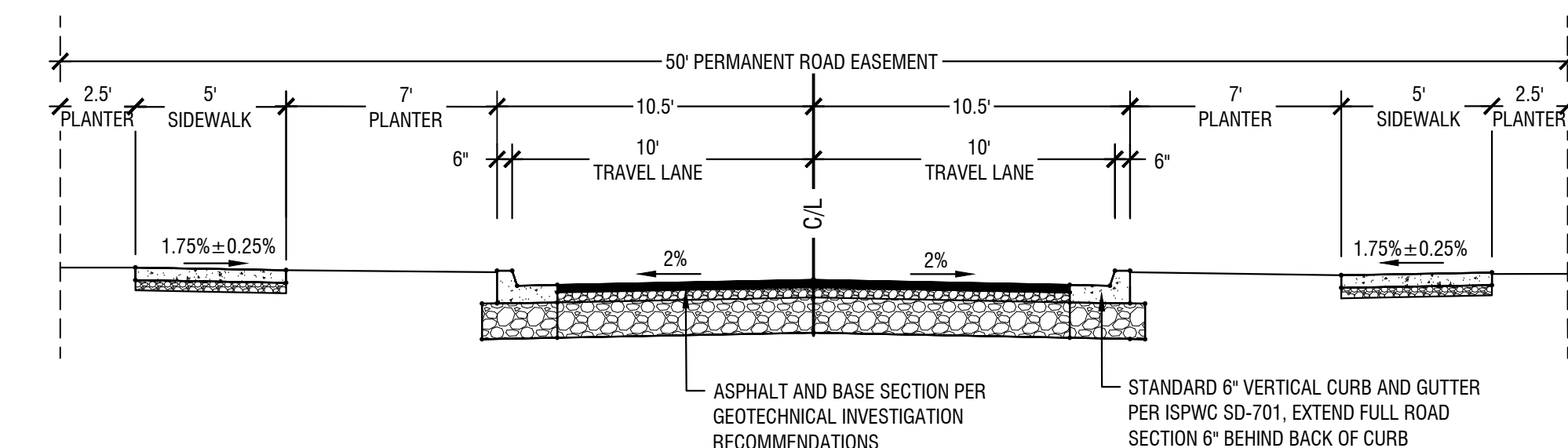
**Overall Site Plan**  
Horizontal Scale: 1" = 100'



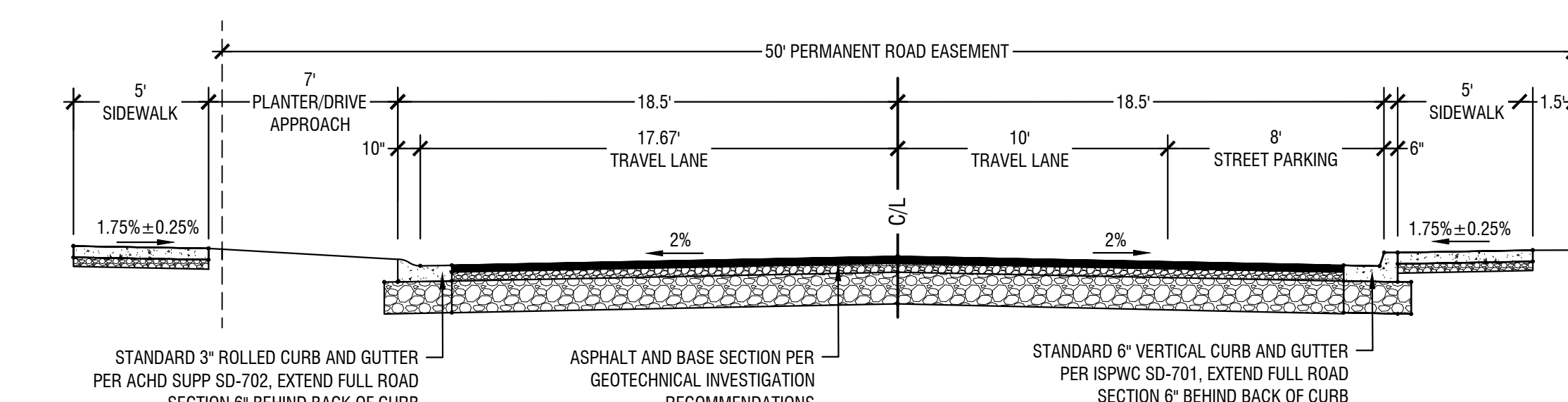
**1 Private Road**  
Scale: 1" = 5'



**2 Private Road**  
Scale: 1" = 5'



**3 Private Road**  
Scale: 1" = 5'



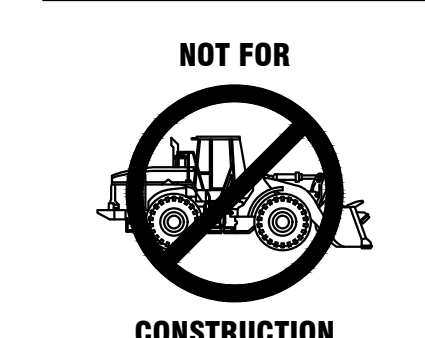
**4 Private Road**  
Scale: 1" = 5'

**ADDINGTON TOWNHOMES SUBDIVISION  
STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho

Revisions

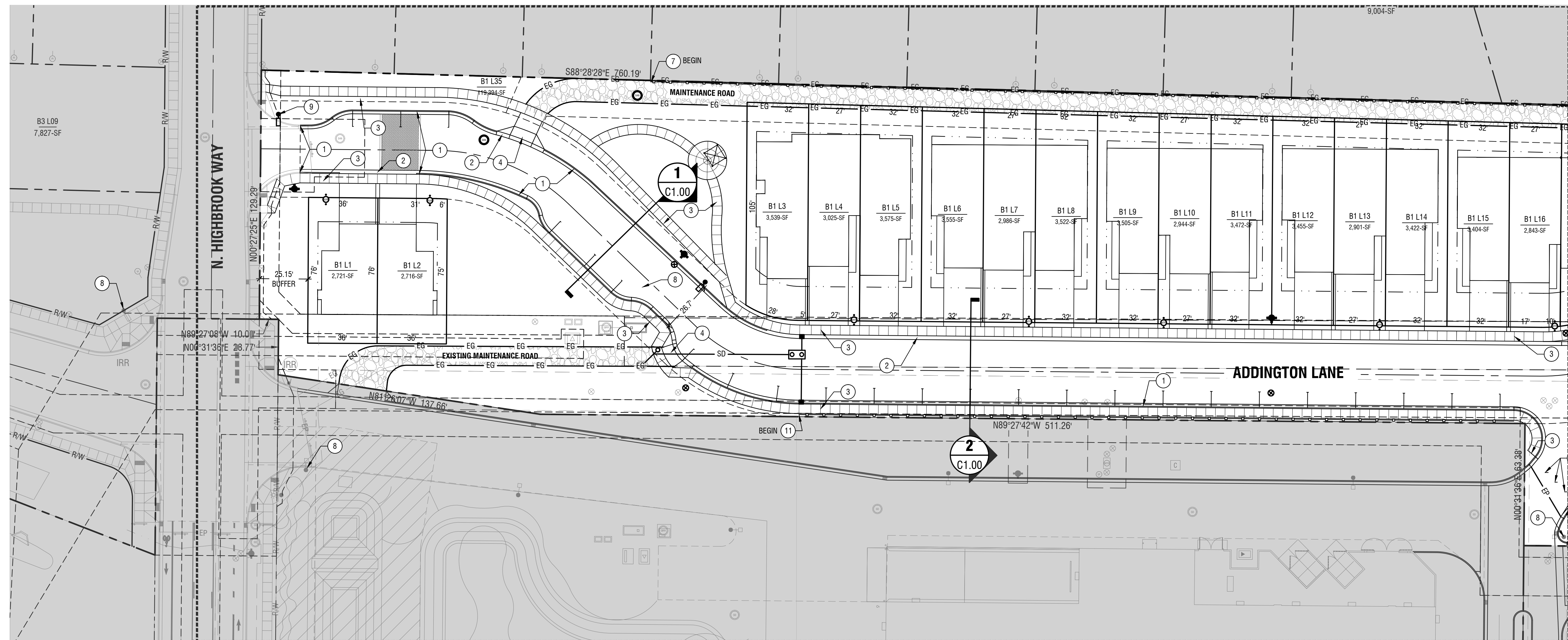
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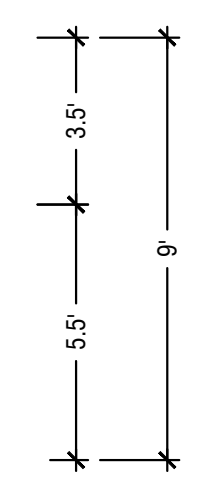
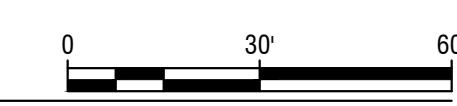
Project No.: 121064  
Date of Issuance: 12.13.2021  
Project Milestone: Preliminary Plat

**Civil PP Plan  
Overall Site Plan**





**Civil PP Plan-Site Plan - Area 1**  
Horizontal Scale: 1" = 30'



**1 Screen Fence Detail**  
Scale: NTS

**Sheet Notes:**

- SEE L-SERIES SHEETS FOR LANDSCAPE PLANS.
- A 20' WIDE EASEMENT SHALL BE GRANTED TO STAR SEWER & WATER DISTRICT FOR ALL MAINS OUTSIDE THE PUBLIC RIGHTS OF WAY.

**Line Legend:**

	BOUNDARY LINE
	ROADWAY CENTERLINE
	PARCEL LINE/ RIGHT-OF-WAY LINE
	B1 L01 BLOCK & PARCEL NUMBER
	ATTACHED SIDEWALK WITH 6" VERTICAL CURB & GUTTER
	ATTACHED SIDEWALK WITH 3" ROLLED CURB & GUTTER

**Material Legend:**

	DECORATIVE GRAVEL FINISH SURFACE.
--	-----------------------------------

**Keynotes:**

- NEW 6" VERTICAL CURB & GUTTER PER ISPCW SD-701.
- NEW 3" ROLLED CURB & GUTTER PER ISPCW SD-703.
- NEW 5" SIDEWALK PER ISPCW SD-709.
- NEW DRIVEWAY APPROACH PER ISPCW SD-710.
- NEW DRIVEWAY APPROACH PER ACHD SUPPLEMENT TO THE ISPCW SD-710C.
- NEW REMOVABLE BOLLARDS FOR EMERGENCY ACCESS.
- NEW SCREEN EXTENSION FENCE ON PROJECT SIDE OF EXISTING FENCE. SEE DETAIL 1 SHEET C1.01.
- EXISTING STREET LIGHT.
- NEW STREET LIGHT PER CITY OF STAR STANDARDS ( US ARCHITECTURAL, DSS SERIES LUMINAIRE).
- NEW VINYL FENCE WITH SCREEN EXTENSION PER DETAIL 1 SHEET C1.01.
- NEW 6" VINYL FENCE TO MATCH ENDLSLEY COURT FENCE.

**ADDINGTON TOWNHOMES SUBDIVISION  
STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho

Revisions

1.	
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Project No.: 121064  
Date of Issuance: 12/13/2021  
Project Milestone: Preliminary Plat

**Civil PP Plan  
Site Plan - Area 1**

PLAN NUMBER: 232512123P Civil PP Plan-Site Plan - Area 1  
DATE PLOTTED: 12/13/2021 10:00:00 AM  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS  
DATE: 12/13/2021 10:00:00 AM



**Sheet Notes:**

1. SEE L-SERIES SHEETS FOR LANDSCAPE PLANS.
2. A 20' WIDE EASEMENT SHALL BE GRANTED TO STAR SEWER & WATER DISTRICT FOR ALL MAINS OUTSIDE THE PUBLIC RIGHTS OF WAY.

**Line Legend:**

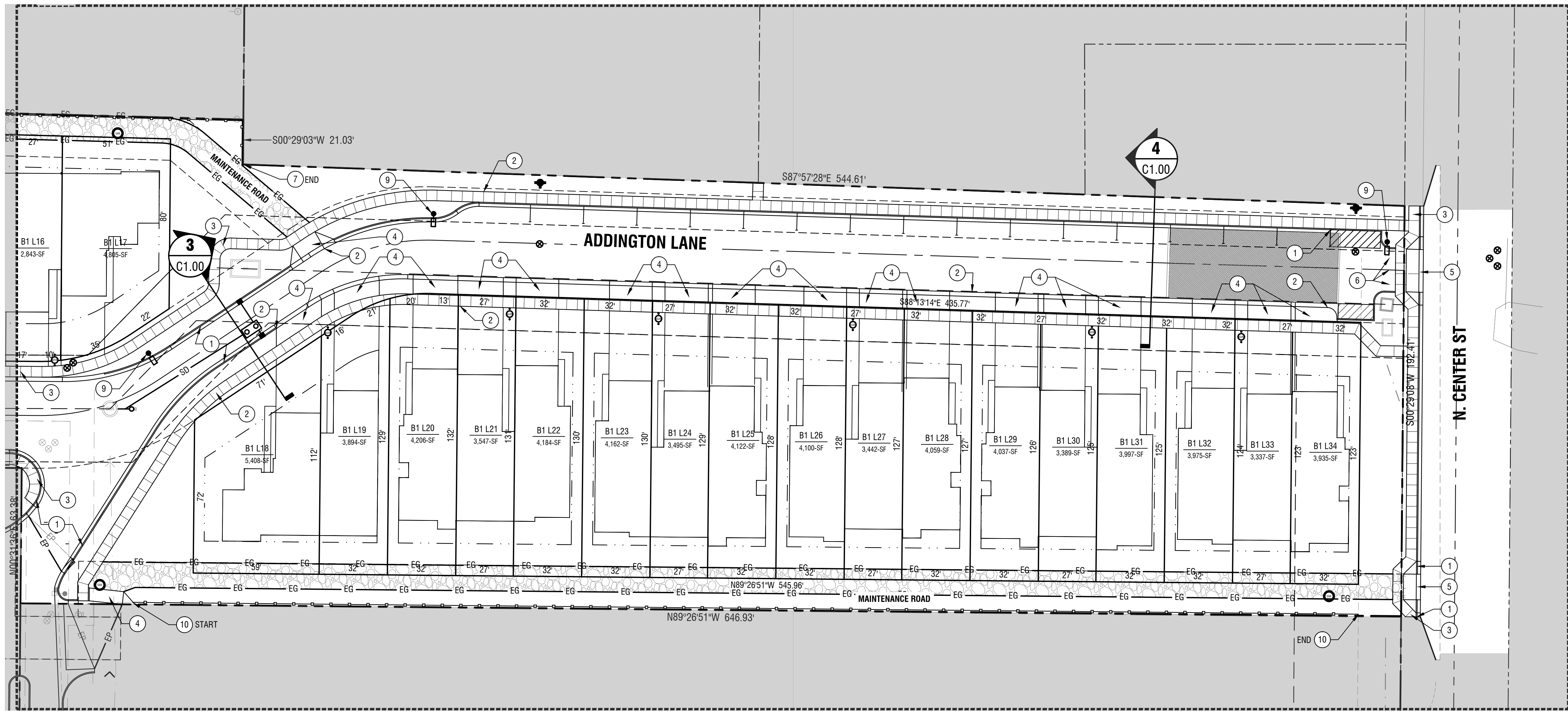
- BOUNDARY LINE
- ROADWAY CENTERLINE
- PARCEL LINE/ RIGHT-OF-WAY LINE
- BLOCK & PARCEL NUMBER
- ATTACHED SIDEWALK WITH 6" VERTICAL CURB & GUTTER
- ATTACHED SIDEWALK WITH 3" ROLLED CURB & GUTTER

**Material Legend:**

- DECORATIVE GRAVEL FINISH SURFACE.
- B1 L01

**Keynotes:**

1. NEW 6" VERTICAL CURB & GUTTER PER ISPWC SD-701.
2. NEW 3" ROLLED CURB & GUTTER PER ISPWC SD-703.
3. NEW 5' SIDEWALK PER ISPWC SD-709.
4. NEW DRIVEWAY APPROACH PER ISPWC SD-710.
5. NEW DRIVEWAY APPROACH PER ACHD SUPPLEMENT TO THE ISPWC SD-710C.
6. NEW REMOVABLE BOLLARDS FOR EMERGENCY ACCESS.
7. NEW SCREEN EXTENSION FENCE ON PROJECT SIDE OF EXISTING FENCE. SEE DETAIL 1 SHEET C1.01.
8. EXISTING STREET LIGHT.
9. NEW STREET LIGHT PER CITY OF STAR STANDARDS ( US ARCHITECTURAL, DSS SERIES LUMINAIRE).
10. NEW VINYL FENCE WITH SCREEN EXTENTION PER DETAIL 1 SHEET C1.01.
11. NEW 6" VINYL FENCE TO MATCH ENDSLEY COURT FENCE.



**Civil PP Plan-Site Plan - Area 2**

Horizontal Scale: 1" = 30'

**ADDINGTON TOWNHOMES SUBDIVISION  
STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho

Revisions

1.	

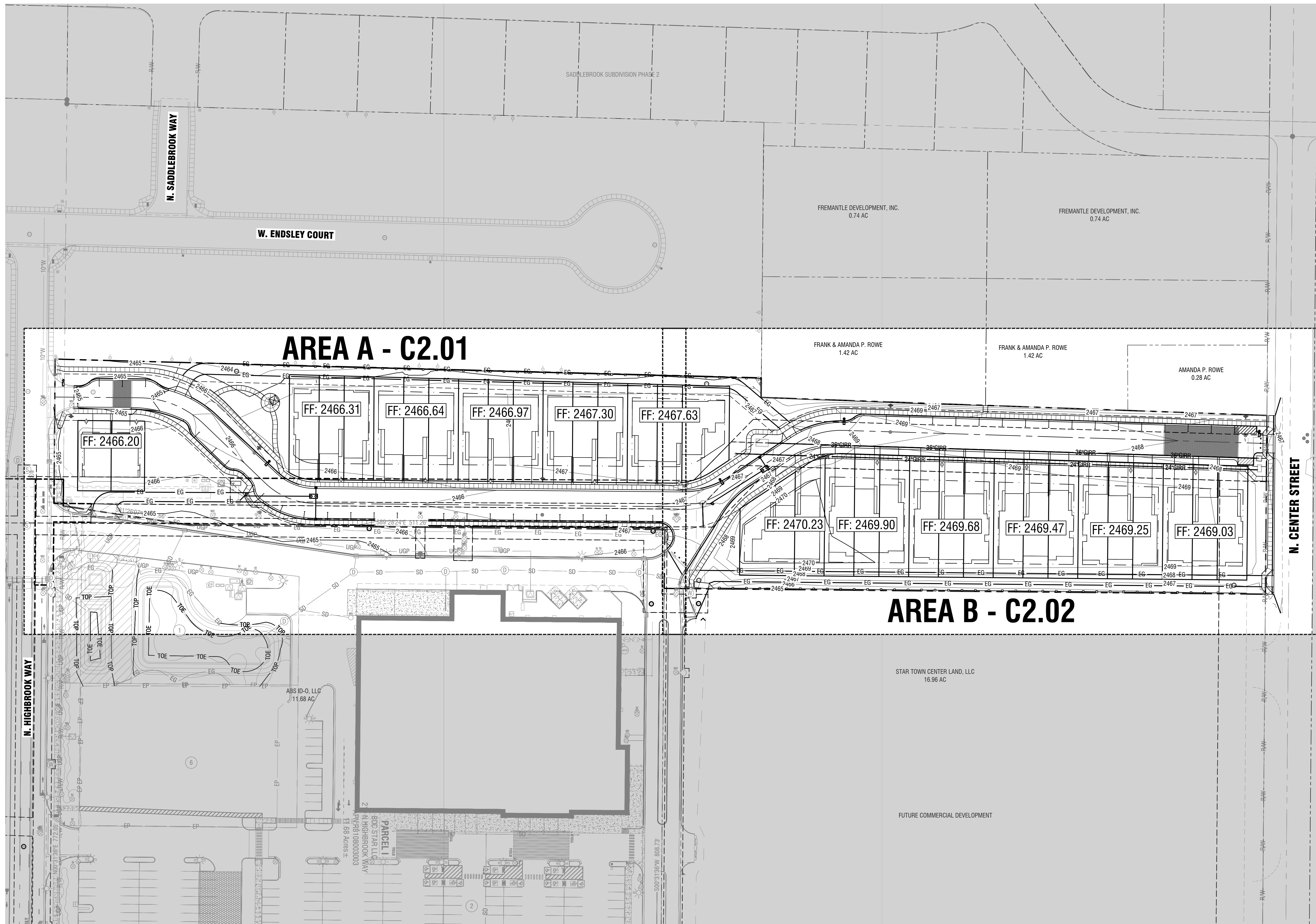


Project No.: 121064  
Date of Issuance: 12/13/2021  
Project Milestone: Preliminary Plat

**Civil PP Plan  
Site Plan - Area 2**

**C1.02**

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**ADDINGTON TOWNHOMES SUBDIVISION  
STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho

Revisions	
1.	

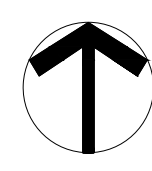


Project No.: 121064  
Date of Issuance: 12.13.2021  
Project Milestone: Preliminary Plat

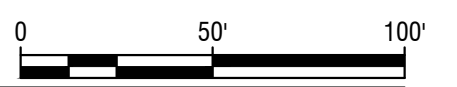
**Civil PP Plan  
Overall Grading &  
Drainage**

**C2.00**

**Overall Grading & Drainage**



Horizontal Scale: 1" = 50'



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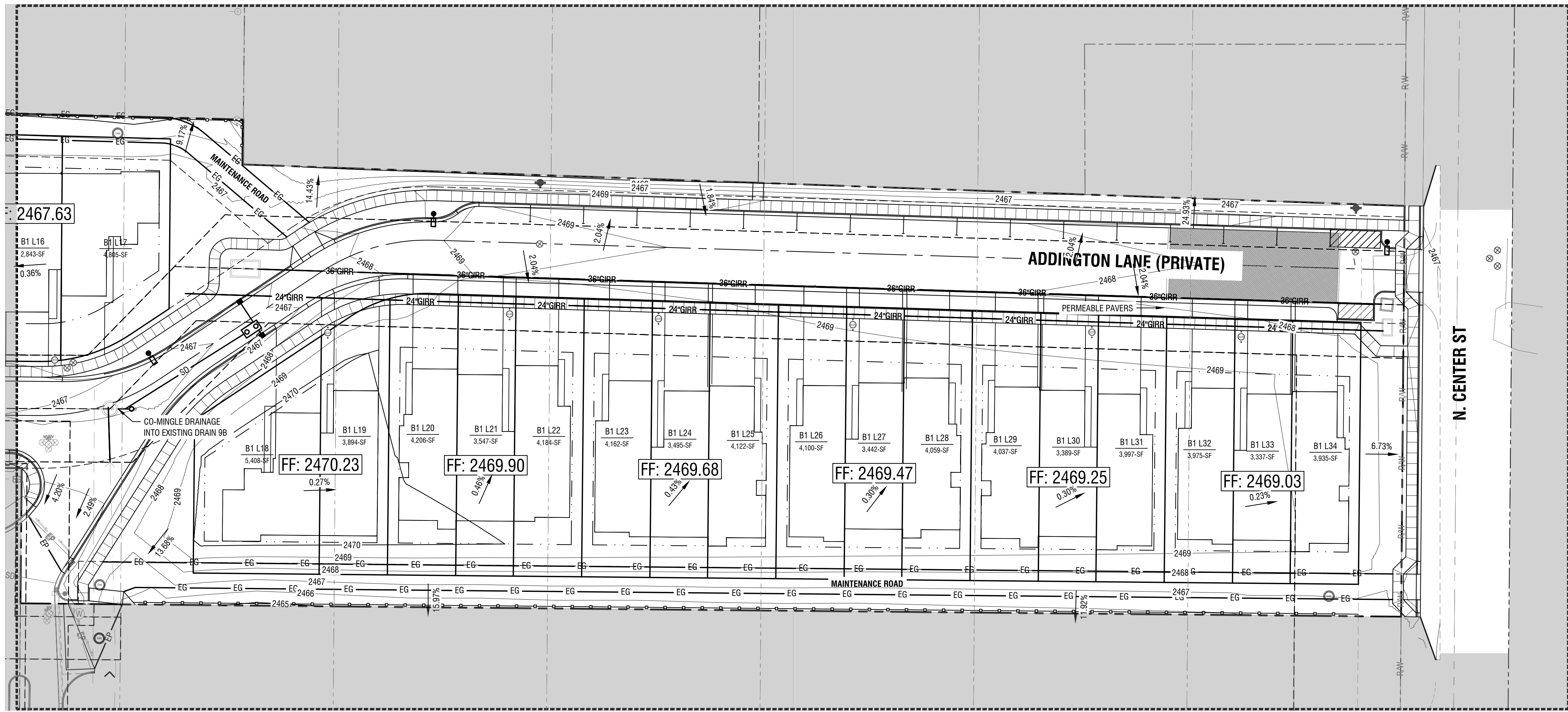




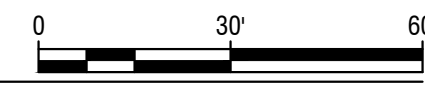


Sheet Notes:

- 1. THE PROPOSED IMPROVEMENTS AS SHOWN ARE CONCEPTUAL IN NATURE. THEY ARE INTENDED TO SHOW THE METHOD BY WHICH NECESSARY STORM WATER SYSTEMS CAN BE CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT AND ARE SUBJECT TO CHANGE. PRIOR TO CONSTRUCTION, DETAILED ENGINEERING PLANS WILL BE PREPARED FOR REVIEW AND APPROVAL BY THE AGENCIES HAVING JURISDICTION (AHJ).
- 2. WITH APPROVAL FROM DRAINAGE DISTRICT No. 2, STORM WATER MAY BE DELIVERED TO THE DRAIN No. 9 AT PREDEVELOPMENT FLOW RATES UPON BEING PRETREATED. ALL OTHER STORM WATER WILL BE CONVEYED, TREATED AND RETAINED ON-SITE IN ACCORDANCE WITH STANDARDS SET FORTH BY THE AHJ. SUCH SYSTEMS MAY INCLUDE BUT ARE NOT LIMITED TO VEGETATED SWALES, RETENTION BASINS, PERMEABLE PAVER SYSTEMS, AND SEEPAGE BEDS.
- 3. STORM WATER FROM PUBLIC ROADWAYS AND ABUTTING LOTS WILL BE RETAINED WITHIN THE EASEMENT GRANTED FROM THE AHJ. STORM WATER FROM PRIVATE ROADWAYS AND ASSOCIATED LOTS WILL BE RETAINED ON-SITE.



**Civil PP Plan-Grading & Drainage - Area 2**  
 Horizontal Scale: 1" = 30'

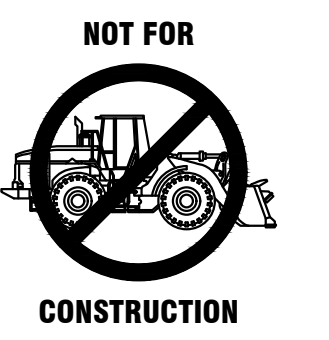


**ADDINGTON TOWNHOMES SUBDIVISION  
 STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
 Star, Idaho

Revisions

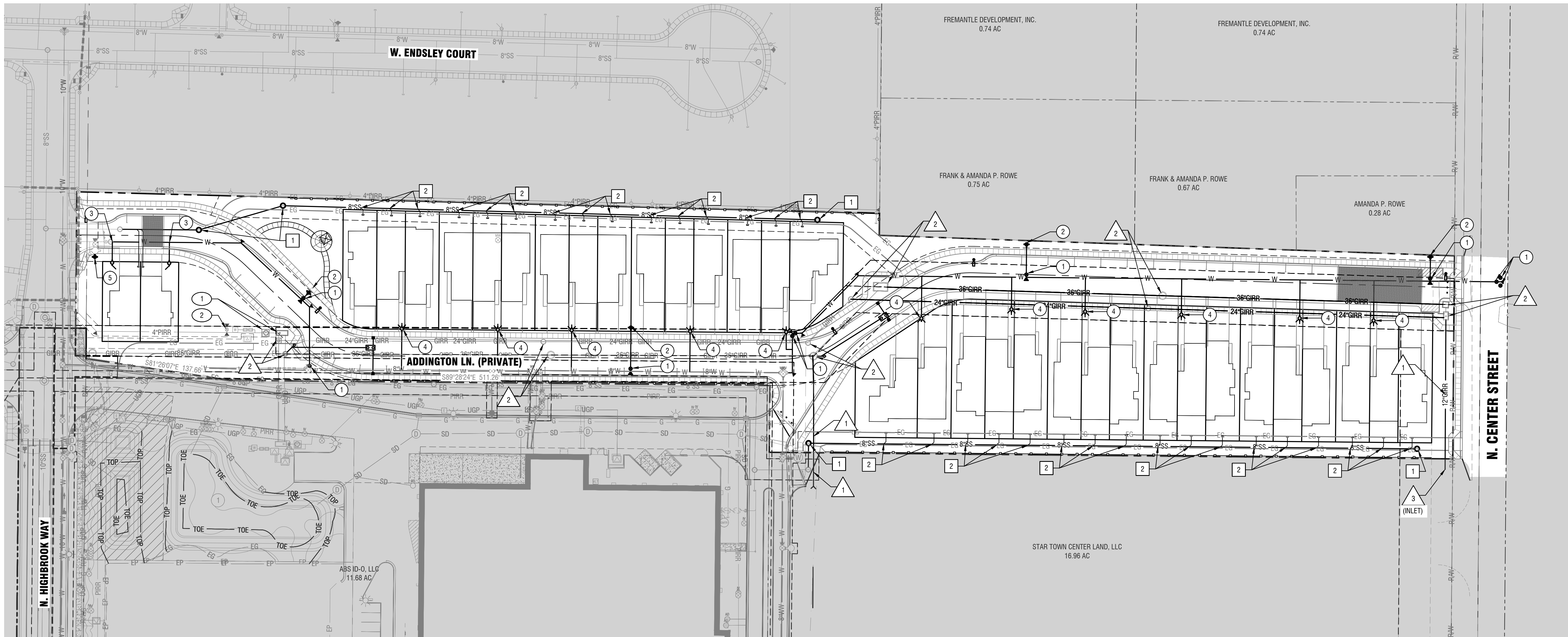
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Project No.: 121064  
 Date of Issuance: 12/13/2021  
 Project Milestone: Preliminary Plat

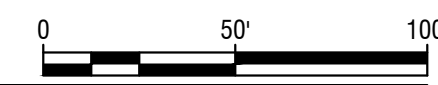
**Civil PP Plan  
 Grading & Drainage -  
 Area 2**

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 User: jhughes  
 Date: 12/13/2021 10:22:43 AM



### Civil PP Plan-Utility Plan

Horizontal Scale: 1" = 50'



#### Water Keynotes:

- 1. NEW WATER VALVE.
- 2. NEW FIRE HYDRANT.
- 3. NEW WATER METER WITH SINGLE RESIDENTIAL WATER SERVICE.
- 4. NEW WATER METER WITH TRIPLE RESIDENTIAL WATER SERVICE.
- 5. RELOCATED FIRE HYDRANT.

#### Sewer Keynotes:

- 1. NEW 48" SANITARY SEWER MANHOLE.
- 2. NEW 4" SEWER SERVICE.

#### Gravity Irrigation Keynotes:

- 1. NEW UNDERGROUND GRAVITY IRRIGATION PIPE.
- 2. EXISTING GRAVITY IRRIGATION STRUCTURE.
- 3. NEW GRAVITY IRRIGATION STRUCTURE.

#### Pressurized Irrigation Keynotes:

- 1. EXISTING PUMP STATION.
- 2. EXISTING STUB TO PRESSURIZED IRRIGATION SYSTEM.

#### Sheet Notes:

- 1. THE PROPOSED IMPROVEMENTS AS SHOWN ARE CONCEPTUAL IN NATURE. THEY ARE INTENDED TO SHOW ONE METHOD BY WHICH NECESSARY WATER AND SEWER SYSTEMS CAN BE CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT AND IS SUBJECT TO CHANGE.
- 2. PRIOR TO CONSTRUCTION, DETAILED ENGINEERING PLANS WILL BE PREPARED FOR REVIEW AND APPROVAL BY AGENCIES HAVING JURISDICTION.
- 3. SEE L-SERIES FOR LANDSCAPE PLANS.
- 4. A 20' WIDE EASEMENT SHALL BE GRANTED TO STAR WATER & SEWER DISTRICT FOR ALL WATER AND WATER & SEWER MAINS OUTSIDE THE PUBLIC RIGHTS OF WAY.
- 5. SITE STORM DRAINAGE WILL UTILIZE HISTORICAL DRAINAGE INTO DRAIN #9a AS WELL AS THE ONSITE CONTAINMENT AND PERCOLATION BY PERVIOUS PAVER SYSTEM IN THE NEW STREET.

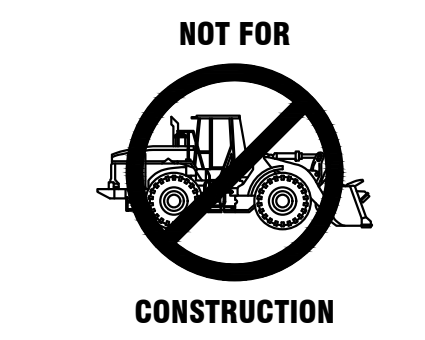
#### Utility Legend:

	PROPOSED SEWER MAIN
	EXISTING WATER MAIN
	PROPOSED STORM DRAIN (SIZE TO BE DETERMINED)
	PROPOSED GRAVITY IRRIGATION

# ADDINGTON TOWNHOMES SUBDIVISION STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho

Revisions	
1.	



Project No.: 121064  
 Date of Issuance: 12.16.2021  
 Project Milestone: Preliminary Plat

#### Civil PP Plan Utility Plan

PLAN NUMBER: C300121064.dwg  
DATE PLOTTED: 12/16/2021 10:52:03 AM  
USER: jhughes





**ADDINGTON TOWNHOMES SUBDIVISION**  
**STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho

**Landscape Requirements:**

AS IDENTIFIED IN THE STAR, IDAHO CITY ORDINANCE:

**LANDSCAPE BUFFERS ALONG STREETS (8-48-7)**

ONE (1) TREE PER THIRTY-FIVE (35) LINEAR FEET WITH SHRUBS, LAWN, OR OTHER VEGETATIVE GROUND COVER.

STREET	TREES REQUIRED	TREES PROVIDED
N. Highbrook Way (Less Drive/Easements)	2 TREES (84 L.F. / 35)	1 SHADE TREE 4 ORNAMENTAL TREES*
N. Center St (Less Drive/Easements) *TREE PLANTINGS PROHIBITED WITHIN IRRIGATION EASEMENT.	3 TREES (122 L.F. / 35)	0* SHADE TREES

\*COLUMNAR SWEETGUM SUBSTITUTED FOR REQUIRED SHADE TREE AT 2:1 USING ORNAMENTAL TREE SUBSTITUTION ALLOWANCE FROM MUNICIPAL CODE.

**QUALIFIED OPEN SPACE (8-4F-3)**

TOTAL LAND AREA OF ALL COMMON OPEN SPACE SHALL EQUAL OR EXCEED FIVE PERCENT (5%) OF THE GROSS LAND AREA OF DEVELOPMENT. COMMON OPEN SPACE AREAS SHALL INCLUDE (AT A MINIMUM) ONE DECIDUOUS SHADE TREE PER EIGHT THOUSAND (8,000) SQUARE FEET AND LAWN, EITHER SEED OR SOD. (8-4F-3E)

REQUIRED S.F.	PROVIDED S.F.	REQUIRED TREES	PROVIDED TREES
12,089.45 S.F. (5% x 241789 S.F.)	12,095 S.F.	2 TREES (120089 / 8000)	>27 TREES

**Automatic Underground Irrigation Notes:**

- A. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
- B. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- C. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 18" AT NON-MOW FESCUE AREAS, 8" AT SOD LAWN AREAS.
- D. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEMS - WITH DRIP CONTROL ZONE KIT AND 150 MESH FILTER (MIN.).
- E. ELECTRONIC WATER DISTRIBUTION/TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
  - E.A. PRECISE INDIVIDUAL STATION TIMING
  - E.B. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
  - E.C. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
  - E.D. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
  - E.E. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- F. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- G. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- H. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, AND PARKING AREA.
- I. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX LARGE ENOUGH TO ALLOW FOR MAINTENANCE AND REMOVAL. ONLY ONE VALVE PER BOX.

**Landscape Plan Notes:**

- A. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- B. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- C. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
- D. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR.
- E. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- F. ALL NON-TURF PLANTERS SHALL RECEIVE 3" LAYER OF DECORATIVE BARK MULCH.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. PLANT QUANTITIES IDENTIFIED ON THE PLAN AREA APPROXIMATE. CONTRACTOR SHALL VERIFY.

**Preliminary Plat Landscape Notes:**

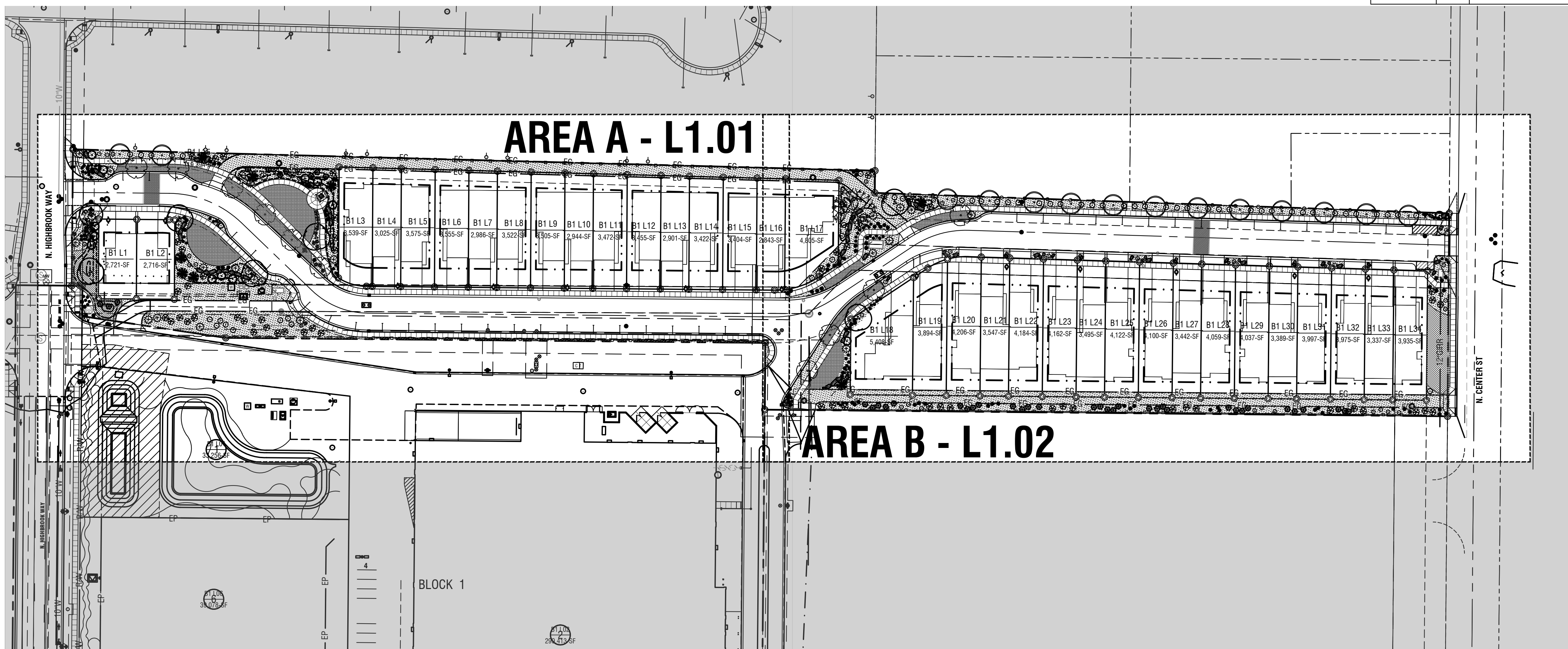
1. NO SLOPES GREAT THAN 20% SLOPE EXIST OR ARE PROPOSED ON THIS SITE.
2. REFER TO PLAN SHEETS FOR SIGHT TRIANGLES PER STAR ORDINANCE.
3. FENCING BY OWNER, BUILDER OR DEVELOPER.
4. ANY TREES PLANTED WITHIN A PARKWAY STRIP SHALL BE CENTERED IN PARKWAY STRIP PER ACHD TREE PLANTING POLICY.
5. THERE ARE NOT EXISTING TREES ON SITE THAT REQUIRE MITIGATION PER STAR ORDINANCE.

**Street Tree Notes:**

1. TREES SHALL NOT BE PLANTED WITHIN A MINIMUM 5' OF ANY CITY WATER SERVICE.
2. ANY TREES PLANTED WITHIN A CLEAR VISION TRIANGLE SHALL BE PRUNED TO A MINIMUM OF EIGHT FEET (8') ABOVE THE GROUND OR SIDEWALK SURFACE AND 14 FEET (14') ABOVE ADJACENT STREET SURFACE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUNDCOVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE THREE FEET (3') FROM THE LOWEST ADJACENT STREET.
3. ROOTBARRIERS SHALL BE INSTALLED AT CURBS AND SIDEWALKS AT STREET TREES WHERE THE PARKWAY STRIP IS LESS THAN 8' WIDE.

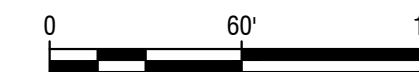
**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	14	CLASS II; 35' H X 25' W
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM PRAIRIE SPIRE ASH	2" CAL.	B&B	10	CLASS II; 40' H X 20' W
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM EMERALD CITY TULIP TREE	2" CAL.	B&B	6	CLASS III; 55' H X 25' W
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' COLUMNAR SWEET GUM	2" CAL.	B&B	13	CLASS II; 50' H X 8' W
	PO	PINUS NIGRA 'OREGON GREEN' OREGON GREEN PINE	6' HT.	B&B	8	18' H X 12' W
	QM	QUERCUS MACROCARPA BURR OAK	2" CAL.	B&B	1	50' H X 40' W
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	AL	ARONIA MELANOCARPA 'UCONNAM165' TM LOW SCAPE MOUND BLACK CHOKEBERRY	3 GAL	POT	39	
	CS	CORNUS ALBA 'SIBIRICA' REDBARK DOGWOOD	2 GAL	POT	42	9' H X 5' W
	HB	HELICTOTRICHON SEMPERVIRENS 'BLUE OATS' BLUE OAT GRASS	2 GAL	POT	102	2' H X 3' W
	HX	HEMEROCALLIS X 'PARDON ME' PARDON ME DAYLILY	1 GAL	POT	74	2' H X 2' W
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' HILLSIDE CREEPER SCOTCH PINE	2 GAL	POT	30	2' H 6' W
	PM	PINUS MUGO 'SLOWMOUND' SLOWMOUND MUGO PINE	2 GAL	POT	15	3' H X 3' W
	PP2	PRUNUS BESSEYI 'P0111S' TM PAWNEE BUTTES SAND CHERRY	3 GAL	POT	57	
	RT	RHUS TYPHINA 'BALTIGER' TIGER EYE STAGHORN SUMAC	5 GAL	POT	61	6W X 6H



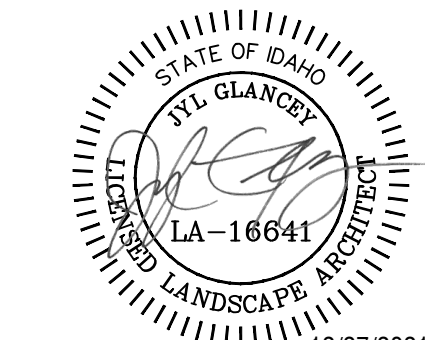
**Landscape Plan-Overall**

Horizontal Scale: 1" = 60'



Revisions

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Project No.: 121064  
Date of Issuance: 12.27.2021  
Project Milestone: Preliminary Plat

**Landscape Plan Overall**

**L1.00**



### Landscape Plan Notes:

- A. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- B. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- C. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
- D. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR.
- E. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- F. ALL NON-TURF PLANTERS SHALL RECEIVE 3" LAYER OF DECORATIVE BARK MULCH.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. PLANT QUANTITIES IDENTIFIED ON THE PLAN AREA APPROXIMATE. CONTRACTOR SHALL VERIFY.

### Preliminary Plat Landscape Notes:

- 1. NO SLOPES GREAT THAN 20% SLOPE EXIST OR ARE PROPOSED ON THIS SITE.
- 2. REFER TO PLAN SHEETS FOR SIGHT TRIANGLES PER STAR ORDINANCE.
- 3. FENCING BY OWNER, BUILDER OR DEVELOPER.
- 4. ANY TREES PLANTED WITHIN A PARKWAY STRIP SHALL BE CENTERED IN PARKWAY STRIP PER ACHD TREE PLANTING POLICY.
- 5. THERE ARE NOT EXISTING TREES ON SITE THAT REQUIRE MITIGATION PER STAR ORDINANCE.

### Street Tree Notes:

- 1. TREES SHALL NOT BE PLANTED WITHIN A MINIMUM 5' OF ANY CITY WATER SERVICE.
- 2. ANY TREES PLANTED WITHIN A CLEAR VISION TRIANGLE SHALL BE PRUNED TO A MINIMUM OF EIGHT FEET (8') ABOVE THE GROUND OR SIDEWALK SURFACE AND 14 FEET (14') ABOVE ADJACENT STREET SURFACE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUNDCOVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE THREE FEET (3') FROM THE LOWEST ADJACENT STREET.
- 3. ROOTBARRIERS SHALL BE INSTALLED AT CURBS AND SIDEWALKS AT STREET TREES WHERE THE PARKWAY STRIP IS LESS THAN 8' WIDE.

### Material Legend:

	TURF SOD.		4"-DEPTH BLACK & TAN ROCK MULCH.
	NON-MOWN FESCUE SEED MIX.		LARGE LANDSCAPE BOULDERS, 4'-6" DIA. TYP PER DETAIL 4/L1.50.
	CONCEPTUAL LANDSCAPE BERM, 1' CONTOURS.		

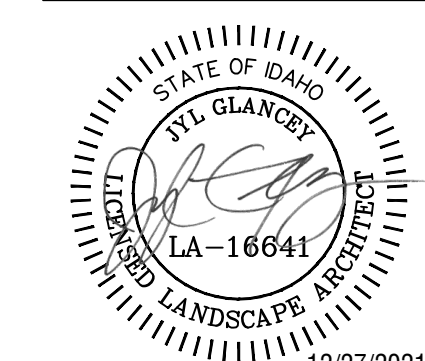
### Keynotes:

- 1. PLANTER CUT EDGE PER DETAIL 1/L1.50.
- 2. CLEAR VISION TRIANGLE. ALL IMPROVEMENTS WITH VISION TRIANGLE SHALL CONFORM TO CITY CODE.
- 3. MAINTENANCE ROAD FOR GRAVITY IRRIGATION OR PUBLIC UTILITY, REFER TO UTILITY PLAN OR MORE INFORMATION.
- 4. 8' X 8' SHADE STRUCTURE AT PLAZA WITH TABLE.
- 5. PROPOSED 6" SOLID FENCE SHALL COMPLY WITH STAR ORDINANCE.
  - 5.1. MODIFY PROPOSED FENCE AS REQUIRED TO MAINTAIN FIRE HYDRANT OFFSETS.
- 6. EXISTING 6" SOLID FENCE TO BE INSTALLED WITH ADJACENT PROJECT DEVELOPMENT.
- 7. LANDSCAPE IMPROVEMENTS TO BE INSTALLED BY ADJACENT DEVELOPMENT, RETAIN & PROTECT.

# ADDINGTON TOWNHOMES SUBDIVISION STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho

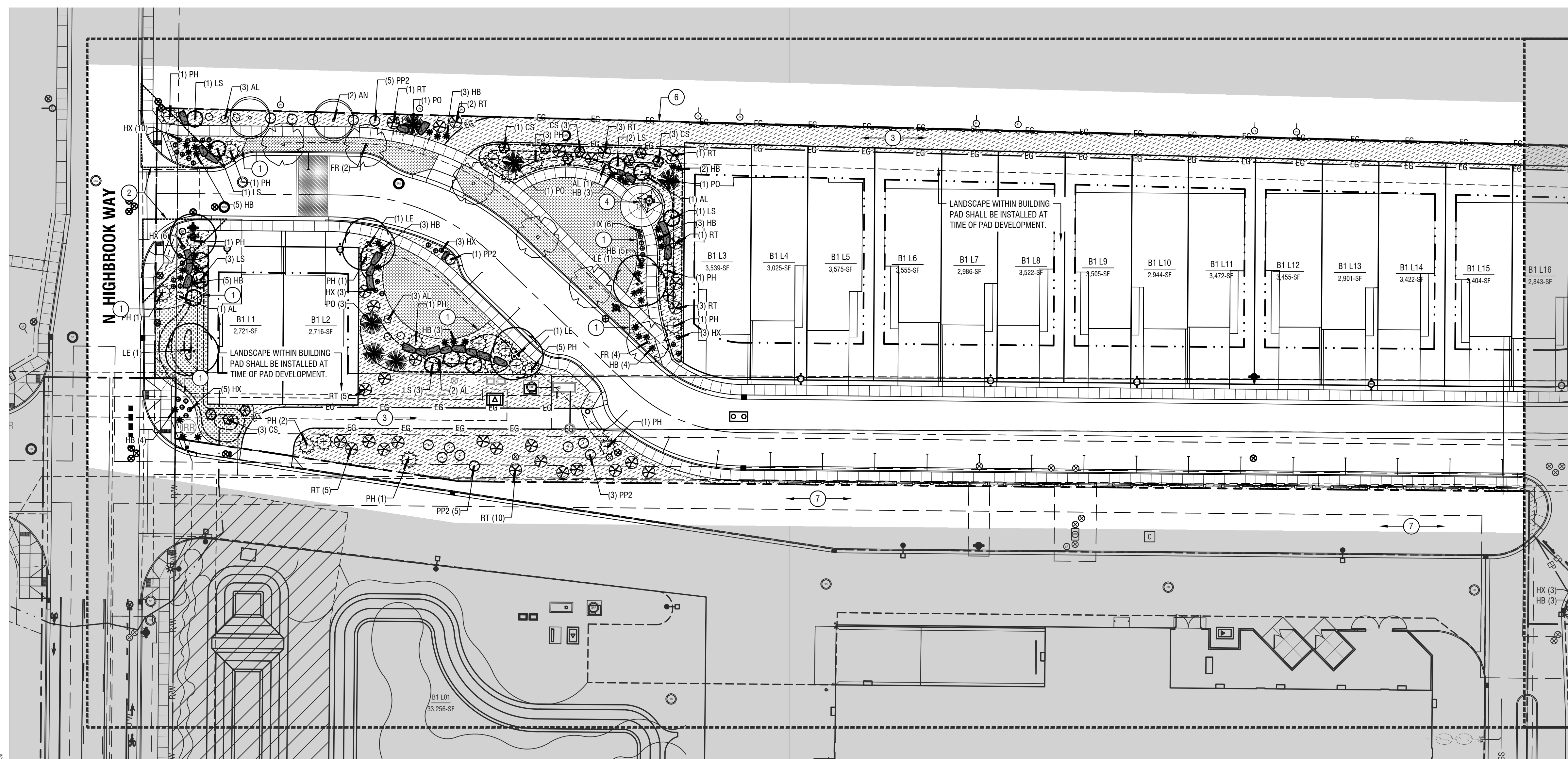
Revisions
1.



12/27/2021  
 Project No.: 121064  
 Date of Issuance: 12/27/2021  
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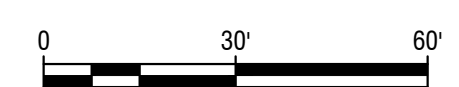
Landscape Plan Area A

# L1.01



## Landscape Plan-Area A

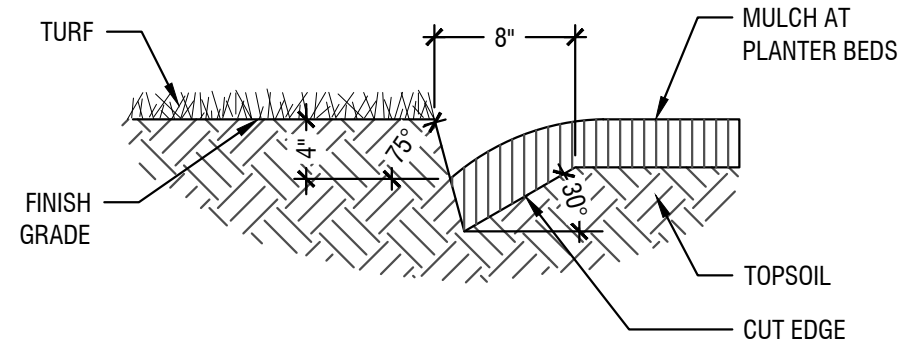
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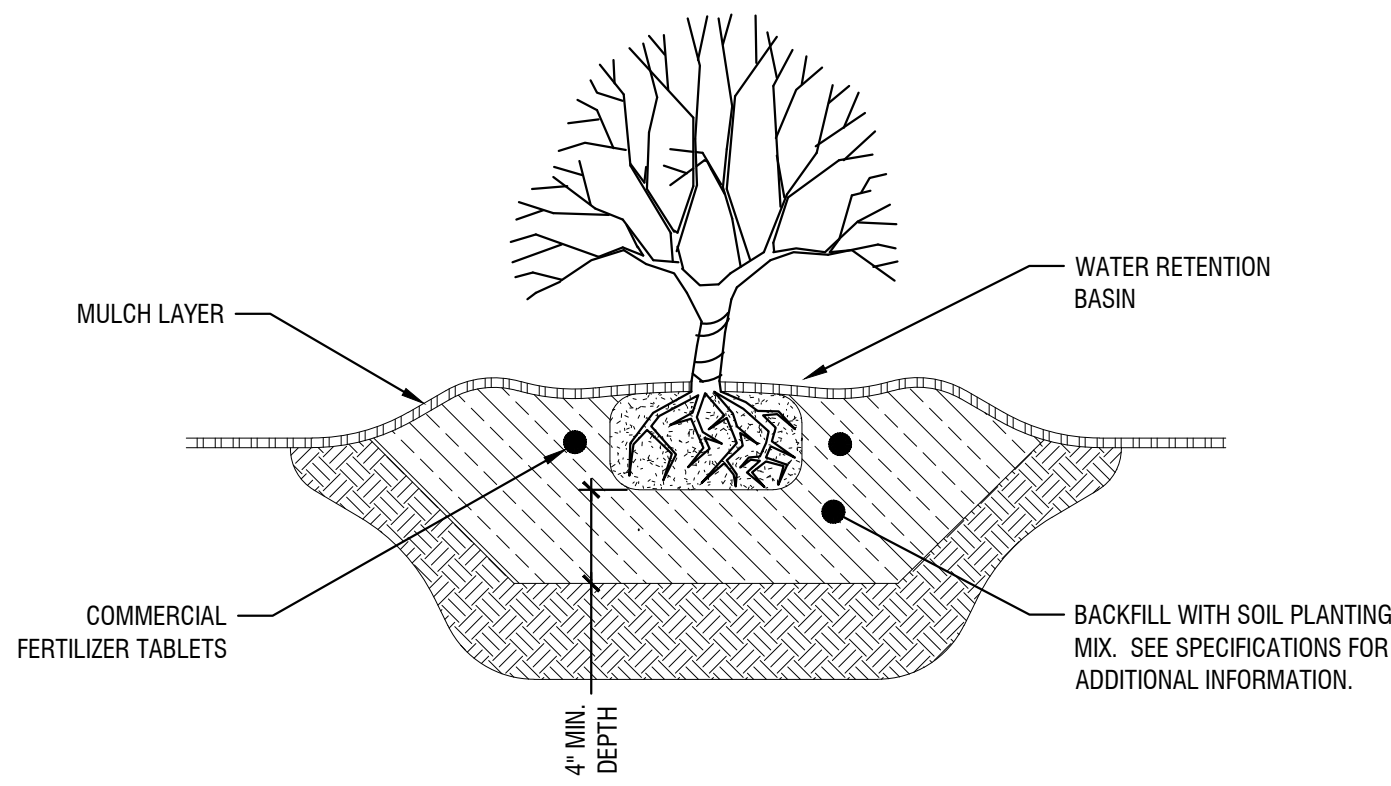
Plan No.: 121064-01 (Landscape Plan) 12/27/2021  
 Project No.: 121064  
 Date of Issuance: 12/27/2021  
 Project Milestone: Preliminary Plat





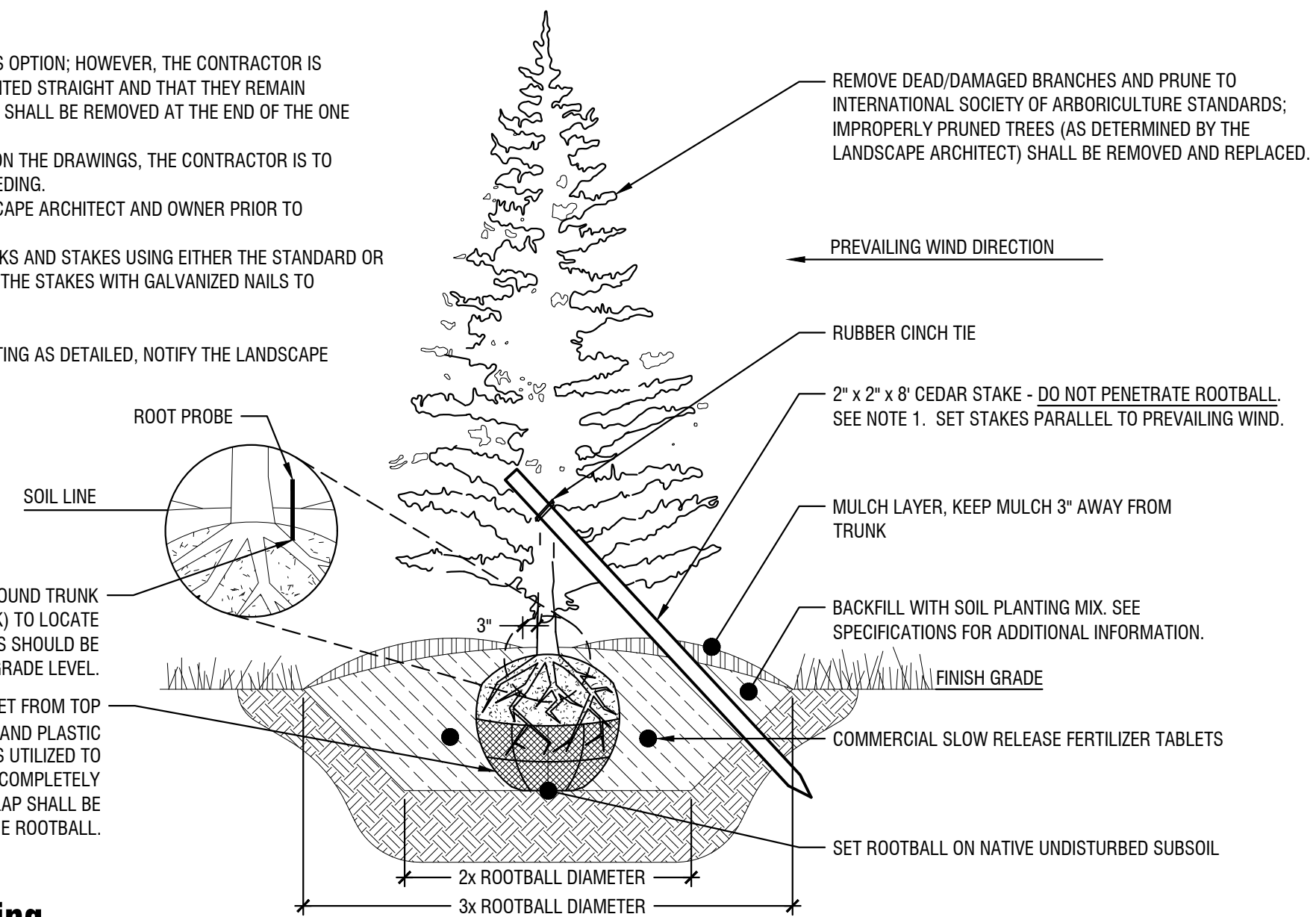


**1 Planter Edge Cut Edge**  
Scale: NTS



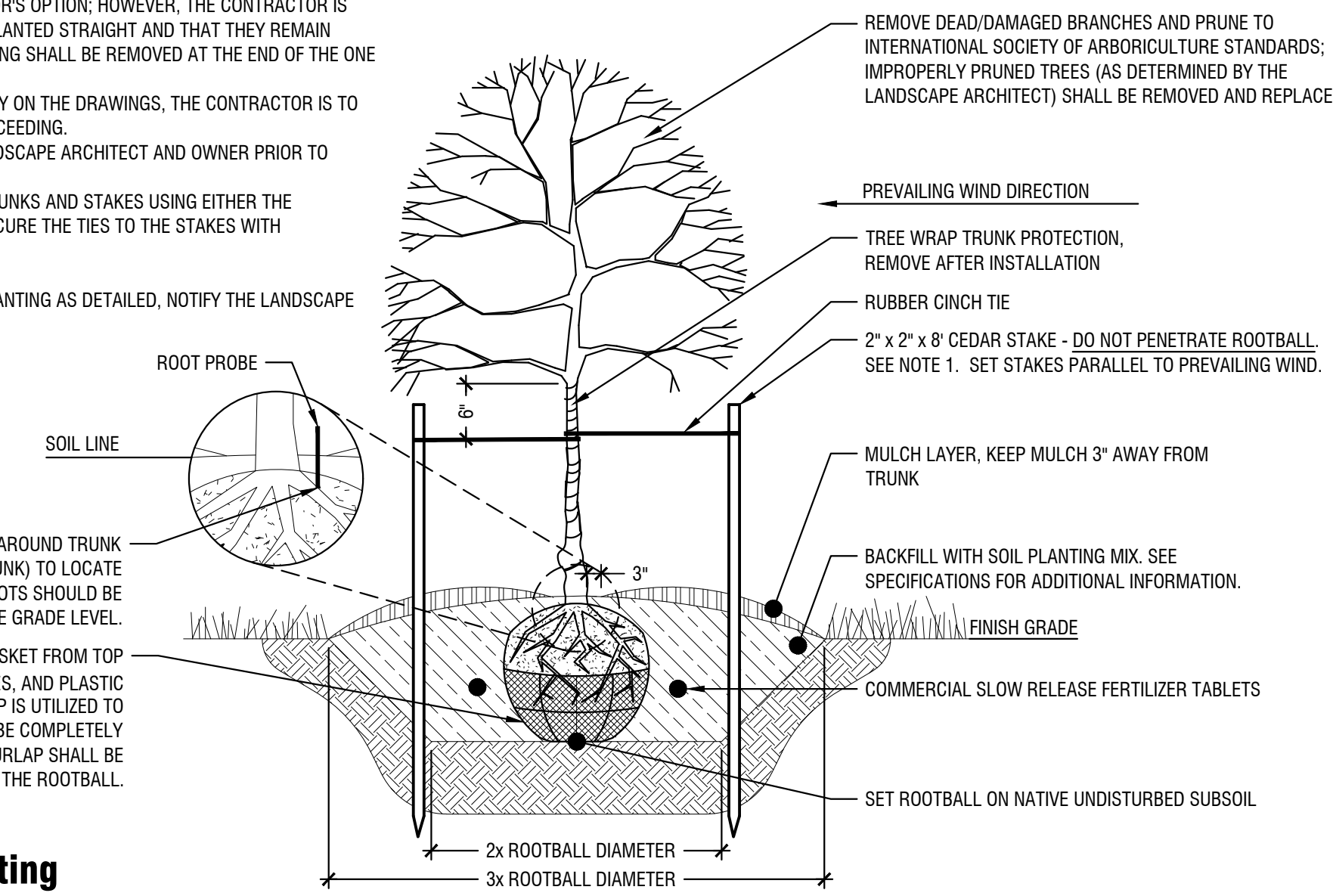
**2 Shrub Planting**  
Scale: NTS

- NOTES:**
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
  2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
  3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
  4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
  5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
  6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

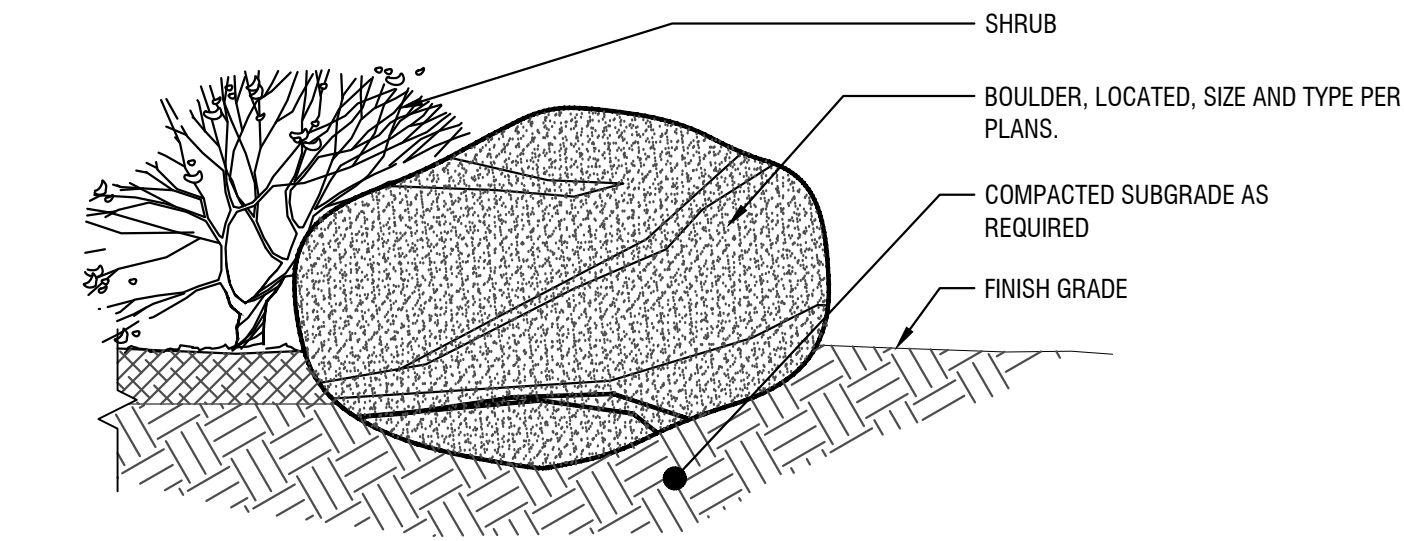


**3 Coniferous Tree Planting**  
Scale: NTS

- NOTES:**
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
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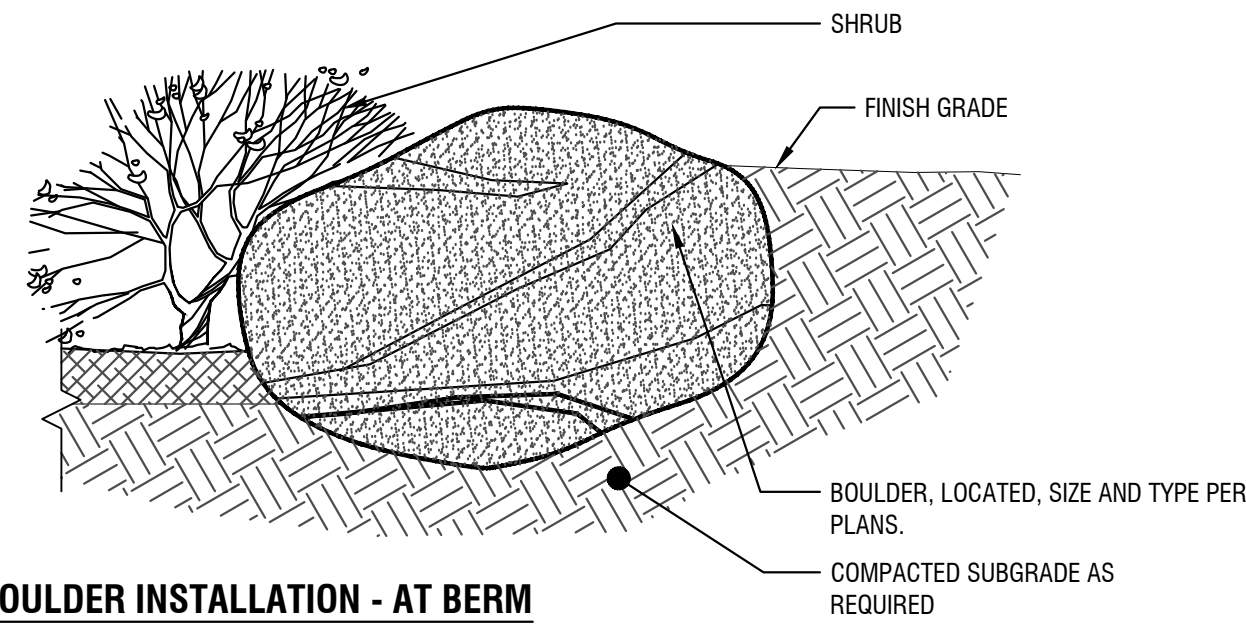
**5 Deciduous Tree Planting**  
Scale: NTS



**BOULDER INSTALLATION - TYPICAL**

- NOTES:**
1. NOTIFY LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
  2. PLACE BOULDERS PRIOR TO INSTALLATION OF IRRIGATION SYSTEM.
  3. CLEAN ALL BOULDERS OF DIRT AND LOOSE DEBRIS.
  4. WHEN PLACING BOULDERS, BURY 1/4 TO 1/3 OF BOULDER BELOW FINISH GRADE.
  5. DO NOT SCAR OR DAMAGE BOULDERS.

**4 Boulder Installation**  
Scale: NTS



**BOULDER INSTALLATION - AT BERM**

Revisions

1.	



Project No.: 121064  
Date of Issuance: 12.27.2021  
Project Milestone: Preliminary Plat

**Landscape Plan Details**



January 6, 2022

Roger Collins  
The Land Group  
462 E Shore Dr, STE 100  
Eagle, Id 83616

Subject: Delivery Method Approval

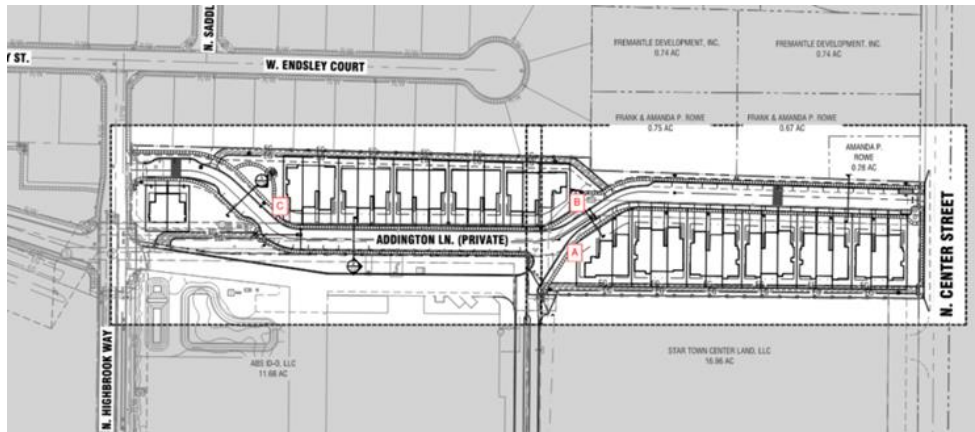
Roger,

Thank you for contacting the Postal Service to established delivery to the Addington Subdivision on the east side of N Highbrook Way. Per your request I am authorizing the developer to place cluster box units at point C on the attached map to provide enough CBUs for the entirety of the development in all of its phases. The location will be on Block 5 Lot 1c.

**Please keep in mind when ordering your cluster boxes from the manufacturer we request that you ask them to number the boxes consecutively. As an example we would want the boxes to be labeled 1-165 as opposed to multiple units repeatedly numbered 1-16. We also request that the Parcel Lockers on the units also be numbered consecutively, so if there are 11 CBU units needed for the development, and there were two parcel lockers per unit, then the parcel lockers would be numbered 1 through 22. If the CBUs are not numbered correctly, we may refuse to deliver until the numbering has been corrected.**

Thank you for your assistance.

Mel Norton  
Postmaster, Star



Mel Norton  
Postmaster  
10780 W State St  
Star ID 83669-9998  
Phone: 208-286-7304

City of Star

P.O. Box 130  
Star, Idaho 83669  
208-286-7247  
Fax 208-286-7569

www.staridaho.org



Mayor:  
Trevor A. Chadwick

Council:  
Kevin Nielsen  
Jennifer Salmonsén  
Kevan Wheelock  
David Hershey

12 April 2022

Tamara Thompson  
The Land Group  
462 E. Shore Dr.  
Eagle, ID 83616

**Re: Addington Subdivision – Preliminary Plat Application**

Dear Ms. Thompson

The City of Star Engineering Department has reviewed the Preliminary Plat for the Addington Subdivision dated December 13, 2021. We reviewed the applicant's package to check conformance with the City's Subdivision Ordinance and coordinated our review with Shawn L. Nickel. We have the following comments and question based on our review.

1. Please update note 4 on 3.00, it reads "all water and water & sewer main".
2. Preliminary plat shall be stamped and signed by a professional engineer or land surveyor licensed in the State of Idaho
3. Please show proposed location of irrigation mainline, including connection to existing Endsley Court Subdivision.
4. An all-weather surface shall be constructed over the sewer lines run outside the private road as shown on the drawings.
5. Potable water cannot be used for irrigation purposes. A separate pressure irrigation system will be required. Construction plans for a subdivision-wide pressure irrigation system will be required for each final plat. Plan approvals and license agreements from the affected irrigation and/or canal companies will be required.
6. Street lighting shall be in accordance with ISPWC and the City of Star Supplementals. Cut sheet for lights and light poles shall be approved in writing by the City prior to installation.



7. The project is proposing offsite stormwater disposal to drain ditches. Therefore, plan approvals and license agreements from the affected irrigation ditch companies will be required.
8. Historic irrigation lateral, drain, and ditch flow patterns shall be maintained unless approved in writing by the local irrigation district or ditch company.
9. Finish grades at subdivision boundaries shall match existing finish grades. Runoff shall be maintained on subdivision property unless otherwise approved.
10. Easements for sewer/water facilities will be required where placed outside of public right of way.
11. This subdivision will need to be annexed into the Star Sewer and Water District to provide water and sewer to the site.

We recommend that the conditions 1 through 3 listed above be addressed prior to approval of the Preliminary Plat. Any variance or waivers to the City of Star standards, ordinances, or policies must be specifically approved in writing by the City. Approval of the above-referenced Preliminary Plat does not relieve the Registered Professional Land Surveyor or the Registered Professional Engineer of those responsibilities.

If you have any questions, please do not hesitate to contact City Hall

Sincerely,



Ryan V. Morgan, P.E.  
City Engineer

Enclosures



**STATE OF IDAHO**  
DEPARTMENT OF  
ENVIRONMENTAL QUALITY

1445 N Orchard Street, Boise, ID 83706  
(208) 373-0550

Brad Little, Governor  
Jess Byrne, Director

March 11, 2022

By e-mail: [snickel@staridaho.org](mailto:snickel@staridaho.org)

City of Star  
P.O. Box 130  
Star, ID 83669

Subject: Addington Subdivision, PP-22-02/PR-22-01

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: <https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

**1. AIR QUALITY**

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).
- All property owners, developers, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.
- DEQ recommends the city/county require the development and submittal of a dust prevention and control plan for all construction projects prior to final plat approval. Dust prevention and control plans incorporate appropriate best management practices to control fugitive dust that may be generated at sites.
- Citizen complaints received by DEQ regarding fugitive dust from development and construction activities approved by cities or counties will be referred to the city/county to address under their ordinances.

- Per IDAPA 58.01.01.600-617, the open burning of any construction waste is prohibited. The property owner, developer, and their contractor(s) are responsible for ensuring no prohibited open burning occurs during construction.
- For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

## **2. WASTEWATER AND RECYCLED WATER**

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

## **3. DRINKING WATER**

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.

- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

#### 4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Construction General Permit from DEQ may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

## 5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

## 6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.

Response to Request for Comment

March 11, 2022

Page 5

- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff  
Regional Administrator  
DEQ-Boise Regional Office

EDMS#: 2022AEK43





**Ada County Transmittal**  
**Division of Community and Environmental Health**

Section 7, Item C.

- ACZ
- Boise
- Eagle
- Garden City
- Meridian
- Kuna
- Star

Rezone # \_\_\_\_\_

Conditional Use # \_\_\_\_\_

Preliminary / Final / Short Plat PP-22-02

Addington

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
  - high seasonal ground water
  - waste flow characteristics
  - bedrock from original grade
  - other \_\_\_\_\_
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
  - central sewage
  - community sewage system
  - community water well
  - interim sewage
  - central water
  - individual sewage
  - individual water
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
  - central sewage
  - community sewage system
  - community water
  - sewage dry lines
  - central water
- 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 12. We will require plans be submitted for a plan review for any:
  - food establishment
  - swimming pools or spas
  - child care center
  - beverage establishment
  - grocery store
- 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDH.
- 14. \_\_\_\_\_

Reviewed By: \_\_\_\_\_

Date: 3/10/22



2921 Caldwell Blvd. • Nampa, ID 83651

April 1, 2022

City of Star  
Attn: Shawn L. Nickel  
PO Box 130  
Star, ID 83669

Application Name: **Addington Subdivision**  
File #'s PP-22-02 Preliminary Plat  
PR-22-01 Private Street

Dear Mr. Nickel:

On behalf of Intermountain Gas Company, thank you for the opportunity to make comment on the above referenced Application.

Based on our review of the materials presented, the project lacks clear definition of Public Utility Easements (PUE). In order for Intermountain as well as other utilities to install infrastructure, clearly defined PUE's should be included within the private and public ROW's and any other lot lines for which the developer desires utility service.

Extensions of our natural gas mains and services will be provided and installed in accordance Section C of Intermountain's General Service Provisions on file with the Idaho Public Utilities Commission.

If you have any questions, or need further clarification, please don't hesitate to contact me.

Sincerely,

*Kerry Schmidt*

Intermountain Gas Company  
Energy Services Rep., Sr.  
Ph. 208-468-6722



# MIDDLETON STAR FIRE DISTRICTS

Section 7, Item C.

Fire District Headquarters  
11665 W. State St., Suite B  
Star, Idaho 83669

Tel. No.: (208) 286-7772  
Web: [www.midstarfire.org](http://www.midstarfire.org)  
Email: [permits@starfirerescue.org](mailto:permits@starfirerescue.org)

DATE: April 11, 2022  
TO: City of Star Planning & Zoning  
City of Star Council  
FROM: Victor Islas, Deputy Chief  
SUBJECT: Fire District Review  
PROJECT NAME: Addington Subdivision (PP22-022, PR-22-01)

### Fire District Summary Report:

1. **Overview** This development can be serviced by the Star Fire Protection District. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.
2. **Fire Response Time:** This development will be served by the Star Fire Protection District Station 51, located at 11665 W. State St., Star, Idaho 83669. Station 51 is 0.4 miles with a travel time of 1 minutes under ideal driving conditions to the purposed entrance off of N. Highbrook Way.
3. **Accessibility:** Roadway Access, Traffic, Radio Coverage
  - a. Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.
  - b. Access road design shall be designed and constructed to allow for evacuation simultaneously with emergency response operations.
  - c. All access roads in this development shall remain clear and unobstructed during construction of the development. Additional parking restrictions may be required as to always maintain access for emergency vehicles. Hydrants shall always remain unobstructed per city code.
  - d. The fire district requires that Autoturn models be submitted for review. Autoturn models should be reflect the utilization of a 36' long fire engine and a 50' long ladder truck.
  - e. Traffic calming devices will require approval by the Fire District
  - f. An unobstructed vertical clearance of no less than 13 feet 6 inches shall be always maintained.
  - g. Turnaround shall be required at the end of the Addington Lane.
    - i. It is recommended that the road be public and access to the development be from N. Way Highbrook and N. Center Street.
  - h. Signs – Fire Lane signs as specified in IFC seccion D103.6 shall be posted on one side of the fire apparatus access roads more than 26 feet wide and less than 32 feet wide.





# MIDDLETON STAR FIRE DISTRICT

Section 7, Item C.

Fire District Headquarters  
11665 W. State St., Suite B  
Star, Idaho 83669

Tel. No.: (208) 286-7772  
Web: [www.midstarfire.org](http://www.midstarfire.org)  
Email: [permits@starfirerescue.org](mailto:permits@starfirerescue.org)

- i. Emergency Access shall have be unobstructed at all times. The access shall be protected from unauthorized vehicles using MaxiForce Collapsible Bollards. The access shall also be marked with signs on both end of the access point reading "Emergency and Authorized Vehicles ONLY"



- j. The applicant shall work with Ada County, City of Star and Star Fire Protection District to provide an address identification plan and signage which meets the requirements set forth by each agency. Addressing shall be placed in a position that is plainly legible and visible from the street or road fronting the property, as set forth in International Fire Code Section 505.1
- k. All residential, commercial, and industrial buildings within the City shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. When required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response.
- l. Address numbers shall have a minimum stroke width of one-half inch (0.5"), and of a color contrasting with the background. The required height of each address number shall be calculated by the distance of the addressed building from the road, as follows:

Less than one hundred feet (100')	6"
one hundred feet to one hundred fifty feet (100 - 150')	8"
one hundred fifty-one feet to two hundred feet (151 - 200')	10"
two hundred one feet to two hundred fifty-one feet (201 - 251')	12"

- m. Upon commencement of initial construction of a new structure, a clear visible freestanding sign or post shall be erected and maintained in place until the permanent address numerals are attached or otherwise displaced upon the premises at completion.





# MIDDLETON STAR FIRE DISTRICT

Fire District Headquarters  
11665 W. State St., Suite B  
Star, Idaho 83669

Tel. No.: (208) 286-7772  
Web: [www.midstarfire.org](http://www.midstarfire.org)  
Email: [permits@starfirerescue.org](mailto:permits@starfirerescue.org)

4. **Water Supply:** Water supply requirements will be followed as described in Appendix B of the 2018 International Fire Code unless agreed upon by the Fire District.
  - a. Fire Flow: One- and two-family dwellings not exceeding 3,600 square feet require a fire-flow of 1,000 gallons per minute for a duration of 1 hours to service the entire project. One- and two-family dwellings in excess of 3,600 square feet require a minimum fire flow as specified in Appendix B of the International Fire Code
  - b. Automatic Fire Sprinklers will be required as per IBC and IFC for all R2 Occupancies containing more than two dwelling units.
    - i. Contractor to submit sprinkler plans to State Fire Marshal's Office & AHJ for review, approval and permitting.
  - c. Water Supply: Hydrants to be placed no less than 100ft from the Riser Room FDC.
  - d. Water Supply: Life Safety water lines to be separate from domestic water lines.
  - e. Water Supply: Acceptance of the water supply for fire protection will be by the Fire District and water quality by Star Sewer & Water for bacteria testing.
  - f. Water Supply: Final Approval of the fire hydrant locations shall be by the Star Fire Protection District or their designee in accordance with International Fire Code Section (IFC) 508.5.4 as follows:
    - i. Fire hydrants shall have a Storz LDH connection in place of the 4 1/2" outlet. The Storz connection may be integrated into the hydrant, or an approved adapter may be used on the 4 1/2" outlet.
    - ii. Fire hydrants shall have the Storz outlet face the main street or parking lot drive aisle.
    - iii. Fire hydrants shall be placed on corners when spacing permits.
    - iv. Fire hydrants shall not have any vertical obstructions to outlets within 10'.
    - v. Fire hydrants shall be placed 18" above finished grade to the center of the Storz outlet.
    - vi. Fire hydrants shall be provided to meet the requirements of Star Sewer & Water Standards.
    - vii. Show all proposed or existing hydrants for all new construction or additions to existing buildings within 1,000 feet of the project.
    - viii. Fire hydrant relocations to be approved by the Fire District & Star Sewer and Water.
5. **Inspections:** Final inspection by the Fire District of the above listed including hydrant flow must be completed before building permits are issued
6. **Additional Comments:**
  - a. Side Setback as per City Code. Any modification to setback will require review and approval by the Fire District.
  - b. Streetlights shall be turned on once residential building begins, Lighting is essential in assisting first responders with identifying entrances safely while responding to calls for service.

## LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on April 19, 2022 at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

**Application:** 10206 W. State Street Development Agreement Modification  
Files #'s DA-20-16

**Owner:** Evan Mclaughlin, 10206 W. State Street, LLC, 2001 N. 20<sup>th</sup> Street, Boise, ID 83702

**Representative:** Jeff Likes, ALC Architecture, 1119 E. State Street Suite 120, Eagle, ID 83616

**Action:** The Applicant is requesting to modify the existing Development Agreement for the property located at 10206 W. State Street. The applicant seeks to increase the height of the proposed commercial buildings along State Street to a maximum of 45 feet and requests a waiver of up to 50% reduction of the required parking spaces for the commercial uses. The consists of 4.76 acres.

**Property Location:** The subject property is generally located on the north side of W. State Street, east of N. Taurus Way in Star, Idaho. Ada County Parcel No. S0408438600.

**Information/Comments:** A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to noon, the day before the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel  
Planning Director and Zoning Administrator



**FIRST AMENDMENT TO AMENDED AND RESTATED DEVELOPMENT  
AGREEMENT  
WHITENER REZONE- PLANNED UNIT DEVELOPMENT**

This First Amendment to the Amended and Restated Development Agreement (this "First Amendment") is entered into as of the date set forth below by and between the City of Star, a municipal corporation in the State of Idaho, hereinafter referred to as "City", and 10206 West State Street, LLC, hereinafter referred to as "Owner" and "Developer".

WHEREAS, the City and Owner/Developer previously entered into that certain Amended and Restated Development Agreement dated effective November 24, 2021 (the "Amended Development Agreement") relating to the development of certain real property located in Ada County, Idaho, recorded on November 24, 2021 as Instrument No. 2021-168045 as more particularly described in the Development Agreement (the "Property"); and

WHEREAS, Owner/Developer desires to modify the Amended and Restated Development Agreement, in connection with City of Star File Number DA-20-16-MOD, to include additional terms and conditions of the Amended and Restated Development Agreement and this First Amendment; and

WHEREAS, on July 28, 2020, the Property was rezoned CBD-PUD-DA and made subject to that certain Development Agreement, dated February 9, 2020 between City and Philip D. Whitener and Mary Jo Prather, husband and wife, recorded with Ordinance No. 328 on February 10, 2020 as Instrument No. 2021-022614 in the office of the Ada County Recorder ("Original Development Agreement");

WHEREAS, the City, pursuant to Section 67-6511A, Idaho Code, and Star City Code at Title 8, Chapter 1, has the authority to enter into a development agreement for the purpose of allowing, by agreement, a specific development to proceed in a specific area and for a specific purpose or use which is appropriate in the area, and for a specific purpose or use and with specific approved design and dimensional standards;

WHEREAS, the City has the ability to modify the Development Agreement pursuant to the provisions of Idaho Code Section 67-6509, as required by the Star City Ordinances, Title 8, Chapter 1; and

WHEREAS, it is the intent and desire of the parties hereto to proceed with development of the Property in accordance with this Agreement, which the parties agree will the Amended and Restated Development Agreement;

WHEREAS, the intent of this Agreement is to protect the rights of Owner's and Developer's use and enjoyment of the Property while at the same time mitigating any adverse impacts of the development upon neighboring properties and the existing community and ensuring the Property is developed in a manner consistent with City Ordinances;

THEREFORE, for and in consideration of the mutual covenants, duties and obligations herein set forth, the parties hereby agree as follows:

**1. Setbacks and Dimensional Standards.** The development shall comply with the following approved setbacks and dimensional standards:

- Commercial Uses – Current CBD Zoning Standards
- Minimum Residential Lot Frontage: 30 feet
- Front Setbacks (Measured from the back of sidewalk or property line): 20 feet for garage; 10’ Living Area
- Rear Setbacks: 20 feet or 5’ maximum for alley loaded garages;
- Interior Setbacks: 5’ side for detached, 0’ feet (for zero-lot lines)
- Local Street Side Setbacks: 20 feet
- Maximum Building Height: ~~35 feet~~ **45 feet**
- **Applicant shall be allowed a parking reduction of up to 50% for the commercial uses**

2. **Notices.** Any notice which a party may desire to give to another party must be in writing and may be given by personal delivery, by mailing the same by registered or certified mail, return receipt requested postage prepaid, or by Federal Express or other reputable overnight delivery service, to the party to whom the notice is directed at the address of such party set forth below.

Star: City of Star  
Attn: City Clerk  
P.O. Box 130  
Star, ID 83669

Owner/Developer: 10206 West State Street LLC  
Evan McLaughlin  
2001 N. 20<sup>th</sup> Street  
Boise, Idaho 83702

3. **First Amendment Controls.** All terms set forth in the Amended and Restated Development Agreement shall remain unchanged and in full force and effect, except as amended by this First Amendment; and in the event of any conflict between the terms and conditions of this First Amendment and the Amended and Restated Development Agreement, this First Amendment shall control.

4. **Effective Date.** This Agreement shall be effective after delivery to each of the parties hereto of a fully executed copy of this Agreement.

*[end of text; signatures and exhibits follow]*

**IN WITNESS WHEREOF**, the parties have hereunto caused this Agreement to be executed on the day and year set forth below.

Dated this \_\_\_\_\_ day \_\_\_\_\_, 2022.

CITY OF STAR

By: \_\_\_\_\_  
Trevor A. Chadwick, Mayor

ATTEST:

\_\_\_\_\_  
Jacob M. Qualls, City Clerk

OWNER:

\_\_\_\_\_  
10206 West State Street LLC  
Evan McLaughlin, Member

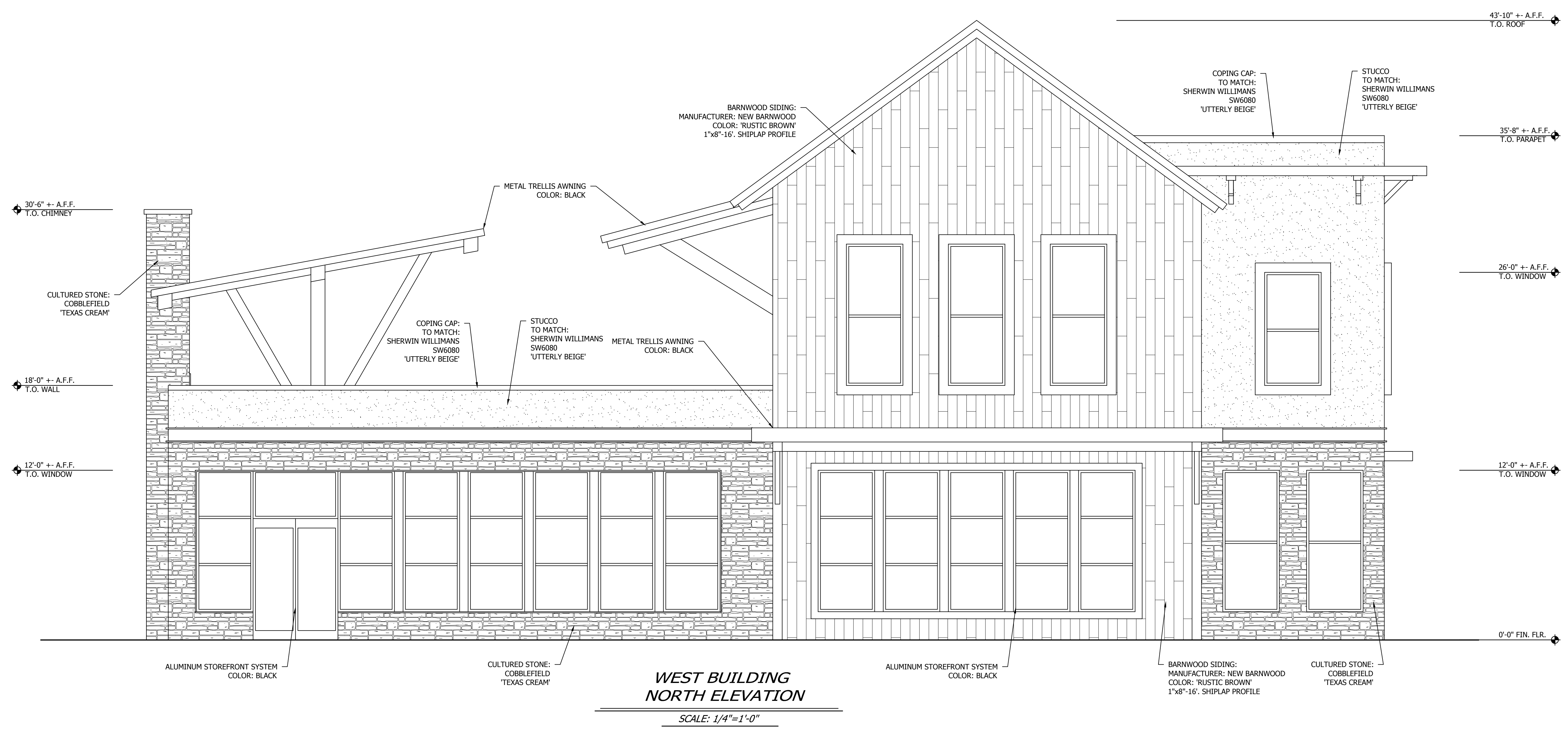
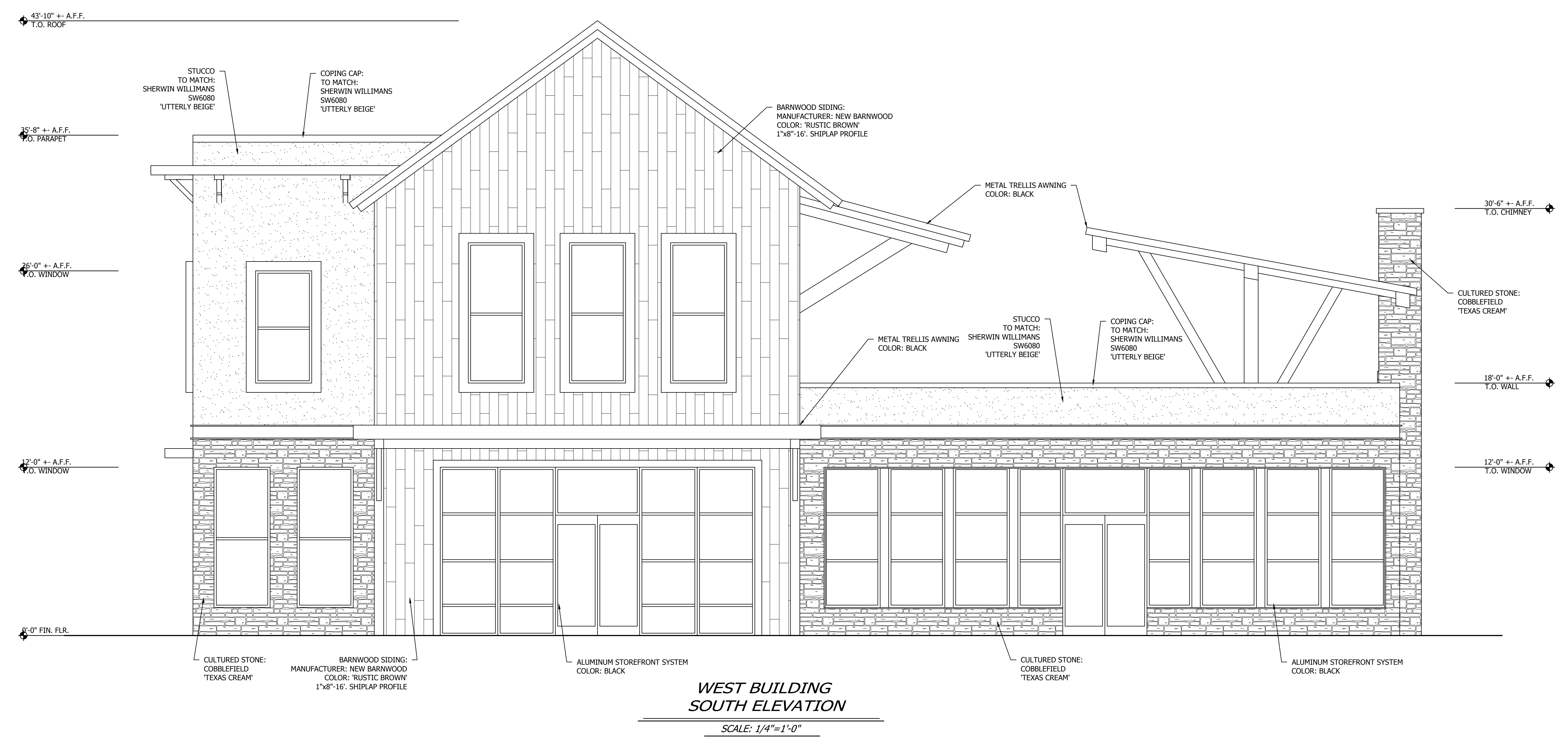
STATE OF IDAHO )  
  ) ss.  
County of Ada            )

On this \_\_\_\_ day of \_\_\_\_\_, 2022, before me the undersigned, a Notary Public in and for said state, personally appeared \_\_\_\_\_, known or identified to me to be the persons who subscribed their name to the foregoing instrument, and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal, the day and year in this certificate first above written.

\_\_\_\_\_  
Notary Public for Idaho  
Residing at: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

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**WEST BUILDING  
WEST ELEVATION**  
SCALE: 1/4"=1'-0"



**WEST BUILDING  
EAST ELEVATION**  
SCALE: 1/4"=1'-0"

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**EAST BUILDING SOUTH ELEVATION**

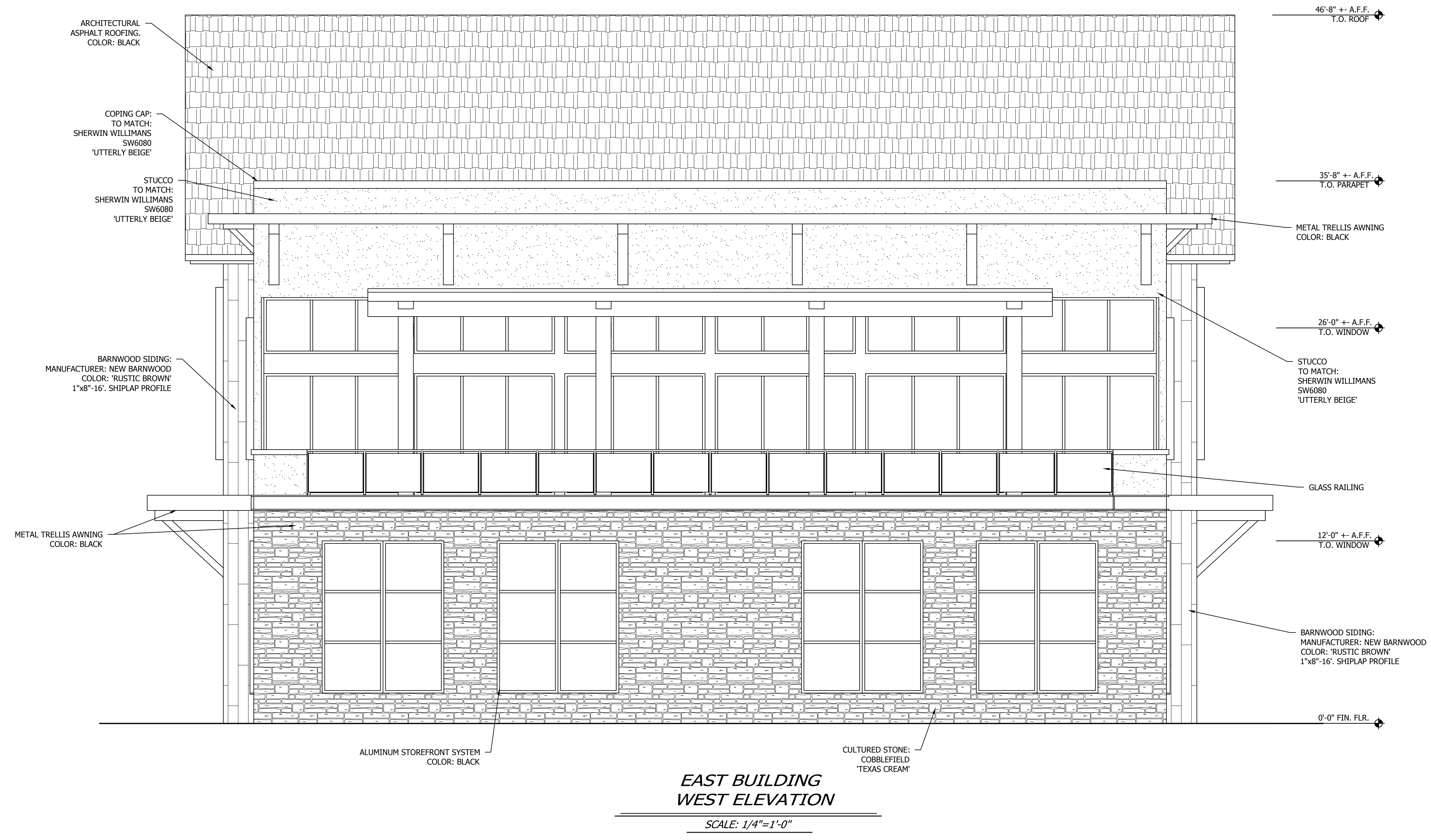
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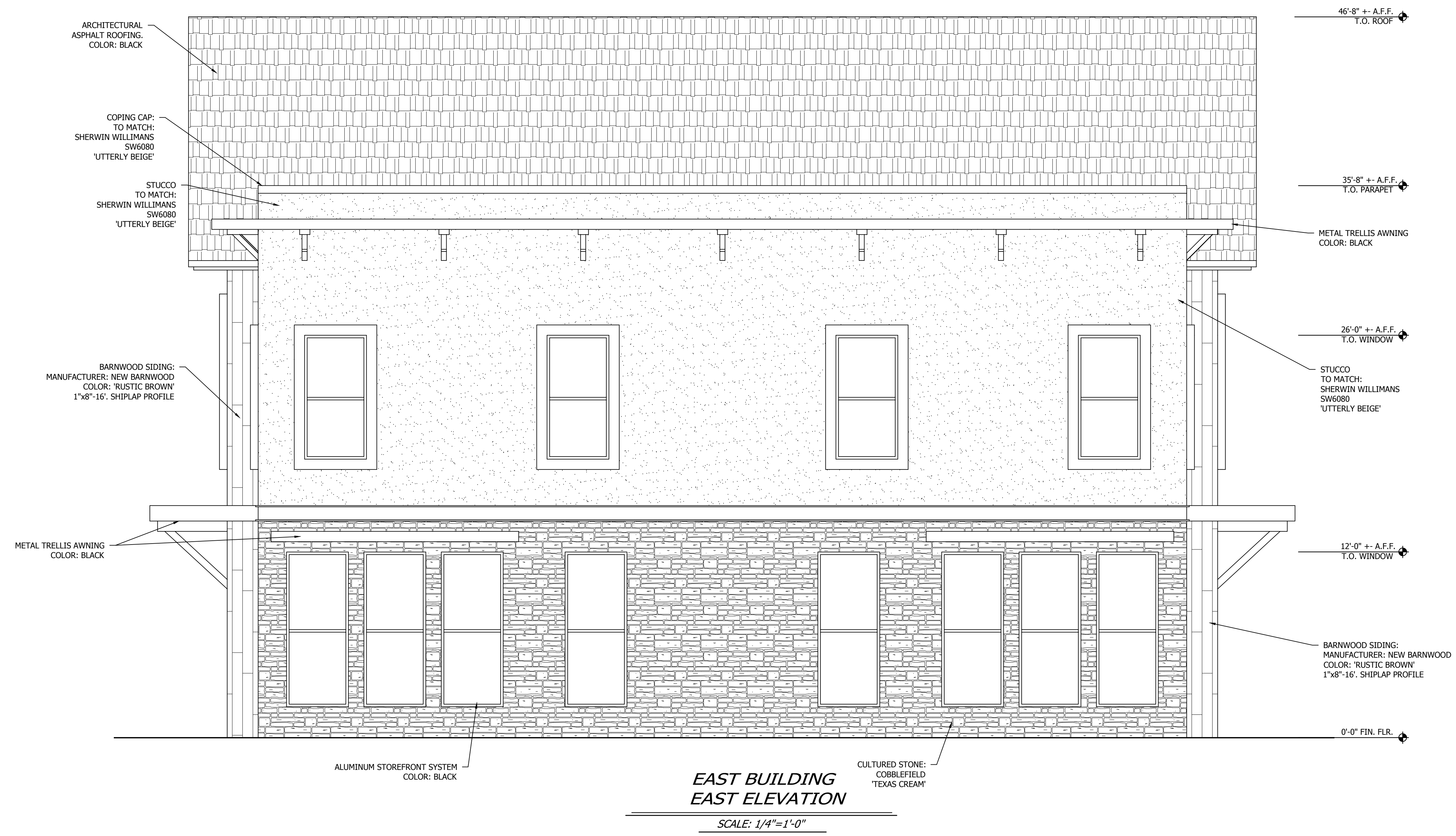
**EAST BUILDING NORTH ELEVATION**

SCALE: 1/4"=1'-0"

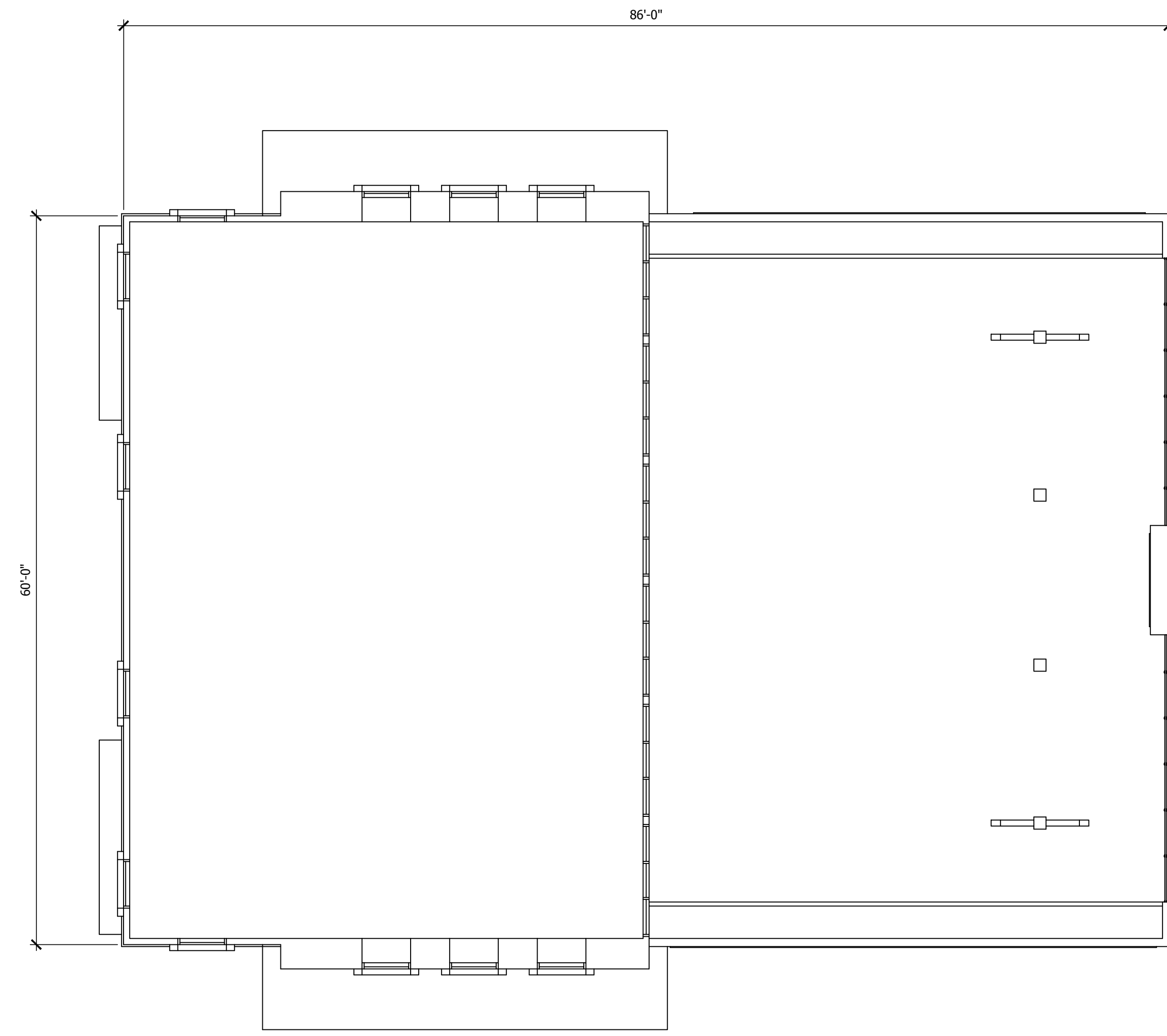
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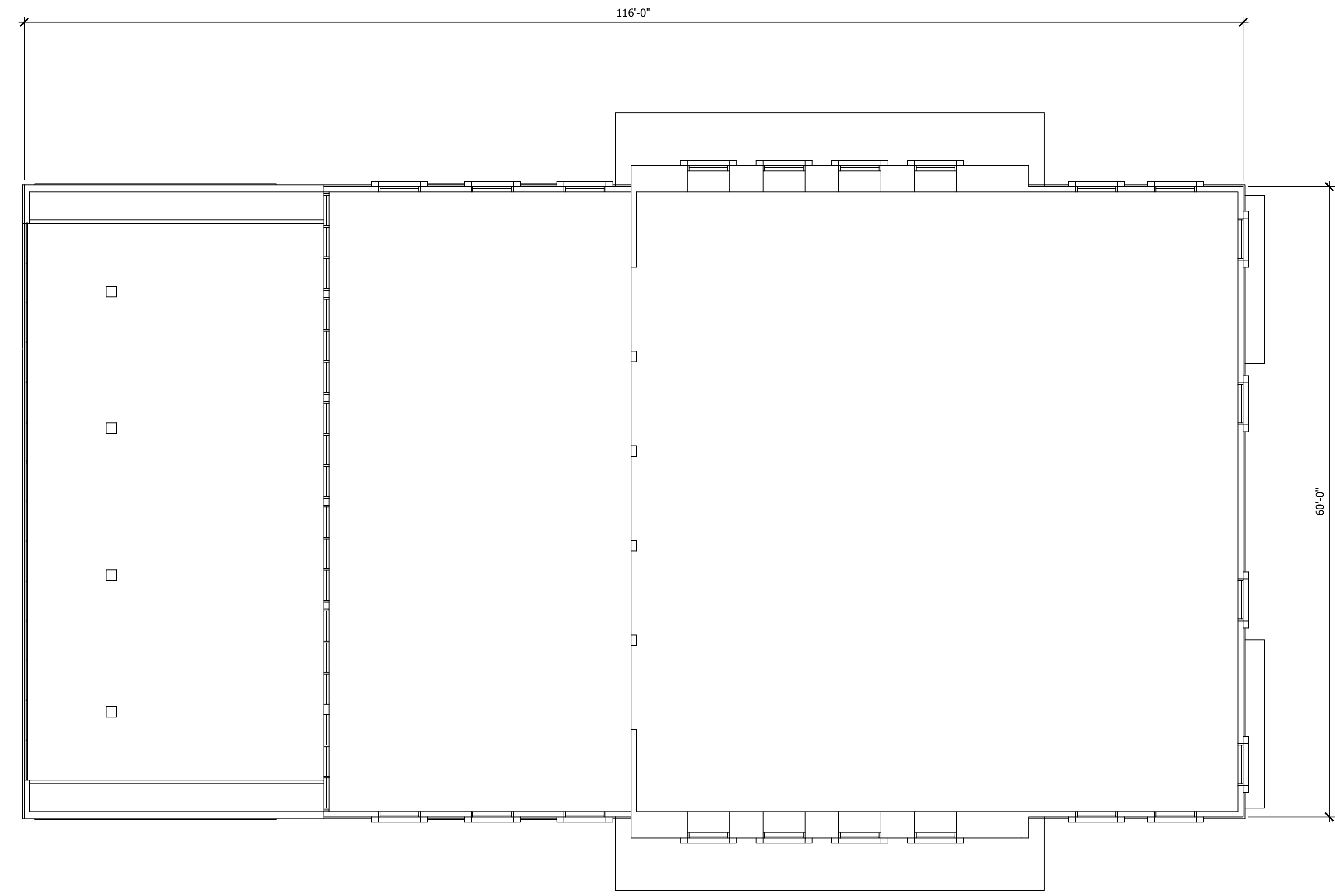
**EAST BUILDING  
WEST ELEVATION**  
SCALE: 1/4"=1'-0"



**EAST BUILDING  
EAST ELEVATION**  
SCALE: 1/4"=1'-0"

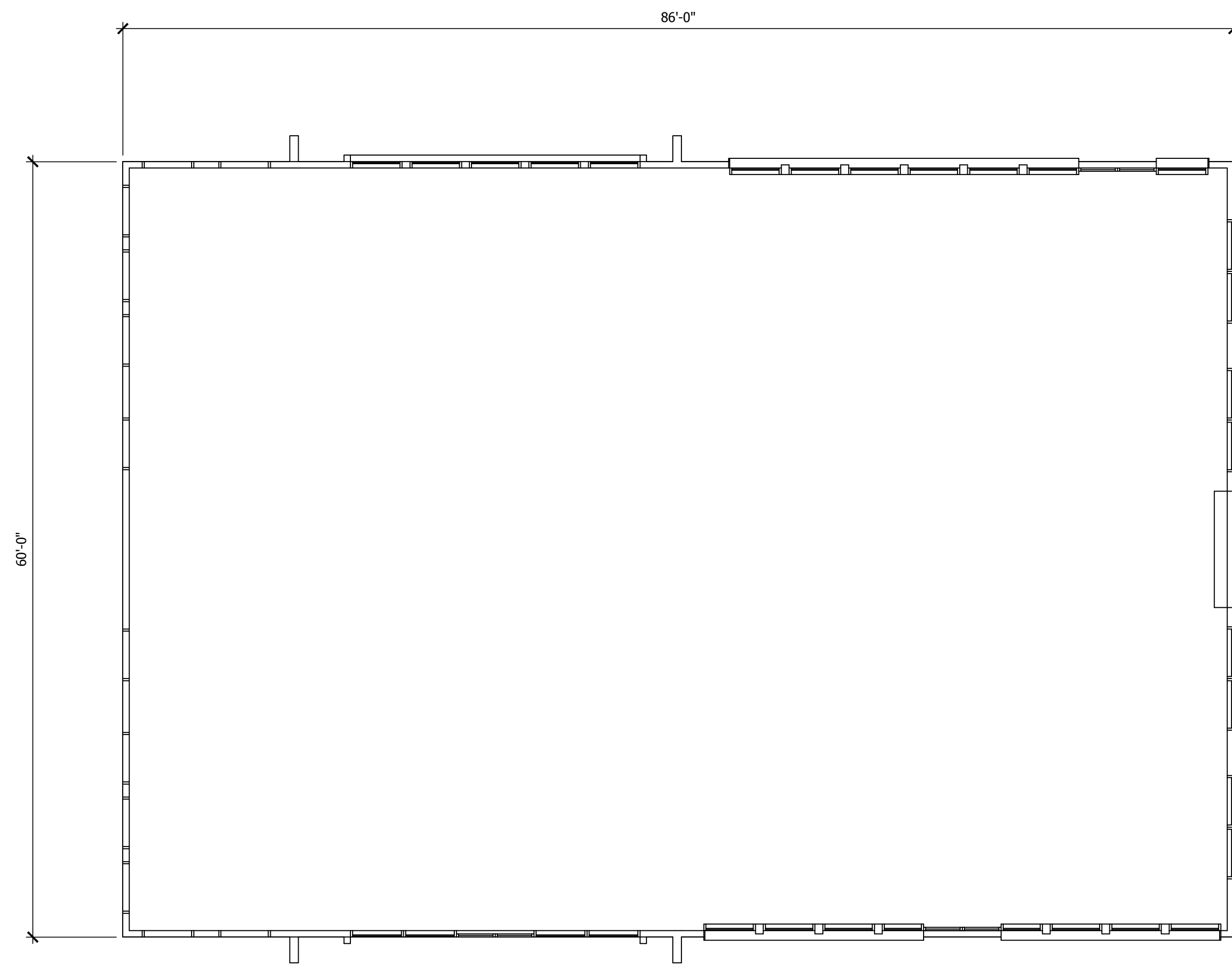


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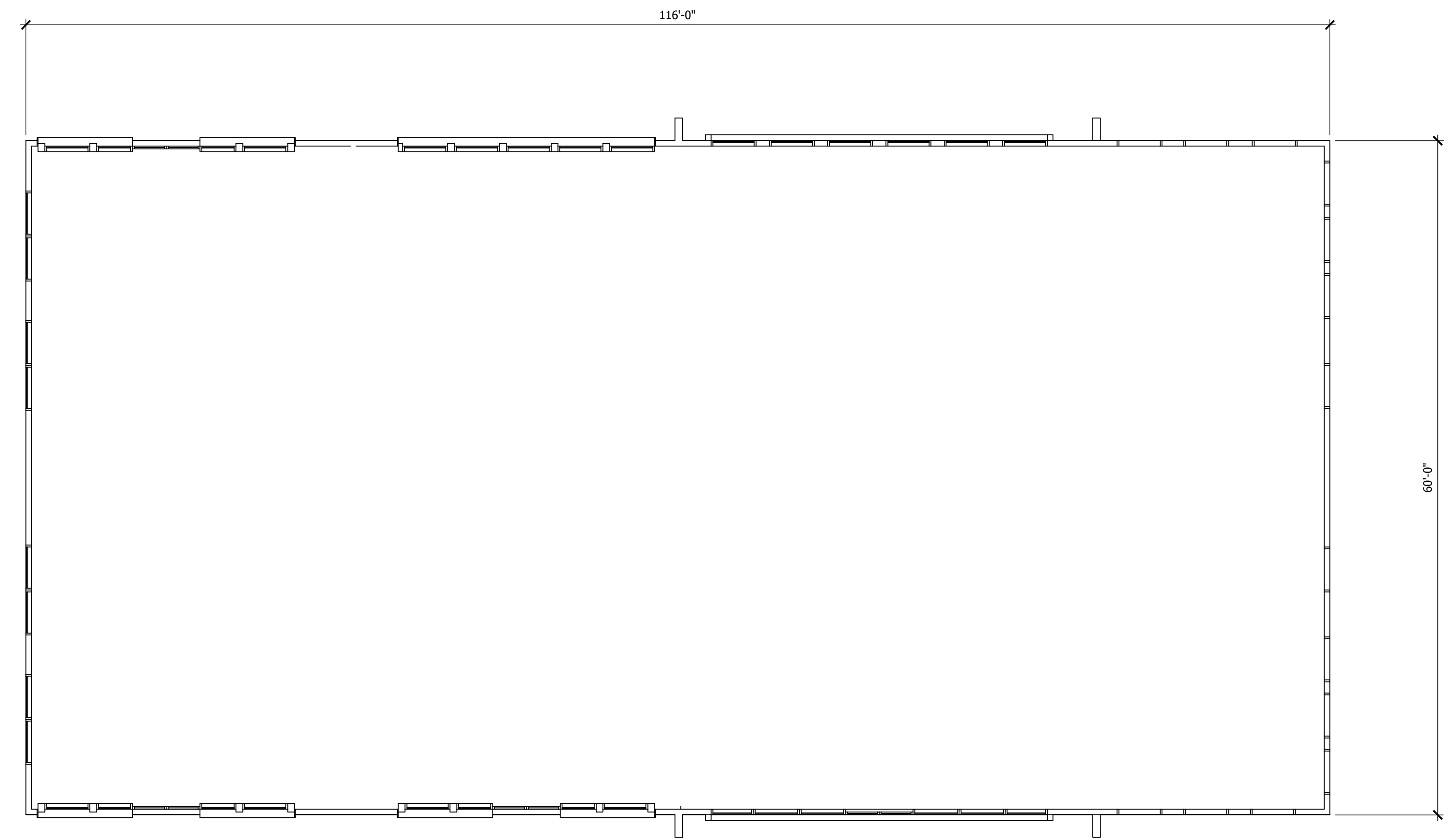


EAST BUILDING

OVERALL SECOND FLOOR PLAN  
SCALE: 1/8"=1'-0"



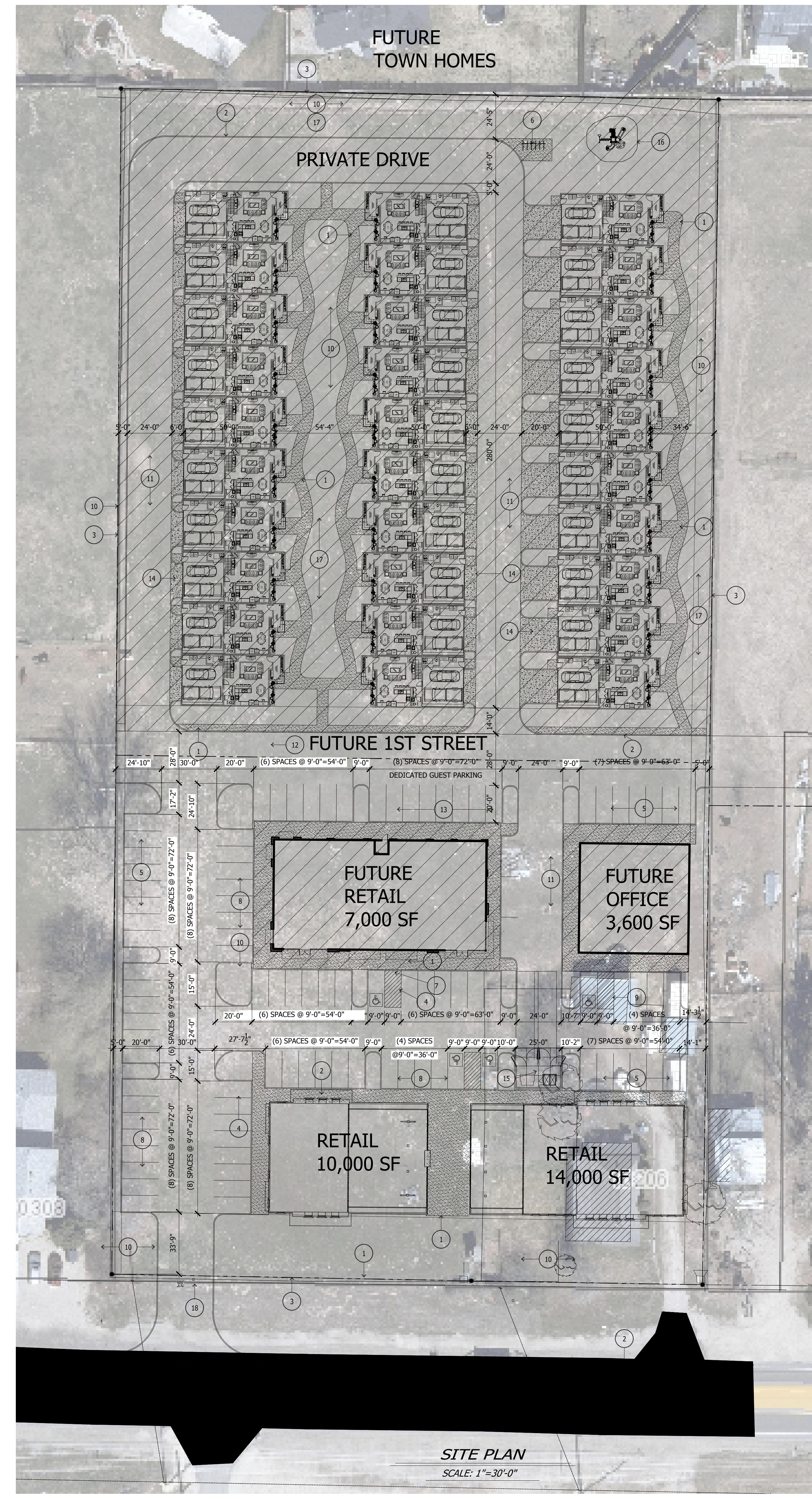
*WEST BUILDING*



*EAST BUILDING*

OVERALL FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"





### SITE DATA

ADDRESS: 10206 W STATE ST

APN: R0408438600

JURISDICTION: CITY OF STAR

ZONE: CBDPUD/DA

LOT AREA: 4.760 ACRES (207,345 S.F.)

BUILDING SIZE:  
 RETAIL: 22,700 S.F.  
 RESIDENTIAL: 77,250 S.F.

SITE PERCENTAGE FOR EACH USE:  
 RETAIL: 98,170 SF (47%)  
 RESIDENTIAL: 109,500 SF (53%)

RETAIL PARKING PROVIDED:  
 STANDARD SPACES: 94  
 HANDICAP SPACES: 4  
 TOTAL SPACES: 98

RESIDENTIAL PARKING PROVIDED:  
 GARAGE SPACES: 60

RESIDENTIAL BUILDING SIZE:  
 MAIN LEVEL LIVING: 722 SF  
 SECOND LEVEL LIVING: 1,209 SF  
 TOTAL LIVING: 1,931 SF

GARAGE 644 SF

BICYCLE PARKING:  
 9 SPACES RACK

### KEYNOTES

1. CONCRETE DECK/WALK SLAB OVER COMPACTED SAND AND GRAVEL BASE WITH CONTROL JOINTS AT 6'-0" O.C. AND EXPANSION JOINTS AT 20'-0" O.C. MAX. WITH LIGHT BROOM FINISH. SLOPE FOR POSITIVE DRAIN AWAY FROM BUILDING.
2. CONCRETE CURB.
3. PROPERTY LINE.
4. TYPICAL HANDICAP SPACE W. SYMBOL, RAMP AND SIGN
5. TYPICAL STANDARD PARKING SPACE, 9'-0" X 20'-0"
6. BICYCLE RACK.
7. PEDESTRIAN RAMP, 1:12 SLOPE W. SCORING AT 6" O.C.
8. TYPICAL PARKING STRIPING WITH (2) COATAS 4" WIDE REFLECTIVE TRAFFIC WHITE PAINT.
9. ADA ACCESS LANE WITH 4" WIDE DIAGONAL PAINTED STRIPING AT 24" O.C.
10. LANDSCAPE. SEE LANDSCAPE PLANS.
11. ASPHALT PAVING.
12. CROSS WALK
13. GUEST PARKING
14. CONCRETE DRIVEWAY
15. TRASH ENCLOSURE
16. TOT LOT- PLAYGROUND
17. LARGE OPEN SPACE- AMENITY
18. PROPOSED FULL ACCESS

SITE PLAN  
SCALE: 1"=30'-0"



















## LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on April 19, 2022 at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

**Application:** Ordinance 368 & Ordinance 369

**Action:** The City of Star will be adopting two Ordinances related to the Area of City Impact. The first Ordinance adoption will repeal and replace the current Star City Area of City Impact Map. The second Ordinance will adopt the Star City Codes and Plans Applicable to the City's Area of City Impact Situated in Canyon County.

**Information/Comments:** A complete copy of the Ordinances are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to noon, the day before the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel  
Planning Director and Zoning Administrator



ORDINANCE 368-2022  
(Area of City Impact Map Amendment)

AN ORDINANCE OF THE STAR CITY COUNCIL, ADA AND CANYON COUNTIES, IDAHO, REPEALING AND REPLACING THE CITY’S AREA OF CITY IMPACT MAP; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Section 67-6526, Idaho Code allows the City of Star to adopt an area of city impact map after negotiation with the relevant county; and

WHEREAS, Section 67-6526, Idaho Code requires that the area of city impact map be adopted by ordinance of the City Council; and

WHEREAS, pursuant to Section 67-6526 Idaho Code, the City and Canyon County engaged in the committee of nine process, whereupon a majority of the committee of nine recommended the adoption of an area of city impact map; and

WHEREAS, the City Council of the City of Star conducted a public hearing, noticed and held pursuant to Idaho Code 67-6509, on April 19, 2022; and

WHEREAS, the Mayor and Council of the City of Star believe that it is in the City’s best interest to repeal and replace the City’s current area of city impact map to include areas in both Ada and Canyon County;

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF STAR, ADA AND CANYON COUNTY, IDAHO, as follows:

Section 1: The City of Star hereby repeals the existing area of city impact map and replaces the same with new area of city impact map, attached hereto as Exhibit A.

Section 2: This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law. In lieu of publication of the entire ordinance, a summary thereof in compliance with Section 50-901A, Idaho Code maybe be published.

ADOPTED THIS \_\_\_\_ day of April, 2022.

CITY OF STAR

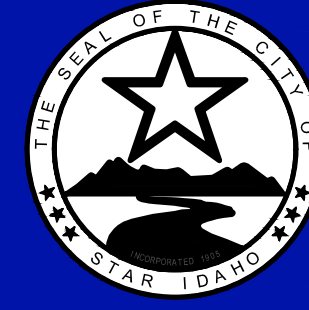
\_\_\_\_\_  
Trevor A. Chadwick, Mayor

ATTEST:


\_\_\_\_\_  
Jacob Qualls, City Clerk

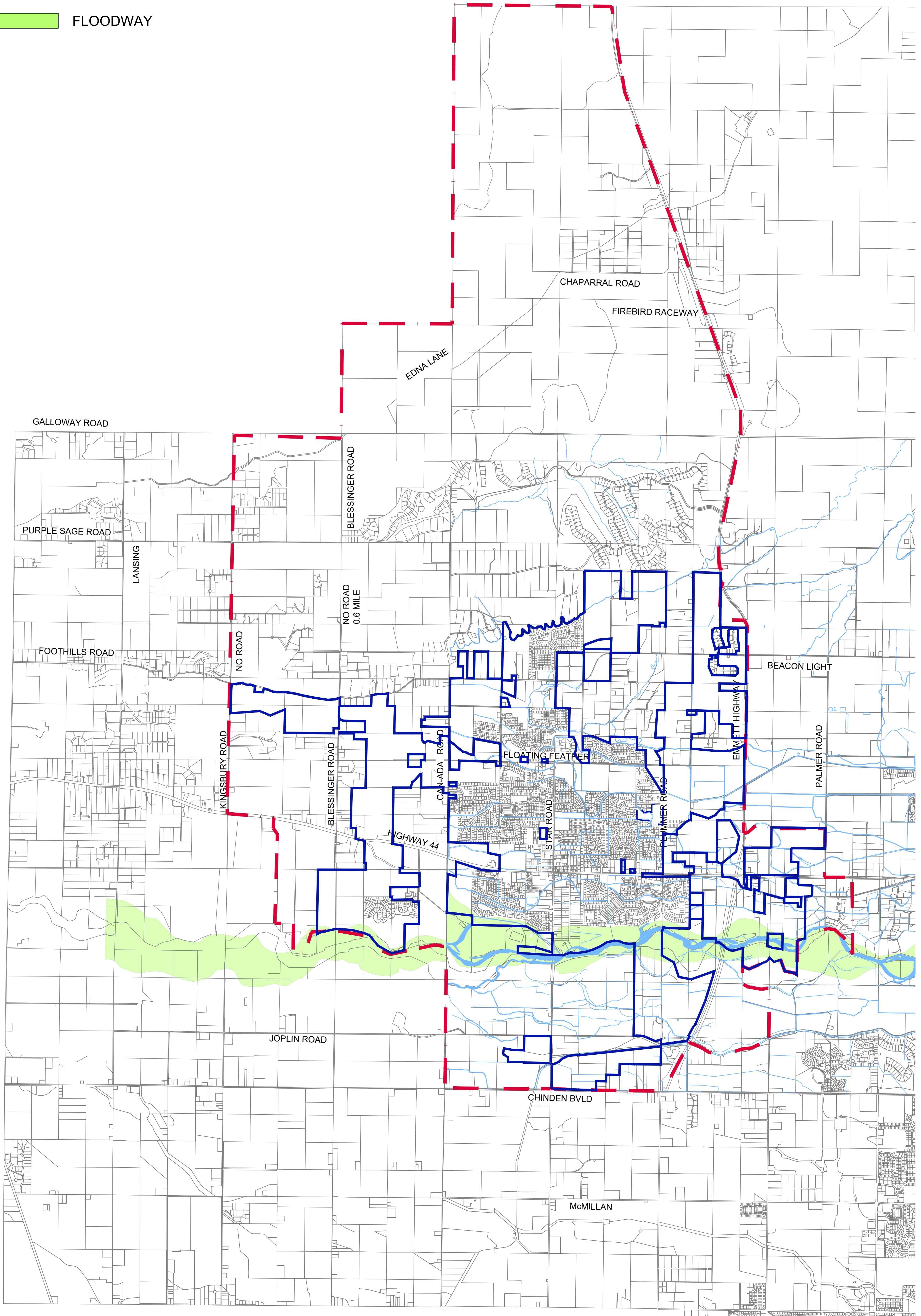


# CITY OF STAR



## LEGEND

-  STAR CITY LIMITS
-  STAR IMPACT AREA
-  FLOODWAY



k:\A ENGINEERING ADMINISTRATION\Star Maps\CITY\CAD\PLAN\IMPACT BOUNDARY MAP.dwg Apr 12, 2022 - 5:30pm

4/12/22

# IMPACT BOUNDARY MAP



ORDINANCE 369-2022  
(Area of City Impact – Canyon County)

AN ORDINANCE OF THE STAR CITY COUNCIL, ADA AND CANYON COUNTIES, IDAHO, ADOPTING THE CODES AND PLANS APPLICABLE TO THE CITY’S AREA OF CITY IMPACT SITUATED IN CANYON COUNTY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Section 67-6526, Idaho Code allows the City of Star to adopt an area of city impact after negotiation with the relevant county; and

WHEREAS, Section 67-6526, Idaho Code requires that the City adopt an ordinance providing for application of plans and ordinances applicable to the area of city impact; and

WHEREAS, pursuant to Section 67-6526 Idaho Code, the City and Canyon County engaged in the committee of nine process, whereupon the committee of nine recommended the adoption of an ordinance establishing the plans and ordinances that will apply within the approved area of city impact; and

WHEREAS, the City Council of the City of Star conducted a public hearing, noticed and held pursuant to Idaho Code 67-6509, on April 19, 2022;

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF STAR, ADA AND CANYON COUNTY, IDAHO, as follows:

Section 1: The City of Star hereby amends its city code to add a new Title 8, Chapter 9 AREA OF CITY IMPACT, to read as follows:

**8-9-1. Purpose.**

The purpose of establishing an area of city impact is to identify a logical urban fringe area adjoining the city. The urban fringe area is realizing, or will realize, development pressure that must be planned for in an orderly manner.

**8-9-2. Consideration.**

Trade area, geographic factors, and areas that can reasonably be expected to be annexed to the city in the future were considered in the establishment of the area of city impact.

**8-9-3. Geographic area.**

The officially adopted geographic area of city impact is shown on exhibit A, attached to Ordinance No. \_\_\_\_ and adopted by reference.

**8-9-4. Comprehensive Plan.**

The comprehensive plans and subsequent amendments thereto, as officially adopted by Canyon County, shall apply to the area of city impact within the unincorporated area of the county. Canyon County shall give consideration to the city’s comprehensive plan

map designations when evaluating development requests within the Star area of city impact.

**8-9-5. Zoning ordinances and land use.**

The zoning ordinances, maps, and subsequent amendments as officially adopted by Canyon County shall apply to the area of city impact within unincorporated areas of the county.

Rezone requests, conditional use permits, variances and vacations within the area of city impact shall be referred to the city for review and recommendation in accordance with any adopted area of impact agreement between the county and city.

**8-9-6. - Subdivision ordinance.**

The subdivision ordinance and subsequent amendments as officially adopted by the city shall apply to the area of city impact within the unincorporated area of the county as outlined in the area of impact agreement between the county and the city, except for simple division (lot split) provisions and except for hearing procedures. The county’s hearing procedures shall apply.

The following specific City of Star ordinances shall apply, even in conflict with otherwise applicable county provisions:

- A. Title 8, Chapter 6, Article B (city road widths and profiles)
- B. Title 8, Chapter 8, Article D (Star Landscape Ordinance)
- C. City of Star Economic Corridors Access and Roadway Connection Management Plan (“ECAMP”)

Section 2: This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law. In lieu of publication of the entire ordinance, a summary thereof in compliance with Section 50-901A, Idaho Code maybe be published.

ADOPTED THIS \_\_\_\_ day of April, 2022.

CITY OF STAR

\_\_\_\_\_  
Trevor A. Chadwick, Mayor

ATTEST:

\_\_\_\_\_  
Jacob Qualls, City Clerk